

JAMIE WHITEHOUSE, AICP
DIRECTOR OF PLANNING & ZONING
(302) 855-7878 T
(302) 854-5079 F
jamie.whitehouse@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

PLEASE NOTE

This paperless packet is published on the County's website for convenience purposes, and only includes information received up to the close of business on the day before a public hearing. Documents received after this, or documents submitted during the public hearing are not uploaded to the Paperless Packet. The legal record is the paper record maintained in the Offices of the Planning & Zoning Department.



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE

SITE DATA:

OWNER/ DEVELOPER: NATELLI COMMUNITIES
506 MAIN STREET
3RD FLOOR
GAITHERSBURG, MD 20878
PHONE: 301-670-4020
CONTACT: TOM NATELLI

ENGINEER/ SURVEYOR: SOLUTIONS IP&M, LLC
303 NORTH BEDFORD STREET
GEORGETOWN, DE 19947
PHONE: 302-297-9215
CONTACT: JASON PALKEWICZ, PE

- GROSS ACREAGE = 41.55± ACRES
- EXISTING ZONING: AR-1 (COASTAL AREA)
- SETBACKS: RESIDENTIAL LOTS
FRONT = 25' (CORNER = 15')
REAR = 10'
SIDE = 10'
MAXIMUM BUILDING HEIGHT = 42'
- AMENITY LOT
FRONT = 10'
REAR = 5'
SIDE = 10'
MAXIMUM BUILDING HEIGHT = 42'
- PRESENT USE: WOODED LANDS
- PROPOSED USE: CLUSTER SUBDIVISION
- SEWER PROVIDER: SUSSEX COUNTY
- WATER PROVIDER: ARTESIAN
- TAX PARCEL NUMBERS: 533-11.00, PARCELS 81.00 & 82.01
- TOTAL NUMBER OF LOTS: EXISTING = 2
PROPOSED = 65
- ZION CHURCH ROAD SPEED LIMIT = 50 MPH
- INVESTMENT LEVEL AREA = 3&4
- FLOOD ZONE: THE PROPERTY IS LOCATED WITHIN FLOOD ZONE X (UNSHADED). (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD (PLAIN); ZONE AE SPECIAL FLOOD HAZARD AREA SUBJECT TO THE FLOODING BY THE 1% ANNUAL CHANCE FLOOD - BASE FLOOD ELEVATIONS DETERMINED) PER FIRM MAP NUMBER 10050CO PANEL 0433K, REVISED MAR CH 16, 2015.
- THIS SITE IS NOT LOCATED WITHIN THE HENLOPEN TRANSPORTATION IMPROVEMENT DISTRICT (TID).
- THE PHILADELPHIA DISTRICT OF THE CORPS OF ENGINEERS HAS JURISDICTION OVER THE WETLANDS.

AREAS:

GROSS AREA = 41.55± AC.
NET AREA = 38.86± AC.
OPEN SPACE AREA = 25.54± AC.
OPEN SPACE 1 = 25.41± AC.
OPEN SPACE 2 = 0.13± AC.
% IMPERVIOUS COVER AREA = 6.722%
% OPEN SPACE AREA = 61.5%
R.O.W. AREA = 2.62± AC.
DELDOT R.O.W. AREA = 0.0635± AC.

WOODLANDS:
EXISTING = 39.91 AC± (96.2%)
TO BE REMOVED = 20.39 (52.5%)
TO REMAIN = 19.52 AC± (49.7%)

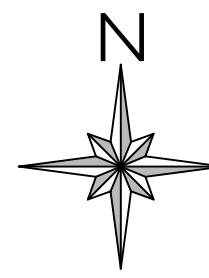
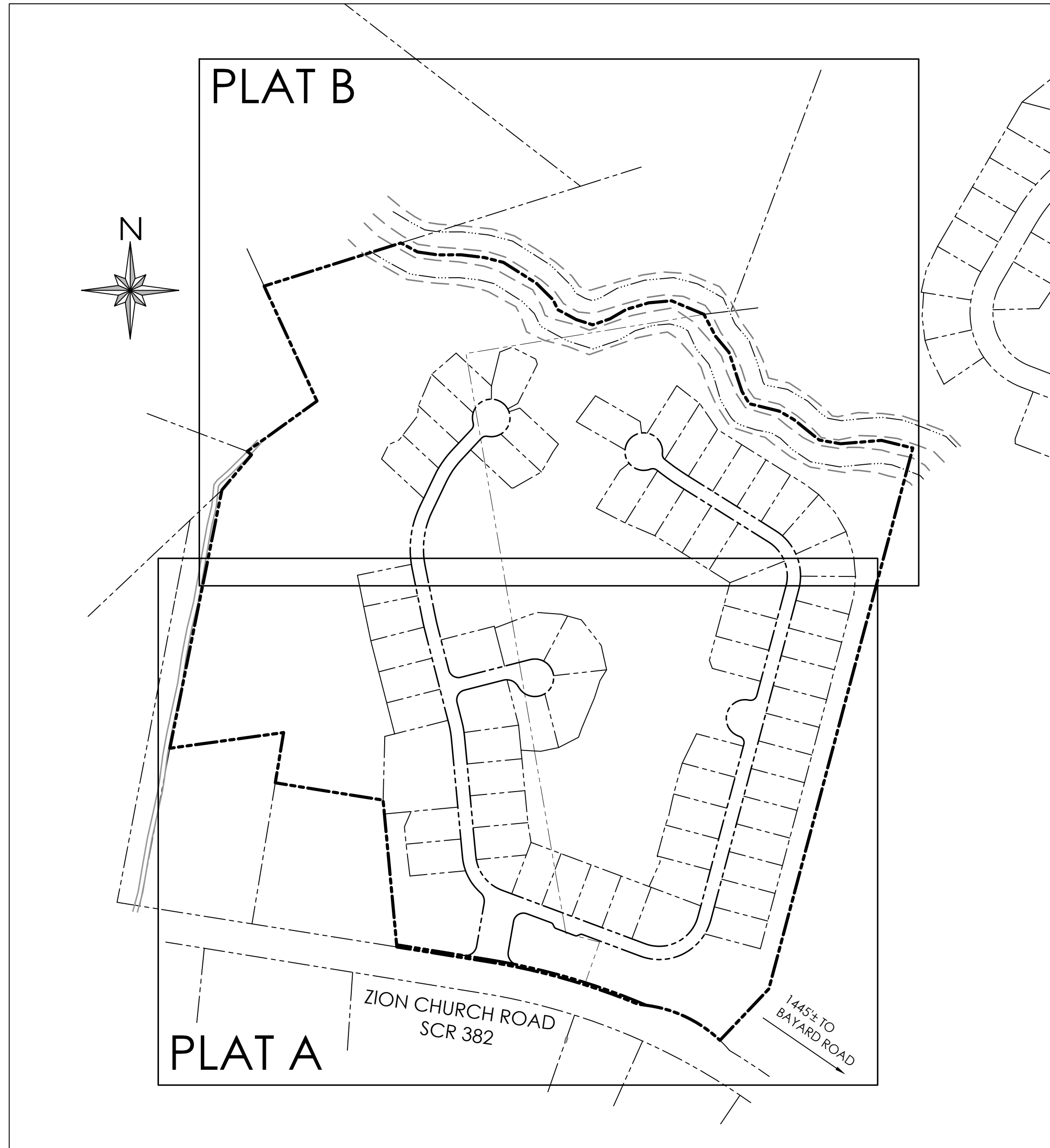
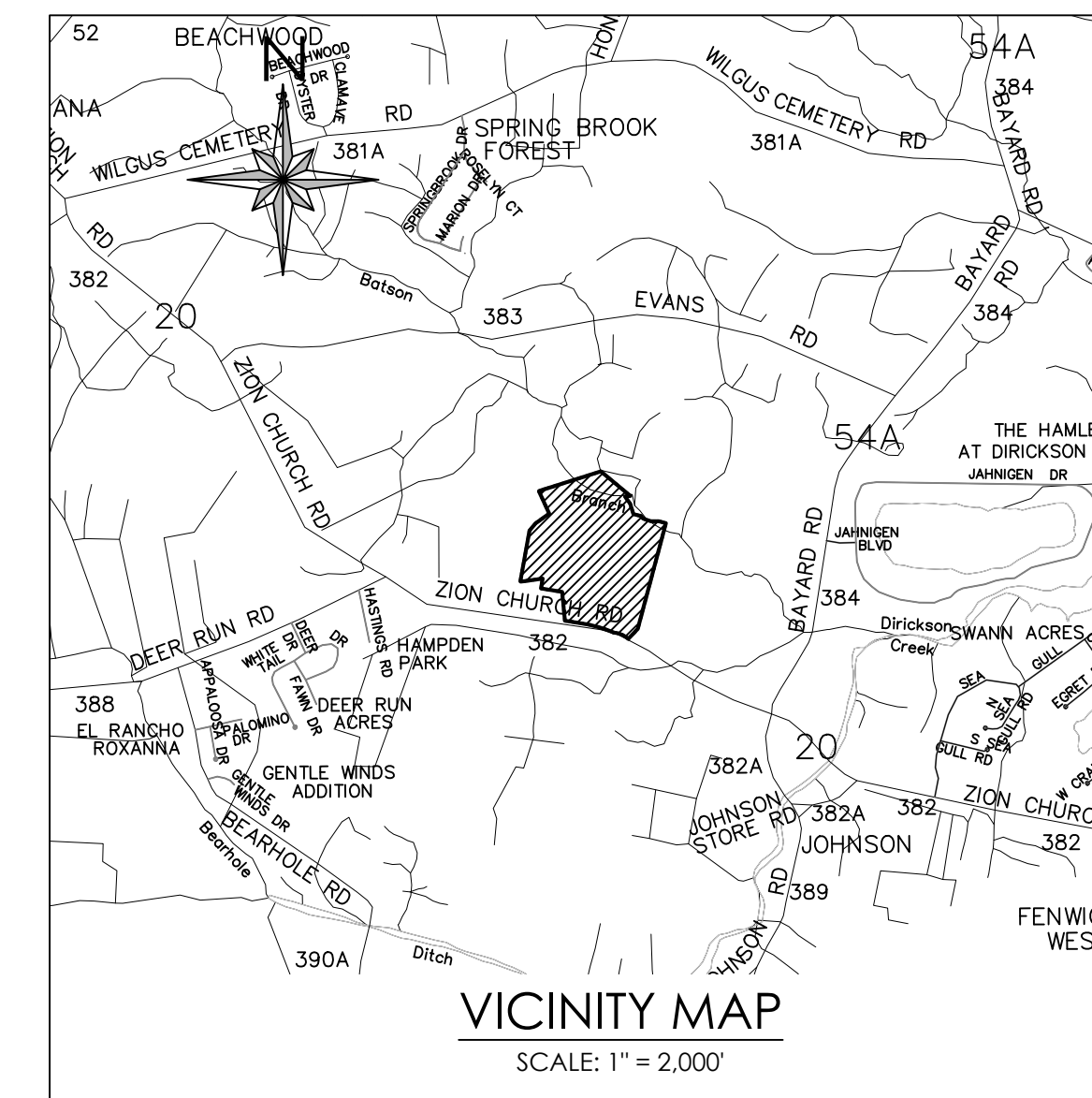
WETLANDS:
NON-TIDAL = 11.28 ± AC.
WATERS OF THE U.S. = 0.40± AC.
TOTAL = 11.68± AC.

A PORTION OF THE SITE IS LOCATED IN FLOOD ZONE AE.

RECORD PLAT FOR SWEETBAY

COUNTY PROJECT REFERENCE NO. 2018-26 BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE

PURPOSE STATEMENT:
THE PURPOSE OF THIS REVISED RECORD PLAT IS TO UPDATE THE METES AND BOUNDS OF LOT 3. LOT 3 SHALL BE THE AMENITY AREA LOT.



PLAT B

PLAT A

SITE MAP
SCALE: 1" = 200'

LEGEND

	EXISTING	PROPOSED
CAPPED PIN SET	N/A	●
PROPERTY LINE	— — — — —	— — — — —
EASEMENT LINE	— — — — —	— — — — —
EASEMENT	N/A	▨
SETBACK LINE	N/A	— — — — —
EDGE OF WETLAND	— — — — —	N/A
WETLAND HATCH	▨	N/A
UNMARKED POINT	○	N/A
IRON PIPE FOUND	○ I/P	N/A
CONCRETE MONUMENT FOUND	□ C/MF	N/A
CAPPED IRON PIPE FOUND	○ I/PF	N/A
CAPPED IRON ROD SET	○ I/R	N/A
WOODLINE (APPROXIMATE)	N/A	— — — — —
LANDSCAPE BUFFER	N/A	▨
POND MAINTENANCE EASEMENT AREA	N/A	▨
		IRCS ●

SHEET INDEX

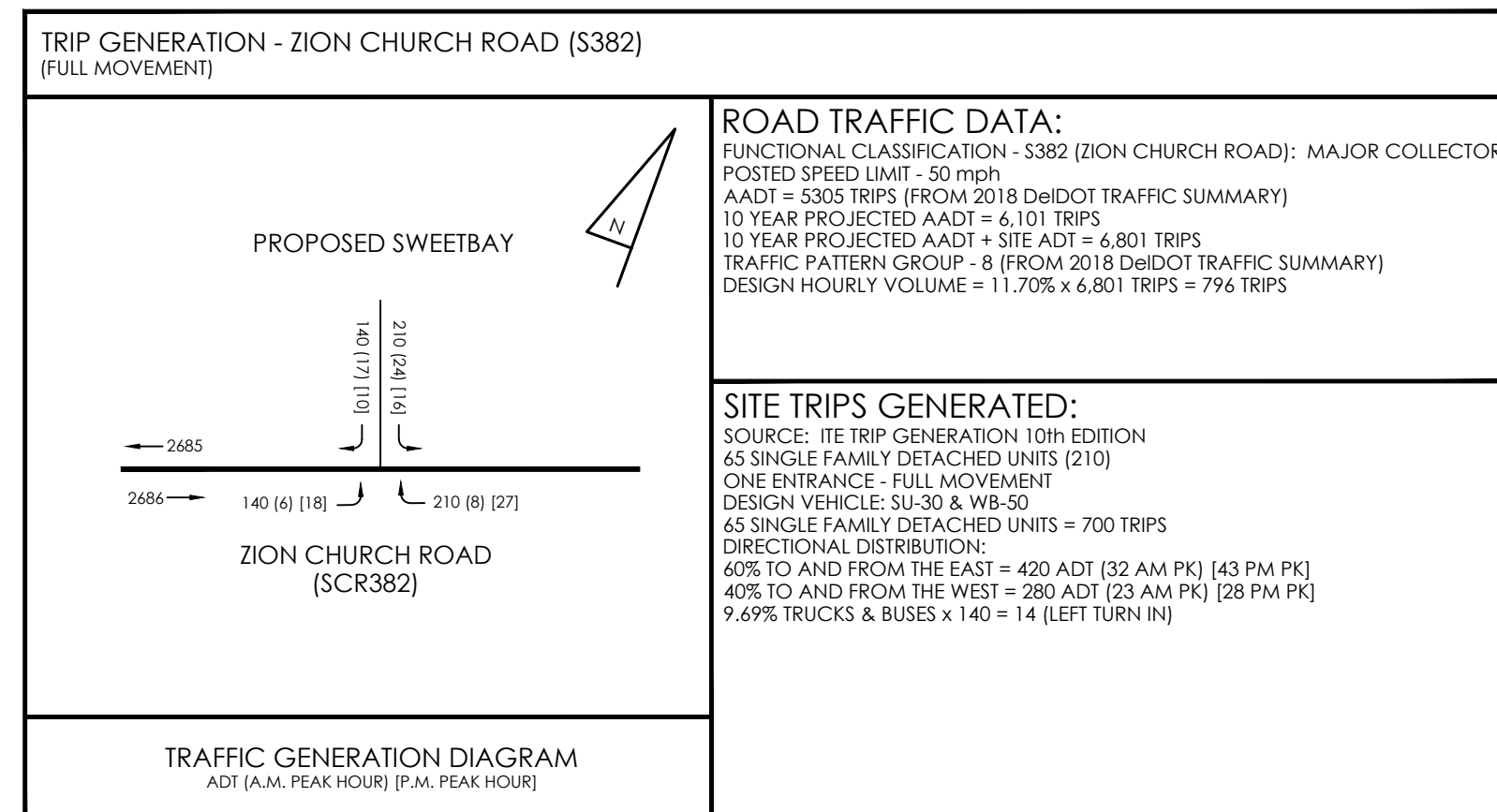
1	COVER SHEET
2	CONDITIONS OF APPROVAL
3	BOUNDARY OF WATERS AND WETLANDS OF THE UNITED STATES
4	RECORD PLAT A
5	RECORD PLAT B
6	EASEMENT DETAILS
7	ROAD SECTIONS, LANDSCAPING DETAILS, CURVE AND LINE TABLES

GENERAL NOTES:

- ALL ON-SITE STREETS (INCLUDING PAVEMENT, CURBING AND SIDEWALK) ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER UNTIL DEDICATION TO THE HOMEOWNER'S ASSOCIATION. THE PERPETUAL MAINTENANCE OF THE STREETS SHALL BE BY THE HOMEOWNER'S ASSOCIATION.
- STORMWATER MANAGEMENT AND STORM DRAINAGE SHALL BE IN ACCORDANCE WITH THE SUSSEX COUNTY CONSERVATION DISTRICT AND SUSSEX COUNTY ENGINEERING REQUIREMENTS. MAINTENANCE OF THE ON-SITE STORMWATER MANAGEMENT FACILITIES AND STORM DRAINAGE SYSTEM SHALL BE BY THE OWNER UNTIL DEDICATION TO THE HOMEOWNER'S ASSOCIATION. THE PERPETUAL MAINTENANCE OF THE ABOVE PROACTIVE SHALL BE BY THE HOMEOWNER'S ASSOCIATION.
- ALL OPEN SPACE SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- ALL SUBDIVISION LOTS SHALL HAVE FIVE FOOT WIDE EASEMENTS ALONG ALL LOT LINES FOR A TOTAL EASEMENT WIDTH OF 10 FEET ALONG A LOT LINE COMMON TO TWO LOTS. EASEMENTS ALONG PERIMETER (RIGHT-OF-WAY AND OPEN SPACE) SHALL BE 10 FEET IN WIDTH.
- STREETLIGHTS SHALL BE PROVIDED. ALL LIGHTING SHALL BE DOWNWARD SCREENED. LIGHT LOCATIONS AND DESIGN SHALL BE COORDINATED BETWEEN OWNER AND UTILITY COMPANY.
- THE SITE IS LOCATED WITHIN A WELLHEAD PROTECTION AREA. THE IMPERVIOUS AREA WITHIN THE WELLHEAD PROTECTION AREA IS 32%, WHICH IS IN COMPLIANCE WITH SUSSEX COUNTY SOURCE WATER PROTECTION ORDINANCE.
- ALL AMENITIES AND LANDSCAPE/FOREST BUFFERS SHALL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
- CLEARING OF TREES HAS BEEN MINIMIZED TO THE EXTENT NECESSARY TO CONSTRUCT ALL REQUIRED SITE IMPROVEMENTS IN ACCORDANCE WITH CONDITION OF APPROVAL O.
- AN ENTRANCE/COMMUNITY SIGN WILL BE PROVIDED. ANY SIGNAGE WILL REQUIRED A SEPARATE PERMIT.

DELDOT RECORD PLAN GENERAL NOTES (REV. 3/21/19):

- All entrances shall conform to the Delaware Department of Transportation's (DelDOT's) current Development Coordination Manual and shall be subject to its approval.
- No landscaping shall be allowed within the right-of-way unless the plans are compliant with Section 3.7 of the Development Coordination Manual.
- Shrubbery, plantings, signs and/or other visual barriers that could obstruct the sight distance of a driver preparing to enter the roadway are prohibited within the defined departure sight triangle area established on this plan. If the established departure sight triangle area is outside the right-of-way or projects onto an adjacent property owner's land, a sight easement should be established and recorded with all affected property owners to maintain the required sight distance.
- Upon completion of the construction of the sidewalk or shared-use path across this project's frontage and physical connection to adjacent existing facilities, the Developer, the property owners or both associated with this project, shall be responsible to remove any existing road tie-in connections located along adjacent properties, and restore the area to grass. Such actions shall be completed at DelDOT's discretion, and in conformance with DelDOT's Development Coordination Manual.
- Private streets constructed within this subdivision shall be maintained by the Developer, the property owners within this subdivision or both (Title 17 §131). DelDOT assumes no responsibilities for the future maintenance of these streets.
- The shared-use path shall be the responsibility of the Developer, the property owners or both within this subdivision. The State of Delaware assumes no responsibility for the future maintenance of the shared-use path.
- All lots shall have access from the internal subdivision street.
- To minimize rutting and erosion of the roadside due to on-street parking, driveway and building layouts must be configured to allow for vehicles to be stored in the driveway beyond the right-of-way, without interfering with sidewalk access and clearance.
- The Developer shall be required to furnish and place right-of-way monuments in accordance with DelDOT's Development Coordination Manual.
- The Developer shall be required to furnish and place right-of-way markers to provide a permanent reference for re-establishing the right-of-way and property corners on local and higher order frontage roads. Right-of-way markers shall be set and/or placed along the frontage road right-of-way at property corners and at each change in right-of-way alignment in accordance with Section 3.2.4.2 of the Development Coordination Manual.



