

JAMIE WHITEHOUSE, AICP
DIRECTOR OF PLANNING & ZONING
(302) 855-7878 T
(302) 854-5079 F
jamie.whitehouse@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

PLEASE NOTE

This paperless packet is published on the County's website for convenience purposes, and only includes information received up to the close of business on the day before a public hearing. Documents received after this, or documents submitted during the public hearing are not uploaded to the Paperless Packet. The legal record is the paper record maintained in the Offices of the Planning & Zoning Department.



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE



Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, AICP, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager; Lauren DeVore, AICP Planner III; Michael Lowrey, Planner III; Chase Phillips, Planner II; Christin Scott, Planner II; Elliott Young, Planner I & Jesse Lindenberg, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: July 18th, 2022

RE: Other Business for the July 28th, 2022, Planning Commission Meeting

This memo provides background for the Planning Commission to consider as a part of the Other Business to be reviewed during the July 28th, 2022, Meeting of the Planning & Zoning Commission.

Inland Bays (S-22-28 & C/U 2259)

HW

Preliminary Site Plan & Landscape Plan

This is a Preliminary Site Plan and Landscape Plan for the construction of thirty (30) single-family detached condominiums, landscaping, and amenities to include a pool house, inground pool, community mail center, and related site improvements. The improvements are to be located on the north side of Fred Hudson Road (S.C.R. 360), approximately 0.25 mile east of Cedar Neck Road (S.C.R. 357). A Conditional Use (C/U 2259) to allow for multi-family dwelling units was approved by Sussex County Council on December 7, 2021 subject to nineteen (19) Conditions of Approval via Ordinance No. 2817. The Preliminary Site Plan complies with the Sussex County Zoning Codes and all Conditions of Approval. Tax Parcel: 134-13.00-72.02. Zoning: MR (Medium-Density Residential District). Staff are awaiting agency approvals; therefore, this plan can be considered for preliminary approval with final approval to be by staff.

Indian River Solar Farm (F.K.A. Broom Solar) (C/U 2288)

Preliminary Site Plan

This is a Preliminary Site Plan for the construction of a solar array farm and other site improvements to be located on the north side of Frankford School Road (S.C.R. 92). The Planning and Zoning Commission at their February 27, 2022, meeting approved CU 2288. The Preliminary Site Plan complies with the Sussex County Zoning Code and all Conditions of Approval. Tax Parcel: 533-5.00-47.00. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are awaiting agency approvals.

Lewes Farmer's Market

KS

Revised Final Site Plan

This is a Revised Final Site Plan for the addition of eight (8) shipping containers to be utilized as retail storage spaces. The revision proposes a reduction of seven (7) parking spaces with one (1) storage unit to be kept on a concrete pad behind the building. With the proposed reduction, the plan remains consistent with parking requirements of Chapter 115 as parking exceeds the minimum requirement of 81 spaces. 98 remain. The proposal is subject to any applicable approvals from other agencies. The Revised Final Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 334-6.00-497.03. Zoning: C-1 (General Commercial Zoning District). Staff are awaiting agency approvals.



Lands of Kenneth Schroder & Carolyn Patterson

KS

Minor off a 50-foot easement and a 20-foot easement

This is a Preliminary Minor Subdivision Plan for the subdivision of 20.747 acre +/- parcel of land into three (3) lots and residual lands off a 50-foot easement and a 20-foot easement. Proposed Lot 1 consists of 5.006 acres +/-; Proposed Lot 2 consists of 11.317 acres +/-; Proposed Lot 3 consists of 2.262 acres +/-; and the residual lot consists of 2.162 acres +/--. The property is located on the south side of Johnson Lane. The Preliminary Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Zoning: AR-1 (Agricultural Residential District). Tax Parcel: 234-9.00-47.00.

Lands of Yong J. Park, Je Y. Kim & Soon J. Kim

Minor Subdivision off a 50-ft Easement

This is a Minor Subdivision Plan for the subdivision of 6.166 acre +/- parcel of land into one (1) lot and residual lands off a 50-foot ingress/egress access easement. Proposed Lot 1 consists of 1.131 acres and the residual lands consist of 5.035 acres +/--. The property is located on the southeast side of Mount Pleasant Road (S.C.R. 493). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Zoning: AR-1 (Agricultural Residential District). Tax Parcel: 432-7.00-2.00. Staff are in receipt of all agency approvals.

INLAND BAYS COMMUNITY

BALTIMORE HUNDRED SUSSEX COUNTY, DELAWARE

RECORD PLAN (CU #2259) FEBRUARY 2022

DELDOT RECORD PLAN GENERAL NOTES REVISED MARCH 21, 2019

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN R/W UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL (DCM).
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- PRIVATE STREETS CONSTRUCTED WITHIN THIS DEVELOPMENT SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 §131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SIDEWALK AND SHARED-USE PATH SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS DEVELOPMENT. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SIDEWALK AND/OR SHARED-USE PATH.
- ALL UNITS SHALL HAVE ACCESS FROM THE INTERNAL PRIVATE STREET.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.

CONDITIONS OF APPROVAL (CU 2259):

AT THEIR MEETING OF TUESDAY, DECEMBER 7, 2021, THE SUSSEX COUNTY COUNCIL APPROVED THE CONDITIONAL USE APPLICATION FOR MULTIFAMILY DWELLING UNITS (30) SUBJECT TO NINETEEN (19) CONDITIONS. THE CONDITIONAL USE SHALL BE SUBSTANTIALLY UNDERWAY WITHIN THREE (3) YEARS OF THE COUNTY COUNCIL APPROVAL OTHERWISE THE CONDITIONAL USE SHALL EXPIRE. A SITE PLAN SHOWING THE CONDITIONS OF APPROVAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING COMMISSION PRIOR TO COMMENCEMENT OF THE USE ON THE PARCEL. THE FOLLOWING ARE THE CONDITIONS:

- THE MAXIMUM NUMBER OF RESIDENTIAL UNITS WITHIN THIS ENTIRE DEVELOPMENT SHALL BE 30.
- THE APPLICANT SHALL FORM A CONDOMINIUM ASSOCIATION TO BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF THE DEVELOPMENT'S ROADWAYS, BUFFERS, STORMWATER MANAGEMENT FACILITIES, EROSION AND SEDIMENTATION CONTROL FACILITIES AND OTHER COMMON AREAS.
- ALL ENTRANCE, INTERSECTION, ROADWAY AND MULTI-MODAL IMPROVEMENTS SHALL BE COMPLETED BY THE DEVELOPER IN ACCORDANCE WITH ALL DELDOT REQUIREMENTS.
- THE PROJECT SHALL BE SERVED BY SUSSEX COUNTY SEWER. THE DEVELOPER SHALL COMPLY WITH ALL SUSSEX COUNTY ENGINEERING DEPARTMENT REQUIREMENTS INCLUDING ANY OFFSITE UPGRADES NECESSARY TO PROVIDE SERVICE TO THE PROJECT.
- THE PROJECT SHALL BE SERVED BY CENTRAL WATER TO PROVIDE DRINKING WATER AND FIRE PROTECTION.
- STREET NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY MAPPING AND ADDRESSING DEPARTMENT.
- THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX COUNTY CONSERVATION DISTRICT FOR THE DESIGN AND LOCATION OF ALL STORMWATER MANAGEMENT AREAS AND EROSION AND SEDIMENTATION CONTROL FACILITIES.
- ALL STREETLIGHTS SHALL BE SHIELDED AND DOWNWARD SCREENED SO THAT THEY DO NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
- THE INTERIOR STREET DESIGN SHALL MEET OR EXCEED SUSSEX COUNTY'S STREET DESIGN REQUIREMENTS. THERE SHALL BE SIDEWALKS ON AT LEAST ONE SIDE OF ALL STREETS.
- IF REQUESTED BY THE LOCAL SCHOOL DISTRICT, A SCHOOL BUS STOP SHALL BE PROVIDED. THE LOCATION OF THE BUS STOP SHALL BE SHOWN ON THE FINAL SITE PLAN.
- RECREATIONAL AMENITIES SHALL BE COMPLETED NO LATER THAN THE ISSUANCE OF THE 15TH RESIDENTIAL BUILDING PERMIT. THESE AMENITIES SHALL INCLUDE A POOL, POOL DECK, AND BATHROOMS.
- CONSTRUCTION SITE WORK AND DELIVERIES SHALL ONLY OCCUR ON THE SITE BETWEEN THE HOURS OF 7:00AM THROUGH 6:00PM, MONDAY THROUGH FRIDAY. NO SATURDAY OR SUNDAY HOURS ARE PERMITTED. A 24 INCH BY 36 INCH "NOTICE" SIGN CONFIRMING THESE HOURS SHALL BE PROMINENTLY DISPLAYED AT ALL ENTRANCES TO THE SITE DURING CONSTRUCTION.
- ALL OF THE BUILDINGS SHALL BE SET BACK AT LEAST 20 FEET FROM ALL NON-TIDAL WETLANDS.
- THERE SHALL BE A VEGETATED OR FORESTED BUFFER THAT IS AT LEAST 20 FEET WIDE INSTALLED ALONG THE WESTERN PERIMETER OF THIS DEVELOPMENT. THIS SHALL UTILIZE THE EXISTING POPLAR TREES WITHIN THE BUFFER AREA WITH VEGETATION ADDED AS GREEN IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 115-218D AND 99-5 OF THE COUNTY CODE. WHERE THE TREES CURRENTLY EXIST IN THE BUFFER AREA, STUMP REMOVAL OR CONSTRUCTION ACTIVITIES THAT DISTURB THE EXISTING GRADE OF THE AREA WITHIN THE BUFFER SHALL BE PROHIBITED. ALL SILT FENCING SHALL BE LOCATED ALONG THE INTERIOR LIMIT OF THE BUFFER AREA (THE EDGE OF THE BUFFER NEAREST THE INTERIOR DEVELOPMENT) AND THE FINAL SITE PLAN SHALL IDENTIFY THE "LIMIT OF DISTURBANCE" TO PREVENT DISTURBANCE OF THE BUFFER AREA. IN ADDITION, A SPLIT RAIL OR SIMILAR TYPE OF FENCE SHALL BE INSTALLED ALONG THE BOUNDARY LINE OF THE PROPERTY NEXT TO THE BUFFER. THE BUFFER SHALL CONTINUE ALONG THE NORTH BOUNDARY FROM THE SITE'S NORTHWEST CORNER TO A POINT WHERE THE COUNTY SEWER EASEMENT BEGINS. FROM THAT POINT TO THE POINT OF THE EXISTING COUNTY SEWER TIE-IN, THE APPLICANT SHALL CONSTRUCT A PRIVACY FENCE AT LEAST SIX (6) FEET IN HEIGHT ALONG THE NORTHERN BOUNDARY.
- THE FINAL SITE PLAN SHALL INCLUDE A LANDSCAPE PLAN CONFIRMING ALL LANDSCAPING TO BE PROVIDED, THE PRESERVATION OF ALL BUFFER AREAS AND THE FORESTED AREAS THAT WILL BE PRESERVED. THIS LANDSCAPE PLAN SHALL FURTHER IDENTIFY ALL "LIMITS OF DISTURBANCE" WITHIN THE SITE.
- THE FINAL SITE PLAN SHALL INCLUDE A GRADING PLAN FOR THE SITE. NO BUILDING PERMITS SHALL BE ISSUED UNTIL A LOT GRADING PLAN HAS BEEN SUPPLIED TO AND APPROVED BY SUSSEX COUNTY. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL A GRADING CERTIFICATE IS SUBMITTED TO THE BUILDING CODE DEPARTMENT DEMONSTRATING GENERAL CONFORMITY WITH THE INDIVIDUAL SITE GRADING PLAN.
- AS OFFERED BY THE APPLICANT, THE FINAL SITE PLAN AND THE RECORDED CONDOMINIUM COVENANTS SHALL PROHIBIT THE APPLICATION OF FERTILIZERS OR SIMILAR SOIL ADDITIVES ON THE PROPERTY BY THE INDIVIDUAL UNIT OWNERS. ALL SUCH APPLICATIONS SHALL BE MANAGED BY THE CONDOMINIUM ASSOCIATION AND A CONTRACTOR OF ITS DESIGNATION USING BEST MANAGEMENT PRACTICES TO SEEK TO MINIMIZE THE RISK OF RUNOFF INTO THE STORMWATER MANAGEMENT SYSTEM, WETLANDS AND WATERWAYS.
- RAILROADS TO ABIDE BY THESE CONDITIONS MAY BE GROUNDS FOR THE TERMINATION OF THIS CONDITIONAL USE.
- THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.

GENERAL NOTES

- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS. BUILDING CONSTRUCTION TO BE WOOD FRAMED AND TIMBER PILE FOUNDATIONS.
- AFTER THE CREATION OF THE COMMUNITY'S HOMEOWNER'S ASSOCIATION ALL BUFFER AREAS, AND THE STORMWATER MANAGEMENT AREA, SHALL BE OWNED AND MAINTAINED BY THE COMMUNITY'S HOMEOWNER'S ASSOCIATION. THE DEVELOPER SHALL MAINTAIN THESE AREAS UNTIL THE COMMUNITY HOMEOWNER'S ASSOCIATION IS ESTABLISHED.
- BOUNDARY AND TOPOGRAPHICAL INFORMATION SHOWN ON THIS PLAN ARE THE RESULT OF A FIELD RUN SURVEY PERFORMED BY DAVIS, BOWEN AND FRIEDEL, INC. (DBF) IN SEPTEMBER 2015. ADDITIONAL SURVEY WAS COMPLETED IN MAY 2020.
- THIS PLAN DOES NOT VERIFY THE LOCATION, EXISTENCE, OR NON-EXISTENCE OF EASEMENTS OR RIGHT-OF-WAYS CROSSING THE SUBJECT PROPERTY AS NO TITLE SEARCH WAS PERFORMED OR PROVIDED.
- THIS PROPERTY IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA OR AN EXCELLENT RECHARGE AREA.
- ANY PROPOSED SIGNAGE WILL REQUIRE A SEPARATE PERMIT ISSUED FROM THE COUNTY.

ENGINEER'S STATEMENT

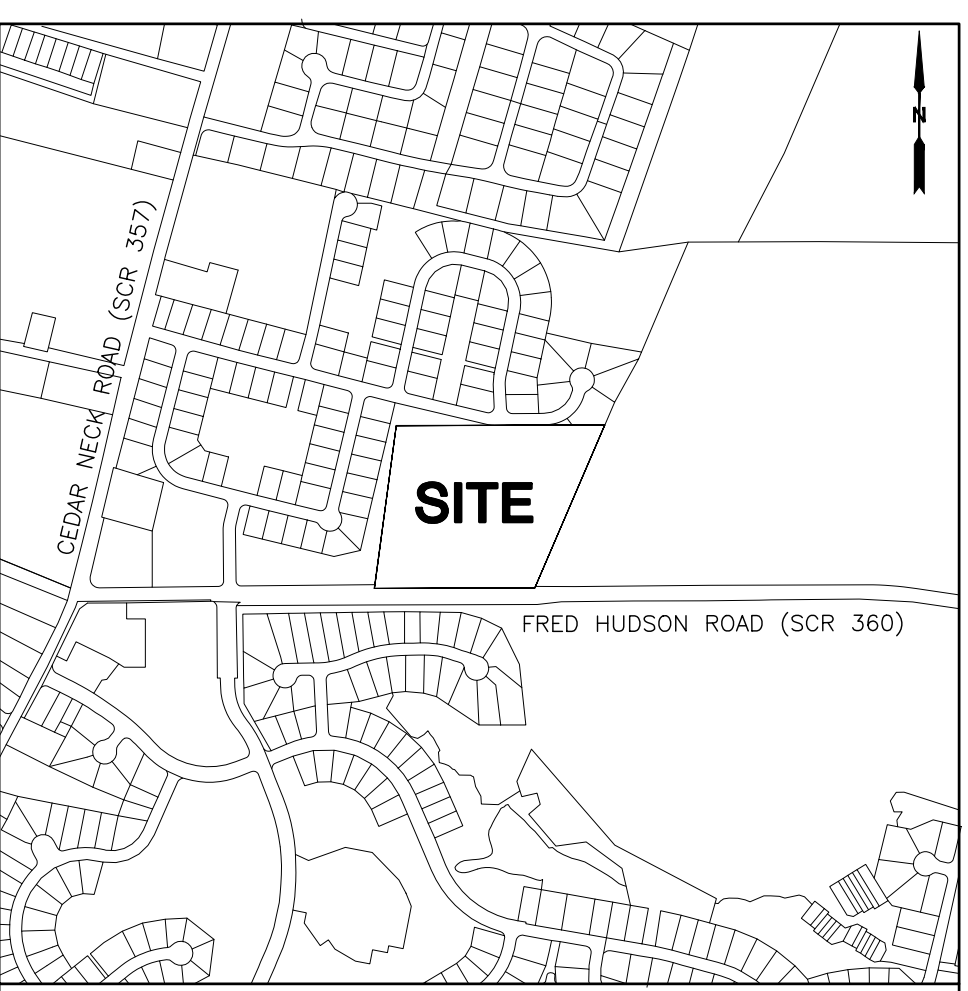
I, CLIFTON D. MUMFORD, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVIS, BOWEN AND FRIEDEL, INC. DATE
BY CLIFTON D. MUMFORD, P.E.

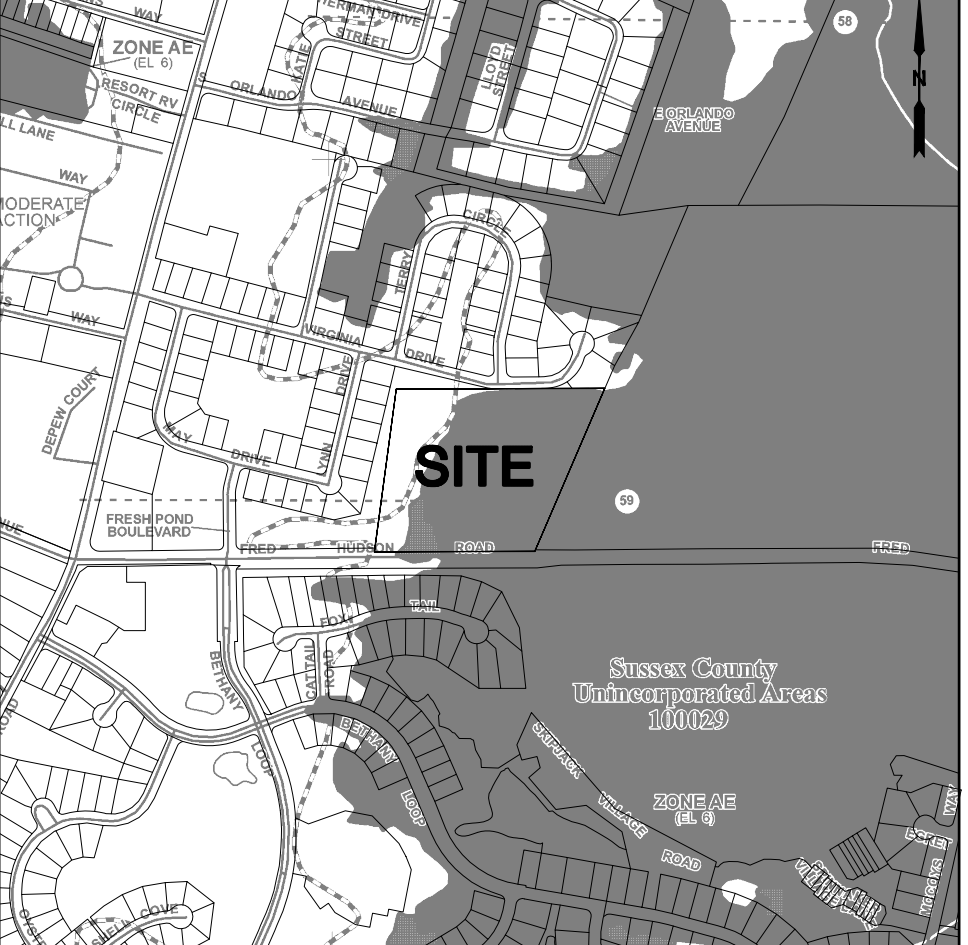
OWNER'S CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED ON THIS PLAN, THAT THE PLAN WAS MADE BY MY DIRECTION AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

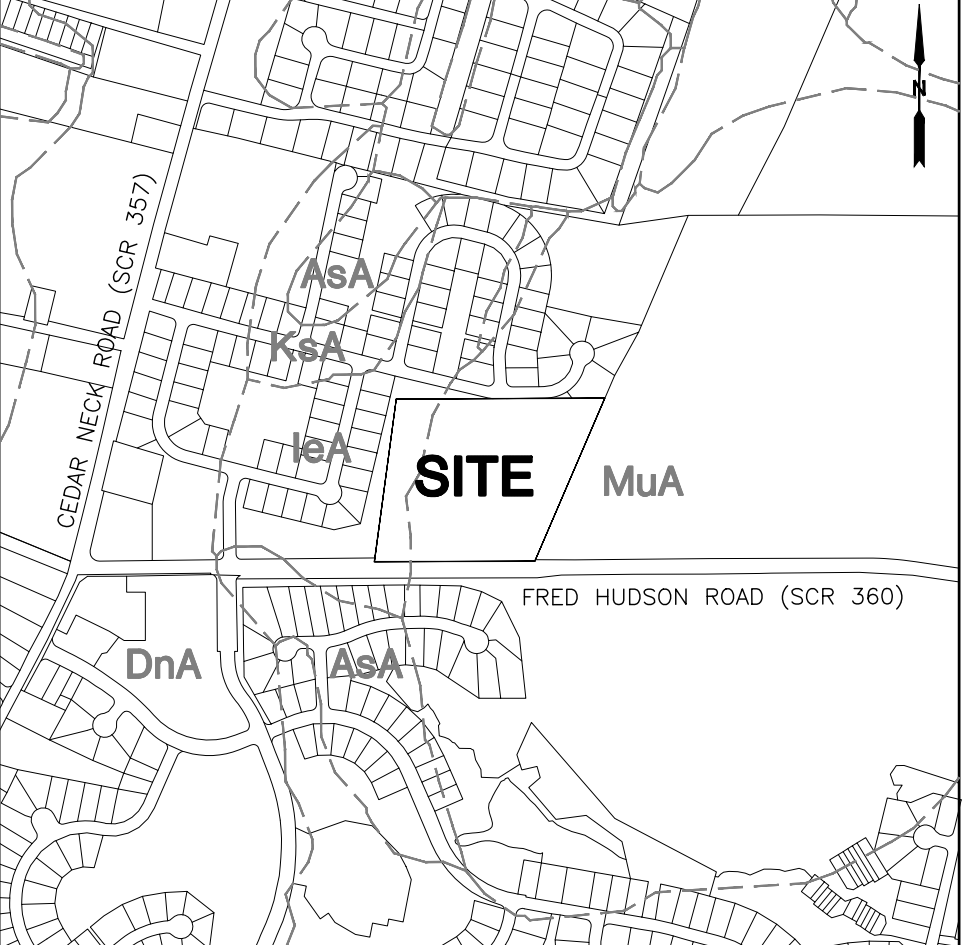
EVG-COUNTY VENTURES, LLC DATE
EVERGREENE HOMES C/O TIM NAUGHTON
33716 COASTAL HIGHWAY, SUITE 3
BETHANY BEACH, DE 19930



LOCATION MAP SCALE: 1"=800'



FLOOD MAP SCALE: 1"=800'



SOILS MAP SCALE: 1"=800'

DATA COLUMN

TAX MAP ID: 134-13.00-72.02
DEED REFERENCE: D/4994/347
COUNTY PROJECT NO.: S-22-28
DATUM: NAVD 88
VERTICAL: NAVD 88 (DE STATE PLANE)
HORIZONTAL:
LAND USE: VACANT RESIDENTIAL
EXISTING: 30 SINGLE FAMILY CONDOMINIUMS
PROPOSED:
FUTURE LAND USE MAP DESIGNATION: COASTAL AREA
ZONING: (MR) MEDIUM DENSITY RESIDENTIAL
CONDITIONAL USE #: 2259 (APPROVED BY P&Z COMMISSION ON 06/24/2021, APPROVED BY SUSSEX COUNTY COUNCIL ON 12/7/2021 AND ADOPTED THROUGH ORDINANCE NO. 2817)

UNITS
SINGLE FAMILY HOMES: 30
TYPICAL SIZE: 28' X 56' (1,568 S.F.)

DENSITY
MAXIMUM: 4.0 UNITS/ACRE
PROPOSED: 2.6 UNITS/ACRE

BUILDING SETBACKS
FRONT SETBACK: 40 FT.
SIDE SETBACK: 10 FT.
REAR SETBACK: 10 FT.
CORNER FRONT SETBACK: 15 FT.

MINIMUM REQUIREMENTS
DISTANCE BETWEEN STRUCTURES: 10 FT.

MAXIMUM REQUIREMENTS
BUILDING HEIGHT: 42 FT. (2 STORIES)

AREAS
EXISTING SITE:
SITE AREA: 11.962 AC.
WETLANDS (INCLUDED IN SITE AREA): 6.124 AC.
RIGHT OF WAY DEDICATION: -0.231 AC.
NET DEVELOPMENT AREA: 11.731 AC.

IMPERVIOUS AREAS
ROAD AND CURB: 0.450 AC.
SIDEWALK: 0.077 AC.
BUILDINGS: 1.084 AC.
DRIVEWAYS: 0.346 AC.
POOL: 0.053 AC.
PARKING: 0.346 AC.
TOTAL: 2.456 AC. (21%)

WOODLANDS:
EXISTING: 9.723 AC.
TO BE REMOVED: 2.692 AC. (INCLUDE WOODS IN R/W DEDICATION)
TOTAL REMAINING: 7.031 AC.

OPEN SPACE:
SWM: 0.318 AC.
WOODS & WETLANDS: 7.031 AC.
LANDSCAPE BUFFER: 0.464 AC.
POOL: 0.053 AC.
OTHER OPEN AREAS: 1.872 AC.
TOTAL: 9.742 AC. (83%)

SCW DISCHARGE LOCATIONS & L.O.D.:
POND 1: (N:202697.0943, E:752868.2599)
POND 2: (N:203172.6726, E:752941.1162)
TOTAL L.O.D.: 4.82± AC.

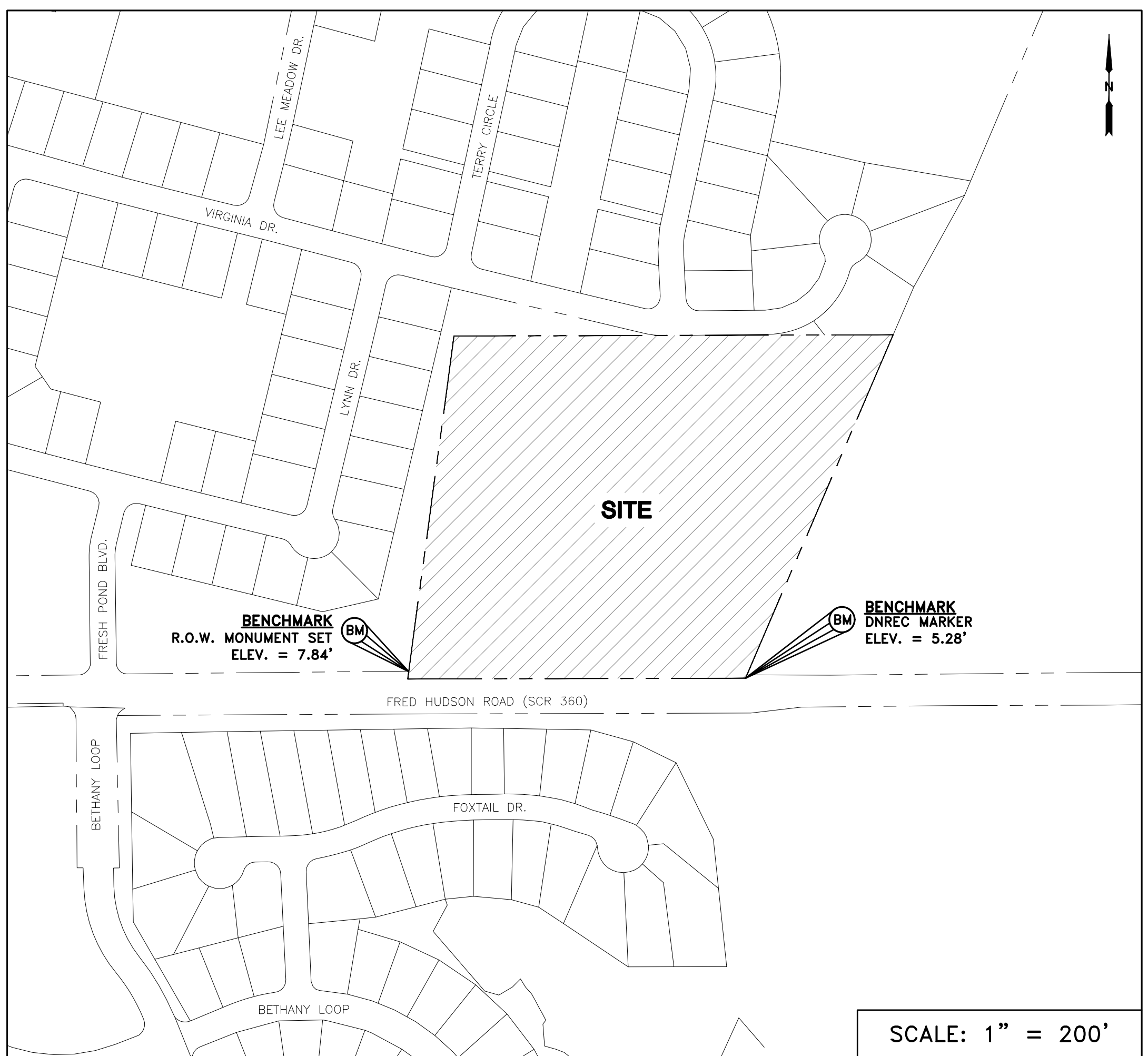
UTILITIES
SEWER PROVIDER: SUSSEX COUNTY (CEDAR NECK EXPANSION SSD)
WATER PROVIDER: PUBLIC (SUSSEX SHORES)

LAT/LON:
CONCRETE MONUMENT SET:
BENCHMARK: SOUTHWEST PROPERTY CORNER
LAT:38.5560, LON:75.0797
ELEV: 7.84
DNREC MARKER
BENCHMARK: SOUTHEAST PROPERTY CORNER
LAT:38.5559, LON:75.0774
ELEV: 5.28

PROPOSED BUILDING CONSTRUCTION: WOOD FRAMED/TIMBER PILE FOUNDATIONS
WETLANDS - THIS PROPERTY IS IMPACTED BY NONTIDAL WETLANDS.
FLOODPLAIN - THE PROPERTY IS IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA PANEL 10005C0512K, DATED MARCH 16, 2015.
THE PROPERTY IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA.
THE PROPERTY IS WITHIN AN AREA OF FAIR AND GOOD GROUNDWATER RECHARGE POTENTIAL.
THE PROPERTY IS LOCATED WITHIN THE AE AND 0.2% ANNUAL CHANCE FLOOD ZONES.
STATE STRATEGIES MAP: INVESTMENT LEVELS 2, 3, AND 4
THIS PROPERTY IS NOT LOCATED IN A TRANSPORTATION IMPROVEMENT DISTRICT (TID).
THIS PROPERTY IS LOCATED 1,300± TO THE EAST OF THE INTERSECTION OF CEDAR NECK ROAD (SCR 357) AND FRED HUDSON ROAD (SCR 360).
FRED HUDSON ROAD POSTED SPEED LIMIT: 40 M.P.H.

OWNER/DEVELOPER
EVG-COUNTY VENTURES, LLC
EVERGREENE HOMES C/O TIM NAUGHTON
TNAUGHTON@EVERGREENEHOMES.COM
33716 COASTAL HIGHWAY, SUITE 3
BETHANY BEACH, DELAWARE 19930
PHONE: 701-667-7878

ENGINEER:
DAVIS, BOWEN, & FRIEDEL, INC.
CLIFTON D. MUMFORD, P.E.
CDM@DBFNC.COM
1 PARK AVE.
MILFORD, DE 19963
PHONE: 302-424-1441
FAX: 302-424-0430



SCALE: 1" = 200'

SHEET INDEX

TITLE SHEET	V-100
RECORD PLAN	V-101

WETLANDS STATEMENT

I, EDWARD M. LAUNAY, SPWS, STATE THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED WITHIN THE AREA OF PROPOSED WORK, AS ILLUSTRATED ON THESE PLANS HAS BEEN DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL AND ALL CURRENTLY APPLICABLE SUPPLEMENTAL GUIDANCE INCLUDING THE ATLANTIC AND GULF COAST REGIONAL MANUAL (VERSION 2.0). THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES.

IN ACCORDANCE WITH DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL WETLAND MAPS, THERE ARE NO STATE (DNREC) REGULATED WETLANDS ON THE SITE.

