

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
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sussexcountyde.gov

# Sussex County Planning & Zoning Commission

## TELECONFERENCE MEETING\*\*

### AGENDA

April 23, 2020

5:30 P.M.

**PLEASE NOTE – AS PERMITTED BY GUBERNATORIAL AUTHORITY, IN ORDER TO LIMIT THE RISK OF POTENTIAL COVID-19 EXPOSURE, THE PUBLIC SHALL BE DENIED ENTRY TO THE PLANNING & ZONING COMMISSION MEETING. THE PUBLIC IS ENCOURAGED TO PARTICIPATE IN THE COMMISSION MEETING ELECTRONICALLY. FURTHER INSTRUCTIONS ARE LISTED AT THE BOTTOM OF THIS AGENDA.**

### Call to Order

### Approval of Agenda

Approval of Minutes – March 26, 2020

### Old Business

None

### Public Hearings

None

### Other Business

Bioenergy Development Group, LLC (CU 1962) HW  
Revised Site Plan

S-20-06 Capstone Homes Sales Center KS  
Preliminary Site Plan

S-20-12 Tanger Fitness Center BM  
Preliminary Site Plan

S-20-13 Tanger Microtel BM  
Preliminary Site Plan



|   |    |
|---|----|
| <b><u>S-20-14 High Tide Church</u></b><br>Preliminary Site Plan   | BM |
| <b><u>S-20-15 Lands of Wade, LLC</u></b><br>Preliminary Site Plan   | BM |
| <b><u>Angola Beach &amp; Estates MHP</u></b><br>Revised Site Plan   | BM |
| <b><u>Old Mill Landing (South) Subdivision (2019-2)</u></b><br>Request to Revise Conditions of Approval (Sidewalks Only)  | HW |
| <b><u>Old Mill Landing (North) Subdivision (2019-13)</u></b><br>Request to Revise Conditions of Approval (Sidewalks Only) | HW |

In accordance with 29 Del. C. §10004(e)(2), this Agenda was posted on April 16, 2020 at 7:00 p.m., and at least seven (7) days in advance of the meeting.

This Agenda is subject to change to include the addition or deletion of items, including Executive Sessions, which arise at the time of the Meeting.

Agenda items listed may be considered out of sequence.

-MEETING INSTRUCTIONS-

\*\* The Sussex Planning & Zoning Commission is holding this meeting under the authority issued by Governor John C. Carney through Proclamation No. 17-3292. The meeting will be conducted using teleconference technology.

To listen to the meeting via phone, please dial:

Conference Number: 888-972-7810

Passcode: 40063

The County will stream this meeting using the same technology it uses for its Chamber Broadcast that can be viewed at <https://sussexcountyde.gov/council-chamber-broadcast>. This stream will broadcast the meeting materials and audio only, the public will not be able to comment or speak using this broadcast. This stream will experience a 30-second delay.

The Planning & Zoning Commission meeting materials, including the “packet”, are electronically accessible on the County’s website at: <https://sussexcountyde.gov/>

###

<sup>1</sup> These restrictions are being implemented to limit the exposure and risk related to “COVID-19” for County personnel and members of the public who seek to attend the Planning & Zoning Commission Meeting. These decisions are being made under the authority issued by Governor John C. Carney through Proclamation No. 17-3292.

See: <https://governor.delaware.gov/proclamation-173292-03132020/>.



## Memorandum

To: Sussex County Planning Commission Members  
From: Jamie Whitehouse, Director, Department of Planning & Zoning; Lauren DeVore, Planner III; Jenny Norwood, Planner I, Christin Headley, Planner I, Nicholas Torrance, Planner I and Chase Philips, Planner I  
CC: Vince Robertson, Assistant County Attorney  
Date: April 17, 2020  
RE: Other Business for April 23, 2020 Planning Commission Meeting

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This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the April 23, 2020 Planning Commission meeting.

### **Bioenergy Development Group, LLC (CU 1962)**

HW

#### Preliminary Site Plan

This is a Preliminary Site Plan for the addition of seven (7) storage tanks and other associated works to be located in the already improved area located between Building 1 and Building 3. The site plan also shows a proposed 2,000 sf. security and reception office located off of Enviro Way, along with new landscaping and fencing near the site entrance. The use of the site as a composting facility as an addition/extension to the previously approved micro-nutrient plan for the processing and handling of poultry litter, was approved by County Council on June 25, 2013 under Conditional Use No. 1962. The amount of car parking remains unchanged. Zoning: AR-1 (Agricultural Residential Zoning District). Tax Parcel 132-6.00-88.01, 95.00 and 132-11.00-41.00 and 41.02. Staff are awaiting agency approvals for the proposed changes.

### **S-20-06 Capstone Homes Sales Center**

KS

#### Preliminary Site Plan

This is a Preliminary Site Plan for a proposed sale center. Site improvements include converting an existing 1,600 square foot two-story structure to office space, adding a 7,596 square foot two-story sales/design center, the addition of 21 new parking spaces, septic area and stormwater management area. The site is located at 28555 Lewes-Georgetown Highway. Change of Zone 1897 was approved by County Council on December 17, 2019 through Ordinance No. 2697 to facilitate a change of zone from AR-1 (Agricultural Residential Zoning District) to Medium Commercial (C-2). The site plan complies with the Sussex County Zoning Code. Tax Parcel: 334-4.00-37.01. Zoning: C-2 (Medium Commercial Zoning District.)

### **S-20-12 Tanger Fitness Center**

BM

#### Preliminary Site Plan

This is a Preliminary Site Plan for an 18,018-sf. fitness center with 148 parking spaces located within "proposed Lot 2" of a proposed major subdivision, Lands of Coroc/Rehoboth III LLC (2019-32). All lot lines for this site are proposed and are dependent upon the approval of a separate application for consideration of a major subdivision by the Commission. The Applicant is requesting preliminary approval of the site plan prior to the Commission considering the Subdivision Plan later this year.



The Applicant is also requesting a modification in the parking layout with 49 parking spaces to be located within the front yard setback, as well as a dumpster located within the rear setback. The site plan complies with the Sussex County Zoning Code. Tax Parcel: 334-13.00-325.36. Zoning: C-3 (Heavy Commercial Zoning District) Staff are awaiting agency approvals.

**S-20-13 Tanger Microtel**

BM

Preliminary Site Plan

This is a Preliminary Site Plan for a 77-bedroom hotel with 98 parking spaces located within “proposed Lot 1” of a proposed major subdivision, Lands of Coroc/Rehoboth III LLC (2019-32). All lot lines for this site are proposed and are dependent upon the approval of a separate application for consideration of a major subdivision by the Commission. The Applicant is requesting preliminary approval of the site plan prior to the Commission considering the Subdivision Plan later this year. The Applicant is also requesting a reduction in the number of required parking spaces from the required 119 parking spots to 98 (a reduction of 21 spaces), with 15 parking spaces to be located within the front yard setback, as well as a dumpster located within the side and rear setback. The site plan complies with the Sussex County Zoning Code. Tax Parcel: 334-13.00-325.36. Zoning: C-3 (Heavy Commercial Zoning District) Staff are awaiting agency approvals.

**S-20-14 High Tide Church**

BM

Preliminary Site Plan

This is a Preliminary Site Plan for a 10,000-sf. church building, vehicle parking (206 spaces) and other site improvements to be located off Nine Foot Rd. The proposed church is 1-story with a 300-seat sanctuary. The proposed site plan complies with the Sussex County Zoning Code. Tax Parcel: 233-10.00-46.00. Zoning: AR-1 (Agricultural Residential District). Staff are awaiting agency approvals.

**S-20-15 Lands of Wade, LLC**

BM

Preliminary Site Plan

This is a Preliminary Site Plan for a proposed 4,320 square foot (three story) addition for an office onto an existing 4,000 square foot pole barn with a total of 16 parking spaces proposed in the front yard and side yard setbacks and located at the intersection of Birch Road (Route 274) and South Street in Rehoboth Beach, Delaware. The site was granted a 7-ft variance from the 15-ft required front corner yard setback and a 13.8-ft variance from the required 60-ft front yard setback by the Board of Adjustment at their meeting of March 2, 2020 through BOA Case No. 12418. The proposal consists of relocates three (3) parking spaces towards the frontage of Birch Road and maintains eleven (11). The applicant has submitted a requesting approval to allow parking within the front and side yard setbacks. The site plan complies with the Sussex County Zoning Code. Tax Parcel: 334-13.00-150.00. Zoning: C-1 (General Commercial). Staff are awaiting agency approvals.

**Angola Beach & Estates MHP**

BM

Revised Site Plan

This is a Revised Site Plan for the relocation of two (2) lots from Marlin Court to South Beach Drive in the existing Angola Beach and Estates Manufactured Home Park (MHP). The site is located at 22971 Suburban Road in Lewes, Delaware. Staff would note that the steps and associated landing project approximately 4-ft into the required 20-ft separation distance on the proposed plan. However, this projection is permitted under §115-172(G)(7) of the Sussex County Zoning Code, which states that “steps with related landing, not exceeding 28 square feet of lot coverage may project four feet into the required setback.” The Revised Site Plan complies with the Sussex County Zoning and Subdivision Code. Tax Parcel: 234-18.00-1.00. Zoning: AR-1 (Agricultural Residential Zoning

District). Staff are awaiting all agency approvals.

**Old Mill Landing (South) Subdivision (2019-02)**

HW

Request to Revise Condition of Approval (Sidewalks Only)

This is a request to revise the wording of a condition of approval for the 156-lot cluster/coastal area subdivision to be located on a certain parcel of land lying and being in Baltimore Hundred, Sussex County. The property is lying on the southeast corner of Old Mill Bridge Rd. and Miller Neck Rd. At its meeting on February 13, 2020 the Planning and Zoning Commission granted Preliminary Subdivision Plan approval subject to Conditions. Condition “I” states that “*As proffered by the Applicant, sidewalks shall be installed on both sides of all internal streets.*” The Applicant has submitted a request to modify Condition “I” by deleting the words “both sides” and substituting “one side”. Tax Parcel: 134-21.00-6.00 (portion of). Zoning District. AR-1 (Agricultural Residential District).

**Old Mill Landing (North) Subdivision (2019-13)**

HW

Request to Revise Condition of Approval (Sidewalks Only)

This is a request to revise the wording of a condition of approval for the 71 single family lot cluster subdivision to be located on a certain parcel of land lying and being in Baltimore Hundred, Sussex County. The property is lying on the southeast corner of Old Mill Bridge Rd. and Miller Neck Rd. At its meeting on February 13, 2020 the Planning and Zoning Commission granted Preliminary Subdivision Plan approval subject to Condition “G”. Condition “G” states “*As proffered by the Applicant, sidewalks shall be installed on both sides of all internal streets.*” The Applicant has submitted a request to modify Condition “G” to delete the words “both sides” and substituting “one side”. Tax Parcel: 134-21.00-6.00 (portion of). Zoning District. AR-1 (Agricultural Residential District).

JAMIE WHITEHOUSE, AICP  
DIRECTOR OF PLANNING & ZONING  
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jamie.whitehouse@sussexcountyde.gov



**Sussex County**

DELAWARE  
sussexcountyde.gov

## Memorandum

To: Sussex County Planning & Zoning Commission Members

From: Jamie Whitehouse, AICP, Director of Planning & Zoning

CC: Mr. Vince Robertson, Assistant County Attorney

Date: April 16, 2020

RE: Preliminary Site Plan for Bioenergy Development Group, LLC

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On the agenda for the Planning & Zoning Commission meeting of April 23, 2020 is a request for Preliminary Site Plan approval for a revised Site Plan showing seven (7) storage tanks and other improvements for Tax Parcels 132-6.00-88.01, 95.00 and 132-11.00-41.00 and 41.02.

This memo has been drafted to assist in providing background information to the Commission as to Condition #1 of CU 1314.

The use of the site as a composting facility as an addition/extension to the previously approved micro-nutrient plan for the processing and handling of poultry litter, was approved by County Council on June 25, 2013 under Conditional Use No. 1962 (CU 1962).

Staff have reviewed the original conditions of approval attached to the December 21, 1999 Conditional Use approval (CU 1314) for a micro-nutrient plant for the handling and processing of chicken litter. Condition #1 of that approval states:

- 1. The Conditional Use area shall be strictly limited to the improvements shown on the site plan and attached supplements, prepared by McCrone. Any future additions, alterations, or improvements shall be subject to an application and public hearings to amend this conditional use.*

This condition was repeated in the Conditions of approval for CU 1962:

- 1. The use shall be strictly limited to the improvements shown on the April 11, 2013 Site Plan proposed by Axiom Engineering, LLC. Any future additions, alterations or improvements to the Site Plan shall be subject to an application and public hearing to amend this Conditional Use.*

Staff are of the opinion that the proposed storage tanks, to be located in the already improved area between Building 1 and Building 3, do not represent an expansion of the Conditional Use area that was identified in applications CU 1314 and CU 1962. Therefore, staff are of the opinion that a public hearing is not required for the storage tanks and other works shown on the revised Site Plan.



April 10, 2020

***Via Electronic Mail***

Mr. Jamie Whitehouse, AICP, MRTPI  
Director, Department of Planning & Zoning  
Sussex County  
2 The Circle, P.O. Box 417  
Georgetown, DE 19947

RE: Bioenergy Development Group  
Anaerobic Digester and Related Site Improvements  
28338 Enviro Way, Seaford, Delaware 19973

Dear Mr. Whitehouse:

On behalf of our client BioEnergy Development Group (BDG), attached please find a preliminary site plan submission for the subject project. We are requesting review of the preliminary site plan at the next available Planning and Zoning Commission meeting. Representatives of BDG and Duffield Associates, Inc. (Duffield) will be in attendance to provide statements and answer questions that you or the Commission may have. Please include the following project summary in your review and provide a copy to the Commission with the preliminary site plan. Our team, along with BDG, has participated in several meetings with various regulatory agencies in order to understand the full scope of permits required for this project. Those permits or approvals are noted in *italics* below.

**PROJECT SUMMARY**

BDG currently owns and operates an existing composting operation, formerly known as Perdue AgriRecycle, located at 28338 Enviro Way, Seaford, DE 19973 which sits on approximately 220 acres in Sussex County, DE. The existing composting operation is permitted to process a combined 30,000 tons per year of Dissolved Air Floatation wastes (DAF), hatchery and poultry litter, producing and selling approximately 15,000 tons of organic compost per year.

The location was also the site of a poultry litter pelletizing plant operated by Perdue and originally permitted to take in 110,000 tons of poultry waste materials. Perdue had ceased pelletizing operations prior to acquisition of the site by BDG.

Using the former pelletizing plant and its existing operations building as well as surrounding supportive infrastructure, BDG is developing a poultry industry centric anaerobic digester (AD) which will process up to 200,000 metric tons per year of poultry DAF and additional poultry industry waste (generated by Perdue and other industry companies). The AD will produce approximately 430,000 MMBtus per year of clean, renewable natural gas (RNG). The RNG will be sold and injected on-site into the natural gas pipeline distribution system displacing an equal amount of fossil fuel derived natural gas. Chesapeake Utilities Corporation is currently envisioned as BDG's partner regarding RNG.

Anaerobic digesters produce a biogas which is rich in methane (CH<sub>4</sub>) that will be cleaned and upgraded to pipeline natural gas quality standards and used as clean and sustainable RNG. The biogas contaminants removed during the cleaning and upgrading process include moisture, particulates, oils, volatile organic compounds (VOC), carbon dioxide (CO<sub>2</sub>), and hydrogen sulfide (H<sub>2</sub>S). The moisture removed is collected and processed with other process wastewater through an on-site wastewater pre-treatment plant for discharge. Particulates, oils, some of the VOCs and H<sub>2</sub>S are trapped in an activated carbon media in an enclosed vessel. Once trapped, there is no potential release of these contaminants. Media is replaced as needed when saturated and the contaminated media is taken to a landfill for disposal and is considered a non-hazardous waste. The remaining VOCs are destroyed with a small amount of unrecovered methane in a tail gas from the treatment system, which is either thermally oxidized or burned in the flare. CO<sub>2</sub> is recovered for sale as a co-product.

In addition to RNG, the AD Facility will recover: 1) approximately 90 million cubic feet per year of carbon dioxide (CO<sub>2</sub>) that will be made available to the commercial market for sale; and 2) 31,000 tons per year of a nutrient rich solids digestate. The digestate, a class A Compost in its own right, will be incorporated within the facility's current and ongoing compost process creating an organically rich and natural soil amendment. BDG is also expecting to increase the amount of material composted on site beyond the current permitted limit of 30,000 tons of varied materials.

**State and Local Economic Impact** – The existing compost facility currently employs 12 people with responsibilities that range from: mechanic to pile turner to environmental manager. The anaerobic digester at completion is envisioned to expand our staffing needs to approximately 50 individuals from the community with jobs that range from engineering and operation to trucking, maintenance and operations.

Additionally, the site will become a learning center focused on the agricultural jobs of the future. BDG plans to partner with University of Delaware both in extending current relationships at the Carvel campus as well as extending their reach to bring research staff to the facility on specific projects of interest of the agricultural community. And as a long-term community resident, BDG also plans to extend this academic exchange to include work with the Delaware Technical Community College and high schools in the area.

In terms of direct expense, a shovel ready project such as proposed for this facility has a budget of over \$25 million. Roughly half of this budget is directed at local trades from construction to concrete, fencing to project design.

**Traffic** – As part of the development of the existing operation, the site entrance was designed to accommodate 82 vehicles per day entering and exiting the facility. A Service Level Evaluation has been prepared by DelDOT and provided to Sussex County on January 16, 2020. We believe that existing trip allowances are sufficient to accommodate the needs of the new project; therefore, we will be working with *DelDOT to obtain a Letter of No Objection or Contention.*

**Wastewater** – Sanitary wastewater is currently treated and discharged using an existing on-site wastewater system. Moving forward up to approximately 37.5 million gallons per year of process



wastewater will be generated directly by the AD process and supporting facilities. Process wastewater will be collected and refined using on-site pretreatment system, then, based on water balance and discharge limits, incorporated into Sussex County's wastewater collection system. Initial and very positive discussions are ongoing with the County to create a new sewer district that will include a pumping station and force main to transmit wastewater to the Blades Sanitary Sewer District and subsequently to the City of Seaford for final treatment and discharge. As part of this process, we will work with the County and DNREC to obtain an *Approval for the Construction of a Wastewater Conveyance System*.

**Water Supply** – Process and potable water for the facility is currently provided by an on-site water supply well. *Future water needs associated with the AD process are currently under evaluation and may require, though not envisioned, the facility to seek approvals from DNREC for additional on-site well(s).*

**Air Permitting and Odor Mitigation** – The Facility has a current air permit with the State of Delaware, APC-2016/0093. *This air permit will be modified and updated to incorporate new potential point sources of air emissions from three and possibly a fourth optional source:*

- 1) A new flare which burns the biogas when the biogas upgrade system is not available due to repairs and maintenance. The flare is expected to operate no more than 900 hours each year.
- 2) A natural gas fired, boiler to provide thermal energy for process heat in the Facility to heat materials within the digester. The boiler will utilize appropriate air pollution control technology.
- 3) Thermal oxidizer for destruction of tail gas.
- 4) An optional combined heat and power system capable of producing about 2 MW of electricity may be added to the facility during early design but is not likely.

Potential Odor issues will be mitigated through controlled handling of feedstock materials. Solid feedstock materials for the AD will be delivered to, and transferred within, the existing operations building, which is a closed, negative pressure space that utilizes biofilters for removal of noxious odors. Solid materials will be piped into the AD from inside the operations building. Liquid materials will be transferred via a closed piping system located outside the building.

**New AD storage and process tankage** – Upgrades to the facility will include new above ground process and storage tanks associated with the AD. All tanks are closed and covered vessels, the area around the AD tankage will be a stone surface:

- 1) One equalization tank designed to hold 165,000 – 170,000 gallons of DAF slurry, (11 – 13% solids and 87 – 89% water);
- 2) Four anaerobic digester tanks each designed to hold approximately 1.3 million gallons of the same mixture of DAF sludge and water;

- 3) Two secondary fermentation tanks also each designed to hold approximately 1.3 million gallons of a mixture of 6% digested solids and water;
- 4) One fixed roof biogas tank with approximately 500,000 cubic feet of biogas storage capacity.

*We are working to obtain a Resource Recovery Facility Permit from DNREC for the AD.*

**Pressure vessels** – Besides the boiler used for process heating, no other pressure rated vessels are anticipated in the design and construction of the Facility.

**On-site chemicals** – Minimal chemical storage totaling less than 10,000 gallons is required on site and will consist primarily of boiler and water treatment chemicals and small amounts of oils and lubricating grease for equipment.

**Other construction or paving** – The existing building has been unused for some time and requires some normal maintenance. BDG plans to renovate the both exterior skin and roof. Planned renovations inside the building are related to installation of equipment, structures, piping and other supported infrastructure needed to process feed stocks and products in a manner similar to the former pelletizing facility.

Outside of the building, total land disturbance including grading and paving is estimated to be from 5 to 10 acres based on the anticipated site layout; however, a large portion of the disturbed area associated with the current project will be related to modifications to existing disturbed lands. This will include paving an approximate 1,500-foot length of the existing entrance road, reducing the potential generation of dust and insuring efficient and safe traffic flow. Minor grading operations are contemplated near the existing site entrance to create a reception area including visitor parking and a small security office. Larger grading operations will occur west of the operations building, where the AD process equipment, piping and tankage will be constructed. In addition, existing stormwater management ponds will be modified and relocated in this area.

Other planned improvements include installation of new security fencing, new landscaping, and new signage at the site entrance. No lighting improvements are planned at this time.

**Stormwater Management** – A NPDES general permit for industrial stormwater is in place for the composting operation and BDG has submitted a Notice of Intent to implement system enhancements. BDG is prepared to implement plans previously developed by Perdue, through its consultant McCrone, and approved by DNREC to make modifications to the outlet structure of the stormwater facility that serves the composting operation. Aerators, per the approved plan, will be installed in the stormwater pond to facilitate evaporation and enhance storage capacity with the goal of minimizing surface water discharges.

New construction/land disturbance amounts will determine what, if any, additional stormwater infrastructure may be needed to meet regulatory requirements. Existing stormwater management facilities located west of the existing building and new AD tankage will be relocated and enlarged.

Mr. Jamie Whitehouse  
RE: Project Number 12393.ED  
April 10, 2020  
Page 5



These improvements will require a *Detailed Sediment and Stormwater Management Plan permit from the Sussex Conservation District.*

In addition to improvements in our current storm water management program, BDG will incorporate best management practices (BMPs) when using available land owned by the facility. This could include, but not be limited to:

- Assuring nutrient management plans are developed and implemented for tilled acreage.
- Identifying opportunities for creation of buffer areas to water/wetland features on site.
- Planting winter cover crops where practicable.
- Utilizing native vegetation in plantings.

Beyond any BMPs implemented on-site, the process of anaerobic digestion and associated pasteurization will remove pathogens from soil amendments produced from the facility site. Ultimately, the processing of waste streams from state and regional poultry operations will reduce the amount of DAF wastes, poultry litter, and associated nutrients that have historically been land applied in Delaware and surrounding states.

**Wetlands** – Wetlands are located on the property, but are not located within the areas where construction will occur. *We will provide confirmation of no impact to wetlands as part of our final site plan submission.*

**Federal Permits** – No federal permits are anticipated and no federal funding or grants are required for the construction and operations of the Facility. Any federal permitting associated with installation of the natural gas pipeline to the facility will be led by and coordinated by Chesapeake Utilities Corporation

We trust this information is adequate for your review and look forward to your working with your office on this project. Please do not hesitate to contact us at (302) 239-6634 if you have any additional questions or require additional information.

Sincerely,

DUFFIELD ASSOCIATES, INC.

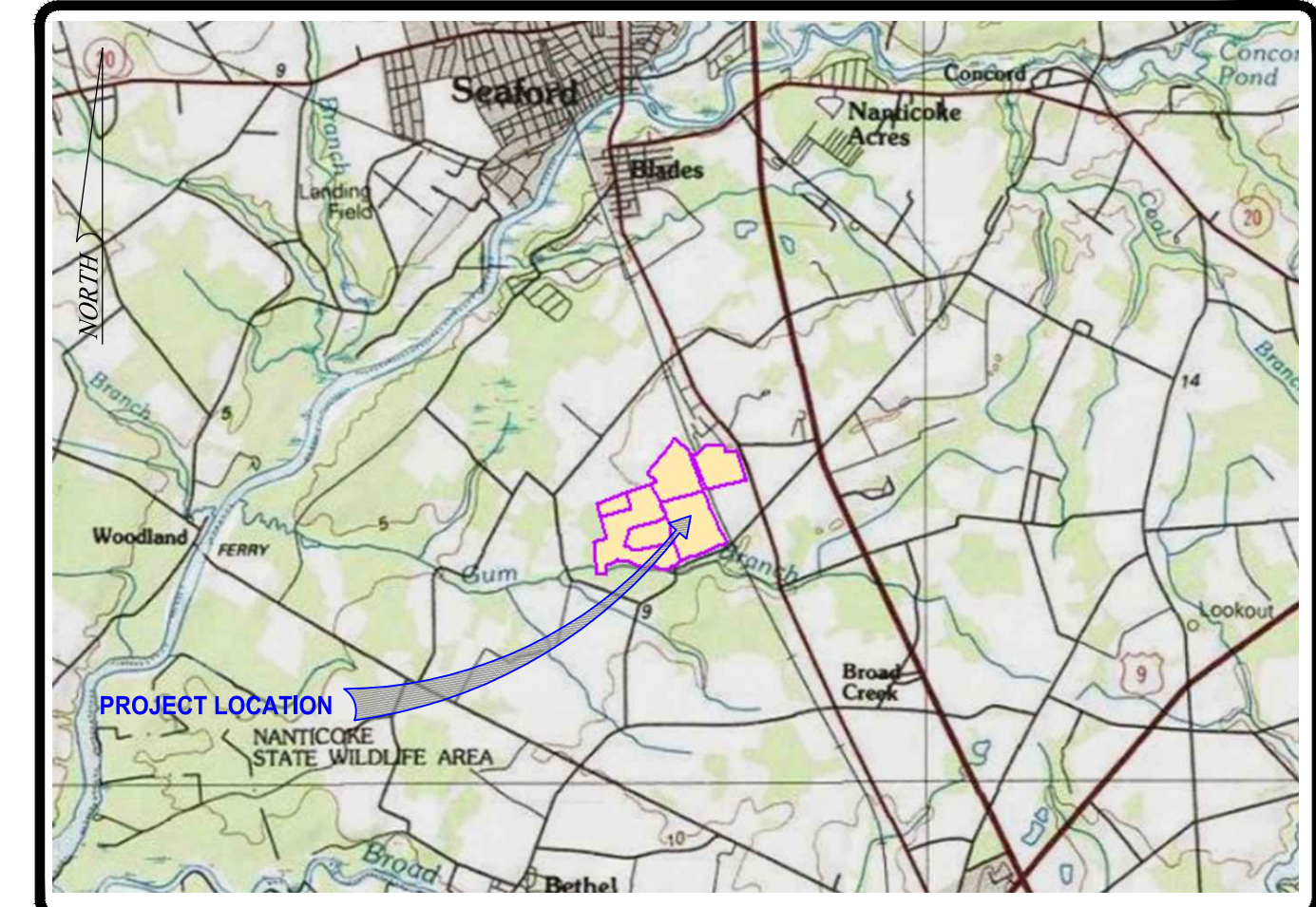
A handwritten signature in black ink that reads "Stephen J. Gorski". The signature is written in a cursive, flowing style.

Stephen J. Gorski, P.E.  
Senior Project Manager

MEF/SCH:  
12393ED.0420-Environmental Request Letter.COR

# BIOENERGY DEVELOPMENT GROUP PRELIMINARY SITE PLANS

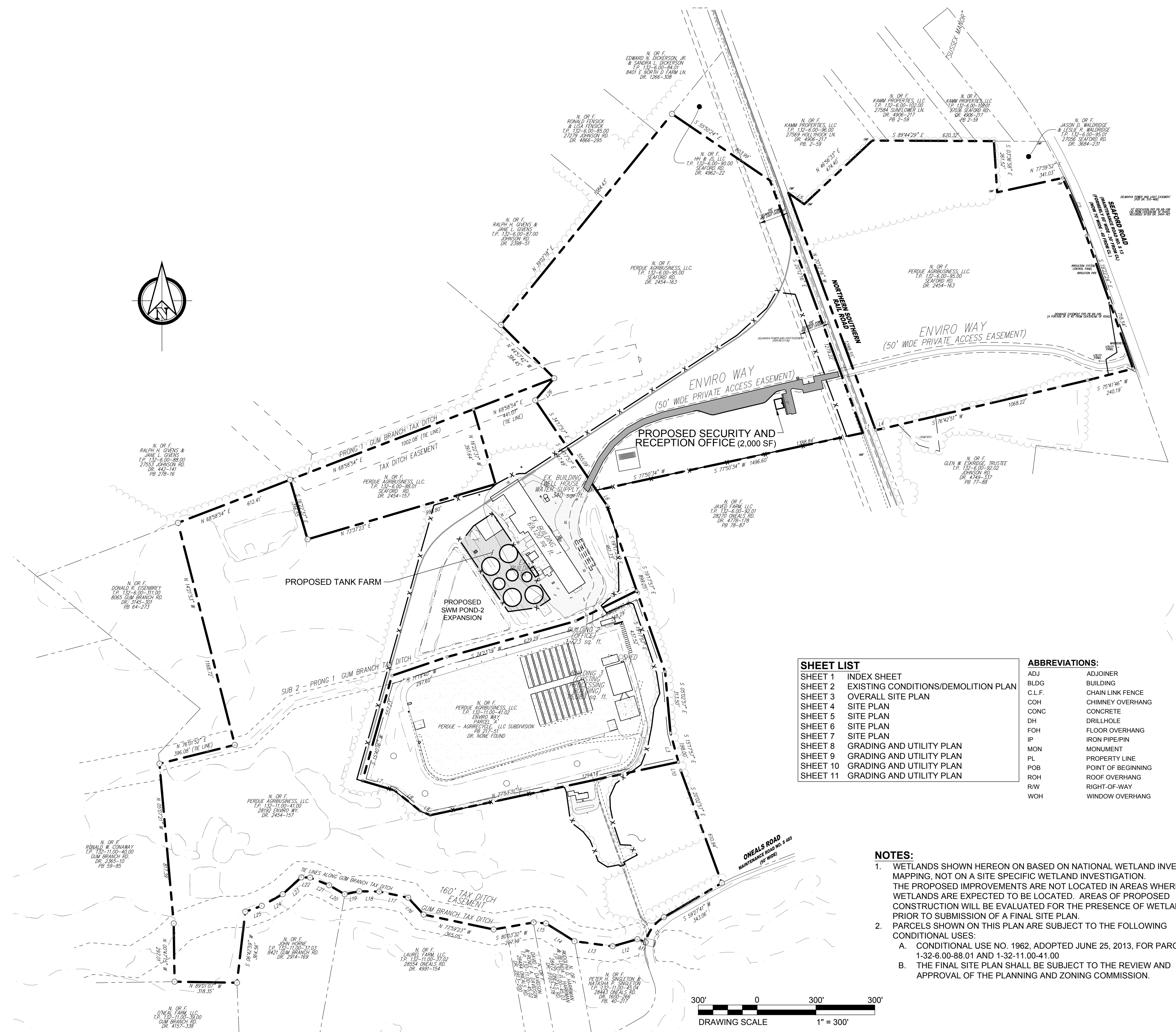
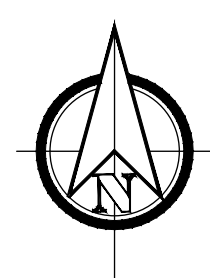
BLADES, SUSSEX COUNTY, DELAWARE



MAP: USGS LOCATION MAP SCALE: 1" = 600'

**DUFFIELD ASSOCIATES**  
Soil, Water & the Environment  
5400 LIMESTONE ROAD  
WILMINGTON, DE 19808-1232  
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CHECKED BY: SGJ  
DESIGNED BY: SMCJL  
DRAWN BY: SMCJL  
STEPHEN J. GORSKI, P.E.  
STATE DELAWARE P.E.#: 12625



**SHEET LIST**

|          |                                     |
|----------|-------------------------------------|
| SHEET 1  | INDEX SHEET                         |
| SHEET 2  | EXISTING CONDITIONS/DEMOLITION PLAN |
| SHEET 3  | OVERALL SITE PLAN                   |
| SHEET 4  | SITE PLAN                           |
| SHEET 5  | SITE PLAN                           |
| SHEET 6  | SITE PLAN                           |
| SHEET 7  | SITE PLAN                           |
| SHEET 8  | GRADING AND UTILITY PLAN            |
| SHEET 9  | GRADING AND UTILITY PLAN            |
| SHEET 10 | GRADING AND UTILITY PLAN            |
| SHEET 11 | GRADING AND UTILITY PLAN            |

**ABBREVIATIONS:**

|       |                    |
|-------|--------------------|
| ADJ   | ADJOINER           |
| BLDG  | BUILDING           |
| CL.F. | CHAIN LINK FENCE   |
| COH   | CHIMNEY OVERHANG   |
| CONC  | CONCRETE           |
| DH    | DRILLHOLE          |
| FOH   | FLOOR OVERHANG     |
| IP    | IRON PIPE/IN       |
| MON   | MONUMENT           |
| PL    | PROPERTY LINE      |
| POB   | POINT OF BEGINNING |
| ROH   | ROOF OVERHANG      |
| RW    | RIGHT-OF-WAY       |
| WOH   | WINDOW OVERHANG    |

- NOTES:**
- WETLANDS SHOWN HEREON ON BASED ON NATIONAL WETLAND INVENTORY MAPPING, NOT ON A SITE SPECIFIC WETLAND INVESTIGATION. THE PROPOSED IMPROVEMENTS ARE NOT LOCATED IN AREAS WHERE WETLANDS ARE EXPECTED TO BE LOCATED. AREAS OF PROPOSED CONSTRUCTION WILL BE EVALUATED FOR THE PRESENCE OF WETLANDS PRIOR TO SUBMISSION OF A FINAL SITE PLAN.
  - PARCELS SHOWN ON THIS PLAN ARE SUBJECT TO THE FOLLOWING CONDITIONAL USES:
    - CONDITIONAL USE NO. 1962, ADOPTED JUNE 25, 2013, FOR PARCELS 1-32-6.00-88.01 AND 1-32-11.00-41.00
    - THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.

**GENERAL NOTE**

|                         |   |                                |                                    |                              |
|-------------------------|---|--------------------------------|------------------------------------|------------------------------|
| 1. Tax Parcel No.       | 132-6 00-88.01                              | 132-6 00-85.00                 | 132-11 00-41.00                    | 132-11 00-41.02              |
| 2. Source of Title      | DR 2454-157                                 | DR 2454-163                    | DR 2454-157                        | SEPARATE DEED NOT RECORDED   |
| 3. Supporting Documents |   |                                |                                    | REFER TO PB 220-49           |
| 4. Parcel Address       | OFF ENVIRO WAY SEAFORD, DE 19973            | SEAFORD ROAD SEAFORD, DE 19973 | 28338 ENVIRO WAY SEAFORD, DE 19973 | ENVIRO WAY SEAFORD, DE 19973 |
| 5. Area                 | SUSSEX COUNTY, DELAWARE                     |                                |                                    |                              |
| 6. Zoning               | SUSSEX COUNTY, DELAWARE                     |                                |                                    |                              |
|                         | Zoned AR-1                                  | AR-1                           | AR-1                               | AR-1                         |
|                         | Lot Area (Sectic) 100' (150' FRONTING ROAD) | 100' (150' FRONTING ROAD)      | 100' (150' FRONTING ROAD)          | 100' (150' FRONTING ROAD)    |
|                         | Lot Width (Sectic) 100'                     | 100'                           | 100'                               | 100'                         |
|                         | Lot Depth (Sectic) 100'                     | 100'                           | 100'                               | 100'                         |
|                         | Front Yard 40'                              | 40'                            | 40'                                | 40'                          |
|                         | Side Yard 15'                               | 15'                            | 15'                                | 15'                          |
|                         | Rear Yard 20'                               | 20'                            | 20'                                | 20'                          |
|                         | Lot Width Minimum 100' (150' FRONTING ROAD) | 100' (150' FRONTING ROAD)      | 100' (150' FRONTING ROAD)          | 100' (150' FRONTING ROAD)    |
|                         | Height Maximum 42'                          | 42'                            | 42'                                | 42'                          |

A ZONING CERTIFICATION LETTER OR REPORT WAS NOT RECEIVED FOR THIS SURVEY. THE ZONING SHOWN HEREON IS FROM A CURSORY REVIEW OF THE ZONING CODE OF SUSSEX COUNTY, DELAWARE, CHAPTER 115, ARTICLE IV, SECTION 115-29 (AS OF JULY 25, 2019). NOTE: IT IS STRONGLY ADVISED TO CONTACT THE JURISDICTIONAL CONTROLLING AUTHORITIES FOR UP TO DATE INFORMATION, INTERPRETATIONS AND VERIFICATION OF THE MOST RECENT ZONING CODE, ASSOCIATED REGULATIONS AND RECENTLY PROPOSED ORDINANCES.

|                             |   |                              |                         |                        |                         |                        |
|-----------------------------|---|------------------------------|-------------------------|------------------------|-------------------------|------------------------|
| 7. Building Data:           | Existing Buildings  | BLDG 1<br>69,120 +/- SF      | BLDG 1A<br>1,602 +/- SF | BLDG 2<br>1,723 +/- SF | BLDG 3<br>15,083 +/- SF | TOTAL<br>87,528 +/- SF |
|                             | Proposed Buildings  | SECURITY OFFICE<br>2,000 SF  |                         |                        |                         | 2,000 SF               |
| 8. Parking Data:            | Existing Spaces   | 1 PARKING SPACE / 200 SF GFA |                         |                        |                         | 15 (INCL. 1 ADA SP.)   |
|                             | Proposed Spaces   |                              |                         |                        |                         | 10 (INCL. 1 ADA SP.)   |
|                             |   |                              |                         |                        |                         | 25 SPACES              |
| 9. Flood Zone Designations: | THE EXISTING PARKING SPACE COUNT REFERS TO MARKED SPACES ONLY. THE SITE HAS SIGNIFICANT AREAS OF PAVEMENT CONSISTING OF GRAVEL, ASPHALT AND DIRT THAT COULD BE USED FOR PARKING.  |                              |                         |                        |                         |                        |
|                             | FLOOD ZONE DESIGNATION: SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X (UNSHADED) AND HAS BEEN DETERMINED TO BE OUTSIDE OF THE 100 YEAR FLOODPLAIN PER FIRM MAP NO. 100050401 K, PANEL NO. 401 OF 880, DATED MARCH 16, 2015 (REVISED). |                              |                         |                        |                         |                        |
| 10. Record Plans:           | NONE  | NONE                         | NONE                    | PB 217-49              |                         |                        |
|                             | A PORTION OF THIS PROPERTY IS SHOWN ON THE RECORD MINOR SUBDIVISION PLAN TITLED "SUBDIVISION OF THE LANDS OF PERDUE AGRICULTURE, LLC," IN PLAT BOOK 217, PAGE 49, DATED JULY 17, 2015.  |                              |                         |                        |                         |                        |
| 12. Utilities:              | COMCAST:  | No Response                  | No Response             | No Response            | No Response             | No Response            |
|                             | VERIZON:  | No Response                  | No Response             | No Response            | No Response             | No Response            |
|                             | DELMARVA POWER UTILITIES:   | No Response                  | No Response             | No Response            | No Response             | No Response            |
|                             | CHESAPEAKE UTILITIES:   | Response Received            | Response Received       | Response Received      | Response Received       | Response Received      |
|                             | CROWN CASTLE:   | No Response                  | No Response             | No Response            | No Response             | No Response            |
|                             | PLEASE NOTE THAT OTHER UTILITIES, NOT READILY VISIBLE, NOT SHOWN ON THE PLANS OR UTILITIES PLACED BY THIRD PARTY AGENTS, MAY BE PRESENT.  |                              |                         |                        |                         |                        |
| 13. Vertical Datum:         | NAVD 88 NAVD  |                              |                         |                        |                         |                        |
| 14. Bearing Reference:      | NAD 83, DELAWARE STATE PLANE  |                              |                         |                        |                         |                        |
| 15. Owner Data:             | BIOENERGY DEVELOPMENT GROUP, LLC<br>9250 BENDIX ROAD<br>COLUMBIA, MD 21045  |                              |                         |                        |                         |                        |
| 16. Water Service:          | EXISTING PRIVATE WELL   |                              |                         |                        |                         |                        |
| 17. Sewer Service:          | EXISTING SEPTIC TO BE ABANDONED. PROPOSED PUBLIC SYSTEM (NEW SUSSEX COUNTY DISTRICT)  |                              |                         |                        |                         |                        |

**LEGEND**

|     |                             |    |                        |
|-----|-----------------------------|----|------------------------|
| ○   | PROPERTY CORNER - SUBJECT   | HP | HOLE W/ PIPE           |
| ○   | PROPERTY CORNER - ADJACENT  | HS | HOSE                   |
| ○   | CONTROL - REBAR FOUND       | HT | HEAT TRACE             |
| ●   | CONTROL - CONCRETE MONUMENT | HO | HOIST                  |
| AC  | A/C COMPRESSOR              | HO | HOIST                  |
| B   | BOLLARD                     | FL | LIGHT - FLOOD          |
| EB  | ELECTRIC BOX                | LB | LOCKOUT BOX            |
| EB  | ELECTRIC BOX                | MA | MACHINERY AREA         |
| FO  | FIBER OPTICS POST           | MC | MACHINERY - POND       |
| FS  | FIRE - STANDPIPE            | MP | MANHOLE                |
| FT  | FIRE - WATER TANK           | OP | OVERHEAD PIPE          |
| F   | FLAGPOLE                    | S  | SIGN                   |
| GL  | GAS LINE SIGN               | P  | SMALL PIPE             |
| GM  | GAS MANHOLE                 | SW | SWITCH BOX             |
| GP  | GAS PIPE                    | SP | SUMP PUMP              |
| GWS | GUY WIRE SUPPORT            | SO | TRUCK OVERLOAD         |
| H   | HYDRANT / MANHOLE MACHINERY | U  | UTILITY - POLE / TOWER |
| W   | WATER - HOLE                | U  | UTILITY - POLE / TOWER |
| W   | WATER - WELL                | V  | VALVE                  |

|                 |                   |                  |               |                   |          |
|-----------------|-------------------|------------------|---------------|-------------------|----------|
| EXISTING GRAVEL | EXISTING CONCRETE | PROPOSED ASPHALT | PROPOSED GABC | PROPOSED BUILDING | WETLANDS |
|-----------------|-------------------|------------------|---------------|-------------------|----------|

**OWNER'S CERTIFICATION:**

I, \_\_\_\_\_, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

PROPERTY OWNER \_\_\_\_\_ DATE \_\_\_\_\_, 2020

**ENGINEER'S CERTIFICATION:**

I, STEPHEN J. GORSKI, HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DATE \_\_\_\_\_, 2020  
STEPHEN J. GORSKI, P.E.  
REGISTRATION # 12625

**SUSSEX COUNTY CERTIFICATION**

APPROVED: SUSSEX COUNTY COUNCIL DOES NOT IMPLY THE APPROVAL OF OTHER GOVERNMENTAL AGENCIES.

PRESIDENT \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED: THE COUNTY PLANNING AND ZONING COMMISSION OF SUSSEX COUNTY.

NAME \_\_\_\_\_ DATE \_\_\_\_\_

REVISION

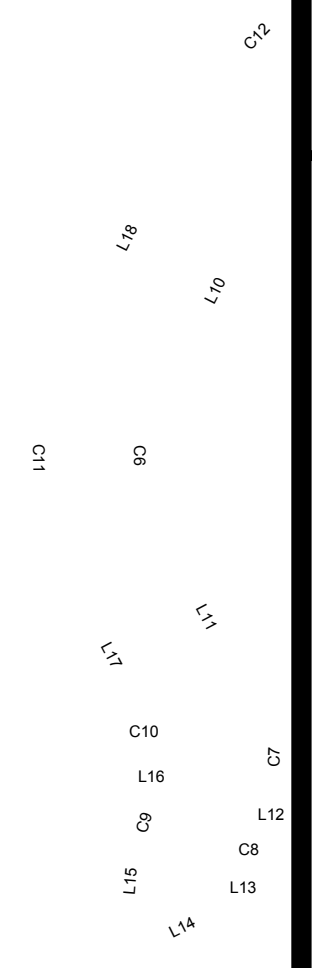
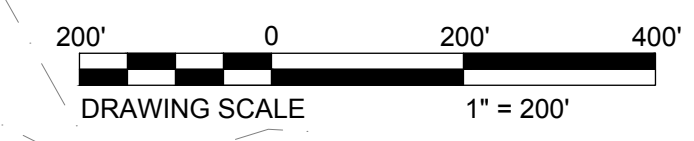
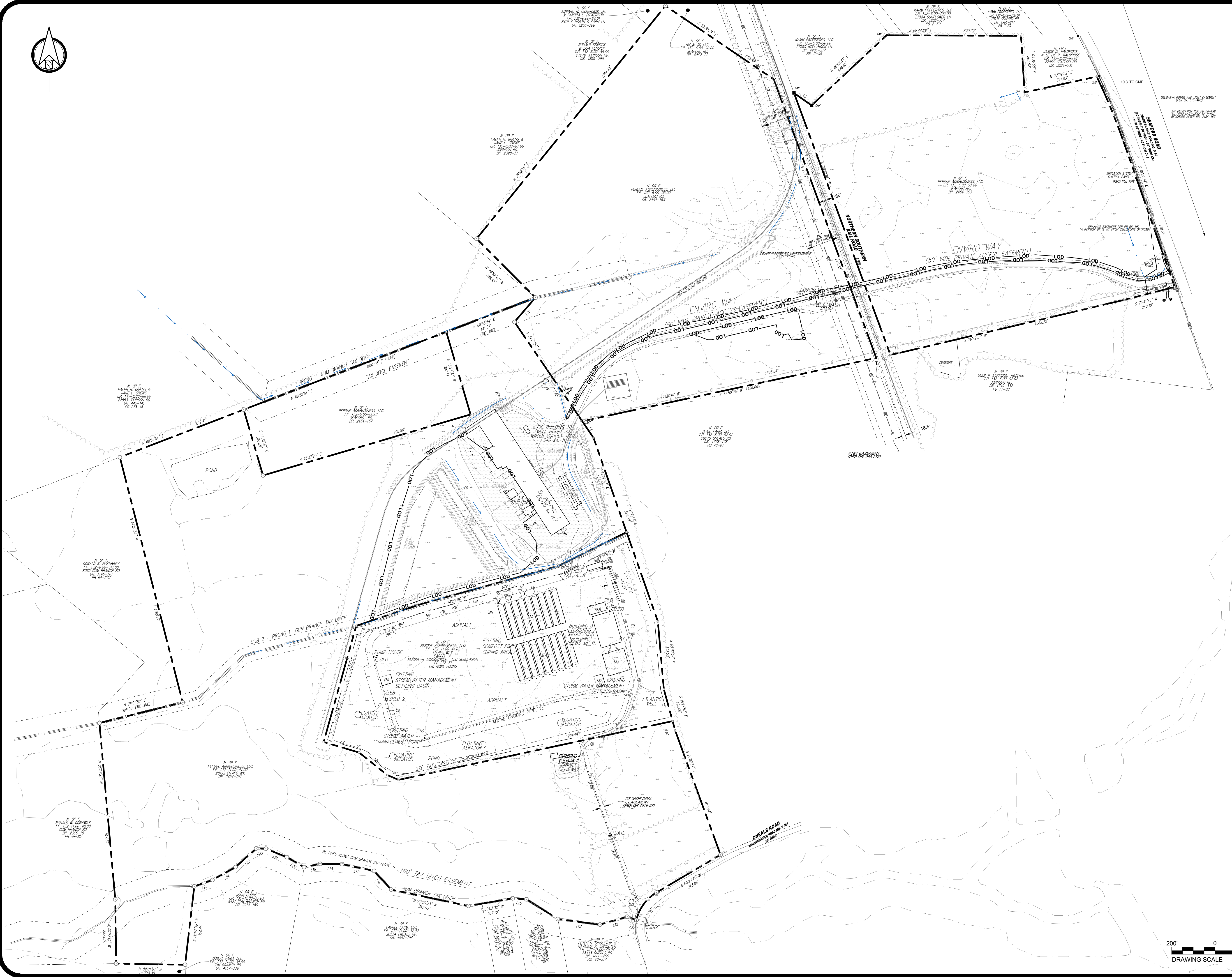
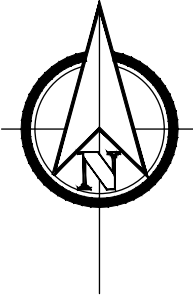
**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC  
9250 BENDIX ROAD  
COLUMBIA, MD 21045

INDEX SHEET  
PRELIMINARY SITE PLAN  
BIOENERGY DEVELOPMENT  
GROUP, LLC  
SUSSEX COUNTY ~ DELAWARE

DATE: 13 APRIL 2020  
SCALE: AS SHOWN  
PROJECT NO. 12393.EA  
SHEET: 1 OF 11

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**DUFFIELD ASSOCIATES**  
Soil, Water & the Environment  
5400 LIMESTONE ROAD  
WILMINGTON, DE 19808-1232  
TEL: 302.239.6634  
FAX: 302.239.8485  
OFFICES IN DELAWARE, MARYLAND,  
PENNSYLVANIA AND NEW JERSEY  
WEB: [HTTP://DUFFIELD.COM](http://duffield.com)  
E-MAIL: [DUFFIELD@DUFFIELD.COM](mailto:DUFFIELD@DUFFIELD.COM)

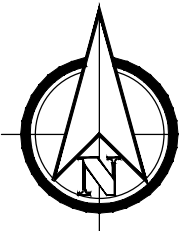
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STEPHEN J. GORSKI, P.E.

| NO. | REVISION                               |
|-----|--|
| 1   | PRELIMINARY<br>NOT FOR<br>CONSTRUCTION |

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC  
25 BURENDIX ROAD  
COLUMBIA, MD 21045

**EXISTING CONDITIONS / DEMOLITION PLAN**  
**PRELIMINARY SITE PLAN**  
**BIOENERGY DEVELOPMENT**  
**GROUP, LLC**  
SUSSEX COUNTY ~ DELAWARE

DATE: 13 APRIL 2020  
SCALE: 1" = 200'  
PROJECT NO. 12393.EA  
SHEET: 2 OF 11

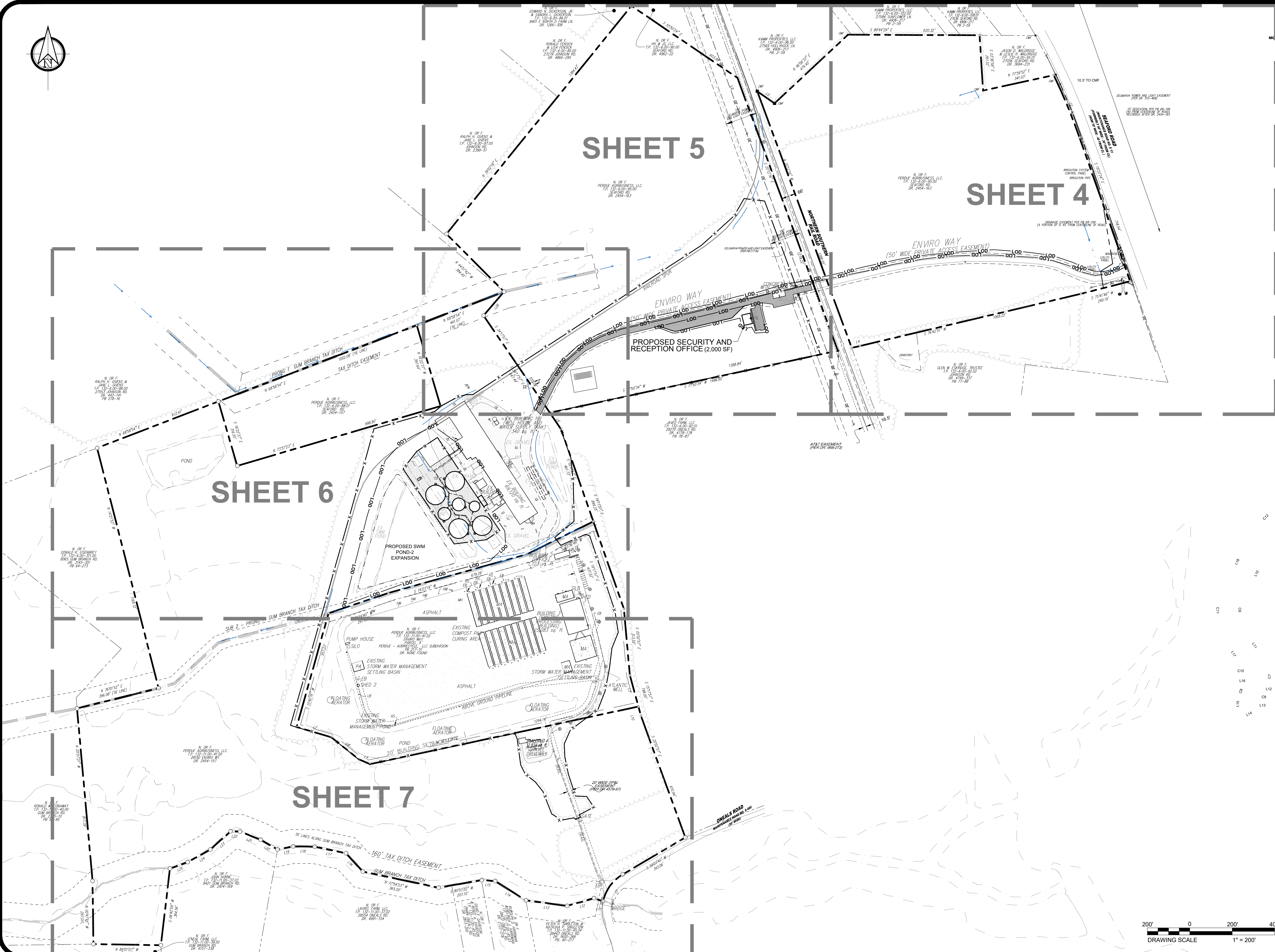


SHEET 5

SHEET 4

SHEET 6

SHEET 7



**DUFFIELD ASSOCIATES**  
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WILMINGTON, DE 19808-1232  
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FAX: 302.239.8485