ROAD TRAFFIC DATA:
FUNCTIONAL CLASSIFICATION - 5382 (ZION CHURCH ROAD): MAJOR COLLECTOR
POSTED SPEED LIMIT - 50 mph
AADT = 5305 TRIPS (FROM 2018 DELDOT TRAFFIC SUMMARY)
10 YEAR PROJECTED AADT = 6,101 TRIPS
10 YEAR PROJECTED AADT + SITE ADT = 6,801 TRIPS
TRAFFIC PATTERN GROUP - 8 (FROM 2018 DELDOT TRAFFIC SUMMARY)
DESIGN HOURLY VOLUME = 11,70% x 6,801 TRIPS = 796 TRIPS

SITE TRIPS GENERATED:
SOURCE: ITE TRIP GENERATION 10TH EDITION
65 SINGLE FAMILY DETACHED UNITS (210)
ONE ENTRANCE - FULL MOVEMENT
DESIGN VEHICLE: SU-30 & WB-50
65 SINGLE FAMILY DETACHED UNITS = 700 TRIPS
DIRECTIONAL DISTRIBUTION:
60% TO AND FROM THE EAST = 420 ADT (32 AM PK) [43 PM PK]
40% TO AND FROM THE WEST = 280 ADT (23 AM PK) [28 PM PK]
9.69% TRUCKS & BUSES x 140 = 14 (LEFT TURN IN)

SUSSEX CONSERVATION DISTRICT APPROVAL:

APPROVED BY:

SECRETARY OF PLANNING COMMISSION DATE

PRESIDENT OF COUNTY COUNCIL DATE

WETLANDS CERTIFICATION

I, EDWARD M. LAUNAY, PWS, STATE THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED UPON THIS PLAN HAVE BEEN DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, ATLANTIC GULF COAST REGIONAL SUPPLEMENT, REGULATIONS AND SUPPLEMENTAL GUIDANCE (33 CFR 328.3 (a)(1)(8), Waters of the U.S. Definition/CECW-OR, 10-7-1991; Questions and Answers on the 1987 COE Manual/CECW-OR, 9-26-1990, RGL 90-7/CECW-OR, 3-6-1992. Clarification and Interpretation of the 1987 Manual). THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES.

EDWARD M. LAUNAY
PROFESSIONAL WETLAND SCIENTIST NO. 875
SOCIETY OF WETLAND SCIENTISTS
(CORPS OF ENGINEERS,
CERTIFIED WETLAND DELINEATOR WDCP93MD05100368)

DATE

OWNER'S CERTIFICATION

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN. THAT THE PLAN WAS MADE AT OUR DIRECTION AND WE ACKNOWLEDGE THE SAME TO BE OUR ACT, AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. WE FURTHERMORE UNDERSTAND AND ACKNOWLEDGE THAT IT IS THE RIGHT OF THE SUSSEX CONSERVATION DISTRICT AND/OR ITS DELEGATED INSPECTION AGENCIES TO CONDUCT ON-SITE INSPECTIONS.

NATELLI COMMUNITIES
506 MAIN STREET, #300
GAITHERSBURG, MD 20878

DATE

SURVEYOR'S CERTIFICATION

THIS PLAT AND SURVEY WERE PERFORMED FOR SUSSEX REAL ESTATE PARTNERS, LLC, UNDER MY SUPERVISION, TO THE LOCAL STANDARD OF CARE, AND SUBSTANTIALLY MEET THE "MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING" AS PROMULGATED BY THE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS FOR A SUBURBAN CLASS SURVEY.

SOLUTIONS INTEGRATED PLANNING,
ENGINEERING & MANAGEMENT, LLC
BY BARRY M. HALL, AGENT

BARRY M. HALL,
PROFESSIONAL LAND SURVEYOR
DELAWARE NO. 618

DATE

REVISIONS

NO.	DATE	DESCRIPTION
1	5-16-19	REVISIONS PER COMMENTS DATED 5-13-19
2	4-9-20	REVISIONS PER COMMENTS DATED 4-8-20
3	1-21-22	REVISED LOT 3. LOT 3 CONVERTED TO AMENITY LOT

Seal
Date

COVER SHEET for **SWEETBAY**
SUSSEX COUNTY, DELAWARE
BALTIMORE HUNDRED
ZION CHURCH ROAD (SCR 382)
DELDOT PROJECT ID: 533-11.00-81.00

Date: 04/10/19
Job Number: 17042
Scale: AS SHOWN
Drawn By: ML
Designed By: DP
Approved By: JP

Sheet No.: 1

File Name: COVER.dwg

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
HOLLY J. WINGATE
J. BRUCE MEARS



Sussex County

DELAWARE
sussexcountye.gov
302-855-7878 T
302-854-5070 F
JANELLE CORNWELL, AICP
DIRECTOR

March 13, 2019

Mr. Jason Palkewicz, P.E.
Solutions IPERM, LLC.
303 North Bedford Street
Georgetown, DE 19947

By email to: jpalkewicz@solutionsiperm.com

RE: Notice of Decision letter for the Preliminary Subdivision Plan for Sweetbay (2018-26) for the creation of sixty-five (65) single-family lots on 43.81 acres located on the north side of Zion Church Road, west of Bayard Road and lying within the Agricultural Residential (AR-1) Zoning District and Environmentally Sensitive Development District Overlay Zone (ESDDOZ). Tax Parcels: 533-11.00-81.00 & 82.01

Dear Mr. Palkewicz,

At their meeting occurring **Thursday, February 28, 2019** the Planning & Zoning Commission approved the **Preliminary Subdivision Plan for Sweetbay (2018-26)** to consist of sixty-five (65) single family lots on the north side of Zion Church Road, west of Bayard Road.

The Preliminary Subdivision Plan is valid for three (3) years from the date of Planning Commission decision. A Final Subdivision Plan shall be approved within three (3) years of the date of approval of the Preliminary Plan or the action of the Planning Commission shall be deemed canceled. Unless an extension is granted, approval shall be rendered null and void if substantial construction is not commenced within five (5) years of the date of recordation of the final plat.

As part of their motion, the Planning Commission acted to approve the development subject to the following conditions (which shall be clearly annotated on the Revised Preliminary and Final Subdivision Plans):

- A. There shall be no more than 65 lots within the subdivision.
- B. The developer shall establish a homeowner's association responsible for the maintenance of streets, roads, buffers, stormwater management facilities and other common areas.
- C. The stormwater management system shall meet or exceed the requirements of the State and County. The Final Site Plan shall contain the approval of the Sussex Conservation District for the design and location of all stormwater management areas and erosion and sedimentation control facilities.
- D. A forested or landscaped buffer of at least 30 feet in depth shall be installed along the entire perimeter of the project. The buffer may overlap areas that are currently wetlands or wooded areas that will be preserved. The Final Site Plan shall contain a landscaped plan for all of these areas.
- E. The subdivision shall be served by Sussex County for sewer service.



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE 19947

March 13, 2019
Notice of Decision Letter
2018-26 Sweetbay
Page 2

- F. The subdivision shall be served by a publicly regulated central water system providing drinking water and fire protection.
- G. Street design shall meet or exceed Sussex County standards.
- H. All entrances, intersections, roadway improvements and multimodal facilities required by DelDOT shall be completed by the applicant as required by DelDOT.
- I. Road naming and addressing shall be subject to the review and approval of the Sussex County Mapping and Addressing Department.
- J. Construction activities and deliveries of dirt, fill or other similar materials shall only occur on the site between the hours of 7:00 AM through 5:00 PM, Monday through Friday, and between the hours of 8:00 AM and 2:00 PM on Saturdays. There shall not be any of these activities on Sundays.
- K. The Final Site Plan shall indicate all forested areas that will be preserved.
- L. There shall not be any construction activities within 50 feet of any wetlands.
- M. The Applicant shall coordinate and cooperate with the local school district's transportation manager to establish a school bus stop and shelter.
- N. A revised Preliminary Site Plan either depicting or noting these conditions must be submitted to the Office of Planning and Zoning.
- O. The Final Site Plan shall be subject to the review and approval of the Planning and Zoning Commission.

Once all agency approvals have been obtained please submit a minimum of **seven (7) paper copies (11"x17")**, **one (1) full size copy and one (1) electronic copy** of a Revised Preliminary Subdivision Plan to the Planning and Zoning Office for consideration on the next agenda for the Planning Commission. **It is recommended that two (2) copies of a check print are first submitted to staff for review.**

A \$10.00 per lot fee is required to be paid prior to the approval of any Final Subdivision Plan. For 65 lots, the fee is \$650.00.

Please feel free to contact me during business hours 8:30am – 4:30pm Monday through Friday at 302-855-7878.

Sincerely,

Lauren DeVore
Planner III

CC. Andy Wright, Building Code, Chief of Building Code – Building Code
Mike Brady, Director of Public Works – Engineering
John Ashman, Director of Utility Planning - Engineering

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountye.gov
302-855-7878 T
302-854-5070 F
JANELLE CORNWELL, AICP
DIRECTOR

March 18, 2019

Mr. Jason Palkewicz, P.E.
Solutions IPERM, LLC.
303 North Bedford Street
Georgetown, DE 19947

By email to: jpalkewicz@solutionsiperm.com

RE: Notice of Decision for Revised Condition of Approval for Sweetbay (2018-26) for a sixty-five (65) lot subdivision on 43.81 acres to be located on the north side of Zion Church Road, west of Bayard Road and lying within the Agricultural Residential (AR-1) Zoning District and the Environmentally Sensitive Development District Overlay Zone (ESDDOZ) (ES-1). Tax Parcel: 533-11.00-81.00 & 82.01

Dear Mr. Palkewicz,

At their meeting of March 14, 2019, the Planning & Zoning Commission **approved** the submitted request to revise the wording of Condition of Approval 'L' which requires a 50' buffer from Batson Branch.

The wording of this condition has now been revised to read as follows:

"a 50-foot buffer shall be provided landward from the ordinary high water line of Batson Branch, and there shall not be any construction activities within this buffer".

All other conditions of approval remain unchanged. Please ensure that all future versions of the Plan reflect this change.

If you have any questions, please feel free to contact me.

Sincerely,

Samantha Bulkilvish
Planner I

CC. Andy Wright, Building Code;
Mike Brady, Director of Public Works – Engineering;
John Ashman, Director of Utility Planning - Engineering



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE 19947



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3033 Manitt Mill Road
Salisbury, MD 21804
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Seal

Date

REVISIONS		DESCRIPTION
NO.	DATE	
1	5-14-19	REVISIONS PER COMMENTS DATED 5-13-19
2	4-9-20	REVISIONS PER COMMENTS DATED 4-8-20
3	1-21-22	REVISED LOT 3. LOT 3 CONVERTED TO AMENITY LOT

CONDITIONS OF APPROVAL
for
SWEETBAY
SUSSEX COUNTY, DELAWARE
BALTIMORE HUNDRED
ZION CHURCH ROAD (SCR 382)
DELDOT PROJECT ID: 533-11.00-81.00

Date:	04/10/19
Job Number:	17042
Scale:	NONE
Drawn By:	ML
Designed By:	DP
Approved By:	JP

Sheet No.:

2

File Name: COVER.dwg

WETLAND COORDINATES TABLES. Table with 3 columns: Description, Northing, Easting. Contains coordinates for Wetland A through Wetland H.

WETLAND COORDINATES TABLES. Table with 3 columns: Description, Northing, Easting. Contains coordinates for Wetland A through Wetland H.

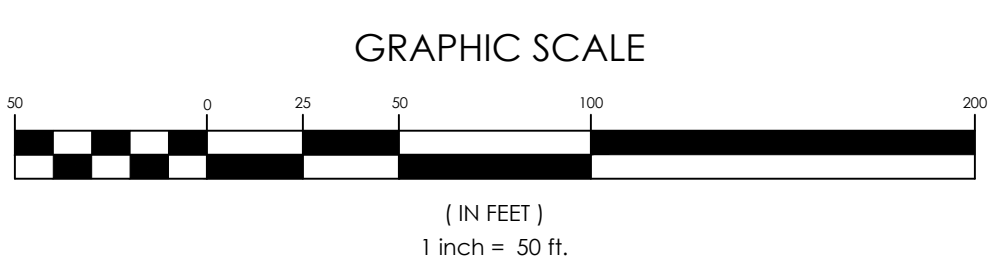
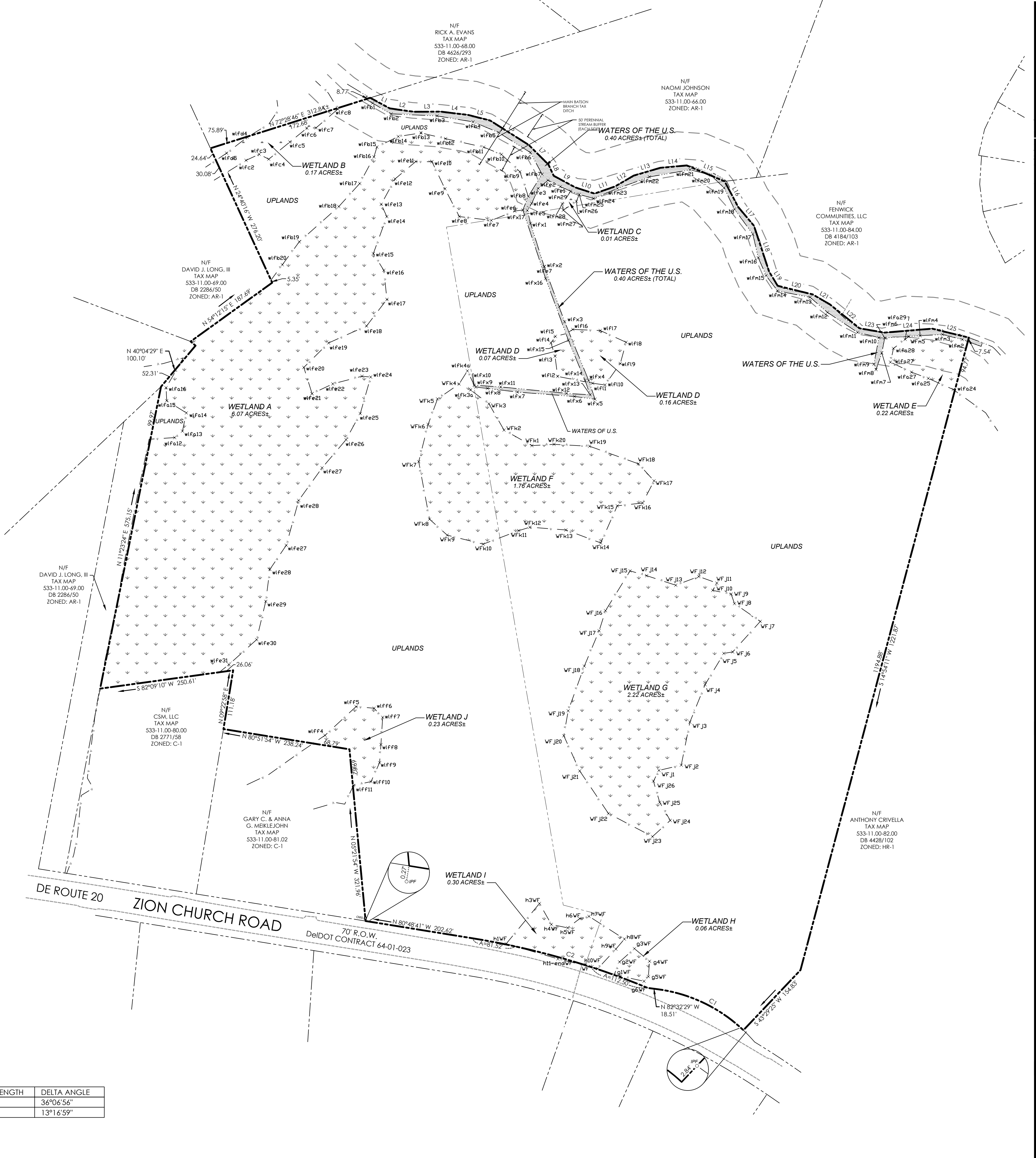
LINE TABLE ALONG BAITSON CREEK

Table with 3 columns: LINE, BEARING, DISTANCE. Lists line segments along Baitson Creek.

CURVE TABLE

Table with 6 columns: CURVE, RADIUS, ARC LENGTH, CHORD BEARING, CHORD LENGTH, DELTA ANGLE. Lists curve data for the site.

DE STATE GRID NORTH (NAD 83)



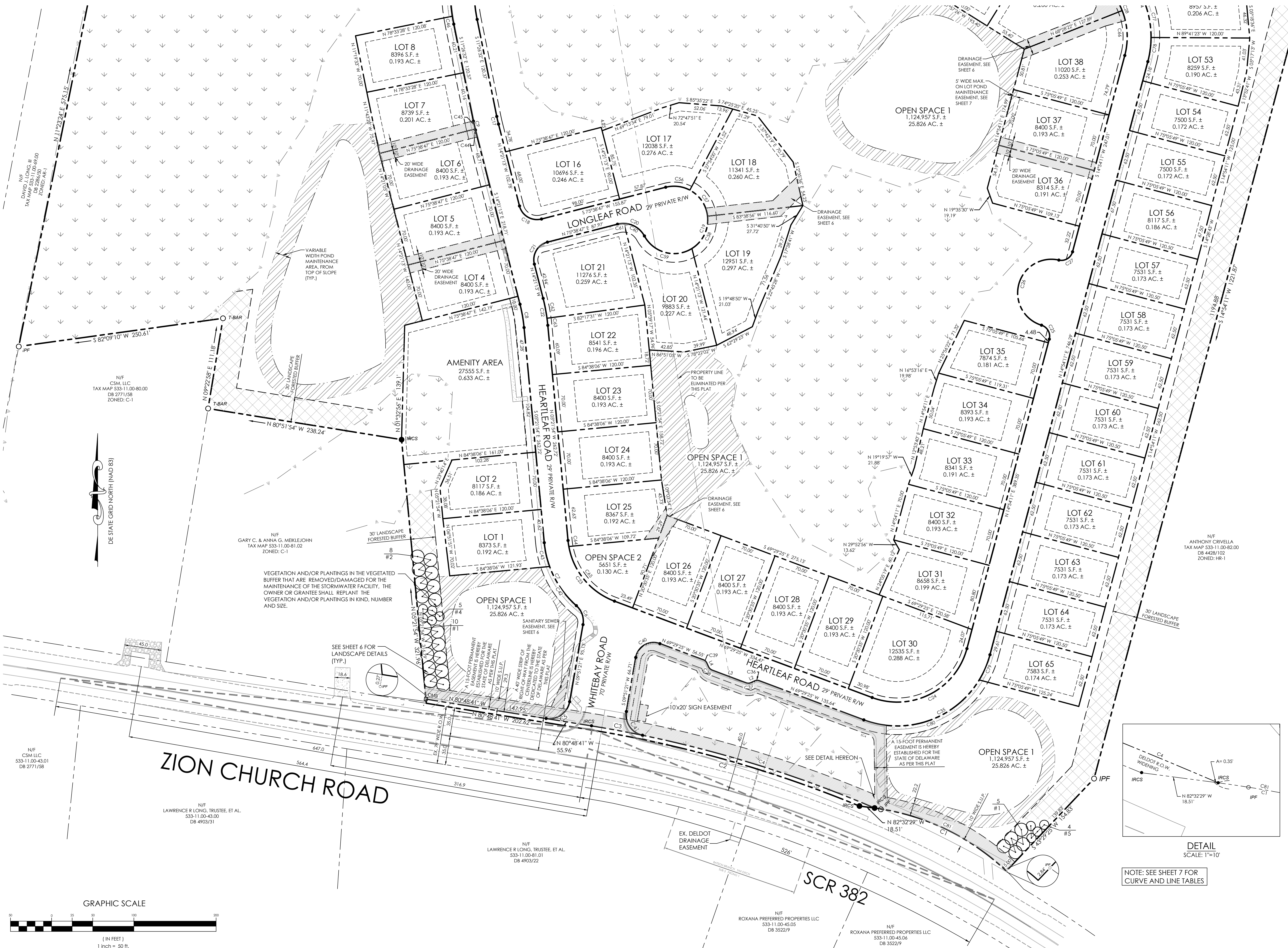
Header information including project name 'SWEETBAY', location 'SUSSEX COUNTY, DELAWARE', and drawing details.