EDWARD M. LAUNAY, PWS NO. 875 DATE
SOCIETY OF WETLANDS SCIENTISTS
CORPS OF ENGINEERS, CERTIFIED WETLAND
DELINEATOR WDCP93MD0510036B

ROAD

FRED HUDSON ROAD (SUSSEX ROAD 360)
FUNCTIONAL CLASSIFICATION - MAJOR COLLECTOR
AADT (2019 DELAWARE VEHICLE VOLUME SUMMARY) = 12,590
10 YR PROJECTED AADT = 1.16 X 12,590 = 14,604
10 YR PROJECTED AADT + SITE ADT E OF SITE (168) = 14,772
10 YR PROJECTED AADT + SITE ADT W OF SITE (175) = 14,779
PEAK HOUR = 14,604 X 12.09% = 1,766
DIRECTIONAL SPLIT = 61.35% / 38.65%
8.06% TRUCK % X 1,766 = 142
SPEED - POSTED = 40
TRAFFIC PATTERN GROUP - 3

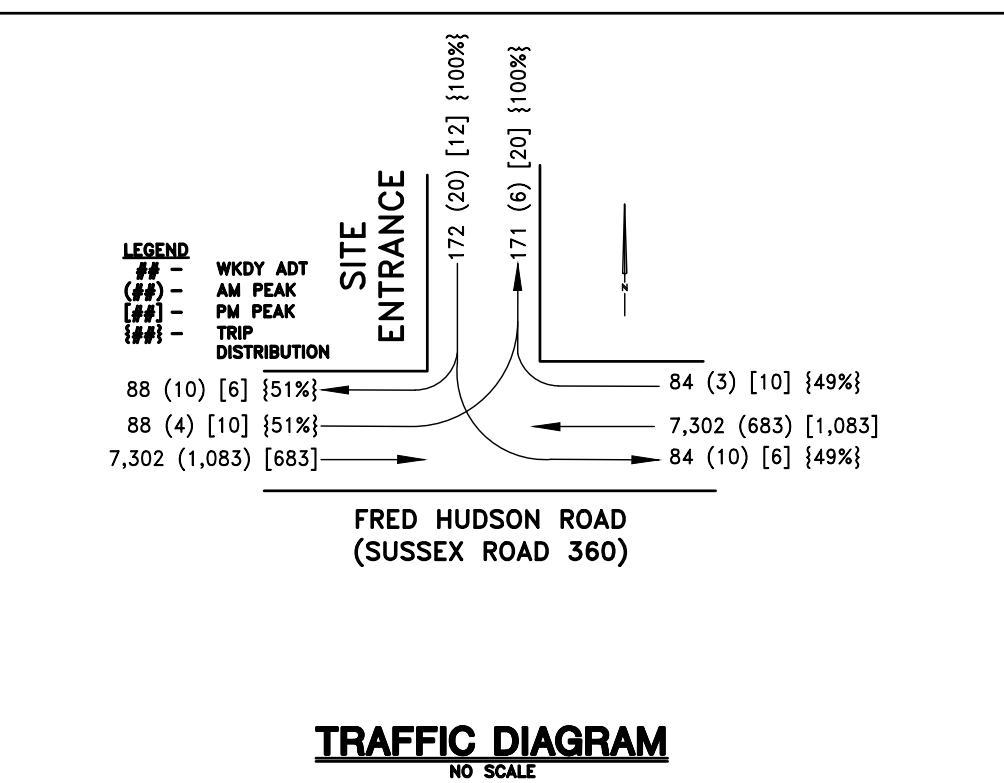
SITE TRIPS GENERATED - PROPOSED

ITE	WKDY
TYPE OF DECV.	CODE # UNITS PM SAT ADT
SINGLE-FAMILY	210 30 26 32 343

NOTES:
-TRIP GENERATION IS BASED ON ITE TRIP GENERATION MANUAL, 10TH EDITION.
-DESIGN VEHICLE: SU-30.
-ONE (1) FULL SITE ACCESS PROPOSED.

SITE ACCESS DESIGN VOLUMES

FRED HUDSON ROAD: 2029 AADT (HIGHEST LEG PER HIGHWAY SAFETY MANUAL PAGE 10-6) = 14,779
RIGHT-TURN ADT = 84
LEFT-TURN PEAK HOUR VOLUME = 10
OPPOSING PEAK HOUR VOLUMES = 1,083



TRAFFIC DIAGRAM NO SCALE

ARCHITECTS ENGINEERS SURVEYORS
 DAVIS, BOWEN & FRIEDEL, INC.
 1998D008
 FEBRUARY 2022
 INLAND BAYS

WETLANDS LINE TABLE A

LINE	BEARING	DISTANCE
LA-1	N 78°39'28" W	21.30'
LA-2	N 13°01'29" W	19.27'
LA-3	N 08°45'03" E	87.15'
LA-4	N 15°28'47" E	33.02'
LA-5	N 29°46'49" E	70.34'
LA-6	N 48°23'16" E	107.28'
LA-7	N 00°22'17" E	39.49'
LA-8	S 64°18'39" W	32.44'
LA-10	S 44°05'31" W	57.82'
LA-11	S 54°29'17" W	41.37'
LA-12	S 31°06'07" W	28.77'
LA-13	S 27°54'49" W	132.08'
LA-14	S 04°25'41" W	68.83'
LA-15	S 75°20'01" W	45.66'
LA-16	N 47°13'39" W	47.56'
LA-17	N 34°34'31" W	68.98'
LA-18	N 58°33'58" W	49.72'
LA-19	N 19°57'43" W	59.91'
LA-20	N 30°42'33" E	61.63'
LA-21	N 29°05'12" E	116.92'
LA-22	N 36°26'42" W	50.42'
LA-23	N 10°47'08" E	52.56'
LA-24	N 36°28'15" E	85.91'
LA-25	N 52°53'28" E	51.95'
LA-26	N 36°17'17" E	56.95'
LA-27	N 62°10'26" E	36.82'
LA-28	N 19°15'17" W	47.87'
LA-29	N 08°55'11" W	30.84'

WETLANDS LINE TABLE B

LINE	BEARING	DISTANCE
LB-1	S 01°21'04" W	77.53'
LB-2	S 36°17'10" W	50.05'
LB-3	S 34°40'57" W	52.80'
LB-4	S 07°08'20" W	72.79'
LB-5	S 72°29'18" E	47.29'
LB-6	N 58°59'59" E	66.66'
LB-7	N 44°57'02" E	52.40'
LB-8	N 28°59'14" E	72.87'
LB-9	N 22°22'48" E	88.94'
LB-10	N 23°51'42" E	28.06'

EASEMENT E LINE TABLE

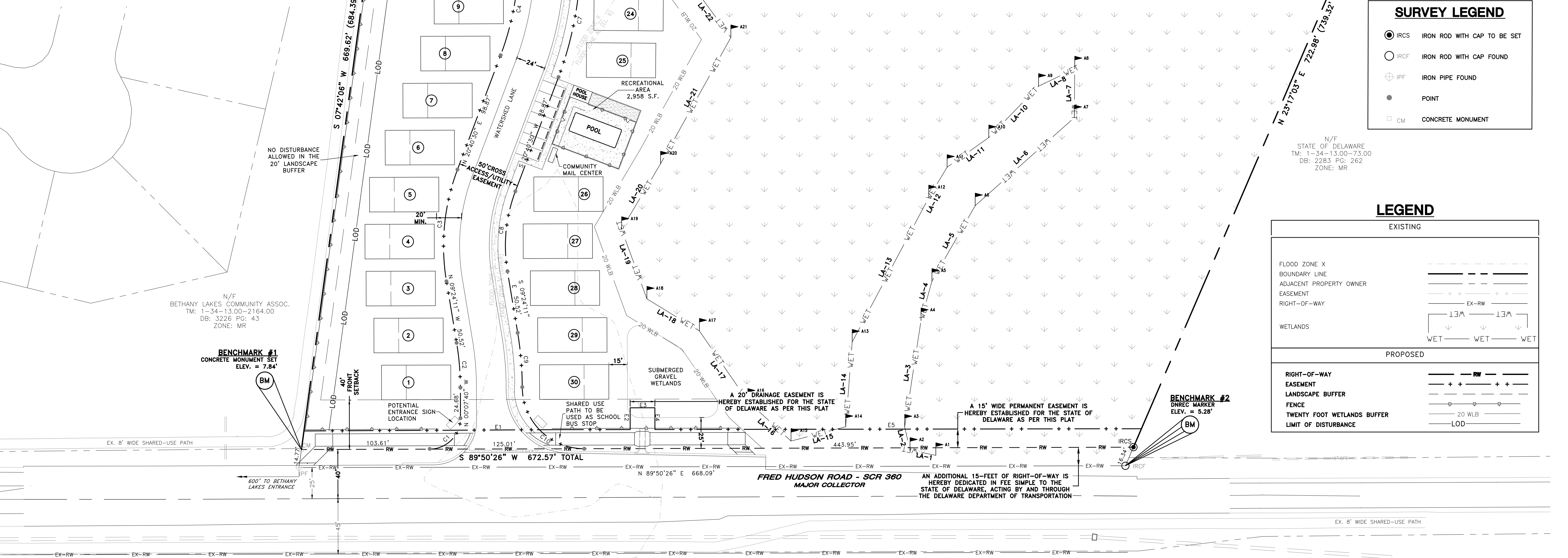
LINE	BEARING	DISTANCE
E1	N 89°54'29" E	57.40'
E2	S 00°05'31" E	17.60'
E3	N 89°55'13" E	20.00'
E4	S 00°05'31" E	17.60'
E5	S 89°54'29" W	393.25'

EASEMENT D LINE TABLE

LINE	BEARING	DISTANCE
D1	N 89°50'34" E	315.14'
D2	S 00°09'26" E	25.32'
D3	S 89°50'34" W	255.74'
D4	S 42°27'19" W	10.56'
D5	N 00°09'26" W	23.79'

EASEMENT D CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
DC-1	51.00'	67.28'	62.50'	N 86°29'55" W	75°35'00"

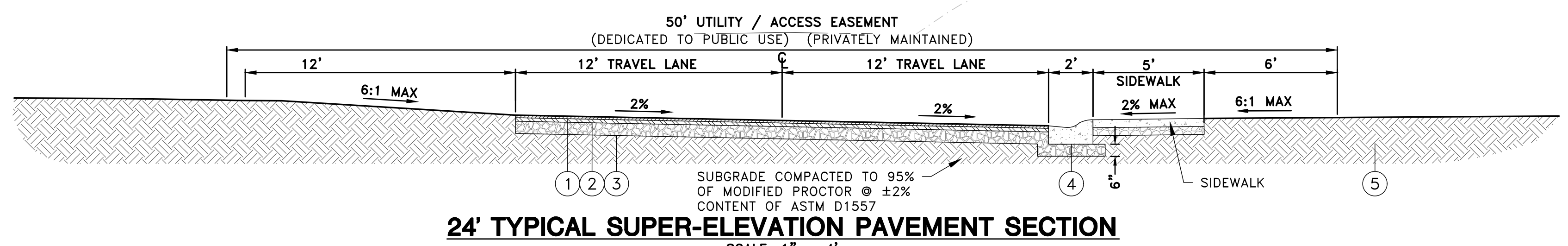


SURVEY LEGEND

- IRCS IRON ROD WITH CAP TO BE SET
- IRCF IRON ROD WITH CAP FOUND
- ⊕ IPF IRON PIPE FOUND
- POINT
- CM CONCRETE MONUMENT

LEGEND

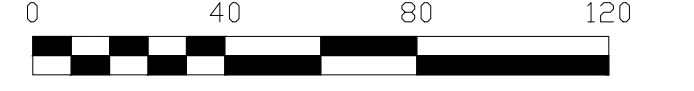
EXISTING	
FLOOD ZONE X	---
BOUNDARY LINE	---
ADJACENT PROPERTY OWNER	---
EASEMENT	---
RIGHT-OF-WAY	EX-RW
WETLANDS	WET
PROPOSED	
RIGHT-OF-WAY	RW
EASEMENT	---
LANDSCAPE BUFFER	---
FENCE	---
TWENTY FOOT WETLANDS BUFFER	20 WLB
LIMIT OF DISTURBANCE	LOD



LEGEND

- BITUMINOUS CONCRETE, SUPERPAVE, TYPE 'C', PG 64-22, 160 GYRATIONS (CARBONATE STONE)
- BITUMINOUS CONCRETE, SUPERPAVE, TYPE 'B', PG 64-22, 160 GYRATIONS
- GRADED AGGREGATE BASE COURSE, TYPE 'B', SHALL BE OVER APPROVED SUBGRADE
- INTEGRAL P.C.C. CURB & GUTTER TYPE 2
- ITEM 908002 - TOPSOIL (6" DEPTH), ITEM 908014 - PERMANENT GRASS SEEDING, DRY GROUND

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	25.00'	39.28'	35.35'	N 44°51'23" E	88°48'08"
C2	225.00'	36.42'	36.38'	N 04°45'55" W	9°16'31"
C3	175.00'	91.87'	90.82'	S 05°38'10" W	30°04'41"
C4	225.00'	79.40'	78.99'	S 10°33'56" W	20°13'08"
C5	51.00'	223.95'	82.73'	N 53°44'53" W	25°13'59"29"
C6	25.00'	31.24'	29.24'	S 38°15'07" W	71°35'29"
C7	275.00'	97.04'	96.54'	N 10°53'56" E	20°13'08"
C8	125.00'	65.62'	64.87'	S 05°38'10" W	30°04'41"
C9	275.00'	44.19'	44.14'	S 04°47'58" E	9°12'26"
C10	50.00'	78.51'	70.69'	N 45°10'40" W	89°57'50"



DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
GALLERY WAREHOUSE
MILFORD, DELAWARE (302) 421-1411
EASTON, MARYLAND (410) 770-4714

**INLAND BAYS
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE**

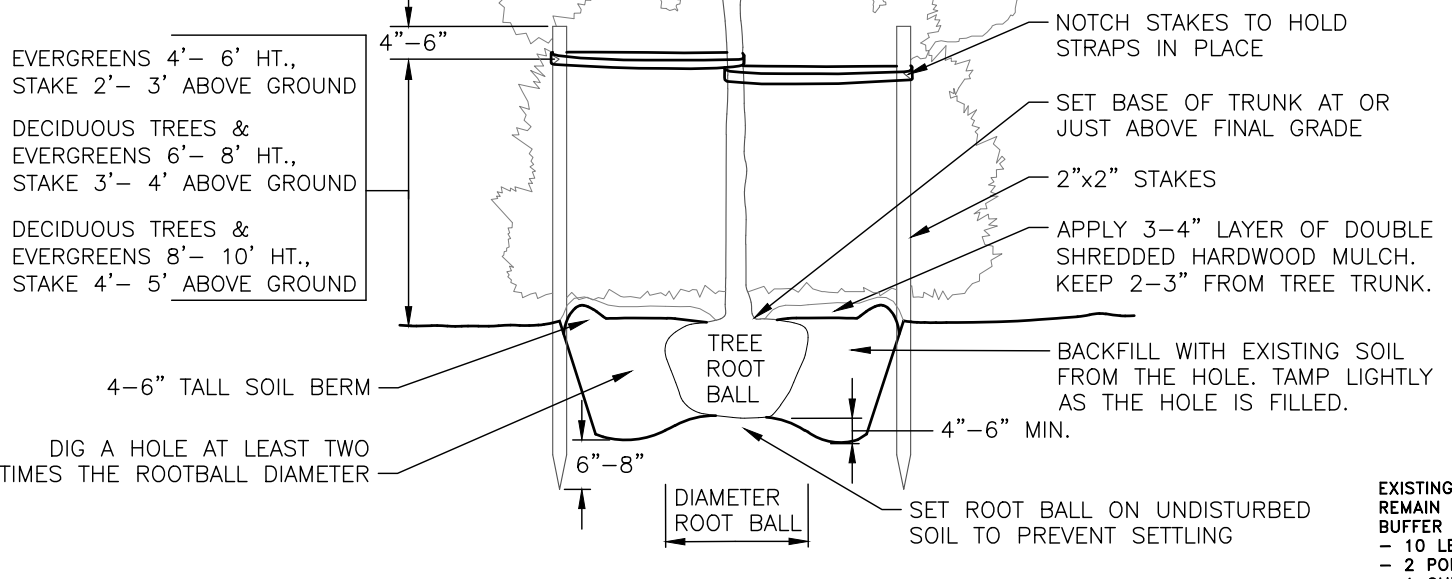
Revisions:
2022-04-08: SCD
2022-05-26: SCE
2022-07-05: SCE
DINREC
2022-07-15: P&Z

Date: FEBRUARY, 2022
Scale: 1" = 40'
Dwn. By: TCB
Proj. No.: 1998D008
Dwg. No.:

V-101

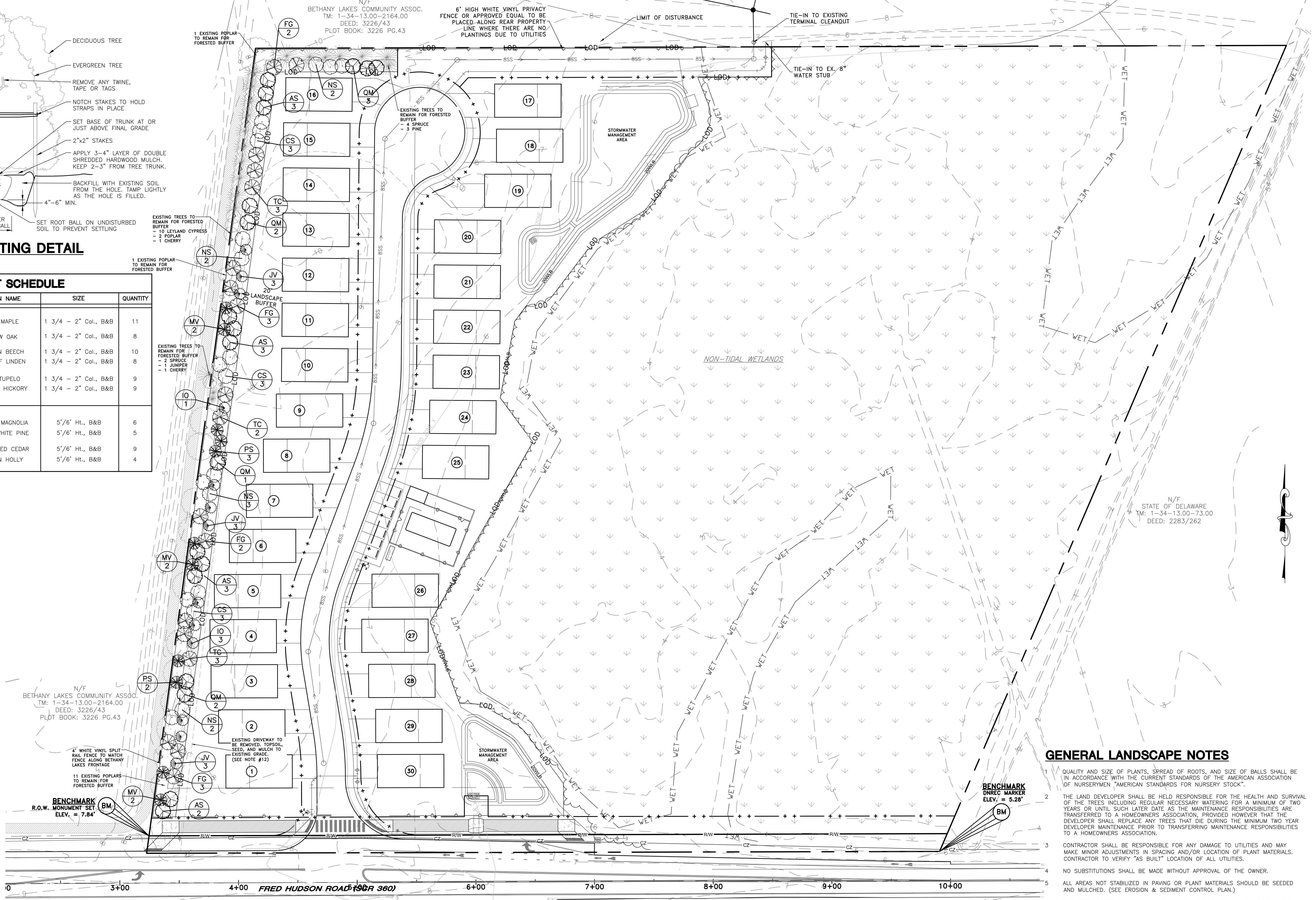
THIS DRAWING, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO DAVIS, BOWEN & FRIEDEL, INC., AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION. COPYRIGHT ©2022

NOTE:
 - WATER DEEPLY ONCE A WEEK DURING THE FIRST TWO SUMMERS. APPLY A MINIMUM OF 5-10 GALLONS OF WATER EACH WEEK.
 - CAREFULLY REMOVE CONTAINERS, WRAPPINGS, WIRES AND TIES FROM ROOT BALL BEFORE PLANTING.
 - LOOSEN OUTSIDE ROOTS, AND UNWRAP ANY CIRCLING ROOTS.
 - SECURE STAKES WITH WIDE FLEXIBLE MATERIAL SUCH AS WEBBING STRAPS OR CHAINLOCK TIES. ALLOW FOR TREE MOVEMENT.



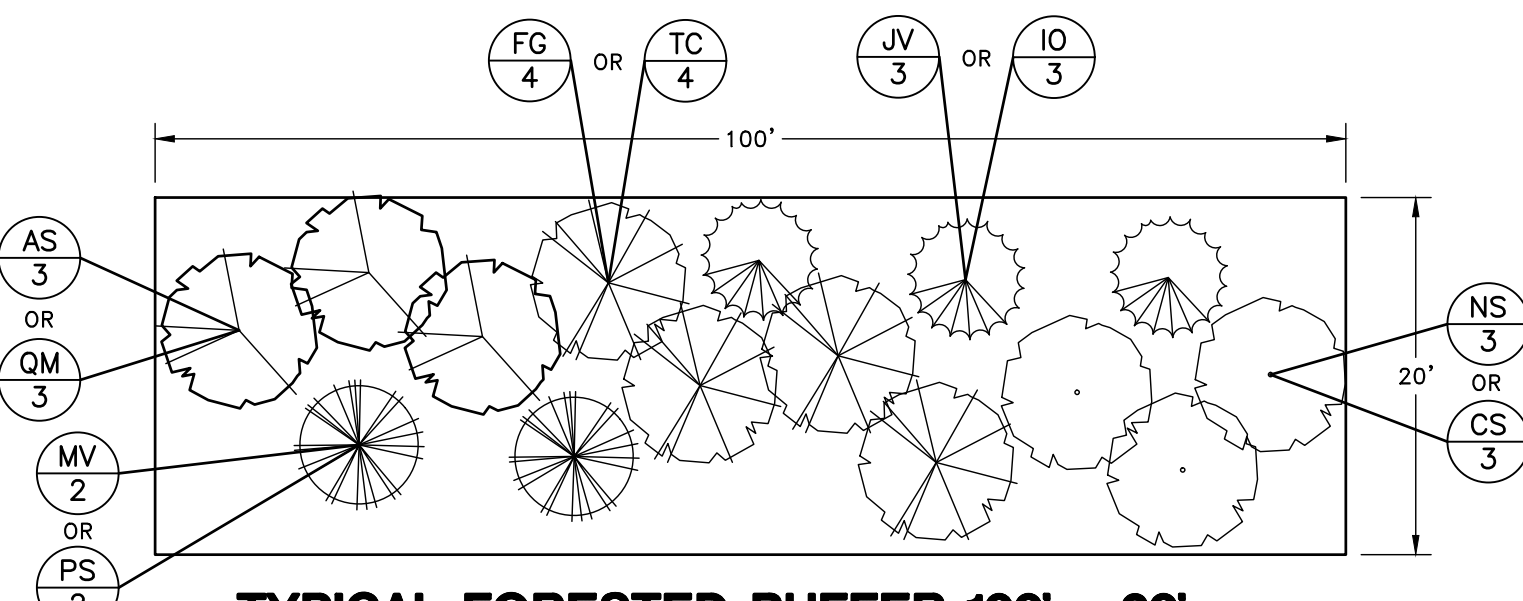
TREE PLANTING DETAIL
NO SCALE

LANDSCAPE PLANT SCHEDULE					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
DECIDUOUS TREE					
AS		<i>Acer saccharum</i> Green Mountain	SUGAR MAPLE	1 3/4 - 2" Cal., B&B	11
QM		<i>Quercus phellos</i>	WILLOW OAK	1 3/4 - 2" Cal., B&B	8
FG		<i>Fagus grandifolia</i>	AMERICAN BEECH	1 3/4 - 2" Cal., B&B	10
TC		<i>Tilia cordata</i>	LITTLELEAF LINDEN	1 3/4 - 2" Cal., B&B	8
NS		<i>Nyssa sylvatica</i>	BLACK TUPELO	1 3/4 - 2" Cal., B&B	9
CS		<i>Corya ovata</i>	SHAGBARK HICKORY	1 3/4 - 2" Cal., B&B	9
EVERGREEN TREE					
MV		<i>Magnolia virginiana</i>	SWEETBAY MAGNOLIA	5'6" Ht., B&B	6
PS		<i>Pinus strobus</i>	EASTERN WHITE PINE	5'6" Ht., B&B	5
JV		<i>Juniperus virginiana</i>	EASTERN RED CEDAR	5'6" Ht., B&B	9
IO		<i>Ilex opaca</i>	AMERICAN HOLLY	5'6" Ht., B&B	4



GENERAL LANDSCAPE NOTES

1. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK".
2. THE LAND DEVELOPER SHALL BE HELD RESPONSIBLE FOR THE HEALTH AND SURVIVAL OF THE TREES INCLUDING REGULAR NECESSARY WATERING FOR A MINIMUM OF TWO YEARS OR UNTIL SUCH LATER DATE AS THE MAINTENANCE RESPONSIBILITIES ARE TRANSFERRED TO A HOMEOWNERS ASSOCIATION, PROVIDED HOWEVER THAT THE DEVELOPER SHALL REPLACE ANY TREES THAT DIE DURING THE MINIMUM TWO YEAR DEVELOPER MAINTENANCE PRIOR TO TRANSFERRING MAINTENANCE RESPONSIBILITIES TO A HOMEOWNERS ASSOCIATION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
4. NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER.
5. ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN.)
6. EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
7. ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 6'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STAKING DETAIL SHOWN.
8. THE FULL EXTENT OF ALL PLANTING BEDS SHALL RECEIVE 4" OF TOPSOIL AND 3" OF BARK MULCH PER SPECIFICATIONS.
9. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
10. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
11. THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.
12. THERE IS AN EXISTING DRIVEWAY THAT WILL NEED TO BE REMOVED TO ESTABLISH THE FORESTED BUFFER. THE EXISTING DRIVEWAY IS WITHIN THE 20' AREA THAT IS NOT TO BE DISTURBED. MINIMIZE THE DISTURBANCE AS MUCH AS POSSIBLE WHILE REMOVING THE DRIVEWAY. TOPSOIL, SEED, AND MULCH THE AREA AFTER REMOVAL OF THE DRIVEWAY TO EXISTING GRADE.



TYPICAL FORESTED BUFFER 100' x 20'
NOT TO SCALE

ARCHITECTS ENGINEERS SURVEYORS
 DAVIS, BOWEN & FRIEDEL, INC.
 1501 W. MARKET STREET
 BALTIMORE, MARYLAND 21201
 (410) 775-4714

ARCHITECTS ENGINEERS SURVEYORS
 DAVIS, BOWEN & FRIEDEL, INC.
 1501 W. MARKET STREET
 BALTIMORE, MARYLAND 21201
 (410) 775-4714

INLAND BAYS
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

Revisions:
 2022-04-08: SCD
 2022-05-26: SCE
 2022-07-05: SCE
 D/NREC
 2022-07-15: P&Z

Date: **FEBRUARY, 2022**
 Scale: **1" = 40'**
 Dwn.By: **TCB**
 Proj.No.: **1998D008**
 Dwg.No.:

L-101

P:\Evergreen Companies\Inland Bays Community\Design\1998D002 - LANDSCAPE PLAN.dwg, Jul 20, 2022 - 1:14:40am BART

P:\Evergreen Companies\Inland Bays Community\Design\1998D002 - GRADING PLAN.dwg, Jul 05, 2022 - 1:18pm BART



DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS

OFFICE: BALTIMORE, MD (410) 653-2800
OFFICE: WASHINGTON, DC (202) 424-1441
OFFICE: EASTON, MARYLAND (410) 770-4744

DETAILED GRADING PLAN - OVERVIEW

**INLAND BAYS
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE**

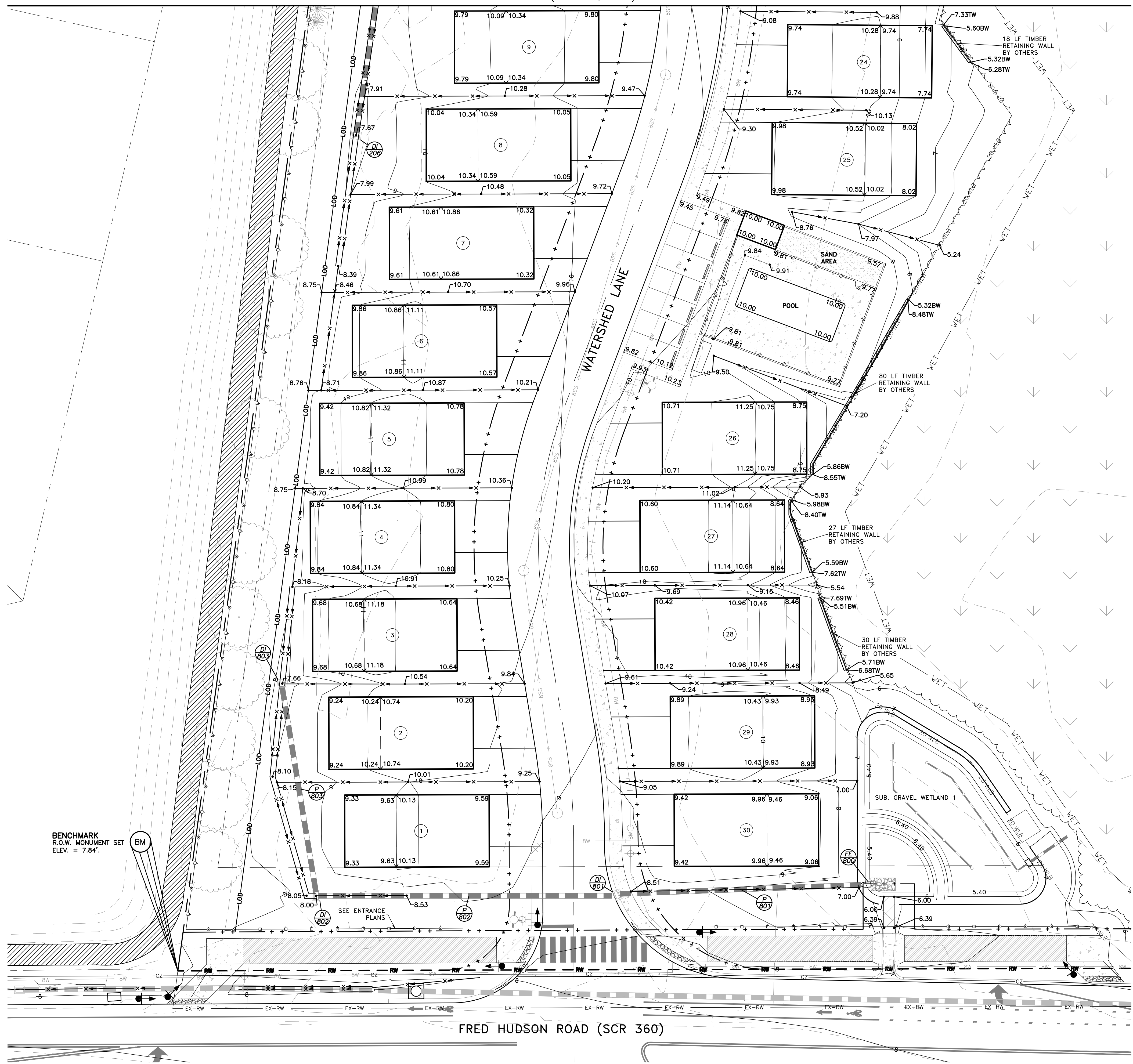
Revisions:
2022-04-08: SCD
2022-05-26: SCE
2022-07-05: SCE
DNREC

Date: FEBRUARY, 2022
Scale: 1" = 40'
Dwn. By: BJM
Proj. No.: 1998D008
Dwg. No.:

C-301



MATCHLINE (SEE SHEET, C-303)



NOTES:

1. ALL UNITS ARE TO BE CONSTRUCTED ON PILES. FINISH FLOOR ELEVATIONS ARE NOT SHOWN TO ELIMINATE CONFUSION.
2. GARAGE SLABS ARE ON BOTTOM FLOOR AND RUN TO THE DASHED LINE THEN TURN TO GRAVEL TO THE BACK OF THE BUILDING BOX.

