

JAMIE WHITEHOUSE, AICP  
DIRECTOR OF PLANNING & ZONING  
(302) 855-7878 T  
(302) 854-5079 F  
jamie.whitehouse@sussexcountyde.gov



**Sussex County**

DELAWARE  
sussexcountyde.gov

## PLEASE NOTE

This paperless packet is published on the County's website for convenience purposes, and only includes information received up to the close of business on the day before a public hearing. Documents received after this, or documents submitted during the public hearing are not uploaded to the Paperless Packet. The legal record is the paper record maintained in the Offices of the Planning & Zoning Department.



COUNTY ADMINISTRATIVE OFFICES  
2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DELAWARE

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY WINGATE



2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DE 19947  
(302) 855-7878 T  
(302) 854-5079 F  
sussexcountyde.gov

# Sussex County Planning & Zoning Commission

## AGENDA

July 28, 2022

5:00 P.M.

### Call to Order

### Approval of Agenda

Approval of Minutes – June 23, 2022

### Other Business

Inland Bays (S-22-28 & C/U 2259) HW  
Preliminary Site Plan & Landscape Plan

Indian River Solar Farm (F.K.A Broom Solar) (C/U 2288) BM  
Preliminary Site Plan

Lewes Farmer's Market BM  
Revised Final Site Plan

Lands of Kenneth Schroder & Carolyn Patterson KH  
Minor Subdivision off of a 50-easement and a 20-ft easement

Lands of Yong J. Park, Je Y. Kim & Soon J. Kim HW  
Minor Subdivision off of a 50-ft easement

### Old Business

2021-29 Deer Creek KH  
A standard subdivision to divide 93.582 acres +/- into 79 single-family lots, to be located on a certain parcel of land lying and being in Cedar Creek Hundred, Sussex County. The property is lying on the north side of Staytonville Road (S.C.R. 224), at the northwest corner of the intersection of Staytonville Road (S.C.R. 224) and DuPont Boulevard (Rt. 113). Tax Parcel: 230-19.00-27.00. Zoning: AR-1 (Agricultural Residential District).

C/U 2300 MRBP, LLC HW  
An Ordinance to grant a Conditional Use of land in an AR-1 Agricultural Residential District for a borrow pit to be located on a certain parcel of land lying and being in



**Baltimore Hundred, Sussex County, containing 56.93 acres more or less.** The property is lying on the southwest side of McCary Road (S.C.R. 385), approximately 857-ft south of Frankford School Road (S.C.R. 92). 911 Address: N/A. Tax Parcels: 533-5.00-38.00 & 41.04.

**C/U 2301 Jason Tedesco**

HW

**An Ordinance to grant a Conditional Use of land in an AR-1 Agricultural Residential District for a landscaping business to be located on a certain parcel of land lying and being in Baltimore Hundred, Sussex County, containing 2.00 acres, more or less.** The property is lying on the west side of Roxana Road (Rt. 17), approximately 0.23 mile south of the intersection of Powell Farm Road (S.C.R. 365) and Peppers Corner Road (S.C.R. 365). 911 Address: 34018 Roxana Road, Frankford. Tax Parcel: 134-15.00-20.04.

**C/U 2303 Antonia Lopez Lopez**

BM

**An Ordinance to grant a Conditional Use of land in an AR-1 Agricultural Residential District for a food truck business to be located on a certain parcel of land lying and being in Indian River Hundred, Sussex County, containing 0.238 acres, more or less.** The property is lying on the northwest side of Jersey Road (S.C.R. 305), approximately 500-feet southwest of the intersection of John J. Williams Highway (Rt. 24) and Hollyville Road (S.C.R. 305). 911 Address: 26719 Jersey Road. Tax Parcel: 234-32.00-55.00

**C/Z 1961 Country Lawn Care & Maintenance, LLC**

KS

**An Ordinance to amend the Comprehensive Zoning Map of Sussex County from an AR-1 Agricultural Residential District to a C-2 Medium Commercial District for a portion of a certain parcel of land lying and being in Georgetown Hundred, Sussex County, containing 7.75 acres more or less.** The property is lying on the north side of Lewes-Georgetown Highway (Route 9), approximately 0.89 mile east of Steiner Road. 911 Address: 24347 Lewes-Georgetown Highway (Route 9). Tax Parcel: p/o 135-11.00-32.00.

**Public Hearings**

**2022-05 John & Anna LeCates**

BM

A standard subdivision to divide 5.03 acres +/- into three (3) single-family lots, to be located on certain parcels of land lying and being in Indian River Hundred, Sussex County. The property is lying on the southwest side of Conleys Chapel Road (S.C.R. 280-B), approximately 0.09 mile west of Quail Drive. Tax Parcels: 234-11.00-62.05, 62.22. Zoning: AR-1 (Agricultural Residential District).

**2022-07 Ocean 7 Group (c/o Tauhid Islam)**

BM

A standard subdivision to divide 4.3 acres +/- into two (2) lots to be located on a certain parcel of land lying and being in Lewes & Rehoboth Hundred, Sussex County. The property is lying on the north side of Lexus Lane, approximately 0.05 mile east of John J. Williams Highway (Route 24). Tax Parcel: 334-12.00-127.11. Zoning: CR-1 (Commercial Residential District).

**C/U 2306 Amanda Mapp**

HW

**An Ordinance to grant a Conditional Use of land in an AR-1 Agricultural Residential District for an irrigation business to be located on a certain parcel of land lying and being in Gumboro Hundred, Sussex County, containing 0.65 acres, more or less.** The property is lying on the north side of Little Lane, approximately 560 feet east of Whaleys Road (S.C.R. 62). 911 Address: 18667 Little Lane, Delmar. Tax Parcel: 333-13.00-5.04.

**C/U 2307 Ellendale Associates, LLC**

KH

**An Ordinance to grant a Conditional Use of land in an AR-1 Agricultural Residential District for a convenience store and fuel pumps to be located on a certain parcel of land lying and being in Cedar Creek Hundred, Sussex County, containing 2.76 acres, more or less.** The property is lying on the southwest corner of DuPont Boulevard (Route 113) and Beach Highway (Route 16). 911 Addresses: 16848 & 16870 Beach Highway, Ellendale. Tax Parcel: 230-26.00-98.00.

**C/U 2309 Rockswitch Properties, LLC**

KH

**An Ordinance to grant a Conditional Use of land in an AR-1 Agricultural Residential District for a real estate office to be located on a certain parcel of land lying and being in Broadkill Hundred, Sussex County, containing 1.38 acres, more or less.** The property is lying on the north side of Coastal Highway (Route 1) approximately 0.14 mile southeast of Deep Branch Road (S.C.R. 234). 911 Address: 12537 Coastal Highway, Milton. Tax Parcel: 235-8.00-62.00

**C/U 2310 Milton Community Food Pantry, Inc.**

KS

**An Ordinance to grant a Conditional Use of land in a GR General Residential District for a food pantry to be located on a certain parcel of land lying and being in Broadkill Hundred, Sussex County, containing 0.966 acres, more or less.** The property is lying on the west side of Union Street Ext. (Rt. 5), approximately 0.24 mile south of Reynolds Pond Road (S.C.R. 231). 911 Address: 12898 Union Street Ext., Milton. Tax Parcel: 235-7.00-18.00.

In accordance with 29 Del. C. §10004(e)(2), this Agenda was posted on July 20, 2022 at 12:00 p.m., and at least seven (7) days in advance of the meeting.

This Agenda is subject to change to include the addition or deletion of items, including Executive Sessions, which arise at the time of the Meeting.

Agenda items listed may be considered out of sequence.

Please note that Subdivision Reference 2022-06 Amelie Sloan Trust was not included in the agenda for this meeting. This application is to be re-advertised for a future Planning & Zoning Commission meeting date and will not be heard at this meeting.

-MEETING DETAILS-

The meeting will be streamed live at: <https://sussexcountyde.gov/council-chamber-broadcast>

The County provides a dial-in telephone number for the public to comment during the appropriate time of the meeting. **Note, the on-line stream experiences a 30-second delay.** Any person who dials in by telephone should listen to the teleconference audio to avoid the on-line stream delay.

To join the meeting via telephone, please dial:

**Conference Number: 1 302-394-5036**

**Conference Code: 570176**

Members of the public joining the meeting on the telephone will be provided an opportunity to make comments for those items listed under Public Hearings on this agenda.

The Planning & Zoning Commission meeting materials, including the “packet”, are electronically accessible on the County’s website at: <https://sussexcountyde.gov/>

If any member of the public would like to submit comments electronically, these may be sent to [pandz@sussexcountyde.gov](mailto:pandz@sussexcountyde.gov). All comments are encouraged to be submitted by 4:00 P.M on Wednesday, July 27, 2022.

###

JAMIE WHITEHOUSE, AICP  
DIRECTOR OF PLANNING & ZONING  
(302) 855-7878 T  
(302) 854-5079 F  
jamie.whitehouse@sussexcountyde.gov



# Sussex County

DELAWARE  
sussexcountyde.gov

## PLEASE NOTE

This paperless packet is published on the County's website for convenience purposes, and only includes information received up to the close of business on the day before a public hearing. Documents received after this, or documents submitted during the public hearing are not uploaded to the Paperless Packet. The legal record is the paper record maintained in the Offices of the Planning & Zoning Department.



COUNTY ADMINISTRATIVE OFFICES  
2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DELAWARE



## Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, AICP, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager; Lauren DeVore, AICP Planner III; Michael Lowrey, Planner III; Chase Phillips, Planner II; Christin Scott, Planner II; Elliott Young, Planner I & Jesse Lindenberg, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: July 18<sup>th</sup>, 2022

RE: Other Business for the July 28<sup>th</sup>, 2022, Planning Commission Meeting

---

This memo provides background for the Planning Commission to consider as a part of the Other Business to be reviewed during the July 28<sup>th</sup>, 2022, Meeting of the Planning & Zoning Commission.

### **Inland Bays (S-22-28 & C/U 2259)**

HW

Preliminary Site Plan & Landscape Plan

This is a Preliminary Site Plan and Landscape Plan for the construction of thirty (30) single-family detached condominiums, landscaping, and amenities to include a pool house, inground pool, community mail center, and related site improvements. The improvements are to be located on the north side of Fred Hudson Road (S.C.R. 360), approximately 0.25 mile east of Cedar Neck Road (S.C.R. 357). A Conditional Use (C/U 2259) to allow for multi-family dwelling units was approved by Sussex County Council on December 7, 2021 subject to nineteen (19) Conditions of Approval via Ordinance No. 2817. The Preliminary Site Plan complies with the Sussex County Zoning Codes and all Conditions of Approval. Tax Parcel: 134-13.00-72.02. Zoning: MR (Medium-Density Residential District). Staff are awaiting agency approvals; therefore, this plan can be considered for preliminary approval with final approval to be by staff.

### **Indian River Solar Farm (F.K.A. Broom Solar) (C/U 2288)**

Preliminary Site Plan

This is a Preliminary Site Plan for the construction of a solar array farm and other site improvements to be located on the north side of Frankford School Road (S.C.R. 92). The Planning and Zoning Commission at their February 27, 2022, meeting approved CU 2288. The Preliminary Site Plan complies with the Sussex County Zoning Code and all Conditions of Approval. Tax Parcel: 533-5.00-47.00. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are awaiting agency approvals.

### **Lewes Farmer's Market**

KS

Revised Final Site Plan

This is a Revised Final Site Plan for the addition of eight (8) shipping containers to be utilized as retail storage spaces. The revision proposes a reduction of seven (7) parking spaces with one (1) storage unit to be kept on a concrete pad behind the building. With the proposed reduction, the plan remains consistent with parking requirements of Chapter 115 as parking exceeds the minimum requirement of 81 spaces. 98 remain. The proposal is subject to any applicable approvals from other agencies. The Revised Final Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 334-6.00-497.03. Zoning: C-1 (General Commercial Zoning District). Staff are awaiting agency approvals.



**Lands of Kenneth Schroder & Carolyn Patterson**

KS

Minor off a 50-foot easement and a 20-foot easement

This is a Preliminary Minor Subdivision Plan for the subdivision of 20.747 acre +/- parcel of land into three (3) lots and residual lands off a 50-foot easement and a 20-foot easement. Proposed Lot 1 consists of 5.006 acres +/-; Proposed Lot 2 consists of 11.317 acres +/-; Proposed Lot 3 consists of 2.262 acres +/-; and the residual lot consists of 2.162 acres +/--. The property is located on the south side of Johnson Lane. The Preliminary Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Zoning: AR-1 (Agricultural Residential District). Tax Parcel: 234-9.00-47.00.

**Lands of Yong J. Park, Je Y. Kim & Soon J. Kim**

Minor Subdivision off a 50-ft Easement

This is a Minor Subdivision Plan for the subdivision of 6.166 acre +/- parcel of land into one (1) lot and residual lands off a 50-foot ingress/egress access easement. Proposed Lot 1 consists of 1.131 acres and the residual lands consist of 5.035 acres +/--. The property is located on the southeast side of Mount Pleasant Road (S.C.R. 493). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Zoning: AR-1 (Agricultural Residential District). Tax Parcel: 432-7.00-2.00. Staff are in receipt of all agency approvals.

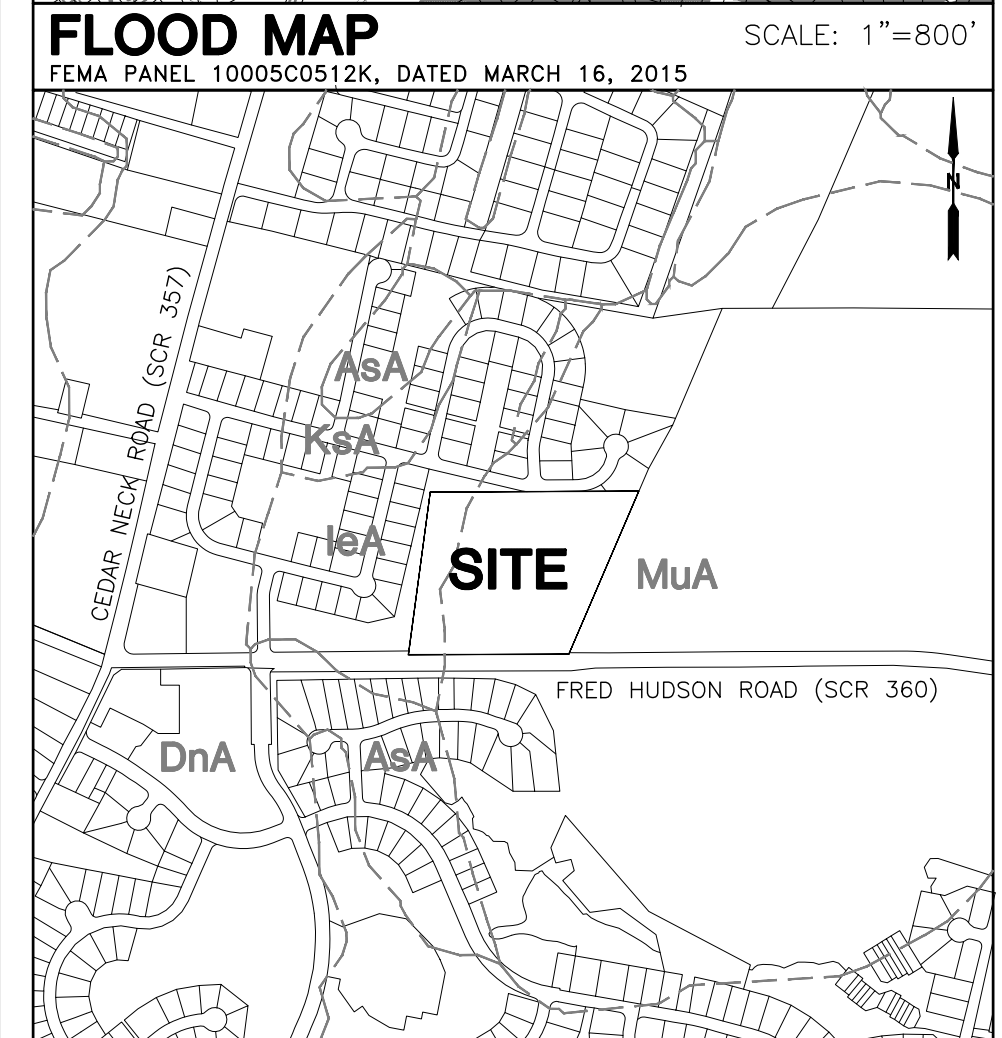
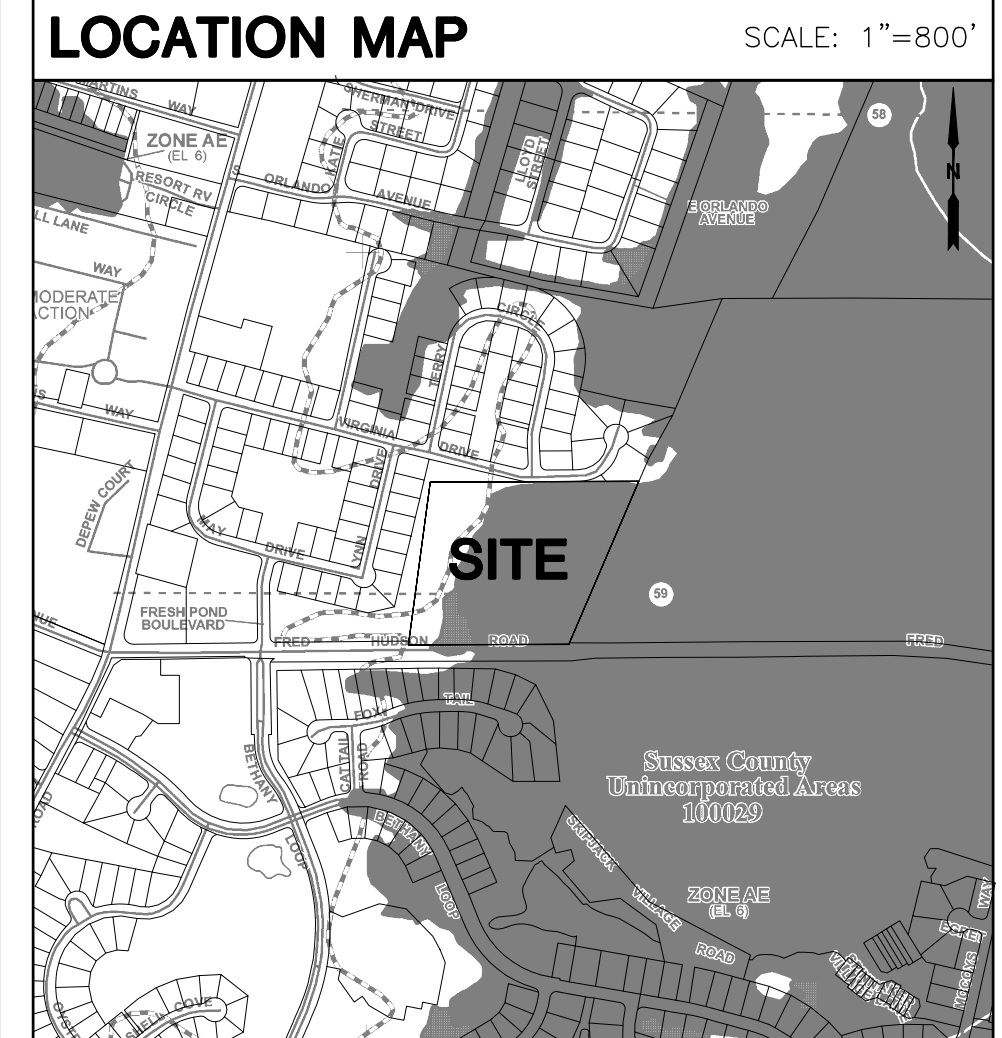
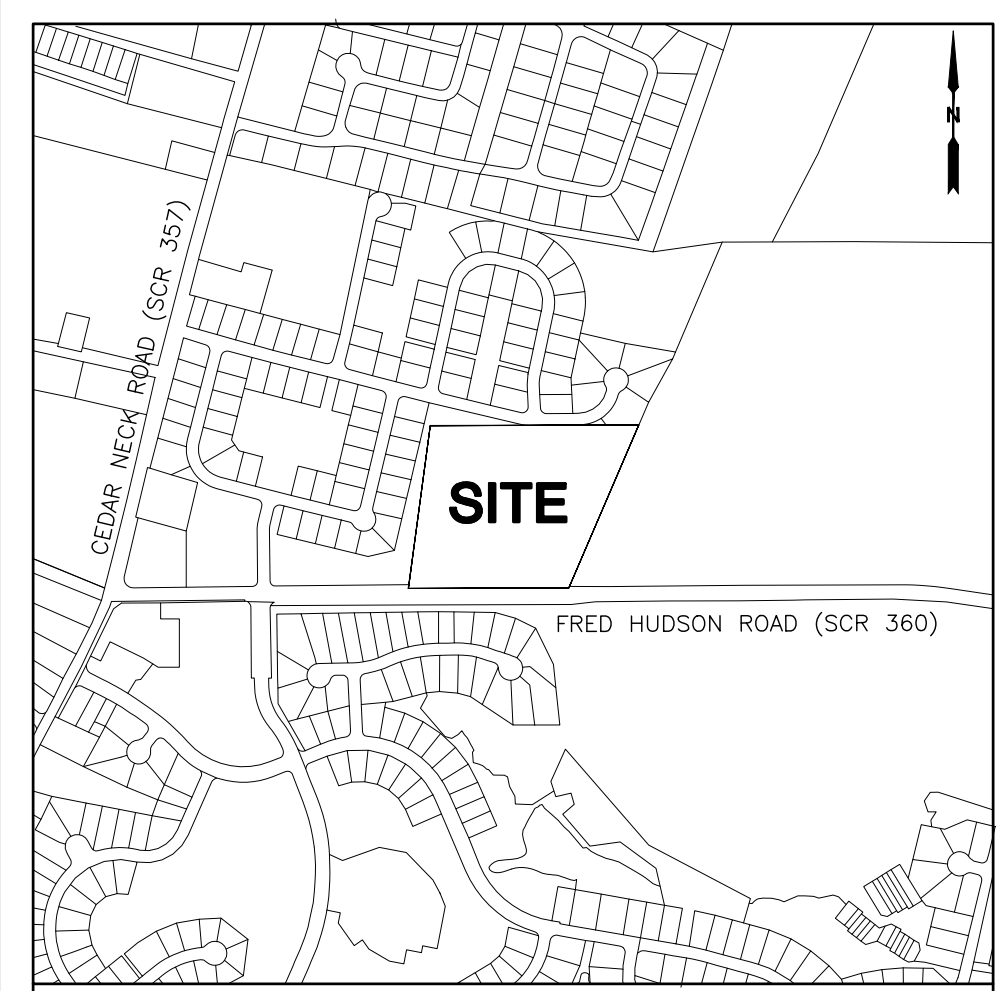


# INLAND BAYS COMMUNITY

## BALTIMORE HUNDRED SUSSEX COUNTY, DELAWARE

### RECORD PLAN (CU #2259) FEBRUARY 2022

**DELDOT RECORD PLAN GENERAL NOTES**  
REVISED MARCH 21, 2019



**DATA COLUMN**

TAX MAP ID: 134-13.00-72.02  
 DEED REFERENCE: D/4994/347  
 COUNTY PROJECT NO.: S-22-28  
 DATUM: NAVD 88  
 VERTICAL: NAVD 88  
 HORIZONTAL: NAVD 83 (DE STATE PLANE)  
 LAND USE: VACANT RESIDENTIAL  
 EXISTING: 30 SINGLE FAMILY CONDOMINIUMS  
 PROPOSED: COASTAL AREA  
 FUTURE LAND USE MAP DESIGNATION: COASTAL AREA  
 ZONING: (MR) MEDIUM DENSITY RESIDENTIAL  
 CONDITIONAL USE #: 2259 (APPROVED BY P&Z COMMISSION ON 06/24/2021, APPROVED BY SUSSEX COUNTY COUNCIL ON 12/7/2021 AND ADOPTED THROUGH ORDINANCE NO. 2817)  
 UNITS: 30  
 SINGLE FAMILY HOMES: 30  
 TYPICAL SIZE: 28' X 56' (1,568 S.F.)  
 DENSITY: 4.0 UNITS/ACRE  
 PROPOSED: 2.6 UNITS/ACRE  
 BUILDING SETBACKS: FRONT SETBACK: 40 FT., SIDE SETBACK: 10 FT., REAR SETBACK: 10 FT., CORNER FRONT SETBACK: 15 FT.  
 MINIMUM REQUIREMENTS: DISTANCE BETWEEN STRUCTURES: 10 FT.  
 MAXIMUM REQUIREMENTS: BUILDING HEIGHT: 42 FT. (2 STORIES)  
 AREAS: EXISTING SITE: SITE AREA: 11.962 AC., WETLANDS (INCLUDED IN SITE AREA): 6.124 AC., RIGHT OF WAY DEDICATION: -0.231 AC., NET DEVELOPMENT AREA: 11.731 AC.  
 IMPERVIOUS AREAS: ROAD AND CURB: 0.450 AC., SIDEWALK: 0.077 AC., BUILDINGS: 1.084 AC., DRIVEWAYS: 0.346 AC., POOL: 0.053 AC., PARKING: 0.346 AC., TOTAL: 2.456 AC. (21%)  
 WOODLANDS: EXISTING: 9.723 AC., TO BE REMOVED: 2.692 AC. (INCLUDE WOODS IN R/W DEDICATION), TOTAL REMAINING: 7.031 AC.  
 OPEN SPACE: SWM: 0.318 AC., WOODS & WETLANDS: 7.031 AC., LANDSCAPE BUFFER: 0.464 AC., POOL: 0.053 AC., OTHER OPEN AREAS: 1.872 AC., TOTAL: 9.742 AC. (83%)  
 SCW DISCHARGE LOCATIONS & L.O.D.: POND 1: (N:202697.0943, E:752868.2599), POND 2: (N:203172.6726, E:752941.1162), TOTAL L.O.D.: 4.82± AC.  
 UTILITIES: SEWER PROVIDER: SUSSEX COUNTY (CEDAR NECK EXPANSION SSD), WATER PROVIDER: PUBLIC (SUSSEX SHORES)  
 LAT/LON: CONCRETE MONUMENT SET: BENCHMARK: SOUTHWEST PROPERTY CORNER, LAT:38.5560, LON:75.0797, ELEV: 7.84, DNREC MARKER BENCHMARK: SOUTHEAST PROPERTY CORNER, LAT:38.5559, LON:75.0774, ELEV: 5.28  
 PROPOSED BUILDING CONSTRUCTION: WOOD FRAMED/TIMBER PILE FOUNDATIONS  
 WETLANDS - THIS PROPERTY IS IMPACTED BY NONTIDAL WETLANDS.  
 FLOODPLAIN - THE PROPERTY IS IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA PANEL 10005C0512K, DATED MARCH 16, 2015.  
 THE PROPERTY IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA.  
 THE PROPERTY IS WITHIN AN AREA OF FAIR AND GOOD GROUNDWATER RECHARGE POTENTIAL.  
 THE PROPERTY IS LOCATED WITHIN THE AE AND 0.2% ANNUAL CHANCE FLOOD ZONES.  
 STATE STRATEGIES MAP: INVESTMENT LEVELS 2, 3, AND 4 THIS PROPERTY IS NOT LOCATED IN A TRANSPORTATION IMPROVEMENT DISTRICT (TID).  
 THIS PROPERTY IS LOCATED 1,300± TO THE EAST OF THE INTERSECTION OF CEDAR NECK ROAD (SCR 357) AND FRED HUDSON ROAD (SCR 360).  
 FRED HUDSON ROAD POSTED SPEED LIMIT: 40 M.P.H.  
 OWNER/DEVELOPER: EVG-COUNTY VENTURES, LLC, EVERGREENE HOMES C/O TIM NAUGHTON, 33716 COASTAL HIGHWAY, SUITE 3, BETHANY BEACH, DELAWARE 19930, PHONE: 701-667-7878  
 ENGINEER: DAVIS, BOWEN & FRIEDEL, INC., CLIFTON D. MUMFORD, P.E., CDM@DBFNC.COM, 1 PARK AVE., MILFORD, DE 19963, PHONE: 302-424-1441, FAX: 302-424-0430

**LOCATION MAP** SCALE: 1"=800'

**FLOOD MAP** SCALE: 1"=800'

**SOILS MAP** SCALE: 1"=800'

Asa: ASKECKSY LOAMY SAND; 0 TO 2 PERCENT SLOPES (B/D)  
 Dna: DOWNER LOAMY SAND; 0 TO 2 PERCENT SLOPES (B)  
 IaA: INGLESDIE LOAMY SAND; 0 TO 2 PERCENT SLOPES (B)  
 KsA: KLEJ LOAMY SAND; 0 TO 2 PERCENT SLOPES (C)  
 MuA: MULLICA-BERRYLAND COMPLEX; 0 TO 2 PERCENT SLOPES (B/D)

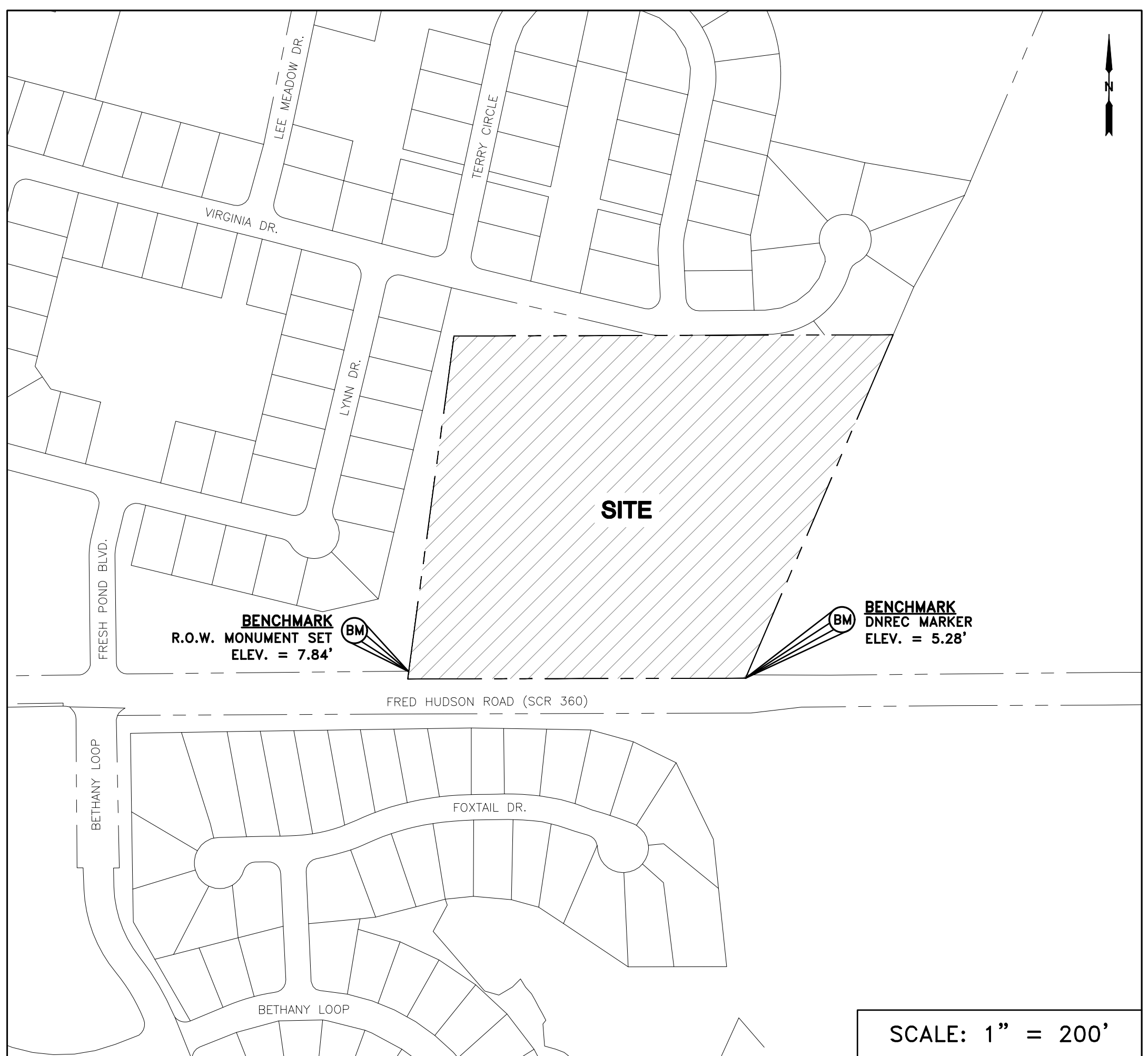
**TRAFFIC DIAGRAM**  
NO SCALE

LEGEND: WWDY ADT, PEAK ADT, PEAK HOUR, TRIP DISTRIBUTION

88 (10) [6] [51%]  
 88 (4) [10] [51%]  
 7,302 (1,083) [683]

84 (3) [10] [49%]  
 7,302 (683) [1,083]  
 84 (10) [6] [49%]

FRED HUDSON ROAD (SUSSEX ROAD 360)



- CONDITIONS OF APPROVAL (CU 2259):**
- AT THEIR MEETING OF TUESDAY, DECEMBER 7, 2021, THE SUSSEX COUNTY COUNCIL APPROVED THE CONDITIONAL USE APPLICATION FOR MULTIFAMILY DWELLING UNITS (30) SUBJECT TO NINETEEN (19) CONDITIONS. THE CONDITIONAL USE SHALL BE SUBSTANTIALLY UNDERWAY WITHIN THREE (3) YEARS OF THE COUNTY COUNCIL APPROVAL OTHERWISE THE CONDITIONAL USE SHALL EXPIRE. A SITE PLAN SHOWING THE CONDITIONS OF APPROVAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING COMMISSION PRIOR TO COMMENCEMENT OF THE USE ON THE PARCEL. THE FOLLOWING ARE THE CONDITIONS:
- THE MAXIMUM NUMBER OF RESIDENTIAL UNITS WITHIN THIS ENTIRE DEVELOPMENT SHALL BE 30.
  - THE APPLICANT SHALL FORM A CONDOMINIUM ASSOCIATION TO BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF THE DEVELOPMENT'S ROADWAYS, BUFFERS, STORMWATER MANAGEMENT FACILITIES, EROSION AND SEDIMENTATION CONTROL FACILITIES AND OTHER COMMON AREAS.
  - ALL ENTRANCE, INTERSECTION, ROADWAY AND MULTI-MODAL IMPROVEMENTS SHALL BE COMPLETED BY THE DEVELOPER IN ACCORDANCE WITH ALL DELDOT REQUIREMENTS.
  - THE PROJECT SHALL BE SERVED BY SUSSEX COUNTY SEWER. THE DEVELOPER SHALL COMPLY WITH ALL SUSSEX COUNTY ENGINEERING DEPARTMENT REQUIREMENTS INCLUDING ANY OFFSITE UPGRADES NECESSARY TO PROVIDE SERVICE TO THE PROJECT.
  - THE PROJECT SHALL BE SERVED BY CENTRAL WATER TO PROVIDE DRINKING WATER AND FIRE PROTECTION.
  - STREET NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY MAPPING AND ADDRESSING DEPARTMENT.
  - THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX COUNTY CONSERVATION DISTRICT FOR THE DESIGN AND LOCATION OF ALL STORMWATER MANAGEMENT AREAS AND EROSION AND SEDIMENTATION CONTROL FACILITIES.
  - ALL STREETLIGHTS SHALL BE SHIELDED AND DOWNWARD SCREENED SO THAT THEY DO NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
  - THE INTERIOR STREET DESIGN SHALL MEET OR EXCEED SUSSEX COUNTY'S STREET DESIGN REQUIREMENTS. THERE SHALL BE SIDEWALKS ON AT LEAST ONE SIDE OF ALL STREETS.
  - IF REQUESTED BY THE LOCAL SCHOOL DISTRICT, A SCHOOL BUS STOP SHALL BE PROVIDED. THE LOCATION OF THE BUS STOP SHALL BE SHOWN ON THE FINAL SITE PLAN.
  - RECREATIONAL AMENITIES SHALL BE COMPLETED NO LATER THAN THE ISSUANCE OF THE 15TH RESIDENTIAL BUILDING PERMIT. THESE AMENITIES SHALL INCLUDE A POOL, POOL DECK, AND BATHROOMS.
  - CONSTRUCTION SITE WORK AND DELIVERIES SHALL ONLY OCCUR ON THE SITE BETWEEN THE HOURS OF 7:00AM THROUGH 6:00PM, MONDAY THROUGH FRIDAY. NO SATURDAY OR SUNDAY HOURS ARE PERMITTED. A 24 INCH BY 36 INCH "NOTICE" SIGN CONFIRMING THESE HOURS SHALL BE PROMINENTLY DISPLAYED AT ALL ENTRANCES TO THE SITE DURING CONSTRUCTION.
  - ALL OF THE BUILDINGS SHALL BE SET BACK AT LEAST 20 FEET FROM ALL NON-TIDAL WETLANDS.
  - THERE SHALL BE A VEGETATED OR FORESTED BUFFER THAT IS AT LEAST 20 FEET WIDE INSTALLED ALONG THE WESTERN PERIMETER OF THIS DEVELOPMENT. THIS SHALL UTILIZE THE EXISTING POPLAR TREES WITHIN THE BUFFER AREA WITH VEGETATION ADDED AS GREEN IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 115-218D AND 99-5 OF THE COUNTY CODE. WHERE THE TREES CURRENTLY EXIST IN THE BUFFER AREA, STUMP REMOVAL OR CONSTRUCTION ACTIVITIES THAT DISTURB THE EXISTING GRADE OF THE AREA WITHIN THE BUFFER SHALL BE PROHIBITED. ALL SILT FENCING SHALL BE LOCATED ALONG THE INTERIOR LIMIT OF THE BUFFER AREA (THE EDGE OF THE BUFFER NEAREST THE INTERIOR DEVELOPMENT) AND THE FINAL SITE PLAN SHALL IDENTIFY THE "LIMIT OF DISTURBANCE" TO PREVENT DISTURBANCE OF THE BUFFER AREA. IN ADDITION, A SPLIT RAIL OR SIMILAR TYPE OF FENCE SHALL BE INSTALLED ALONG THE BOUNDARY LINE OF THE PROPERTY NEXT TO THE BUFFER. THE BUFFER SHALL CONTINUE ALONG THE NORTH BOUNDARY FROM THE SITE'S NORTHWEST CORNER TO A POINT WHERE THE COUNTY SEWER EASEMENT BEGINS. FROM THAT POINT TO THE POINT OF THE EXISTING COUNTY SEWER TIE-IN, THE APPLICANT SHALL CONSTRUCT A PRIVACY FENCE AT LEAST SIX (6) FEET IN HEIGHT ALONG THE NORTHERN BOUNDARY.
  - THE FINAL SITE PLAN SHALL INCLUDE A LANDSCAPE PLAN CONFIRMING ALL LANDSCAPING TO BE PROVIDED, THE PRESERVATION OF ALL BUFFER AREAS AND THE FORESTED AREAS THAT WILL BE PRESERVED. THIS LANDSCAPE PLAN SHALL FURTHER IDENTIFY ALL "LIMITS OF DISTURBANCE" WITHIN THE SITE.
  - THE FINAL SITE PLAN SHALL INCLUDE A GRADING PLAN FOR THE SITE. NO BUILDING PERMITS SHALL BE ISSUED UNTIL A LOT GRADING PLAN HAS BEEN SUPPLIED TO AND APPROVED BY SUSSEX COUNTY. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL A GRADING CERTIFICATE IS SUBMITTED TO THE BUILDING CODE DEPARTMENT DEMONSTRATING GENERAL CONFORMITY WITH THE INDIVIDUAL SITE GRADING PLAN.
  - AS OFFERED BY THE APPLICANT, THE FINAL SITE PLAN AND THE RECORDED CONDOMINIUM COVENANTS SHALL PROHIBIT THE APPLICATION OF FERTILIZERS OR SIMILAR SOIL ADDITIVES ON THE PROPERTY BY THE INDIVIDUAL UNIT OWNERS. ALL SUCH APPLICATIONS SHALL BE MANAGED BY THE CONDOMINIUM ASSOCIATION AND A CONTRACTOR OF ITS DESIGNATION USING BEST MANAGEMENT PRACTICES TO SEEK TO MINIMIZE THE RISK OF RUNOFF INTO THE STORMWATER MANAGEMENT SYSTEM, WETLANDS AND WATERWAYS.
  - RAILROADS TO ABIDE BY THESE CONDITIONS MAY BE GROUNDS FOR THE TERMINATION OF THIS CONDITIONAL USE.
  - THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.