REVISIONS table with columns: NO., DATE, DESCRIPTION. Lists three revisions to the drawing.

Table with columns: NO., DATE, DESCRIPTION. Contains drawing specifications and project details.

Table with columns: NO., DATE, DESCRIPTION. Contains drawing specifications and project details.

Footer information including date, job number, scale, drawing by, designed by, and approved by fields.



N/F
DAVID J. TUNING, III
TAX MAP 533-11-00-89.00
DB 2286/20
ZONED: AR-1

N/F
CSM, LLC
TAX MAP 533-11-00-80.00
DB 2771/58
ZONED: C-1

N/F
GARY C. & ANNA G. MEKLEJOHN
TAX MAP 533-11-00-81.02
ZONED: C-1

VEGETATION AND/OR PLANTINGS IN THE VEGETATED BUFFER THAT ARE REMOVED/DAMAGED FOR THE MAINTENANCE OF THE STORMWATER FACILITY, THE OWNER OR GRANTEE SHALL REPLANT THE VEGETATION AND/OR PLANTINGS IN KIND, NUMBER AND SIZE.

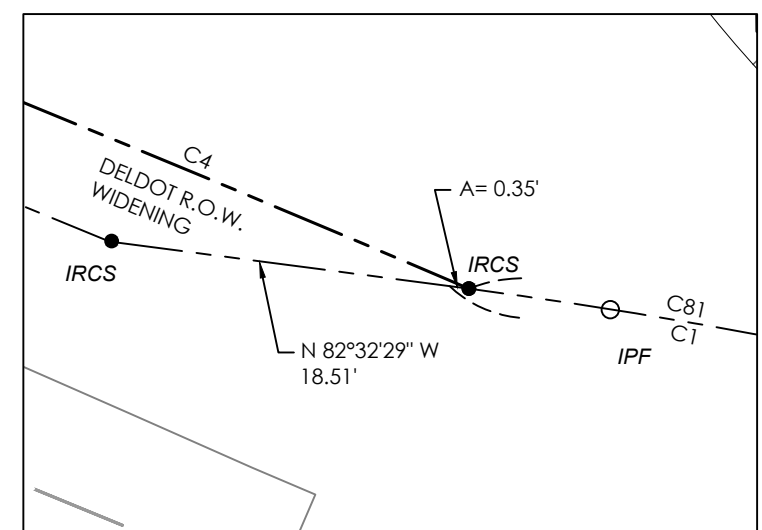
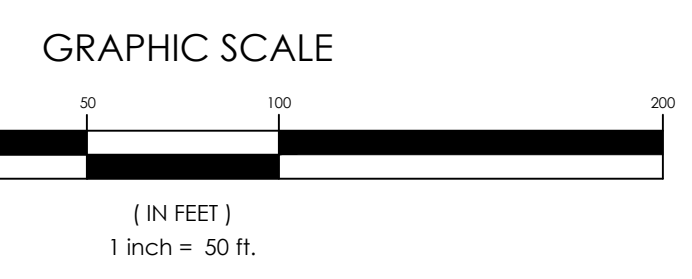
SEE SHEET 6 FOR LANDSCAPE DETAILS (TYP.)

N/F
LAWRENCE R. LONG, TRUSTEE, ET AL.
533-11-00-81.01
DB 4903/22

N/F
ROXANA PREFERRED PROPERTIES LLC
533-11-00-45.05
DB 3522/9

N/F
ROXANA PREFERRED PROPERTIES LLC
533-11-00-45.06
DB 3522/9

N/F
ANTHONY CRIVELLA
TAX MAP 533-11-00-82.00
DB 4428/102
ZONED: HR-1



DETAIL SCALE: 1"=10'

NOTE: SEE SHEET 7 FOR CURVE AND LINE TABLES

Seal
Date

NO.	DATE	DESCRIPTION
1	5-16-19	REVISIONS PER COMMENTS DATED 5-13-19
2	4-9-20	REVISIONS PER COMMENTS DATED 4-8-20
3	1-21-22	REVISED LOT 3, LOT 3 CONVERTED TO AMENITY LOT

RECORD PLAT A
for
SWEETBAY
SUSSEX COUNTY, DELAWARE
BALTIMORE HUNDRED
ZION CHURCH ROAD (SCR 382)
DELDOT PROJECT ID: 533-11-00-81.00

Date:	04/10/19
Job Number:	17042
Scale:	1"=50'
Drawn By:	ML
Designed By:	DP
Approved By:	JP

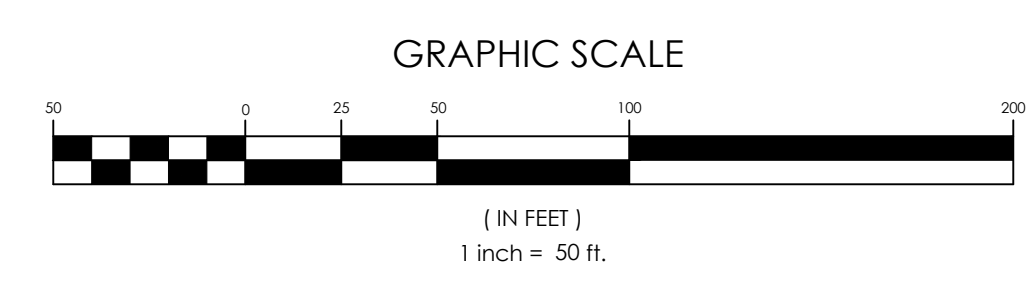
Seal _____
 Date _____

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 for
SWEETBAY
 SUSSEX COUNTY, DELAWARE
 BALTIMORE HUNDRED
 ZION CHURCH ROAD (SCR 382)
 DELDOT PROJECT ID: 533-11.00-81.00

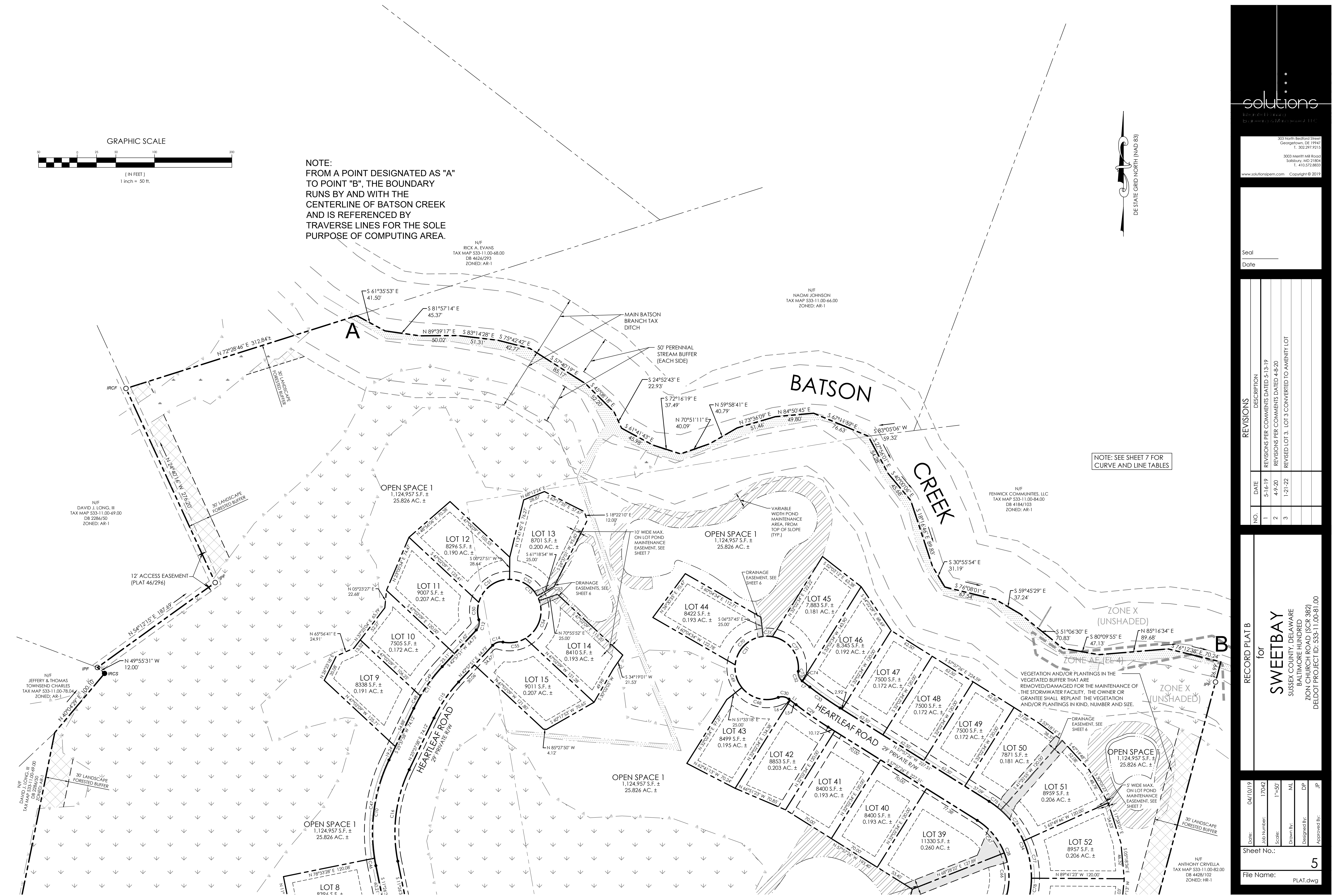
Date:	04/10/19
Job Number:	17042
Scale:	1"=50'
Drawn By:	ML
Designed By:	DP
Approved By:	JP

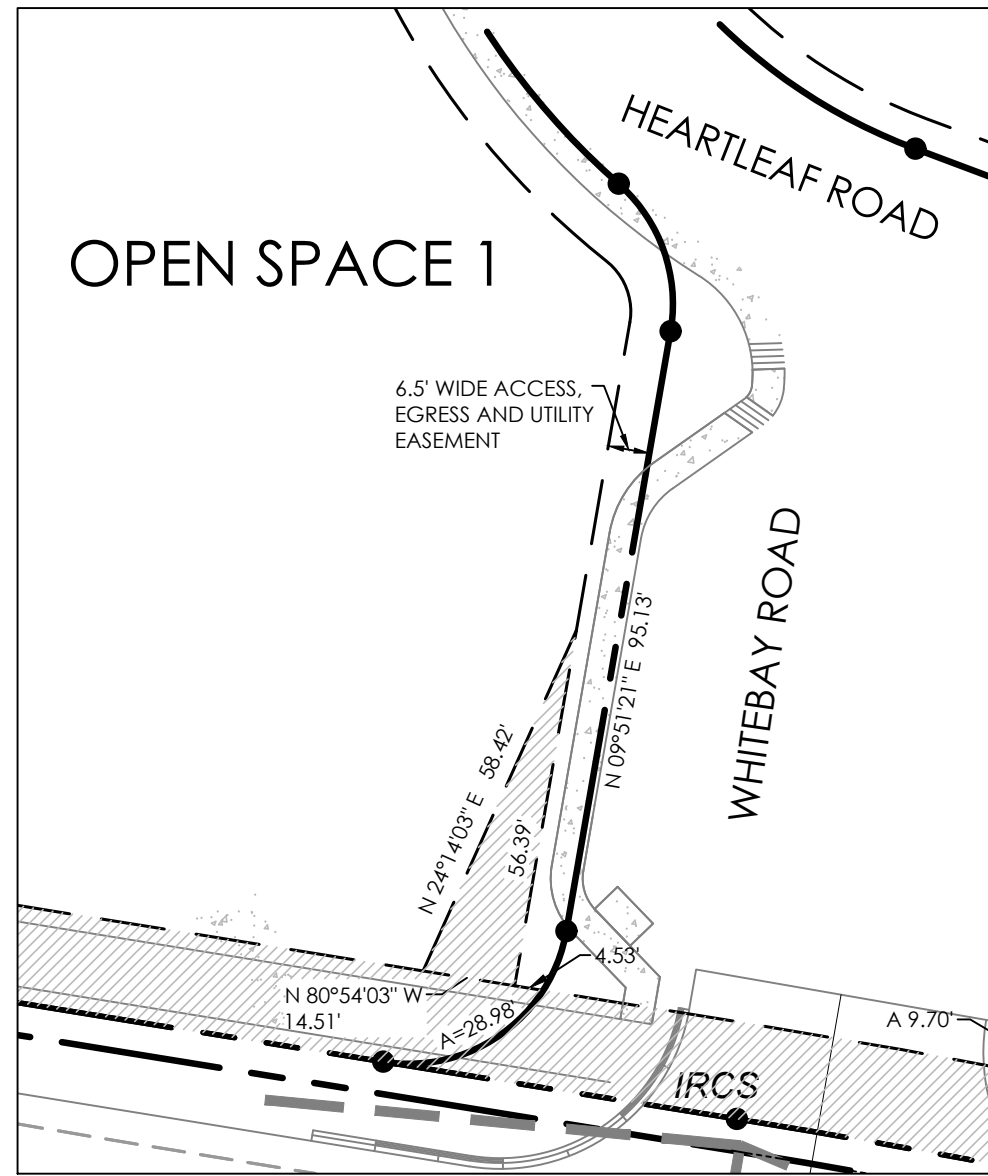
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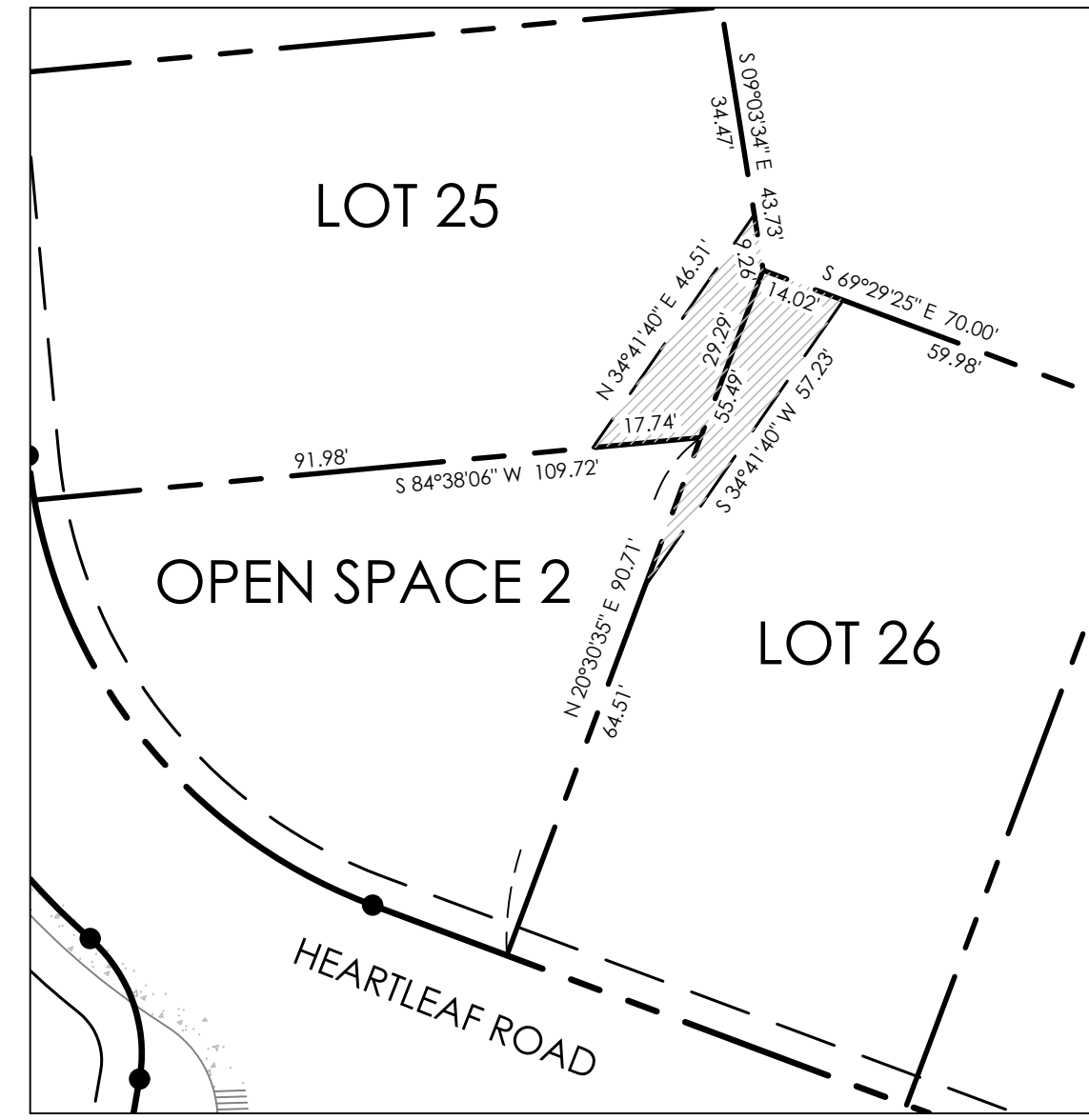
NOTE:
 FROM A POINT DESIGNATED AS "A"
 TO POINT "B", THE BOUNDARY
 RUNS BY AND WITH THE
 CENTERLINE OF BATSON CREEK
 AND IS REFERENCED BY
 TRAVERSE LINES FOR THE SOLE
 PURPOSE OF COMPUTING AREA.