BENCHMARK
R.O.W. MONUMENT SET
ELEV. = 7.84'

FRED HUDSON ROAD (SCR 360)



P:\Evergreen Companies\Inland Bays Community\Design\1998D002 - GRADING PLAN.dwg, Jul 05, 2022 - 1:19pm BART

DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
1000 W. MARKET ST.
MILFORD, DELAWARE 19967
EASTON, MARYLAND 21412
(302) 432-2800
(302) 432-1441
(410) 770-4714

DETAILED GRADING PLAN

**INLAND BAYS
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE**

Revisions:
2022-04-08: SCD
2022-05-26: SCE
2022-07-05: SCE
DNREC

Date: **FEBRUARY, 2022**
Scale: **1" = 20'**
Dwn. By: **BJM**
Proj. No.: **1998D008**
Dwg. No.:

C-302

INDIAN RIVER SOLAR FARM (FORMERLY KNOWN AS BROOM SOLAR)

ADJACENT TO 32419 FRANKFORD SCHOOL ROAD, FRANKFORD, DELAWARE, 19945

PRELIMINARY SITE PLAN SET

PREPARED FOR: **BROOM SOLAR PARTNERS, LLC
D/B/A INDIAN RIVER SOLAR FARM
6940 COLUMBIA GATEWAY DRIVE, SUITE 400
COLUMBIA, MD 21046**

PREPARED BY: **TRC ENGINEERS, INC.**

DATE: **JUNE 2022**

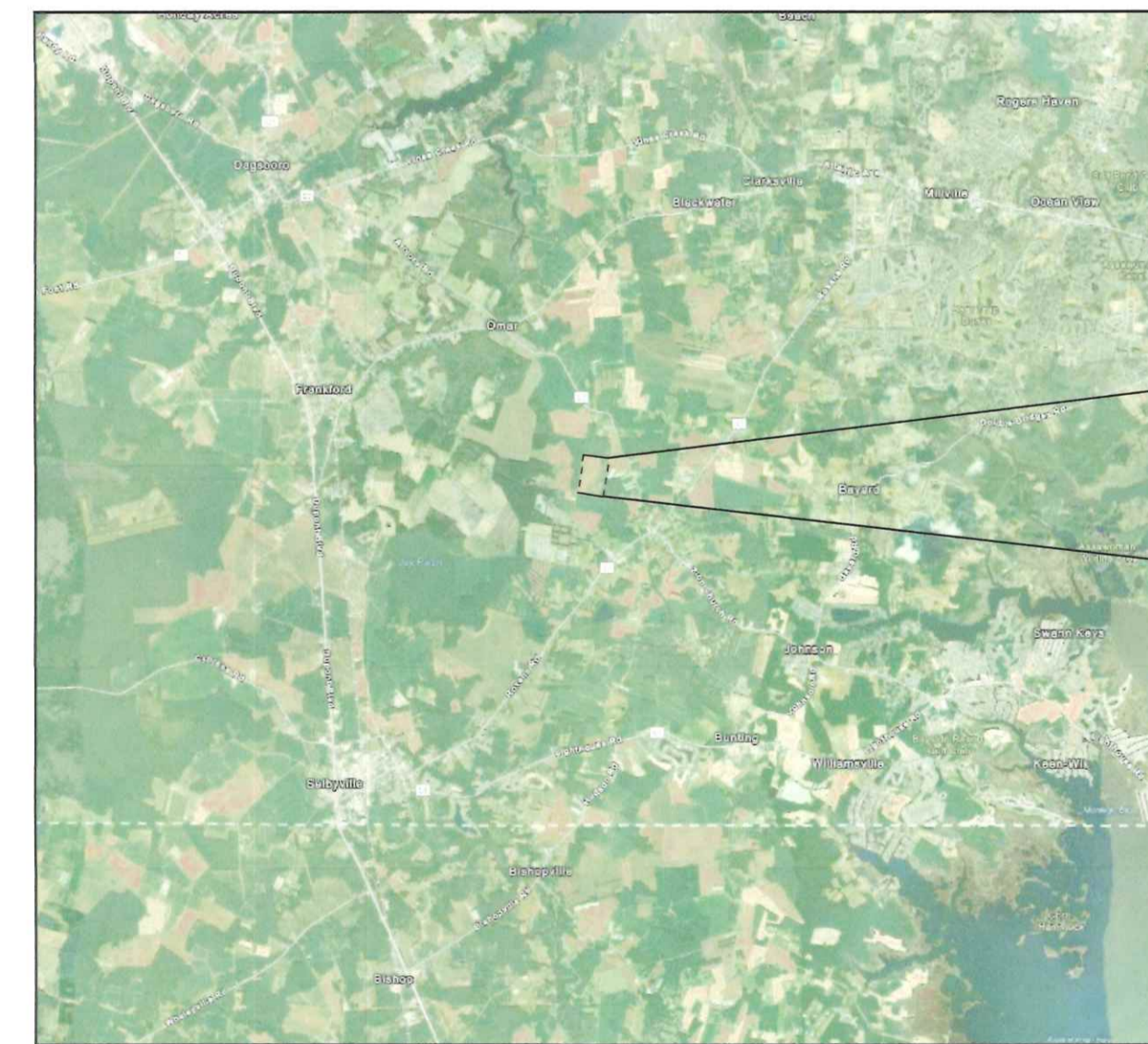
PROJECT CONTACT LIST

DEVELOPER/CONTRACTOR
TBD

CIVIL ENGINEER
TRC ENGINEERS, INC.
1430 BROADWAY, 10TH FLOOR
NEW YORK, NY 10018
CONTACT: STEVEN MEERSMA, PE
PHONE: 212.221.7840
EMAIL: SMEERSMA@TRCCOMPANIES.COM

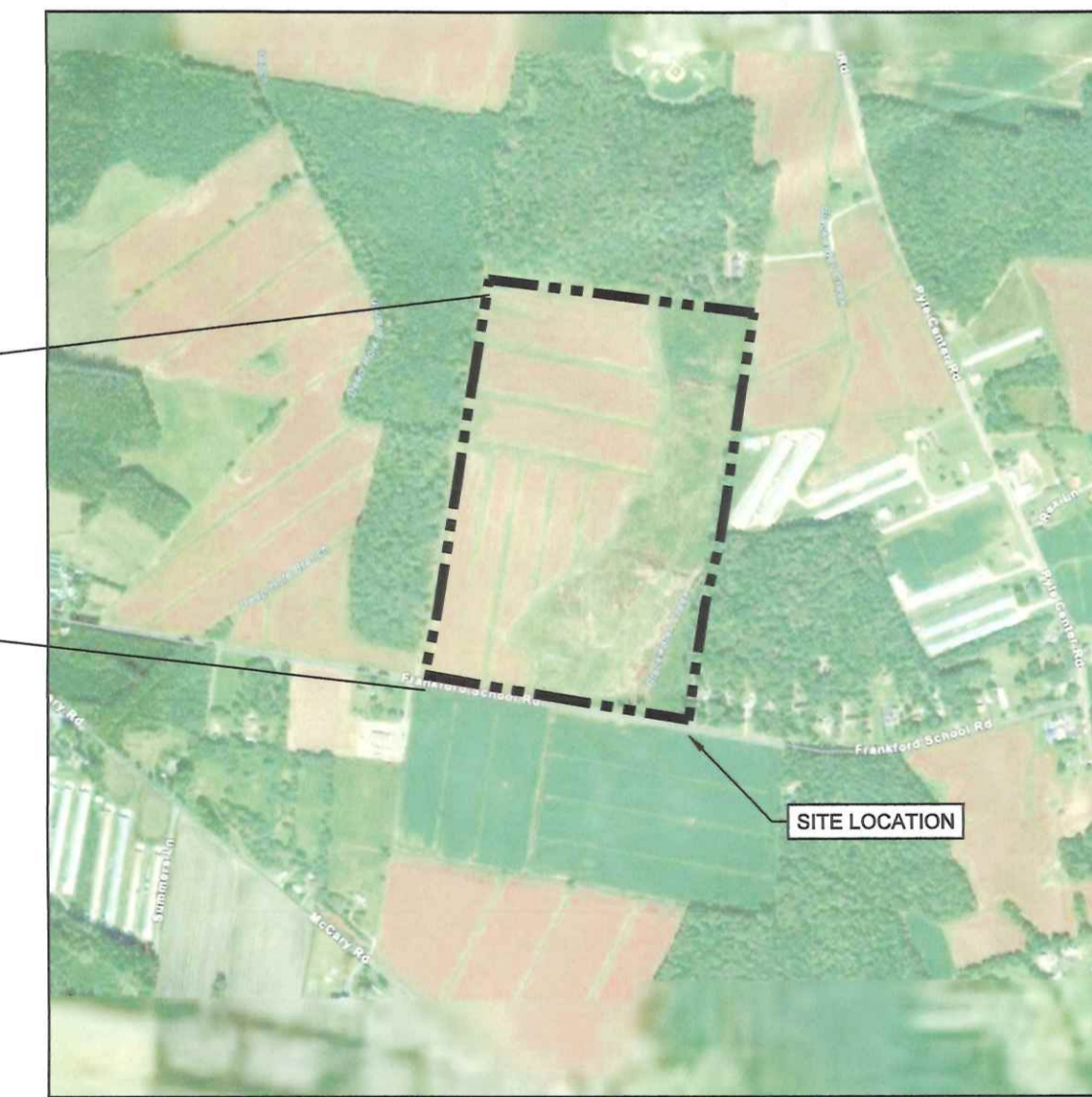
ELECTRICAL ENGINEER
TBD

DRAWING INDEX	
SHEET NUMBER	SHEET TITLE
C-1.0	COVER SHEET
C-2.0	NOTES
C-3.0	EXISTING CONDITIONS
C-4.0	SITE PLAN
C-4.1	SITE PLAN NORTH
C-4.2	SITE PLAN SOUTH
C-5.0	DETAILS
C-6.0	DETAILS
C-7.0	DETAILS
MRA STORMWATER PLANS	
1 OF 6	SEDIMENT AND STORMWATER COVER SHEET
2 OF 6	CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN
3 OF 6	CONSTRUCTION SITE STORMWATER MANAGEMENT DETAILS AND NOTES
4 OF 6	CONSTRUCTION SITE STORMWATER MANAGEMENT DETAILS AND NOTES
5 OF 6	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
6 OF 6	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS



SUSSEX COUNTY

NTS



SITE LOCATOR

NTS

NO.	BY	DATE	REVISION	APPD.

ISSUED FOR PRELIMINARY SITE
PLAN APPROVAL.
NOT FOR CONSTRUCTION.



DRAWING NAME: TRC-2022-06-INDIAN RIVER SOLAR FARM - PRELIMINARY SITE PLAN SET - LAYOUT COVER SHEET - PLOT DATE: JUN 30, 2022 - 4:00PM - LAYOUT COVER SHEET

DELDOT GENERAL COMMERCIAL ENTRANCE NOTES

DELDOT GENERAL NOTES:

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- ALL MATERIALS AND WORKMANSHIP WITHIN THE STATE OF DELAWARE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CURRENT STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SUPPLEMENTAL SPECIFICATIONS, STANDARD CONSTRUCTION DETAILS, SPECIAL PROVISIONS, PAS MANUAL AND DESIGN GUIDANCE MEMORANDUMS.
- ALL DISTURBED AREAS WITHIN THE STATE RIGHT-OF-WAY, BUT NOT IN THE PAVEMENT, SHALL BE TOP-SOILED (6" MINIMUM), FERTILIZED, SEEDED AND MULCHED. IF SOD IS USED NEXT TO SIDEWALK OR SHARED-USE PATH, CONTRACTOR SHALL GRADE TOPSOIL ADJACENT TO THE SIDEWALK OR SHARED-USE PATH PRIOR TO PLACEMENT OF SOD TO ENSURE THAT SOD IS PLACED FLUSH OR JUST BELOW EDGE OF SIDEWALK OR SHARED-USE PATH TO AVOID WATER PONDING ON THE SIDEWALK OR SHARED-USE PATH.
- A 72-HOUR (MINIMUM) NOTICE SHALL BE GIVEN TO THE DELDOT DISTRICT PERMIT SUPERVISOR PRIOR TO STARTING ENTRANCE CONSTRUCTION.
- MISS UTILITY OF DELAWARE SHALL BE NOTIFIED THREE (3) CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
- AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR, ANY DAMAGED OR MISSING CURB OR SIDEWALK FOUND ON SITE WILL NEED TO BE REPAIRED OR REPLACED TO MEET CURRENT DELDOT STANDARDS.
- ALL SIGNING, STRIPING AND MAINTENANCE OF TRAFFIC IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL FOLLOW THE GUIDELINES SHOWN IN THE DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (DELAWARE MUTCD) FOR STREETS AND HIGHWAYS (LATEST EDITION AT THE DATE OF THE ENTRANCE PERMIT APPROVAL). THE DEVELOPER OR PROPERTY OWNERS SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL SIGNS INSTALLED AS PART OF THIS PROJECT.
- PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE DELDOT INSPECTOR.
- A COPY OF THE UP-TO DATE APPROVED CONSTRUCTION DOCUMENTS AND DELDOT APPROVAL LETTERS SHALL BE MAINTAINED ON THE PROJECT SITE AT ALL TIMES AND BE AVAILABLE FOR INSPECTION BY DELDOT PERSONNEL.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. THESE DISTURBED AREAS SHALL BE TOP-SOILED (6" MINIMUM), FERTILIZED, SEEDED AND MULCHED. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH THE DEVELOPMENT COORDINATION MANUAL.
- DELDOT WILL NOT PROVIDE THE RESPECTIVE LOCAL LAND USE AGENCY WITH A 'NO OBJECTION TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY NOTICE' UNTIL THE ENTRANCE(S) ARE COMPLETED TO THE SATISFACTION OF THE DEPARTMENT.
- DESIGN, FABRICATION AND INSTALLATION OF ALL PERMANENT SIGNING SHALL BE AS OUTLINED IN THE LATEST VERSION OF THE DELAWARE MUTCD.
- DESIGN AND INSTALLATION OF ALL PAVEMENT MARKINGS AND STRIPING SHALL BE AS OUTLINED IN THE LATEST VERSION OF THE DELAWARE MUTCD, FOR FINAL PERMANENT PAVEMENT MARKINGS:
 - EPOXY RESIN PAINT SHALL BE REQUIRED FOR LONG LINE STRIPING.
 - THERMO PLASTIC (EXTRUDED OR PREFORMED MATERIAL) WILL BE REQUIRED ON ASPHALT SURFACES, FOR SHORT LINE STRIPING, I.E. SYMBOLS/LEGENDS.
 - PERMANENT PAVEMENT MARKING TAPE (PER DELDOT'S APPROVED MATERIALS LIST) WILL BE REQUIRED ON CONCRETE SURFACES, FOR SHORT LINE STRIPING, I.E. SYMBOLS/LEGENDS.
- REMOVAL OF PAVEMENT MARKING PAINT OR TAPE SHALL COMPLY WITH SECTION 5.11.2 OF THE DEVELOPMENT COORDINATION MANUAL.
- BREAKAWAY POSTS SHALL BE USED WHEN INSTALLING ALL SIGNS. REFERENCE DELDOT'S STANDARD CONSTRUCTION DETAILS, SECTION VIII - TRAFFIC, T-15.
- ALL FIXED OBJECTS ARE TO BE A MINIMUM OF 10-FEET FROM THE EDGE OF TRAVEL LANE AND 5-FEET FROM THE EDGE OF PAVEMENT. REFERENCE SECTION 5.5.5 OF THE DEVELOPMENT COORDINATION MANUAL. ANY FIXED OBJECT THAT DOES NOT MEET THIS REQUIREMENT SHALL BE RELOCATED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL PAVING WITHIN THE STATE OF DELAWARE RIGHT-OF-WAY IS INSTALLED IN SUCH A WAY THAT NO PONDING OF WATER EXISTS AFTER PAVING IS COMPLETE.
- ALL STORM DRAIN PIPING DESIGNATED AS REINFORCED CONCRETE PIPE IS TO BE REINFORCED CONCRETE PIPE, MEETING AASHTO M-170 SPECIFICATIONS. SEE PLANS FOR SPECIFIC CLASS OF PIPE.
- ALL SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM STANDARD T-99 DRY DENSITY.

MAINTENANCE OF TRAFFIC NOTES

- ALL TEMPORARY TRAFFIC CONTROL AND TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH: THE CONTRACT DOCUMENTS, THE LATEST VERSION OF THE DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (HEREINAFTER REFERRED TO AS THE "DELAWARE MUTCD"), CURRENT STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND SUPPLEMENTAL SPECIFICATIONS, INCLUDING ALL REVISIONS AS OF THE DATE OF THE ENTRANCE PERMIT APPROVAL.
- THE DEPARTMENT RESERVES THE RIGHT TO STOP THE CONTRACTOR'S OPERATIONS, IF, IN THE OPINION OF THE DEPARTMENT'S REPRESENTATIVE, THE CONTRACTOR'S OPERATIONS ARE NOT IN COMPLIANCE WITH THE DELAWARE MUTCD, THE SPECIFICATIONS OR THE PLANS OR IF THE CONTRACTOR'S OPERATIONS ARE DEEMED UNSAFE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE TRANSPORTATION MANAGEMENT CENTER IS NOTIFIED EACH AND EVERY DAY WHEN WORK IS BEING PERFORMED IN STATE RIGHT-OF-WAY. THE CONTRACTOR SHALL IDENTIFY THE TYPE OF WORK, ANY LANE(S) OR SHOULDER(S) CLOSED, THE LENGTH OF TIME FOR WORK, WHEN THE LANE RESTRICTIONS ARE IN PLACE AND WHEN LANE RESTRICTIONS ARE LIFTED, CONTACT PERSON/PHONE NUMBER AND STATE INSPECTOR. THE TRANSPORTATION MANAGEMENT CENTER CAN BE REACHED AT (302) 659-4600.
- ALL PAVEMENT MARKINGS THAT ARE NO LONGER IN USE AND CONFLICT WITH TEMPORARY PAVEMENT MARKINGS SHALL BE REMOVED AND COMPLETELY OBLITERATED BY A METHOD APPROVED BY THE ENGINEER. PAINTING OVER THE CONFLICTING PAVEMENT MARKINGS WILL NOT BE ACCEPTED AS A METHOD OF REMOVAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE LOCAL 911 CENTER, LOCAL SCHOOLS AND DELDOT COMMUNITY RELATIONS OF ALL ROADS AND LANES TO BE CLOSED A MINIMUM OF SEVEN (7) CALENDAR DAYS BEFORE THE CLOSURE.
- ALLOWABLE LANE CLOSURE HOURS SHALL BE IN ACCORDANCE WITH P.I. NUMBER C-09, PLANNED LANE RESTRICTION AND ROAD CLOSURE POLICY, UNLESS DIRECTED OTHERWISE BY DELDOT TRAFFIC SAFETY.
- THE CONTRACTOR SHALL PROVIDE PEDESTRIAN MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH THE DELAWARE MUTCD DURING CONSTRUCTION ACTIVITIES THAT IMPACT EXISTING PEDESTRIAN FACILITIES.
- ACCEPTABLE MATERIALS FOR TEMPORARY PEDESTRIAN PATHS SHALL INCLUDE CONCRETE, HOT-MIX, COMPACTED MILLINGS OR PLYWOOD WALKWAY STRUCTURE. PLYWOOD WALKWAY STRUCTURES SHALL ALSO INCLUDE DETECTABLE EDGING AND RAILINGS IN ACCORDANCE WITH ADA GUIDELINES AND THE DELAWARE MUTCD. STONE OR GRADED AGGREGATE BASE COURSE SHALL NOT BE USED FOR TEMPORARY PEDESTRIAN PATHS.
- ALL STORAGE OF EQUIPMENT AND MATERIAL SHALL COMPLY WITH THE DELAWARE MUTCD, SECTION 6G.21.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF EXISTING PAVEMENT WITHIN THE PROJECT LIMITS FOR THE DURATION OF THE CONTRACT OR AS DIRECTED BY THE ENGINEER.

CIVIL NOTES:

- THE CONTRACTOR SHALL ABIDE BY LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AGAINST THE PROVIDED SURVEY INCLUDING THE HORIZONTAL AND VERTICAL LOCATIONS OF POTENTIAL OBSTRUCTIONS INCLUDING UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAYS.
- LOCATION OF EXISTING UTILITIES SHOWN ON PLANS WAS COMPILED FROM RECORD INFORMATION. NO WARRANTY IS IMPLIED AS TO THE ACTUAL LOCATION OF EXISTING UTILITIES. CONTRACTOR TO FIELD VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING UNDERGROUND FEATURES. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICE THREE (3) WORKING DAYS PRIOR TO EXCAVATION. ADDITIONALLY, CONTRACTOR SHALL CONTACT LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES.
- ELECTRICAL, TELEPHONE, CABLE TV, GAS, AND OTHER UTILITY LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION SHALL BE COORDINATED WITH THAT UTILITY. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAY OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. CONTRACTOR MAY BE REQUIRED TO RESCHEDULE THEIR ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. DAMAGE TO EXISTING UTILITY LINES CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONSTRUCTION SHALL NOT OCCUR IN PUBLIC RIGHTS OF WAY, PUBLIC OR PRIVATE EASEMENTS, BEYOND THE LIMITS OF DISTURBANCE, OR OUTSIDE THE LEASE AREA WITHOUT A PERMIT. PUBLIC OR PRIVATE PROPERTY OR IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE COST OF THE CONTRACTOR.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE EQUIPMENT OR MATERIAL WITHIN PUBLIC RIGHTS-OF-WAY. OVERNIGHT PARKING OF CONSTRUCTION VEHICLES ON PRIVATE PROPERTY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (E.G., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION, SHORING, ETC.).
- PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE TO PROVIDE SIGNS, BARRICADES, WARNING LIGHTS, GUARD RAILS, AND EMPLOY FLAGGERS AS NECESSARY WHEN CONSTRUCTION INTERFERES WITH EITHER VEHICULAR OR PEDESTRIAN TRAFFIC. THESE DEVICES SHALL REMAIN IN PLACE UNTIL THE TRAFFIC MAY PROCEED NORMALLY AGAIN.
- BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO THE APPLICABLE SECTION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- CONTRACTOR SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS CONTROLLING POLLUTION OF THE ENVIRONMENT PRIOR TO THE START OF THE PROJECT CONSTRUCTION. THE CONTRACTOR SHALL ABIDE BY THE PERMITS OBTAINED BY OWNER. CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR PERMITS REQUIRED BY THE CONTRACT DOCUMENTS.
- BEFORE COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, POTHOLE AND MEASURE DEPTH TO TOP OF EXISTING, UNDERGROUND WET & DRY UTILITIES AT PROPOSED CROSSING LOCATIONS, ACCORDING TO THE CONTRACT DOCUMENTS OR AS SPECIFIED BY THE UTILITY OWNER. CONTRACTOR SHALL PROVIDE ENGINEER AND OWNER WITH AN "AS-BUILT" PLAN OF INFORMATION, AND RECEIVE FORMAL APPROVAL BEFORE STARTING WORK.
- CONTRACTOR TO PERFORM WORK IN ACCORDANCE WITH EXISTING PROJECT PERMITS, STUDIES, AND REPORTS PROVIDED IN THE CONTRACT DOCUMENTS INCLUDING: CONDITIONAL USE, SPECIAL USE, OR OTHER LAND USE TYPE PERMITS INCLUDING THE ASSOCIATED CONDITIONS OF APPROVAL; ENVIRONMENTAL STUDIES AND REPORTS; HYDROLOGICAL STUDIES AND REPORTS; ETC.
- CONTRACTOR SHALL DETERMINE THE SOURCE OF AND SECURE APPROVAL OF CONSTRUCTION WATER AS NECESSARY TO COMPLETE THE PROJECT.
- CONTRACTOR SHALL MANAGE DUST, DIRT, MUD, SNOW, ETC. DURING THE CONSTRUCTION PHASE IN A SUITABLE MANNER SO AS TO NOT TO IMPACT THE COMMISSIONING, PERFORMANCE, INSPECTION, OR RELIABILITY OF EQUIPMENT, SUCH AS BUT NOT LIMITED TO: MODULES, COMBINERS, INVERTERS, TRANSFORMERS, DISCONNECTS, SWITCHGEAR, SCADA / SEEDS, WEATHER STATIONS, CONDUCTORS AND TERMINATIONS, AND TRACKERS.
- THIS PROJECT DOES NOT PROPOSE NEW WATER OR SANITARY SEWER FACILITIES.
- THE LOCATIONS OF PROPOSED IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO: FENCING, SOLAR ARRAY RACKING, INVERTER/TRANSFORMER STRUCTURES, OVERHEAD POLES AND LINES, ETC., SHOWN ARE APPROXIMATE AND ARE SUBJECT TO MODIFICATION DUE TO SITE CONDITIONS, ADDITIONAL PERMITTING REQUIREMENTS, EQUIPMENT SPECIFICATIONS, AND/OR OTHER CONSTRAINTS.
- PROJECT AREA, INCLUDING CONSTRUCTION STAGING AREAS, WILL BE CLEARED AND GRUBBED AS NECESSARY, RETAINING PRE-DEVELOPMENT DRAINAGE PATTERNS TO THE MAXIMUM EXTENT POSSIBLE. CONSTRUCTION STAGING AND AREAS SUBJECT TO RUTTING DURING CONSTRUCTION WILL BE TEMPORARILY STABILIZED WITH GRAVEL OR OTHER MATERIAL APPROVED BY OWNER.
- THE CONTRACTOR SHALL PROVIDE GENERATORS TO SUPPLY POWER FOR ACTIVITIES RELATED TO CONSTRUCTION. GENERATORS AND TEMPORARY PUMPS TO BE LOCATED IN CONTRACTOR-PROVIDED TEMPORARY SECONDARY CONTAINMENT.
- CONTRACTOR SHALL MAINTAIN ACCESS AND UTILITY SERVICES TO EXISTING BUILDING(S) OR ADJACENT BUILDING(S) THROUGHOUT THE PROPOSED PROJECT. EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THE SATISFACTION OF THE OWNER BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.

SITE MAINTENANCE NOTES:

- PROJECT OWNER TO MAINTAIN VEGETATION TO APPROXIMATELY 5 FEET OUTSIDE THE PROPOSED PERIMETER FENCELINE. THE REMAINDER OF THE PROPERTY IS NOT UNDER CONTROL OF THE PROJECT OWNER (I.E., OUTSIDE THE LEASEHOLD) AND WILL REMAIN IN THE CONTROL OF THE PROPERTY OWNER; MOST LIKELY TO CONTINUE TO BE FARMED.

GRADING NOTES:

- ALL NOTES HEREIN RELATED TO GRADING ARE FOR INSTALLATION OF THE ACCESS ROAD AND PROPOSED UTILITIES. OTHERWISE NO GRADING IS REQUIRED FOR THIS SITE AND THE POST-DEVELOPMENT GRADES WILL REMAIN CONSISTENT WITH THE PRE-CONSTRUCTION GRADES.
- WORK RELATED TO ROAD CONSTRUCTION, SITE PREPARATION, AND GRAVEL INSTALLATION, AS SHOWN ON THIS PLAN, SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATION AND STATE OR LOCAL STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL NOT PERFORM WORK OUTSIDE OF THE LIMITS OF DISTURBANCE EXCEPT AS REQUIRED BY THIS PLAN.
- EXCAVATED MATERIAL (NON-HAZARDOUS OR NON-CONTAMINATED) MAY BE TEMPORARILY STOCKPILED IN AREAS DESIGNATED BY OWNER. TOPSOIL TO BE STOCKPILED SEPARATELY. EXCESS EXCAVATED MATERIAL CAN BE SPREAD ONSITE. CATWALK THE SPREAD MATERIAL USING DIRECTIONAL TRACKING PRACTICES, APPLY TOPSOIL, AND VEGETATE AREAS IN ACCORDANCE WITH THE EROSION AND SEDIMENTATION CONTROL PLAN.
- EXCESS MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH REGULATORY AUTHORITIES. CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND STATE AUTHORITIES OF LOCATION OF DISPOSAL BEFORE MATERIAL IS REMOVED.
- A DISPOSAL SITE FOR EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OWNER.
- FILL MATERIAL SHALL NOT CONTAIN DELETERIOUS MATERIALS OR ORGANIC MATTER. FROZEN AND FROST HEAVED SOIL IS NOT SUITABLE FOR FILL. NO ROCK OR IRREDUCIBLE MATERIAL WITH A MINIMUM DIMENSION GREATER THAN 2 INCHES SHALL BE BURIED OR PLACED AS FILL UNLESS SPECIFIED OTHERWISE.
- CONDUCT EARTHWORK OPERATIONS ONLY IN AREA REQUIRED FOR IMMEDIATE CONSTRUCTION ACTIVITY AND THEN ONLY IF SEDIMENT CONTROL DEVICES ARE IN PLACE. MASS CLEARING AND GRADING OF THE SITE SHALL BE AVOIDED.
- IN AREAS BELOW FOUNDATIONS SUPPORTED ON SOIL, SOIL/FILL SHOULD BE COMPACTED TO 95% OF THE MAXIMUM DRY UNIT WEIGHT DETERMINED BY THE STANDARD PROCTOR TEST AT A MOISTURE CONTENT WITHIN 2% OF THE OPTIMUM

- PRIOR TO PROOF ROLLING, COMPACT SURFACE WITH A SMOOTH-DRUM COMPACTOR IMMEDIATELY PRIOR TO PROOF ROLLING TO ENSURE THE SURFACE IS FREE OF TRACKS, RUTS, AND RIDGED MATERIAL TO PREVENT FALSE READINGS. PROVIDE DOCUMENTATION OF THE WEIGHT OF THE LOADED TRUCK TO THE ENGINEER. PROOF ROLLING SHALL BE PERFORMED IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER OR QUALIFIED GEOTECHNICAL REPRESENTATIVE USING A FULLY LOADED TANDEM AXLE DUMP TRUCK WITH A MINIMUM GROSS WEIGHT OF 25 TONS OR A FULLY LOADED WATER TRUCK WITH AN EQUIVALENT AXLE LOADING. PROOF ROLLING SHOULD BE CONDUCTED IN A MANNER SUCH THAT AFTER THE FIRST PASS SUBSEQUENT PASSES WILL HAVE ONE WHEEL CENTERED BETWEEN THE WHEEL PATHS OF THE PREVIOUS PASS, UNTIL THE ENTIRE SURFACE OF THE PROOF ROLL AREA IS TESTED. PROOF ROLLING ACCEPTANCE STANDARDS INCLUDE NO RUTTING GREATER THAN TWO INCHES, AND NO DEFLECTIONS (PUMPING) BEHIND THE LOADED TRUCK.
- THESE RECOMMENDATIONS SHALL BE SUBJECT TO REINTERPRETATION FOLLOW RECEIPT OF GEOTECHNICAL INVESTIGATION REPORT.

REQUIREMENTS:

COMPACTED SUBGRADE:

- THE ENTIRE ACCESS DRIVE SUBGRADE SHALL BE PROOF-ROLLED PRIOR TO THE PLACEMENT OF THE GEOTEXTILE AND AGGREGATE TO IDENTIFY AREAS OF UNSTABLE SUBGRADE. IF UNSTABLE SUBGRADE IS ENCOUNTERED SCARIFY, MOISTURE CONDITION, AND RECOMPACT SOILS TO ACHIEVE COMPACTION.

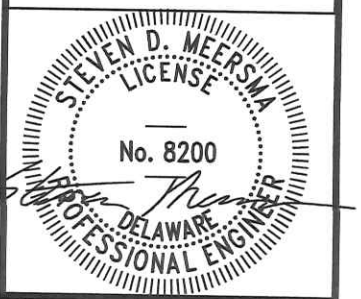
AGGREGATE BASE AND SUBBASE:

- AGGREGATE BASE SHALL BE PROOF ROLLED OVER THE ENTIRE LENGTH. IF PROOF ROLLING DETERMINES THAT THE DRIVE IS UNSTABLE, ADDITIONAL AGGREGATE SHALL BE ADDED UNTIL THE UNSTABLE SECTION IS ABLE TO PASS A PROOF ROLL.
- PROVIDE SIEVE ANALYSIS PER 2,000 CUBIC YARDS OF AGGREGATE PLACED.

1430 Broadway
10th Floor
New York, NY 10018
Phone: 212.121.7822



TRC Project No.: 376627.0000.0000



Revisions:	
No.	Date:

Drawn by:
AR

Design by:
AR

Checked by:
SM

BROOM SOLAR PARTNERS, LLC
D/B/A INDIAN RIVER SOLAR FARM
INDIAN RIVER SOLAR FARM F/K/A BROOM SOLAR
ADJACENT TO 32419 FRANKFORD SCHOOL ROAD
FRANKFORD, DELAWARE 19845

Contract No:
376627

Scale:
AS NOTED

Date:
JUNE 2022

Sheet:
NOTES

Drawing No:
C-2.0

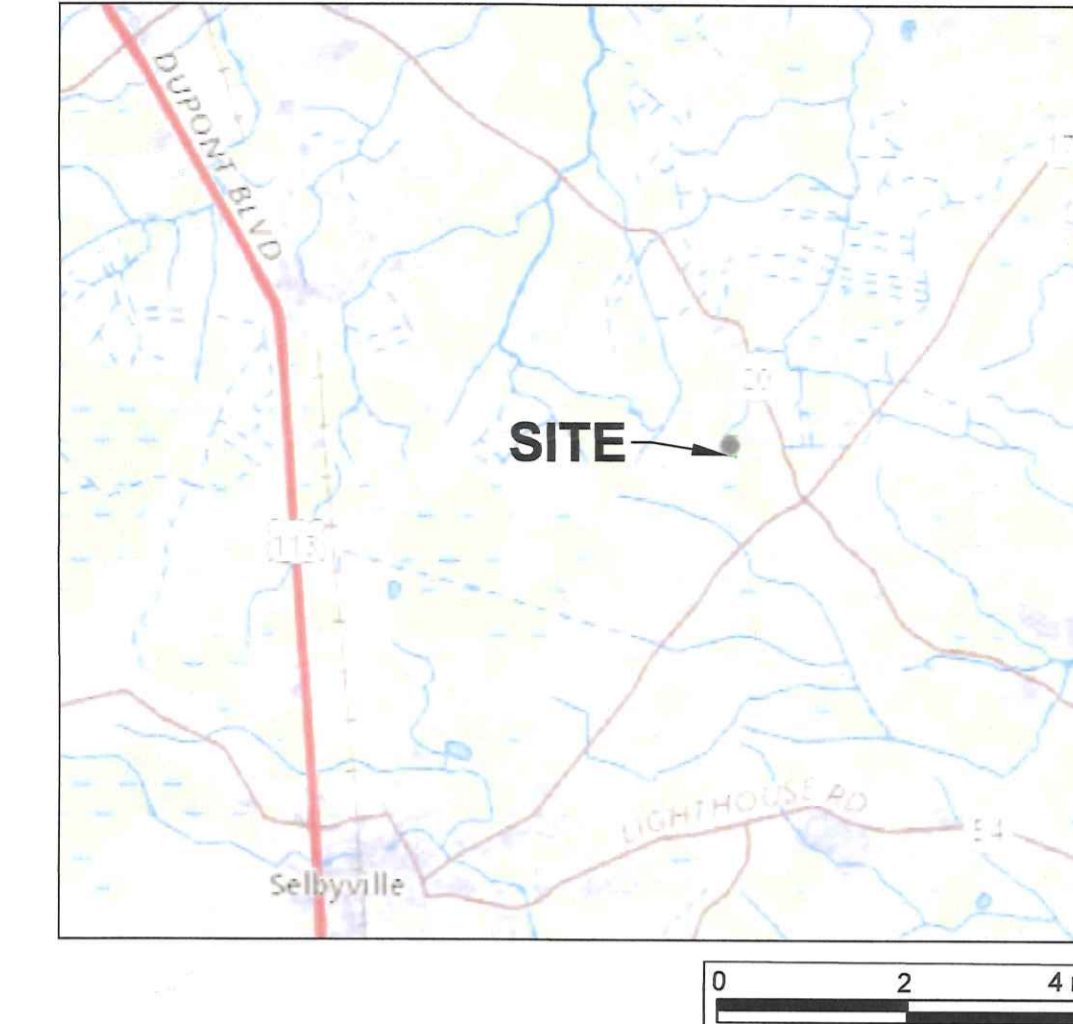


ISSUED FOR PRELIMINARY SITE PLAN APPROVAL.
NOT FOR CONSTRUCTION.

