

JAMIE WHITEHOUSE, AICP
DIRECTOR OF PLANNING & ZONING
(302) 855-7878 T
(302) 854-5079 F
jamie.whitehouse@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

PLEASE NOTE

This paperless packet is published on the County's website for convenience purposes, and only includes information received up to the close of business on the day before a public hearing. Documents received after this, or documents submitted during the public hearing are not uploaded to the Paperless Packet. The legal record is the paper record maintained in the Offices of the Planning & Zoning Department.



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE



Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, AICP, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager; Lauren DeVore, Planner III; Michael Lowrey, Planner III; Chase Phillips, Planner II; Christin Scott, Planner I; Elliott Young, Planner I & Jesse Lindenberg, Planner I
CC: Vince Robertson, Assistant County Attorney

Date: March 3rd, 2022

RE: Other Business for the March 10th, 2022 Planning Commission Meeting

This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the March 10th, 2022 Meeting of the Planning & Zoning Commission.

(2021-13) Baylis Estates Phase II

BM

Final Subdivision Plan

This is a Final Subdivision Plan to amend the existing cluster subdivision for Baylis Estates Phase II (2017-01) to subdivide 130.52 +/- acres into fifty-one (51) single-family lots, private roads and open space. The Applicant seeks to redesign a portion of the existing approved subdivision to add fourteen (14) additional lots for a total of one-hundred and fifty lots (150) between existing and previously approved Phase I (2004-55) and this updated Phase II. The Preliminary Subdivision Plan for Phase II was previously approved by the Planning and Zoning Commission at their meeting of Thursday, June 10, 2021. The property is located on the northeast side of Mount Joy Road (S.C.R. 297). The Commission has been provided with electronic copies of the Phase II proposal as well as the updated Record Plan showing a total of 150 lots in their packet for this evening. The Final Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes and all Conditions of Approval. Zoning: AR-1 (Agricultural Residential District). Tax Parcel: 234-29.00-42.00. Staff are in receipt of all agency approvals.

The Peninsula on Indian River Bay MR-RPC (Phase 11 – Still Waters)

BM

Revised Site Plan

This is a Revised Site Plan for the construction of seventy-nine (79) single-family detached condominium units for Phase 11 of The Peninsula on Indian River Bay (C/Z 1475). The Peninsula is a Residential Planned Community that was approved by the Sussex County Council at their meeting of Tuesday, November 19th, 2002 through Ordinance No. 1573. Phase 11 received final approval for forty-eight (48) single family lots by the Sussex County Council on Tuesday, November 13th, 2007. Lastly, Change of Zone No. 1936 was approved by the Sussex County County Council at their meeting of December 7th, 2021 through Ordinance No. 2818. This Ordinance amended Condition #1 of Ordinance No. 2690 and allowed for an increase in the maximum number of single family detached condo units within the RPC from 388 to 471 (83 units) total. The Revised Preliminary Site Plan complies with the Sussex County Zoning Code and all Conditions of Approval. Zoning: MR-RPC (Medium Density Residential – Residential Planned Community). Tax Parcel: 234-30.00-317.00. Staff are currently awaiting agency approvals and the Site Plan will be required to be brought back before the Commission for a final determination and final approval.



(S-21-34) Lincoln Retirement Community

KH

Preliminary Site Plan

This is a Preliminary Site Plan for the construction of a proposed 42,000 +/- square foot assisted living facility, thirty (30) single-family detached cottages, a proposed walking trail and other ancillary improvements. The proposal was the subject of a previous Board of Adjustment Application (BOA Case No. 12320) for a special use exception to operate a convalescent home, nursing home, and/or home for the aged. The Special Use Exception was approved by the Board of Adjustment at their meeting of Monday, June 17, 2019, of which the Findings of Fact were approved and signed on August 6, 2019. It should be noted that a limited one-year time extension was sought for the existing Special Use Exception, which was granted by the Board of Adjustment at their meeting of Monday, January 25, 2021. This action extended the date of expiration from the original approval date to August 6, 2022. The property is located on the north side of Johnson Road (S.C.R. 207) in Lincoln, Delaware. The Preliminary Site Plan complies with the Sussex County Zoning Code and all Conditions of Approval. Zoning: AR-1 (Agricultural Residential District). Tax Parcel: 330-15.00-33.01. Staff are awaiting agency approvals.

(2004-55) Baylis Estates (Phase I) Amenities

BM

Amenities Plan

This is a Final Amenities Plan for the existing Baylis Estates Phase I subdivision. The plan proposes a 4,1400 square foot clubhouse, 1,215 square foot in-ground pool and gencing, multipurpose courts and twenty-one (21) parking spaces. The site is located between Phases I and II as Lots 122 through 126 are currently proposed as part of Phase II. The Preliminary Amenities Plan for the subdivision was originally considered by the Planning and Zoning Commission at their meeting of Thursday, May 27, 2021, where the Commission had approved the plan with the condition that all proposed landscaping be included on the plans. The Final Amenities Plan complies with the Sussex County Zoning Code. Tax Parcel: 234-29.00-42.00. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are in receipt of all agency approvals.

(2018-20) Tanager Woods Amenities

KS

Amenities Plan

This is a Preliminary Amenities Plan for the existing Tanager Woods Subdivision for the construction of a proposed 2,516 square foot clubhouse, a 4,160 square foot multi-use court, and a 2,531 square foot pool with a 6,707 square foot pool deck. Included in the site plan are 30 parking spaces, sidewalks, and other site improvements. The property is located on the east side of Fieldfare Lane and the west side of Winona Lane within the subdivision. The Amenities Plan complies with the Sussex County Zoning and Subdivision Codes. Zoning: AR-1 (Agricultural Residential District). Tax Parcel: 234-6.00-85.01. Staff are in receipt of all agency approvals, therefore the plan can be considered for preliminary and final approval.

(S-18-89) Friendship Creek Amenities

HW

Amenities Plan

This is a Preliminary Amenities Plan for Friendship Creek (Conditional Use No. 2142) for the construction of a proposed 1,400 square foot pool and a 276 square bathroom and pool equipment building with an outdoor shower. Included in the site plan are 19 parking spaces, sidewalks, and other site improvements. The property is located on the south side of Dundee Street and the east side of Coldstream Street within the existing subdivision. The Amenities Plan complies with the Sussex County Zoning and Subdivision Codes. Zoning: GR (General Residential District). Tax Parcel: 134-16.00-39.00. Staff are awaiting agency approvals.

Lands of Kim Ireland

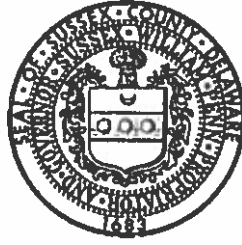
KS

Minor Subdivision off a 50-foot easement

This is a Minor Subdivision Plan for the subdivision of a 5.00 acre +/- parcel of land into (1) lot and residual lands off of a proposed 50-foot ingress/egress easement. Proposed Lot 1 consists of 1.23 acres +/- and the residual lands consist of 3.77 acres +/- . The property is located on the east side of Atlanta Road (Route 30). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Zoning: AR-1 (Agricultural Residential District). Tax Parcel: 131-8.00-40.17. Staff are awaiting agency approvals.

MAPPING & ADDRESSING

MEGAN NEHRBAS
MANAGER OF GEOGRAPHIC
INFORMATION SYSTEMS (GIS)
(302) 855-1176 T
(302) 853-5889 F



Sussex County
DELAWARE
sussexcountyde.gov

January 23, 2020

Kullman Consulting Services, LLC.
Attn: Ken Kullman

RE: **Baylis Estates Phase 2**

I have received proposed street name(s) for the proposed subdivision, **Baylis Estates Phase 2**, located in Millsboro. In reviewing the proposed street name(s) the following have been approved:

Leila Ct	Amile Dr	

Use only approved road names that you have written confirmation for or you will be required to rerecord. Each street name is to be used only once.

Upon final approval of **Baylis Estates Phase 2** please forward a copy of the recorded site plan to my attention. Our office would appreciate a digital copy if at all possible, for the purpose of addressing. Should you have any questions, please contact the Sussex County Addressing Department at 302-855-1176.

Sincerely,

Terri L. Duker

Terri L. Duker
Addressing Technician II

CC: Christin Headley
Planning & Zoning





STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

July 02, 2020

Mr. Michael Cotten
Cotten Engineering, LLC
10087 Concord Road
Seaford, Delaware 19973

SUBJECT: Entrance Plan Approval Letter
Baylis Estates
Tax Parcel #234-29.00-42.00
Mount Joy Road (SCR 297)
Indian River Hundred, Sussex County

Dear Mr. Cotten:

The Department of Transportation has reviewed the Subdivision Entrance Plan Addendum dated April 10, 2020 (last revised May 26, 2020) for the referenced project and determined that they are in general conformance with the Department's current regulations, specifications and standard details. By signing and sealing the plan set, the developer's engineer is responsible for accuracy of content. Any errors, omissions or required field changes will be the responsibility of the developer. This plan approval shall be valid a period of **one (1) year**. If an entrance permit has not been obtained within one year, then the plans must be updated to meet current requirements and resubmitted for review and approval.

This letter represents an amendment to the plans approved October 25, 2012 by Marc Coté.

This letter does not authorize the commencement of entrance construction. The following items will be required prior to the permit being issued. A pre-construction meeting may be required as determined by the South District Public Works office.

1. A copy of the recorded Site Plan which is consistent with the DeIDOT "No Objection to Recordation" stamped plan and all appropriate signatures, seals, plot book and page number.
2. Three (3) copies of the approved entrance plan addendum.
3. Completed permit application.
4. Executed agreements (i.e. construction, signal, letter).
5. An itemized construction cost estimate.

Baylis Estates Phase 2
Mr. Cotten
Page 2
July 02, 2020

6. A 150% security based upon an approved itemized construction cost estimate and W-9 form (if providing escrow).
7. A letter of source of materials, work schedule, list of subcontractors, emergency telephone numbers and names of contact persons.

Please contact the South District Public Works office (302) 853-1340 concerning any questions you may have relative to the aforementioned required items.

Sincerely,



Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

cc: Kevin Brozyna, Insight Homes, Inc.
Jamie Whitehouse, Sussex County Planning & Zoning Commission
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Gemez Norwood, South District Public Work Manager
James Argo, South District Project Reviewer
Robert Bragg, South District Subdivision Manager
Jerry Nagyiski, Safety Officer Supervisor
Chris Sylvester, Traffic Studies Manager
Jennifer Pinkerton, Chief Materials & Research Engineer
Linda Osiecki, Pedestrian Coordinator
John Fiori, Bicycle Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kauffman, DTC Planner
James Kelley, JMT
Wendy L. Polasko, Process and Quality Control Engineer
Brian Yates, Sussex County Reviewer



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

NICOLE MAJESKI
SECRETARY

January 28, 2022

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

**SUBJECT: Revised Letter of No Objection to Recordation
Baylis Estates Phase 2 – Final Record Plan 150 Lots**
Tax Parcel # 234-29.00-42.00
Mount Joy Road (SCR 297)
Indian River Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Site Plan, dated October 9, 2020 (last revised January 14, 2022), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawings. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Site Plan is not recorded prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

This letter represents a revision to the plans approved April 30, 2020, by Susanne Laws.

This letter does not authorize the commencement of entrance construction. Entrance plans shall be developed in accordance with DeIDOT's [Development Coordination Manual](#) and submitted to the Development Coordination Section for review and approval.

This "No Objection to Recordation" letter is not a DeIDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and

Baylis Estates Phase 2 – Final Record Plan 150 Lots
Mr. Jamie Whitehouse
Page 2
January 28, 2022

its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

If I can be of any further assistance, please call me at (302) 760-2266.

Very truly yours,



R. Stephen McCabe
Sussex County Review Coordinator
Development Coordination

cc: Kevin Brozyna, Insight Homes, Inc.
Steven Fortunato, Bohler Engineering
Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Matt Schlitter, South District Public Works Engineer
Scott Rust, South District Public Work Manager
James Argo, South District Project Reviewer
Larkin, South District Subdivision Manager
Jennifer Pinkerton, Chief Materials & Research Engineer
Linda Osiecki, Pedestrian Coordinator
John Fiori, Bicycle Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kauffman, DTC Planner
James Kelley, JMT
Wendy L. Polasko, P.E., Subdivision Engineer
Brian Yates, Sussex County Reviewer



October 7, 2021

Mr. Kevin Brozyne
c/o Bohler Engineering
18958 Coastal Highway, Suite D
Rehoboth Beach, DE 19971

RE: Baylis Estates Phase 2

Dear Mr. Brozyne:

A Sediment and Stormwater Management Plan has been reviewed for compliance with the Sediment and Stormwater Regulations and is approved with conditions (see attached). Enclosed herein please find a copy of the approved application form and approved plan sets. Please retain a copy for your use and provide the contractor with a copy to be retained onsite at all times. Failure to keep an approved plan onsite is a violation of the approved plan.

Approval of a Sediment and Stormwater Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.

This plan approval pertains to compliance with the *Delaware Sediment and Stormwater Regulations*. Please understand that the approval of this plan does not relieve you from complying with any and all federal, state, county, or municipal laws and regulations.

As of January 1, 2014, the Sussex Conservation District began collecting financial guarantees to ensure the construction of stormwater management practices is accomplished in accordance with the approved sediment and stormwater plan. Please refer to the SCD Policy on Bonds located on our website at Sussexconservation.org. If you have any questions concerning the aforementioned, please do not hesitate to call 302 856-7219.

Sincerely,

Jessica Watson

Jessica Watson
Program Manager

JW/jmg

cc:

CONDITIONS OF APPROVAL

NOTIFICATION

1. This approved plan will remain valid for 5 years from the date of this approval. If construction does not begin within five years, the approved plan will be considered to have expired, and must be resubmitted to the District for a new review. In addition, if work is not completed within the five-year timeframe, the District must be contacted and a request for an extension submitted. Depending on regulation changes, a new plan may need to be submitted to ensure that all stormwater management facilities are constructed to the most recent standards.
2. Submittal of the Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activities together with this approval of the detailed Sediment and Stormwater Plan provide this project with Federal permit coverage to be authorized to discharge storm water associated with construction activities. It is the owner's responsibility to ensure that permit coverage remains valid throughout construction by submitting the NOI fee annually as requested. The developer is responsible for weekly self-inspection reporting to be retained onsite.
3. Notify the Sussex Conservation District Sediment and Stormwater Management Section of your intent to begin construction in writing five (5) days prior to commencing. Failure to do so constitutes a violation of the approved plan.

CHANGES

4. This project is to be undertaken in accordance with the plans submitted and as approved. If changes are necessary at any time during the completion of the project, submit revised plans, prior to further construction, to the Sussex Conservation District Sediment and Stormwater Program for review and approval of the revision.
5. Should ownership change during the construction period, a revised plan must be submitted for approval showing the new owner's signature on the owner's certification. In addition, a Transfer of Authorization form must be submitted to DNREC to transfer Federal permit coverage to the new owner.

CONSTRUCTION AND CLOSEOUT

6. A pre-construction meeting must take place before any land disturbing activity begins. The meeting may take place on site and be attended by the owner, contractor, design consultant, Certified Construction Reviewer and Sussex Conservation District Sediment and Stormwater Program Construction Reviewer. The owner or the owner's designee shall contact the Sussex Conservation Construction Reviewer to schedule the pre-construction meeting.
7. Keep available onsite, during all phases of construction, a copy of the approved Sediment and Stormwater Management Plan.
8. Keep available onsite, during all phases of construction, copies of the Developers weekly self-inspection reports and/or the CCR Reports.
9. Any sediment transported off-site to roads or road rights-of-way including ditches shall be removed. Any damage to ditches shall be repaired and stabilized to original condition.
10. Grading shall not impair surface drainage, create an erosion hazard, or create a source of sediment to any adjacent watercourse or property owner.
11. Failure to implement the permanent stormwater management practices as mentioned herein constitutes a violation of the conditions of this plan approval; it may result in the suspension or revocation of building permits or grading permits issued by the local jurisdiction; and it may result in legal action by the DNREC to bring the site into compliance with the approved Sediment and Stormwater Management Plan and the *Delaware Sediment and Stormwater Regulations*.
12. The permanent stormwater management facility or facilities must be constructed and accepted by the Sussex Conservation District Sediment and Stormwater Program prior to final closeout of the project site. Post construction verification documentation of the stormwater management facility or facilities must be completed as soon as construction of the facility or facilities is complete so that any necessary modifications may be made during the construction period.



DETAILED SEDIMENT AND STORMWATER MANAGEMENT PLAN APPLICATION

NAME OF PROJECT: Baylis Estates Phase 2
PROJECT DESCRIPTION: 37 Lot Residential Subdivision
LOCATION OF PROJECT: Mount Joy Road
PROJECT TAX MAP NUMBER: 234-29.00-42.00
PROJECT COORDINATES (center of site-decimal degrees) LAT: 38° 37' 10.46" N LONG: 75° 12' 22.99" W
TYPE OF PROJECT: Residential WATERSHED: Rehoboth Bay
NUMBER OF LOTS: 37 TOTAL ACRES: 13.4 DISTURBED ACRES: 13.4

APPLICANT'S CONTACT INFORMATION

FIRST NAME: Kevin LAST NAME: Brozyne
COMPANY NAME: Baylis Estates Investments LLC
ADDRESS: 16255 Sussex Hwy
CITY: Bridgeville STATE: DE ZIP: 19933
PHONE NUMBER: 302-337-0400 FAX NUMBER: 302-721-4900
EMAIL ADDRESS: kevin@insightde.com

CONSULTANT CONTACT INFORMATION

CONSULTANT/ENGINEER NAME: Cotten Engineering LLC
CONTACT PERSON/PROJECT MANAGER: Michael Cotten
PHONE #: (302) 628-9164 FAX #: (302) 628-9164
EMAIL ADDRESS: _____

SUSSEX CONSERVATION DISTRICT APPROVAL

REVIEWER: *John Justice* DATE: 12-10-21
APPROVAL: *John Justice* DATE: 12/10/2021

If ownership of this project changes during the construction period, Sussex Conservation District will require a new signed owner's certification statement.... In addition, the authorization to discharge stormwater under the regulations Part 2 Special Conditions for Storm Water Discharges Associated with Construction Activities, must be transferred by the original owner to the new owner, please contact DNREC for assistance at 302-739-9921.

SEP 27 2019

OWNER/DEVELOPER CERTIFICATION

- I/We certify that the information on this form and the attached plans are true and accurate to the best of my/our knowledge.
- I/We understand that DNREC/Delegated Agency may request information in addition to that set forth herein as may be deemed appropriate in considering this application.
- I/We will abide by the conditions of this approval as issued.
- I/We hereby certify that all clearing, grading, construction and/or development will be done pursuant to the approved plan, and that all responsible personnel involved in the land disturbing activities will have a Sediment and Stormwater Management Certification from DNREC/Delegated Agency.
- I/We hereby authorize the right of entry for periodic on site inspection by DNREC/Delegated Agency personnel and/or authorized agents.

OWNER/DEVELOPER SIGNATURE: _____ DATE: _____

OWNER/DEVELOPER PRINTED NAME: _____

AGENT AUTHORIZATION

(If this authorization form is completed with the application, all future correspondence may be signed by the duly authorized agent.)

I, _____, hereby designate and authorize the following identified agent to act on my behalf in the processing of this application and to furnish any information that is requested.

AGENT NAME: _____

AGENT ADDRESS: _____

CITY: _____ STATE: _____ ZIP: _____

AGENT PHONE #: () _____ FAX #: _____

EMAIL ADDRESS: _____

OWNER/DEVELOPER SIGNATURE: _____ DATE: _____

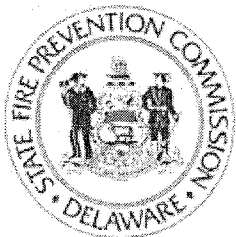
AGENT SIGNATURE: _____ DATE: _____

Please attach project Supplemental BMP Data Sheet to the Detailed Sediment and Stormwater Management Plan Application.

PROJECT BMP DATA SHEET

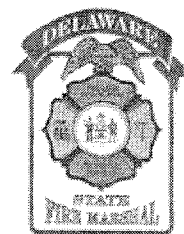
List the BMP(s) utilized in the project stormwater management quantity and water quality strategy.

BMP NAME	BMP TYPE	ACRES TREATED	BMP LOCATION COORDINATES (@ BMP release point - decimal degrees)	
			LATITUDE	LONGITUDE
Wet Ponds Extended De	Wet pond	13.4	38° 37' 10.46" N	75° 12' 22.99" W
	No BMP selected			
	No BMP selected			
	No BMP selected			
	No BMP selected			
	No BMP selected			
	No BMP selected			
	No BMP selected			



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2021-04-206162-MJS-01

Tax Parcel Number: 234-29.00-42.00

Status: Approved as Submitted

Date: 02/25/2021

Project

Baylis Estates Phase 2

Mount Joy Road
Millsboro DE 19966

Baylis Estates
Phase #: 2

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 80 - Indian River Volunteer Fire Co.,
Inc.

Occupant Load Inside:

Occupancy Code:

Applicant

Jena Cooper
18958 Coastal Highway
Rehoboth, DE 19971

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:

Desiree McCall

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2021-04-206162-MJS-01

Tax Parcel Number: 234-29.00-42.00

Status: Approved as Submitted

Date: 02/25/2021

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1030 A** This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 500 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 1,000' on center.
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1130 A** Provide a water flow test on the subdivision hydrant(s) once they have been installed, and before they are placed into service (DSFPR Part I, Section 4 4.2 and Part III, Chapter 3). Results are to be forwarded to this Agency for review.
- 1132 A** Fire hydrants shall be color coded in accordance with the DSFPR, Part III, Section 3 4. This includes both color coding the bonnet and 2" reflective tape around the barrel under the top flange.
- 1232 A** All threads provided for fire department connections, to sprinkler systems, standpipes, yard hydrants or any other fire hose connections shall be uniform to those used by the fire department in whose district they are located. DSFPR Part III, Section 1.1.5.1.
- 1432 A** The steamer connection of all fire hydrants shall be so positioned so as to be facing the street or fire lane. (DSFPR Regulation 705, Chapter 5, Section 10). The center of all hose outlet(s) on fire hydrants shall be not less than 18 inches above finalgrade (NFPA 24, Section 7.3.3).

1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.

ENGINEERING DEPARTMENT

JOHN J. ASHMAN
SR. MANAGER OF UTILITY PLANNING
& DESIGN REVIEW

(302) 855-7370 T
(302) 854-5391 F
jashman@sussexcountype.gov



Sussex County

DELAWARE
sussexcountype.gov
HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

December 9, 2021

Mr. Steve Fortunato, P.E.
Bohler Engineering
18958 Coastal Hwy., Suite D
Rehoboth Beach, DE 19971

REF: **BAYLIS ESTATES – PHASE 2
OAK ORCHARD SANITARY SEWER DISTRICT
SUBDIVISION NO. 2021-13
SUSSEX COUNTY TAX MAP NUMBER
234 – 29.00 PARCEL 42.00
AGREEMENT # 439-2**

Dear Mr. Fortunato:

The above referenced project was approved on December 9, 2021 and one (1) set of approved plans are enclosed. This approval is valid for three (3) years, unless prior to expiration of that three (3) year period, a time extension is requested and approved by the Department. Plans granted an extension beyond the three (3) period will be required to meet updated standards and specifications.

Also, it is your responsibility to secure approvals and/or permits that may be required by other regulatory agencies.

Please contact Mrs. Susan Isaacs of Division of Utility Engineering to initiate pre-construction procedures for private roads and Mr. Keith Bryan in Division of Utility Engineering to initiate pre-construction procedures for sanitary sewer.

Should you have any questions, please do not hesitate to contact me.

Sincerely,

SUSSEX COUNTY ENGINEERING DEPARTMENT

Jordan T. Dickerson
Public Works Technician IV

cc: Mr. Keith Bryan, w/2 enclosures
Public Works Field File, w/enclosure





November 4, 2021

TIDEWATER UTILITIES, INC.

APPROVAL TO CONSTRUCT

Meadows District

Baylis Estates Phase 2 Connection

PWS #DE0000271

Approval #21W160

Mr. Stan Aldridge
Baylis Estates Investments, LLC
16255 Sussex Highway
Bridgeville, DE 19933

Dear Mr. Aldridge:

As provided by Section 2.11 of the *State of Delaware Regulations Governing Public Drinking Water Systems*, you are granted approval to connect Baylis Estates – Phase 2 to the existing main in accordance with the plans submitted by Bohler Engineering. The plans consist of:

1. Transmittal letter dated November 2, 2021.
2. Two copies of the plans entitled “Construction Plans for Baylis Estates Phase 2” dated February 12, 2021 and revised November 2, 2021.

These plans, as noted, are made a part of this approval. This approval is granted subject to the enclosed list of conditions. It is the owner’s responsibility to ensure as-built drawings are maintained throughout all phases of construction. Prior to receiving an Approval to Operate, the Office of Engineering requires one set of as-built drawings, including profile markups.

The Office of Engineering recommends detectable tracer tape that is three inches wide and blue in color to be installed directly above all water mains larger than two inches in diameter.

I am sending one set of plans with a copy of this approval to Bohler Engineering that is signed and dated by the Office of Engineering.

Mr. Stan Aldridge
Baylis Estates Investments, LLC
November 4, 2021
Page 2

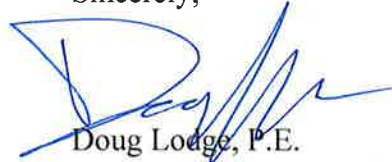
Should you have any questions regarding this matter, please feel free to contact Bill Milliken at (302) 741-8646.

Plans reviewed by:



William J. Milliken, Jr.
Engineer III
Office of Engineering

Sincerely,

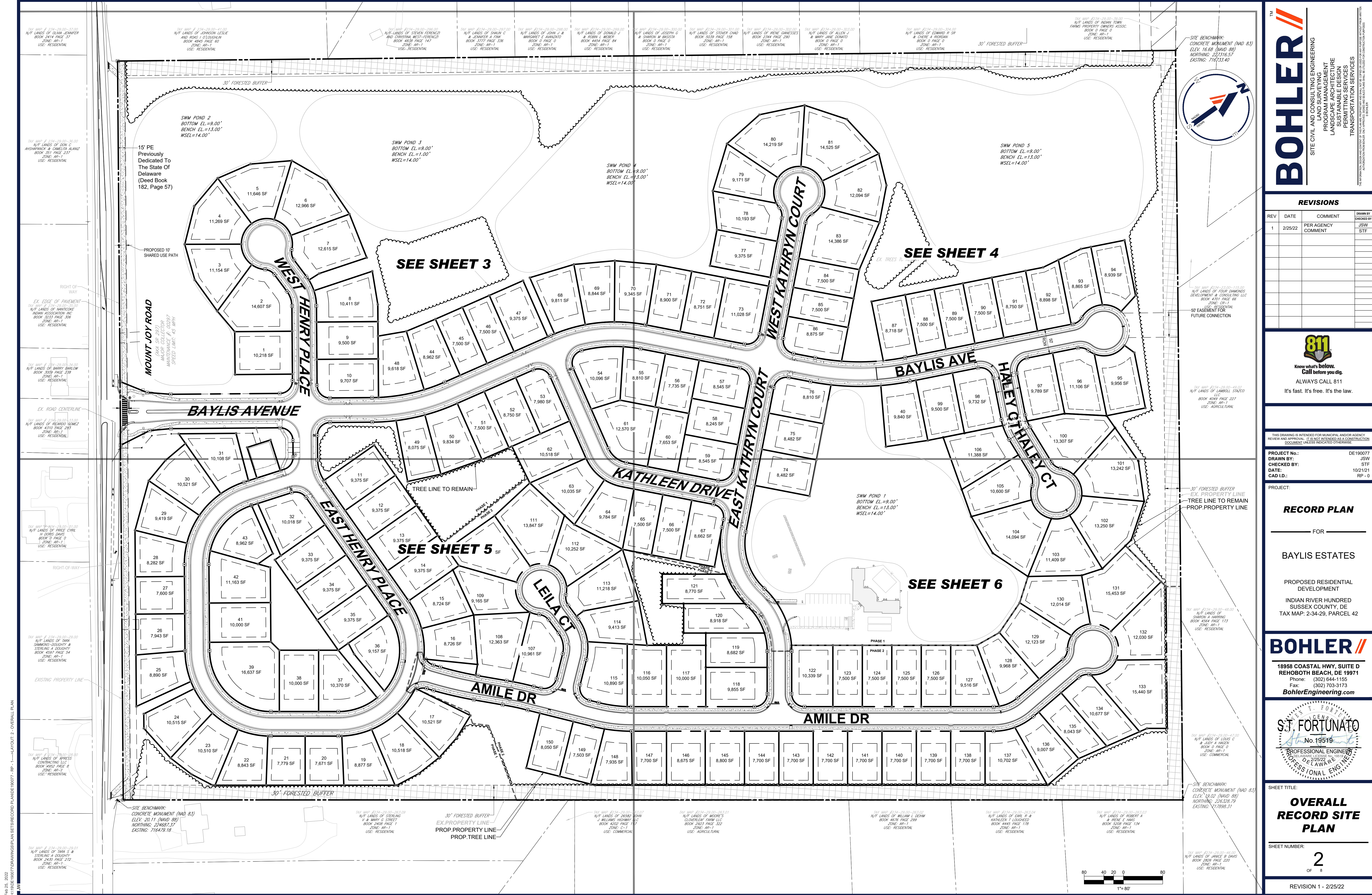


Doug Lodge, P.E.
Supervisor of Engineering
Office of Engineering

cc: Tawanda Priester, Tidewater Utilities, Inc.
Alexis Virdin-Gede, Tidewater utilities, Inc.
Steve Fortunato, P.E. Bohler Engineering
Ashley Kunder, Office of Drinking Water

1. The approval is void if construction has not started by November 4, 2022.
2. The project shall be constructed in accordance with the approved plans and all required conditions listed in this Approval to Construct. If any changes are necessary, revised plans shall be submitted and a supplemental approval issued prior to the start of construction. As-built plans including profile mark-ups must be submitted to the Office of Engineering after construction has been completed.
3. Representatives of the Division of Public Health may inspect this project at any time during the construction.
4. This approval does not cover the structural stability of any units or parts of this project.
5. The water system shall be operated in conformance with the *State of Delaware Regulations Governing Public Drinking Water Systems*.
6. All potable water lines and appurtenances shall be disinfected using one of the methods in the American Water Works Association Standard C651, current edition.
7. Water mains crossing sanitary and storm sewers should be laid to provide a minimum vertical distance of 18 inches between the outside of the water main and the outside of the sewer, and the water main should be above the sewer. At crossings, one full length of water pipe should be located so both joints will be as far from the sewer as possible. Special structural support for the water and sewer pipes may be required. In cases where it is not practical to maintain an 18-inch separation, the Division may allow deviation on a case-by-case basis if supported by data from the design engineer.
8. Water mains should be laid 10 feet horizontally from any existing or proposed sanitary or storm sewers. The distance should be measured edge to edge. In cases where it is not practical to maintain a 10-foot separation, the Division may allow deviation on a case-by-case basis if supported by data from the design engineer.
9. All chemicals, materials, mechanical devices, and coatings in contact with potable water shall comply with National Sanitation Foundation/American National Standards Institute Standards (NSF/ANSI) 60 and 61 and shall be inert, nontoxic, and shall not impart any taste, odor, or color to the water.
10. Sufficient valves should be provided so that inconvenience and sanitary hazards will be minimized during repairs. Valves should be located at not more than 500-foot intervals in commercial districts and at not more than one block or 800-foot intervals in other districts.
11. There shall be no connection between the distribution system and any pipes, pumps, hydrants, or tanks whereby unsafe water or other contaminating materials may be discharged or drawn into the system.

12. Fire hydrant drains shall not be connected to or located within 10 feet of sanitary sewers, storm sewers, or storm drains.
13. Prior to usage of water from this new well, water plant, storage plant, or distribution system, approval for the water quality must be obtained from the Division of Public Health.
14. The water system should be capable of providing at least 25 psi at ground level at all times throughout the distribution system.
15. All plastic pipe utilized in this drinking water system shall be approved for potable water use (NSF-pw). If any piping is joined with solder or flux, the solder and flux shall be lead free (less than or equal to 0.2 percent lead).
16. All water lines should be buried to a depth of at least 3 feet.
17. A certificate of Public Conveniences and Necessity should be acquired from the Public Service Commission, (302) 739-4247.
18. This approval is for the distribution system only. Plans and specifications for all well plumbing, pumps, storage (including any interior coatings), and treatment must be submitted to and approved by this office prior to their installation.
19. The approval is subject to immediate revocation upon violation of any of the preceding conditions.
20. All other local (state/county/city/town) approvals or permits needed must be obtained prior to beginning construction.
21. Upon completion of construction and before the system is placed into operation, a "Notice of Completion" must be submitted to the Office of Engineering. Before placing the system into operation, the following must be adhered to:
 - a. Submit a set of as-built plans with profile markups to the Office of Engineering.
 - b. Obtain an Approval to Operate from the Office of Engineering.



SITE BENCHMARK:
CONCRETE MONUMENT (NAD 83)
ELEV. 16.58' (NAVD 88)
NORTHING: 227316.57
EASTING: 716733.40

SITE BENCHMARK:
CONCRETE MONUMENT (NAD 83)
ELEV. 20.11' (NAVD 88)
NORTHING: 224687.57
EASTING: 716478.18

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

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1	2/25/22	PER AGENCY COMMENT	JSW	STF

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PROJECT No.: DE190077
DRAWN BY: JSW
CHECKED BY: STF
DATE: 10/21/21
CAD ID: RP - 0

RECORD PLAN
FOR
BAYLIS ESTATES
PROPOSED RESIDENTIAL DEVELOPMENT
INDIAN RIVER HUNDRED
SUSSEX COUNTY, DE
TAX MAP: 2-34-29, PARCEL 42

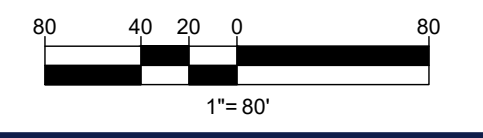
BOHLER
18958 COASTAL HWY, SUITE D
REHOBOTH BEACH, DE 19971
Phone: (302) 644-1155
Fax: (302) 703-3173
BohlerEngineering.com

S.T. FORTUNATO
No. 19519
PROFESSIONAL ENGINEER
STATE OF DELAWARE
PROFESSIONAL ENGINEER

OVERALL RECORD SITE PLAN

SHEET NUMBER: **2**
OF 8
REVISION 1 - 2/25/22

FEB 25, 2022 HYDRO 190077.DWG PLAN SET RECORD PLANS DE 190077 - RP - 1 - LAYOUT 2 - OVERALL PLAN



TAX MAP # 234-29.00-37.00
N/F LANDS OF OLIVIA JENNIFER
BOOK 2414 PAGE 37
ZONE: AR-1

TAX MAP # 234-29.00-41.00
N/F LANDS OF JOHNSON LESLIE AND
ROAS I O'LOUGHLIN
BOOK 4845 PAGE 60
ZONE: AR-1

TAX MAP # 234-29.00-296.00
N/F LANDS OF STEVEN FERENCZI AND
CHRISTINA WEST-FERENCZI
BOOK 4838 PAGE 147
ZONE: AR-1

TAX MAP # 234-29.00-297.00
N/F LANDS OF SHAUN C &
JENNIFER A FINK
BOOK 3777 PAGE 336
ZONE: AR-1

NOTE
1) A 20-FOOT WIDE PERMANENT EASEMENT CONTAINING 1230+ SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAN, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE FUTURE PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORMDRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.



TAX MAP # 234-29.00-36.00
N/F LANDS OF DON C
AHSHAPANCK & CAMELITA
ALANIZ
BOOK 351 PAGE 237
ZONE: AR-1

MOUNT JOY ROAD
(MAJOR SR 297)
MAJOR COLLECTOR
MAINTENANCE # 00297
SPEED LIMIT: 45 MPH

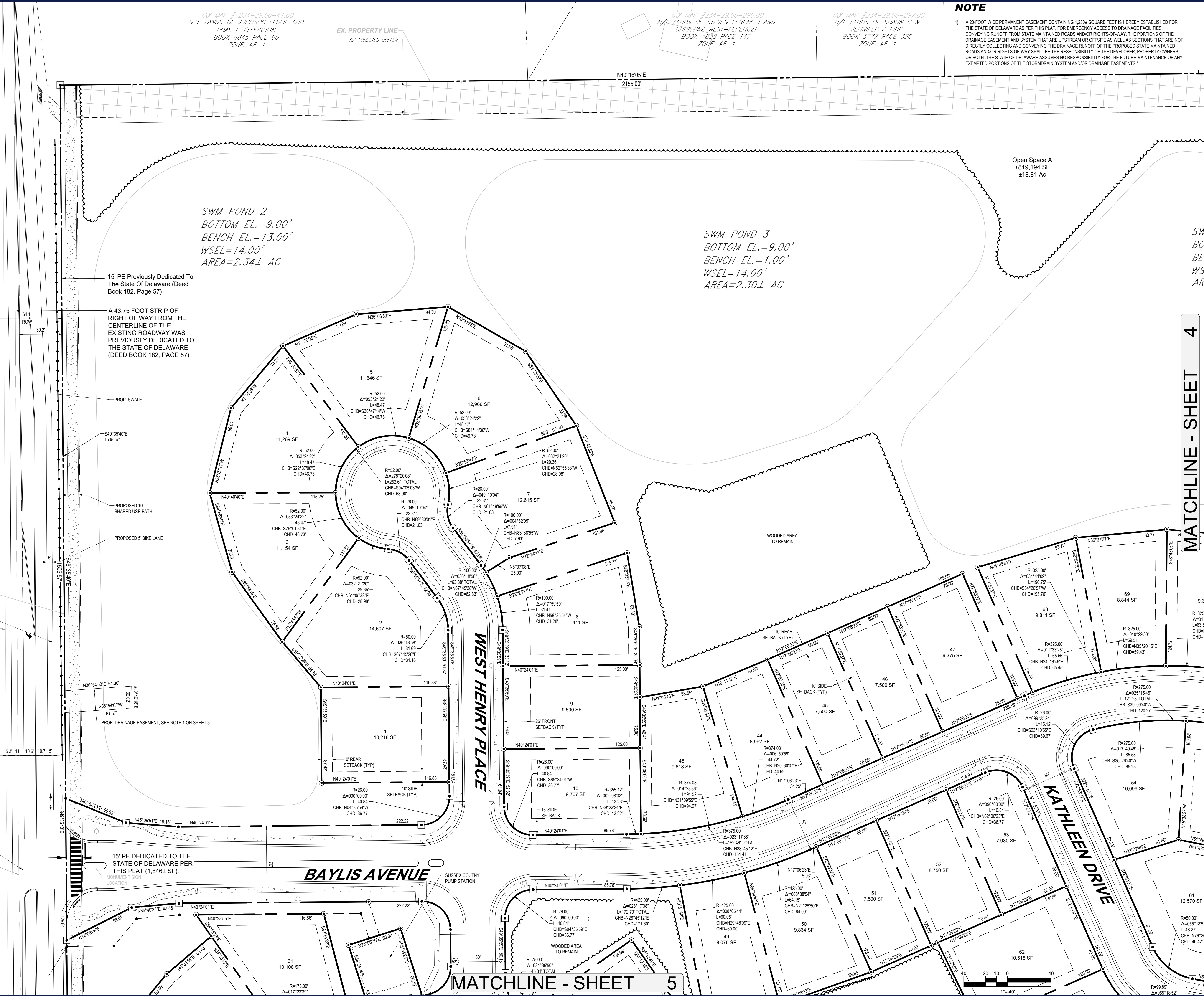
TAX MAP # 234-29.00-35.00
N/F LANDS OF NANTICOKE
INDIAN ASSOCIATION INC
BOOK 3233 PAGE 306
ZONE: AR-1

TAX MAP # 234-29.00-41.00
N/F LANDS OF BARRY BARLOW
BOOK 3009 PAGE 238
ZONE: AR-1

TAX MAP # 234-29.00-43.00
N/F LANDS OF RICARDO GOMEZ
BOOK 4310 PAGE 293-1
ZONE: AR-1

PROPERTY MARKER LEGEND

	SET CONCRETE MONUMENT.
	SET IRON ROD AND CAP.
	EXISTING PROPERTY MARKER



MATCHLINE - SHEET 4

MATCHLINE - SHEET 5

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	2/25/22	PER AGENCY COMMENT	JSW STF

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PROJECT No.:	DE190077
CHECKED BY:	JSW
DATE:	10/21/21
CAD ID:	RP - 0

RECORD PLAN
FOR
BAYLIS ESTATES
PROPOSED RESIDENTIAL DEVELOPMENT
INDIAN RIVER HUNDRED
SUSSEX COUNTY, DE
TAX MAP: 2-34-29, PARCEL 42

BOHLER
18958 COASTAL HWY, SUITE D
REHOBOTH BEACH, DE 19971
Phone: (302) 644-1155
Fax: (302) 703-3173
BohlerEngineering.com

S.T. FORTUNATO
Professional Engineer
No. 19519
STATE OF DELAWARE
PROFESSIONAL ENGINEER

SHEET TITLE:
RECORD SITE PLAN
SHEET NUMBER:
3
OF 8
REVISION 1 - 2/25/22

TAX MAP #234-29.00-300.00
N/F LANDS OF JOSEPH G &
SHARON M BASISTA
BOOK 0 PAGE 0
ZONE: AR-1

TAX MAP #234-29.00-301.00
N/F LANDS OF STOVER CHAD
BOOK 5039 PAGE 158
ZONE: AR-1

TAX MAP #234-29.00-302.00
N/F LANDS OF IRENE GIANESSE
BOOK 2344 PAGE 290
ZONE: AR-1

TAX MAP #234-29.00-303.00
N/F LANDS OF ALLEN J &
MARY JANE DONATO
BOOK 0 PAGE 0
ZONE: AR-1

TAX MAP #234-29.00-304.00
N/F LANDS OF EDWARD R SR &
CHERE A RIORDAN
BOOK 0 PAGE 0
ZONE: AR-1

TAX MAP #234-29.00-300.00
N/F LANDS OF INDIAN TOWN
FARMS PROPERTY OWNERS ASSOC.
BOOK 0 PAGE 0
ZONE: AR-1

SITE BENCHMARK
CONCRETE MONUMENT (NAD 83)
ELEV. 16.68 (NAVD 88)
NORTHING: 227316.57
EASTING: 716733.40



SWM POND 4
BOTTOM EL.=9.00'
BENCH EL.=13.00'
WSEL=14.00'
AREA=2.89± AC

SWM POND 5
BOTTOM EL.=9.00'
BENCH EL.=13.00'
WSEL=14.00'
AREA=3.81± AC

MATCHLINE - SHEET 3

WEST KATHRYN COURT

BAYLIS AVE

HALEY
PHASE 1
PHASE 2

MATCHLINE - SHEET 6

PROPERTY MARKER LEGEND

- SET CONCRETE MONUMENT.
- SET IRON ROD AND CAP.
- EXISTING PROPERTY MARKER

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	2/25/22	PER AGENCY COMMENT	JSW STF

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PROJECT No.: DE190077
DRAWN BY: JSW
CHECKED BY: STF
DATE: 10/21/21
CAD ID: RP - 0

RECORD PLAN

FOR
BAYLIS ESTATES
PROPOSED RESIDENTIAL DEVELOPMENT
INDIAN RIVER HUNDRED
SUSSEX COUNTY, DE
TAX MAP: 2-34-29, PARCEL 42

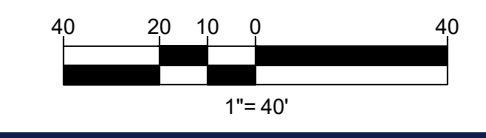
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Fax: (302) 703-3173
BohlerEngineering.com

S.T. FORTUNATO
Professional Engineer
No. 19519
DELAWARE
PROFESSIONAL ENGINEER

RECORD SITE PLAN

SHEET NUMBER:
4
OF 8
REVISION 1 - 2/25/22



REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
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PROJECT No.: DE190077
 DRAWN BY: JSW
 CHECKED BY: STF
 DATE: 10/21/21
 CAD ID: RP - 0

RECORD PLAN

FOR

BAYLIS ESTATES

PROPOSED RESIDENTIAL DEVELOPMENT
 INDIAN RIVER HUNDRED
 SUSSEX COUNTY, DE
 TAX MAP: 2-34-29, PARCEL 42

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 PROFESSIONAL ENGINEER
 STATE OF DELAWARE
 PROFESSIONAL ENGINEER

SHEET TITLE:
RECORD SITE PLAN

SHEET NUMBER:
5
 OF 8

REVISION 1 - 2/25/22



TAX MAP # 234-29-00-33.00
 N/F LANDS OF RICARDO GOMEZ
 BOOK 4310 PAGE 293
 ZONE: AR-1

TAX MAP # 234-29-00-31.00
 N/F LANDS OF PRICE
 CYRIL H DORIS DAVIS
 BOOK 0 PAGE 0
 ZONE: AR-1

TAX MAP # 234-29-00-29.00
 N/F LANDS OF TARA
 SAMMONS-DOUGHTY &
 STERLING A DOUGHTY
 BOOK 4597 PAGE 54
 ZONE: AR-1

TAX MAP # 234-29-00-28.00
 N/F LANDS OF XPRSS
 CONTRACTING LLC
 BOOK 4952 PAGE 8
 ZONE: AR-1

PROPERTY MARKER LEGEND

- SET CONCRETE MONUMENT.
- SET IRON ROD AND CAP.
- EXISTING PROPERTY MARKER

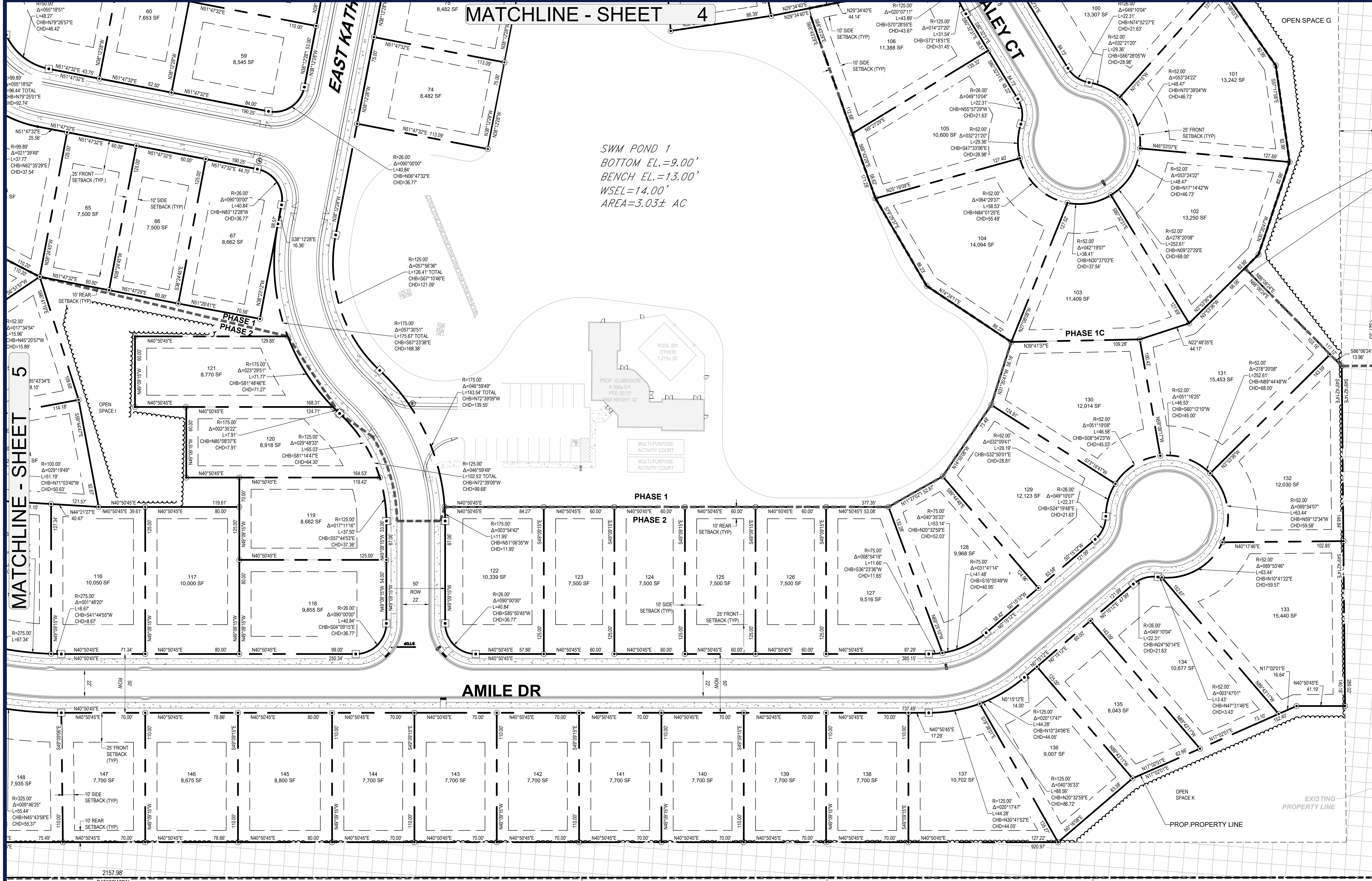
SITE BENCHMARK:
 CONCRETE MONUMENT (NAD 83)
 ELEV. 20.11 (NAD 83)
 NORTHING: 224687.37
 EASTING: 776479.18

TAX MAP # 234-29-00-263.00
 N/F LANDS OF STERLING V & MARY
 G STREET
 BOOK 240B PAGE 1
 ZONE: AR-1

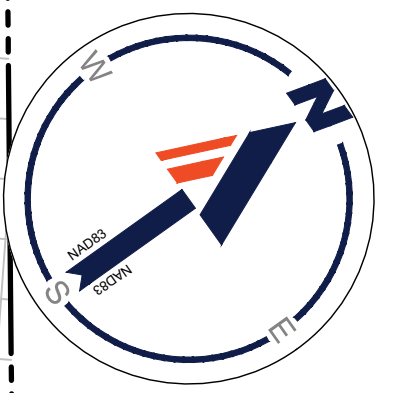
NOTE

1) A 20-FOOT WIDE PERMANENT EASEMENT CONTAINING 687± SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAN. FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY, THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORMDRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.