NOTE: SEE SHEET 7 FOR
 CURVE AND LINE TABLES

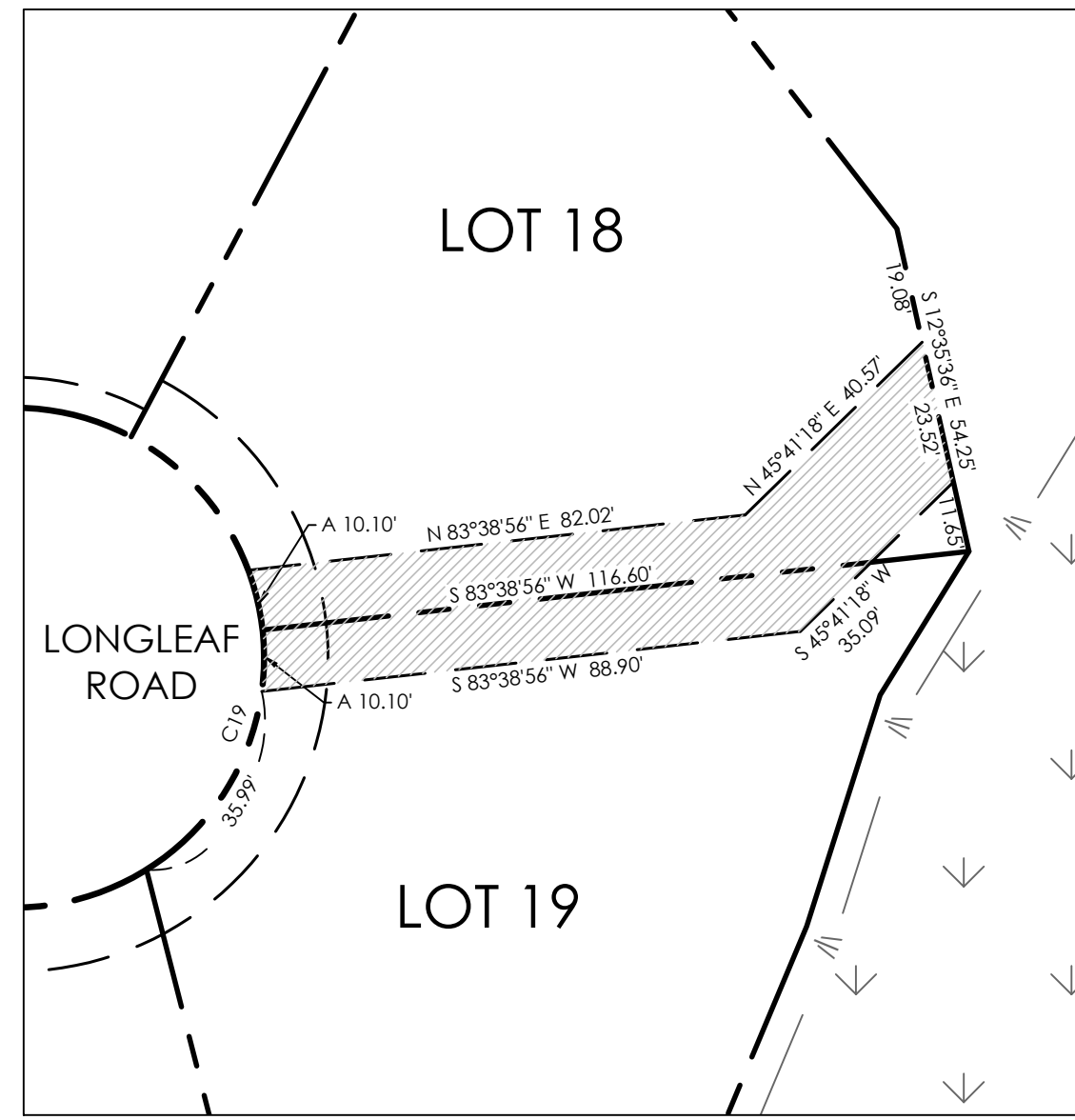




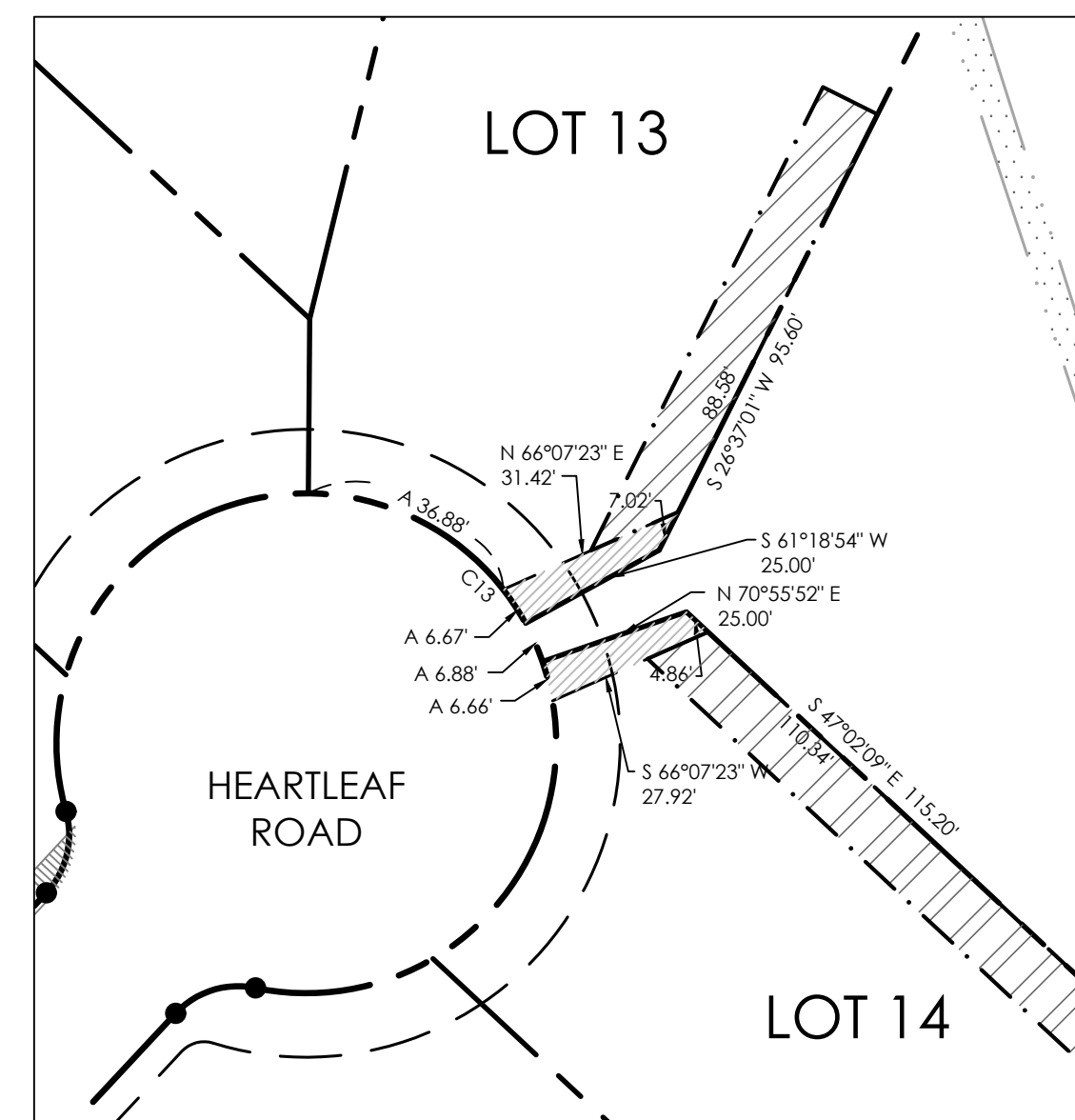
SANITARY SEWER EASEMENT DETAIL
SCALE: 1"=30'



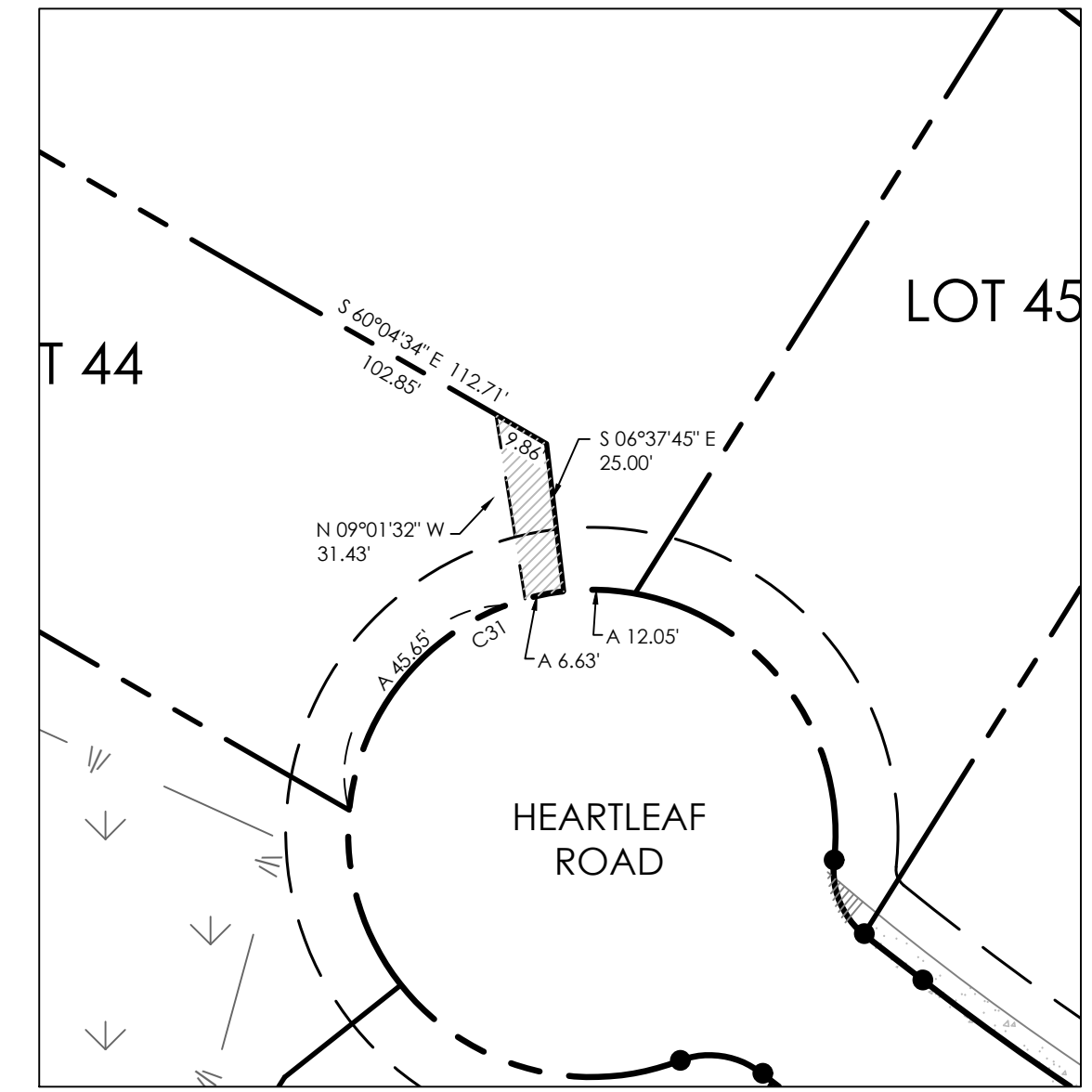
DRAINAGE EASEMENT DETAIL
SCALE: 1"=30'



DRAINAGE EASEMENT DETAIL
SCALE: 1"=30'



DRAINAGE EASEMENT DETAIL
SCALE: 1"=30'

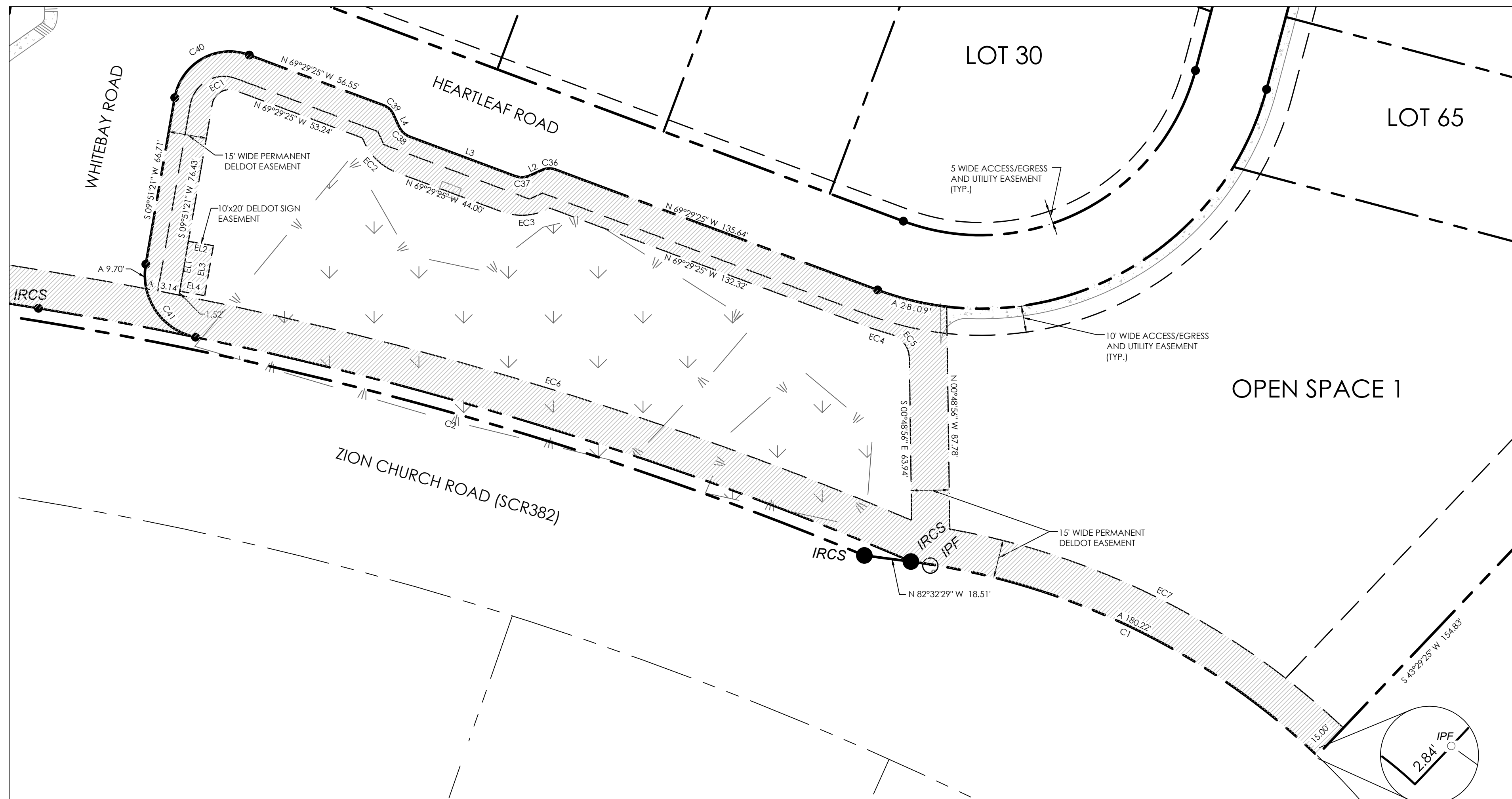


DRAINAGE EASEMENT DETAIL
SCALE: 1"=30'

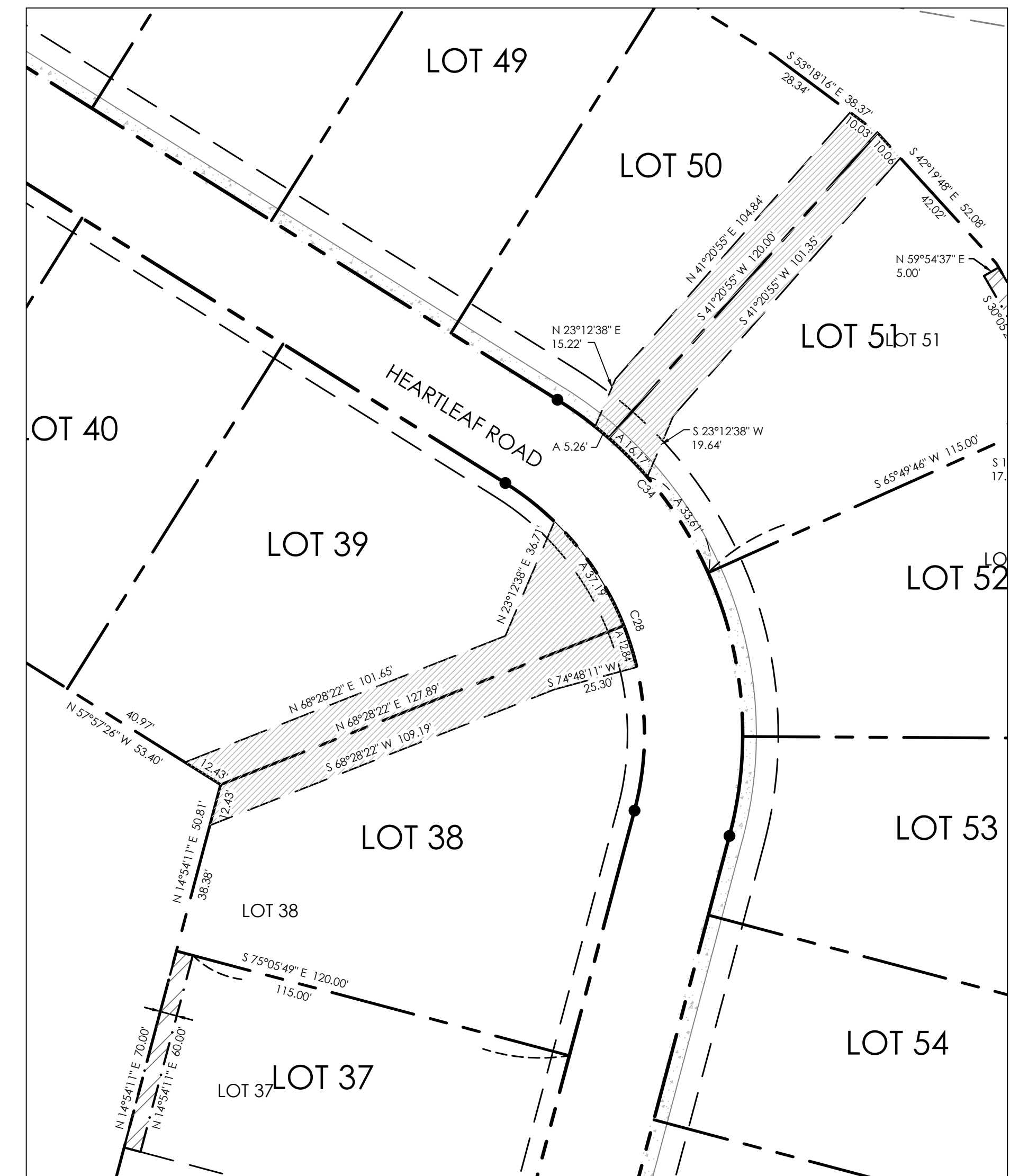


CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
EC1	7.00'	12.30'	100°39'15"	S 60°10'56" W	10.78'
EC2	23.84'	19.83'	47°40'37"	S 44°57'23" E	19.27'
EC3	23.35'	19.86'	48°43'21"	S 85°58'33" W	19.27'
EC4	131.50'	11.04'	4°48'35"	N 71°53'42" W	11.04'
EC5	10.00'	12.83'	73°29'04"	S 37°53'28" E	11.96'
EC6	1487.40'	302.86'	11°39'59"	N 72°54'03" W	302.33'
EC7	301.48'	176.43'	33°31'49"	S 63°10'56" E	173.92'

LINE	BEARING	DISTANCE
EL1	N 09°51'21" E	20.00'
EL2	N 80°08'39" W	10.00'
EL3	N 09°51'21" E	20.00'
EL4	S 80°08'39" E	10.00'

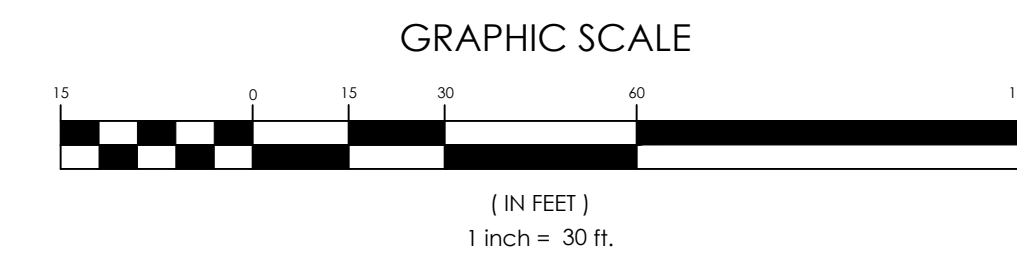


DELDOT EASEMENT DETAIL
SCALE: 1"=30'



DRAINAGE EASEMENT DETAIL
SCALE: 1"=30'

SEE SHEET 3 FOR C1 CURVE TABLE AND SHEET 7 FOR RIGHT OF WAY AND LOT CURVE TABLE.



Seal
Date

NO.	DATE	DESCRIPTION
1	5-16-19	REVISIONS PER COMMENTS DATED 5-13-19
2	4-9-20	REVISIONS PER COMMENTS DATED 4-8-20
3	1-21-22	REVISED LOT 3, LOT 13 CONVERTED TO AMENITY LOT

EASEMENT DETAILS
for
SWEETBAY
SUSSEX COUNTY, DELAWARE
BALTIMORE HUNDRED
ZION CHURCH ROAD (SCR 382)
DELDOT PROJECT ID: 633-11.00-81.00

Date:	04/10/19	Job Number:	17042	Scale:	AS SHOWN	Drawn By:	ML	Designed By:	DP	Approved By:	JP
-------	----------	-------------	-------	--------	----------	-----------	----	--------------	----	--------------	----

July 12, 2022

Michael Lowrey
Sussex County Planning & Zoning
2 The Circle
Georgetown, DE 19947

**RE: Sweetbay Preliminary Amenity Site Plan & Record Plan
Revisions**

Dear Mr. Lowrey:

Solutions IPEM has received Sussex County's comments from July 8th, 2022 and has addressed all comments. Please find enclosed with this submittal one set of paper plans as well as PDFs of the revised plans.

1. This comment is not applicable to this application. Condition "L" has been modified.
2. The wetlands for the entire Sweetbay development have been listed on both the plat and Site Plan. The agency having jurisdiction has been added to both plans as well.
3. Wetland certification signature blocks have been provided on both the plat and Site Plan.
4. Any deed for the amenities lot shall include the necessary wetland disclosure statement required.
5. The site plan includes Coastal Area in the zoning designation.
6. On the plat, a note has been added regarding the TID.
7. The net development area for the Sweetbay development has been listed on both the Site Plan and the plat.
8. A break down of the areas has been included on both the Site Plan and the plat.
9. The groundwater recharge area type has been revised on the Site Plan.
10. The maximum building height has been added to the data column on the Site Plan.
11. Comment noted.
12. A description of the two circular areas on the pool deck have been provided.
13. Comment noted. Heartleaf Road has already been constructed per the approved Sussex County Engineering plans. There are not any pedestrian ramps in the area referenced, and therefore a crosswalk is not advised.
14. A vegetated screen has been provided on the Site Plan.
15. A landscaping schedule has been provided for the screening on the Site Plan.
16. The site plan contains the RLA's signature. The landscaping for the amenity area will not be shown on the plat, as the amenity is not shown on the plat.
17. Lighting locations have been provided on the site plan. A lighting detail has been provided on the newly added, Sheet 7, "Site Details".
18. A note has been added in the Site Data referencing the pool and fence permitting.

