

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY WINGATE



2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DE 19947  
(302) 855-7878 T  
(302) 854-5079 F  
sussexcountyde.gov

# Sussex County Planning & Zoning Commission

AGENDA\*\*

July 23, 2020

5:30 P.M.

**PLEASE REVIEW MEETING INSTRUCTIONS AT THE BOTTOM OF THE AGENDA**

## Call to Order

## Approval of Agenda

## Approval of Minutes – N/A

## Old Business

### C/U 2210 – Dewey Beer Company, LLC

KS

**An Ordinance to grant a Conditional Use of land in a C-1 General Commercial District for a microbrewery to be located on a certain parcel of land lying and being in Broadkill Hundred, Sussex County, containing 5.0 acres, more or less.** The property is lying on the east side of Harbeson Rd. (Rt. 5) approximately 707 ft. north of Lewes-Georgetown Hwy. (Rt. 9). 911 Address: 18499 Harbeson Rd., Harbeson. Tax Parcel: 235-30.00-21.00

### C/U 2217 – Israel Bravo

KH

**An Ordinance to grant a Conditional Use of land in an AR-1 (Agricultural Residential District) for storage of utilities equipment and vehicles to be located on a certain parcel of land lying and being in Seaford Hundred, Sussex County, containing 6.16 acres, more or less.** The property is lying on east side of Sanfilippo Rd approximately 0.85 mile north of Eskridge Rd (S.C.R. 531). 911 Address: 20871 Sanfilippo Rd., Bridgeville. Tax Parcel: 331-2.00-44.07

### C/Z 1917 – Iacchetta Development Corporation

HW

**An Ordinance to amend the Comprehensive Zoning Map of Sussex County from an AR-1 (Agricultural Residential District) to a C-2 (Medium Commercial District) for a certain parcel of land lying and being in Baltimore Hundred, Sussex County, containing 0.504 acres, more or less.** The property is lying on the north side of Lighthouse Rd. (Route 54) approximately 293.7 ft. west of West Line Rd. 911 Address: 33175 Lighthouse Road, Selbyville. Tax Parcel: 533-18.00-28.01



**Public Hearings**

**C/U 2214 Anthony Crivella & Harold E. Dukes, Jr.** BM  
An Ordinance to grant a Conditional Use of land in a C-1 General Commercial District for a food truck to be operated for a period exceeding three days to be located on a certain parcel of land lying and being in Lewes and Rehoboth Hundred, Sussex County, containing 0.115 acre, more or less. The property is lying on the northeast side of Johnson St. southeast of Central Ave. 911 Address: N/A. Tax Parcel: 334-13.20-25.00

**C/U 2216 Kenneth Dominic Alton Drummond** KS  
An Ordinance to grant a Conditional Use of land in an AR-1 Agricultural Residential District for home remodeling and repair services, storage repair and maintenance, light building material and storage and general office for Quality Care Homes and Managers residence to be located on a certain parcel of land lying and being in Indian River Hundred, Sussex County, containing 3.57 acres, more or less. The property is lying on the southwest side of Hopkins Rd. approximately 0.58 mile northwest of Beaver Dam Rd. (Rt. 23). 911 Address: 20366 Hopkins Road. Tax Parcel: 234-5.00-46.04 (Part of).

**C/U 2233 Brothers Landscaping, LLC** KH  
An Ordinance to grant a Conditional Use of land in an AR-1 Agricultural Residential District for a landscaping business to be located on a certain parcel of land lying and being in Nanticoke Hundred, Sussex County, containing 5.00 acres more or less. The property is lying on the north side of German Rd. approximately 1.58 miles east of Concord Pond Rd. 911 Address: 24516 German Road, Seaford. Tax Parcel: 231-13.00-190.00.

**C/Z 1918 Mark A. Casey** BM  
An Ordinance to amend the Comprehensive Zoning Map of Sussex County from a MR Medium Density Residential District to an AR-1 Agricultural Residential District for a certain parcel of land lying and being in Indian River Hundred, Sussex County, containing 7.10 acres, more or less. The property is lying on the southeast corner of Warwick Road and Downs Landing Road. 911 Address: 28517 Warwick Road, Millsboro. Tax Parcel: 234-33.00-55.00.

**Other Business**

**Windswept at Lewes GR-RPC** BM  
Final Site Plan

**Generations Welding & Contracting** KH  
Final Site Plan

**Eco Properties Storage Units (S-20-20)** KH  
Preliminary Site Plan

**Admiral's Chase (S-19-4) (CU 2134 & CZ 1851)** KS  
Amenities Plan

**Lands of Coulbourne** BW  
Minor Subdivision off 30' Easement

**Coastal Corner (FKA Fred Hudson Properties)(S-19-12)(CU 2130)**

BM

Request for Clarification of Conditions of Approval

In accordance with 29 Del. C. §10004(e)(2), this Agenda was posted on July 16, 2020 at 4:30 p.m., and at least seven (7) days in advance of the meeting.

This Agenda is subject to change to include the addition or deletion of items, including Executive Sessions, which arise at the time of the Meeting.

Agenda items listed may be considered out of sequence.

**-MEETING INSTRUCTIONS-**

\*\* The Sussex Planning & Zoning Commission is holding this meeting under the authority issued by Governor John C. Carney through Proclamation No. 17-3292.

The public is encouraged to view the meeting on-line. Any person attending in-person will be required to go through a wellness and security screening, including a no-touch temperature check. The public will be required to wear a facial mask.

Chamber seating capacity is limited and seating assignments will be enforced.

The meeting will be streamed live at <https://sussexcountyde.gov/council-chamber-broadcast>

The County is required to provide a dial-in telephone number for the public to comment during the appropriate time of the meeting. **Note, the on-line stream experiences a 30-second delay.** Any person who dials in by telephone should listen to the teleconference audio to avoid the on-line stream delay.

To join the meeting via telephone, please dial:

Conference Number: 1 302-394-5036

Conference Code: 570176

Members of the public joining the meeting on the telephone will be provided an opportunity to make comments for those items listed under public hearings on this agenda.

The Planning & Zoning Commission meeting materials, including the “packet”, are electronically accessible on the County’s website at: <https://sussexcountyde.gov/>

If any member of the public would like to submit comments electronically, these may be sent to [pandz@sussexcountyde.gov](mailto:pandz@sussexcountyde.gov). All comments shall be submitted by 4:30 P.M on Wednesday, July 22, 2020

###

**PLANNING & ZONING COMMISSION**

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE-CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY J. WINGATE



**Sussex County**

DELAWARE  
sussexcountyde.gov  
302-855-7878 T  
302-854-5079 F  
JAMIE WHITEHOUSE, AICP MRTPI  
DIRECTOR

**PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET**  
Planning Commission Public Hearing Date July 23, 2020.

Application: (CU 2214) Anthony Crivella & Harold E. Dukes, Jr.

Applicant: Da Nizza Wood Fired Pizza, LLC  
30 East Pine Street  
Georgetown, DE 19947

Owner: Anthony Crivella & Harold E. Dukes, Jr.  
325 E Rehoboth Avenue  
Rehoboth Beach, DE 19971

Site Location: Located on the northeast side of Johnston St. southeast of Central Ave.

Current Zoning: General Commercial (C-1)

Proposed Use: Operate a Food Truck for a period exceeding three (3) days

Comprehensive Land Use Plan Reference: Commercial Area

Councilmatic District: Mr. Hudson

School District: Cape Henlopen School District

Fire District: Rehoboth Beach Fire District

Sewer: Sussex County

Water: Private

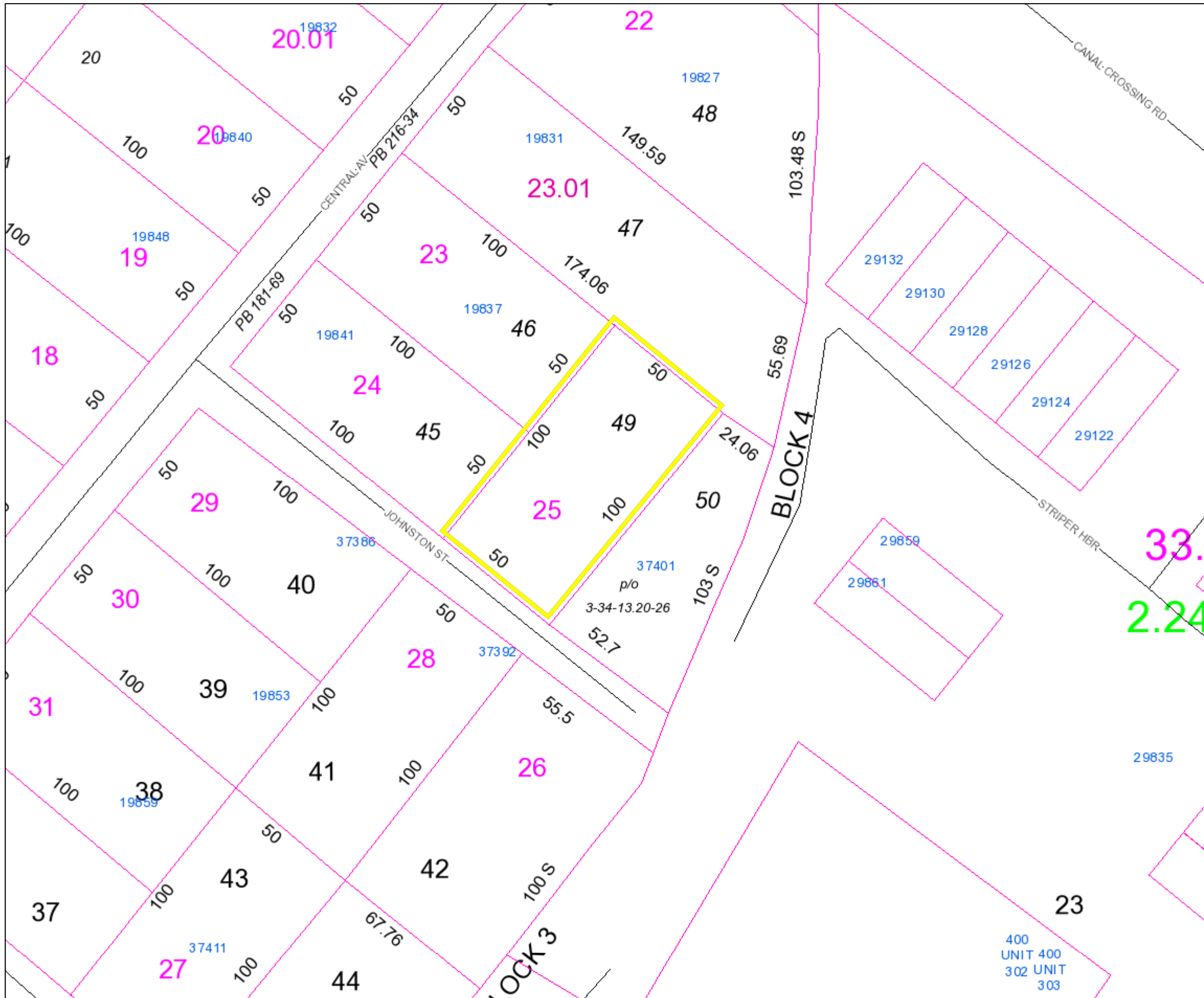
Site Area: 0.115 acres +/-

Tax Map ID.: 334-13.20-25.00





# Sussex County



<b>PIN:</b>	334-13.20-25.00
<b>Owner Name</b>	CRIVELLA TONY
<b>Book</b>	4954
<b>Mailing Address</b>	323 REHOBOTH AVE STE B
<b>City</b>	REHOBOTH BEACH
<b>State</b>	DE
<b>Description</b>	SHOCKLEY SUBD.
<b>Description 2</b>	LOT 49 BLK 4
<b>Description 3</b>	N/A
<b>Land Code</b>	

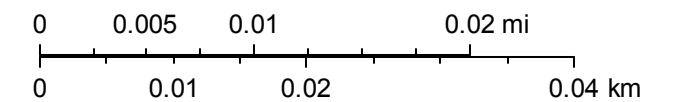
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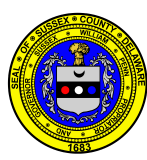
  - Override 1
- polygonLayer**

  - Override 1
  - Tax Parcels
  - 911 Address
  - Streets
  - County Boundaries
- Tax Ditch Segments**

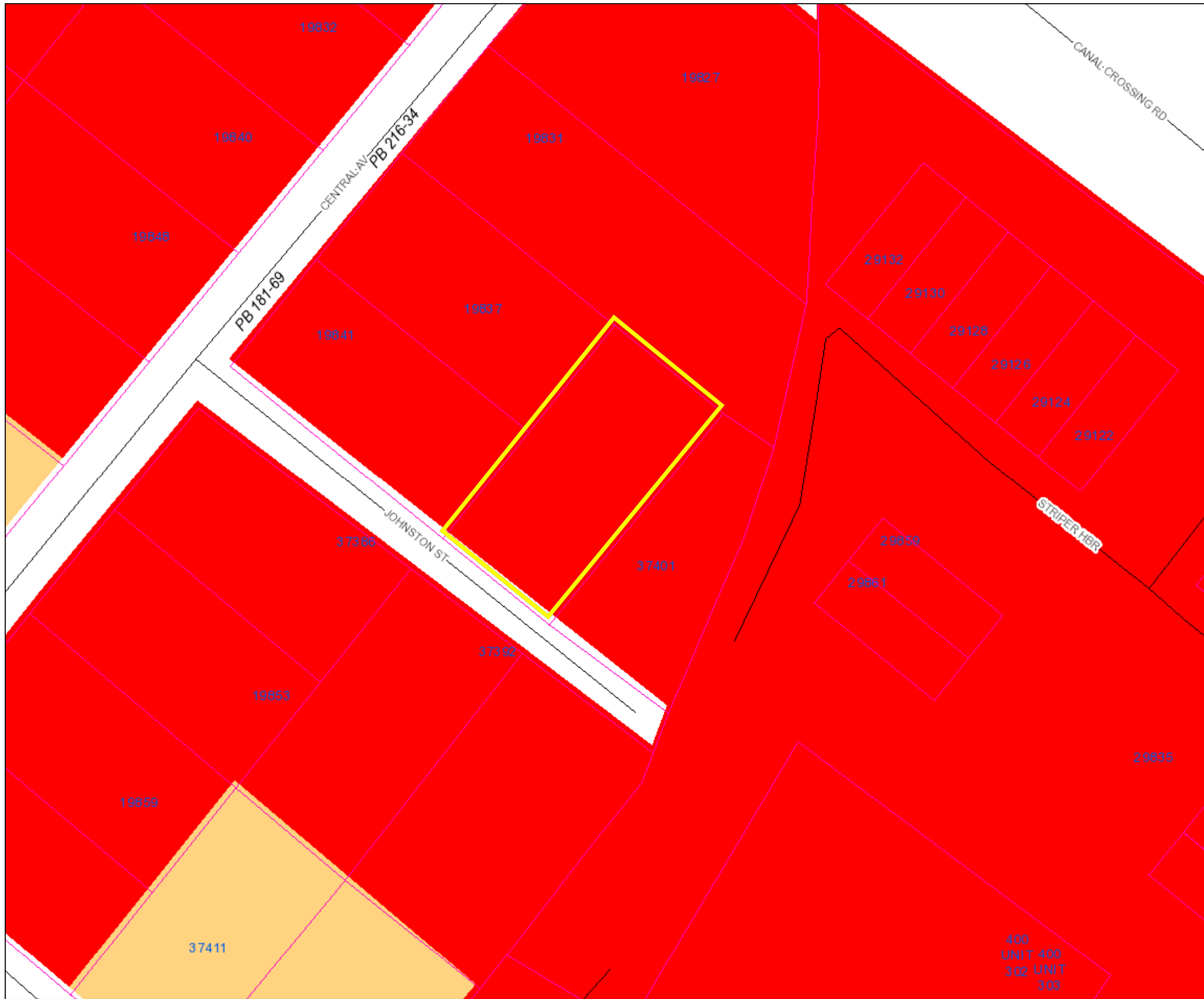
  - Tax Ditch Channel
  - Pond Feature
  - Special Access ROW
  - Extent of Right-of-Way
  - Municipal Boundaries

1:564





# Sussex County



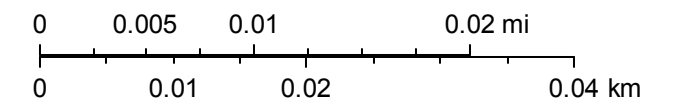
<b>PIN:</b>	334-13.20-25.00
<b>Owner Name</b>	CRIVELLA TONY
<b>Book</b>	4954
<b>Mailing Address</b>	323 REHOBOTH AVE STE B
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<b>Description 3</b>	N/A
<b>Land Code</b>	

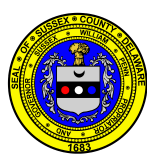
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  - Override 1
- polygonLayer**

  - Override 1
- Tax Parcels
- 911 Address
- Streets

1:564





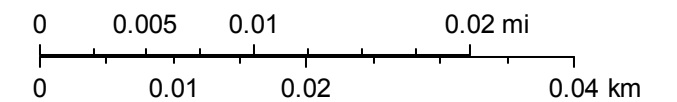
# Sussex County



<b>PIN:</b>	334-13.20-25.00
<b>Owner Name</b>	CRIVELLA TONY
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- polygonLayer**
  - Override 1
- polygonLayer**
  - Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- Tax Ditch Segments**
  - Tax Ditch Channel
  - Pond Feature
  - Special Access ROW
  - Extent of Right-of-Way
  - Municipal Boundaries

1:564



JAMIE WHITEHOUSE, AICP MRTPI  
PLANNING & ZONING DIRECTOR  
(302) 855-7878 T  
(302) 854-5079 F  
jamie.whitehouse@sussexcountype.gov



**Sussex County**  
DELAWARE  
sussexcountype.gov

## Memorandum

To: Sussex County Planning Commission Members  
From: Christin Headley, Planner I  
CC: Vince Robertson, Assistant County Attorney and Applicant  
Date: July 1, 2020  
RE: Staff Analysis for CU 2214 Anthony Crivella & Harold E. Dukes, Jr.

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This memo is to provide background and analysis for the Planning Commission to consider as a part of application CU 2214 to be reviewed during the July 23, 2020 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for parcel 334-13.20-25.00 to allow the operation of a food truck for a period exceeding three (3) days. The parcel is located on the northeast side of Johnston St. southeast of Central Ave. Rehoboth Beach, Delaware. The size of the property is 0.115 acre +/-.

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the property has the land use designation of "Commercial Area."

The areas to the north, south, east and west are also designated "Commercial Areas." "Commercial Areas" include concentrations of retail and service uses, commercial corridors, shopping centers, hotels, motels, car washes and auto dealers. This includes other medium and larger scale commercial uses as well as mixed-use buildings. The site is adjacent to the Revelation Brewery and Park Shores, a multi-family community.

The property is zoned General Commercial (C-1) Zoning District. The adjacent properties to the north, south, east and west of the application site are also zoned General Commercial (C-1).

Since 2011, there have been no Conditional Use applications within the vicinity of the application site:

Based on the analysis of the land use, surrounding zoning and uses, a conditional use to allow for a food truck to be operate for a period exceeding three (3) days could be considered as being consistent with the land use, area zoning and surrounding uses.





RECEIVED

DEC 16 2019

File #: C/W# 2214  
2019 14445

SUSSEX COUNTY  
PLANNING & ZONING  
**Planning & Zoning Commission Application**

**Sussex County, Delaware**

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

**Type of Application: (please check applicable)**

Conditional Use

Zoning Map Amendment

**Site Address of Conditional Use/Zoning Map Amendment**

Lot 49 Johnston Street/Central Avenue, Rehoboth Beach, DE 19971 (the "Property")

**Type of Conditional Use Requested:**

Permission to locate and operate a food truck on the Property for a period exceeding three days to provide food for Revelation Brewing Company patrons (Code Section 115-79).

**Tax Map #:** 334-13.20-25.00 **Size of Parcel(s):** +/- 5,000 S.F. 0.115 acres

**Current Zoning:** C-1 **Proposed Zoning:** N/A **Size of Building:** N/A

**Land Use Classification:** General Commercial

**Water Provider:** N/A **Sewer Provider:** N/A

**Applicant Information**

**Applicant Name:** Da Nizza Wood Fired Pizza LLC

**Applicant Address:** 30 East Pine Street, Georgetown, DE 19947

**City:** Rehoboth Beach **State:** DE **Zip Code:** 19947

**Phone #:** (302) 540-9254 **E-mail:** bnelson@revbeer.com; harry@revbeer.com

**Owner Information**

**Owner Name:** Anthony Crivella and Harold E. Dukes, Jr.

**Owner Address:** 323E Rehoboth Avenue

**City:** Rehoboth Beach **State:** DE **Zip Code:** 19971

**Phone #:** \_\_\_\_\_ **E-mail:** cleanbeaches@icloud.com

**Agent/Attorney/Engineer Information**

**Agent/Attorney/Engineer Name:** Taylor E. Trapp, Esq.

**Agent/Attorney/Engineer Address:** 30 East Pine Street

**City:** Georgetown **State:** DE **Zip Code:** 19947

**Phone #:** (302) 227-1314 **E-mail:** taylor@tunnellraysor.com; mackenzie@tunnellraysor.com



## Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

- Completed Application
- Provide eight (8) copies of the Site Plan or Survey of the property
  - Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
  - Provide a PDF of Plans (may be e-mailed to a staff member)
  - Deed or Legal description
- Provide Fee \$500.00
- Optional - Additional information for the Commission/Council to consider (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.
- Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.
- DeIDOT Service Level Evaluation Request Response
- PLUS Response Letter (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney

Taylor E. Trepp

Date: 11/14/19

Signature of Owner

Walter D. [Signature]

Date: 11/14/19

For office use only:

Date Submitted: 12/17/19

Fee: \$500.00 Check #: 74317

Staff accepting application: CEH

Application & Case #: 201914445

Location of property: \_\_\_\_\_

Subdivision: \_\_\_\_\_

Date of PC Hearing: \_\_\_\_\_ Recommendation of PC Commission: \_\_\_\_\_

Date of CC Hearing: \_\_\_\_\_ Decision of CC: \_\_\_\_\_



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

RECEIVED

DEC 16 2019

SUSSEX COUNTY  
PLANNING & ZONING

JENNIFER COHAN  
SECRETARY

December 13, 2019

Ms. Janelle Cornwell, Director  
Sussex County Planning & Zoning  
P.O. Box 417  
Georgetown, DE 19947

Dear Ms. Cornwell:

The Department has completed its review of a Service Level Evaluation Request for the **Da Nizza Wood Fired Pizza, LLC** conditional use application, which we received on November 15, 2019. This application is for an approximately 0.11-acre parcel (Tax Parcel: 334-13.20-25.00). The subject land is located on the southeast side of Central Avenue and southwest of Canal Street, just southeast of Hebron Road (Sussex Road 273), in Rehoboth Beach. The subject land is currently zoned as C-1 (General Commercial) and the applicant is seeking a conditional use approval for the temporary operation of a 176 square-foot portable food truck and a 160 square-foot portable trailer.

Per the 2018 Delaware Vehicle Volume Summary, the annual average and summer average daily traffic volumes along the segment of Hebron Road where the subject land would have access, which is from Canal Street to Holland Glade Road (Sussex Road 271), are 3,255 and 4,189 vehicles per day, respectively.

Based on our review, we estimate that the above land use will generate fewer than 50 vehicle trips in any hour and fewer than 500 vehicle trips per day. These numbers of trips are DelDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. Because the proposed land use would not meet these warrants, we consider the development's traffic impact to be negligible in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DelDOT's description of this application as negligible with regard to warranting a TIS does not mean that it is negligible in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.

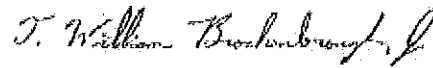
If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.



Ms. Janelle M. Cornwell  
Page 2 of 2  
December 13, 2019

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.  
County Coordinator  
Development Coordination

TWB:cjm

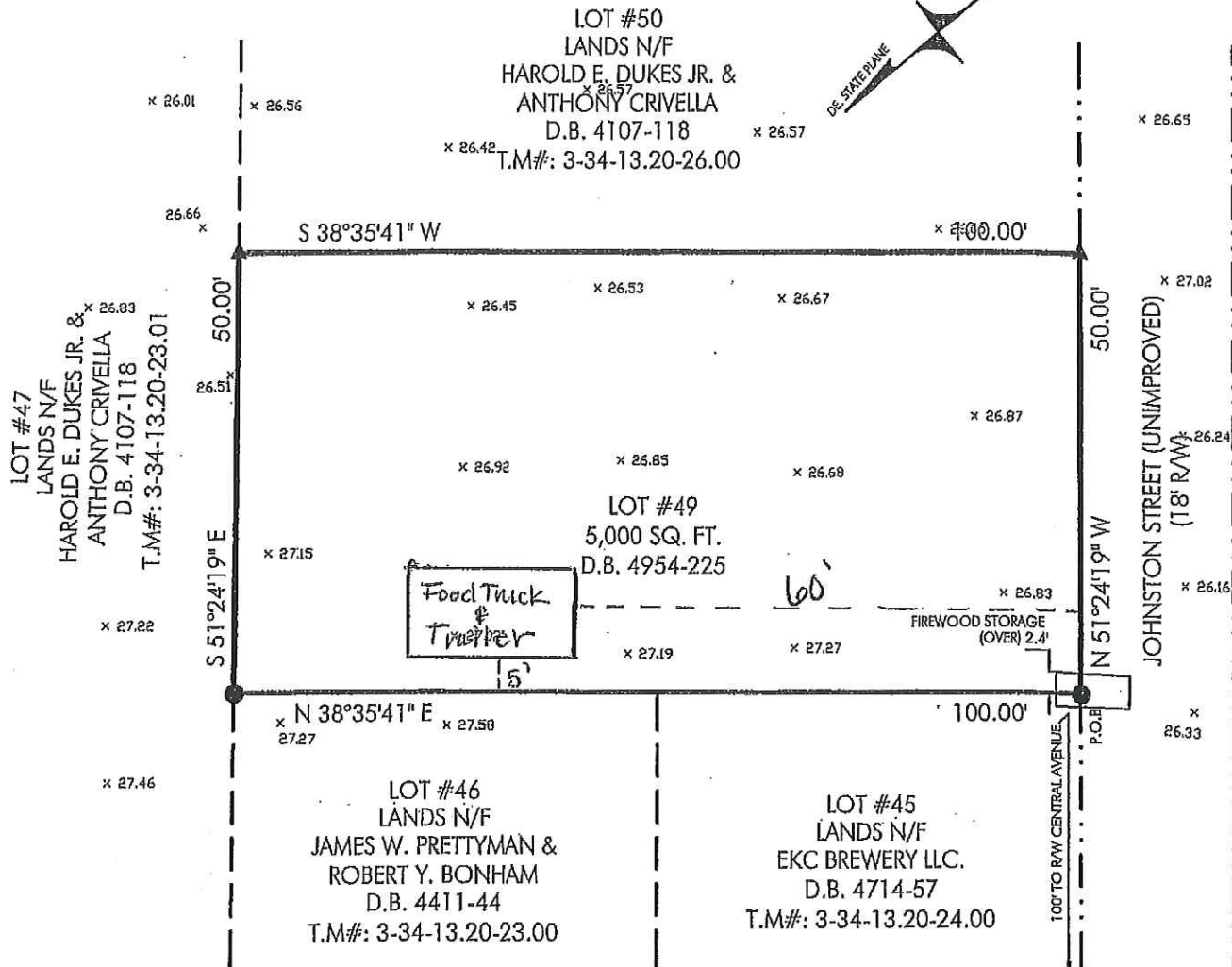
cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues  
Da Nizza Wood Fired Pizza, LLC, Applicant  
J. Marc Coté, Assistant Director, Development Coordination  
Gemez Norwood, South District Public Works Manager, Maintenance & Operations  
Susanne Laws, Sussex County Subdivision Coordinator, Development Coordination  
Derek Sapp, Subdivision Manager, Development Coordination  
Kevin Hickman, Subdivision Manager, Development Coordination  
Brian Yates, Subdivision Manager, Development Coordination  
John Andrescavage, Subdivision Manager, Development Coordination  
James Argo, South District Project Reviewer, Maintenance & Operations  
Troy Brestel, Project Engineer, Development Coordination  
Claudy Joinville, Project Engineer, Development Coordination

EXHIBIT A  
Survey (8 Copies)

LAW OFFICES

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**T**UNNELL  
& **R**AYSOR, P.A.



**LEGEND:**

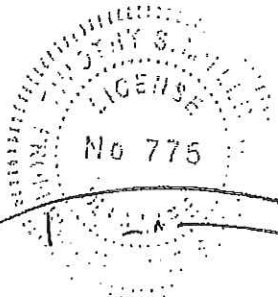
- IRON PIPE (FOUND)
- ▲ IRON ROD (TO BE SET)
- × 25.89 ELEVATION SPOT SHOT (NAVD 88)

**BOUNDARY SURVEY PLAN FOR  
ANTHONY CRIVELLA &  
HAROLD E. DUKES JR.**

DEED REFERENCE: BOOK 4954 PAGE 225  
LOT #49 OF "GEORGE E. SHOCKLEY" SUBDIVISION  
LEWES & REHOBOTH HUNDRED SUSSEX COUNTY  
STATE OF DELAWARE

FEBRUARY 6, 2019 SCALE: 1" = 20'

**NOTES:**  
-ALL SETBACKS MUST BE VERIFIED BY THE OWNER AND/OR GENERAL CONTRACTOR.  
CURRENT ZONING: C1 COMMERCIAL  
VERTICAL DATUM: NAVD 88  
THIS DRAWING DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF WETLANDS, UTILITIES, RIGHT-OF-WAYS OR EASEMENTS IN REFERENCE TO OR LOCATED ON THIS PROPERTY.  
NO TITLE SEARCH PROVIDED OR STIPULATED.  
SURVEY CLASS: SUBURBAN



Prepared by:  
**FORESIGHT Services**  
Surveying & Precision Measurement

302 226 2229 phone    302 226 2239 fax    2103A Coastal Highway    Dewey Beach, DE 19971

5

EXHIBIT B

Code Section 115-79 Conditional Uses

LAW OFFICES

---

**T**UNNELL  
& **R**AYSOR, P.A.

Sussex County, DE  
Sunday, November 10, 2019

## Chapter 115. Zoning

### Article XI. C-1 General Commercial District

#### § 115-79. Conditional uses.

The following uses may be permitted as conditional uses when approved in accordance with the provisions of Article **XXIV** of this chapter:

Airports and landing fields or seaplane bases, provided that they shall comply with the recommendations of the Federal Aviation Administration

Aquariums, commercial

Beaches, commercial

Bus terminals

Cemeteries, including a crematorium if located at least 200 feet from the boundaries of the cemetery

Drive-in theaters

Exposition centers or fairgrounds

Heliports or helistops

Hospitals and sanitariums

Institutions, educational or philanthropic, including museums, art galleries and libraries

Outdoor amusement places and open-air drive-in theaters. Outdoor amusement places include, but are not limited to, batting cages, skating rinks, waterslides, miniature golf model racing tracks and similar recreational activities. Mobile or fixed-type cranes or lifting devices, not designed, not approved for, not manufactured for or not intended to carry, transport or in any fashion move individual(s) or person(s), shall be prohibited and shall not be used for amusement purposes.

[Added 8-11-1992 by Ord. No. 849; amended 3-30-1993 by Ord. No. 887; 8-22-2006 by Ord. No. 1870]

Public or governmental buildings and uses, including schools, parks, parkways, playgrounds and public boat landings

Public utilities or public service uses, buildings, generating or treatment plants, pumping or regulator stations, substations and transmission lines utilizing multilegged structures

Racetracks, any type, including horses, stock cars or drag strip

Recreation facilities, privately or commercially operated, such as a fishing or boating lake, picnic grounds or dude ranch, and accessory facilities, including sale of food, beverages, bait, incidentals, supplies and equipment

Residential, business, commercial or industrial uses when the purposes of this chapter are more fully met by issuing a conditional use permit

Special events such as circuses or carnival grounds, amusement parks or midways, festivals, concerts, race/walks or any other special event or gathering being held outdoors or within a temporary structure or at a site and for a purpose different from the designated use and usual occupancy of the premises and located on unincorporated lands within Sussex County, permanently or for a temporary time period exceeding three days. Special events not approved by the Director as



a permitted use under § 115-79 shall require a conditional use permit. All special events, regardless of duration, shall be subject to the requirements of the Sussex County Special Event Policy.

[Amended 5-1-1990 by Ord. No. 680; 11-10-1992 by Ord. No. 863; 8-20-2013 by Ord. No. 2316; 9-18-2018 by Ord. No. 2599]

Sports arenas or stadiums, commercial athletic fields or baseball parks

Swimming or tennis clubs, private, nonprofit or commercially operated

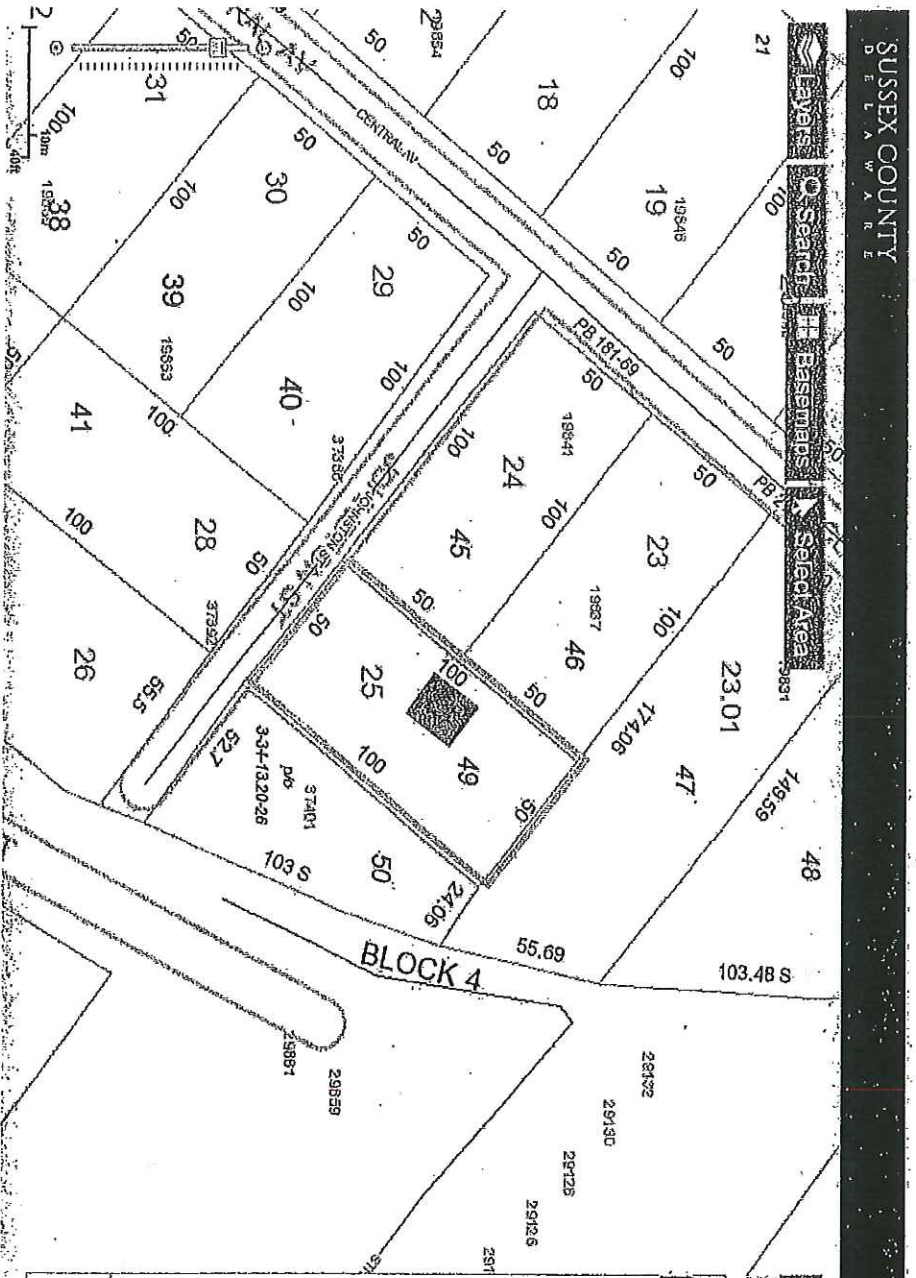
EXHIBIT C

Proposed Food Truck and Trailer Location

LAW OFFICES

**T**UNNELL  
& **R**AYSOR, P.A.

Beachfire Brewing Company LLC  
 Food Truck and Trailer Location  
 Temporary Removable Vendor Permit  
 Re: TMP 334-13.24.00, 25.00



SUSSEX COUNTY  
 DELAWARE

Layers Search Basemap Select Area

Print Help

Search results Hide search results Clear Selected

Selected Features: Parcel (1) Zoom

Book	4954
Page	225
Owner Name	CRIVELLA TONY
Second Owner Name	HAROLD E DUKES JR
Mailing Address	323 REHOBOTH AVE STE E
City	REHOBOTH BEACH
State	DE
Sewer Account	10-15-025
Description	SHOCKLEY SUBD.
Description 2	LOT 49 BLK 4
Description 3	
Land Code	CO
School	
Town Code	00
CAP	0

= Food Truck and Trailer Location  
 \* Complies with 5' side yard setback  
 \* Complies with 60' front yard setback  
 \* Not drawn to scale

Selected Features (1)

EXHIBIT D

Property Deed

LAW OFFICES

---

**T**UNNELL  
& **R**AYSOR, P.A.

Document# 201800035015 BK: 4954 PG: 225  
Recorder of Deeds, Scott Dailey On 9/26/2018 at 11:05:13 AM Sussex County, DE  
Consideration: \$0.00 County/Town: \$0.00 State: \$0.00 Total: \$0.00  
Doc Surcharge Paid Town: SUSSEX COUNTY

TAX MAP #: 3-34 13.20 25.00 & 26.00  
PREPARED BY & RETURN TO:  
Tunnell & Raysor, P.A.  
323 Rehoboth Avenue  
Suite E  
Rehoboth Beach, DE 19971  
File No. AS10683/MLG

THIS DEED, made this September 25, 2018,

- BETWEEN -

TONY CRIVELLA and HAROLD E. DUKES, JR., of 323 Rehoboth Avenue, Suite E, Rehoboth Beach, DE 19971, parties of the first part,

- AND -

TONY CRIVELLA, as to 50% interest and HAROLD E. DUKES, JR., as to a 50% interest of 323 Rehoboth Avenue, Suite E, Rehoboth Beach, DE 19971, as tenants in common, parties of the second part.

WITNESSETH: That the said party of the first part, for and in consideration of the sum of **ONE DOLLAR (\$1.00)**, lawful money of the United States of America, the receipt whereof is hereby acknowledged, hereby grants and conveys unto the parties of the second part, and their heirs and assigns, in fee simple, the following described lands, situate, lying and being in Sussex County, State of Delaware:

Parcel: 3-34 13.20 25.00

ALL that certain lot, piece or parcel of land lying and situate in Lewes and Rehoboth Hundred, Sussex County, Delaware, being all of Lot No. 49, Block 4, in the subdivision known as "Subdivision of a Part of George E. Shockley's Land" prepared by John C. Lank, Surveyor received for record on January 30, 1942, and appearing of record in the Office of the Recorder of Deeds, in and for Sussex County, Delaware, in Deed Book 334, Page 152.

TUNNELL  
& RAYSOR, P.A.  
Rehoboth Beach, DE

Document# 201800035015 BK: 4954 PG: 226

Recorder of Deeds, Scott Dailey On 9/26/2018 at 11:05:13 AM Sussex County, DE

Doc Surcharge Paid

**Parcel: 3-34 13.20 26.00**

ALL that certain lot, piece or parcel of land lying and situate in Lewes and Rehoboth Hundred, Sussex County, Delaware, being all of Lot No. 42, Block 3, in the subdivision known as "Subdivision of a Part of George E. Shockley's Land" prepared by John C. Lank, Surveyor received for record on January 30, 1942, and appearing of record in the Office of the Recorder of Deeds, in and for Sussex County, Delaware, in Deed Book 334, Page 152.

ALL that certain lot, piece or parcel of land lying and situate in Lewes and Rehoboth Hundred, Sussex County, Delaware, being all of Lot No. 50, Block 4, in the subdivision known as "Subdivision of a Part of George E. Shockley's Land" prepared by John C. Lank, Surveyor received for record on January 30, 1942, and appearing of record in the Office of the Recorder of Deeds, in and for Sussex County, Delaware, in Deed Book 334, Page 152.

BEING the same lands conveyed to Tony Crivella and Harold E. Dukes, Jr. from W & C Catts Family Limited Partnership, a Delaware Limited Partnership, Constance R. Catts, Individually, Constance R. Catts, Trustee under Revocable Trust Agreement of Constance R. Catts dated 7/16/98 and Constance R. Catts, Survivor Trustee of The Wilson B. Catts Revocable Trust Agreement dated 7/16/98, by Deed dated September 18, 2018, recorded in the Office of the Recorder of Deeds in and for Sussex County, Delaware, on September 19, 2018, in Deed Book 4951, Page 140.

**SUBJECT** to any and all restrictions, reservations, conditions, easements and agreements of record in the Office of the Recorder of Deeds in and for Sussex County, Delaware.

Document# 201800035015 BK: 4954 PG: 227


Recorder of Deeds, Scott Dailey On 9/26/2018 at 11:05:13 AM Sussex County, DE

Doc Surcharge Paid

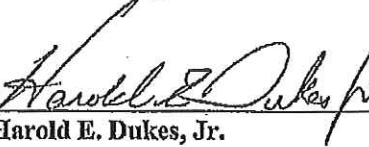
IN WITNESS WHEREOF, the parties of the first part have set their hands and seals the day and year first above written.

Signed, Sealed and Delivered in the presence of:

Witness

  
Tony Crivella (SEAL)

Witness

  
Harold E. Dukes, Jr. (SEAL)

STATE OF DELAWARE, COUNTY OF SUSSEX: to-wit

BE IT REMEMBERED, that on this 25<sup>th</sup> day of September, A.D. 2018, personally appeared before me, the Subscriber, a Notary Public in and for the State and County aforesaid, Tony Crivella and Harold E. Dukes, Jr. parties to this Indenture, known to me personally to be such, and acknowledged this Indenture to be their act and deed.

GIVEN under my Hand and Seal of Office the day and year aforesaid.

MICHELLE L. GUNN  
NOTARY PUBLIC  
STATE OF DELAWARE  
My Commission Expires June 6, 2021


  
Notary Public

EXHIBIT E

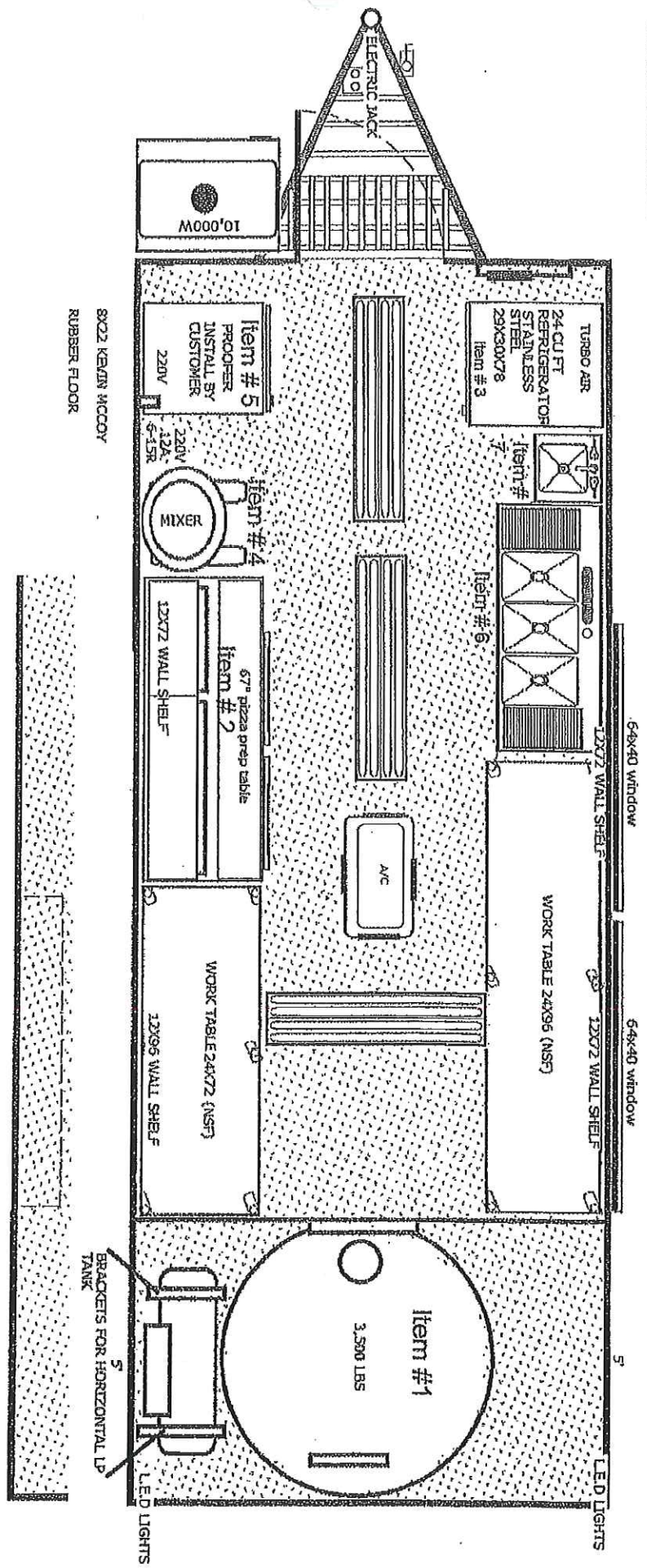
Food Truck Layout

Food Truck Business License

LAW OFFICES

**T**UNNELL  
& **R**AYSOR, P.A.





8X22 KEVIN MCCOY  
RUBBER FLOOR

BRACKETS FOR HORIZONTAL LP TANK  
LED LIGHTS

LICENSE NO. 2017607299 DEL.

POST CONSPICUOUSLY

STATE OF DELAWARE

DIVISION OF REVENUE

**VALID**

01/01/19 - 12/31/19  
NOT TRANSFERABLE

DLN: 18 95623 60

BUSINESS CODE  
GROUP CODE

393

LICENSED  
ACTIVITY

RETAILER-RESTAURANT

DATE ISSUED: 12/24/18

LICENSE FEE: \$ 75.00

**\*\*VALIDATED\*\***

**2019**

MAILING ADDRESS

**BUSINESS LICENSE**

BUSINESS LOCATION

DA NIZZA WOOD FIRED PIZZA LLC  
DA NIZZA WOOD FIRED PIZZA  
PO BOX 993  
HOCKESSIN DE 19707-0993



DA NIZZA WOOD FIRED PIZZA  
30 E PINE ST  
GEORGETOWN DE 19947-1904

IS HEREBY LICENSED TO PRACTICE, CONDUCT OR ENGAGE IN THE OCCUPATION  
OR BUSINESS ACTIVITY INDICATED ABOVE IN ACCORDANCE WITH THE LICENSE  
APPLICATION DULY FILED PURSUANT TO TITLE 30, DEL. CODE.

JENNIFER R. HUDSON  
DIRECTOR OF REVENUE

**PLANNING & ZONING COMMISSION**

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE-CHAIRMAN  
J. BRUCE MEARS  
R. KELLER HOPKINS  
HOLLY J. WINGATE



**Sussex County**

DELAWARE  
sussexcountyde.gov  
302-855-7878 T  
302-854-5079 F  
JAMIE WHITEHOUSE, AICP, MRTPI  
DIRECTOR

**PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET**  
Planning Commission Public Hearing Date July 23, 2020.

Application: (CU 2216) Kenneth Dominic Alton Drummond – Quality Care Homes

Applicant: Kenneth Dominic Alton Drummond – Quality Care Homes  
20366 Hopkins Road  
Lewes, DE 19958

Owner: Kenneth Dominic Alton Drummond  
20366 Hopkins Road  
Lewes, DE 19958

Site Location: 20366 Hopkins Road  
Lewes, DE 19958

Current Zoning: Agricultural Residential (AR-1)

Type of Conditional Use Requested: Home remodeling & Repair Services; Storage Repair Maintenance; Light Building Material and Storage and General Office & Manager’s Residence

Comprehensive Land Use Plan Reference: Low Density

Councilmanic District: Mr. Burton

School District: Cape Henlopen School District

Fire District: Lewes Fire District

Sewer: Tier 3- Coordinated CPCN Areas

Water: Private

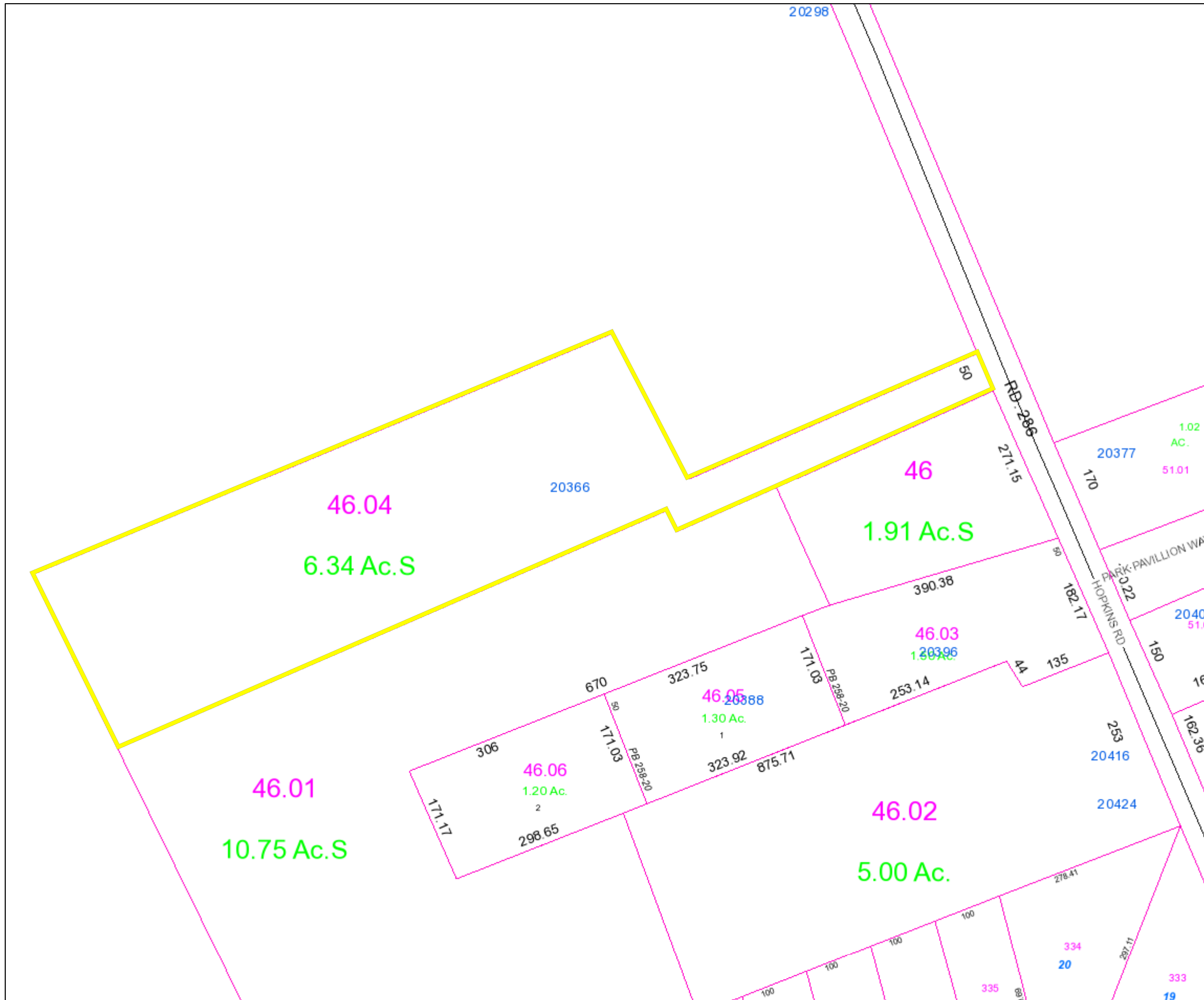
Site Area: 6.34 acres +/-

Tax Map ID.: 234-5.00-46.04





# Sussex County



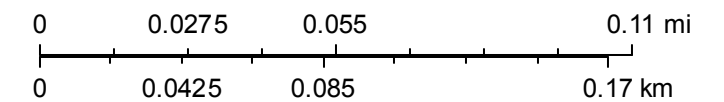
<b>PIN:</b>	234-5.00-46.04
<b>Owner Name</b>	DRUMMOND KENNETH DOMINIC TTEE
<b>Book</b>	5204
<b>Mailing Address</b>	20366 HOPKINS RD
<b>City</b>	LEWES
<b>State</b>	DE
<b>Description</b>	SW/RT 286
<b>Description 2</b>	3115' NW/RT 285
<b>Description 3</b>	N/A
<b>Land Code</b>	

- polygonLayer**

Override 1
- polygonLayer**

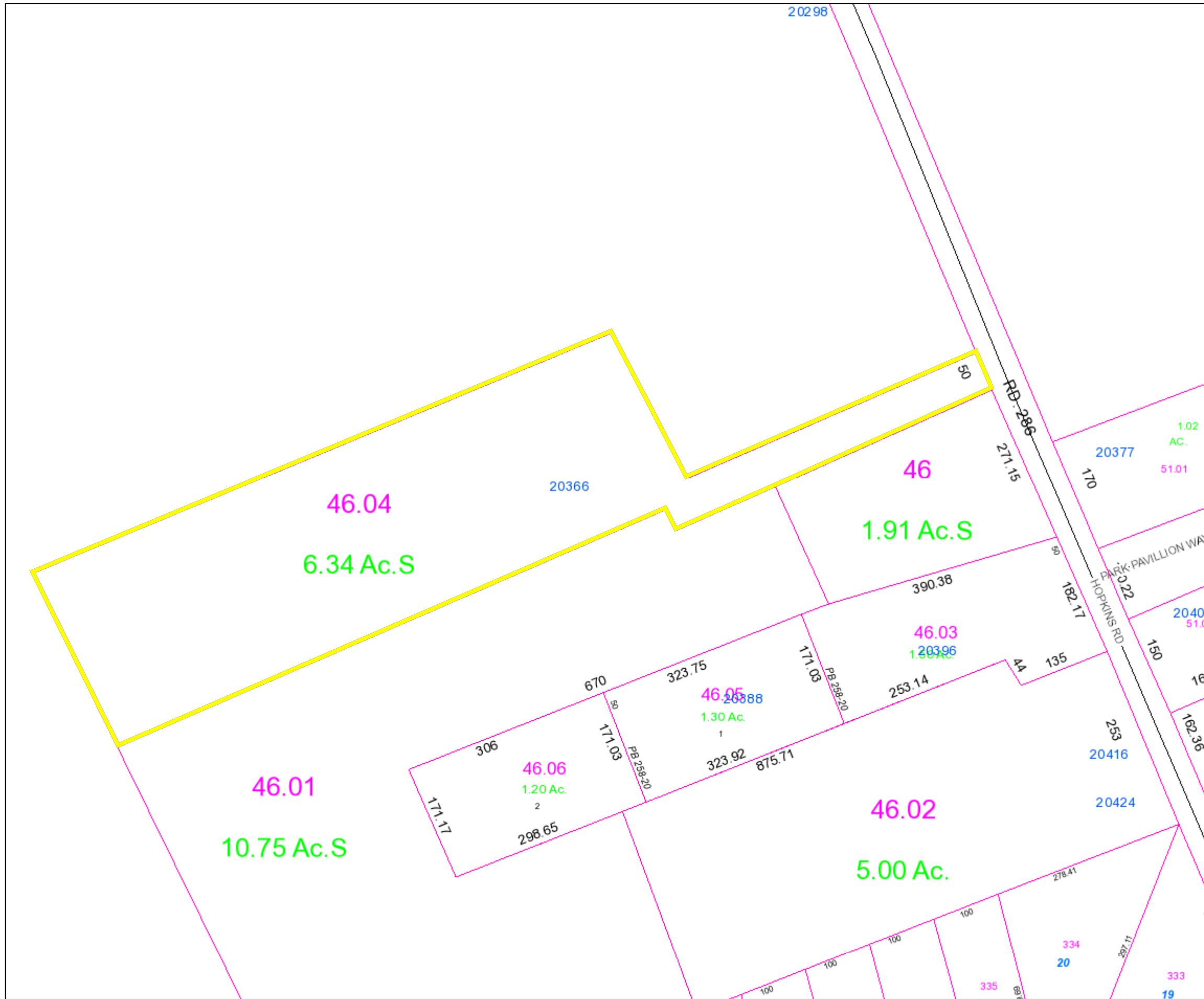
Override 1
- Tax Parcels
- 911 Address
- Streets

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# Sussex County



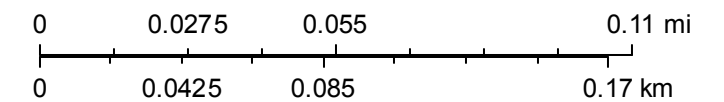
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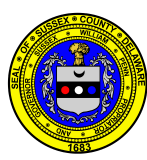
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Override 1
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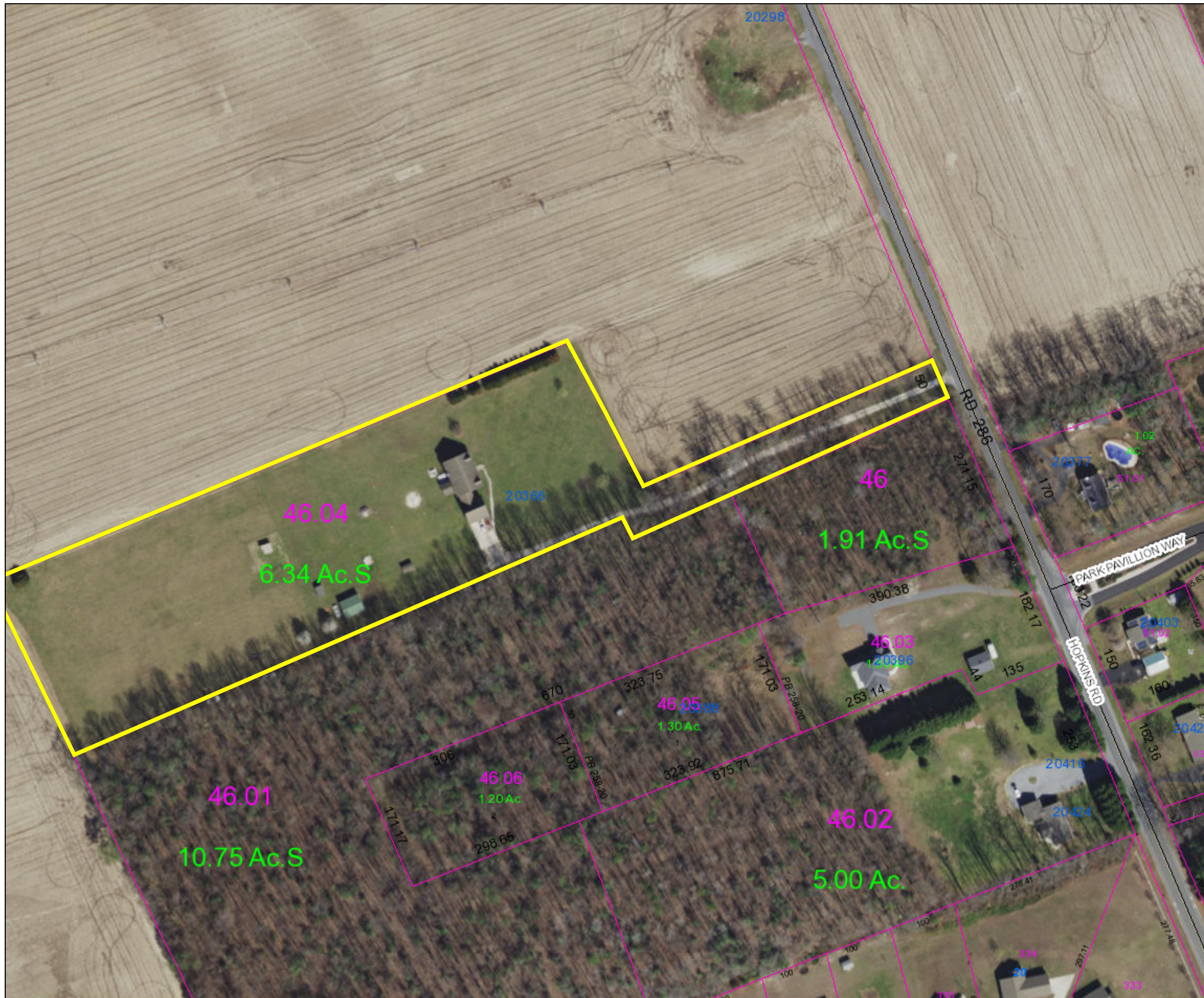
Override 1
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- 911 Address
- Streets

1:2,257





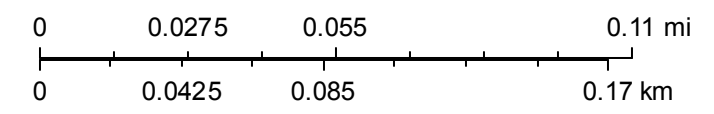
# Sussex County



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<b>Owner Name</b>	DRUMMOND KENNETH DOMINIC TTEE
<b>Book</b>	5204
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- polygonLayer**
- Override 1
- polygonLayer**
- Override 1
- Tax Parcels
- 911 Address
- Streets

1:2,257



JAMIE WHITEHOUSE, AICP  
DIRECTOR OF PLANNING & ZONING  
(302) 855-7878 T  
(302) 854-5079 F  
jamie.whitehouse@sussexcountyde.gov



# Sussex County

DELAWARE  
sussexcountyde.gov

## Memorandum

To: Sussex County Planning Commission Members  
From: Jennifer Norwood, Planner I  
CC: Vince Robertson, Assistant County Attorney and applicant  
Date: July 1, 2020  
RE: Staff Analysis for CU 2216 Kenneth Dominic Alton Drummond – Quality Care Homes

---

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CU 2216 Kenneth Dominic Alton Drummond – Quality Care Homes to be reviewed during the July 23, 2020 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for parcel 234-5.00-46.04 to allow for a home remodeling & repair services, storage repair maintenance, light building material and storage, and general office & manager's residence. The size of the property is 6.34 ac. +/-, a 3.57 ac. +/- portion of the property will be used for the proposed Conditional Use. The property is zoned AR-1 (Agricultural Residential Zoning District) and located southwest side of Hopkins Rd. approximately 0.58 miles northwest of Beaver Dam Rd. (Rt. 23).

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework for how land is to be developed. As part of the Comprehensive Plan a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the property has the land use designation of Low-Density Area.

The surrounding parcels to the north, east, west, and south are all designated on the Future Land Use Map as "Low Density Area". The uses that the Low-Density Area land use designation recognizes are primarily agricultural activities and homes. Business development should be largely confined to businesses addressing the needs of these two uses. Industrial and agribusiness uses that support or depend on agriculture should be permitted. The focus of retail and office uses in Low Density should be providing convenience goods and services to nearby residents. Commercial uses in these residential areas should be limited in their location, size and hours of operation. More intense commercial uses should be avoided in these areas.

The property is zoned AR-1 (Agricultural Residential Zoning District). The adjoining and surrounding properties to the north, south, east and west are all zoned AR-1 (Agricultural Residential Zoning District).

Since 2011, there have been no Conditional Use approvals within a 1-mile radius of the application.

Based on the analysis of the land use, surrounding zoning and uses, the Conditional Use to allow for



COUNTY ADMINISTRATIVE OFFICES  
2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DELAWARE

a home remodeling & repair services, storage repair maintenance, light building material and storage, general office and a manager's residence could be considered consistent with the land use, area zoning and surrounding uses.

Staff notes the conceptual site plan shows a proposed 4,800 square foot two (2) story building for storage, office space and manager residence, and a 4,800 square foot one (1) story building for future storage area.



File #: CU# 2216

201914497

## Planning & Zoning Commission Application

### Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

#### Type of Application: (please check applicable)

Conditional Use

Zoning Map Amendment

#### Site Address of Conditional Use/Zoning Map Amendment

20366 Hopkins Road Lewes, DE 19958

#### Type of Conditional Use Requested:

Home remodeling & Repair Services; Storage Repair and Maintenance; Light Building Material and Storage and General Office for Quality Care Homes and Managers Residence.

Tax Map #: 234-5.00-46.04

Size of Parcel(s): 3.57 +/- AC

Current Zoning: AR-1

Proposed Zoning: AR-1 CU

Size of Building: (2) - 4,800 SF each.

Land Use Classification: LOW DENSITY AREA | LEVEL 4

Water Provider: PRIVATE

Sewer Provider: PRIVATE

#### Applicant Information

Applicant Name: Kenneth Dominic Alton Drummond - Quality Care Homes

Applicant Address: 20366 Hopkins Road

City: Lewes

State: DE

Zip Code: 19958

Phone #: (302) 313-4773

E-mail: qualitycarehomesde@gmail.com

#### Owner Information

Owner Name: Kenneth Dominic Alton Drummond - Quality Care Homes

Owner Address: 20366 Hopkins Road

City: Lewes

State: DE

Zip Code: 19958

Phone #: (302) 313-4773

E-mail: qualitycarehomesde@gmail.com

#### Agent/Attorney/Engineer Information

Agent/Attorney/Engineer Name: Alan M Decktor | PENNONI

Project: DDRUM19001

Agent/Attorney/Engineer Address: 18072 Davidson Drive

City: Milton

State: DE

Zip Code: 19968

Phone #: (302) 684-8030

E-mail: adecktor@pennoni.com



# Check List for Sussex County Planning & Zoning Applications

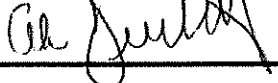
The following shall be submitted with the application

- Completed Application**
- Provide eight (8) copies of the Site Plan or Survey of the property**
  - Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
  - Provide a PDF of Plans (may be e-mailed to a staff member)
  - Deed or Legal description
- Provide Fee \$500.00**
- Optional - Additional information for the Commission/Council to consider (ex. architectural elevations, photos, exhibit books, etc.)** If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.
- Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.**
- DelDOT Service Level Evaluation Request Response**
- PLUS Response Letter (if required)**

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

**Signature of Applicant/Agent/Attorney**

  
\_\_\_\_\_

Date: 8/29/19

**Signature of Owner**

  
\_\_\_\_\_

Date: 8/29/19

**For office use only:**

Date Submitted: 12/18/19  
Staff accepting application: ceh  
Location of property: \_\_\_\_\_

Fee: \$500.00 Check #: 2723  
Application & Case #: 201914497

Subdivision: \_\_\_\_\_  
Date of PC Hearing: \_\_\_\_\_ Recommendation of PC Commission: \_\_\_\_\_  
Date of CC Hearing: \_\_\_\_\_ Decision of CC: \_\_\_\_\_



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. Box 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

August 21, 2019

Ms. Janelle Cornwell, Director  
Sussex County Planning & Zoning  
P.O. Box 417  
Georgetown, DE 19947

Dear Ms. Cornwell:

The Department has completed its review of a Service Level Evaluation Request (SLER) for the **Kenneth Dominic / Alton Drummond – Quality Care Homes** conditional application, which we received on July 30, 2019. This application is for an approximately 6.34-acre parcel (Tax Parcel: 234-5.00-46.04). The subject land is located on the west side of Hopkins Road (Sussex Road 286), approximately 3,000 feet northwest of the intersection of Beaver Dam Road (Sussex Road 285). The subject land is currently zoned as AR-1 (Agricultural Residential) and the applicant is seeking a conditional use approval to operate a variety of uses including home remodeling and repair services, storage repair and maintenance, light building material and storage, and general office.

Per the 2018 Delaware Vehicle Volume Summary, the annual average daily traffic volume along the segment of Hopkins Road where the subject land is located, which is from Fisher Road (Sussex Road 262) to Beaver Dam Road, is 885 vehicles per day.

Our volume-based criteria for requiring a traffic impact study (TIS), addressed in Section 2.2.2.1 of the Development Coordination Manual, are that a development generates more than 500 trips per day or 50 trips during a weekly peak hour. While it seems that the above criteria could be met, we presently cannot predict the site's trip generation with enough accuracy to make a TIS useful. Thus, we recommend that this rezoning application be considered without a TIS and that the need for a TIS be evaluated when a subdivision or land development plan is proposed.

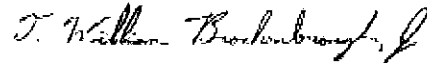
If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.



Ms. Janelle M. Cornwell  
Page 2 of 2  
August 21, 2019

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.  
County Coordinator  
Development Coordination

TWB:cjm

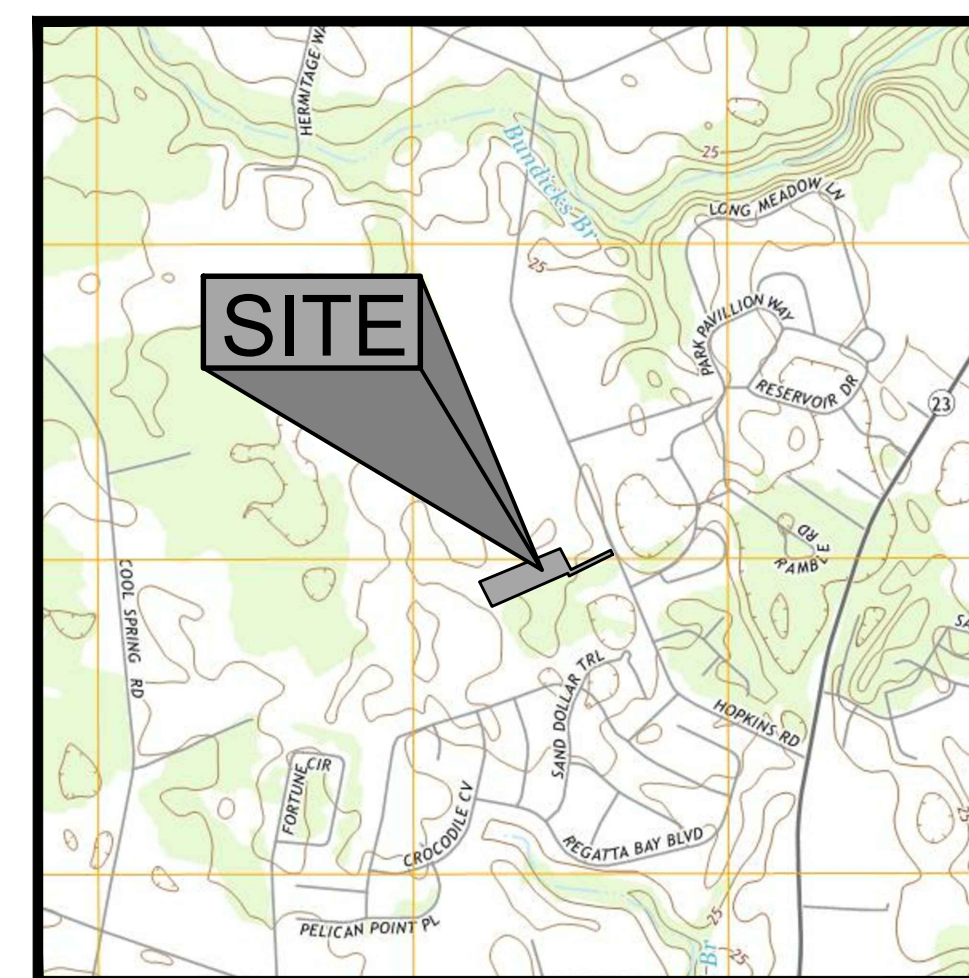
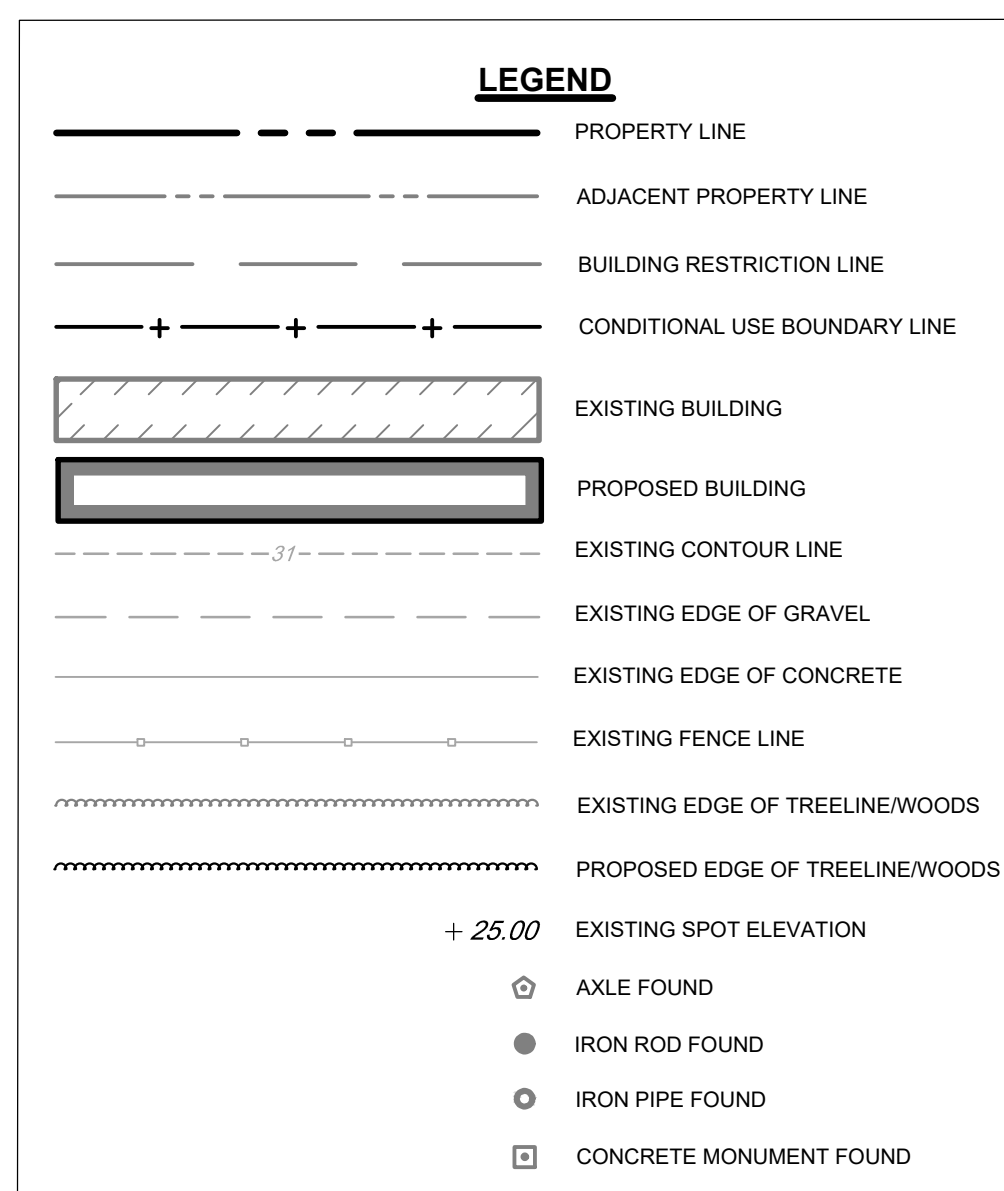
cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues  
Kenneth Dominic / Alton Drummond – Quality Care Homes, Applicant  
J. Marc Coté, Assistant Director, Development Coordination  
Gemez Norwood, South District Public Works Manager, Maintenance & Operations  
Susanne Laws, Sussex County Subdivision Coordinator, Development Coordination  
Derek Sapp, Subdivision Manager, Development Coordination  
Kevin Hickman, Subdivision Manager, Development Coordination  
Brian Yates, Subdivision Manager, Development Coordination  
John Andrescavage, Subdivision Manager, Development Coordination  
Troy Brestel, Project Engineer, Development Coordination  
Claudy Joinville, Project Engineer, Development Coordination

**SITE DATA:**

- TAX MAP NUMBER: 234-5.00-46.04 DEED BOOK 4848, PG 210
- DEVELOPER NAME: KENNETH DOMINIC ALTON DRUMMOND
- DEVELOPER ADDRESS: 20366 HOPKINS ROAD LEWES, DE 19958
- SITE ADDRESS: 20366 HOPKINS ROAD LEWES, DE 19958
- CURRENT ZONING: AR-1 (AGRICULTURAL-RESIDENTIAL)
- PROPOSED ZONING: AR-1(CONDITIONAL USE)
- PRESENT USE: RESIDENTIAL HOME REPAIR & IMPROVEMENTS
- PROPOSED USE: RESIDENTIAL HOME REPAIR & IMPROVEMENTS
- REQUIRED SETBACKS: FRONT - 40 FEET SIDE - 15 FEET REAR - 20 FEET
- BUILDING HEIGHT: 42' ALLOWED
- PARKING (ARTICLE XXII: OFF-STREET PARKING, CODE SECTION 115-162): (1 FOR EVERY 2 EMPLOYEES ON THE MAJOR SHIFT ESTABLISHMENTS) 2 SPACES REQUIRED  
MANAGER RESIDENCE: 2 + 4 SPACES(1 PER EVERY 2 EMPLOYEES MAX 8 EMPLOYEES)  
TOTAL REQUIRED SPACES: 12 - ALLOWING FOR FUTURE GROWTH  
PROPOSED EMPLOYEE PARKING:
- WATER SUPPLY: EXISTING PRIVATE ON-SITE WELL WATER IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENTS OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DIVISION OF PUBLIC HEALTH
- SEWER SUPPLY: EXISTING PRIVATE ON-SITE SEPTIC
- LATITUDE AND LONGITUDE STATE PLAN COORDINATES: LONGITUDE: W075° 13' 21.65" LATITUDE: N038° 42' 16.39"
- TOTAL AREA (GROSS): 6.34± ACRES  
CONDITIONAL USE AREA: 3.57± ACRES  
REMAINING PARCEL 46.04 AREA: 2.77± ACRES  
MINIMUM LOT AREA: 32,670 SF  
MINIMUM LOT WIDTH: 100 FT  
MINIMUM LOT DEPTH: 100 FT
- NET DEVELOPMENT AREA: 6.34± AC.
- WETLAND AREA: 0.00± AC. (DNREC NAVMAP)
- PROPOSED DISCHARGE LOCATION: REHOBOTH BAY VIA HERRING CREEK & LOVE CREEK
- LIMIT OF DISTURBANCE: TO BE DETERMINED
- 2015 STATE STRATEGIES & INVESTMENT LEVELS: LEVEL 4
- SITE CALCULATIONS  
BUILDING AREA EX = 5,907 SF (0.14 AC.) PR = 15,507 SF (0.36 AC.)  
GRASS AREA EX = 218,393 SF (5.01 AC.) PR = 166,388 SF (3.82 AC.)  
PAVEMENT/STONE AREA EX = 28,463 SF (0.65 AC.) PR = 56,806 SF (1.29 AC.)  
WOODED AREA EX = 23,223 SF (0.53 AC.) PR = 37,285 SF (0.86 AC.)  
TOTAL EX = 275,986 SF (6.33 AC.) PR = 275,986 SF (6.33 AC.)
- DELDOT  
21.1. ROAD NAME - SCR 48 | HOPKINS ROAD  
21.1.1. FUNCTIONAL CLASSIFICATION - LOCAL  
21.1.2. AADT = 885 (2018)  
21.2. SPEED LIMIT = 40 MPH  
21.3. EXISTING RESIDENTIAL COMMERCIAL ENTRANCE  
21.4. PROXIMITY TO TRANSPORTATION DISTRICTS: NONE KNOWN

**NOTES:**

- THE BOUNDARY INFORMATION SHOWN ON THIS PLAT WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD AND IS THE RESULT OF AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES INC PERFORMED ON MAY 6, 2019.
- THE TOTAL AREA FOR THE SUBJECT PROPERTY IS 6.34 ACRES±.
- THIS SURVEY DOES NOT VERIFY THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHTS-OF-WAY CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS REQUESTED OR PROVIDED.
- THIS PROPERTY APPEARS ON SUSSEX COUNTY TAX MAP 234-5.00 AS PARCEL 46.04, AND IS CURRENTLY ZONED AR-1 (AGRICULTURAL RESIDENTIAL).
- CLASS OF SURVEY: SUBURBAN.
- DEED REFERENCE: DEED BOOK 4848, PAGE 210. PLAT REFERENCE: PLAT BOOK 66, PAGE 215.
- PROPERTY BOUNDARY BEARING SYSTEM IS BASED ON DELAWARE STATE PLANE COORDINATE SYSTEM. HORIZONTAL DATUM NAD83.
- THE PROPERTY IS LOCATED IN ZONE "X" (UNSHADED) ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 10005C0330K, LAST REVISED 1/05/05. ZONE "X" (UNSHADED) IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN.
- THERE ARE NO WETLANDS ON THE PROPERTY ACCORDING TO THE DNREC ENVIRONMENTAL NAVIGATOR WEBSITE.
- THE PROPERTY IS ZONED AR-1 (AGRICULTURAL-RESIDENTIAL DISTRICT).
- BUILDING SETBACKS (CH. 115-25C): FRONT - 40' SIDE - 15' REAR - 20'
- THE SUBJECT SITE IS LOCATED IN THE LOVE CREEK AND THE HERRING CREEK AREAS OF THE REHOBOTH BAY WATERSHED, PER DELAWARE DEPARTMENT OF NATURAL RESOURCES & ENVIRONMENTAL CONTROL (DNREC) ENVIRONMENTAL NAVIGATOR WEBSITE. STORMWATER DISCHARGE WILL BE HANDLED VIA EXISTING DISCHARGE TO THESE WATERSHEDS.
- UNLESS SPECIFICALLY STATED OR SHOWN HEREON TO THE CONTRARY, THIS SURVEY IS MADE SUBJECT TO AND DOES NOT LOCATE OR DELINEATE RIGHTS OR INTEREST OF THE UNITED STATES OF AMERICA OR STATE OF DELAWARE OVER LANDS NOW OR FORMERLY FLOWED BY TIDEWATER, BUT NO LONGER VISIBLE OR PHYSICALLY EVIDENT, OR LANDS CONTAINING ANY ANIMAL, MARINE OR BOTANICAL SPECIES REGULATED BY OR UNDER THE JURISDICTION OR ANY FEDERAL, STATE, OR LOCAL AGENCY.
- BUILDING SETBACK LINES, ZONING REGULATIONS OR LINES ESTABLISHED BY ANY FEDERAL, STATE OR LOCAL AGENCY WHICH MAY AFFECT THE BUILDING OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.
- ANY SUBSURFACE OR SUBTERRANEAN CONDITION, EASEMENTS OR RIGHTS, INCLUDING, BUT NOT LIMITED TO MINERAL OR MINING RIGHTS, OR THE LOCATION OF OR RIGHTS TO ANY SUBSURFACE STRUCTURES, CONTAINERS OR FACILITIES OR ANY OTHER NATURAL OR MAN-MADE SUBSURFACE CONDITION WHICH MAY OR MAY NOT AFFECT THE USE OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.
- NO UNDERGROUND UTILITY MARKING WAS PERFORMED FOR THIS SURVEY.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY OWNER.
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN THE PLAN.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE REJECTED.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO BE PERFORMED. IT MUST BE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO FIELD LOCATE AND RECORD ANY DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REMOVED OR REPLACED. ENGINEER TO VERIFY LOCATION AND EXTENT OF DAMAGE.
- DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REPLACED OR REMOVED DURING CONSTRUCTION SHALL BE IMMEDIATELY REPORTED TO ENGINEER. CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED WORK WITHOUT CHARGE TO THE OWNER.
- ALL SECURITY LIGHTING (IF NECESSARY) SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
- ALL FIRE LANES, EXITS, STANDPIPE AND SPRINKLER CONNECTIONS WILL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS.
- MISS UTILITY SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO EXCAVATION.
- MAINTENANCE OF THE STREETS WITHIN THE SITE WILL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR PROPERTY OWNERS WITHIN THE SITE. THE STATE AND COUNTY ASSUME NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE HEIGHT, LOCATION, AND MATERIAL OF ALL FENCES, WALLS, SCREEN PLANTING AND LANDSCAPING WILL BE SHOWN ON THE FINAL SITE PLAN.
- ANY PROPOSED SIGN DETAILS WILL BE SUBMITTED SEPARATELY.



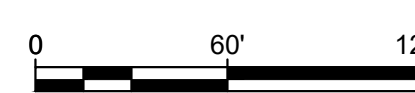
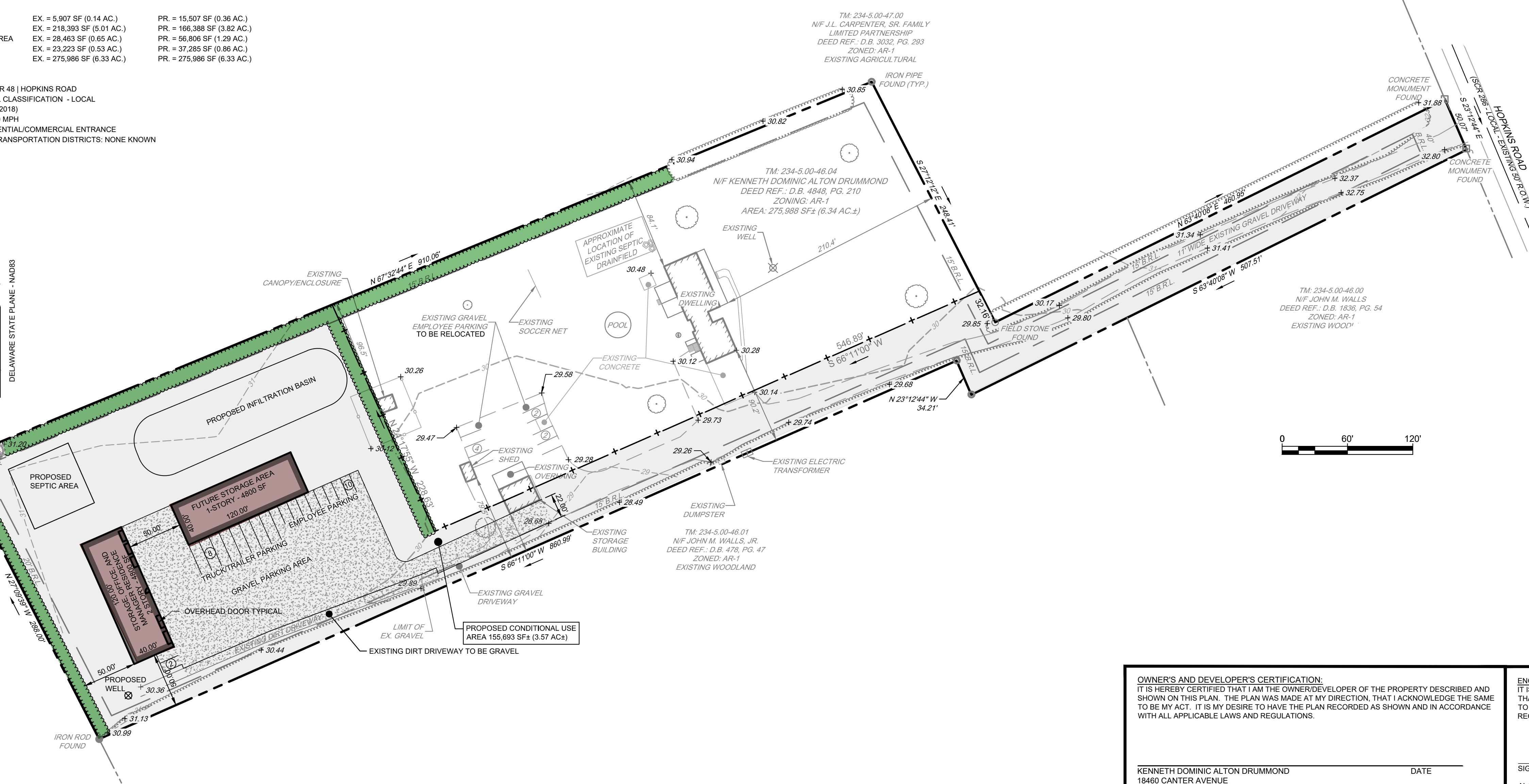
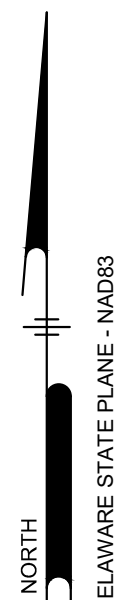
**VICINITY MAP**  
SCALE: 1" = 2000'

**SITE INFORMATION:**

**SITE ADDRESS:**  
20366 HOPKINS ROAD  
LEWES, DE 19958

**OWNER/DEVELOPER:**  
KENNETH DOMINIC ALTON DRUMMOND  
20366 HOPKINS ROAD  
LEWES, DE 19958

**ENGINEER:**  
PENNONI ASSOCIATES, INC.  
18072 DAVIDSON DRIVE  
MILTON, DE 19968



**OWNER'S AND DEVELOPER'S CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

\_\_\_\_\_  
KENNETH DOMINIC ALTON DRUMMOND  
18480 CANTER AVENUE  
LEWES, DELAWARE 19958  
(302)-313-4773

\_\_\_\_\_  
DATE

**ENGINEER CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM A PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE. THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

\_\_\_\_\_  
ALAN M. DECKTOR, PE (DE PE #17771)  
PENNONI ASSOCIATES, INC.  
18072 DAVIDSON DRIVE MILTON, DE 19968

\_\_\_\_\_  
DATE

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

**LANDS OF KENNETH DOMINIC ALTON DRUMMOND**  
SUSSEX COUNTY TWP# 234-5.00-46.04  
LEWES & REHOBOTH HUNDRED  
LEWES, DELAWARE 19958

**CONDITIONAL USE SITE PLAN**

KENNETH DOMINIC ALTON DRUMMOND  
20366 HOPKINS ROAD  
LEWES, DELAWARE 19958

NO.	DATE	REVISIONS	BY
1	12/17/2019	UPDATED LAYOUT PER CLIENT SPECIFICATION	

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSION OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	DDRUM19001
DATE	2019-07-16
DRAWING SCALE	1" = 60'
DRAWN BY	MW
APPROVED BY	AMD

**EX1001**  
SHEET 1 OF 1

**PENNONI ASSOCIATES, INC.**  
18072 Davidson Drive  
Milton, DE 19968  
T 302.684.8030 F 302.684.8054

# QUALITY CARE HOMES

## KENNETH DOMINIC ALTON DRUMMOND

CASE NO. CU 2216

### ZONING MAP AMENDMENT FROM AR-1 TO AR-1 CU

**OWNER:**

KENNETH DOMINIC ALTON DRUMMOND  
 20366 HOPKINS ROAD  
 LEWES, DE 19958

**DEVELOPER:**

QUALITY CARE HOMES  
 KENNETH DOMINIC ALTON DRUMMOND  
 20366 HOPKINS ROAD  
 LEWES, DE 19958

**PLANNER/ENGINEER/SURVEYOR:**

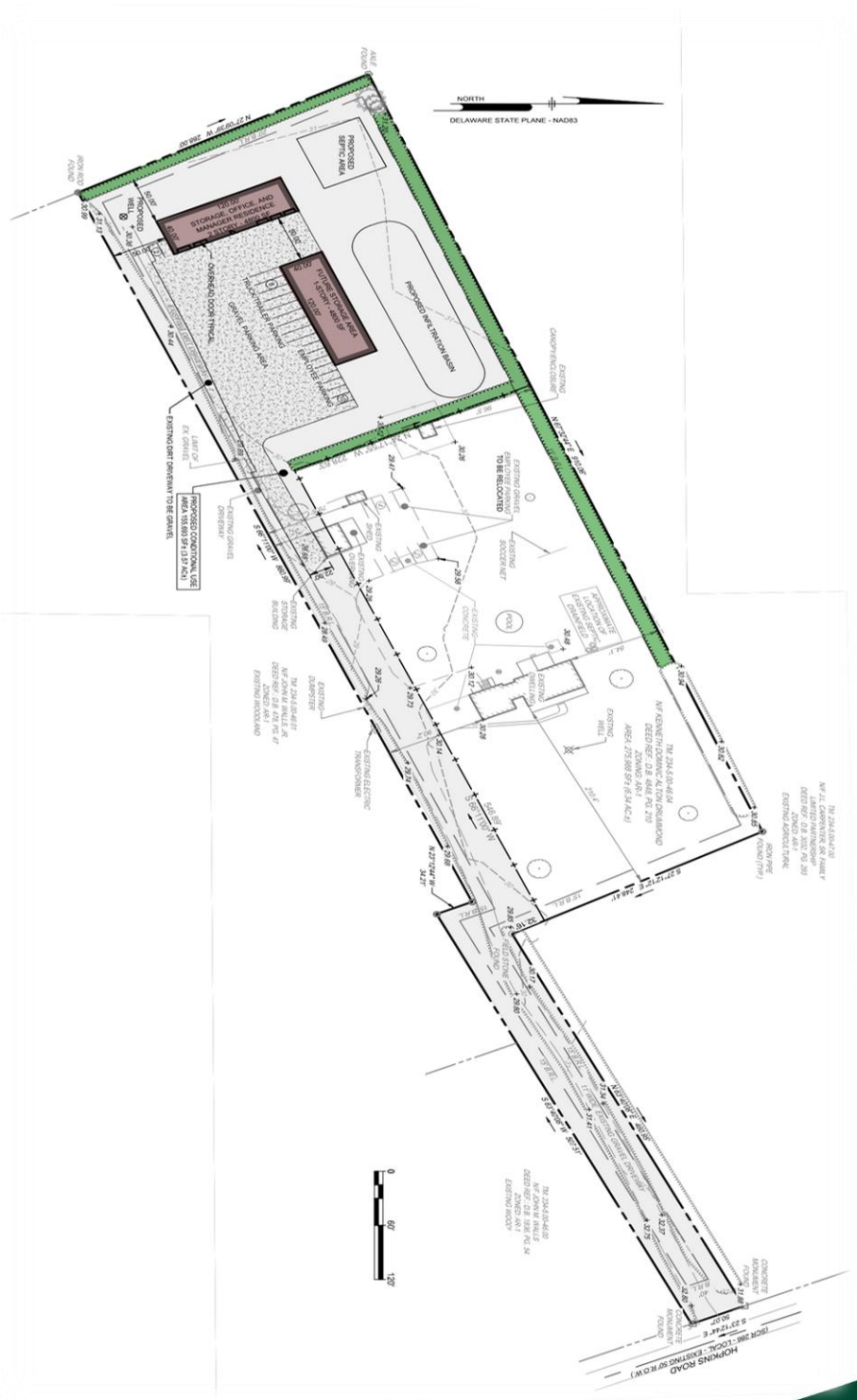
PENNONI  
 18072 DAVIDSON DRIVE  
 MILTON, DE 19968  
 MARK H. DAVIDSON, PRINCIPAL LAND PLANNER  
 ALAN DECKTOR, PE., ENV SP  
 JOHN W. HAUPT, PLS

**ENVIRONMENTAL:**

PENNONI & ACCENT ENVIRONMENTAL  
 WILLIAM J. GANGLOFF, Ph.D. PROFESSIONAL SOIL  
 SCIENTIST

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	d. SFR RESPONSE
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**QUALITY CARE HOMES  
KENNETH DOMINIC ALTON DRUMMOND**

CASE NO. CU 2204

ZONING MAP AMENDMENT FROM AR-1 TO AR-1 CU

PERSPECTIVE OF YARD



# Mark H. Davidson / Vice President

## Principal Land Planner/Office Director

### EDUCATION

University of Delaware; Civil Engineering, (1986-1990)

Land Surveying, Delaware Technical & Community College (1984-1986) and Wastewater Microbiology Diploma (1997)

Land Planning, Institute for Public Administration (2006)

### CERTIFICATIONS

DNREC Class A Percolation Tester & Class B Septic Designer, (DE #2418)

Sediment & Stormwater Management, Responsible Personnel, DE (#8760) and MD (#4914)

DNREC Certified Construction Reviewer: DE (#1270)

Delaware Notary

### TRAININGS

Hydrology, Delaware TR-20 (1993)

Reducing Flood Hazard in Coastal Development (1996)

Law for Managers/Supervisors (1999)

State and Federal Laws (2000)

Advanced Real Estate Law in Delaware (2002)

Land Conservation and Historic Preservation (2003)

Land Surveying Business Diploma (1998)

Project Manager Training I, Pennoni (2015)

### PROFESSIONAL AFFILIATIONS

National Onsite Wastewater Recycling Association

Delaware Onsite Wastewater Recycling Association

American Planning Association

American Institute of Certified Planners

### HONORS/AWARDS

Association of Professionals Philanthropy, Brandywine Chapter Fundraising Nominee (2014)

Notable Networker Award, BNI (2013)

### EXPERIENCE SUMMARY

Mark H. Davidson serves as Vice President of Pennoni and Office Director for our Southern Delaware, Milton Office. Mark also serves as the Principal Land Planner for Pennoni. He has over 33-years of past experience in Surveying, Engineering, Consulting, Construction and Land Planning. For 12-years he owned a professional engineering, surveying, land planning, environmental and consulting firm that provided professional consulting and design in land planning for residential, industrial, institutional, municipal and commercial applications to a wide range of clients in Delaware and Maryland. Mr. Davidson's project experience includes land development planning, surveying, engineering, environmental design and permitting; construction and project consulting, management and inspection; water resource consulting, management and inspection and municipal consulting, planning and inspection for residential, industrial, institutional, municipal and commercial applications.

Mark is a past director of the Delaware Onsite Wastewater Recycling Association as well as a member of the American Planning Association, American Institute of Certified Planners and has served in the past as a committee member of Delaware Low Impact Development Roundtable Committee, Delaware Pollution Control Strategy Committee, Delaware Sediment & Stormwater Regulatory Advisory Committee, and the Delaware Technical & Community College A/E Curriculum Committee. He was also nominated for the Brandywine Chapter Association of Fundraising Professionals Philanthropy Award and has won the BNI Notable Networker Award.

Along with all the experience and education stated and with many years of combined experience in Surveying, Engineering, Consulting and Land Planning, he has been responsible for providing consulting, layout and design in surveying, engineering and land planning for residential, industrial, institutional, municipal and commercial applications to a wide range of clients in Delaware, Maryland, Virginia and West Virginia. He has project managed, studied, planned, surveyed, designed and engineered sustainable, master-planned communities, commercial and urban redevelopment projects, and the public infrastructure that supports them.

Mark has provided nationwide land planning consulting services to a variety of clientele to help coordinate project startups as well as final construction consulting services when it came to commercial, residential, industrial, municipal, educational and community land planning. Provided additional consulting in civil/site engineering, stormwater management, erosion and sediment control, wastewater collection and disposal, transportation, and environmental. Market areas practiced; Delaware, Maryland, West Virginia, Virginia, North Carolina, South Carolina, North Dakota, Puerto Rico, Canada and Panama.

Additional Project experience includes cutting edge design and technology as well as value engineering to help clients through the ever-changing market including but not limited to solar voltaic and wind generation projects.

He was currently appointed by the Secretary of DNREC to serve 3-years on the On Site Septic Advisory Board for the State of Delaware.





**Planning & Zoning Commission Application  
Sussex County, Delaware**

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

**Type of Application: (please check applicable)**

Conditional Use  
Zoning Map Amendment

**Site Address of Conditional Use/Zoning Map Amendment**

**Type of Conditional Use Requested:**

**Tax Map #:** \_\_\_\_\_ **Size of Parcel(s):** \_\_\_\_\_

**Current Zoning:** \_\_\_\_\_ **Proposed Zoning:** AR-1 CU **Size of Building:** \_\_\_\_\_

**Land Use Classification:**

**Water Provider:** \_\_\_\_\_ **Sewer Provider:** \_\_\_\_\_

**Applicant Information**

Applicant Name: \_\_\_\_\_  
Applicant Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Owner Information**

Owner Name: \_\_\_\_\_  
Owner Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Agent/Attorney/Engineer Information**

Agent/Attorney/Engineer Name: \_\_\_\_\_  
Agent/Attorney/Engineer Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

Project: DDRUM19001



# Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

**Completed Application**

**Provide eight (8) copies of the Site Plan or Survey of the property**

- Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
- Provide a PDF of Plans (may be e-mailed to a staff member)
- Deed or Legal description

**Provide Fee \$500.00**

**Optional - Additional information for the Commission/Council to consider** (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.

**Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.**

**DeIDOT Service Level Evaluation Request Response**

**PLUS Response Letter** (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney

  
\_\_\_\_\_

Date: 8/29/19

Signature of Owner

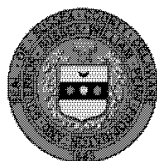
  
\_\_\_\_\_

Date: 8/29/19

For office use only:

Date Submitted: \_\_\_\_\_ Fee: \$500.00 Check #: \_\_\_\_\_  
Staff accepting application: \_\_\_\_\_ Application & Case #: \_\_\_\_\_  
Location of property: \_\_\_\_\_

Subdivision: \_\_\_\_\_  
Date of PC Hearing: \_\_\_\_\_ Recommendation of PC Commission: \_\_\_\_\_  
Date of CC Hearing: \_\_\_\_\_ Decision of CC: \_\_\_\_\_



# Sussex County

Scott Dailey  
Recorder of Deeds  
Georgetown, DE 19947

Instrument Number: 2018-7657

Parties:

Recorded As: EREC-DEED

Direct- WALLS JOHN M JR

Recorded On: March 02, 2018

Indirect- DRUMMOND KENNETH DOMINIC ALTON

Recorded At: 11:31:46 am

Receipt Number: 836573

Number of Pages: 5

Processed By: Sue D

Book-VI/Pg: **Bk-D VI-4848 Pg-210**

Total Rec Fee(s): \$19,867.00

\*\* Examined and Charged as Follows \*\*

RECEIVED ASSESSMENT DIVISION OF SUSSEX COUNTY

Erec-D \$ 67.00

	Tax Amount	Consid Amt	RS#/CS#	
STATE AND COUNTY OF SUSSEX	\$ 19800.00	\$ 495000.00		
			State of Delaware	\$ 12375.00
			Sussex County	\$ 7425.00
Tax Charge:	\$ 19800.00			

I hereby certify that the within and foregoing was recorded in the Recorder's Office in Sussex County

\*\*\*DO NOT REMOVE - THIS PAGE IS PART OF THE RECORDED DOCUMENT\*\*\*

TAX MAP AND PARCEL #:

2-34-5.00-46.04

PREPARED BY & RETURN TO:

Bonnie M. Benson, P. A.  
33718B Wescoats Road  
Lewes, DE 19958  
File No. 18-1098/BMB

**THIS DEED**, made this 26<sup>th</sup> day of February, 2018,

- BETWEEN -

**JOHN M. WALLS, JR.**, of 16198 Diamond Farm Road, Milton, DE 19968 and **MELISSA D. WALLS**, of 26109 Kits Burrow Court, Georgetown, DE 19947, parties of the first part,

- AND -

**KENNETH DOMINIC ALTON DRUMMOND**, of 20366 Hopkins Road, Lewes, DE 19958, party of the second part.

**WITNESSETH:** That the said parties of the first part, for and in consideration of the sum of **Four Hundred Ninety-Five Thousand and 00/100 Dollars (\$495,000.00)**, lawful money of the United States of America, the receipt whereof is hereby acknowledged, hereby grant and convey unto the party of the second part, and his heirs and assigns, in fee simple, the following described lands, situate, lying and being in Sussex County, State of Delaware:

**ALL** that certain lot, piece or parcel of land situate, lying and being in Indian River Hundred, Sussex County, Delaware on the Westerly side of County Route 286 as shown on a plot of Coast Survey, Inc., dated November 4, 1999 entitled "6.336 Acre Parcel prepared for John M. Walls, Jr." as recorded in the Office of the Recorder of Deeds, in and for Sussex County, Delaware in Plot Book 66, Page 215, and more particularly described as follows:

**BEGINNING** at a point located 0.6 feet South of a found concrete monument on the Westerly right of way line of County Road 286 located 0.59 miles North of County Road #285; thence running with lands of John M. Walls South 73 degrees, 22 minutes, 31 seconds West 507.51 feet to a point; thence North 13 degrees, 30 minutes, 21 seconds West 34.21 feet to a point; thence South 75 degrees, 53 minutes, 23 seconds West 860.99 feet to a point in the edge of lands now or formerly of James Lee Carpenter, Sr., Trustee; thence North 17 degrees, 17 minutes, 16 seconds West 288.00 feet to a found axle; thence North 77 degrees, 15 minutes, 07 seconds East 910.06 feet to a found iron pipe; thence South 17 degrees, 29 minutes, 49 seconds East 248.41 feet to a found stone; thence North 73 degrees, 22 minutes, 31 seconds East 460.95 feet to a found monument located in the right of way of County Road #286; thence with said right of way South 13 degrees, 30 minutes, 21 seconds East 50.07 feet home to the point and place of Beginning, said to contain 6.336 acres of land, more or less.

**BEING** the same lands conveyed to John M. Walls, Jr. and Melissa D. Walls from John M. Walls, Jr. by Deed dated March 18, 2003 and recorded in the Office of the Recorder of Deeds, in and for Sussex County, Delaware in Deed Book 2815, Page 175.

**SUBJECT** to any and all restrictions, reservations, conditions, easements and agreements of record in the Office of the Recorder of Deeds in and for Sussex County, Delaware.

REST OF PAGE LEFT INTENTIONALLY BLANK

**IN WITNESS WHEREOF**, the party of the first part has hereunto set his hand and seal the day and year first above written.

Signed, Sealed and Delivered  
in the presence of:

Bonnie M. Benson

John M. Walls, Jr. (SEAL)

STATE OF DELAWARE, COUNTY OF SUSSEX: to-wit

**BE IT REMEMBERED**, that on February 26, 2018, personally came before me, the subscriber, John M. Walls, Jr., party of the first part to this Indenture, known to me personally to be such, and acknowledged this Indenture to be his act and deed.

GIVEN under my Hand and Seal of Office the day and year aforesaid.

Bonnie M. Benson  
Notary Public

My Commission Expires: NA

**BONNIE M. BENSON  
ATTORNEY AT LAW WITH  
POWER TO ACT AS NOTARY PUBLIC  
PER 29 DEL. C § 4323 (A) (3)**

**IN WITNESS WHEREOF**, the party of the first part has hereunto set her hand and seal the day and year first above written.

Signed, Sealed and Delivered  
in the presence of:

Anne L. Barnett

Melissa D. Walls (SEAL)  
Melissa D. Walls

STATE OF DELAWARE, COUNTY OF SUSSEX: to-wit

**BE IT REMEMBERED**, that on February 27, 2018, personally came before me, the subscriber, Melissa D. Walls, party of the first part to this Indenture, known to me personally to be such, and acknowledged this Indenture to be her act and deed.

GIVEN under my Hand and Seal of Office the day and year aforesaid.

ANNE L. BARNETT  
ATTORNEY AT LAW WITH  
POWER TO ACT AS NOTARY PUBLIC  
PER 29 DEL. C. § 4323 (A) (3)

Anne L. Barnett  
Notary Public

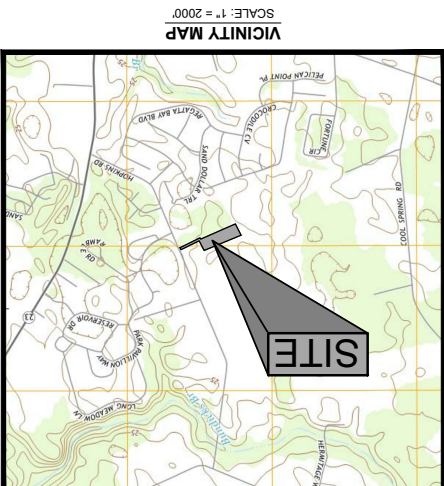
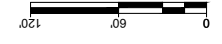
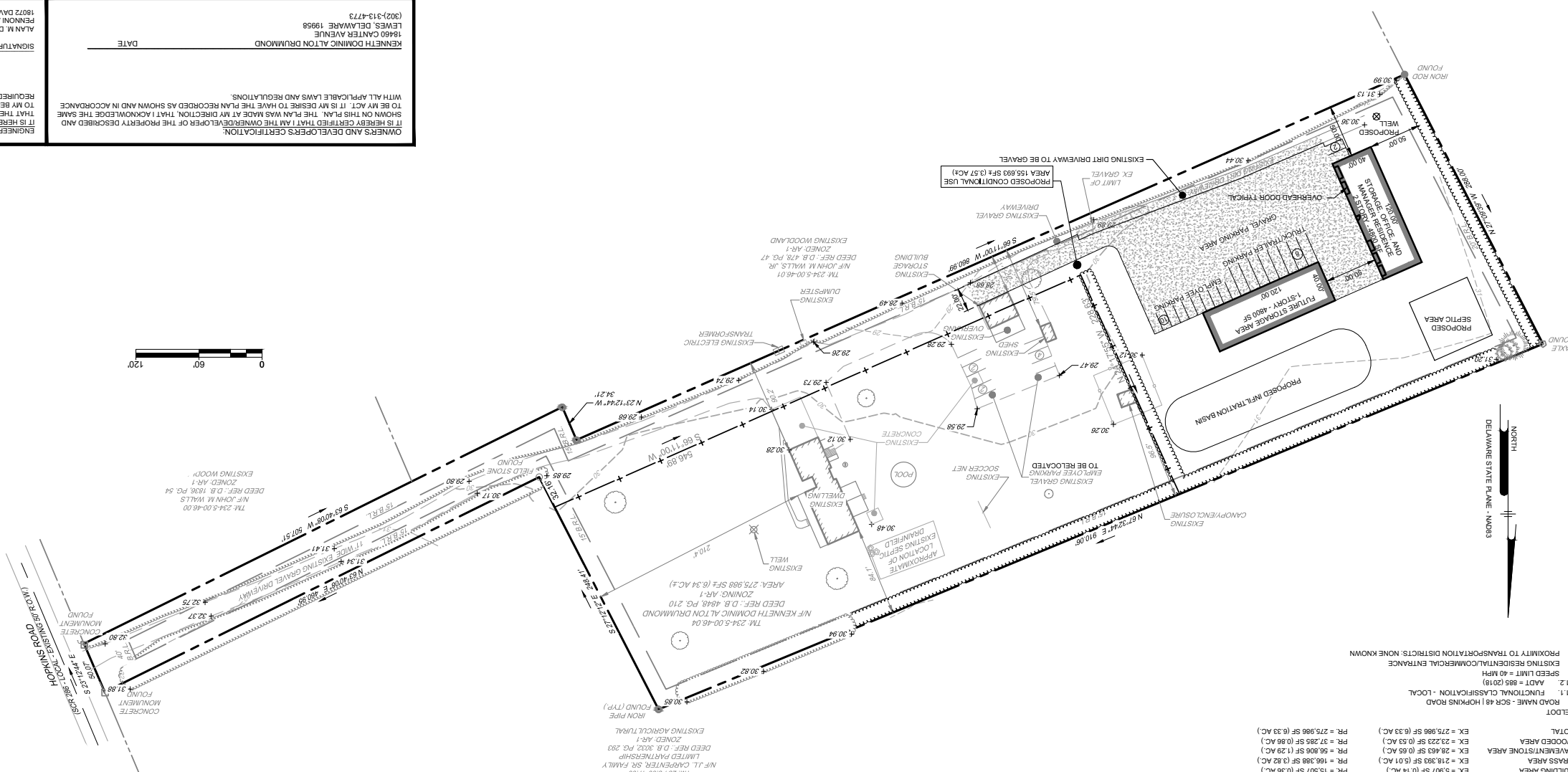
My Commission Expires: N/A

**SITE DATA:**

1. TAX MAP NUMBER: 234.5-00-14-04
2. DEVELOPER NAME: KENNETH DOMINIC ALTON DRUMMOND
3. DEVELOPER ADDRESS: 20366 HOPKINS ROAD, LEWES, DE 19958
4. SITE ADDRESS: 20366 HOPKINS ROAD, LEWES, DE 19958
5. CURRENT ZONING: AR-1 (AGRICULTURAL-RESIDENTIAL)
6. PROPOSED ZONING: AR-1 (CONDITIONAL USE)
7. PRESENT USE: HOME REPAIR & IMPROVEMENTS
8. PROPOSED USE: RESIDENTIAL
9. REQUIRED SETBACKS: FRONT - 40 FEET, SIDE - 15 FEET, REAR - 20 FEET
10. BUILDING HEIGHT: 4Z ALLOWED
11. PARKING (ARTICLE XXII, OFF-STREET PARKING, CODE SECTION 115-102): 1 FOR EVERY 2 EMPLOYEES ON THE MAJOR SHIFT
12. MANAGER RESIDENCE: 2 SPACES REQUIRED
13. PROPOSED EMPLOYEE PARKING: 2 + 4 SPACES (1 PER EVERY 2 EMPLOYEES MAX 8 EMPLOYEES)
14. EXISTING PRIVATE ON-SITE WELL: 4Z ALLOWED
15. WATER SUPPLY: EXISTING PRIVATE ON-SITE SEPTIC
16. SEWER SUPPLY: EXISTING PRIVATE ON-SITE SEPTIC
17. LATITUDE AND LONGITUDE STATE PLAN COORDINATES: LONGITUDE: W075 12 21.66' LATITUDE: N038 42 16.38'
18. TOTAL AREA (GROSS): 6.34 ACRES
19. CONDITIONAL USE AREA: 3.77 ACRES
20. REMAINING PARCEL 46.04 ACRES
21. MINIMUM LOT AREA: 100 FT<sup>2</sup>
22. MINIMUM LOT WIDTH: 100 FT
23. MINIMUM LOT DEPTH: 100 FT
24. NET DEVELOPMENT AREA: 6.34 AC
25. WETLAND AREA: 0.00 AC (NONE MAPPING)
26. PROPOSED DISCHARGE LOCATION: HERBOTH BAY CREEK
27. LIMIT OF DISTURBANCE: TO BE DETERMINED
28. 2015 STATE STRATEGIES & INVESTMENT LEVELS: LEVEL 4
29. SITE CALCULATIONS:
 

GRASS AREA	EX = 218,393 SF (5.01 AC.)	PR = 186,398 SF (4.22 AC.)
BUILDING AREA	EX = 15,507 SF (0.36 AC.)	PR = 15,507 SF (0.36 AC.)
PAVEMENT/STONE AREA	EX = 28,463 SF (0.65 AC.)	PR = 56,926 SF (1.29 AC.)
WOODED AREA	EX = 23,223 SF (0.53 AC.)	PR = 37,285 SF (0.86 AC.)
TOTAL	EX = 275,986 SF (6.33 AC.)	PR = 275,986 SF (6.33 AC.)
- 21.1. ROAD NAME - SC94 | HOPKINS ROAD
- 21.1.1. FUNCTIONAL CLASSIFICATION - LOCAL
- 21.1.2. AADT = 885 (2018)
- 21.2. SPEED LIMIT = 40 MPH
- 21.3. EXISTING RESIDENTIAL/COMMERCIAL ENTRANCE
- 21.4. PROXIMITY TO TRANSPORTATION DISTRICTS: NONE KNOWN

1. THE BOUNDARY INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD AND IS THE RESULT OF AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES INC. PERFORMED ON MAY 6, 2019.
2. THE TOTAL AREA FOR THE SUBJECT PROPERTY IS 6.34 ACRES.
3. THIS SURVEY DOES NOT VERIFY THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHTS-OF-WAY CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS REQUESTED OR PROVIDED.
4. THIS PROPERTY APPEARS ON SUSSEX COUNTY TAX MAP 234.5-00-14-04 AS PARCEL 46.04 AND IS CURRENTLY ZONED AR-1 (AGRICULTURAL RESIDENTIAL).
5. CLASS OF SURVEY: SUBURBAN
6. DEED REFERENCE: DEED BOOK 4848, PAGE 210
7. PROPERTY BOUNDARY BEARING SYSTEM IS BASED ON DELAWARE STATE PLANE COORDINATE SYSTEM. HORIZONTAL DATUM NAD83.
8. THE PROPERTY IS LOCATED IN ZONE 'X' (UNSHADED) ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 100000390K, LAST REVISED 1/05/05, ZONE 'X' (UNSHADED) IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN.
9. THERE ARE NO WETLANDS ON THE PROPERTY ACCORDING TO THE DNREC ENVIRONMENTAL NAVIGATOR WEBSITE.
10. THE PROPERTY IS ZONED AR-1 (AGRICULTURAL-RESIDENTIAL DISTRICT).
11. BUILDING SETBACKS (OH, 115-25C): FRONT - 40', SIDE - 15', REAR - 20'
12. THE SUBJECT SITE IS IN THE LOVE CREEK AND THE HERBOTH BAY WATERSHED, PER DELAWARE DEPARTMENT OF NATURAL RESOURCES & ENVIRONMENTAL CONTROL (DNREC) ENVIRONMENTAL NAVIGATOR WEBSITE. STORMWATER DISCHARGE WILL BE HANDLED VIA EXISTING DISCHARGE TO THESE WATERSHEDS.
13. RIGHTS OR INTERESTS OF AMERICAN OVER LANDS NOW OR FORMERLY FLOWED BY TIDEWATER ESTUARINE TRUST OR SHOWN HEREON TO THE COMPANY. THIS SURVEY IS MADE SUBJECT TO AND DOES NOT LOCATE OR SHOW HEREON ANY RIGHTS OR INTERESTS OF AMERICAN OVER LANDS NOW OR FORMERLY FLOWED BY TIDEWATER ESTUARINE TRUST OR SHOWN HEREON TO THE COMPANY. THIS SURVEY IS MADE SUBJECT TO AND DOES NOT LOCATE OR SHOW HEREON ANY RIGHTS OR INTERESTS OF AMERICAN OVER LANDS NOW OR FORMERLY FLOWED BY TIDEWATER ESTUARINE TRUST OR SHOWN HEREON TO THE COMPANY. THIS SURVEY IS MADE SUBJECT TO AND DOES NOT LOCATE OR SHOW HEREON ANY RIGHTS OR INTERESTS OF AMERICAN OVER LANDS NOW OR FORMERLY FLOWED BY TIDEWATER ESTUARINE TRUST OR SHOWN HEREON TO THE COMPANY.
14. NO UNDERGROUND UTILITY MARKING WAS PERFORMED FOR THIS SURVEY.
15. UNLESS PREVIOUSLY OBTAINED BY OWNER.
16. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN THE PLAN.
17. DRAWING FROM THESE PLANS AND NOTES WITHOUT THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE REJECTED.
18. DEVIATION FROM NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO BE PERFORMED. IT MUST BE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERE TO APPLICABLE.
19. PRIOR TO CONSTRUCTION CONTRACTOR TO FIELD LOCATE AND RECORD ANY DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REMOVED OR REPLACED. ENGINEER TO VERIFY LOCATION AND EXTENT OF DAMAGE.
20. DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REPLACED OR REMOVED DURING CONSTRUCTION SHALL BE IMMEDIATELY REPORTED TO ENGINEER. CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED WORK WITHOUT CHARGE TO THE OWNER.
21. ALL SECURITY LIGHTING (IF NECESSARY) SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
22. ALL FIRE LANES, EXITS, STANDPIPE AND SPRINKLER CONNECTIONS WILL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS.
23. MISS UTILITY SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO EXCAVATION.
24. MAINTENANCE OF THE STREETS WITHIN THE SITE WILL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR PROPERTY OWNERS WITHIN THE SITE. THE STATE AND COUNTY ASSUME NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.
25. THE HEIGHT, LOCATION, AND MATERIAL OF ALL FENCES, WALLS, SCREEN PLANTING AND LANDSCAPING WILL BE SHOWN ON THE FINAL SITE PLAN.
26. ANY PROPOSED SIGN DETAILS WILL BE SUBMITTED SEPARATELY.

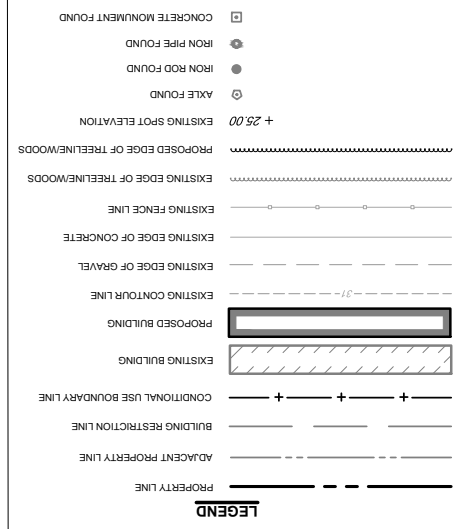


**SITE INFORMATION:**

**SITE ADDRESS:**  
20366 HOPKINS ROAD  
LEWES, DE 19958

**OWNER/DEVELOPER:**  
KENNETH DOMINIC ALTON DRUMMOND  
LEWES, DE 19958

**ENGINEER:**  
PENNONI ASSOCIATES, INC.  
18072 DAVIDSON DRIVE  
MILTON, DE 19968



**ENGINEER'S CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

**OWNER'S AND DEVELOPER'S CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

ALAN M. DECKTOR, PE (DE PE #17771)  
PENNONI ASSOCIATES, INC.  
18072 DAVIDSON DRIVE MILTON, DE 19968  
(202) 684-8030

**PROJECT:** DDDRWUM19001  
**DATE:** 2019-07-16  
**DRAWING SCALE:** 1" = 60'  
**DRAWN BY:** MMW  
**APPROVED BY:** AMD  
**SHEET 1 OF 1**  
**EX1001**

NO.	DATE	REVISIONS	BY
1	12/17/2019	UPDATED LAYOUT PER CLIENT SPECIFICATION	US

**LANDS OF KENNETH DOMINIC ALTON DRUMMOND**  
SUSSEX COUNTY TWP 234.5-00-14-04  
LEWES & REHOBOTH HUNDREDED  
LEWES, DELAWARE 19958

**CONDITIONAL USE SITE PLAN**  
KENNETH DOMINIC ALTON DRUMMOND  
20366 HOPKINS ROAD  
LEWES, DELAWARE 19958

**PENNONI ASSOCIATES, INC.**  
18072 Davidson Drive  
Milton, DE 19968  
T 302.684.8030 F 302.684.8054



**PARTICULAR DESCRIPTION**  
**(CONDITIONAL USE)**  
**LANDS OF KENNETH DOMINIC ALTON DRUMMOND**  
**TAX MAP 234-5.00-46.04**

**All that certain piece, parcel and tract** lying in the Lewes-Rehoboth Hundred of Sussex County, Delaware and being more particularly described as follows:

**BEGINNING** at a concrete monument, said concrete monument lying on the southwesterly right-of-way of Hopkins Road (50' ROW) and being a common corner for this Parcel and Lands now or formerly of John M. Walls; thence by and with this Parcel and Lands now or formerly of John M. Walls, **South 63 degrees, 40 minutes, 08 seconds West, 507.51 feet** to an iron pipe found, said iron pipe being a common corner for this Parcel and Lands now or formerly of John M. Walls, Jr.; thence by and with this Parcel and Lands now or formerly of John M. Walls, Jr., the following (2) courses and distances:

- 1) **North 23 degrees, 12 minutes, 44 seconds West, 34.21 feet to an iron pipe found,**
- 2) **South 66 degrees, 11 minutes, 00 seconds West, 860.99 feet to an iron rod found,**

Said iron rod being a corner for this Parcel and Lands now or formerly of J. L. Carpenter, Sr. Family Partnership; thence by and with this Parcel and Lands now or formerly of J. L. Carpenter, Sr. Family Partnership the following (2) courses:

- 1) **North 27 degrees, 09 minutes, 39 seconds West, 288.00 feet to an axle found,**

- 2) **North 67 degrees, 32 minutes, 44 seconds East, 373.87 feet to a point,**

Said point lying on the boundary line of J. L. Carpenter, Sr. Family Partnership and this Parcel; thence by and with this Parcel the following (2) courses and distances:

- 1) **South 24 degrees, 17 minutes, 55 seconds East, 228.63 feet to a point,**
- 2) **North 66 degrees, 11 minutes, 00 seconds East, 546.89 feet to a point,**

Said point lying on the boundary line for this Parcel and Lands now or formerly of J. L. Carpenter, Sr. Family Limited Partnership; thence by and with this Parcel and Lands now or formerly of J. L. Carpenter, Sr. Family Limited Partnership the following (2) courses and distances:

- 1) **South 27 degrees, 12 minutes, 12 seconds East, 32.16 feet to a field stone found,**
- 2) **North 63 degrees, 40 minutes, 08 seconds East, 460.95 feet to a concrete monument found,**

Said monument lying on the southwesterly right-of-way of Hopkins Road; thence by and with the southwesterly right-of-way of Hopkins Road, **South 23 degrees, 12 minutes, 44 seconds East, 50.07 feet** to a concrete monument found, said concrete monument being the **Place of Beginning** for this description.

**This Conditional Use description** contains 3.57 acres, more or less.



Figure 1 of 21.

1

2019 Aerial Image

Lands of Kenneth Dominic Alton Drummond

DDRUM19001



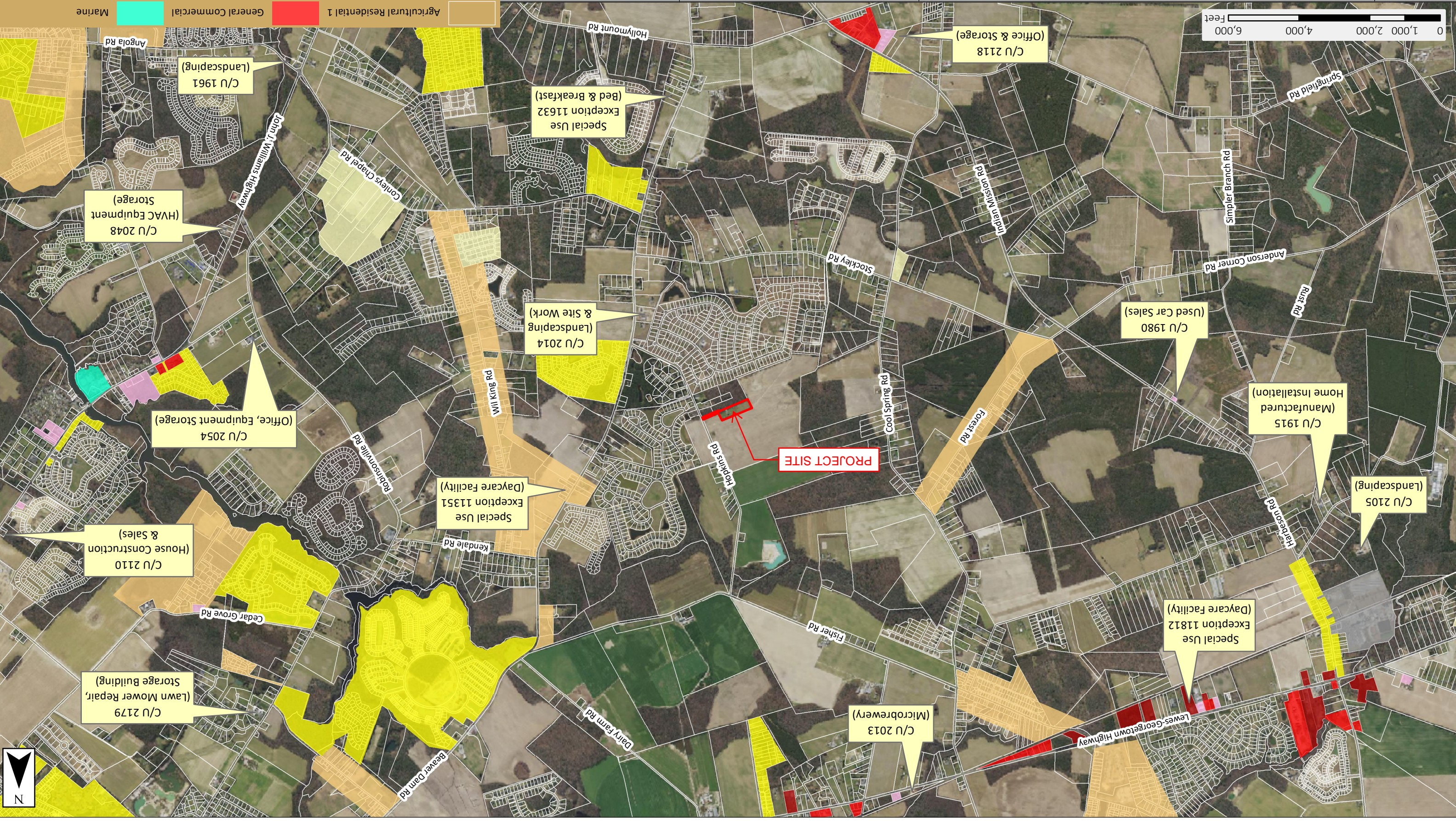
Legend Information

# Area Approved Land Use Applications & County Zoning

Lands of Kenneth Dominic Drummond  
DDRM19001



Neighborhood Business	Heavy Industrial	Commercial Residential	Agricultural Residential 1
Medium Residential	General Residential	Agricultural Residential 2	General Commercial
			Marine



**PLANNING & ZONING**

JANELLE M. CORNWELL, AICP  
DIRECTOR

(302) 855-7878 T  
(302) 854-5079 F



**Sussex County**  
DELAWARE  
sussexcountyde.gov

**Service Level Evaluation Request Form**

This form **shall** be submitted to the Planning and Zoning Office and a response **shall** be received back from DelDOT prior to the applicant being able to submit an application to the Planning and Zoning Office.

Date: 7/29/19

**Site Information:**

Site Address/Location: 20366 Hopkins Road Lewes DE 19958

Tax Parcel Number: 234-5.00-46.04

Current Zoning: AR-1

Proposed Zoning: AR-1/CONDITIONAL USE

Land Use Classification: LOW DENSITY AREA | LEVEL 4

Proposed Use(s): HOME REMODELING & REPAIR SERVICES; STORAGE REPAIR AND MAINTENANCE; LIGHT BUILDING MATERIAL AND STORAGE AND GENERAL OFFICE FOR QUALITY CARE HOMES.

Square footage of any proposed buildings or number of units: N/A

**Applicant Information:**

Applicant's Name: Kenneth Dominic Alton Drummond - Quality Cate Homes

Applicant's Address: 20366 Hopkins Road

City: Lewes State: DE Zip Code: 19958

Applicant's Phone Number: (302) 313-4773

Applicant's e-mail address: qualitycarehomesde@gmail.com

**PREPARED BY: ALAN DECKTOR  
- PENNONI  
18072 DAVIDSON DRIVE  
MILTON DE 19968  
302-684-8030  
ADECKTOR@PENNONI.COM**





STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. Box 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

August 21, 2019

Ms. Janelle Cornwell, Director  
Sussex County Planning & Zoning  
P.O. Box 417  
Georgetown, DE 19947

Dear Ms. Cornwell:

The Department has completed its review of a Service Level Evaluation Request (SLER) for the **Kenneth Dominic / Alton Drummond – Quality Care Homes** conditional application, which we received on July 30, 2019. This application is for an approximately 6.34-acre parcel (Tax Parcel: 234-5.00-46.04). The subject land is located on the west side of Hopkins Road (Sussex Road 286), approximately 3,000 feet northwest of the intersection of Beaver Dam Road (Sussex Road 285). The subject land is currently zoned as AR-1 (Agricultural Residential) and the applicant is seeking a conditional use approval to operate a variety of uses including home remodeling and repair services, storage repair and maintenance, light building material and storage, and general office.

Per the 2018 Delaware Vehicle Volume Summary, the annual average daily traffic volume along the segment of Hopkins Road where the subject land is located, which is from Fisher Road (Sussex Road 262) to Beaver Dam Road, is 885 vehicles per day.

Our volume-based criteria for requiring a traffic impact study (TIS), addressed in Section 2.2.2.1 of the Development Coordination Manual, are that a development generates more than 500 trips per day or 50 trips during a weekly peak hour. While it seems that the above criteria could be met, we presently cannot predict the site's trip generation with enough accuracy to make a TIS useful. Thus, we recommend that this rezoning application be considered without a TIS and that the need for a TIS be evaluated when a subdivision or land development plan is proposed.

If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.



Ms. Janelle M. Cornwell

Page 2 of 2

August 21, 2019

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



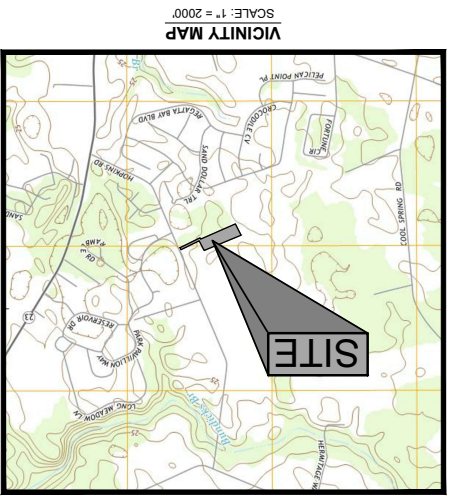
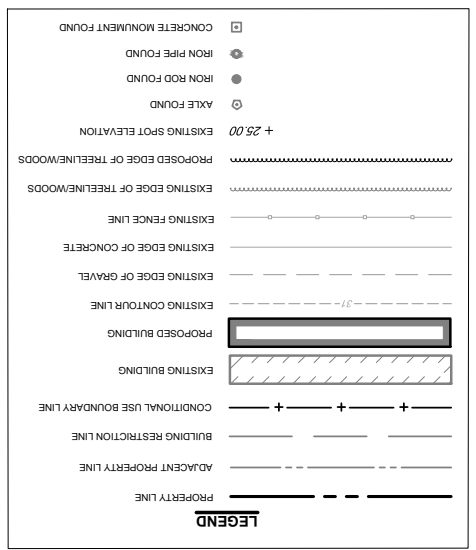
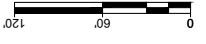
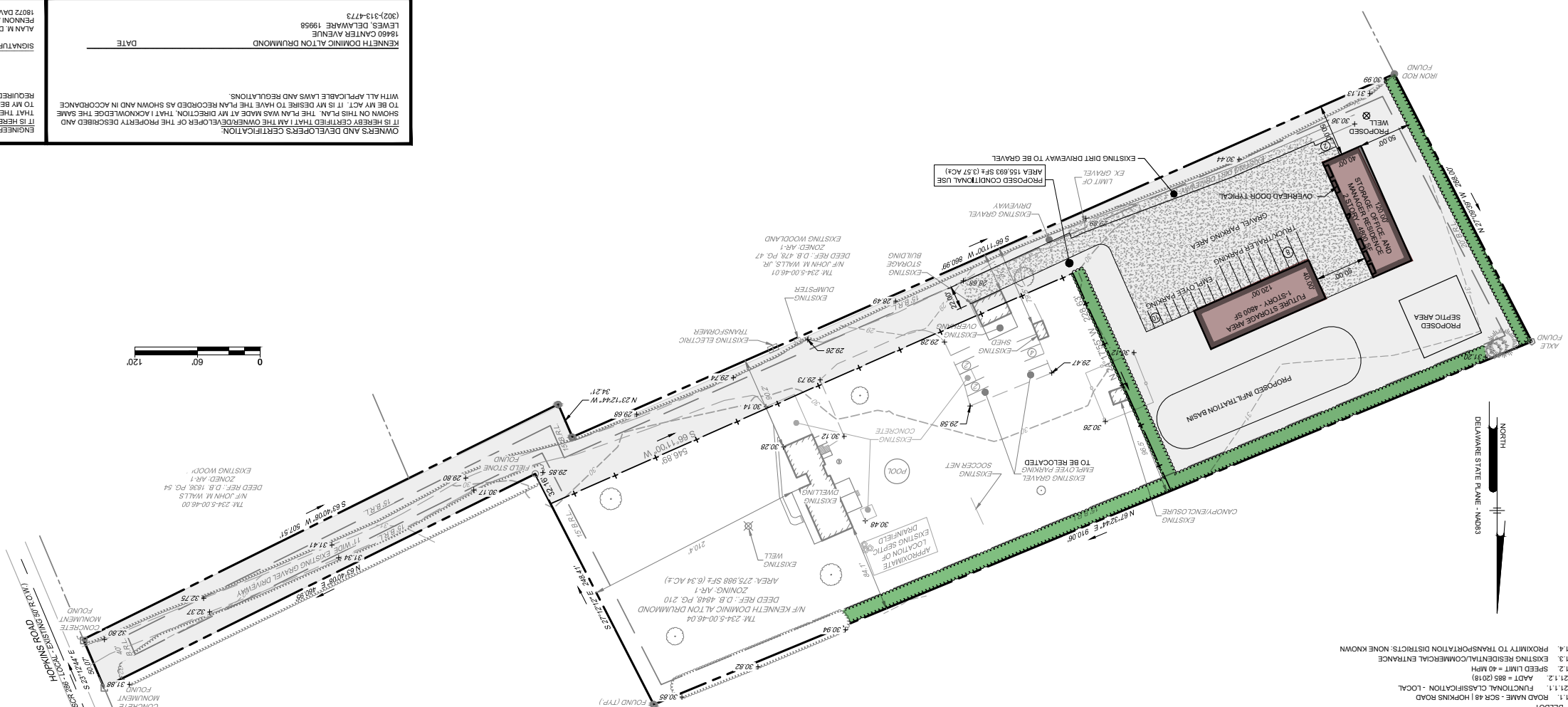
T. William Brockenbrough, Jr.  
County Coordinator  
Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues  
Kenneth Dominic / Alton Drummond – Quality Care Homes, Applicant  
J. Marc Coté, Assistant Director, Development Coordination  
Gemez Norwood, South District Public Works Manager, Maintenance & Operations  
Susanne Laws, Sussex County Subdivision Coordinator, Development Coordination  
Derek Sapp, Subdivision Manager, Development Coordination  
Kevin Hickman, Subdivision Manager, Development Coordination  
Brian Yates, Subdivision Manager, Development Coordination  
John Andrescavage, Subdivision Manager, Development Coordination  
Troy Brestel, Project Engineer, Development Coordination  
Claudy Joinville, Project Engineer, Development Coordination

**SITE DATA:**

- 1. TAX MAP NUMBER: 234-5-00-46-04
- 2. DEVELOPER NAME: KENNETH DOMINIC ALTON DRUMMOND
- 3. DEVELOPER ADDRESS: 20366 HOPKINS ROAD, LEWES, DE 19958
- 4. SITE ADDRESS: 20366 HOPKINS ROAD, LEWES, DE 19958
- 5. CURRENT ZONING: AR-1 (AGRICULTURAL-RESIDENTIAL)
- 6. PROPOSED ZONING: AR-1 (CONDITIONAL USE)
- 7. PRESENT USE: RESIDENTIAL HOME REPAIR & IMPROVEMENTS
- 8. PROPOSED USE: RESIDENTIAL HOME REPAIR & IMPROVEMENTS
- 9. REQUIRED SETBACKS: FRONT - 40 FEET, SIDE - 15 FEET, REAR - 20 FEET
- 10. BUILDING HEIGHT: 4Z ALLOWED
- 11. PARKING (ARTICLE XXII, OFF-STREET PARKING, CODE SECTION 115-102): 1 FOR EVERY 2 EMPLOYEES ON THE MAJOR SHIFT
- 12. MANAGER RESIDENCE: 2 SPACES REQUIRED
- 13. PROPOSED EMPLOYEE PARKING: 2 + 4 SPACES (1 NEAR EVERY 2 EMPLOYEES MAX 8 EMPLOYEES)
- 14. ALLOWING FOR FUTURE GROWTH
- 15. EXISTING PRIVATE ON-SITE WELL
- 16. WATER SUPPLY: EXISTING PRIVATE ON-SITE SEPTIC
- 17. SEWER SUPPLY: EXISTING PRIVATE ON-SITE SEPTIC
- 18. LATITUDE AND LONGITUDE STATE PLAN COORDINATES: LONGITUDE: W075° 12' 21.66" LATITUDE: N038° 42' 16.38"
- 19. TOTAL AREA (GROSS): 6.344 ACRES
- 20. CONDITIONAL USE AREA: 3.574 ACRES
- 21. REMAINING PARCEL 46.04 AREA: 2.774 ACRES
- 22. MINIMUM LOT WIDTH: 100 FT
- 23. MINIMUM LOT DEPTH: 100 FT
- 24. NET DEVELOPMENT AREA: 6.344 AC
- 25. WETLAND AREA: 0.004 AC (DNREC MAP#P)
- 26. PROPOSED DISCHARGE LOCATION: HERBOTH BAY VIA
- 27. LIMIT OF DISTURBANCE: TO BE DETERMINED
- 28. 2019 STATE STRATEGIES & INVESTMENT LEVELS: LEVEL 4
- 29. SITE CALCULATIONS:
  - EX = 15,507 SF (0.36 AC.)
  - EX = 186,398 SF (4.28 AC.)
  - EX = 218,262 SF (5.01 AC.)
  - EX = 56,808 SF (1.29 AC.)
  - EX = 23,223 SF (0.53 AC.)
  - EX = 275,986 SF (6.33 AC.)
- 30. ROAD NAME - SCR 48 | HOPKINS ROAD
- 31.1. FUNCTIONAL CLASSIFICATION - LOCAL
- 31.2. AADT = 885 (2019)
- 31.3. SPEED LIMIT = 40 MPH
- 32. EXISTING RESIDENTIAL/COMMERCIAL ENTRANCE
- 33. PROXIMITY TO TRANSPORTATION DISTRICTS: NONE KNOWN



**SITE INFORMATION:**

SITE ADDRESS: 20366 HOPKINS ROAD, LEWES, DE 19958  
 OWNER/DEVELOPER: KENNETH DOMINIC ALTON DRUMMOND, LEWES, DE 19958  
 ENGINEER: PENNONI ASSOCIATES, INC., 18072 DAVIDSON DRIVE, MILTON, DE 19968

OWNERS AND DEVELOPERS CERTIFICATION  
 IT IS HEREBY CERTIFIED THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

ENGINEER CERTIFICATION  
 ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES, INC. FOR THIS PROJECT ARE THE PROPERTY OF PENNONI ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF PENNONI ASSOCIATES, INC. WITHOUT LIMITATION OF TIME OR TERRITORY. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PENNONI ASSOCIATES, INC.

DATE: \_\_\_\_\_  
 SIGNATURE: \_\_\_\_\_  
 KENNETH DOMINIC ALTON DRUMMOND  
 18460 CENTER AVENUE, LEWES, DELAWARE 19958  
 (302) 314-4773

DATE: \_\_\_\_\_  
 SIGNATURE: \_\_\_\_\_  
 ALAN M. DECKTOR, PE (DE PE #17771)  
 PENNONI ASSOCIATES, INC.  
 18072 DAVIDSON DRIVE, MILTON, DE 19968  
 (302) 684-8030

**EX1001**

DATE: 2019-07-16  
 DRAWING SCALE: 1" = 60'  
 APPROVED BY: MMD  
 PROJECT: DDDRUUM19001

**LANDS OF KENNETH DOMINIC ALTON DRUMMOND**  
 SUSSEX COUNTY TWP 234-5-00-46-04  
 LEWES & REHOBOTH HUNDREDED  
 LEWES, DELAWARE 19958

**CONDITIONAL USE SITE PLAN**  
 KENNETH DOMINIC ALTON DRUMMOND  
 20366 HOPKINS ROAD  
 LEWES, DELAWARE 19958

REVISIONS: \_\_\_\_\_  
 BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.

**Pennonni**  
 PENNONI ASSOCIATES, INC.  
 18072 Davidson Drive, Milton, DE 19968  
 T 302.684.8030 F 302.684.8054





Figure 1 of 21.

1

2019 Aerial Image

Lands of Kenneth Dominic Alton Drummond

DDRUM19001



Legend Information



Figure 2 of 21.

2

2017 Orthophoto

Lands of Kenneth Dominic Alton Drummond

DDRUM19001



Legend Information



Figure 3 of 21.

3

2012 Orthophoto

Lands of Kenneth Dominic Alton Drummond

DDRUM19001



Legend Information



Sanborn Mapping Company

Figure 4 of 21.

4

2007 Orthophoto

Lands of Kenneth Dominic Alton Drummond

DDRUM19001



Legend Information



Figure 5 of 21.

5

2002 Orthophoto

Lands of Kenneth Dominic Alton Drummond

DDRUM19001



Legend Information



State of Delaware Department of Transportation and Earth Data

Figure 6 of 21.

6

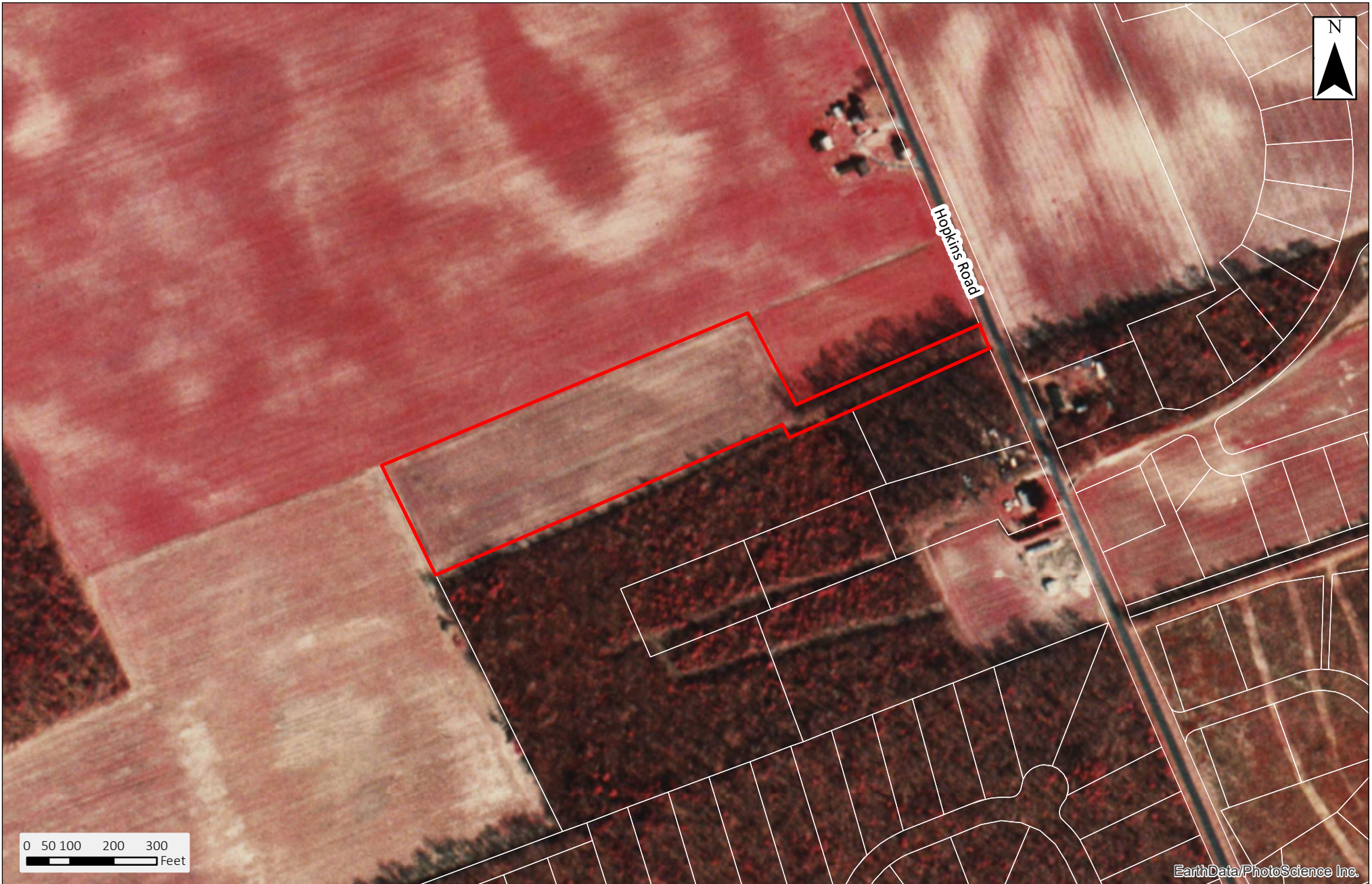
1997 Orthophoto

Lands of Kenneth Dominic Alton Drummond

DDRUM19001



Legend Information



EarthData/PhotoScience Inc.

Figure 7 of 21.	1992 Orthophoto		Legend Information
7	Lands of Kenneth Dominic Alton Drummond		
	DDRUM19001		



Figure 8 of 21.

8

1968 Orthophoto

Lands of Kenneth Dominic Alton Drummond

DDRUM19001



Legend Information





Figure 9 of 21.

9

1961 Orthophoto

Lands of Kenneth Dominic Alton Drummond

DDRUM19001



Legend Information



Figure 10 of 21.

10

1954 Orthophoto

Lands of Kenneth Dominic Alton Drummond

DDRUM19001



Legend Information



USDA Agricultural Stabilization and Conservation Service

Figure 11 of 21.

11

1937 Orthophoto

Lands of Kenneth Dominic Alton Drummond

DDRUM19001



Legend Information







Figure 12 of 21.	1926 Orthophoto		Legend Information
12	Lands of Kenneth Dominic Alton Drummond		
	DDRUM19001		



Figure 13 of 21.  
13

2015 State Strategies & Investment Levels  
Lands of Kenneth Dominic Alton Drummond  
DDRUM19001



	Subject Parcel		Investment Level Level 4 (Unshaded)
	Other Tax Parcels		Out Of Play

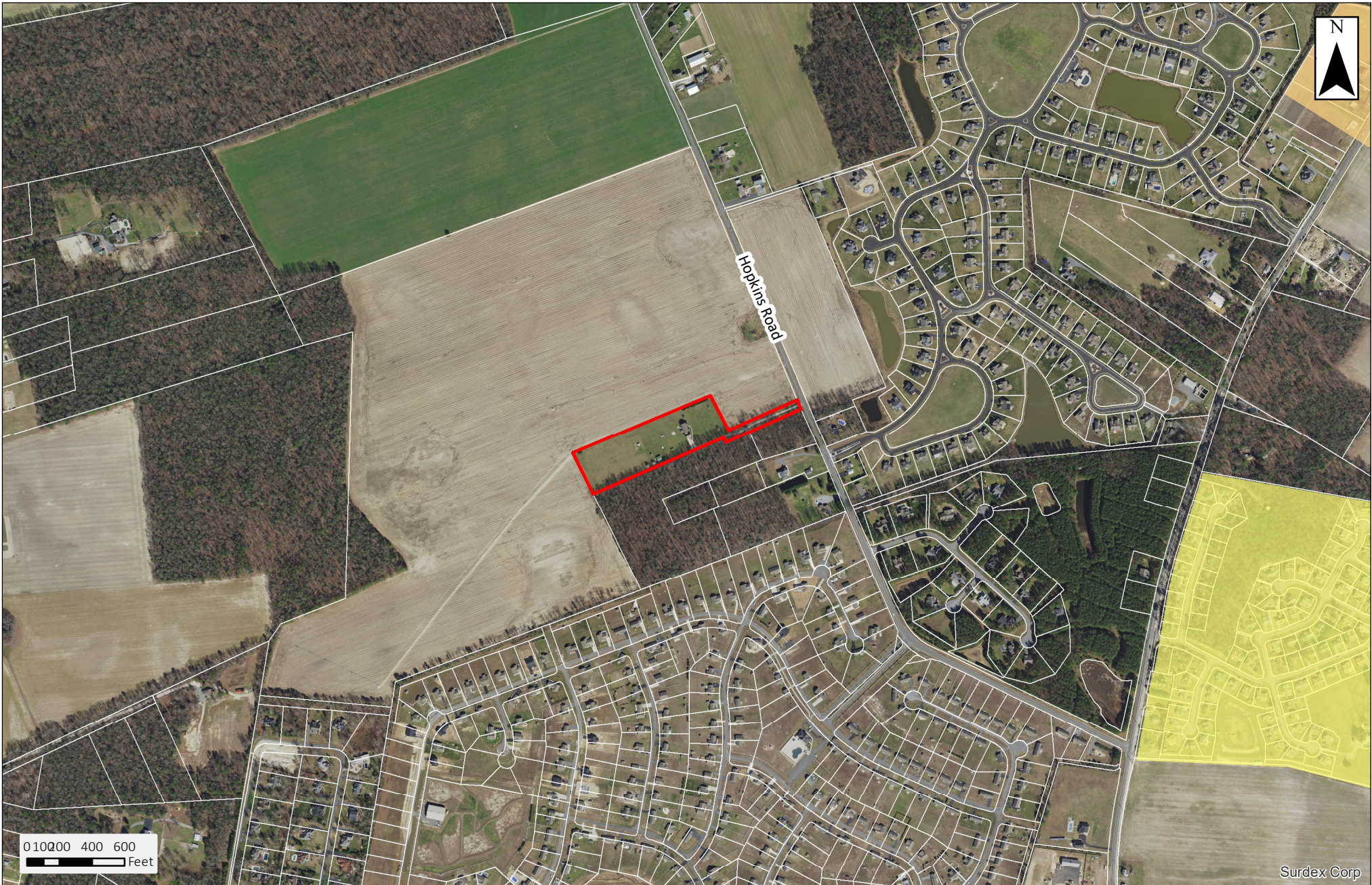





Figure 14 of 21.  
14

**County Zoning Map**  
Lands of Kenneth Dominic Alton Drummond  
DDRUM19001



	Agricultural Residential 1		Medium Residential
	General Residential		

Surdex Corp

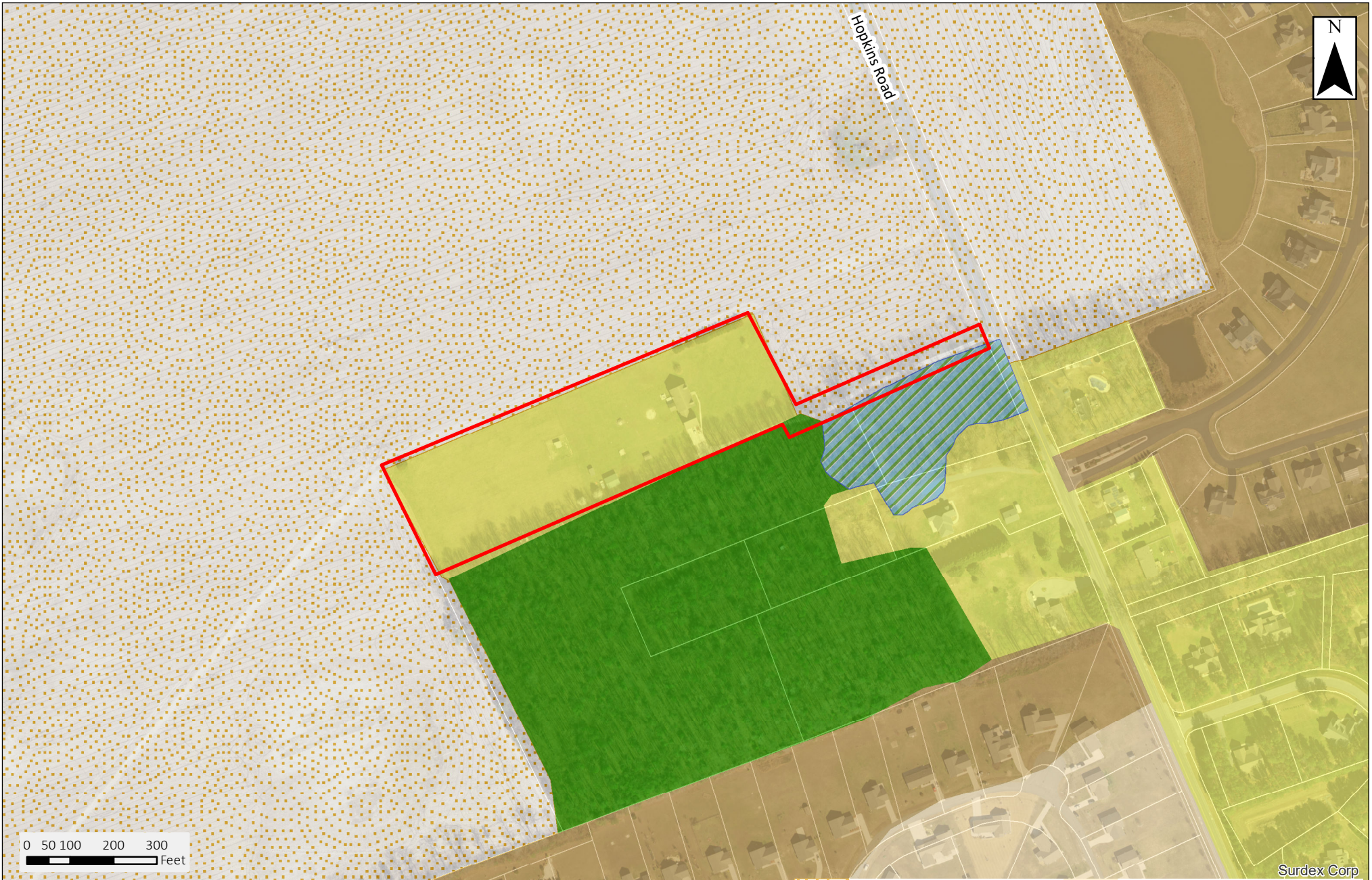


Figure 15 of 21.

15

2012 Land Use Land Cover

Lands of Kenneth Dominic Alton Drummond

DDRUM19001

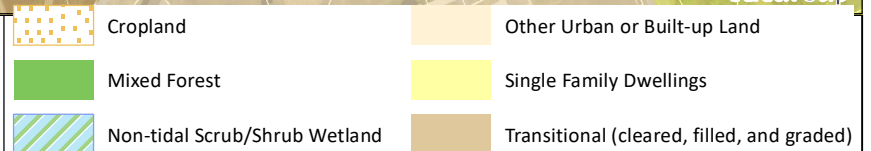




Figure 16 of 21.

16

### NRCS Soils Map

Lands of Kenneth Dominic Alton Drummond

DDRUM19001



**Soil Types:**

DnA - Downer loamy sand, 0-2% slopes

DoA - Downer sandy loam, 0-2% slopes

leA - Ingleside loamy sand, 0-2% slopes





Figure 17 of 21.

17

### State Wetlands Mapping

Lands of Kenneth Dominic Alton Drummond

DDRUM19001



 DNREC Wetlands



Figure 18 of 21.  <b>18</b>	<b>FEMA Floodplain Mapping</b>		 Zone X
	Lands of Kenneth Dominic Alton Drummond		FEMA Flood Map #10005C0330J (1/5/2005)
	DDRUM19001		



Figure 19 of 21.  19	Groundwater Recharge Potential		Recharge Potential	
	Lands of Kenneth Dominic Alton Drummond		 Poor	 Fair
	DDRUM19001			

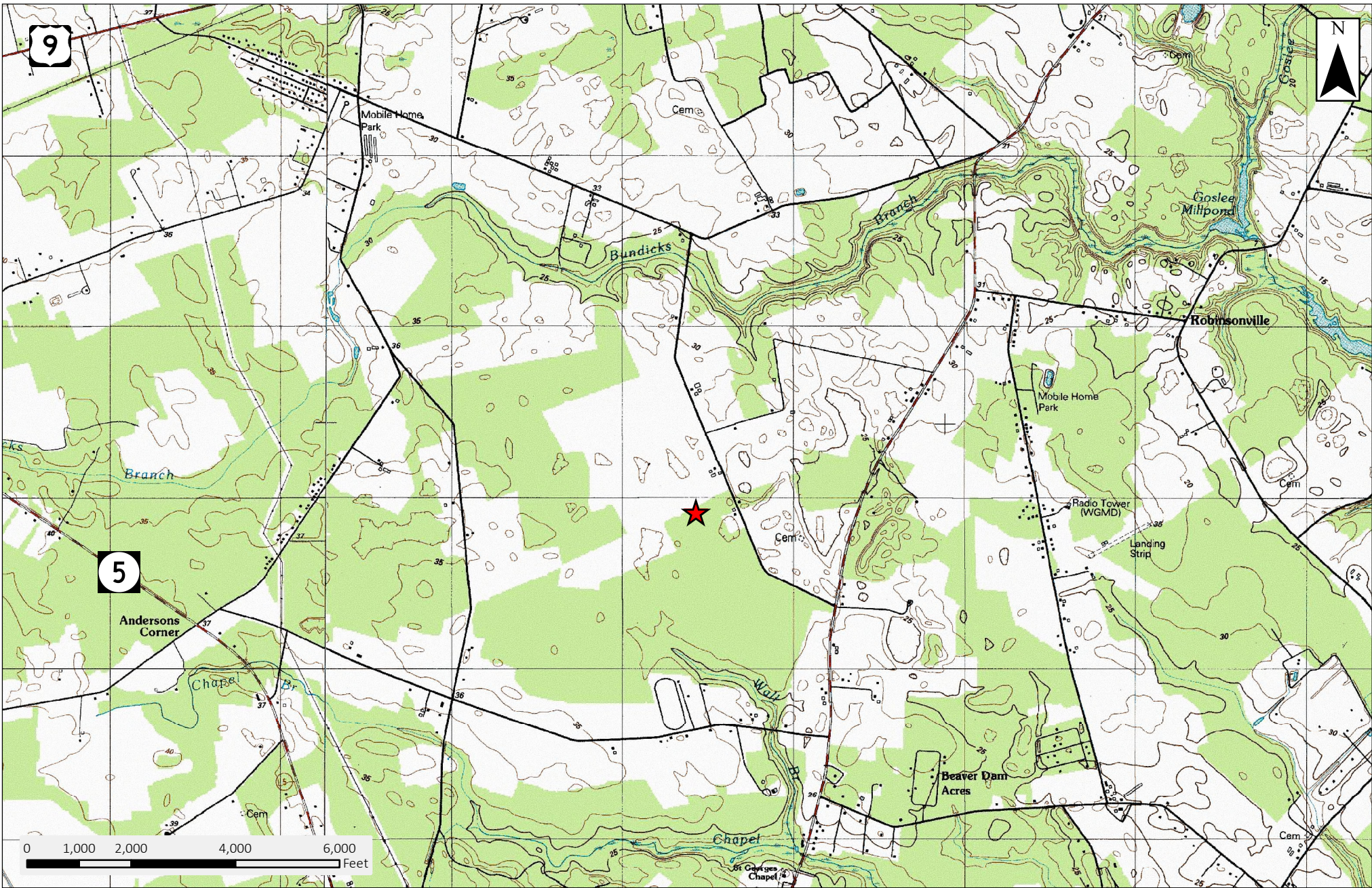


Figure 20 of 21.

USGS Topographic Map

20

Lands of Kenneth Dominic Alton Drummond

DDRUM19001

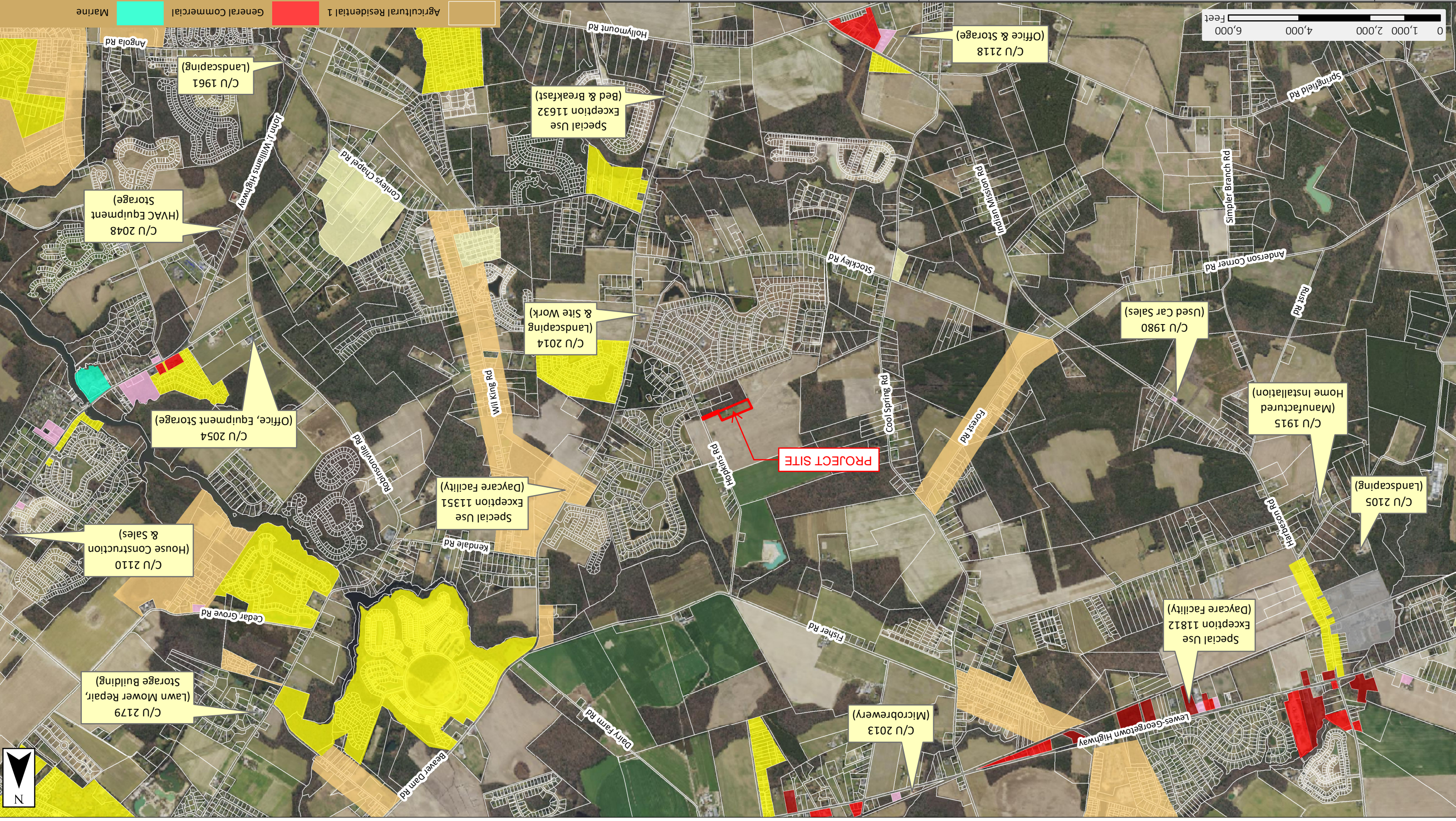


# Area Approved Land Use Applications & County Zoning

Lands of Kenneth Dominic Drummond  
DDRM19001

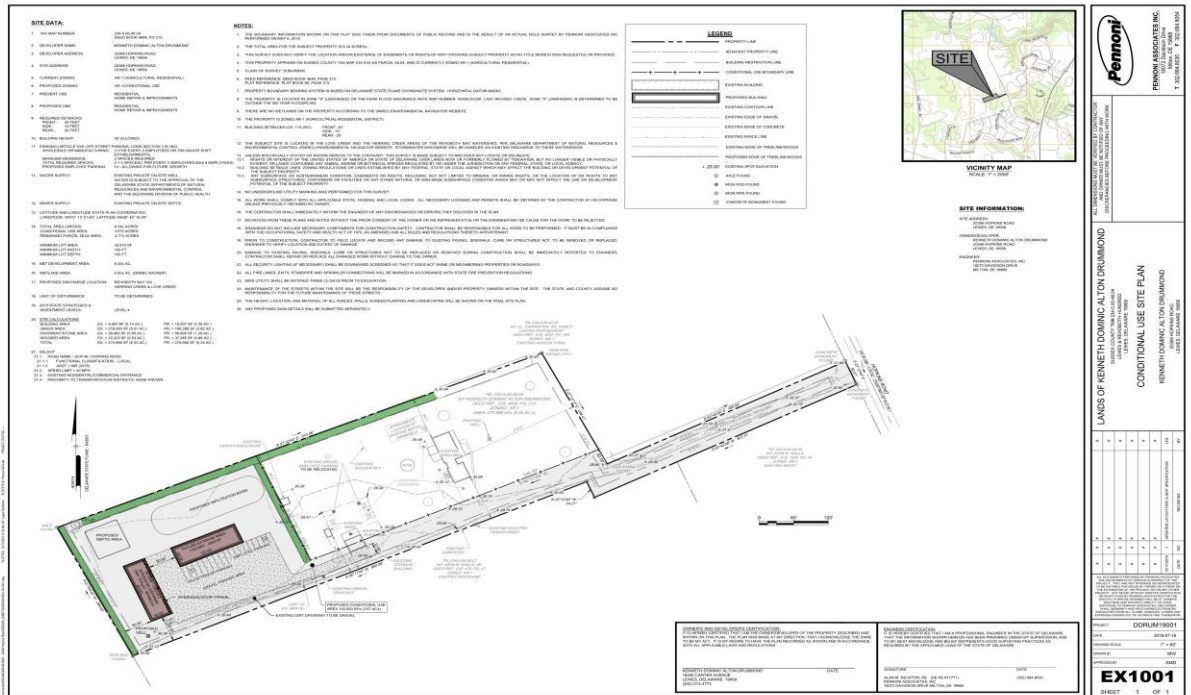


Neighborhood Business	Heavy Industrial	Commercial Residential	Agricultural Residential 1
Medium Residential	General Residential	Agricultural Residential 2	General Commercial
			Marine



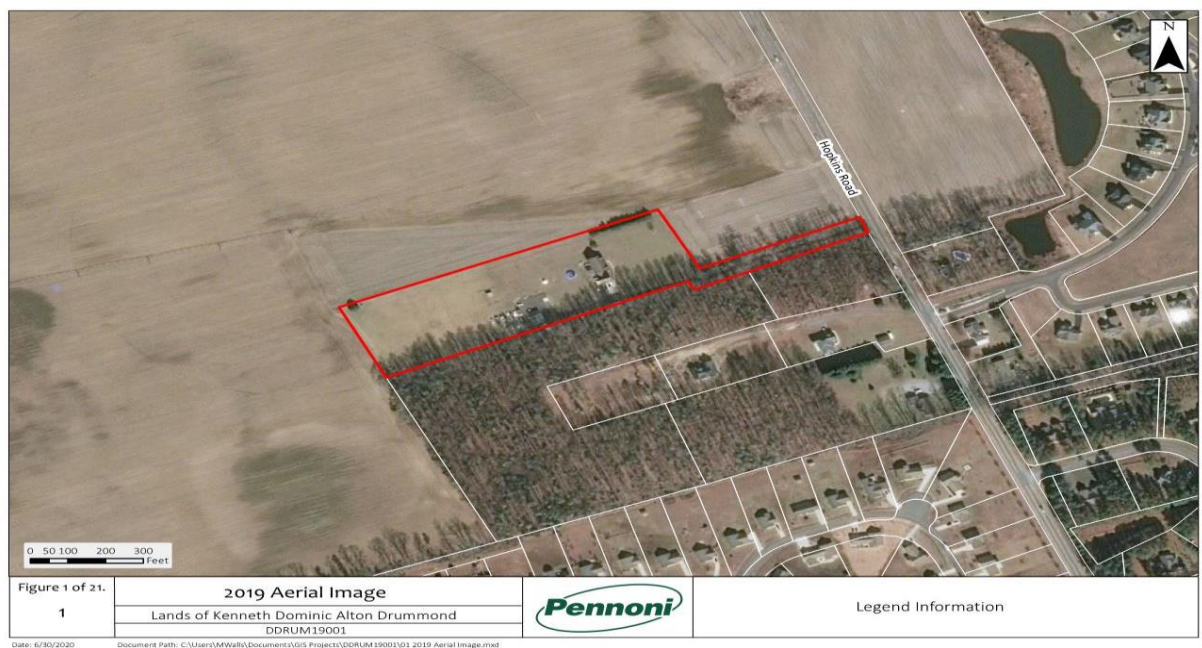
**KENNETH DOMINIC ALTON DRUMMOND**  
**QUALITY CARE HOMES**  
**CONDITIONAL USE #2216**  
**PROPOSED FINDINGS OF FACT**

1. This is an application to grant a conditional use of lands in a AR-1 Agricultural Residential District located on 3.57 acres of the 6.34 acres property, more or less, in the Lewes and Rehoboth Hundred located on the west side of Hopkins Road Sussex County Road 286.



2. The applicant is Kenneth Dominic Alton Drummond owner of Quality Care Homes The subject property has been owned by Mr. Drummond since February 2018.
3. The property is identified on the tax maps of the Sussex County Department of Finance as Tax Map No. 234-5.00 Parcel 46.04.

4. The properties are bordered on:
  - a. North and West by Agricultural Fields currently being farmed – these lands are not in Ag Preservation.
  - b. South by wooded lands that was once part of the total tract from which the subject property was part of.
  - c. East by Hopkins road which is a local road with connections to Fisher Road and Beaverdam Road which will provide easy and safe access to Georgetown, Lewes, Rehoboth Beach, Millsboro and the Long Neck Area.



5. The proposed Conditional Use is for Home remodeling & Repair Services; Storage Repair and Maintenance; Light Building Material and Storage and General Office for Quality Care Homes and Managers Residence for Quality Care Homes.
6. The purpose of the Conditional Use is to provide for certain uses which cannot be well adjusted to their environment in particular locations with full protection offered to surrounding properties by rigid application of the district regulations. These uses are generally of a public or semipublic character and are essential and desirable for the

general convenience and welfare but, because of the nature of the use, the importance of the relationship to the Comprehensive Plan and possible impact not only on neighboring properties but on a large section of the county, require the exercise of planning judgment on location and site plan. The Conditional Use Site Plan Submitted shows how the applicant plans to develop the property for his business. He and his family live on the property and are a part of the neighborhood and therefore has proposed a plan that will not alter the essential character of the neighborhood or create a public nuisance. The applicant has planted in excess of 80 new trees along the open borders of his property. The buildings, parking, storage, etc begins approximately 1000-feet back from Hopkins Road and is not adjacent to any single-family residences. The conditional use area will be surrounded by a vegetative buffer that will provide for proper screening from adjacent neighbors and roadways. Stormwater will be within the conditional use area of the property and will provide for 100% infiltration and groundwater recharge and will meet all SCD/DNREC State Regulations. There will be a new Onsite Wastewater Disposal System and Onsite Domestic Well meeting all the requirements of the DNREC for the uses proposed under the Conditional Use Application. The entrance for the application will share the same entrance as the single-family home on the property and any upgrades to the entrance as required by DelDOT will be provided by the applicant. Two (2) additional buildings are being proposed to provide a means for storage of materials, repairs to vehicles and the day-to-day office and business operation for Quality Care Homes. The second story of one of the buildings will be for general office operations as well as living space for the Businesses General Manager or quality employee. In general, with the objective of ensuring a durable, harmonious and appropriate use of the land in accordance with the objectives of the Comprehensive Plan, the Conditional Use Site Plan presented with the application, assures a good arrangement and appearance and ensuring harmony with the neighborhood.

7. Since 2015 Quality Care Homes has been a local Delaware company that believes in delivering home improvement and general contractor services to the homeowners of Coastal Sussex County. Quality Care Homes provides Home Remodeling, Kitchen and



Bath upgrades, Decks and Porches and General Contracting and Repairs. Quality Care Homes has 2-full time employees, 8 “1099” sub-contractor employees and plans to grow to 20 full-time employees in the future.

8. In the 2019 Sussex County Comprehensive Plan – the area for the proposed Conditional Use is identified to be in a Low-Density. The focus of business uses in Low Density Areas should be providing services to nearby residents. Commercial uses in these residential areas should be limited in their location, size and hours of operation. The Sussex Plan suggests that each application should be reviewed on its own merit and does not have a negative impact on the surrounding area or the county in general.
9. The 2015 Strategies for State Policies and Spending Map identifies the area as Investment 4.
10. The project will be subject to the “Conditions of Approval” which have been submitted as a part of this application.
11. The Conditional Use will be subject to Preliminary and Final Site Plan review and approval by the Planning & Zoning Commission.
12. The proposed conditional use meets the general purpose of the Zoning Ordinance being located in an appropriate location meeting the purpose of this district and the comprehensive plan by providing sufficient space in appropriate locations for certain uses which cannot be well adjusted to their environment in particular locations with full protection offered to surrounding properties by rigid application of the district regulations, which is essential and desirable for the general convenience, orderly growth, prosperity and welfare of the County.

**KENNETH DOMINIC ALTON DRUMMOND  
QUALITY CARE HOMES  
CONDITIONAL USE #2216  
CONDITIONS OF APPROVAL**

Conditional Use approval is subject to the following conditions:

- A. This use shall be limited to home remodeling and home construction services with light material storage, along with maintenance and repairs to the equipment associated with the business and office space for the business and a residence for the manager/employee associated with business. No other businesses shall be conducted from the site and no vehicles associated with any other businesses shall be parked on the site. No retail sales shall be conducted from the site.
- B. To enhance the general character of the district and its compatibility with its residential and agricultural surroundings, one indirectly illuminated on-premises sign, not to exceed 32 square feet of sign area per side shall be permitted for the business.
- C. The hours of operation shall be limited to 6:00 am through 6:00 pm, Monday through Friday and 7:00 am through 2:00pm on Saturday. There shall not be any Sunday hours of operation.
- D. Any security lighting shall be screened so that it does not shine on neighboring properties or roadways.
- E. The applicant shall comply with all DeIDOT requirements, including any entrance or roadway improvements.
- F. All stormwater management facilities shall be subject to the review and approval of the Sussex Conservation District. The final Site Plan shall include the approval of the Sussex Conservation District for the design and location of the stormwater management areas.
- G. There shall not be any dumping on the site and all dumpsters permitted on the site shall be screened from the view of neighboring properties and roadways.
- H. The Final Site Plan shall clearly show all areas for vehicle and equipment storage and parking, and these areas shall be clearly marked on the site itself.
- I. All equipment, trailer and vehicle maintenance and repair shall occur indoors.
- J. All loading areas, storage areas and trash container areas shall be screened and be located at least 50-feet from all property lines. This buffer area shall be shown on the Final Site Plan.
- K. Failure to comply with any of these conditions shall be grounds for termination of the Conditional Use Approval.
- L. The Final site Plan shall be subject to the review and approval of the Planning and Zoning Commission.

**PLANNING & ZONING COMMISSION**

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE-CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY J. WINGATE



**Sussex County**

DELAWARE  
sussexcountyde.gov  
302-855-7878 T  
302-854-5079 F  
JAMIE WHITEHOUSE, AICP, MRTPI

**PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET**  
Planning Commission Public Hearing Date July 23, 2020.

Application: (CU 2233) Brothers Landscaping, LLC

Applicant: Brothers Landscaping, LLC  
24516 German Road  
Seaford, DE 19973

Owner: Ualfred and Ismar Chun  
24516 German Road  
Seaford, DE 19973

Site Location: 24516 German Road  
Seaford, DE 19973

Current Zoning: Agricultural Residential (AR-1)

Type of Conditional  
Use Requested: Landscaping Business

Comprehensive Land  
Use Plan Reference: Low Density

Councilmanic  
District: Mr. Wilson

School District: Seaford School District

Fire District: Seaford Fire District

Sewer: Tier 4- System Optional Area

Water: Private

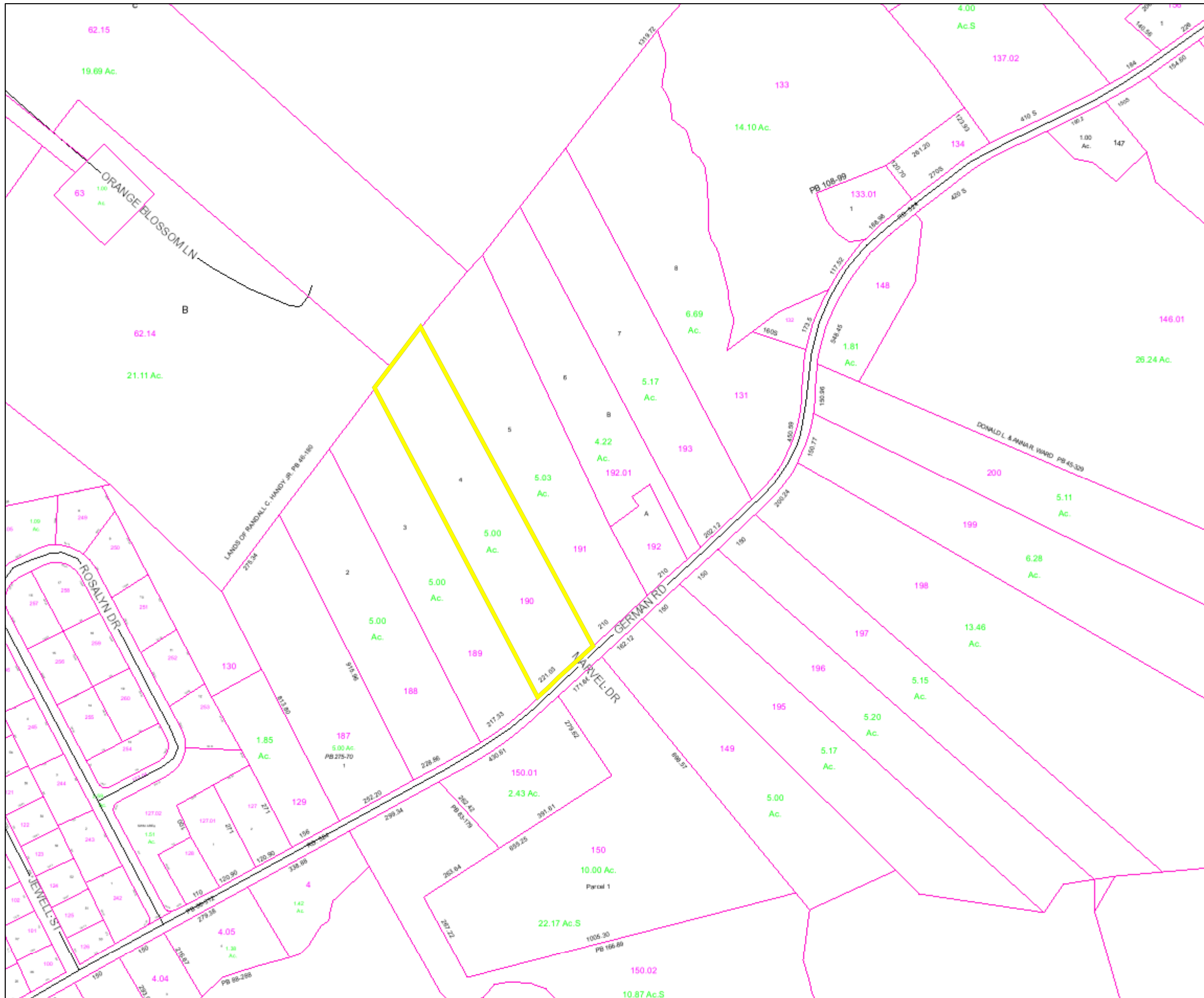
Site Area: 5.00 acres +/-

Tax Map ID.: 231-13.00-190.00





# Sussex County



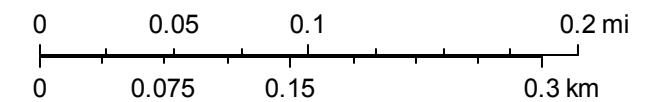
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<b>Owner Name</b>	CHUN	CASTRO
	UALFRED E	
<b>Book</b>	5121	
<b>Mailing Address</b>	24516 GERMAN RD	
<b>City</b>	SEAFORD	
<b>State</b>	DE	
<b>Description</b>	LANDS OF RANDALL C	
<b>Description 2</b>	HANDY JR LOT 4	
<b>Description 3</b>	NW/RT 524 CT#43155	
<b>Land Code</b>		

- polygonLayer**

Override 1
- polygonLayer**

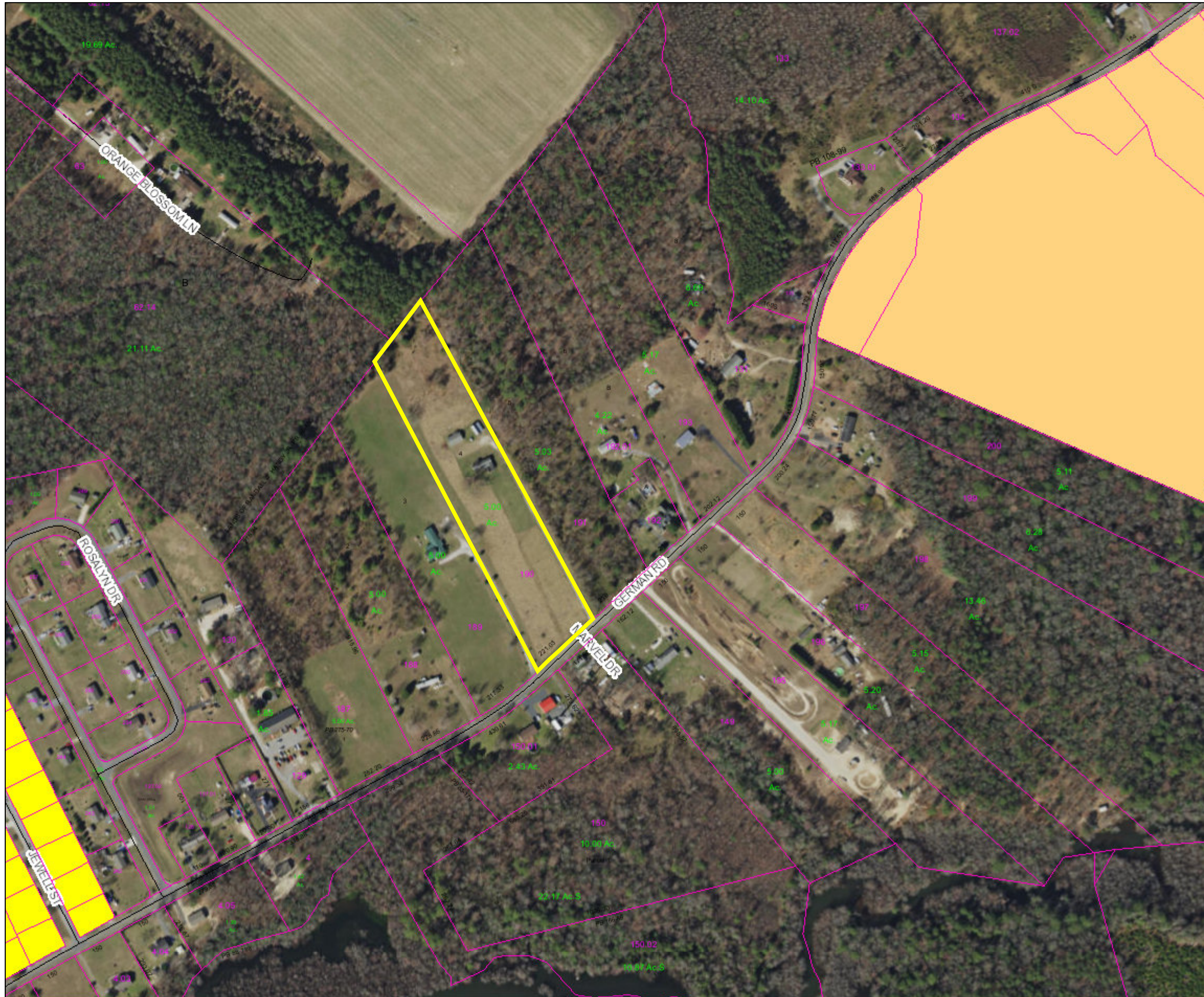
Override 1
- Tax Parcels
- Streets
- County Boundaries
- DOE School Districts

1:4,514





# Sussex County



<b>PIN:</b>	231-13.00-190.00	
<b>Owner Name</b>	CHUN	CASTRO
	UALFRED E	
<b>Book</b>	5121	
<b>Mailing Address</b>	24516 GERMAN RD	
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<b>Description 2</b>	HANDY JR LOT 4	
<b>Description 3</b>	NW/RT 524 CT#43155	
<b>Land Code</b>		

**polygonLayer**

Override 1

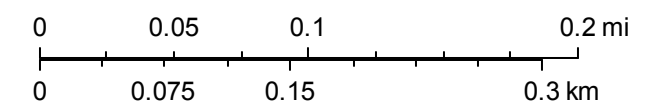
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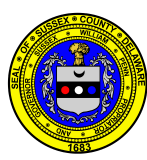
Override 1

Tax Parcels

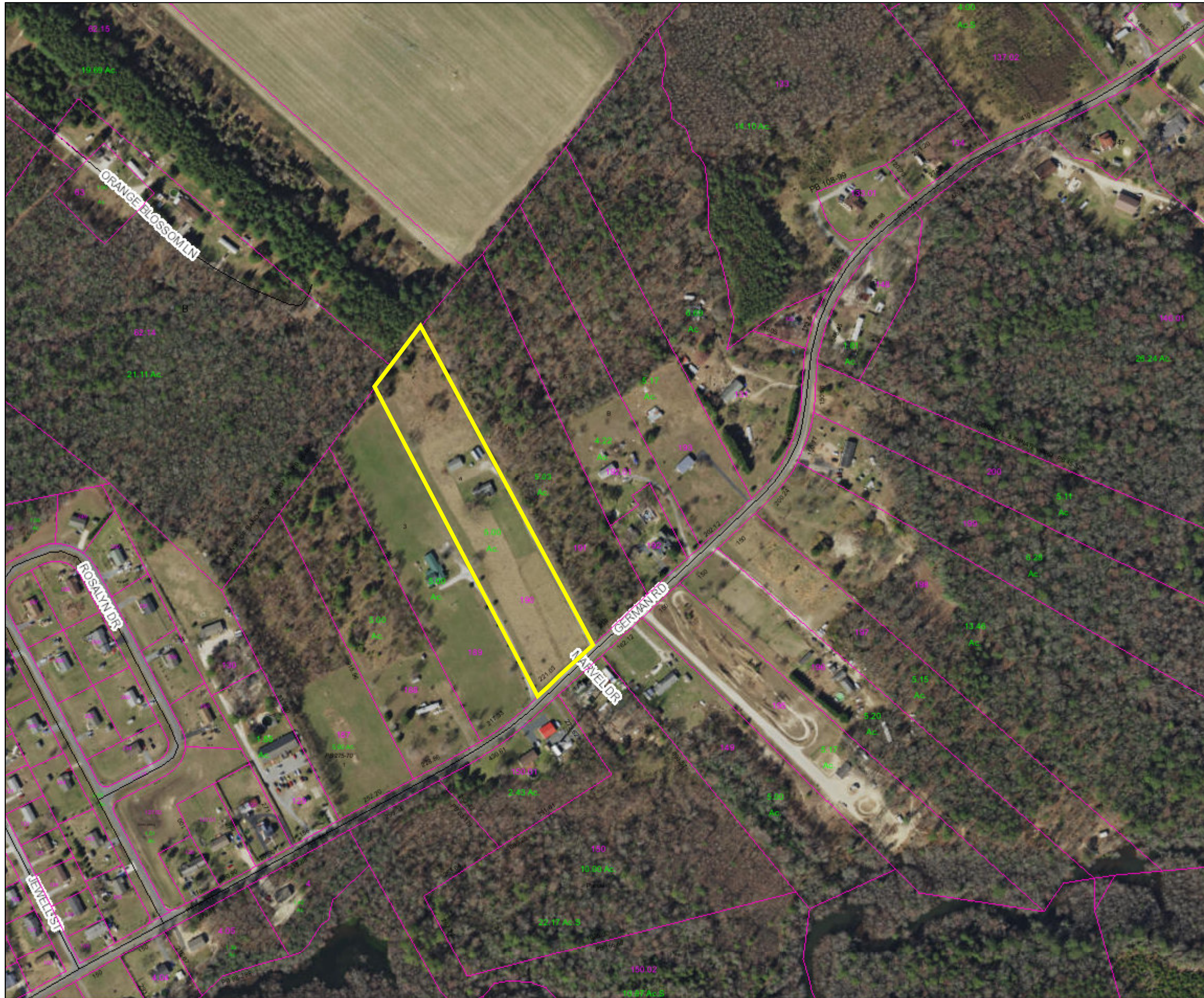
Streets

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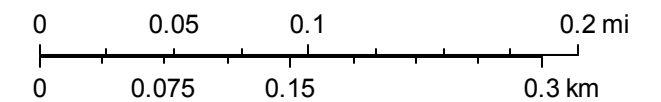
# Sussex County



<b>PIN:</b>	231-13.00-190.00	
<b>Owner Name</b>	CHUN	CASTRO
	UALFRED E	
<b>Book</b>	5121	
<b>Mailing Address</b>	24516 GERMAN RD	
<b>City</b>	SEAFORD	
<b>State</b>	DE	
<b>Description</b>	LANDS OF RANDALL C	
<b>Description 2</b>	HANDY JR LOT 4	
<b>Description 3</b>	NW/RT 524 CT#43155	
<b>Land Code</b>		

- polygonLayer**
- Override 1
- polygonLayer**
- Override 1
-  Tax Parcels
-  Streets
-  County Boundaries
-  DOE School Districts

1:4,514



File #: CU 2233  
Application # 202005023

## Planning & Zoning Commission Application Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

RECEIVED

JUN 06 2020

SUSSEX COUNTY  
PLANNING & ZONING

Type of Application: (please check applicable)

Conditional Use

Zoning Map Amendment

Site Address of Conditional Use/Zoning Map Amendment

24516 German Rd, Seaford

Type of Conditional Use Requested:

Tax Map #: 231-13.00-190.00

Size of Parcel(s): 5.00 Acres

Current Zoning: AR-1

Proposed Zoning: CU

Size of Building: \_\_\_\_\_

Land Use Classification: Residential

Water Provider: Well

Sewer Provider: septic

### Applicant Information

Applicant Name: Brothers Landscaping, LLC

Applicant Address: 24516 German Rd

City: Seaford

State: DE

Zip Code: 19973

Phone #: 302-528-7673

E-mail: brothersgrading73@gmail.com

### Owner Information

Owner Name: Walfred Chun / Ismar Chun

Owner Address: 24516 German Rd

City: Seaford

State: DE

Zip Code: 19973

Phone #: 302-528-7673

E-mail: brothergrading73@gmail.com

### Agent/Attorney/Engineer Information

Agent/Attorney/Engineer Name: Barry Hall - Solutions IPem

Agent/Attorney/Engineer Address: 3003 Merritt Mill Road

City: Salisbury

State: MD

Zip Code: 21804

Phone #: 410-572-8833

E-mail: \_\_\_\_\_



# Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application



## Completed Application

- \_\_\_ Provide eight (8) copies of the Site Plan or Survey of the property
  - o Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
  - o Provide a PDF of Plans (may be e-mailed to a staff member)
  - o Deed or Legal description
  
- \_\_\_ Provide Fee \$500.00
  
- \_\_\_ Optional - Additional information for the Commission/Council to consider (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.
  