**SHEET INDEX**

TITLE SHEET	V-100
RECORD PLAN	V-101

**WETLANDS STATEMENT**

I, EDWARD M. LAUNAY, SPWS, STATE THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED WITHIN THE AREA OF PROPOSED WORK, AS ILLUSTRATED ON THESE PLANS HAS BEEN DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL AND ALL CURRENTLY APPLICABLE SUPPLEMENTAL GUIDANCE INCLUDING THE ATLANTIC AND GULF COAST REGIONAL MANUAL (VERSION 2.0). THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES.

IN ACCORDANCE WITH DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL WETLAND MAPS, THERE ARE NO STATE (DNREC) REGULATED WETLANDS ON THE SITE.

**ENGINEER'S STATEMENT**

I, CLIFTON D. MUMFORD, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

**OWNER'S CERTIFICATION**

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED ON THIS PLAN, THAT THE PLAN WAS MADE BY MY DIRECTION AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

EDWARD M. LAUNAY, PWS NO. 875 DATE  
 SOCIETY OF WETLANDS SCIENTISTS  
 CORPS OF ENGINEERS, CERTIFIED WETLAND  
 DELINEATOR WDCP93MD0510036B

DAVIS, BOWEN & FRIEDEL, INC. DATE  
 BY CLIFTON D. MUMFORD, P.E.

EVG-COUNTY VENTURES, LLC DATE  
 EVERGREENE HOMES C/O TIM NAUGHTON  
 33716 COASTAL HIGHWAY, SUITE 3  
 BETHANY BEACH, DE 19930

ARCHITECTS ENGINEERS SURVEYORS  
 DAVIS, BOWEN & FRIEDEL, INC.  
 1998D008  
 FEBRUARY 2022  
 INLAND BAYS

**WETLANDS LINE TABLE A**

LINE	BEARING	DISTANCE
LA-1	N 78°39'28" W	21.30'
LA-2	N 13°01'29" W	19.27'
LA-3	N 08°45'03" E	87.15'
LA-4	N 15°28'47" E	33.02'
LA-5	N 29°46'49" E	70.34'
LA-6	N 48°23'16" E	107.28'
LA-7	N 00°22'17" E	39.49'
LA-8	S 64°18'39" W	32.44'
LA-10	S 44°05'31" W	57.82'
LA-11	S 54°29'17" W	41.37'
LA-12	S 31°06'07" W	28.77'
LA-13	S 27°54'49" W	132.08'
LA-14	S 04°25'41" W	68.83'
LA-15	S 75°20'01" W	45.66'
LA-16	N 47°13'39" W	47.56'
LA-17	N 34°34'31" W	68.98'
LA-18	N 58°33'58" W	49.72'
LA-19	N 19°57'43" W	59.91'
LA-20	N 30°42'33" E	61.63'
LA-21	N 29°05'12" E	116.92'
LA-22	N 36°26'42" W	50.42'
LA-23	N 10°47'08" E	52.56'
LA-24	N 36°28'15" E	85.91'
LA-25	N 52°53'28" E	51.95'
LA-26	N 36°17'17" E	56.95'
LA-27	N 62°10'26" E	36.82'
LA-28	N 19°15'17" W	47.87'
LA-29	N 08°55'11" W	30.84'

**WETLANDS LINE TABLE B**

LINE	BEARING	DISTANCE
LB-1	S 01°21'04" W	77.53'
LB-2	S 36°17'10" W	50.05'
LB-3	S 34°40'57" W	52.80'
LB-4	S 07°08'20" W	72.79'
LB-5	S 72°29'18" E	47.29'
LB-6	N 58°59'59" E	66.66'
LB-7	N 44°57'02" E	52.40'
LB-8	N 28°59'14" E	72.87'
LB-9	N 22°22'48" E	88.94'
LB-10	N 23°51'42" E	28.06'

**EASEMENT E LINE TABLE**

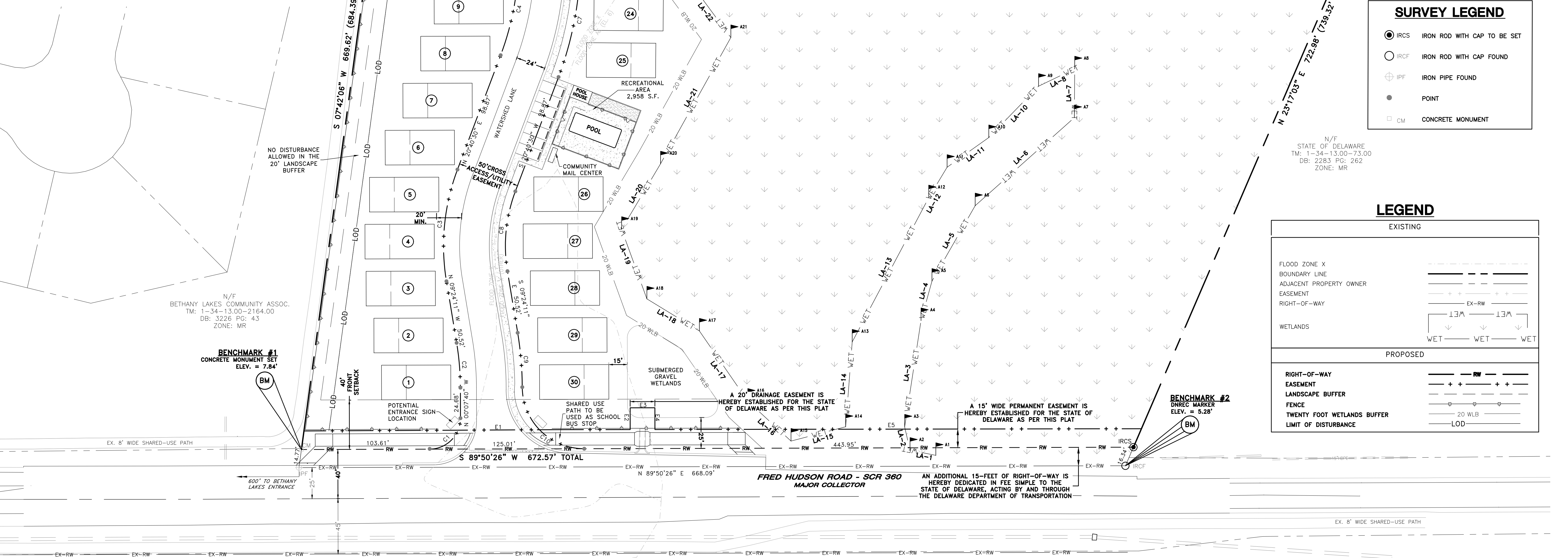
LINE	BEARING	DISTANCE
E1	N 89°54'29" E	57.40'
E2	S 00°05'31" E	17.60'
E3	N 89°55'13" E	20.00'
E4	S 00°05'31" E	17.60'
E5	S 89°54'29" W	393.25'

**EASEMENT D LINE TABLE**

LINE	BEARING	DISTANCE
D1	N 89°50'34" E	315.14'
D2	S 00°09'26" E	25.32'
D3	S 89°50'34" W	255.74'
D4	S 42°27'19" W	10.56'
D5	N 00°09'26" W	23.79'

**EASEMENT D CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
DC-1	51.00'	67.28'	62.50'	N 86°29'55" W	75°35'00"

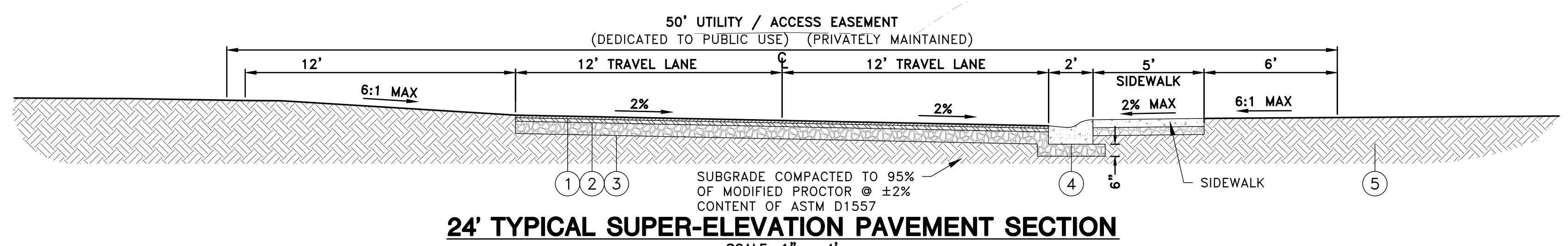


**SURVEY LEGEND**

- IRCS IRON ROD WITH CAP TO BE SET
- IRCF IRON ROD WITH CAP FOUND
- ⊕ IPF IRON PIPE FOUND
- POINT
- CM CONCRETE MONUMENT

**LEGEND**

EXISTING	
FLOOD ZONE X	---
BOUNDARY LINE	---
ADJACENT PROPERTY OWNER EASEMENT	---
RIGHT-OF-WAY	EX-RW
WETLANDS	WET
PROPOSED	
RIGHT-OF-WAY	RW
EASEMENT	---
LANDSCAPE BUFFER	---
FENCE	---
TWENTY FOOT WETLANDS BUFFER	20 WLB
LIMIT OF DISTURBANCE	LOD



**LEGEND**

- BITUMINOUS CONCRETE, SUPERPAVE, TYPE 'C', PG 64-22, 160 GYRATIONS (CARBONATE STONE)
- BITUMINOUS CONCRETE, SUPERPAVE, TYPE 'B', PG 64-22, 160 GYRATIONS
- GRADED AGGREGATE BASE COURSE, TYPE 'B', SHALL BE OVER APPROVED SUBGRADE
- INTEGRAL P.C.C. CURB & GUTTER TYPE 2
- ITEM 908002 - TOPSOIL (6" DEPTH), ITEM 908014 - PERMANENT GRASS SEEDING, DRY GROUND

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	25.00'	39.28'	35.35'	N 44°51'23" E	88°48'08"
C2	225.00'	36.42'	36.38'	N 04°45'55" W	9°16'31"
C3	175.00'	91.87'	90.82'	S 05°38'10" W	30°04'41"
C4	225.00'	79.40'	78.99'	S 10°33'56" W	20°13'08"
C5	51.00'	223.95'	82.73'	N 53°44'53" W	25°13'59"29"
C6	25.00'	31.24'	29.24'	S 38°15'07" W	71°35'29"
C7	275.00'	97.04'	96.54'	N 10°53'56" E	20°13'08"
C8	125.00'	65.62'	64.87'	S 05°38'10" W	30°04'41"
C9	275.00'	44.19'	44.14'	S 04°47'58" E	9°12'26"
C10	50.00'	78.51'	70.69'	N 45°10'40" W	89°57'50"

**DAVIS, BOWEN & FRIEDEL, INC.**  
ARCHITECTS ENGINEERS SURVEYORS  
GALLERY WAREHOUSE  
BALTIMORE, DELAWARE (302) 421-1411  
EASTON, MARYLAND (410) 770-4714

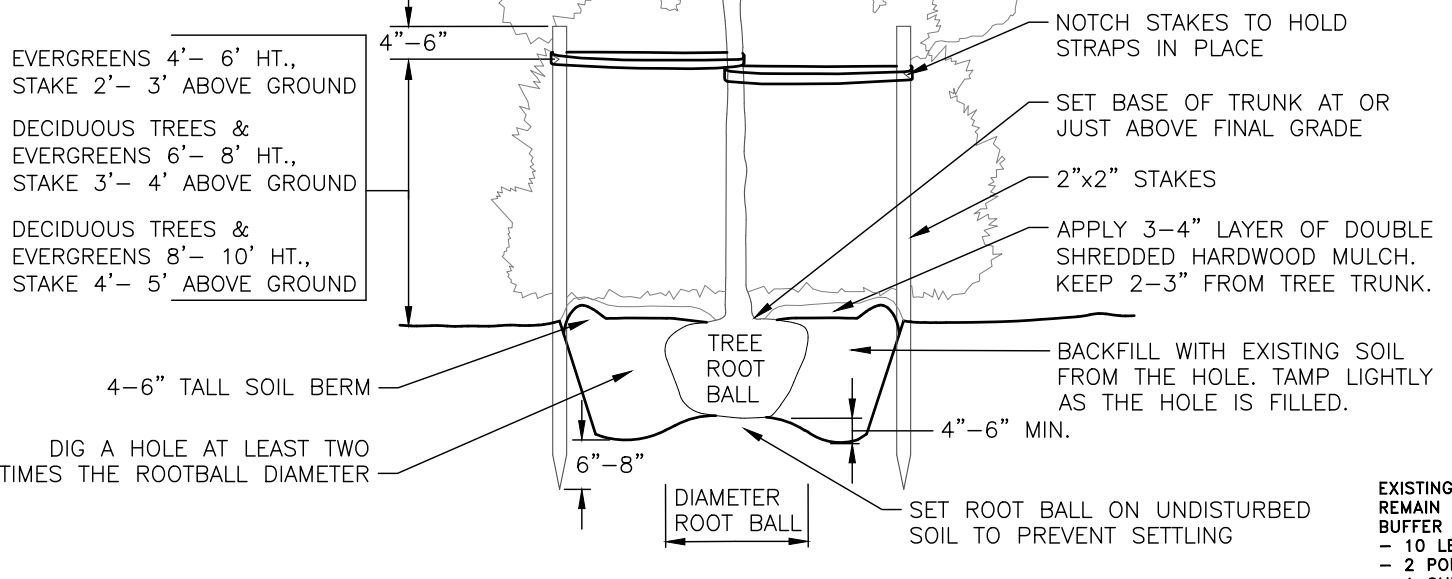
**INLAND BAYS  
BALTIMORE HUNDRED  
SUSSEX COUNTY, DELAWARE**

Revisions:  
2022-04-08: SCD  
2022-05-26: SCE  
2022-07-05: SCE  
DINREC  
2022-07-15: P&Z

Date: FEBRUARY, 2022  
Scale: 1" = 40'  
Dwn. By: TCB  
Proj. No.: 1998D008  
Dwg. No.:

**V-101**

NOTE:  
 - WATER DEEPLY ONCE A WEEK DURING THE FIRST TWO SUMMERS. APPLY A MINIMUM OF 5-10 GALLONS OF WATER EACH WEEK.  
 - CAREFULLY REMOVE CONTAINERS, WRAPPINGS, WIRES AND TIES FROM ROOT BALL BEFORE PLANTING.  
 - LOOSEN OUTSIDE ROOTS, AND UNWRAP ANY CIRCLING ROOTS.  
 - SECURE STAKES WITH WIDE FLEXIBLE MATERIAL SUCH AS WEBBING STRAPS OR CHAINLOCK TIES. ALLOW FOR TREE MOVEMENT.



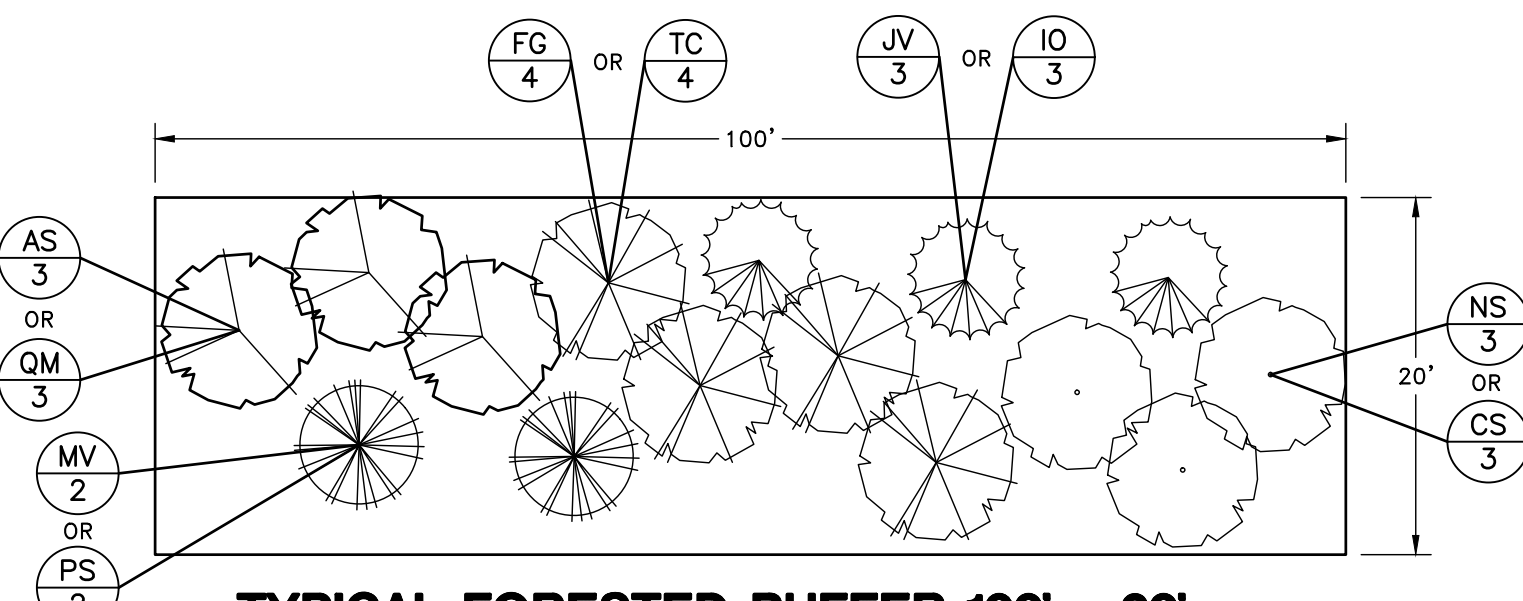
**TREE PLANTING DETAIL**  
NO SCALE

LANDSCAPE PLANT SCHEDULE					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
<b>DECIDUOUS TREE</b>					
AS		Acer saccharum Green Mountain	SUGAR MAPLE	1 3/4 - 2" Cal., B&B	11
QM		Quercus phellos	WILLOW OAK	1 3/4 - 2" Cal., B&B	8
FG		Fagus grandifolia	AMERICAN BEECH	1 3/4 - 2" Cal., B&B	10
TC		Tilia cordata	LITTLELEAF LINDEN	1 3/4 - 2" Cal., B&B	8
NS		Nyssa sylvatica	BLACK TUPELO	1 3/4 - 2" Cal., B&B	9
CS		Corya ovata	SHAGBARK HICKORY	1 3/4 - 2" Cal., B&B	9
<b>EVERGREEN TREE</b>					
MV		Magnolia virginiana	SWEETBAY MAGNOLIA	5'6" Ht., B&B	6
PS		Pinus strobus	EASTERN WHITE PINE	5'6" Ht., B&B	5
JV		Juniperus virginiana	EASTERN RED CEDAR	5'6" Ht., B&B	9
IO		Ilex opaca	AMERICAN HOLLY	5'6" Ht., B&B	4



**GENERAL LANDSCAPE NOTES**

1. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK".
2. THE LAND DEVELOPER SHALL BE HELD RESPONSIBLE FOR THE HEALTH AND SURVIVAL OF THE TREES INCLUDING REGULAR NECESSARY WATERING FOR A MINIMUM OF TWO YEARS OR UNTIL SUCH LATER DATE AS THE MAINTENANCE RESPONSIBILITIES ARE TRANSFERRED TO A HOMEOWNERS ASSOCIATION, PROVIDED HOWEVER THAT THE DEVELOPER SHALL REPLACE ANY TREES THAT DIE DURING THE MINIMUM TWO YEAR DEVELOPER MAINTENANCE PRIOR TO TRANSFERRING MAINTENANCE RESPONSIBILITIES TO A HOMEOWNERS ASSOCIATION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
4. NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER.
5. ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN.)
6. EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
7. ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 6'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STAKING DETAIL SHOWN.
8. THE FULL EXTENT OF ALL PLANTING BEDS SHALL RECEIVE 4" OF TOPSOIL AND 3" OF BARK MULCH PER SPECIFICATIONS.
9. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
10. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
11. THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.
12. THERE IS AN EXISTING DRIVEWAY THAT WILL NEED TO BE REMOVED TO ESTABLISH THE FORESTED BUFFER. THE EXISTING DRIVEWAY IS WITHIN THE 20' AREA THAT IS NOT TO BE DISTURBED. MINIMIZE THE DISTURBANCE AS MUCH AS POSSIBLE WHILE REMOVING THE DRIVEWAY. TOPSOIL, SEED, AND MULCH THE AREA AFTER REMOVAL OF THE DRIVEWAY TO EXISTING GRADE.



**TYPICAL FORESTED BUFFER 100' x 20'**  
NOT TO SCALE

ARCHITECTS ENGINEERS SURVEYORS  
 DAVIS, BOWEN & FRIEDEL, INC.  
 1300 GARDEN CITY ROAD  
 BALTIMORE, DELAWARE 21202  
 (410) 421-1411  
 (410) 770-4714

**LANDSCAPE PLAN**

**INLAND BAYS  
 BALTIMORE HUNDRED  
 SUSSEX COUNTY, DELAWARE**

Revisions:  
 2022-04-08: SCD  
 2022-05-26: SCE  
 2022-07-05: SCE  
 DNR/EC  
 2022-07-15: P&Z

Date: **FEBRUARY, 2022**  
 Scale: **1" = 40'**  
 Dwn.By: **TCB**  
 Proj.No.: **1998D008**  
 Dwg.No.: **L-101**

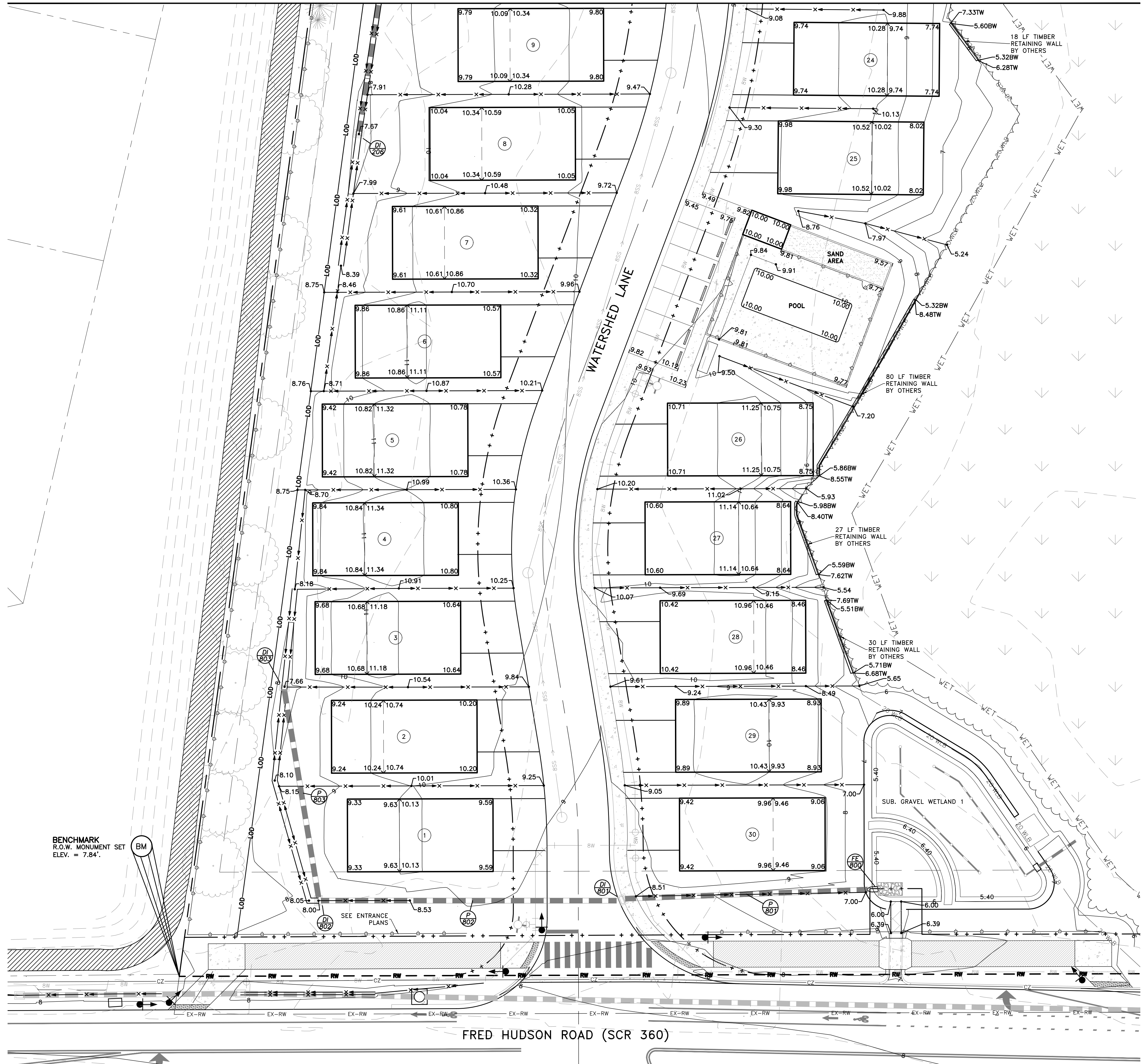
**L-101**

P:\Evergreen Companies\Inland Bays Community\Design\1998D002 - LANDSCAPE PLAN.dwg, Jul 20, 2022 - 1:14:40am BART





MATCHLINE (SEE SHEET, C-303)



**NOTES:**

1. ALL UNITS ARE TO BE CONSTRUCTED ON PILES. FINISH FLOOR ELEVATIONS ARE NOT SHOWN TO ELIMINATE CONFUSION.
2. GARAGE SLABS ARE ON BOTTOM FLOOR AND RUN TO THE DASHED LINE THEN TURN TO GRAVEL TO THE BACK OF THE BUILDING BOX.

BENCHMARK  
R.O.W. MONUMENT SET  
ELEV. = 7.84'

FRED HUDSON ROAD (SCR 360)



P:\Evergreen Companies\Inland Bays Community\Design\1998D002 - GRADING PLAN.dwg, Jul 05, 2022 - 1:19pm BART

**DAVIS, BOWEN & FRIEDEL, INC.**  
ARCHITECTS ENGINEERS SURVEYORS  
1000 W. MARKET ST.  
MILFORD, DELAWARE 19967  
EASTON, MARYLAND 21829  
(302) 432-2800  
(302) 432-1441  
(410) 770-4714

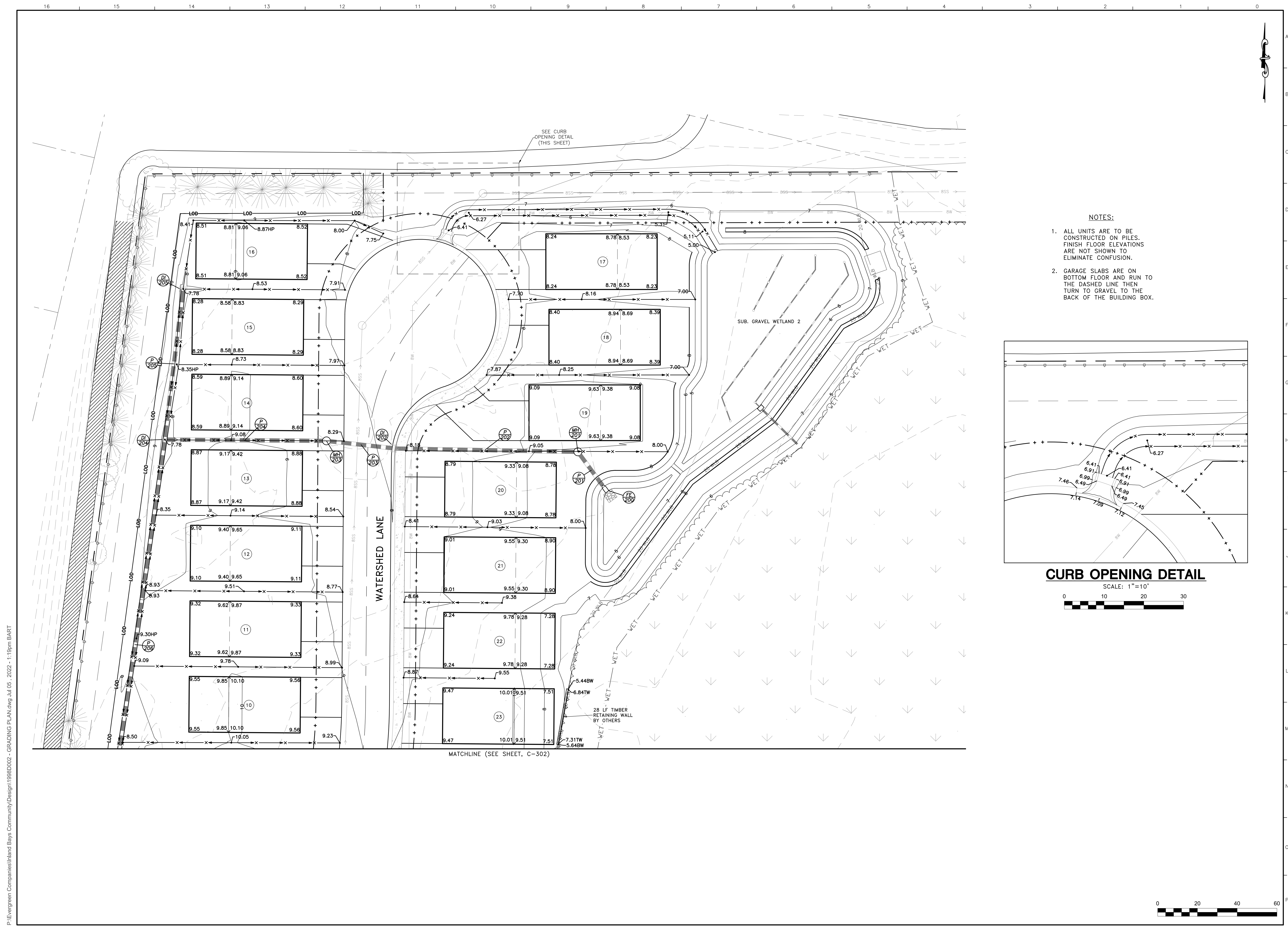
DETAILED GRADING PLAN

**INLAND BAYS  
BALTIMORE HUNDRED  
SUSSEX COUNTY, DELAWARE**

Revisions:  
2022-04-08: SCD  
2022-05-26: SCE  
2022-07-05: SCE  
DNREC

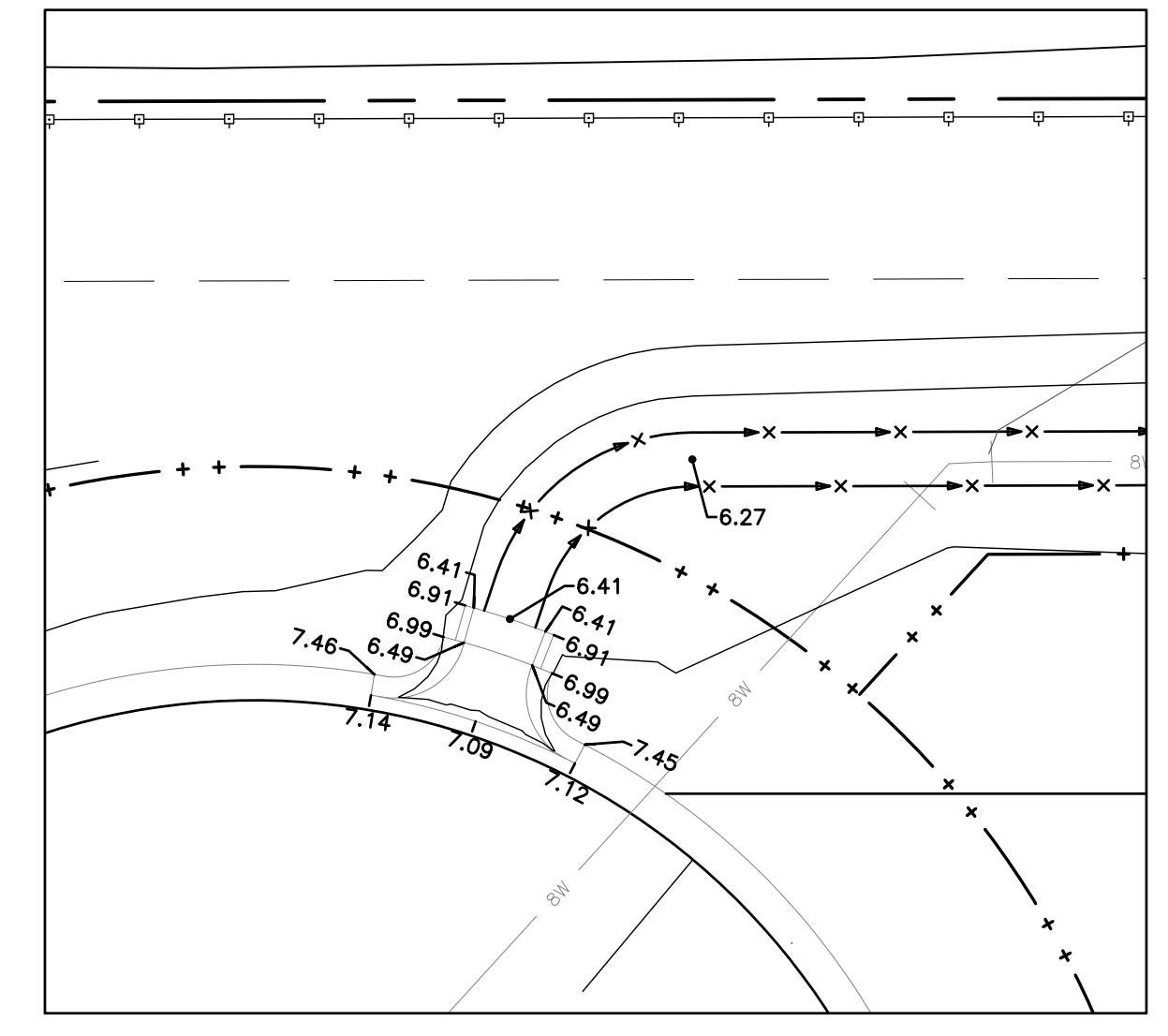
Date: **FEBRUARY, 2022**  
Scale: **1" = 20'**  
Dwn. By: **BJM**  
Proj. No.: **1998D008**  
Dwg. No.:

**C-302**

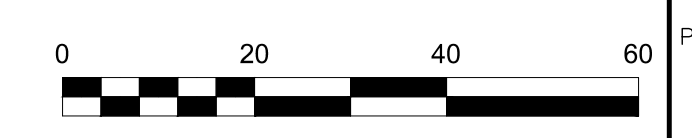
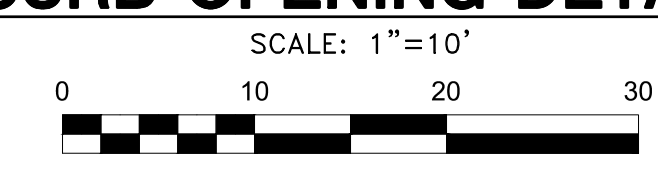


**NOTES:**

1. ALL UNITS ARE TO BE CONSTRUCTED ON PILES. FINISH FLOOR ELEVATIONS ARE NOT SHOWN TO ELIMINATE CONFUSION.
2. GARAGE SLABS ARE ON BOTTOM FLOOR AND RUN TO THE DASHED LINE THEN TURN TO GRAVEL TO THE BACK OF THE BUILDING BOX.