19. No signage is proposed for this Site Plan.
20. A note has been added referencing sign permitting.
21. Comment noted. Bike racks are not to be included on the Site Plan.
22. Comment noted.

Sincerely,

Solutions, IPEM

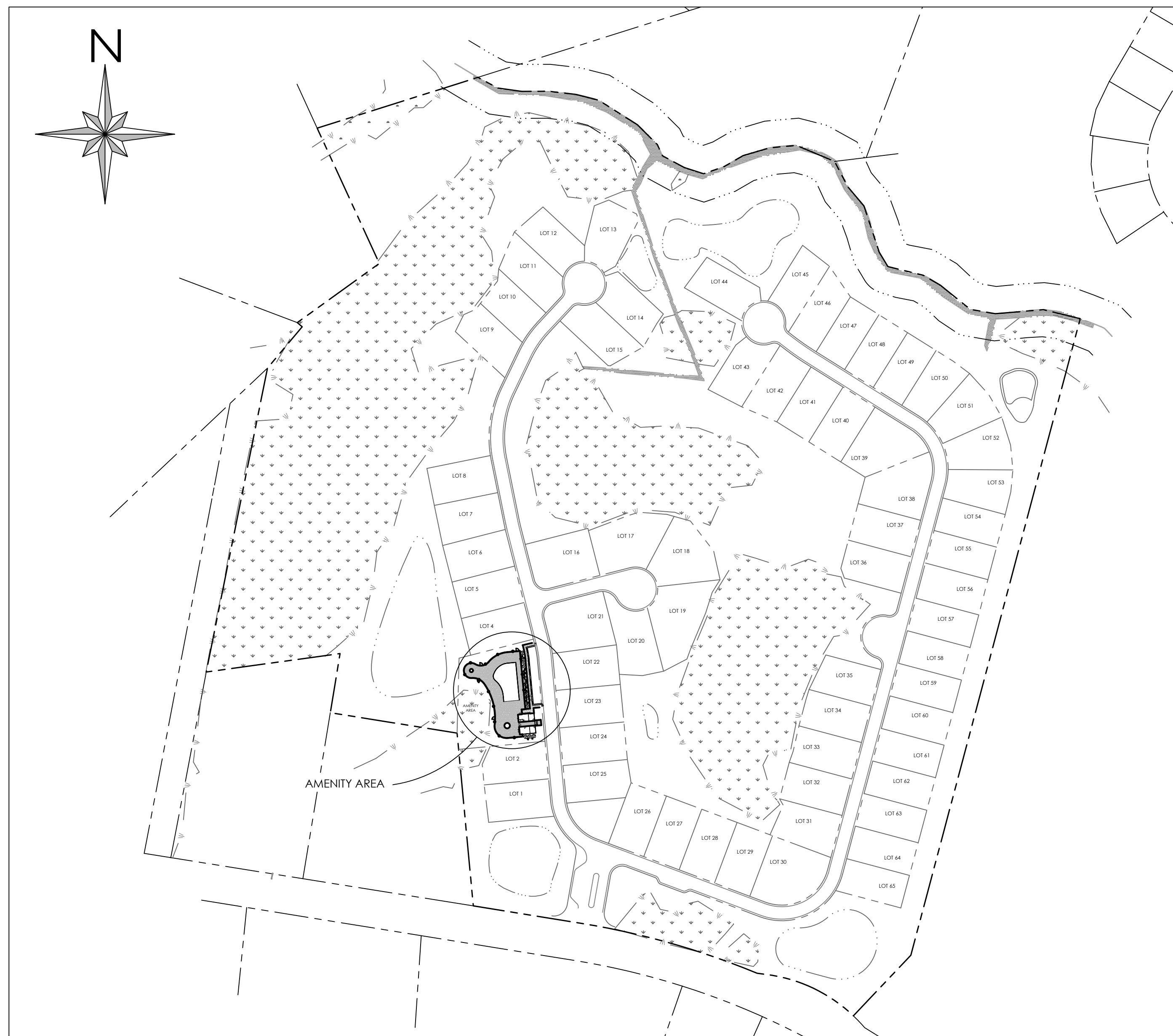
Holly Bartkovich, EIT

SITE PLAN FOR AMENITY AREA SWEETBAY

COUNTY PROJECT REFERENCE NO. 2018-26
BALTIMORE HUNDRED - SUSSEX COUNTY, DELAWARE

LEGEND

PROPERTY LINE	---	---
EASEMENT LINE	- - - -	- - - -
SETBACK LINE	---	---
CONCRETE MONUMENT FOUND	CMF □	N/A
IRON PIPE FOUND	IPF ●	N/A
BENCH MARK	▲ ELEV.	N/A
SPOT ELEV. LABEL	x 19.25	19.25
MAJOR CONTOUR	- - - -10	10
MINOR CONTOUR	- - - -7	7
ROAD CENTERLINE	---	---
EDGE OF CONCRETE	---	---
EDGE OF PAVEMENT	---	---
EDGE OF GRAVEL	---	N/A
PAINT STRIPE	---	---
CURB	---	---
PAVEMENT HATCH	▨	▨
CONCRETE HATCH	▨	▨
BUILDING OUTLINE	---	---
SIDEWALK	---	---
SIDEWALK HATCH	▨	▨
FENCE LINE	---	N/A
SIGN	○	○
EDGE OF WETLAND	---	N/A
FLOODPLAIN	---	N/A
STORM MANHOLE	⊙	⊙
CURB INLET	▨	▨
YARD INLET	▨	▨
STORM PIPE	---	---
RIP RAP	▨	▨
SANITARY MANHOLE	N/A	⊙
SANITARY CLEANOUT	N/A	○
SANITARY PIPE	N/A	SS
WATER VALVE	N/A	⊗
WATER PIPE	N/A	W
FIRE HYDRANT	N/A	⊗
OVERHEAD ELECTRIC	---	N/A
UNDERGROUND ELECTRIC	---	N/A
UTILITY POLE	○	N/A
LIGHT POLE	○	★
DECIDUOUS TREE	○	N/A
CONIFEROUS TREE	●	N/A
TREE LINE	---	---



SITE MAP
SCALE: 1" = 150'

SHEET INDEX

- COVER SHEET
- SITE PLAN
- GRADING PLAN
- UTILITY PLAN
- FIRE MARSHAL PLAN
- EROSION AND SEDIMENT CONTROL PLAN
- SITE DETAILS

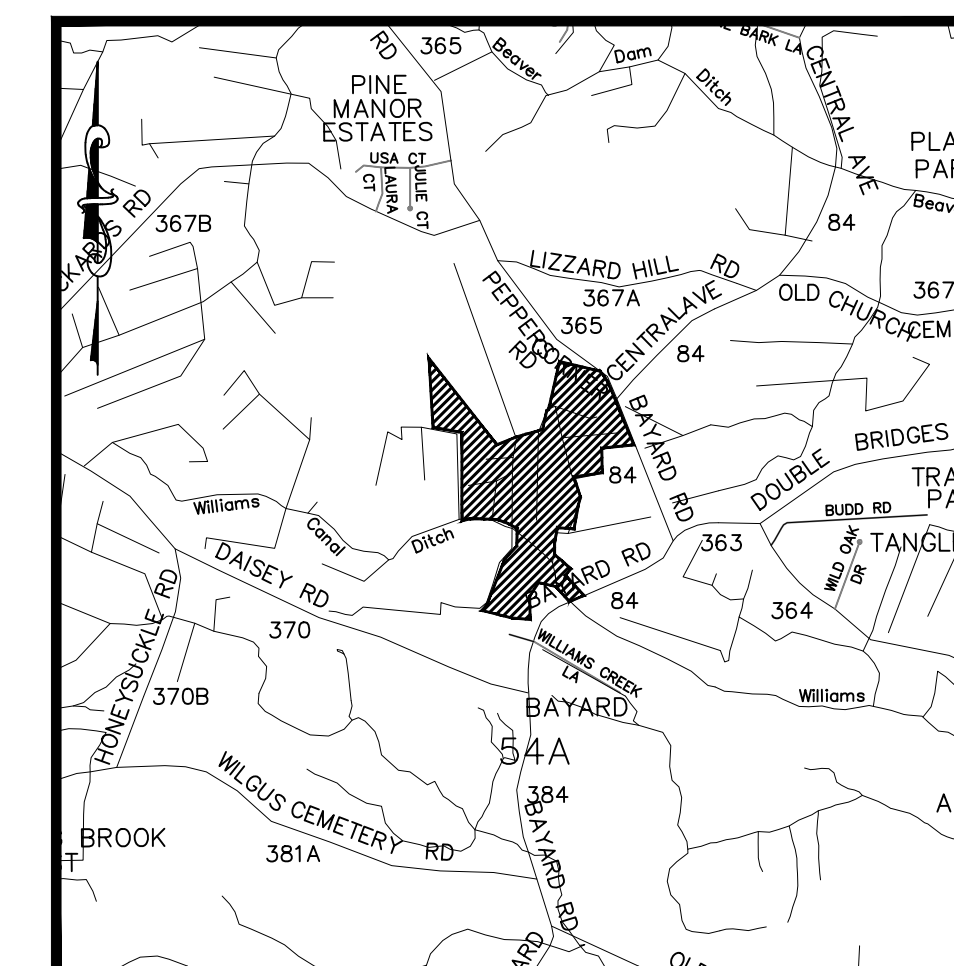
AREAS:

GROSS AREA = 41.55± AC.
NET AREA = 38.86± AC.
OPEN SPACE AREA = 25.54± AC.
OPEN SPACE 1 = 25.41± AC.
OPEN SPACE 2 = 0.13± AC.
% IMPERVIOUS COVER AREA = 6.72%
% OPEN SPACE AREA = 61.5%
R.O.W. AREA = 2.62± AC.
DELDOT R.O.W. AREA = 0.0635± AC.

WOODLANDS:
EXISTING = 39.91 AC± (96.2%)
TO BE REMOVED = 20.39 (52.5%)
TO REMAIN = 19.52 AC± (49.7%)

WETLANDS:
NON-TIDAL = 11.28 ± AC.
WATERS OF THE U.S. = 0.40± AC.
TOTAL = 11.68± AC.

ALL WETLANDS FOR THIS SITE ARE REGULATED BY THE U.S. ARMY CORPS OF ENGINEERS.



VICINITY MAP
SCALE: 1" = 2,000'

SITE DATA:

OWNER/ DEVELOPER: NATELLI COMMUNITIES
506 MAIN STREET, 3RD FLOOR
GAITHERSBURG, MD 20878
CONTACT: TOM NATELLI

ENGINEER: SOLUTIONS IPEM
303 NORTH BEDFORD STREET
GEORGETOWN, DE 19647
PHONE: 302-297-9215
CONTACT: JASON PALKEWICZ

- TAX MAP: 533-11.00-750.00
- EXISTING ZONING: AR-1 (COASTAL AREA)
- NET DEVELOPMENT AREA = 38.86± AC.
- THE PARCEL IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA
- THE PARCEL LIES WITHIN AN AREA OF "FAIR" GROUNDWATER RECHARGE POTENTIAL
- SUSSEX COUNTY PROJECT REFERENCE NO.: 2018-26
- PROPOSED SETBACKS (LOT 3 - AMENITY LOT):
FRONT: 10'
SIDE: 10'
REAR: 5'
- POOL EQUIPMENT/POOL STORAGE/BATHROOM BUILDING HEIGHT = 19 FT
- MAXIMUM BUILDING HEIGHT SHALL BE 42 FT
- EXISTING ZONING DISTRICT: AR-1 (AGRICULTURAL RESIDENTIAL)
- FLOOD ZONE:
THE PROPERTY IS LOCATED WITHIN FLOOD ZONE X (UNSHADED)- AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AND FLOOD ZONE AE (EL-4) - SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, PER FIRM MAP NUMBER 1005C0635K, MAP REVISED MARCH 16, 2015.
- WETLAND ACREAGE
NON-TIDAL = 11.28 ± AC. (US ARMY CORPS OF ENGINEERS)
WATERS OF THE U.S. = 0.40± AC. (US ARMY CORPS OF ENGINEERS)
- WATER SUPPLY:
ARTESIAN WATER COMPANY, INC.
- SANITARY SEWER:
SUSSEX COUNTY UNIFIED SANITARY SEWER DISTRICT
- PROJECT DATUM:
HORIZONTAL: DELAWARE STATE PLANE NAD 83
VERTICAL: NAVD 88
- PARKING
REQUIRED: N/A
PROVIDED: 12 SPACES (2 H.C.) → 1 SPACE PER 72 S.F.
- THE CONSTRUCTION OF THE AMENITY AREA SHALL NOT BE PHASED.
- POOL AND FENCE ARE SUBJECT TO SEPARATE PERMITTING AND APPROVAL.
- PROPOSED SIGNAGE SHALL REQUIRE A SEPARATE PERMIT FROM THE COUNTY.

solutions
INCORPORATED
1100

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Georgetown, DE 19647
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3033 Manitt Mill Road
Salisbury, MD 21804
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NO.	DATE	DESCRIPTION
1	7-12-22	REVISIONS PER P&Z COMMENTS DATED 7-8-22

COVER SHEET
for
SWEETBAY
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

WETLANDS CERTIFICATION

I, EDWARD M. LAUNAY, PWS, STATE THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED UPON THIS PLAN HAVE BEEN DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, ATLANTIC GULF COAST REGIONAL SUPPLEMENT, REGULATIONS AND SUPPLEMENTAL GUIDANCE (83 CFR 328.5 (a)(18), Waters of the U.S. Definition/CECW-OR, 10-7-1991), Questions and Answers on the 1987 COE Manual/CECW-OR, 9-26-1990, RGL 90-7/CECW-OR, 3-6-1992. Clarification and Interpretation of the 1987 Manual, THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES.

EDWARD M. LAUNAY
PROFESSIONAL WETLAND SCIENTIST NO. 875
SOCIETY OF WETLAND SCIENTISTS
(CORPS OF ENGINEERS)
CERTIFIED WETLAND DELINEATOR WDCP93MD05100368)

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED UNDER MY SUPERVISION.

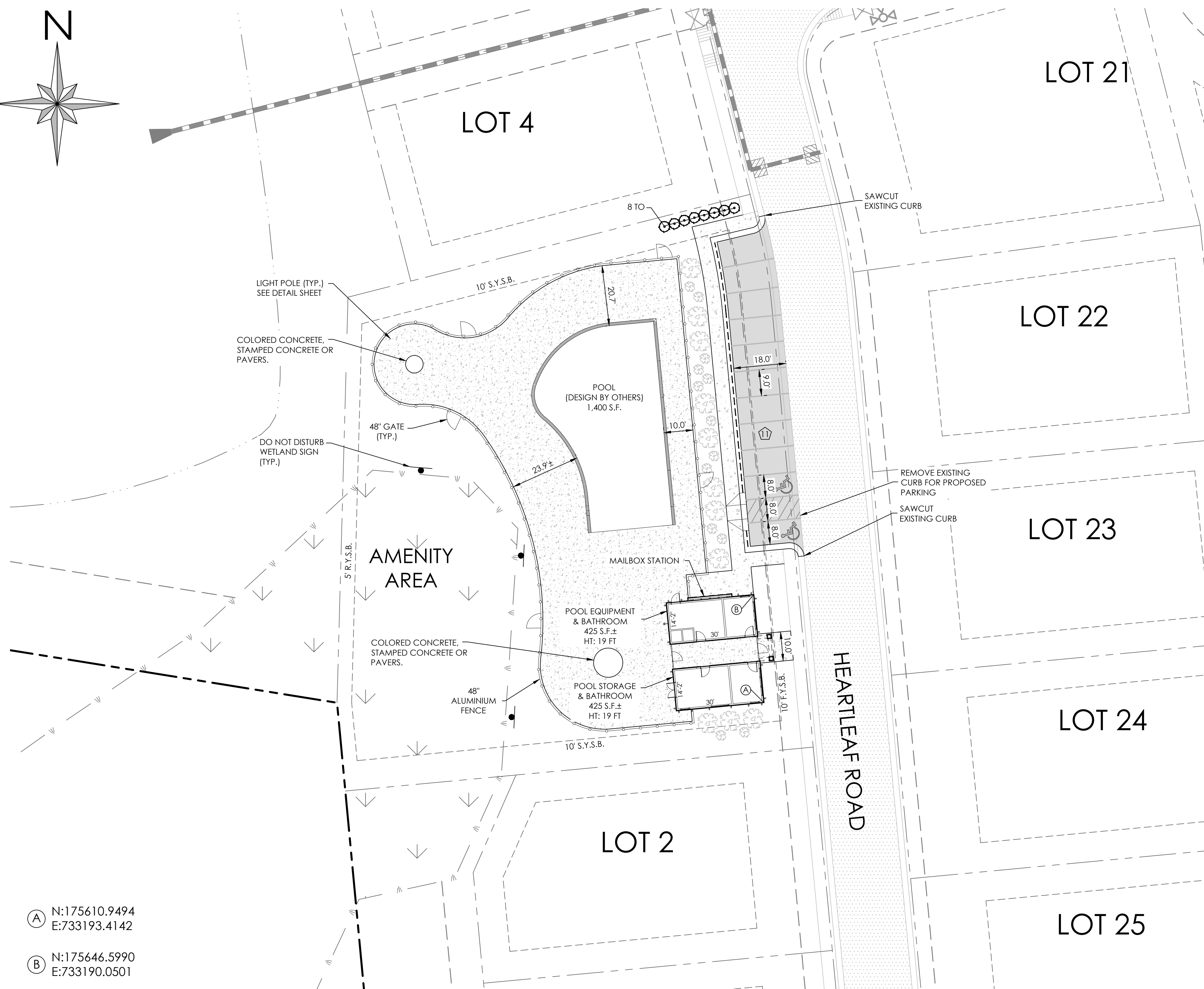
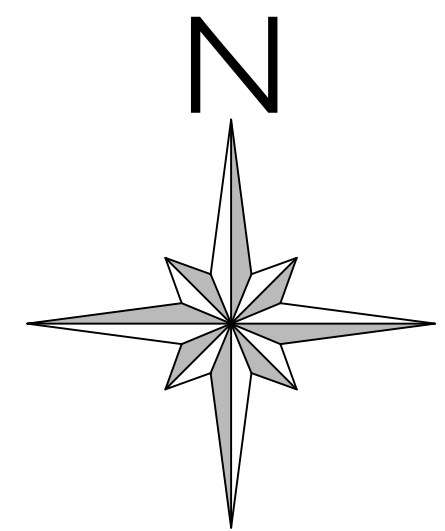
JASON PALKEWICZ, PE DATE

Date:	1-11-22
Job Number:	G17042
Scale:	AS NOTED
Drawn By:	ML
Designed By:	JIP
Approved By:	JIP

Sheet No.:

1

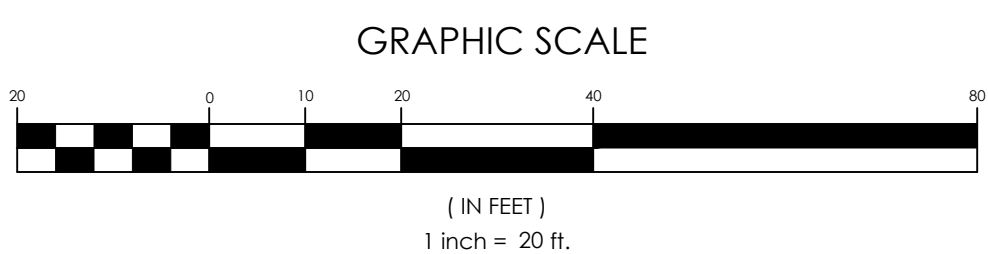
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E:733193.4142

Ⓑ N:175646.5990
E:733190.0501

LIGHT POLE LOCATIONS SHALL BE PER THE DEVELOPER.



NOTE:
POOL DECKS DRAINS DESIGN BY OTHERS.

LANDSCAPE PLANTING SCHEDULE				
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
TO	8	THUJA OCCIDENTALIS 'SMARAGO'	EMERALD GREEN ARBORVITAE	6' MIN. HEIGHT, 8 & 8 OR CONT.