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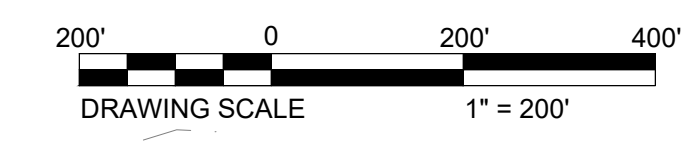
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| DESIGNER:    | STEPHEN J. GORSKI, P.E. |
| STATE:       | DELAWARE                |
| P.#:         | 12625                   |

| NO. | REVISION                               |
|-----|--|
| 1   | PRELIMINARY<br>NOT FOR<br>CONSTRUCTION |

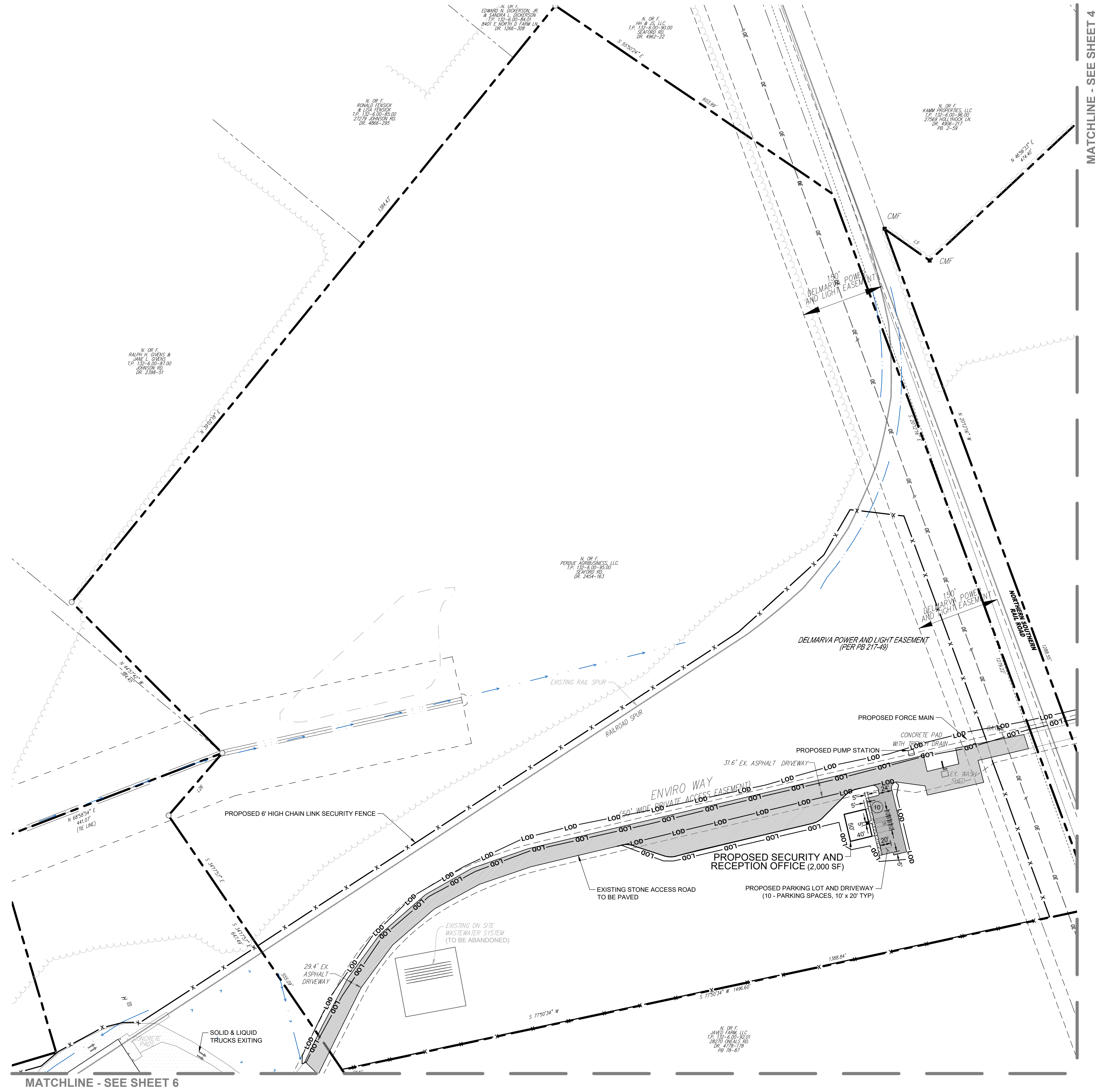
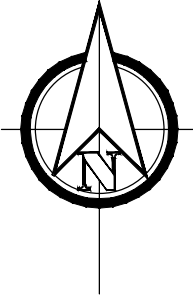
OWNER: BIOENERGY DEVELOPMENT GROUP, LLC  
250 HENDRY ROAD  
COLUMBIA, MD 21045

**OVERALL SITE PLAN**  
**PRELIMINARY SITE PLAN**  
**BIOENERGY DEVELOPMENT**  
**GROUP, LLC**  
SUSSEX COUNTY ~ DELAWARE

DATE: 13 APRIL 2020  
SCALE: 1" = 200'  
PROJECT NO. 12393.EA  
SHEET: 3 OF 11







DATE: 13 APRIL 2020  
 SCALE: 1" = 100'  
 PROJECT NO. 12393.EA  
 SHEET: 5 OF 11

**SITE PLAN**  
**PRELIMINARY SITE PLAN**  
**BIOENERGY DEVELOPMENT**  
**GROUP, LLC**  
 SUSSEX COUNTY ~ DELAWARE

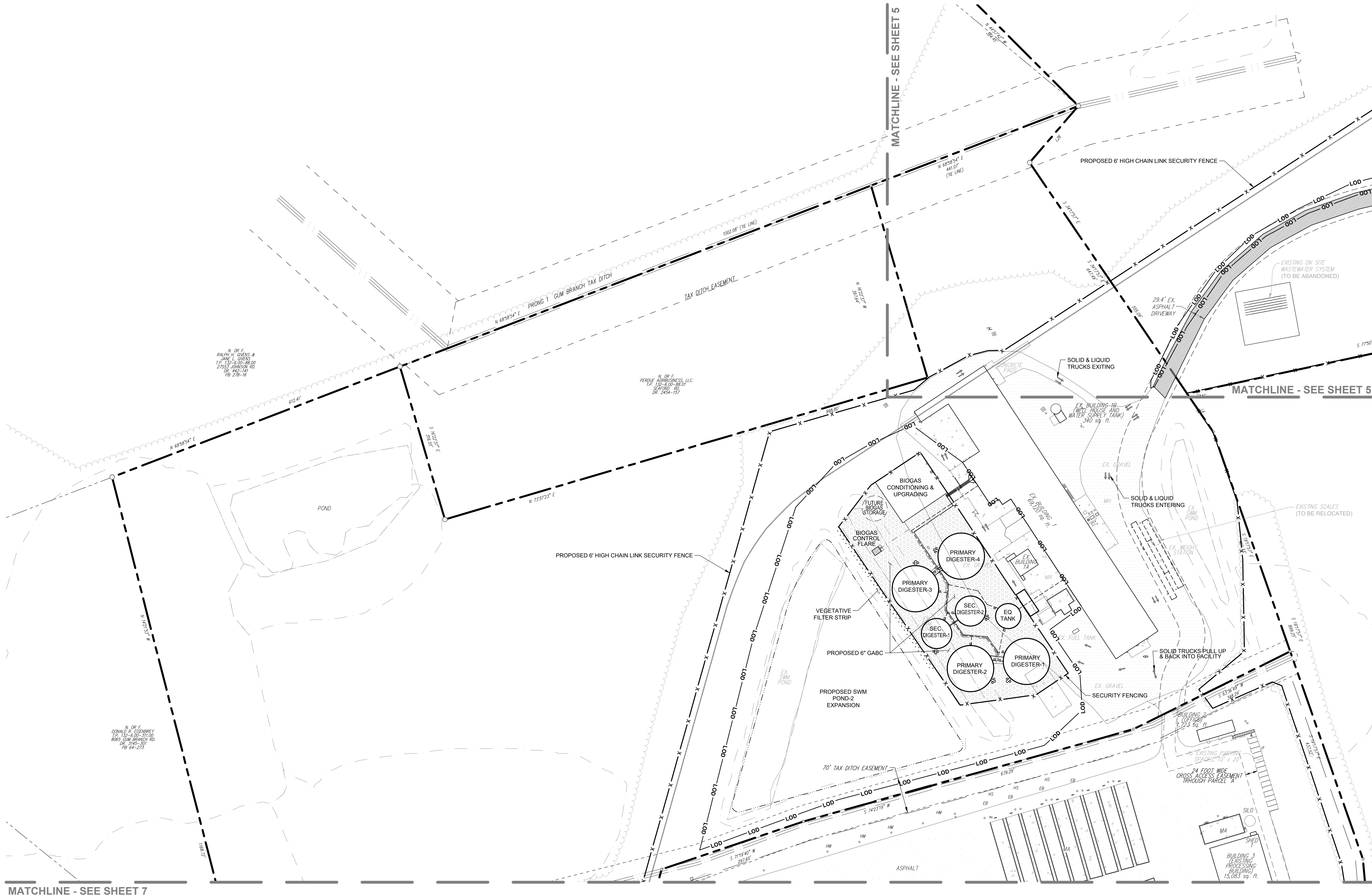
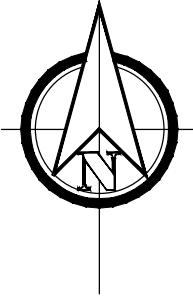
OWNER: BIOENERGY DEVELOPMENT GROUP, LLC  
 250 BURNSIDE ROAD  
 COLUMBIA, MD 21045

| NO. | REVISION                               |
|-----|--|
| 1   | PRELIMINARY<br>NOT FOR<br>CONSTRUCTION |

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| DESIGNED BY:            | SCHJUL           |
| DRAWN BY:               | SMCJUL           |
| FILE NAME:              | Prelim12393EA-Sp |
| STEPHEN J. GORSKI, P.E. |                  |

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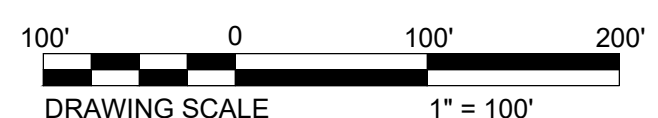




MATCHLINE - SEE SHEET 7

MATCHLINE - SEE SHEET 5

MATCHLINE - SEE SHEET 5



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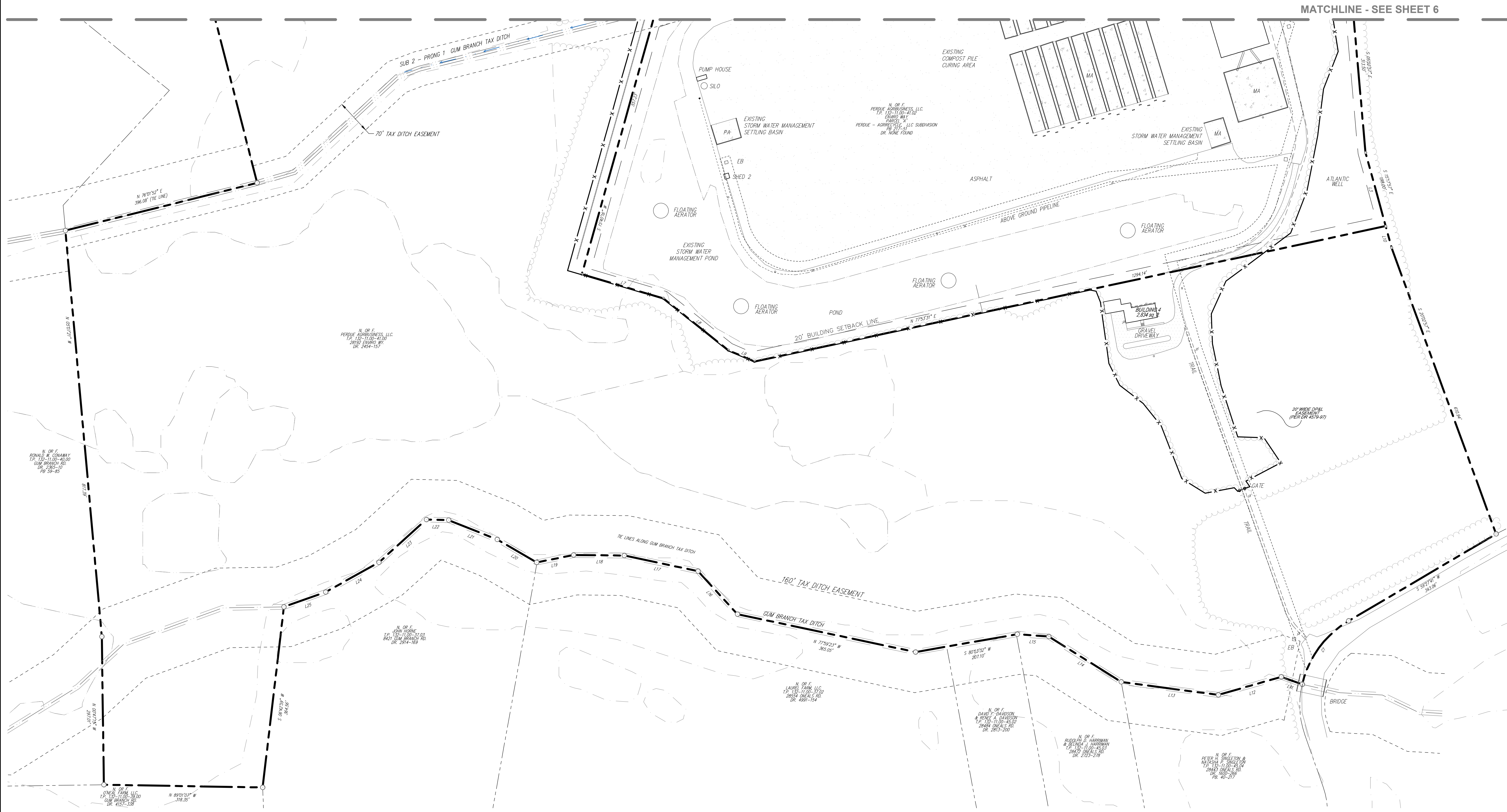
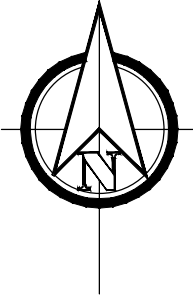
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| PROJECT:     | STEPHEN J. GORSKI, P.E. |

| NO. | REVISION                               |
|-----|--|
| 1   | PRELIMINARY<br>NOT FOR<br>CONSTRUCTION |

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC  
250 BUNDYS ROAD  
COLUMBIA, MD 21045

**SITE PLAN**  
**PRELIMINARY SITE PLAN**  
**BIOENERGY DEVELOPMENT**  
**GROUP, LLC**  
SUSSEX COUNTY ~ DELAWARE

DATE: 13 APRIL 2020  
SCALE: 1" = 100'  
PROJECT NO. 12393.EA  
SHEET: 6 OF 11



MATCHLINE - SEE SHEET 6

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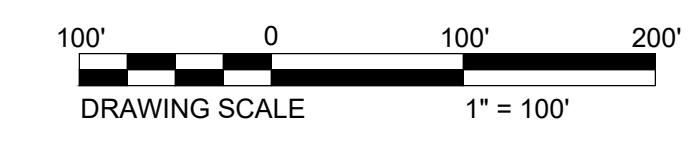
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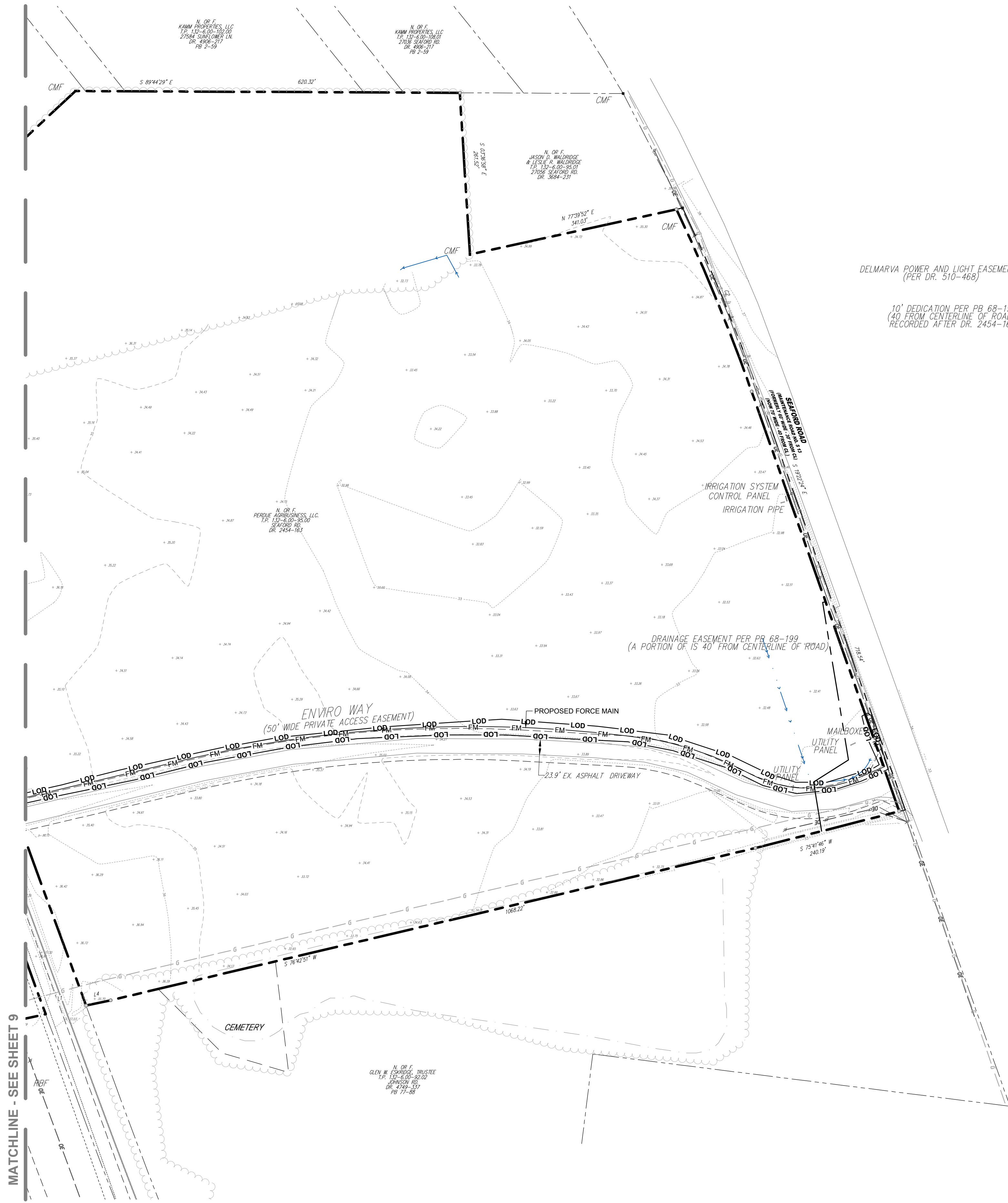
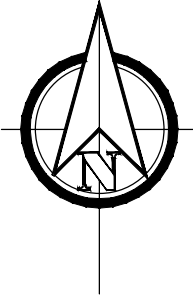
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| 1   | PRELIMINARY<br>NOT FOR<br>CONSTRUCTION |

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC  
125 HUNTERS ROAD  
COLUMBIA, MD 21045

**SITE PLAN**  
**PRELIMINARY SITE PLAN**  
**BIOENERGY DEVELOPMENT**  
**GROUP, LLC**  
SUSSEX COUNTY ~ DELAWARE

DATE: 13 APRIL 2020  
SCALE: 1" = 100'  
PROJECT NO. 12393.EA  
SHEET: 7 OF 11





DATE: 13 APRIL 2020  
 SCALE: 1" = 100'  
 PROJECT NO. 12393.EA  
 SHEET: 8 OF 11

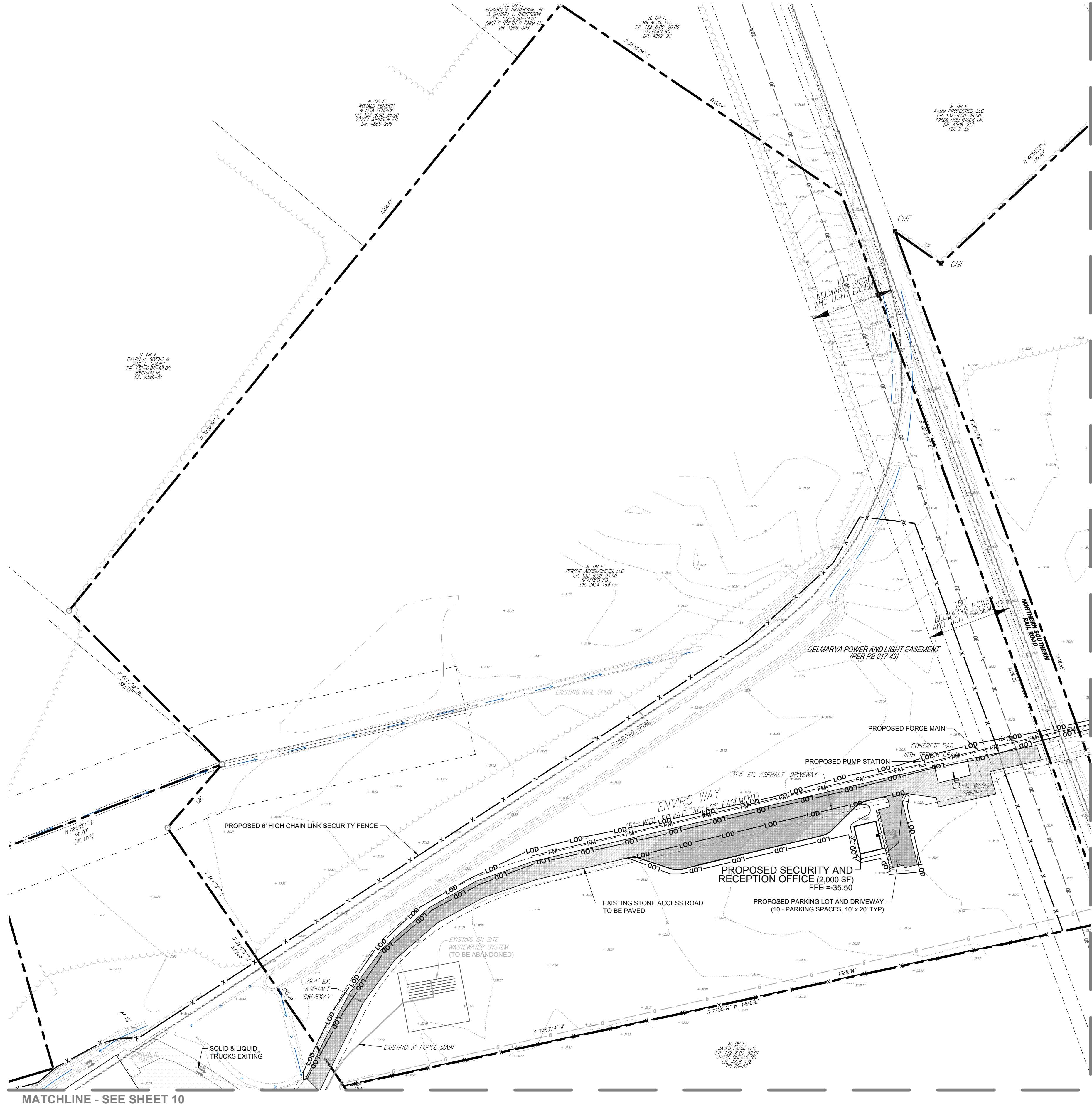
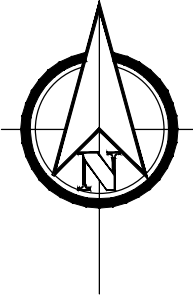
**GRADING AND UTILITY PLAN**  
**PRELIMINARY SITE PLAN**  
**BIOENERGY DEVELOPMENT**  
**GROUP, LLC**  
 SUSSEX COUNTY ~ DELAWARE

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC  
 250 BURNSIDE ROAD  
 COLUMBIA, MD 21045

| NO. | REVISION                               |
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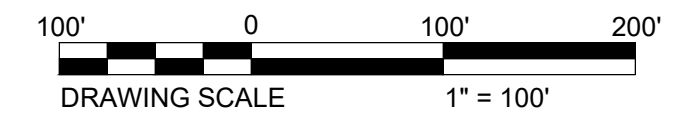
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 DESIGNER: STEPHEN J. GORSKI, P.E.

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MATCHLINE - SEE SHEET 10

MATCHLINE - SEE SHEET 8



DATE: 13 APRIL 2020  
 SCALE: 1" = 100'  
 PROJECT NO. 12393.EA  
 SHEET: 9 OF 11

**GRADING AND UTILITY PLAN**  
**PRELIMINARY SITE PLAN**  
**BIOENERGY DEVELOPMENT**  
**GROUP, LLC**  
 SUSSEX COUNTY ~ DELAWARE

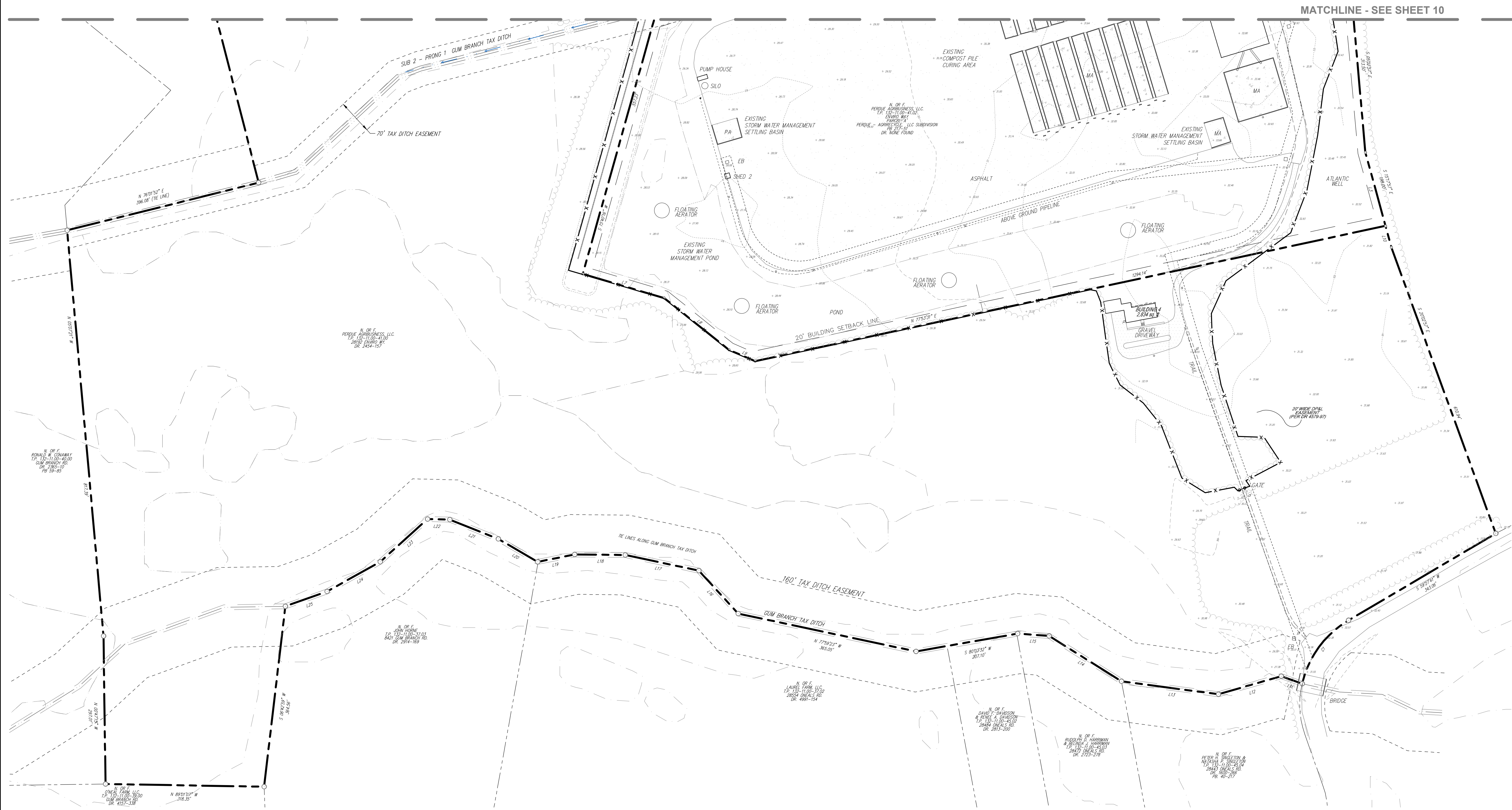
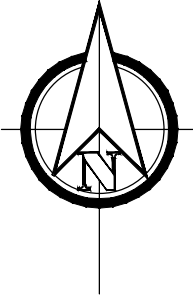
OWNER: BIOENERGY DEVELOPMENT GROUP, LLC  
 25 HUNDEYS ROAD  
 COLUMBIA, MD 21045

**PRELIMINARY**  
**NOT FOR**  
**CONSTRUCTION**

| CHK BY | DATE | DESIGNED BY | CHECKED BY                  |
|--------|------|-------------|-----------------------------|
|        |      | SCHULJ      | SAG                         |
|        |      | SMC/JUL     | FILE NAME: Prelim12393CF-Gr |
|        |      |             | STEPHEN J. GORSKI, P.E.     |

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 WILMINGTON, DE 19808-1232  
 TEL: 302.239.6634  
 FAX: 302.239.8485  
 OFFICES IN DELAWARE, MARYLAND, PENNSYLVANIA AND NEW JERSEY  
 WEB: HTTP://DUFFIELDNET.COM  
 E-MAIL: DUFFIELD@DUFFIELDNET.COM





MATCHLINE - SEE SHEET 10

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WEB: HTTP://DUFFIELD.COM  
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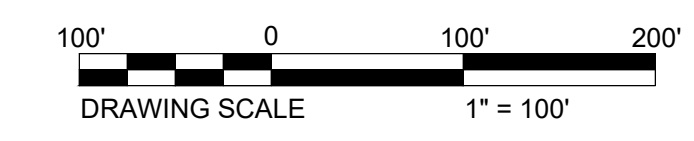
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CHECKED BY: SGC  
FILE NAME: Prelim12393EA-Gr  
STEPHEN J. GORSKI, P.E.

| NO. | REVISION                               |
|-----|--|
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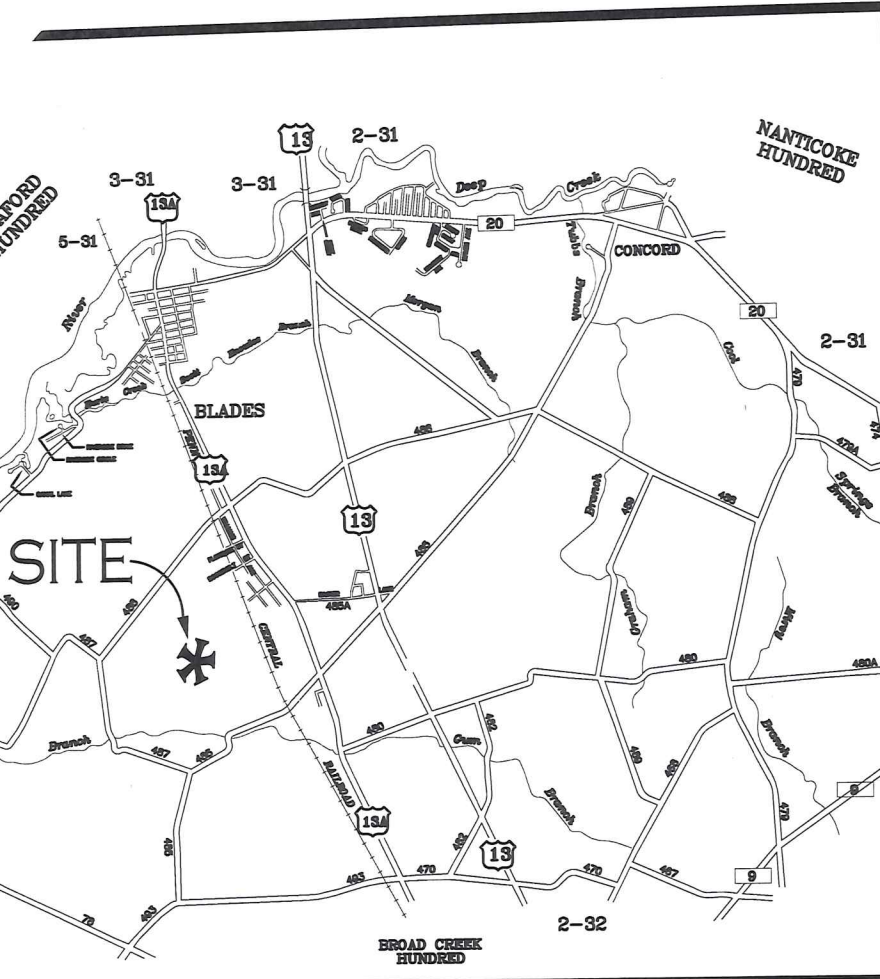
OWNER: BIOENERGY DEVELOPMENT GROUP, LLC  
250 BURENDS ROAD  
COLUMBIA, MD 21045

**GRADING AND UTILITY PLAN**  
**PRELIMINARY SITE PLAN**  
**BIOENERGY DEVELOPMENT**  
**GROUP, LLC**  
SUSSEX COUNTY ~ DELAWARE

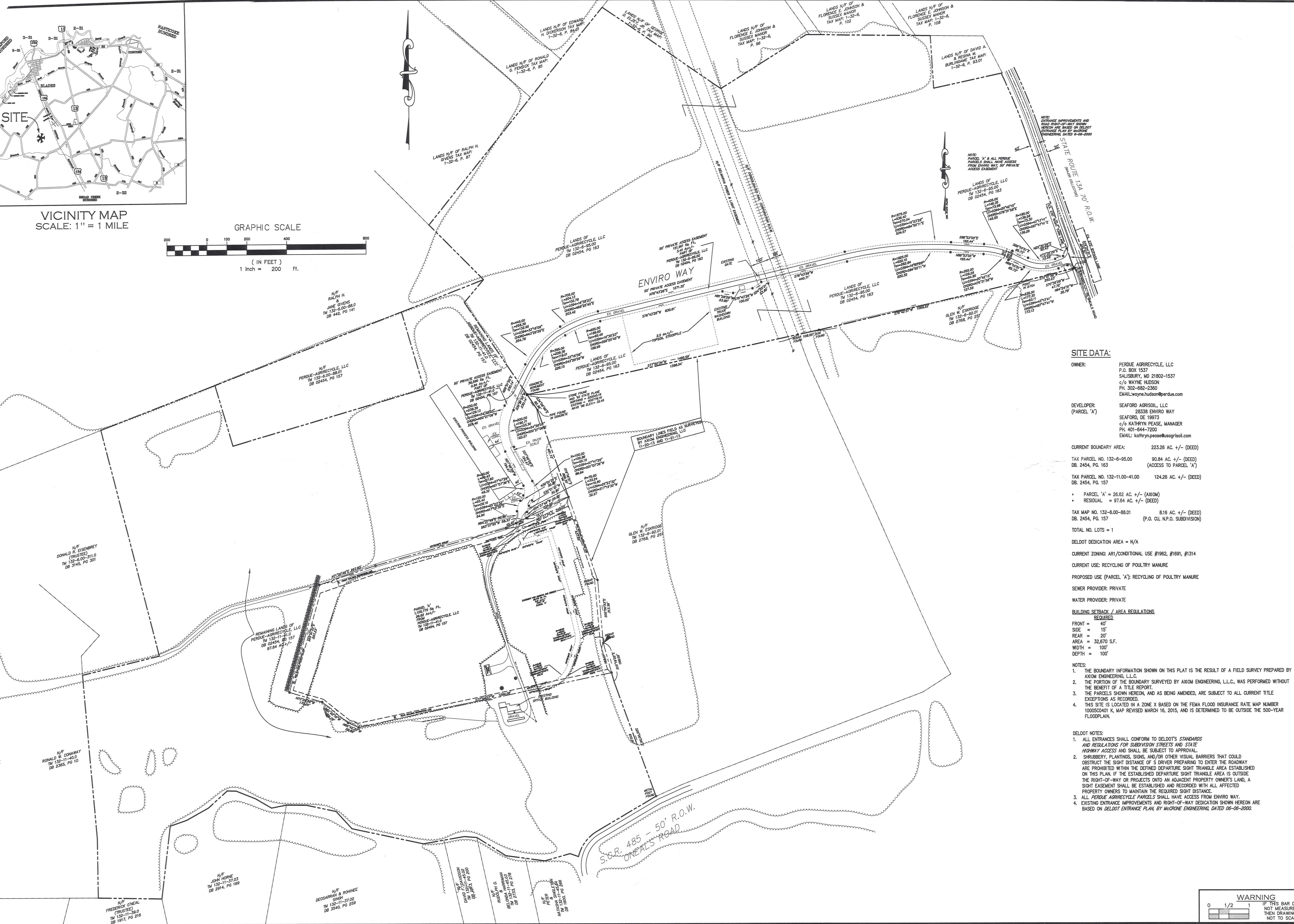
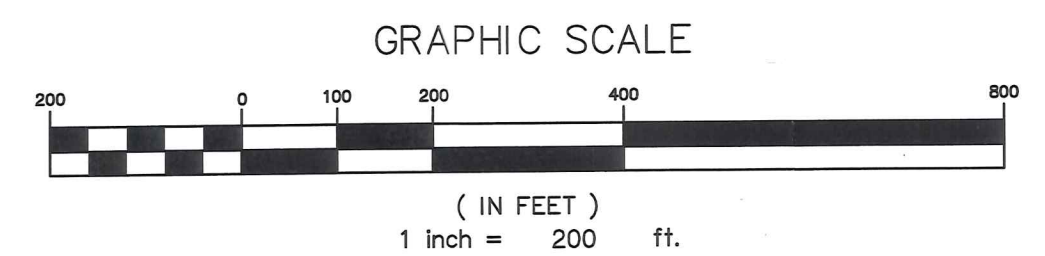
DATE: 13 APRIL 2020  
SCALE: 1" = 100'  
PROJECT NO. 12393.EA  
SHEET: 11 OF 11







VICINITY MAP  
SCALE: 1" = 1 MILE



**SITE DATA:**

**OWNER:** PERDUE AGRICRECYCLE, LLC  
P.O. BOX 1537  
SALISBURY, MD 21802-1537  
c/o WAYNE HUDSON  
PH: 302-682-2360  
EMAIL: wayne.hudson@perdue.com

**DEVELOPER:** SEAFORD AGRISOIL, LLC  
(PARCEL 'A') SEAFORD ENVIRO WAY  
SEAFORD, DE 19973  
c/o KATHRYN PEASE, MANAGER  
PH: 401-644-7200  
EMAIL: kathryn.pease@usagrisoil.com

**CURRENT BOUNDARY AREA:** 223.26 AC +/- (DEED)

**TAX PARCEL NO. 132-6-95.00** 90.84 AC +/- (DEED)  
DB. 2454, PG. 163 (ACCESS TO PARCEL 'A')

**TAX PARCEL NO. 132-11.00-41.00** 124.26 AC +/- (DEED)  
DB. 2454, PG. 157

\* PARCEL 'A' = 26.62 AC +/- (AXIOM)  
\* RESIDUAL = 97.64 AC +/- (DEED)

**TAX MAP NO. 132-6.00-88.01** 8.16 AC +/- (DEED)  
DB. 2454, PG. 157 (P.O. CU, N.P.O. SUBDIVISION)

**TOTAL NO. LOTS = 1**

**DELDOT DEDICATION AREA = N/A**

**CURRENT ZONING:** AR1/CONDITIONAL USE #1962, #1691, #1314

**CURRENT USE:** RECYCLING OF POULTRY MANURE

**PROPOSED USE (PARCEL 'A'):** RECYCLING OF POULTRY MANURE

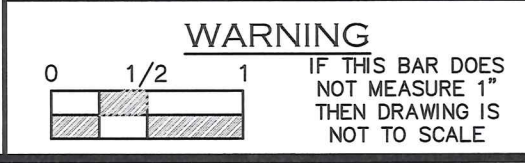
**SEWER PROVIDER:** PRIVATE

**WATER PROVIDER:** PRIVATE

**BUILDING SETBACK / AREA REGULATIONS**

**FRONT =** REQUIRED  
**SIDE =** 15'  
**REAR =** 20'  
**AREA =** 32,670 S.F.  
**WIDTH =** 100'  
**DEPTH =** 100'

- NOTES:**
- THE BOUNDARY INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PREPARED BY AXIOM ENGINEERING, L.L.C.
  - THE PORTION OF THE BOUNDARY SURVEYED BY AXIOM ENGINEERING, L.L.C., WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT.
  - THE PARCELS SHOWN HEREON, AND AS BEING AMENDED, ARE SUBJECT TO ALL CURRENT TITLE EXCEPTIONS AS RECORDED.
  - THIS SITE IS LOCATED IN A ZONE X BASED ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 1005050401 K, MAP REVISED MARCH 16, 2015, AND IS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
- DELDOT NOTES:**
- ALL ENTRANCES SHALL CONFORM TO DELDOT'S STANDARDS AND REGULATIONS FOR SUBDIVISION STREETS AND STATE HIGHWAY ACCESS AND SHALL BE SUBJECT TO APPROVAL. SHOULDER, PLANTINGS, SIGNS, AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHALL BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
  - ALL PERDUE AGRICRECYCLE PARCELS SHALL HAVE ACCESS FROM ENVIRO WAY.
  - EXISTING ENTRANCE IMPROVEMENTS AND RIGHT-OF-WAY DEDICATION SHOWN HEREON ARE BASED ON DELDOT ENTRANCE PLAN, BY McCORNE ENGINEERING, DATED 06-06-2000.



|        |                      |           |
|--------|----------------------|-----------|
| REVISE | OWNER CERTIFICATIONS | 6-26-2015 |
| REVISE | COUNTY COMMENTS      | 6-24-2015 |

**AXIOM ENGINEERING L.L.C.**  
18 CHESTNUT STREET, GEORGETOWN, DE 19947  
PH: (302) 855-0810



|             |           |
|-------------|-----------|
| ENGINEER:   | KRC       |
| DESIGNER:   | RWR       |
| DRAFTER:    | RWR       |
| CHECKED BY: | KRC       |
| DATE:       | 12/11/14  |
| TAX MAP:    | 132-11-41 |

**SEAFORD AGRISOIL FACILITY**  
28338 ENVIRO WAY, SEAFORD  
BROAD CREEK HUNDRED, SUSSEX COUNTY, DELAWARE

DRAWING: **CU-**

SHEET: **2 OF 3**



**NOTES:**

- PROCESS ENGINEERING INDICATED ON THESE PLANS WERE PREPARED BY OTHERS, AND ARE NOT THE RESULT OF ENGINEERING EFFORTS PREPARED BY AXIOM ENGINEERING, LLC. PROCESSES TO OCCUR UNDER ROOF WILL OCCUR IN THE PROPOSED 15,000 S.F. BUILDING, WHICH SHALL BE DESIGNED TO ACCOMMODATE THE COMPOSTING PROCEDURES.
- THE BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAT IS THE RESULT OF A FIELD SURVEY PREPARED BY AXIOM ENGINEERING, L.L.C.
- APPROXIMATE WETLAND AREAS SHOWN ON THIS PLAN WERE FIELD DELINEATED BY WATERSHED ECO. NUMBERED WETLAND FLAGS IN THE PROJECT AREA ON THE FOLLOWING SHEET(S) WERE FIELD LOCATED BY AXIOM ENGINEERING IN JULY 2013. WATERS OF THE US LOCATED IN SUBSPRONG 2 OF PRONG 1 OF THE MOUNT ZION TAX DITCH WERE IDENTIFIED AS REGULATED WATERS BY WATERSHED ECO. IN THE EVENT THAT STORMWATER MANAGEMENT OUTFALLS (RIPRAP, ETC.) ENCOACH INTO REGULATED WETLANDS, PERMITS SHALL BE OBTAINED FROM THE U.S. ARMY CORPS OF ENGINEERS AND/OR THE STATE OF DELAWARE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL. NO ADDITIONAL WETLAND OR WATERS OF THE U.S. IMPACTS HAVE BEEN CONTEMPLATED FOR THIS PROJECT.
- THIS SITE IS LOCATED IN A ZONE X BASED ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 1000500401 K, MAP REVISED MARCH 16, 2015, AND IS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
- MAINTENANCE OF THE GRAVEL AND PAVED AREAS WITHIN THE SITE WILL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR THE PROPERTY OWNERS WITHIN THIS SITE. THE STATE AND COUNTY ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE PAVED AREAS WITHIN THE SITE.
- STORMWATER SHALL BE HANDLED THROUGH THE DESIGN OF AN EXTENDED DETENTION POND THAT WILL BE LOCATED ON SITE. THE MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITY CONSTRUCTED WITHIN THIS SITE SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE SITE.
- WATER AND WASTEWATER WILL BE PROVIDED BY PROPOSED PRIVATE WELL AND SEPTIC SYSTEM.
- THE PROPOSED BUILDING WILL BE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM.
- A LOCK BOX IS REQUIRED, THE LOCATION SHOWN ON THE PLAN IS SUBJECT TO CHANGE BY THE LOCAL FIRE CHIEF. CONTACT THE LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF THE BOX ON THE SITE.
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
- MAXIMUM HEIGHT OF BUILDING = 41'
- PROPOSED BUILDING CONSTRUCTION = STEEL
- PARCEL A SHALL HAVE ACCESS FROM THE EXISTING PRIVATE ROAD, ENVIRO WAY, THROUGH THE ADJACENT PROPERTY, SUSSEX COUNTY TAX MAP 1-32-6, PARCEL 95.

**PROPOSED CONDITIONS APPLICABLE TO PARCEL A ONLY - LANDS TO BE CONVEYED TO SEAFORD AGRISOIL, LLC OR ASSIGNS:**

- THE CONDITIONS OF PREVIOUSLY APPROVED CU #1314 AND CU #1691 ARE UNCHANGED BY THIS APPROVAL, UNLESS SPECIFICALLY MODIFIED HEREIN.
- THE USE SHALL BE STRICTLY LIMITED TO THE IMPROVEMENTS SHOWN ON THIS SITE PLAN PROPOSED BY AXIOM ENGINEERING, L.L.C. ANY FUTURE ADDITIONS, ALTERATIONS OR IMPROVEMENTS TO THE SITE PLAN SHALL BE SUBJECT TO AN APPLICATION AND PUBLIC HEARING TO AMEND THIS CONDITIONAL USE.
- ANY RAILS CARS ACROSSING THE SITE SHALL BE CLEANED AT AN OFF-SITE LOCATION.
- THE NOISE AND ODOR EMISSIONS FROM THE OPERATIONS OF THE COMPOSTING FACILITY SHALL NOT EXCEED MINIMUM STANDARDS ESTABLISHED BY D.N.R.E.C. OR ANY OTHER AGENCY HAVING JURISDICTION OVER THE PROJECT. THE ODORS SHALL BE CONTROLLED BY NEGATIVE AIR PRESSURE IN THE RECEIVING BUILDING AND A BIO FILTER AND BY THE GORE COVER SYSTEM OR APPROVED EQUAL.
- THE LANDS ON THE SITE PLAN SURROUNDING THE COMPOSTING FACILITY SHALL REMAIN WOODED NORTH OF THE TRUCK ENTRANCE. THE LOCATION OF ALL WOODED, VEGETATIVE AND BUFFER AREAS SHALL BE SHOWN ON THE FINAL SITE PLAN.
- AS PROPOSED BY THE APPLICANT, ALL WOODED AREAS OUTSIDE OF THE APPROXIMATELY 20 ACRE PROJECT AREA SHALL REMAIN AS WOODLANDS. CUT-OVER WOODLANDS SHALL BE ALLOWED TO MATURE.
- ANY LIGHTING ON THE SITE SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT ILLUMINATE ON NEIGHBORING PROPERTIES OR ROADWAYS.
- ALL TRUCKS ENTERING THE SITE MUST BE COVERED.
- THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.

**SITE DATA:**

OWNER: PERDUE AGRIRECYCLE, LLC  
P.O. BOX 1537  
SALISBURY, MD 21802-1537

APPLICANT/DEVELOPER: SEAFORD AGRISOIL, LLC  
28338 ENVIRO WAY  
SEAFORD, DE 19973  
C/O: CHARLES GIFFORD  
(401) 644-7200

charles.gifford@usagrisoil.com

TOTAL SITE AREA: 26.63 AC. +/-  
DEVELOPMENT AREA, 124.27 AC. +/- TOTAL

CURRENT ZONING: AR1/CONDITIONAL USE #1962

PROPOSED USE: COMPOSTING  
FACILITY  
PROPOSED CONSTRUCTION TYPE: ASPHALT PAD  
PROPOSED BUILDING AREA: 16,250 S.F.  
PARKING SPACES REQUIRED: 16  
PARKING SPACES PROVIDED: 16 (1 ADA, 15 STD)

**BUILDING SETBACK / AREA REGULATIONS**

REQUIRED

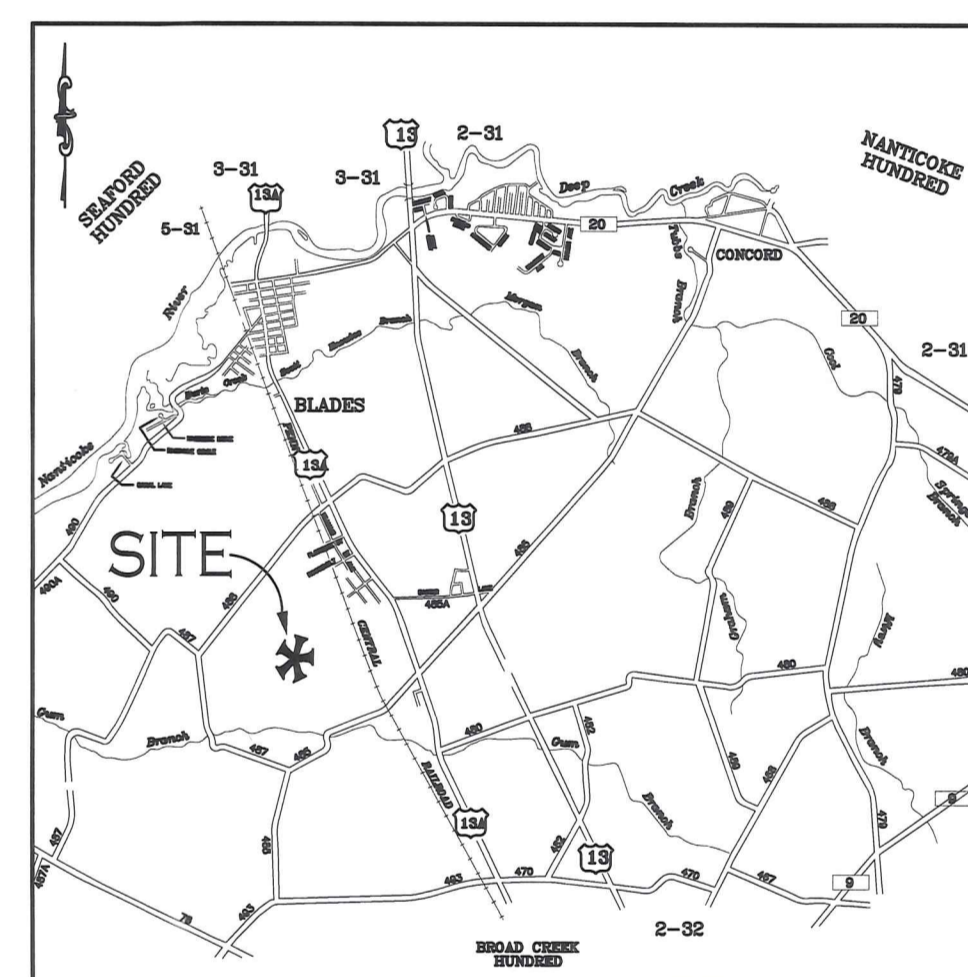
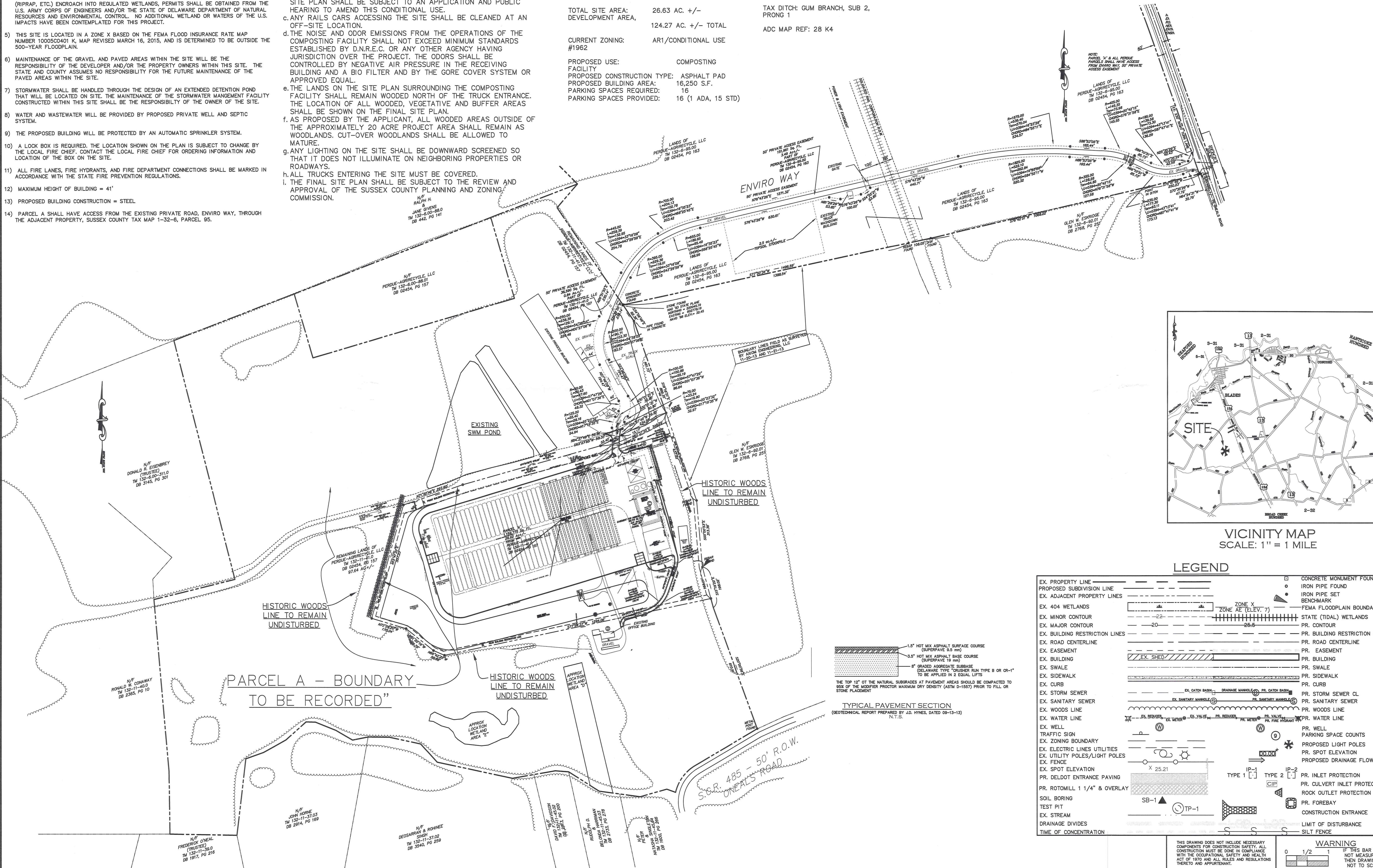
FRONT = 40'  
SIDE = 15'  
REAR = 20'  
AREA = 20,000 S.F.  
WIDTH = 100'  
DEPTH = 100'

WATERSHED: NANTICOKE RIVER, LOWER

TAX DITCH: GUM BRANCH, SUB 2, PRONG 1

ADC MAP REF: 28 K4

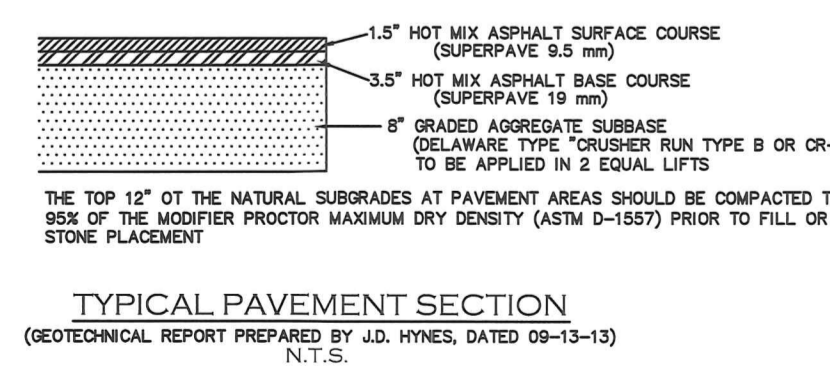
| LINE TABLE |             |          | LINE TABLE |             |          | LINE TABLE |             |          | LINE TABLE  |             |          |                     |
|------------|-------------|----------|------------|-------------|----------|------------|-------------|----------|-------------|-------------|----------|---------------------|
| LINE       | BEARING     | DISTANCE | LINE       | BEARING     | DISTANCE | LINE       | BEARING     | DISTANCE | LINE        | BEARING     | DISTANCE |                     |
| L1         | S40°43'26"W | 148.50'  | L11        | N82°21'45"W | 196.42'  | L21        | N68°13'46"W | 104.81'  | L31         | N14°20'30"W | 1168.72' |                     |
| L2         | S34°16'34"E | 555.11'  | L12        | N57°58'49"W | 171.37'  | L22        | N88°34'16"W | 44.70'   | L32         | N69°00'17"E | 612.41'  |                     |
| L3         | S34°16'34"E | 92.40'   | L13        | N85°41'15"W | 63.24'   | L23        | S47°57'00"W | 128.04'  | L33         | S16°21'14"E | 316.55'  |                     |
| L4         | S19°16'34"E | 899.25'  | L14        | S80°04'55"W | 207.10'  | L24        | S60°53'11"W | 122.28'  | L34         | N73°58'46"E | 938.80'  |                     |
| L5         | S05°01'34"E | 313.50'  | L15        | N77°58'00"W | 365.05'  | L25        | S70°27'36"W | 88.79'   | L35         | N16°21'14"W | 397.64'  |                     |
| L6         | S15°16'34"E | 198.00'  | L16        | N42°28'04"W | 116.93'  | L26        | S06°44'22"W | 364.56'  | L36         | N69°00'17"E | 441.07'  |                     |
| L7         | S20°01'34"E | 610.94'  | L17        | N78°00'46"W | 151.11'  | L27        | N88°59'44"W | 318.35'  | CURVE TABLE |             |          |                     |
| L8         | S52°29'04"W | 343.06'  | L18        | N89°21'16"W | 101.52'  | L28        | N07°55'52"W | 293.01'  |             |             |          |                     |
| L9         | N70°08'27"W | 44.71'   | L19        | S71°38'39"W | 75.58'   | L29        | N05°02'58"W | 817.39'  | CURVE       | LENGTH      | RADIUS   | CHORD               |
| L10        | S73°58'02"W | 131.15'  | L20        | N59°48'00"W | 91.92'   | L30        | N76°03'15"E | 396.08'  | C1          | 162.09      | 199.38   | S36°12'00"W 157.67' |



VICINITY MAP  
SCALE: 1" = 1 MILE

**LEGEND**

|                                |                                |
|--------------------------------|--------------------------------|
| EX. PROPERTY LINE              | CONCRETE MONUMENT FOUND        |
| PROPOSED SUBDIVISION LINE      | IRON PIPE FOUND                |
| EX. ADJACENT PROPERTY LINES    | IRON PIPE SET                  |
| EX. 404 WETLANDS               | BENCHMARK                      |
| EX. MINOR CONTOUR              | FEMA FLOODPLAIN BOUNDARY       |
| EX. MAJOR CONTOUR              | STATE (TIDAL) WETLANDS         |
| EX. BUILDING RESTRICTION LINES | PR. CONTOUR                    |
| EX. ROAD CENTERLINE            | PR. BUILDING RESTRICTION LINES |
| EX. EASEMENT                   | PR. ROAD CENTERLINE            |
| EX. BUILDING                   | PR. EASEMENT                   |
| EX. SWALE                      | PR. BUILDING                   |
| EX. SIDEWALK                   | PR. SWALE                      |
| EX. CURB                       | PR. SIDEWALK                   |
| EX. STORM SEWER                | PR. CURB                       |
| EX. SANITARY SEWER             | PR. STORM SEWER CL.            |
| EX. WOODS LINE                 | PR. SANITARY SEWER             |
| EX. WATER LINE                 | PR. WOODS LINE                 |
| EX. WELL                       | PR. WATER LINE                 |
| EX. TRAFFIC SIGN               | PR. WELL                       |
| EX. ZONING BOUNDARY            | PARKING SPACE COUNTS           |
| EX. ELECTRIC LINES UTILITIES   | PROPOSED LIGHT POLES           |
| EX. UTILITY POLES/LIGHT POLES  | PR. SPOT ELEVATION             |
| EX. FENCE                      | PROPOSED DRAINAGE FLOW         |
| EX. SPOT ELEVATION             | PR. INLET PROTECTION           |
| PR. DELDOT ENTRANCE PAVING     | PR. CULVERT INLET PROTECTION   |
| PR. ROTOMILL 1 1/4" & OVERLAY  | ROCK OUTLET PROTECTION         |
| SOIL BORING                    | PR. FOREBAY                    |
| TEST PIT                       | CONSTRUCTION ENTRANCE          |
| EX. STREAM                     | LIMIT OF DISTURBANCE           |
| DRAINAGE DIVIDES               | SILT FENCE                     |
| TIME OF CONCENTRATION          |                                |



THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO AND APPURTENANT.