MATCHLINE - SHEET 4



SWM POND 1
 BOTTOM EL.=9.00'
 BENCH EL.=13.00'
 WSEL=14.00'
 AREA=3.03± AC



30' FORESTED BUFFER
 EX. PROPERTY LINE
 PROP. TREE LINE
 PROP. PROPERTY LINE

MATCHLINE - SHEET 5

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 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

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PROJECT No.: DE190077
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 CHECKED BY: STF
 DATE: 10/21/21
 CAD ID: RP - 0

RECORD PLAN

FOR
BAYLIS ESTATES
 PROPOSED RESIDENTIAL DEVELOPMENT
 INDIAN RIVER HUNDRED
 SUSSEX COUNTY, DE
 TAX MAP: 2-34-29, PARCEL 42

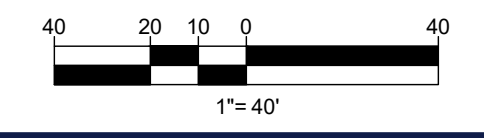
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 Fax: (302) 703-3173
 BohlerEngineering.com

S.T. FORTUNATO
 No. 19519
 PROFESSIONAL ENGINEER
 DELAWARE
 PROFESSIONAL ENGINEER

SHEET TITLE:
RECORD SITE PLAN
 SHEET NUMBER:
6
 OF 8
 REVISION 1 - 2/25/22

PROPERTY MARKER LEGEND

	SET CONCRETE MONUMENT.
	SET IRON ROD AND CAP.
	EXISTING PROPERTY MARKER



FEB 25, 2022
 H:\BOHLER\190077\DWG\PLANS\SETBACK\PLANS\1-1-LAYOUT-6 - SITE PLAN

TAX MAP #234-29.00-263.07
 N/F LANDS OF MOORE'S CLOVERLEAF FARM LLC
 BOOK 2923 PAGE 322
 ZONE: AR-1

TAX MAP #234-29.00-263.02
 N/F LANDS OF WILLIAM L. DEHM
 BOOK 4676 PAGE 299
 ZONE: AR-1

TAX MAP #234-29.00-263.04
 N/F LANDS OF EARL R. & KATHLEEN T. LOUGHEED
 BOOK 4445 PAGE 178
 ZONE: AR-1

TAX MAP #234-29.00-263.03
 N/F LANDS OF ROBERT A. & IRENE E. HAYS
 BOOK 5208 PAGE 134
 ZONE: AR-1

TAX MAP #234-29.00-263.01
 N/F LANDS OF LOUIS C. & JUDY A. HAGEN
 BOOK 0 PAGE 0
 ZONE: AR-1

SITE BENCHMARK:
 CONCRETE MONUMENT (NO. 83)
 ELEV. 13.52 (NAVD 83)
 NORTHING: 226,328.79
 EASTING: 717,888.31

SITE PLAN
 PLAN SHEET 7
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY	DRAWN BY
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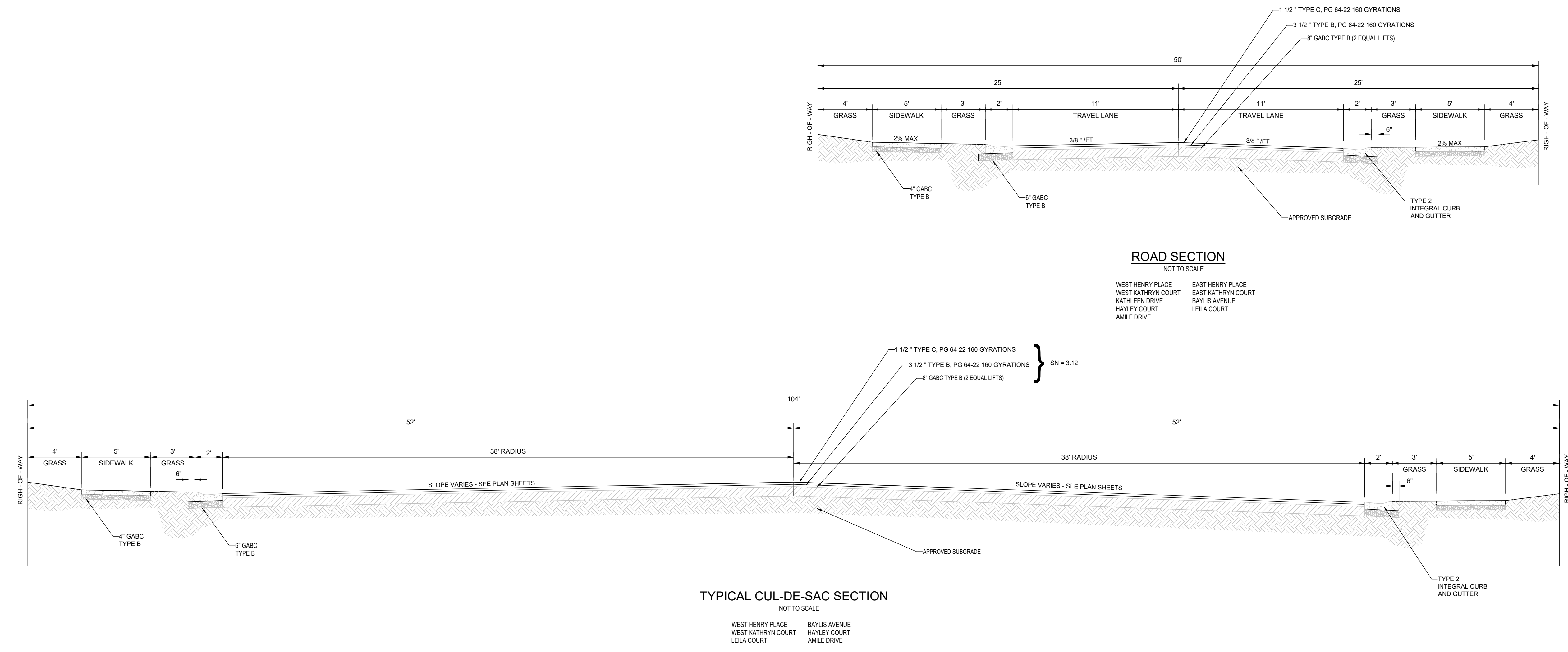
PROJECT No.: DE190077
 DRAWN BY: JSW
 CHECKED BY: STF
 DATE: 10/21/21
 CAD ID: RP - 0

RECORD PLAN
 FOR
BAYLIS ESTATES
 PROPOSED RESIDENTIAL DEVELOPMENT
 INDIAN RIVER HUNDRED
 SUSSEX COUNTY, DE
 TAX MAP: 2-34-29, PARCEL 42

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SHEET TITLE:
ROAD SECTIONS
 SHEET NUMBER:
7
 OF 8
 REVISION 1 - 2/25/22





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 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	2/25/22	PER AGENCY COMMENT	JSW STF

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PROJECT No.: DE190077
 DRAWN BY: JSW
 CHECKED BY: STF
 DATE: 10/21/21
 CAD ID: RP - 0

RECORD PLAN
 FOR
**BAYLIS ESTATES
 PHASE 2**
 PROPOSED RESIDENTIAL
 DEVELOPMENT
 INDIAN RIVER HUNDRED
 SUSSEX COUNTY, DE
 TAX MAP: 2-34-29, PARCEL 42

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 REHOBOTH BEACH, DE 19971
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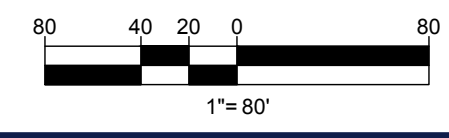
E.R. McWILLIAMS
 AND ASSOCIATES
 02/24/2022
 REGISTERED LANDSCAPE ARCHITECT
 STATE OF DELAWARE

SHEET TITLE:
**LANDSCAPE
 PLAN**

SHEET NUMBER:
8
 OF 8
 REVISION 1 - 2/25/22

FEB 25, 2022
 C:\PROGRAMS\BOHLER\2022\TEMP\AC\PUBLISH\7796\DE190077 - LSP - 0 - LAYOUT - 1 - OVERALL PLAN

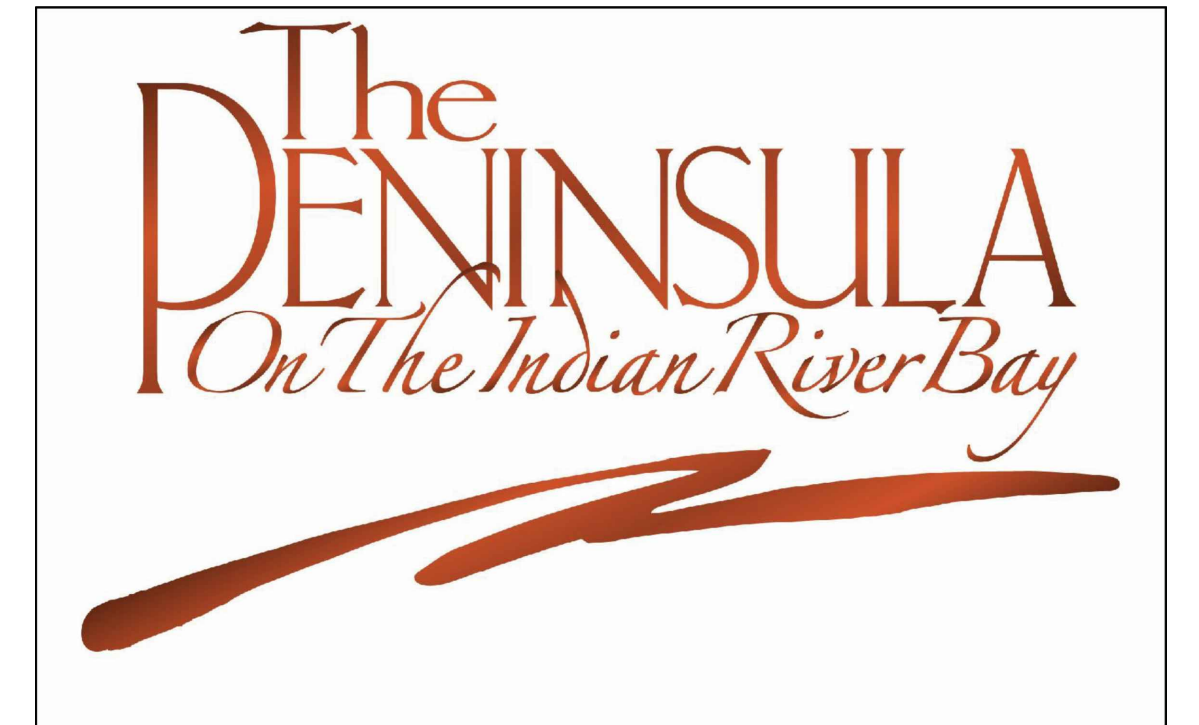
NOTE: A MIN. 30' WIDE FORESTED AREA IS TO REMAIN TO FULFIL THE REQUIREMENTS FOR AR - CLUSTER SUBDIVISION SUPERIOR DESIGN CRITERIA





- PER ORDINANCE NO.2690
(MAXIMUM SINGLE-FAMILY LOTS ALLOWED = 358)
- EXISTING SINGLE FAMILY LOTS-----312
- PER ORDINANCE NO.2690 REVISED CONDITIONS
(MAXIMUM SINGLE-FAMILY DETACHED CONDOMINIUMS ALLOWED = 388 471)
- PROPOSED(STILLWATER) SINGLE FAMILY DETACHED CONDOMINIUMS----79
- EXISTING SINGLE FAMILY DETACHED CONDOMINIUMS--388
- PER ORDINANCE NO.2690
(MAXIMUM SINGLE-FAMILY ATTACHED TOWN HOUSES ALLOWED = 270)
- EXISTING SINGLE FAMILY ATTACHED TOWN HOUSES--270
- PER ORDINANCE NO.2690 REVISED CONDITIONS
(MAXIMUM MULTI-FAMILY UNITS ALLOWED = 378 295)
- EXISTING MULTI-FAMILY UNITS-----295
- PER ORDINANCE NO. 2690
(MAXIMUM TOTAL UNITS ALLOWED = 1394)
- TOTAL UNITS-----1344

- EXISTING CONDITIONS**
(CONDITION 1 OF ORDINANCE 2690)
1. THE MAXIMUM NUMBER OF UNITS SHALL NOT EXCEED 1,394 UNITS COMPRISED, AS FOLLOWS:
 - A. 358 SINGLE-FAMILY LOTS
 - B. 388 SINGLE-FAMILY DETACHED CONDOMINIUMS
 - C. 270 SINGLE-FAMILY ATTACHED TOWNHOUSES
 - D. 378 MULTI-FAMILY UNITS
- PROPOSED CONDITIONS**
(REVISION TO CONDITION 1 OF ORDINANCE 2690)
1. THE MAXIMUM NUMBER OF UNITS SHALL NOT EXCEED 1,394 UNITS COMPRISED, AS FOLLOWS:
 - A. 358 SINGLE-FAMILY LOTS
 - B. 471 SINGLE-FAMILY DETACHED CONDOMINIUMS
 - C. 270 SINGLE-FAMILY ATTACHED TOWNHOUSES
 - D. 295 MULTI-FAMILY UNITS



PHASE 11 - STILL WATERS

THE PENINSULA ON INDIAN RIVER BAY INDIAN RIVER HUNDRED SUSSEX COUNTY, DELAWARE PRELIMINARY PLAN

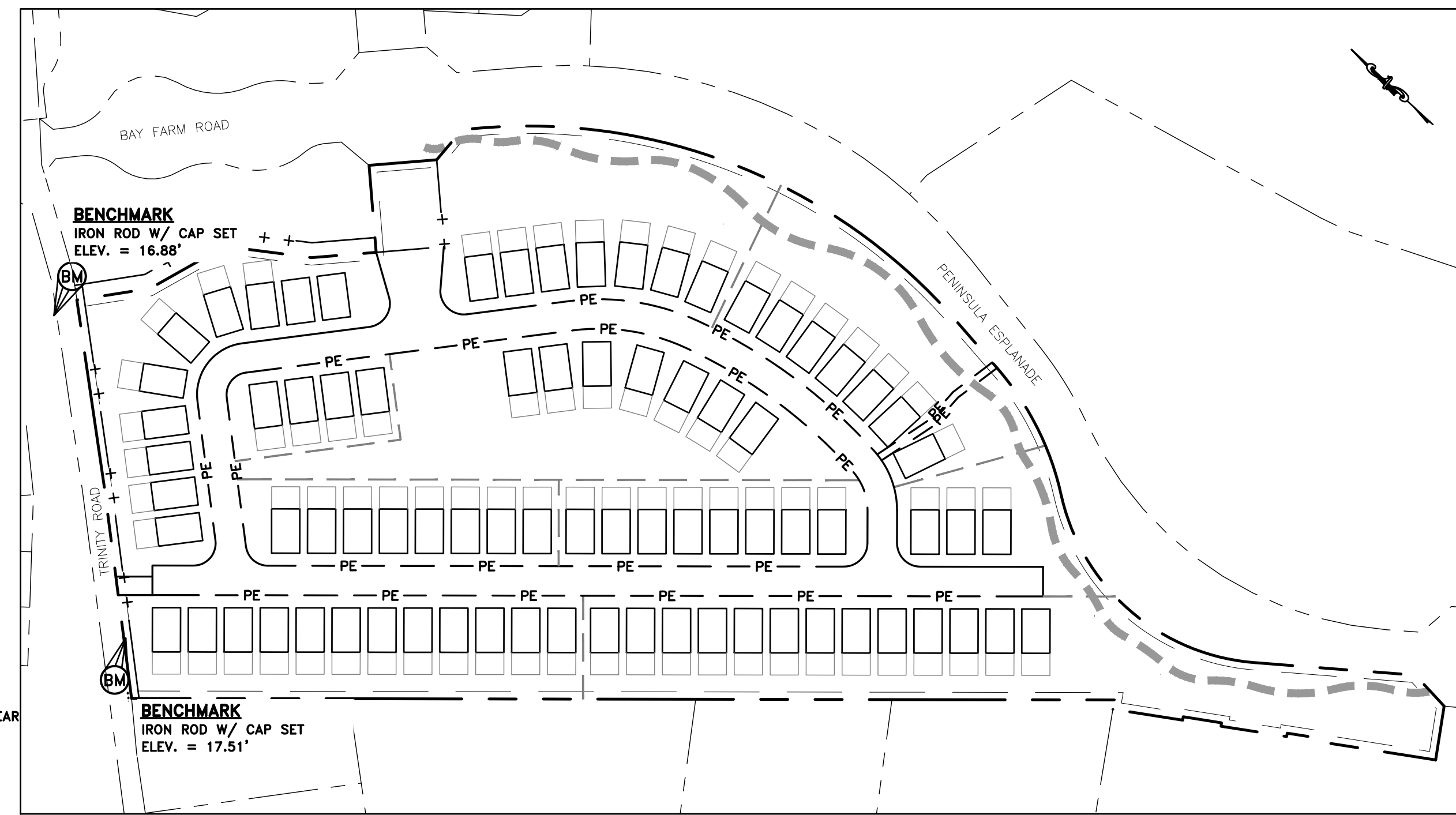
DECEMBER, 2021

DBF # 1319A052

GENERAL NOTES:

- STREETS, STORMWATER MANAGEMENT FACILITIES AND OTHER COMMON AREAS SHALL BE MAINTAINED BY THE DEVELOPER UNTIL SUCH TIME AS A HOMEOWNER'S ASSOCIATION CAN PROVIDE FOR REQUIRED MAINTENANCE. SUSSEX COUNTY AND THE STATE OF DELAWARE ASSUME NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE FACILITIES WITHIN THE SITE.
- SUBDIVISION STREETS CONSTRUCTED WITHIN THE LIMITS OF THE RIGHT-OF-WAY SHOWN ON THIS PLAN ARE PRIVATE AND ARE TO BE MAINTAINED BY THE DEVELOPER, PROPERTY OWNERS OR BOTH. THE STATE ASSUMES NO MAINTENANCE RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. SUSSEX COUNTY AND THE STATE OF DELAWARE ASSUME NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SIDEWALK.
- ACCESS TO ALL LOTS SHALL BE PROVIDED FROM THE PRIVATE SUBDIVISION STREETS PROPOSED WITH THIS PLAN. NO DIRECT ACCESS TO PUBLIC STREETS IS PROPOSED EXCEPT THE ENTRANCES SPECIFICALLY SHOWN ON THIS PLAN.
- BASED UPON FLOOD INSURANCE RATE MAP (FIRM) NUMBER 1005C0481K, DATED MARCH 16, 2015; THE ENTIRE PROPERTY IS LOCATED IN AN AREA DESIGNATED AS ZONE "X" (UNSHADED) - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN.
- THE BOUNDARY INFORMATION SHOWN IN THESE PLANS ARE BASED ON FIELD SURVEYS PERFORMED BY McCrone, Inc.
- TOPOGRAPHIC SURVEY DATA PROVIDED BY DAVIS, BOWEN, & FRIEDEL, INC.
- THIS PLAN DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHT-OF-WAYS CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS PROVIDED.
- UTILITY EASEMENTS DEPICTED HEREON REPRESENT, TO THE GREATEST EXTENT PERMITTED BY LAW, PRIVATE EASEMENTS FOR THE EXCLUSIVE USE AND BENEFIT OF THOSE UTILITY COMPANIES AND/OR OTHER PROVIDERS OF SERVICES TO THE DEVELOPMENT AS MAY BE DESIGNED BY OWNER, OR ITS SUCCESSORS AND ASSIGNS, FROM TIME TO TIME BY AN INSTRUMENT IN WRITING, AND IN NO WAY GRANT, CONVEY OR CREATE ANY GENERAL PUBLIC UTILITY EASEMENT OR ANY GENERAL OR PUBLIC ACCESS RIGHTS.
- UNLESS OTHERWISE DESIGNATED BY OWNER, OR ITS SUCCESSORS AND ASSIGNS, FROM TIME TO TIME BY AN INSTRUMENT IN WRITING, STORM DRAIN EASEMENTS DEPICTED HEREON REPRESENTS PRIVATE EASEMENTS TO ACCESS THE STORM DRAINS FOR THE SOLE PURPOSE OF MAINTAINING AND REPAIRING SUCH STORM DRAINS, AND IN NO WAY GRANT, CONVEY OR CREATE ANY GENERAL PUBLIC UTILITY EASEMENT OR ANY GENERAL OR PUBLIC ACCESS RIGHTS.
- NO BOUNDARY TREATMENT/FENCING IS PROPOSED.
- ANY ADDITIONAL ACCESSORY STRUCTURES ASSOCIATED WITH THE MULTIFAMILY DWELLINGS SHALL BE SUBJECT TO SITE PLAN REVIEW.
- THE OWNER SHALL CAUSE TO BE FORMED A HOMEOWNERS' ASSOCIATION TO BE RESPONSIBLE FOR THE OWNERSHIP AND MAINTENANCE OF THE STREETS, ROADS, BUFFERS, STORMWATER MANAGEMENT FACILITIES, AND OTHER COMMON AREAS. IN ADDITION, THE ASSOCIATION SHALL MAINTAIN THE CEMETERIES LOCATED WITHIN THE PROJECT. ACCESS TO THE CEMETERIES SHALL NOT BE DENIED TO FAMILY MEMBERS OF THE PERSONS INTERRED IN THE CEMETERIES.
- THE COMMON AREA WILL NOT INCLUDE, AMONG OTHER THINGS, THE GOLF COURSE PARCEL, CLUBHOUSE OR OTHER RECREATION FACILITIES.
- THE HOMEOWNERS' ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER DRAINAGE AND MANAGEMENT FACILITIES RELATED TO THE RESIDENTIAL PROPERTIES, HOMEOWNERS' ASSOCIATION PROPERTIES AND ROAD RIGHT-OF-WAY WITHIN THE PROJECT. THE HOMEOWNERS' ASSOCIATION SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER DRAINAGE AND MANAGEMENT FACILITIES THAT CONVEY STORMWATER FROM THESE THREE AREAS THROUGH THE GOLF COURSE PROPERTIES. HOWEVER, MAINTENANCE OF THE PORTION OF THE STORMWATER DRAINAGE AND MANAGEMENT FACILITIES RELATED TO THE GOLF COURSE SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE GOLF COURSE PROPERTIES. ALL STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION AS REQUIRED BY SUSSEX COUNTY, DELAWARE AND IN ACCORDANCE WITH THE DEVELOPER'S RESTRICTIVE COVENANTS ON GOLF COURSE PROPERTIES ENTERED INTO BY AND BETWEEN THE DEVELOPER AND THE HOMEOWNERS' ASSOCIATION (THE "GOLF COURSE COVENANTS"). SHOULD THE OWNER OR OWNERS OF THE GOLF COURSE PROPERTIES DEFAULT IN THE MAINTENANCE OF THE STORMWATER DRAINAGE AND MANAGEMENT FACILITIES, THE HOMEOWNERS' ASSOCIATION SHALL HAVE THE RIGHT TO MAINTAIN THE FACILITIES SUBJECT TO THE TERMS AND CONDITIONS OF THE GOLF COURSE COVENANTS.
- THIS SITE IS NOT IN AN AREA DESIGNATED TO HAVE EXCELLENT GROUNDWATER RECHARGE POTENTIAL.
- THIS SITE IS NOT IN A WELLHEAD PROTECTION AREA.

SHEET INDEX	
PRELIMINARY TITLE SHEET	C-900
PRELIMINARY PLAN - SITE PLAN	C-901
PRELIMINARY PLAN - UTILITY PLAN	C-902



LEGEND

	PROPERTY BOUNDARY LINE		PROPERTY LABEL
	PROPOSED PARCEL LINE		IRON ROD WITH CAP SET
	PROPOSED BUILDING SETBACK LINE		CONCRETE MONUMENT SET
	PROPOSED EASEMENT LINE		PROPERTY CORNER LOCATE
	EXISTING PROPERTY LINE		PROPOSED SIDEWALK
	EXISTING EASEMENT LINE		PROPOSED FORESTRY ROAD
	EXISTING SHARED USE PATH		

DATA COLUMN

TAX MAP ID: 2-34-30.00-317.00 & 317.02
2-34-30.00-318.00 THRU 365.00

DEED REF: D 4942/337

DATUM

VERTICAL: NAVD 88
HORIZONTAL: NAD 83(DE STATE PLANE)

LAT/LON:

IRON ROD WITH CAP SET
BENCHMARK: NORTH WEST SIDE
LAT: 224,770.65 LON: 723,644.57

IRON ROD WITH CAP SET
BENCHMARK: NORTH WEST SIDE
LAT: 225,137.96 LON: 723,900.06

EXISTING ZONING: MR-RPC(MEDIUM DENSITY RESIDENTIAL/
RESIDENTIAL PLANNED COMMUNITY)

PROPOSED USE: RESIDENTIAL DEVELOPMENT

TOTAL PROPOSED SITE AREA: 20.531 ACRES

PROPOSED UNITS: 79 SINGLE FAMILY (CONDO OWNERSHIP)

DENSITY:
MAXIMUM: 4.0 UNITS PER ACRE
PROPOSED: 3.9 UNITS PER ACRE

PROPOSED CONSTRUCTION: WOOD/CONCRETE BLOCK

AREAS:
PARCEL A: 1.991 AC
PARCEL B: 1.995 AC
PARCEL C: 3.359 AC
PARCEL D: 0.805 AC
PARCEL E: 2.009 AC
PARCEL F: 2.251 AC
PARCEL G: 2.479 AC
PARCEL H: 0.603 AC
PARCEL I: 1.146 AC
PARCEL J: 1.115 AC

EASEMENT AREA: 2.798 AC

TOTAL SITE AREA: 20.531 AC

IMPERVIOUS AREAS:
PAVEMENT(STREETS): 1.630 AC
SIDEWAYS: 0.307 AC
DRIVEWAYS: 0.751 AC
BUILDINGS: 6.229 AC
TOTAL IMPERVIOUS AREAS: 8.917 (43.4%)

SETBACK REQUIREMENTS

SINGLE FAMILY
FRONT YARD: 10 FT. (20' AGG. FRONT AND REAR)
SIDE YARD: 10 FT.
REAR YARD: 10 FT.

BUILDING HEIGHT: 42 FT. MAX. 3-1/2 STORIES

PARKING
REQUIRED: 2 SPACES PER FAMILY UNIT (79 TOTAL)
PROVIDED: 158 SPACES
158 SPACES

UTILITIES:

SANITARY SEWER: SUSSEX COUNTY SEWER
(LONG NECK SANITARY SEWER DISTRICT)

WATER SUPPLY: TIDEWATER UTILITIES INC.

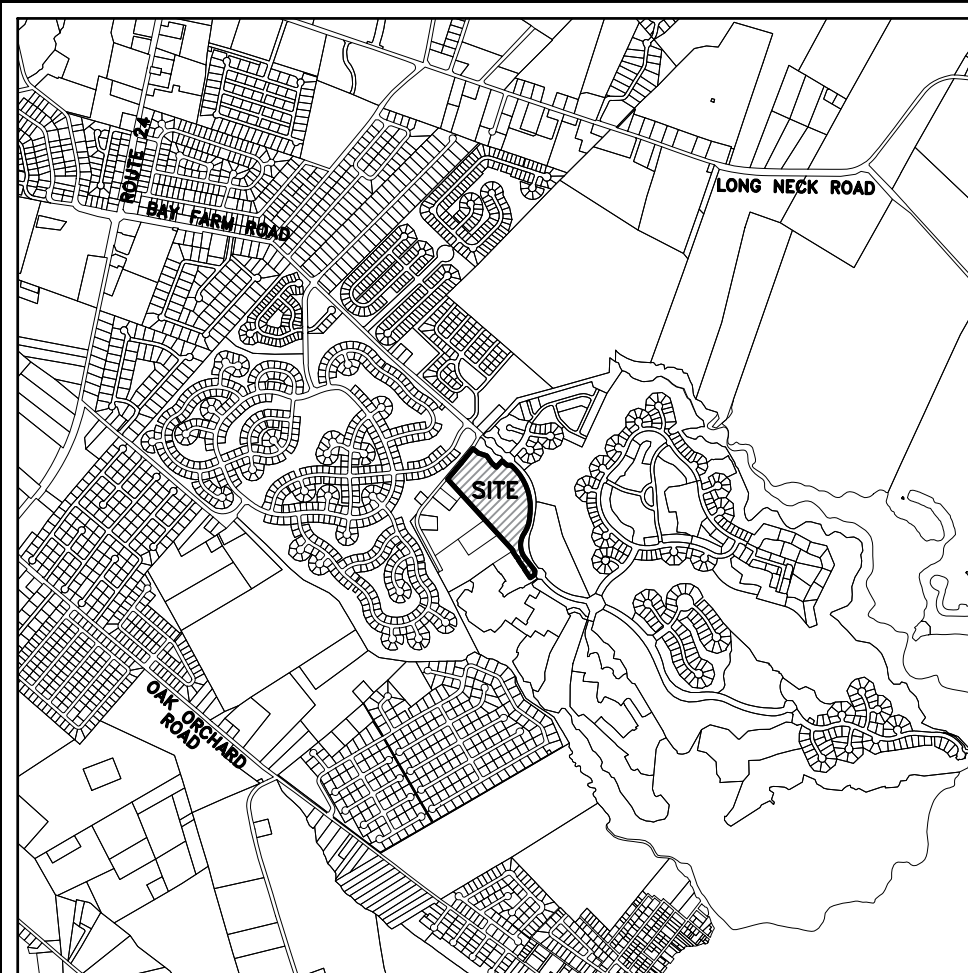
FLOOD HAZARD MAP: THE PROPERTY IS NOT IMPACTED BY THE 100 YEAR
FLOODPLAIN AS DETERMINED BY FEMA MAP
1005C0481K (DATED MARCH 16, 2015).

OWNER/DEVELOPER:

OA-BP MARINA BAY-LAKESIDE, LLC.
GREG TOBIAS
20184 PHILLIPS STREET
REHOBOTH BEACH, DE 19971
GREG@OACOMPANIES.COM

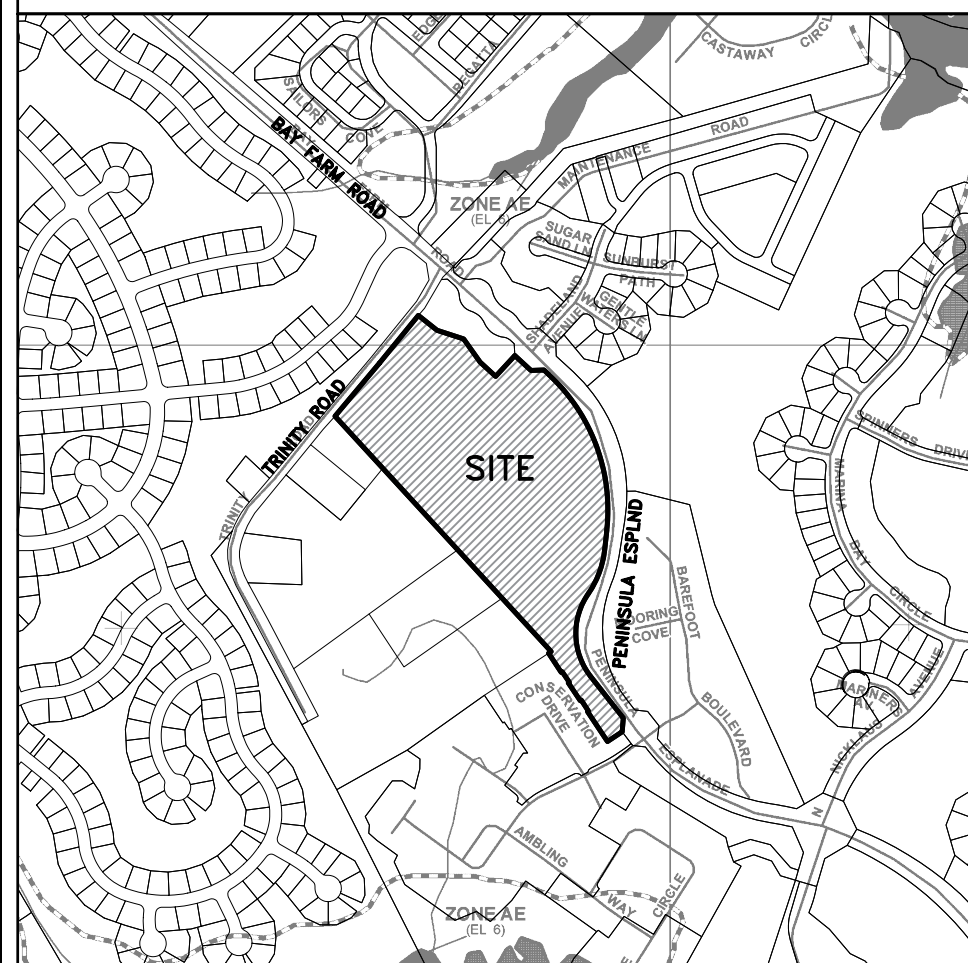
ENGINEER:

DAVIS, BOWEN & FRIEDEL, INC.
CLIFTON D. MUMFORD, P.E.
1 PARK AVENUE
MILFORD, DE 19963
PHONE:(302) 424-1441
FAX:(302) 424-0430
CDM@DBFINC.COM



LOCATION MAP

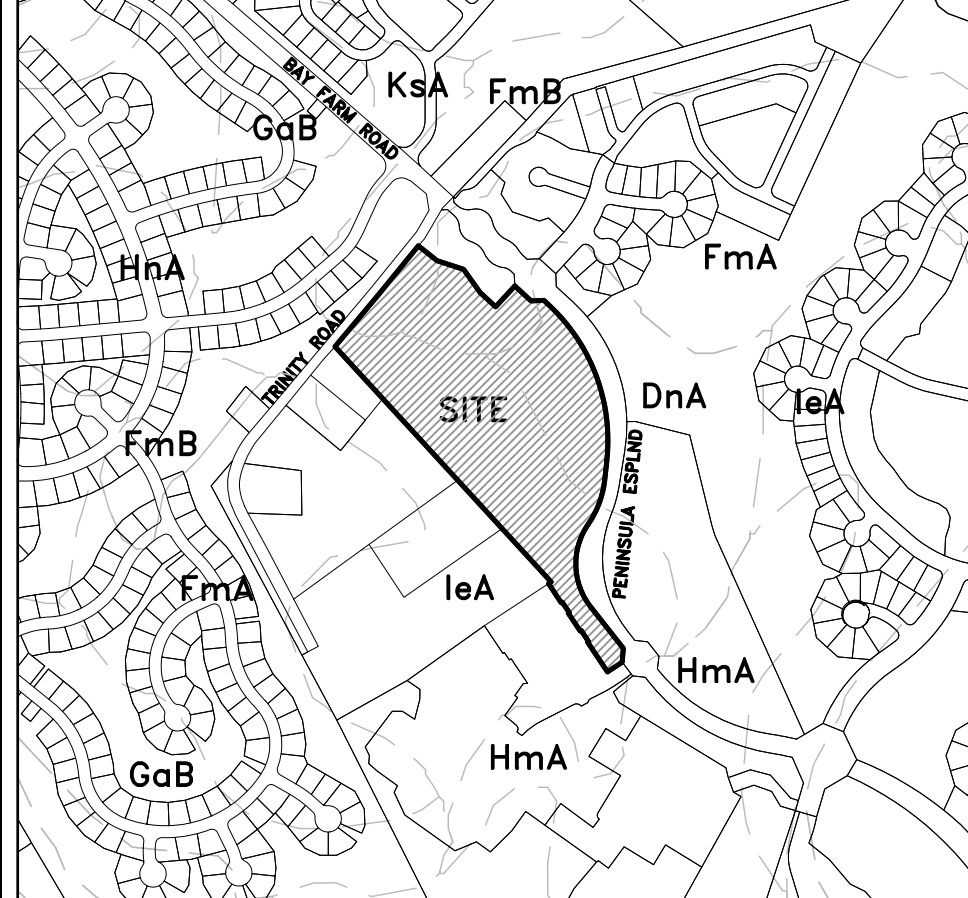
SCALE: 1" = 1/2 MILE



FLOODPLAIN MAP

SCALE: 1" = 800'

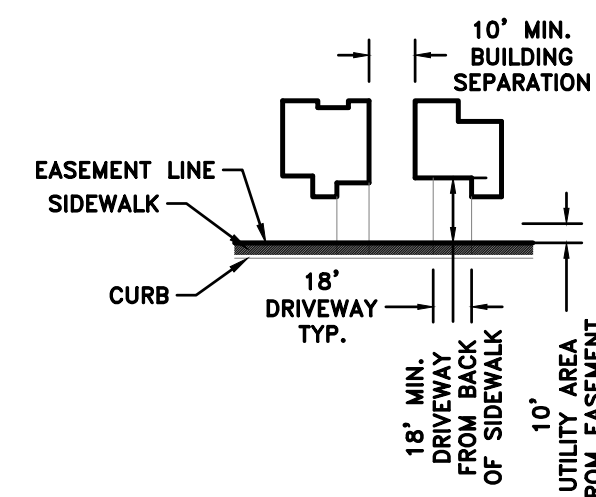
PANEL #10006C0481K MARCH 16, 2015'



SOILS MAP

SCALE: 1" = 800'

DnA - DOWNER LOAMY SAND, 0 TO 2% SLOPES, HSG A
FmB - FORT MOTT LOAMY SAND, 0 TO 2% SLOPES, HSG A
FmC - FORT MOTT LOAMY SAND, 2 TO 5% SLOPES, HSG A
IeA - INGLESIDE LOAMY SAND, 0 TO 5% SLOPES, HSG A



TYPICAL SINGLE FAMILY DETAIL

SUSSEX COUNTY PLANNING & ZONING APPROVAL

SUSSEX COUNTY PLANNING & ZONING STAFF _____ DATE _____

SUSSEX COUNTY COUNCIL PRESIDENT _____ DATE _____

ENGINEER'S STATEMENT

I, CLIFTON D. MUMFORD, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVIS, BOWEN & FRIEDEL, INC. _____ DATE _____
by CLIFTON D. MUMFORD, P.E.