LANDSCAPE ARCHITECT'S CERTIFICATION
I HEREBY CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED UNDER MY SUPERVISION.
Lee Ann Schnappinger 7-12-22 DATE
LEE ANN SCHNAPPINGER BRIDGMAN, R.L.A.
BRIDGMAN LANDSCAPE ARCHITECTURE, LLC

----- REVERSE CURB & GUTTER

solutions
landscape architecture
303 North Bedford Street
Georgetown, DE 19842
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3033 Manitt Mill Road
Salisbury, MD 21804
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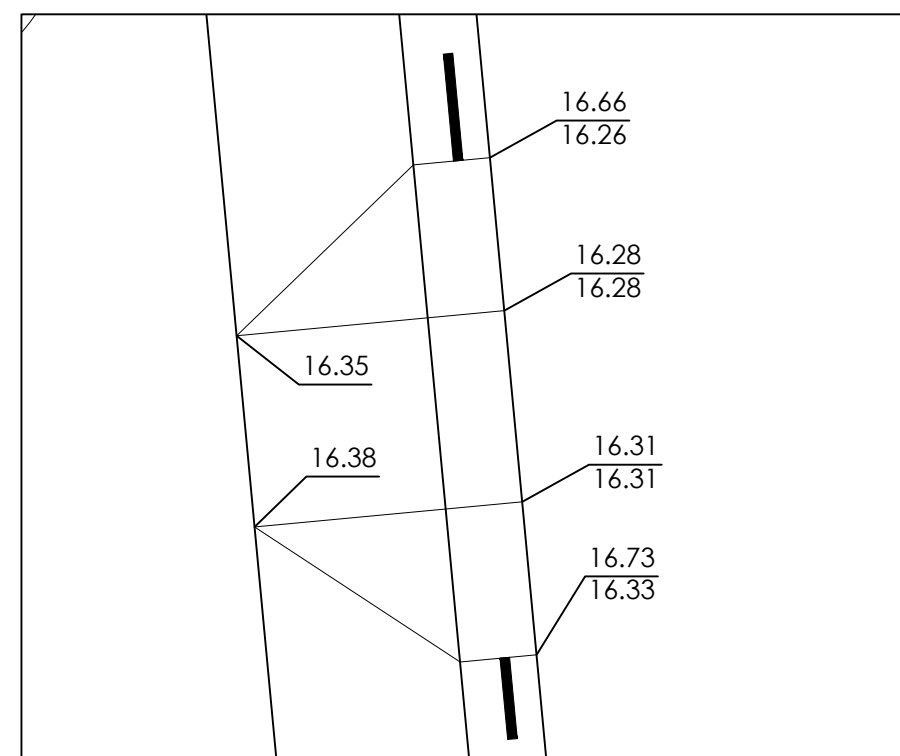
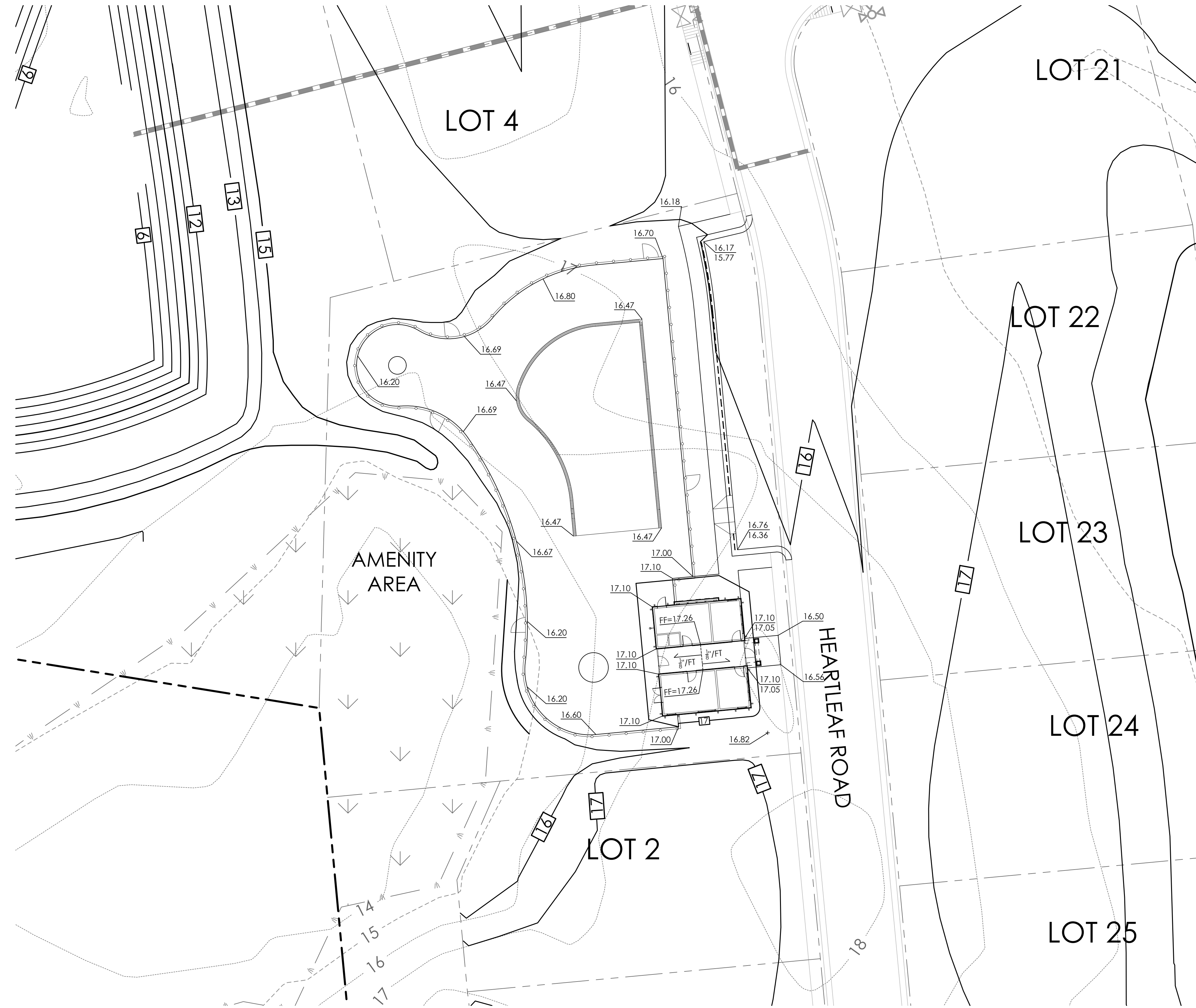
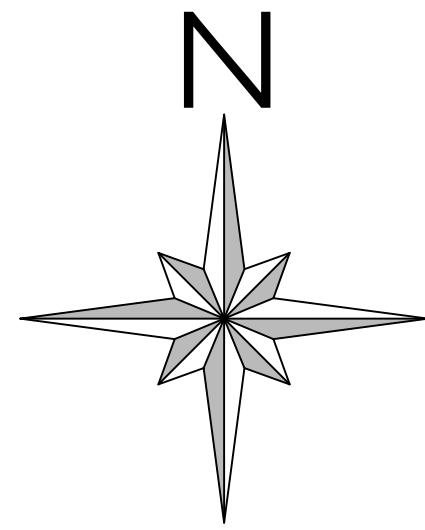


REVISIONS	
NO.	DESCRIPTION
1	REVISIONS PER P&Z COMMENTS DATED 7-8-22

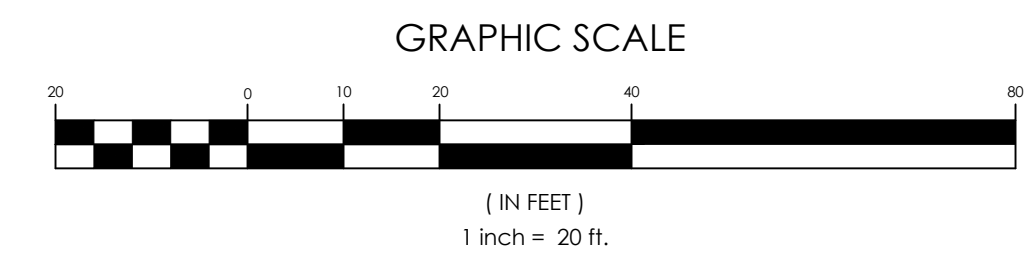
SITE PLAN
for
SWEETBAY
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

Date:	1-11-22
Job Number:	G17042
Scale:	1"=20'
Drawn By:	HHB
Designed By:	HHB
Approved By:	JP

Sheet No.: **2**
File Name: site

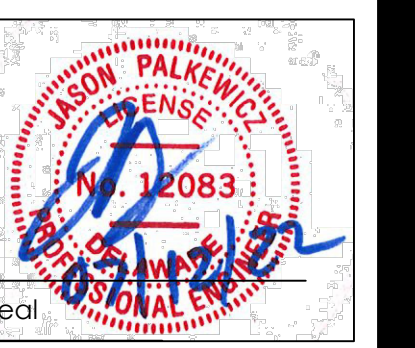


DETAIL RAMP GRADES
SCALE: 1"=5'



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LANDSCAPE ARCHITECTURE

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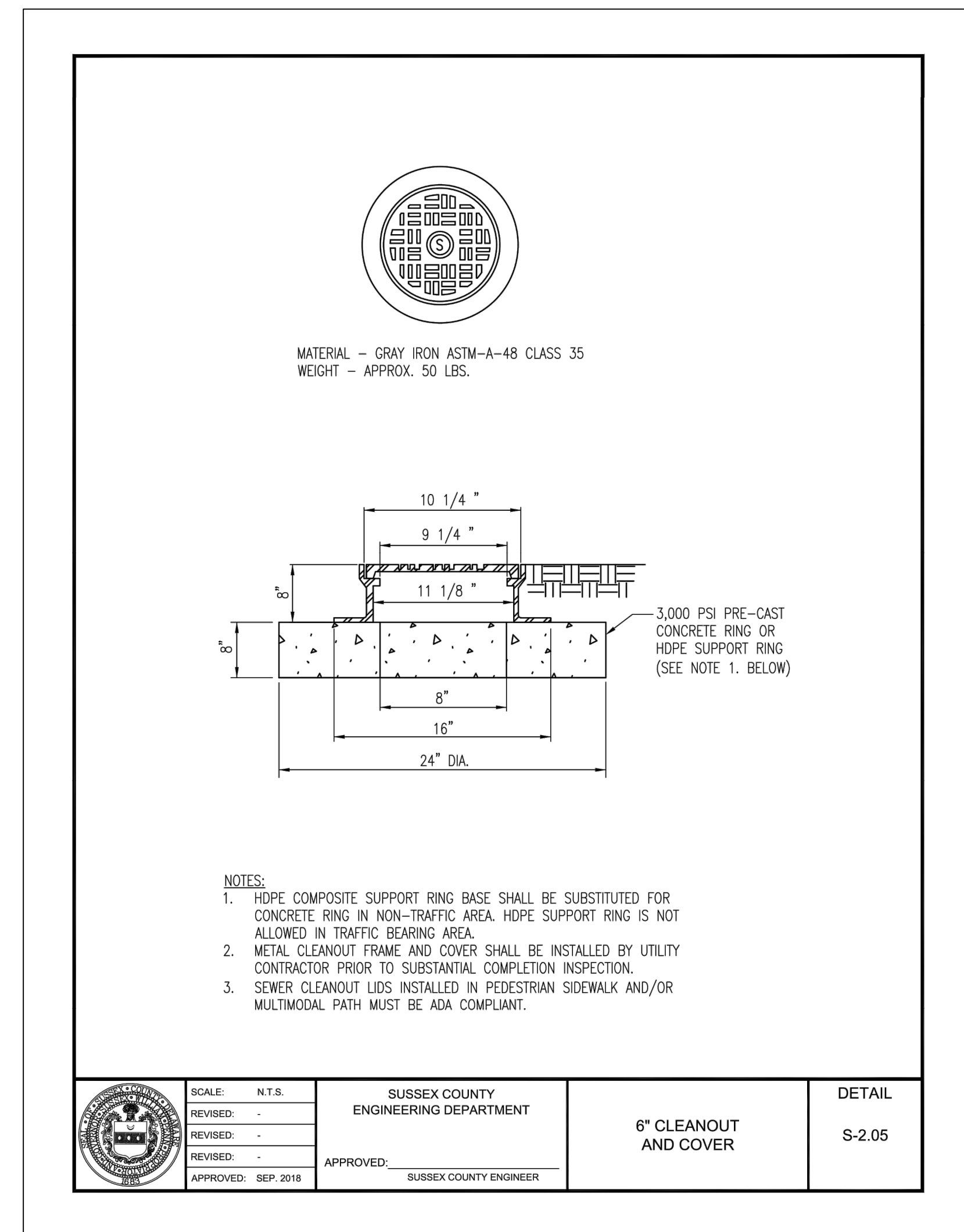
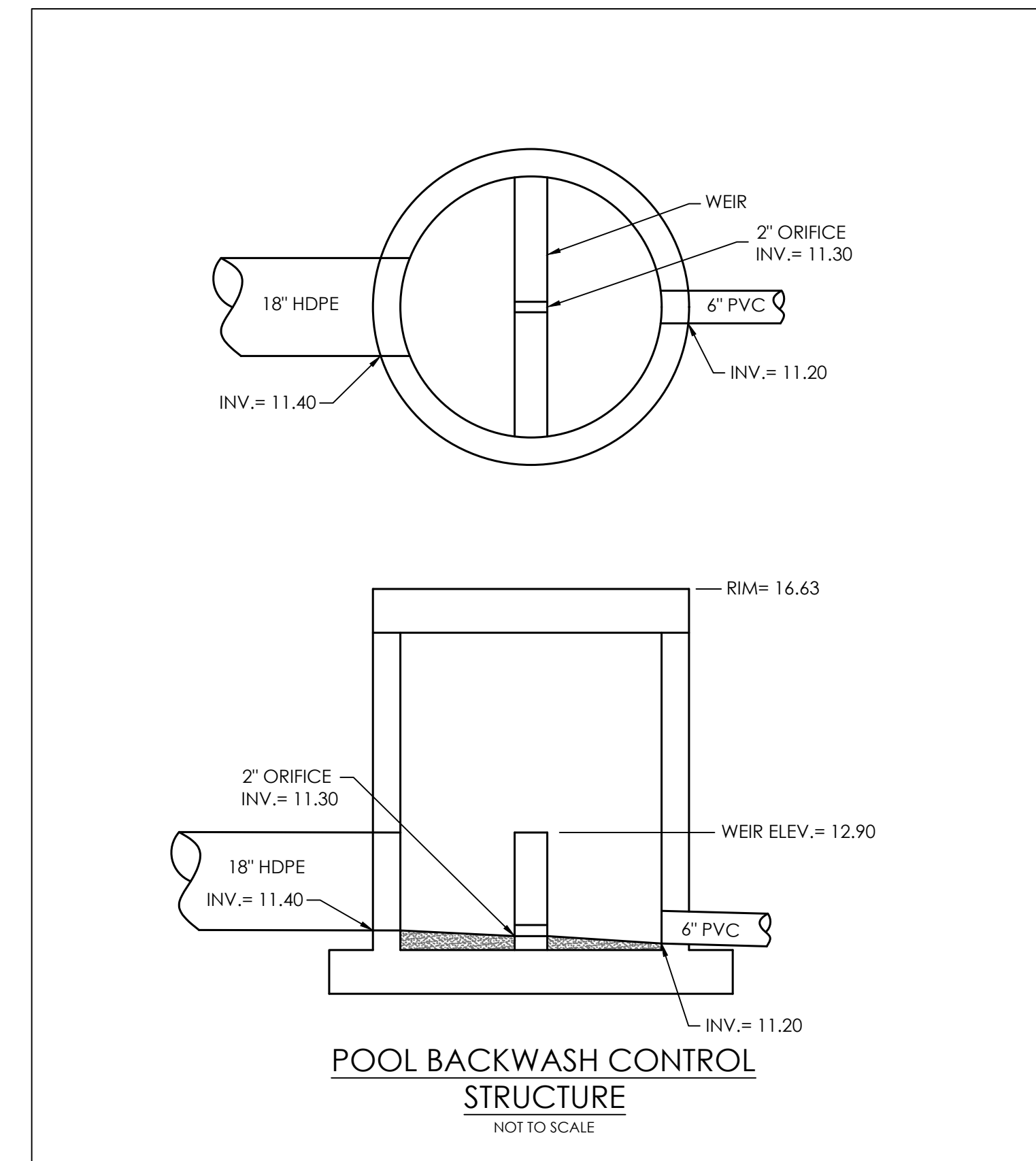
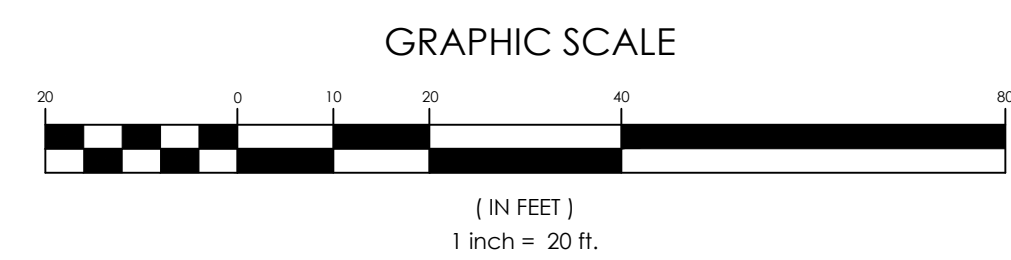
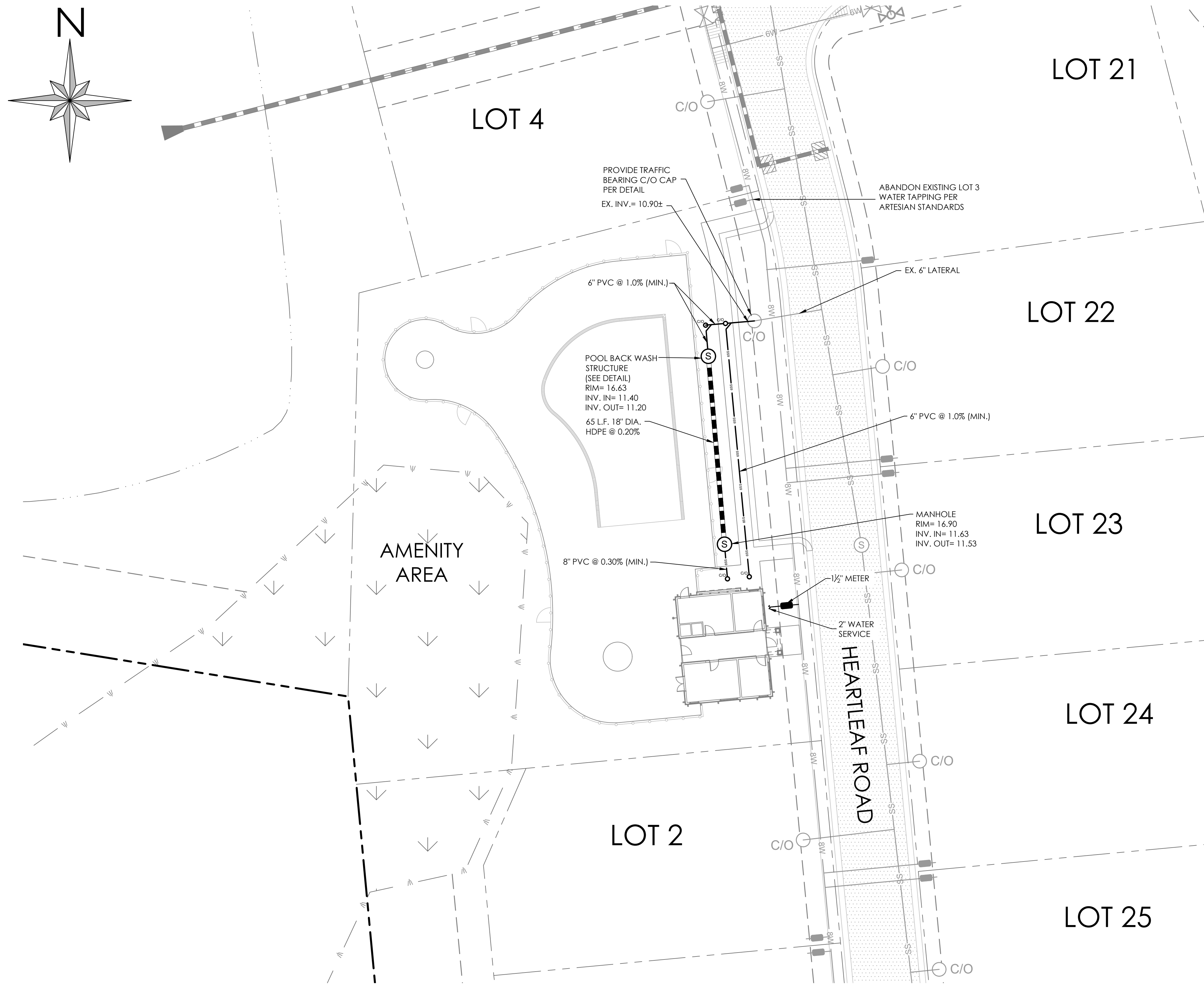
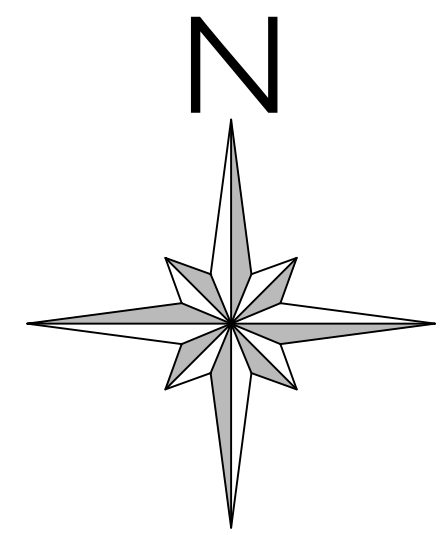
Seal
Date