**CURB OPENING DETAIL**



ARCHITECTS ENGINEERS SURVEYORS  
**DAVIS, BOWEN & FRIEDEL, INC.**  
 1000 W. BALTIMORE AVENUE  
 BALTIMORE, MARYLAND 21201  
 (410) 528-8800  
 (410) 424-1441  
 (410) 770-4744

DETAILED GRADING PLAN

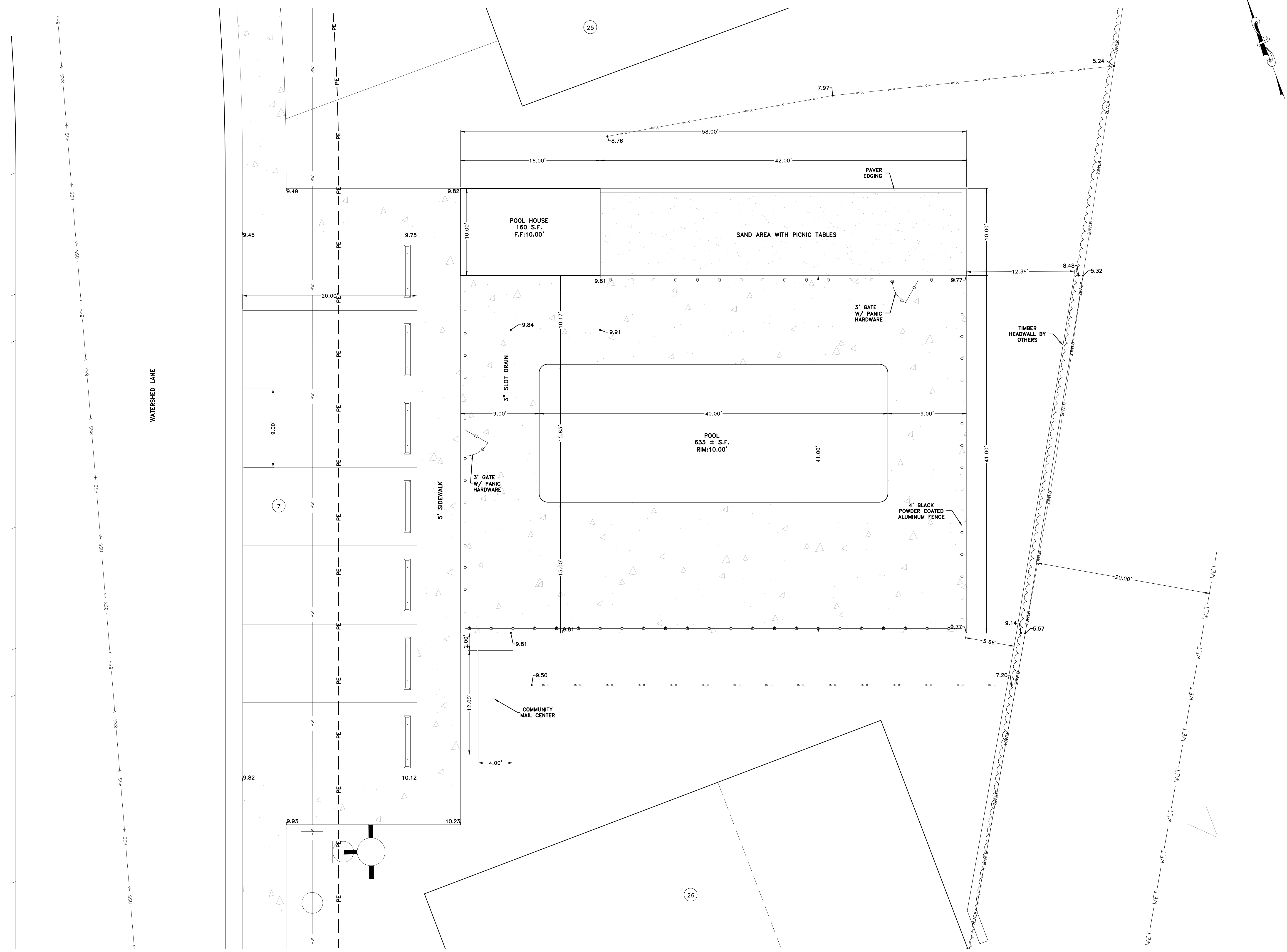
**INLAND BAYS**  
**BALTIMORE HUNDRED**  
**SUSSEX COUNTY, DELAWARE**

Revisions:  
 2022-04-08: SCD  
 2022-05-26: SCE  
 2022-07-05: SCE  
 DNREC

Date: **FEBRUARY, 2022**  
 Scale: **1" = 20'**  
 Dwn. By: **BJM**  
 Proj. No.: **1998D008**  
 Dwg. No.:

**C-303**

P:\Evergreen Companies\Inland Bays Community\Design\1998D002 - GRADING PLAN.dwg, Jul 05, 2022 - 1:19pm BART



**DAVIS, BOWEN & FRIEDEL, INC.**  
 ARCHITECTS ENGINEERS SURVEYORS  
 1501 W. BROAD ST.  
 BALTIMORE, MARYLAND 21201  
 (410) 528-2800  
 (410) 528-1441  
 (410) 770-4714

**INLAND BAYS  
 BALTIMORE HUNDRED  
 SUSSEX COUNTY, DELAWARE**

Revisions:

Date:	JUNE, 2022
Scale:	1" = 5'
Drawn By:	DLW
Proj. No.:	1998D008
Dwg. No.:	C-601

# INDIAN RIVER SOLAR FARM (FORMERLY KNOWN AS BROOM SOLAR)

ADJACENT TO 32419 FRANKFORD SCHOOL ROAD, FRANKFORD, DELAWARE, 19945

## PRELIMINARY SITE PLAN SET

**PREPARED FOR: BROOM SOLAR PARTNERS, LLC  
D/B/A INDIAN RIVER SOLAR FARM  
6940 COLUMBIA GATEWAY DRIVE, SUITE 400  
COLUMBIA, MD 21046**

**PREPARED BY: TRC ENGINEERS, INC.**

**DATE: JUNE 2022**

PROJECT CONTACT LIST

DEVELOPER/CONTRACTOR  
TBD

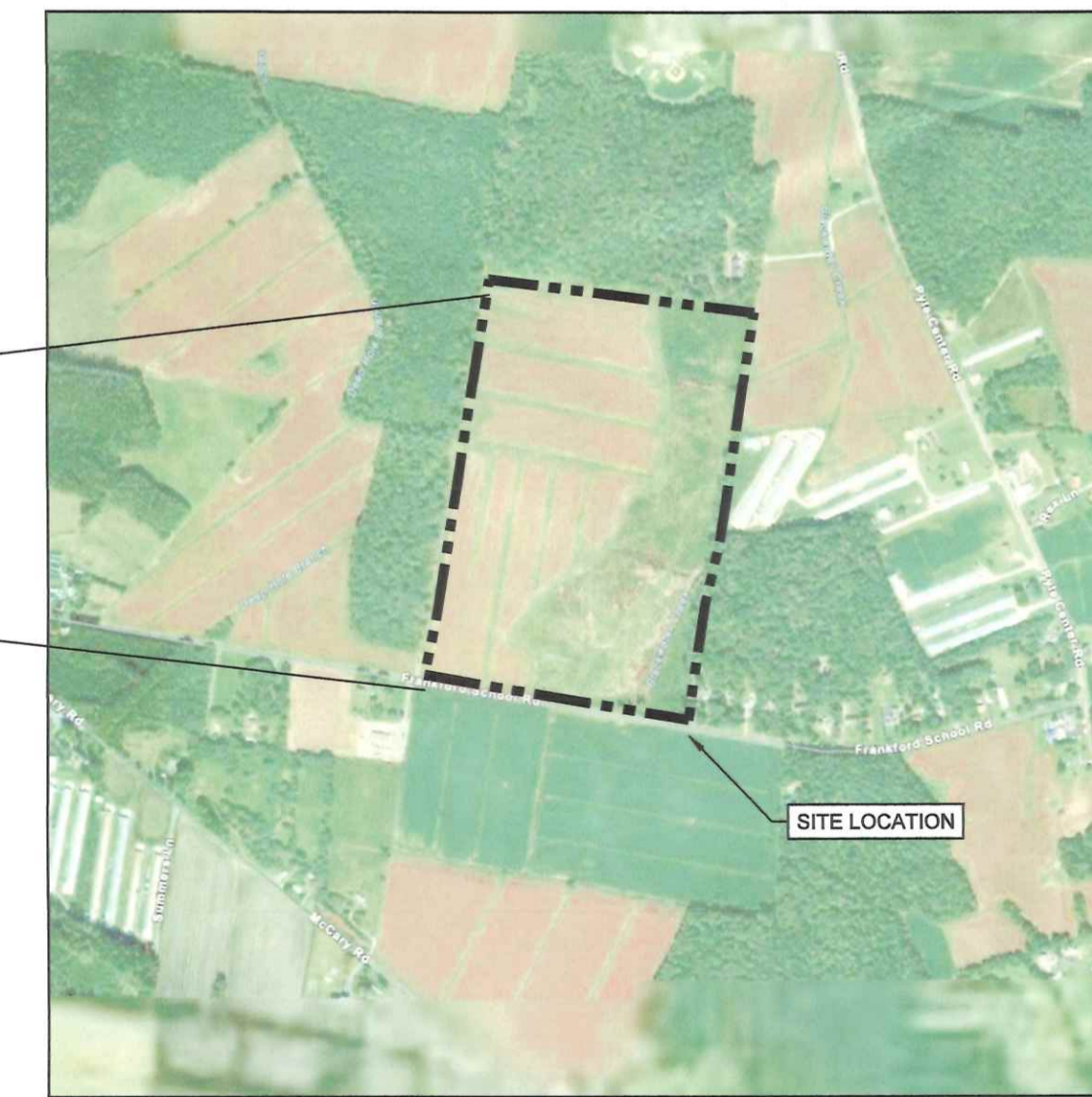
CIVIL ENGINEER  
TRC ENGINEERS, INC.  
1430 BROADWAY, 10TH FLOOR  
NEW YORK, NY 10018  
CONTACT: STEVEN MEERSMA, PE  
PHONE: 212.221.7840  
EMAIL: SMEERSMA@TRCCOMPANIES.COM

ELECTRICAL ENGINEER  
TBD

<b>DRAWING INDEX</b>	
SHEET NUMBER	SHEET TITLE
C-1.0	COVER SHEET
C-2.0	NOTES
C-3.0	EXISTING CONDITIONS
C-4.0	SITE PLAN
C-4.1	SITE PLAN NORTH
C-4.2	SITE PLAN SOUTH
C-5.0	DETAILS
C-6.0	DETAILS
C-7.0	DETAILS
MRA STORMWATER PLANS	
1 OF 6	SEDIMENT AND STORMWATER COVER SHEET
2 OF 6	CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN
3 OF 6	CONSTRUCTION SITE STORMWATER MANAGEMENT DETAILS AND NOTES
4 OF 6	CONSTRUCTION SITE STORMWATER MANAGEMENT DETAILS AND NOTES
5 OF 6	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
6 OF 6	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS



**SUSSEX COUNTY**  
NTS



**SITE LOCATOR**  
NTS

NO.	BY	DATE	REVISION	APPD.

ISSUED FOR PRELIMINARY SITE  
PLAN APPROVAL.  
NOT FOR CONSTRUCTION.



DRAWING NAME: TRC-2022-06-01-INDIAN RIVER SOLAR FARM PRELIMINARY SITE PLAN SET - LAYOUT COVER SHEET  
DRAWING NO.: TRC-2022-06-01-INDIAN RIVER SOLAR FARM PRELIMINARY SITE PLAN SET - LAYOUT COVER SHEET  
DATE: 2022-06-01  
PROJECT: INDIAN RIVER SOLAR FARM  
LOCATION: FRANKFORD, DE  
SCALE: NTS  
DRAWN BY: TRC  
CHECKED BY: TRC  
DATE: 2022-06-01



**DELDOT GENERAL COMMERCIAL ENTRANCE NOTES**

**DELDOT GENERAL NOTES:**

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- ALL MATERIALS AND WORKMANSHIP WITHIN THE STATE OF DELAWARE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CURRENT STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SUPPLEMENTAL SPECIFICATIONS, STANDARD CONSTRUCTION DETAILS, SPECIAL PROVISIONS, PAS MANUAL AND DESIGN GUIDANCE MEMORANDUMS.
- ALL DISTURBED AREAS WITHIN THE STATE RIGHT-OF-WAY, BUT NOT IN THE PAVEMENT, SHALL BE TOP-SOILED (6" MINIMUM), FERTILIZED, SEEDED AND MULCHED. IF SOD IS USED NEXT TO SIDEWALK OR SHARED-USE PATH, CONTRACTOR SHALL GRADE TOPSOIL ADJACENT TO THE SIDEWALK OR SHARED-USE PATH PRIOR TO PLACEMENT OF SOD TO ENSURE THAT SOD IS PLACED FLUSH OR JUST BELOW EDGE OF SIDEWALK OR SHARED-USE PATH TO AVOID WATER PONDING ON THE SIDEWALK OR SHARED-USE PATH.
- A 72-HOUR (MINIMUM) NOTICE SHALL BE GIVEN TO THE DELDOT DISTRICT PERMIT SUPERVISOR PRIOR TO STARTING ENTRANCE CONSTRUCTION.
- MISS UTILITY OF DELAWARE SHALL BE NOTIFIED THREE (3) CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
- AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR, ANY DAMAGED OR MISSING CURB OR SIDEWALK FOUND ON SITE WILL NEED TO BE REPAIRED OR REPLACED TO MEET CURRENT DELDOT STANDARDS.
- ALL SIGNING, STRIPING AND MAINTENANCE OF TRAFFIC IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL FOLLOW THE GUIDELINES SHOWN IN THE DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (DELAWARE MUTCD) FOR STREETS AND HIGHWAYS (LATEST EDITION AT THE DATE OF THE ENTRANCE PERMIT APPROVAL). THE DEVELOPER OR PROPERTY OWNERS SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL SIGNS INSTALLED AS PART OF THIS PROJECT.
- PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE DELDOT INSPECTOR.
- A COPY OF THE UP-TO DATE APPROVED CONSTRUCTION DOCUMENTS AND DELDOT APPROVAL LETTERS SHALL BE MAINTAINED ON THE PROJECT SITE AT ALL TIMES AND BE AVAILABLE FOR INSPECTION BY DELDOT PERSONNEL.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. THESE DISTURBED AREAS SHALL BE TOP-SOILED (6" MINIMUM), FERTILIZED, SEEDED AND MULCHED. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH THE DEVELOPMENT COORDINATION MANUAL.
- DELDOT WILL NOT PROVIDE THE RESPECTIVE LOCAL LAND USE AGENCY WITH A 'NO OBJECTION TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY NOTICE' UNTIL THE ENTRANCE(S) ARE COMPLETED TO THE SATISFACTION OF THE DEPARTMENT.
- DESIGN, FABRICATION AND INSTALLATION OF ALL PERMANENT SIGNING SHALL BE AS OUTLINED IN THE LATEST VERSION OF THE DELAWARE MUTCD.
- DESIGN AND INSTALLATION OF ALL PAVEMENT MARKINGS AND STRIPING SHALL BE AS OUTLINED IN THE LATEST VERSION OF THE DELAWARE MUTCD, FOR FINAL PERMANENT PAVEMENT MARKINGS:
  - EPOXY RESIN PAINT SHALL BE REQUIRED FOR LONG LINE STRIPING.
  - THERMO PLASTIC (EXTRUDED OR PREFORMED MATERIAL) WILL BE REQUIRED ON ASPHALT SURFACES, FOR SHORT LINE STRIPING, I.E. SYMBOLS/LEGENDS.
  - PERMANENT PAVEMENT MARKING TAPE (PER DELDOT'S APPROVED MATERIALS LIST) WILL BE REQUIRED ON CONCRETE SURFACES, FOR SHORT LINE STRIPING, I.E. SYMBOLS/LEGENDS.
- REMOVAL OF PAVEMENT MARKING PAINT OR TAPE SHALL COMPLY WITH SECTION 5.11.2 OF THE DEVELOPMENT COORDINATION MANUAL.
- BREAKAWAY POSTS SHALL BE USED WHEN INSTALLING ALL SIGNS. REFERENCE DELDOT'S STANDARD CONSTRUCTION DETAILS, SECTION VIII - TRAFFIC, T-15.
- ALL FIXED OBJECTS ARE TO BE A MINIMUM OF 10-FEET FROM THE EDGE OF TRAVEL LANE AND 5-FEET FROM THE EDGE OF PAVEMENT. REFERENCE SECTION 5.5.5 OF THE DEVELOPMENT COORDINATION MANUAL. ANY FIXED OBJECT THAT DOES NOT MEET THIS REQUIREMENT SHALL BE RELOCATED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL PAVING WITHIN THE STATE OF DELAWARE RIGHT-OF-WAY IS INSTALLED IN SUCH A WAY THAT NO PONDING OF WATER EXISTS AFTER PAVING IS COMPLETE.
- ALL STORM DRAIN PIPING DESIGNATED AS REINFORCED CONCRETE PIPE IS TO BE REINFORCED CONCRETE PIPE, MEETING AASHTO M-170 SPECIFICATIONS. SEE PLANS FOR SPECIFIC CLASS OF PIPE.
- ALL SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM STANDARD T-99 DRY DENSITY.

**MAINTENANCE OF TRAFFIC NOTES**

- ALL TEMPORARY TRAFFIC CONTROL AND TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE LATEST VERSION OF THE DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (HEREINAFTER REFERRED TO AS THE "DELAWARE MUTCD"), CURRENT STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND SUPPLEMENTAL SPECIFICATIONS, INCLUDING ALL REVISIONS AS OF THE DATE OF THE ENTRANCE PERMIT APPROVAL.
- THE DEPARTMENT RESERVES THE RIGHT TO STOP THE CONTRACTOR'S OPERATIONS, IF, IN THE OPINION OF THE DEPARTMENT'S REPRESENTATIVE, THE CONTRACTOR'S OPERATIONS ARE NOT IN COMPLIANCE WITH THE DELAWARE MUTCD, THE SPECIFICATIONS OR THE PLANS OR IF THE CONTRACTOR'S OPERATIONS ARE DEEMED UNSAFE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE TRANSPORTATION MANAGEMENT CENTER IS NOTIFIED EACH AND EVERY DAY WHEN WORK IS BEING PERFORMED IN STATE RIGHT-OF-WAY. THE CONTRACTOR SHALL IDENTIFY THE TYPE OF WORK, ANY LANE(S) OR SHOULDER(S) CLOSED, THE LENGTH OF TIME FOR WORK, WHEN THE LANE RESTRICTIONS ARE IN PLACE AND WHEN LANE RESTRICTIONS ARE LIFTED, CONTACT PERSON/PHONE NUMBER AND STATE INSPECTOR. THE TRANSPORTATION MANAGEMENT CENTER CAN BE REACHED AT (302) 659-4600.
- ALL PAVEMENT MARKINGS THAT ARE NO LONGER IN USE AND CONFLICT WITH TEMPORARY PAVEMENT MARKINGS SHALL BE REMOVED AND COMPLETELY OBLITERATED BY A METHOD APPROVED BY THE ENGINEER. PAINTING OVER THE CONFLICTING PAVEMENT MARKINGS WILL NOT BE ACCEPTED AS A METHOD OF REMOVAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE LOCAL 911 CENTER, LOCAL SCHOOLS AND DELDOT COMMUNITY RELATIONS OF ALL ROADS AND LANES TO BE CLOSED A MINIMUM OF SEVEN (7) CALENDAR DAYS BEFORE THE CLOSURE.
- ALLOWABLE LANE CLOSURE HOURS SHALL BE IN ACCORDANCE WITH P.I. NUMBER C-09, PLANNED LANE RESTRICTION AND ROAD CLOSURE POLICY, UNLESS DIRECTED OTHERWISE BY DELDOT TRAFFIC SAFETY.
- THE CONTRACTOR SHALL PROVIDE PEDESTRIAN MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH THE DELAWARE MUTCD DURING CONSTRUCTION ACTIVITIES THAT IMPACT EXISTING PEDESTRIAN FACILITIES.
- ACCEPTABLE MATERIALS FOR TEMPORARY PEDESTRIAN PATHS SHALL INCLUDE CONCRETE, HOT-MIX, COMPACTED MILLINGS OR PLYWOOD WALKWAY STRUCTURE. PLYWOOD WALKWAY STRUCTURES SHALL ALSO INCLUDE DETECTABLE EDGING AND RAILINGS IN ACCORDANCE WITH ADA GUIDELINES AND THE DELAWARE MUTCD. STONE OR GRADED AGGREGATE BASE COURSE SHALL NOT BE USED FOR TEMPORARY PEDESTRIAN PATHS.
- ALL STORAGE OF EQUIPMENT AND MATERIAL SHALL COMPLY WITH THE DELAWARE MUTCD, SECTION 6G.21.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF EXISTING PAVEMENT WITHIN THE PROJECT LIMITS FOR THE DURATION OF THE CONTRACT OR AS DIRECTED BY THE ENGINEER.

**CIVIL NOTES:**

- THE CONTRACTOR SHALL ABIDE BY LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AGAINST THE PROVIDED SURVEY INCLUDING THE HORIZONTAL AND VERTICAL LOCATIONS OF POTENTIAL OBSTRUCTIONS INCLUDING UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAYS.
- LOCATION OF EXISTING UTILITIES SHOWN ON PLANS WAS COMPILED FROM RECORD INFORMATION. NO WARRANTY IS IMPLIED AS TO THE ACTUAL LOCATION OF EXISTING UTILITIES. CONTRACTOR TO FIELD VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING UNDERGROUND FEATURES. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICE THREE (3) WORKING DAYS PRIOR TO EXCAVATION. ADDITIONALLY, CONTRACTOR SHALL CONTACT LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES.
- ELECTRICAL, TELEPHONE, CABLE TV, GAS, AND OTHER UTILITY LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION SHALL BE COORDINATED WITH THAT UTILITY. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAY OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. CONTRACTOR MAY BE REQUIRED TO RESCHEDULE THEIR ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. DAMAGE TO EXISTING UTILITY LINES CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONSTRUCTION SHALL NOT OCCUR IN PUBLIC RIGHTS OF WAY, PUBLIC OR PRIVATE EASEMENTS, BEYOND THE LIMITS OF DISTURBANCE, OR OUTSIDE THE LEASE AREA WITHOUT A PERMIT. PUBLIC OR PRIVATE PROPERTY OR IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE COST OF THE CONTRACTOR.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE EQUIPMENT OR MATERIAL WITHIN PUBLIC RIGHTS-OF-WAY. OVERNIGHT PARKING OF CONSTRUCTION VEHICLES ON PRIVATE PROPERTY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (E.G., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION, SHORING, ETC.).
- PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE TO PROVIDE SIGNS, BARRICADES, WARNING LIGHTS, GUARD RAILS, AND EMPLOY FLAGGERS AS NECESSARY WHEN CONSTRUCTION INTERFERES WITH EITHER VEHICULAR OR PEDESTRIAN TRAFFIC. THESE DEVICES SHALL REMAIN IN PLACE UNTIL THE TRAFFIC MAY PROCEED NORMALLY AGAIN.
- BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO THE APPLICABLE SECTION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- CONTRACTOR SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS CONTROLLING POLLUTION OF THE ENVIRONMENT PRIOR TO THE START OF THE PROJECT CONSTRUCTION. THE CONTRACTOR SHALL ABIDE BY THE PERMITS OBTAINED BY OWNER. CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR PERMITS REQUIRED BY THE CONTRACT DOCUMENTS.
- BEFORE COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, POTHOLE AND MEASURE DEPTH TO TOP OF EXISTING, UNDERGROUND WET & DRY UTILITIES AT PROPOSED CROSSING LOCATIONS, ACCORDING TO THE CONTRACT DOCUMENTS OR AS SPECIFIED BY THE UTILITY OWNER. CONTRACTOR SHALL PROVIDE ENGINEER AND OWNER WITH AN "AS-BUILT" PLAN OF INFORMATION, AND RECEIVE FORMAL APPROVAL BEFORE STARTING WORK.
- CONTRACTOR TO PERFORM WORK IN ACCORDANCE WITH EXISTING PROJECT PERMITS, STUDIES, AND REPORTS PROVIDED IN THE CONTRACT DOCUMENTS INCLUDING: CONDITIONAL USE, SPECIAL USE, OR OTHER LAND USE TYPE PERMITS INCLUDING THE ASSOCIATED CONDITIONS OF APPROVAL; ENVIRONMENTAL STUDIES AND REPORTS; HYDROLOGICAL STUDIES AND REPORTS; ETC.
- CONTRACTOR SHALL DETERMINE THE SOURCE OF AND SECURE APPROVAL OF CONSTRUCTION WATER AS NECESSARY TO COMPLETE THE PROJECT.
- CONTRACTOR SHALL MANAGE DUST, DIRT, MUD, SNOW, ETC. DURING THE CONSTRUCTION PHASE IN A SUITABLE MANNER SO AS TO NOT TO IMPACT THE COMMISSIONING, PERFORMANCE, INSPECTION, OR RELIABILITY OF EQUIPMENT, SUCH AS BUT NOT LIMITED TO: MODULES, COMBINERS, INVERTERS, TRANSFORMERS, DISCONNECTS, SWITCHGEAR, SCADA / SEEDS, WEATHER STATIONS, CONDUCTORS AND TERMINATIONS, AND TRACKERS.
- THIS PROJECT DOES NOT PROPOSE NEW WATER OR SANITARY SEWER FACILITIES.
- THE LOCATIONS OF PROPOSED IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO: FENCING, SOLAR ARRAY RACKING, INVERTER/TRANSFORMER STRUCTURES, OVERHEAD POLES AND LINES, ETC., SHOWN ARE APPROXIMATE AND ARE SUBJECT TO MODIFICATION DUE TO SITE CONDITIONS, ADDITIONAL PERMITTING REQUIREMENTS, EQUIPMENT SPECIFICATIONS, AND/OR OTHER CONSTRAINTS.
- PROJECT AREA, INCLUDING CONSTRUCTION STAGING AREAS, WILL BE CLEARED AND GRUBBED AS NECESSARY, RETAINING PRE-DEVELOPMENT DRAINAGE PATTERNS TO THE MAXIMUM EXTENT POSSIBLE. CONSTRUCTION STAGING AND AREAS SUBJECT TO RUTTING DURING CONSTRUCTION WILL BE TEMPORARILY STABILIZED WITH GRAVEL OR OTHER MATERIAL APPROVED BY OWNER.
- THE CONTRACTOR SHALL PROVIDE GENERATORS TO SUPPLY POWER FOR ACTIVITIES RELATED TO CONSTRUCTION. GENERATORS AND TEMPORARY PUMPS TO BE LOCATED IN CONTRACTOR-PROVIDED TEMPORARY SECONDARY CONTAINMENT.
- CONTRACTOR SHALL MAINTAIN ACCESS AND UTILITY SERVICES TO EXISTING BUILDING(S) OR ADJACENT BUILDING(S) THROUGHOUT THE PROPOSED PROJECT. EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THE SATISFACTION OF THE OWNER BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.

**SITE MAINTENANCE NOTES:**

- PROJECT OWNER TO MAINTAIN VEGETATION TO APPROXIMATELY 5 FEET OUTSIDE THE PROPOSED PERIMETER FENCELINE. THE REMAINDER OF THE PROPERTY IS NOT UNDER CONTROL OF THE PROJECT OWNER (I.E., OUTSIDE THE LEASEHOLD) AND WILL REMAIN IN THE CONTROL OF THE PROPERTY OWNER; MOST LIKELY TO CONTINUE TO BE FARMED.

**GRADING NOTES:**

- ALL NOTES HEREIN RELATED TO GRADING ARE FOR INSTALLATION OF THE ACCESS ROAD AND PROPOSED UTILITIES. OTHERWISE NO GRADING IS REQUIRED FOR THIS SITE AND THE POST-DEVELOPMENT GRADES WILL REMAIN CONSISTENT WITH THE PRE-CONSTRUCTION GRADES.
- WORK RELATED TO ROAD CONSTRUCTION, SITE PREPARATION, AND GRAVEL INSTALLATION, AS SHOWN ON THIS PLAN, SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATION AND STATE OR LOCAL STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL NOT PERFORM WORK OUTSIDE OF THE LIMITS OF DISTURBANCE EXCEPT AS REQUIRED BY THIS PLAN.
- EXCAVATED MATERIAL (NON-HAZARDOUS OR NON-CONTAMINATED) MAY BE TEMPORARILY STOCKPILED IN AREAS DESIGNATED BY OWNER. TOPSOIL TO BE STOCKPILED SEPARATELY. EXCESS EXCAVATED MATERIAL CAN BE SPREAD ONSITE. CATWALK THE SPREAD MATERIAL USING DIRECTIONAL TRACKING PRACTICES, APPLY TOPSOIL, AND VEGETATE AREAS IN ACCORDANCE WITH THE EROSION AND SEDIMENTATION CONTROL PLAN.
- EXCESS MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH REGULATORY AUTHORITIES. CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND STATE AUTHORITIES OF LOCATION OF DISPOSAL BEFORE MATERIAL IS REMOVED.
- A DISPOSAL SITE FOR EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OWNER.
- FILL MATERIAL SHALL NOT CONTAIN DELETERIOUS MATERIALS OR ORGANIC MATTER. FROZEN AND FROST HEAVED SOIL IS NOT SUITABLE FOR FILL. NO ROCK OR IRREDUCIBLE MATERIAL WITH A MINIMUM DIMENSION GREATER THAN 2 INCHES SHALL BE BURIED OR PLACED AS FILL UNLESS SPECIFIED OTHERWISE.
- CONDUCT EARTHWORK OPERATIONS ONLY IN AREA REQUIRED FOR IMMEDIATE CONSTRUCTION ACTIVITY AND THEN ONLY IF SEDIMENT CONTROL DEVICES ARE IN PLACE. MASS CLEARING AND GRADING OF THE SITE SHALL BE AVOIDED.
- IN AREAS BELOW FOUNDATIONS SUPPORTED ON SOIL, SOIL/FILL SHOULD BE COMPACTED TO 95% OF THE MAXIMUM DRY UNIT WEIGHT DETERMINED BY THE STANDARD PROCTOR TEST AT A MOISTURE CONTENT WITHIN 2% OF THE OPTIMUM

- MOISTURE CONTENT. COMPACT AGGREGATE AND GRAVEL TO THE SAME REQUIREMENTS OF FILL TO THE GRADES AND SLOPES SHOWN ON DRAWINGS. IN OTHER AREAS WITHOUT COMPACTION OR PROOF ROLLING CRITERIA, SOIL/FILL SHOULD BE COMPACTED TO A MINIMUM 90% OF THE MAXIMUM DRY UNIT WEIGHT DETERMINED BY THE STANDARD PROCTOR TEST.
- PRIOR TO PROOF ROLLING, COMPACT SURFACE WITH A SMOOTH-DRUM COMPACTOR IMMEDIATELY PRIOR TO PROOF ROLLING TO ENSURE THE SURFACE IS FREE OF TRACKS, RUTS, AND RIDGED MATERIAL TO PREVENT FALSE READINGS. PROVIDE DOCUMENTATION OF THE WEIGHT OF THE LOADED TRUCK TO THE ENGINEER. PROOF ROLLING SHALL BE PERFORMED IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER OR QUALIFIED GEOTECHNICAL REPRESENTATIVE USING A FULLY LOADED TANDEM AXLE DUMP TRUCK WITH A MINIMUM GROSS WEIGHT OF 25 TONS OR A FULLY LOADED WATER TRUCK WITH AN EQUIVALENT AXLE LOADING. PROOF ROLLING SHOULD BE CONDUCTED IN A MANNER SUCH THAT AFTER THE FIRST PASS SUBSEQUENT PASSES WILL HAVE ONE WHEEL CENTERED BETWEEN THE WHEEL PATHS OF THE PREVIOUS PASS, UNTIL THE ENTIRE SURFACE OF THE PROOF ROLL AREA IS TESTED. PROOF ROLLING ACCEPTANCE STANDARDS INCLUDE NO RUTTING GREATER THAN TWO INCHES, AND NO DEFLECTIONS (PUMPING) BEHIND THE LOADED TRUCK.
- THESE RECOMMENDATIONS SHALL BE SUBJECT TO REINTERPRETATION FOLLOW RECEIPT OF GEOTECHNICAL INVESTIGATION REPORT.

**REQUIREMENTS:**

**COMPACTED SUBGRADE:**

- THE ENTIRE ACCESS DRIVE SUBGRADE SHALL BE PROOF-ROLLED PRIOR TO THE PLACEMENT OF THE GEOTEXTILE AND AGGREGATE TO IDENTIFY AREAS OF UNSTABLE SUBGRADE. IF UNSTABLE SUBGRADE IS ENCOUNTERED SCARIFY, MOISTURE CONDITION, AND RECOMPACT SOILS TO ACHIEVE COMPACTION.


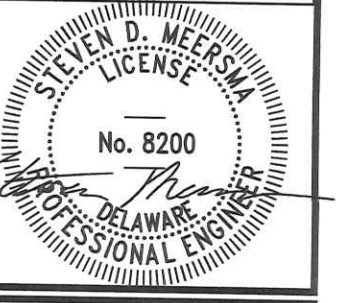
**AGGREGATE BASE AND SUBBASE:**

- AGGREGATE BASE SHALL BE PROOF ROLLED OVER THE ENTIRE LENGTH. IF PROOF ROLLING DETERMINES THAT THE DRIVE IS UNSTABLE, ADDITIONAL AGGREGATE SHALL BE ADDED UNTIL THE UNSTABLE SECTION IS ABLE TO PASS A PROOF ROLL.
- PROVIDE SIEVE ANALYSIS PER 2,000 CUBIC YARDS OF AGGREGATE PLACED.

1430 Broadway  
10th Floor  
New York, NY 10018  
Phone: 212.121.7822



TRC Project No. 376627.0000.0000

Revisions:	
No.	Date:

Drawn by: AR

Design by: AR

Checked by: SM

BROOM SOLAR PARTNERS, LLC  
D/B/A INDIAN RIVER SOLAR FARM  
INDIAN RIVER SOLAR FARM F/K/A BROOM SOLAR  
ADJACENT TO 32419 FRANKFORD SCHOOL ROAD  
FRANKFORD, DELAWARE 19845

Contract No: 376627

Scale: AS NOTED

Date: JUNE 2022

Sheet: NOTES

Drawing No: C-2.0

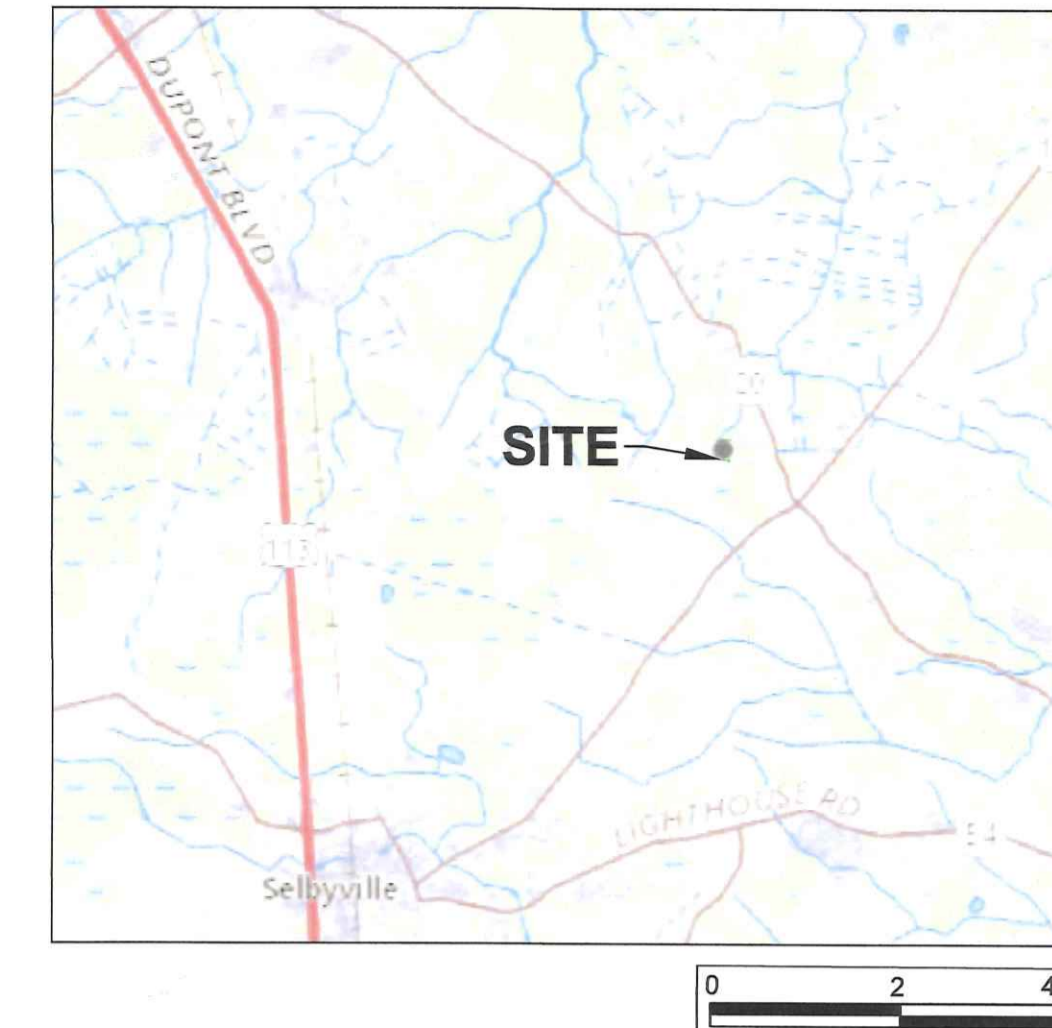


ISSUED FOR PRELIMINARY SITE PLAN APPROVAL.  
NOT FOR CONSTRUCTION.

**Know what's below.  
Call before you dig.**



**SITE LOCATION**



**LEGEND**

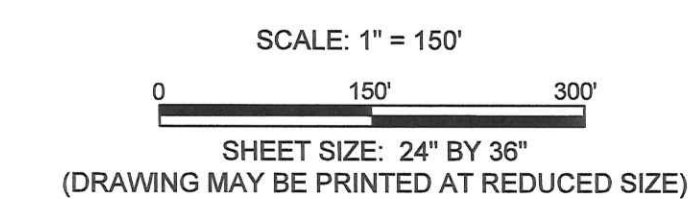
SYMBOL	DESCRIPTION
	EXISTING PROPERTY LINE
	APPROXIMATE EXISTING ABUTTER PROPERTY LINE
	TAX DITCH RIGHT-OF-WAY LIMIT
	YARD SETBACK LINE
	EXISTING MAJOR CONTOUR (FEET)
	EXISTING MINOR CONTOUR (FEET)
	WATERWAY/DITCH FLOWLINE

**NOTES**

1. THE PROJECT HORIZONTAL COORDINATES SYSTEM IS BASED ON NAD83 DELAWARE STATE PLANE (US SURVEY FEET). ELEVATIONS ARE BASED ON NAVD88 (US SURVEY FEET).
2. ADJOINING PROPERTY OWNER INFORMATION SHOWN ARE FROM SUSSEX COUNTY GIS PORTAL ([HTTPS://MAPS.SUSSEXCOUNTYPE.GOV/PZAPPLICATIONS/MAP.HTML](https://maps.sussexcountype.gov/pzapplications/map.html)).
3. SITE IS NOT LOCATED IN A 100-YEAR OR 500-YEAR FLOOD PLAIN (REFERENCE FLOOD INSURANCE RATE MAP).
4. EXISTING UTILITIES ARE APPROXIMATE AND SHOULD BE VERIFIED BY CONTRACTOR. DIG SAFELY DELAWARE (811) SHALL BE NOTIFIED A MINIMUM OF 72-HOURS PRIOR TO COMMENCING ANY EXCAVATION.
5. THIS IS A PRELIMINARY DESIGN PLAN PROVIDED FOR PERMITTING ONLY. FINAL DESIGN SHALL BE MODIFIED TO SUPPORT CONSTRUCTION, MATCH FINAL ELECTRICAL INTERCONNECTION STUDIES, EQUIPMENT PURCHASED, AND POSSIBLE PERMIT CONSTRAINTS REVEALED DURING PROJECT'S REVIEW.
6. THE VICINITY MAP IMAGE IS FROM THE UNITED STATES GEOLOGICAL SURVEY 7.5 MINUTE FRANKFORD AND SELBYVILLE TOPOGRAPHIC QUADRANGLES.
7. THE 1-FOOT TOPOGRAPHY AND PROPERTY BOUNDARY SHOWN ON THESE DRAWINGS WERE PROVIDED TO TRC BY GREENMAN-PEDERSEN, INC. ON JANUARY 19, 2022.