**Know what's below.
Call before you dig.**



SITE LOCATION



LEGEND

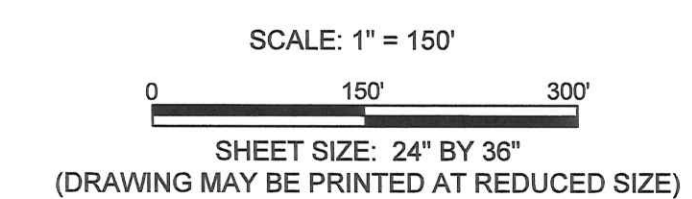
SYMBOL	DESCRIPTION
	EXISTING PROPERTY LINE
	APPROXIMATE EXISTING ABUTTER PROPERTY LINE
	TAX DITCH RIGHT-OF-WAY LIMIT
	YARD SETBACK LINE
	EXISTING MAJOR CONTOUR (FEET)
	EXISTING MINOR CONTOUR (FEET)
	WATERWAY/DITCH FLOWLINE

NOTES

1. THE PROJECT HORIZONTAL COORDINATES SYSTEM IS BASED ON NAD83 DELAWARE STATE PLANE (US SURVEY FEET). ELEVATIONS ARE BASED ON NAVD88 (US SURVEY FEET).
2. ADJOINING PROPERTY OWNER INFORMATION SHOWN ARE FROM SUSSEX COUNTY GIS PORTAL ([HTTPS://MAPS.SUSSEXCOUNTYPE.GOV/PZAPPLICATIONS/MAP.HTML](https://maps.sussexcountype.gov/pzapplications/map.html)).
3. SITE IS NOT LOCATED IN A 100-YEAR OR 500-YEAR FLOOD PLAIN (REFERENCE FLOOD INSURANCE RATE MAP).
4. EXISTING UTILITIES ARE APPROXIMATE AND SHOULD BE VERIFIED BY CONTRACTOR. DIG SAFELY DELAWARE (811) SHALL BE NOTIFIED A MINIMUM OF 72-HOURS PRIOR TO COMMENCING ANY EXCAVATION.
5. THIS IS A PRELIMINARY DESIGN PLAN PROVIDED FOR PERMITTING ONLY. FINAL DESIGN SHALL BE MODIFIED TO SUPPORT CONSTRUCTION, MATCH FINAL ELECTRICAL INTERCONNECTION STUDIES, EQUIPMENT PURCHASED, AND POSSIBLE PERMIT CONSTRAINTS REVEALED DURING PROJECT'S REVIEW.
6. THE VICINITY MAP IMAGE IS FROM THE UNITED STATES GEOLOGICAL SURVEY 7.5 MINUTE FRANKFORD AND SELBYVILLE TOPOGRAPHIC QUADRANGLES.
7. THE 1-FOOT TOPOGRAPHY AND PROPERTY BOUNDARY SHOWN ON THESE DRAWINGS WERE PROVIDED TO TRC BY GREENMAN-PEDERSEN, INC. ON JANUARY 19, 2022.

ADJOINING PROPERTY OWNER INFORMATION TABLE		
NUMBER	PROPERTY OWNER	TAX ID #
1	DAVIDSON GORDON C TTEE	533-5.00-46.00
2	PYLE EDWARD W CENTER	533-5.00-58.00
3	LYNCH ADAM	533-5.00-57.00
4	LYNCH MARY GRACE	533-5.00-56.02
5	LYNCH MICHAEL W	533-5.00-56.01
6	OWENS FRANCES	533-5.00-55.01
7	ENNIS N MICHAEL LISA E EVANS	533-5.00-55.00
8	ESHAM MICHAEL	533-5.00-48.00
9	KEISER CARVEL	533-5.00-49.03
10	PARKER FAMILY LIMITED PARTNERSHIP	533-5.00-85.00
11	MEIKLEJOHN JERRY TTEE REV TR	533-5.00-86.00
12	BUNDICK SIDNEY R	533-5.00-86.02

ISSUED FOR PRELIMINARY
SITE PLAN APPROVAL.
NOT FOR CONSTRUCTION.



Revisions:

No.	Date

Drawn by:
EK, CV, AR

Design by:
CG

Checked by:
SM

BROOM SOLAR PARTNERS, LLC
D/B/A INDIAN RIVER SOLAR FARM
INDIAN RIVER SOLAR FARM F/K/A BROOM SOLAR
ADJACENT TO 32419 FRANKFORD SCHOOL ROAD
FRANKFORD, DELAWARE 19945

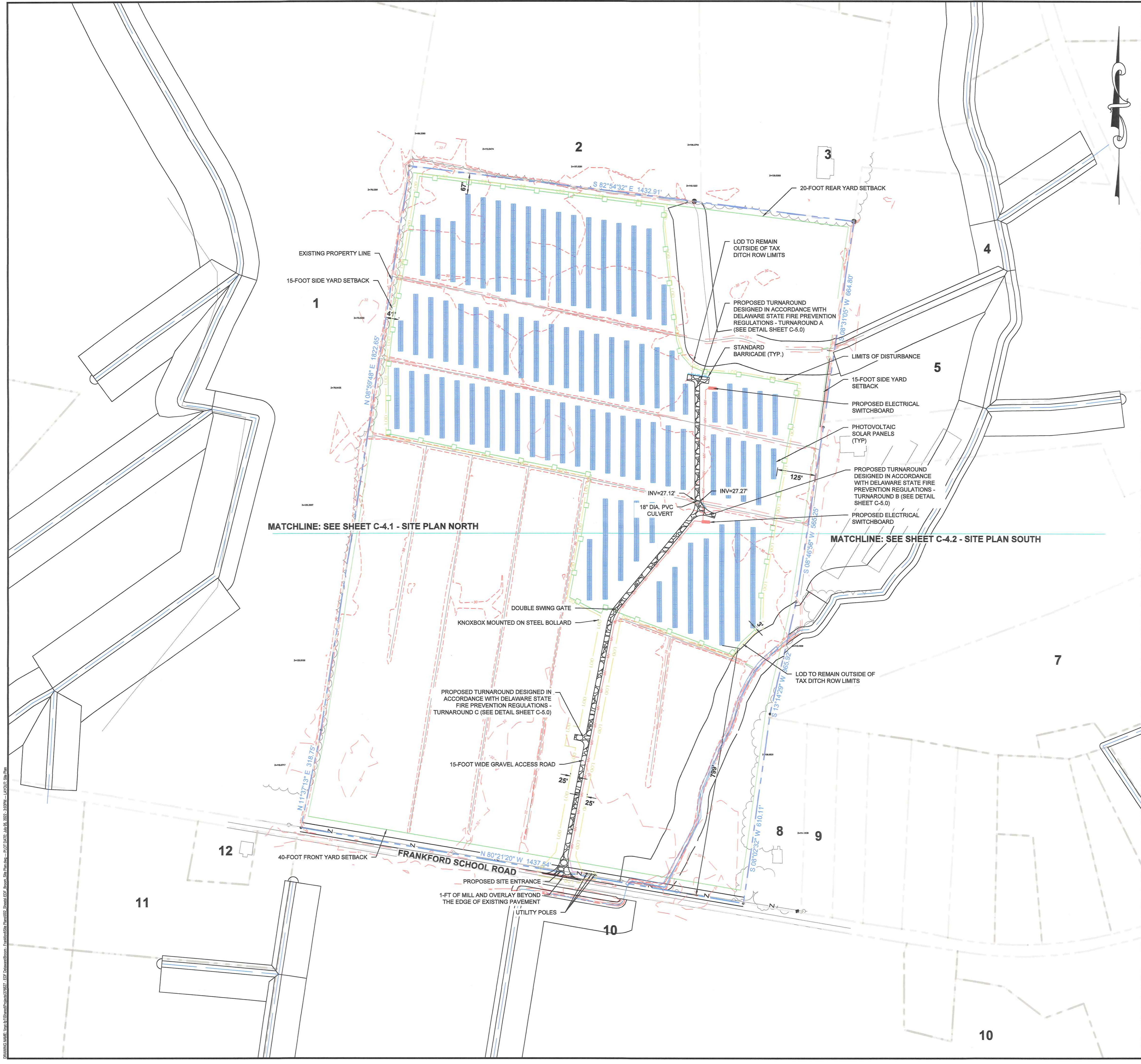
Contract No:
376627

Scale:
AS NOTED

Date:
JUNE 2022

Sheet:
EXISTING CONDITIONS

Drawing No:
C-3.0



PROJECT SUMMARY		
ARRAY TYPE	SAT	
ARRAY ORIENTATION (°)	180	
PV MODULE MANUFACTURER	PV MODULE 1	PV MODULE 2
PV MODULE MODEL	CS3W-44S-MB-AG	CS3W-400-PB-AG
PV MODULE WATTAGE (W)	445	400
PV MODULE QUANTITY	6,966	2,322
PV MODULES PER STRING	27	
PV MODULES PER TRACKER / TABLE	54 / 72	
TRACKER / TABLE QUANTITY	168 / 12	
TRACKER PITCH / TABLE ROW SPACING (FT)	48.27	
	INVERTER 1	INVERTER 2
INVERTER MANUFACTURER	CHINT POWER SYSTEMS	
INVERTER MODEL	SCH125KTL-DO/US-600	
INVERTER RATING (KWAC)	125	
INVERTER QUANTITY	24	
TOTAL PV MODULE CAPACITY (KWDC)	4,028.67	
TOTAL INVERTER CAPACITY (KWAC)	3,000	
AREA WITHIN FENCE (ACRES)	26.87	
LENGTH OF FENCE (FT)	5,033	
LENGTH OF ACCESS DRIVE (FT)	1,710	

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING PROPERTY LINE
- - - -	APPROXIMATE EXISTING BUTTER PROPERTY LINE
---	PROPOSED PROJECT FENCE
---	PROPOSED GRAVEL ACCESS DRIVEWAY
MV - MV	PROPOSED MEDIUM VOLTAGE CIRCUIT
OE	PROPOSED OVERHEAD LINE
⊙	PROPOSED OVERHEAD POLES
---	EXISTING MAJOR CONTOUR (FEET)
---	EXISTING MINOR CONTOUR (FEET)
---	TAX DITCH RIGHT-OF-WAY LIMIT
---	LIMITS OF DISTURBANCE

- NOTES**
- AREAS OUTSIDE PROPOSED FENCE TO REMAIN AS OPEN SPACE.
 - ADJOINING PROPERTY OWNER INFORMATION SHOWN ARE FROM SUSSEX COUNTY GIS PORTAL. ([HTTPS://MAPS.SUSSEXCOUNTYPE.GOV/ZAPPLICATIONS/MAP.HTML](https://maps.sussexcountype.gov/zapplications/map.html))
 - SITE IS NOT LOCATED IN A 100-YEAR OR 500-YEAR FLOOD PLAN.
 - EXISTING UTILITIES ARE APPROXIMATE AND SHOULD BE VERIFIED BY CONTRACTOR. DIG SAFELY DELAWARE (811) SHALL BE NOTIFIED A MINIMUM OF 72-HOURS PRIOR TO COMMENCING ANY EXCAVATION.
 - THIS IS A PRELIMINARY DESIGN PLAN PROVIDED FOR PERMITTING ONLY. FINAL DESIGN SHALL BE MODIFIED TO SUPPORT CONSTRUCTION, MATCH FINAL ELECTRICAL INTERCONNECTION STUDIES, EQUIPMENT PURCHASED, AND POSSIBLE PERMIT CONSTRAINTS REVEALED DURING PROJECT'S REVIEW.
 - NO SOURCE OF WATER IS AVAILABLE AT THE SITE OR IMMEDIATE AREA TO SUPPORT FIRE FIGHTING.
 - NO BUILDINGS ARE EXISTING OR PROPOSED.
 - THE 1-FOOT TOPOGRAPHY AND PROPERTY BOUNDARY SHOWN ON THESE DRAWINGS WERE PROVIDED TO TRC BY GREENMAN-PEDERSEN, INC. ON JANUARY 19, 2022.
 - NET DEVELOPMENT AREA (AREA WITHIN THE FENCE LINE) TO BE 1,170,460 SQ.-FT. OR 26.87 AC. AREA UNDER PANELS TO BE 5.46 AC. ACCESS ROAD AREA TO BE 0.71 AC.
 - APPLICANT: BROOM SOLAR PARTNERS LLC (EDF RENEWABLES)
JEFF MACHIRAN
6940 COLUMBIA GATEWAY DRIVE, SUITE 400
COLUMBIA, MD 21046
OWNER: WILGUS FAMILY REVOCABLE TRUST
ROBERT E. WILGUS, JR.
34108 WILGUS CEMETERY ROAD
FRANKFORD, DE 19945

ZONING CONFORMANCE TABLE		
Zoning Code Description	Zoning Code Requirement	Proposed Project
Zoning Designation	Agricultural Residential -1	Agricultural Residential -1
Minimum Lot Area	10,000 square feet	3,043,621 square feet
Minimum Lot Width	150 feet	1,383 feet
Minimum Lot Depth	100 feet	2,127 feet
Maximum Building Height	42 feet	Not Applicable (Equipment height not more than 12 feet)
Front Yard Depth	40 feet	799 feet
Side Yard Depth	10 feet	41 feet
Rear Yard Depth	10 feet	67 feet

CONDITIONS OF CONDITIONAL USE APPROVAL BY SUSSEX COUNTY COUNCIL ORDINANCE NO. 2841 DATED MARCH 22, 2022	
CONDITION	RESOLUTION
A. No storage facilities shall be constructed on the site.	No storage facilities are proposed.
B. Lighting on the facility shall only consist of perimeter lighting needed for security purposes. All lighting shall be downward screened so that it does not shine on neighboring properties or roadways.	No lighting is proposed.
C. One unlighted sign, not to exceed 32 square feet in size, shall be permitted.	No sign is proposed.
D. The site shall be secured by fencing with a gate with a "Knox Box" or similar device to accommodate emergency access by the local fire company or other emergency responders. The fence line shall be shown on the Final Site Plan.	See Site Plan for location of "Knox Box" and fence. See "Knox Box" and fence details on Drawing No. C-5.0.
E. Any transformers or similar equipment shall be centrally located on the site away from any nearby residential uses.	See Site Plan for location.
F. All of the grounds, including the area outside of the fence, shall be maintained so that they do not become overgrown.	Project owner to maintain vegetation to approximately 5 feet outside the proposed perimeter fencing. The remainder of the property is not under the control of the project owner (i.e. outside the leasehold) and will remain in the control of the property owner, most likely to continue to be farmed.
G. The Final Site Plan shall be subject to the review and approval of the Sussex County Planning and Zoning	Acknowledged.

ISSUED FOR PRELIMINARY SITE PLAN APPROVAL. NOT FOR CONSTRUCTION.

SCALE: 1" = 150'
0 150' 300'
SHEET SIZE: 24" BY 36"
(DRAWING MAY BE PRINTED AT REDUCED SIZE)

1430 Broadway
10th Floor
New York, NY 10018
Phone: 212.221.7822

TRC

edf renewables

STEPHEN D. MEEHAN
Professional Engineer
No. 8200

Revisions:
No. Date:
1 07/05/2022

Drawn by:
EK, CV, AR

Design by:
CG

Checked by:
SM

BROOM SOLAR PARTNERS, LLC
D/B/A INDIAN RIVER SOLAR FARM
INDIAN RIVER SOLAR FARM F/K/A BROOM SOLAR
ADJACENT TO 32419 FRANKFORD SCHOOL ROAD
FRANKFORD, DELAWARE 19945

Contract No:
376627

Scale:
AS NOTED

Date:
JUNE 2022

Sheet:
SITE PLAN

Drawing No:
C-4.0



PROJECT SUMMARY		
ARRAY TYPE	SAT	
ARRAY ORIENTATION (°)	180	
	PV MODULE 1	PV MODULE 2
PV MODULE MANUFACTURER	CANADIAN SOLAR	
PV MODULE MODEL	CS3W-445-MB-AG	CS3W-400-PB-AG
PV MODULE WATTAGE (W)	445	400
PV MODULE QUANTITY	6,966	2,322
PV MODULES PER STRING	27	
PV MODULES PER TRACKER / TABLE	54 / 72	
TRACKER / TABLE QUANTITY	168 / 12	
TRACKER PITCH / TABLE ROW SPACING (FT)	48.27	
	INVERTER 1	INVERTER 2
INVERTER MANUFACTURER	CHINT POWER SYSTEMS	
INVERTER MODEL	SCH125KTL-DOJUS-600	
INVERTER RATING (kWAC)	125	
INVERTER QUANTITY	24	
TOTAL PV MODULE CAPACITY (kWDC)	4,028.67	
TOTAL INVERTER CAPACITY (kWAC)	3,000	
AREA WITHIN FENCE (ACRES)	26.87	
LENGTH OF FENCE (FT)	5,033	
LENGTH OF ACCESS DRIVE (FT)	1,710	

SYMBOL	DESCRIPTION
---	EXISTING PROPERTY LINE
- - - -	APPROXIMATE EXISTING ABUTTER PROPERTY LINE
---	PROPOSED PROJECT FENCE
---	PROPOSED GRAVEL ACCESS DRIVEWAY
MV	PROPOSED MEDIUM VOLTAGE CIRCUIT
OE	PROPOSED OVERHEAD LINE
⊗	PROPOSED OVERHEAD POLES
---	EXISTING MAJOR CONTOUR (FEET)
---	EXISTING MINOR CONTOUR (FEET)
---	TAX DITCH RIGHT-OF-WAY LIMIT
LDD	LIMITS OF DISTURBANCE

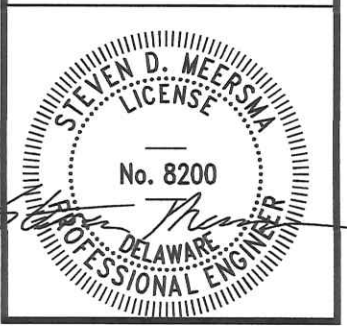
ZONING CONFORMANCE TABLE		
Zoning Code Description	Zoning Code Requirement	Proposed Project
Zoning Designation	Agricultural Residential -1	Agricultural Residential -1
Minimum Lot Area	10,000 square feet	3,043,621 square feet
Minimum Lot Width	150 feet	1,383 feet
Minimum Lot Depth	100 feet	2127 feet
Maximum Building Height	42 feet	Not Applicable (Equipment height not more than 12 feet)
Front Yard Depth	40 feet	799 feet
Side Yard Depth	10 feet	41 feet
Rear Yard Depth	10 feet	67 feet

- NOTES**
- AREAS OUTSIDE PROPOSED FENCE TO REMAIN AS OPEN SPACE.
 - ADJOINING PROPERTY OWNER INFORMATION SHOWN ARE FROM SUSSEX COUNTY GIS PORTAL. (HTTPS://MAPS.SUSSEXCOUNTYDE.GOV/PZAPPLICATIONSMAP.HTML)
 - SITE IS NOT LOCATED IN A 100-YEAR OR 500-YEAR FLOOD PLAIN.
 - EXISTING UTILITIES ARE APPROXIMATE AND SHOULD BE VERIFIED BY CONTRACTOR. DIG SAFELY DELAWARE (811) SHALL BE NOTIFIED A MINIMUM OF 72-HOURS PRIOR TO COMMENCING ANY EXCAVATION.
 - THIS IS A PRELIMINARY DESIGN PLAN PROVIDED FOR PERMITTING ONLY. FINAL DESIGN SHALL BE MODIFIED TO SUPPORT CONSTRUCTION, MATCH FINAL ELECTRICAL INTERCONNECTION STUDIES, EQUIPMENT PURCHASED, AND POSSIBLE PERMIT CONSTRAINTS REVEALED DURING PROJECTS REVIEW.
 - NO SOURCE OF WATER IS AVAILABLE AT THE SITE OR IMMEDIATE AREA TO SUPPORT FIRE FIGHTING.
 - NO BUILDINGS ARE EXISTING OR PROPOSED.
 - THE 1-FOOT TOPOGRAPHY AND PROPERTY BOUNDARY SHOWN ON THESE DRAWINGS WERE PROVIDED TO TRC BY GREENMAN-PEDERSEN, INC. ON JANUARY 19, 2022.
 - NET DEVELOPMENT AREA (AREA WITHIN THE FENCE LINE TO BE 1,170,460 SQ.-FT. OR 26.87 AC. AREA UNDER PANELS TO BE 5.46 AC. ACCESS ROAD AREA TO BE 0.71 AC.
 - APPLICANT: BROOM SOLAR PARTNERS LLC (EDF RENEWABLES)
JEFF MACHIRAN
6940 COLUMBIA GATEWAY DRIVE, SUITE 400
COLUMBIA, MD 21046
OWNER: WILGUS FAMILY REVOCABLE TRUST
ROBERT E. WILGUS, JR.
34108 WILGUS CEMETERY ROAD
FRANKFORD, DE 19945

ISSUED FOR PRELIMINARY SITE PLAN APPROVAL.
NOT FOR CONSTRUCTION.

SCALE: 1" = 80'
SHEET SIZE: 24" BY 36"
(DRAWING MAY BE PRINTED AT REDUCED SIZE)

1430 Broadway
10th Floor
New York, NY 10018
Phone: 212.221.7622



Revisions:	
No.	Date:

Drawn by:
EK, CV, AR

Design by:
CG

Checked by:
SM

BROOM SOLAR PARTNERS, LLC
D/B/A INDIAN RIVER SOLAR FARM
INDIAN RIVER SOLAR FARM F/K/A BROOM SOLAR
ADJACENT TO 32419 FRANKFORD SCHOOL ROAD
FRANKFORD, DELAWARE 19945

Contract No:
376627

Scale:
AS NOTED

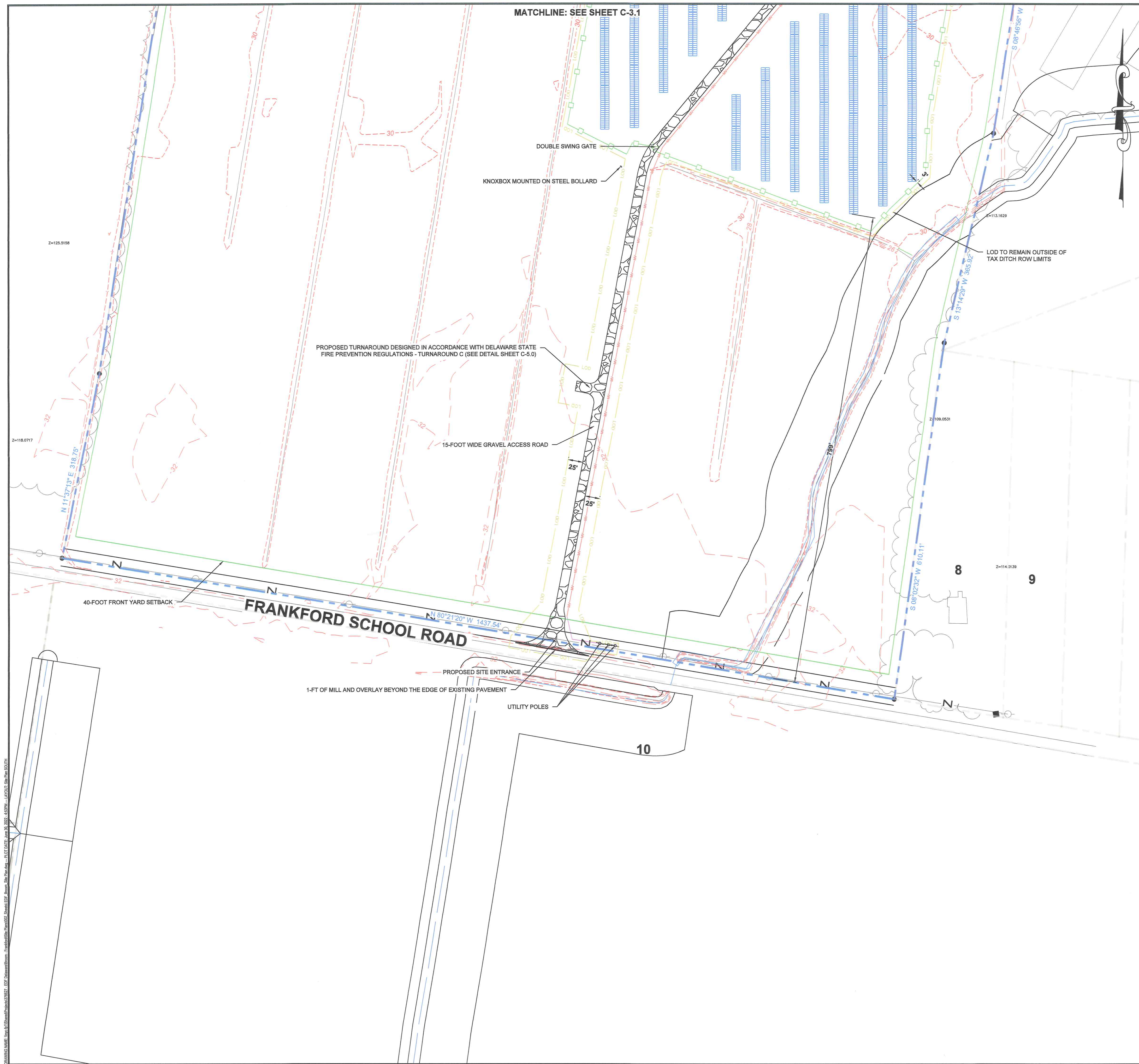
Date:
JUNE 2022

Sheet:
SITE PLAN NORTH

Drawing No:
C-4.1

20220601 14:00:00 1430 Broadway 10th Floor New York, NY 10018 Phone: 212.221.7622 TRC Project No. 376627.0000.0000

MATCHLINE: SEE SHEET C-3.2



PROJECT SUMMARY		
ARRAY TYPE	SAT	
ARRAY ORIENTATION (°)	180	
PV MODULE MANUFACTURER	PV MODULE 1	PV MODULE 2
	CANADIAN SOLAR	
PV MODULE MODEL	CS3W-445-MB-AG	CS3W-400-PB-AG
PV MODULE WATTAGE (W)	445	400
PV MODULE QUANTITY	6,966	2,322
PV MODULES PER STRING	27	
PV MODULES PER TRACKER / TABLE	54 / 72	
TRACKER / TABLE QUANTITY	168 / 12	
TRACKER PITCH / TABLE ROW SPACING (FT)	48.27	
	INVERTER 1	INVERTER 2
INVERTER MANUFACTURER	CHINT POWER SYSTEMS	
INVERTER MODEL	SCH125KTL-DO/US-600	
INVERTER RATING (KWAC)	125	
INVERTER QUANTITY	24	
TOTAL PV MODULE CAPACITY (KWDC)	4,028.67	
TOTAL INVERTER CAPACITY (KWAC)	3,000	
AREA WITHIN FENCE (ACRES)	26.87	
LENGTH OF FENCE (FT)	5,033	
LENGTH OF ACCESS DRIVE (FT)	1,710	

SYMBOL	DESCRIPTION
---	EXISTING PROPERTY LINE
- - - -	APPROXIMATE EXISTING ADJUTER PROPERTY LINE
---	PROPOSED PROJECT FENCE
---	PROPOSED GRAVEL ACCESS DRIVEWAY
MV --- MV	PROPOSED MEDIUM VOLTAGE CIRCUIT
OE ---	PROPOSED OVERHEAD LINE
⊙	PROPOSED OVERHEAD POLES
---	EXISTING MAJOR CONTOUR (FEET)
---	EXISTING MINOR CONTOUR (FEET)
---	TAX DITCH RIGHT-OF-WAY LIMIT
---	LIMITS OF DISTURBANCE

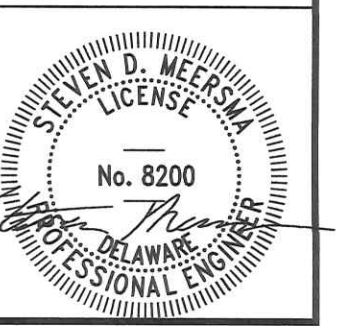
ZONING CONFORMANCE TABLE		
Zoning Code Description	Zoning Code Requirement	Proposed Project
Zoning Designation	Agricultural Residential -1	Agricultural Residential -1
Minimum Lot Area	10,000 square feet	3,043,621 square feet
Minimum Lot Width	150 feet	1,383 feet
Minimum Lot Depth	100 feet	2127 feet
Maximum Building Height	42 feet	Not Applicable (Equipment height not more than 12 feet)
Front Yard Depth	40 feet	799 feet
Side Yard Depth	10 feet	41 feet
Rear Yard Depth	10 feet	67 feet

- NOTES**
- AREAS OUTSIDE PROPOSED FENCE TO REMAIN AS OPEN SPACE.
 - ADJOINING PROPERTY OWNER INFORMATION SHOWN ARE FROM SUSSEX COUNTY GIS PORTAL (<https://maps.sussexcountypa.gov/zappplications/map.html>).
 - SITE IS NOT LOCATED IN A 100-YEAR OR 500-YEAR FLOOD PLAIN.
 - EXISTING UTILITIES ARE APPROXIMATE AND SHOULD BE VERIFIED BY CONTRACTOR. DIG SAFELY DELAWARE (81) SHALL BE NOTIFIED A MINIMUM OF 72-HOURS PRIOR TO COMMENCING ANY EXCAVATION.
 - THIS IS A PRELIMINARY DESIGN PLAN PROVIDED FOR PERMITTING ONLY. FINAL DESIGN SHALL BE MODIFIED TO SUPPORT CONSTRUCTION. MATCH FINAL ELECTRICAL INTERCONNECTION STUDIES, EQUIPMENT PURCHASED, AND POSSIBLE PERMIT CONSTRAINTS REVEALED DURING PROJECT'S REVIEW.
 - NO SOURCE OF WATER IS AVAILABLE AT THE SITE OR IMMEDIATE AREA TO SUPPORT FIRE FIGHTING.
 - NO BUILDINGS ARE EXISTING OR PROPOSED.
 - THE 1-FOOT TOPOGRAPHY AND PROPERTY BOUNDARY SHOWN ON THESE DRAWINGS WERE PROVIDED TO TRC BY GREENMAN-PEDERSEN, INC. ON JANUARY 19, 2022.
 - NET DEVELOPMENT AREA (AREA WITHIN THE FENCE LINE TO BE 1,170,460 SQ.-FT. OR 26.87 AC. AREA UNDER PANELS TO BE 5.46 AC. ACCESS ROAD AREA TO BE 0.71 AC.
 - APPLICANT: BROOM SOLAR PARTNERS LLC (EDF RENEWABLES)
JEFF MACHIRAN
6640 COLUMBIA GATEWAY DRIVE, SUITE 400
COLUMBIA, MD 21046
OWNER: WILGUS FAMILY REVOCABLE TRUST
ROBERT E. WILGUS, JR.
34108 WILGUS CEMETERY ROAD
FRANKFORD, DE 19945

ISSUED FOR PRELIMINARY SITE PLAN APPROVAL.
NOT FOR CONSTRUCTION.