NO.	DATE	DESCRIPTION
1	7-12-22	REVISIONS PER P&Z COMMENTS DATED 7-8-22

GRADING PLAN
for
SWEETBAY
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

Date:	1-11-22
Job Number:	G17042
Scale:	1"=20'
Drawn By:	HHB
Designed By:	HHB
Approved By:	JIP

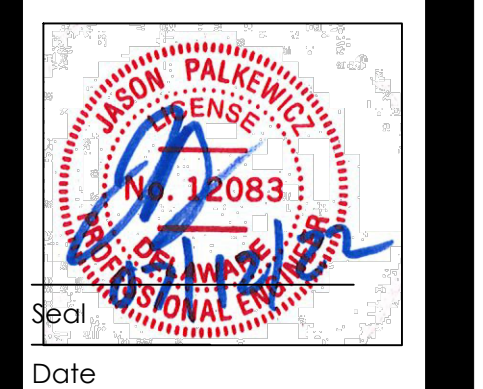
Sheet No.: **3**
File Name: site



	SCALE: N.T.S.	SUSSEX COUNTY	DETAIL
	REVISED: -	ENGINEERING DEPARTMENT	6\"/>
	REVISED: -	APPROVED: _____	S-2.05
	APPROVED: SEP 2018	SUSSEX COUNTY ENGINEER	

solutions
 CONSULTING ENGINEERS

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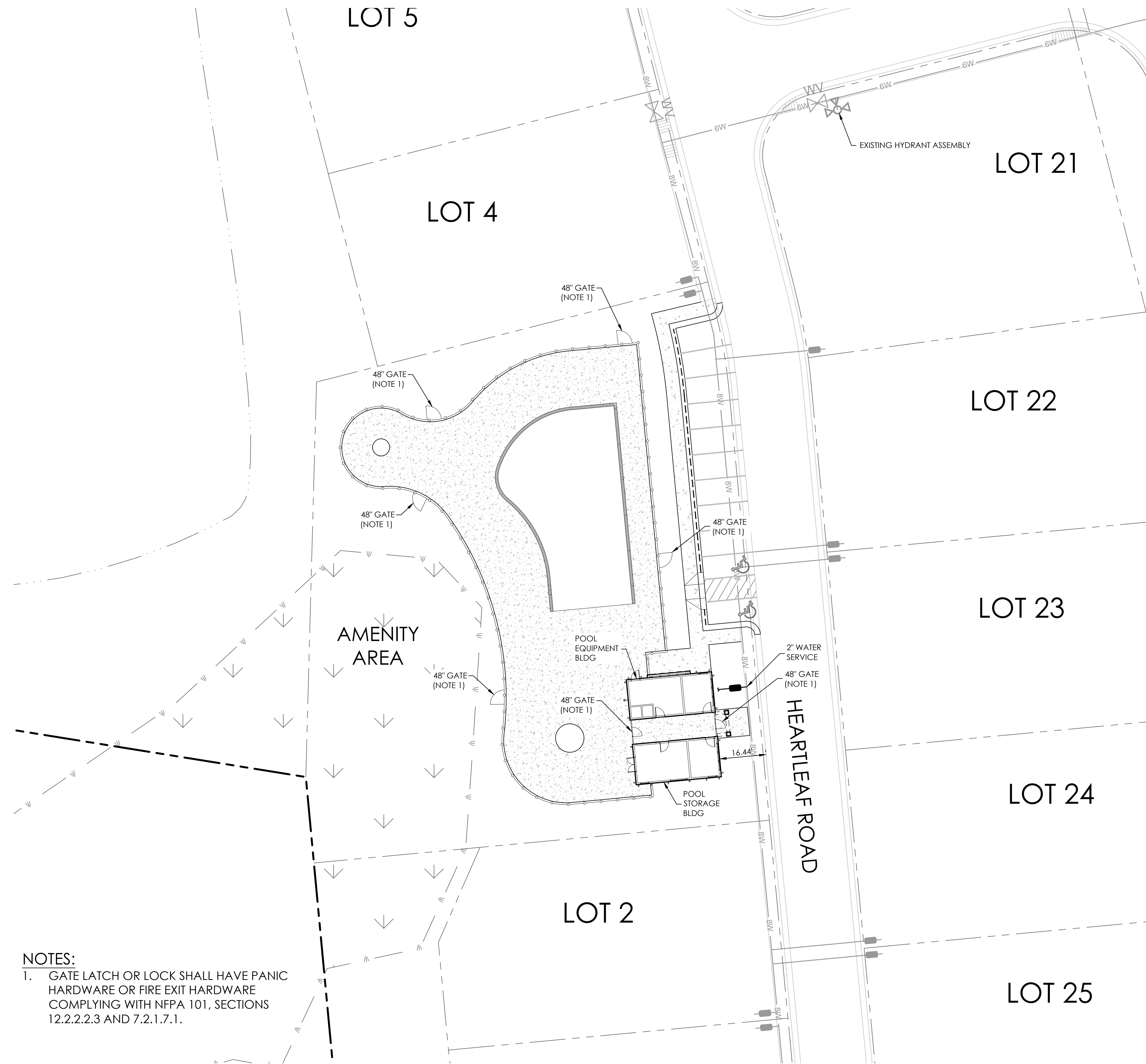
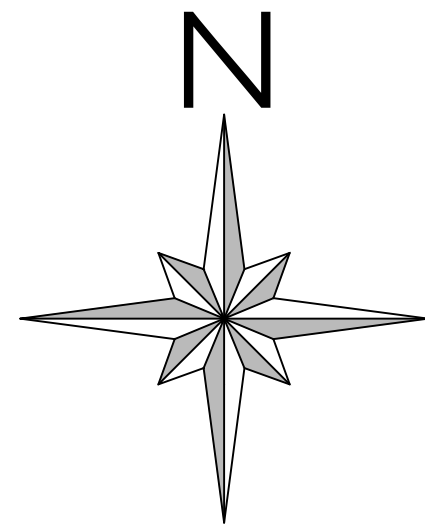


NO.	DATE	DESCRIPTION
1	7-12-22	REVISIONS PER P&Z COMMENTS DATED 7-8-22

UTILITY PLAN
 for
SWEETBAY
 BALTIMORE HUNDRED
 SUSSEX COUNTY, DELAWARE

Date:	1-11-22	Job Number:	G17042	Scale:	1"=20'	Drawn By:	HHB	Designed By:	HHB	Approved By:	JIP
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Sheet No.: **4**
 File Name: _____ site



NOTES:
 1. GATE LATCH OR LOCK SHALL HAVE PANIC HARDWARE OR FIRE EXIT HARDWARE COMPLYING WITH NFPA 101, SECTIONS 12.2.2.2.3 AND 7.2.1.7.1.

SITE DATA:

OWNER/
 APPLICANT: NATELLI COMMUNITIES
 506 MAIN STREET, 3RD FLOOR
 GAITHERSBURG, MD 20878
 CONTACT: TOM NATELLI

ENGINEER: SOLUTIONS IPEM
 303 NORTH BEDFORD STREET
 GEORGETOWN, DE 19947
 PHONE: 302-297-9215
 CONTACT: JASON PALKEWICZ, PE

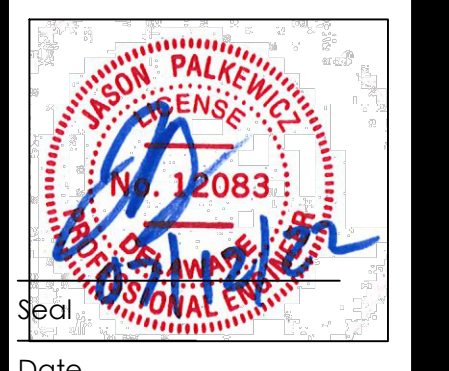
- TAX MAP: 533-11.00-750.00
- PROPOSED USE: POOL HOUSE & POOL
- SUSSEX COUNTY REFERENCE NO.: 2018-26
- WATER SUPPLY: ARTESIAN WATER COMPANY
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS AND AS SHOWN ON THESE SHEETS.
- WATER FLOW - CLUBHOUSE MAIN SIZES: 6" MINIMUM. MINIMUM CAPACITY: 100 GPM @ 20 PSI FOR 1 HOUR DURATION. HYDRANT SPACING: 800 FEET ON CENTER.
- ALL FIRE HYDRANT ASSEMBLIES SHALL BE PLACED A MAXIMUM OF 7' OFF THE EDGE OF THE PAVEMENT OR SIDEWALK.
- ALL PROPOSED FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE DELAWARE STATE FIRE PREVENTION REGULATIONS (DSFPR, PART II, CHAPTERS 6 & 7).
- FIRE HYDRANTS SHALL BE COLOR CODED IN ACCORDANCE WITH THE DSFPR, PART 703, CHAPTER 3, SECTION 4.0. THIS INCLUDES BOTH COLOR CODING BONNET AND 2" REFLECTIVE TAPE AROUND THE BARREL UNDER THE TOP FLANGE.
- THE STEAM CONNECTION OF ALL FIRE HYDRANTS SHALL BE SO POSITIONED SO AS TO BE FACING THE EDGE OF STREET, OR TRAFFIC LANE (DSFPR PART 705, CHAPTER 6, SECTION 2.0 AND 2.7).
- THE AMENITY BUILDING WILL NOT BE PROTECTED BY AUTOMATIC SPRINKLERS.
- MAXIMUM BUILDING HEIGHT: 42 FEET (ONE STORY)
- BUILDING CONSTRUCTION: NFPA TYPE V (000)



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NO.	DATE	DESCRIPTION
1	7-12-22	REVISIONS PER P&Z COMMENTS DATED 7-8-22

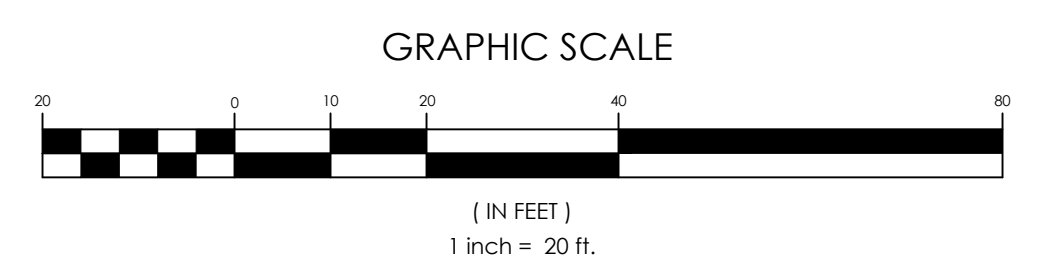
FIRE MARSHAL PLAN

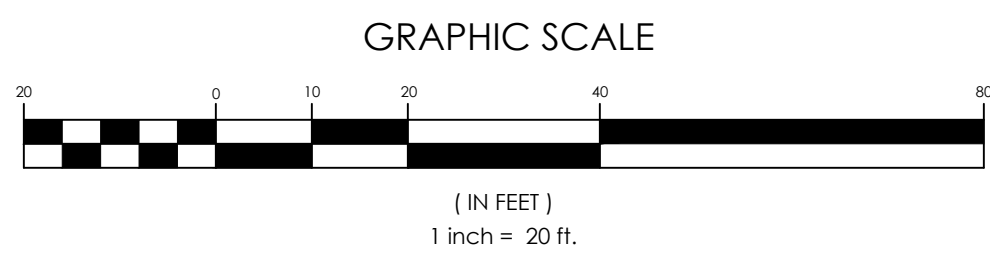
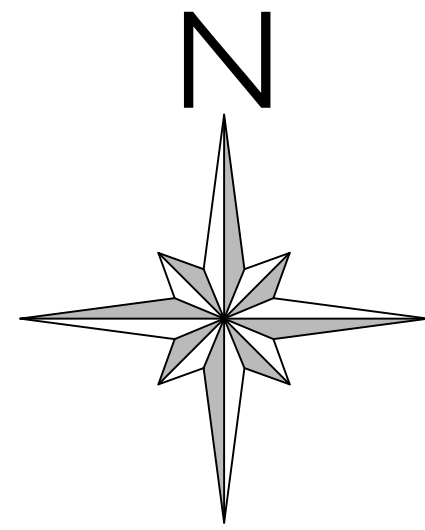
for
SWEETBAY
 BALTIMORE HUNDRED
 SUSSEX COUNTY, DELAWARE

Date:	1-11-22
Job Number:	G17042
Scale:	1"=20'
Drawn By:	HHB
Designed By:	HHB
Approved By:	JIP

Sheet No.: **5**

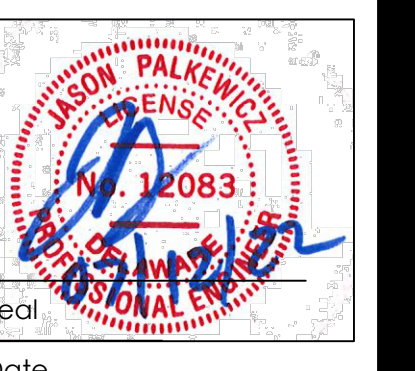
File Name: site





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 CONSULTING ENGINEERS
 P.L.L.C.

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NO.	DATE	DESCRIPTION
1	7-12-22	REVISIONS PER P&Z COMMENTS DATED 7-8-22

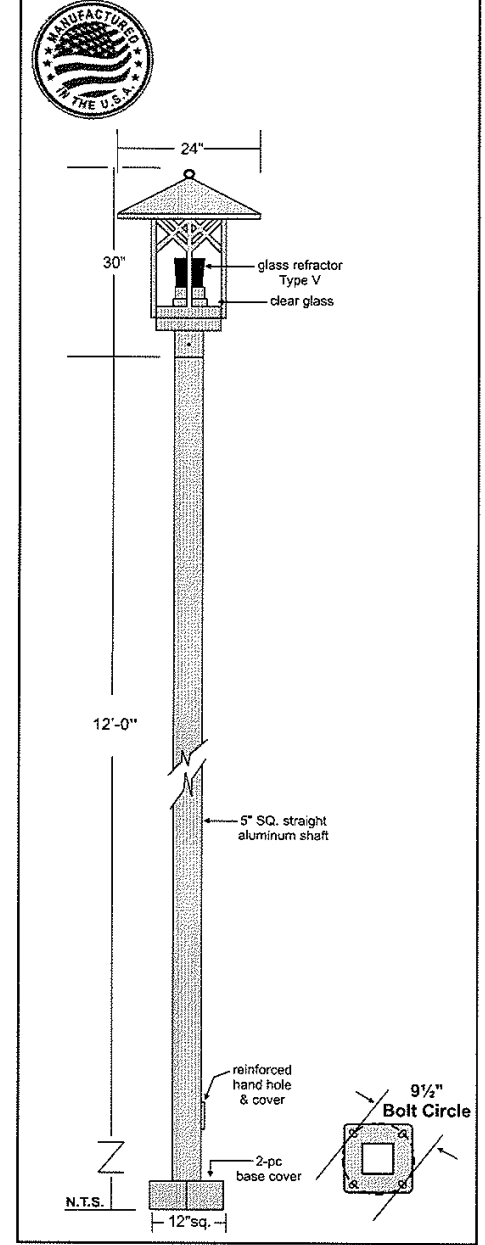
EROSION AND SEDIMENT CONTROL PLAN
 for
SWEETBAY
 BALTIMORE HUNDRED
 SUSSEX COUNTY, DELAWARE

Date:	1-11-22
Job Number:	G17042
Scale:	1"=20'
Drawn By:	HHB
Designed By:	HHB
Approved By:	JP

Sheet No.: **6**
 File Name: site

WLS LIGHTING SYSTEMS

261 SERIES LED



SYSTEM PERFORMANCE SPECIFICATIONS

LED:	80W
Life Hours:	50,000
CRI:	90
CCT:	2700K*
Voltage:	120V - 277V

FEATURES/BENEFITS

- High quality LED light that meets industry norms.
- High efficiency and energy savings.
- Environmentally friendly.
- Reliable and low maintenance.
- 7 year limited warranty on system.
- All electrical components are UL recognized.

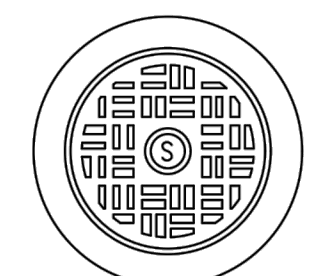
Ordering Example:
WLS-261-80W-LED-SMT-27K-CG-GRV-PT-SSAP5-12-COLOR

SPECIFICATIONS

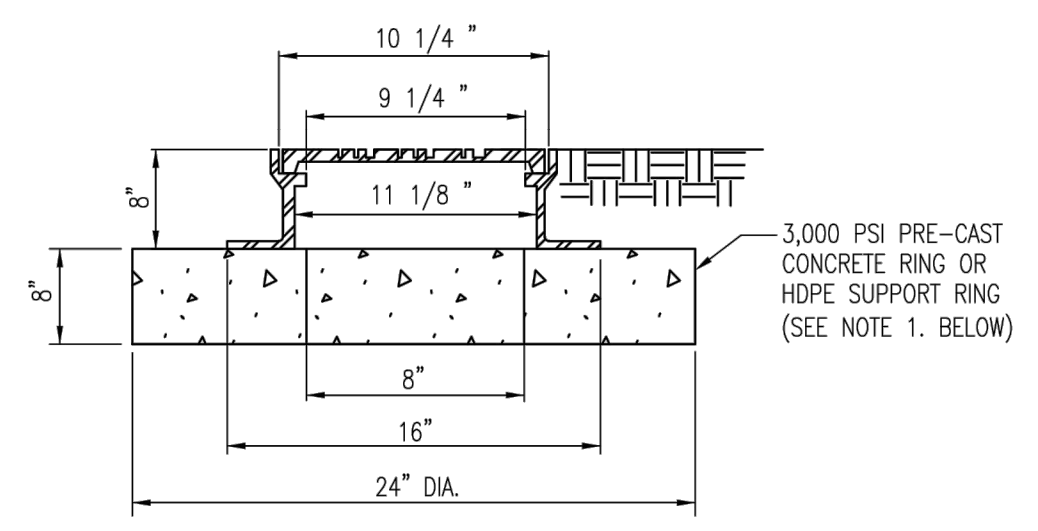
LUMINAIRE: Housing and driver compartment shall be of heavy wall all aluminum construction.
LENS: High impact resistant, clear tempered flat glass.
OPTICS: Borosilicate glass refractor. Type V light distribution.
DRIVER: Electronic LED driver (120V-277V).
OPTIONAL: Dimming control (0-10V).
LAMP: 80W LED.
POLE: 5" sq. aluminum shaft with anchor plate, reinforced hand hole & cover, grounding lug and a 2-pc base cover.
ANCHOR BOLTS: (4) 3/4" X 24" hot dipped galvanized steel with double nuts and double washers on a 9 1/2" bolt circle.
ELECTRICAL: All components are UL recognized. Luminaire is shipped complete and ready to install. Luminaire is designed for operation in wet locations.
FINISH: Powder coat. Standard colors are Black, White, Dark Green, and Dark Bronze. (Custom colors available, consult factory).
 All exposed hardware shall be stainless steel.

Approved By: _____ Project Name: _____
 Location: _____ Date: _____
 1919 Windsor Place • Fort Worth, TX 76110 • 800.633.8711 • Fax: 817.735.4824 • www.wlsighting.com
 Specifications subject to change without notice.