ADJOINING PROPERTY OWNER INFORMATION TABLE		
NUMBER	PROPERTY OWNER	TAX ID #
1	DAVIDSON GORDON C TTEE	533-5.00-46.00
2	PYLE EDWARD W CENTER	533-5.00-58.00
3	LYNCH ADAM	533-5.00-57.00
4	LYNCH MARY GRACE	533-5.00-56.02
5	LYNCH MICHAEL W	533-5.00-56.01
6	OWENS FRANCES	533-5.00-55.01
7	ENNIS N MICHAEL LISA E EVANS	533-5.00-55.00
8	ESHAM MICHAEL	533-5.00-48.00
9	KEISER CARVEL	533-5.00-49.03
10	PARKER FAMILY LIMITED PARTNERSHIP	533-5.00-85.00
11	MEIKLEJOHN JERRY TTEE REV TR	533-5.00-86.00
12	BUNDICK SIDNEY R	533-5.00-86.02

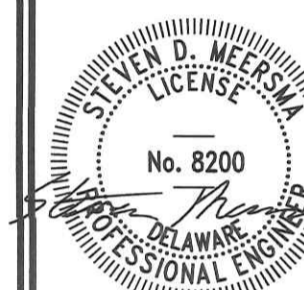
ISSUED FOR PRELIMINARY  
SITE PLAN APPROVAL.  
NOT FOR CONSTRUCTION.



1430 Broadway  
10th Floor  
New York, NY 10018  
Phone: 212.221.7822



TRC Project No.: 376627.0000.0000



**Revisions:**

No.	Date:

Drawn by:  
EK, CV, AR

Design by:  
CG

Checked by:  
SM

BROOM SOLAR PARTNERS, LLC  
D/B/A INDIAN RIVER SOLAR FARM  
INDIAN RIVER SOLAR FARM F/K/A BROOM SOLAR  
ADJACENT TO 32419 FRANKFORD SCHOOL ROAD  
FRANKFORD, DELAWARE 19945

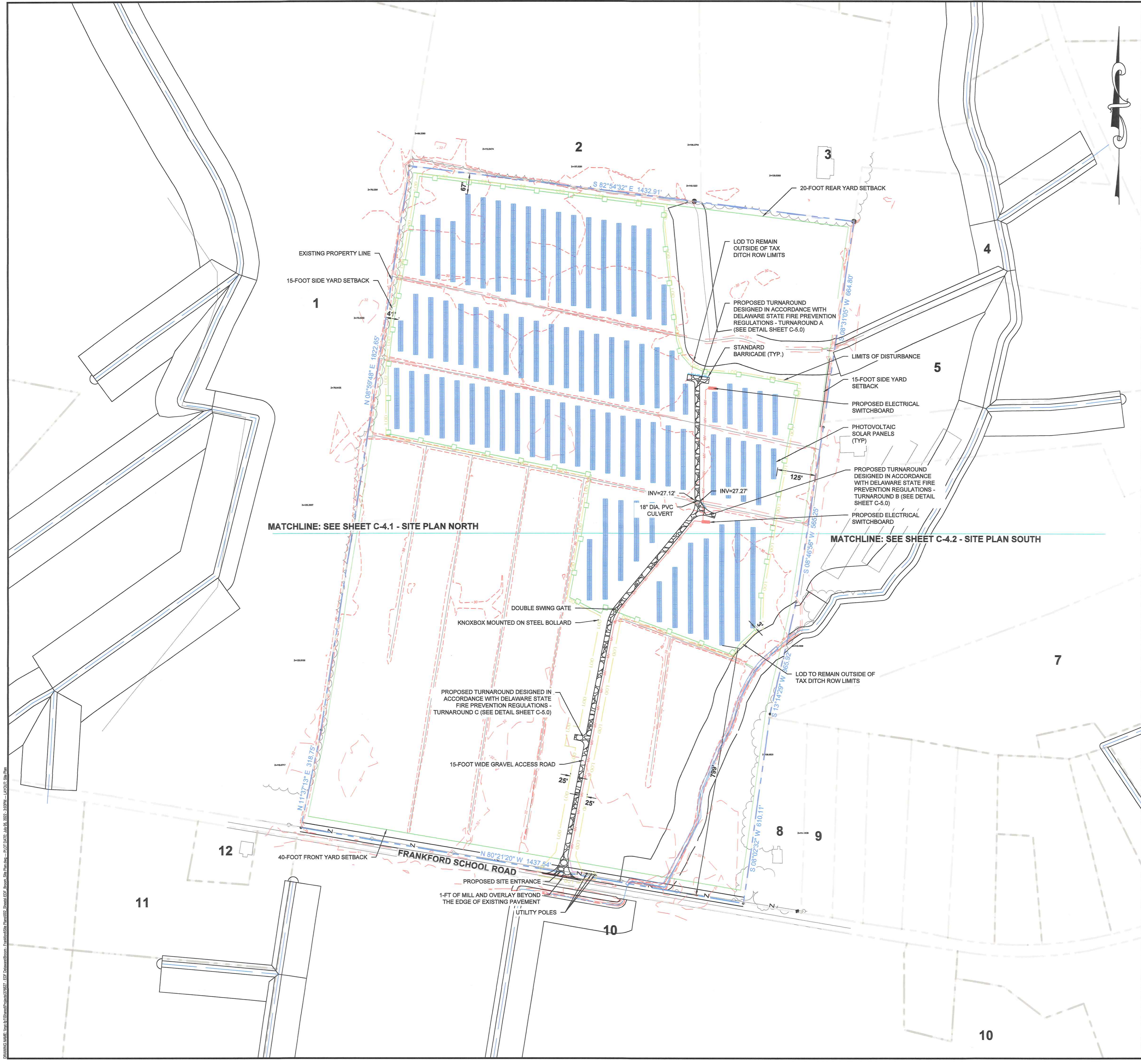
Contract No:  
376627

Scale:  
AS NOTED

Date:  
JUNE 2022

Sheet:  
EXISTING CONDITIONS

Drawing No:  
C-3.0



PROJECT SUMMARY		
ARRAY TYPE	SAT	
ARRAY ORIENTATION (°)	180	
PV MODULE MANUFACTURER	PV MODULE 1	PV MODULE 2
PV MODULE MODEL	CS3W-44S-MB-AG	CS3W-400-PB-AG
PV MODULE WATTAGE (W)	445	400
PV MODULE QUANTITY	6,966	2,322
PV MODULES PER STRING	27	
PV MODULES PER TRACKER / TABLE	54 / 72	
TRACKER / TABLE QUANTITY	168 / 12	
TRACKER PITCH / TABLE ROW SPACING (FT)	48.27	
	INVERTER 1	INVERTER 2
INVERTER MANUFACTURER	CHINT POWER SYSTEMS	
INVERTER MODEL	SCH125KTL-DO/US-600	
INVERTER RATING (KWAC)	125	
INVERTER QUANTITY	24	
TOTAL PV MODULE CAPACITY (KWDC)	4,028.67	
TOTAL INVERTER CAPACITY (KWAC)	3,000	
AREA WITHIN FENCE (ACRES)	26.87	
LENGTH OF FENCE (FT)	5,033	
LENGTH OF ACCESS DRIVE (FT)	1,710	

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING PROPERTY LINE
	APPROXIMATE EXISTING BUTTER PROPERTY LINE
	PROPOSED PROJECT FENCE
	PROPOSED GRAVEL ACCESS DRIVEWAY
	PROPOSED MEDIUM VOLTAGE CIRCUIT
	PROPOSED OVERHEAD LINE
	PROPOSED OVERHEAD POLES
	EXISTING MAJOR CONTOUR (FEET)
	EXISTING MINOR CONTOUR (FEET)
	TAX DITCH RIGHT-OF-WAY LIMIT
	LIMITS OF DISTURBANCE

- NOTES**
- AREAS OUTSIDE PROPOSED FENCE TO REMAIN AS OPEN SPACE.
  - ADJOINING PROPERTY OWNER INFORMATION SHOWN ARE FROM SUSSEX COUNTY GIS PORTAL. ([HTTPS://MAPS.SUSSEXCOUNTYPE.GOV/ZAPPLICATIONSMAP.HTML](https://maps.sussexcountype.gov/zapplicationsmap.html))
  - SITE IS NOT LOCATED IN A 100-YEAR OR 500-YEAR FLOOD PLAN.
  - EXISTING UTILITIES ARE APPROXIMATE AND SHOULD BE VERIFIED BY CONTRACTOR. DIG SAFELY DELAWARE (811) SHALL BE NOTIFIED A MINIMUM OF 72-HOURS PRIOR TO COMMENCING ANY EXCAVATION.
  - THIS IS A PRELIMINARY DESIGN PLAN PROVIDED FOR PERMITTING ONLY. FINAL DESIGN SHALL BE MODIFIED TO SUPPORT CONSTRUCTION, MATCH FINAL ELECTRICAL INTERCONNECTION STUDIES, EQUIPMENT PURCHASED, AND POSSIBLE PERMIT CONSTRAINTS REVEALED DURING PROJECT'S REVIEW.
  - NO SOURCE OF WATER IS AVAILABLE AT THE SITE OR IMMEDIATE AREA TO SUPPORT FIRE FIGHTING.
  - NO BUILDINGS ARE EXISTING OR PROPOSED.
  - THE 1-FOOT TOPOGRAPHY AND PROPERTY BOUNDARY SHOWN ON THESE DRAWINGS WERE PROVIDED TO TRC BY GREENMAN-PEDERSEN, INC. ON JANUARY 19, 2022.
  - NET DEVELOPMENT AREA (AREA WITHIN THE FENCE LINE) TO BE 1,170,460 SQ-FT. OR 26.87 AC. AREA UNDER PANELS TO BE 5.46 AC. ACCESS ROAD AREA TO BE 0.71 AC.
  - APPLICANT: BROOM SOLAR PARTNERS LLC (EDF RENEWABLES)  
JEFF MACHIRAN  
6940 COLUMBIA GATEWAY DRIVE, SUITE 400  
COLUMBIA, MD 21046  
OWNER: WILGUS FAMILY REVOCABLE TRUST  
ROBERT E. WILGUS, JR.  
34108 WILGUS CEMETERY ROAD  
FRANKFORD, DE 19945

ZONING CONFORMANCE TABLE		
Zoning Code Description	Zoning Code Requirement	Proposed Project
Zoning Designation	Agricultural Residential -1	Agricultural Residential -1
Minimum Lot Area	10,000 square feet	3,043,621 square feet
Minimum Lot Width	150 feet	1,383 feet
Minimum Lot Depth	100 feet	2,127 feet
Maximum Building Height	42 feet	Not Applicable (Equipment height not more than 12 feet)
Front Yard Depth	40 feet	799 feet
Side Yard Depth	10 feet	41 feet
Rear Yard Depth	10 feet	67 feet

CONDITIONS OF CONDITIONAL USE APPROVAL BY SUSSEX COUNTY COUNCIL ORDINANCE NO. 2841 DATED MARCH 22, 2022	
CONDITION	RESOLUTION
A. No storage facilities shall be constructed on the site.	No storage facilities are proposed.
B. Lighting on the facility shall only consist of perimeter lighting needed for security purposes. All lighting shall be downward screened so that it does not shine on neighboring properties or roadways.	No lighting is proposed.
C. One unlighted sign, not to exceed 32 square feet in size, shall be permitted.	No sign is proposed.
D. The site shall be secured by fencing with a gate with a "Knox Box" or similar device to accommodate emergency access by the local fire company or other emergency responders. The fence line shall be shown on the Final Site Plan.	See Site Plan for location of "Knox Box" and fence. See "Knox Box" and fence details on Drawing No. C-5.0.
E. Any transformers or similar equipment shall be centrally located on the site away from any nearby residential uses.	See Site Plan for location.
F. All of the grounds, including the area outside of the fence, shall be maintained so that they do not become overgrown.	Project owner to maintain vegetation to approximately 5 feet outside the proposed perimeter fencing. The remainder of the property is not under the control of the project owner (i.e. outside the leasehold) and will remain in the control of the property owner, most likely to continue to be farmed.
G. The Final Site Plan shall be subject to the review and approval of the Sussex County Planning and Zoning	Acknowledged.

ISSUED FOR PRELIMINARY SITE PLAN APPROVAL. NOT FOR CONSTRUCTION.

SCALE: 1" = 150'  
0 150' 300'  
SHEET SIZE: 24" BY 36"  
(DRAWING MAY BE PRINTED AT REDUCED SIZE)

1430 Broadway  
10th Floor  
New York, NY 10018  
Phone: 212.221.7822

**TRC**

Project No: 376827.0000.0000

**edf renewables**

STEPHEN D. MEEHAN  
Professional Engineer  
No. 8200

Revisions:  
No. Date:  
1 07/05/2022

Drawn by:  
EK, CV, AR

Design by:  
CG

Checked by:  
SM

BROOM SOLAR PARTNERS, LLC  
D/B/A INDIAN RIVER SOLAR FARM  
INDIAN RIVER SOLAR FARM F/K/A BROOM SOLAR  
ADJACENT TO 32419 FRANKFORD SCHOOL ROAD  
FRANKFORD, DELAWARE 19945

Contract No:  
376827

Scale:  
AS NOTED

Date:  
JUNE 2022

Sheet:  
SITE PLAN

Drawing No:  
C-4.0



PROJECT SUMMARY		
ARRAY TYPE	SAT	
ARRAY ORIENTATION (°)	180	
	PV MODULE 1	PV MODULE 2
PV MODULE MANUFACTURER	CANADIAN SOLAR	
PV MODULE MODEL	CS3W-445-MB-AG	CS3W-400-PB-AG
PV MODULE WATTAGE (W)	445	400
PV MODULE QUANTITY	6,966	2,322
PV MODULES PER STRING	27	
PV MODULES PER TRACKER / TABLE	54 / 72	
TRACKER / TABLE QUANTITY	168 / 12	
TRACKER PITCH / TABLE ROW SPACING (FT)	48.27	
	INVERTER 1	INVERTER 2
INVERTER MANUFACTURER	CHINT POWER SYSTEMS	
INVERTER MODEL	SCH125KTL-DOJUS-600	
INVERTER RATING (kWAC)	125	
INVERTER QUANTITY	24	
TOTAL PV MODULE CAPACITY (kWDC)	4,028.67	
TOTAL INVERTER CAPACITY (kWAC)	3,000	
AREA WITHIN FENCE (ACRES)	26.87	
LENGTH OF FENCE (FT)	5,033	
LENGTH OF ACCESS DRIVE (FT)	1,710	

SYMBOL	DESCRIPTION
---	EXISTING PROPERTY LINE
- - - -	APPROXIMATE EXISTING ABUTTER PROPERTY LINE
---	PROPOSED PROJECT FENCE
---	PROPOSED GRAVEL ACCESS DRIVEWAY
MV	PROPOSED MEDIUM VOLTAGE CIRCUIT
OE	PROPOSED OVERHEAD LINE
⊗	PROPOSED OVERHEAD POLES
---	EXISTING MAJOR CONTOUR (FEET)
---	EXISTING MINOR CONTOUR (FEET)
---	TAX DITCH RIGHT-OF-WAY LIMIT
LDD	LIMITS OF DISTURBANCE

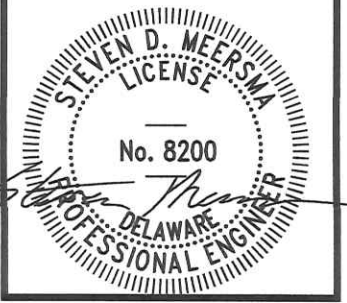
ZONING CONFORMANCE TABLE		
Zoning Code Description	Zoning Code Requirement	Proposed Project
Zoning Designation	Agricultural Residential -1	Agricultural Residential -1
Minimum Lot Area	10,000 square feet	3,043,621 square feet
Minimum Lot Width	150 feet	1,383 feet
Minimum Lot Depth	100 feet	2127 feet
Maximum Building Height	42 feet	Not Applicable (Equipment height not more than 12 feet)
Front Yard Depth	40 feet	799 feet
Side Yard Depth	10 feet	41 feet
Rear Yard Depth	10 feet	67 feet

- NOTES**
- AREAS OUTSIDE PROPOSED FENCE TO REMAIN AS OPEN SPACE.
  - ADJOINING PROPERTY OWNER INFORMATION SHOWN ARE FROM SUSSEX COUNTY GIS PORTAL. (HTTPS://MAPS.SUSSEXCOUNTYDE.GOV/PZAPPLICATIONSMAP.HTML)
  - SITE IS NOT LOCATED IN A 100-YEAR OR 500-YEAR FLOOD PLAIN.
  - EXISTING UTILITIES ARE APPROXIMATE AND SHOULD BE VERIFIED BY CONTRACTOR. DIG SAFELY DELAWARE (811) SHALL BE NOTIFIED A MINIMUM OF 72-HOURS PRIOR TO COMMENCING ANY EXCAVATION.
  - THIS IS A PRELIMINARY DESIGN PLAN PROVIDED FOR PERMITTING ONLY. FINAL DESIGN SHALL BE MODIFIED TO SUPPORT CONSTRUCTION, MATCH FINAL ELECTRICAL INTERCONNECTION STUDIES, EQUIPMENT PURCHASED, AND POSSIBLE PERMIT CONSTRAINTS REVEALED DURING PROJECTS REVIEW.
  - NO SOURCE OF WATER IS AVAILABLE AT THE SITE OR IMMEDIATE AREA TO SUPPORT FIRE FIGHTING.
  - NO BUILDINGS ARE EXISTING OR PROPOSED.
  - THE 1-FOOT TOPOGRAPHY AND PROPERTY BOUNDARY SHOWN ON THESE DRAWINGS WERE PROVIDED TO TRC BY GREENMAN-PEDERSEN, INC. ON JANUARY 19, 2022.
  - NET DEVELOPMENT AREA (AREA WITHIN THE FENCE LINE TO BE 1,170,460 SQ.-FT. OR 26.87 AC. AREA UNDER PANELS TO BE 5.46 AC. ACCESS ROAD AREA TO BE 0.71 AC.
  - APPLICANT: BROOM SOLAR PARTNERS LLC (EDF RENEWABLES)  
JEFF MACHIRAN  
6940 COLUMBIA GATEWAY DRIVE, SUITE 400  
COLUMBIA, MD 21046  
OWNER: WILGUS FAMILY REVOCABLE TRUST  
ROBERT E. WILGUS, JR.  
34108 WILGUS CEMETERY ROAD  
FRANKFORD, DE 19945

ISSUED FOR PRELIMINARY SITE PLAN APPROVAL.  
NOT FOR CONSTRUCTION.

SCALE: 1" = 80'  
SHEET SIZE: 24" BY 36"  
(DRAWING MAY BE PRINTED AT REDUCED SIZE)

1430 Broadway  
10th Floor  
New York, NY 10018  
Phone: 212.221.7622



Revisions:	
No.	Date:

Drawn by:  
EK, CV, AR

Design by:  
CG

Checked by:  
SM

BROOM SOLAR PARTNERS, LLC  
D/B/A INDIAN RIVER SOLAR FARM  
INDIAN RIVER SOLAR FARM F/K/A BROOM SOLAR  
ADJACENT TO 32419 FRANKFORD SCHOOL ROAD  
FRANKFORD, DELAWARE 19945

Contract No:  
376627

Scale:  
AS NOTED

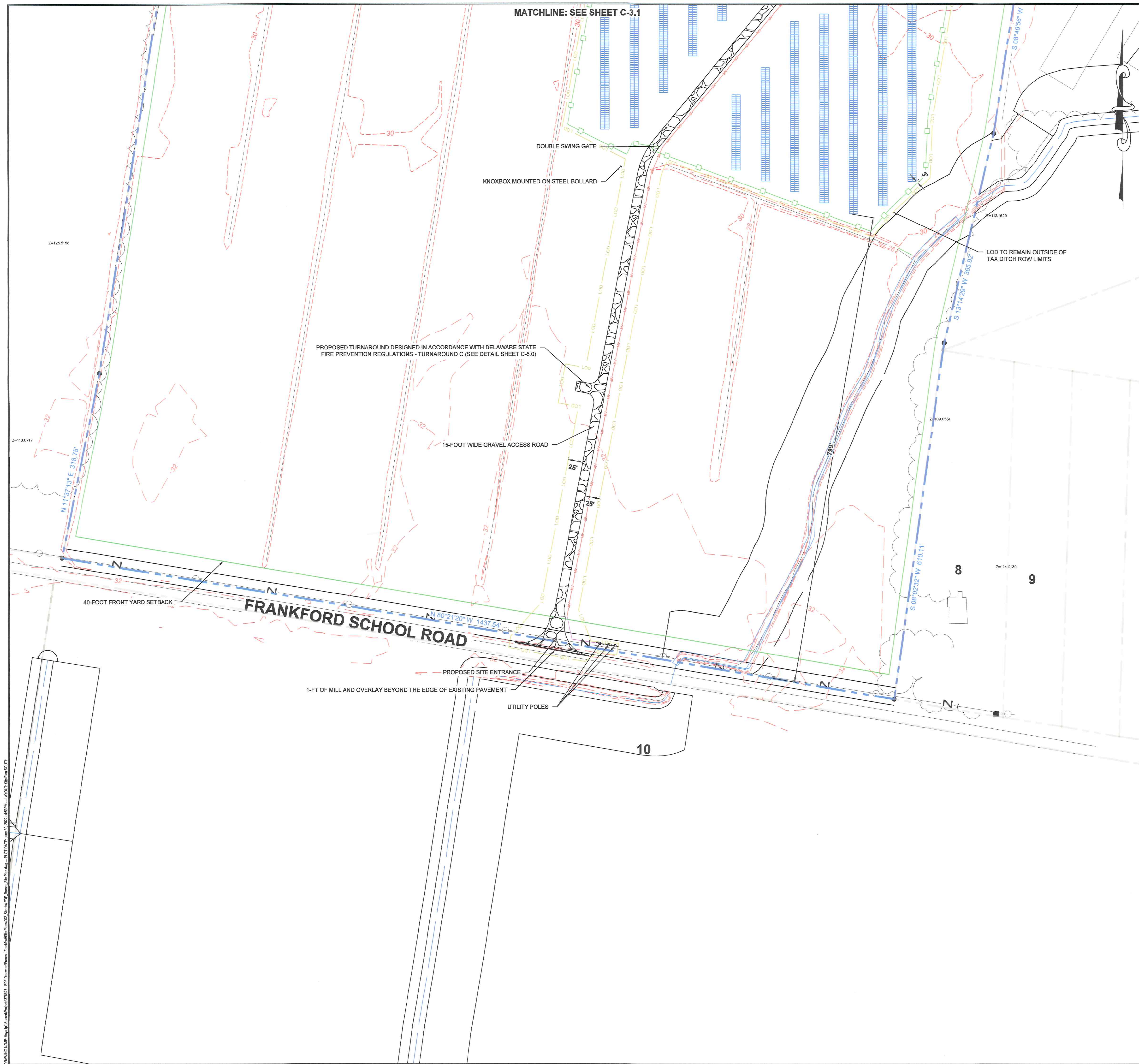
Date:  
JUNE 2022

Sheet:  
SITE PLAN NORTH

Drawing No:  
C-4.1

DRAWING NAME: I:\Projects\2022\376627\376627\_SitePlan\_North.dwg  
 DATE: 06/01/2022 10:00 AM  
 USER: JACOB.L...  
 PLOT DATE: 06/01/2022 10:00 AM  
 PLOT USER: JACOB.L...

MATCHLINE: SEE SHEET C-3.2



PROJECT SUMMARY		
ARRAY TYPE	SAT	
ARRAY ORIENTATION (°)	180	
PV MODULE MANUFACTURER	PV MODULE 1	PV MODULE 2
PV MODULE MODEL	CS3W-445-MB-AG	CS3W-400-PB-AG
PV MODULE WATTAGE (W)	445	400
PV MODULE QUANTITY	6,966	2,322
PV MODULES PER STRING	27	
PV MODULES PER TRACKER / TABLE	54 / 72	
TRACKER / TABLE QUANTITY	168 / 12	
TRACKER PITCH / TABLE ROW SPACING (FT)	48.27	
	INVERTER 1	INVERTER 2
INVERTER MANUFACTURER	CHINT POWER SYSTEMS	
INVERTER MODEL	SCH125KTL-DO/US-600	
INVERTER RATING (KWAC)	125	
INVERTER QUANTITY	24	
TOTAL PV MODULE CAPACITY (KWDC)	4,028.67	
TOTAL INVERTER CAPACITY (KWAC)	3,000	
AREA WITHIN FENCE (ACRES)	26.87	
LENGTH OF FENCE (FT)	5,033	
LENGTH OF ACCESS DRIVE (FT)	1,710	

SYMBOL	DESCRIPTION
---	EXISTING PROPERTY LINE
- - - -	APPROXIMATE EXISTING ADJUTTER PROPERTY LINE
---	PROPOSED PROJECT FENCE
---	PROPOSED GRAVEL ACCESS DRIVEWAY
MV --- MV	PROPOSED MEDIUM VOLTAGE CIRCUIT
OE ---	PROPOSED OVERHEAD LINE
⊙	PROPOSED OVERHEAD POLES
---	EXISTING MAJOR CONTOUR (FEET)
---	EXISTING MINOR CONTOUR (FEET)
---	TAX DITCH RIGHT-OF-WAY LIMIT
---	LIMITS OF DISTURBANCE

ZONING CONFORMANCE TABLE		
Zoning Code Description	Zoning Code Requirement	Proposed Project
Zoning Designation	Agricultural Residential -1	Agricultural Residential -1
Minimum Lot Area	10,000 square feet	3,043,621 square feet
Minimum Lot Width	150 feet	1,383 feet
Minimum Lot Depth	100 feet	2127 feet
Maximum Building Height	42 feet	Not Applicable (Equipment height not more than 12 feet)
Front Yard Depth	40 feet	799 feet
Side Yard Depth	10 feet	41 feet
Rear Yard Depth	10 feet	67 feet

- NOTES**
- AREAS OUTSIDE PROPOSED FENCE TO REMAIN AS OPEN SPACE.
  - ADJOINING PROPERTY OWNER INFORMATION SHOWN ARE FROM SUSSEX COUNTY GIS PORTAL ([HTTPS://MAPS.SUSSEXCOUNTYPDE.GOV/ZAPPPPLICATIONS/MAP.HTML](https://maps.sussexcountypde.gov/zappplications/map.html)).
  - SITE IS NOT LOCATED IN A 100-YEAR OR 500-YEAR FLOOD PLAIN.
  - EXISTING UTILITIES ARE APPROXIMATE AND SHOULD BE VERIFIED BY CONTRACTOR. DIG SAFELY DELAWARE (81) SHALL BE NOTIFIED A MINIMUM OF 72-HOURS PRIOR TO COMMENCING ANY EXCAVATION.
  - THIS IS A PRELIMINARY DESIGN PLAN PROVIDED FOR PERMITTING ONLY. FINAL DESIGN SHALL BE MODIFIED TO SUPPORT CONSTRUCTION. MATCH FINAL ELECTRICAL INTERCONNECTION STUDIES, EQUIPMENT PURCHASED, AND POSSIBLE PERMIT CONSTRAINTS REVEALED DURING PROJECT'S REVIEW.
  - NO SOURCE OF WATER IS AVAILABLE AT THE SITE OR IMMEDIATE AREA TO SUPPORT FIRE FIGHTING.
  - NO BUILDINGS ARE EXISTING OR PROPOSED.
  - THE 1-FOOT TOPOGRAPHY AND PROPERTY BOUNDARY SHOWN ON THESE DRAWINGS WERE PROVIDED TO TRC BY GREENMAN-PEDERSEN, INC. ON JANUARY 19, 2022.
  - NET DEVELOPMENT AREA (AREA WITHIN THE FENCE LINE TO BE 1,170,460 SQ.-FT. OR 26.87 AC. AREA UNDER PANELS TO BE 5.46 AC. ACCESS ROAD AREA TO BE 0.71 AC.
  - APPLICANT: BROOM SOLAR PARTNERS LLC (EDF RENEWABLES)  
JEFF MACHIRAN  
6640 COLUMBIA GATEWAY DRIVE, SUITE 400  
COLUMBIA, MD 21046  
OWNER: WILGUS FAMILY REVOCABLE TRUST  
ROBERT E. WILGUS, JR.  
34108 WILGUS CEMETERY ROAD  
FRANKFORD, DE 19945

ISSUED FOR PRELIMINARY SITE PLAN APPROVAL.  
NOT FOR CONSTRUCTION.

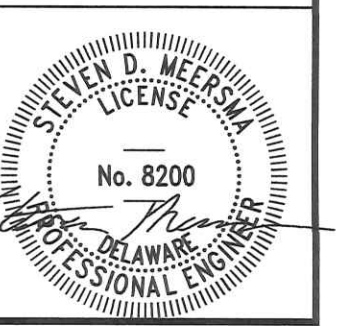
SCALE: 1" = 80'  
SHEET SIZE: 24" BY 36"  
(DRAWING MAY BE PRINTED AT REDUCED SIZE)

1430 Broadway  
10th Floor  
New York, NY 10018  
Phone: 212.212.7822

**TRC**

TRC Project No: 376627.0000.0000

**edf** renewables



Revisions:

No.	Date

Drawn by:  
EK, CV, AR

Design by:  
CG

Checked by:  
SM

BROOM SOLAR PARTNERS, LLC  
D/B/A INDIAN RIVER SOLAR FARM  
INDIAN RIVER SOLAR FARM F/K/A BROOM SOLAR  
ADJACENT TO 32419 FRANKFORD SCHOOL ROAD  
FRANKFORD, DELAWARE 19945

Contract No:  
376627

Scale:  
AS NOTED

Date:  
JUNE 2022

Sheet:  
SITE PLAN SOUTH

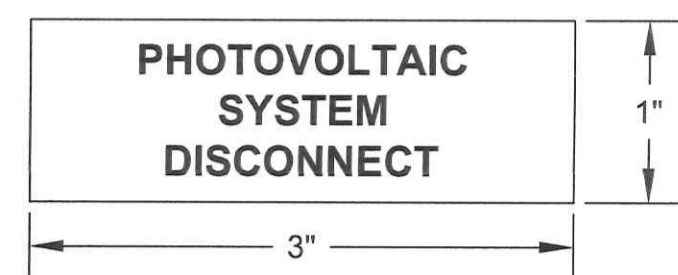
Drawing No:  
C-4.2





**AC DISCONNECT / BREAKER / POINTS OF CONNECTION**

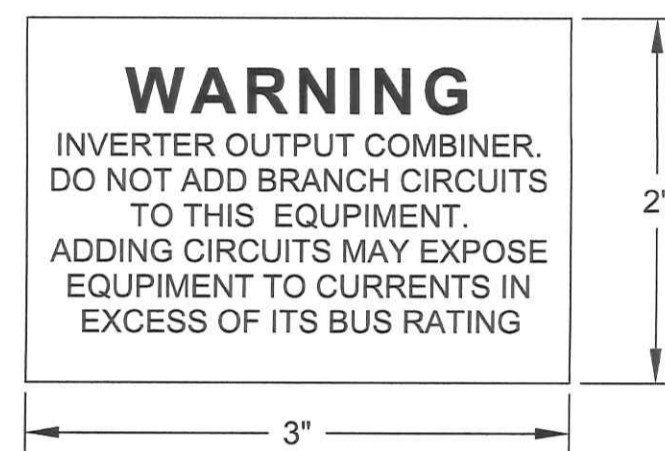
**Placard P1-AC QTY. 1**



690.14(C)(2) - Additional provisions, requirements for disconnecting means, marking. Each photovoltaic system disconnecting means shall be permanently marked to identify it as a photovoltaic system disconnect.

Apply to Main AC disconnecting means on switchboard.

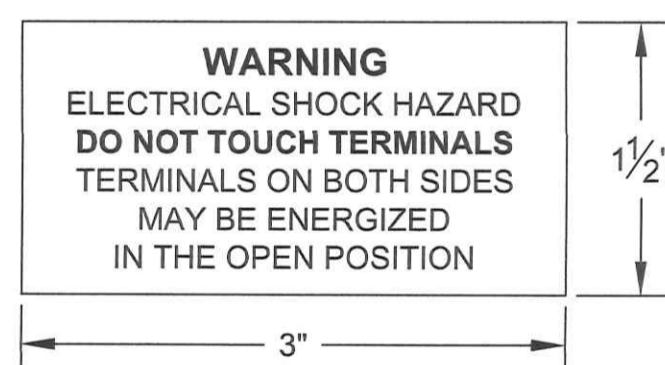
**Placard P2 - AC QTY. 8**



Not specifically required by NEC. Good practice to make clear that inverter output combiner panels are not to be used to supply branch circuits.

Apply to All AC panel boards.

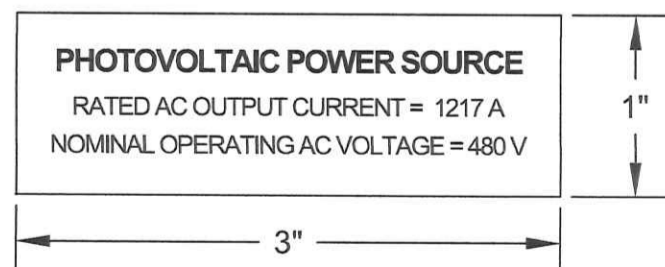
**Placard P3 - AC QTY. 9**



690.17 - Switch or circuit breaker. Where all terminals of the disconnecting means may be energized in the open position, a warning sign shall be mounted on or adjacent to the disconnecting means.

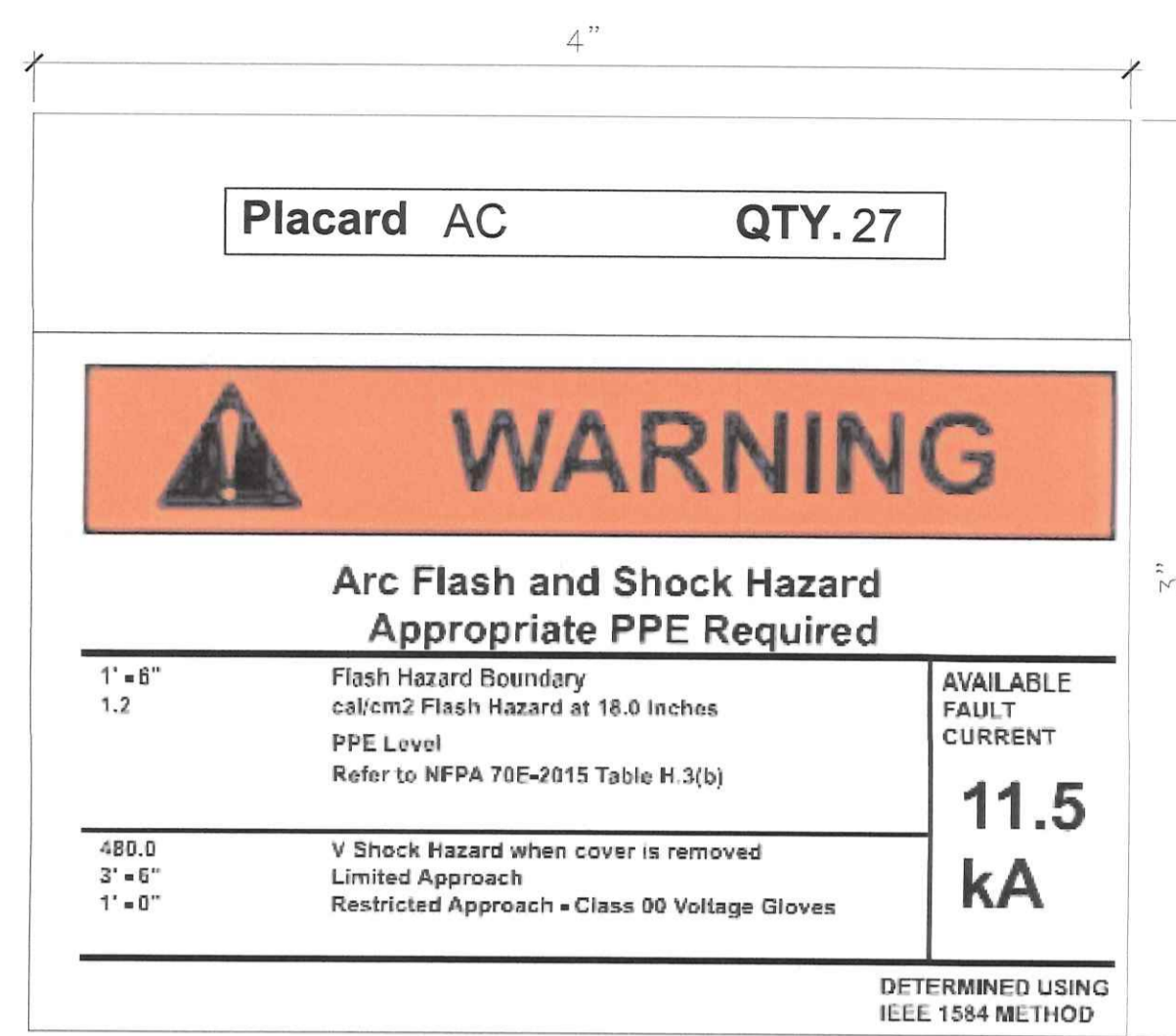
Apply to all AC panel boards and switchboards.