**WARNING**  
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE

**AXIOM ENGINEERING LLC**  
18 CHESTNUT STREET, GEORGETOWN, DE 19947  
PH: (302) 855-0810  
FAX: (302) 855-0812  
E-MAIL: AXIOM@AXIOM.COM  
WEB: WWW.AXIOM.COM

**SEAFORD AGRISOIL FACILITY**  
28338 ENVIRO WAY, SEAFORD  
BROAD CREEK HUNDRED, SUSSEX COUNTY, DELAWARE

**CONDITIONAL USE SITE PLAN**

DRAWING: **CU-3**

SHEET: **3 OF 3**

PROJECT NO: **0234-1301**

SCALE: **1" = 200'**

TAX MAP: **1-32-11, 41**

DATE: **12/4/2014**

CHECKED BY: **KRC**

DESIGNER: **RWR**

DRAWN: **RWR**

ENGINEER: **KRC**

REVISION RECORD

| NO. | DESCRIPTION                           | DATE      | BY  | CHKD | APPVD |
|-----|---------------------------------------|-----------|-----|------|-------|
| 1   | REVISE OWNER CERTIFICATIONS           | 6-26-2015 | KRC | KRC  |       |
| 2   | COUNTY COMMENTS                       | 6-24-2015 | RWR | RWR  |       |
| 3   | UPDATE DEVELOPER & FEMA MAP REFERENCE | 6-16-2015 | RWR | RWR  |       |
| 4   | REVISION RECORD                       |           |     |      |       |

**SITE INFORMATION:**

SITE ADDRESS:  
2855 LEWES-GEORGETOWN HIGHWAY  
LEWES, DE 19958  
TAX MAP #: 334-4.00-37.01

OWNER/DEVELOPER:  
CAPSTONE OFFICE, LLC  
P.O. BOX 212, LEWES, DE 19958  
C/O JAKE BOOTH  
302-644-1400

ENGINEER:  
PENNONI ASSOCIATES, INC.  
18072 DAVIDSON DRIVE  
MILTON, DE 19968

**KEYED NOTES**

- S1 EXISTING TREES TO BE CUT BACK ALONG PROPERTY LINE TO THIS POINT
- S2 5' WIDE CONCRETE SIDEWALK (SEE DETAIL 7/CS6001)
- S3 PROPOSED HANDICAP SPACE WITH SIGN MOUNTED ON POST
- S4 EDGE OF GRAVEL (TYP.)
- S5 PROPOSED PARKING BUMPERS (TYP., SEE DETAIL 9/CS6001)
- S6 PROPOSED VEGETATED SWALE
- S7 LIGHT DUTY PAVEMENT (SEE DETAIL 6/CS6001)
- S8 PROPOSED BUSINESS SIGN (32 SF)
- S9 DWS - ADA ACCESS
- S10 EXPANDED GRAVEL PARKING AREA FOR EMPLOYEES ONLY
- S11 EMERGENCY STAIR ACCESS
- S12 PROPOSED 40' X 12' LOADING ZONE
- S13 PROPOSED CONCRETE DUMPSTER PAD
- S14 PROPOSED CONCRETE DUMPSTER PAD TO BE ENCLOSED BY 8' HIGH VINYL PRIVACY FENCE (OWNER TO DECIDE FENCING COVER AND STYLE)

**FIRE MARSHAL SITE DATA:**

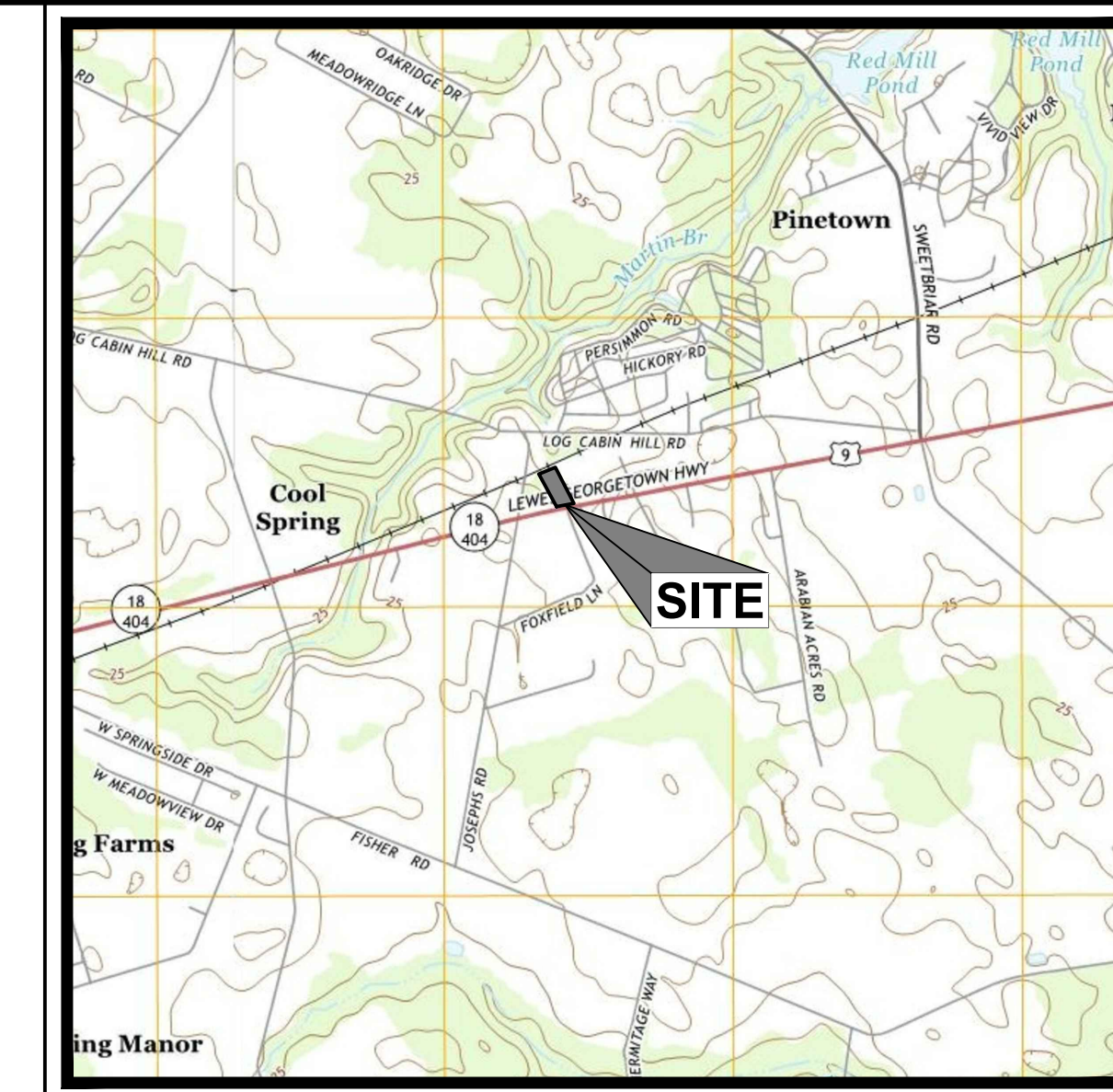
- SUBDIVISION NAME/ADDRESS: 2855 LEWES-GEORGETOWN HIGHWAY, LEWES, DE 19958, LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DELAWARE
- OWNER INFORMATION: CAPSTONE OFFICE, LLC, P.O. BOX 212, LEWES, DE 19958, C/O JAKE BOOTH, 302-644-1400. DEVELOPER INFORMATION: CAPSTONE HOMES, 18334 COASTAL HIGHWAY, LEWES, DE 19958, PHONE: (302)-644-4480.
- WATER SUPPLIER: PRIVATE WELL
- MAXIMUM BUILDING HEIGHT: 42'
- AUTOMATIC SPRINKLERS: NO
- FIRE DISTRICT: LEWES FIRE CO. (FIRE STATION 82)

**NOTES:**

- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
- ALL ACCESS TO DWELLINGS SHALL BE CLEARED A MINIMUM OF 15' WIDE.
- ALL DWELLINGS TO BE WOOD FRAME CONSTRUCTION WITH A MAXIMUM BUILDING HEIGHT OF ONE STORY, NOT TO EXCEED 42'.

**SITE DATA:**

- TAX MAP NUMBER: 334-4.00-37.01
- DEED REFERENCE: DEED BOOK 2577, PG 9
- DEVELOPER NAME: CAPSTONE OFFICE, LLC
- DEVELOPER ADDRESS: P.O. BOX 212, LEWES, DE 19958, C/O JAKE BOOTH, 302-644-1400
- SITE ADDRESS: 2855 LEWES-GEORGETOWN HIGHWAY, LEWES, DE 19958
- CURRENT ZONING: C-2 (MEDIUM COMMERCIAL) (APPROVED ORDINANCE NO. 2697, CZ1897, DATE DECEMBER 17, 2019)
- PROPOSED ZONING: C-2 (MEDIUM COMMERCIAL)
- PRESENT USE: RESIDENTIAL (1,600 SF)
- PROPOSED USE: COMMERCIAL OFFICE (1,600 SF), SALES / DESIGN CENTER (7,020 SF), 1ST FLOOR (5,120 SF), 2ND FLOOR (1,900 SF)
- PROPOSED SETBACKS (ZONE C-2): FRONT - 60 FEET, SIDE - 5 FEET, REAR - 30 FEET. (A 20' SIDE SETBACK IS REQUIRED WHEN ADJACENT TO RESIDENTIAL ZONING DISTRICTS. A 30' REAR SETBACK IS REQUIRED WHEN ADJACENT TO RESIDENTIAL ZONING DISTRICTS.)
- BUILDING HEIGHT: 42' ALLOWED
- PARKING (ARTICLE XXII: OFF-STREET PARKING, CODE SECTION 115-162): OFFICES, OFFICE BUILDINGS: 1 PER 200 SF = 8 SPACES; SALES CENTER/SHOWROOM: 1 PER 400 SF = 18 SPACES; TOTAL REQUIRED SPACES: 26 SPACES. PROVIDED SPACES: HANDICAP SPACES: 2 SPACES; LOADING SPACE: 1 SPACE.
- WATER SUPPLY: PROPOSED PRIVATE ON-SITE WELL (BOTH BUILDINGS TO BE SERVICED BY NEW RELOCATED WELL). WATER IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENTS OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DIVISION OF PUBLIC HEALTH.
- SEWER SUPPLY: PROPOSED PRIVATE ON-SITE SEPTIC.
- LATITUDE AND LONGITUDE STATE PLAN COORDINATES: LONGITUDE: W075° 14' 12.69" LATITUDE: N038° 44' 4.57"
- TOTAL AREA (GROSS): 1.97± ACRES. MINIMUM LOT AREA: 32,670 SF. MINIMUM LOT WIDTH: 100 FT. MINIMUM LOT DEPTH: 100 FT.
- NET DEVELOPMENT AREA: 1.80± AC.
- WETLAND AREA: 0.00± AC. (DNREC NAVMAP)
- PROPOSED DISCHARGE LOCATION: INFILTRATION BASIN, BROADKILL RIVER WATERSHED
- LIMIT OF DISTURBANCE: 1.53± AC.
- SITE CALCULATIONS: BUILDING AREA: EX = 22,614 SF (±0.06 AC.), PR = 27,841 SF (±0.18 AC.); GRASS AREA: EX = 264,904 SF (±1.49 AC.), PR = 251,712 SF (±1.19 AC.); PAVEMENT/STONE AREA: EX = 46,098 SF (±0.14 AC.), PR = 415,806 SF (±0.36 AC.); WOODED AREA: EX = 412,197 SF (±0.28 AC.), PR = 410,454 SF (±0.24 AC.); TOTAL: EX = 285,813 SF (±1.97 AC.), PR = 285,813 SF (±1.97 AC.)
- STATE INVESTMENT LEVEL: LEVEL 4 COMMERCIAL AREA. SCHOOL DISTRICT: CAPE HENlopen. LEWES (STATION 82-STATION 2)
- DATUM: HORIZONTAL = NAD83, VERTICAL = NAVD88
- FLOOD ZONE: FEMA RATE NUMBER 10005CO326J, SCHOOL DISTRICT: LEWES (STATION 82-STATION 2), REVISIED JANUARY 6TH, 2005.
- LOCAL GOVERNMENT RESPONSIBLE FOR LAND USE APPROVAL OF SUSSEX COUNTY



**VICINITY MAP**  
Scale: 1" = 2000'

**LEGEND**

| EXISTING | PROPOSED | DESCRIPTION               |
|----------|----------|---------------------------|
| [Symbol] | [Symbol] | BUILDING                  |
| [Symbol] | [Symbol] | FULL DEPTH PAVEMENT       |
| [Symbol] | [Symbol] | CURB                      |
| [Symbol] | [Symbol] | EDGE OF PAVEMENT          |
| [Symbol] | [Symbol] | EDGE OF GRAVEL            |
| [Symbol] | [Symbol] | UTILITY EASEMENT          |
| [Symbol] | [Symbol] | PERMANENT EASEMENT        |
| [Symbol] | [Symbol] | FENCE                     |
| [Symbol] | [Symbol] | POWER, UTILITY POLE       |
| [Symbol] | [Symbol] | PROPERTY LINE             |
| [Symbol] | [Symbol] | LEGAL RIGHT-OF-WAY        |
| [Symbol] | [Symbol] | PROPERTY, CORNER FOUND    |
| [Symbol] | [Symbol] | PROPERTY, ADJOINING LINED |
| [Symbol] | [Symbol] | SITE, MAIL BOX            |
| [Symbol] | [Symbol] | SITE, TRAFFIC SIGN        |
| [Symbol] | [Symbol] | SOIL BOUNDARY             |
| [Symbol] | [Symbol] | VEGETATED SWALE           |
| [Symbol] | [Symbol] | SOIL LABEL                |
| [Symbol] | [Symbol] | WELL                      |
| [Symbol] | [Symbol] | SOIL BORING               |
| [Symbol] | [Symbol] | SPOT ELEVATION            |
| [Symbol] | [Symbol] | MARKING, HANDICAP PARKING |
| [Symbol] | [Symbol] | LIGHT POLE                |
| [Symbol] | [Symbol] | EXISTING CONIFER TREE     |
| [Symbol] | [Symbol] | EXISTING OAK TREE         |

**BUILDING USE AND CONSTRUCTION**

| BUILDING | USE                            | CONSTRUCTION TYPE               | SF    | SPRINKLER |
|----------|--------------------------------|---------------------------------|-------|-----------|
| A        | EXISTING DWELLING TO BE OFFICE | 2-STORY TYPE V (000) WOOD FRAME | 1,600 | NO        |
| B        | PROPOSED SALES CENTER          | 2-STORY TYPE V (000) WOOD FRAME | 5,120 | NO        |

**OWNER/DEVELOPER CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE: ALAN DECKTOR, PE (DE PE#17711)  
CAPSTONE OFFICE, LLC  
P.O. BOX 212  
LEWES, DELAWARE 19958  
(302) 644-1400

**ENGINEER CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE COMPLIES WITH APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SIGNATURE: ALAN DECKTOR, PE (DE PE#17711)  
PENNONI ASSOCIATES, INC.  
18072 DAVIDSON DRIVE  
MILTON, DE 19968  
OFFICE (302) 684-8030 - FAX (302) 684-8054

**CAPSTONE HOMES SALES CENTER**  
2855 LEWES-GEORGETOWN HIGHWAY  
LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DE

**PRELIMINARY RECORD PLAN**

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

**Pennonni**  
PENNONI ASSOCIATES, INC.  
18072 Davidson Drive  
Milton, DE 19968  
T 302.684.8030 F 302.684.8054

| DATE       | NO. | REVISIONS                | BY | TPM |
|------------|-----|--------------------------|----|-----|
| 2020-03-19 | 1   | REVISED PER P&Z COMMENTS |    |     |

|               |            |
|---------------|------------|
| PROJECT       | PDYER19001 |
| DATE          | 2019-12-13 |
| DRAWING SCALE | 1" = 30'   |
| DRAWN BY      | SJD        |
| APPROVED BY   | AMD        |
| <b>RP1001</b> |            |
| SHEET         | 1 OF 2     |

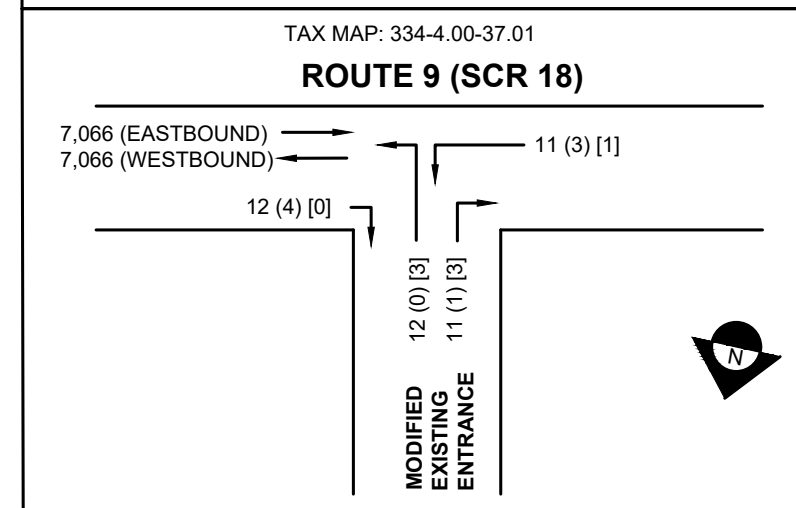
**GENERAL NOTES:**

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY OWNER.
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN THE PLAN.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE REJECTED.
- ALL MATERIALS SHALL BE NEW AND SHALL BE ASBESTOS AND VERMICULITE FREE.
- THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE, OR MODIFY ANY EROSION AND SEDIMENT CONTROL MEASURES AS THEY DEEM NECESSARY.
- ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY, BUT NOT IN PAVEMENT, SHALL BE TOP-SOILED (6" MINIMUM), FERTILIZED AND SEEDED.
- THE ENTRANCES/EXITS ARE PROPOSED ONLY, AND ARE SUBJECT TO REVIEW AND APPROVAL BY THE DELAWARE DEPARTMENT OF TRANSPORTATION BEFORE A CONSTRUCTION PERMIT IS ISSUED.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO BE PERFORMED. IT MUST BE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO FIELD LOCATE AND RECORD AND DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REMOVED OR REPLACED, ENGINEER TO VERIFY LOCATION AND EXTENT OF DAMAGE.
- DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REPLACED OR REMOVED DURING CONSTRUCTION SHALL BE IMMEDIATELY REPORTED TO ENGINEER. CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED WORK WITHOUT CHARGE TO THE OWNER.
- BASED UPON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 10005C0326J, EFFECTIVE DATE JANUARY 6, 2005, THE ENTIRE PROPERTY IS LOCATED IN AN AREA DESIGNATED AS FLOOD ZONE "X" (UNSHADED), WHICH IS AN AREA THAT HAS BEEN DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
- THE SUBJECT SITE WILL BE CONSTRUCTED AS ONE PHASE.
- TOTAL AREA FOR SUBJECT SITE IS 1.97 ACRES.
- SURVEY DATUM: HORIZONTAL - NAD83, VERTICAL - NAVD88.
- BUILDING LIGHTING TO BE PROVIDED WITH BUILDING PLANS. NO PARKING LOT LIGHTS ARE PROPOSED.
- ALL SITE LIGHTING SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
- NO WETLANDS ARE FOUND TO BE ON SITE PER THE DNREC NAVMAP ONLINE MAPPING SYSTEM.
- STORMWATER WILL BE HANDLED BY THE EXISTING SURFACE STORMWATER SYSTEM. THE MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITY WITHIN THE SITE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
- ALL FIRE LANES, EXITS, STANDPIPE AND SPRINKLER CONNECTIONS WILL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS. EXISTING BUILDING CONSTRUCTION IS STEEL, CONCRETE, AND WOOD, ONE STORY AND WILL NOT HAVE SPRINKLERS.
- FIRE ALARM REQUIRED - THE FIRE ALARM SIGNALING SYSTEM SHALL BE AUTOMATIC, SUPERVISED OFF-SITE, AND SHALL CONSIST OF FULL COVERAGE BY SMOKE DETECTION AND ALARM NOTIFICATION. WHERE SMOKE DETECTION DEVICES WILL NOT FUNCTION BY REASON OF DEVICE LIMITATION, HEAT DETECTION SHALL BE PROVIDED IN THOSE SPECIFIC LOCATIONS FIRE ALARM SIGNALING SYSTEM PLANS AND SPECIFICATIONS SHALL BE SUBMITTED FOR REVIEW.
- MISS UTILITY SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO EXCAVATION.
- MAINTENANCE OF THE STREETS WITHIN THE SITE WILL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR PROPERTY OWNERS WITHIN THE SITE. THE STATE AND COUNTY ASSUME NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- SANITARY SEWER FOR THIS SITE WILL USE THE EXISTING SEPTIC.
- WATER FOR THIS SITE WILL BE PROVIDED BY AN EXISTING ON-SITE WELL.
- PER CHAPTER 115, ZONING ARTICLE XXVII, THE TOPOGRAPHIC CONTOURS AT ONE-FOOT INTERVALS WILL BE ADDED TO THE GRADING AND UTILITY PORTION OF THE PLANS. THE PROPOSED SITE WILL BE A RELATIVELY FLAT WITH SURFACE RUNOFF TO THE EXISTING POND.
- THE HEIGHT, LOCATION, AND MATERIAL OF ALL FENCES, WALLS, SCREEN PLANTING AND LANDSCAPING WILL BE SHOWN ON THE FINAL SITE PLAN.
- ANY PROPOSED SIGN DETAILS WILL BE SUBMITTED SEPARATELY.

**DELDOT RECORD NOTES, 3-21-2019:**

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
- THIS COMMERCIAL PARCEL HAS DIRECT FRONTAGE ALONG LEWES-GEORGETOWN HIGHWAY, ROUTE 9, WHICH HAS A FUNCTIONAL CLASSIFICATION OF PRINCIPAL ARTERIAL AS DEFINED BY THE STATE OF DELAWARE'S DEPARTMENT OF TRANSPORTATION. PER SECTION 3.6.1 OF THE DELDOT DEVELOPMENT COORDINATION MANUAL (DCM) IT IS THE DEVELOPER'S RESPONSIBILITY TO EVALUATE NOISE LEVELS AND THEIR IMPACTS ON PROPOSED DEVELOPMENT. FOR PROJECTS ADJACENT TO EXISTING TRANSPORTATION FACILITIES WITH THIS FUNCTIONAL CLASSIFICATION, ROADWAYS WITH THIS CLASSIFICATION CAN BE EXPECTED TO GENERATE ELEVATED LEVELS OF ROAD AND TRAFFIC RELATED NOISE. SIMILAR TO WHAT CAN BE EXPECTED IN URBAN AREAS. A DETAILED NOISE ANALYSIS PER DCM 3.6 IS TYPICALLY RECOMMENDED TO HELP GAUGE THE ACTUAL IMPACTS THAT ROADWAY RELATED NOISE MAY HAVE ON VARIOUS POTENTIAL LAND USES (SUCH AS THOSE DESCRIBED IN DCM FIGURE 3.6.3.A: NOISE ABATEMENT CRITERIA) WITH THE INCLUSION OF THIS NOTE, THE DEVELOPER IS ACKNOWLEDGING THAT THE PROPOSED SITE AND/OR BUILDING LOCATION CAN BE EXPECTED TO EXCEED THE SPECIFIC MAXIMUM NOISE LEVELS FOR CERTAIN COMMERCIAL AND NON-RESIDENTIAL USES AS SHOWN IN DCM FIGURE 3.6.3.A. THE DEVELOPER'S WAIVER OF THE NOISE ANALYSIS AND REVIEW OF POTENTIAL NOISE MITIGATION MEASURES ARE SUPPORTED BY THE INFESIBILITY OF APPLYING NOISE MITIGATION MEASURES, BASED ON ENGINEERING CONSIDERATIONS AND FACTORS THAT WOULD LIMIT THE ABILITY TO ACHIEVE SUBSTANTIAL NOISE REDUCTION, RELATED TO THE COMMERCIAL USE OF THE SITE AND/OR BUILDINGS. THIS WAIVER ACKNOWLEDGES THAT THE DECIBEL LEVEL FOR THIS PARCEL MAY EXCEED THE APPLICABLE LIMITS FOR SOME CURRENT OR FUTURE PROPOSED USES. THE USE OF THIS NOTE SIGNIFIES THE SUBDIVISION ENGINEER'S CONCURRENCE WITH WAIVING THE DEVELOPER'S COMPLETION OF A DETAILED NOISE STUDY AND SUBSEQUENT REVIEW OF RESULTING NOISE ABATEMENT FINDINGS OR MITIGATION MEASURES. ANY FUTURE COMPLAINTS RELATING TO EXISTING OR FUTURE NOISE LEVELS IMPACTING PROPOSED USES ON THIS SITE AND ALONG THIS EXISTING TRANSPORTATION FACILITY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OR LAND OWNER OR BOTH.

**TRAFFIC GENERATION - US ROUTE 9 - LEWES GEORGETOWN HIGHWAY (SCR 18)**  
(FULL MOVEMENT)



**ROAD TRAFFIC DATA:**  
FUNCTIONAL CLASSIFICATION - S18 (LEWES-GEORGETOWN HIGHWAY) - PRINCIPAL ARTERIAL  
POSTED SPEED LIMIT - 50 MPH  
AADT = 14,132 TRIPS (FROM 2018 DELDOT TRAFFIC SUMMARY)<sup>1</sup>  
10 YEAR PROJECTED AADT = 1.15 x 14,132 TRIPS = 16,353 TRIPS<sup>2</sup>  
10 YEAR PROJECTED AADT + SITE ADT = 16,439 TRIPS  
TRAFFIC PATTERN GROUP = 8 (FROM 2018 DELDOT TRAFFIC SUMMARY)  
PEAK HOUR - 11.70% x 16,353 TRIPS = 1,918 TRIPS<sup>2</sup>  
TRUCK VOLUME - 09.69% x 16,353 = 1,588 TRUCKS<sup>2</sup>

**SITE TRAFFIC DATA:**  
SOURCE: ITE TRIP GENERATION MANUAL 10TH EDITION  
EXISTING LAND USE:  
SINGLE FAMILY DETACHED HOUSING (ITE 210) [1,800 SF]  
1 UNIT - Ln(T)=0.92Ln(X)+2.71 = 15 TRIPS (WEEKDAY)  
1 UNIT - Ln(T)=0.94Ln(X)+2.56 = 13 TRIPS (SATURDAY)  
PEAK HOUR OF ADJACENT STREET TRAFFIC:  
AM: T=0.71(X)+4.80 = 6 TRIPS (WEEKDAY) [25%/75%]  
PM: Ln(T)=0.96Ln(X)+0.20 = 2 TRIPS (WEEKDAY) [63%/37%]

**TRAFFIC GENERATION DIAGRAM**

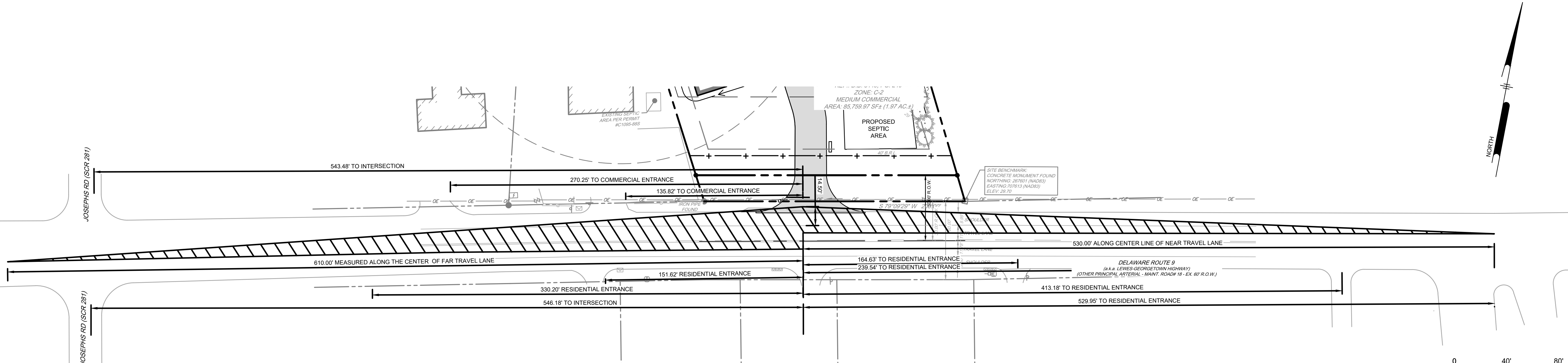
ADT PEAK HOUR (A.M.) [P.M.]

- <sup>1</sup> DIRECTIONAL DISTRIBUTIONS PROVIDED BY DELDOT
- <sup>2</sup> DIRECTIONAL DISTRIBUTIONS PROVIDED BY ITE MANUAL

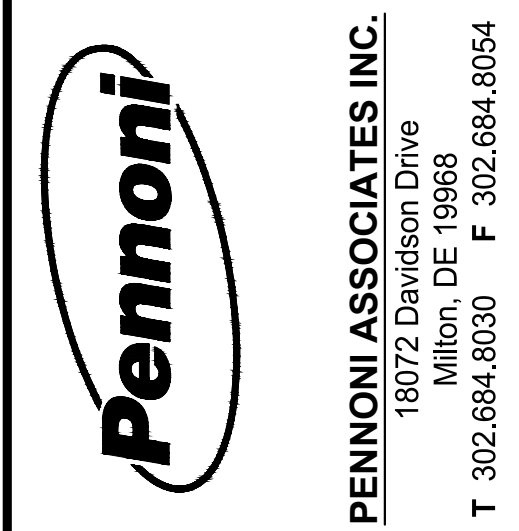
DESIGN VEHICLE: SU40

**PROPOSED LAND USE:**  
1,020 SF OFFICE, GENERAL LIGHT INDUSTRIAL (ITE 110) (HOUSE CONVERTED TO OFFICE)  
7,020 SF SALES CENTER - GENERAL LIGHT INDUSTRIAL (ITE 110)  
8.6 KSF - AVG. RATE - 4.96 = 46 TRIPS (WEEKDAY) [50%/50%] (23-23)  
PEAK HOUR OF ADJACENT STREET TRAFFIC:  
AM: Ln(T)=0.74Ln(X)+0.39 = 8 TRIPS (WEEKDAY) [88%/12%] (7-1)  
PM: Ln(T)=0.69Ln(X)+0.43 = 7 TRIPS (WEEKDAY) [13%/87%] (1-6)  
DIRECTIONAL DISTRIBUTION:  
OVERALL (50% FROM THE EAST, 50% FROM THE WEST)  
OVERALL TOTAL 46 TRIPS = ADT  
[PROPOSED SITE TRUCK TRAFFIC = 5 TRIPS (10%)]

U:\Account\PDYER\19001 - Capstone Homes Center\DESIGN\_SHEETS\19002.dwg PLOTTED: 3/19/2020 3:44 PM BY: Van McQuinn PROJECT STATUS: -



**SIGHT DISTANCE TRIANGLE**  
SCALE: 1" = 40'



**PENNONI ASSOCIATES INC.**  
18072 Davidson Drive  
Milton, DE 19968  
T 302.684.8030 F 302.684.8054

**CAPSTONE HOMES SALES CENTER**  
28855 LEWES-GEORGETOWN HIGHWAY  
LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DE

**PRELIMINARY RECORD PLAN NOTES AND DETAILS**

**CAPSTONE OFFICE, LLC**  
P.O. BOX 212  
LEWES, DE 19958

| NO. | DATE       | REVISIONS                | TPM | BY |
|-----|------------|--------------------------|-----|----|
| 1   | 2020-03-19 | REVISED PER PAZ COMMENTS |     |    |

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

|               |            |
|---------------|------------|
| PROJECT       | PDYER19001 |
| DATE          | 2019-12-13 |
| DRAWING SCALE | AS SHOWN   |
| DRAWN BY      | SJD        |
| APPROVED BY   | AMD        |
| <b>RP1002</b> |            |
| SHEET         | 2 OF 2     |

Michael R. Wigley, AIA, LEED AP  
W. Zachary Crouch, P.E.  
Michael E. Wheediston, AIA  
Jason F. Loar, P.E.  
Ring W. Lardner, P.E.  
Jamie L. Sechler, P.E.

April 9, 2020

Sussex County Planning and Zoning  
2 The Circle  
Georgetown, DE 19947

Attn: Christin Headley  
Planner I

RE: Tanger Fitness Center (S-20-12)  
Revised Preliminary Plan Submission  
Tax Parcel: 3-34-13.00-325.36  
DBF # 1360C002

Dear Ms. Headley:

On behalf of our client, COROC/RehboothIII L.L.C., we are pleased to submit revised plans per your comment letter dated March 25, 2020. We offer the following item-by-item response:

1. *Staff notes that there are 49 proposed parking spaces within the front yard setback. The applicant will need to request approval from the Planning and Zoning Commission to allow for parking within the front yard setback. **Attached to this response is a request to allow for parking within the front yard setback.***
2. *Staff notes there is only 2 handicap parking spots shown while 148 parking spots are proposed. Through ADA compliance 101 to 150 parking spots provided would require a minimum of 5 handicap parking spots. **We have revised the parking and are providing six ADA compliant parking spaces.***
3. *Please include the dimensions, setbacks, and height of the proposed building (§115-220 (B)(8)). **We have added the dimension of the proposed building and setbacks. The height of the building is unknown at this time.***
4. *Staff notes the dumpster on the property does not meet the setback requirements as stated in §115-170.1 (C)(2)(A)). Applicant will need to request approval from the Planning and Zoning Commission to allow for this enclosure in the rear yard setback. **Attached to this response is a request to allow for parking within the rear yard setback.***

5. *Please note that adequate lighting shall be provided if the parking is to be used at night. The light shall be arranged and installed to minimize glare on property in a residential area (§115-166(G)).* **We have preliminarily shown parking lot lighting and will ensure that the light glare does not extend past the rear property line.**
6. *Please note that adequate screening shall be provided when parking areas for 10 or more automobiles are located closer than 50 feet to a lot in a residential district. There shall be a continuous visual screen with a minimum height of six feet (§115-166(H)).* **We have added landscaping along the rear of the property and a more detailed screening plan will be included in the final site plan.**
7. *Staff notes if parking lot landscaping will be provided, please include it in the plan (§115-166.1(B)(1)).* **We have preliminarily shown parking lot landscaping and a final landscape plan will be included in the final site plan.**
8. *Staff would recommend the addition of a bike rack.* **A bike rack has been added to the plan.**
9. *Staff would recommend the addition of striping for a pedestrian path for the continuation of the relocated trailhead access to be shown on the pavement to access the sidewalk surrounding the fitness center.* **We have added striping as requested.**
10. *Prior to approval of the Final Site Plan, approval letters or letters of no objection from the following agencies shall be submitted to the Sussex County Planning and Zoning Office:*
  - a. *Sussex Conservation District*
  - b. *Office of State Fire Marshal*
  - c. *Delaware Department of Transportation (DelDOT)*
  - d. *Sussex County Engineering Department*

**We acknowledge the Letters of No Objection or Approvals are required from the above agencies prior to receiving final site plan approval.**

Should you have any questions or need additional information, please do not hesitate to contact me at (302) 424-1441, or via email at [rwl@dbfinc.com](mailto:rwl@dbfinc.com).

Respectfully Submitted,  
*Davis, Bowen & Friedel, INC.*



Ring W. Lardner, P.E.  
Principal

# PLANET FITNESS/ TANGER - SEASIDE

## PRELIMINARY SITE PLAN REHOBOTH BEACH, LEWES & REHOBOTH HUNDRED SUSSEX COUNTY, DELAWARE MARCH, 2020 DBF PROJECT #1360C002

### SHEET INDEX

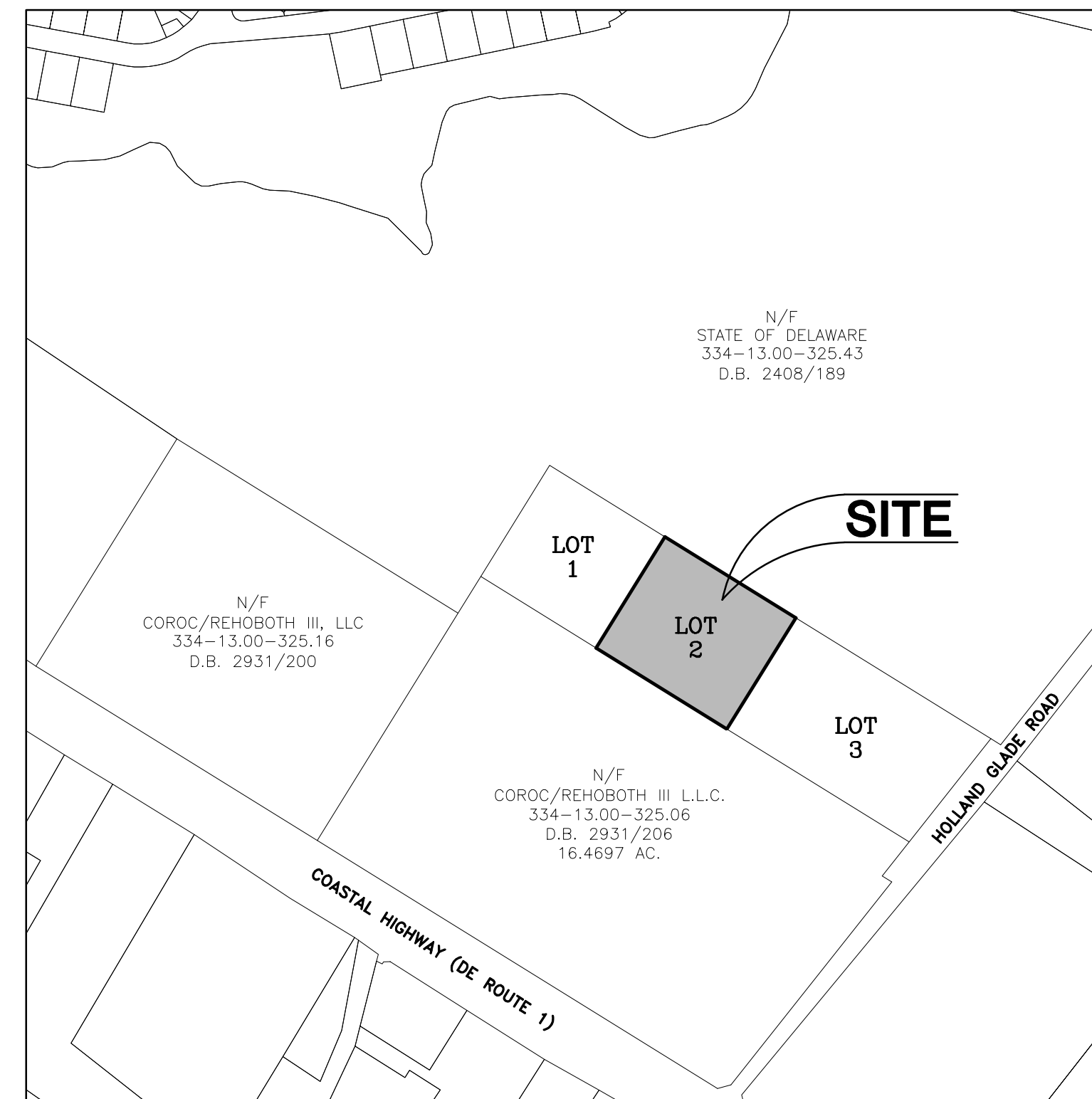
|                            |       |
|----------------------------|-------|
| PRELIMINARY - TITLE SHEET  | PL-01 |
| PRELIMINARY - SITE PLAN    | PL-02 |
| PRELIMINARY - DETAIL SHEET | PL-03 |

### DATA COLUMN

|                                  |   |   |
|----------------------------------|---|---|
| TAX MAP ID                       | :334-13.00-325.36 (LOT-2)   | PROPOSED USE: FITNESS CENTER  |
| EXISTING LAND USE                | :VACANT LAND  | PROPOSED BUILDINGS WILL BE PROTECTED BY AUTOMATIC SPRINKLER SYSTEM.   |
| EXISTING ZONING                  | :C-3  | TYPE OF CONSTRUCTION: CONCRETE BLOCK  |
| TOTAL SITE AREA                  | :2.2886 Ac.±  | ALL FIRE LANES, FIRE HYDRANTS, EXITS AND STANDPIPES WILL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS.                        |
| <b>C-3 ZONING REQUIREMENTS:</b>  |   | THE PROPERTY IS LOCATED WITHIN ZONE X - (MINIMAL FLOODING). FIRM MAP 10005C0351K (MARCH 16, 2015)   |
| MINIMUM LOT AREA                 | :10,000 SQFT  | THE SITE AS SHOWN HEREON DOES NOT CONTAIN STATE OR FEDERALLY REGULATED SECTION 10 WETLANDS. BASED ON NWI AND DNREC WETLAND MAPS.                |
| MAXIMUM BUILDING COVERAGE        | :50%  |   |
| PROPOSED BUILDING COVERAGE       | :18%  |   |
| MINIMUM LOT WIDTH                | :100'   |   |
| MINIMUM LOT DEPTH                | :100'   |   |
| MAXIMUM BUILDING HEIGHT          | :42' OR THREE STORIES   |   |
| <b>C-3 SETBACK REQUIREMENTS:</b> |   |   |
| FRONT SETBACK                    | :60'  |   |
| REAR SETBACK                     | :57' 20" IN WIDTH ON THE SIDE OF THE LOT ADJOINING A RESIDENTIAL DISTRICT |   |
| MAXIMUM IMPERVIOUS COVERAGE      | :85%  |   |
| PROPOSED IMPERVIOUS COVERAGE     | :81%  |   |
| PARKING REQUIREMENTS             | :1 PER 150 SQFT.  | OWNER/DEVELOPER<br>COROC/REHOBOTH III L.L.C.<br>3200 NORTHLINE AVE #360<br>GREENSBORO, NC 27408   |
| PARKING PROVIDED                 | :18,018 SQFT / 150 = 120 SPACES<br>:148 SPACES                            | ENGINEER/SURVEYOR<br>DAVIS, BOWEN & FRIEDEL, INC.<br>1 PARK AVENUE<br>MILFORD, DELAWARE 19963<br>302-424-1441<br>CONTACT: RING W. LARDNER, P.E. |
| FIRE DISTRICT                    | :REHOBOTH   |   |
| SCHOOL DISTRICT                  | :CAPE HENLOPEN  |   |
| LEVY COURT DISTRICT              | :3RD  |   |
| PERMANENT MONUMENTS FOUND        | :1  |   |
| PERMANENT MONUMENTS TO BE PLACED | :0  |   |
| VERTICAL DATUM                   | :NAVD 88  |   |
| UTILITIES:                       |   |   |
| WATER: TIDEWATER UTILITIES, INC. |   |   |
| SEWER: SUSSEX COUNTY             |   |   |

### GENERAL NOTES:

- HORIZONTAL AND VERTICAL CONTROL SURVEY BY DAVIS, BOWEN & FRIEDEL, INC. OF MILFORD, DELAWARE. VERTICAL/HORIZONTAL DATUM - N.A.V.D. 88 / NAD 83 RESPECTIVELY.
- EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS, INCLUDING TELEPHONE, ELECTRIC, CABLE TV, GAS, TRAFFIC SIGNAL, WATER, SEWER, FORCE MAINS AND STORM DRAINAGE ARE BASED UPON THE BEST AVAILABLE INFORMATION AND ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. NO GUARANTEE IS MADE OR IMPLIED REGARDING THE ACCURACY OR COMPLETENESS THEREOF. CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION, DEPTH, SIZE AND MATERIAL OF ALL UNDERGROUND UTILITIES TO HIS OWN SATISFACTION BEFORE BEGINNING ANY EXCAVATION OR PIPE LAYING. THE COUNTY, OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION. IF THE CONTRACTOR RELIES ON SAID INFORMATION, HE DOES SO AT HIS OWN RISK. THE GIVING OF THE INFORMATION ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO SUPPORT AND PROTECT ALL SHOWN OR NOT SHOWN EXISTING UTILITIES AND APPURTENANCES. SHOULD ANY EXISTING UTILITIES BE DAMAGED BY THE CONTRACTOR, THEN THE CONTRACTOR SHALL REPAIR THE DAMAGE CAUSED TO THE TOWN'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL MAKE HIS OWN INVESTIGATION AND TEST PIT EXISTING UTILITIES AS REQUIRED.
- CONTRACTOR SHALL NOTIFY "MISS UTILITY" (1-800-282-8555 IN DE) & (1-800-441-8355 OUTSIDE OF DE) AT LEAST 3 CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION TO HAVE EXISTING UNDERGROUND UTILITIES LOCATED AND MARKED.
- ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- USE ONLY SUITABLE AND APPROVED GRANULAR MATERIAL FOR BACK FILLING TRENCHES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF TRAFFIC IN ALL WORK AREAS IN ACCORDANCE WITH TOWN REQUIREMENTS. ANY PAVEMENT MARKINGS OR PAINTED LINES DISTURBED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED IN KIND AFTER COMPLETION OF PAVEMENT RESTORATION.
- CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL RIGHT-OF-WAY LINES AND PROPERTY LINES TO HIS OWN SATISFACTION. ALL PROPOSED UTILITIES ARE TO BE CONSTRUCTED WITHIN THE STREET RIGHT-OF-WAY OR EASEMENT AREAS PROVIDED. ANY DISTURBED AREAS BEYOND THE RIGHT-OF-WAY OR EASEMENT LINES SHALL BE RESTORED IMMEDIATELY TO THEIR ORIGINAL CONDITION.
- PAYMENT FOR THIS WORK SHALL BE INCLUDED IN THE COST OF ITEMS BID.
- CONTRACTOR SHALL PROVIDE STAKEOUT SURVEY NECESSARY FOR THE PARKING LOT CONSTRUCTION, THE INSTALLATION OF UTILITY WORK AND APPURTENANCES, AND DETERMINATION OF RIGHT-OF-WAY.
- CONTRACTOR SHALL EXERCISE CAUTION AND TAKE MEASURES NECESSARY TO PROTECT TREES DURING CONSTRUCTION ACTIVITIES. DAMAGED TREES TO BE REPLACED, IN KIND, AT THE CONTRACTOR'S EXPENSE.
- ALL ROADWAYS ARE TO BE SWEEPED FREE OF SEDIMENT ON A DAILY BASIS.
- THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE WORK AREA, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL REGULATORY, WARNING, AND INFORMATIONAL SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE. THE COST SHALL BE INCLUDED IN THE COST OF ITEMS BID.
- ALL EXISTING REGULATORY AND WARNING TYPE TRAFFIC SIGNS, AND ALL STREET NAME SIGNS OCCURRING WITHIN THE PROPOSED PROJECT LIMITS SHALL BE REMOVED AND IMMEDIATELY REPLACED AS DIRECTED BY THE TOWN.
- CONTRACTOR SHALL GRADE, TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS OF CONSTRUCTION, INCLUDING PIPE INSTALLATION OR DITCH CONSTRUCTION. EROSION CONTROL MATTING SHALL BE PROVIDED ON ALL SLOPES GREATER THAN 3:1.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- PARKING SPACES RESERVED FOR USE BY THE HANDICAPPED AND RELATED ACCESSIBLE ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE GUIDELINES ENTITLED "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES" (REFERENCE: ANSI A117.1-1998).
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND SHALL APPRAISE AND COORDINATE DURING ALL PHASES OF CONSTRUCTION:  
DAVIS, BOWEN & FRIEDEL, INC. - (302) 424-1441  
CITY OF REHOBOTH - (302)-227-6181  
SUSSEX CONSERVATION DISTRICT - (302) 856-2105



**INSET MAP**  
1" = 300'

### LEGEND

| EXISTING  | PROPOSED  |
|---|---|
| BOUNDARY LINE                                       | SANITARY SEWER MANHOLE, PIPE, FLOW ARROW, PIPE SIZE |
| ADJACENT PROPERTY OWNER                             | SANITARY SEWER LATERAL                              |
| EASEMENT  | WATER MAIN, TEE W/ VALVES, PIPE SIZE                |
| SETBACK   | GANG METER PIT, LATERAL, PIPE SIZE                  |
| ROAD CENTERLINE / BASELINE & STATIONING             | TREES   |
| CONTOUR ELEVATION AND LABEL                         | ASPHALT PAVEMENT                                    |
| CATCH BASIN, STORM PIPE, STORM MANHOLE              | CONCRETE PAVEMENT AND SIDEWALK                      |
| SANITARY SEWER MANHOLE, PIPE, FLOW ARROW, PIPE SIZE |   |
| SANITARY SEWER CLEANOUT                             |   |
| WATER MAIN, W/ VALVES                               |   |
| FIRE HYDRANT ASSEMBLY                               |   |
| UTILITY POLE  |   |
| SIGN  |   |
| FENCE   |   |
| SWALE   |   |

### ENGINEER'S STATEMENT

I, RING W. LARDNER, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVIS, BOWEN & FRIEDEL, INC.  
by RING W. LARDNER, P.E.

### OWNER'S STATEMENT

I, THE UNDERSIGNED, HEREBY STATE THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE CONSTRUCTED ACCORDING TO SUSSEX COUNTY CODE.