- \_\_\_ Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.
  
- \_\_\_ DeIDOT Service Level Evaluation Request Response
  
- \_\_\_ PLUS Response Letter (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

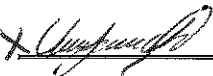
I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

### Signature of Applicant/Agent/Attorney

X  \_\_\_\_\_

Date: 03-19-2020

### Signature of Owner

X  \_\_\_\_\_

Date: 03-19-2020

### For office use only:

Date Submitted: \_\_\_\_\_ Fee: \$500.00 Check #: \_\_\_\_\_  
Staff accepting application: \_\_\_\_\_ Application & Case #: \_\_\_\_\_  
Location of property: \_\_\_\_\_

Subdivision: \_\_\_\_\_  
Date of PC Hearing: \_\_\_\_\_ Recommendation of PC Commission: \_\_\_\_\_  
Date of CC Hearing: \_\_\_\_\_ Decision of CC: \_\_\_\_\_



# Mailing List Application Form

For Applications requiring a Public Hearing in Sussex County

Please fill out this form and return it with your application. As a part of your application a Public Hearing is required. The property owners within 200' of the site of the application will be notified. Staff will notify the property owners.

## Application Information:

Site Address: 24516 German Rd  
Seaford DE 19973

Parcel #: 231 - 1300 - 190.00

Site Address: 24516 German Rd  
Seaford DE 19973

Parcel #: 231 - 13.00 - 190.00

Applicant Name: Brother's Landscaping, LLC

Owner Name: Walfred Chun / Ismar Chun

## Type of Application:

Conditional Use:  \_\_\_\_\_

Change of Zone: \_\_\_\_\_

Subdivision: \_\_\_\_\_

Board of Adjustment: \_\_\_\_\_

Date Submitted: \_\_\_\_\_

## For office use only:

Date of Public Hearing: \_\_\_\_\_

File #: \_\_\_\_\_

Date list created: \_\_\_\_\_

List created by: \_\_\_\_\_

Date letters mailed: \_\_\_\_\_

Letters sent by: \_\_\_\_\_



## Planning & Zoning Project Contact List

### Applicant Information

Applicant Name: Brother's Landscaping LLC  
 Applicant Address: 24516 German Rd  
 City: Seaford State: DE Zip: 19973  
 Phone #: 302-528-7673 E-mail: brothersgrading73@gmail.com

### Owner Information

Owner Name: Wolfred Chun / Ismar Chun  
 Owner Address: 24516 German Rd  
 City: Seaford State: DE Zip: 19973  
 Phone #: 302-528-7673 E-mail: brothersgrading73@gmail.com

### Engineer/Surveyor Information

Engineer/Surveyor Name: Barry Hall - Solutions IPEM  
 Engineer/Surveyor Address: 3003 Merritt Mill ~~and~~ Road  
 City: Salisbury State: MD Zip: 21804  
 Phone #: 410-572-8833 E-mail: \_\_\_\_\_

### Agent/Attorney Information

Agent/Attorney Name: \_\_\_\_\_  
 Agent/Attorney Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

### Other

Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_







STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

January 31, 2020

Mr. Jamie Whitehouse, Acting Director  
Sussex County Planning & Zoning  
P.O. Box 417  
Georgetown, DE 19947

Dear Mr. Whitehouse:

The Department has completed its review of a Service Level Evaluation Request for the **Ismar Chun / Ualfred Chun** conditional use application, which we received on January 15, 2020. This application is for an approximately 5.00-acre parcel (Tax Parcel: 231-13.00-190.00). The subject land is located on the northwest side of German Road (Sussex Road 524), approximately 4,490 feet northeast of the intersection of German Road and Concord Pond Road (Sussex Road 516), east of Seaford. The subject land is currently zoned AR-1 (Agricultural Residential), and the applicant is seeking a conditional use approval to operate a landscaping business.

Per the 2018 Delaware Vehicle Volume Summary, the annual average daily traffic volume along the segment of German Road where the subject land is located is 815 vehicles per day.

Based on our review, we estimate that the above land use will generate fewer than 50 vehicle trips in any hour and fewer than 500 vehicle trips per day. These numbers of trips are DelDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. Because the proposed land use would not meet these warrants, we consider the development's traffic impact to be negligible in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DelDOT's description of this application as negligible with regard to warranting a TIS does not mean that it is negligible in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.

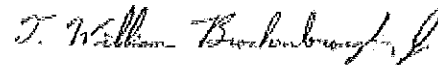
If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.



Mr. Jamie Whitehouse  
Page 2 of 2  
January 31, 2020

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.  
County Coordinator  
Development Coordination

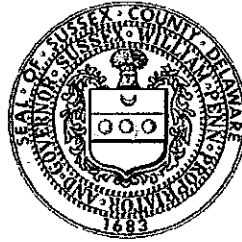
TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues  
Ismar Chun and Ualfred Chun, Applicant  
J. Marc Coté, Assistant Director, Development Coordination  
Gemez Norwood, South District Public Works Manager, Maintenance and Operations  
Susanne Laws, Sussex County Subdivision Coordinator, Development Coordination  
Derek Sapp, Subdivision Manager, Development Coordination  
Kevin Hickman, Subdivision Manager, Development Coordination  
Brian Yates, Subdivision Manager, Development Coordination  
John Andrescavage, Subdivision Manager, Development Coordination  
James Argo, South District Project Reviewer, Maintenance & Operations  
Troy Brestel, Project Engineer, Development Coordination  
Claudy Joinville, Project Engineer, Development Coordination

**PLANNING & ZONING**

JANELLE M. CORNWELL, AICP  
DIRECTOR

(302) 855-7878 T  
(302) 854-5079 F



**Sussex County**

DELAWARE  
sussexcountyde.gov

**Service Level Evaluation Request Form**

This form **shall** be submitted to the Planning and Zoning Office and a response **shall** be received back from DeDOT prior to the applicant being able to submit an application to the Planning and Zoning Office.

Date: 1/16/20

**Site Information:**

Site Address/Location: 24516 German Rd Seaford, DE 19973

Tax Parcel Number: 231-13.00 - 190.00

Current Zoning: AR-1

Proposed Zoning: Cu

Land Use Classification: Residential

Proposed Use(s): Back of property, parking, employee cars and our business vehicles and equipment. No customers.

Square footage of any proposed buildings or number of units: 1 shed

**Applicant Information:**

Applicant's Name: Brothers Landscaping, LLC

Applicant's Address: 24516 German Rd

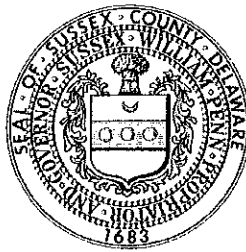
City: Seaford State: DE Zip Code: 19973

Applicant's Phone Number: 302-528-7673

Applicant's e-mail address: Brothersgrading73@gmail.com



**CONSTABLE**  
LESTER R. SHAFFER  
CHIEF COUNTY CONSTABLE  
(302) 855-7819 T  
(302) 855-7798 F



**Sussex County**  
DELAWARE  
sussexcountyde.gov

## NOTICE OF VIOLATION

January 15, 2020

ZUNUN AMILCAR BONI ORTIZ  
17573 DAVIS RD  
GEORGETOWN, DE 19947

REFERENCE NUMBER: 3261  
PARCEL: 231-13.00-190.00  
PARCEL DESCRIPTION: LANDS OF RANDALL C HANDY JR LOT 4 NW/RT 524  
CT#43155  
LOCATION: 24516 GERMAN ROAD SEAFORD

### **Violations: §115-22. Illegal Business in AR District.**

**The County Code requires a Conditional Use application that may be submitted to the Sussex County Planning & Zoning Department for consideration by the Planning & Zoning Commission. Based on the site visit, the property is in violation of County Code as described:**  
Landscaping business

---

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On 01/15/20 a site visit was conducted by the Sussex County Constable's Office. Based on observations made at that time, there is reason to believe a violation of the County Code exists on the parcel described above.

**Within fifteen (15) calendar days, the owner or occupant is required to obtain a permit for the above described structure. Failure to comply will result in a summons issued for you to appear in the Justice of the Peace Court or other court of competent jurisdiction as may be determined by Sussex County. Violations are subject to the remedies in the Sussex County Code outlined below, and such other remedies as may be available to Sussex County in law or in equity.**

### **§ 115-229 Violations and penalties.**

Any person or corporation who shall violate any of the provisions of this chapter or who shall fail to comply therewith or with any of the requirements thereof or who shall build or alter any building in violation of any detailed statement or plan submitted and approved hereunder shall be guilty of a misdemeanor and shall be liable to a fine of not more than \$100, and each day such violation shall be permitted to exist shall constitute a separate offense. The owner or owners of any building or premises or part thereof where anything in violation of this



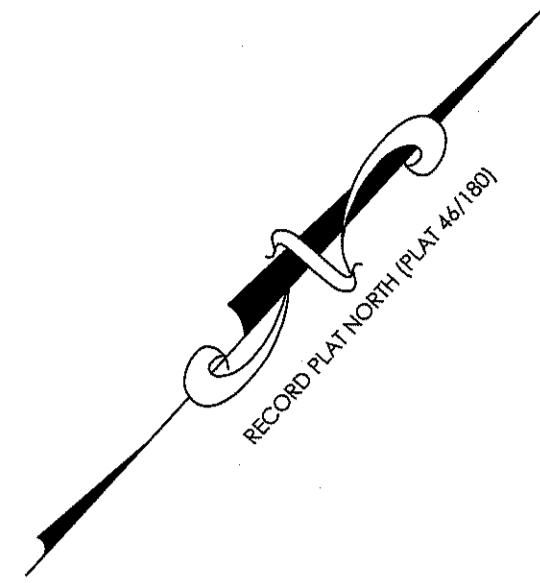
chapter shall be placed or shall exist and any architect, builder, contractor, agent, person or corporation employed in connection therewith and who has assisted in the commission of any such violation shall be guilty of a separate offense and, upon conviction thereof, shall be fined as hereinbefore provided.

If you have questions regarding this violation, please contact the office to discuss. If you have any documentation that disputes the preliminary findings, please provide copies to the Planning & Zoning Department for their review. **Please include this notice with any documentation you present.**

The office is in the County Administration Building, 2 The Circle, Georgetown, Delaware. The office hours are 8:30AM – 4:30PM, Monday through Friday.

This Notice of Violation is being issued under the authority of the Sussex County Planning and Zoning Director.

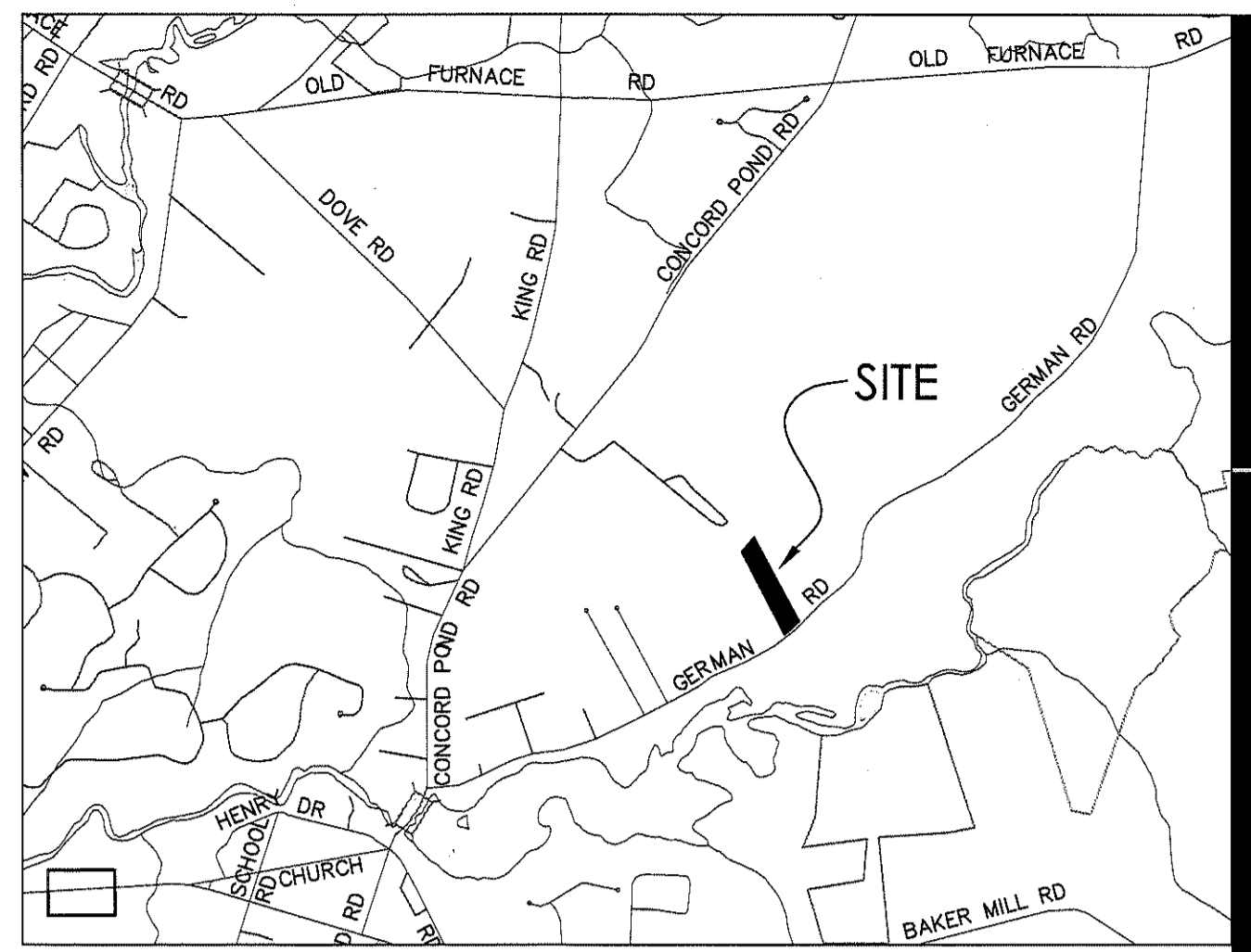
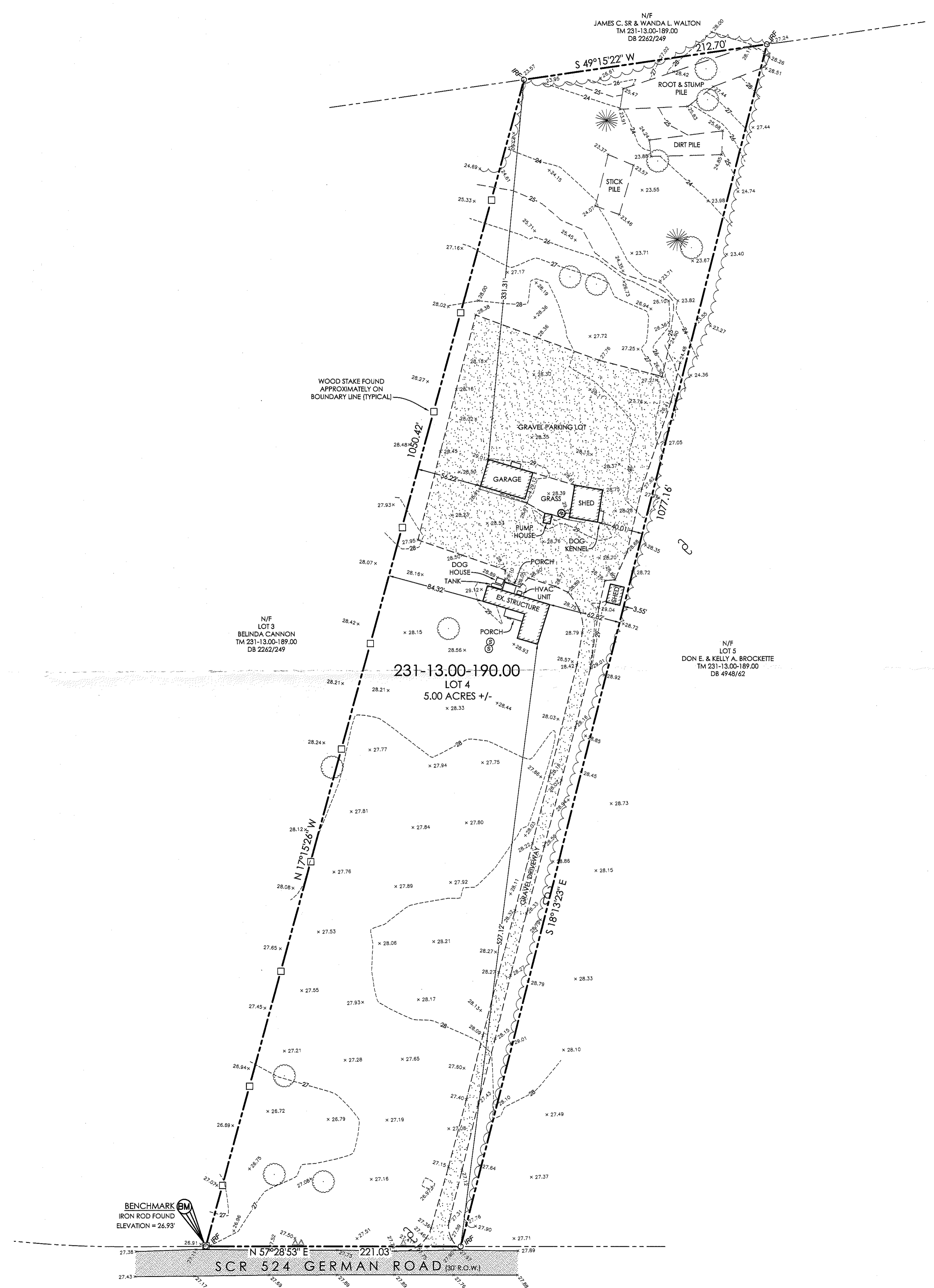
KELLY PASSWATERS  
Sussex County Constable



RECORD PLAT NORTH (PLAT 46/180)

**LEGEND**

- PROPERTY LINE
- DJOINING PROPERTY LINE
- IRON ROD FOUND
- BENCH MARK
- SPOT ELEV. LABEL
- MAJOR CONTOUR
- MINOR CONTOUR
- EDGE OF CONCRETE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- PAVEMENT HATCH
- CONCRETE HATCH
- GRAVEL HATCH
- BUILDING OUTLINE
- BUILDING HATCH
- MAILBOX
- SANITARY MANHOLE
- WELL
- UTILITY POLE
- TREE LINE
- DECIDUOUS TREE
- CONIFEROUS TREE



VICINITY MAP  
SCALE: 1" = 2000' +/-

**GENERAL NOTES**

1. CURRENT OWNER: UALFRED E. & ISMAR HERBERT CHUN CASTRO  
24516 GERMAN ROAD  
SEAFORD, DELAWARE 19973
2. TAX REFERENCE: 231-13.00-190.00
3. DEED REFERENCE: 5121/122
4. PLAT REFERENCE: 46/180
5. BASED UPON F.E.M.A. FLOOD INSURANCE RATE MAP NUMBER 10005C0268L, PANEL 288 OF 640, WITH AN EFFECTIVE DATE OF JUNE 20, 2018, THIS SITE IS LOCATED WITHIN FLOOD ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
6. SETBACKS PER ZONING CODE:  
FRONT = 40'  
SIDE = 15'  
REAR = 20'
7. ZONED: AR-1, AGRICULTURAL RESIDENTIAL
8. ELEVATION DATUM SHOWN HEREON IS REFERENCED TO NAVD 1988 DATUM.

**solutions**  
Integrated Planning  
Engineering & Management, LLC

303 North Bedford Street  
Georgetown, DE 19147  
T. 302.297.9215  
  
3003 Merritt Hill Road  
Salisbury, MD 21804  
T. 410.572.8833  
  
www.solutionsipem.com Copyright © 2020

Seal  
Date

REVISIONS	
NO.	DESCRIPTION

BOUNDARY SURVEY PLAN WITH EXISTING CONDITIONS  
OF THE LANDS OF  
**UALFRED E. CHUN CASTRO &  
ISMAR HERBERT CHUN CASTRO**  
NANTICOKE HUNDRED  
SUSSEX COUNTY, DELAWARE

**SURVEYOR'S CERTIFICATION**

I, BARRY M. HALL, CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, INFORMATION, AND BELIEF, THE BOUNDARY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE ACCEPTED SURVEYING STANDARDS FOR A SUBURBAN CLASS SURVEY.

SOLUTIONS I.P.E.M., LLC.  
by BARRY M. HALL, AGENT

*Barry M. Hall*  
BARRY M. HALL  
PROFESSIONAL LAND SURVEYOR DE NO. 618  
3003 MERRITT HILL ROAD,  
SALISBURY, MD 21804  
410-572-8833



Date:	02-25-2020
Job Number:	S20009
Scale:	M/RB
Drawn By:	1"=50'
Designed By:	
Approved By:	BMH

Sheet No.:

1

File Name:  
S20009-TOPO.DWG

**PLANNING & ZONING COMMISSION**

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE-CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY J. WINGATE



**Sussex County**

DELAWARE  
sussexcountyde.gov  
302-855-7878 T  
302-854-5079 F  
JAMIE WHITEHOUSE, AICP, MRTPI  
DIRECTOR

**PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET**  
Planning Commission Public Hearing Date July 23, 2020.

Application: (CZ 1918) Mark A. Casey

Applicant: Mark A. Casey  
28517 Warwick Road  
Millsboro, DE 19966

Owner: Mark A. Casey  
28517 Warwick Road  
Millsboro, DE 19966

Site Location: Located on the southeast corner of Warwick Road (S.C.R. 310A) and  
Downs Landing Road.

Current Zoning: Medium Density Residential (MR)

Proposed Zoning: Agricultural Residential (AR-1)

Comprehensive Land  
Use Plan Reference: Coastal Area

Councilmatic  
District: Mr. Hudson

School District: Indian River School District

Fire District: Indian River Fire District

Sewer: Private, On-Site

Water: Private, On-Site

Site Area: 7.10 acres +/-

Tax Map ID: 234-33.00-55.00





# Sussex County



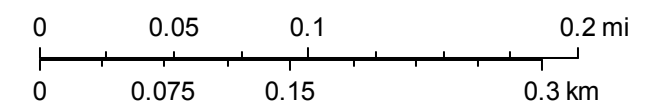
<b>PIN:</b>	234-33.00-55.00
<b>Owner Name</b>	CASEY MARK A
<b>Book</b>	4523
<b>Mailing Address</b>	4615 OLD LINDEN HILL RD
<b>City</b>	WILMINGTON
<b>State</b>	DE
<b>Description</b>	ON INDIAN RIVER
<b>Description 2</b>	N/A
<b>Description 3</b>	N/A
<b>Land Code</b>	

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Override 1
- polygonLayer**

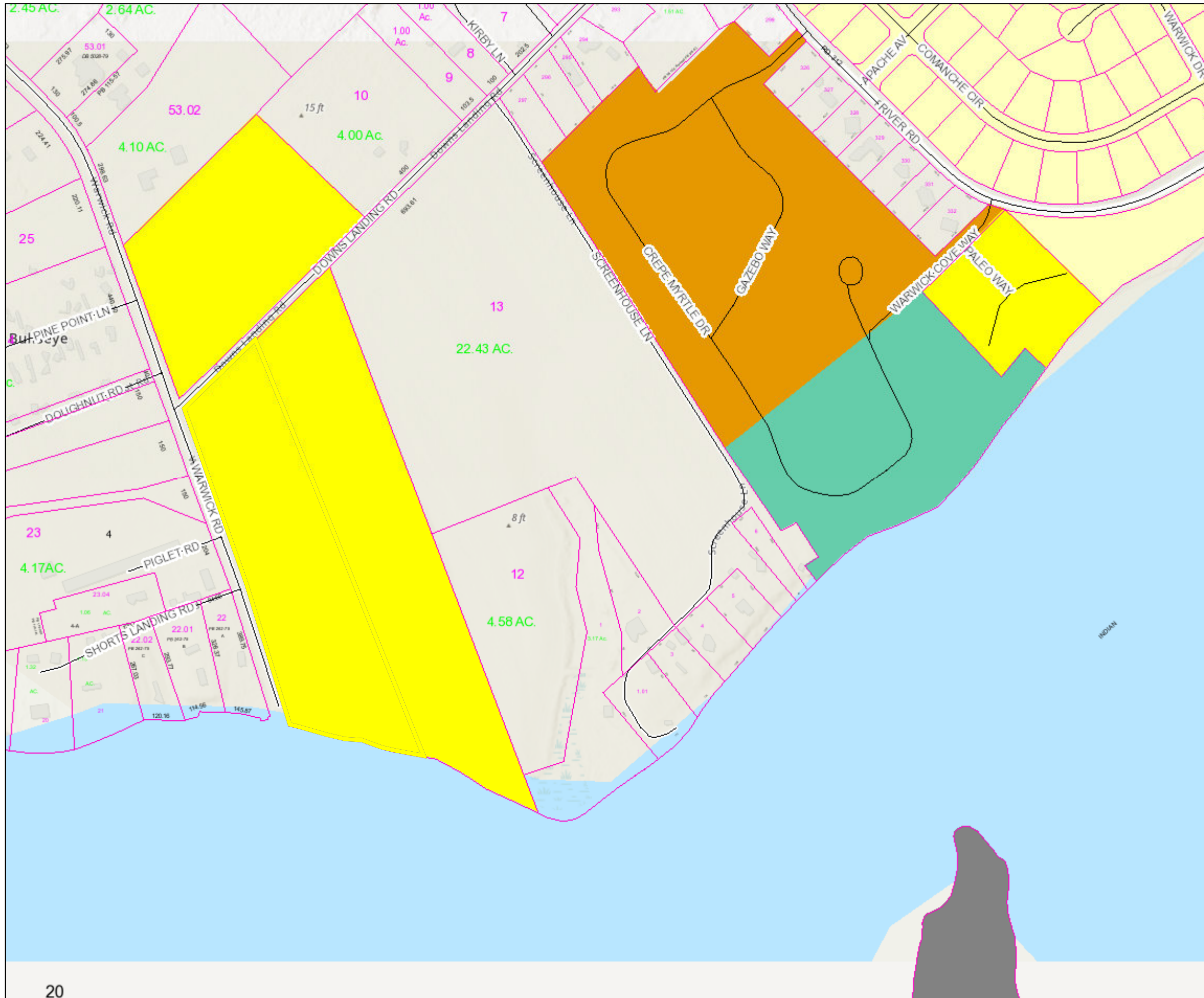
Override 1
- Tax Parcels
- Streets
- County Boundaries

1:4,514







# Sussex County

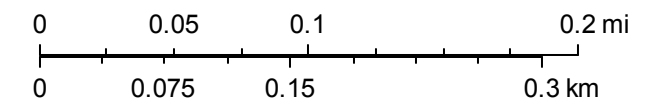


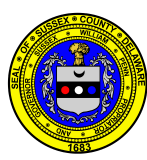
<b>PIN:</b>	234-33.00-55.00
<b>Owner Name</b>	CASEY MARK A
<b>Book</b>	4523
<b>Mailing Address</b>	4615 OLD LINDEN HILL RD
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<b>Description 2</b>	N/A
<b>Description 3</b>	N/A
<b>Land Code</b>	

- polygonLayer**

Override 1
- polygonLayer**

Override 1
-  Tax Parcels
-  Streets








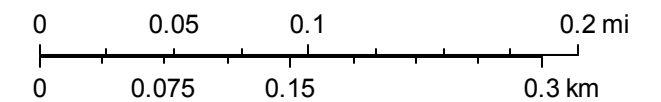
# Sussex County



<b>PIN:</b>	234-33.00-55.00
<b>Owner Name</b>	CASEY MARK A
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<b>Description</b>	ON INDIAN RIVER
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<b>Description 3</b>	N/A
<b>Land Code</b>	

- polygonLayer**
- Override 1
- polygonLayer**
- Override 1
-  Tax Parcels
-  Streets
-  County Boundaries

1:4,514



JAMIE WHITEHOUSE, AICP MRTPI  
PLANNING & ZONING DIRECTOR  
(302) 855-7878 T  
(302) 854-5079 F  
jamie.whitehouse@sussexcountyde.gov



**Sussex County**

DELAWARE  
sussexcountyde.gov

## Memorandum

To: Sussex County Planning Commission Members  
From: Lauren DeVore, Planner III  
CC: Vince Robertson, Assistant County Attorney and applicant  
Date: June 25, 2020  
RE: Staff Analysis for CZ 1918 Mark A. Casey

---

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CZ 1918 Mark A. Casey to be reviewed during the July 23, 2020 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Change of Zone for Tax Parcel 234-33.00-55.00 to allow for a change of zone from Medium Density Residential (MR) Zoning District to an Agricultural Residential (AR-1) Zoning District. The parcel is located on the southeast corner of Warwick Road (S.C.R. 310A) and Downs Landing Road in Millsboro. Additionally, the Indian River Bay abuts the south side of the parcel. The size of the property is approximately 7.10 acres +/-

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the subject property has the land use designation of "Coastal Area" with all adjoining properties to the west, east and north of the parcel also being designated "Coastal Areas."

"Coastal Areas" are areas that can accommodate development provided that special environmental concerns are addressed and include a range of housing types such as single-family homes and multi-family units. Retail and offices use are also appropriate within this Zoning District.

The areas to the south (on the opposite side of the Indian River Bay) of the subject parcel are designated as "Industrial Area." "Industrial Areas" support larger industrial uses, including but not limited to heavier industry, light industry, warehousing, and flex space.

The Agricultural Residential (AR-1) Zoning District is listed as an applicable zoning district for the Coastal Area under Table 4.5-2 "Zoning Districts Applicable to Future Land Use Categories" of the 2018 Sussex County Comprehensive Plan.

The property is zoned Medium Density Residential (MR) as are the adjoining property to the east and parcel to the north on the opposite side of Downs Landing Road. All properties to the west on the opposite side of Warwick Road (S.C.R. 310A) are zoned Agricultural Residential (AR-1).

Since 2011, there has been one Change of Zone application proposed within a one-mile radius of the application site. This application was for Change of Zone (C/Z 1823) to facilitate a change of



zone from an Agricultural Residential (AR-1) Zoning District to a Commercial Residential (CR-1) Zoning District. The application was approved by the County Council at its meeting of Tuesday, July 25, 2017 and adopted through Ordinance No. 2513.

Based on the analysis of the land use, surrounding zoning and uses, a Change of Zone to Agricultural Residential (AR-1) in this location, would be considered as being consistent with the land use, area zoning and surrounding uses.



R

File #: C/z#1918

# Planning & Zoning Commission Application Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

**Type of Application: (please check applicable)**

Conditional Use

Zoning Map Amendment

**Site Address of Conditional Use/Zoning Map Amendment**

28517 Warwick Rd

**Type of Conditional Use Requested:**

from MR to AR-1

Tax Map #: 234-33.00-55.00 Size of Parcel(s): 7.10 ACRES

Current Zoning: MR Proposed Zoning: AR-1 Size of Building: \_\_\_\_\_

Land Use Classification: \_\_\_\_\_

Water Provider: well Sewer Provider: SEPTIC

**Applicant Information**

Applicant Name: SAME AS OWNER

Applicant Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Owner Information**

Owner Name: MARK CASES

Owner Address: 28517 WARWICK ROAD

City: MILLSBORO State: DE Zip Code: 19966

Phone #: 302-612-1011 E-mail: MACDIVER56@AOL.COM

**Agent/Attorney/Engineer Information**

Agent/Attorney/Engineer Name: \_\_\_\_\_

Agent/Attorney/Engineer Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_



# Mailing List Application Form

For Applications requiring a Public Hearing in Sussex County

Please fill out this form and return it with your application. As a part of your application a Public Hearing is required. The property owners within 200' of the site of the application will be notified. Staff will notify the property owners.

## Application Information:

Site Address: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Parcel #: \_\_\_\_\_

Site Address: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Parcel #: \_\_\_\_\_

Applicant Name: \_\_\_\_\_

Owner Name: \_\_\_\_\_

## Type of Application:

Conditional Use: \_\_\_\_\_

Change of Zone: \_\_\_\_\_

Subdivision: \_\_\_\_\_

Board of Adjustment: \_\_\_\_\_

Date Submitted: \_\_\_\_\_

## For office use only:

Date of Public Hearing: \_\_\_\_\_

File #: \_\_\_\_\_

Date list created: \_\_\_\_\_

List created by: \_\_\_\_\_

Date letters mailed: \_\_\_\_\_

Letters sent by: \_\_\_\_\_

# Planning & Zoning Project Contact List

## Applicant Information

Applicant Name: \_\_\_\_\_  
Applicant Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

## Owner Information

Owner Name: \_\_\_\_\_  
Owner Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

## Engineer/Surveyor Information

Engineer/Surveyor Name: \_\_\_\_\_  
Engineer/Surveyor Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

## Agent/Attorney Information

Agent/Attorney Name: \_\_\_\_\_  
Agent/Attorney Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

## Other

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_





STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

June 19, 2018

Ms. Janelle Cornwell, Director  
Sussex County Planning & Zoning  
P.O. Box 417  
Georgetown, DE 19947

Dear Ms. Cornwell:

The Department has completed its review of a Service Level Evaluation Request for the **Mark Casey** rezoning application, which we received on May 25, 2018. This application is for a 6.75-acre parcel (Tax Parcel: 234-33.00-55.00). The subject land is located on the southeast corner of the intersection of Warwick Road (Sussex Road 310A) and Downs Landing Road (Sussex Road 313A). The subject land is currently zoned as MR (Medium-Density Residential), and the applicant is seeking to rezone the land to AR-1 (Agricultural Residential).

Per the 2017 Delaware Vehicle Volume Summary, the annual average daily traffic volume along Warwick Road is 509 vehicles per day. As the subject land also has frontage along Downs Landing Road, the annual average daily traffic volume along that road is 1,252 vehicles per day.

Based on our review, we estimate that the above land uses will generate fewer than 50 vehicle trips in any hour and fewer than 500 vehicle trips per day. These numbers of trips are DeIDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. Because the proposed land use would not meet these warrants, we consider the development's traffic impact to be negligible in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DeIDOT's description of this application as negligible with regard to warranting a TIS does not mean that it is negligible in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.



Ms. Janelle M. Cornwell  
Page 2 of 2  
June 19, 2018

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.  
County Coordinator  
Development Coordination

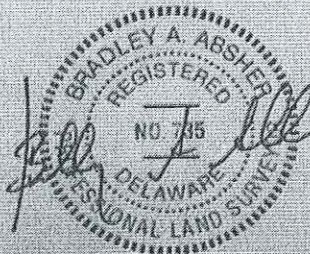
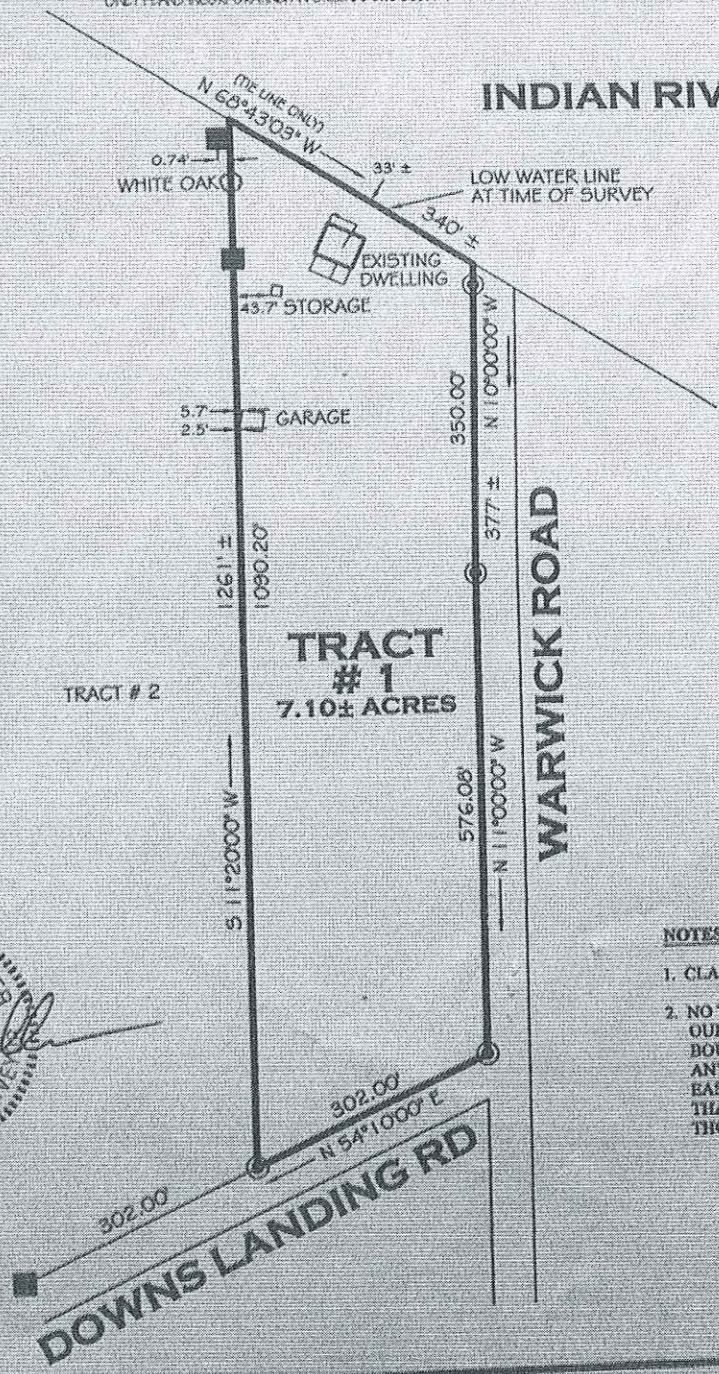
TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues  
Mark Casey, Applicant  
J. Marc Coté, Assistant Director, Development Coordination  
Gemez Norwood, South District Public Works Manager, Maintenance and  
Operations  
Steven Sisson, Sussex County Subdivision Coordinator, Development Coordination  
Derek Sapp, Subdivision Manager, Development Coordination  
Susanne Laws, Subdivision Manager, Development Coordination  
Brian Yates, Subdivision Manager, Development Coordination  
Troy Brestel, Project Engineer, Development Coordination  
Claudy Joinville, Project Engineer, Development Coordination

ONLY PLANS INCORPORATING AN ORIGINAL ENDOSSSED / RED SEAL & SIGNATURE ARE CONSIDERED TO BE OFFICIAL AND RELIED UPON BY THE USER



**INDIAN RIVER**



**NOTES**

1. CLASSIFICATION OF SURVEY: RURAL.
2. NO TITLE REPORT WAS PROVIDED FOR OUR USE, THEREFORE THIS BOUNDARY SURVEY IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS, AND/OR RIGHTS OF WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH.

**LEGEND**

- CONCRETE MONUMENT FOUND
- IRON ROD W/ CAP SET

**TRUE NORTH**



**LAND SURVEYING**

118 ATLANTIC AVENUE, SUITE 202  
OCEAN VIEW, DE 19970  
DE 302-659-2489  
MD: 410-430-2092

TAX MAP	2-34 - 33.00 - 55.00
STATE	DELAWARE
COUNTY	SUSSEX
HUNDRED	INDIAN RIVER
TOWN	---
AREA	7.10 ± ACRES
DEED REF.	WB 8011 / 160
PLAT REF.	UNRECORDED
DRAWN BY	BAA
DATE	03 / 07 / 16
SCALE	1" = 200'
SURVEY #	DE - 02703

**BOUNDARY SURVEY PLAN**

**TRACT # 1**  
PLAT FOR

**BRITTINGHAM & ATKINS**

FOR

**MARK A. & LORI S. CASEY**

28517 WARWICK ROAD, MILLSBORO, DE



## Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, Director, Department of Planning & Zoning; Lauren DeVore, Planner III, Jenny Norwood, Planner I, Christin Headley, Planner I, Nicholas Torrance, Planner I and Chase Phillips, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: July 14, 2020

RE: Other Business for July 23<sup>rd</sup>, 2020 Planning Commission Meeting

---

This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the July 23<sup>rd</sup>, 2020 Planning Commission meeting.

### **Windswept at Lewes RPC (F.K.A. Windswept Meadows)**

BM

Final Site Plan

This is a Final Site Plan for the creation of a Residential Planned Community (RPC) to consist of 201 proposed residential lots and amenities including a community pool, covered pavilion, sports field and tot lot. The property is located on the east side of Angola Beach Road and south side of Angola Road (S.C.R. 277). At their meeting of Tuesday, December 11, 2018, the property was approved by County Council for a Change of Zone (C/Z 1859) from Agricultural Residential (AR-1) to a General Residential, Residential Planned Community (GR-RPC) and adopted through Ordinance No. 2623. Additionally, at their meeting of Thursday, March 28, 2019, the Planning and Zoning Commission approved the Revised Preliminary Site Plan for the community. The Final Site Plan complies with the Sussex County Zoning and Subdivision Code and all RPC Conditions of Approval. Tax Parcels: 234-12.00-3.00 & 6.00. Zoning District: GR-RPC (General Residential, Residential Planned Community.) Staff are in receipt of all agency approvals.

### **Generations Welding & Contracting LLC (S-20-08)**

KH

Final Site Plan

This is a Final Site Plan for a proposed 2,800 square foot commercial welding fabrication shop and other site improvements on a 1.605 acre +/- parcel located at 14716 Laurel Rd. Conditional Use 2178 was approved by the Planning and Zoning Commission at their meeting of Thursday, June 27, 2019 and approved by the Sussex County Council at their meeting of Tuesday, July 16, 2019. The Preliminary Site Plan was approved by the Planning and Zoning Commission at their meeting of Thursday, March 26, 2020. Staff has approved a site plan to allow for the location of buildings and hard surfacing. The Applicant has submitted a letter requesting relief from interconnectivity with adjacent parcels. The Final Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 232-19.00-30.00. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are in receipt of all agency approvals.

### **Eco Properties Storage Units (S-20-20)**

KH

Preliminary Site Plan

This is a Preliminary Site Plan for a proposal to construct fourteen (14) 2,840 square foot warehouses and one (1) 256 square foot office building, parking and associated site improvements.



Site improvements include a proposed surface ephemeral wetland stormwater facility on the easternmost side of the site. There is also an existing dwelling and garage on the site which were originally placed in the 1960s and as such are considered legally non-conforming. The site is located on the south side of East Redden Road (S.C.R. 565). The Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 135-6.00-10.00. Zoning District: CR-1 (Commercial Residential). Staff are awaiting agency approvals.

**Admiral's Chase (S-19-4) (C/U 2134 & C/Z 1851)**

KS

**Amenities Plan**

This is an Amenities Plan for Admiral's Chase, a development consisting of 24 (14 duplex) units to be located off Gills Neck Road (S.C.R. 267). The Amenities Plan consists of a 160 square foot pool house, 5 parking spaces (including one ADA accessible space), and a 608 square foot pool. As required by the Code, the perimeter of the pool will contain a 3-ft walkway and be enclosed by an aluminum fence which meets the 4-ft minimum height requirement. The site was approved for a Conditional Use (C/U 2134) for the proposed multifamily by County Council at their meeting of Tuesday, August 14, 2018 and adopted through Ordinance No. 2594. The pool complies with C/U 2134 Condition of Approval "P" which requires the swimming pool to be "at least 15 by 30 feet in size." Additionally, the site was approved for a Change of Zone (C/Z 1851) to facilitate a change of zone from an Agricultural Residential (AR-1) Zoning District to a Medium Density Residential (MR) Zoning District by County Council at their meeting of Tuesday, August 14, 2018 and adopted through Ordinance No. 2594. The Amenities Plan complies with the Sussex County Zoning and Subdivision Code and all Conditions of Approval. Tax Parcel: 335-8.00-44.00. Zoning District: MR (Medium Density Residential Zoning District). Staff are in receipt of all agency approvals.

**Lands of Coulbourne**

BW

**Minor Subdivision off 30' Easement**

This is a Preliminary Subdivision Plan for a minor subdivision of a 22.55-acre parcel into a 1.0-acre lot off a 30-ft easement over an existing drive. The property is located off N. Oak Grove Road (S.C.R. 549) in Seaford, Delaware. The Preliminary Subdivision Plan complies with the Sussex County Zoning and Subdivision Code. Tax Parcel: 531-8.00-34.00. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are awaiting agency approvals.

**Coastal Corner (FKA Fred Hudson Properties) (S-19-12) (CU 2130)**

BM

**Request for Clarification of Conditions of Approval**

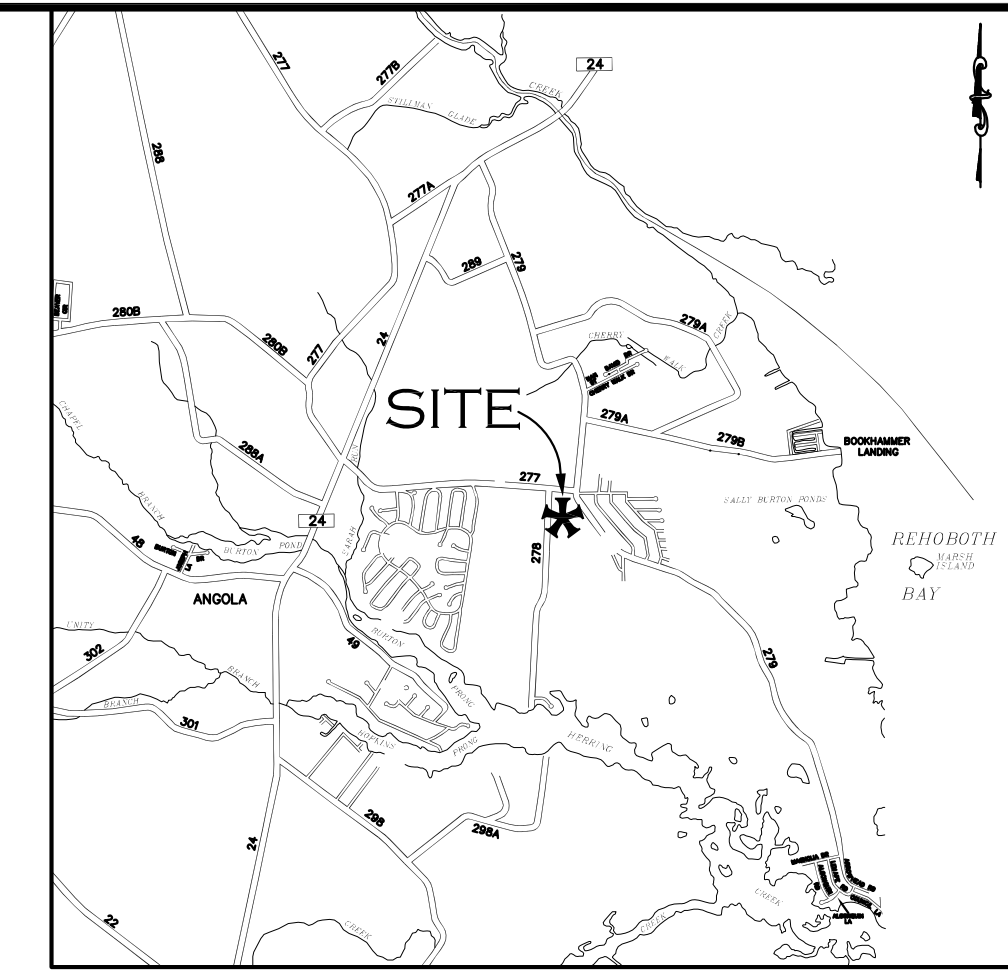
This is request for clarification of Conditions of Approval associated with Conditional Use 2130 approved by County Council on October 30, 2018. Condition 'B' requires that "*As provided by Section 115-218 of the Zoning Code, there shall be a forested or landscaped buffer installed around the entire perimeter of the project in compliance with Section 99-5 of the Code of Sussex County*". Following discussions with Staff, the Applicant is requesting clarification as to the required location of the forested or landscape buffer. Tax Parcel 134-13.00-72.00 & 72.01. Zoning: MR (Medium-Residential Zoning District).



# WINDSWEPT @ LEWES

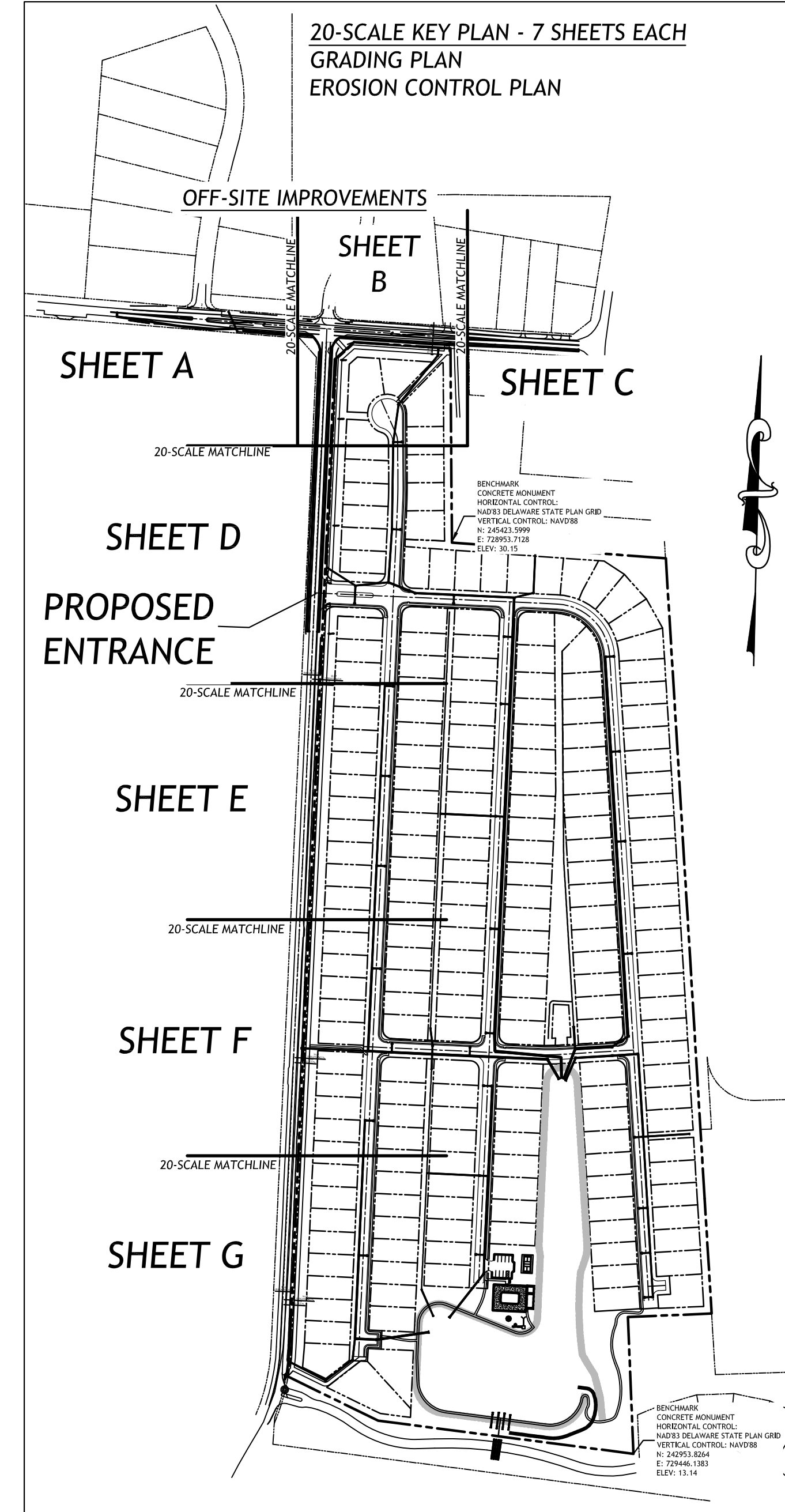
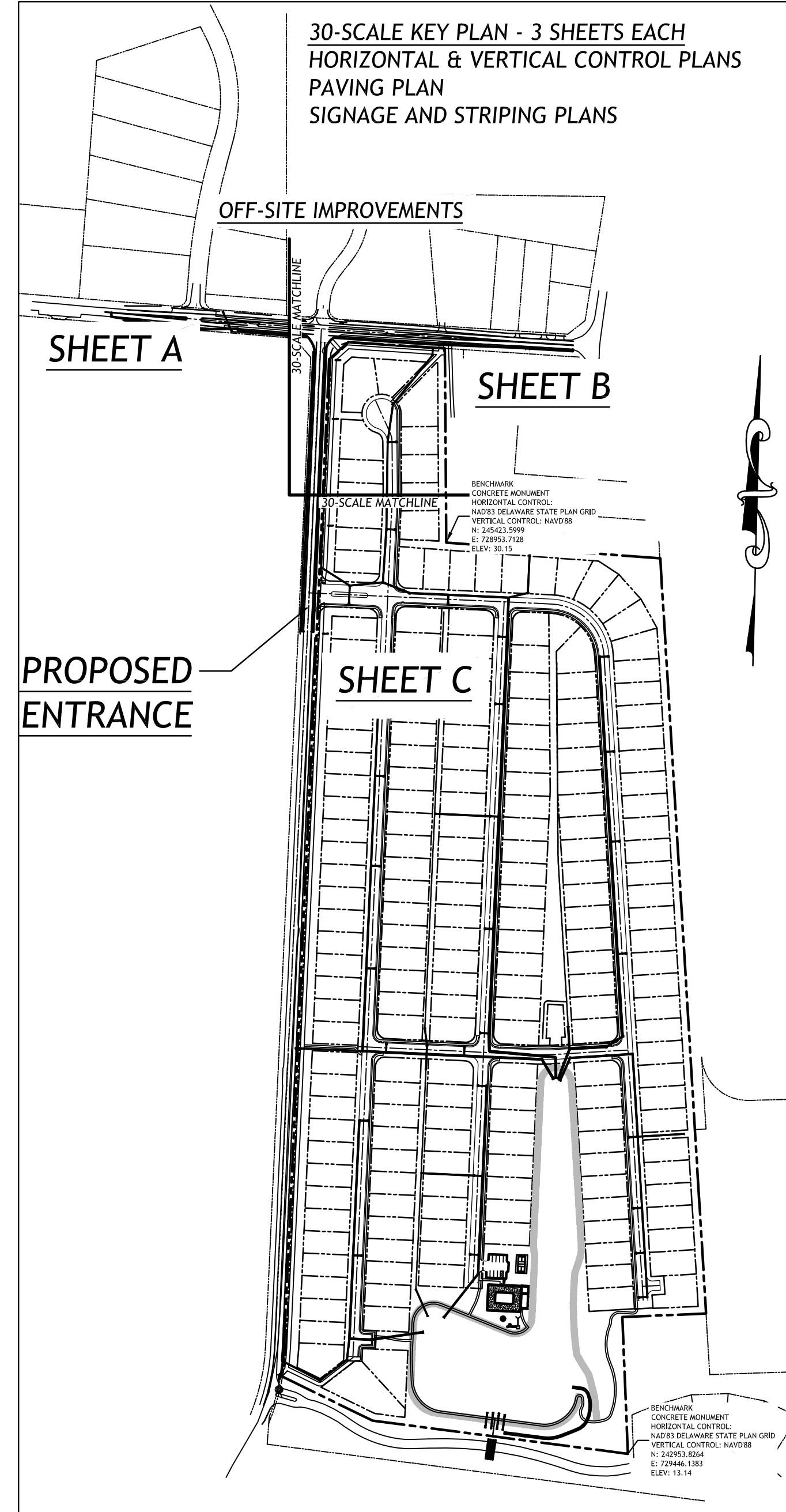
## RESIDENTIAL PLANNED COMMUNITY

### ENTRANCE PLAN



VICINITY MAP  
SCALE: 1" = 1 MILE

ENTRANCE PLAN SHEET INDEX			
SHEET NUMBER	SHEET TITLE	ORIGINAL DATE	REVISION DATE
CE-1	ENTRANCE COVER SHEET	11/15/2019	12/20/2019
CE-2	CONSTRUCTION AND MOT NOTES	11/15/2019	12/20/2019
CE-3	ANGOLA ROAD TYPICAL SECTIONS	11/15/2019	12/20/2019
CE-4	ANGOLA BEACH ROAD TYPICAL SECTIONS	11/15/2019	12/20/2019
CE-5	HORIZONTAL & VERTICAL CONTROL PLAN	11/15/2019	12/20/2019
CE-6	ROAD PAVING PLAN	11/15/2019	12/20/2019
CE-7	ROAD PAVING PLAN	11/15/2019	12/20/2019
CE-8	ROAD PAVING PLAN	11/15/2019	12/20/2019
CE-9	GRADING PLAN	11/15/2019	12/20/2019
CE-10	GRADING PLAN	11/15/2019	12/20/2019
CE-11	GRADING PLAN	11/15/2019	12/20/2019
CE-12	GRADING PLAN	11/15/2019	12/20/2019
CE-13	GRADING PLAN	11/15/2019	12/20/2019
CE-14	GRADING PLAN	11/15/2019	12/20/2019
CE-15	GRADING PLAN	11/15/2019	12/20/2019
CE-16	ANGOLA BEACH ROAD CROSS SECTION INDEX	11/15/2019	12/21/2019
CE-17	ANGOLA BEACH ROAD CROSS SECTION INDEX	11/15/2019	12/20/2019
CE-18	ANGOLA BEACH ROAD CROSS SECTION INDEX	11/15/2019	12/20/2019
CE-19	ANGOLA BEACH ROAD CROSS SECTIONS	11/15/2019	12/20/2019
CE-20	ANGOLA BEACH ROAD CROSS SECTIONS	11/15/2019	12/20/2019
CE-21	ANGOLA BEACH ROAD CROSS SECTIONS	11/15/2019	12/20/2019
CE-22	ANGOLA BEACH ROAD CROSS SECTIONS	11/15/2019	12/20/2019
CE-23	ANGOLA BEACH ROAD CROSS SECTIONS	11/15/2019	12/20/2019
CE-24	ANGOLA BEACH ROAD CROSS SECTIONS	11/15/2019	12/20/2019
CE-25	ANGOLA BEACH ROAD CROSS SECTIONS	11/15/2019	12/20/2019
CE-26	ANGOLA BEACH ROAD CROSS SECTIONS	11/15/2019	12/20/2019
CE-27	ANGOLA BEACH ROAD CROSS SECTIONS	11/15/2019	12/20/2019
CE-28	ANGOLA BEACH ROAD CROSS SECTIONS	11/15/2019	12/20/2019
CE-29	ANGOLA BEACH ROAD CROSS SECTIONS	11/15/2019	12/20/2019
CE-30	ANGOLA BEACH ROAD CROSS SECTIONS	11/15/2019	12/20/2019
CE-31	ANGOLA BEACH ROAD CROSS SECTIONS	11/15/2019	12/20/2019
CE-32	ANGOLA BEACH ROAD CROSS SECTIONS	11/15/2019	12/20/2019
CE-33	ANGOLA ROAD CROSS SECTIONS	11/15/2019	12/20/2019
CE-34	ANGOLA ROAD CROSS SECTIONS	11/15/2019	12/20/2019
CE-35	ANGOLA ROAD CROSS SECTIONS	11/15/2019	12/20/2019
CE-36	ANGOLA ROAD CROSS SECTIONS	11/15/2019	12/20/2019
CE-37	ANGOLA ROAD CROSS SECTIONS	11/15/2019	12/20/2019
CE-38	ANGOLA ROAD CROSS SECTIONS	11/15/2019	12/20/2019
CE-39	ANGOLA ROAD CROSS SECTIONS	11/15/2019	12/20/2019
CE-40	ANGOLA ROAD SIGNAGE & STRIPING	11/01/2019	12/20/2019
CE-41	ANGOLA ROAD & ANGOLA BEACH ROAD SIGNAGE & STRIPING	11/15/2019	12/20/2019
CE-42	ANGOLA ROAD SIGNAGE & STRIPING	11/15/2019	12/20/2019
CE-43	ANGOLA ROAD & ANGOLA BEACH ROAD SIGNAGE & STRIPING	11/15/2019	12/20/2019



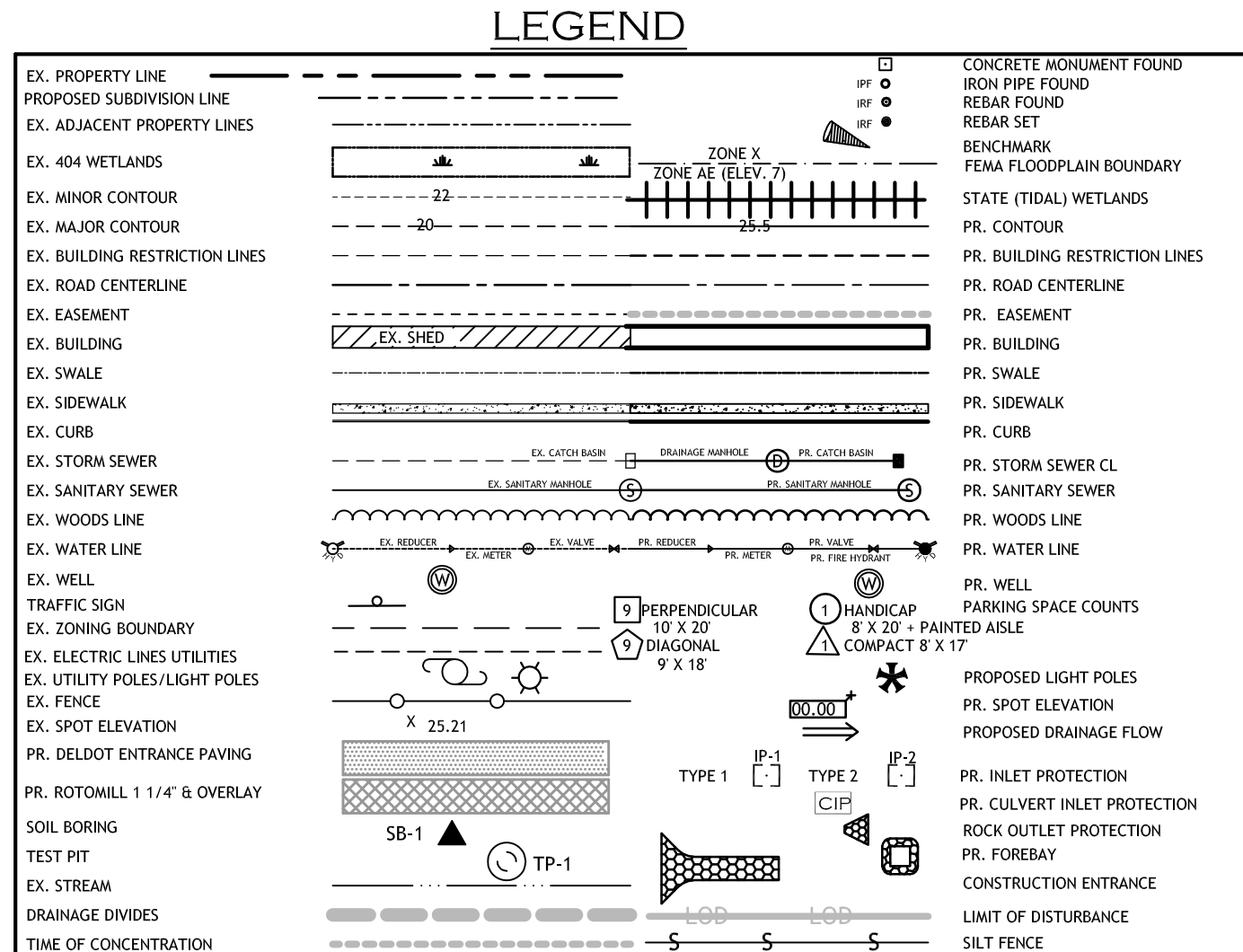
**SITE DATA:**

<b>OWNER:</b>	DAWN DORMAN, KELLY DORMAN, MARLENE HARNON 22542 JOHN J. WILLIAMS HWY LEWES, DE. 19958
<b>EQUITABLE OWNER/DEVELOPER:</b>	BOARDWALK DEVELOPMENT, LLC C/O JOSEPH REED 317 REHOBOTH AVENUE REHOBOTH BEACH, DE 19971 jreedr@gmail.com
<b>TAX MAP</b>	234-12.00-3.00 & 6.00
<b>DEED REFERENCE</b>	DB 4061 - PG 188
<b>STATE INVESTMENT LEVEL</b>	3
<b>TRANSPORTATION IMPROVEMENT DISTRICT</b>	N/A
<b>HIGHWAY FUNCTIONAL CLASSIFICATION/POSTED SPEED LIMIT</b>	SCR 278-ANGOLA BEACH ROAD-LOCAL-45 MPH SCR 277-ANGOLA ROAD - LOCAL- 45 MPH SUSSEX COUNTY - GR-RPC (CZ # 1859)
<b>CURRENT ZONING</b>	AGRICULTURAL
<b>EXISTING USE</b>	SINGLE FAMILY DETACHED HOUSING
<b>PROPOSED USE</b>	201 PROPOSED
<b>DENSITY</b>	3.37 DWELLING UNITS/ACRE
<b>REQUIRED LOT SIZE</b>	MIN. WIDTH 60' MIN. DEPTH 100' MIN. AREA 7,500 SQ. FT.*
<b>BUILDING SETBACKS</b>	FRONT 25' CORNER 15' SIDE 8' REAR 10'
* REDUCED LOT WIDTH, LOT AREA AND SETBACKS APPROVED WITH RPC CHANGE OF ZONE (CZ # 1859)	
<b>PROPOSED BUILDING HEIGHT</b>	42' MAX.
<b>SITE AREA CALCULATIONS:</b>	DEDICATION TO STATE OF DELAWARE 0.322 AC. AREA TO TRANSFER TO BAY POINT SUBDIVISION 0.34 AC. PRIVATE ROAD R.O.W. 9.07 AC. LOTS 35.73 AC. OPEN SPACE 14.51 AC. (24%) TOTAL SITE AREA 59.97 AC.
<b>OPEN SPACE CALCULATIONS:</b>	STORMWATER MANAGEMENT AREA 4.78 AC. EXISTING FOREST TO REMAIN 0.98 AC. FOREST BUFFER TO BE PLANTED 3.77 AC. DEEDLOT PERMANENT EASEMENT (SHARED USE PATH) 1.06 AC. OTHER OPEN SPACE 3.94 AC.
<b>PROPERTY IS PRESENTLY 2% FORESTED</b>	
<b>FOREST TO REMAIN</b>	1.15 AC.
<b>FOREST CLEARED</b>	0.49 AC.
<b>TOTAL FOREST ON PROPERTY</b>	1.64 AC.
<b>WATER SUPPLY</b>	TIDWATER UTILITIES
<b>SEWAGE DISPOSAL</b>	SUSSEX COUNTY

ENTRANCE COVER SHEET

S.C.R. 278-ANGOLA BEACH ROAD  
**WINDSWEPT @ LEWES**  
RESIDENTIAL PLANNED COMMUNITY  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM ENGINEERING L.L.C.**  
16 CHESTNUT STREET, SUITE 100 DE 19947  
PH: 855-081-1234 FAX: 855-081-1234  
WWW.AXIOMENGINEERING.COM



**ENGINEER'S CERTIFICATION:**  
I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED PROFESSIONAL STANDARDS AND PRACTICES AND BY THE SUSSEX COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.

KENNETH R. CHRISTENBURY, P.E. - DE. LICENSE NO. 11553-EXPIRES 6/30/2020 DATE

PROJECT NO: 0233-1702  
DRAWING: CE-1  
SHEET: 1 OF 43

ENGINEER: KRC  
DRAFTER: EW  
CHECKED BY: KRC  
DATE: 11/15/2019  
TAX MAP: 234-12.00-3.00 & 6.00

**DELDOT NOTES - ENTRANCE PLAN:**

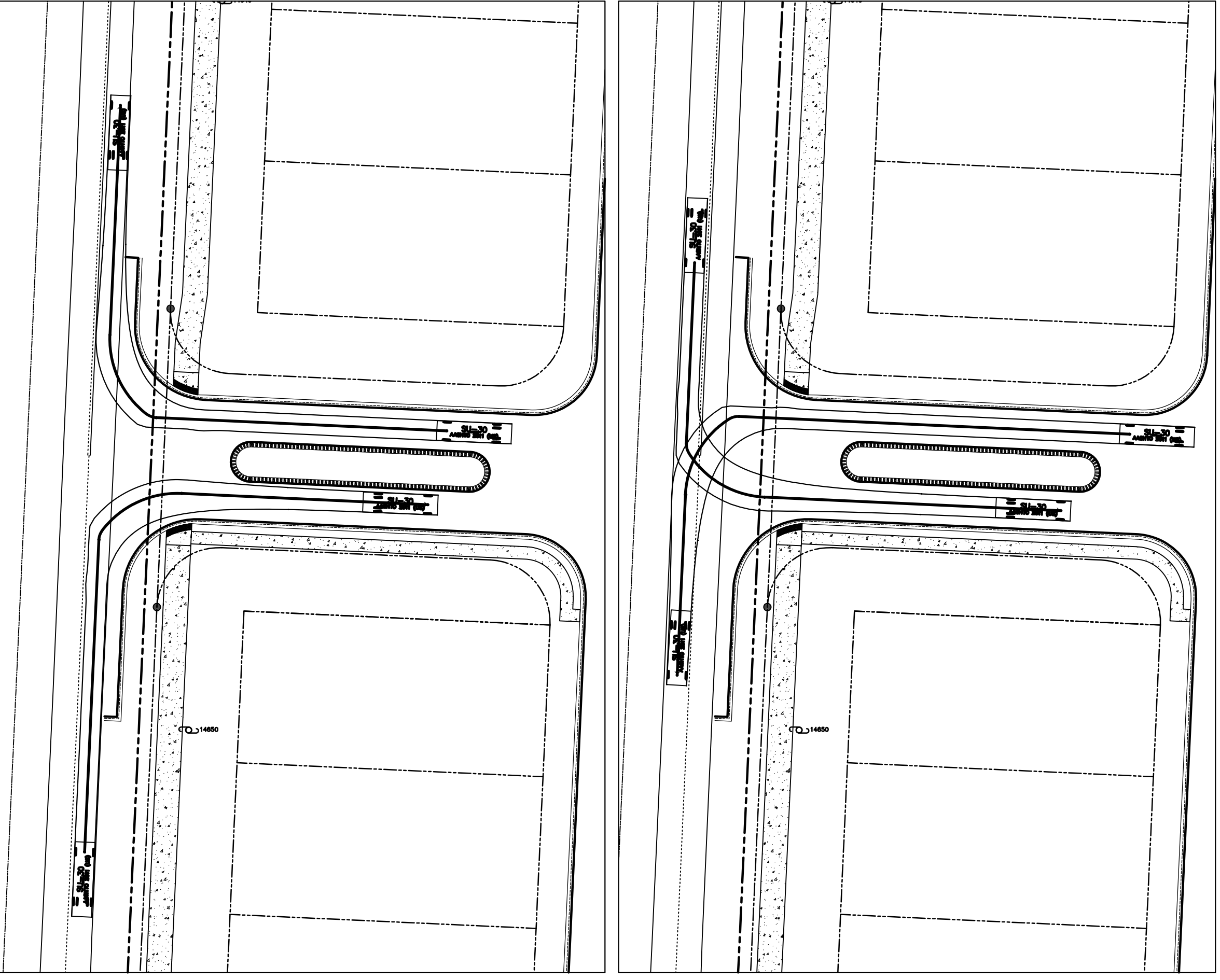
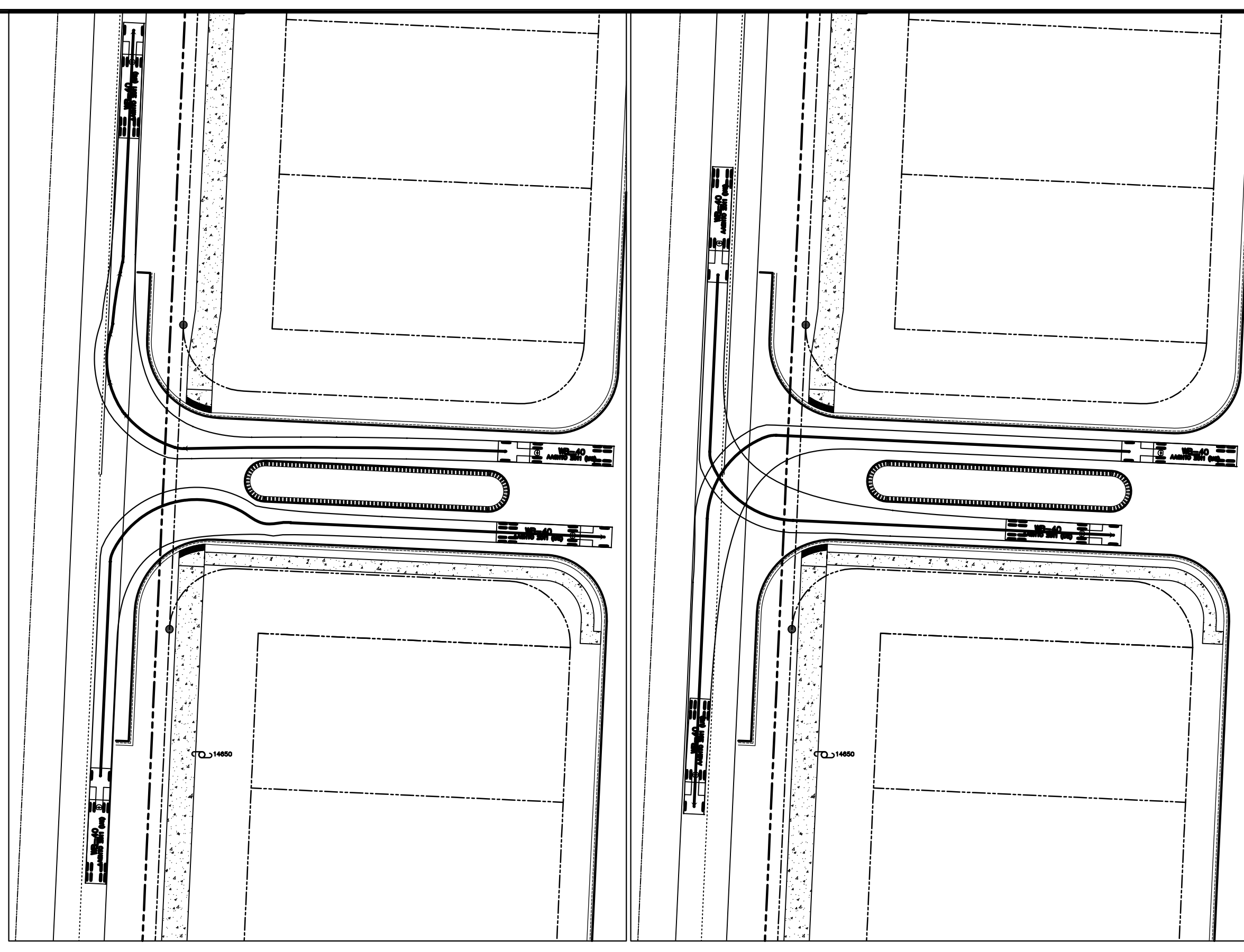
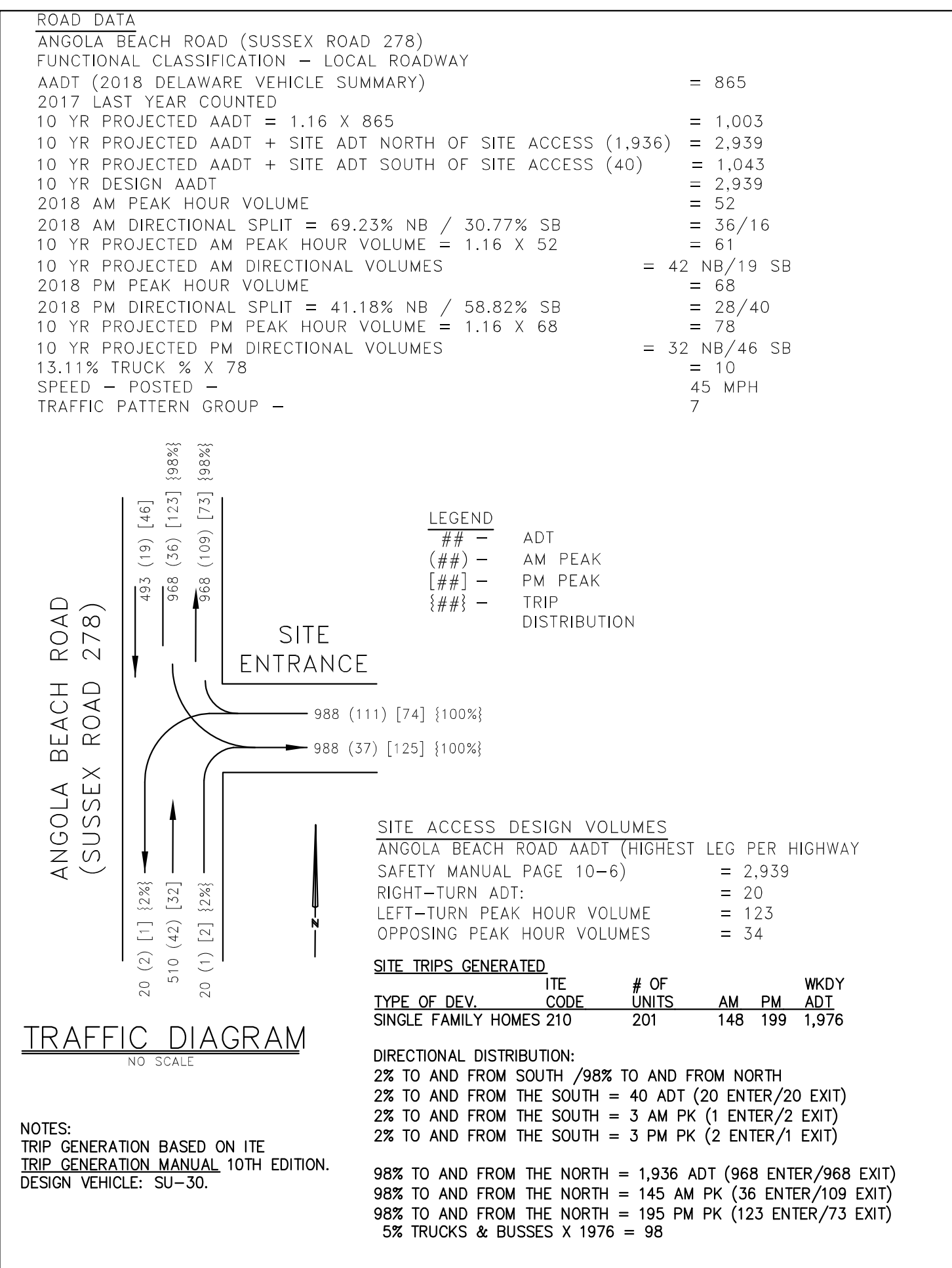
1. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
2. ALL MATERIALS AND WORKMANSHIP WITHIN THE STATE OF DELAWARE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CURRENT STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SUPPLEMENTAL SPECIFICATIONS, STANDARD CONSTRUCTION DETAILS, SPECIAL PROVISIONS, P&M MANUAL AND DESIGN GUIDANCE MEMORANDUMS.
3. ALL DISTURBED AREAS WITHIN THE STATE RIGHT-OF-WAY, BUT NOT IN THE PAVEMENT, SHALL BE TOP-SOILED (6" MINIMUM), FERTILIZED, SEEDED AND MULCHED. IF SOD IS USED NEXT TO SIDEWALK OR SHARED-USE PATH, CONTRACTOR SHALL GRADE TOPSOIL ADJACENT TO THE SIDEWALK OR SHARED-USE PATH PRIOR TO PLACEMENT OF SOD TO ENSURE THAT SOD IS PLACED FLUSH OR JUST BELOW EDGE OF SIDEWALK OR SHARED-USE PATH TO AVOID WATER PONDING ON THE SIDEWALK OR SHARED-USE PATH.
4. A 72-HOUR (MINIMUM) NOTICE SHALL BE GIVEN TO THE DELDOT DISTRICT PERMIT SUPERVISOR PRIOR TO STARTING ENTRANCE CONSTRUCTION.
5. MISS UTILITY OF DELAWARE SHALL BE NOTIFIED THREE (3) CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
6. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
7. AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR, ANY DAMAGED OR MISSING CURB OR SIDEWALK FOUND ON SITE WILL NEED TO BE REPAIRED OR REPLACED TO MEET CURRENT DELDOT STANDARDS.
8. ALL SIGNING, STRIPING AND MAINTENANCE OF TRAFFIC IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL FOLLOW THE GUIDELINES SHOWN IN THE DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (DELAWARE MUTCD) FOR STREETS AND HIGHWAYS (LATEST EDITION AT THE DATE OF THE ENTRANCE PERMIT APPROVAL). THE DEVELOPER OR PROPERTY OWNERS SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL SIGNS INSTALLED AS PART OF THIS PROJECT.
9. PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE DELDOT INSPECTOR.
10. A COPY OF THE UP-TO DATE APPROVED CONSTRUCTION DOCUMENTS AND DELDOT APPROVAL LETTERS SHALL BE MAINTAINED ON THE PROJECT SITE AT ALL TIMES AND BE AVAILABLE FOR INSPECTION BY DELDOT PERSONNEL.
11. EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48-HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELAWARE (SEE NOTE #5).
12. SHOULD UTILITY RELOCATION BE REQUIRED, THE DEVELOPER MUST SUBMIT A UTILITY RELOCATION PLAN FOR DELDOT REVIEW, ALONG WITH CORRESPONDENCE FROM THE UTILITY COMPANIES STATING PRELIMINARY APPROVAL TO THE RELOCATION AND DESIGN OF THE UTILITIES PRIOR TO THE DELDOT PRE-CONSTRUCTION MEETING. NO PHYSICAL CONSTRUCTION CAN OCCUR UNTIL THE UTILITY PLANS ARE APPROVED. THE INDIVIDUAL UTILITY COMPANIES ISSUE FINAL APPROVAL, AND A DELDOT UTILITY PERMIT IS ISSUED TO THE UTILITY COMPANY.
13. UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. THESE DISTURBED AREAS SHALL BE TOP-SOILED (6" MINIMUM), FERTILIZED, SEEDED AND MULCHED. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH THE DEVELOPMENT COORDINATION MANUAL.
14. DELDOT WILL NOT PROVIDE THE RESPECTIVE LOCAL LAND USE AGENCY WITH A 'NO OBJECTION TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY NOTICE' UNTIL THE ENTRANCE(S) ARE COMPLETED TO THE SATISFACTION OF THE DEPARTMENT.
15. DESIGN, FABRICATION AND INSTALLATION OF ALL PERMANENT SIGNING SHALL BE AS OUTLINED IN THE LATEST VERSION OF THE DELAWARE MUTCD.
16. DESIGN AND INSTALLATION OF ALL PAVEMENT MARKINGS AND STRIPING SHALL BE AS OUTLINED IN THE LATEST VERSION OF THE DELAWARE MUTCD. FOR FINAL PERMANENT PAVEMENT MARKINGS:
  - 16.A. EPOXY RESIN PAINT SHALL BE REQUIRED FOR LONG LINE STRIPING.
  - 16.B. THERMO PLASTIC (EXTRUDED OR PREFORMED MATERIAL) WILL BE REQUIRED ON ASPHALT SURFACES, FOR SHORT LINE STRIPING, I.E. SYMBOLS/LEGENDS.
  - 16.C. PERMANENT PAVEMENT MARKING TAPE (PER DELDOT'S APPROVED MATERIALS LIST) WILL BE REQUIRED ON CONCRETE SURFACES, FOR SHORT LINE STRIPING, I.E. SYMBOLS/LEGENDS.
17. REMOVAL OF PAVEMENT MARKING PAINT OR TAPE SHALL COMPLY WITH SECTION 5.11.2 OF THE DEVELOPMENT COORDINATION MANUAL.
18. BREAKAWAY POSTS SHALL BE USED WHEN INSTALLING ALL SIGNS. REFERENCE DELDOT'S STANDARD CONSTRUCTION DETAILS, SECTION VIII - TRAFFIC, T-15.
19. MAINTENANCE OF THE STREETS WITHIN THIS SUBDIVISION WILL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.
20. THE ENDS OF ALL CURBS SHALL BE TRANSITIONED TO BE FLUSH WITH THE PAVEMENT AT A RATIO OF TWELVE TO ONE (12:1).
21. ALL APPROACH AND EXIT ENDS OF MEDIAN ISLAND AND CURB SHALL ALSO BE TRANSITIONED FLUSH WITH THE PAVEMENT AT A RATIO OF TWELVE TO ONE (12:1).
22. WHERE CURB TYPE AND/OR HEIGHT IS BEING VARIED, TAPER CURB PER THE DELDOT INSPECTOR (TYPICAL FOR BOTH SIDES OF THE ENTRANCE).
23. A DOUBLE YELLOW CENTERLINE WILL BE REQUIRED ALONG THE PAVED PORTION OF ROUTES 277 & 278. STRIPING OF THE CENTERLINE SHALL BE 5-INCH WIDE LINE SEPARATED BY A 6-INCH SPACE.
24. ALL FIXED OBJECTS ARE TO BE A MINIMUM OF 10-FEET FROM THE EDGE OF TRAVEL LANE AND 5-FEET FROM THE EDGE OF PAVEMENT. REFERENCE SECTION 5.5.5 OF THE DEVELOPMENT COORDINATION MANUAL. ANY FIXED OBJECT THAT DOES NOT MEET THIS REQUIREMENT SHALL BE RELOCATED.
25. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL PAVING WITHIN THE STATE OF DELAWARE RIGHT-OF-WAY IS INSTALLED TO THE ELEVATIONS SHOWN AND NO PONDING OF WATER EXISTS AFTER PAVING IS COMPLETE.
26. ALL STORM DRAIN PIPING DESIGNATED AS REINFORCED CONCRETE PIPE IS TO BE REINFORCED CONCRETE PIPE, MEETING AASHTO M-170 SPECIFICATIONS. SEE PLANS FOR SPECIFIC CLASS OF PIPE.
27. ALL PROPOSED CLOSED STORMDRAIN SYSTEMS SHALL BE VIDEO INSPECTED, REPAIRED AS NECESSARY AND APPROVED PRIOR TO THE INSTALLATION OF FINAL PAVING. IF REPAIRS ARE NEEDED, THE REPAIRED PIPE SECTIONS WILL NEED TO BE VIDEO INSPECTED AGAIN BEFORE THE REPAIR CAN BE APPROVED.
28. THE DEVELOPER AND EXISTING/FUTURE OWNER OF NON-STATE-MAINTAINED ROADWAYS SHALL ENSURE THAT THE TRAFFIC CONTROL DEVICES ON SAID ROADWAYS OPEN TO PUBLIC TRAVEL ARE IN COMPLIANCE WITH THE LATEST VERSION OF THE DELAWARE MUTCD.
29. ALL SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM STANDARD T-99 DRY DENSITY.
30. THE CONTRACTOR SHALL NOTIFY THE STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION (DELDOT) AT LEAST 14 DAYS PRIOR TO THE START OF ANY DETOURS OR CONSTRUCTION, AND DOT\_DTC\_PROJECTDEVELOPMENT@DELAWARE.GOV AT SUCH TIME THE FACILITY IS COMPLETED AND OPERABLE FOR TRANSIT OPERATIONS. FOR EMERGENCY DETOUR INFORMATION ONLY PLEASE CONTACT DTC'S CHIEF SCHEDULER AT 302-576-6019.
31. FOR INFORMATION ON OBTAINING A UTILITY PERMIT IN SUSSEX COUNTY CONTACT M&O-SOUTH DISTRICT-PUBLIC WORKS AT (302) 853-1345.
32. FOR INFORMATION ON GETTING APPROVAL FOR PROPOSED OUTDOOR ADVERTISING IN SUSSEX COUNTY CONTACT M&O-SOUTH DISTRICT-OUTDOOR ADVERTISING & ROADSIDE CONTROL AT (302) 853-1327.

**DELDOT SEQUENCE OF CONSTRUCTION:**

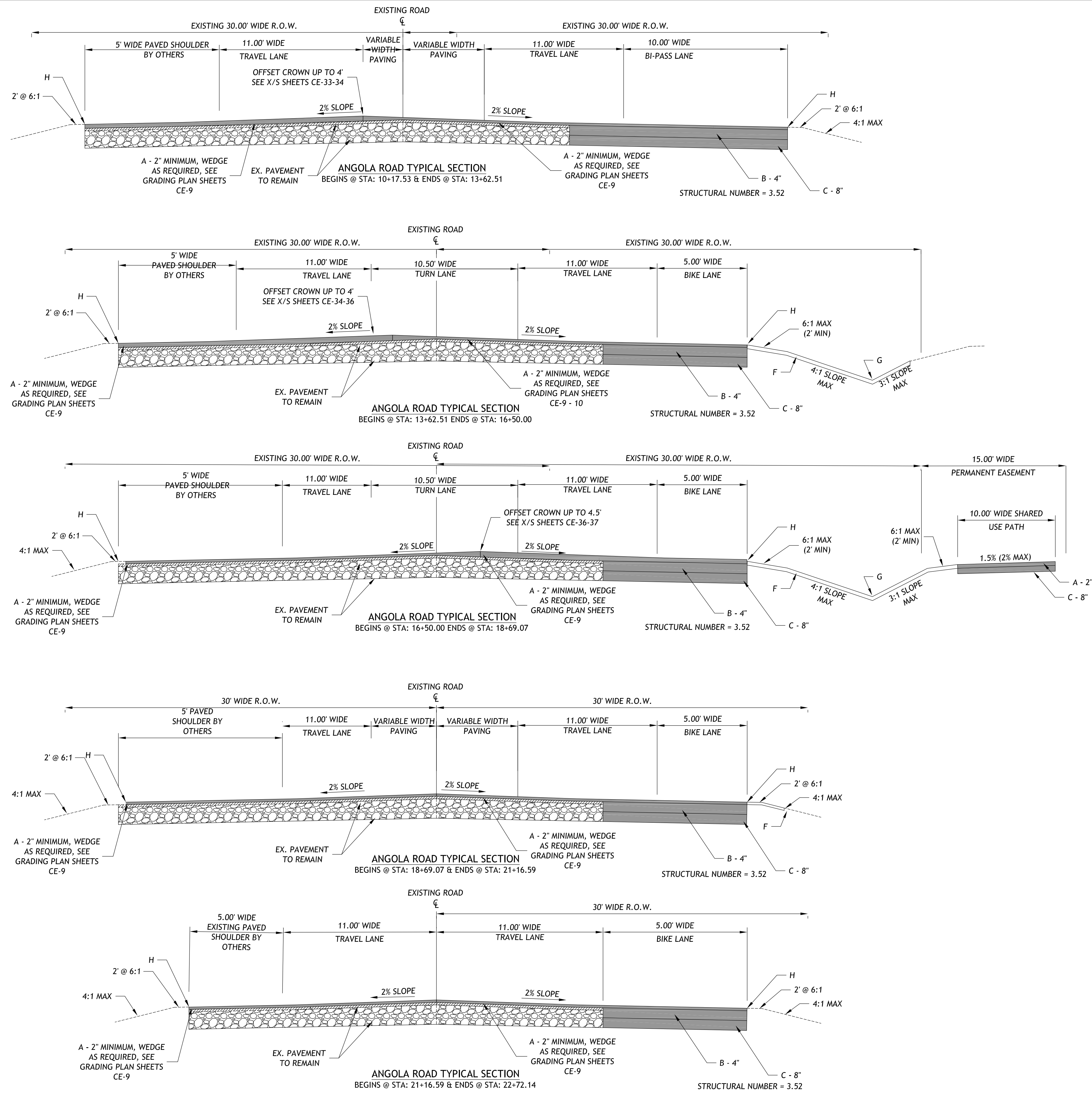
1. NOTIFY DELDOT SOUTH DISTRICT AT (302) 853-1340 PRIOR TO BEGINNING ANY ROAD WORK.
2. MISS UTILITY OF DELMARVA SHALL BE NOTIFIED BY TELEPHONE THREE CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, TEL 1-800-282-8555.
3. CLEAR AND GRUB AREAS FOR INSTALLATION OF PERIMETER CONTROLS.
4. SITE LAYOUT SHOULD BE CHECKED AGAINST THE PLAN. PHYSICAL LAYOUT OF PROPERTY LINES, LIMITS OF DISTURBANCE AND OTHER AREAS TO BE LEFT UNDISTURBED SHOULD BE ACCOMPLISHED. CONTACT ENGINEER IMMEDIATELY IF A DISCREPANCY APPEARS TO EXIST.
5. INSTALL PERIMETER CONTROLS: SILT FENCING, STABILIZED CONSTRUCTION ENTRANCES. ONCE IN PLACE AND INSPECTED BY DELDOT, OR CCR, CONSTRUCTION MAY PROCEED.
6. REMOVE ANY ITEMS AS NOTED ON ENTRANCE PLANS.
7. RELOCATE UTILITIES AS NOTED ON ENTRANCE PLANS.
8. INSTALL STORM DRAINS & GRADE SWALE.
9. CLEAR, GRUB, AND ROUGH GRADE FOR NEW PAVE AREAS.
10. STOCKPILE TOPSOIL WHERE DESIGNATED ON E & S PLAN, AND STABILIZE.
11. INSTALL CURBING.
12. INSTALL NEW PAVING.
13. FINE GRADE, PLACE 6" OF TOPSOIL, AND PERMANENTLY STABILIZE ALL DISTURBED AREAS.
14. RESTRIPE ROADWAY.
15. INSTALL OR RELOCATE NEW SIGNAGE AS NEEDED.
16. AFTER APPROVAL FROM DELDOT, REMOVE ALL TEMPORARY SEDIMENT CONTROL DEVICES, AND STABILIZE PER DELDOT SPECIFICATIONS.
17. TOTAL DISTURBED AREA (DELDOT WORK) = 0.55±AC.

**DELDOT NOTES - MAINTENANCE OF TRAFFIC:**

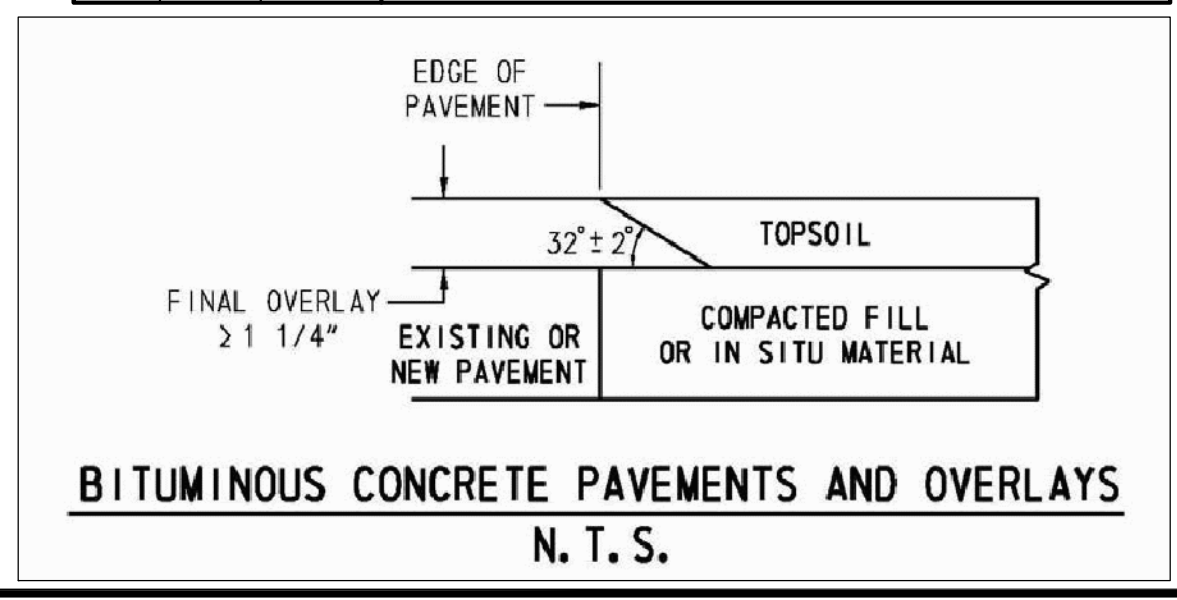
1. ALL TEMPORARY TRAFFIC CONTROL AND TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH: THE CONTRACT DOCUMENTS, THE LATEST VERSION OF THE DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (HEREINAFTER REFERRED TO AS THE "DELAWARE MUTCD"), CURRENT STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND SUPPLEMENTAL SPECIFICATIONS, INCLUDING ALL REVISIONS AS OF THE DATE OF THE ENTRANCE PERMIT APPROVAL.
2. CONTRACTOR SHALL SUPPLY MESSAGE BOARDS THAT ARE TO BE PLACED TEN (10) DAYS PRIOR TO CONSTRUCTION AND/OR TRAFFIC PATTERN CHANGES. THE MESSAGE BOARDS MUST REMAIN IN PLACE FIVE (5) DAYS AFTER WORK HAS STARTED AND/OR AFTER TRAFFIC PATTERN CHANGES. THE NUMBER OF MESSAGE BOARDS, LOCATIONS, AND WORDING ON THE MESSAGE BOARDS SHALL BE COORDINATED WITH THE DISTRICT SAFETY OFFICER.
3. THE DEPARTMENT RESERVES THE RIGHT TO STOP THE CONTRACTOR'S OPERATIONS, IF, IN THE OPINION OF THE DEPARTMENT'S REPRESENTATIVE, THE CONTRACTOR'S OPERATIONS ARE NOT IN COMPLIANCE WITH THE DELAWARE MUTCD, THE SPECIFICATIONS OR THE PLANS OR IF THE CONTRACTOR'S OPERATIONS ARE DEEMED UNSAFE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE LOCAL 911 CENTER, LOCAL SCHOOLS AND DELDOT COMMUNITY RELATIONS OF ALL ROADS AND LANES TO BE CLOSED A MINIMUM OF SEVEN (7) CALENDAR DAYS BEFORE THE CLOSURE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE TRANSPORTATION MANAGEMENT CENTER IS NOTIFIED EACH AND EVERY DAY WHEN WORK IS BEING PERFORMED IN STATE RIGHT-OF-WAY. THE CONTRACTOR SHALL IDENTIFY THE TYPE OF WORK, ANY LANE(S) OR SHOULDER(S) CLOSED, THE LENGTH OF TIME FOR WORK, WHEN THE LANE RESTRICTIONS ARE IN PLACE AND WHEN LANE RESTRICTIONS ARE LIFTED, CONTACT PERSON/PHONE NUMBER AND STATE INSPECTOR. THE TRANSPORTATION MANAGEMENT CENTER CAN BE REACHED AT (302) 659-4600.
6. WHEN SIDE ROADS INTERSECT THE WORK ZONE, ADDITIONAL TRAFFIC CONTROL DEVICES SHALL BE ERECTED INCLUDING PERMANENT WARNING SIGNS.
7. ALL STORAGE OF EQUIPMENT AND MATERIAL SHALL COMPLY WITH THE DELAWARE MUTCD, SECTION 6G.21.
8. ALL PAVEMENT MARKINGS THAT ARE NO LONGER IN USE AND CONFLICT WITH TEMPORARY PAVEMENT MARKINGS SHALL BE REMOVED AND COMPLETELY OBLITERATED BY A METHOD APPROVED BY THE ENGINEER. PAINTING OVER THE CONFLICTING PAVEMENT MARKINGS WILL NOT BE ACCEPTED AS A METHOD OF REMOVAL.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF EXISTING PAVEMENT WITHIN THE PROJECT LIMITS FOR THE DURATION OF THE CONTRACT OR AS DIRECTED BY THE ENGINEER.
10. WITHIN THE MAINLINE WORK AREA, PERMANENT ADVANCE WARNING SIGNS WITH THE LEGENDS ROAD WORK AHEAD SHALL BE INSTALLED IN ADVANCE OF THE WORK AREA IN BOTH DIRECTIONS. AN END ROAD WORK SIGN SHALL BE LOCATED 500 FEET DOWNSTREAM FROM THE WORK AREA. ON INTERSECTING ROADWAYS WITHIN THE PROJECT LIMITS, A ROAD WORK AHEAD SIGN SHALL BE PLACED AT A DISTANCE NOT LESS THAN 500 FEET IN ADVANCE OF THE WORK AREA. ALL PERMANENT ADVANCE WARNING SIGNS SHALL BE GROUND MOUNTED ON TWO NCHRP-350 OR MASH APPROVED BREAKAWAY POSTS AND SHALL BE MOUNTED IN COMPLIANCE WITH THE DELAWARE MUTCD. PERMANENT ADVANCE WARNING SIGNS SHALL BE MOUNTED AT A HEIGHT OF 7 FEET, MEASURED FROM THE ROADWAY TO THE BOTTOM OF THE SIGN. THE USE OF SKID MOUNTED SIGN SUPPORTS IS NOT ALLOWED UNLESS THE CONTRACTOR CAN DEMONSTRATE THAT A UTILITY CONFLICT EXISTS, WHICH SHALL BE VERIFIED BY THE DISTRICT SAFETY OFFICER; OR CONCRETE MEDIANS PREVENT THE INSTALLATION OF THE PERMANENT ADVANCE WARNING SIGNS IN THE APPROPRIATE LOCATION.
11. THE USE OF MILLINGS AND GRADED AGGREGATE BASE COURSE (GABC) IN THE TRAVEL WAY, TEMPORARY TRAVEL WAY, HIGH VOLUME ENTRANCES AND ACCESS RAMP FOR THE PURPOSE OF PROVIDING A TEMPORARY ROADWAY SURFACE, POTHOLE REPAIR, TAPERED EDGE FOR UTILITIES, BUTT JOINTS, AND LONGITUDINAL DROP-OFFS (MILLING AND PAVING OPERATIONS) IS PROHIBITED UNLESS IT IS OTHERWISE DESIGNATED TO BE USED IN THE CONTRACT PLANS. USE COLD PATCH, BITUMINOUS CONCRETE, BITUMINOUS CONCRETE WEDGE, OR TAPER MILL, AS NOTED IN THE CONTRACT DOCUMENTS OR APPROVED BY THE ENGINEER.
12. MILLINGS OR GABC SHALL BE USED AT THE FOLLOWING LOCATIONS WHERE ACCESS TO A BUSINESS, RESIDENCE, OR EDGE DROP OFF NEEDS TO BE MAINTAINED UNLESS OTHERWISE NOTED IN THE PLANS OR DIRECTED BY THE ENGINEER TO USE BITUMINOUS CONCRETE OR COLD PATCH. ALL MILLINGS AND GABC WILL BE ROLLED AND COMPACTED TO HELP PREVENT THE MATERIAL FROM UNRAVELLING:
  - 12.A. DRIVEWAYS
  - 12.B. ENTRANCES
  - 12.C. LOW VOLUME ACCESS RAMPS (IDENTIFIED IN THE CONTRACT DOCUMENTS)
  - 12.D. EDGE DROP-OFFS ADJACENT TO LIVE ROADWAY (LANES AND SHOULDER) AND THE PROPOSED ROAD CONSTRUCTION
  - 12.E. EDGE OF ROADWAY DROP-OFF
13. THE BASE COURSE MATERIAL SHALL BE PLACED AT NO GREATER THAN THE SLOPE SPECIFIED IN THE DELAWARE MUTCD, TABLE 6G-1 AND SHALL BE COMPACTED.
14. VERTICAL DIFFERENCES SHALL BE CORRECTED IN ACCORDANCE WITH THE DELAWARE MUTCD, TABLE 6G-1.
15. ACCEPTABLE MATERIALS FOR TEMPORARY PEDESTRIAN PATHS SHALL INCLUDE CONCRETE, HOT-MIX, COMPACTED MILLINGS OR PLYWOOD WALKWAY STRUCTURE. PLYWOOD WALKWAY STRUCTURES SHALL ALSO INCLUDE DETECTABLE EDGING AND RAILINGS IN ACCORDANCE WITH ADA GUIDELINES AND THE DELAWARE MUTCD. STONE OR GRADED AGGREGATE BASE COURSE SHALL NOT BE USED FOR TEMPORARY PEDESTRIAN PATHS.
16. TYPICAL APPLICATIONS PER THE DELAWARE MUTCD SHALL BE INCORPORATED TO ACHIEVE REQUIRED TEMPORARY TRAFFIC CONTROL AND SAFETY REQUIREMENTS. THIS PROJECT IS SUBJECT TO THE FOLLOWING TYPICAL APPLICATIONS UNLESS DIRECTED OTHERWISE BY THE DELDOT DISTRICT SAFETY OFFICER:
  - 16.A. TA-3 WORK ON THE SHOULDER OF A TWO-LANE ROAD
  - 16.B. TA-6 SHOULDER WORK WITH MINOR ENCRoACHMENT ON A TWO LANE, LOW SPEED <=40 MPH ROAD
  - 16.C. TA-10 LANE CLOSURE ON A TWO-LANE ROAD USING FLAGGERS



 AXIOM ENGINEERING L.L.C. 18 CHESTNUT STREET PHILADELPHIA, PA 19103 TEL: 215-552-1100 FAX: 215-552-1112 WEB: WWW.AXIOM-ENG.COM	REVISION HISTORY REV. NO.   DESCRIPTION OF REVISION 1   02/20/2019
	PROJECT NO.: 0233-1702 DRAWING: CE-2 SHEET: 2 OF 43
	DESIGNER: [Signature] DRAFTER: [Signature] CHECKED BY: [Signature] DATE: 11/02/2019 TAX MAP: 234-11.003.00 E. 6.00
	SCALE: 1" = 40 ft. 1" = 80 ft.



SHARED USE PATH	OVERLAY	FULL DEPTH	DELDOT CROSS SECTION LEGEND
2"	2" MIN.	2"	A. ITEM 401005 - SUPERPAVE, TYPE C, PG 64-22
-	-	4"	B. ITEM 401014 - SUPERPAVE, TYPE B, PG 64-22
8"	-	8"	C. ITEM 301001 - GRADED AGGREGATE BASE COURSE, TYPE B
			D. ITEM 701021 - INTEGRAL P.C.C. CURB & GUTTER, TYPE 3-4
			E. ITEM 705001 - P.C.C. SIDEWALK, 4"
			F. GROUND COVER CONSISTING OF ONE OF THE FOLLOWING: F.A. ITEM 908004 - TOPSOIL, 6" DEPTH F.B. ITEM 908010 - TOPSOIL, 6" DEPTH F.C. ITEM 908014 - PERMANENT GRASS SEEDING, DRY GROUND
			G. ITEM 908020 - EROSION CONTROL BLANKET MULCH (MIN. WIDTH SHALL BE 6')
			H. CONTRACTOR TO INSTALL SAFETY EDGE WHERE THERE IS NO CURBING

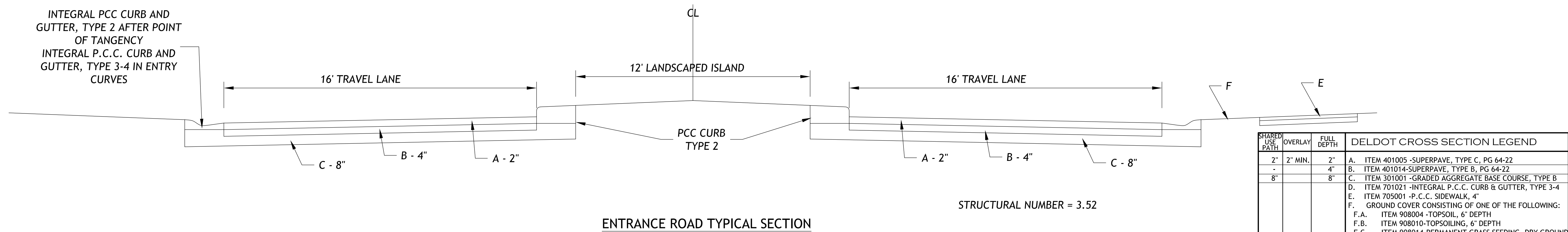
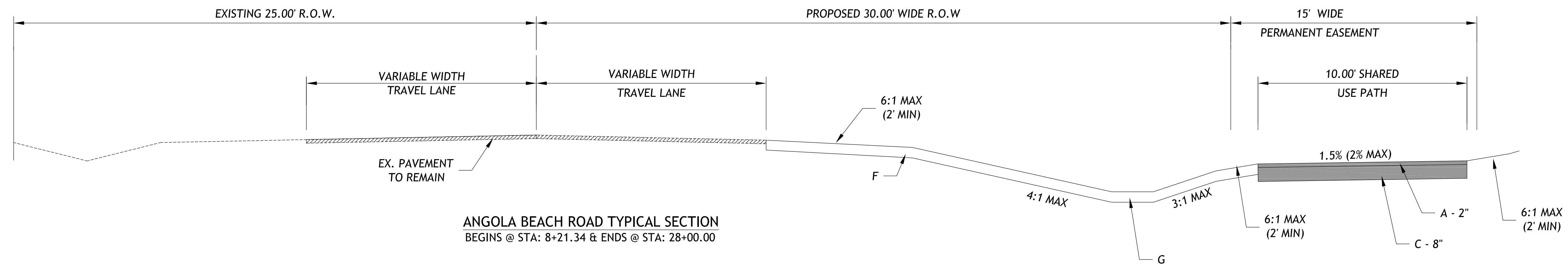
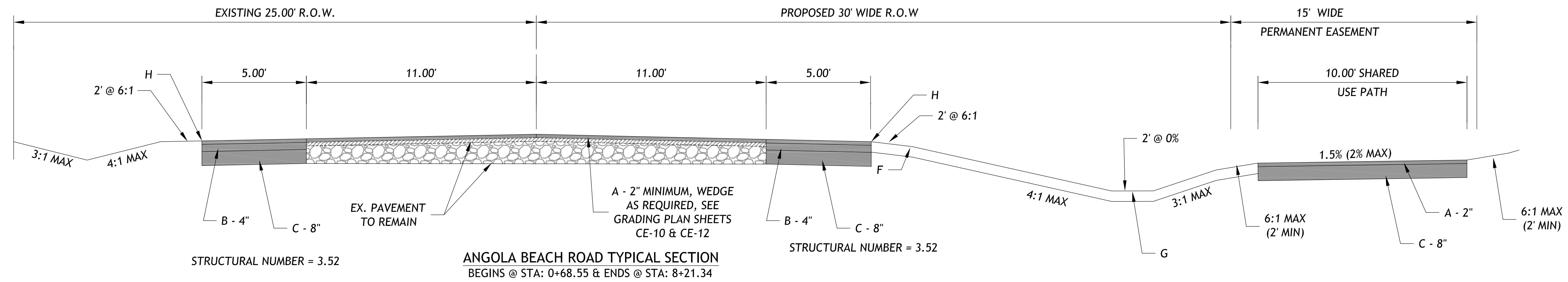


**ANGOLA ROAD TYPICAL SECTIONS**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEPT @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

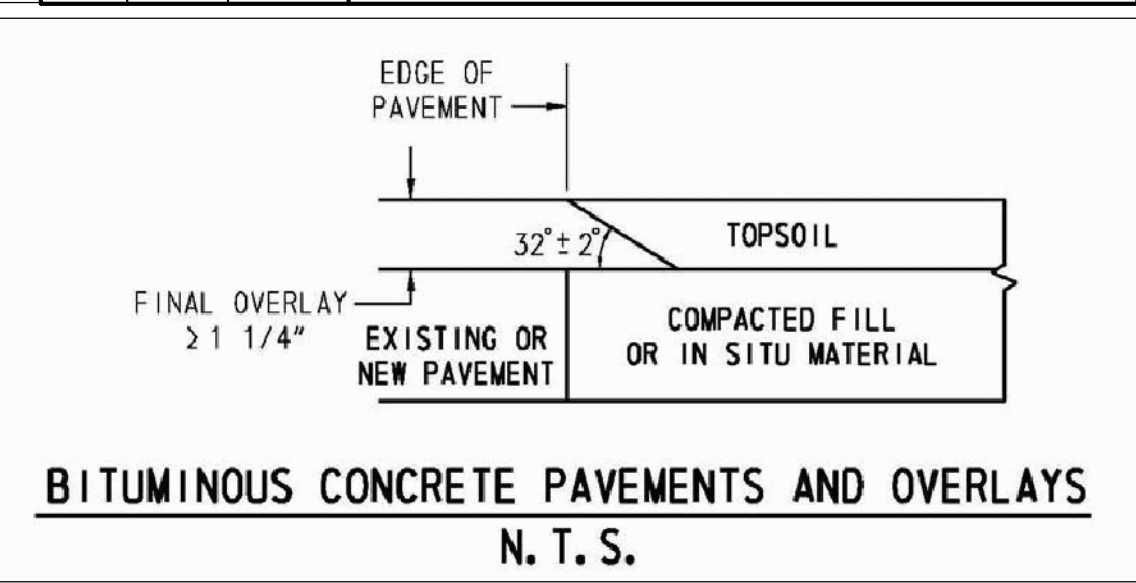
**AXIOM ENGINEERING L.L.C.**  
 18 CHESTNUT STREET  
 DEWESBORO, DE 19947  
 (302) 855-0812  
 FAX: 855-0812  
 WWW.AXIOMENGS.COM

REV	DESCRIPTION OF REVISION	DATE
1	REVISED PER DELDOT COMMENTS	12/20/2019
2	REVISED PER DELDOT COMMENTS	12/20/2019
3	REVISED PER DELDOT COMMENTS	12/20/2019
4	REVISED PER DELDOT COMMENTS	12/20/2019
5	REVISED PER DELDOT COMMENTS	12/20/2019
6	REVISED PER DELDOT COMMENTS	12/20/2019
7	REVISED PER DELDOT COMMENTS	12/20/2019
8	REVISED PER DELDOT COMMENTS	12/20/2019
9	REVISED PER DELDOT COMMENTS	12/20/2019
10	REVISED PER DELDOT COMMENTS	12/20/2019

PROJECT NO: 0233-1702  
 DRAWING: CE-3  
 SHEET: 3 OF 43



SHARED USE PATH	OVERLAY	FULL DEPTH	DELDOT CROSS SECTION LEGEND
2"	2" MIN.	2"	A. ITEM 401005 - SUPERPAVE, TYPE C, PG 64-22
-	4"	4"	B. ITEM 401014 - SUPERPAVE, TYPE B, PG 64-22
8"	8"	8"	C. ITEM 301001 - GRADED AGGREGATE BASE COURSE, TYPE B
			D. ITEM 701021 - INTEGRAL P.C.C. CURB & GUTTER, TYPE 3-4
			E. ITEM 705001 - P.C.C. SIDEWALK, 4"
			F. GROUND COVER CONSISTING OF ONE OF THE FOLLOWING: F.A. ITEM 908004 - TOPSOIL, 6" DEPTH F.B. ITEM 908010 - TOPSOILING, 6" DEPTH F.C. ITEM 908014 - PERMANENT GRASS SEEDING, DRY GROUND
			G. ITEM 908020 - EROSION CONTROL BLANKET MULCH (MIN. WIDTH SHALL BE 6')
			H. CONTRACTOR TO INSTALL SAFETY EDGE WHERE THERE IS NO CURBING

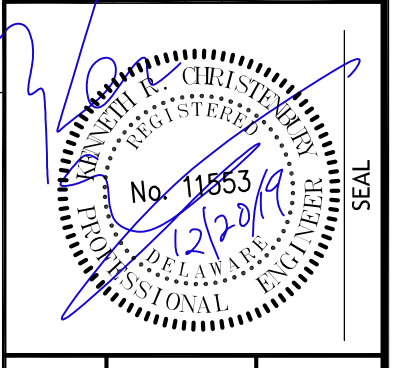


REV	DESCRIPTION OF REVISION	DATE
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2	REVISED PER DELDOT COMMENTS	11/12/2019
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4	REVISED PER DELDOT COMMENTS	11/12/2019
5	REVISED PER DELDOT COMMENTS	11/12/2019
6	REVISED PER DELDOT COMMENTS	11/12/2019
7	REVISED PER DELDOT COMMENTS	11/12/2019
8	REVISED PER DELDOT COMMENTS	11/12/2019
9	REVISED PER DELDOT COMMENTS	11/12/2019
10	REVISED PER DELDOT COMMENTS	11/12/2019

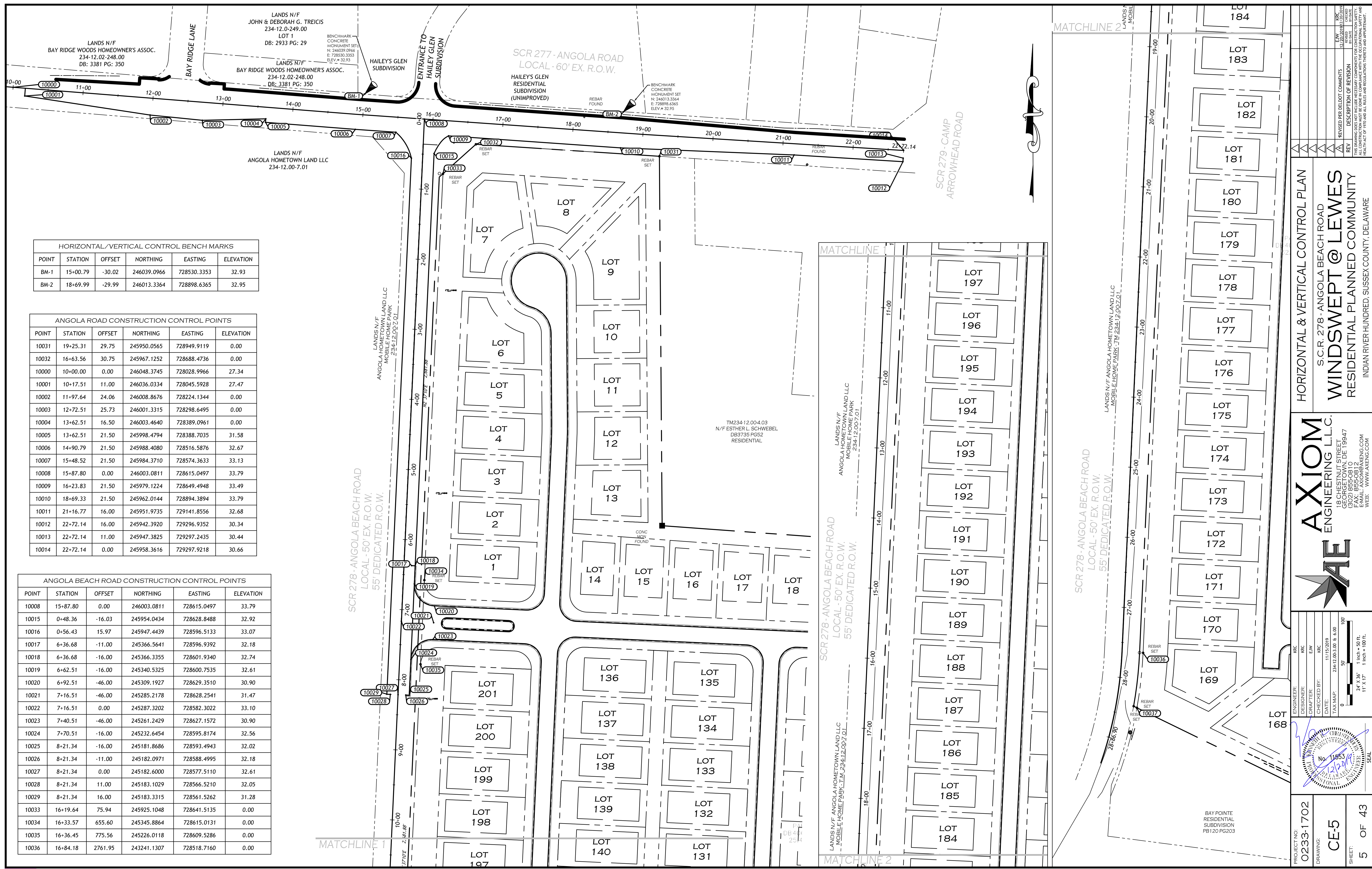
ANGOLA BEACH ROAD TYPICAL SECTIONS  
 S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEPT @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

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 ENGINEERING L.L.C.  
 18 CHESTNUT STREET  
 DEWESBORO, DE 19847  
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 FAX: 855-0812  
 WWW.AXIOMENR.COM  
 WWW.AXIOMENR.COM

ENGINEER:	DESIGNER:	DATE:	TAX MAP:
DRAFTER:	CHECKED BY:	11/12/2019	234-12.003.00 & 6.00



PROJECT NO: 0233-1702  
 DRAWING: CE-4  
 SHEET: 4 OF 43



HORIZONTAL/VERTICAL CONTROL BENCH MARKS

POINT	STATION	OFFSET	NORTHING	EASTING	ELEVATION
BM-1	15+00.79	-30.02	246039.0966	728530.3353	32.93
BM-2	18+69.99	-29.99	246013.3364	728898.6365	32.95

ANGOLA ROAD CONSTRUCTION CONTROL POINTS

POINT	STATION	OFFSET	NORTHING	EASTING	ELEVATION
10031	19+25.31	29.75	245950.0565	728949.9119	0.00
10032	16+63.56	30.75	245967.1252	728688.4736	0.00
10000	10+00.00	0.00	246048.3745	728028.9966	27.34
10001	10+17.51	11.00	246036.0334	728045.5928	27.47
10002	11+97.64	24.06	246008.8676	728224.1344	0.00
10003	12+72.51	25.73	246001.3315	728298.6495	0.00
10004	13+62.51	16.50	246003.4640	728389.0961	0.00
10005	13+62.51	21.50	245998.4794	728388.7035	31.58
10006	14+90.79	21.50	245988.4080	728516.5876	32.67
10007	15+48.52	21.50	245984.3710	728574.3633	33.13
10008	15+87.80	0.00	246003.0811	728615.0497	33.79
10009	16+23.83	21.50	245979.1224	728649.4948	33.49
10010	18+69.33	21.50	245962.0144	728894.3894	33.79
10011	21+16.77	16.00	245951.9735	729141.8556	32.68
10012	22+72.14	16.00	245942.3920	729296.9352	30.34
10013	22+72.14	11.00	245947.3825	729297.2435	30.44
10014	22+72.14	0.00	245958.3616	729297.9218	30.66

ANGOLA BEACH ROAD CONSTRUCTION CONTROL POINTS

POINT	STATION	OFFSET	NORTHING	EASTING	ELEVATION
10008	15+87.80	0.00	246003.0811	728615.0497	33.79
10015	0+48.36	-16.03	245954.0434	728628.8488	32.92
10016	0+56.43	15.97	245947.4439	728596.5133	33.07
10017	6+36.68	-11.00	245366.5641	728596.9392	32.18
10018	6+36.68	-16.00	245366.3355	728601.9340	32.74
10019	6+62.51	-16.00	245340.5325	728600.7535	32.61
10020	6+92.51	-46.00	245309.1927	728629.3510	30.90
10021	7+16.51	-46.00	245285.2178	728628.2541	31.47
10022	7+16.51	0.00	245287.3202	728582.3022	33.10
10023	7+40.51	-46.00	245261.2429	728627.1572	30.90
10024	7+70.51	-16.00	245232.6454	728595.8174	32.56
10025	8+21.34	-16.00	245181.8686	728593.4943	32.02
10026	8+21.34	-11.00	245182.0971	728588.4995	32.18
10027	8+21.34	0.00	245182.6000	728577.5110	32.61
10028	8+21.34	11.00	245183.1029	728566.5210	32.05
10029	8+21.34	16.00	245183.3315	728561.5262	31.28
10033	16+19.64	75.94	245925.1048	728641.5135	0.00
10034	16+33.57	655.60	245345.8864	728615.0131	0.00
10035	16+36.45	775.56	245226.0118	728609.5286	0.00
10036	16+84.18	2761.95	243241.1307	728518.7160	0.00

**HORIZONTAL & VERTICAL CONTROL PLAN**  
 S.C.R. 278-ANGOLA BEACH ROAD  
**WINDSWEPT @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM ENGINEERING L.L.C.**  
 18 CHESTNUT STREET  
 MOBILE HOME PARK - TN 234-12-002-01  
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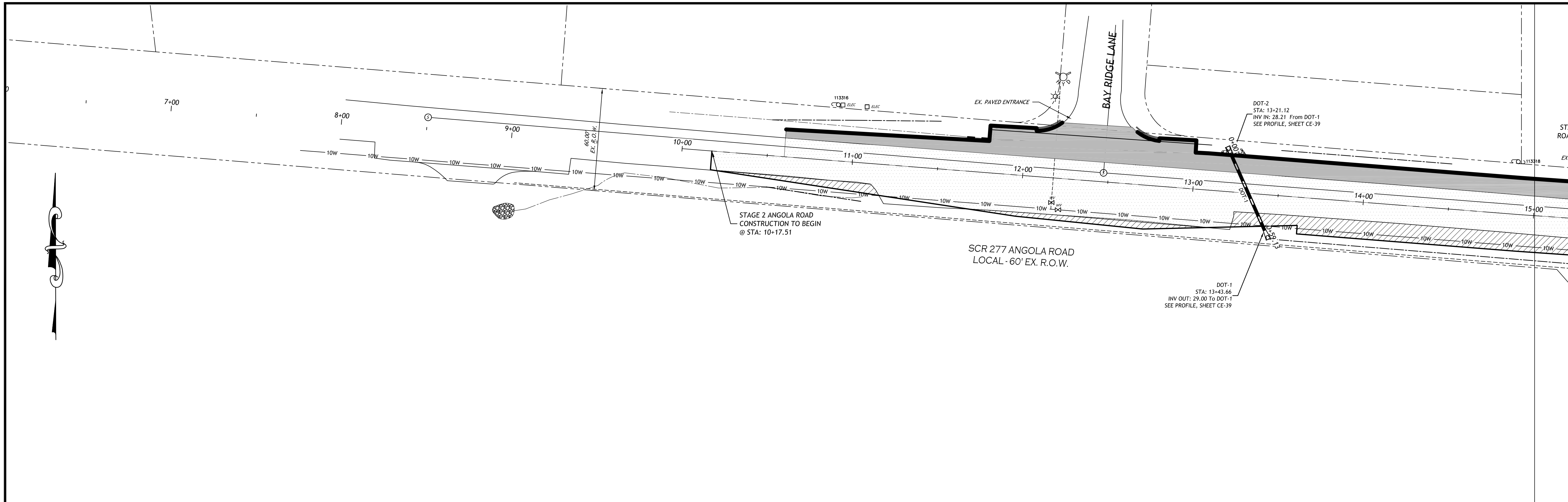
PROJECT NO: 0233-1702  
 DRAWING: CE-5  
 SHEET: 5 OF 43

REVISIONS:  
 REV. 1: 11/12/2019  
 REV. 2: 2/20/2020  
 REV. 3: 12/20/2020

DESIGNER: MKC  
 DRAFTER: EWB  
 CHECKED BY: MKC  
 DATE: 11/12/2019  
 TAX MAP: 234-12-003.00 & 6.00

SCALE: 1" = 100 FT.  
 1" = 100 FT.

THE DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE HEALTH ACT OF 1998 AND ALL RULES AND REGULATIONS THEREOF AND APPROPRIATE.



**PAVING LEGEND**

- ROAD WORK TO BE PERFORMED BY OTHERS AND OVERLAID WITH THIS PLAN
- STAGE 1 SUBDIVISION ENTRANCE
- STAGE 2 CENTERLINE TO HAVE MINIMUM 2" OVERLAY AND WEDGED FOR 2% SLOPE TO EDGE OF PAVEMENT
- AREA OF PAVEMENT TO BE CONSTRUCTED

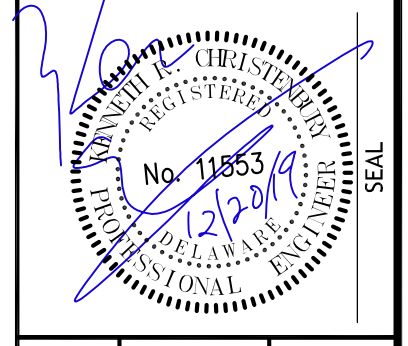
MATCHLINE - SHEET CE-7

REV	DESCRIPTION OF REVISION	DATE	BY
1	REVISED PER DELOTT COMMENTS	11/19/2019	EW
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3			
4			
5			

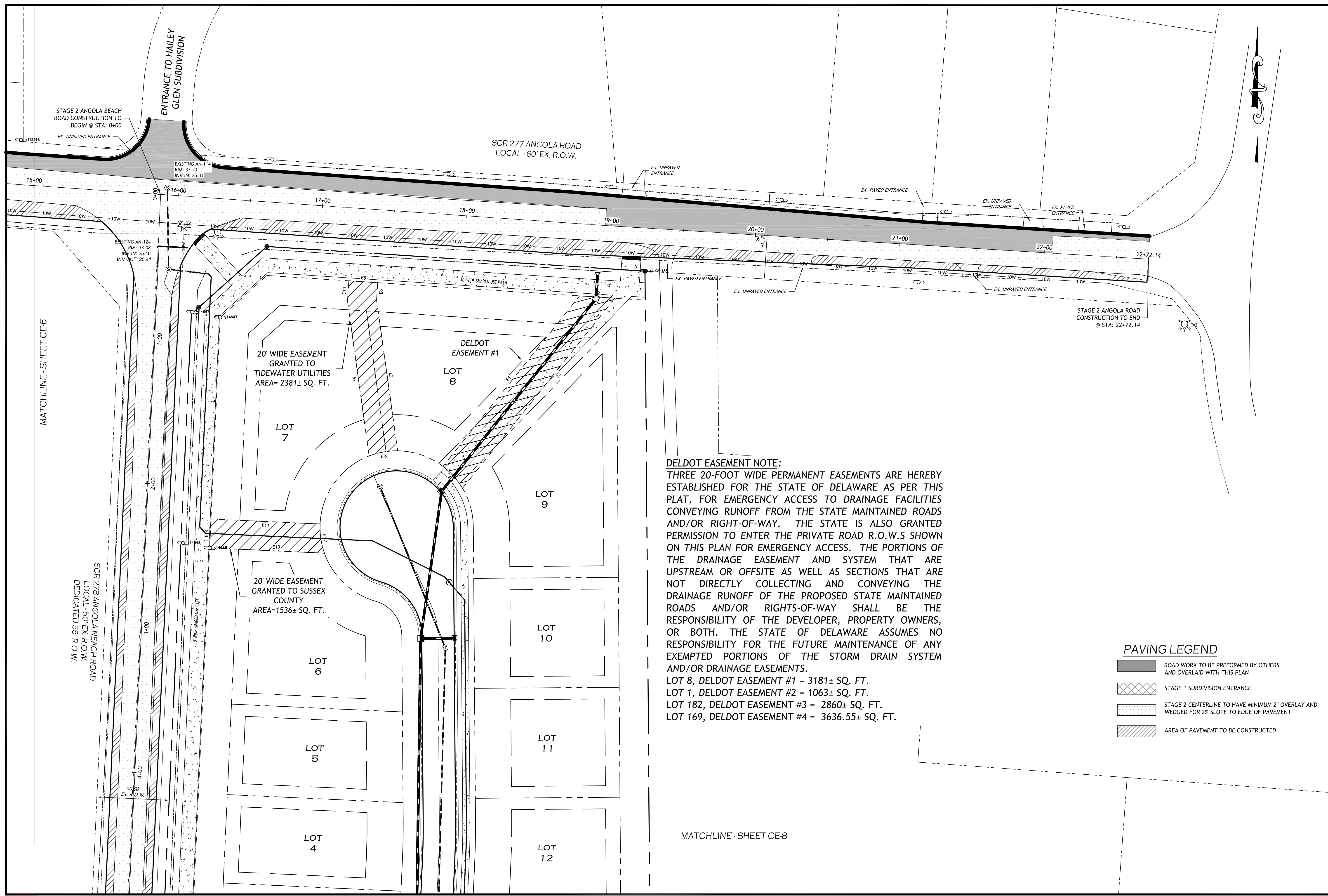
**ROAD PAVING PLAN**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEPT @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM**  
 ENGINEERING L.L.C.  
 18 CHESTNUT STREET  
 DEWESBORO, DE 19847  
 (302) 855-0810  
 FAX: 855-0812  
 WWW.AXIOMENGS.COM

ENGINEER:	MKC
DESIGNER:	EW
DRAFTER:	MKC
CHECKED BY:	EW
DATE:	11/19/2019
TAX MAP:	234-17-003.00 & 6.00



PROJECT NO:	0233-1702
DRAWING:	CE-6
SHEET:	6 OF 43







**DELDOT EASEMENT NOTE:**  
 THREE 20-FOOT WIDE PERMANENT EASEMENTS ARE HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM THE STATE MAINTAINED ROADS AND/OR RIGHT-OF-WAY. THE STATE IS ALSO GRANTED PERMISSION TO ENTER THE PRIVATE ROAD R.O.W.S SHOWN ON THIS PLAN FOR EMERGENCY ACCESS. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.  
 LOT 8, DELDOT EASEMENT #1 = 3181± SQ. FT.  
 LOT 1, DELDOT EASEMENT #2 = 1063± SQ. FT.  
 LOT 182, DELDOT EASEMENT #3 = 2860± SQ. FT.  
 LOT 169, DELDOT EASEMENT #4 = 3636.55± SQ. FT.

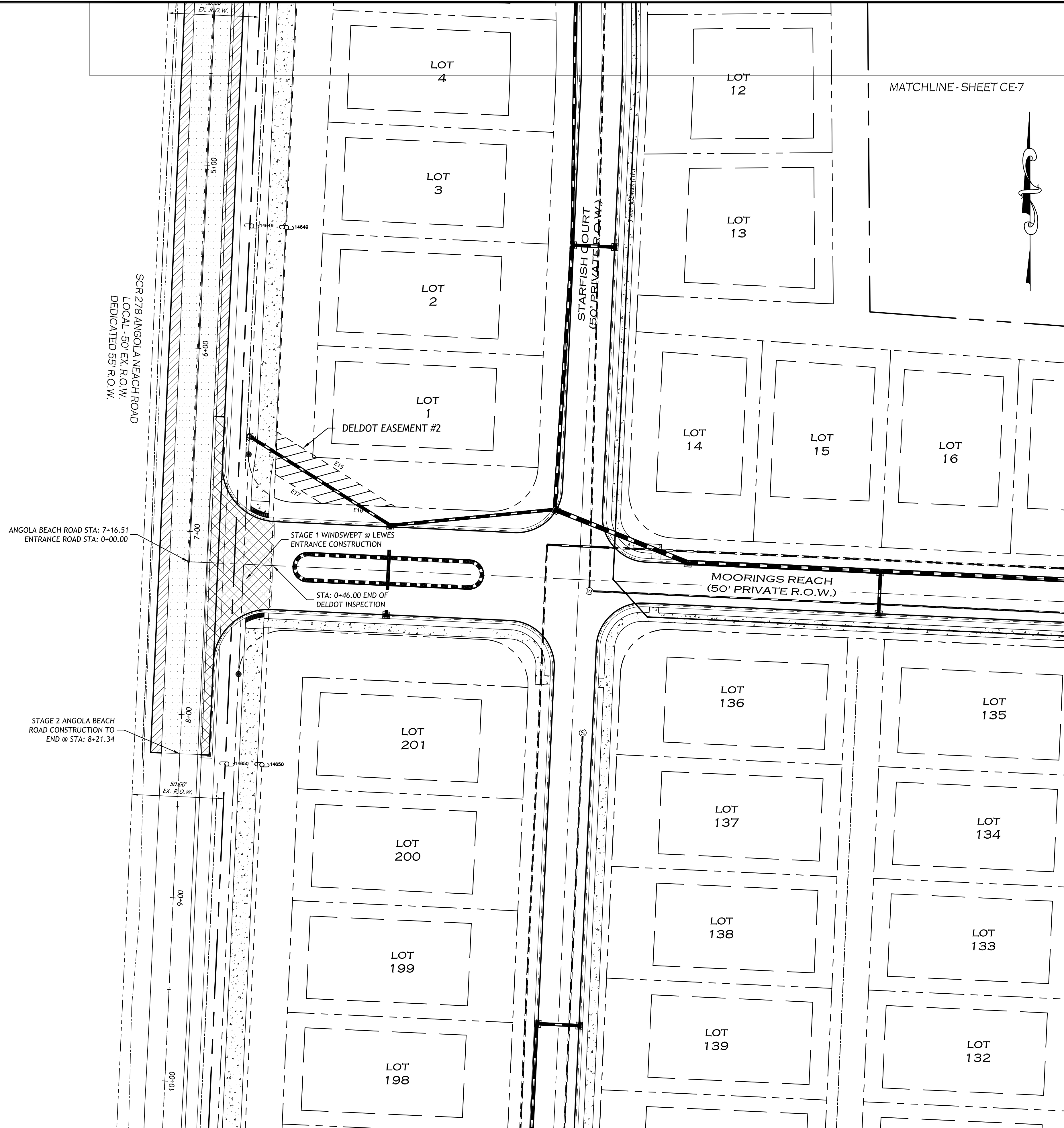
**PAVING LEGEND**

	ROAD WORK TO BE PERFORMED BY OTHERS AND OVERLAID WITH THIS PLAN
	STAGE 1 SUBDIVISION ENTRANCE
	STAGE 2 CENTERLINE TO HAVE MINIMUM 2" OVERLAY AND WEDGED FOR 2% SLOPE TO EDGE OF PAVEMENT
	AREA OF PAVEMENT TO BE CONSTRUCTED

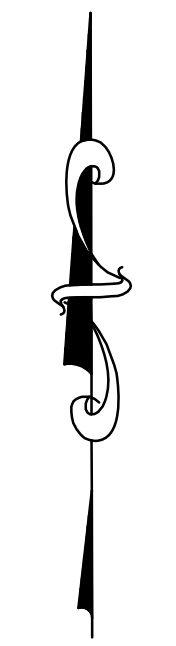
<b>ROAD PAVING PLAN</b> S.C.R. 278 - ANGOLA BEACH ROAD <b>WINDSWEPT @ LEWES</b> RESIDENTIAL PLANNED COMMUNITY INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE													
<b>Axiom Engineering L.L.C.</b> 18 CHESTNUT STREET SUITE 200 DE 19947 (302) 855-0812 FAX: 855-0812 WWW.AXIOMENGS.COM	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>ENGINEER:</td> <td>MKC</td> </tr> <tr> <td>DESIGNER:</td> <td>EW</td> </tr> <tr> <td>DRAFTER:</td> <td>MKC</td> </tr> <tr> <td>CHECKED BY:</td> <td>11/12/2019</td> </tr> <tr> <td>DATE:</td> <td>23412.003.00 &amp; 6.00</td> </tr> <tr> <td>TAX MAP:</td> <td></td> </tr> </table> <div style="text-align: right;">               0 30 60            1" = 40'         </div>	ENGINEER:	MKC	DESIGNER:	EW	DRAFTER:	MKC	CHECKED BY:	11/12/2019	DATE:	23412.003.00 & 6.00	TAX MAP:	
ENGINEER:	MKC												
DESIGNER:	EW												
DRAFTER:	MKC												
CHECKED BY:	11/12/2019												
DATE:	23412.003.00 & 6.00												
TAX MAP:													
PROJECT NO: <b>0233-1702</b>	DRAWING: <b>CE-7</b>												
SHEET: <b>7</b>	OF <b>43</b>												

**PAVING LEGEND**

-  ROAD WORK TO BE PERFORMED BY OTHERS AND OVERLAID WITH THIS PLAN
-  STAGE 1 SUBDIVISION ENTRANCE
-  STAGE 2 CENTERLINE TO HAVE MINIMUM 2" OVERLAY AND WEDGED FOR 2% SLOPE TO EDGE OF PAVEMENT
-  AREA OF PAVEMENT TO BE CONSTRUCTED



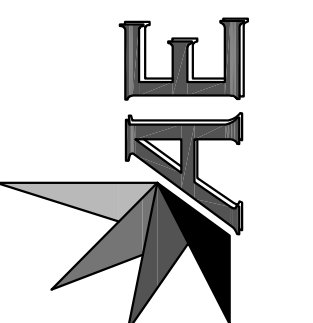
MATCHLINE - SHEET CE-7



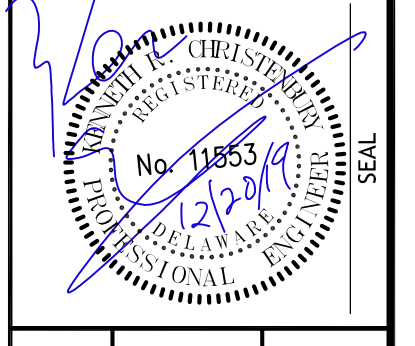
REV	DESCRIPTION OF REVISION	DATE
1	REVISED PER DELDOT COMMENTS	12/22/2019
2		
3		
4		
5		

**ROAD PAVING PLAN**  
S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEEP @ LEWES**  
RESIDENTIAL PLANNED COMMUNITY  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM ENGINEERING L.L.C.**  
18 CHESTNUT STREET  
SUITE 200 DE 19947  
DOWNTOWN DELAWARE  
PH: 302.855.0812  
FAX: 302.855.0812  
WWW.AXIOMENR.COM



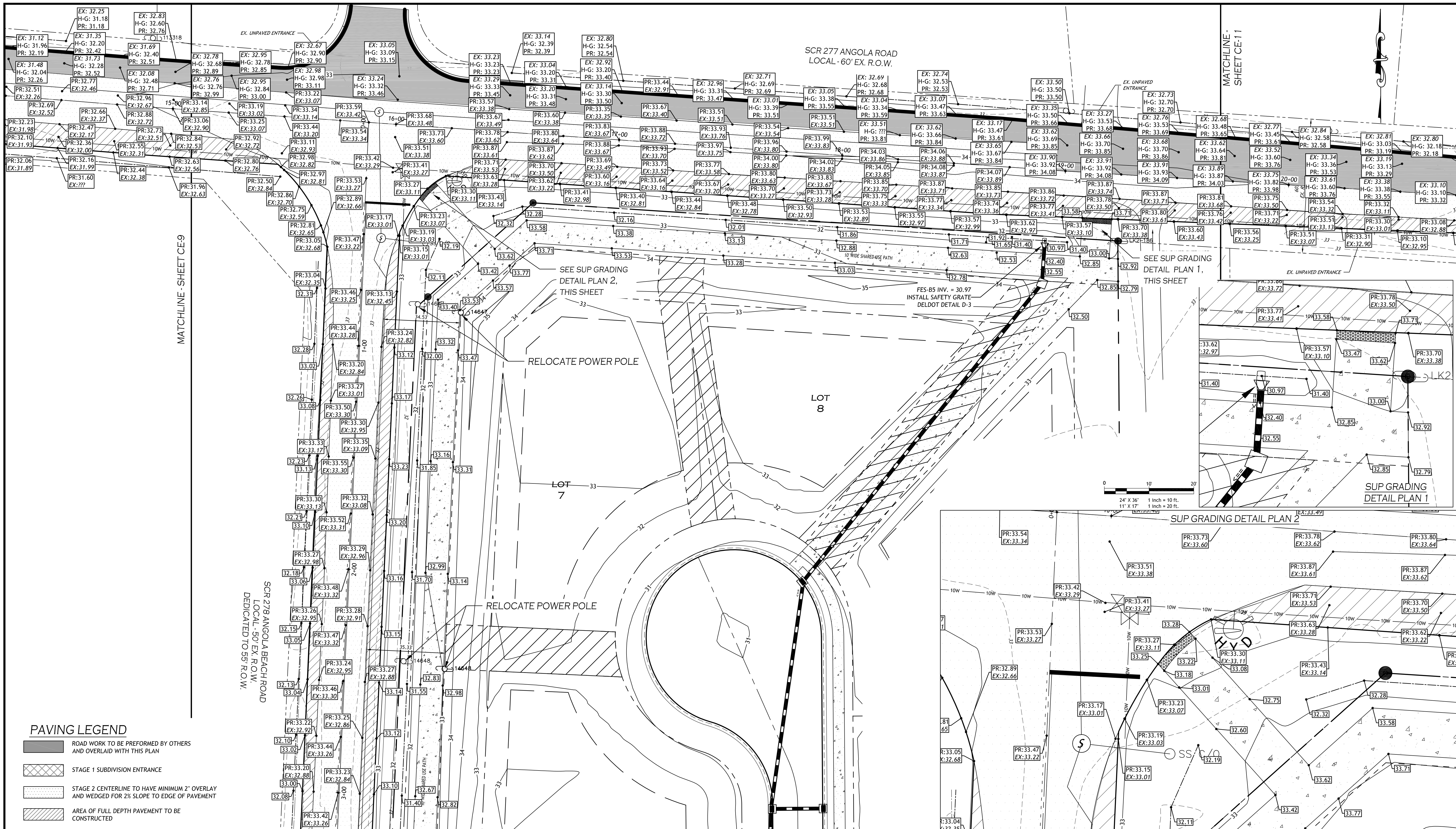
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DRAFTER:	CHECKED BY:	TAX MAP:
11/19/2019	234-17-003.00 & 6.00	



PROJECT NO: 0233-1702  
DRAWING: CE-8  
SHEET: 8 OF 43







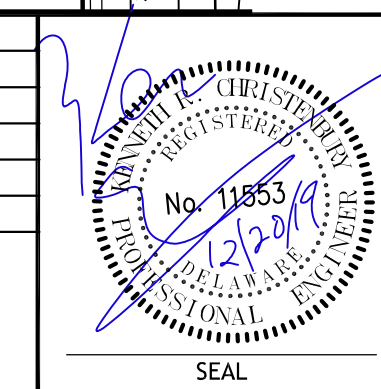
**PAVING LEGEND**

- ROAD WORK TO BE PERFORMED BY OTHERS AND OVERLAID WITH THIS PLAN
- STAGE 1 SUBDIVISION ENTRANCE
- STAGE 2 CENTERLINE TO HAVE MINIMUM 2" OVERLAY AND WEDGED FOR 2% SLOPE TO EDGE OF PAVEMENT
- AREA OF FULL DEPTH PAVEMENT TO BE CONSTRUCTED

REV	DESCRIPTION OF REVISION	EJW	KRC



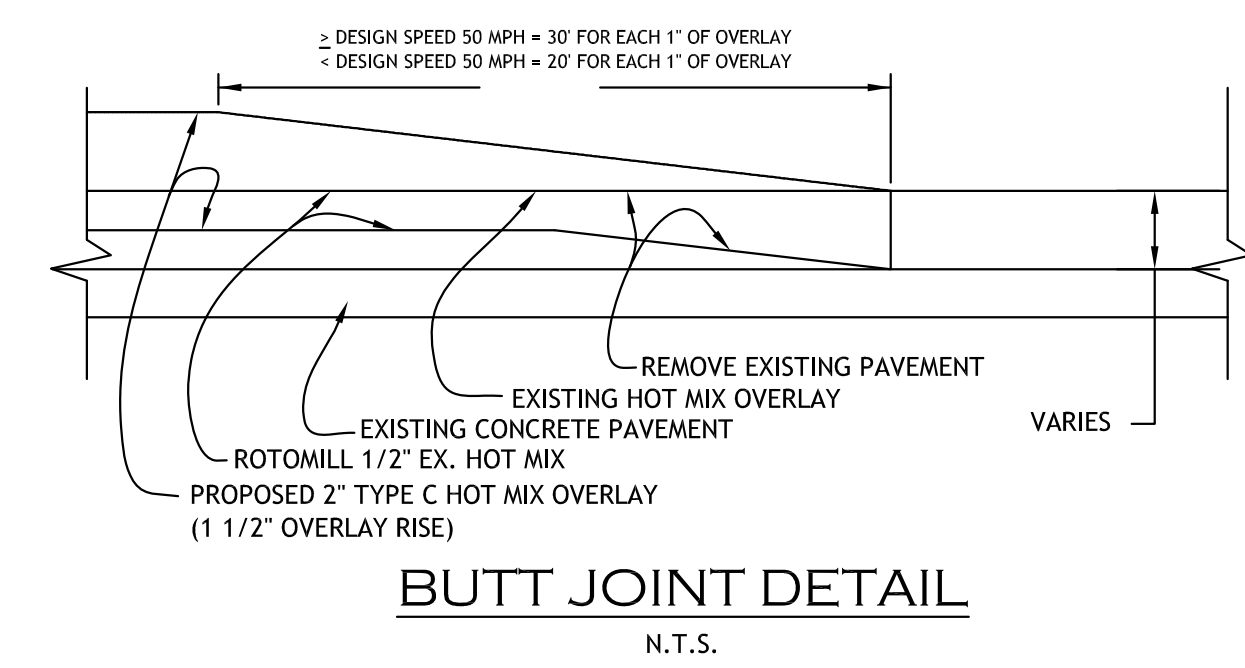
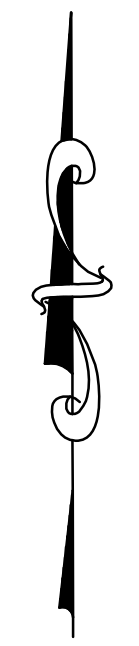
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DESIGNER:	KRC
DRAFTER:	EJW
CHECKED BY:	KRC
DATE:	11/15/2019
TAX MAP:	234-12.00-3.00 & 6.00



**AXIOM ENGINEERING L.L.C.**  
 18 CHESTNUT STREET  
 GEORGETOWN, DE 19947  
 (302) 855-0810  
 FAX: 855-0812  
 E-MAIL: AXIOM@AXIOM.COM  
 WEB: WWW.AXIOM.COM

**GRADING PLAN**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEEP @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

PROJECT NO:	0233-1702
DRAWING:	CE-10
SHEET:	10 OF 43

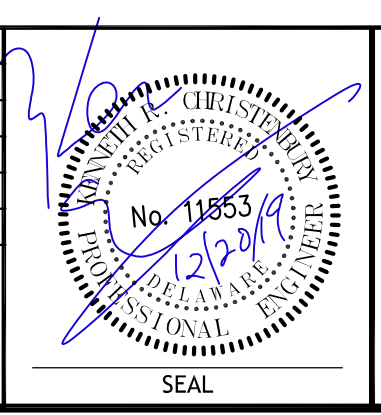


**PAVING LEGEND**

- ROAD WORK TO BE PERFORMED BY OTHERS AND OVERLAID WITH THIS PLAN
- STAGE 1 SUBDIVISION ENTRANCE
- STAGE 2 CENTERLINE TO HAVE MINIMUM 2\"/>

REV	DESCRIPTION OF REVISION	REVISED BY/DATE	CHECKED BY/DATE

ENGINEER:	KRC
DESIGNER:	KRC
DRAFTER:	EJW
CHECKED BY:	KRC
DATE:	11/15/2019
TAX MAP:	234-12.00-3.00 & 6.00

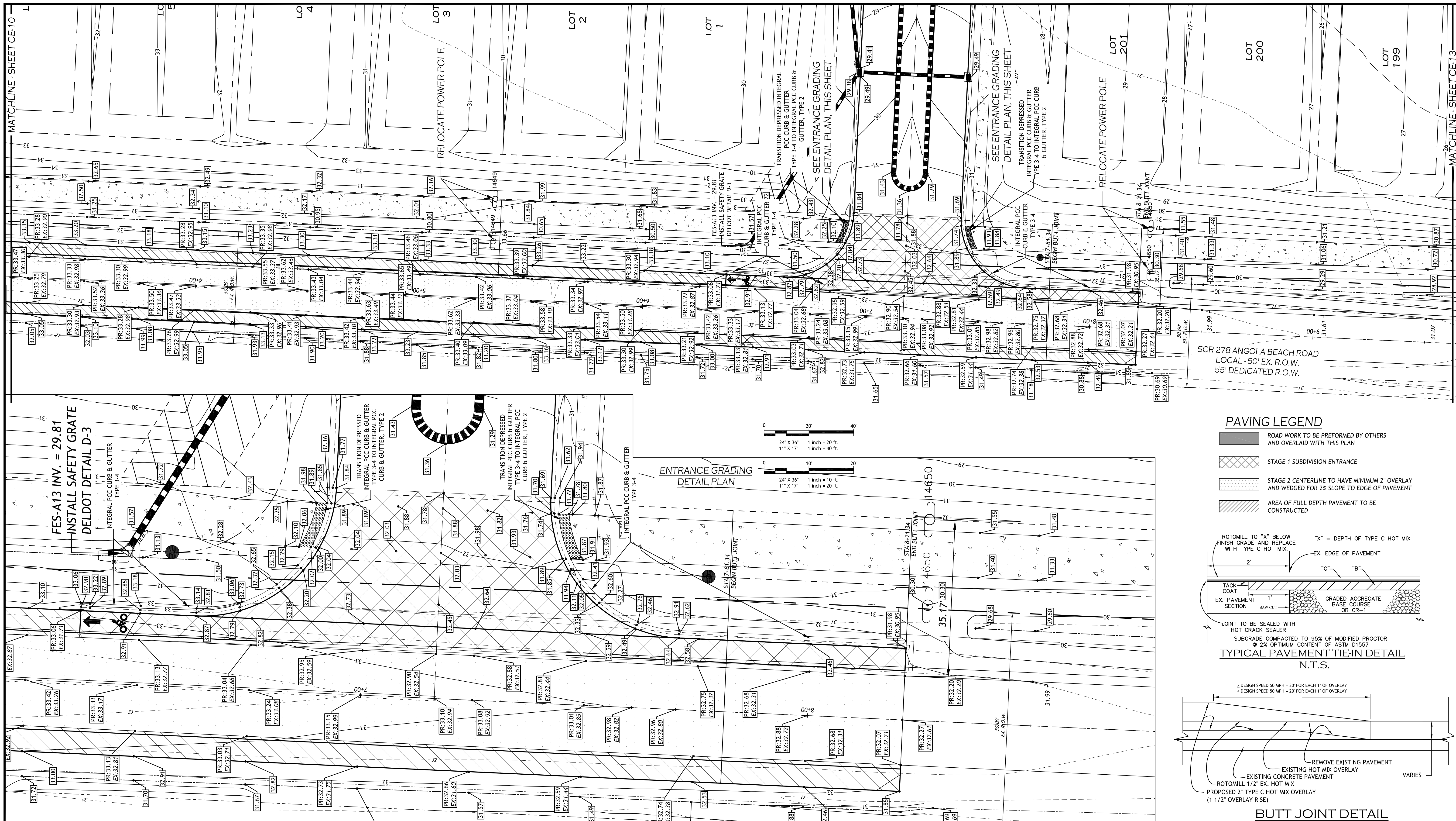


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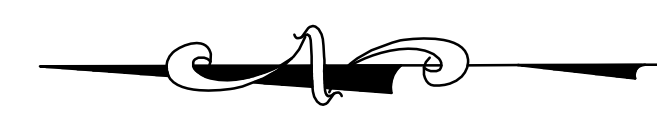
**GRADING PLAN**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEEP @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

PROJECT NO:	0233-1702
DRAWING:	CE-11
SHEET:	11 OF 43

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF AND APPURTENANT.



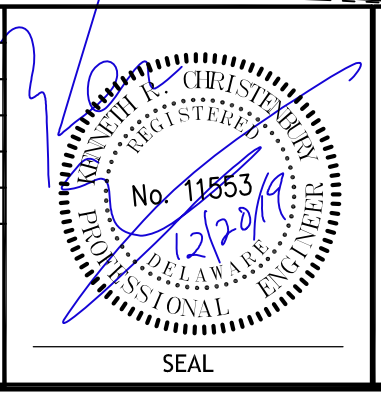
REV	DESCRIPTION OF REVISION	REVISED BY DATE	CHECKED BY DATE
1	REVISED PER DELDOT COMMENTS	EJW 12/20/2019	KRC 12/20/2019



SCR 278 ANGOLA BEACH ROAD  
LOCAL - 50' EX. R.O.W.  
55' DEDICATED R.O.W.

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF AND APPROPRIATE.

ENGINEER: KRC  
DESIGNER: KRC  
DRAFTER: EJW  
CHECKED BY: KRC  
DATE: 11/15/2019  
TAX MAP: 234-12.00-3.00 & 6.00



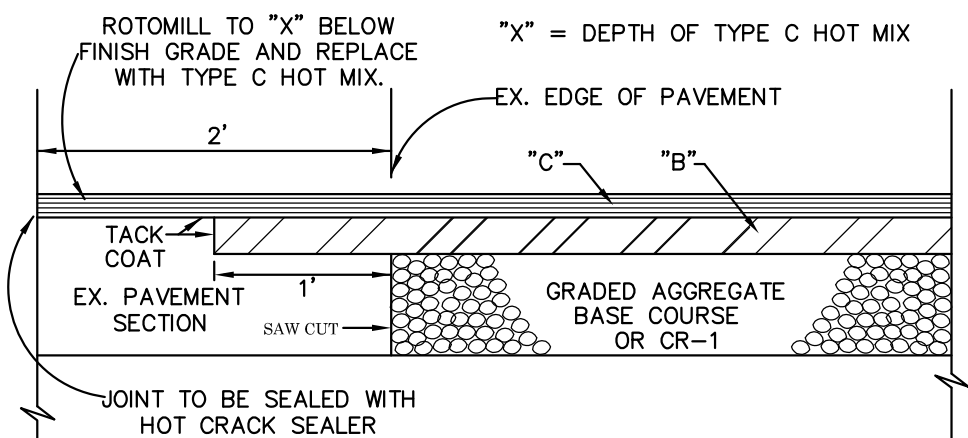
**AXIOM ENGINEERING L.L.C.**  
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**GRADING PLAN**  
S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEEP @ LEWES**  
RESIDENTIAL PLANNED COMMUNITY  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

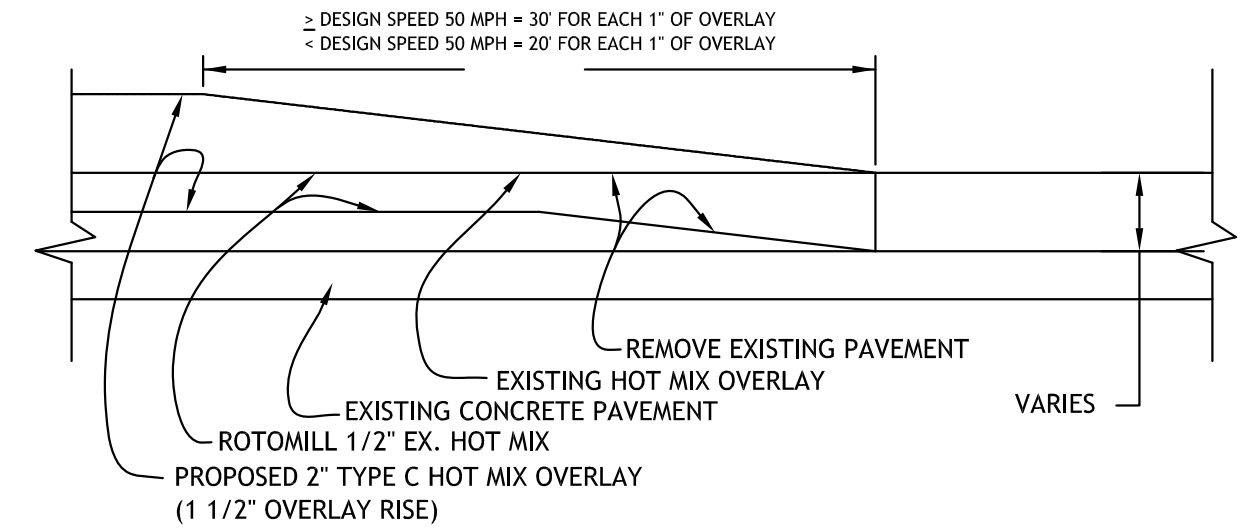
PROJECT NO: 0233-1702  
DRAWING: CE-12  
SHEET: 12 OF 43

**PAVING LEGEND**

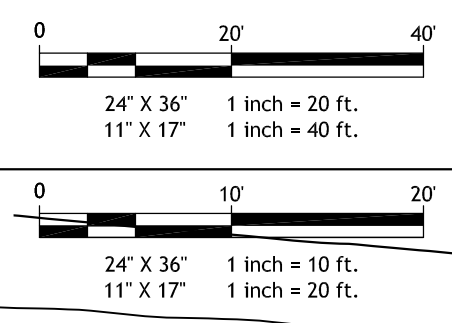
- ROAD WORK TO BE PERFORMED BY OTHERS AND OVERLAID WITH THIS PLAN
- STAGE 1 SUBDIVISION ENTRANCE
- STAGE 2 CENTERLINE TO HAVE MINIMUM 2" OVERLAY AND WEDGED FOR 2% SLOPE TO EDGE OF PAVEMENT
- AREA OF FULL DEPTH PAVEMENT TO BE CONSTRUCTED



TYPICAL PAVEMENT TIE-IN DETAIL  
N.T.S.



BUTT JOINT DETAIL  
N.T.S.

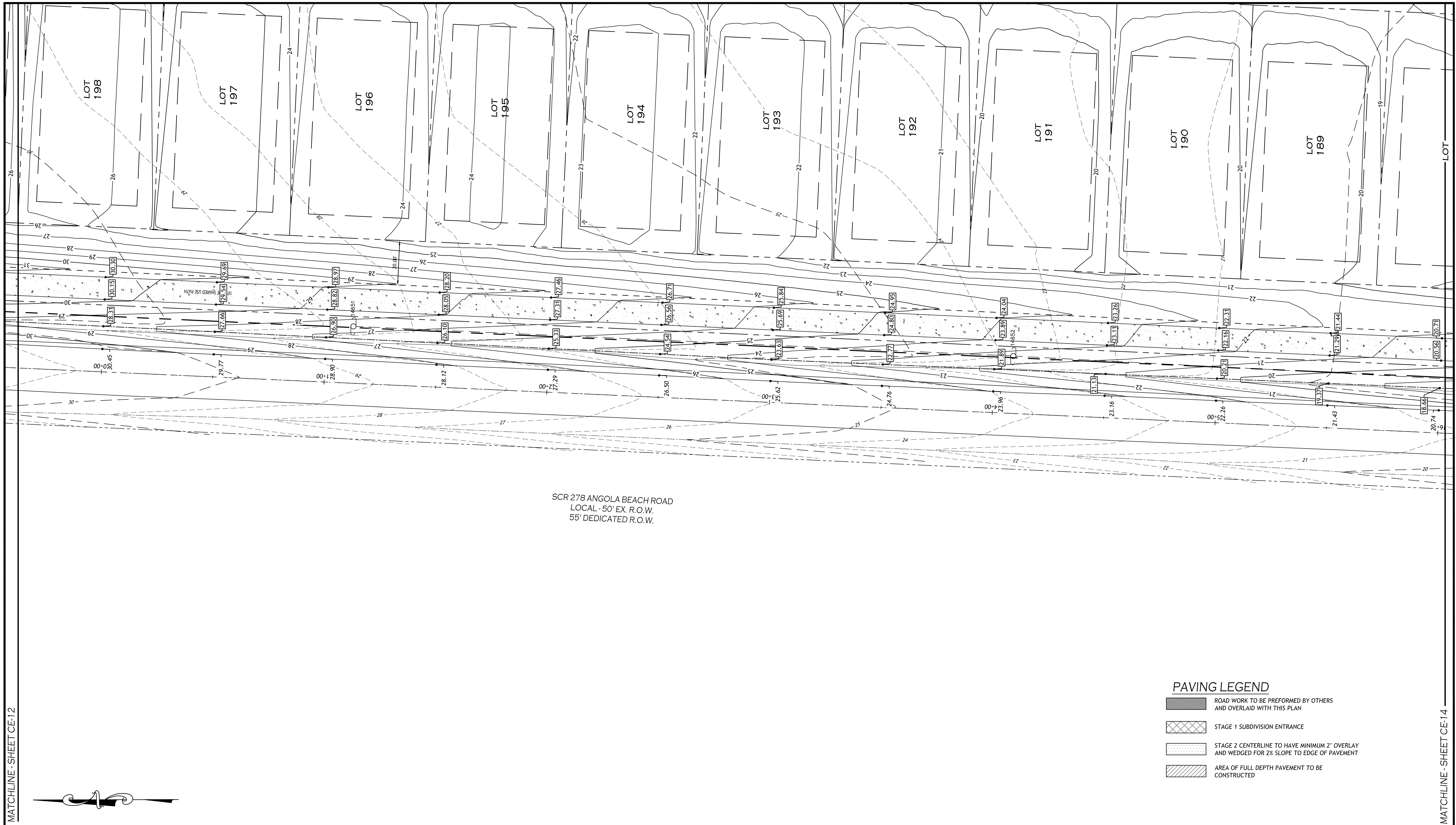


ENTRANCE GRADING  
DETAIL PLAN

FES-A13 INV. = 29.81  
INSTALL SAFETY GRATE  
DELDOT DETAIL D-3



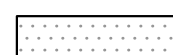

SEE ENTRANCE GRADING  
DETAIL PLAN, THIS SHEET

SCR 278 ANGOLA BEACH ROAD  
LOCAL - 50' EX. R.O.W.  
55' DEDICATED R.O.W.



SCR 278 ANGOLA BEACH ROAD  
 LOCAL - 50' EX. R.O.W.  
 55' DEDICATED R.O.W.

**PAVING LEGEND**

-  ROAD WORK TO BE PERFORMED BY OTHERS AND OVERLAID WITH THIS PLAN
-  STAGE 1 SUBDIVISION ENTRANCE
-  STAGE 2 CENTERLINE TO HAVE MINIMUM 2" OVERLAY AND WEDGED FOR 2% SLOPE TO EDGE OF PAVEMENT
-  AREA OF FULL DEPTH PAVEMENT TO BE CONSTRUCTED

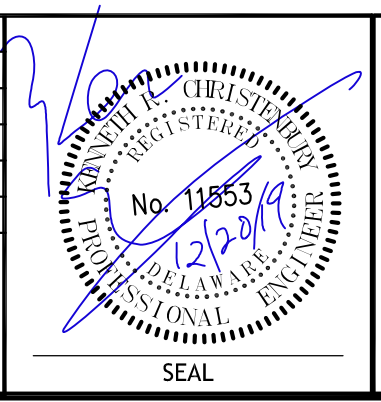
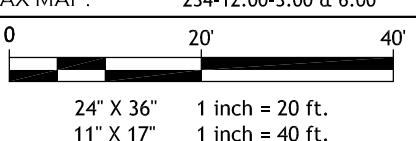
MATCHLINE - SHEET CE-12

MATCHLINE - SHEET CE-14

REV	DESCRIPTION OF REVISION	REVISION BY	DATE
1	REVISED PER DELDOT COMMENTS	EJW	12/20/2019
2		KRC	12/20/2019

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF AND APPURTENANT.

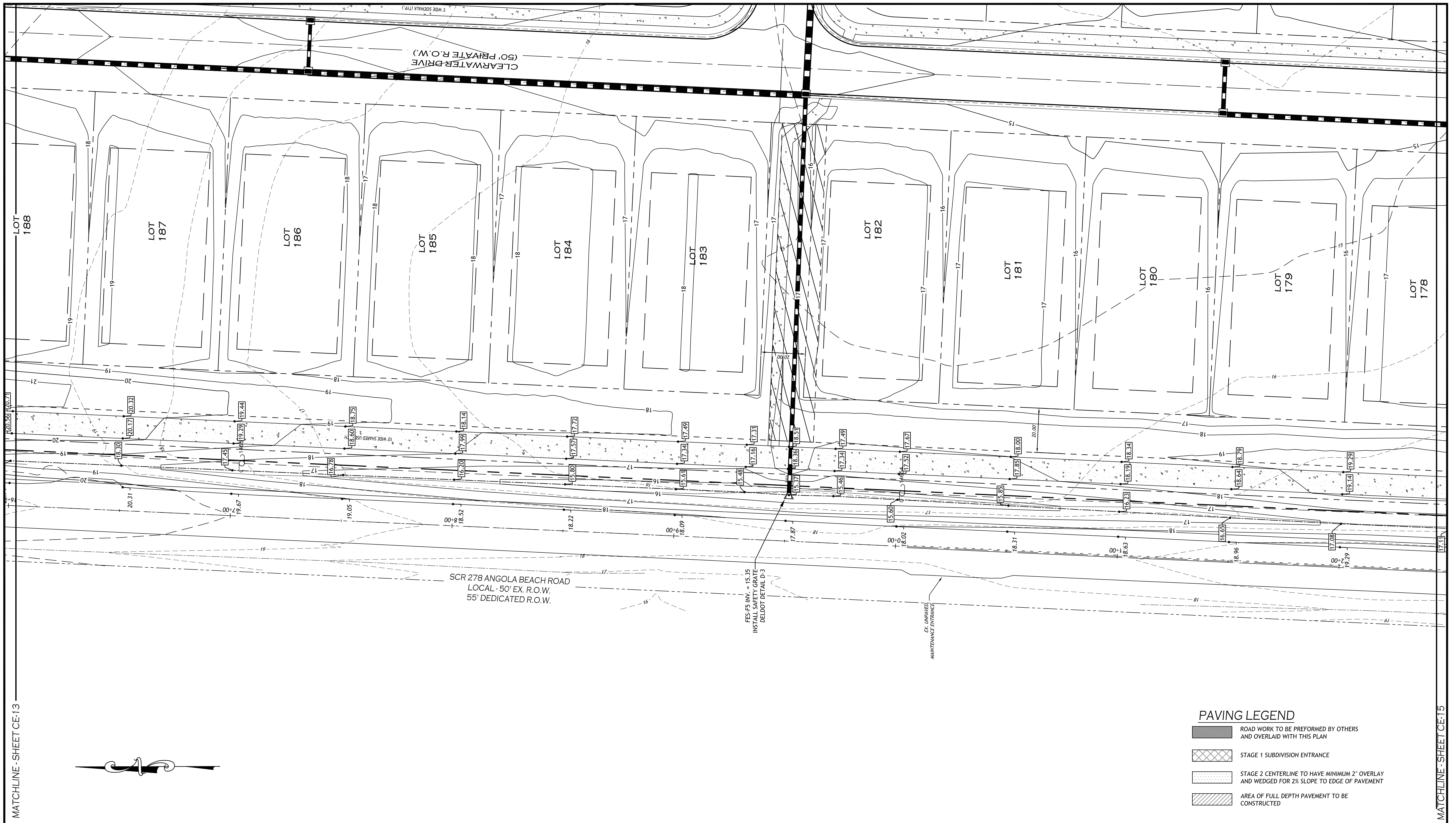
ENGINEER: KRC  
 DESIGNER: KRC  
 DRAFTER: EJW  
 CHECKED BY: KRC  
 DATE: 11/15/2019  
 TAX MAP: 234-12.00-3.00 B. 6.00



**AXIOM ENGINEERING L.L.C.**  
 18 CHESTNUT STREET  
 GEORGETOWN, DE 19947  
 (302) 855-0810  
 FAX: 855-0812  
 E-MAIL: AXIOM@AXENG.COM  
 WEB: WWW.AXENG.COM

**GRADING PLAN**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEEP @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE



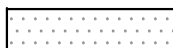

PROJECT NO: 0233-1702  
 DRAWING: CE-13  
 SHEET: 13 OF 43



MATCHLINE - SHEET CE-13

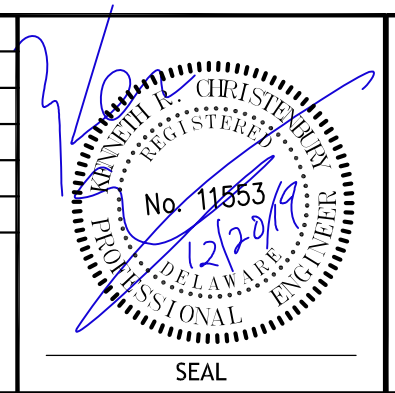
MATCHLINE - SHEET CE-15

**PAVING LEGEND**

-  ROAD WORK TO BE PERFORMED BY OTHERS AND OVERLAID WITH THIS PLAN
-  STAGE 1 SUBDIVISION ENTRANCE
-  STAGE 2 CENTERLINE TO HAVE MINIMUM 2" OVERLAY AND WEDGED FOR 2% SLOPE TO EDGE OF PAVEMENT
-  AREA OF FULL DEPTH PAVEMENT TO BE CONSTRUCTED

REV	DESCRIPTION OF REVISION	REVISED BY/DATE	CHECKED BY/DATE

ENGINEER:	KRC
DESIGNER:	KRC
DRAFTER:	EJW
CHECKED BY:	KRC
DATE:	11/15/2019
TAX MAP:	234-12.00-3.00 & 6.00

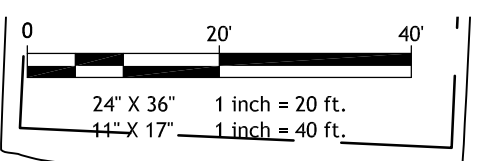
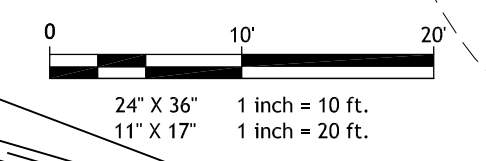
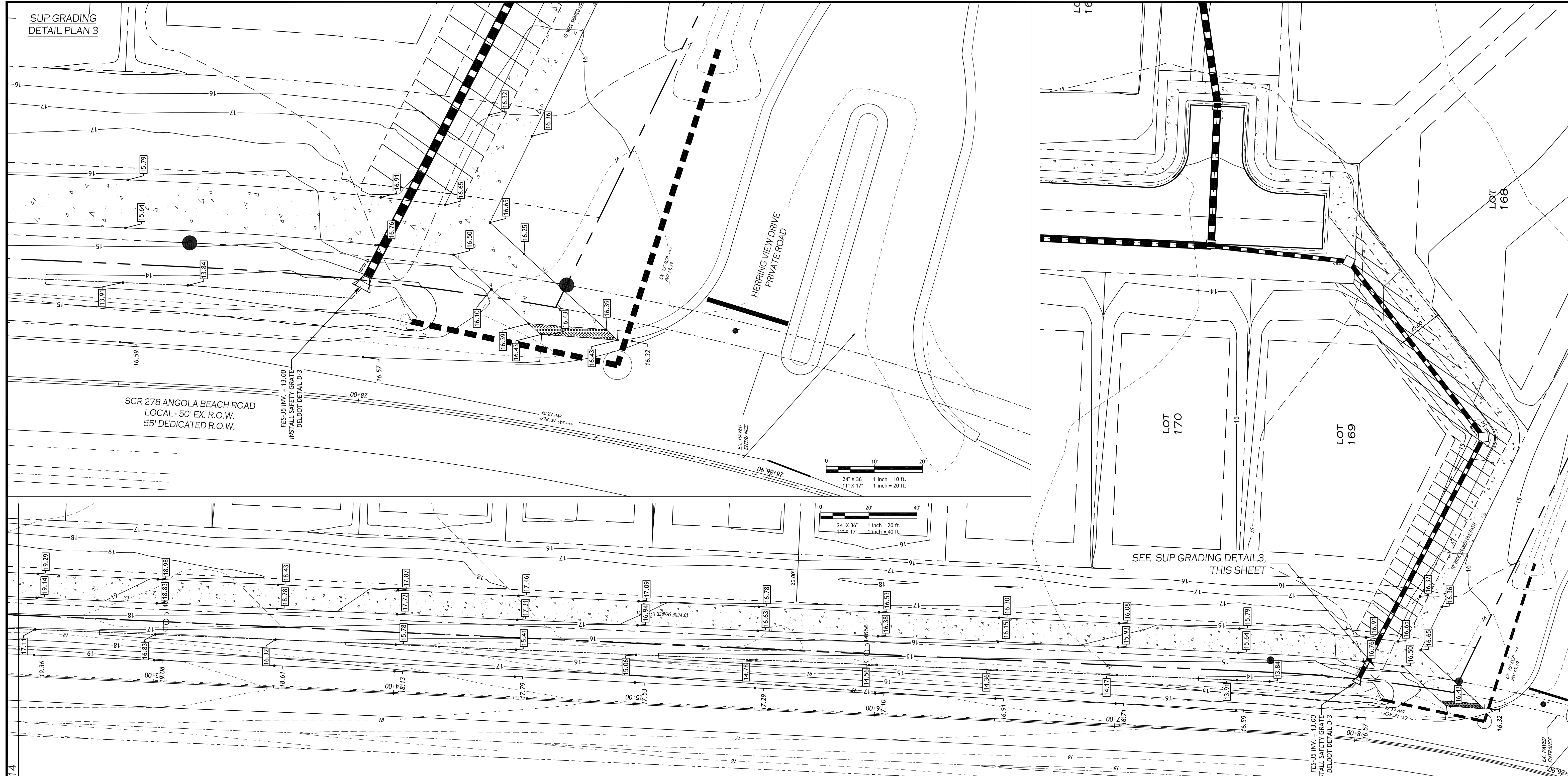


**AXIOM ENGINEERING L.L.C.**  
 18 CHESTNUT STREET  
 GEORGETOWN, DE 19947  
 (302) 855-0810  
 FAX: 855-0812  
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**GRADING PLAN**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEEP @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

PROJECT NO:	0233-1702
DRAWING:	CE-14
SHEET:	14 OF 43

THIS DRAWING DOES NOT INCLUDE NECESSARY CONDITIONS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF AND APPURTENANT.



MATCHLINE - SHEET CE-14

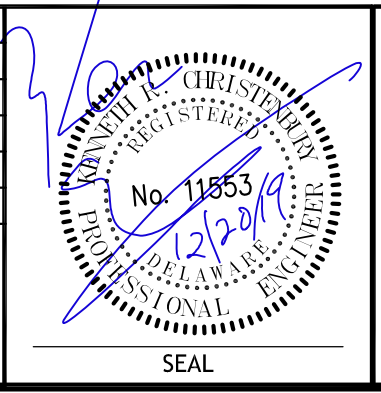
SCR 278 ANGOLA BEACH ROAD  
LOCAL - 50' EX. R.O.W.  
55' DEDICATED R.O.W.

PAVING LEGEND	
	ROAD WORK TO BE PERFORMED BY OTHERS AND OVERLAID WITH THIS PLAN
	STAGE 1 SUBDIVISION ENTRANCE
	STAGE 2 CENTERLINE TO HAVE MINIMUM 2" OVERLAY AND WEDGED FOR 2% SLOPE TO EDGE OF PAVEMENT
	AREA OF FULL DEPTH PAVEMENT TO BE CONSTRUCTED

REV	DESCRIPTION OF REVISION	REVISED BY DATE	CHECKED BY DATE

THIS DRAWING DOES NOT INCLUDE NECESSARY CONDITIONS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF AND APPROPRIATE.

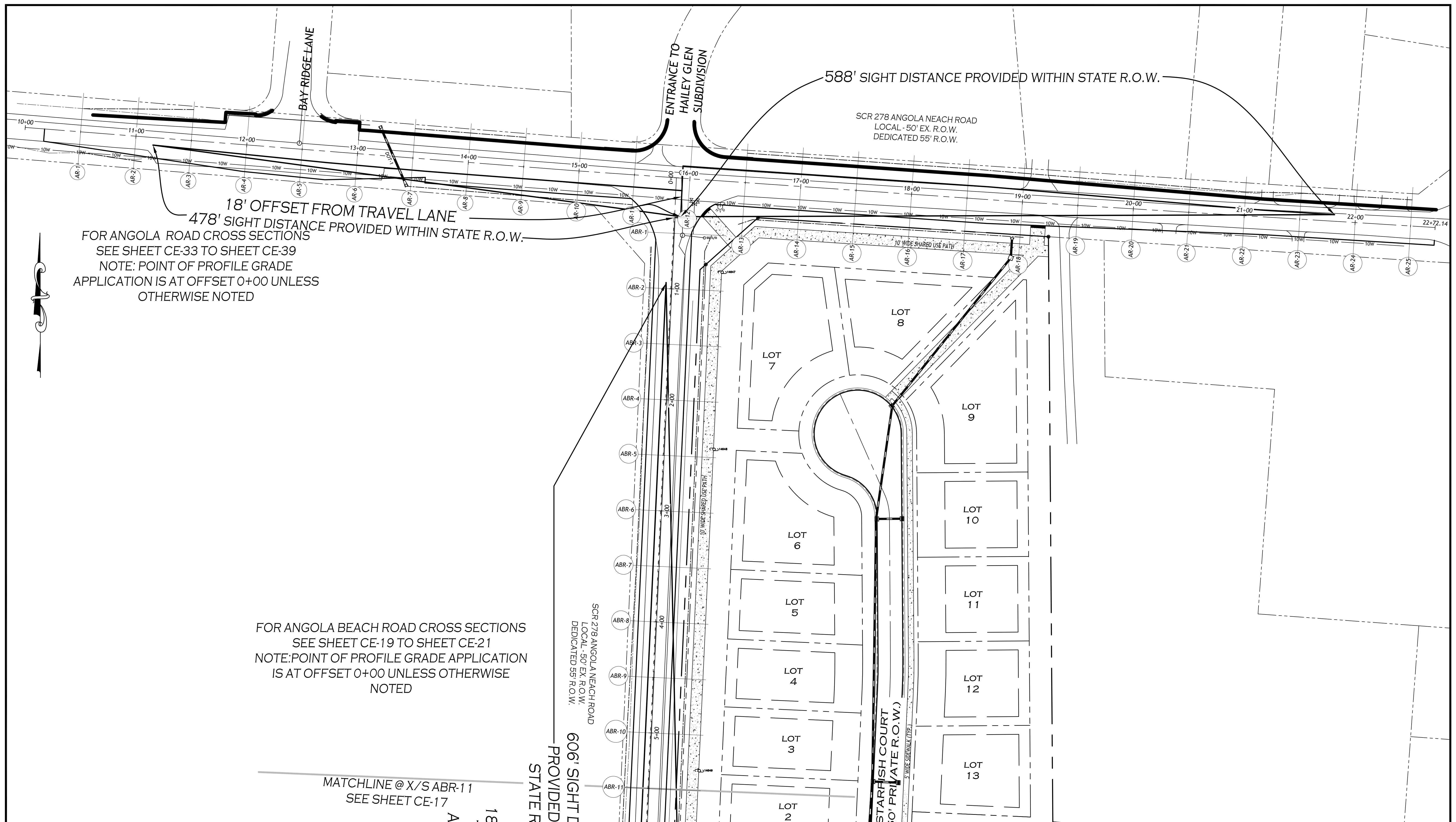
ENGINEER:	KRC
DESIGNER:	KRC
DRAFTER:	EJW
CHECKED BY:	KRC
DATE:	11/15/2019
TAX MAP:	234-12.00-3.00 B. 6.00



**AXIOM**  
ENGINEERING L.L.C.  
18 CHESTNUT STREET  
GEORGETOWN, DE 19947  
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FAX: 855-0812  
E-MAIL: AXIOM@AXENG.COM  
WEB: WWW.AXENG.COM

**GRADING PLAN**  
S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEEP @ LEWES**  
RESIDENTIAL PLANNED COMMUNITY  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

PROJECT NO:	0233-1702
DRAWING:	CE-15
SHEET:	15 OF 43



18' OFFSET FROM TRAVEL LANE  
 478' SIGHT DISTANCE PROVIDED WITHIN STATE R.O.W.  
 FOR ANGOLA ROAD CROSS SECTIONS  
 SEE SHEET CE-33 TO SHEET CE-39  
 NOTE: POINT OF PROFILE GRADE  
 APPLICATION IS AT OFFSET 0+00 UNLESS  
 OTHERWISE NOTED

FOR ANGOLA BEACH ROAD CROSS SECTIONS  
 SEE SHEET CE-19 TO SHEET CE-21  
 NOTE: POINT OF PROFILE GRADE APPLICATION  
 IS AT OFFSET 0+00 UNLESS OTHERWISE  
 NOTED

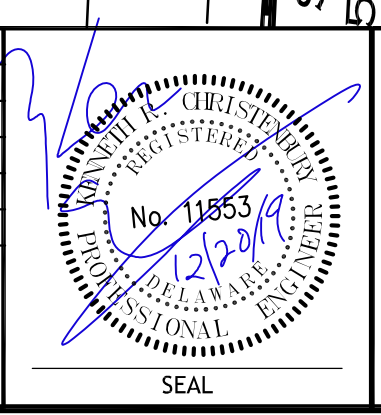
MATCHLINE @ X/S ABR-11  
 SEE SHEET CE-17

606' SIGHT DISTANCE  
 PROVIDED WITHIN  
 STATE R.O.W.