**Placard P4 - AC QTY. 1**



690.54 - Interactive system point of interconnection. All interactive system(s) points of interconnection with other sources shall be marked at an accessible location at the disconnecting means as a power source and with the rated AC output current and the nominal operating AC voltage.

Apply to the main disconnecting means at switchboard.

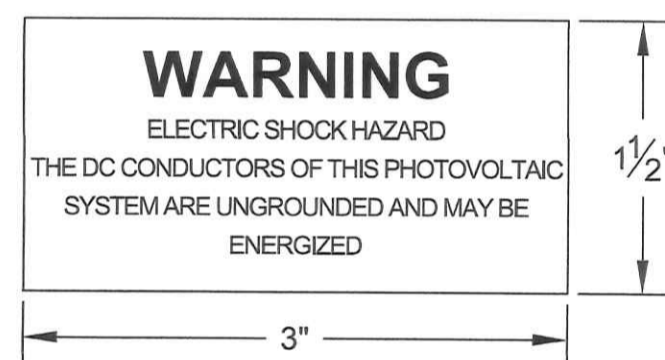


Apply to each inverter, each panel board, the switchboard, and to MPZ load center.

(ABOVE LABEL IS AN EXAMPLE OF ARC FLASH LABELS. THE ACTUAL LABELS WILL BE SPECIFIED AND PROVIDED BY THE EOR)

**GROUND FAULT**

**Placard P1-GF QTY. 17**

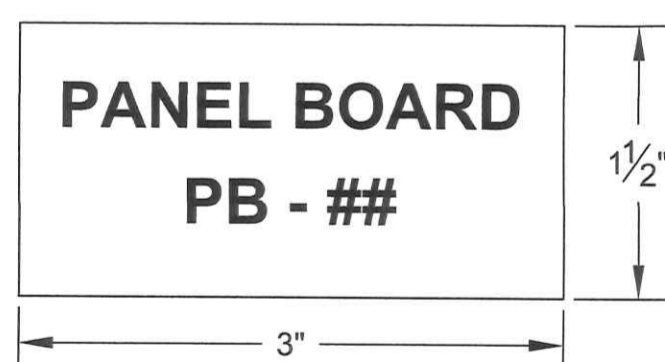


690.5(C) - Ground fault protection, labels and markings. A warning label shall appear on the utility-interactive inverter or be applied by the installer near the ground-fault indicator at a visible location.

Apply to each inverter.

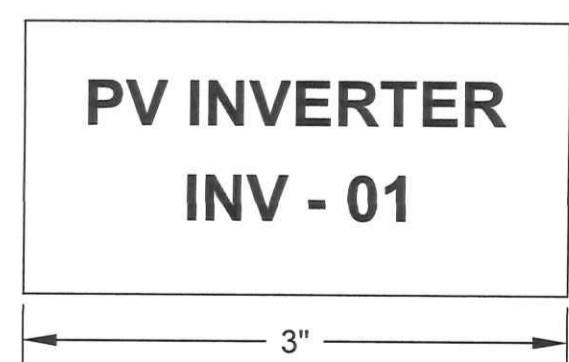
**EQUIPMENT LABELS**

**Placard EQ-PB QTY. 16**



AC COMBINER BOX LABEL  
Apply to each AC panelboard and at each breaker in switchboard

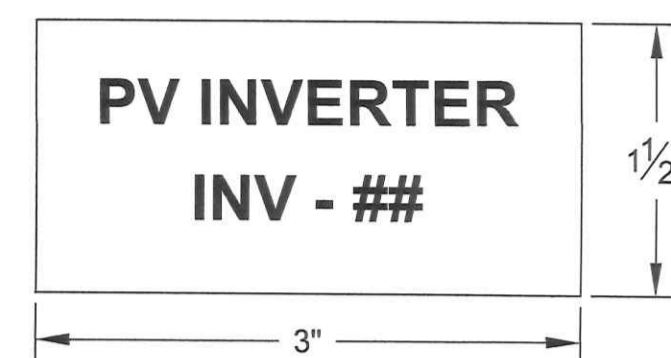
**Placard INV QTY. 1**



INVERTER LABEL  
Apply to ckt breaker for inverter 1 in switchboard

**EQUIPMENT LABELS**

**Placard INV QTY. 17**



INVERTER LABEL  
Apply to each inverter.

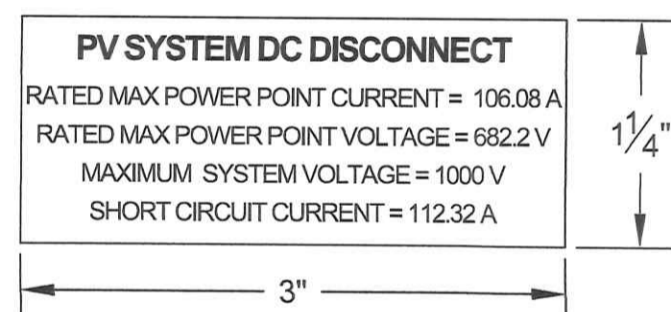
**Placard SWBD QTY. 1**



SWITCHBOARD LABEL  
Apply to switchboards.

**Placard DC LABELS**

**INVERTER WITH 12 STRINGS**  
**Placard P1-DC QTY. 15**

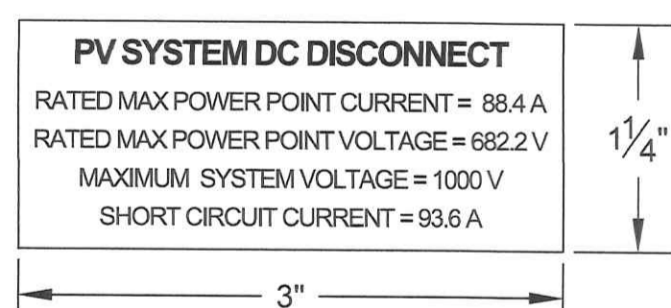


690.53 - Direct current photovoltaic power source. A permanent label for the direct-current photovoltaic power source indicating items (1) through (5) shall be provided by the installer at the photovoltaic disconnecting means:

- (1) Rated maximum power point current
- (2) Rated maximum power-point voltage
- (3) Maximum system voltage
- (4) Short-circuit current
- (5) Maximum rated output current of the charge controller (if installed)

Apply to the inverter DC disconnecting means as indicated in line diagram.

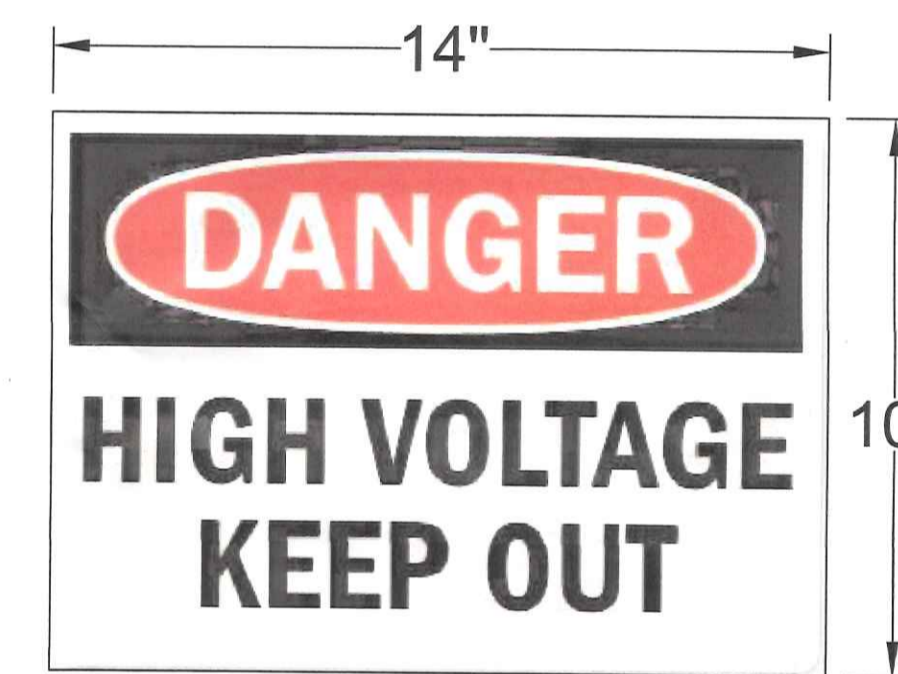
**INVERTER WITH 10 STRINGS**  
**Placard P1-DC QTY. 2**



MOUNTED GATE AND FENCE LABEL (NOT TO SCALE)

NOTES:

1. MOUNT TO EACH GATE DOOR AND FENCE PERIMETER LOCATION (APPROX. EVERY 300') WITH RESPECTIVE NOMENCLATURE.
2. THIS SIGN IS TO BE MADE OF ALUMINUM



MOUNTED GATE AND FENCE LABEL (NOT TO SCALE)

NOTES:

1. MOUNT TO EACH GATE DOOR AND FENCE PERIMETER LOCATION (APPROX. EVERY 50') WITH RESPECTIVE NOMENCLATURE.
2. THIS SIGN IS TO BE MADE OF ALUMINUM



### LEGEND

	EXISTING PROPERTY LINE		OHE	OVERHEAD ELECTRIC LINE
	ADJOINING PROPERTY LINE		UGT	UNDERGROUND TELEPHONE LINE
	EXISTING R/L LINE		LOD	PROPOSED LIMITS OF DISTURBANCE
	EXISTING SETBACK LINE		LOW	PROPOSED LIMITS OF WORKSPACE
	EXISTING WOODS LINE		SF	PROPOSED SILT FENCE
	EXISTING EASEMENT LINE		CFL	PROPOSED COMPOST FILTER LOG
	EXISTING 5' CONTOUR		EXISTING SOILS LINE	
	EXISTING 1' CONTOUR		PROPOSED STABILIZED CONSTRUCTION ENTRANCE	
	EXISTING EDGE OF PAVEMENT		PROPOSED GRAVEL	
	PROPOSED EDGE OF GRAVEL		EXISTING UTILITY POLE	
	EXISTING STORM DRAIN		BENCHMARK	
	PROPOSED CHAIN LINK FENCE			

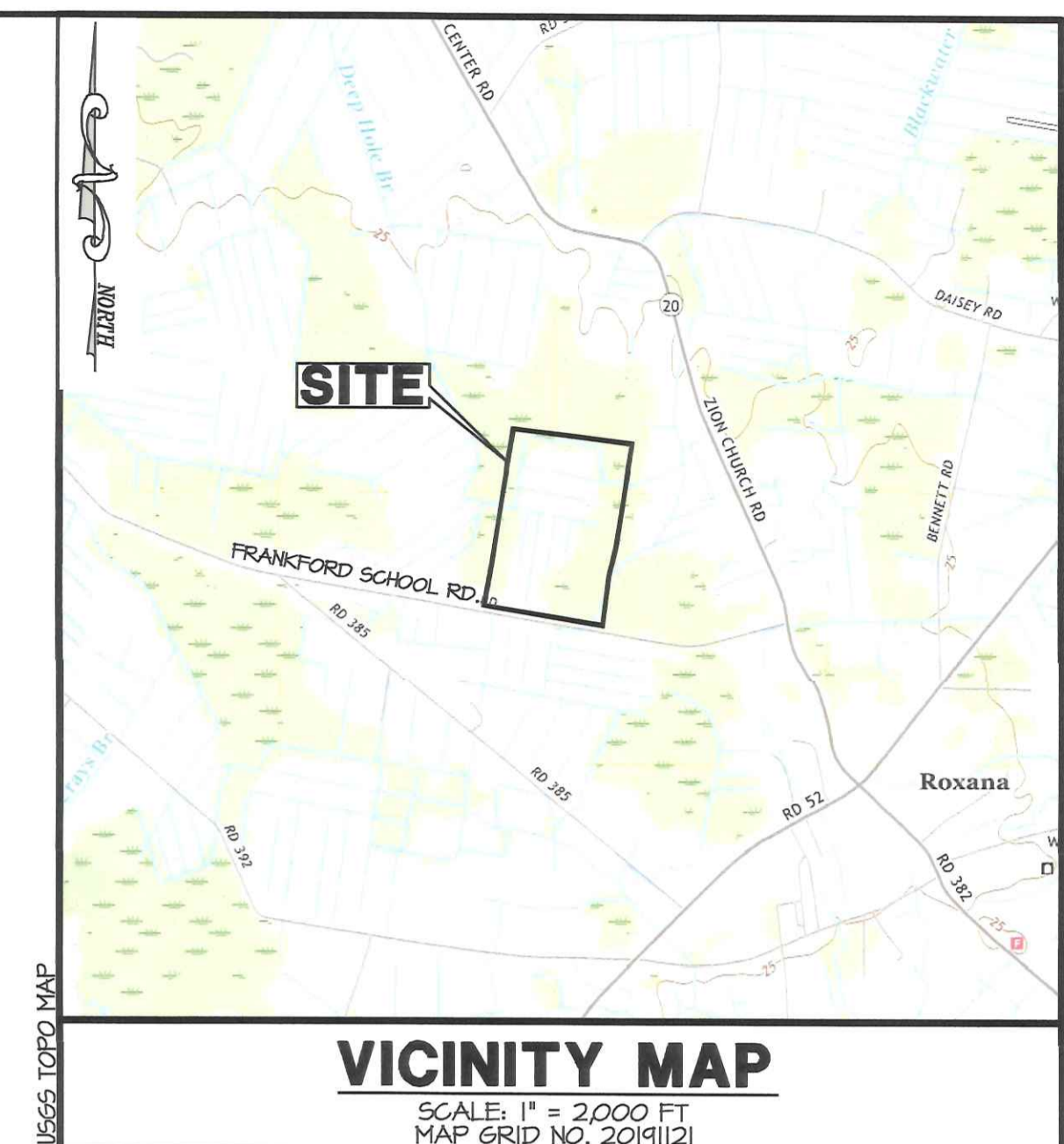
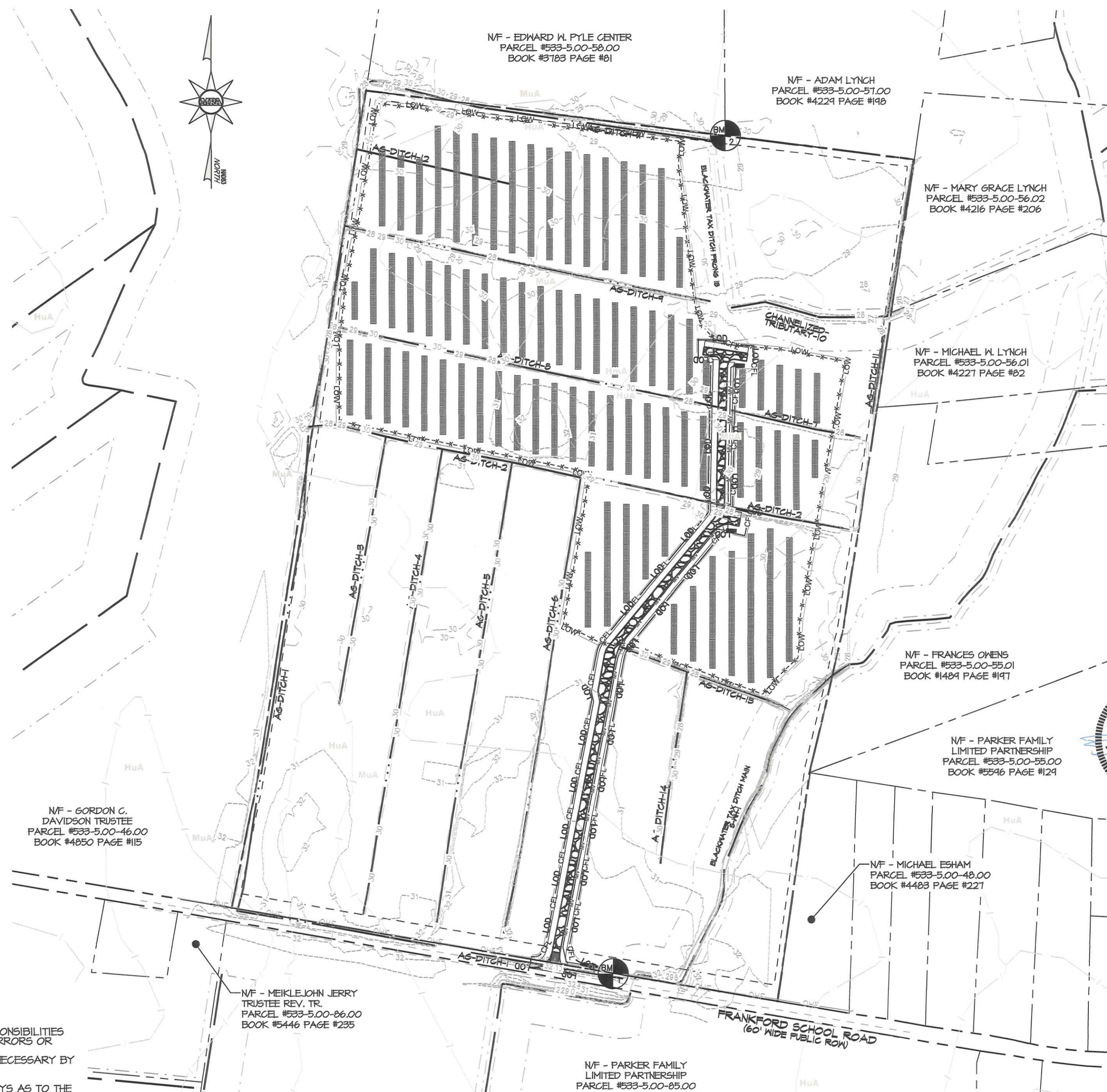
### SITE DATA

- SITE ADDRESS:** ADJACENT TO 32419 FRANKFORD SCHOOL ROAD FRANKFORD, DE 19445
- OWNER:** WILGUS FAMILY REVOCABLE TRUST, ROBERT E. WILGUS JR., AND ELAINE S. WILGUS  
34108 WILGUS CEMETERY ROAD  
FRANKFORD DE, 19445
- DEVELOPER:** EDF RENEWABLES DISTRIBUTED SOLUTIONS, INC.  
6440 COLUMBIA GATEWAY DR., SUITE 400  
COLUMBIA, MD 21046
- TAX PARCEL:** 533-5.00-47.00
- DEED OF RECORD:** 4454/108
- ZONING:** AGRICULTURAL RESIDENTIAL (AR-1)
- PARCEL AREA:** 71.378 AC.
- LIMIT OF DISTURBANCE:** 3.13 AC.
- LIMIT OF WORKSPACE:** 26.14 AC.
- DATE OF SURVEY:** TOPOGRAPHIC GREENMAN-PEDERSEN, INC, 2021
- DATUM:** HORIZONTAL: NAD '83  
VERTICAL: NAVD '88
- PROJECT BENCHMARK:**  
BM1 = N: 182,841.61 E: 123,988.87 ELEV: 32.23' DESC: NAIL  
BM2 = N: 185,010.93 E: 123,467.71 ELEV: 28.42' DESC: IRON PIPE
- AREA WITH 100 YEAR FLOODPLAIN:** 0 AC.
- PROPOSED IMPERVIOUS:** 0.94 AC.
- ACCORDING TO THE "WETLAND AND WATERCOURSE DELINEATION REPORT,"** PREPARED BY TRC AND DATED MAY 2021 NO JURISDICTIONAL WETLANDS WERE DELINEATED WITHIN THE LIMITS OF DISTURBANCE FOR THIS PROJECT.

# BROOM SOLAR PROJECT

## BROOM SOLAR PARTNERS, LLC SEDIMENT & STORMWATER COVER SHEET

SUSSEX COUNTY, DELAWARE  
BALTIMORE HUNDRED  
INDIAN RIVER WATERSHED  
PARCEL 533-5.00-47.00



### INDEX OF DRAWINGS

SHEET 1	SEDIMENT & STORMWATER COVER SHEET
SHEET 2	CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN
SHEET 3	CONSTRUCTION SITE STORMWATER MANAGEMENT DETAILS # NOTES
SHEET 4	CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN
SHEET 5	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
SHEET 6	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS

### DELEGATED AGENCY APPROVAL:

SUSSEX CONSERVATION DISTRICT  
23818 SHORTLY ROAD  
GEORGETOWN, DE, 19947  
302-856-2105

### CERTIFICATION OF PLAN ACCURACY:

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES.

*Phillip L. Toller* 06/16/2022  
DATE

PHILLIP L. TOLLER, P.E.  
DE LICENSE NO. #12489  
MORRIS & RITCHE ASSOCIATES, INC.  
18 BOULDEN CIRCLE, SUITE 38  
NEW CASTLE, DELAWARE 19720  
(302) 326-2200

### CERTIFICATION OF OWNERSHIP:

I HEREBY CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHOULD BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E. BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT. AT A DIRECT SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I OWN THE UNDER SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT SITE REVIEWS, AND I UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT, AS REFERENCED ON THIS COVER SHEET.

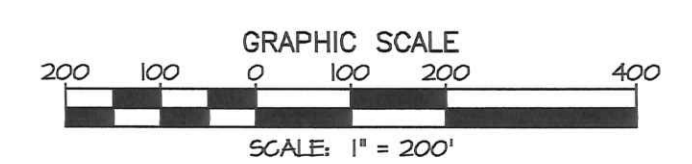
06/6/2022  
Date

MR. MYLES BURNSED, VICE PRESIDENT OF THE MANAGER  
EDF RENEWABLES DISTRIBUTED SOLUTIONS, INC.  
P: (215) 809-8240  
E: myles.burnsed@edf-rs.com  
6940 COLUMBIA GATEWAY DRIVE, SUITE 400  
COLUMBIA, MD 21046

Wetland and Watercourse Certification  
Per  
Article XXVIII Administration and Enforcement  
§ 115-221 Final site plan requirements, B.(14)

I, Weston Hillegas, certify that the wetland and watercourse delineation is accurate to the best of my knowledge as documented in the 2021 Wetland and Watercourse Delineation Report. A site visit was subsequently conducted with the USACE and DNREC present to confirm wetland and watercourse boundaries on 08/16/2021. A "No Permit Required" (CENAP-OPR-2021-00687-85 Broom Solar SX (NPR)) was issued by the USACE Philadelphia District on February 16, 2022, confirming the proposed project does not involve work or structures in navigable waters, nor does the project involve discharge or fill material into waters of the United States, including wetlands. The Delaware Department of Natural Resources and Environmental Control concurred with USACE in a letter dated February 21, 2022 (JD-236/21). The February 21st letter explains the project will not affect features that are subject to the Subaqueous Lands Act, 7 D.E.L.C. Chapter 72 or the "Regulations Governing the Use of Subaqueous Lands".

*Weston Hillegas* 08/10/2022  
Signature Date



### SEDIMENT CONTROL NOTES:

- THE SUSSEX CONSERVATION DISTRICT MUST BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- REVIEW AND APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY THE SUSSEX CONSERVATION DISTRICT.
- THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ENTER PRIVATE PROPERTY FOR PURPOSES OF PERIODIC SITE INSPECTION.
- FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 14 CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER SEDIMENT CONTROLS, TOPSOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROPOSED SITE.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- AT ANY TIME A Dewatering OPERATION IS USED IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A Dewatering PERMIT SHOULD BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND REPAIR ALL EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT PRACTICES DURING UTILITY INSTALLATION.
- DNREC AND SUSSEX CONSERVATION DISTRICT (SCD) PERSONNEL SHALL HAVE THE RIGHT TO CONDUCT ON-SITE INSPECTIONS OF LAND DISTURBING ACTIVITIES.
- APPROVED PLANS REMAIN VALID FOR 5 YEARS FROM THE DATE OF APPROVAL.
- POST CONSTRUCTION VERIFICATION DOCUMENTS SHALL BE SUBMITTED TO THE DEPARTMENT OR DELEGATED AGENCY WITHIN 60-DAYS OF STORMWATER MANAGEMENT FACILITY COMPLETION.
- APPROVAL OF A SEDIMENT AND STORMWATER PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
- THE CONTRACTOR SHALL USE A STREET SWEEPER AS REQUIRED TO MINIMIZE DUST AND SOIL ON ROADWAYS. IF DUST BECOMES A PROBLEM, THE CONTRACTOR SHALL APPLY WATER TO THE CONSTRUCTION RIGHT-OF-WAY TO PROVIDE DUST CONTROL.
- THE NOTICE OF INTENT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER A NPDES GENERAL PERMIT FOR THIS PROJECT IS 00000. THE PERMITTEE OF RECORD SHALL NOT BE RELIEVED OF THEIR RESPONSIBILITIES UNTIL A NOTICE OF TERMINATION HAS BEEN PROCESSED BY DNREC.
- THE OWNER SHALL BE FAMILIAR WITH AND COMPLY WITH ALL ASPECTS OF THE NPDES CONSTRUCTION GENERAL PERMIT ASSOCIATED WITH THE PROJECT.
- BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CALL MISS UTILITY AT 811 OR 1.800.282.2883 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION TO HAVE ALL EXISTING UTILITIES MARKED ON-SITE.
- THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
- DOCUMENTATION OF SOIL TESTING AND MATERIALS USED FOR TEMPORARY OR PERMANENT STABILIZATION INCLUDING BUT NOT LIMITED TO SOIL TEST RESULTS, SEED TAGS, SOIL AMENDMENT TAGS, ETC. SHALL BE PROVIDED TO THE DEPARTMENT OR DELEGATED AGENCY TO VERIFY THAT THE PERMANENT OR TEMPORARY STABILIZATION HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLAN.
- THE DEPARTMENT OR DELEGATED AGENCY MAY REQUIRE ADDITIONAL SOIL TESTING AND REAPPLICATION OF PERMANENT OR TEMPORARY STABILIZATION IN ACCORDANCE WITH THE SPECIFICATIONS IN THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, OR ALTERNATIVE MEASURES THAT PROVIDE FUNCTIONAL EQUIVALENCY.

1540 Eisenhower Place  
Ann Arbor, MI 48108  
Phone: 734.971.7888  
www.trcsolutions.com

**TRC**

TRC Project No.: 376627.0000.0000

18 BOULDEN CIRCLE, SUITE 38  
NEW CASTLE, DE 19720  
(302) 326-2200  
FAX: (302) 395-2389

MIRAGE  
MIRAGE.TX.COM  
© 2022 MORRIS & RITCHE ASSOCIATES, INC.

**edf** renewables

Revisions:  
No. Date:

Drawn by:  
JTH

Design by:  
CWB

Checked by:  
CWB

SEDIMENT & STORMWATER COVER SHEET  
BROOM SOLAR PARTNERS, LLC  
BROOM SOLAR PROJECT  
ADJACENT TO 32419 FRANKFORD SCHOOL ROAD  
FRANKFORD, DELAWARE 19945

Contract No:  
376627

Scale:  
AS SHOWN

Date:  
05/31/2022

Sheet:  
COVER SHEET

Drawing No:  
1 OF 6



1540 Eisenhower Place  
 NEW CASTLE, DE 19720  
 Phone: 734.971.7886  
 www.trcsolutions.com

**TRC**

TRC Project No.: 376627.0000.0000

18 BOULDER CIRCLE, SUITE 36  
 NEW CASTLE, DE 19720  
 (302) 326-2200  
 FAX: (302) 326-2388

**MIRA**

PROFESSIONAL ENGINEER  
 DELAWARE  
 No. 12489  
 06/24/23

MIRAGTA.COM  
 © 2022 MORRIS & RITCHE ASSOCIATES, INC.



Revisions:

No.	Date:

Drawn by:  
JTH

Design by:  
CWB

Checked by:  
CWB

**CONSTRUCTION SITE STORMWATER  
 MANAGEMENT PLAN**  
**BROOM SOLAR PARTNERS, LLC**  
**BROOM SOLAR PROJECT**  
 ADJACENT TO 32419 FRANKFORD SCHOOL ROAD  
 FRANKFORD, DELAWARE 19945

Contract No:  
376627

Scale:  
1" = 100'

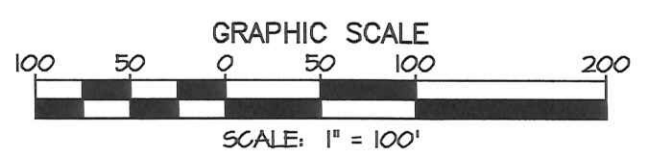
Date:  
05/31/2022

Sheet:  
SWM MAN.PLAN

Drawing No:  
2 OF 6

**NOTE:**  
 THESE PLANS ASSUME THE SOLAR PANELS CAN BE INSTALLED WITHOUT THE STRIPPING OF TOPSOIL OR EARTH DISTURBANCE WITHIN THE DESIGNATED "LIMITS OF WORK". IF EARTH DISTURBANCE IS OBSERVED DURING THIS ACTIVITY, PERIMETER CONTROLS SHOULD BE INSTALLED TO PREVENT SEDIMENT LADEN WATER FROM LEAVING THE LIMITS OF WORK.

SYMBOL	SOIL SERIES	SLOPE	NATURAL DRAINAGE CLASS	HYDROLOGIC CLASSIFICATION	DEPTH TO WATER TABLE	WATER HOLDING CAPACITY
HmA	HAMMONTON LOAM SAND	0-2%	MODERATELY WELL DRAINED	B	~ 20" TO 40"	5.3"
HhA	HIRLOCK LOAMY SAND	0-2%	POORLY DRAINED	A/D	~ 10" TO 20"	6.4"
MhA	MILLIGA-BERRYLAND COMPLEX	0-2%	VERY POORLY DRAINED	A/D	~ 0" TO 10"	4.4"



### Standard Detail & Specifications Stabilized Construct. Entrance

**Plan**

**Profile**

**Section A-A (Opt.)**

Source: Adapted from VA ESC Handbook  
Symbol: **SCE**  
Detail No: **DE-ESC-3.4.7** Sheet 1 of 2

Effective February 2019

### Standard Detail & Specifications Stabilized Construct. Entrance

**Section A-A (Opt.)**

Source: Adapted from VA ESC Handbook  
Symbol: **SCE**  
Detail No: **DE-ESC-3.4.7** Sheet 2 of 2

Effective February 2019

### Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

**Plan**

**Section A-A**

Source: Delaware ESC Handbook  
Symbol: **SCE**  
Detail No: **DE-ESC-3.6.1** Sheet 1 of 5

Effective February 2019

### Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

**Pollution Prevention - Spill Prevention**

- Fueling should only take place in signed designated areas, away from downstream drainage facilities and watercourses.
- Fueling must be with nozzles equipped with automatic shut-off to control drips. Do not top off.
- Protect the areas where equipment or vehicles are being repaired, maintained, fueled or parked from storm water run-on and runoff.
- Place a "Fueling Area" sign next to each fueling area.
- Use berms such as berms to prevent storm water run-on and runoff, and to contain spills.
- Store hazardous materials such as fuel, solvents, oil and chemicals in secondary containment.
- Inspect vehicles and equipment for leaks on each day of use. Repair fluid and oil leaks immediately.
- Absorbent spill clean-up materials and spill kits must be available in fueling areas and on fuel trucks.
- If fueling is to take place at night, make sure the fueling area is sufficiently illuminated.
- Properly dispose of used oil, fluids, lubricants and spill clean-up materials.

**CLEAN UP SPILLS**

- If it is safe to do so, immediately contain and clean up any chemical and/or hazardous material spills.
- Properly dispose of used oil, fluids, lubricants and spill clean-up materials.
- Do not bury spills or wash them down with water.

**LEAKS AND DROPS**

- Use drip pans or absorbent pads at all times. Place under and around leaky equipment.
- Do not allow oil, grease, fuel or chemicals to drip onto the ground.
- Have spill kits and clean up material on-site.
- Repair leaky equipment promptly or remove problem vehicles and equipment from the site. Clean up contaminated soil immediately.
- Store contaminated waste in sealed containers constructed of suitable material. Label these containers properly.
- Clean up oil spills and leaks. Promptly dispose of waste and spent clean up materials.

Source: Delaware ESC Handbook  
Symbol: **SCE**  
Detail No: **DE-ESC-3.6.1** Sheet 2 of 5

Effective February 2019

### Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

**Notes:**

The Construction Site Pollution Prevention Plan should include the following elements:

- Material Inventory**  
Document the storage and use of the following materials:  
a. Concrete  
b. Detergents  
c. Paints (enamel and latex)  
d. Cleaning solvents  
e. Pesticides  
f. Wood scraps  
g. Fertilizers  
h. Petroleum based products
- Good housekeeping practices**  
a. Store only enough product required to do the job.  
b. All materials shall be stored in a neat, orderly manner in their original labeled containers and covered.  
c. Substances shall not be mixed.  
d. When possible, all of a product shall be used prior to disposal of the container.  
e. Manufacturers' instructions for disposal shall be strictly adhered to.  
f. The site foreman shall designate someone to inspect all BMPs daily.
- Waste management practices**  
a. All waste materials shall be collected and stored in securely lidded dumpsters in a location that does not drain to a waterbody.  
b. Waste materials shall be stored and/or recycled whenever possible.  
c. The dumpsters shall be emptied a minimum of twice per week, or more if necessary. The licensed trash hauler is responsible for cleaning out dumpsters.

Source: Adapted from USEPA Pub. 840-B-92-002  
Symbol: **SCE**  
Detail No: **DE-ESC-3.6.1** Sheet 3 of 5

Effective February 2019



### Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

**Notes (cont.)**

- Trash shall be disposed of in accordance with all applicable Delaware laws.
- Trash cans shall be placed on all lunch spots and littering is strictly prohibited. Recycle bins shall be placed near the construction trailers.
- If filter bags can not be stored in a weather-proof location, they shall be kept on a pallet and covered with plastic sheeting which is overlapped and anchored.

**4. Equipment maintenance practices**

- If possible, equipment should be taken to off-site commercial facilities for washing and maintenance.
- If performed on-site, vehicles shall be washed with high-pressure water spray without detergents in an area contained by an impervious berm.
- Drip pans shall be used for all equipment maintenance.
- Equipment shall be inspected for leaks on a daily basis.
- Washout from concrete trucks shall be disposed of in a temporary pit for hardening and proper disposal.
- Fuel nozzles shall be equipped with automatic shut-off valves.
- All used products such as oil, antifreeze, solvents and tires shall be disposed of in accordance with manufacturers' recommendations and local, state and federal laws and regulations.

**5. Spill prevention practices**

- Potential spill areas shall be identified and contained in covered areas with no connection to the storm drain system.
- Warning signs shall be posted in hazardous material storage areas.
- Preventive maintenance shall be performed on all tanks, valves, pumps, pipes and other equipment as necessary.
- Low or non-toxic substances shall be prioritized for use.

Source: Adapted from USEPA Pub. 840-B-92-002  
Symbol: **SCE**  
Detail No: **DE-ESC-3.6.1** Sheet 4 of 5

Effective February 2019

### Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

**Notes (cont.)**

- Contact information for reporting spills through the DNREC 24-Hour Toll Free Number shall be prominently posted.

**6. Education**

- Best management practices for construction site pollution control shall be a part of regular progress meetings.
- Information regarding waste management, equipment maintenance and spill prevention shall be prominently posted in the construction trailer.

**CONTACT INFORMATION**

DNREC 24-Hour Toll Free Number: **800-662-8802**  
DNREC Solid & Hazardous Waste Management Section: **302-739-9403**

Source: Adapted from USEPA Pub. 840-B-92-002  
Symbol: **SCE**  
Detail No: **DE-ESC-3.6.1** Sheet 5 of 5

Effective February 2019

### Standard Detail & Specifications Concrete Washout

**Plan View**

**Section A-A**

**Alternate Liner Option**

Source: Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3  
Symbol: **CW**  
Detail No: **DE-ESC-3.6.2** Sheet 2 of 2

Effective February 2019

### Standard Detail & Specifications Concrete Washout

**Construction Notes:**

- Locate washout area a minimum of 50 feet from open channels, stormdrain inlets, wetlands or waterbodies.
- Locate washout area so that it is accessible to concrete equipment (service with a minimum 10 foot wide gravel accessway), but so it is not in a highly active construction area causing accidental damage.
- Minimum dimensions for prefabricated units are 4 feet by 4 feet by 1 foot deep with a minimum 4mil polyethylene plastic liner. Minimum dimensions for constructed concrete washout areas are 6 feet by 6 feet by 3 feet deep, with a minimum 10mil polyethylene liner, 2:1 side slopes, and a 1 foot high by 1 foot wide compacted fill berm.
- The liner must be free of tears or holes and placed over smooth surfaces to prevent puncturing. For excavated washouts, anchor the liner underneath the berm or overlap with sandbags or concrete blocks to hold in place.
- Provide a sign designating the washout area, and for large construction sites, provide signs throughout directing traffic to its location.
- Allow washed out concrete mixtures to harden through evaporation of the wastewater. Once the facility has reached 75 percent of its capacity, remove the hardened concrete by reusing, or broken aggregate onsite, recycling, or disposing of offsite. The hardened material can be buried on site with minimum of 1 foot of clean, compacted fill.
- Apply a new liner before reusing the station for additional washouts after maintenance has occurred.

Source: Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3  
Symbol: **CW**  
Detail No: **DE-ESC-3.6.2** Sheet 2 of 2

Effective February 2019

### Standard Detail & Specifications Concrete Mixing Operation

**Plan View**

**Section View**

Source: Adapted from MN/DOT Concrete Manual, Chap. 4  
Symbol: **CMO**  
Detail No: **DE-ESC-3.6.3** Sheet 1 of 2  
Effective FEB 2019

Effective February 2019

### Standard Detail & Specifications Concrete Mixing Operation

**Construction Notes:**

- Locate concrete mixing and containment area a minimum of 50 feet from open channels, stormdrain inlets, wetlands or waterbodies.
- Locate concrete mixing and containment area so that it is accessible to telescopic lifts service with a minimum 10 foot wide gravel or paved accessway, but so it is not in a highly active construction area causing accidental damage.
- Minimum volume for installed containment areas are 3.5 cubic feet per cubic foot of mixing capacity. The installed containment area must encompass the storage silo and mixing unit, and be surrounded on three sides minimum by a 12" high stone berm (DE #57) or 18" compost log.
- The 10-mil poly liner must be free of tears or holes and placed over smooth surfaces to prevent puncturing. The liner shall cover the perimeter cloth and be secured on the backside using cement or sand bags, or keyed into the ground a minimum of 6".
- Allow cementitious waste to harden through evaporation of the wastewater. Once the facility has reached 75 percent of its capacity, remove the hardened concrete by reusing the broken aggregate onsite, recycling, or disposing of offsite. The hardened material can be buried on site with minimum of 1 foot of clean, compacted fill.
- Apply a new liner before reusing the station for additional mixing after maintenance has occurred.