COROC/REHOBOTH III L.L.C. DATE \_\_\_\_\_  
PRINT NAME \_\_\_\_\_ TITLE \_\_\_\_\_

Revisions:  
2020-04-06  
SUSSEX P&Z COMMENTS

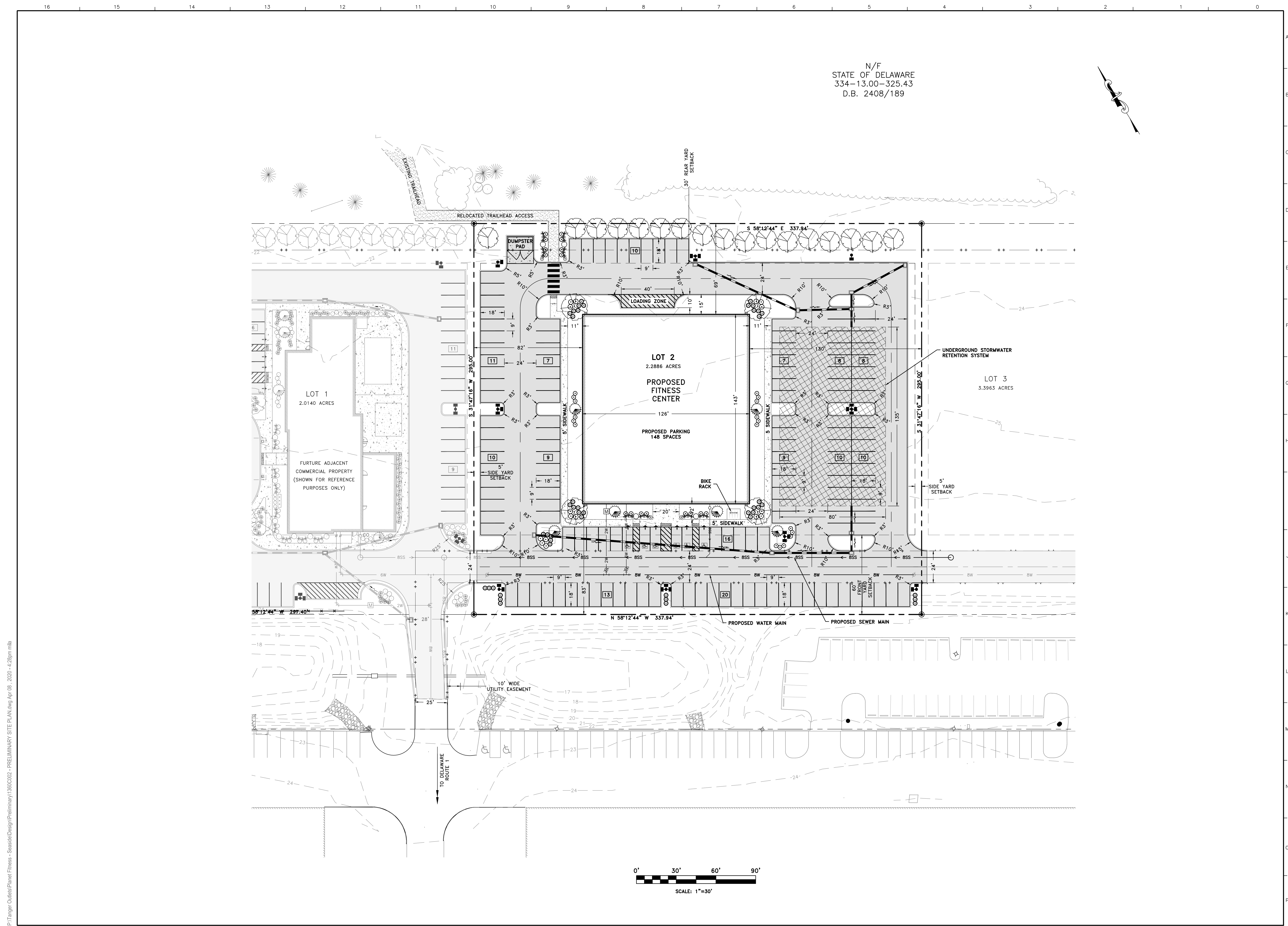
Date: MARCH 2020  
Scale: AS NOTED  
Dwn.By: YGW  
Proj.No.: 1360C002  
Dwg.No.:

**PL-01**

**PLANET FITNESS / TANGER - SEASIDE**  
**REHOBOTH BEACH**  
**LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DE**

**DAVIS, BOWEN & FRIEDEL, INC.**  
 ARCHITECTS ENGINEERS SURVEYORS  
 1 PARK AVENUE  
 MILFORD, DELAWARE 19963  
 (302) 424-1441  
 (410) 770-4714

PRELIMINARY - TITLE SHEET



N/F  
STATE OF DELAWARE  
334-13.00-325.43  
D.B. 2408/189

P:\Tanger\_Outlets\Planet Fitness - Seaside\Design\Preliminary\1360C002 - PRELIMINARY SITE PLAN.dwg Apr 08, 2020 - 4:28pm mila

**DAVIS, BOWEN & FRIEDEL, INC.**  
ARCHITECTS ENGINEERS SURVEYORS  
SUSSEX COUNTY, DELAWARE  
1000 W. MARKET STREET  
REHOBOTH BEACH, DE 11873  
(302) 824-1441  
(302) 824-1441  
(410) 770-4744

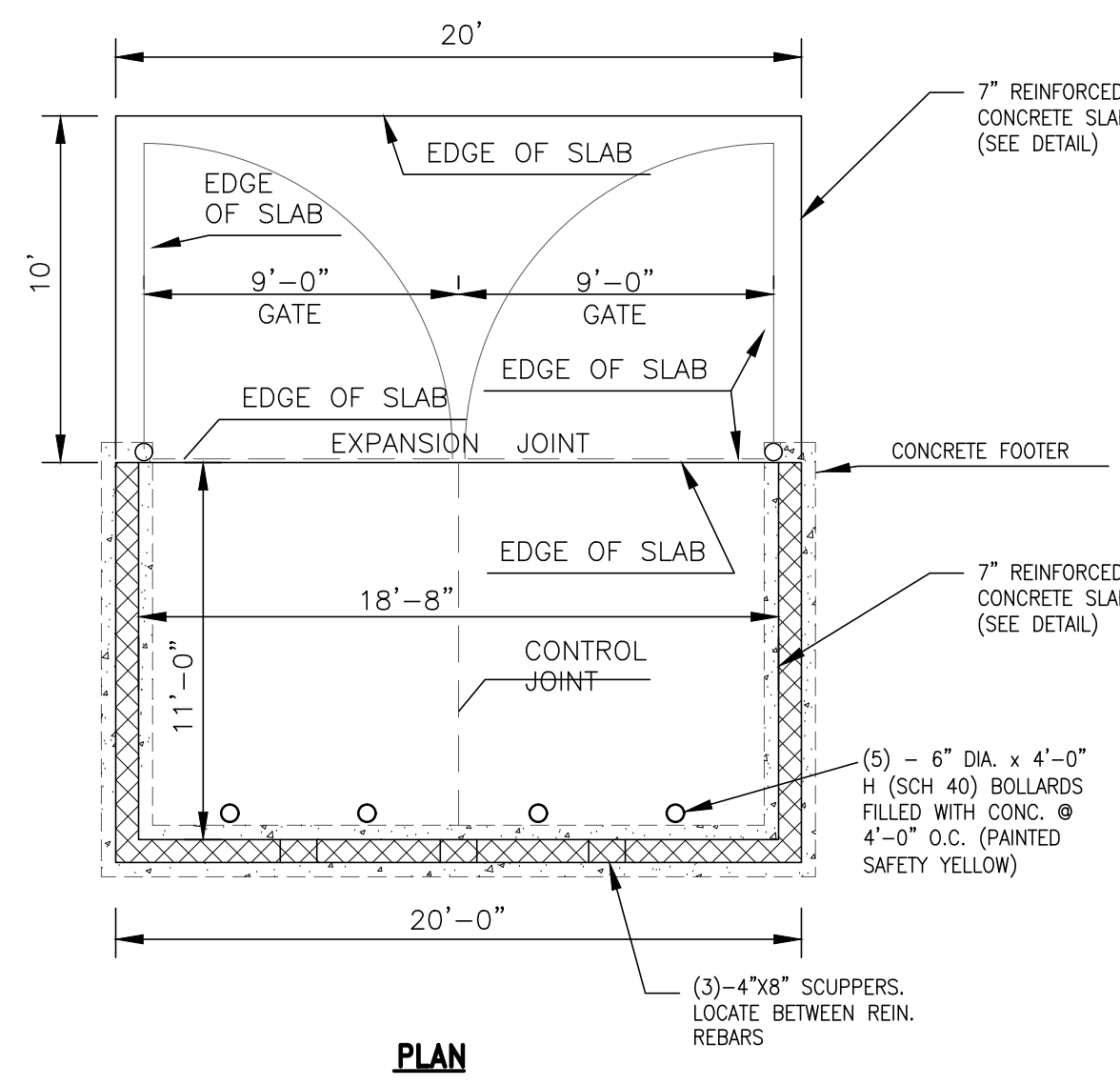
PRELIMINARY - SITE PLAN

**PLANET FITNESS / TANGER - SEASIDE  
REHOBOTH BEACH  
LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DE**

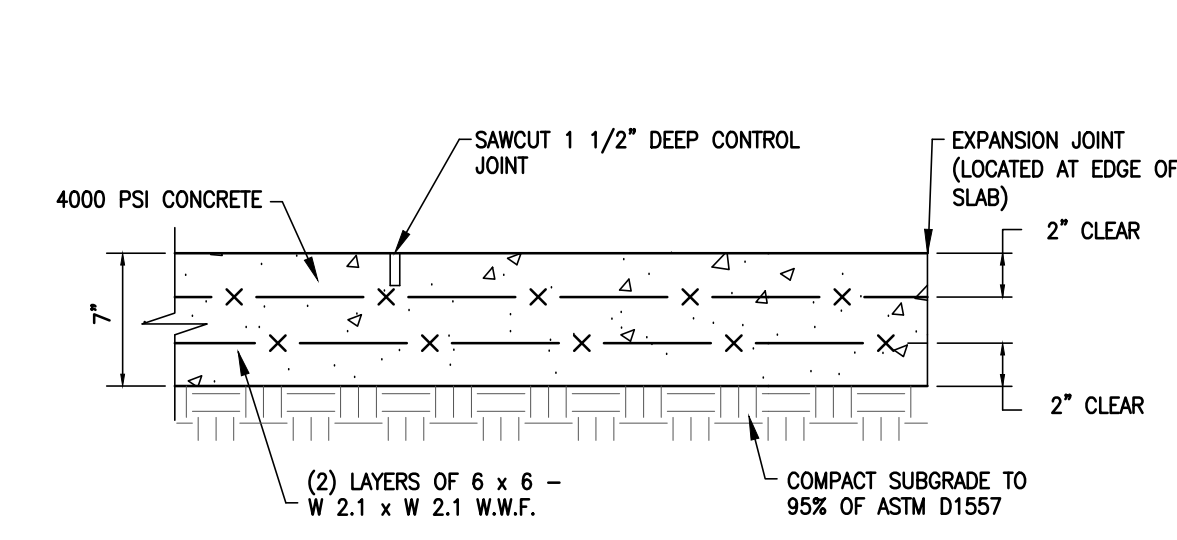
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2020-04-06  
SUSSEX P&Z COMMENTS

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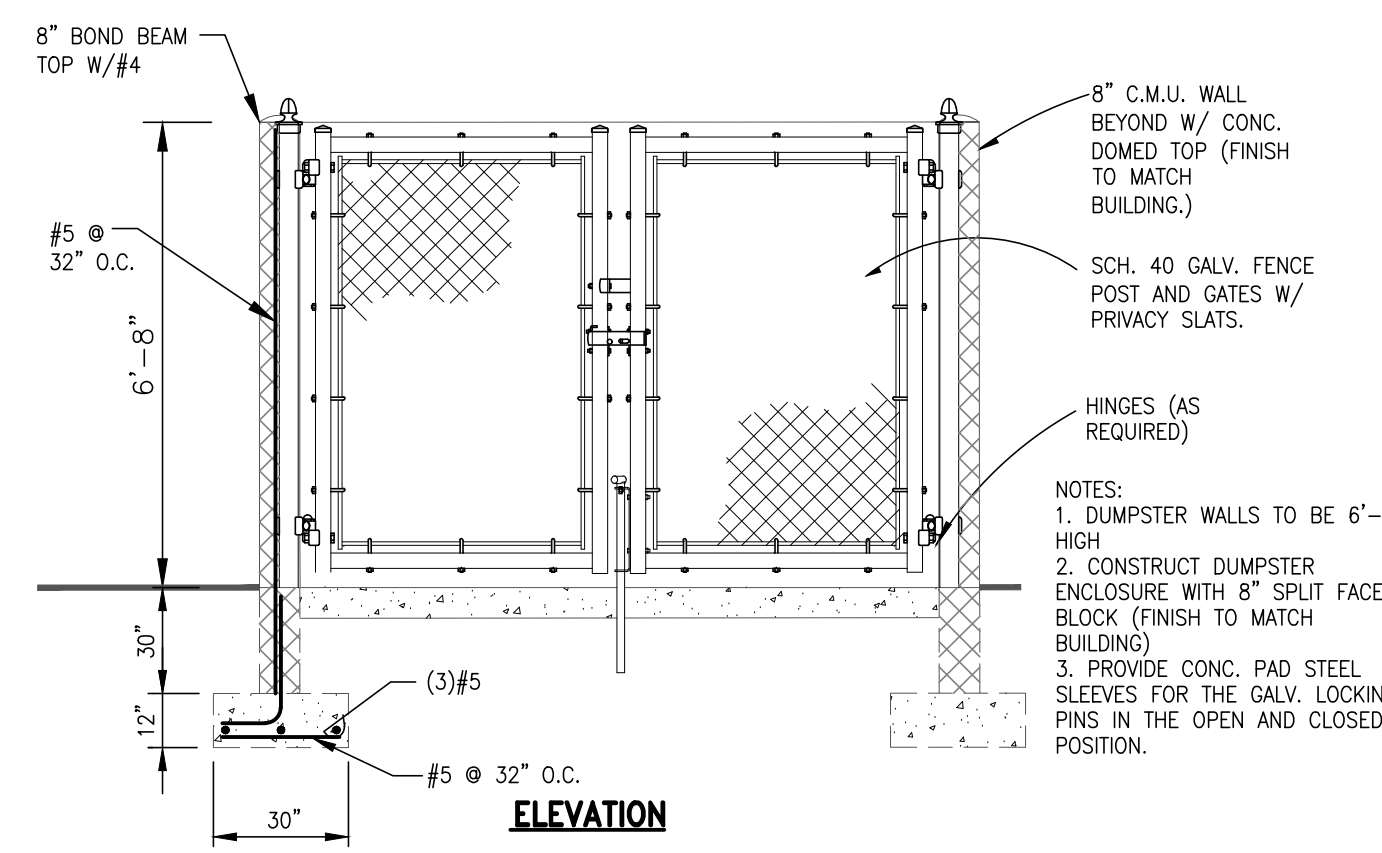
**PL-02**



PLAN

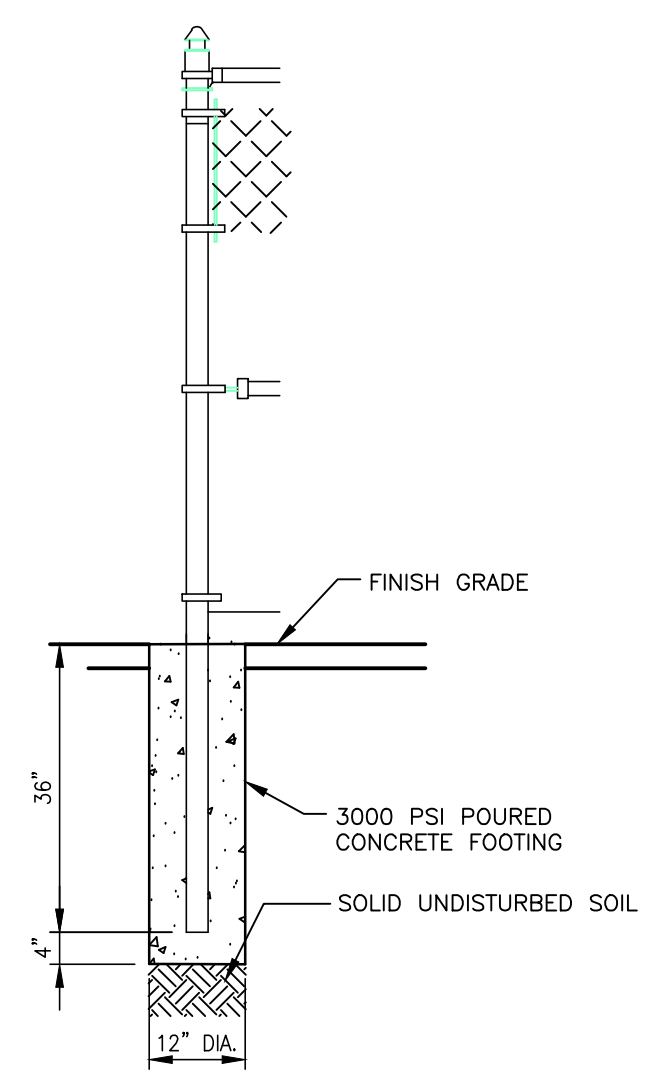


**DUMPSTER PAD DETAIL**  
NOT TO SCALE



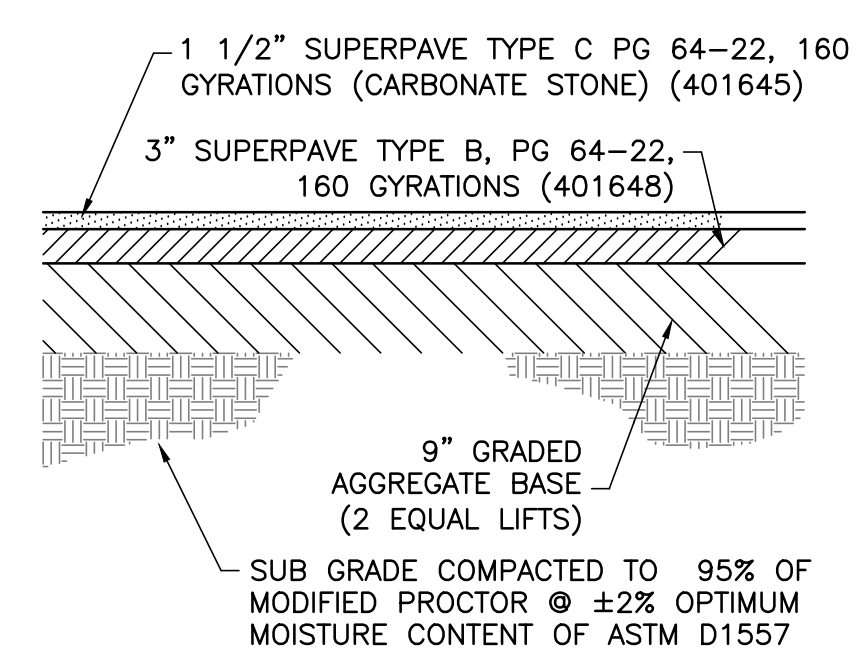
ELEVATION

**DOUBLE DUMPSTER ENCLOSURE DETAIL**  
NOT TO SCALE

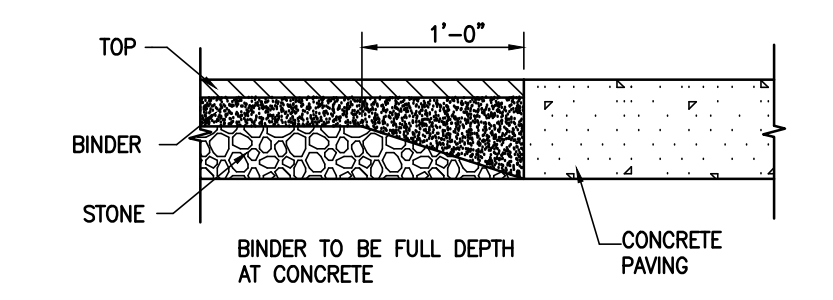


GATE POST DETAIL

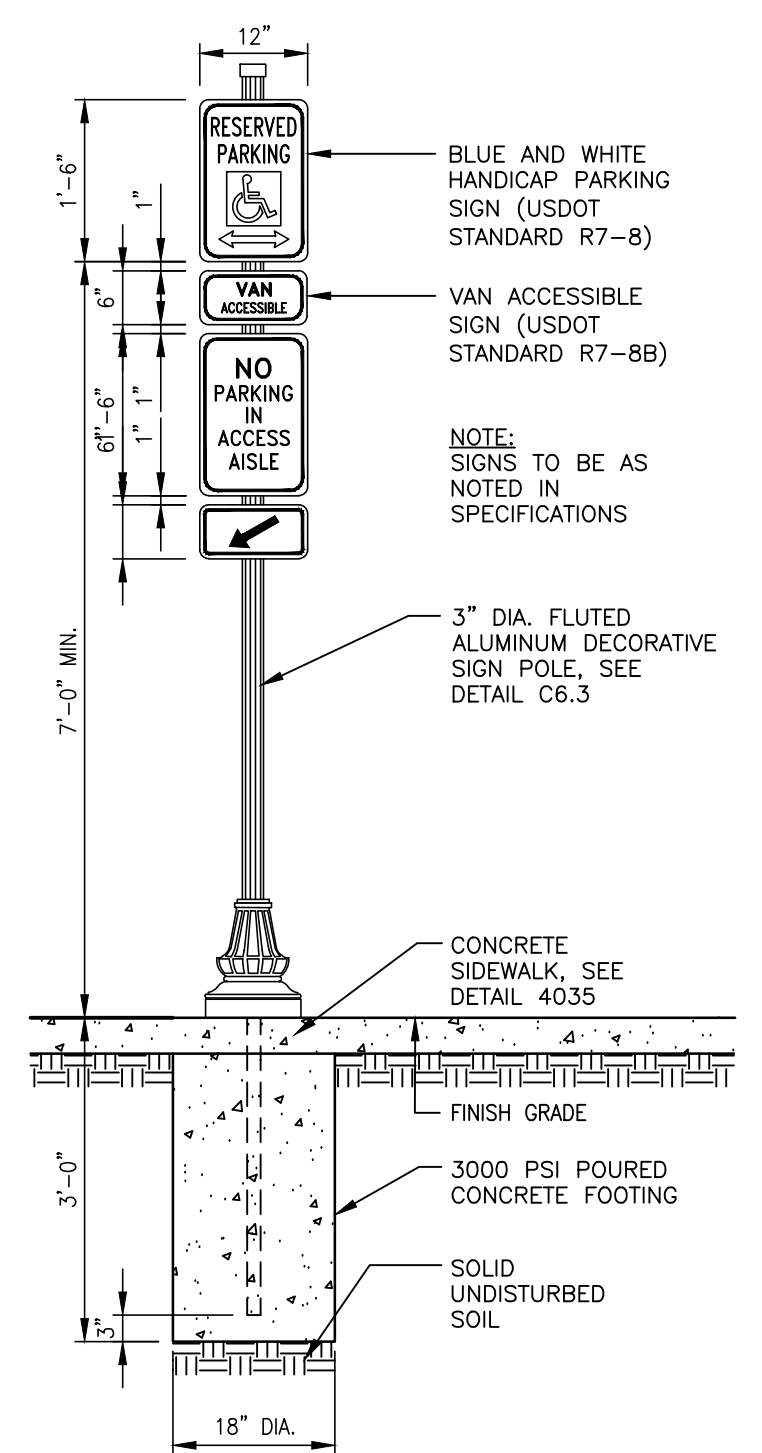
| DETAIL INFORMATION TABLE |   |      |                            |  |   |                    |
|--------------------------|---|------|----------------------------|--|---|--------------------|
| ITEM                     | LOCATION OF DETAIL  | YEAR | SECTION                    | NAME   | DESCRIPTION                                     | SHEET NUMBER(S)    |
| CURB                     |   |      |                            | P.C.C. CURB, TYPICAL CURB SECTION            | P.C.C. CURB                                     | C-1 (2017) - 1     |
| CURB & GUTTER            |   |      |                            | INTEGRAL P.C.C. CURB & GUTTER                | INTEGRAL P.C.C. CURB AND GUTTER, TYPE 2         | C-1 (2017) - 2     |
| CURB RAMP                | DAI DOT - STANDARD CONSTRUCTION DETAILS                       | 2018 | SECTION II - CURB & GUTTER | PEDESTRIAN CONNECTION, TYPE 1 AND SECTIONS   | PEDESTRIAN CONNECTION, TYPE 1                   | C-2 (2018) - 1     |
| CURB OPENING             |   |      |                            | PEDESTRIAN CONNECTION, TYPES 2, 3, & 4       | PEDESTRIAN CONNECTION, TYPE 2                   | C-2 (2018) - 2     |
| DRAINAGE INLETS          | DAI DOT - STANDARD CONSTRUCTION DETAILS                       | 2018 | SECTION III - DRAINAGE     | CURB OPENING DETAILS                         | CURB OPENING DETAILS                            | C-4 (2012) - 1     |
| DRAINAGE INLETS          |   |      |                            | INLET BOX DETAILS                            | INLET BOX DETAIL                                | D-4 (2009)         |
| DRAINAGE INLETS          | DAI DOT - STANDARD CONSTRUCTION DETAILS                       | 2018 | SECTION III - DRAINAGE     | DRAINAGE INLET DETAILS                       | DRAINAGE INLET ASSEMBLY                         | D-5 (2010) - 1     |
| BOX MANHOLE              | DAI DOT - STANDARD CONSTRUCTION DETAILS                       | 2018 | SECTION III - DRAINAGE     | MANHOLE DETAILS                              | DRAINAGE INLET FRAME AND GRATES                 | D-5 (2014) - 2     |
| BREAKAWAY POST           | DAI DOT - STANDARD CONSTRUCTION DETAILS                       | 2018 | SECTION VIII - TRAFFIC     | BREAKAWAY SIGN POST AND PIN ASSEMBLY DETAILS | DRAINAGE INLET TOP UNITS                        | D-5 (2012) - 3     |
| SIDEWALK                 | DAI DOT - STANDARD CONSTRUCTION DETAILS                       | 2018 | SECTION VI - MISCELLANEOUS | SHARED-USE PATH AND SIDEWALK DETAILS         | DRAINAGE INLET COVER SLAB DETAILS               | D-5 (2010) - 4     |
| CONCRETE WHEEL STOP      | DAI DOT - STANDARD CONSTRUCTION DETAILS                       | 2018 | SECTION VI - MISCELLANEOUS | P.C.C. PARKING BUMPER                        | 34" X 24" DRAINAGE INLET AND COVER SLAB DETAILS | D-5 (2012) - 6     |
| SIGN(S)                  | DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES - DE MUTCD | 2011 | PART 2, CHAPTER 2B         | STOP SIGN                                    | BOX MANHOLE ASSEMBLY                            | D-6 (2009) - 1     |
|                          |   |      |                            |  | BOX MANHOLE COVER SLAB                          | D-6 (2007) - 4     |
|                          |   |      |                            |  | BREAKAWAY SIGN POST AND PIN ASSEMBLY DETAILS    | T-15 (2013)        |
|                          |   |      |                            |  | SHARED-USE PATH AND SIDEWALK DETAILS            | M-3 (2018)         |
|                          |   |      |                            |  | P.C.C. PARKING BUMPER                           | M-4 (2014)         |
|                          |   |      |                            |  | STOP SIGN                                       | 2B-2, 2B-3 & 2B-10 |



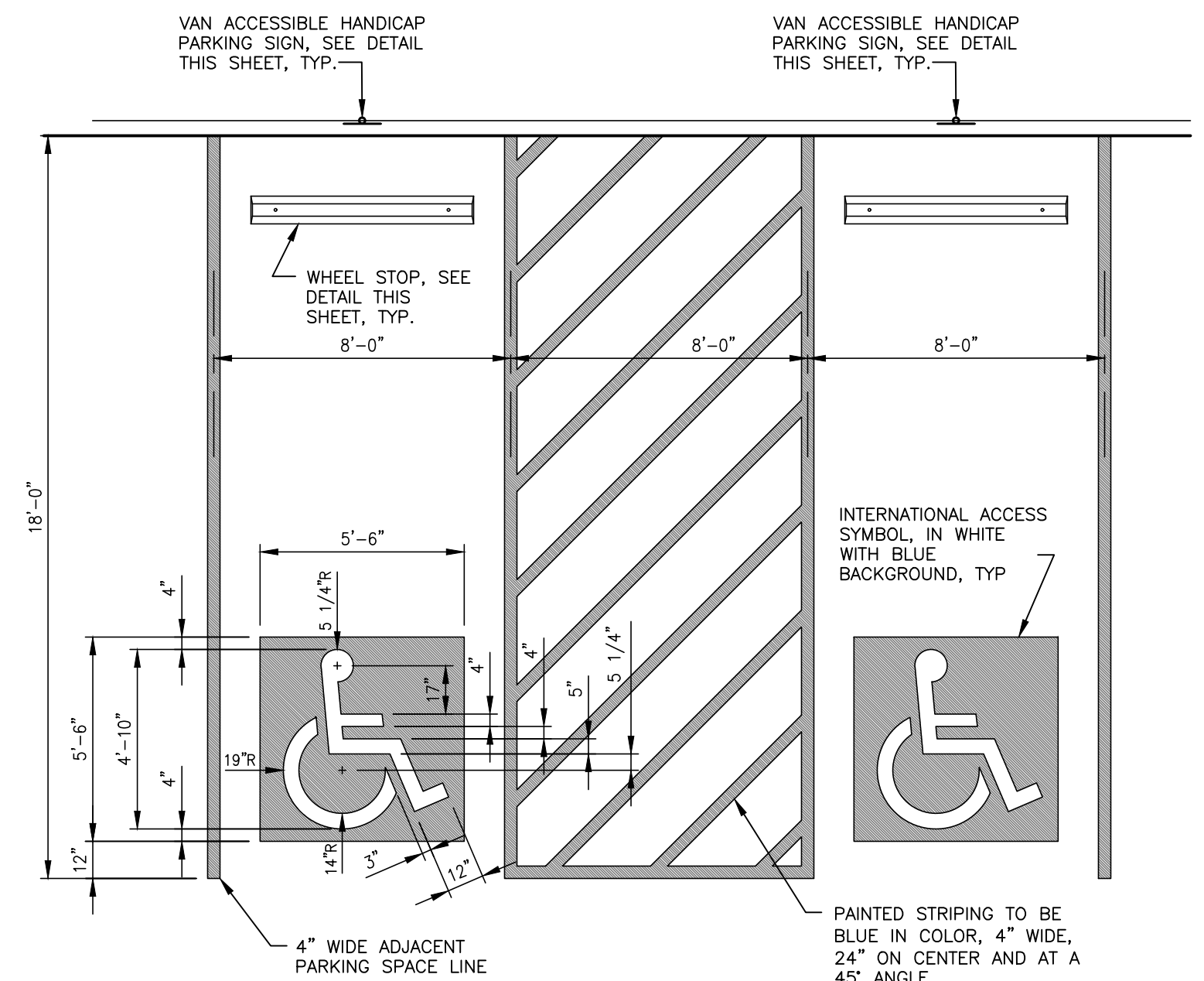
**PAVEMENT SECTION**  
NOT TO SCALE



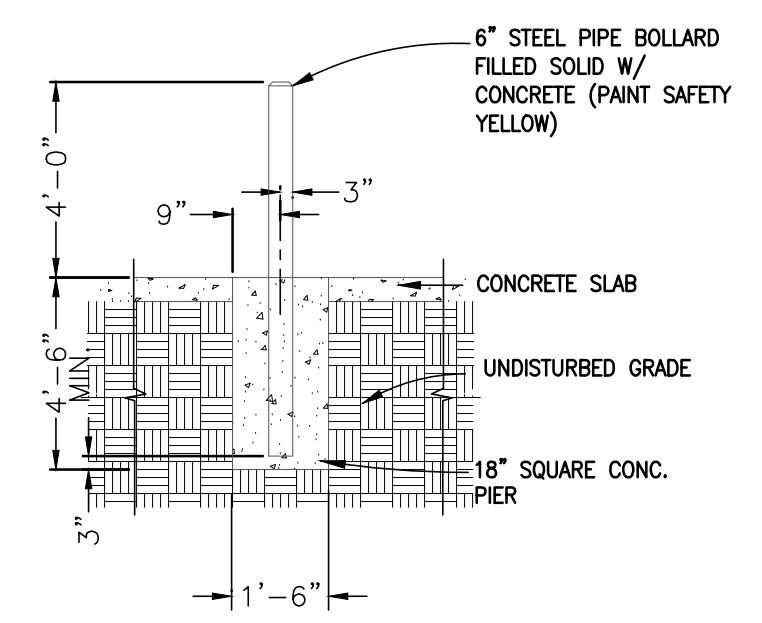
**CONCRETE TO ASPHALT PAVEMENT TIE-IN DETAIL**  
NOT TO SCALE



**VAN ACCESSIBLE HANDICAP PARKING SIGNAGE - AT CURB**  
NOT TO SCALE



**VAN ACCESSIBLE HANDICAP PARKING LAYOUT**  
NOT TO SCALE



**BOLLARD DETAIL**  
NOT TO SCALE

P:\Tanger Outdoor\Planet Fitness - Seaside\Design\Preliminary\1360C002 - PRELIMINARY DETAIL SHEET.dwg, Apr 08, 2020 - 4:28pm mils

ARCHITECTS ENGINEERS SURVEYORS  
**DAVIS, BOWEN & FRIEDEL, INC.**  
 1000 MARKET STREET, SUITE 200  
 MILFORD, DELAWARE 19967  
 ESTON, MARYLAND (410) 770-4744

**PLANET FITNESS/ TANGER - SEASIDE**  
**REHOBOTH BEACH**  
**LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DE**

Revisions:  
 Date: MARCH 2020  
 Scale: NTS  
 Dwn.By: YGW  
 Proj.No.: 1360C002  
 Dwg.No.:

**PL-03**

PRELIMINARY - DETAIL SHEET



April 9, 2020

Michael R. Wigley, AIA, LEED AP  
W. Zachary Crouch, P.E.  
Michael E. Wheelleton, AIA  
Jason P. Lorr, P.E.  
Ring W. Lardner, P.E.  
Jamie L. Sechler, P.E.

Sussex County Planning and Zoning  
2 The Circle  
Georgetown, DE 19947

Attn: Christin Headley  
Planner I

RE: Tanger Fitness Center  
Setback Encroachment  
Tax Parcel: 3-34-13.00-325.36  
DBF # 1360C002

Dear Ms. Headley:

On behalf of our client, COROC/Rehoboth III L.L.C., we are respectfully requesting a waiver to allow parking within the front yard and side yard setback. A major subdivision to create the parcel of land has been placed on hold in response to the pandemic. The parcel of land does not have road frontage with access provided via interconnectivity to Holland Glade Road and / or SR-1. In addition, the rear of the parcel of land is adjacent to lands owned by the State of Delaware which will likely remain undeveloped. In consideration that a road does not exist adjacent to the parcel and surrounding lands will likely remain undeveloped we are requesting a waiver to allow parking in the front and rear yard setbacks and for the enclosed dumpster to be located in the rear yard setbacks. The ten parking spaces in the rear setback are set aside specifically for Junction and Breakwater Trail use. The parcel of land will also have a screen along the side and rear yards due to the adjacent AR zoned lands.

If you have any questions or need additional information, please contact me at (302) 424-1441 or via email at [rwl@dbfinc.com](mailto:rwl@dbfinc.com)

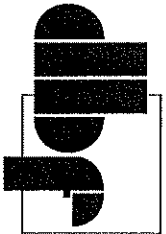
Sincerely,  
*Davis, Bowen & Friedel, Inc.*



Ring W. Lardner, P.E.  
Principal

\\mil0\CIVIL\Tanger Outlets\Planet Fitness - Seaside\Documents\P&Z\2020-04-09 Comment Response\Setback Encroachment Request.docx

Cc: COROC/Rehoboth III L.L.C.



**DAVIS  
BOWEN &  
FRIEDEL, INC.**

**ARCHITECTS • ENGINEERS • PLANNERS • SURVEYORS**

Michael R. Wigley, AIA, LEED AP  
W. Zachary Crouch, P.E.  
Michael E. Wheedleton, AIA  
Jason P. Lord, P.E.  
Ring W. Lardner, P.E.  
Jamie L. Secher, P.E.

March 12, 2020

Sussex County Planning and Zoning  
2 The Circle  
Georgetown, DE 19947

RECEIVED

MAR 16 2020

SUSSEX COUNTY  
PLANNING & ZONING

Attn: Chairman Wheatley and Members of the Commission

RE: Tanger Microtel  
Off-Street Parking Relief  
DBF # 2953A002.A01

Dear Chairman Wheatley and Members of the Commission:

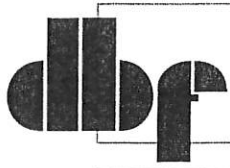
On behalf of our client, Beacon Hospitality, we are respectfully requesting relief from off street parking as required per §115-162 and allowed under §115-164 to reduce the required parking from 1.5 spaces per room to 1 space per room based on the needs and requirements of the hotel franchise and the available overflow parking that exists in close proximity at the rear of the Tanger Outlets.

Should you have any questions or need additional information, please do not hesitate to contact me at (302) 424-1441, or via email at [rw1@dbfinc.com](mailto:rw1@dbfinc.com).

Respectfully Submitted,  
*Davis, Bowen & Friedel, INC.*

Ring W. Lardner, P.E.  
Principal

F:\Beacon Hospitality\Tanger Microtel\DOCS\PA&Z\2020-03-12 Preliminary Plan Initial Submission\Parking Reduction Request.docx



Michael R. Wigley, AIA, LEED AP  
W. Zachary Crouch, P.E.  
Michael E. Wheelerton, AIA  
Jason P. Lohr, P.E.  
Ring W. Lardner, P.E.  
Jamie L. Sechler, P.E.

April 9, 2020

Sussex County Planning and Zoning  
2 The Circle  
Georgetown, DE 19947

Attn: Nick Torrance  
Planner I

RE: Tanger Microtel  
Revised Preliminary Plan  
Tax Parcel: 3-34-13.00-325.36  
DBF # 2953A002.A01

Dear Mr. Torrance:

On behalf of our client, Beacon Hospitality, we are pleased to submit revised plans for Tanger Microtel. These revisions address your comments in your letter dated March 24, 2020. We provide the following responses to those comments:

1. *Staff notes that there are 15 proposed parking spaces within the front yard setback. The applicant will need to request approval from the Planning and Zoning Commission to allow for parking within the front yard setback. **Attached to this response is a request to allow parking in the front yard setback.***
2. *Staff notes that there are currently only 2 handicap parking spaces. With 98 proposed parking spaces, a minimum of 4 handicap spaces would be required. **We have increased the number of ADA compliant parking.***
3. *Please edit the Tax ID to 334-13.00-325.36 in Site Data Column **The tax map number has been corrected. We note that a major subdivision that would create Lot 1 is on hold during the pandemic.***
4. *Please add labels for the zoning of the surrounding parcels. **The zoning has been added to Sheet PL-02.***
5. *Please update the required parking to the required parking by the zoning code. **If approved for less parking by the commission, you can add the allowed parking***

*allotment in the Final Site Plan* **We have updated the required parking in the data column.**

6. *Staff notes the dumpster on the property does not meet the setback requirements as stated in §115-170.1 (C)(2)(A). Applicant will need to request approval from the Planning and Zoning Commission to allow for this enclosure in the side and rear yard setback. Attached to this response is a request to allow parking in the side and rear yard setbacks.*
7. *Please provide screening for the dumpster. A dumpster detail is provided on Sheet PL-04.*
8. *Please add the proposed height of the building to the Site Data Column* **The proposed height has been added to the data column.**
9. *Please add the proposed height to the hotel on sheet PL-02 as per §115-220 (B)(8). The building height has been added as requested.*
10. *Please provide all proposed lighting to be added to parking area if any. We have included preliminary lighting on the site plan and final locations will be shown on the final site plan.*
11. *Please provide the fencing around the pool. It looks like it is shown but I am not seeing a legend item for it. Fencing is provided around the pool and we added the linework on the legend.*
12. *Prior to approval of the Final Site Plan, approval letters or letters of no objection from the following agencies shall be submitted to the Sussex County Planning and Zoning Office:*
  - a. *Sussex Conservation District*
  - b. *Office of State Fire Marshal*
  - c. *Delaware Department of Transportation (DelDOT)*

**Our office will obtain the necessary Letters of No Objection or Approval Letters prior to submitting the final site plan for approval.**

Sussex County Planning and Zoning  
Tanger Microtel  
April 9, 2020  
Page 3 of 3

Should you have any questions or need additional information, please do not hesitate to contact me at (302) 424-1441, or via email at [rw1@dbfinc.com](mailto:rw1@dbfinc.com).

Respectfully Submitted,  
*Davis, Bowen & Friedel, INC.*



Ring W. Lardner, P.E.  
Principal

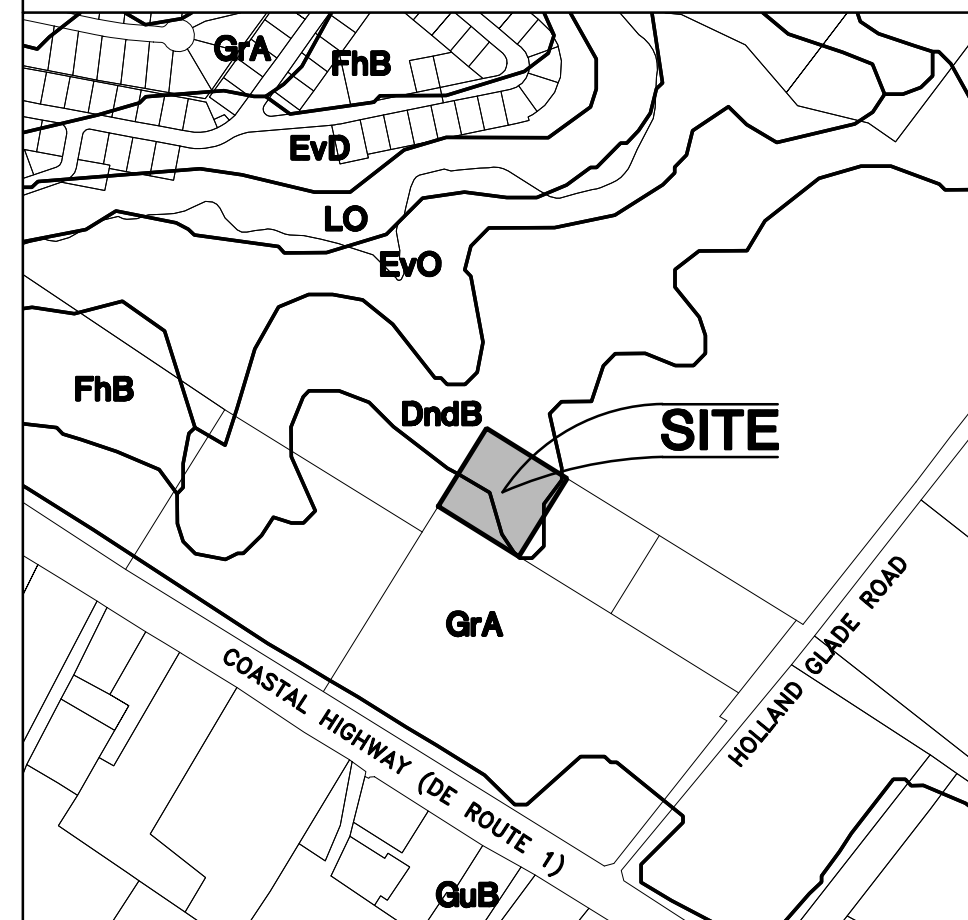
P:\Beacon Hospitality\Tanger Microtel\DOCS\P&Z\2020-04-09 Comment Response\Prel Plan Comment Response.docx

# MICROTEL INN & SUITES/ TANGER - SEASIDE

## PRELIMINARY SITE PLAN REHOBOTH BEACH, LEWES & REHOBOTH HUNDRED SUSSEX COUNTY, DELAWARE MARCH, 2020 DBF PROJECT #2953A002

**LOCATION MAP**

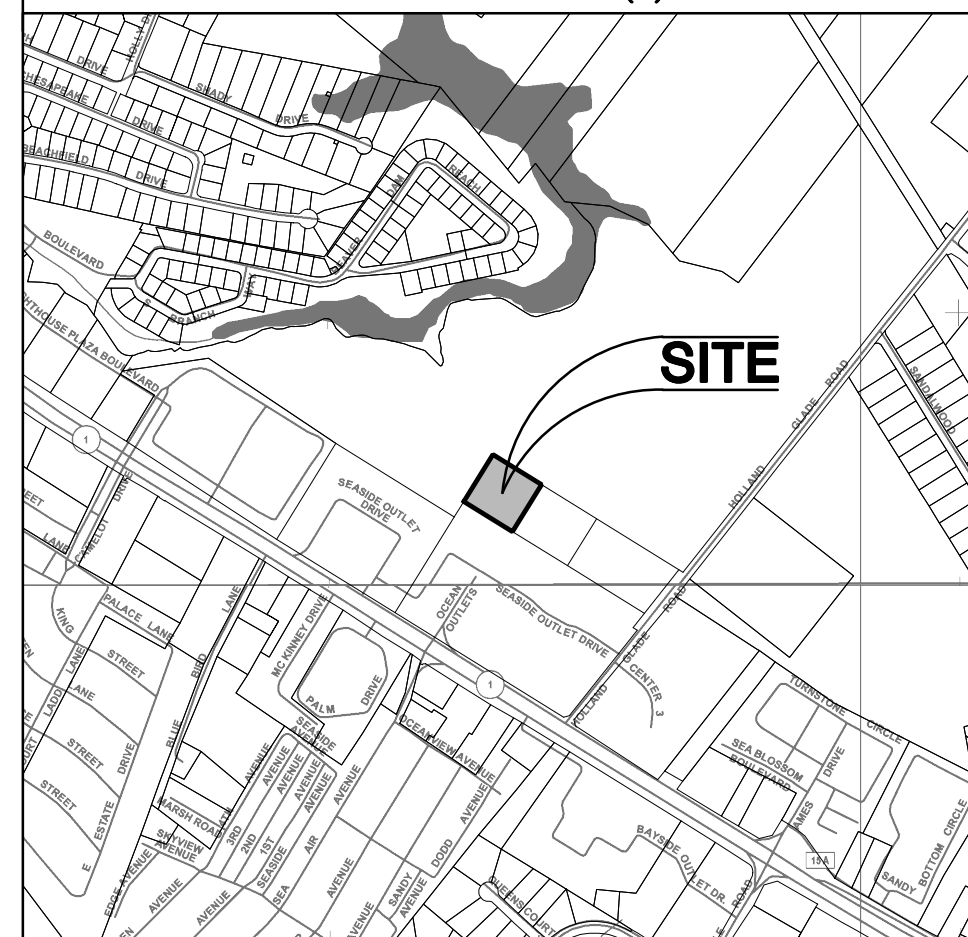
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**SOILS MAP**

SCALE: 1" = 600'

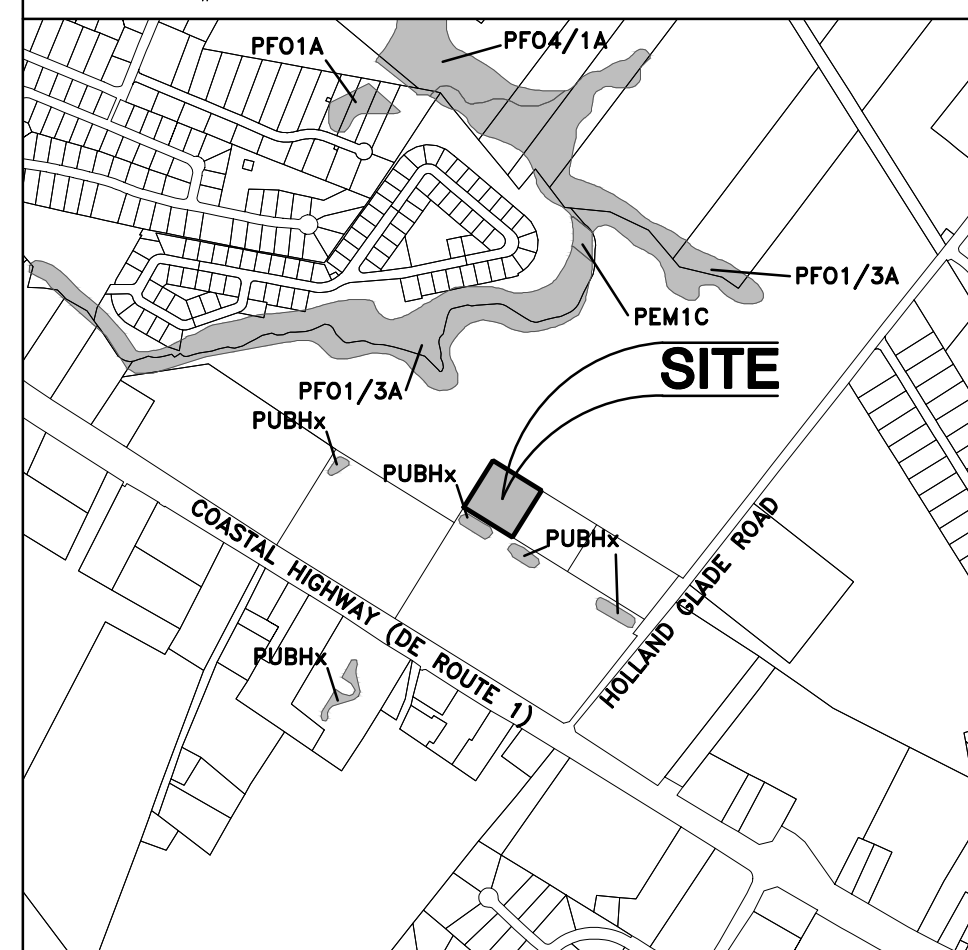
GrA GREENWICH LOAM, 0-2% SLOPES (B)  
DndB DOWNER LOAMY SAND, 2-5% SLOPES,  
NORTHERN TIDEWATER AREA (A)



**FLOODPLAIN MAP**

SCALE: 1" = 1000'

FEMA PANEL #11005C0351K DATED: MARCH 16, 2015  
FEMA PANEL #11005C0353K DATED: MARCH 16, 2015



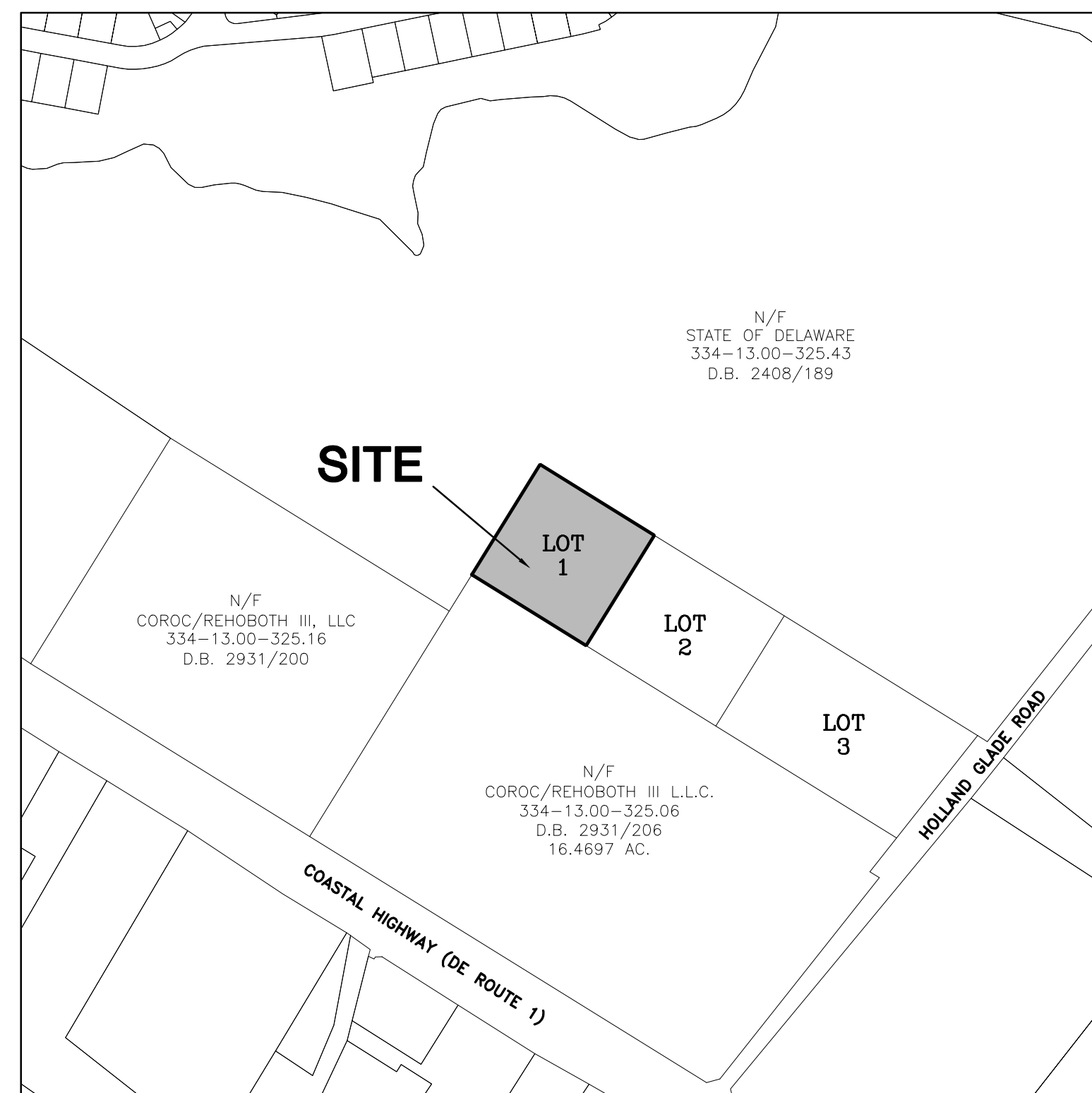
**WETLANDS MAP**

SCALE: 1" = 1000'



### GENERAL NOTES:

- HORIZONTAL AND VERTICAL CONTROL SURVEY BY DAVIS, BOWEN & FRIEDEL, INC. OF MILFORD, DELAWARE. VERTICAL/HORIZONTAL DATUM - N.A.V.D. 88 / NAD 83 RESPECTIVELY.
- EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS, INCLUDING TELEPHONE, ELECTRIC, CABLE TV, GAS, TRAFFIC, SIGNAL, WATER, SEWER, FORCE MAINS AND STORM DRAINAGE ARE BASED UPON THE BEST AVAILABLE INFORMATION AND ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. NO GUARANTEE IS MADE OR IMPLIED REGARDING THE ACCURACY OR COMPLETENESS THEREOF. CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION, DEPTH, SIZE AND MATERIAL OF ALL UNDERGROUND UTILITIES TO HIS OWN SATISFACTION BEFORE BEGINNING ANY EXCAVATION OR PIPE LAYING. THE COUNTY, OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION. IF THE CONTRACTOR RELIES ON SAID INFORMATION, HE DOES SO AT HIS OWN RISK. THE GIVING OF THE INFORMATION ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO SUPPORT AND PROTECT ALL SHOWN OR NOT SHOWN EXISTING UTILITIES AND APPURTENANCES. SHOULD ANY EXISTING UTILITIES BE DAMAGED BY THE CONTRACTOR, THEN THE CONTRACTOR SHALL REPAIR THE DAMAGE CAUSED TO THE TOWN'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL MAKE HIS OWN INVESTIGATION AND TEST PIT EXISTING UTILITIES AS REQUIRED.
- CONTRACTOR SHALL NOTIFY "MISS UTILITY" (1-800-282-8555 IN DE) & (1-800-441-8355 OUTSIDE OF DE) AT LEAST 3 CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION TO HAVE EXISTING UNDERGROUND UTILITIES LOCATED AND MARKED.
- ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- USE ONLY SUITABLE AND APPROVED GRANULAR MATERIAL FOR BACK FILLING TRENCHES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF TRAFFIC IN ALL WORK AREAS IN ACCORDANCE WITH TOWN REQUIREMENTS. ANY PAVEMENT MARKINGS OR PAINTED LINES DISTURBED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED IN KIND AFTER COMPLETION OF PAVEMENT RESTORATION.
- CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL RIGHT-OF-WAY LINES AND PROPERTY LINES TO HIS OWN SATISFACTION. ALL PROPOSED UTILITIES ARE TO BE CONSTRUCTED WITHIN THE STREET RIGHT-OF-WAY OR EASEMENT AREAS PROVIDED. ANY DISTURBED AREAS BEYOND THE RIGHT-OF-WAY OR EASEMENT LINES SHALL BE RESTORED IMMEDIATELY TO THEIR ORIGINAL CONDITION.
- PAYMENT FOR THIS WORK SHALL BE INCLUDED IN THE COST OF ITEMS BID.
- CONTRACTOR SHALL PROVIDE STAKEOUT SURVEY NECESSARY FOR THE PARKING LOT CONSTRUCTION, THE INSTALLATION OF UTILITY WORK AND APPURTENANCES, AND DETERMINATION OF RIGHT-OF-WAY.
- CONTRACTOR SHALL EXERCISE CAUTION AND TAKE MEASURES NECESSARY TO PROTECT TREES DURING CONSTRUCTION ACTIVITIES. DAMAGED TREES TO BE REPLACED, IN KIND, AT THE CONTRACTOR'S EXPENSE.
- ALL ROADWAYS ARE TO BE SWEEPED FREE OF SEDIMENT ON A DAILY BASIS.
- THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE WORK AREA, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL REGULATORY, WARNING, AND INFORMATIONAL SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE. THE COST SHALL BE INCLUDED IN THE COST OF ITEMS BID.
- ALL EXISTING REGULATORY AND WARNING TYPE TRAFFIC SIGNS, AND ALL STREET NAME SIGNS OCCURRING WITHIN THE PROPOSED PROJECT LIMITS SHALL BE REMOVED AND IMMEDIATELY REPLACED AS DIRECTED BY THE TOWN.
- CONTRACTOR SHALL GRADE, TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS OF CONSTRUCTION, INCLUDING PIPE INSTALLATION OR DITCH CONSTRUCTION. EROSION CONTROL MATING SHALL BE PROVIDED ON ALL SLOPES GREATER THAN 3:1.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- PARKING SPACES RESERVED FOR USE BY THE HANDICAPPED AND RELATED ACCESSIBLE ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE GUIDELINES ENTITLED "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES" (REFERENCE: ANSI A117.1-1998).
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND SHALL APPRAISE AND COORDINATE DURING ALL PHASES OF CONSTRUCTION:  
DAVIS, BOWEN & FRIEDEL, INC. - (302) 424-1441  
CITY OF REHOBOTH - (302)-227-6181  
SUSSEX CONSERVATION DISTRICT - (302) 856-2105



**INSET MAP**

1" = 300'

### SHEET INDEX

|                           |       |
|---------------------------|-------|
| PRELIMINARY - TITLE SHEET | PL-01 |
| PRELIMINARY - SITE PLAN   | PL-02 |
| PRELIMINARY - DETAILS     | PL-03 |
| PRELIMINARY - DETAILS     | PL-04 |

### DATA COLUMN

|                                  |  |  |
|----------------------------------|--|--|
| TAX MAP ID                       | :334-13.00-325.36 (LOT-1)  | PROPOSED USE: HOTEL/MOTEL  |
| EXISTING LAND USE                | :VACANT LAND   | PROPOSED BUILDINGS WILL BE PROTECTED BY AUTOMATIC SPRINKLER SYSTEM.  |
| EXISTING ZONING                  | :C-3   | TYPE OF CONSTRUCTION: CONCRETE BLOCK   |
| TOTAL SITE AREA                  | :2.0140 Ac.±   | ALL FIRE LANES, FIRE HYDRANTS, EXITS AND STANDPIPES WILL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS.         |
| C-3 ZONING REQUIREMENTS:         |  | THE PROPERTY IS LOCATED WITHIN ZONE X - (MINIMAL FLOODING). FIRM MAP 10005C0351K (MARCH 16, 2015)                                |
| MINIMUM LOT AREA                 | :10,000 SQFT   | THE SITE AS SHOWN HEREON DOES NOT CONTAIN STATE OR FEDERALLY REGULATED SECTION 10 WETLANDS. BASED ON NWI AND DNREC WETLAND MAPS. |
| MAXIMUM BUILDING COVERAGE        | :50%   |  |
| PROPOSED BUILDING COVERAGE       | :12%   |  |
| MINIMUM LOT WIDTH                | :100'  |  |
| MINIMUM LOT DEPTH                | :100'  |  |
| MAXIMUM BUILDING HEIGHT          | :42' OR THREE STORIES  |  |
| BUILDING HEIGHT PROVIDED         | :42' OR THREE STORIES  |  |
| C-3 SETBACK REQUIREMENTS:        |  |  |
| FRONT SETBACK                    | :60'   |  |
| SIDE SETBACK                     | :5' / 20' IN WIDTH ON THE SIDE OF THE LOT ADJOINING A RESIDENTIAL DISTRICT   |  |
| REAR SETBACK                     | :30'   |  |
| MAXIMUM IMPERVIOUS COVERAGE      | :85%   | <b>OWNERS</b>  |
| PROPOSED IMPERVIOUS COVERAGE     | :78%   | COROC/REHOBOTH III L.L.C.<br>3200 NORTHLINE AVE #360<br>GREENSBORO, NC 27408   |
| PARKING REQUIREMENTS             | :1 1/2 PER RENTAL ROOM OR SUITE, PLUS<br>1 PER 3 EMPLOYEES<br>77 ROOMS = 116 SPACES<br>9 EMPLOYEES = 3 SPACES<br>119 REQUIRED SPACES | <b>DEVELOPER</b>   |
| PARKING PROVIDED                 |  | BEACON MANAGEMENT ASSOCIATES, L.L.C.<br>15 COVENTRY ROAD<br>REHOBOTH BEACH, DE 19971<br>724-321-4231<br>CONTACT: CHAD MOORE      |
| FIRE DISTRICT                    | :REHOBOTH  | <b>ENGINEER/SURVEYOR</b>   |
| SCHOOL DISTRICT                  | :CAPE HENLOPEN   | DAVIS, BOWEN & FRIEDEL, INC.<br>1 PARK AVENUE<br>MILFORD, DELAWARE 19963<br>302-424-1441<br>CONTACT: RING W. LARDNER, P.E.       |
| LEVY COURT DISTRICT              | :3RD   |  |
| PERMANENT MONUMENTS FOUND        | :1   |  |
| PERMANENT MONUMENTS TO BE PLACED | :0   |  |
| VERTICAL DATUM                   | :NAVD 88   |  |
| UTILITIES:                       |  |  |
| WATER: TIDEWATER UTILITIES, INC. |  |  |
| SEWER: SUSSEX COUNTY             |  |  |

### LEGEND

| EXISTING  | PROPOSED  |
|---|---|
| BOUNDARY LINE                                       | SANITARY SEWER MANHOLE, PIPE, FLOW ARROW, PIPE SIZE |
| ADJACENT PROPERTY OWNER                             | SANITARY SEWER LATERAL                              |
| EASEMENT  | WATER MAIN, TEE W/ VALVES, PIPE SIZE                |
| SETBACK   | GANG METER PIT, LATERAL, PIPE SIZE                  |
| ROAD CENTERLINE / BASELINE & STATIONING             | TREES   |
| CONTOUR ELEVATION AND LABEL                         | ASPHALT PAVEMENT                                    |
| CATCH BASIN, STORM PIPE, STORM MANHOLE              | CONCRETE PAVEMENT AND SIDEWALK                      |
| SANITARY SEWER MANHOLE, PIPE, FLOW ARROW, PIPE SIZE | SWM POND FENCE                                      |
| SANITARY SEWER CLEANOUT                             | POOL FENCE  |
| WATER MAIN, W/ VALVES                               |   |
| FIRE HYDRANT ASSEMBLY                               |   |
| UTILITY POLE  |   |
| SIGN  |   |
| FENCE   |   |
| SWALE   |   |

### ENGINEER'S STATEMENT

I, RING W. LARDNER, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE ACT BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVIS, BOWEN & FRIEDEL, INC.  
by RING W. LARDNER, P.E.