18' OFFSET FR  
 THRU LANE T  
 ANALYSIS POI

REV	DESCRIPTION OF REVISION	REVISED BY/DATE	CHECKED BY/DATE

ENGINEER:	KRC
DESIGNER:	KRC
DRAFTER:	EJW
CHECKED BY:	KRC
DATE:	11/15/2019
TAX MAP:	234-12.00-3.00 & 6.00

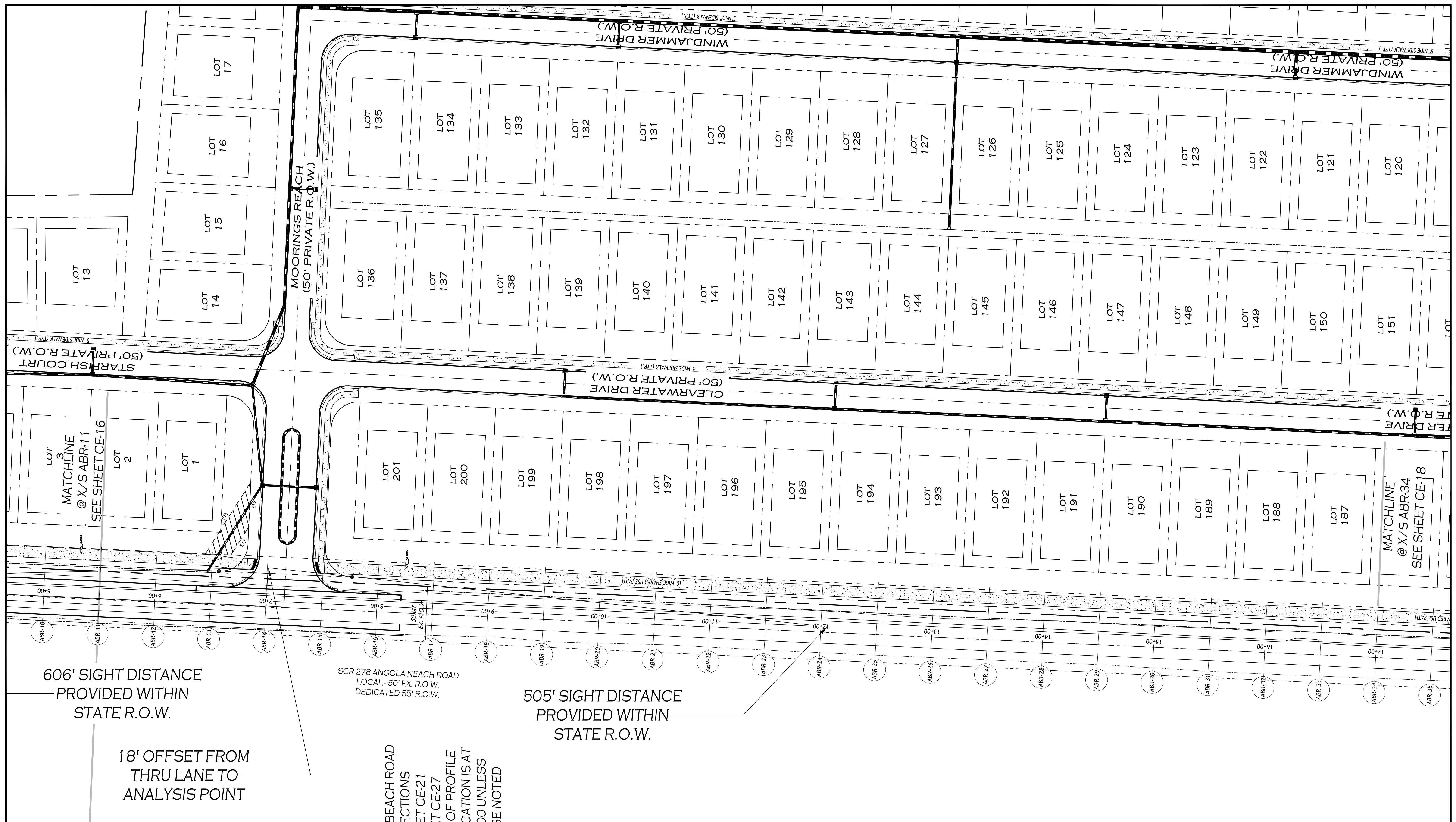


**AXIOM ENGINEERING L.L.C.**  
 18 CHESTNUT STREET  
 GEORGETOWN, DE 19947  
 (302) 855-0810  
 FAX: 855-0812  
 E-MAIL: AXIOM@AXENG.COM  
 WEB: WWW.AXENG.COM

ANGOLA BEACH ROAD CROSS SECTION INDEX  
 S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEPT @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

PROJECT NO:	0233-1702
DRAWING:	CE-16
SHEET:	16 OF 43





606' SIGHT DISTANCE  
PROVIDED WITHIN  
STATE R.O.W.

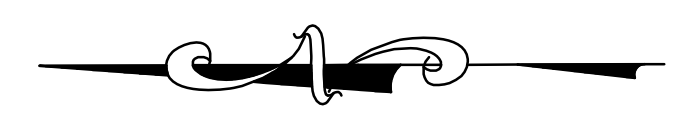
505' SIGHT DISTANCE  
PROVIDED WITHIN  
STATE R.O.W.

18' OFFSET FROM  
THRU LANE TO  
ANALYSIS POINT

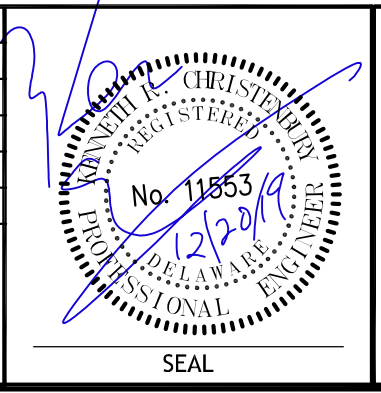
SCR 278 ANGOLA BEACH ROAD  
LOCAL - 50' EX. R.O.W.  
DEDICATED 55' R.O.W.

FOR ANGOLA BEACH ROAD  
CROSS SECTIONS  
SEE SHEET CE-21  
TO SHEET CE-27  
NOTE: POINT OF PROFILE  
GRADE APPLICATION IS AT  
OFFSET 0+00 UNLESS  
OTHERWISE NOTED

REV	DESCRIPTION OF REVISION	REVISION DATE	BY	CHECKED BY	CHECKED DATE



ENGINEER:	KRC
DESIGNER:	KRC
DRAFTER:	EJW
CHECKED BY:	KRC
DATE:	11/15/2019
TAX MAP:	234-12.00-3.00 & 6.00



**AXIOM**  
ENGINEERING L.L.C.

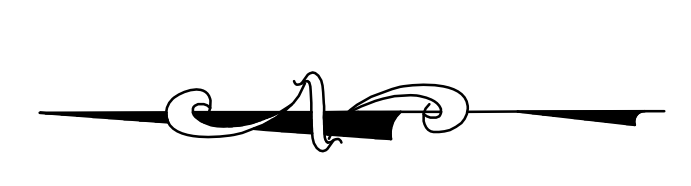
18 CHESTNUT STREET  
GEORGETOWN, DE 19947  
(302) 855-0810  
FAX: 855-0812  
E-MAIL: AXIOM@AXENG.COM  
WEB: WWW.AXENG.COM

ANGOLA BEACH ROAD CROSS SECTION INDEX  
S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEEP @ LEWES**  
RESIDENTIAL PLANNED COMMUNITY  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

PROJECT NO:	0233-1702
DRAWING:	CE-17
SHEET:	17 OF 43



REV	DESCRIPTION OF REVISION	REVISED BY/DATE	CHECKED BY/DATE
1	REVISED PER DELDOT COMMENTS	EJW 12/20/2019	KRC 12/20/2019

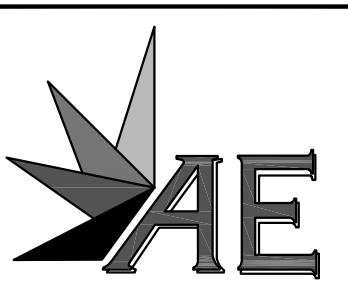
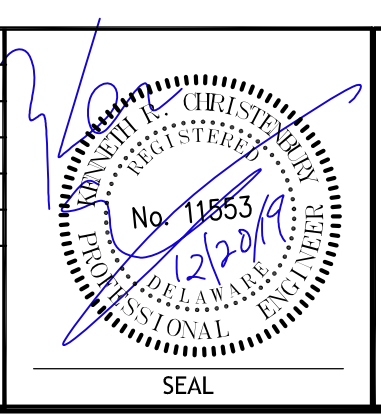
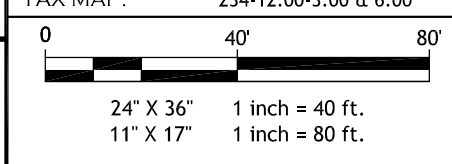


FOR ANGOLA BEACH ROAD  
CROSS SECTIONS  
SEE SHEET CE-27  
TO SHEET CE-32  
NOTE: POINT OF PROFILE  
GRADE APPLICATION IS AT  
OFFSET 0+00 UNLESS  
OTHERWISE NOTED

SCR 278 ANGOLA BEACH ROAD  
LOCAL 50' EX. R.O.W.  
DEDICATED 55' R.O.W.

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF AND APPROPRIATE.

ENGINEER:	KRC
DESIGNER:	KRC
DRAFTER:	EJW
CHECKED BY:	KRC
DATE:	11/15/2019
TAX MAP:	234-12.00-3.00 B. 6.00

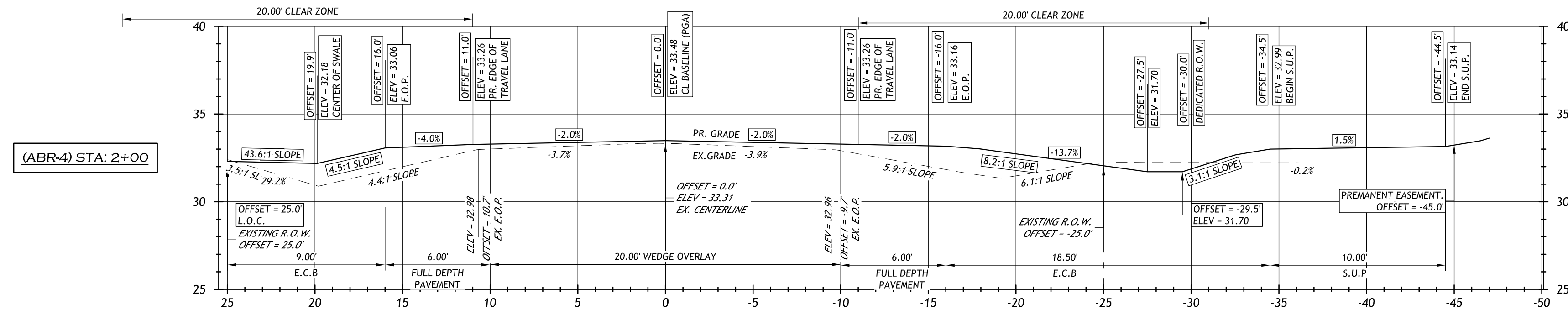
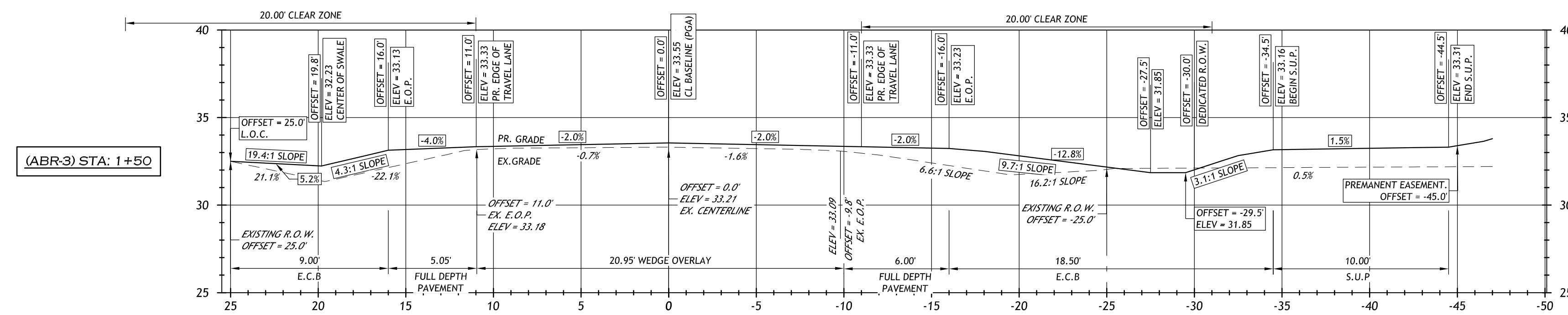
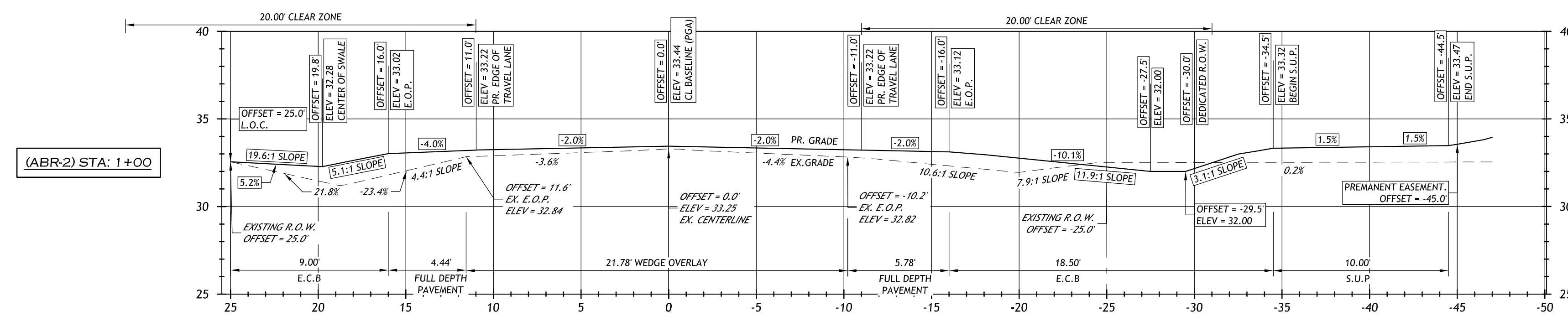
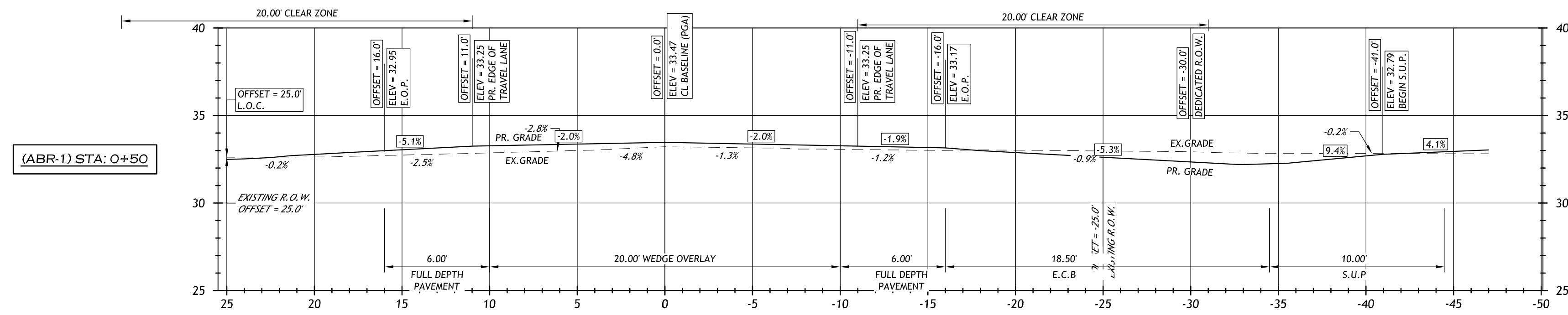


**AXIOM**  
ENGINEERING L.L.C.  
18 CHESTNUT STREET  
GEORGETOWN, DE 19947  
(302) 855-0810  
FAX: 855-0812  
E-MAIL: AXIOM@AXENG.COM  
WEB: WWW.AXENG.COM

ANGOLA BEACH ROAD CROSS SECTION INDEX  
S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEEP @ LEWES**  
RESIDENTIAL PLANNED COMMUNITY  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

PROJECT NO: 0233-1702  
DRAWING: CE-18  
SHEET: 18 OF 43

SHARED USE PATH	OVERLAY	FULL DEPTH	DELDOT CROSS SECTION LEGEND
2"	2" MIN.	2"	A. ITEM 401005 - SUPERPAVE, TYPE C, PG 64-22
-	-	4"	B. ITEM 401014 - SUPERPAVE, TYPE B, PG 64-22
8"	-	8"	C. ITEM 301001 - GRADED AGGREGATE BASE COURSE, TYPE B
			D. ITEM 701021 - INTEGRAL P.C.C. CURB & GUTTER, TYPE 3-4
			E. ITEM 705001 - P.C.C. SIDEWALK, 4"
			F. GROUND COVER CONSISTING OF ONE OF THE FOLLOWING:
			F.A. ITEM 908004 - TOPSOIL, 6" DEPTH
			F.B. ITEM 908010 - TOPSOILING, 6" DEPTH
			F.C. ITEM 908014 - PERMANENT GRASS SEEDING, DRY GRASS
			G. ITEM 908020 - EROSION CONTROL BLANKET MULCH (MIN. WIDTH SHALL BE 6')
			H. CONTRACTOR TO INSTALL SAFETY EDGE WHERE THERE IS NO CURBING



SCALE: 1" = 5" HORIZONTAL AND VERTICAL

PROJECT NO: 0233-1702  
DRAWING: CE-19  
SHEET: 19 OF 43

ENGINEER: MKC  
DESIGNER: MKC  
DRAFTER: EW  
CHECKED BY: MKC  
DATE: 11/10/2019  
TAX MAP: 284-12.003.00 & 6.00

SCALE: 1" = 5' HORIZONTAL AND VERTICAL

11/10/2019  
No. 11853  
ANGOLA BEACH ROAD CROSS SECTIONS

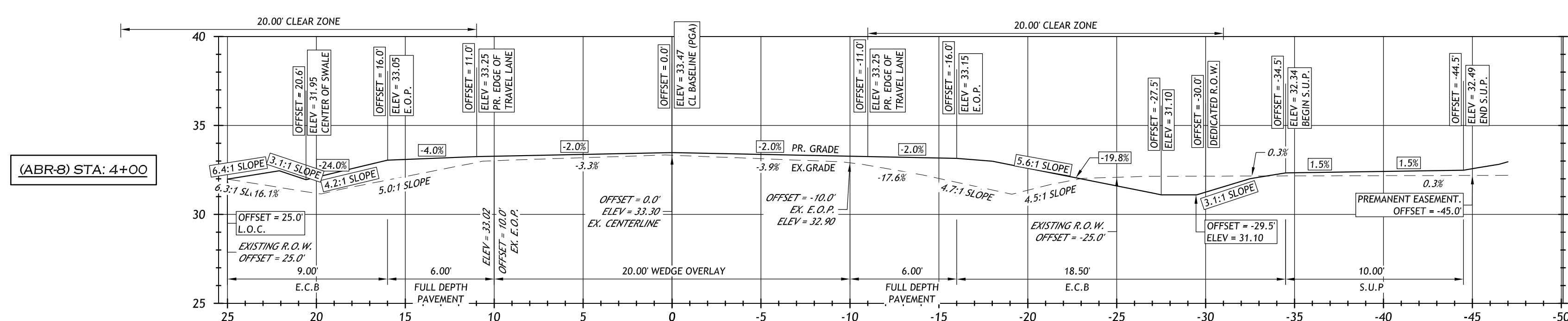
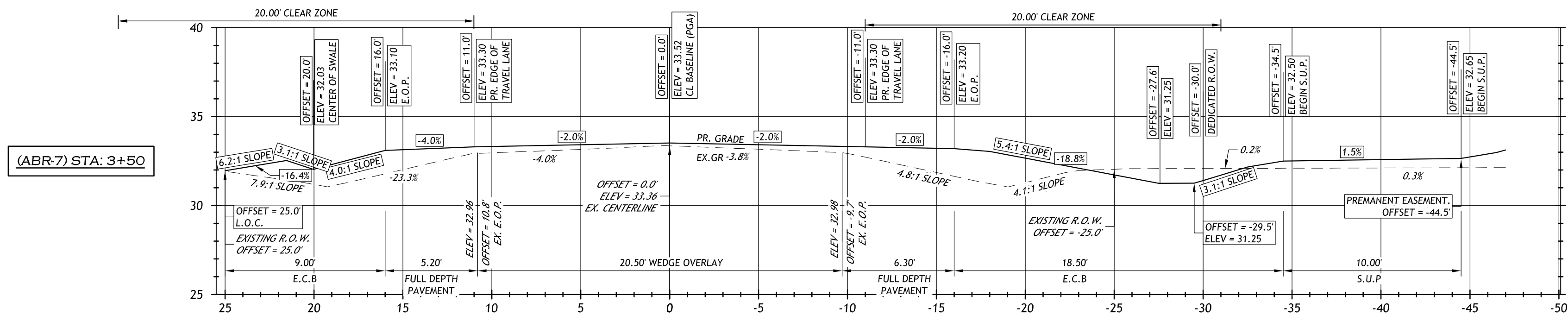
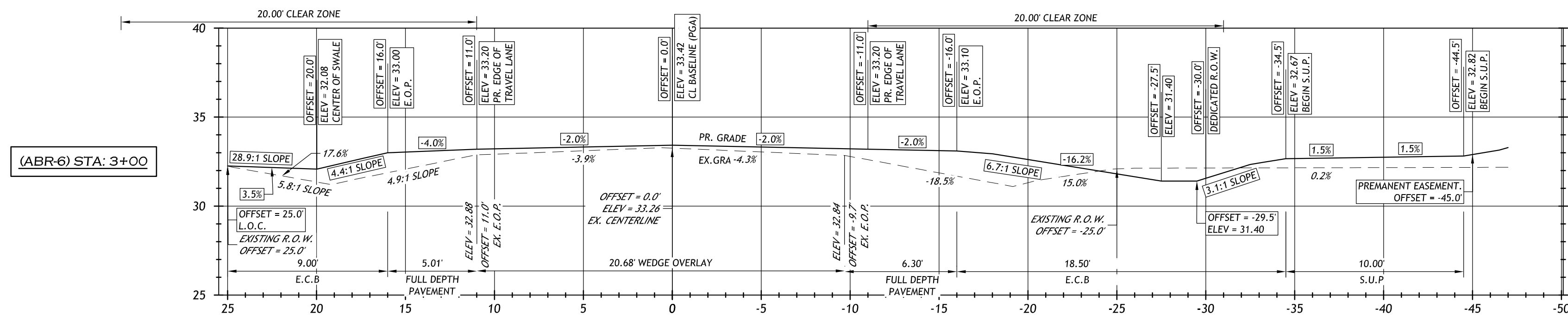
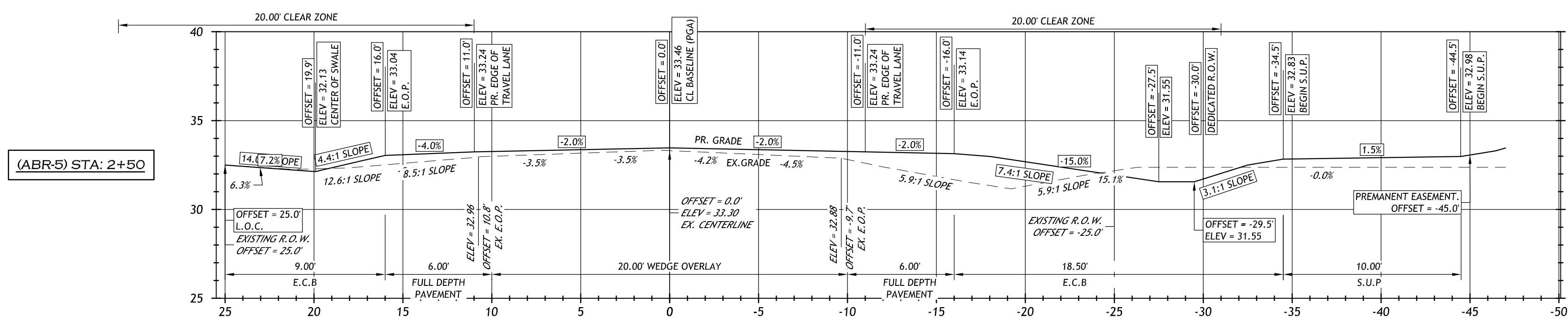
**AE**  
**AXIOM**  
ENGINEERING L.L.C.  
18 CHESTNUT STREET  
SUITE 200 DE 19947  
(302) 855-0812  
FAX: 855-0812  
WWW.AXIOMENR.COM

ANGOLA BEACH ROAD CROSS SECTIONS  
S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEPT @ LEWES**  
RESIDENTIAL PLANNED COMMUNITY  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

REV	DESCRIPTION OF REVISION	DATE
1	ISSUE FOR PERMIT	11/10/2019
2	REVISED PER DELOIT COMMENTS	11/10/2019

THE DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE HEALTH AND SAFETY OF ALL INVOLVED PARTIES IS THE RESPONSIBILITY OF THE CONTRACTOR AND THE USER OF THIS DRAWING.

SHARED USE PATH	OVERLAY	FULL DEPTH	DELDOT CROSS SECTION LEGEND
2"	2" MIN.	2"	A. ITEM 401005 - SUPERPAVE, TYPE C, PG 64-22
-	-	4"	B. ITEM 401014 - SUPERPAVE, TYPE B, PG 64-22
8"	-	8"	C. ITEM 301001 - GRADED AGGREGATE BASE COURSE, TYPE B
			D. ITEM 701021 - INTEGRAL P.C.C. CURB & GUTTER, TYPE 3-4
			E. ITEM 705001 - P.C.C. SIDEWALK, 4"
			F. GROUND COVER CONSISTING OF ONE OF THE FOLLOWING:
			F.A. ITEM 908004 - TOPSOIL, 6" DEPTH
			F.B. ITEM 908010 - TOPSOILING, 6" DEPTH
			F.C. ITEM 908014 - PERMANENT GRASS SEEDING, DRY GRASS
			G. ITEM 908020 - EROSION CONTROL BLANKET MULCH (MIN. WIDTH SHALL BE 6')
			H. CONTRACTOR TO INSTALL SAFETY EDGE WHERE THERE IS NO CURBING



SCALE: 1" = 5' HORIZONTAL AND VERTICAL

ANGOLA BEACH ROAD CROSS SECTIONS  
S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEPT @ LEWES**  
RESIDENTIAL PLANNED COMMUNITY  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**Axiom**  
ENGINEERING L.L.C.  
18 CHESTNUT STREET  
DEWESBORO, DE 19847  
(302) 855-0812  
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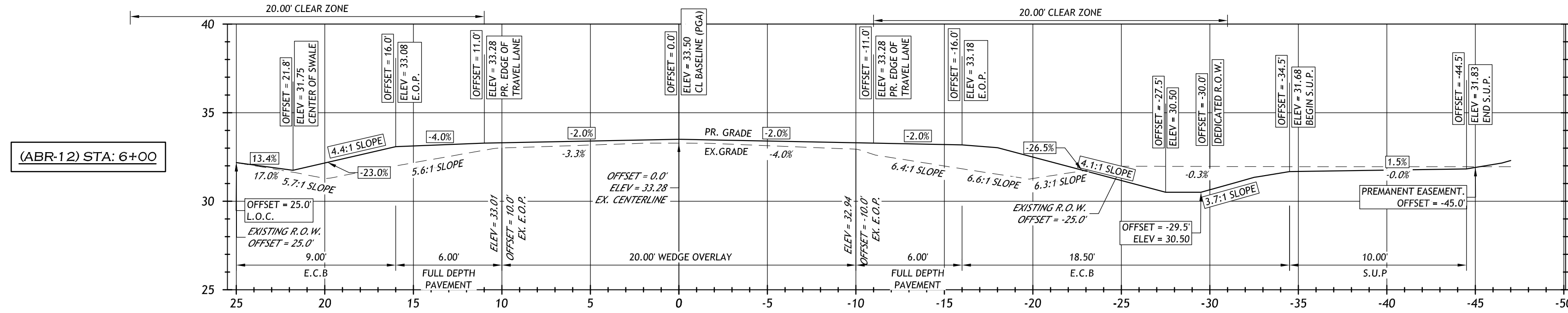
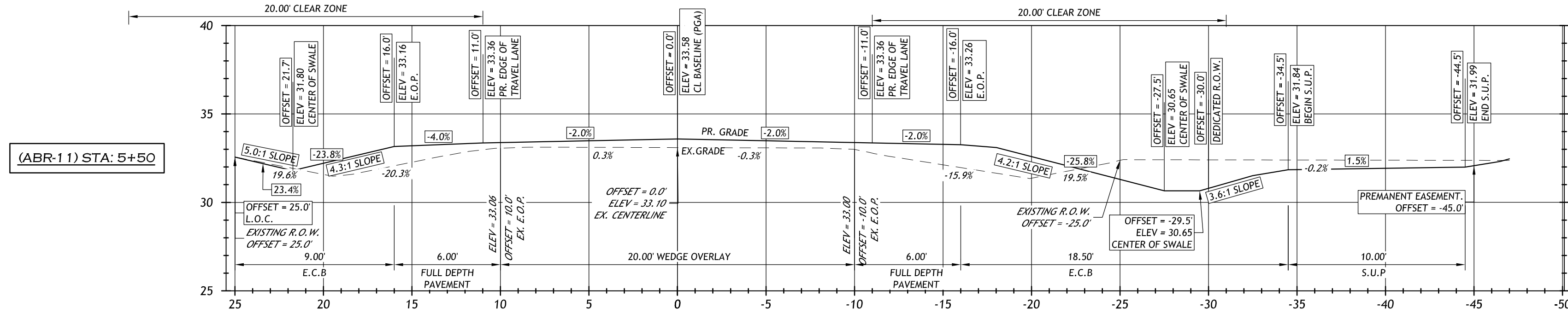
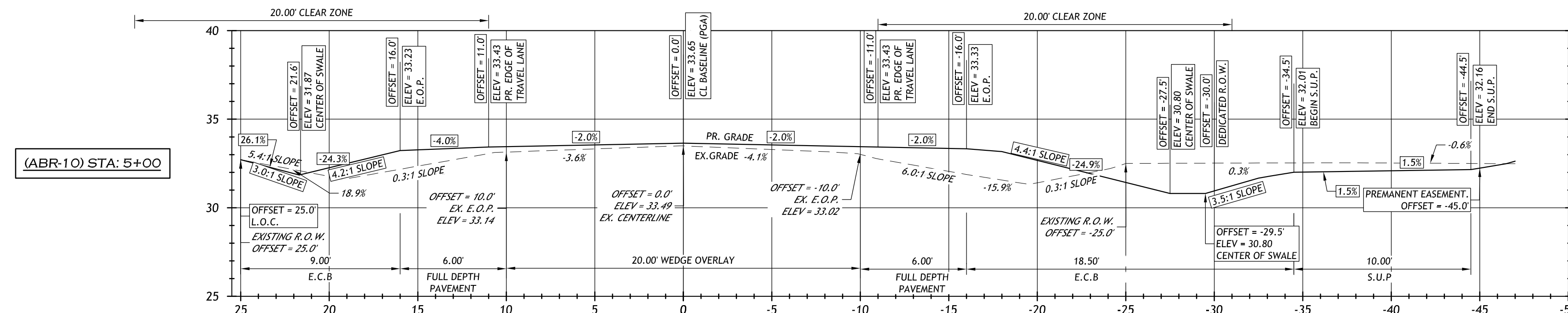
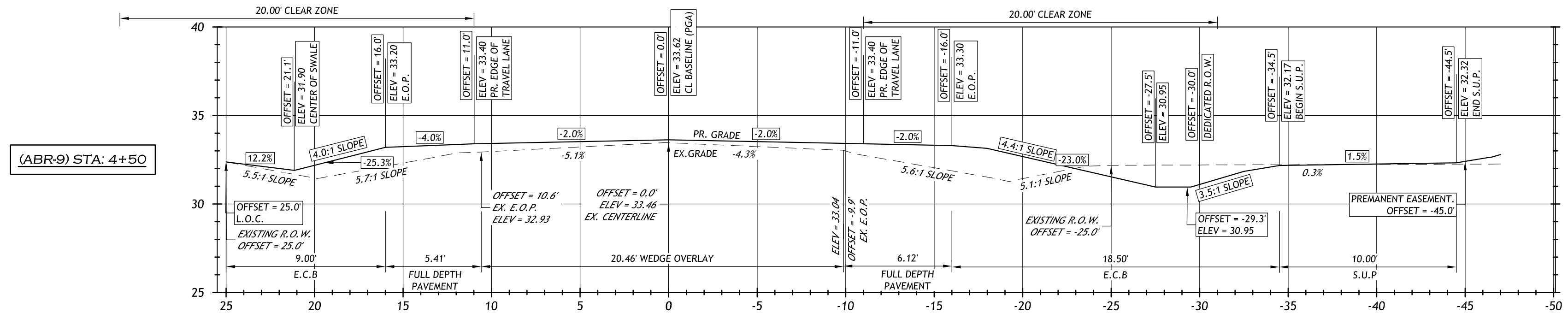
ENGINEER: MKC  
DESIGNER: MKC  
DRAFTER: EW  
CHECKED BY: MKC  
DATE: 11/19/2019  
TAX MAP: 234-12,003,00 & 6,00  
SCALE: 1" = 5' HORIZONTAL AND VERTICAL

PROJECT NO: 0233-1702  
DRAWING: CE-20  
SHEET: 20 OF 43

REVISIONS:  
REV. NO. DESCRIPTION OF REVISION  
1. 11/19/2019  
2. 11/19/2019  
3. 11/19/2019  
4. 11/19/2019  
5. 11/19/2019  
6. 11/19/2019  
7. 11/19/2019  
8. 11/19/2019  
9. 11/19/2019  
10. 11/19/2019

THE DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REGULATIONS THEREOF AND APPROPRIATE HEALTH AND SAFETY REGULATIONS.

SHARED USE PATH	OVERLAY	FULL DEPTH	DELDOT CROSS SECTION LEGEND
2"	2" MIN.	2"	A. ITEM 401005 - SUPERPAVE, TYPE C, PG 64-22
-	-	4"	B. ITEM 401014 - SUPERPAVE, TYPE B, PG 64-22
8"	8"	8"	C. ITEM 301001 - GRADED AGGREGATE BASE COURSE, TYPE B
			D. ITEM 701021 - INTEGRAL P.C.C. CURB & GUTTER, TYPE 3-4
			E. ITEM 705001 - P.C.C. SIDEWALK, 4"
			F. GROUND COVER CONSISTING OF ONE OF THE FOLLOWING: F.A. ITEM 908004 - TOPSOIL, 6" DEPTH F.B. ITEM 908010 - TOPSOIL, 6" DEPTH F.C. ITEM 908014 - PERMANENT GRASS SEEDING, DRY GRASS G. ITEM 908020 - EROSION CONTROL BLANKET MULCH (MIN. WIDTH SHALL BE 6')
			H. CONTRACTOR TO INSTALL SAFETY EDGE WHERE THERE IS NO CURBING

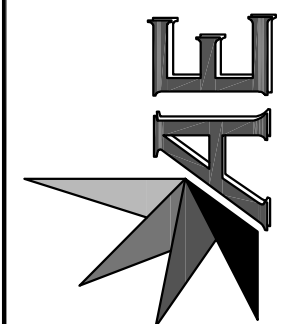


SCALE: 1" = 5' HORIZONTAL AND VERTICAL

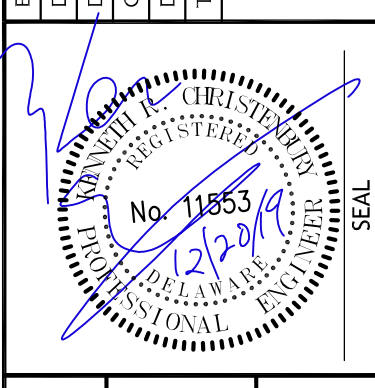
REV	DESCRIPTION OF REVISION	DATE
1	ISSUED FOR PERMIT	11/12/2019
2	REVISED PER DELDOT COMMENTS	12/22/2019

ANGOLA BEACH ROAD CROSS SECTIONS  
 S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEPT @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM**  
 ENGINEERING L.L.C.  
 18 CHESTNUT STREET  
 SUITE 200 DE 19947  
 (302) 855-0812  
 FAX: 855-0812  
 WWW.AXIOMENR.COM

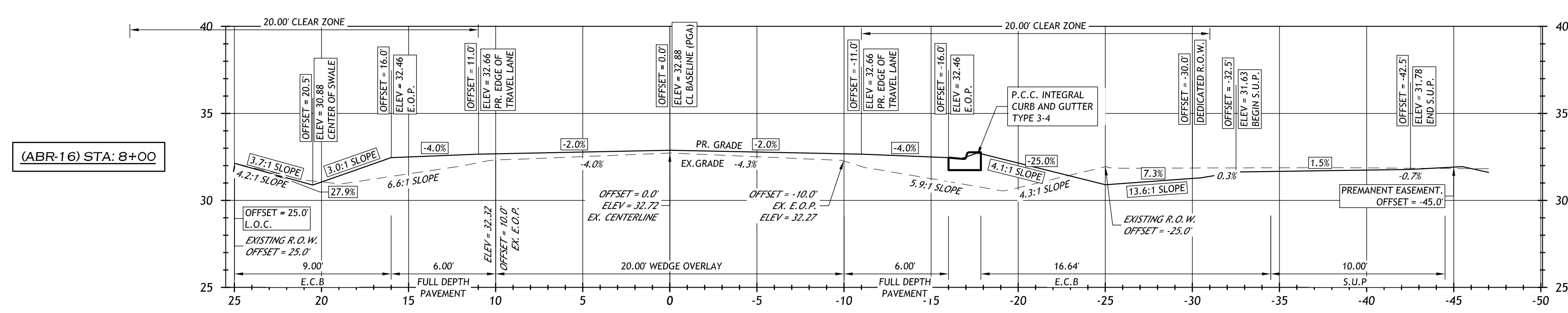
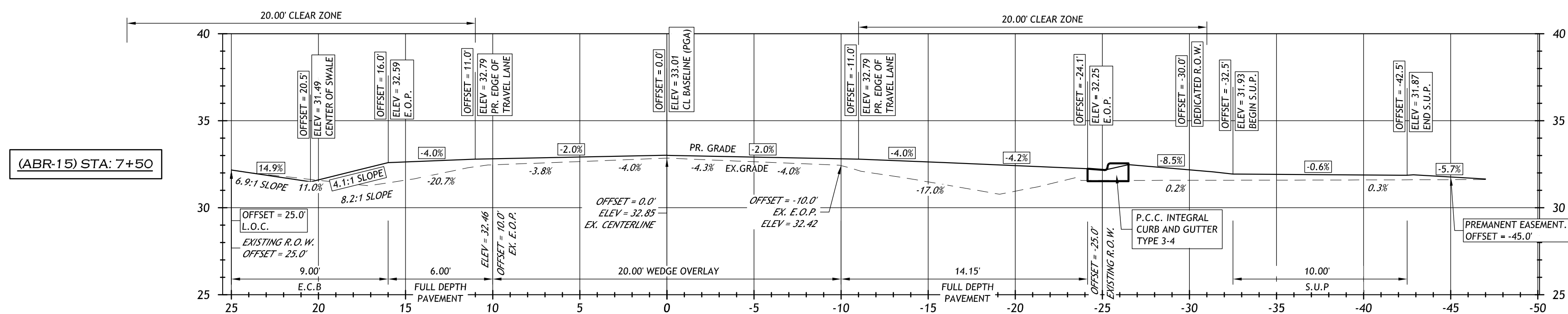
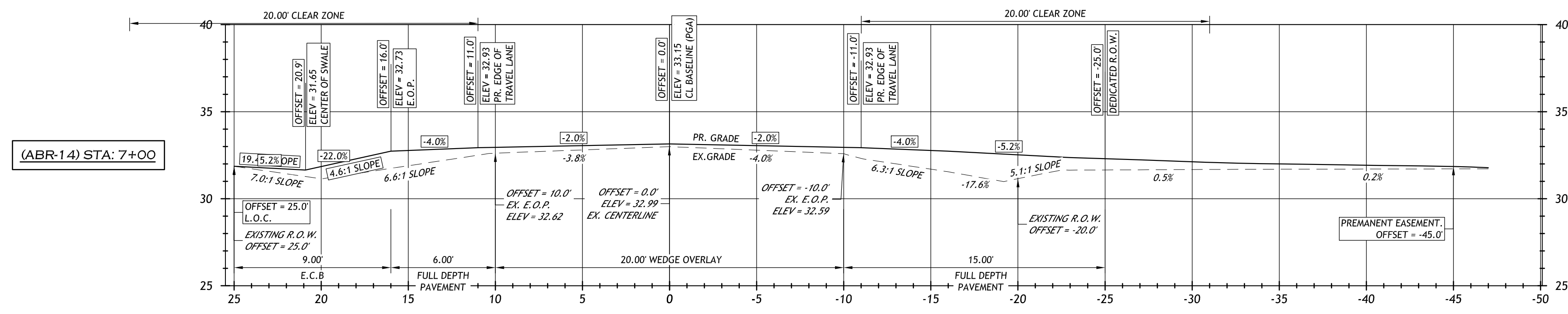
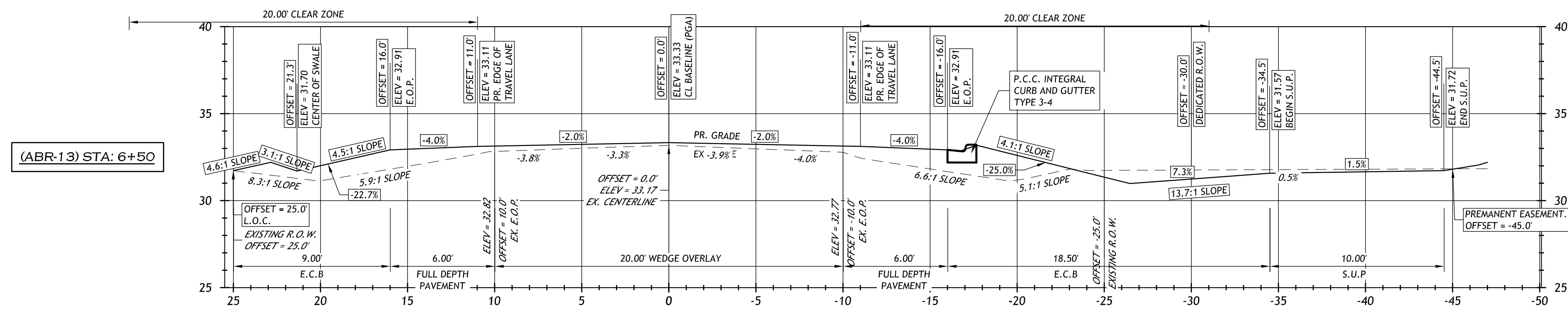


ENGINEER:	MKC
DESIGNER:	MKC
DRAWN BY:	EW
CHECKED BY:	MKC
DATE:	11/12/2019
TAX MAP:	284-12,003,00 & 6,00



PROJECT NO: 0233-1702  
 DRAWING: CE-21  
 SHEET: 21 OF 43

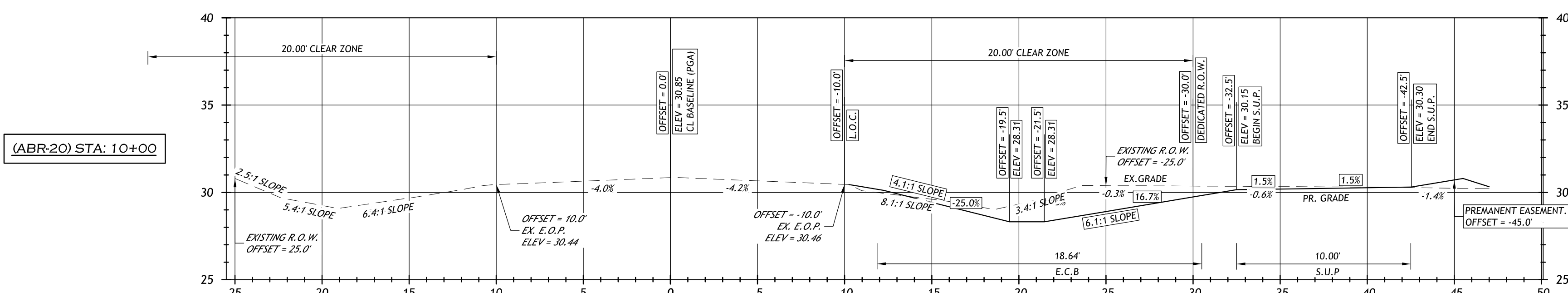
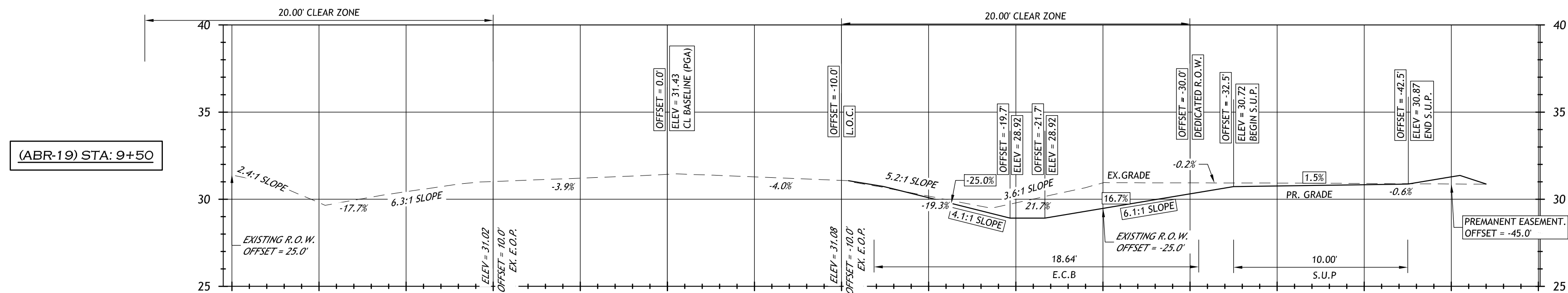
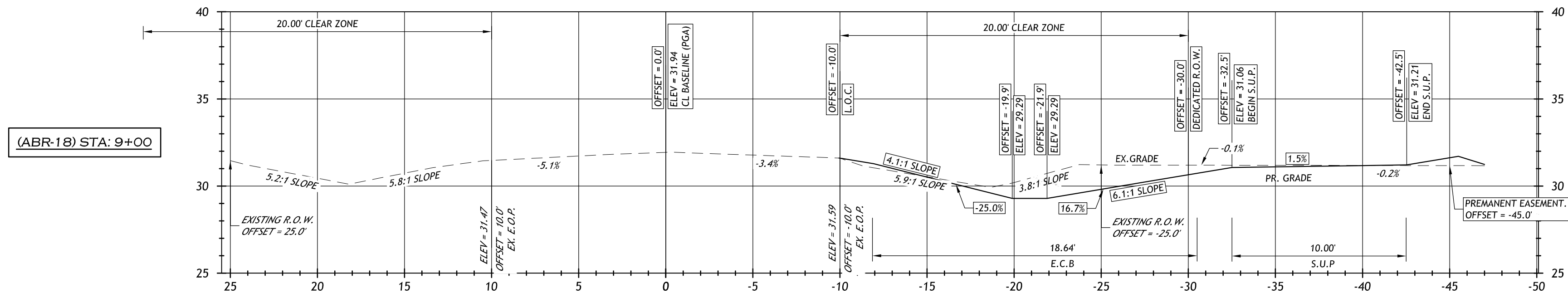
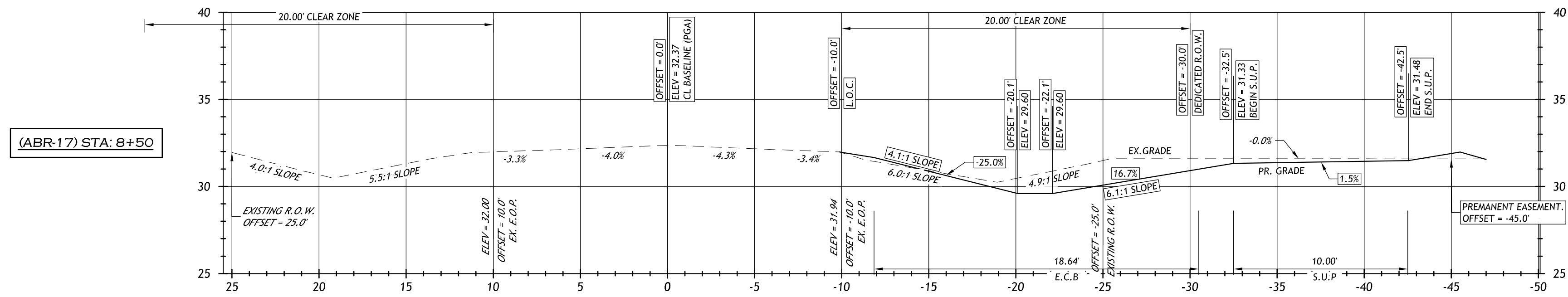
SHARED USE PATH	OVERLAY	FULL DEPTH	DELDOT CROSS SECTION LEGEND
2"	2" MIN.	2"	A. ITEM 401005 - SUPERPAVE, TYPE C, PG 64-22
-	-	4"	B. ITEM 401014 - SUPERPAVE, TYPE B, PG 64-22
8"	8"	8"	C. ITEM 301001 - GRADED AGGREGATE BASE COURSE, TYPE B
			D. ITEM 701021 - INTEGRAL P.C.C. CURB & GUTTER, TYPE 3-4
			E. ITEM 705001 - P.C.C. SIDEWALK, 4"
			F. GROUND COVER CONSISTING OF ONE OF THE FOLLOWING:
			F.A. ITEM 908004 - TOPSOIL, 6" DEPTH
			F.B. ITEM 908010 - TOPSOILING, 6" DEPTH
			F.C. ITEM 908014 - PERMANENT GRASS SEEDING, DRY GRASS
			F.D. ITEM 908020 - EROSION CONTROL BLANKET MULCH (MIN. WIDTH SHALL BE 6')
			H. CONTRACTOR TO INSTALL SAFETY EDGE WHERE THERE IS NO CURBING



SCALE: 1" = 5" HORIZONTAL AND VERTICAL

<p>PROJECT NO: 0233-1702</p> <p>DRAWING: CE-22</p> <p>SHEET: 22 OF 43</p>		<p>ENGINEER: MKC</p> <p>DESIGNER: MKC</p> <p>DRAFTER: EW</p> <p>CHECKED BY: MKC</p> <p>DATE: 11/12/2019</p> <p>TAX MAP: 234-12.003.00 &amp; 6.00</p>		<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>REV</th> <th>DESCRIPTION OF REVISION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>REVISED PER DELOIT COMMENTS</td> </tr> </tbody> </table> <p>THE DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE HEALTH ACT OF 1998 AND ALL RULES AND REGULATIONS THERE TO AND APPROPRIATE.</p>		REV	DESCRIPTION OF REVISION	1	REVISED PER DELOIT COMMENTS
REV	DESCRIPTION OF REVISION								
1	REVISED PER DELOIT COMMENTS								
<p>ANGOLA BEACH ROAD CROSS SECTIONS</p> <p>S.C.R. 278 - ANGOLA BEACH ROAD</p> <p><b>WINDSWEPT @ LEWES</b></p> <p>RESIDENTIAL PLANNED COMMUNITY</p> <p>INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE</p>									
<p><b>Axiom</b> ENGINEERING L.L.C.</p> <p>18 CHESTNUT STREET, SUITE 200 DE 19947</p> <p>(302) 855-0812</p> <p>FAX: 855-0812</p> <p>WWW.AXIOMENGINEERING.COM</p>									

SHARED USE PATH	OVERLAY	FULL DEPTH	DELDOT CROSS SECTION LEGEND
2"	2" MIN.	2"	A. ITEM 401005 - SUPERPAVE, TYPE C, PG 64-22
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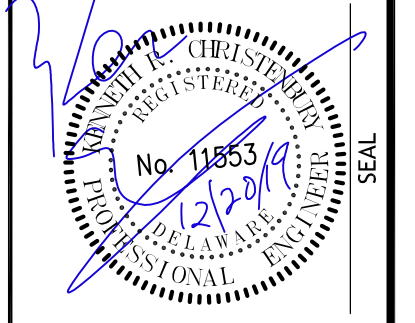
SCALE: 1" = 5" HORIZONTAL AND VERTICAL

REV	DESCRIPTION OF REVISION	DATE
1	ISSUE FOR PERMIT	12/20/2019
2	REVISED PER DELDOT COMMENTS	12/20/2019

ANGOLA BEACH ROAD CROSS SECTIONS  
 S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEPT @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

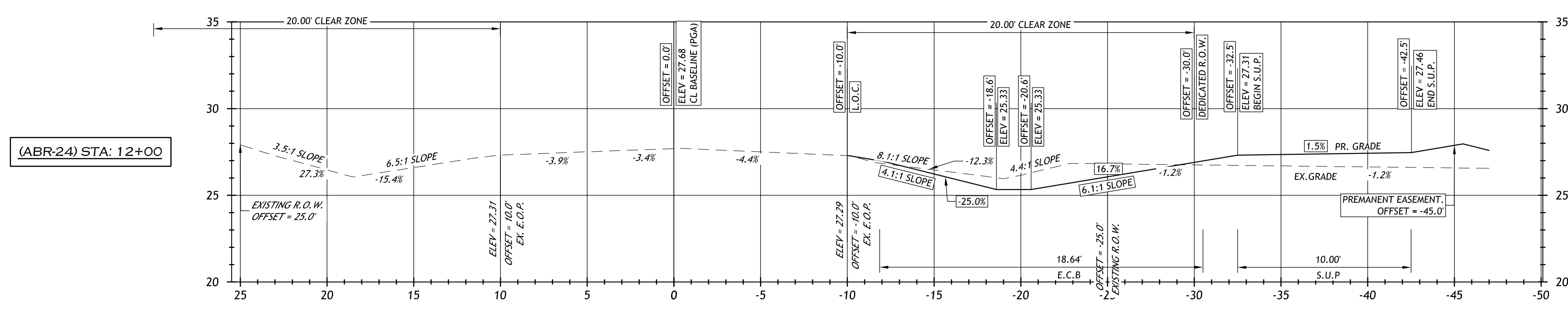
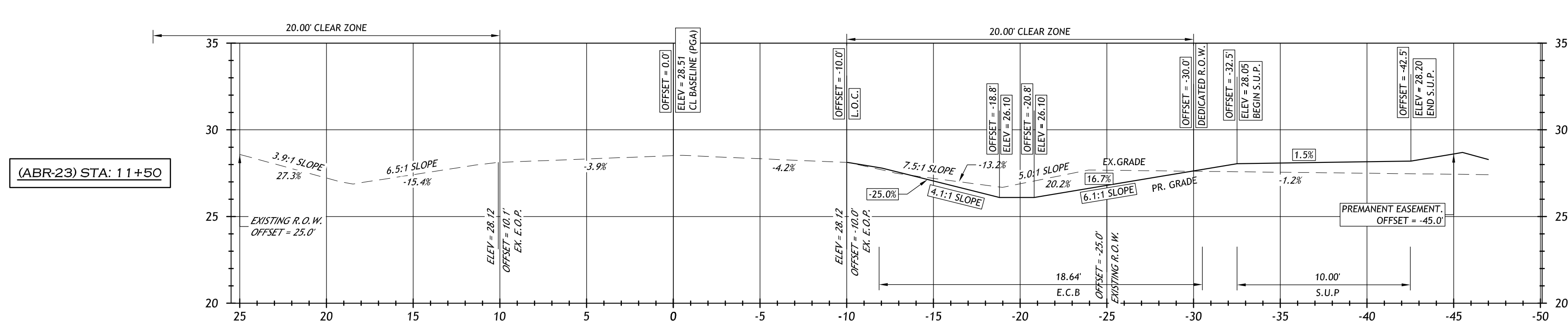
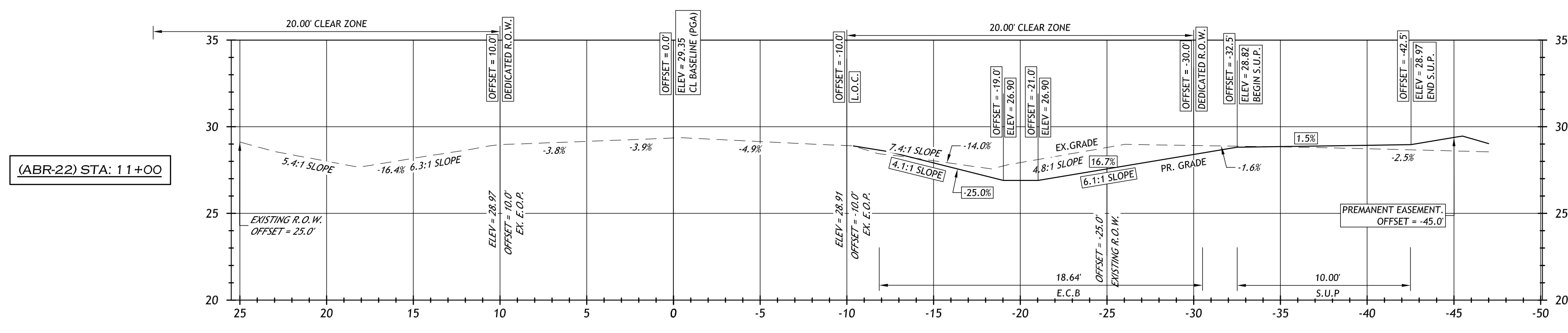
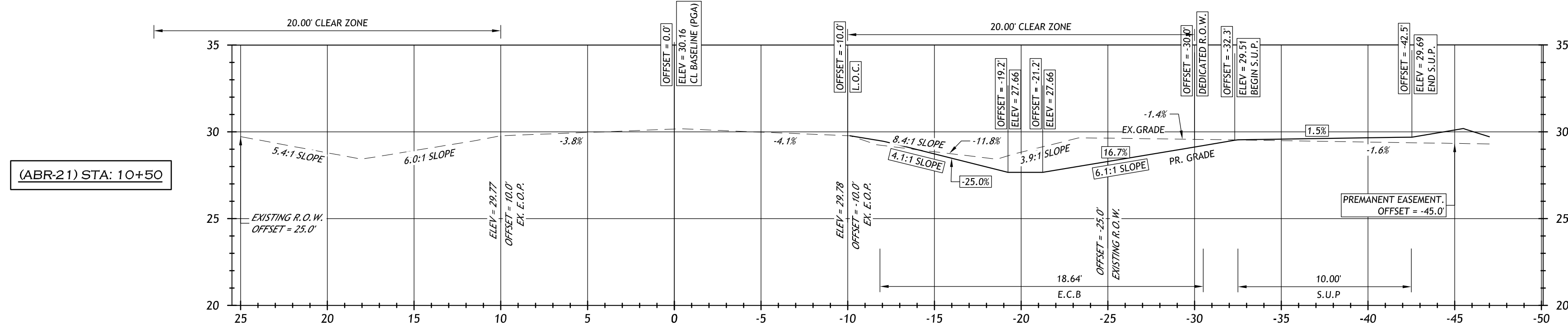
**Axiom Engineering L.L.C.**  
 18 CHESTNUT STREET  
 SUITE 200 DE 19947  
 (302) 855-0812  
 (302) 855-0812  
 WWW.AXIOMENGS.COM

ENGINEER:	MKC
DESIGNER:	MKC
DRAFTER:	EW
CHECKED BY:	MKC
DATE:	11/19/2019
TAX MAP:	28412.003.00 & 6.00



PROJECT NO: 0233-1702  
 DRAWING: CE-23  
 SHEET: 23 OF 43

SHARED USE PATH	OVERLAY	FULL DEPTH	DELDOT CROSS SECTION LEGEND
2"	2" MIN.	2"	A. ITEM 401005 - SUPERPAVE, TYPE C, PG 64-22
-	-	4"	B. ITEM 401014 - SUPERPAVE, TYPE B, PG 64-22
8"	-	8"	C. ITEM 301001 - GRADED AGGREGATE BASE COURSE, TYPE B
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			F.C. ITEM 908014 - PERMANENT GRASS SEEDING, DRY GRASS
			G. ITEM 908020 - EROSION CONTROL BLANKET MULCH (MIN. WIDTH SHALL BE 6')
			H. CONTRACTOR TO INSTALL SAFETY EDGE WHERE THERE IS NO CURBING



SCALE: 1" = 5" HORIZONTAL AND VERTICAL

PROJECT NO: 0233-1702  
DRAWING: CE-24  
SHEET: 24 OF 43

ENGINEER: MKC  
DESIGNER: MKC  
DRAFTER: EW  
CHECKED BY: MKC  
DATE: 11/19/2019  
TAX MAP: 234-12,003,00 & 6,00

SCALE: 1" = 5' HORIZONTAL  
1" = 10' VERTICAL

Professional Engineer Seal: No. 11853, State of Delaware, License No. 21209

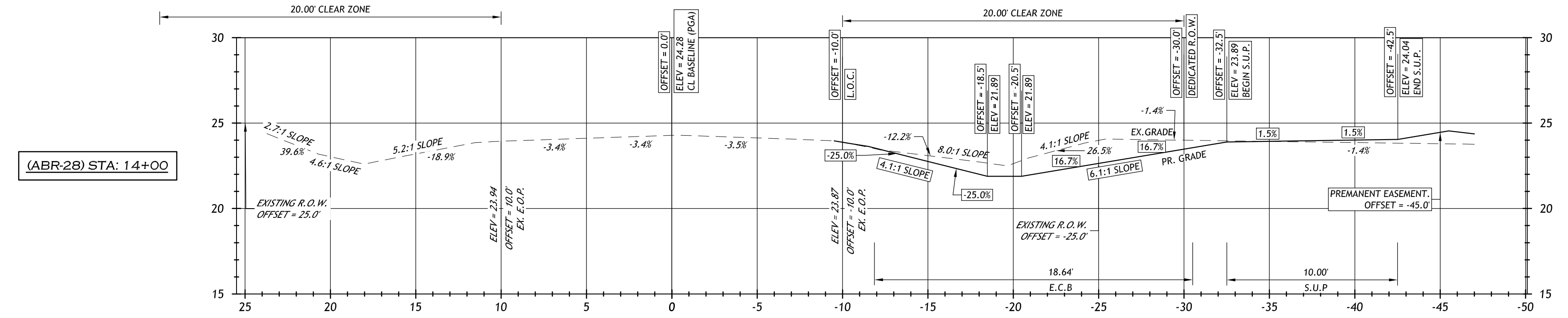
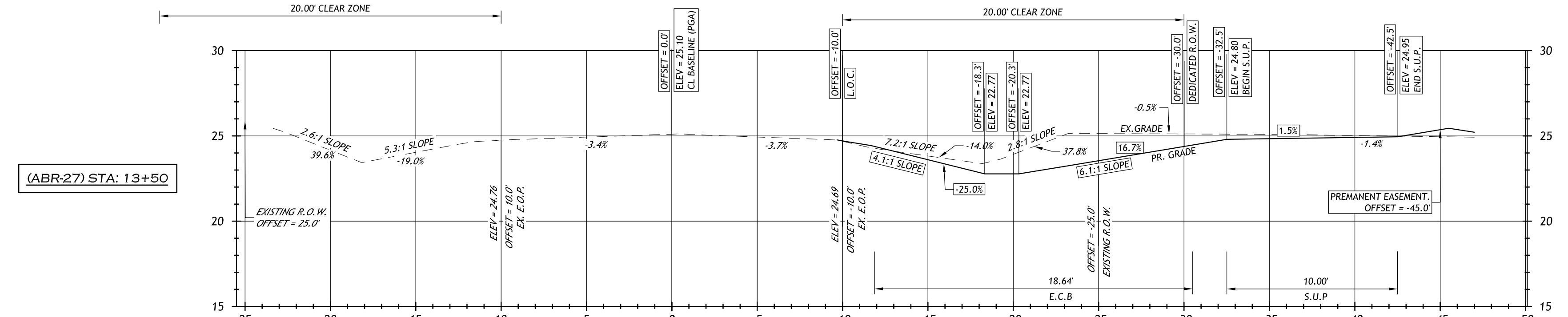
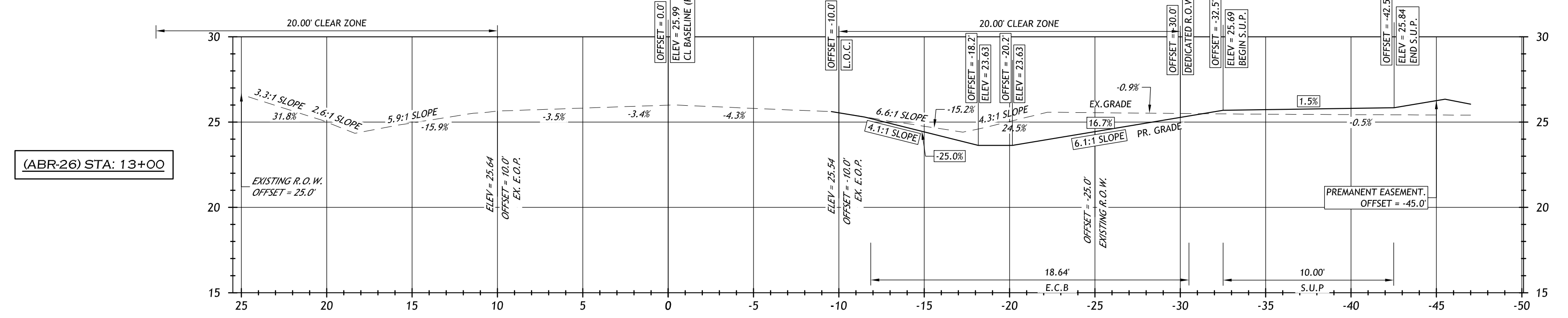
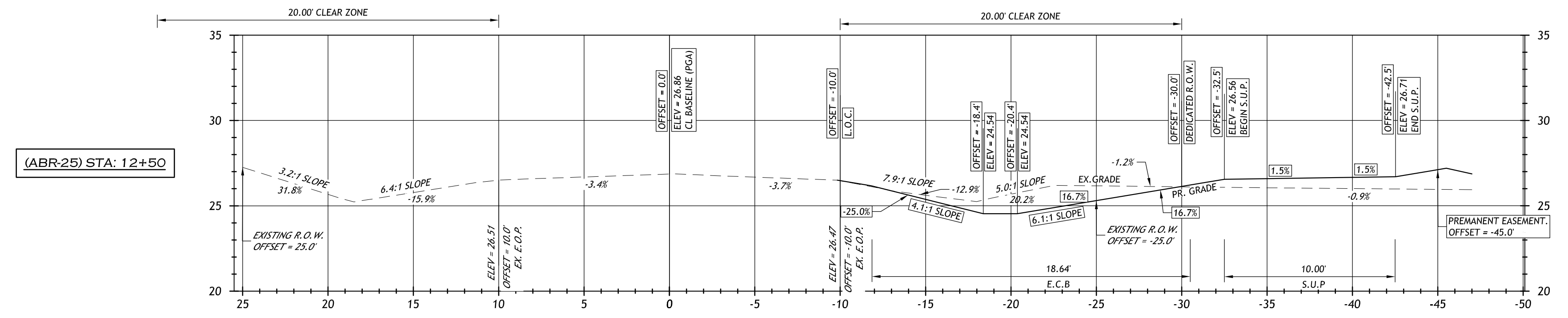
**AXIOM ENGINEERING L.L.C.**  
18 CHESTNUT STREET  
SUITE 200 DE 19947  
(302) 855-0810  
FAX: 855-0812  
WWW.AXIOMENGS.COM

ANGOLA BEACH ROAD CROSS SECTIONS  
S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEEP @ LEWES**  
RESIDENTIAL PLANNED COMMUNITY  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

REV	DESCRIPTION OF REVISION	DATE
1	REVISED PER DELDOT COMMENTS	11/19/2019
2		11/19/2019
3		11/19/2019

THE DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REGULATIONS, STREETS AND APPROPRIATE HEALTH ACT OF 1991 AND ALL RULES AND REGULATIONS THERE TO AND APPROPRIATE.





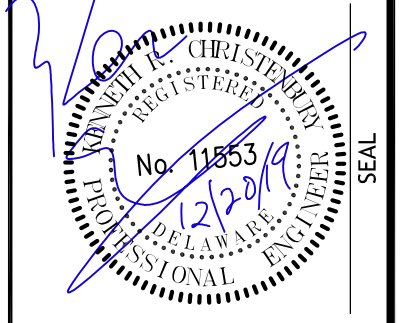
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REV	DESCRIPTION OF REVISION	DATE	BY
1	REVISED PER DELOIT COMMENTS	11/19/2019	MKC
2		12/20/2019	EW
3		12/20/2019	MKC

ANGOLA BEACH ROAD CROSS SECTIONS  
 S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEPT @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

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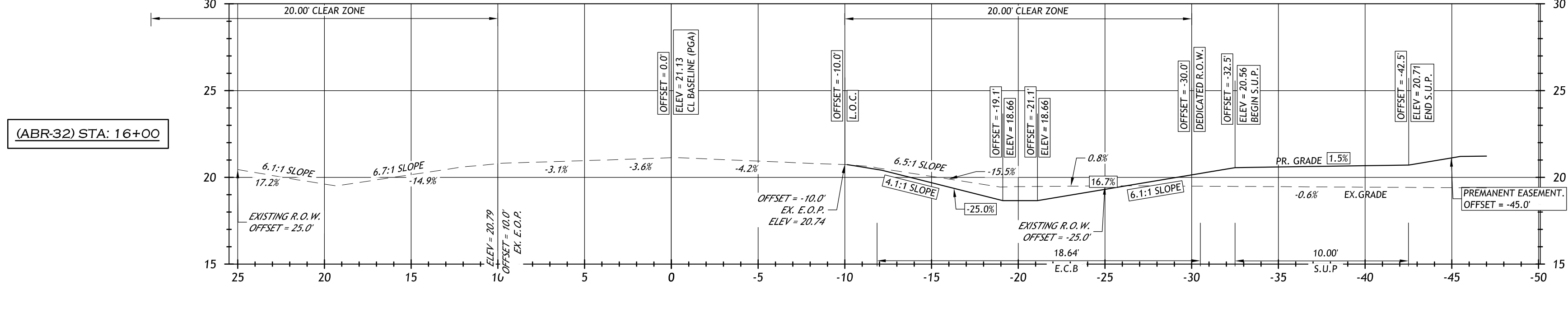
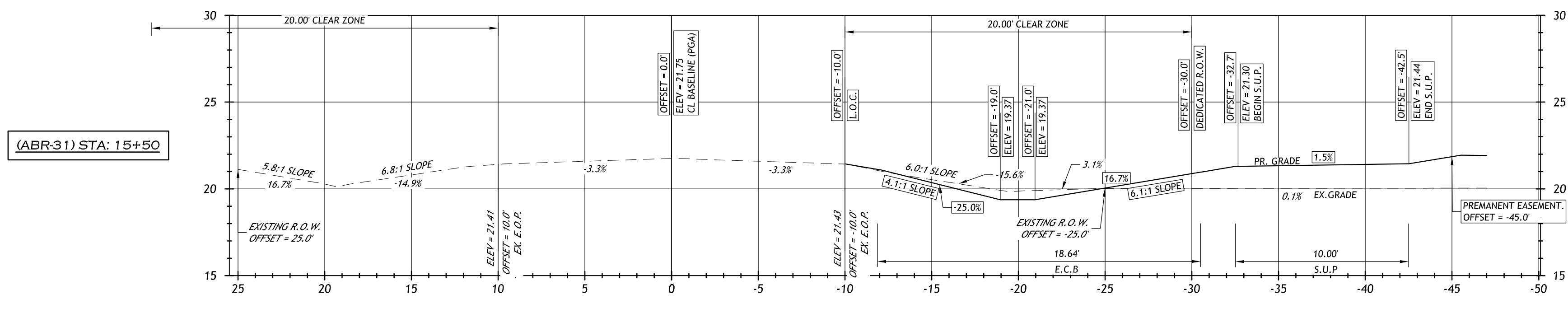
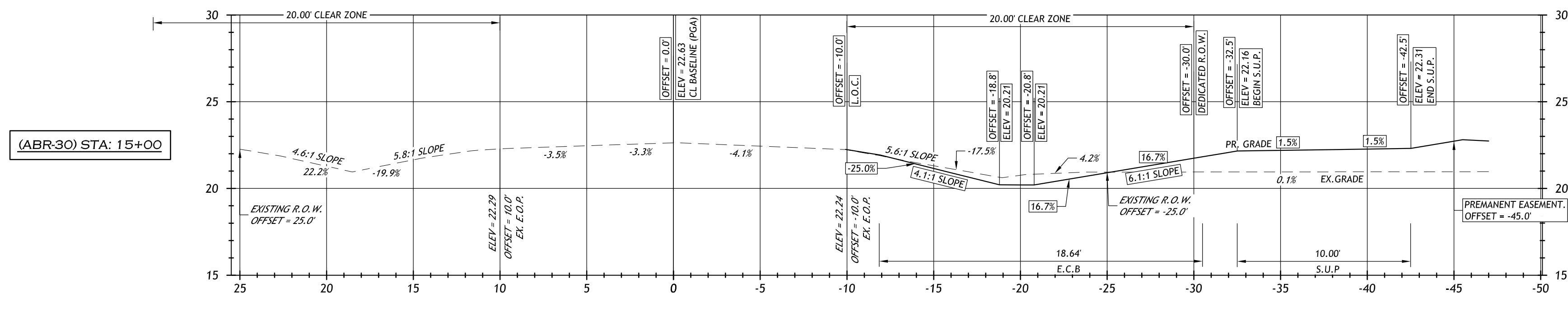
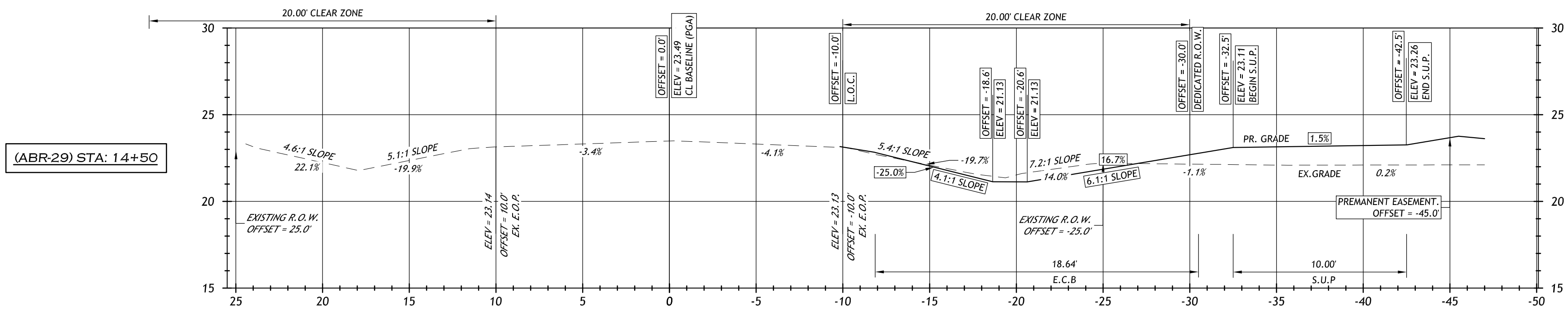
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DESIGNER:	EW
DRAWN BY:	MKC
CHECKED BY:	MKC
DATE:	11/19/2019
TAX MAP:	234-12,003,00 & 6,00



PROJECT NO: 0233-1702  
 DRAWING: CE-25  
 SHEET: 25 OF 43

SCALE: 1" = 5' HORIZONTAL AND VERTICAL

SHARED USE PATH	OVERLAY	FULL DEPTH	DELDOT CROSS SECTION LEGEND
2"	2" MIN.	2"	A. ITEM 401005 - SUPERPAVE, TYPE C, PG 64-22
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			H. CONTRACTOR TO INSTALL SAFETY EDGE WHERE THERE IS NO CURBING



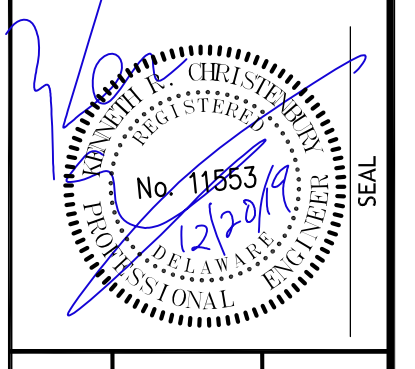
SCALE: 1" = 5' HORIZONTAL AND VERTICAL

REV	DESCRIPTION OF REVISION	DATE
1	ISSUED FOR PERMIT	11/19/2019
2	REVISED PER DELOIT COMMENTS	12/20/2019
3	REVISED PER DELOIT COMMENTS	12/20/2019
4	REVISED PER DELOIT COMMENTS	12/20/2019
5	REVISED PER DELOIT COMMENTS	12/20/2019

ANGOLA BEACH ROAD CROSS SECTIONS  
 S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEPT @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

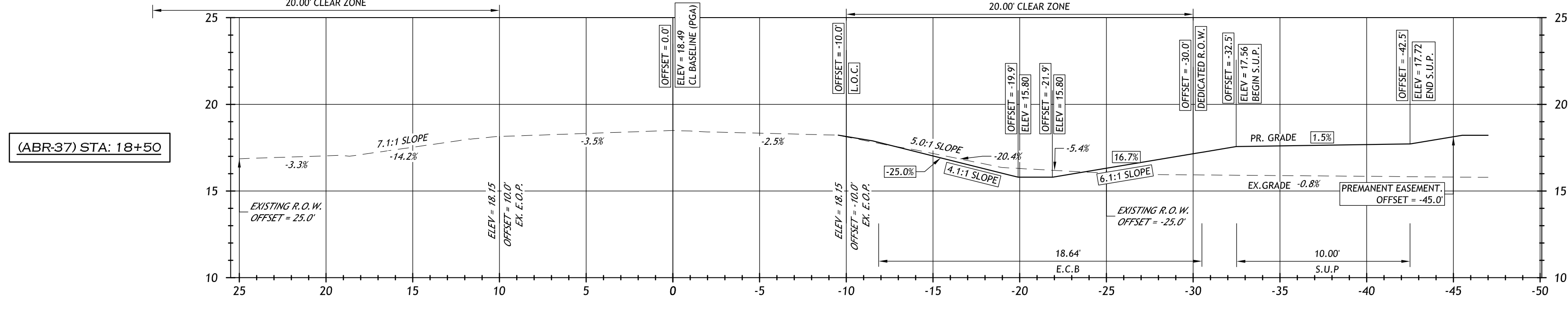
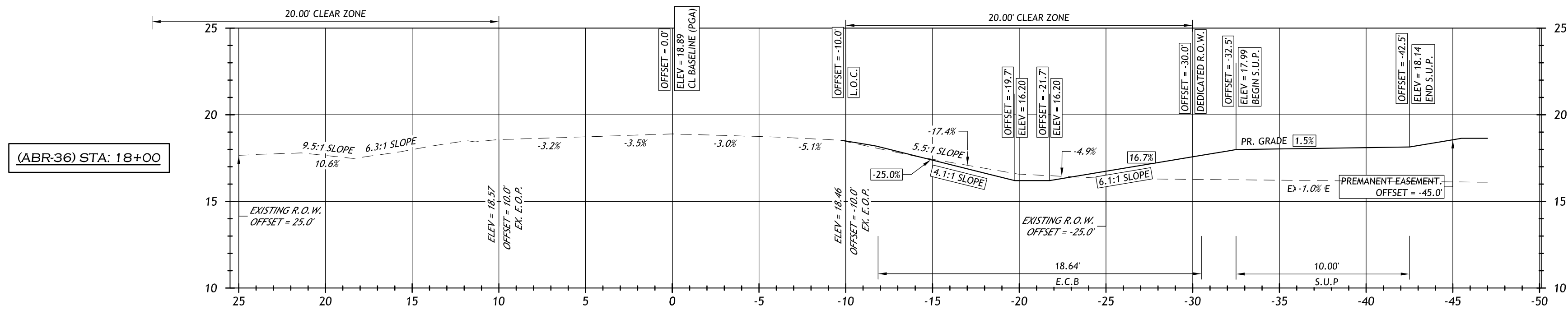
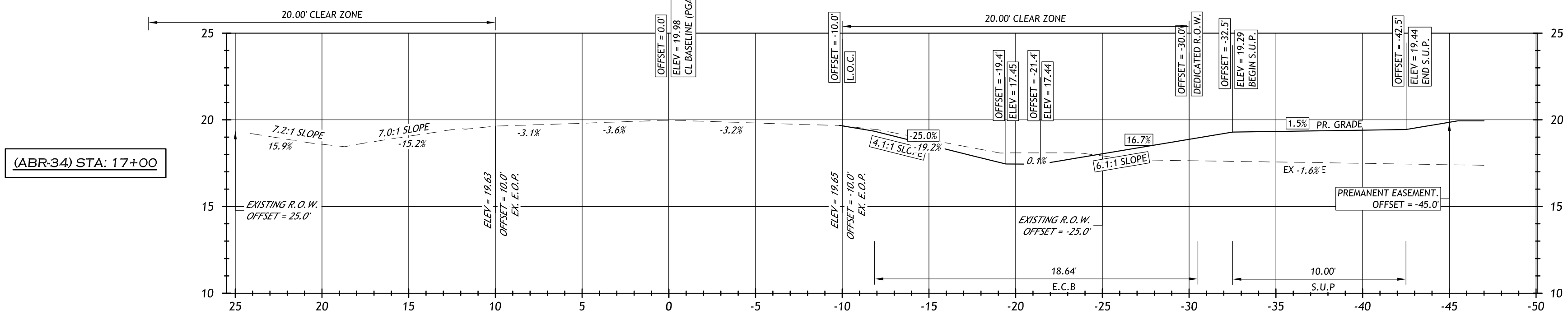
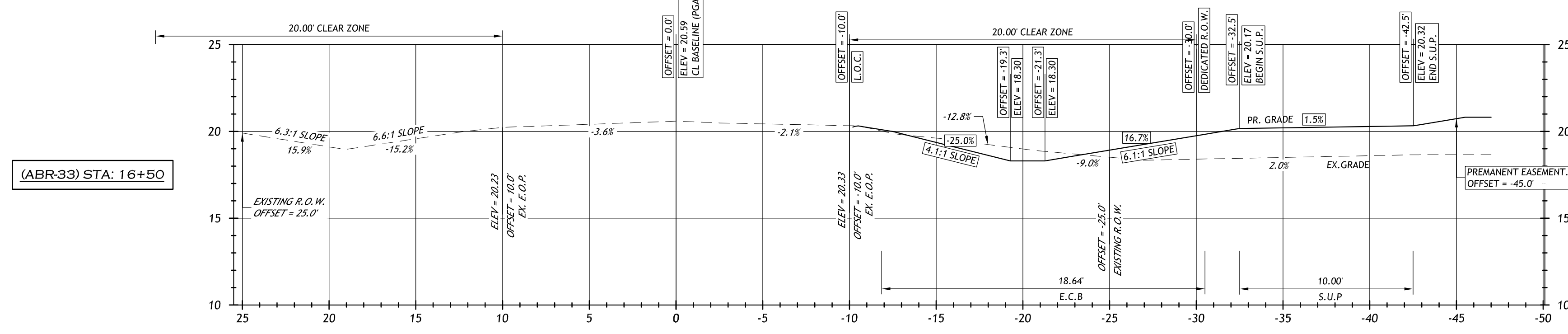
**Axiom Engineering L.L.C.**  
 18 CHESTNUT STREET  
 SUITE 200 DE 19947  
 (302) 855-0812  
 (302) 855-0812  
 WWW.AXIOMENGS.COM

ENGINEER: MKC  
 DESIGNER: MKC  
 DRAFTER: EW  
 CHECKED BY: MKC  
 DATE: 11/19/2019  
 TAX MAP: 28412.003.00 & 6.00  
 SCALE: 1" = 5'  
 1" = 10'



PROJECT NO: 0233-1702  
 DRAWING: CE-26  
 SHEET: 26 OF 43

SHARED USE PATH	OVERLAY	FULL DEPTH	DELDOT CROSS SECTION LEGEND
2"	2" MIN.	2"	A. ITEM 401005 - SUPERPAVE, TYPE C, PG 64-22
-	-	4"	B. ITEM 401014 - SUPERPAVE, TYPE B, PG 64-22
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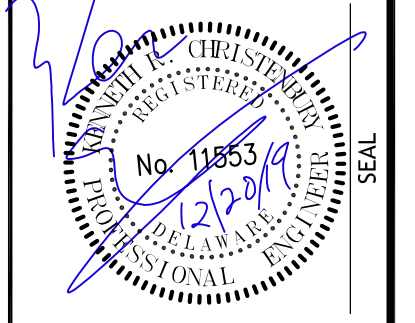
SCALE: 1" = 5' HORIZONTAL AND VERTICAL

REV	DESCRIPTION OF REVISION	DATE	BY	CHK
1	ISSUE FOR PERMIT	12/20/2019	JK	JK
2	REVISED PER DELDOT COMMENTS	12/20/2019	JK	JK

ANGOLA BEACH ROAD CROSS SECTIONS  
 S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEPT @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

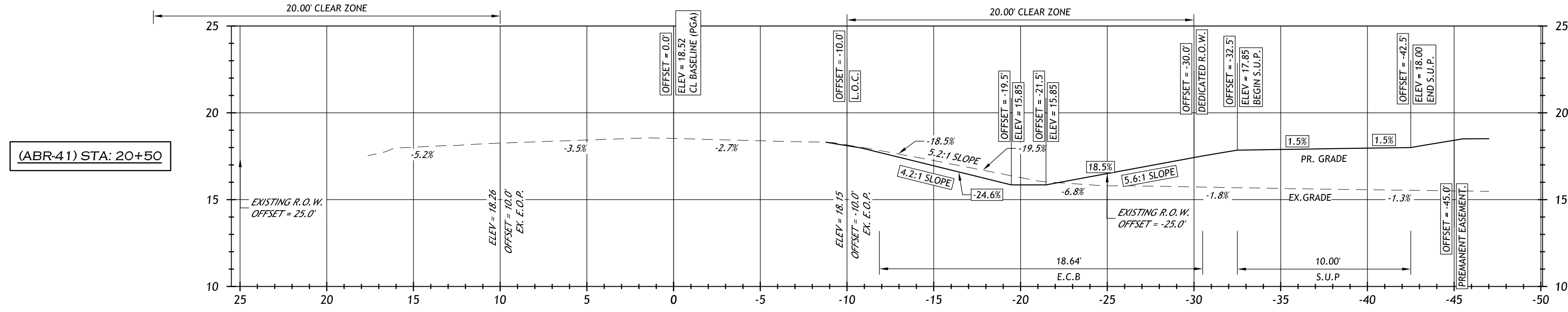
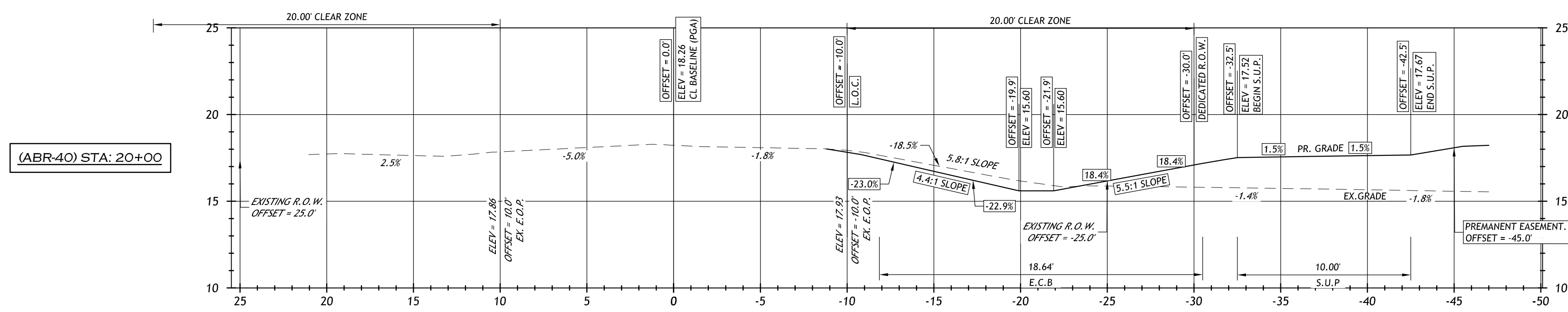
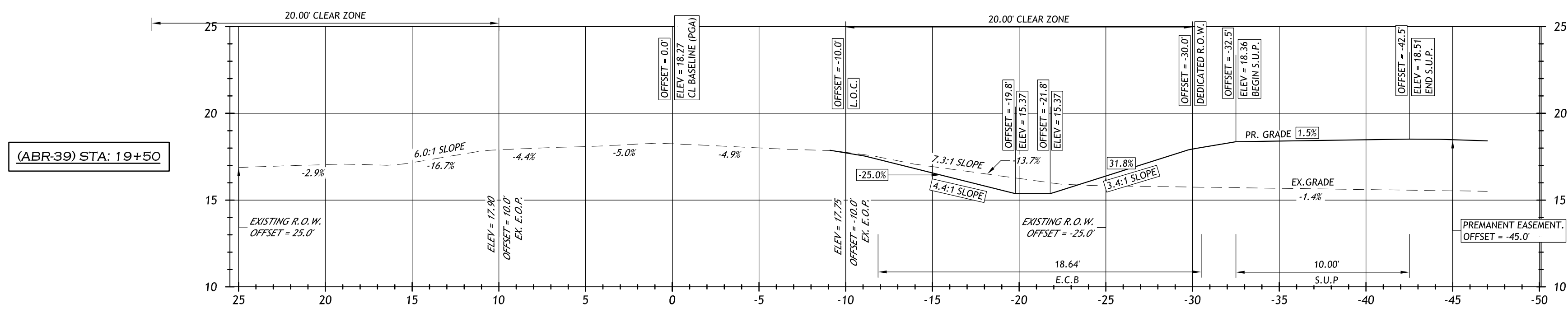
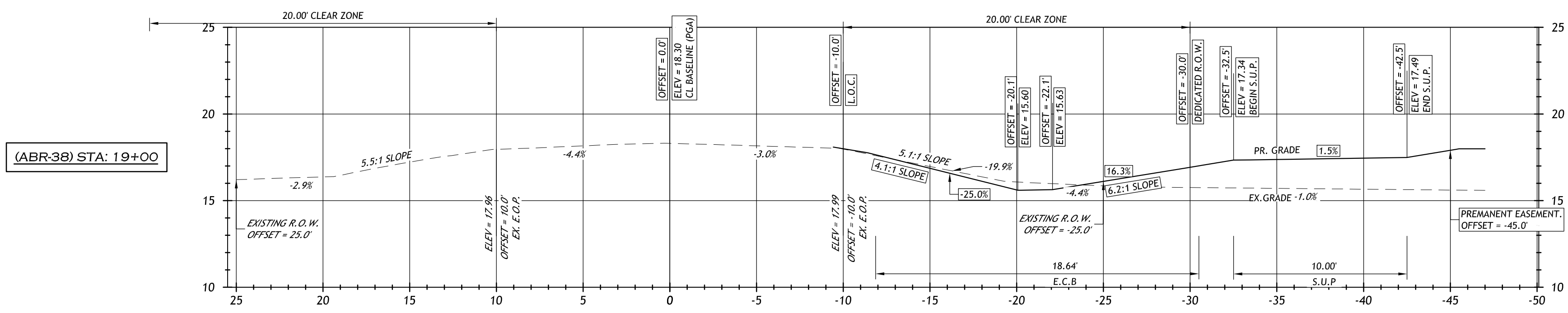
**Axiom Engineering L.L.C.**  
 18 CHESTNUT STREET  
 SUITE 200 DE 19947  
 (302) 855-0812  
 FAX: 855-0812  
 WWW.AXIOMENGS.COM

ENGINEER:	JK
DESIGNER:	JK
DRAFTER:	EW
CHECKED BY:	JK
DATE:	11/19/2019
TAX MAP:	284-12,003,00 & 6,00



PROJECT NO: 0233-1702  
 DRAWING: CE-27  
 SHEET: 27 OF 43

SHARED USE PATH	OVERLAY	FULL DEPTH	DELDOT CROSS SECTION LEGEND
2"	2" MIN.	2"	A. ITEM 401005 - SUPERPAVE, TYPE C, PG 64-22
-	-	4"	B. ITEM 401014 - SUPERPAVE, TYPE B, PG 64-22
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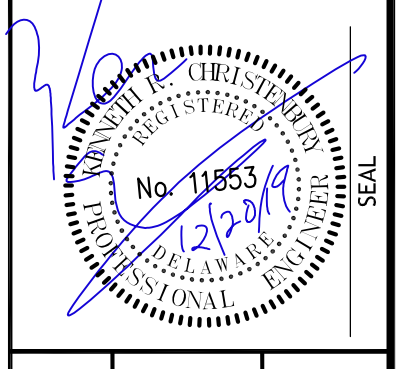
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REV	DESCRIPTION OF REVISION	DATE	BY
1	ISSUE FOR PERMIT	12/22/2019	JKC
2	REVISED PER DELDOT COMMENTS	12/22/2019	JKC

ANGOLA BEACH ROAD CROSS SECTIONS  
 S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEEP @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

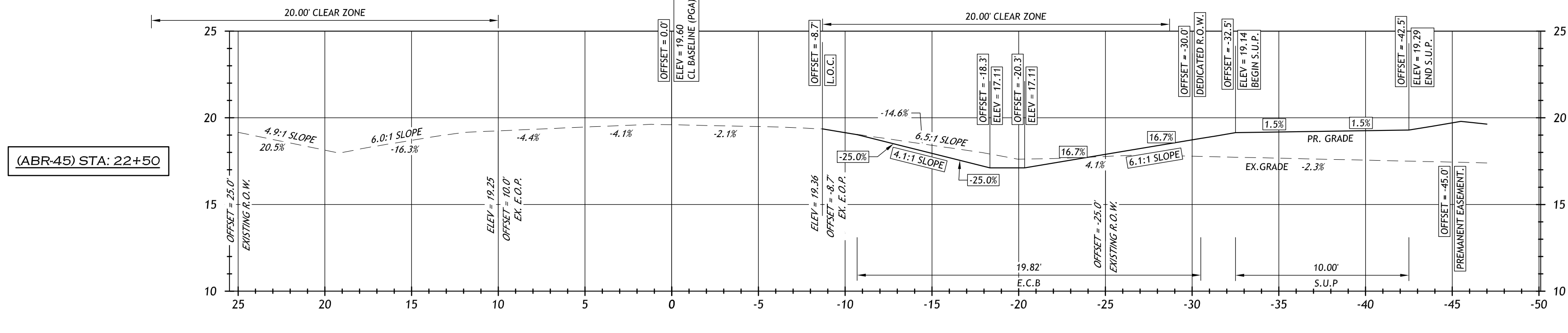
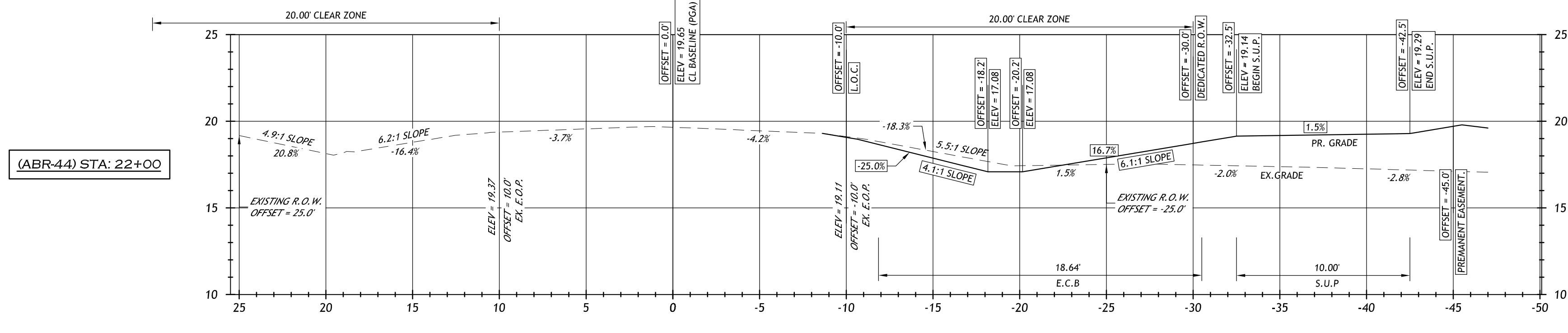
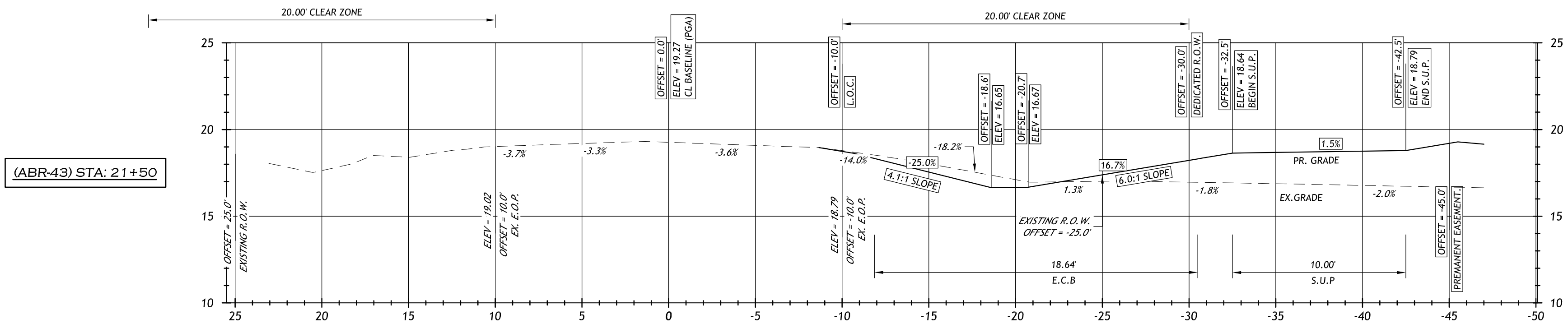
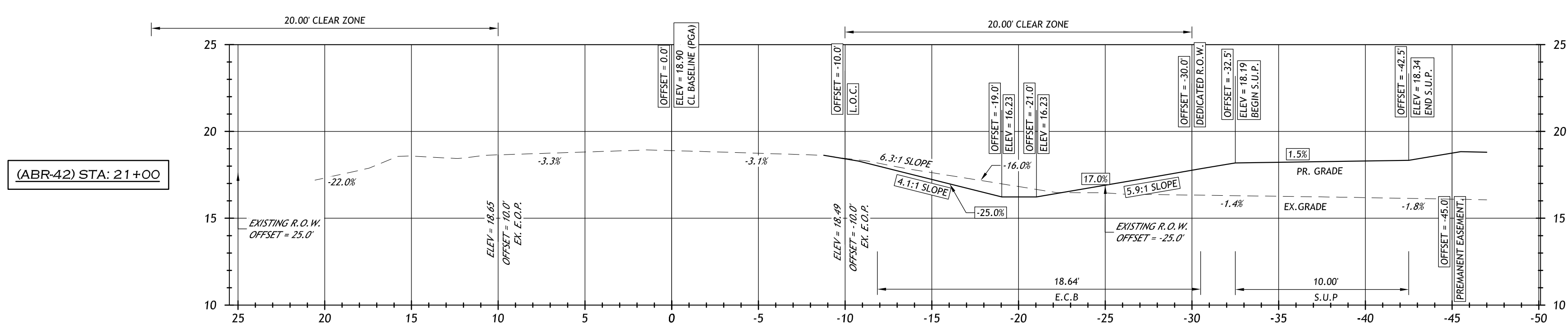
**Axiom**  
 ENGINEERING L.L.C.  
 18 CHESTNUT STREET  
 SUITE 200 DE 19947  
 (302) 855-0812  
 FAX: 855-0812  
 WWW.AXIOMENGS.COM

ENGINEER:	JKC
DESIGNER:	JKC
DRAWN BY:	JKC
CHECKED BY:	JKC
DATE:	11/19/2019
TAX MAP:	234-12,003,00 & 6,00



PROJECT NO: 0233-1702  
 DRAWING: CE-28  
 SHEET: 28 OF 43

SHARED USE PATH	OVERLAY	FULL DEPTH	DELDOT CROSS SECTION LEGEND
2"	2" MIN.	2"	A. ITEM 401005 - SUPERPAVE, TYPE C, PG 64-22
-	-	4"	B. ITEM 401014 - SUPERPAVE, TYPE B, PG 64-22
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			H. CONTRACTOR TO INSTALL SAFETY EDGE WHERE THERE IS NO CURBING



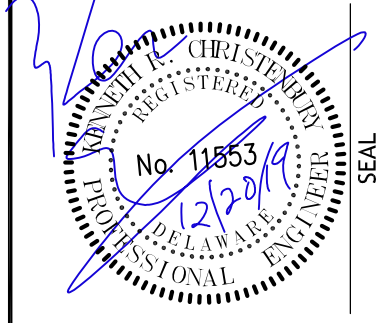
SCALE: 1" = 5' HORIZONTAL AND VERTICAL

REV	DESCRIPTION OF REVISION	DATE	BY	CHK
1	ISSUE FOR PERMIT	12/20/2019	JKC	JKC
2	REVISED PER DELOIT COMMENTS	12/20/2019	JKC	JKC

ANGOLA BEACH ROAD CROSS SECTIONS  
 S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEEP @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

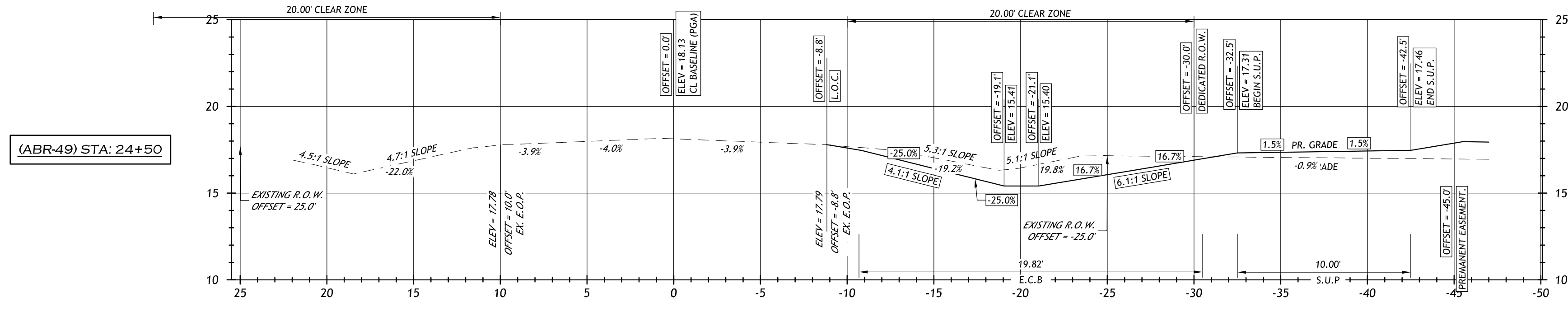
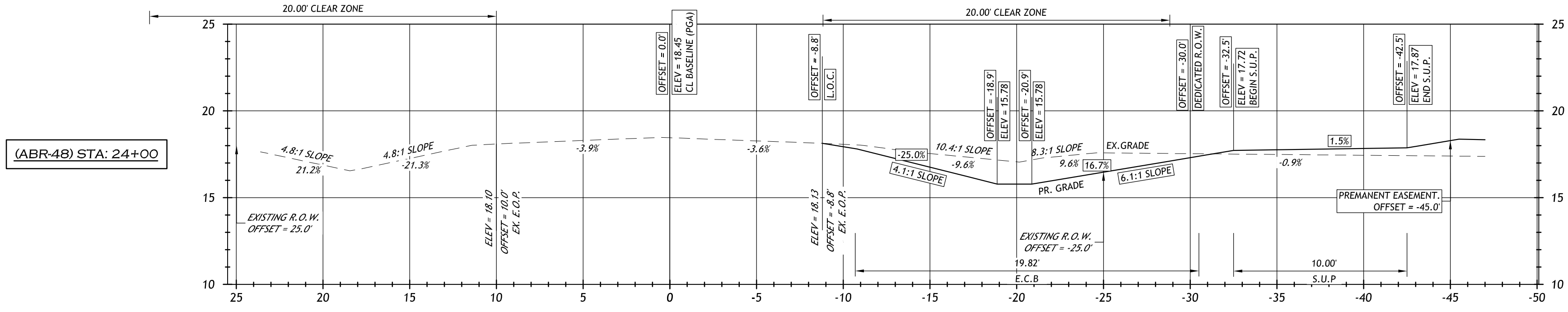
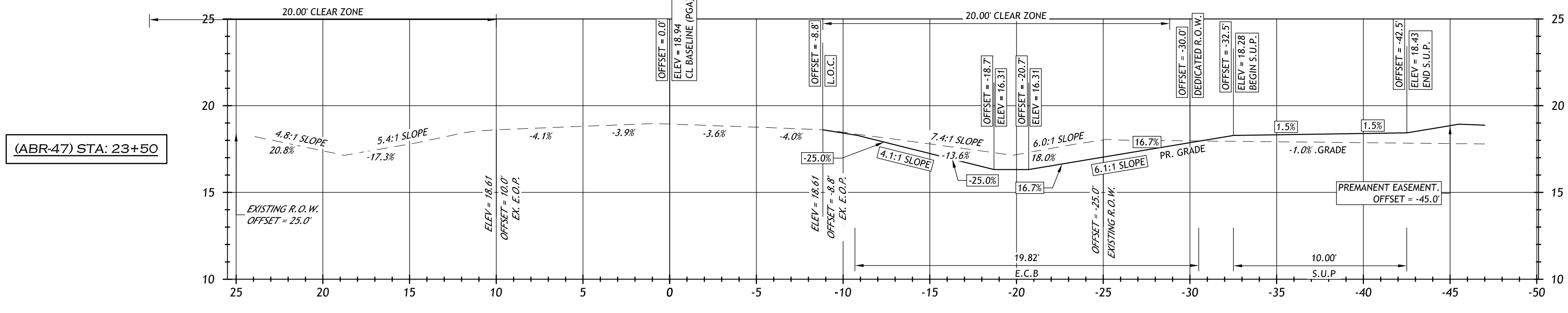
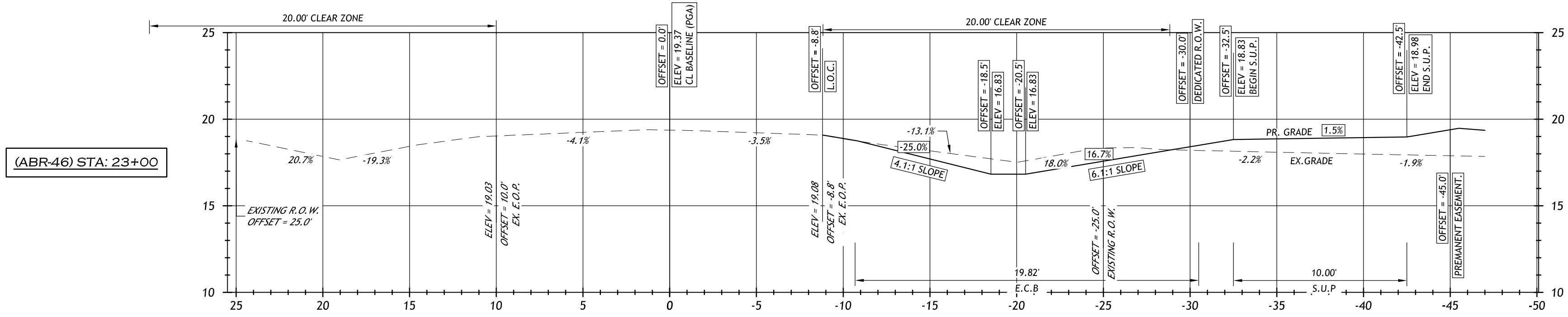
**AXIOM ENGINEERING L.L.C.**  
 18 CHESTNUT STREET  
 SUITE 200 DE 19947  
 (302) 855-0810  
 FAX: 855-0812  
 WWW.AXIOMENGS.COM

ENGINEER:	JKC
DESIGNER:	JKC
DRAWN BY:	JKC
CHECKED BY:	JKC
DATE:	11/19/2019
TAX MAP:	234-12,003,00 & 6,00



PROJECT NO: 0233-1702  
 DRAWING: CE-29  
 SHEET: 29 OF 43

SHARED USE PATH	OVERLAY	FULL DEPTH	DELDOT CROSS SECTION LEGEND
2"	2" MIN.	2"	A. ITEM 401005 - SUPERPAVE, TYPE C, PG 64-22
-	-	4"	B. ITEM 401014 - SUPERPAVE, TYPE B, PG 64-22
8"	-	8"	C. ITEM 301001 - GRADED AGGREGATE BASE COURSE, TYPE B
			D. ITEM 701021 - INTEGRAL P.C.C. CURB & GUTTER, TYPE 3-4
			E. ITEM 705001 - P.C.C. SIDEWALK, 4"
			F. GROUND COVER CONSISTING OF ONE OF THE FOLLOWING:
			F.A. ITEM 908004 - TOPSOIL, 6" DEPTH
			F.B. ITEM 908010 - TOPSOILING, 6" DEPTH
			F.C. ITEM 908014 - PERMANENT GRASS SEEDING, DRY GRASS
			G. ITEM 908020 - EROSION CONTROL BLANKET MULCH (MIN. WIDTH SHALL BE 6')
			H. CONTRACTOR TO INSTALL SAFETY EDGE WHERE THERE IS NO CURBING

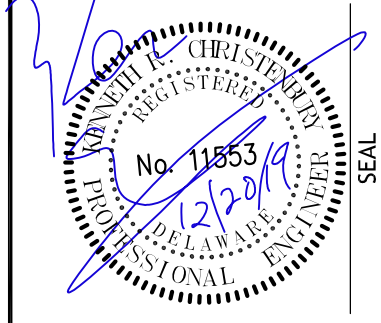


REV	DESCRIPTION OF REVISION	DATE	BY
1	ISSUE FOR PERMIT	12/22/2019	JKC
2	REVISED PER DELOIT COMMENTS	12/22/2019	JKC

ANGOLA BEACH ROAD CROSS SECTIONS  
S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEPT @ LEWES**  
RESIDENTIAL PLANNED COMMUNITY  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**Axiom Engineering L.L.C.**  
18 CHESTNUT STREET  
SUITE 200 DE 19947  
(302) 855-0812  
FAX: 855-0812  
WWW.AXIOMENGINEERING.COM

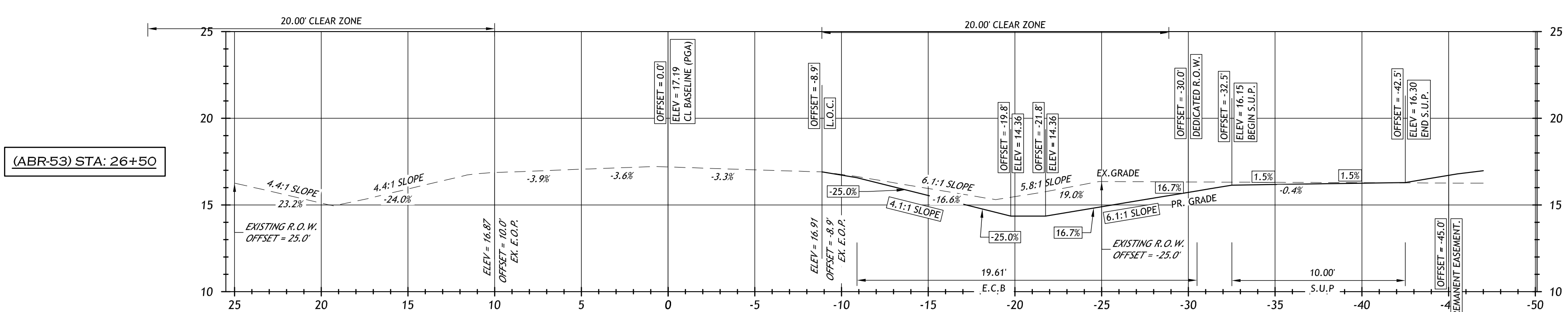
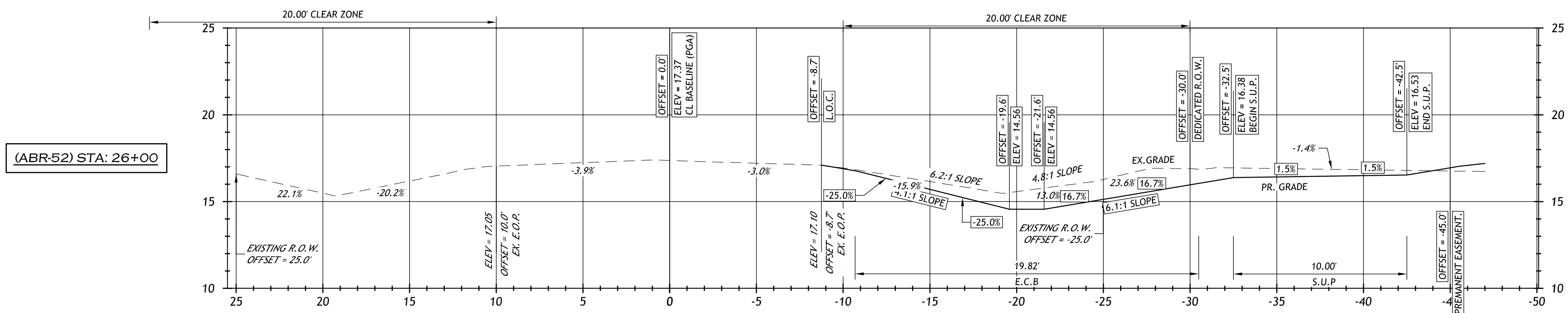
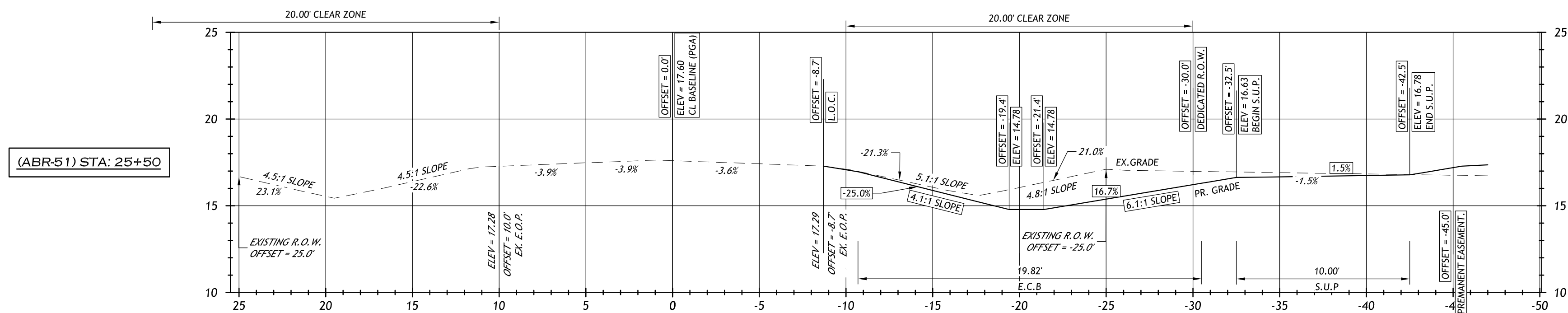
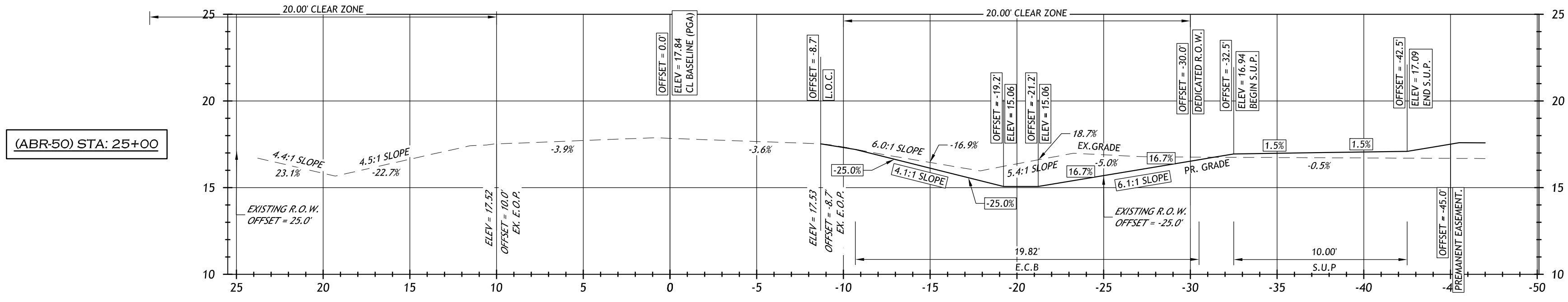
ENGINEER:	JKC
DESIGNER:	JKC
DRAWN BY:	EW
CHECKED BY:	JKC
DATE:	11/19/2019
TAX MAP:	234-12.003.00 & 6.00



PROJECT NO: 0233-1702  
DRAWING: CE-30  
SHEET: 30 OF 43

SCALE: 1" = 5' HORIZONTAL AND VERTICAL

SHARED USE PATH	OVERLAY	FULL DEPTH	DELDOT CROSS SECTION LEGEND
2"	2" MIN.	2"	A. ITEM 401005 - SUPERPAVE, TYPE C, PG 64-22
-	-	4"	B. ITEM 401014 - SUPERPAVE, TYPE B, PG 64-22
8"	-	8"	C. ITEM 301001 - GRADED AGGREGATE BASE COURSE, TYPE B
			D. ITEM 701021 - INTEGRAL P.C.C. CURB & GUTTER, TYPE 3-4
			E. ITEM 705001 - P.C.C. SIDEWALK, 4"
			F. GROUND COVER CONSISTING OF ONE OF THE FOLLOWING: F.A. ITEM 908004 - TOPSOIL, 6" DEPTH F.B. ITEM 908010 - TOPSOILING, 6" DEPTH F.C. ITEM 908014 - PERMANENT GRASS SEEDING, DRY GROUND G. ITEM 908020 - EROSION CONTROL BLANKET MULCH (MIN. WIDTH SHALL BE 6')
			H. CONTRACTOR TO INSTALL SAFETY EDGE WHERE THERE IS NO CURBING



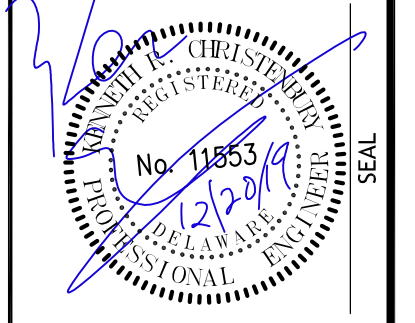
SCALE: 1" = 5' HORIZONTAL AND VERTICAL

REV	DESCRIPTION OF REVISION	DATE
1	ISSUED FOR PERMIT	11/19/2019
2	REVISED PER DELDOT COMMENTS	12/20/2019
3	REVISED PER DELDOT COMMENTS	12/20/2019
4	REVISED PER DELDOT COMMENTS	12/20/2019
5	REVISED PER DELDOT COMMENTS	12/20/2019

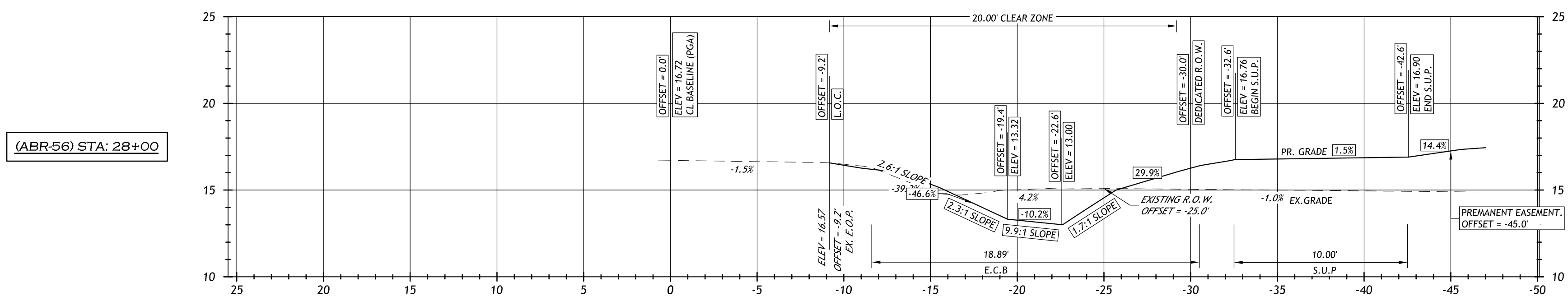
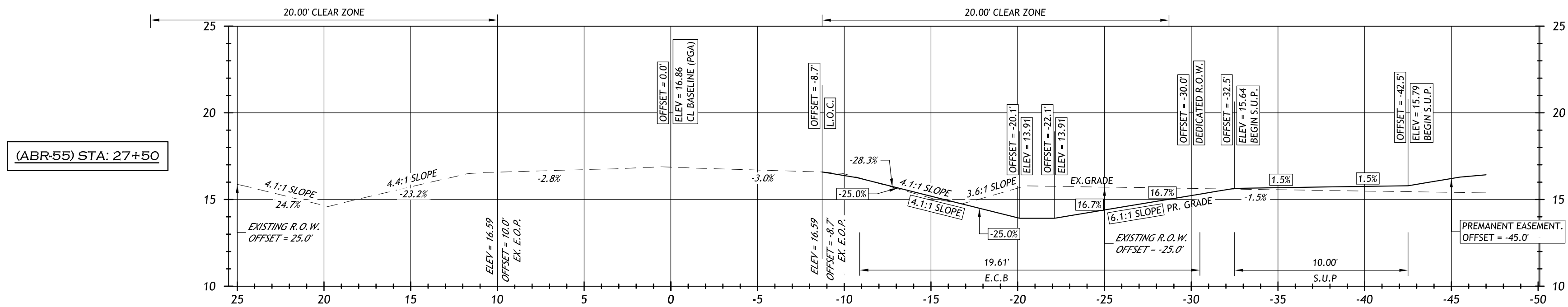
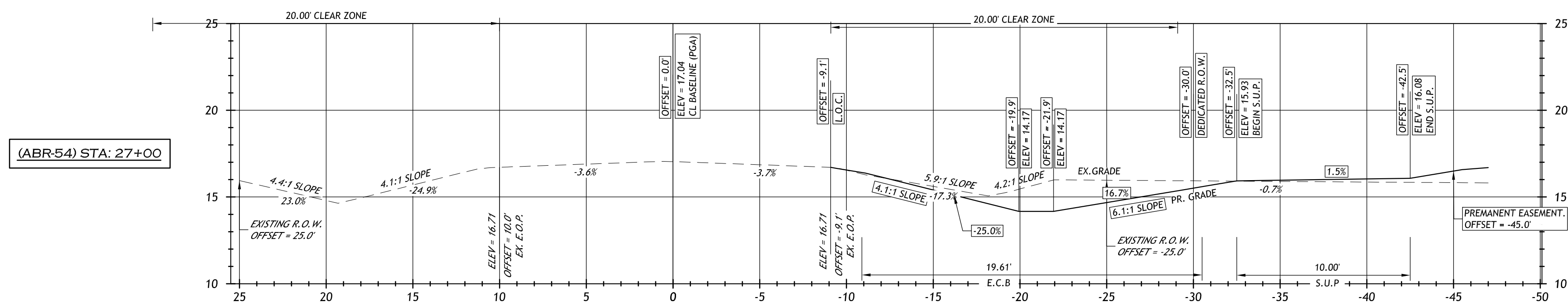
ANGOLA BEACH ROAD CROSS SECTIONS  
 S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEPT @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**Axiom Engineering L.L.C.**  
 18 CHESTNUT STREET  
 SUITE 200 DE 19947  
 (302) 855-0812  
 (302) 855-0812  
 WWW.AXIOMENGS.COM

ENGINEER: MKC  
 DESIGNER: MKC  
 DRAFTER: EW  
 CHECKED BY: MKC  
 DATE: 11/19/2019  
 TAX MAP: 234-12,003,00 & 6,00  
 SCALE: 1" = 5' HORIZONTAL AND VERTICAL



PROJECT NO: 0233-1702  
 DRAWING: CE-31  
 SHEET: 31 OF 43



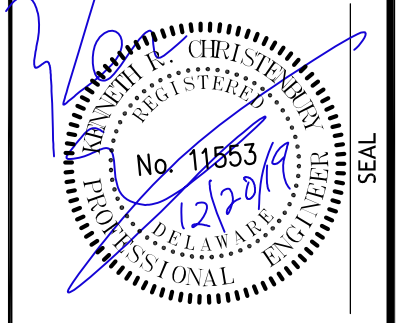
SHARED USE PATH	OVERLAY	FULL DEPTH	DELDOT CROSS SECTION LEGEND
2"	2" MIN.	2"	A. ITEM 401005 - SUPERPAVE, TYPE C, PG 64-22
-	-	4"	B. ITEM 401014 - SUPERPAVE, TYPE B, PG 64-22
8"	8"	8"	C. ITEM 301001 - GRADED AGGREGATE BASE COURSE, TYPE B
			D. ITEM 701021 - INTEGRAL P.C.C. CURB & GUTTER, TYPE 3-4
			E. ITEM 705001 - P.C.C. SIDEWALK, 4"
			F. GROUND COVER CONSISTING OF ONE OF THE FOLLOWING:
			F.A. ITEM 908004 - TOPSOIL, 6" DEPTH
			F.B. ITEM 908010 - TOPSOILING, 6" DEPTH
			F.C. ITEM 908014 - PERMANENT GRASS SEEDING, DRY GRASS
			G. ITEM 908020 - EROSION CONTROL BLANKET MULCH (MIN. WIDTH SHALL BE 6')
			H. CONTRACTOR TO INSTALL SAFETY EDGE WHERE THERE IS NO CURBING

REV	DESCRIPTION OF REVISION	DATE	BY
1	REVISED PER DELOIT COMMENTS	12/22/2019	JKC
2		12/22/2019	JKC
3		12/22/2019	JKC

ANGOLA BEACH ROAD CROSS SECTIONS  
 S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEPT @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

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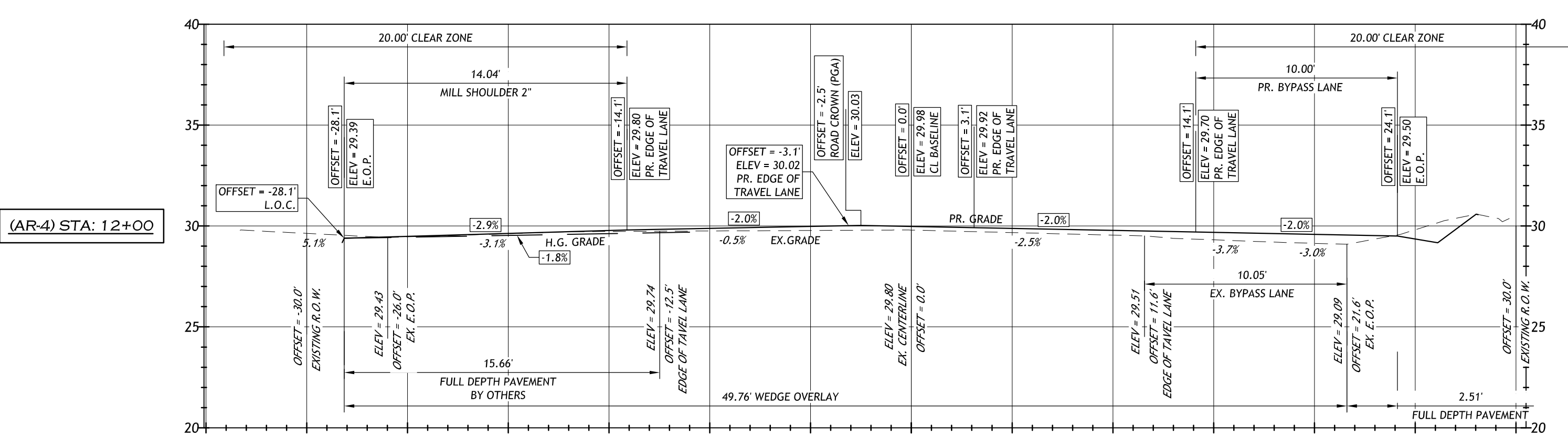
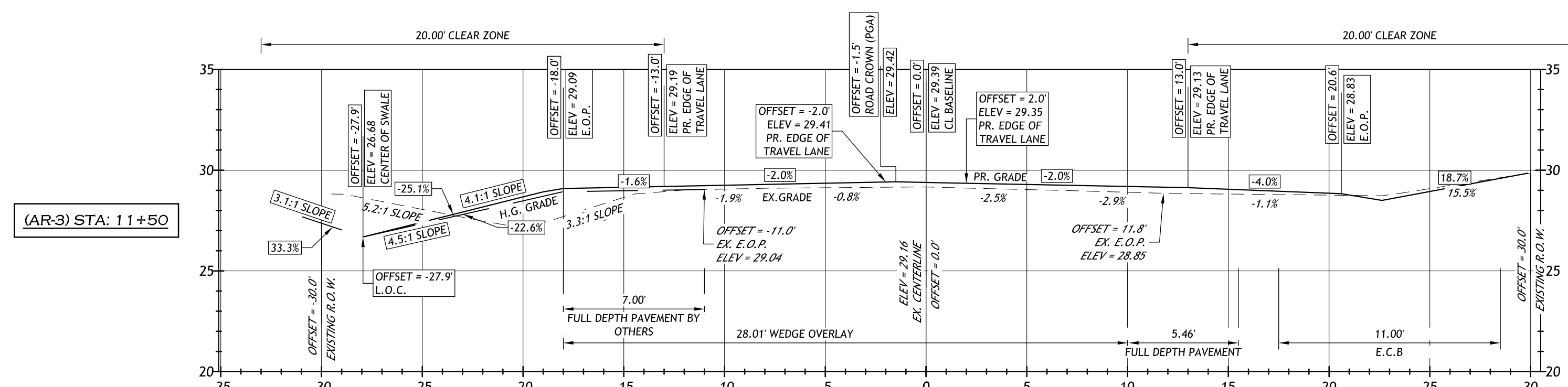
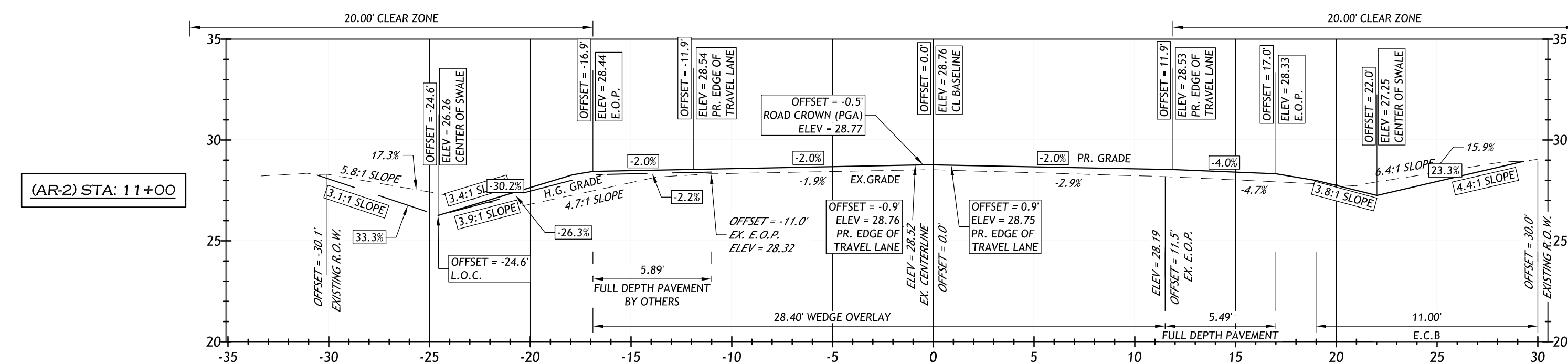
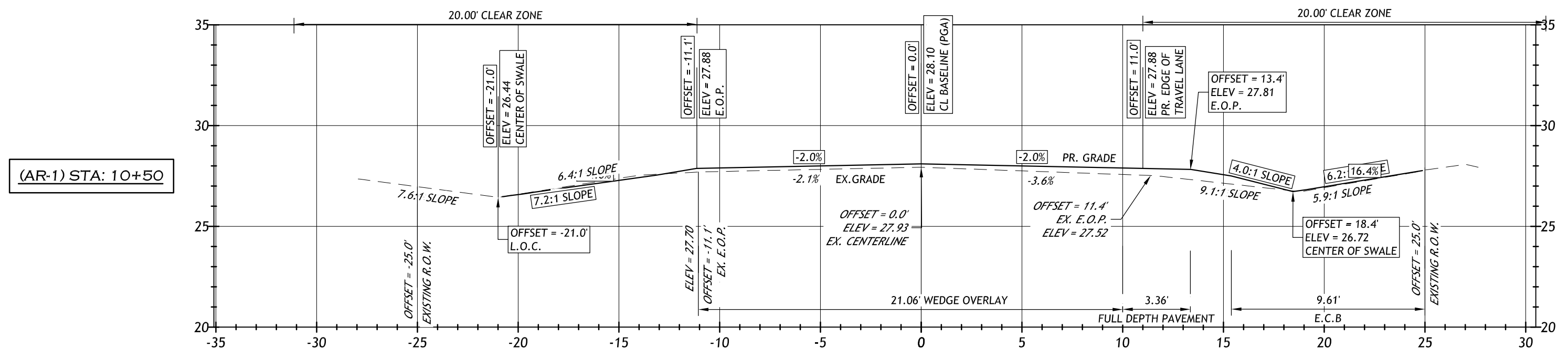
ENGINEER: MKC  
 DESIGNER: MKC  
 DRAFTER: EW  
 CHECKED BY: MKC  
 DATE: 11/19/2019  
 TAX MAP: 234-12,003,00 & 6,00



PROJECT NO: 0233-1702  
 DRAWING: CE-32  
 SHEET: 32 OF 43

SCALE: 1" = 5' HORIZONTAL AND VERTICAL





SCALE: 1" = 5' HORIZONTAL AND VERTICAL

PROJECT NO:	0233-1702
DRAWING:	CE-33
SHEET:	33 OF 43

ENGINEER:	MKC
DESIGNER:	MKC
DRAFTER:	EW
CHECKED BY:	MKC
DATE:	11/19/2019
TAX MAP:	234-12-003.00 & 6.00

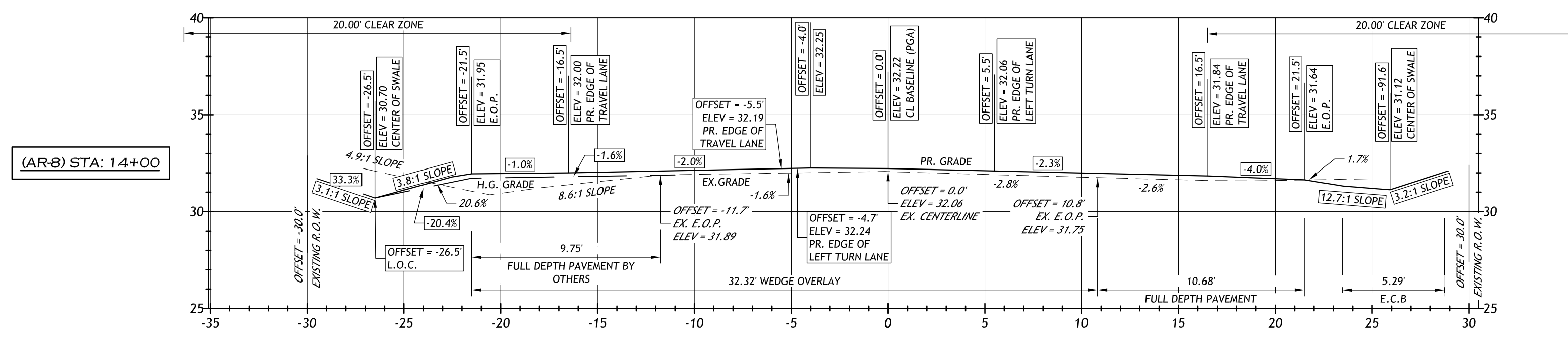
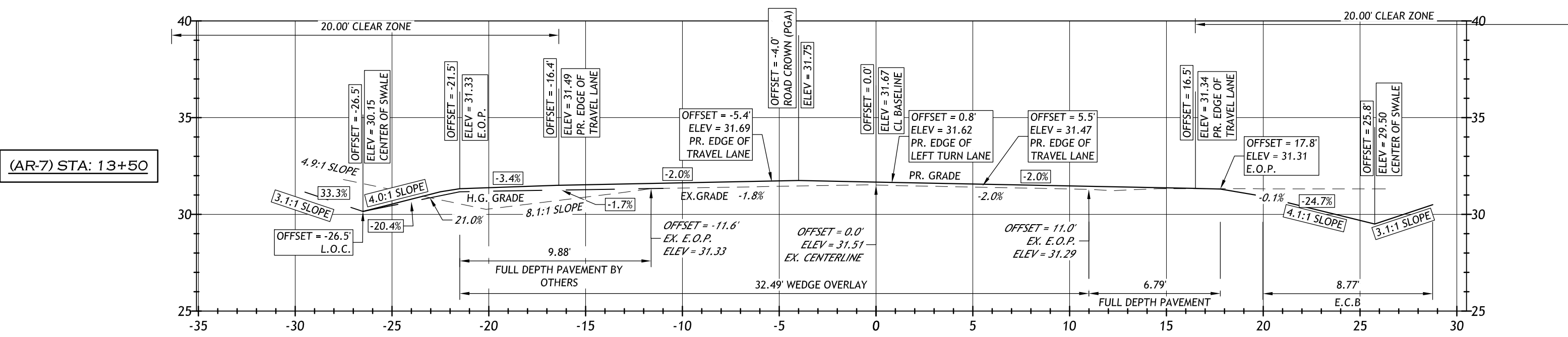
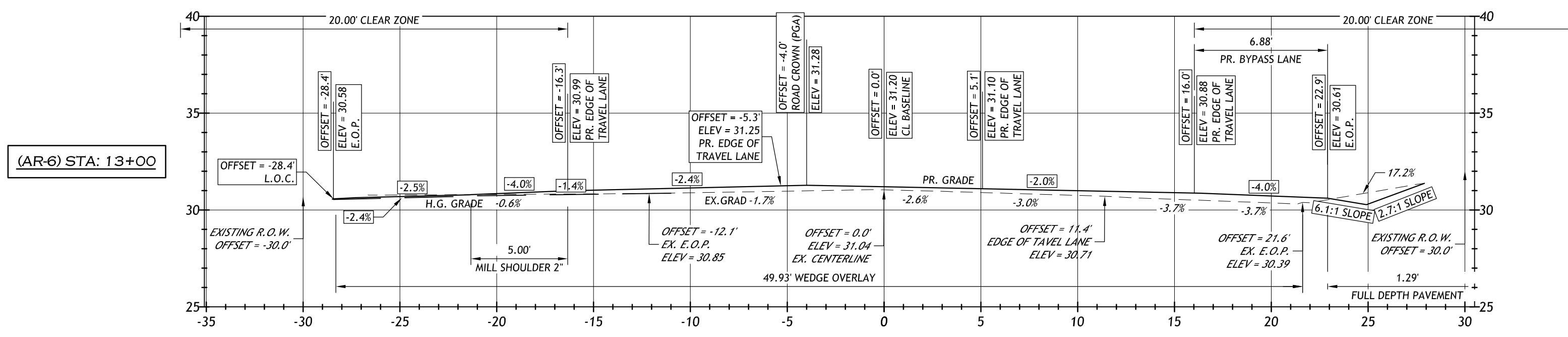
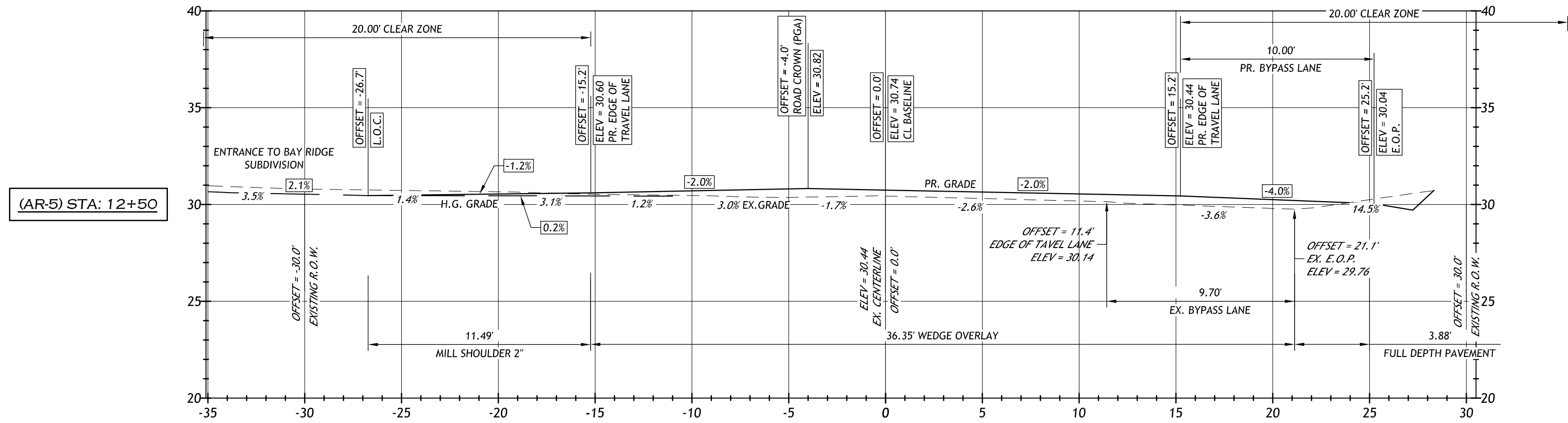
  
  

PROJECT: ANGOLA ROAD CROSS SECTIONS  
 S.C.R. 278- ANGOLA BEACH ROAD  
**WINDSWEPT @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

REVISIONS:

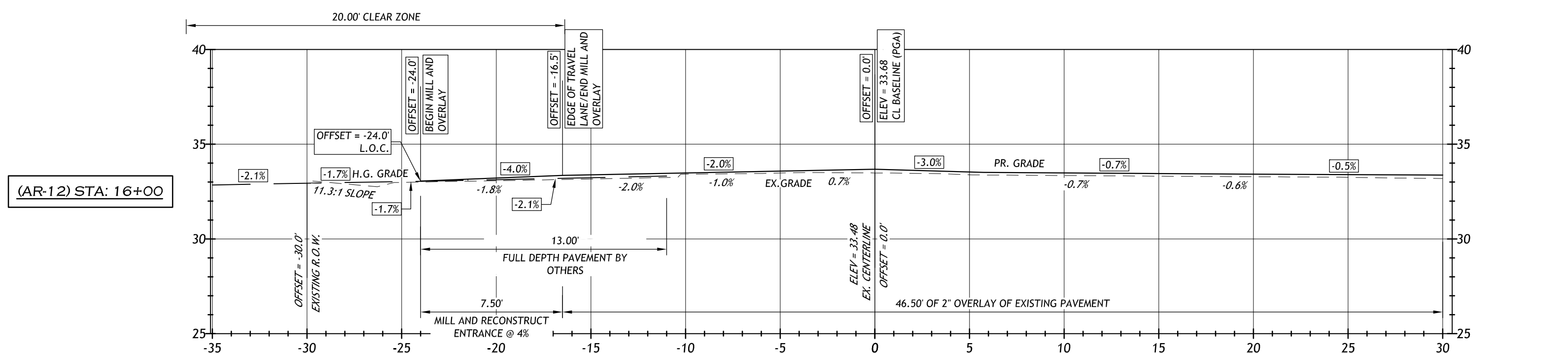
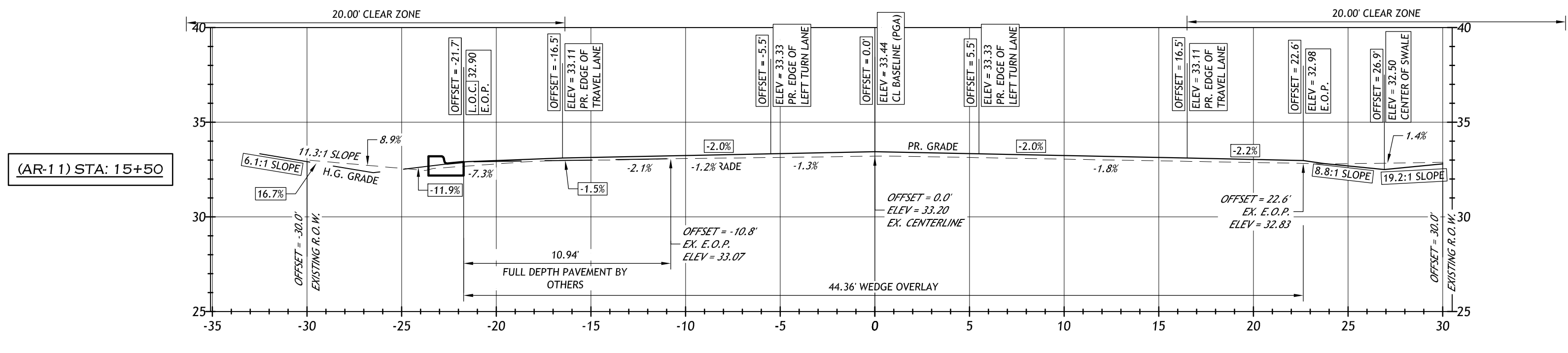
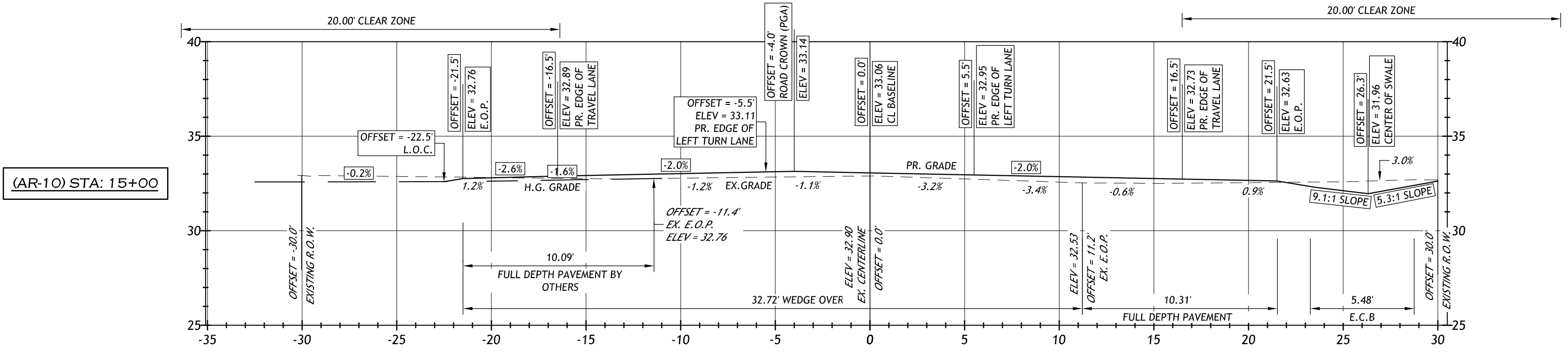
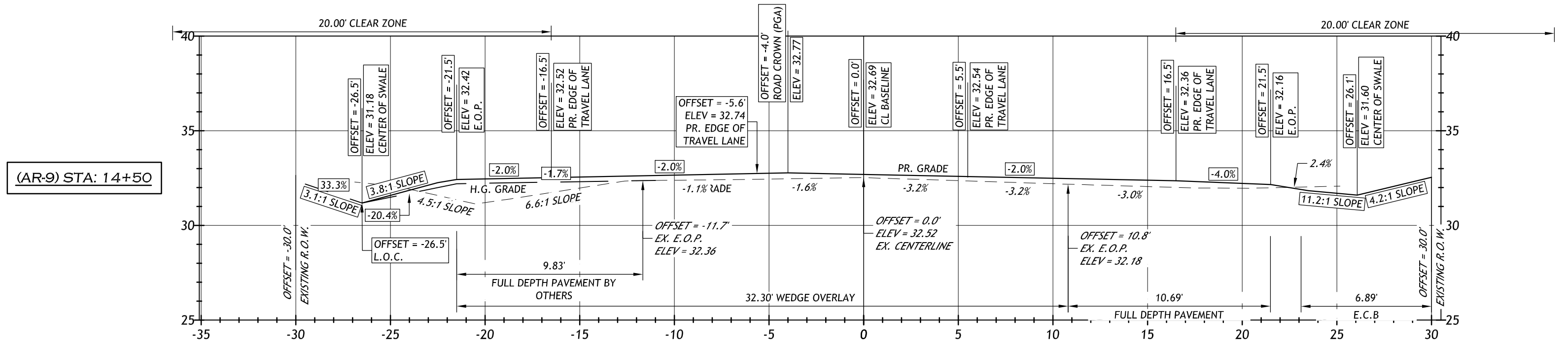
REV	DESCRIPTION OF REVISION	DATE
1	REVISED PER DELOIT COMMENTS	11/20/2019
2		12/20/2019
3		01/20/2020

THE DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE HEALTH, SAFETY AND WELFARE OF THE PUBLIC IS THE RESPONSIBILITY OF THE CONTRACTOR AND ALL REGULATIONS THERE TO AND APPROPRIATE.



SCALE: 1" = 5' HORIZONTAL AND VERTICAL

<b>ANGOLA ROAD CROSS SECTIONS</b> S.C.R. 278- ANGOLA BEACH ROAD <b>WINDSWEPT @ LEWES</b> RESIDENTIAL PLANNED COMMUNITY INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE	
<b>Axiom Engineering L.L.C.</b> 18 CHESTNUT STREET DEW 19847 (302) 855-0812 FAX: 855-0812 WWW.AXIOMENGS.COM	
PROJECT NO: <b>0233-1702</b>	DRAWING: <b>CE-34</b>
SHEET: <b>34</b>	OF <b>43</b>
ENGINEER: MKC DESIGNER: MKC DRAFTER: EW CHECKED BY: MKC DATE: 11/19/2019 TAX MAP: 284-12,003,00 & 6,00 	

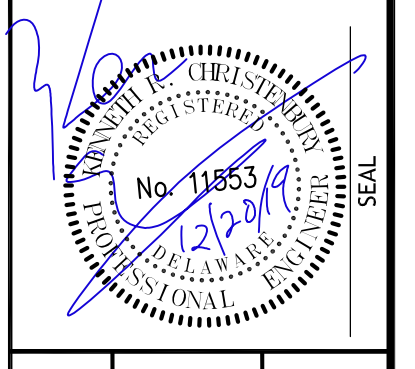


REV	DESCRIPTION OF REVISION	DATE
1	ISSUED FOR PERMITS	11/19/2019
2	REVISED PER DELOIT COMMENTS	12/20/2019
3	REVISED PER DELOIT COMMENTS	1/22/2020
4	REVISED PER DELOIT COMMENTS	2/10/2020

ANGOLA ROAD CROSS SECTIONS  
 S.C.R. 278- ANGOLA BEACH ROAD  
**WINDSWEPT @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**Axiom Engineering L.L.C.**  
 18 CHESTNUT STREET  
 SUITE 200 DE 19947  
 LEWES, DE 19558  
 TEL: 302.855.0812  
 FAX: 302.855.0812  
 WEB: WWW.AXIOMENGS.COM

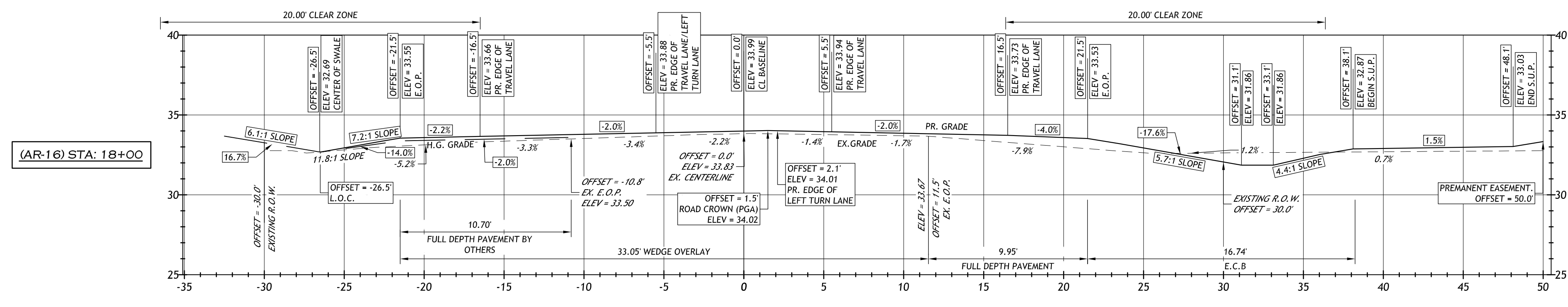
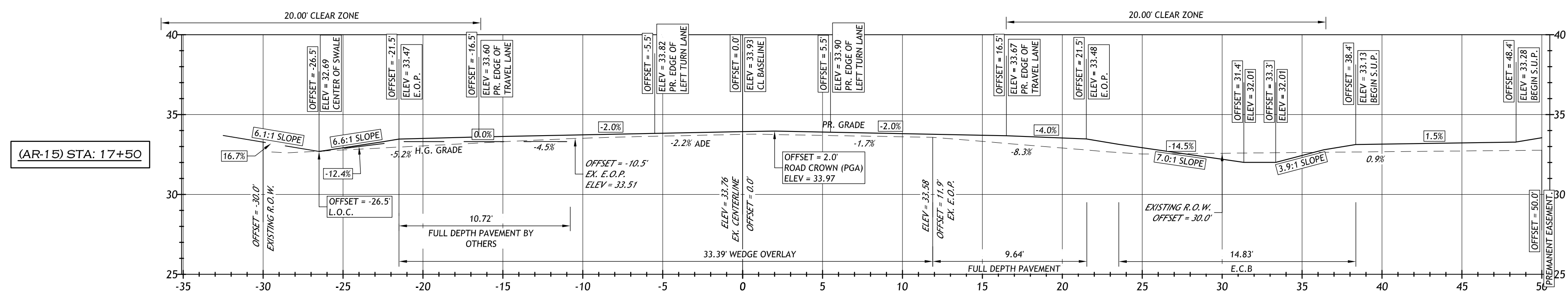
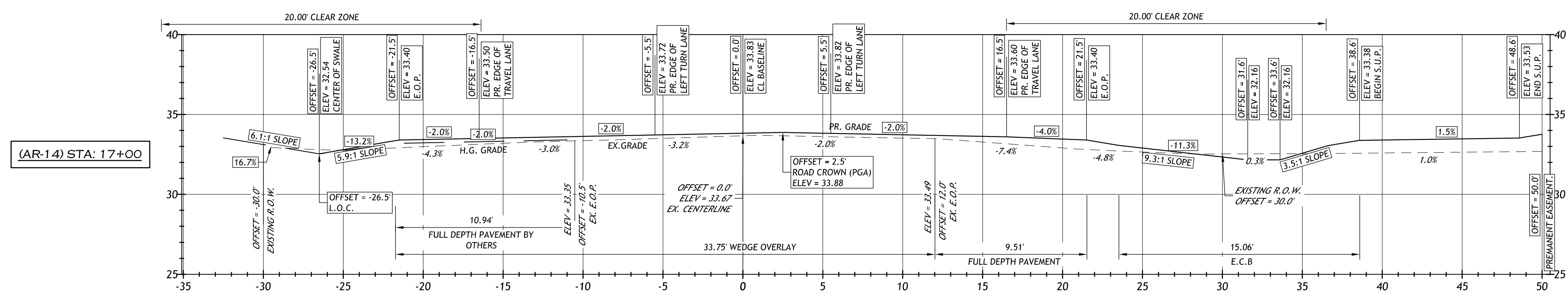
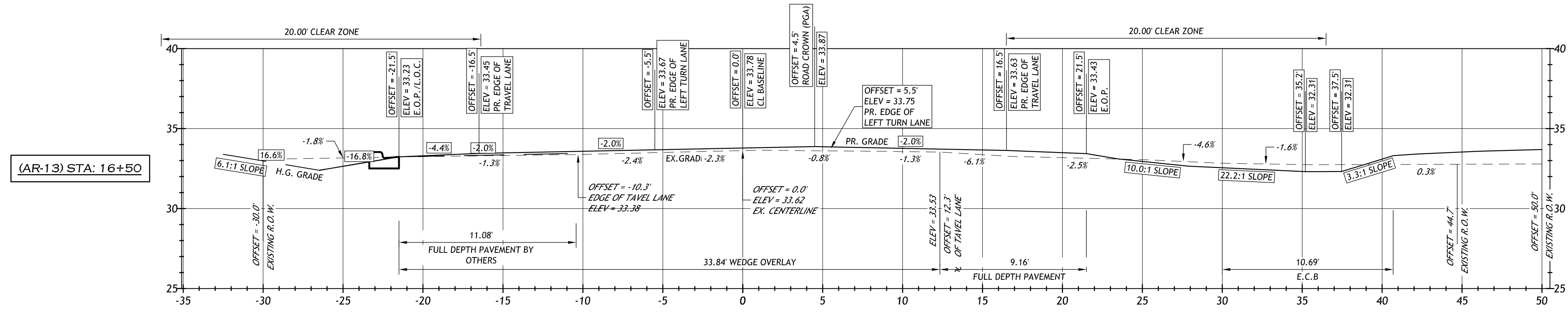
ENGINEER:	MKC
DESIGNER:	EW
DRAWN BY:	MKC
CHECKED BY:	
DATE:	11/19/2019
TAX MAP:	284-17-003.00 & 6.00



PROJECT NO: 0233-1702  
 DRAWING: CE-35  
 SHEET: 35 OF 43

SCALE: 1" = 5' HORIZONTAL AND VERTICAL

SHARED USE PATH	OVERLAY	FULL DEPTH	DELDOT CROSS SECTION LEGEND
2"	2" MIN.	2"	A. ITEM 401005 - SUPERPAVE, TYPE C, PG 64-22
-	-	4"	B. ITEM 401014 - SUPERPAVE, TYPE B, PG 64-22
8"	-	8"	C. ITEM 301001 - GRADED AGGREGATE BASE COURSE, TYPE B
-	-	-	D. ITEM 701021 - INTEGRAL P.C.C. CURB & GUTTER, TYPE 3-4
-	-	-	E. ITEM 705001 - P.C.C. SIDEWALK, 4"
-	-	-	F. GROUND COVER CONSISTING OF ONE OF THE FOLLOWING: F.A. ITEM 908004 - TOPSOIL, 6" DEPTH F.B. ITEM 908010 - TOPSOILING, 6" DEPTH F.C. ITEM 908014 - PERMANENT GRASS SEEDING, DRY GROUND G. ITEM 908020 - EROSION CONTROL BLANKET MULCH (MIN. WIDTH SHALL BE 6')
-	-	-	H. CONTRACTOR TO INSTALL SAFETY EDGE WHERE THERE IS NO CURBING

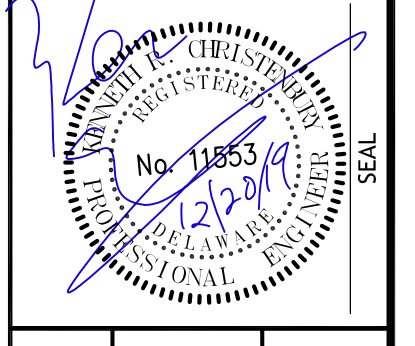


REV	DESCRIPTION OF REVISION	DATE	BY
1	REVISED PER DELOIT COMMENTS	11/19/2019	JKC
2	REVISED PER DELOIT COMMENTS	11/19/2019	JKC
3	REVISED PER DELOIT COMMENTS	11/19/2019	JKC

ANGOLA ROAD CROSS SECTIONS  
 S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEPT @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**Axiom**  
 ENGINEERING L.L.C.  
 18 CHESTNUT STREET  
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 (302) 855-0812  
 FAX: 855-0812  
 E-MAIL: WWW.AXIOMENR.COM  
 WEB: WWW.AXIOMENR.COM

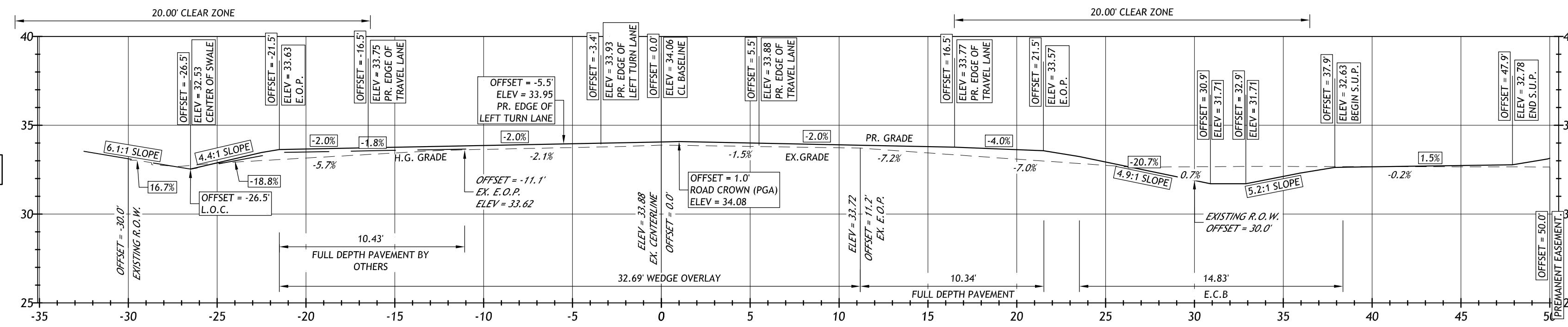
ENGINEER:	JKC
DESIGNER:	JKC
DRAWN BY:	EW
CHECKED BY:	JKC
DATE:	11/19/2019
TAX MAP:	284-17.003.00 & 6.00



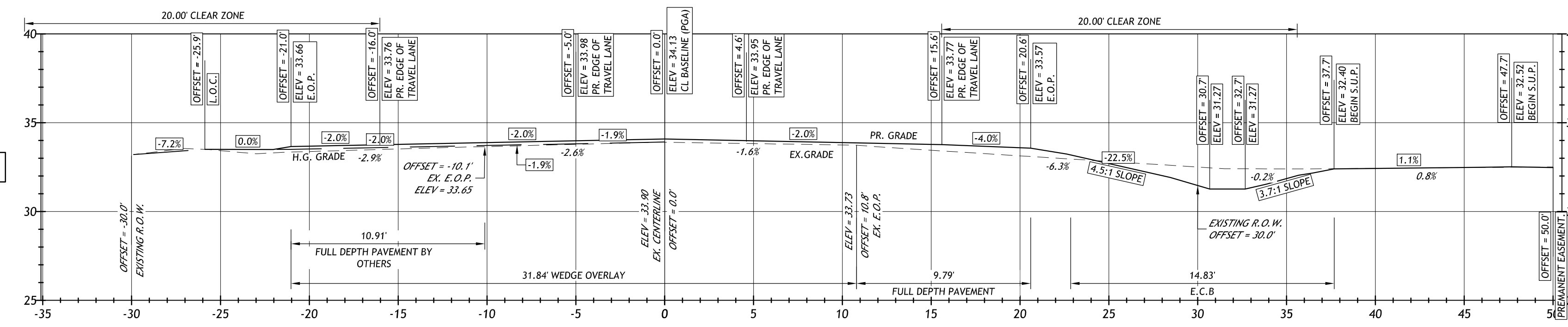
PROJECT NO: 0233-1702  
 DRAWING: CE-36  
 SHEET: 36 OF 43

SCALE: 1" = 5' HORIZONTAL AND VERTICAL

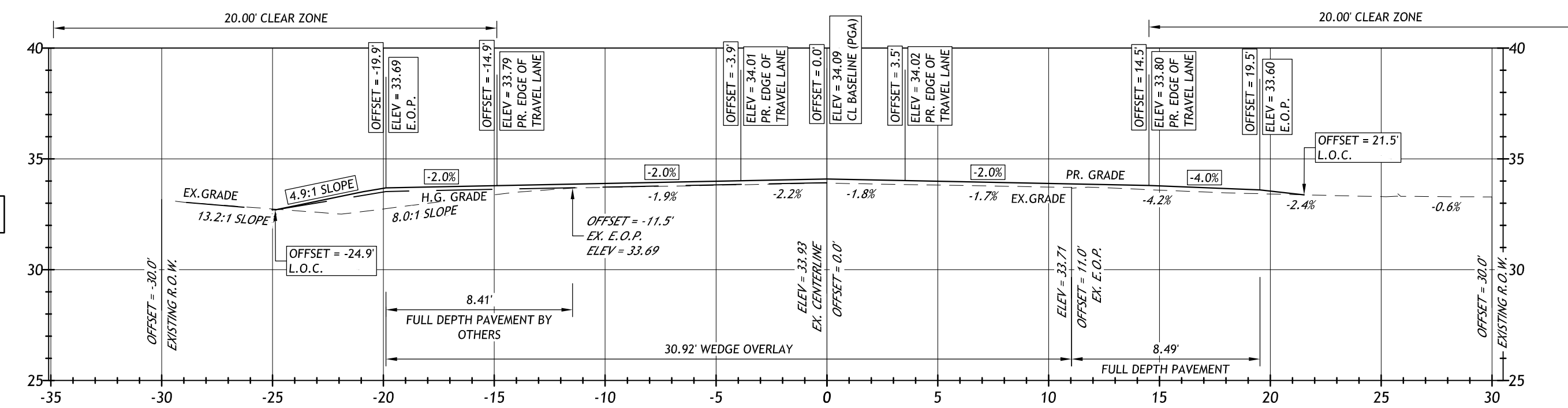
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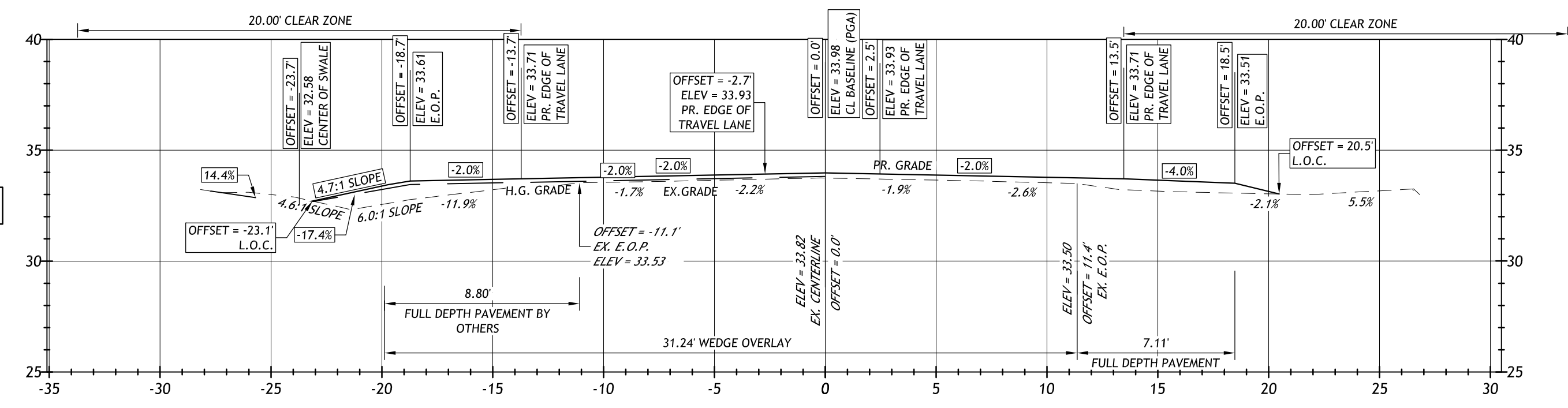
(AR-18) STA: 19+00



(AR-19) STA: 19+50



(AR-20) STA: 20+00



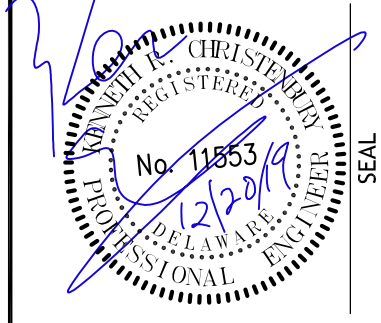
SCALE: 1" = 5' HORIZONTAL AND VERTICAL

REV	DESCRIPTION OF REVISION	DATE	BY
1	ISSUE FOR PERMIT	11/19/2019	MKC
2	REVISED PER DELOIT COMMENTS	12/20/2019	MKC
3	REVISED PER DELOIT COMMENTS	12/20/2019	MKC

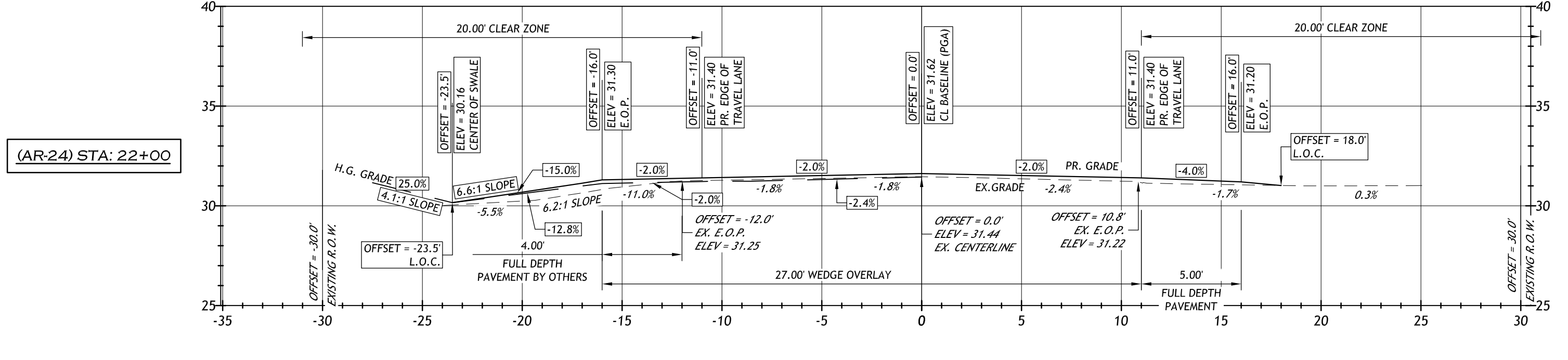
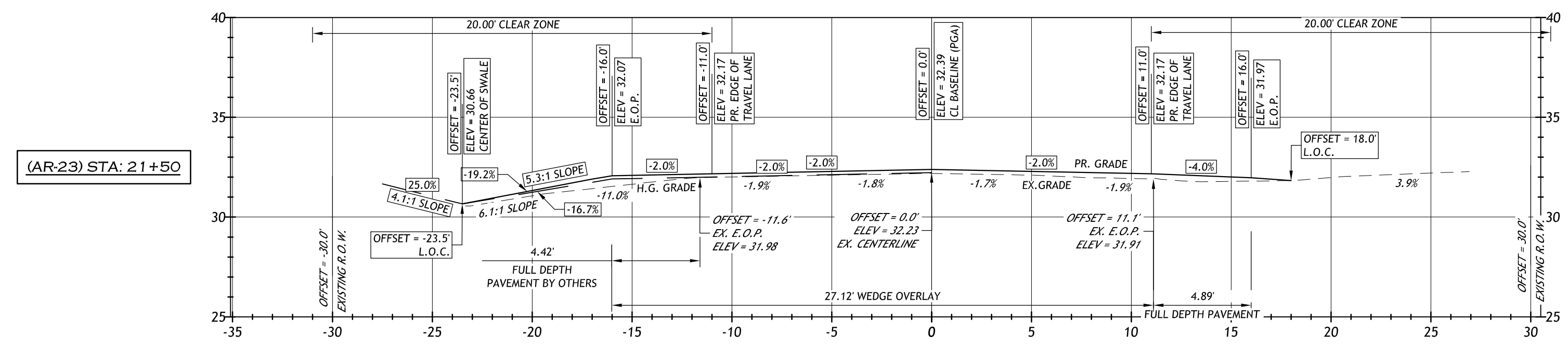
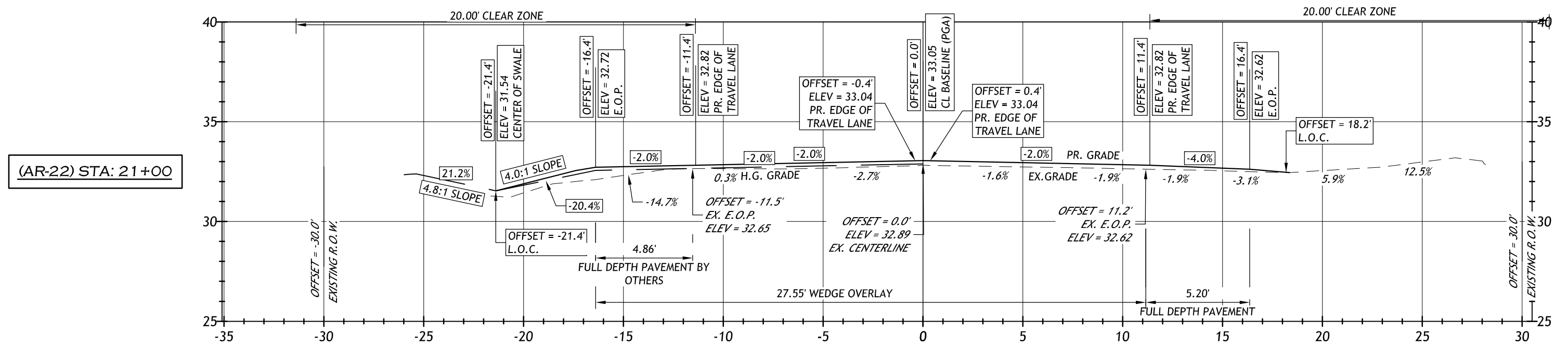
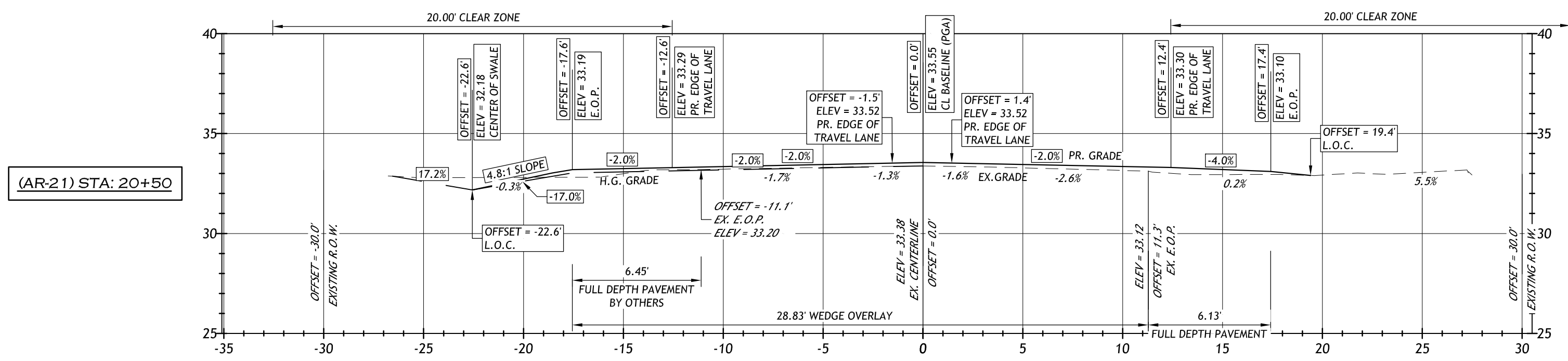
ANGOLA ROAD CROSS SECTIONS  
 S.C.R. 278- ANGOLA BEACH ROAD  
**WINDSWEEP @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**Axiom Engineering L.L.C.**  
 18 CHESTNUT STREET  
 SUITE 200 DE 19947  
 (302) 855-0812  
 FAX: 855-0812  
 WWW.AXIOMENGS.COM

ENGINEER:	MKC
DESIGNER:	MKC
DRAWN BY:	EW
CHECKED BY:	MKC
DATE:	11/19/2019
TAX MAP:	284-17-003.00 & 6.00



PROJECT NO: 0233-1702  
 DRAWING: CE-37  
 SHEET: 37 OF 43



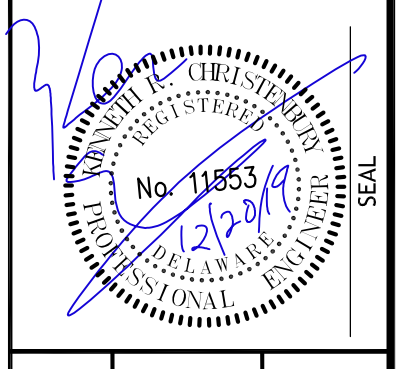
SCALE: 1" = 5' HORIZONTAL AND VERTICAL

REV	DESCRIPTION OF REVISION	DATE
1	ISSUE FOR PERMIT	11/19/2019
2	REVISED PER DELOIT COMMENTS	12/20/2019

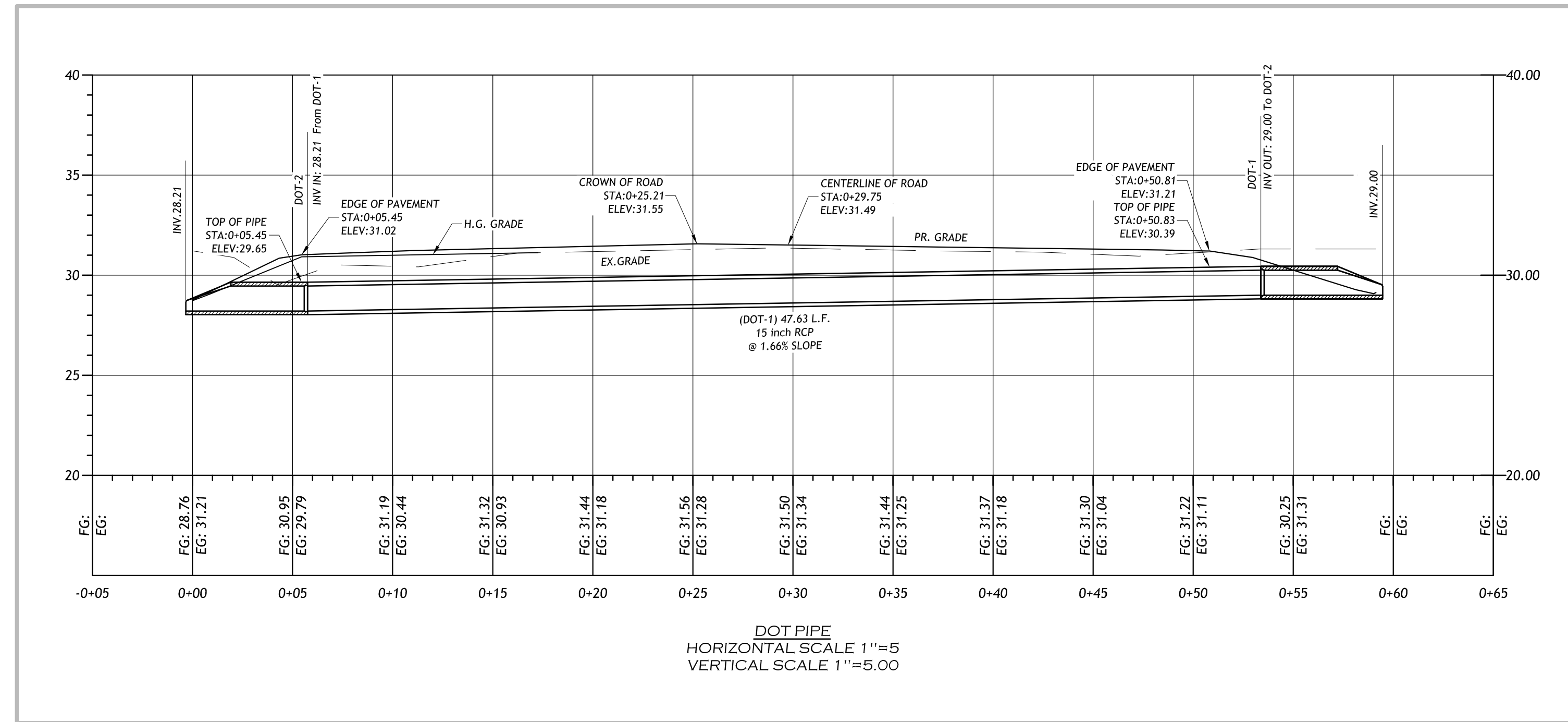
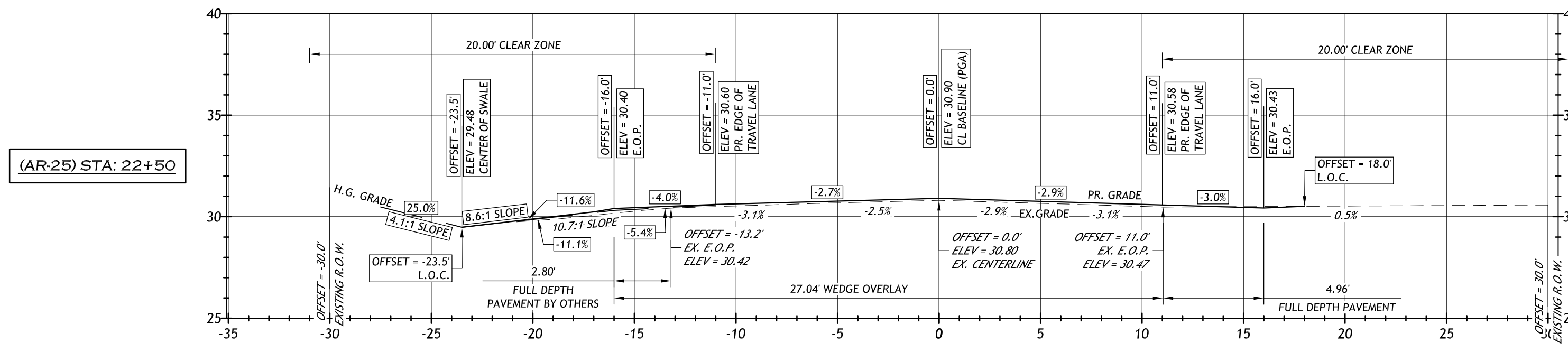
ANGOLA ROAD CROSS SECTIONS  
 S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEEP @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**Axiom Engineering L.L.C.**  
 18 CHESTNUT STREET  
 DEWESBORO, DE 19947  
 (302) 855-0812  
 FAX: 855-0812  
 WWW.AXIOMENGS.COM

ENGINEER:	MKC
DESIGNER:	MKC
DRAWN BY:	EW
CHECKED BY:	MKC
DATE:	11/19/2019
TAX MAP:	284-17-003.00 & 6.00



PROJECT NO:	0233-1702
DRAWING:	CE-38
SHEET:	38 OF 43

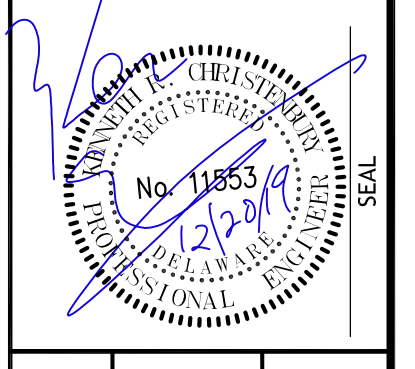


REV	DESCRIPTION OF REVISION	DATE
1	REVISED PER DELOIT COMMENTS	12/20/2019
2		
3		
4		
5		

ANGOLA ROAD CROSS SECTIONS  
 S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEPT @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

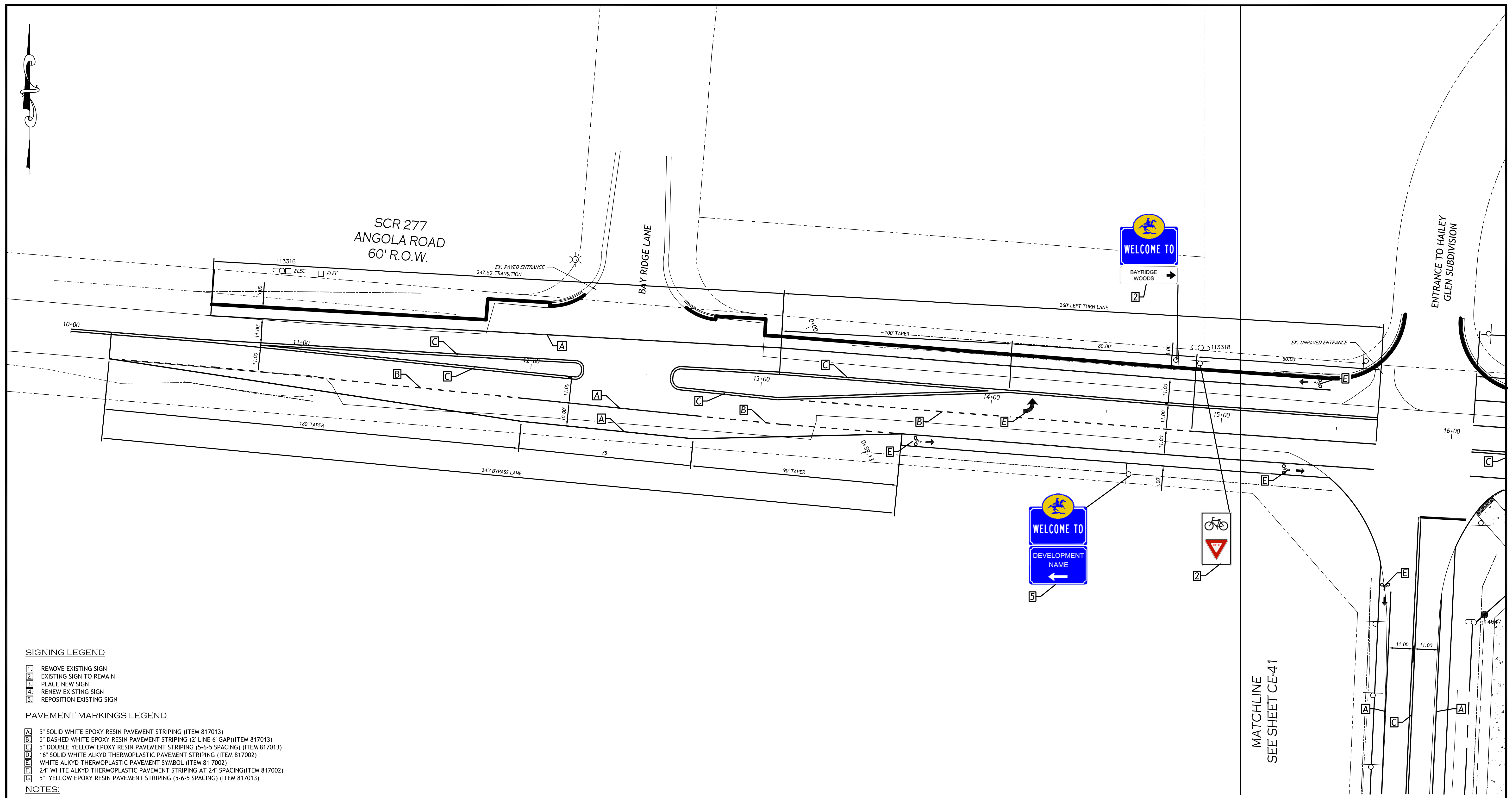
**Axiom Engineering L.L.C.**  
 18 CHESTNUT STREET  
 SUITE 200 DE 19947  
 (302) 855-0810  
 FAX: 855-0812  
 WWW.AXIOMENGS.COM

ENGINEER: MKC  
 DESIGNER: MKC  
 DRAFTER: EW  
 CHECKED BY: MKC  
 DATE: 11/19/2019  
 TAX MAP: 234-17-003.00 & 6.00



PROJECT NO: 0233-1702  
 DRAWING: CE-39  
 SHEET: 39 OF 43

SCALE: 1" = 5' HORIZONTAL AND VERTICAL



**SIGNING LEGEND**

- 1 REMOVE EXISTING SIGN
- 2 EXISTING SIGN TO REMAIN
- 3 PLACE NEW SIGN
- 4 RENEW EXISTING SIGN
- 5 REPOSITION EXISTING SIGN

**PAVEMENT MARKINGS LEGEND**

- A 5" SOLID WHITE EPOXY RESIN PAVEMENT STRIPING (ITEM 817013)
- B 5" DASHED WHITE EPOXY RESIN PAVEMENT STRIPING (2' LINE 6' GAP)(ITEM 817013)
- C 5" DOUBLE YELLOW EPOXY RESIN PAVEMENT STRIPING (5-6-5 SPACING) (ITEM 817013)
- D 16" SOLID WHITE ALKYD THERMOPLASTIC PAVEMENT STRIPING (ITEM 817002)
- E WHITE ALKYD THERMOPLASTIC PAVEMENT SYMBOL (ITEM 817002)
- F 24" WHITE ALKYD THERMOPLASTIC PAVEMENT STRIPING AT 24" SPACING(ITEM 817002)
- G 5" YELLOW EPOXY RESIN PAVEMENT STRIPING (5-6-5 SPACING) (ITEM 817013)

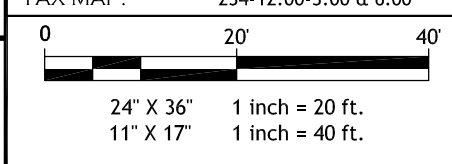
**NOTES:**

1. FOR FINAL AND PERMANENT MARKINGS, EPOXY RESIN PAINT SHALL REQUIRED FOR LONG LINE STRIPING AND THERMO WILL BE REQUIRED FOR ALL STOP BARS, ALL DIRECTIONAL ARROWS AND SYMBOLS/LEGENDS.
2. BREAKAWAY POSTS (DELDOT STANDARD DETAIL 5-1) WILL BE REQUIRED WHEN INSTALLING ALL SIGNS.
3. ALL STOP BARS SHALL BE 16" WIDE WHITE LINE.