OWNER'S STATEMENT

I, GREG TOBIAS, MANAGING MEMBER OF OCEAN ATLANTIC-BP INVESTORS AND MANAGER OF OA-BP MARINA BAY-LAKESIDE, LLC, IS THE OWNER OF THE PROPERTY WHICH IS THE SUBJECT OF THIS PLAN; THAT THIS SUBDIVISION PLAN THEREOF WAS MADE AT THEIR DIRECTION; THAT ALL STREETS SHOWN HEREON ARE TO BE PRIVATE RIGHT-OF-WAYS AND ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION; THAT ALL PROPOSED CONTROL MONUMENTS WILL BE SET AT THE LOCATIONS SHOWN, AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DESIRE THIS PLAN BE RECORDED ACCORDING TO LAW.

GREG TOBIAS, MANAGER _____ DATE _____

C-900

PROPOSED CURVE TABLE FOR BOUNDARY

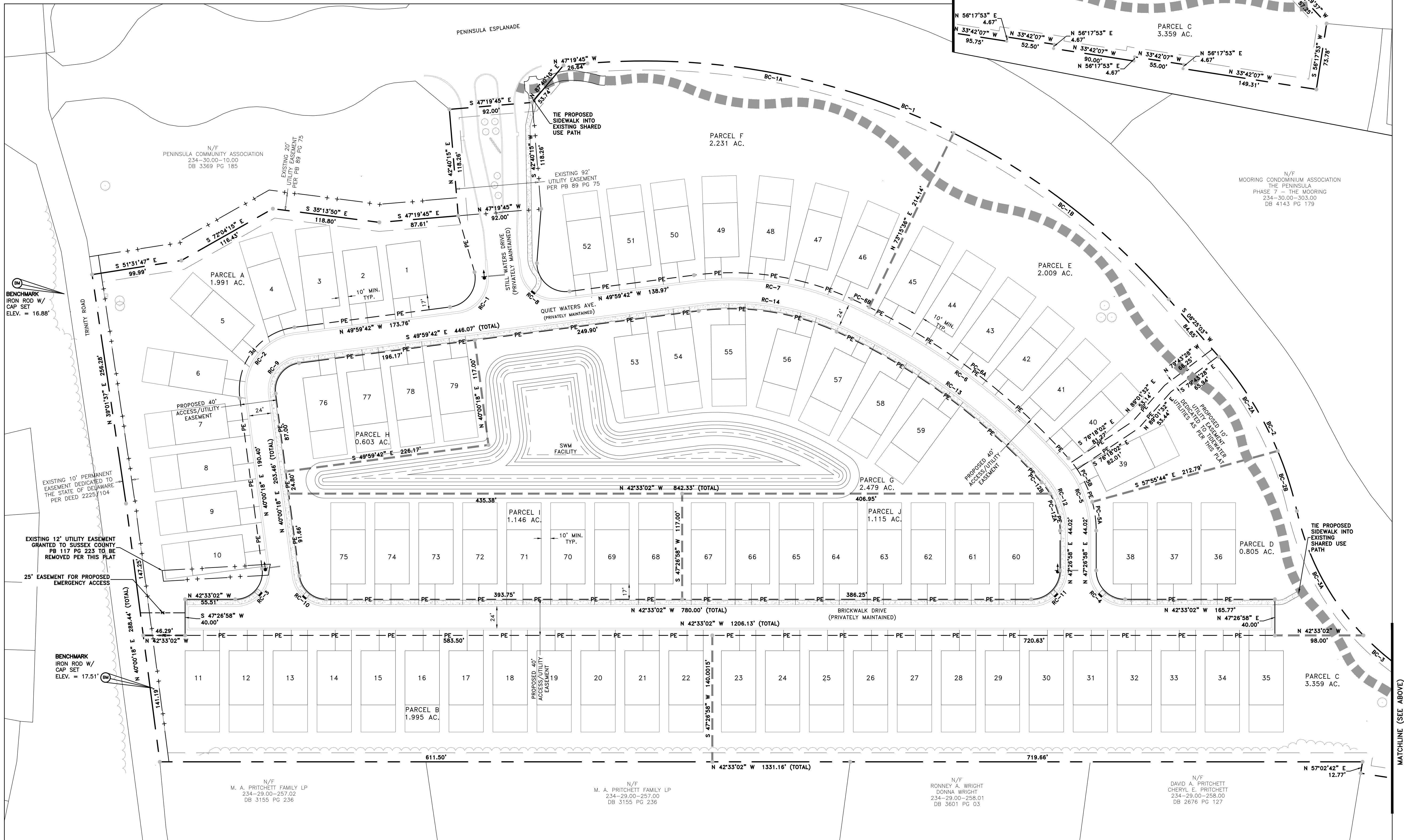
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
BC-1	768.00'	720.43'	694.30'	S 20°27'21" E	53°44'49"
BC-1A	768.00'	417.49'	412.37'	S 31°45'21" E	31°08'48"
BC-1B	768.00'	302.94'	300.98'	N 04°52'57" W	22°36'01"
BC-2	389.00'	193.25'	191.27'	S 20°38'58" W	28°27'50"
BC-2A	389.00'	123.26'	122.75'	N 15°29'42" E	18°09'18"
BC-2B	389.00'	69.99'	69.90'	N 29°43'37" E	10°18'32"
BC-3	291.00'	371.02'	346.40'	S 01°38'39" E	73°03'04"
BC-3A	291.00'	158.07'	156.14'	N 19°19'10" E	31°07'25"
BC-3B	291.00'	212.95'	208.23'	S 17°12'22" E	41°55'59"

PROPOSED CURVE TABLE FOR ACCESS EASEMENT

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
RC-1	32.00'	52.99'	47.14'	S 82°33'46" W	94°53'05"
RC-2	70.00'	109.96'	98.99'	S 85°00'18" W	90°00'00"
RC-3	30.00'	51.02'	45.09'	N 88°43'38" E	97°26'40"
RC-4	32.00'	50.27'	45.25'	N 02°26'58" E	90°00'00"
RC-5	120.00'	87.72'	85.78'	S 26°50'30" W	41°52'57"
RC-6	750.00'	299.99'	297.89'	N 06°12'21" W	23°32'45"
RC-7	320.00'	178.81'	176.49'	S 33°59'13" E	32°00'58"
RC-8	32.00'	53.91'	47.76'	N 01°43'57" W	96°31'29"
RC-9	30.00'	47.12'	42.43'	N 85°00'18" E	90°00'00"
RC-10	30.00'	43.23'	39.58'	S 01°18'22" E	82°33'20"
RC-11	32.00'	50.27'	45.25'	S 87°33'02" E	90°00'00"
RC-12	80.00'	58.48'	57.19'	S 26°30'30" W	41°52'57"
RC-13	690.00'	283.56'	281.57'	S 06°12'21" E	23°32'45"
RC-14	280.00'	156.46'	154.43'	N 33°59'13" W	32°00'58"

PROPOSED CURVE TABLE FOR LOTS

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
PC-SA	120.00'	32.21'	32.11'	S 39°45'37" W	15°22'42"
PC-5B	120.00'	55.51'	55.02'	N 18°49'09" E	26°30'15"
PC-6A	750.00'	278.44'	276.76'	S 05°11'58" E	21°51'15"
PC-6B	750.00'	21.55'	21.55'	N 17°07'58" W	11°41'30"
PC-12A	80.00'	43.03'	42.51'	N 32°02'31" E	30°48'54"
PC-12B	80.00'	15.45'	15.43'	N 11°06'03" E	11°04'03"



BENCHMARK IRON ROD W/ CAP SET ELEV. = 16.88'

BENCHMARK IRON ROD W/ CAP SET ELEV. = 17.51'



DAVIS, BOWEN & FRIEDEL, INC.
 ARCHITECTS ENGINEERS SURVEYORS
 1400 N. MARKET STREET, SUITE 200
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 (302) 424-1441
 EASTON, MARYLAND (410) 770-4744

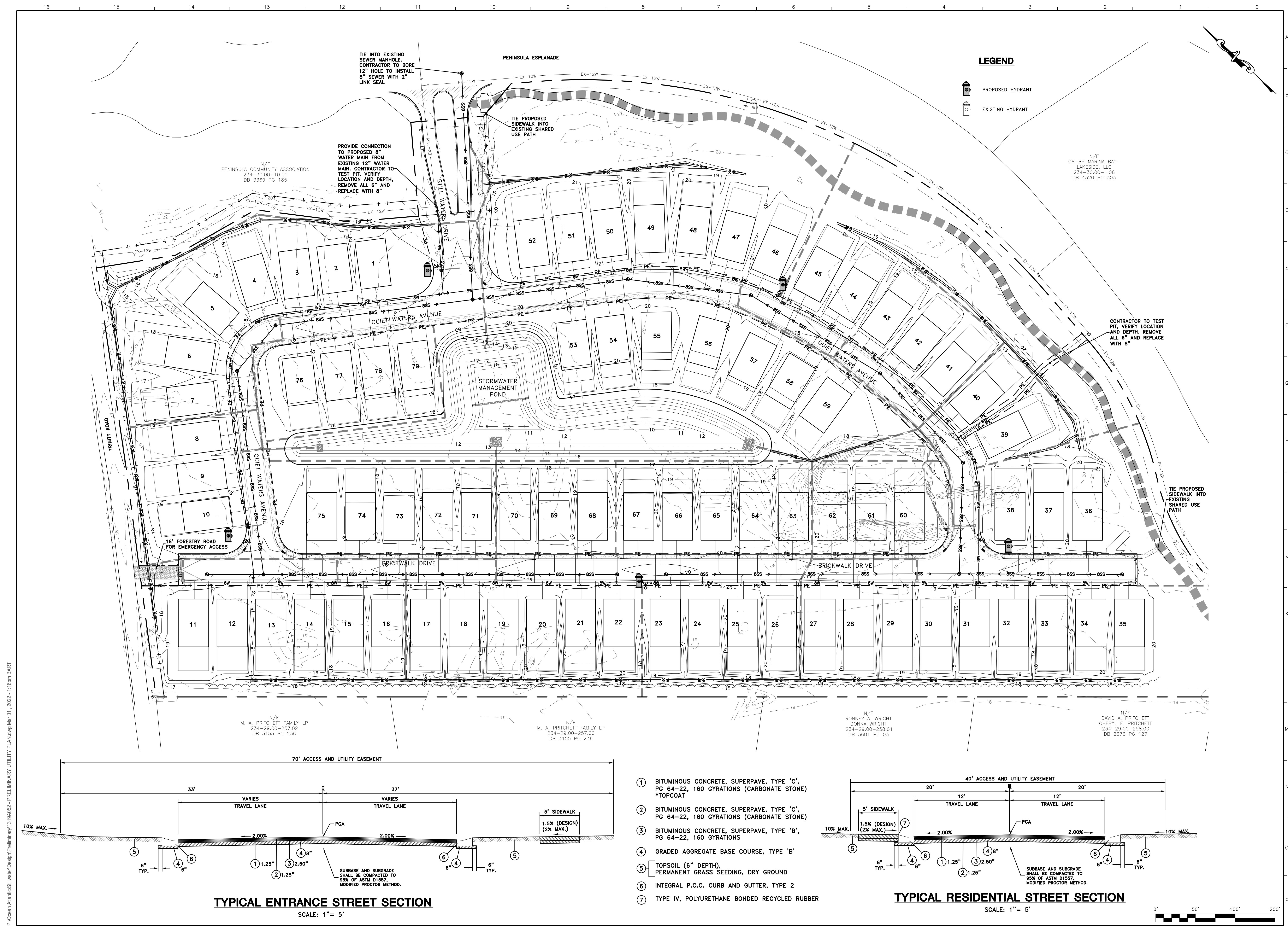
**PHASE 11 - STILL WATERS
 THE PENINSULA ON THE INDIAN RIVER BAY
 SUSSEX COUNTY, DELAWARE**

Date: DECEMBER, 2021
 Scale: 1" = 50'
 Dwn. By: SHF
 Proj. No.: 1319A052
 Dwg. No.:

C-901

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LEGEND

- PROPOSED HYDRANT
- EXISTING HYDRANT

N/F
PENINSULA COMMUNITY ASSOCIATION
234-30.00-10.00
DB 3369 PG 185

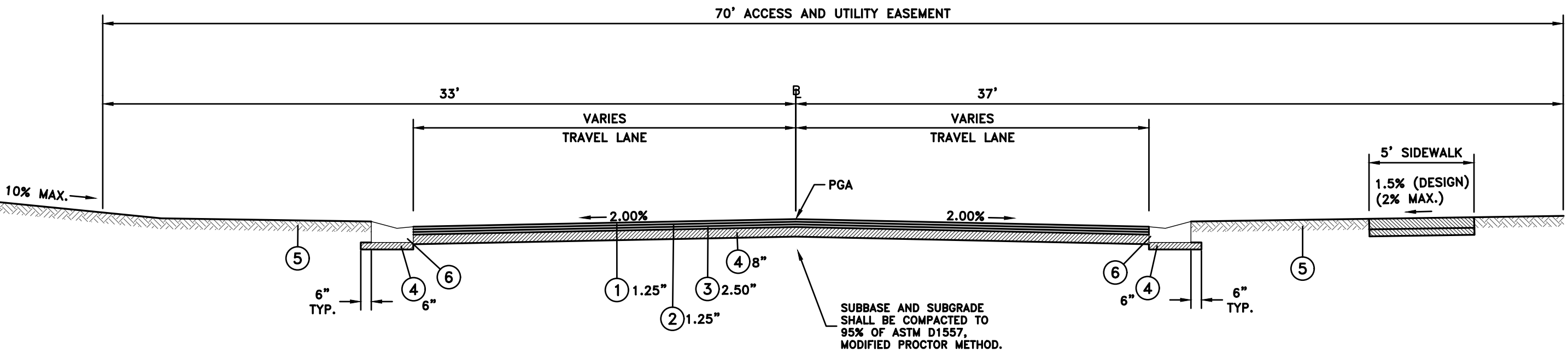
N/F
OA-BP MARINA BAY -
LAKESIDE, LLC
234-30.00-1.08
DB 4320 PG 303

N/F
M. A. PRITCHETT FAMILY LP
234-29.00-257.02
DB 3155 PG 236

N/F
M. A. PRITCHETT FAMILY LP
234-29.00-257.00
DB 3155 PG 236

N/F
RONNEY A. WRIGHT
DONNA WRIGHT
234-29.00-258.01
DB 3601 PG 03

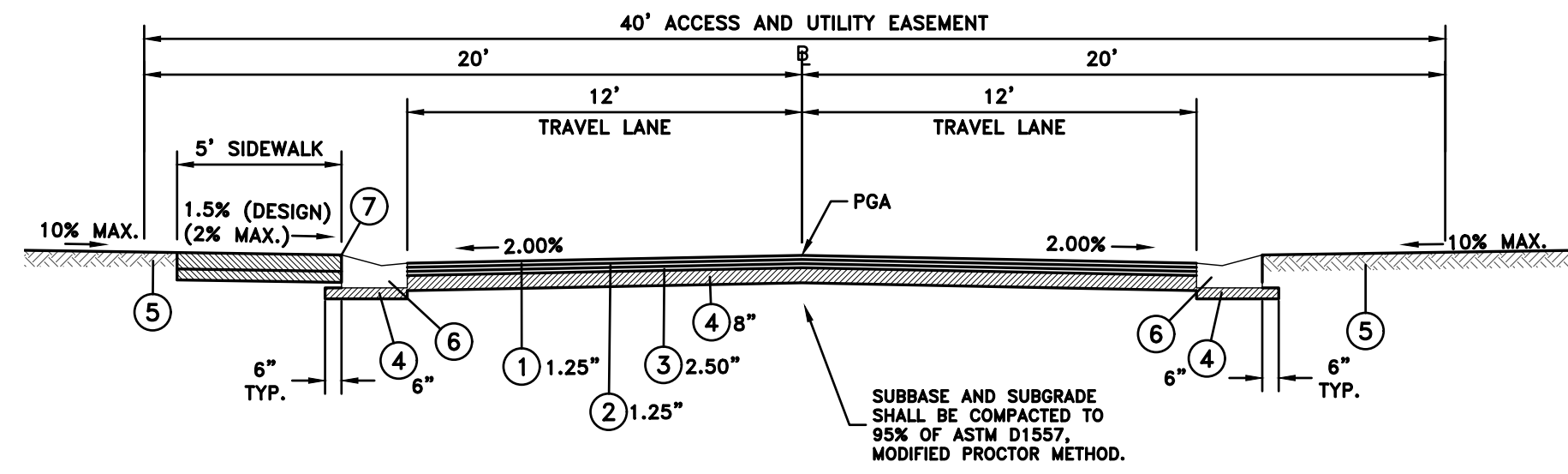
N/F
DAVID A. PRITCHETT
CHERYL E. PRITCHETT
234-29.00-258.00
DB 2676 PG 127



TYPICAL ENTRANCE STREET SECTION

SCALE: 1" = 5'

- 1 BITUMINOUS CONCRETE, SUPERPAVE, TYPE 'C', PG 64-22, 160 GYRATIONS (CARBONATE STONE) *TOPCOAT
- 2 BITUMINOUS CONCRETE, SUPERPAVE, TYPE 'C', PG 64-22, 160 GYRATIONS (CARBONATE STONE)
- 3 BITUMINOUS CONCRETE, SUPERPAVE, TYPE 'B', PG 64-22, 160 GYRATIONS
- 4 GRADED AGGREGATE BASE COURSE, TYPE 'B'
- 5 TOPSOIL (6" DEPTH), PERMANENT GRASS SEEDING, DRY GROUND
- 6 INTEGRAL P.C.C. CURB AND GUTTER, TYPE 2
- 7 TYPE IV, POLYURETHANE BONDED RECYCLED RUBBER



TYPICAL RESIDENTIAL STREET SECTION

SCALE: 1" = 5'



DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
SUSSEX COUNTY, DELAWARE
EASTON, MARYLAND
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CELL: (302) 632-1441
E-MAIL: DB@DBFRIEDEL.COM
(410) 770-4744

PRELIMINARY UTILITY PLAN

**PHASE 11 - STILL WATERS
THE PENINSULA ON THE INDIAN RIVER BAY
SUSSEX COUNTY, DELAWARE**

Revisions:

Date: DECEMBER, 2021

Scale: 1" = 50'

Drawn By: SHF

Proj. No.: 1319A052

Dwg. No.:

C-902

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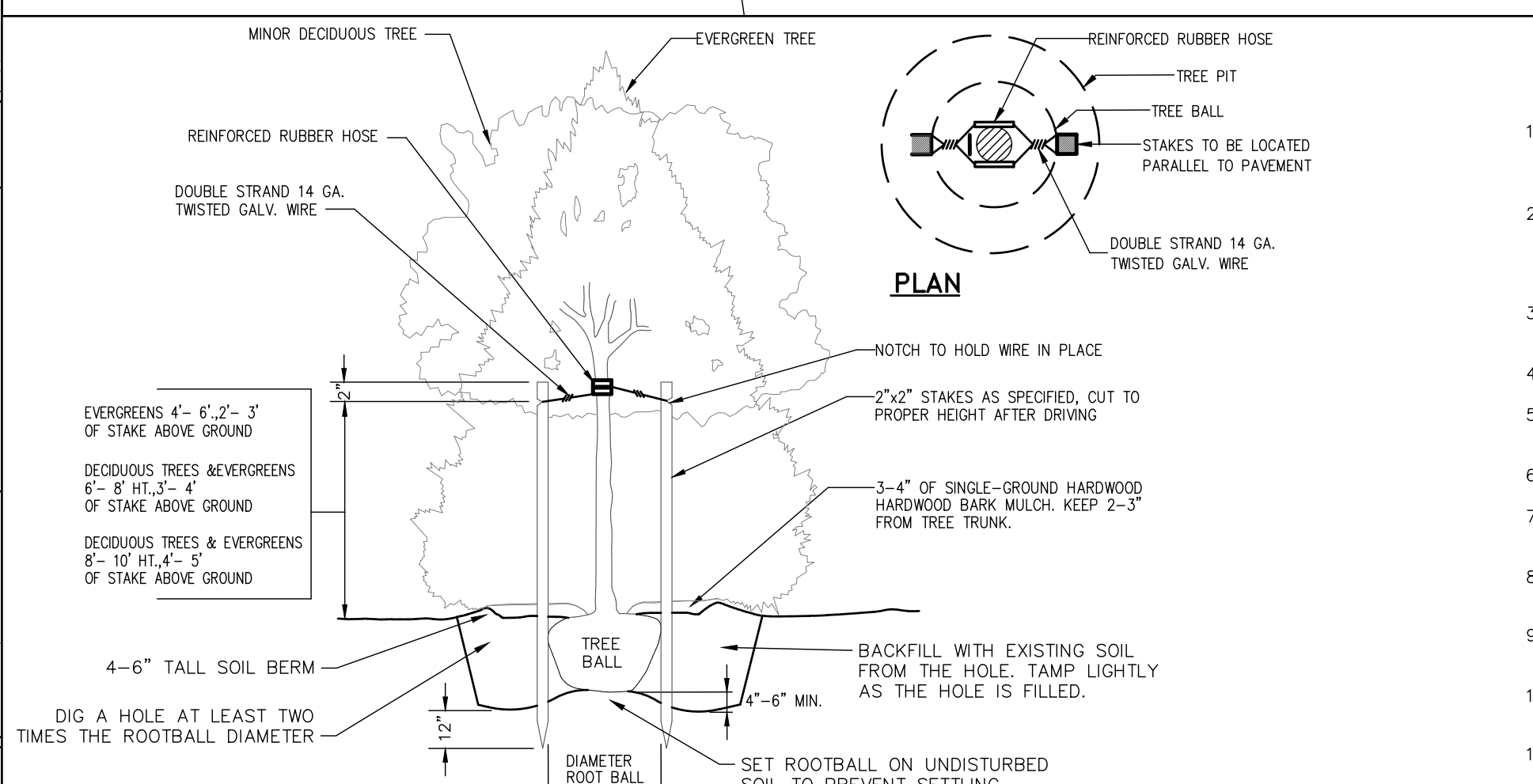
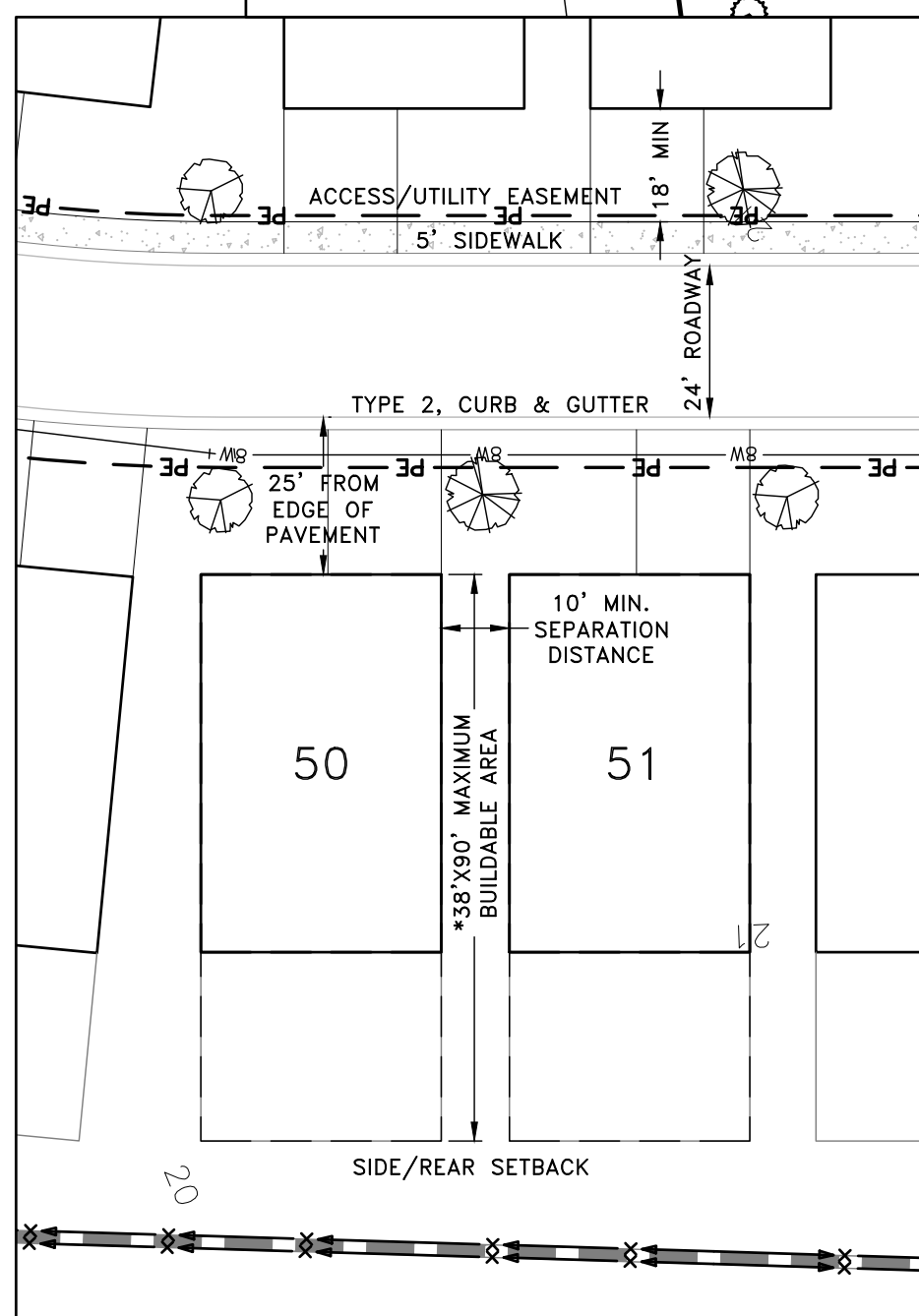
BENCHMARK
IRON ROD W/
CAP SET
ELEV. = 17.51'

N/F
M. A. PRITCHETT FAMILY LP
234-29.00-257.02
DB 3155 PG 236

N/F
M. A. PRITCHETT FAMILY LP
234-29.00-257.02
DB 3155 PG 236

N/F
RONNEY A. WRIGHT
DONNA WRIGHT
234-29.00-258.01
DB 3601 PG 03

N/F
DAVID A. PRITCHETT
CHERYL E. PRITCHETT
234-29.00-258.00
DB 2676 PG 127



STAKING DETAIL
NO SCALE

GENERAL LANDSCAPE NOTES

1. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF ROOT BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSEYMEN "AMERICAN STANDARDS FOR NURSERY STOCK".
2. CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR AFTER INSTALLATION IS COMPLETE AND FINAL ACCEPTANCE OF PHASE I SITE WORK HAS BEEN GIVEN. AT THE END OF ONE YEAR ALL PLANT MATERIAL WHICH IS DEAD OR DYING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AS ORIGINALLY SPECIFIED.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
4. NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER.
5. ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN.)
6. EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
7. ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 7'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STAKING DETAIL SHOWN.
8. THE FULL EXTENT OF ALL PLANTING BEDS SHALL RECEIVE 4" OF TOPSOIL AND 3" OF SHREDDED HARDWOOD MULCH PER SPECIFICATIONS.
9. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
10. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
11. THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.

FORESTED BUFFER PLANT SCHEDULE

SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
DECIDUOUS TREE					
AR	ACER rubrum	RED MAPLE	1 3/4 - 2" Cal., B&B	27	
AS	ACER saccharum 'GREEN MOUNTAIN'	SUGAR MAPLE	1 3/4 - 2" Cal., B&B	28	
QM	QUERCUS phellos	WILLOW OAK	1 3/4 - 2" Cal., B&B	27	
FG	FAGUS grandifolia	AMERICAN BEECH	1 3/4 - 2" Cal., B&B	26	
					TOTAL 108
EVERGREEN TREE					
PS	PINUS strobus	EASTERN WHITE PINE	5'-6" Ht., B&B	20	
JV	JUNIPERUS virginiana	EASTERN RED CEDAR	5'-6" Ht., B&B	15	
IO	ILEX opaca	AMERICAN HOLLY	5'-6" Ht., B&B	14	
					TOTAL 49

LANDSCAPE ARCHITECT'S STATEMENT

I, TIMOTHY M. METZNER, HEREBY STATE THAT I AM A REGISTERED LANDSCAPE ARCHITECT IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ARCHITECTURAL PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SIGNATURE _____ DATE _____
REGISTERED LANDSCAPE ARCHITECT: TIMOTHY M. METZNER
DAVIS, BOWEN & FRIEDEL, INC.
1 PARK AVENUE
MILFORD, DELAWARE 19963



DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
CALDWELL, MARYLAND (410) 653-8881
MILFORD, DELAWARE (302) 427-1441
EASTON, MARYLAND (410) 770-4744

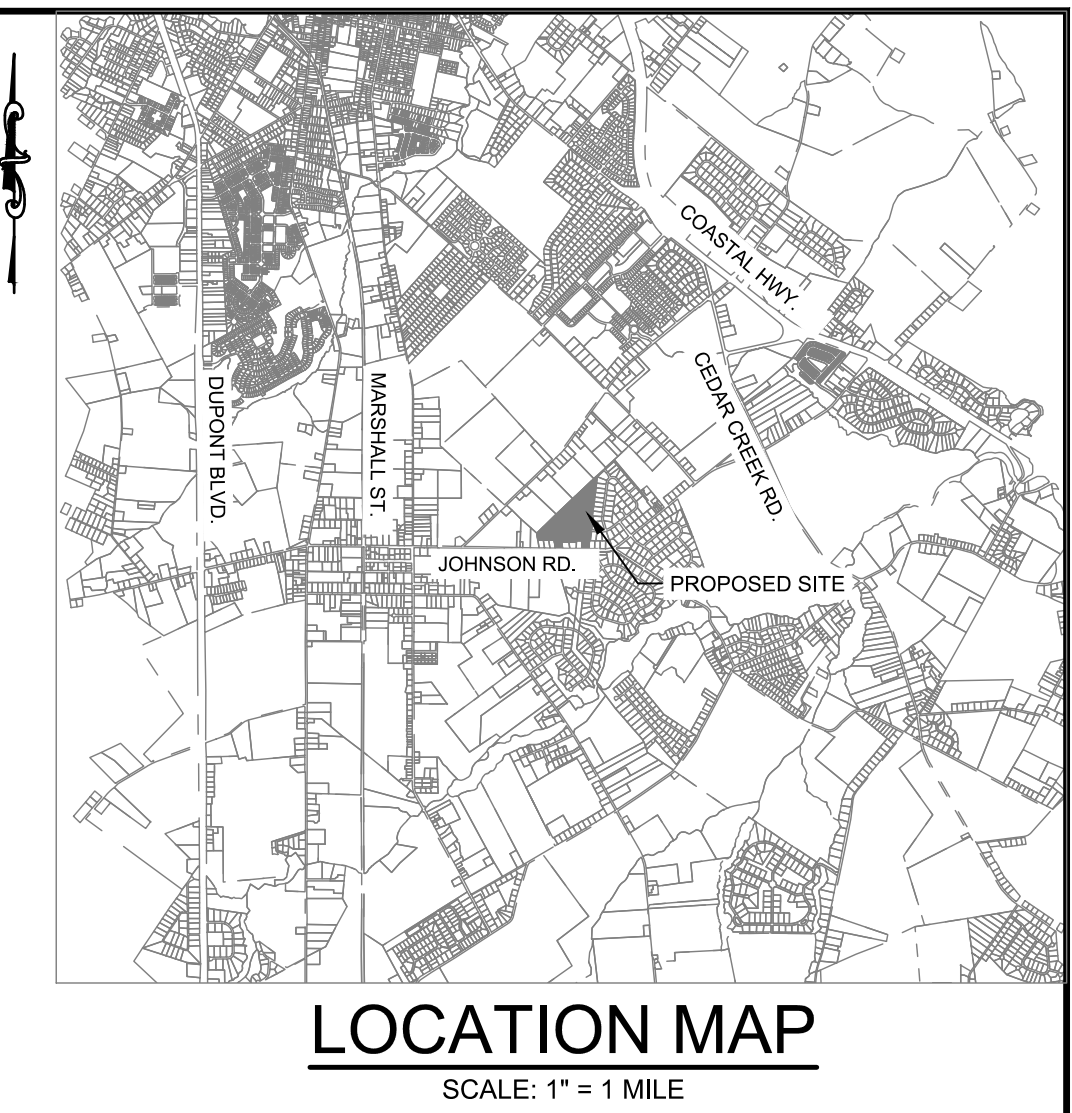
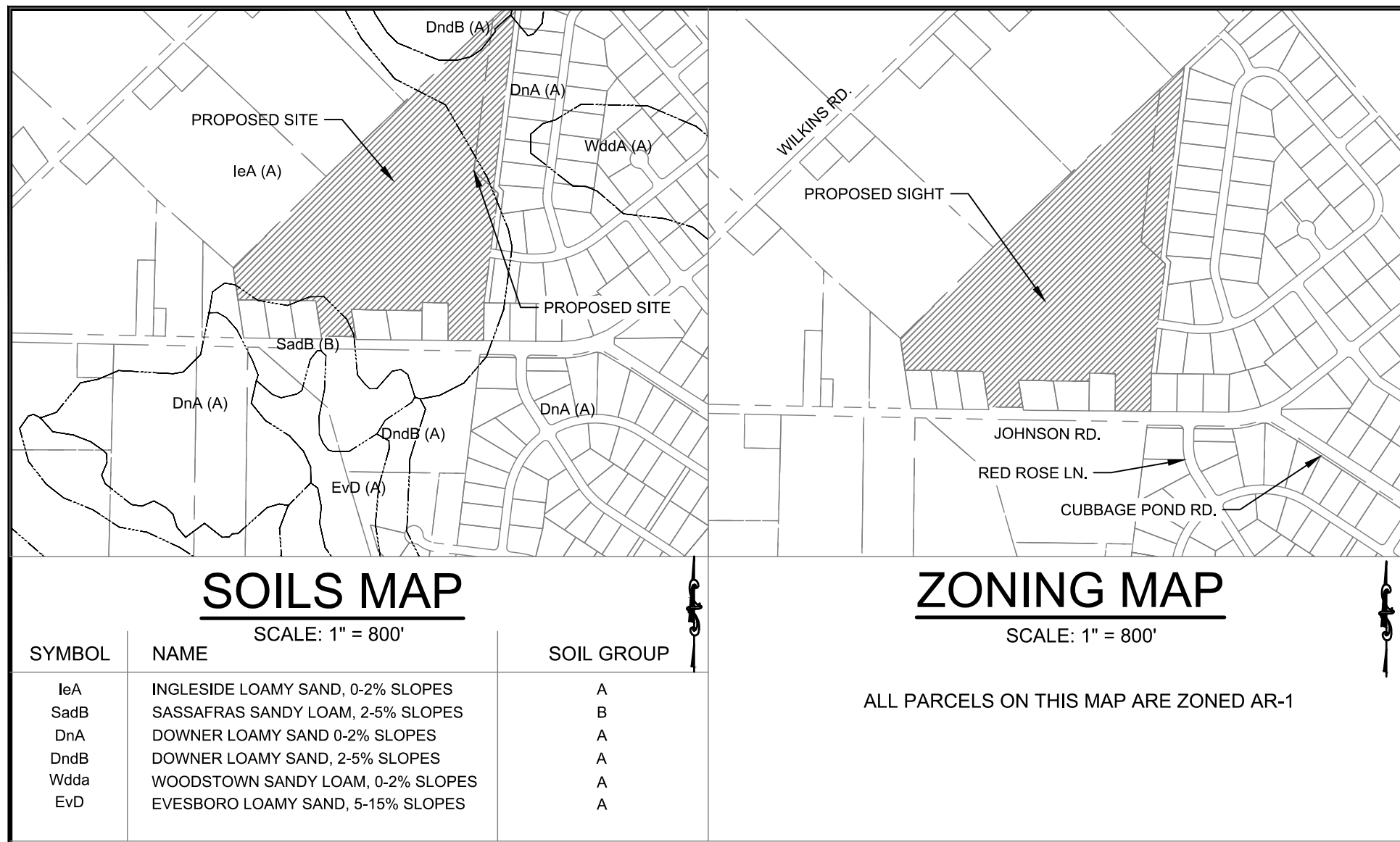
**PHASE 11 - STILL WATERS
THE PENINSULA ON THE INDIAN RIVER BAY
SUSSEX COUNTY, DELAWARE**

Revisions:
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Dwg. No.:

L-101

LINCOLN RETIREMENT COMMUNITY RECORD PLANS

SUSSEX COUNTY PROJECT REFERENCE # S-21-34



SOILS MAP
SCALE: 1" = 800'

SYMBOL	NAME	SOIL GROUP
IaA	INGLESIDE LOAMY SAND, 0-2% SLOPES	A
SadB	SASSAFRAS SANDY LOAM, 2-5% SLOPES	B
DnA	DOWNER LOAMY SAND 0-2% SLOPES	A
DndB	DOWNER LOAMY SAND, 2-5% SLOPES	A
WdA	WOODSTOWN SANDY LOAM, 0-2% SLOPES	A
EvD	EVEBSORO LOAMY SAND, 5-15% SLOPES	A

ZONING MAP
SCALE: 1" = 800'

ALL PARCELS ON THIS MAP ARE ZONED AR-1

PROJECT TEAM

OWNER/DEVELOPER
COUNTRY REST HOME, INC.
12046 SUNSET LANE
GREENWOOD, DE 19950
(302) 349-4114

SITE PLANNER, ENGINEER, AND SURVEYOR
SITEWORKS ENGINEERING
19 COMMERCE STREET
HARRINGTON, DE 19952
(302) 841-7901

GEOTECHNICAL ENGINEER
GEO-TECHNOLOGY ASSOCIATES
21153 STERLING AVENUE, UNIT 7
GEORGETOWN, DE 19947
(302) 588-9761

INDEX OF DRAWINGS

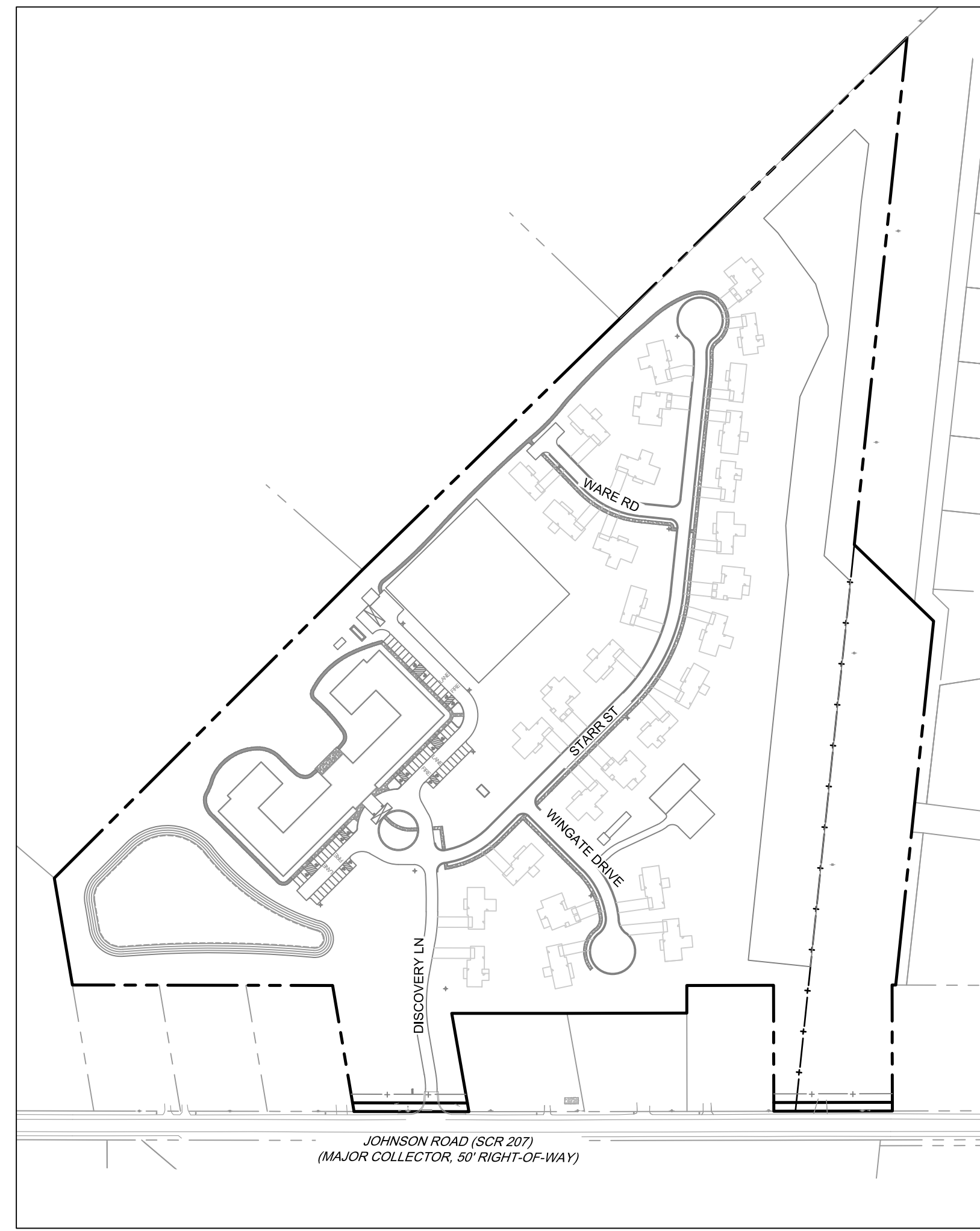
Sheet Number	Sheet Title
RP-1	RECORD PLAN COVER
RP-2	RECORD PLAN
RP-3	RECORD PLAN
RP-4	RECORD PLAN
LP-1	LANDSCAPE PLAN