SCALE: 1" = 80'
SHEET SIZE: 24" BY 36"
(DRAWING MAY BE PRINTED AT REDUCED SIZE)

1430 Broadway
10th Floor
New York, NY 10018
Phone: 212.212.7822



Revisions:	
No.	Date

Drawn by:
EK, CV, AR

Design by:
CG

Checked by:
SM

BROOM SOLAR PARTNERS, LLC
D/B/A INDIAN RIVER SOLAR FARM
INDIAN RIVER SOLAR FARM F/K/A BROOM SOLAR
ADJACENT TO 32419 FRANKFORD SCHOOL ROAD
FRANKFORD, DELAWARE 19945

Contract No:
376627

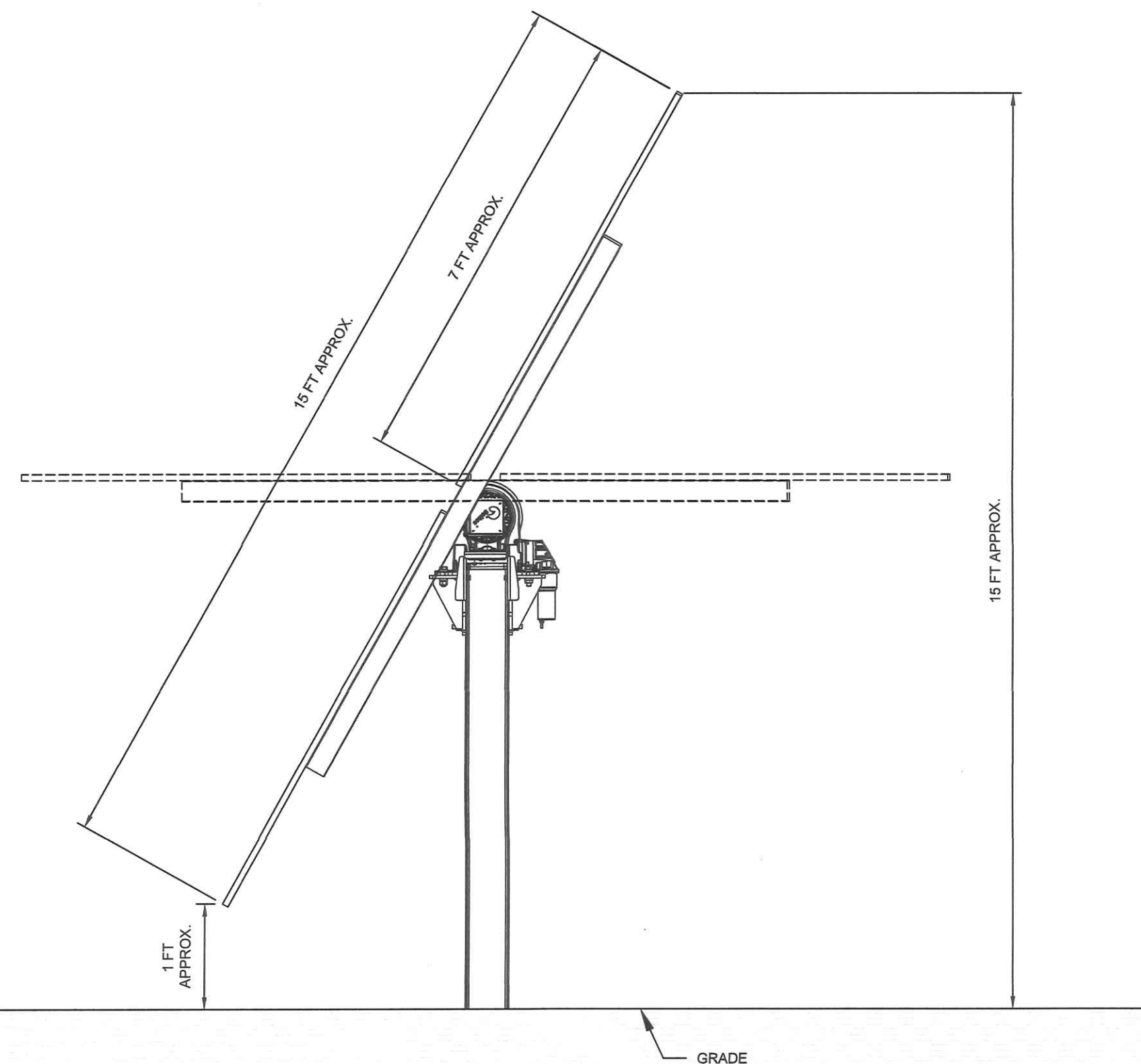
Scale:
AS NOTED

Date:
JUNE 2022

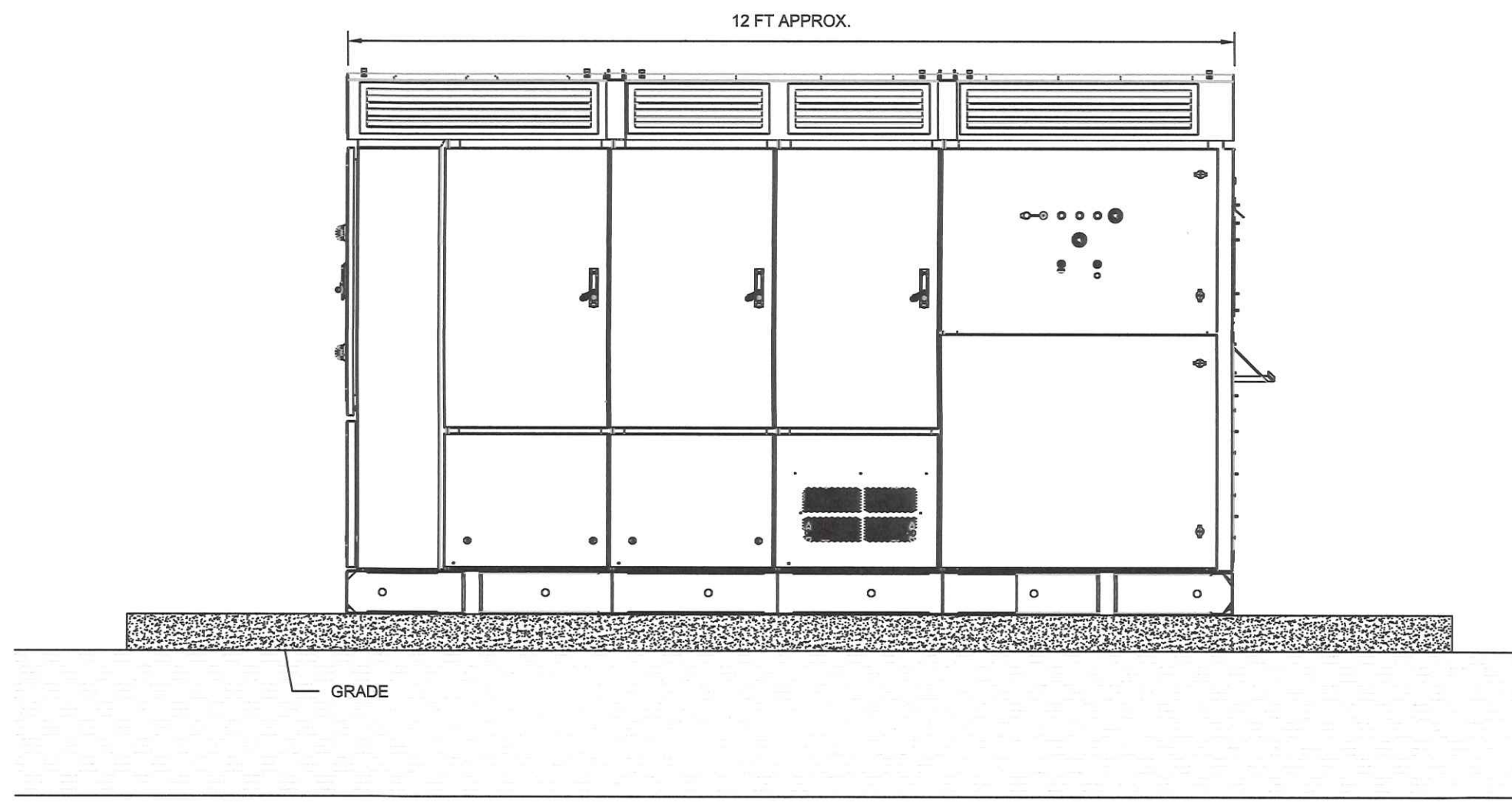
Sheet:
SITE PLAN SOUTH

Drawing No:
C-4.2

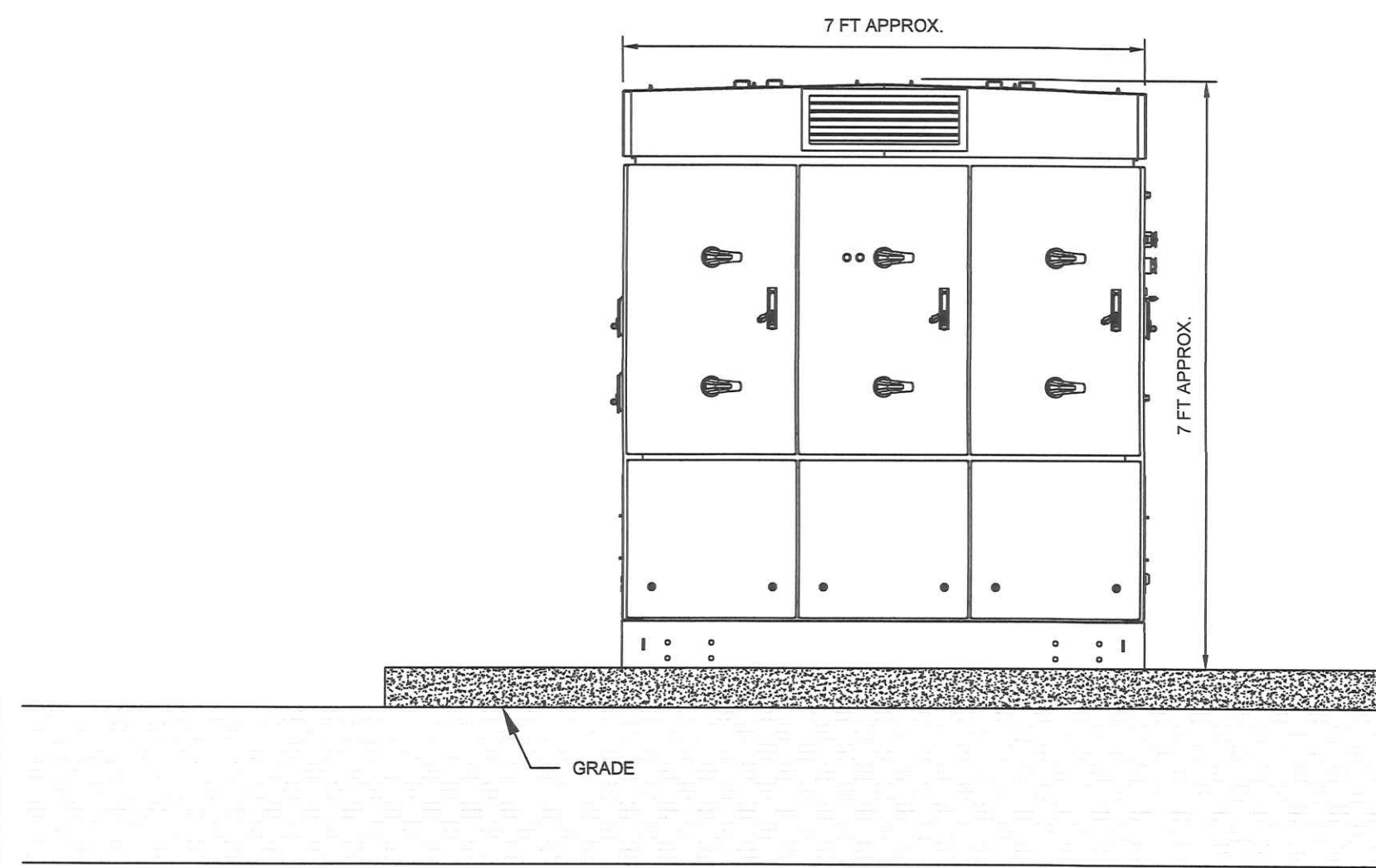
TRC Project No: 376627.0000.0000



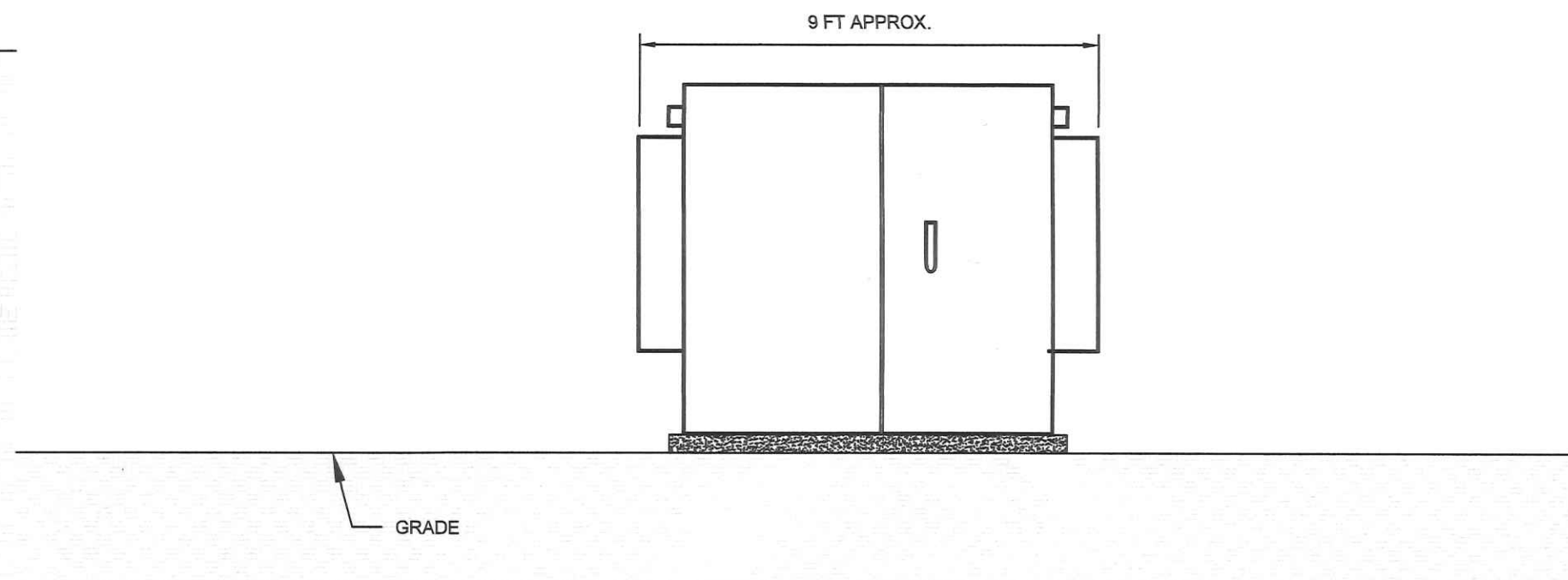
10 SINGLE AXIS TRACKER - SIDE
SCALE: 1" = 2'



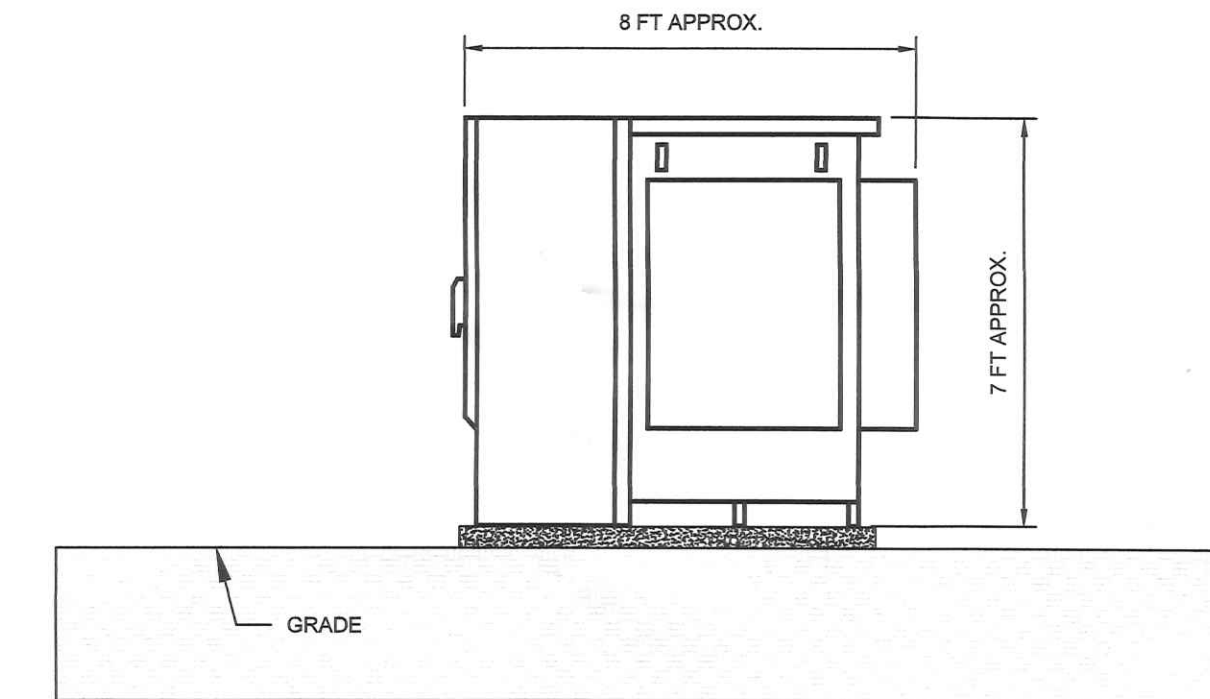
3 10 INVERTER - FRONT
SCALE: 1" = 2'



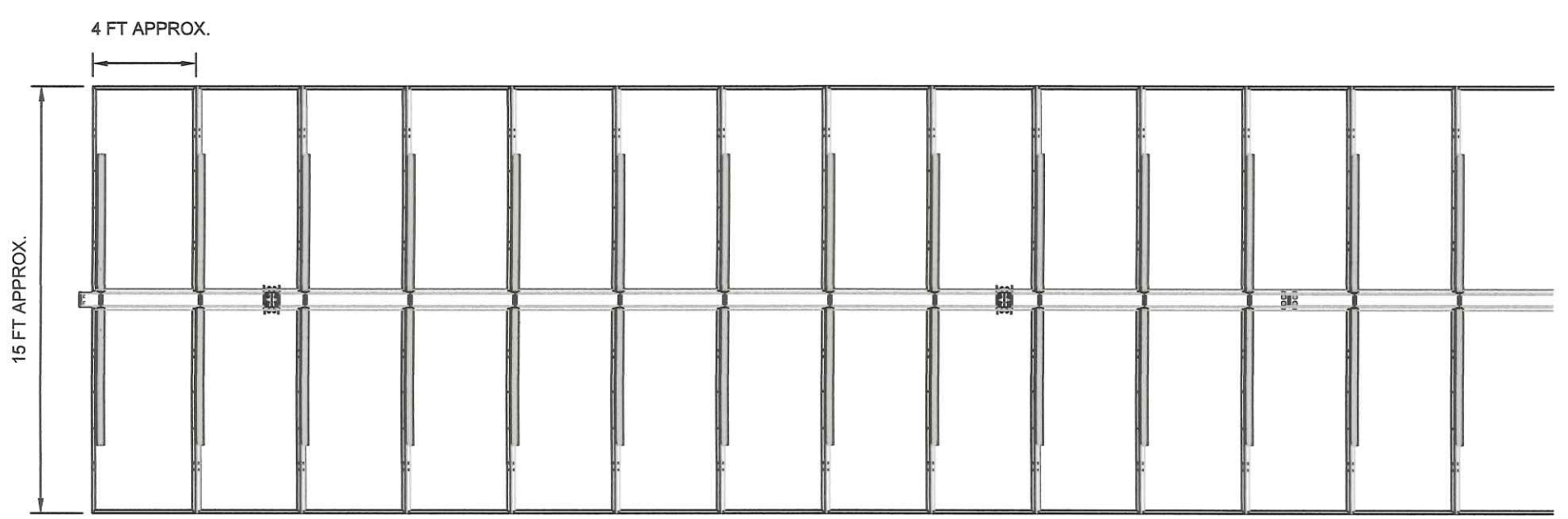
4 10 INVERTER - SIDE
SCALE: 1" = 2'



5 10 TRANSFORMER - FRONT
SCALE: 1" = 3'



6 10 TRANSFORMER - SIDE
SCALE: 1" = 3'



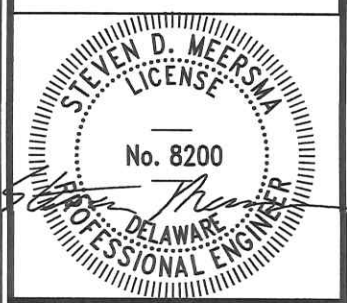
2 10 SINGLE AXIS TRACKER - TOP
SCALE: 1" = 5'

ISSUED FOR PRELIMINARY SITE
PLAN APPROVAL.
NOT FOR CONSTRUCTION.

1430 Broadway
10th Floor
New York, NY 10018
Phone: 212.221.7822



TRC Project No: 376627.0000.0000



Revisions:

No.	Date

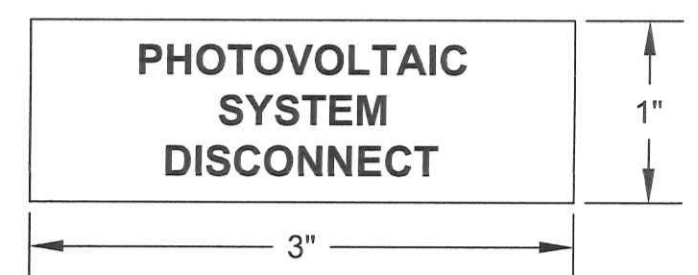
Drawn by:
AR
Design by:
AR
Checked by:
SM

BROOM SOLAR PARTNERS, LLC
D/B/A INDIAN RIVER SOLAR FARM
INDIAN RIVER SOLAR FARM F/K/A BROOM SOLAR
ADJACENT TO 32419 FRANKFORD SCHOOL ROAD
FRANKFORD, DELAWARE 19945

Contract No:
376627
Scale:
AS NOTED
Date:
JUNE 2022
Sheet:
DETAILS
Drawing No:
C-6.0

AC DISCONNECT / BREAKER / POINTS OF CONNECTION

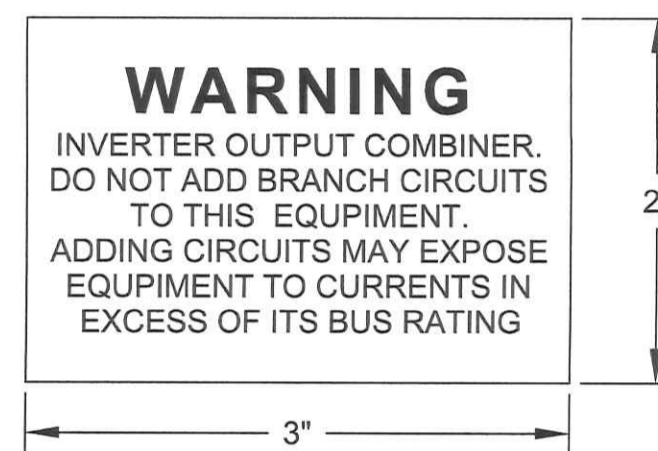
Placard P1-AC QTY. 1



690.14(C)(2) - Additional provisions, requirements for disconnecting means, marking. Each photovoltaic system disconnecting means shall be permanently marked to identify it as a photovoltaic system disconnect.

Apply to Main AC disconnecting means on switchboard.

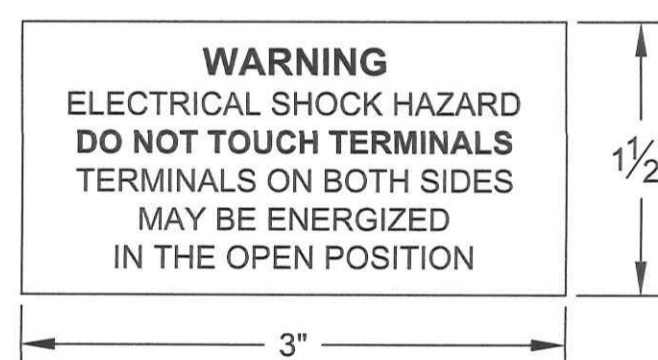
Placard P2 - AC QTY. 8



Not specifically required by NEC. Good practice to make clear that inverter output combiner panels are not to be used to supply branch circuits.

Apply to All AC panel boards.

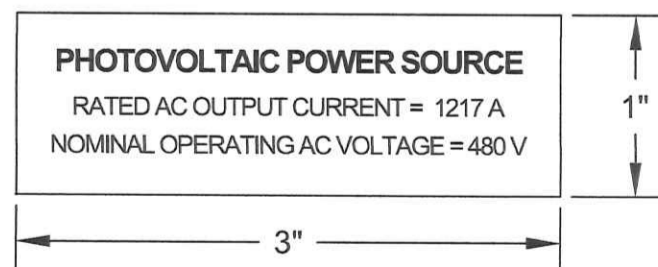
Placard P3 - AC QTY. 9



690.17 - Switch or circuit breaker. Where all terminals of the disconnecting means may be energized in the open position, a warning sign shall be mounted on or adjacent to the disconnecting means.

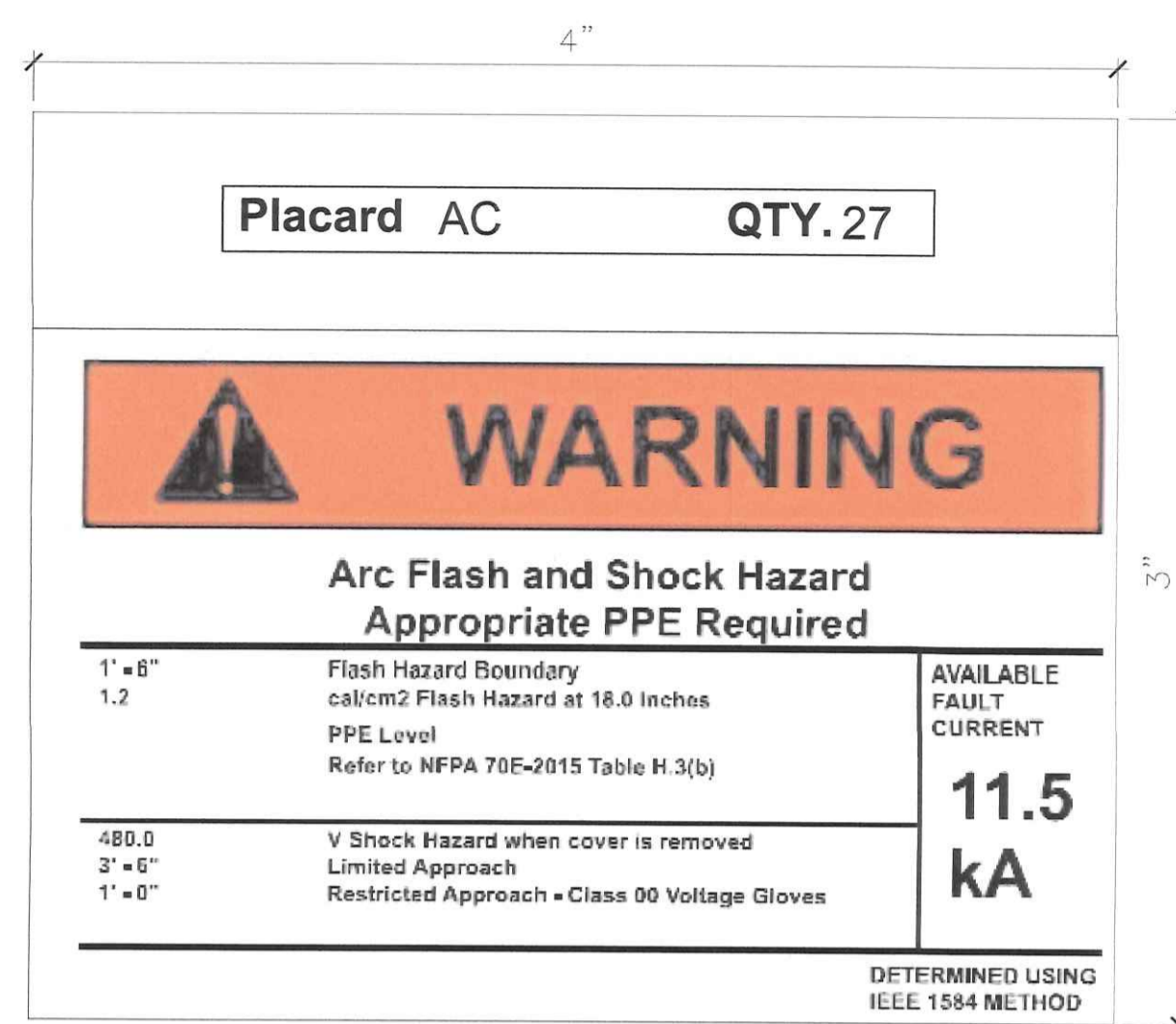
Apply to all AC panel boards and switchboards.

Placard P4 - AC QTY. 1



690.54 - Interactive system point of interconnection. All interactive system(s) points of interconnection with other sources shall be marked at an accessible location at the disconnecting means as a power source and with the rated AC output current and the nominal operating AC voltage.

Apply to the main disconnecting means at switchboard.

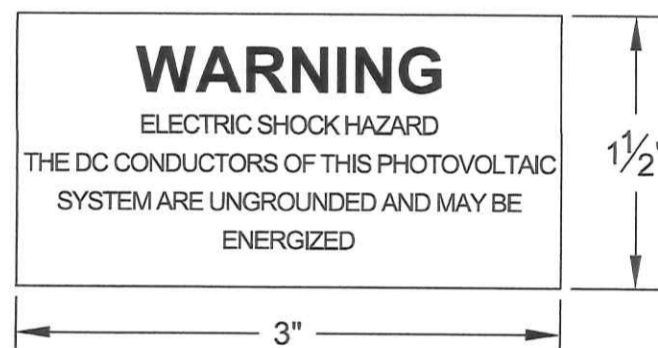


Apply to each inverter, each panel board, the switchboard, and to MPZ load center.

(ABOVE LABEL IS AN EXAMPLE OF ARC FLASH LABELS. THE ACTUAL LABELS WILL BE SPECIFIED AND PROVIDED BY THE EOR)

GROUND FAULT

Placard P1-GF QTY. 17

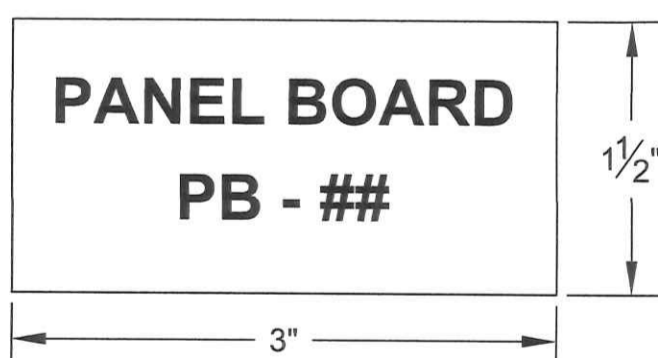


690.5(C) - Ground fault protection, labels and markings. A warning label shall appear on the utility-interactive inverter or be applied by the installer near the ground-fault indicator at a visible location.

Apply to each inverter.

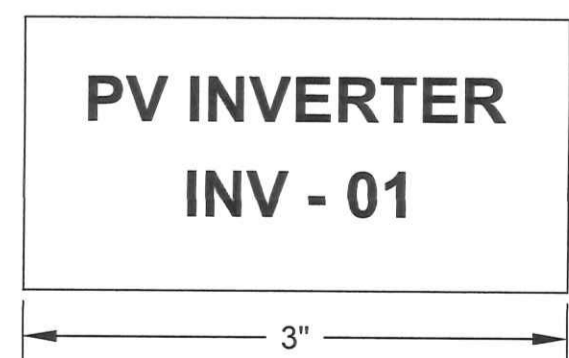
EQUIPMENT LABELS

Placard EQ-PB QTY. 16



AC COMBINER BOX LABEL
Apply to each AC panelboard and at each breaker in switchboard

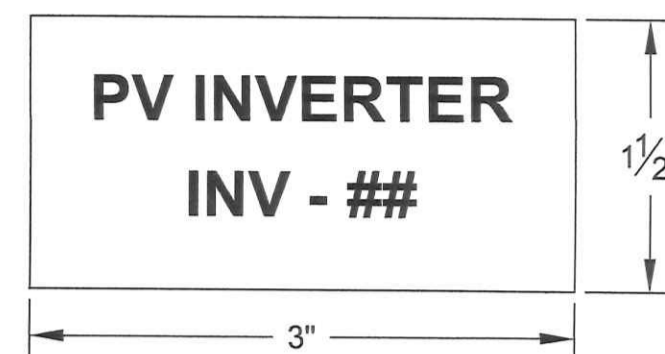
Placard INV QTY. 1



INVERTER LABEL
Apply to ckt breaker for inverter 1 in switchboard

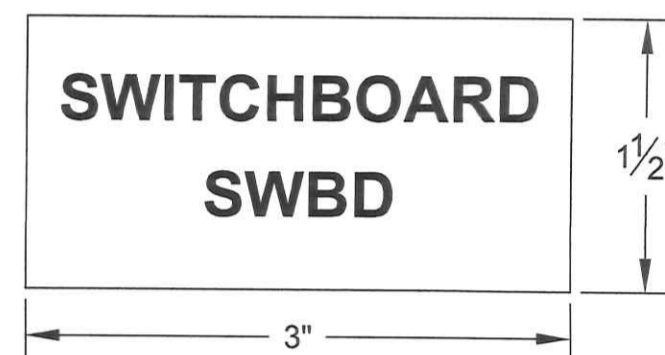
EQUIPMENT LABELS

Placard INV QTY. 17



INVERTER LABEL
Apply to each inverter.

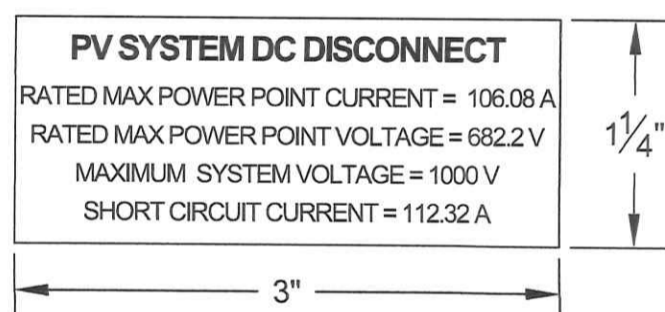
Placard SWBD QTY. 1



SWITCHBOARD LABEL
Apply to switchboards.

Placard DC LABELS

INVERTER WITH 12 STRINGS
Placard P1-DC QTY. 15

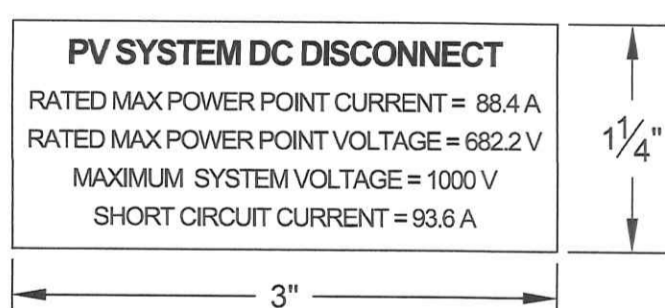


690.53 - Direct current photovoltaic power source. A permanent label for the direct-current photovoltaic power source indicating items (1) through (5) shall be provided by the installer at the photovoltaic disconnecting means:

- (1) Rated maximum power point current
- (2) Rated maximum power-point voltage
- (3) Maximum system voltage
- (4) Short-circuit current
- (5) Maximum rated output current of the charge controller (if installed)

Apply to the inverter DC disconnecting means as indicated in line diagram.