REV	DESCRIPTION OF REVISION	REVISED BY/DATE	CHECKED BY/DATE

ENGINEER:	KRC
DESIGNER:	KRC
DRAFTER:	EJW
CHECKED BY:	KRC
DATE:	11/15/2019
TAX MAP:	234-12.00-3.00 B 6.00

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF AND APPURTENANT.



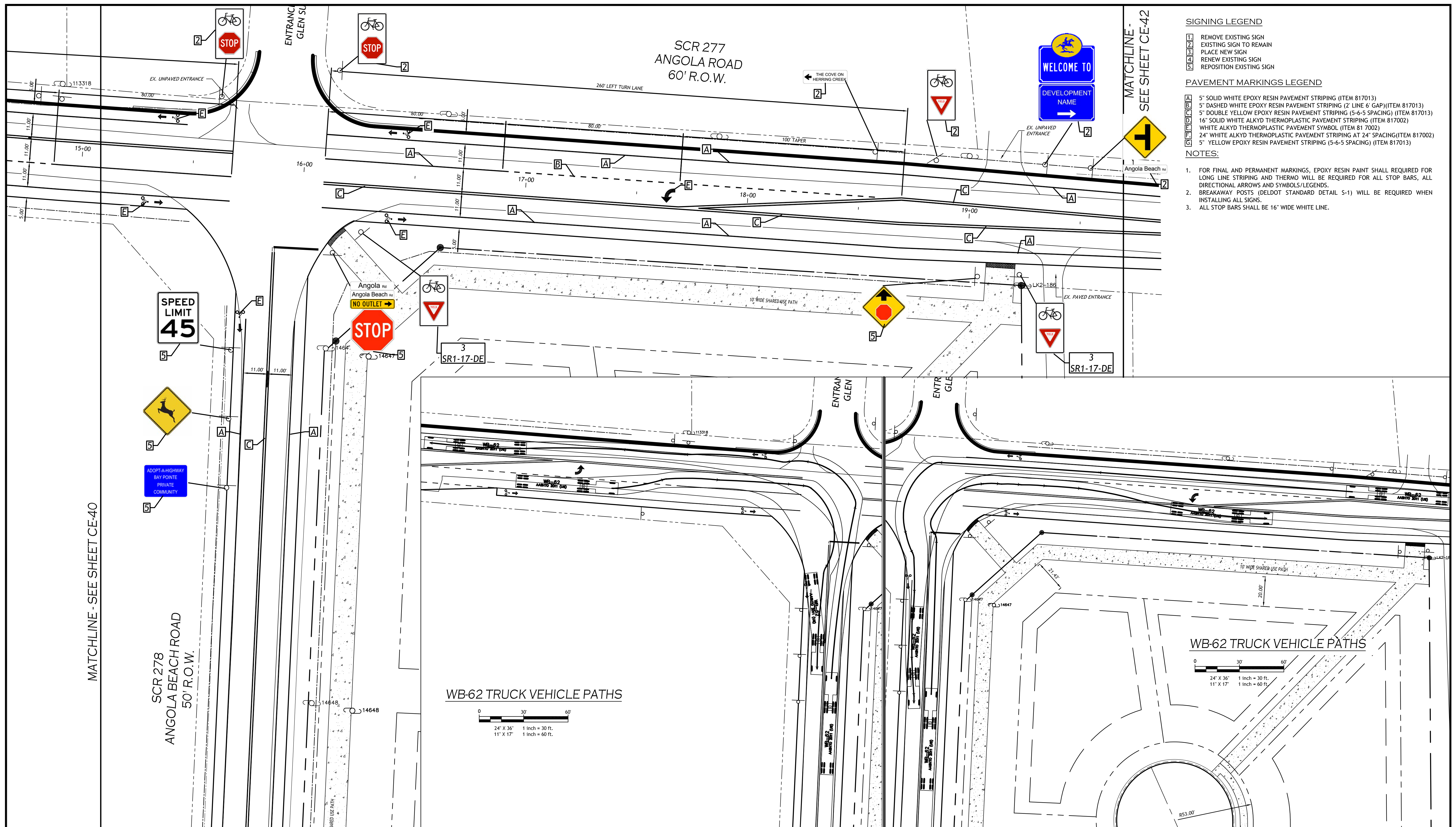
SEAL

**AXIOM ENGINEERING L.L.C.**  
 18 CHESTNUT STREET  
 GEORGETOWN, DE 19947  
 (302) 855-0810  
 FAX: 855-0812  
 E-MAIL: AXIOM@AXENG.COM  
 WEB: WWW.AXENG.COM

**ANGOLA ROAD SIGNAGE & STRIPING**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEPT @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

PROJECT NO:	0233-1702
DRAWING:	CE-40
SHEET:	40 OF 43





**SIGNING LEGEND**

- 1 REMOVE EXISTING SIGN
- 2 EXISTING SIGN TO REMAIN
- 3 PLACE NEW SIGN
- 4 RENEW EXISTING SIGN
- 5 REPOSITION EXISTING SIGN

**PAVEMENT MARKINGS LEGEND**

- A 5' SOLID WHITE EPOXY RESIN PAVEMENT STRIPING (ITEM 817013)
- B 5' DASHED WHITE EPOXY RESIN PAVEMENT STRIPING (2' LINE & GAP) (ITEM 817013)
- C 5' DOUBLE YELLOW EPOXY RESIN PAVEMENT STRIPING (5-6-5 SPACING) (ITEM 817013)
- D 16' SOLID WHITE ALKYD THERMOPLASTIC PAVEMENT STRIPING (ITEM 817002)
- E WHITE ALKYD THERMOPLASTIC PAVEMENT SYMBOL (ITEM 81 7002)
- F 24" WHITE ALKYD THERMOPLASTIC PAVEMENT STRIPING AT 24" SPACING (ITEM 817002)
- G 5" YELLOW EPOXY RESIN PAVEMENT STRIPING (5-6-5 SPACING) (ITEM 817013)

**NOTES:**

- 1. FOR FINAL AND PERMANENT MARKINGS, EPOXY RESIN PAINT SHALL BE REQUIRED FOR LONG LINE STRIPING AND THERMO WILL BE REQUIRED FOR ALL STOP BARS, ALL DIRECTIONAL ARROWS AND SYMBOLS/LEGENDS.
- 2. BREAKAWAY POSTS (DELDOT STANDARD DETAIL S-1) WILL BE REQUIRED WHEN INSTALLING ALL SIGNS.
- 3. ALL STOP BARS SHALL BE 16" WIDE WHITE LINE.

MATCHLINE - SEE SHEET CE-40

SCR 278  
ANGOLA BEACH ROAD  
50' R.O.W.

MATCHLINE  
SEE SHEET CE-43

LOT  
6

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF AND APPURTENANT.

ENGINEER:	KRC
DESIGNER:	KRC
DRAFTER:	EJW
CHECKED BY:	KRC
DATE:	11/15/2019
TAX MAP:	234-12.00-3.00 B 6.00

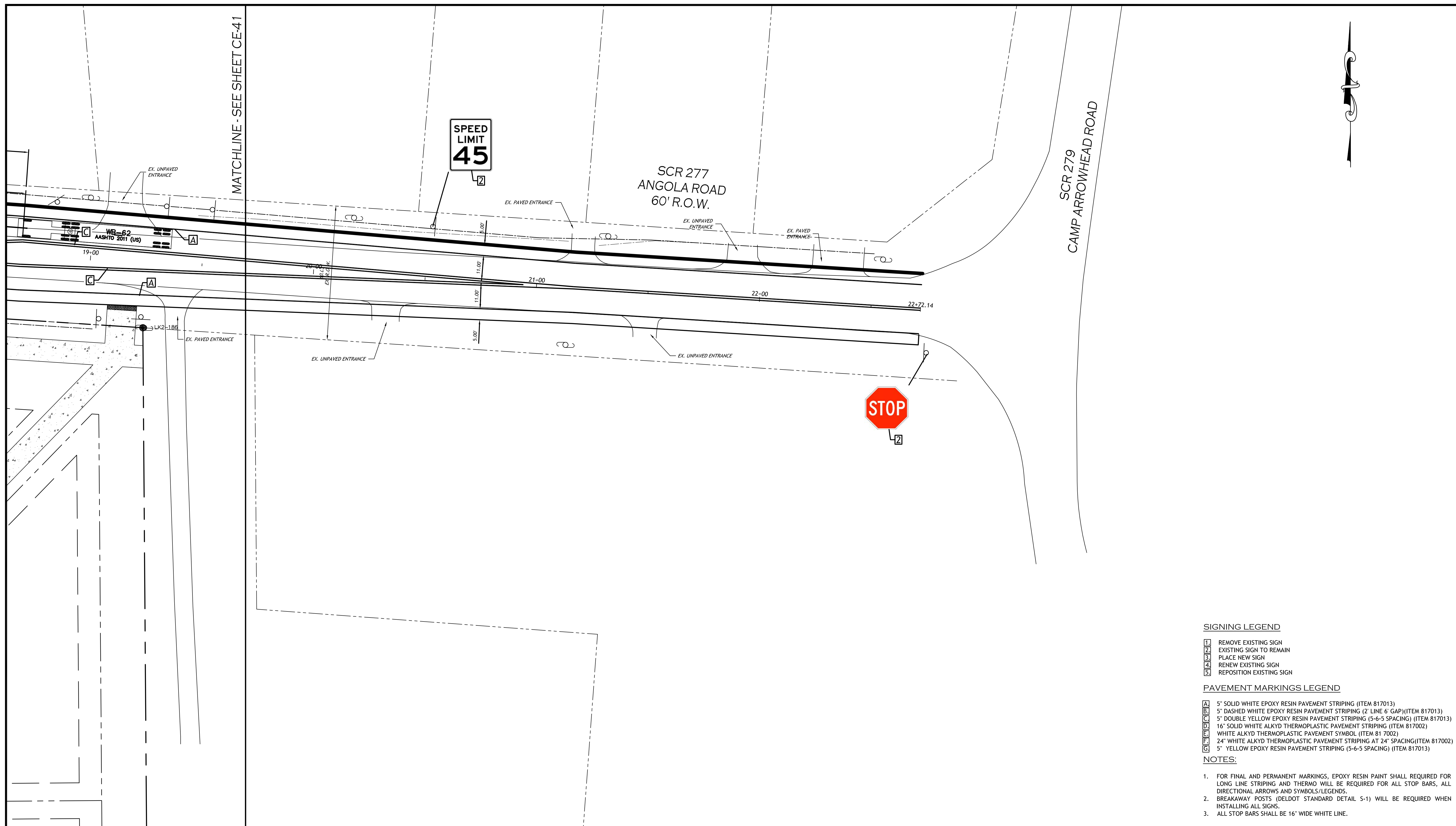
**AXIOM**  
ENGINEERING L.L.C.

18 CHESTNUT STREET  
GEORGETOWN, DE 19947  
(302) 855-0810  
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WEB: WWW.AXENG.COM

ANGOLA ROAD & ANGOLA BEACH ROAD SINGAGE & STRIPING  
S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEEP @ LEWES**  
RESIDENTIAL PLANNED COMMUNITY  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

PROJECT NO:	0233-1702
DRAWING:	CE-41
SHEET:	41 OF 43

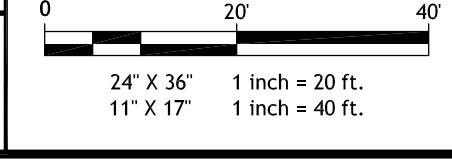
REV	DESCRIPTION OF REVISION	REVISED BY/DATE	CHECKED BY/DATE



REV	DESCRIPTION OF REVISION	REVISION BY/DATE	CHECKED BY/DATE

ENGINEER:	KRC
DESIGNER:	KRC
DRAFTER:	EJW
CHECKED BY:	KRC
DATE:	11/15/2019
TAX MAP:	234-12.00-3.00 & 6.00

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF AND APPURTENANT.



SEAL

**AXIOM**  
ENGINEERING L.L.C.

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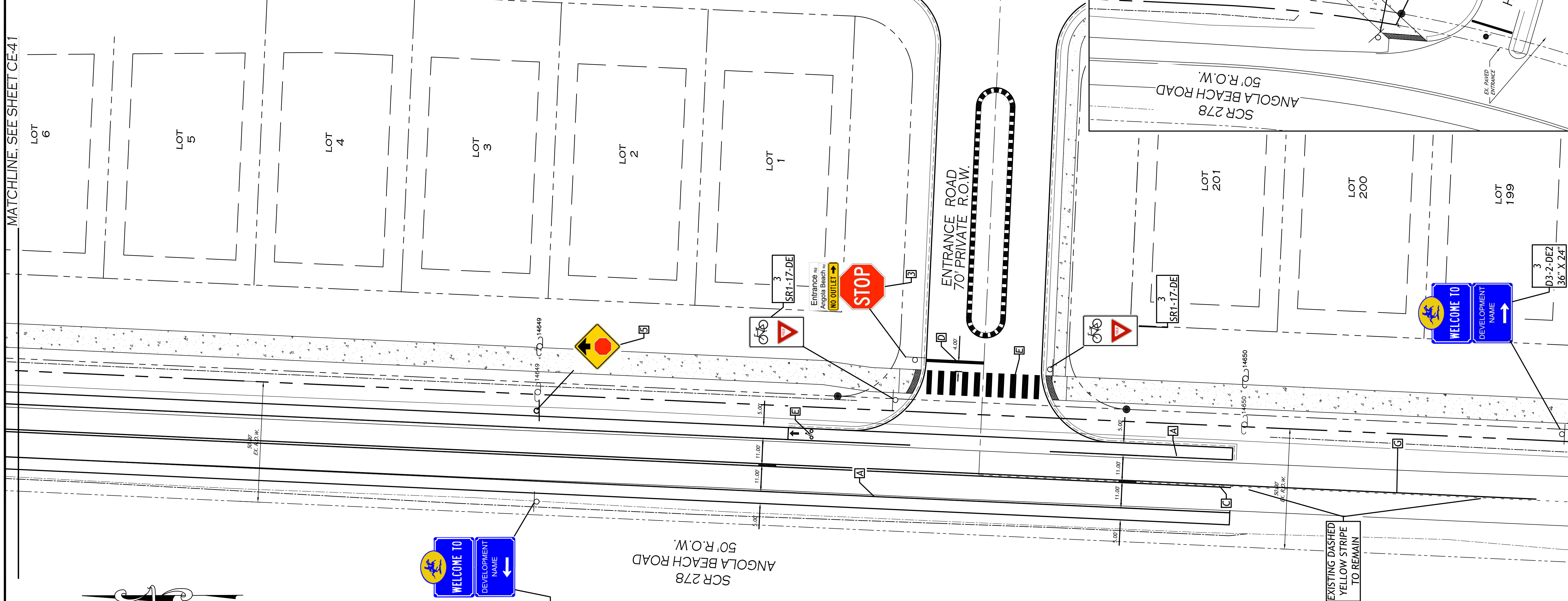
**ANGOLA ROAD SINGAGE & STRIPING**  
S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEEP @ LEWES**  
RESIDENTIAL PLANNED COMMUNITY  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

PROJECT NO:	0233-1702
DRAWING:	CE-42
SHEET:	42 OF 43

- SIGNING LEGEND**
- 1 REMOVE EXISTING SIGN
  - 2 EXISTING SIGN TO REMAIN
  - 3 PLACE NEW SIGN
  - 4 RENEW EXISTING SIGN
  - 5 REPOSITION EXISTING SIGN
- PAVEMENT MARKINGS LEGEND**
- A 5" SOLID WHITE EPOXY RESIN PAVEMENT STRIPING (ITEM 817013)
  - B 5" DASHED WHITE EPOXY RESIN PAVEMENT STRIPING (2" LINE 6" GAP)(ITEM 817013)
  - C 5" DOUBLE YELLOW EPOXY RESIN PAVEMENT STRIPING (5-6-5 SPACING) (ITEM 817013)
  - D 16" SOLID WHITE ALKYL THERMOPLASTIC PAVEMENT STRIPING (ITEM 817002)
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  - G 5" YELLOW EPOXY RESIN PAVEMENT STRIPING (5-6-5 SPACING) (ITEM 817013)
- NOTES:**
1. FOR FINAL AND PERMANENT MARKINGS, EPOXY RESIN PAINT SHALL REQUIRED FOR LONG LINE STRIPING AND THERMO WILL BE REQUIRED FOR ALL STOP BARS, ALL DIRECTIONAL ARROWS AND SYMBOLS/LEGENDS.
  2. BREAKAWAY POSTS (DELDOT STANDARD DETAIL 5-1) WILL BE REQUIRED WHEN INSTALLING ALL SIGNS.
  3. ALL STOP BARS SHALL BE 16" WIDE WHITE LINE.

MATCHLINE, SEE SHEET CE-41

- SIGNING LEGEND**
- 1 REMOVE EXISTING SIGN
  - 2 EXISTING SIGN TO REMAIN
  - 3 PLACE NEW SIGN
  - 4 RENEW EXISTING SIGN
  - 5 REPOSITION EXISTING SIGN
- PAVEMENT MARKINGS LEGEND**
- A 5" SOLID WHITE EPOXY RESIN PAVEMENT STRIPING (ITEM 817013)
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  - BREAKAWAY POSTS (DELDOT STANDARD DETAIL S-1) WILL BE REQUIRED WHEN INSTALLING ALL SIGNS.
  - ALL STOP BARS SHALL BE 16" WIDE WHITE LINE.



REV	DESCRIPTION OF REVISION	REVISED BY/DATE	CHECKED BY/DATE

3 D3-2-DE2 36" X 24"

WELCOME TO DEVELOPMENT NAME

ANGOLA BEACH ROAD 50' R.O.W.

ENTRANCE ROAD 70' PRIVATE R.O.W.

3 SR1-17-DE

STOP

NO OUTLET

Entrance to Angola Beach

5

14449

14650

14650

14650

EXISTING DASHED YELLOW STRIPE TO REMAIN

ENGINEER: KRC

DESIGNER: KRC

DRAFTER: EJW

CHECKED BY: KRC

DATE: 11/15/2019

TAX MAP: 234-12.00-3.00 & 6.00

0 20 40

24" X 36" 1 inch = 20 ft.

11" X 17" 1 inch = 40 ft.

SEAL

**AXIOM ENGINEERING L.L.C.**

18 CHESTNUT STREET  
GEORGETOWN, DE 19947  
(302) 855-0810  
FAX: 855-0812  
E-MAIL: AXIOM@AXENG.COM  
WEB: WWW.AXENG.COM

ANGOLA ROAD & ANGOLA BEACH ROAD SINGAGE & STRIPING

S.C.R. 278 - ANGOLA BEACH ROAD  
**WINDSWEPT @ LEWES**  
RESIDENTIAL PLANNED COMMUNITY  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

PROJECT NO: 0233-1702

DRAWING: CE-43

SHEET: 43 OF 43

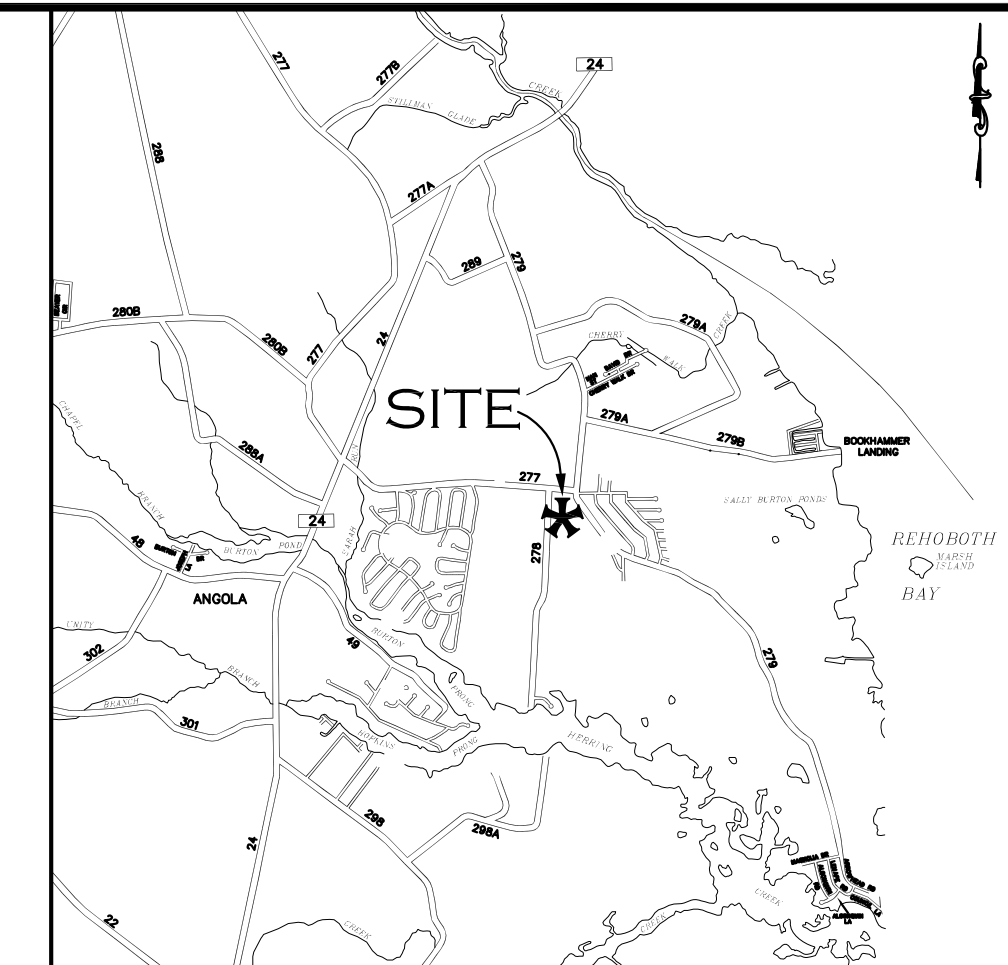
**NOTES:**

- FORESTED BUFFERS, STREETS, STORMWATER MANAGEMENT FACILITIES AND OTHER COMMON AREAS SHALL BE MAINTAINED BY THE DEVELOPER UNTIL SUCH TIME AS A HOMEOWNERS ASSOCIATION CAN PROVIDE FOR REQUIRED MAINTENANCE. SUSSEX COUNTY AND THE STATE OF DELAWARE ASSUME NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE FACILITIES WITHIN THE SITE.
- ACCESS TO LOTS SHALL BE PROVIDED FROM THE SUBDIVISION STREETS PROPOSED WITH THIS PLAN. NO DIRECT ACCESS TO PUBLIC STREETS IS PROPOSED EXCEPT THE ENTRANCE SPECIFICALLY SHOWN ON THIS PLAN.
- BASED UPON FLOOD INSURANCE RATE MAP (FIRM) NUMBER 10005C0431K, DATED MARCH 16, 2015; THE ENTIRE PROPERTY IS LOCATED IN AN AREA DESIGNATED AS ZONE "X" (UNSHADED), WHICH IS AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
- THE BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM A FIELD SURVEY PREPARED BY AXIOM ENGINEERING, LLC IN MARCH 2018. HORIZONTAL CONTROL IS REFERENCED TO NAD 83 STATE PLANE GRID, VERTICAL CONTROL IS REFERENCED TO NAVD 88.
- ALL SUBDIVISION LOTS SHALL HAVE FIVE-FOOT-WIDE EASEMENTS ALONG ALL LOT LINES FOR A TOTAL EASEMENT WIDTH OF AT LEAST TEN (10) FEET ALONG A LOT LINE COMMON TO TWO LOTS. EASEMENTS ALONG PERIMETER BOUNDARIES OF THE SUBDIVISION SHALL BE TEN (10) FEET IN WIDTH ON THE INTERIOR SIDE OF THE BOUNDARY. NO BUILDING, STRUCTURE OR OTHER PERMANENT OBSTRUCTION SHALL BE PLACED IN ANY EASEMENT.
- THIS PLAN DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHT-OF-WAYS CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS PROVIDED.
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
- THE LANDSCAPE PLAN FOREST AND/OR LANDSCAPE BUFFER PLANS SHALL BE INSTALLED WITHIN 18 MONTHS FROM THE DATE SITE WORK IS AUTHORIZED TO COMMENCE. IF THE SUBDIVISION IS TO BE CONSTRUCTED IN PHASES, THE BUFFER FOR EACH PHASE MUST BE COMPLETED BEFORE COUNTY APPROVALS OR PERMITS WILL BE GRANTED TO CONSTRUCT THE NEXT PHASE.
- BUS STOPS SHALL BE LOCATED AT THE DISCRETION OF THE CAPE HENLOPEN SCHOOL DISTRICT.

# WINDSWEPT @ LEWES

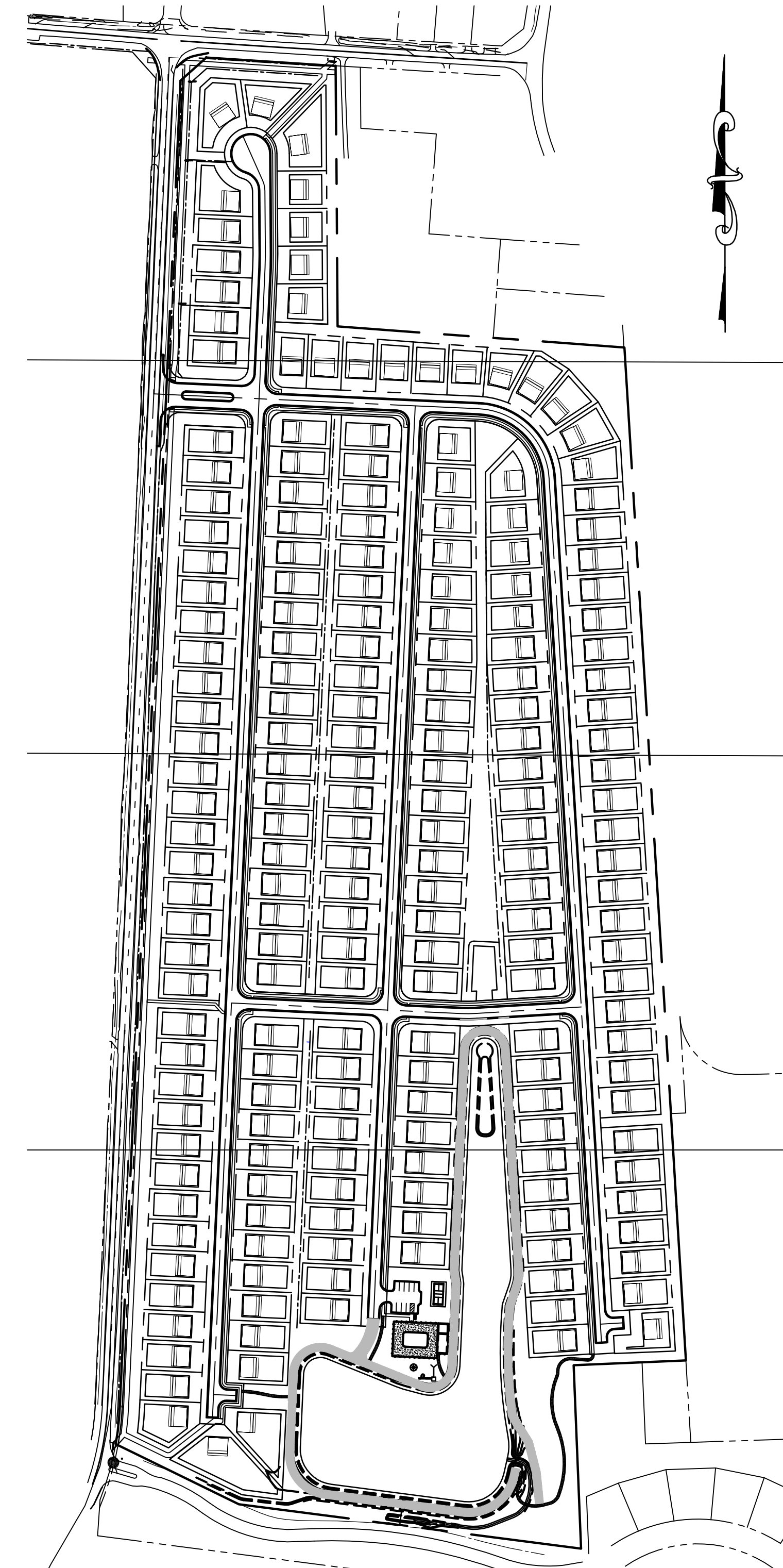
## RESIDENTIAL PLANNED COMMUNITY

### DETAIL GRADING PLAN SET



VICINITY MAP  
SCALE: 1" = 1 MILE

DETAIL GRADING PLAN SHEET INDEX			
SHEET NUMBER	SHEET TITLE	ORIGINAL DATE	REVISION DATE
DGP-1	DETAIL GRADING PLAN COVER SHEET	4/1/2020	4/21/2020
DGP-2	DETAIL GRADING PLAN	4/1/2019	4/21/2020
DGP-3	DETAIL GRADING PLAN	4/1/2020	4/21/2020
DGP-4	DETAIL GRADING PLAN	4/1/2019	4/21/2020
DGP-5	DETAIL GRADING PLAN	4/1/2019	4/21/2020



**SITE DATA:**

**OWNER:** DAWN DORMAN, KELLY DORMAN, MARLENE HARNOY  
22542 JOHN J WILLIAMS HWY  
LEWES, DE, 19958

**EQUITABLE OWNER/DEVELOPER:** BOARDWALK DEVELOPMENT, LLC  
C/O JOSEPH REED  
317 REHOBOTH AVENUE  
REHOBOTH BEACH, DE 19971  
jreedre@gmail.com

**TAX MAP DEED REFERENCE:** 234-12.00-3.00 & 6.00  
08 4061 - PG 188

**STATE INVESTMENT LEVEL:** 3

**TRANSPORTATION IMPROVEMENT DISTRICT:** N/A

**HIGHWAY FUNCTIONAL CLASSIFICATION/POSTED SPEED LIMIT:** SCR 278-ANGOLA BEACH ROAD-LOCAL-45 MPH  
SCR 277-ANGOLA ROAD - LOCAL - 45 MPH  
SUSSEX COUNTY / GR-RPC (CZ # 1859)

**ZONING JURISDICTION/CURRENT ZONING:** AGRICULTURAL

**EXISTING USE:** SINGLE FAMILY DETACHED HOUSING

**PROPOSED USE:** 201 PROPOSED

**PROPOSED RESIDENTIAL LOTS DENSITY:** 3.37 DWELLING UNITS/ACRE

**REQUIRED LOT SIZE:** 60' MIN. WIDTH  
100' MIN. DEPTH  
7,500 SQ. FT. MIN. AREA

**BUILDING SETBACKS:** FRONT 25'  
CORNER 15'  
SIDE 8'  
REAR 10'

\* REDUCED LOT WIDTH, LOT AREA AND SETBACKS APPROVED WITH RPC CHANGE OF ZONE (CZ # 1859)

**PROPOSED BUILDING HEIGHT:** 42' MAX.

**SITE AREA CALCULATIONS:** DEDICATION TO STATE OF DELAWARE 0.32± AC.  
AREA TO TRANSFER TO BAY POINT SUBDIVISION 0.34± AC.  
PRIVATE ROAD R.O.W. 9.07± AC.  
LOTS 35.73± AC.  
OPEN SPACE 14.51± AC. (24%)  
TOTAL SITE AREA 59.97± AC.

**OPEN SPACE CALCULATIONS:** STORMWATER MANAGEMENT AREA 4.78± AC.  
EXISTING FOREST TO REMAIN 0.98± AC.  
FOREST BUFFER TO BE PLANTED 3.77± AC.  
DELDOT PERMANENT EASEMENT (SHARED USE PATH) 1.06± AC.  
OTHER OPEN SPACE 3.94± AC.

**PROPERTY IS PRESENTLY 2% FORESTED:** FOREST TO REMAIN 1.15± AC.  
FOREST CLEARED 0.49± AC.  
TOTAL FOREST ON PROPERTY 1.64± AC.

**WATER SUPPLY:** TIDEWATER UTILITIES

**SEWAGE DISPOSAL:** SUSSEX COUNTY

DETAIL GRADING PLAN COVER SHEET  
CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEPT @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM ENGINEERING L.L.C.**  
18 CHESTNUT STREET  
LEWES, DE 19947  
(302) 855-0811  
FAX: (302) 855-0812  
WWW.AXIOMENGS.COM

**LEGEND**

EX. PROPERTY LINE	CONCRETE MONUMENT FOUND
PROPOSED SUBDIVISION LINE	IRON PIPE FOUND
EX. ADJACENT PROPERTY LINES	REBAR FOUND
EX. 404 WETLANDS	REBAR SET
EX. MINOR CONTOUR	BENCHMARK
EX. MAJOR CONTOUR	FEMA FLOODPLAIN BOUNDARY
EX. BUILDING RESTRICTION LINES	STATE (TIDAL) WETLANDS
EX. ROAD CENTERLINE	PR. CONTOUR
EX. EASEMENT	PR. BUILDING RESTRICTION LINES
EX. BUILDING	PR. ROAD CENTERLINE
EX. SWALE	PR. EASEMENT
EX. SIDEWALK	PR. BUILDING
EX. CURB	PR. SWALE
EX. STORM SEWER	PR. SIDEWALK
EX. SANITARY SEWER	PR. CURB
EX. WOODS LINE	PR. STORM SEWER CL.
EX. WATER LINE	PR. SANITARY SEWER
EX. WELL	PR. WOODS LINE
TRAFFIC SIGN	PR. WATER LINE
EX. ZONING BOUNDARY	PR. WELL
EX. ELECTRIC LINES UTILITIES	PR. PARKING SPACE COUNTS
EX. UTILITY POLES/LIGHT POLES	PR. SPOT ELEVATION
EX. FENCE	PROPOSED DRAINAGE FLOW
EX. SPOT ELEVATION	PR. INLET PROTECTION
PR. DELDOT ENTRANCE PAVING	PR. CULVERT INLET PROTECTION
PR. ROTOMILL 1 1/4" & OVERLAY	ROCK OUTLET PROTECTION
SOIL BORING	PR. FOREBAY
TEST PIT	CONSTRUCTION ENTRANCE
EX. STREAM	LIMIT OF DISTURBANCE
DRAINAGE DIVIDES	SILT FENCE
TIME OF CONCENTRATION	

**EQUITABLE OWNER'S CERTIFICATION:**  
I HEREBY CERTIFY THAT I AM THE EQUITABLE OWNER OF THE PROPERTY SHOWN AND DESCRIBED ON THIS PLAN, AND THAT THE SUBDIVISION SHOWN REPRESENTS MY ACT, AND THAT I DESIRE THE PROPERTY TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES AND REGULATIONS.

I, THE UNDERSIGNED, FURTHER CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHOULD BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E., BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ONSITE REVIEWS, AND I UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT, AS REFERENCED ON SHEET ESC-1 OF THESE PLANS.

BOARDWALK DEVELOPMENT, LLC - C/O JOSEPH REED DATE  
317 REHOBOTH AVENUE - REHOBOTH BEACH, DE 19971 - (302) 430-4060 - jreedre@gmail.com

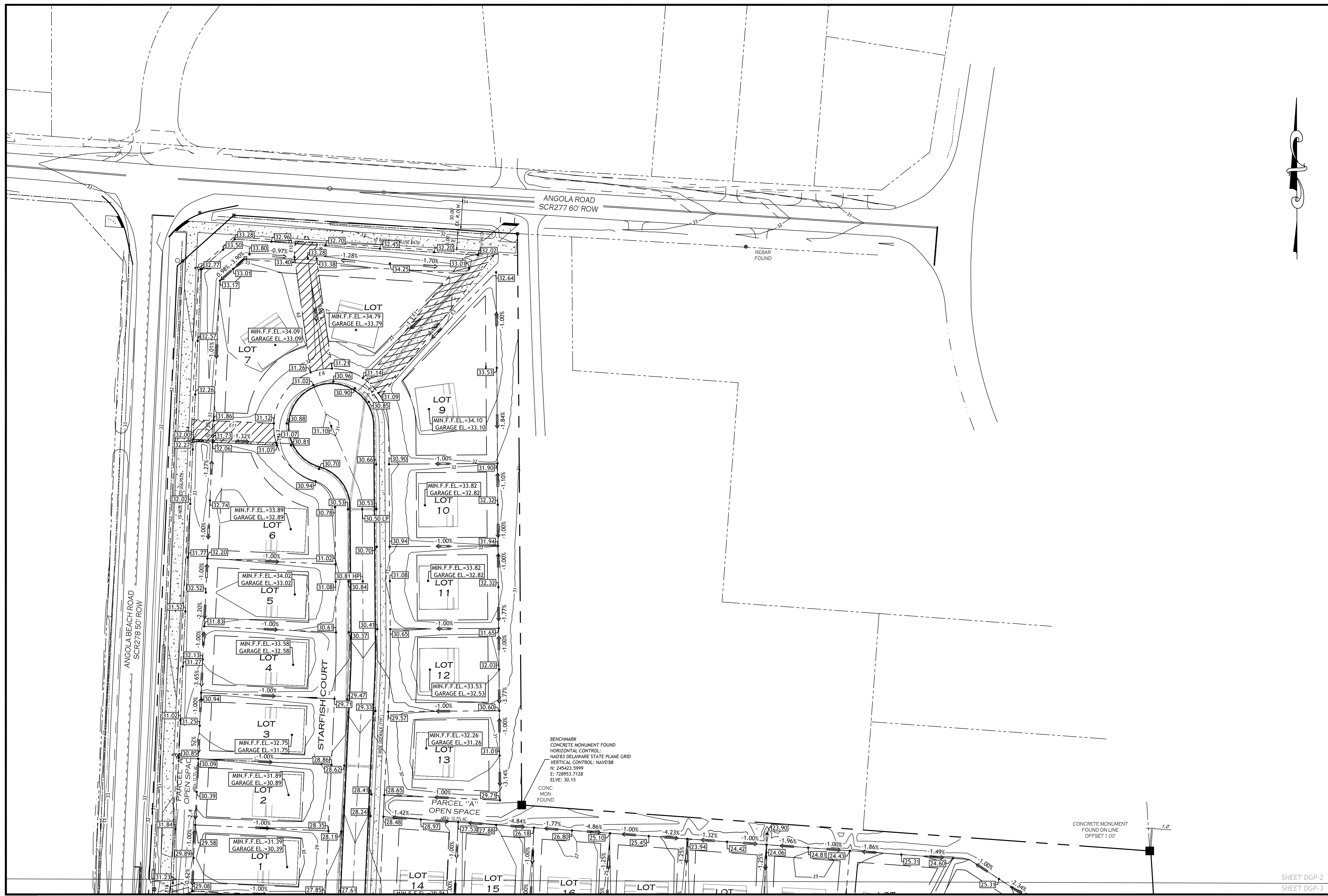
**ENGINEER'S CERTIFICATION:**  
I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED PROFESSIONAL STANDARDS AND PRACTICES AND BY THE SUSSEX COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.

KENNETH R. CHRISTENBURY, P.E. - DE. LICENSE NO. 11553-EXPIRES 6/30/2020 DATE

SUSSEX COUNTY ENGINEERING DEPARTMENT APPROVAL - AGREEMENT #1099

HANS MEDLARZ, P.E. - SUSSEX COUNTY ENGINEER DATE

ENGINEER: KRC	DATE: 4/1/2020
DESIGNER: KRC	TAX MAP: 234-12.00-3.00 & 6.00
DRAFTER: EW	
CHECKED BY: KRC	
PROJECT NO: 0233-1702	
DRAWING: DGP-1	
SHEET: 1 OF 5	

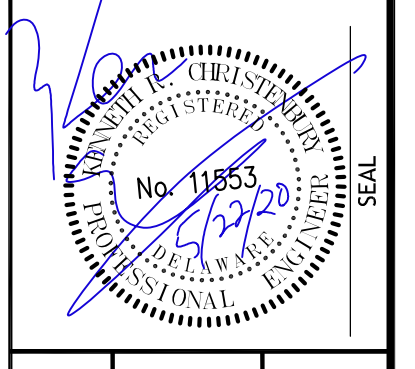


REV	DESCRIPTION OF REVISION	DATE	BY
1	REVISED PER AGENCY COMMENTS	02/17/2020	JK
2	REVISED PER AGENCY COMMENTS	02/17/2020	JK
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20	REVISED PER AGENCY COMMENTS	02/17/2020	JK

**DETAIL GRADING PLAN**  
 CZ #1859 - COUNTY AGREEMENT #1099  
**WINDSWEEP @ LEWES R.P.C.**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

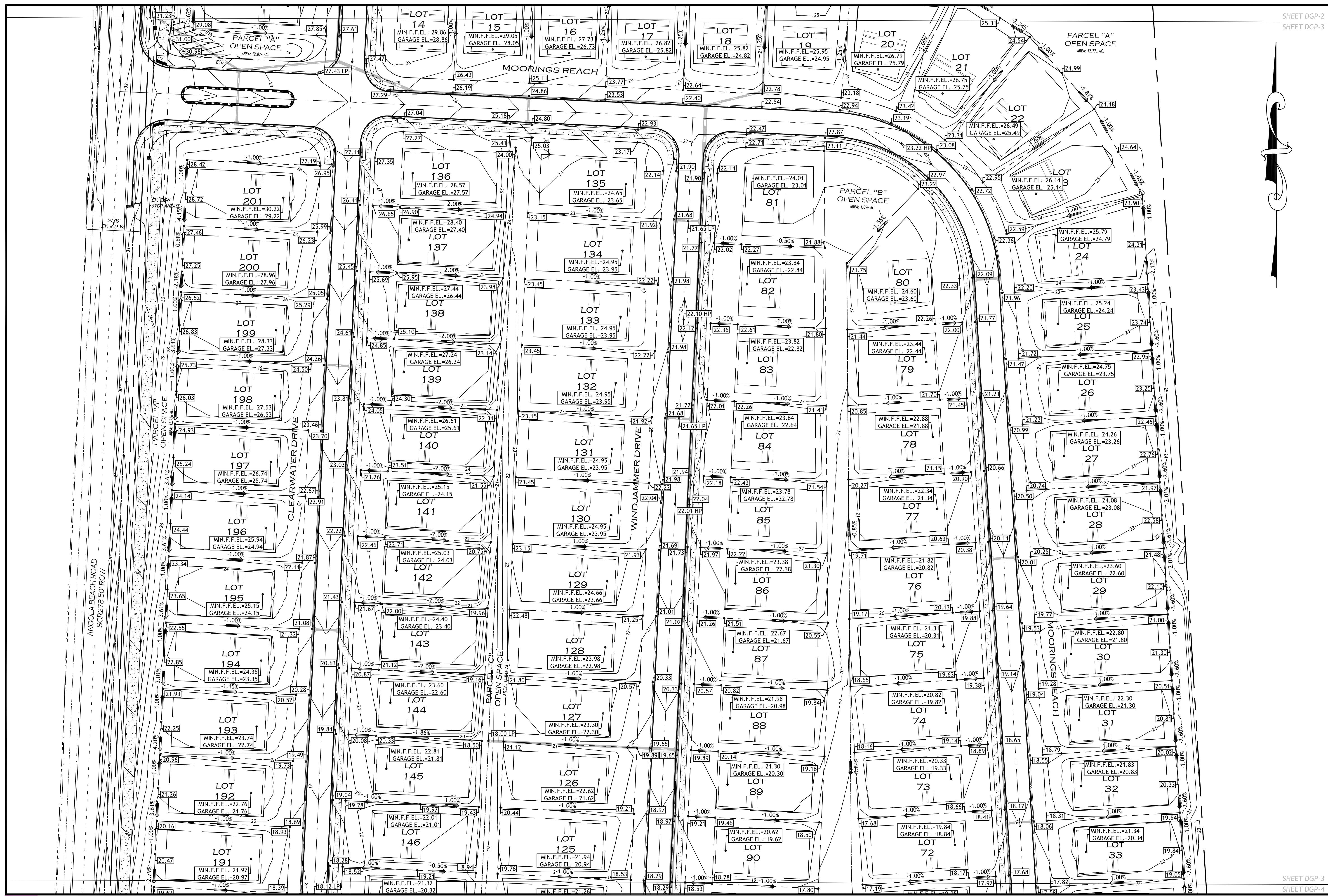
**AXIOM ENGINEERING L.L.C.**  
 18 CHESTNUT STREET  
 DEW 19047  
 (302) 855-0810  
 FAX: 855-0812  
 WWW.AXIOMENGS.COM

ENGINEER:	JK
DESIGNER:	JK
DRAWN BY:	EW
CHECKED BY:	JK
DATE:	4/1/2019
TAX MAP:	28412.003.00 & 6.00



PROJECT NO:	0233-1702
DRAWING:	DGP-2
SHEET:	2 OF 5

SHEET DGP-2  
 SHEET DGP-3



SHEET DGP-2  
SHEET DGP-3

REV	DESCRIPTION OF REVISION
1	REVISED PER AGENCY COMMENTS
2	REVISED PER AGENCY COMMENTS
3	REVISED PER AGENCY COMMENTS
4	REVISED PER AGENCY COMMENTS
5	REVISED PER AGENCY COMMENTS

**DETAIL GRADING PLAN**  
 CZ #1859 - COUNTY AGREEMENT #1099  
**WINDSWEPT @ LEWES R.P.C.**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

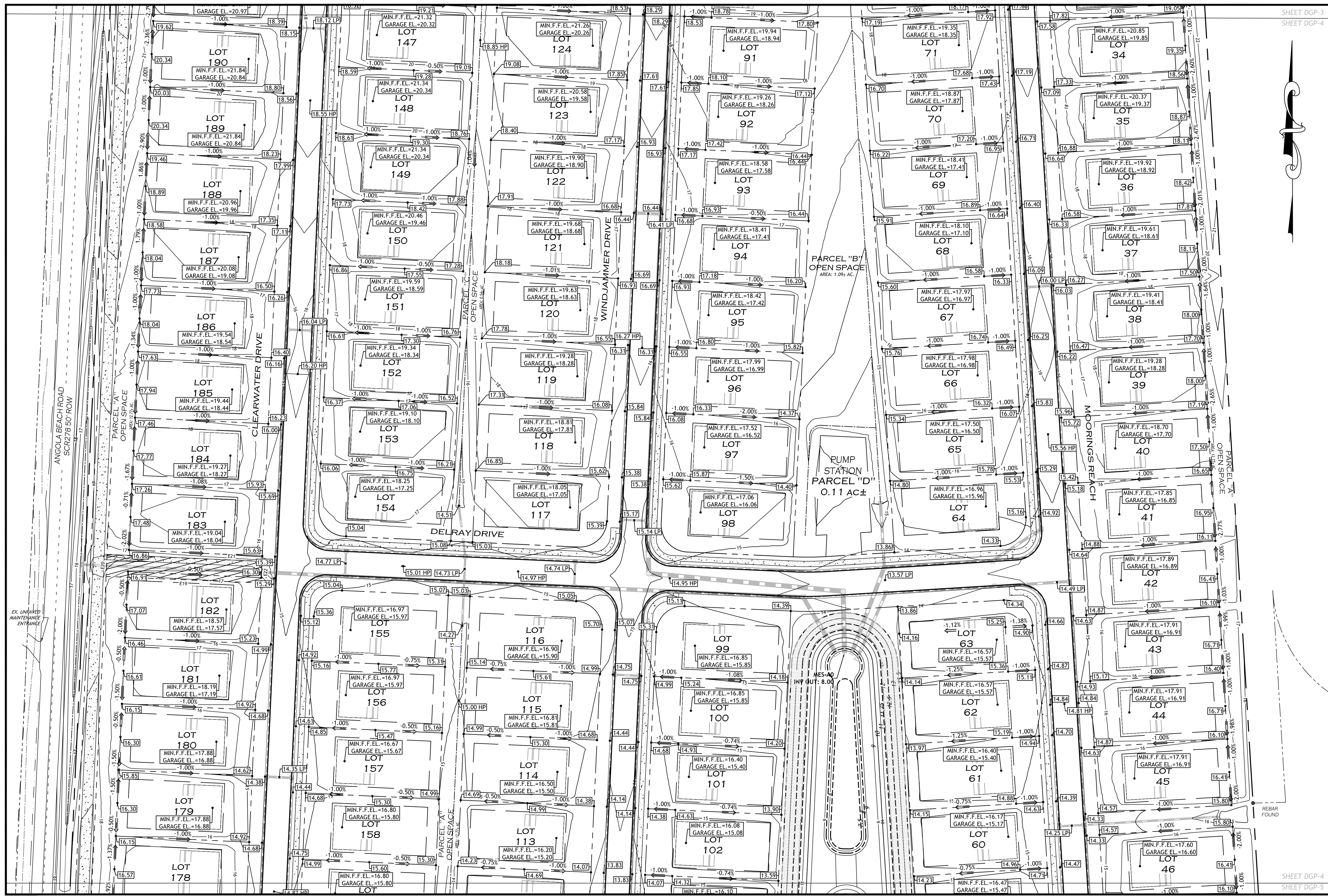
**AXIOM ENGINEERING L.L.C.**  
 18 CHESTNUT STREET  
 SUITE 200 DE 19847  
 WILMINGTON, DE 19804  
 TEL: 302.855.0812  
 FAX: 302.855.0813  
 WWW.AXIOMENGINEERING.COM

ENGINEER: MKC  
 DESIGNER: MKC  
 DRAFTER: EW  
 CHECKED BY: MKC  
 DATE: 6/1/2019  
 TAX MAP: 234-12,003,00 & 6,00

24" X 36" 1 inch = 40 ft.  
 11" X 17" 1 inch = 80 ft.

PROJECT NO: 0233-1702  
 DRAWING: DGP-3  
 SHEET: 3 OF 5

SHEET DGP-3  
SHEET DGP-4

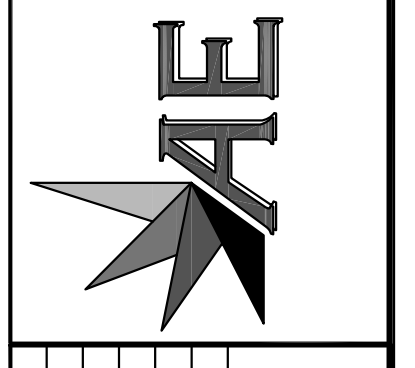


SHEET DGP-3  
SHEET DGP-4

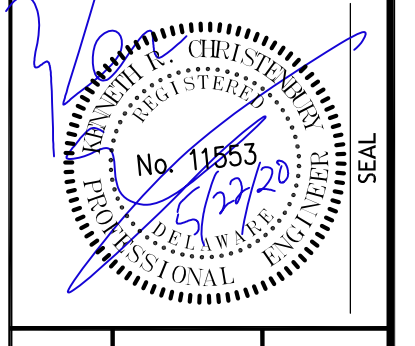
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2	REVISED PER AGENCY COMMENTS	09/17/2019	ELI/BJR
3	REVISED PER AGENCY COMMENTS	09/17/2019	ELI/BJR

**DETAIL GRADING PLAN**  
 CZ #1859 - COUNTY AGREEMENT #1099  
**WINDSWEPT @ LEWES R.P.C.**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

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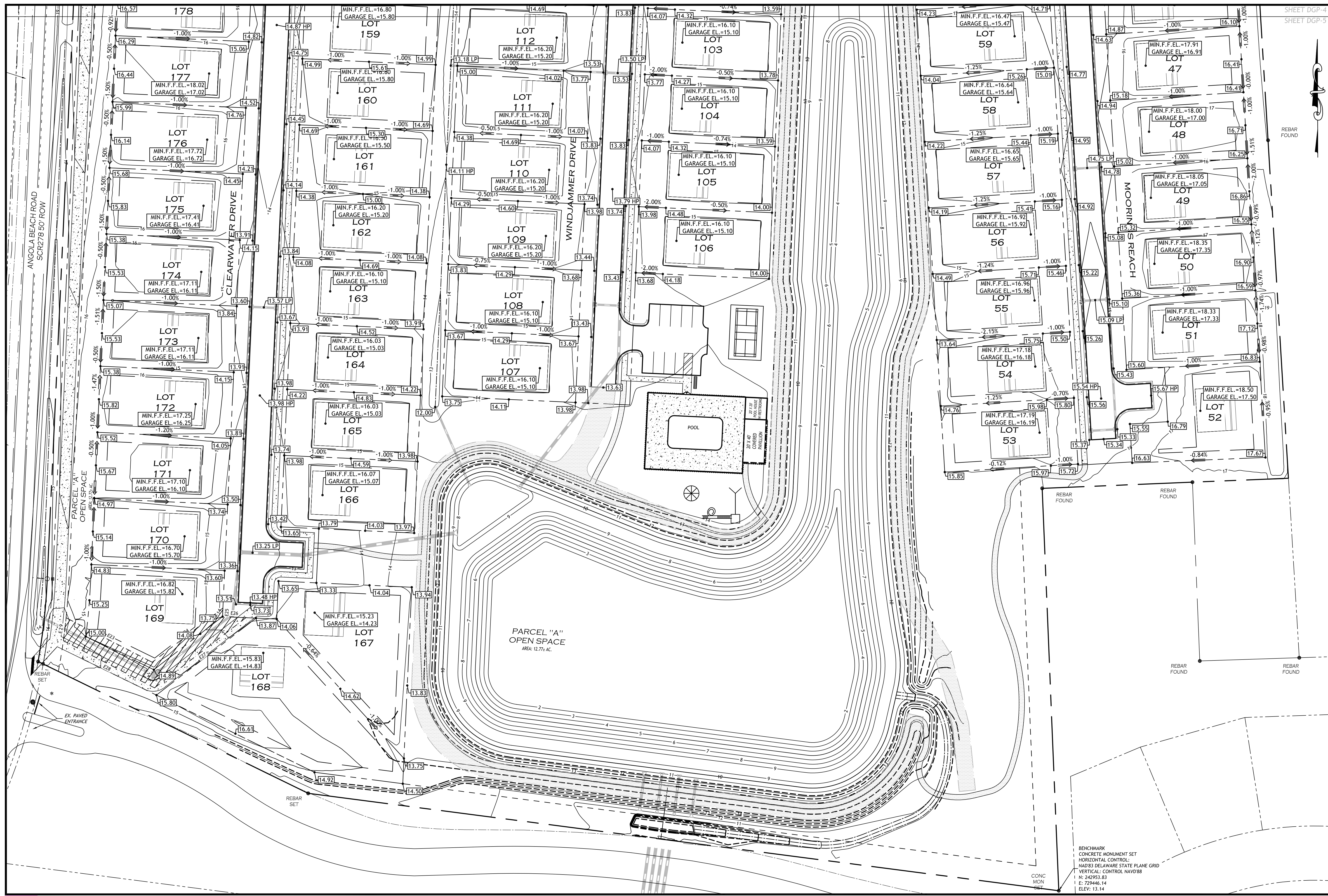


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DESIGNER:	ELI/BJR
DRAWN BY:	ELI/BJR
CHECKED BY:	ELI/BJR
DATE:	6/11/2019
TAX MAP:	28412.003.00 & 6.00



PROJECT NO: 0233-1702  
 DRAWING: DGP4  
 SHEET: 4 OF 5

SHEET DGP-4  
SHEET DGP-5



SHEET DGP-4  
SHEET DGP-5

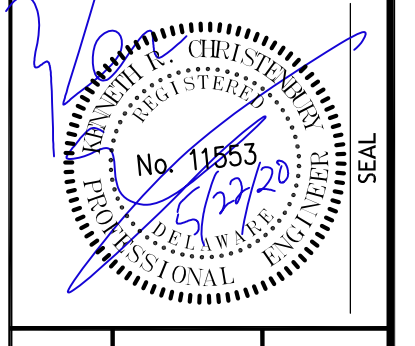
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142	REVISED PER AGENCY COMMENTS

**DETAIL GRADING PLAN**  
 CZ #1859 - COUNTY AGREEMENT #1099  
**WINDSWEPT @ LEWES R.P.C.**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM**  
 ENGINEERING L.L.C.  
 18 CHESTNUT STREET  
 SUITE 200 DE 19947  
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ENGINEER: MKC  
 DESIGNER: MKC  
 DRAFTER: EW  
 CHECKED BY: MKC  
 DATE: 4/1/2019  
 TAX MAP: 234-12,003,00 & 6,00

24" x 36" 1 inch = 40' PL.  
 11" x 17" 1 inch = 80' PL.



PROJECT NO: 0233-1702  
 DRAWING: DGP-5  
 SHEET: 5 OF 5

BENCHMARK  
 CONCRETE MONUMENT SET  
 HORIZONTAL CONTROL:  
 NAD83 DELAWARE STATE PLANE GRID  
 VERTICAL: CONTROL NAVD88  
 N: 242953.83  
 E: 727946.14  
 ELEV: 13.14



**PROJECT PHASING NOTES (SEE SHEET SWM-1 FOR PHASE BOUNDARIES):**

1. BUILDING PERMITS MAY BE ISSUED IN PHASE 1-A UPON COMPLETION OF THE FOLLOWING TO THE SATISFACTION OF THE SUSSEX CONSERVATION DISTRICT AND THE SUSSEX COUNTY ENGINEERING DEPARTMENT:
  - 1.1. TEMPORARY CONSTRUCTION ENTRANCE AT LOT 178
  - 1.2. STORMWATER MANAGEMENT POND/SEDIMENT TRAP INCLUDING ALL FOREBAYS, FLARED ENDS AND STUBS OF INLET PIPES
  - 1.3. ROUGH GRADING AND STABILIZATION OF PHASE 1-B
  - 1.4. SANITARY SEWER PUMP STATION
  - 1.5. UPON SCD APPROVAL OF STABILIZATION OF PHASE 1-B COMMENCE THE FOLLOWING:
    - 1.5.1. GRAVITY SEWER FROM THE PUMP STATION THROUGH PHASES 2-A, 1-A & 2-B.
    - 1.5.2. SANITARY SEWER FORCE MAIN
    - 1.5.3. STORM SEWER FROM THE POND THROUGH PHASES 2-A, 1-A & 2-B
    - 1.5.4. WATER MAIN AND OTHER UTILITY INSTALLATION THROUGH PHASES 1-A & 2-B
    - 1.5.5. DETAILED GRADING OF PHASE 1-A
    - 1.5.6. FOREST BUFFERS ADJACENT TO PHASE 1-A LOTS
- 1.6. PHASE 1 ENTRANCE INCLUDING ITEMS A & B LISTED IN THE DELAWARE DEPARTMENT OF TRANSPORTATION (DELDOT) PHASING NOTES BELOW, CERTIFICATES OF OCCUPANCY SHALL NOT BE ISSUED UNTIL THE PHASE 1 ENTRANCE IMPROVEMENTS HAVE BEEN INSPECTED AND APPROVED BY THE DELAWARE DEPARTMENT OF TRANSPORTATION (DELDOT).
2. PHASE 2-A AND/OR 2-B CONSTRUCTION MAY COMMENCE AS SOON AS ADEQUATE PORTIONS OF PHASE 1 HAVE BEEN FULLY STABILIZED, AT THE DISCRETION OF THE SCD INSPECTOR.
3. THE REMAINING PHASES MAY BE MOBILIZED CONCURRENTLY PROVIDED NO MORE THAN 20 ACRES ARE DESTABILIZED AT ONE TIME. CONTRACTOR TO COORDINATE COMMENCEMENT OF ADDITIONAL PHASES WITH THE SUSSEX CONSERVATION DISTRICT AND THE SUSSEX COUNTY ENGINEERING DEPARTMENT INSPECTORS.
4. ALL AMENITIES SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE 75TH BUILDING PERMIT, INCLUDING THE POOL HOUSE, SWIMMING POOL, PAVILION, BIKE RACK, TOT LOT, SPORTS FIELD, & WALKING TRAILS.

**DELDOT PHASING NOTES**

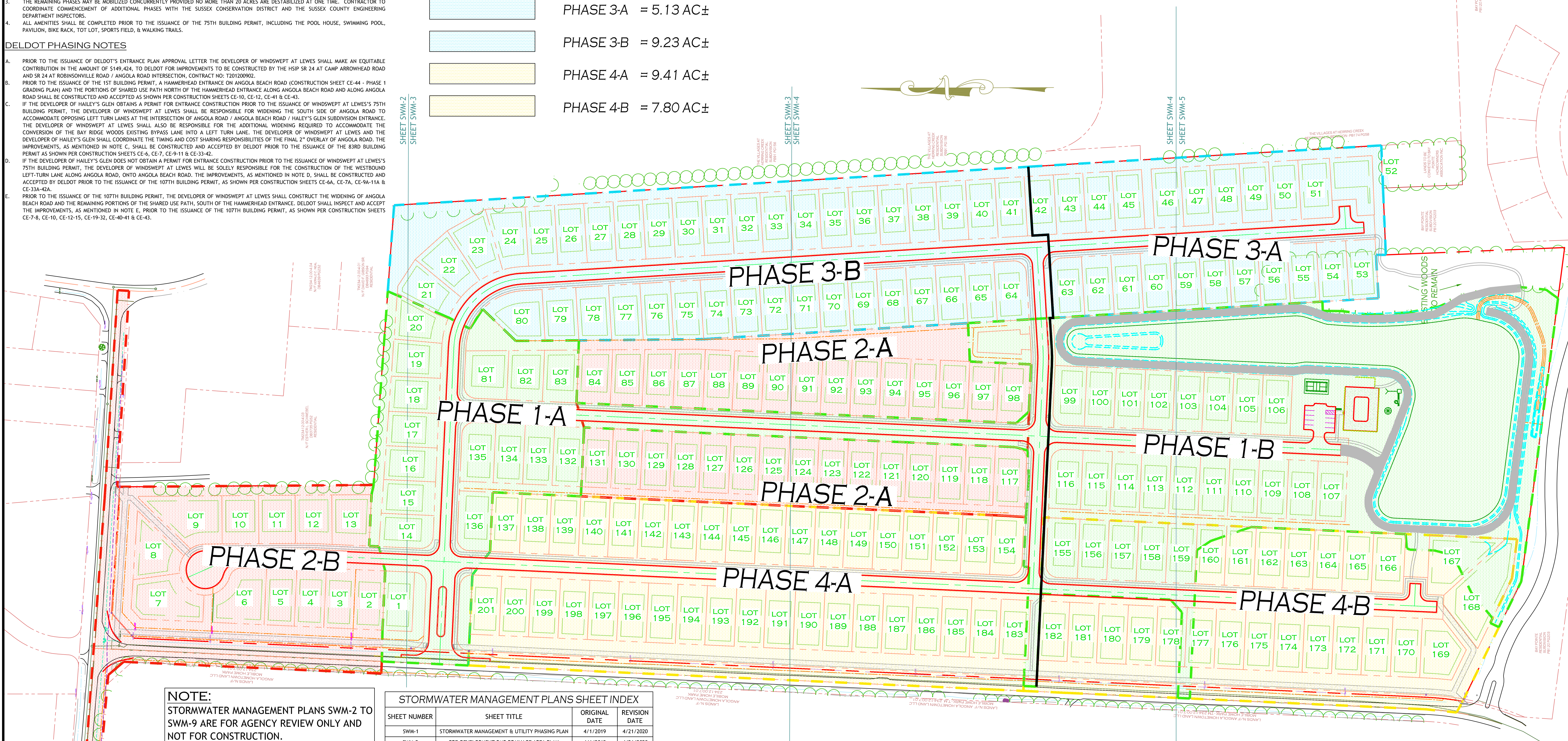
- A. PRIOR TO THE ISSUANCE OF DELDOT'S ENTRANCE PLAN APPROVAL LETTER THE DEVELOPER OF WINDSWEPT AT LEWES SHALL MAKE AN EQUITABLE CONTRIBUTION IN THE AMOUNT OF \$149,424, TO DELDOT FOR IMPROVEMENTS TO BE CONSTRUCTED BY THE HSP SR 24 AT CAMP ARROWHEAD ROAD AND SR 24 AT ROBINSONVILLE ROAD / ANGOLA ROAD INTERSECTION, CONTRACT NO: T201200902.
- B. PRIOR TO THE ISSUANCE OF THE 1ST BUILDING PERMIT, A HAMMERHEAD ENTRANCE ON ANGOLA BEACH ROAD (CONSTRUCTION SHEET CE-44 - PHASE 1 GRADING PLAN) AND THE PORTIONS OF SHARED USE PATH NORTH OF THE HAMMERHEAD ENTRANCE ALONG ANGOLA BEACH ROAD AND ALONG ANGOLA ROAD SHALL BE CONSTRUCTED AND ACCEPTED AS SHOWN PER CONSTRUCTION SHEETS CE-10, CE-12, CE-41 & CE-43.
- C. IF THE DEVELOPER OF WINDSWEPT AT LEWES OBTAINS A PERMIT FOR ENTRANCE CONSTRUCTION PRIOR TO THE ISSUANCE OF WINDSWEPT AT LEWES'S 75TH BUILDING PERMIT, THE DEVELOPER OF WINDSWEPT AT LEWES SHALL BE RESPONSIBLE FOR WIDENING THE SOUTH SIDE OF ANGOLA ROAD TO ACCOMMODATE OPPOSING LEFT TURN LANES AT THE INTERSECTION OF ANGOLA ROAD / ANGOLA BEACH ROAD / HALEY'S GLEN SUBDIVISION ENTRANCE. THE DEVELOPER OF WINDSWEPT AT LEWES SHALL ALSO BE RESPONSIBLE FOR THE ADDITIONAL WIDENING REQUIRED TO ACCOMMODATE THE CONVERSION OF THE BAY RIDGE WOODS EXISTING BYPASS LANE INTO A LEFT TURN LANE. THE DEVELOPER OF WINDSWEPT AT LEWES AND THE DEVELOPER OF HALEY'S GLEN SHALL COORDINATE THE TIMING AND COST SHARING RESPONSIBILITIES OF THE FINAL 2" OVERLAY OF ANGOLA ROAD. THE IMPROVEMENTS, AS MENTIONED IN NOTE C, SHALL BE CONSTRUCTED AND ACCEPTED BY DELDOT PRIOR TO THE ISSUANCE OF THE 83RD BUILDING PERMIT AS SHOWN PER CONSTRUCTION SHEETS CE-6, CE-7, CE-9-11 & CE-33-42.
- D. IF THE DEVELOPER OF HALEY'S GLEN DOES NOT OBTAIN A PERMIT FOR ENTRANCE CONSTRUCTION PRIOR TO THE ISSUANCE OF WINDSWEPT AT LEWES'S 75TH BUILDING PERMIT, THE DEVELOPER OF WINDSWEPT AT LEWES WILL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION OF THE WESTBOUND LEFT-TURN LANE ALONG ANGOLA ROAD, ONTO ANGOLA BEACH ROAD. THE IMPROVEMENTS, AS MENTIONED IN NOTE D, SHALL BE CONSTRUCTED AND ACCEPTED BY DELDOT PRIOR TO THE ISSUANCE OF THE 107TH BUILDING PERMIT, AS SHOWN PER CONSTRUCTION SHEETS CE-6A, CE-7A, CE-9A-11A & CE-33A-42A.
- E. PRIOR TO THE ISSUANCE OF THE 107TH BUILDING PERMIT, THE DEVELOPER OF WINDSWEPT AT LEWES SHALL CONSTRUCT THE WIDENING OF ANGOLA BEACH ROAD AND THE REMAINING PORTIONS OF THE SHARED USE PATH, SOUTH OF THE HAMMERHEAD ENTRANCE. DELDOT SHALL INSPECT AND ACCEPT THE IMPROVEMENTS, AS MENTIONED IN NOTE E, PRIOR TO THE ISSUANCE OF THE 107TH BUILDING PERMIT, AS SHOWN PER CONSTRUCTION SHEETS CE-7-8, CE-10, CE-12-15, CE-19-32, CE-40-41 & CE-43.

- PHASE 1-A = 7.03 AC±
- PHASE 1-B = 12.67 AC±
- PHASE 2-A = 7.74 AC±
- PHASE 2-B = 5.45 AC±
- PHASE 3-A = 5.13 AC±
- PHASE 3-B = 9.23 AC±
- PHASE 4-A = 9.41 AC±
- PHASE 4-B = 7.80 AC±

# WINDSWEPT @ LEWES

INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

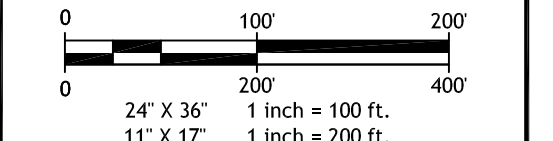
## STORMWATER MANAGEMENT PLANS



**NOTE:**  
STORMWATER MANAGEMENT PLANS SWM-2 TO SWM-9 ARE FOR AGENCY REVIEW ONLY AND NOT FOR CONSTRUCTION.

STORMWATER MANAGEMENT PLANS SHEET INDEX			
SHEET NUMBER	SHEET TITLE	ORIGINAL DATE	REVISION DATE
SWM-1	STORMWATER MANAGEMENT & UTILITY PHASING PLAN	4/1/2019	4/21/2020
SWM-2	PRE-DEVELOPMENT BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020
SWM-3	PRE-DEVELOPMENT BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020
SWM-4	PRE-DEVELOPMENT BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020
SWM-5	PRE-DEVELOPMENT BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020
SWM-6	BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020
SWM-7	BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020
SWM-8	BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020
SWM-9	BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020

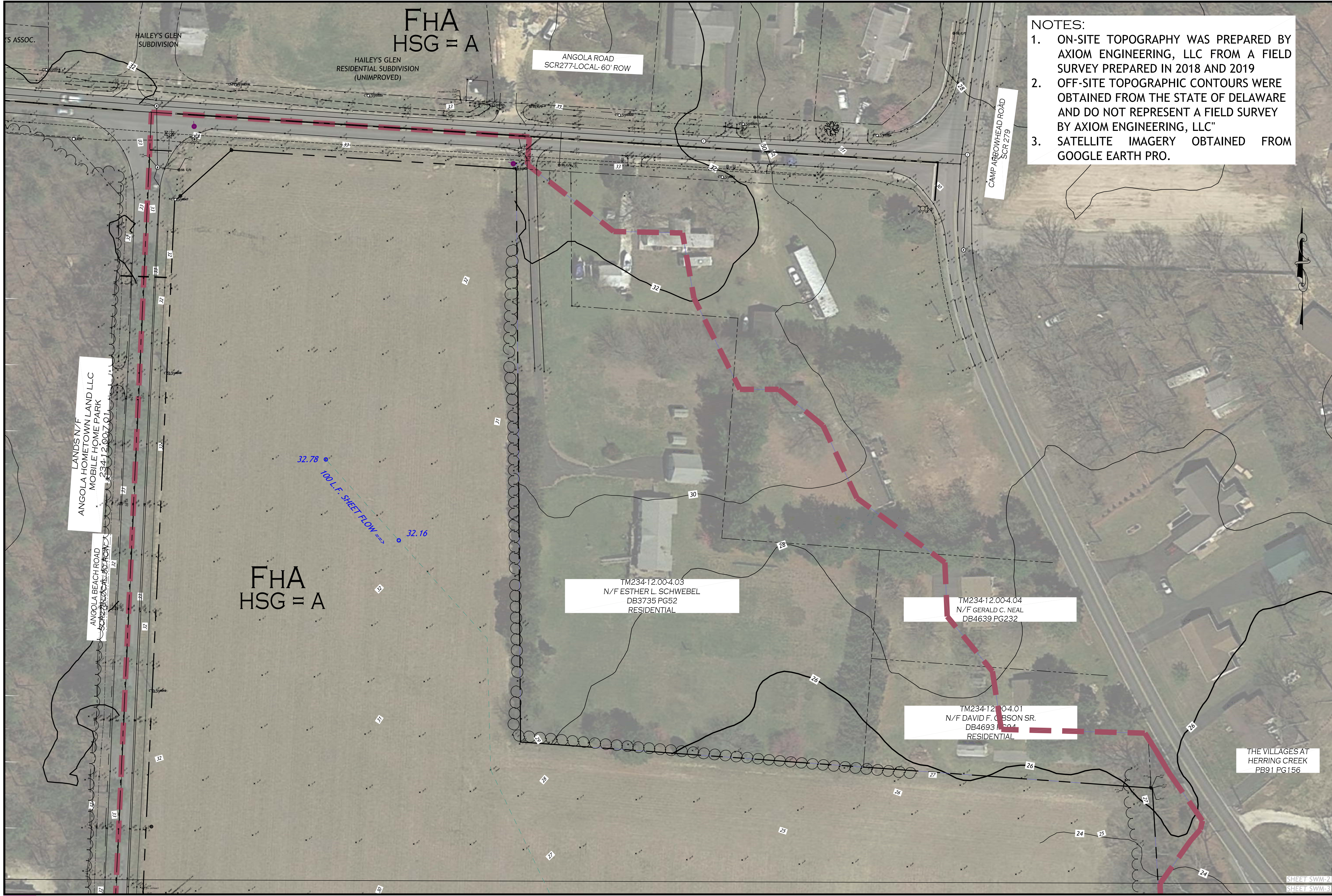
ENGINEER: KRC  
 DESIGNER: MH  
 DRAFTER: EJW  
 CHECKED BY: KRC  
 DATE: 4/1/2019



SEAL

STORMWATER MANAGEMENT & UTILITY PHASING PLAN  
 CZ #1859 - COUNTY AGREEMENT #1099  
**WINDSWEPT @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

PROJECT NO: O233-1701  
 DRAWING: SWM-1  
 SHEET: 1 OF 9



- NOTES:
1. ON-SITE TOPOGRAPHY WAS PREPARED BY AXIOM ENGINEERING, LLC FROM A FIELD SURVEY PREPARED IN 2018 AND 2019
  2. OFF-SITE TOPOGRAPHIC CONTOURS WERE OBTAINED FROM THE STATE OF DELAWARE AND DO NOT REPRESENT A FIELD SURVEY BY AXIOM ENGINEERING, LLC"
  3. SATELLITE IMAGERY OBTAINED FROM GOOGLE EARTH PRO.

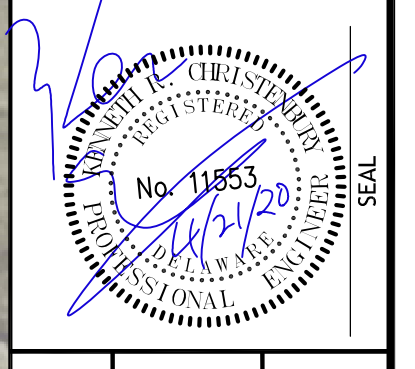
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2	REVISED PER AGENCY COMMENTS	04/27/2020	AKC

THE DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. HEALTH ACT OF 1993 AND ALL RULES AND REGULATIONS THEREOF AND APPROPRIATE

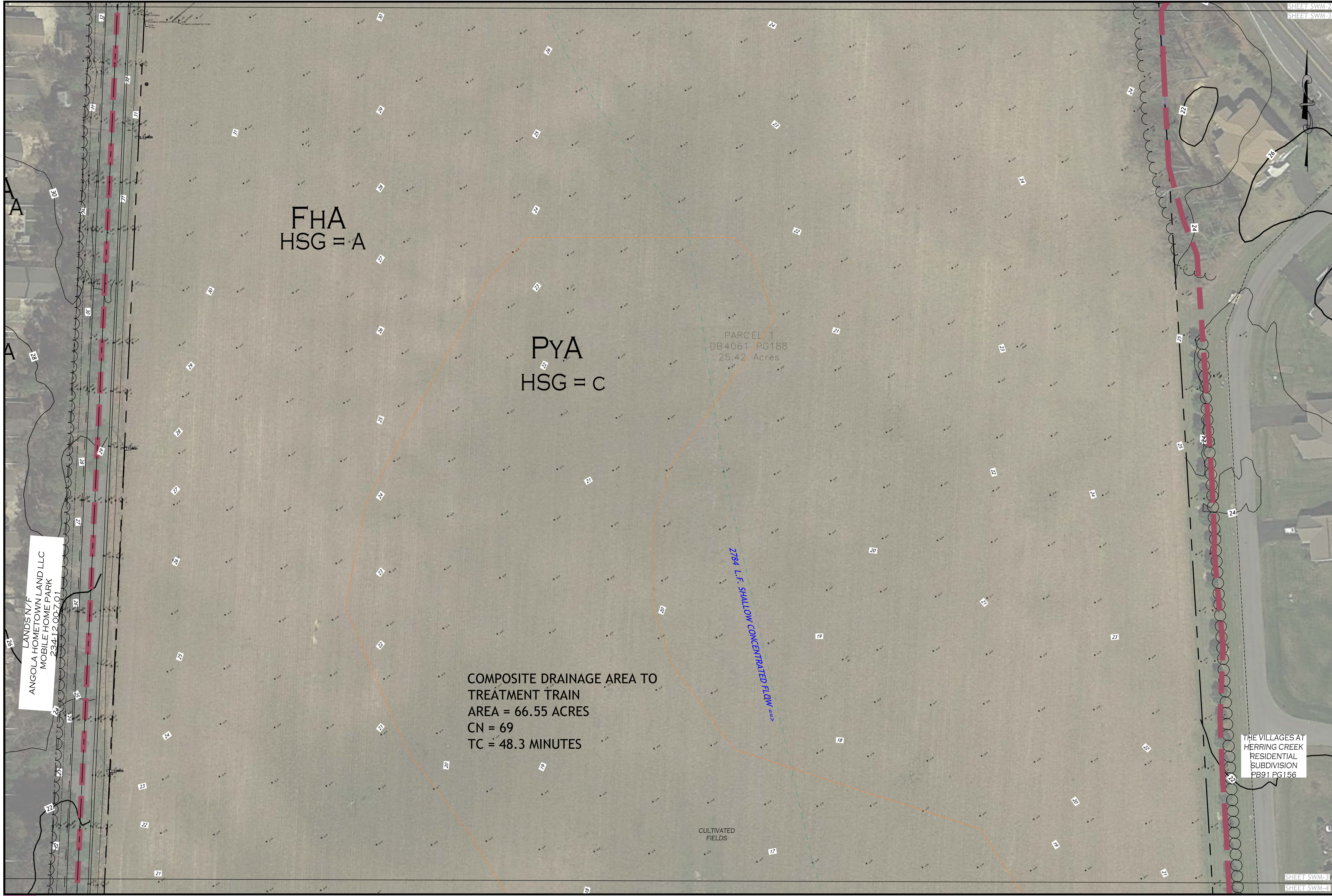
PRE-DEVELOPMENT BMP DRAINAGE AREA PLAN  
 CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEPT @ LEWES R.P.C.**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM ENGINEERING L.L.C.**  
 18 CHESTNUT STREET  
 DEWESBORO, DE 19847  
 TEL: 302.855.0812  
 FAX: 302.855.0812  
 WWW.AXIOMENGINEERING.COM

ENGINEER:	AKC
DESIGNER:	AKC
DRAWN BY:	EW
CHECKED BY:	AKC
DATE:	4/17/2019
TAX MAP:	284-12.00-3.00 & 6.00



PROJECT NO:	0233-1702
DRAWING:	SWM-2
SHEET:	2 OF 9



FFA  
HSG = A

PYA  
HSG = C

PARCEL 1  
DB4061 PG188  
25.42 Acres

COMPOSITE DRAINAGE AREA TO  
TREATMENT TRAIN  
AREA = 66.55 ACRES  
CN = 69  
TC = 48.3 MINUTES

2784 L.F. SHALLOW CONCENTRATED FLOW

CULTIVATED  
FIELDS

LANDS N/F  
ANGOLA HOMETOWN LAND LLC  
MOBILE HOME PARK  
234-12-007-01

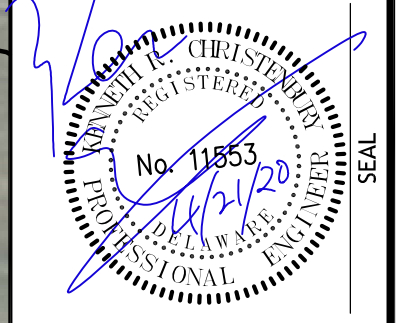
THE VILLAGES AT  
HERRING CREEK  
RESIDENTIAL  
SUBDIVISION  
PB91 PG156

REV	DESCRIPTION OF REVISION	DATE	BY
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3	REVISED PER AGENCY COMMENTS	04/17/2019	EW

PRE-DEVELOPMENT BMP DRAINAGE AREA PLAN  
CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEPT @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

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ENGINEERING L.L.C.  
18 CHESTNUT STREET  
DELEWARE  
302 855-0812  
302 855-0812  
WWW.AXIOMENR.COM

ENGINEER: MKC  
DESIGNER: MKC  
DRAFTER: EW  
CHECKED BY: MKC  
DATE: 4/17/2019  
TAX MAP: 234-12-003,006 & 008



PROJECT NO: 0233-1702  
DRAWING: SWM-3  
SHEET: 3 OF 9

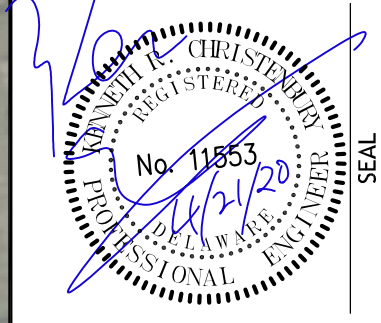


REV	DESCRIPTION OF REVISION	DATE	BY
1	REVISED PER AGENCY COMMENTS	09/27/2024	KBC
2	REVISED PER AGENCY COMMENTS	10/17/2024	KBC
3	REVISED PER AGENCY COMMENTS	11/20/2024	KBC

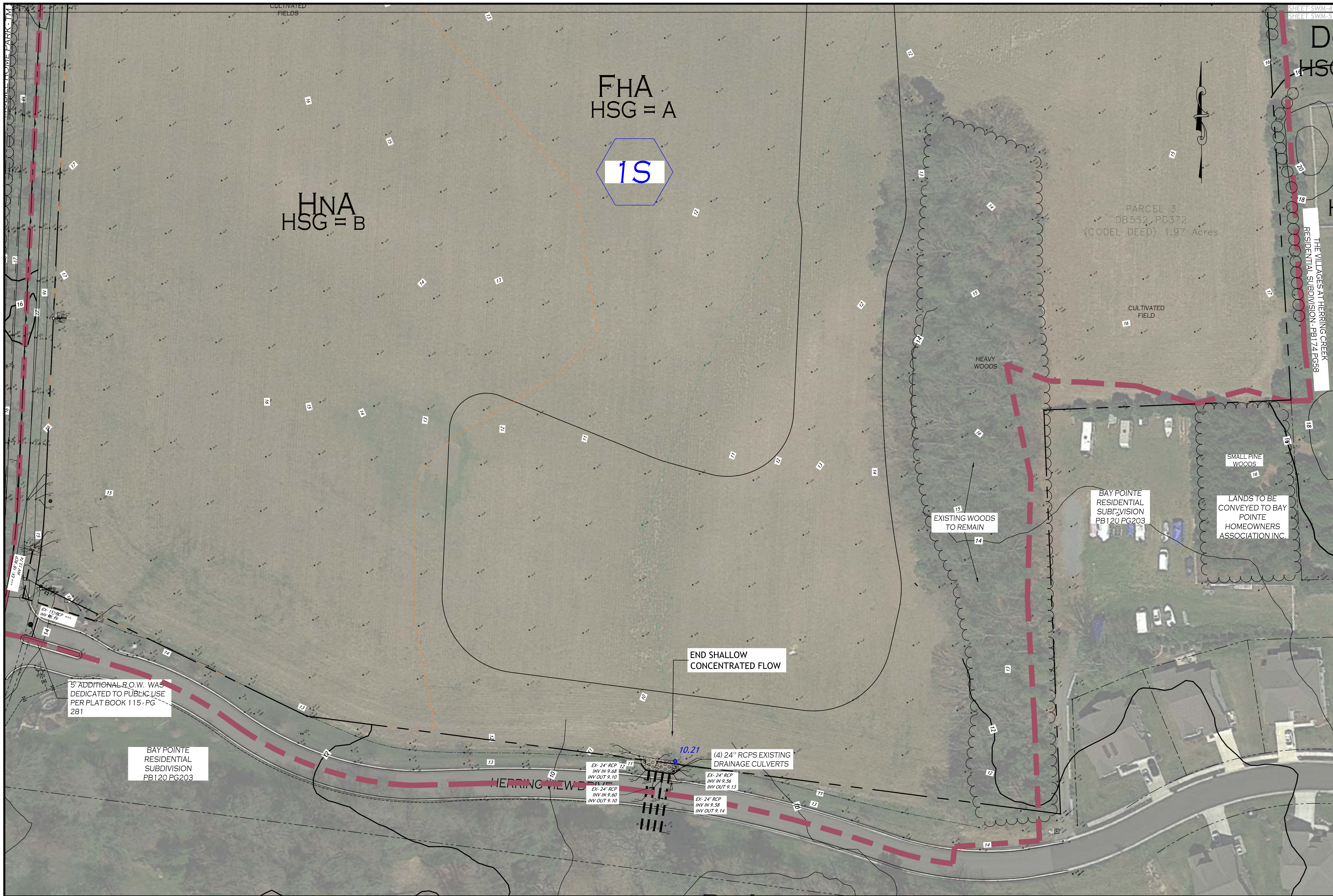
PRE-DEVELOPMENT BMP DRAINAGE AREA PLAN  
 CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEEP @ LEWES R.P.C.**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**Axiom Engineering L.L.C.**  
 18 CHESTNUT STREET  
 SUITE 200 DE 19947  
 (302) 855-0812  
 FAX: 855-0812  
 WWW.AXIOMENGINEERING.COM

ENGINEER:	KBC
DESIGNER:	KBC
DRAFTER:	EW
CHECKED BY:	KBC
DATE:	4/1/2019
TAX MAP:	234-12.003.00 & 6.00



PROJECT NO: 0233-1702  
 DRAWING: SWM-4  
 SHEET: 4 OF 9

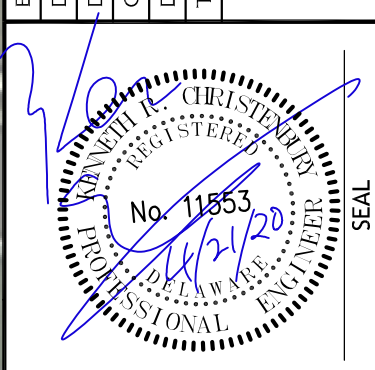


REV	DESCRIPTION OF REVISION	DATE	BY
1	REVISED PER AGENCY COMMENTS	04/17/2024	JKS
2	REVISED PER AGENCY COMMENTS	04/17/2024	JKS
3	REVISED PER AGENCY COMMENTS	04/17/2024	JKS
4	REVISED PER AGENCY COMMENTS	04/17/2024	JKS
5	REVISED PER AGENCY COMMENTS	04/17/2024	JKS

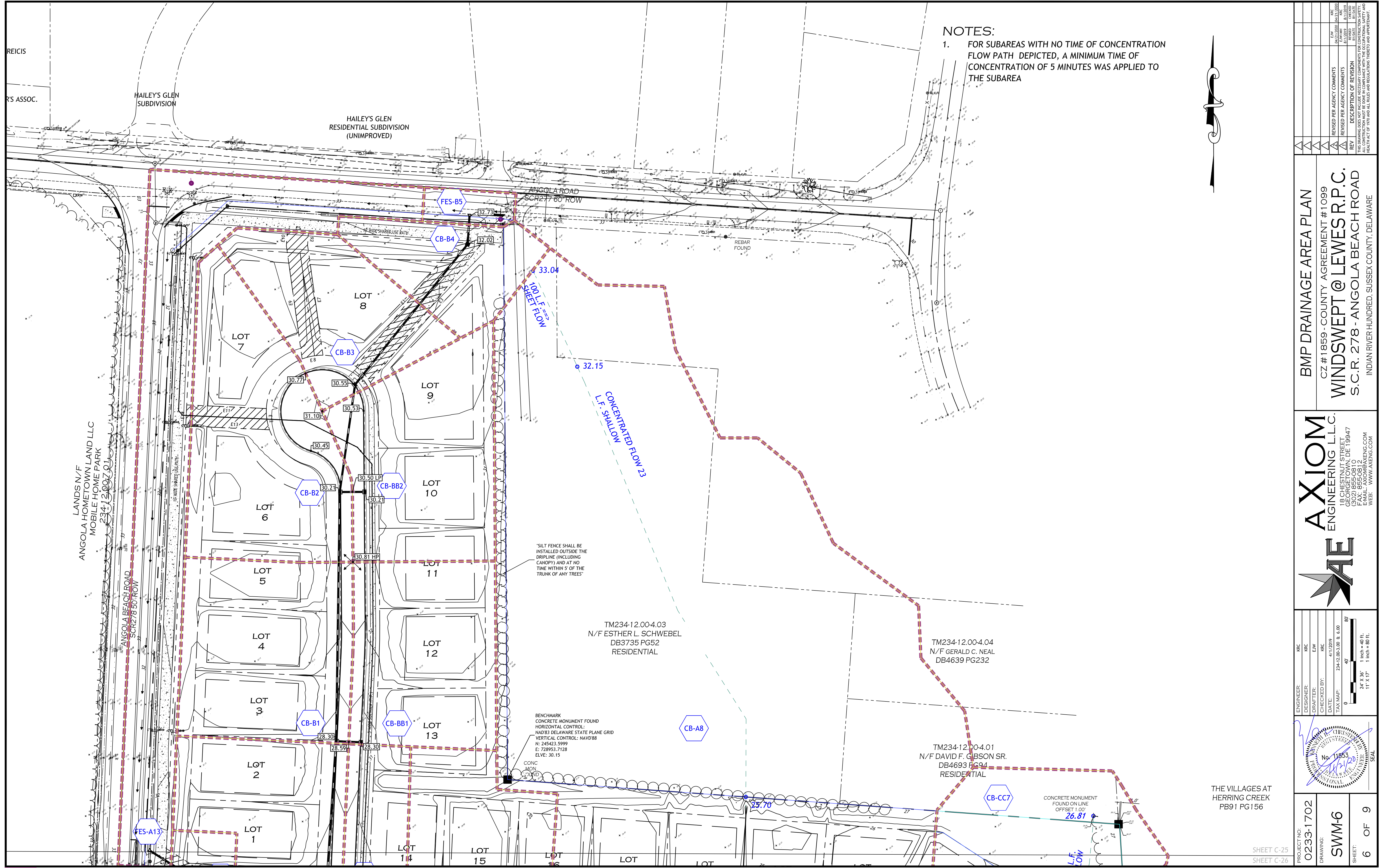
PRE-DEVELOPMENT BMP DRAINAGE AREA PLAN  
 CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEPT @ LEWES R.P.C.**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM ENGINEERING L.L.C.**  
 18 CHESTNUT STREET  
 SUITE 200 DE 19947  
 (302) 855-0810  
 (302) 855-0812  
 FAX: 855-0812  
 WWW.AXIOMENGINEERING.COM

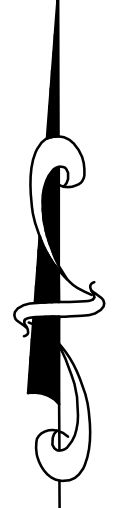
ENGINEER:	JKS
DESIGNER:	JKS
DRAWN BY:	JKS
CHECKED BY:	JKS
DATE:	4/17/2024
TAX MAP:	284-12,003,00 & 6,00



PROJECT NO: 0233-1702  
 DRAWING: SWM-5  
 SHEET: 5 OF 9

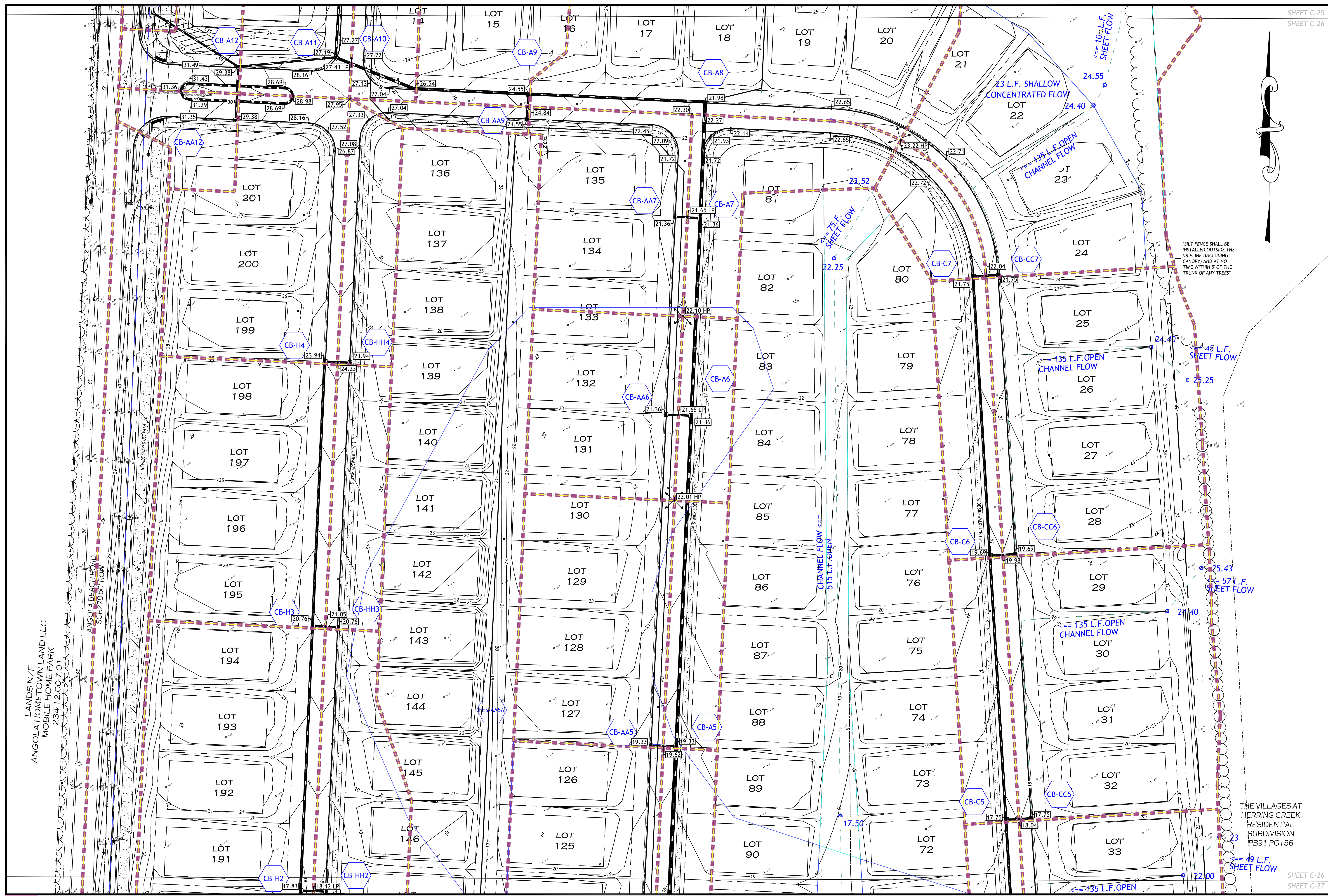


- NOTES:  
 1. FOR SUBAREAS WITH NO TIME OF CONCENTRATION FLOW PATH DEPICTED, A MINIMUM TIME OF CONCENTRATION OF 5 MINUTES WAS APPLIED TO THE SUBAREA



PROJECT NO: 0233-1702		SHEET: 6 OF 9	
DRAWING: SWM-6		SHEET C-25 SHEET C-26	
ENGINEER:	KBC	DATE:	6/1/2019
DESIGNER:	EW	CHECKED BY:	KBC
DRAWN BY:		TAX MAP:	23412.00/3.00 & 6.00
<p>24" X 36" 1 inch = 40 ft. 11" X 17" 1 inch = 80 ft.</p>		<p>ENGINEER: KBC</p> <p>DESIGNER: EW</p> <p>CHECKED BY: KBC</p> <p>DATE: 6/1/2019</p> <p>TAX MAP: 23412.00/3.00 &amp; 6.00</p>	
<p><b>AXIOM ENGINEERING L.L.C.</b></p> <p>18 CHESTNUT STREET          SUITE 200 DE 19947          (302) 855-0812          FAX: 855-0812          WWW.AXIOMENGINEERING.COM</p>			
<p><b>AE</b></p>			
<p>BMP DRAINAGE AREA PLAN</p> <p>CZ # 1859 - COUNTY AGREEMENT # 1099</p> <p><b>WINDSWEPT @ LEWES R.P.C.</b></p> <p>S.C.R. 278 - ANGOLA BEACH ROAD</p> <p>INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE</p>			

13-B66 © 2019 CIVIL. © 2019 PROJECT 0233-1702 WINDSWEPT @ LEWES R.P.C. 0233-1702-SWM-6 WATER MANAGEMENT PLAN



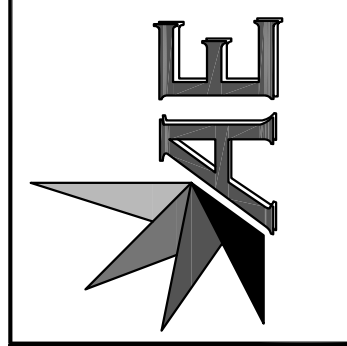
SHEET C-25  
SHEET C-26

LANDS N/F  
ANGOLA HOMETOWN LAND LLC  
MOBILE HOME PARK  
234-12-007.01

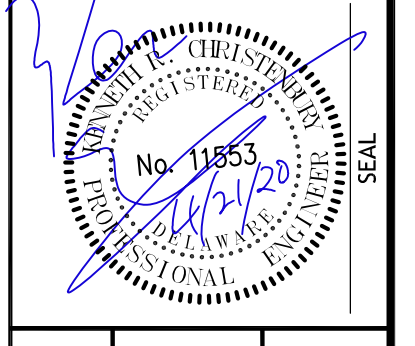
REV	DESCRIPTION OF REVISION	DATE	BY
1	REVISED PER AGENCY COMMENTS	04/17/2024	EW
2	REVISED PER AGENCY COMMENTS	04/17/2024	EW
3	REVISED PER AGENCY COMMENTS	04/17/2024	EW

**BMP DRAINAGE AREA PLAN**  
CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEEP @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM**  
ENGINEERING L.L.C.  
18 CHESTNUT STREET  
DELSWATER, DE 19847  
TEL: 302.855.0812  
FAX: 855.081.1234  
WWW.AXIOMENR.COM



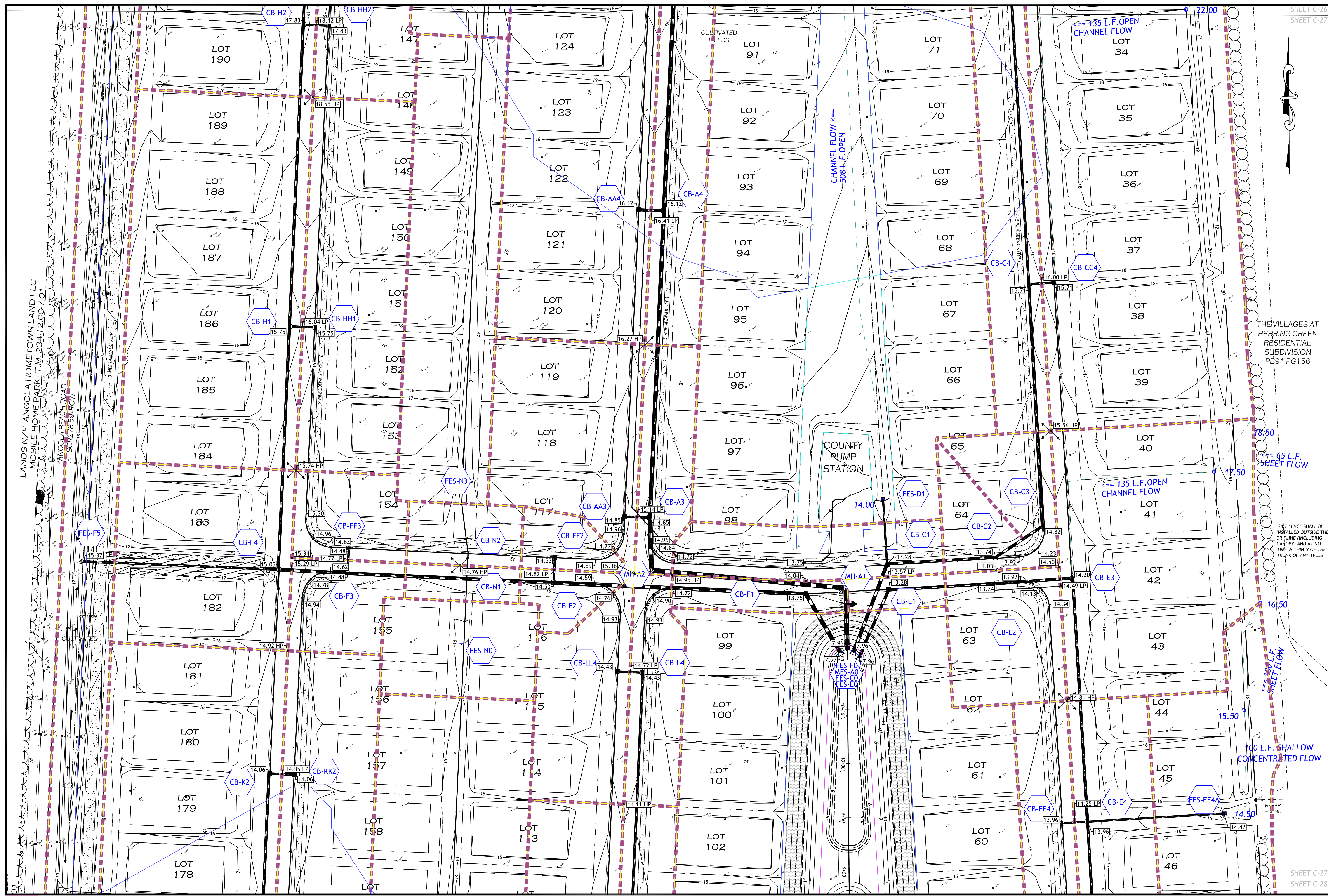
ENGINEER:	KBC
DESIGNER:	KBC
DRAWN BY:	EW
CHECKED BY:	KBC
DATE:	4/17/2024
TAX MAP:	234-12-003.00 & 6.00



PROJECT NO: 0233-1702  
DRAWING: SWM-7  
SHEET: 7 OF 9

THE VILLAGES AT  
HERRING CREEK  
RESIDENTIAL  
SUBDIVISION  
PB91 PG156

SHEET C-26  
SHEET C-27



SHEET C-26  
SHEET C-27

THE VILLAGES AT  
HERRING CREEK  
RESIDENTIAL  
SUBDIVISION  
PB91 PG156

SHEET FENCE SHALL BE  
INSTALLED OUTSIDE THE  
DRILL LINE (INCLUDING  
CANOPY) AND AT NO  
TIME WITHIN 5' OF THE  
TRUNK OF ANY TREES

REVISIONS

REV	DESCRIPTION OF REVISION	DATE	BY
1	REVISED PER AGENCY COMMENTS	09/27/2020	JKC
2	REVISED PER AGENCY COMMENTS	11/17/2020	JKC

THE DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.  
THIS DRAWING IS SUBJECT TO ALL APPLICABLE REGULATIONS, ORDINANCES, AND  
HEALTH ACT OF 1998 AND ALL RULES AND REGULATIONS THEREOF AND APPROPRIATE

**BMP DRAINAGE AREA PLAN**  
CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEEP @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM**  
ENGINEERING L.L.C.  
18 CHESTNUT STREET  
DELEWARE CITY, DE 19847  
TEL: 302.855.0812  
FAX: 855.508.1122  
WWW.AXIOMENR.COM

**AE**

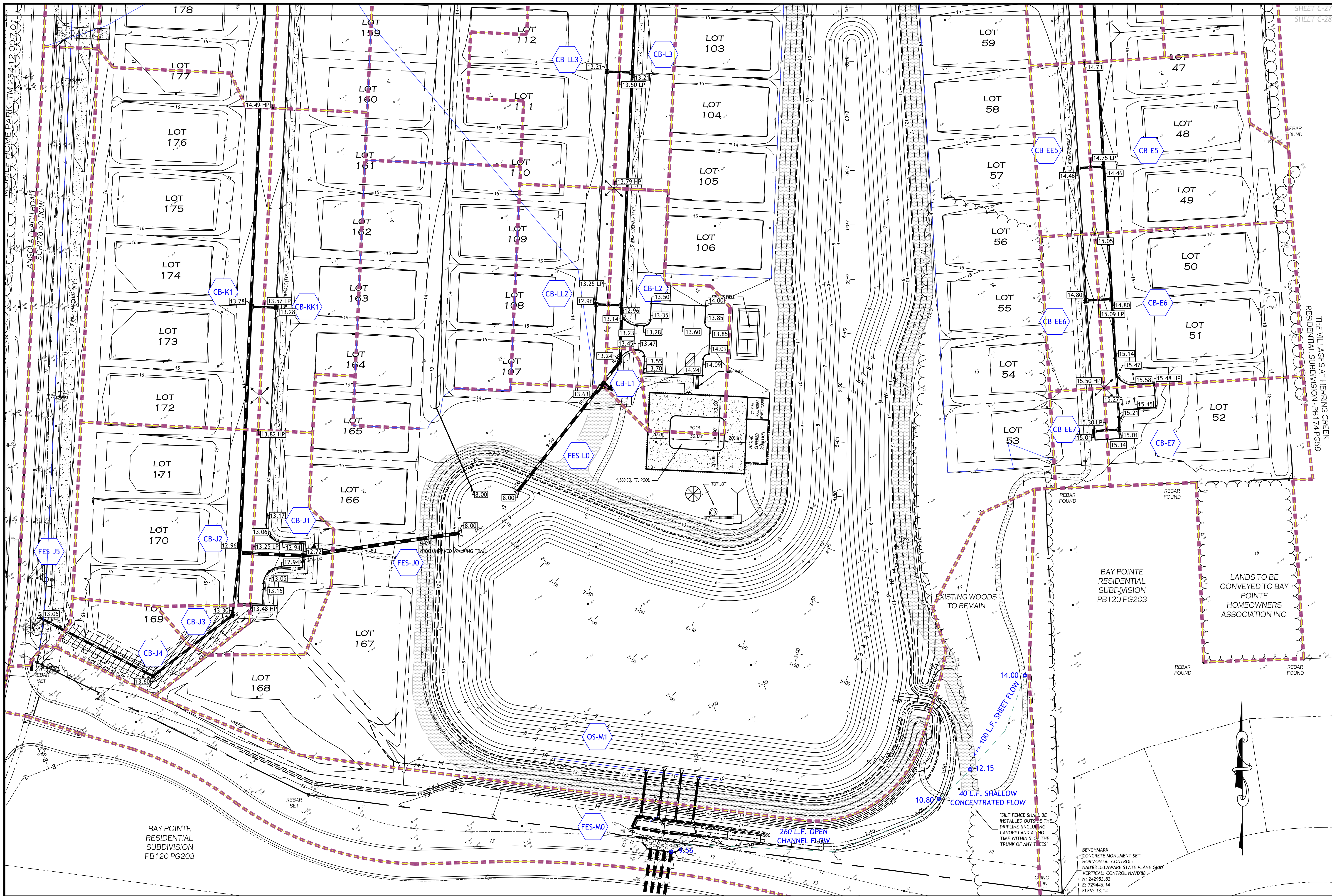
ENGINEER: JKC  
DESIGNER: JKC  
DRAFTER: EW  
CHECKED BY: JKC  
DATE: 4/1/2019  
TAX MAP: 234-12.003.00 & 6.00

0 40' 80'  
24" X 36" 1 inch = 40' FL.  
11" X 17" 1 inch = 80' FL.

PROJECT NO: 0233-1702  
DRAWING: SWM-8  
SHEET: 8 OF 9

SHEET C-27  
SHEET C-28





SHEET C-27

SHEET C-28

REV	DESCRIPTION OF REVISION	DATE	BY

**BMP DRAINAGE AREA PLAN**

CZ # 1859 - COUNTY AGREEMENT #1099

**WINDSWEEP @ LEWES R.P.C.**

S.C.R. 278 - ANGOLA BEACH ROAD

INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM**

ENGINEERING L.L.C.

18 CHESTNUT STREET  
DOVER, DE 19947  
TEL: 302.855.0812  
FAX: 302.855.0812  
WWW.AXIOMENG.COM

PROJECT NO: 0233-1702

DRAWING: SWM-9

SHEET: 9 OF 9

SCALE

24" x 36" 1 inch = 40 ft

11" x 17" 1 inch = 80 ft

LD-B66 © 2014 PROJECTS/2013-2014 WINDSWEEP @ LEWES R.P.C. DWG/0233-1702-SWM-9 STORM WATER MANAGEMENT PLAN

**PROJECT PHASING NOTES (SEE SHEET SWM-1 FOR PHASE BOUNDARIES):**

1. BUILDING PERMITS MAY BE ISSUED IN PHASE 1-A UPON COMPLETION OF THE FOLLOWING TO THE SATISFACTION OF THE SUSSEX CONSERVATION DISTRICT AND THE SUSSEX COUNTY ENGINEERING DEPARTMENT:
  - 1.1. TEMPORARY CONSTRUCTION ENTRANCE AT LOT 178
  - 1.2. STORMWATER MANAGEMENT POND/SEDIMENT TRAP INCLUDING ALL FOREBAYS, FLARED ENDS AND STUBS OF INLET PIPES
  - 1.3. ROUGH GRADING AND STABILIZATION OF PHASE 1-B
  - 1.4. SANITARY SEWER PUMP STATION
  - 1.5. UPON SCD APPROVAL OF STABILIZATION OF PHASE 1-B COMMENCE THE FOLLOWING:
    - 1.5.1. GRAVITY SEWER FROM THE PUMP STATION THROUGH PHASES 2-A, 1-A & 2-B.
    - 1.5.2. SANITARY SEWER FORCE MAIN
    - 1.5.3. STORM SEWER FROM THE POND THROUGH PHASES 2-A, 1-A & 2-B
    - 1.5.4. WATER MAIN AND OTHER UTILITY INSTALLATION THROUGH PHASES 1-A & 2-B
    - 1.5.5. DETAILED GRADING OF PHASE 1-A
    - 1.5.6. FOREST BUFFERS ADJACENT TO PHASE 1-A LOTS
- 1.6. PHASE 1 ENTRANCE INCLUDING ITEMS A & B LISTED IN THE DELAWARE DEPARTMENT OF TRANSPORTATION (DELDOT) PHASING NOTES BELOW, CERTIFICATES OF OCCUPANCY SHALL NOT BE ISSUED UNTIL THE PHASE 1 ENTRANCE IMPROVEMENTS HAVE BEEN INSPECTED AND APPROVED BY THE DELAWARE DEPARTMENT OF TRANSPORTATION (DELDOT).
2. PHASE 2-A AND/OR 2-B CONSTRUCTION MAY COMMENCE AS SOON AS ADEQUATE PORTIONS OF PHASE 1 HAVE BEEN FULLY STABILIZED, AT THE DISCRETION OF THE SCD INSPECTOR.
3. THE REMAINING PHASES MAY BE MOBILIZED CONCURRENTLY PROVIDED NO MORE THAN 20 ACRES ARE DESTABILIZED AT ONE TIME. CONTRACTOR TO COORDINATE COMMENCEMENT OF ADDITIONAL PHASES WITH THE SUSSEX CONSERVATION DISTRICT AND THE SUSSEX COUNTY ENGINEERING DEPARTMENT INSPECTORS.
4. ALL AMENITIES SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE 75TH BUILDING PERMIT, INCLUDING THE POOL HOUSE, SWIMMING POOL, PAVILION, BIKE RACK, TOT LOT, SPORTS FIELD, & WALKING TRAILS.

**DELDOT PHASING NOTES**

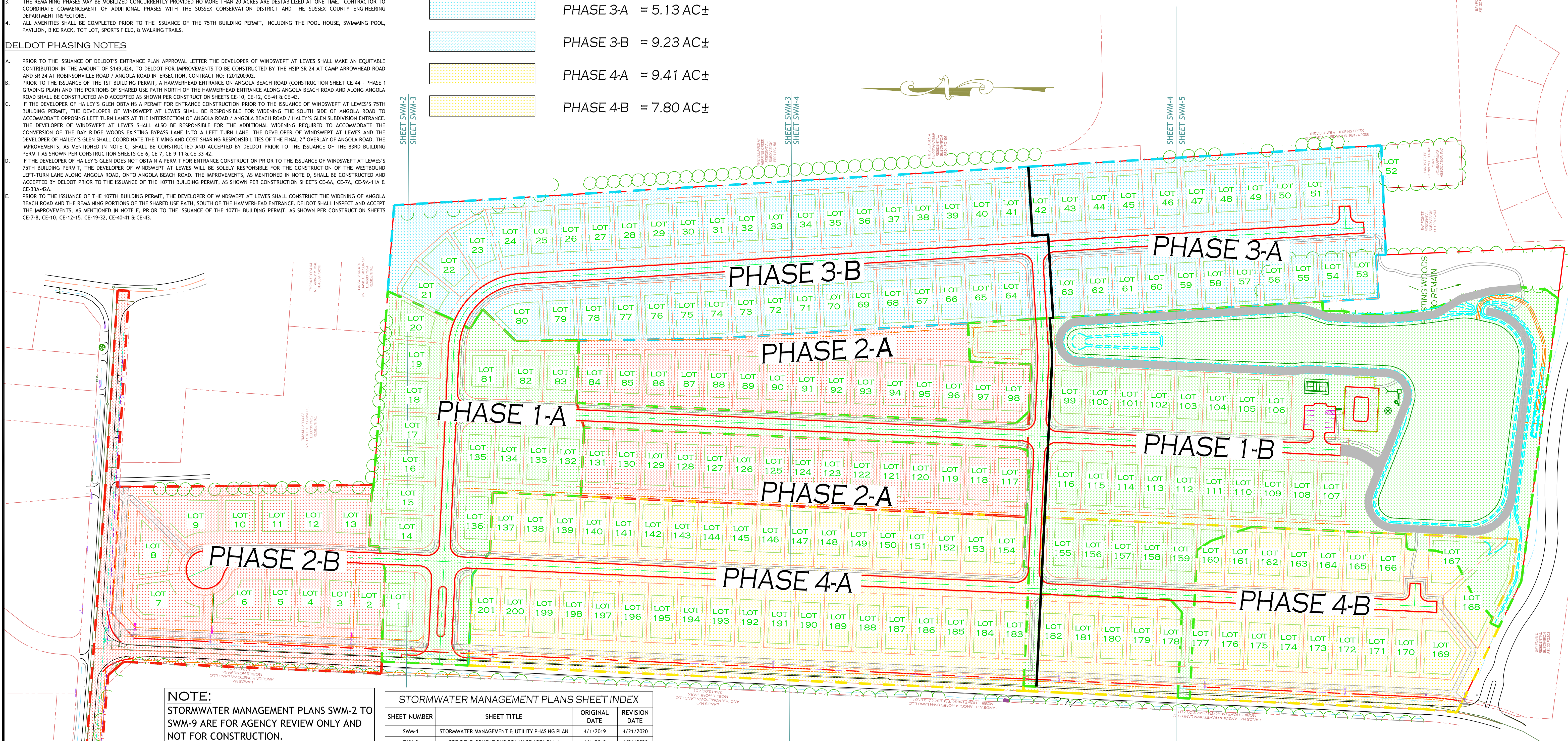
- A. PRIOR TO THE ISSUANCE OF DELDOT'S ENTRANCE PLAN APPROVAL LETTER THE DEVELOPER OF WINDSWEPT AT LEWES SHALL MAKE AN EQUITABLE CONTRIBUTION IN THE AMOUNT OF \$149,424, TO DELDOT FOR IMPROVEMENTS TO BE CONSTRUCTED BY THE HSP SR 24 AT CAMP ARROWHEAD ROAD AND SR 24 AT ROBINSONVILLE ROAD / ANGOLA ROAD INTERSECTION, CONTRACT NO: T201200902.
- B. PRIOR TO THE ISSUANCE OF THE 1ST BUILDING PERMIT, A HAMMERHEAD ENTRANCE ON ANGOLA BEACH ROAD (CONSTRUCTION SHEET CE-44 - PHASE 1 GRADING PLAN) AND THE PORTIONS OF SHARED USE PATH NORTH OF THE HAMMERHEAD ENTRANCE ALONG ANGOLA BEACH ROAD AND ALONG ANGOLA ROAD SHALL BE CONSTRUCTED AND ACCEPTED AS SHOWN PER CONSTRUCTION SHEETS CE-10, CE-12, CE-41 & CE-43.
- C. IF THE DEVELOPER OF WINDSWEPT AT LEWES OBTAINS A PERMIT FOR ENTRANCE CONSTRUCTION PRIOR TO THE ISSUANCE OF WINDSWEPT AT LEWES'S 75TH BUILDING PERMIT, THE DEVELOPER OF WINDSWEPT AT LEWES SHALL BE RESPONSIBLE FOR WIDENING THE SOUTH SIDE OF ANGOLA ROAD TO ACCOMMODATE OPPOSING LEFT TURN LANES AT THE INTERSECTION OF ANGOLA ROAD / ANGOLA BEACH ROAD / HALEY'S GLEN SUBDIVISION ENTRANCE. THE DEVELOPER OF WINDSWEPT AT LEWES SHALL ALSO BE RESPONSIBLE FOR THE ADDITIONAL WIDENING REQUIRED TO ACCOMMODATE THE CONVERSION OF THE BAY RIDGE WOODS EXISTING BYPASS LANE INTO A LEFT TURN LANE. THE DEVELOPER OF WINDSWEPT AT LEWES AND THE DEVELOPER OF HALEY'S GLEN SHALL COORDINATE THE TIMING AND COST SHARING RESPONSIBILITIES OF THE FINAL 2" OVERLAY OF ANGOLA ROAD. THE IMPROVEMENTS, AS MENTIONED IN NOTE C, SHALL BE CONSTRUCTED AND ACCEPTED BY DELDOT PRIOR TO THE ISSUANCE OF THE 83RD BUILDING PERMIT AS SHOWN PER CONSTRUCTION SHEETS CE-6, CE-7, CE-9-11 & CE-33-42.
- D. IF THE DEVELOPER OF HALEY'S GLEN DOES NOT OBTAIN A PERMIT FOR ENTRANCE CONSTRUCTION PRIOR TO THE ISSUANCE OF WINDSWEPT AT LEWES'S 75TH BUILDING PERMIT, THE DEVELOPER OF WINDSWEPT AT LEWES WILL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION OF THE WESTBOUND LEFT-TURN LANE ALONG ANGOLA ROAD, ONTO ANGOLA BEACH ROAD. THE IMPROVEMENTS, AS MENTIONED IN NOTE D, SHALL BE CONSTRUCTED AND ACCEPTED BY DELDOT PRIOR TO THE ISSUANCE OF THE 107TH BUILDING PERMIT, AS SHOWN PER CONSTRUCTION SHEETS CE-6A, CE-7A, CE-9A-11A & CE-33A-42A.
- E. PRIOR TO THE ISSUANCE OF THE 107TH BUILDING PERMIT, THE DEVELOPER OF WINDSWEPT AT LEWES SHALL CONSTRUCT THE WIDENING OF ANGOLA BEACH ROAD AND THE REMAINING PORTIONS OF THE SHARED USE PATH, SOUTH OF THE HAMMERHEAD ENTRANCE. DELDOT SHALL INSPECT AND ACCEPT THE IMPROVEMENTS, AS MENTIONED IN NOTE E, PRIOR TO THE ISSUANCE OF THE 107TH BUILDING PERMIT, AS SHOWN PER CONSTRUCTION SHEETS CE-7-8, CE-10, CE-12-15, CE-19-32, CE-40-41 & CE-43.

- PHASE 1-A = 7.03 AC±
- PHASE 1-B = 12.67 AC±
- PHASE 2-A = 7.74 AC±
- PHASE 2-B = 5.45 AC±
- PHASE 3-A = 5.13 AC±
- PHASE 3-B = 9.23 AC±
- PHASE 4-A = 9.41 AC±
- PHASE 4-B = 7.80 AC±

# WINDSWEPT @ LEWES

## INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

### STORMWATER MANAGEMENT PLANS



**NOTE:**  
STORMWATER MANAGEMENT PLANS SWM-2 TO SWM-9 ARE FOR AGENCY REVIEW ONLY AND NOT FOR CONSTRUCTION.

STORMWATER MANAGEMENT PLANS SHEET INDEX			
SHEET NUMBER	SHEET TITLE	ORIGINAL DATE	REVISION DATE
SWM-1	STORMWATER MANAGEMENT & UTILITY PHASING PLAN	4/1/2019	4/21/2020
SWM-2	PRE-DEVELOPMENT BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020
SWM-3	PRE-DEVELOPMENT BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020
SWM-4	PRE-DEVELOPMENT BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020
SWM-5	PRE-DEVELOPMENT BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020
SWM-6	BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020
SWM-7	BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020
SWM-8	BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020
SWM-9	BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020

ENGINEER: KRC  
 DESIGNER: MH  
 DRAFTER: EJW  
 CHECKED BY: KRC  
 DATE: 4/1/2019

**AXIOM ENGINEERING L.L.C.**  
 18 CHESTNUT STREET  
 GEORGETOWN, DE 19947  
 (302) 855-0810  
 FAX: 855-0812  
 E-MAIL: AXIOM@AXENG.COM  
 WEB: WWW.AXENG.COM

STORMWATER MANAGEMENT & UTILITY PHASING PLAN  
 CZ #1859 - COUNTY AGREEMENT #1099  
**WINDSWEPT @ LEWES**  
 RESIDENTIAL PLANNED COMMUNITY  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

PROJECT NO: O233-1701  
 DRAWING: SWM-1  
 SHEET: 1 OF 9

NOTES:

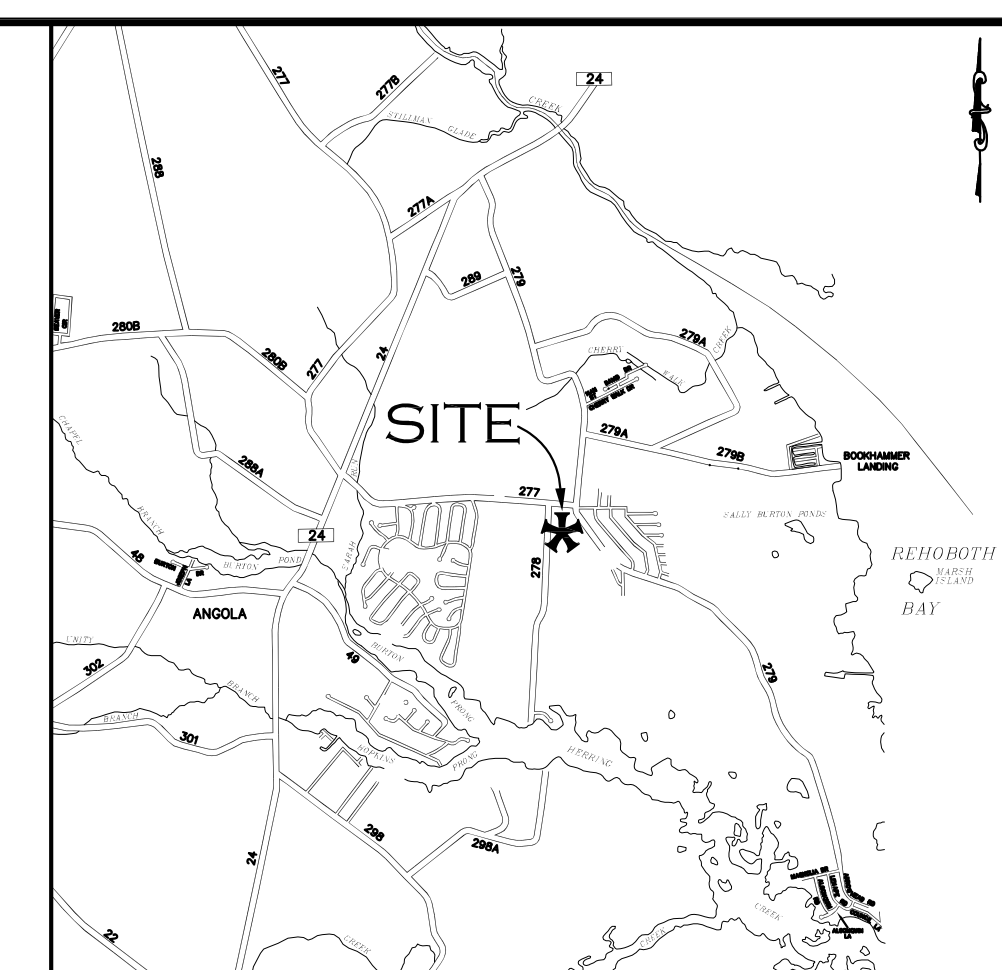
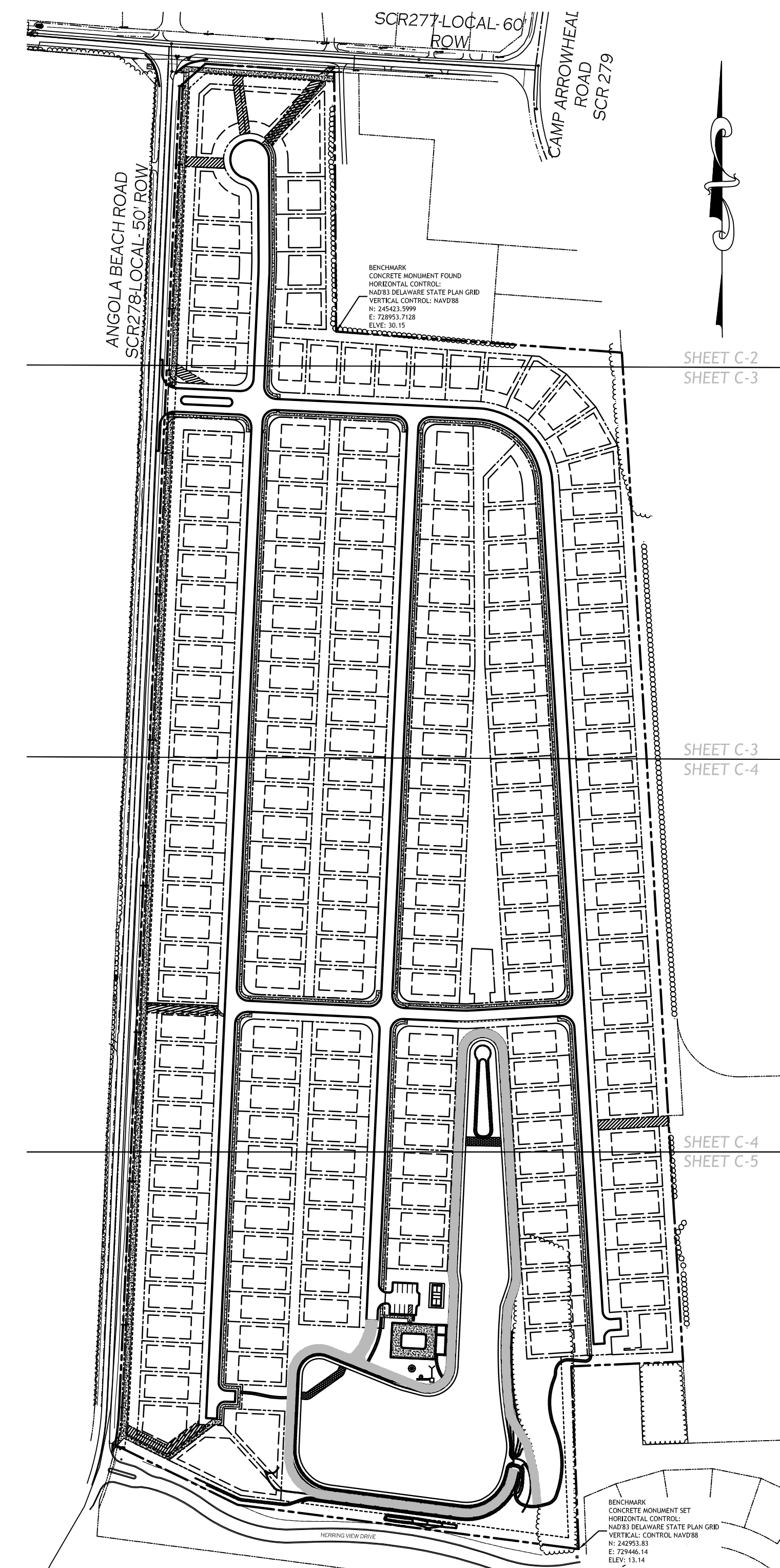
- 1. FORESTED BUFFERS, STREETS, STORMWATER MANAGEMENT FACILITIES AND OTHER COMMON AREAS SHALL BE MAINTAINED BY THE DEVELOPER UNTIL SUCH TIME AS A HOMEOWNERS ASSOCIATION CAN PROVIDE FOR REQUIRED MAINTENANCE. SUSSEX COUNTY AND THE STATE OF DELAWARE ASSUME NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE FACILITIES WITHIN THE SITE.
2. ACCESS TO LOTS SHALL BE PROVIDED FROM THE SUBDIVISION STREETS PROPOSED WITH THIS PLAN. NO DIRECT ACCESS TO PUBLIC STREETS IS PROPOSED EXCEPT THE ENTRANCE SPECIFICALLY SHOWN ON THIS PLAN.
3. BASED UPON FLOOD INSURANCE RATE MAP (FIRM) NUMBER 10005C0431K, DATED MARCH 16, 2015; THE ENTIRE PROPERTY IS LOCATED IN AN AREA DESIGNATED AS ZONE 'X' (UNSHADED), WHICH IS AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
4. THE BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM A FIELD SURVEY PREPARED BY AXIOM ENGINEERING, LLC IN MARCH 2018. HORIZONTAL CONTROL IS REFERENCED TO NAD 83 STATE PLANE GRID, VERTICAL CONTROL IS REFERENCED TO NAVD 88.
5. ALL SUBDIVISION LOTS SHALL HAVE FIVE-FOOT-WIDE EASEMENTS ALONG ALL LOT LINES FOR A TOTAL EASEMENT WIDTH OF AT LEAST TEN (10) FEET ALONG A LOT LINE COMMON TO TWO LOTS. EASEMENTS ALONG PERIMETER BOUNDARIES OF THE SUBDIVISION SHALL BE TEN (10) FEET IN WIDTH ON THE INTERIOR SIDE OF THE BOUNDARY. NO BUILDING, STRUCTURE OR OTHER PERMANENT OBSTRUCTION SHALL BE PLACED IN ANY EASEMENT.
6. THIS PLAN DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHT-OF-WAYS CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS PROVIDED.
7. ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
8. THE LANDSCAPE PLAN FOREST AND/OR LANDSCAPE BUFFER PLANS SHALL BE INSTALLED WITHIN 18 MONTHS FROM THE DATE SITE WORK IS AUTHORIZED TO COMMENCE. IF THE SUBDIVISION IS TO BE CONSTRUCTED IN PHASES, THE BUFFER FOR EACH PHASE MUST BE COMPLETED BEFORE COUNTY APPROVALS OR PERMITS WILL BE GRANTED TO CONSTRUCT THE NEXT PHASE.
9. BUS STOPS SHALL BE LOCATED AT THE DISCRETION OF THE CAPE HENLOPEN SCHOOL DISTRICT.

STORMWATER MANAGEMENT & UTILITY PHASING PLAN
SHEET NUMBER SHEET TITLE ORIGINAL DATE REVISION DATE
SWM-1 STORMWATER MANAGEMENT & UTILITY PHASING PLAN 4/1/2019 4/21/2020

CONSTRUCTION PLANS SHEET INDEX
SHEET NUMBER SHEET TITLE ORIGINAL DATE REVISION DATE
C-1 COVER SHEET 4/1/2019 7/2/2020
C-2 SANITARY SEWER PLANS 4/1/2019 7/2/2020
C-3 SANITARY SEWER PLANS 4/1/2019 7/2/2020
C-4 SANITARY SEWER PLANS 4/1/2019 7/2/2020
C-5 SANITARY SEWER PLANS 4/1/2019 7/2/2020
C-6 SANITARY SEWER PROFILES 4/1/2019 4/21/2020
C-7 SANITARY SEWER PROFILES 4/1/2019 4/21/2020
C-8 SANITARY SEWER PROFILES 4/1/2019 4/21/2020
C-9 SANITARY SEWER PROFILES 4/1/2019 4/21/2020
C-10 FIRE HYDRANT LOCATION PLAN 4/1/2019 4/21/2020
C-11 WATER PLAN 4/1/2019 4/21/2020
C-12 WATER PLAN 4/1/2019 6/09/2020
C-13 WATER PLAN 4/1/2019 6/09/2020
C-14 WATER PLAN 4/1/2019 6/09/2020
C-15 SANITARY SEWER NOTES & DETAILS 4/1/2019 7/2/2020
C-16 WATER NOTES & DETAILS 4/1/2019 4/21/2020
C-17 ROAD GEOMETRY PLANS 4/1/2019 4/21/2020
C-18 ROAD GEOMETRY PLANS 4/1/2019 4/21/2020
C-19 ROAD GEOMETRY PLANS 4/1/2019 4/21/2020
C-20 ROAD GEOMETRY PLANS 4/1/2019 4/21/2020
C-21 MOORINGS REACH ROAD PROFILE 4/1/2019 4/21/2020
C-22 CLEARWATER DR & STARFISH COURT ROAD PROFILE 4/1/2019 4/21/2020
C-23 WINDJAWWER DRIVE ROAD PROFILE 4/1/2019 4/21/2020
C-24 DELRAY DRIVE PROFILE & DETAILS 4/1/2019 4/21/2020
C-25 BULK GRADING PLAN 4/1/2019 4/21/2020
C-26 BULK GRADING PLAN 4/1/2019 4/21/2020
C-27 BULK GRADING PLAN 4/1/2019 4/21/2020
C-28 BULK GRADING PLAN 4/1/2019 4/21/2020
C-29 STORMWATER PROFILES 4/1/2019 4/21/2020
C-30 STORMWATER PROFILES 4/1/2019 4/21/2020
C-31 STORMWATER PROFILES 4/1/2019 4/21/2020
C-32 STORMWATER PROFILES 4/1/2019 4/21/2020
C-33 STORMWATER PROFILES 4/1/2019 4/21/2020
C-34 STORMWATER PROFILES 4/1/2019 4/21/2020
C-35 STORMWATER PROFILE 4/1/2019 4/21/2020
C-36 CONSTRUCTION DETAILS 4/1/2019 4/21/2020
PS-1 COVER SHEET 4/1/2019 4/21/2020
PS-2 FORCE MAIN PLANS 4/1/2019 4/21/2020
PS-3 FORCE MAIN PLANS 4/1/2019 4/21/2020
PS-4 FORCE MAIN PLANS 4/1/2019 4/21/2020
PS-5 FORCE MAIN PROFILE 4/1/2019 4/21/2020
PS-6 FORCE MAIN PROFILE 4/1/2019 4/21/2020
PS-7 PUMP STATION GRADING PLAN 4/1/2019 4/21/2020
PS-9 PUMP STATION DETAIL 4/1/2019 4/21/2020

EROSION & SEDIMENT CONTROL PLANS SHEET INDEX
SHEET NUMBER SHEET TITLE ORIGINAL DATE REVISION DATE
ESC-1 COVER SHEET 4/1/2019 7/2/2020
ESC-2 PRE-CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN 4/1/2019 4/21/2020
ESC-3 PRE-CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN 4/1/2019 4/21/2020
ESC-4 PRE-CONSTRUCTION SITE STORMWATER MANAGEMENT PLANS 4/1/2019 4/21/2020
ESC-5 PRE-CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN 4/1/2019 7/2/2020
ESC-6 POST CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN 4/1/2019 4/21/2020
ESC-7 POST CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN 4/1/2019 4/21/2020
ESC-8 POST CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN 4/1/2019 4/21/2020
ESC-9 POST CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN 4/1/2019 7/2/2020
ESC-10 STORMWATER MANAGEMENT POND CROSS SECTION 4/1/2019 4/21/2020
ESC-11 STORMWATER MANAGEMENT POND CROSS SECTION 4/1/2019 4/21/2020
ESC-12 STORMWATER POND CONSTRUCTION PLAN 4/1/2019 4/21/2020
ESC-13 EROSION & SEDIMENT CONTROL DETAILS 4/1/2019 4/21/2020
ESC-14 EROSION & SEDIMENT CONTROL DETAILS 4/1/2019 4/21/2020
ESC-15 EROSION & SEDIMENT CONTROL DETAILS 4/1/2019 4/21/2020
ESC-16 EROSION & SEDIMENT CONTROL NOTES 4/1/2019 4/21/2020

WINDSWEPT @ LEWES
RESIDENTIAL PLANNED COMMUNITY
CONSTRUCTION SET

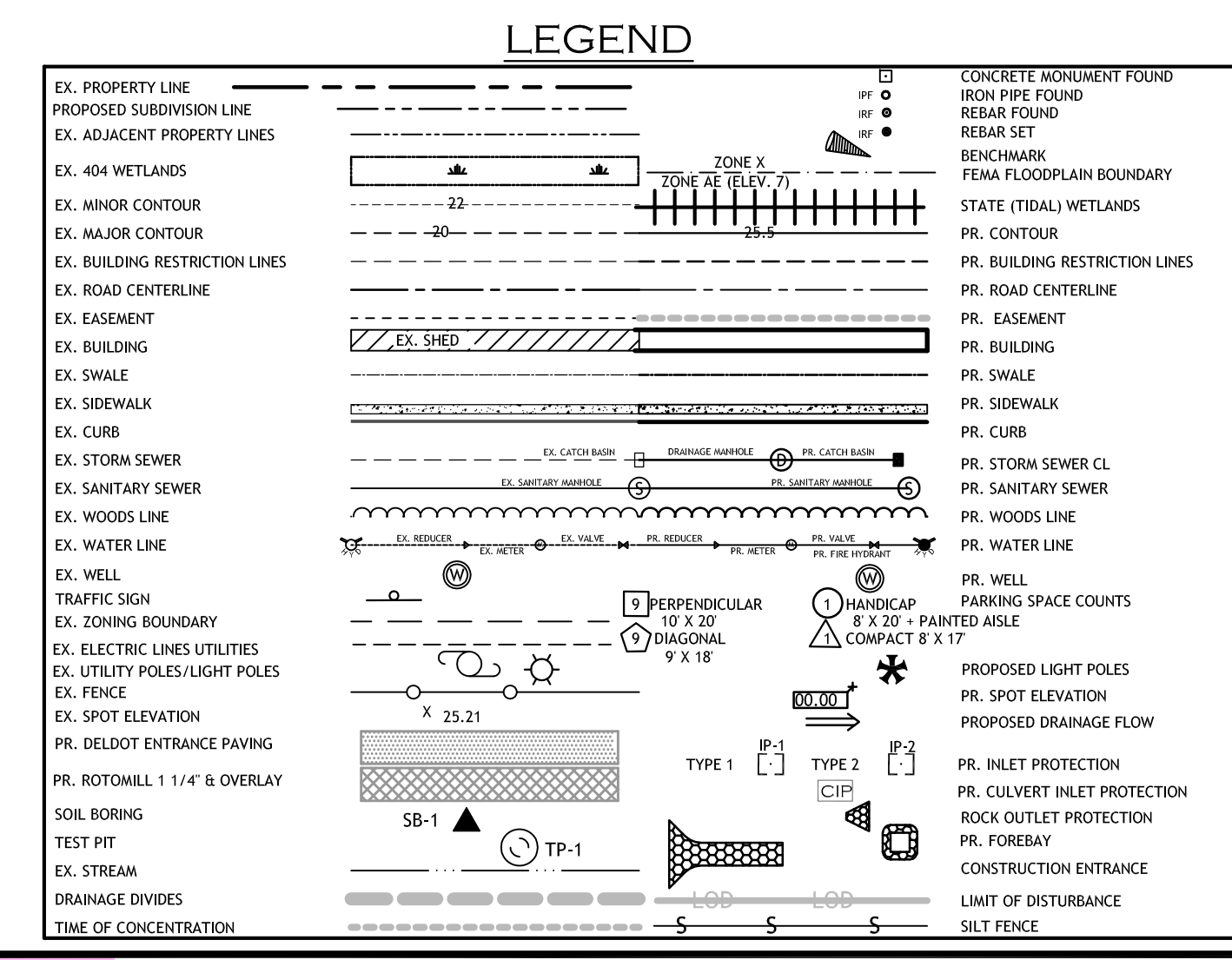


SITE DATA:
OWNER: DAWN DORMAN, KELLY DORMAN, MARLENE HARMON
EQUITABLE OWNER/DEVELOPER: BOARDWALK DEVELOPMENT, LLC
TAX MAP DEED REFERENCE: 234-12.00-3.00 & 6.00
STATE INVESTMENT LEVEL: 3
HIGHWAY FUNCTIONAL CLASSIFICATION/POSTED SPEED LIMIT: N/A

REQUIRED LOT SIZE: MIN. WIDTH 60', MIN. DEPTH 100', MIN. AREA 7,500 SQ. FT.
BUILDING SETBACKS: FRONT 25', CORNER 45', SIDE 5', REAR 10'
PROPOSED BUILDING HEIGHT: 42' MAX.

SITE AREA CALCULATIONS:
OPEN SPACE PARCEL A: 12.77 AC.
OPEN SPACE PARCEL B: 1.09 AC.
OPEN SPACE PARCEL C: 0.54 AC.
TOTAL OPEN SPACE: 14.40 AC. (24%)
DEDICATION TO STATE OF DELAWARE: 0.32 AC.
AREA TO TRANSFER TO BAY POINT SUBDIVISION: 0.34 AC.
PRIVATE ROAD R.O.W.: 9.07 AC.
LOTS: 35.84 AC.
TOTAL SITE AREA: 59.96 AC.
NET DEVELOPMENT AREA (TOTAL - ROAD R.O.W.): 50.89 AC.

EQUITABLE OWNER'S CERTIFICATION:
I HEREBY CERTIFY THAT I AM THE EQUITABLE OWNER OF THE PROPERTY SHOWN AND DESCRIBED ON THIS PLAN, AND THAT THE SUBDIVISION SHOWN REPRESENTS MY ACT, AND THAT I DESIRE THE PROPERTY TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES AND REGULATIONS.



WETLANDS CERTIFICATION:
THIS PROPERTY HAS BEEN EXAMINED BY COASTAL SOILS CONSULTANTS FOR THE PRESENCE OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SECTION 404 AND SECTION 101, STATE SUBAQUEOUS LANDS AND STATE TIDAL WETLANDS BASED ON THE CRITERIA SET FORTH BY THE REVIEWING AGENCIES IN THE FORM OF MANUALS, POLICIES AND PROCEDURES IN PLACE AT THE TIME THAT THE INVESTIGATION WAS CONDUCTED.

ENGINEER'S CERTIFICATION:
I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED PROFESSIONAL STANDARDS AND PRACTICES AND BY THE SUSSEX COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.

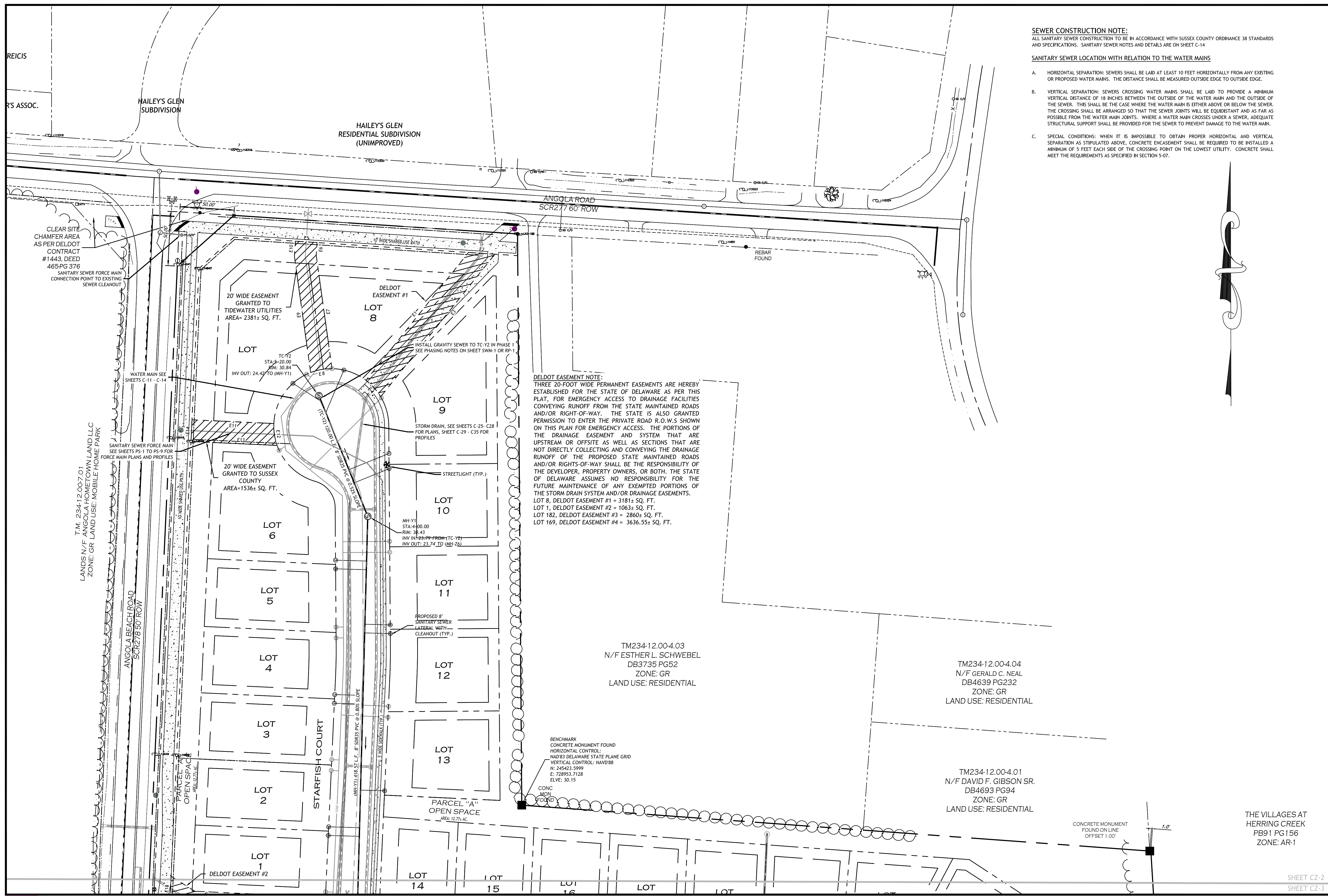
JAY DUKE - CLASS D SOIL SCIENTIST
COASTAL SOIL CONSULTANTS
25092 OAK ROAD - SEAFORD, DE 19973
302-629-2989 - jayduke@comcast.net

KENNETH R. CHRISTENBURY, P.E. - DE. LICENSE NO. 11553-EXPIRES 6/30/2022

BOARDWALK DEVELOPMENT, LLC - C/O JOSEPH REED
317 REHOBOTH AVENUE - REHOBOTH BEACH, DE 19971 - (302) 430-4060 - jreedre@gmail.com

SUSSEX COUNTY ENGINEERING DEPARTMENT APPROVAL - AGREEMENT #1099
HANS MEDLARZ, P.E. - SUSSEX COUNTY ENGINEER

COVER SHEET
CZ # 1859 - COUNTY AGREEMENT # 1099
WINDSWEPT @ LEWES R.P.C.
S.C.R. 278 - ANGOLA BEACH ROAD
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE
AXIOM ENGINEERING L.L.C.
18 CHESTNUT STREET, SUITE 100, DE 19947
(302) 855-0812
WWW.AXIOMENGINEERING.COM



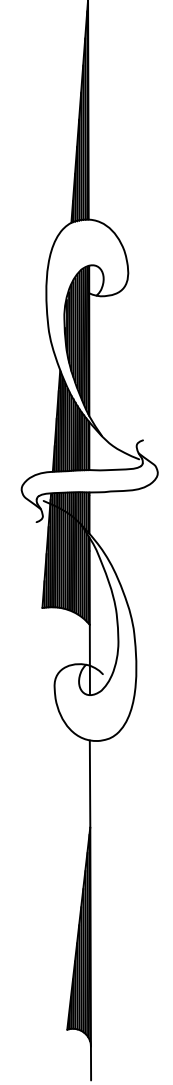
**SEWER CONSTRUCTION NOTE:**  
ALL SANITARY SEWER CONSTRUCTION TO BE IN ACCORDANCE WITH SUSSEX COUNTY ORDINANCE 38 STANDARDS AND SPECIFICATIONS. SANITARY SEWER NOTES AND DETAILS ARE ON SHEET C-14

**SANITARY SEWER LOCATION WITH RELATION TO THE WATER MAINS**

A. HORIZONTAL SEPARATION: SEWERS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAINS. THE DISTANCE SHALL BE MEASURED OUTSIDE EDGE TO OUTSIDE EDGE.

B. VERTICAL SEPARATION: SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE OR BELOW THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIBIBAL AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT DAMAGE TO THE WATER MAIN.

C. SPECIAL CONDITIONS: WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, CONCRETE ENCASEMENT SHALL BE REQUIRED TO BE INSTALLED A MINIMUM OF 5 FEET EACH SIDE OF THE CROSSING POINT ON THE LOWEST UTILITY. CONCRETE SHALL MEET THE REQUIREMENTS AS SPECIFIED IN SECTION 5-07.



ENGINEER:	KKC
DESIGNER:	KKC
DRAFTER:	EW
CHECKED BY:	KKC
DATE:	4/1/2019
TAX MAP:	284-12.00-3.00 6.00

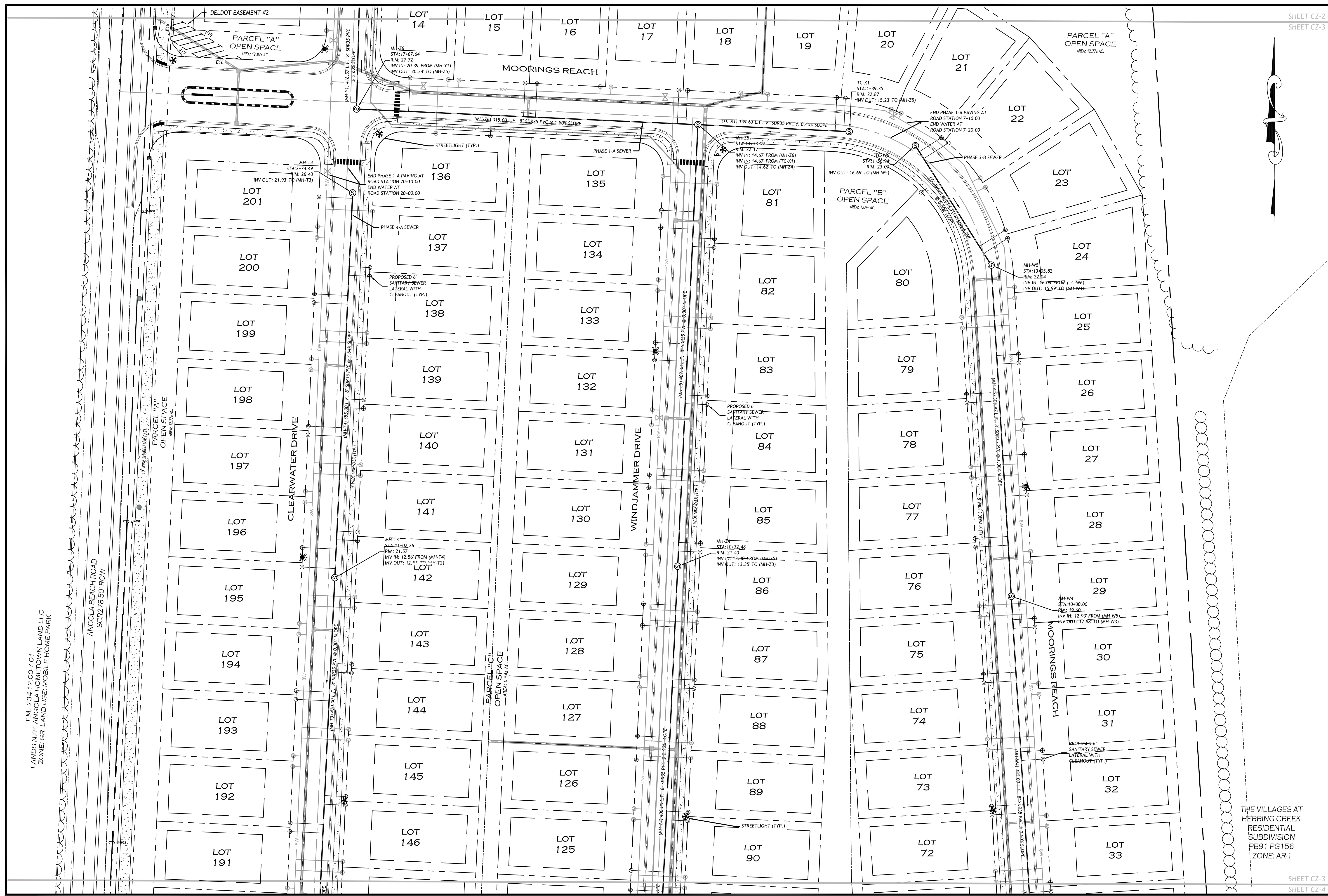
**SANITARY SEWER PLANS**  
CZ #1859 - COUNTY AGREEMENT #1099  
**WINDSWEEP @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM ENGINEERING L.L.C.**  
16 CHESTNUT STREET, SUITE 119  
LEWES, DE 19947  
(302) 855-0811  
FAX: (302) 855-0812  
WWW.AXIOMENR.COM

PROJECT NO: 0233-1702  
DRAWING: C-2  
SHEET: 2 OF 36

THE VILLAGES AT HERRING CREEK  
PB91 PG156  
ZONE: AR-1

CONCRETE MONUMENT FOUND ON LINE OFFSET 1.00'



SHEET CZ-2  
SHEET CZ-3

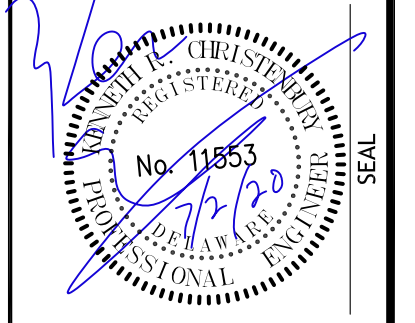
NO.	DATE	BY	DESCRIPTION
1	12/20/20	EW	RESPONSE TO AGENCY COMMENTS
2	1/9/2020	EW	RESPONSE TO TIDSWATER COMMENTS
3	4/9/2020	MK	REVISED PER AGENCY COMMENTS
4	4/21/2020	MK	REVISED PER AGENCY COMMENTS
5	8/11/2019	EW	DESCRIPTION OF REVISION

THE DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REGULATIONS THEREON AND APPROPRIATE HEALTH AND SAFETY RULES AND REGULATIONS.

**SANITARY SEWER PLANS**  
 CZ #1859 - COUNTY AGREEMENT #1099  
**WINDSWEPT @ LEWES R.P.C.**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM ENGINEERING L.L.C.**  
 18 CHESTNUT STREET  
 SUITE 100 DE 19947  
 (302) 855-0812  
 FAX: 855-0812  
 WWW.AXIOMSG.COM

ENGINEER:	MK
DESIGNER:	EW
DRAFTER:	MK
CHECKED BY:	EW
DATE:	4/11/2019
TAX MAP:	284-11-003.00 6.00

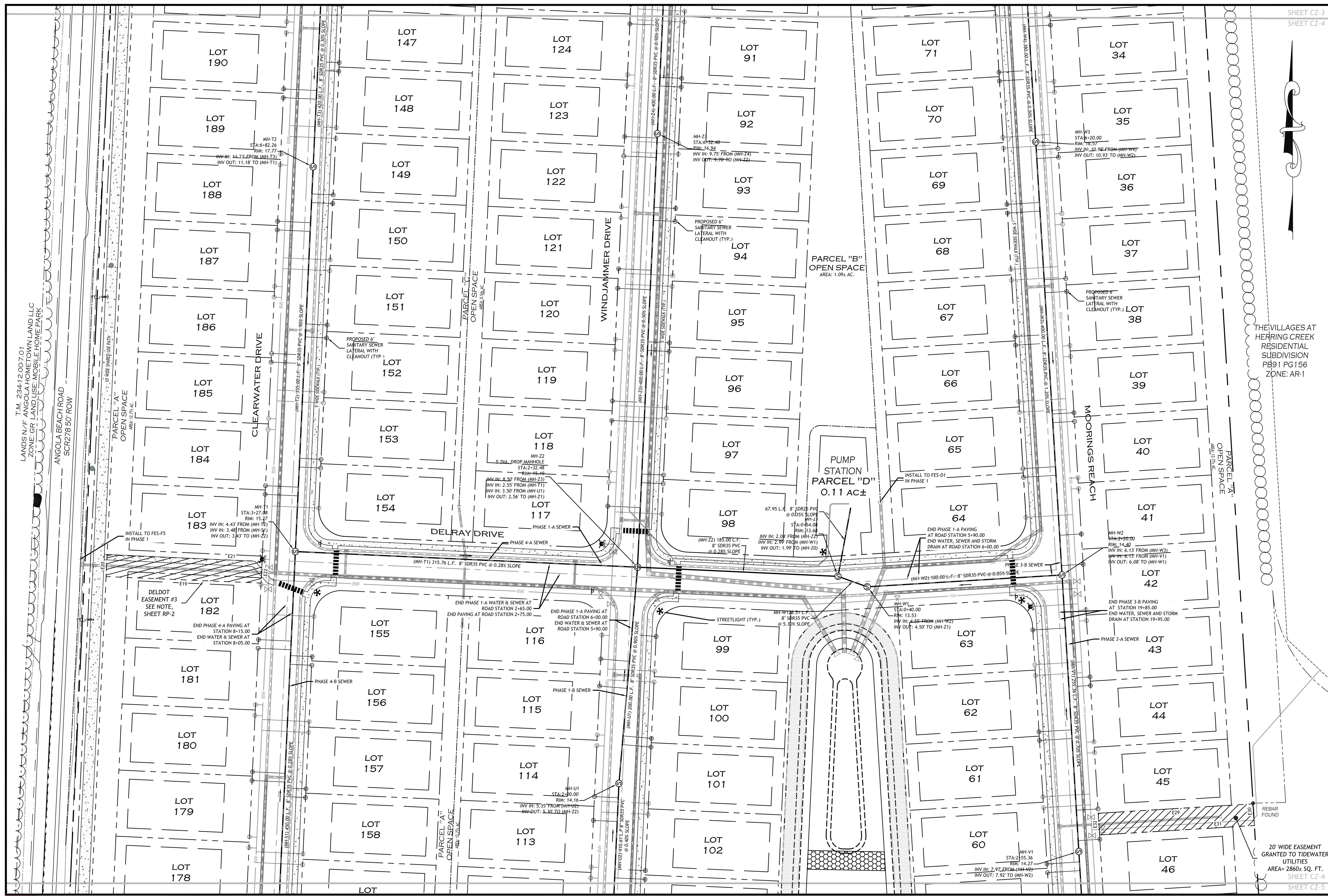


THE VILLAGES AT  
 HERRING CREEK  
 RESIDENTIAL  
 SUBDIVISION  
 PB91 PG156  
 ZONE: AR-1

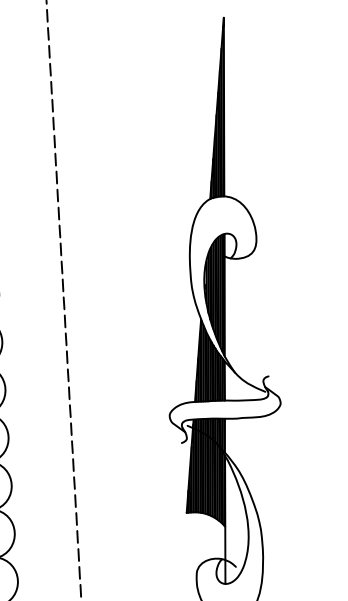
SHEET CZ-3  
SHEET CZ-4

PROJECT NO:	0233-1702
DRAWING:	C-3
SHEET:	3 OF 36

T.M. 23412.007.01  
 LANDS/N/F ANGOLA HOMETOWN LAND LLC  
 ZONE: GR LAND USE: MOBILE HOME PARK



SHEET CZ-3  
SHEET CZ-4



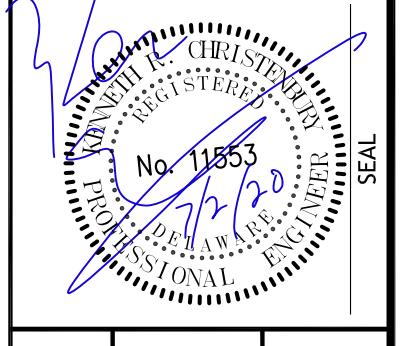
THE VILLAGES AT  
HERRING CREEK  
RESIDENTIAL  
SUBDIVISION  
PB91 PG156  
ZONE: AR-1

RESPONSE TO AGENCY COMMENTS	EW	KAC
RESPONSE TO TIDWATER COMMENTS	EW	KAC
REVISED PER AGENCY COMMENTS	EW	KAC
REVISED PER AGENCY COMMENTS	EW	KAC
REVISED PER AGENCY COMMENTS	EW	KAC
DESCRIPTION OF REVISION	REV	EW

**SANITARY SEWER PLANS**  
CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEPT @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM**  
ENGINEERING L.L.C.  
18 CHESTNUT STREET  
DELEWARE CITY, DE 19847  
(302) 855-0812  
FAX: 855-0812  
WWW.AXIOMSG.COM

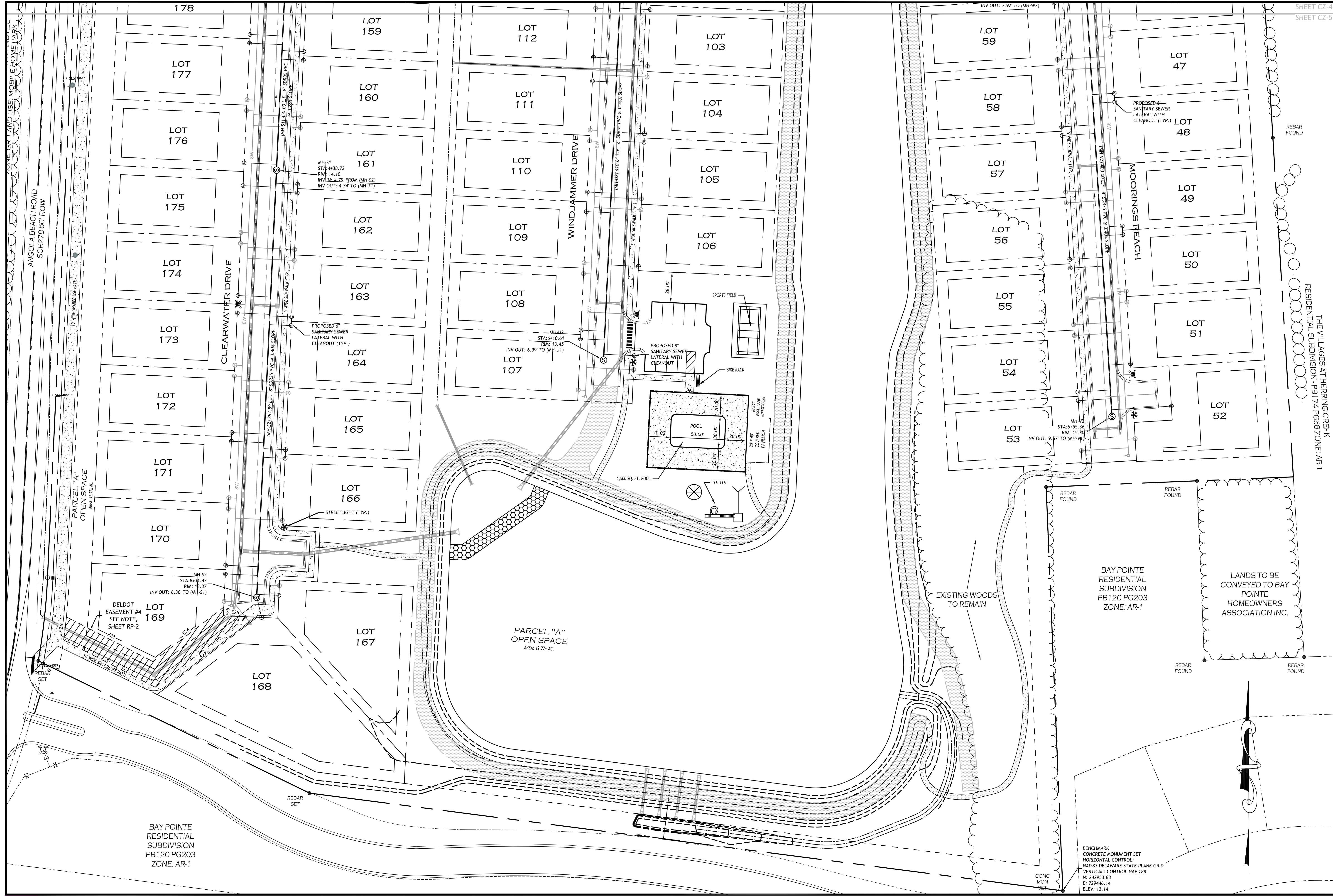
ENGINEER:	KAC
DESIGNER:	KAC
DRAFTER:	EW
CHECKED BY:	KAC
DATE:	4/1/2019
TAX MAP:	284-10-03.00 & 6.00



PROJECT NO:	0233-1702
DRAWING:	C-4
SHEET:	4 OF 36

20' WIDE EASEMENT  
GRANTED TO TIDWATER  
UTILITIES  
AREA= 2860± SQ. FT.  
SHEET CZ-5  
SHEET CZ-5

T.M. 234-12-00-07-01  
LANDS N/F ANGOLA HOMETOWN LAND LLC  
ZONE: GR LAND USE: MOBILE HOME PARK  
ANGOLA BEACH ROAD  
SCR278 50' ROW

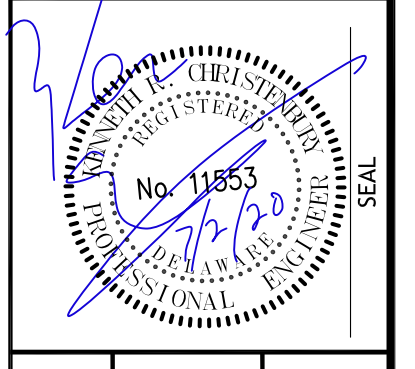


RESPONSE TO AGENCY COMMENTS	EW	7/17/2020	7/17/2020
RESPONSE TO TIERWATER COMMENTS	EW	6/09/2020	6/09/2020
REVISED PER AGENCY COMMENTS	EW	4/17/2020	4/17/2020
REVISED PER AGENCY COMMENTS	EW	4/17/2020	4/17/2020
DESCRIPTION OF REVISION	REV	8/17/2019	8/17/2019
REV	REV	8/17/2019	8/17/2019

**SANITARY SEWER PLANS**  
 CZ #1859 - COUNTY AGREEMENT #1099  
**WINDSWEPT @ LEWES R.P.C.**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM ENGINEERING L.L.C.**  
 18 CHESTNUT STREET  
 DELEWARE CITY, DE 19847  
 (302) 855-0812  
 FAX: 855-0812  
 WWW.AXIOMENG.COM

ENGINEER:	MKC
DESIGNER:	EW
DRAFTER:	MKC
CHECKED BY:	4/17/2019
DATE:	234-17,003.00 6. 6.00
TAX MAP:	

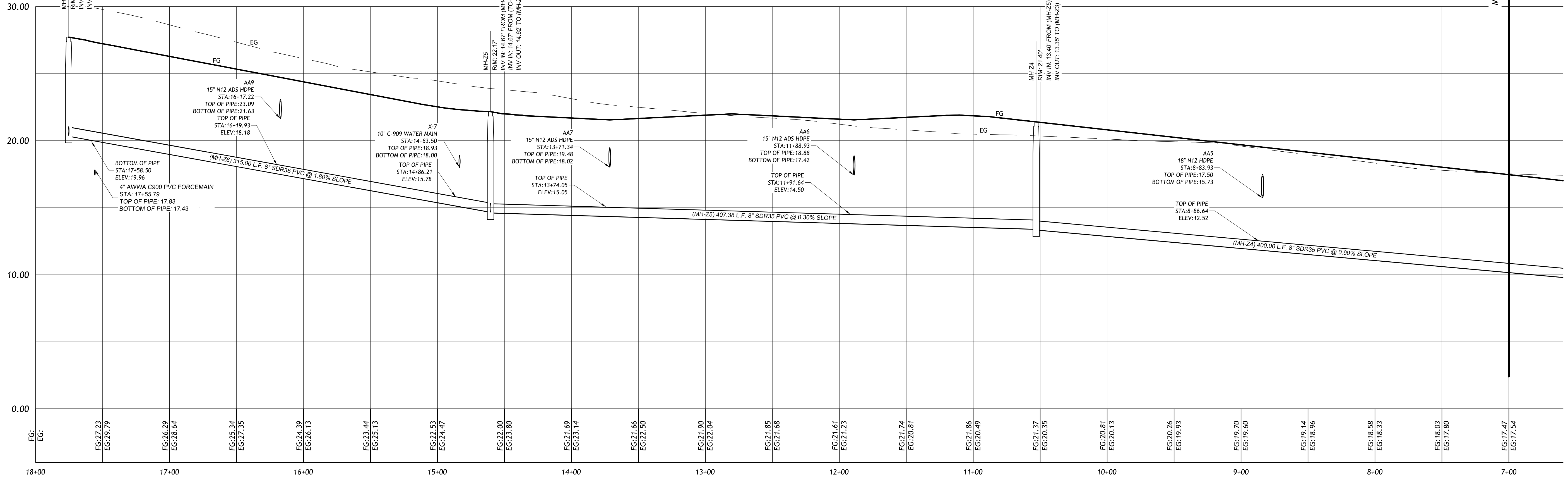


PROJECT NO: 0233-1702  
 DRAWING: C-5  
 SHEET: 5 OF 36

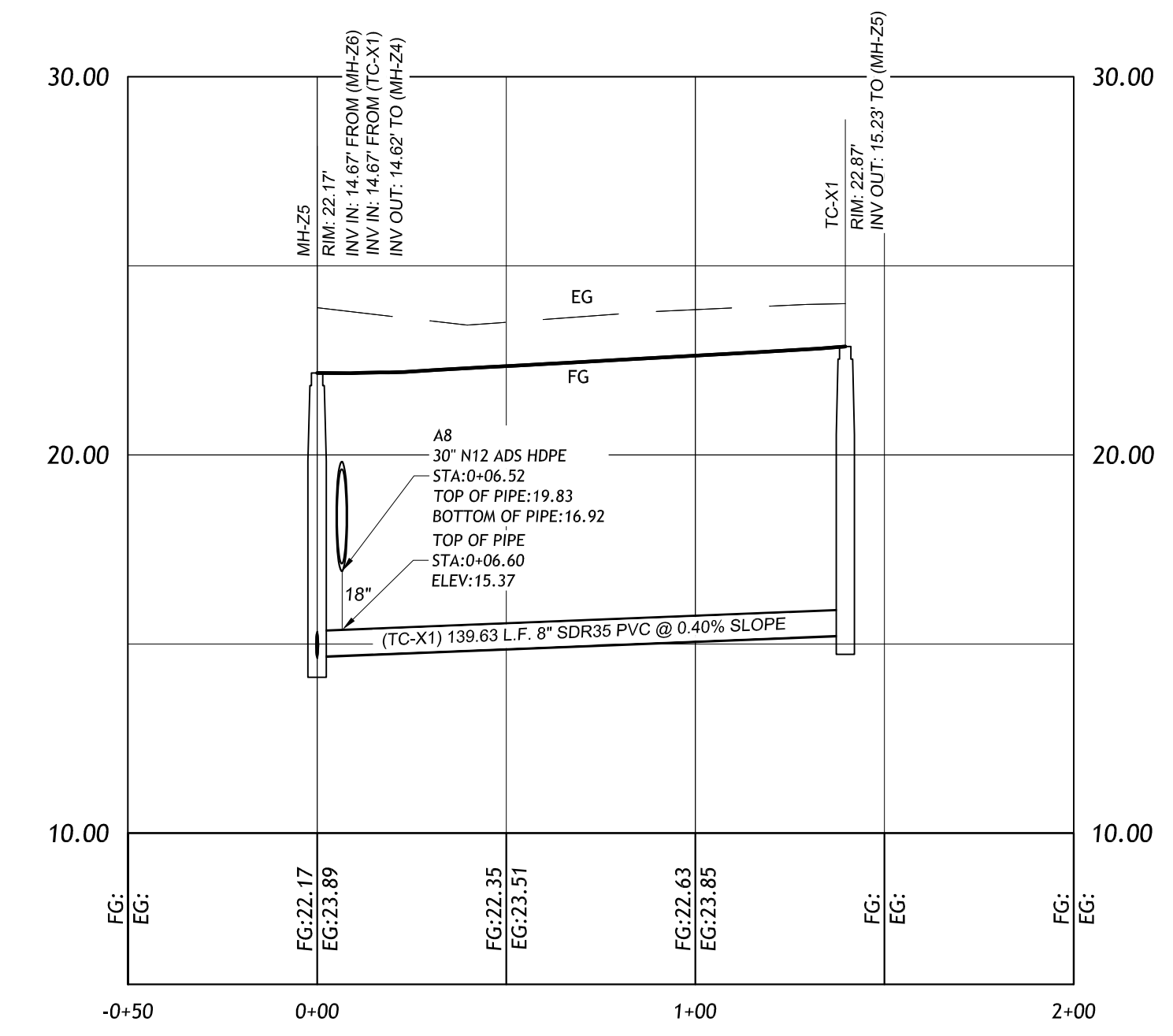
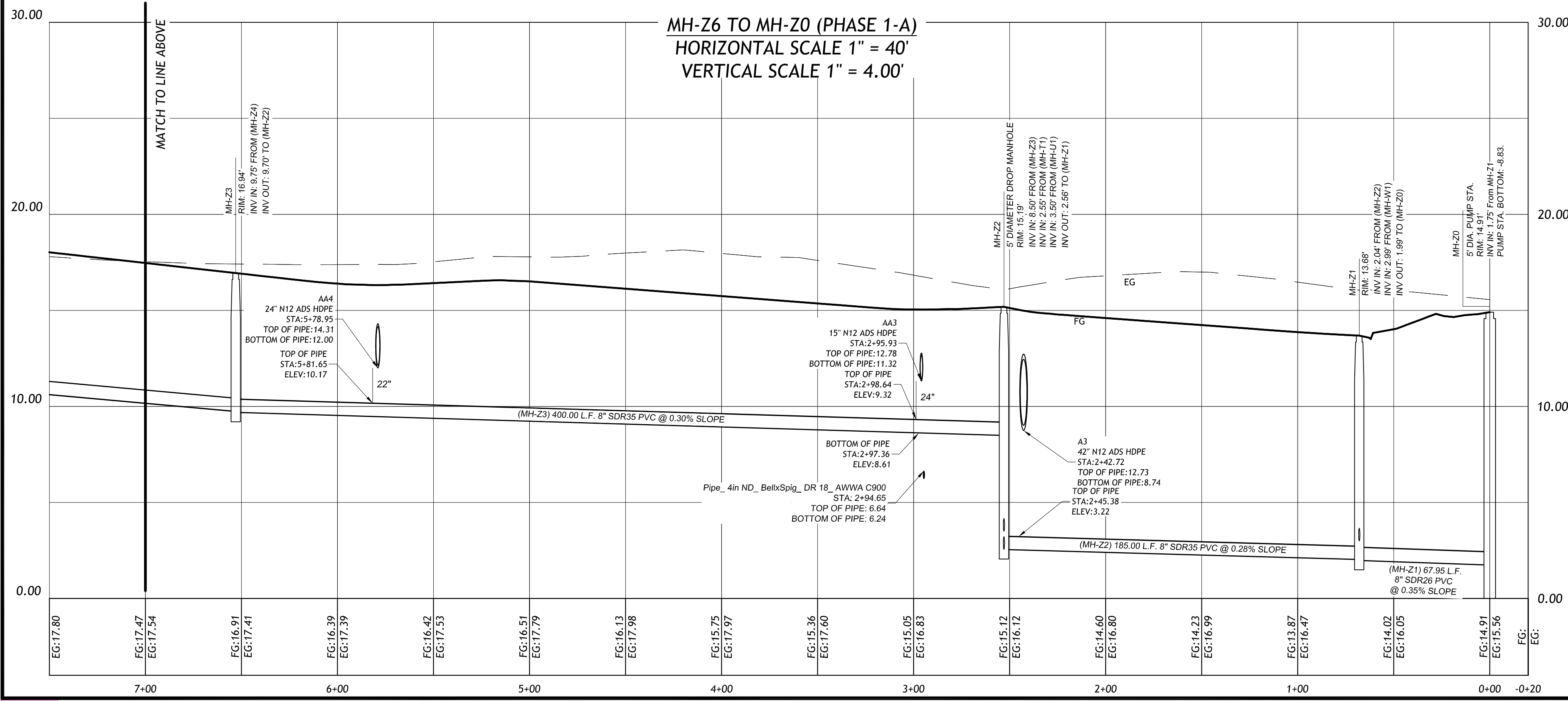
SHEET CZ-4  
 SHEET CZ-5  
 THE VILLAGES AT HERRING CREEK  
 RESIDENTIAL SUBDIVISION - PB174 PG58 ZONE: AR-1

BENCHMARK  
 CONCRETE MONUMENT SET  
 HORIZONTAL CONTROL:  
 NAD83 DELAWARE STATE PLANE GRID  
 VERTICAL CONTROL NAVD83  
 N: 242953.83  
 E: 729446.14  
 ELEV: 13.14

MH-Z6 TO MH-Z0 (PHASE 1-A)  
HORIZONTAL SCALE 1" = 40'  
VERTICAL SCALE 1" = 4.00'



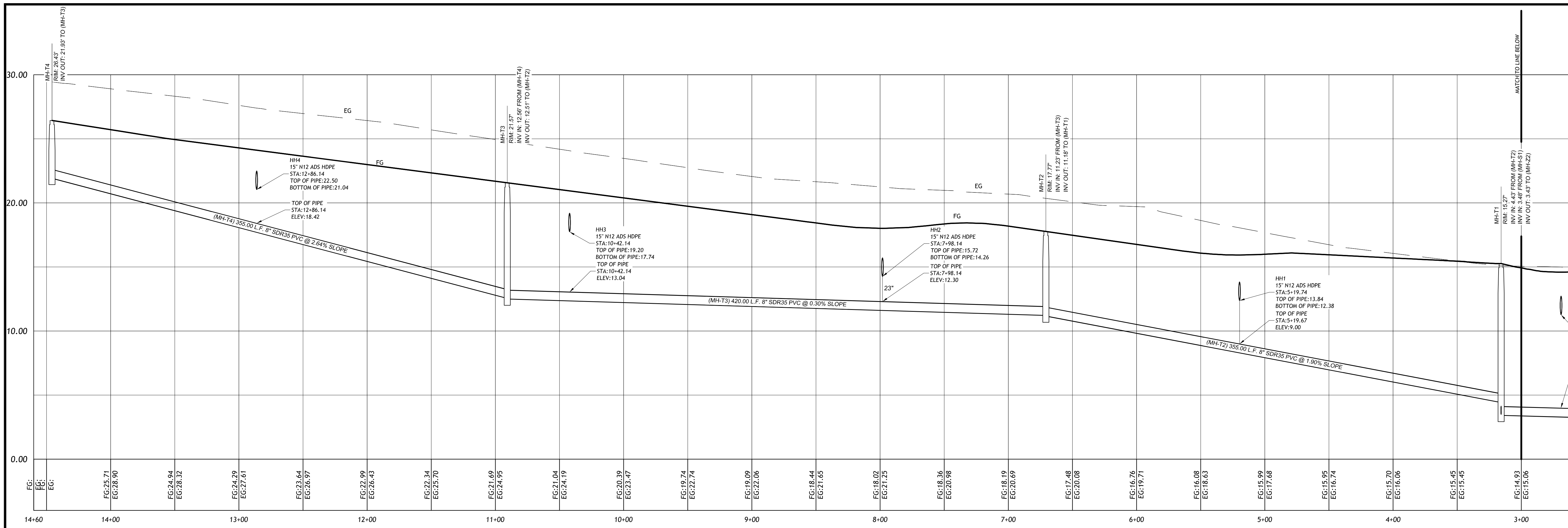
MH-Z6 TO MH-Z0 (PHASE 1-A)  
HORIZONTAL SCALE 1" = 40'  
VERTICAL SCALE 1" = 4.00'



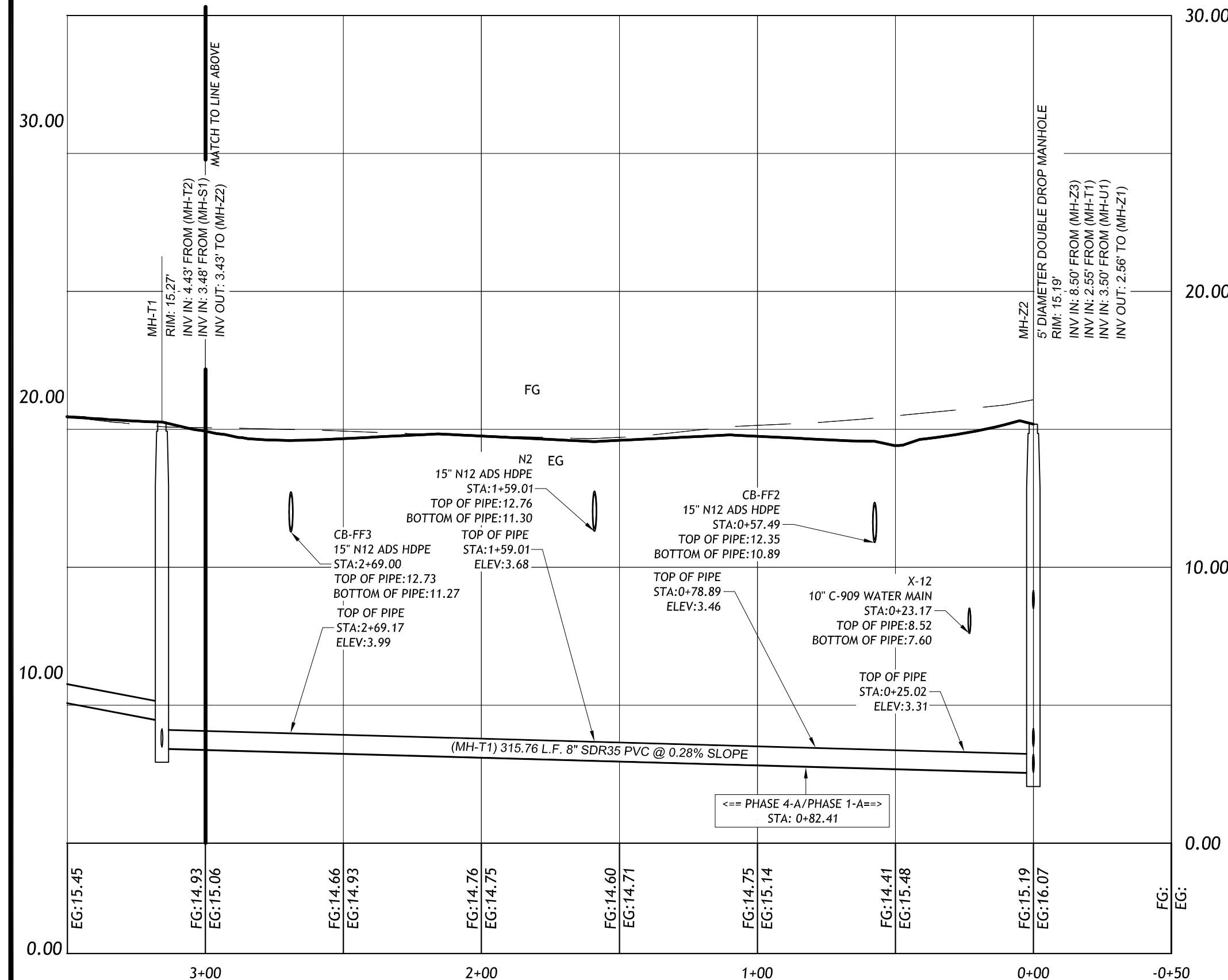
MH-Z5 TO TC-X1 (PHASE 1-A)  
HORIZONTAL SCALE 1"=40'  
VERTICAL SCALE 1"=4.00'

<b>SANITARY SEWER PROFILES</b> CZ # 1859 - COUNTY AGREEMENT # 1099 <b>WINDSWEPT @ LEWES R.P.C.</b> S.C.R. 278 - ANGOLA BEACH ROAD INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE	
PROJECT NO: <b>0233-1702</b>	DRAWING: <b>C-6</b>
SHEET: <b>6 OF 36</b>	REVISIONS: REV. NO.   DATE   DESCRIPTION OF REVISION 1   02/12/2019   04/27/2020 2   02/12/2019   04/27/2020 3   02/12/2019   04/27/2020 4   02/12/2019   04/27/2020 5   02/12/2019   04/27/2020 6   02/12/2019   04/27/2020 7   02/12/2019   04/27/2020 8   02/12/2019   04/27/2020 9   02/12/2019   04/27/2020 10   02/12/2019   04/27/2020 11   02/12/2019   04/27/2020 12   02/12/2019   04/27/2020 13   02/12/2019   04/27/2020 14   02/12/2019   04/27/2020 15   02/12/2019   04/27/2020 16   02/12/2019   04/27/2020 17   02/12/2019   04/27/2020 18   02/12/2019   04/27/2020 19   02/12/2019   04/27/2020 20   02/12/2019   04/27/2020 21   02/12/2019   04/27/2020 22   02/12/2019   04/27/2020 23   02/12/2019   04/27/2020 24   02/12/2019   04/27/2020 25   02/12/2019   04/27/2020 26   02/12/2019   04/27/2020 27   02/12/2019   04/27/2020 28   02/12/2019   04/27/2020 29   02/12/2019   04/27/2020 30   02/12/2019   04/27/2020 31   02/12/2019   04/27/2020 32   02/12/2019   04/27/2020 33   02/12/2019   04/27/2020 34   02/12/2019   04/27/2020 35   02/12/2019   04/27/2020 36   02/12/2019   04/27/2020 37   02/12/2019   04/27/2020 38   02/12/2019   04/27/2020 39   02/12/2019   04/27/2020 40   02/12/2019   04/27/2020 41   02/12/2019   04/27/2020 42   02/12/2019   04/27/2020 43   02/12/2019   04/27/2020 44   02/12/2019   04/27/2020 45   02/12/2019   04/27/2020 46   02/12/2019   04/27/2020 47   02/12/2019   04/27/2020 48   02/12/2019   04/27/2020 49   02/12/2019   04/27/2020 50   02/12/2019   04/27/2020 51   02/12/2019   04/27/2020 52   02/12/2019   04/27/2020 53   02/12/2019   04/27/2020 54   02/12/2019   04/27/2020 55   02/12/2019   04/27/2020 56   02/12/2019   04/27/2020 57   02/12/2019   04/27/2020 58   02/12/2019   04/27/2020 59   02/12/2019   04/27/2020 60   02/12/2019   04/27/2020 61   02/12/2019   04/27/2020 62   02/12/2019   04/27/2020 63   02/12/2019   04/27/2020 64   02/12/2019   04/27/2020 65   02/12/2019   04/27/2020 66   02/12/2019   04/27/2020 67   02/12/2019   04/27/2020 68   02/12/2019   04/27/2020 69   02/12/2019   04/27/2020 70   02/12/2019   04/27/2020 71   02/12/2019   04/27/2020 72   02/12/2019   04/27/2020 73   02/12/2019   04/27/2020 74   02/12/2019   04/27/2020 75   02/12/2019   04/27/2020 76   02/12/2019   04/27/2020 77   02/12/2019   04/27/2020 78   02/12/2019   04/27/2020 79   02/12/2019   04/27/2020 80   02/12/2019   04/27/2020 81   02/12/2019   04/27/2020 82   02/12/2019   04/27/2020 83   02/12/2019   04/27/2020 84   02/12/2019   04/27/2020 85   02/12/2019   04/27/2020 86   02/12/2019   04/27/2020 87   02/12/2019   04/27/2020 88   02/12/2019   04/27/2020 89   02/12/2019   04/27/2020 90   02/12/2019   04/27/2020 91   02/12/2019   04/27/2020 92   02/12/2019   04/27/2020 93   02/12/2019   04/27/2020 94   02/12/2019   04/27/2020 95   02/12/2019   04/27/2020 96   02/12/2019   04/27/2020 97   02/12/2019   04/27/2020 98   02/12/2019   04/27/2020 99   02/12/2019   04/27/2020 100   02/12/2019   04/27/2020
THE DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. HEALTH, AND WELFARE OF THE PUBLIC. ALL RULES AND REGULATIONS THEREOF AND APPROPRIATE.	