CALL Miss Utility of Delmarva BEFORE YOU DIG
800-282-8555 or 811

PROJECT NET DEVELOPMENT AREA = 15.96 ACRES

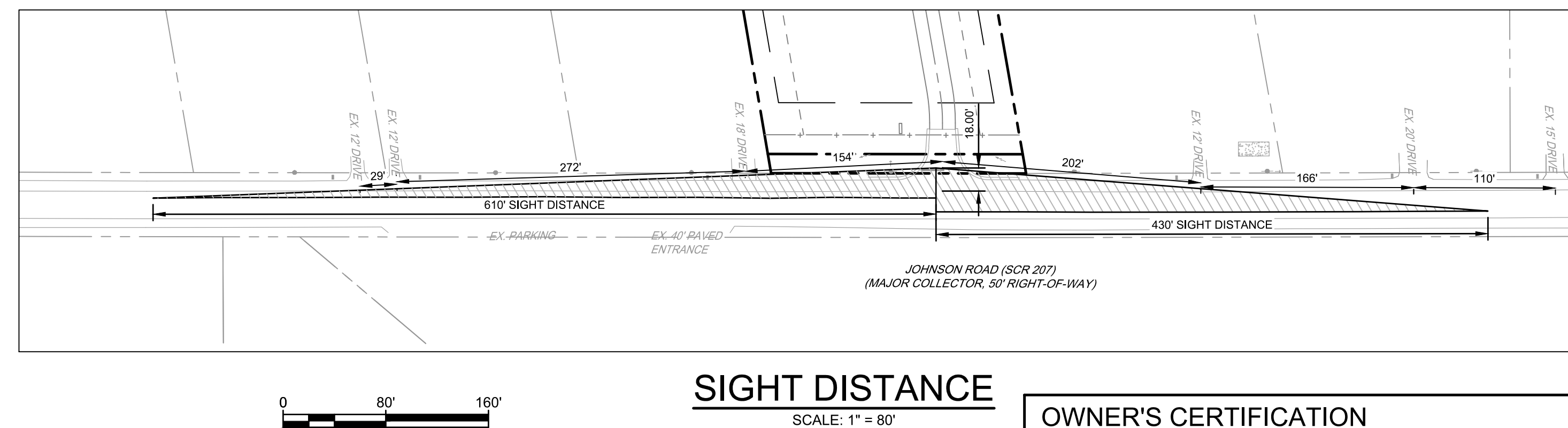
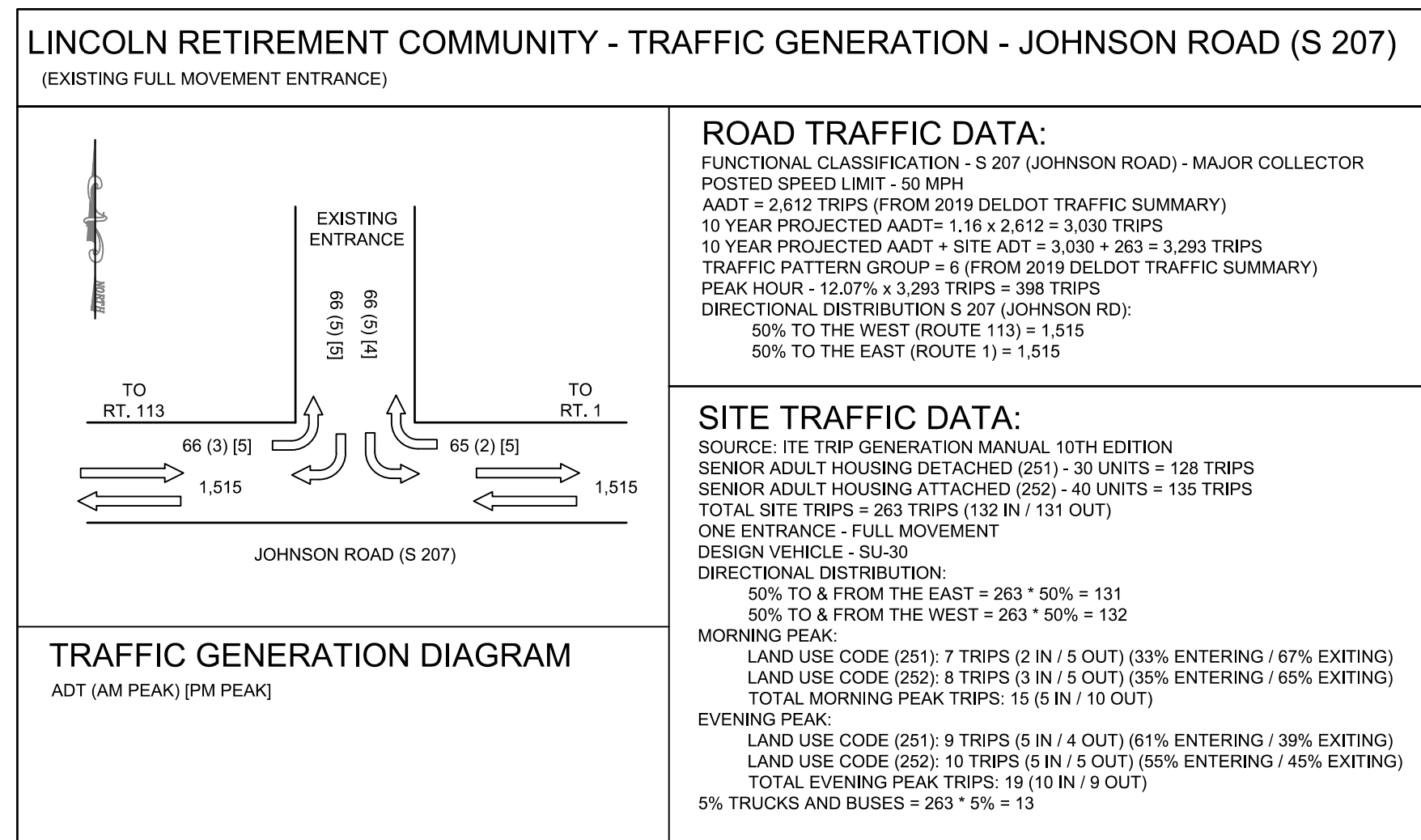
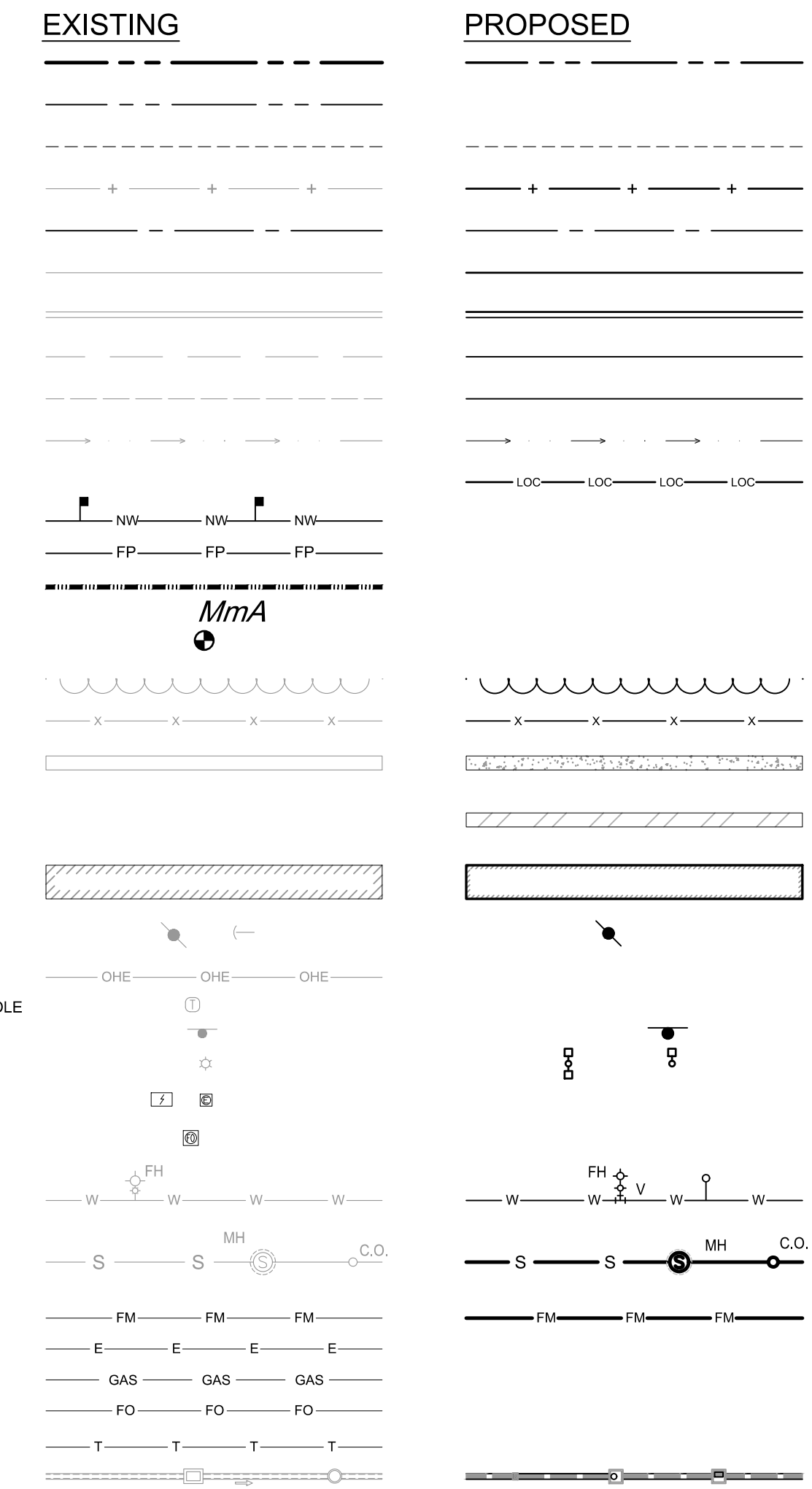
CONDITIONS OF APPROVAL: (CASE NO. 12320)

- THE ASSISTED LIVING FACILITY SHALL CONTAIN NO MORE THAN 30 SINGLE-FAMILY HOMES AND A BUILDING CONSISTING OF NO MORE THAN 50,000 SQUARE FEET CONTAINING NO MORE THAN 40 UNITS TO ALLOW FOR AGING IN PLACE ALONG WITH ANCILLARY USES.
- THE 40-UNIT FACILITY SHALL BE SET BACK A MINIMUM OF SEVENTY-FIVE FEET (75') FROM THE REAR PROPERTY LINES OF THE HOMES BETWEEN THE FACILITY AND JOHNSON ROAD.
- ALL ENTRANCES, INTERSECTIONS, INTER-CONNECTION, ROADWAY, AND MULTIMODAL IMPROVEMENTS REQUIRED BY DELDOT SHALL BE COMPLETED BY THE APPLICANT IN ACCORDANCE WITH DELDOT'S REQUIREMENTS.
- THE FACILITY (INCLUDING THE SINGLE-FAMILY DETACHED HOMES AND THE MULTI-UNIT BUILDING) SHALL BE SERVED BY A PRIVATELY OPERATED, ON-SITE SANITARY SEWER TREATMENT PLANT AND DISPOSAL SYSTEM SUBJECT TO REGULATIONS OF DNREC GOVERNING THE DESIGN, INSTALLATION, AND OPERATION OF ON-SITE WASTEWATER TREATMENT AND DISPOSAL SYSTEMS.
- THE FACILITY (INCLUDING THE SINGLE-FAMILY DETACHED HOMES AND THE MULTI-UNIT BUILDING) SHALL BE SERVED BY PRIVATE ON-SITE WELLS(S) SUBJECT TO DNREC APPROVAL AND THE DELAWARE DEPARTMENT OF PUBLIC HEALTH. THE SYSTEM SHALL BE DESIGNED AND INSTALLED TO PROVIDE ADEQUATE DRINKING WATER AND FIRE PROTECTION AS REQUIRED BY APPLICABLE REGULATIONS.
- STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE STATE AND COUNTY REQUIREMENTS. THESE FACILITIES SHALL BE OPERATED IN A MANNER THAT IS CONSISTENT WITH BEST MANAGEMENT PRACTICES. THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT.
- THE APPLICANT SHALL PROVIDE AGRICULTURAL BUFFERS AND WETLAND BUFFERS, AS NECESSARY, IN ACCORDANCE WITH THE APPLICABLE REGULATIONS. THE AGRICULTURAL USE NOTICE (3 DEL. C. § 910) SHALL BE INCLUDED IN ALL LEASES FOR UNITS ON THE PROPERTY.
- THE APPLICANT SHALL SUBMIT AS PART OF THE SITE PLAN REVIEW A LANDSCAPE PLAN SHOWING THE PROPOSED TREES AND SHRUBS LANDSCAPE DESIGN. THE APPLICANT SHALL PROVIDE A THIRTY FOOT (30') FORESTED BUFFER ALONG ALL BOUNDARIES OF THE PROPERTY EXCEPT FOR THE BOUNDARY ADJACENT TO THE POWER LINES WHICH SHALL REMAIN OPEN FOR SANITARY SEWER AND MAINTENANCE OF THE POWER LINES.
- ALL FIRE SAFETY AND PROTECTION REQUIREMENTS, INCLUDING, BUT NOT LIMITED TO FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS, SHALL BE REVIEWED, APPROVED, AND INSTALLED ACCORDING TO THE STATE OF DELAWARE FIRE PREVENTION REGULATIONS.
- PRELIMINARY AND FINAL SITE PLANS SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING & ZONING COMMISSION.



LEGEND

- PROPERTY LINE / RIGHT OF WAY
- ADJOINING PROPERTY LINE
- BUILDING RESTRICTION LINE
- EASEMENT
- CENTER LINE OF ROAD
- EDGE OF PAVING
- CURB
- DRIVEWAY
- CONTOURS
- SWALE
- LIMIT OF CONSTRUCTION
- WETLANDS LINE AND FLAG
- FLOODPLAIN
- SOILS/DESIGNATION
- SOIL BORING
- WOODS
- FENCE
- SIDEWALK
- SHARED USE PATH
- BUILDING
- UTILITY POLE/GUY WIRE
- OVERHEAD ELECTRIC
- CABLE TV, PEDESTAL OR HAND HOLE
- TRAFFIC SIGN
- SINGLE & TWIN HEAD SITE LIGHT
- ELECTRICAL HAND HOLE AND TRANSFORMER
- FIBER OPTIC HAND HOLE
- WATER MAIN, FIRE HYDRANT, VALVE, SERVICE ASSEMBLY, AND METER PIT
- SEWER MAIN, MANHOLE, & CLEANOUT
- SANITARY SEWER FORCEMAIN
- UNDERGROUND ELECTRIC
- UNDERGROUND GAS
- UNDERGROUND FIBER OPTIC
- TELEPHONE LINE
- STORM WATER PIPE, MH, AND CB



ENGINEERS CERTIFICATION

IT IS HEREBY CERTIFIED THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE. THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVID M. HEATWOLE, P.E. (DE LICENSE NO. #17780) DATE

OWNER'S CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE LEGAL OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

POLLY D. YODER DATE

OWNER'S CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE LEGAL OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

MARK B. YODER, JR. DATE

SITEWORKS ENGINEERING
PO BOX 2119 COMMERCE ST., HARRINGTON, DE 19952 Phone: (302) 841-7901

LINCOLN RETIREMENT COMMUNITY
TAX PARCEL NO. 330-15-00-33.01
JOHNSON ROAD (SCR 207)
CEDAR CREEK HUNDRED, SUSSEX COUNTY

ISSUE / REVISION BLOCK
11/16/21 - FIRE MARSHAL
11/24/21 - SUSSEX CONSERVATION DISTRICT
11/29/21 - DELDOT
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2/25/22 - DELDOT
2/28/22 - SUSSEX COUNTY P&Z

SCALE PROJECT # DRAWN BY
AS NOTED CHRE1902 JDC

DRAWING NUMBER
RP-1

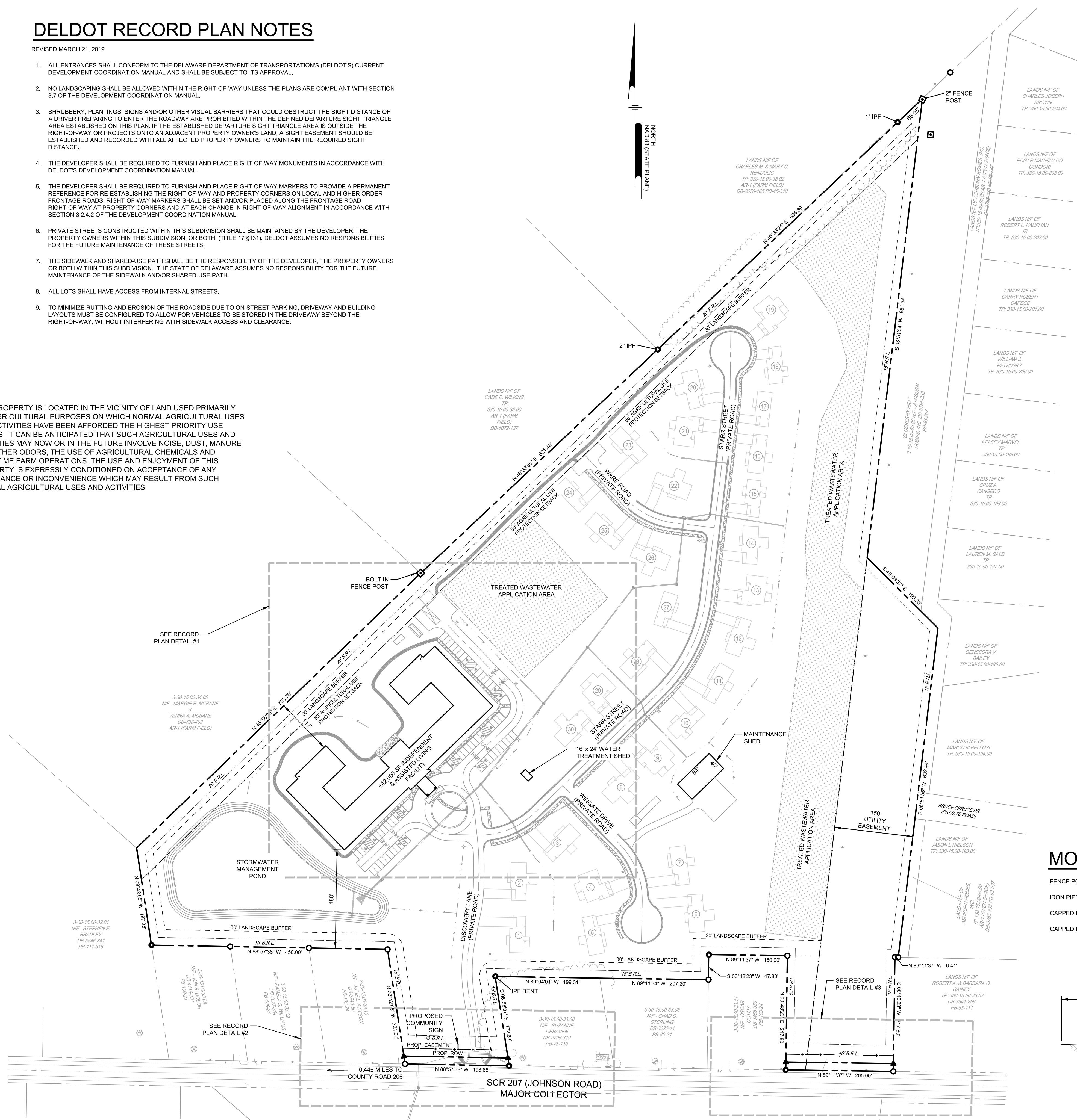
DELDOT RECORD PLAN NOTES

REVISED MARCH 21, 2019

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
- PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER. THE PROPERTY OWNERS WITHIN THIS SUBDIVISION, OR BOTH, (TITLE 17 §131), DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SIDEWALK AND SHARED-USE PATH SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SIDEWALK AND/OR SHARED-USE PATH.
- ALL LOTS SHALL HAVE ACCESS FROM INTERNAL STREETS.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.

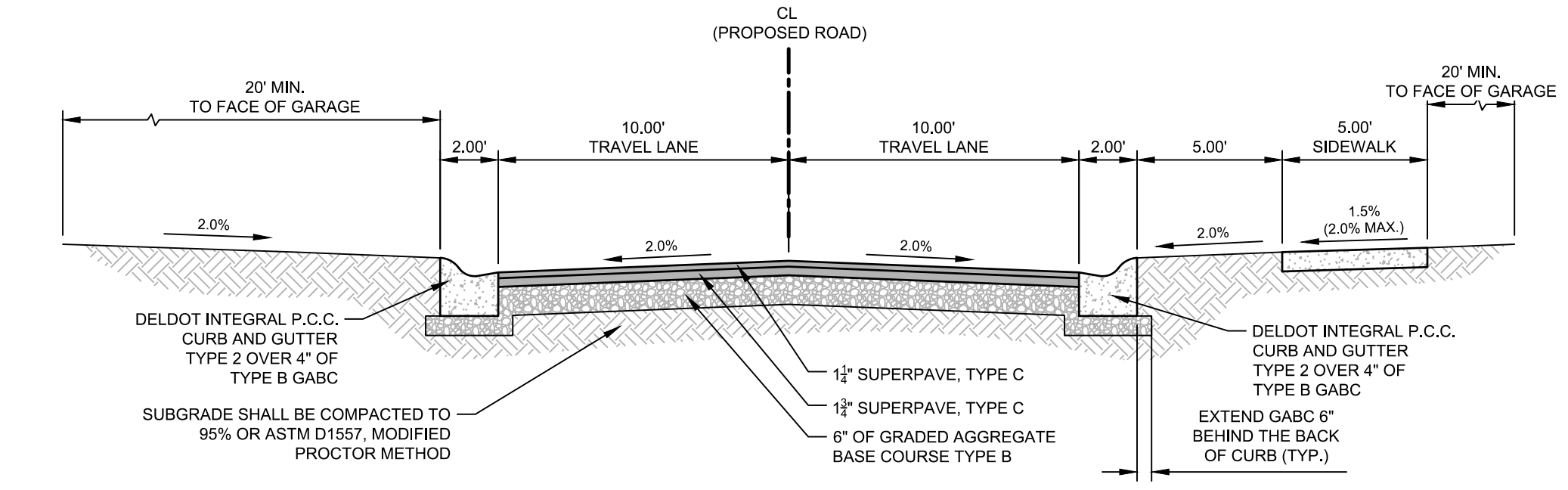
THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS, THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES

Z:\PROJECTS\County Road Home\CHRE1902 - Lincoln Retirement Community\DESIGN\CHRE1902 - Record Plan.dwg PLOTTED: 2/28/2022 8:33 AM BY: Dave Haddock PLOTTED: 2/28/2022 8:33 AM BY: Dave Haddock



MONUMENT LEGEND

- FENCE POST
- IRON PIPE FOUND
- CAPPED IRON PIPE FOUND
- CAPPED IRON REBAR TO BE SET



TYPICAL PRIVATE STREET SECTION

SCALE: H 1" = 5'
V 1" = 2'

SITE DATA:

- TAX MAP NUMBER: 330-15.00-33.01
- GROSS AREA: 32.6 ACRES
- TOTAL LOTS / PARCELS: 1 EXISTING (NO PROPOSED LOTS)
- DEVELOPER NAME: COUNTRY REST HOME, INC.
- PROPERTY ADDRESS: 18971 JOHNSON ROAD LINCOLN, DE 19950
- HUNDRED/COUNTY: CEDAR CREEK HUNDRED / SUSSEX COUNTY
- GOVERNMENT ENTITY RESPONSIBLE FOR LAND USE APPROVAL: SUSSEX COUNTY
- CURRENT ZONING: AR-1 AGRICULTURAL RESIDENTIAL
- PROPOSED ZONING: AR-1 WITH SPECIAL USE EXCEPTION FOR A CONVALESCENT HOME, NURSING HOME, AND / OR HOME FOR THE AGED PER BOA CASE NO. 12320 APPROVED BY THE BOARD ON 9/6/2019, A ONE-YEAR EXTENSION FOR THIS USE WAS GRANTED BY THE BOARD ON 1/25/2021, EXTENDING THE EXPIRATION DATE FROM 8/6/2021 TO 8/6/2022.
- PRESENT USE: TILLED CROPS
- PROPOSED USE: CONVALESCENT HOME, NURSING HOME, AND / OR HOME FOR THE AGED
- REQUIRED SETBACKS (B.R.L.): FRONT: 40-FEET SIDE: 15-FEET REAR: 20-FEET CORNER: 15-FEET
- COTTAGE BUILDING SETBACKS: 10-12 FEET (BUILDING BUILDING SEPARATION)
- DWELLING UNITS: PROPOSED COTTAGES: 30 2-BEDROOM COTTAGES ASSISTED / INDEPENDENT LIVING BLDG: 15 SINGLE BEDROOM UNITS 25 TWO (2) BEDROOM UNITS ± 50,000 SF
- BUILDING SETBACKS AND RESTRICTIONS FOR COTTAGES: BUILDING SETBACK FROM ON-SITE SEWER DISPOSAL BED: 50-FEET
- WATER SUPPLIER: PRIVATE (ON-SITE WELL) WATER IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENTS OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DIVISION OF PUBLIC HEALTH.
- SANITARY SEWER PROVIDER: PRIVATE ON-SITE TREATMENT PLANT & DISPOSAL SYSTEM SUBJECT TO THE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL'S REGULATIONS GOVERNING THE DESIGN, INSTALLATION AND OPERATION OF ON-SITE WASTEWATER TREATMENT AND DISPOSAL SYSTEMS.
- STREETS: PRIVATE
- FEMA FLOOD ZONE, MAP #, AND DATE: ZONE X, 10005C0044K, DATED MARCH 16, 2015 ZONE X, 10005C0132K, DATED MARCH 16, 2015 ZONE X, 10005C0131J, DATED JANUARY 6, 2005
- REQUIRED PARKING: 1 FOR EACH 4 PATIENT BEDS, PLUS 1 PER 2 EMPLOYEES ON THE LARGEST SHIF NUMBER OF BEDROOMS: 60 (20 SINGLE UNITS AND 20 DOUBLE UNITS) NEEDED SPACES PER BEDROOMS: 15 EXPECTED EMPLOYEES: 5 NEEDED SPACES FOR EMPLOYEES: 3 PARKING SPACES REQUIRED: 18 SPACES PROVIDED: 61 ADA SPACES PROVIDED: 16
- LOADING SPACES: 2 FOR FLOOR AREA BETWEEN 25,000 - 100,000 SF BUILDING REQUIRING A LOADING SPACE: 1 (INDEPENDENT LIVING FACILITY) LOADING SPACES REQUIRED: 2 (FLOOR AREA BETWEEN 25,000 - 100,000 SF) LOADING SPACES PROVIDED: 2 SPACES
- POSTED SPEED LIMIT FOR JOHNSON RD (SCR 207): 50 MPH
- STATE INVESTMENT AREA: LEVEL 3
- PROPOSED BUILDING HEIGHT: LESS THAN 42 FEET
- LATITUDE AND LONGITUDE STATE PLAN COORDINATES: LONGITUDE: W075.2414 LATITUDE: N038.5221
- WETLAND AREA: 0.00 AC. ±
- PROPOSED DISCHARGE LOCATION: INFILTRATION
- PROXIMITY TO T.I.D.: NOT WITHIN AN IDENTIFIED TID
- LIMIT OF DISTURBANCE: 25.5 ACRES ±
- WATERSHED: CEDAR CREEK
- EXISTING / PROPOSED FORESTED AREA: 0.00 ACRES
- PLUS NUMBER: 2020-01-02
- HORIZONTAL / VERTICAL DATUM: NAD83 / NAVD 88
- THE PROJECT IS LOCATED WITHIN A DEVELOPING AREA AS NOTED AS PART OF THE FUTURE LAND USE MAP INCLUDED WITHIN THE SUSSEX COUNTY 2018 COMPREHENSIVE PLAN UPDATE.

GENERAL NOTES:

- THE BOUNDARY INFORMATION SHOWN ON THIS PLAN IS BASED ON A MORRIS RITCHIE & ASSOCIATES SURVEY DATED 4/30/19.
- ALL KNOWN EASEMENTS ARE SHOWN ON THE PLAN; HOWEVER, THIS SURVEY DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHTS OF WAY CROSSING SUBJECT PROPERTY.
- THE ITEMS DEPICTED ON THE FINAL SITE PLAN ARE FOR ILLUSTRATIVE AND OUTLINE PURPOSES ONLY. THE GENERAL LOCATION AND DIMENSIONS OF ITEMS DEPICTED ON THE FINAL SITE PLAN MAY BE SUPERCEDED BY APPROVED / REVISED CONSTRUCTION DRAWINGS, BUILDING PERMIT DRAWINGS AND OTHER MODIFICATIONS THERETO APPROVED BY THE AUTHORITIES HAVING JURISDICTION AT THE SOLE DISCRETION OF THE DEVELOPER INCLUDING THE DEVELOPER'S SUCCESSORS AND ASSIGNS.
- ALL LIGHTING SHALL BE DOWNWARD SCREENED TO MINIMIZE GLARE ON SURROUNDING RESIDENTIAL PROPERTIES.
- THE PROPOSED SIGN IS NOT APPROVED AS PART OF THIS SITE PLAN. A SEPARATE SUSSEX COUNTY PERMIT IS REQUIRED. ALL SIGNS SHALL BE 4'0" IN HEIGHT.
- THE TYPICAL COTTAGE WILL BE APPROXIMATELY 1,500 SQUARE FEET.
- THE PROJECT IS LOCATED WITHIN AND AREA OF "FAIR" GROUNDWATER RECHARGE POTENTIAL PER THE DNREC ENVIRONMENTAL NAVIGATOR.

SITEXWORKS
ENGINEERING
 PO BOX 2119 COMMERCE ST. HARRINGTON, DE 19952 Phone: (302) 841-7901

RECORD PLAN
LINCOLN RETIREMENT COMMUNITY
TAX PARCEL NO. 330-15.00-33.01
JOHNSON ROAD (SCR 207)
 CEDAR CREEK HUNDRED, SUSSEX COUNTY

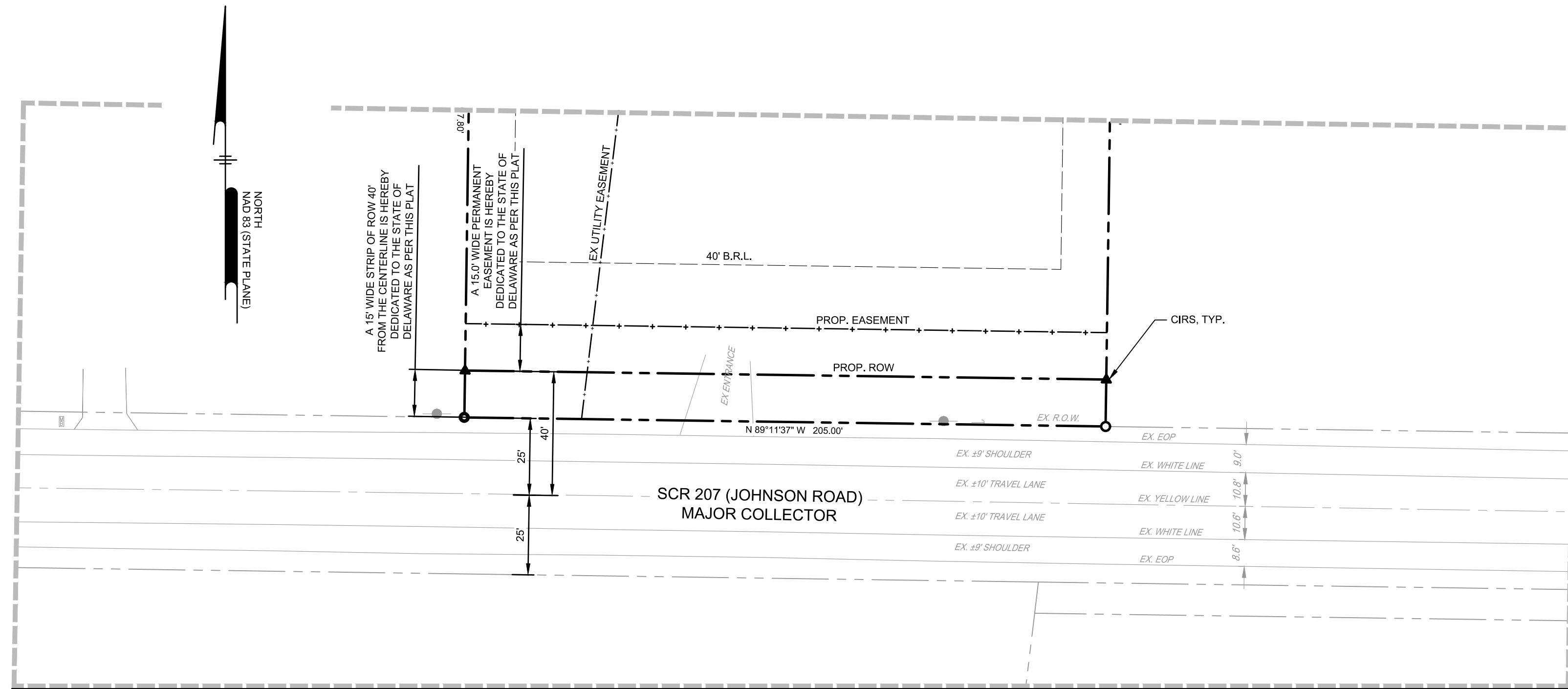
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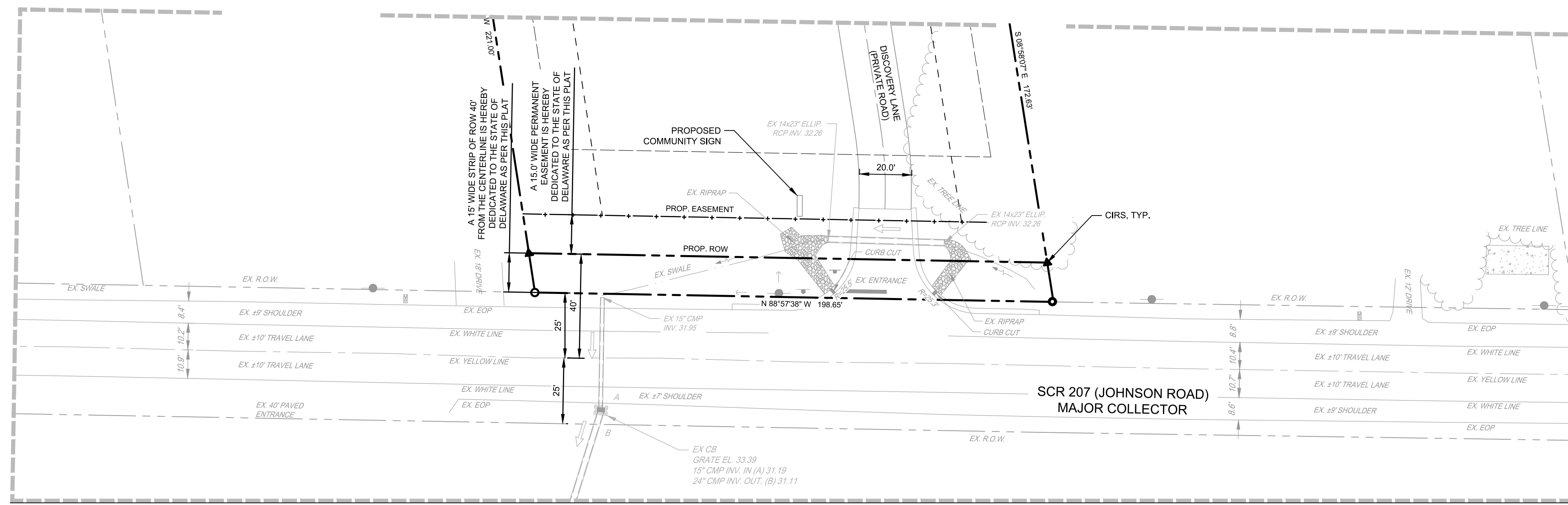
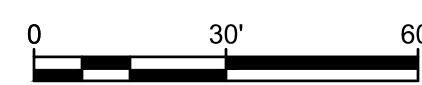
RP-2

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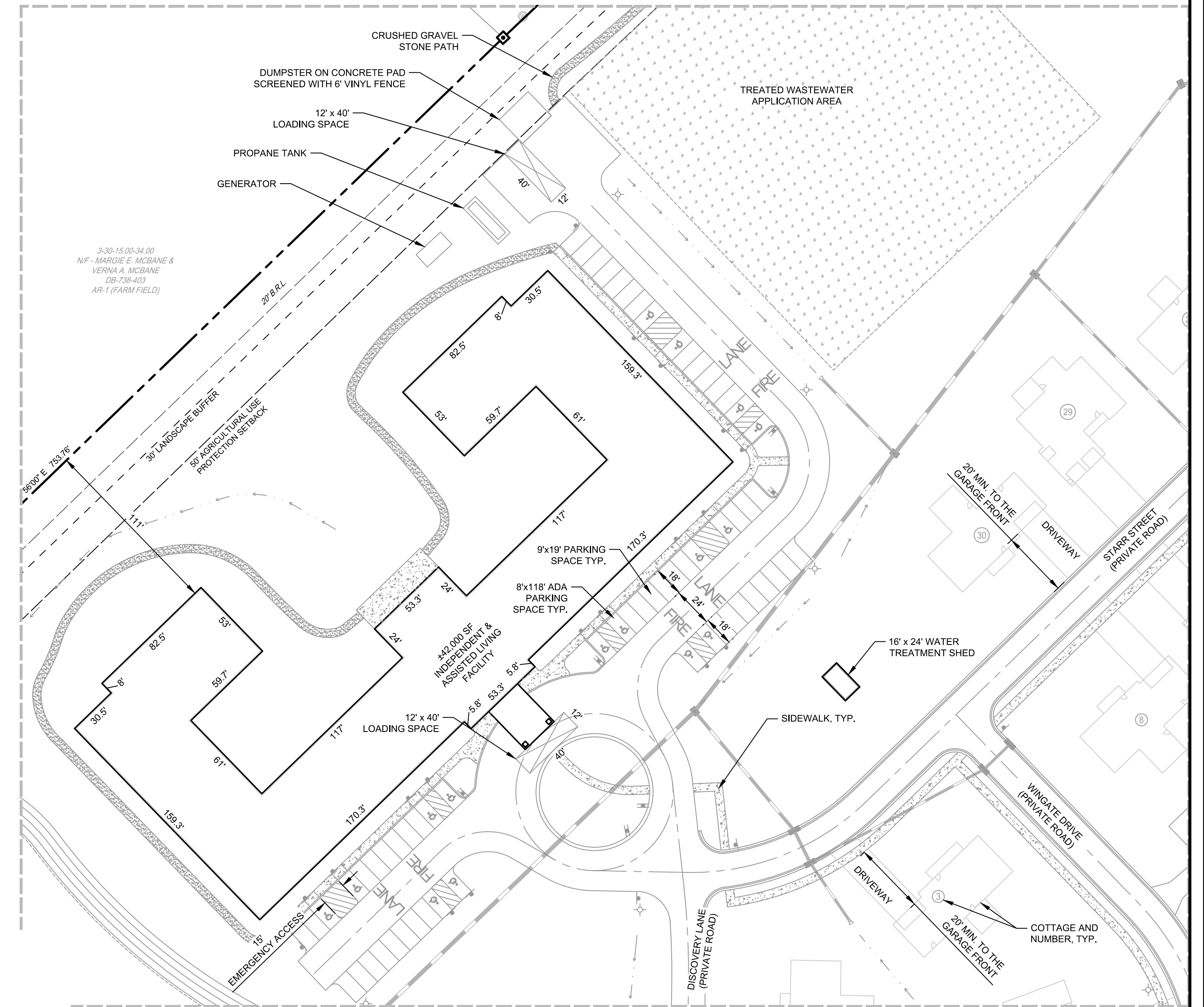
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RECORD PLAN DETAIL #3
SCALE: 1" = 30'



RECORD PLAN DETAIL #2
SCALE: 1" = 30'



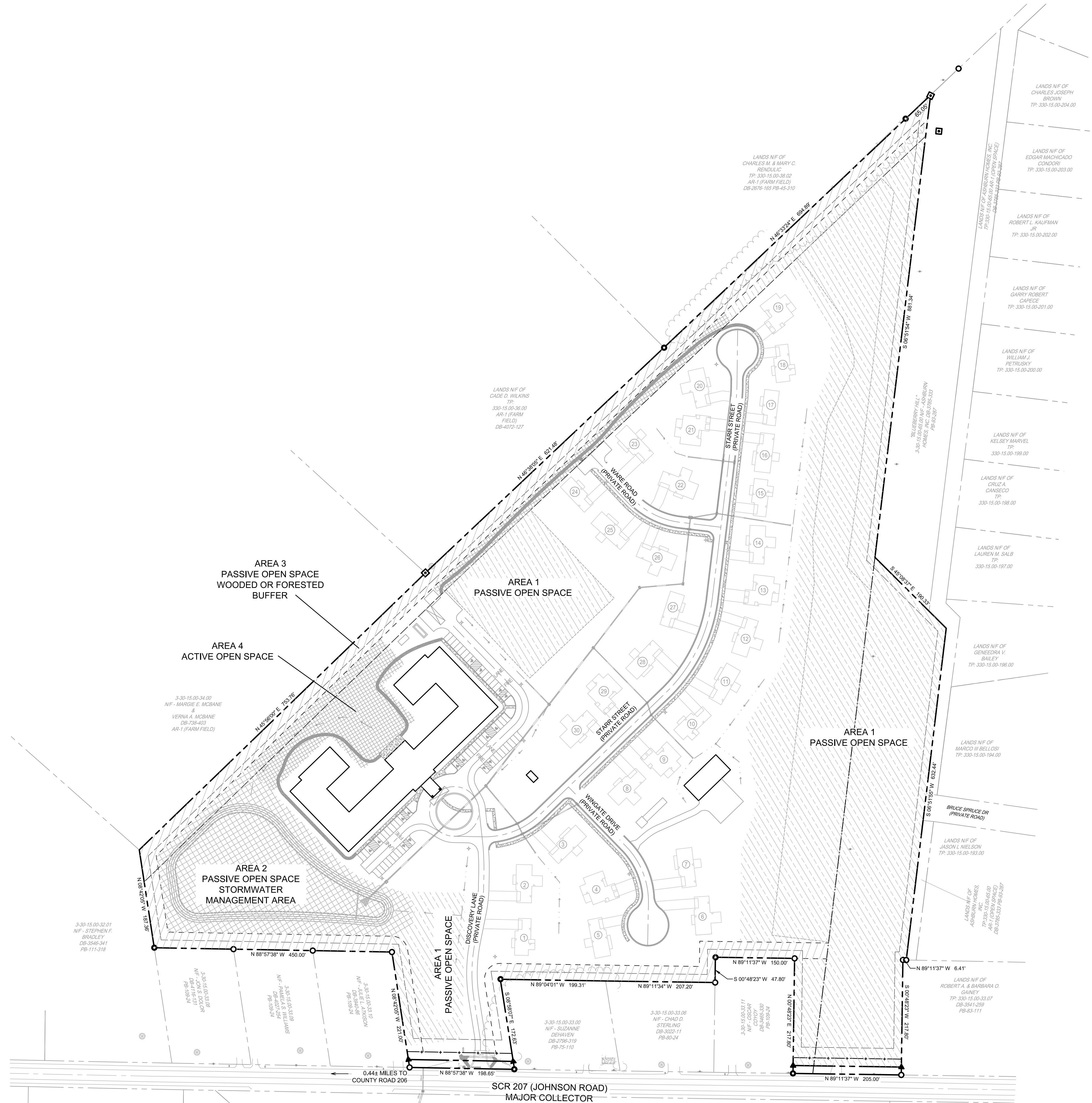
RECORD PLAN DETAIL #1
SCALE: 1" = 50'



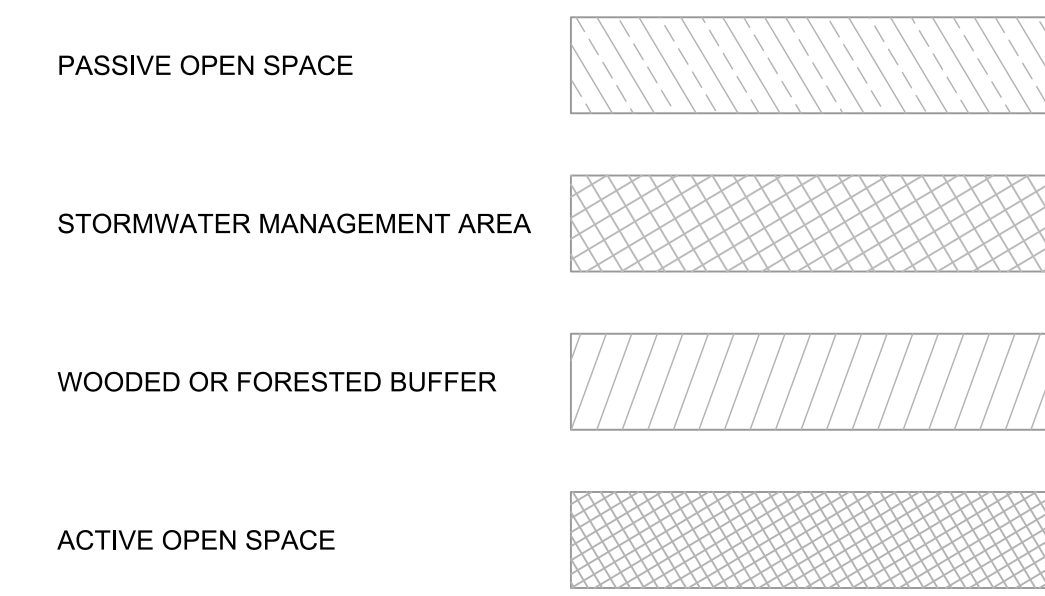
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LEGEND



OPEN SPACE TABLE

AREA DESCRIPTION	AREA (AC.)	PURPOSE
AREA 1 - PASSIVE OPEN SPACE	10.959	PASSIVE
AREA 2 - PASSIVE OPEN SPACE - STORMWATER MANAGEMENT AREA	2.098	PASSIVE
AREA 3 - PASSIVE OPEN SPACE - WOODED OR FORESTED BUFFER	2.283	PASSIVE
AREA 4 - ACTIVE OPEN SPACE	1.159	ACTIVE
TOTAL	16.499	