### OWNER'S STATEMENT

I, THE UNDERSIGNED, HEREBY STATE THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE CONSTRUCTED ACCORDING TO SUSSEX COUNTY CODE.

COROC/REHOBOTH III L.L.C. DATE

PRINT NAME TITLE

### DEVELOPER'S STATEMENT

I, THE UNDERSIGNED, HEREBY STATE THAT I AM THE DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE CONSTRUCTED ACCORDING TO SUSSEX COUNTY CODE.

BEACON MANAGEMENT ASSOCIATES, L.L.C. DATE

PRINT NAME TITLE

**MICROTEL INN & SUITES/ TANGER - SEASIDE**  
**REHOBOTH BEACH**  
**LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DE**

Revisions:  
2020-04-06  
SUSSEX P&Z COMMENTS

Date: MARCH 2020

Scale: AS NOTED

Dwn.By: ACM

Proj.No.: 2953A002

Dwg.No.:

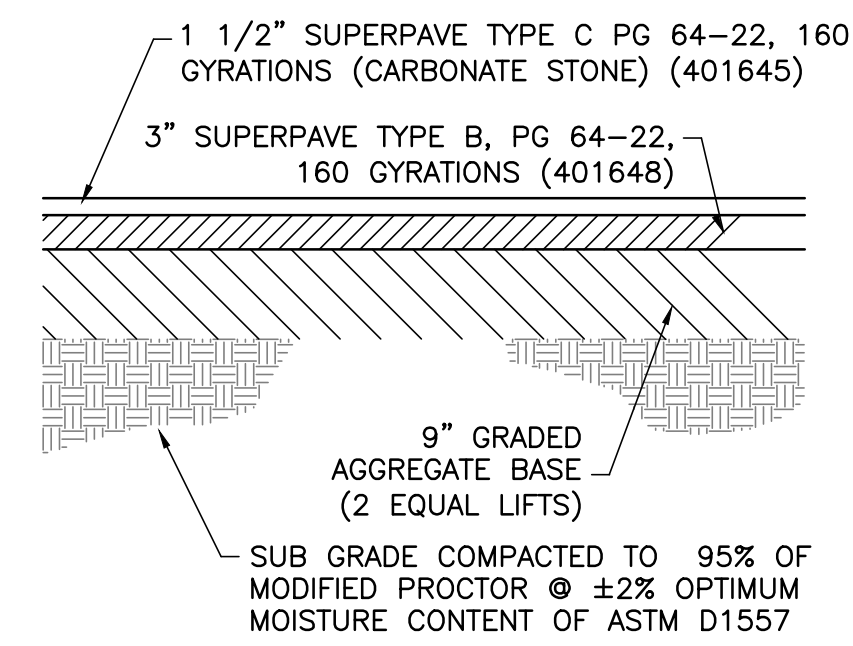
**PL-01**

ARCHITECTS ENGINEERS SURVEYORS  
DAVIS, BOWEN & FRIEDEL, INC.  
SURVEYORS: MARYLAND (10) 424-1441  
DELAWARE (302) 424-1441  
MICHIGAN (313) 424-1441  
NEW YORK (516) 424-1441  
ESTON, MARYLAND (410) 770-4744

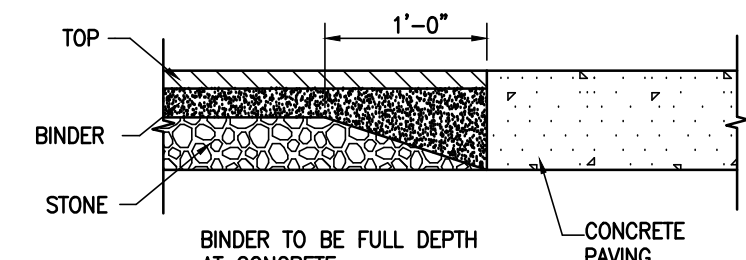
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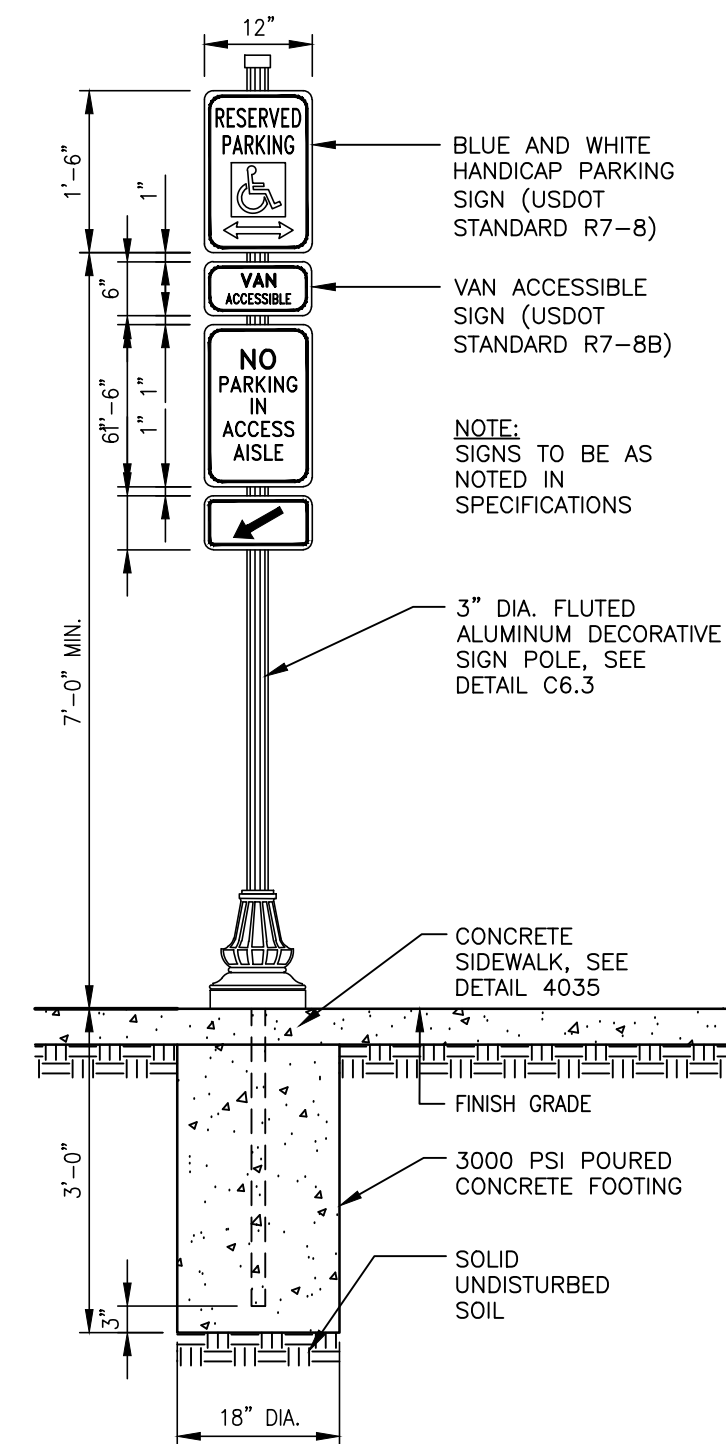
| DETAIL INFORMATION TABLE |   |      |                            |   |   |                    |
|--------------------------|---|------|----------------------------|---|---|--------------------|
| ITEM                     | LOCATION OF DETAIL  | YEAR | SECTION                    | NAME  | DESCRIPTION                                     | SHEET NUMBER(S)    |
| CURB                     | D&IDOT - STANDARD CONSTRUCTION DETAILS                        | 2018 | SECTION II - CURB & GUTTER | P.C.C. CURB, TYPICAL CURB SECTION               | P.C.C. CURB                                     | C-1 (2017) - 1     |
| CURB & GUTTER            |   |      |                            | INTEGRAL P.C.C. CURB & GUTTER                   | INTEGRAL P.C.C. CURB AND GUTTER, TYPE 2         | C-1 (2017) - 2     |
| CURB RAMP                |   |      |                            | PEDESTRIAN CONNECTION, TYPE 1 AND SECTIONS      | PEDESTRIAN CONNECTION, TYPE 1                   | C-2 (2018) - 1     |
| CURB OPENING             |   |      |                            | PEDESTRIAN CONNECTION, TYPES 2, 3, & 4          | PEDESTRIAN CONNECTION, TYPE 2                   | C-2 (2018) - 2     |
| DRAINAGE INLETS          | D&IDOT - STANDARD CONSTRUCTION DETAILS                        | 2018 | SECTION III - DRAINAGE     | CURB OPENING DETAILS                            | CURB OPENING DETAILS                            | C-4 (2012) - 1     |
| DRAINAGE INLETS          | D&IDOT - STANDARD CONSTRUCTION DETAILS                        | 2018 | SECTION III - DRAINAGE     | INLET BOX DETAILS                               | INLET BOX DETAIL                                | D-4 (2009)         |
|                          |   |      |                            | DRAINAGE INLET ASSEMBLY                         | DRAINAGE INLET ASSEMBLY                         | D-5 (2010) - 1     |
|                          |   |      |                            | DRAINAGE INLET FRAME AND GRATES                 | DRAINAGE INLET FRAME AND GRATES                 | D-5 (2014) - 2     |
|                          |   |      |                            | DRAINAGE INLET TOP UNITS                        | DRAINAGE INLET TOP UNITS                        | D-5 (2012) - 3     |
|                          |   |      |                            | DRAINAGE INLET COVER SLAB DETAILS               | DRAINAGE INLET COVER SLAB DETAILS               | D-5 (2010) - 4     |
|                          |   |      |                            | 34" X 24" DRAINAGE INLET AND COVER SLAB DETAILS | 34" X 24" DRAINAGE INLET AND COVER SLAB DETAILS | D-5 (2012) - 6     |
| BOX MANHOLE              | D&IDOT - STANDARD CONSTRUCTION DETAILS                        | 2018 | SECTION III - DRAINAGE     | MANHOLE DETAILS                                 | BOX MANHOLE ASSEMBLY                            | D-6 (2009) - 1     |
| BREAKAWAY POST           | D&IDOT - STANDARD CONSTRUCTION DETAILS                        | 2018 | SECTION VIII - TRAFFIC     | BREAKAWAY SIGN POST AND PIN ASSEMBLY DETAILS    | BREAKAWAY SIGN POST AND PIN ASSEMBLY DETAILS    | T-15 (2013)        |
|                          |   |      |                            | SHARED-USE PATH AND SIDEWALK DETAILS            | SHARED-USE PATH AND SIDEWALK DETAILS            | M-3 (2018)         |
| CONCRETE WHEEL STOP      | D&IDOT - STANDARD CONSTRUCTION DETAILS                        | 2018 | SECTION VI - MISCELLANEOUS | P.C.C. PARKING BUMPER                           | P.C.C. PARKING BUMPER                           | M-4 (2014)         |
| SIGN(S)                  | DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES - DE MUTCD | 2011 | PART 2, CHAPTER 2B         | STOP SIGN                                       | STOP SIGN (R1-1), 30"x30"                       | 2B-2, 2B-9 & 2B-10 |



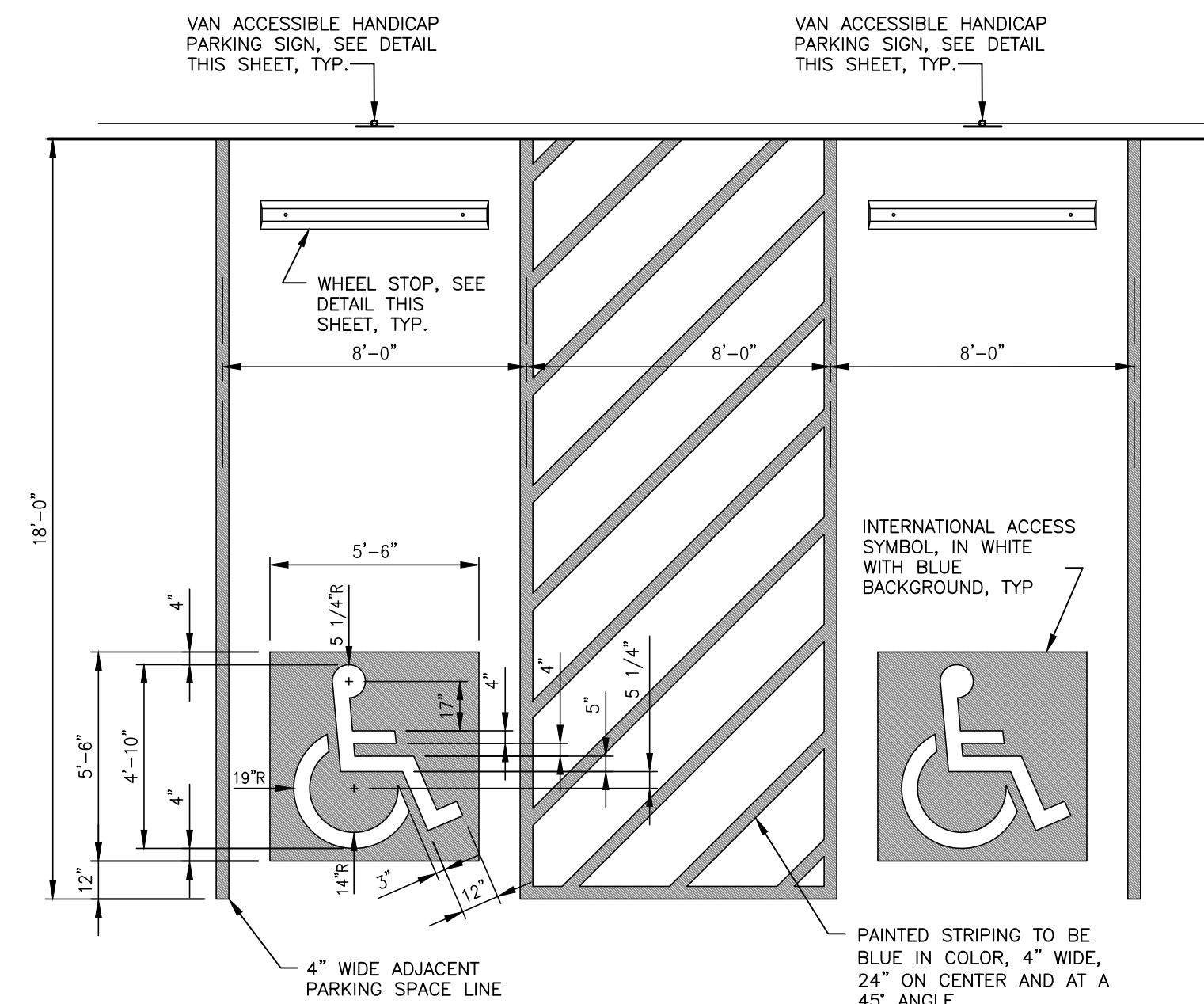
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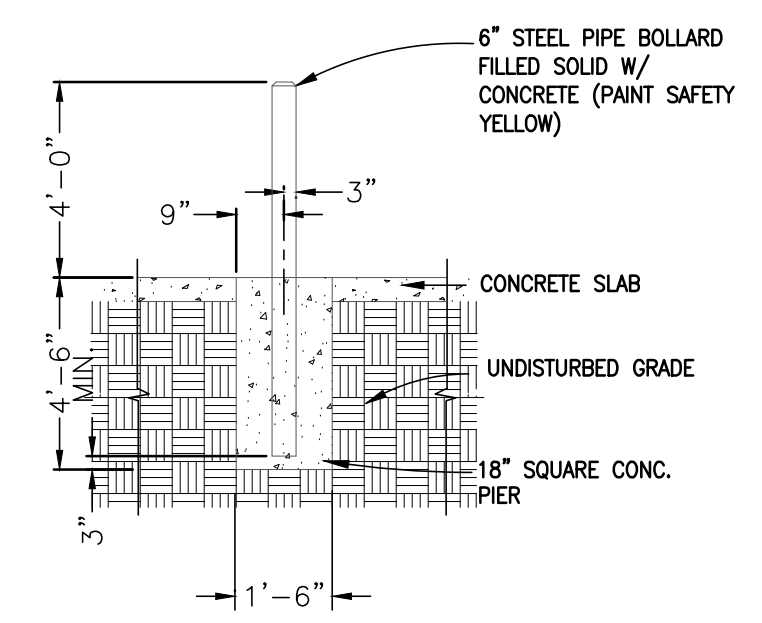
**CONCRETE TO ASPHALT PAVEMENT TIE-IN DETAIL**  
NOT TO SCALE



**VAN ACCESSIBLE HANDICAP PARKING SIGNAGE - AT CURB**  
NOT TO SCALE



**VAN ACCESSIBLE HANDICAP PARKING LAYOUT**  
NOT TO SCALE



**BOLLARD DETAIL**  
NOT TO SCALE

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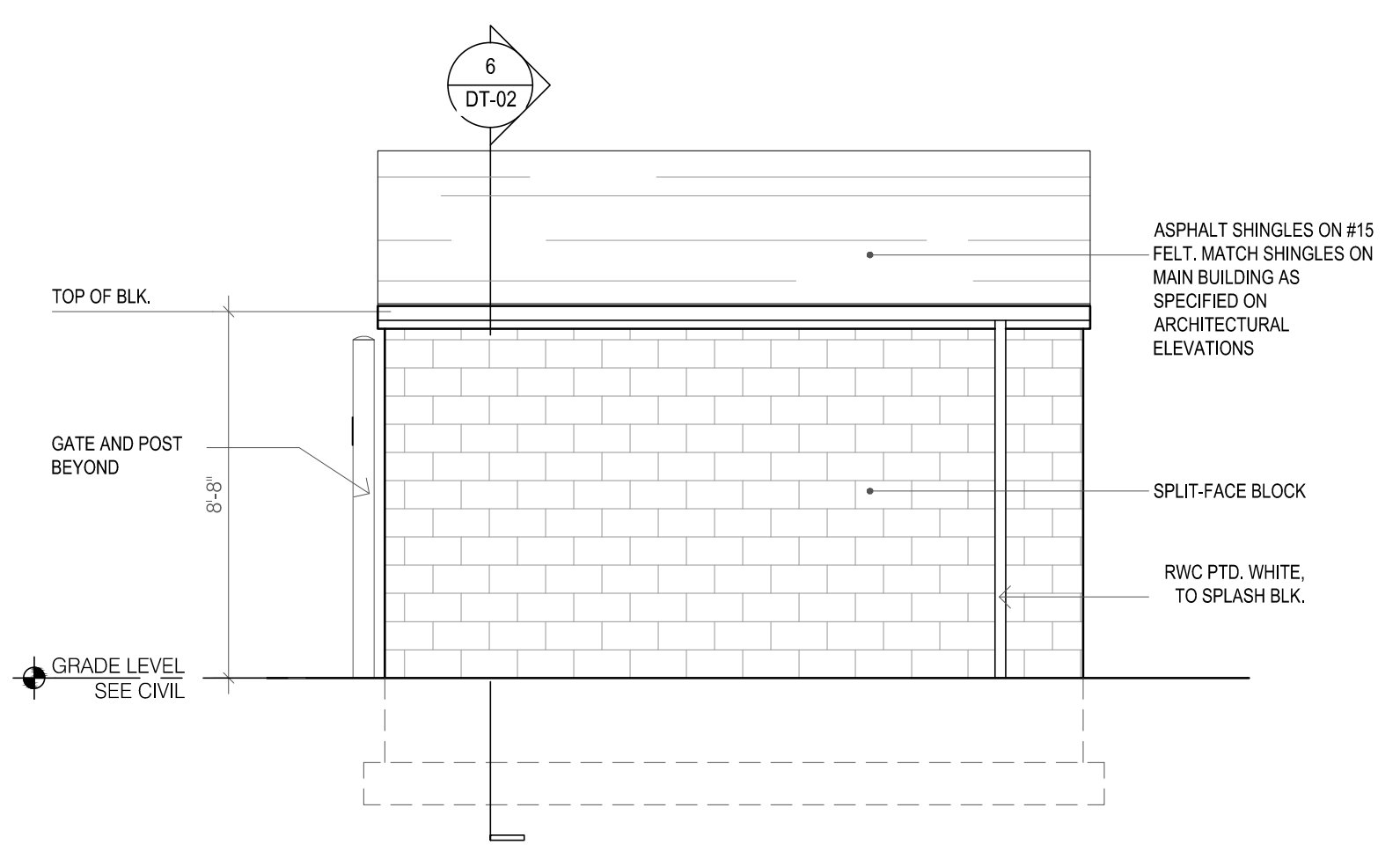
**DAVIS, BOWEN & FRIEDEL, INC.**  
ARCHITECTS ENGINEERS SURVEYORS  
SUSSEX COUNTY, DELAWARE (302) 824-1441  
MILFORD, DELAWARE (302) 824-1441  
ESTON, MARYLAND (410) 770-4744

**MICROTEL INN & SUITES/ TANGER - SEASIDE**  
**REHOBOTH BEACH**  
**LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DE**

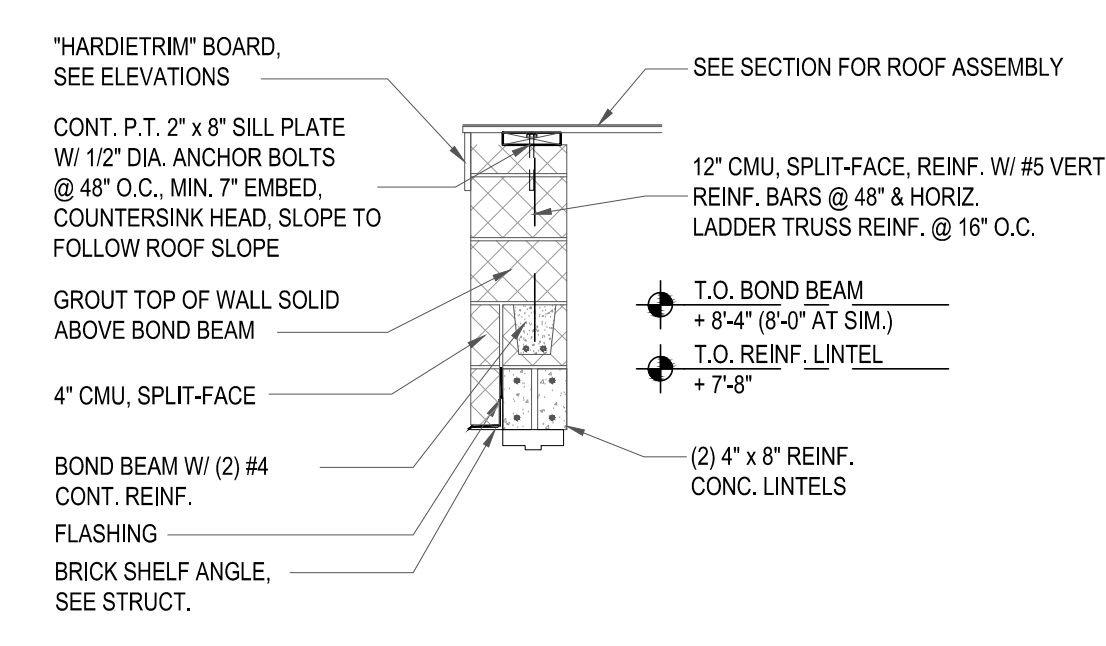
Revisions:

Date: MARCH 2020  
Scale: AS NOTED  
Dwn.By: ACM  
Proj.No.: 2953A002  
Dwg.No.: **PL-03**

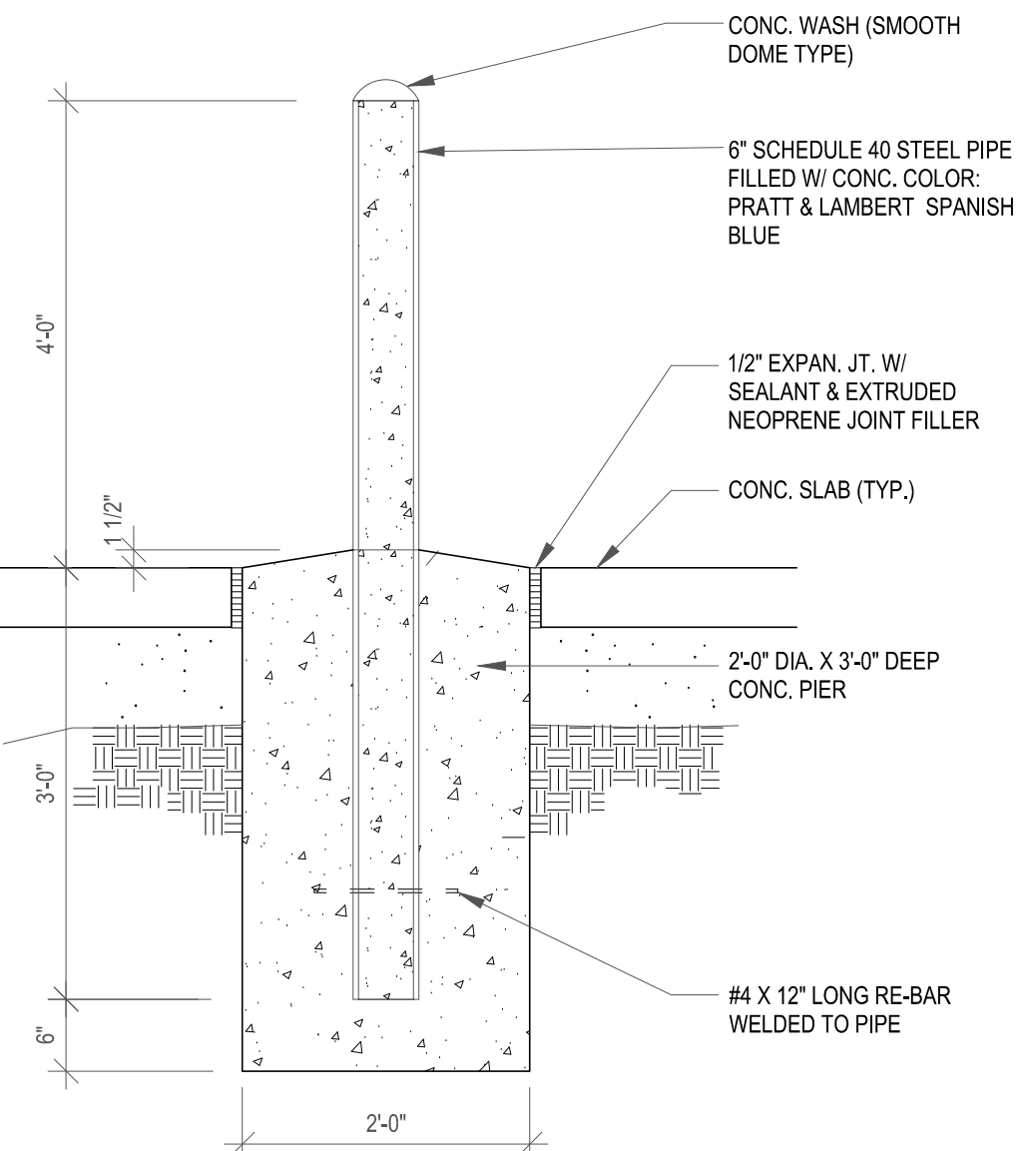




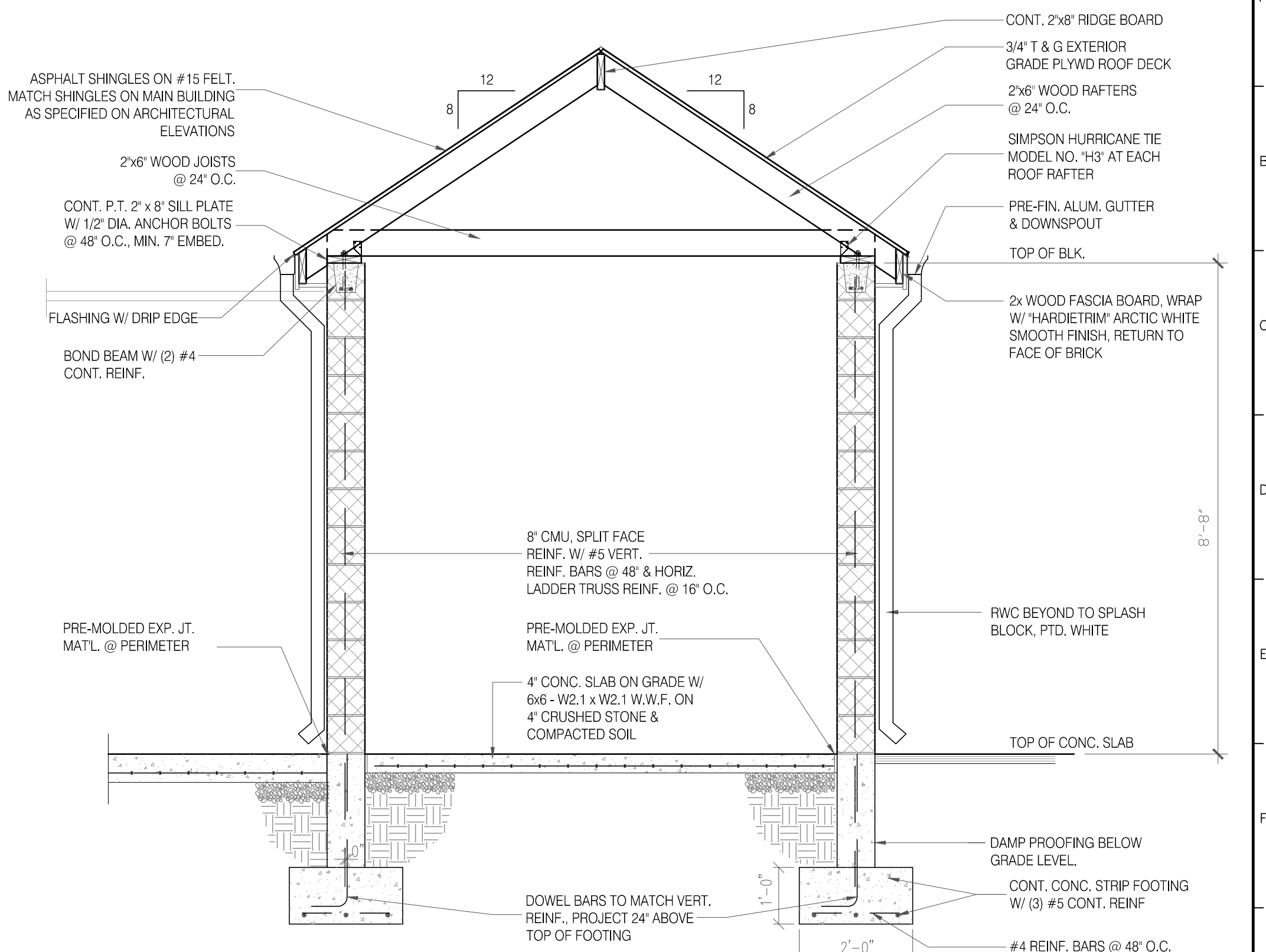
6 ENCLOSURE ELEVATION  
1/4" = 1'-0"



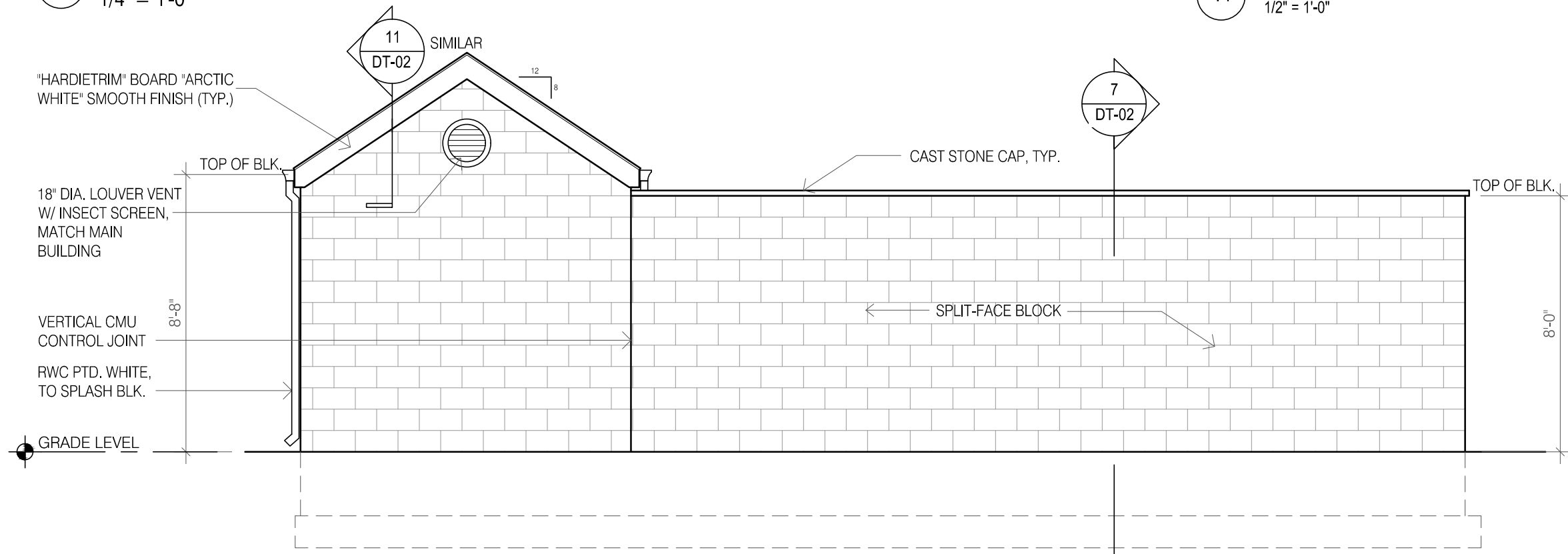
11 WALL SECTION DOOR HD DETAIL  
1/2" = 1'-0"



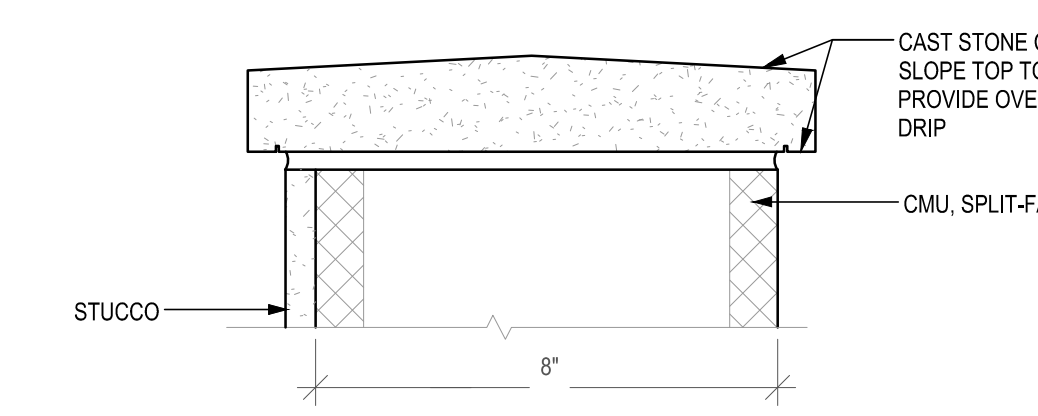
9 BOLLARD DETAIL  
3/4" = 1'-0"



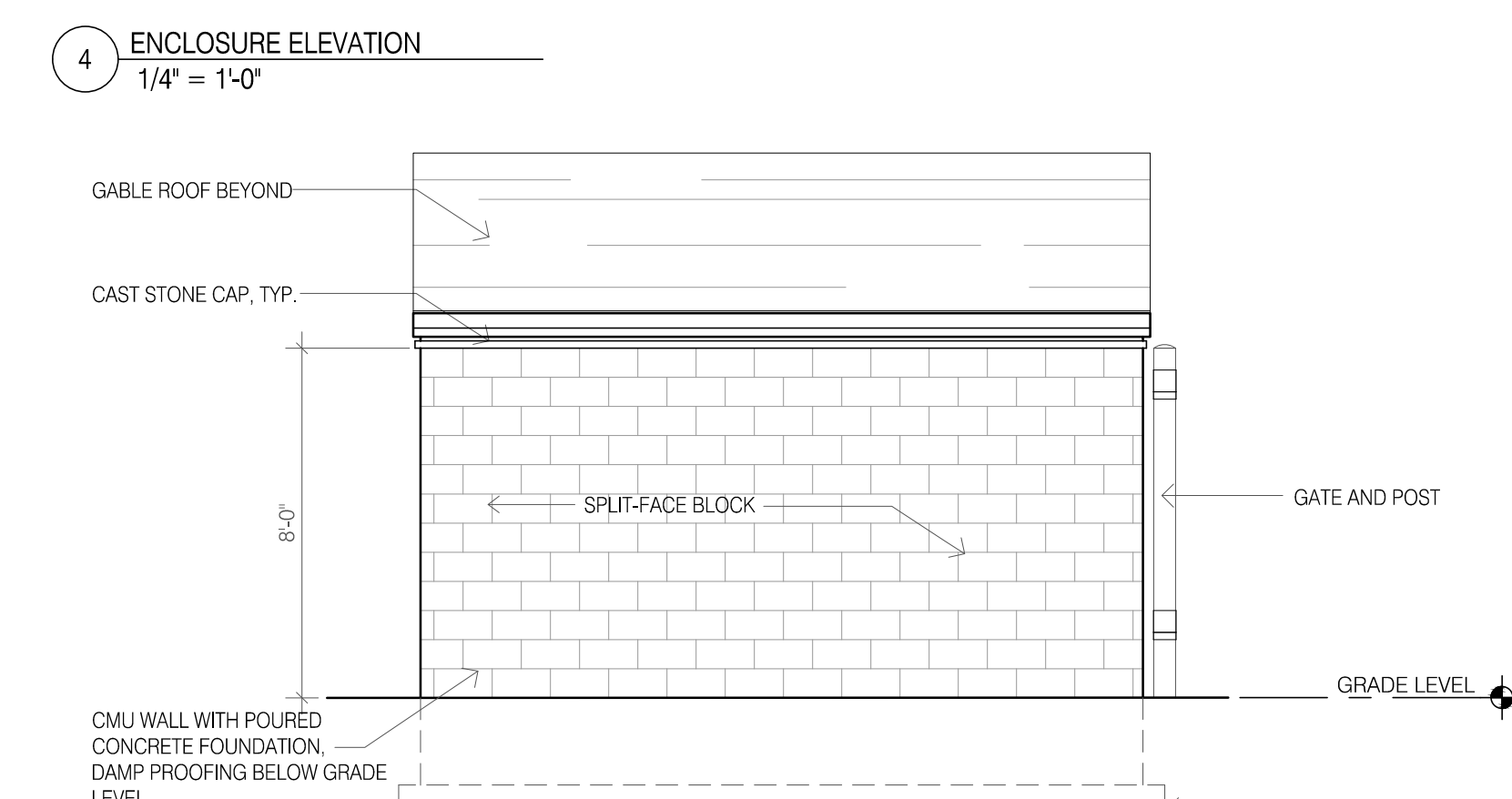
6 ENCLOSURE BLDG. SECTION  
1/2" = 1'-0"



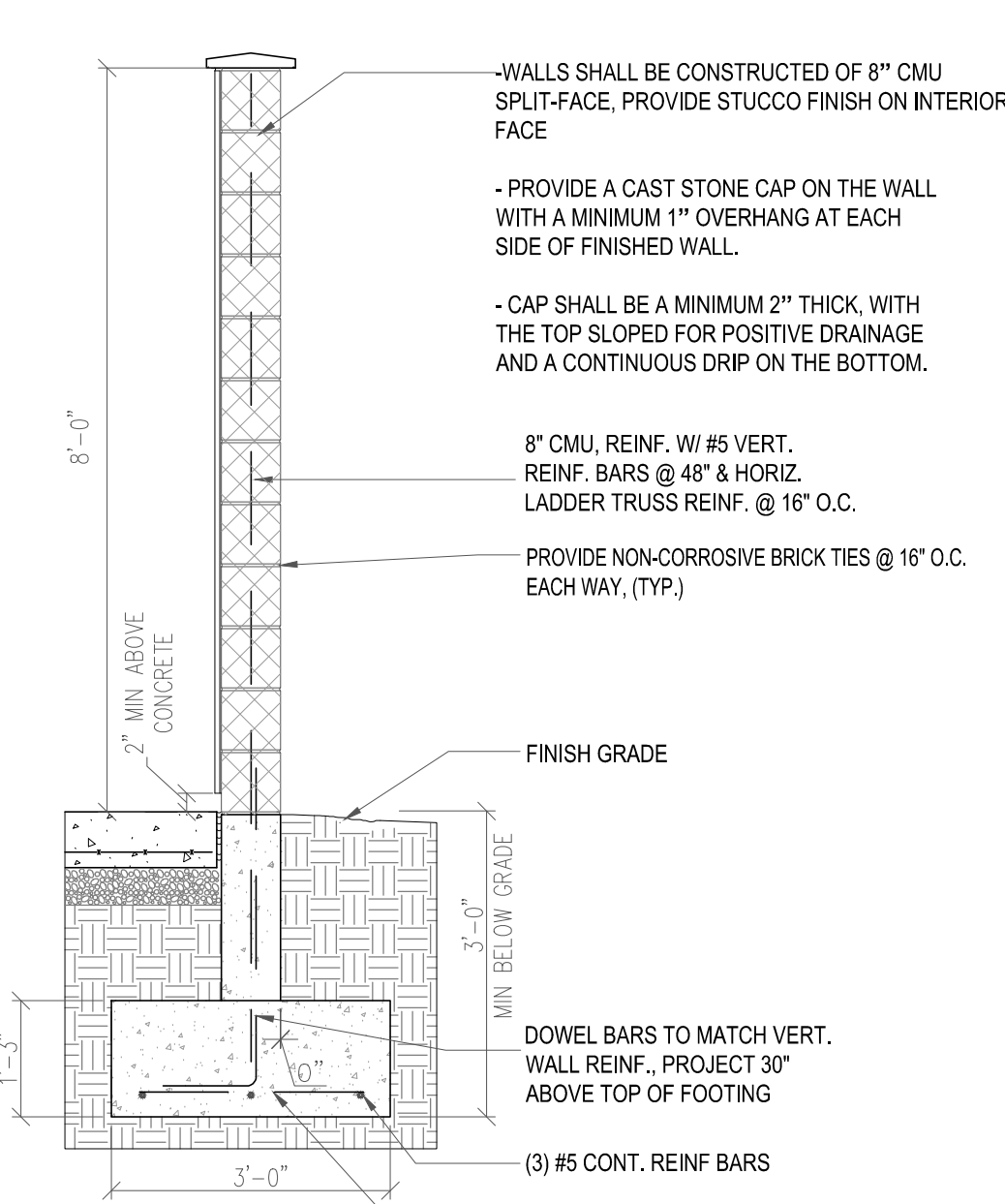
5 ENCLOSURE ELEVATION  
1/4" = 1'-0"



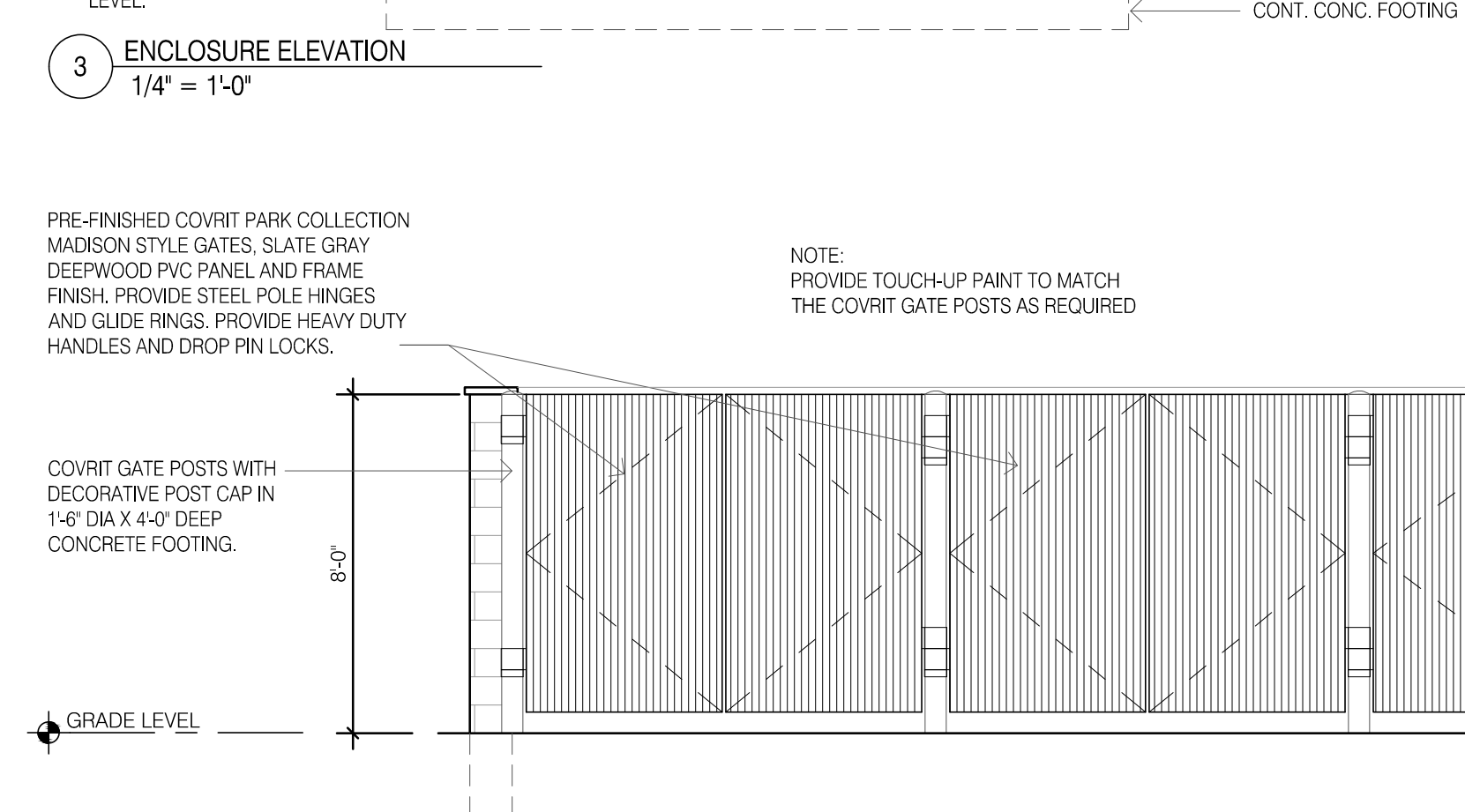
8 WALL CAP DETAIL  
3" = 1'-0"



4 ENCLOSURE ELEVATION  
1/4" = 1'-0"



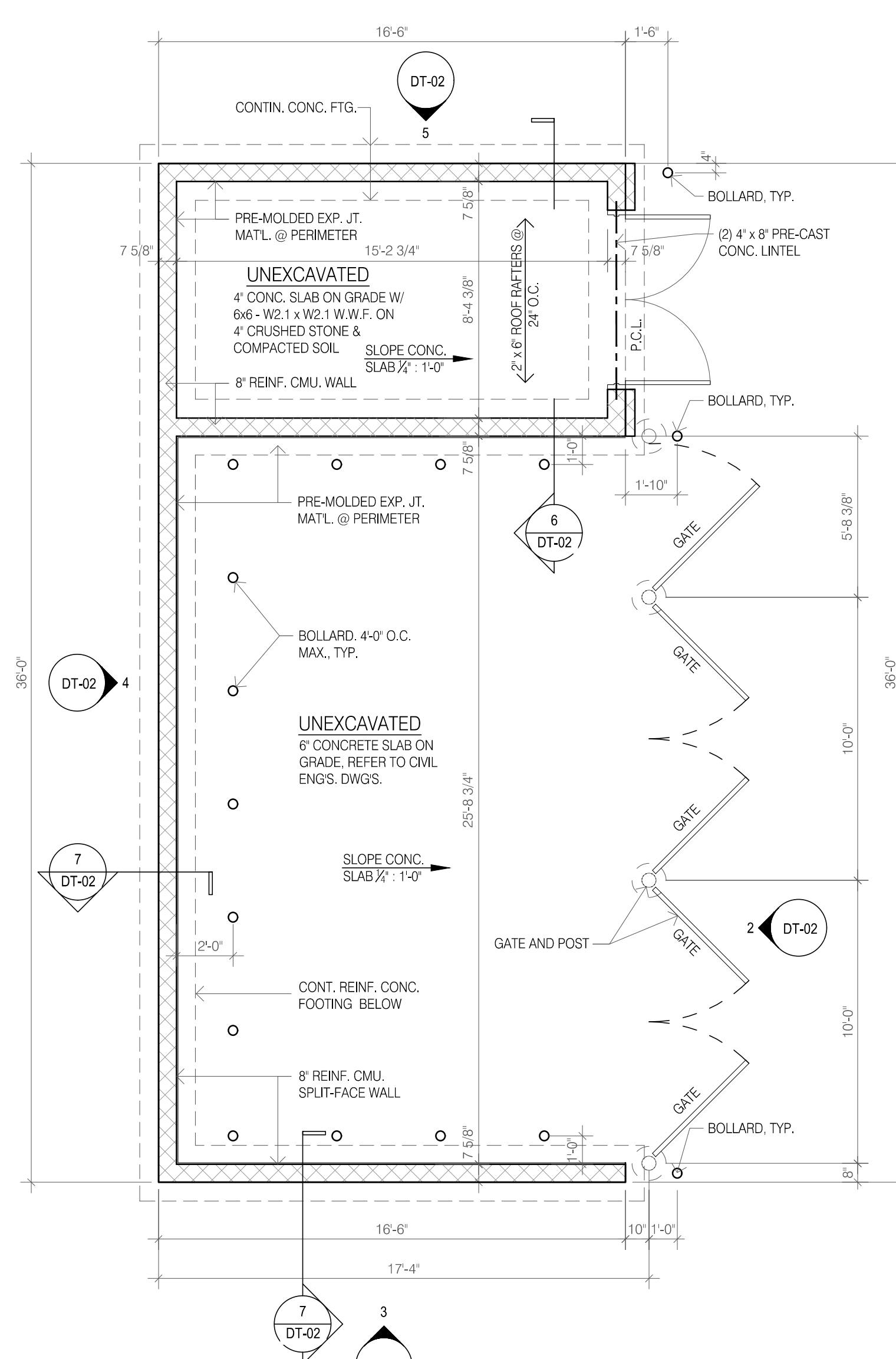
7 ENCLOSURE WALL DETAIL  
1/2" = 1'-0"



3 ENCLOSURE ELEVATION  
1/4" = 1'-0"



2 ENCLOSURE ELEVATION  
1/4" = 1'-0"



1 GARBAGE AND RECYCLING ENCLOSURE PLAN  
1/4" = 1'-0"

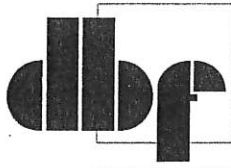
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**DAVIS, BOWEN & FRIEDEL, INC.**  
ARCHITECTS ENGINEERS SURVEYORS  
OFFICE: WILMINGTON, DELAWARE (302) 424-1441  
OFFICE: EASTON, MARYLAND (410) 770-4744

**MICROTEL INN & SUITES/ TANGER - SEASIDE  
REHOBOTH BEACH  
LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DE**

|            |            |
|------------|------------|
| Revisions: |            |
| Date:      | MARCH 2020 |
| Scale:     | AS NOTED   |
| Drawn By:  | ACM        |
| Proj. No.: | 2953A002   |
| Dwg. No.:  | PL-04      |

PRELIMINARY - DETAILS



Michael R. Wigley, AIA, LEED AP  
W. Zachary Crouch, P.E.  
Michael E. Wheedleton, AIA  
Jason P. Loan, P.E.  
Ring W. Lardner, P.E.  
Jamie L. Sechler, P.E.