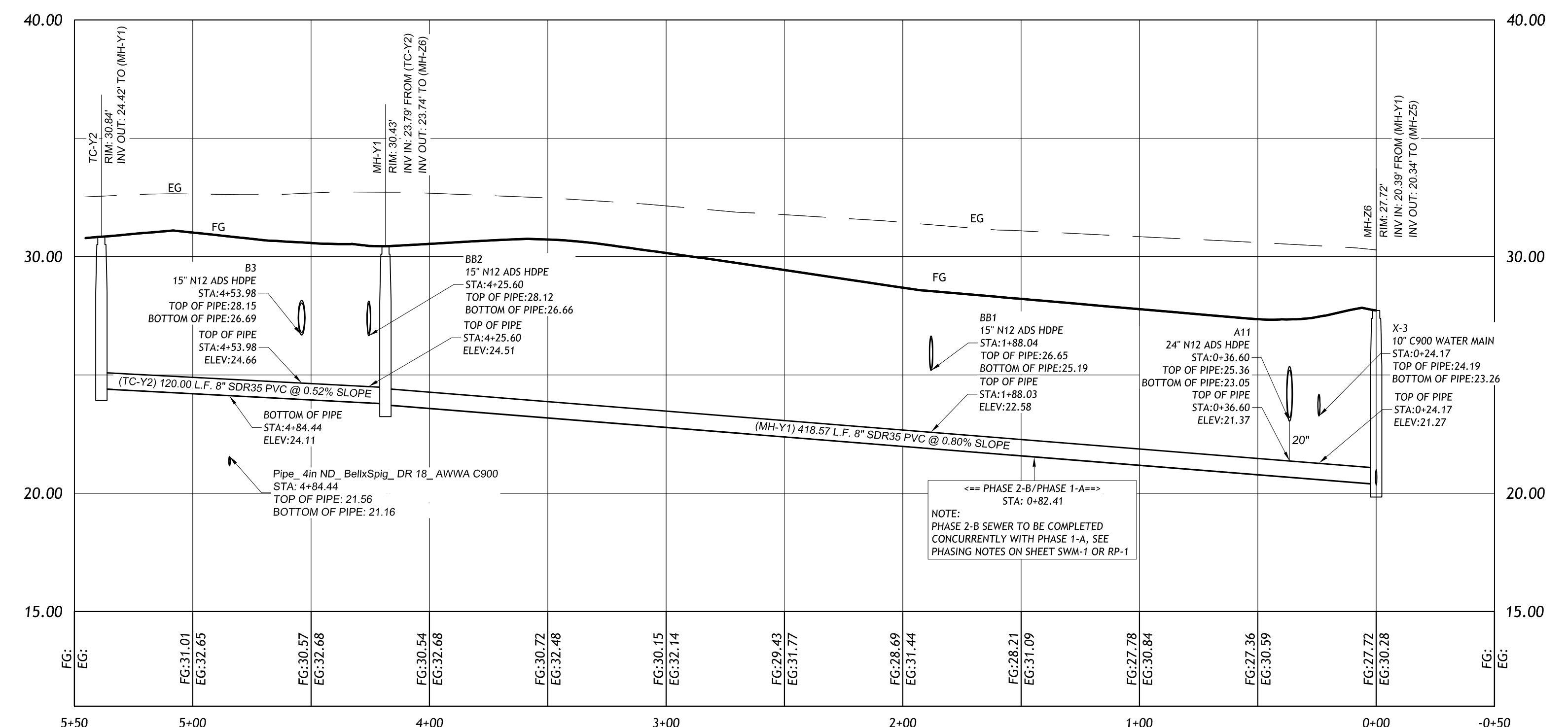




MH-T4 TO MH-Z2 (PHASE 4-A)  
HORIZONTAL SCALE 1"=40'  
VERTICAL SCALE 1"=4.00'

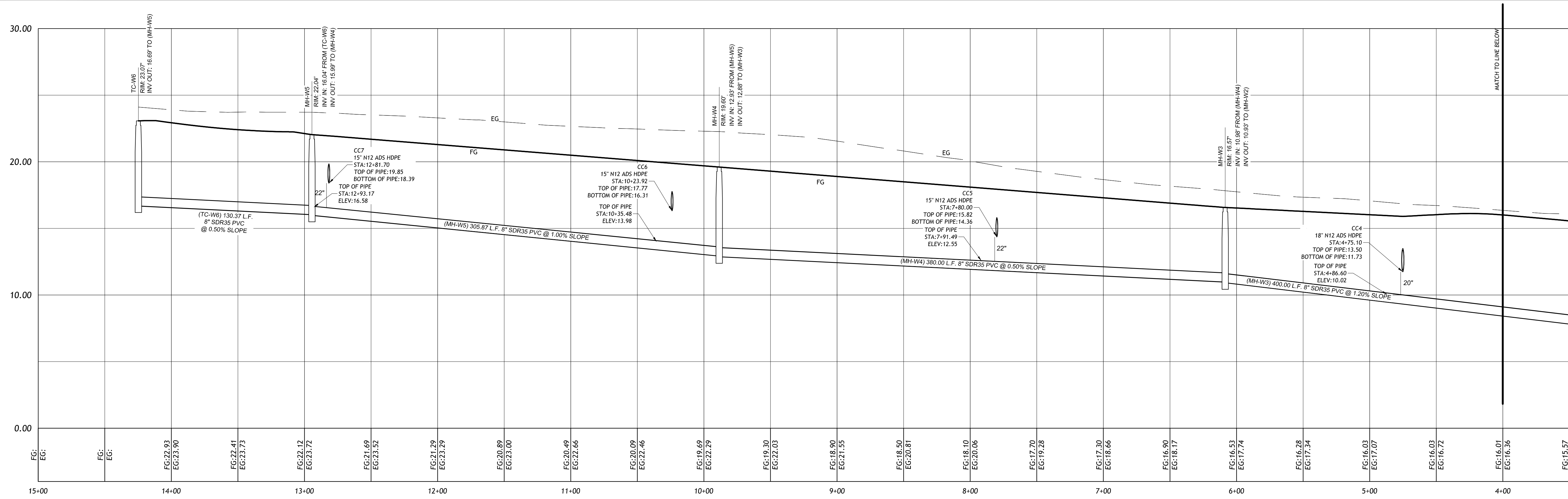


MH-T4 TO MH-Z2 (PHASE 4-A)  
HORIZONTAL SCALE 1" = 40'  
VERTICAL SCALE 1" = 4.00'

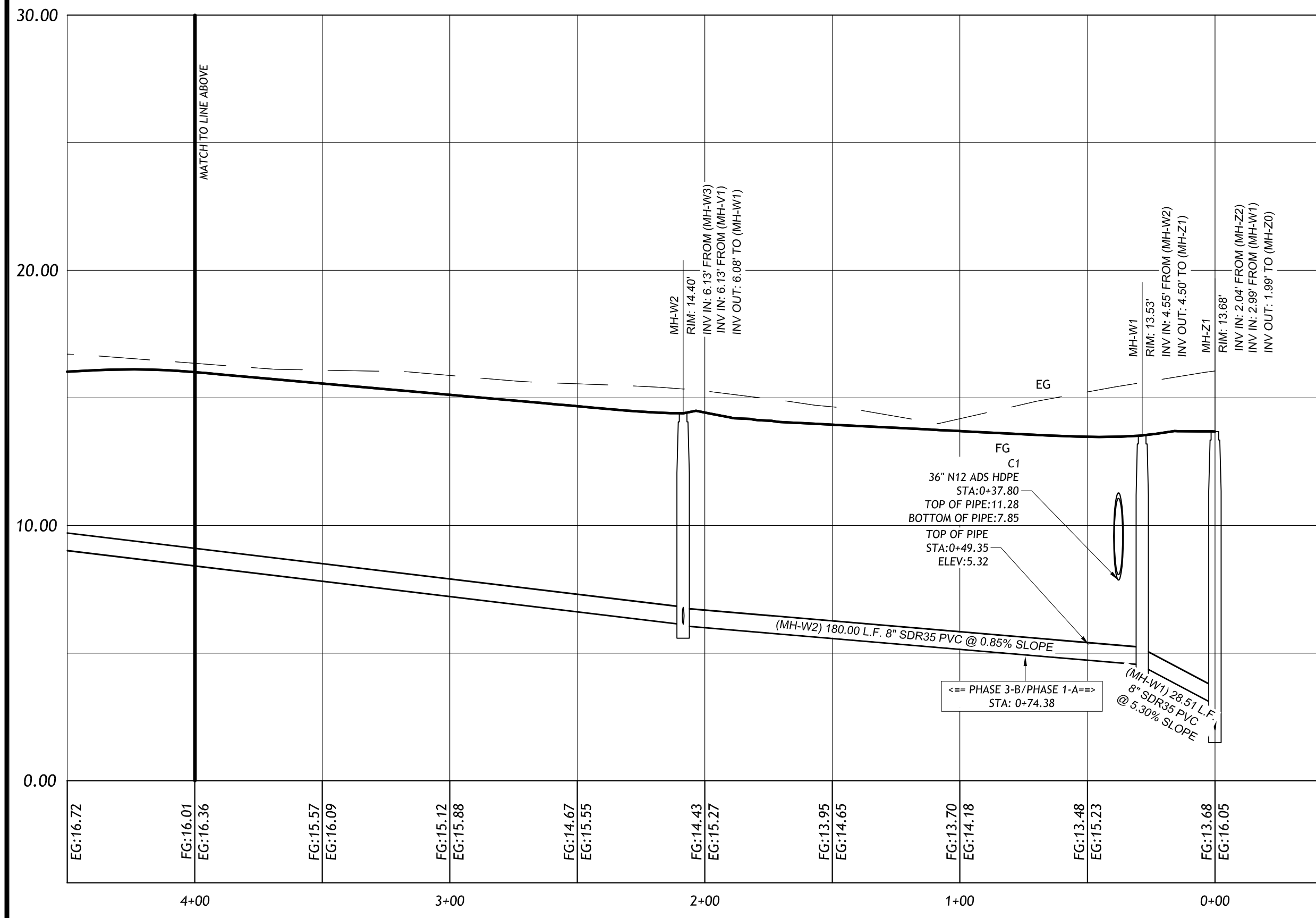


MH-Z6 TO TC-Y2  
HORIZONTAL SCALE 1"=40'  
VERTICAL SCALE 1"=4.00'

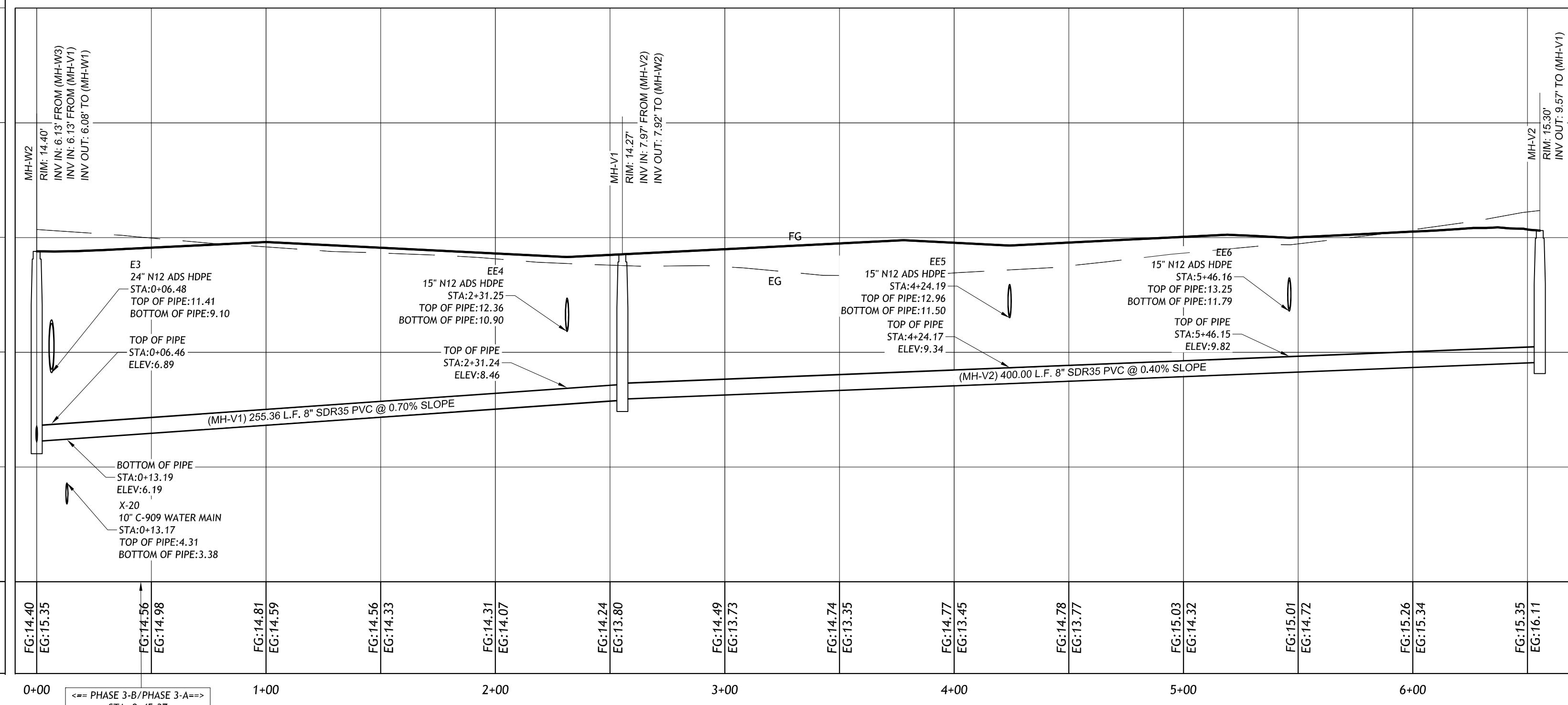
<b>SANITARY SEWER PROFILES</b> CZ # 1859 - COUNTY AGREEMENT # 1099 <b>WINDSWEPT @ LEWES R.P.C.</b> S.C.R. 278 - ANGOLA BEACH ROAD INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE											
<b>AXIOM ENGINEERING L.L.C.</b> 18 CHESTNUT STREET DEWESBORO, DE 19847 (302) 855-0812 FAX: 855-0812 WWW.AXIOMENR.COM											
PROJECT NO: <b>0233-1702</b>	DRAWING: <b>C-7</b>										
SHEET: <b>7 OF 36</b>	REVISIONS: <table border="1"> <tr> <th>REV</th> <th>DESCRIPTION OF REVISION</th> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	REV	DESCRIPTION OF REVISION								
REV	DESCRIPTION OF REVISION										



MH-Z1 TO TC-W6 (PHASE 3-B)  
HORIZONTAL SCALE 1"=40  
VERTICAL SCALE 1"=4.00

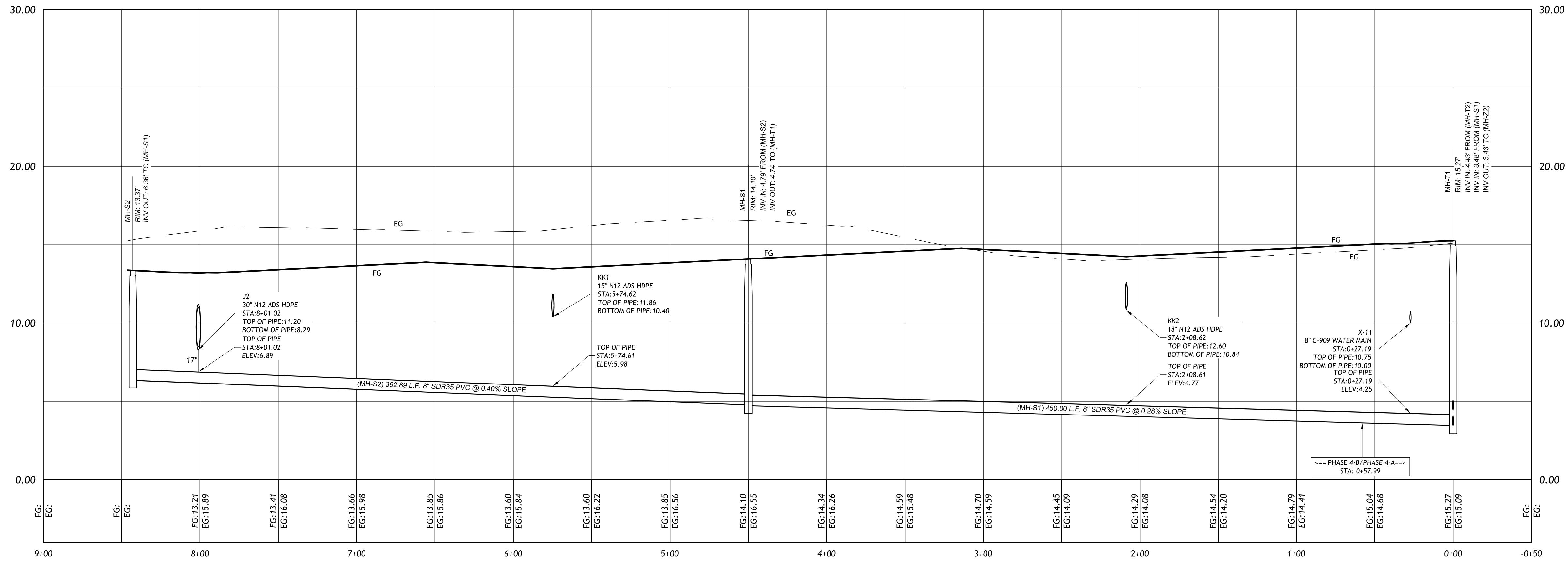


MH-Z1 TO MH-W2 (PHASE 3-B)  
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VERTICAL SCALE 1"=4.00

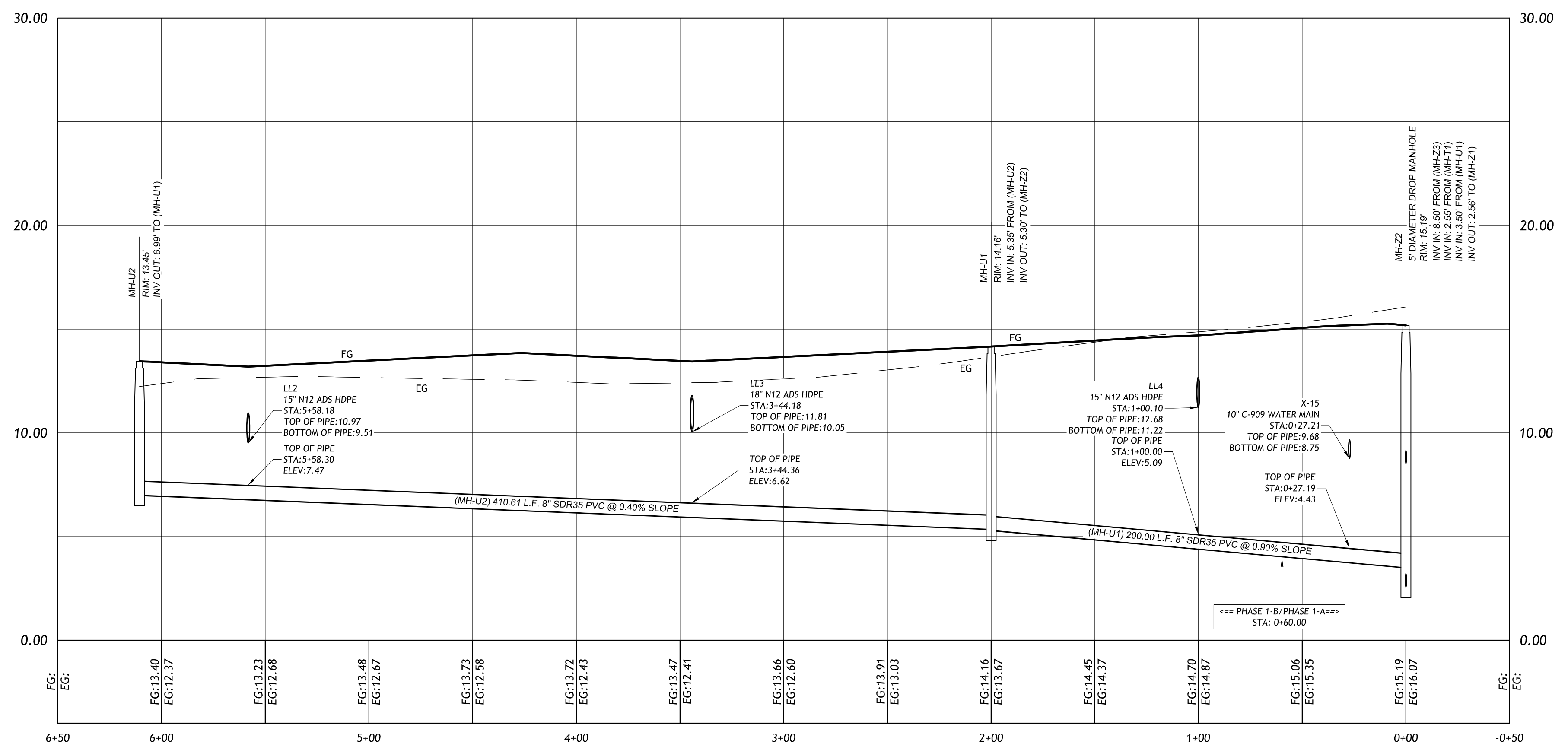


MH-W2 TO MH-V2  
HORIZONTAL SCALE 1"=40  
VERTICAL SCALE 1"=4.00

<b>SANITARY SEWER PROFILES</b> CZ # 1859 - COUNTY AGREEMENT # 1099 <b>WINDSWEPT @ LEWES R.P.C.</b> S.C.R. 278 - ANGOLA BEACH ROAD INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE	
<b>AXIOM ENGINEERING L.L.C.</b> 18 CHESTNUT STREET DEWESBORO, DE 19847 (302) 855-0812 FAX: 855-0812 WEBSITE: WWW.AXIOMENGS.COM	
PROJECT NO: <b>0233-1702</b>	DRAWING: <b>C-8</b>
SHEET: <b>8</b>	OF <b>36</b>
ENGINEER: MKC DESIGNER: MKC DRAFTER: EW CHECKED BY: MKC DATE: 4/1/2019 TAX MAP: 234-12.00-3.00 & 6.00 	



MH-T1 TO TC-S2  
HORIZONTAL SCALE 1"=40  
VERTICAL SCALE 1"=4.00



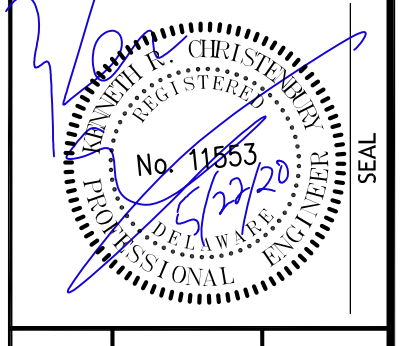
MH-Z2 TO MH-U2  
HORIZONTAL SCALE 1"=40  
VERTICAL SCALE 1"=4.00

REV	DESCRIPTION OF REVISION
1	REVISED PER AGENCY COMMENTS
2	REVISED PER AGENCY COMMENTS
3	REVISED PER AGENCY COMMENTS

**SANITARY SEWER PROFILES**  
CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEPT @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**Axiom Engineering L.L.C.**  
18 CHESTNUT STREET  
DELEWARE CITY, DE 19847  
(302) 855-0812  
FAX: 855-0812  
WWW.AXIOMENGS.COM

ENGINEER:	KBC
DESIGNER:	KBC
DRAWN BY:	EW
CHECKED BY:	KBC
DATE:	4/1/2019
TAX MAP:	234-12,003,00 & 6,00



PROJECT NO: 0233-1702  
DRAWING: C-9  
SHEET: 9 OF 36

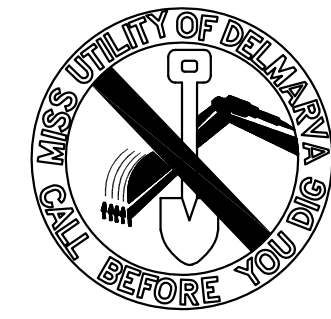
**FIRE MARSHAL NOTES:**

1. ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
2. PROPOSED BUILDINGS WILL NOT BE PROTECTED BY AUTOMATIC SPRINKLERS UNLESS DEEMED NECESSARY BY THE OFFICE OF THE STATE FIRE MARSHAL.
3. PARKING SHALL BE PROHIBITED IN THE TURN AROUND AND CUL-DE-SACS.

**WATER NOTES:**

1. WATER SERVICE FOR THIS DEVELOPMENT WILL BE PROVIDED BY TIDEWATER UTILITIES.
2. ALL WATER MAIN AND SERVICE CONSTRUCTION SHALL CONFORM TO TIDEWATER UTILITIES LATEST CONSTRUCTION SPECIFICATIONS. SEE TIDEWATER DETAILS ON SHEET C-15.
3. WATER MAIN MUST MAINTAIN A MINIMUM DEPTH OF 48" FROM TOP OF PIPE TO GRADE.
4. ALL WATER SERVICES SHALL BE A CONTINUOUS 1" SDR-9 POLY PVC TUBING FROM THE WATER MAIN TO THE METER PIT. WATER LINES AFTER METER ARE RESPONSIBILITY OF OWNER/DEVELOPER.
5. WATER MAIN TYPE SHALL BE C909 CI 235 PVC FOR ANY MAIN 6" AND LARGER AND C900 DR25 PVC FOR 4" MAINS.

MISS UTILITY  
OF  
DELMARVA



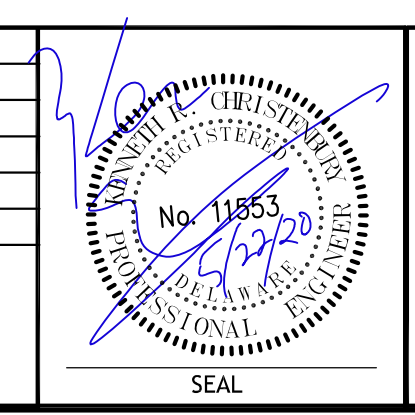
BEFORE YOU DIG CALL  
1-800-282-8555 (in Del.)  
1-800-441-8355 (Md., Va.)  
PROTECT YOURSELF. GIVE TWO  
WORKING DAYS NOTICE



REV	DESCRIPTION OF REVISION	DATE	BY	CHECKED BY

ENGINEER:	KRC
DESIGNER:	MH
DRAFTER:	EJW
CHECKED BY:	KRC
DATE:	01/28/2019
TAX MAP:	234-12.00-3.00 & 6.00

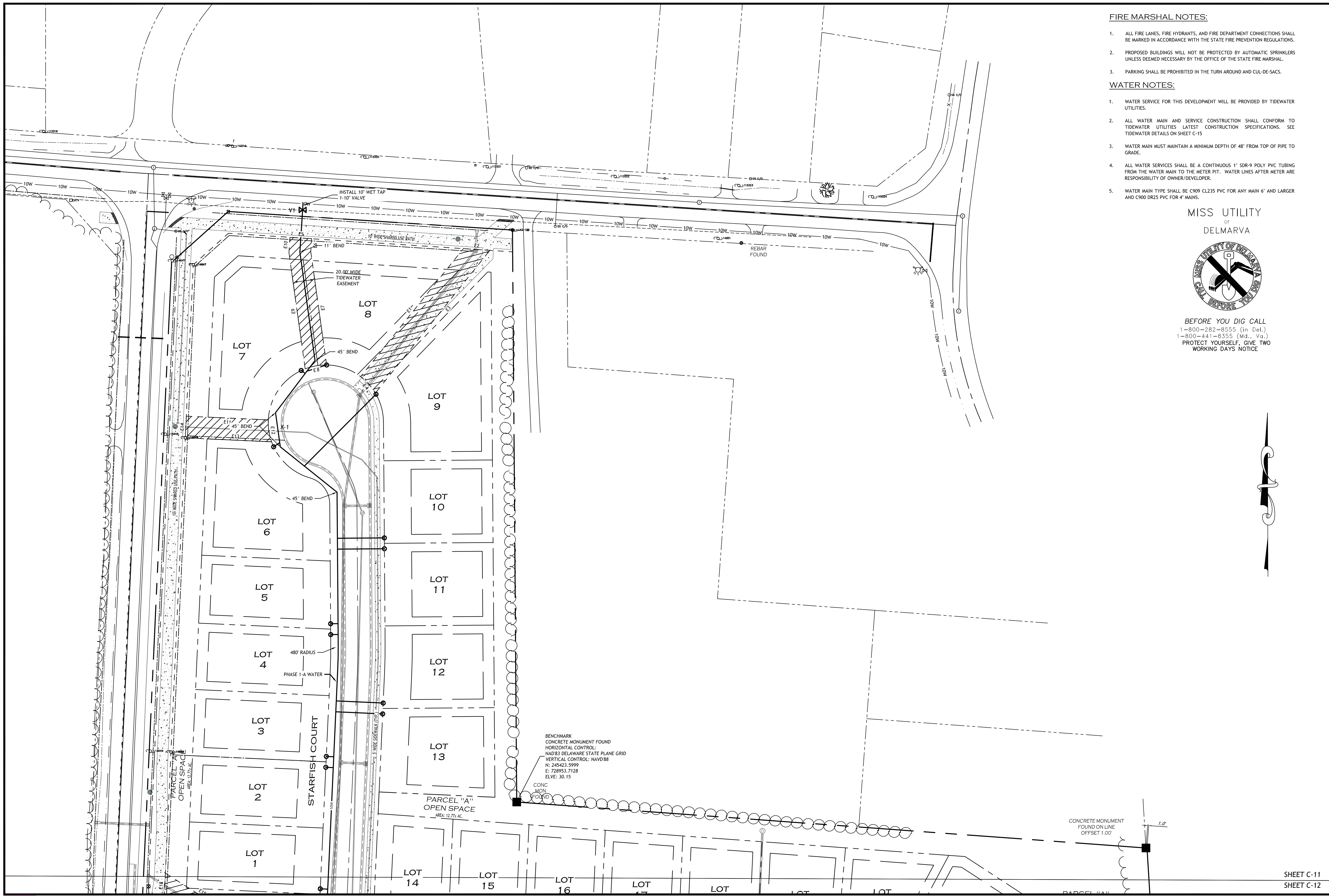
0 100 200  
24" x 36" 1 inch = 100 ft.  
11" x 17" 1 inch = 200 ft.



**AXIOM**  
ENGINEERING L.L.C.  
18 CHESTNUT STREET  
GEORGETOWN, DE 19947  
(302) 855-0810  
FAX: 855-0812  
E-MAIL: AXIOM@AXENG.COM  
WEB: WWW.AXENG.COM

FIRE HYDRANT LOCATION PLAN  
CHANGE OF ZONE #1859  
**WINDSWEEP @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

PROJECT NO: 0233-1701  
DRAWING: C-10  
SHEET: 10 OF 36



- FIRE MARSHAL NOTES:**
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
  - PROPOSED BUILDINGS WILL NOT BE PROTECTED BY AUTOMATIC SPRINKLERS UNLESS DEMAILED NECESSARY BY THE OFFICE OF THE STATE FIRE MARSHAL.
  - PARKING SHALL BE PROHIBITED IN THE TURN AROUND AND CUL-DE-SACS.

- WATER NOTES:**
- WATER SERVICE FOR THIS DEVELOPMENT WILL BE PROVIDED BY TIDEWATER UTILITIES.
  - ALL WATER MAIN AND SERVICE CONSTRUCTION SHALL CONFORM TO TIDEWATER UTILITIES LATEST CONSTRUCTION SPECIFICATIONS. SEE TIDEWATER DETAILS ON SHEET C-15.
  - WATER MAIN MUST MAINTAIN A MINIMUM DEPTH OF 48" FROM TOP OF PIPE TO GRADE.
  - ALL WATER SERVICES SHALL BE A CONTINUOUS 1" SDR-9 POLY PVC TUBING FROM THE WATER MAIN TO THE METER PIT. WATER LINES AFTER METER ARE RESPONSIBILITY OF OWNER/DEVELOPER.
  - WATER MAIN TYPE SHALL BE C909 CL235 PVC FOR ANY MAIN 6" AND LARGER AND C900 DR25 PVC FOR 4" MAINS.

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OF  
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BEFORE YOU DIG CALL  
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1-800-441-8355 (Md., Va.)  
PROTECT YOURSELF, GIVE TWO  
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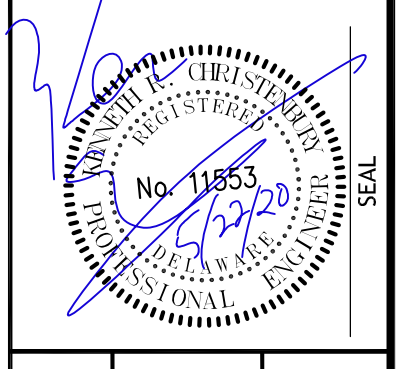


REV	DESCRIPTION OF REVISION	DATE	BY
1	REVISED PER AGENCY COMMENTS	09/27/2024	EW
2	REVISED PER AGENCY COMMENTS	10/27/2024	EW
3	REVISED PER AGENCY COMMENTS	11/20/24	EW

**WATER PLAN**  
CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEPT @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM**  
ENGINEERING L.L.C.  
18 CHESTNUT STREET  
DELEWARE CITY, DE 19847  
(302) 855-0810  
FAX: 855-0812  
WWW.AXIOMENR.COM

ENGINEER:	KKC
DESIGNER:	KKC
DRAFTER:	EW
CHECKED BY:	KKC
DATE:	4/1/2019
TAX MAP:	284-12,003,00 & 6,00



PROJECT NO: 0233-1702  
DRAWING: C-11  
SHEET: 11 OF 36

SHEET C-11  
SHEET C-12



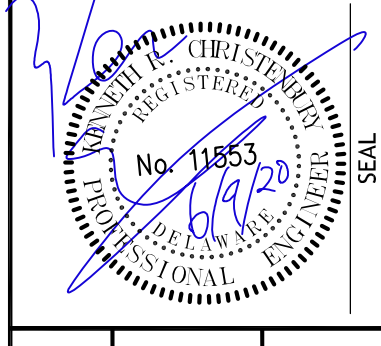
SHEET C-11  
SHEET C-12

REV	DESCRIPTION OF REVISION
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**WATER PLAN**  
CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEPT @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

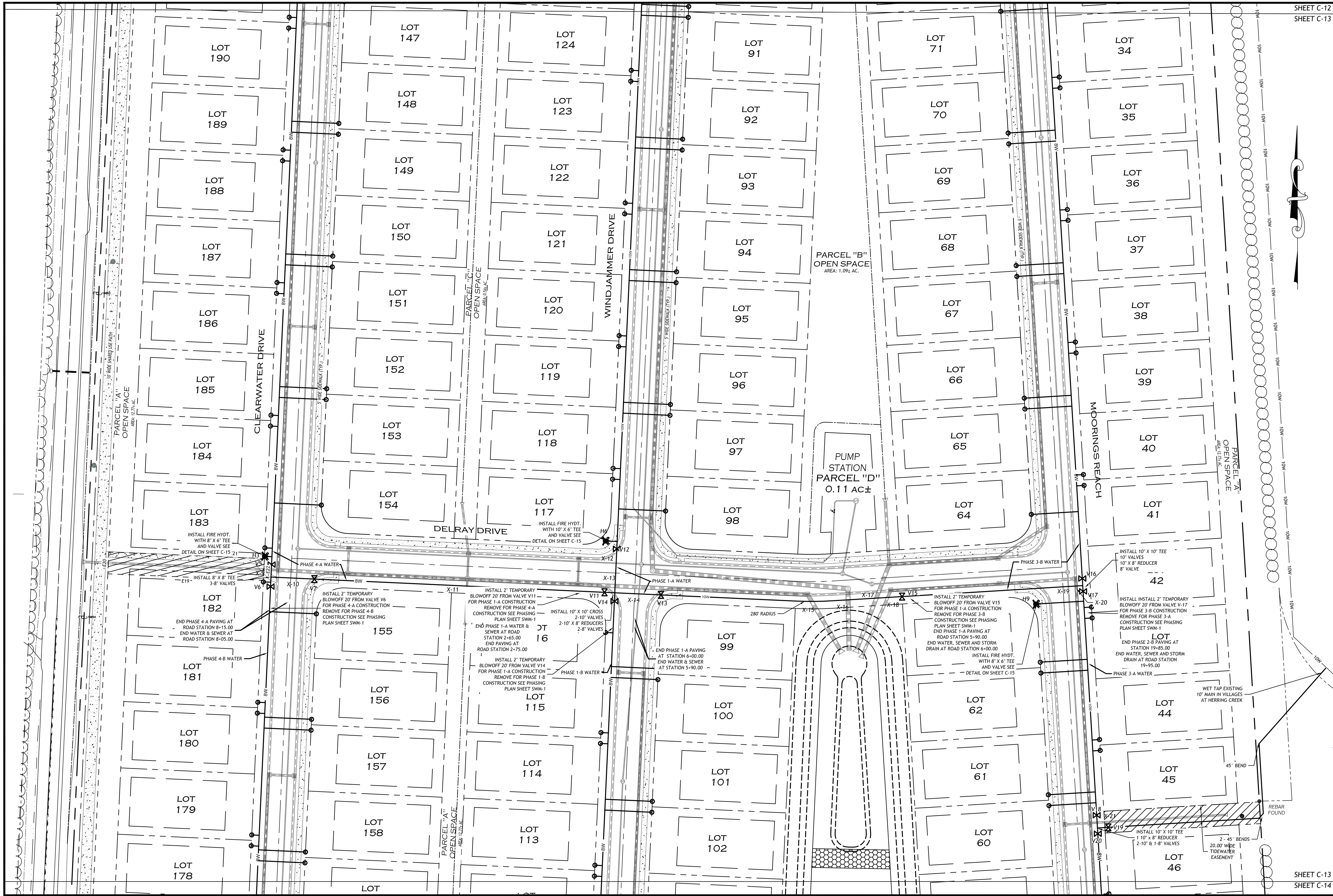
**AXIOM ENGINEERING L.L.C.**  
18 CHESTNUT STREET  
DELEWARE CITY, DE 19847  
(302) 855-0812  
FAX: 855-0812  
WWW.AXIOMENGINEERING.COM

ENGINEER:	KBC
DESIGNER:	KBC
DRAWN BY:	EW
CHECKED BY:	KBC
DATE:	4/1/2019
TAX MAP:	284-12, 003, 006 & 008



PROJECT NO: 0233-1702  
DRAWING: C-12  
SHEET: 12 OF 36

SHEET C-12  
SHEET C-13



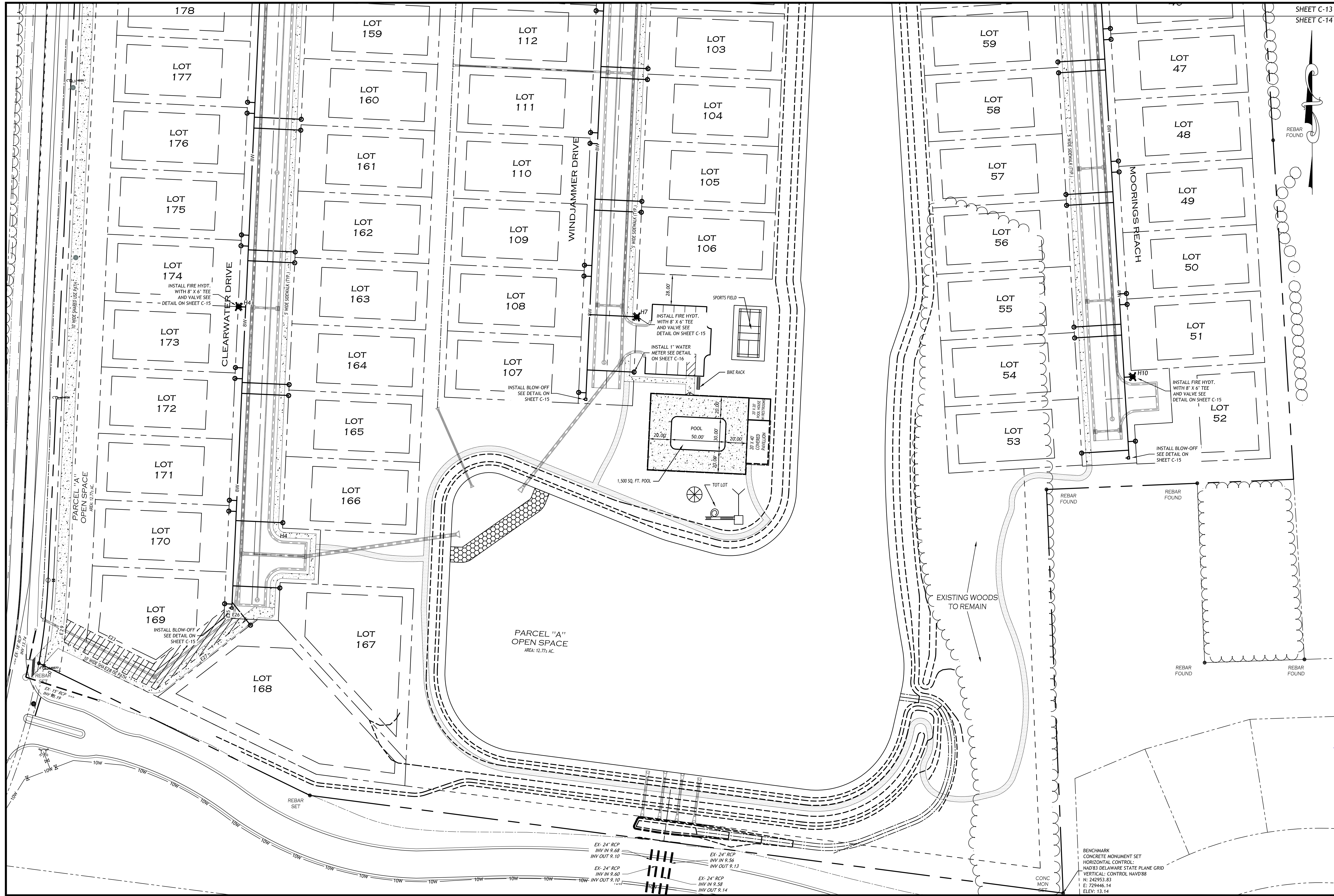
SHEET C-12  
SHEET C-13

**WATER PLAN**

CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEPT @ LEWES R.P.C.**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM ENGINEERING L.L.C.**  
 18 CHESTNUT STREET  
 DELEWARE CITY, DE 19847  
 (302) 855-0812  
 FAX: 855-0812  
 WWW.AXIOMENGINEERING.COM

ENGINEER: MKC	DRAFTER: MKC	CHECKED BY: MKC	DATE: 4/1/2019	TAX MAP: 234-12, 003, 00, 6, 00
PROJECT NO: 0233-1702	DRAWING: C-13	SHEET C-13 SHEET C-14		
SHEET: 13		OF 36		



SHEET C-13  
SHEET C-14

REV	DESCRIPTION OF REVISION
1	RESPONSE TO TIDESWATER COMMENTS
2	REVISED PER AGENCY COMMENTS
3	REVISED PER AGENCY COMMENTS
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WATER PLAN  
CZ # 1859 - COUNTY AGREEMENT # 1099  
WINDSWEPT @ LEWES R.P.C.  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

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ENGINEERING L.L.C.  
18 CHESTNUT STREET  
DELEWARE CITY, DE 19847  
(302) 855-0812  
FAX: 855-0812  
WWW.AXIOMENR.COM

ENGINEER:	MKC
DESIGNER:	MKC
DRAFTER:	EW
CHECKED BY:	MKC
DATE:	4/11/2019
TAX MAP:	28412.003.00 6.00



PROJECT NO:	0233-1702
DRAWING:	C-14
SHEET:	14 OF 36

BENCHMARK  
CONCRETE MONUMENT SET  
HORIZONTAL CONTROL:  
NAD83 DELAWARE STATE PLANE GRID  
VERTICAL: CONTROL NAVD88  
N: 242953.83  
E: 72946.14  
ELEV: 13.14



**SANITARY SEWER DESIGN CALCS:**

1. SITE SURVEY WITH HORIZONTAL CONTROLS NAD83 DATUM AND VERTICAL CONTROL NAVD 88 DATUM ON THE DELAWARE STATE COORDINATE SYSTEM.
2. 201 LOTS + POOL HOUSE (5 EDUS)
3. TOTAL NUMBER OF LATERALS CONNECTING = 202
4. 1' EDU = 250 GPD
5. AVERAGE DAILY FLOW = 250 GPD X 206 EDUS = 51,500 GPD
6. PEAK FLOW = 3.5 X 51,500 = 180,250 GPD / 1440 = 125 GPM
7. 8" SEWER CAPACITY = 321,348 GPD = 223 GPM

ALL SANITARY SEWER PIPE TO HAVE A DIMENSION RATIO OF 35

TYPE OF PIPE:	SDR 35 PVC 8 SDR 26
LENGTH:	7,495'
DIAMETER:	8"
NUMBER OF MANHOLES:	23
NUMBER OF TERMINAL CLEANOUTS:	3
NUMBER OF LATERALS:	202
MAXIMUM DISTANCE BETWEEN MANHOLES:	450'
MINIMUM SLOPE:	0.28 FT/FT
MINIMUM VELOCITY:	2 FT/SEC
MINIMUM GROUND COVER FOR PIPE:	3'

NOTE: DISTANCES AND SLOPES SHOWN FOR SEWER PLAN & PROFILES ARE MEASURED FROM CENTER OF MANHOLE STRUCTURE TO CENTER OF MANHOLE STRUCTURE

**SANITARY SEWER NOTES:**

1. ALL SANITARY SEWER WORK PERFORMED SHALL BE IN ACCORDANCE WITH SUSSEX COUNTY ORDINANCE 38, AND THE SUSSEX COUNTY ENGINEERING DEPARTMENT.
2. ALL LOTS ARE SUBJECT TO UTILITY EASEMENTS AS IDENTIFIED ON THE RECORD PLAN AND AS PER THE SUSSEX COUNTY ENGINEERING DEPARTMENT.
3. EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48 HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA AT 1-800-282-8555.
4. ALL PIPING GOING UNDER DITCHES, SWALES AND WATER LINES WILL NEED TO BE ENCASED IF THE MINIMUM SEPARATION CANNOT BE MET: 10" SPACING HORIZONTALLY AND 18" SPACING VERTICALLY.
5. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO SUSSEX COUNTY ORDINANCE 38. PERPETUAL MAINTENANCE OF THE LATERALS WITHIN THE RIGHT OF WAY SHALL BE THE RESPONSIBILITY OF SUSSEX COUNTY. MAINTENANCE OF THE PRIVATE LATERALS SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PARCEL SERVED BY SAID LATERAL.
6. SUSSEX COUNTY ENGINEERING DEPARTMENT SHALL BE NOTIFIED IN WRITING AT LEAST (5) DAYS PRIOR TO COMMENCING CONSTRUCTION.
7. REVIEW AND/OR APPROVAL OF THE PLANS SHALL NOT RELIEVE THE CONTRACTOR FROM HIS/HER RESPONSIBILITY FOR COMPLIANCE WITH THE REQUIREMENTS OF SUSSEX COUNTY ORDINANCE 38, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
8. IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL MATERIALS/PRACTICES MAY BE REQUIRED AS DEEMED NECESSARY BY THE SUSSEX COUNTY ENGINEERING DEPARTMENT.
9. DURING THE PLACEMENT OF THE CENTRAL SEWER SYSTEM SHOWN ON THE PLANS, FIELD ADJUSTMENTS MAY BE MADE TO ENSURE THAT PROPER PLACEMENT HAS BEEN MADE TO ARREST AND CONTROL ANY DIFFICULTIES THAT MIGHT OCCUR ONCE THE SYSTEM IS OPERATIONAL.
10. ANYTIME A PROBLEM OCCURS REGARDING THE CENTRAL SEWER SYSTEM THE CONTRACTOR SHALL TAKE THE NECESSARY MEASURES TO CORRECT THE PROBLEM, AT NO ADDITIONAL EXPENSE TO THE OWNER, AND IN ACCORDANCE WITH DNREC, DIVISION OF WATER RESOURCES AND THE ENGINEER.
11. PIPELINE DETECTABLE TAPE SHALL BE INSTALLED CONTINUOUSLY ALONG ALL GRAVITY SEWERS. THE TAPE SHALL BE INSTALLED DIRECTLY ABOVE THE GRAVITY SEWER AND TWELVE INCHES FROM THE GROUND SURFACE. THE TAPE SHALL BE LINEGUARD TYPE III DETECTABLE TAPE AS MANUFACTURED BY LINEGUARD, INC. OF WHEATON, ILLINOIS, OR EQUAL. THE TAPE SHALL BE MINIMUM OF TWO INCHES WIDE, GREEN IN COLOR, IMPRINTED WITH THE WORDS "CAUTION - SEWER LINE BELOW", AND BE CAPABLE OF BEING DETECTED WITH INDUCTIVE METHODS.
12. PIPE SHALL BE CAREFULLY HANDLED AND LOWERED INTO THE TRENCH. IN LAYING PIPE, SPECIAL CARE SHALL BE TAKEN TO ENSURE THAT EACH LENGTH SHALL ABUT THE NEXT IN SUCH A MANNER THAT THERE SHALL BE NO SHOULDER OR UNEVENNESS OF ANY KIND ALONG THE INSIDE OF THE BOTTOM HALF OF THE PIPE LINE.
13. NO WEDGING OR BLOCKING WILL BE PERMITTED IN LAYING ANY PIPE.
14. BEFORE JOINTS ARE MADE, EACH PIPE SHALL BE WELL BEDDED ON A SOLID FOUNDATION, AND NO PIPE SHALL BE BROUGHT INTO POSITION UNTIL THE PRECEDING LENGTH HAS BEEN THOROUGHLY EMBEDDED AND SECURED IN PLACE.
15. ANY DEFECTS DUE TO SETTLEMENT SHALL BE MADE GOOD BY THE CONTRACTOR.
16. THE PIPES SHALL BE THOROUGHLY CLEANED BEFORE THEY ARE LAID AND SHALL BE KEPT CLEAN UNTIL THE ACCEPTANCE OF THE COMPLETED WORK.
17. THE OPEN ENDS OF ALL PIPE LINES SHALL BE PROVIDED WITH A STOPPER CAREFULLY FITTED, SO AS TO KEEP DIRT AND OTHER SUBSTANCES FROM ENTERING. THIS STOPPER SHALL BE KEPT IN THE END OF THE PIPE LINE AT ALL TIMES WHEN LAYING IS NOT IN ACTUAL PROGRESS.
18. THE EXCAVATION IN WHICH PIPE IS BEING LAID SHALL BE KEPT FREE FROM WATER AND NO JOINT SHALL BE MADE UNDER WATER. WATER SHALL NOT BE ALLOWED TO RISE IN THE EXCAVATION UNTIL THE JOINT MATERIAL HAS RECEIVED ITS SET.
19. THE GREATEST CARE SHALL BE USED TO SECURE WATER TIGHTNESS AND TO PREVENT DAMAGE TO, OR DISTURBING OF, THE JOINTS DURING THE REFILLING PROCESS, OR AT ANY TIME.
20. AFTER PIPES HAVE BEEN LAID AND THE JOINTS HAVE BEEN MADE, THERE SHALL BE NO WALKING ON OR WORKING OVER THEM EXCEPT SUCH AS MAY BE NECESSARY IN TAMPING, UNTIL THERE IS A COVERING AT LEAST TWO (2) FEET IN DEPTH, OVER THEIR TOP.
21. THE PVC PIPE SHALL BE PLACED IN ACCORDANCE WITH THE INSTALLATION RECOMMENDATION OF THE PIPE MANUFACTURER.
22. NO PIPE SHALL BE LAID UPON A FOUNDATION INTO WHICH FROST HAS PENETRATED NOR AT ANY TIME THAT THERE IS DANGER OF THE FORMATION OF ICE.
23. CONSTRUCTION OF SANITARY SEWER LINES SHALL NOT BEGIN UNTIL GRADING IN THE PROXIMITY OF THE SEWER LINES IS WITHIN SIX (6) INCHES OF FINISHED GRADE.
24. PIPE SHALL BE MANUFACTURED IN STANDARD LENGTHS NOT EXCEEDING TWENTY (20) FEET.
25. PVC PIPE FITTINGS SHALL UTILIZE AN ELASTOMETRIC O-RING GASKETED JOINT ASSEMBLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. PVC WYE BRANCHES, PIPE STOPPERS AND OTHER FITTINGS SHALL BE MANUFACTURED IN ACCORDANCE WITH THE SAME SPECIFICATIONS AND SHALL HAVE THE SAME THICKNESS, DEPTH OF SOCKET, AND ANNULAR SPACE AS THE PIPE.
26. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTROL WATER THAT MAY BE PRESENT IN THE EXCAVATION. THE CONTRACTOR SHALL PROVIDE FOR THE DISPOSAL OF WATER REMOVED FROM EXCAVATIONS, IN SUCH A MANNER AS SHALL NOT CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY OR TO ANY PORTION OF THE WORK COMPLETED OR IN PROGRESS.
27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDITION OF ALL EXCAVATION MADE. ALL SLIDES AND CAVES SHALL BE REMOVED, AT WHATEVER TIME AND UNDER WHATEVER CIRCUMSTANCES THEY MAY OCCUR.
28. ALL WORK SHALL BE CONDUCTED IN SUCH MANNER AS TO PROTECT PERSONS AND PROPERTY AGAINST INJURY.
29. BACKFILLING OF THE PIPE SHALL BE MADE WITH MATERIAL MEETING THE REQUIREMENTS OF BORROW TYPE "C". IF THE EXISTING MATERIAL MEETS THOSE REQUIREMENTS, IT SHALL BE USED FOR PIPE BACKFILL.
30. THE CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS AS RAPIDLY AS PRACTICABLE AFTER THE COMPLETION OF CONSTRUCTION WORK THEREIN OR AFTER THE EXCAVATIONS HAVE SERVED THEIR PURPOSE.
31. ALL UNAUTHORIZED EXCAVATIONS MADE BY THE CONTRACTOR SHALL BE IMMEDIATELY BACKFILLED.

**MISS UTILITY OF DELMARVA**



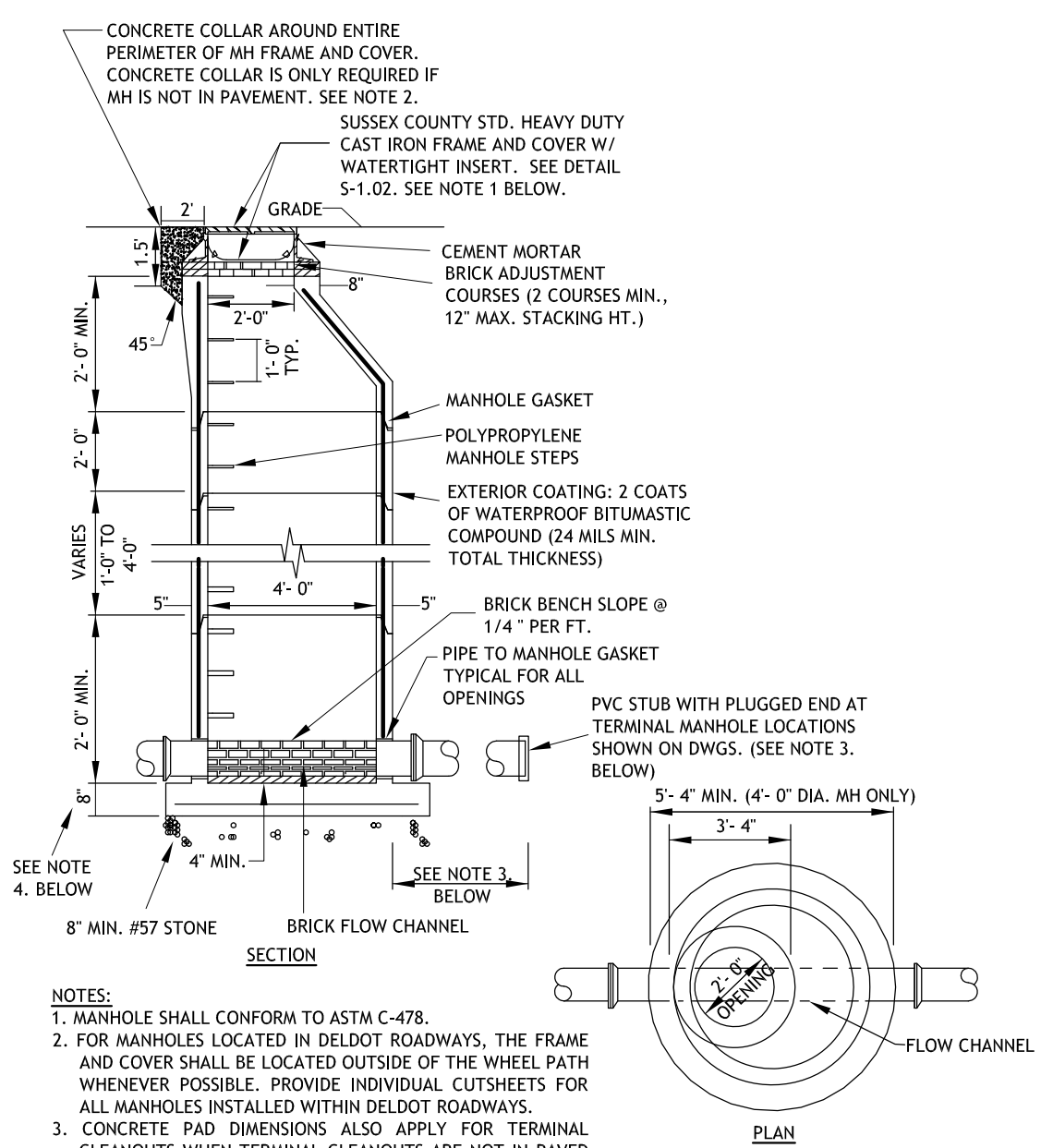
**BEFORE YOU DIG CALL**  
 1-800-282-8555 (in Del.)  
 1-800-441-8355 (Md., Va.)  
 PROTECT YOURSELF, GIVE TWO WORKING DAYS NOTICE

**SEWER CONSTRUCTION NOTE:**

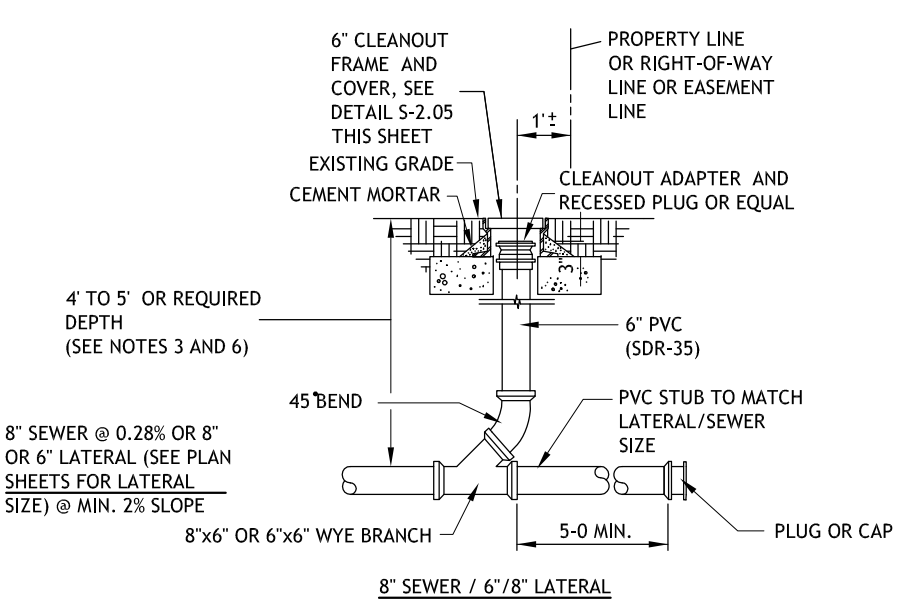
ALL SANITARY SEWER CONSTRUCTION TO BE IN ACCORDANCE WITH SUSSEX COUNTY ORDINANCE 38 STANDARDS AND SPECIFICATIONS.

**SANITARY SEWER LOCATION WITH RELATION TO THE WATER MAINS**

- HORIZONTAL SEPARATION:** SEWERS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAINS. THE DISTANCE SHALL BE MEASURED OUTSIDE EDGE TO OUTSIDE EDGE OF THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT DAMAGE TO THE WATER MAIN.
- VERTICAL SEPARATION:** SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE OR BELOW THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT DAMAGE TO THE WATER MAIN.
- SPECIAL CONDITIONS:** WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, CONCRETE ENCASUREMENT SHALL BE REQUIRED TO BE INSTALLED A MINIMUM OF 5 FEET EACH SIDE OF THE CROSSING POINT ON THE LOWEST UTILITY. CONCRETE SHALL MEET THE REQUIREMENTS AS SPECIFIED IN SECTION 5-07.



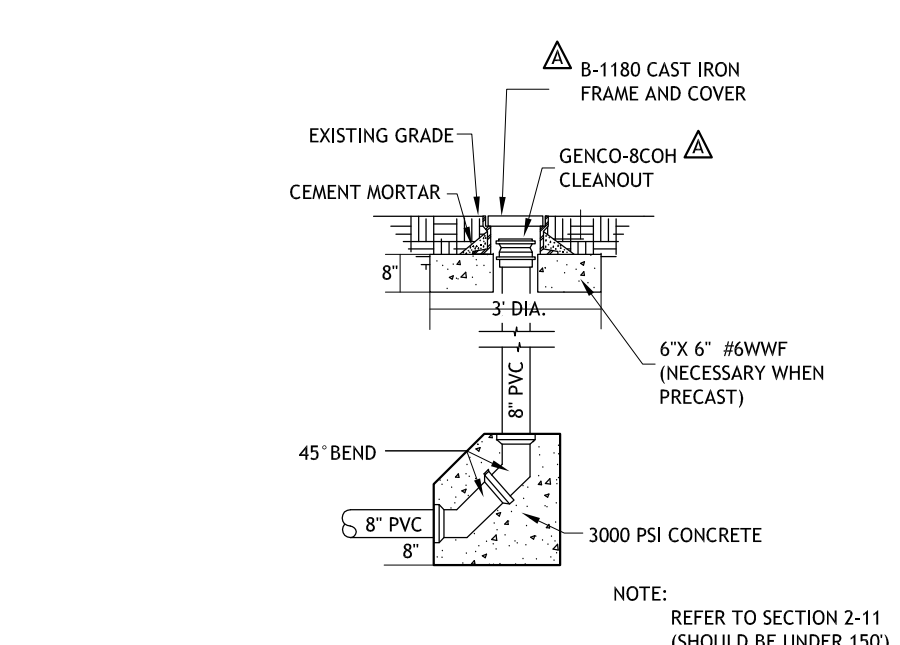
- NOTES:**
1. MANHOLE SHALL CONFORM TO ASTM C-478.
  2. FOR MANHOLES LOCATED IN DELDOT ROADWAYS, THE FRAME AND COVER SHALL BE LOCATED OUTSIDE OF THE WHEEL PATH WHENEVER POSSIBLE. PROVIDE INDIVIDUAL CUTSHEETS FOR ALL MANHOLES INSTALLED WITHIN DELDOT ROADWAYS.
  3. CONCRETE PAD DIMENSIONS ALSO APPLY FOR TERMINAL CLEANOUTS WHEN TERMINAL CLEANOUTS ARE NOT IN PAVED ROADWAYS. ALL CONCRETE SHALL BE POURED AGAINST UNDISTURBED EARTH.
  4. COUNTY INSPECTOR WILL DETERMINE STUB LENGTH BASED ON FIELD CONDITIONS.
  5. MANHOLE BASE CAN BE 6-INCHES IF CONCRETE FLOW CHANNEL IS USED.



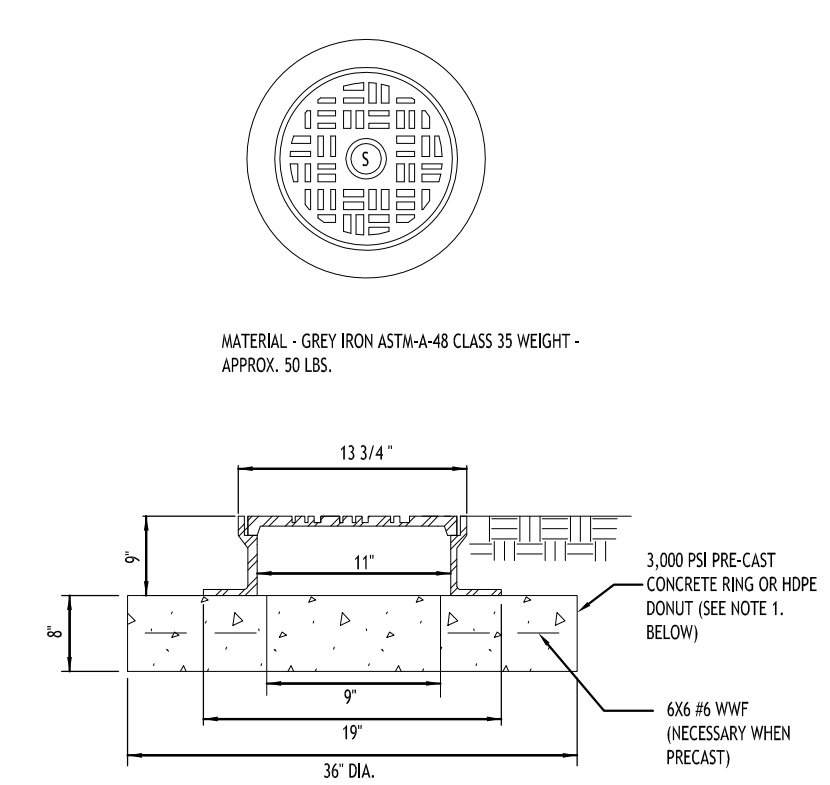
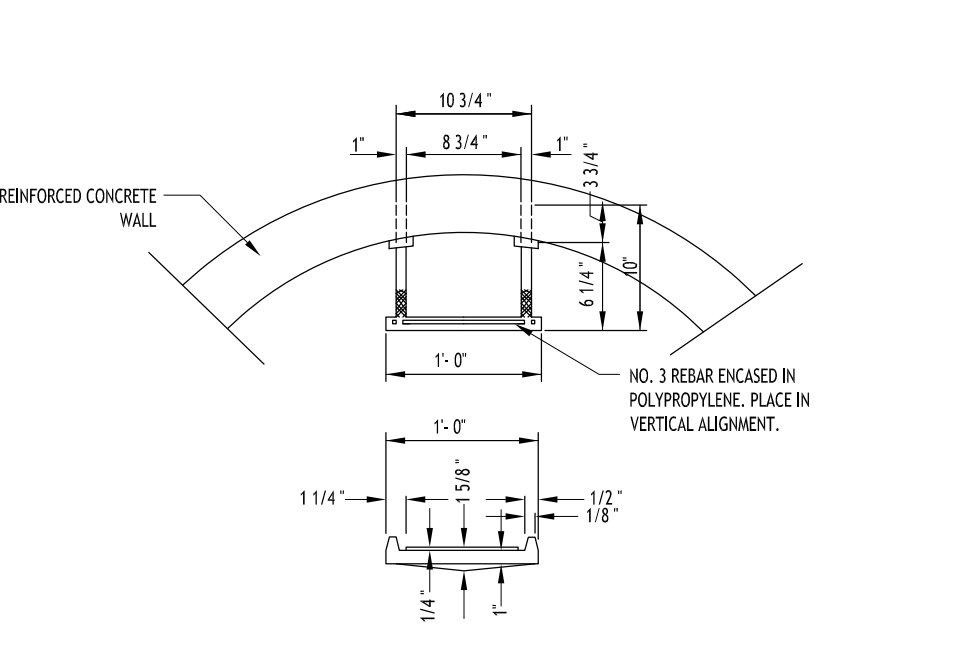
- NOTES:**
1. C.O. NOT TO BE LOCATED IN DITCH, SWALE, ETC.
  2. WHERE SEWER MAIN DEPTH IS TOO SHALLOW TO ACCOMMODATE 4" OF COVER SET LATERAL AT 2% FROM MAIN LINE SEWER TO THE PROPERTY LINE TO ACHIEVE THE MAXIMUM LATERAL DEPTH POSSIBLE AT THE PROPERTY LINE.
  3. SIZE OF PVC LATERAL STUB TO MATCH LATERAL SIZE.
  4. A MINIMUM OF 3" CLEARANCE SHALL BE PROVIDED BETWEEN CLEANOUT COVER AND CLEANOUT TOP.
  5. ALL CLEANOUT DEPTHS LABELED AS CRITICAL DEPTH LATERALS SHALL BE INSTALLED AT THE DEPTH SCHEDULED ON THE PLAN SHEETS.



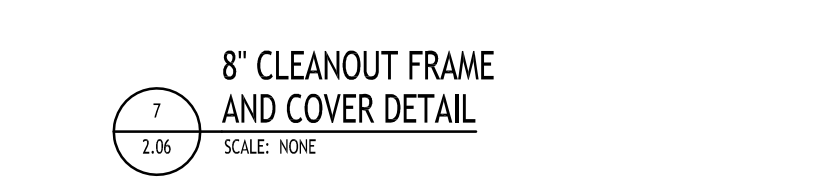
- NOTES:**
1. HOPE COMPOSITE DONUT BASE SHALL BE SUBSTITUTED FOR CONCRETE RING IN NON-TRAFFIC AREA. HOPE DONUT IS NOT ALLOWED IN TRAFFIC BEARING AREA.
  2. METAL CLEANOUT FRAME AND COVER SHALL BE INSTALLED BY UTILITY CONTRACTOR PRIOR TO SUBSTANTIAL COMPLETION INSPECTION.



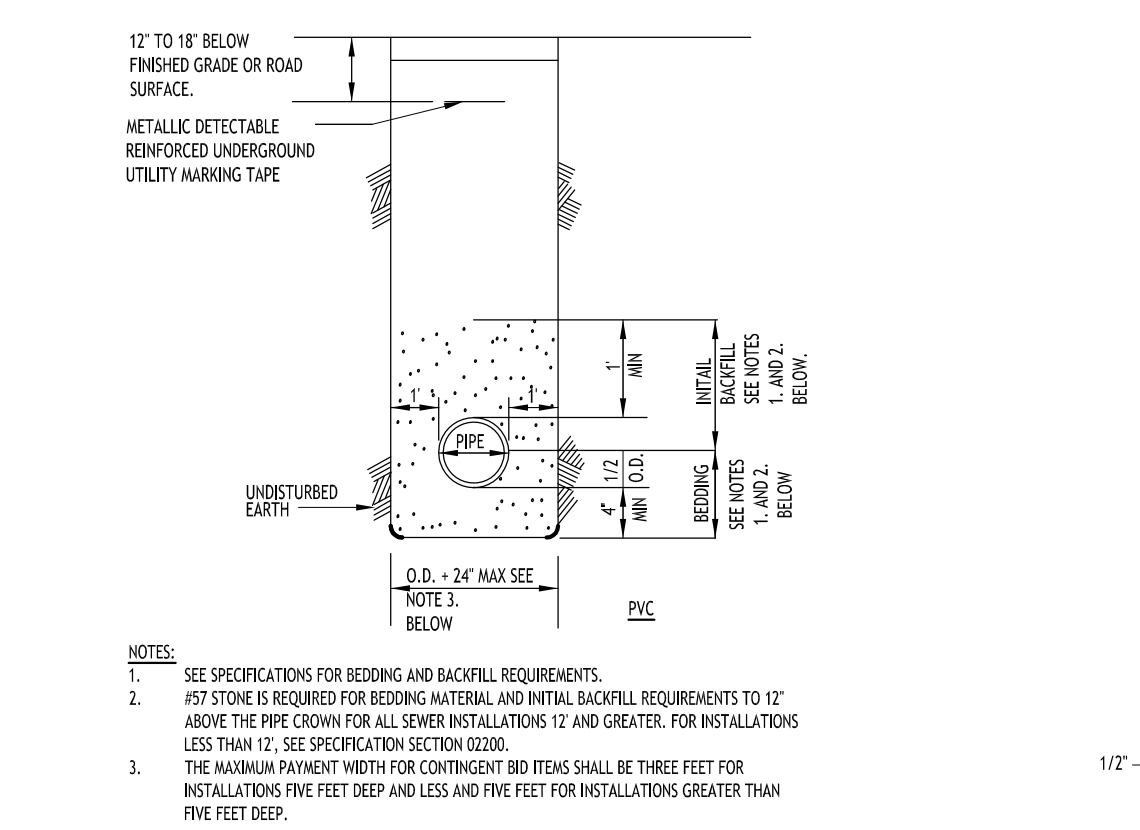
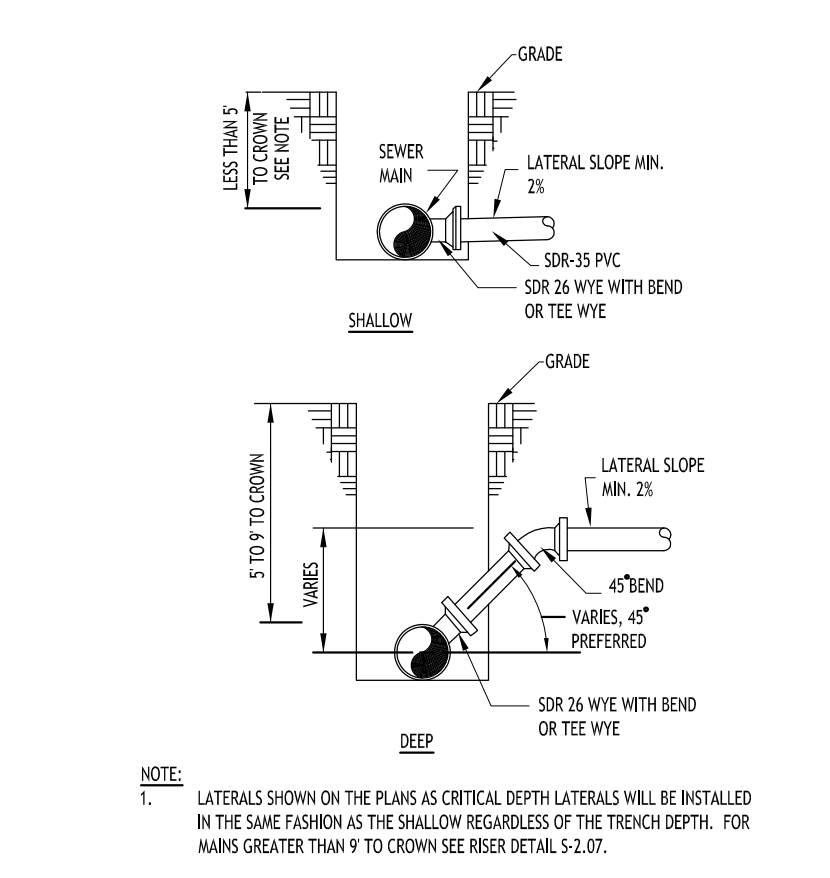
- NOTES:**
1. REFER TO SECTION 2-11 (SHOULD BE UNDER 150)



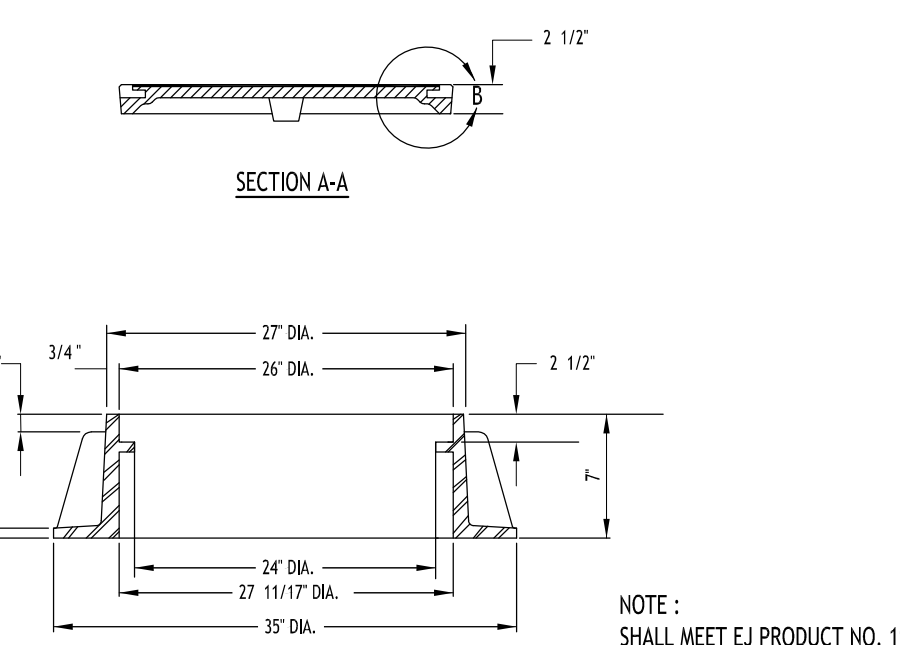
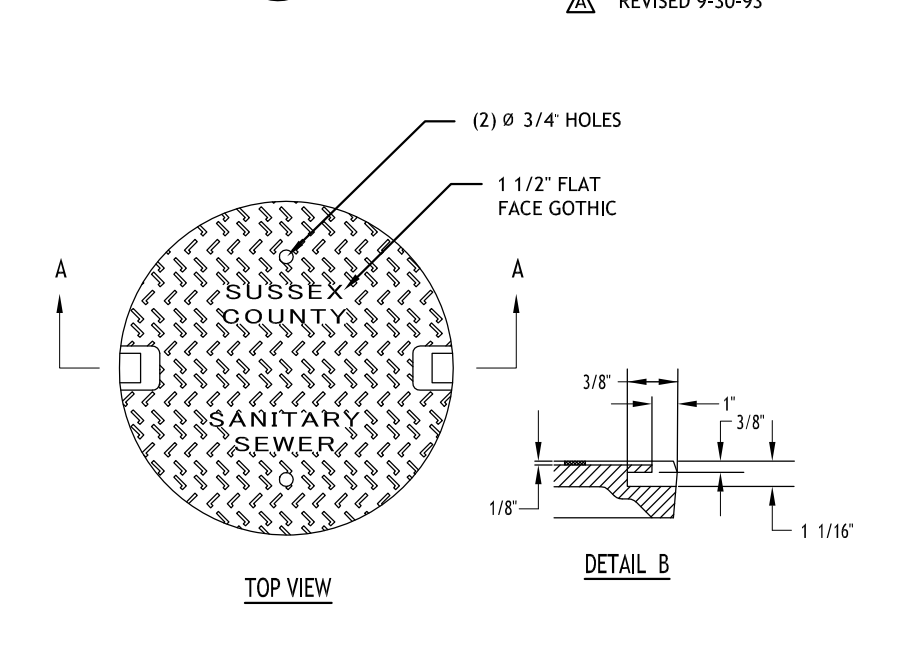
- NOTES:**
1. HOPE COMPOSITE DONUT BASE SHALL BE SUBSTITUTED FOR CONCRETE RING IN NON-TRAFFIC AREA. HOPE DONUT IS NOT ALLOWED IN TRAFFIC BEARING AREA.
  2. METAL CLEANOUT FRAME AND COVER SHALL BE INSTALLED BY UTILITY CONTRACTOR PRIOR TO SUBSTANTIAL COMPLETION INSPECTION.



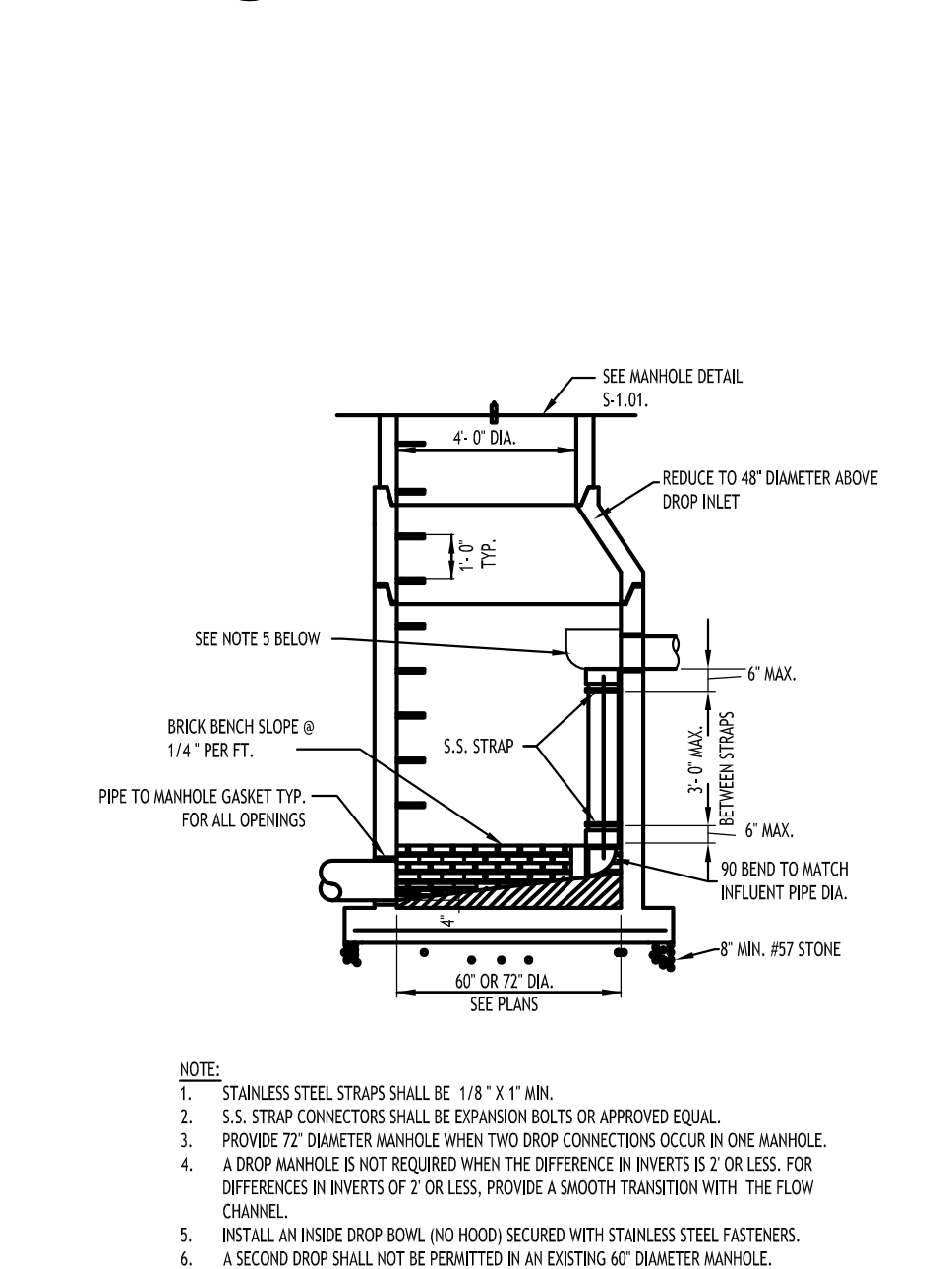
- NOTES:**
1. LATERALS SHOWN ON THE PLANS AS CRITICAL DEPTH LATERALS WILL BE INSTALLED IN THE SAME FASHION AS THE LATERALS REGARDS OF THE TRENCH DEPTH. FOR MAINS GREATER THAN 9' TO CROWN SEE RISER DETAIL 5.07.



- NOTES:**
1. SEE SPECIFICATIONS FOR BEDDING AND BACKFILL REQUIREMENTS.
  2. #57 STONE IS REQUIRED FOR BEDDING MATERIAL AND INITIAL BACKFILL REQUIREMENTS TO 12" ABOVE THE PIPE CROWN FOR ALL SEWER INSTALLATIONS 12" AND GREATER. FOR INSTALLATIONS LESS THAN 12", SEE SPECIFICATION SECTION 0200.
  3. THE MAXIMUM PAYMENT WIDTH FOR CONTIGUOUS BROTHERS SHALL BE THREE FEET FOR INSTALLATIONS FIVE FEET DEEP AND LESS AND FIVE FEET FOR INSTALLATIONS GREATER THAN FIVE FEET DEEP.



- NOTES:**
1. SHALL MEET E.J. PRODUCT NO. 197015 AND 197047 OR APPROVED EQUAL.



- NOTES:**
1. STAINLESS STEEL STRAPS SHALL BE 1/8" X 1/4" MIN.
  2. S.S. STRAP CONNECTORS SHALL BE EXPANSION BOLTS OR APPROVED EQUAL.
  3. PROVIDE 7/8" DIAMETER MANHOLE WHEN TWO DROP CONNECTIONS OCCUR IN ONE MANHOLE.
  4. A DROP MANHOLE IS NOT REQUIRED WHEN THE DIFFERENCE IN INVERTS IS 2' OR LESS. FOR DIFFERENCES IN INVERTS OF 2' OR LESS, PROVIDE A SMOOTH TRANSITION WITH THE FLOW CHANNEL.
  5. INSTALL AN INSIDE DROP BOWL AND HOOD (SECURED WITH STAINLESS STEEL FASTENERS).
  6. A SECOND DROP SHALL NOT BE PERMITTED IN AN EXISTING 60" DIAMETER MANHOLE.

<p>ENGINEER: <b>AE</b>                  DESIGNER: <b>AE</b>                  DRAFTER: <b>AE</b>                  CHECKED BY: <b>AE</b>                  DATE: 4/1/2019                  TAX MAP: 234-11-00-3, 00 6, 6, 00</p>	<p>RESPONSE TO AGENCY COMMENTS: <b>AE</b>                  RESPONSE TO DEPARTMENT COMMENTS: <b>AE</b>                  REVISED PER AGENCY COMMENTS: <b>AE</b>                  REVISED PER AGENCY COMMENTS: <b>AE</b>                  DESCRIPTION OF REVISION: <b>AE</b>                  REVISED BY: <b>AE</b>                  DATE: <b>AE</b></p>	<p><b>SANITARY SEWER NOTES &amp; DETAILS</b>                  CZ #1859 - COUNTY AGREEMENT #1099  <b>WINDSWEPT @ LEWES R.P.C.</b>                  S.C.R. 278 - ANGOLA BEACH ROAD                  INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE</p>	<p><b>AXIOM ENGINEERING L.L.C.</b>                  18 CHESTNUT STREET, SUITE 110                  LEWES, DE 19947                  (302) 855-0812                  FAX: (302) 855-0812                  WWW.AXIOMENGINEERING.COM</p>
<p>PROJECT NO: <b>0233-1702</b>                  DRAWING: <b>C-15</b></p>	<p>SHEET: <b>15</b> OF <b>36</b></p>		

**FIRE MARSHAL NOTES:**

- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
- PROPOSED BUILDINGS WILL NOT BE PROTECTED BY AUTOMATIC SPRINKLERS UNLESS DEEMED NECESSARY BY THE OFFICE OF THE STATE FIRE MARSHAL.
- PARKING SHALL BE PROHIBITED IN THE TURN AROUND AND CUL-DE-SACS.

**WATER NOTES:**

- WATER SERVICE FOR THIS DEVELOPMENT WILL BE PROVIDED BY TIDEWATER UTILITIES.
- ALL WATER MAIN AND SERVICE CONSTRUCTION SHALL CONFORM TO TIDEWATER UTILITIES LATEST CONSTRUCTION SPECIFICATIONS. SEE TIDEWATER DETAILS ON SHEET C-15.
- WATER MAIN MUST MAINTAIN A MINIMUM DEPTH OF 48" FROM TOP OF PIPE TO GRADE.
- ALL WATER SERVICES SHALL BE A CONTINUOUS 1" SDR-9 POLY PVC TUBING FROM THE WATER MAIN TO THE METER PIT. WATER LINES AFTER METER ARE RESPONSIBILITY OF OWNER/DEVELOPER.
- WATER MAIN TYPE SHALL BE C909 CL235 PVC FOR ANY MAIN 6" AND LARGER AND C900 DR25 PVC FOR 4" MAINS.

MISS UTILITY  
OF  
DELMARVA



BEFORE YOU DIG CALL  
1-800-282-8555 (In Del.)  
1-800-441-8355 (Md., Va.)  
PROTECT YOURSELF, GIVE TWO  
WORKING DAYS NOTICE

DESCRIPTION	MANUFACTURER	SERVICE TYPE	MODEL NUMBER	SIZE	PIPE
A	FRANK	FRANK	FRANK	2"	2"
B	FRANK	FRANK	FRANK	2"	2"
C	FRANK	FRANK	FRANK	2"	2"
D	FRANK	FRANK	FRANK	2"	2"
E	FRANK	FRANK	FRANK	2"	2"
F	FRANK	FRANK	FRANK	2"	2"
G	FRANK	FRANK	FRANK	2"	2"
H	FRANK	FRANK	FRANK	2"	2"

**TIDEWATER UTILITIES INC.**  
TYPICAL DESIGN DETAILS  
METER PIT DETAIL  
A-1

DESCRIPTION	MANUFACTURER	SERVICE TYPE	MODEL NUMBER	SIZE	PIPE
A	FRANK	FRANK	FRANK	2"	2"
B	FRANK	FRANK	FRANK	2"	2"
C	FRANK	FRANK	FRANK	2"	2"
D	FRANK	FRANK	FRANK	2"	2"
E	FRANK	FRANK	FRANK	2"	2"
F	FRANK	FRANK	FRANK	2"	2"
G	FRANK	FRANK	FRANK	2"	2"
H	FRANK	FRANK	FRANK	2"	2"

**TIDEWATER UTILITIES INC.**  
TYPICAL DESIGN DETAILS  
4" BLOW OFF DETAIL  
A-4

DESCRIPTION	MANUFACTURER	SERVICE TYPE	MODEL NUMBER	SIZE	PIPE
A	FRANK	FRANK	FRANK	2"	2"
B	FRANK	FRANK	FRANK	2"	2"
C	FRANK	FRANK	FRANK	2"	2"
D	FRANK	FRANK	FRANK	2"	2"
E	FRANK	FRANK	FRANK	2"	2"
F	FRANK	FRANK	FRANK	2"	2"
G	FRANK	FRANK	FRANK	2"	2"
H	FRANK	FRANK	FRANK	2"	2"

**TIDEWATER UTILITIES INC.**  
TYPICAL DESIGN DETAILS  
END CAP DETAIL  
A-6

DESCRIPTION	MANUFACTURER	SERVICE TYPE	MODEL NUMBER	SIZE	PIPE
A	FRANK	FRANK	FRANK	2"	2"
B	FRANK	FRANK	FRANK	2"	2"
C	FRANK	FRANK	FRANK	2"	2"
D	FRANK	FRANK	FRANK	2"	2"
E	FRANK	FRANK	FRANK	2"	2"
F	FRANK	FRANK	FRANK	2"	2"
G	FRANK	FRANK	FRANK	2"	2"
H	FRANK	FRANK	FRANK	2"	2"

**TIDEWATER UTILITIES INC.**  
TYPICAL DESIGN DETAILS  
FIRE HYDRANT ASSEMBLY DETAIL  
A-7

SIZE	MANUFACTURER	SERVICE TYPE	MODEL NUMBER	PIPE
4"	FRANK	FRANK	FRANK	4"
6"	FRANK	FRANK	FRANK	6"
8"	FRANK	FRANK	FRANK	8"
10"	FRANK	FRANK	FRANK	10"
12"	FRANK	FRANK	FRANK	12"

**TIDEWATER UTILITIES INC.**  
TYPICAL DESIGN DETAILS  
THRUST BLOCK DETAIL  
A-13

SIZE	MANUFACTURER	SERVICE TYPE	MODEL NUMBER	PIPE
4"	FRANK	FRANK	FRANK	4"
6"	FRANK	FRANK	FRANK	6"
8"	FRANK	FRANK	FRANK	8"
10"	FRANK	FRANK	FRANK	10"
12"	FRANK	FRANK	FRANK	12"

**TIDEWATER UTILITIES INC.**  
TYPICAL DESIGN DETAILS  
THRUST BLOCK DETAIL  
A-14

DESCRIPTION	MANUFACTURER	SERVICE TYPE	MODEL NUMBER	PIPE
A	FRANK	FRANK	FRANK	2"
B	FRANK	FRANK	FRANK	2"
C	FRANK	FRANK	FRANK	2"
D	FRANK	FRANK	FRANK	2"
E	FRANK	FRANK	FRANK	2"
F	FRANK	FRANK	FRANK	2"
G	FRANK	FRANK	FRANK	2"
H	FRANK	FRANK	FRANK	2"

**TIDEWATER UTILITIES INC.**  
TYPICAL DESIGN DETAILS  
PRE-INSTAL SERVICE PROFILE AND LOCATION DETAIL  
A-18

DESCRIPTION	MANUFACTURER	SERVICE TYPE	MODEL NUMBER	PIPE
A	FRANK	FRANK	FRANK	2"
B	FRANK	FRANK	FRANK	2"
C	FRANK	FRANK	FRANK	2"
D	FRANK	FRANK	FRANK	2"
E	FRANK	FRANK	FRANK	2"
F	FRANK	FRANK	FRANK	2"
G	FRANK	FRANK	FRANK	2"
H	FRANK	FRANK	FRANK	2"

**TIDEWATER UTILITIES INC.**  
TYPICAL DESIGN DETAILS  
TRACER WIRE & VALVE BOX DETAIL  
A-19

DESCRIPTION	MANUFACTURER	SERVICE TYPE	MODEL NUMBER	PIPE
A	FRANK	FRANK	FRANK	2"
B	FRANK	FRANK	FRANK	2"
C	FRANK	FRANK	FRANK	2"
D	FRANK	FRANK	FRANK	2"
E	FRANK	FRANK	FRANK	2"
F	FRANK	FRANK	FRANK	2"
G	FRANK	FRANK	FRANK	2"
H	FRANK	FRANK	FRANK	2"

**TIDEWATER UTILITIES INC.**  
TYPICAL DESIGN DETAILS  
WATER MAIN CROSSING UTILITY DETAIL  
A-11

**WATER NOTES & DETAILS**

CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEPT @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

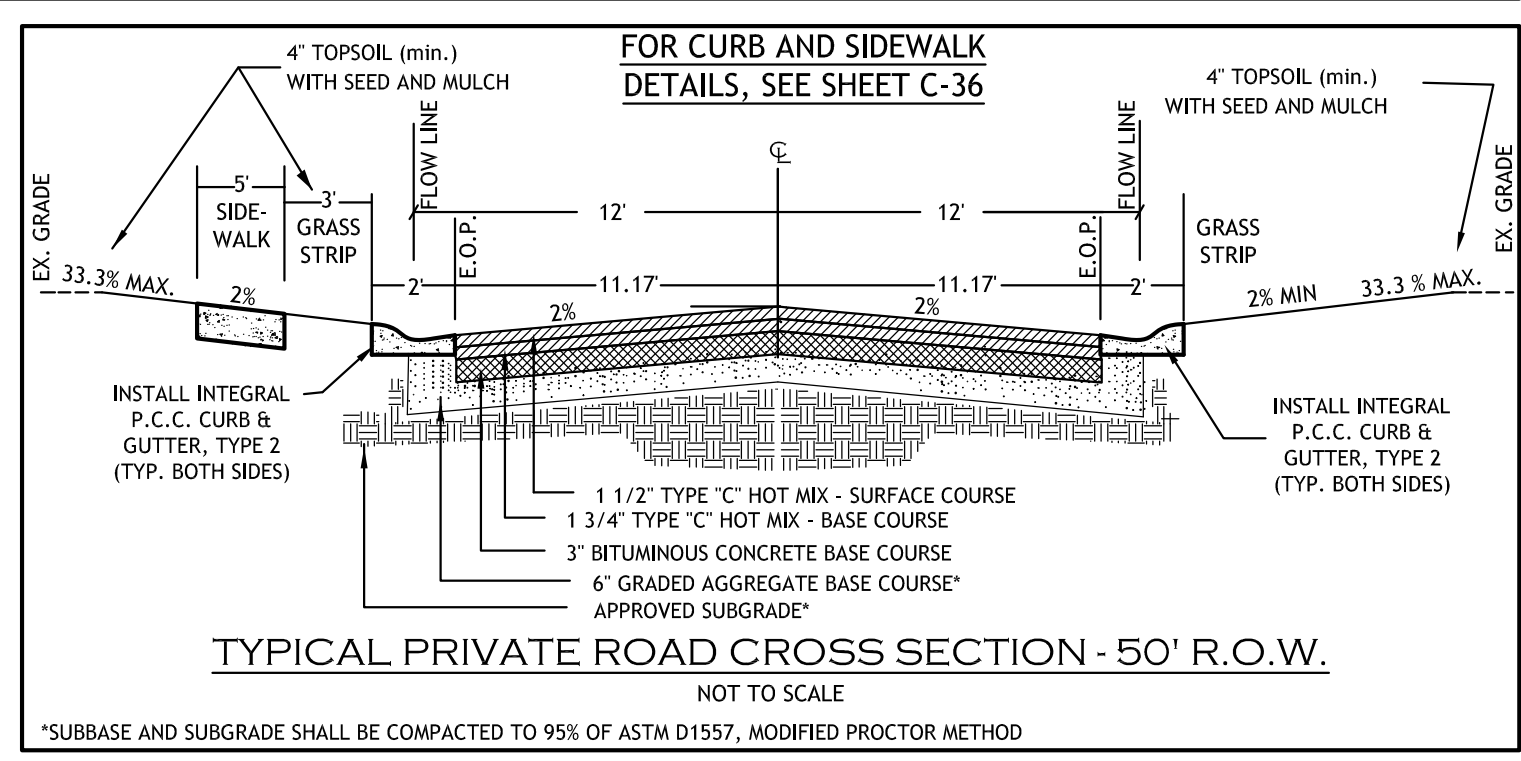
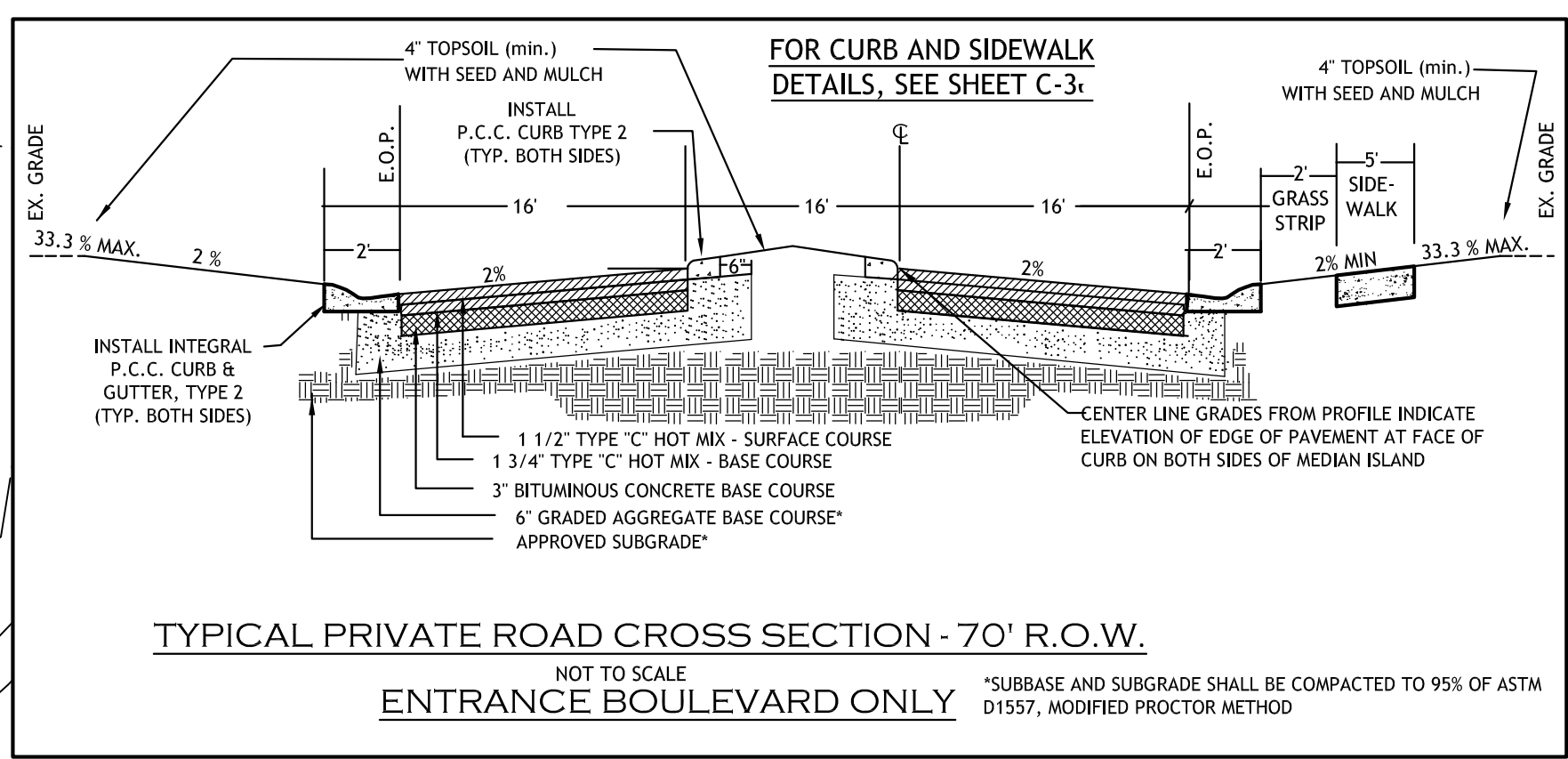
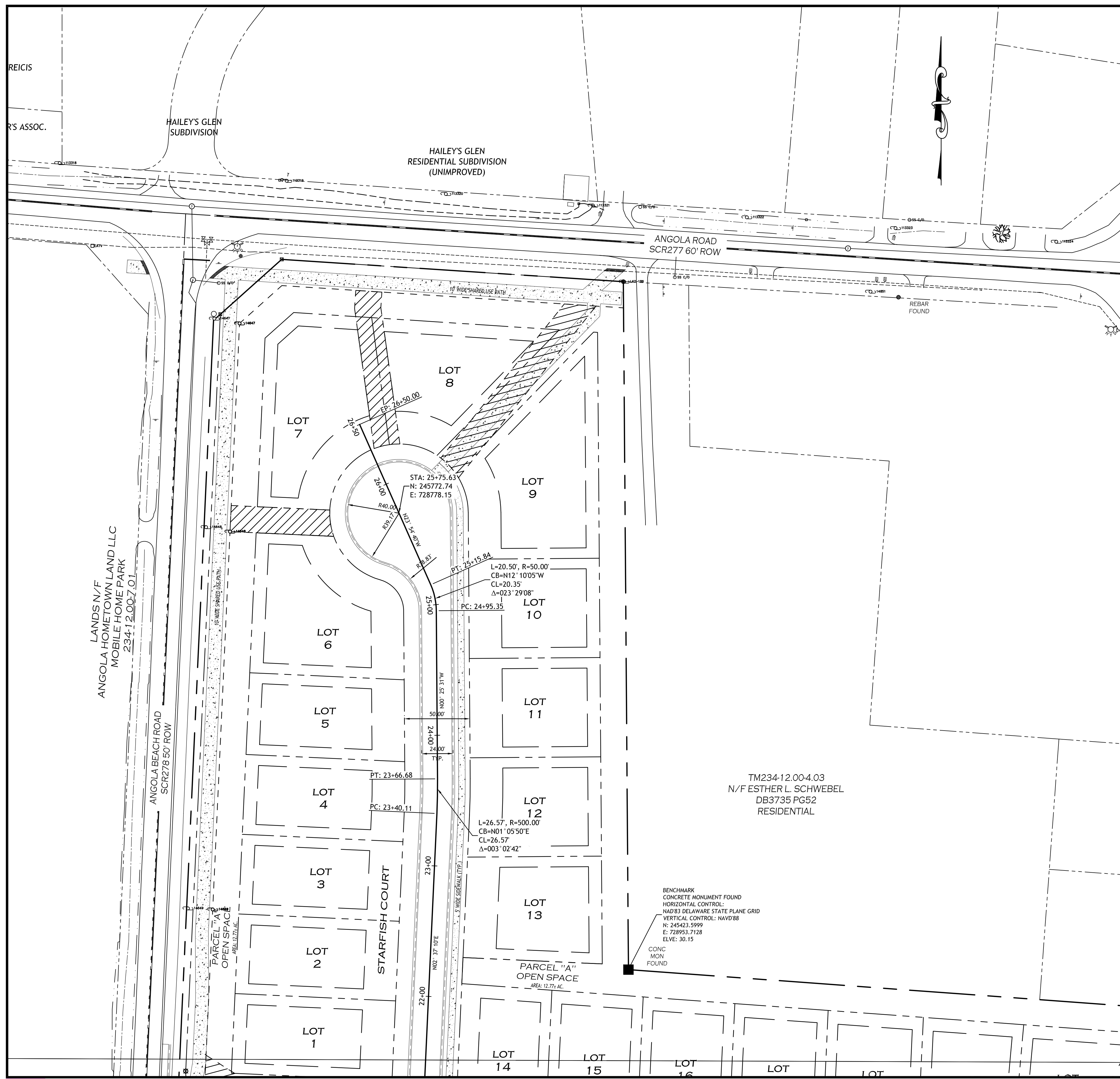
**AXIOM ENGINEERING L.L.C.**  
18 CHESTNUT STREET  
LEWES, DE 19947  
(302) 855-0812  
FAX: 855-0812  
WWW.AXIOMENGG.COM

**AE**

ENGINEER: MKC  
DESIGNER: MKC  
DRAWN: EW  
CHECKED BY: MKC  
DATE: 4/1/2019  
TAX MAP: 284-12,003,00 & 6,00

PROJECT NO: 0233-1702  
DRAWING: C-16  
SHEET: 16 OF 36

PROFESSIONAL SEAL  
No. 11853  
STATE OF DELAWARE  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL ENGINEERING  
EXPIRES 12/31/2020

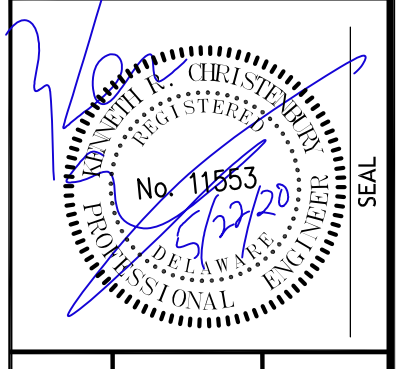


REV	DESCRIPTION OF REVISION	DATE	BY
1	REVISED PER AGENCY COMMENTS	09/27/2024	ML/2024
2	REVISED PER AGENCY COMMENTS	11/19/24	ML/2024
3	REVISED PER AGENCY COMMENTS	11/19/24	ML/2024
4	REVISED PER AGENCY COMMENTS	11/19/24	ML/2024

ROAD GEOMETRY PLANS  
 CZ #1859 - COUNTY AGREEMENT #1099  
 WINDSWEPT @ LEWES R.P.C.  
 S.C.R. 278 - ANGOLA BEACH ROAD  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**Axiom Engineering L.L.C.**  
 18 CHESTNUT STREET  
 SUITE 100  
 LEWES, DE 19947  
 (302) 855-0811  
 FAX: 855-0812  
 WWW.AXIOMENGS.COM

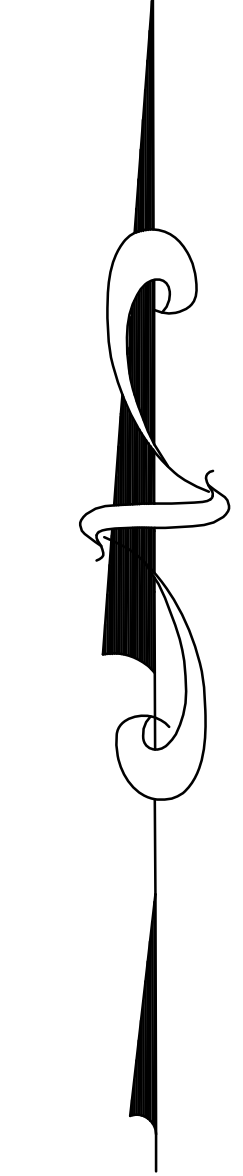
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DESIGNER:	MKC
DRAWN BY:	EW
CHECKED BY:	MKC
DATE:	4/1/2019
TAX MAP:	23412.00-3.00 & 6.00



PROJECT NO: 0233-1702  
 DRAWING: C-17  
 SHEET: 17 OF 35



SHEET C-17  
SHEET C-18



REV	DESCRIPTION OF REVISION
1	REVISED PER AGENCY COMMENTS
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100	REVISED PER AGENCY COMMENTS

ROAD GEOMETRY PLANS  
CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEPT @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM**  
ENGINEERING L.L.C.  
18 CHESTNUT STREET  
DELEWARE COUNTY, DE 19847  
(302) 855-0812  
FAX: 855-0812  
WWW.AXIOMENR.COM

ENGINEER: MKC  
DESIGNER: MKC  
DRAFTER: EW  
CHECKED BY: MKC  
DATE: 4/1/2019  
TAX MAP: 234-12-003.00 & 6.00

24" x 36" 1 inch = 40 ft.  
11" x 17" 1 inch = 80 ft.

Professional Engineer Seal: No. 11853, State of Delaware, Mechanical Engineering, MKC

THE VILLAGES AT  
HERRING CREEK  
RESIDENTIAL  
SUBDIVISION  
PB91 PG156

SHEET C-18  
SHEET C-19

PROJECT NO: 0233-1702  
DRAWING: C-18  
SHEET: 18 OF 35



SHEET C-18  
SHEET C-19

THE VILLAGES AT  
HERRING CREEK  
RESIDENTIAL  
SUBDIVISION  
PB91 PG156

REV	DESCRIPTION OF REVISION	DATE	BY
1	REVISED PER AGENCY COMMENTS	02/12/2020	EW
2	REVISED PER AGENCY COMMENTS	02/17/2020	EW
3	REVISED PER AGENCY COMMENTS	02/17/2020	EW
4	REVISED PER AGENCY COMMENTS	02/17/2020	EW

**ROAD GEOMETRY PLANS**  
CZ #1859 - COUNTY AGREEMENT #1099  
**WINDSWEPT @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**Axiom Engineering L.L.C.**  
18 CHESTNUT STREET  
DELSWATER, DE 19847  
TEL: 302.855.0812  
FAX: 855.081.2222  
WWW.AXIOMENGS.COM

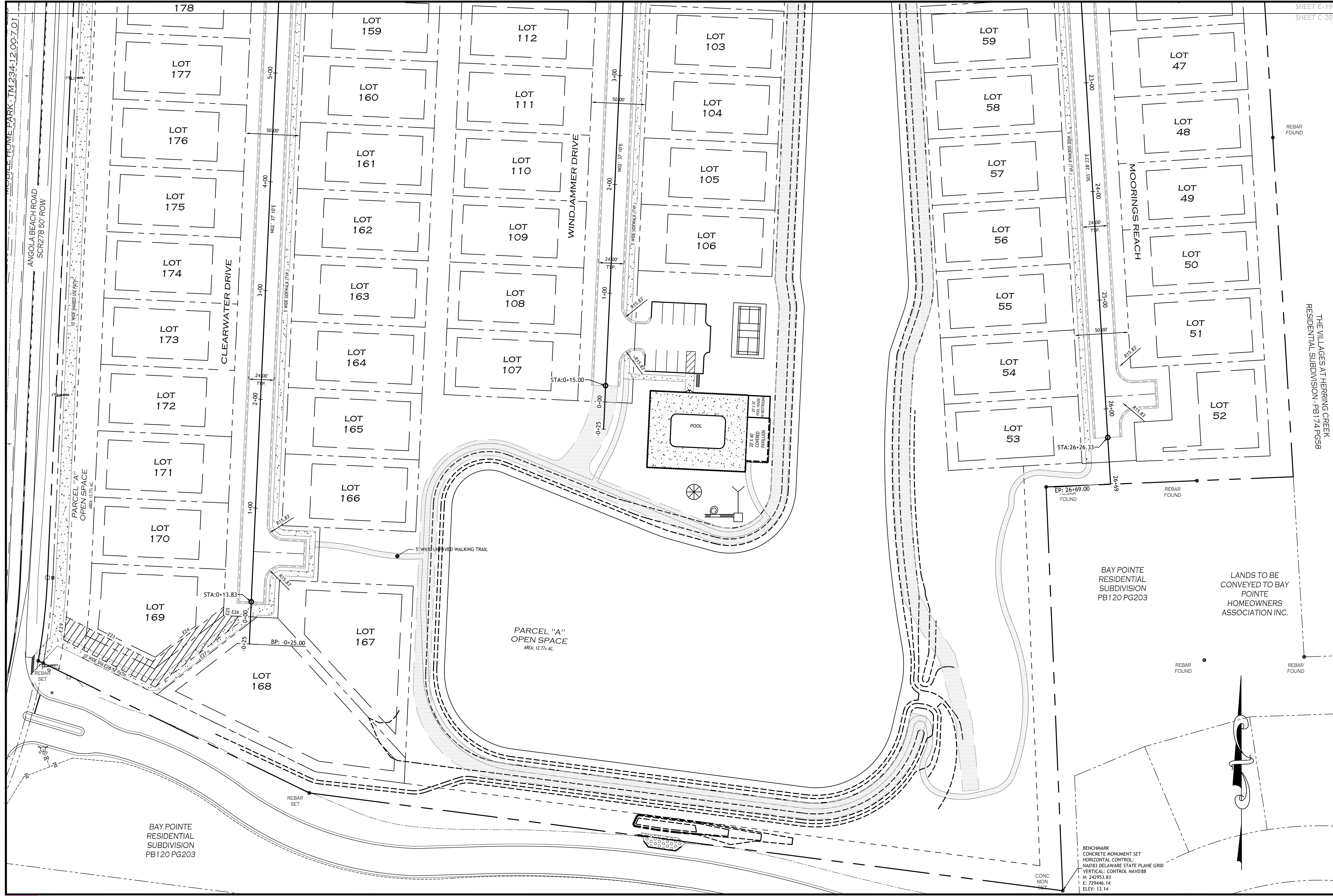
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ENGINEER: MKC  
DESIGNER: MKC  
DRAWN BY: EW  
CHECKED BY: MKC  
DATE: 4/1/2019  
TAX MAP: 28412.003.00 & 6.00  
SCALE: 1" = 40' / 1" = 80'

REBAR FOUND

PROJECT NO: 0233-1702  
DRAWING: C-19  
SHEET: 19 OF 35

SHEET C-19  
SHEET C-20



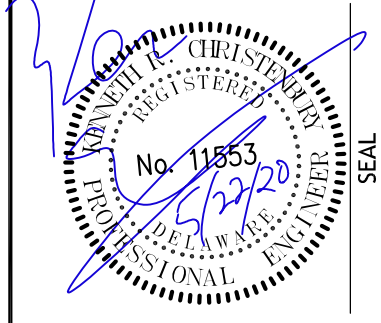
SHEET C-19  
SHEET C-20

REV	DESCRIPTION OF REVISION	DATE	BY
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2	REVISED PER AGENCY COMMENTS	04/27/2019	KRC
3	REVISED PER AGENCY COMMENTS	05/17/2019	KRC
4	REVISED PER AGENCY COMMENTS	05/27/2019	KRC

**ROAD GEOMETRY PLANS**  
 CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEPT @ LEWES R.P.C.**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM ENGINEERING L.L.C.**  
 18 CHESTNUT STREET  
 DELEWARE CITY, DE 19847  
 TEL: 302.855.0811 FAX: 302.855.0812  
 WWW.AXIOMENGS.COM

ENGINEER:	KRC
DRAWN:	EW
CHECKED BY:	KRC
DATE:	4/17/2019
TAX MAP:	28412.003.00 & 6.00



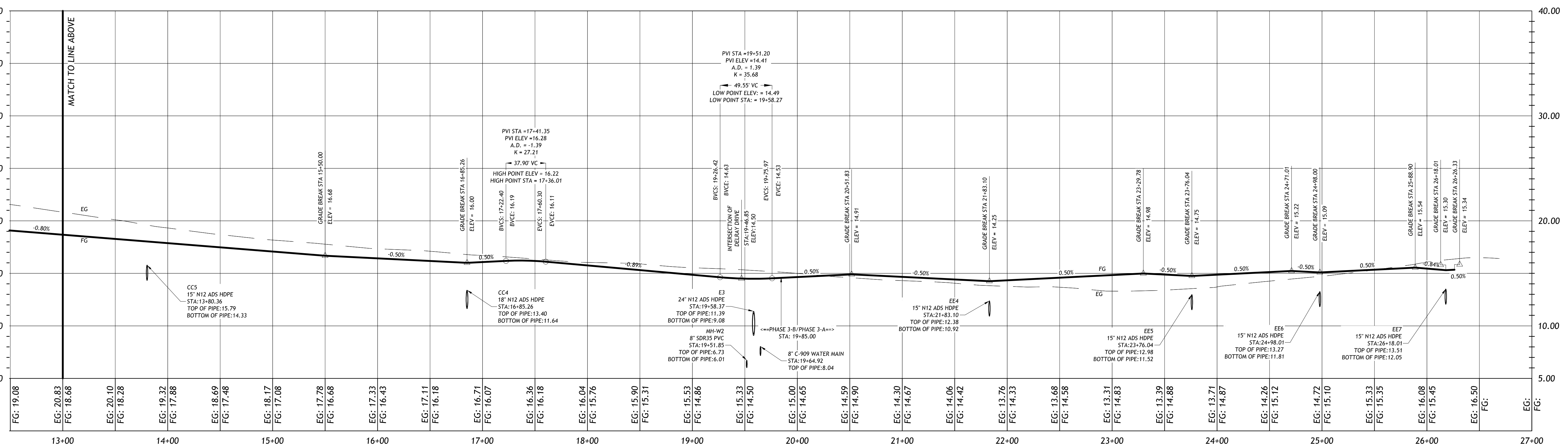
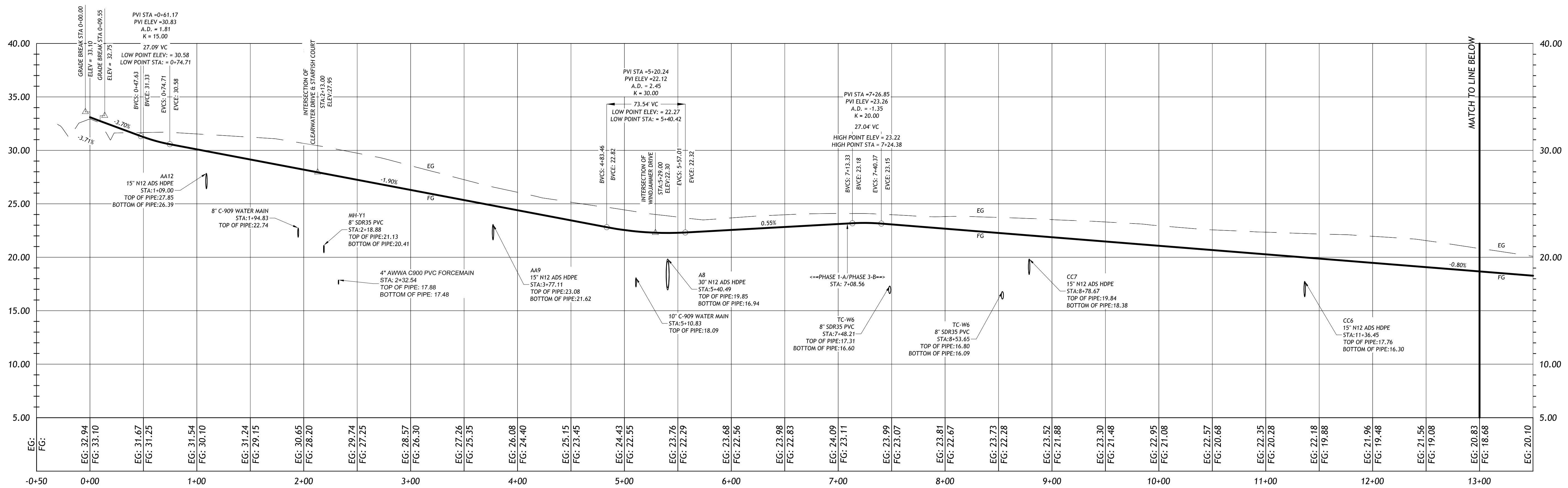
PROJECT NO: 0233-1702  
 DRAWING: C-20  
 SHEET: 20 OF 35

THE VILLAGES AT HERRING CREEK  
 RESIDENTIAL SUBDIVISION - PB174 PG58

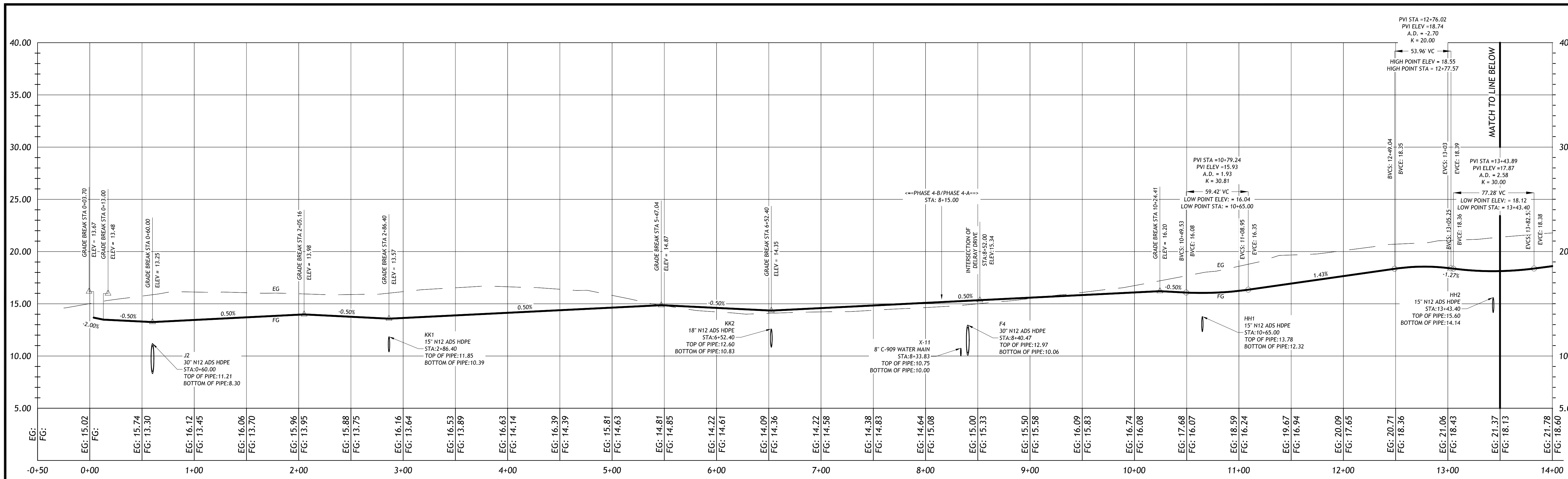
LANDS TO BE  
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 POINT  
 HOMEOWNERS  
 ASSOCIATION INC.

BAY POINT  
 RESIDENTIAL  
 SUBDIVISION  
 PB120 PG203

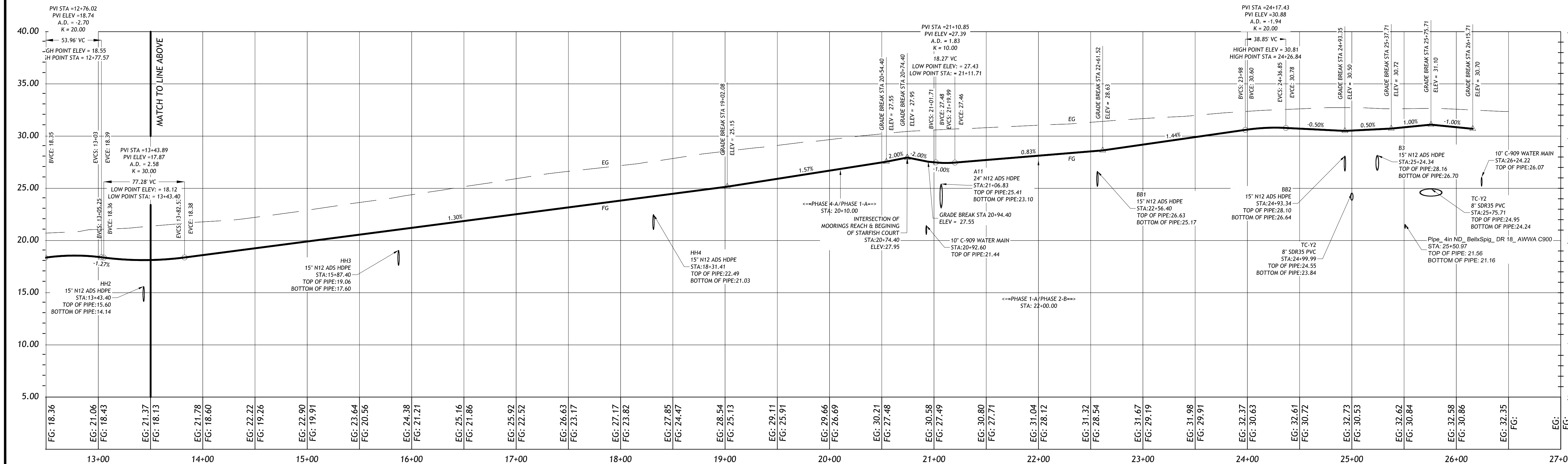
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 CONCRETE MONUMENT SET  
 HORIZONTAL CONTROL:  
 NAD83 DELAWARE STATE PLANE GRID  
 VERTICAL: CONTROL NAVD88  
 N: 242953.83  
 E: 727946.14  
 ELEV: 13.14



<b>MOORINGS REACH ROAD PROFILE</b> CZ # 1859 - COUNTY AGREEMENT # 1099 <b>WINDSWEPT @ LEWES R.P.C.</b> S.C.R. 278 - ANGOLA BEACH ROAD INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE											
<b>Axiom Engineering L.L.C.</b> 18 CHESTNUT STREET SUITE 200 DELEWARE, DE 19847 (302) 855-0812 FAX: 855-0812 WWW.AXIOMENGG.COM											
PROJECT NO: <b>0233-1702</b>	DRAWING: <b>C-21</b>										
SHEET: <b>21 OF 36</b>	SCALE: 1" = 50 FT. 1" = 100 FT.										
<table border="1"> <tr> <th>ENGINEER</th> <th>DRAWN</th> <th>CHECKED</th> <th>DATE</th> <th>TAX MAP</th> </tr> <tr> <td>JKC</td> <td>EW</td> <td>JKC</td> <td>4/1/2019</td> <td>234-12,003,00, 6, 00</td> </tr> </table>		ENGINEER	DRAWN	CHECKED	DATE	TAX MAP	JKC	EW	JKC	4/1/2019	234-12,003,00, 6, 00
ENGINEER	DRAWN	CHECKED	DATE	TAX MAP							
JKC	EW	JKC	4/1/2019	234-12,003,00, 6, 00							
<table border="1"> <tr> <th>REV</th> <th>DESCRIPTION OF REVISION</th> </tr> <tr> <td>1</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>2</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> </table>		REV	DESCRIPTION OF REVISION	1	REVISED PER AGENCY COMMENTS	2	REVISED PER AGENCY COMMENTS				
REV	DESCRIPTION OF REVISION										
1	REVISED PER AGENCY COMMENTS										
2	REVISED PER AGENCY COMMENTS										
<small>THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE HEALTH, SAFETY AND WELFARE OF THE PUBLIC IS THE RESPONSIBILITY OF THE CONTRACTOR AND THE USER OF THIS DRAWING.</small>											



CLEARWATER DRIVE  
HORIZONTAL SCALE 1"=50'  
VERTICAL SCALE 1"=5'



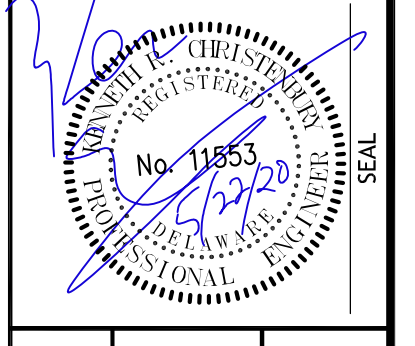
CLEARWATER DRIVE & STARFISH COURT  
HORIZONTAL SCALE 1" = 50'  
VERTICAL SCALE 1" = 5'

REV	DESCRIPTION OF REVISION	DATE	BY
1	REVISED PER AGENCY COMMENTS	02/12/2019	EW
2	REVISED PER AGENCY COMMENTS	02/12/2019	EW
3	REVISED PER AGENCY COMMENTS	02/12/2019	EW
4	REVISED PER AGENCY COMMENTS	02/12/2019	EW

CLEARWATER DR & STARFISH COURT ROAD PROFILE  
CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEPT @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

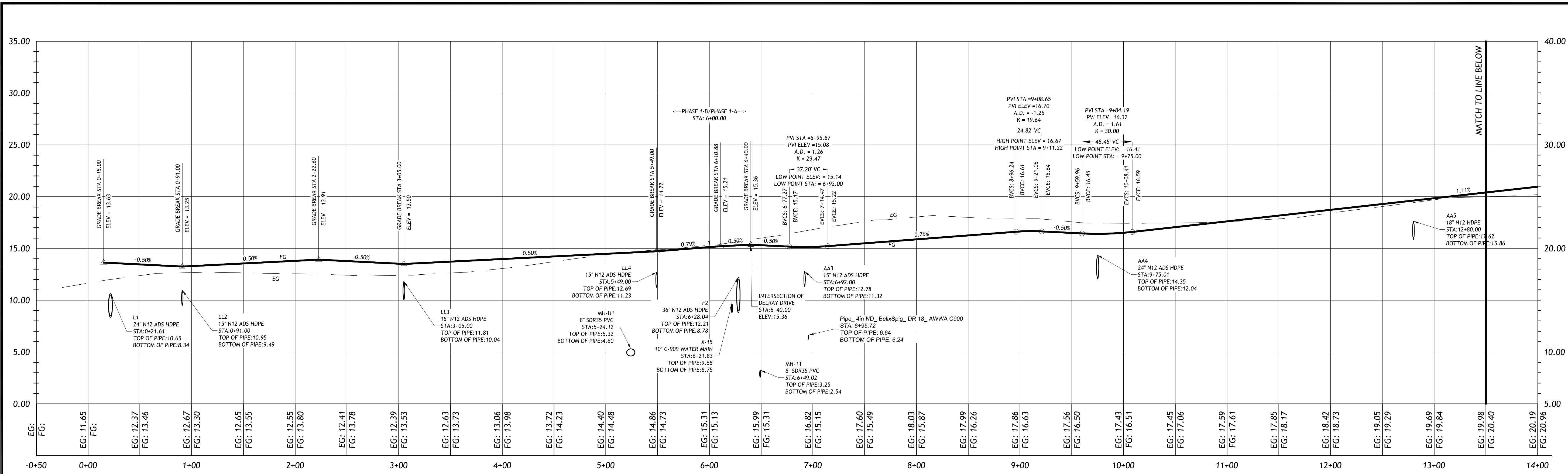
**Axiom Engineering L.L.C.**  
18 CHESTNUT STREET  
SUITE 200 DE 19947  
FAX: 855.081.12  
WWW.AXIOMENGINEERING.COM

ENGINEER:	MKC
DESIGNER:	MKC
DRAWN BY:	EW
CHECKED BY:	MKC
DATE:	4/1/2019
TAX MAP:	234-12-003.00 & 6.00

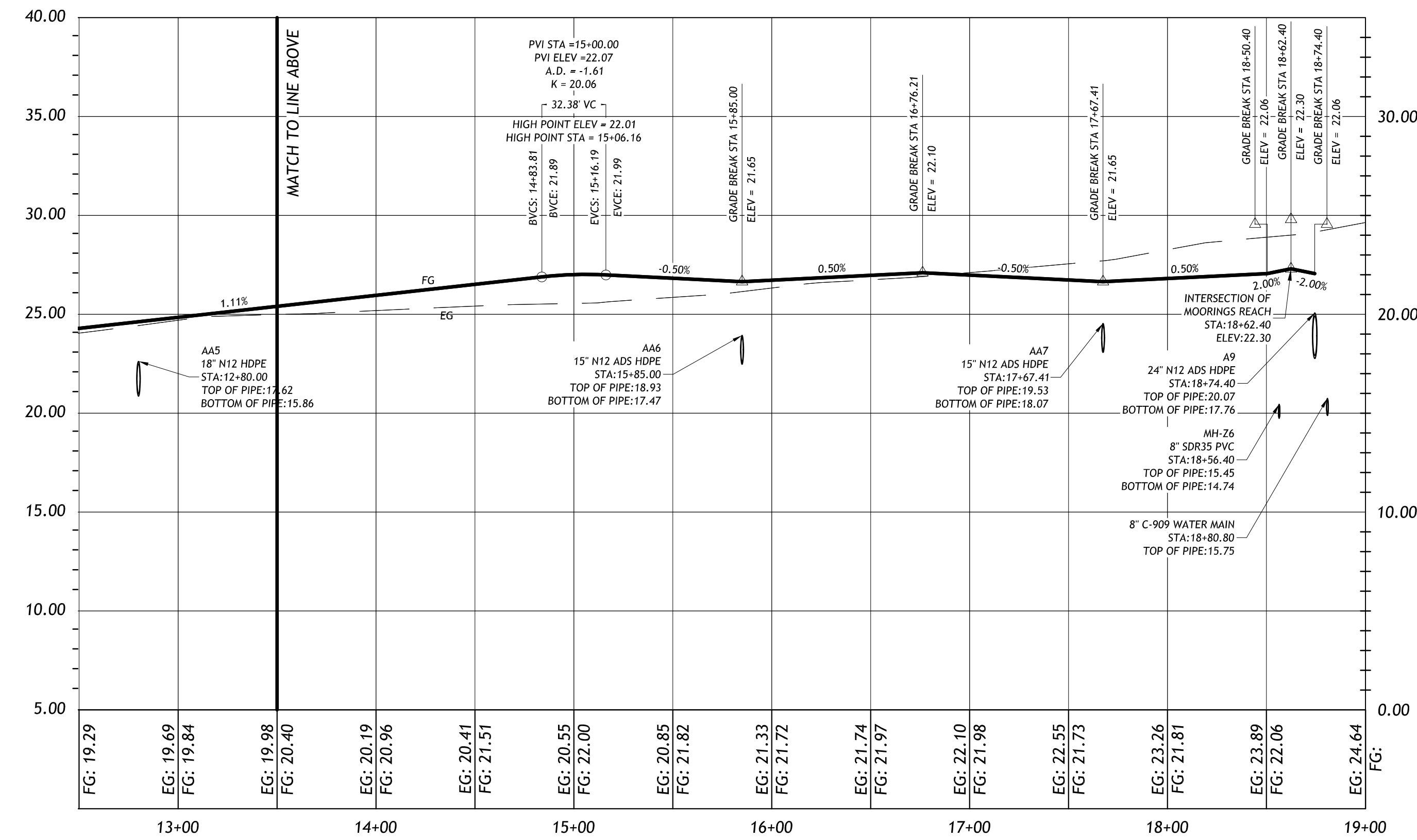


PROJECT NO: 0233-1702  
DRAWING: C-22  
SHEET: 22 OF 36



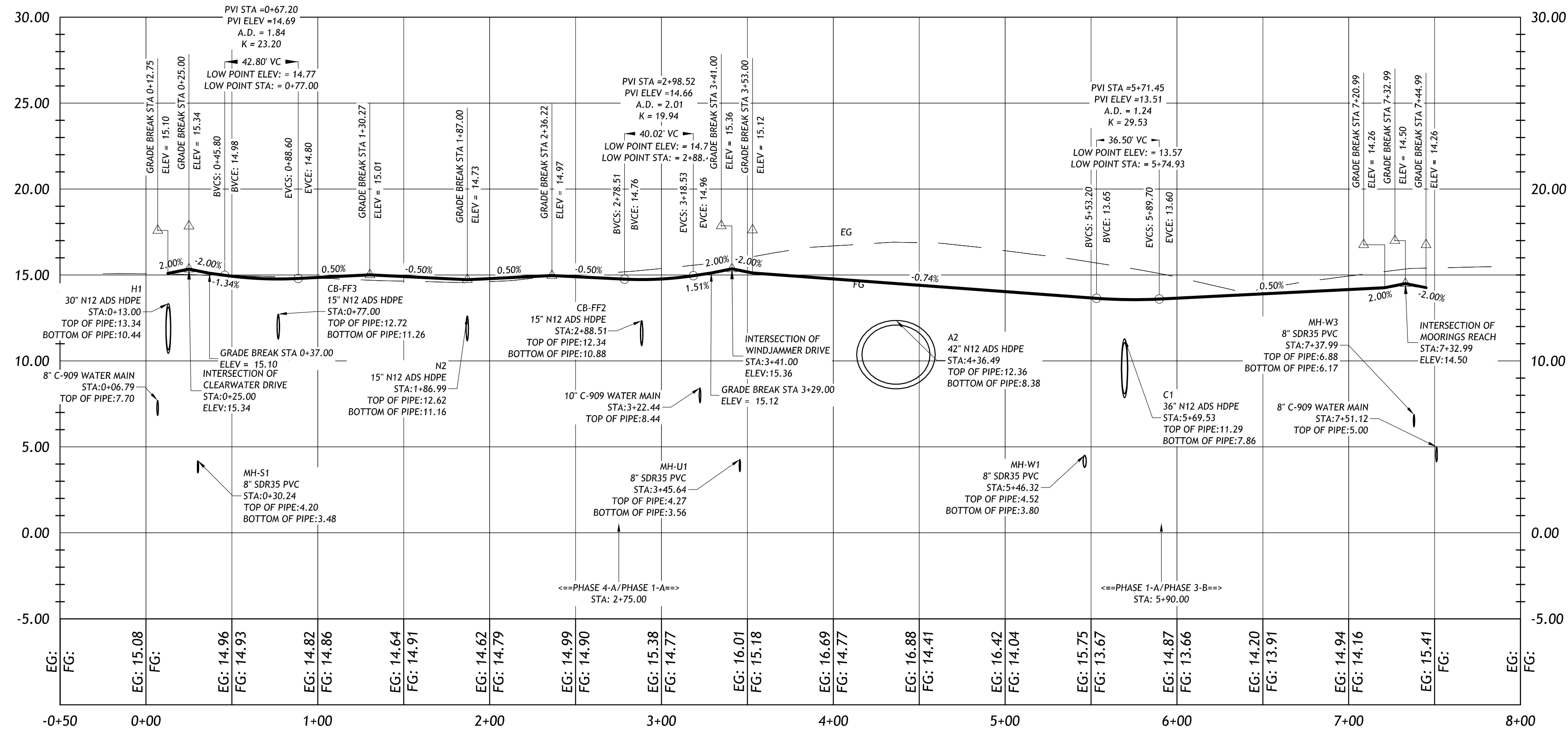


WINDJAMMER DRIVE  
HORIZONTAL SCALE 1"=50'  
VERTICAL SCALE 1"=5'



WINDJAMMER DRIVE  
HORIZONTAL SCALE 1"=50'  
VERTICAL SCALE 1"=5'

PROJECT NO: 0233-1702	ENGINEER: MKC	DESIGNER: MKC	CHECKED BY: MKC	DATE: 4/1/2019	TAX MAP: 234-12-003.00 6.00
DRAWING: C-23	DRAFTER: EW	DATE: 4/1/2019	SCALE: 1 inch = 50 ft. 1 inch = 100 ft.		
SHEET: 23 OF 36	<p>WINDJAMMER DRIVE ROAD PROFILE CZ # 1859 - COUNTY AGREEMENT # 1099 WINDSWEPT @ LEWES R.P.C. S.C.R. 278 - ANGOLA BEACH ROAD INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE</p> <p><b>Axiom Engineering L.L.C.</b> 18 CHESTNUT STREET DOVER, DE 19947 (302) 855-0812 FAX: 855-0812 WWW.AXIOMENGG.COM</p>				



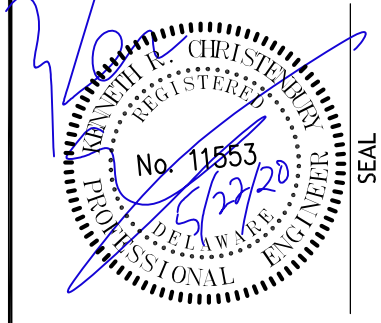
DELRAY DRIVE  
 HORIZONTAL SCALE 1"=50'  
 VERTICAL SCALE 1"=5'

REV	DESCRIPTION OF REVISION	DATE	BY
1	REVISED PER AGENCY COMMENTS	02/17/2019	EW
2	REVISED PER AGENCY COMMENTS	02/27/2019	EW
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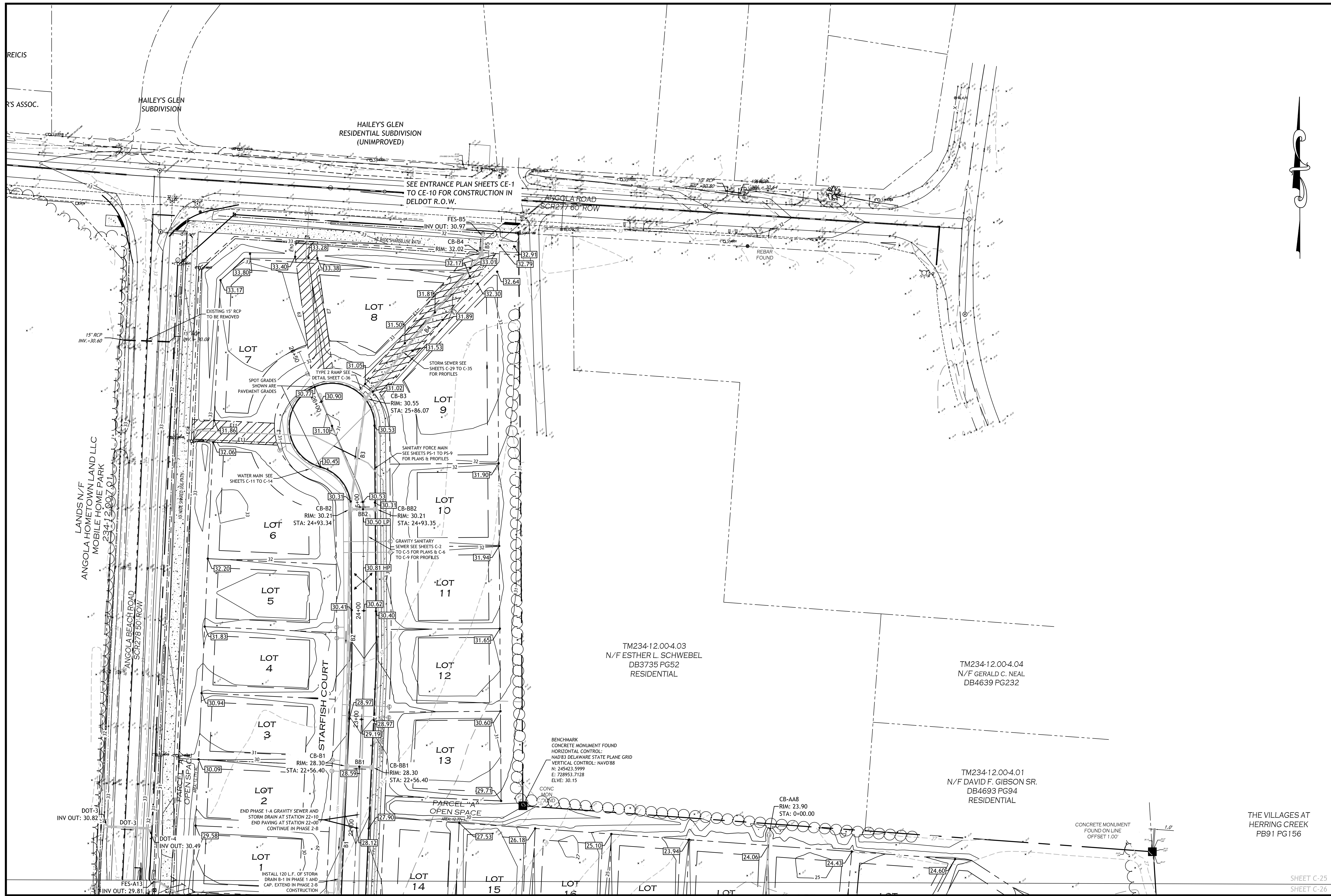
DELRAY DRIVE PROFILE & DETAILS  
 CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEPT @ LEWES R.P.C.**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM**  
 ENGINEERING L.L.C.  
 18 CHESTNUT STREET  
 SUITE 200 DE 19947  
 (302) 855-0812  
 FAX: 855-0812  
 WWW.AXIOMENGS.COM

ENGINEER: MKC  
 DESIGNER: MKC  
 DRAFTER: EW  
 CHECKED BY: MKC  
 DATE: 4/1/2019  
 TAX MAP: 284-12,003,000 & 6,000



PROJECT NO: 0233-1702  
 DRAWING: C-24  
 SHEET: 24 OF 36

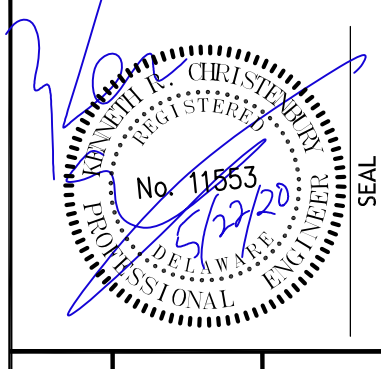


REV	DESCRIPTION OF REVISION

**BULK GRADING PLAN**  
 CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEEP @ LEWES R.P.C.**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM ENGINEERING L.L.C.**  
 18 CHESTNUT STREET  
 DELEWARE CITY, DE 19847  
 (302) 855-0812  
 FAX: 855-0812  
 WWW.AXIOMENGS.COM

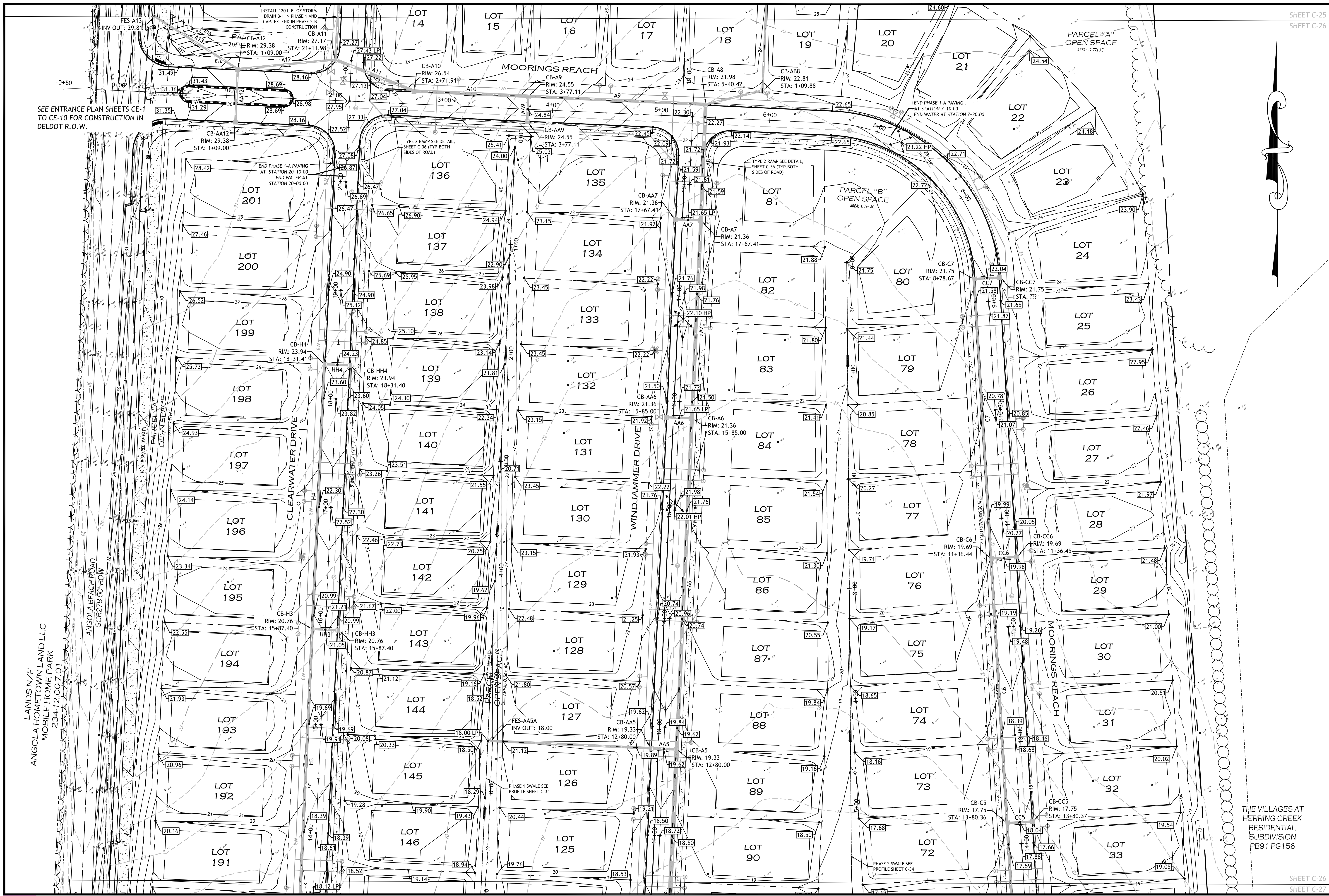
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DRAWN BY:	EW
CHECKED BY:	KRC
DATE:	4/1/2019
TAX MAP:	284-12.00-3.00 & 6.00



PROJECT NO: **0233-1702**  
 DRAWING: **C-25**  
 SHEET: **25 OF 36**

SHEET C-25  
 SHEET C-26

D-B66  
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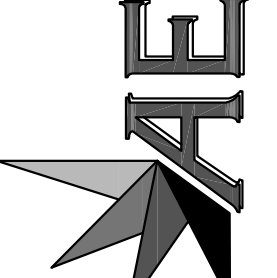


SEE ENTRANCE PLAN SHEETS CE-1 TO CE-10 FOR CONSTRUCTION IN DELDOT R.O.W.

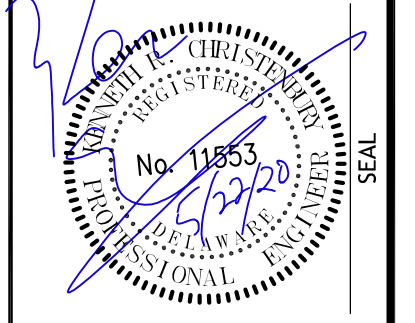
REV	DESCRIPTION OF REVISION

**BULK GRADING PLAN**  
 CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEEP @ LEWES R.P.C.**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM ENGINEERING L.L.C.**  
 18 CHESTNUT STREET, SUITE 100 DE 19947  
 (302) 855-0812  
 FAX: 855-0812  
 WWW.AXIOMENR.COM

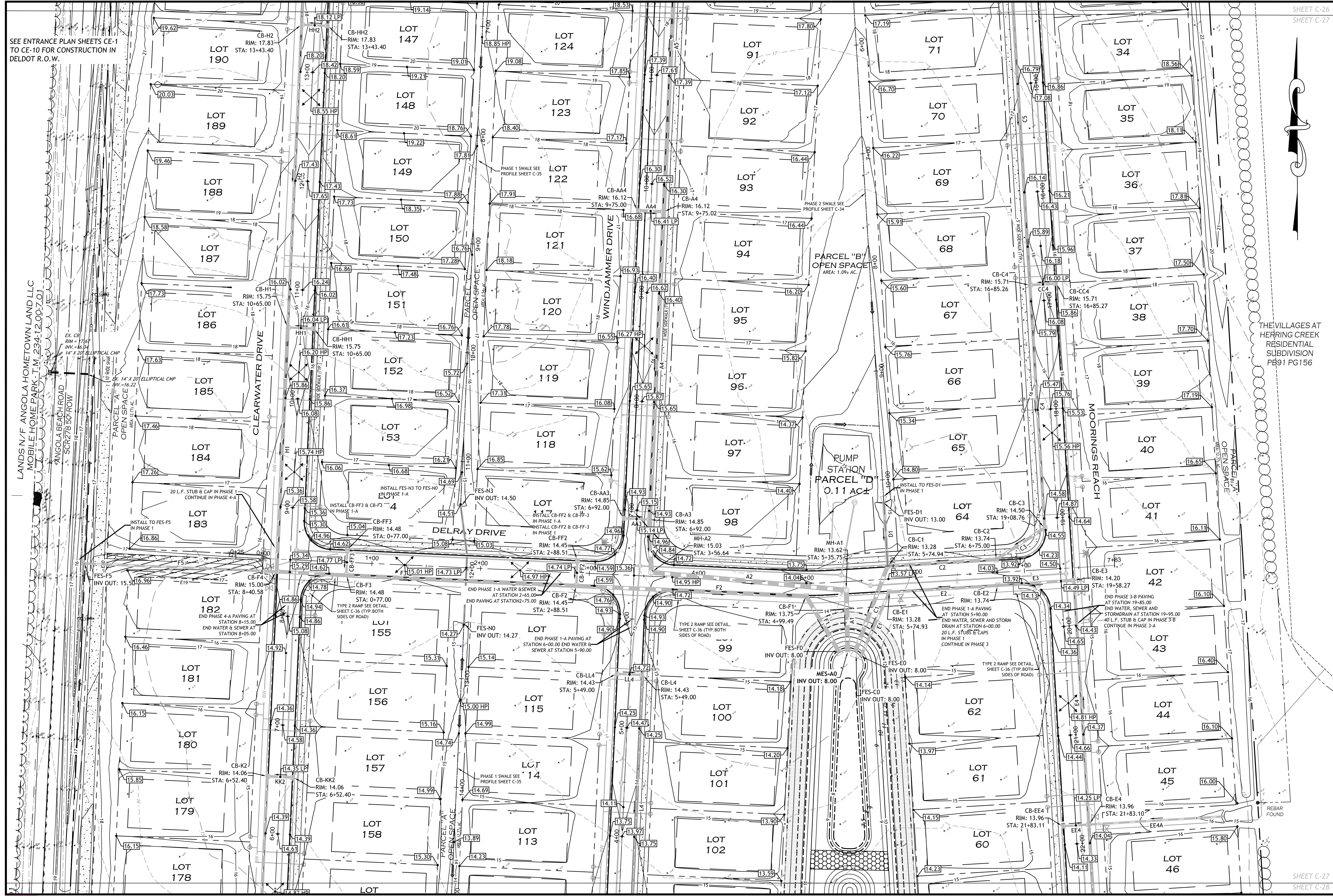


ENGINEER:	KRC
DESIGNER:	KRC
DRAWN BY:	EW
CHECKED BY:	KRC
DATE:	4/1/2019
TAX MAP:	234-12-003.00 & 6.00



PROJECT NO:	0233-1702
DRAWING:	C-26
SHEET:	26 OF 36

THE VILLAGES AT HERRING CREEK RESIDENTIAL SUBDIVISION PB91 PG156



SEE ENTRANCE PLAN SHEETS CE-1 TO CE-10 FOR CONSTRUCTION IN DELDOT R.O.W.

LANDS N/F ANGOLA HOMETOWN LAND LLC  
MOBILE HOME PARK - T.M. 234-12.00-701  
ANGOLA BEACH ROAD  
SCR 278 50' ROW

REV	DESCRIPTION OF REVISION
1	REVISED PER AGENCY COMMENTS
2	REVISED PER AGENCY COMMENTS

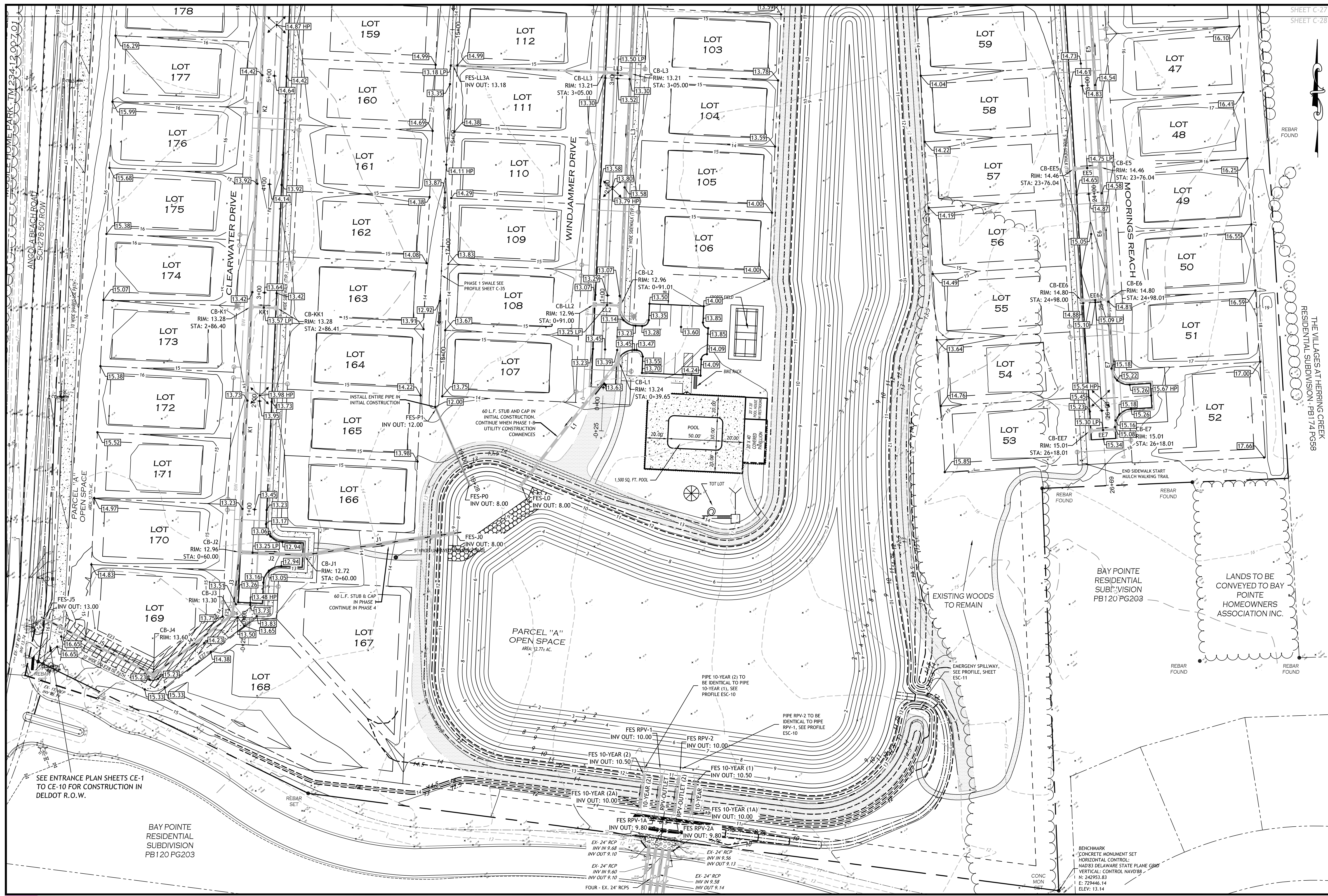
THE DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. HEALTH ACT OF 1996 AND ALL RULES AND REGULATIONS THEREOF AND APPROPRIATE

**BULK GRADING PLAN**  
CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEEP @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM**  
ENGINEERING L.L.C.  
18 CHESTNUT STREET  
DELEWARE CITY, DE 19847  
PHONE: 302.855.0812  
FAX: 855.508.1122  
WWW.AXIOMENR.COM

ENGINEER: *[Signature]*  
DESIGNER: *[Signature]*  
CHECKED BY: *[Signature]*  
DATE: 4/1/2019  
TAX MAP: 234-12.00-3.00 & 6.00

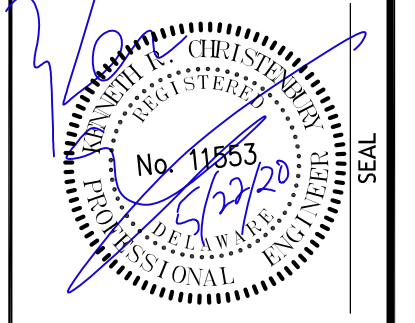
24" x 36" 1 inch = 40' ft.  
11" x 17" 1 inch = 80' ft.



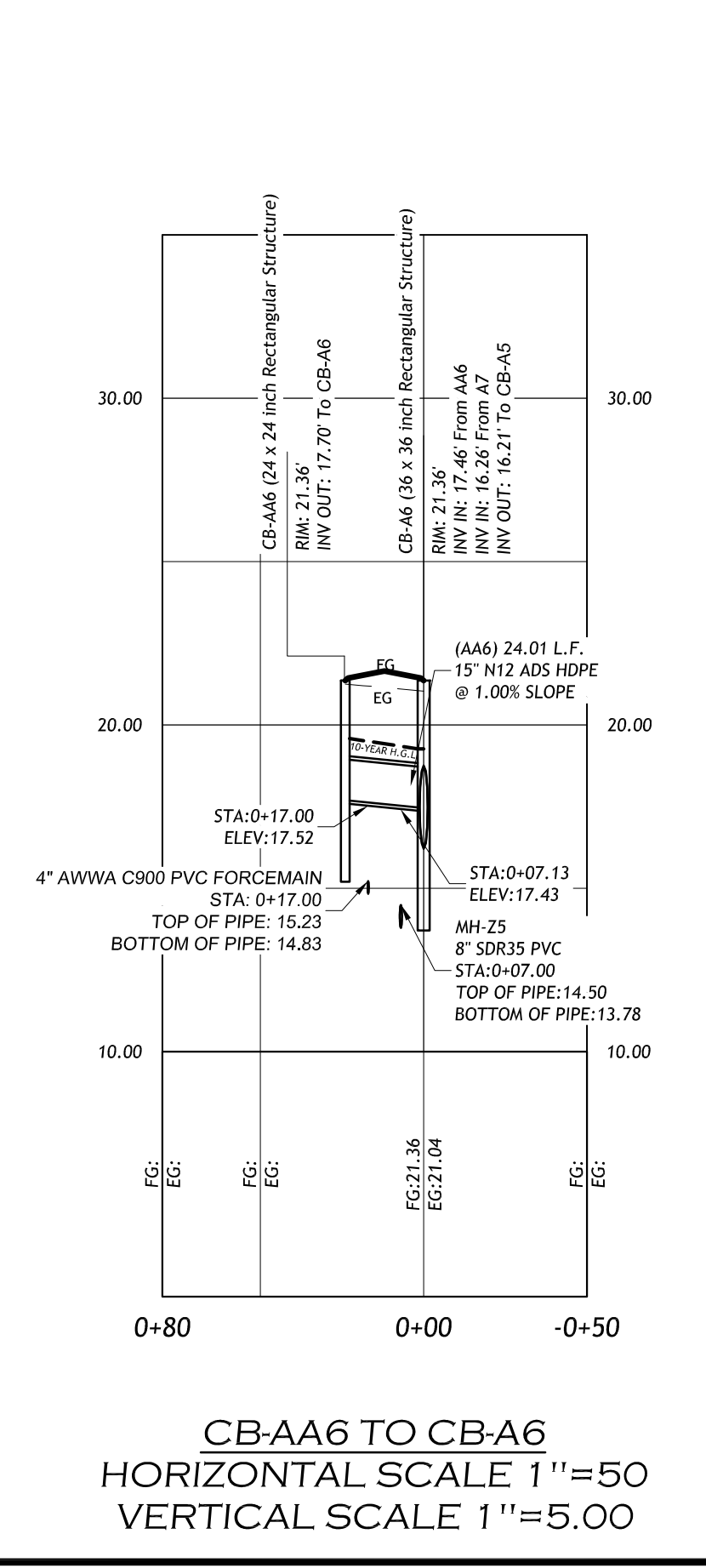
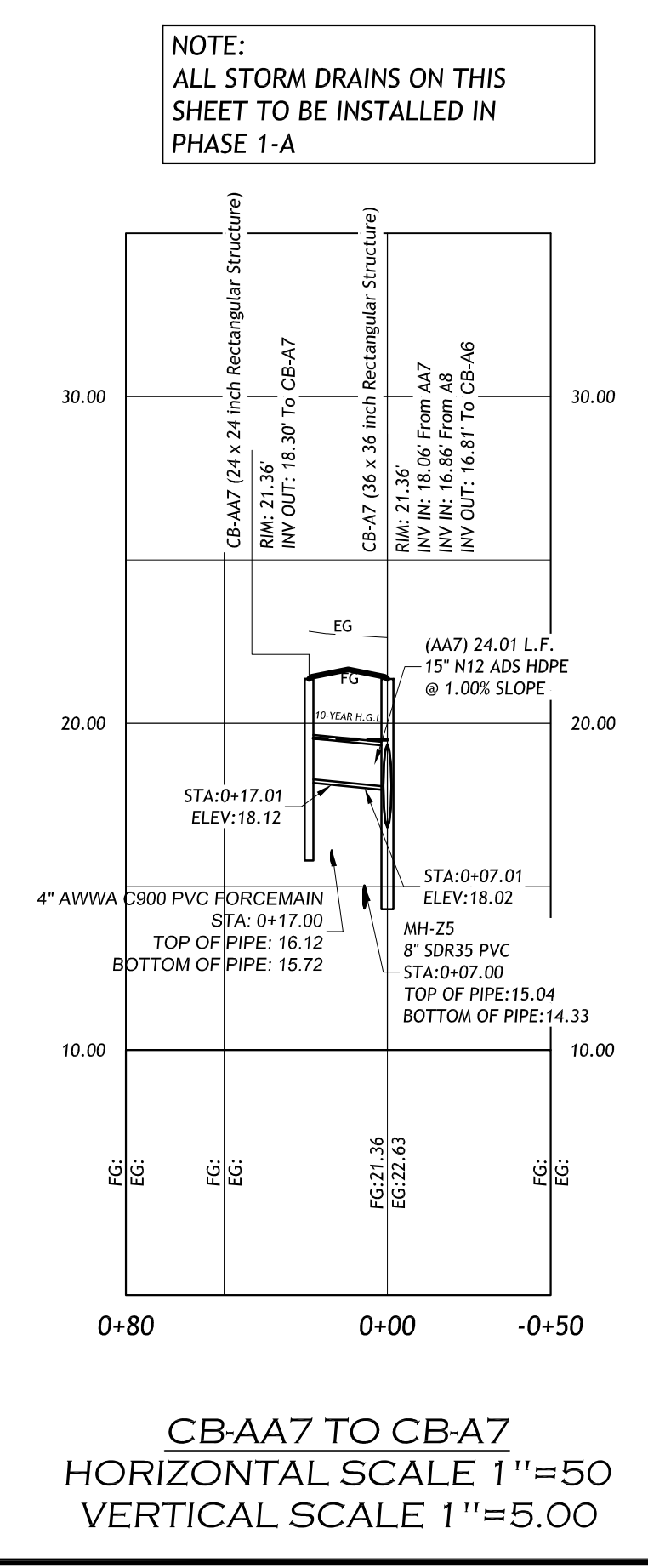
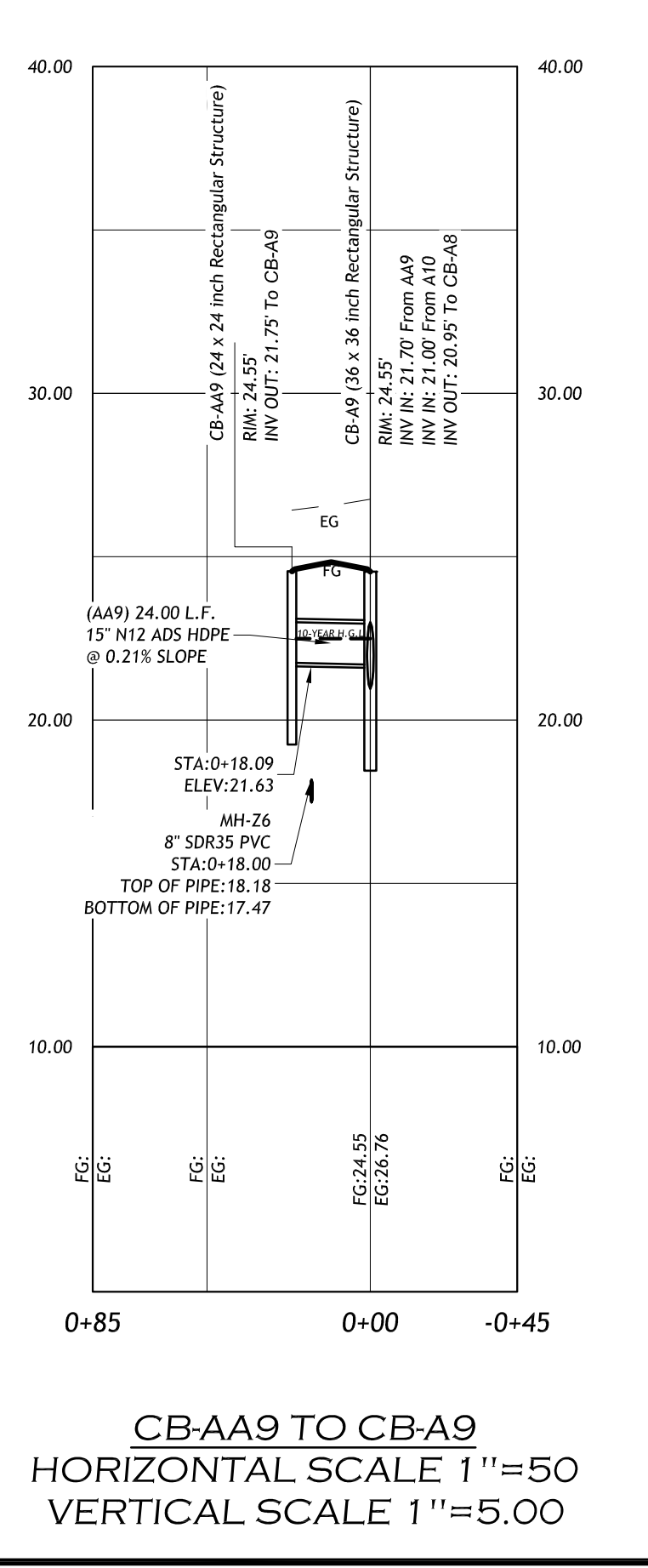
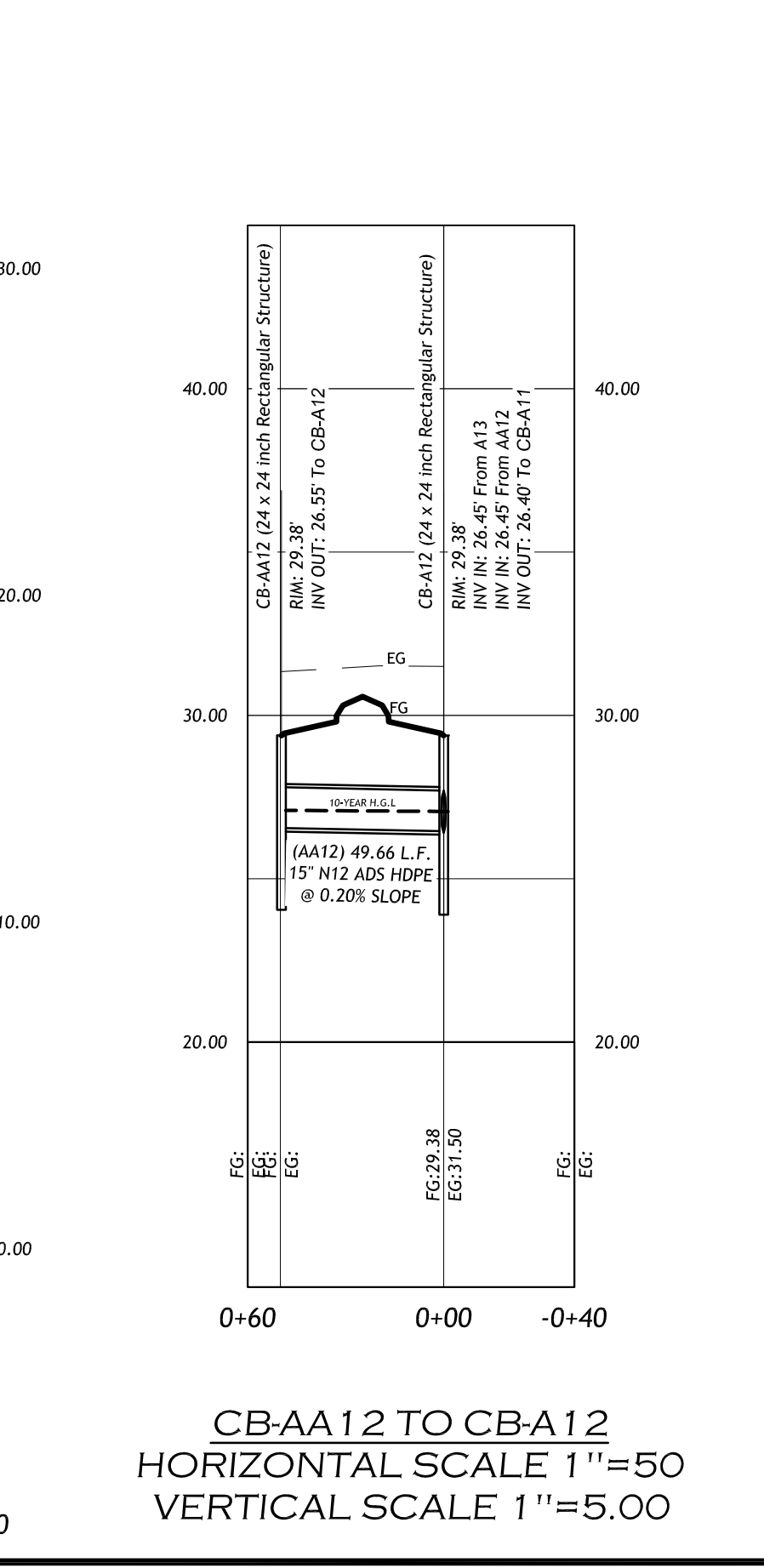
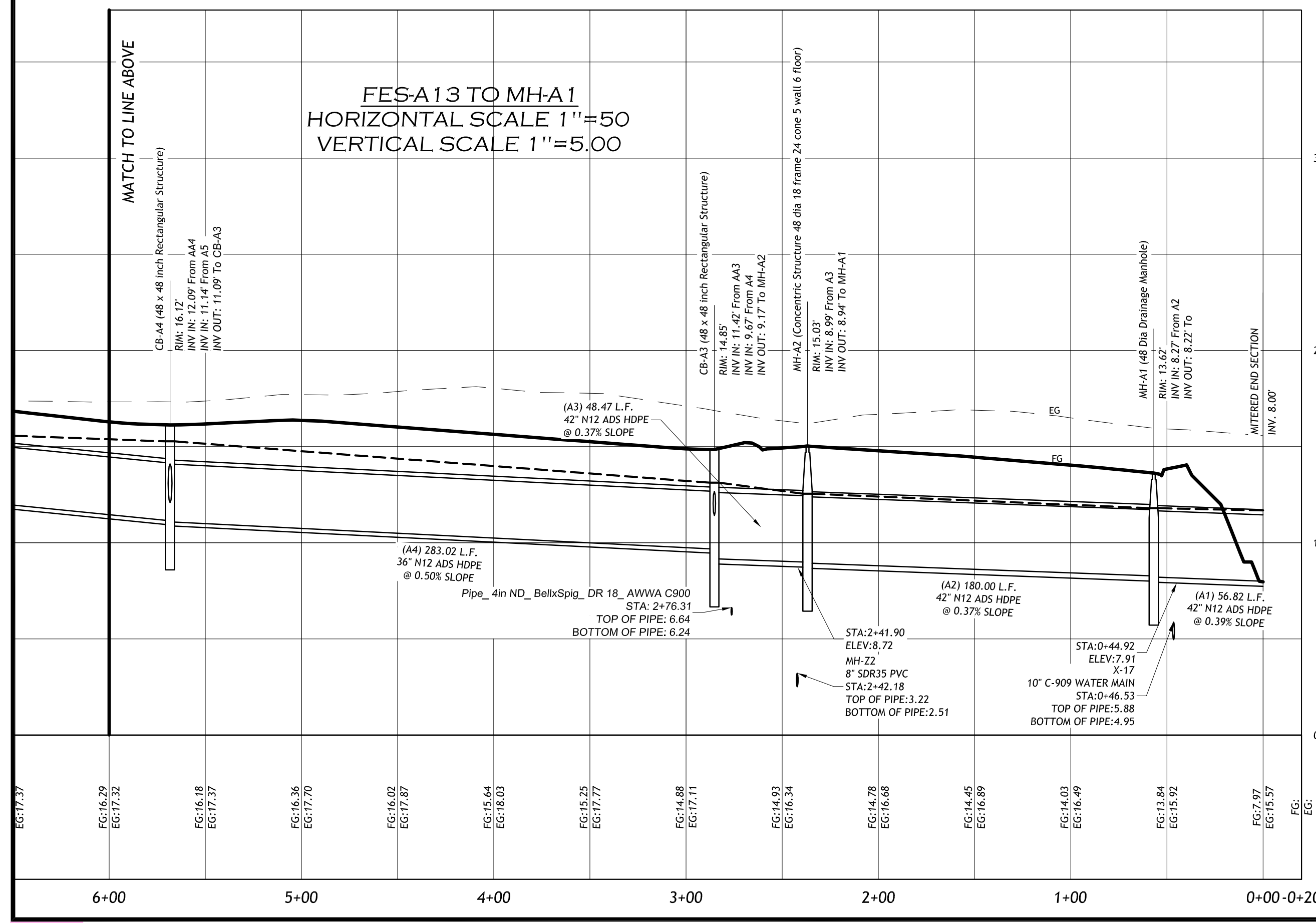
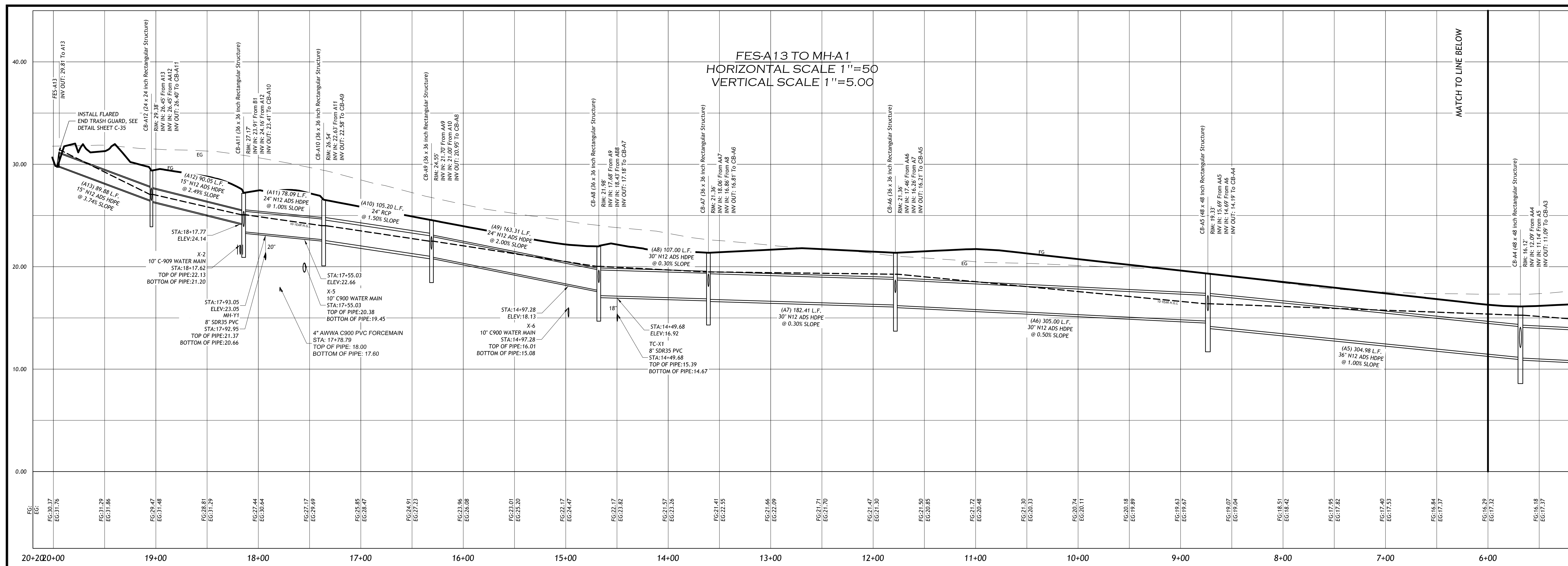
**BULK GRADING PLAN**  
 CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEEP @ LEWES R.P.C.**  
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 FAX: 855-0812  
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ENGINEER: MKC  
 DRAFTER: EW  
 CHECKED BY: MKC  
 DATE: 4/1/2019  
 TAX MAP: 234-12,003,00 & 6,00



PROJECT NO: 0233-1702  
 DRAWING: C-28  
 SHEET: 28 OF 36



FESA13 TO MHA1  
HORIZONTAL SCALE 1"=50  
VERTICAL SCALE 1"=5.00

FESA13 TO MHA1  
HORIZONTAL SCALE 1"=50  
VERTICAL SCALE 1"=5.00

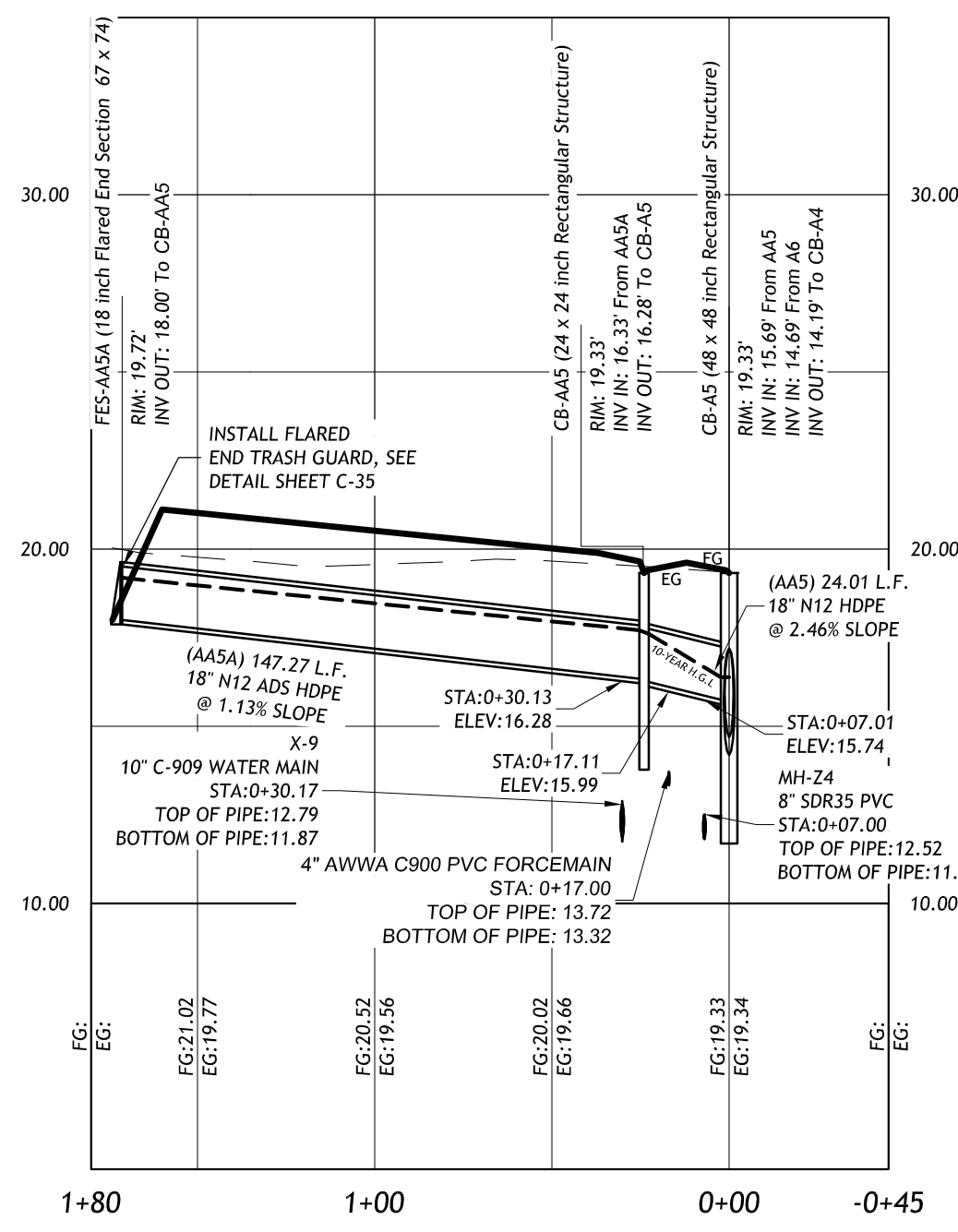
CB-AA12 TO CBA12  
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VERTICAL SCALE 1"=5.00

CB-AA9 TO CBA9  
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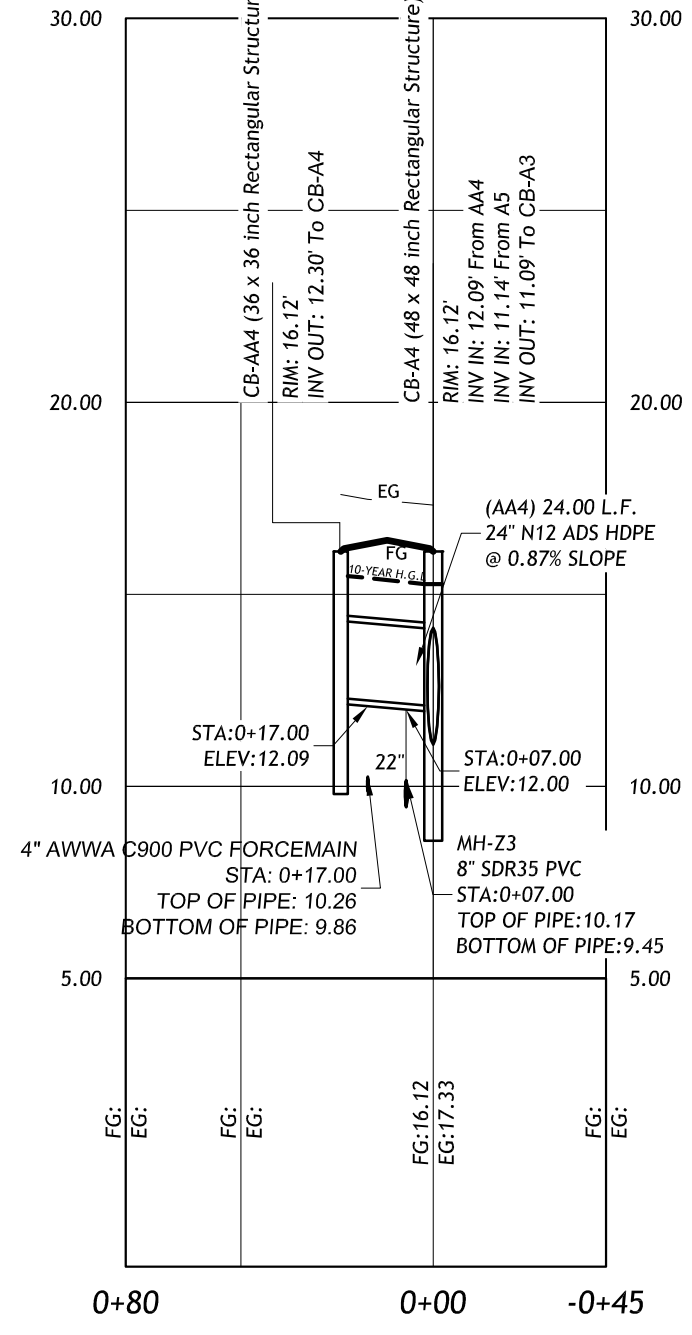
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CB-AA6 TO CBA6  
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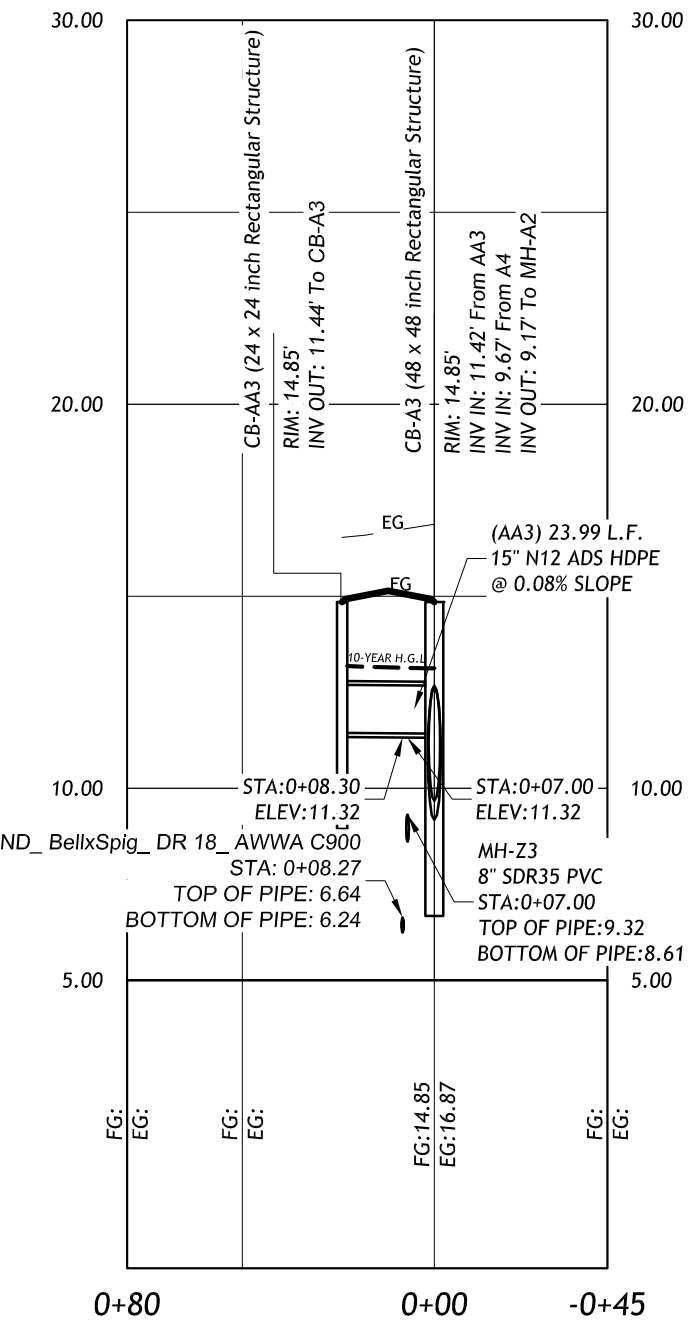
<b>STORMWATER PROFILES</b> CZ #1859 - COUNTY AGREEMENT #1099 <b>WINDSWEPT @ LEWES R.P.C.</b> S.C.R. 278 - ANGOLA BEACH ROAD INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE													
<b>AXIOM ENGINEERING L.L.C.</b> 18 CHESTNUT STREET SUITE 200 DE 19947 (302) 855-0812 FAX: 855-0812 WWW.AXIOMENGIN.COM	<b>REVISIONS</b> <table border="1"> <tr> <th>REV</th> <th>DESCRIPTION OF REVISION</th> <th>DATE</th> </tr> <tr> <td>1</td> <td>REVISED PER AGENCY COMMENTS</td> <td>04/27/2020</td> </tr> <tr> <td>2</td> <td>REVISED PER AGENCY COMMENTS</td> <td>04/27/2020</td> </tr> <tr> <td>3</td> <td>REVISED PER AGENCY COMMENTS</td> <td>04/27/2020</td> </tr> </table>	REV	DESCRIPTION OF REVISION	DATE	1	REVISED PER AGENCY COMMENTS	04/27/2020	2	REVISED PER AGENCY COMMENTS	04/27/2020	3	REVISED PER AGENCY COMMENTS	04/27/2020
REV	DESCRIPTION OF REVISION	DATE											
1	REVISED PER AGENCY COMMENTS	04/27/2020											
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3	REVISED PER AGENCY COMMENTS	04/27/2020											
PROJECT NO: 0233-1702 DRAWING: C-29 SHEET: 29 OF 36	ENGINEER: MKC DESIGNER: MKC DRAFTER: EW CHECKED BY: MKC DATE: 4/1/2019 TAX MAP: 234-12,003,000 & 6,000 SCALE: 24" x 36" 1 inch = 50 ft. 11" x 17" 1 inch = 100 ft.												