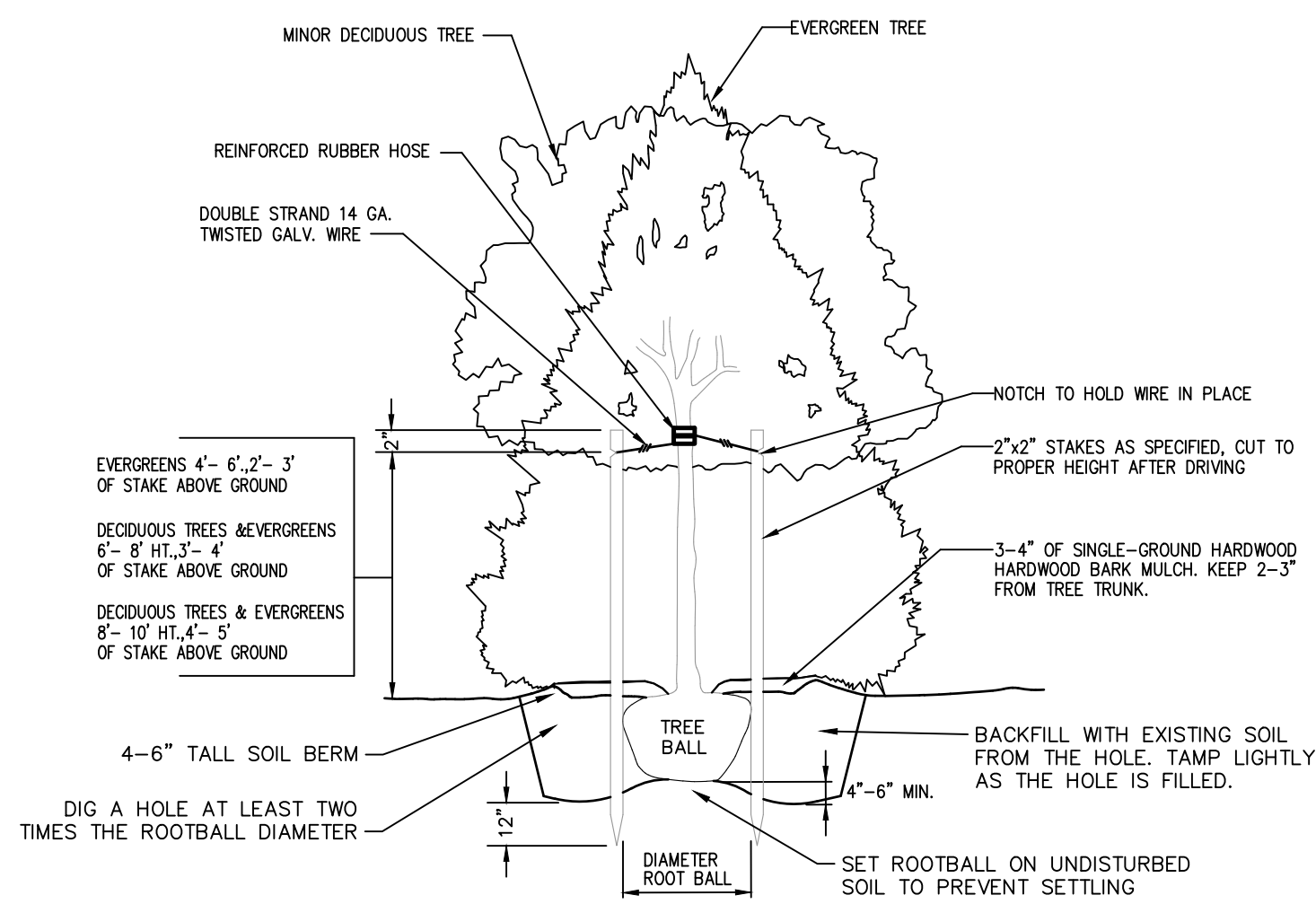
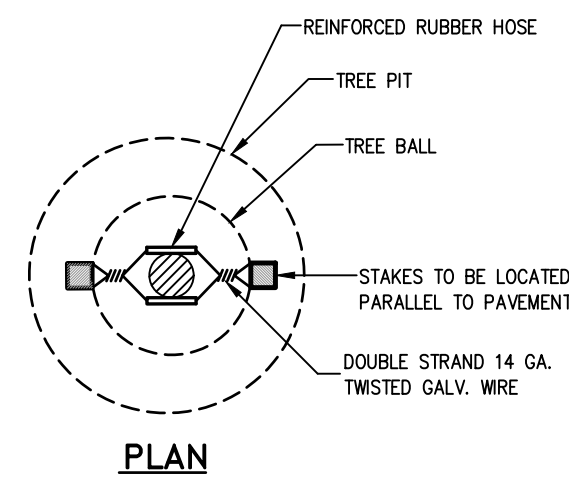
AREA TABLE

DESCRIPTION	AREA (AC.)
GROSS PROJECT AREA	32.6 AC
PROPOSED UNITS	70
PROPOSED DENSITY	2.15 UNITS / AC
PROPOSED OPEN SPACE AREA	16.499 AC
IMPERVIOUS AREA	6.10 AC (18.7%)
NET DEVELOPMENT AREA	15.96 AC
AREA DEVOTED TO THE 30 COTTAGE UNITS	9.30 AC
AREA DEVOTED TO THE 40 UNIT INDEPENDENT & ASSISTED LIVING FACILITY	2.99 AC
AREA DEVOTED TO PARKING	0.82 AC
AREA DEVOTED TO PRIVATE STREETS	2.75 AC

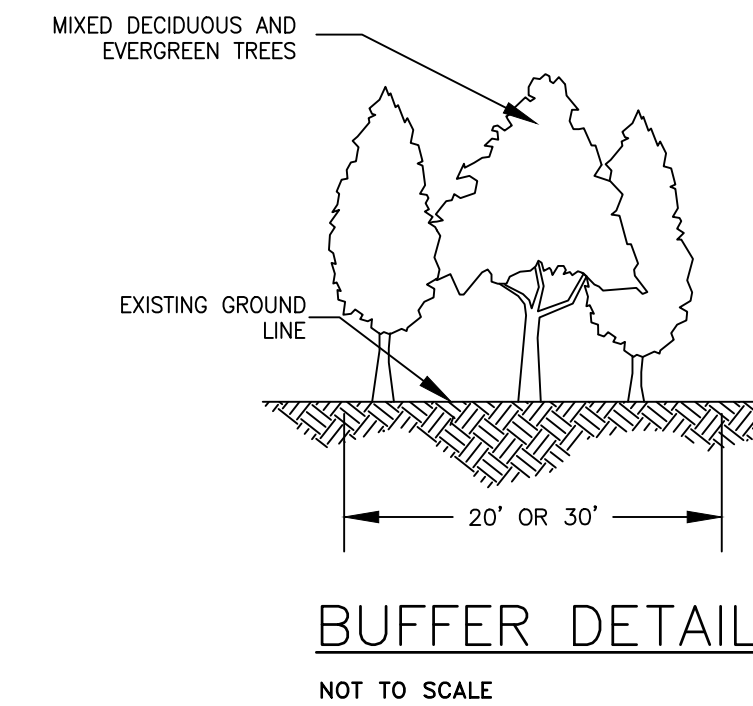
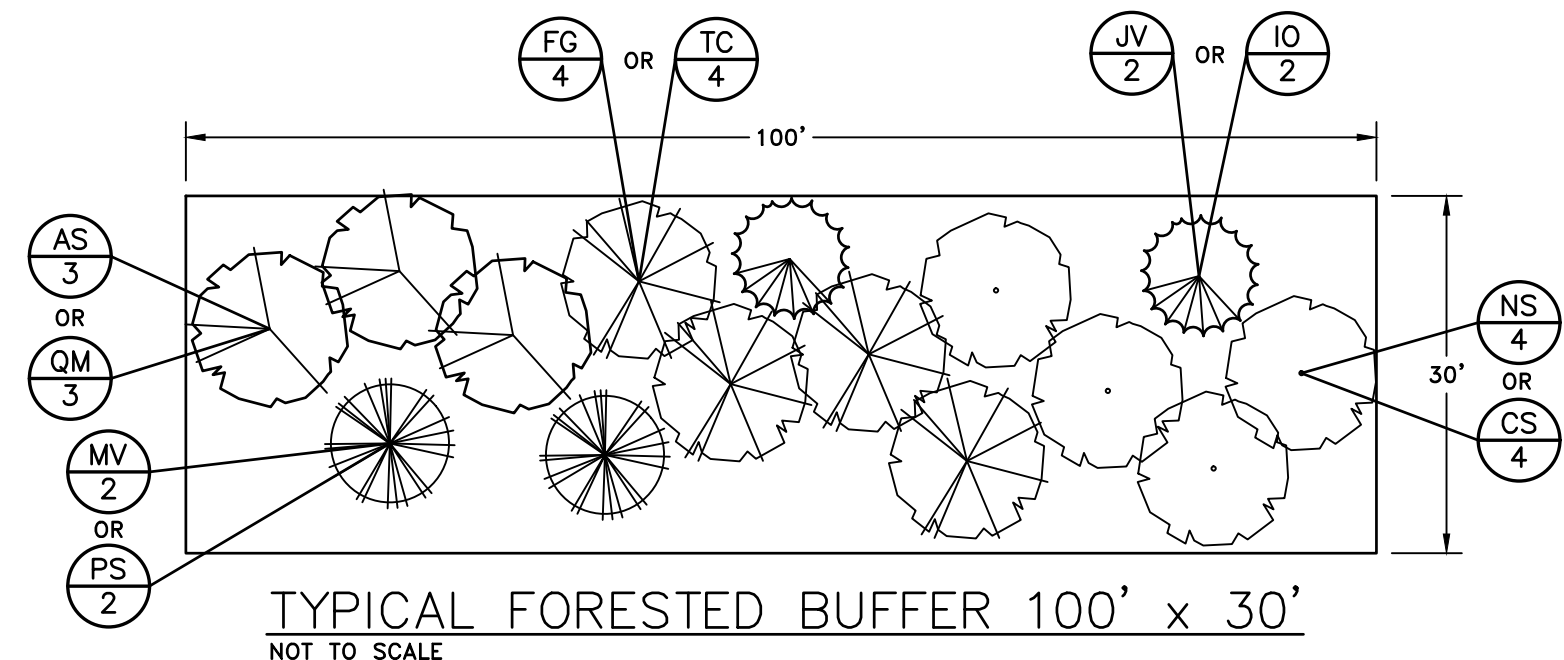
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SCALE	PROJECT #	DRAWN BY
1" = 100'	CHRE1902	JDC
DRAWING NUMBER		



SECTION
STAKING DETAIL
NO SCALE



LANDSCAPE PLANT SCHEDULE						
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	QUANTITY
DECIDUOUS TREE						
	AS	Acer saccharum "Green Mountain"	SUGAR MAPLE	1 1/2 - 2" Cal., B&B	10-15'	43
	QM	Quercus phellos	WILLOW OAK	1 1/2 - 2" Cal., B&B	10-15'	43
	FG	Fagus grandifolia	AMERICAN BEECH	1 1/2 - 2" Cal., B&B	10-15'	51
	TC	Tilia cordata	LITTLELEAF LINDEN	1 1/2 - 2" Cal., B&B	10-15'	51
	NS	Nyssa sylvatica	BLACK TUPELO	1 1/2 - 2" Cal., B&B	10-15'	51
	CS	Carya ovata	SHAGBARK HICKORY	1 1/2 - 2" Cal., B&B	10-15'	50
EVERGREEN TREE						
	MV	Magnolia virginiana	SWEETBAY MAGNOLIA	5'6" Ht., B&B		31
	PS	Pinus strobus	EASTERN WHITE PINE	5'6" Ht., B&B		31
	JV	Juniperus virginiana	EASTERN RED CEDAR	5'6" Ht., B&B		31
	IO	Ilex opaca	AMERICAN HOLLY	5'6" Ht., B&B		31
TOTAL						413

GENERAL LANDSCAPE NOTES

- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK".
- THE LAND DEVELOPER SHALL BE HELD RESPONSIBLE FOR THE HEALTH AND SURVIVAL OF THE TREES INCLUDING REGULAR NECESSARY WATERING FOR A MINIMUM OF TWO YEARS OR UNTIL SUCH LATER DATE AS THE MAINTENANCE RESPONSIBILITIES ARE TRANSFERRED TO A HOMEOWNERS ASSOCIATION, PROVIDED HOWEVER THAT THE DEVELOPER SHALL REPLACE ANY TREES THAT DIE DURING THE MINIMUM TWO YEAR DEVELOPER MAINTENANCE PERIOD PRIOR TO TRANSFERRING MAINTENANCE RESPONSIBILITIES TO A HOMEOWNERS ASSOCIATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER.
- ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN.)
- EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
- ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 6"-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STAKING DETAIL SHOWN.
- THE FULL EXTENT OF ALL PLANTING BEDS SHALL RECEIVE 4" OF TOPSOIL AND 3" OF BARK MULCH PER SPECIFICATIONS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
- THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.

LANDSCAPE ARCHITECT'S STATEMENT

I, TIMOTHY M. METZNER, HEREBY STATE THAT I AM A REGISTERED LANDSCAPE ARCHITECT IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ARCHITECTURAL PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

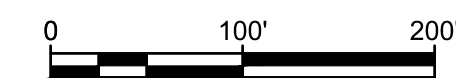
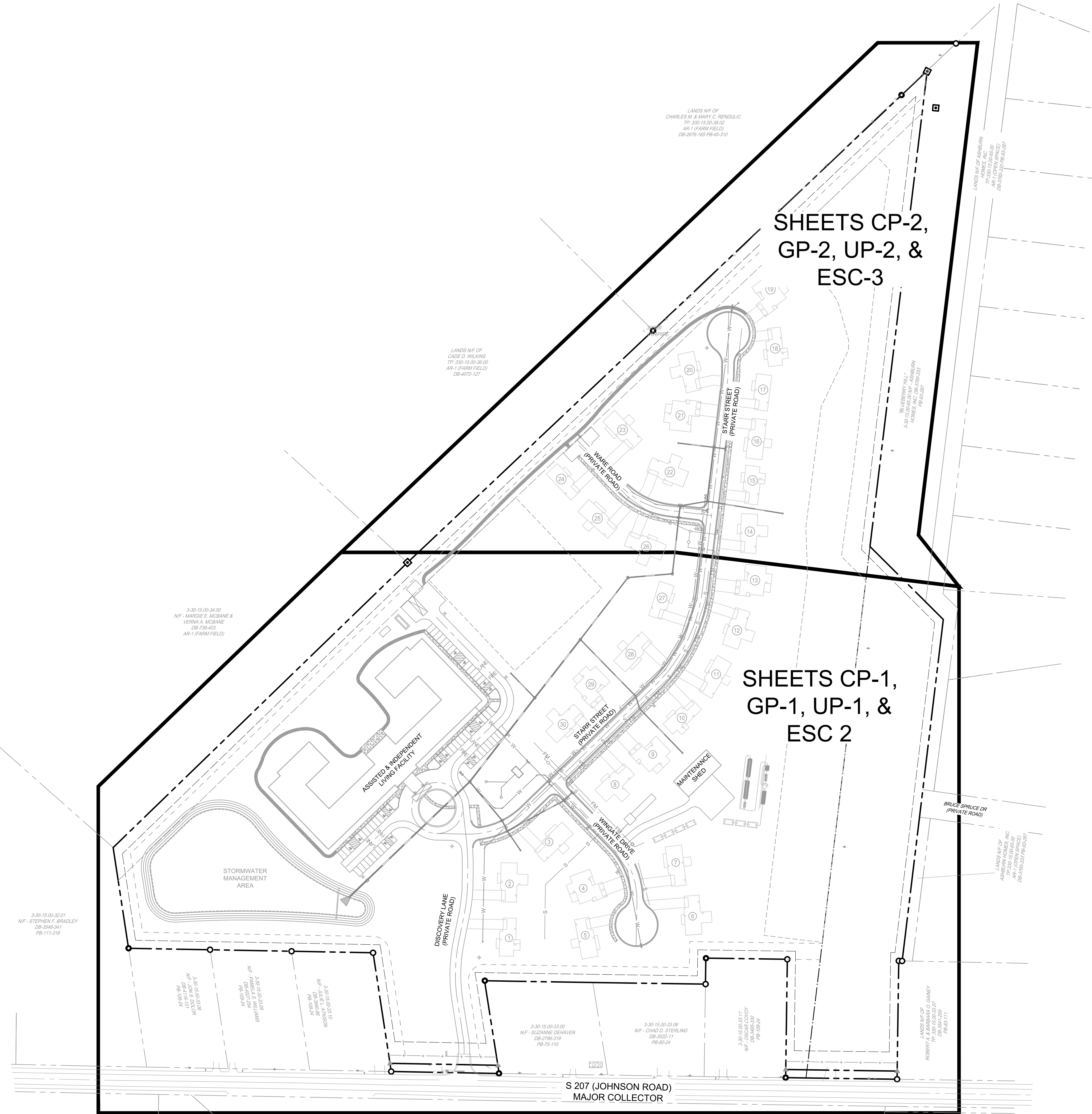
SIGNATURE _____ DATE _____

TIMOTHY M. METZNER, RLA, LEED AP ND
DAVIS, BOWEN & FRIEDEL, INC.
1 PARK AVENUE
MILFORD, DELAWARE 19963



ARCHITECTS ENGINEERS
SALISBURY, MARYLAND (410) 543-9091
MILFORD, DELAWARE (302) 424-1441
EASTON, MARYLAND (410) 770-4744

Z:\PROJECTS\County Road Home\CHRE192 - Lincoln Retirement Community\DESIGN\CHRE192 - Key Sheet.dwg PLOTTED: 2/28/22 8:21 AM BY: Dave Haddock PLOTDATE: SiteWorks,ENG,CD



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KEY SHEET

LINCOLN RETIREMENT COMMUNITY

TAX PARCEL NO. 330-15-00-33.01
JOHNSON ROAD (SCR 207)

CEDAR CREEK HUNDRED, SUSSEX COUNTY

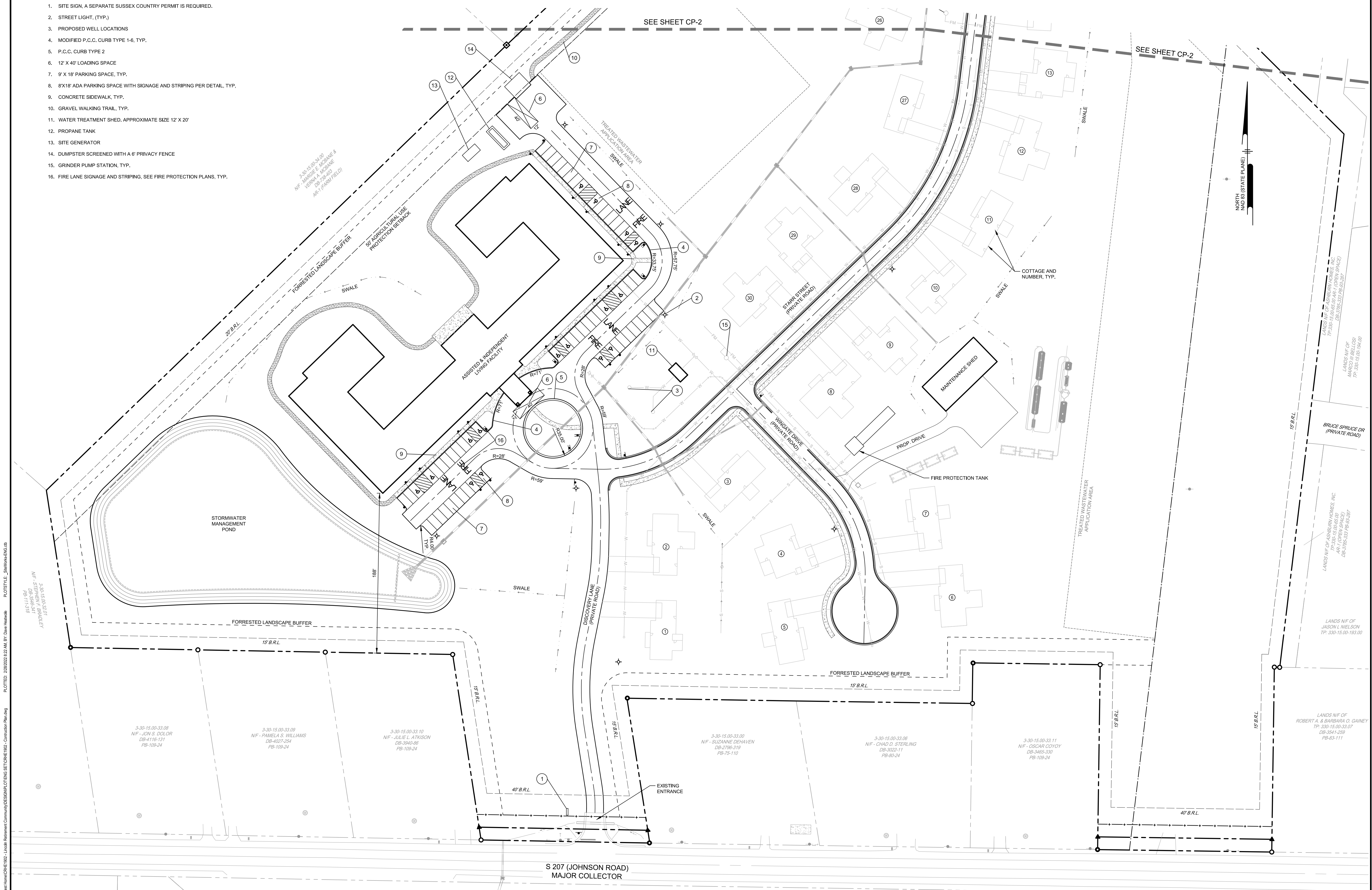
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 - 11/24/21 - SUSSEX CONSERVATION DISTRICT
 - 11/29/21 - DELDOT
 - 11/29/21 - SUSSEX COUNTY P&Z
 - 2/21/22 - FIRE MARSHAL
 - 2/25/22 - DELDOT
 - 2/28/22 - SUSSEX COUNTY P&Z

SCALE	PROJECT #	DRAWN BY
1" = 100'	CHRE1902	JDC
DRAWING NUMBER		

K-1

KEYED NOTES

1. SITE SIGN. A SEPARATE SUSSEX COUNTRY PERMIT IS REQUIRED.
2. STREET LIGHT, (TYP.)
3. PROPOSED WELL LOCATIONS
4. MODIFIED P.C.C. CURB TYPE 1-6, TYP.
5. P.C.C. CURB TYPE 2
6. 12' X 40' LOADING SPACE
7. 9' X 18' PARKING SPACE, TYP.
8. 8'X18' ADA PARKING SPACE WITH SIGNAGE AND STRIPING PER DETAIL, TYP.
9. CONCRETE SIDEWALK, TYP.
10. GRAVEL WALKING TRAIL, TYP.
11. WATER TREATMENT SHED, APPROXIMATE SIZE 12' X 20'
12. PROPANE TANK
13. SITE GENERATOR
14. DUMPSTER SCREENED WITH A 6' PRIVACY FENCE
15. GRINDER PUMP STATION, TYP.
16. FIRE LANE SIGNAGE AND STRIPING, SEE FIRE PROTECTION PLANS, TYP.



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 PLOTFILE: SitePlan.dwg

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CONSTRUCTION PLAN

LINCOLN RETIREMENT COMMUNITY

TAX PARCEL NO. 330-15-00-33.01

JOHNSON ROAD (SCR 207)

CEDAR CREEK HUNDRED, SUSSEX COUNTY

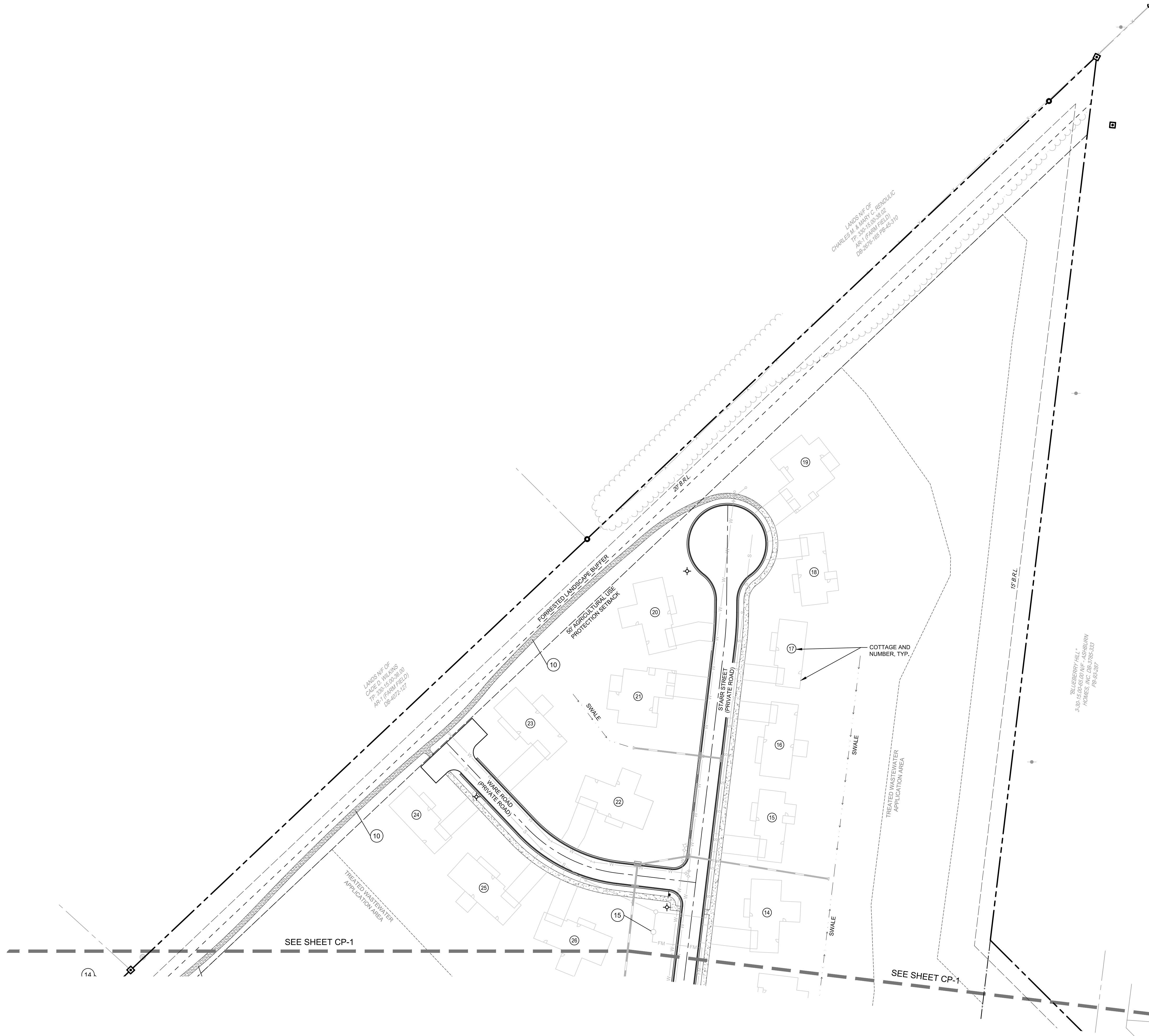
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SCALE	PROJECT #	DRAWN BY
1" = 50'	CHRE1902	JDC
DRAWING NUMBER		

CP-1

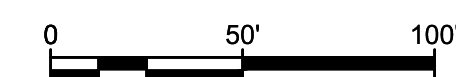
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KEYED NOTES

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CONSTRUCTION PLAN

LINCOLN RETIREMENT COMMUNITY
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JOHNSON ROAD (SCR 207)

CEDAR CREEK HUNDRED, SUSSEX COUNTY

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SCALE	PROJECT #	DRAWN BY
1" = 50'	CHRE1902	JDC
DRAWING NUMBER		

CP-2

OCT 2006

TYPICAL INSTALLATION

SIGN PANEL BLADE

ALUMINUM ALLOY NUMBER 6063-T6
ALL SURFACES EXPOSED
LETTERS SHALL BE HIGH INTENSITY SILVER, BACKED WITH ENGINEER GRADE GREEN

PLAN VIEW SYMBOL

CROSS SECTION

DEPARTMENT OF TRANSPORTATION

BLADE SPECIFICATIONS & TYPICAL INSTALLATION

STANDARD NO. S-7

BREAK-AWAY ASSEMBLY

NOTES

- SQUARE TUBES ARE TO BE FORMED FROM GALVANIZED SHEET STRUCTURAL (PHYSICAL) QUALITY, ASTM A 446, GRADE A, COATING DESIGNATION G 90, REGULAR SPANGLER, OR HOT ROLLED CARBON SHEET STEEL STRUCTURAL (PHYSICAL) QUALITY, ASTM A 570, GRADE 33.
 - A. NOMINAL OUTSIDE DIMENSION, (INCHES):

2 x 2	+/-	.008
2 1/2 x 2 1/2	+/-	.010
2 3/4 x 2 3/4	+/-	.010
 - ALL FOUR SIDES ARE TO HAVE EVENLY SPACED 1/8\"/>
- TOLERANCE ON HOLE SIZES IS +.004\", TOLERANCE ON HOLE SPACING IS +.004\" IN 20 FEET.
- STANDARD CORNER RADIUS SHALL BE 3/8\" +/- .004\".
- THE FASTENERS TO BE SUPPLIED UNDER THIS SPECIFICATION SHALL BE 5/8\" GRADE 5 UNC CORNER BOLTS WITH CADMIUM OR ZINC PLATING. INSTALLATION OF SIGNS SHALL BE WITH 3/8\" x 2 1/2\" BOLT WITH LOCKWASHER AND WASHER.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL PVC (POLYVINYL CHLORIDE) SLEEVES (4\" INSIDE DIAMETER MINIMUM, 6\" INSIDE DIAMETER MAXIMUM) IN PROPOSED CONCRETE SIDEWALKS, ISLANDS, AND MEDIANS FOR FUTURE TRAFFIC SIGN POSTS AS DIRECTED BY THE ENGINEER. THE LOWER END OF THE SLEEVE SHALL BE SET ON THE TOP OF THE SOIL.
- DEVELOPMENT SIGNS SHALL BE DISPLAYED ON TWO POSTS.
 - A. DEVELOPMENT SIGNS SHALL BE INSTALLED WITHIN THE RIGHT-OF-WAY OF THE HIGHWAY ON WHICH THE ENTRANCE(S) IS (ARE) LOCATED. THE SIGNS SHALL BE PLACED WITHIN 500 FEET OF THE CENTERLINE OF THE ENTRANCE(S).
 - ALL SUBDIVISIONS SHALL BE REQUIRED TO HAVE ONE SPEED LIMIT 25 AND ONE WATCH CHILDREN SIGN. IN ADDITION TO THE STANDARD STOP SIGN AND STREET BLADES, THE SPEED LIMIT 25 SIGN MAY BE MOUNTED BELOW THE WATCH CHILDREN SIGN IF A 12\"/>
- FLAT PANEL SIGN MATERIALS. STOP SIGN FACES SHALL BE FABRICATED OF TYPE 'IK' ENCLOSED LENS (DIAMOND GRADE) REFLECTIVE SHEETING. ALL OTHER SIGNS SHALL BE A MINIMUM TYPE 'III' ENCAPSULATED LENS (HIGH INTENSITY) REFLECTIVE SHEETING AND SHALL BE APPLIED TO SIGN GRADE ALUMINUM SHEET (MINIMUM THICKNESS +.0080\").
- THE CAESAR RODNEY DEVELOPMENT SIGN IS THE CURRENT STANDARD, FOR THE SPECIFICATIONS, SEE STANDARD NO. S-5.

DEPARTMENT OF TRANSPORTATION

SIGN POST SPECIFICATIONS & GENERAL NOTES

STANDARD NO. S-1

CONCRETE SIDEWALK

NOTE: PLACE EXPANSION JOINTS 20' ON CENTER AND CONTROL JOINTS 5' ON CENTER OR MATCH EXISTING PATTERN IF CONFLICTING TO EXISTING SIDEWALK.

DEPARTMENT OF TRANSPORTATION

CONSTRUCTION DETAILS

STANDARD NO. S-1

STOP SIGN DETAIL

NOT TO SCALE

DEPARTMENT OF TRANSPORTATION

PEDESTRIAN CONNECTION, TYPE 1 AND SECTIONS

STANDARD NO. C-2 (2018)

SHT. 1 OF 3

APPROVED SIGNATURE ON FILE 1/04/2019

RECOMMENDED SIGNATURE ON FILE 12/20/2018

SIGN POST DETAIL

NOT TO SCALE

DEPARTMENT OF TRANSPORTATION

PEDESTRIAN CONNECTION, TYPES 2, 3, & 4

STANDARD NO. C-2 (2018)

SHT. 2 OF 3

APPROVED SIGNATURE ON FILE 1/04/2019

RECOMMENDED SIGNATURE ON FILE 12/20/2018

ROAD CONSTRUCTION NOTES:

- SURFACE TREATMENT SHALL NOT BE APPLIED:
 - AFTER NOVEMBER 1 OR PRIOR TO APRIL 1, OR
 - WHEN THE TEMPERATURE IS BELOW 50 °F, OR
 - ON ANY WET OR FROZEN SURFACE.
- HOT MIX SHALL NOT BE APPLIED:
 - WHEN TEMPERATURE IS BELOW 40 °F, OR
 - ON ANY WET OR FROZEN SURFACE.
- FOR ALL WOODED AREAS, A SUFFICIENT AREA BEYOND THE RIGHT-OF-WAY LINE SHALL BE CLEARED AND GRUBBED, TO ALLOW PROPER GRADING OF THE ROADWAY SWALE AND BACKSLOPES.
- ALL DISTURBED AREAS MUST BE STABILIZED WITH 6-INCHES OF TOPSOIL, SEED AND MULCH

PEDESTRIAN CONNECTION TYPE 1 DETAIL

NOT TO SCALE

DEPARTMENT OF TRANSPORTATION

GRAVEL TRAIL

NOT TO SCALE

WASTEWATER TREATMENT PLANT ACCESS DRIVE

NOT TO SCALE

PEDESTRIAN CONNECTION TYPES 2, 3, & 4 DETAIL

NOT TO SCALE

HDPE END SECTION	WIDTH	LENGTH
12"	2.1'	2.4'
15"	2.1'	2.4'
18"	2.7'	2.9'
24"	3.0'	3.8'
30"	4.4'	5.7'
36"	4.4'	5.7'

DEPARTMENT OF TRANSPORTATION

HDPE FLARED END SECTION WITH ANTIFLOATATION BLOCK

NOT TO SCALE

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CONSTRUCTION DETAILS

LINCOLN RETIREMENT COMMUNITY

TAX PARCEL NO. 330-15-00-33.01

JOHNSON ROAD (SCR 207)

CEDAR CREEK HUNDRED, SUSSEX COUNTY

ISSUE / REVISION BLOCK

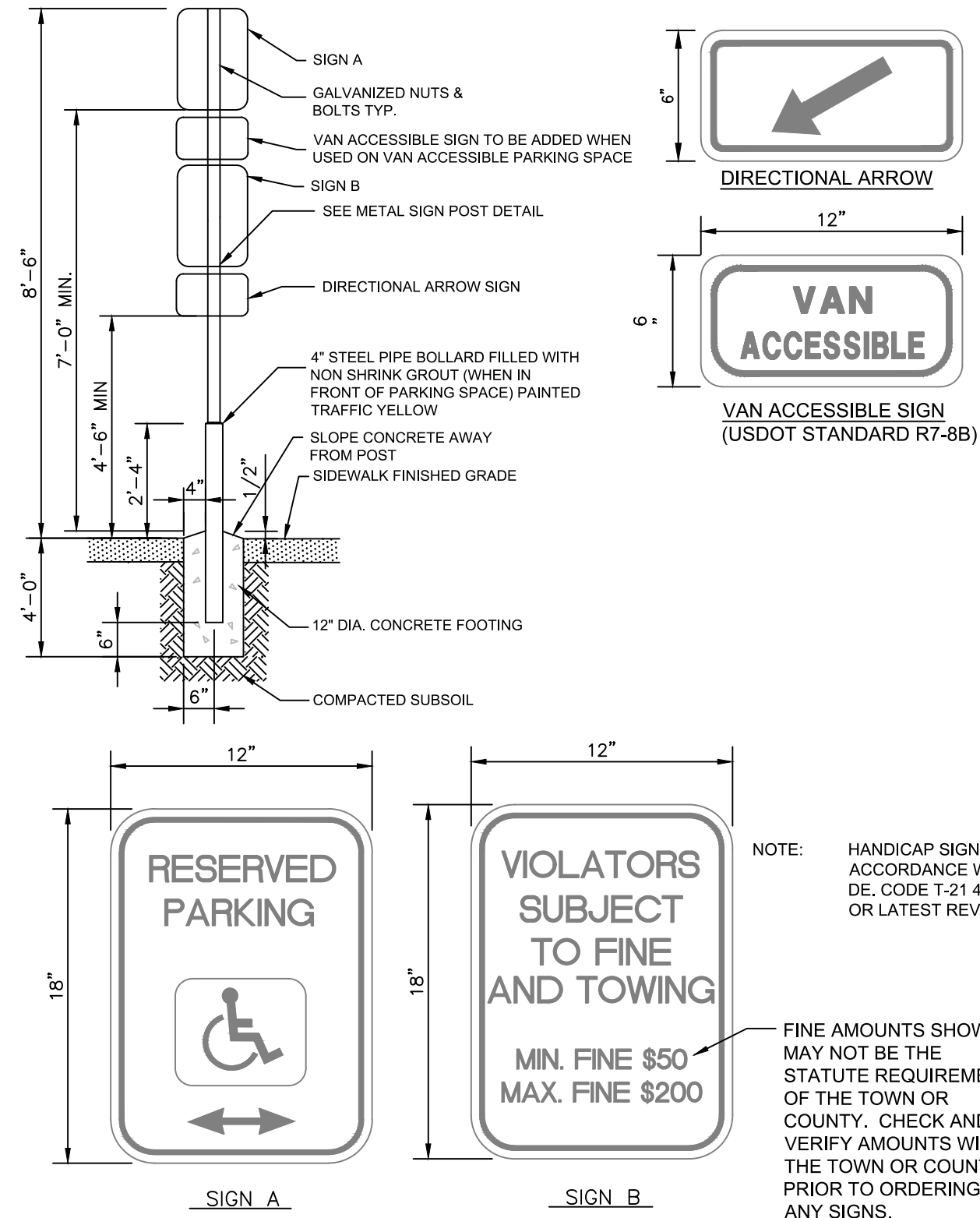
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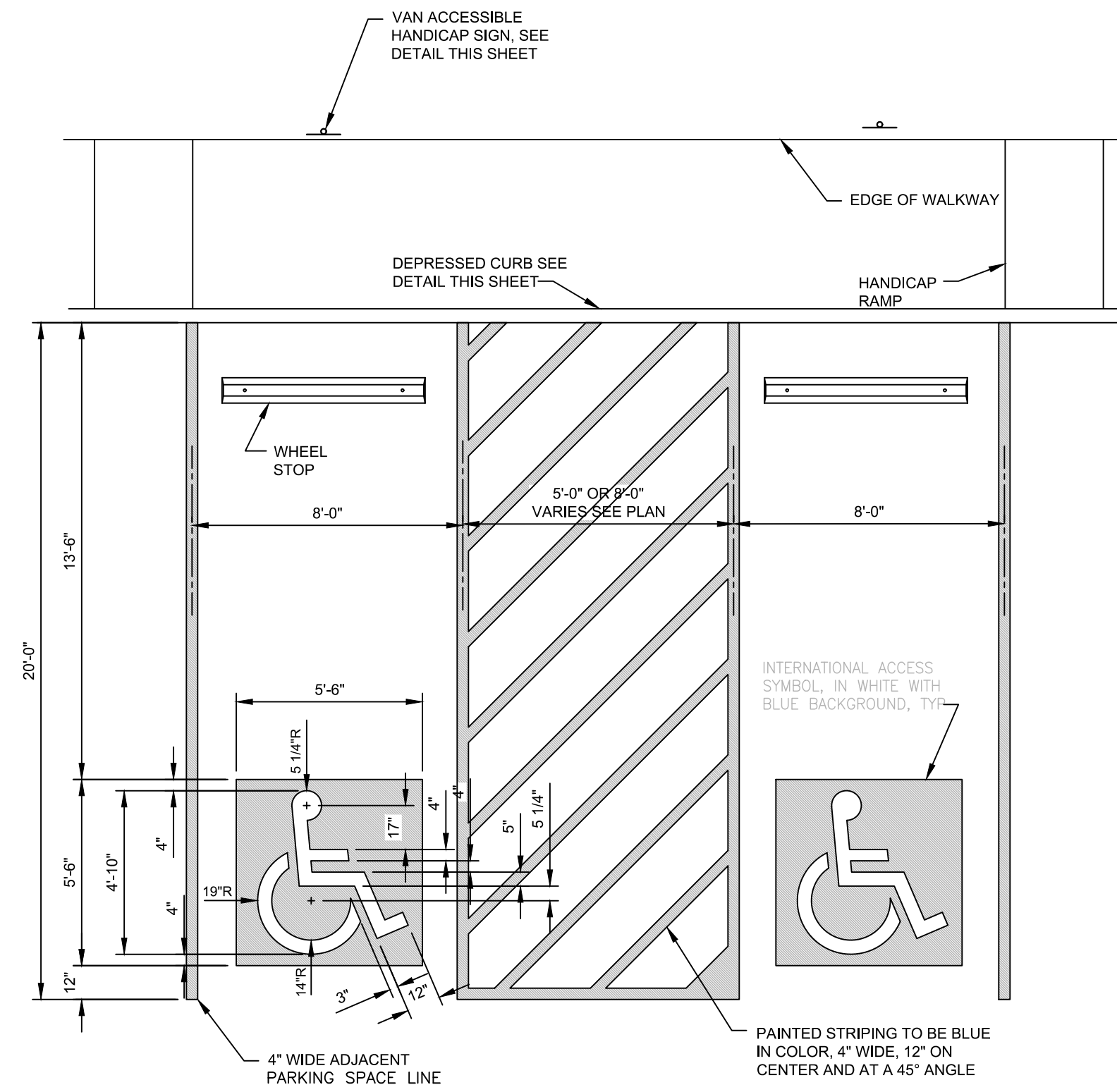
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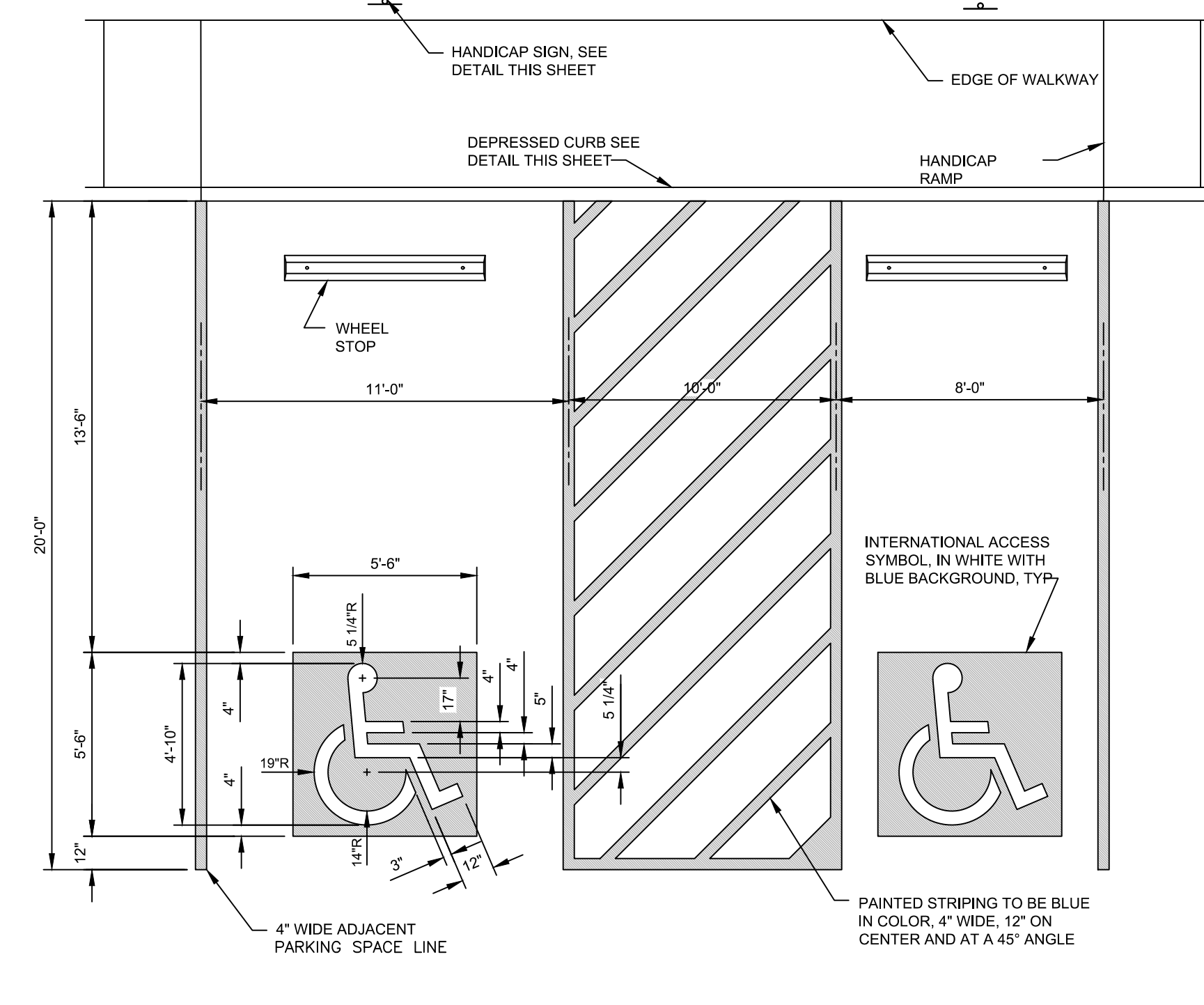
CP-3