April 9, 2020

Sussex County Planning and Zoning  
2 The Circle  
Georgetown, DE 19947

Attn: Nick Torrance  
Planner I

RE: Tanger Microtel  
Setback Encroachment  
Tax Parcel: 3-34-13.00-325.36  
DBF # 2953A002.A01

Dear Mr. Torrance:

On behalf of our client, Beacon Hospitality, we are respectfully requesting a waiver to allow parking within the front yard and side yard setback. A major subdivision to create the parcel of land has been placed on hold in response to the pandemic. The parcel of land does not have road frontage with access provided via interconnectivity to Holland Glade Road and / or SR-1. In addition, the parcel of land is surrounded by lands owned by the State of Delaware which will likely remain undeveloped. In consideration that a road does not exist adjacent to the parcel and surrounding lands will likely remain undeveloped we are requesting a waiver to allow parking in the front and side yard setbacks and for the enclosed dumpster to be located in the side and rear yard setbacks. The parcel of land will also have a screen along the side and rear yards due to the adjacent AR zoned lands.

If you have any questions or need additional information, please contact me at (302) 424-1441 or via email at [rwl@dbfinc.com](mailto:rwl@dbfinc.com)

Sincerely,  
*Davis, Bowen & Friedel, Inc.*

Ring W. Lardner, P.E.  
Principal

\\mil0\CIVIL\Beacon Hospitality\Tanger Microtel\DOCS\P&Z\2020-04-09 Comment Response\Setback Encroachment Request.docx

Cc: Beacon Hospitality





# LANDS OF WADE LLC. OFFICE BUILDING ADDITION

## CONSTRUCTION DOCUMENTS

TAX PARCEL 3-34-13.00-150.00  
REHOBOTH CANAL - REHOBOTH BAY  
LEWES & REHOBOTH HUNDRED  
35603 BIRCH ROAD, REHOBOTH BEACH, DE 19971  
SUSSEX COUNTY, DELAWARE

### DATA COLUMN

TAX MAP NUMBER: 3-34-13.00-150.00  
EXISTING ZONING: C-1 (GENERAL COMMERCIAL)  
PROPOSED USE: OFFICE BUILDING  
NEAREST INTERSECTION: BIRCH ROAD & SOUTH STREET  
SITE LOCATION: LAT: 38.433610, LONG: 75.074680  
SITE AREA: 19,971± S.F. (0.46± ACRES)  
NET DEVELOPMENT AREA: 19,971± S.F. (0.46± ACRES)  
EXISTING STRUCTURES: HOUSE/PORCH: 1,168 S.F.  
POLE BARN: 4,000 S.F.  
EXISTING IMPERVIOUS AREAS: 9,802 S.F.  
EXISTING PERVIOUS AREAS: 5,001 S.F.  
PROPOSED STRUCTURES: 3-STORY PROPOSED BUILDING: 1,440 S.F. (4,320 S.F. TOTAL) EX. POLE BARN: 4,000 S.F.  
PROPOSED IMPERVIOUS AREAS: 9,665 S.F. (PAYEMENT & SIDEWALK)  
PROPOSED PERVIOUS AREAS: 4,866 S.F.  
SETBACKS  
FRONT YARD: 60 FT  
CORNER YARD: 15 FT  
SIDE YARD: 5 FT  
REAR YARD: 5 FT

NOTE:  
1. A 7-FT VARIANCE FROM THE 15-FT REQUIRED FRONT CORNER YARD SETBACK AND A 13.8-FT VARIANCE FROM THE REQUIRED 60-FT FRONT YARD SETBACK WERE GRANTED BY THE BOARD OF ADJUSTMENT ON MARCH 2, 2020. (BOA CASE NO. 12418)  
2. 1 PARKING SPACE REQUIRED FOR EVERY 200 S.F. OF FLOOR SPACE USED FOR CUSTOMER SERVICE PURPOSES

PROPOSED CUSTOMER SERVICE S.F.  
FIRST FLOOR: 822 S.F.  
SECOND FLOOR: 803 S.F.  
THIRD FLOOR: 869 S.F.  
TOTAL: 2,494 S.F.

EXISTING PARKING SPACES: 16

PROPOSED PARKING SPACES: 16

REQUIRED PARKING SPACES: 13

PROPOSED BUILDING CONSTRUCTION: TYPE V (000)

WETLANDS: N/A

FLOOD HAZARD MAP: THE SITE IS LOCATED WITHIN ZONE "X" AS PER FEMA FLOOD INSURANCE RATE MAP #10005C0332K, DATED: MARCH 16, 2015.

UTILITIES PROVIDER:  
WATER: ON SITE WELL

SEWER: SUSSEX COUNTY UNIFIED SANITARY SEWER DISTRICT

TOPOGRAPHIC AND BOUNDARY SURVEY PERFORMED BY DAVIS, BOWEN & FRIEDEL INC. OF SALISBURY, MARYLAND. DATED: MAY 30, 2019

VERTICAL DATUM: NAD 83  
NAVD 88

OWNER: WADE LLC.  
37606 BRIGANTINE CT.  
REHOBOTH BEACH, DE 19971

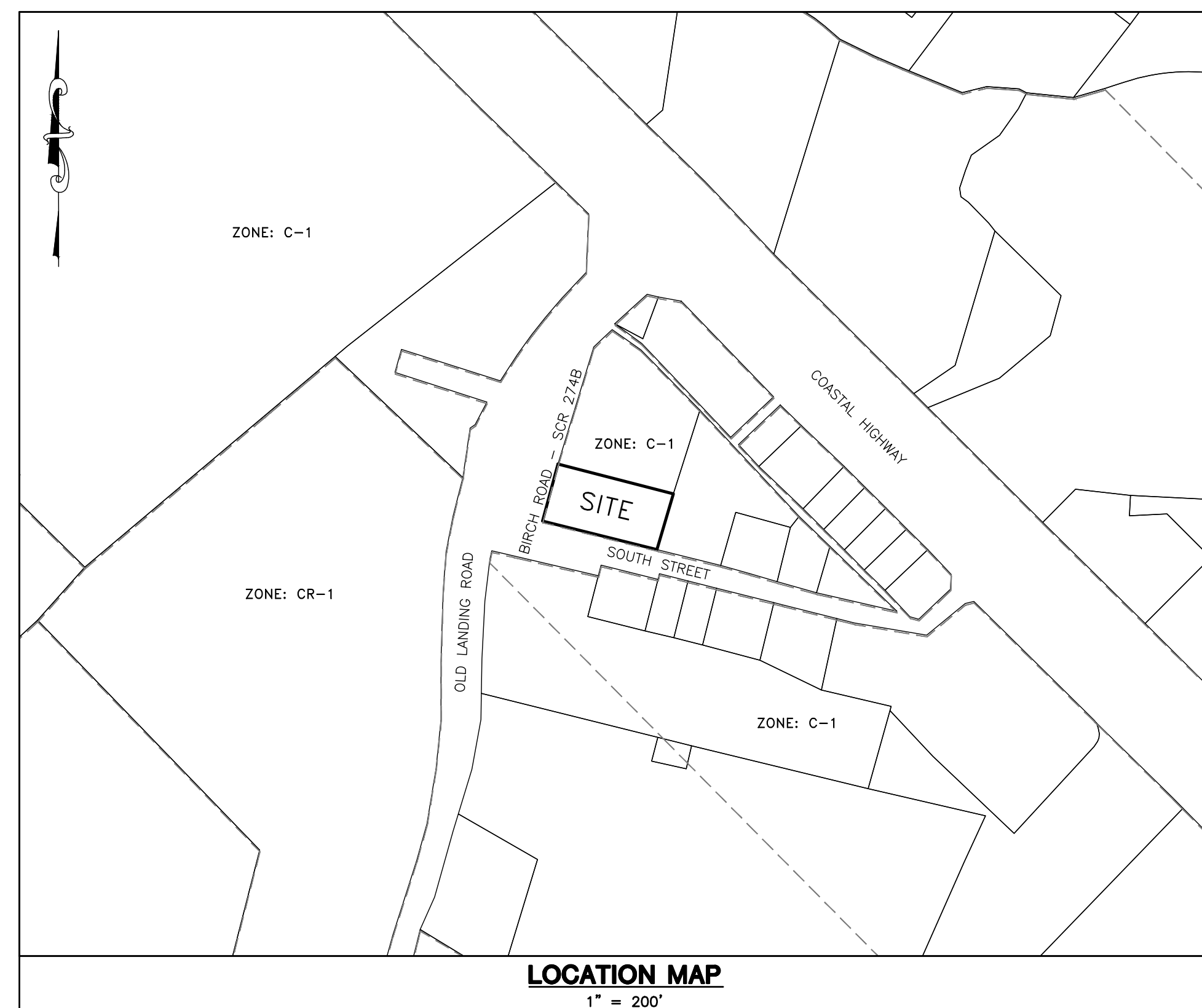
DEVELOPER: WADE LLC.  
37606 BRIGANTINE CT.  
REHOBOTH BEACH, DE 19971

ENGINEER: DAVIS, BOWEN, & FRIEDEL, INC.  
1 PARK AVE.  
MILFORD, DE 19963  
(302)424-1441

### GENERAL NOTES

- HORIZONTAL AND VERTICAL CONTROL SURVEY BY DAVIS, BOWEN AND FRIEDEL, INC. OF SALISBURY MARYLAND. VERTICAL/HORIZONTAL DATUM - N.A.V.D. 88 / NAD 83 RESPECTIVELY. DATED: MAY 30, 2019
- EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS, INCLUDING TELEPHONE, ELECTRIC, CABLE TV, GAS, TRAFFIC, SIGNAL, WATER, SEWER, FORCE MAINS AND STORM DRAINAGE ARE BASED UPON THE BEST AVAILABLE INFORMATION AND ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. NO GUARANTEE IS MADE OR IMPLIED REGARDING THE ACCURACY OR COMPLETENESS THEREOF. CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION, DEPTH, SIZE AND MATERIAL OF ALL UNDERGROUND UTILITIES TO HIS OWN SATISFACTION BEFORE BEGINNING ANY EXCAVATION OR PIPE LAYING. THE COUNTY, OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION. IF THE CONTRACTOR RELIES ON SAID INFORMATION, HE DOES SO AT HIS OWN RISK. THE GIVING OF THE INFORMATION ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO SUPPORT AND PROTECT ALL SHOWN OR NOT SHOWN EXISTING UTILITIES AND APPURTENANCES. SHOULD ANY EXISTING UTILITIES BE DAMAGED BY THE CONTRACTOR, THEN THE CONTRACTOR SHALL REPAIR THE DAMAGE CAUSED TO THE COUNTY'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL MAKE HIS OWN INVESTIGATION AND TEST PIT EXISTING UTILITIES AS REQUIRED.
- CONTRACTOR SHALL NOTIFY "MISS UTILITY" (1-800-282-8555 IN DE) & (1-800-441-8555 OUTSIDE OF DE) AT LEAST 3 CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION TO HAVE EXISTING UNDERGROUND UTILITIES LOCATED AND MARKED.
- ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- USE ONLY SUITABLE AND APPROVED GRANULAR MATERIAL FOR BACK FILLING TRENCHES.
- CONTRACTOR SHALL COMPLY WITH DELAWARE DIVISION OF HIGHWAYS PERMITS, POLICIES, SPECIFICATIONS AND STANDARDS AND COORDINATE ACTIVITIES WITH DELDOT TRAFFIC SECTION PRIOR TO COMMENCEMENT OF ACTIVITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF TRAFFIC IN ALL WORK AREAS IN ACCORDANCE WITH DELDOT REQUIREMENTS. ANY PAVEMENT MARKINGS OR PAINTED LINES DISTURBED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED IN KIND AFTER COMPLETION OF PAVEMENT RESTORATION.
- CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL RIGHT-OF-WAY LINES AND PROPERTY LINES TO HIS OWN SATISFACTION. ALL PROPOSED UTILITIES ARE TO BE CONSTRUCTED WITHIN THE STREET RIGHT-OF-WAY OR EASEMENT AREAS PROVIDED. ANY DISTURBED AREAS BEYOND THE RIGHT-OF-WAY OR EASEMENT LINES SHALL BE RESTORED IMMEDIATELY TO THEIR ORIGINAL CONDITION. PAYMENT FOR THIS WORK SHALL BE INCLUDED IN THE COST OF ITEMS BID.
- CONTRACTOR SHALL PROVIDE STAKEOUT SURVEY NECESSARY FOR THE PARKING LOT CONSTRUCTION, THE INSTALLATION OF UTILITY WORK AND APPURTENANCES, AND DETERMINATION OF RIGHT-OF-WAY.
- CONTRACTOR SHALL EXERCISE CAUTION AND TAKE MEASURES NECESSARY TO PROTECT TREES DURING CONSTRUCTION ACTIVITIES. DAMAGED TREES TO BE REPLACED, IN KIND, AT THE CONTRACTOR'S EXPENSE.
- ALL ROADWAYS ARE TO BE SWEEP FREE OF SEDIMENT ON A DAILY BASIS.
- THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE WORK AREA, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL, REGULATORY, WARNING, AND INFORMATIONAL SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE. THE COST SHALL BE INCLUDED IN THE COST OF ITEMS BID.
- ALL EXISTING REGULATORY AND WARNING TYPE TRAFFIC SIGNS, AND ALL STREET NAME SIGNS OCCURRING WITHIN THE PROPOSED PROJECT LIMITS SHALL BE REMOVED AND IMMEDIATELY REPLACED AS DIRECTED BY THE STATE.
- CONTRACTOR SHALL GRADE, TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS OF CONSTRUCTION, INCLUDING PIPE INSTALLATION OR DITCH CONSTRUCTION. EROSION CONTROL MATTING SHALL BE PROVIDED ON ALL SLOPES GREATER THAN 3:1.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- PARKING SPACES RESERVED FOR USE BY THE HANDICAPPED AND RELATED ACCESSIBLE ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE GUIDELINES ENTITLED "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES" (REFERENCE: ANSI A117.1-1998). ALL ACCESSIBLE ROUTES MUST COMPLY WITH U.S. DEPARTMENT OF JUSTICE 2010 AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND SHALL APPRAISE AND COORDINATE DURING ALL PHASES OF CONSTRUCTION:  
17.1 SUSSEX COUNTY ENGINEERING DEPARTMENT 302-855-7718  
17.2 DAVIS, BOWEN & FRIEDEL, INC. 302-424-1441  
17.3 SUSSEX CONSERVATION DISTRICT 302-856-2105
- ALL PROPOSED SIGNAGE WILL REQUIRE A SEPARATE PERMIT WITH SUSSEX COUNTY PLANNING AND ZONING.

SUSSEX COUNTY REFERENCE NUMBER: (S-20-15)  
DBF PROJECT NO. 2374D001.A01 FEBRUARY, 2020



| INDEX OF SHEETS |  |
|-----------------|--|
| 01              | TITLE                                    |
| 02              | DEMOLITION & EXISTING CONDITIONS PLAN    |
| 03              | SITE PLAN                                |
| 04              | GRADING, EROSION & SEDIMENT CONTROL PLAN |
| 05-08           | EROSION & SEDIMENT DETAILS               |

### ENGINEER'S STATEMENT

I, W. ZACHARY CROUCH, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

by W. ZACHARY CROUCH, P.E. DATE  
DAVIS, BOWEN & FRIEDEL, INC.  
1 PARK AVENUE,  
MILFORD, DELAWARE, 19963

### OWNER'S STATEMENT

"I, THE UNDERSIGNED, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E., BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS, AND I UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT, AS REFERENCED ON THIS COVERSHEET."

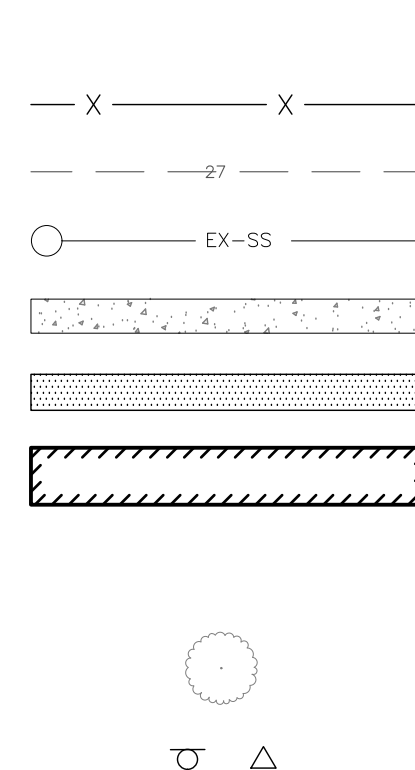
WADE LLC.  
37606 BRIGANTINE COURT  
REHOBOTH BEACH, DE 19971

### SUSSEX CONSERVATION DISTRICT

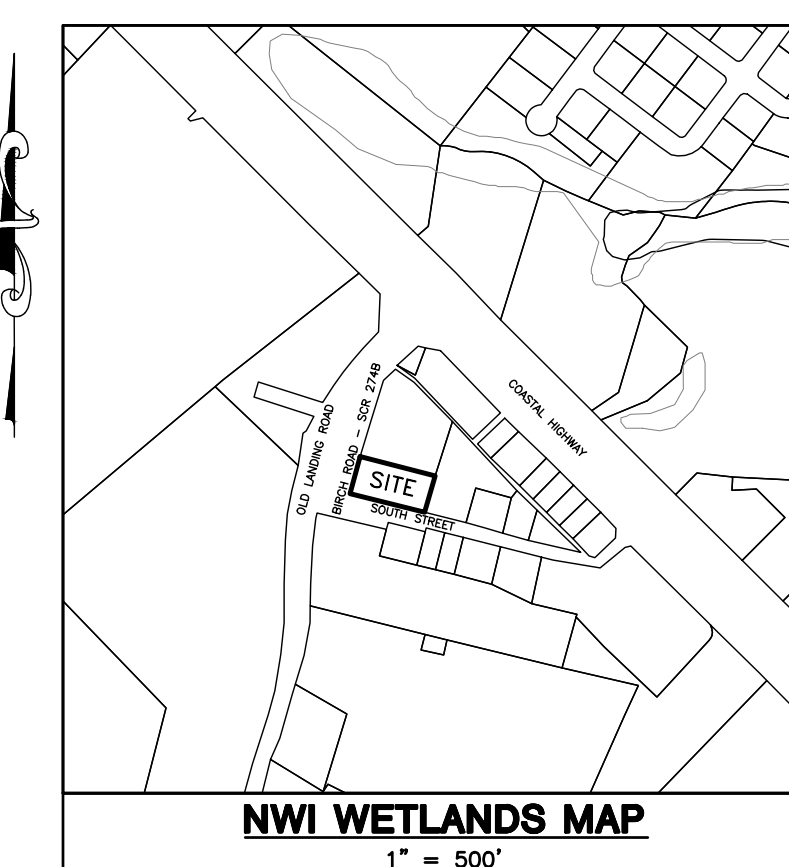
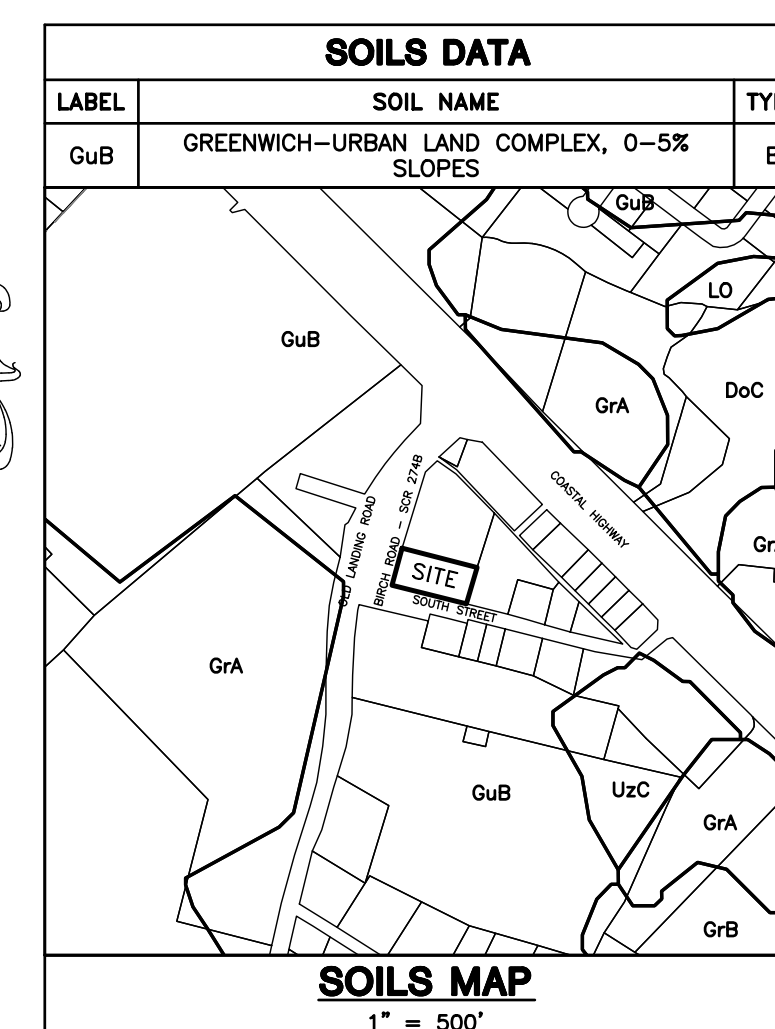
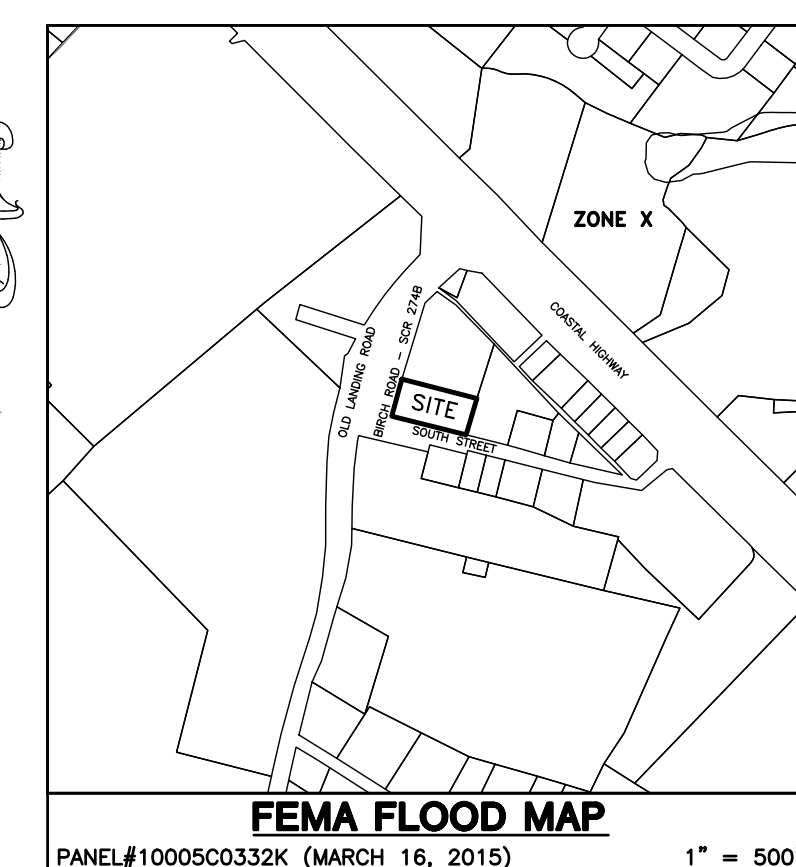
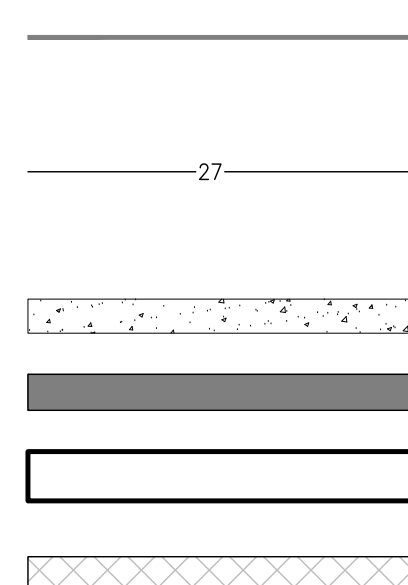
LIMIT OF DISTURBANCE: 0.16 ACRES

### LEGEND

#### EXISTING



#### PROPOSED



REVISED:  
2020-04-10: FIRE MARSHAL, P&Z

# SEQUENCE OF DEMOLITION

1. THE CONTRACTOR SHALL NOTIFY AGENCIES AS NOTED ON SHEET 1.
2. THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA AT 1-800-282-8555 FOR UTILITY LOCATIONS WITHIN AND SURROUNDING CONSTRUCTION AREAS NOT LESS THAN 3 DAYS BEFORE PERFORMING ANY EXCAVATION.
3. COORDINATE ALL ACTIVITY WITH EROSION & SEDIMENT CONTROL PLANS.
4. INSTALL PERIMETER SILT FENCE.
5. MINIMIZE CLEARING AND GRADING OPERATIONS TO AREAS NECESSARY FOR IMMEDIATE CONSTRUCTION ACTIVITY.
6. SAWCUT & REMOVE PAVING IN THE AREA FOR THE CONSTRUCTION ENTRANCE.
7. ESTABLISH STABILIZED CONSTRUCTION ENTRANCE.
8. REMOVE STRUCTURES, PAVING, TREES, FENCE, UTILITIES AS SHOWN IN THE DEMOLITION PLAN.

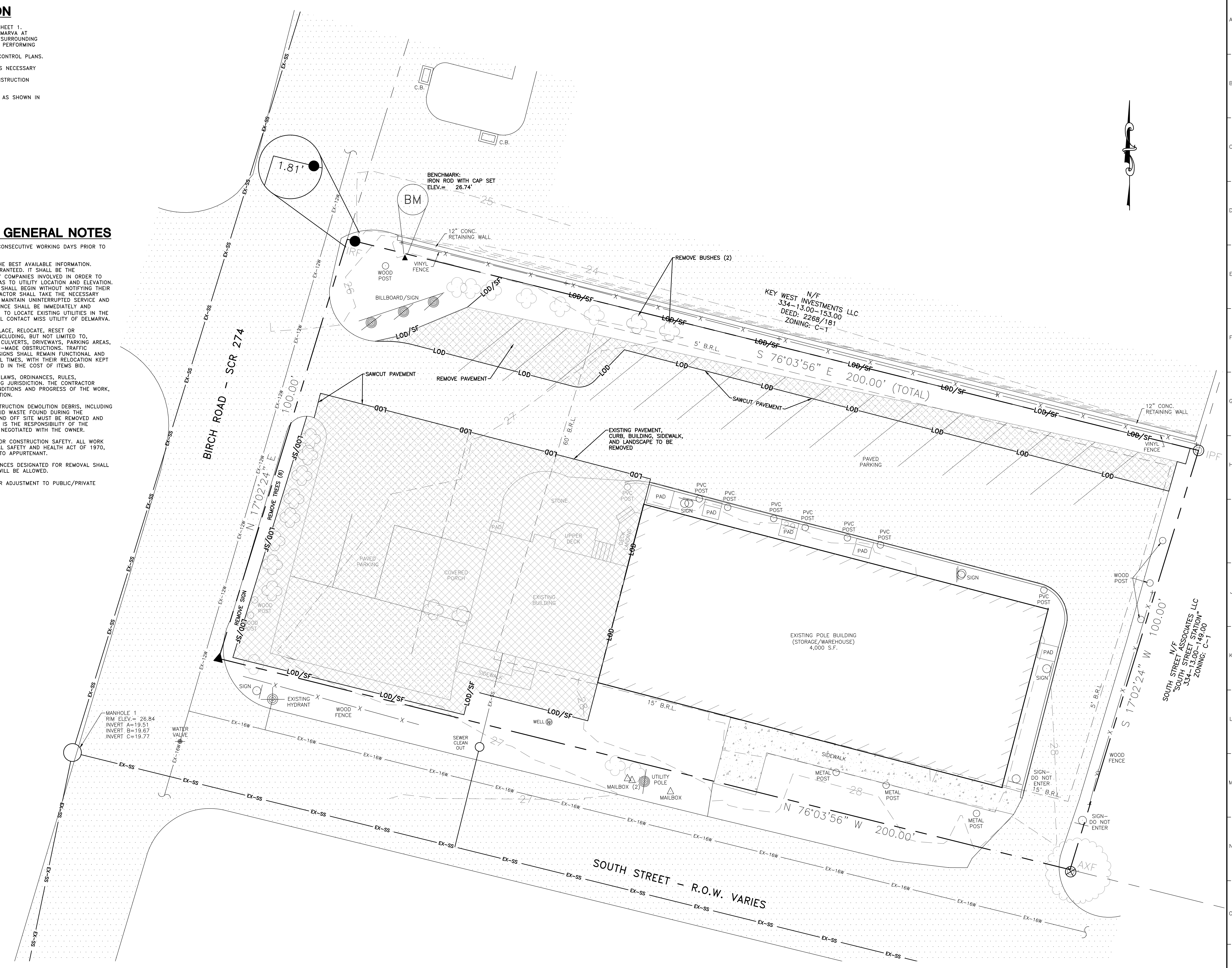
**LIMIT OF DISTURRRANCE**  
0.16 ACRES

**DATUM**  
VERTICAL: NAVD88  
HORIZONTAL: NAD 83 (DE STATE PLANE)

**NORTH BENCHMARK (N.W. CORNER OF SUBJECT PARCEL)**  
NORTHING: 264851.21, EASTING: 738028.96  
IRON ROD WITH CAP SET  
ELEV. 26.74'

# DEMOLITION AND SAFETY GENERAL NOTES

1. MISS UTILITY OF DELMARVA SHALL BE NOTIFIED THREE CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
2. EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48 HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA.
3. THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE ROAD WAY, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL, REGULATORY, WARNING AND INFORMATIONAL SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE. THE COST SHALL BE INCLUDED IN THE COST OF ITEMS BID.
4. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION. THE CONTRACTOR SHALL ERRECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
5. DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM. ADDITIONAL COSTS WILL BE NEGOTIATED WITH THE OWNER.
6. DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL WORK MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
7. ALL EXISTING SEWER PIPE, MANHOLES, AND APPURTENANCES DESIGNATED FOR REMOVAL SHALL BE REMOVED. NO ABANDONED IN PLACE COMPONENTS WILL BE ALLOWED.
8. CONTRACTOR TO COORDINATE THE CAPPING/REMOVAL OR ADJUSTMENT TO PUBLIC/PRIVATE UTILITIES, INCLUDING GAS.



**DAVIS, BOWEN & FRIEDEL, INC.**  
ARCHITECTS ENGINEERS SURVEYORS

1500 MARKET STREET  
MILFORD, DELAWARE 19967  
(302) 424-1411  
(410) 770-4714

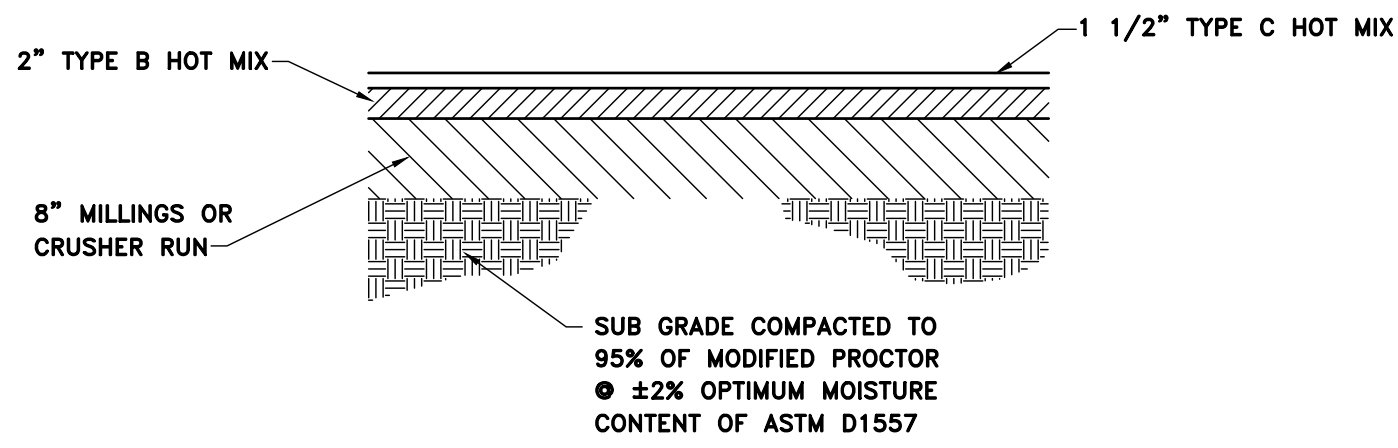
# LANDS OF WARD LLC. OFFICE BUILDING ADDITION LEWES AND REHOBOTH HUNDRED, SUSSEX COUNTY, DE

REVISID:  
2020-04-10: FIRE MARSHAL, P&Z

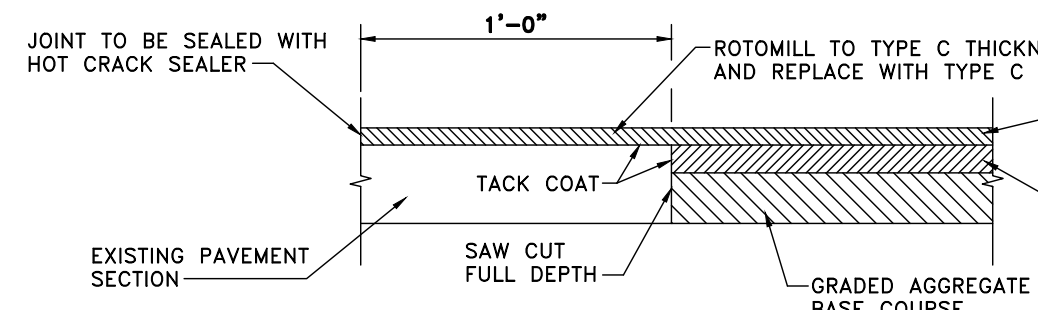
Date: FEBRUARY 2020  
Scale: 1"=10'  
Dwn.By: KTH/KJK  
Proj.No.: 2374D001  
Dwg.No.:

**02**

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**PAVEMENT SECTION**  
NO SCALE



**PAVEMENT TIE-IN DETAIL**  
NO SCALE

**HYDRANT FLOW TEST RESULTS**

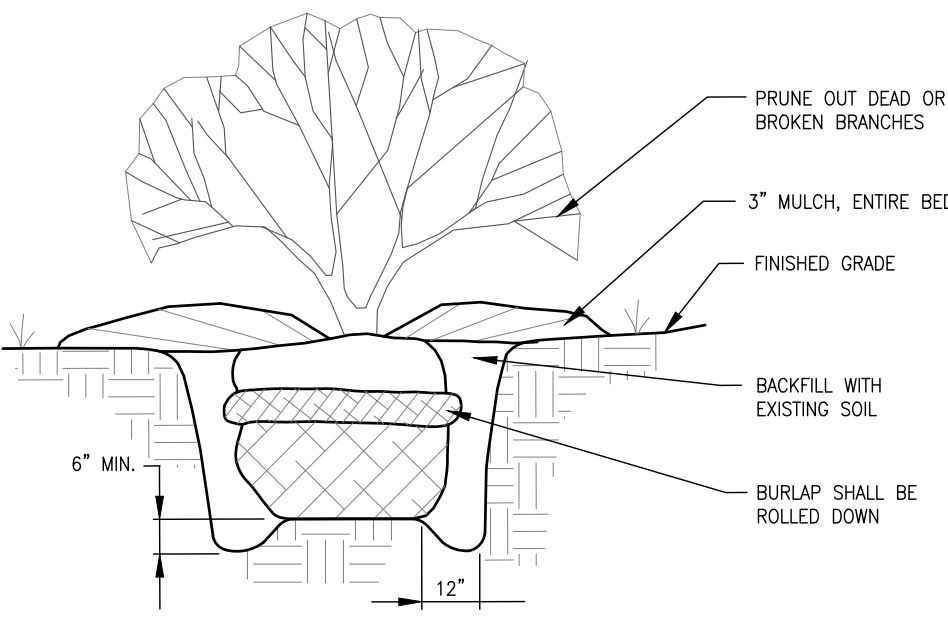
DATE: 4/8/2020  
 TIME: 13:15  
 TOWER: LOW  
 HYDRANT LOCATION: CORNER OF SOUTH ST. AND BIRCH RD.  
 RESIDUAL HYDRANT LOCATION: CORNER OF STONEWOOD LANE AND BIRCH ROAD  
 CONTRACTOR: DAVIS, BOWEN AND FRIEDEL, CHRIS BECKMAN

**HYDRANT FLOW CALCULATION**  
 $GPM = 29.84 \times C \times D^2 \times \sqrt{P}$   
 $1021 = 29.84 \times 0.9 \times 6.25 \times 6.08$   
 PITOT = 37

$Q = 29.84 \times c \times d^2 \times \sqrt{P}$   
 29.84 is a constant  
 "c" is the coefficient of discharge factor  
 "d" is the actual diameter of the hydrant orifice in inches  
 "P" is the pressure in PSI as read on gauge of pitot orifice

**FLOW AT 20 PSI**  
 $QR = QF \times \frac{(static - 20)}{(static - residual)} \times 0.54$   
 $5419 = 1021 \times \frac{22 - 0.54}{1 - 0.54} \times 0.54$

Residual = 41    Static = 42  
 QR is the flow predicted at 20 psi  
 QF is the flow measured during the test in gpm  
 static is the pressure measured (in psi) at the start of testing before flowing  
 residual is the pressure measured (in psi) under flow conditions



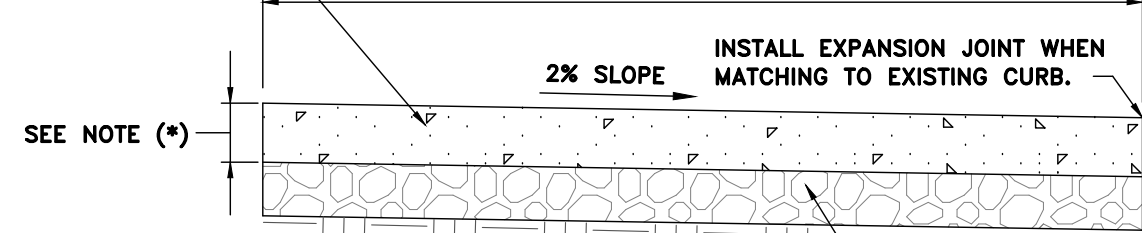
**SHRUB PLANTING DETAIL**  
NO SCALE

| LANDSCAPE PLANT SCHEDULE |     |                                 |                            |                |          |
|--------------------------|-----|---------------------------------|----------------------------|----------------|----------|
| SYMBOL                   | KEY | BOTANICAL NAME                  | COMMON NAME                | SIZE           | QUANTITY |
|                          | AG  | Abelia x grandiflora            | GLOSSY ABELIA              | 18"-24", Cont. | 5        |
|                          | IG  | Ilex glabra 'Compacta'          | COMPACT INKBERRY           | 18"-24", Cont. | 3        |
|                          | JV  | Juniperus virginiana 'Grey Owl' | GREY OWL EASTERN RED CEDAR | 18"-24", Cont. | 3        |

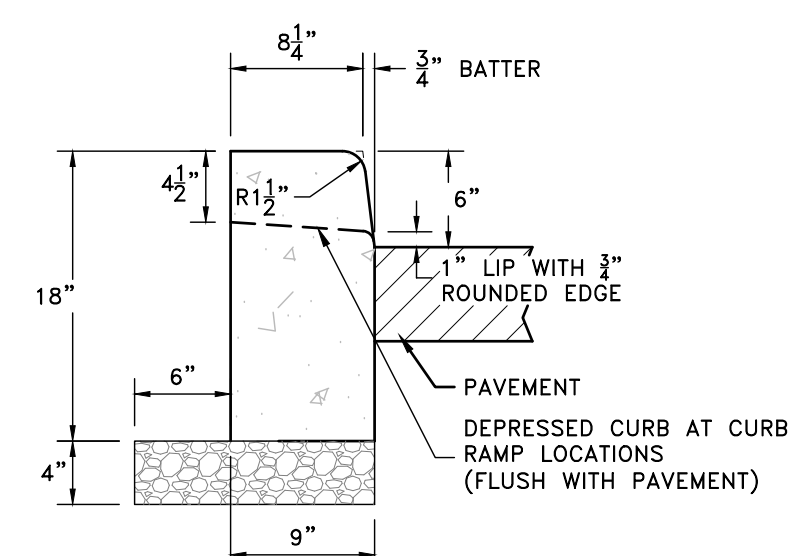
**FIRE PROTECTION NOTES**

- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
- WATER PROVIDER: ON-SITE WELL
- PROPOSED BUILDING CONSTRUCTION: TYPE V (000)
- INTENDED USE: OFFICE BUILDING / STORAGE
- AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.
- MAXIMUM HEIGHT OF BUILDING: 42' (3-STORY)
  - PROPOSED OFFICE BUILDING: 41.5'±
  - EXISTING POLE BUILDING: 25.5'±

CLASS 'A' CONCRETE 4000 PSI WITH FIBER MESH, SECTION 824 PER DELDOT STANDARDS AND SPECIFICATIONS.



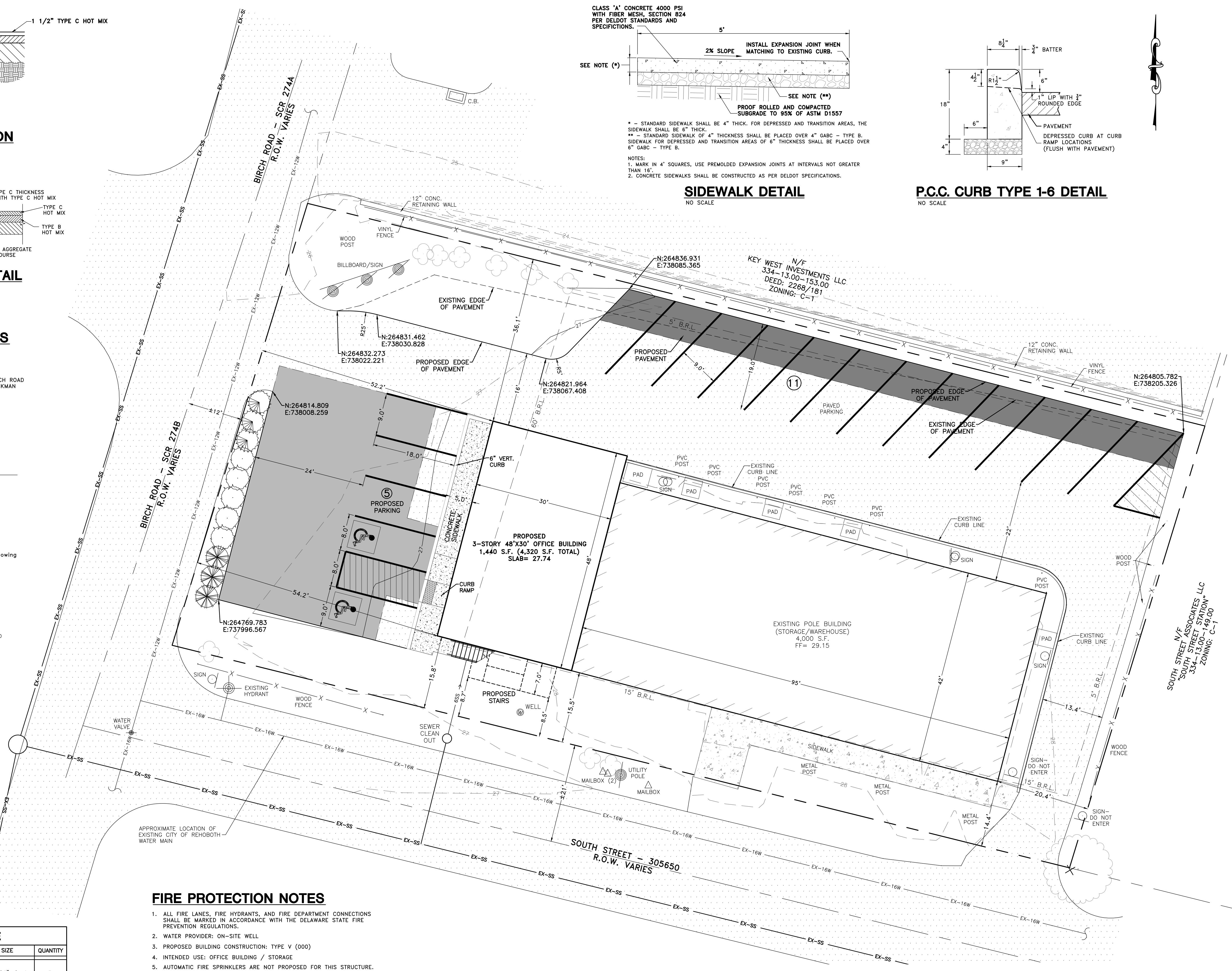
**SIDEWALK DETAIL**  
NO SCALE



**P.C.C. CURB TYPE 1-6 DETAIL**  
NO SCALE

\* - STANDARD SIDEWALK SHALL BE 4" THICK. FOR DEPRESSED AND TRANSITION AREAS, THE SIDEWALK SHALL BE 6" THICK.  
 \*\* - STANDARD SIDEWALK OF 4" THICKNESS SHALL BE PLACED OVER 4" GABC - TYPE B. SIDEWALK FOR DEPRESSED AND TRANSITION AREAS OF 6" THICKNESS SHALL BE PLACED OVER 6" GABC - TYPE B.

NOTES:  
 1. MARK IN 4' SQUARES, USE PREMOULDED EXPANSION JOINTS AT INTERVALS NOT GREATER THAN 16'.  
 2. CONCRETE SIDEWALKS SHALL BE CONSTRUCTED AS PER DELDOT SPECIFICATIONS.



ARCHITECTS ENGINEERS SURVEYORS  
 DAVIS, BOWEN & FRIEDEL, INC.  
 1000 MARKET STREET  
 WILMINGTON, DELAWARE 19801  
 (302) 424-1411  
 (302) 424-1411  
 (410) 770-4744

**LANDS OF WADE LLC.**  
**OFFICE BUILDING ADDITION**  
**LEWES AND REHOBOTH HUNDRED, SUSSEX COUNTY, DE**

REVISOR: 2020-04-10: FIRE MARSHAL, P&Z

Date: FEBRUARY 2020  
 Scale: 1"=10'  
 Dwn.By: KTH/KJK  
 Proj.No.: 2374D001  
 Dwg.No.: 03

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# SEQUENCE OF CONSTRUCTION

NOTIFY THE SUSSEX CONSERVATION DISTRICT IN WRITING AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.

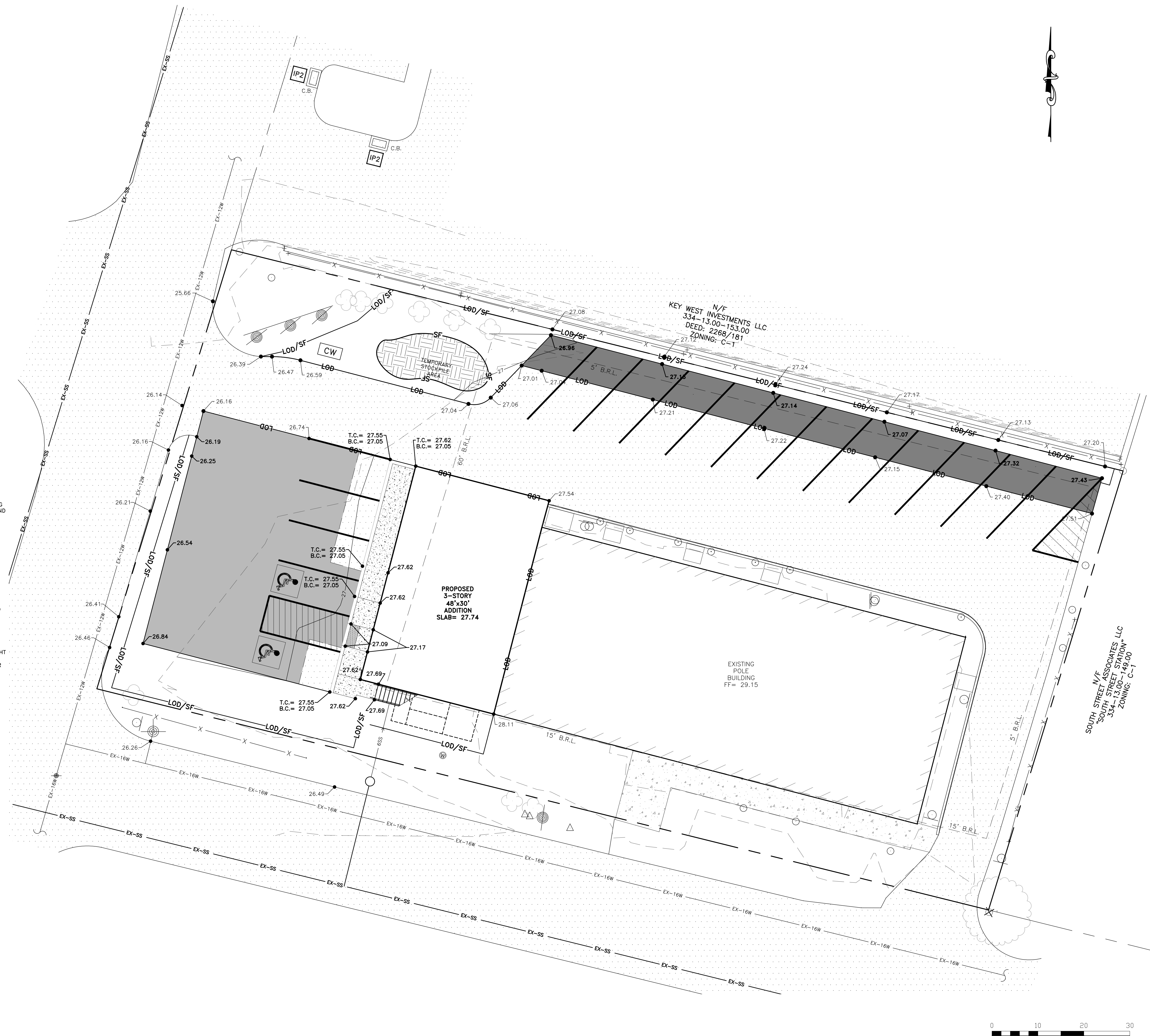
1. PRIOR TO ANY DEMOLITION, CLEARING, INSTALLATION OF SEDIMENT CONTROL MEASURES OR GRADING, A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED AND CONDUCTED WITH THE AGENCY CONSTRUCTION SITE REVIEWER. THE LANDOWNER/DEVELOPER, CONTRACTOR, AND CERTIFIED CONSTRUCTION REVIEWER ARE REQUIRED TO BE IN ATTENDANCE AT THE PRE-CONSTRUCTION MEETING; THE DESIGNER IS RECOMMENDED TO ATTEND.
2. ALL PERIMETER CONTROLS ARE TO BE REVIEWED BY THE AGENCY CONSTRUCTION SITE REVIEWER AND APPROVED PRIOR TO PROCEEDING WITH FURTHER SITE DISTURBANCE OR CONSTRUCTION.
3. INSTALL INLET PROTECTION ON ALL STORM INLETS.
4. THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHOULD BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENTATION ON THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR REPAIR MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
5. MINIMIZE DEMOLITION, CLEARING AND GRADING OPERATIONS TO AREAS NECESSARY FOR IMMEDIATE CONSTRUCTION ACTIVITY. IF DUST CONTROL BECOMES A PROBLEM, REFER TO DUST CONTROL DETAIL 3.4.8
6. PERFORM SITE DEMOLITION IN ACCORDANCE WITH SHEET 2.
7. STRIP TOPSOIL AND PERFORM ROUGH GRADING FOR BUILDING AND PARKING AREAS.
8. RESTORE ALL DISTURBED AREAS NOT TO BE COVERED BY PAVEMENT WITH PERMANENT STABILIZATION IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL NOTES.
9. INSTALL UTILITIES AS NOTED.
10. FINE GRADE FOR BUILDING. BEGIN BUILDING CONSTRUCTION.
11. FINE GRADE AREAS OF PROPOSED PAVING AND INSTALL AGGREGATE BASE COURSE.
12. MILL DESIGNATED PAVEMENT AREAS IN ACCORDANCE WITH SITE AND GRADING PLANS.
13. INSTALL PAVING AND SIDEWALK AS SHOWN ON SITE AND GRADING PLANS.
14. STABILIZE ALL REMAINING DISTURBED AREAS IN ACCORDANCE WITH EROSION AND SEDIMENT CONTROL NOTES AND DETAILS.
15. UPON COMPLETION OF PAVING AND STABILIZATION OF ALL DISTURBED AREAS,
  - A. REMOVE SEDIMENT FROM STORMDRAIN SYSTEM.
  - B. STABILIZE DISTURBANCE IMMEDIATELY.
13. EROSION AND SEDIMENT CONTROL DEVICES SHOULD BE REMOVED ONLY AFTER WORK IN AN AREA HAS BEEN COMPLETED AND STABILIZED, WITH WRITTEN APPROVAL FROM THE AGENCY CONSTRUCTION SITE REVIEWER.
14. THE TERMINATION OF THE CONSTRUCTION GENERAL PERMIT WILL REQUIRE SUBMISSION AND ACCEPTANCE OF THE POST CONSTRUCTION VERIFICATION DOCUMENTS, INCLUDING FINAL STABILIZATION THROUGHOUT THE SITE. ALL ELEMENTS OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN IMPLEMENTED, AND ACCEPTANCE OF THE FINAL OPERATION AND MAINTENANCE PLAN.
15. FILE NOTICE OF TERMINATION FOR NPDES PERMIT WITH DNREC UPON FINAL POST-BULK INSPECTION APPROVAL.

# GENERAL NOTES

1. THE SUSSEX CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 5 DAYS PRIOR TO COMMENCING WITH CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
2. REVIEW AND/OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
3. IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY DNREC OR THE DELEGATED AGENCY.
4. FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER SEDIMENT CONTROLS, SOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
5. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
6. AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHOULD BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
7. APPROVAL OF A SEDIMENT AND STORMWATER MANAGEMENT PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
8. THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
9. BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7. DEL. C. CH 60, REGULATIONS GOVERNING THE CONTROL OF WATER POLLUTION, SECTION 9.1.02, KNOWN AS SPECIAL CONDITIONS FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, AND DNREC POLICIES, PROCEDURES, AND GUIDANCE.