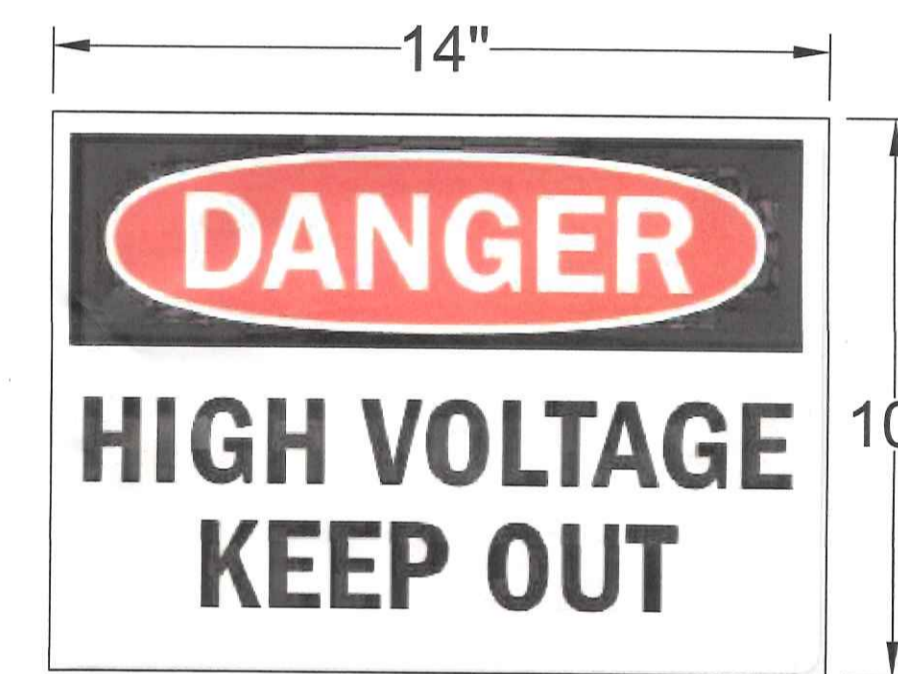
INVERTER WITH 10 STRINGS
Placard P1-DC QTY. 2



MOUNTED GATE AND FENCE LABEL (NOT TO SCALE)

NOTES:

1. MOUNT TO EACH GATE DOOR AND FENCE PERIMETER LOCATION (APPROX. EVERY 300') WITH RESPECTIVE NOMENCLATURE.
2. THIS SIGN IS TO BE MADE OF ALUMINUM



MOUNTED GATE AND FENCE LABEL (NOT TO SCALE)

NOTES:

1. MOUNT TO EACH GATE DOOR AND FENCE PERIMETER LOCATION (APPROX. EVERY 50') WITH RESPECTIVE NOMENCLATURE.
2. THIS SIGN IS TO BE MADE OF ALUMINUM

Revisions:	
No.	Date:

Drawn by:
AR
Design by:
AR
Checked by:
SM

BROOM SOLAR PARTNERS, LLC
D/B/A INDIAN RIVER SOLAR FARM
INDIAN RIVER SOLAR FARM F/K/A BROOM SOLAR
ADJACENT TO 32419 FRANKFORD SCHOOL ROAD
FRANKFORD, DELAWARE 19945

Contract No:
376627
Scale:
AS NOTED
Date:
JUNE 2022
Sheet:
DETAILS
Drawing No:
C-7.0

LEGEND

	EXISTING PROPERTY LINE		OHE	OVERHEAD ELECTRIC LINE
	ADJOINING PROPERTY LINE		UGT	UNDERGROUND TELEPHONE LINE
	EXISTING R/L LINE		LOD	PROPOSED LIMITS OF DISTURBANCE
	EXISTING SETBACK LINE		LOW	PROPOSED LIMITS OF WORKSPACE
	EXISTING WOODS LINE		SF	PROPOSED SILT FENCE
	EXISTING EASEMENT LINE		CFL	PROPOSED COMPOST FILTER LOG
	EXISTING 5' CONTOUR		EXISTING SOILS LINE	
	EXISTING 1' CONTOUR		PROPOSED STABILIZED CONSTRUCTION ENTRANCE	
	EXISTING EDGE OF PAVEMENT			
	PROPOSED EDGE OF GRAVEL			
	EXISTING STORM DRAIN			
	PROPOSED CHAIN LINK FENCE			

SITE DATA

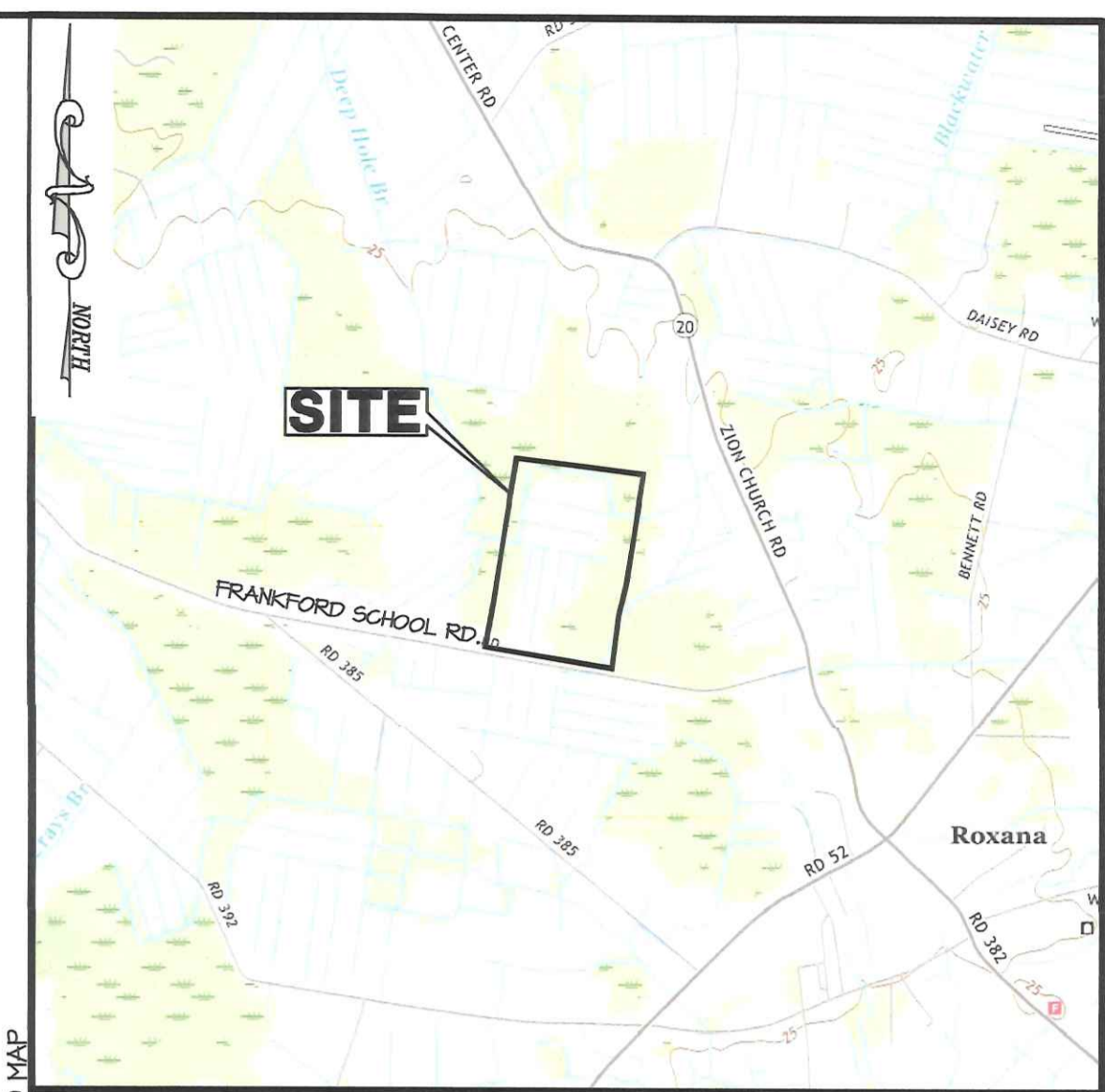
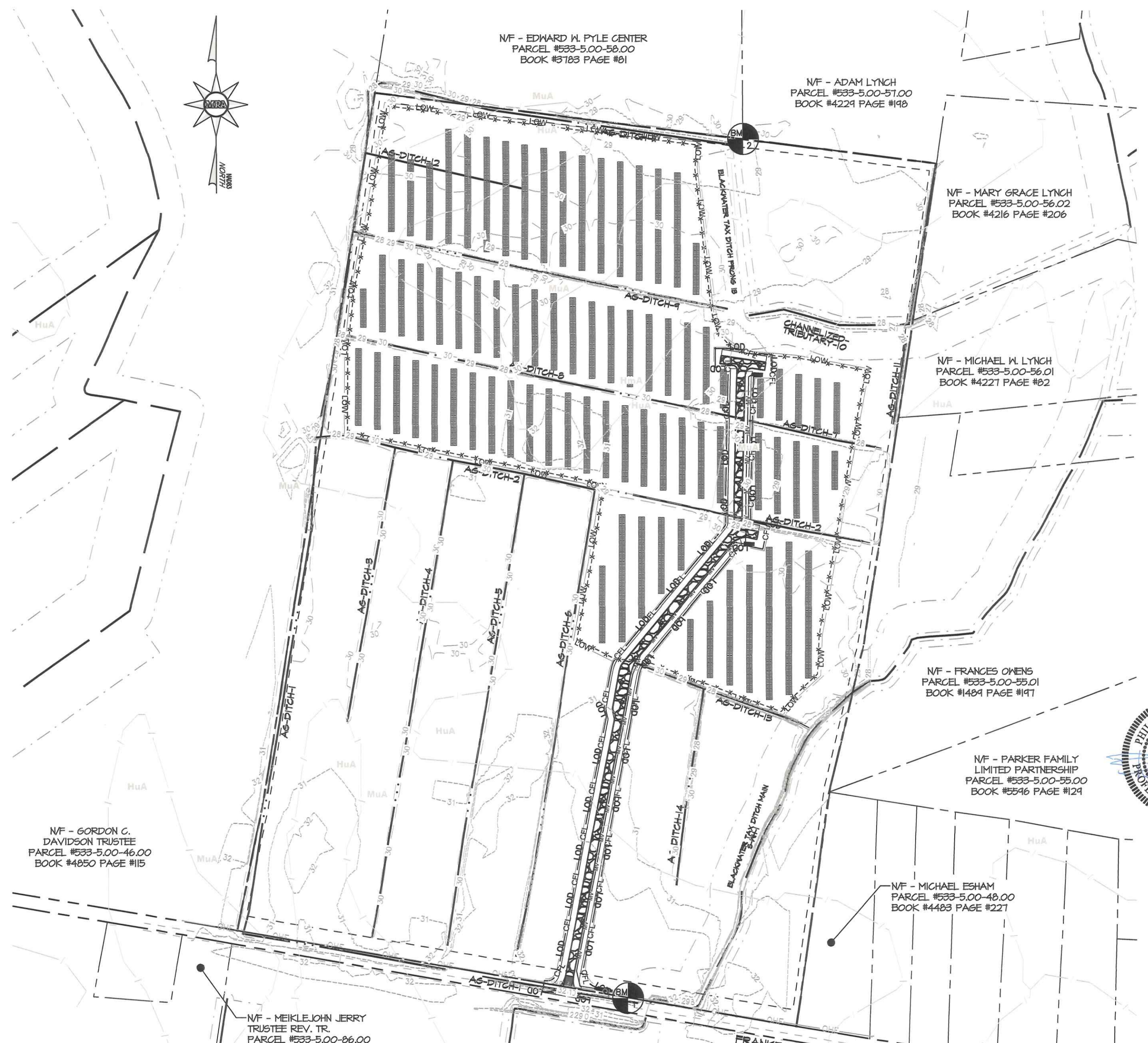
- SITE ADDRESS:** ADJACENT TO 32419 FRANKFORD SCHOOL ROAD FRANKFORD, DE 19445
- OWNER:** WILGUS FAMILY REVOCABLE TRUST, ROBERT E. WILGUS JR., AND ELAINE S. WILGUS
34108 WILGUS CEMETERY ROAD
FRANKFORD DE, 19445
- DEVELOPER:** EDF RENEWABLES DISTRIBUTED SOLUTIONS, INC.
6440 COLUMBIA GATEWAY DR., SUITE 400
COLUMBIA, MD 21046
- TAX PARCEL:** 533-5.00-47.00
- DEED OF RECORD:** 4454/108
- ZONING:** AGRICULTURAL RESIDENTIAL (AR-1)
- PARCEL AREA:** 71.378 AC.
- LIMIT OF DISTURBANCE:** 3.13 AC.
- LIMIT OF WORKSPACE:** 26.14 AC.
- DATE OF SURVEY:** TOPOGRAPHIC GREENMAN-PEDERSEN, INC, 2021
- DATUM:** HORIZONTAL: NAD '83
VERTICAL: NAVD '88
- PROJECT BENCHMARK:**
BM1 = N: 182,841.61 E: 123,98.87 ELEV: 32.23' DESC: NAIL
BM2 = N: 185,010.93 E: 123,467.71 ELEV: 28.42' DESC: IRON PIPE
- AREA WITH 100 YEAR FLOODPLAIN:** 0 AC.
- PROPOSED IMPERVIOUS:** 0.94 AC.
- ACCORDING TO THE "WETLAND AND WATERCOURSE DELINEATION REPORT," PREPARED BY TRC AND DATED MAY 2021 NO JURISDICTIONAL WETLANDS WERE DELINEATED WITHIN THE LIMITS OF DISTURBANCE FOR THIS PROJECT.**

BROOM SOLAR PROJECT

BROOM SOLAR PARTNERS, LLC

SEDIMENT & STORMWATER COVER SHEET

SUSSEX COUNTY, DELAWARE
BALTIMORE HUNDRED
INDIAN RIVER WATERSHED
PARCEL 533-5.00-47.00



INDEX OF DRAWINGS

SHEET 1	SEDIMENT & STORMWATER COVER SHEET
SHEET 2	CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN
SHEET 3	CONSTRUCTION SITE STORMWATER MANAGEMENT DETAILS & NOTES
SHEET 4	CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN
SHEET 5	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
SHEET 6	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS

DELEGATED AGENCY APPROVAL:

SUSSEX CONSERVATION DISTRICT
23818 SHORTLY ROAD
GEORGETOWN, DE, 19947
302-856-2105

CERTIFICATION OF PLAN ACCURACY:

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES.

Phillip L. Toller 06/16/2022
DATE

PHILLIP L. TOLLER, P.E.
DE LICENSE NO. #12489
MORRIS & RITCHE ASSOCIATES, INC.
18 BOULDEN CIRCLE, SUITE 38
NEW CASTLE, DELAWARE 19720
(302) 326-2200

CERTIFICATION OF OWNERSHIP:

I HEREBY CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHOULD BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E. BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL MAKE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT. AT A DIRECT SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE UNDER SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT INSITE REVIEW, AND I UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT, AS REFERENCED ON THIS COVER SHEET.

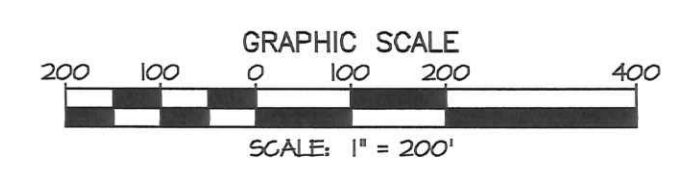
06/6/2022
Date

MR. MYLES BURNSED, VICE PRESIDENT OF THE MANAGER
EDF RENEWABLES DISTRIBUTED SOLUTIONS, INC.
P: (215) 809-8240
E: myles.burnsed@edf-rs.com
6940 COLUMBIA GATEWAY DRIVE, SUITE 400
COLUMBIA, MD 21046

Wetland and Watercourse Certification
Per
Article XXVIII Administration and Enforcement
§ 115-221 Final site plan requirements, B.(14)

I, Weston Hillegas, certify that the wetland and watercourse delineation is accurate to the best of my knowledge as documented in the 2021 Wetland and Watercourse Delineation Report. A site visit was subsequently conducted with the USACE and DNREC present to confirm wetland and watercourse boundaries on 08/16/2021. A "No Permit Required" (CENAP-OPR-2021-00687-85 Broom Solar SX (NPR)) was issued by the USACE Philadelphia District on February 16, 2022, confirming the proposed project does not involve work or structures in navigable waters, nor does the project involve discharge or fill material into waters of the United States, including wetlands. The Delaware Department of Natural Resources and Environmental Control concurred with USACE in a letter dated February 21, 2022 (D-235/21). The February 21st letter explains the project will not affect features that are subject to the Subaqueous Lands Act, 7 D.E.L.C. Chapter 72 or the "Regulations Governing the Use of Subaqueous Lands".

Weston Hillegas 08/10/2022
Signature Date



SEDIMENT CONTROL NOTES:

- THE SUSSEX CONSERVATION DISTRICT MUST BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- REVIEW AND APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY THE SUSSEX CONSERVATION DISTRICT.
- THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ENTER PRIVATE PROPERTY FOR PURPOSES OF PERIODIC SITE INSPECTION.
- FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 14 CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER SEDIMENT CONTROLS, TOPSOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROPOSED SITE.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- AT ANY TIME A DEWATERING OPERATION IS USED IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHOULD BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND REPAIR ALL EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT PRACTICES DURING UTILITY INSTALLATION.
- DNREC AND SUSSEX CONSERVATION DISTRICT (SCD) PERSONNEL SHALL HAVE THE RIGHT TO CONDUCT ON-SITE INSPECTIONS OF LAND DISTURBING ACTIVITIES.
- APPROVED PLANS REMAIN VALID FOR 5 YEARS FROM THE DATE OF APPROVAL.
- POST CONSTRUCTION VERIFICATION DOCUMENTS SHALL BE SUBMITTED TO THE DEPARTMENT OR DELEGATED AGENCY WITHIN 60-DAYS OF STORMWATER MANAGEMENT FACILITY COMPLETION.
- APPROVAL OF A SEDIMENT AND STORMWATER PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
- THE CONTRACTOR SHALL USE A STREET SWEEPER AS REQUIRED TO MINIMIZE DUST AND SOIL ON ROADWAYS. IF DUST BECOMES A PROBLEM, THE CONTRACTOR SHALL APPLY WATER TO THE CONSTRUCTION RIGHT-OF-WAY TO PROVIDE DUST CONTROL.
- THE NOTICE OF INTENT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER A NPDES GENERAL PERMIT FOR THIS PROJECT IS 00000. THE PERMITTEE OF RECORD SHALL NOT BE RELIEVED OF THEIR RESPONSIBILITIES UNTIL A NOTICE OF TERMINATION HAS BEEN PROCESSED BY DNREC.
- THE OWNER SHALL BE FAMILIAR WITH AND COMPLY WITH ALL ASPECTS OF THE NPDES CONSTRUCTION GENERAL PERMIT ASSOCIATED WITH THE PROJECT.
- BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CALL MISS UTILITY AT 811 OR 1.800.282.2883 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION TO HAVE ALL EXISTING UTILITIES MARKED ON-SITE.
- THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
- DOCUMENTATION OF SOIL TESTING AND MATERIALS USED FOR TEMPORARY OR PERMANENT STABILIZATION INCLUDING BUT NOT LIMITED TO SOIL TEST RESULTS, SEED TAGS, SOIL AMENDMENT TAGS, ETC. SHALL BE PROVIDED TO THE DEPARTMENT OR DELEGATED AGENCY TO VERIFY THAT THE PERMANENT OR TEMPORARY STABILIZATION HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLAN.
- THE DEPARTMENT OR DELEGATED AGENCY MAY REQUIRE ADDITIONAL SOIL TESTING AND REAPPLICATION OF PERMANENT OR TEMPORARY STABILIZATION IN ACCORDANCE WITH THE SPECIFICATIONS IN THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, OR ALTERNATIVE MEASURES THAT PROVIDE FUNCTIONAL EQUIVALENCY.

1540 Eisenhower Place
Ann Arbor, MI 48108
Phone: 734.971.7888
www.trcsolutions.com

TRC

TRC Project No.: 376627.0000.0000

18 BOULDEN CIRCLE, SUITE 38
NEW CASTLE, DE 19720
(302) 326-2200
FAX: (302) 326-2389

MIRATA.COM
© 2022 MORRIS & RITCHE ASSOCIATES, INC.

MIRA

edf
renewables

Revisions:
No. Date:

Drawn by:
JTH

Design by:
CWB

Checked by:
CWB

SEDIMENT & STORMWATER COVER SHEET
BROOM SOLAR PARTNERS, LLC
BROOM SOLAR PROJECT
ADJACENT TO 32419 FRANKFORD SCHOOL ROAD
FRANKFORD, DELAWARE 19945

Contract No:
376627

Scale:
AS SHOWN

Date:
05/31/2022

Sheet:
COVER SHEET

Drawing No:
1 OF 6



1540 Eisenhower Place
 NEW CASTLE, DE 19720
 Phone: 734.971.7886
 www.trcsolutions.com

TRC

TRC Project No.: 376627.0000.0000

18 BOULDER CIRCLE, SUITE 36
 NEW CASTLE, DE 19720
 (302) 326-2200
 FAX: (302) 326-2388

MIRA

PROFESSIONAL ENGINEER
 DELAWARE
 No. 12489
 06/24/23

MIRAGTA.COM
 © 2022 MORRIS & RITCHE ASSOCIATES, INC.



Revisions:

No.	Date:

Drawn by:
JTH

Design by:
CWB

Checked by:
CWB

**CONSTRUCTION SITE STORMWATER
 MANAGEMENT PLAN**
BROOM SOLAR PARTNERS, LLC
BROOM SOLAR PROJECT
 ADJACENT TO 32419 FRANKFORD SCHOOL ROAD
 FRANKFORD, DELAWARE 19945

Contract No:
376627

Scale:
1" = 100'

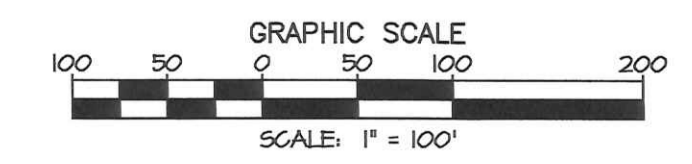
Date:
05/31/2022

Sheet:
SWM MAN.PLAN

Drawing No:
2 OF 6

NOTE:
 THESE PLANS ASSUME THE SOLAR PANELS CAN BE INSTALLED WITHOUT THE STRIPPING OF TOPSOIL OR EARTH DISTURBANCE WITHIN THE DESIGNATED "LIMITS OF WORK". IF EARTH DISTURBANCE IS OBSERVED DURING THIS ACTIVITY, PERIMETER CONTROLS SHOULD BE INSTALLED TO PREVENT SEDIMENT LADEN WATER FROM LEAVING THE LIMITS OF WORK.

SOILS DATA TABLE						
SYMBOL	SOIL SERIES	SLOPE	NATURAL DRAINAGE CLASS	HYDROLOGIC CLASSIFICATION	DEPTH TO WATER TABLE	WATER HOLDING CAPACITY
HmA	HAMMONTON LOAM SAND	0-2%	MODERATELY WELL DRAINED	B	~ 20" TO 40"	5.3"
HsA	HIRLOCK LOAMY SAND	0-2%	POORLY DRAINED	A/D	~ 10" TO 20"	6.4"
MJA	MILLIGA-BERRYLAND COMPLEX	0-2%	VERY POORLY DRAINED	A/D	~ 0" TO 10"	4.4"



Standard Detail & Specifications Stabilized Construct. Entrance

Plan

Profile

Section A-A (Opt.)

Source: Adapted from VA ESC Handbook
Symbol: **SCE**
Detail No: DE-ESC-3.4.7 Sheet 1 of 2

Effective February 2019

Standard Detail & Specifications Stabilized Construct. Entrance

Section A-A (Opt.)

Source: Adapted from VA ESC Handbook
Symbol: **SCE**
Detail No: DE-ESC-3.4.7 Sheet 2 of 2

Effective February 2019

Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

DATA TO BE PROVIDED:
Volume of Potential Pollution
Height of containment
Area of containment
Volume of containment

Plan View

Section A-A

Source: Delaware ESC Handbook
Symbol: **SCE**
Detail No: DE-ESC-3.6.1 Sheet 1 of 5

Effective February 2019

Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

Pollution Prevention - Spill Prevention

- Fueling should only take place in signed designated areas, away from downstream drainage facilities and watercourses.
- Fueling must be with nozzles equipped with automatic shut-off to control drips. Do not top off.
- Protect the areas where equipment or vehicles are being repaired, maintained, fueled or parked from storm water run-on and runoff.
- Place a "Fueling Area" sign next to each fueling area.
- Use berms such as berms to prevent storm water run-on and runoff, and to contain spills.
- Store hazardous materials such as fuel, solvents, oil and chemicals in secondary containment.
- Inspect vehicles and equipment for leaks on each day of use. Repair fluid and oil leaks immediately.
- Absorbent spill clean-up materials and spill kits must be available in fueling areas and on fuel trucks.
- If fueling is to take place at night, make sure the fueling area is sufficiently illuminated.
- Properly dispose of used oil, fluids, lubricants and spill clean-up materials.

CLEAN UP SPILLS

- If it is safe to do so, immediately contain and clean up any chemical and/or hazardous material spills.
- Properly dispose of used oil, fluids, lubricants and spill clean-up materials.
- Do not bury spills or wash them down with water.

LEAKS AND DROPS

- Use drip pans or absorbent pads at all times. Place under and around leaky equipment.
- Do not allow oil, grease, fuel or chemicals to drip onto the ground.
- Have spill kits and clean up material on-site.
- Repair leaky equipment promptly or remove problem vehicles and equipment from the site. Clean up contaminated soil immediately.
- Store contaminated waste in sealed containers constructed of suitable material. Label these containers properly.
- Clean up oil spills and leaks. Promptly dispose of waste and spent clean up materials.

Source: Delaware ESC Handbook
Symbol: **SCE**
Detail No: DE-ESC-3.6.1 Sheet 2 of 5

Effective February 2019

Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

Notes:
The Construction Site Pollution Prevention Plan should include the following elements:

- Material Inventory**
Document the storage and use of the following materials:
a. Concrete
b. Detergents
c. Paints (enamel and latex)
d. Cleaning solvents
e. Pesticides
f. Wood scraps
g. Fertilizers
h. Petroleum based products
- Good housekeeping practices**
a. Store only enough product required to do the job.
b. All materials shall be stored in a neat, orderly manner in their original labeled containers and covered.
c. Substances shall not be mixed.
d. When possible, all of a product shall be used prior to disposal of the container.
e. Manufacturers' instructions for disposal shall be strictly adhered to.
f. The site foreman shall designate someone to inspect all BMPs daily.
- Waste management practices**
a. All waste materials shall be collected and stored in securely lidded dumpsters in a location that does not drain to a waterbody.
b. Waste materials shall be stored and/or recycled whenever possible.
c. The dumpsters shall be emptied a minimum of twice per week, or more if necessary. The licensed trash hauler is responsible for cleaning out dumpsters.

Source: Adapted from USEPA Pub. 840-B-92-002
Symbol: **SCE**
Detail No: DE-ESC-3.6.1 Sheet 3 of 5

Effective February 2019



Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

Notes (cont.)

- Trash shall be disposed of in accordance with all applicable Delaware laws.
- Trash cans shall be placed on all lunch spots and littering is strictly prohibited. Recycle bins shall be placed near the construction trailers.
- If filter bags can not be stored in a weather-proof location, they shall be kept on a pallet and covered with plastic sheeting which is overlapped and anchored.

4. Equipment maintenance practices

- If possible, equipment should be taken to off-site commercial facilities for washing and maintenance.
- If performed on-site, vehicles shall be washed with high-pressure water spray without detergents in an area contained by an impervious berm.
- Drip pans shall be used for all equipment maintenance.
- Equipment shall be inspected for leaks on a daily basis.
- Washout from concrete trucks shall be disposed of in a temporary pit for hardening and proper disposal.
- Fuel nozzles shall be equipped with automatic shut-off valves.
- All used products such as oil, antifreeze, solvents and tires shall be disposed of in accordance with manufacturers' recommendations and local, state and federal laws and regulations.

5. Spill prevention practices

- Potential spill areas shall be identified and contained in covered areas with no connection to the storm drain system.
- Warning signs shall be posted in hazardous material storage areas.
- Preventive maintenance shall be performed on all tanks, valves, pumps, pipes and other equipment as necessary.
- Low or non-toxic substances shall be prioritized for use.

Source: Adapted from USEPA Pub. 840-B-92-002
Symbol: **SCE**
Detail No: DE-ESC-3.6.1 Sheet 4 of 5

Effective February 2019

Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

Notes (cont.)

- Contact information for reporting spills through the DNREC 24-Hour Toll Free Number shall be prominently posted.

6. Education

- Best management practices for construction site pollution control shall be a part of regular progress meetings.
- Information regarding waste management, equipment maintenance and spill prevention shall be prominently posted in the construction trailer.

CONTACT INFORMATION

DNREC 24-Hour Toll Free Number: 800-662-8802
DNREC Solid & Hazardous Waste Management Section: 302-739-9403

Source: Adapted from USEPA Pub. 840-B-92-002
Symbol: **SCE**
Detail No: DE-ESC-3.6.1 Sheet 5 of 5

Effective February 2019

Standard Detail & Specifications Concrete Washout

DATA TO BE PROVIDED:
Length, Width, or Depth

Plan View

Section A-A

Alternate Liner Option

Source: Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3
Symbol: **CW**
Detail No: DE-ESC-3.6.2 Sheet 2 of 2

Effective February 2019

Standard Detail & Specifications Concrete Washout

Construction Notes:

- Locate washout area a minimum of 50 feet from open channels, storm drain inlets, wetlands or waterbodies.
- Locate washout area so that it is accessible to concrete equipment (service with a minimum 10 foot wide gravel accessway), but so it is not in a highly active construction area causing accidental damage.
- Minimum dimensions for prefabricated units are 4 feet by 4 feet by 1 foot deep with a minimum 4mil polyethylene plastic liner. Minimum dimensions for constructed concrete washout areas are 6 feet by 6 feet by 3 feet deep, with a minimum 10mil polyethylene liner, 2:1 side slopes, and a 1 foot high by 1 foot wide compacted fill berm.
- The liner must be free of tears or holes and placed over smooth surfaces to prevent puncturing. For excavated washouts, anchor the liner underneath the berm or overlay with sandbags or concrete blocks to hold in place.
- Provide a sign designating the washout area, and for large construction sites, provide signs throughout directing traffic to its location.
- Allow washed out concrete mixtures to harden through evaporation of the wastewater. Once the facility has reached 75 percent of its capacity, remove the hardened concrete by reusing, or broken aggregate onsite, recycling, or disposing of offsite. The hardened material can be buried on site with minimum of 1 foot of clean, compacted fill.
- Apply a new liner before reusing the station for additional washouts after maintenance has occurred.

Source: Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3
Symbol: **CW**
Detail No: DE-ESC-3.6.2 Sheet 2 of 2

Effective February 2019

Standard Detail & Specifications Concrete Mixing Operation

Plan View

Section View

Source: Adapted from MN/DOT Concrete Manual, Chap. 4
Symbol: **CMO**
Detail No: DE-ESC-3.6.3 Sheet 1 of 2

Effective FEB 2019

Standard Detail & Specifications Concrete Mixing Operation

Construction Notes:

- Locate concrete mixing and containment area a minimum of 50 feet from open channels, storm drain inlets, wetlands or waterbodies.
- Locate concrete mixing and containment area so that it is accessible to telescopic lifts service with a minimum 10 foot wide gravel or paved accessway, but so it is not in a highly active construction area causing accidental damage.
- Minimum volume for installed containment areas are 3.5 cubic feet per cubic foot of mixing capacity. The installed containment area must encompass the storage silo and mixing unit, and be surrounded on three sides minimum by a 12" high stone berm (DE #57) or 18" compost log.
- The 10-mil poly liner must be free of tears or holes and placed over smooth surfaces to prevent puncturing. The liner shall cover the perimeter contour and be secured on the backside using cement or sand bags, or keyed into the ground a minimum of 6".
- Allow cementitious waste to harden through evaporation of the wastewater. Once the facility has reached 75 percent of its capacity, remove the hardened concrete by reusing the broken aggregate onsite, recycling, or disposing of offsite. The hardened material can be buried on site with minimum of 1 foot of clean, compacted fill.
- Apply a new liner before reusing the station for additional mixing after maintenance has occurred.

Source: Adapted from MN/DOT Concrete Manual, Chap. 4
Symbol: **CMO**
Detail No: DE-ESC-3.6.3 Sheet 2 of 2

Effective FEB 2019

Standard Detail & Specifications Silt Fence

Section

Plan

Source: Adapted from MD Sids. & Specs. for ESC
Symbol: **SF**
Detail No: DE-ESC-3.12.1 Sheet 1 of 2

Effective February 2019

Standard Detail & Specifications Silt Fence

Construction Detail

Section A

Section B

Log

Construction Notes:

- Geosynthetic fabric to be fastened securely to fence posts with wire ties or staples.
- When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
- Maintenance shall be performed as needed and material removed when "bulges" develop in the silt fence.

Materials:

- Stakes: Steel I-beam T or UJ or 2" x 2" hardwood
- Geosynthetic Fabric: Type GD-1
- Reinforcing strip: Wooden lath or plastic strip

Source: Adapted from MD Sids. & Specs. for ESC
Symbol: **SF**
Detail No: DE-ESC-3.12.1 Sheet 2 of 2

Effective February 2019

Standard Detail & Specifications Compost Filter Log

DATA TO BE PROVIDED:
Log diameter (D)
Soil Material

CONTRACTOR TO USE 3 MILL HDPE OR GREATER

Plan

Section View

Surface Option Shown for Slopes less than 8:1

(NOTE: For steeper slopes, drive stakes perpendicular to surface)

Source: Adapted from MD Sids. & Specs. for ESC & Filtrax International
Symbol: **CFL**
Detail No: DE-ESC-3.1.7 Sheet 2 of 2

Effective FEB 2019

Standard Detail & Specifications Compost Filter Log

Construction Notes:

- Prior to installation, clear bedding area of obstructions including rocks or debris larger than 1 inch and fill in any sharp depression areas.
- If socks are prepared on-site, fill the sock fabric using a pneumatic blower so that the logs are rigid and do not deform. Terminate at the desired length.
- For trrenched applications, excavate 2 to 4 inches below grade along the width and length of the compost filter log.
- Install the compost filter logs perpendicular to the flow direction and parallel to the slope with the beginning and end of the installation pointing up the slope a minimum of 1 foot elevation difference. On sites where this is not possible, upturn at a minimum length of 10' at a 30 degree angle to prevent runoff bypass.
- For untrrenched applications, blow or hand pack soil, mulch, or compost on the upslope side of the log, filling the bottom void area.
- Stake the filled log every 10 feet maximum through the center of the sock for trrenched applications, or every 8 feet for untrrenched. The stakes shall be a 2" by 2" hardwood. It should extend 12" below grade and protrude at least 5" above the top of the sock. If located on a slope greater than 8:1, the stake shall be angled down slope at a 45 degree angle to prevent the force of the water from dislodging the log.
- When the length of the compost filter log needed exceeds the available compost filter sock length, the next sock shall be overlapped a minimum of 12" before being filled, and a stake placed through both socks at the overlap.
- Remove accumulated sediment when it has reached half of the effective height of the log.
- Inspect weekly and after rain event. If sock is degrading or the sock is falling, vegetation to secure the compost, replace the log, or reinforce with an additional log. If the log has been crushed due to construction equipment, it can be "buffed" back to its effective height. If the effective height can no longer be restored, the log shall be replaced or reinforced with an additional compost filter log.

Source: Adapted from MD Sids. & Specs. for ESC & Filtrax International
Symbol: **CFL**
Detail No: DE-ESC-3.1.7 Sheet 2 of 2

Effective FEB 2019

1540 Eisenhower Plaza
Ann Arbor, MI 48108
Phone: 734.971.7800
www.trcsolutions.com

TRC

18 BOULDER CIRCLE SUITE: 36
NEW CASTLE DE 19720
(302) 326-2200
FAX: (302) 326-2369

MRGA.COM
© 2022 MORRIS & BRICHG ASSOCIATES, INC.

TRC Project No: 376627.0000.0000

edf renewables

Revisions:

No.	Date:

Drawn by:
JTH

Design by:
CWB

Checked by:
CWB

CONSTRUCTION SITE STORMWATER
MANAGEMENT DETAILS & NOTES
BROOM SOLAR PARTNERS, LLC
BROOM SOLAR PROJECT
ADJACENT TO 32419 FRANKFORD SCHOOL ROAD
FRANKFORD, DELAWARE 19845

Contract No:
376627

Scale:
N/A

Date:
05/31/2022

Sheet:
SVM MAN. DETAILS

Drawing No:
3 OF 6

GENERAL UTILITY NOTES:

- 1. THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA AT 1-800-282-8555 FOR UTILITY LOCATIONS WITHIN AND SURROUNDING CONSTRUCTION AREAS NOT LESS THAN 3 DAYS BEFORE PERFORMING ANY EXCAVATION.
2. THE LOCATION OF UNDERGROUND UTILITIES AS INDICATED ON PLANS HAS BEEN OBTAINED FROM EXISTING RECORDS, NEITHER THE OWNER OR THE ARCHITECT/ENGINEER ASSUMES ANY RESPONSIBILITY...