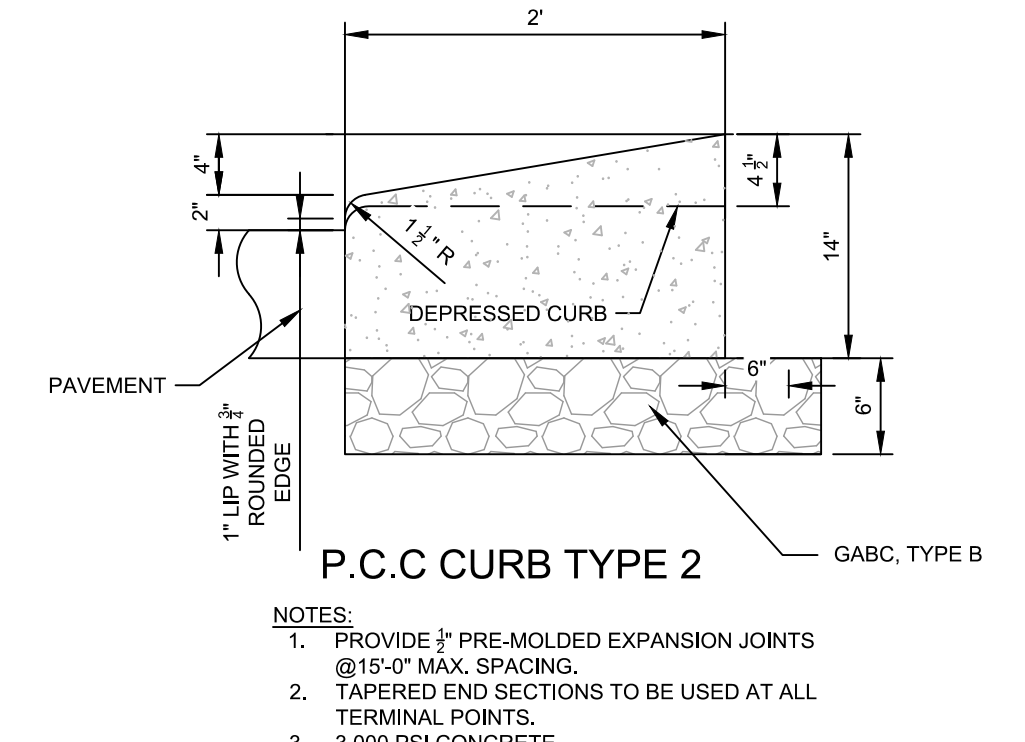
HANDICAP PARKING SIGNAGE DETAIL
NOT TO SCALE



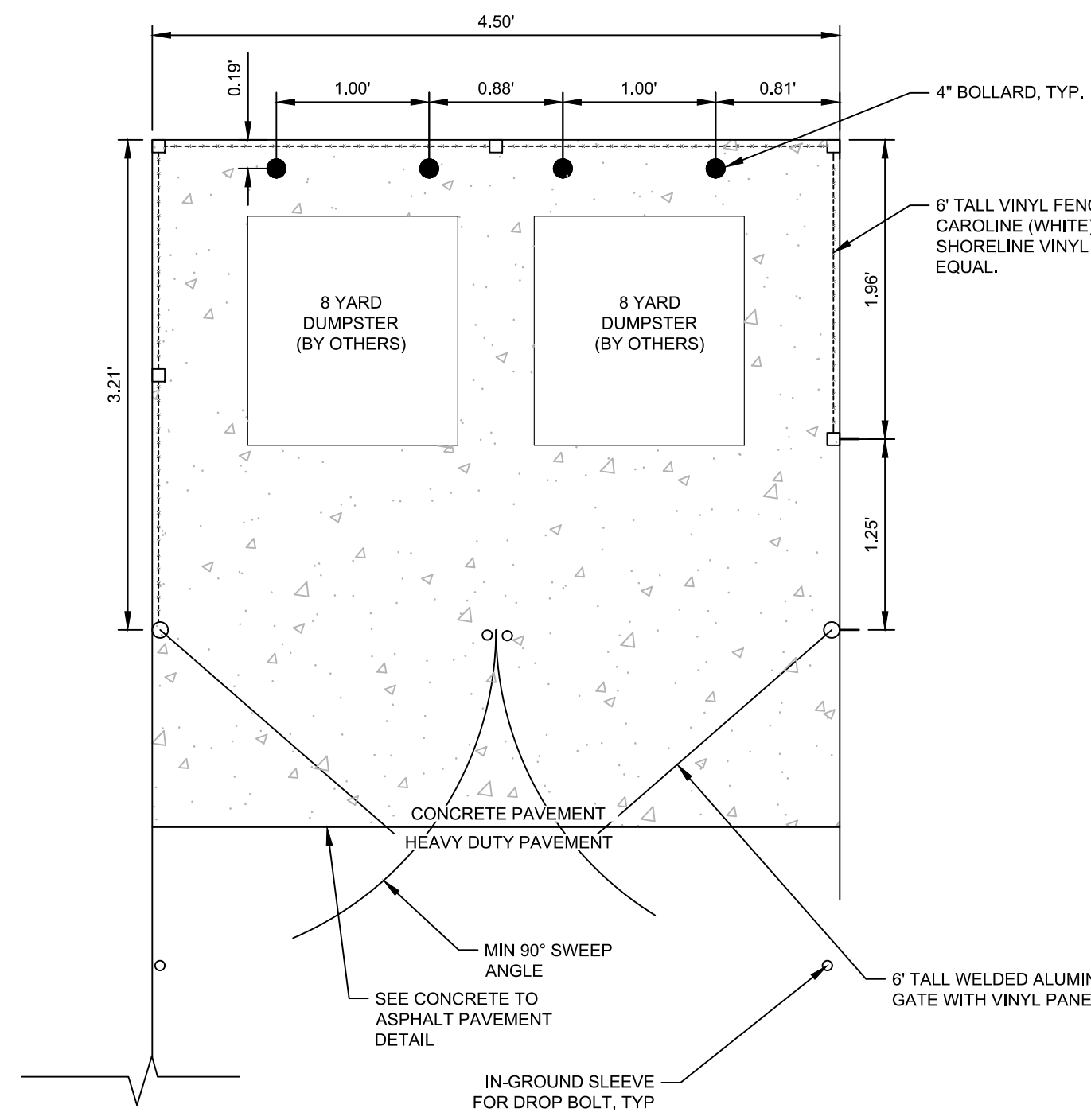
HANDICAP PARKING DETAIL
NOT TO SCALE



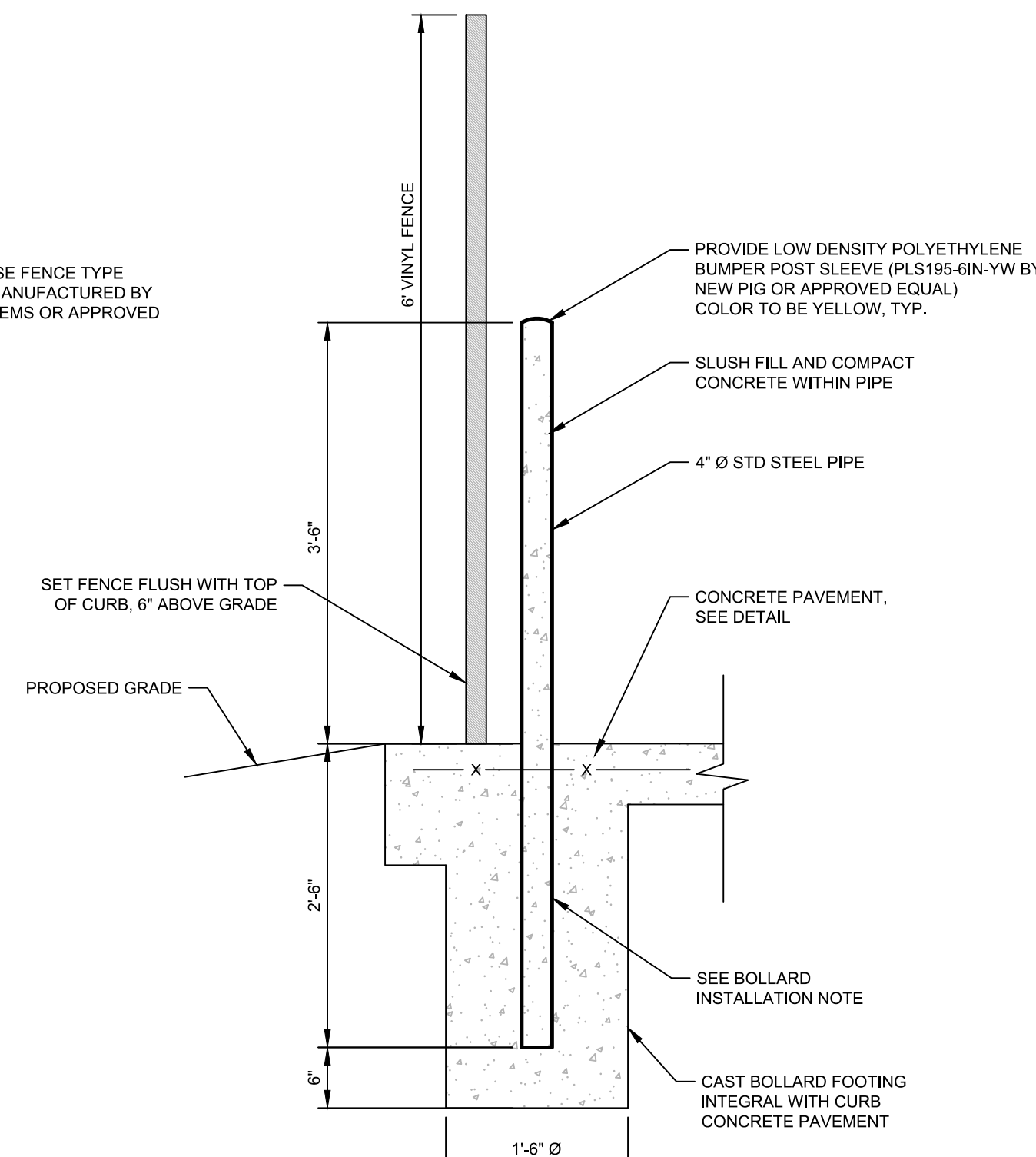
VAN ACCESSIBLE HANDICAP PARKING LAYOUT
NOT TO SCALE



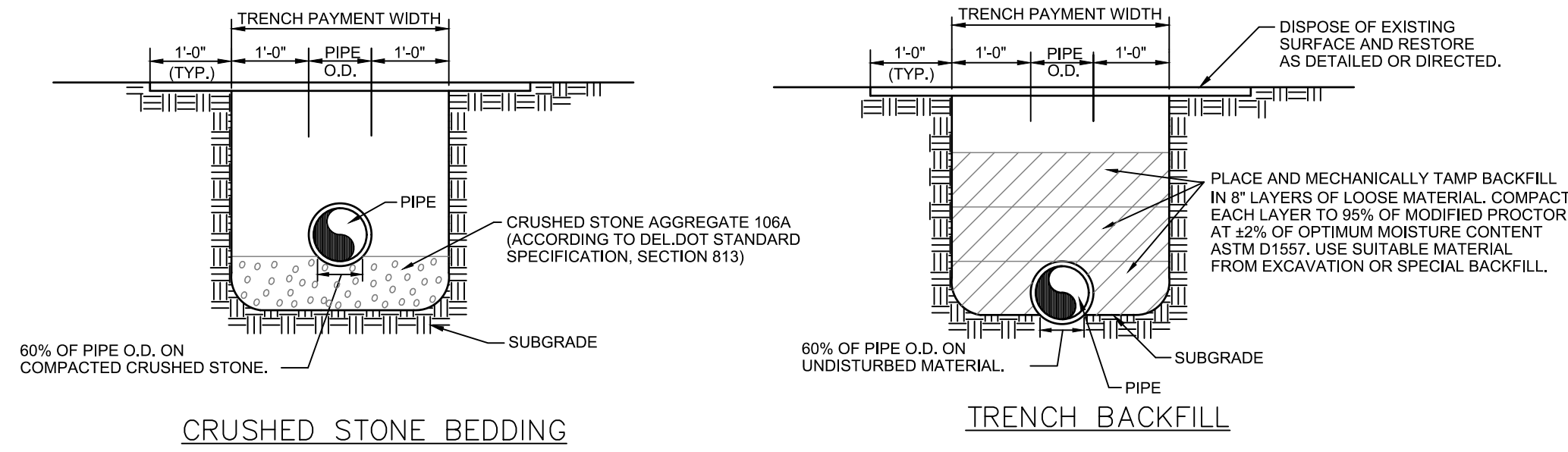
CURB DETAIL
NOT TO SCALE



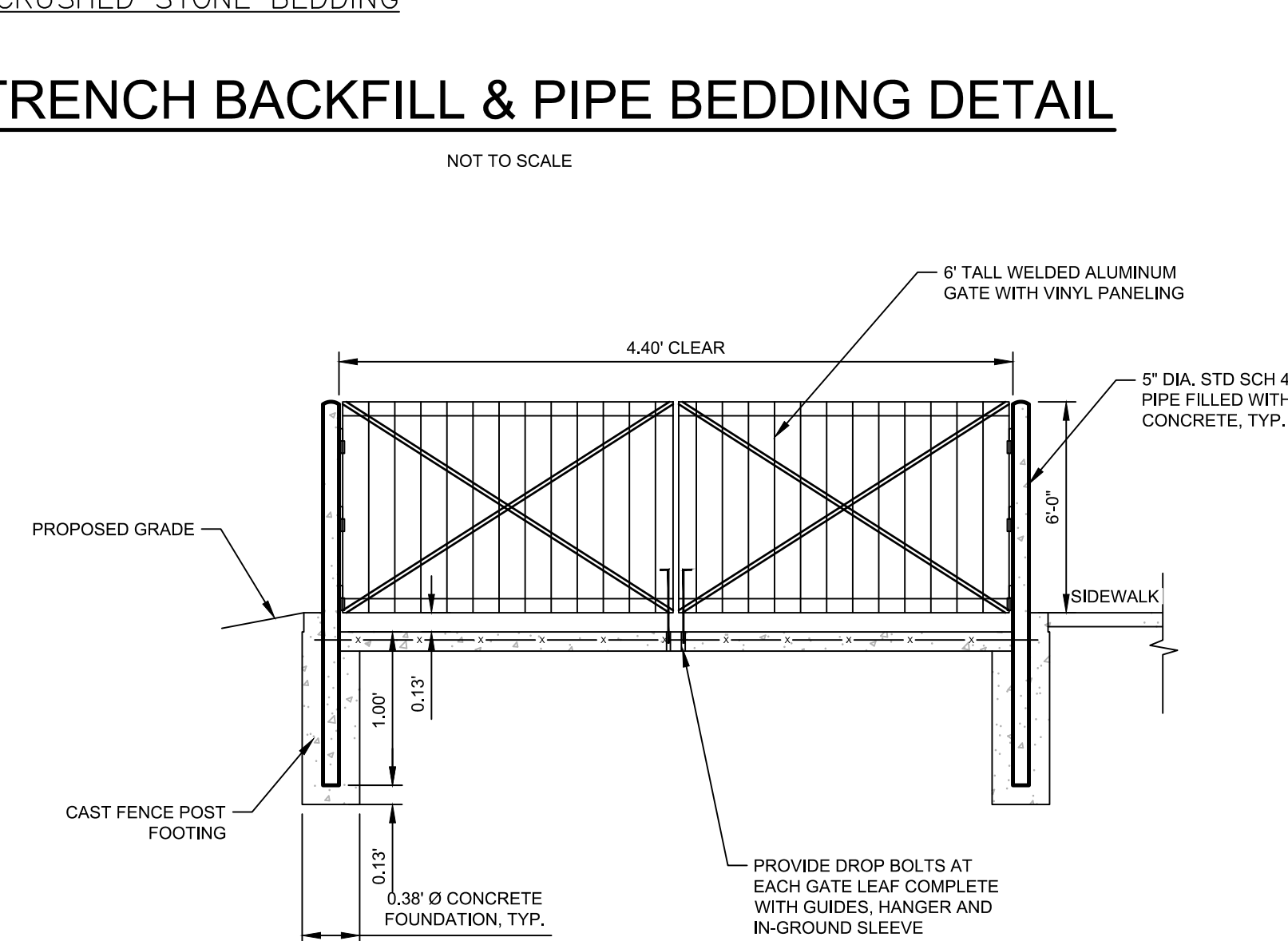
DUMPSTER DETAIL - PLAN
NOT TO SCALE



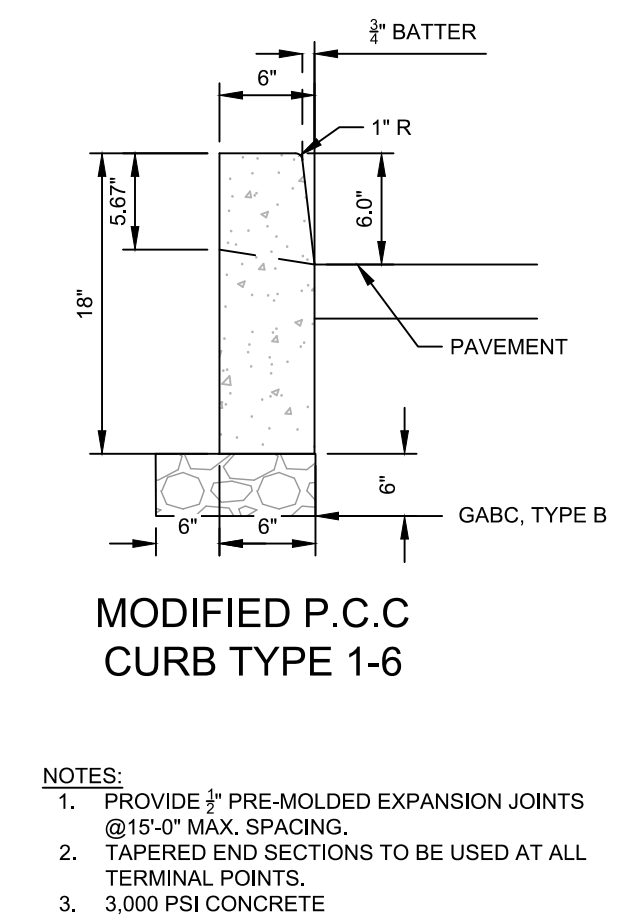
DUMPSTER DETAIL - BOLLARD
NOT TO SCALE



TRENCH BACKFILL & PIPE BEDDING DETAIL
NOT TO SCALE

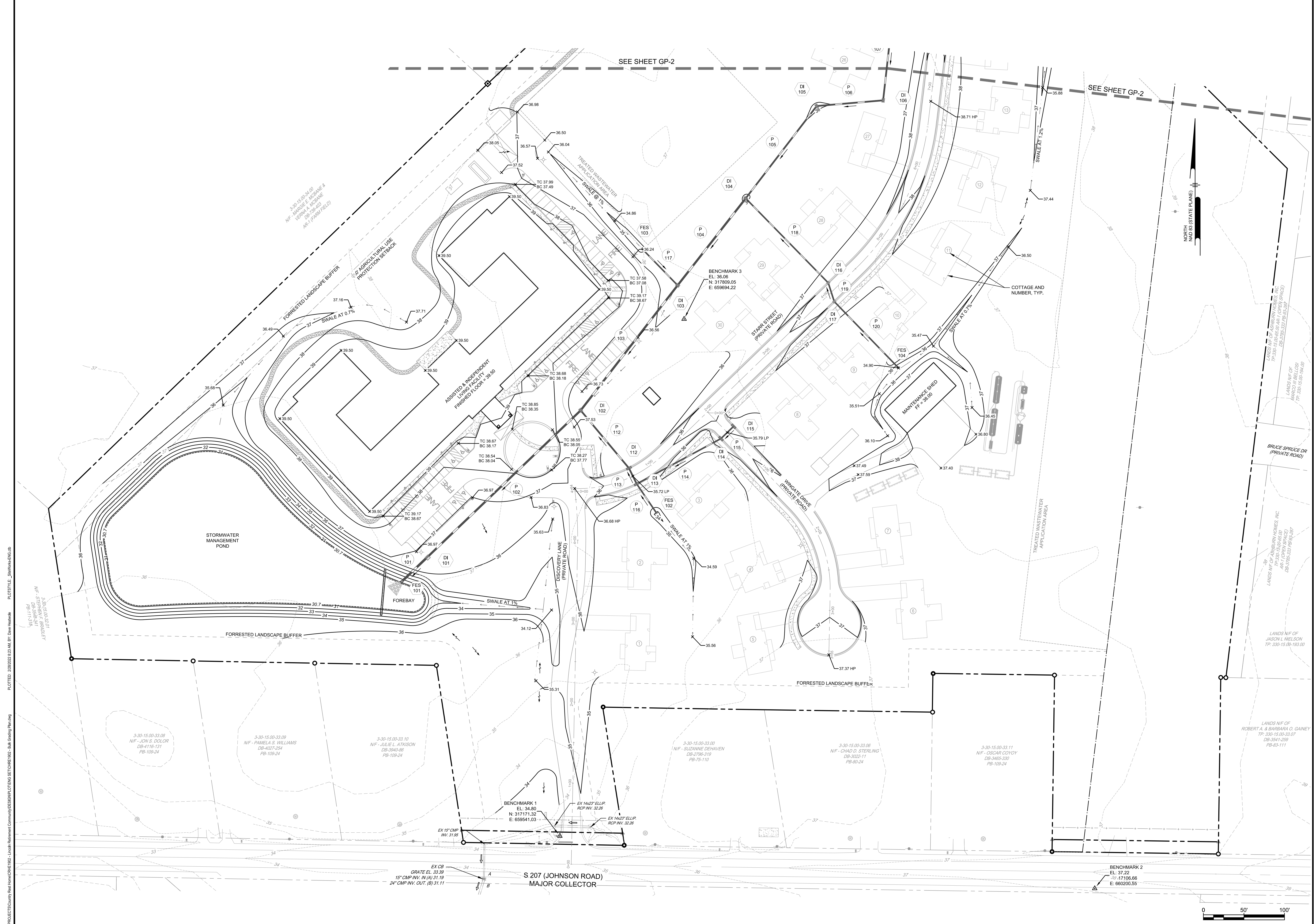


DUMPSTER DETAIL - GATE
NOT TO SCALE



CURB DETAIL
NOT TO SCALE

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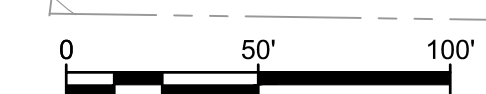


PROJECT: 220202 ESD, M.L. By: Dave Newland
 PLOT: 220202 ESD, M.L. By: Dave Newland
 FILE: 11-15-22
 DRAWING: 220202 ESD, M.L. By: Dave Newland
 PROJECT: 220202 ESD, M.L. By: Dave Newland

SEE SHEET GP-2

SEE SHEET GP-2

S 207 (JOHNSON ROAD)
MAJOR COLLECTOR



ISSUE / REVISION BLOCK
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11/24/21 - SUSSEX CONSERVATION DISTRICT
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1" = 50'	CHRE1902	JDC
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STORM DRAINAGE STRUCTURE SCHEDULE								
LABEL	DESCRIPTION			T.G. ELEV.	INVERT IN.	INVERT IN.	INVERT IN.	INVERT OUT
	BOX	TOP UNIT	GRATE					
DI 101	48"x48"	TYPE A	TYPE 1	36.72	30.78	----	----	30.78
DI 102	48"x30"	TYPE A	TYPE 1	35.30	31.16	----	----	31.16
DI 103	48"x30"	TYPE A	TYPE 1	35.60	31.46	----	----	31.46
DI 104	48"x30"	TYPE A	TYPE 1	35.80	31.68	----	----	31.68
DI 105	48"x30"	TYPE A	TYPE 1	35.60	31.99	----	----	31.99
DI 106	48"x30"	TYPE A	TYPE 1	35.80	32.17	----	----	32.17
DI 107	72"x24"	TYPE S	TYPE 1	36.46	32.40	----	----	32.40
DI 108	72"x48"	TYPE S	TYPE 1	36.46	32.45	----	----	32.45
DI 109	48"x30"	TYPE S	TYPE 1	37.15	32.59	----	----	32.59
DI 110	72"x24"	TYPE S	TYPE 1	36.28	32.87	----	----	32.87
DI 111	72"x24"	TYPE S	TYPE 1	36.28	----	----	----	32.93
DI 112	72"x24"	TYPE S	TYPE 1	35.45	31.65	----	----	31.65
DI 113	72"x24"	TYPE S	TYPE 1	35.45	31.70	----	----	31.70
DI 114	72"x24"	TYPE S	TYPE 1	35.51	32.05	----	----	32.05
DI 115	72"x24"	TYPE S	TYPE 1	35.51	----	----	----	32.12
DI 116	34"x24"	TYPE S	TYPE 1	37.11	34.44	----	----	34.44
DI 117	34"x24"	TYPE S	TYPE 1	37.06	34.56	----	----	34.56

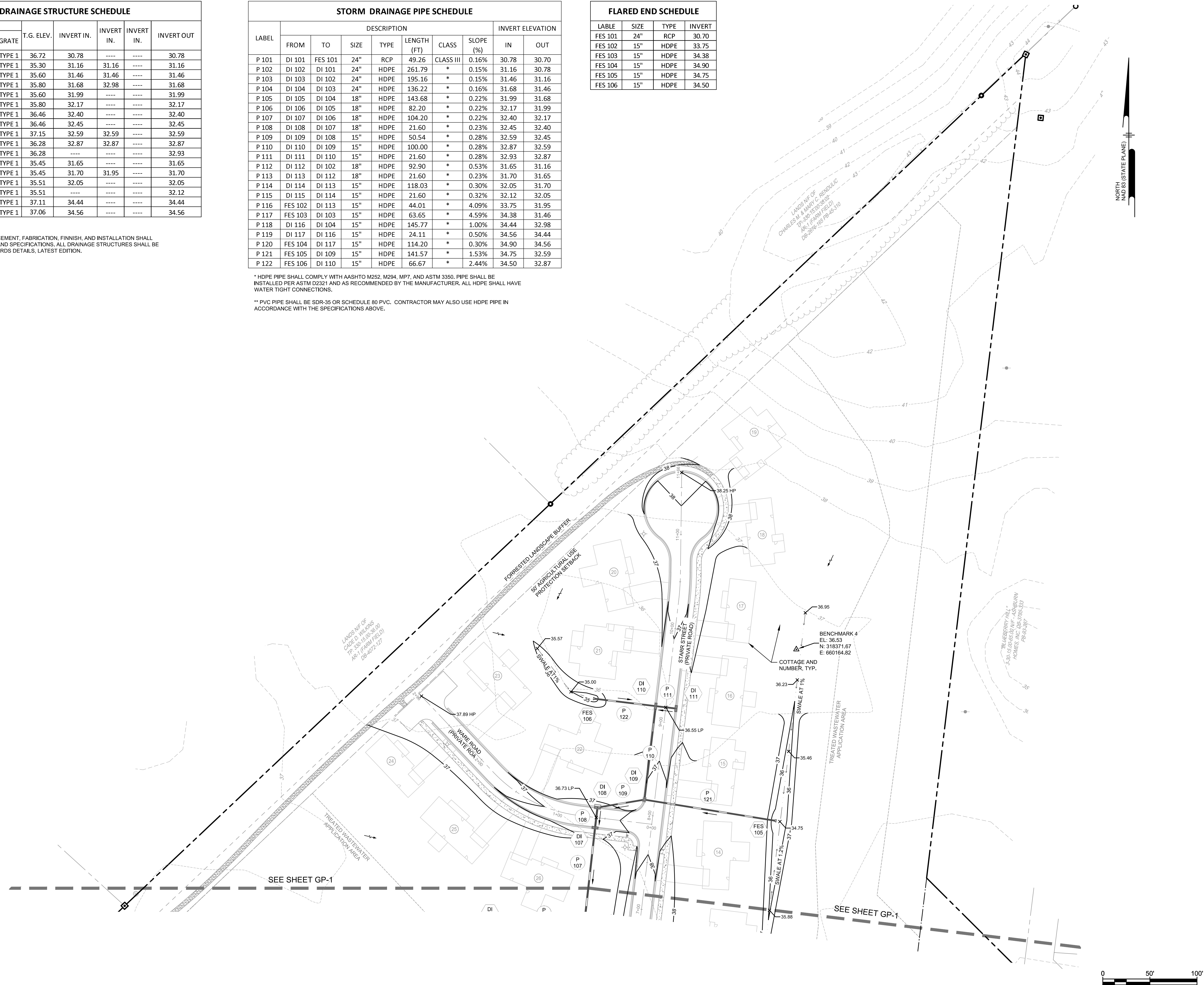
NOTE:
CONCRETE MATERIALS AND REINFORCEMENT, FABRICATION, FINISH, AND INSTALLATION SHALL CONFORM TO DELDOT'S STANDARDS AND SPECIFICATIONS. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED PER DELDOT'S STANDARDS DETAILS, LATEST EDITION.

STORM DRAINAGE PIPE SCHEDULE									
LABEL	DESCRIPTION				INVERT ELEVATION				
	FROM	TO	SIZE	TYPE	LENGTH (FT)	CLASS	SLOPE (%)	IN	OUT
P 101	DI 101	FES 101	24"	RCP	49.26	CLASS III	0.16%	30.78	30.70
P 102	DI 102	DI 101	24"	HDPE	261.79	*	0.15%	31.16	30.78
P 103	DI 103	DI 102	24"	HDPE	195.16	*	0.15%	31.46	31.16
P 104	DI 104	DI 103	24"	HDPE	136.22	*	0.16%	31.68	31.46
P 105	DI 105	DI 104	18"	HDPE	143.68	*	0.22%	31.99	31.68
P 106	DI 106	DI 105	18"	HDPE	82.20	*	0.22%	32.17	31.99
P 107	DI 107	DI 106	18"	HDPE	104.20	*	0.22%	32.40	32.17
P 108	DI 108	DI 107	18"	HDPE	21.60	*	0.23%	32.45	32.40
P 109	DI 109	DI 108	15"	HDPE	50.54	*	0.28%	32.59	32.45
P 110	DI 110	DI 109	15"	HDPE	100.00	*	0.28%	32.87	32.59
P 111	DI 111	DI 110	15"	HDPE	21.60	*	0.28%	32.93	32.87
P 112	DI 112	DI 102	18"	HDPE	92.90	*	0.53%	31.65	31.16
P 113	DI 113	DI 112	18"	HDPE	21.60	*	0.23%	31.70	31.65
P 114	DI 114	DI 113	15"	HDPE	118.03	*	0.30%	32.05	31.70
P 115	DI 115	DI 114	15"	HDPE	21.60	*	0.32%	32.12	32.05
P 116	FES 102	DI 113	15"	HDPE	44.01	*	4.09%	33.75	31.95
P 117	FES 103	DI 103	15"	HDPE	63.65	*	4.59%	34.38	31.46
P 118	DI 116	DI 104	15"	HDPE	145.77	*	1.00%	34.44	32.98
P 119	DI 117	DI 116	15"	HDPE	24.11	*	0.50%	34.56	34.44
P 120	FES 104	DI 117	15"	HDPE	114.20	*	0.30%	34.90	34.56
P 121	FES 105	DI 109	15"	HDPE	141.57	*	1.53%	34.75	32.59
P 122	FES 106	DI 110	15"	HDPE	66.67	*	2.44%	34.50	32.87

* HDPE PIPE SHALL COMPLY WITH AASHTO M252, M294, MP7, AND ASTM 3350. PIPE SHALL BE INSTALLED PER ASTM D2321 AND AS RECOMMENDED BY THE MANUFACTURER. ALL HDPE SHALL HAVE WATER TIGHT CONNECTIONS.

** PVC PIPE SHALL BE SDR-35 OR SCHEDULE 80 PVC. CONTRACTOR MAY ALSO USE HDPE PIPE IN ACCORDANCE WITH THE SPECIFICATIONS ABOVE.

FLARED END SCHEDULE			
TABLE	SIZE	TYPE	INVERT
FES 101	24"	RCP	30.70
FES 102	15"	HDPE	33.75
FES 103	15"	HDPE	34.38
FES 104	15"	HDPE	34.90
FES 105	15"	HDPE	34.75
FES 106	15"	HDPE	34.50



Z:\PROJECTS\County Real Estate\Lincoln Retirement Community\DESIGN SETS\GP-2 - Bulk Grading Plan.dwg PLOTTED: 2/28/22 1:10 PM BY: Dave Newkirk PLOTTED: 2/28/22 1:10 PM BY: Dave Newkirk

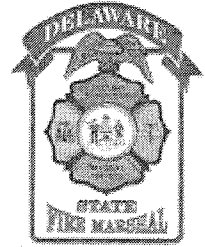
ISSUE / REVISION BLOCK
11/16/21 - FIRE MARSHAL
11/24/21 - SUSSEX CONSERVATION DISTRICT
11/29/21 - DELDOT
11/29/21 - SUSSEX COUNTY P&Z
2/21/22 - FIRE MARSHAL
2/25/22 - DELDOT
2/28/22 - SUSSEX COUNTY P&Z

SCALE PROJECT # DRAWN BY
1" = 50' CHRE1902 JDC
DRAWING NUMBER



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2021-04-207812-MJS-01

Tax Parcel Number: 234-29.00-42.00

Status: Approved as Submitted

Date: 08/10/2021

Project	
Baylis Clubhouse	Mount Joy Road
Baylis Estates	Millsboro DE 19966

Scope of Project	
Number of Stories:	
Square Footage:	
Construction Class:	Occupant Load Inside:
Fire District: 80 - Indian River Volunteer Fire Co., Inc.	Occupancy Code: 9625

Applicant	
Jena Cooper	
18958 Coastal Highway	
Rehoboth, DE 19971	

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:

 Jefferson Cerni
 Fire Protection Specialist II

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2021-04-207812-MJS-01

Tax Parcel Number: 234-29.00-42.00

Status: Approved as Submitted

Date: 08/10/2021

PROJECT COMMENTS

1002 A This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.

2447 A Outside open air assembly areas (decks, patio, etc.) where egress from the area can be accomplished without re entering the building will get an occupant load for just the outside open air assembly area. The occupant load is for the outside open air assembly area ONLY and is separate from the building's posted occupant load. Any alterations to the outside open air assembly area shall require formal plan submittal to the DE State Fire Marshal's Office.

OCCUPANT LOAD CALCULATED FOR POOL AND POOL DECK = 135

1180 A This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.

1190 A Separate plan submittal is required for the building(s) proposed for this project.

FOR CLUBHOUSE

2500 A A final inspection is required for this project prior to occupancy (DSFPR Part I, Section 4-7). Contact this Agency to schedule this inspection. Please have the plan review number available. A MINIMUM OF FIVE (5) WORKING DAYS NOTICE IS REQUIRED.

2710 A The following items will be field verified by this Agency at the time of final inspection:

2040 A Any door in a required means of egress from an area having an occupant load of 100 or more persons may be provided with a latch or lock only if it is panic hardware or fire exit hardware complying with NFPA 101, Section 12.2.2.2.3 and

section 7.2.1.7.1

FOR REQUIRED GATES FROM POOL DECK

1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.

STANDARD DRAWING LEGEND

FOR ENTIRE PLAN SET
(NOT TO SCALE)

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	ON-SITE PROPERTY LINE / R.O.W. LINE	---
---	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
---	CONCRETE CURB & GUTTER	---
---	UTILITY POLE WITH LIGHT	---
---	POLE LIGHT	---
---	TRAFFIC LIGHT	---
---	UTILITY POLE	---
---	TYPICAL LIGHT	---
---	ACORN LIGHT	---
---	TYPICAL SIGN	---
---	PARKING COUNTS	---
---	CONTOUR LINE	---
---	SPOT ELEVATIONS	---
---	SANITARY LABEL	---
---	STORM LABEL	---
---	SANITARY SEWER LATERAL	---
---	UNDERGROUND WATER LINE	---
---	UNDERGROUND ELECTRIC LINE	---
---	UNDERGROUND GAS LINE	---
---	OVERHEAD WIRE	---
---	UNDERGROUND TELEPHONE LINE	---
---	UNDERGROUND CABLE LINE	---
---	STORM SEWER	---
---	SANITARY SEWER MAIN	---
---	HYDRANT	---
---	SANITARY MANHOLE	---
---	STORM MANHOLE	---
---	WATER METER	---
---	WATER VALVE	---
---	GAS VALVE	---
---	GAS METER	---
---	TYPICAL END SECTION	---
---	HEADWALL OR ENDWALL	---
---	YARD INLET	---
---	CURB INLET	---
---	CLEAN OUT	---
---	ELECTRIC MANHOLE	---
---	TELEPHONE MANHOLE	---
---	ELECTRIC BOX	---
---	ELECTRIC PEDESTAL	---
---	MONITORING WELL	---
---	TEST PIT	---
---	BENCHMARK	---

REFERENCE APPROVED PHASE 1 PLAN PREPARED BY COTTON ENGINEERING AND AERIAL TOPOGRAPHIC SURVEY.

FINAL SITE PLAN

FOR

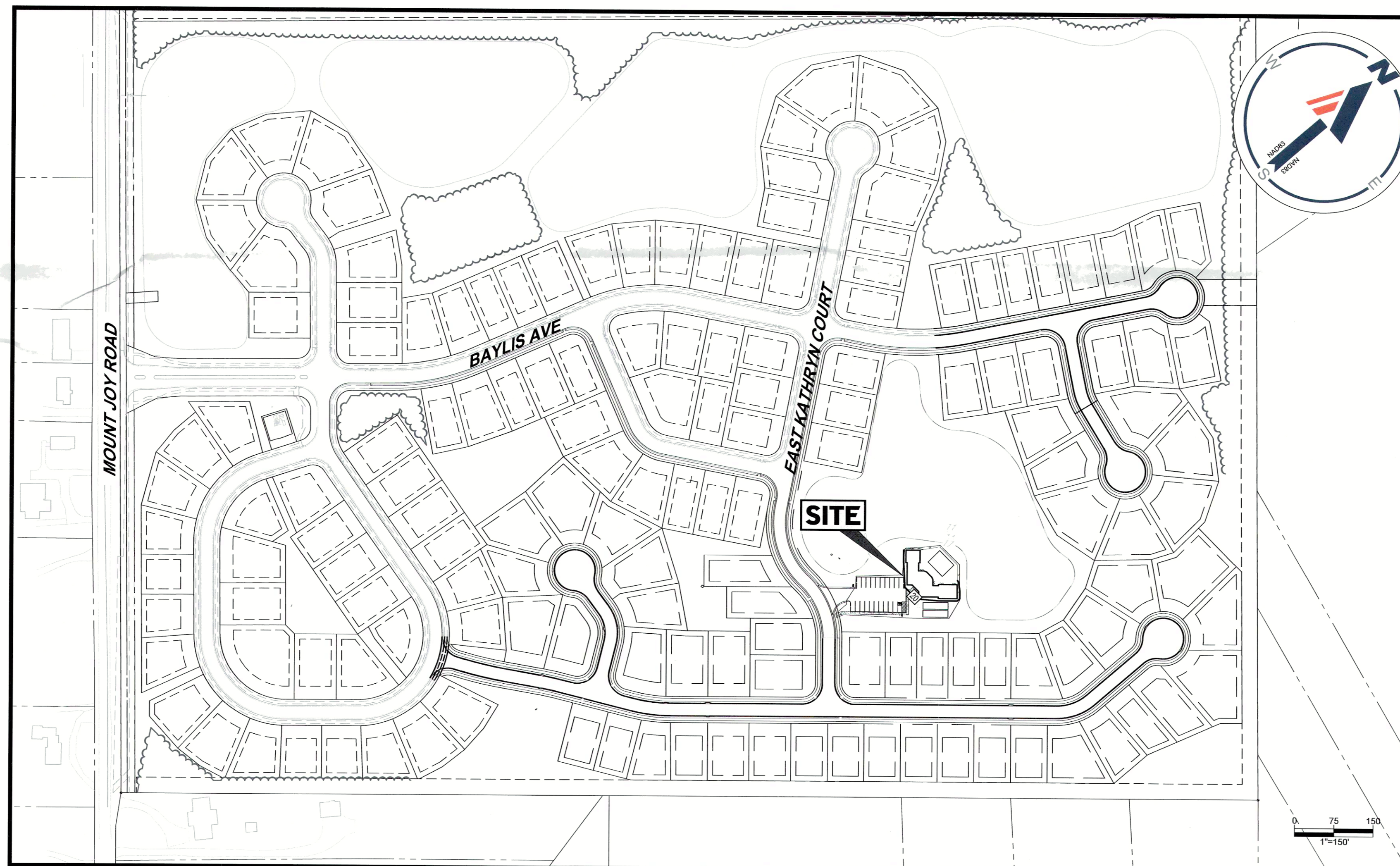
BAYLIS ESTATES CLUBHOUSE

PROPOSED

RESIDENTIAL DEVELOPMENT

LOCATION OF SITE
MOUNT JOY RD
SUSSEX COUNTY, DELAWARE
INDIAN RIVER HUNDRED
TAX MAP 234-29.00-42.00

SHEET INDEX	
SHEET TITLE	SHEET NUMBER
COVER SHEET	1
FINAL SITE PLAN	2



OWNER/DEVELOPER
BAYLIS ESTATES INVESTMENTS, LLC
16255 SUSSEX HIGHWAY
BRIDGEVILLE, DE 19933
CONTACT: KEVIN BROZYNA
(302) 337-0400

LOCATION MAP
PREPARED BY

APPLICANT
BOHLER
18958 COASTAL HWY, SUITE D
REHOBOTH BEACH, DE 19971
(302) 644-1155

CERTIFICATION OF OWNERSHIP

I HEREBY CERTIFY THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THIS PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

ROB LISLE, KEVIN BROZYNA
DATE

BOHLER //

CONTACT: STEVEN T. FORTUNATO, P.E.