# LEGEND

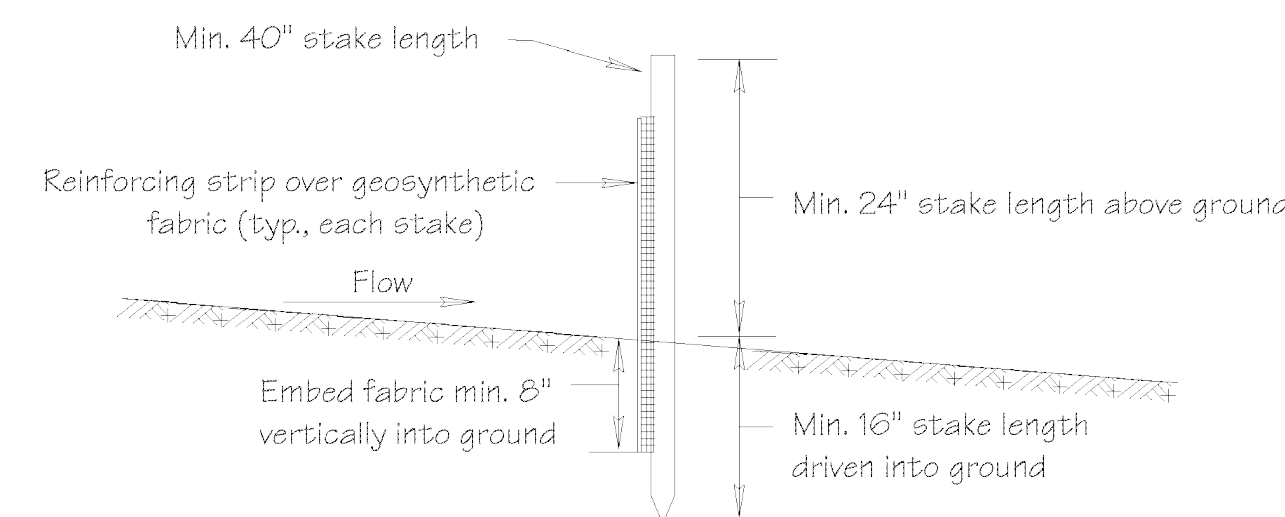
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|--|---|
|  | LIMIT OF DISTURBANCE                                    |
|  | LIMIT OF DISTURBANCE / SILT FENCE                       |
|  | INLET PROTECTION TYPE-2                                 |
|  | CONCRETE WASHOUT  |
|  | EXISTING SPOT GRADE                                     |
|  | PROPOSED SPOT GRADE                                     |
|  | TEMPORARY STOCKPILE AREA/<br>MAINTENANCE SET ASIDE AREA |



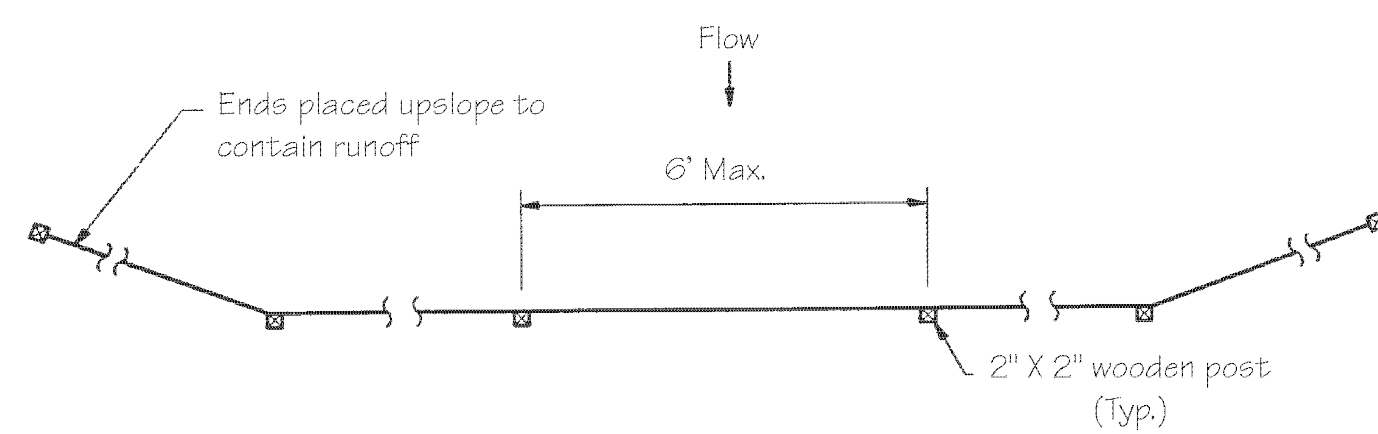


Standard Detail & Specifications

Silt Fence



Section



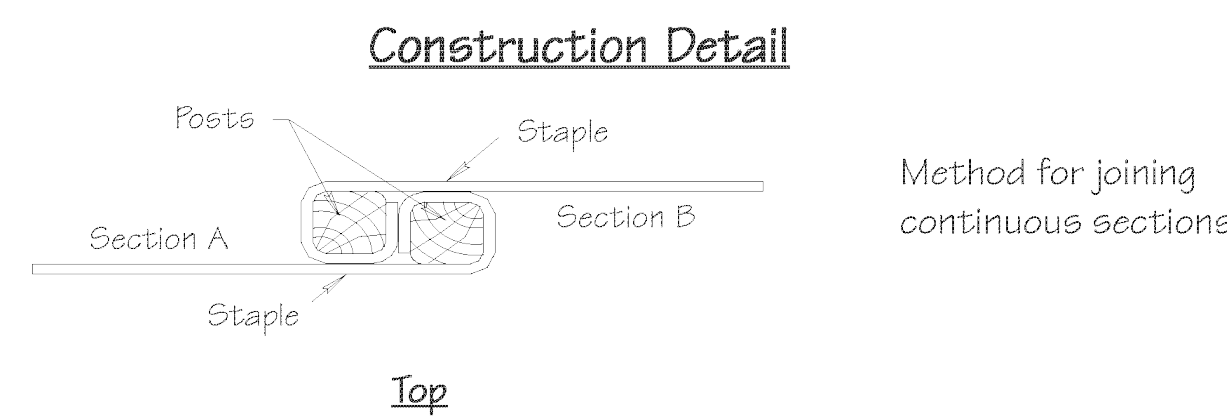
Plan

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| Source:                                | Symbol:   | Detail No.  |
| Adapted from MD Stds. & Specs. for ESC | <b>SF</b> | <b>DE-ESC-3.1.2.1</b><br>Sheet 1 of 2<br>Effective FEB 2019 |



Standard Detail & Specifications

Silt Fence



Method for joining continuous sections

Construction Notes:

- Geosynthetic fabric to be fastened securely to fence posts with wire ties or staples.
- When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
- Maintenance shall be performed as needed and material removed when "bulges" develop in the silt fence.

Materials:

- Stakes:** Steel (either T or U) or 2" x 2" hardwood
- Geosynthetic Fabric:** Type GD-1
- Reinforcing strip:** Wooden lath or plastic strip

|  |           |   |
|--|-----------|---|
| Source:                                | Symbol:   | Detail No.  |
| Adapted from MD Stds. & Specs. for ESC | <b>SF</b> | <b>DE-ESC-3.1.2.1</b><br>Sheet 2 of 2<br>Effective FEB 2019 |

Standard Detail & Specifications

Vegetative Stabilization

| TEMPORARY SEEDING BY RATES, DEPTHS AND DATES |                      |                 |                                    |          |            |          |                             |           |           |                                |
|--|----------------------|-----------------|------------------------------------|----------|------------|----------|-----------------------------|-----------|-----------|--------------------------------|
| Mix #  | Species <sup>6</sup> | Seeding Rate    | Optimum Seeding Dates <sup>1</sup> |          |            |          | Planting Depth <sup>3</sup> |           |           |                                |
|  |                      |                 | Coastal Plain                      |          | Piedmont   |          |                             | All       |           |                                |
| Certified Seed                               | lb/Ac <sup>5</sup>   | lb/1000 sq. ft. | 2/1-4/30                           | 5/1-8/14 | 8/15-10/31 | 9/1-4/30 | 5/1-7/31                    | 8/1-10/31 | 10/31-2/1 |                                |
| 1  | Barley               | 125             | 4                                  | O        | A          | O        | O                           | A         | O         | 1-2 inches<br>2-3" sandy soils |
| 2  | Oats                 | 125             | 4                                  | O        | A          | A        | O                           | A         | A         | 1-2 inches<br>2-3" sandy soils |
| 3  | Rye                  | 125             | 4                                  | O        | A          | O        | O                           | A         | O         | 1-2 inches<br>2-3" sandy soils |
| 4  | Perennial Ryegrass   | 125             | 4                                  | O        | A          | O        | O                           | A         | O         | 0.5 inches<br>1-2" sandy soils |
| 5  | Annual Ryegrass      | 125             | 4                                  | O        | A          | O        | O                           | A         | O         | 0.5 inches<br>1-2" sandy soils |
| 6  | Winter Wheat         | 125             | 4                                  | O        | A          | O        | O                           | A         | O         | 1-2 inches<br>2-3" sandy soils |
| 7  | Foxtail Millet       | 30 PLS          | 0.7                                |          |            |          |                             |           |           | 0.5 inches<br>1-2" sandy soils |
| 8  | Pearl Millet         | 20 PLS          | 0.5                                |          |            |          |                             |           |           | 0.5 inches<br>1-2" sandy soils |

- Winter seeding requires 3 tons per acre of straw mulch for proper stabilization.
- May be planted throughout summer if soil moisture is adequate or seeded area can be irrigated.
- Applicable on slopes 3:1 or less.
- Fifty pounds per acre of Annual Lespedeza may be added to 1/2 the seeding rate of any of the above species.
- Use varieties currently recommended for Delaware. Contact a County Extension Office for information.
- Warm season grasses such as Millet or Weeping Lovegrass may be used between 5/1 and 9/1 if desired. Seed at 3-5 lbs. per acre. Good on low fertility and acid areas. Seed after frost through summer at a depth of 0.5".

NOTE: Alternative seed mixes may be used with prior approval from the Department or Delegated Agency.

|                       |         |   |
|-----------------------|---------|---|
| Source:               | Symbol: | Detail No.  |
| Delaware ESC Handbook |         | <b>DE-ESC-3.4.3</b><br>Sheet 1 of 4<br>Effective FEB 2019 |



Standard Detail & Specifications

Vegetative Stabilization

| PERMANENT SEEDING AND SEEDING DATES |   |   |  |          |            |          |                  |           |           |  |
|-------------------------------------|---|---|--|----------|------------|----------|------------------|-----------|-----------|--|
| Mix No.                             | Certified Seed <sup>1</sup>   | Seeding Rate <sup>1</sup>               | Optimum Seeding Dates <sup>2</sup>                           |          |            |          |                  |           |           | Remarks  |
|                                     |   |   | Coastal Plain  |          | Piedmont   |          | All <sup>3</sup> |           |           |  |
| Well Drained Soils                  | lb/Ac   | lb/1000 sq. ft.                         | 2/1-4/30   | 5/1-8/14 | 8/15-10/31 | 9/1-4/30 | 5/1-7/31         | 8/1-10/31 | 10/31-2/1 |  |
| 1                                   | Tall Fescue<br>Weeping Lovegrass  | 140<br>10                               | 3.2<br>0.23  | A        | O          | A        | A                | O         | A         | Add 100 lbs./ac. Winter Rye<br>Good erosion control mix. Tolerant of low fertility soils. Lovegrass very difficult to mow. Germinates only in hot weather.   |
| 2                                   | Deertongue<br>Sheep Fescue<br>Common Lespedeza <sup>5</sup><br>Inoculated   | 30<br>30<br>15                          | 0.69<br>0.69<br>0.35   | A        | O          | A        | A                | O         | A         | Good erosion control mix. Tolerant of low fertility soils. Good wildlife cover and food.   |
| 3                                   | Tall Fescue (Turf-type) or<br>Strong Creeping Red Fescue or<br>Perennial Ryegrass<br>plus Flatpea <sup>6</sup>  | 50<br>50<br>50<br>15                    | 1.15<br>1.15<br>1.15<br>0.34                                 | O        | A          | O        | O                | A         | O         | Add 100 lbs./ac. Winter Rye<br>Good erosion control mix. Tall Fescue for droughty conditions. Creeping Red Fescue for heavy shade. Flatpea to suppress woody vegetation.   |
| 4                                   | Strong Creeping Red Fescue<br>Kentucky Bluegrass<br>Perennial Ryegrass or<br>Redtop   | 100<br>70<br>15<br>5                    | 2.3<br>1.61<br>0.35<br>0.11                                  | O        | A          | O        | O                | A         | O         | Add 100 lbs./ac. Winter Rye<br>Suitable waterway mix. Canada Bluegrass more drought tolerant. Use Redtop for increased drought tolerance.  |
| 5                                   | Switchgrass <sup>7</sup> or<br>Coastal Panicgrass<br>Big Bluestem<br>Little Bluestem<br>Indian Grass  | 10<br>10<br>5<br>5<br>5                 | 0.27<br>0.23<br>0.11<br>0.14<br>0.1                          |          |            | O        |                  | O         |           | Native warm-season mixture. Tolerant of low fertility soils. Drought tolerant. Poor shade tolerance. N fertilizer discouraged - weeds.   |
| 6                                   | Tall Fescue (Turf-type)<br>(Blend of 2 cultivars)   | 150                                     | 3.5  | O        | A          | O        | O                | A         | O         | Managed filter strip for nutrient uptake.  |
| 7                                   | Tall Fescue<br>Ky. Bluegrass (Blend)<br>Perennial Ryegrass  | 150<br>20<br>20                         | 3.5<br>0.46<br>0.46  | O        | A          | O        | O                | A         | O         | Three cultivars of Kentucky Bluegrass. Traffic tolerant.   |
| 8                                   | Big Bluestem <sup>7</sup><br>Indian Grass <sup>7</sup><br>Little Bluestem <sup>7</sup><br>Creeping Red Fescue<br>plus one of:<br>Partridge Pea<br>Bush Clover<br>Wild Indigo<br>Shovyl Tick-Trefoil | 10<br>10<br>8<br>30<br>5<br>3<br>3<br>2 | 0.23<br>0.23<br>0.18<br>0.69<br>0.11<br>0.07<br>0.07<br>0.05 | O        | A          | O        | O                | A         | O         | All species are native. Indian Grass and Bluestem have fluffy seeds. Plant with a specialized native seed drill.<br>Creeping Red Fescue will provide erosion protection while the warm season grasses get established. |

NOTE: Alternative seed mixes may be used with prior approval from the Department or Delegated Agency.

|                       |         |   |
|-----------------------|---------|---|
| Source:               | Symbol: | Detail No.  |
| Delaware ESC Handbook |         | <b>DE-ESC-3.4.3</b><br>Sheet 2 of 4<br>Effective FEB 2019 |

Standard Detail & Specifications

Vegetative Stabilization

| PERMANENT SEEDING AND SEEDING DATES (cont.) |   |                           |                                    |          |            |          |                  |           |           |   |
|---|---|---------------------------|------------------------------------|----------|------------|----------|------------------|-----------|-----------|---|
| Mix No.                                     | Certified Seed <sup>1</sup>   | Seeding Rate <sup>1</sup> | Optimum Seeding Dates <sup>2</sup> |          |            |          |                  |           |           | Remarks   |
|   |   |                           | Coastal Plain                      |          | Piedmont   |          | All <sup>3</sup> |           |           |   |
| Poorly Drained Soils                        | lb/Ac   | lb/1000 sq. ft.           | 2/1-4/30                           | 5/1-8/14 | 8/15-10/31 | 9/1-4/30 | 5/1-7/31         | 8/1-10/31 | 10/31-2/1 |   |
| 9   | Redtop<br>Creeping Bentgrass<br>Sheep Fescue<br>Rough Bluegrass                 | 75<br>35<br>30<br>45      | 1.72<br>0.8<br>0.69<br>1.15        | O        | A          | O        | O                | A         | O         | Add 100 lbs./ac. Winter Rye<br>Quick stabilization of disturbed sites and waterways.            |
| 10  | Reed Canarygrass <sup>8</sup>   | 10                        | 0.23                               | A        |            | O        | A                |           | O         | Good erosion control, wildlife cover and wetland revegetation.                                  |
| <b>Residential Lawns</b>                    |   |                           |                                    |          |            |          |                  |           |           |   |
| 11  | Tall Fescue<br>Perennial Ryegrass<br>Kentucky Bluegrass Blend                   | 100<br>25<br>30           | 2.3<br>0.57<br>0.69                | O        | A          | O        | O                | A         | O         | High value, high maintenance light traffic, irrigation necessary. Well drained soils, full sun. |
| 12  | Tall Fescue<br>Perennial Ryegrass<br>Sheep Fescue                               | 100<br>25<br>25           | 2.3<br>0.57<br>0.57                | O        | A          | O        | O                | A         | O         | Moderate value, low maintenance, traffic tolerant.  |
| 13  | Creeping Red Fescue<br>Creeping Fescue<br>Rough Bluegrass<br>Kentucky Bluegrass | 50<br>50<br>20<br>20      | 1.15<br>1.15<br>0.4<br>0.4         | O        | A          | O        | O                | A         | O         | Shade tolerant, moderate traffic tolerance, moderate maintenance.                               |
| 14  | Creeping Red Fescue<br>Rough Bluegrass or<br>Creeping Fescue                    | 50<br>50                  | 1.15<br>2.1                        | O        | A          | O        | O                | A         | O         | Shade tolerant, moisture tolerant.  |
| 15  | K-31 Tall Fescue  | 150                       | 3.5                                | O        | A          | O        | O                | A         | O         | Monoculture, but performs well alone in lawns. Discouraged.                                     |

- When hydroseeding is the chosen method of application, the total rate of seed should be increased by 25%.
- Winter seeding requires 3 tons per acre of straw mulch. Planting dates listed above are average for Delaware. These dates may require adjustment to reflect local conditions.
- All seed shall meet the minimum purity and minimum germination percentages recommended by the Delaware Department of Agriculture. The maximum % of weed seeds shall be in accordance with Section 1, Chapter 24, Title 3 of the Delaware Code.
- Cool season species may be planted throughout summer if soil moisture is adequate or seeded area can be irrigated.
- All leguminous seed must be inoculated.
- Warm season grass mix and Reed Canary Grass cannot be moved more than 4 times per year.
- Warm season grasses require a soil temperature of at least 50 degrees in order to germinate, and will remain dormant until then.

NOTE: Alternative seed mixes may be used with prior approval from the Department or Delegated Agency.

|                       |         |   |
|-----------------------|---------|---|
| Source:               | Symbol: | Detail No.  |
| Delaware ESC Handbook |         | <b>DE-ESC-3.4.3</b><br>Sheet 3 of 4<br>Effective FEB 2019 |



Standard Detail & Specifications

Topsoiling

Construction Notes (cont.)

- Materials - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand or other soil as approved by an agronomist or soil scientist. It shall not have a mixture of contrasting textured subsoil and contain no more than 5 percent by volume of cinders, stones, slag, coarse fragment, gravel, sticks, roots, trash or other extraneous materials larger than 1-1/2 inches in diameter. Topsoil must be free of plants or plant parts of bermudagrass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistles, or others as specified. All topsoil shall be tested by a reputable laboratory for organic matter content, pH and soluble salts. A pH of 6.0 to 7.5 and an organic content of not less than 1.5 percent by weight is required. If pH value is less than 6.0 lime shall be applied and incorporated with the topsoil to adjust the pH to 6.5 or higher. Topsoil containing soluble salts greater than 500 parts per million shall not be used.

Note: No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed to permit dissipation of toxic materials.

- Grading - The topsoil shall be uniformly distributed and compacted to a minimum of four (4) inches. Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets. Topsoil shall not be placed while in a frozen or muddy condition, when the subgrade is excessively wet, or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

Note: Topsoil substitutes or amendments as approved by a qualified agronomist or soil scientist, may be used in lieu of natural topsoil. Compost material used to improve the percentage of organic matter shall be provided by a certified supplier.

Compost amendments that are intended to meet specific post-construction stormwater management goals shall further meet the requirements of Appendix 3.06.2 Post Construction Stormwater Management BMP Standards and Specifications, Section 14.0 Soil Amendments.

|             |         |   |
|-------------|---------|---|
| Source:     | Symbol: | Detail No.  |
| USDA - NRCS |         | <b>DE-ESC-3.4.1</b><br>Sheet 2 of 2<br>Effective FEB 2019 |



Standard Detail & Specifications

Vegetative Stabilization

Construction Notes:

- Site Preparation
  - Prior to seeding, install needed erosion and sediment control practices such as diversions, grade stabilization structures, berms, dikes, grassed waterways, and sediment basins.
  - Final grading and shaping is not necessary for temporary seedings.
- Seedbed Preparation

It is important to prepare a good seedbed to insure the success of establishing vegetation. The seedbed should be well prepared, loose, uniform, and free of large clods, rocks, and other objectionable material. The soil surface should not be compacted or crusted.

- Soil Amendments
  - Lime - Apply liming materials based on the recommendations of a soil test in accordance with the approved nutrient management plan. If a nutrient management plan is not required, apply dolomitic limestone at the rate of 1 to 2 tons per acre. Apply limestone uniformly and incorporate into the top 4 to 6 inches of soil.
  - Fertilizer - Apply fertilizer based on the recommendations of a soil test in accordance with the approved nutrient management plan. If a nutrient management plan is not required, apply a formulation of 10-10-10 at the rate of 600 pounds per acre. Apply fertilizer uniformly and incorporate into the top 4 to 6 inches of soil.

- Seeding
  - For **temporary stabilization**, select a mixture from **Sheet 1**. For a **permanent stabilization**, select a mixture from **Sheet 2** or **Sheet 3** depending on the conditions. Alternative seed mixes may be used with prior approval from the Department or Delegated Agency.
  - Apply seed uniformly with a broadcast seeder, drill, cultipacker seeder or hydroseeder. All seed will be applied at the recommended rate and planting depth.
  - Seed that has been broadcast should be covered by raking or dragging and then lightly tamped into place using a roller or cultipacker. If hydroseeding is used and the seed and fertilizer is mixed, they will be mixed on site and the seeding shall be done immediately and without interruption.

|                       |         |   |
|-----------------------|---------|---|
| Source:               | Symbol: | Detail No.  |
| Delaware ESC Handbook |         | <b>DE-ESC-3.4.3</b><br>Sheet 4 of 4<br>Effective FEB 2019 |

LANDS OF WADE LLC.  
OFFICE BUILDING ADDITION  
LEWES AND REHOBOTH HUNDRED, SUSSEX COUNTY, DE

REVISIONS:  
2020-04-10: FIRE MARSHAL, P&Z

|            |               |
|------------|---------------|
| Date:      | FEBRUARY 2020 |
| Scale:     | N.T.S.        |
| Dwn. By:   | KTH/KJK       |
| Proj. No.: | 2374D001      |
| Dwg. No.:  | 05            |

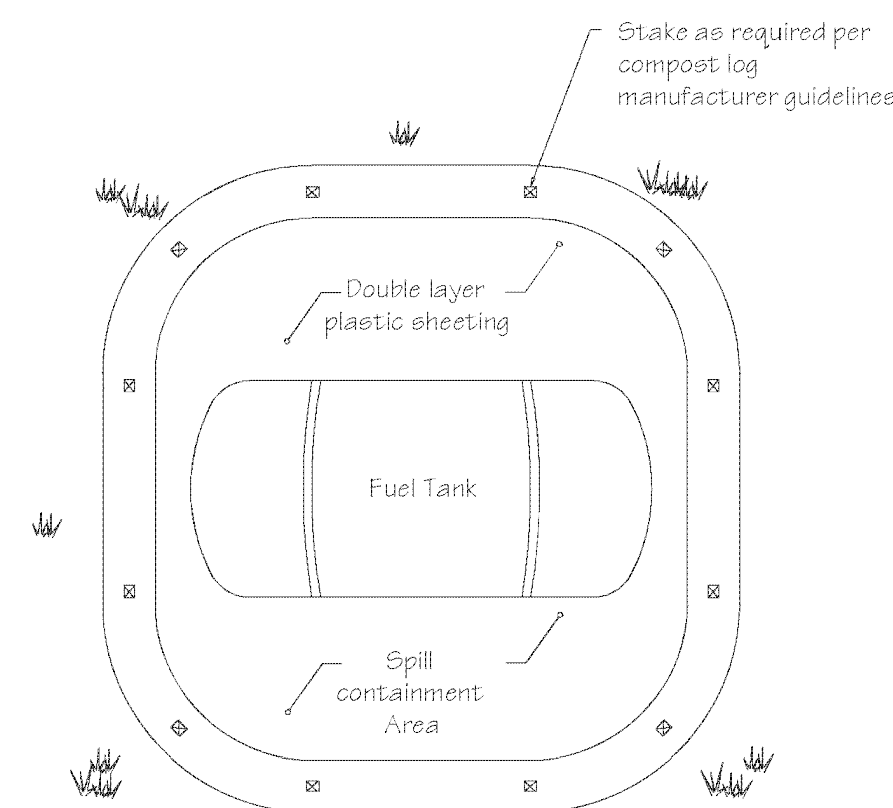
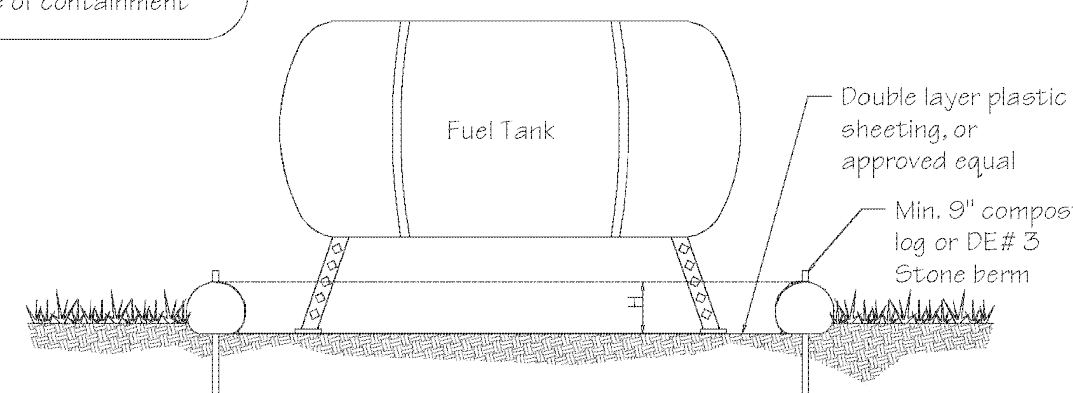
05

Standard Detail & Specifications

Construction Site Waste Mgt & Spill Control

DATA TO BE PROVIDED

Volume of Potential Pollution  
Height of containment  
Area of containment  
Volume of containment



|                       |         |   |
|-----------------------|---------|---|
| Source:               | Symbol: | Detail No.  |
| Delaware ESC Handbook |         | <b>DE-ESC-3.6.1</b><br>Sheet 1 of 5<br>Effective FEB 2019 |



Standard Detail & Specifications

Construction Site Waste Mgt & Spill Control

Pollution Prevention – Spill Prevention

- Fueling should only take place in signed designated areas, away from downstream drainage facilities and watercourses.
- Fueling must be with nozzles equipped with automatic shut-off to control drips. Do not top off.
- Protect the areas where equipment or vehicles are being repaired, maintained, fueled or parked from storm water run-on and runoff.
- Use barriers such as berms to prevent storm water run-on and runoff, and to contain spills.
- Place a "Fueling Area" sign next to each fueling area.
- Store hazardous materials such as fuel, solvents, oil and chemicals in secondary containment.
- Inspect vehicles and equipment for leaks on each day of use. Repair fluid and oil leaks immediately.
- Absorbent spill clean-up materials and spill kits must be available in fueling areas and on fuel trucks.
- If fueling is to take place at night, make sure the fueling area is sufficiently illuminated.
- Properly dispose of used oil, fluids, lubricants and spill clean-up materials.

CLEAN UP SPILLS

- If it is safe to do so, immediately contain and clean up any chemical and/or hazardous material spills.
- Properly dispose of used oil, fluids, lubricants and spill clean-up materials.
- Do not bury spills or wash them down with water.

LEAKS AND DRIPS

- Use drip pans or absorbent pads at all times. Place under and around leaky equipment.
- Do not allow oil, grease, fuel or chemicals to drip onto the ground.
- Have spill kits and clean up material on-site.
- Repair leaky equipment promptly or remove problem vehicles and equipment from the site. Clean up contaminated soil immediately.
- Store contaminated waste in sealed containers constructed of suitable material. Label these containers properly.
- Clean up all spills and leaks. Promptly dispose of waste and spent clean up materials.

|                       |         |   |
|-----------------------|---------|---|
| Source:               | Symbol: | Detail No.  |
| Delaware ESC Handbook |         | <b>DE-ESC-3.6.1</b><br>Sheet 2 of 5<br>Effective FEB 2019 |

Standard Detail & Specifications

Construction Site Waste Mgt & Spill Control

Notes:

The Construction Site Pollution Prevention Plan should include the following elements:

1. Material Inventory

Document the storage and use of the following materials:

- Concrete
- Detergents
- Paints (enamel and latex)
- Cleaning solvents
- Pesticides
- Wood scraps
- Fertilizers
- Petroleum based products

2. Good housekeeping practices

- Store only enough product required to do the job.
- All materials shall be stored in a neat, orderly manner in their original labeled containers and covered.
- Substances shall not be mixed.
- When possible, all of a product shall be used up prior to disposal of the container.
- Manufacturers' instructions for disposal shall be strictly adhered to.
- The site foreman shall designate someone to inspect all BMPs daily.

3. Waste management practices

- All waste materials shall be collected and stored in securely lidded dumpsters in a location that does not drain to a waterbody.
- Waste materials shall be salvaged and/or recycled whenever possible.
- The dumpsters shall be emptied a minimum of twice per week, or more if necessary. The licensed trash hauler is responsible for cleaning out dumpsters.

|   |         |   |
|---|---------|---|
| Source:                                 | Symbol: | Detail No.  |
| Adapted from USEPA<br>Pub. 840-B-92-002 |         | <b>DE-ESC-3.6.1</b><br>Sheet 3 of 5<br>Effective FEB 2019 |



Standard Detail & Specifications

Construction Site Waste Mgt & Spill Control

Notes (cont.)

- Trash shall be disposed of in accordance with all applicable Delaware laws.
- Trash cans shall be placed at all lunch spots and littering is strictly prohibited. Recycle bins shall be placed near the construction trailer.
- If fertilizer bags can not be stored in a weather-proof location, they shall be kept on a pallet and covered with plastic sheeting which is overlapped and anchored.

4. Equipment maintenance practices

- If possible, equipment should be taken to off-site commercial facilities for washing and maintenance.
- If performed on-site, vehicles shall be washed with high-pressure water spray without detergents in an area contained by an impervious berm.
- Drip pans shall be used for all equipment maintenance.
- Equipment shall be inspected for leaks on a daily basis.
- Washout from concrete trucks shall be disposed of in a temporary pit for hardening and proper disposal.
- Fuel nozzles shall be equipped with automatic shut-off valves.
- All used products such as oil, antifreeze, solvents and tires shall be disposed of in accordance with manufacturers' recommendations and local, state and federal laws and regulations.

5. Spill prevention practices

- Potential spill areas shall be identified and contained in covered areas with no connection to the storm drain system.
- Warning signs shall be posted in hazardous material storage areas.
- Preventive maintenance shall be performed on all tanks, valves, pumps, pipes and other equipment as necessary.
- Low or non-toxic substances shall be prioritized for use.

|   |         |   |
|---|---------|---|
| Source:                                 | Symbol: | Detail No.  |
| Adapted from USEPA<br>Pub. 840-B-92-002 |         | <b>DE-ESC-3.6.1</b><br>Sheet 4 of 5<br>Effective FEB 2019 |

Standard Detail & Specifications

Construction Site Waste Mgt & Spill Control

Notes (cont.)

- Contact information for reporting spills through the DNREC 24-Hour Toll Free Number shall be prominently posted.

6. Education

- Best management practices for construction site pollution control shall be a part of regular progress meetings.
- Information regarding waste management, equipment maintenance and spill prevention shall be prominently posted in the construction trailer.

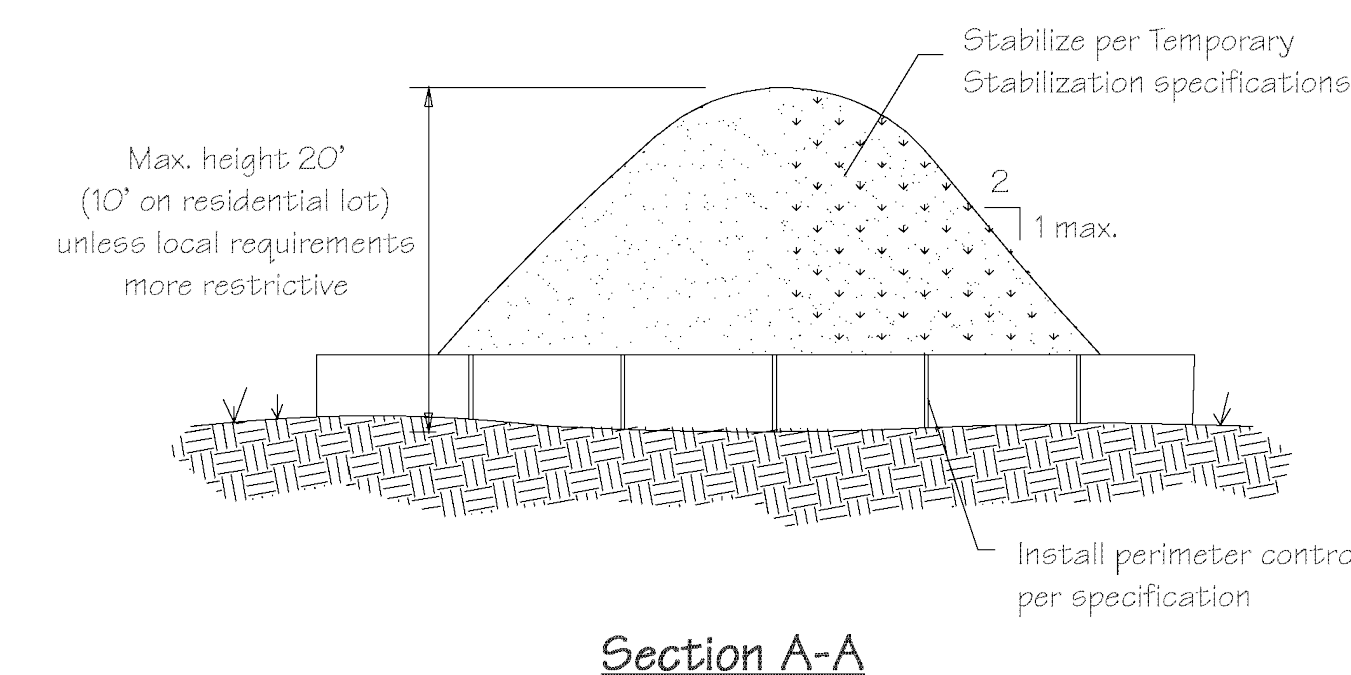
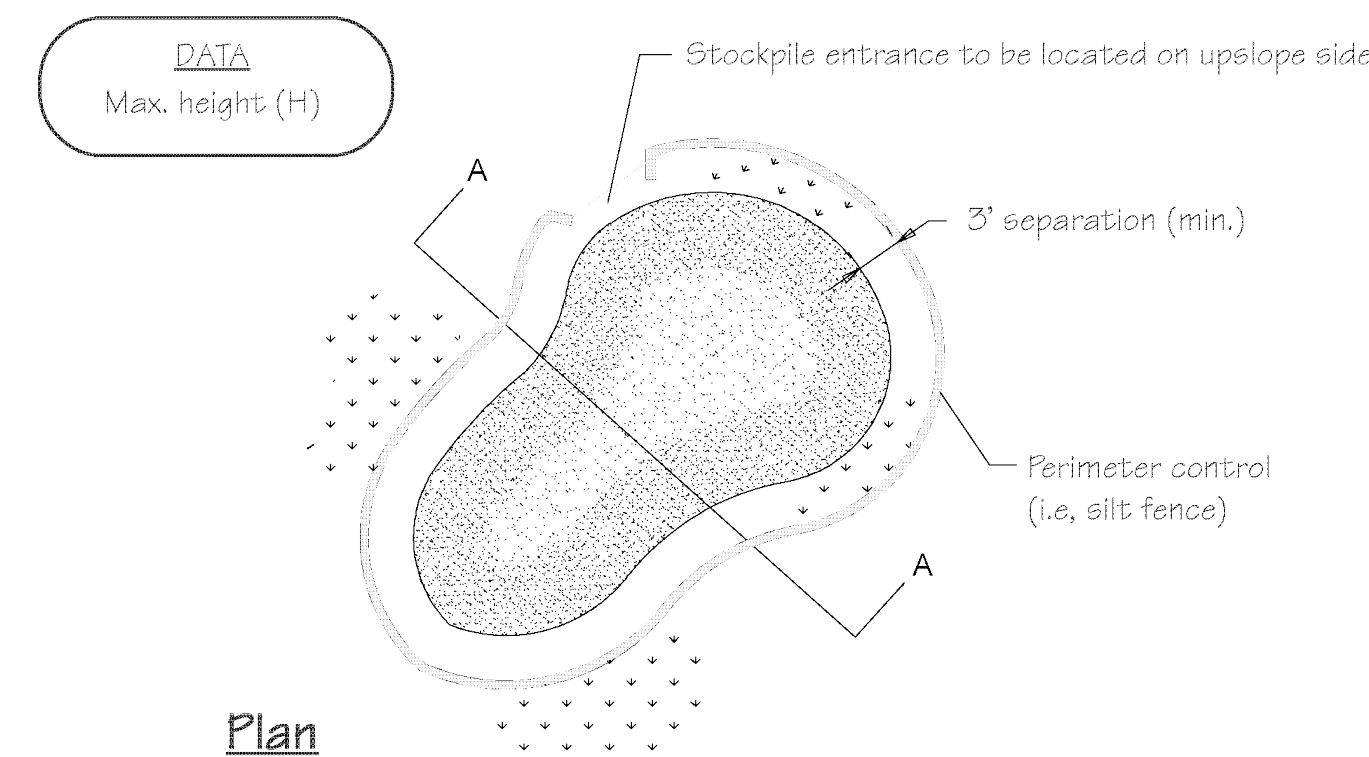
CONTACT INFORMATION

DNREC 24-Hour Toll Free Number **800-662-8802**  
DNREC Solid & Hazardous Waste Management Section **302-739-9403**

|   |         |   |
|---|---------|---|
| Source:                                 | Symbol: | Detail No.  |
| Adapted from USEPA<br>Pub. 840-B-92-002 |         | <b>DE-ESC-3.6.1</b><br>Sheet 5 of 5<br>Effective FEB 2019 |

Standard Detail & Specifications

Soil Stockpile



|   |           |   |
|---|-----------|---|
| Source:   | Symbol:   | Detail No.  |
| Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3 | <b>SP</b> | <b>DE-ESC-3.7.3</b><br>Sheet 1 of 2<br>Effective FEB 2019 |

Standard Detail & Specifications

Soil Stockpile

Construction Notes:

- Locate stockpiles so that they are 50 feet from any storm drain inlet, open channel, wetland or waterbody. Redirect any concentrated flow around the stockpile using an approved erosion and sediment control measure.
- Secure the perimeter of the stockpile with an approved erosion and sediment control perimeter device.
- If stockpile is to remain inactive for more than 14 calendar days, the stockpile must be vegetated. Follow the temporary vegetation specifications. The vegetation chosen shall last the duration of the stockpile; the stockpile shall be restabilized if the temporary vegetation dies or erosion results.

|   |           |   |
|---|-----------|---|
| Source:   | Symbol:   | Detail No.  |
| Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3 | <b>SP</b> | <b>DE-ESC-3.7.3</b><br>Sheet 2 of 2<br>Effective FEB 2019 |

Standard Detail & Specifications

Dust Control

Temporary Methods:

- Mulches - See **DE-ESC-3.4.5**, Standard Detail and Specifications for Mulching.
- Vegetative cover - See **DE-ESC-3.4.3**, Std. Detail and Specifications for Vegetative Stabilization.
- Adhesives - Use on mineral soils only (not effective on muck soils). Keep traffic off these areas. The following table may be used for general guidance.

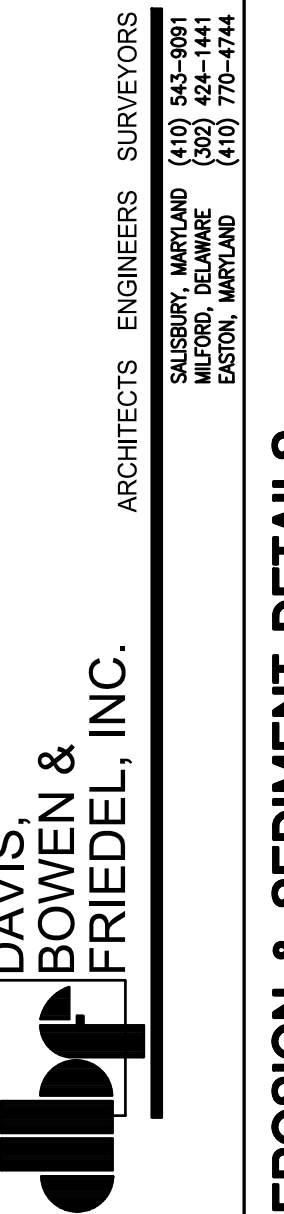
| Type of Emulsion               | Water Dilution | Type of Nozzle | Apply Gal./Ac. |
|--------------------------------|----------------|----------------|----------------|
| Latex emulsion                 | 12.5:1         | Fine spray     | 235            |
| Resin-in-water emulsion        | 4:1            | Fine spray     | 300            |
| Acrylic emulsion (non-traffic) | 7:1            | Coarse spray   | 450            |
| Acrylic emulsion (traffic)     | 3.5:1          | Coarse spray   | 350            |

- Tillage - For emergency temporary treatment, scarify the soil surface to prevent or reduce the amount of blowing dust until a more appropriate solution can be implemented. Begin the tillage operation on the windward side of the site using a chisel-type plow for best results.
- Sprinkling - Sprinkle site with water until the surface is moist. Repeat as needed.
- Calcium Chloride - Apply as flakes or granular material with a spreader at a rate that will keep the soil surface moist. Re-apply as necessary.
- Barriers - Place barriers such as soil board fences, snow fences, hay bales, etc. at right angles to the prevailing air currents at intervals of approx. 10X their height.

Permanent Methods:

- Vegetative cover - See **DE-ESC-3.4.3**, Std. Detail and Specifications for Vegetative Stabilization.
- Stone - Apply layer of crushed stone or coarse gravel to protect soil surface.

|                              |         |   |
|------------------------------|---------|---|
| Source:                      | Symbol: | Detail No.  |
| Adapted from VA ESC Handbook |         | <b>DE-ESC-3.4.8</b><br>Sheet 1 of 1<br>Effective FEB 2019 |



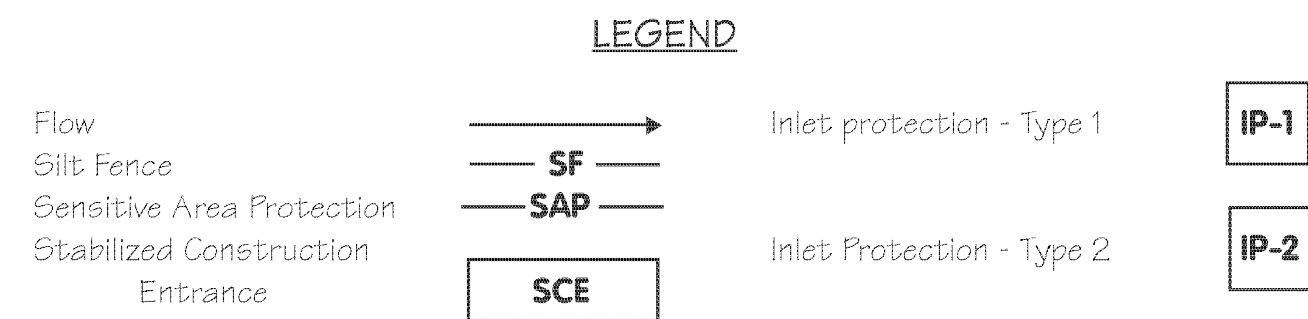
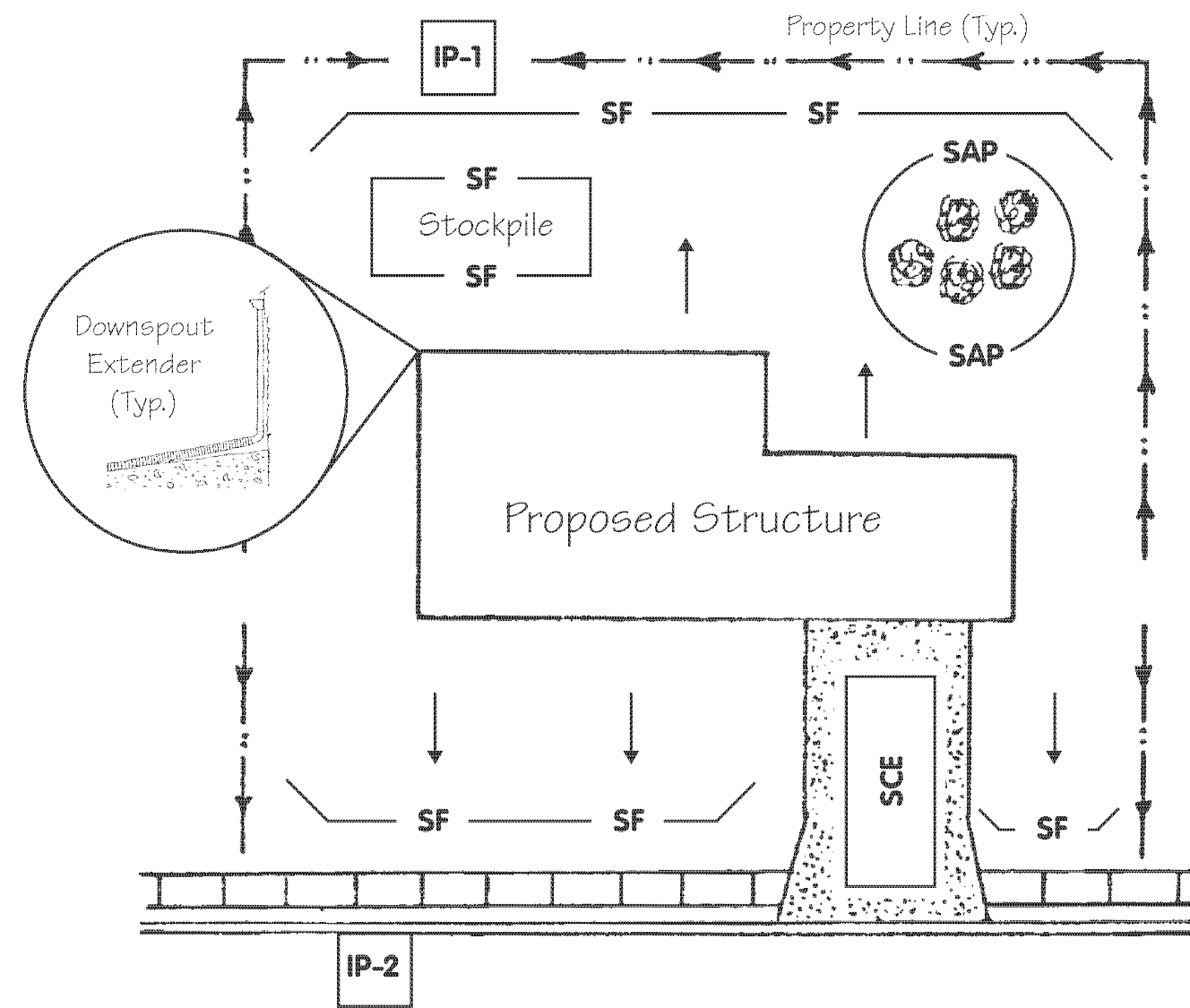
ARCHITECTS ENGINEERS SURVEYORS  
OFFICE: 1000 N. MARKET ST., SUITE 200  
MILLSBORO, DELAWARE 19966  
EASTON, MARYLAND (410) 770-4714

LANDS OF WADE LLC.  
OFFICE BUILDING ADDITION  
LEWES AND REHOBOTH HUNDRED, SUSSEX COUNTY, DE

REVISED: 2020-04-10; FIRE MARSHAL, P&Z

Date: **FEBRUARY 2020**  
Scale: **N.T.S.**  
Dwn. By: **KTH/KJK**  
Proj. No.: **2374D001**  
Dwg. No.: **06**

**Standard Detail & Specifications**  
**ESC for Minor Development**



|   |         |   |
|---|---------|---|
| Source:   | Symbol: | Detail No.  |
| Adapted from IN DNR, "Erosion Control for the Home Builder" |         | <b>DE-ESC-3.7.1</b><br>Sheet 1 of 2<br>Effective FEB 2019 |

**Standard Detail & Specifications**  
**ESC for Minor Development**

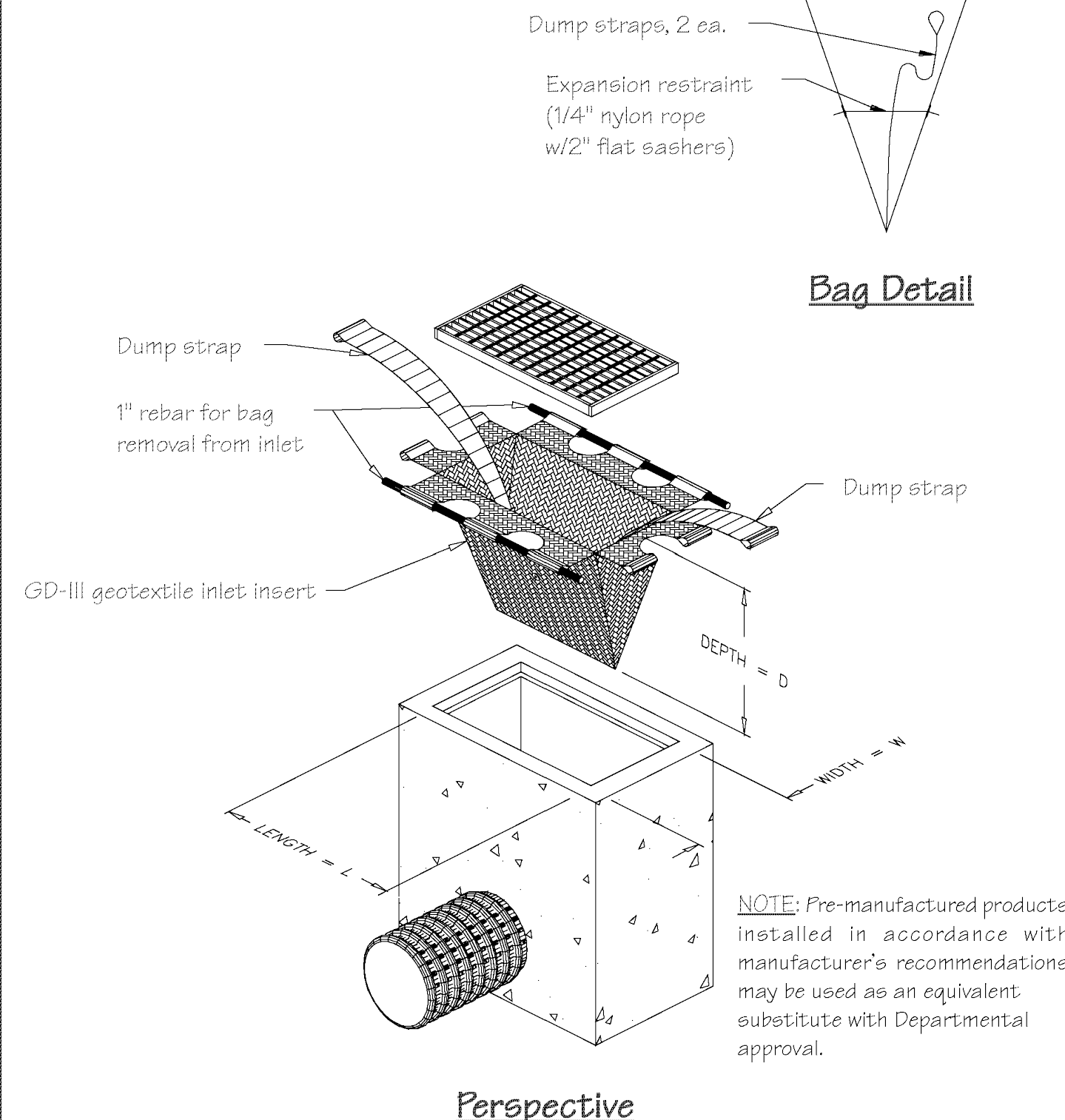


**Construction Notes:**

- Evaluate the Site.
  - Identify Vegetation To Be Saved
  - Protect Trees and Sensitive Areas
- Install Perimeter Erosion And Sediment Controls.
  - Protect down-slope areas with vegetative filter strips.
  - Protect down-slope areas with silt fence.
  - Restrict all lot access to stabilized construction entrance to prevent vehicles from tracking mud onto roadways.
  - Install inlet protection on nearby storm drain inlets.
- Prepare the Site for Construction.
- Salvage and Stockpile the Topsoil/Subsoil
- Build the Structure(s) and Install the Utilities.
- Install Downspout Extenders
  - Maintain all erosion and sediment control practices until construction is completed and the lot is stabilized.
  - Inspect the control practices a minimum of twice a week and after each storm event, making any needed repairs immediately.
- Revegetate the Building Site.
  - Redistribute the stockpiled subsoil and topsoil.
  - Seed or sod bare areas.
  - Mulch newly seeded areas.
- Remove Remaining Temporary Control Measures.

|   |         |   |
|---|---------|---|
| Source:   | Symbol: | Detail No.  |
| Adapted from IN DNR, "Erosion Control for the Home Builder" |         | <b>DE-ESC-3.7.1</b><br>Sheet 2 of 2<br>Effective FEB 2019 |

**Standard Detail & Specifications**  
**Inlet Protection - Type 2**



|                                 |             |   |
|---------------------------------|-------------|---|
| Source:                         | Symbol:     | Detail No.  |
| Adapted from ACF Products, Inc. | <b>IP-2</b> | <b>DE-ESC-3.1.5.2</b><br>Sheet 1 of 2<br>Effective FEB 2019 |

**Standard Detail & Specifications**  
**Inlet Protection - Type 2**



**Notes:**

- This practice shall only be used in situations in which Inlet Protection - Type 1 cannot be used due to site constraints. These include, but are not limited to partially completed parking areas, streets, roads, etc.
- It may be necessary to transition from Type 1 to Type 2 Inlet Protection as construction proceeds.
- For areas where there is a concern for oil run-off or spills, insert shall meet one of the above specifications with an oil-absorbant pillow or shall be made completely from an oil-absorbant material with a woven pillow.