SEQUENCE OF CONSTRUCTION

- 1. NOTIFY THE SUSSEX CONSERVATION DISTRICT (SCD) SEDIMENT AND STORMWATER PROGRAM IN WRITING AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
2. PRIOR TO ANY CLEARING, INSTALLATION OF SEDIMENT CONTROL MEASURES OR GRADING, A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED AND CONDUCTED WITH THE AGENCY CONSTRUCTION SITE REVIEWER...

Standard Detail & Specifications Mulching. Includes materials and amounts, application instructions, and a table with source, symbol, and detail number (DE-ESC-3.4.5 Sheet 1 of 3).

MULCHING MATERIAL SELECTION GUIDE. Table with columns: Percent Stone, Type of Mulch / App. Rate, Dec. 1 to Feb. 28/29, March 1 to May 31, June 1 to Aug. 31, Sept. 1 to Nov. 30. Includes various mulch types like Wood Fiber, Straw, and Compost.

Standard Detail & Specifications Dust Control. Includes temporary methods, a table for dust control materials (Type of Emulsion, Water Ratio, Type of Nozzle, Apply Rate), and permanent methods. Includes source, symbol, and detail number (DE-ESC-3.4.8 Sheet 1 of 1).

Standard Detail & Specifications Vegetative Stabilization. Includes a table for temporary seeding by rates, depths and dates, and a table for permanent seeding and seeding dates. Includes source, symbol, and detail number (DE-ESC-3.4.3 Sheet 1 of 4).

Standard Detail & Specifications Vegetative Stabilization. Includes a table for permanent seeding and seeding dates, and a table for permanent seeding and seeding dates. Includes source, symbol, and detail number (DE-ESC-3.4.3 Sheet 2 of 4).

Standard Detail & Specifications Vegetative Stabilization. Includes a table for permanent seeding and seeding dates, and a table for permanent seeding and seeding dates. Includes source, symbol, and detail number (DE-ESC-3.4.3 Sheet 3 of 4).

Standard Detail & Specifications Vegetative Stabilization. Includes construction notes, a table for permanent seeding and seeding dates, and a table for permanent seeding and seeding dates. Includes source, symbol, and detail number (DE-ESC-3.4.3 Sheet 4 of 4).

* PREFERRED SEED MIX

* PREFERRED SEED MIX

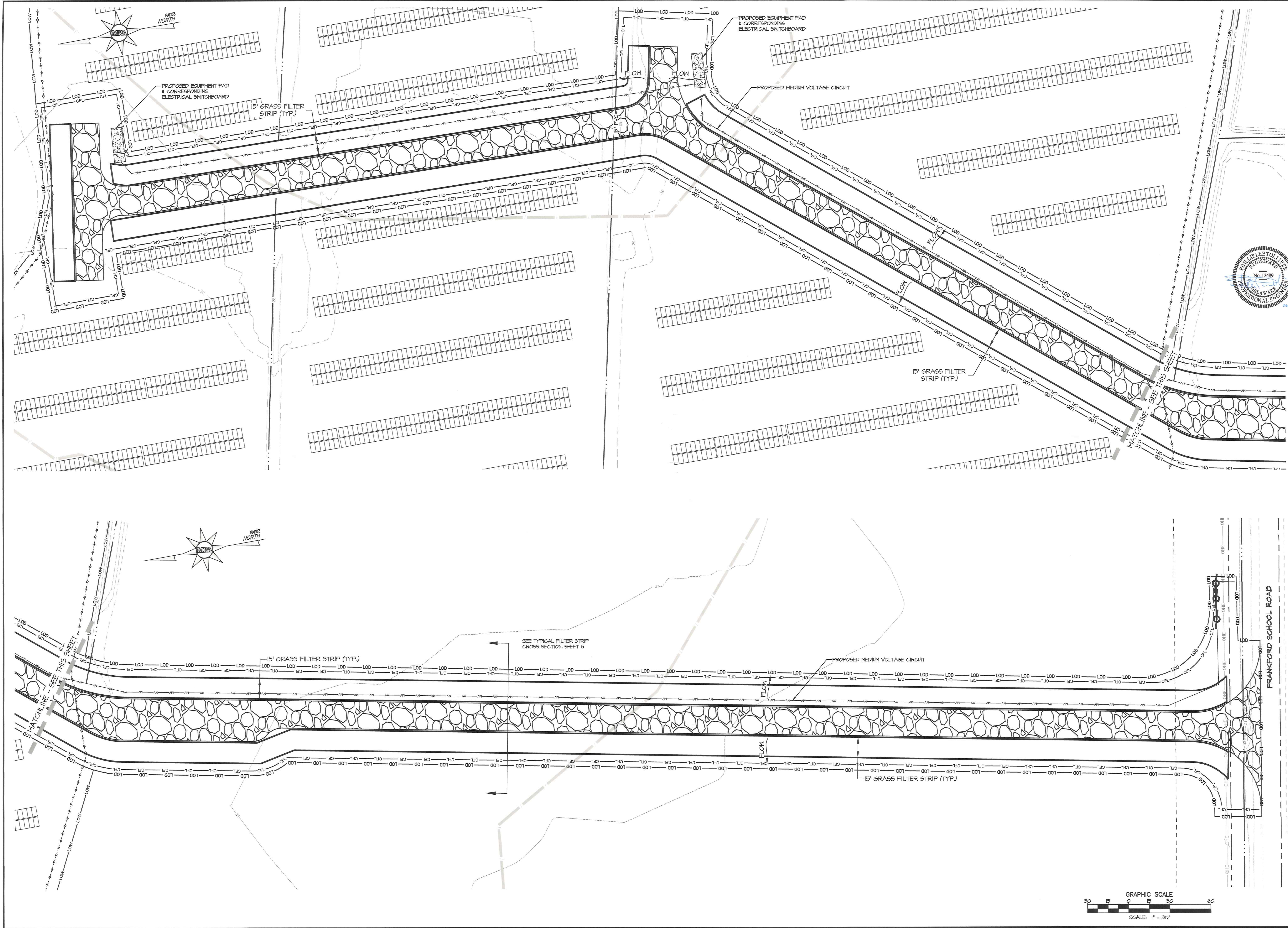
TRC logo and contact information: 1540 Eisenhower Place, Ann Arbor, MI 48106, www.trcusa.com. TRC Project No.: 376627.0000.0000

MIRA logo and contact information: 18 BOULDER CIRCLE, SUITE 36, NEW CASTLE, DE 19720, (302) 393-2620, FAX: (302) 365-2589, MIRAGAT.COM, © 2022 MORRIS ARTHUR ASSOCIATES, INC.

edf renewables logo and contact information: Design by: JTH, Checked by: CVB

CONSTRUCTION SITE STORMWATER MANAGEMENT DETAILS & NOTES. BROOM SOLAR PROJECT. BROOM SOLAR PROJECT. ADJACENT TO 32419 FRANKFORD SCHOOL ROAD, FRANKFORD, DELAWARE 19945

Contract No: 376627, Scale: N/A, Date: 05/31/2022, Sheet: SWM MAN. DETAILS, Drawing No: 4 OF 6



1540 Eisenhower Place
New Castle, DE 19720
Phone: 754.971.7188
www.trcsolutions.com

TRC

TRC Project No.: 376627.0000.0000

18 BOULDER CIRCLE, SUITE 36
NEW CASTLE, DE 19720
PHONE: (302) 326-2388
FAX: (302) 326-2389

MIRA

MIRAGTA.COM
© 2022 MORRIS & RITCHE ASSOCIATES, INC.

edf

renewables

Revisions:	
No.	Date:

Drawn by:
JTH

Design by:
CVB

Checked by:
CVB

**POST CONSTRUCTION
STORMWATER MANAGEMENT PLAN**
BROOM SOLAR PARTNERS, LLC
BROOM SOLAR PROJECT
ADJACENT TO 32419 FRANKFORD SCHOOL ROAD
FRANKFORD, DELAWARE 19945

Contract No:
376627

Scale:
1" = 30'

Date:
05/31/2022

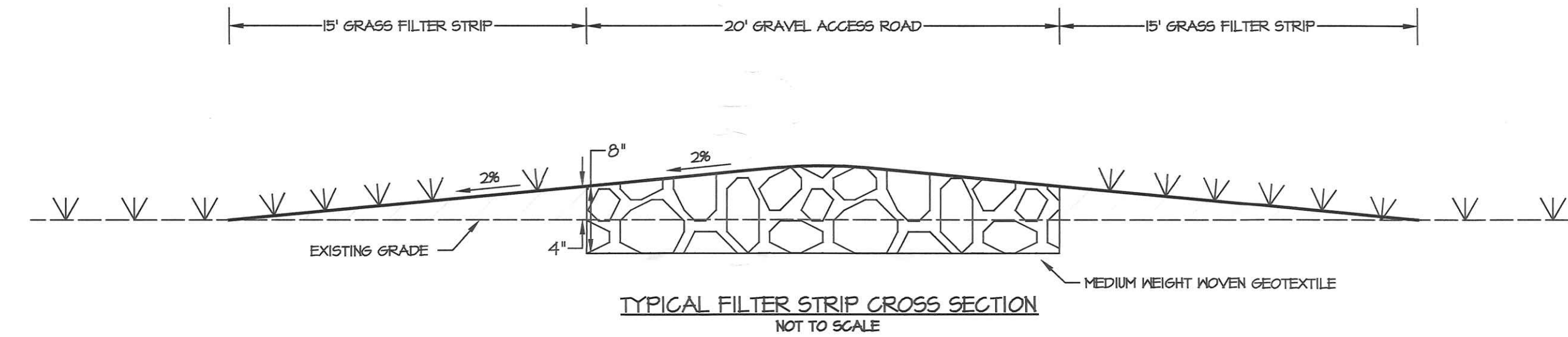
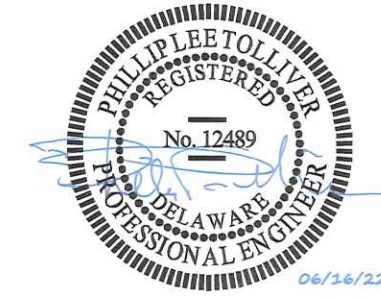
Sheet:
POST SWM PLAN

Drawing No:
5 OF 6

OPERATION AND MAINTENANCE NOTES

- THE OWNER IS TO OPERATE AND MAINTAIN EACH POST CONSTRUCTION STORMWATER MANAGEMENT FACILITY.
- THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE SUSSEX CONSERVATION DISTRICT (SCD), RESERVES THE RIGHT TO ENTER PRIVATE PROPERTY FOR PURPOSES OF PERIODIC SITE REVIEWS.
- THE SCD SHALL BE NOTIFIED WITHIN 30 BUSINESS DAYS IF THE PROPERTY OWNERSHIP IS TRANSFERRED TO A NEW PERSON OR ENTITY.
- THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE SCD MAY SEEK ENFORCEMENT ACTION AGAINST ANY OWNER DEEMED NEGLIGENT IN FULFILLING THE OPERATION AND MAINTENANCE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS.
- THE SCD SHALL BE CONTACTED IF A CONCERN ARISES REGARDING A STORMWATER MANAGEMENT FACILITY, BEFORE ANY NON-ROUTINE MAINTENANCE, OR IF MODIFICATIONS TO THE FACILITY ARE DESIRED.
- ANY DESIGN MODIFICATIONS MADE TO THE STORMWATER SYSTEM SHALL REQUIRE THE CREATION OF A NEW POST CONSTRUCTION STORMWATER MANAGEMENT PLAN AND/OR OPERATIONS AND MAINTENANCE PLAN, WITH APPROVAL OF THE PLANS BY THE SCD.
- FOR ALL STORMWATER EASEMENT AREAS (I.E. ACCESS, MAINTENANCE, OR OFFSITE) AND THE MINIMUM 15-FOOT WIDE ACCESSWAYS TO ALL STORMWATER FACILITIES AND THEIR STRUCTURAL COMPONENTS, REGULAR MOWING SHALL BE PERFORMED TO KEEP THE GRASS 6" OR LESS; NO TREES OR SHRUBS SHALL BE PLANTED, AND ANY FOUND GROWING SHALL BE REMOVED, AND NO PERMANENT STRUCTURES, SUCH AS FENCES OR SHEDS, SHALL BE LOCATED WITHIN THE EASEMENT OR ACCESSWAY.
- WHEN THE FACILITY IS EXCAVATED TO REMOVE ACCUMULATED SEDIMENT, THE DISPOSAL AREA SHALL BE PERMANENTLY STABILIZED SO THAT IT DOES NOT RECREATE AN EROSION PROBLEM. ANY MATERIAL TAKEN OFF-SITE SHALL STILL BE UTILIZED OR DISPOSED OF IN AN APPROVED DNREC MANNER.
- BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CALL MISS UTILITY AT 811 OR 1.800.282.8888 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, TO HAVE ALL EXISTING UTILITIES MARKED ON-SITE.

SHEET FLOW TO FILTER STRIP OR OPEN SPACE MAINTENANCE ITEMS AND FREQUENCY	
MAINTENANCE ACTIVITY	SCHEDULE
INSPECT THE SITE AFTER STORM EVENT THAT EXCEEDS 0.5 INCHES OF RAINFALL. STABILIZE ANY BARE OR ERODING AREAS. WATER TREES AND SHRUBS DURING THE FIRST GROWING SEASON. IN GENERAL, WATER EVERY 3 DAYS FOR THE FIRST MONTH, AND THEN WEEKLY DURING THE REMAINDER OF THE FIRST GROWING SEASON (APRIL - OCTOBER), DEPENDS ON RAINFALL.	DURING ESTABLISHMENT, AS NEEDED (FIRST YEAR)
REPAIR-ERODED, AND/OR BARE SOIL AREAS.	QUARTERLY OR AFTER MAJOR STORMS (1 INCH OF RAINFALL)
MOWING OF THE GRASSED FILTER STRIP OR GRASSED OPEN SPACE. INSPECT AND TREAT FOR INVASIVE SPECIES AS NEEDED.	TWICE A YEAR
REMOVE TRASH AND DEBRIS. A FULL MAINTENANCE REVIEW.	ANNUALLY



- UNCOMPACTED TOPSOIL SEEDING & MULCHED PER THE SPECIFICATIONS FOR PERMANENT SEEDING ON SHEET 4 OF 6
- POORLY GRADED 1/4 TO 1 INCH DIAMETER CRUSHED, ANGULAR STONE AGGREGATE (REFER TO FINAL SITE PLANS FOR REVISIONS)

1540 Eisenhower Place
Ann Arbor, MI 48108
Phone: 734.971.1080
www.trcresolutions.com

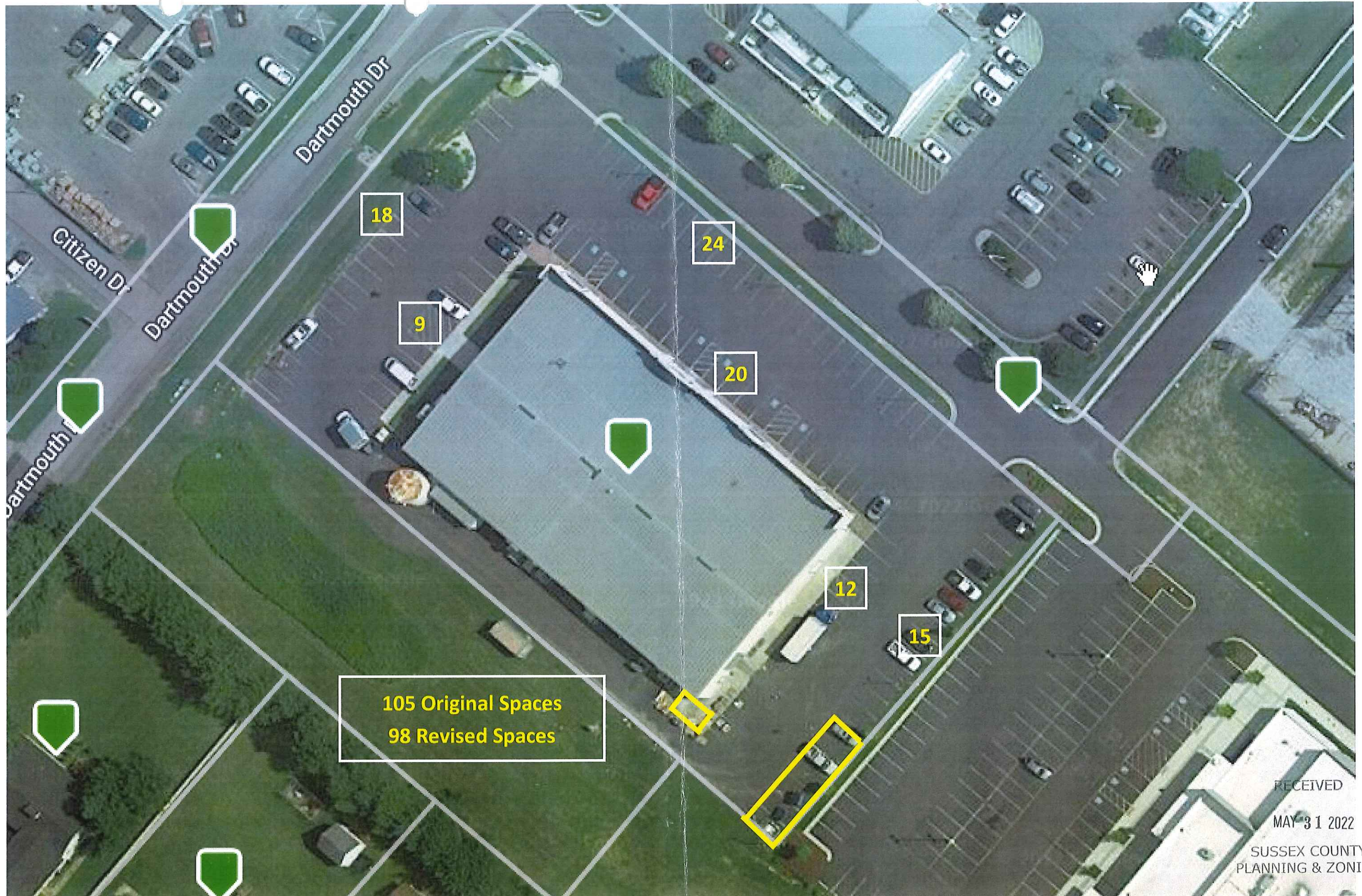
TRC Project No: 376627.0000.0000

18 BOULDER CIRCLE, SUITE 36
NEW CASTLE, DE 19720
(302) 326-2200
FAX: (302) 396-2399
MIRAGTA.COM
© 2022 MORRIS & RTICHE ASSOCIATES, INC.

Revisions:	
No.	Date:
Drawn by: JTH	
Design by: CWB	
Checked by: CWB	

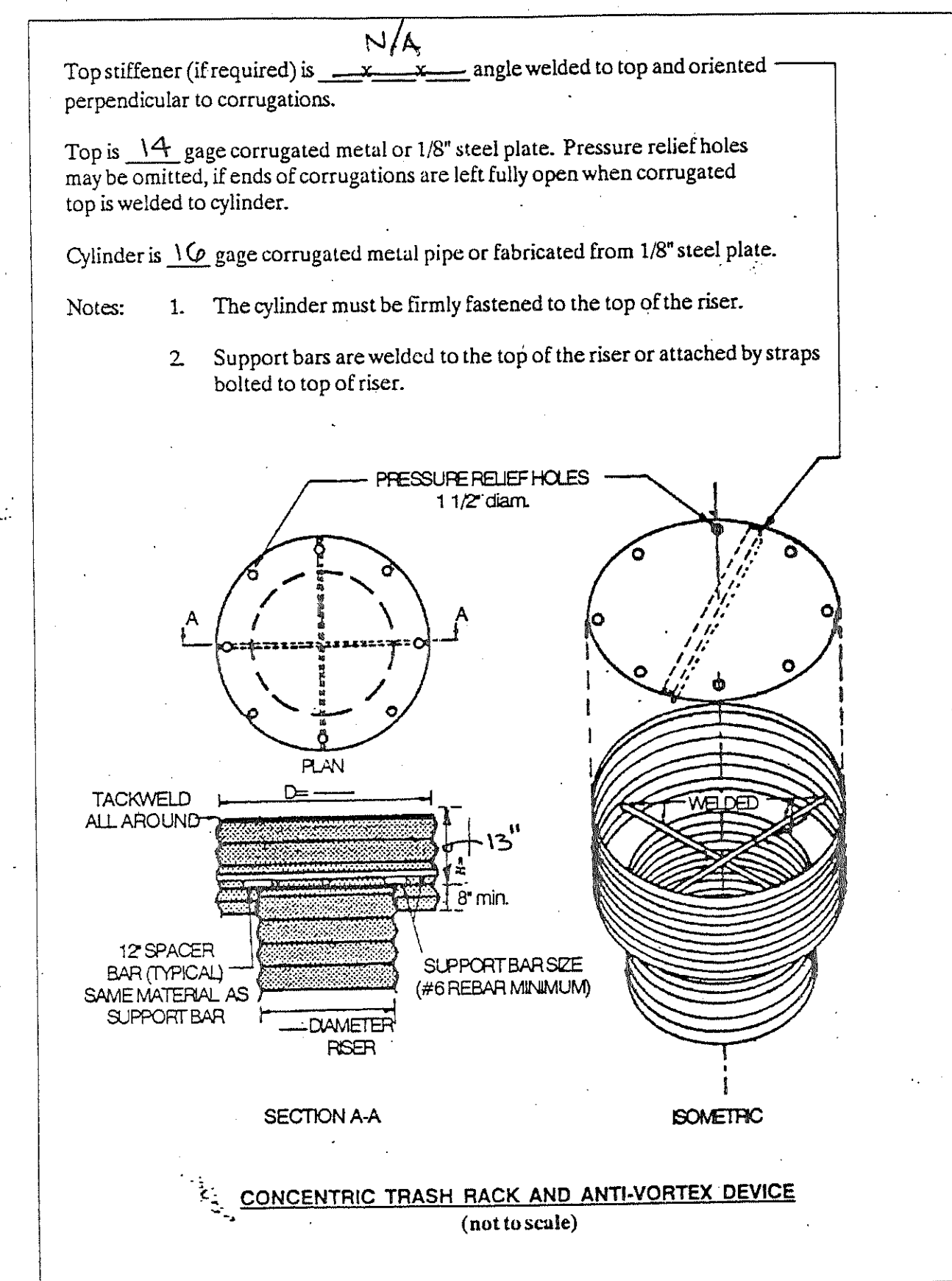
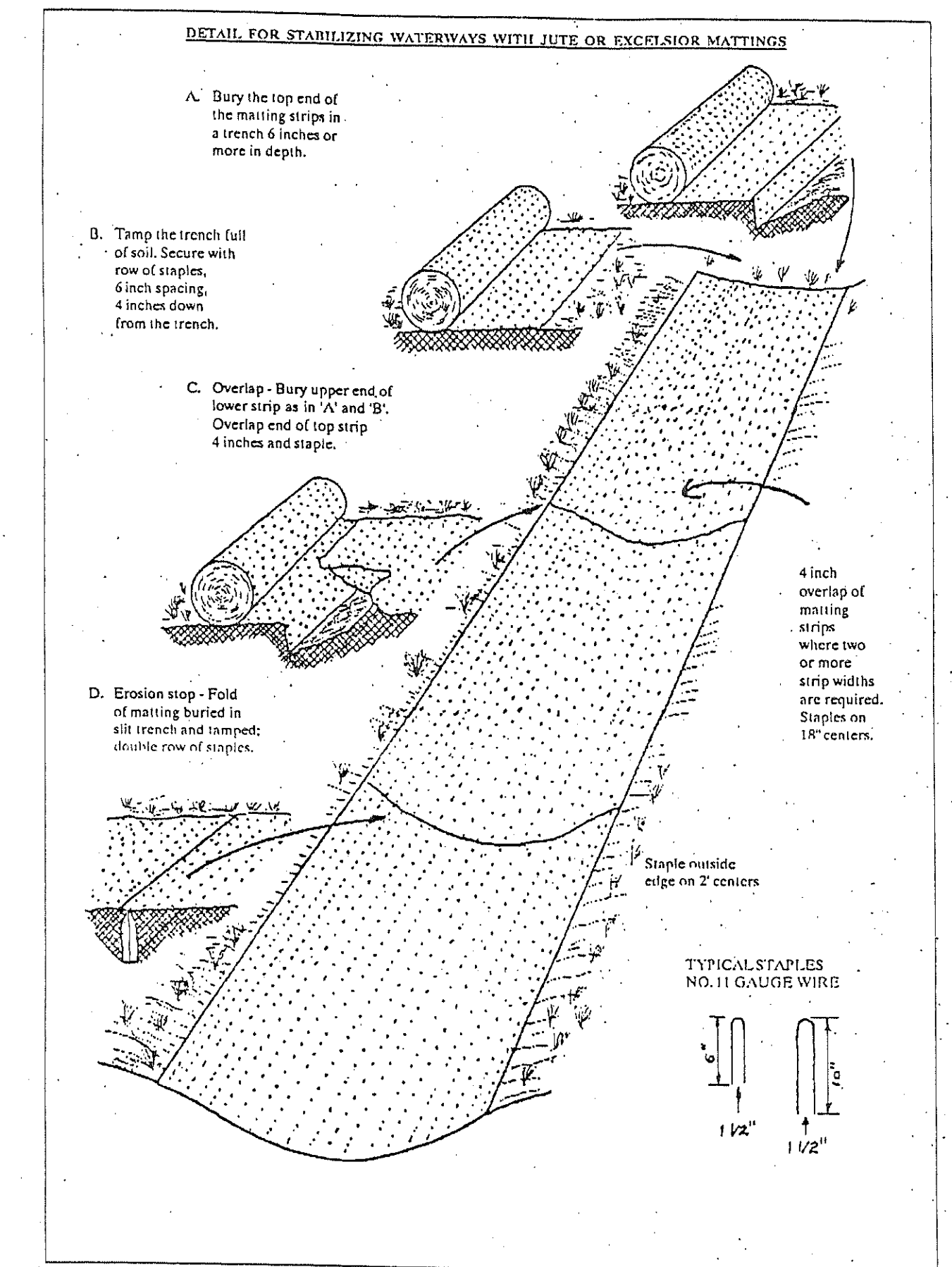
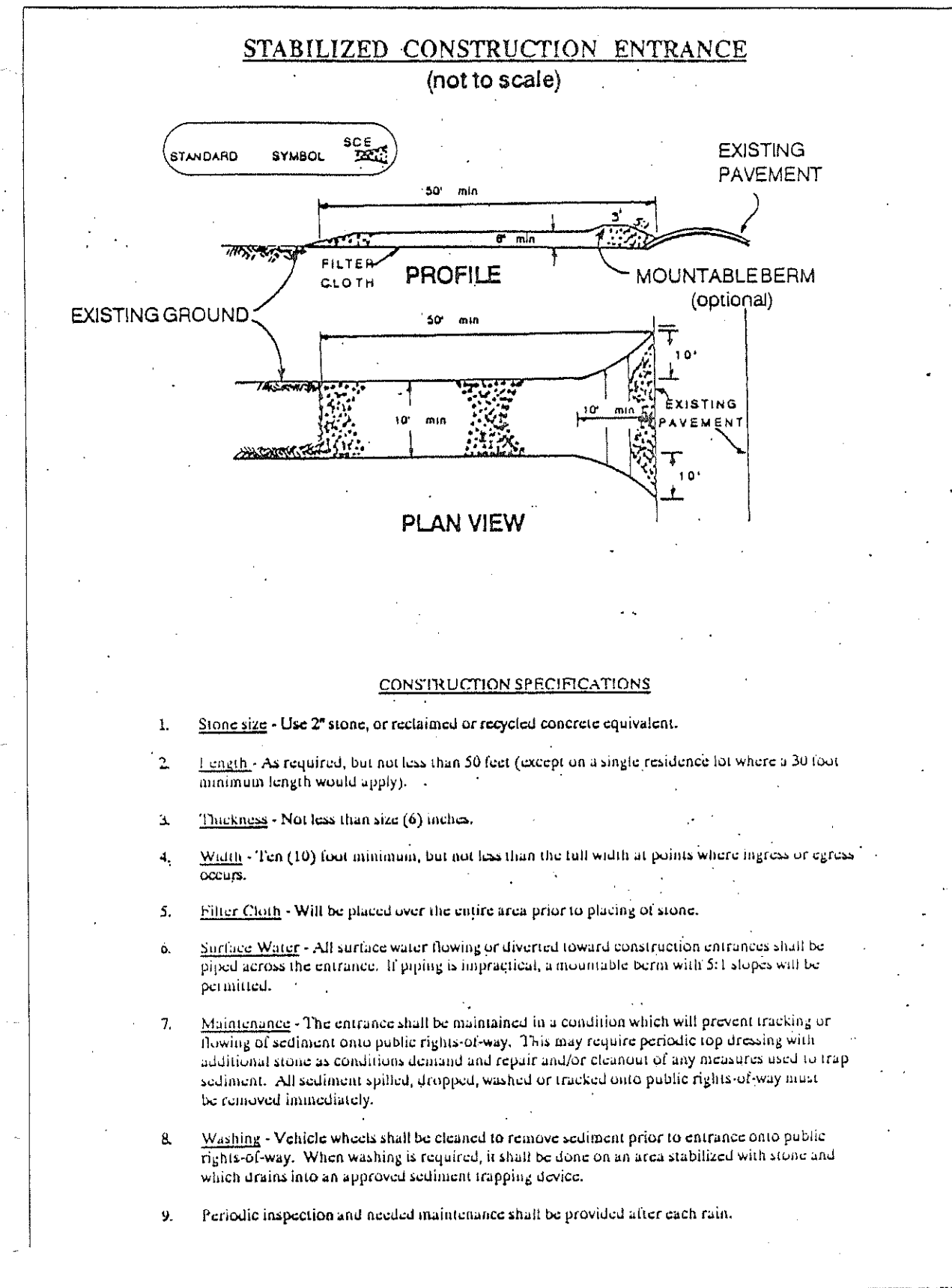
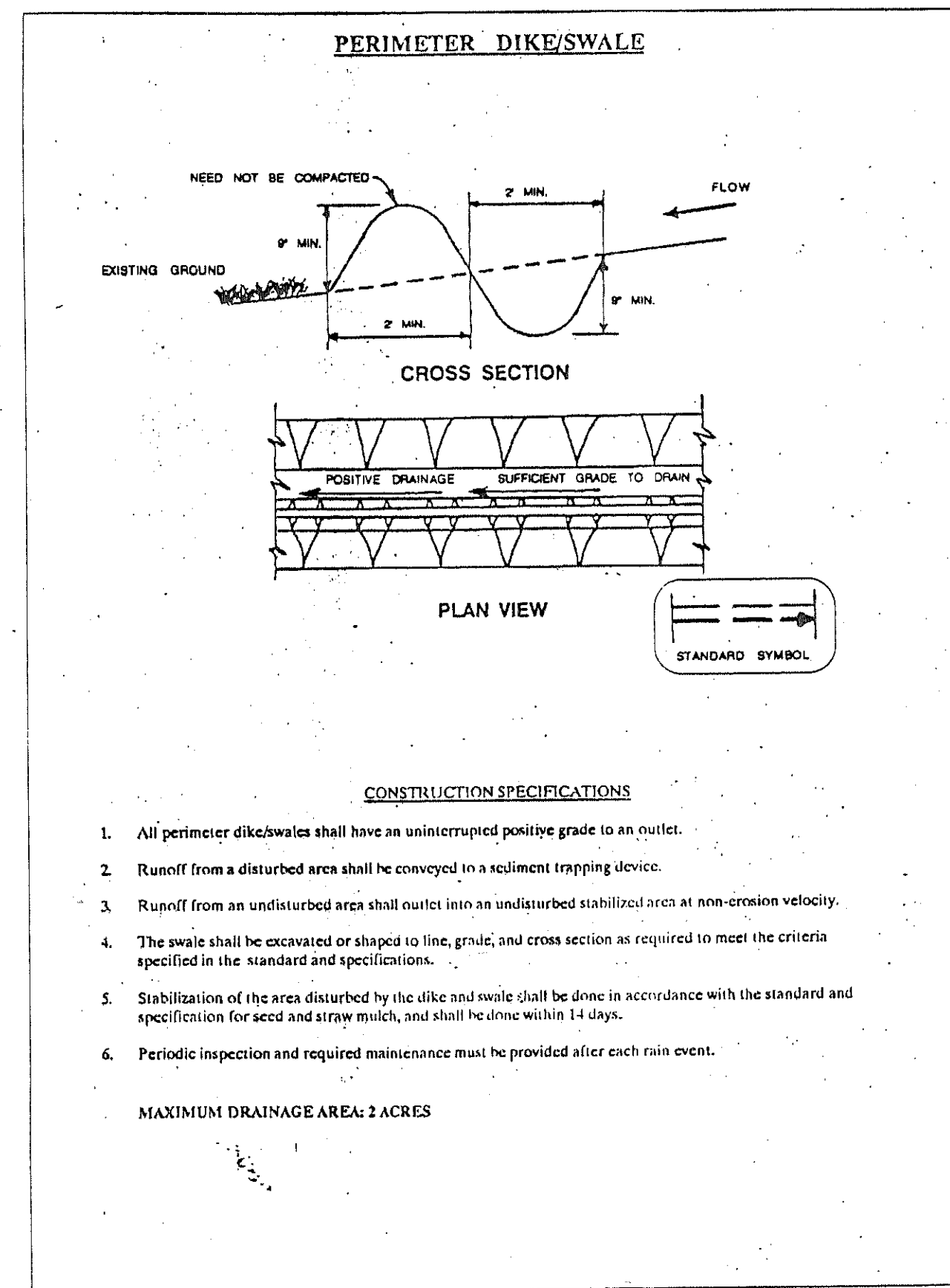
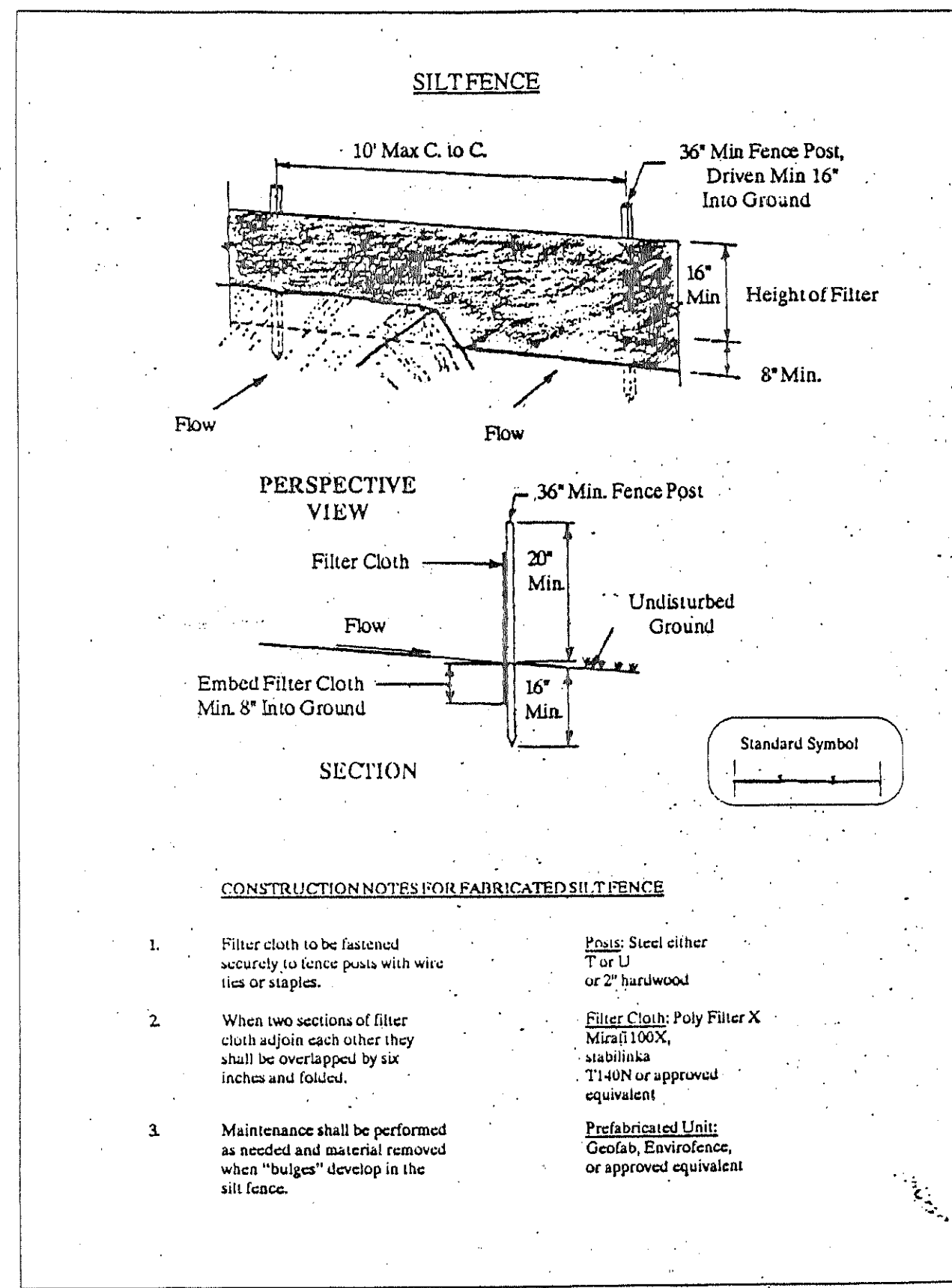
POST CONSTRUCTION STORMWATER
MANAGEMENT DETAILS
BROOM SOLAR PARTNERS, LLC
BROOM SOLAR PROJECT
ADJACENT TO 32419 FRANKFORD SCHOOL ROAD
FRANKFORD, DELAWARE 19945

Contract No: 376627
Scale: N/A
Date: 05/31/2022
Sheet: POST SWM DET.
Drawing No: 6 OF 6



105 Original Spaces
98 Revised Spaces

RECEIVED
MAY 31 2022
SUSSEX COUNTY
PLANNING & ZONING



- ### NOTES
- Following soil disturbance or redistribution, permanent or temporary stabilization shall be completed within 14 calendar days as to the surface of all perimeter sediment controls, topsoil stockpiles, and all other disturbed or graded areas on the project site.
 - Sussex Conservation District must be notified in writing five (5) days prior to commencing with construction. Failure to do so constitutes a violation of the approved sediment and stormwater management plan.
 - Review and approval of the Sediment and Stormwater Management Plan shall not relieve the contractor from his or her responsibilities for compliance with the requirements of the Sediment and Stormwater Regulations, nor shall it relieve the contractor from errors or omissions in the approved plan.
 - If the approved plan needs to be modified, additional sediment and stormwater control measures may be required as deemed necessary by the Sussex Conservation District.
 - If dust control becomes a problem, water sprinkling shall be employed.
 - General contractor to be responsible for maintenance and repair of all erosion and sediment control and stormwater management practices damaged during utility installation.
 - Property owners shall be responsible for the perpetual maintenance of the stormwater management facilities.