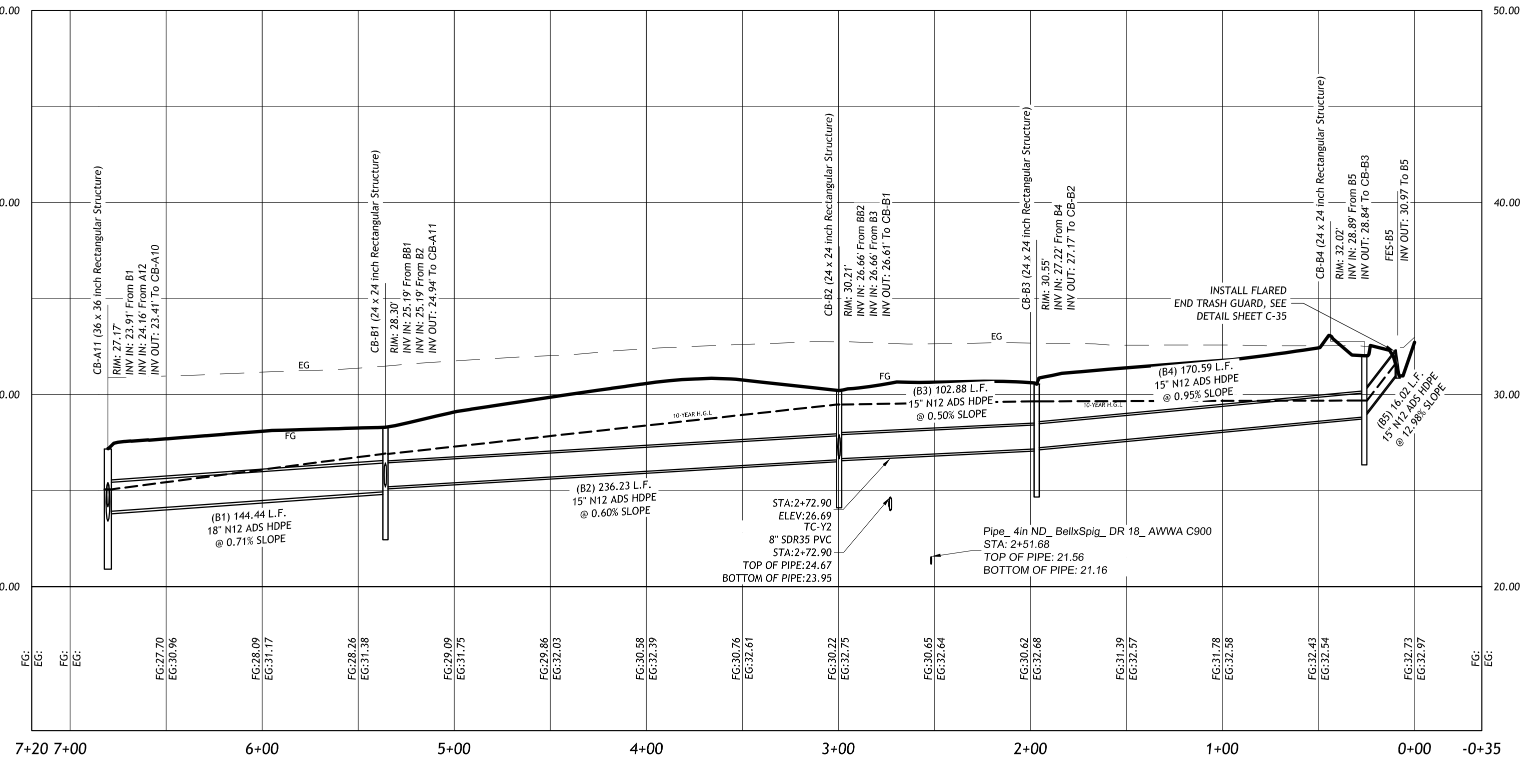
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VERTICAL SCALE 1"=5.00



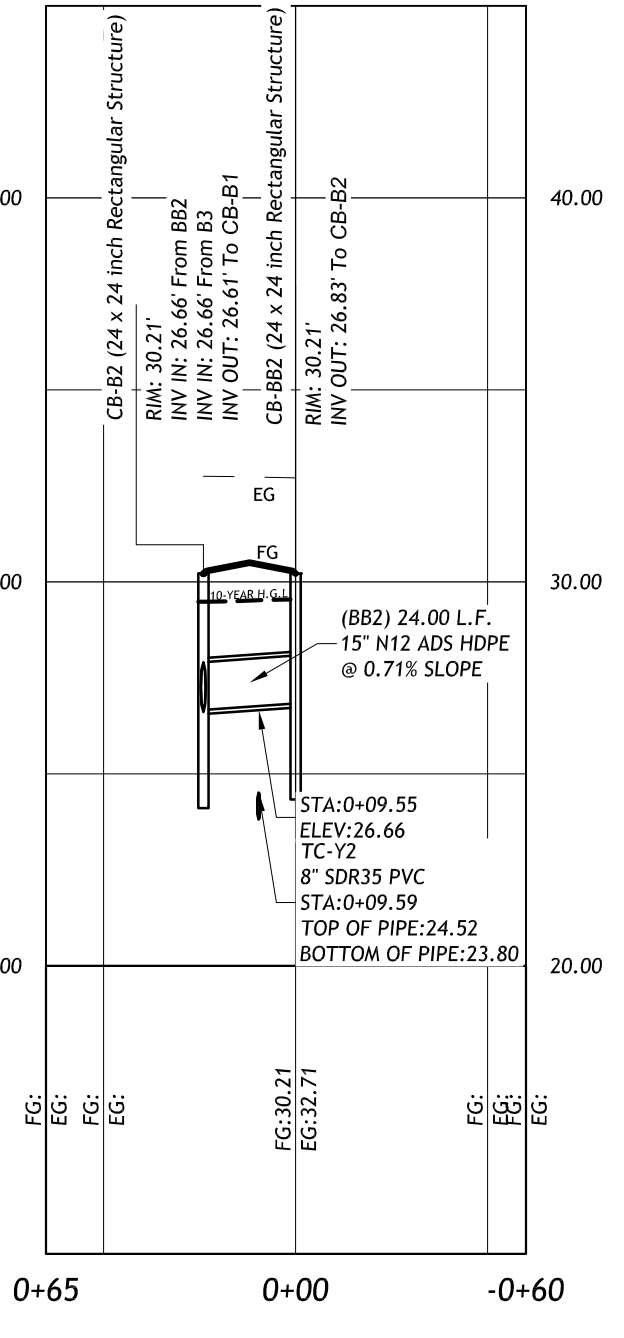
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VERTICAL SCALE 1"=5.00



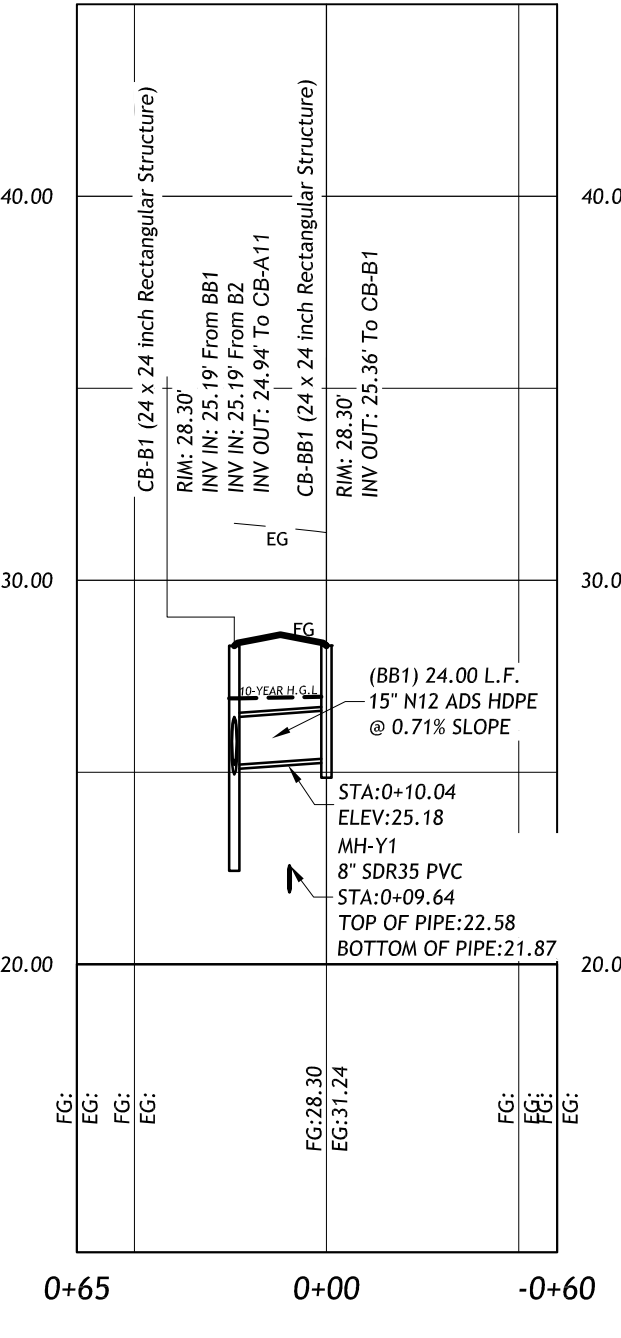
(PHASE 1-A)  
CB-AA3 TO CB-A3  
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VERTICAL SCALE 1"=5.00



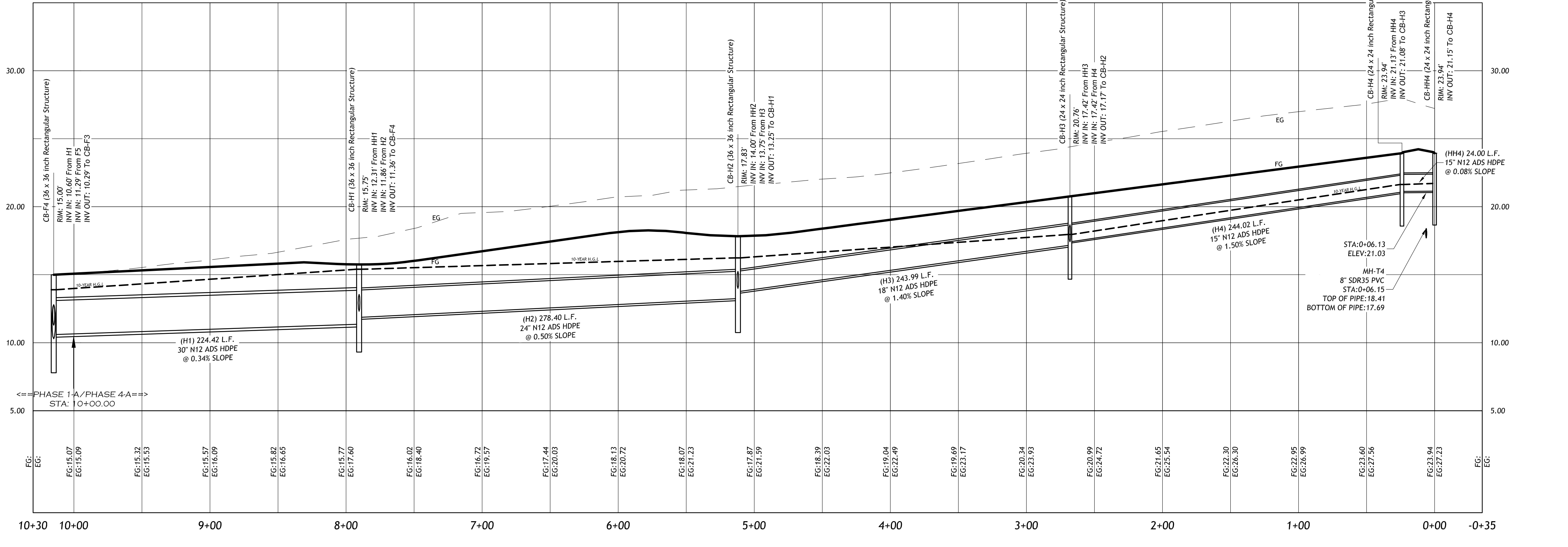
FES-B5 TO CBA11 (PHASE 1-A)  
HORIZONTAL SCALE 1"=50  
VERTICAL SCALE 1"=5.00



(PHASE 1-A)  
CBB2 TO CB-B2  
HORIZONTAL SCALE 1"=50  
VERTICAL SCALE 1"=5.00



(PHASE 1-A)  
CBB1 TO CB-BB1  
HORIZONTAL SCALE 1"=50  
VERTICAL SCALE 1"=5.00



CB-HH4 TO CB-F4  
HORIZONTAL SCALE 1"=50  
VERTICAL SCALE 1"=5.00

REV	DESCRIPTION OF REVISION
1	REVISED PER AGENCY COMMENTS
2	REVISED PER AGENCY COMMENTS
3	REVISED PER AGENCY COMMENTS
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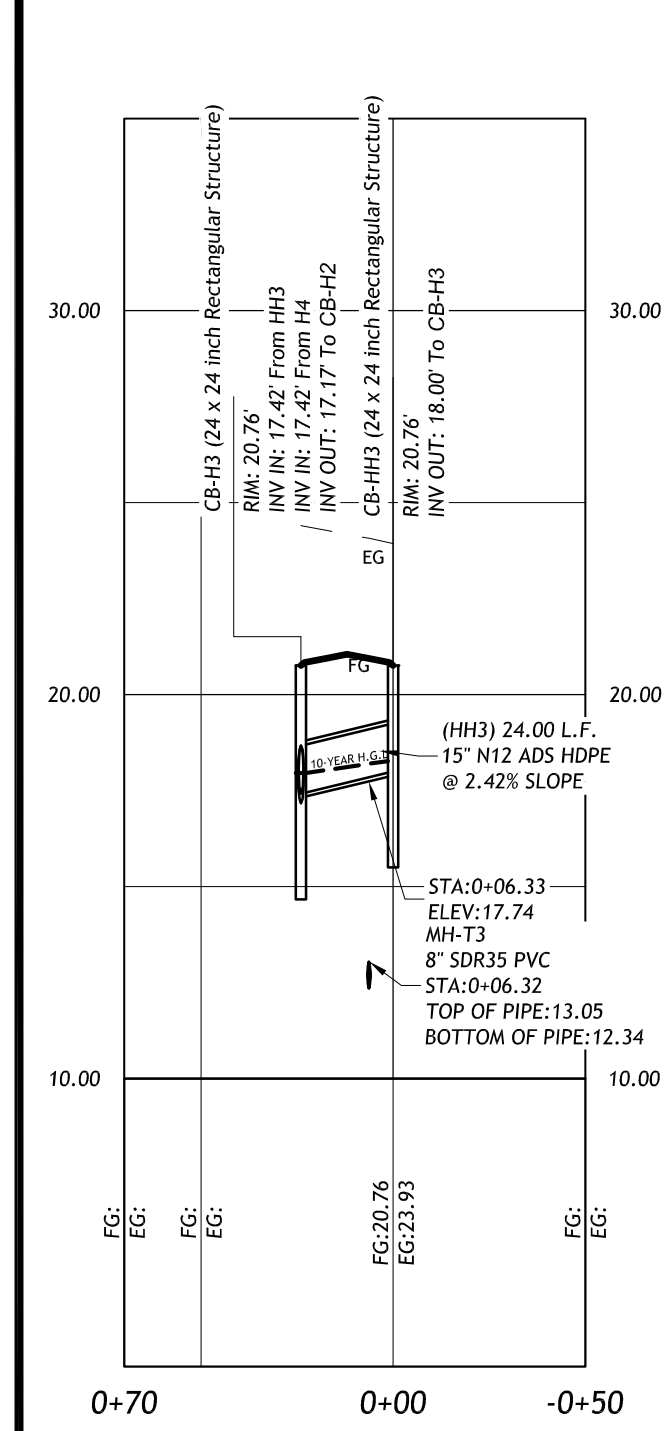
**STORMWATER PROFILES**  
CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEPT @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

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18 CHESTNUT STREET  
SUITE 200 DE 19947  
FAX: 855-081-1234  
WWW.AXIOMENGINEERING.COM

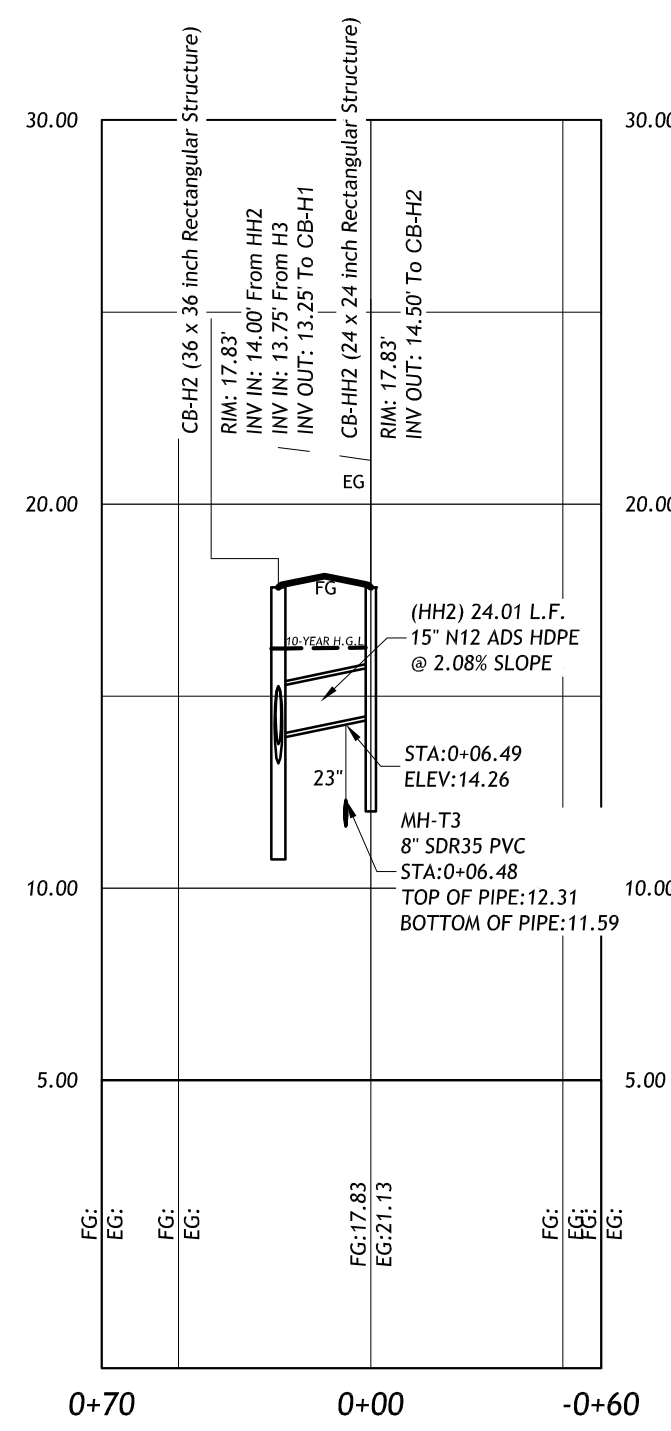
ENGINEER: MKC  
DESIGNER: MKC  
DRAFTER: EW  
CHECKED BY: MKC  
DATE: 4/1/2019  
TAX MAP: 234-12-003.00 & 6.00  
SCALE: 1 inch = 50 feet  
1 inch = 100 feet

PROJECT NO: 0233-1702  
DRAWING: C-30  
SHEET: 30 OF 36

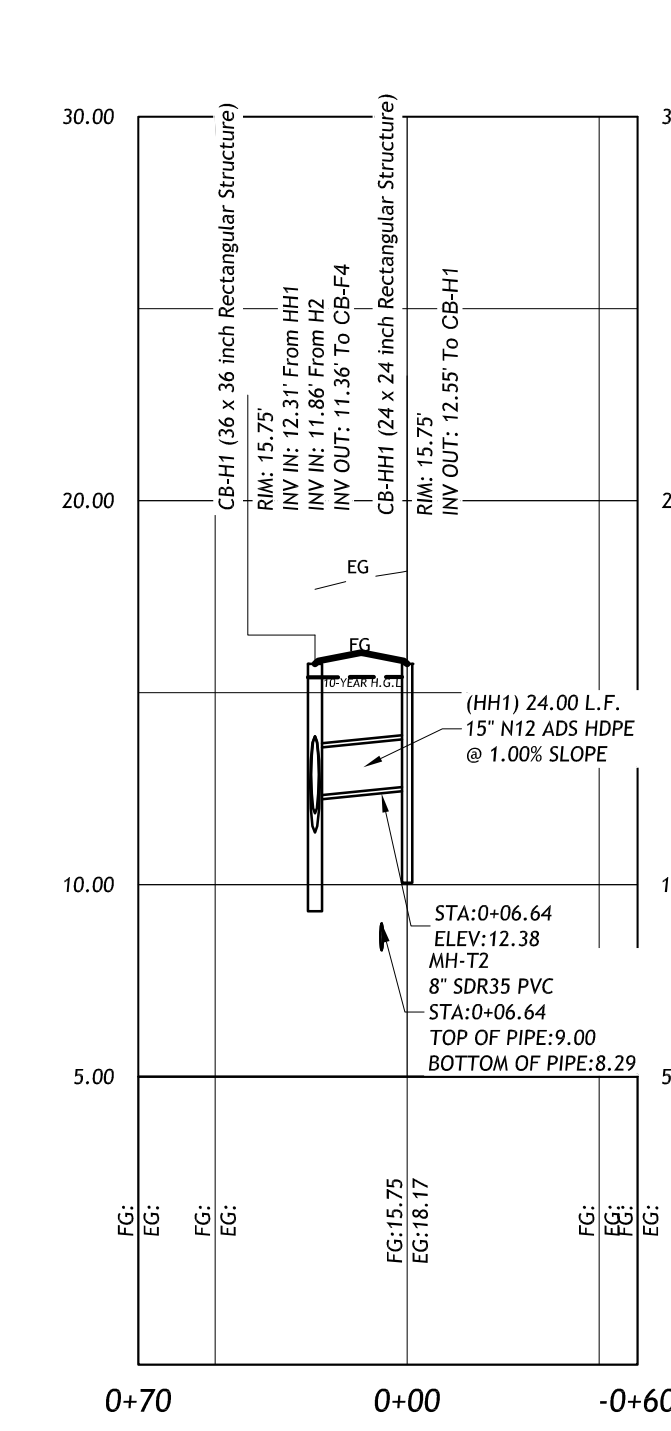




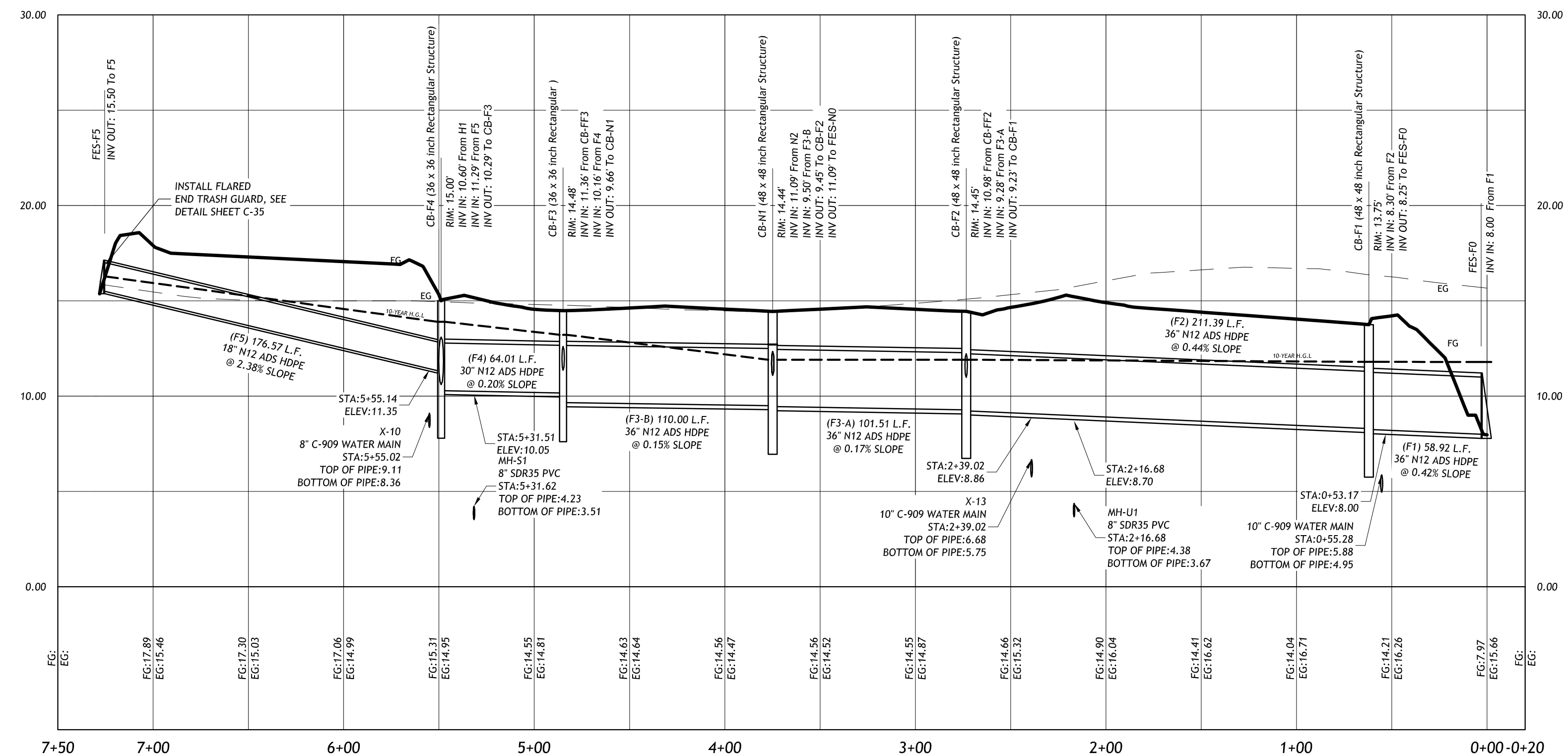
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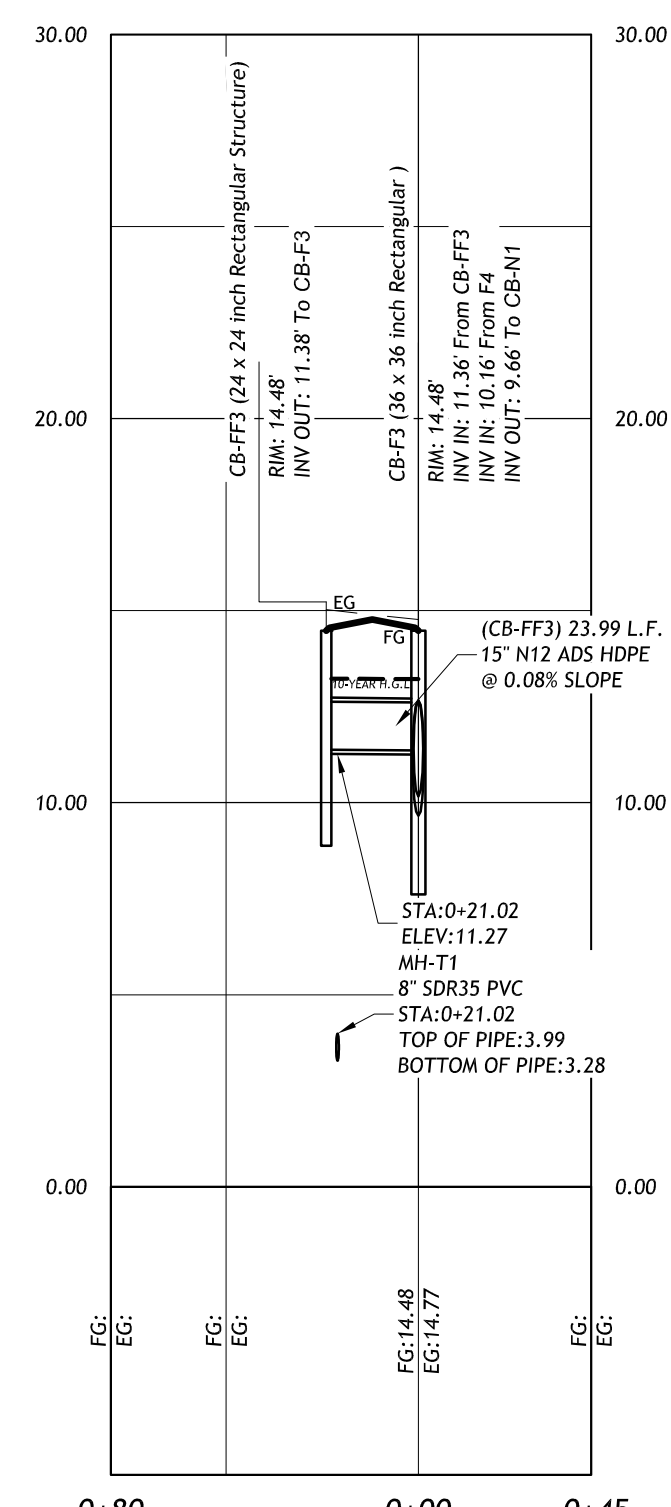
(PHASE 4-A)  
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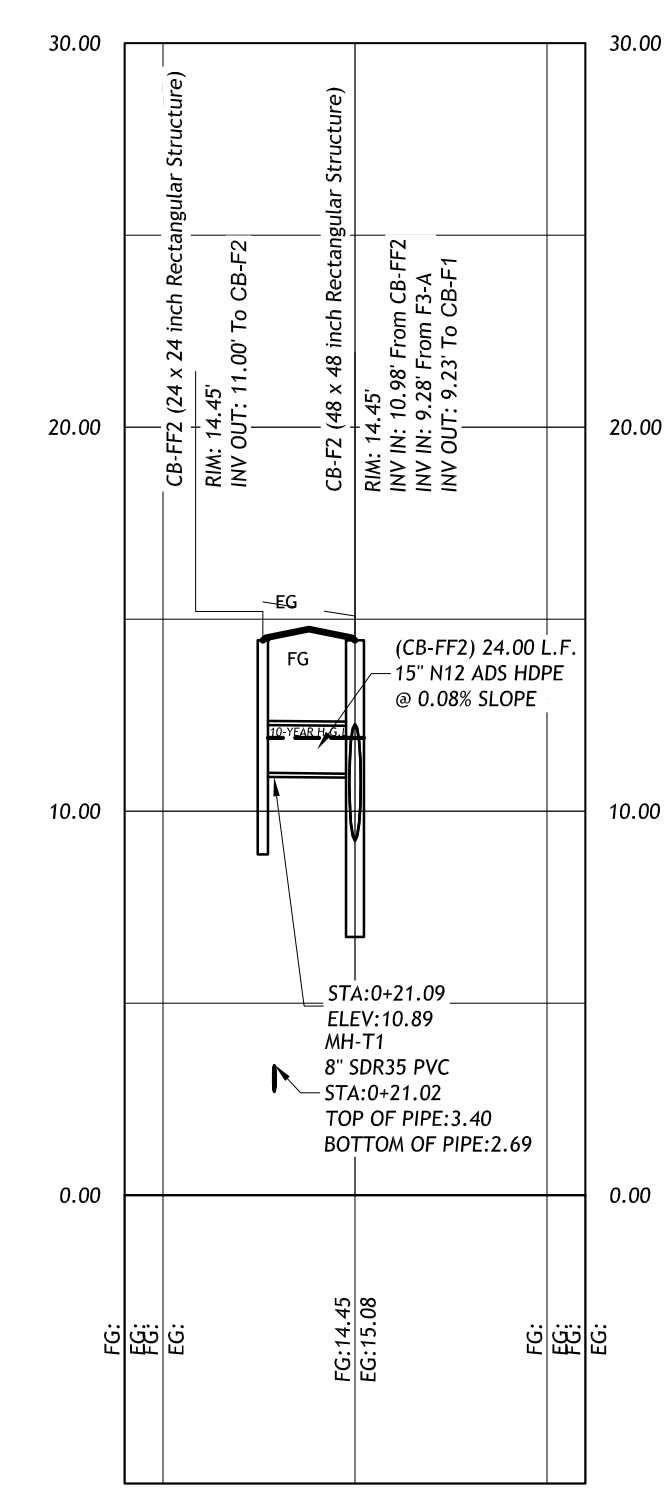
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VERTICAL SCALE 1"=5.00



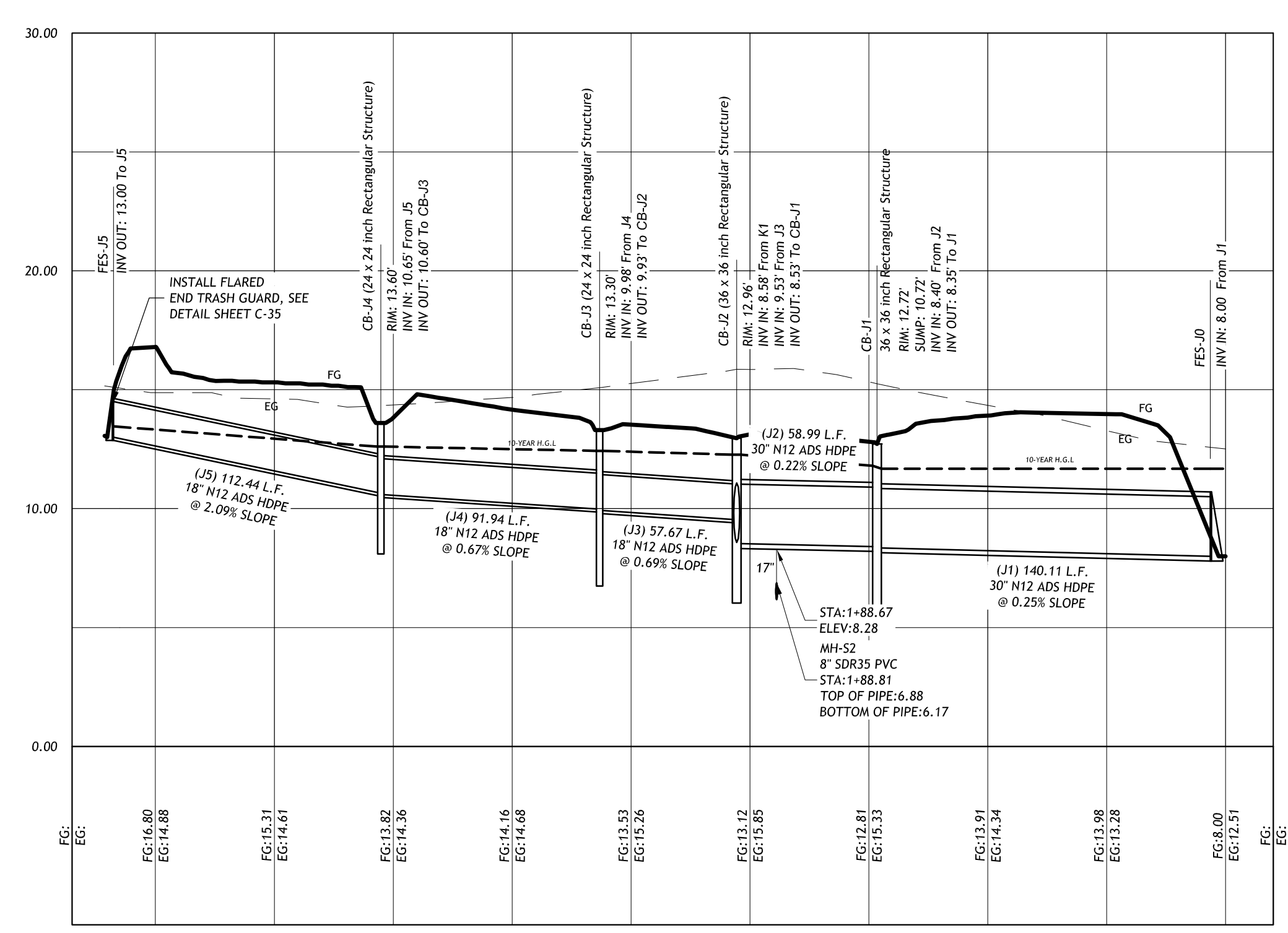
(PHASE 1-A)  
FES-F5 TO FES-F0  
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VERTICAL SCALE 1"=5.00



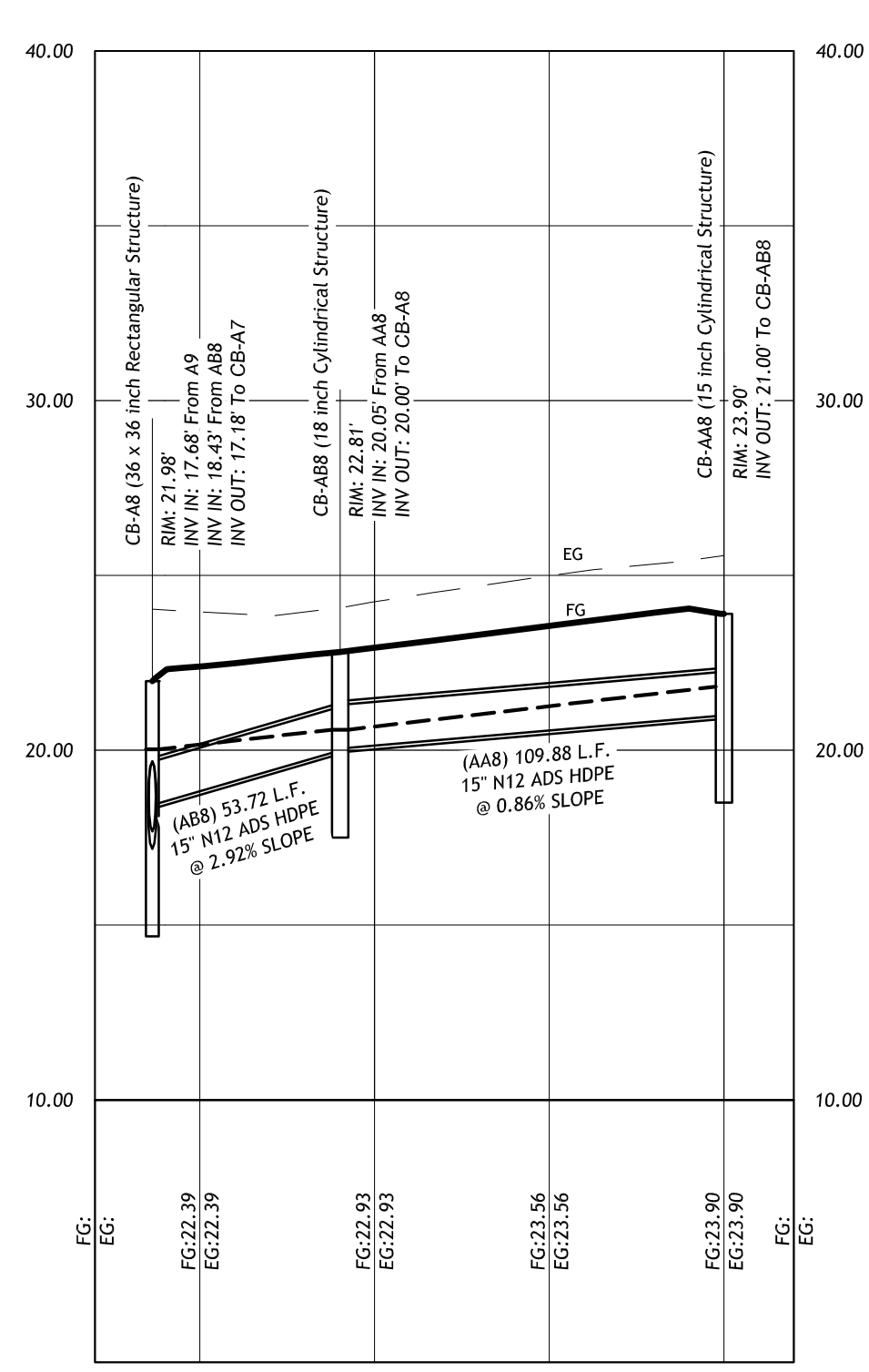
(PHASE 1-A)  
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VERTICAL SCALE 1"=5.00



(PHASE 1-A)  
CB-FF2 TO CB-F2  
HORIZONTAL SCALE 1"=50  
VERTICAL SCALE 1"=5.00



(PHASE 4-B)  
FES-J5 TO FES-J0  
HORIZONTAL SCALE 1"=50  
VERTICAL SCALE 1"=5.00



(PHASE 1-A)  
CB-A8 TO CB-AA8  
HORIZONTAL SCALE 1"=50  
VERTICAL SCALE 1"=5.00

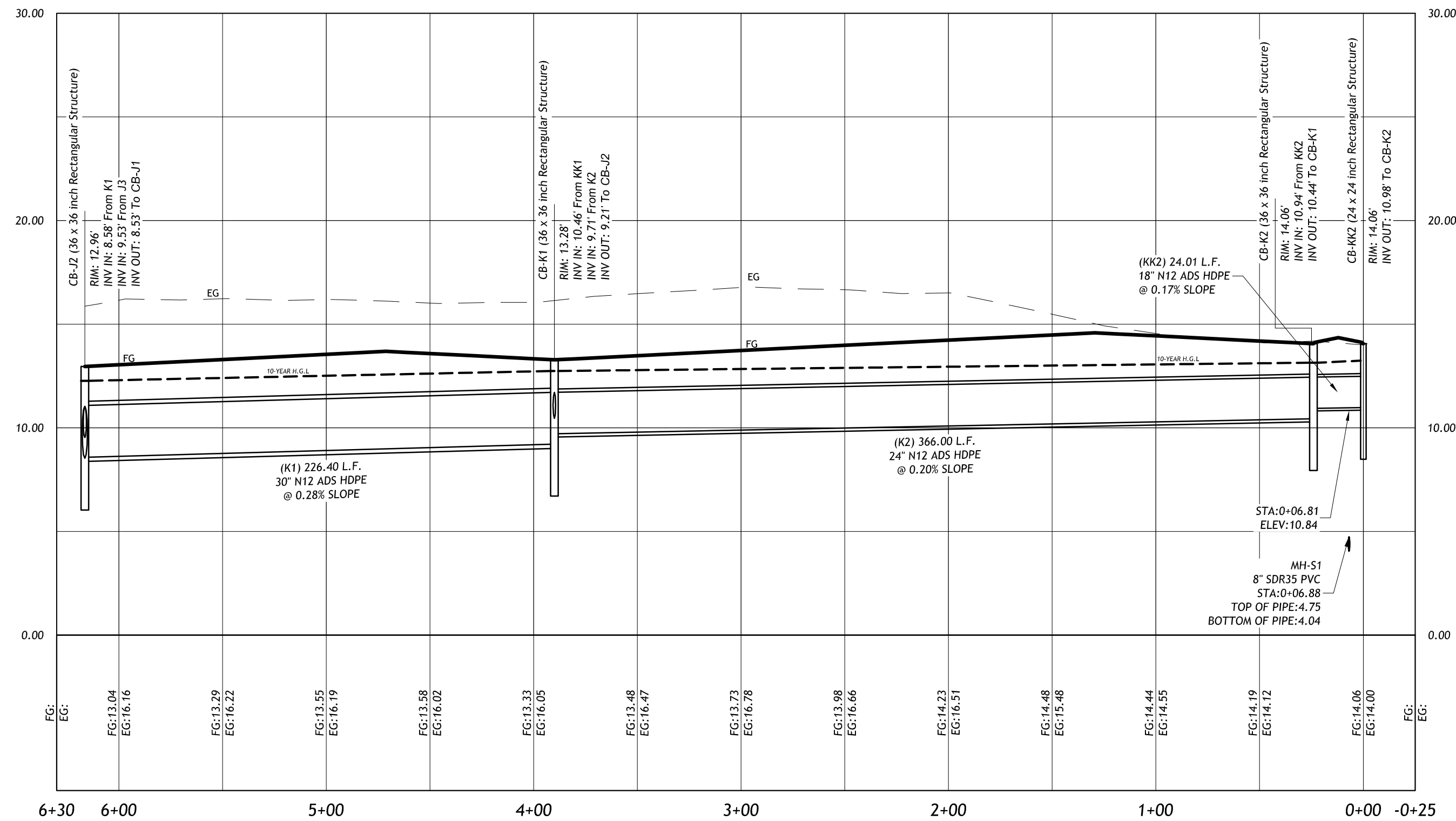
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1	REVISED PER AGENCY COMMENTS
2	REVISED PER AGENCY COMMENTS
3	REVISED PER AGENCY COMMENTS
4	REVISED PER AGENCY COMMENTS
5	REVISED PER AGENCY COMMENTS

**STORMWATER PROFILES**  
CZ #1859 - COUNTY AGREEMENT #1099  
**WINDSWEPT @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

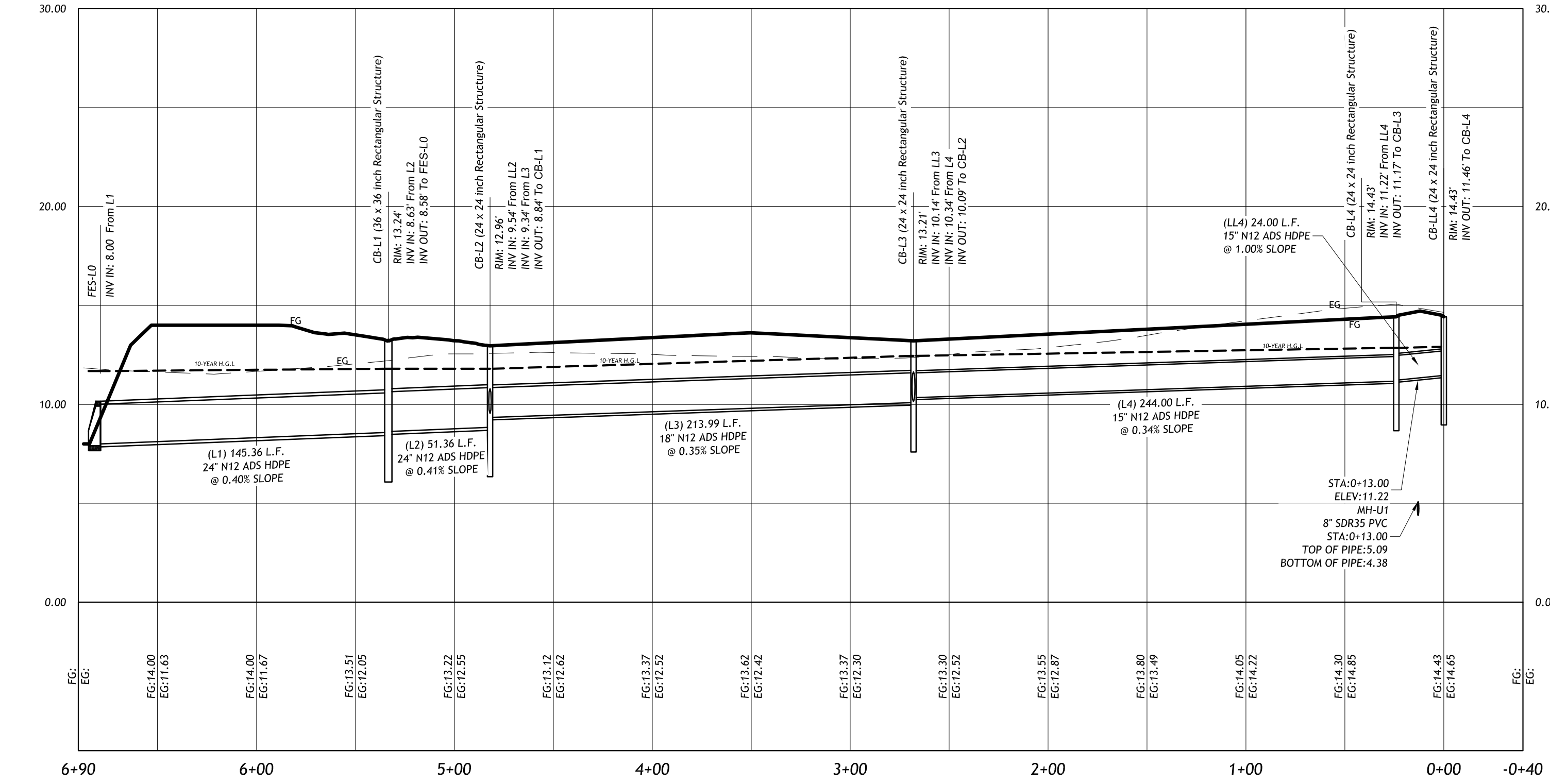
**AXIOM**  
ENGINEERING L.L.C.  
18 CHESTNUT STREET  
DELSWATER, DE 19847  
(302) 855-0812  
FAX: 855-0812  
WWW.AXIOMENGS.COM

ENGINEER: MKC  
DESIGNER: MKC  
DRAFTER: EW  
CHECKED BY: MKC  
DATE: 4/1/2019  
TAX MAP: 234-12-003.00 & 6.00  
SCALE: 24" x 36" 1 inch = 50 ft.  
1 1/2" x 17" 1 inch = 100 ft.

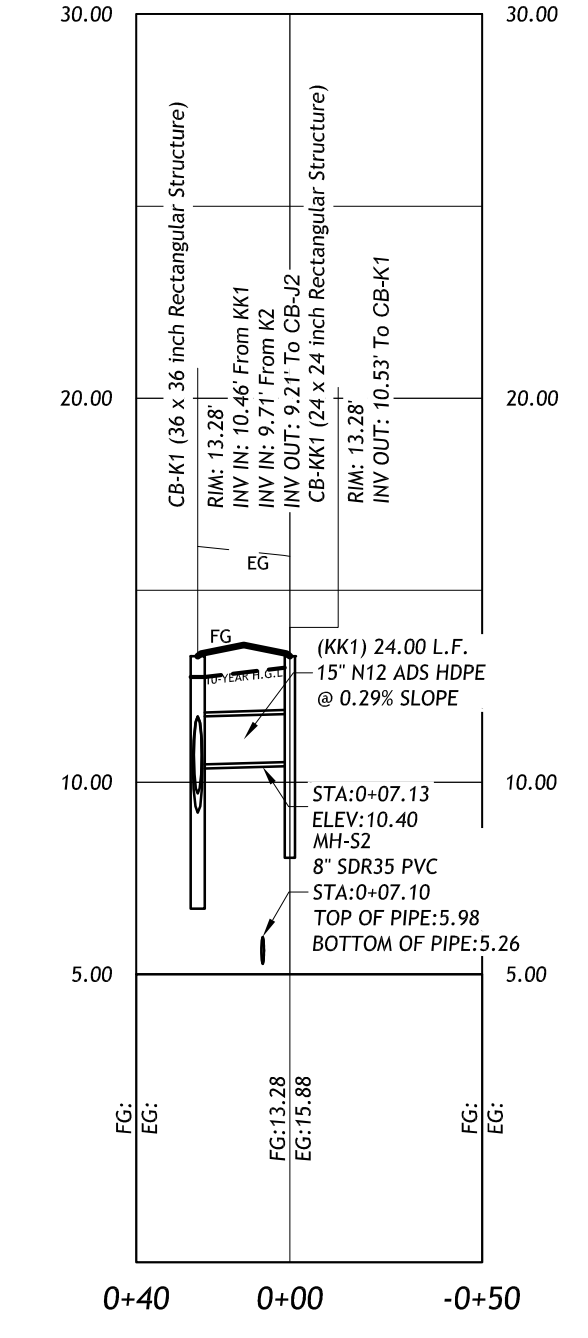
PROJECT NO: 0233-1702  
DRAWING: C-31  
SHEET: 31 OF 36



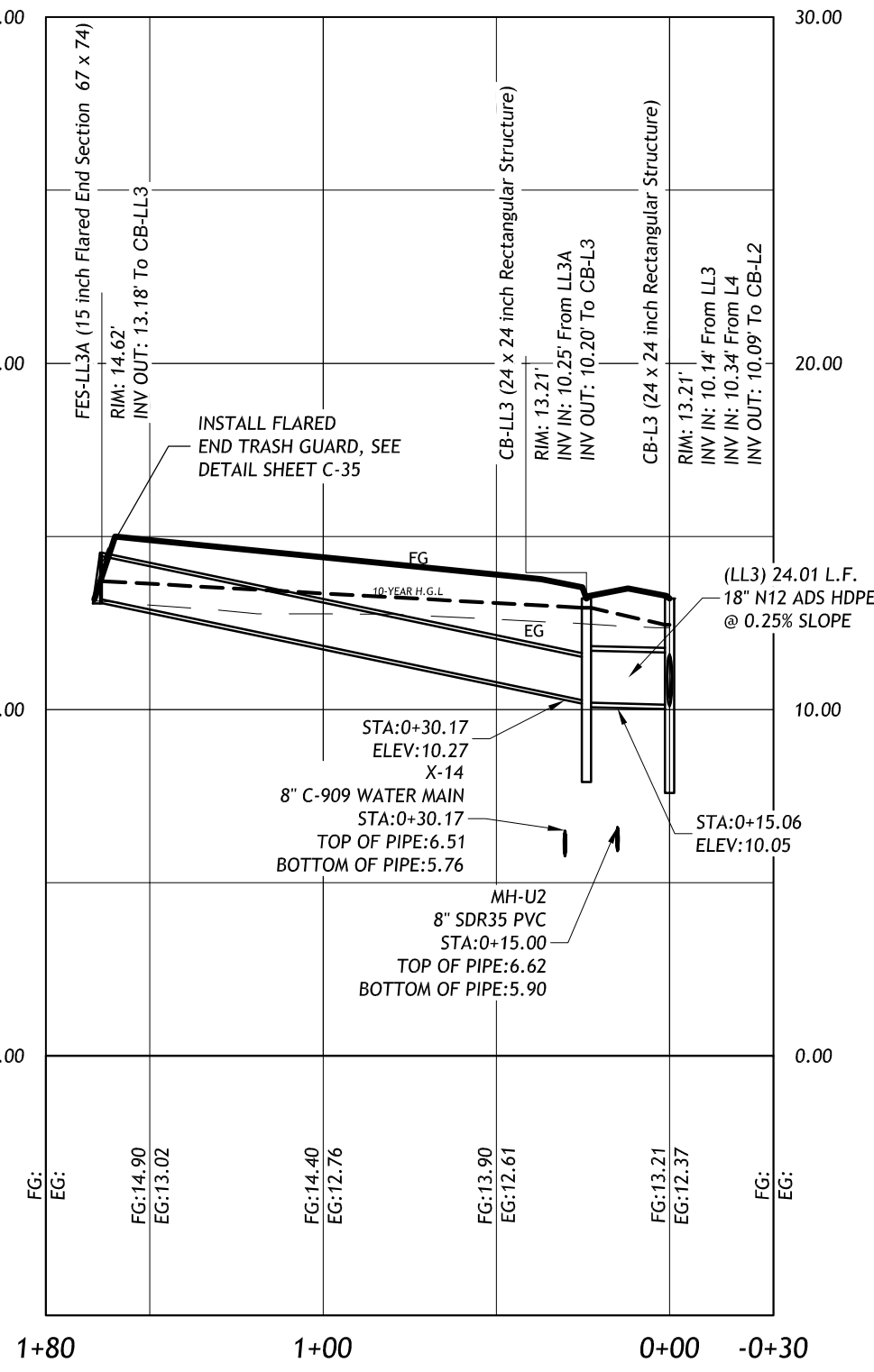
(PHASE 4-B)  
**CB-KK2 TO CB-J2**  
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 VERTICAL SCALE 1"=5.00



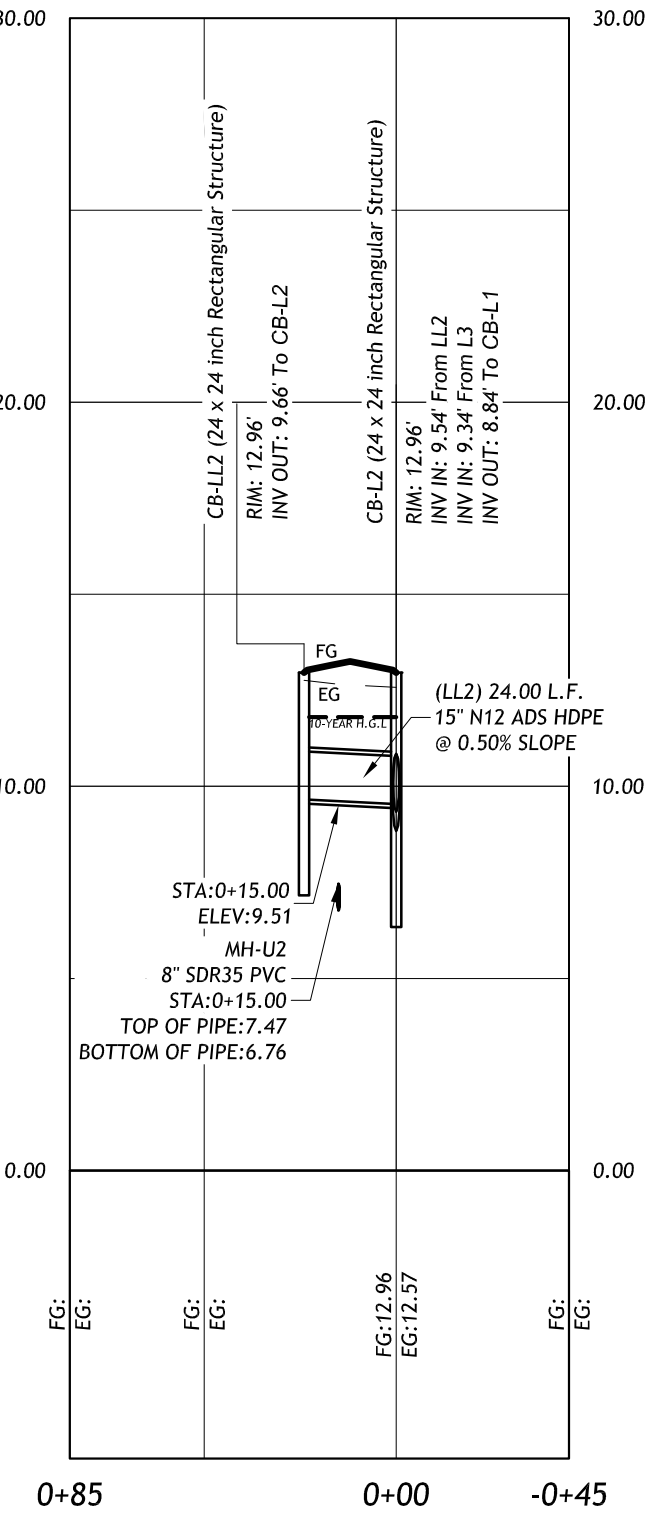
(PHASE 1-B)  
**CB-LL4 TO FES-L0**  
 HORIZONTAL SCALE 1"=50  
 VERTICAL SCALE 1"=5.00



(PHASE 4-B)  
**CB-KK1 TO CB-K1**  
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 VERTICAL SCALE 1"=5.00

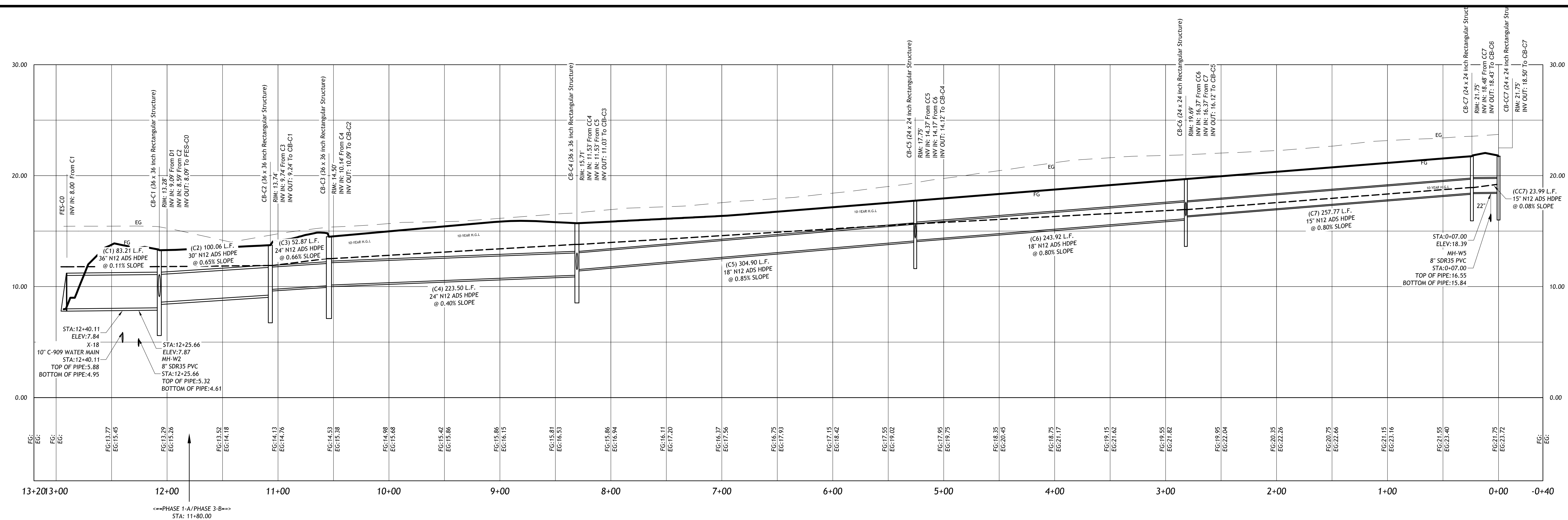


(PHASE 1-B)  
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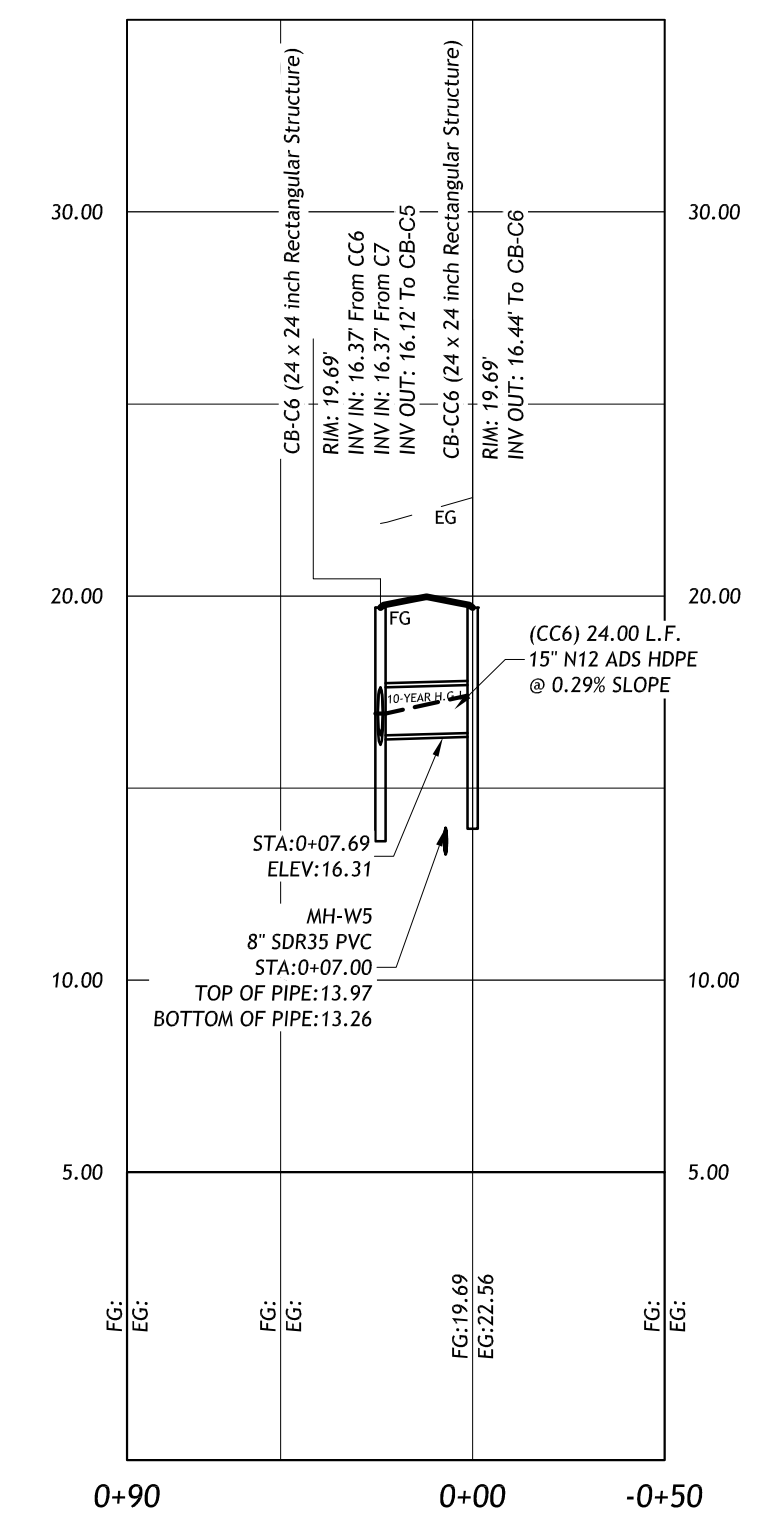


(PHASE 1-B)  
**CB-LL2 TO CB-L2**  
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 VERTICAL SCALE 1"=5.00

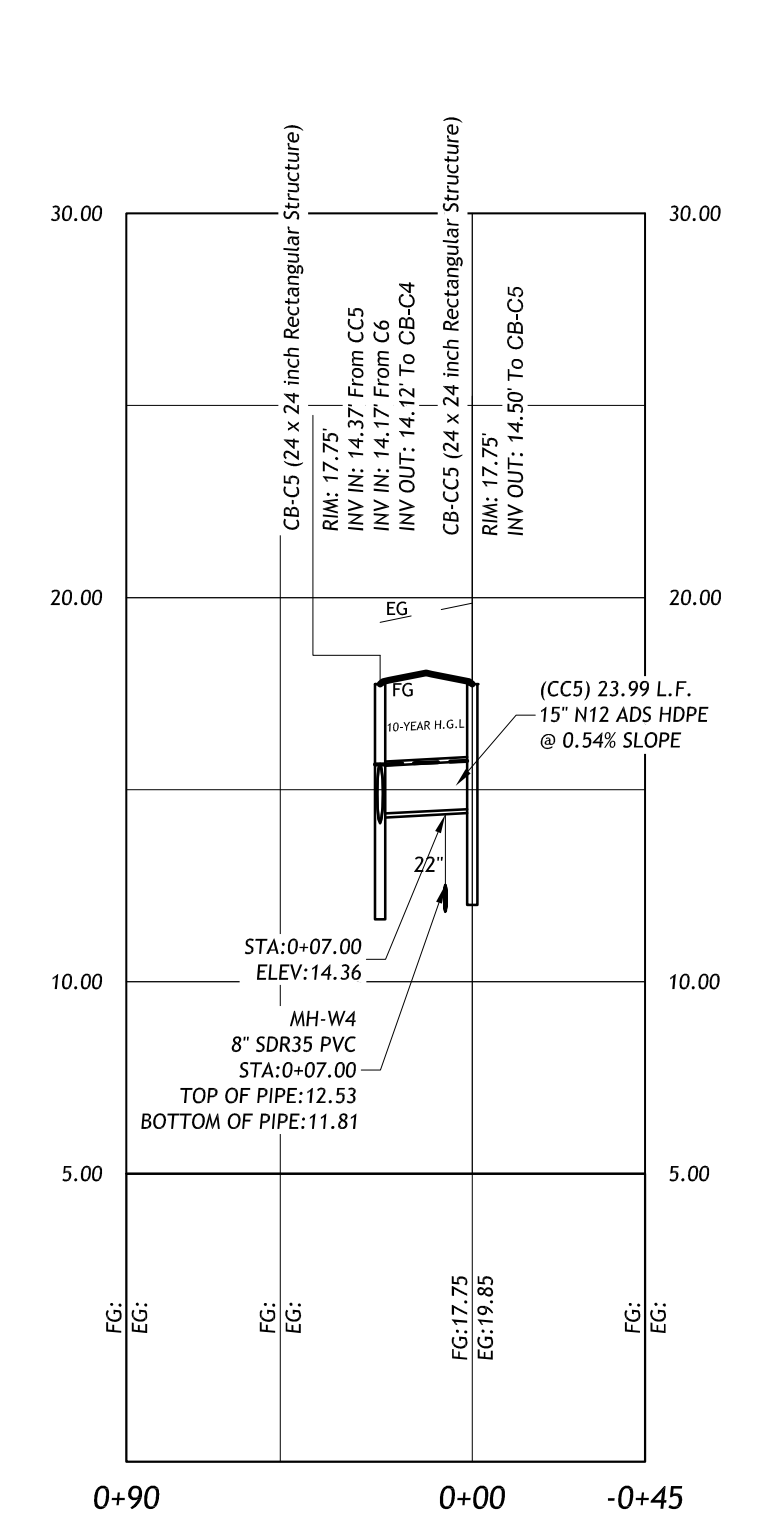
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DRAWING: <b>C-32</b>	DRAFTER: EW	CHECKED BY: MKC	TAX MAP: 234-12,003,00 & 6,00
SHEET: <b>32 OF 36</b>			
<p><b>STORMWATER PROFILES</b>          CZ #1859 - COUNTY AGREEMENT #1099  <b>WINDSWEPT @ LEWES R.P.C.</b>          S.C.R. 278 - ANGOLA BEACH ROAD          INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE</p>			
<p>REVISIONS PER AGENCY COMMENTS          REV 1: 02/17/2019, 04/27/2020          REV 2: 02/17/2019, 04/27/2020          REV 3: 02/17/2019, 04/27/2020          REV 4: 02/17/2019, 04/27/2020          REV 5: 02/17/2019, 04/27/2020          REV 6: 02/17/2019, 04/27/2020          REV 7: 02/17/2019, 04/27/2020          REV 8: 02/17/2019, 04/27/2020          REV 9: 02/17/2019, 04/27/2020          REV 10: 02/17/2019, 04/27/2020          REV 11: 02/17/2019, 04/27/2020          REV 12: 02/17/2019, 04/27/2020          REV 13: 02/17/2019, 04/27/2020          REV 14: 02/17/2019, 04/27/2020          REV 15: 02/17/2019, 04/27/2020          REV 16: 02/17/2019, 04/27/2020          REV 17: 02/17/2019, 04/27/2020          REV 18: 02/17/2019, 04/27/2020          REV 19: 02/17/2019, 04/27/2020          REV 20: 02/17/2019, 04/27/2020          REV 21: 02/17/2019, 04/27/2020          REV 22: 02/17/2019, 04/27/2020          REV 23: 02/17/2019, 04/27/2020          REV 24: 02/17/2019, 04/27/2020          REV 25: 02/17/2019, 04/27/2020          REV 26: 02/17/2019, 04/27/2020          REV 27: 02/17/2019, 04/27/2020          REV 28: 02/17/2019, 04/27/2020          REV 29: 02/17/2019, 04/27/2020          REV 30: 02/17/2019, 04/27/2020          REV 31: 02/17/2019, 04/27/2020          REV 32: 02/17/2019, 04/27/2020          REV 33: 02/17/2019, 04/27/2020          REV 34: 02/17/2019, 04/27/2020          REV 35: 02/17/2019, 04/27/2020          REV 36: 02/17/2019, 04/27/2020          REV 37: 02/17/2019, 04/27/2020          REV 38: 02/17/2019, 04/27/2020          REV 39: 02/17/2019, 04/27/2020          REV 40: 02/17/2019, 04/27/2020          REV 41: 02/17/2019, 04/27/2020          REV 42: 02/17/2019, 04/27/2020          REV 43: 02/17/2019, 04/27/2020          REV 44: 02/17/2019, 04/27/2020          REV 45: 02/17/2019, 04/27/2020          REV 46: 02/17/2019, 04/27/2020          REV 47: 02/17/2019, 04/27/2020          REV 48: 02/17/2019, 04/27/2020          REV 49: 02/17/2019, 04/27/2020          REV 50: 02/17/2019, 04/27/2020          REV 51: 02/17/2019, 04/27/2020          REV 52: 02/17/2019, 04/27/2020          REV 53: 02/17/2019, 04/27/2020          REV 54: 02/17/2019, 04/27/2020          REV 55: 02/17/2019, 04/27/2020          REV 56: 02/17/2019, 04/27/2020          REV 57: 02/17/2019, 04/27/2020          REV 58: 02/17/2019, 04/27/2020          REV 59: 02/17/2019, 04/27/2020          REV 60: 02/17/2019, 04/27/2020          REV 61: 02/17/2019, 04/27/2020          REV 62: 02/17/2019, 04/27/2020          REV 63: 02/17/2019, 04/27/2020          REV 64: 02/17/2019, 04/27/2020          REV 65: 02/17/2019, 04/27/2020          REV 66: 02/17/2019, 04/27/2020          REV 67: 02/17/2019, 04/27/2020          REV 68: 02/17/2019, 04/27/2020          REV 69: 02/17/2019, 04/27/2020          REV 70: 02/17/2019, 04/27/2020          REV 71: 02/17/2019, 04/27/2020          REV 72: 02/17/2019, 04/27/2020          REV 73: 02/17/2019, 04/27/2020          REV 74: 02/17/2019, 04/27/2020          REV 75: 02/17/2019, 04/27/2020          REV 76: 02/17/2019, 04/27/2020          REV 77: 02/17/2019, 04/27/2020          REV 78: 02/17/2019, 04/27/2020          REV 79: 02/17/2019, 04/27/2020          REV 80: 02/17/2019, 04/27/2020          REV 81: 02/17/2019, 04/27/2020          REV 82: 02/17/2019, 04/27/2020          REV 83: 02/17/2019, 04/27/2020          REV 84: 02/17/2019, 04/27/2020          REV 85: 02/17/2019, 04/27/2020          REV 86: 02/17/2019, 04/27/2020          REV 87: 02/17/2019, 04/27/2020          REV 88: 02/17/2019, 04/27/2020          REV 89: 02/17/2019, 04/27/2020          REV 90: 02/17/2019, 04/27/2020          REV 91: 02/17/2019, 04/27/2020          REV 92: 02/17/2019, 04/27/2020          REV 93: 02/17/2019, 04/27/2020          REV 94: 02/17/2019, 04/27/2020          REV 95: 02/17/2019, 04/27/2020          REV 96: 02/17/2019, 04/27/2020          REV 97: 02/17/2019, 04/27/2020          REV 98: 02/17/2019, 04/27/2020          REV 99: 02/17/2019, 04/27/2020          REV 100: 02/17/2019, 04/27/2020</p>			



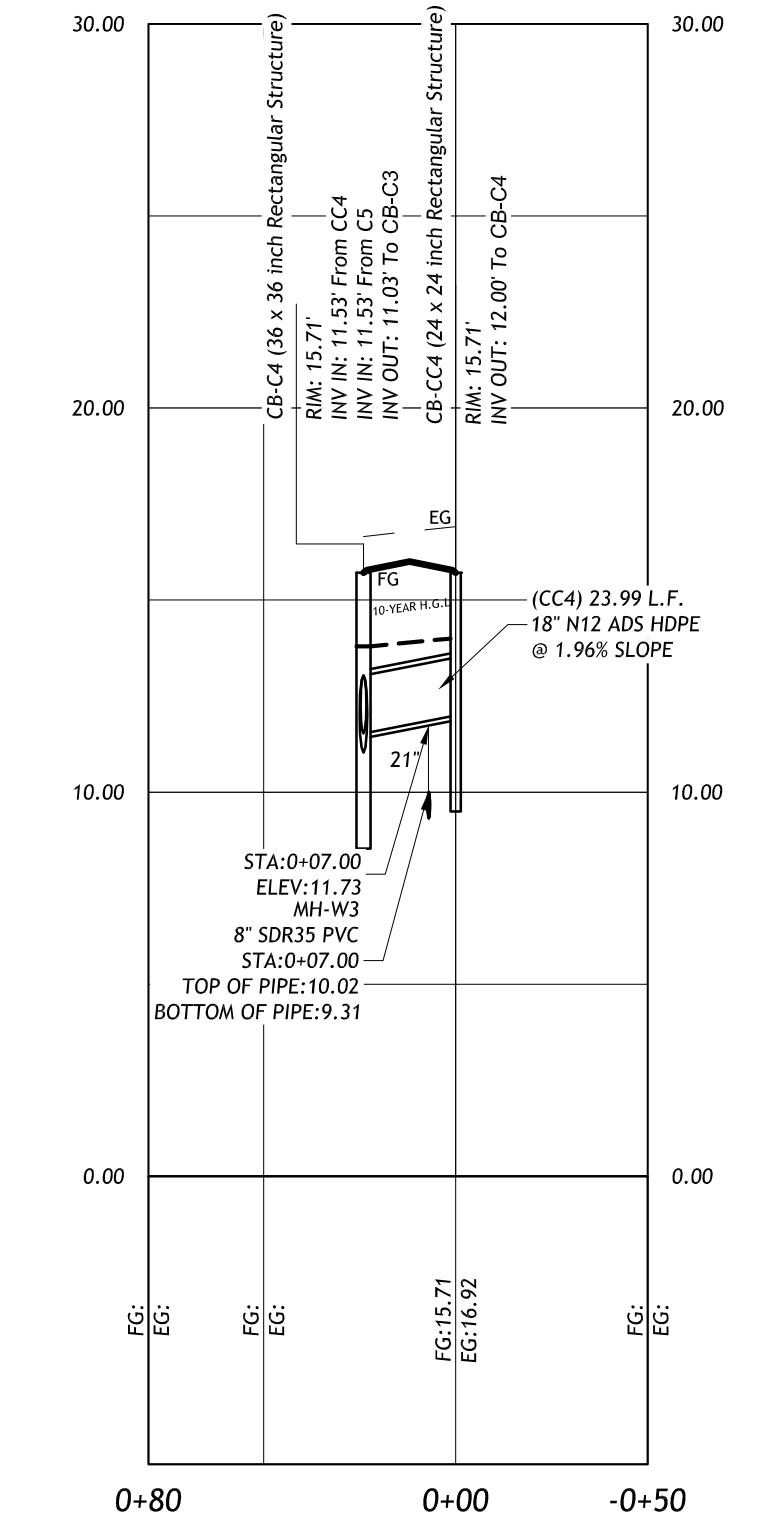
CB-CC7 TO FES-CO  
 HORIZONTAL SCALE 1"=50  
 VERTICAL SCALE 1"=5.00



(PHASE 3-B)  
 CB-CC6 TO CB-C6  
 HORIZONTAL SCALE 1"=50  
 VERTICAL SCALE 1"=5.00



(PHASE 3-B)  
 CB-CC5 TO CB-C5  
 HORIZONTAL SCALE 1"=50  
 VERTICAL SCALE 1"=5.00



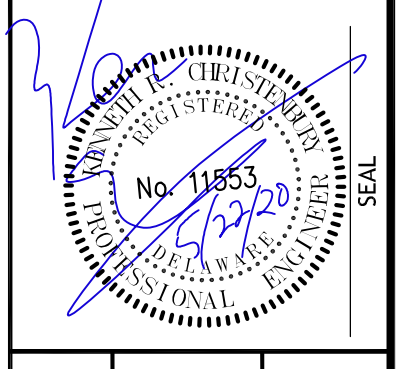
(PHASE 3-B)  
 CB-CC4 TO CB-C4  
 HORIZONTAL SCALE 1"=50  
 VERTICAL SCALE 1"=5.00

REV	DESCRIPTION OF REVISION
1	ISSUED FOR PERMITS
2	REVISED PER AGENCY COMMENTS
3	REVISED PER AGENCY COMMENTS
4	REVISED PER AGENCY COMMENTS
5	REVISED PER AGENCY COMMENTS

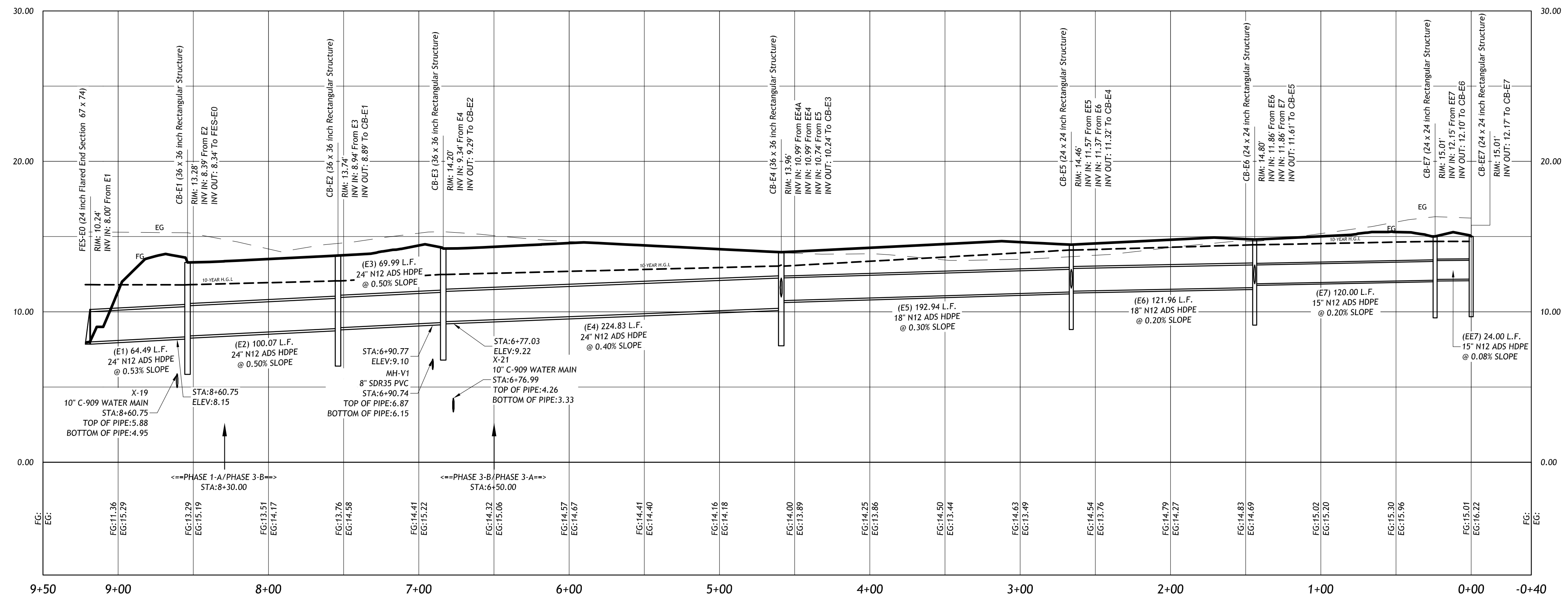
**STORMWATER PROFILES**  
 CZ #1859 - COUNTY AGREEMENT #1099  
**WINDSWEPT @ LEWES R.P.C.**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM ENGINEERING L.L.C.**  
 18 CHESTNUT STREET  
 DELEWARE CITY, DE 19847  
 TEL: 302.855.0812  
 FAX: 302.855.0812  
 WEB: WWW.AXIOMENGS.COM

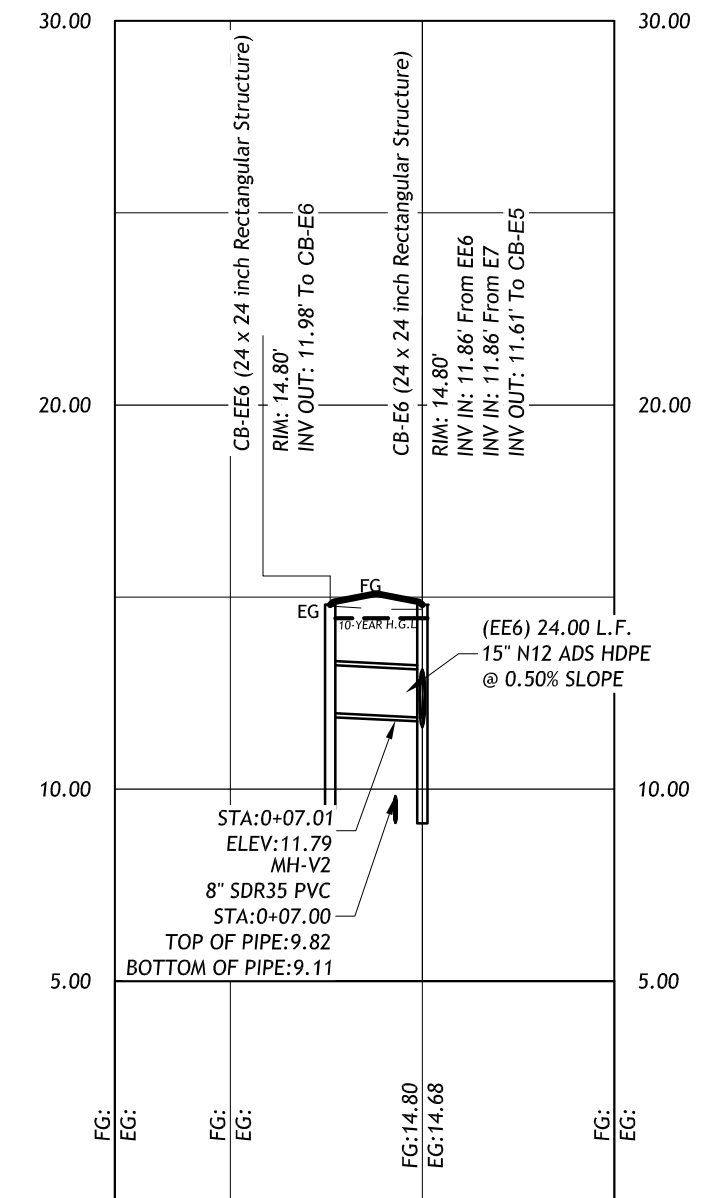
ENGINEER:	MKC
DESIGNER:	MKC
DRAFTER:	EW
CHECKED BY:	MKC
DATE:	4/1/2019
TAX MAP:	234-12-003.00 & 00



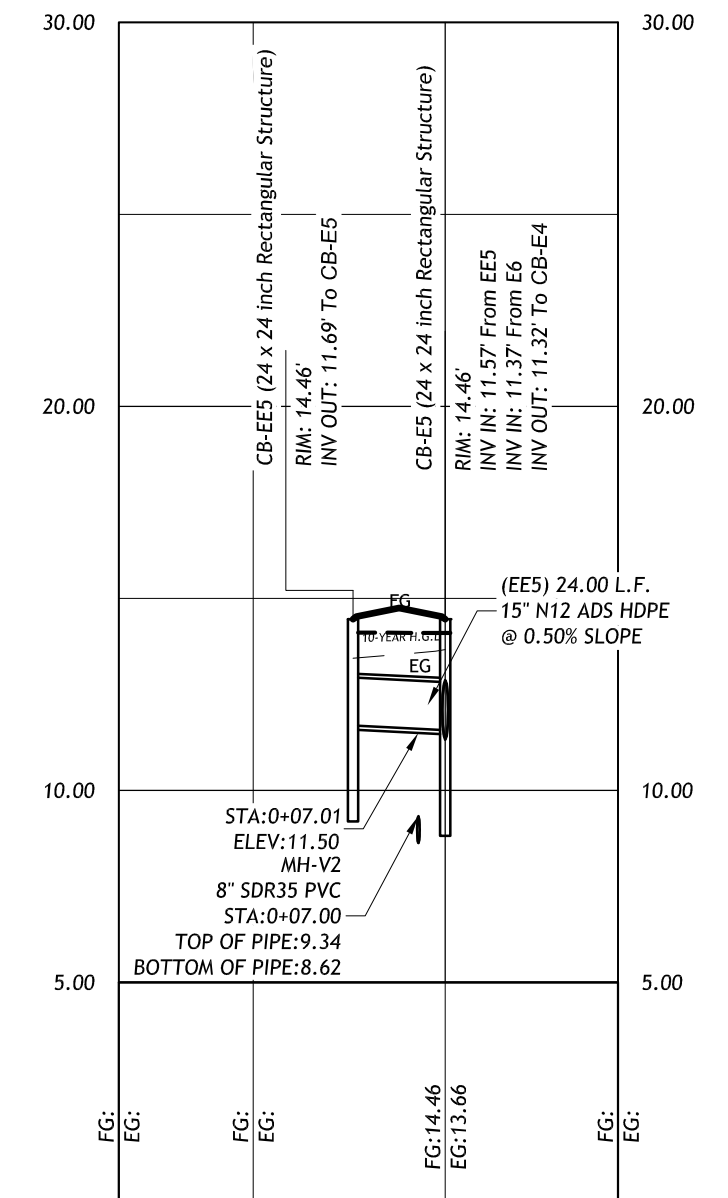
PROJECT NO: 0233-1702  
 DRAWING: C-33  
 SHEET: 33 OF 36



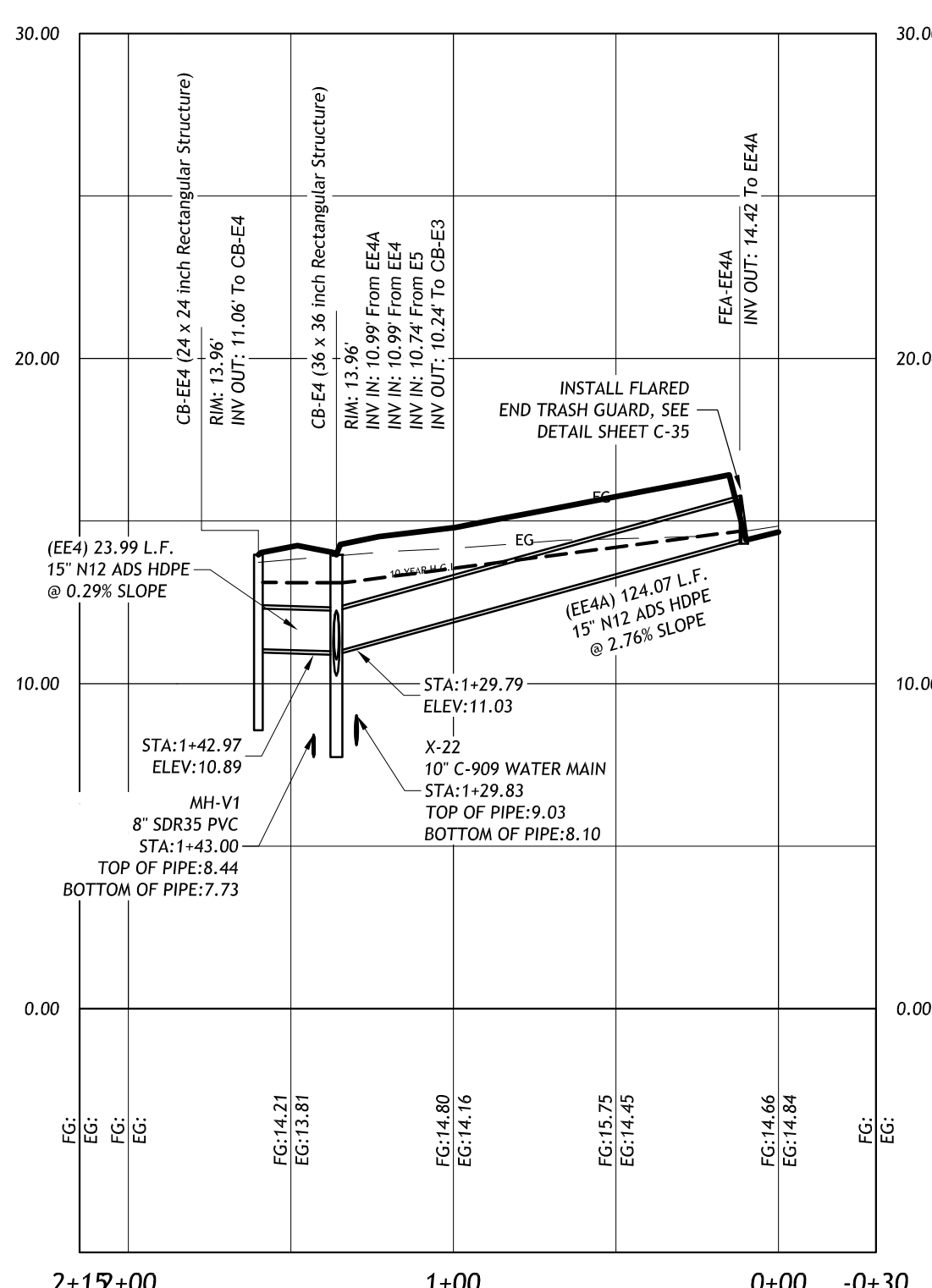
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VERTICAL SCALE 1"=5.00



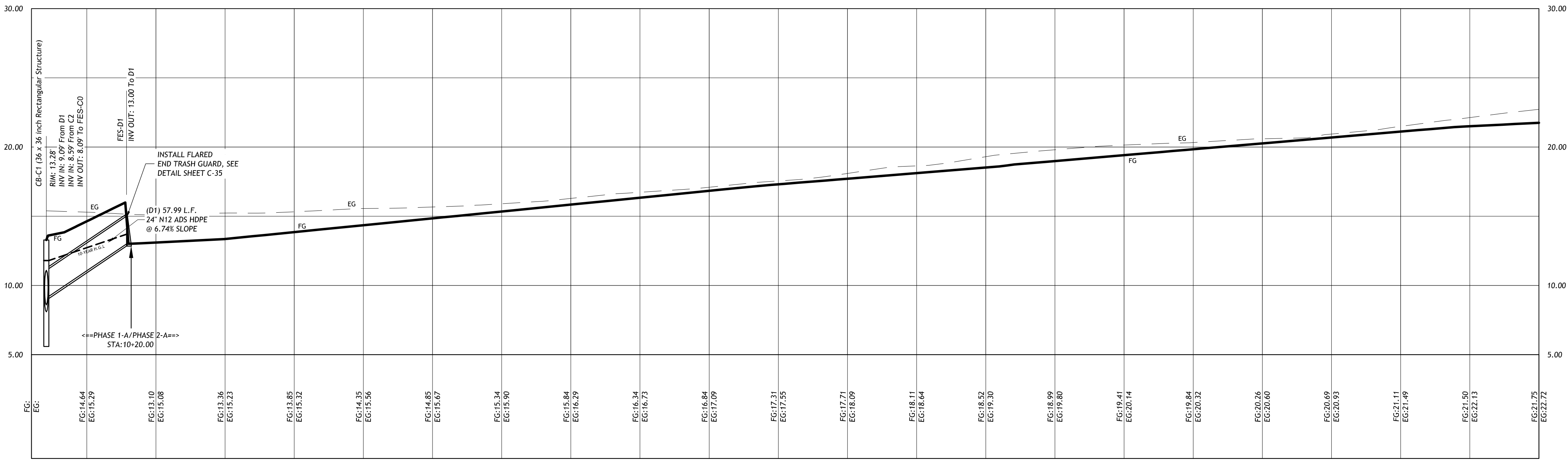
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CB-EE6 TO CB-E6  
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VERTICAL SCALE 1"=5.00



(PHASE 3-A)  
CB-EE5 TO CB-E5  
HORIZONTAL SCALE 1"=50  
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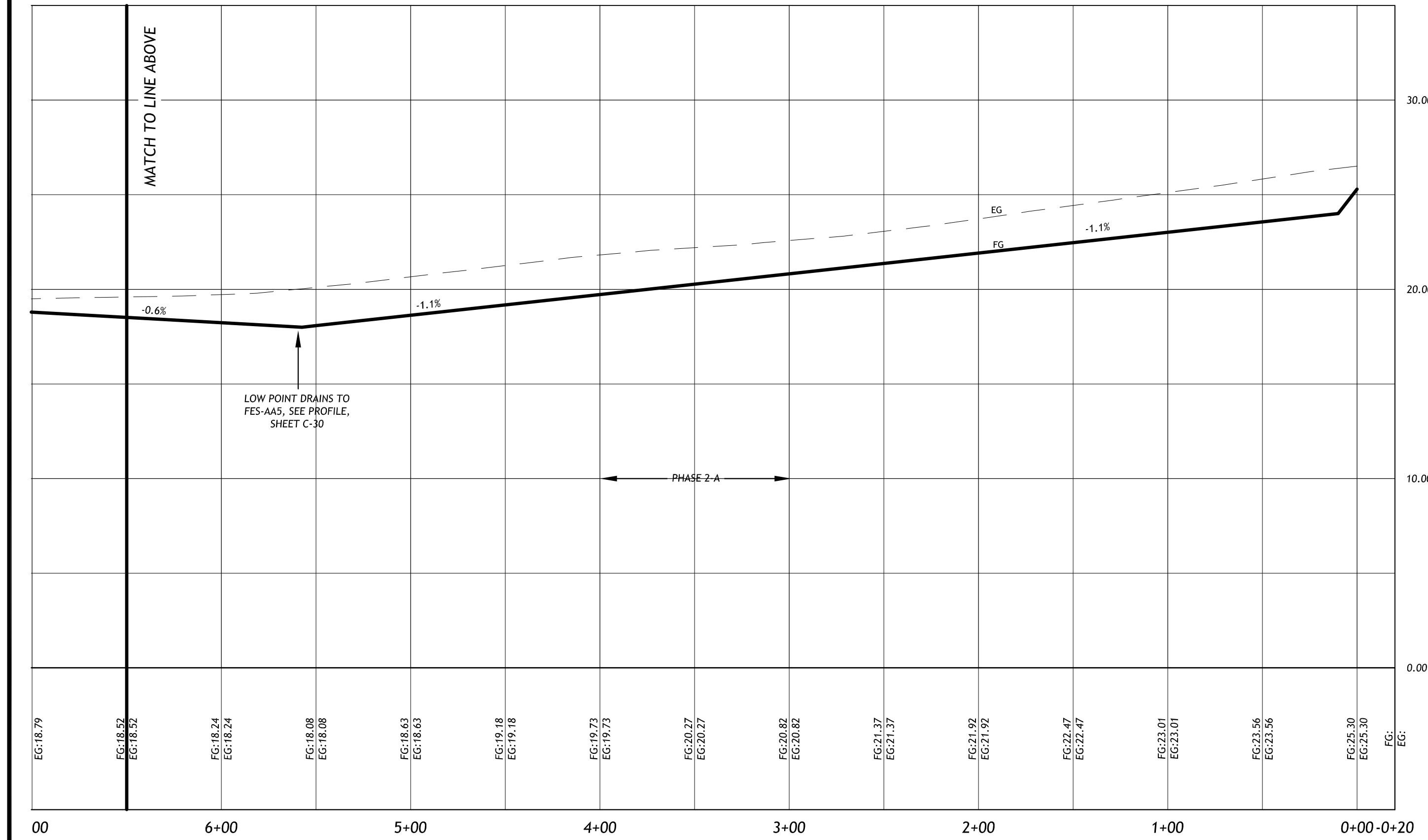
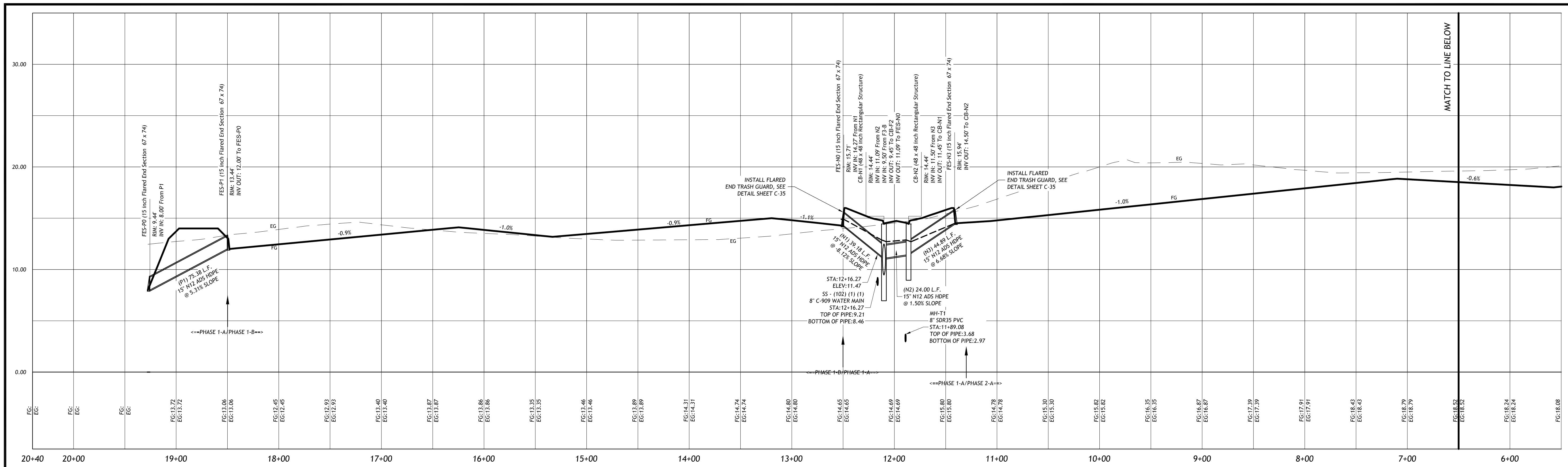


(PHASE 3-A)  
FES-EE4 TO CB-EE4  
HORIZONTAL SCALE 1"=50  
VERTICAL SCALE 1"=5.00



PHASE 2 SWALE  
HORIZONTAL SCALE 1"=50  
VERTICAL SCALE 1"=5.00

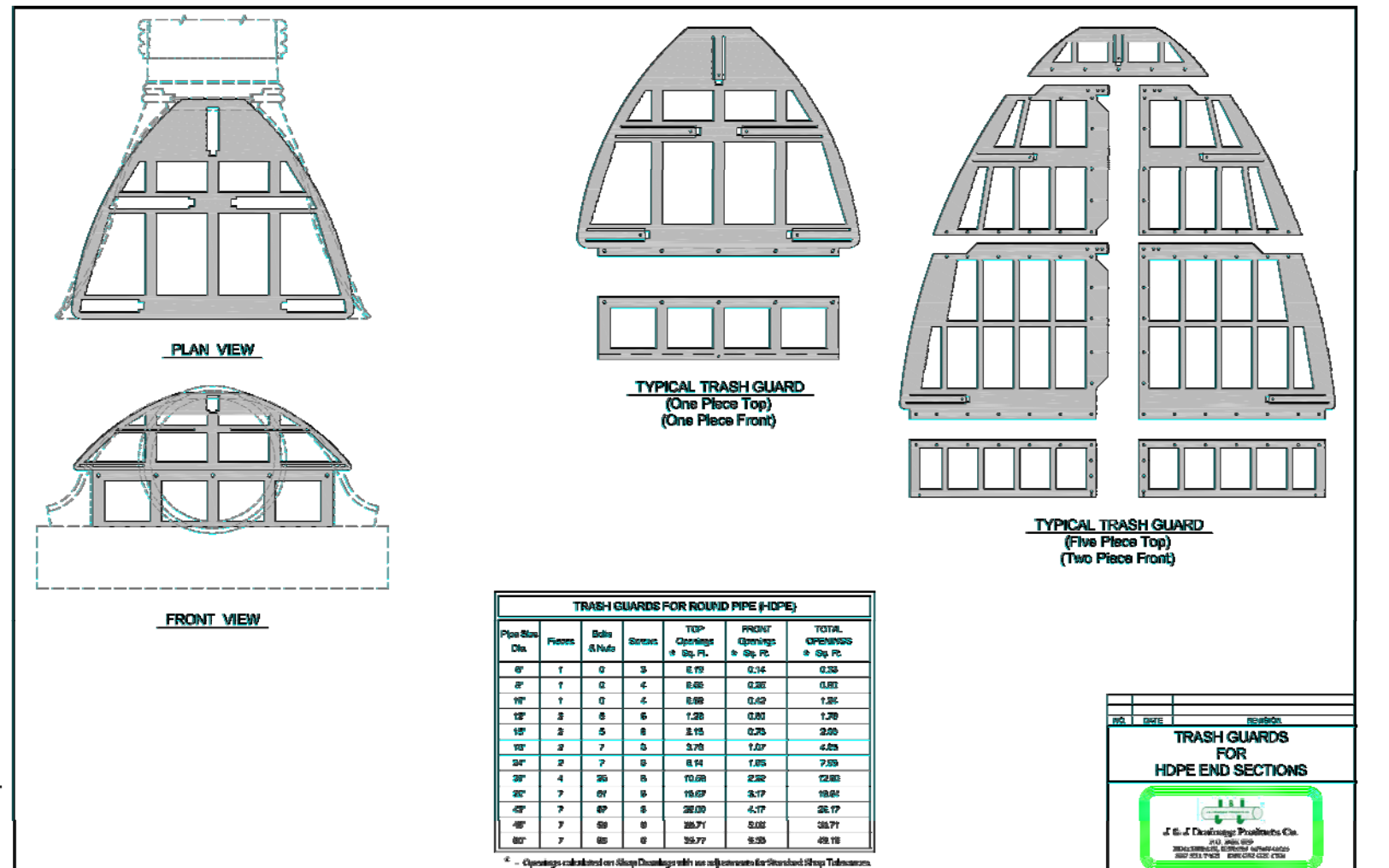
<b>AXIOM ENGINEERING L.L.C.</b> 18 CHESTNUT STREET PHILADELPHIA, PA 19106 (215) 561-1200 FAX: 855-081-1200 WEBSITE: WWW.AXIOMENGG.COM																																																																																																																																																										
PROJECT NO: <b>0233-1702</b>	DRAWING: <b>C-34</b>																																																																																																																																																									
SHEET: <b>34 OF 36</b>	REVISIONS: <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>02/12/2020</td> <td>ISSUE FOR PERMITS</td> </tr> <tr> <td>2</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>3</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>4</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>5</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>6</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>7</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>8</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>9</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>10</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>11</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>12</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>13</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>14</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>15</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>16</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>17</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>18</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>19</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>20</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>21</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>22</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>23</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>24</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>25</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>26</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>27</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>28</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>29</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>30</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>31</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>32</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>33</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>34</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>35</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>36</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>37</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>38</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>39</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>40</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>41</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>42</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>43</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>44</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>45</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>46</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>47</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>48</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>49</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> <tr> <td>50</td> <td>02/12/2020</td> <td>REVISED PER AGENCY COMMENTS</td> </tr> </tbody> </table>	NO.	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PHASE 1 SWALE  
HORIZONTAL SCALE 1"=50  
VERTICAL SCALE 1"=5.00

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HORIZONTAL SCALE 1"=50  
VERTICAL SCALE 1"=5.00

NOTE:  
SAFETY GRATES TO  
BE INSTALLED ON  
ALL UPSTREAM ADS  
FLARED ENDS



FLARED END SECTIONS

PE THREADED ROD W/WING NUTS AND SPACERS  
SEE NOTE

PART #	PIPE SIZE	A	B (MAX)	H	L	W
1210NP	12 in (300 mm)	6.50 in (165 mm)	10.00 in (254 mm)	6.50 in (165 mm)	25.00 in (635 mm)	29.00 in (737 mm)
1510NP	15 in (375 mm)	6.50 in (165 mm)	10.00 in (254 mm)	6.50 in (165 mm)	25.00 in (635 mm)	29.00 in (737 mm)
1810NP	18 in (450 mm)	7.50 in (191 mm)	15.00 in (381 mm)	6.50 in (165 mm)	32.00 in (813 mm)	35.00 in (889 mm)
2410NP	24 in (600 mm)	7.50 in (191 mm)	18.00 in (457 mm)	6.50 in (165 mm)	36.00 in (914 mm)	45.00 in (1143 mm)
3015NP	30 in (750 mm)	7.50 in (191 mm)	12.00 in (305 mm)	8.60 in (218 mm)	58.00 in (1473 mm)	63.00 in (1600 mm)
3615NP	36 in (900 mm)	7.50 in (191 mm)	25.00 in (635 mm)	8.60 in (218 mm)	58.00 in (1473 mm)	63.00 in (1600 mm)

NOTE: PE THREADED ROD W/WING NUTS PROVIDED FOR END SECTIONS 12"-24". 30" & 36" END SECTIONS REQUIRE TWO (2) THREADED RODS FOR ASSEMBLY.

REVISIONS	
BY	DATE
AWM	07.21.09

NOTE: ALL DIMENSIONS ARE NOMINAL.

**STORMWATER PROFILE**

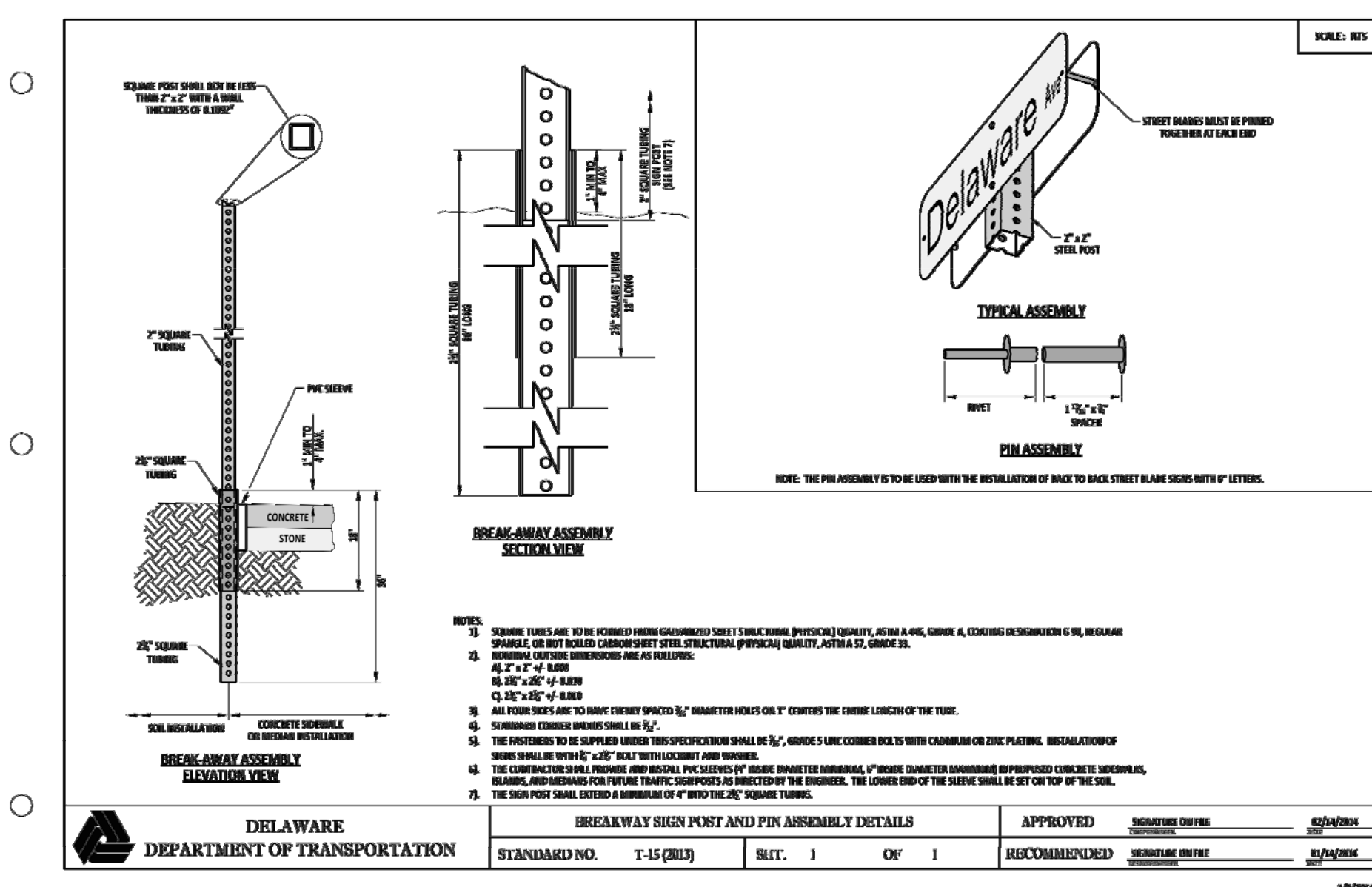
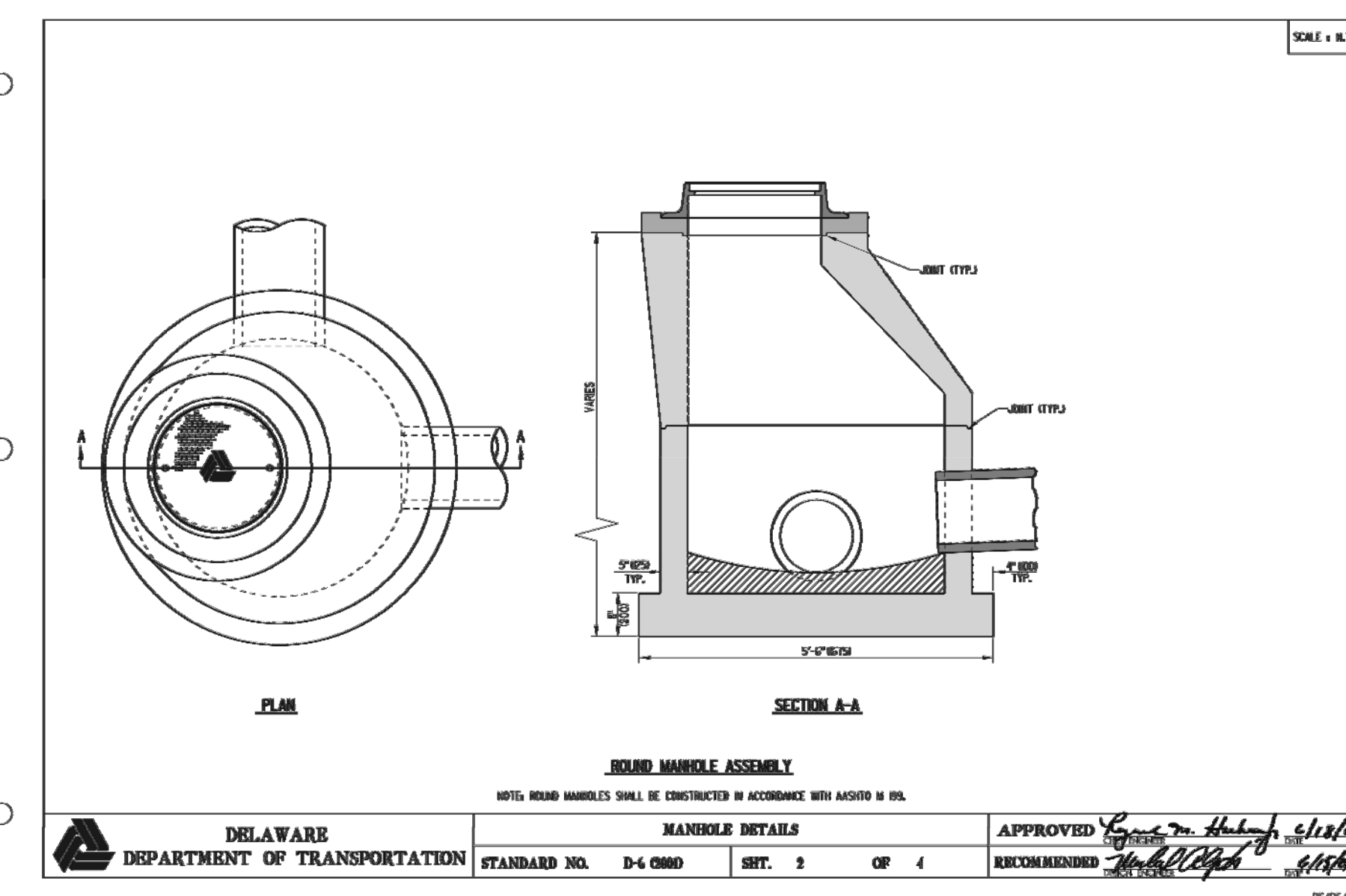
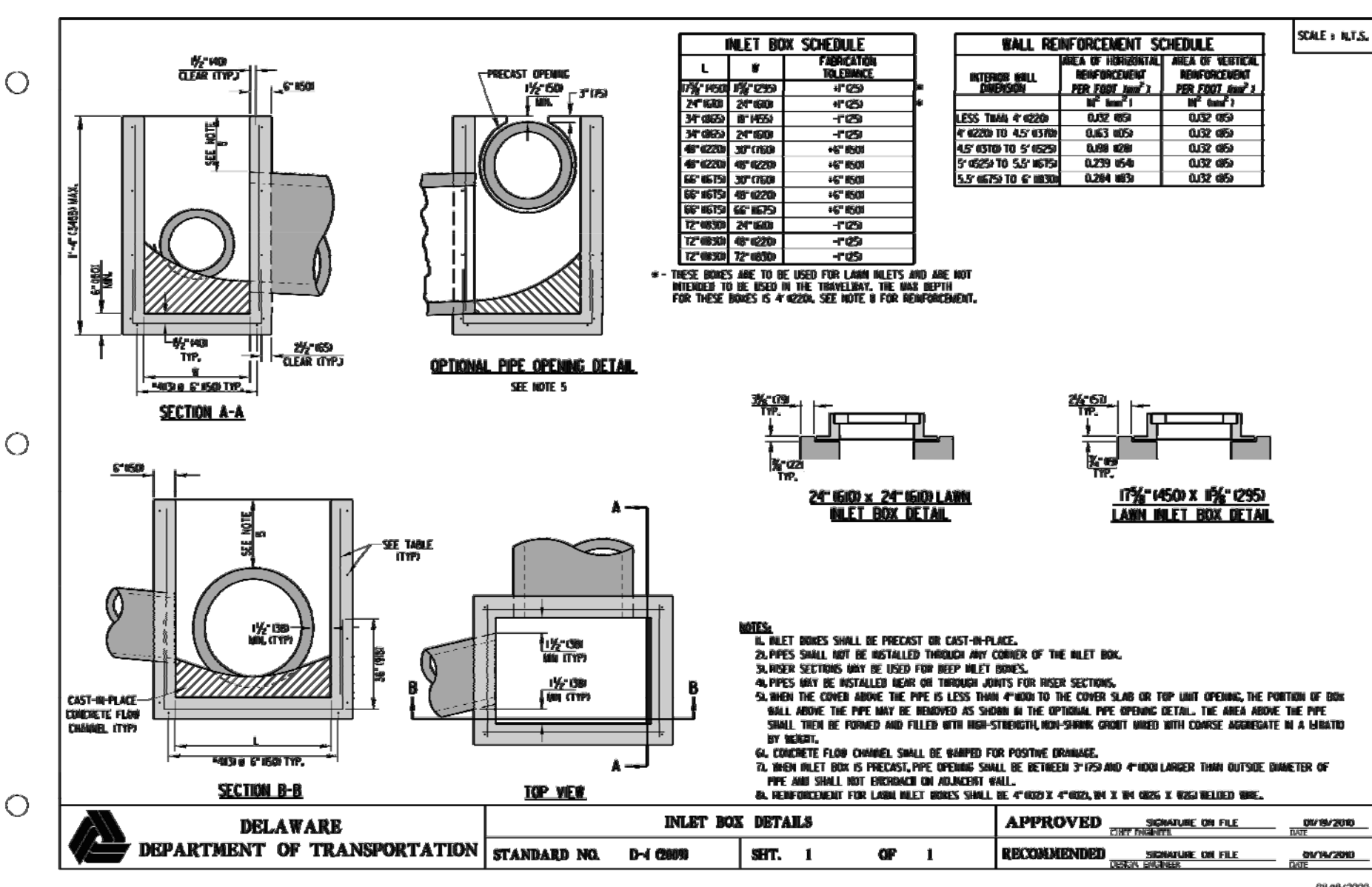
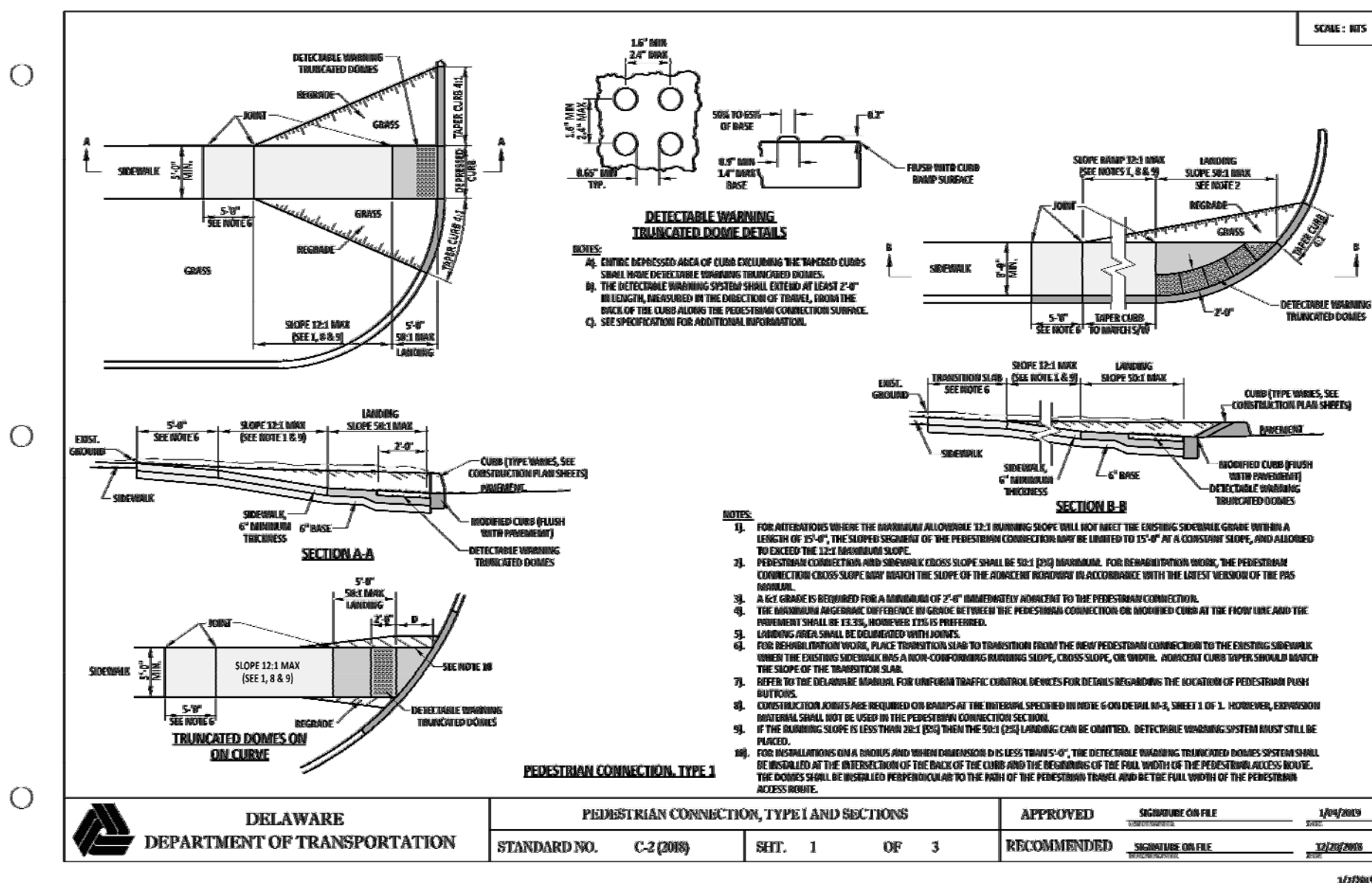
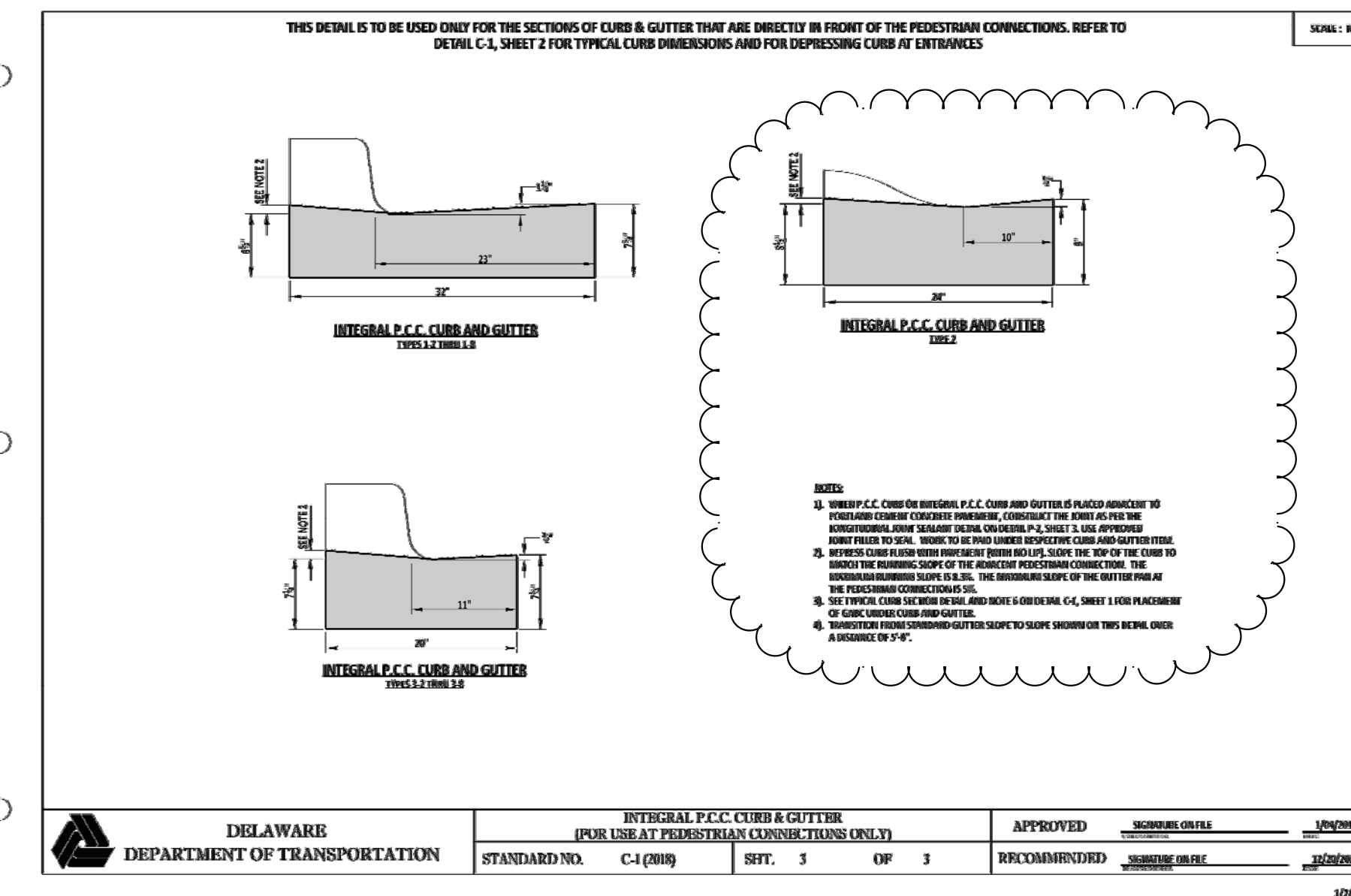
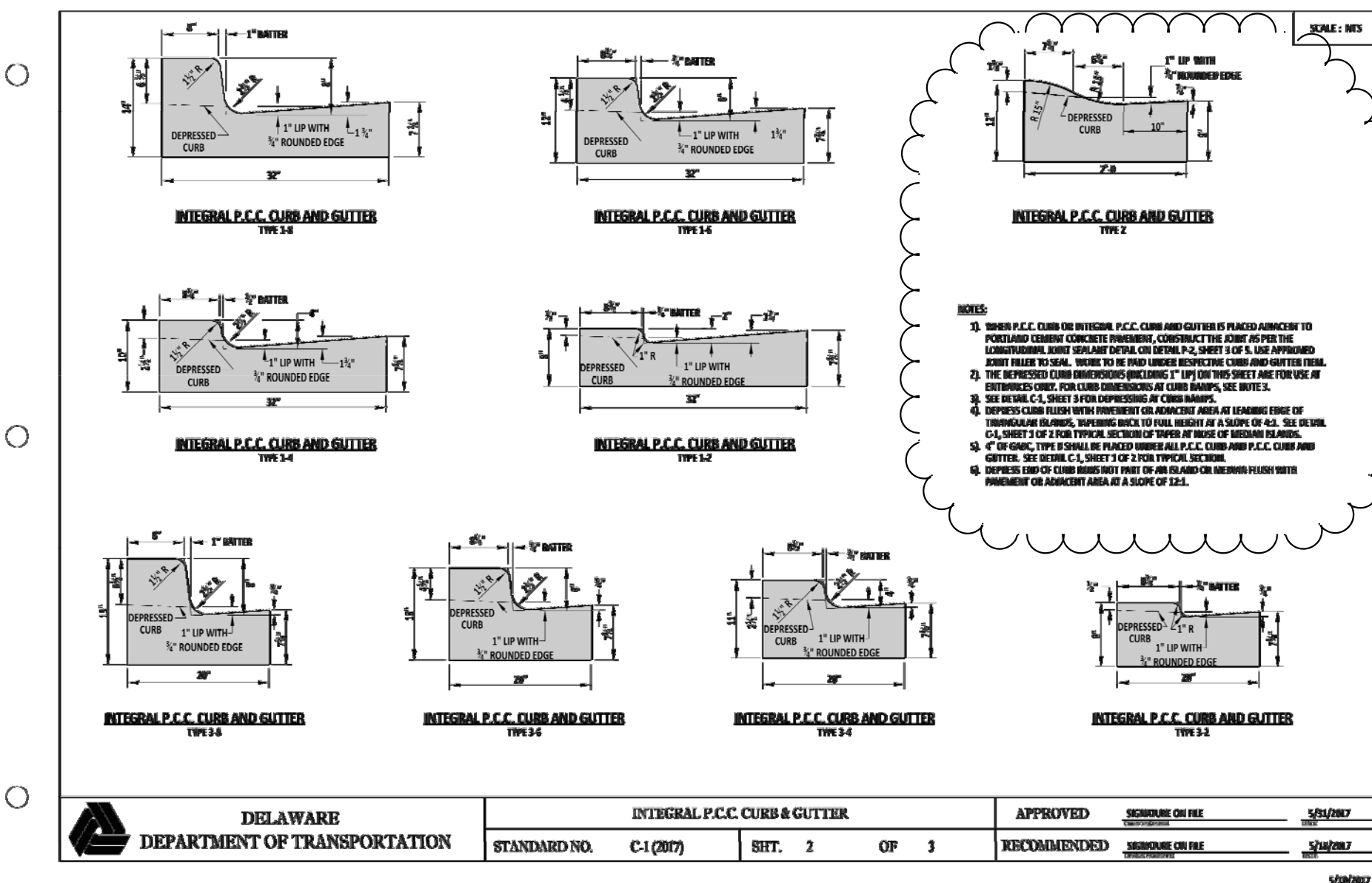
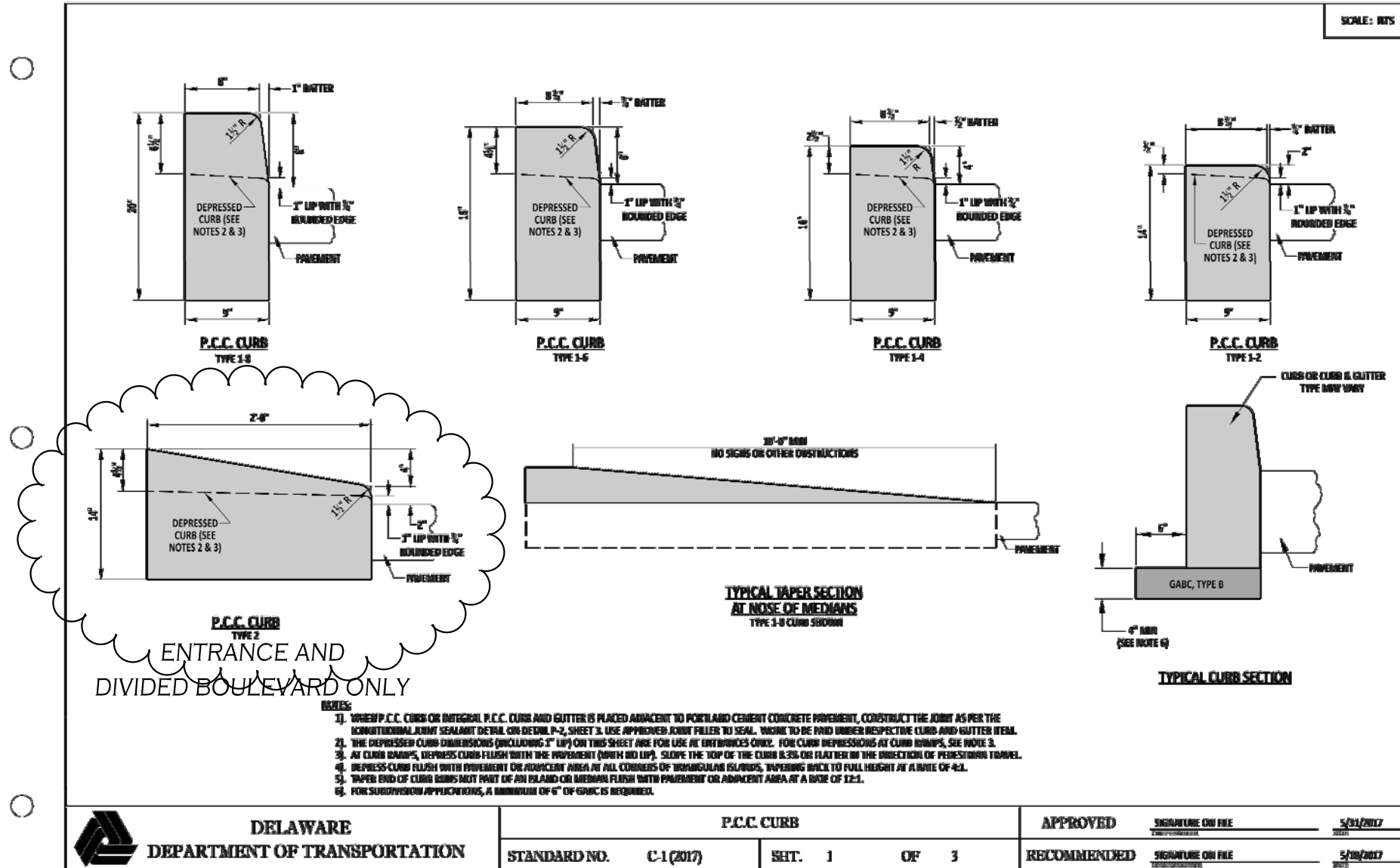
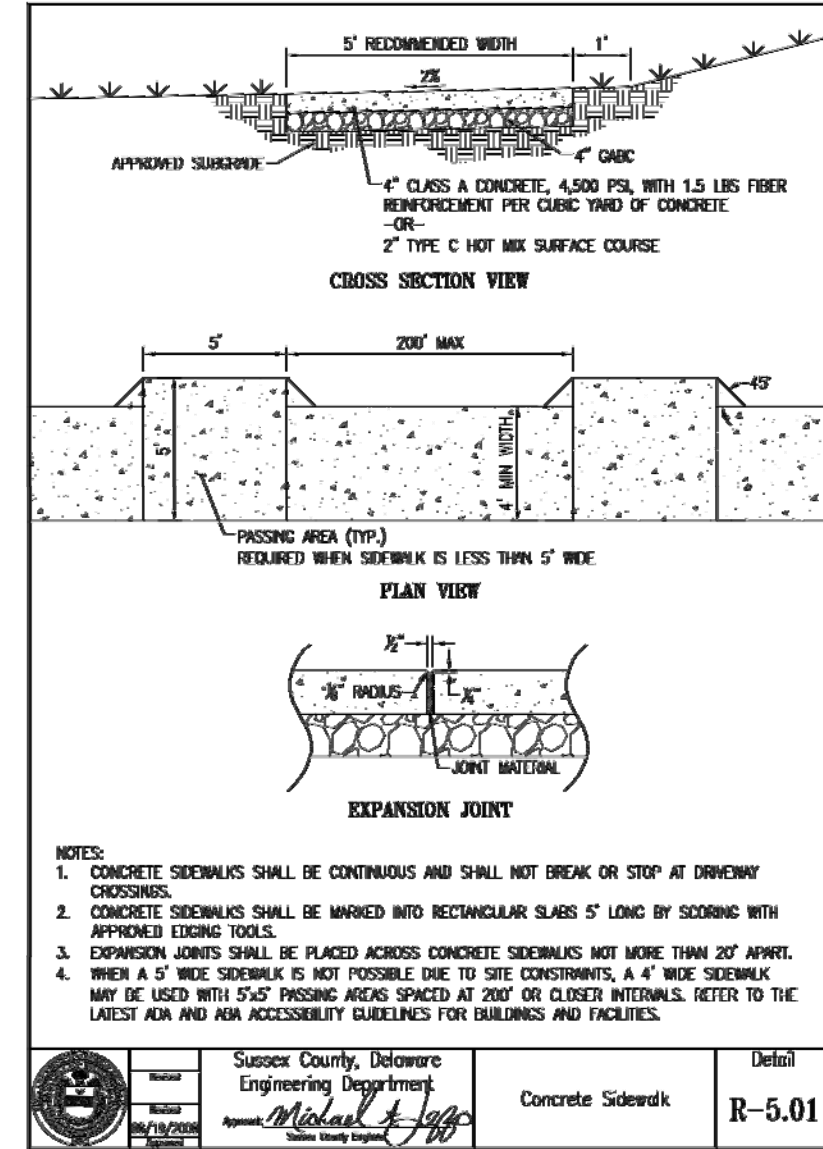
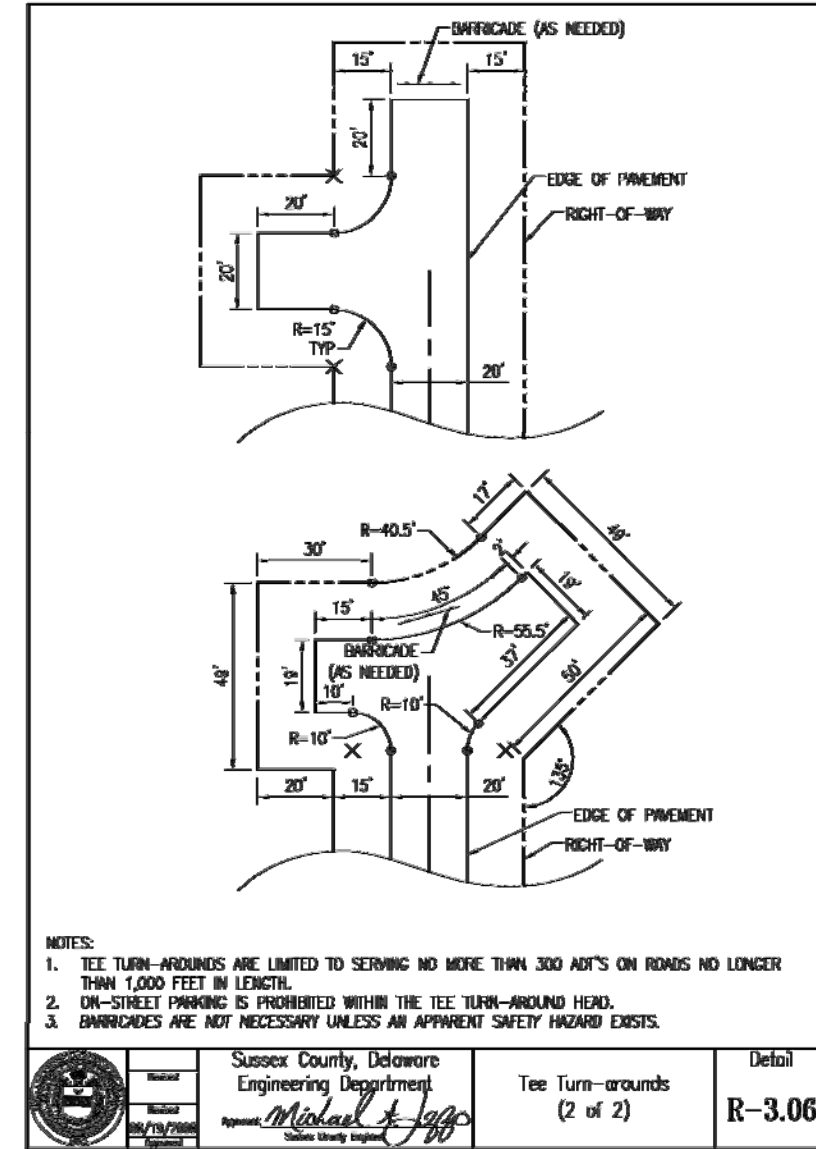
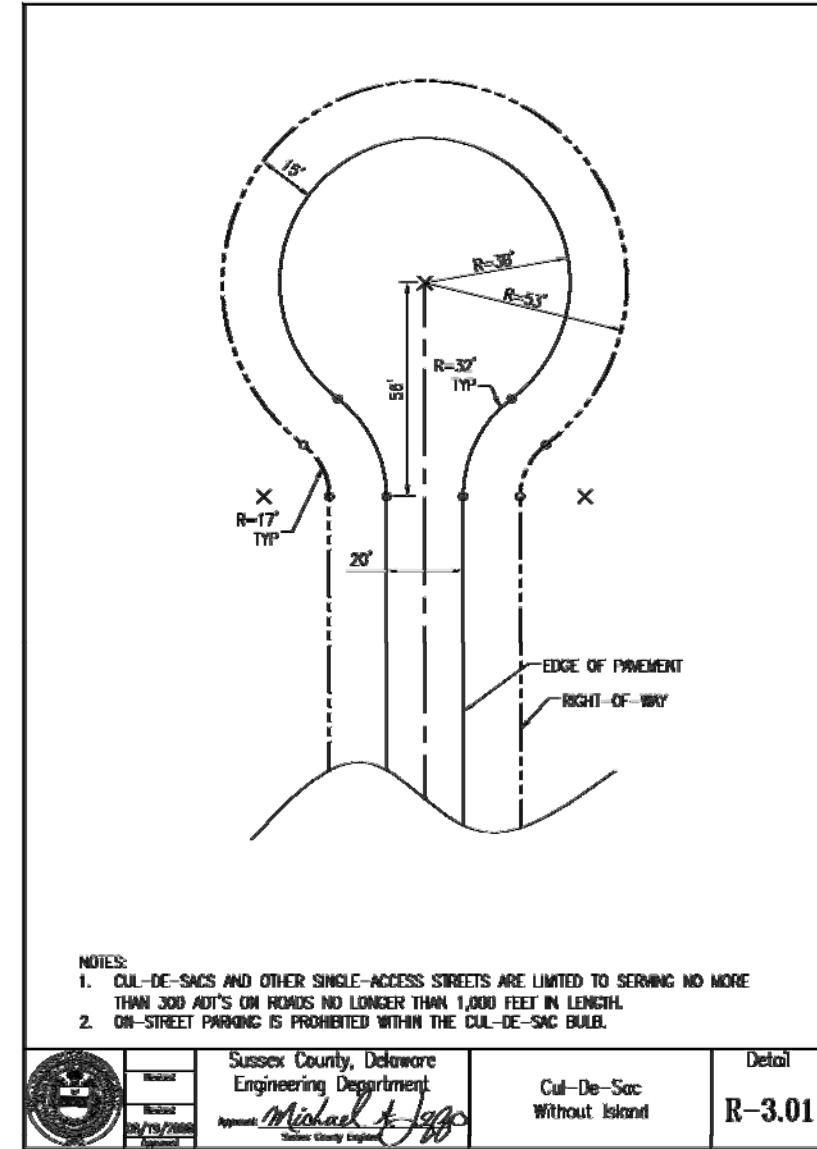
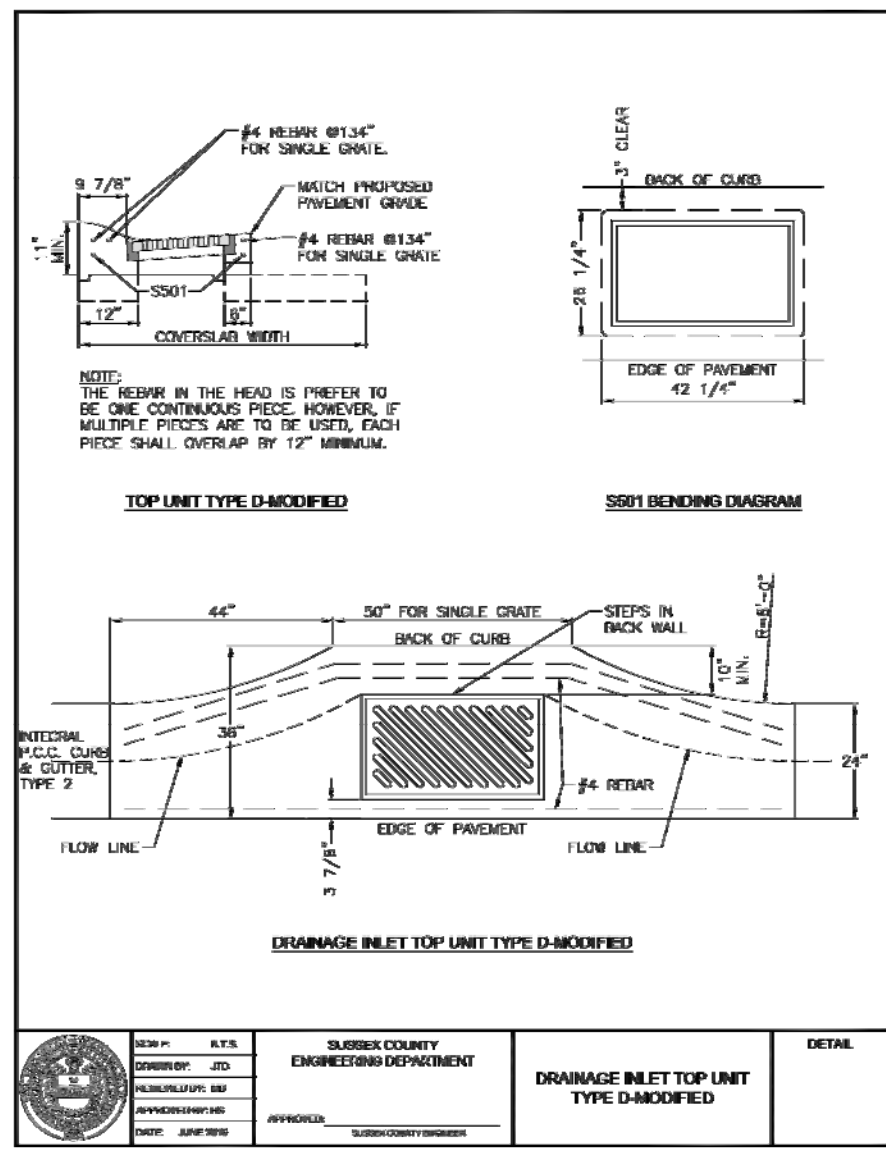
CZ #1859 - COUNTY AGREEMENT #1099  
**WINDSWEPT @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM ENGINEERING L.L.C.**  
18 CHESTNUT STREET  
DOWNTOWN DE 19947  
(302) 855-0810  
FAX: 855-0812  
WWW.AXIOMENGINEERING.COM

ENGINEER: MKC  
DESIGNER: MKC  
DRAFTER: EW  
CHECKED BY: MKC  
DATE: 4/1/2019  
TAX MAP: 234-12,003,00 & 6,00

PROJECT NO: 0233-1702  
DRAWING: C-35  
SHEET: 35 OF 36

SCALE: 24" x 36" 1 inch = 50 ft.  
11" x 17" 1 inch = 100 ft.



**CONSTRUCTION DETAILS**

CZ # 1859 - COUNTY AGREEMENT # 1099

**WINDSWEEP @ LEWES R.P.C.**

S.C.R. 278 - ANGOLA BEACH ROAD

INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM ENGINEERING L.L.C.**

16 CHESTNUT STREET

DELEWARE

19102

TEL: 302.855.0812

FAX: 302.855.0812

WWW.AXIOM-ENG.COM

WEB: WWW.AXIOM-ENG.COM

ENGINEER: KRC

DESIGNER: KRC

DRAWN BY: EWB

CHECKED BY: KRC

DATE: 4/11/2019

TAX MAP: 234-12.003.00 6.00

SCALE: 1" = 1' 1/2"

1" = 2'

11" X 17"

PROJECT NO: 0233-1702

DRAWING: C-36

SHEET: 36 OF 36

REVISIONS:

REV	DESCRIPTION OF REVISION	DATE
1	REVISED PER AGENCY COMMENTS	04/11/2019
2	REVISED PER AGENCY COMMENTS	04/11/2019
3	REVISED PER AGENCY COMMENTS	04/11/2019
4	REVISED PER AGENCY COMMENTS	04/11/2019

THE DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY AND HEALTH ACT OF 1990 AND ALL REGULATIONS AND ORDINANCES THEREOF AND APPROPRIATE.

**SEDIMENT AND STORMWATER CONSTRUCTION NOTES:**

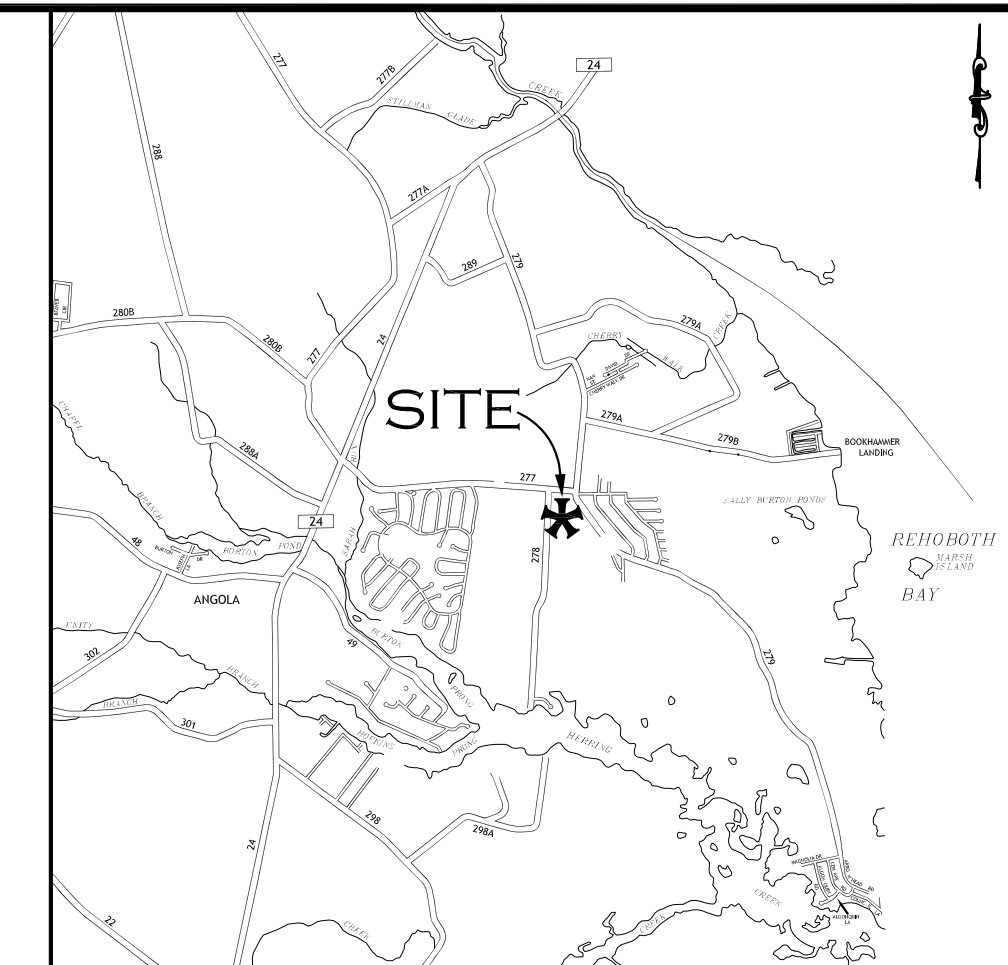
1. THE DNREC SEDIMENT AND STORMWATER MANAGEMENT PROGRAM MUST BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
2. REVIEW AND OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
3. IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY DNREC.
4. FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER SEDIMENT CONTROLS, SOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
5. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
6. AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHALL BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
7. APPROVED PLANS REMAIN VALID FOR 5 YEARS FROM THE DATE OF APPROVAL.
8. POST CONSTRUCTION VERIFICATION DRAWINGS ARE TO BE SUBMITTED TO THE DISTRICT WITHIN 60-DAYS OF STORMWATER MANAGEMENT FACILITY COMPLETION.
9. APPROVAL OF A SEDIMENT AND STORMWATER PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE REGULATIONS AND OTHER APPLICABLE LAWS.
10. THE NOTICE OF INTENT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER A NPDES GENERAL PERMIT FOR THIS PROJECT IS #5991. AT ANY TIME THE OWNERSHIP FOR THIS PROJECT CHANGES, A TRANSFER OF AUTHORIZATION OR A CO-PERMITTEE APPLICATION MUST BE SUBMITTED TO DNREC. THE PERMITTEE OF RECORD SHALL NOT BE RELIEVED OF THEIR RESPONSIBILITIES UNTIL A NOTICE OF TERMINATION HAS BEEN PROCESSED BY DNREC.
11. THE OWNER SHALL BE FAMILIAR WITH AND COMPLY WITH ALL ASPECTS OF THE NPDES CONSTRUCTION GENERAL PERMIT ASSOCIATED WITH THE PROJECT, INCLUDING, BUT NOT LIMITED TO, PERFORMING WEEKLY SITE INSPECTIONS DURING CONSTRUCTION AND AFTER RAIN EVENTS, AND MAINTAINING WRITTEN LOGS OF THESE INSPECTIONS.
12. BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CALL MISS UTILITY AT 811 OR 1.800.282.8555 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, TO HAVE ALL EXISTING UTILITIES MARKED ONSITE.
13. THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OF DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SIDE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY SITE REVIEWER. BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7. DEL. C. CH 60, REGULATIONS GOVERNING THE CONTROL OF WATER POLLUTION, SECTION 9.1.02, KNOWN AS SPECIAL CONDITIONS FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND DEPARTMENT POLICIES, PROCEDURES, AND GUIDANCE.
14. DOCUMENTATION OF SOIL TESTING AND MATERIALS USED FOR TEMPORARY OR PERMANENT STABILIZATION INCLUDING BUT NOT LIMITED TO SOIL TEST RESULTS, SEED TAGS, SOIL AMENDMENT TAGS, ETC. SHALL BE PROVIDED TO THE DEPARTMENT OR DELEGATED AGENCY TO VERIFY THAT THE PERMANENT OR TEMPORARY STABILIZATION HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLAN.
15. THE DEPARTMENT OR DELEGATED AGENCY MAY REQUIRE ADDITIONAL SOIL TESTING AND REAPPLICATION OF PERMANENT OR TEMPORARY STABILIZATION IN ACCORDANCE WITH THE SPECIFICATIONS IN THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, OR ALTERNATIVE MEASURES THAT PROVIDE FUNCTIONAL EQUIVALENCE.

**NOTE:**  
SHEETS SWM-2 TO SWM-9 ARE FOR AGENCY REVIEW ONLY, AND NOT FOR CONSTRUCTION.

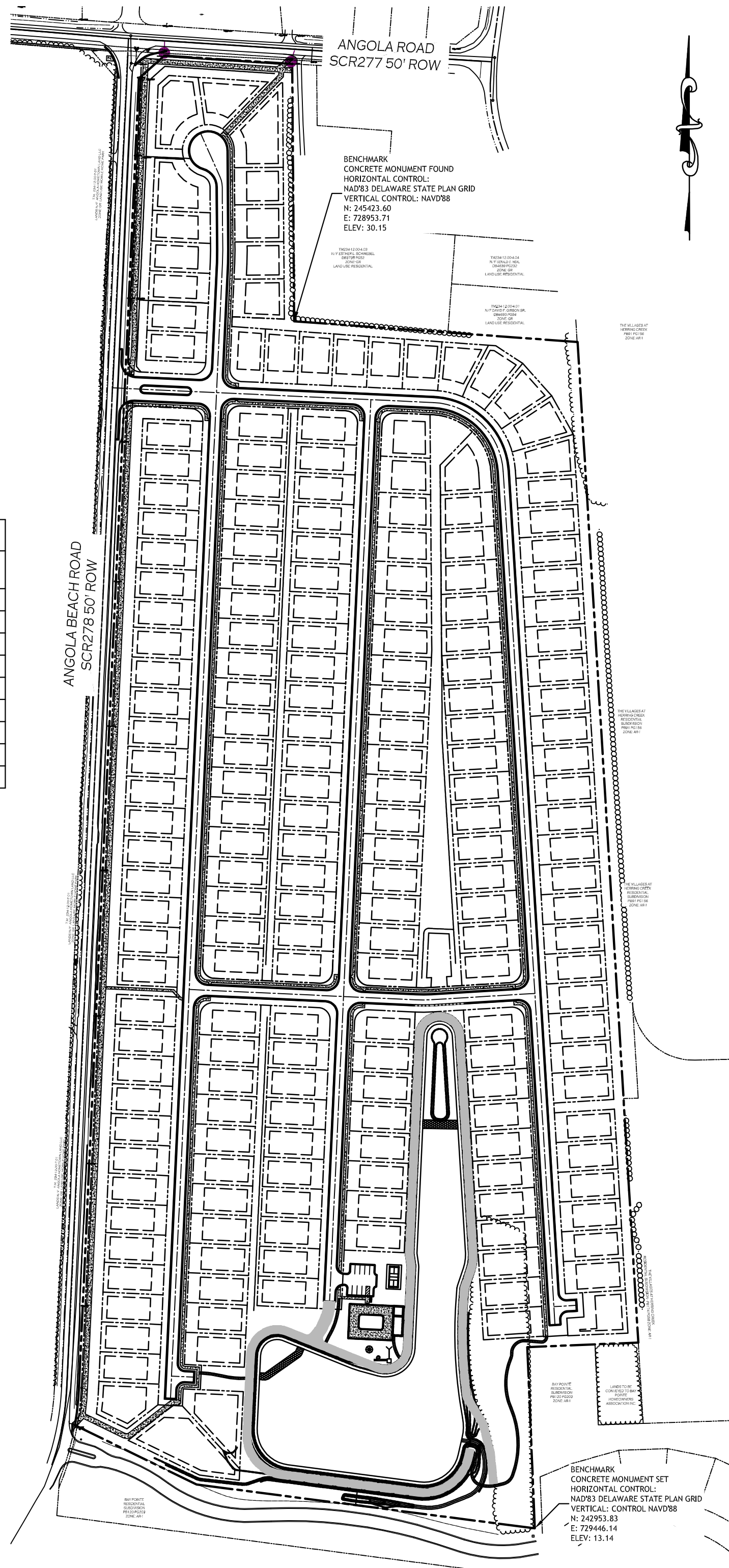
# WINDSWEPT @ LEWES

## INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

SEDIMENT AND STORMWATER MANAGEMENT PLANS  
INDIAN RIVER HUNDRED  
REHOBOTH BAY WATER SHED  
TAX MAP 234-12.00 PARCEL 3.00 & 6.00



VICINITY MAP  
SCALE: 1" = 1 MILE



**EROSION & SEDIMENT CONTROL PLANS SHEET INDEX**

SHEET NUMBER	SHEET TITLE	ORIGINAL DATE	REVISION DATE
ESC-1	COVER SHEET	4/1/2019	7/2/2020
ESC-2	PRE-CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN	4/1/2019	4/21/2020
ESC-3	PRE-CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN	4/1/2019	4/21/2020
ESC-4	PRE-CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN	4/1/2019	4/21/2020
ESC-5	PRE-CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN	4/1/2019	7/2/2020
ESC-6	POST CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN	4/1/2019	4/21/2020
ESC-7	POST CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN	4/1/2019	4/21/2020
ESC-8	POST CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN	4/1/2019	4/21/2020
ESC-9	POST CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN	4/1/2019	7/2/2020
ESC-10	STORMWATER MANAGEMENT POND CROSS SECTION	4/1/2019	4/21/2020
ESC-11	STORMWATER MANAGEMENT POND CROSS SECTION	4/1/2019	4/21/2020
ESC-12	STORMWATER POND CONSTRUCTION PLAN	4/1/2019	4/21/2020
ESC-13	EROSION & SEDIMENT CONTROL DETAILS	4/1/2019	4/21/2020
ESC-14	EROSION & SEDIMENT CONTROL DETAILS	4/1/2019	4/21/2020
ESC-15	EROSION & SEDIMENT CONTROL DETAILS	4/1/2019	4/21/2020
ESC-16	EROSION & SEDIMENT CONTROL NOTES	4/1/2019	4/21/2020

**STORMWATER MANAGEMENT PLANS SHEET INDEX**

SHEET NUMBER	SHEET TITLE	ORIGINAL DATE	REVISION DATE
SWM-1	STORMWATER MANAGEMENT & UTILITY PHASING PLAN	4/1/2019	4/21/2020
SWM-2	PRE-DEVELOPMENT BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020
SWM-3	PRE-DEVELOPMENT BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020
SWM-4	PRE-DEVELOPMENT BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020
SWM-5	PRE-DEVELOPMENT BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020
SWM-6	BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020
SWM-7	BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020
SWM-8	BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020
SWM-9	BMP DRAINAGE AREA PLAN	4/1/2019	4/21/2020

**PROJECT NOTES:**

1. TAX MAP: 234-12.00-3.00 & 6.00  
PRELIMINARY LAND USE SERVICE REFERENCE: 2018-05-12 HEN-OPEN MEADOWS (NAME CHANGED FOR COUNTY MAPPING APPROVAL)  
NEAREST INTERSECTION: 2018-05-12 HEN-OPEN MEADOWS (NAME CHANGED FOR COUNTY MAPPING APPROVAL)  
LATITUDE/LONGITUDE OF SITE BMP: POINT 1: 38.66752 N, 75.16183 W
2. TOTAL SITE AREA: 59.66 AC.  
EXISTING WETLAND AREA: 0.00 AC.  
PROPOSED USE: 201 SINGLE FAMILY DETACHED DWELLINGS  
PROPOSED LIMIT OF DISTURBANCE: 59.69 AC.
3. OWNER DATA - SEE SIGNATURE BLOCK
4. DEVELOPER DATA - SEE SIGNATURE BLOCK
5. REVIEW AGENCY DATA - SEE SIGNATURE BLOCK

**EQUITABLE OWNER'S CERTIFICATION:**

I HEREBY CERTIFY THAT I AM THE EQUITABLE OWNER OF THE PROPERTY SHOWN AND DESCRIBED ON THIS PLAN, AND THAT THE SUBDIVISION SHOWN REPRESENTS MY ACT, AND THAT I DESIRE THE PROPERTY TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES AND REGULATIONS.

I, THE UNDERSIGNED, FURTHER CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHOULD BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E., BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ONSITE REVIEWS, AND I UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT, AS REFERENCED ON SHEET ESC-1 OF THESE PLANS.

BOARDWALK DEVELOPMENT, LLC - C/O JOSEPH REED DATE  
317 REHOBOTH AVENUE - REHOBOTH BEACH, DE 19971 - (302) 430-4060 - jreedreg@gmail.com

**ENGINEER'S CERTIFICATION:**

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES.

KENNETH R. CHRISTENBURY, P.E. - DE. LICENSE NO. 11553 - EXPIRES 6/30/2022 DATE

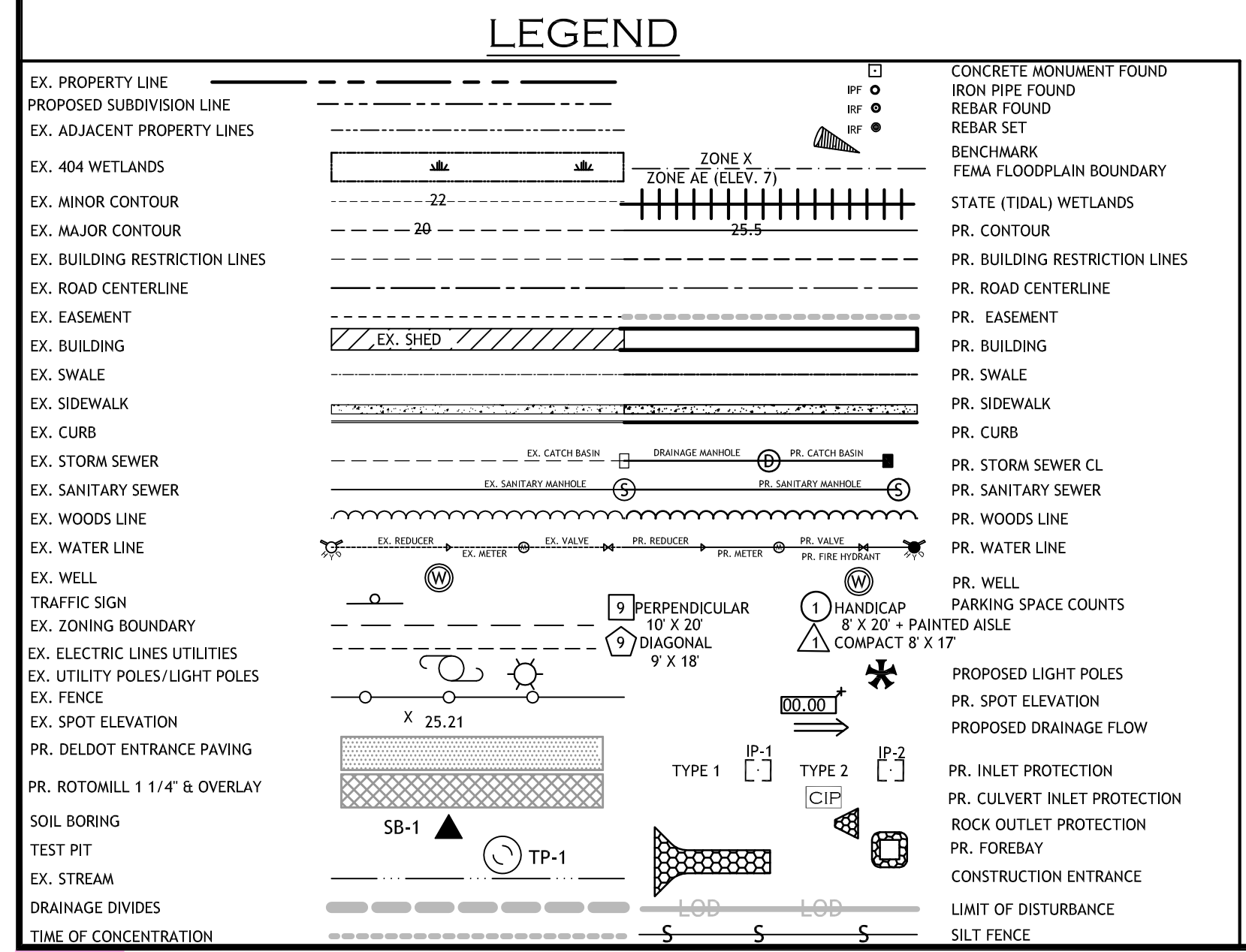
**SUSSEX CONSERVATION DISTRICT APPROVAL:**

23818 SHORTLY ROAD - GEORGETOWN, DE 19947 302-856-7219 FAX 856-0951

**WETLANDS CERTIFICATION:**

THIS PROPERTY HAS BEEN EXAMINED BY COASTAL SOILS CONSULTANTS FOR THE PRESENCE OF WATERS OF THE UNITED STATES INCLUDING WETLANDS (SECTION 404 AND SECTION 10), STATE SUBAQUEOUS LANDS AND STATE TIDAL WETLANDS BASED ON THE CRITERIA SET FORTH BY THE REVIEWING AGENCIES IN THE FORM OF MANUALS, POLICIES AND PROCEDURES IN PLACE AT THE TIME THAT THE INVESTIGATION WAS CONDUCTED. IN ACCORDANCE WITH OUR FIELD INVESTIGATIONS USING BEST PROFESSIONAL JUDGMENT, THERE ARE NO REGULATED WETLANDS OR WATERS OF THE U.S. LOCATED ON THE SUBJECT PROPERTY SHOWN ON THIS PLAN.

JAY DUKE - CLASS D SOIL SCIENTIST DATE  
COASTAL SOIL CONSULTANTS  
25092 OAK ROAD - SEAFORD, DE 19973  
302-629-2989 - jayduke@comcast.net



SEDIMENT & STORMWATER MANAGEMENT CONSTRUCTION PLANS  
COVER SHEET

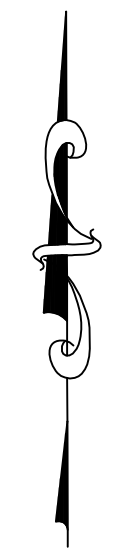
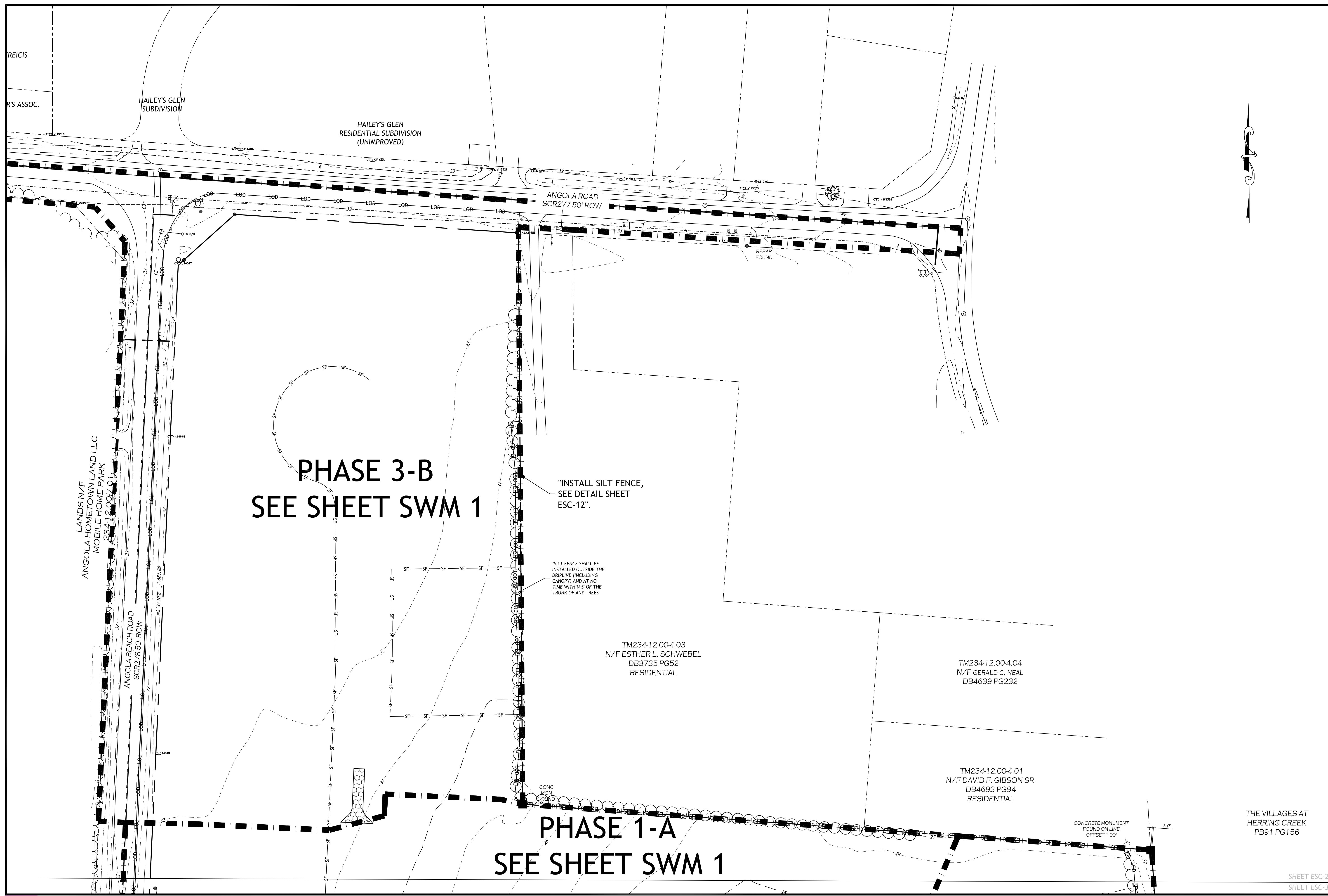
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DESIGNER: KRC  
DRAFTER: EW  
CHECKED BY: KRC  
DATE: 4/1/2019  
TAX MAP: 234-12.00-3.00 & 6.00  
SCALE: 1 inch = 200 ft.  
1 inch = 400 ft.  
1 inch = 800 ft.  
1 inch = 1600 ft.

PROJECT NO: 0233-1702  
DRAWING: ESC-1  
SHEET: 1 OF 16

CZ # 1859 - COUNTY AGREEMENT # 1099  
WINDSWEPT @ LEWES R.P.C.  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

AXIOM ENGINEERING L.L.C.  
18 CHESTNUT STREET  
REHOBOTH BEACH, DE 19947  
(302) 855-0812  
FAX: 855-0812  
WWW.AXIOMENR.COM  
WWW.AXIOMENR.COM

NO. 11853  
K. CHRISTENBURY  
P.E.  
DE. LICENSE NO. 11553  
EXPIRES 6/30/2022

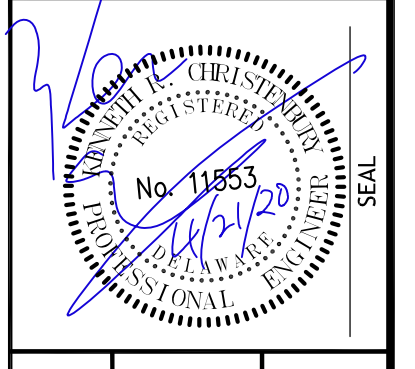


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SEDIMENT & STORMWATER MANAGEMENT CONSTRUCTION PLANS  
 PRE-CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN  
 CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEEP @ LEWES R.P.C.**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**Axiom Engineering L.L.C.**  
 18 CHESTNUT STREET  
 DEWESBORO, DE 19847  
 (302) 855-0812  
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 WWW.AXIOMENGG.COM

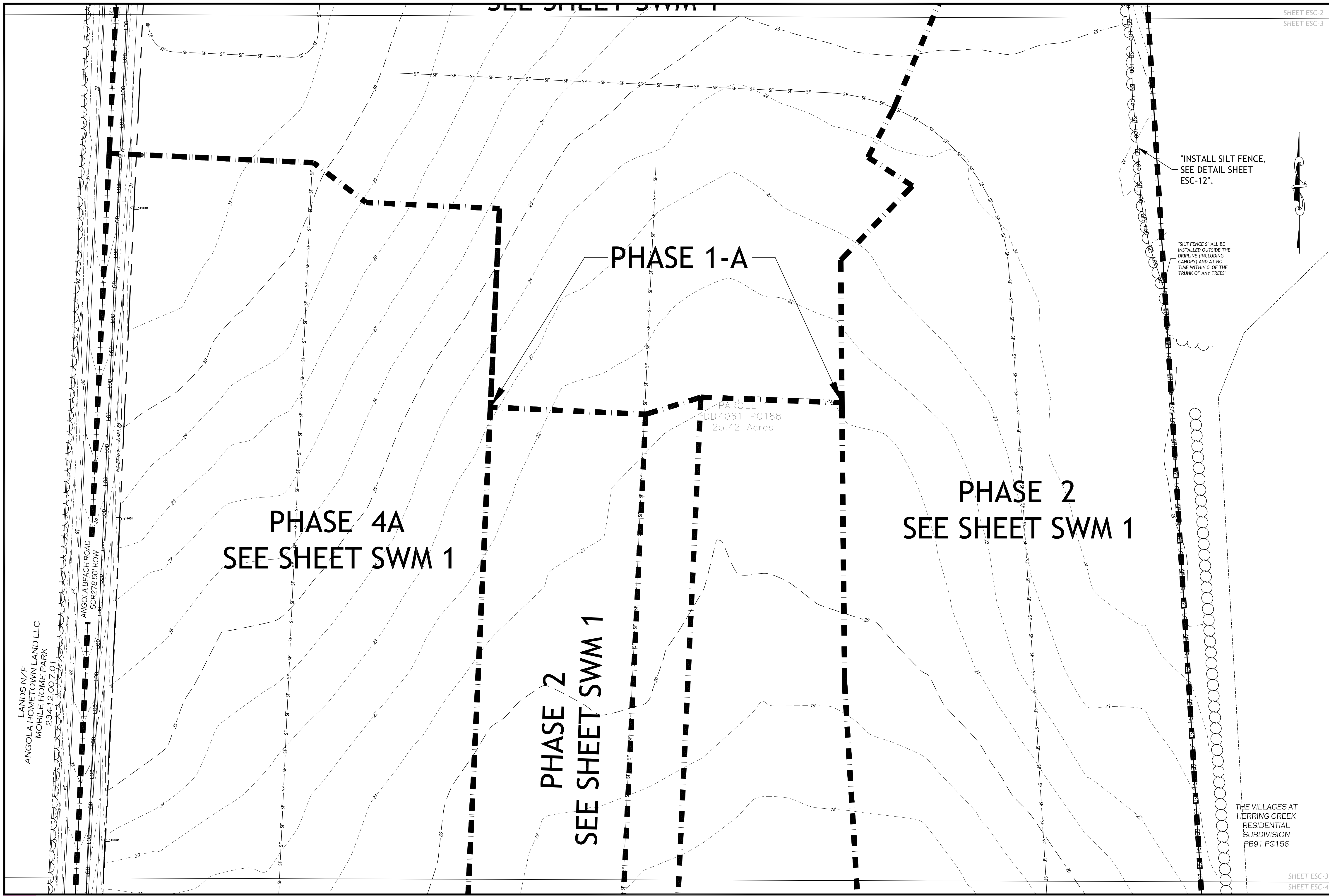
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PROJECT NO:	0233-1702
DRAWING:	ESC-2
SHEET:	2 OF 16

SHEET ESC-2  
 SHEET ESC-3





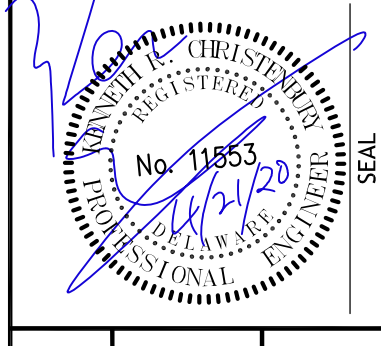
SHEET ESC-2  
SHEET ESC-3

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SEDIMENT & STORMWATER MANAGEMENT CONSTRUCTION PLANS  
 PRE-CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN  
 CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEEP @ LEWES R.P.C.**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

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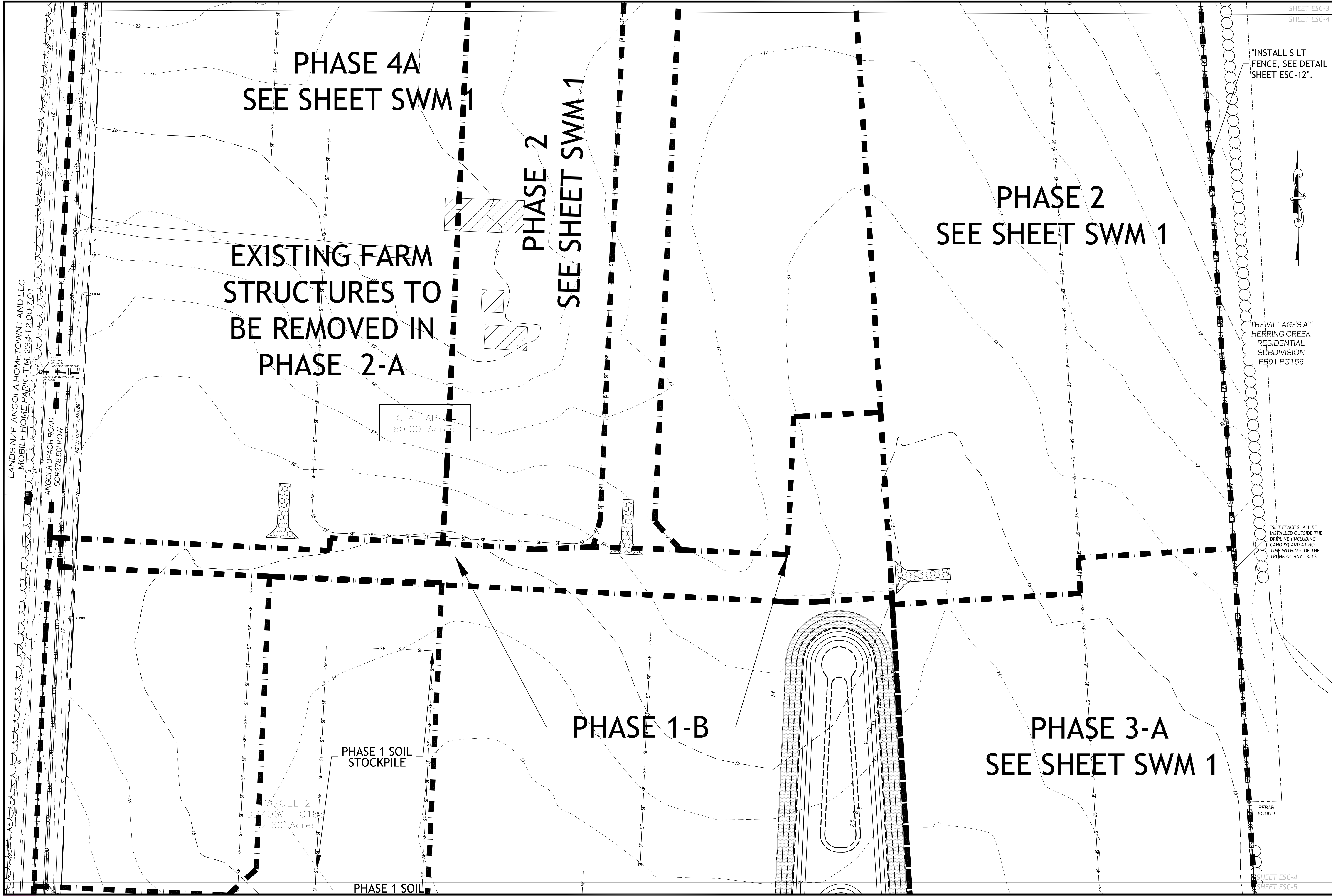
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DRAWN BY:	EW
CHECKED BY:	KAC
DATE:	4/1/2019
TAX MAP:	234-12,003,00 & 6,00



PROJECT NO: 0233-1702  
 DRAWING: ESC-3  
 SHEET: 3 OF 16

SHEET ESC-3  
SHEET ESC-4

THE VILLAGES AT  
 HERRING CREEK  
 RESIDENTIAL  
 SUBDIVISION  
 PB91 PG156



SHEET ESC-3  
SHEET ESC-4

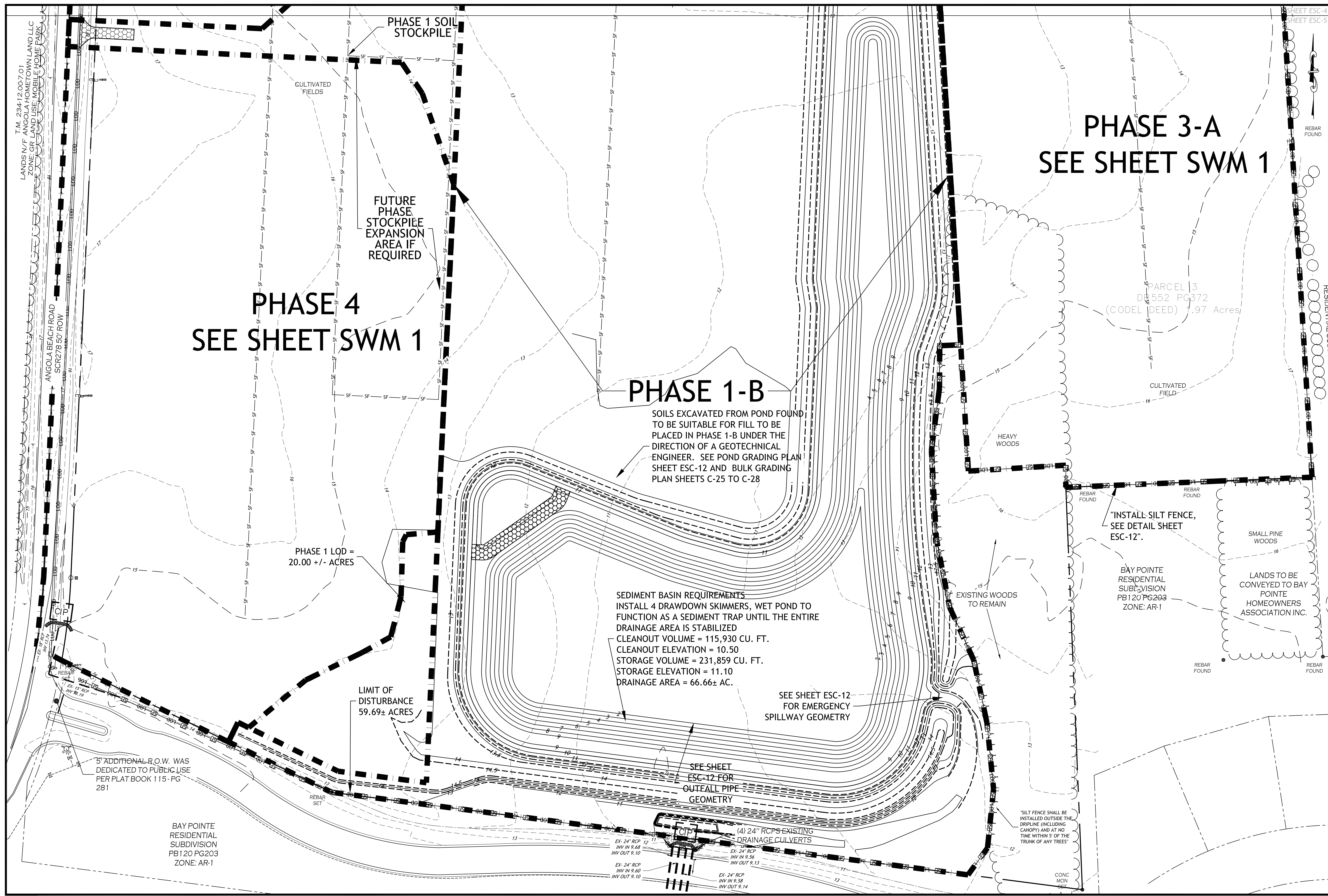
"INSTALL SILT FENCE, SEE DETAIL SHEET ESC-12".