**Materials:**

The geotextile inlet insert shall meet or exceed the specifications of Type GD-III geotextile in accordance with Appendix A-3 of the Delaware Erosion & Sediment Control Handbook.

|                                 |             |   |
|---------------------------------|-------------|---|
| Source:                         | Symbol:     | Detail No.  |
| Adapted from ACF Products, Inc. | <b>IP-2</b> | <b>DE-ESC-3.1.5.2</b><br>Sheet 2 of 2<br>Effective FEB 2019 |

**Standard Detail & Specifications**  
**Mulching**



**1. Materials and Amounts**

- Straw** - Straw shall be unrotted small grain straw applied at the rate of 1-1/2 to 2 tons per acre, or 70 to 90 pounds (two bales) per 1,000 square feet. Mulch materials shall be relatively free of weeds and shall be free of noxious weeds such as, thistles, Johnsongrass, and quackgrass. Spread mulch uniformly by hand or mechanically. For uniform distribution of hand spread mulch, divide area into approximately 1,000 square foot sections and place 70-90 pounds (two bales) of mulch in each section.
- Wood chips** - Apply at the rate of approximately 6 tons per acre or 275 pounds per 1,000 square feet when available and when feasible. These are particularly well suited for utility and road rights-of-way. If wood chips are used, increase the application rate of nitrogen fertilizer by 20 pounds of N per acre (200 pounds of 10-10-10 or 66 pounds of 30-0-0 per acre).
- Hydraulically applied mulch** - The following conditions apply to hydraulically applied mulch:
  - Definitions:
    - Wood fiber mulch shall consist of specially prepared wood that has been processed to a uniform state, is packaged for sale as a hydraulic mulch for use with hydraulic seeding equipment, and consists of a minimum of 70% virgin or recycled wood fiber combined with 30% paper fiber and additives.
    - Blended fiber mulch shall consist of any hydraulic mulch that contains greater than 30% paper fiber. The paper component must consist of specially prepared paper that has been processed to a uniform fibrous state and is packaged for sale as a hydraulic mulch for use with hydraulic seeding equipment.
    - A bonded fiber matrix (BFM) consists of long strand, specially prepared wood fibers that have been processed to a uniform state held together by a water resistant bonding agent. BFMs shall contain no paper (cellulose) mulch but may contain small percentages of synthetic fibers to enhance performance.
    - Refer to **Figure 3.4.5a** for conditions and limitations of use for each of the above categories of hydraulic mulch.
  - All components of the hydraulically applied mulches shall be pre-packaged by the manufacturer to assure material performance. Field mixing of the mulch components is acceptable, but must be done per manufacturers recommendations to ensure the proper results.
  - Hydraulic mulches shall be applied with a viable seed and at manufacturer's recommended rates. Increased rates may be necessary based on site conditions.
  - Hydraulically applied mulches and additives shall be mixed according to manufacturers recommendations.
  - Materials within this category shall only be used when hydraulically applied mulch has been specified for use on the approved Sediment and Stormwater Plan, or supplemental approval from the plan approval agency has been obtained in writing for a specific area.

|   |         |   |
|---|---------|---|
| Source:   | Symbol: | Detail No.  |
| Delaware ESC Handbook & Filtrex <sup>TM</sup> International |         | <b>DE-ESC-3.4.5</b><br>Sheet 1 of 3<br>Effective FEB 2019 |

**Standard Detail & Specifications**  
**Mulching**



- Application:
  - Apply product to geotechnically stable slopes that have been designed and constructed to divert runoff away from the face of the slope.
  - Do not apply to saturated soils, or if precipitation is anticipated within 24-48 hours.
  - During the spring (March 1 to May 31) and fall (September 1 to November 30) seasons, hydraulic mulches may be applied in a one-step process where all components are mixed together in single-tank loads. It is recommended that the product be applied from opposing directions to achieve optimum soil coverage.
  - During the summer (June 1 to August 31) and winter (December 1 to February 28) seasons, the following two-step process is required:
    - Step One** - Mix and apply seed and soil amendments with a small amount of mulch for visual metering.
    - Step Two** - Mix and apply mulch at manufacturers recommended rates over freshly seeded surfaces. Apply from opposing directions to achieve optimum soil coverage.
  - Minimum curing temperature is 40° F (4° C). The best results and more rapid curing are achieved at temperatures exceeding 60° F (15° C). Curing times may be accelerated in high temperature, low humidity conditions on dry soils.
  - Recommended application rates are for informational purposes only. Conformance with this standard and specification shall be performance-based and requires **100% soil coverage**. Any areas with bare soil showing shall be top dressed until full coverage is achieved.
- Compost blanket (CB)** - Loosely applied with a pneumatic blower so that a 1" compost blanket uniformly covers the soil with **100% coverage**. This application can be used with seed to promote germination by applying the approved seed mix directly into the loosely blown compost. The compost blanket performs best on slopes less than 2:1 and requires no mulch anchoring.
- Anchoring mulch** - Mulch must be anchored immediately to minimize loss by wind or water. This may be done by one of the following methods, depending upon size of area, erosion hazard, and cost.
  - Crimping** - A crimper is a tractor drawn implement designed to punch and anchor mulch into the top two (2) inches of soil. This practice affords maximum erosion control but is limited to flatter slopes where equipment can operate safely. On sloping land, crimping should be done on the contour whenever possible.
  - Tracking** - Tracking is the process of cutting mulch (usually straw) into the soil using a bulldozer or other equipment that runs on cleated tracks. Tracking is used primarily on slopes 3:1 or steeper and should be done up and down the slope with cleat marks running across the slope.
  - Liquid mulch binders** - Applications of liquid mulch binders should be heavier at edges, in valleys, and at crests of banks and other areas where the mulch will be moved by wind or water. All other areas should have a uniform application of binder. The use of synthetic binders is the preferred method of mulch binding and should be applied at the rates recommended by the manufacturer.
  - Paper fiber** - The fiber binder shall be applied at a net dry weight of 750 lbs./ac. The wood cellulose fiber shall be mixed with water, and the mixture shall contain a maximum of 50 lbs. of wood cellulose fiber per 100 gallons.
  - Nettings** - Synthetic or organic nettings may be used to secure straw mulch. Install and secure according to the manufacturers recommendations.

|   |         |   |
|---|---------|---|
| Source:   | Symbol: | Detail No.  |
| Delaware ESC Handbook & Filtrex <sup>TM</sup> International |         | <b>DE-ESC-3.4.5</b><br>Sheet 2 of 3<br>Effective FEB 2019 |

**Standard Detail & Specifications**  
**Mulching**



| Percent Slope | Type of Mulch / App. Rate   | MULCHING MATERIAL SELECTION GUIDE |                      |                      |                      |                       |                      |
|---------------|---|-----------------------------------|----------------------|----------------------|----------------------|-----------------------|----------------------|
|               |   | Dec. 1 to Feb. 28(29)             | March 1 to May 31    | June 1 to Aug. 31    | Sept. 1 to Nov. 30   | Dec. 1 to Feb. 28(29) | March 1 to May 31    |
| Less than 2%  | Wood Fiber @ 2000 lbs/ac. min.<br>BPM @ 3000 lbs/ac. min.<br>Straw @ 2 Tons/ac. min.<br>1" Compost Blanket (CB)           | OK<br>OK<br>OK<br>OK              | OK<br>OK<br>OK<br>OK | OK<br>OK<br>OK<br>OK | OK<br>OK<br>OK<br>OK | OK<br>OK<br>OK<br>OK  | OK<br>OK<br>OK<br>OK |
| 2% to 5.5%    | Wood Fiber @ 2000 lbs/ac. min.<br>BPM @ 3000-3500 lbs/ac. min.<br>Straw @ 2 Tons/ac. min.<br>1" Compost Blanket (CB)      | OK<br>OK<br>OK<br>OK              | OK<br>OK<br>OK<br>OK | OK<br>OK<br>OK<br>OK | OK<br>OK<br>OK<br>OK | OK<br>OK<br>OK<br>OK  | OK<br>OK<br>OK<br>OK |
| 6% to 10.5%   | Wood Fiber @ 2000-2500 lbs/ac. min.<br>BPM @ 3500-4000 lbs/ac. min.<br>Straw @ 2 Tons/ac. min.<br>1" Compost Blanket (CB) | OK<br>OK<br>OK<br>OK              | OK<br>OK<br>OK<br>OK | OK<br>OK<br>OK<br>OK | OK<br>OK<br>OK<br>OK | OK<br>OK<br>OK<br>OK  | OK<br>OK<br>OK<br>OK |
| 11% to 24.5%  | Wood Fiber @ 2500-3000 lbs/ac. min.<br>BPM @ 4000 lbs/ac. min.<br>Straw @ 2 Tons/ac. min.<br>1" Compost Blanket (CB)      | OK<br>OK<br>OK<br>OK              | OK<br>OK<br>OK<br>OK | OK<br>OK<br>OK<br>OK | OK<br>OK<br>OK<br>OK | OK<br>OK<br>OK<br>OK  | OK<br>OK<br>OK<br>OK |
| 25% to 33%    | Wood Fiber @ 2500-3000 lbs/ac. min.<br>BPM @ 4000 lbs/ac. min.<br>Straw @ 2 Tons/ac. min.<br>1" Compost Blanket (CB)      | OK<br>OK<br>OK<br>OK              | OK<br>OK<br>OK<br>OK | OK<br>OK<br>OK<br>OK | OK<br>OK<br>OK<br>OK | OK<br>OK<br>OK<br>OK  | OK<br>OK<br>OK<br>OK |
| 33% and up    | BPM @ 4000-4500 lbs/ac. min.<br>Straw @ 2 Tons/ac. min.<br>1" Compost Blanket (CB)  | OK<br>OK<br>OK                    | OK<br>OK<br>OK       | OK<br>OK<br>OK       | OK<br>OK<br>OK       | OK<br>OK<br>OK        | OK<br>OK<br>OK       |

|   |         |   |
|---|---------|---|
| Source:   | Symbol: | Detail No.  |
| Delaware ESC Handbook & Filtrex <sup>TM</sup> International |         | <b>DE-ESC-3.4.5</b><br>Sheet 3 of 3<br>Effective FEB 2019 |

**LANDS OF WADE LLC.**  
**OFFICE BUILDING ADDITION**  
**LEWES AND REHOBOTH HUNDRED, SUSSEX COUNTY, DE**

REVISED: 2020-04-10; FIRE MARSHAL, P&Z

Date: **FEBRUARY 2020**  
Scale: **N.T.S.**  
Dwn.By: **KTH/KJK**  
Proj.No.: **2374D001**  
Dwg.No.:

**07**

ARCHITECTS ENGINEERS SURVEYORS  
DAVIS, BOWEN & FRIEDEL, INC.  
GALLERY WALK AND  
MULBERRY, DELAWARE (302) 424-1441  
EASTON, MARYLAND (410) 770-4714

**EROSION & SEDIMENT DETAILS**

**EROSION & SEDIMENT DETAILS**

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### Standard Detail & Specifications Concrete Washout

**DATA TO BE PROVIDED**  
Length, l  
Width, w  
Depth, d

Plan View

Section A-A

Alternate Liner Option

|  |  |   |
|--|--|---|
| Source:<br>Adapted from<br>Colorado Urban Storm Drainage<br>Criteria Manual, Vol 3 | Symbol:<br><div style="border: 2px solid black; padding: 5px; width: 40px; margin: 0 auto;">CW</div> | Detail No.<br><b>DE-ESC-3.6.2</b><br>Sheet 1 of 2<br>Effective FEB 2019 |
|--|--|---|

### Standard Detail & Specifications Concrete Washout

**Construction Notes:**

1. Locate washout area a minimum of 50 feet from open channels, stormdrain inlets, wetlands or waterbodies.
2. Locate washout area so that it is accessible to concrete equipment (service with a minimum 10 foot wide gravel accessway), but so it is not in a highly active construction area causing accidental damage.
3. Minimum dimensions for prefabricated units are 4 feet by 4 feet by 1 foot deep with a minimum 4mil polyethylene plastic liner. Minimum dimensions for constructed concrete washout areas are 6 feet by 6 feet by 3 feet deep, with a minimum 10mil polyethylene liner, 2:1 side slopes, and a 1 foot high by 1 foot wide compacted fill berm.
4. The liner must be free of tears or holes and placed over smooth surfaces to prevent puncturing. For excavated washouts, anchor the liner underneath the berm or overtop with sandbags or concrete blocks to hold in place.
5. Provide a sign designating the washout area, and for large construction sites, provide signs throughout directing traffic to its location.
6. Allow washed out concrete mixture to harden through evaporation of the wastewater. Once the facility has reached 75 percent of its capacity, remove the hardened concrete by reusing the broken aggregate onsite, recycling, or disposing of offsite. The hardened material can be buried on site with minimum of 1 foot of clean, compacted fill.
7. Apply a new liner before reusing the station for additional washouts after maintenance has occurred.

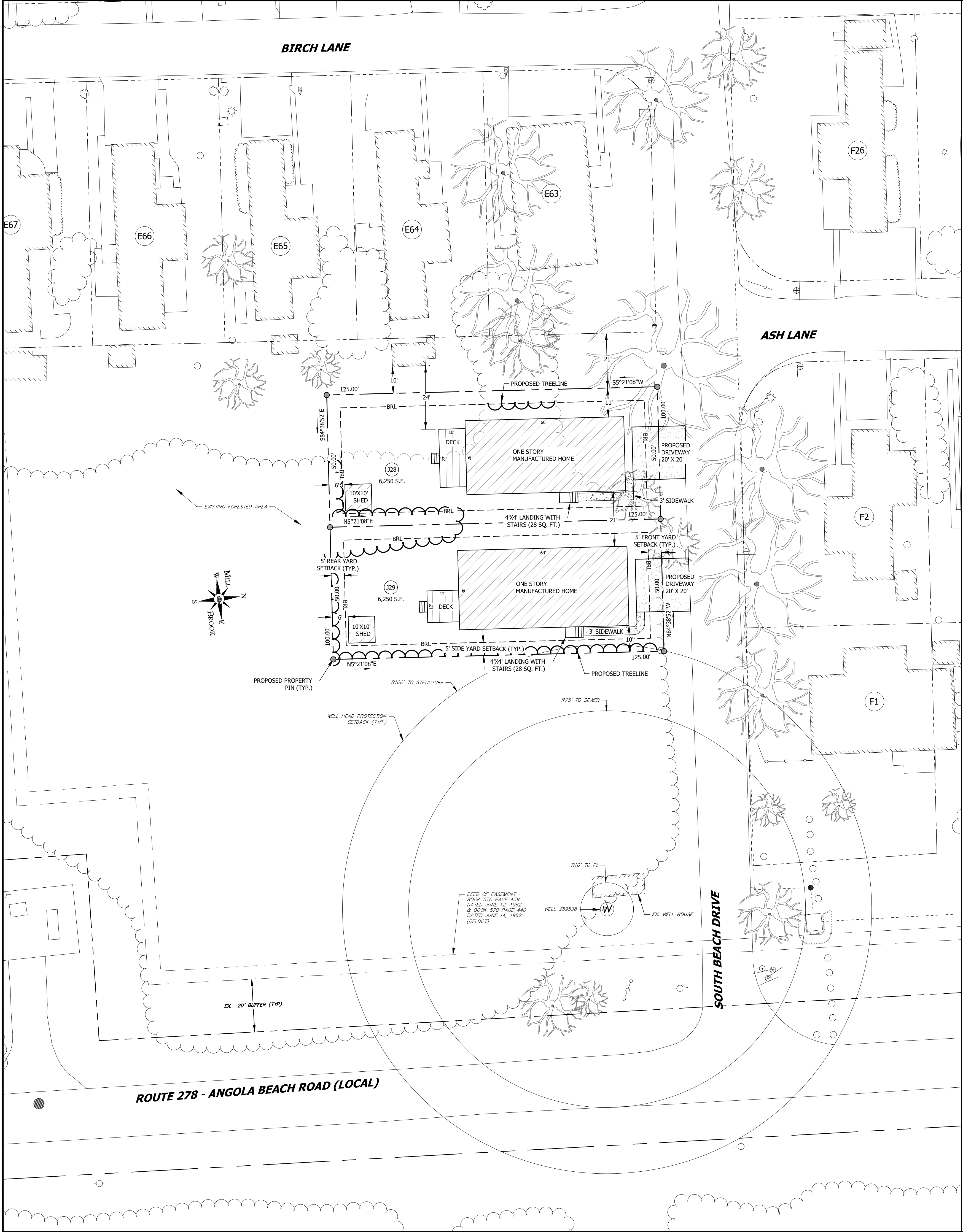
|  |  |   |
|--|--|---|
| Source:<br>Adapted from<br>Colorado Urban Storm Drainage<br>Criteria Manual, Vol 3 | Symbol:<br><div style="border: 2px solid black; padding: 5px; width: 40px; margin: 0 auto;">CW</div> | Detail No.<br><b>DE-ESC-3.6.2</b><br>Sheet 2 of 2<br>Effective FEB 2019 |
|--|--|---|

**DAVIS, BOWEN & FRIEDEL, INC.**  
ARCHITECTS ENGINEERS SURVEYORS

OFFICE: WILMINGTON, DE  
 302-424-1411  
 FAX: 302-424-1411  
 EASTON, MARYLAND  
 410-770-4714

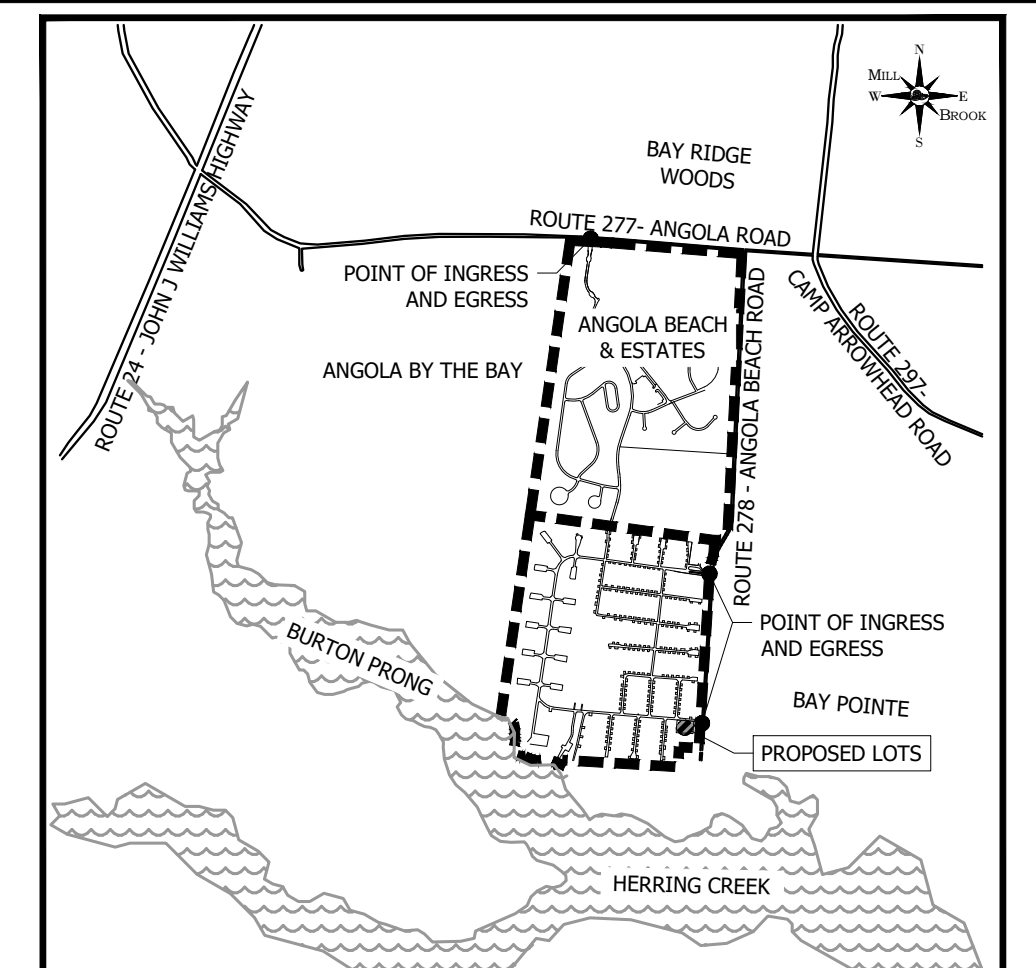
**LANDS OF WADE LLC.  
OFFICE BUILDING ADDITION  
LEWES AND REHOBOTH HUNDRED, SUSSEX COUNTY, DE**

|   |
|---|
| REVISIONS:<br>2020-04-10: FIRE MARSHAL, P&Z |
| Date: <b>FEBRUARY 2020</b>                  |
| Scale: <b>N.T.S.</b>                        |
| Dwn. By: <b>KTH/KJK</b>                     |
| Proj. No.: <b>2374D001</b>                  |
| Dwg. No.: <b>08</b>                         |



**GENERAL NOTES**

1. AN AERIAL MAPPING SURVEY WAS PERFORMED ON THE SITE, FLIGHT DATE 01/13/2017 BY AXIS GEOSPATIAL. BOUNDARY SURVEY PERFORMED BY BOCK AND CLARK DATED APRIL 2017.
2. PART OF THE SITE (ANGOLA BEACH T.P. 234-18.00-1.00) IS WITHIN THE 100 AND 500 YEAR FLOODPLAIN ACCORDING TO FEMA FIRM MAP #10005C0341K DATED MARCH 16, 2015. THE FLOOD PLAIN IS NOT LOCATED IN THE SUBJECT AREA OF THIS PLAN.
3. PLAN LOCATIONS AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
4. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO ORDERING AND/OR FABRICATION OF ANY MATERIALS.
5. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO APPURTENANT. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
6. CONTRACTOR SHALL PATCH, REPAIR, AND FINISH ALL DAMAGED SURFACES CAUSED BY THE WORK, USING THE MATERIALS OF THE SAME KIND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF DAMAGED OR DESTROYED LANDSCAPING OR EXISTING FEATURES.
7. ALL EXCESS EXCAVATION AND ALL OLD PAVEMENT, BASE COURSE, BROKEN CONCRETE, ETC. SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE HAULED AWAY FROM THE SITE.
8. NO DEBRIS SHALL BE BURIED ON THIS SITE.
9. MAINTENANCE OF THE STREETS WITHIN THIS SUBDIVISION WILL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER.
10. NO WETLANDS WERE FOUND TO EXIST ON THE SITE.
11. IF A COVERED PORCH, HVAC UNIT, CHIMNEY, OUTDOOR SHOWER, TRASH ENCLOSURE, ETC. IS TO BE ADDED TO ANY OF THE HOMES IT MUST BE INCLUDED WITHIN THE SETBACKS.



**SITE LOCATION MAP**  
SCALE: 1"= 2,000'

**SITE DATA**

**OWNER/DEVELOPER:** STEPHEN BRAUN, PRESIDENT/CHIEF OPERATING OFFICER  
HOMETOWN ANGOLA BEACH, LLC  
HOMETOWN AMERICA COMMUNITIES  
150 N. WACKER DRIVE, SUITE 2800  
CHICAGO, IL 60606

**CONTACT EMAIL:** TEDMONDS@HOMETOWNAMERICA.NET

**SITE ADDRESS:** 22971 SUBURBAN BLVD.  
LEWES, DE 19958

**TAX MAP PARCEL NO.:** 234-18.00-1.00 (ANGOLA BEACH)

**HUC12:** 020403030102

**EXISTING ZONING:** AR-1 (AGRICULTURAL RESIDENTIAL)  
MHC (CONDITIONAL USE)

**PROPOSED LOTS:** 2 (MANUFACTURED HOMES)

**PROJECT DENSITY:** 7.0 DWELLING UNITS PER ACRE

**SOURCE OF TITLE:** DEED BOOK 3647, PAGE 216 AND DEED BOOK 1913, PAGE 236 AND DEED BOOK 248, PAGE 17

**HORIZONTAL DATUM:** NAD 83

**VERTICAL DATUM:** NAVD 88

**PROPOSED LAND USE:** RESIDENTIAL

**DISTRICT & BULK STANDARDS:**

|                               | REQUIRED      | PROPOSED      |
|-------------------------------|---------------|---------------|
| MIN. LOT AREA:                | 5,000 SQ. FT. | 6,250 SQ. FT. |
| SETBACKS ALONG LOT LINES:     |               |               |
| FRONT:                        | 5'            | >5'           |
| SIDE:                         | 5'            | >5'           |
| REAR:                         | 5'            | >5'           |
| CORNER:                       | 15'           | >15'          |
| MIN. LOT FRONTAGE (WIDTH):    | 50' (MIN.)    | 50'+          |
| MAX. BUILDING HEIGHT:         | 42'           | <20'          |
| SEPARATION BETWEEN BUILDINGS: | 20'           | 20'+          |

**WATER:** COMMUNITY WATER SYSTEM (PRIVATE)

**SEWER:** ON-SITE COMMUNITY SEWER SYSTEM (PRIVATE)

**WELL HEAD PROTECTION:** SITE IS LOCATED IN WELLHEAD PROTECTION AREA

**TYPE OF PLAN:** PRELIMINARY PLAN FOR SOUTH BEACH DRIVE LOTS.

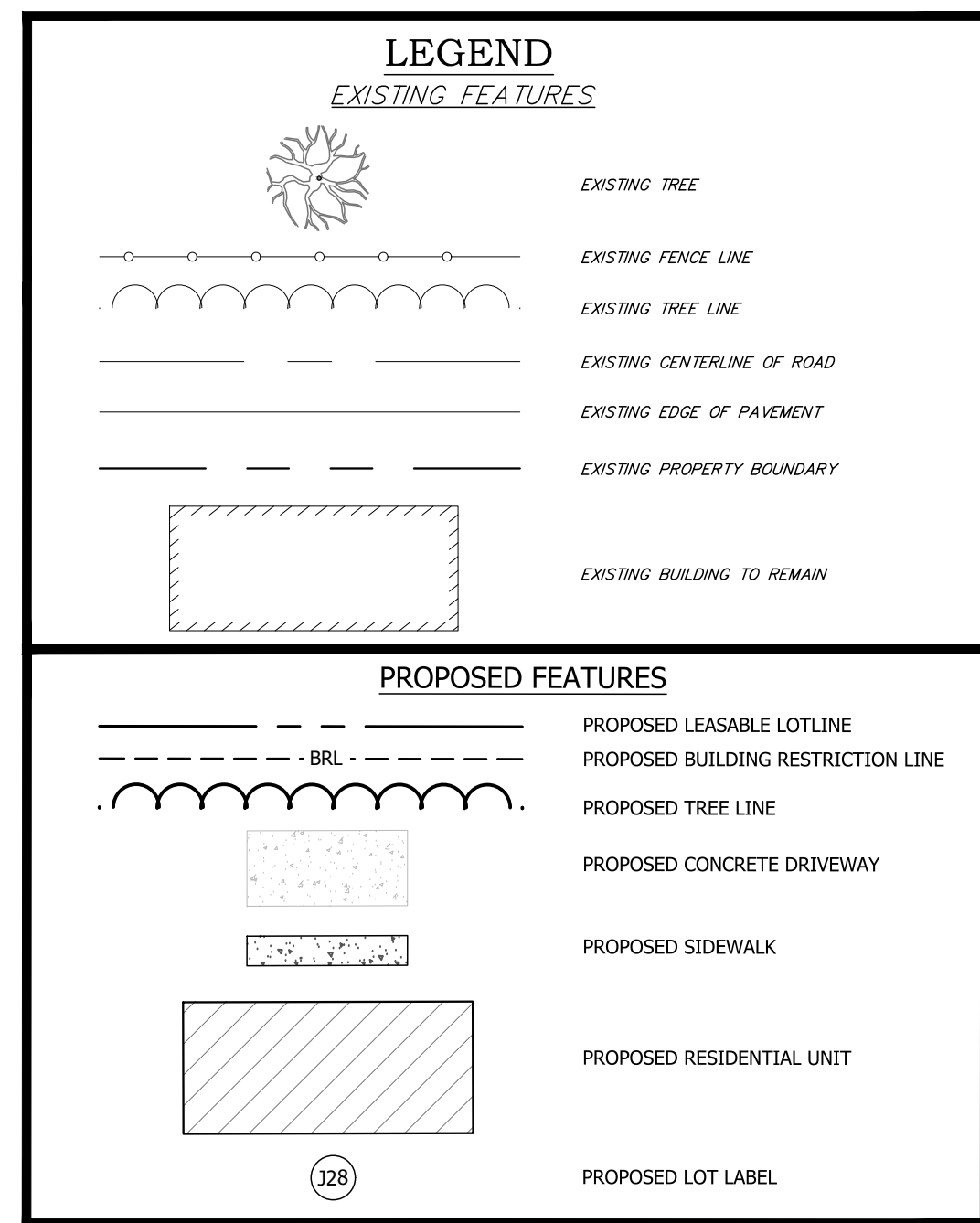
**PURPOSE OF PLAN:** DEPICTION OF ROADWAY, INFRASTRUCTURE, AND RELOCATED RESIDENTIAL LOTS TO OFFSET THE NET LOSS OF LOTS FROM THE "COURTS" SECTION OF THIS COMMUNITY. REFER TO MASTER LOT REALLOCATION PLAN.

**TAX PARCEL 234-18.00-1.00 (204.5± AC.)**

|                            | EXISTING   | PROPOSED   |
|----------------------------|------------|------------|
| OPEN SPACE AREA:           | 44.7± AC.  | 44.4± AC.  |
| RESIDENTIAL LOT AREA:      | 106.7± AC. | 107.0± AC. |
| ON-SITE WASTEWATER AREA:   | 24.9± AC.  | 24.9± AC.  |
| OTHER IMPERVIOUS COVERAGE: | 28.2± AC.  | 28.2± AC.  |
| TAX PARCEL 234-18.00-1.00  | 204.5± AC. | 204.5± AC. |

**NOTE:** NO PLACEMENT PERMITS SHALL BE ISSUED UNTIL THE RESPECTIVE LOSS OF UNITS PER STREET FROM THE COURTS OCCURS.

**NET DEVELOPMENT AREA:** 0.3± AC.



**SUSSEX COUNTY-  
PLANNING & ZONING  
APPROVAL BLOCK**

**CERTIFICATE OF OWNER**

I, STEPHEN BRAUN, OWNER/DEVELOPER OF HOMETOWN ANGOLA BEACH, L.L.C., HEREBY CERTIFY THAT I AM THE CURRENT, LEGAL OWNER OF THE PROPERTY AND I AGREE TO THE DEVELOPMENT AS SHOWN.

**CERTIFICATE OF ACCURACY**

I, MICHAELNA M. HAYES, P.E., HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE WITH A BACKGROUND IN CIVIL ENGINEERING AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, I CERTIFY THAT ALL OF THE INFORMATION ON THESE DRAWINGS IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED SURVEYING AND ENGINEERING STANDARDS AND PRACTICES AND BY THE SUSSEX COUNTY CODE.

MICHAELNA M. HAYES, P.E.  
DE. LICENSE NO. 17597

**REVISIONS**

| DATE     | DESCRIPTION                                    | BY  |
|----------|--|-----|
| 04/03/20 | PER SUSSEX COUNTY PLANNING AND ZONING COMMENTS | EMB |

HOMETOWN ANGOLA BEACH, LLC - ANGOLA BEACH & ESTATES  
**RELOCATED LEASED LOTS**

REHOBOTH HUNDRED DELAWARE SUSSEX COUNTY

**PRELIMINARY PLAN  
SOUTH BEACH DR.**  
M-16-ANGOLA-001-008

**FOR AGENCY  
REVIEW**

**SEAL**

DATE: 03/06/2020

CREATED BY: EMB

DRAWN BY: EMB

CHECKED BY: MMH

SHEET NO. 01 OF 01

Mill Brook Engineering, LLC  
PO BOX 966  
DOVER, DE 19903  
PHONE: 302.312.4716  
WWW.MILLBROOKENG.COM

SCALE: 1"=20'

# FUQUA, WILLARD, STEVENS & SCHAB, P.A.

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FAX 302-645-6620  
realestate@fwsslaw.com

April 16, 2020

Robert C. Wheatley, Chairman  
Planning & Zoning Commission  
P.O. Box 417  
Georgetown, DE 19947

**Re: Old Mill Landing (South) / Subdivision #2019-2,  
Old Mill Landing (North) / Subdivision #2019-13**

Dear Chairman Wheatley:

On February 20, 2020, the Applicant, Old Mill Bridge LLC, requested the Planning and Zoning Commission to reconsider Condition "I" and "B" imposed on the approval of Subdivision #2019-2 and Condition "G" imposed on the approval of Subdivision #2019-13.

By this letter, the Applicant withdraws its request for reconsideration of Condition "B" of Subdivision #2019-2.

The Applicant's request of reconsideration of Condition "I" of Subdivision #2019-2 and Condition "G" of Subdivision #2019-13 remain. These conditions state "as proffered by the Applicant, sidewalks shall be installed on both sides of all internal streets". This condition is in error in that, at the public hearing, the Applicant represented that sidewalks would be located only on one side of the development streets. (Audio of Planning and

Page 2  
April 16, 2020

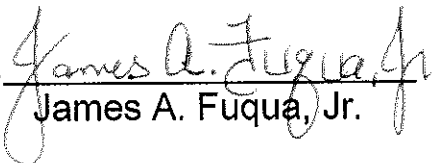
Zoning Commission, combined public hearings on Subdivision #2019-2 and 2019-13 at Minute 35:32)

The Applicant believes the condition was an oversight and requests that both conditions be amended by deleting the words "both sides" and substituting the words "one side".

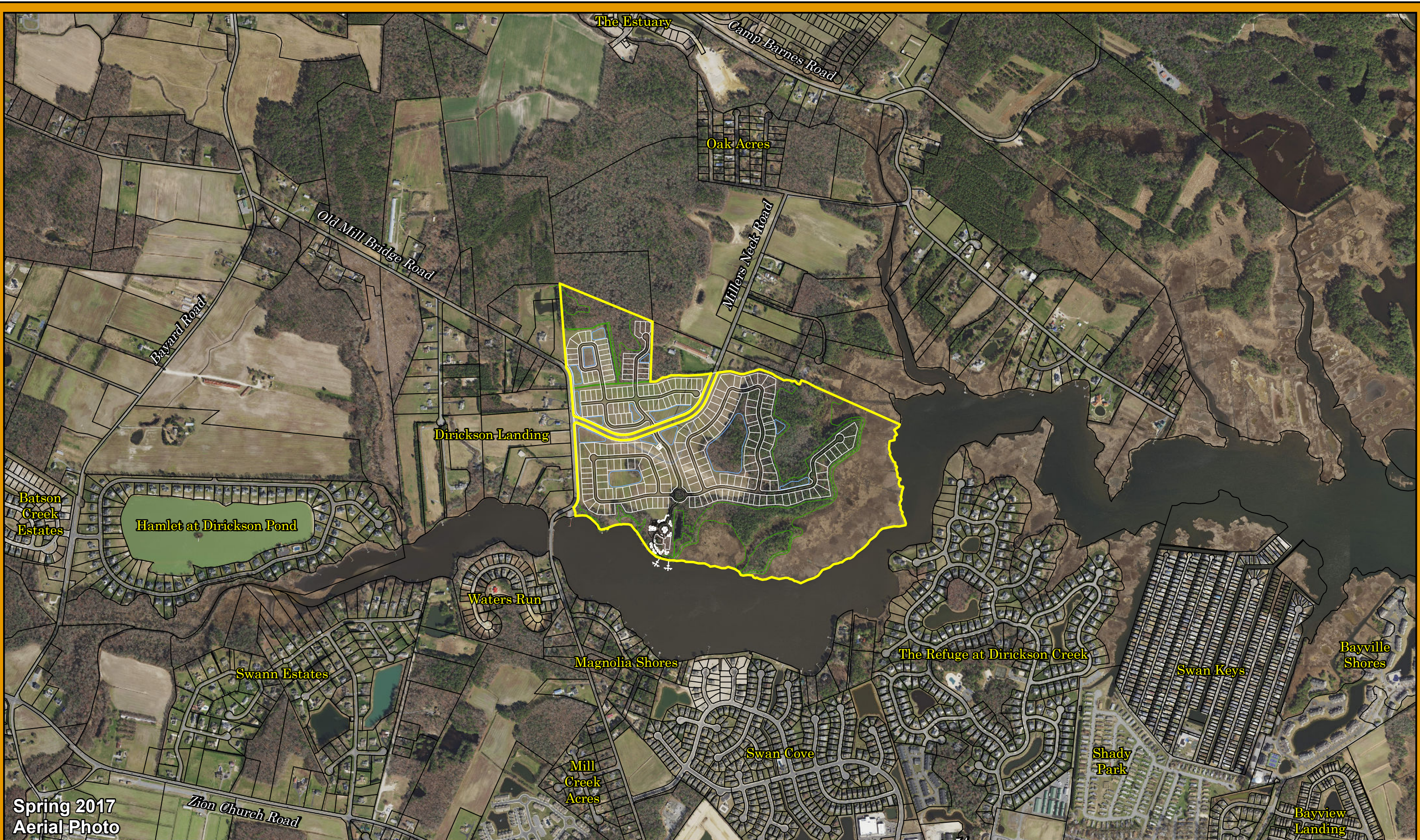
Thank you for your consideration.

Very truly yours,

FUQUA, WILLARD,  
STEVENS SCHAB, P.A.

By:   
James A. Fuqua, Jr.

JAF/jel  
Pc: Planning & Zoning Commission  
Jamie Whitehouse, Director  
Vince G. Robertson, Esquire  
James P. Sharp, Esquire  
Everett Moore, Esquire



Spring 2017  
Aerial Photo

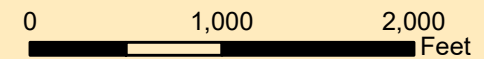
Sources:  
Tax Parcels per Sussex County



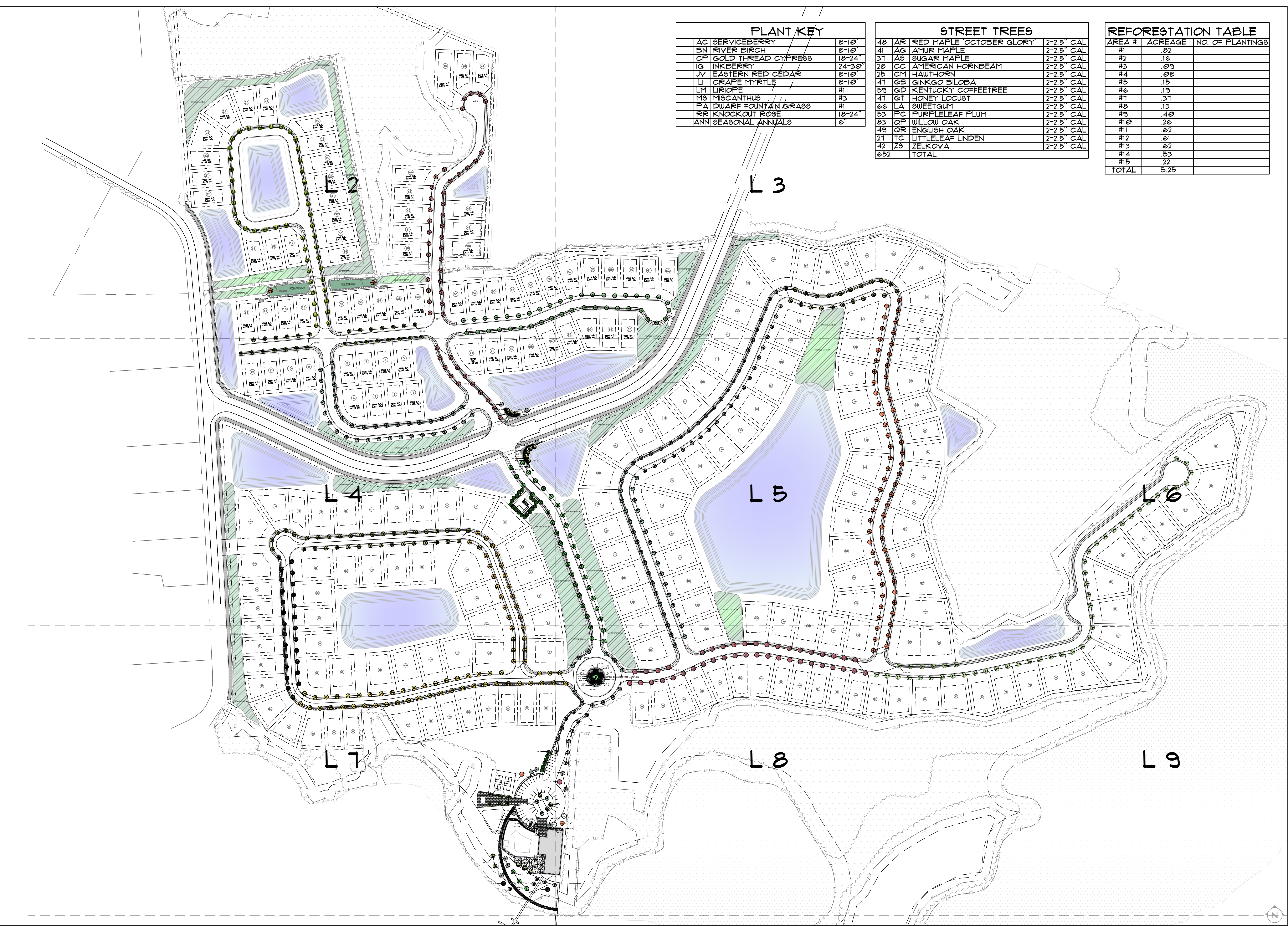
January 2020

## Surrounding Communities Map

**Old Mill Bridge**  
Sussex County, Delaware







**PLANT KEY**

|     |                      |        |
|-----|----------------------|--------|
| AC  | SERVICEBERRY         | 8-10"  |
| BN  | RIVER BIRCH          | 8-10"  |
| CP  | GOLD THREAD CYPRESS  | 18-24" |
| IG  | INKBERRY             | 24-30" |
| JV  | EASTERN RED CEDAR    | 8-10"  |
| LI  | GRAPE MYRTLE         | 8-10"  |
| LM  | LIRIOPE              | #1     |
| MS  | MISCANTHUS           | #3     |
| PA  | DWARF FOUNTAIN GRASS | #1     |
| RR  | KNOCKOUT ROSE        | 18-24" |
| ANN | SEASONAL ANNUALS     | 6"     |

**STREET TREES**

|     |    |                           |            |
|-----|----|---------------------------|------------|
| 48  | AR | RED MAPLE 'OCTOBER GLORY' | 2-2.5" CAL |
| 41  | AG | AMUR MAPLE                | 2-2.5" CAL |
| 31  | AS | SUGAR MAPLE               | 2-2.5" CAL |
| 28  | CC | AMERICAN HORNBEAM         | 2-2.5" CAL |
| 25  | CM | HAUTHORN                  | 2-2.5" CAL |
| 41  | GB | GINKGO BILOBA             | 2-2.5" CAL |
| 59  | GD | KENTUCKY COFFEETREE       | 2-2.5" CAL |
| 41  | GT | HONEY LOCUST              | 2-2.5" CAL |
| 66  | LA | SWEETGUM                  | 2-2.5" CAL |
| 53  | FC | PURPLELEAF PLUM           | 2-2.5" CAL |
| 83  | QP | WILLOW OAK                | 2-2.5" CAL |
| 49  | QR | ENGLISH OAK               | 2-2.5" CAL |
| 71  | TC | LITTLELEAF LINDEN         | 2-2.5" CAL |
| 42  | ZS | ZELKOVA                   | 2-2.5" CAL |
| 652 |    | TOTAL                     |            |

**REFORESTATION TABLE**

| AREA # | ACREAGE | NO. OF PLANTINGS |
|--------|---------|------------------|
| #1     | .82     |                  |
| #2     | .16     |                  |
| #3     | .09     |                  |
| #4     | .08     |                  |
| #5     | .15     |                  |
| #6     | .19     |                  |
| #7     | .37     |                  |
| #8     | .13     |                  |
| #9     | .40     |                  |
| #10    | .26     |                  |
| #11    | .62     |                  |
| #12    | .61     |                  |
| #13    | .62     |                  |
| #14    | .53     |                  |
| #15    | .22     |                  |
| TOTAL  | 5.25    |                  |



**DENISON LANDSCAPING INC.**  
 891 OXON HILL RD  
 FT. WASHINGTON, MD 20744  
 301-561-0210  
 DENISONLANDSCAPING.COM



# OLD MILL BRIDGE

## LANDSCAPING PLAN

FRANKFORD, DELAWARE

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| NO. | REVISION | DATE |
|-----|----------|------|
|     |          |      |
|     |          |      |
|     |          |      |

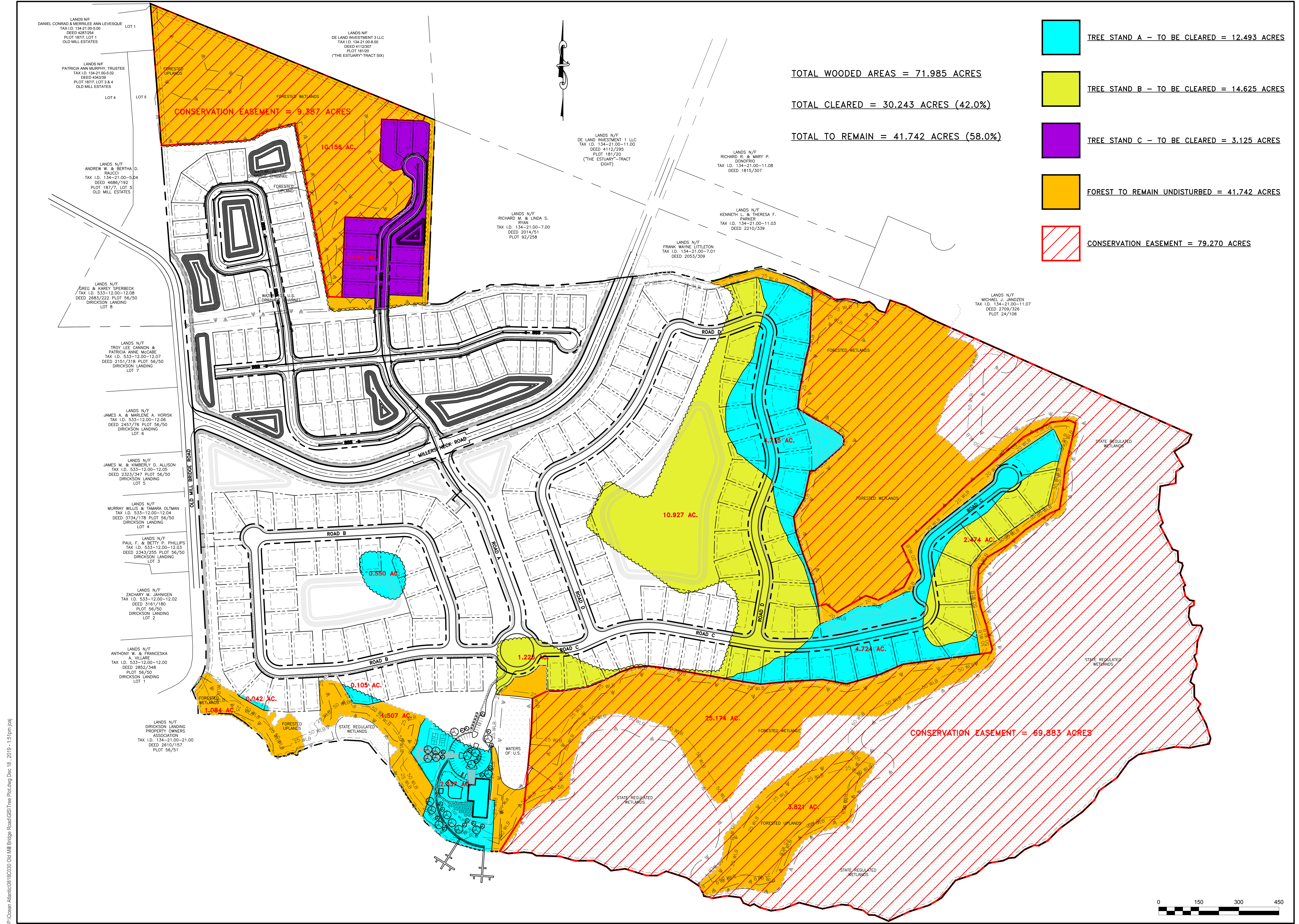
DATE: NOVEMBER 22, 2019

DRAWN BY: A. DAVIS

SCALE: 1" = 40'

SHEET TITLE: MASTER PLAN

SHEET PAGE: L-1 CONSTRUCTION DOCUMENTS



**DAVIS, BOWEN & FRIEDEL, INC.**  
 ARCHITECTS ENGINEERS SURVEYORS  
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 FAX (302) 424-1441  
 EASTON, MARYLAND (410) 770-4744

**OLD MILL BRIDGE  
 FOREST CLEARING/CONSERVATION EASEMENT EXHIBIT  
 SUSSEX COUNTY, DELAWARE**

Revisions:  
 Date: **JANUARY 2020**  
 Scale: **1"=150'**  
 Dwn. By: **JMJ**  
 Proj. No.: **0818C030.L01**  
 Dwg. No.:

**TR**

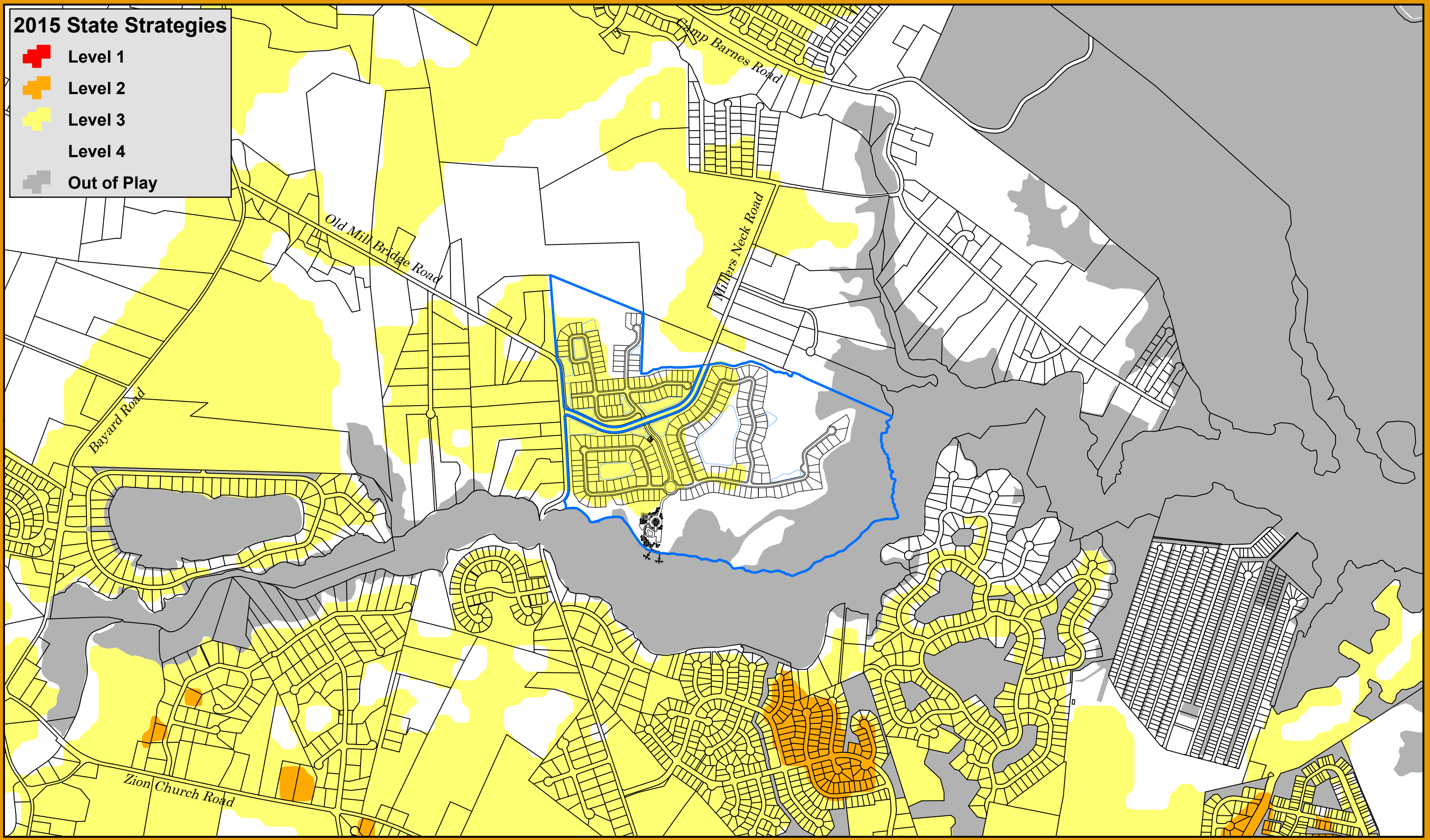


P:\Ocean Atlantic\0818C030 Old Mill Bridge Road\GIS\Tree Plot.dwg Dec. 18, 2019 - 1:51pm [del]

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# 2015 State Strategies

-  Level 1
-  Level 2
-  Level 3
-  Level 4
-  Out of Play















Sources:  
Tax Parcels per Sussex County

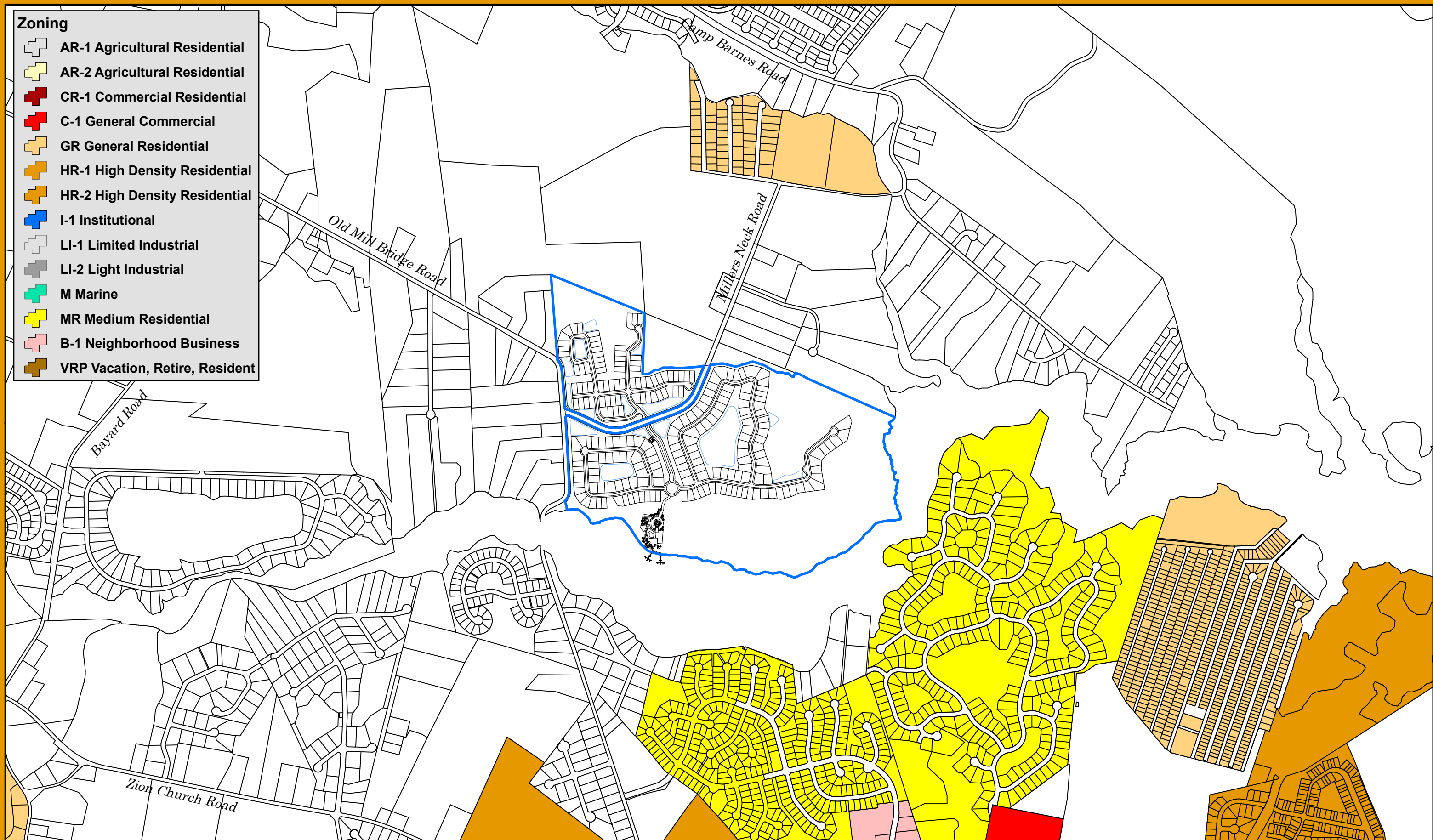


## 2015 State Strategies Old Mill Bridge Sussex County, Delaware

0 1,000 2,000  
Feet



- Zoning**
-  AR-1 Agricultural Residential
  -  AR-2 Agricultural Residential
  -  CR-1 Commercial Residential
  -  C-1 General Commercial
  -  GR General Residential
  -  HR-1 High Density Residential
  -  HR-2 High Density Residential
  -  I-1 Institutional
  -  LI-1 Limited Industrial
  -  LI-2 Light Industrial
  -  M Marine
  -  MR Medium Residential
  -  B-1 Neighborhood Business
  -  VRP Vacation, Retire, Resident



## Sussex County Zoning Map

### Old Mill Bridge Sussex County, Delaware