PERMANENT SEEDING

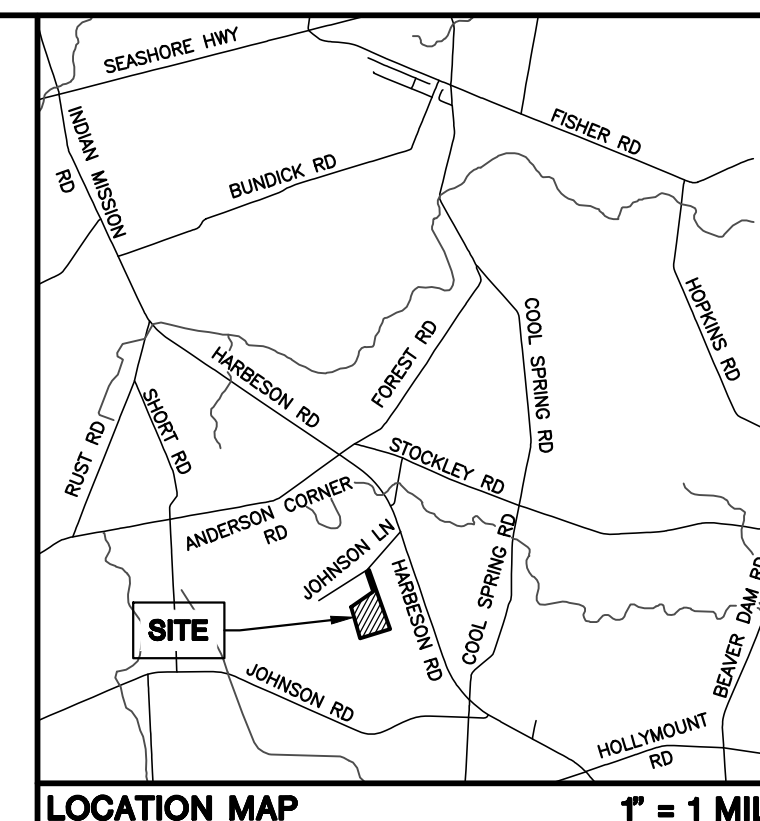
Seed - Kentucky 31 Tall Fescue @5-6 lbs./1,000 s.f.
Fertilizer - 10-10-10 @46 lbs./1,000 s.f.
Straw Mulch @92 lbs./1,000 s.f.
Lime @92 lbs./1,000 s.f.

TEMPORARY SEEDING

Seed - Ryegrass @1 lb./1,000 s.f.
Fertilizer - 10-10-10 @14 lbs./1,000 s.f.
Straw Mulch - @70-90 lbs./1,000 s.f.
Lime - @46 lbs./1,000 s.f.

STORMWATER MANAGEMENT & EROSION CONTROL PLAN

LEWES FARMERS MARKET



SITE DATA

CURRENT OWNER:	KENNETH SCHRODER CAROLYN PATTERSON 28366 JOHNSON LN HARBESON, DE 19951
TAX PARCEL NO.:	2-34-9.00-47.00
DEED REF.:	DB 5387 PG 347
SITE ADDRESS:	S. JOHNSON LN W. HARBESON RD (RT 5)
EXISTING:	SITE AREA: 20.7472± ACRES
PROPOSED:	LOT 1: 5.006 ACRES LOT 2: 11.317 ACRES LOT 3: 2.262 ACRES RESIDUAL LANDS: 2.162 ACRES SITE AREA: 20.717± ACRES
EXISTING LOTS:	1
PROPOSED LOTS:	4 (INCLUDING RESIDUAL)
EXISTING USE:	AGRICULTURAL
FUTURE LAND USE:	LOT 1: RESIDENTIAL LOT 2: RESIDENTIAL LOT 3: RESIDENTIAL RESIDUAL: RESIDENTIAL
ZONING:	AR-1
SETBACKS:	FRONT: 40' SIDE: 15' REAR: 20'
MAX. BLDG. HEIGHT:	35' OR 3 STORIES
FLOOD ZONE:	ZONE X - MINIMAL FLOODING
F.I.R.M. No.:	10005C 0310L, 10005C 0325L
LAST REVISED:	JUNE 20, 2018
SEWER PROVIDER:	ON-SITE SEPTIC
WATER PROVIDER:	ON-SITE WELL
FIRE DISTRICT:	83 - MILLSBORO
SCHOOL DISTRICT:	6 - CAPE HENLOPEN
TRANSPORTATION IMPROVEMENT DISTRICT:	NOT LOCATED WITHIN

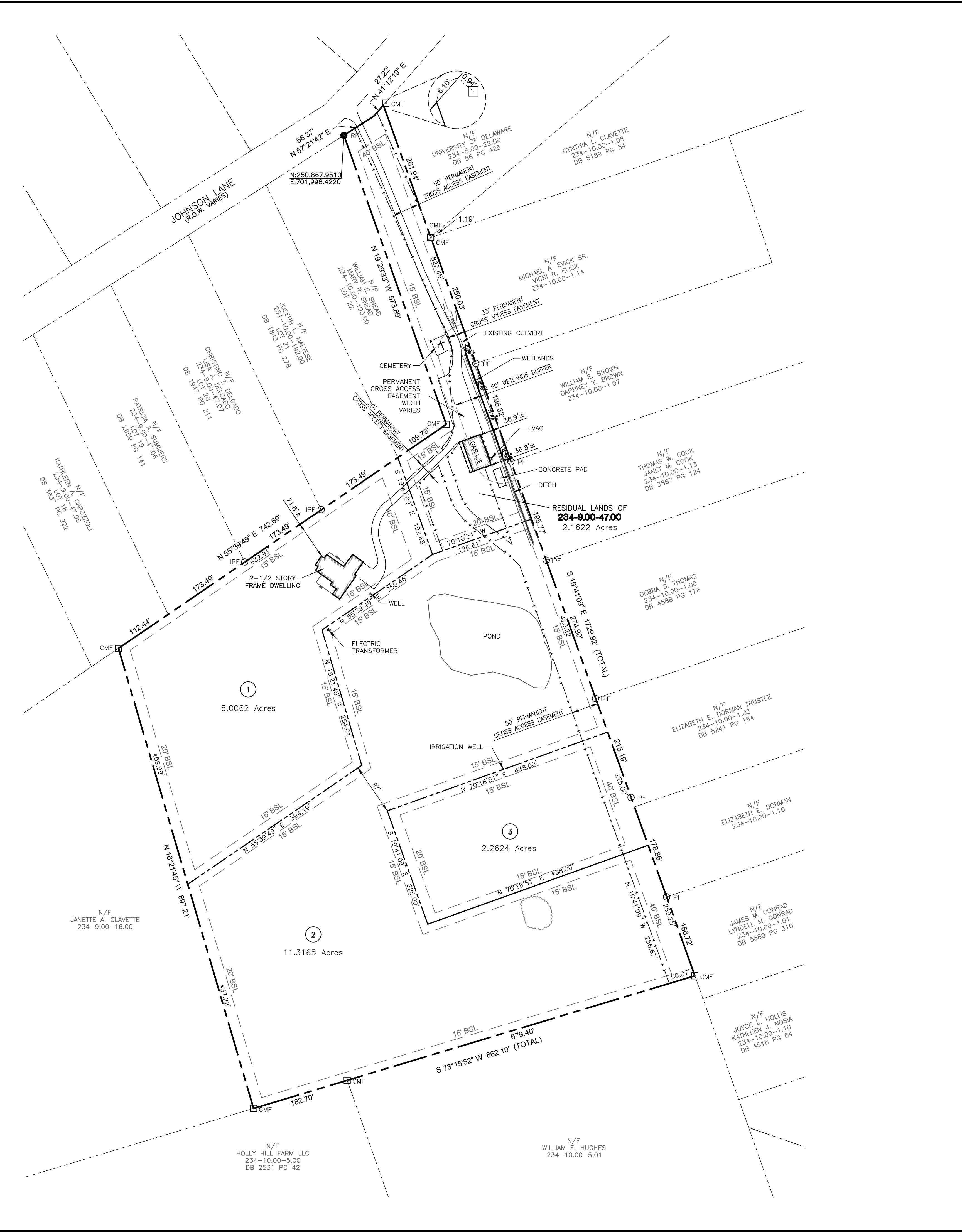
ARCHITECTS ENGINEERS SURVEYORS
SALISBURY, MARYLAND (410) 543-9091
MILFORD, DELAWARE (302) 424-1441
EASTON, MARYLAND (410) 770-4744

DAVIS, BOWEN & FRIEDEL, INC.

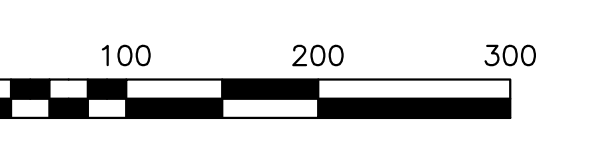
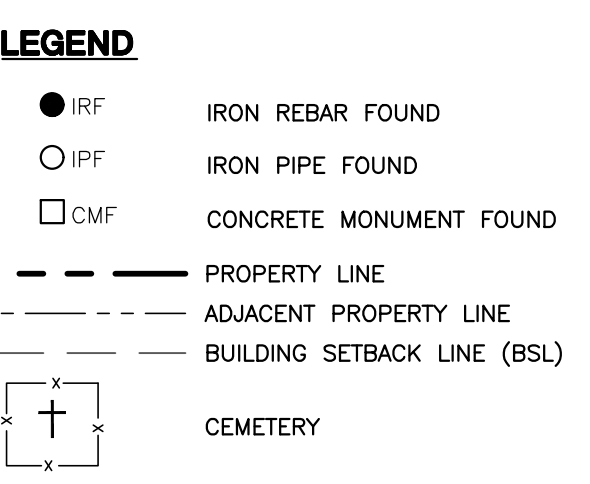
MINOR SUBDIVISION PLAN
of the Lands of
KENNETH SCHRODER & CAROLYN PATTERSON
INDIAN RIVER HUNDRED
SUSSEX COUNTY, DELAWARE

Revisions:

Date:	DECEMBER 2021
Scale:	1"=100'
Dwn.By:	PAB
Proj.No.:	4037A001
Dwg.No.:	



- GENERAL NOTES**
- EXISTING UTILITIES ARE SHOWN WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS IS NOT GUARANTEED.
 - THE WETLANDS DELINEATION PERFORMED BY ENVIROTECH ENVIRONMENTAL CONSULTING, INC., WETLANDS WERE FOUND ON SITE.
 - THIS SITE IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA.
 - THERE ARE SOURCEWATER PROTECTION AREAS ON THIS SITE.
 - PROPOSED 20' AND 50' CROSS ACCESS EASEMENT SHALL BE PRIVATELY MAINTAINED BY THE PROPERTY OWNERS. CROSS ACCESS EASEMENT SHALL BE CLEAR OF SHRUBBERY, PLANTINGS, SIGNS, AND/OR VISUAL BARRIERS THAT COULD OBSTRUCT SIGHT FROM DRIVERS. A CROSS ACCESS EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS.
 - A PERPETUAL CROSS ACCESS EASEMENT IS HEREBY ESTABLISHED AS SHOWN ON THIS PLAT.
 - LOT 1, 2, & 3 SHALL HAVE A COMBINED ACCESS TO JOHNSON LANE.



WETLAND STATEMENT

THIS PROPERTY, OR PORTIONS THEREOF, HAVE BEEN EXAMINED BY ENVIROTECH ENVIRONMENTAL CONSULTING, INC. (EECI) FOR THE PRESENCE OF WATER OF THE UNITED STATES INCLUDING WETLANDS (SECTION 404 AND SECTION 10), STATE SUBAQUEOUS LANDS AND STATE TIDAL WETLANDS BASED ON THE CRITERIA SET FORTH BY THE REVIEWING AGENCIES IN THE FORM OF MANUALS, POLICIES, AND PROCEDURES IN PLACE AT THE TIME THAT THE INVESTIGATION WAS CONDUCTED. ANY OF THE ENCLOSED RESOURCES THAT WERE FOUND ON THE PROPERTY ARE DEPICTED ON THIS PLAN IN ACCORDANCE WITH OUR FIELD INVESTIGATIONS AND DETAILED IN REPORTS PREPARED BY EECI USING BEST PROFESSIONAL JUDGMENT.

MR. TODD FRITCHMAN, AQUATIC BIOLOGIST DATE
ENVIROTECH ENVIRONMENTAL CONSULTING, INC.
17605 NASSAU COMMONS BOULEVARD, UNIT D
LEWES, DE 19958

OWNER'S STATEMENT

WE, UNDERSIGNED, HEREBY STATE THAT WE ARE THE OWNERS OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THE PLAN WAS MADE AT OUR DIRECTION, WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN BE RECORDED ACCORDING TO LAW.

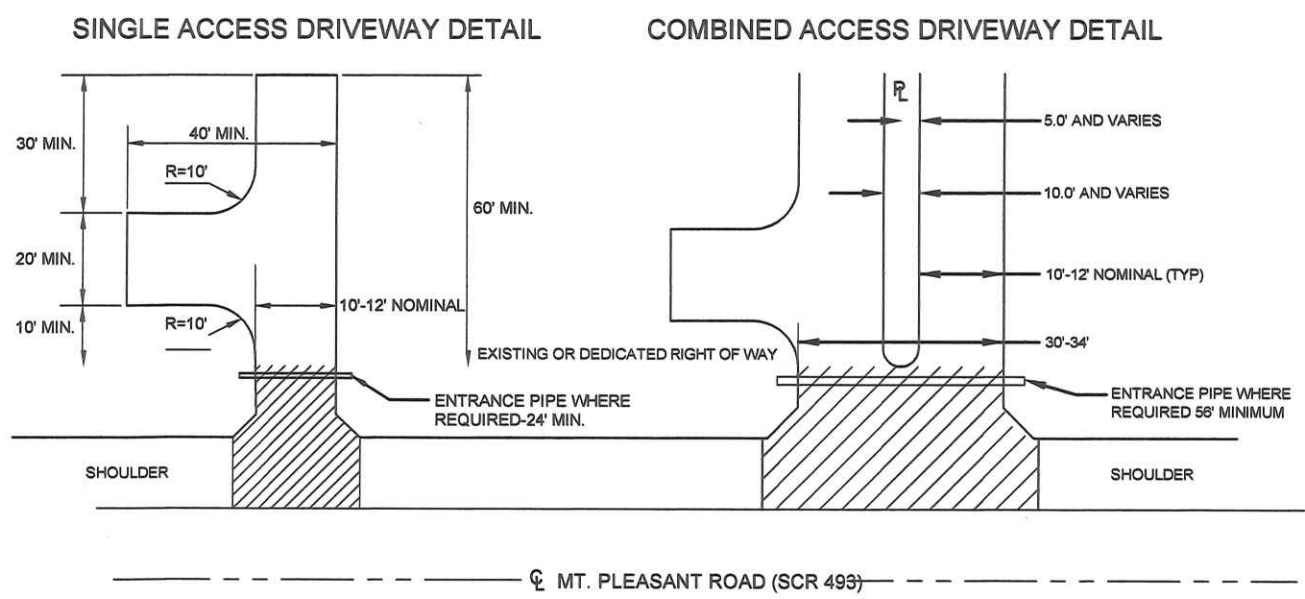
KENNETH SCHRODER DATE
CAROLYN PATTERSON DATE

SURVEYOR CERTIFICATION

I, CHRISTOPHER D. WATERS, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

DAVIS, BOWEN & FRIEDEL, INC.
by CHRISTOPHER D. WATERS, AGENT

CHRISTOPHER D. WATERS
PROFESSIONAL LAND SURVEYOR
DE NO. S6-647
EXPIRES: 6/30/21

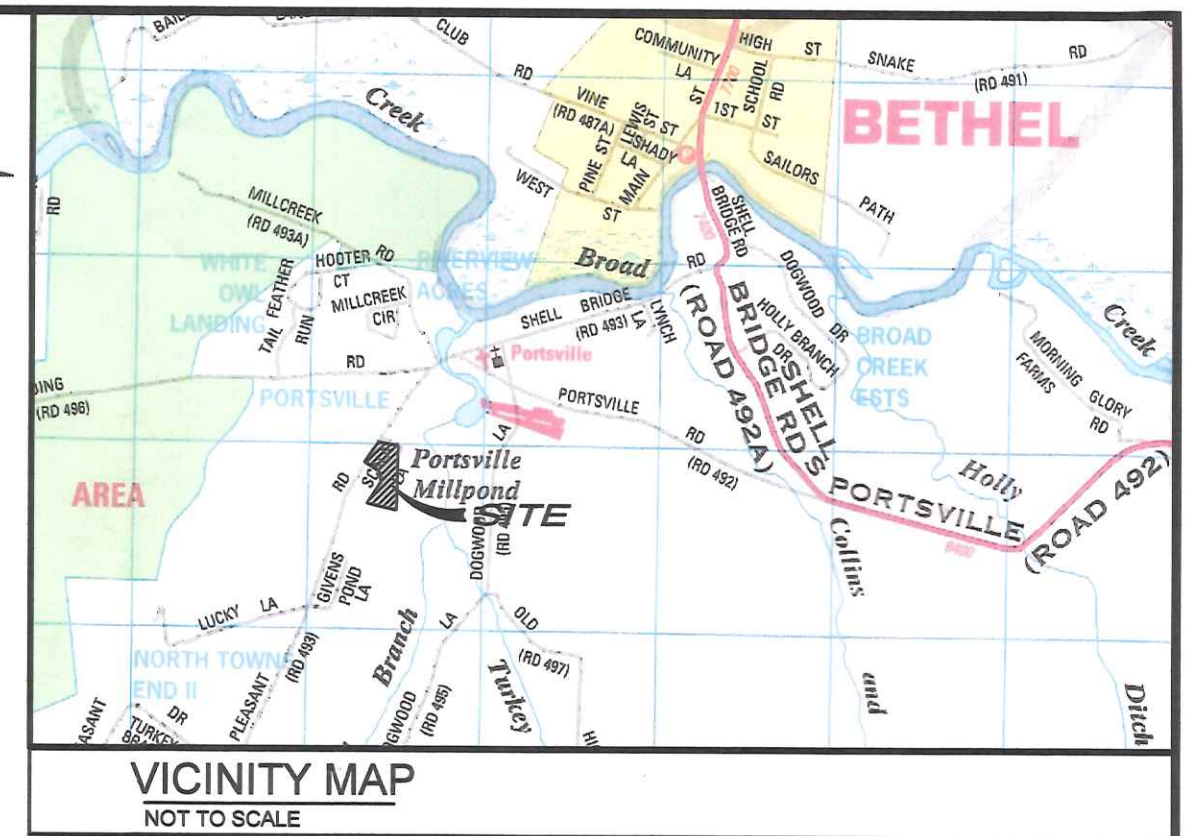
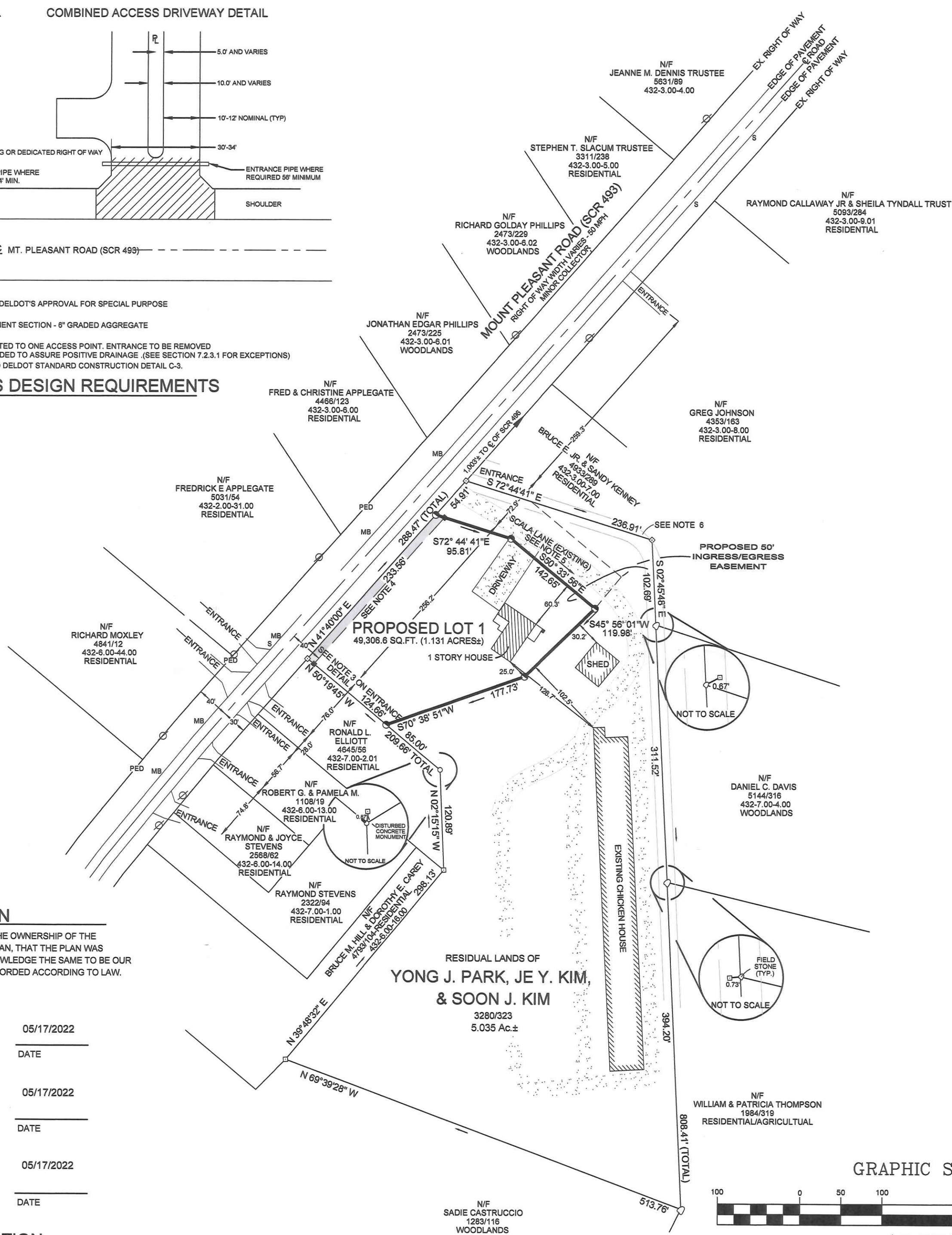


NOTES:

- 1.) DRIVEWAY WIDTHS MAY BE INCREASED WITH DELDOT'S APPROVAL FOR SPECIAL PURPOSE VEHICLES, I.E. FARM VEHICLES, ETC.
- 2.) MINIMUM RESIDENTIAL PAVEMENT SECTION - 8" GRADED AGGREGATE BASE COURSE.
- 3.) ACCESS TO RESIDENTIAL LOTS SHALL BE LIMITED TO ONE ACCESS POINT. ENTRANCE TO BE REMOVED TOPSOILED, SEEDED, MULCHED, AND RE-GRADED TO ASSURE POSITIVE DRAINAGE. (SEE SECTION 7.2.3.1 FOR EXCEPTIONS)
- 4.) ENTRANCE GEOMETRICS SHALL CONFORM TO DELDOT STANDARD CONSTRUCTION DETAIL C-3.

RESIDENTIAL ACCESS DESIGN REQUIREMENTS

NOT TO SCALE



SITE DATA

OWNERS: YONG J. PARK, JE Y. KIM, & SOON J. KIM
6425 LUCKY LANE
LAUREL DELAWARE 19956
302-236-2300

SURVEYOR: STEVEN M ADKINS LAND SURVEYING, LLC
212 E. FRONT STREET
LAUREL, DE 19956

TAX MAP: 432-7.00-2.00
DEED REF: DEED BOOK 3280, PAGE 323
PLOT REF: DEED BOOK 1932, PAGE 276

EXISTING LOTS: 1
PROPOSED LOTS: 2
LOT AREA: LOT 1: 49,306.6 SQ.FT. (1.131 ACRES±)
RESIDUAL: 5.035 ACRES±
LOT 1: PRIVATE
RESIDUAL: PRIVATE

SEWER/WATER: AGRICULTURAL/RESIDENTIAL

EXISTING LOT USE: AGRICULTURAL/RESIDENTIAL
PROPOSED LOT USE: LOT 1: RESIDENTIAL
LOT 2: AGRICULTURAL

ZONING: AR-1
SETBACKS: FRONT B.R.L. = 40'
SIDE B.R.L. = 15'
REAR B.R.L. = 20'

LOCAL ROAD FRONTAGE: LOT 1: 233.68' FEET± (MOUNT PLEASANT ROAD - SCR 493)
RESIDUE: 54.91' FEET± (MOUNT PLEASANT ROAD - SCR 493)

LOCAL ROAD SPEED LIMIT: 50 MPH
NEAREST TID: 50 MI. ±

LEGEND

- DEL-DOT CONCRETE MONUMENT TO BE SET
- CAPPED IRON ROD TO BE SET
- FOUND IRON PIPE
- FOUND CAPPED IRON ROD
- FOUND CONCRETE MONUMENT
- DEDICATED RIGHT OF WAY LINE
- ⊗ UTILITY POLE
- P ELECTRIC PEDESTAL
- S STREET SIGN
- MB MAIL BOX
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE

NOTES

1. THE BOUNDARY INFORMATION SHOWN HEREON WAS DERIVED FROM THE LAND RECORDS OF SUSSEX COUNTY, DELAWARE AND IS SUPPORTED BY BOUNDARY MONUMENTS FOUND/LOCATED DURING OUR FIELD RUN LAND SURVEY.
2. A TITLE SEARCH WAS NEITHER REQUESTED NOR PREPARED FOR THE SUBJECT PARCEL SHOWN HEREON, THEREFORE, THIS PLAN DOES NOT VERIFY THE EXISTENCE OF ANY RIGHTS OF WAY OR EASEMENTS WHICH MAY AFFECT THIS PARCEL OTHER THAN THE INFORMATION SHOWN ON THIS PLAN.
3. IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
4. A 40' WIDE STRIP OF RIGHT OF WAY FROM THE CENTERLINE IS HEREBY DEDICATED IN FEE SIMPLE IN FEE SIMPLE TO THE STATE OF DELAWARE, ACTING BY AND THROUGH THE DEPARTMENT OF TRANSPORTATION.
5. LOT 1 & THE RESIDUAL LANDS SHALL HAVE A SINGLE ACCESS TO SCR 493 VIA A 50' WIDE INGRESS/EGRESS EASEMENT AS SHOWN HEREON.
6. A 20' WIDE "MUTUAL ROAD" LEADING TO THE LANDS OF EDWARD R. FIEMCKE, ET AL. (NOW CLAY & LINDA DAVIS, TRUSTEES) WAS REFERENCED ON A PLAT PREPARED BY HAROLD COOK, LAND SURVEYOR, DATED NOVEMBER, 1970. THE FOUND FIELD STONES SHOWN HEREON LIE IN THE CENTER OF THE OLD ROAD REFERENCED ON THE AFOREMENTIONED COOK PLAT. THE ROAD IS UNUSABLE DUE TO TREES AT THE TIME OF THIS SURVEY.
7. ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
8. SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROAD WAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT OF WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED LAND OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
9. THE INTENT OF THIS LAND SURVEY IS TO SUBDIVIDE THE LANDS OF YONG J. PARK ET AL. (432-7.00-2.00) INTO (2) SEPARATE PARCELS (INCLUDING THE RESIDUAL LANDS) WHICH CONFORM TO THE STANDARDS ESTABLISHED BY SUSSEX COUNTY AND THE STATE OF DELAWARE.
10. a) PRIVATE MAINTENANCE - PRIVATE STREETS WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17, SECTION 131). DELDOT ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.
b) ENTRANCES TO PRIVATE STREETS SERVING MULTIPLE RESIDENTIAL LOTS SHOULD BE PAVED, FROM THE EDGE OF THE TRAVEL LANE TO THE ROW LINE (AT A MINIMUM), WITH A DRIVEWAY/THROAT WIDTH OF 16 TO 24 FEET (REFER TO DELDOT DDM REF-3.3.3)

OWNER'S CERTIFICATION

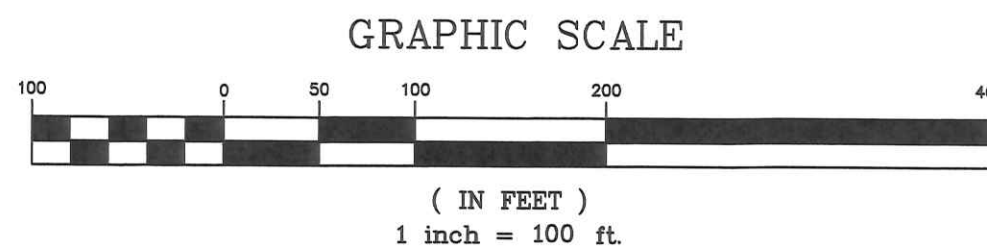
WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT WE DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

	05/17/2022
YONG J. PARK	DATE
	05/17/2022
JE Y. KIM	DATE
	05/17/2022
SOON J. KIM	DATE

SURVEYOR'S CERTIFICATION

I, STEVEN M. ADKINS, HEREBY ATTEST THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF DELAWARE AND THAT THE INFORMATION SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION AND ADHERES TO THE LAND SURVEYING STANDARDS ESTABLISHED BY THE STATE OF DELAWARE

	05/17/2022
STEVEN M. ADKINS	DATE
LS-700	



STEVEN M. ADKINS
Land Surveying, LLC
212 E. Front Street
Laurel, DE 19956
(302) 875-3555 - Office

MINOR SUBDIVISION OF THE LANDS OF
YONG J. PARK, JE Y. KIM & SOON J. KIM
31312 MT. PLEASANT ROAD
LITTLE CREEK HUNDRED
SUSSEX COUNTY, DELAWARE

DATE:	REV:
03/24/2022	08/24/2022
PROJECT #:	
2008034.01	
SCALE:	
1" = 100'	
DRAWN BY:	
S.M.A.	
CHECKED BY:	
S.M.A.	