THE VILLAGES AT HERRING CREEK RESIDENTIAL SUBDIVISION PB91 PG156

"SILT FENCE SHALL BE INSTALLED OUTSIDE THE DRIPLINE (INCLUDING CANOPY) AND AT NO TIME WITHIN 5' OF THE TRUNK OF ANY TREES"

REBAR FOUND

PROJECT NO: 0233-1702		DRAWING: ESC-4		SHEET: 4 OF 16	
ENGINEER: KBC		DESIGNER: KBC		CHECKED BY: KBC	
DATE: 4/1/2019		TAX MAP: 284-12,003,00 & 6,00			
SEDIMENT & STORMWATER MANAGEMENT CONSTRUCTION PLAN PRE-CONSTRUCTION SITE STORMWATER MANAGEMENT PLANS CZ # 1859 - COUNTY AGREEMENT # 1099 <b>WINDSWEEP @ LEWES R.P.C.</b> S.C.R. 278 - ANGOLA BEACH ROAD INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE					
<b>AXIOM ENGINEERING L.L.C.</b> 18 CHESTNUT STREET DELEWARE (302) 855-0812 FAX: 855-0812 WWW.AXIOMENGINEERING.COM					



**PHASE 4**  
SEE SHEET SWM 1

**PHASE 1 SOIL STOCKPILE**

**FUTURE PHASE STOCKPIEE EXPANSION AREA IF REQUIRED**

**PHASE 1-B**

SOILS EXCAVATED FROM POND FOUND TO BE SUITABLE FOR FILL TO BE PLACED IN PHASE 1-B UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER. SEE POND GRADING PLAN SHEET ESC-12 AND BULK GRADING PLAN SHEETS C-25 TO C-28

**SEDIMENT BASIN REQUIREMENTS**  
INSTALL 4 DRAWDOWN SKIMMERS, WET POND TO FUNCTION AS A SEDIMENT TRAP UNTIL THE ENTIRE DRAINAGE AREA IS STABILIZED  
CLEANOUT VOLUME = 115,930 CU. FT.  
CLEANOUT ELEVATION = 10.50  
STORAGE VOLUME = 231,859 CU. FT.  
STORAGE ELEVATION = 11.10  
DRAINAGE AREA = 66.66± AC.

SEE SHEET ESC-12 FOR EMERGENCY SPILLWAY GEOMETRY

SEE SHEET ESC-12 FOR OUTFALL PIPE GEOMETRY

**PHASE 3-A**  
SEE SHEET SWM 1

PHASE 1 LOD = 20.00 +/- ACRES

LIMIT OF DISTURBANCE 59.69± ACRES

"INSTALL SILT FENCE, SEE DETAIL SHEET ESC-12".

BAY POINT RESIDENTIAL SUBDIVISION PB120 PG203 ZONE: AR-1

LANDS TO BE CONVEYED TO BAY POINT HOMEOWNERS ASSOCIATION INC.

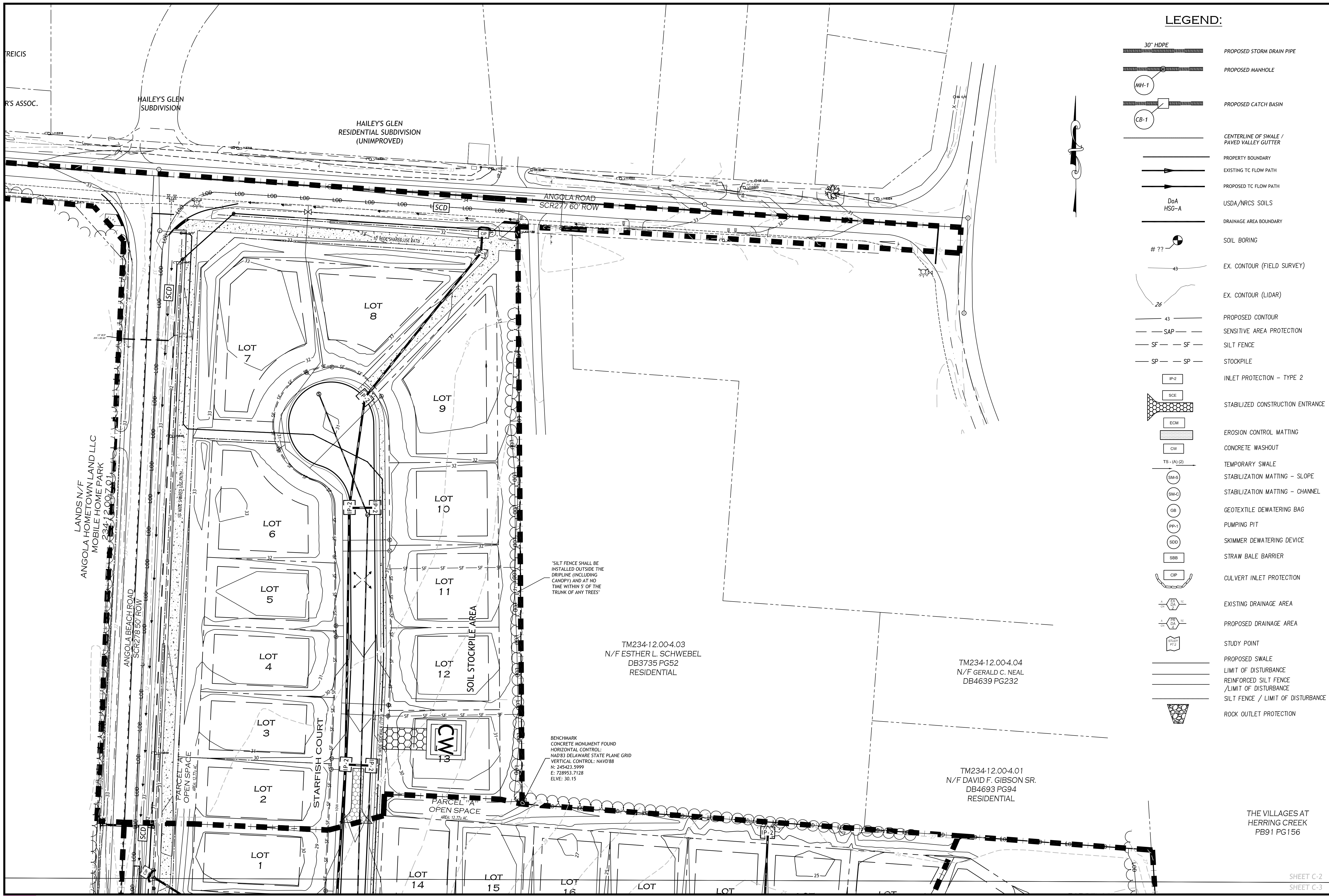
5' ADDITIONAL R.O.W. WAS DEDICATED TO PUBLIC USE PER PLAT BOOK 115-PG 281

BAY POINT RESIDENTIAL SUBDIVISION PB120 PG203 ZONE: AR-1

(4) 24" RCP'S EXISTING DRAINAGE CULVERTS  
 EX-24" RCP 12 INV IN 9.68 INV OUT 9.10  
 EX-24" RCP 11 INV IN 9.60 INV OUT 9.10  
 EX-24" RCP 13 INV IN 9.56 INV OUT 9.13  
 EX-24" RCP 14 INV IN 9.58 INV OUT 9.14

"SILT FENCE SHALL BE INSTALLED OUTSIDE THE DRIPLINE (INCLUDING CANOPY) AND AT NO TIME WITHIN 5' OF THE TRUNK OF ANY TREES"

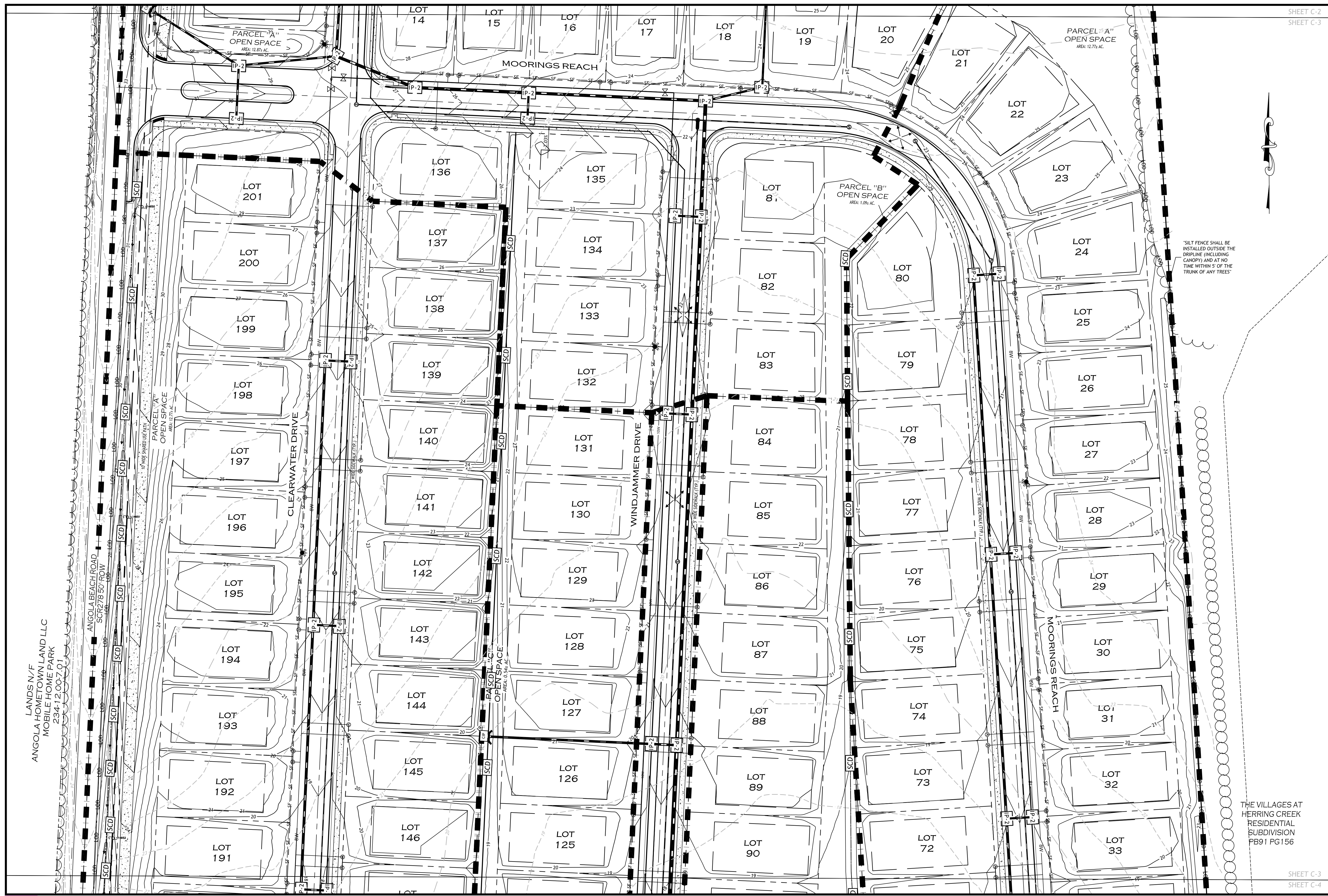
PROJECT NO: 0233-1702		DRAWING: ESC-5		SHEET: 5 OF 16																
		<p>SEDIMENT &amp; STORMWATER MANAGEMENT CONSTRUCTION PLANS          PRE-CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN          CZ #1859 - COUNTY AGREEMENT #1099  <b>WINDSWEPT @ LEWES R.P.C.</b>          S.C.R. 278 - ANGOLA BEACH ROAD          INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE</p>																		
ENGINEER:	KAC	DESIGNER:	KAC	DATE:	4/1/2019															
DRAFTER:	EW	CHECKED BY:	KAC	TAX MAP:	234-12,003,00 & 6,00															
<p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>REV</th> <th>DESCRIPTION OF REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>RESPONSE TO AGENCY COMMENTS</td> <td>7/1/2020</td> </tr> <tr> <td>2</td> <td>RESPONSE TO TIERWATER COMMENTS</td> <td>6/07/2020</td> </tr> <tr> <td>3</td> <td>REVISED PER AGENCY COMMENTS</td> <td>4/17/2020</td> </tr> <tr> <td>4</td> <td>REVISED PER AGENCY COMMENTS</td> <td>4/17/2020</td> </tr> </tbody> </table>		REV	DESCRIPTION OF REVISION	DATE	1	RESPONSE TO AGENCY COMMENTS	7/1/2020	2	RESPONSE TO TIERWATER COMMENTS	6/07/2020	3	REVISED PER AGENCY COMMENTS	4/17/2020	4	REVISED PER AGENCY COMMENTS	4/17/2020	<p>SCALE: 24" X 36" 1 inch = 40 ft.          11" X 17" 1 inch = 80 ft.</p>			
REV	DESCRIPTION OF REVISION	DATE																		
1	RESPONSE TO AGENCY COMMENTS	7/1/2020																		
2	RESPONSE TO TIERWATER COMMENTS	6/07/2020																		
3	REVISED PER AGENCY COMMENTS	4/17/2020																		
4	REVISED PER AGENCY COMMENTS	4/17/2020																		



**LEGEND:**

- 30" HDPE PROPOSED STORM DRAIN PIPE
- PROPOSED MANHOLE
- PROPOSED CATCH BASIN
- CENTERLINE OF SWALE / PAVED VALLEY GUTTER
- PROPERTY BOUNDARY
- EXISTING TC FLOW PATH
- PROPOSED TC FLOW PATH
- USDA/NRCS SOILS
- DRAINAGE AREA BOUNDARY
- SOIL BORING
- EX. CONTOUR (FIELD SURVEY)
- EX. CONTOUR (LIDAR)
- PROPOSED CONTOUR
- SENSITIVE AREA PROTECTION
- SILT FENCE
- STOCKPILE
- INLET PROTECTION - TYPE 2
- STABILIZED CONSTRUCTION ENTRANCE
- EROSION CONTROL MATTING
- CONCRETE WASHOUT
- TEMPORARY SWALE
- STABILIZATION MATTING - SLOPE
- STABILIZATION MATTING - CHANNEL
- GEOTEXTILE DEWATERING BAG
- PUMPING PIT
- SKIMMER DEWATERING DEVICE
- STRAW BALE BARRIER
- CULVERT INLET PROTECTION
- EXISTING DRAINAGE AREA
- PROPOSED DRAINAGE AREA
- STUDY POINT
- PROPOSED SWALE
- LIMIT OF DISTURBANCE
- REINFORCED SILT FENCE /LIMIT OF DISTURBANCE
- SILT FENCE / LIMIT OF DISTURBANCE
- ROCK OUTLET PROTECTION

SEDIMENT & STORMWATER MANAGEMENT CONSTRUCTION PLANS POST CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN CZ # 1859 - COUNTY AGREEMENT # 1099 <b>WINDSWEPT @ LEWES R.P.C.</b> S.C.R. 278 - ANGOLA BEACH ROAD INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE	
<b>Axiom Engineering L.L.C.</b> 18 CHESTNUT STREET DEWESBORO, DE 19847 (302) 855-0812 FAX: 855-0812 E-MAIL: WWW.AXIOMENR.COM WEB: WWW.AXIOMENR.COM	
ENGINEER: MKC DESIGNER: MKC DRAFTER: EW CHECKED BY: MKC DATE: 4/1/2019 TAX MAP: 234-12.00-3.00 & 6.00	PROJECT NO: 0233-1702 DRAWING: ESC-6 SHEET: 6 OF 16
SCALE: 24" X 36" 1 inch = 40 ft. 11" X 17" 1 inch = 80 ft.	
PROJECT NO: 0233-1702 DRAWING: ESC-6 SHEET: 6 OF 16	

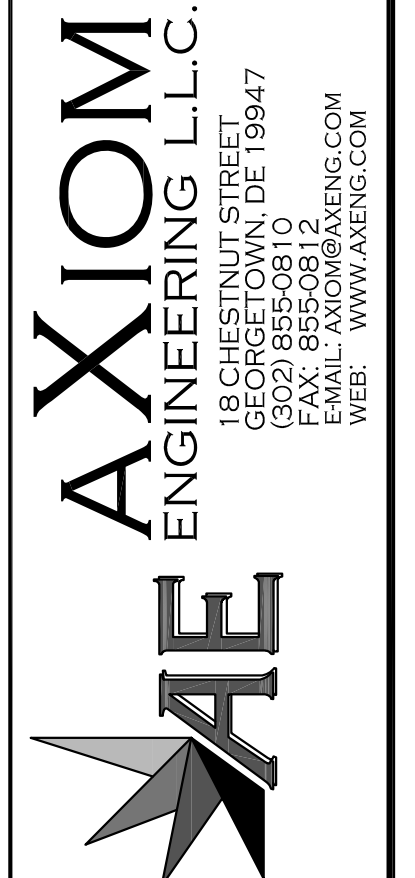
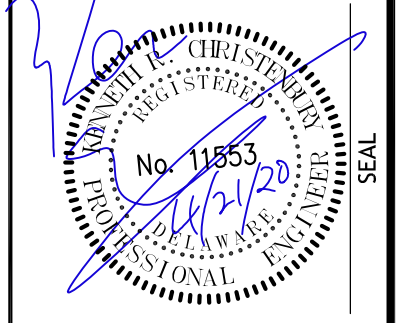


SHEET C-2  
SHEET C-3

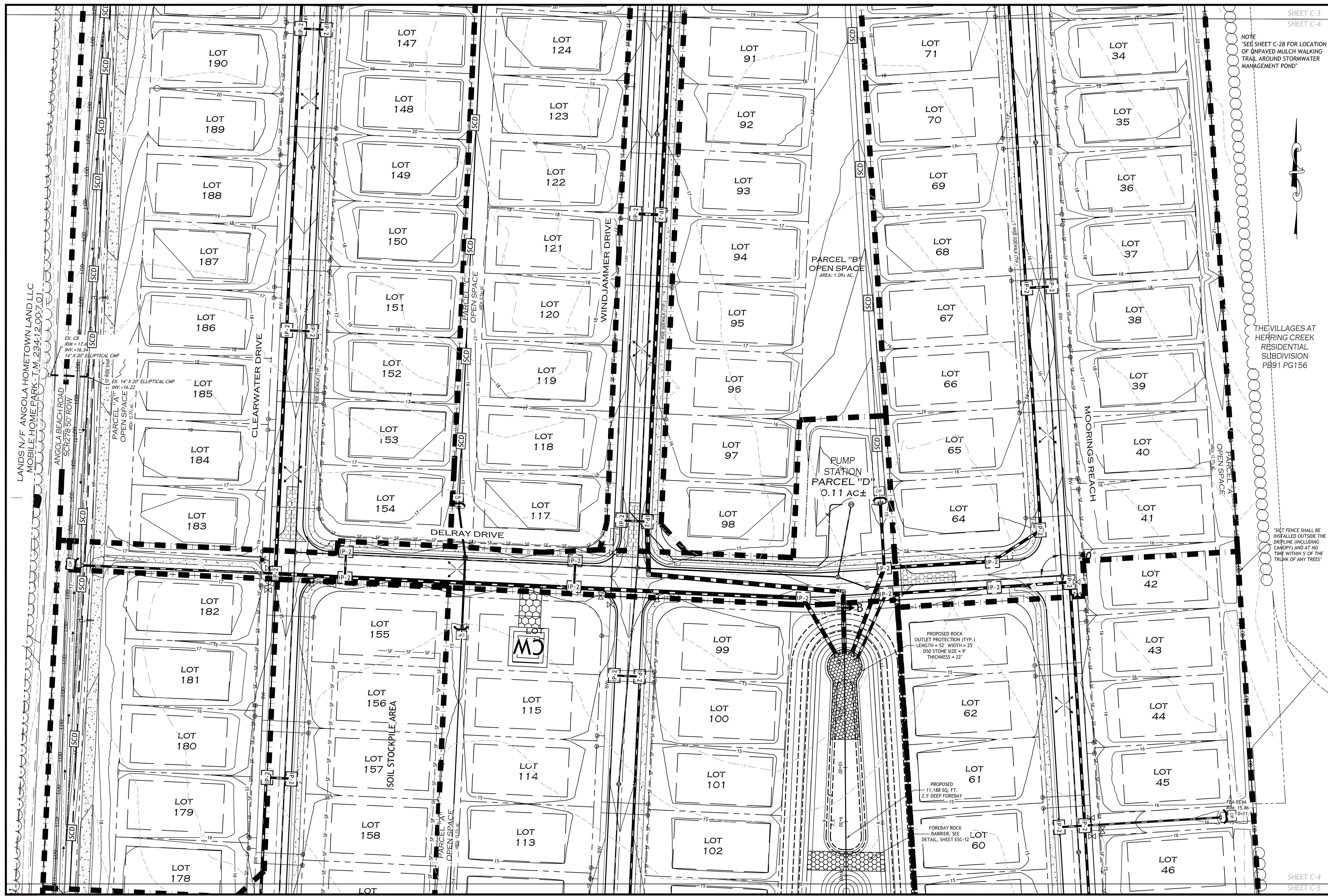
'SILT FENCE SHALL BE INSTALLED OUTSIDE THE DRIPLINE (INCLUDING CANOPY) AND AT NO TIME WITHIN 5' OF THE TRUNK OF ANY TREES'

THE VILLAGES AT  
HERRING CREEK  
RESIDENTIAL  
SUBDIVISION  
PB91 PG156

SHEET C-3  
SHEET C-4

SEDIMENT & STORMWATER MANAGEMENT CONSTRUCTION PLANS POST CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN	
CZ # 1859 - COUNTY AGREEMENT # 1099 <b>WINDSWEPT @ LEWES R.P.C.</b> S.C.R. 278 - ANGOLA BEACH ROAD INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE	
	
ENGINEER: MKC DESIGNER: MKC DRAFTER: EW CHECKED BY: MKC DATE: 4/1/2019 TAX MAP: 234-12,003,00 & 6,00	
	
PROJECT NO: <b>0233-1702</b>	DRAWING: <b>ESC-7</b>
SHEET: <b>7 OF 16</b>	

LANDS N/F  
ANGOLA HOMETOWN LAND LLC  
MOBILE HOME PARK  
234-12,007,01



SHEET C-3  
SHEET C-4

NOTE  
"SEE SHEET C-28 FOR LOCATION  
OF UNPAVED MULCH WALKING  
TRAIL AROUND STORMWATER  
MANAGEMENT POND"

THE VILLAGES AT  
HERRING CREEK  
RESIDENTIAL  
SUBDIVISION  
PB91 PG156

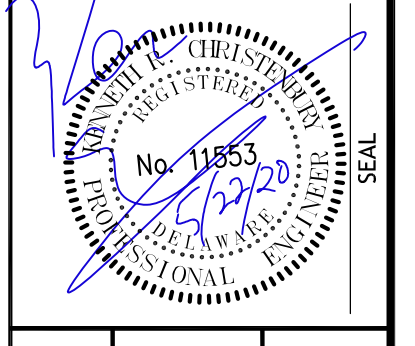
"SILT FENCE SHALL BE  
INSTALLED OUTSIDE THE  
DRIE LINE (INCLUDING  
CANOPY) AND AT NO  
TIME WITHIN 5' OF THE  
TRUNK OF ANY TREES"

REV	DESCRIPTION OF REVISION	DATE	BY
1	REVISED PER AGENCY COMMENTS	02/12/2020	EW
2	REVISED PER AGENCY COMMENTS	02/17/2020	EW
3	REVISED PER AGENCY COMMENTS	02/17/2020	EW
4	REVISED PER AGENCY COMMENTS	02/17/2020	EW
5	REVISED PER AGENCY COMMENTS	02/17/2020	EW

SEDIMENT & STORMWATER MANAGEMENT CONSTRUCTION PLANS  
POST CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN  
CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEEP @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM**  
ENGINEERING L.L.C.  
18 CHESTNUT STREET  
SUITE 200 DE 19947  
LEWES, DE 19950  
TEL: 302.855.0812  
FAX: 302.855.0812  
WWW.AXIOMENR.COM

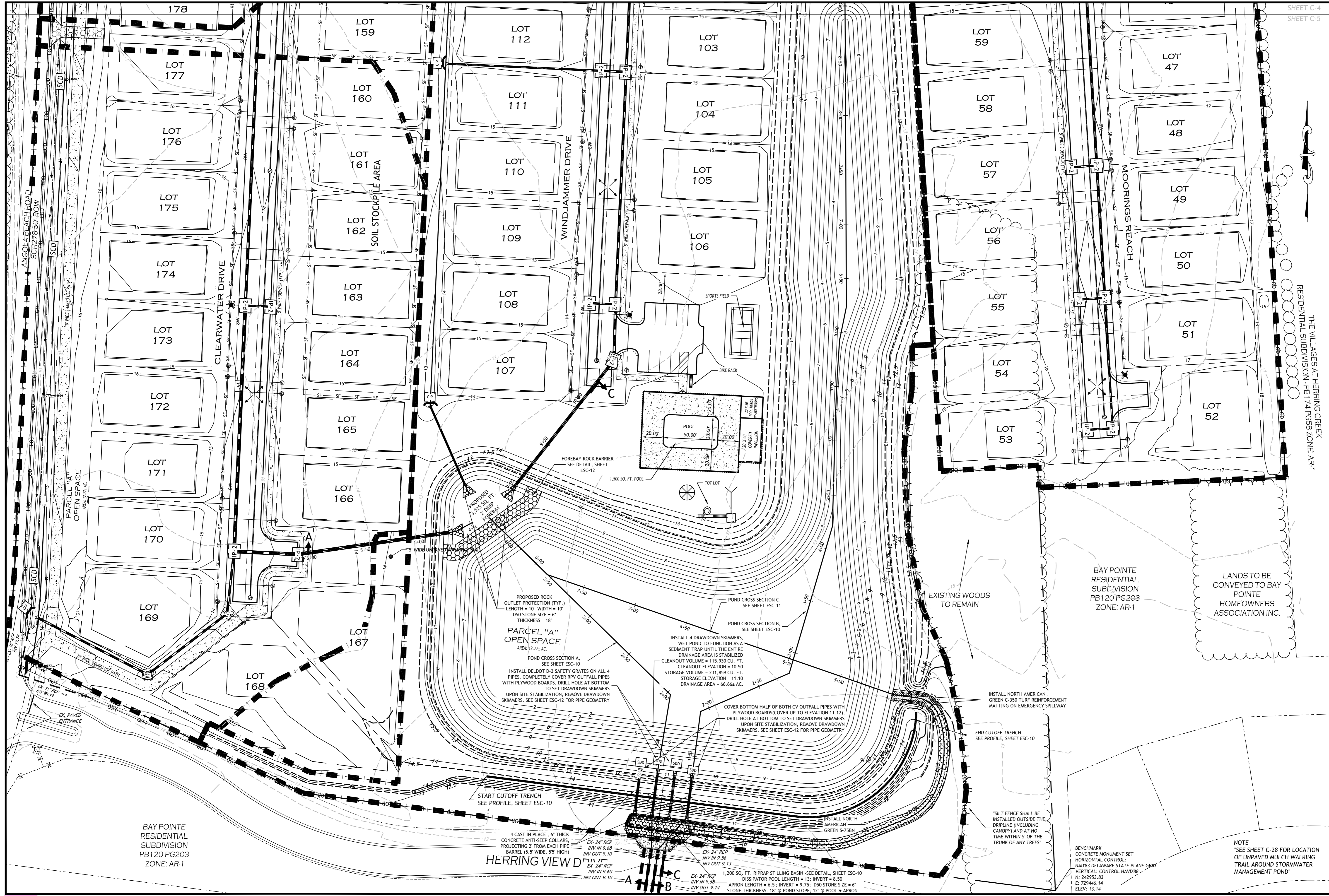
ENGINEER:	KRC
DESIGNER:	KRC
DRAWN BY:	EW
CHECKED BY:	KRC
DATE:	4/1/2019
TAX MAP:	284-12, 003, 000 & 6, 000



PROJECT NO: 0233-1702  
DRAWING: ESC-8  
SHEET: 8 OF 16

SHEET C-4  
SHEET C-5

LANDS N/F ANGOLA HOMETOWN LAND LLC  
MOBILE HOME PARK - T.M. 234-12,007,701



SHEET C-4  
SHEET C-5

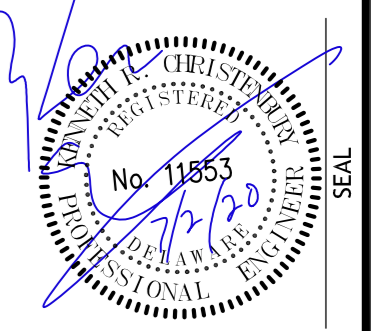
THE VILLAGES AT HERRING CREEK  
RESIDENTIAL SUBDIVISION - PB174 PG58 ZONE: AR-1

REV	DESCRIPTION OF REVISION	DATE
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100	REVISED PER AGENCY COMMENTS	12/20/20

SEDIMENT & STORMWATER MANAGEMENT CONSTRUCTION PLANS  
POST CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN  
CZ #1859 - COUNTY AGREEMENT #1099  
**WINDSWEPT @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM**  
ENGINEERING L.L.C.  
18 CHESTNUT STREET  
GEORGETOWN, DE 19947  
(302) 855-0810  
FAX: (302) 855-0810  
EMAIL: AAXIOM@AXIOM.COM  
WEB: WWW.AXIOM.COM

ENGINEER	KRC
DESIGNER	KRC
DRAWN	EW
CHECKED BY	KRC
DATE	4/17/2019
TAX MAP	234-12.06.3.00 & 6.00



BAY POINT  
RESIDENTIAL  
SUBDIVISION  
PB120 PG203  
ZONE: AR-1

HERRING VIEW DR

BENCHMARK  
CONCRETE MONUMENT SET  
HORIZONTAL CONTROL:  
NAD83 DELAWARE STATE PLANE GRID  
VERTICAL CONTROL NAVD83  
N: 242953.83  
E: 729446.14  
ELEV: 13.14

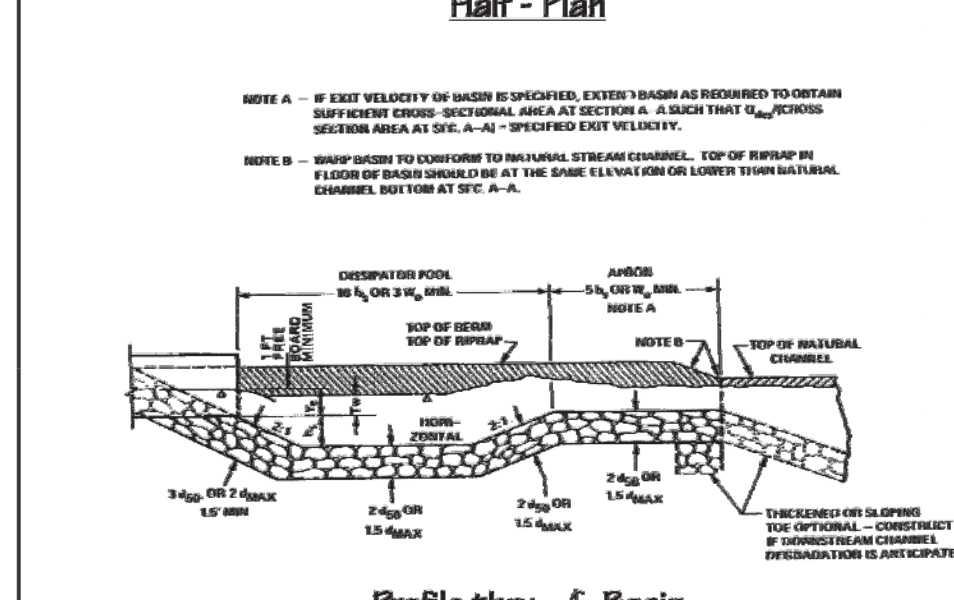
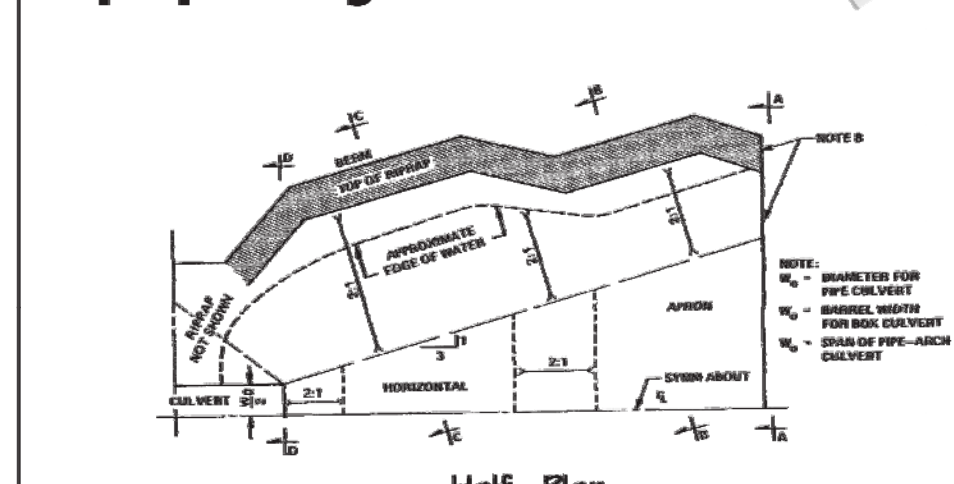
NOTE  
"SEE SHEET C-28 FOR LOCATION  
OF UNPAVED MULCH WALKING  
TRAIL AROUND STORMWATER  
MANAGEMENT POND"

PROJECT NO:  
**0233-1702**

DRAWING:  
**ESC-9**

SHEET:  
**9 OF 16**

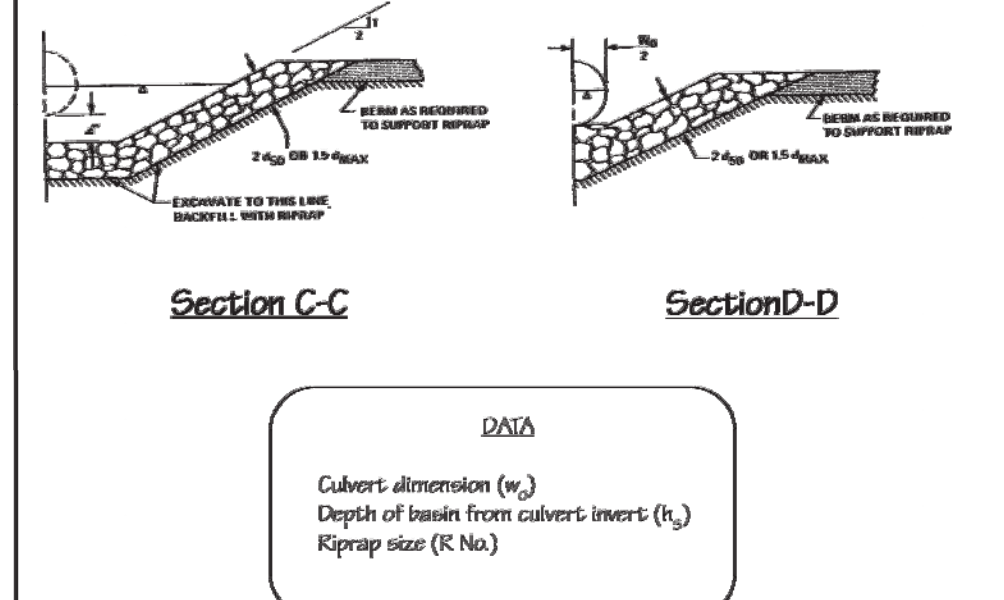
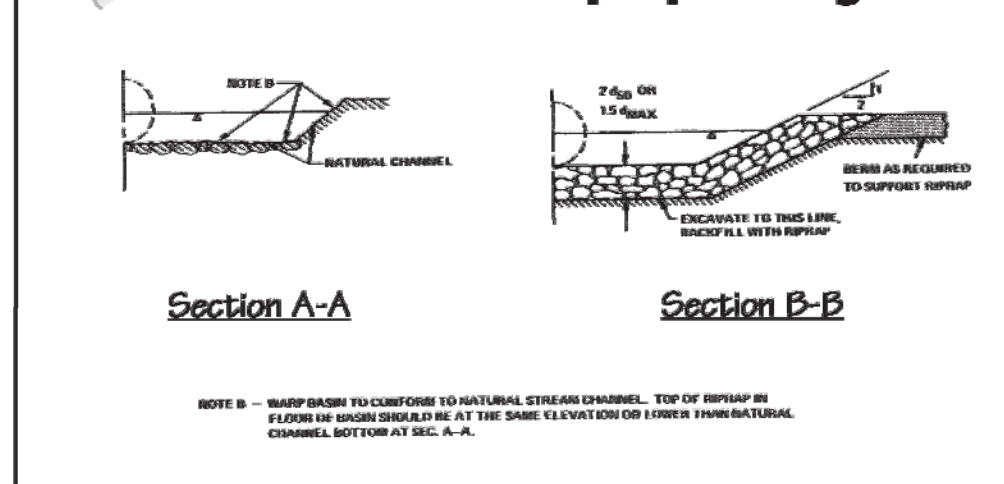
**Standard Detail & Specifications  
Riprap Stilling Basin**



Source:	Symbol:	Detail No.
Adapted from FHWA HEC-14	<b>RSB</b>	<b>DE-ESC-3.3.11</b> Sheet 1 of 3

Effective February 2019

**Standard Detail & Specifications  
Riprap Stilling Basin**



Source:	Symbol:	Detail No.
Adapted from FHWA HEC-14	<b>RSB</b>	<b>DE-ESC-3.3.11</b> Sheet 2 of 3

Effective February 2019

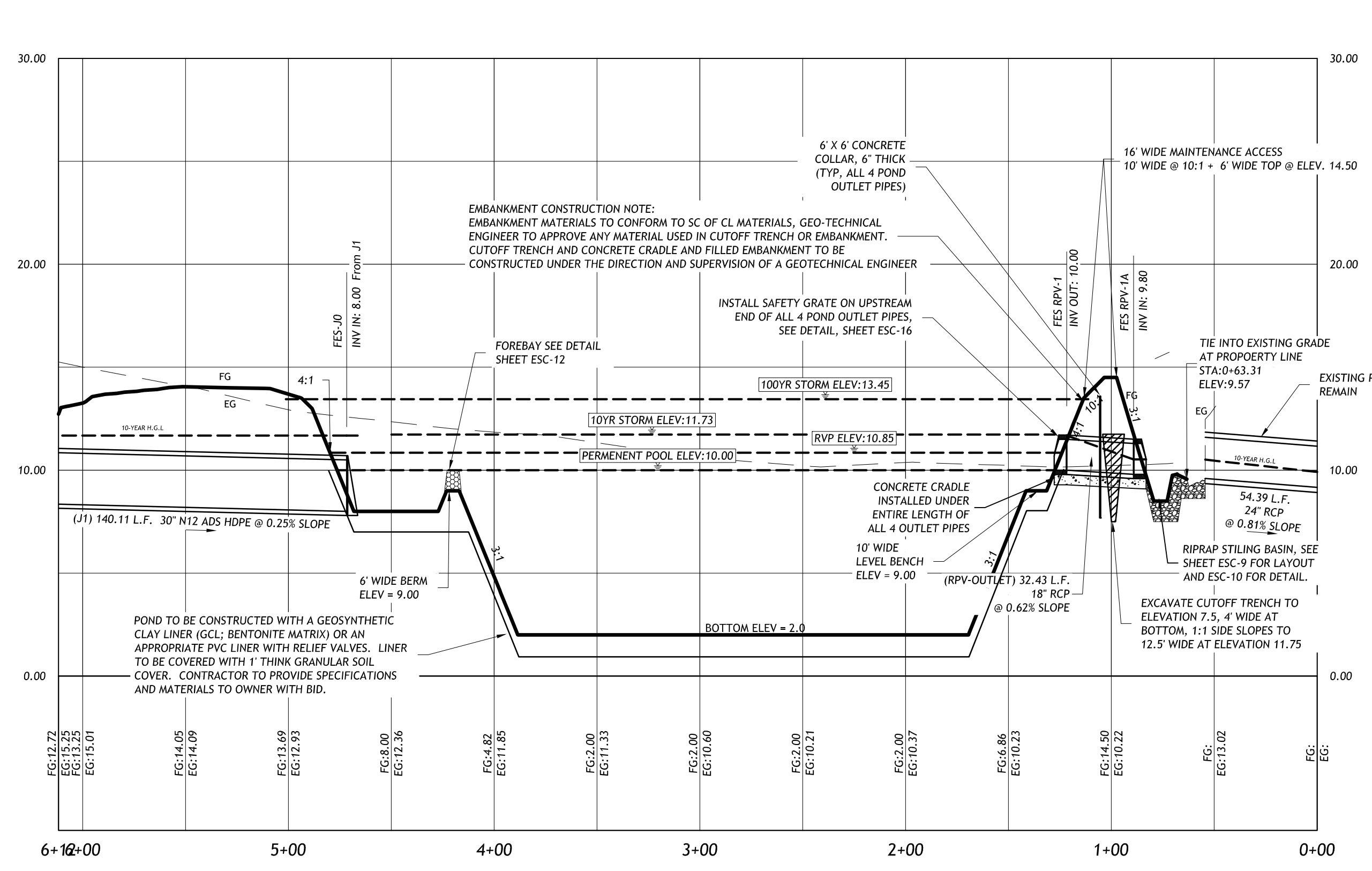
**Standard Detail & Specifications  
Riprap Stilling Basin**

**Construction Notes:**

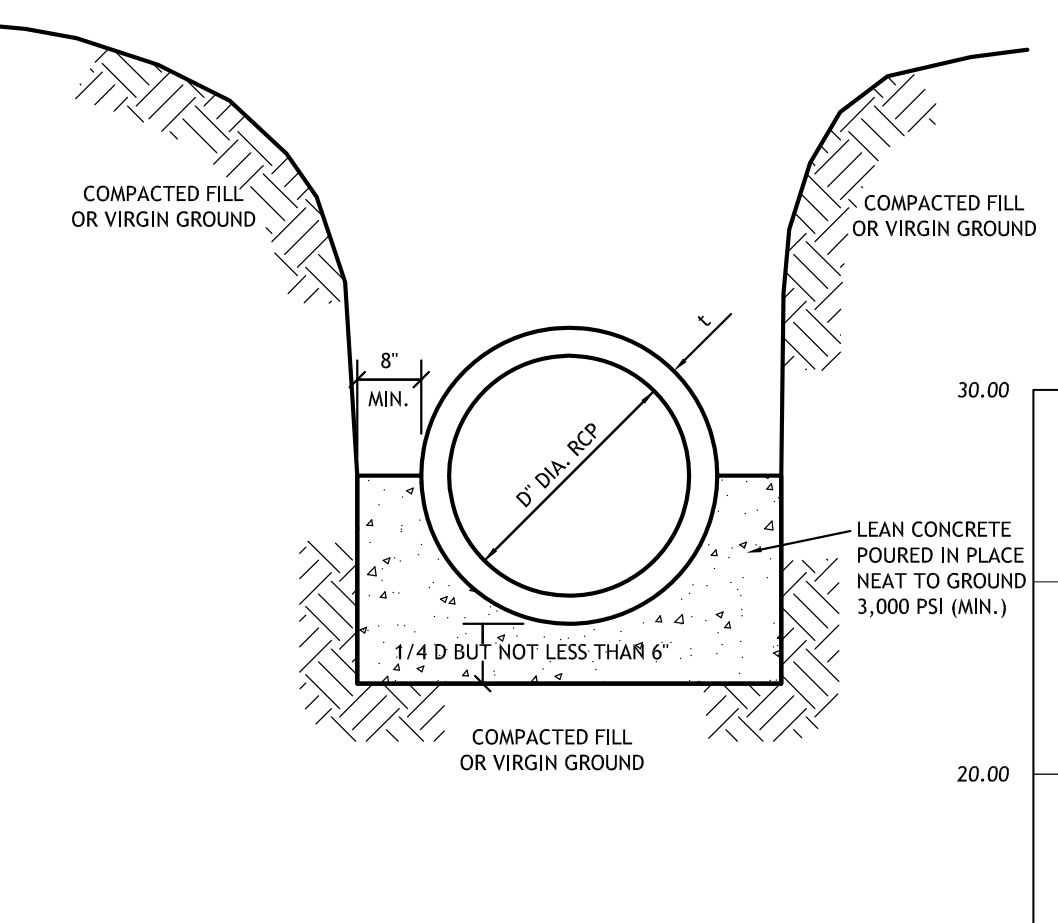
- The subgrade for the riprap shall be prepared to the required lines and grades as shown on the plan. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
- The riprap shall conform to the grading limits as shown on the plan.
- Geotextile shall be a Type GS-4. Fabric shall be protected from punching, cutting or tearing. Any damage other than an occasional small hole shall be repaired by placing another piece of cloth over the damaged area. All connecting joints should overlap a minimum of 1 ft. If the damage is extensive, replace the entire section.
- Stone for the riprap or gabion outlets may be placed by equipment. Riprap shall be placed in a manner to prevent damage to the geotextile fabric. Hand placement will be required to the extent necessary to prevent damage to the conduits, structures, etc.

Source:	Symbol:	Detail No.
Adapted from FHWA HEC-14	<b>RSB</b>	<b>DE-ESC-3.3.11</b> Sheet 3 of 3

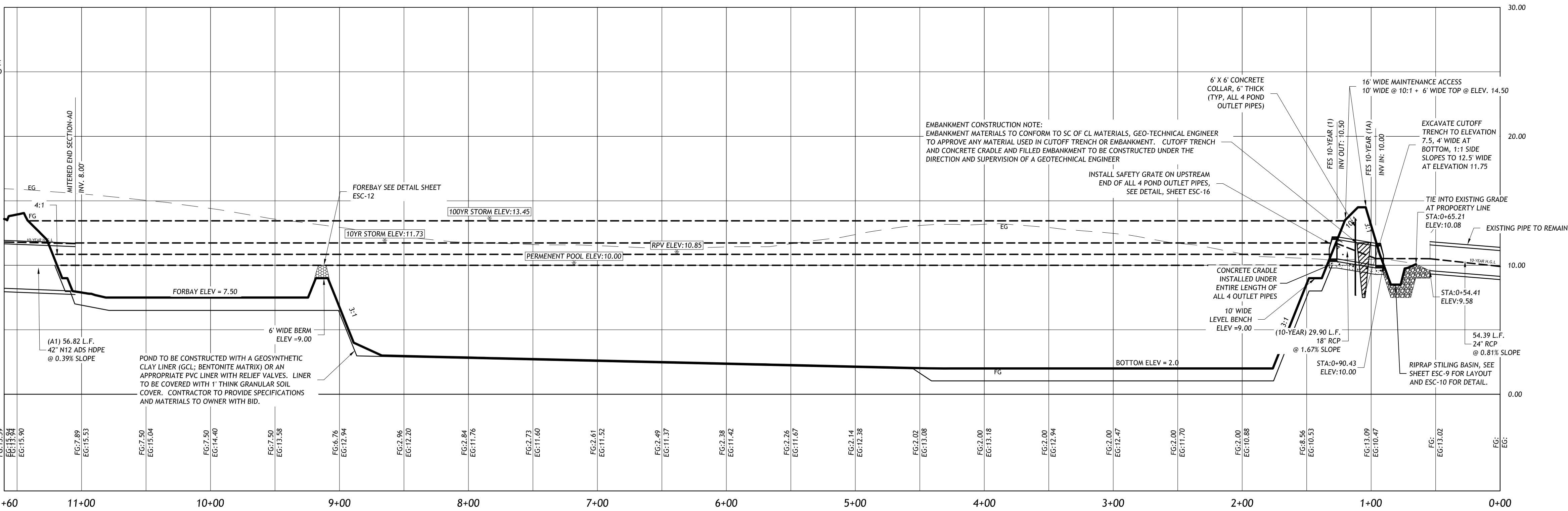
Effective February 2019



SECTION-A  
HORIZONTAL SCALE 1"=50  
VERTICAL SCALE 1"=5.00



**CONCRETE CRADLE DETAIL**  
NOT TO SCALE



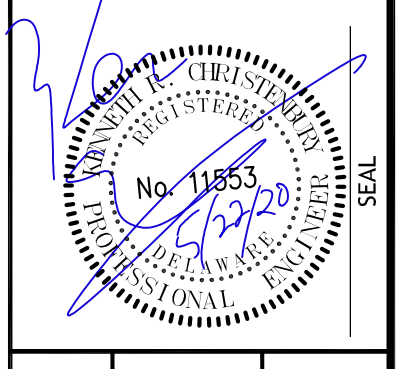
SECTION-B  
HORIZONTAL SCALE 1"=50  
VERTICAL SCALE 1"=5.00

REV	DESCRIPTION OF REVISION	DATE
1	REVISED PER AGENCY COMMENTS	04/17/2019
2	REVISED PER AGENCY COMMENTS	04/17/2019
3	REVISED PER AGENCY COMMENTS	04/17/2019

STORMWATER MANAGEMENT POND CROSS SECTION  
CZ #1859 - COUNTY AGREEMENT #1099  
**WINDSWEPT @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

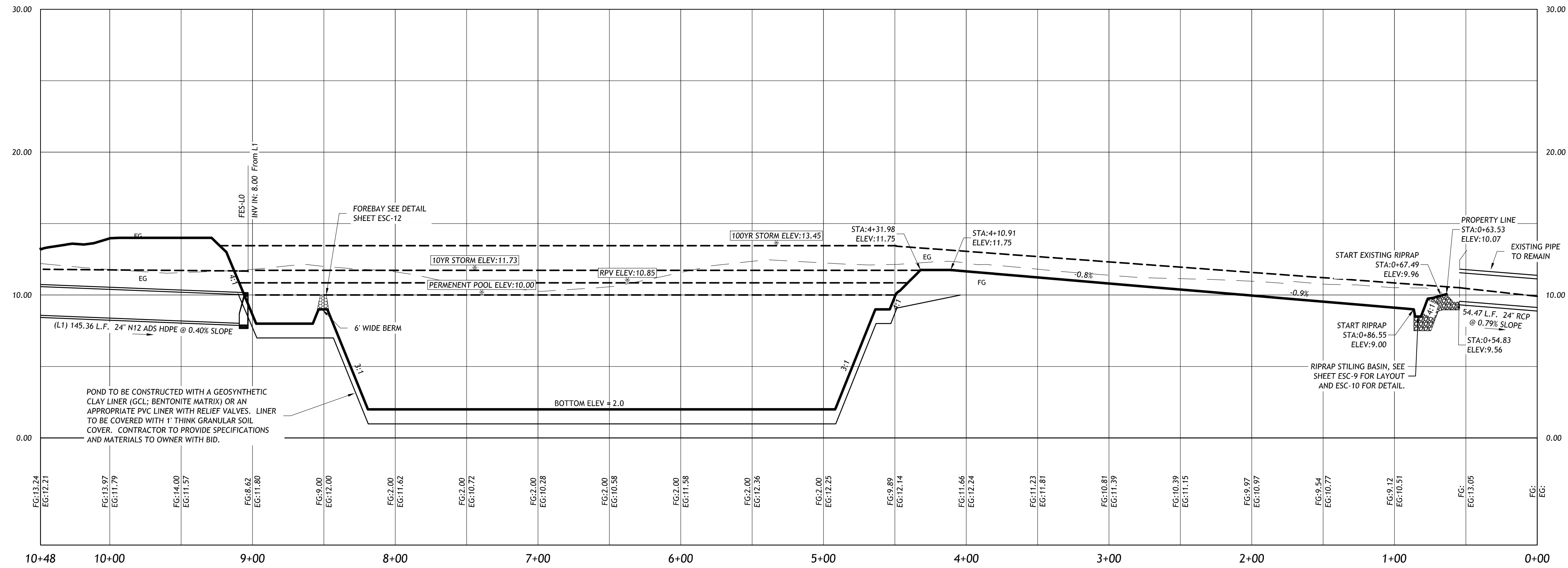
**AXIOM ENGINEERING L.L.C.**  
18 CHESTNUT STREET  
DELEWARE CITY, DE 19847  
(302) 855-0812  
FAX: 855-0812  
WWW.AXIOMENGINEERING.COM

ENGINEER:	KBC
DESIGNER:	KBC
DRAWN BY:	EW
CHECKED BY:	KBC
DATE:	4/11/2019
TAX MAP:	234-12,003,00 & 6,00



PROJECT NO: 0233-1702  
DRAWING: ESC-10  
SHEET: 10 OF 16





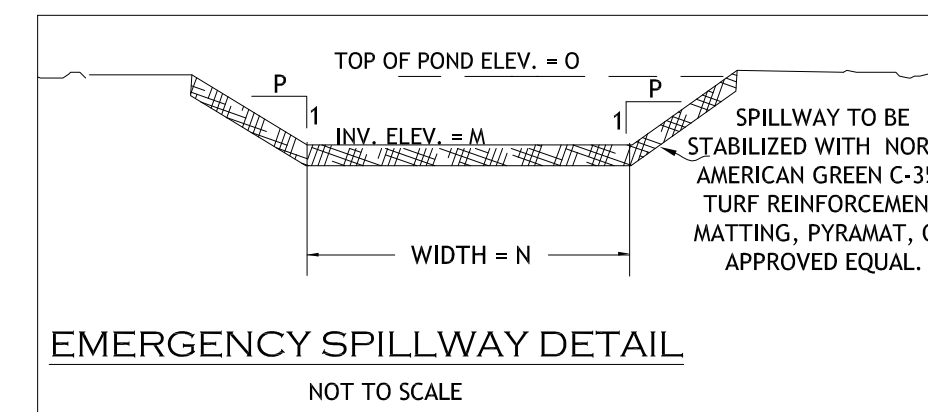
SECTION-C  
HORIZONTAL SCALE 1"=50  
VERTICAL SCALE 1"=5.00

**WET POND SEQUENCE OF CONSTRUCTION:**

1. SUBMIT LINER SPECIFICATIONS TO THE ENGINEER, GEOTECHNICAL ENGINEER, AND THE SUSSEX CONSERVATION DISTRICT FOR REVIEW AND APPROVAL.
2. ASSEMBLE CONSTRUCTION MATERIALS ON-SITE, MAKE SURE THEY MEET DESIGN SPECIFICATIONS, AND PREPARE ANY STAGING AREAS. ENSURE THAT APPROPRIATE COMPACTION AND DEWATERING EQUIPMENT IS AVAILABLE. LOCATE THE PROJECT BENCHMARK AND IF NECESSARY TRANSFER A BENCHMARK NEARER TO THE WET POND LOCATION FOR USE DURING CONSTRUCTION.
3. INSTALL EROSION AND SEDIMENT CONTROLS PRIOR TO CONSTRUCTION, INCLUDING TEMPORARY DE-WATERING DEVICES AND STORMWATER DIVERSION PRACTICES. ALL AREAS SURROUNDING THE WET POND THAT ARE GRADED OR DENUDED DURING CONSTRUCTION MUST BE PLANTED WITH TURF GRASS, NATIVE PLANTINGS, OR OTHER APPROVED METHODS OF SOIL STABILIZATION.
4. CLEAR AND STRIP THE EMBANKMENT AREA TO THE DESIRED SUB-GRADE.
5. CONSTRUCTION REVIEW BY THE THIRD PARTY CCR, THE GEOTECHNICAL ENGINEER AND THE SCD INSPECTOR SHALL BE REQUIRED DURING:
  - 5.1. EMBANKMENT CONSTRUCTION
  - 5.2. INSTALLATION OF PRIMARY CULVERTS AND CONCRETE CRADLE
  - 5.3. AFTER TEMPORARY STABILIZATION
  - 5.4. AFTER PERMANENT STABILIZATION
6. INSTALL CORE TRENCH AND CONSTRUCT EMBANKMENT.
7. INSTALL THE PRINCIPAL SPILLWAY PIPE IN ACCORDANCE WITH CONSTRUCTION SPECIFICATION OF NRCS SMALL POND CODE 378.
8. INSTALL THE OUTFLOW PIPES AND ENSURE THE INVERT OF THE OUTFLOW PIPES ARE CONSTRUCTED AT THE CORRECT DESIGN ELEVATION. INSTALL DRAWDOWN SKIMMERS FOR DURATION OF SITE DISTURBANCE.
9. EXCAVATE/GRADE UNTIL THE APPROPRIATE ELEVATION AND DESIRED CONTOURS ARE ACHIEVED FOR THE BOTTOM AND SIDE SLOPES OF THE WET POND. CONSTRUCT FOREBAYS AT THE PROPOSED INFLOW POINTS.
10. INSTALL POND LINER 1' BELOW FINAL GRADE. LINER TO BE SECURED BY A MINIMUM OF 1' OF GRANULAR MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER.
11. STABILIZE EXPOSED SOILS ADJACENT TO WALKING TRAIL WITH SEED MIXTURE NUMBER 7, AND STABILIZE POND SLOPES WITH SEED MIXTURE NUMBER 4. SEE DETAIL, SHEET 13. ALL AREAS ABOVE THE NORMAL POOL ELEVATION MUST BE PERMANENTLY STABILIZED IN ACCORDANCE WITH THE VEGETATIVE STABILIZATION SPECIFICATIONS ON THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.

**OPERATION & MAINTENANCE NOTES:**

- A) THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ENTER PRIVATE PROPERTY FOR PURPOSES OF PERIODIC SITE REVIEWS.
- B) THE DNREC SEDIMENT AND STORMWATER PROGRAM OR SUSSEX CONSERVATION DISTRICT SHALL BE NOTIFIED WITHIN 30 BUSINESS DAYS IF THE PROPERTY OWNERSHIP IS TRANSFERRED TO A NEW PERSON OR ENTITY.
- C) THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE SUSSEX CONSERVATION DISTRICT MAY SEEK ENFORCEMENT ACTION AGAINST ANY OWNER DEEMED NEGLIGENT IN FULFILLING THE OPERATION AND MAINTENANCE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS.
- D) THE DNREC SEDIMENT AND STORMWATER PROGRAM SUSSEX CONSERVATION DISTRICT SHALL BE CONTACTED IF A CONCERN ARISES REGARDING A STORMWATER MANAGEMENT FACILITY, BEFORE ANY NON-ROUTINE MAINTENANCE, OR IF MODIFICATIONS TO THE FACILITY ARE DESIRED.
- E) ANY DESIGN MODIFICATIONS MADE TO THE STORMWATER SYSTEM SHALL REQUIRE THE CREATION OF A NEW POST CONSTRUCTION STORMWATER MANAGEMENT PLAN AND/OR OPERATIONS AND MAINTENANCE PLAN, WITH APPROVAL OF THE PLAN(S) BY THE SUSSEX CONSERVATION DISTRICT SEDIMENT AND STORMWATER PROGRAM.
- F) FOR ALL STORMWATER EASEMENT AREAS (I.E., ACCESS, MAINTENANCE, OR OFFSITE) AND THE MINIMUM 15-FOOT WIDE ACCESSWAYS TO ALL STORMWATER FACILITIES AND THEIR STRUCTURAL COMPONENTS, REGULAR MOWING SHALL BE PERFORMED TO KEEP THE GRASS 6" OR LESS; NO TREES OR SHRUBS SHALL BE PLANTED, AND ANY FOUND GROWING SHALL BE REMOVED; AND NO PERMANENT STRUCTURES, SUCH AS FENCES OR SHEDS, SHALL BE LOCATED WITHIN THE EASEMENT OR ACCESSWAY.
- G) TREES SHALL NOT BE PLANTED, AND SHALL BE REMOVED IF FOUND GROWING, ON AND WITHIN 15 FEET OF ALL POND EMBANKMENTS, ON POND SLOPES OR SAFETY BENCHES, AND WITHIN 10 FEET OF STRUCTURAL COMPONENTS, SUCH AS PIPE INLETS.
- H) WHEN THE FACILITY IS EXCAVATED TO REMOVE ACCUMULATED SEDIMENT, THE DISPOSAL AREA SHALL BE PERMANENTLY STABILIZED SO THAT IT DOES NOT RECREATE AN EROSION PROBLEM. ANY MATERIAL TAKEN OFF-SITE SHALL STILL BE UTILIZED OR DISPOSED OF IN A DNREC APPROVED MANNER.
- I) BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CALL MISS UTILITY AT 811 OR 1.800.282.8555 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, TO HAVE ALL EXISTING UTILITIES MARKED ONSITE.



NOTE: AS-BUILT SURVEY OF EMERGENCY SPILLWAY IS REQUIRED, VERTICAL GRADE ELEVATION MUST BE CONSTRUCTED TO WITHIN 0.10' OF DESIGN GRADE

POND NUMBER	EMERGENCY SPILLWAY			
	INVERT M	WIDTH N	TOP OF BANK O	SIDE SLOPES P
1	11.75	6'	14.50	4

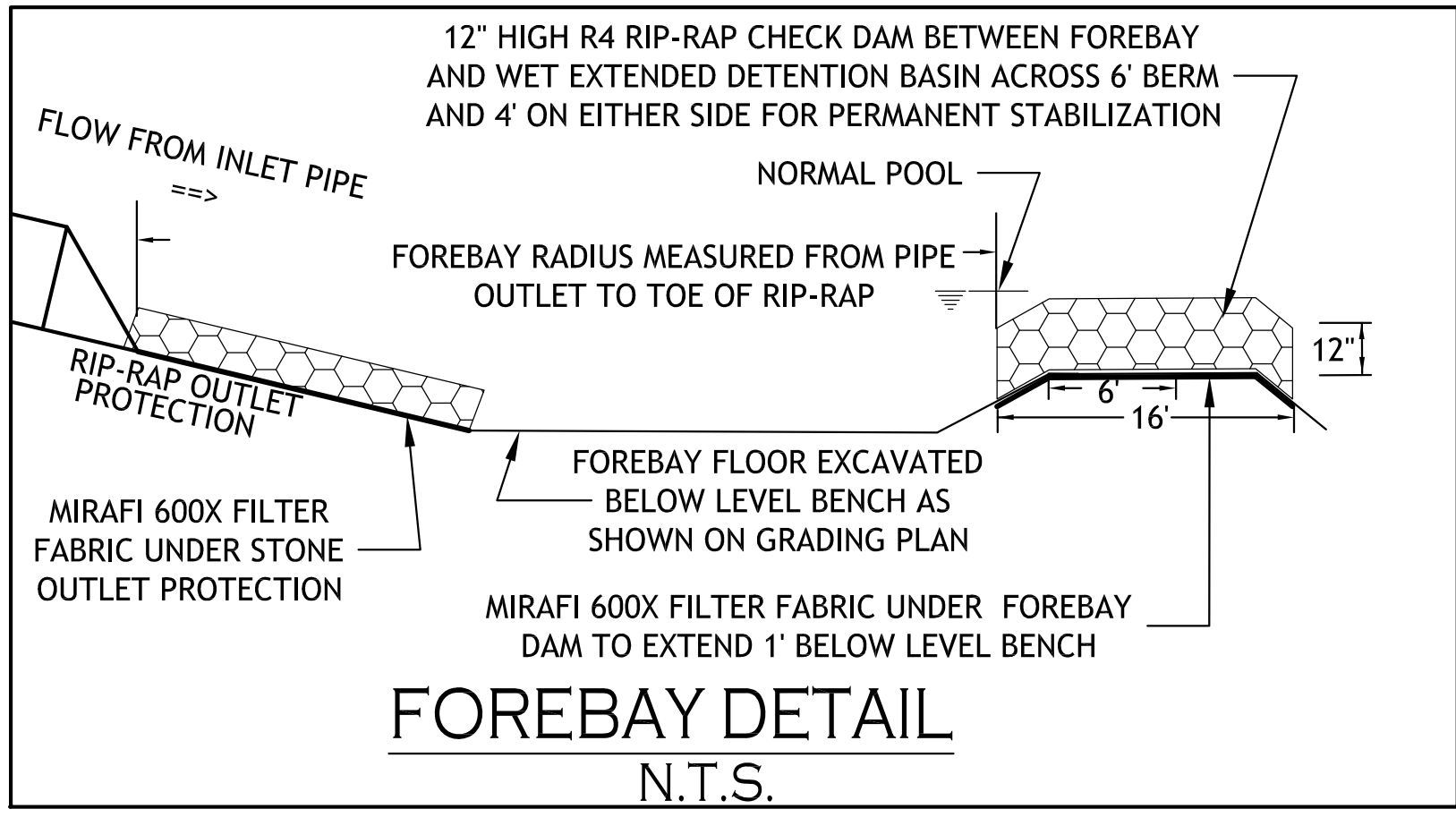
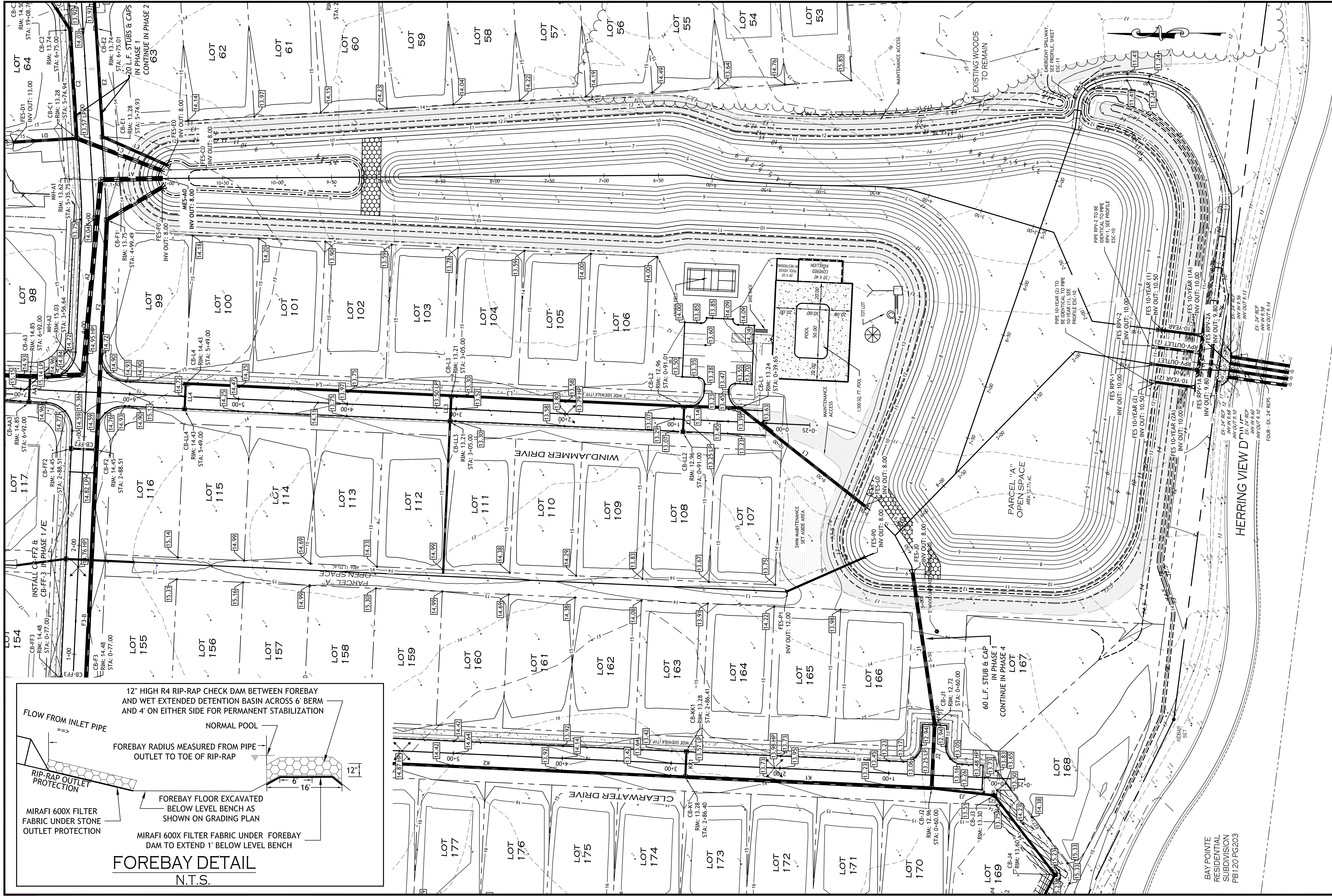
REV	DESCRIPTION OF REVISION	DATE	BY
1	REVISED PER AGENCY COMMENTS	04/17/2019	JKC
2	REVISED PER AGENCY COMMENTS	04/27/2020	JKC
3	REVISED PER AGENCY COMMENTS	04/27/2020	JKC
4	REVISED PER AGENCY COMMENTS	04/27/2020	JKC

STORMWATER MANAGEMENT POND CROSS SECTION  
CZ # 1859 - COUNTY AGREEMENT # 1099  
**WINDSWEPT @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM ENGINEERING L.L.C.**  
18 CHESTNUT STREET  
DELEWARE  
19801  
PHONE: 302.855.0812  
FAX: 302.855.0812  
WEB: WWW.AXIOMENGS.COM

ENGINEER: MKC  
DESIGNER: MKC  
DRAWN BY: EW  
CHECKED BY: MKC  
DATE: 4/17/2019  
TAX MAP: 234-12,003,00 & 6,00

PROJECT NO: 0233-1702  
DRAWING: ESC-11  
SHEET: 11 OF 16



<b>PROJECT NO:</b> 0233-1702 <b>DRAWING:</b> ESC-12 <b>SHEET:</b> 12 OF 16		<b>ENGINEER:</b> KRC <b>DESIGNER:</b> KRC <b>DRAFTER:</b> EW <b>CHECKED BY:</b> KRC <b>DATE:</b> 4/1/2019 <b>TAX MAP:</b> 23412.003.00 & 6.00		<b>REVISIONS:</b> <table border="1"> <thead> <tr> <th>REV</th> <th>DESCRIPTION OF REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>REVISED PER AGENCY COMMENTS</td> <td>04/17/2019</td> </tr> <tr> <td>2</td> <td>REVISED PER AGENCY COMMENTS</td> <td>04/17/2019</td> </tr> <tr> <td>3</td> <td>REVISED PER AGENCY COMMENTS</td> <td>04/17/2019</td> </tr> </tbody> </table>		REV	DESCRIPTION OF REVISION	DATE	1	REVISED PER AGENCY COMMENTS	04/17/2019	2	REVISED PER AGENCY COMMENTS	04/17/2019	3	REVISED PER AGENCY COMMENTS	04/17/2019
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1	REVISED PER AGENCY COMMENTS	04/17/2019															
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<b>STORMWATER POND CONSTRUCTION PLAN</b> CZ # 1859 - COUNTY AGREEMENT # 1099 <b>WINDSWEPT @ LEWES R.P.C.</b> S.C.R. 278 - ANGOLA BEACH ROAD INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE		<b>AXIOM ENGINEERING L.L.C.</b> 18 CHESTNUT STREET DELEWARE CITY, DE 19847 (302) 855-0810 FAX: 855-0812 WWW.AXIOMENGS.COM WEB: WWW.AXIOMENGS.COM															



### Standard Detail & Specifications Geotextile Dewatering Bag

**Construction Notes:**

- The dewatering bag should be placed so the incoming water flows into and through the bag, and then flows off the side without creating more erosion. The sock should be tied off tightly to stop the water from flowing out of the bag without going through the walls. The dewatering bag should be placed on a gravel bed to allow water to flow in all directions.
- The dewatering bag is considered full and should be disposed when it is impractical for the bag to filter the sediment out at a reasonable rate. At this point, it should be replaced with a new bag.
- Disposal may be accomplished on land at the construction site. If the site allows, the bag may be buried on-site and sealed, while fabric, removed and recycled or removed from site to a proper disposal area.

**Materials:**

- The geotextile fabric shall be a Type GD-IV.
- The dewatering bag shall be sewn with a double needle machine using high strength thread. All structural seams will be sewn with high strength, double stitched "J" type. Seam strength test will have the following minimum average test values:

Type	TEST METHOD	TEST RESULT
Heavy duty	ASTM D-4894	100 lb / in

3. The dewatering bag shall have an opening large enough to accommodate a four (4) inch discharge hose with attached strap to tie off the hose to prevent the pumped water from escaping from the bag without being filtered.

**Source:** Adapted from ACF Products, Inc. **Symbol:** GB **Detail No.:** DE-ESC-3.2.1.2 Sheet 1 of 2

**Effective February 2019**

### Standard Detail & Specifications Geotextile Dewatering Bag

**Construction Notes:**

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**Source:** Adapted from ACF Products, Inc. **Symbol:** GB **Detail No.:** DE-ESC-3.2.1.2 Sheet 2 of 2

**Effective February 2019**

### Standard Detail & Specifications ESC for Minor Development

**Construction Notes:**

- Develerate the Site.
  - Identify Vegetation to be Saved
  - Protect Trees and Sensitive Areas
- Install Perimeter Erosion And Sediment Controls.
  - Protect down-slope areas with vegetative filter strips.
  - Protect down-slope areas with silt fence.
  - Resist all lot access to stabilized construction entrance to prevent vehicles from tracking mud onto roadways.
  - Install silt protection on nearby storm drain inlets.
- Prepare the Site for Construction.
- Sealage and Stockpile the Topsoil/Subsoil
- Build the Structures and Install the Utilities.
- Install Downspout Extenders
- Maintain the Control Practices.
  - Maintain all erosion and sediment control practices until construction is completed and the lot is stabilized.
  - Inspect the control practices a minimum of twice a week and after each storm event, making any needed repairs immediately.
  - Redistribute the stockpiled subsoil and topsoil.
  - Seed or soil bare areas.
  - Much newly seeded areas.
- Remove Remaining Temporary Control Measures.

**Source:** Adapted from IN DNR, "Erosion Control for the Home Builder" **Symbol:** IP-1 **Detail No.:** DE-ESC-3.7.1 Sheet 1 of 2

**Effective February 2019**

### Standard Detail & Specifications ESC for Minor Development

**Construction Notes:**

- Develerate the Site.
  - Identify Vegetation to be Saved
  - Protect Trees and Sensitive Areas
- Install Perimeter Erosion And Sediment Controls.
  - Protect down-slope areas with vegetative filter strips.
  - Protect down-slope areas with silt fence.
  - Resist all lot access to stabilized construction entrance to prevent vehicles from tracking mud onto roadways.
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- Prepare the Site for Construction.
- Sealage and Stockpile the Topsoil/Subsoil
- Build the Structures and Install the Utilities.
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  - Inspect the control practices a minimum of twice a week and after each storm event, making any needed repairs immediately.
  - Redistribute the stockpiled subsoil and topsoil.
  - Seed or soil bare areas.
  - Much newly seeded areas.
- Remove Remaining Temporary Control Measures.

**Source:** Adapted from IN DNR, "Erosion Control for the Home Builder" **Symbol:** IP-2 **Detail No.:** DE-ESC-3.7.1 Sheet 2 of 2

**Effective February 2019**

### Standard Detail & Specifications Inlet Protection - Type 1

**Construction Notes:**

- Excavate completely around inlet to a depth of 18" below grate elevation.
- Drive 2" x 4" post 7" into ground at four corners of inlet. Place nail strips between posts on excavated. Assemble top portion of 2" x 4" frame using post-to-post. Top of frame level must be 6" below edge of roadway adjacent to inlet.
- Stretch wire mesh tightly around frame and fasten securely. Ends must meet at post.
- Stretch geotextile fabric tightly over wire mesh. The cloth must extend from top of frame to 18" below inlet grate elevation. Fasten securely to frame. Ends must meet at post, be overlapped and folded, then fastened down.
- Backfill around inlet in compacted 6" layers until at least 12" of geotextile fabric is buried.
- If the inlet is not in a low point, construct a compacted earth dike in the ditchline below it. The top of this dike is to be at least 6" higher from the top of frame level.
- This structure must be inspected frequently and the filter fabric replaced when clogged.

**Materials:**

- Wooden frame to be constructed of 2" x 4" construction grade lumber.
- Wire mesh must be of sufficient strength to support filter fabric with water fully impounded against it.
- Geotextile fabric: Type GD-IV

**Source:** Adapted from Erosion Draw Manual J. McCullish & Assoc. **Symbol:** IP-1 **Detail No.:** DE-ESC-3.1.5.1 Sheet 1 of 2

**Effective February 2019**

### Standard Detail & Specifications Inlet Protection - Type 1

**Construction Notes:**

- Excavate completely around inlet to a depth of 18" below grate elevation.
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- Stretch wire mesh tightly around frame and fasten securely. Ends must meet at post.
- Stretch geotextile fabric tightly over wire mesh. The cloth must extend from top of frame to 18" below inlet grate elevation. Fasten securely to frame. Ends must meet at post, be overlapped and folded, then fastened down.
- Backfill around inlet in compacted 6" layers until at least 12" of geotextile fabric is buried.
- If the inlet is not in a low point, construct a compacted earth dike in the ditchline below it. The top of this dike is to be at least 6" higher from the top of frame level.
- This structure must be inspected frequently and the filter fabric replaced when clogged.

**Materials:**

- Wooden frame to be constructed of 2" x 4" construction grade lumber.
- Wire mesh must be of sufficient strength to support filter fabric with water fully impounded against it.
- Geotextile fabric: Type GD-IV

**Source:** Adapted from Erosion Draw Manual J. McCullish & Assoc. **Symbol:** IP-1 **Detail No.:** DE-ESC-3.1.5.3 Sheet 2 of 2

**Effective February 2019**

### Standard Detail & Specifications Inlet Protection - Type 2

**Notes:**

- This product shall only be used in situations in which Inlet Protection - Type 1 cannot be used due to site conditions. These include, but are not limited to partially completed parking areas, streets, roads, etc.
- It may be necessary to transition from Type 1 to Type 2 Inlet Protection as construction proceeds.
- For areas where there is a concern for run-off or spill, insert shall meet one of the above specifications with an oil-absorbent pillow or shall be made completely from an oil-absorbent material with a woven pillow.

**Materials:**

The geotextile insert shall meet or exceed the specifications of Type GD-IV geotextile in accordance with Appendix A-3 of the Delaware Erosion & Sediment Control Handbook.

**Source:** Adapted from ACF Products, Inc. **Symbol:** IP-2 **Detail No.:** DE-ESC-3.1.5.2 Sheet 2 of 2

**Effective February 2019**

### Standard Detail & Specifications Inlet Protection - Type 2

**Notes:**

- This product shall only be used in situations in which Inlet Protection - Type 1 cannot be used due to site conditions. These include, but are not limited to partially completed parking areas, streets, roads, etc.
- It may be necessary to transition from Type 1 to Type 2 Inlet Protection as construction proceeds.
- For areas where there is a concern for run-off or spill, insert shall meet one of the above specifications with an oil-absorbent pillow or shall be made completely from an oil-absorbent material with a woven pillow.

**Materials:**

The geotextile insert shall meet or exceed the specifications of Type GD-IV geotextile in accordance with Appendix A-3 of the Delaware Erosion & Sediment Control Handbook.

**Source:** Adapted from ACF Products, Inc. **Symbol:** IP-2 **Detail No.:** DE-ESC-3.1.5.2 Sheet 2 of 2

**Effective February 2019**

### Standard Detail & Specifications Inlet Protection - Type 3

**Notes:**

- This product shall only be used in situations in which Inlet Protection - Type 1 cannot be used due to site conditions. These include, but are not limited to partially completed parking areas, streets, roads, etc.
- It may be necessary to transition from Type 1 to Type 2 Inlet Protection as construction proceeds.
- For areas where there is a concern for run-off or spill, insert shall meet one of the above specifications with an oil-absorbent pillow or shall be made completely from an oil-absorbent material with a woven pillow.

**Materials:**

The geotextile insert shall meet or exceed the specifications of Type GD-IV geotextile in accordance with Appendix A-3 of the Delaware Erosion & Sediment Control Handbook.

**Source:** Adapted from Fibres International **Symbol:** IP-3 **Detail No.:** DE-ESC-3.1.5.3 Sheet 1 of 3

**Effective February 2019**

### Standard Detail & Specifications Inlet Protection - Type 3

**Notes:**

- This product shall only be used in situations in which Inlet Protection - Type 1 cannot be used due to site conditions. These include, but are not limited to partially completed parking areas, streets, roads, etc.
- It may be necessary to transition from Type 1 to Type 2 Inlet Protection as construction proceeds.
- For areas where there is a concern for run-off or spill, insert shall meet one of the above specifications with an oil-absorbent pillow or shall be made completely from an oil-absorbent material with a woven pillow.

**Materials:**

The geotextile insert shall meet or exceed the specifications of Type GD-IV geotextile in accordance with Appendix A-3 of the Delaware Erosion & Sediment Control Handbook.

**Source:** Adapted from Fibres International **Symbol:** IP-3 **Detail No.:** DE-ESC-3.1.5.3 Sheet 2 of 3

**Effective February 2019**

### Standard Detail & Specifications Inlet Protection - Type 3

**Notes:**

- This product shall only be used in situations in which Inlet Protection - Type 1 cannot be used due to site conditions. These include, but are not limited to partially completed parking areas, streets, roads, etc.
- It may be necessary to transition from Type 1 to Type 2 Inlet Protection as construction proceeds.
- For areas where there is a concern for run-off or spill, insert shall meet one of the above specifications with an oil-absorbent pillow or shall be made completely from an oil-absorbent material with a woven pillow.

**Materials:**

The geotextile insert shall meet or exceed the specifications of Type GD-IV geotextile in accordance with Appendix A-3 of the Delaware Erosion & Sediment Control Handbook.

**Source:** Adapted from Fibres International **Symbol:** IP-3 **Detail No.:** DE-ESC-3.1.5.3 Sheet 3 of 3

**Effective February 2019**

### Standard Detail & Specifications Topsoiling

**Construction Notes:**

- Site Preparation (where Topsoil is to be added)
 

Note: When topsoiling, maintain needed erosion and sediment control practices such as diversions, grade stabilization structures, berms, dikes, waterways and sediment basins.

  - Grading - Grades on the areas to be topsoiled which have been previously established shall be maintained.
  - Liming - Where the topsoil is either highly acid or composed of heavy clay, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet). Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
  - Tilling - After the areas to be topsoiled have been brought to grade, and immediately prior to dumping and spreading the topsoil, the subgrade shall be loosened by discing or by scarifying to a depth of at least 3 inches to permit bonding of the topsoil to the subsoil. Puck by passing a bulldozer up and down over the entire surface area of the slope to create horizontal erosion check-slots to prevent topsoil from sliding down the slope.
- Topsoil Material and Application
 

Note: Topsoil salvaged from the existing site may often be used but it should meet the same standards as set forth in these specifications. The depth of topsoil to be salvaged shall be no more than the depth described as a representative profile for that particular soil type as described in the soil survey published by USDA-NRCS in cooperation with Delaware Agricultural Experiment Station.

  - Materials - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand or other soil as approved by an agronomist or soil scientist. It shall not have a mixture of controlling hardened subsoil and contain no more than 5% percent by volume of stones, stones, slag, coarse fragment, gravel, sticks, roots, twigs or other extraneous materials larger than 1-1/2 inches in diameter. Topsoil must be free of plants or plant parts of hemlock, spruce, fir, cedar, cypress, juniper, redwood, yew, holly, magnolia, or others as specified. All topsoil shall be tested by a reputable laboratory for organic matter content, pH and soluble salts. A pH of 6.0 to 7.5 and an organic content of not less than 1.5 percent by weight is required. If pH value is less than 6.0 lime shall be applied and incorporated with the topsoil to adjust the pH to 6.5 or higher. Topsoil containing soluble salts greater than 500 parts per million shall not be used.
  - Note: No soil or soil shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control unless sufficient time has elapsed to permit dissipation of toxic materials.
  - Grading - The topsoil shall be uniformly distributed and compacted to a minimum of four (4) inches. Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets. Topsoil shall not be placed where there is a stream or muddy conditions, where the subgrade is excessively wet, or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

Note: Topsoil substitutes or amendments as approved by a qualified agronomist or soil scientist, may be used in lieu of natural topsoil. Compost material used to improve the percentage of organic matter shall be provided by a certified supplier.

Compost amendments that are intended to meet specific post-construction stormwater management goals shall further meet the requirements of Appendix 3.0.B.2 Post Construction Stormwater Management BMP Standards and Specifications, Section 3.0.D.2.1 Addendums.

**Source:** USDA - NRCS **Symbol:** DE-ESC-3.4.1 **Detail No.:** DE-ESC-3.4.1 Sheet 1 of 2

**Effective February 2019**

### Standard Detail & Specifications Topsoiling

**Construction Notes (cont.)**

- Materials - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand or other soil as approved by an agronomist or soil scientist. It shall not have a mixture of controlling hardened subsoil and contain no more than 5% percent by volume of stones, stones, slag, coarse fragment, gravel, sticks, roots, twigs or other extraneous materials larger than 1-1/2 inches in diameter. Topsoil must be free of plants or plant parts of hemlock, spruce, fir, cedar, cypress, juniper, redwood, yew, holly, magnolia, or others as specified. All topsoil shall be tested by a reputable laboratory for organic matter content, pH and soluble salts. A pH of 6.0 to 7.5 and an organic content of not less than 1.5 percent by weight is required. If pH value is less than 6.0 lime shall be applied and incorporated with the topsoil to adjust the pH to 6.5 or higher. Topsoil containing soluble salts greater than 500 parts per million shall not be used.
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**Source:** USDA - NRCS **Symbol:** DE-ESC-3.4.1 **Detail No.:** DE-ESC-3.4.1 Sheet 2 of 2

**Effective February 2019**

### Standard Detail & Specifications Pumping Pit - Type 2

**Construction Notes:**

- Pit shall have a minimum bottom width of 8".
- The intake stormpipe shall be constructed by perforating a 24" to 36" diameter corrugated or PVC pipe. The perforations shall be 1/2" x 6" slots or 1" diameter holes 6" on center.
- The outside pipe shall be at least 12" larger in diameter than the inside pipe.
- After installing the stormpipes, the pit surrounding the stormpipes should then be backfilled with DE #57 aggregate. The height of the stone shall be a min. 3' above the design high water elevation in the trap or basin.
- The stormpipes should extend 12" to 18" above the design high water elevation in the trap or basin.

**NOTE:** If discharge will be pumped directly to a storm drainage system, the stormpipe must be wrapped with Type GD-IV geotextile fabric before installation. If desired, 1/2" heavy-duty cloth may be placed around the stormpipe, prior to attaching the geotextile fabric. This will increase the rate of water seepage into the pipe.

**Source:** Adapted from MD Sds. & Specs. for ESC **Symbol:** PP-2 **Detail No.:** DE-ESC-3.2.2.2 Sheet 1 of 2

**Effective February 2019**

### Standard Detail & Specifications Pumping Pit - Type 2

**Construction Notes:**

- Pit shall have a minimum bottom width of 8".
- The intake stormpipe shall be constructed by perforating a 24" to 36" diameter corrugated or PVC pipe. The perforations shall be 1/2" x 6" slots or 1" diameter holes 6" on center.
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**Source:** Adapted from MD Sds. & Specs. for ESC **Symbol:** PP-2 **Detail No.:** DE-ESC-3.2.2.2 Sheet 2 of 2

**Effective February 2019**

### Standard Detail & Specifications Culvert Inlet Protection

**Construction Notes:**

- Compost logs shall be designed and installed in accordance with the Standard Detail and Specifications for Compost Logs (DE-ES-3.1.7).
- If compost logs can not be installed properly or flow conditions exceed the design capabilities of the compost logs, the stone option shall be employed. Additional filtration may be provided by using a Type GD-IV geotextile incorporated into the design as an option.
- Placement of the compost log or stone barrier should be in a "toeshoe" shape and provide a minimum of 6 feet of clearance from the culvert inlet.

**Materials:**

- Slabs: 2" x 2" x 36" hardwood.
- Compost media - See requirements in Standard Detail and Specifications for Compost Logs (DE-ES-3.1.7).
- Filter socks - See requirements in Standard Detail and Specifications for Compost Logs (DE-ES-3.1.7).
- Geotextile: Type GD-IV for stone/leap option.
- Stone: DE No. 3 for stone/leap option.
- Riprap: R-6 for stone/leap option.

**Source:** Adapted from VA ESC Handbook & Fibres International **Symbol:** CIP **Detail No.:** DE-ESC-3.1.6 Sheet 1 of 2

**Effective February 2019**

### Standard Detail & Specifications Culvert Inlet Protection

**Construction Notes:**

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- Placement of the compost log or stone barrier should be in a "toeshoe" shape and provide a minimum of 6 feet of clearance from the culvert inlet.

**Materials:**

- Slabs: 2" x 2" x 36" hardwood.
- Compost media - See requirements in Standard Detail and Specifications for Compost Logs (DE-ES-3.1.7).
- Filter socks - See requirements in Standard Detail and Specifications for Compost Logs (DE-ES-3.1.7).
- Geotextile: Type GD-IV for stone/leap option.
- Stone: DE No. 3 for stone/leap option.
- Riprap: R-6 for stone/leap option.

**Source:** Adapted from VA ESC Handbook & Fibres International **Symbol:** CIP **Detail No.:** DE-ESC-3.1.6 Sheet 2 of 2

**Effective February 2019**

EROSION & SEDIMENT CONTROL DETAILS

CZ # 1859 - COUNTY AGREEMENT # 1099  
WINDSWEPT @ LEWES R.P.C.  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

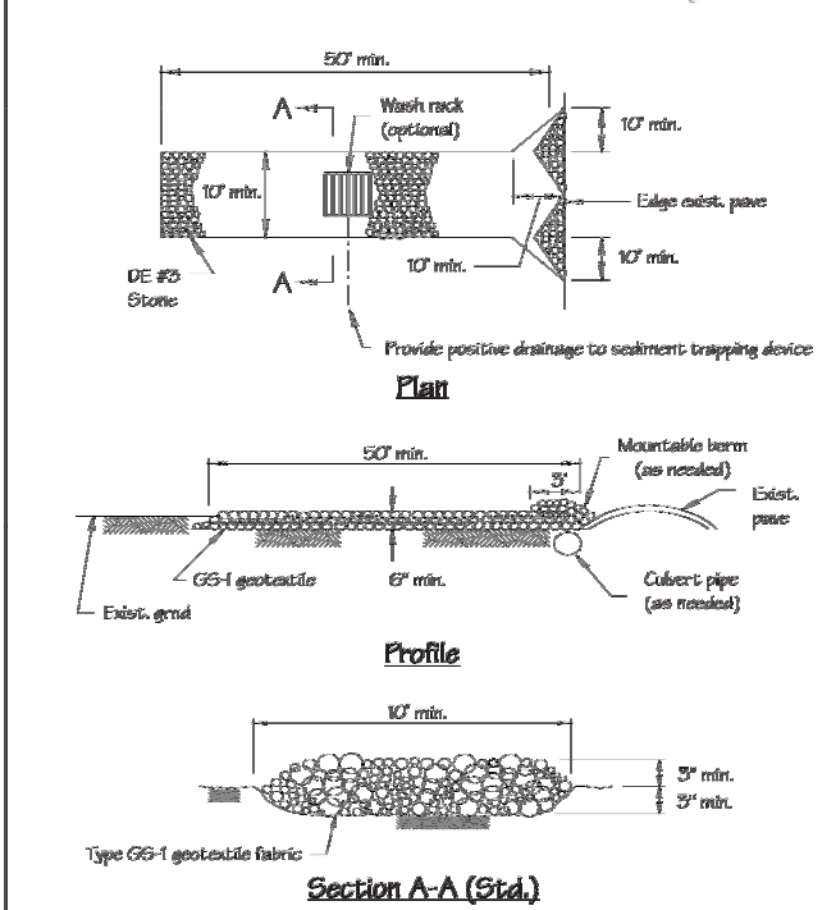
Axiom Engineering L.L.C.  
16 CHESTNUT STREET, SUITE DE 19947  
LEWES, DE 19947  
PHONE: 302.855.0812  
FAX: 855.0812  
WWW.AXIOMENGINEERING.COM

DESIGNER: KRC  
CHECKED BY: EKW  
DATE: 4/1/2019  
TAX MAP: 234-1003.00 6. 00

PROJECT NO: 0233-1702  
DRAWING: ESC-14  
SHEET: 14 OF 16

11853  
No. 11853  
APPROVED  
DATE: 4/1/2019  
SCALE: AS SHOWN

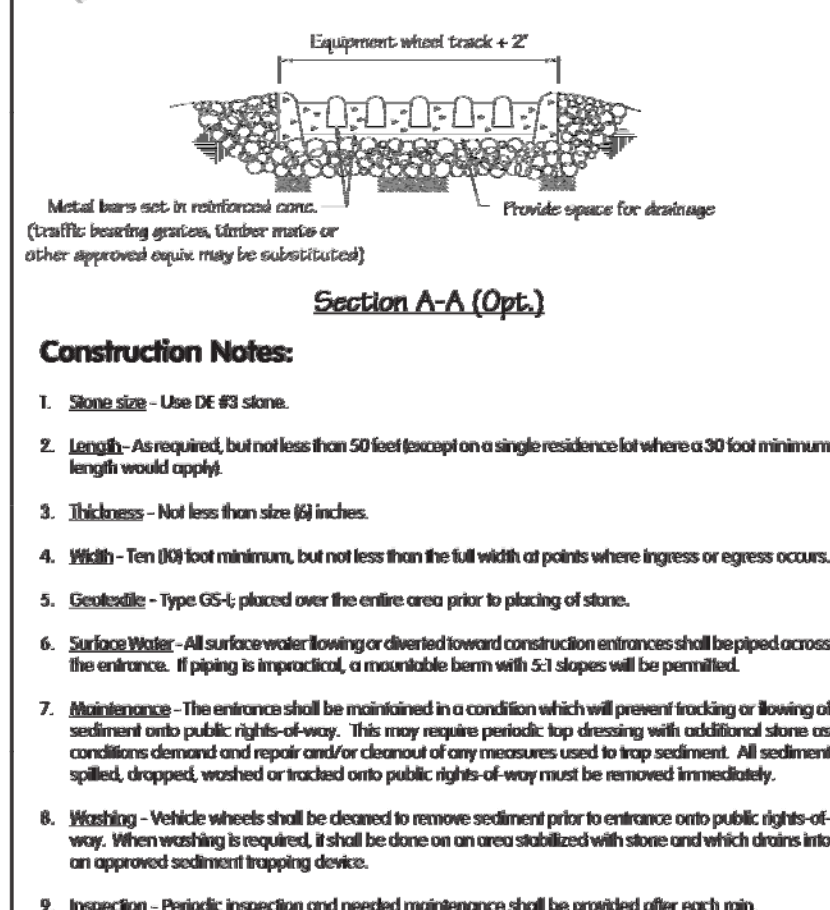
Standard Detail & Specifications  
Stabilized Construct. Entrance



Source: Adapted from VA ESC Handbook  
Symbol: SCE  
Detail No. DE-ESC-3.4.7  
Sheet 1 of 2

Effective February 2019

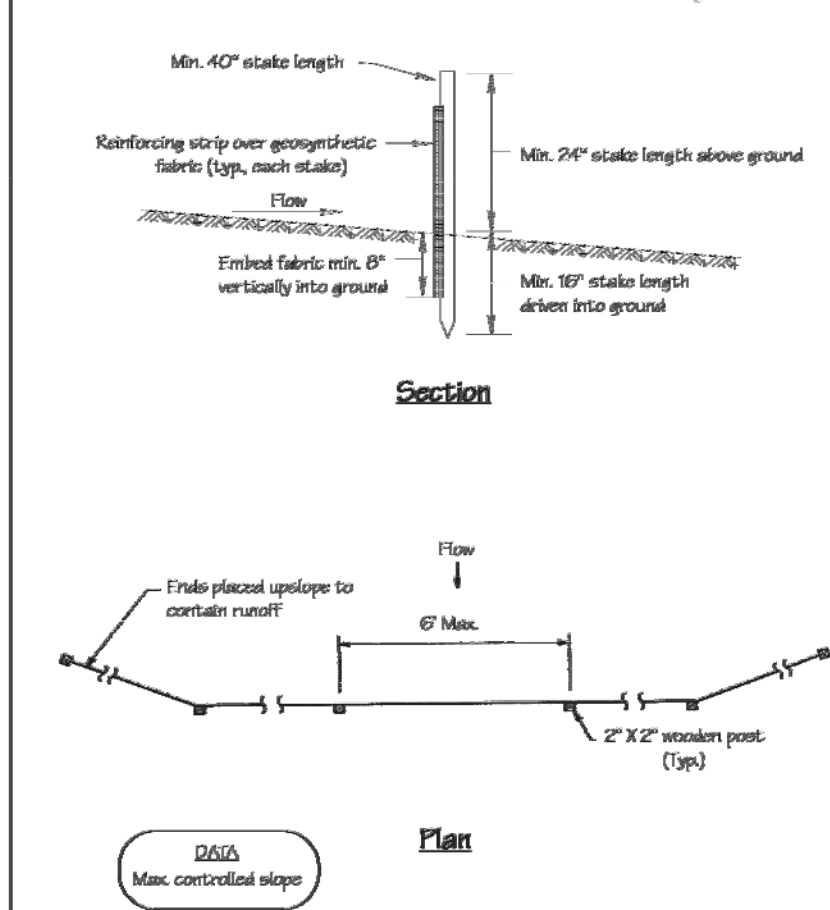
Standard Detail & Specifications  
Stabilized Construct. Entrance



Source: Adapted from VA ESC Handbook  
Symbol: SCE  
Detail No. DE-ESC-3.4.7  
Sheet 2 of 2

Effective February 2019

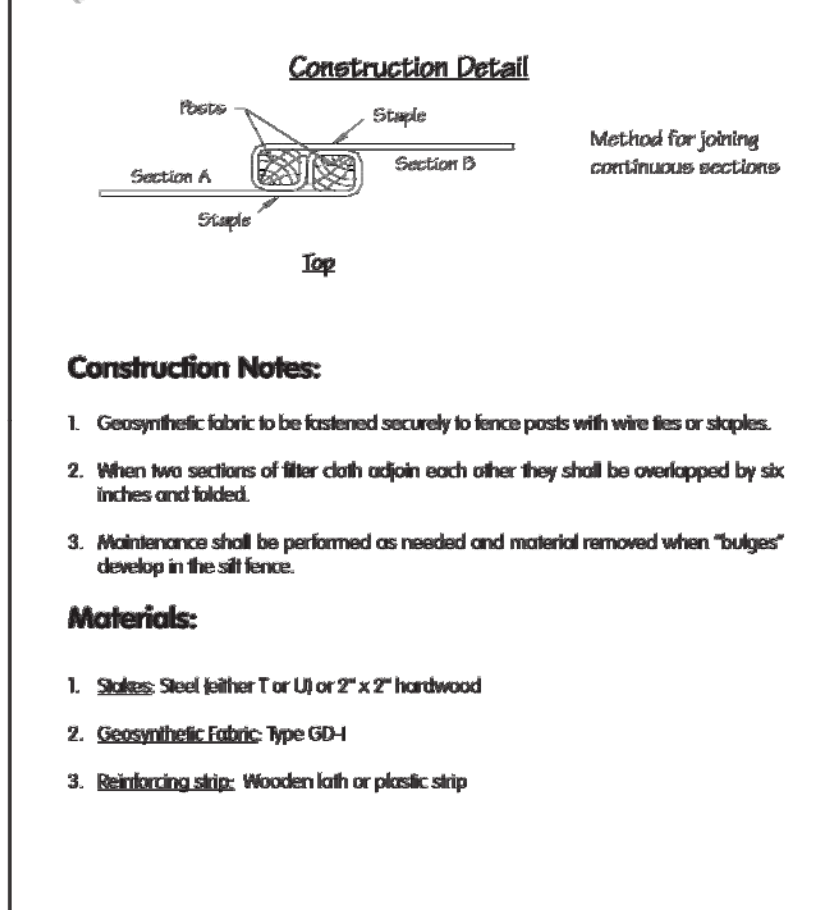
Standard Detail & Specifications  
Silt Fence



Source: Adapted from MD Sds. & Specs. for ESC  
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Sheet 1 of 2

Effective February 2019

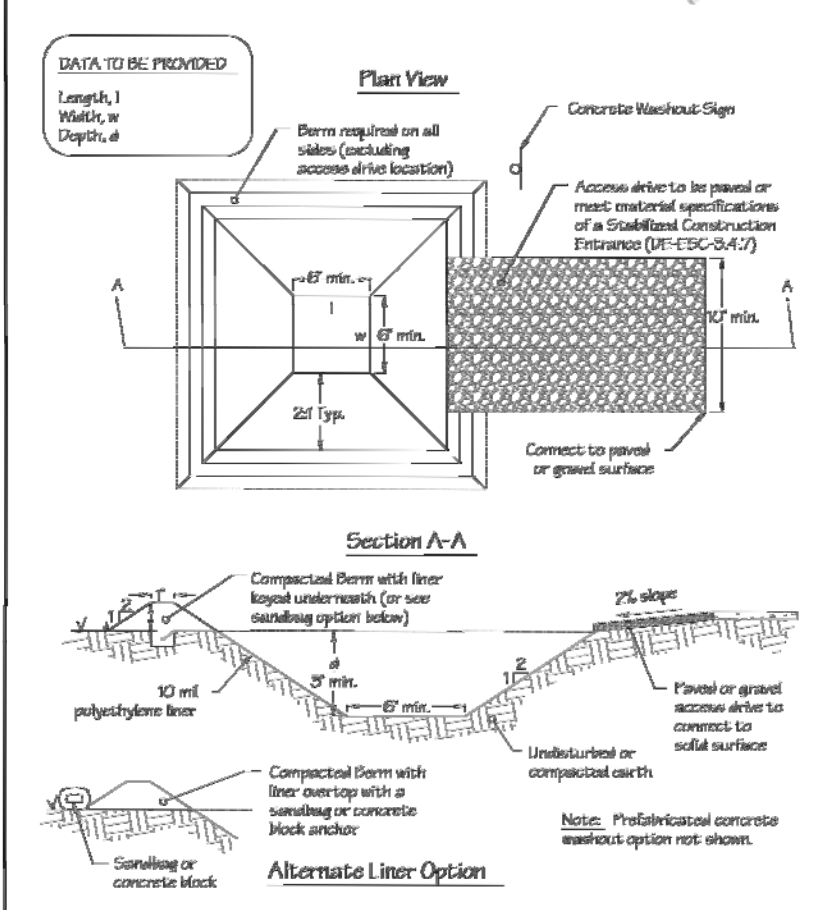
Standard Detail & Specifications  
Silt Fence



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Sheet 2 of 2

Effective February 2019

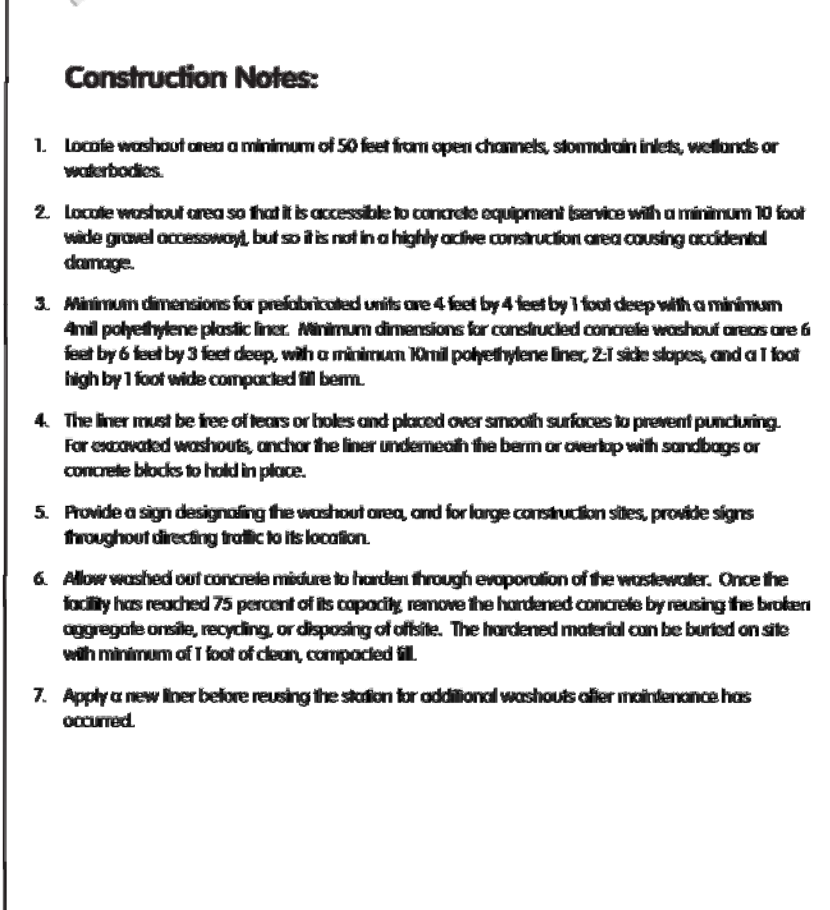
Standard Detail & Specifications  
Concrete Washout



Source: Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3  
Symbol: CW  
Detail No. DE-ESC-3.6.2  
Sheet 1 of 2

Effective February 2019

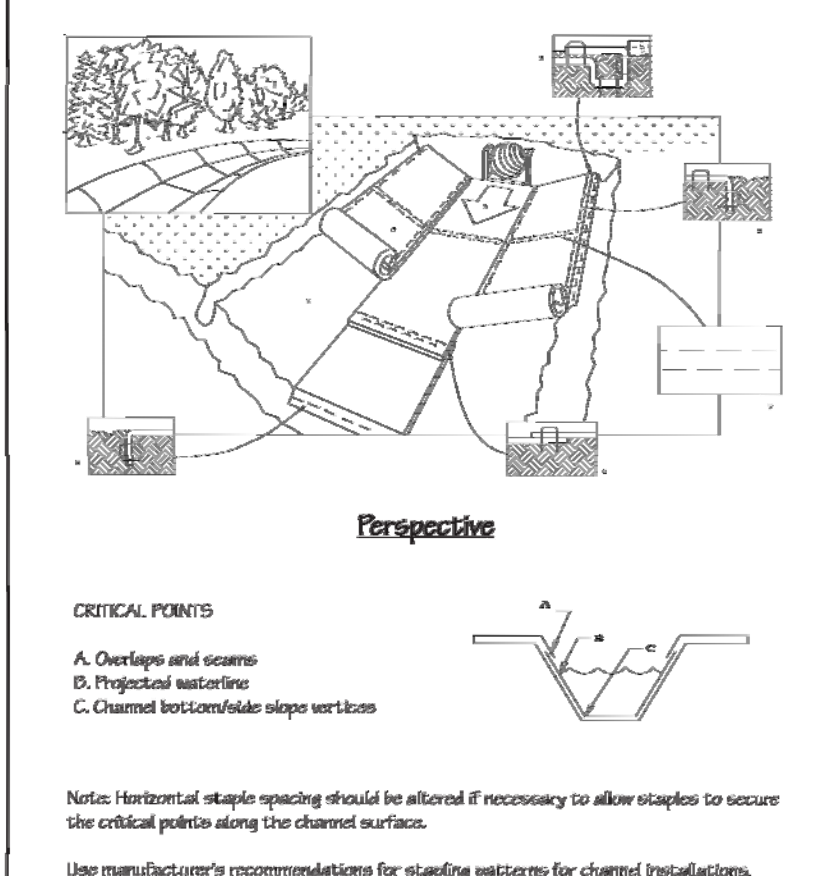
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Concrete Washout



Source: Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3  
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Sheet 2 of 2

Effective February 2019

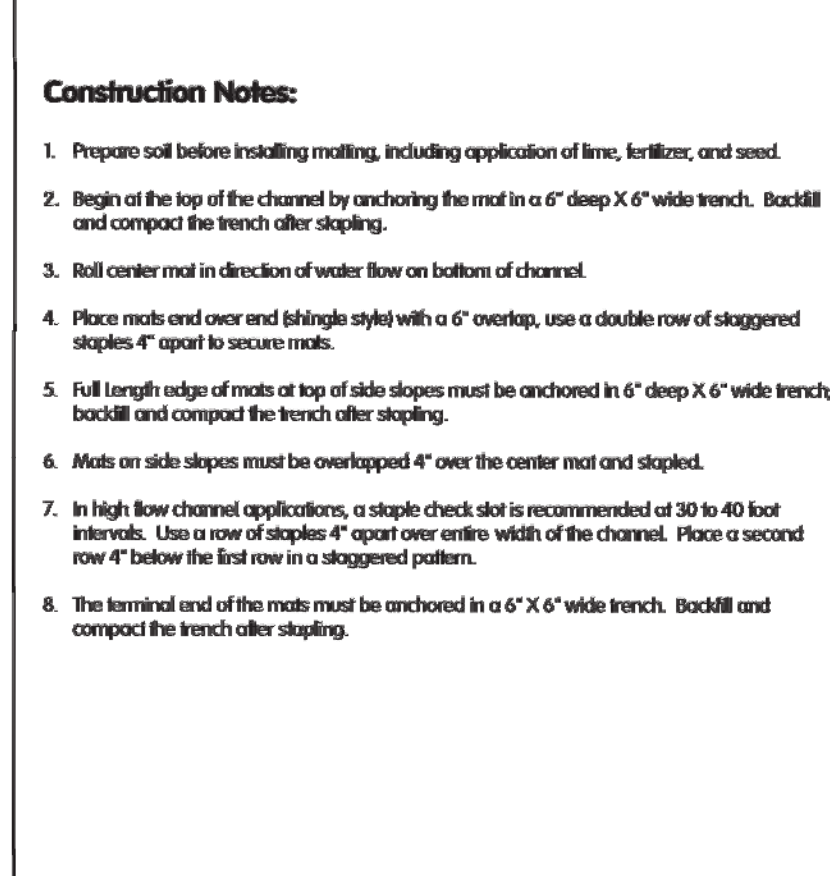
Standard Detail & Specifications  
Stabilization Matting - Channel



Source: Adapted from North American Green, Inc.  
Symbol: SM-C  
Detail No. DE-ESC-3.4.6.2  
Sheet 1 of 3

Effective February 2019

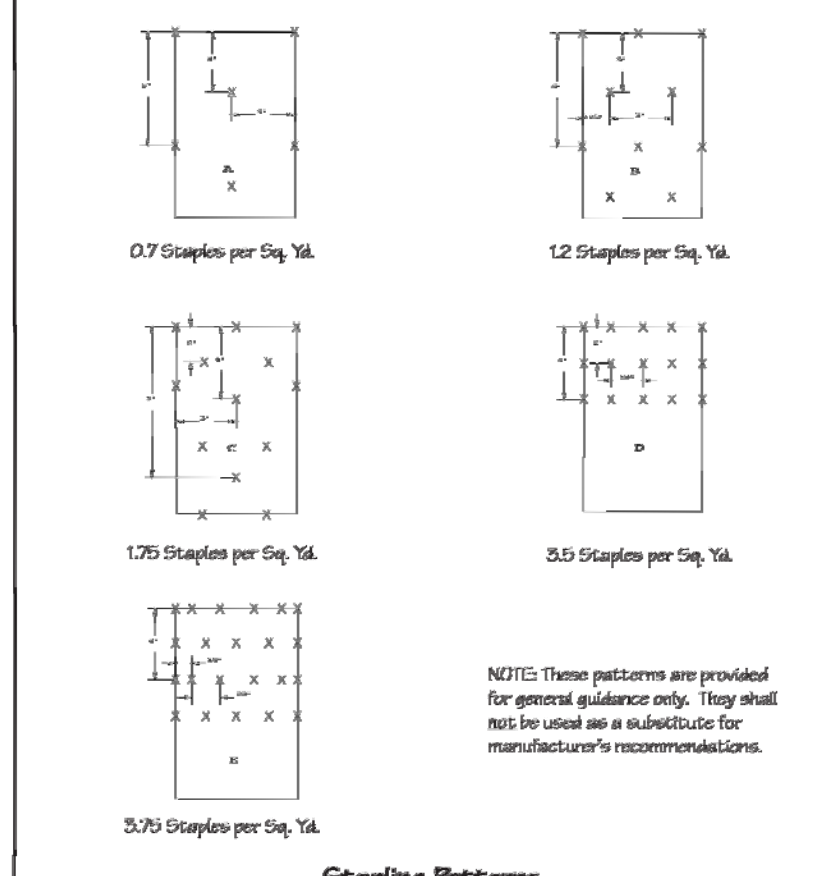
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Source: Adapted from North American Green, Inc.  
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Sheet 2 of 3

Effective February 2019

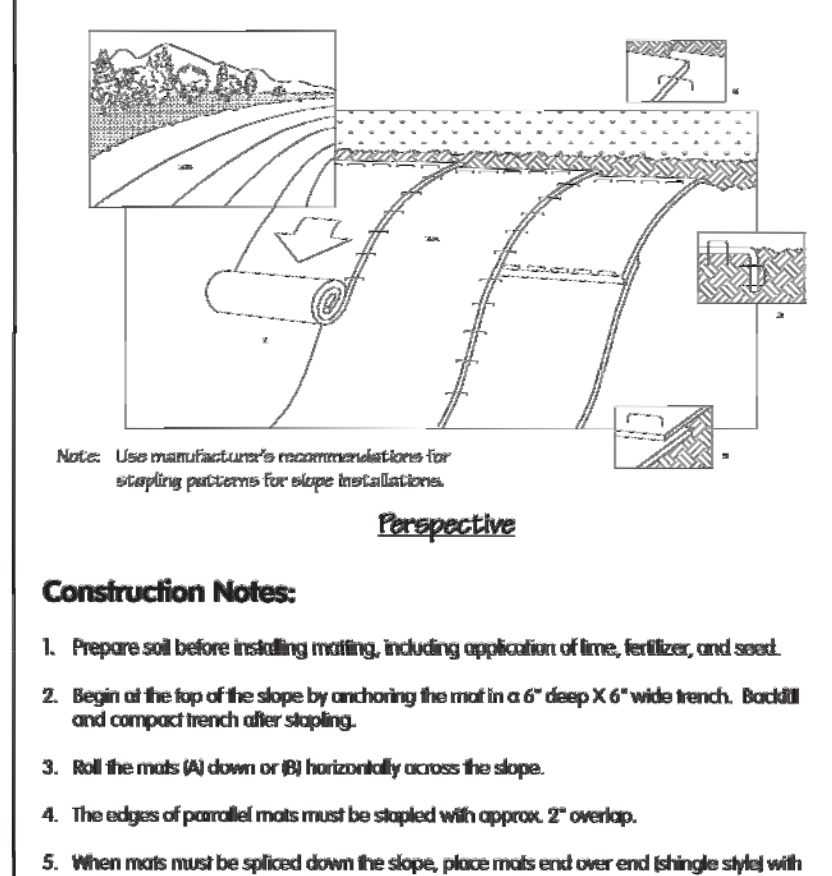
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Sheet 3 of 3

Effective February 2019

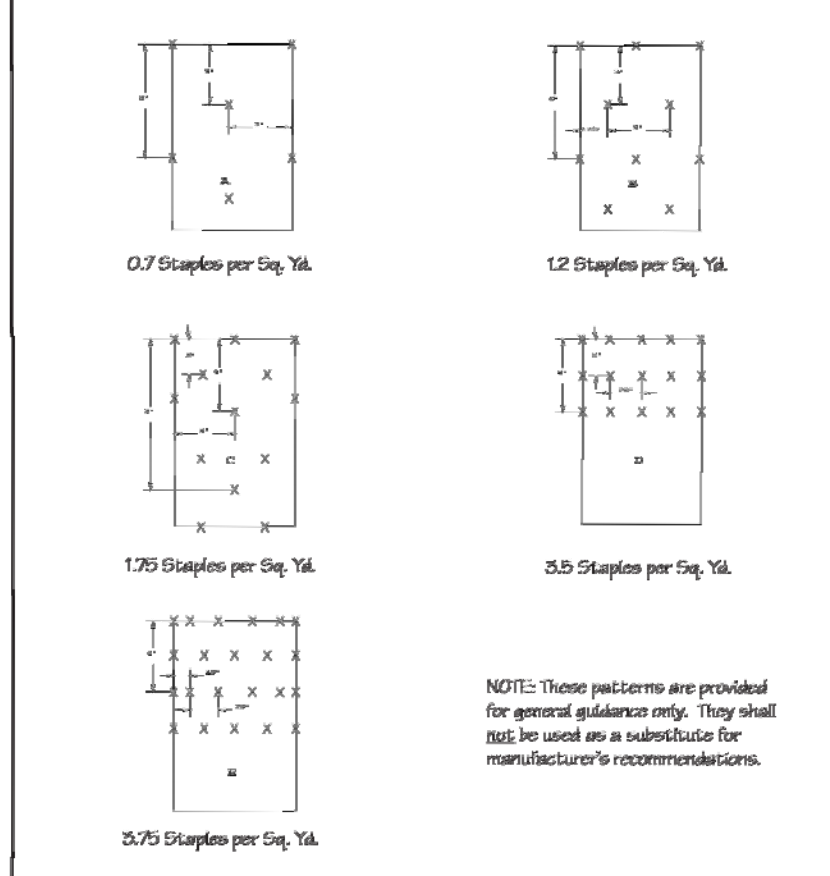
Standard Detail & Specifications  
Stabilization Matting - Slope



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Sheet 1 of 2

Effective February 2019

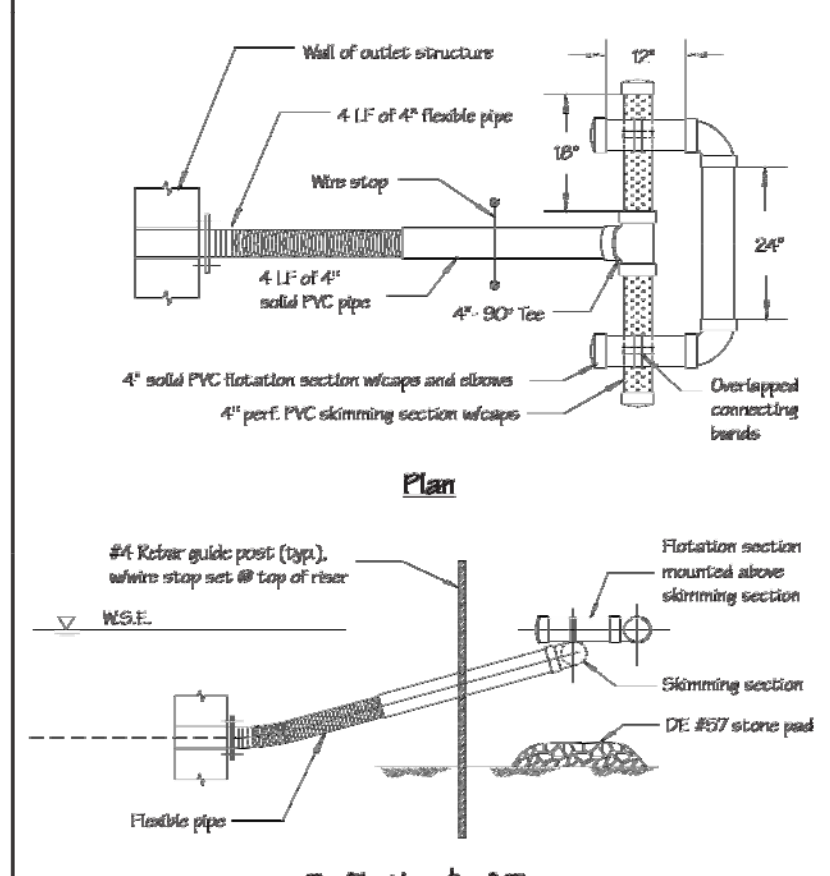
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Sheet 2 of 2

Effective February 2019

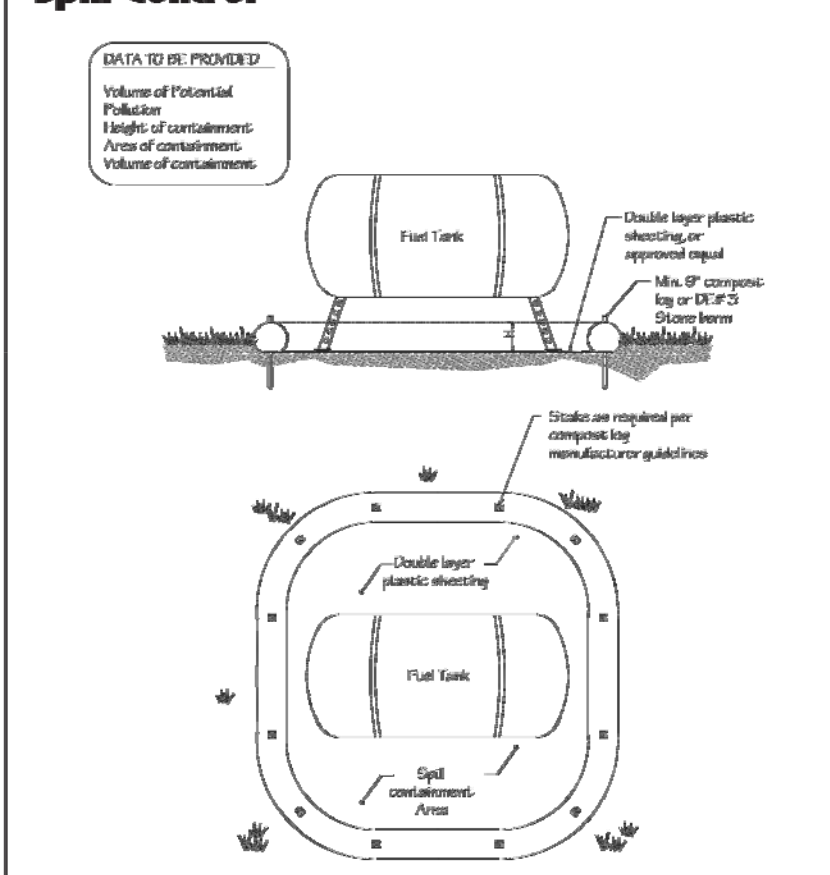
Standard Detail & Specifications  
Skimmer Dewatering Device



Source: Adapted from drawing by Vandemark & Lynch, Inc.  
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Detail No. DE-ESC-3.2.3.1  
Sheet 1 of 2

Effective February 2019

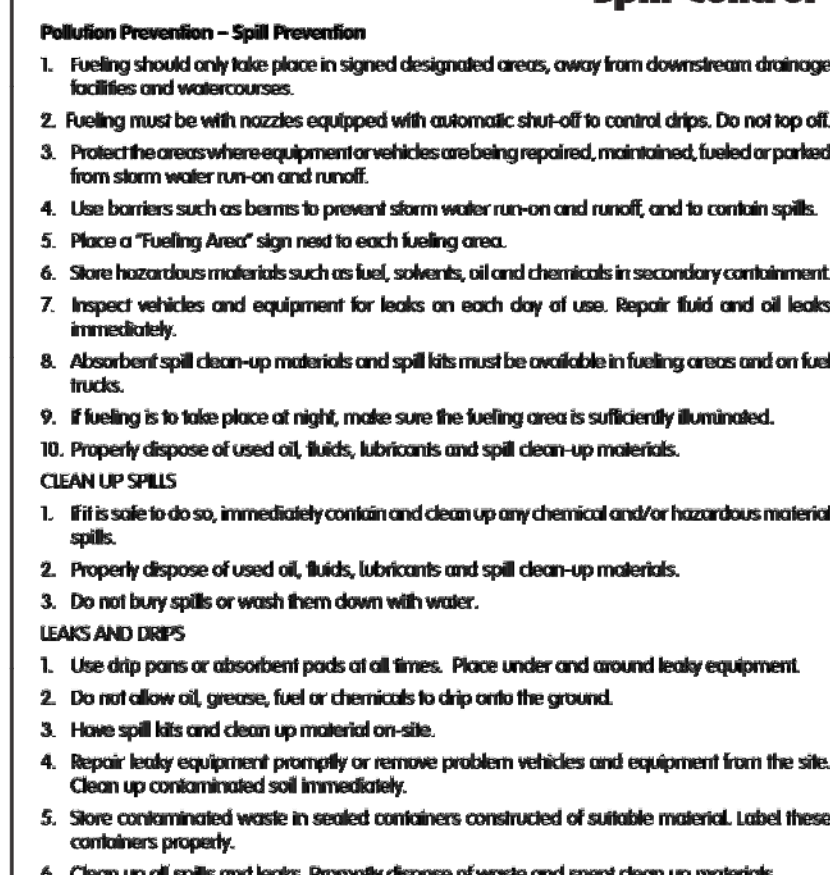
Standard Detail & Specifications  
Construction Site Waste Mgt & Spill Control



Source: Delaware ESC Handbook  
Symbol: DE-ESC-3.6.1  
Detail No. DE-ESC-3.6.1  
Sheet 1 of 5

Effective February 2019

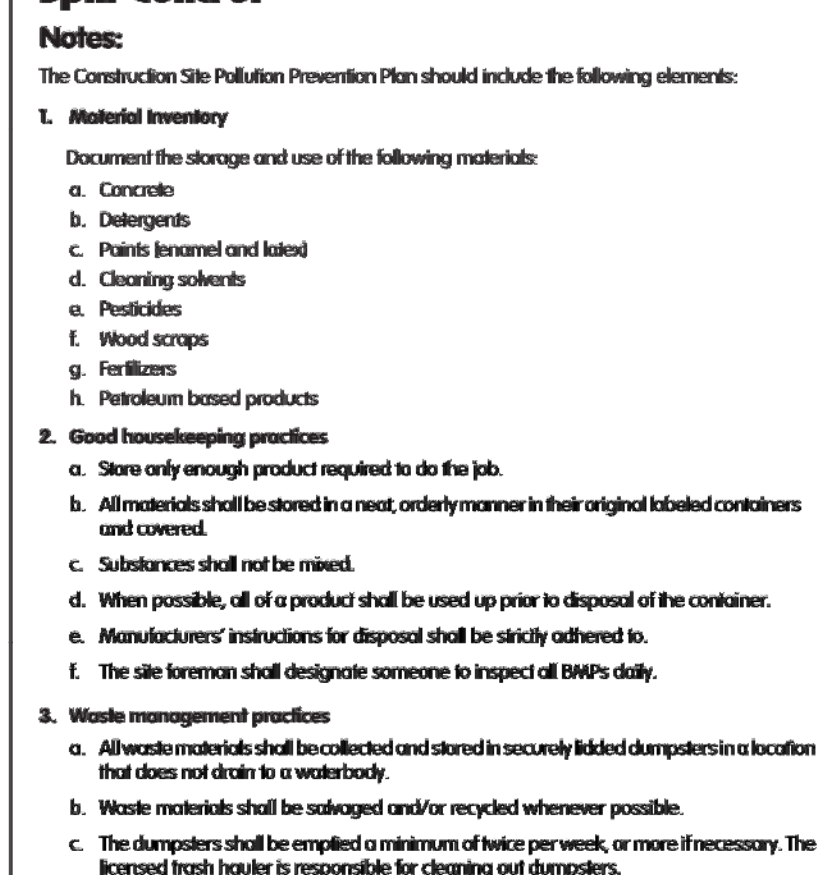
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Construction Site Waste Mgt & Spill Control



Source: Delaware ESC Handbook  
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Detail No. DE-ESC-3.6.1  
Sheet 2 of 5

Effective February 2019

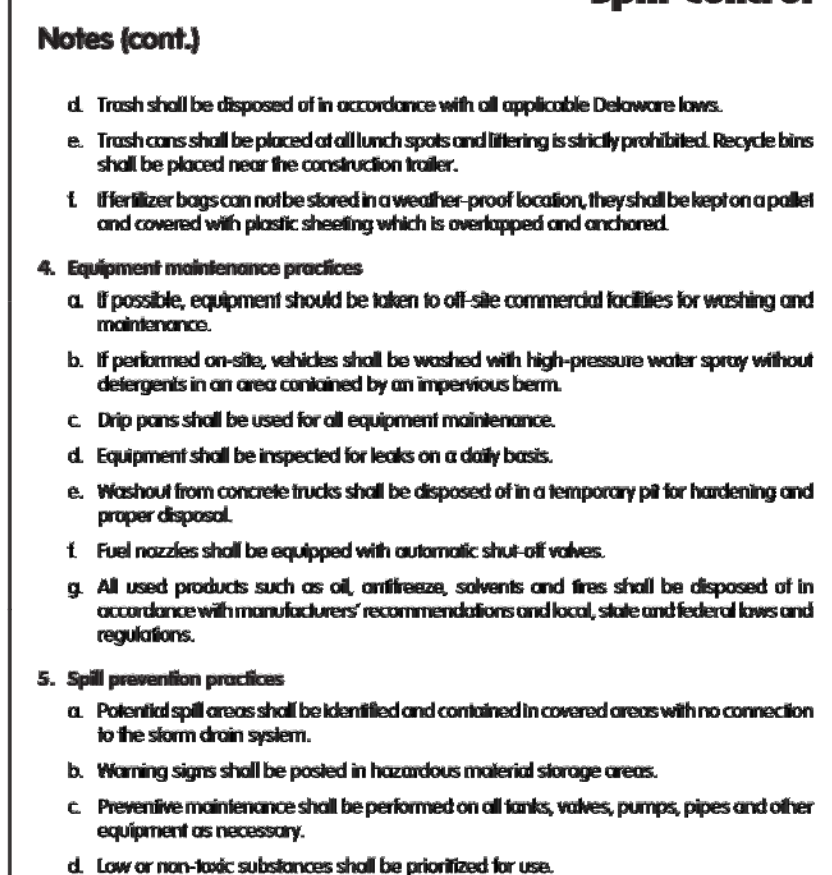
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Construction Site Waste Mgt & Spill Control



Source: Adapted from USEPA Pub. 840-B-92-022  
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Sheet 3 of 5

Effective February 2019

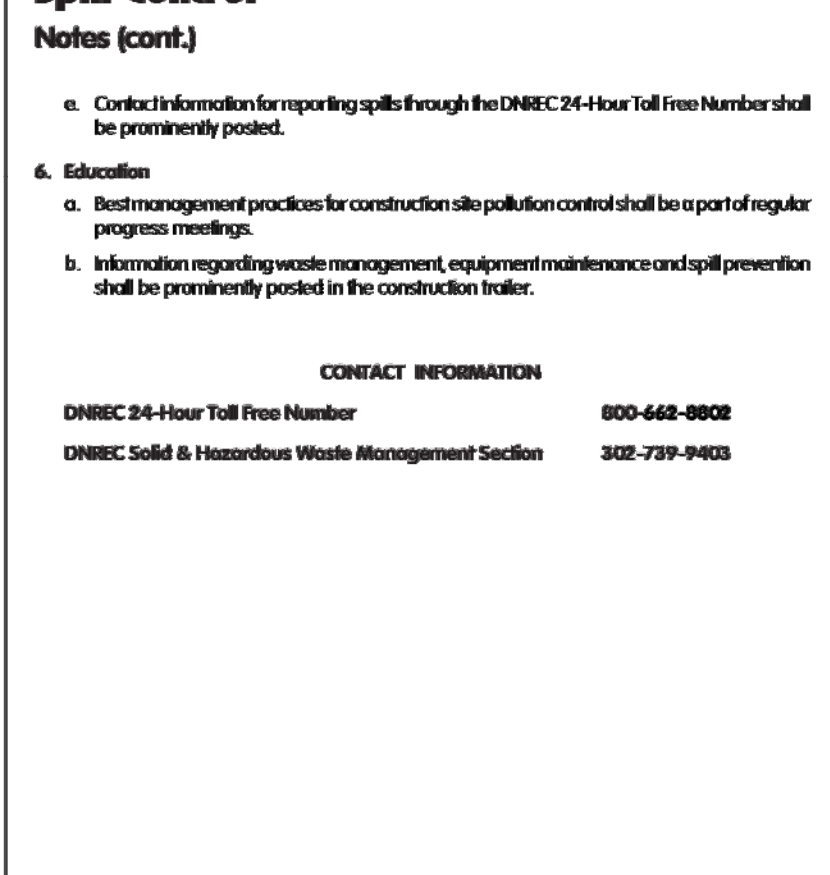
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Construction Site Waste Mgt & Spill Control



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Sheet 4 of 5

Effective February 2019

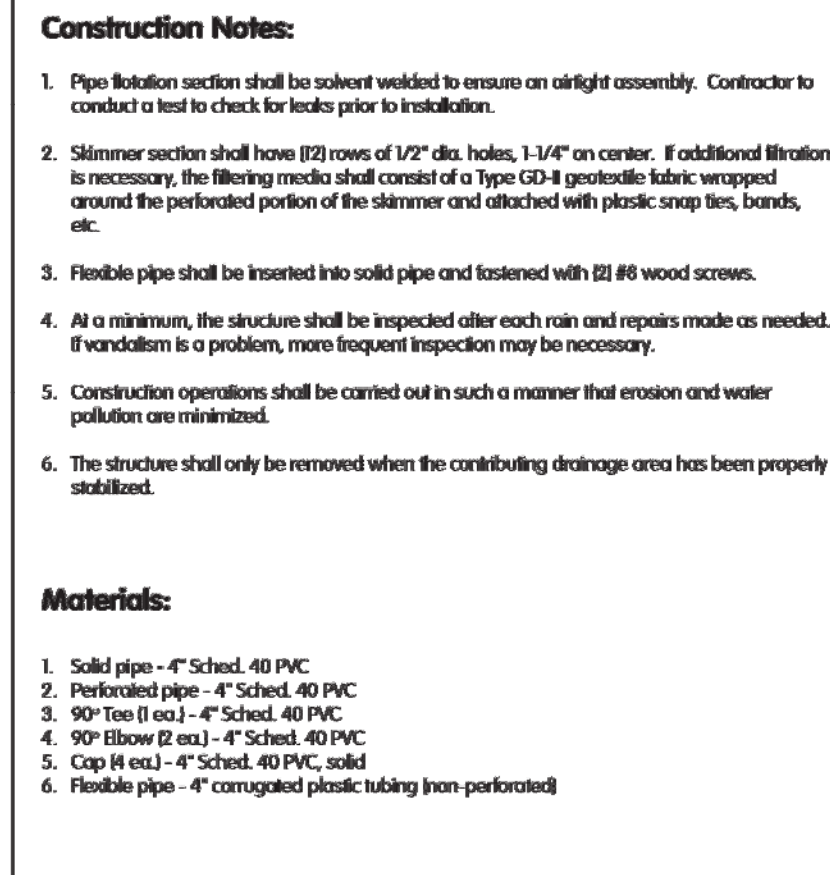
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Construction Site Waste Mgt & Spill Control



Source: Adapted from USEPA Pub. 840-B-92-022  
Symbol: DE-ESC-3.6.1  
Detail No. DE-ESC-3.6.1  
Sheet 5 of 5

Effective February 2019

Standard Detail & Specifications  
Skimmer Dewatering Device



Source: Delaware ESC Handbook  
Symbol: SDD  
Detail No. DE-ESC-3.2.3.1  
Sheet 2 of 2

Effective February 2019

EROSION & SEDIMENT CONTROL DETAILS  
PROJECT NO: 0233-1702  
DRAWING: ESC-15  
SHEET: 15 OF 16  
AXIOM ENGINEERING L.L.C.  
16 CHESTNUT STREET, SUITE 1100 DE 19847  
PH: 302.855.0812 FAX: 302.855.0812  
WWW.AXIOMENGINEERING.COM

GENERAL NOTES:

- 1) THESE CONSTRUCTION DRAWINGS ARE FOR THE CONSTRUCTION OF GRADING, STORMWATER MANAGEMENT, AND SEDIMENT & EROSION CONTROL.
2) THE BOUNDARY & TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAT ARE THE RESULT OF A SURVEY PERFORMED BY AXIOM ENGINEERING, LLC.
3) THE PROPERTY SERVED BY THESE CONSTRUCTION PLANS ARE REFERENCED AS TAX MAP 234-12.00-3.00 & 6.00.
4) THESE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED IN ACCORDANCE WITH THE SUSSEX CONSERVATION DISTRICT, DELAWARE STATE FIRE MARSHAL'S OFFICE, SUSSEX COUNTY ENGINEERING DEPARTMENT, DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL (SEWER) AND THE STATE FIRE MARSHAL'S OFFICE.
5) EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION.
6) THE SITE SHALL BE GRADED TO THE FINAL ELEVATIONS SHOWN ON THE GRADING PLAN PREPARED BY THE ENGINEER.
7) THE CONTRACTOR WILL BE RESPONSIBLE FOR CLEARING AND GRADING AND GRUBBING THE SITE TO LIMITS SHOWN ON THE PLANS.
8) THE CONTRACTOR SHALL EXERCISE CARE AND CONSIDERATION IN CONSTRUCTION IN THE VICINITY OF ADJACENT PROPERTY OWNERS.
9) ALL DISTURBED R.O.W./PROPERTY CORNER MONUMENTS ARE TO BE REPLACED AND VERIFIED BY A PROFESSIONAL ENGINEER OR A REGISTERED PROFESSIONAL LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
10) CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO ORDERING AND/OR FABRICATION OF ANY MATERIALS.
11) CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
12) CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK. HE WILL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCE OF CONSTRUCTION.
13) CONTRACTOR SHALL PATCH, REPAIR AND FINISH ALL DAMAGED SURFACES CAUSED BY THE WORK, USING MATERIALS OF THE SAME KIND.
14) FABRICATION AND INSTALLATION OF ALL MATERIALS, FINISHES, ETC. SHALL BE IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
15) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL INSTALLED PIPING UNTIL THE COMPLETION OF CONSTRUCTION OF THE PROJECT, PIPES WITH SHALLOW COVER SHALL BE PROTECTED FROM DAMAGE BY CONSTRUCTION MACHINERY WITH ADEQUATE TEMPORARY COVER.
16) ALL DIMENSIONS ARE TO THE CENTERLINE OF THE UTILITY UNLESS OTHERWISE NOTED.
17) NOTE: RCP REFERS TO CLASS III REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED.
18) THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND REPAIR ALL EROSION AND SEDIMENT CONTROL PRACTICES DURING CONSTRUCTION AND UTILITY INSTALLATION.
19) TEMPORARY METHODS OF DUST CONTROL:
A) MULCHES-SEE STANDARD AND SPECIFICATIONS FOR MULCHING.
B) VEGETATIVE COVER-SEE STANDARD AND SPECIFICATIONS FOR TEMPORARY SEEDING.
C) SPRAY-ON ADHESIVES-USE ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS).
D) TILLAGE-THIS IS AN EMERGENCY (TEMPORARY) PRACTICE THAT WILL SCARIFY THE SOIL SURFACES AND PREVENT OR REDUCE THE AMOUNT OF BLOWING DUST.
E) SPRINKLING-THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT.
F) BARRIERS-SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
G) CALCIUM CHLORIDE-APPLY BY PELLETED OR GRANULAR MATERIAL WITH SPREADER AT A RATE THAT WILL KEEP THE SOIL SURFACE MOIST, REAPPLY AS NECESSARY.
PERMANENT METHODS OF DUST CONTROL
A) PERMANENT VEGETATION-SEE STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION WITH PERMANENT SEEDING AND VEGETATIVE STABILIZATION WITH SOD.
B) TOPSOILING-COVER WITH LESS EROSION SOIL MATERIALS. SEE STANDARD AND SPECIFICATIONS FOR TOPSOILING.

SEQUENCE OF CONSTRUCTION - PHASES 1 & 2:

- A) THE POND IS REQUIRED TO HAVE A BENTONITE LINER OR PVC LINER WITH RELIEF VALVES. CONTRACTOR TO PROVIDE PROPOSED POND LINER TO THE ENGINEER, THE GEOTECHNICAL ENGINEER AND THE SUSSEX CONSERVATION DISTRICT FOR REVIEW AND APPROVAL.
B) NOTIFY THE SUSSEX CONSERVATION DISTRICT SEDIMENT AND STORMWATER PROGRAM IN WRITING AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE A PRE-CONSTRUCTION MEETING.
C) A THIRD PARTY CCR WILL BE REQUIRED TO INSPECT THE PROJECT IN ACCORDANCE WITH SUSSEX CONSERVATION DISTRICT REQUIREMENTS.
D) NOTIFY MISS UTILITY THREE (3) DAYS PRIOR TO COMMENCING CONSTRUCTION.
E) SITE LAYOUT SHOULD BE CHECKED AGAINST THE PLAN. CHECK CRUCIAL ELEVATIONS OF SITE DISCHARGE POINTS.
F) INSTALL STABILIZED CONSTRUCTION ENTRANCE.
G) THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE.
H) CONTRACTOR TO BEGIN CLEARING AND GRUBBING OF THE AREA TO RECEIVE THE STORMWATER MANAGEMENT FACILITIES.
I) CONSTRUCTION REVIEW BY THE THIRD PARTY CCR, THE GEOTECHNICAL ENGINEER AND THE SCD INSPECTOR SHALL BE REQUIRED DURING:
J) INSTALL POND LINER 1' BELOW FINISHED POND GRADE TO 1' ABOVE THE POND LEVEL BENCH.
K) CONSTRUCT CLAY CORE TRENCH IN POND EMBANKMENT AREA IN ACCORDANCE WITH POND CODE 378.
L) PERFORM ANY ADDITIONAL CLEARING AND GRUBBING OPERATIONS WITHIN THE PHASE 1 LIMITS OF DISTURBANCE SHOWN ON SHEET SWM-1.
M) IMMEDIATELY FOLLOWING ESTABLISHMENT OF THE TOP SOIL STOCKPILE AREA, CONSTRUCT SILT FENCE AROUND THE STOCKPILE PERIMETER.
N) ROUGH GRADE PHASE 1-A.
O) INSTALL SANITARY SEWER PUMP STATION
P) STABILIZE PHASE 1-B TO THE SATISFACTION OF THE SUSSEX CONSERVATION DISTRICT INSPECTOR.
Q) UPON COMPLETION OF PHASE 1-A & 2-B ROAD GRADING, INSTALL THE FOLLOWING:
R) AS BUILDING OPERATIONS PROCEED, THE DISTURBED SURFACE AREAS SHALL BE RESHAPED AND SLOPED TOWARDS CATCH BASINS AND SEDIMENT BASIN.
S) MAINTAIN ALL SOIL EROSION CONTROL DEVICES DURING ENTIRE CONSTRUCTION PERIOD.
T) COORDINATE ALL WORK WITH OTHER RELATED CONSTRUCTION.
U) HAUL IN PAVING.
V) GRADE TO FINISH GRADES.
W) PHASE 2-A ROAD GRADING OCCURS IN PHASE 1-A.
ADDITIONAL PHASES (SEE PHASING PLAN, SHEET SWM-1)
X) PRIOR TO COMMENCING A NEW PHASE OF CONSTRUCTION, THE CONTRACTOR SHALL RECEIVE APPROVAL FROM THE AGENCY CONSTRUCTION SITE REVIEWER THAT THE PREVIOUS PHASE HAS BEEN SUFFICIENTLY STABILIZED.
Y) PHASES 3-A, 3-B, 4-A & 4-B MAY BE MOBILIZED INDIVIDUALLY OR SIMULTANEOUSLY, PROVIDED NO MORE THAN 20 ACRES OF LAND SURFACE IS DESTABILIZED AT ANY TIME.
Z) CLEAN OUT SEDIMENT BASIN AND STORMWATER MANAGEMENT PIPES AND RE-GRADE TO FINAL GRADES.
AA) UPON COMPLETION OF ALL WORK, REMOVE TEMPORARY SOIL EROSION CONTROL DEVICES DESCRIBED HEREIN.
AB) IMMEDIATELY STABILIZE AREAS TO RECEIVE PERMANENT SEEDING AND/OR PAVING.
AC) ANYTIME A PROBLEM OCCURS REGARDING AN EROSION & SEDIMENT CONTROL PRACTICE THE CONTRACTOR SHALL TAKE THE NECESSARY MEASURES TO CORRECT THE PROBLEM.
AD) TERMINATION OF THE CONSTRUCTION GENERAL PERMIT WILL REQUIRE SUBMISSION AND ACCEPTANCE OF THE POST CONSTRUCTION VERIFICATION DOCUMENTS.

CLEARING AND GRUBBING:

- 1) CLEARING AND GRUBBING SHALL CONSIST OF CLEARING, GRUBBING, REMOVING AND DISPOSING OF ALL VEGETATION AND DEBRIS WITHIN THE LIMITS OF DISTURBED AREAS.
2) THE CONTRACTOR SHALL PERFORM THE WORK OF CLEARING AND GRUBBING SO AS TO REMOVE ONLY MATERIAL HEREIN SPECIFIED AND, IF HE CHOOSES TO DO SUCH WORK WITH MECHANICAL EQUIPMENT AND REMOVES AND WASTES SUITABLE MATERIAL REQUIRED ON THE PROJECT.
3) TREES DESIGNATED TO REMAIN - THE DEVELOPER SHALL DESIGNATE SUCH TREES, SHRUBBERY AND PLANTS WHICH ARE NOT TO BE REMOVED.
4) DISPOSAL OF TREES, STUMPS, BRUSH, RUBBISH, ETC. - ALL TREES, TIMBER, STUMPS, BRUSH, RUBBISH OR OTHER MATERIAL TO BE REMOVED FROM THE SITE SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
5) PREPARATION OF GROUND SURFACE - GRADING OPERATIONS SHALL NOT BE STARTED IN ANY AREA, UNTIL ALL OPERATIONS OF CLEARING AND GRUBBING WITHIN THE AFFECTED AREA HAVE BEEN COMPLETED.

- 6) UNLESS OTHERWISE DIRECTED, THE SITE SHALL BE CLEARED, FLUSH WITH THE GROUND, OF ALL TREES, BRUSH, SHRUBS, DOWN TIMBER, ROTTEN WOOD, RUBBISH AND OTHER OBJECTIONABLE DEBRIS.
7) 7) IN ALL AREAS WHERE UNSTABLE OR UNSUITABLE AREAS ARE ENCOUNTERED, THE CONTRACTOR SHALL FIRST NOTIFY THE OWNER AND ENGINEER, THEN REVIEW WITH THE OWNER THE POSSIBLE OPTIONS, AND THEN PROCEED WITH THE MUTUALLY ACCEPTABLE CORRECTION.

EXCAVATION AND EMBANKMENT:

- 1) EXCAVATION AND EMBANKMENT SHALL CONSIST OF THE REMOVAL AND FINAL DISPOSAL, AS FURTHER SPECIFIED, OF ALL MATERIALS EXCEPT THOSE SPECIFIED UNDER CLEARING AND GRUBBING AND TRENCH EXCAVATION TAKEN FROM WITHIN THE LIMITS OF THE WORK.
2) BORROW TYPE "C" SHALL BE IN ACCORDANCE WITH SECTION 209 OF THE DELAWARE D.O.T. STANDARD SPECIFICATIONS AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
3) NO BORROW SHALL BE USED UNTIL THE OTHER SOURCES OF EXCAVATION PROVIDED FOR HAVE BEEN EXHAUSTED.

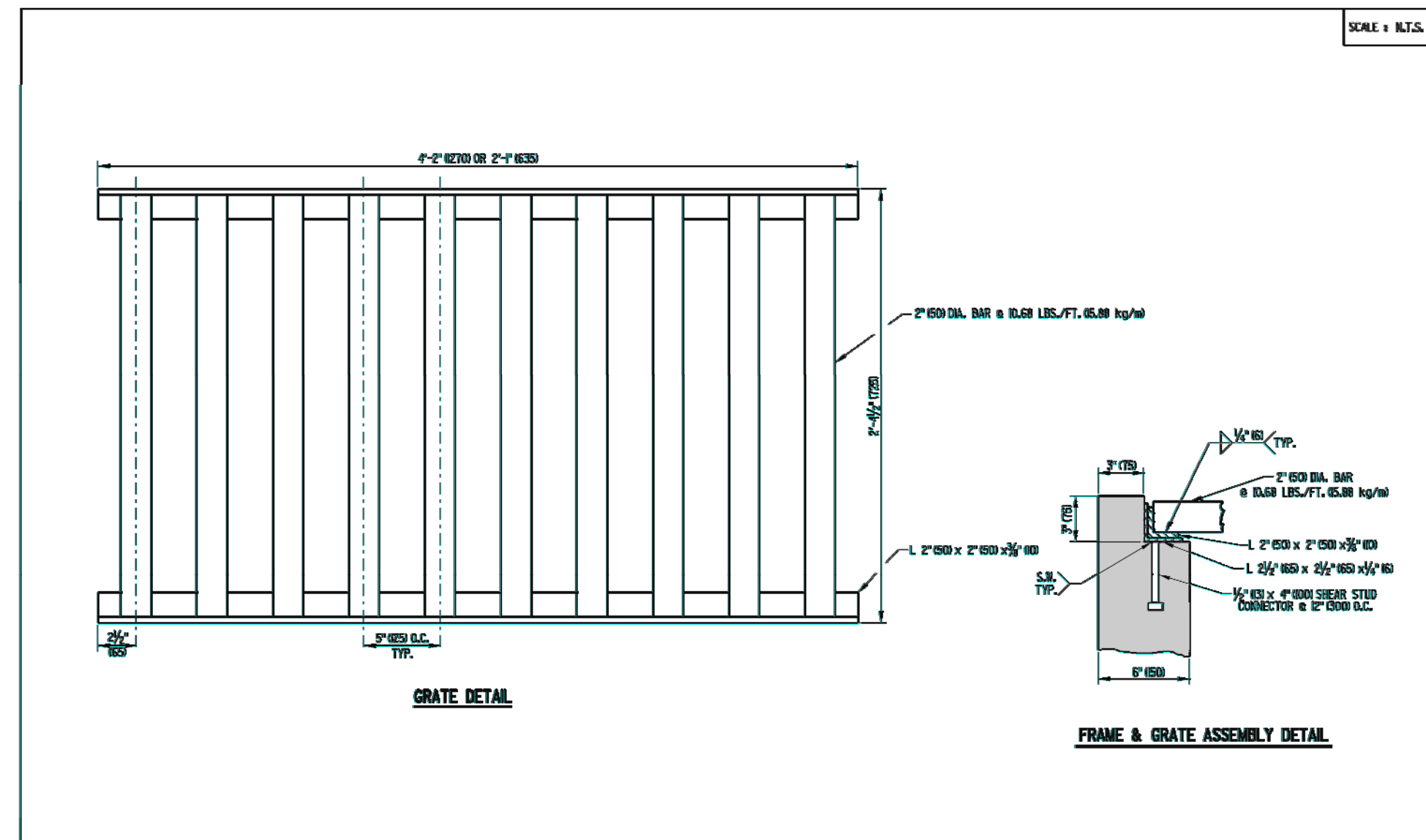


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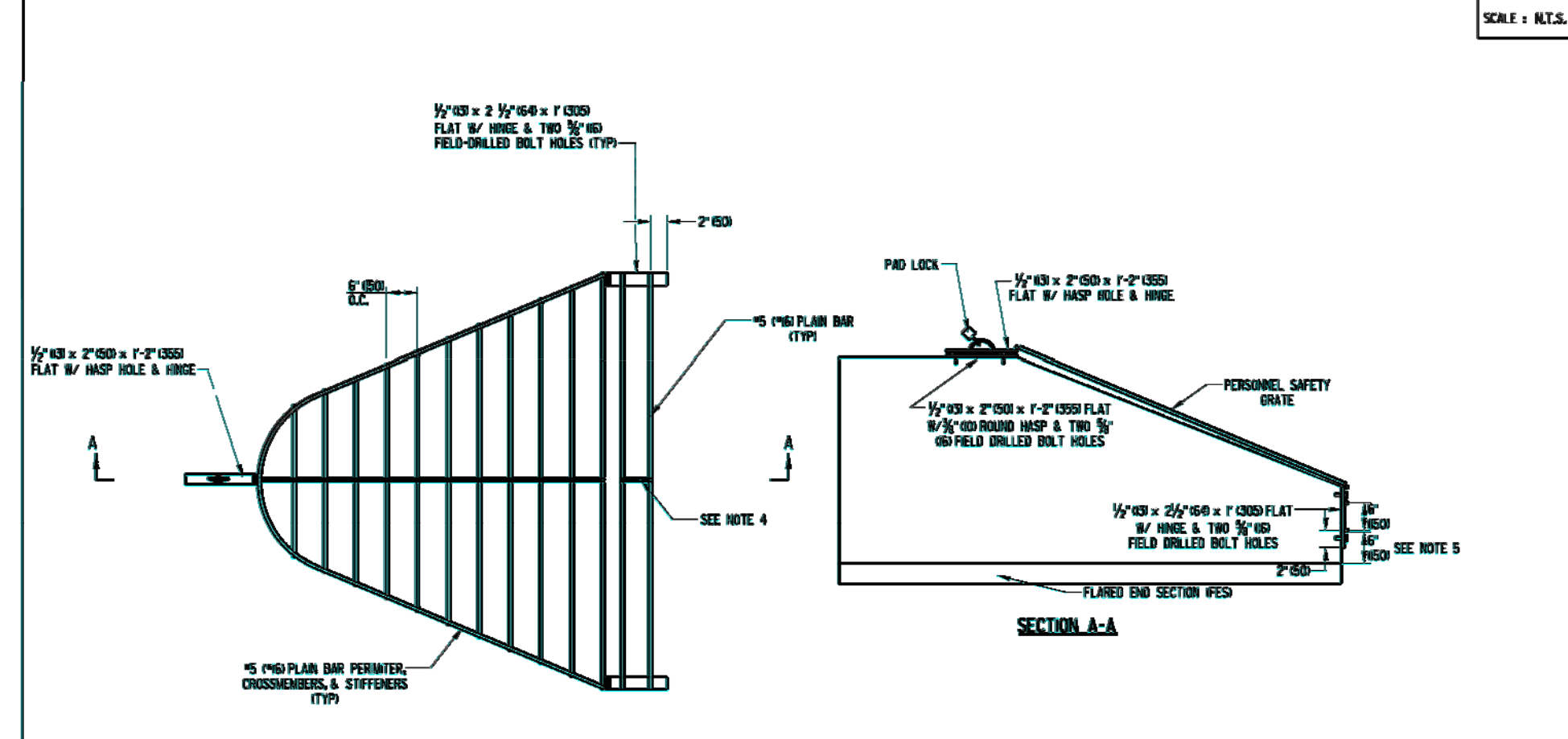


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Table with 3 columns: REVISION PER AGENCY COMMENTS, REVISION PER AGENCY COMMENTS, REVISION PER AGENCY COMMENTS. Includes revision numbers and dates.

EROSION & SEDIMENT CONTROL NOTES
CZ # 1859 - COUNTY AGREEMENT # 1099
WINDSWEPT @ LEWES R.P.C.
S.C.R. 278 - ANGOLA BEACH ROAD
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

AXIOM ENGINEERING L.L.C. logo and contact information including address, phone, fax, and website.

Table with 3 columns: ENGINEER, DESIGNER, DRAFTER, CHECKED BY, DATE. Includes names and dates for project approval.

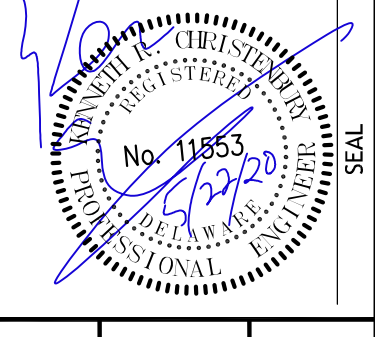
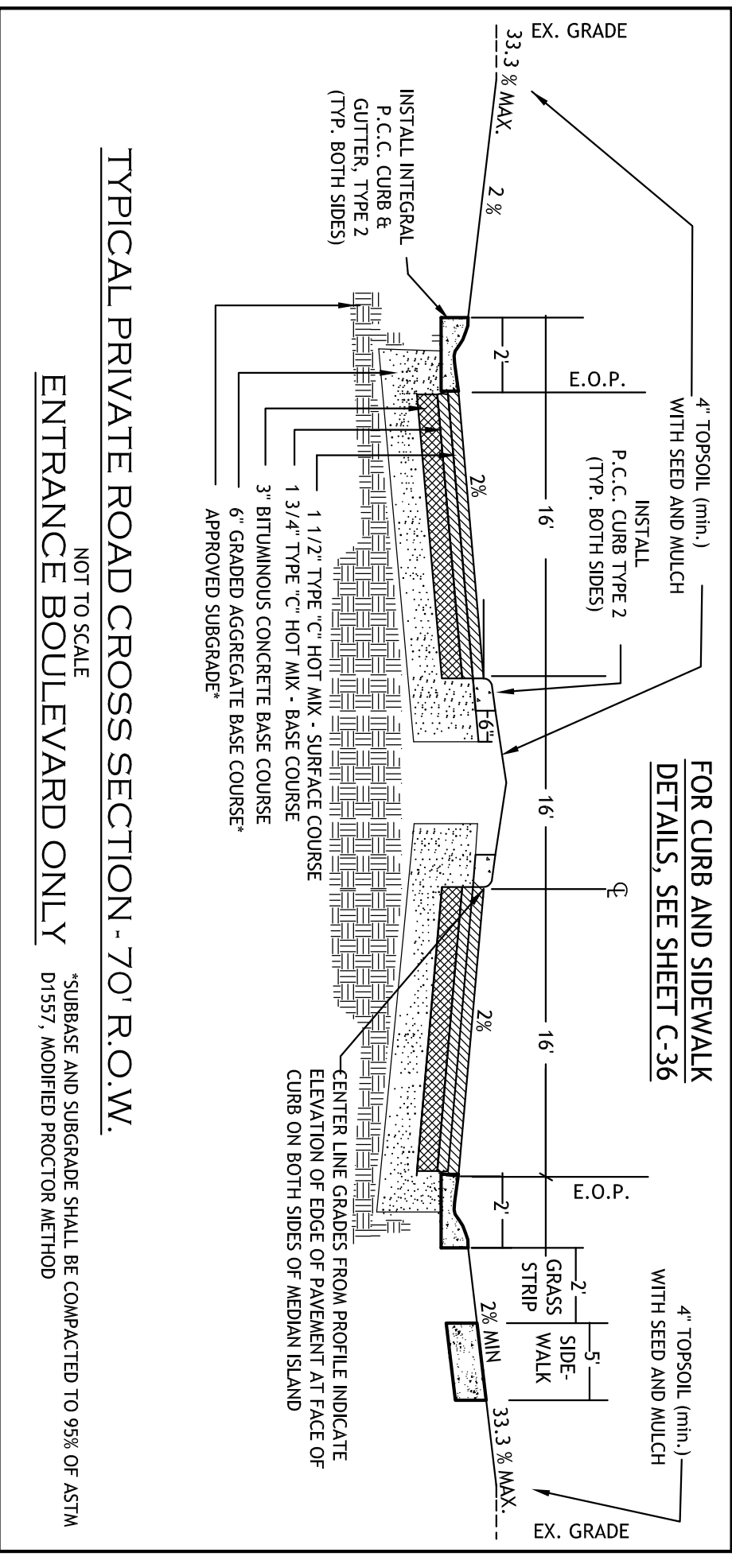
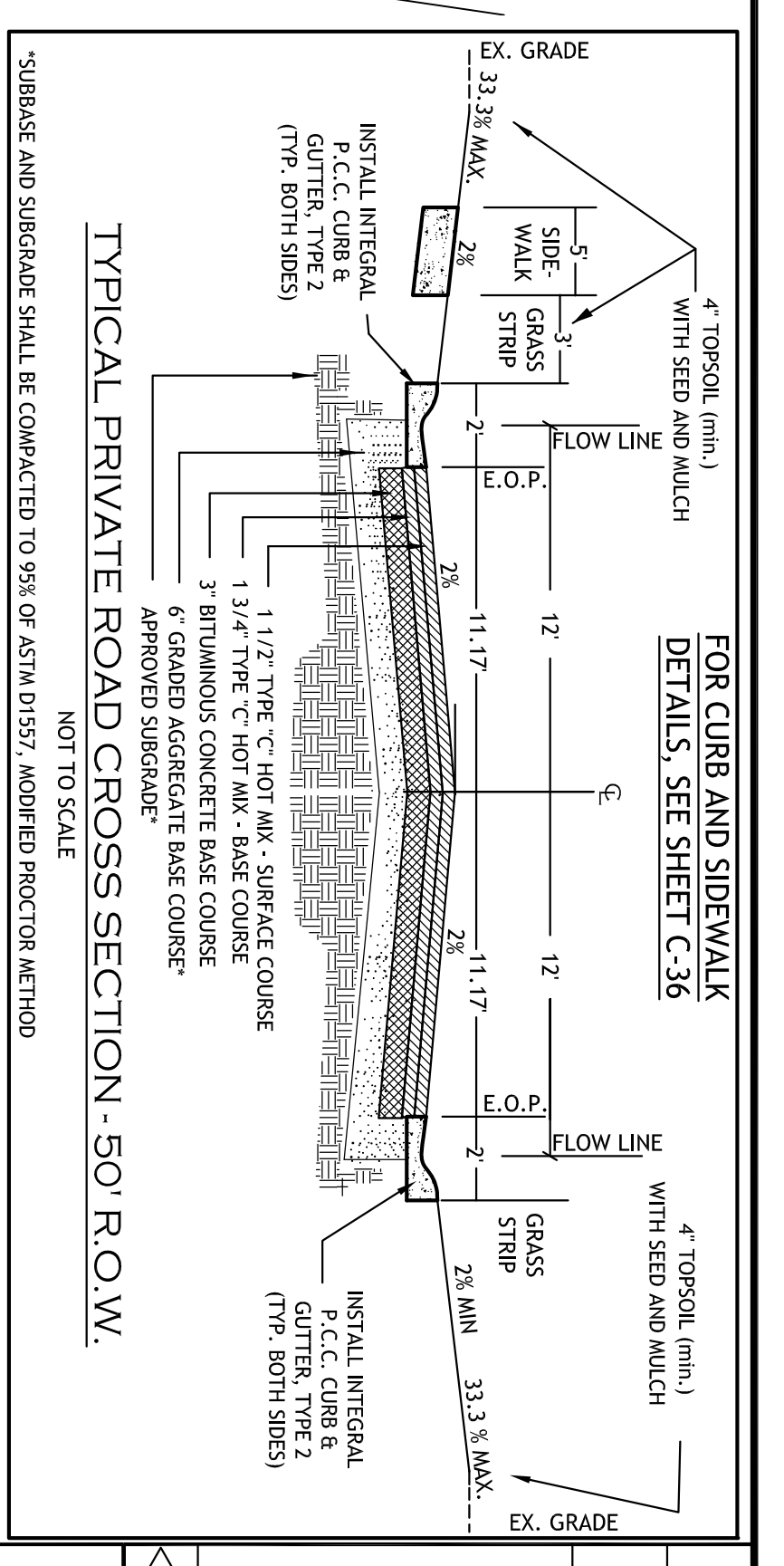
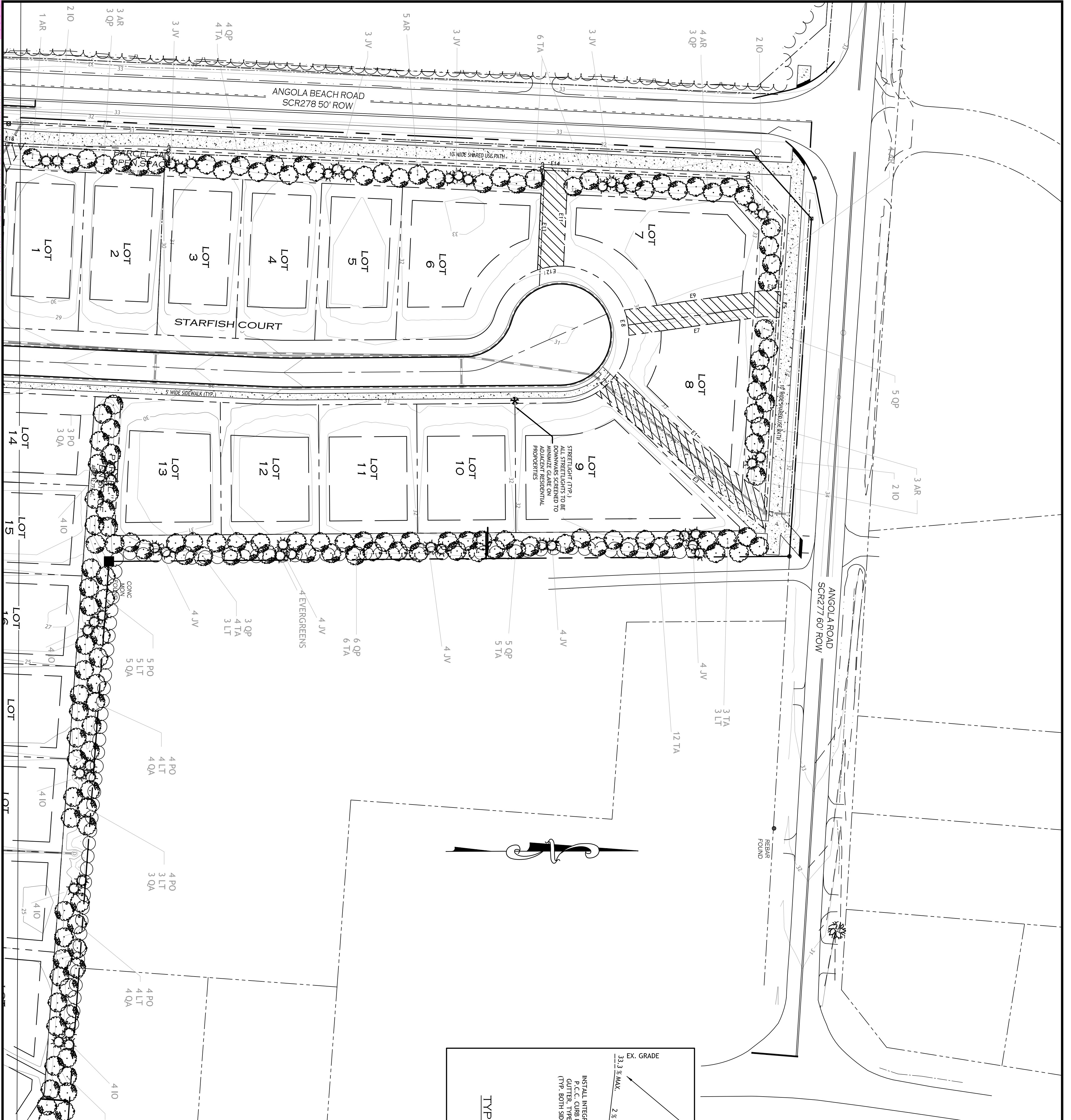


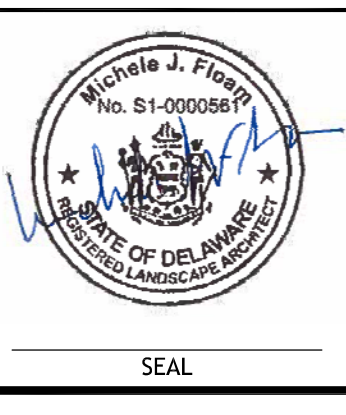
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PLANT SCHEDULE THIS SHEET

QTY	SYMBOL	SCIENTIFIC NAME	COMMON NAME
20	AR	ACER RUBRUM	RED MAPLE
30	IO	ILEX OPACA	AMERICAN HOLLY
32	JV	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR
29	OP	QUERCUS PHELLOS	WILLOW OAK
40	TA	TILIA AMERICANA	BASSWOOD
26	LT	LIRIODENDRON TULIPIFERA	YELLOW POPLAR
26	PO	PLATANUS OCCIDENTALIS	SYCAMORE
5	PT	PINUS TAEDA	LOBLOLLY PINE
22	QA	QUERCUS ALBA	WHITE OAK

PROJECT NO:  
0233-1702  
DRAWING:  
LS-01  
SHEET:  
1 OF 5



ENGINEER: KRC  
DESIGNER: MJF  
DRAFTER: MJF  
CHECKED BY: MJF  
DATE: 10/08/2018  
TAX MAP: 234-12.00-3.00 & 6.00

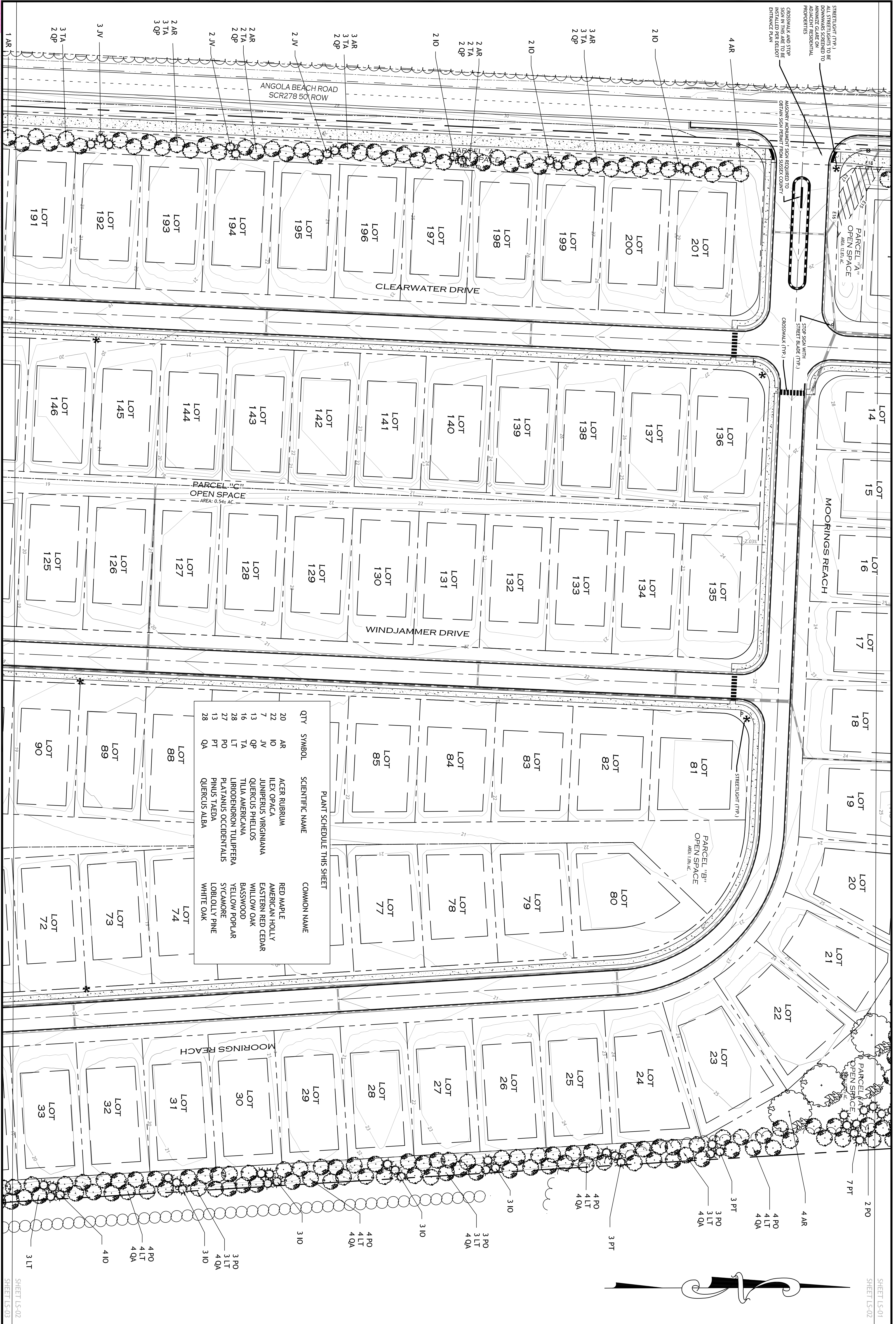
**AXIOM ENGINEERING L.L.C.**

18 CHESTNUT STREET  
GEORGETOWN, DE 19947  
(302) 855-0810  
FAX: 855-0812  
E-MAIL: AXIOM@AXIOM.COM  
WEB: WWW.AXIOM.COM

LIGHTING, SIGNAGE & LANDSCAPE PLAN  
CZ #1859 - COUNTY AGREEMENT #1099  
**WINDSWEEP @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

REV	DESCRIPTION OF REVISION	DATE	BY	CHECKED BY
1	RESPONSE TO PLANNING AND ZONING COMMENTS	06/09/2020	EJW	MJF/MRC
2	ADD GRADING AND REVISE PLANTING LAYOUT	06/09/2020	EJW	MJF/MRC

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO AND APPURTAINANT.



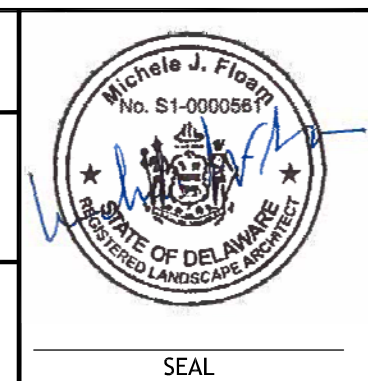
PLANT SCHEDULE THIS SHEET

QTY	SYMBOL	SCIENTIFIC NAME	COMMON NAME
20	AR	ACER RUBRUM	RED MAPLE
22	IO	ILEX OPACA	AMERICAN HOLLY
7	JV	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR
13	QP	QUERCUS PHELLOS	WILLOW OAK
16	TA	TILIA AMERICANA	BASSWOOD
28	LT	LIRIODENDRON TULIPIFERA	YELLOW POPLAR
27	PO	PLATANUS OCCIDENTALIS	SYCAMORE
13	PT	PINUS TAEDA	LOBLOTTLY PINE
28	QA	QUERCUS ALBA	WHITE OAK

PROJECT NO:  
0233-1702

DRAWING:  
LS-02

SHEET:  
2 OF 5



ENGINEER: KRC  
 DESIGNER: MJF  
 DRAFTER: MJF  
 CHECKED BY: MJF  
 DATE: 10/08/2018  
 TAX MAP: 234-12.00-3.00 & 6.00

0 40 80  
 24" X 36" 1 inch = 40 ft.  
 11" X 17" 1 inch = 80 ft.

**AXIOM ENGINEERING L.L.C.**  
 18 CHESTNUT STREET  
 GEORGETOWN, DE 19947  
 (302) 855-0810  
 FAX: 855-0812  
 E-MAIL: AXIOM@AXENG.COM  
 WEB: WWW.AXENG.COM

LIGHTING, SIGNAGE & LANDSCAPE PLAN  
 CZ #1859 - COUNTY AGREEMENT #1099  
**WINDSWEEP @ LEWES R.P.C.**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

REV	DESCRIPTION OF REVISION	DATE	BY	CHECKED BY
1	RESPONSE TO PLANNING AND ZONING COMMENTS	06/09/2020	EW	MJF/MRC
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3				

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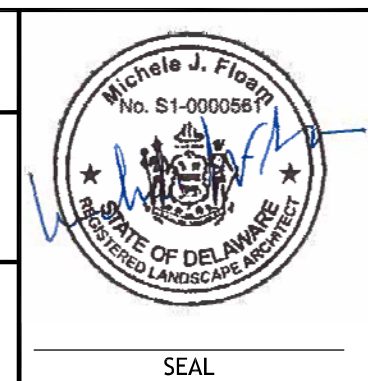




PROJECT NO:  
**0233-1702**

DRAWING:  
**LS-03**

SHEET:  
**3 OF 5**



ENGINEER: KRC  
DESIGNER: MJF  
DRAFTER: MJF  
CHECKED BY: MJF  
DATE: 10/08/2018  
TAX MAP: 234-12.00-3.00 & 6.00

0 40 80  
24" X 36" 1 inch = 40 ft.  
11" X 17" 1 inch = 80 ft.

**AXIOM ENGINEERING L.L.C.**

18 CHESTNUT STREET  
GEORGETOWN, DE 19947  
(302) 855-0810  
FAX: 855-0812  
E-MAIL: AXIOM@AXIOM.COM  
WEB: WWW.AXIOM.COM

**LIGHTING, SIGNAGE & LANDSCAPE PLAN**

CZ #1859 - COUNTY AGREEMENT #1099

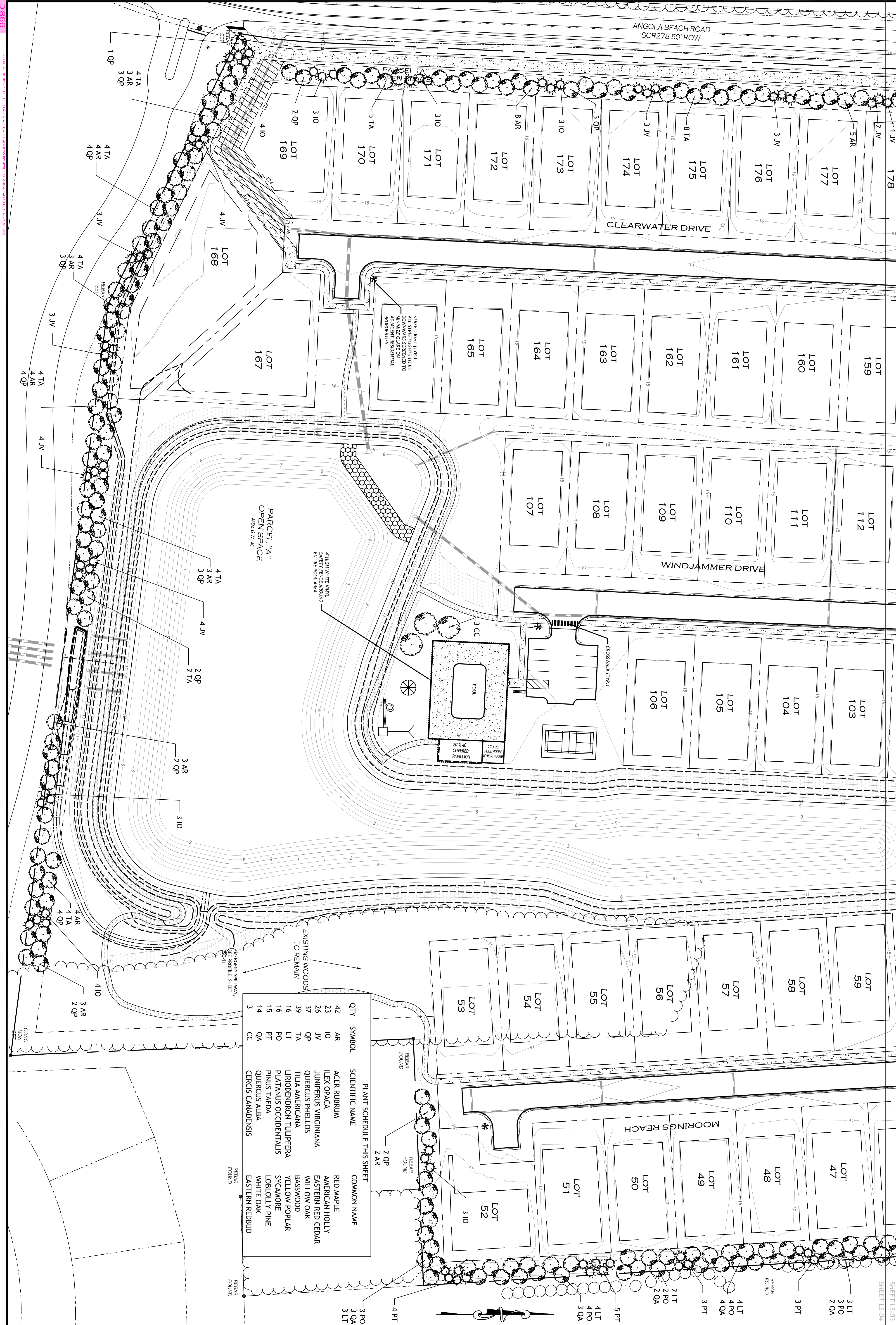
**WINDSWEEP @ LEWES R.P.C.**

S.C.R. 278 - ANGOLA BEACH ROAD

INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

REV	DESCRIPTION OF REVISION	DATE	BY
1	RESPONSE TO PLANNING AND ZONING COMMENTS	02/23/2020	MJF/KRC
2	ADD GRADING AND REVISE PLANTING LAYOUT	06/02/2020	MJF
3		06/09/2020	BY DATE

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO AND APPURTINANT.



QTY	SYMBOL	SCIENTIFIC NAME	COMMON NAME
42	AR	ACER RUBRUM	RED MAPLE
23	IO	ILEX OPACA	AMERICAN HOLLY
26	JV	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR
37	QP	QUERCUS PHELLOS	WILLOW OAK
39	TA	TILIA AMERICANA	BASSWOOD
16	LT	LIRIODENDRON TULIPIFERA	YELLOW POPLAR
15	PO	PLATANUS OCCIDENTALIS	SYCAMORE
14	PT	PINUS TAEDA	LOBLODY PINE
3	QA	QUERCUS ALBA	WHITE OAK
	CC	CERCIS CANADENSIS	EASTERN REDBUD

PROJECT NO:  
0233-1702  
DRAWING:  
LS-04  
SHEET:  
4 OF 5



ENGINEER: KRC  
DESIGNER: MJF  
DRAFTER: MJF  
CHECKED BY: MJF  
DATE: 10/08/2018  
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FAX: 855-0812  
E-MAIL: AXIOM@AXIOM.COM  
WEB: WWW.AXIOM.COM

LIGHTING, SIGNAGE & LANDSCAPE PLAN  
CZ #1859 - COUNTY AGREEMENT #1099  
**WINDSWEEP @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

REV	DESCRIPTION OF REVISION	DATE	BY	CHECKED BY
1	RESPONSE TO PLANNING AND ZONING COMMENTS	05/09/2020	EW	MJF/KRC
2	ADD GRADING AND REVISE PLANTING LAYOUT	06/09/2020	EW	MJF/KRC
3				

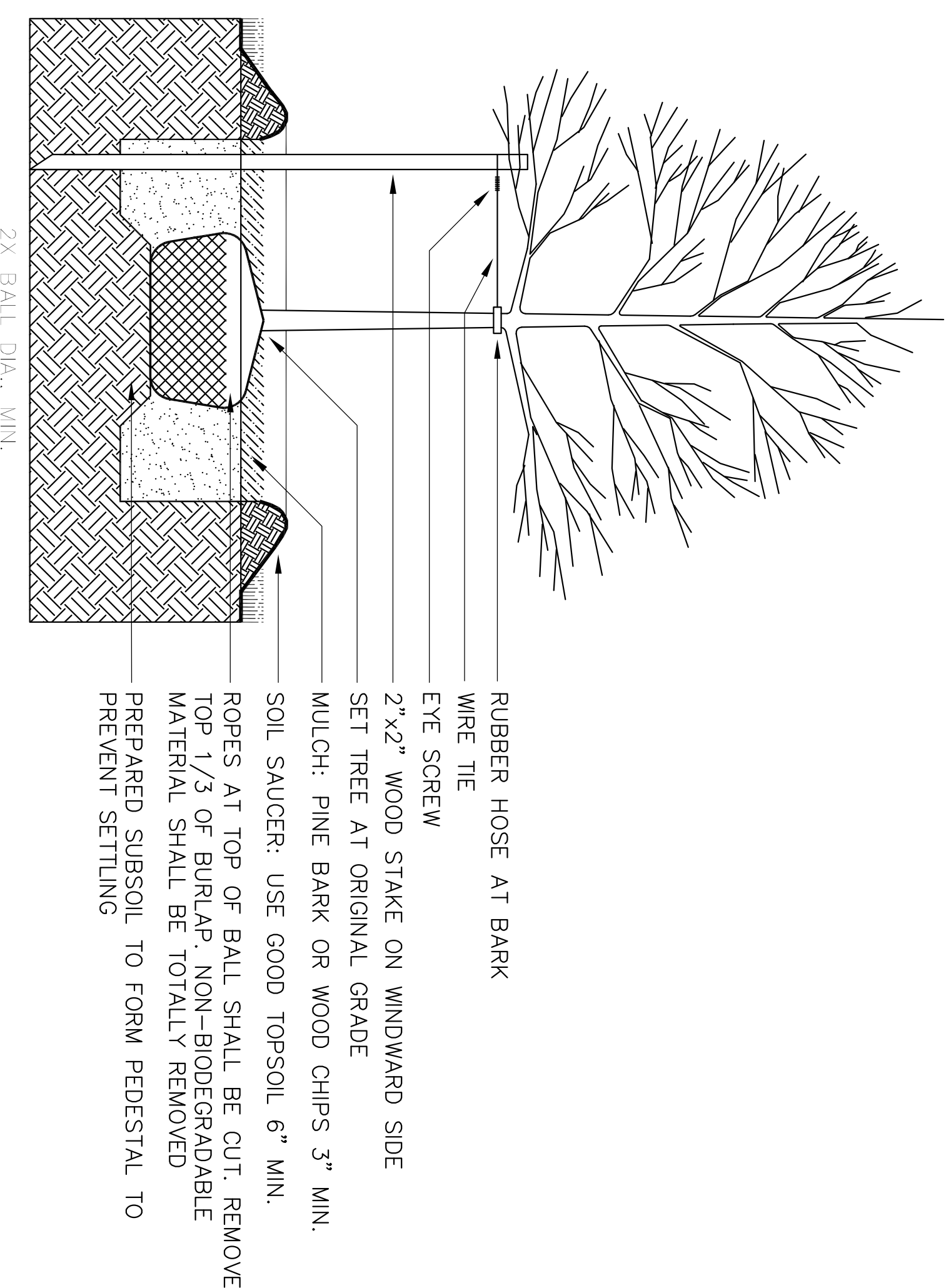
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TOTAL PLANT SCHEDULE

QTY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	BALL
105	AR	ACER RUBRUM	RED MAPLE	1.5" CALIPER	B&B
98	IO	ILEX OPACA	AMERICAN HOLLY	5' HT	B&B
78	JV	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	5' HT	B&B
90	QP	QUERCUS PHELLOS	WILLOW OAK	1.5" CALIPER	B&B
107	TA	TILIA AMERICANA	BASSWOOD	1.5" CALIPER	B&B
100	LT	LIRIODENDRON TULIPIFERA	YELLOW POPLAR	1.5" CALIPER	B&B
91	PO	PLATANUS OCCIDENTALIS	SYCAMORE	1.5" CALIPER	B&B
45	PT	PINUS TAEDA	LOBLOLLY PINE	5' HT	B&B
85	QA	QUERCUS ALBA	WHITE OAK	1.5" CALIPER	B&B
3	CC	CERCIS CANADENSIS	EASTERN REDBUD	1.5" CALIPER	B&B

CHAPTER 99 BUFFER STRIP REQUIREMENTS

- CHAPTER 99-5 SUBSECTION F - THE FORESTED AND/OR LANDSCAPE BUFFER SHALL BE INSTALLED WITHIN 18 MONTHS FROM THE DATE SITE WORK IS AUTHORIZED TO COMMENCE, AS DOCUMENTED BY A NOTICE TO PROCEED LETTER FROM THE COMMISSION. FOR SUBDIVISIONS THAT ARE APPROVED TO BE CONSTRUCTED IN PHASES, THE BUFFER FOR EACH PHASE MUST BE COMPLETED BEFORE COUNTY APPROVALS OR PERMITS WILL BE GRANTED TO CONSTRUCT THE NEXT PHASE.
- CHAPTER 99-5 SUBSECTION G - THE LAND DEVELOPER SHALL BE HELD RESPONSIBLE FOR THE HEALTH AND SURVIVAL OF THE TREES, INCLUDING REGULAR NECESSARY WATERING FOR A MINIMUM OF TWO YEARS OR UNTIL SUCH LATER DATE AS THE MAINTENANCE RESPONSIBILITIES ARE TRANSFERRED TO A HOMEOWNERS' ASSOCIATION. PROVIDED, HOWEVER, THAT THE DEVELOPER SHALL REPLACE ANY TREES THAT DIE DURING THE MINIMUM TWO-YEAR DEVELOPER MAINTENANCE PRIOR TO TRANSFERRING MAINTENANCE RESPONSIBILITIES TO A HOMEOWNERS' ASSOCIATION.
- CHAPTER 99-5 SUBSECTION H - THE PERPETUAL MAINTENANCE OF THE BUFFER PLANTINGS BY A HOMEOWNERS' ASSOCIATION SHALL BE ASSURED THROUGH THE RESTRICTIVE COVENANTS AND/OR HOMEOWNERS' ASSOCIATION DOCUMENTS. THE PERPETUAL MAINTENANCE PLAN SHALL INCLUDE THE REQUIREMENT THAT ANY TREES THAT DIE MUST BE REPLANTED WITH TREES OF THE SAME TYPE AND SPECIES AND IN ACCORDANCE WITH THE ORIGINAL LANDSCAPE PLAN APPROVED BY THE COUNTY. THE PERPETUAL MAINTENANCE PLAN SHALL ALSO INCLUDE A REQUIREMENT THAT THE FORESTED BUFFER AREA BE PLANTED AND MAINTAINED ACCORDING TO BEST MANAGEMENT PRACTICES IN THE FORESTRY INDUSTRY. THE RESPONSIBILITY FOR THE PERPETUAL MAINTENANCE OF THE BUFFER STRIP AND ITS PLANTINGS SHALL BE ASSURED THROUGH RESTRICTIVE COVENANTS WHICH ARE OBLIGATORY UPON THE PURCHASERS THROUGH ASSESSMENTS BY THE HOMEOWNERS' ASSOCIATION. THE APPLICANT AND/OR LAND DEVELOPER MUST PROVIDE THE COMMISSION WITH SATISFACTORY PROOF THAT THE COVENANTS INCLUDE A PERPETUAL MAINTENANCE PLAN WHICH SHALL BE BINDING UPON THE APPLICANT AND/OR DEVELOPER DURING THE MINIMUM TWO-YEAR PERIOD DESCRIBED IN SUBSECTION G ABOVE AND THEREAFTER BY THE HOMEOWNERS' ASSOCIATION. THE COMMISSION AND ITS ATTORNEY SHALL REVIEW AND APPROVE THE PERPETUAL MAINTENANCE PLAN PRIOR TO THE RESTRICTIVE COVENANTS BEING RECORDED AND PRIOR TO GRANTING FINAL SITE PLAN APPROVAL.