LIGHT DETAIL
NOT TO SCALE

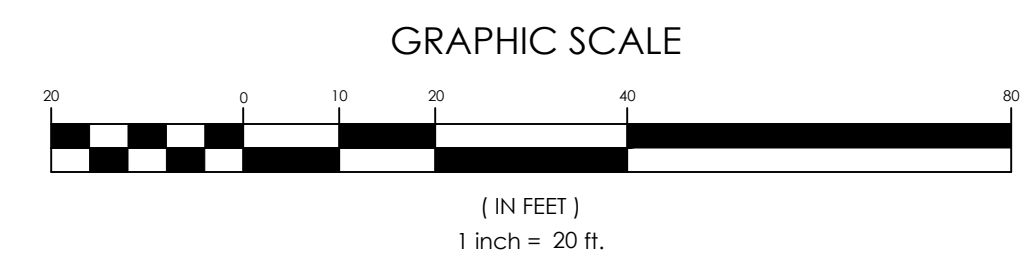
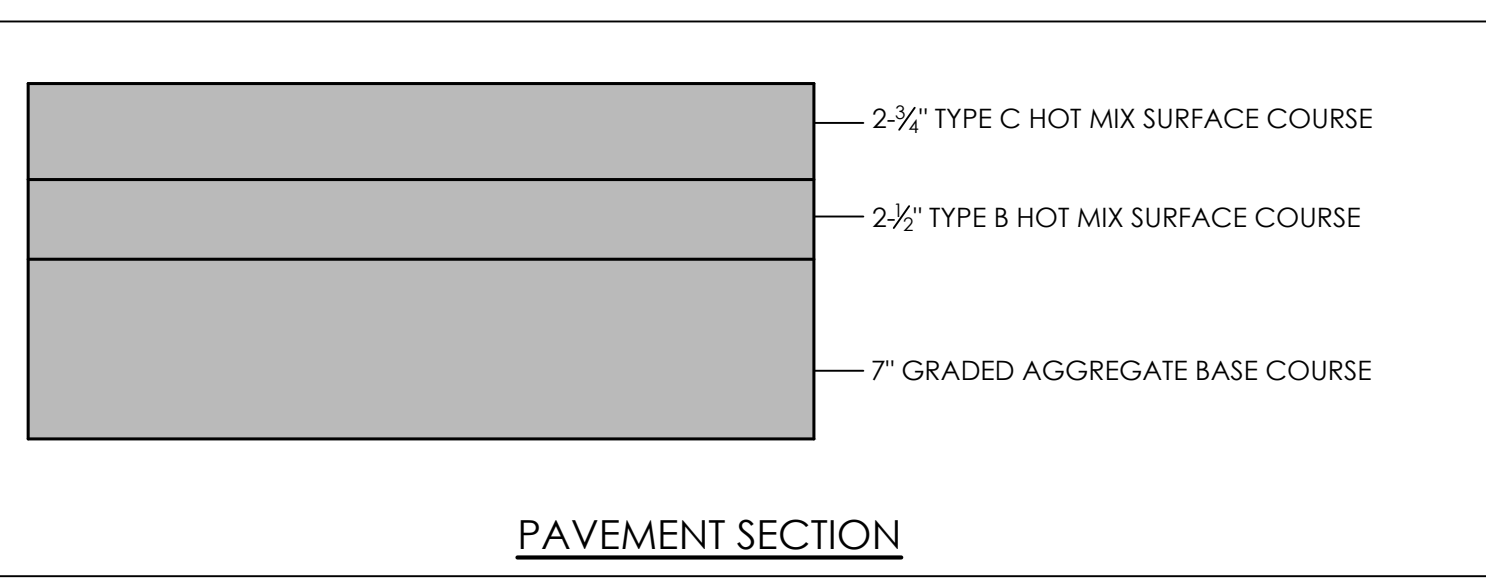
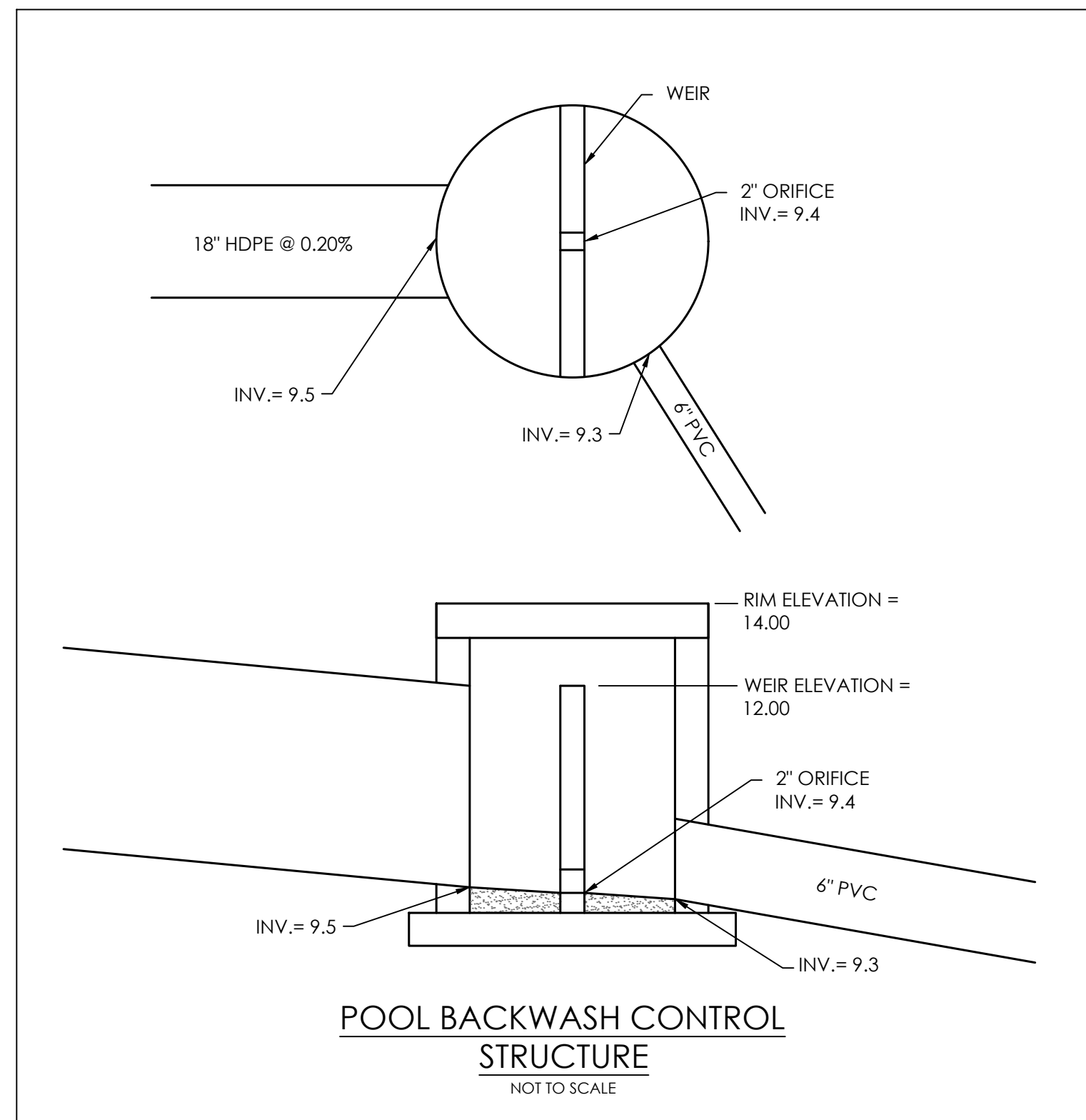


MATERIAL - GRAY IRON ASTM-A-48 CLASS 35
WEIGHT - APPROX. 50 LBS.

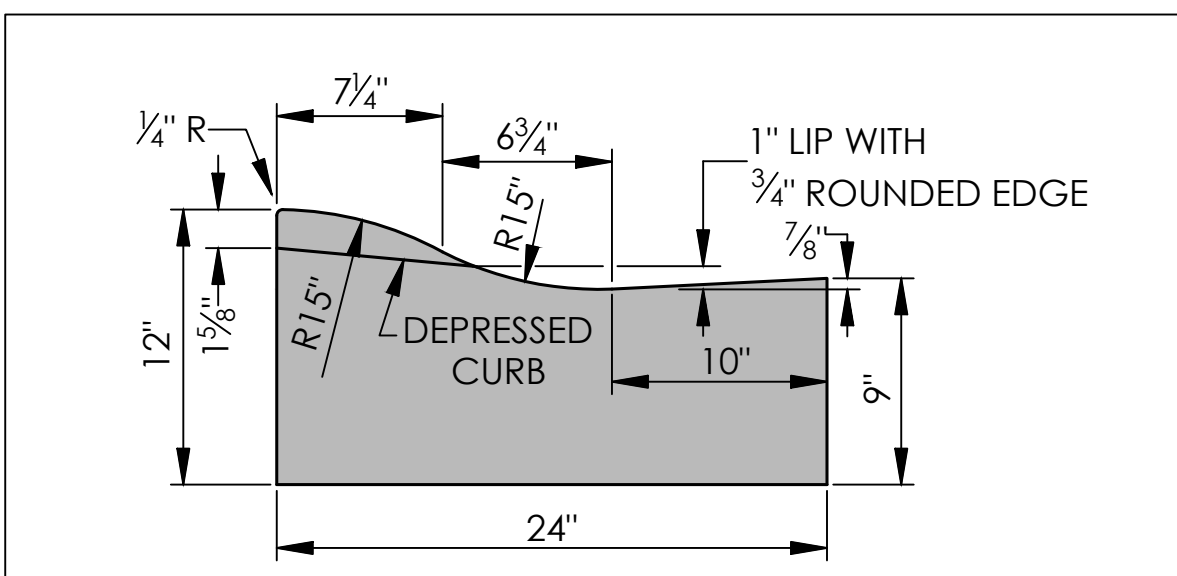


- NOTES:**
1. HDPE COMPOSITE SUPPORT RING BASE SHALL BE SUBSTITUTED FOR CONCRETE RING IN NON-TRAFFIC AREA. HDPE SUPPORT RING IS NOT ALLOWED IN TRAFFIC BEARING AREA.
 2. METAL CLEANOUT FRAME AND COVER SHALL BE INSTALLED BY UTILITY CONTRACTOR PRIOR TO SUBSTANTIAL COMPLETION INSPECTION.
 3. SEWER CLEANOUT LIDS INSTALLED IN PEDESTRIAN SIDEWALK AND/OR MULTIMODAL PATH MUST BE ADA COMPLIANT.

SCALE: N.T.S.	SUSSEX COUNTY ENGINEERING DEPARTMENT	6" CLEANOUT AND COVER	DETAIL S-2.05
REVISED: -	APPROVED: _____		
REVISED: -	SUSSEX COUNTY ENGINEER		
REVISED: -			
APPROVED: SEP. 2018			

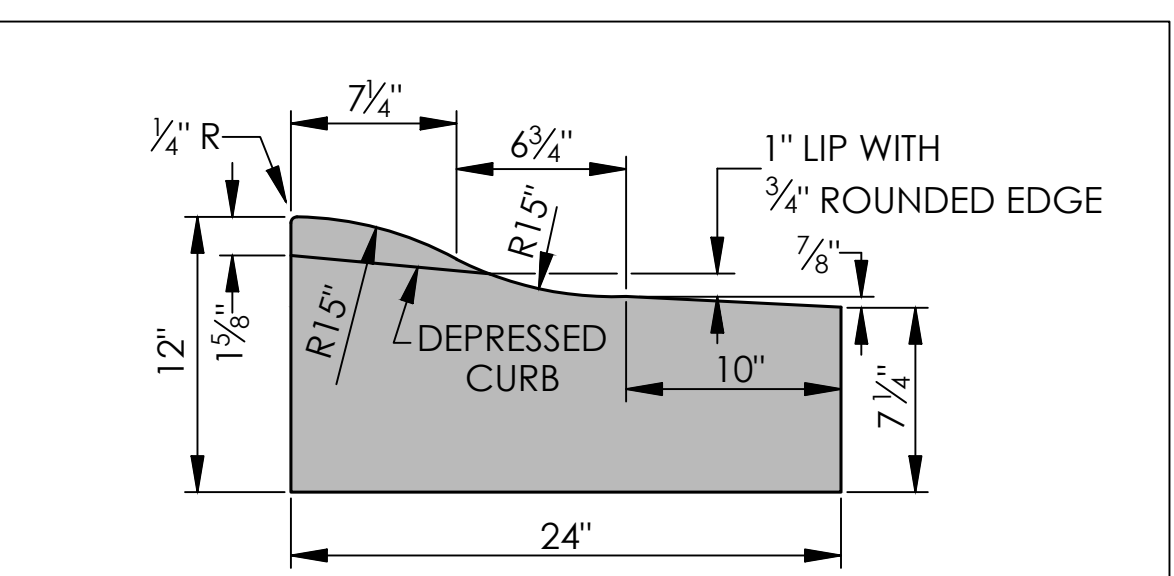


NOTE: POOL DECKS DRAINS DESIGN BY OTHERS.



INTEGRAL P.C.C. CURB AND GUTTER
TYPE 2

NOTE: 4" OF GABC, TYPE B SHALL BE PLACED UNDER ALL P.C.C. CURB AND GUTTER.

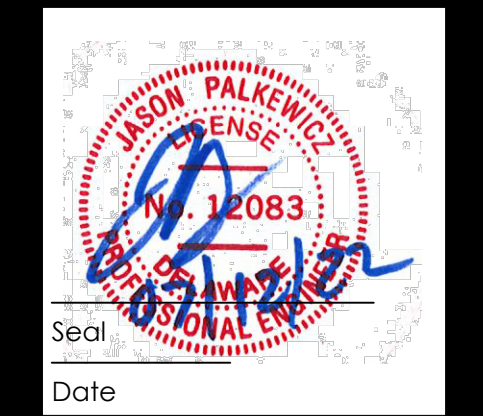


INTEGRAL P.C.C. CURB AND GUTTER (REVERSE)
TYPE 2

NOTE: 4" OF GABC, TYPE B SHALL BE PLACED UNDER ALL P.C.C. CURB AND GUTTER.

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NO.	DATE	DESCRIPTION
1	7-12-22	REVISIONS PER P&Z COMMENTS DATED 7-8-22

SITE DETAILS
for
SWEETBAY
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

Date:	1-11-22
Job Number:	G17042
Scale:	AS SHOWN
Drawn By:	HHB
Designed By:	HHB
Approved By:	JIP

Sheet No.: **7**
File Name: DETAILS

Michael R. Wigley, AIA, LEED AP
W. Zachary Crouch, P.E.
Michael E. Wheelerton, AIA, LEED GA
Jason P. Loar, P.E.
Ring W. Lardner, P.E.
Jamie L. Sechler, P.E.

July 13, 2022

Sussex County Planning & Zoning Commission
Sussex County Administration Building
2 The Circle,
Georgetown, DE 19947

Attn: Robert C. Wheatley
Chairman

RE: **Welches Pond Clubhouse - Parking waiver request**
Tax Parcel: 334-12.00-16.08
DBF # 2261J021.A01

Dear Mr. Wheatley:

On behalf of our client, Welches Pond, LP, we are writing this letter to request relief from two requirements regarding the parking.

(§115-166(C)) Parking within the front yard setback

The first one is regarding parking in the front yard setback. The parking for the clubhouse utilizes head in parking along two of the roads on which the clubhouse has frontage, Deaver Circle and Eastbridge Loop. This is more efficient than having a separate parking lot for the clubhouse as it utilizes the roadway as the parking lot drive aisle, thus allowing more room for landscaping and reducing impervious surfaces. Parking along the road also has a traffic calming effect and will slow down through traffic. The parking is located partially on open space parcel J (27.78 acres) and partially within the road right-of-way. Both the open space and the right-of-way will be owned and maintained by the Welches Pond community's HOA, therefore they will almost appear as one contiguous parcel. If the parking in the front yard setback is not allowed it will require the clubhouse layout to be redesigned and not leave room for the landscape berms that have been provided on the east and west of the clubhouse to screen it from the adjacent lots.

(§115-166(H)) Parking lot screening

Per the above code requirement parking areas that include ten (10) or more spaces must be screened when closer than 50-feet from a residential district. The ten (10) parking spots on Eastbridge Loop are 39-feet from the residential lots across the street. We respectfully request a waiver from this requirement considering that one (1), screening is intended to block headlights shining on neighboring properties which should not be an issue here as this is head in parking and two (2), this

Welches Pond Clubhouse – Parking Waiver Request
July 13, 2022
Page 2

part of the code was intended for commercial areas adjacent to residential districts rather than being applied to a neighborhood community's clubhouse.

We believe these waivers will produce a better end product for the residents of Welches Pond and appreciate your time reviewing our request. If you have any questions regarding the above, please contact me at (302) 424-1441 or via e-mail at cdm@dbfinc.com.

Sincerely,
Davis, Bowen & Friedel, Inc.



Cliff Mumford
Associate

Cc: Nick Hammonds, Welches Pond LP
Tim Tice, Schell Brothers

P:\JG Townsend\2261J007 Fieldstone\Documents\SC P&Z\2022-07-13 Parking Waiver Clubhouse\Welches_Parking-Waiver-Clubhouse_Pzcommission-Wheatley.Docx

Proposed Conditions of Approval – MRBP (July 12, 2022 edits)

1. The applicant shall comply with all the requirements set forth in Section 115-172B of the Sussex County Zoning Ordinance.
2. The applicant shall comply with all State and County Erosion and Sediment Control Regulations:
 - 2.1 The project shall meet or exceed Stormwater Management system regulations set forth by the Sussex Conservation District and DNREC through a combination of Best Management Practices and Best available technologies.
 - 2.2 The Final Site Plan shall contain the approval of the Sussex Conservation District for the design and location of all stormwater management areas and erosion and sedimentation control facilities.
3. The Final Site Plan shall be subject to the review and approval of the Planning and Zoning Commission prior to commencement of operations.
4. If approved, this Conditional Use shall terminate upon the expiration of thirty (30) years from the date of adoption.
5. The operation of the Borrow Pit shall be controlled to provide reasonable protection to surrounding properties as follows:
 - 5.1 The Borrow Pit shall be at least 200 feet from any dwelling on property of other ownership.
 - 5.2 A 100-foot Vegetation/Forested Buffer shall be maintained along that portion of the site which abuts County Road 385 (McCary Road) Right-of-way. Existing vegetation and trees within the buffer area between the property line and the perimeter shall remain undisturbed.
 - 5.3 A 50-foot Vegetation/Forested buffer shall be maintained along all other perimeter property lines within the site. Existing vegetation between the property lines and the perimeter shall remain undisturbed.
 - 5.4 A water truck will be available to control dust from interior trucking traffic when conditions require.
6. Hours of operation of trucking activities shall be from 8:00 am to 6:00 pm Monday through Friday, and 8:00 am to 2:00 pm on Saturday. There shall be no trucking activities on Sunday.
7. Entrance improvements required by Delaware Department of Transportation in connection with this land use will be completed by the applicant.
8. The Borrow Pit entrance shall have a fenced gate, which shall be secured when the operation is closed.
9. No materials will be stored on any access roads or with any buffer areas.
10. Fuel shall be stored in storage tanks with confinement areas as required by the Department of Natural Resources and Environmental Control (DNREC) and the Office of the State Fire Marshall.
11. The proposed pit will have 4:1 side slopes down to a 10-foot level bench that will be approximately near or 1 foot below the static water surface. Below the water level, the borrow pit shall have 3:1 slopes. The Depth of the proposed borrow pit will not exceed 40 feet.
12. No stumps, branches, debris or similar items will be buried on the site. Tree stumps and branches may be used in the final pond design for enhanced fish structure.
13. Reclamation plans shall indicate finished grading, seeding, and planting schedules designed to create a pleasing appearance. Reclamation will be completed in phases as excavation operations in a section are completed. Applicant will notify the Planning & Zoning Department in writing on

or about April 1st of each year as to the status of the reclamation and reclamation plans for the following year.

14. The 57.03 acre parcel shall be divided into three (3) phases of 19 acres each. Phase two will not be started until 75% of Phase one is completed. Phase three will not be started until 75% of Phase two is completed. The total excavated area shall not exceed 40 acres.
15. The Dredge may operate 24 hours per day, but no front-end loaders, backhoes, or other construction equipment with safety buzzers will operate before 8:00 am or after 6:00 pm.
16. The entrance to the Borrow Pit shall be from County Road 385 (McCary Road).
17. Any dewatering activities will remain on site.
18. Five (5) years after the start of digging, the Planning and Zoning Department shall perform an inspection of the site and shall request written comments from all appropriate State agencies so that the Planning and Zoning Commission can review the comments to verify compliance with all then-existing regulations.

Amy Hollis

From: webmaster@sussexcountyde.gov on behalf of Sussex County DE
<webmaster@sussexcountyde.gov>
Sent: Tuesday, July 12, 2022 6:56 PM
To: Planning and Zoning
Subject: Submission from: Planning & Zoning Commission contact form

RECIPIENTS: Jamie Whitehouse

Submitted on Tuesday, July 12, 2022 - 6:55pm

Name: Paul L Betts

Email address: d4kksa@gmail.com

Phone number: 13025304273

Subject: ca # C/U 2303 food truck jersey rd millsboro de

Message: i am sending this for my mother who lives on jersey rd. we do not think this is a good use for this residential area due to the fact that there is not adequate parking for such vehicles on this road. in addition, this road is not equipped to handle any more over flow traffic from route 24, speed limits are already not adhered to. thank you for your consideration to our concerns. (alice betts)