Source: Adapted from MN/DOT Concrete Manual, Chap. 4  
Symbol: **CMO**  
Detail No: **DE-ESC-3.6.3** Sheet 2 of 2  
Effective FEB 2019

Effective February 2019

### Standard Detail & Specifications Silt Fence

**Section**

**Plan**

Source: Adapted from MD Sids. & Specs. for ESC  
Symbol: **SF**  
Detail No: **DE-ESC-3.12.1** Sheet 1 of 2

Effective February 2019

### Standard Detail & Specifications Silt Fence

**Construction Detail**

**Log**

**Construction Notes:**

- Geosynthetic fabric to be fastened securely to fence posts with wire ties or staples.
- When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
- Maintenance shall be performed as needed and material removed when "bulges" develop in the silt fence.

**Materials:**

- Stakes: Steel I-beam T or UJ or 2" x 2" hardwood
- Geosynthetic Fabric: Type GD-1
- Reinforcing strip: Wooden loft or plastic strip

Source: Adapted from MD Sids. & Specs. for ESC  
Symbol: **SF**  
Detail No: **DE-ESC-3.12.1** Sheet 2 of 2

Effective February 2019

### Standard Detail & Specifications Compost Filter Log

**Plan**

**Surface Option Shown for Slopes less than 8:1**

**Notes:** Manufacturer's recommendations supersede any installation details shown for this practice

Source: Adapted from MD Sids. & Specs. for ESC & Filtrax International  
Symbol: **CFL**  
Detail No: **DE-ESC-3.1.7** Sheet 1 of 2  
Effective FEB 2019

Effective February 2019

### Standard Detail & Specifications Compost Filter Log

**Construction Notes:**

- Prior to installation, clear bedding area of obstructions including rocks or debris larger than 1 inch and fill in any sharp depression areas.
- If socks are prepared on-site, fill the sock fabric using a pneumatic blower so that the logs are rigid and do not deform. Terminate at the desired length.
- For trrenched applications, excavate 2 to 4 inches below grade along the width and length of the compost filter log.
- Install the compost filter logs perpendicular to the flow direction and parallel to the slope with the beginning and end of the installation pointing up the slope a minimum of 1 foot elevation difference. On sites where this is not possible, upturn at a minimum length of 10' at a 30 degree angle to prevent runoff bypass.
- For untrrenched applications, blow or hand pack soil, mulch, or compost on the upslope side of the log, filling the bottom void area.
- Stake the filled log every 10 feet maximum through the center of the sock for trrenched applications, or every 8 feet for untrrenched. The stakes shall be a 2" by 2" hardwood. It should extend 12" below grade and protrude at least 5" above the top of the sock. If located on a slope greater than 8:1, the stake shall be angled downslope at a 45 degree angle to prevent the force of the water from dislodging the log.
- When the length of the compost filter log needed exceeds the available compost filter sock length, the next sock shall be overlapped a minimum of 12" before being filled, and a stake placed through both socks at the overlap.
- Remove accumulated sediment when it has reached half of the effective height of the log.
- Inspect weekly and after rain event. If sock is degrading or the sock is falling, vegetation to secure the compost, replace the log, or reinforce with an additional log. If the log has been crushed due to construction equipment, it can be "buffed" back to its effective height. If the effective height can no longer be restored, the log shall be replaced or reinforced with an additional compost filter log.

Source: Adapted from MD Sids. & Specs. for ESC & Filtrax International  
Symbol: **CFL**  
Detail No: **DE-ESC-3.1.7** Sheet 2 of 2  
Effective FEB 2019

Effective February 2019

1540 Eisenhower Plaza  
Ann Arbor, MI 48108  
Phone: 734.971.7800  
www.trcsolutions.com

**TRC**

18 BOULDER CIRCLE SUITE: 36  
NEW CASTLE DE 19720  
(302) 326-2200  
FAX: (302) 326-2369

**MPA**

REGISTERED PROFESSIONAL ENGINEER  
No. 12489  
DELAWARE  
06/24/21

MRAGTA.COM  
© 2022 MORRIS & BRICHG ASSOCIATES, INC.

TRC Project No: 376627.0000.0000

**edf** renewables

Revisions:

No.	Date:

Drawn by: JTH  
Design by: CWB  
Checked by: CWB

CONSTRUCTION SITE STORMWATER  
MANAGEMENT DETAILS & NOTES  
BROOM SOLAR PARTNERS, LLC  
BROOM SOLAR PROJECT  
ADJACENT TO 32419 FRANKFORD SCHOOL ROAD  
FRANKFORD, DELAWARE 19845

Contract No: 376627  
Scale: N/A  
Date: 05/31/2022  
Sheet: SWM MAN. DETAILS  
Drawing No: 3 OF 6

GENERAL UTILITY NOTES:

- 1. THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA AT 1-800-282-8555 FOR UTILITY LOCATIONS WITHIN AND SURROUNDING CONSTRUCTION AREAS NOT LESS THAN 3 DAYS BEFORE PERFORMING ANY EXCAVATION.
2. THE LOCATION OF UNDERGROUND UTILITIES AS INDICATED ON PLANS HAS BEEN OBTAINED FROM EXISTING RECORDS, NEITHER THE OWNER OR THE ARCHITECT/ENGINEER ASSUMES ANY RESPONSIBILITY...

SEQUENCE OF CONSTRUCTION

- 1. NOTIFY THE SUSSEX CONSERVATION DISTRICT (SCD) SEDIMENT AND STORMWATER PROGRAM IN WRITING AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
2. PRIOR TO ANY CLEARING, INSTALLATION OF SEDIMENT CONTROL MEASURES OR GRADING, A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED AND CONDUCTED WITH THE AGENCY CONSTRUCTION SITE REVIEWER...

Standard Detail & Specifications Mulching. Includes materials and amounts, application instructions, and a table with source, symbol, and detail number (DE-ESC-3.4.5 Sheet 1 of 3).

MULCHING MATERIAL SELECTION GUIDE. Table with columns for Percent Stone, Type of Mulch, and Application Dates (Dec 1 to Feb 28/29, March 1 to May 31, June 1 to Aug 31, Sept. 1 to Nov 30).

Standard Detail & Specifications Dust Control. Includes temporary methods, a table of dust control products, and permanent methods. Source: Adapted from VA ESC Handbook.

Standard Detail & Specifications Vegetative Stabilization. Includes a table for Temporary Seeding by Rates, Depths and Dates, and application notes. Source: Delaware ESC Handbook.

Standard Detail & Specifications Vegetative Stabilization. Includes a table for Permanent Seeding and Seeding Dates, and application notes. Source: Delaware ESC Handbook.

Standard Detail & Specifications Vegetative Stabilization. Includes a table for Permanent Seeding and Seeding Dates (cont'd), and application notes. Source: Delaware ESC Handbook.

Standard Detail & Specifications Vegetative Stabilization. Includes construction notes and application instructions. Source: Delaware ESC Handbook.

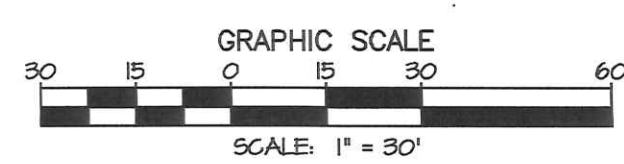
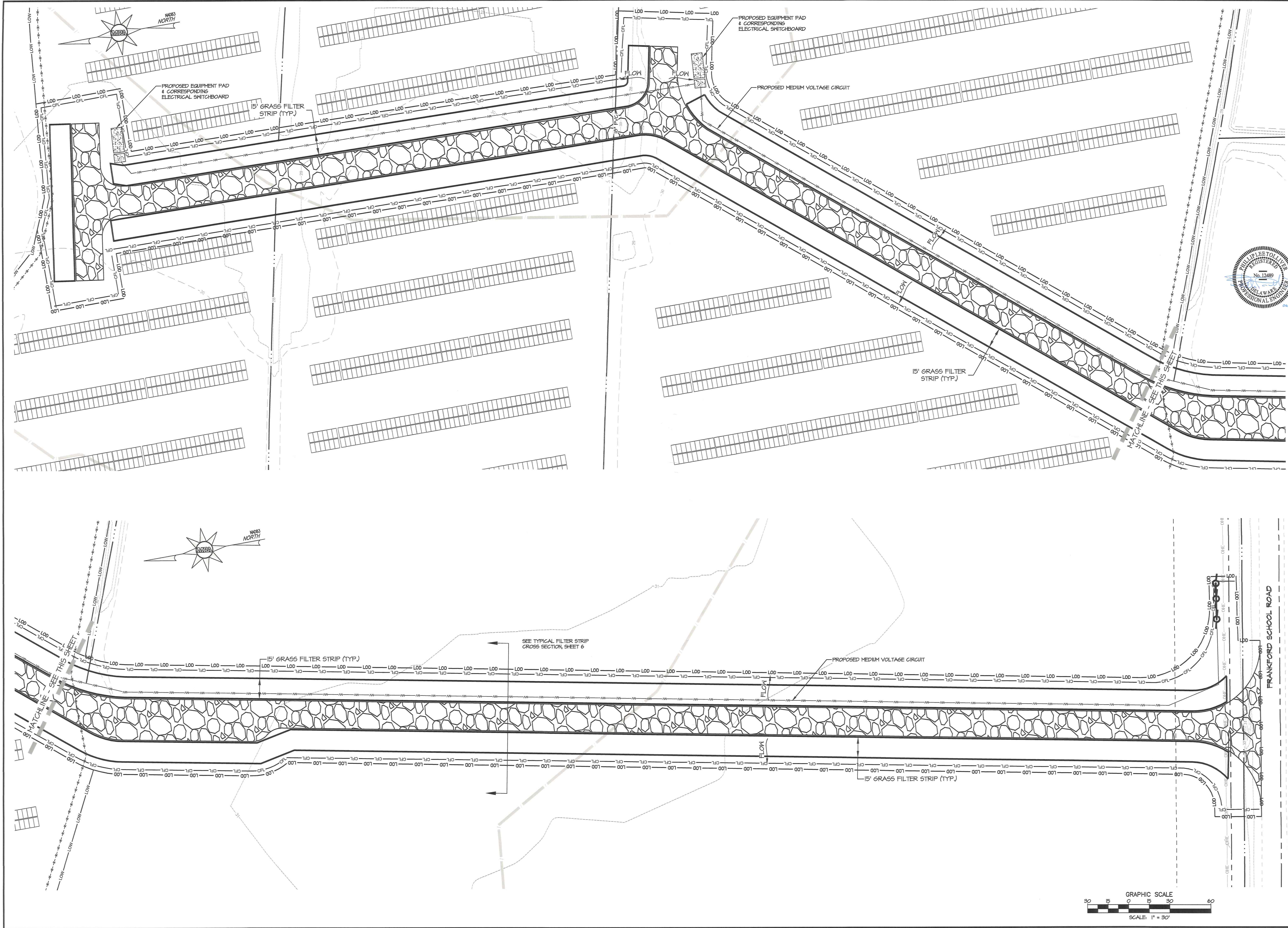
TRC logo and contact information: 1540 Eisenhower Place, Ann Arbor, MI 48106, www.trcusa.com. TRC Project No.: 376627.0000.0000

MIRA logo and contact information: 18 BOULDER CIRCLE, SUITE 36, NEW CASTLE, DE 19720, (302) 398-3200, FAX: (302) 365-2589.

edf renewables logo and contact information: Drawn by: JTH, Design by: CVB, Checked by: CVB.

CONSTRUCTION SITE STORMWATER MANAGEMENT DETAILS & NOTES. BROOM SOLAR PROJECT. ADJACENT TO 32419 FRANKFORD SCHOOL ROAD, FRANKFORD, DELAWARE 19945.

Contract No: 376627, Scale: N/A, Date: 05/31/2022, Sheet: SWM MAN. DETAILS, Drawing No: 4 OF 6.



1540 Eisenhower Place  
New Castle, DE 19720  
Phone: 754.971.7188  
www.trcsolutions.com

**TRC**

TRC Project No.: 376627.0000.0000

18 BOULDER CIRCLE, SUITE 36  
NEW CASTLE, DE 19720  
PHONE: (302) 326-2388  
FAX: (302) 326-2389

**MIRA**  
No. 12489  
DELAWARE  
PROFESSIONAL ENGINEER  
06/14/22

MIRAGTA.COM  
© 2022 MORRIS & RITCHE ASSOCIATES, INC.

**edf** renewables

Revisions:  
No. Date:

Drawn by:  
JTH

Design by:  
CVB

Checked by:  
CVB

**POST CONSTRUCTION  
STORMWATER MANAGEMENT PLAN  
BROOM SOLAR PARTNERS, LLC  
BROOM SOLAR PROJECT  
ADJACENT TO 32419 FRANKFORD SCHOOL ROAD  
FRANKFORD, DELAWARE 19945**

Contract No:  
376627

Scale:  
1" = 30'

Date:  
05/31/2022

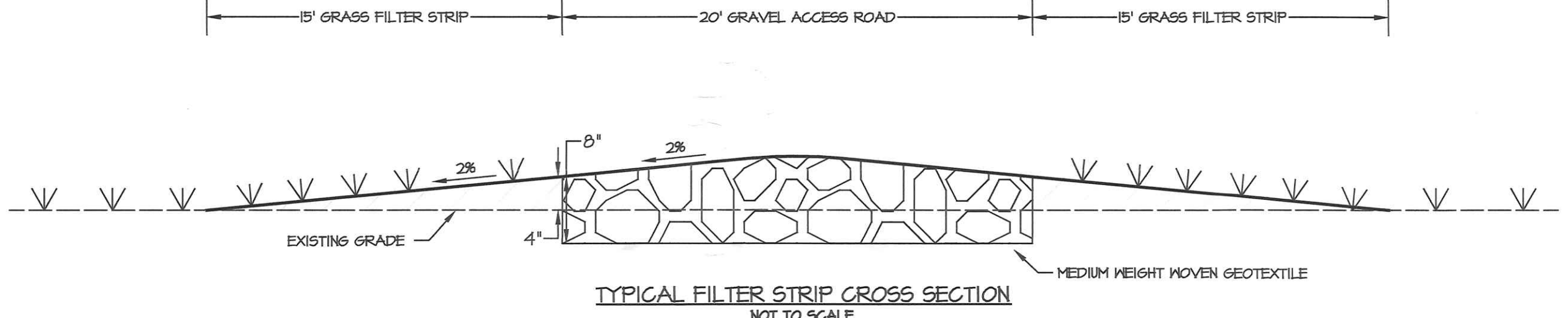
Sheet:  
POST SWM PLAN

Drawing No:  
5 OF 6

**OPERATION AND MAINTENANCE NOTES**

- THE OWNER IS TO OPERATE AND MAINTAIN EACH POST CONSTRUCTION STORMWATER MANAGEMENT FACILITY.
- THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE SUSSEX CONSERVATION DISTRICT (SCD), RESERVES THE RIGHT TO ENTER PRIVATE PROPERTY FOR PURPOSES OF PERIODIC SITE REVIEWS.
- THE SCD SHALL BE NOTIFIED WITHIN 30 BUSINESS DAYS IF THE PROPERTY OWNERSHIP IS TRANSFERRED TO A NEW PERSON OR ENTITY.
- THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE SCD MAY SEEK ENFORCEMENT ACTION AGAINST ANY OWNER DEEMED NEGLIGENT IN FULFILLING THE OPERATION AND MAINTENANCE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS.
- THE SCD SHALL BE CONTACTED IF A CONCERN ARISES REGARDING A STORMWATER MANAGEMENT FACILITY, BEFORE ANY NON-ROUTINE MAINTENANCE, OR IF MODIFICATIONS TO THE FACILITY ARE DESIRED.
- ANY DESIGN MODIFICATIONS MADE TO THE STORMWATER SYSTEM SHALL REQUIRE THE CREATION OF A NEW POST CONSTRUCTION STORMWATER MANAGEMENT PLAN AND/OR OPERATIONS AND MAINTENANCE PLAN, WITH APPROVAL OF THE PLANS BY THE SCD.
- FOR ALL STORMWATER EASEMENT AREAS (I.E. ACCESS, MAINTENANCE, OR OFFSITE) AND THE MINIMUM 15-FOOT WIDE ACCESSWAYS TO ALL STORMWATER FACILITIES AND THEIR STRUCTURAL COMPONENTS, REGULAR MOWING SHALL BE PERFORMED TO KEEP THE GRASS 6" OR LESS; NO TREES OR SHRUBS SHALL BE PLANTED, AND ANY FOUND GROWING SHALL BE REMOVED, AND NO PERMANENT STRUCTURES, SUCH AS FENCES OR SHEDS, SHALL BE LOCATED WITHIN THE EASEMENT OR ACCESSWAY.
- WHEN THE FACILITY IS EXCAVATED TO REMOVE ACCUMULATED SEDIMENT, THE DISPOSAL AREA SHALL BE PERMANENTLY STABILIZED SO THAT IT DOES NOT RECREATE AN EROSION PROBLEM. ANY MATERIAL TAKEN OFF-SITE SHALL STILL BE UTILIZED OR DISPOSED OF IN AN APPROVED DNREC MANNER.
- BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CALL MISS UTILITY AT 811 OR 1.800.282.2885 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, TO HAVE ALL EXISTING UTILITIES MARKED ON-SITE.

SHEET FLOW TO FILTER STRIP OR OPEN SPACE MAINTENANCE ITEMS AND FREQUENCY	
MAINTENANCE ACTIVITY	SCHEDULE
INSPECT THE SITE AFTER STORM EVENT THAT EXCEEDS 0.5 INCHES OF RAINFALL. STABILIZE ANY BARE OR ERODING AREAS. WATER TREES AND SHRUBS DURING THE FIRST GROWING SEASON. IN GENERAL, WATER EVERY 3 DAYS FOR THE FIRST MONTH, AND THEN WEEKLY DURING THE REMAINDER OF THE FIRST GROWING SEASON (APRIL - OCTOBER), DEPENDS ON RAINFALL.	DURING ESTABLISHMENT, AS NEEDED (FIRST YEAR)
REPAIR-ERODED, AND/OR BARE SOIL AREAS.	QUARTERLY OR AFTER MAJOR STORMS (1 INCH OF RAINFALL)
MOWING OF THE GRASSSED FILTER STRIP OR GRASSSED OPEN SPACE. INSPECT AND TREAT FOR INVASIVE SPECIES AS NEEDED.	TWICE A YEAR
REMOVE TRASH AND DEBRIS. A FULL MAINTENANCE REVIEW.	ANNUALLY



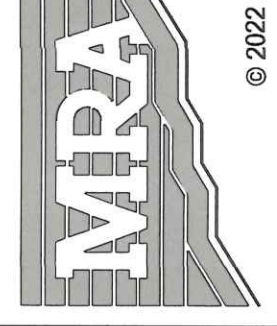
- UNCOMPACTED TOPSOIL SEEDING & MULCHED PER THE SPECIFICATIONS FOR PERMANENT SEEDING ON SHEET 4 OF 6
- POORLY GRADED 1/4 TO 1 INCH DIAMETER CRUSHED, ANGULAR STONE AGGREGATE (REFER TO FINAL SITE PLANS FOR REVISIONS)

1540 Eisenhower Place  
Ann Arbor, MI 48108  
Phone: 734.971.1080  
www.trcresolutions.com



TRC Project No: 376627.0000.0000

18 BOULDER CIRCLE, SUITE 36  
NEW CASTLE, DE 19720  
(302) 326-2200  
FAX: (302) 396-2399



MIRAGTA.COM  
© 2022 MORRIS & RTICHE ASSOCIATES, INC.

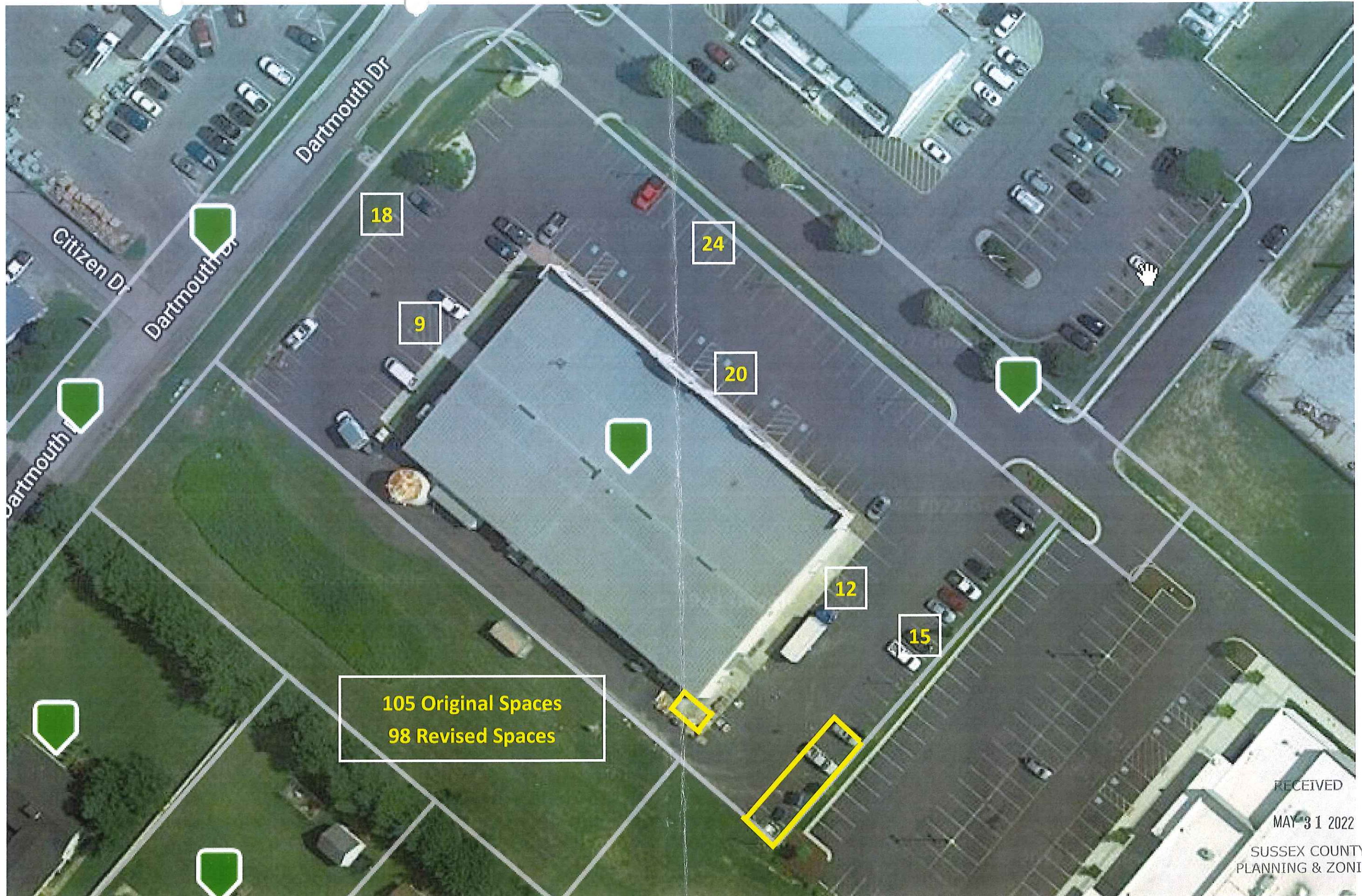


Revisions:	
No.	Date:

Drawn by:  
JTH  
Design by:  
CWB  
Checked by:  
CWB

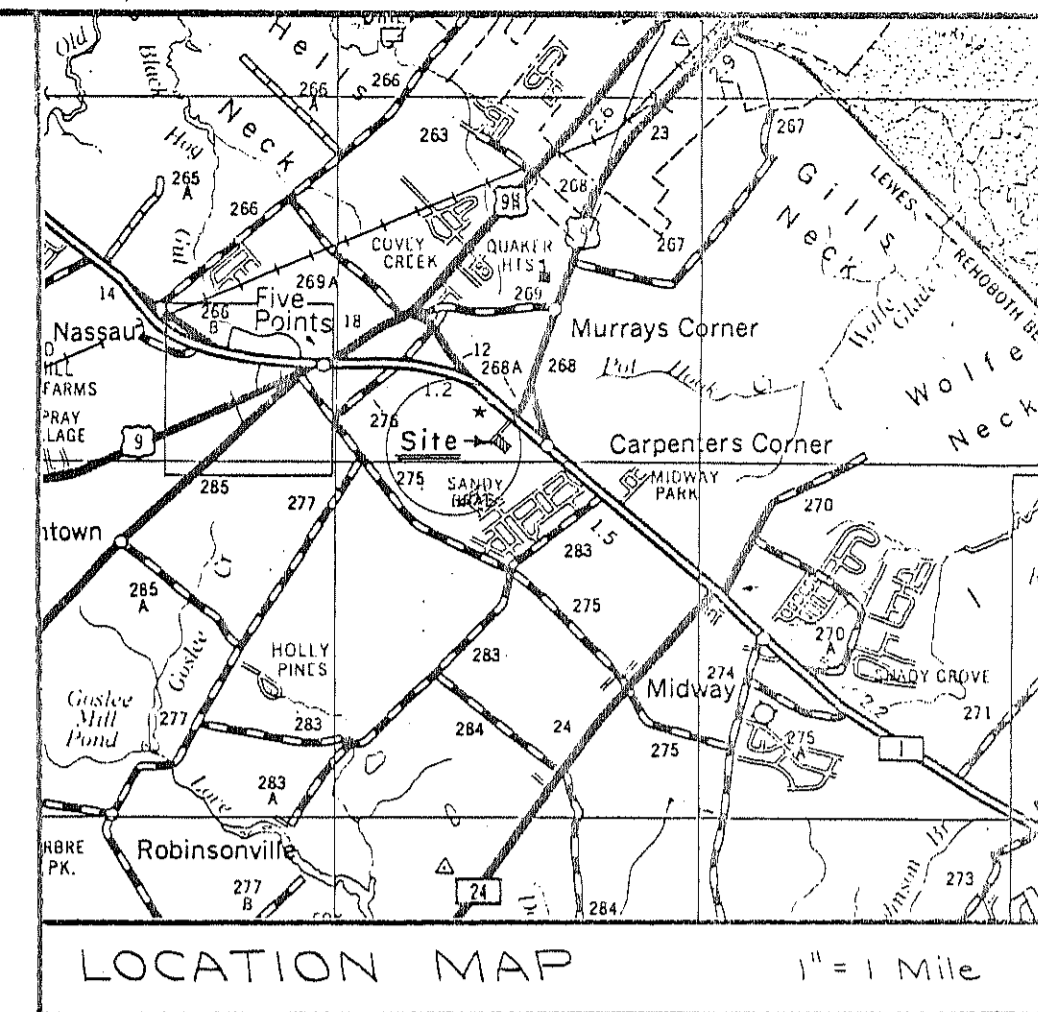
POST CONSTRUCTION STORMWATER  
MANAGEMENT DETAILS  
BROOM SOLAR PARTNERS, LLC  
BROOM SOLAR PROJECT  
ADJACENT TO 32419 FRANKFORD SCHOOL ROAD  
FRANKFORD, DELAWARE 19945

Contract No:  
376627  
Scale:  
N/A  
Date:  
05/31/2022  
Sheet:  
POST SWM DET.  
Drawing No:  
6 OF 6



105 Original Spaces  
98 Revised Spaces

RECEIVED  
MAY 31 2022  
SUSSEX COUNTY  
PLANNING & ZONING



**SITE PLAN**

TAX MAP NO. . . . . 3-34-6-Pr. 497  
 ZONING . . . . . "C-1"  
 SITE AREA . . . . . 2 Acres  
 PARKING REQUIRED . . . . . 115 Spaces  
 (23,000 s.f. @ 1/200 s.f.)  
 PARKING SHOWN . . . . . 115 Spaces  
 WATER SUPPLY . . . . . Central (Tidewater)  
 SEWAGE DISPOSAL . . . . . Holding Tanks

OWNER/DEVELOPER:  
 "TEXAS HIGHWAY ONE ASSOCS."  
 1322 KINGS HIGHWAY  
 LEWES, DE. 19958  
 645-6661

ALL RIP-RAP TO BE 0-50 G" DIA.  
 AT 12" THICKNESS.

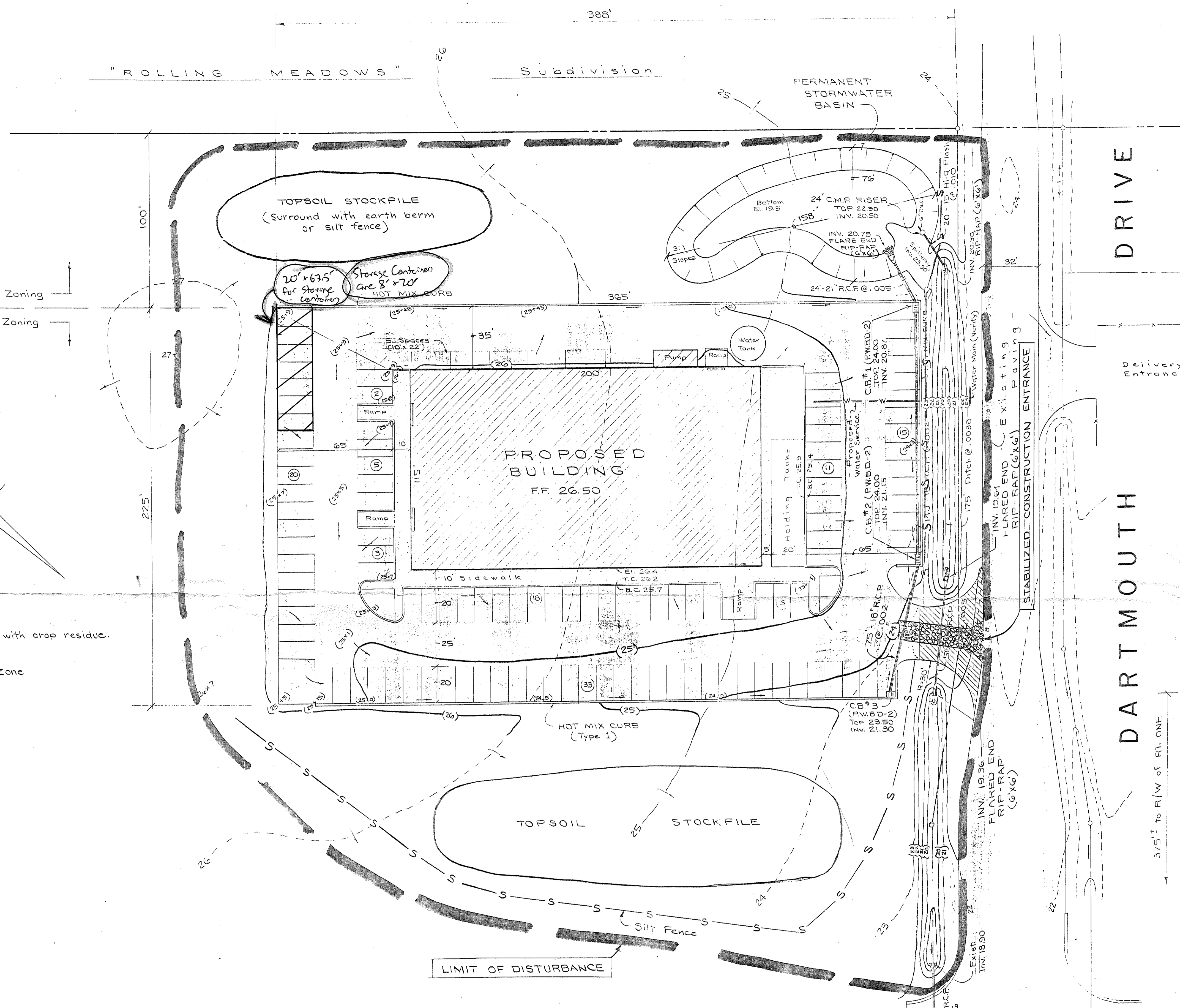
RECEIVED  
 MAY 31 2022  
 SUSSEX COUNTY  
 PLANNING & ZONING

APPROVED  
 SUSSEX CONSERVATION DISTRICT  
 SEDIMENT CONTROL & STORMWATER MANAGEMENT  
 Reviewed By *John L. L...* Date *3/1/23*  
 Approved By *W. H. Henderson* Date *2/25/23*

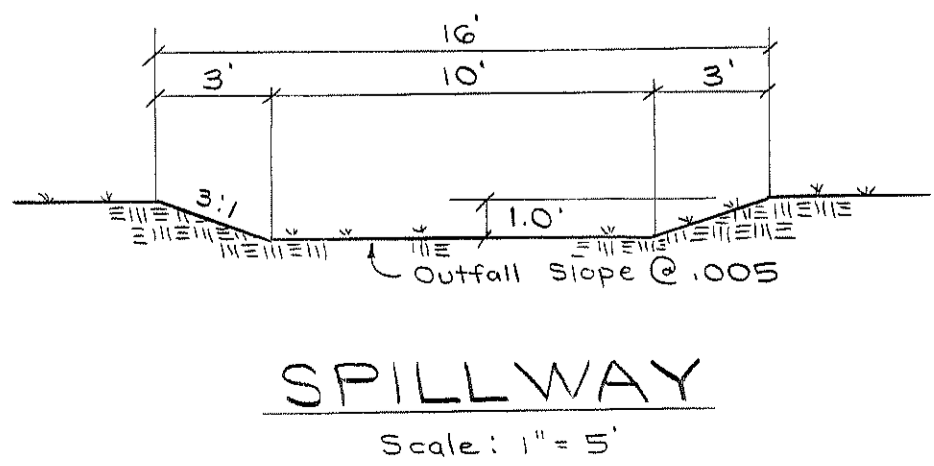
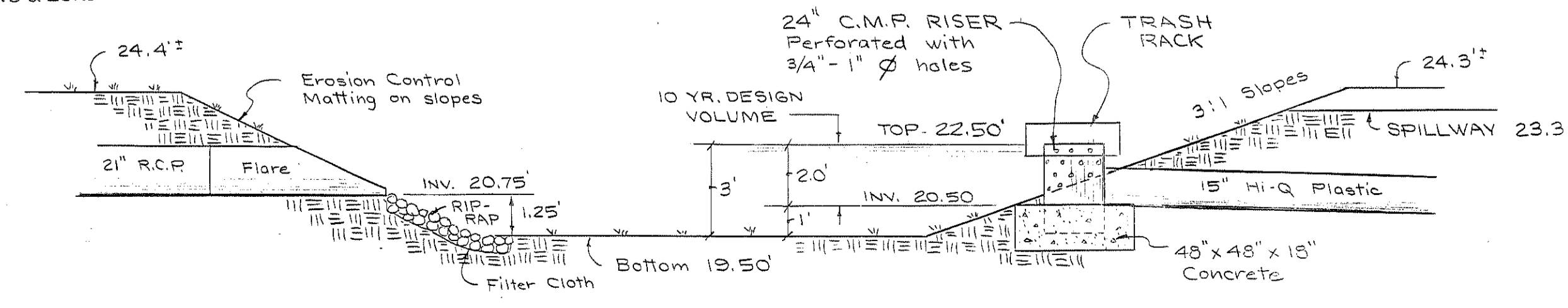
**STORMWATER MANAGEMENT  
 & EROSION CONTROL PLAN**  
**LEWES  
 FARMERS MARKET**

RECEIVED FEB 22 1993

LEWES & REHOBOTH HUNDRED SUSSEX CO. - DELAWARE	
SCALE: 1" = 30'	APPROVED BY:
DATE: 10/7/92	REVISOR: R.R.
COAST SURVEY P.O. BOX 117 - NASSAU, DE. 19969	
DRAWING NUMBER 991-06	