CERTIFICATION OF ACCURACY (ENGINEER)

I, STEVEN T. FORTUNATO, P.E., HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

STEVEN T. FORTUNATO, P.E.
BOHLER
18958 COASTAL HWY, SUITE D
REHOBOTH BEACH, DE 19971
P: (302)644-1155 / F: (302)703-3173

DEVELOPMENT STANDARDS		
	SINGLE FAMILY (REQUIRED)	SINGLE FAMILY (PROVIDED)
TRACT AREA	75.48 AC	75.48 AC
LOT AREA PER DWELLING UNIT	7,500 SF	MIN 7,500 SF
STREET FRONTAGE	30 FT	MIN 30 FT
LOT WIDTH AT FRONT BUILDING LINE	60 FT	MIN 60 FT
MAX BUILDING HEIGHT	42 FT	42 FT
SETBACKS		
FRONT YARD	25 FT	25 FT
SIDE YARD (ONE / SUM OF BOTH)	10 FT	10 FT
REAR YARD	10 FT	10 FT

PROJECT NOTES

- OWNER/DEVELOPER:
BAYLIS ESTATES INVESTMENTS, LLC
C/O ROB LISLE
16255 SUSSEX HIGHWAY
BRIDGEVILLE, DE 19933
(302) 337-0400
- ENGINEER:
BOHLER
18958 COASTAL HWY, SUITE D
REHOBOTH BEACH, DE 19971
(302) 644-1155
- TAX MAP PARCEL NO.: 234-29.00-42.00
- EXISTING ZONING: AR-1 (AGRICULTURAL RESIDENTIAL)
- PROPOSED ZONING: AR-1 (AGRICULTURAL RESIDENTIAL)
- TOTAL SITE AREA: 55.04± AC
- DENSITY:
PERMITTED: 3,287,989 SF/21,780 SFA/LOT = 150 LOTS
PROPOSED: 150 LOTS TOTAL
- INVESTMENT AREA: LEVEL 2 & 3
- SITE AREA:
TOTAL SITE: 75.48 AC
PHASE 1: 55.04± AC
PHASE 2:
R.O.W.: 2.60± AC
LOTS: 11.50± AC
OPEN AREA: 2.3± AC
BUFFER AREA: 1.2± AC
TOTAL AREA: 17.63± AC
FORESTED AREA
EXISTING: 75.48± AC
REMAINING: 8.79± AC
REMOVED: 66.69± AC
OPEN AREA
PHASE 1: 26.29± AC
PHASE 2: 2.30± AC
TOTAL: 30.59± AC (40.5%)
- DATUM:
HORIZONTAL: NAD 83 (DELAWARE STATE PLANE GRID)
VERTICAL: NAVD 88
(REFER TO APPROVED COTTON ENGINEERING, LLC. PLANS REVISED 04/20/2020 FOR MORE INFORMATION)
- EXISTING GROSS ACREAGE: 3,287,989 SF (75.48 AC)
PROPOSED GROSS ACREAGE: 2,397,542 SF (55.04 AC)
- THIS PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE .02% CHANCE ANNUAL FLOODPLAIN/PLAIN MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, SUSSEX COUNTY, DELAWARE, AND INCORPORATED AREAS, PANEL 477 OF 660", COMMUNITY PANEL NUMBER 10000520477K, REVISED MARCH 16, 2015.
- ACCESS TO THE SITE SHALL BE FROM MOUNT JOY RD VIA ONE EXISTING FULL MOVEMENT ENTRANCE.
- ALL FIRE LANES, FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS, SPRINKLERS, STANDPIPE CONNECTIONS, AND FIRE EXITS SHALL BE MARKED AND/OR PROTECTED IN ACCORDANCE WITH THE DELAWARE STATE FIRE REGULATION.
- THE PROPOSED CLUBHOUSE IS TO BE WOOD FRAMED CONSTRUCTION AND NOT PROTECTED BY AUTOMATIC SPRINKLERS. THE INTENDED USE IS FOR ASSEMBLY.
- WATER SUPPLY: TIDEWATER. SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL, THE DELAWARE STATE DIVISION OF PUBLIC HEALTH AND TIDEWATER UTILITIES, INC.
- SANITARY SEWER: SUSSEX COUNTY. SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND SUSSEX COUNTY PUBLIC WORKS.
- SUBDIVISION STREETS SHALL BE PRIVATELY OWNED AND MAINTAINED.
- REFERENCE DELDOT RECORD PLANS FOR APPROVED SIGHT DISTANCE AND SITE ENTRANCE INFORMATION.
- UTILITY ELEMENTS TO BE RELOCATED/REPLACED TO BE DONE SO IN ACCORDANCE WITH PROVIDER SPECIFICATIONS, BY GENERAL CONTRACTOR. GENERAL CONTRACTOR TO COORDINATE SAME PRIOR TO PROJECT BIDDING AND CONSTRUCTION.
- THIS PLAN IS BASED ON DESIGN ELEMENTS SHOWN ON A PREVIOUSLY APPROVED PLAN PREPARED BY COTTON ENGINEERING, LLC. DATED REVISED 04/20/2020. THIS PLAN IS FOR PERMITTING PURPOSE ONLY. SOME INFORMATION SHOWN ON THESE PLANS IS PROVIDED FOR REFERENCE ONLY. REFER TO THE PREVIOUSLY APPROVED PLANS FOR MORE INFORMATION.
- COUNTY PROJECT REFERENCE NUMBER: 2021-13
- THIS PROJECT LIES WITHIN THE COSTAL AREA.
- THIS PROJECT LIES WITHIN AN AREA OF "POOR" AND "FAIR" GROUNDWATER RECHARGE POTENTIAL.
- THIS PROJECT DOES NOT LIE WITHIN A WELLHEAD PROTECTION AREA.
- ACCORDING TO THE NATIONAL WETLANDS INVENTORY MAPPING, THERE ARE NO WETLANDS PRESENT ON THIS SITE.
- THE HOMEOWNERS ASSOCIATION WILL BE REQUIRED TO MAINTAIN THE FORESTED/PLANTING BUFFER AND OPEN SPACE AND THE SPECIFICS WILL BE SPELLED OUT IN THE HOMEOWNERS ASSOCIATION DOCUMENTS.
- DEED RESTRICTIONS SHALL APPLY PER A SEPARATE AGREEMENT PREPARED BY THE DEVELOPER.
- CLUBHOUSE PARKING
TYPE OF BUSINESS: COMMERCIAL
PARKING SPACES REQUIRED: 1 SPACE / 200 SF FLOOR AREA
4,100 SF / 200 SF = 21 SPACES
PARKING SPACES PROVIDED: 21 SPACES (INCLUDING 1 ADA VAN ACCESSIBLE SPACE)

BOHLER //
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
CONSTRUCTION DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	DRAWN BY	CHECKED BY

811
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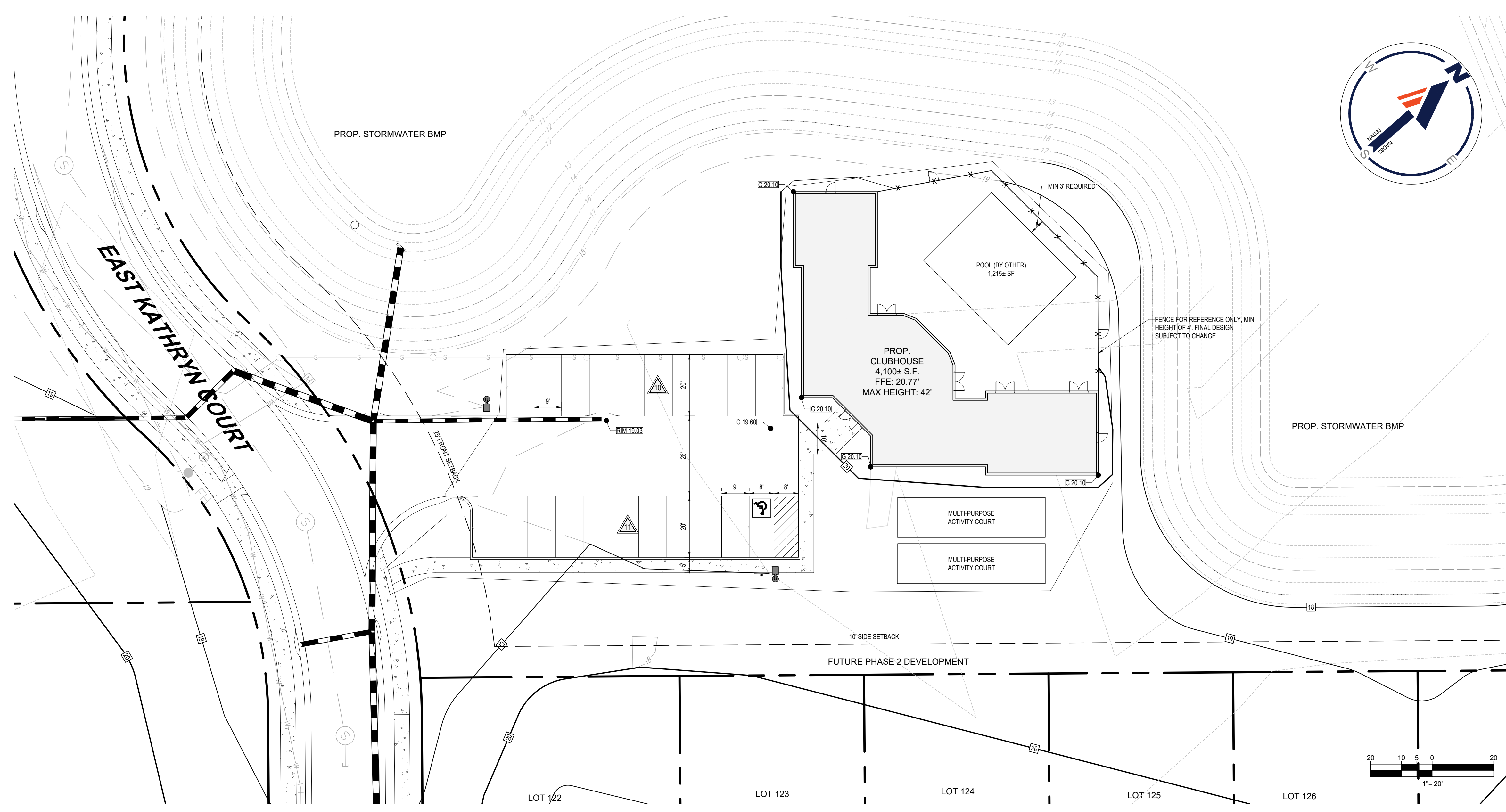
PROJECT No.: DE190077
DRAWN BY: JSW
STF
CHECKED BY: 2/12/21
DATE: SDP - 0
CAD I.D.:

FINAL SITE PLAN
FOR
BAYLIS ESTATES CLUBHOUSE
PROPOSED RESIDENTIAL DEVELOPMENT
INDIAN RIVER HUNDRED
MOUNT JOY ROAD
SUSSEX COUNTY, DE
TAX MAP: 234-29.00-42.00

BOHLER //
18958 COASTAL HWY, SUITE D
REHOBOTH BEACH, DE 19971
Phone: (302) 644-1155
Fax: (302) 703-3173
BohlerEngineering.com

STEVEN T. FORTUNATO
PROFESSIONAL ENGINEER
No. 19519
DELAWARE

SHEET TITLE:
COVER SHEET
SHEET NUMBER:
1
OF 2
ORG. DATE: 07/21/21



REVISIONS

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PROJECT No.: DE190077
 DRAWN BY: JSW
 CHECKED BY: STF
 DATE: 07/23/21
 CAD ID: 0

FINAL SITE PLAN
 FOR
BAYLIS ESTATES CLUBHOUSE
 PROPOSED RESIDENTIAL DEVELOPMENT
 INDIAN RIVER HUNDRED
 MOUNT JOY ROAD
 SUSSEX COUNTY, DE
 TAX MAP: 234-29.00-42.00

BOHLER
 18958 COASTAL HWY, SUITE D
 REHOBOTH BEACH, DE 19971
 Phone: (302) 644-1155
 Fax: (302) 703-3173
 BohlerEngineering.com



SHEET TITLE:
FINAL SITE PLAN

SHEET NUMBER:
2
 OF 2

ORG. DATE - 07/23/21

- NOTES**
- ALL GATES AROUND POOL TO BE ARCHITECTURAL SAFETY GATES WITH REQUIRED PANIC OR FIRE EXIT HARDWARE.
 - SITE LIGHTING SHOWN FOR REFERENCE ONLY. DEVELOPER TO COORDINATE WITH UTILITY PROVIDER FOR LOCATION AND DESIGN.

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY



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 Call before you dig.
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PROJECT No.: DE190077
 DRAWN BY: JSW
 CHECKED BY: STF
 DATE: 07/23/21
 CAD ID: 0

PROJECT:

FINAL SITE PLAN

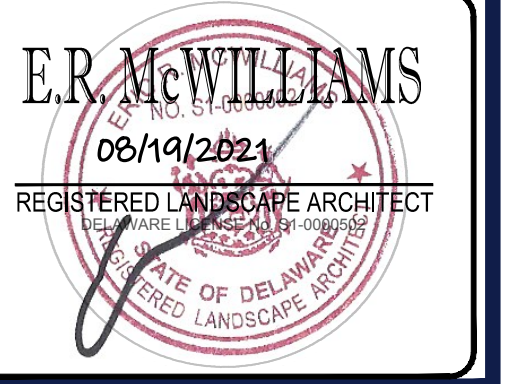
FOR
BAYLIS ESTATES CLUBHOUSE

PROPOSED RESIDENTIAL DEVELOPMENT

INDIAN RIVER HUNDRED
 MOUNT JOY ROAD
 SUSSEX COUNTY, DE
 TAX MAP: 234-29.00-42.00

BOHLER

18958 COASTAL HWY, SUITE D
 REHOBOTH BEACH, DE 19971
 Phone: (302) 644-1155
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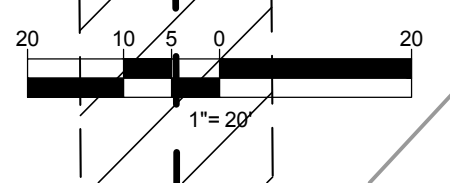
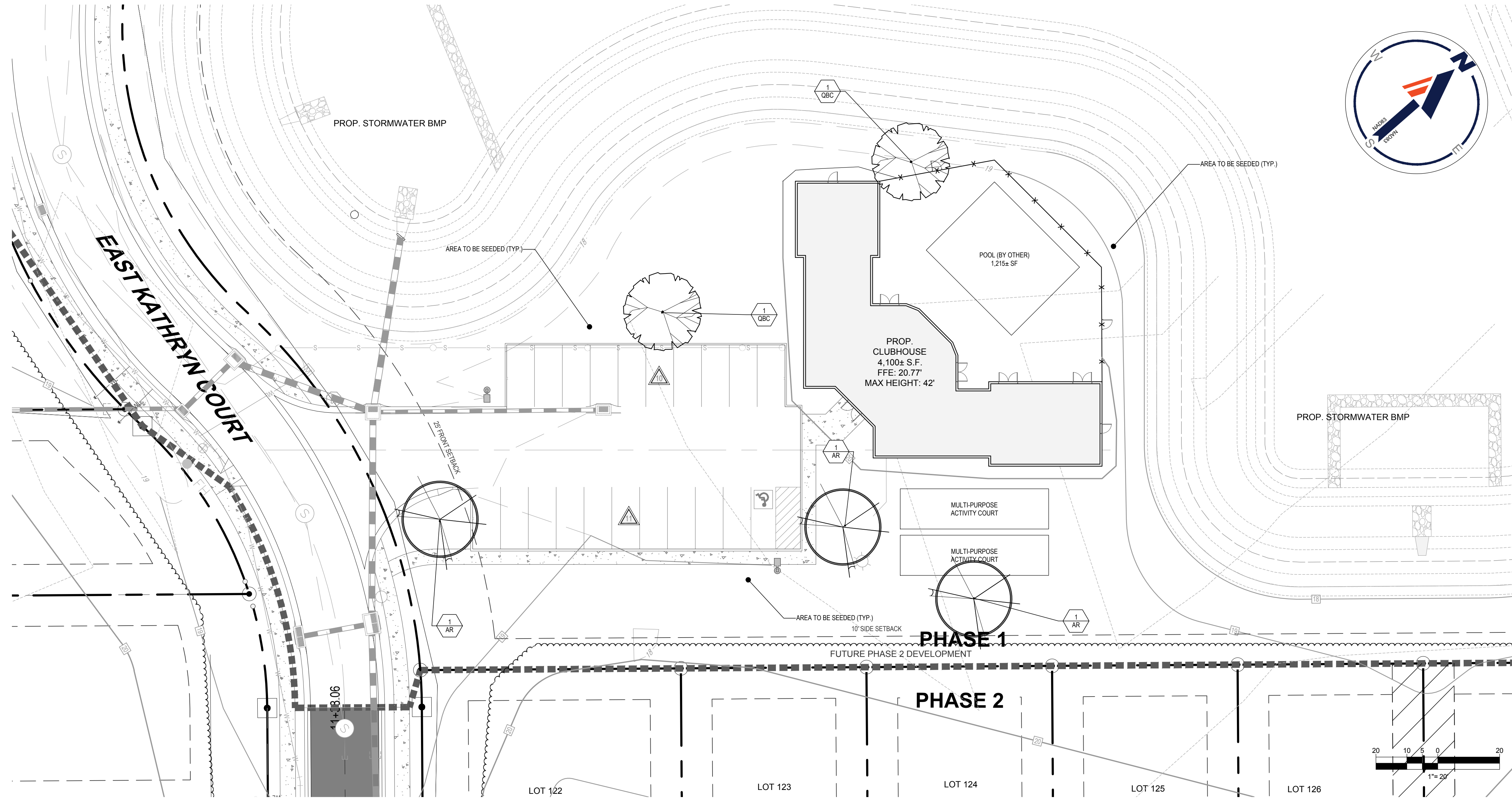
SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

3
OF 2

ORG. DATE - 07/23/21



LANDSCAPE SCHEDULE

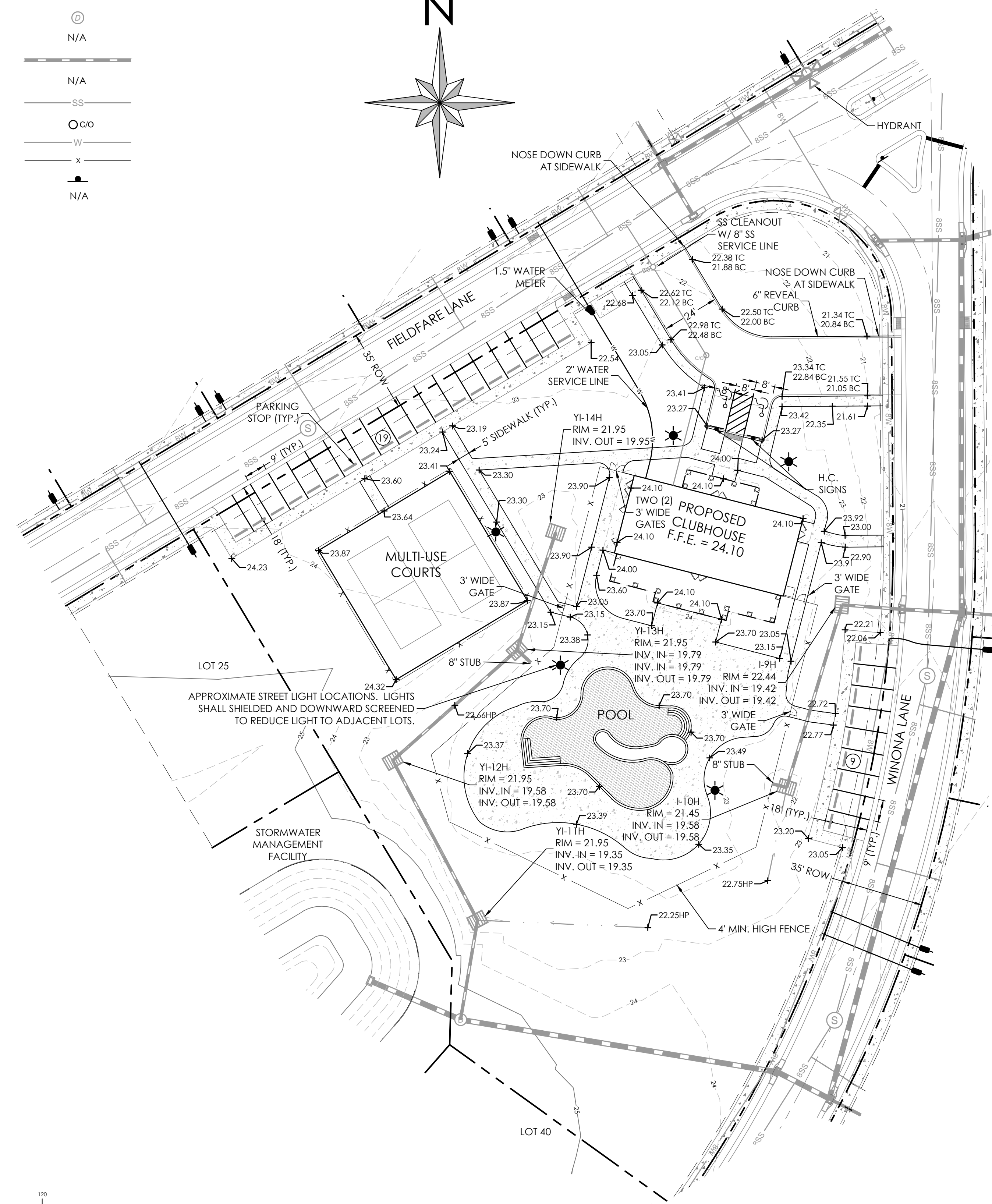
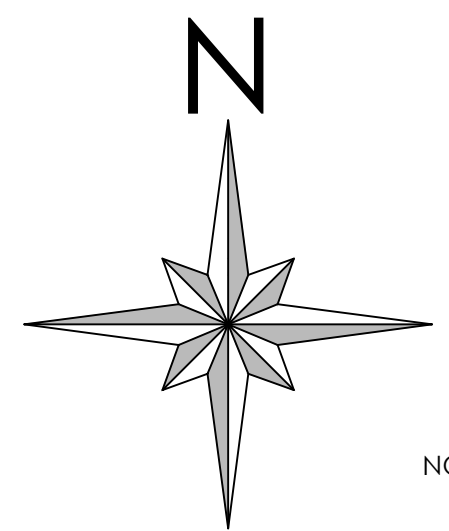
KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL. / HT.	CONT.
SHADE TREES					
AR	3	ACER RUBRUM	RED MAPLE	2 1/2-3" CAL. / 12-14'	B+B
QBC	2	QUERCUS BICOLOR	SWAMP WHITE OAK	2 1/2-3" CAL. / 12-14'	B+B
SUBTOTAL:	5				

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

LEGEND	
EXISTING	PROPOSED
PROPERTY LINE	---
EASEMENT/BUFFER LINE	---
R.O.W. LINE	---
SPOT ELEV. LABEL	+ 19.25
MAJOR CONTOUR	---
MINOR CONTOUR	---
ROAD CENTERLINE	---
EDGE OF CONCRETE	---
EDGE OF PAVEMENT	---
PAVEMENT HATCH	N/A
BUILDING	N/A
CURB AND GUTTER	---
SIDEWALK	---
SIDEWALK HATCH	---
EDGE OF POND	N/A
STORM MANHOLE	⊙
CURB INLET	⊙
STORM PIPE	---
SANITARY MANHOLE	⊙
SANITARY PIPE	---
SANITARY CLEANOUT	○
WATER PIPE	---
FENCE	N/A
SIGN	N/A
FIRE HYDRANT	⊕

AMENITY SITE PLAN FOR TANAGER WOODS

INDIAN RIVER HUNDRED SUSSEX COUNTY, DELAWARE

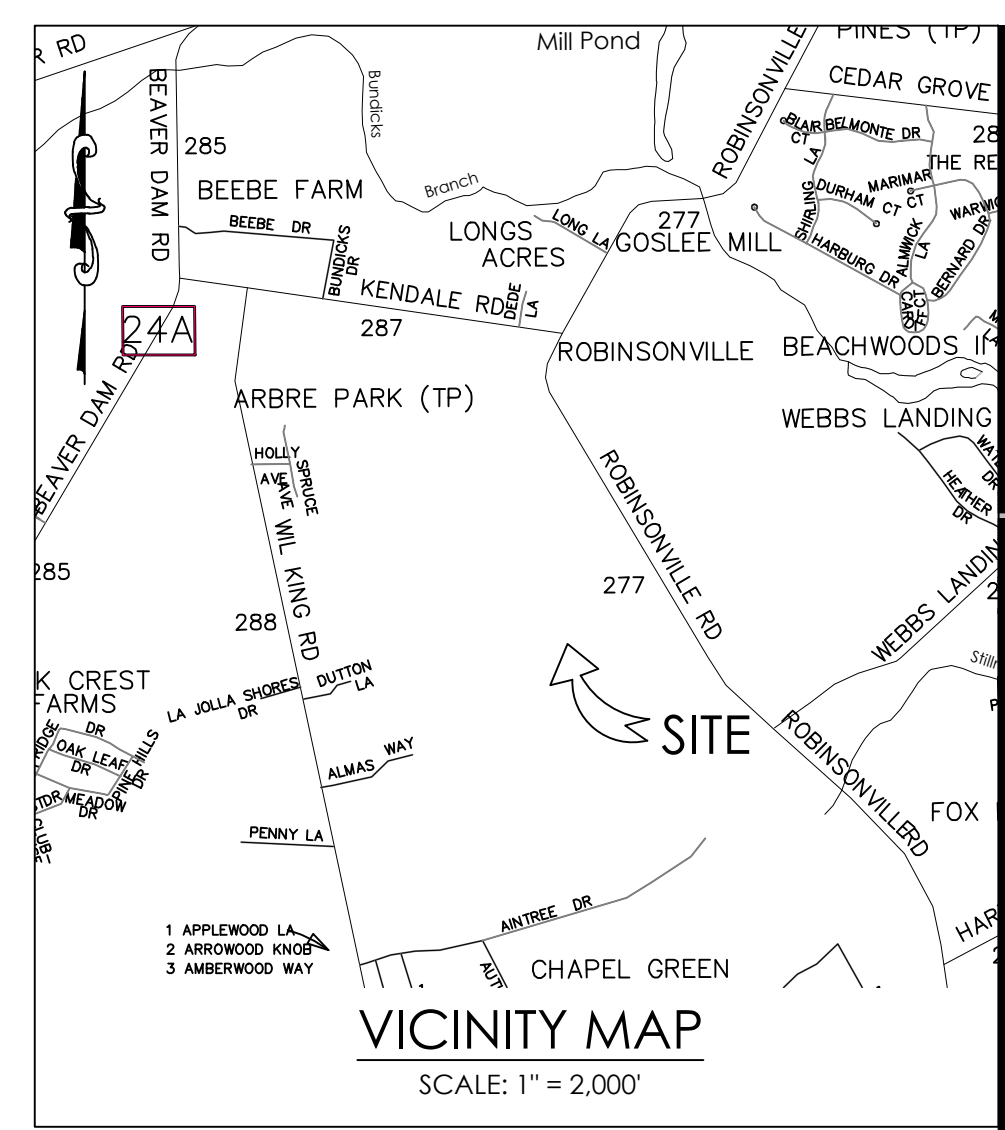


SITE DATA:

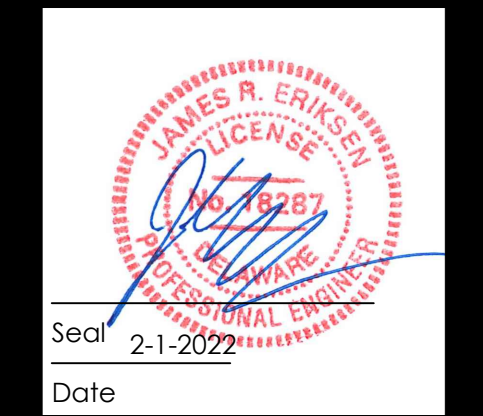
APPLICANT/ DEVELOPER/ OWNER: TANAGER WOODS, LLC
5950 SYMPHONY WOODS DRIVE SUITE 408
COLUMBIA, MD 21044
PHONE: 410-861-7159
CONTACT: MEGAN CONNER

ENGINEER: SOLUTIONS IPEM
303 NORTH BEDFORD STREET
GEORGETOWN, DE 19947
PHONE: 302-297-9215
CONTACT: JIM ERIKSEN, PE

- TAX MAP: 234-6.00-58.00
AREA = 56.4636 AC.±
RECREATIONAL AREA = 1.7736 AC.
- PROPOSED USE: RECREATIONAL FACILITY AND PARKING
- EXISTING ZONING: AR-1 (PORTIONS WITH COASTAL AREA OVERLAY)
- THERE ARE NO WETLANDS ON AMENITY PARCEL 58.01
- SITE LIES WITHIN HENLOPEN TRANSPORTATION IMPROVEMENT DISTRICT. BUT PRELIMINARY APPROVALS WITH SUSSEX COUNTY PRE-DATED THE CREATION OF THE HENLOPEN TRANSPORTATION IMPROVEMENT DISTRICT, AND THE PROJECT IS NOT SUBJECT TO AN AGREEMENT WITH DELDOT.
- PARCEL IS LOCATED WITHIN AN AREA OF POOR/FAIR GROUNDWATER RECHARGE POTENTIAL.
- PARCEL IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA.
- MAXIMUM BUILDING HEIGHT = 42'
- FLOOD ZONE: THE PROPERTY IS LOCATED WITHIN FLOOD ZONE X (UNSHADED)- AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FIRM MAP NUMBER 10005C0330J, MAP REVISED JANUARY 6, 2005.
- WATER SUPPLY: TIDEWATER UTILITIES, INC
- SANITARY SEWER: SUSSEX COUNTY UNIFIED SANITARY SEWER DISTRICT
- TOPOGRAPHY AND BOUNDARY SHOWN HEREIN ARE AS PROVIDED BY SOLUTIONS IPEM LLC.
- PROJECT DATUM: HORIZONTAL: DELAWARE STATE PLANE NAD 83
VERTICAL: NAVD 88
- AUTOMATIC SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.
- TYPE OF CONSTRUCTION: NFPA TYPE V (000)
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS AND AS SHOWN ON THESE PLANS.
- A LOCK BOX CONTAINING KEYS FOR FIRE DEPARTMENT ACCESS TO THE BUILDINGS ARE REQUIRED. CONTACT THE LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF THE BOX ON THE BUILDING.
- PROPOSED BUILDING: 2,516 SQ.FT.
42' MAXIMUM HEIGHT
4,160 SQ.FT. COURT AREA
2,531 ± SQ.FT. POOL AREA
7,219 ± SQ.FT. POOL DECK AREA
- PARKING REQUIRED: N/A
PARKING PROVIDED: 30 TOTAL (2 HANDICAP SPACES)
- THE AMENITY AREA AND FACILITIES ARE FOR THE RESIDENCES OF TANAGER WOODS AND SUBJECT TO HOA DOCUMENTS.



solutions
IPEM
303 North Bedford Street
Georgetown, DE 19947
T. 302-297-9215
3033 Manitt Mill Road
Salisbury, MD 21804
T. 410-572-8833
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REVISIONS	
NO.	DESCRIPTION
1	ADDRESS AGENCY COMMENTS
2	ADDRESS SCD COMMENTS
3	ADDRESS SCD COMMENTS
4	REVISE SANITARY SEWER CLEANOUT LOT 29
5	ADD CURB RAMPS @ VICINITY OF FIELDFARE RD AND WINOINA LN
6	REVISE AMENITY SITE PLAN
7	

NOTES:

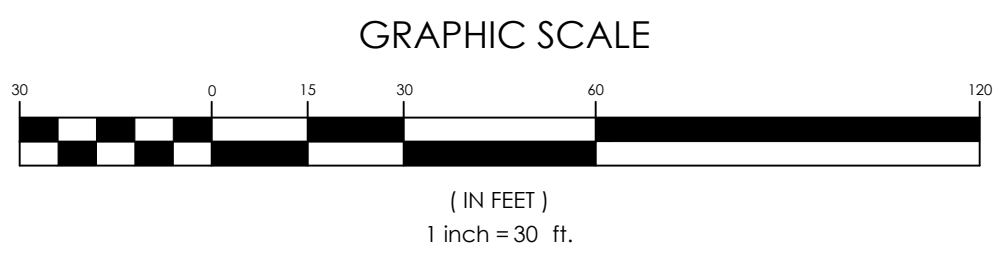
- PER THE CONDITIONS OF APPROVAL (CONDITION J), THE AMENITIES SHALL BE CONSTRUCTED AND AVAILABLE FOR USE BEFORE ISSUANCE OF THE BOTH BUILDING PERMIT.
- THE FENCE AROUND THE POOL SHALL BE A MINIMUM OF HEIGHT OF FOUR (4) FEET AND CONSTRUCTED OF BLACK ALUMINUM.
- THE FENCE AROUND THE MULTI-USE COURTS SHALL BE A MINIMUM OF 8" BLACK OR GREEN DECORATIVE CHAINLINK OR SIMILAR MATERIAL APPROVED BY THE ENGINEER.
- LIGHTING FOR THE RECREATIONAL FACILITIES AND PARKING SHALL BE COORDINATED BETWEEN DE COOP AND THE DEVELOPER.
- THE SITE AMENITIES SHALL BE FOR RESIDENTS/MEMBERS OF THE HOMEOWNERS ASSOCIATION AND AUTHORIZED GUESTS ONLY.
- FINAL/DETAILED DRAINAGE OF THE POOL DECK IS TO BE DONE BY OTHERS.
- FINAL LANDSCAPING AND AESTHETIC HARDSCAPING IMPROVEMENTS SHALL BE DONE BY OTHERS.

OWNER'S CERTIFICATION
THE OWNER, TANAGER WOODS, LLC., HEREBY CERTIFIES THAT THESE DRAWINGS HAVE BEEN APPROVED.

MEGAN CONNER DATE

WETLAND STATEMENT
I, Edward M. Launay, PWS, STATES THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED UPON THIS PLAN HAVE BEEN DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, ATLANTIC GULF COAST REGIONAL SUPPLEMENT, REGULATIONS AND SUPPLEMENTAL GUIDANCE (33 CFR 328.3(c)(8), Waters of the U.S. Definition/CECW-OR, 10-7-1991. Questions and Answers on the 1987 COE Manual/CECW-OR, 9-26-1990, RGL 90-7/CECW-OR, 3-6-1992, Clarification and Interpretation of the 1987 Manual). THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES.

EDWARD M. LAUNAY, PWS No. 875 Date
SOCIETY OF WETLANDS SCIENTISTS
CORPS OF ENGINEERS,
CERTIFIED WETLAND DELINEATOR WDCP93MD05100368



AMENITY SITE PLAN
for
TANAGER WOODS
INDIAN RIVER HUNDRED
SUSSEX COUNTY, DELAWARE

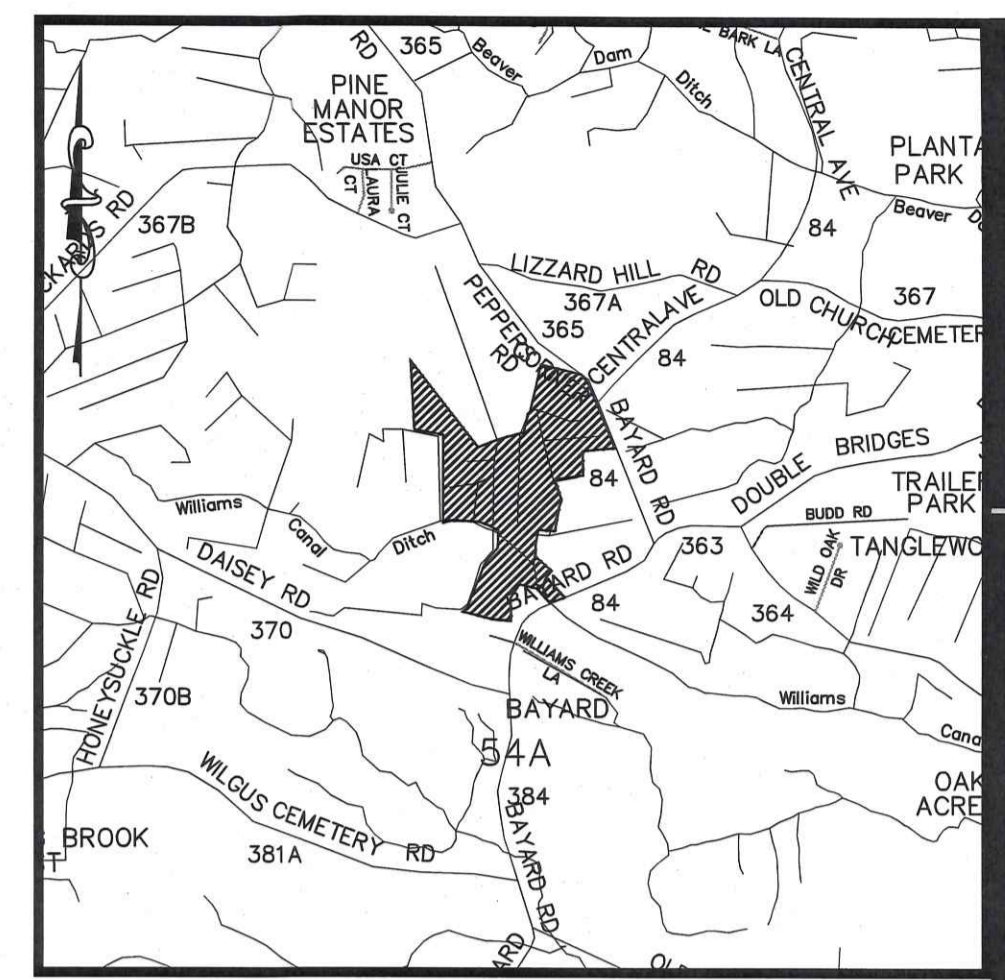
Date: 4/24/18
Job Number: G18002
Scale: 1" = 30'
Drawn By: JPR
Designed By: JPR
Approved By: JRE

Sheet No.: **80**

File Name: G18002-Amenity-SITEplan

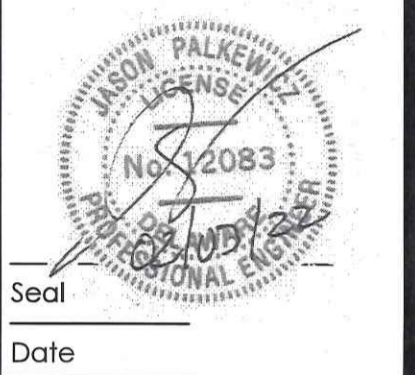
PRELIMINARY SITE PLAN FOR AMENITY AREA FRIENDSHIP CREEK

COUNTY PROJECT REFERENCE NO. S-18-89
BALTIMORE HUNDRED - SUSSEX COUNTY, DELAWARE



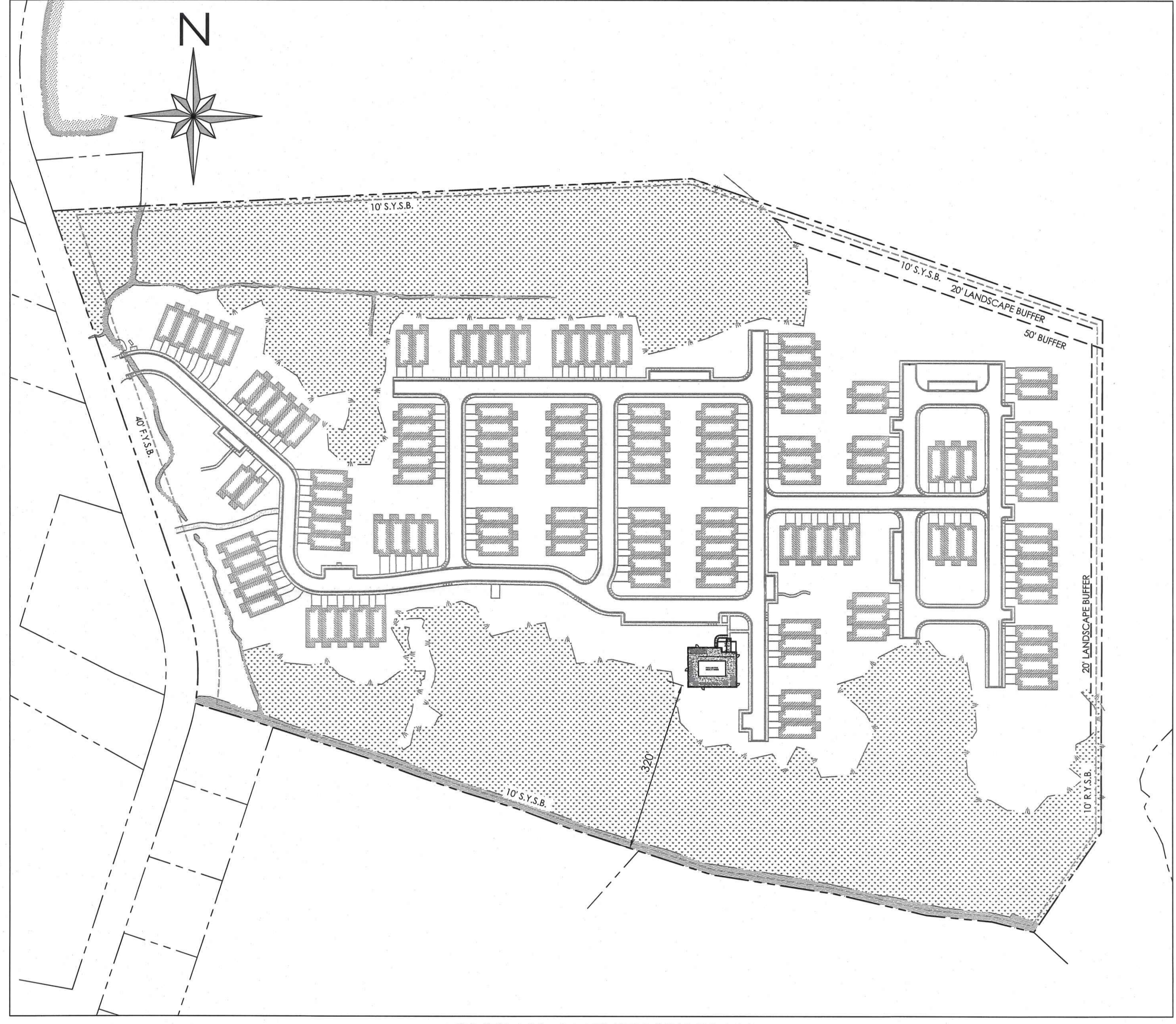
VICINITY MAP
SCALE: 1" = 2,000'

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Engineering & Management, LLC
303 North Bedford Street
Georgetown, DE 19947
T. 302.297.9215
3003 Merritt Mill Road
Salisbury, MD 21804
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LEGEND

PROPERTY LINE	---	---
EASEMENT LINE	- - - - -	- - - - -
SETBACK LINE	---	---
CONCRETE MONUMENT FOUND	CMF □	N/A
IRON PIPE FOUND	IPF ●	N/A
BENCH MARK	▲ ELEV. 19.25	N/A
SPOT ELEV. LABEL	x 19.25	19.25
MAJOR CONTOUR	- - - - -10-	10
MINOR CONTOUR	- - - - -7-	7
ROAD CENTERLINE	---	---
EDGE OF CONCRETE	---	---
EDGE OF PAVEMENT	---	---
EDGE OF GRAVEL	---	N/A
PAINT STRIPE	---	---
CURB	---	---
PAVEMENT HATCH	[Hatch]	[Hatch]
CONCRETE HATCH	[Hatch]	[Hatch]
BUILDING OUTLINE	[Outline]	[Outline]
SIDEWALK	---	---
SIDEWALK HATCH	[Hatch]	[Hatch]
FENCE LINE	---	N/A
SIGN	---	N/A
EDGE OF WETLAND	---	N/A
FLOODPLAIN	---	N/A
STORM MANHOLE	⊙	⊙
CURB INLET	[Symbol]	[Symbol]
YARD INLET	[Symbol]	[Symbol]
STORM PIPE	---	---
RIP RAP	[Symbol]	[Symbol]
SANITARY MANHOLE	N/A	⊙
SANITARY CLEANOUT	N/A	○
SANITARY PIPE	N/A	SS
WATER VALVE	N/A	W
WATER PIPE	N/A	W
FIRE HYDRANT	N/A	⊗
OVERHEAD ELECTRIC	---	N/A
UNDERGROUND ELECTRIC	---	N/A
UTILITY POLE	⊕	N/A
LIGHT POLE	★	N/A
DECIDUOUS TREE	⊙	N/A
CONIFEROUS TREE	●	N/A
TREE LINE	---	---