DECIDUOUS TREE PLANTING WITH STAKE AND WIRE TIE - HEAVY DUTY

NOT TO SCALE

PROJECT NO:  
0233-1702

DRAWING:  
LS-05

SHEET:  
5 OF 5



ENGINEER: KRC  
DESIGNER: MJF  
DRAFTER: MJF  
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LANDSCAPE NOTES & DETAILS

CZ #1859 - COUNTY AGREEMENT #1099

**WINDSWEPT @ LEWES R.P.C.**

S.C.R. 278 - ANGOLA BEACH ROAD

INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

REV	DESCRIPTION OF REVISION	BY DATE	CHECKED BY DATE
△	RESPONSE TO PLANNING AND ZONING COMMENTS	ESW 2/2/2020	MJF/KRC 2/2/2020
△	ADD GRADING AND REVISE PLANTING LAYOUT	ESW 02/02/2020	MJF 02/09/2020

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO AND APPURTENANT.

### LEGEND

EX. PROPERTY LINE	FOUND	SET	BOUNDARY MONUMENT
PROPOSED SUBDIVISION LINE	CMF	■	CMG
EX. ADJACENT PROPERTY LINES	RBF	●	RBS
EX. 404 WETLANDS	MANF	■	MNS
STATE (TIDAL) WETLANDS	SPF	▲	SPK
FEMA FLOODPLAIN BOUNDARY	WFF	●	WFP
EX. MINOR CONTOUR		○	POST
EX. MAJOR CONTOUR		○	UNMARKED CORNER
EX. BUILDING RESTRICTION LINES		○	PR. CONTOUR
EX. ROAD CENTERLINE		—	PR. ROAD CENTERLINE
EX. EASEMENT		—	PR. EASEMENT
EX. BUILDING		—	PR. BUILDING
EX. SWALE		—	PR. SWALE
EX. SIDEWALK		—	PR. SIDEWALK
EX. CURB		—	PR. CURB
EX. STORM SEWER		—	PR. STORM SEWER CL.
EX. SANITARY SEWER		—	PR. SANITARY SEWER
EX. WOODS LINE		—	PR. WOODS LINE
EX. WATER LINE		—	PR. WATER LINE
EX. WELL		—	PR. WELL
TRAFFIC SIGN		—	PARKING SPACE COUNTS
EX. ZONING BOUNDARY		—	8' X 20' PAINTED ARCADE
EX. ELECTRIC LINES UTILITIES		—	COMPACT 8 X 17
EX. UTILITY POLES/LIGHT POLES		—	PROPOSED LIGHT POLES
EX. FENCE		—	PR. SPOT ELEVATION
EX. SPOT ELEVATION		—	PROPOSED DRAINAGE FLOW
PR. DELDOT ENTRANCE PAVING		—	PR. INLET PROTECTION
PR. ROTOMILL 1 1/4" & OVERLAY		—	PR. CULVERT INLET PROTECTION
SOIL BORING		—	PR. ROCK OUTLET PROTECTION
TEST PIT		—	PR. FOREBAY
EX. STREAM		—	CONSTRUCTION ENTRANCE
LIMIT OF DISTURBANCE		—	CONCRETE WASHOUT
SILT FENCE		—	

### NOTES:

- FORESTED BUFFERS, STREETS, STORMWATER MANAGEMENT FACILITIES AND OTHER COMMON AREAS SHALL BE MAINTAINED BY THE DEVELOPER UNTIL SUCH TIME AS A HOMEOWNERS ASSOCIATION CAN PROVIDE FOR REQUIRED MAINTENANCE. SUSSEX COUNTY AND THE STATE OF DELAWARE ASSUME NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE FACILITIES WITHIN THE SITE.
- ACCESS TO LOTS SHALL BE PROVIDED FROM THE SUBDIVISION STREETS PROPOSED WITH THIS PLAN. NO DIRECT ACCESS TO PUBLIC STREETS IS PROPOSED EXCEPT THE ENTRANCE SPECIFICALLY SHOWN ON THIS PLAN.
- BASED UPON FLOOD INSURANCE RATE MAP (FIRM) NUMBER 10050C0431K, DATED MARCH 16, 2015; THE ENTIRE PROPERTY IS LOCATED IN AN AREA DESIGNATED AS ZONE "X" (UNSHADED), WHICH IS AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
- THE BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAT WAS TAKEN FROM A FIELD SURVEY PREPARED BY AXIOM ENGINEERING, LLC IN MARCH 2018. HORIZONTAL CONTROL IS REFERENCED TO NAD 83 STATE PLANE GRID, VERTICAL CONTROL IS REFERENCED TO NAVD 88.
- ALL SUBDIVISION LOTS SHALL HAVE FIVE-FOOT-WIDE EASEMENTS ALONG ALL LOT LINES FOR A TOTAL EASEMENT WIDTH OF AT LEAST TEN (10) FEET ALONG A LOT LINE COMMON TO TWO LOTS. EASEMENTS ALONG PERIMETER BOUNDARIES OF THE SUBDIVISION SHALL BE TEN (10) FEET IN WIDTH ON THE INTERIOR SIDE OF THE BOUNDARY. NO BUILDING, STRUCTURE OR OTHER PERMANENT OBSTRUCTION SHALL BE PLACED IN ANY EASEMENT.
- THIS PLAN DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHT-OF-WAYS CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS PROVIDED.
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
- THE LANDSCAPE PLAN FOREST AND/OR LANDSCAPE BUFFER PLANS SHALL BE INSTALLED WITHIN 18 MONTHS FROM THE DATE THIS WORK IS AUTHORIZED TO COMMENCE. IF THE SUBDIVISION IS TO BE CONSTRUCTED IN PHASES, THE BUFFER FOR EACH PHASE MUST BE COMPLETED BEFORE COUNTY APPROVALS OR PERMITS WILL BE GRANTED TO CONSTRUCT THE NEXT PHASE.
- BUS STOPS SHALL BE LOCATED AT THE DISCRETION OF THE CAPE HENLOPEN SCHOOL DISTRICT.

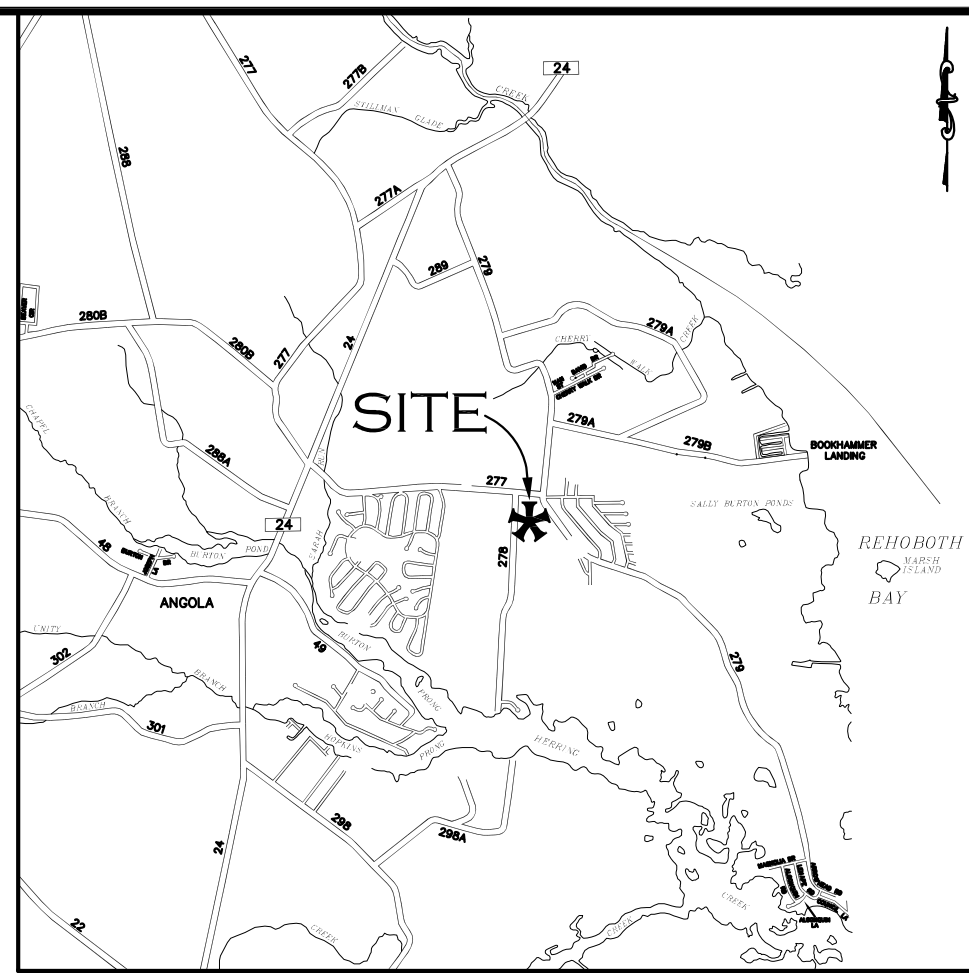
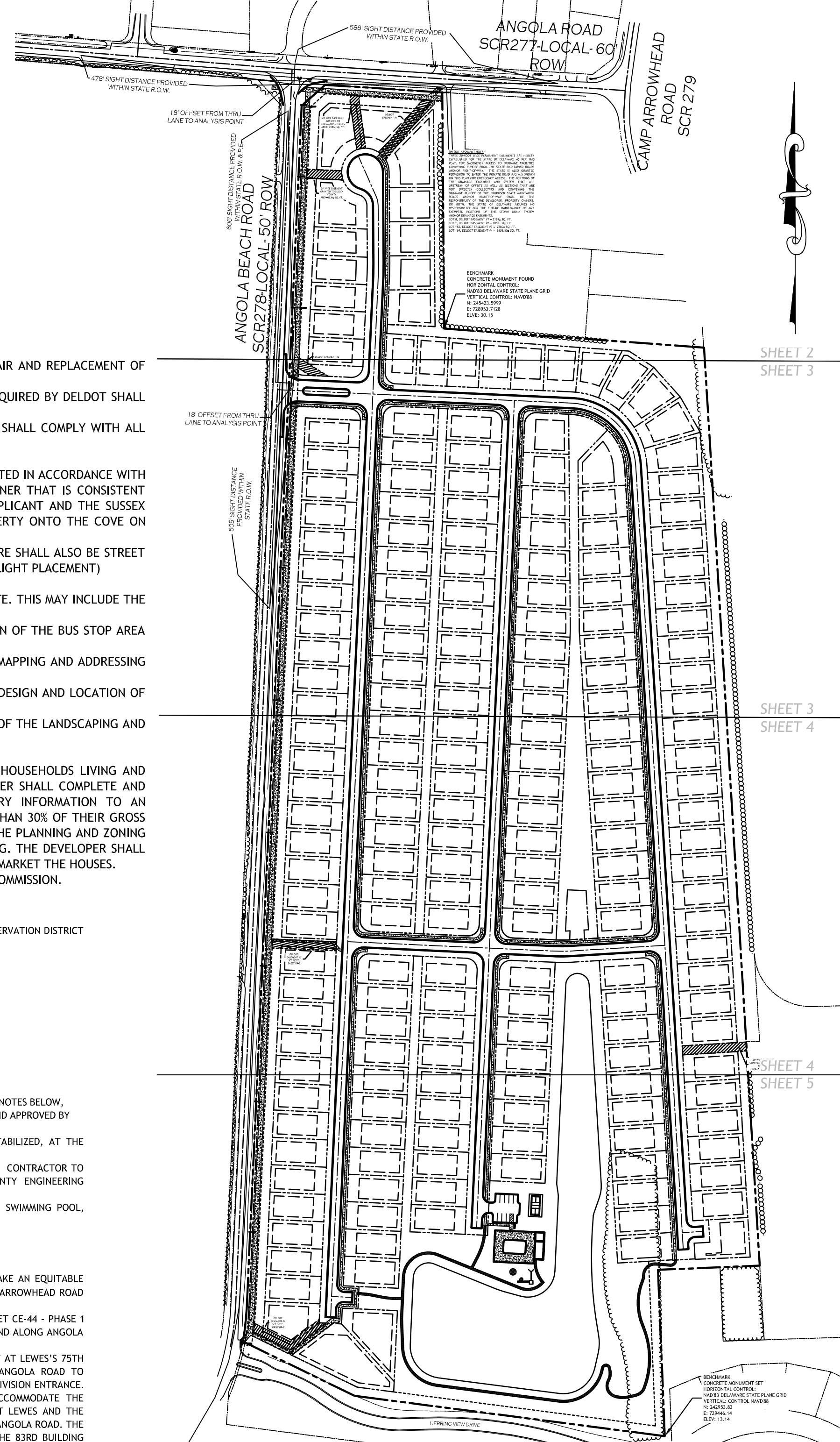
### CZ # 1859 CONDITIONS OF APPROVAL:

- THE MAXIMUM NUMBER OF DWELLING UNITS SHALL NOT EXCEED 201 SINGLE FAMILY UNITS.
- A HOMEOWNERS ASSOCIATION SHALL BE FORMED TO PROVIDE FOR THE PERPETUAL MAINTENANCE, REPAIR AND REPLACEMENT OF BUFFERS, STORMWATER MANAGEMENT FACILITIES, STREETS, AMENITIES AND OTHER COMMON AREAS.
- ALL ENTRANCES, INTERSECTIONS, INTERCONNECTIONS, ROADWAYS AND MULTI-MODAL IMPROVEMENTS REQUIRED BY DELDOT SHALL BE COMPLETED IN ACCORDANCE WITH DELDOT'S REQUIREMENTS.
- THE RPC SHALL BE SERVED AS PART OF A SUSSEX COUNTY SANITARY SEWER DISTRICT. THE DEVELOPER SHALL COMPLY WITH ALL REQUIREMENTS AND SPECIFICATIONS OF THE COUNTY ENGINEERING DEPARTMENT.
- THE RPC SHALL BE SERVED BY CENTRAL WATER.
- STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE STATE AND COUNTY REQUIREMENTS. THESE FACILITIES SHALL BE OPERATED IN A MANNER THAT IS CONSISTENT WITH BEST MANAGEMENT PRACTICES. IN REVIEWING THE STORMWATER MANAGEMENT DESIGN, THE APPLICANT AND THE SUSSEX CONSERVATION DISTRICT SHALL ALSO WORK TO REDUCE THE IMPACTS FROM RUNOFF FROM THE PROPERTY ONTO THE COVE ON HERRING CREEK; PARTICULARLY DURING THE SITE WORK, DEVELOPMENT, AND CONSTRUCTION PHASES.
- INTERIOR STREET DESIGN SHALL MEET OR EXCEED SUSSEX COUNTY'S STREET DESIGN REQUIREMENTS. THERE SHALL ALSO BE STREET LIGHTING AND SIDEWALKS ON ONE SIDE OF THE STREETS WITHIN THE RPC. (SEE SHEETS LS-1 TO LS-4 FOR LIGHT PLACEMENT)
- ALL AMENITIES SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE 75TH BUILDING PERMIT.
- A 20-FOOT WIDE FORESTED LANDSCAPE BUFFER SHALL BE ESTABLISHED ALONG THE PERIMETER OF THE SITE. THIS MAY INCLUDE THE EXISTING TREES.
- IF REQUESTED BY THE LOCAL SCHOOL DISTRICT, A SCHOOL BUS STOP SHALL BE PROVIDED. THE LOCATION OF THE BUS STOP AREA SHALL BE SHOWN ON THE FINAL SITE PLAN.
- ROAD NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF SUSSEX COUNTY MAPPING AND ADDRESSING DEPARTMENTS.
- THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT FOR THE DESIGN AND LOCATION OF ALL STORMWATER MANAGEMENT AREAS AND EROSION AND SEDIMENTATION CONTROL FACILITIES.
- THE FINAL SITE PLAN SHALL INCLUDE A LANDSCAPE PLAN FOR ALL OF THE BUFFER AREAS, SHOWING ALL OF THE LANDSCAPING AND VEGETATION TO BE INCLUDED IN THE BUFFER AREAS.
- AS OFFERED BY THE APPLICANT, THE COMMUNITY WILL NOT CONTAIN ANY MANUFACTURED HOMES.
- THE COMMUNITY SHALL BE MARKETED AS "WORKFORCE HOUSING" AND THE TARGET MARKET WILL BE HOUSEHOLDS LIVING AND WORKING IN SUSSEX COUNTY EARNING 80%-120% SUSSEX COUNTY AREA MEDIAN INCOME. THE DEVELOPER SHALL COMPLETE AND PROVIDE A BUYER DATA SHEET, THE FINAL SETTLEMENT STATEMENT, AND ANY OTHER NECESSARY INFORMATION TO AN INDEPENDENT CPA TO GENERATE A REPORT EVIDENCING THAT HOMEBUYERS ARE NOT SPENDING MORE THAN 30% OF THEIR GROSS HOUSEHOLD INCOME ON HOUSING COSTS FOR EACH HOME SALE. THIS REPORT SHALL BE SUBMITTED TO THE PLANNING AND ZONING DEPARTMENT ON AN ANNUAL BASIS TO ANALYZE THE SUCCESS OF THE PROJECT AS WORKFORCE HOUSING. THE DEVELOPER SHALL WORK WITH OSHA, NCALL, FIRST STATE AND OTHER NON-PROFIT HOMEOWNERSHIP GEARED AGENCIES TO MARKET THE HOMES.
- THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.

# WINDSWEPT @ LEWES

## RESIDENTIAL PLANNED COMMUNITY

# RECORD PLAN



VICINITY MAP  
SCALE: 1" = 1 MILE

### RECORD PLAN SHEET INDEX

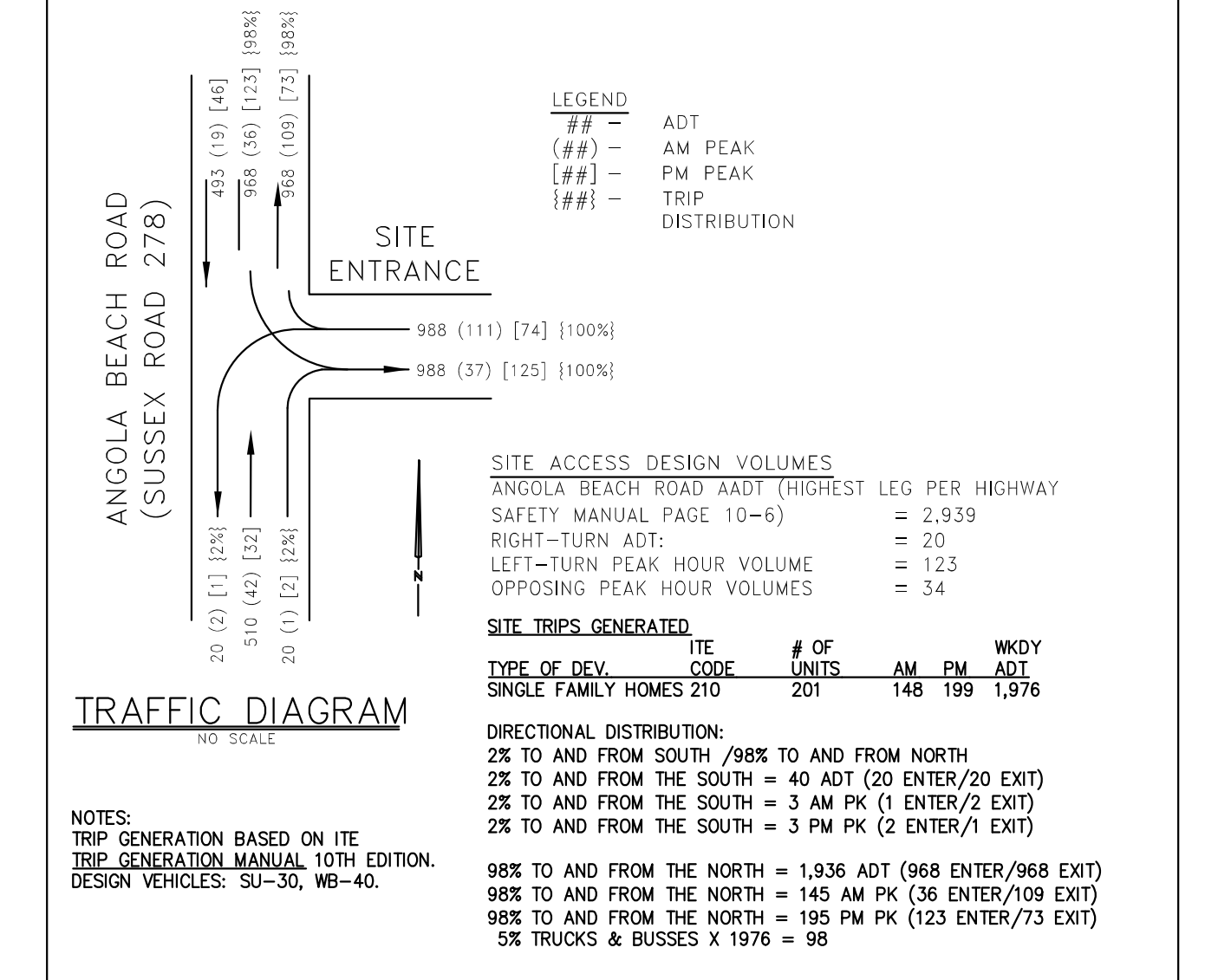
SHEET NUMBER	SHEET TITLE	ORIGINAL DATE	REVISION DATE
RP-1	RECORD PLAN COVER SHEET	4/1/2019	7/2/2020
RP-2	RECORD PLAN	4/1/2019	7/2/2020
RP-3	RECORD PLAN	4/1/2019	7/2/2020
RP-4	RECORD PLAN	4/1/2019	7/2/2020
RP-5	RECORD PLAN	4/1/2019	7/2/2020

### LANDSCAPE PLAN SHEET INDEX

SHEET NUMBER	SHEET TITLE	ORIGINAL DATE	REVISION DATE
LS-01	lighting, signage & landscape plan	10/08/2018	7/2/2020
LS-02	lighting, signage & landscape plan	10/08/2018	7/2/2020
LS-03	lighting, signage & landscape plan	10/08/2018	7/2/2020
LS-04	lighting, signage & landscape plan	10/08/2018	7/2/2020
LS-05	LANDSCAPE NOTES & DETAILS	10/08/2018	7/2/2020

### ROAD DATA

ANGOLA BEACH ROAD (SUSSEX ROAD 278)  
FUNCTIONAL CLASSIFICATION - LOCAL ROADWAY  
AADT (2019 DELAWARE VEHICLE SUMMARY)  
2017 LAST YEAR COUNTED = 865  
10 YR PROJECTED AADT = 1,16 X 865 = 1,003  
10 YR PROJECTED AADT + SITE ADT NORTH OF SITE ACCESS (1,936) = 2,939  
10 YR PROJECTED AADT + SITE ADT SOUTH OF SITE ACCESS (40) = 1,043  
10 YR DESIGN AADT = 2,939  
2018 AM PEAK HOUR VOLUME = 52  
2018 AM DIRECTIONAL SPLIT = 69.23% NB / 30.77% SB = 36/16  
10 YR PROJECTED AM PEAK HOUR VOLUME = 116 X 52 = 61  
10 YR PROJECTED AM DIRECTIONAL VOLUMES = 42 NB / 19 SB = 28/40  
2018 PM PEAK HOUR VOLUME = 68  
2018 PM DIRECTIONAL SPLIT = 41.18% NB / 58.82% SB = 28/40  
10 YR PROJECTED PM PEAK HOUR VOLUME = 116 X 68 = 78  
10 YR PROJECTED PM DIRECTIONAL VOLUMES = 32 NB / 46 SB = 28/40  
13.11% TRUCK % V. TR = 10  
SPEED - POSTED = 45 MPH  
TRAFFIC PATTERN GROUP = 4



### PROJECT PHASING NOTES (SEE SHEET SWM-1 FOR PHASE BOUNDARIES):

- BUILDING PERMITS MAY BE ISSUED IN PHASE 1-A UPON COMPLETION OF THE FOLLOWING TO THE SATISFACTION OF THE SUSSEX CONSERVATION DISTRICT AND THE SUSSEX COUNTY ENGINEERING DEPARTMENT:
  - TEMPORARY CONSTRUCTION ENTRANCE AT LOT 178
  - STORMWATER MANAGEMENT POND/SEDIMENT TRAP INCLUDING ALL FOREBAYS, FLARED ENDS AND STUBS OF INLET PIPES
  - ROUGH GRADING AND STABILIZATION OF PHASE 1-B
  - SANITARY SEWER PUMP STATION
  - UPON SCD APPROVAL OF STABILIZATION OF PHASE 1-B COMMENCE THE FOLLOWING:
    - GRAVITY SEWER FROM THE PUMP STATION THROUGH PHASES 2-A, 1-A, & 2-B.
    - SANITARY SEWER FORCE MAIN
    - STORM SEWER FROM THE POND THROUGH PHASES 2-A, 1-A & 2-B
    - WATER MAIN AND OTHER UTILITY INSTALLATION THROUGH PHASES 1-A & 2-B
    - DETAILED GRADING OF PHASE 1-A
    - FOREST BUFFERS ADJACENT TO PHASE 1-A LOTS
- PHASE 1 ENTRANCE INCLUDING ITEMS A & B LISTED IN THE DELAWARE DEPARTMENT OF TRANSPORTATION (DELDOT) PHASING NOTES BELOW. CERTIFICATES OF OCCUPANCY SHALL NOT BE ISSUED UNTIL THE PHASE 1 ENTRANCE IMPROVEMENTS HAVE BEEN INSPECTED AND APPROVED BY THE DELAWARE DEPARTMENT OF TRANSPORTATION (DELDOT).
- PHASE 2-A AND/OR 2-B CONSTRUCTION MAY COMMENCE AS SOON AS ADEQUATE PORTIONS OF PHASE 1 HAVE BEEN FULLY STABILIZED, AT THE DISCRETION OF THE SCD INSPECTOR.
- THE REMAINING PHASES MAY BE MOBILIZED CONCURRENTLY PROVIDED NO MORE THAN 20 ACRES ARE DESTABILIZED AT ONE TIME. CONTRACTOR TO COORDINATE COMMENCEMENT OF ADDITIONAL PHASES WITH THE SUSSEX CONSERVATION DISTRICT AND THE SUSSEX COUNTY ENGINEERING DEPARTMENT INSPECTORS.
- ALL AMENITIES SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE 75TH BUILDING PERMIT, INCLUDING THE POOL HOUSE, SWIMMING POOL, PAVILION, BIKE RACK, TOT LOT, SPORTS FIELD, & WALKING TRAILS.

### DELDOT PHASING NOTES

- PRIOR TO THE ISSUANCE OF DELDOT'S ENTRANCE PLAN APPROVAL LETTER THE DEVELOPER OF WINDSWEPT AT LEWES SHALL MAKE AN EQUITABLE CONTRIBUTION IN THE AMOUNT OF \$149,424, TO DELDOT FOR IMPROVEMENTS TO BE CONSTRUCTED BY THE HSP SR 24 AT CAMP ARROWHEAD ROAD AND SR 24 AT ROBINSONVILLE ROAD / ANGOLA ROAD INTERSECTION, CONTRACT NO. T20720902.
- PRIOR TO THE ISSUANCE OF THE 1ST BUILDING PERMIT, A HAMMERHEAD ENTRANCE ON ANGOLA BEACH ROAD (CONSTRUCTION SHEET CE-44 - PHASE 1 GRADING PLAN) AND THE PORTIONS OF SHARED USE PATH NORTH OF THE HAMMERHEAD ENTRANCE ALONG ANGOLA BEACH ROAD AND ALONG ANGOLA ROAD SHALL BE CONSTRUCTED AND ACCEPTED AS SHOWN PER CONSTRUCTION SHEETS CE-10, CE-12, CE-41 & CE-43.
- IF THE DEVELOPER OF HALEY'S GLEN OBTAINS A PERMIT FOR ENTRANCE CONSTRUCTION PRIOR TO THE ISSUANCE OF WINDSWEPT AT LEWES'S 75TH BUILDING PERMIT, THE DEVELOPER OF WINDSWEPT AT LEWES SHALL BE RESPONSIBLE FOR WIDENING THE SOUTH SIDE OF ANGOLA ROAD TO ACCOMMODATE OPPOSING LEFT TURN LANES AT THE INTERSECTION OF ANGOLA ROAD / ANGOLA BEACH ROAD / HALEY'S GLEN SUBDIVISION ENTRANCE. THE DEVELOPER OF WINDSWEPT AT LEWES SHALL ALSO BE RESPONSIBLE FOR THE ADDITIONAL WIDENING REQUIRED TO ACCOMMODATE THE CONVERSION OF THE BAY RIDGE WOODS EXISTING BYPASS LANE INTO A LEFT TURN LANE. THE DEVELOPER OF WINDSWEPT AT LEWES AND THE DEVELOPER OF HALEY'S GLEN SHALL COORDINATE THE TIMING AND COST SHARING RESPONSIBILITIES OF THE FINAL 2" OVERLAY OF ANGOLA ROAD. THE IMPROVEMENTS, AS MENTIONED IN NOTE C, SHALL BE CONSTRUCTED AND ACCEPTED BY DELDOT PRIOR TO THE ISSUANCE OF THE 83RD BUILDING PERMIT AS SHOWN PER CONSTRUCTION SHEETS CE-6, CE-7, CE-9-11 & CE-33-42.
- IF THE DEVELOPER OF HALEY'S GLEN DOES NOT OBTAIN A PERMIT FOR ENTRANCE CONSTRUCTION PRIOR TO THE ISSUANCE OF WINDSWEPT AT LEWES'S 75TH BUILDING PERMIT, THE DEVELOPER OF WINDSWEPT AT LEWES WILL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION OF THE WESTBOUND LEFT-TURN LANE ALONG ANGOLA ROAD, ONTO ANGOLA BEACH ROAD. THE IMPROVEMENTS, AS MENTIONED IN NOTE D, SHALL BE CONSTRUCTED AND ACCEPTED BY DELDOT PRIOR TO THE ISSUANCE OF THE 107TH BUILDING PERMIT, AS SHOWN PER CONSTRUCTION SHEETS CE-4A, CE-7A, CE-9A-11A & CE-33A-42A.
- PRIOR TO THE ISSUANCE OF THE 107TH BUILDING PERMIT, THE DEVELOPER OF WINDSWEPT AT LEWES SHALL CONSTRUCT THE WIDENING OF ANGOLA BEACH ROAD AND THE REMAINING PORTIONS OF THE SHARED USE PATH, SOUTH OF THE HAMMERHEAD ENTRANCE. DELDOT SHALL INSPECT AND ACCEPT THE IMPROVEMENTS, AS MENTIONED IN NOTE C, PRIOR TO THE ISSUANCE OF THE 107TH BUILDING PERMIT, AS SHOWN PER CONSTRUCTION SHEETS CE-7-8, CE-10, CE-12-15, CE-19-32, CE-40-41 & CE-43.

### WETLANDS CERTIFICATION:

THIS PROPERTY HAS BEEN EXAMINED BY COASTAL SOILS CONSULTANTS FOR THE PRESENCE OF WATERS OF THE UNITED STATES INCLUDING WETLANDS (SECTION 404 AND SECTION 10), STATE SUBARQUEOUS LANDS AND STATE TIDAL WETLANDS BASED ON THE CRITERIA SET FORTH BY THE REVIEWING AGENCIES IN THE FORM OF MANUALS, POLICIES AND PROCEDURES IN PLACE AT THE TIME THAT THE INVESTIGATION WAS CONDUCTED. IN ACCORDANCE WITH OUR FIELD INVESTIGATIONS USING BEST PROFESSIONAL JUDGMENT, THERE ARE NO REGULATED WETLANDS OR WATERS OF THE U.S. LOCATED ON THE SUBJECT PROPERTY SHOWN ON THIS PLAN.

### EQUITABLE OWNER'S CERTIFICATION:

I HEREBY CERTIFY THAT I AM THE EQUITABLE OWNER OF THE PROPERTY SHOWN AND DESCRIBED ON THIS PLAN, AND THAT THE SUBDIVISION SHOWN REPRESENTS MY ACT, AND THAT I DESIRE THE PROPERTY TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES AND REGULATIONS.

### SITE DATA:

OWNER:	DAWN DORMAN, KELLY DORMAN, MARLENE HARNON 22542 JOHN J WILLIAMS HWY LEWES, DE. 19958
EQUITABLE OWNER/DEVELOPER:	BOARDWALK DEVELOPMENT, LLC C/O JOSEPH REED 317 REHOBOTH AVENUE REHOBOTH BEACH, DE 19971 jreedre@gmail.com
TAX MAP DEED REFERENCE:	234-12-00-3.00 & 6.00 DB 4061 - PG 188
STATE INVESTMENT LEVEL:	3
TRANSPORTATION IMPROVEMENT DISTRICT:	N/A
HIGHWAY FUNCTIONAL CLASSIFICATION/POSTED SPEED LIMIT:	SCR 278-ANGOLA BEACH ROAD-LOCAL-45 MPH SCR 277-ANGOLA ROAD - LOCAL-45 MPH
ZONING JURISDICTION/CURRENT ZONING:	SUSSEX COUNTY / GR-RPC (CZ # 1859)
EXISTING USE:	AGRICULTURAL
PROPOSED USE:	SINGLE FAMILY DETACHED HOUSING
PROPOSED RESIDENTIAL LOTS DENSITY:	201 PROPOSED 3.37 DWELLING UNITS/ACRE
REQUIRED LOT SIZE:	60'
MIN. WIDTH:	100'
MIN. DEPTH:	100'
MIN. AREA:	7,500 SQ. FT. *
BUILDING SETBACKS:	
FRONT:	25'
CORNER:	15'
SIDE:	8'
REAR:	10'
* REDUCED LOT WIDTH, LOT AREA AND SETBACKS APPROVED WITH RPC CHANGE OF ZONE (CZ # 1859)	

### PROPOSED BUILDING HEIGHT:

42' MAX.

### SITE AREA CALCULATIONS:

OPEN SPACE PARCEL A	12.77 AC.	
OPEN SPACE PARCEL B	1.09 AC.	
OPEN SPACE PARCEL C	0.54 AC.	
TOTAL OPEN SPACE	14.40 AC. (24%)	
DEDICATION TO STATE OF DELAWARE	0.32 AC.	
AREA TO TRANSFER TO BAY POINT SUBDIVISION	0.34 AC.	
PRIVATE ROAD R.O.W.	9.07 AC.	
LOTS	35.84 AC.	
TOTAL SITE AREA	59.96 AC.	
NET DEVELOPMENT AREA (TOTAL - ROAD R.O.W.)	50.89 AC.	
OPEN SPACE CALCULATIONS:		
STORMWATER MANAGEMENT AREA	4.78 AC.	
EXISTING FOREST TO REMAIN	0.98 AC.	
FOREST BUFFER TO BE PLANTED	3.72 AC.	
DELDOT PERMANENT EASEMENT (SHARED USE PATH)	1.06 AC.	
OTHER OPEN SPACE	3.81 AC.	
FEDERAL AND STATE WETLANDS	0.00 AC.	
PROPERTY IS PRESENTLY 2% FORESTED	1.15 AC.	
FOREST TO REMAIN	0.49 AC.	
TOTAL FOREST ON PROPERTY	1.64 AC.	
POST DEVELOPMENT IMPERVIOUS COVER	57%	
WATER SUPPLY	TIDWATER UTILITIES	
SEWAGE DISPOSAL	SUSSEX COUNTY	

### ENGINEER'S CERTIFICATION:

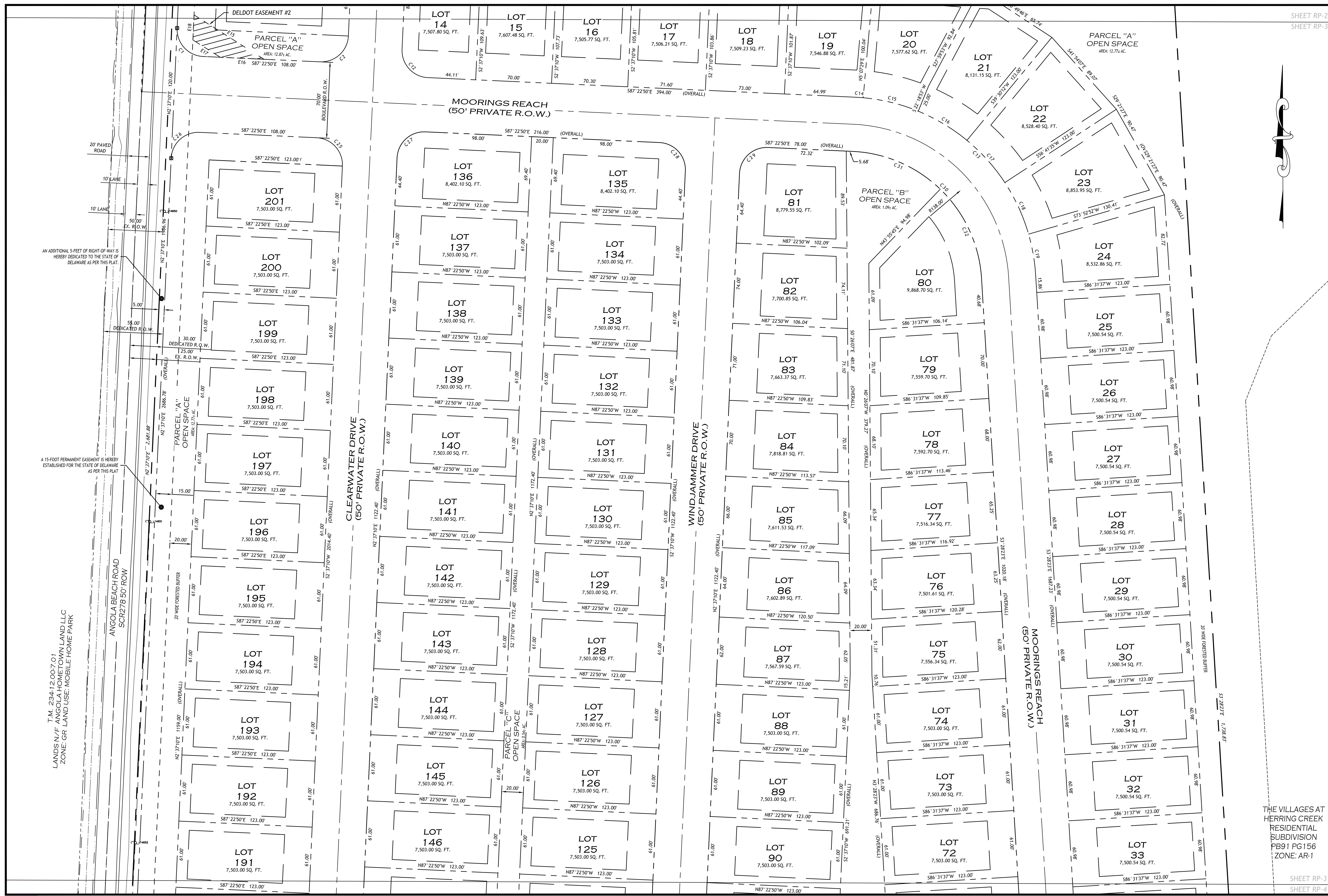
I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED PROFESSIONAL STANDARDS AND PRACTICES AND BY THE SUSSEX COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.

KENNETH R. CHRISTENBURY, P.E. DATE  
DE. LICENSE NO. 11553-EXPIRES 6/30/2022

APPROVED: \_\_\_\_\_ DATE \_\_\_\_\_

SUSSEX COUNTY PLANNING & ZONING	TITLE	DATE
SUSSEX CONSERVATION DISTRICT APPROVAL:		
23818 SHORTLY ROAD - GEORGETOWN, DE 19947	302-856-7219	FAX 856-0951





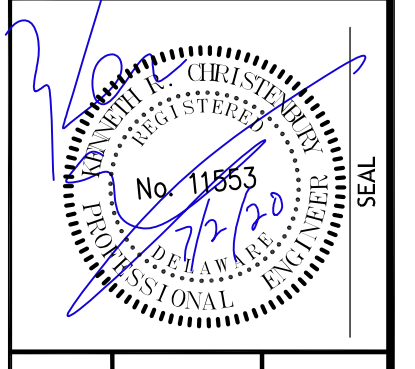
REVISIONS

NO.	DATE	BY	DESCRIPTION
1	7/7/2020	JWC	ISSUED FOR PERMIT
2	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
3	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
4	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
5	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
6	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
7	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
8	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
9	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
10	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
11	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
12	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
13	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
14	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
15	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
16	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
17	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
18	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
19	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
20	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
21	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
22	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
23	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
24	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
25	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
26	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
27	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
28	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
29	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
30	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
31	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
32	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS
33	7/7/2020	JWC	REVISIONS TO AGENCY COMMENTS

**RECORD PLAN**  
 CZ #1859 - COUNTY AGREEMENT #1099  
**WINDSWEPT @ LEWES R.P.C.**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM ENGINEERING L.L.C.**  
 18 CHESTNUT STREET  
 SUITE 200 DE 19947  
 (302) 855-0812  
 FAX: 855-0812  
 WWW.AXIOMENR.COM  
 WWW.AXIOMENR.COM

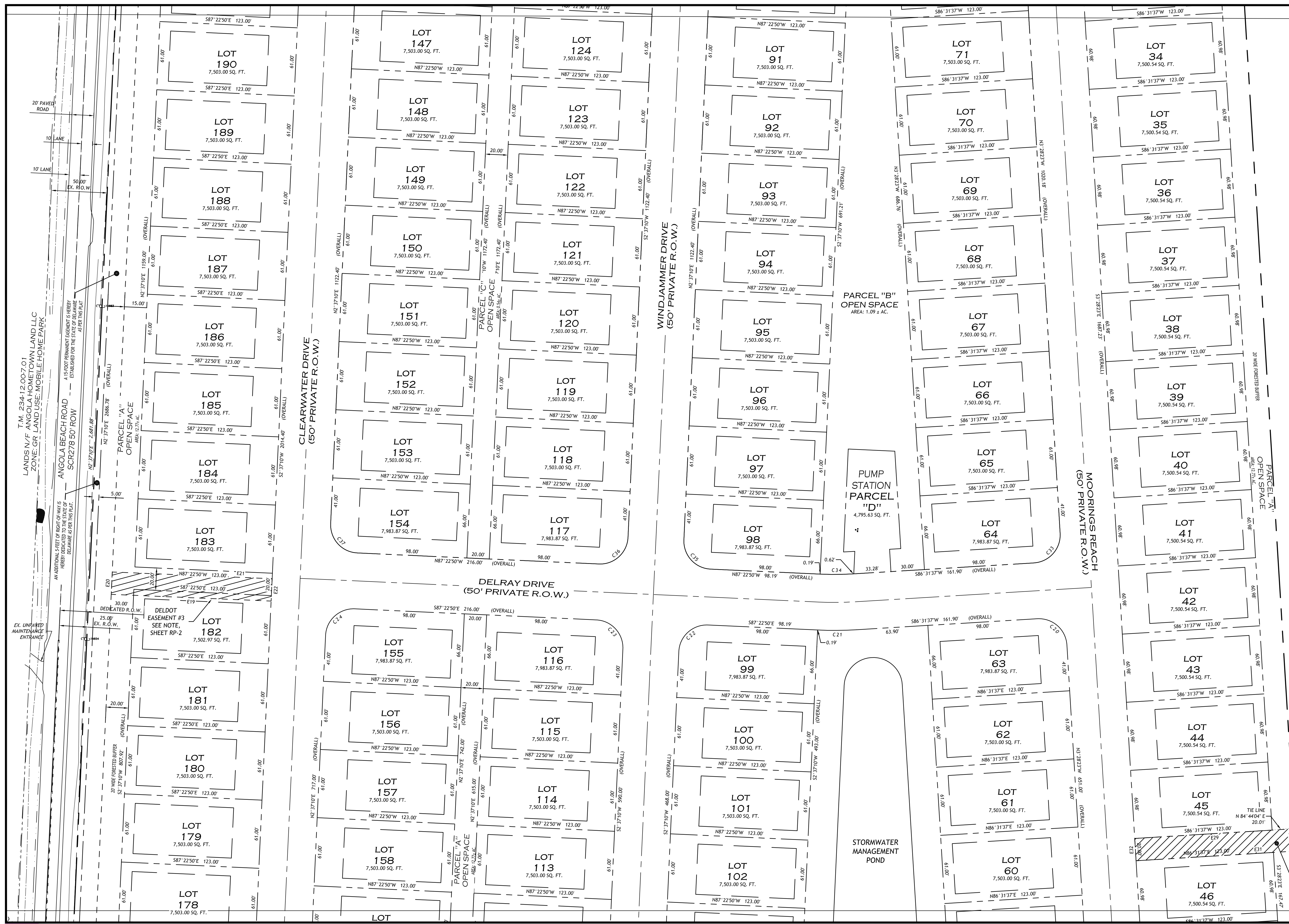
ENGINEER:	JWC
DESIGNER:	JWC
DRAWN BY:	JWC
CHECKED BY:	JWC
DATE:	4/1/2019
TAX MAP:	234-12-003.0 B 6.00



PROJECT NO: 0233-1702  
 DRAWING: RP-3  
 SHEET: 3 OF 5

THE VILLAGES AT HERRING CREEK  
 RESIDENTIAL SUBDIVISION  
 PB91 PG156  
 ZONE: AR-1

SHEET RP-3  
 SHEET RP-4



SHEET RP-3  
SHEET RP-4

THE VILLAGES AT  
HERRING CREEK  
RESIDENTIAL  
SUBDIVISION  
PB91 PG156  
ZONE: AR-1

REV	DESCRIPTION OF REVISION
1	ISSUED FOR PERMIT
2	REVISIONS TO PERMIT COMMENTS
3	REVISIONS TO PERMIT COMMENTS
4	REVISIONS TO PERMIT COMMENTS
5	REVISIONS TO PERMIT COMMENTS
6	REVISIONS TO PERMIT COMMENTS
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9	REVISIONS TO PERMIT COMMENTS
10	REVISIONS TO PERMIT COMMENTS

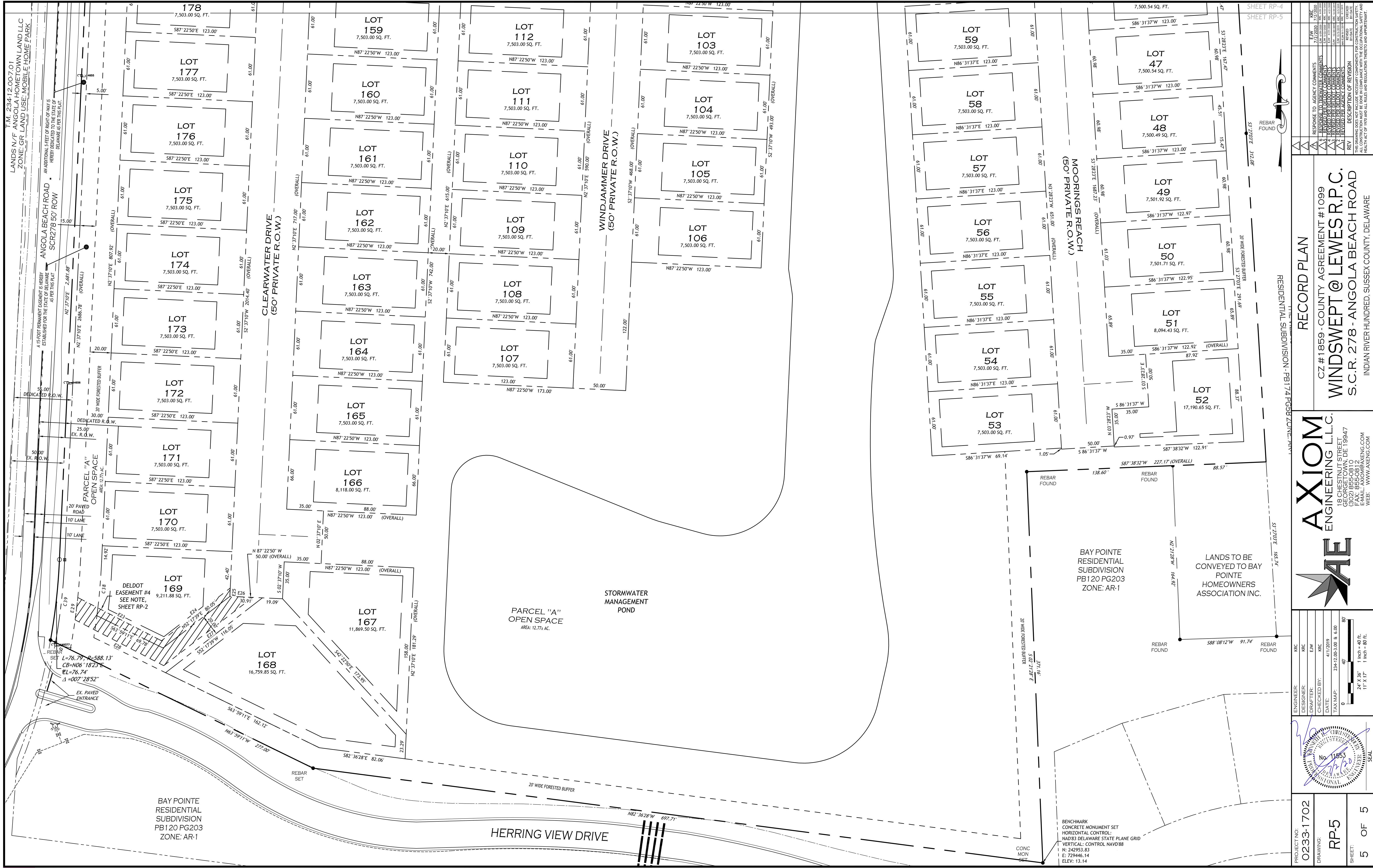
**RECORD PLAN**  
CZ #1859 - COUNTY AGREEMENT #1099  
**WINDSWEPT @ LEWES R.P.C.**  
S.C.R. 278 - ANGOLA BEACH ROAD  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**Axiom Engineering L.L.C.**  
18 CHESTNUT STREET  
DELSWATER, DE 19847  
(302) 855-0812  
FAX: 855-0812  
WWW.AXIOMENGS.COM

ENGINEER: MKC  
DESIGNER: MKC  
DRAFTER: EKW  
CHECKED BY: MKC  
DATE: 4/1/2019  
TAX MAP: 234-12-003.00 B, 6.00  
SCALE: 1 inch = 40 ft.  
11" X 17"

PROJECT NO: 0233-1702  
DRAWING: RP-4  
SHEET: 4 OF 5

T.M. 234-12-007.01  
LANDS N/F ANGOLA HOMETOWN LAND LLC  
ZONE: GR LAND USE: MOBILE HOME PARK  
ANGOLA BEACH ROAD  
SCR278 50' ROW  
A 15' FOOT EASEMENT EXISTING TO HERRY CREEK FROM THE STATE OF DELAWARE AS PER THE PLAN  
AN ADDITIONAL STREET OF RIGHT OF WAY IS BEING GRANTED TO THE STATE OF DELAWARE AS PER THIS PLAN  
EX. UNIMPAVED MAINTENANCE ENTRANCE  
20' WIDE CONCRETE BUFFER  
52.37'10"W 809.92'  
DEDICATED R.O.W.  
25.00' EX. R.O.W.  
DELDOT EASEMENT #3 SEE NOTE, SHEET RP-2  
20' WIDE EASEMENT GRANTED TO TIDEWATER UTILITIES AREA= 2860± SQ. FT. SHEET RP-4 SHEET RP-5



T.M. 234-12-007-01  
 LANDS N/F ANGOLA HOMETOWN LAND LLC  
 ZONE: GR. LAND USE: MOBILE HOME PARK

ANGOLA BEACH ROAD  
 SCR278 50' ROW  
 AN ADDITIONAL FEET OF RIGHT-OF-WAY IS HEREBY DEDICATED TO THE STATE OF DELAWARE AS PER THIS PLAN EXCEPT AS PER THIS PLAN.

A 15-FOOT REMAINT EASEMENT IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAN.

30' WIDE FORESTED BUFFER  
 DEDICATED R.O.W.  
 EX. R.O.W.  
 20' PAVED ROAD  
 10' LANE  
 10' LANE

PARCEL "A" OPEN SPACE  
 12.77 AC

DELDOT EASEMENT #4  
 SEE NOTE, SHEET RP-2

REBAR SET

CONC MON SET

BAY POINTE RESIDENTIAL SUBDIVISION PB120 PG203 ZONE: AR-1

STORMWATER MANAGEMENT POND

PARCEL "A" OPEN SPACE AREA: 12.77 AC.

REBAR FOUND

REBAR FOUND

REBAR FOUND

REBAR FOUND

REBAR FOUND

REBAR FOUND

REBAR FOUND

REBAR FOUND

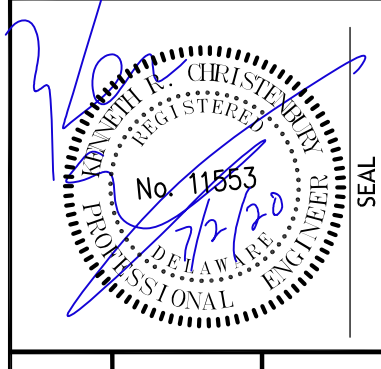
SHEET RP-4  
SHEET RP-5

REV	DESCRIPTION OF REVISION	DATE	BY
1	ISSUED FOR PERMIT	7/7/2020	KRC
2	REVISION TO AGENCY COMMENTS	7/7/2020	EJW
3	REVISION TO AGENCY COMMENTS	7/7/2020	KRC
4	REVISION TO AGENCY COMMENTS	7/7/2020	KRC
5	REVISION TO AGENCY COMMENTS	7/7/2020	KRC
6	REVISION TO AGENCY COMMENTS	7/7/2020	KRC
7	REVISION TO AGENCY COMMENTS	7/7/2020	KRC
8	REVISION TO AGENCY COMMENTS	7/7/2020	KRC
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12	REVISION TO AGENCY COMMENTS	7/7/2020	KRC
13	REVISION TO AGENCY COMMENTS	7/7/2020	KRC
14	REVISION TO AGENCY COMMENTS	7/7/2020	KRC
15	REVISION TO AGENCY COMMENTS	7/7/2020	KRC
16	REVISION TO AGENCY COMMENTS	7/7/2020	KRC
17	REVISION TO AGENCY COMMENTS	7/7/2020	KRC
18	REVISION TO AGENCY COMMENTS	7/7/2020	KRC
19	REVISION TO AGENCY COMMENTS	7/7/2020	KRC
20	REVISION TO AGENCY COMMENTS	7/7/2020	KRC

RECORD PLAN  
 CZ #1859 - COUNTY AGREEMENT #1099  
**WINDSWEPT @ LEWES R.P.C.**  
 S.C.R. 278 - ANGOLA BEACH ROAD  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**AXIOM**  
 ENGINEERING L.L.C.  
 18 CHESTNUT STREET  
 SUITE 200  
 DELEWARE CITY, DE 19847  
 (302) 855-0812  
 FAX: 855-0812  
 WWW.AXIOMENGINEERING.COM

ENGINEER: KRC  
 DESIGNER: KRC  
 DRAFTER: EJW  
 CHECKED BY: KRC  
 DATE: 4/1/2019  
 TAX MAP: 234-12-003.00 B. 6.00



PROJECT NO: 0233-1702  
 DRAWING: RP-5  
 SHEET: 5 OF 5

BENCHMARK  
 CONCRETE MONUMENT SET  
 HORIZONTAL CONTROL:  
 NAD83 DELAWARE STATE PLANE GRID  
 VERTICAL: CONTROL NAVD88  
 N: 24055.83  
 E: 729446.14  
 ELEV: 13.14





14716 Laurel Road  
Laurel, DE 19956  
Phone (302)430-4099

[Generationswelding@gmail.com](mailto:Generationswelding@gmail.com)

July 8, 2020

Sussex County Planning & Zoning Department  
2 The Circle  
PO Box 589  
Georgetown, DE 19947

RE: Tax Parcel #232-19.00-30.00  
Property Address – 14716 Laurel Road, Laurel, DE 19956

To whom it may concern:

On a letter from your office dated March 27, 2020 it was required that we submit for final site plan review with "increased interconnectivity between any and all neighboring and adjacent parcels shall be displayed". Upon questioning this decision we were informed that we must show interconnectivity with our neighbors lot as their property was zoned commercial. The property owned by Clarence and Darlene Whaley is not used for commercial business. It is a residential property used for residential purposed only. Below you will find signatures from Clarence and Darlene Whaley attesting to this fact. Therefore, no interconnectivity is necessary between our lot and theirs. Thank you.

RECEIVED

JUL 09 2020

SUSSEX COUNTY  
PLANNING & ZONING

Sincerely,

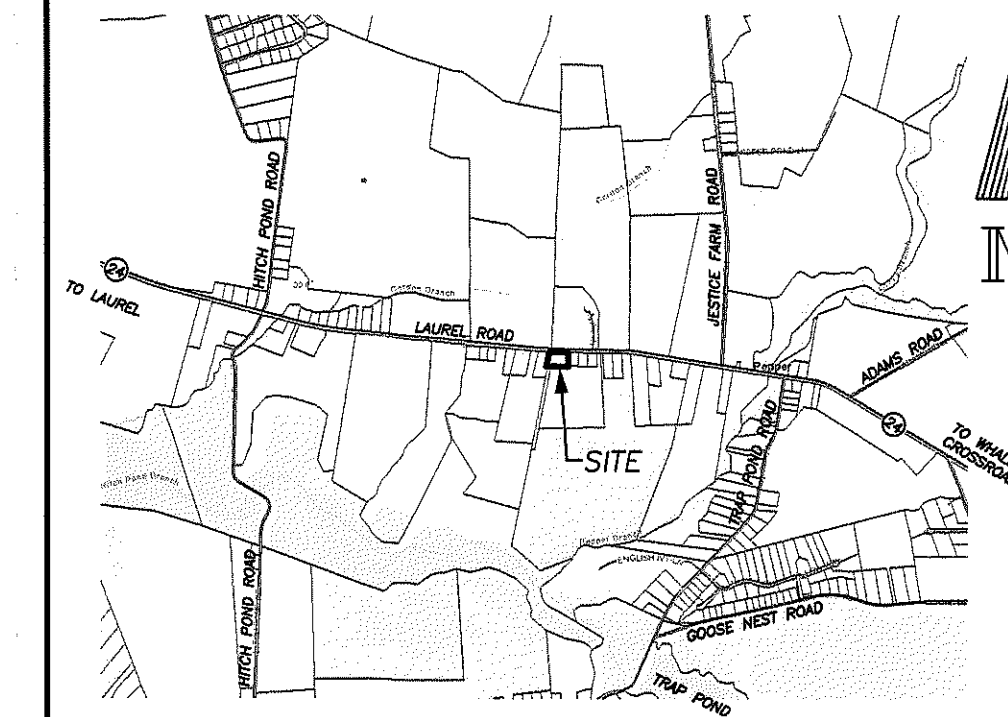
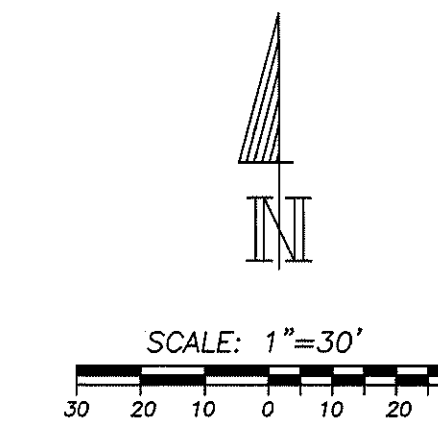
  
Steven W. Coleman

Clarence Whaley - 

Darlene Whaley - 

CONDITIONAL USE # 2178:

- A. No outside repair work shall be performed on site.
- B. All used, junked parts, equipment, etc. shall be screened from view of neighboring properties and roadways and shall be appropriately discarded or recycled.
- C. The property shall have security lighting that is downward screened so that it does not project onto neighboring properties or roadways.
- D. If desired by the Applicant, one lighted sign not to exceed 32 square feet per side shall be permitted.
- E. The Applicant shall comply with all DelDOT requirements concerning access and roadway improvements.
- F. All dumpsters or trash disposal containers shall be screened from view from neighboring properties, adjacent properties and roadways.
- G. The Final Site Plan shall be subject to the review and approval of the Sussex County Planning and Zoning Commission.



LOCATION MAP  
SCALE: 1"=3000'

DATA COLUMN:

**OWNER/DEVELOPER:**  
STEVEN W. & CARRIE M. COLEMAN  
14716 LAUREL RD  
LAUREL, DE 19956  
(302) 430-4099  
Email: steve@generationswelding.com

**DESIGN ENGINEER:**  
STEPHEN R. LEHR, P.E.  
P.O. BOX 165  
LINCOLN, DE 19960  
(302) 930-0920  
(302) 422-9562 FAX  
Email: S.Lehr.PE@gmail.com  
CONTACT: STEPHEN R. LEHR

**EXISTING USE:**

RESIDENTIAL LOT

**PROPOSED USE:**

NEW COMMERCIAL WELDING FABRICATION SHOP  
BUILDING AREA - 2,800 SF  
BUILDING HEIGHT - LESS THAN 25'  
(70' MAX ALLOWED)  
CONSTRUCTION - WOOD FRAMING  
ON CONCRETE SLAB  
BUILDING NOT PROTECTED WITH SPRINKLERS

**LOCATION:**

14716 LAUREL RD (LOT 1)  
1/2 MILE W OF JUSTICE FARM RD

TAX MAP PARCEL: 2-32-19.00-30.00

**STATE PLANE COORDINATES:**

LAT. 38.5422  
LONG. -75.4864

**OFF-STREET PARKING:**

6 REQUIRED SPACES  
(@ 1 SPACE PER 500 SQ FT GROSS FLOOR AREA) +  
(@ 1 SPACE PER EMPLOYEE)  
8 PROPOSED SPACES (9' x 18' SPACES)  
(ADDITIONAL UNLINED PARKING FOR ACCESSIBLE SPACES  
AVAILABLE IN FRONT OF EXISTING BARN)

**ZONING:**

AR-1 CONDITIONAL USE # 2178

**SETBACKS:**

i. FRONT YARD: 40 FT

ii. SIDE YARD: 15 FT

iii. REAR YARD: 20 FT

**CENTRAL SEWER:**

EXISTING ON-SITE SEPTIC  
(NO CONNECTION TO PROPOSED BUILDING)

**WATER SUPPLY:**

EXISTING ON-SITE WELL  
(NO CONNECTION TO PROPOSED BUILDING)

**PARCEL SIZE:**

1.605 Acres (69,911 SF)

**AREAS:**

(EXISTING)

4,141 SQ FT EXISTING BUILDINGS

384 SQ FT EXISTING COVERED AREA (LEAN-TO)

7,274 SQ FT EXISTING GRAVEL DRIVEWAY

2,810 SQ FT FENCED YARD

(PROPOSED)

2,800 SQ FT PROPOSED BUILDING

512 SQ FT PROPOSED COVERED PORCH

6,206 SQ FT PROPOSED PAVED DRIVEWAY

(REMAINING OPEN SPACE)

45,784 SQ FT OPEN SPACE (65.5%)  
(INCLUDING 11,272 SQ FT IN 50' EASEMENT)

**FLOOD ZONE:**

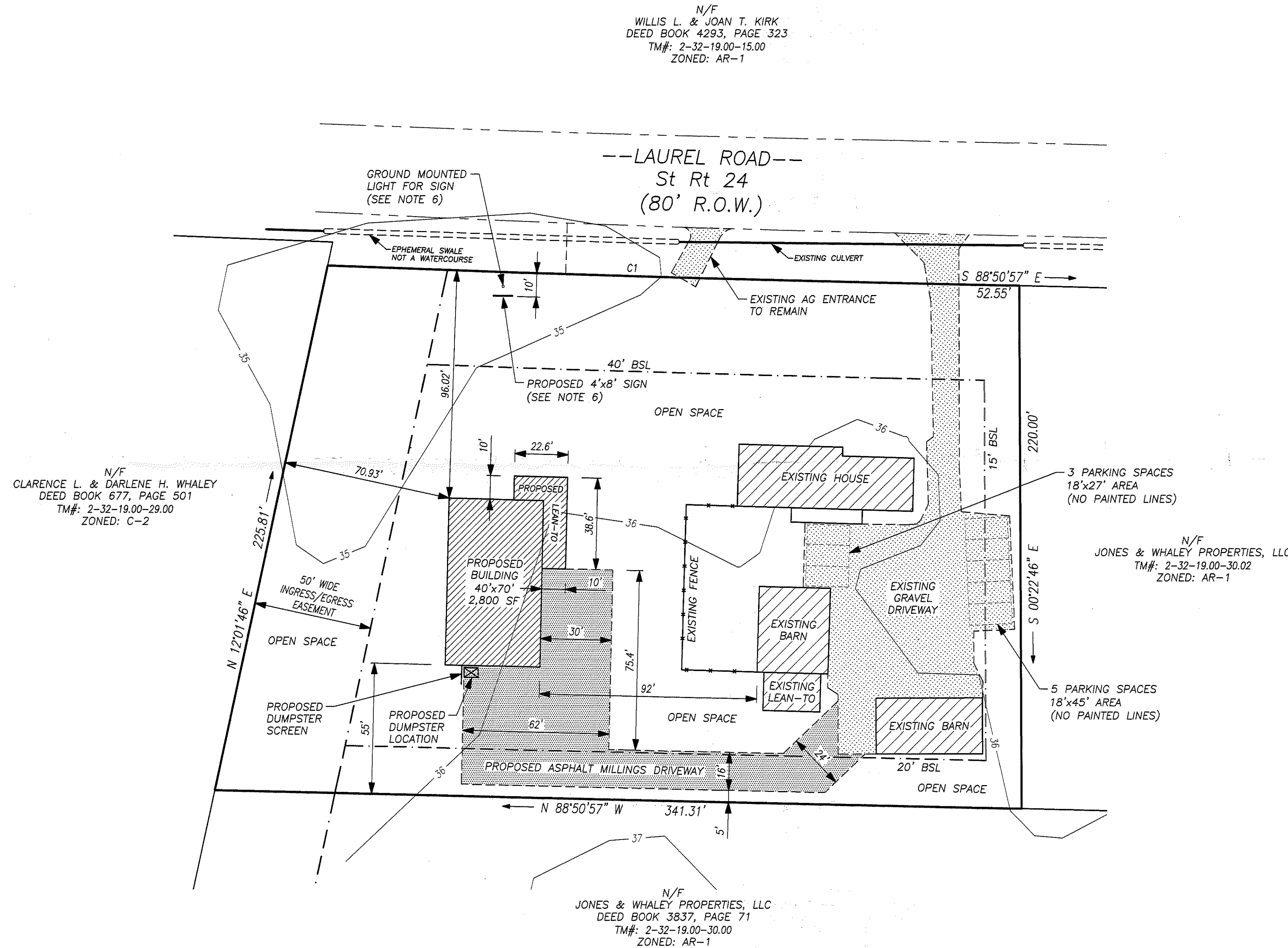
OUTSIDE OF 0.2% ANNUAL CHANCE FLOODPLAIN

AS SHOWN ON FIRM 10005C0440 K

REVISION DATE 3/5/2015

**VERTICAL BENCHMARK:**

NAVD 88



N/F  
CLARENCE L. & DARLENE H. WHALEY  
DEED BOOK 677, PAGE 501  
TM#: 2-32-19.00-29.00  
ZONED: C-2

N/F  
JONES & WHALEY PROPERTIES, LLC  
TM#: 2-32-19.00-30.02  
ZONED: AR-1

N/F  
JONES & WHALEY PROPERTIES, LLC  
DEED BOOK 3837, PAGE 71  
TM#: 2-32-19.00-30.00  
ZONED: AR-1

SITE PLAN  
SCALE 1"=30'

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	15804.23'	0°52'16"	240.28'	S 88°24'49" W	240.28'

- NOTES**
- LOT IS SERVED BY EXISTING PRIVATE WELL.
  - LOT SURVEY INFORMATION FROM SITE PLAN BY DAVIS, BOWEN & FRIEDEL, INC. ARCHITECTS, ENGINEERS & SURVEYORS DATED MAY 21, 2019 TOPOGRAPHIC INFORMATION FROM SUSSEX COUNTY MAPPING (NO SURVEY PERFORMED BY STEPHEN R. LEHR)
  - ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS
  - THIS SITE IS MAPPED OUTSIDE OF SOURCE WATER PROTECTION AREAS.
  - THIS SITE IS MAPPED OUTSIDE OF ANY WETLANDS.
  - PROPOSED SIGN AND GROUND MOUNTED LIGHT FOR SIGN TO BE AS APPROVED UNDER SEPARATE SIGN PERMIT. SIGN PERMIT IS REQUIRED PRIOR TO PLACING ANY SIGNAGE.



**APPROVED**  
APPROVED SITE PLAN FOR VARIATION  
AND REVISION OF SUBMISSIONS - SUBMITTED  
JULY 15, 2015  
SUSSEX COUNTY  
PLANNING & ZONING COMMISSION  
1 SHEET  
APPLICANT MUST OBTAIN FINAL SITE  
PLAN APPROVAL FROM THE ISSUANCE  
OF CERTIFICATE OF OCCUPANCY.

REVISIONS	BY
3-16-20	SRL

GENERATIONS WELDING & CONTRACTING, LLC  
 14716 LAUREL ROAD  
 LAUREL, DE 19956  
 SUSSEX COUNTY, DELAWARE  
 TAX MAP # 2-32-19.00-30.00

STEPHEN R. LEHR  
 ENGINEERING  
 10046 CLEMENSEL FOND ROAD  
 P.O. BOX 165  
 LINCOLN, DE 19960  
 (302) 930-0920  
 S.Lehr.PE@gmail.com

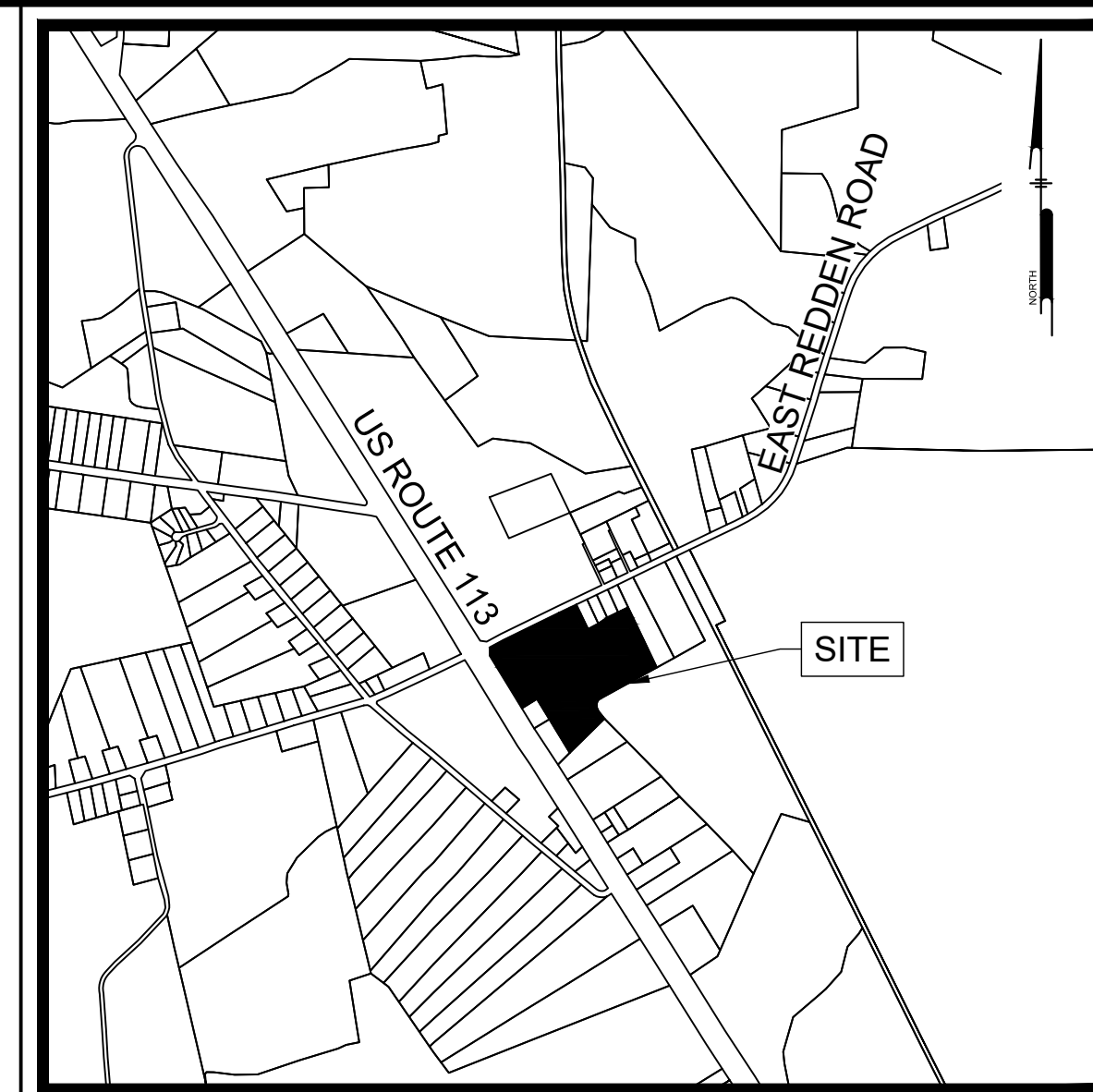
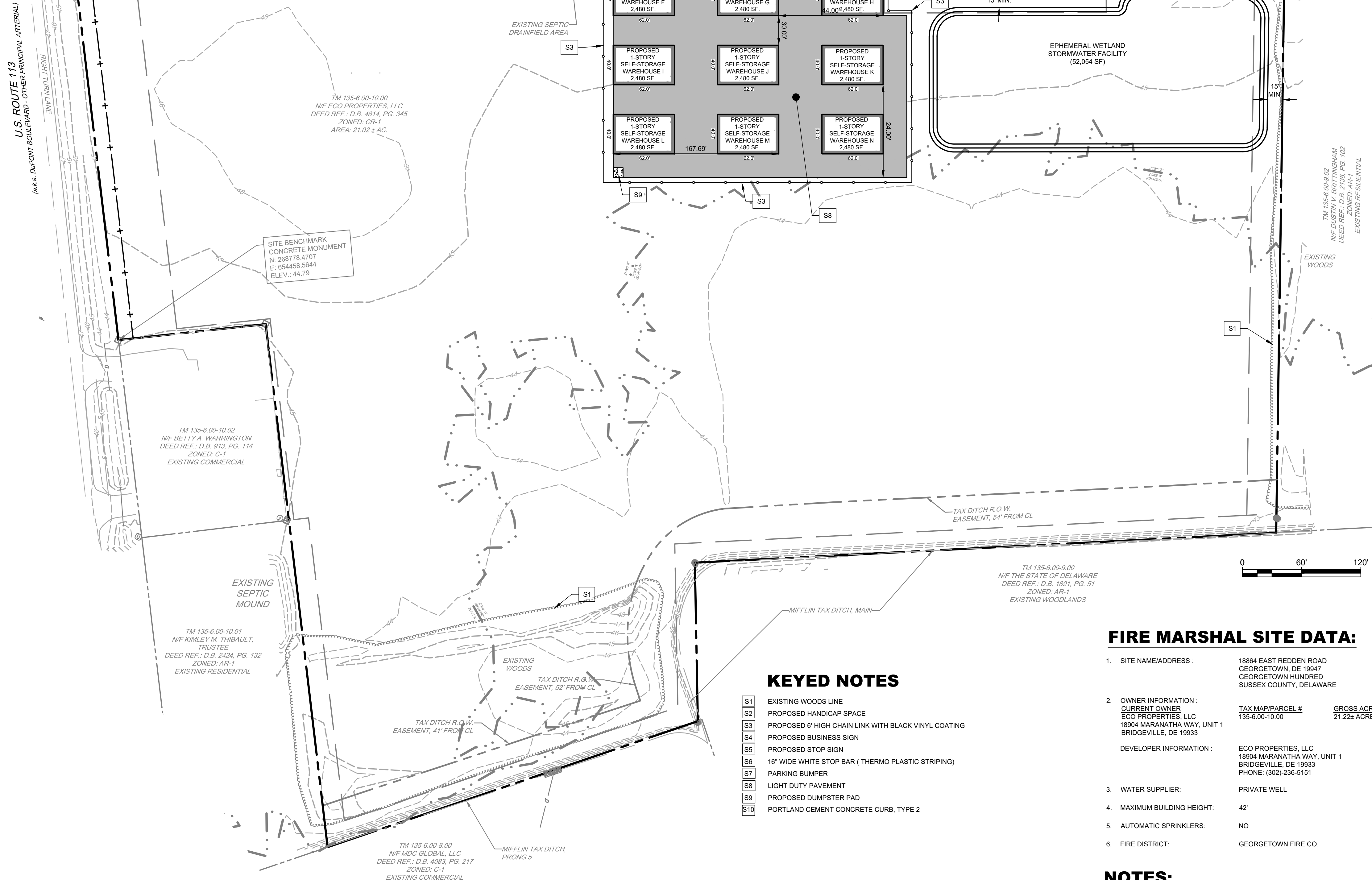
DATE
2-11-20
SCALE
1"=30'
JOB NO.
L-19051
SHEET
SP-1

U.S. ROUTE 113  
 (B&E DUPONT BOULEVARD - OTHER PRINCIPAL ARTERIAL)

REDDEN TAX DITCH

EAST REDDEN ROAD  
 LOCAL ROAD (SCR 565) - 60' R.O.W.

REFER TO ENTRANCE PLANS  
 FOR ADDITION INFORMATION.



**LOCATION MAP**

Scale: 1" = 1500'

**SITE INFORMATION:**

SITE ADDRESS:  
 18864 EAST REDDEN ROAD  
 GEORGETOWN, DE 19847  
 GEORGETOWN HUNDRED

OWNER/DEVELOPER:  
 ECO PROPERTIES, LLC  
 18904 MARANATHA WAY UNIT 1  
 BRIDGEVILLE, DE 19933

ENGINEER:  
 PENNONI ASSOCIATES, INC.  
 18072 DAVIDSON DRIVE  
 MILTON, DE 19968

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	BUILDING
[Symbol]	[Symbol]	FULL DEPTH PAVEMENT
[Symbol]	[Symbol]	CURB
[Symbol]	[Symbol]	EDGE OF PAVEMENT
[Symbol]	[Symbol]	EDGE OF GRAVEL
[Symbol]	[Symbol]	PERMANENT EASEMENT
[Symbol]	[Symbol]	CROSS ACCESS EASEMENT
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	POWER, UTILITY POLE
[Symbol]	[Symbol]	PROPERTY, LINE
[Symbol]	[Symbol]	TAX DITCH RIGHT-OF-WAY
[Symbol]	[Symbol]	PROPERTY, CORNER FOUND
[Symbol]	[Symbol]	PROPERTY, ADJOINING LINED
[Symbol]	[Symbol]	SITE, MAIL BOX
[Symbol]	[Symbol]	SITE, TRAFFIC SIGN
[Symbol]	[Symbol]	VEGETATED SWALE
[Symbol]	[Symbol]	SOIL LABEL
[Symbol]	[Symbol]	WELL
[Symbol]	[Symbol]	SOIL BORING
[Symbol]	[Symbol]	SPOT ELEVATION
[Symbol]	[Symbol]	MARKING, HANDICAP PARKING
[Symbol]	[Symbol]	LIGHT POLE
[Symbol]	[Symbol]	BUILDING RESTRICTION LINE
[Symbol]	[Symbol]	WOOD LINE
[Symbol]	[Symbol]	FLOOD ZONE LINE

**FIRE MARSHAL SITE DATA:**

- SITE NAME/ADDRESS : 18864 EAST REDDEN ROAD  
 GEORGETOWN, DE 19847  
 GEORGETOWN HUNDRED  
 SUSSEX COUNTY, DELAWARE
- OWNER INFORMATION :  
 CURRENT OWNER : ECO PROPERTIES, LLC  
 18904 MARANATHA WAY, UNIT 1  
 BRIDGEVILLE, DE 19933  
 DEVELOPER INFORMATION : ECO PROPERTIES, LLC  
 18904 MARANATHA WAY, UNIT 1  
 BRIDGEVILLE, DE 19933  
 PHONE: (302) 236-5151
- WATER SUPPLIER: PRIVATE WELL
- MAXIMUM BUILDING HEIGHT: 42'
- AUTOMATIC SPRINKLERS: NO
- FIRE DISTRICT: GEORGETOWN FIRE CO.

**NOTES:**

- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
- ALL ACCESS TO DWELLINGS SHALL BE CLEARED A MINIMUM OF 15' WIDE.
- ALL DWELLINGS TO BE WOOD FRAME CONSTRUCTION WITH A MAXIMUM BUILDING HEIGHT OF ONE STORY, NOT TO EXCEED 42'.
- DIRECT DOWNSPOUTS TO THE REAR OF BUILDINGS TO POSITIVELY DRAIN EACH BUILDING TOWARDS THE EPHEMERAL WETLANDS STORMWATER SYSTEM.

**KEYED NOTES**

- S1 EXISTING WOODS LINE
- S2 PROPOSED HANDICAP SPACE
- S3 PROPOSED 6' HIGH CHAIN LINK WITH BLACK VINYL COATING
- S4 PROPOSED BUSINESS SIGN
- S5 PROPOSED STOP SIGN
- S6 16" WIDE WHITE STOP BAR ( THERMO PLASTIC STRIPING )
- S7 PARKING BUMPER
- S8 LIGHT DUTY PAVEMENT
- S9 PROPOSED DUMPSTER PAD
- S10 PORTLAND CEMENT CONCRETE CURB, TYPE 2

**BUILDING USE AND CONSTRUCTION**

BUILDING	USE	CONSTRUCTION TYPE	SF	SPRINKLER
O	MANAGERS OFFICE	1-STORY WOOD FRAME	256	NO
A-N	SELF STORAGE WAREHOUSE	1-STORY WOOD FRAME	2,480	NO

14 TOTAL BUILDINGS, EACH WITH A 2,480 SF FOOTPRINT.

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR  
 AND OWNER MUST BE NOTIFIED OF ANY  
 DISCREPANCIES BEFORE PROCEEDING WITH WORK

ECO PROPERTIES STORAGE UNITS  
 (S-20-20)  
 18864 EAST REDDEN ROAD  
 GEORGETOWN, DE 19847

PRELIMINARY SITE PLAN

ECO PROPERTIES LLC  
 18904 MARANATHA WAY UNIT 1  
 BRIDGEVILLE, DE 19933

NO.	DATE	REVISIONS	BY
1	2020-06-23	REVISED PER PAZ COMMENTS	TPM

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**ENGINEER CERTIFICATION:**  
 IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE COMPLIES WITH APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 ALAN DECKTOR, PE (DE PE#17771)  
 PENNONI ASSOCIATES, INC.  
 18072 DAVIDSON DRIVE  
 MILTON, DE 19968  
 OFFICE (302) 684-8030 - FAX (302) 684-8054

**OWNER/DEVELOPER CERTIFICATION:**  
 IT IS HEREBY CERTIFIED THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 ECO PROPERTIES, LLC  
 18904 MARANATHA WAY, UNIT 1  
 BRIDGEVILLE, DELAWARE 19933  
 (302) 236-5151

PROJECT: KHPKN19001  
 DATE: 2020-06-10  
 DRAWING SCALE: 1" = 60'  
 DRAWN BY: SJD/TPM  
 APPROVED BY: AMD

**CS1001**

**SITE DATA COLUMN:**

- TAX MAP NUMBER: 135-6.00-10.00 DEED BOOK 4814, PG 345
- DEED REFERENCE: DEED BOOK 4814, PG 345
- DEVELOPER NAME: ECO PROPERTIES, LLC  
DEVELOPER ADDRESS: 18904 MARANATHA WAY UNIT 1 BRIDGEVILLE, DE 19933
- SITE ADDRESS: 18864 EAST REDDEN ROAD GEORGETOWN, DE 19947 GEORGETOWN HUNDRED
- CURRENT ZONING: CR-1 COMMERCIAL RESIDENTIAL (AGRICULTURAL RESIDENTIAL (AR-1) TO COMMERCIAL RESIDENTIAL (CR-1) THROUGH CHANGE OF ZONE 1848, APPROVED BY P&Z 4/26/2018 AND COUNTY COUNCIL 5/15/2018 ADOPTED THROUGH ORDINANCE NO. 2576).
- PRESENT USE: VACANT AG LAND / RESIDENTIAL HOUSE  
PROPOSED USE: WAREHOUSING / RESIDENTIAL HOUSE
- REQUIRED SETBACKS:  
FRONT SIDE: (CODE SECTION §115-83.8B) 60 FEET  
REAR: (A 20' SIDE SETBACK IS REQUIRED WHEN ADJACENT TO RESIDENTIAL ZONING DISTRICTS) 5 FEET  
(A 30' REAR SETBACK IS REQUIRED WHEN ADJACENT TO RESIDENTIAL ZONING DISTRICTS)
- BUILDING HEIGHT: 42' MAX. ALLOWED (CODE SECTION §115-83.8.C)
- PARKING (ARTICLE XXII: OFF-STREET PARKING, CODE SECTION §115-162): STORAGE WAREHOUSE (34,720 SQ. FT.): NO REQUIRED PARKING MANAGEMENT OFFICE (256 SQ. FT.): 1 SPACE PER 200 SQ. FT. OF FLOOR AREA  
PROPOSED REQUIRED SPACES: 2 OFFICE AREA  
PROPOSED PROVIDED SPACES: 2 SPACES (INCLUDING 1 HANDICAP SPACE)
- LOADING SPACES REQUIRED: 0 SPACE (CODE SECTION §115-163)  
0 SPACE PROVIDED
- WATER SUPPLY: PRIVATE ON-SITE WELL FOR EX. HOUSE (NO PROPOSED WATER SERVICE)  
WATER IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DIVISION OF PUBLIC HEALTH  
SECTION 89:  
SOURCE WATER PROTECTION  
A. SUBJECT PROPERTY IS WITHIN AN AREA OF "POOR/FAIR/EXCELLENT" GROUNDWATER RECHARGE.  
B. SUBJECT PROPERTY IS NOT LOCATED IN A WELLHEAD PROTECTION AREA.
- SEWER SUPPLY: PRIVATE ON-SITE SEPTIC FOR EX. HOUSE (IF OFFICE HAS BATHROOM FACILITIES, THEY WILL BE TIED TO EXISTING SYSTEM)
- LATITUDE AND LONGITUDE STATE PLAN COORDINATES: LONGITUDE: W075° 00' 52.94" LATITUDE: N038° 73' 74.82"
- PROPERTY DEVELOPMENT STANDARDS (CODE SECTION §115-83.8A):  
TOTAL AREA (GROSS): 21.22± ACRES  
MINIMUM LOT AREA: 10,000 SF  
MINIMUM LOT WIDTH: 75 FT.  
MINIMUM LOT DEPTH: 100 FT.
- NET DEVELOPMENT AREA: 1.68± AC.
- WETLAND AREA: 0.00 AC.
- PROPOSED DISCHARGE LOCATION: PROPOSED EPHEMERAL WETLAND STORMWATER FACILITY (GRAVELLY BRANCH & UPPER DEEP CREEK WATERSHED)
- LIMIT OF DISTURBANCE: 5.79± AC.
- SITE CALCULATIONS:  
BUILDING AREA: EX. = 2,614 ± S.F. (0.06± AC.) PR. = 37,462.00± S.F. (0.86± AC.)  
GRASS: EX. = 852,469 ± S.F. (19.57± AC.) PR. = 745,312.00 ± S.F. (17.11± AC.)  
PAVEMENT/STONE AREA: EX. = 3,485 ± S.F. (0.08± AC.) PR. = 76,230.00 ± S.F. (1.75± AC.)  
WOODED AREA: EX. = 57,064± S.F. (1.31± AC.) PR. = 56,628.00± S.F. (1.30± AC.)  
TOTAL: EX. = 915,632± S.F. (21.02± AC.) PR. = 915,632.00± S.F. (21.02± AC.)
- TOTAL IMPERVIOUS AREA = 113,692± S.F. (12.42%)
- STATE INVESTMENT LEVEL: LEVEL 4  
COMPREHENSIVE PLAN AREA: COMMERCIAL AREA  
SCHOOL DISTRICT: INDIAN RIVER SCHOOL DISTRICT  
FIRE DISTRICT: GEORGETOWN FIRE CO. (77)
- DATUM: HORIZONTAL = NAD83  
VERTICAL = NAVD 88
- FLOOD ZONE: FEMA FLOOD NUMBER 10005C0300L  
REVISED JUNE 20TH, 2018
- LOCAL GOVERNMENT RESPONSIBLE FOR LAND USE APPROVAL OF SUSSEX COUNTY

**GENERAL NOTES:**

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY OWNER.
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN THE PLAN.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE REJECTED.
- ALL MATERIALS SHALL BE NEW AND SHALL BE ASBESTOS AND VERMICULITE FREE.
- THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE, OR MODIFY ANY EROSION AND SEDIMENT CONTROL MEASURES AS THEY DEEM NECESSARY.
- ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY, BUT NOT IN PAVEMENT, SHALL BE TOP-SOILED (6" MINIMUM), FERTILIZED AND SEEDED.
- THE ENTRANCES/EXITS ARE PROPOSED ONLY, AND ARE SUBJECT TO REVIEW AND APPROVAL BY THE DELAWARE DEPARTMENT OF TRANSPORTATION BEFORE A CONSTRUCTION PERMIT IS ISSUED.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO BE PERFORMED. IT MUST BE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO FIELD LOCATE AND RECORD AND DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REMOVED OR REPLACED. ENGINEER TO VERIFY LOCATION AND EXTENT OF DAMAGE.
- DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REPLACED OR REMOVED DURING CONSTRUCTION SHALL BE IMMEDIATELY REPORTED TO ENGINEER, CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED WORK WITHOUT CHARGE TO THE OWNER.
- BASED UPON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 10005C0300L, EFFECTIVE DATE: JUNE 20, 2018, THE PROPERTY IS SPLIT BETWEEN TWO FLOOD ZONES. THE AREA TO THE NORTH IS IN FLOOD ZONE "X" (UNSHADED), WHICH IS AN AREA THAT HAS BEEN DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN AND THE AREA TO THE SOUTH, CLOSEST TO THE TAX DITCH IS IN AN AREA DESIGNATED AS FLOOD ZONE "X" (SHADED), WHICH IS AN AREA THAT HAS BEEN DETERMINED TO BE WITHIN THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN.
- THE SUBJECT SITE WILL BE CONSTRUCTED AS ONE PHASE.
- TOTAL AREA FOR SUBJECT SITE IS 21.22 ACRES.
- SURVEY DATUM: HORIZONTAL - NAD83, VERTICAL - NAVD88.
- BUILDING LIGHTING TO BE PROVIDED WITH BUILDING PLANS. NO PARKING LOT LIGHTS ARE PROPOSED.
- ALL SITE LIGHTING SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
- NO WETLANDS ARE FOUND TO BE ON SITE PER THE DNREC NAVMAP ONLINE MAPPING SYSTEM.
- STORMWATER WILL BE HANDLED BY AN EPHEMERAL WETLAND STORMWATER SYSTEM. THE MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITY WITHIN THE SITE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
- ALL FIRE LANES, EXITS, STANDPIPE AND SPRINKLER CONNECTIONS WILL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS. EXISTING BUILDING CONSTRUCTION IS STEEL, CONCRETE, AND WOOD, ONE STORY AND WILL NOT HAVE SPRINKLERS.
- FIRE ALARM REQUIRED - THE FIRE ALARM SIGNALING SYSTEM SHALL BE AUTOMATIC, SUPERVISED OFF-SITE, AND SHALL CONSIST OF FULL COVERAGE BY SMOKE DETECTION AND ALARM NOTIFICATION. WHERE SMOKE DETECTION DEVICES WILL NOT FUNCTION BY REASON OF DEVICE LIMITATION, HEAT DETECTION SHALL BE PROVIDED IN THOSE SPECIFIC LOCATIONS FIRE ALARM SIGNALING SYSTEM PLANS AND SPECIFICATIONS SHALL BE SUBMITTED FOR REVIEW.
- MISS UTILITY SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO EXCAVATION.
- MAINTENANCE OF THE STREETS WITHIN THE SITE WILL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR PROPERTY OWNERS WITHIN THE SITE. THE STATE AND COUNTY ASSUME NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- SANITARY SEWER FOR THIS SITE WILL USE THE EXISTING SEPTIC, IF NEEDED
- WATER FOR THIS SITE WILL BE PROVIDED BY AN EXISTING ON-SITE WELL, IF NEEDED
- THE HEIGHT, LOCATION, AND MATERIAL OF ALL FENCES, WALLS, SCREEN PLANTING AND LANDSCAPING WILL BE SHOWN ON THE FINAL SITE PLAN.
- ANY PROPOSED SIGN DETAILS WILL BE SUBMITTED SEPARATELY.

**DELDOT RECORD NOTES, 3-21-2019:**

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS' LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
- THIS COMMERCIAL PARCEL HAS DIRECT FRONTAGE ALONG DUPONT BOULEVARD, ROUTE 113, WHICH HAS A FUNCTIONAL CLASSIFICATION OF PRINCIPLE ARTERIAL AS DEFINED BY THE STATE OF DELAWARE'S DEPARTMENT OF TRANSPORTATION. PER SECTION 3.6.1 OF THE DELDOT DEVELOPMENT COORDINATION MANUAL (DCM), IT IS THE DEVELOPER'S RESPONSIBILITY TO EVALUATE NOISE LEVELS AND THEIR IMPACTS ON PROPOSED DEVELOPMENT. FOR PROJECTS ADJACENT TO EXISTING TRANSPORTATION FACILITIES WITH THIS FUNCTIONAL CLASSIFICATION, ROADWAYS WITH THIS CLASSIFICATION CAN BE EXPECTED TO GENERATE ELEVATED LEVELS OF ROAD AND TRAFFIC RELATED NOISE, SIMILAR TO WHAT CAN BE EXPECTED IN URBAN AREAS. A DETAILED NOISE ANALYSIS PER DCM 3.6 IS TYPICALLY RECOMMENDED TO HELP GAUGE THE ACTUAL IMPACTS THAT ROADWAY RELATED NOISE MAY HAVE ON VARIOUS POTENTIAL LAND USES (SUCH AS THOSE DESCRIBED IN DCM FIGURE 3.6.3-A: NOISE ABATEMENT CRITERIA), WITH THE INCLUSION OF THIS NOTE, THE DEVELOPER IS ACKNOWLEDGING THAT THE PROPOSED SITE AND/OR BUILDING LOCATION CAN BE EXPECTED TO EXCEED THE SPECIFIC MAXIMUM NOISE LEVELS FOR CERTAIN COMMERCIAL AND NON-RESIDENTIAL USES AS SHOWN IN DCM FIGURE 3.6.3-A. THE DEVELOPER'S WAIVER OF THE NOISE ANALYSIS AND REVIEW OF POTENTIAL NOISE MITIGATION MEASURES ARE SUPPORTED BY THE INFEASIBILITY OF APPLYING NOISE MITIGATION MEASURES, BASED ON ENGINEERING CONSIDERATIONS AND FACTORS THAT WOULD LIMIT THE ABILITY TO ACHIEVE SUBSTANTIAL NOISE REDUCTION, RELATED TO THE COMMERCIAL USE OF THE SITE AND/OR BUILDINGS. THIS WAIVER ACKNOWLEDGES THAT THE DECIBEL LEVEL FOR THIS PARCEL MAY EXCEED THE APPLICABLE LIMITS FOR SOME CURRENT OR FUTURE PROPOSED USES. THE USE OF THIS NOTE SIGNIFIES THE SUBDIVISION ENGINEER'S CONCURRENCE WITH WAIVING THE DEVELOPER'S COMPLETION OF A DETAILED NOISE STUDY AND SUBSEQUENT REVIEW OF RESULTING NOISE ABATEMENT FINDINGS OR MITIGATION MEASURES. ANY FUTURE COMPLAINTS RELATING TO EXISTING OR FUTURE NOISE LEVELS IMPACTING PROPOSED USES ON THIS SITE AND ALONG THIS EXISTING TRANSPORTATION FACILITY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OR LAND OWNER OR BOTH.

**TRAFFIC GENERATION - EAST REDDEN ROAD (SCR 565)**  
(FULL MOVEMENT)

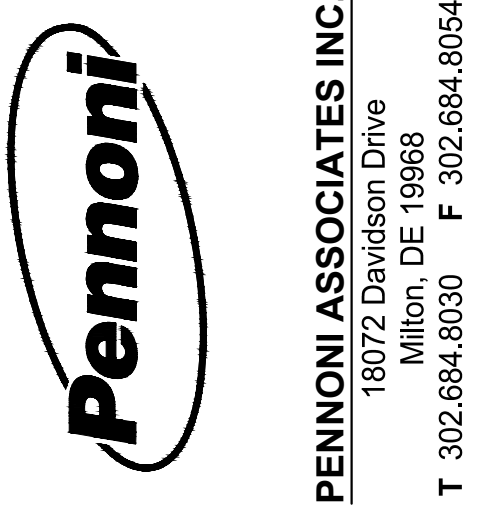
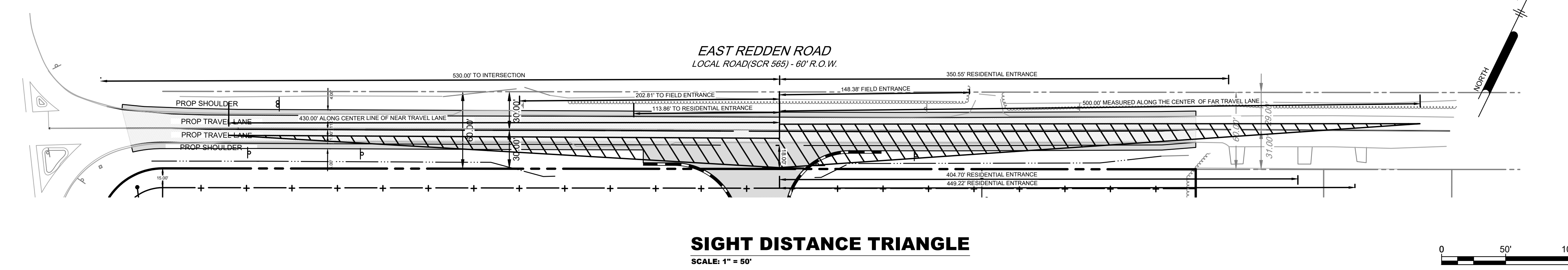
TAX MAP: 135-6.00-10.00, GEORGETOWN, DE  
**EAST REDDEN ROAD (SCR 565)**

**ROAD TRAFFIC DATA:**  
FUNCTIONAL CLASSIFICATION - S565 (EAST REDDEN ROAD) - LOCAL ROAD  
POSTED SPEED LIMIT - 50 MPH  
AADT = 665 TRIPS (FROM 2018 DELDOT TRAFFIC SUMMARY)  
10 YEAR PROJECTED AADT = 1.16 x 665 TRIPS = 771 TRIPS  
TRAFFIC PATTERN GROUP = 7 (FROM 2018 DELDOT TRAFFIC SUMMARY)  
PEAK HOUR - 14.15% x 871 TRIPS = 123 TRIPS  
TRUCK VOLUME - 13.11% x 871 = 114 TRUCKS

**ROAD TRAFFIC DATA:**  
FUNCTIONAL CLASSIFICATION - S113 (DUPONT BOULEVARD)  
POSTED SPEED LIMIT - 55 MPH - PRINCIPAL ARTERIAL  
AADT = 20,475 TRIPS (FROM 2018 DELDOT TRAFFIC SUMMARY)  
10 YEAR PROJECTED AADT = 1.16 x 20,475 TRIPS = 23,751 TRIPS  
TRAFFIC PATTERN GROUP = 5 (FROM 2018 DELDOT TRAFFIC SUMMARY)  
PEAK HOUR - 11.30% x 23,751 TRIPS = 2,684 TRIPS  
TRUCK VOLUME - 11.81% x 23,751 = 2,805 TRUCKS

**TRAFFIC GENERATION DIAGRAM**  
ADT PEAK HOUR (A.M.) [P.M.]  
\* DIRECTIONAL DISTRIBUTIONS PROVIDED BY DELDOT  
\* DIRECTIONAL DISTRIBUTIONS PROVIDED BY ITE MANUAL  
DESIGN VEHICLE: WB-40

**SITE TRAFFIC DATA:**  
SOURCE: ITE TRIP GENERATION MANUAL 10TH EDITION  
EXISTING LAND USE: SINGLE FAMILY RESIDENTIAL DWELLING = 10 TRIPS  
PROPOSED LAND USE: 34,720 SF - WAREHOUSING (ITE 150)  
34.7 KSF - T = 1.59(X) = 45.54 = 100 TRIPS (80 / 20)  
DIRECTIONAL DISTRIBUTION:  
OVERALL (80% FROM THE WEST, 20% FROM THE EAST)  
AM PEAK: T=0.12(X) + 25.32 = 29 TRIPS (77% ENTERING, 23% EXITING) [WEEKDAY]  
PM PEAK: T=0.12(X) + 27.82 = 32 TRIPS (27% ENTERING, 73% EXITING) [WEEKDAY]  
TOTAL NEW TRIPS = 100 ADT (23 / 6 AM PEAK) [26 / 6 PM PEAK]



**PENNONI ASSOCIATES INC.**  
18072 Davidson Drive  
Milton, DE 19968  
T 302.684.9030 F 302.684.8054

ECO PROPERTIES STORAGE UNITS  
(S-20-20)  
18864 EAST REDDEN ROAD  
GEORGETOWN, DE 19947

PRELIMINARY SITE PLAN NOTES

ECO PROPERTIES LLC  
18904 MARANATHA WAY UNIT 1  
BRIDGEVILLE, DE 19933

NO.	DATE	REVISIONS	BY
1	2020-06-23	REVISED PER PAZ COMMENTS	TPM

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PROJECT: KHPKN19001  
DATE: 2020-06-10  
DRAWING SCALE: 1"=50'  
DRAWN BY: SJD/TPM  
APPROVED BY: AMD

**CS1002**  
SHEET 2 OF 2



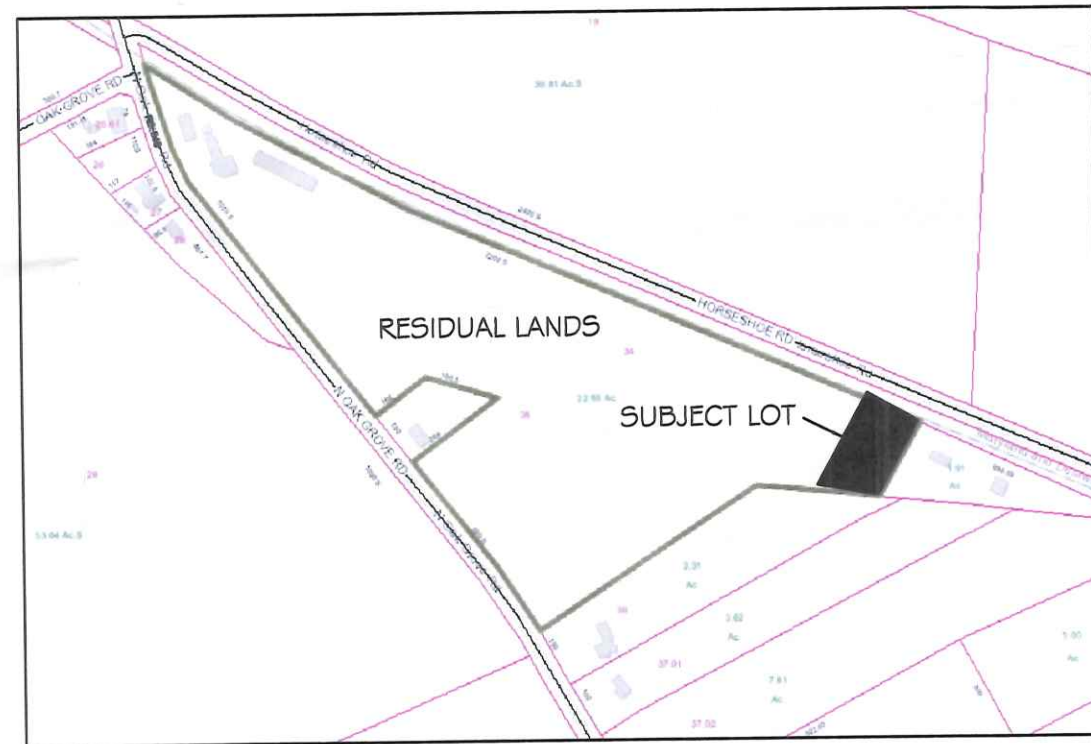
**DATA COLUMN:**

T.M.#531-8.00-34.00  
 ZONING: AR-1  
 SETBACKS:  
 FRONT: 30'  
 SIDE: 15'  
 REAR: 20'  
 TRACT AREA: 22.5 ACRES± (INCLUDING RESIDUAL AREA)  
 EXISTING LOTS: 1  
 PROPOSED LOTS: 1 NEW (2 TOTAL INCLUDING RESIDUAL LANDS)  
 PRESENT USE: AGRICULTURAL  
 PROPOSED USE: AGRICULTURAL/RESIDENTIAL  
 ACCESS: 30' WIDE INGRESS/EGRESS EASEMENT TO SCR 549  
 ROADWAY CLASSIFICATION: SCR 549 LOCAL ROADWAY  
 WATER AND SEWER: INDIVIDUAL ON-SITE  
 100 YEAR FLOODPLAIN: SITE IS NOT IMPACTED  
 AS PER FIRM #10005C0240K DATED 3/1/15  
 THIS PROJECT IS NOT IN THE PROXIMITY OF A TID  
 SPEED LIMIT ON N. OAK GROVE RD. IS 50MPH (UNPOSTED)

- NOTES:**
- IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
  - ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DEL.D.O.T.'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
  - THERE IS A FIFTY FOOT BUILDING SETBACK FROM LANDS USED FOR AGRICULTURAL PURPOSES.
  - THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE.
  - IF EXISTING ENTRANCES ARE ALTERED, THEY SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL. NO CONSTRUCTION SHALL OCCUR IN THE RIGHT-OF-WAY (ROW) WITHOUT A DELDOT PERMIT.
  - PERPETUAL MAINTENANCE OF THE PROPOSED 30 FOOT WIDE INGRESS/EGRESS EASEMENT SHALL BE THE EQUAL RESPONSIBILITY OF THE PROPERTY OWNERS THAT THE ROAD SERVES.
  - PARCEL 'A' SHALL HAVE ACCESS TO SCR 549 VIA THE 30-FOOT WIDE INGRESS/EGRESS EASEMENT AS SHOWN ON THIS PLAT.
  - TAX MAP #531-8.00-34.01 SHALL HAVE ACCESS TO SCR 549 VIA THE 30-FOOT WIDE INGRESS/EGRESS EASEMENT AS SHOWN ON THIS PLAT. THE RESIDUAL LANDS SHALL HAVE ACCESS SCR 549 VIA THE EXISTING ENTRANCE ON THE NORTH END OF RESIDUAL LANDS.

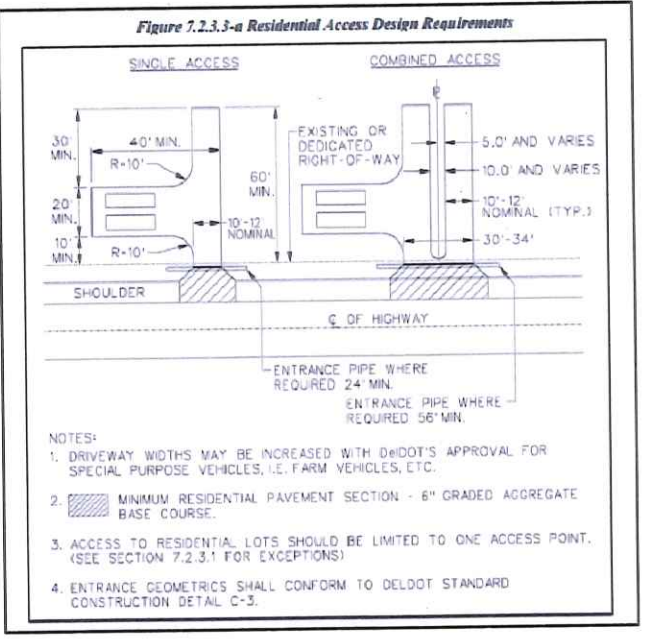
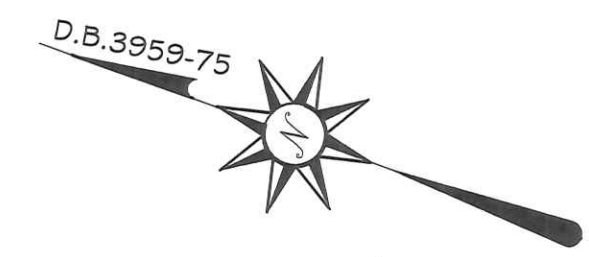
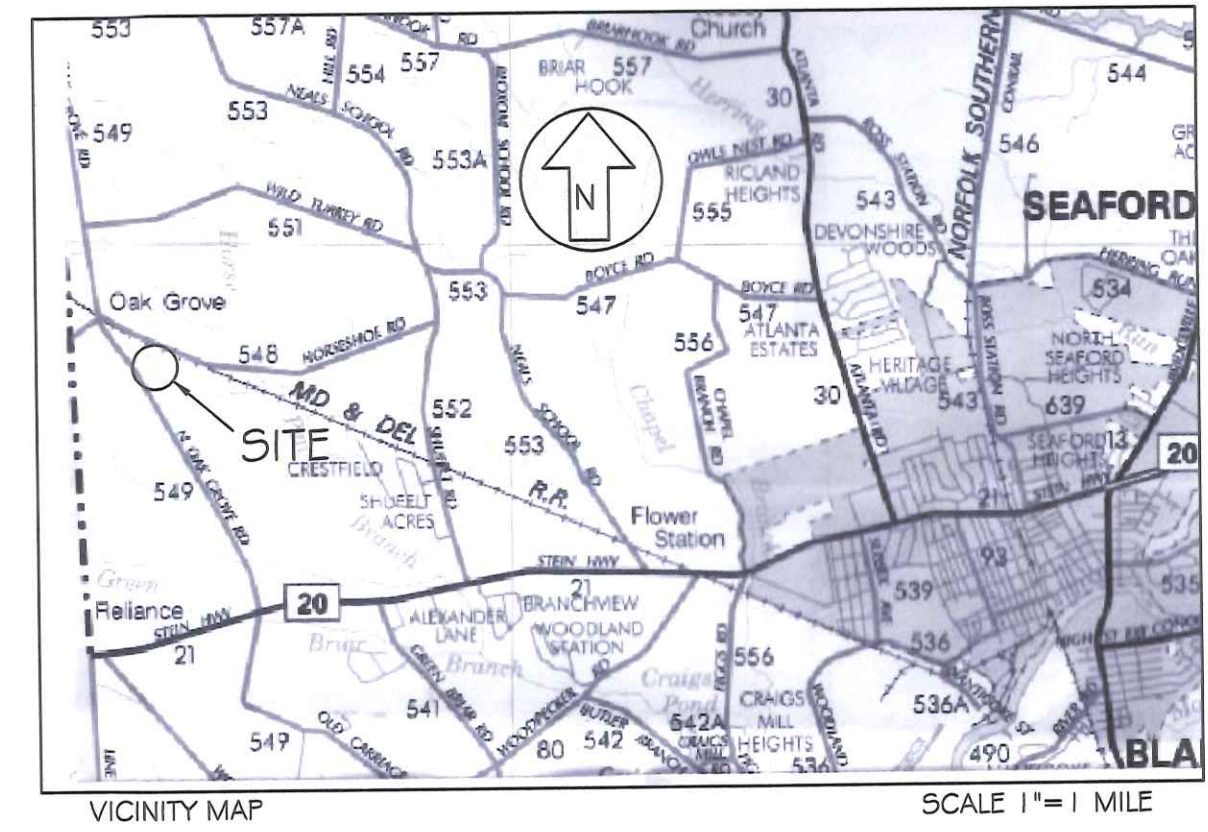
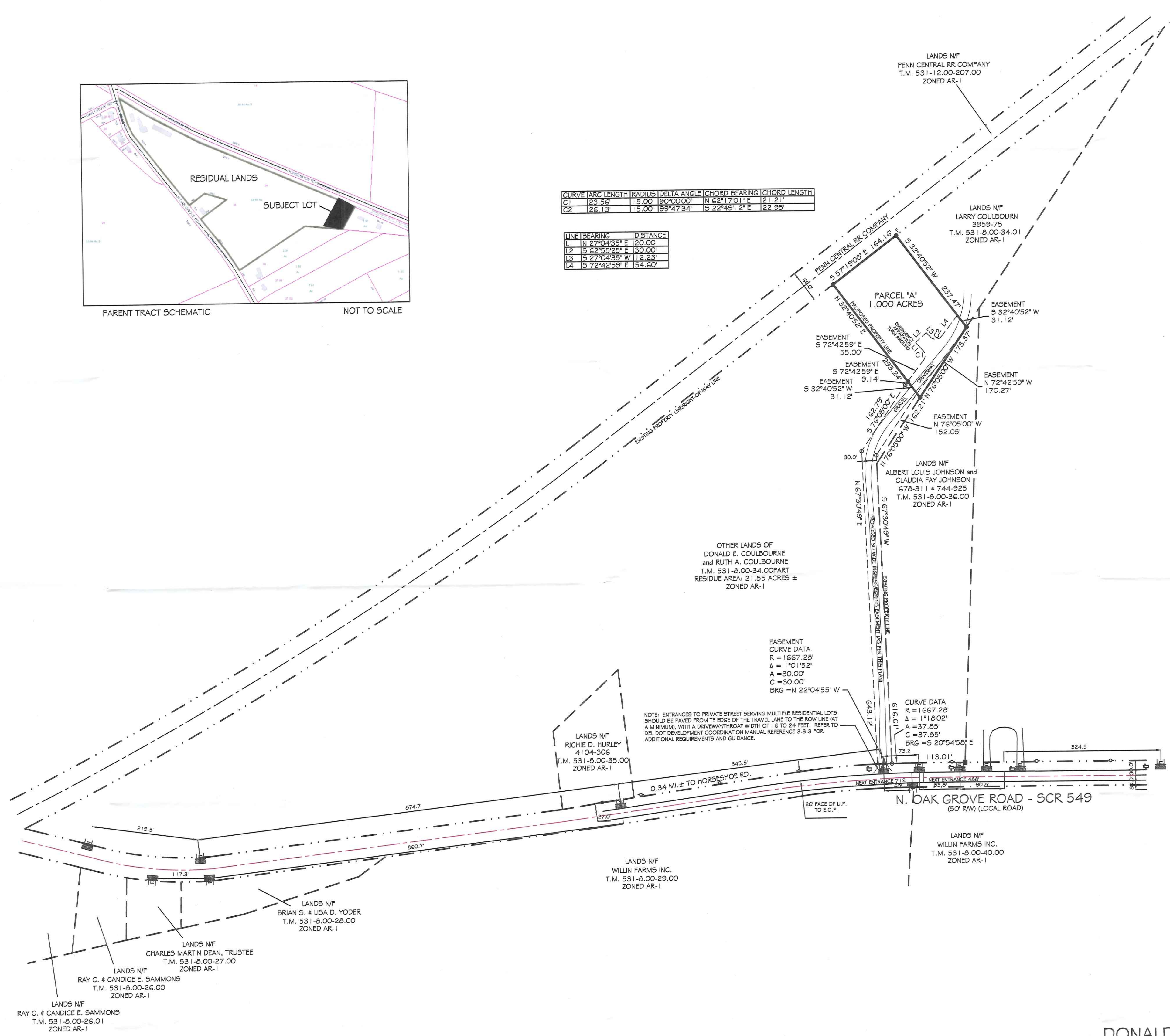
**FIRE MARSHAL NOTES:**

- ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTION SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
- MAXIMUM HEIGHT: 3 STORIES NOT TO EXCEED 42'.
- A SINGLE FAMILY DWELLING IS PROPOSED.
- BUILDING CONSTRUCTION TYPE: NFPA TYPE V WOOD FRAME.
- THIS IS NOT A GATED COMMUNITY.
- AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	23.56'	13.00'	90°00'00"	N 62°17'01" E	21.21'
C2	26.13'	13.00'	93°47'34"	S 22°49'12" E	22.95'

LINE	BEARING	DISTANCE
L1	N 2°04'35" E	20.00'
L2	S 62°59'25" E	30.00'
L3	S 27°04'35" W	12.23'
L4	S 72°42'59" E	154.60'

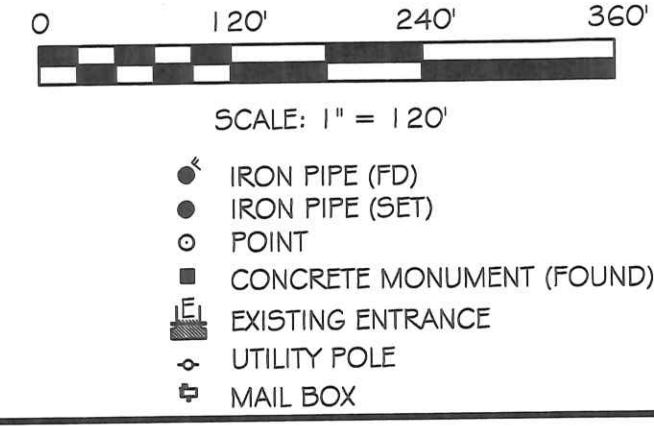


**SIGHT DISTANCE NOTE:**

NOTE: SHREDBURY PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.

1. STEPHEN M. SELLERS REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

STEPHEN M. SELLERS, PLS 556 DATE 7/6/2020



DATE	REVISION
6/16/2020	DEL D.O.T. COMMENTS
7/2/2020	DEL D.O.T. COMMENTS

WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT WE DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

WE CERTIFY THAT TITLE 17, SECTION 530 IS APPLICABLE TO THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN FOR VIRTUE OF: (CHECK APPLICABLE SECTION)

THE PARCEL IS SUBDIVIDED INTO NO MORE THAN 2 PARCELS WHICH WILL BE CONTINUED TO BE USED AS A FARM OR FARMLAND, OR

X THE SUBDIVIDED PARCEL OR PARCELS WILL BE TRANSFERRED TO A FAMILY MEMBER OR MEMBERS FOR PURPOSES OF USE AS A FAMILY MEMBER OR MEMBERS' PRINCIPAL RESIDENCE OR FARMLAND.

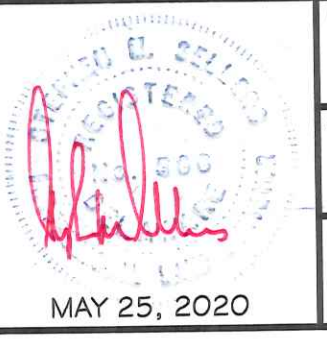
OWNER SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

OWNER SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

MINOR SUBDIVISION OF LANDS OF  
**DONALD E. COULBOURNE and RUTH A. COULBOURNE**

OWNER: DONALD E. COULBOURNE and RUTH A. COULBOURNE  
 29587 N. OAK GROVE ROAD  
 SEAFORD, DE. 19973

**MILLER LEWIS, INC.**  
 LAND SURVEYING  
 1560 MIDDLEFORD RD.  
 SEAFORD, DELAWARE 19973  
 PH: 302-629-9695 FAX: 302-629-2391



HUNDRED	COUNTY
SEAFOORD	SUSSEX
STATE	DRAWN BY
DELAWARE	D. A. MORRIS
REF.	DWG. NO.
D.B.3959-75	COULBOURNE 531-8-34.dwg



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

July 10, 2020

Mr. Jamie Whitehouse, Director  
Sussex County Planning & Zoning Commission  
Sussex County Administration Building  
P.O. Box 417  
Georgetown, Delaware 19947

**SUBJECT: Minor Subdivision - Letter of No Objection to Recordation  
DONALD E. COULBOURNE and RUTH A. COULBOURNE**  
Tax Parcel # 531-8.00-34.00  
SCR549-OAK GROVE ROAD  
Seaford Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Minor Subdivision Plan dated May 25, 2020 (last revised July 2, 2020), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawing. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Minor Subdivision Plan is not recorded and/or an entrance permit is not issued for the lot(s) prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

Entrances(s) must be installed prior to the sale of the lot(s). All entrances shall conform to DelDOT's [Development Coordination Manual](#) and shall be subject to its approval. **This letter does not authorize the commencement of entrance construction.**

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction

DONALD E. COULBOURNE and RUTH A. COULBOURNE

Mr. Jamie Whitehouse

Page 2

July 10, 2020

to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

The owner shall be responsible to submit a copy of the **recorded Minor Subdivision Plan** showing all appropriate signatures, seals, plot book and page number to the South District Public Works office (302) 853-1341 in order to obtain the entrance permit(s) for the proposed minor subdivision.

Sincerely,



Wendy L. Polasko  
Process and Quality Control Engineer  
Development Coordination

cc: Stephen Sellers, Miller Lewis  
Rusty Warrington, Sussex County Planning & Zoning  
Jessica L. Watson, Sussex Conservation District  
James Argo, South District Project Reviewer  
William Kirsch, South District Entrance Permit Supervisor  
Shannon Anderson, South District Public Work Admin Specialist  
Susanne K. Laws, Sussex County Review Coordinator  
John Andrescavage, Sussex County Reviewer



# COASTAL CORNER

## BALTIMORE HUNDRED

### SUSSEX COUNTY, DELAWARE

DBF # 1998D007  
**RECORD PLAN**  
 REFERENCE NUMBER #  
**OCTOBER, 2019**

#### SHEET INDEX

RECORD PLAN - TITLE	V-100
RECORD PLAN	V-101

#### CONDITIONS OF APPROVAL (ORDINANCE #2609, CU 2130)

APPROVED BY SUSSEX COUNTY COUNCIL OCTOBER 20, 2018

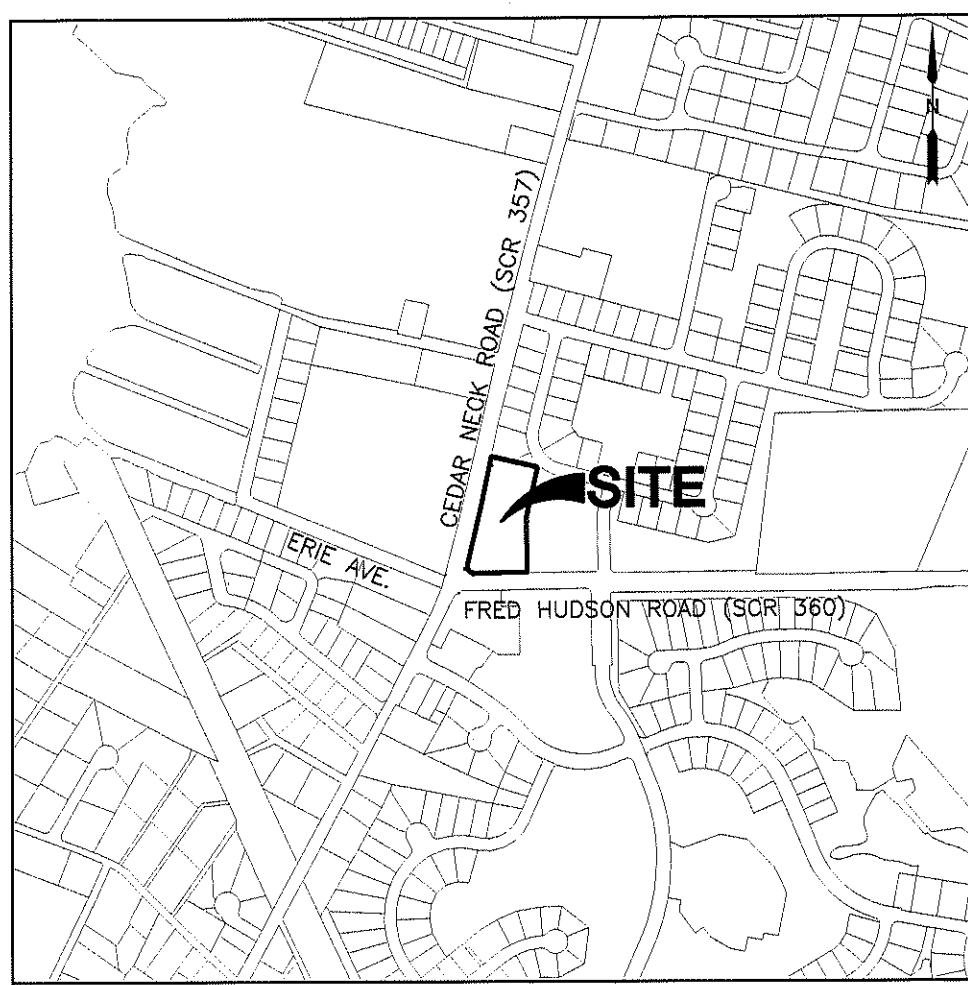
- A. THE MAXIMUM NUMBER OF TOWNHOUSE UNITS SHALL BE 16.
- B. AS PROVIDED BY SECTION 115-218 OF THE ZONING CODE, THERE SHALL BE A FORESTED OR LANDSCAPED BUFFER INSTALLED AROUND THE ENTIRE PERIMETER OF THE PROJECT IN COMPLIANCE WITH SECTION 99-5 OF THE CODE OF SUSSEX COUNTY. THE NORTH SIDE SHALL HAVE A BUFFER UP TO 25 FT. TO ACCOMMODATE THE EXISTING VEGETATION.
- C. ALL ENTRANCES, INTERSECTION, ROADWAY AND MULTI-MODAL IMPROVEMENTS SHALL BE COMPLETED BY THE DEVELOPER IN ACCORDANCE WITH ALL DELDOT REQUIREMENTS.
- D. THE PROJECT SHALL BE SERVED BY SUSSEX COUNTY SEWER. THE DEVELOPER SHALL COMPLY WITH ALL SUSSEX COUNTY ENGINEERING DEPARTMENT REQUIREMENTS INCLUDING ANY OFFSITE UPGRADES NECESSARY TO PROVIDE SERVICE TO THE PROJECT.
- E. THE PROJECT SHALL BE SERVED BY CENTRAL WATER TO PROVIDE DRINKING WATER AND FIRE PROTECTION.
- F. INTERIOR STREET DESIGN SHALL MEET OR EXCEED THE SUSSEX COUNTY STREET DESIGN REQUIREMENTS.
- G. ALL CONSTRUCTION AND SITE WORK ON THE PROPERTY, INCLUDING DELIVERIES OF MATERIALS TO OR FROM THE PROPERTY, SHALL ONLY OCCUR BETWEEN 7:00 A.M. AND 6:00 P.M., MONDAY THROUGH FRIDAY; BETWEEN 8:00 A.M. AND 2:00 P.M. ON SATURDAY.
- H. NO OTHER OUTDOOR CONSTRUCTION ACTIVITIES SHALL OCCUR AT THE SITE EXCEPT BETWEEN THE HOURS OF 7:00 A.M. THROUGH 6:00 P.M., MONDAY THROUGH FRIDAY, AND 8:00 A.M. THROUGH 2:00 P.M. ON SATURDAYS. THERE SHALL BE NO CONSTRUCTION ACTIVITIES AT THE SITE ON SUNDAYS.
- I. STREET NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE COUNTY MAPPING AND ADDRESSING DEPARTMENTS.
- J. THE APPLICANT SHALL FORM A CONDOMINIUM ASSOCIATION RESPONSIBLE FOR THE PERPETUAL MAINTENANCE, REPAIR AND REPLACEMENT OF THE ROADS, THE BUFFERS AND LANDSCAPING, STORMWATER MANAGEMENT FACILITIES, EROSION AND SEDIMENT CONTROL FACILITIES AND OTHER COMMON ELEMENTS.
- K. THE STORMWATER MANAGEMENT SYSTEM SHALL MEET OR EXCEED THE REQUIREMENTS OF THE STATE AND COUNTY. IT SHALL BE CONSTRUCTED AND MAINTAINED USING BEST MANAGEMENT PRACTICES.
- L. THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX COUNTY CONSERVATION DISTRICT FOR THE DESIGN AND LOCATION OF ALL STORMWATER MANAGEMENT AREAS AND EROSION AND SEDIMENTATION CONTROL FACILITIES.
- M. AS STATED BY THE APPLICANT, THERE SHALL BE A SWIMMING POOL AND POOL HOUSE INSTALLED ON THE PREMISES. THE SWIMMING POOL SHALL BE AT LEAST 15 FEET BY 35 FEET IN SIZE.
- N. THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.

#### GENERAL NOTES:

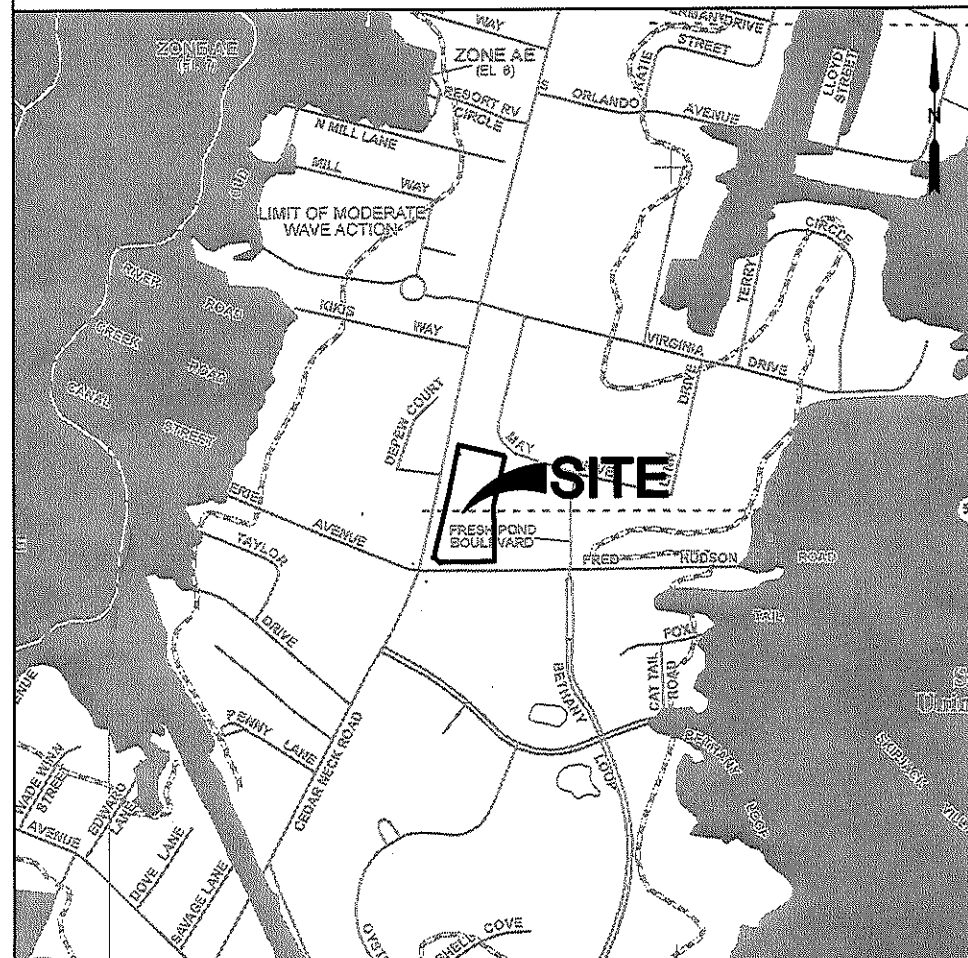
1. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
2. NO LANDSCAPING SHALL BE ALLOWED WITHIN R/W UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL (DCM).
3. SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
4. UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTION SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
5. INTERNAL STREETS CONSTRUCTED WITHIN THE DEVELOPMENT ARE PRIVATE AS SHOWN ON THIS PLAN AND ARE TO BE MAINTAINED BY THE DEVELOPER, PROPERTY OWNERS OR BOTH. THE STATE OF DELAWARE ASSUMES NO MAINTENANCE RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
6. THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SIDEWALK.
7. ALL UNITS SHALL HAVE ACCESS FROM THE INTERNAL STREET.
8. ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS. BUILDING CONSTRUCTION TO BE MASONRY AND WOOD.
9. AFTER THE CREATION OF THE COMMUNITY'S HOMEOWNER'S ASSOCIATION ALL BUFFER AREAS, AND THE STORMWATER MANAGEMENT AREA, SHALL BE OWNED AND MAINTAINED BY THE COMMUNITY'S HOMEOWNER'S ASSOCIATION. THE DEVELOPER SHALL MAINTAIN THESE AREAS UNTIL THE COMMUNITY HOMEOWNER'S ASSOCIATION IS ESTABLISHED.
10. BOUNDARY AND TOPOGRAPHICAL INFORMATION SHOWN ON THIS PLAN ARE THE RESULT OF A FIELD RUN SURVEY PERFORMED BY DAVIS, BOWEN AND FRIEDEL, INC. (DBF) IN DECEMBER 2017, SEPTEMBER 2019 AND INFORMATION FOUND AT THE RECORDER OF DEEDS OFFICE FOR SUSSEX COUNTY.
11. THIS PLAN DOES NOT VERIFY THE LOCATION, EXISTENCE, OR NON-EXISTENCE OF EASEMENTS OR RIGHT-OF-WAYS CROSSING THE SUBJECT PROPERTY AS NO TITLE SEARCH WAS PERFORMED OR PROVIDED.
12. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
13. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.

#### OPEN SPACE MANAGEMENT PLAN

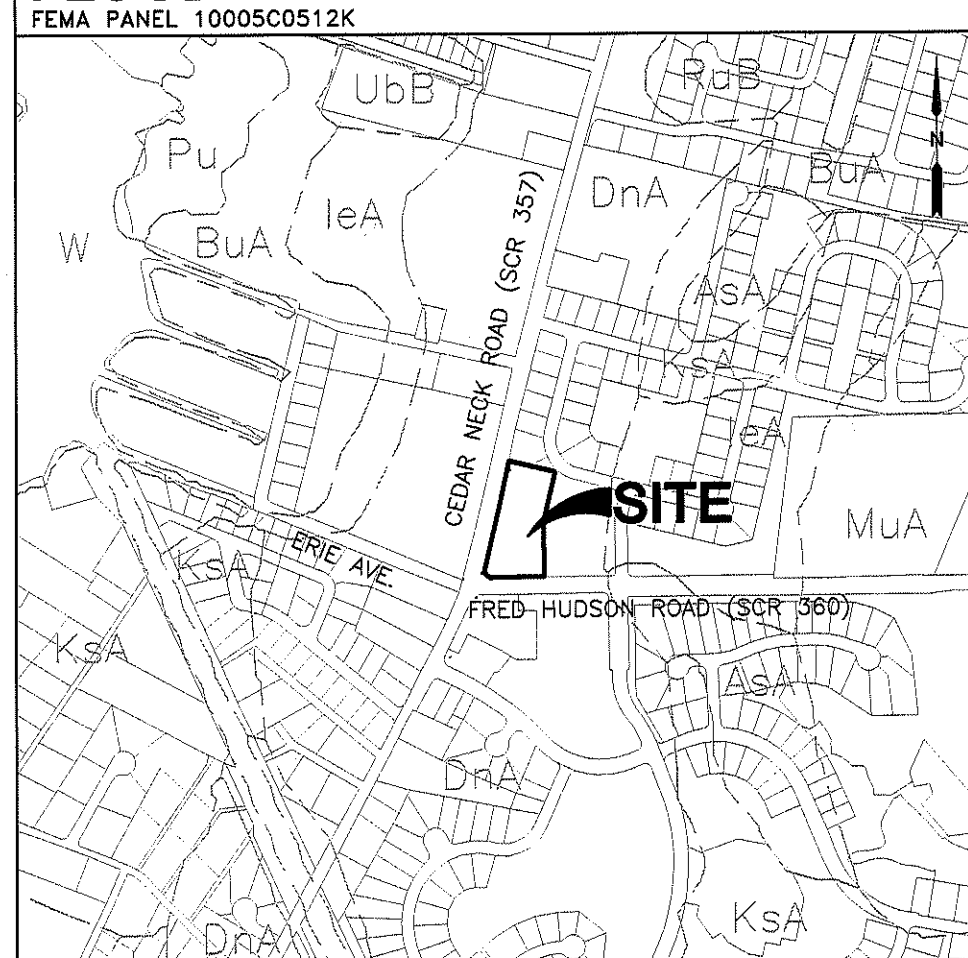
1. ALL COMMON AREAS COVERED WITH GRASS SHALL BE PERIODICALLY MAINTAINED ON A BASIS DETERMINED BY THE MAINTENANCE CORPORATION/HOMEOWNER'S ASSOCIATION.
2. ALL ACTIVE OPEN SPACE AMENITIES SHALL BE INSPECTED ANNUALLY TO ENSURE THEY ARE SAFE FOR PLAY AND REPAIRED AS REQUIRED.
3. ALL SWM AREAS ARE TO BE INSPECTED ANNUALLY AND AFTER A RAIN EVENT GREATER THAN 2" IN A 24 HOUR PERIOD.
4. ALL SWM AREAS WILL BE MAINTAINED IN ACCORDANCE WITH DESIGN AND SPECIFICATIONS FOR THE SPECIFIC SWM AREA. THIS INFORMATION WILL BE PROVIDED TO THE MAINTENANCE CORPORATION / HOMEOWNER'S ASSOCIATION PRIOR TO TURNOVER.



LOCATION MAP SCALE: 1"=800'



FLOOD MAP SCALE: 1"=800'



SOILS MAP SCALE: 1"=1500'

AsA: ASKECKSY LOAMY SAND; 0 TO 2 PERCENT SLOPES  
 BuA: BROCKATONORTON-URBAN LAND COMPLEX; 0 TO 2 PERCENT SLOPES  
 DnA: DOWNER LOAMY SAND; 0 TO 2 PERCENT SLOPES  
 IaA: INGLESIDE LOAMY SAND; 0 TO 2 PERCENT SLOPES  
 KsA: KLEJ LOAMY SAND; 0 TO 2 PERCENT SLOPES  
 MjA: MULLICA-BERRYLAND COMPLEX; 0 TO 2 PERCENT SLOPES  
 Pu: PURNELL PEAT; VERY FREQUENTLY FLOODED, TIDAL  
 RuB: RUNCLINT LOAMY SAND; 2 TO 5 PERCENT SLOPES  
 UbB: UDORTHEINTS; BORROW AREA, 0 TO 5 PERCENT SLOPES  
 W: WATER

#### DATA COLUMN

TAX MAP NUMBER: 1-34-13.00-72.00, 72.01  
 DATUM:  
 HORIZONTAL: NAD 83 (DE STATE PLANE)  
 VERTICAL: NAVD 88  
 EXISTING ZONING: MR  
 EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
 PROPOSED USE: 16 DUPLEXES WITH POOL HOUSE  
 SITE AREA  
 PARCEL 72.00: 1.3817 AC.  
 PARCEL 72.01: 1.0000 AC.  
 EXISTING TOTAL: 2.3817 AC.  
 (-) RIGHT-OF-WAY DEDICATION: 0.1258 AC.  
 PROPOSED SITE AREA: 2.2559 AC.  
 DENSITY: 7.09 UNITS/ACRE  
 BUILDINGS: 0.4260 AC.  
 IMPERVIOUS: 0.6346 AC.  
 OPEN SPACE: 1.1353 AC.  
 TOTAL: 2.2559 AC.

MINIMUM ZONING REQUIREMENTS  
 MIN. LOT AREA: 3,630 SQ. FT.  
 MAX. DUPLEX BLOCK: 8 UNITS < 170' WIDE  
 MIN. DUPLEX WIDTH: 16'  
 PROPOSED DUPLEX WIDTH: 20'

SETBACKS  
 FRONT: 40'  
 FRONT/SIDE (FRED HUDSON): 15'  
 SIDE: 10'  
 REAR: 10'  
 FORESTED BUFFER: 20'

PROPOSED BUILDING HEIGHT: 42' MAXIMUM  
 PROPOSED BUILDING CONSTRUCTION: WOOD/CONCRETE BLOCK  
 PARKING  
 REQUIRED: 2 PER UNIT - 32 SPOTS  
 PROVIDED: 40 SPOTS  
 SIZE: 162 SQ. FT. - 9'X18'

2015 STATE STRATEGIES INVESTMENT LEVEL: 3  
 THE PROPERTY IS NOT LOCATED IN OR ADJACENT TO A TRANSPORTATION IMPROVEMENT DISTRICT (TID).

WETLANDS: THE PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA PANEL 100050512K DATED MARCH 15, 2015.

UTILITIES  
 WATER: PRIVATE (SUSSEX SHORES)  
 SEWER: SUSSEX COUNTY (UNIFIED SSD - CEDAR NECK AREA)

LAT/LON:  
 IRON ROD CAP SET:  
 BENCHMARK #1: WEST SIDE OF SITE, LAT:38.5568, LON:75.0835  
 BENCHMARK #2: EAST SIDE OF SITE, LAT:38.5566, LON:75.0830

CEDAR NECK ROAD POSTED SPEED LIMIT: 35 MPH

OWNER (PARCEL 72.00):  
 BRADLEY W. DAVIS  
 655 NALLS FARM WAY  
 GREAT FALLS, VA. 22066

OWNER (PARCEL 72.01):  
 ROBERT L. BROWNING  
 10311 SNOWPINE WAY  
 POTOMAC, MD. 20855

DEVELOPER:  
 THE EVERGREEN COMPANIES, LLC.  
 701 BETHANY LOOP, SUITE 2,  
 BETHANY BEACH, DE 19930  
 (855) 542-3224

PREPARED BY:  
 DAVIS, BOWEN, AND FRIEDEL, INC.  
 1 PARK AVE.  
 MILFORD, DE 19963  
 302-424-1441

#### OWNER'S CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED ON THIS PLAN, THAT THE PLAN WAS MADE BY MY DIRECTION AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

BRADLEY W. DAVIS DATE  
 655 NALLS FARM WAY  
 GREAT FALLS, VA. 22066

#### OWNER'S CERTIFICATION

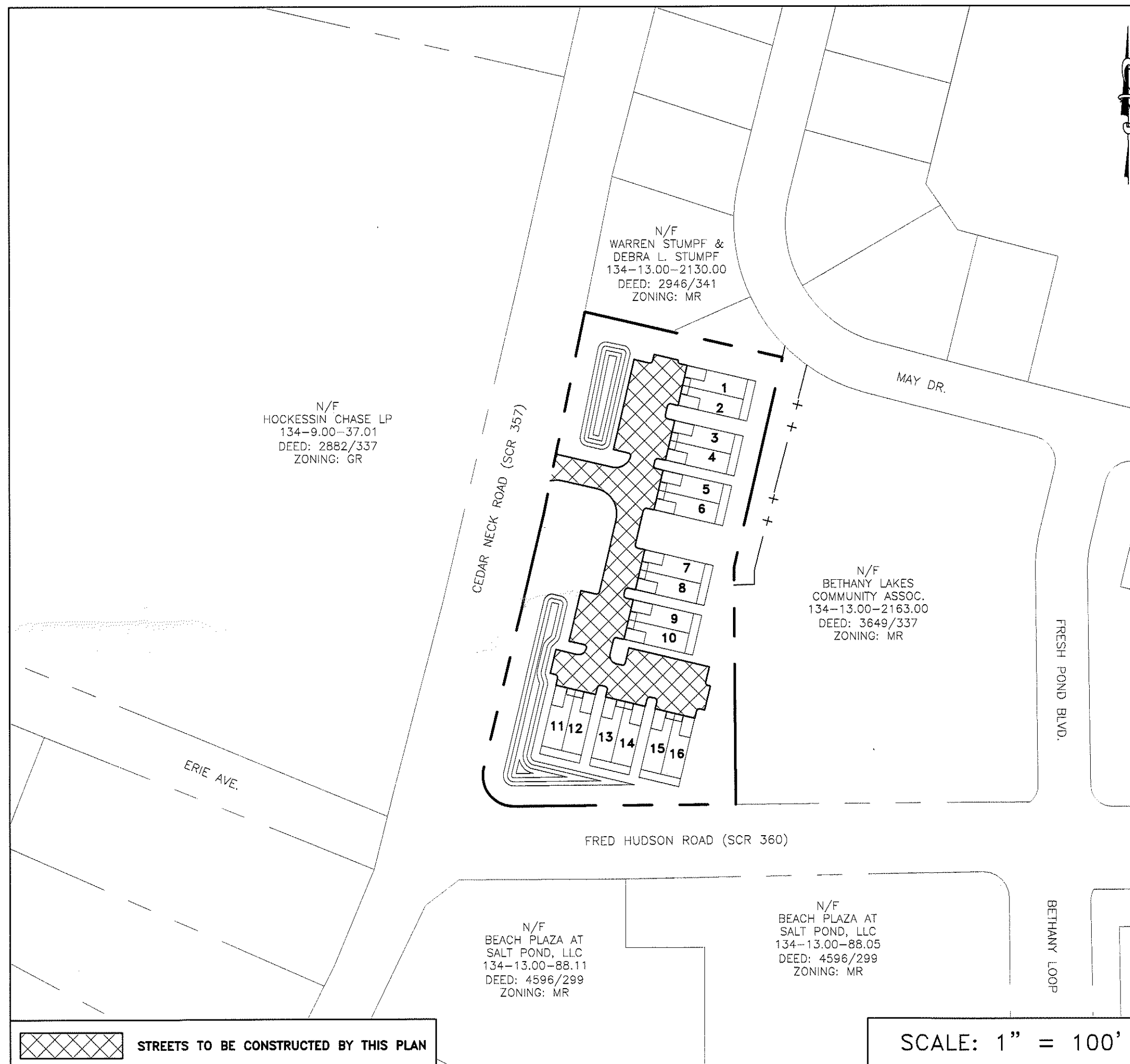
I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED ON THIS PLAN, THAT THE PLAN WAS MADE BY MY DIRECTION AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

ROBERT L. BROWNING DATE  
 10311 SNOWPINE WAY  
 POTOMAC, MD. 20855

#### ENGINEER'S STATEMENT

I, CLIFTON D. MUMFORD, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVIS, BOWEN & FRIEDEL, INC. DATE  
 BY CLIFTON D. MUMFORD, P.E.



STREETS TO BE CONSTRUCTED BY THIS PLAN

SCALE: 1" = 100'

#### LEGEND

- PROPERTY BOUNDARY LINE
- - - PROPOSED RIGHT-OF-WAY LINE
- - - PROPOSED BUILDING SETBACK LINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING PROPERTY LINE
- - - EX-RW EXISTING RIGHT-TO-WAY LINE
- - - FORESTED BUFFER LINE
- ## PROPERTY LABEL
- CONCRETE MONUMENT SET
- PROPERTY CORNER LOCATE

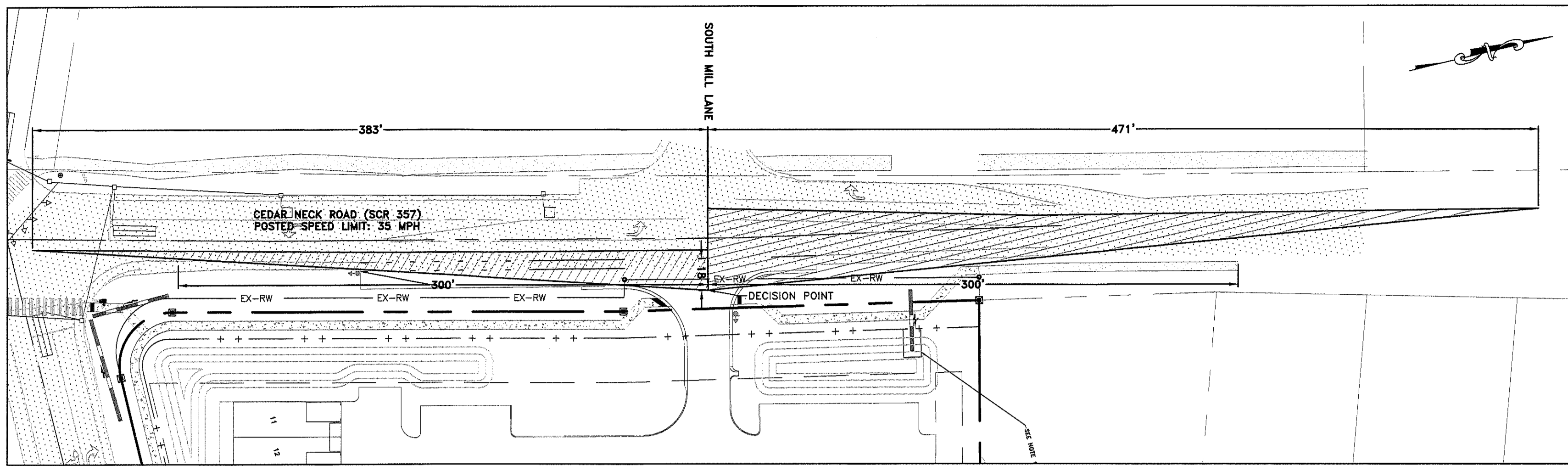
**dbf** DAVIS, BOWEN & FRIEDEL, INC.  
 ARCHITECTS, ENGINEERS & SURVEYORS  
 SAUSBURY, MARYLAND (410) 543-9091  
 MILFORD, DELAWARE (302) 424-1441  
 EASTON, MARYLAND (410) 770-4744

SUSSEX COUNTY ENGINEERING DEPARTMENT  
 AGREEMENT NUMBER:  
 APPROVED BY: \_\_\_\_\_  
 COUNTY ENGINEER DATE

REVISIONS:  
 2020-02-07 SCD, SCE, DELDOT, SCPW, FM

V-100

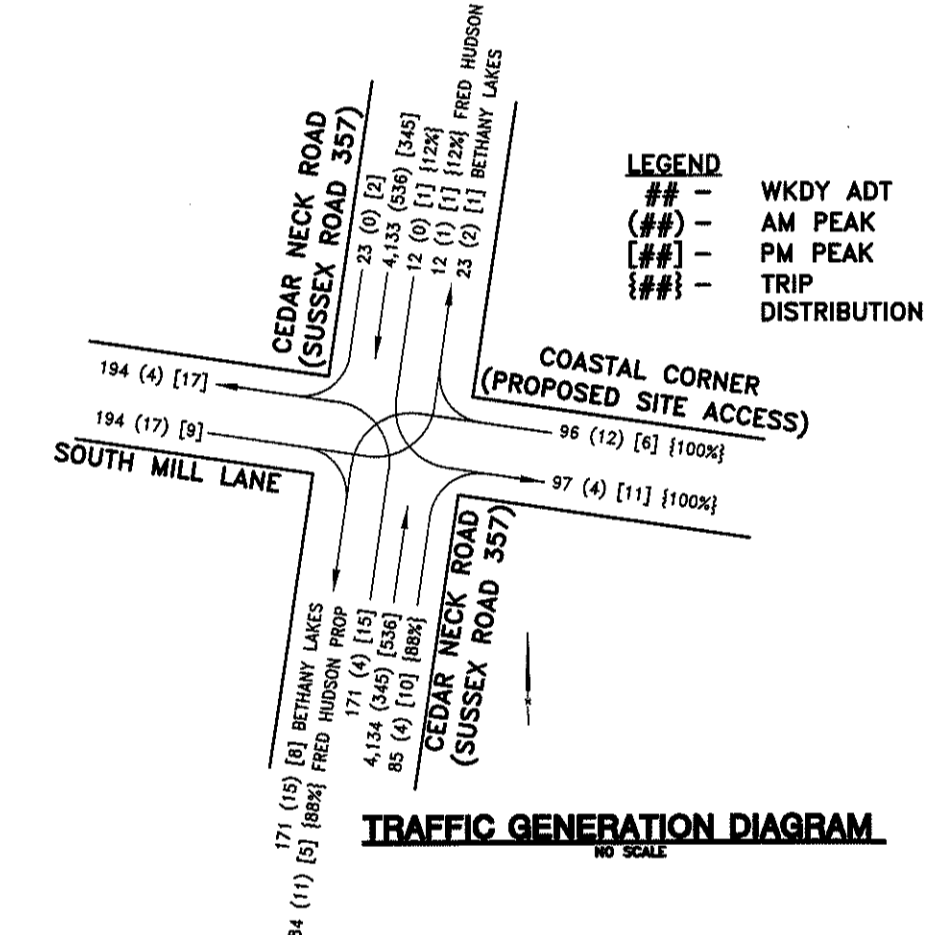
FILE COPY



**CEDAR NECK ROAD SIGHT DISTANCE**  
SCALE: 1" = 50'

**ROAD**  
CEDAR NECK ROAD (SUSSEX ROAD 357)  
FUNCTIONAL CLASSIFICATION - MAJOR COLLECTOR  
AADT (2018 DELAWARE VEHICLE VOLUME SUMMARY)  
10 YR PROJECTED AADT = 1.16 X 7,127 = 8,267  
10 YR PROJECTED AADT + SITE ADT NORTH OF SITE (24) = 8,291  
10 YR PROJECTED AADT + SITE ADT SOUTH OF SITE (169) = 8,456  
PEAK HOUR = 8,267 X 10.66% = 881  
DIRECTIONAL SPLIT = 60.83% / 39.17%  
9.34% TRUCK % X 881 = 82  
SPEED - POSTED = 35  
TRAFFIC PATTERN GROUP - 5

**NOTES:**  
1. A 10-FOOT WIDE PERMANENT EASEMENT CONTAINING 160 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.

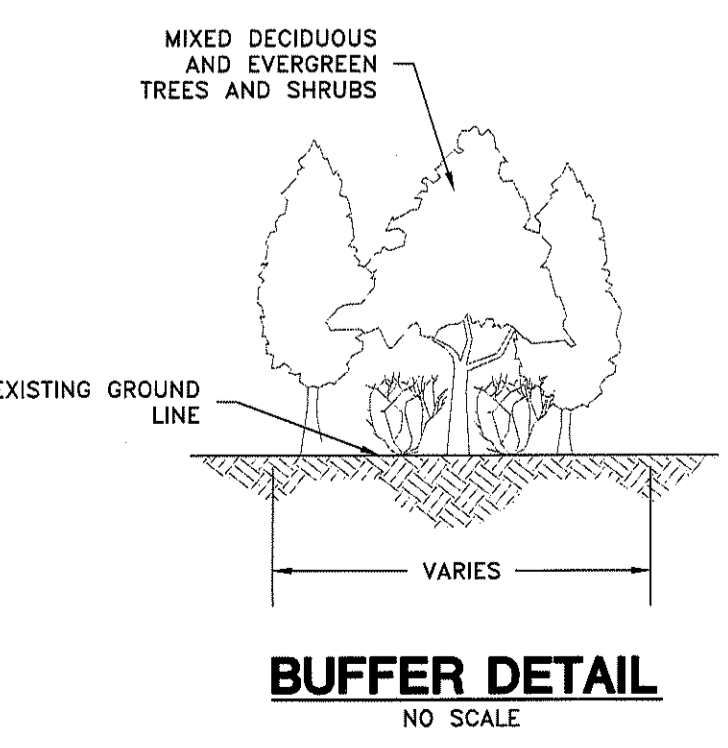


**SITE TRIPS GENERATED - PROPOSED**

TYPE OF DEV.	CODE	UNITS	WKDY	AM	PM	ADT
SINGLE-FAMILY	210	16	16	17	193	

**NOTES:**  
1. TRIP GENERATION IS BASED ON ITE TRIP GENERATION MANUAL, 10TH EDITION  
2. DESIGN VEHICLE: SU-30  
3. TRIP DISTRIBUTIONS FOR BAYSIDE AT BETHANY LAKES AND COASTAL CORNER ARE CONSISTENT WITH THE TRAVEL DEMAND MODEL (TDM) TRIP DISTRIBUTION PROVIDED BY DELDOT FOR THE FRED HUDSON PROPERTY SITE  
4. ONE (1) FULL SITE ACCESS PROPOSED

**TRAFFIC DIAGRAM**  
NO SCALE

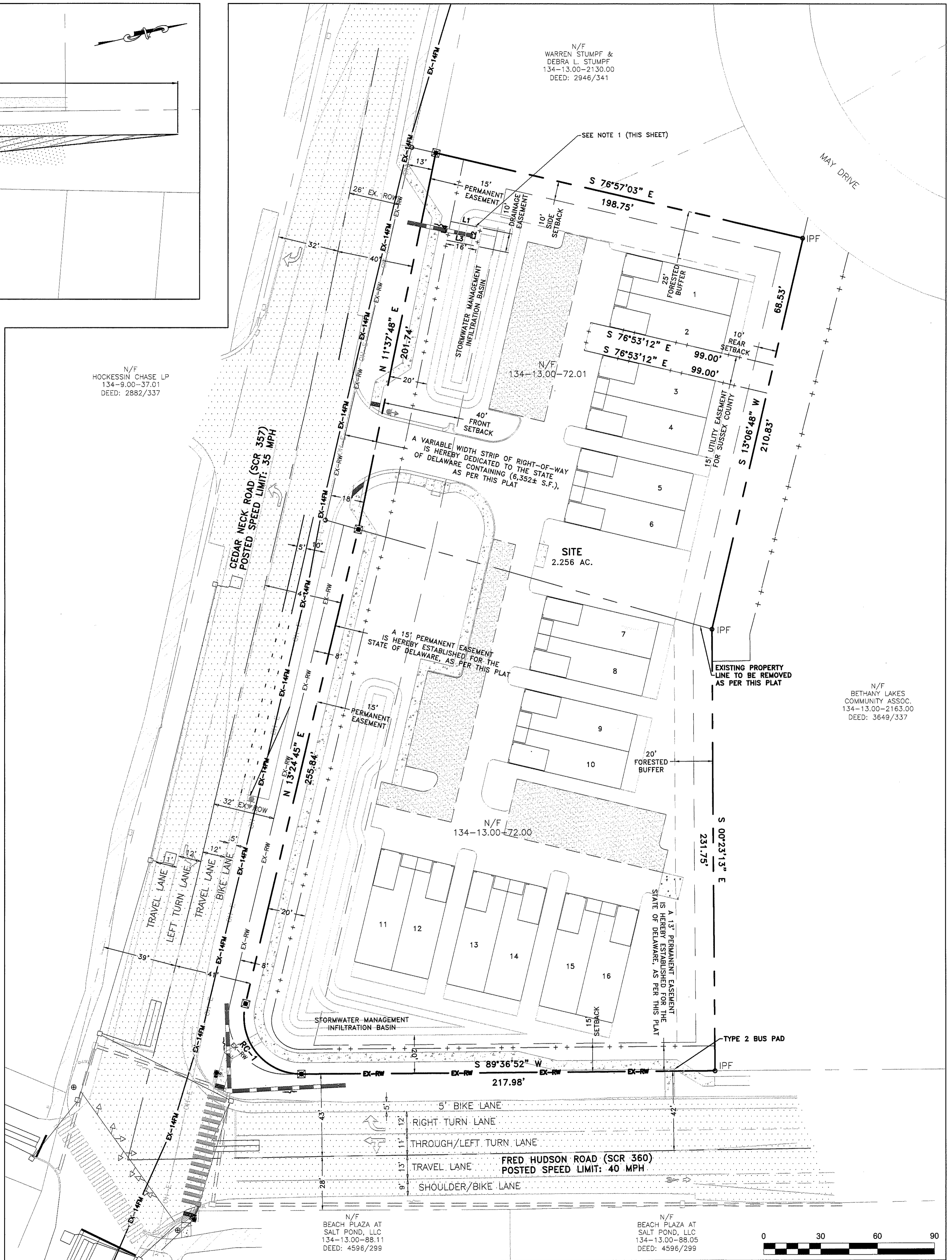


**CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
RC-1	30.00'	54.35'	47.22'	N 38°29'11" W	103°47'53"

**DRAINAGE EASEMENT LINE TABLE**

LINE	BEARING	DISTANCE
L1	S 78°29'48" E	15.99'
L2	S 11°30'14" W	10.00'
L3	N 78°29'46" W	16.01'
L4	N 11°37'48" E	10.00'



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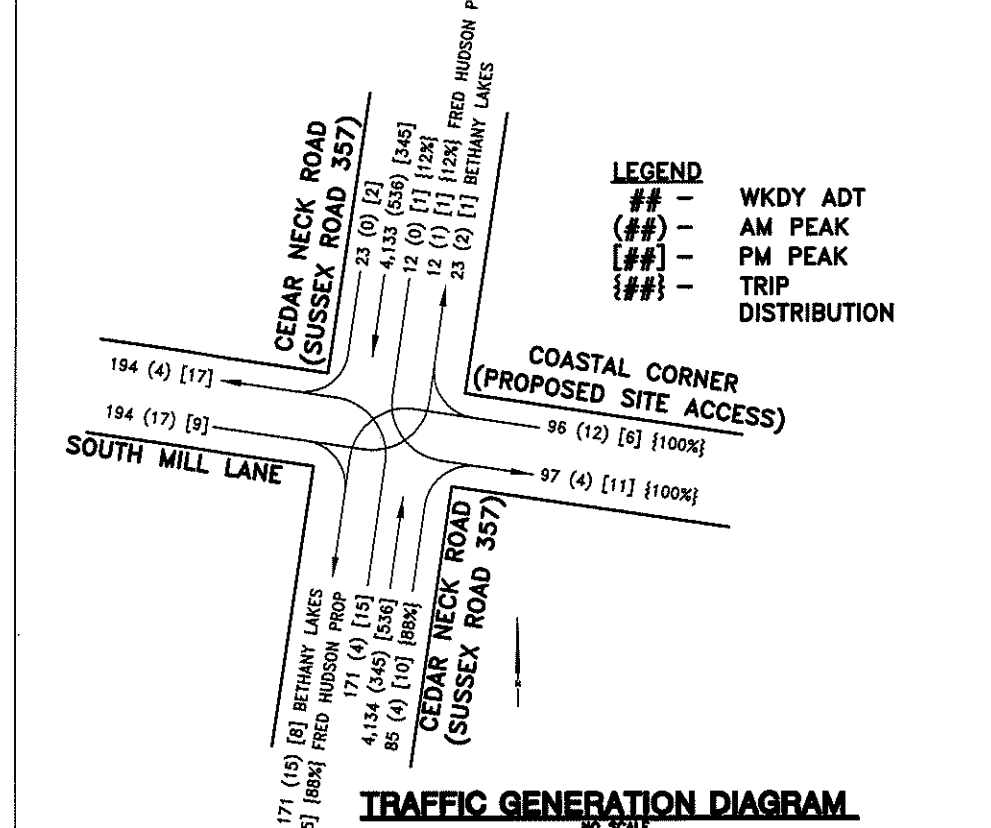
**COASTAL CORNER**  
**CEDAR NECK ROAD (SCR 357)**  
**BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE**

Revisions:  
2020-02-07 SCD, SCE, DELDOT  
SCPW, FM

Date: OCTOBER, 2019  
Scale: 1" = 30'  
Dwn. By: TAJ  
Proj. No.: 1998D007  
Dwg. No.:

**V-101**

**ROAD**  
 CEDAR NECK ROAD (SUSSEX ROAD 357)  
 FUNCTIONAL CLASSIFICATION - MAJOR COLLECTOR  
 AADT (2018 DELAWARE VEHICLE VOLUME SUMMARY) = 7,127  
 10 YR PROJECTED AADT = 1.16 X 7,127 = 8,267  
 10 YR PROJECTED AADT + SITE ADT NORTH OF SITE (24) = 8,291  
 10 YR PROJECTED AADT + SITE ADT SOUTH OF SITE (169) = 8,436  
 PEAK HOUR = 8,267 X 10.66% = 881  
 DIRECTIONAL SPLIT = 60.83% / 39.17%  
 9.34% TRUCK % X 881 = 82  
 SPEED - POSTED = 35  
 TRAFFIC PATTERN GROUP - 3



**TRAFFIC DIAGRAM**  
NO SCALE

**CURVE TABLE**

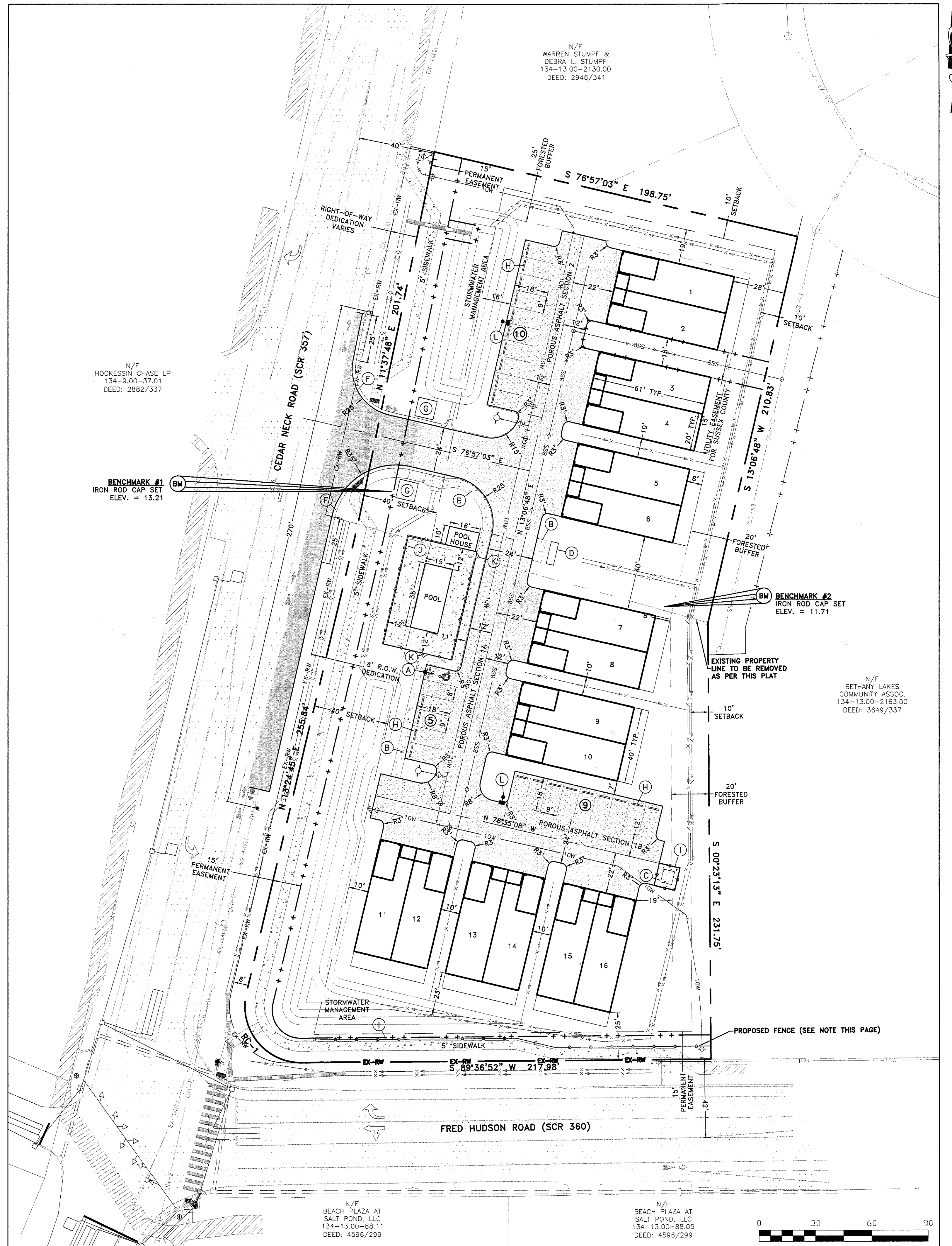
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
RC-1	30.00'	54.35'	47.22'	N 38°29'11" W	103°47'53"

**SITE LEGEND:**

- (A) 8'x18' HANDICAP PARKING SPACE WITH SIGN
  - (B) CONCRETE SIDEWALK
  - (C) DUMPSTER PAD
  - (D) MAILBOXES
  - (E) CURB RAMP
  - (F) P.C.C. CURB TYPE 3-6
  - (G) SUBDIVISION SIGN (SIZE AND LOCATION TO BE DETERMINED)
  - (H) PARKING BUMPER
  - (I) 6' VINYL FENCE
  - (J) 4' ARCHITECTURAL SAFETY FENCE
  - (K) 4' SAFETY GATE WITH PANIC HARDWARE
  - (L) LIGHT POLES (FINAL LOCATION SUBJECT TO CHANGE)
- (INTERNAL SITE PAVEMENT (SEE DETAIL, SHEET C-201))
  - (PROPOSED POROUS PAVEMENT (SEE DETAIL, SHEET C-201))
  - (ENTRANCE PAVEMENT (SEE DETAIL, SHEET C-201))

**NOTES**

- IF DELDOT NEEDS TO ACCESS TO PERMANENT EASEMENT IN THE FUTURE, THE FENCE WILL BE REMOVED AT THE OWNERS EXPENSE.



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 ARCHITECTS ENGINEERS SURVEYORS  
 1000 W. MARKET ST. SUITE 200  
 BALTIMORE, MD 21201  
 (410) 770-4744

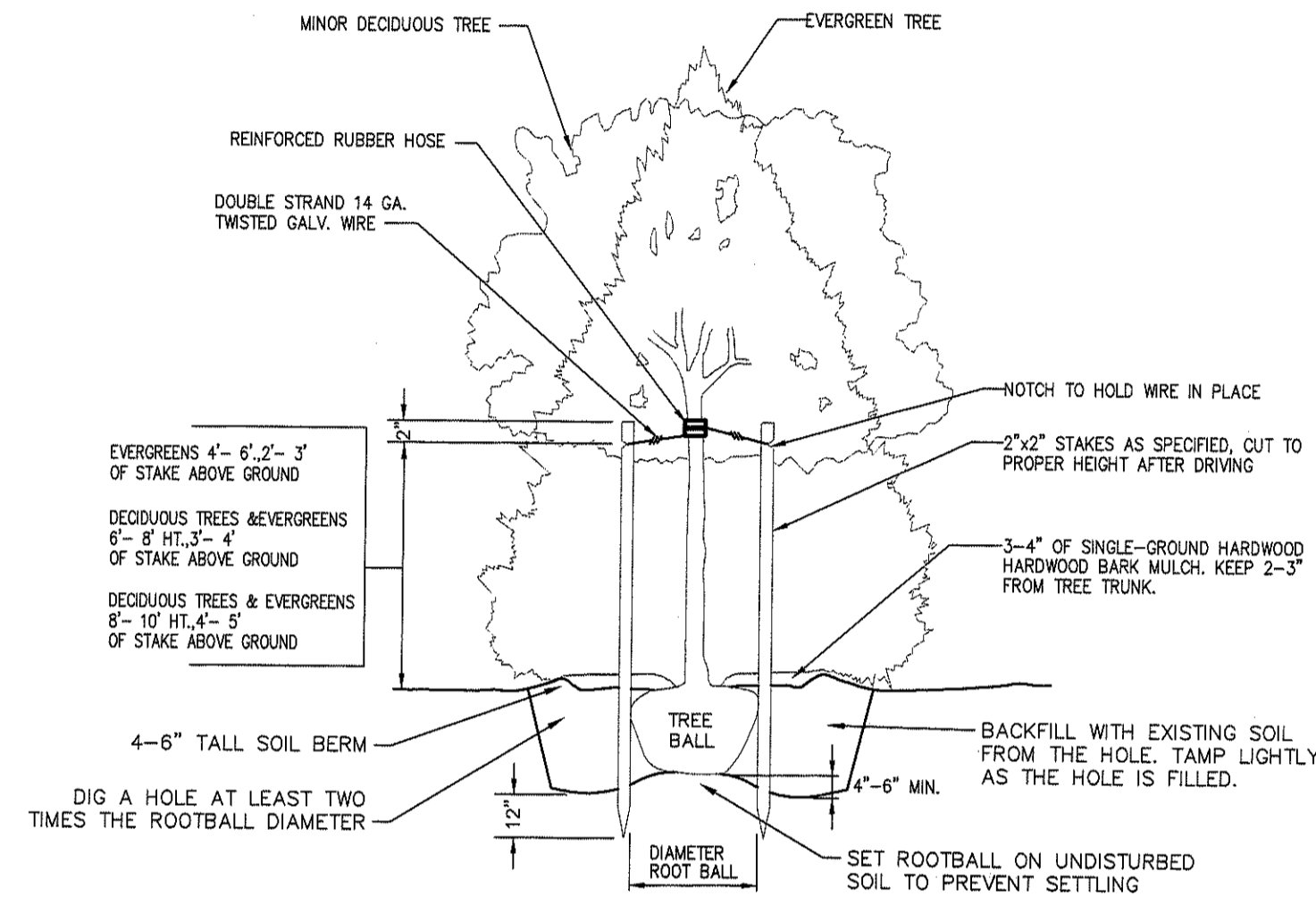
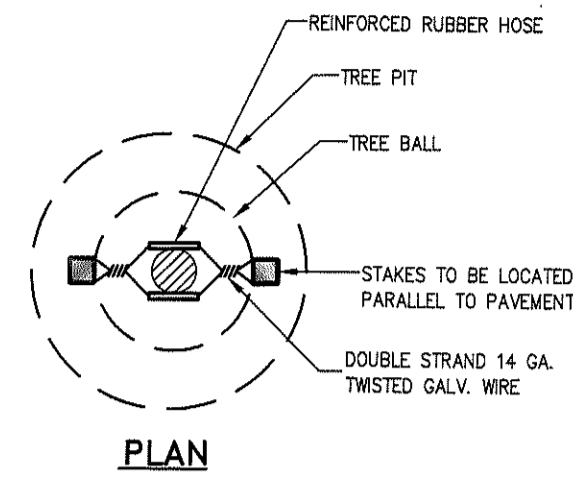
**COASTAL CORNER**  
**BALTIMORE HUNDRED**  
**SUSSEX COUNTY, DELAWARE**

Revisions: 2020-02-07	SCD, SCE, DELDOT, SCPW, FM
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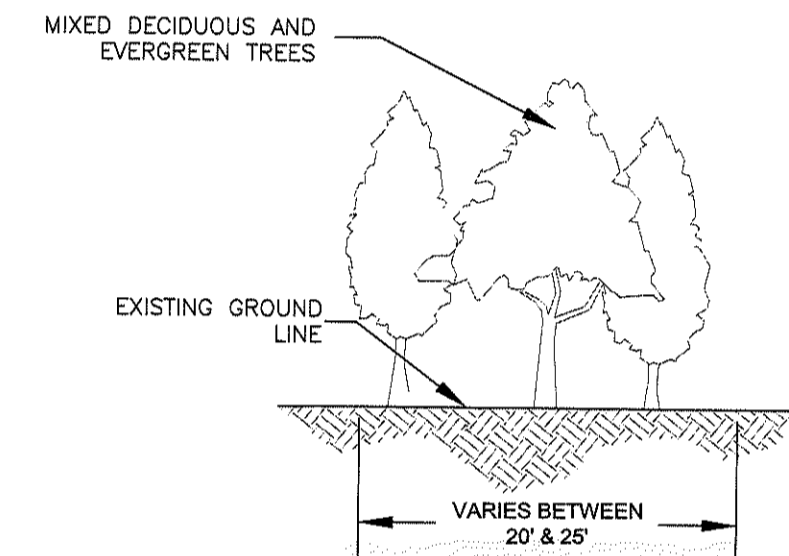
**C-101**

**GENERAL LANDSCAPE NOTES**

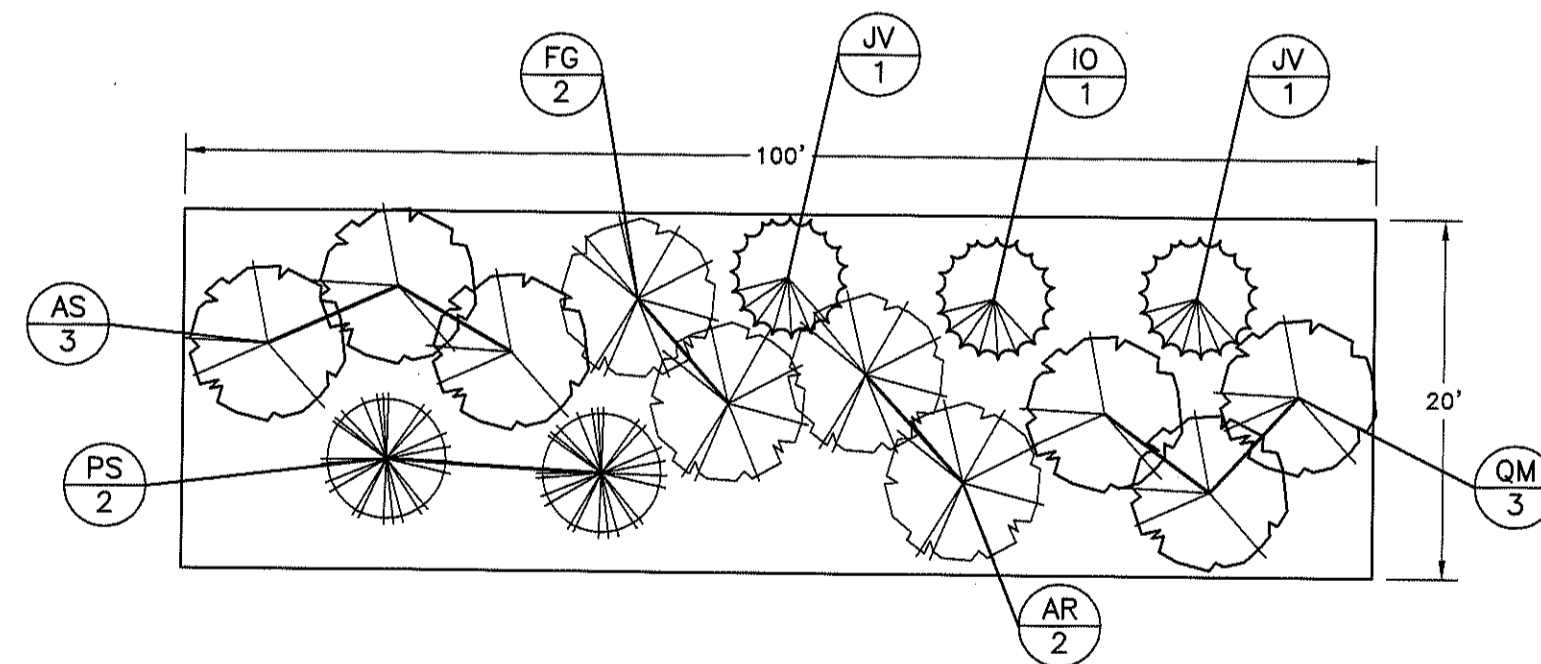
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF ROOT BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK".
- CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR AFTER INSTALLATION IS COMPLETE AND FINAL ACCEPTANCE OF PHASE I SITE WORK HAS BEEN GIVEN. AT THE END OF ONE YEAR ALL PLANT MATERIAL WHICH IS DEAD OR DYING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AS ORIGINALLY SPECIFIED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER.
- ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN.)
- EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
- ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 7'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STAKING DETAIL SHOWN.
- THE FULL EXTENT OF ALL PLANTING BEDS SHALL RECEIVE 4" OF TOPSOIL AND 3" OF SHREDDED HARDWOOD MULCH PER SPECIFICATIONS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
- THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.



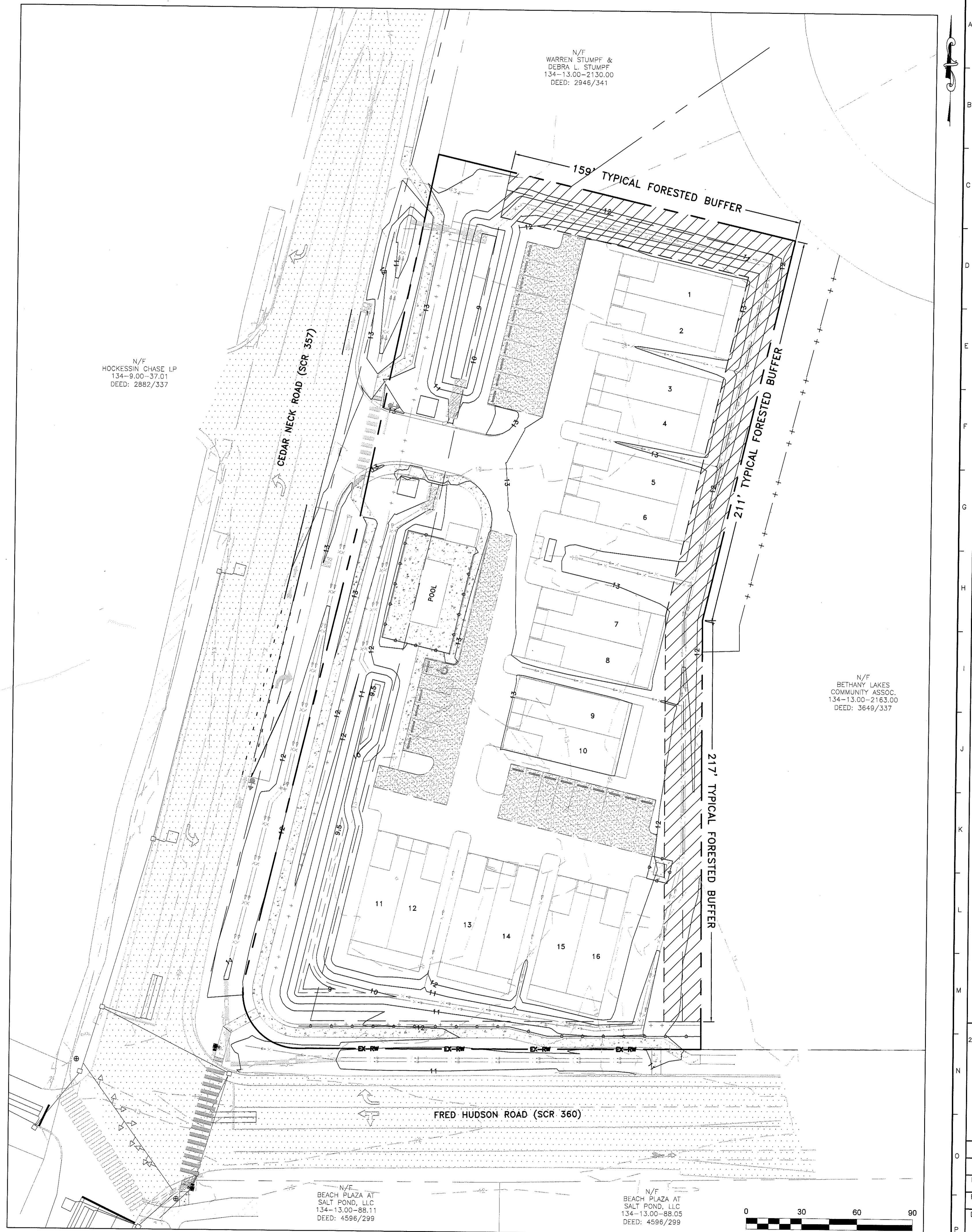
**STAKING DETAIL**  
NO SCALE



**BUFFER DETAIL**  
NOT TO SCALE



FORESTED BUFFER PLANT SCHEDULE						
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	
<b>DECIDUOUS TREE</b>						
AR		ACER rubrum	RED MAPLE	1 3/4 - 2" Cal., B&B	17	
AS		ACER saccharum GREEN MOUNTAIN	SUGAR MAPLE	1 3/4 - 2" Cal., B&B	25	
QM		QUERCUS phellos	WILLOW OAK	1 3/4 - 2" Cal., B&B	25	
FG		FAGUS grandifolia	AMERICAN BEECH	1 3/4 - 2" Cal., B&B	17	
					<b>TOTAL</b>	<b>84</b>
<b>EVERGREEN TREE</b>						
PS		PINUS strobus	EASTERN WHITE PINE	5'-6" Ht., B&B	17	
JV		JUNIPERUS virginiana	EASTERN RED CEDAR	5'-6" Ht., B&B	9	
IO		ILEX opaca	AMERICAN HOLLY	5'-6" Ht., B&B	9	
					<b>TOTAL</b>	<b>35</b>



P:\Evergreen Companies\Pallets Corner\Design\1998D006 - LANDSCAPE PLAN\FORRESTED BUFFER.dwg Feb 07, 2020 - 2:07pm MASB

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**DAVIS, BOWEN & FRIEDEL, INC.**  
 1410 S. CALVERT STREET  
 BALTIMORE, MARYLAND 21202  
 (410) 543-9001  
 EASTON, MARYLAND  
 (410) 770-1744

**COASTAL CORNER**  
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