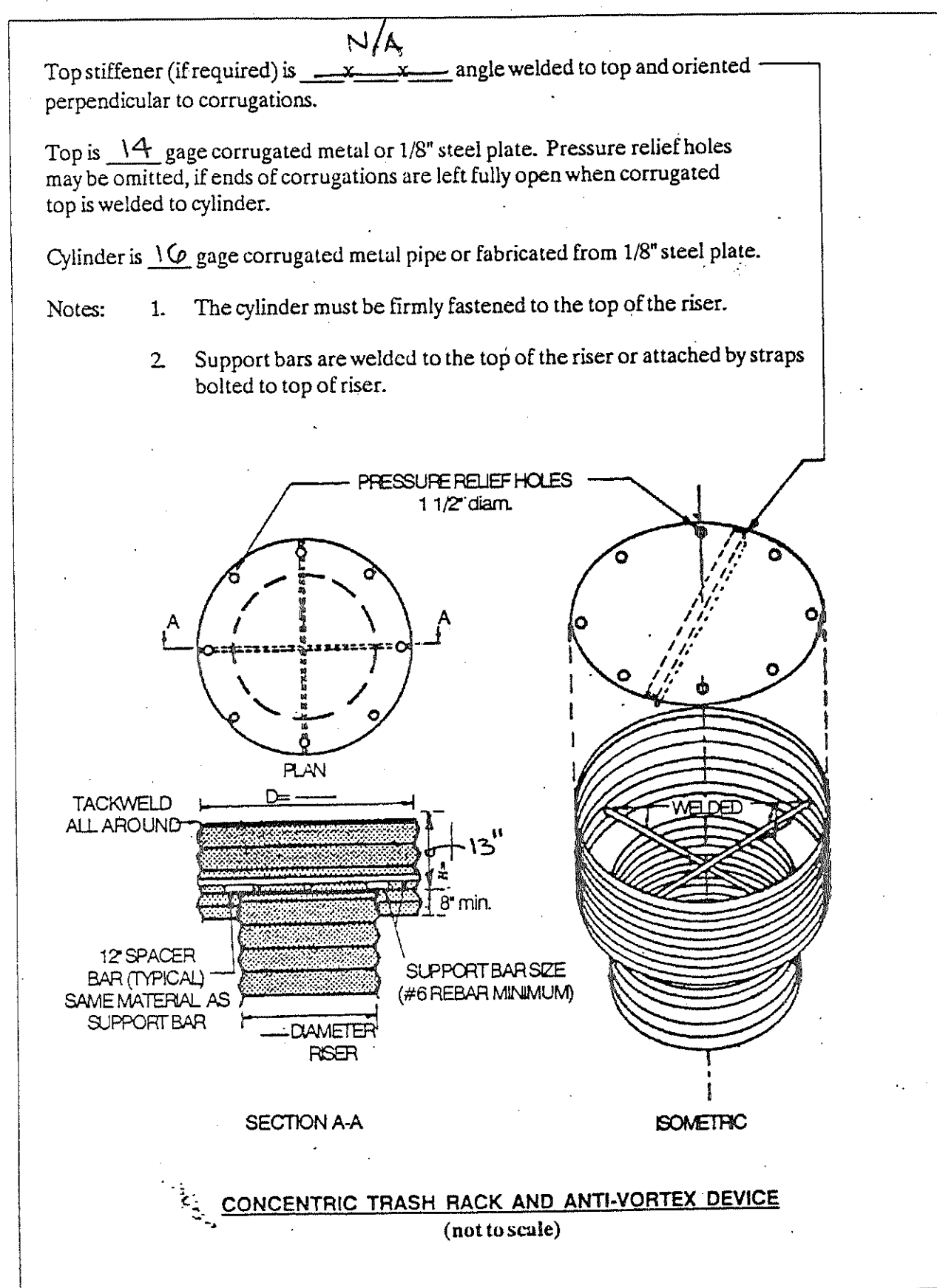
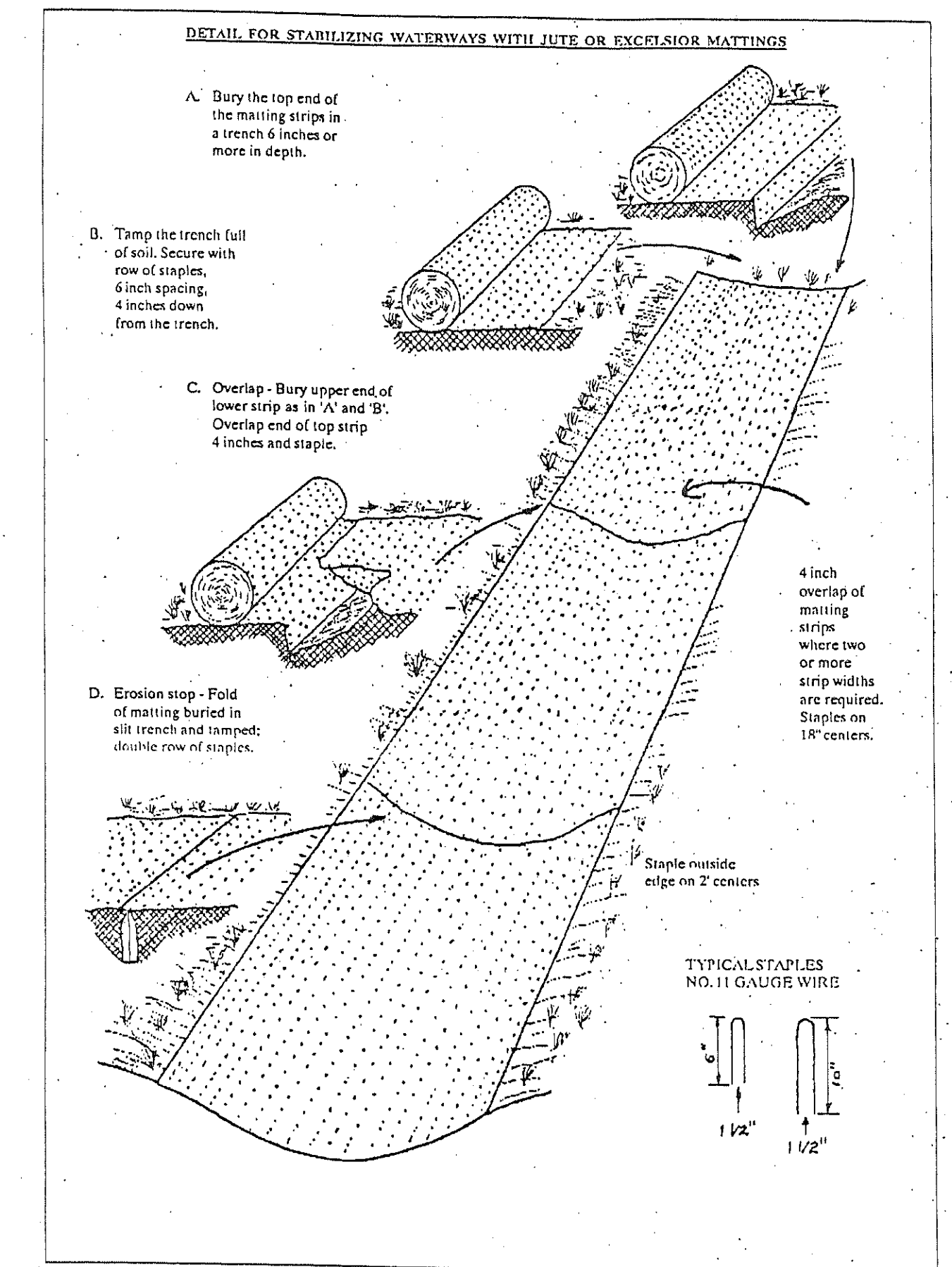
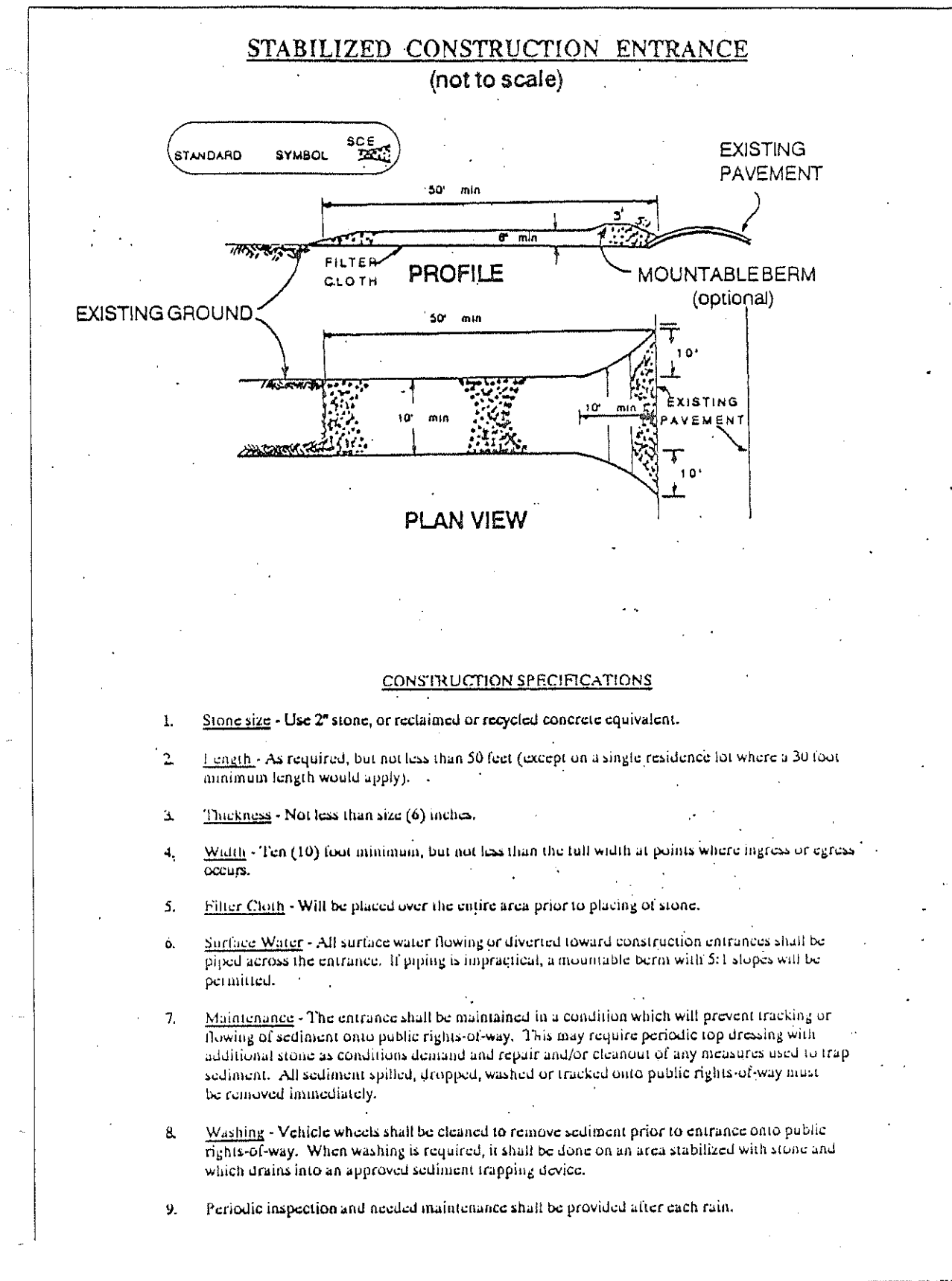
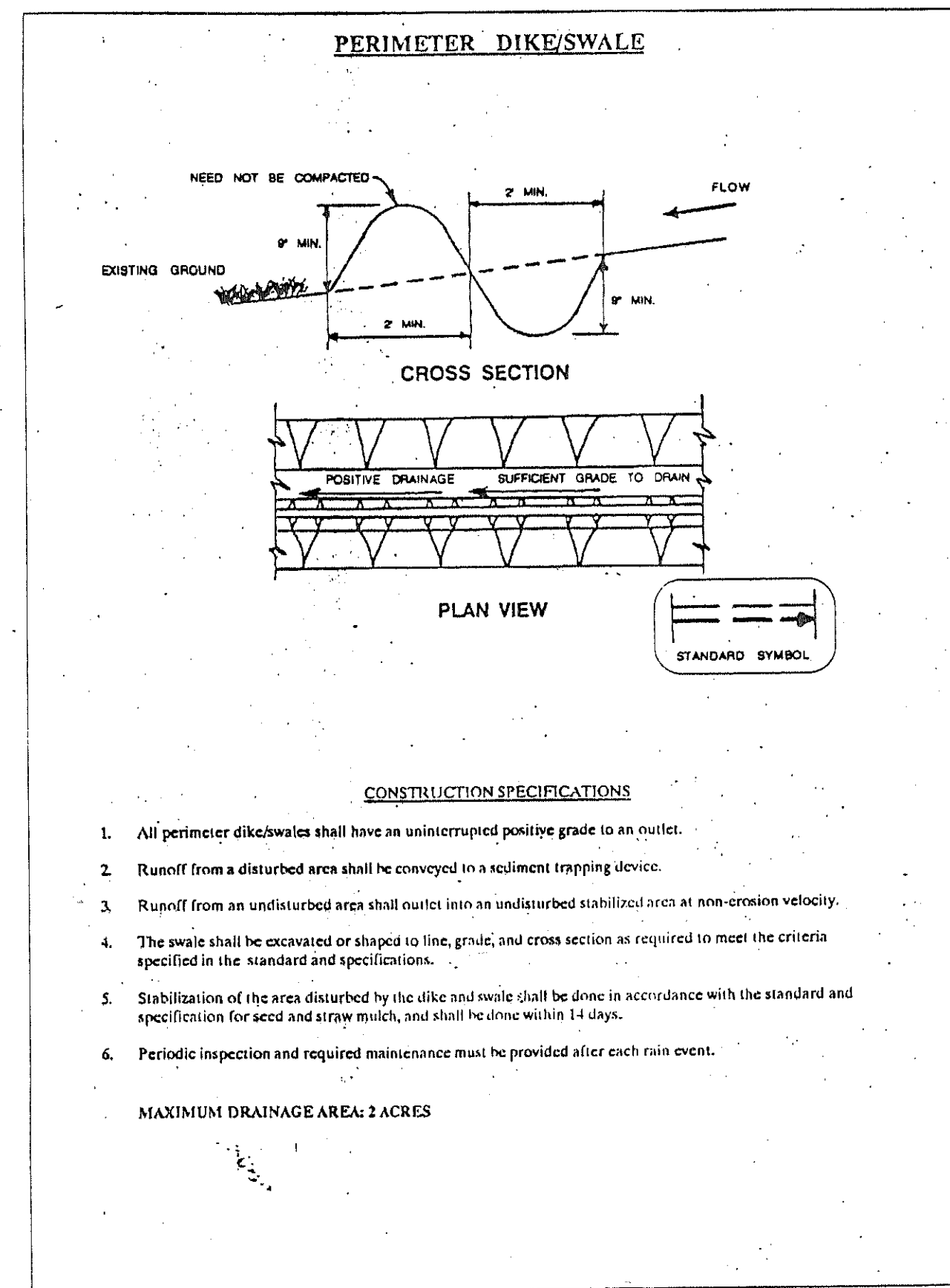
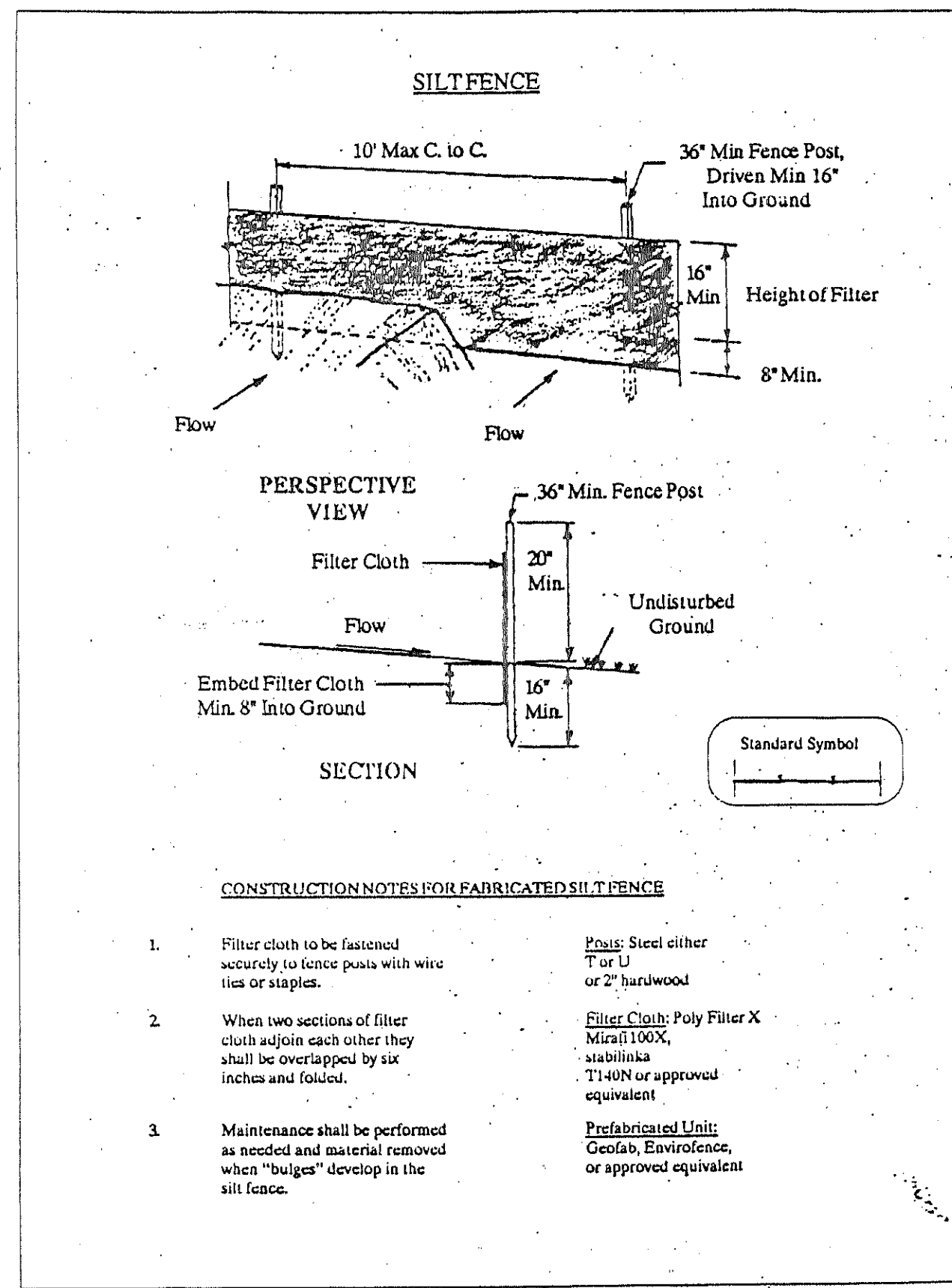


Existing fallow field with crop residue.  
 Sassafras Soils  
 No Wetlands  
 No 100 Yr. Flood Zone



RECEIVED  
 MAY 31 2022  
 SUSSEX COUNTY  
 PLANNING & ZONING





- ### NOTES
- Following soil disturbance or redistribution, permanent or temporary stabilization shall be completed within 14 calendar days as to the surface of all perimeter sediment controls, topsoil stockpiles, and all other disturbed or graded areas on the project site.
  - Sussex Conservation District must be notified in writing five (5) days prior to commencing with construction. Failure to do so constitutes a violation of the approved sediment and stormwater management plan.
  - Review and approval of the Sediment and Stormwater Management Plan shall not relieve the contractor from his or her responsibilities for compliance with the requirements of the Sediment and Stormwater Regulations, nor shall it relieve the contractor from errors or omissions in the approved plan.
  - If the approved plan needs to be modified, additional sediment and stormwater control measures may be required as deemed necessary by the Sussex Conservation District.
  - If dust control becomes a problem, water sprinkling shall be employed.
  - General contractor to be responsible for maintenance and repair of all erosion and sediment control and stormwater management practices damaged during utility installation.
  - Property owners shall be responsible for the perpetual maintenance of the stormwater management facilities.

### PERMANENT SEEDING

Seed - Kentucky 31 Tall Fescue @5-6 lbs./1,000 s.f.  
 Fertilizer - 10-10-10 @46 lbs./1,000 s.f.  
 Straw Mulch @92 lbs./1,000 s.f.  
 Lime @92 lbs./1,000 s.f.

### TEMPORARY SEEDING

Seed - Ryegrass @1 lb./1,000 s.f.  
 Fertilizer - 10-10-10 @14 lbs./1,000 s.f.  
 Straw Mulch - @70-90 lbs./1,000 s.f.  
 Lime - @46 lbs./1,000 s.f.

- ### CONSTRUCTION SEQUENCE
- Install entrance drainage pipe with rip-rap & stabilized construction entrance.
  - Construct permanent stormwater basin. Install catchbasins, pipes, riser, etc. Surround catchbasin with silt fence. Permanently seed stormwater basin.
  - Grade ditches along Dartmouth Drive & apply permanent seeding. Use erosion control matting.
  - Strip, grade building area. Construct foundation, pour slab.
  - Strip, cut/fill parking area to subgrade. Surround west topsoil stockpile with silt fence or berm and apply temporary seeding.
  - Construct curb, sidewalks, ramps around building.
  - Lay stone base for parking. Pave.
  - Remove topsoil stockpile. Finish grade all disturbed areas & apply permanent seeding.

### OWNER'S CERTIFICATION

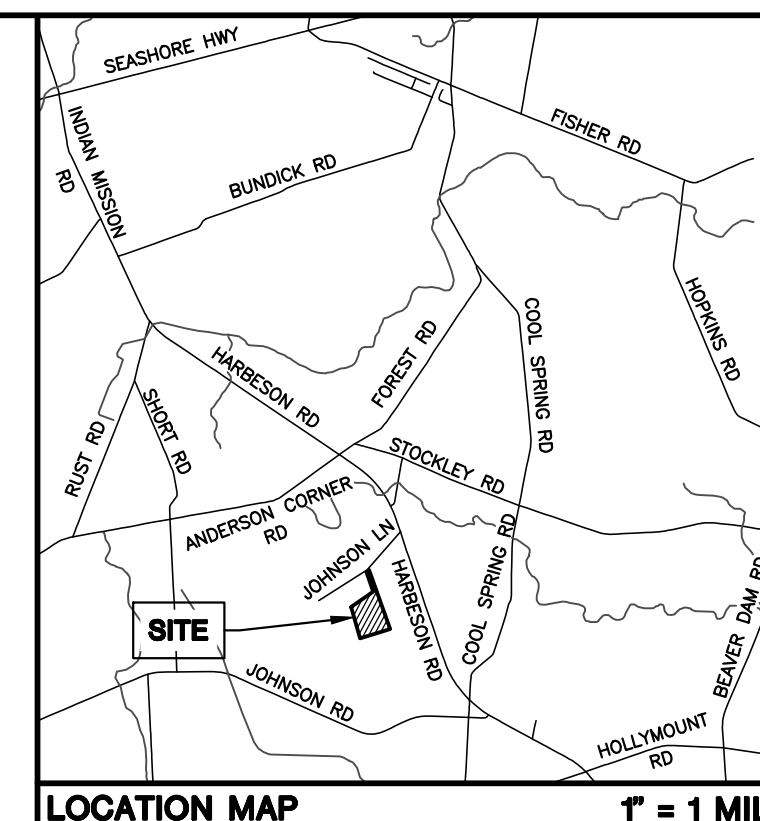
I, the undersigned, certify that all land clearing, construction and development shall be done pursuant to the approved plan.

*Salvatore Gallo* 2-17-23  
 Salvatore Gallo  
 1322 Kings Highway  
 Lewes, DE 19958 Date

# STORMWATER MANAGEMENT & EROSION CONTROL PLAN

## LEWES FARMERS MARKET

NAD 83  
DELAWARE STATE GRID



**SITE DATA**

CURRENT OWNER: KENNETH SCHRODER  
CAROLYN PATTERSON  
28366 JOHNSON LN  
HARBESON, DE 19951

TAX PARCEL NO.: 2-34-9.00-47.00

DEED REF.: DB 5387 PG 347

SITE ADDRESS: S. JOHNSON LN  
W. HARBESON RD (RT 5)

EXISTING: SITE AREA: 20.7472± ACRES

PROPOSED: LOT 1: 5.006 ACRES  
LOT 2: 11.317 ACRES  
LOT 3: 2.262 ACRES  
RESIDUAL LANDS: 2.162 ACRES  
SITE AREA: 20.717± ACRES

EXISTING LOTS: 1

PROPOSED LOTS: 4 (INCLUDING RESIDUAL)

EXISTING USE: AGRICULTURAL

FUTURE LAND USE:  
LOT 1: RESIDENTIAL  
LOT 2: RESIDENTIAL  
LOT 3: RESIDENTIAL  
RESIDUAL: RESIDENTIAL

ZONING: AR-1

SETBACKS: FRONT: 40'  
SIDE: 15'  
REAR: 20'

MAX. BLDG. HEIGHT: 35' OR 3 STORIES

FLOOD ZONE: ZONE X - MINIMAL FLOODING

F.I.R.M. No.: 10005C 0310L, 10005C 0325L

LAST REVISED: JUNE 20, 2018

SEWER PROVIDER: ON-SITE SEPTIC

WATER PROVIDER: ON-SITE WELL

FIRE DISTRICT: 83 - MILLSBORO

SCHOOL DISTRICT: 6 - CAPE HENLOPEN

TRANSPORTATION IMPROVEMENT DISTRICT: NOT LOCATED WITHIN

ARCHITECTS ENGINEERS SURVEYORS  
SALISBURY, MARYLAND (410) 543-9091  
MILFORD, DELAWARE (302) 424-1441  
EASTON, MARYLAND (410) 770-4744

**DAVIS, BOWEN & FRIEDEL, INC.**

**MINOR SUBDIVISION PLAN**  
of the Lands of  
**KENNETH SCHRODER & CAROLYN PATTERSON**  
INDIAN RIVER HUNDRED  
SUSSEX COUNTY, DELAWARE

Revisions:

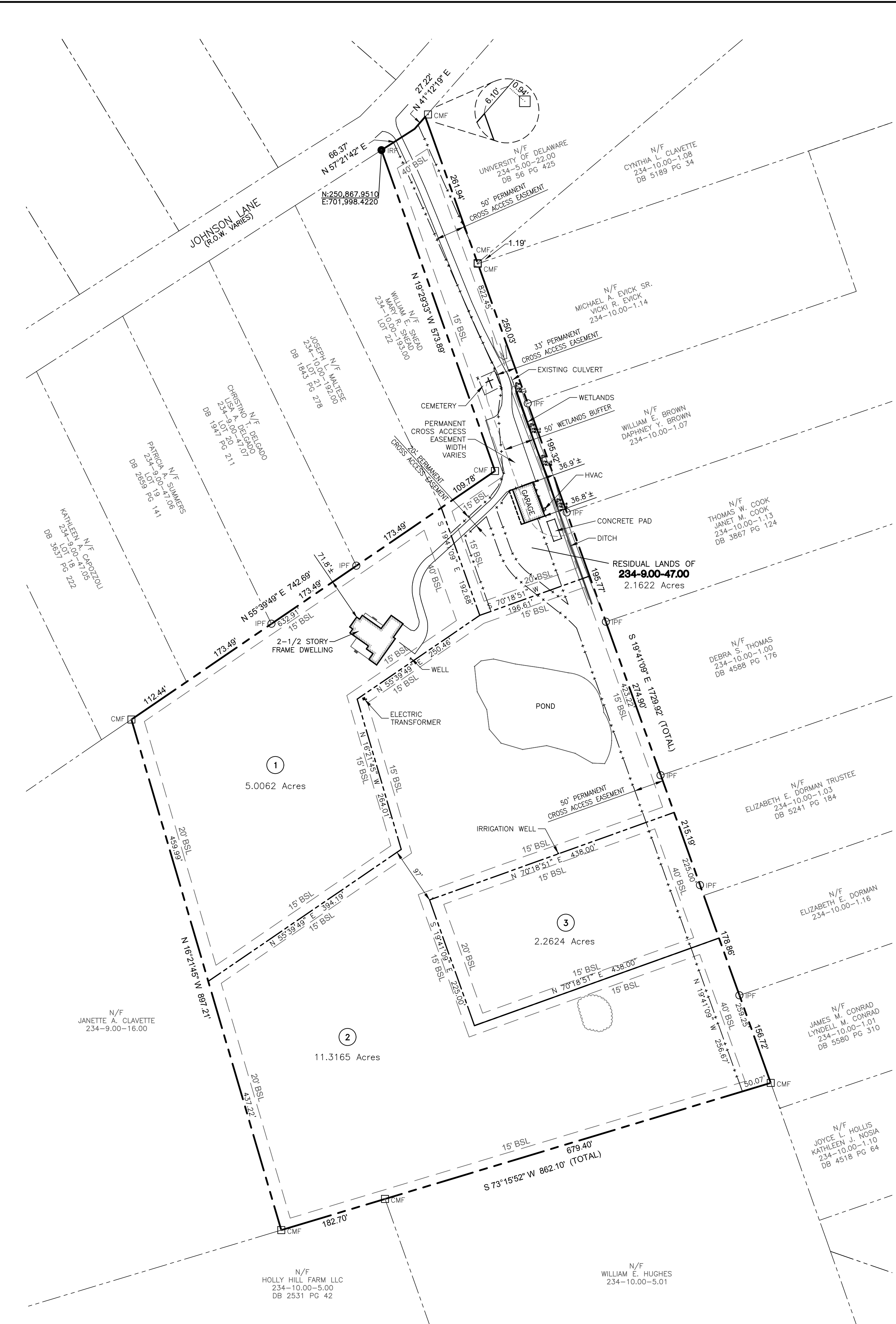
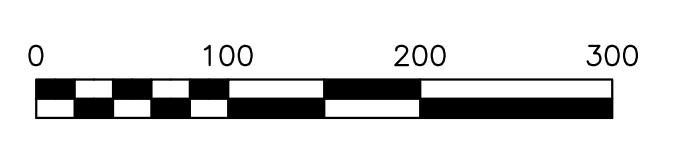
Date:	DECEMBER 2021
Scale:	1"=100'
Dwn.By:	PAB
Proj.No.:	4037A001
Dwg.No.:	

**GENERAL NOTES**

- EXISTING UTILITIES ARE SHOWN WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS IS NOT GUARANTEED.
- THE WETLANDS DELINEATION PERFORMED BY ENVIROTECH ENVIRONMENTAL CONSULTING, INC., WETLANDS WERE FOUND ON SITE.
- THIS SITE IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA.
- THERE ARE SOURCEWATER PROTECTION AREAS ON THIS SITE.
- PROPOSED 20' AND 50' CROSS ACCESS EASEMENT SHALL BE PRIVATELY MAINTAINED BY THE PROPERTY OWNERS. CROSS ACCESS EASEMENT SHALL BE CLEAR OF SHRUBBERY, PLANTINGS, SIGNS, AND/OR VISUAL BARRIERS THAT COULD OBSTRUCT SIGHT FROM DRIVERS. A CROSS ACCESS EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS.
- A PERPETUAL CROSS ACCESS EASEMENT IS HEREBY ESTABLISHED AS SHOWN ON THIS PLAT.
- LOT 1, 2, & 3 SHALL HAVE A COMBINED ACCESS TO JOHNSON LANE.

**LEGEND**

- IRF IRON REBAR FOUND
- IFF IRON PIPE FOUND
- CMF CONCRETE MONUMENT FOUND
- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - BUILDING SETBACK LINE (BSL)
- ⊕ CEMETERY



**WETLAND STATEMENT**

THIS PROPERTY, OR PORTIONS THEREOF, HAVE BEEN EXAMINED BY ENVIROTECH ENVIRONMENTAL CONSULTING, INC. (EECI) FOR THE PRESENCE OF WATER OF THE UNITED STATES INCLUDING WETLANDS (SECTION 404 AND SECTION 10), STATE SUBAQUEOUS LANDS AND STATE TIDAL WETLANDS BASED ON THE CRITERIA SET FORTH BY THE REVIEWING AGENCIES IN THE FORM OF MANUALS, POLICIES, AND PROCEDURES IN PLACE AT THE TIME THAT THE INVESTIGATION WAS CONDUCTED. ANY OF THE ENCLOSED RESOURCES THAT WERE FOUND ON THE PROPERTY ARE DEPICTED ON THIS PLAN IN ACCORDANCE WITH OUR FIELD INVESTIGATIONS AND DETAILED IN REPORTS PREPARED BY EECI USING BEST PROFESSIONAL JUDGMENT.

MR. TODD FRITCHMAN, AQUATIC BIOLOGIST DATE  
ENVIROTECH ENVIRONMENTAL CONSULTING, INC.  
17605 NASSAU COMMONS BOULEVARD, UNIT D  
LEWES, DE 19955

**OWNER'S STATEMENT**

WE, UNDERSIGNED, HEREBY STATE THAT WE ARE THE OWNERS OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THE PLAN WAS MADE AT OUR DIRECTION, WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN BE RECORDED ACCORDING TO LAW.

KENNETH SCHRODER DATE  
CAROLYN PATTERSON DATE

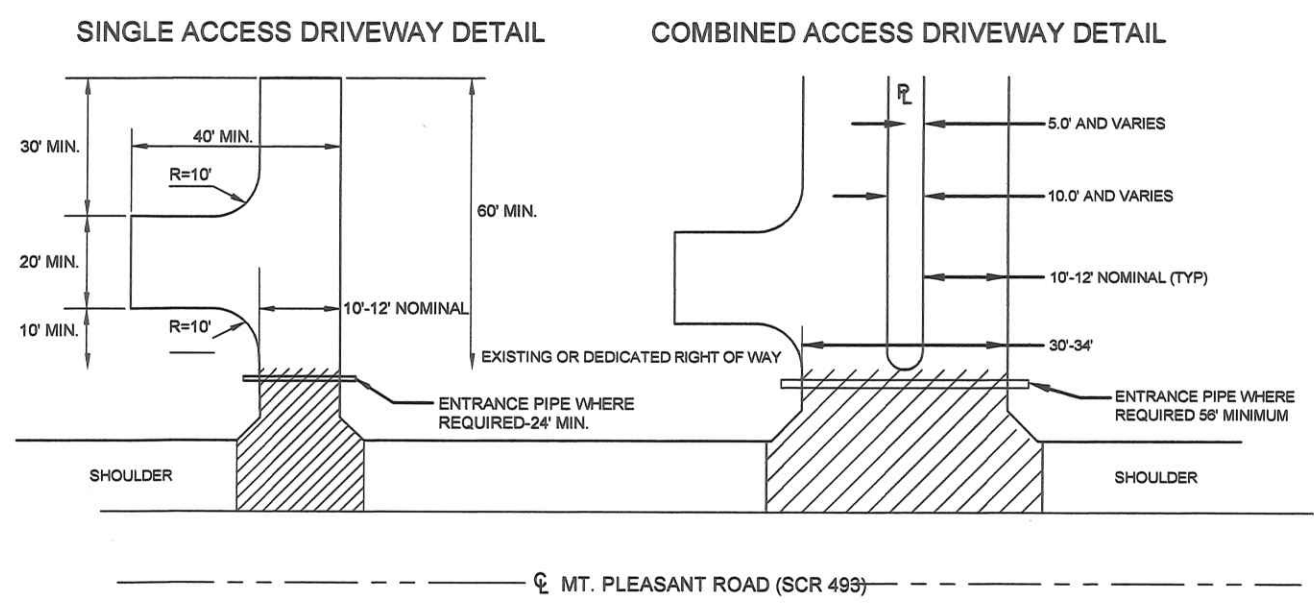
**SURVEYOR CERTIFICATION**

I, CHRISTOPHER D. WATERS, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

DAVIS, BOWEN & FRIEDEL, INC.  
by CHRISTOPHER D. WATERS, AGENT

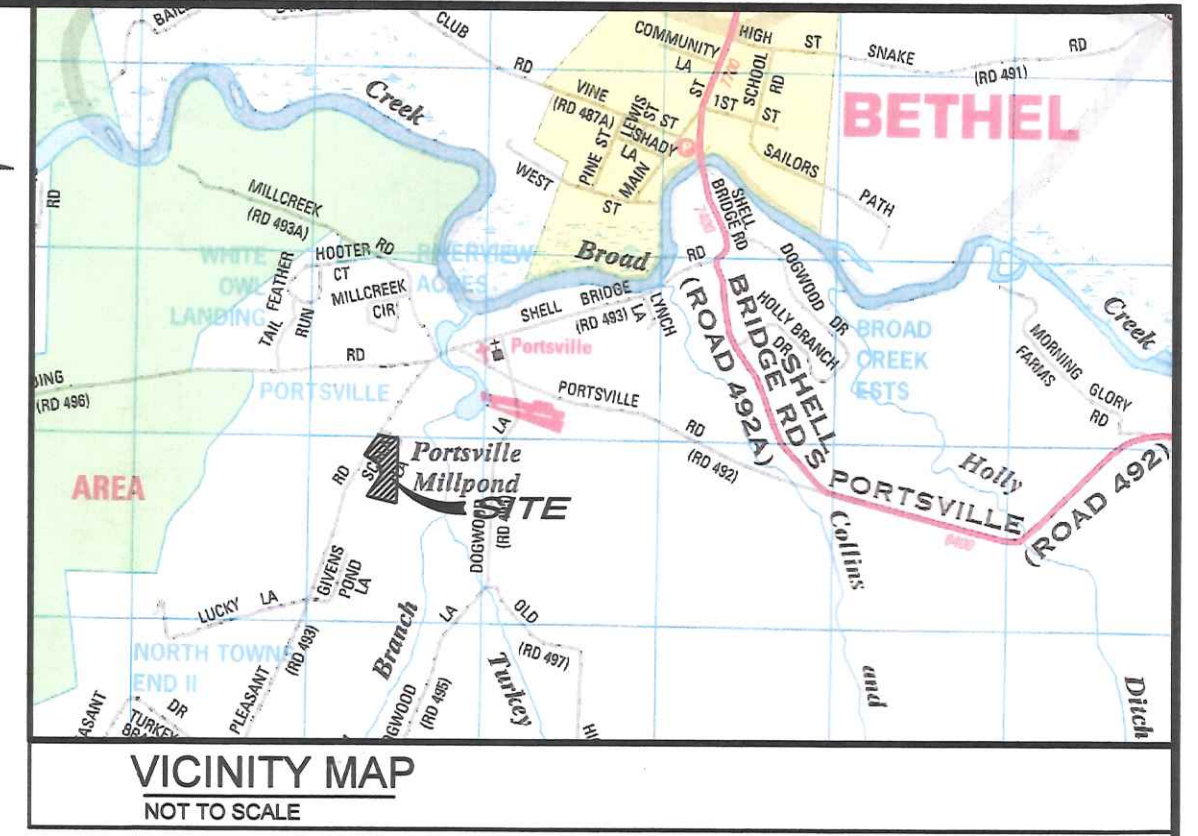
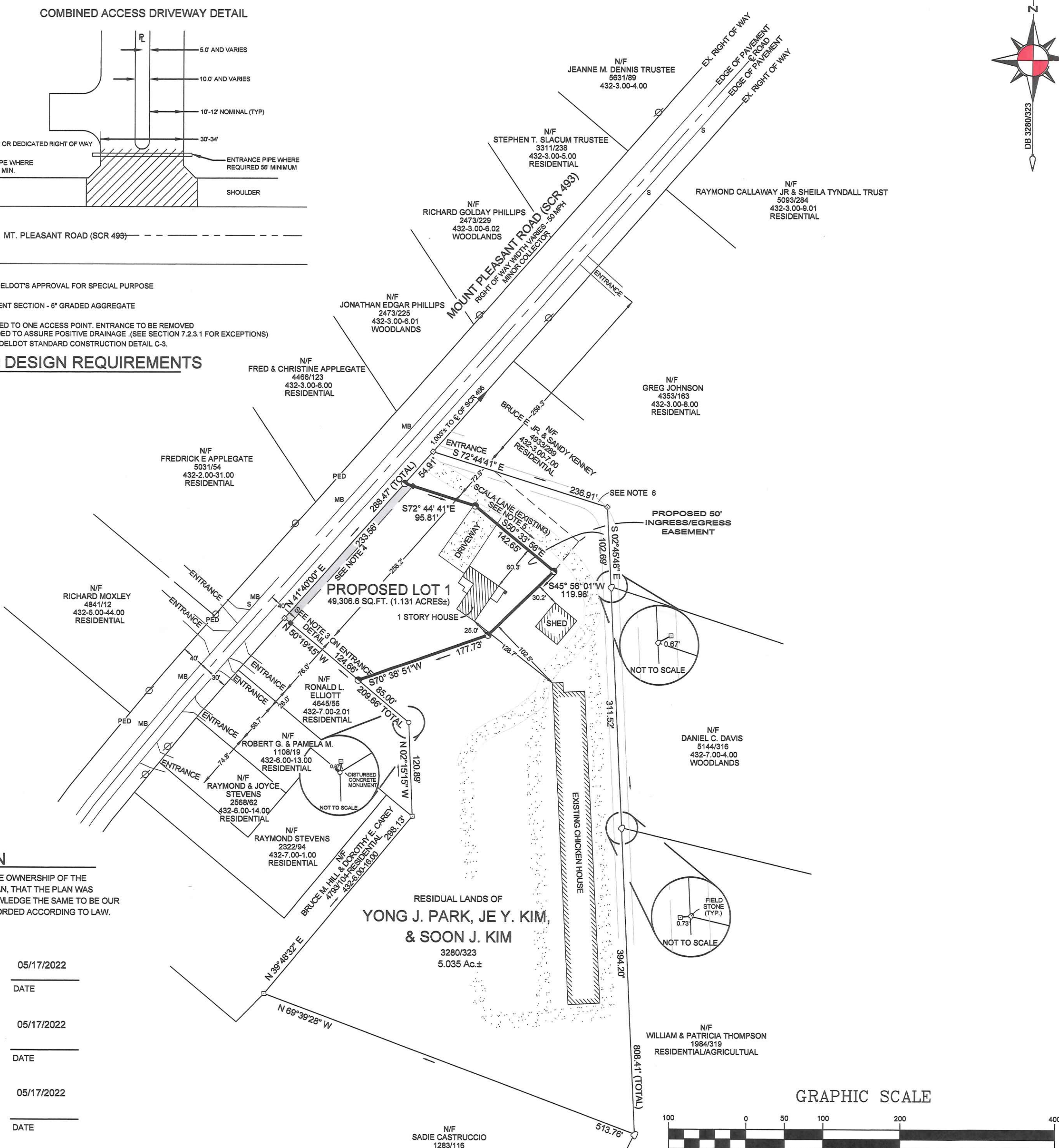
CHRISTOPHER D. WATERS  
PROFESSIONAL LAND SURVEYOR  
DE NO. S6-647  
EXPIRES: 6/30/21

S:\4037\4037A001 - Schroder\MINOR SUB PLAN.dwg Jun 27, 2022 - 2:31pm



- NOTES:**
- 1.) DRIVEWAY WIDTHS MAY BE INCREASED WITH DELDOT'S APPROVAL FOR SPECIAL PURPOSE VEHICLES, I.E. FARM VEHICLES, ETC.
  - 2.) MINIMUM RESIDENTIAL PAVEMENT SECTION - 8" GRADED AGGREGATE BASE COURSE.
  - 3.) ACCESS TO RESIDENTIAL LOTS SHALL BE LIMITED TO ONE ACCESS POINT. ENTRANCE TO BE REMOVED TOPSOILED, SEEDED, MULCHED, AND RE-GRADED TO ASSURE POSITIVE DRAINAGE. (SEE SECTION 7.2.3.1 FOR EXCEPTIONS)
  - 4.) ENTRANCE GEOMETRICS SHALL CONFORM TO DELDOT STANDARD CONSTRUCTION DETAIL C-3.