OVERALL AMENITY SITE PLAN
SCALE: 1" = 150'

SITE DATA:

- OWNER/DEVELOPER: FRIENDSHIP CREEK, LLC
940 W. SPROUL ROAD, SUITE 301
SPRINGFIELD, PA 19064
CONTACT: KEVIN MCLAUGHLIN
- ENGINEER: SOLUTIONS IPEM
303 NORTH BEDFORD STREET
GEORGETOWN, DE 19947
PHONE: 302-297-9215
CONTACT: JASON FALKEWICZ
- TAX MAP: 134-16-00-39-00
 - THE PARCEL IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA
 - THE PARCEL LIES WITHIN AN AREA OF "GOOD" GROUNDWATER RECHARGE POTENTIAL
 - SUSSEX COUNTY PROJECT REFERENCE NO.: S-18-89
 - PROPOSED SETBACKS:
FRONT: 40'
SIDE: 10'
REAR: 10'
 - POOL EQUIPMENT AND BATHROOM BUILDING HEIGHT = 15'-1"
 - EXISTING ZONING DISTRICT: GR-GENERAL RESIDENTIAL (COASTAL AREA)
 - FLOOD ZONE:
THE PROPERTY IS LOCATED WITHIN FLOOD ZONE X (UNSHADED)-AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND FLOOD ZONE AE (EL. 4) - SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, PER FIRM MAP NUMBER 100050513K, MAP REVISED MARCH 16, 2015.
 - WATER SUPPLY:
ARTESIAN WATER COMPANY, INC.
 - SANITARY SEWER:
SUSSEX COUNTY UNIFIED SANITARY SEWER DISTRICT
 - TOPOGRAPHY AND BOUNDARY SHOWN HEREIN ARE AS PROVIDED BY CYPRESS SURVEY, LLC.
 - PROJECT DATUM:
HORIZONTAL: DELAWARE STATE PLANE NAD 83
VERTICAL: NAVD 88
 - PARKING:
REQUIRED: N/A
PROVIDED: 19 SPACES (2 H.C.) → 1 SPACE PER 25 S.F.
 - THE CONSTRUCTION OF THE AMENITY AREA SHALL NOT BE PHASED

NO.	DATE	DESCRIPTION

COVER SHEET
for
FRIENDSHIP CREEK
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

SHEET INDEX

- COVER SHEET
- SITE PLAN
- GRADING PLAN
- FIRE MARSHAL PLAN
- EROSION AND SEDIMENT CONTROL PLAN

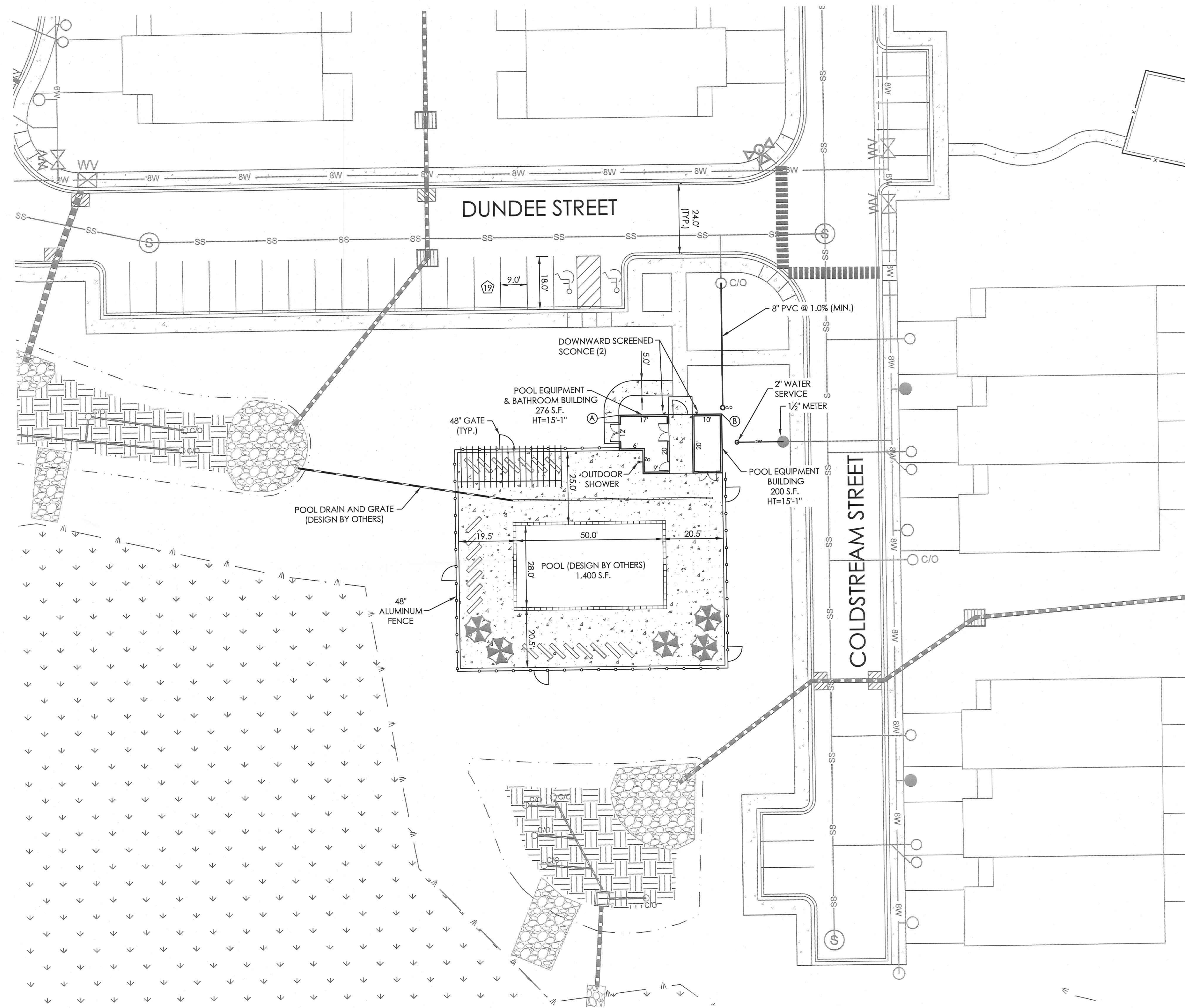
WETLAND STATEMENT

I, EDWARD M. LAUNAY, PWS, STATE THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED UPON THIS PLAN HAVE BEEN DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, REGULATIONS AND SUPPLEMENTAL GUIDANCE (33 CFR 328.3(a)(8)), WATERS OF THE U.S. DEFINITION/CECW-OR, 10-7-1991, QUESTIONS AND ANSWERS ON THE 1987 COE MANUAL/CECW-OR, 9-26-1990, RGL 90-7/CECW-OR, 3-6-1992, CLARIFICATION AND INTERPRETATION OF THE 1987 MANUAL. THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES.

IN ACCORDANCE WITH DUREC WETLANDS MAPS, NO STATE REGULATED WETLANDS OCCUR ON THIS SITE.
[Signature]
EDWARD M. LAUNAY, PWS No. 875
SOCIETY OF WETLANDS SCIENTISTS
CORP OF ENGINEERS - CERTIFIED WETLAND DELINEATOR (WDCP93MD05100368)
DATE: 5/6/2020

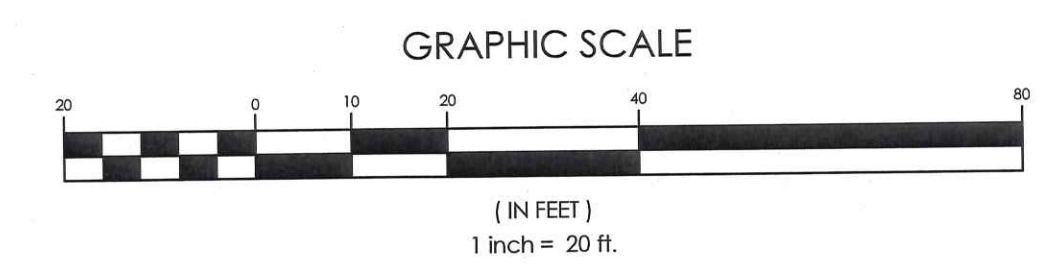
ENGINEER'S CERTIFICATION
I HEREBY CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED UNDER MY SUPERVISION.
[Signature]
JASON FALKEWICZ, PE
DATE: 02/03/22

Date:	1-11-22
Job Number:	G17067
Scale:	AS NOTED
Drawn By:	ML
Designed By:	JP
Approved By:	JP
Sheet No.:	1
File Name:	18040-cover



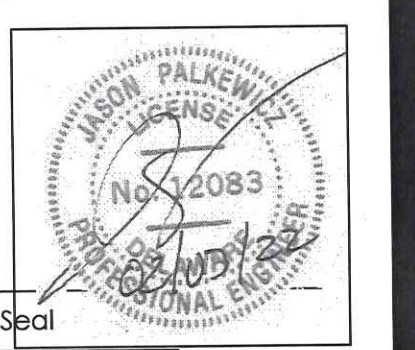
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E:742013.7050

(B) N:187970.8716
E:742048.7050



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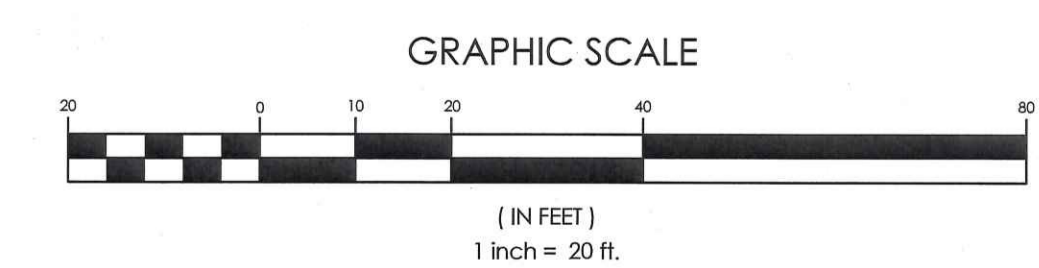
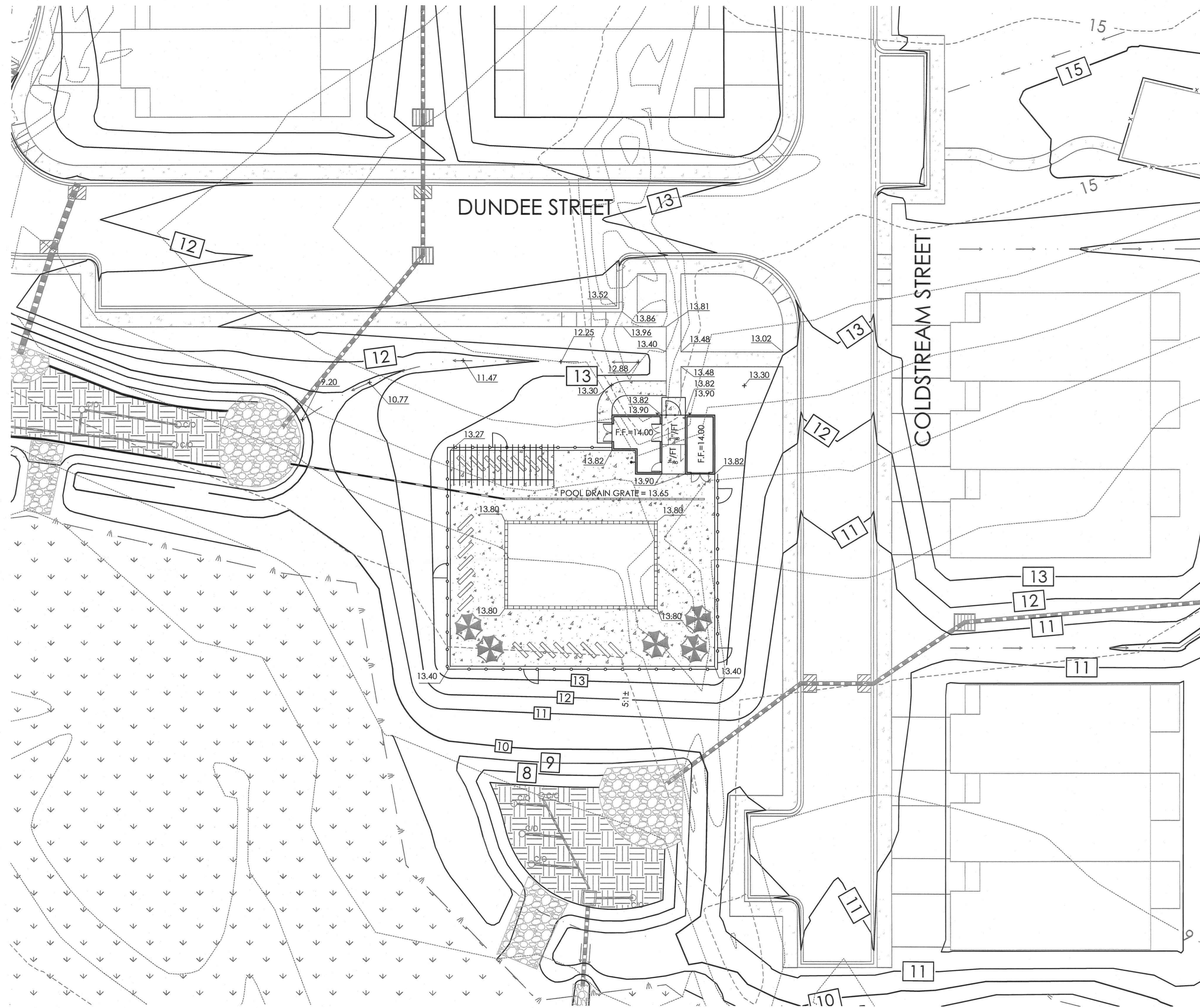
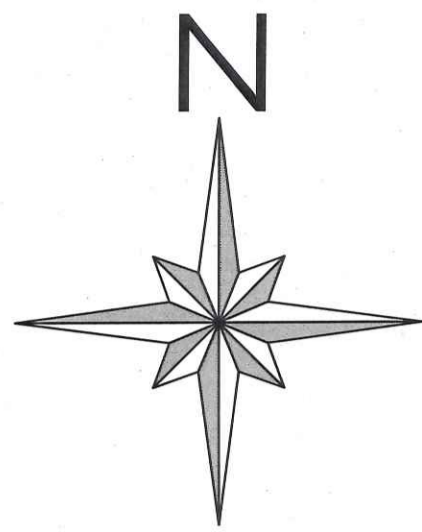
Date

REVISIONS	
NO.	DESCRIPTION

SITE PLAN
for
FRIENDSHIP CREEK
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

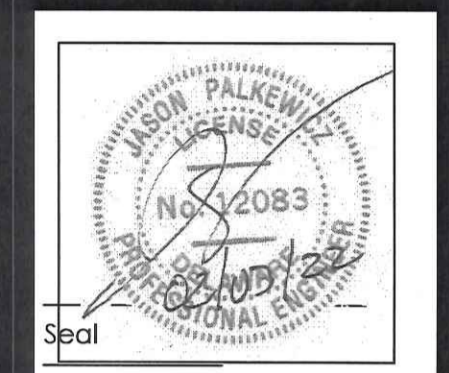
Date:	1-11-22	Drawn By:	HHB
Job Number:	C177067	Designed By:	HHB
Scale:	1"=20'	Approved By:	JR

Sheet No.: **2**
File Name: site



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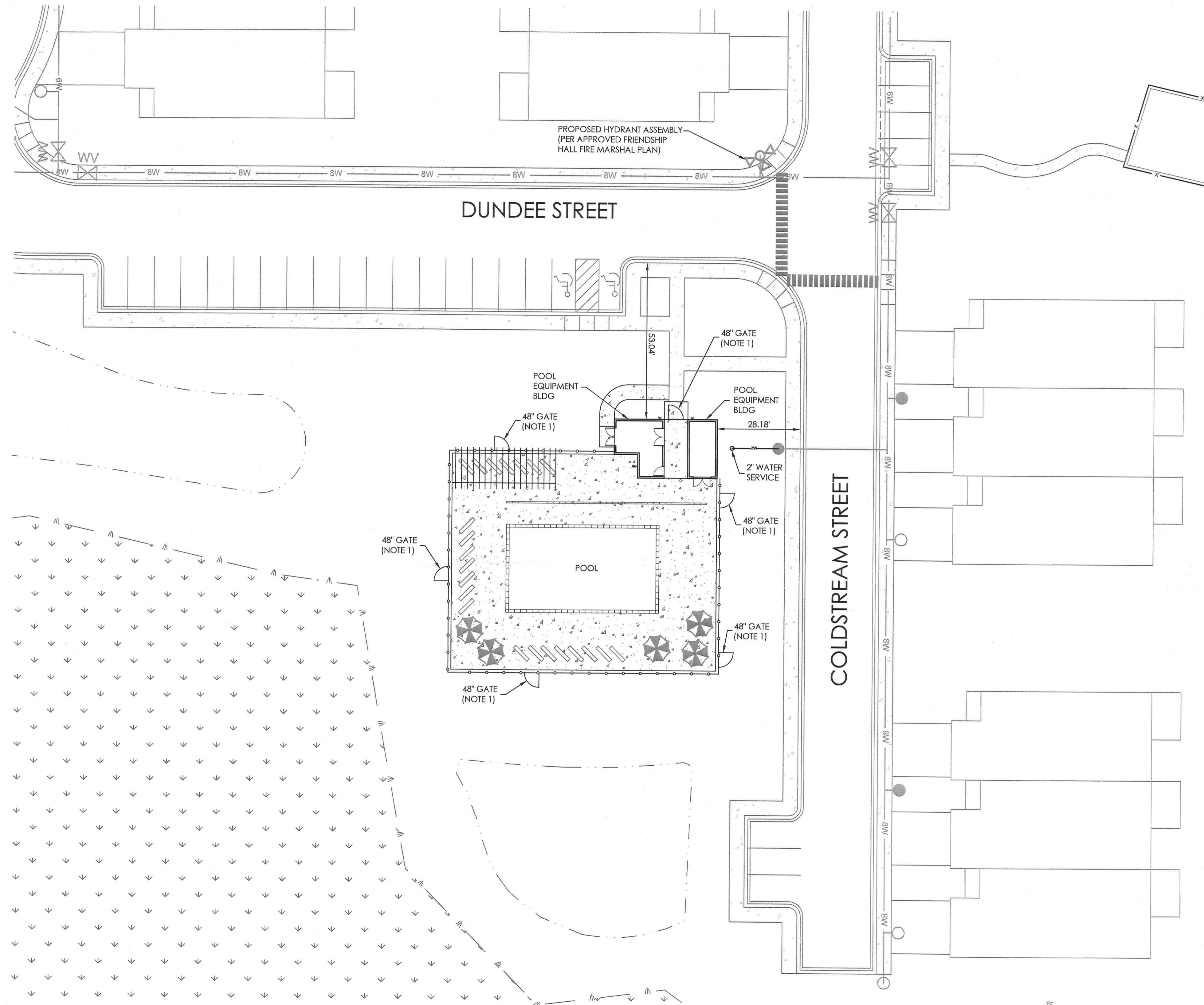
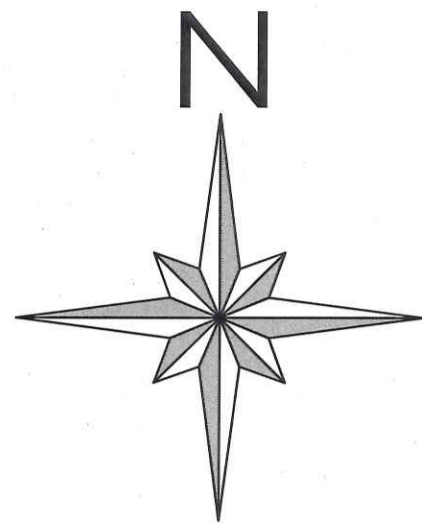
Date

REVISIONS	
NO.	DESCRIPTION

GRADING PLAN
for
FRIENDSHIP CREEK
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

Date:	1-11-22
Job Number:	G17067
Scale:	1"=20'
Drawn By:	HHB
Designed By:	HHB
Approved By:	JP

Sheet No.: **3**
File Name: site



SITE DATA:

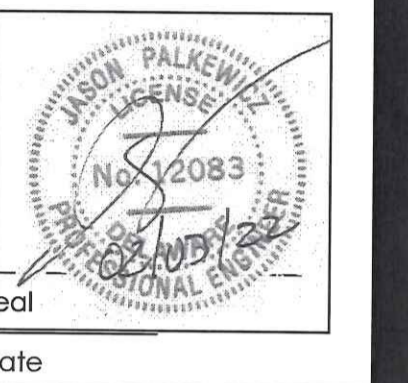
OWNER/ APPLICANT: FRIENDSHIP CREEK, LLC
940 W. SPROUL ROAD, SUITE 301
SPRINGFIELD, PA 19064
CONTACT: KEVIN MCCLAUGHLIN

ENGINEER: SOLUTIONS IPEM
303 NORTH BEDFORD STREET
GEORGETOWN, DE 19947
PHONE: 302-297-9215
CONTACT: JASON PALKEWICZ, PE

- TAX MAP: 134-16.00-39.00
- PROPOSED USE: POOL HOUSE & POOL
- SUSSEX COUNTY REFERENCE NO.: S-18-89
- WATER SUPPLY: ARTESIAN WATER COMPANY
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS AND AS SHOWN ON THESE SHEETS.
- WATER FLOW - CLUBHOUSE MAIN SIZES: 6" MINIMUM. MINIMUM CAPACITY: 100 GPM @ 20 PSI FOR 1 HOUR DURATION. HYDRANT SPACING: 800 FEET ON CENTER.
- ALL FIRE HYDRANT ASSEMBLIES SHALL BE PLACED A MAXIMUM OF 7' OFF THE EDGE OF THE PAVEMENT OR SIDEWALK.
- ALL PROPOSED FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE DELAWARE STATE FIRE PREVENTION REGULATIONS (DSFPR, PART II, CHAPTERS 6 & 7).
- FIRE HYDRANTS SHALL BE COLOR CODED IN ACCORDANCE WITH THE DSFPR, PART 703, CHAPTER 3, SECTION 4.0. THIS INCLUDES BOTH COLOR CODING BONNET AND 2" REFLECTIVE TAPE AROUND THE BARREL UNDER THE TOP FLANGE.
- THE STEM CONNECTION OF ALL FIRE HYDRANTS SHALL BE SO POSITIONED SO AS TO BE FACING THE EDGE OF STREET, OR TRAFFIC LANE (DSFPR PART 705, CHAPTER 6, SECTION 2.0 AND 2.7).
- THE AMENITY BUILDING WILL NOT BE PROTECTED BY AUTOMATIC SPRINKLERS.
- MAXIMUM BUILDING HEIGHT: 42 FEET (ONE STORY)
- BUILDING CONSTRUCTION: NFPA TYPE V (000)

NOTES:

- GATE LATCH OR LOCK SHALL HAVE PANIC HARDWARE OR FIRE EXIT HARDWARE COMPLYING WITH NFPA 101, SECTIONS 12.2.2.2.3 AND 7.2.1.7.1.



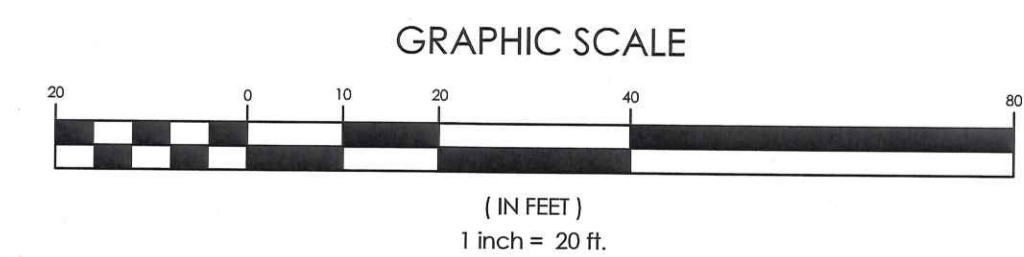
NO.	DATE	REVISIONS	
		DESCRIPTION	

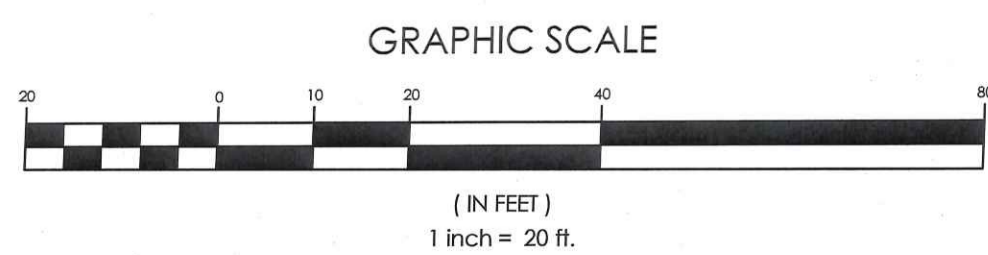
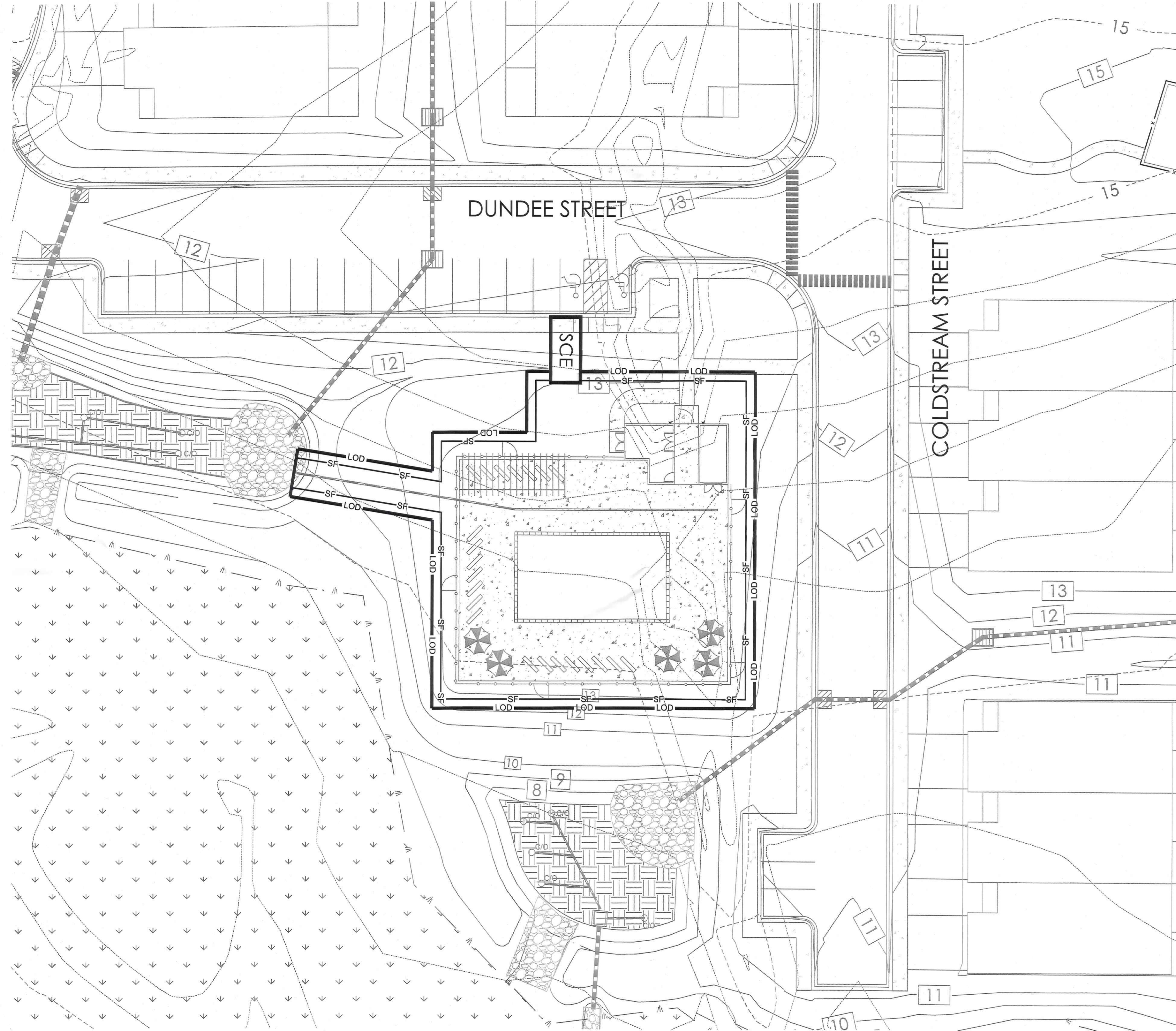
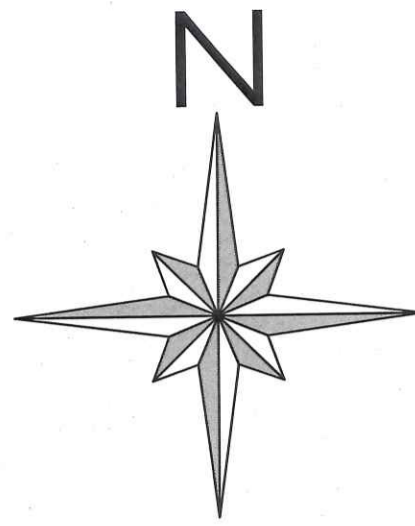
FIRE MARSHAL PLAN
for
FRIENDSHIP CREEK
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

Date:	1-11-22	Job Number:	G17067	Scale:	1"=20'	Drawn By:	HHB	Designed By:	HHB	Approved By:	JP
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Sheet No.: **4**

File Name: site





OWNER'S CERTIFICATION

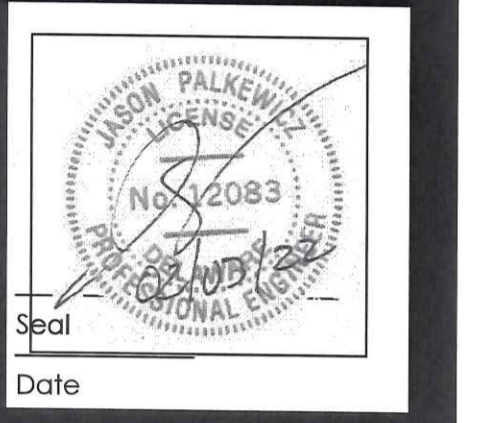
I HEREBY CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E. BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS, AND I UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT AS REFERENCED ON THIS COVER SHEET.

KEVIN MCLAUGHLIN - FRIENDSHIP CREEK, LLC

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES.

JASON PALKIEWICZ, PE



NO.	DATE	DESCRIPTION

EROSION AND SEDIMENT CONTROL PLAN
for
FRIENDSHIP CREEK
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

Date:	1-11-22
Job Number:	G17067
Scale:	1"=20'
Drawn By:	HHB
Designed By:	HHB
Approved By:	JP

Sheet No.: **5**
File Name: site

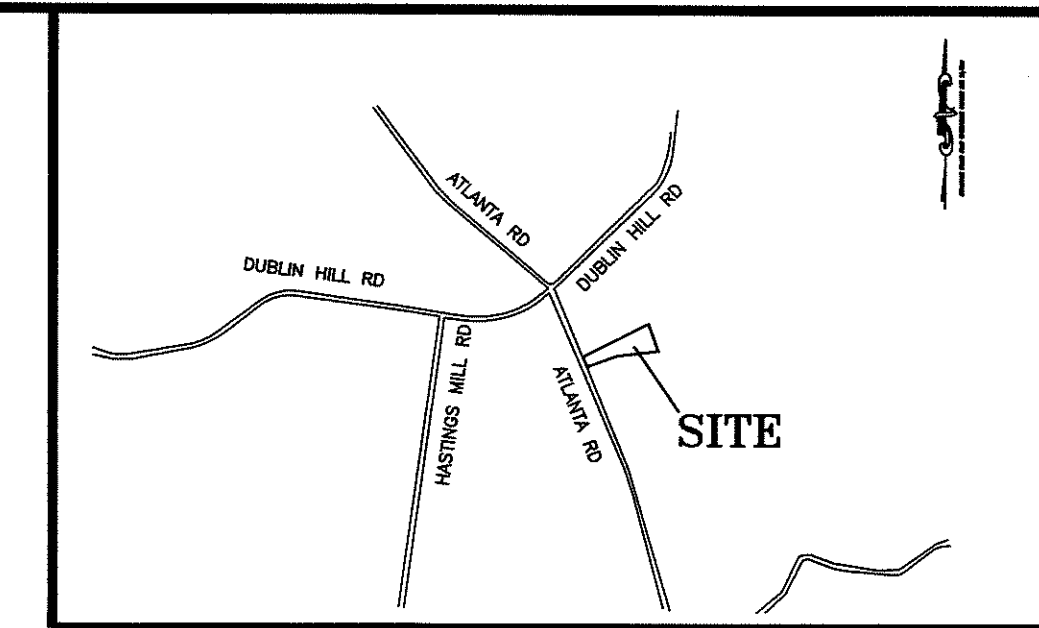
- LEGEND**
- POINT
 - IRON PIPE/REBAR FOUND
 - IRON REBAR TO BE SET
 - EXISTING PROPERTY LINE / EXISTING R.O.W. LINE
 - - - PROPOSED PROPERTY LINE / PROPOSED R.O.W. LINE
 - ADJACENT PROPERTY LINE
 - EXISTING EDGE OF PAVEMENT
 - EXISTING ROAD CENTERLINE
 - EXISTING GRAVEL DRIVE
 - BUILDING RESTRICTION LINE
 - FEMA FLOODLINE
 - UTILITY POLE

MINOR SUBDIVISION PLAN NOTES

1. ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
2. SHRUBBERY, PLANTINGS, SIGNS AND/OR VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
3. IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
4. LOT 1 SHALL HAVE ACCESS TO SCR30 VIA THE EXISTING ENTRANCE.
5. THE RESIDUAL LOT SHALL HAVE ACCESS TO SCR30 VIA THE PROPOSED 50' WIDE INGRESS/EGRESS EASEMENT.

PRIOR TO ANY CONSTRUCTION ACTIVITIES, PERMITS AND/OR APPROVALS MAY BE REQUIRED FROM:

- A) SUSSEX CONSERVATION DISTRICT.....(302) 856-7219
- B) FIRE MARSHAL.....(302) 856-5298
- C) SUSSEX COUNTY UTILITY CONSTRUCTION DIVISION.....(302) 855-7717
- D) DELAWARE HEALTH & SOCIAL SERVICES-DIVISION OF HEALTH.....(302) 739-7431
- E) SUSSEX COUNTY ASSESSMENT OFFICE.....(302) 855-7824
- F) SUSSEX COUNTY PLANNING AND ZONING.....(302) 855-7878
- G) DELDOT.....(302) 853-1340
- H) DNREC.....(302) 739-5931



LOCATION MAP
1" = 1/2 MILE

NOTES

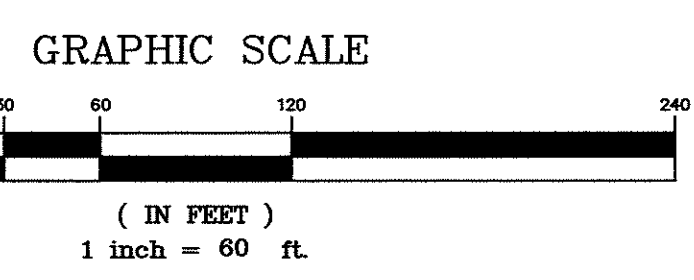
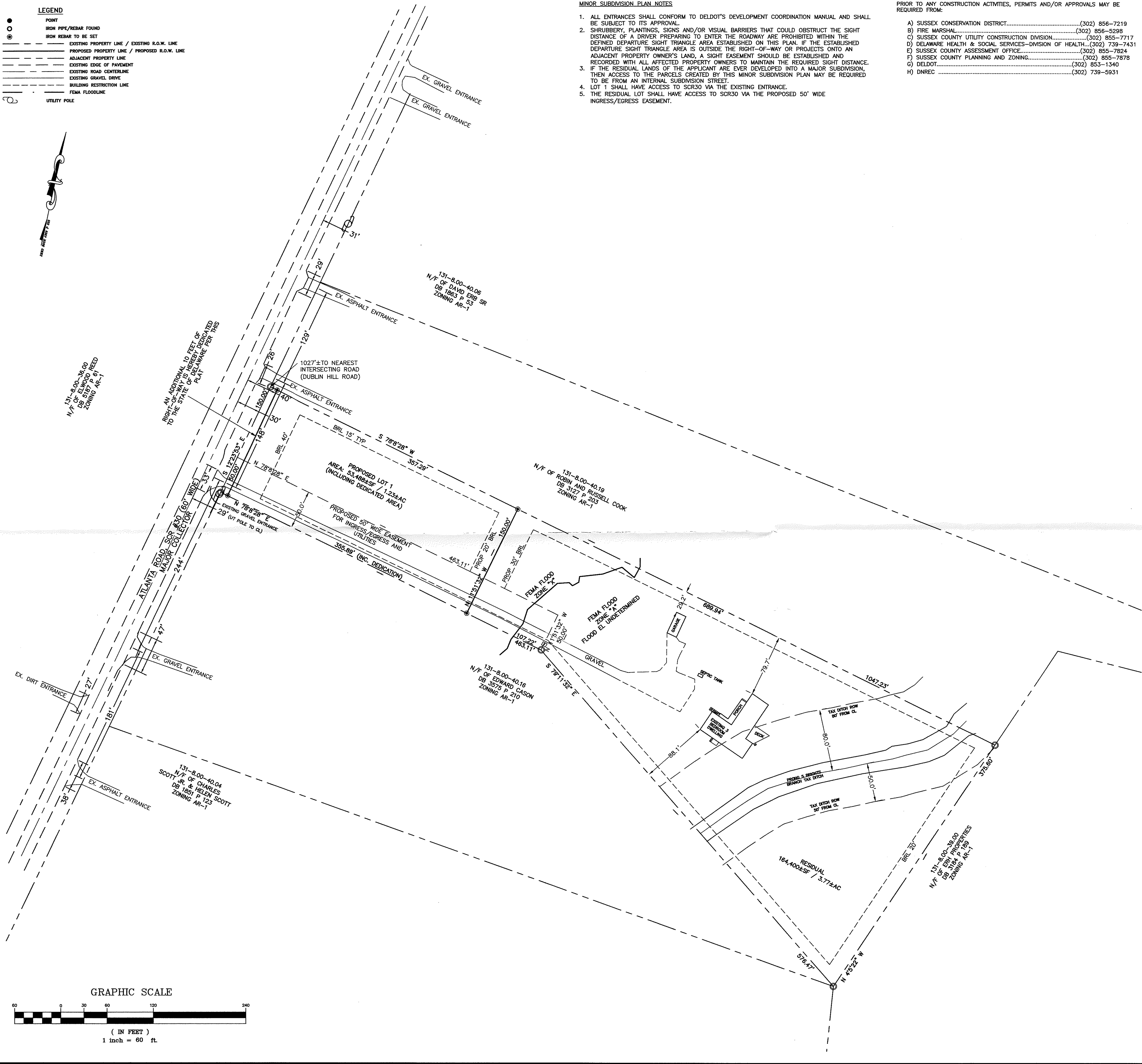
1. TITLE REFERENCED TO DEED BOOK 4369, PAGE 335.
2. SUBJECT TO ANY AND ALL RESTRICTIONS, RESERVATIONS, CONDITIONS, EASEMENTS & AGREEMENTS OF RECORD IN THE OFFICE OF RECORDER OF DEEDS, SUSSEX COUNTY, DE.
3. THIS SURVEY DOES NOT CERTIFY AS TO THE EXISTENCE OR NON-EXISTENCE OF ANY EASEMENTS OR RIGHT-OF-WAYS AFFECTING THE PROPERTIES SHOWN HEREIN.
4. THIS SURVEY DOES NOT CERTIFY AS TO THE EXISTENCE OR NON-EXISTENCE OF ANY WETLANDS ON THE PROPERTY. NO DELINEATION WAS PERFORMED OR PROVIDED.

SITE DATA

1. TAX MAP NUMBER: 131-8.00-40.17
2. CURRENT ZONING: AR-1
3. TOTAL AREA: 217,897 ±±f. 5.00 ±Acres
4. USE: PRESENTLY AG/RESIDENTIAL
PROPOSED: SAME
5. STREETS: TO REMAIN PRIVATE
6. ACCESS: PRIVATE
7. MAINTENANCE: STREETS TO BE MAINTAINED BY OWNER AND/OR HOMEOWNERS ASSOCIATION
8. SETBACKS: FRONT: 40' ATLANTA RD., 30' INTERIOR, SIDE: 15', REAR: 20'
9. SPEED LIMIT: 50 MPH (SPICER ROAD)
10. SEWER: PRIVATE ON-SITE
11. WATER: PRIVATE ON-SITE
12. EXISTING LOTS: 1
13. TIDS: 2 (INCLUDING RESIDUAL)
14. FLOOD ZONE: NOT IMPACTED BY ANY TIDS 'A' AND 'X'
15. MAX BLDG HEIGHT: 42.0'

GENERAL PROJECT

1. Owner/Developer: JOHN AND KIM IRELAND
18049 ATLANTA ROAD
BRIDGEVILLE, DE 19933
(302) 853-2441
2. Civil/Site Engineer: COTTEN ENGINEERING LLC
10087 CONCORD RD
SEAFORD, DELAWARE 19973
Phone/Fax: (302) 828-9164
c/o: Michael S. Cotten, P.E.
3. Surveyor: COTTEN ENGINEERING LLC
10087 CONCORD RD
SEAFORD, DELAWARE 19973
Phone/Fax: (302) 828-9164
c/o: Michael S. Cotten, P.E.
4. The project is located on the eastern side of Atlanta Road (SCR 30), major collector, 60' wide R.O.W.
5. Class "C" Survey
6. This Survey does not certify to the location and/or existence of easements and Right-of-Ways crossing subject property other than those shown, as no title search was provided.



INITIAL SUBMISSION -						
#	1.	2.	3.	4.	5.	6.

MINOR SUBDIVISION OF LANDS OF JOHN AND KIM IRELAND
COTTEN ENGINEERING LLC
CIVIL ENGINEERING, SURVEYING, ENVIRONMENTAL PLANNING
CONSULTANTS
10087 CONCORD RD. SEAFORD, DE 19973
PHONE: (302) 828-9164 FAX: (302) 828-9164

DRAFT

MICHAEL S. COTTEN, P.E.
LICENSE# 12769

MINOR SUBDIVISION PLAN
OF LANDS N/F OF JOHN AND KIM IRELAND
18049 ATLANTA ROAD
BRIDGEVILLE, DE 19933
NORTHWEST HUNDRED
SUSSEX COUNTY, DELAWARE
TAX# 131-8.00-40.17

I, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DISCRETION, AND THAT I ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT I DESIRE THE PLAN TO BE RECORDED ACCORDING TO THE LAW.

JOHN AND KIM IRELAND, OWNER _____ DATE _____

DESIGNER/ENGINEER SIGNATURE
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN MADE UNDER MY SUPERVISION AND COMPLIES WITH THE LAWS OF SUSSEX COUNTY AND THE STATE OF DELAWARE.

MICHAEL S. COTTEN, P.E. _____ DATE _____

APPROVED BY SUSSEX COUNTY PLANNING AND ZONING _____

DATE _____

SCALE: As Shown
DESIGNED: CE
PLANNED: CE
DRAWN: JCD
APPROVED: MC
JOB: 21-611
SHEET NO. 1 OF 1