**RESIDENTIAL ACCESS DESIGN REQUIREMENTS**  
NOT TO SCALE



**SITE DATA**

**OWNERS:** YONG J. PARK, JE Y. KIM, & SOON J. KIM  
6425 LUCKY LANE  
LAUREL DELAWARE 19956  
302-236-2300

**SURVEYOR:** STEVEN M ADKINS LAND SURVEYING, LLC  
212 E. FRONT STREET  
LAUREL, DE 19956

**TAX MAP:** 432-7.00-2.00  
**DEED REF:** DEED BOOK 3280, PAGE 323  
**PLOT REF:** DEED BOOK 1932, PAGE 276

**EXISTING LOTS:** 1  
**PROPOSED LOTS:** 2  
**LOT AREA:** LOT 1: 49,306.6 SQ.FT. (1.131 ACRES±)  
RESIDUAL: 5.035 ACRES±  
LOT 1: PRIVATE  
RESIDUAL: PRIVATE

**SEWER/WATER:** AGRICULTURAL/RESIDENTIAL

**EXISTING LOT USE:** AGRICULTURAL/RESIDENTIAL  
**PROPOSED LOT USE:** LOT 1: RESIDENTIAL  
LOT 2: AGRICULTURAL

**ZONING:** AR-1  
**SETBACKS:** FRONT B.R.L. = 40'  
SIDE B.R.L. = 15'  
REAR B.R.L. = 20'

**LOCAL ROAD FRONTAGE:** LOT 1: 233.68' FEET± (MOUNT PLEASANT ROAD - SCR 493)  
RESIDUE: 54.91' FEET± (MOUNT PLEASANT ROAD - SCR 493)

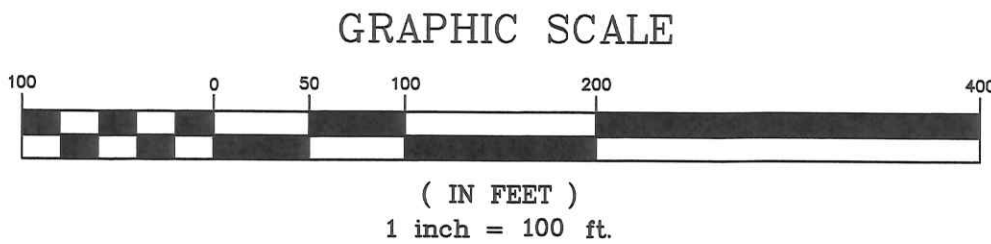
**LOCAL ROAD SPEED LIMIT:** 50 MPH  
**NEAREST TID:** 50 MI. ±

**LEGEND**

- DELDOT CONCRETE MONUMENT TO BE SET
- CAPPED IRON ROD TO BE SET
- FOUND IRON PIPE
- FOUND CAPPED IRON ROD
- FOUND CONCRETE MONUMENT
- DEDICATED RIGHT OF WAY LINE
- ⊗ UTILITY POLE
- P ELECTRIC PEDESTAL
- S STREET SIGN
- MB MAIL BOX
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE

**NOTES**

1. THE BOUNDARY INFORMATION SHOWN HEREON WAS DERIVED FROM THE LAND RECORDS OF SUSSEX COUNTY, DELAWARE AND IS SUPPORTED BY BOUNDARY MONUMENTS FOUND/LOCATED DURING OUR FIELD RUN LAND SURVEY.
2. A TITLE SEARCH WAS NEITHER REQUESTED NOR PREPARED FOR THE SUBJECT PARCEL SHOWN HEREON, THEREFORE, THIS PLAN DOES NOT VERIFY THE EXISTENCE OF ANY RIGHTS OF WAY OR EASEMENTS WHICH MAY AFFECT THIS PARCEL OTHER THAN THE INFORMATION SHOWN ON THIS PLAN.
3. IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
4. A 40' WIDE STRIP OF RIGHT OF WAY FROM THE CENTERLINE IS HEREBY DEDICATED IN FEE SIMPLE IN FEE SIMPLE TO THE STATE OF DELAWARE, ACTING BY AND THROUGH THE DEPARTMENT OF TRANSPORTATION.
5. LOT 1 & THE RESIDUAL LANDS SHALL HAVE A SINGLE ACCESS TO SCR 493 VIA A 50' WIDE INGRESS/EGRESS EASEMENT AS SHOWN HEREON.
6. A 20' WIDE "MUTUAL ROAD" LEADING TO THE LANDS OF EDWARD R. FIEMCKE, ET AL. (NOW CLAY & LINDA DAVIS, TRUSTEES) WAS REFERENCED ON A PLAT PREPARED BY HAROLD COOK, LAND SURVEYOR, DATED NOVEMBER, 1970. THE FOUND FIELD STONES SHOWN HEREON LIE IN THE CENTER OF THE OLD ROAD REFERENCED ON THE AFOREMENTIONED COOK PLAT. THE ROAD IS UNUSABLE DUE TO TREES AT THE TIME OF THIS SURVEY.
7. ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
8. SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROAD WAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT OF WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED LAND OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
9. THE INTENT OF THIS LAND SURVEY IS TO SUBDIVIDE THE LANDS OF YONG J. PARK ET AL. (432-7.00-2.00) INTO (2) SEPARATE PARCELS (INCLUDING THE RESIDUAL LANDS) WHICH CONFORM TO THE STANDARDS ESTABLISHED BY SUSSEX COUNTY AND THE STATE OF DELAWARE.
10. a) PRIVATE MAINTENANCE - PRIVATE STREETS WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17, SECTION 131). DELDOT ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.  
b) ENTRANCES TO PRIVATE STREETS SERVING MULTIPLE RESIDENTIAL LOTS SHOULD BE PAVED, FROM THE EDGE OF THE TRAVEL LANE TO THE ROW LINE (AT A MINIMUM), WITH A DRIVEWAY/THROAT WIDTH OF 16 TO 24 FEET (REFER TO DELDOT DDM REF-3.3.3)



**OWNER'S CERTIFICATION**

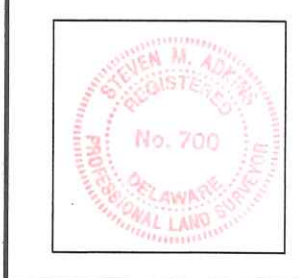
WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT WE DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

	05/17/2022
YONG J. PARK	DATE
	05/17/2022
JE Y. KIM	DATE
	05/17/2022
SOON J. KIM	DATE

**SURVEYOR'S CERTIFICATION**

I, STEVEN M. ADKINS, HEREBY ATTEST THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF DELAWARE AND THAT THE INFORMATION SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION AND ADHERES TO THE LAND SURVEYING STANDARDS ESTABLISHED BY THE STATE OF DELAWARE

	05/17/2022
STEVEN M. ADKINS	DATE
LS-700	



**STEVEN M. ADKINS**  
Land Surveying, LLC  
212 E. Front Street  
Laurel, DE 19956  
(302) 875-3555 - Office

MINOR SUBDIVISION OF THE LANDS OF  
**YONG J. PARK, JE Y. KIM & SOON J. KIM**  
31312 MT. PLEASANT ROAD  
LITTLE CREEK HUNDRED  
SUSSEX COUNTY, DELAWARE

DATE:	REV:
03/24/2022	08/24/2022
PROJECT #:	
2008034.01	
SCALE:	
1" = 100'	
DRAWN BY:	
S.M.A.	
CHECKED BY:	
S.M.A.	

**PLANNING & ZONING COMMISSION**

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE-CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY J. WINGATE



**Sussex County**

DELAWARE  
sussexcountyde.gov  
302-855-7878 T  
JAMIE WHITEHOUSE, AICP, MRTPI  
DIRECTOR

**PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET**  
Planning Commission Public Hearing Date: July 28<sup>th</sup>, 2022

Application: 2022-05 Lands of John and Anna Marie LeCates

Applicant: John and Anna Marie LeCates  
20987 Ann Avenue  
Rehoboth Beach, DE 19971

Owner: John and Anna Marie LeCates  
20987 Ann Avenue  
Rehoboth Beach, DE 19971

Site Location: The site is located on the southwest side of Conleys Chapel Road (S.C.R. 280-B), approximately 0.2 mile west of Qual Drive.

Current Zoning: Agricultural Residential (AR-1)

Proposed Zoning: Agricultural Residential (AR-1)

Comprehensive Land Use Plan Reference: Coastal Area

Councilmanic District: District 5 – Mr. Rieley

School District: Cape Henlopen School District

Fire District: Lewes Fire Company

Sewer: On-site septic systems

Water: On-site well

TID: Within

Site Area: 5.03 acres +/-

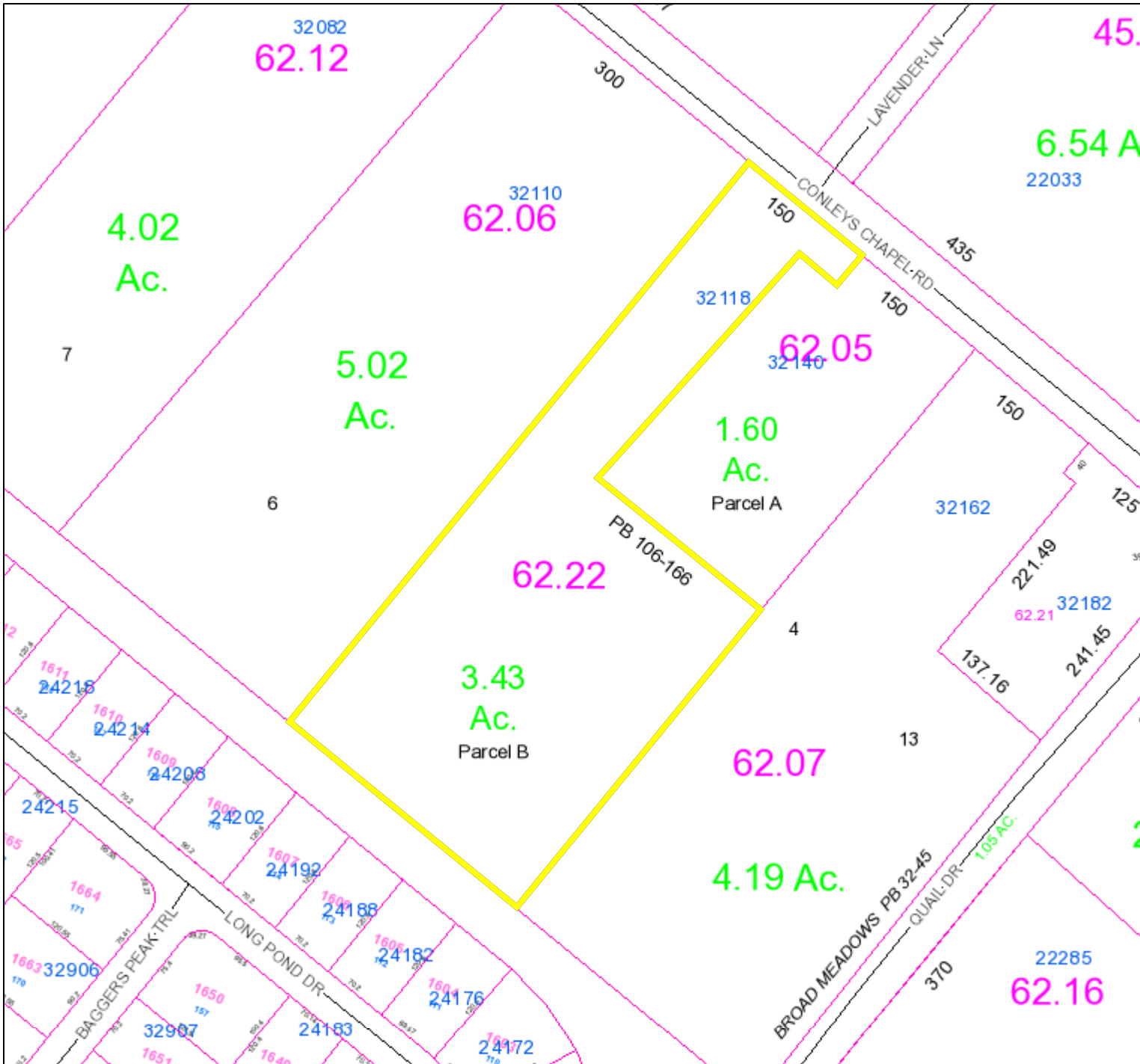
Tax Map ID: 234-11.00-62.05, 62.22





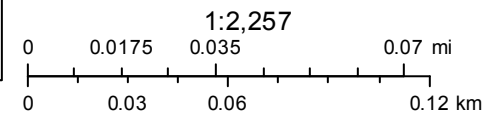


# Sussex County



<b>PIN:</b>	234-11.00-62.22
<b>Owner Name</b>	LECATES JOHN
<b>Book</b>	3382
<b>Mailing Address</b>	20987 ANN AVE
<b>City</b>	REHOBOTH BEACH
<b>State</b>	DE
<b>Description</b>	SW/CONLEYS CHAPEL RD
<b>Description 2</b>	1540'NW/RT 277
<b>Description 3</b>	PARCEL B
<b>Land Code</b>	

- polygonLayer**  
Override 1
- polygonLayer**  
Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries





File #: 2022-05  
Pre-App Date: \_\_\_\_\_

# Sussex County Major Subdivision Application Application: 202202040

## Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

Previous Application: 2020-04

**Type of Application: (please check applicable)**

Standard:   
Cluster:   
Coastal Area:

**Location of Subdivision:**

Rd 280B LEWES, DE 19958

**Proposed Name of Subdivision:**

Tax Map #: 234-11.00-62.05 & 62.22 Total Acreage: 5.03 ac +/-

Zoning: AR-1 Density: \_\_\_\_\_ Minimum Lot Size: \_\_\_\_\_ Number of Lots: 3

Open Space Acres: \_\_\_\_\_

Water Provider: \_\_\_\_\_ Sewer Provider: \_\_\_\_\_

**Applicant Information**

Applicant Name: John H LeCates  
Applicant Address: 20987 Ann Ave.  
City: Rehoboth State: DE Zip Code: 19971  
Phone #: 302 236 2705 E-mail: \_\_\_\_\_

**Owner Information**

Owner Name: John H & Anna M LeCates  
Owner Address: 20987 Ann Ave  
City: Rehoboth State: DE Zip Code: 19971  
Phone #: 302 236 2705 E-mail: me109346@yankee.com  
Meissa Brzezelsky (Corresponding Agent) Cell: 302-752-0066

**Agent/Attorney/Engineer Information**

Agent/Attorney/Engineer Name: N/A  
Agent/Attorney/Engineer Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_





# Check List for Sussex County Major Subdivision Applications

The following shall be submitted with the application

\_\_\_ Completed Application

\_\_\_ Provide ten (10) copies of the Site Plan or Survey of the property and a PDF (via e-mail)

- o Plan shall show the existing conditions, setbacks, roads, floodplain, wetlands, topography, proposed lots, landscape plan, etc. **Per Subdivision Code 99-22, 99-23 & 99-24**
- o Provide compliance with Section 99-9.
- o Deed or Legal description, copy of proposed deed restrictions, soil feasibility study

\_\_\_ Provide Fee \$500.00

\_\_\_ Optional - Additional information for the Commission to consider (ex. photos, exhibit books, etc.) If provided submit seven (7) copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.

\_\_\_ Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.

\_\_\_ PLUS Response Letter (if required)  Environmental Assessment & Public Facility Evaluation Report (if within Coastal Area)

\_\_\_ 51% of property owners consent if applicable

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

### Signature of Applicant/Agent/Attorney

X John H. Le Cates

Date: 2-14-2022

### Signature of Owner

X John H. Le Cates

Date: 2-14-2022

### For office use only:

Date Submitted: \_\_\_\_\_ Fee: \$500.00 Check #: \_\_\_\_\_

Staff accepting application: \_\_\_\_\_ Application & Case #: \_\_\_\_\_

Location of property: \_\_\_\_\_

Date of PC Hearing: \_\_\_\_\_ Recommendation of PC Commission: \_\_\_\_\_

Sussex County, DE  
Treasury  
P.O. Box 601  
Georgetown, DE 19947  
Welcome

33021578-0017 Lindsey S 02/14/2022 11:20AM

PERMITS / INSPECTIONS  
SUBDIVISION - FEE  
2022 Item: 202202040/7005 500.00

500.00

Subtotal 500.00  
Total 500.00

CHECK 500.00  
Check Number 0350

Charge due 0.00

Paid by: JOHN LECATES

JOHN H. LECATES 01-27	360
PERMIT DIVISION	
DATE: 2-14-22	CHECK
ISSUED TO: Sussex County Council	\$ 500.00
Five hundred and no/100	DOLLARS & CENTS
Bank: M&T Bank	
Subdivision: [Signature]	

Thank you for your payment

Sussex County, DE COPY  
DUPLICATE RECEIPT



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

September 22, 2017

Ms. Janelle Cornwell, Director  
Sussex County Planning & Zoning Commission  
Sussex County Administration Building  
P.O. Box 417  
Georgetown, Delaware 19947

**SUBJECT: Minor Subdivision - Letter of No Objection to Recordation**  
**John Lecates**  
Tax Parcel # 234-11.00-62.22  
SCR 280B – Conleys Chapel Road  
Indian River Hundred, Sussex County

Dear Ms. Cornwell:

The Department of Transportation has reviewed the Minor Subdivision Plan dated June 15, 2017 (last revised July 25, 2017), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawing. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Minor Subdivision Plan is not recorded and/or an entrance permit is not issued for the lot(s) prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

Entrances(s) must be installed prior to the sale of the lot(s). All entrances shall conform to DelDOT's [Development Coordination Manual](#) and shall be subject to its approval. **This letter does not authorize the commencement of entrance construction.**

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel

John Lecates  
Ms. Janelle Cornwell  
Page 2  
September 22, 2017

that jurisdiction to modify or reject this proposed plan even though DeIDOT has established that these enumerated transportation improvements are acceptable.

The owner shall be responsible to submit a copy of the **recorded Minor Subdivision Plan** showing all appropriate signatures, seals, plot book and page number to the South District Public Works office (302) 853-1341 in order to obtain the entrance permit(s) for the proposed minor subdivision.

Sincerely,



Steve Sisson  
Sussex County Subdivision Engineer  
Development Coordination

cc: Stephen Sellers, Miller Lewis  
Jessica L. Watson, Sussex Conservation District  
William Kirsch, South District Entrance Permit Supervisor  
Shannon Anderson, South District Public Work Admin Specialist  
Todd Sammons, Subdivision Engineer  
Jonathan Moore, Sussex County Reviewer

**SUSSEX COUNTY ENGINEERING DEPARTMENT  
UTILITY PLANNING & DESIGN REVIEW DIVISION  
C/U & C/Z COMMENTS**

TO: **Jamie Whitehouse**

REVIEWER: **Chris Calio**

DATE: **7/11/2022**

APPLICATION: **2022-05 Lands of John and Anna Marie LeCates**

APPLICANT: **John and Anna Marie LeCates**

FILE NO: **NCPA-5.03**

TAX MAP &  
PARCEL(S): **234-11.00-62.05 & 62.22**

LOCATION: **Lying on the southwest side of Conleys Chapel Road (SCR 280-B, approximately 0.2 mile west of Quail Drive.**

NO. OF UNITS: **3 single-family lots**

GROSS  
ACREAGE: **5.03 +/-**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

**SEWER:**

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?  
Yes  No
- a. If yes, see question (2).  
b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 3**
- (3). Is wastewater capacity available for the project? **N/A** If not, what capacity is available? **N/A**.
- (4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **N/A** If yes, the current System Connection Charge Rate is **Unified \$6,600.00** per EDU. Please contact **N/A** at **302-855-7719** for additional information on charges.

- (6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **N/A**
- Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.
- (7). Is project adjacent to the Unified Sewer District? **No**
- (8). Comments: **The proposed subdivision of land is not in an area where the Sussex County Engineering Department has a schedule to provide sanitary sewer service.**
- (9). Is a Sewer System Concept Evaluation required? **Not at this time**
- (10). Is a Use of Existing Infrastructure Agreement Required? **Not at this time**
- (11). **All residential roads must meet or exceed Sussex County minimum design standards.**

UTILITY PLANNING & DESIGN REVIEW APPROVAL:



John J. Ashman  
Sr. Manager of Utility Planning & Design Review

Xc: Hans M. Medlarz, P.E.  
Lisa Walls  
No Permit Tech Assigned

MILNER  
LEWIS, INC. LAND SURVEYING

1560 MIDDLEFORD RD.

• SEAFORD, DE. 19973

March 23, 2020

Sussex County Planning and Zoning Commission  
2 The Circle  
P. O. Box 417  
Georgetown, DE. 19947

RE: JOHN H. & ANNA MARIE LECATES, T.M.#234-11.00-62.22  
MAJOR SUBDIVISION

Dear Mr. Whitehouse,

The subject major subdivision will be submitted to Planning and Zoning Commission soon. On behalf of the applicant we respectfully request a waiver of the topographic, 30 buffer zone and county street construction requirement due to the minimal number and size of the lots.

Please feel free to call or email with any questions you may have.

Sincerely,



Stephen M. Sellers, PLS

enclosure





RECEIVED  
10/20/2020  
GROUNDWATER



563846

25092 Oak Road Phone & Text: (302) 629-2989  
Seaford, DE 19973 Email: jayduke@comcast.net

**SITE EVALUATION APPROVAL PAGE**

*The soils on this site are approved when the following is completed in full and signed by the approving authority. Isolation distance requirements, limited area of suitable soils, placement of fill, removal of soil, or compaction of the evaluated area may preclude construction permit approval or modify the type of system that may be permitted. An approved report must accompany any permit application. This is not a construction permit. All references to the Regulations refer to The Regulations Governing the Design, Installation and Operation of On-Site Wastewater Treatment and Disposal Systems Amended 1/11/2014.*

**Owner(s) Name:** John & Anna Marie LeCates **Tax Map #:** 2-34-11-62.22  
**Lot #:** B  
**Address:** 20987 Ann Ave. **Phone:** (302) 236-4939  
Rehoboth Beach, DE 19971 **Email:** jayduke@comcast.net

**Initial System Type:** Low-pressure pipe (LPP) on-site wastewater treatment and disposal system (OWTDS). See Exhibit O in the Regulations. Other OWTDS options include any conventional/alternative technologies approved by DNREC. *This property is located within the Inland Bays or Chesapeake Bay Watersheds; Nitrogen Reducing Technologies meeting PSN3 must be incorporated in the design of the OWTDS.*

**Location of Drain Field:** In the vicinity of soil borings (SB) #1 - #3 (hatched area on the plot plan).

**Depth to Limiting Zone:** 36" to redox depletions & concentrations.

**Replacement System Type:** Same as above if space permits. Otherwise, the replacement system may be sand-lined in the vicinity of the initial system.

**Location of Drain Field:** In the immediate vicinity of soil borings referred to above.

**Depth to Limiting Zone:** Same as above.

**Design Comments**

1. Maintain all isolation distances specified in Exhibit C of the Regulations.
2. Maintain a 100' isolation distance from all domestic wells and 150' from all public wells.
3. If the 100' isolation distance to the existing domestic well cannot be maintained, it can be reduced to a minimum isolation distance of 50', in accordance with Exhibit C of the Regulations.
4. **To avoid soil compaction, the area in the vicinity of the proposed drainfield should be identified and protected from any vehicular traffic or stockpiling of any material. In addition, any tree removal in this vicinity should be conducted according to DNREC strict guidelines.**

**Instructions to the Property Owner**

1. Contact a Class C System Designer.
2. A permeability rate of 80 minutes per inch (mpi) has been estimated for the soils on this site. These estimated rates are used to determine the required size of the disposal area. They are based on soil texture and are derived from tables developed by the DNREC. You may elect to use the estimated rate to size the disposal system or have the appropriate tests conducted. Contact the Site Evaluator at (302) 629-2989 or DNREC [(302) 856-4561 in Sussex or (302) 739-9947 in Kent] for testing information.
3. Read the attached Site Evaluation Report for additional information.

**Report prepared by:** Joseph C. Duke, Jr., CPSS **Date of report:** October 19, 2020  
**Class "D" License #:** 4048

**For Official Use Only**

**Field checked:** \_\_\_\_\_ **Expiration Date:** 10/21/25  
**DNREC Reviewing Soil Scientist** J **Approval Date:** 10/21/20

*Disclaimer: Approval of a site evaluation indicates only that the site evaluation was conducted in compliance with the regulations. It is not an indication of the quality or correctness of the site evaluation.*

IF THERE ARE QUESTIONS REGARDING THIS REPORT CONTACT CLASS D LICENSEE  
THE CLASS D LICENSEE IS RESPONSIBLE FOR ERRORS/OMISSIONS



25092 Oak Road  
Seaford, DE 19973

Phone & Text: (302) 629-2989  
Email: jayduke@comcast.net

**SITE EVALUATION REPORT PAGE**

**Owner(s) Name:** John & Anna Marie LeCates      **Tax Map #:** 2-34-11-62.22  
**Lot #:** B

**Address:** 20987 Ann Ave.      **Phone:** (302) 236-4939  
Rehoboth Beach, DE 19971      **Email:** jayduke@comcast.net

**Property Location:** SW side of Conley's Chapel Road

**Acreage:** 3.43 acres±

**Date of Evaluation:** 10/13/2020

**Central Water Available:** No

**Wooded:** No

**2007 SWMP:** None per DNREC Navigator

**FEMA V zone:** None per DNREC Navigator

**HUC 12:** 20403030101

<u>Soil Profile #:</u>	<u>Limiting Zone Depth:</u>	<u>Limiting Zone Inferred From:</u>	<u>Subgroup Taxonomic Classification:</u>	<u>Free Water:</u>
SB #1	36"	redox concentrations & depletions	Oxyaquic Paleudult	>60"
SB #2	36"	redox concentrations & depletions	Oxyaquic Paleudult	>60"
SB #3	36"	redox concentrations & depletions	Typic Paleudult	>60"

**Summary of Evaluation:** This site evaluation was conducted to assess the soil's suitability for siting an OWTDS. The evaluated portion of this parcel occupies a nearly level to gently sloping landscape position of a broad interstream divide that was part of an agricultural field at the time of this evaluation. The evaluated soils in the vicinity of SBs #1 - #3 (hatched area) are moderately well drained and moderately permeable. The soils in this vicinity meet the current regulatory requirements for an LPP OWTDS. *This property is located within the Inland Bays or Chesapeake Bay Watershed; Nitrogen Reducing Technologies meeting PSN3 must be incorporated in the design of the OWTDS.* Soil borings were located in reference to the structures that are depicted on the survey by Miller-Lewis Inc. of Seaford, DE.

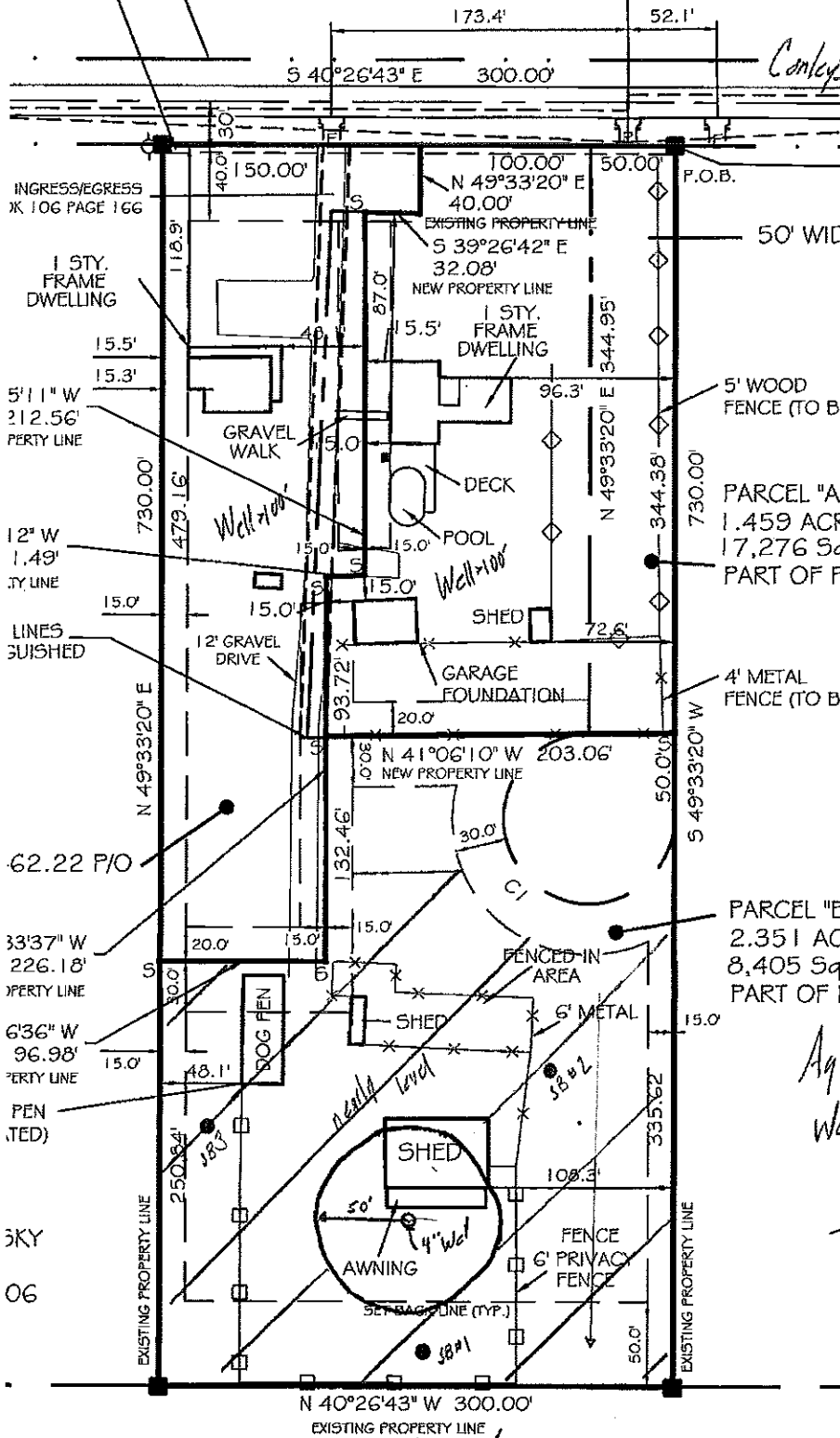
**Report prepared by:**   
Joseph C. Duke, Jr., CPSS

**Date of report:** October 19, 2020  
**Class "D" License #:** 4048

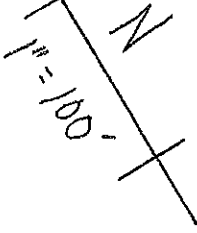
*Note: Information contained in this Site Evaluation Approval & Report and shown on the accompanying plot plan reflects current Delaware Department of Natural Resources and Environmental Control (DNREC) policies and procedures at the time of evaluation. Changes made to the property or to adjacent properties after the evaluation was conducted may preclude or modify wastewater disposal regardless of site evaluation approval. Data contained in this report may include information obtained from property owners, their agents, residents, adjacent residents, and departmental permits, when readily available. While this information is believed to be accurate, it does not guarantee a wastewater disposal permit and should not be construed as a survey. All information should be verified by interested parties prior to design and installation of the wastewater disposal system. Interpretations made in this evaluation are intended for siting and design of an on-site wastewater disposal system only and are not suitable for other uses. Unless this report has been reviewed and approved by DNREC, it constitutes only a technical opinion rendered and does not constitute an approval for siting or design of any wastewater disposal system on this site.*

GHT-OF-WAY  
USE  
PAGE 166.

PROPOSED ENTRANCE  
DECISION POINT  
14.5 FROM E.O.P.



*Conley's Chapel Rd*



*AgLand Wells >100'*

*AgLand Wells >100'*

*AgLand Wells >100'*

LANDS N/F  
ACADIA INVESTMENTS, INC  
D.B. 5111-3  
T.M. 2-34-11.00-62.03



# SUSSEX COUNTY

Layers Search Basemaps Select Area

Print

Help

Hide search results >

## Search results

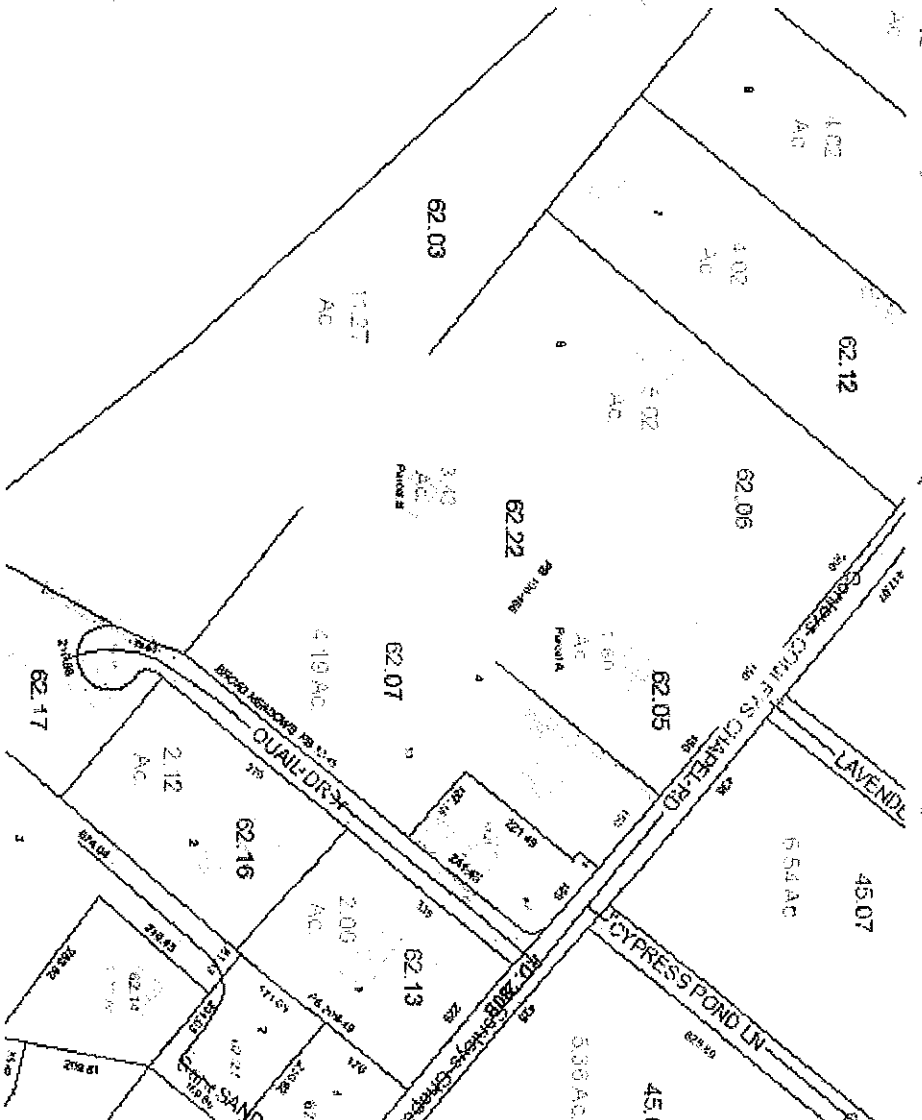
Clear Selected

Selected Features:

Parcels (1)

1) 234-11.00-62.22

Zoom



Book	3382
Page	267
Owner Name	LECATES JOHN
Second Owner Name	ANNA MARIE LECATES
Mailing Address	20987 ANN AVE
City	REHOBOTH BEACH
State	DE
Sewer Account	

Selected Features (1)



# SUSSEX COUNTY

Print

Help

Layers

Search

Basemaps

Select Area

Hide search results >>

## Search results

Clear Selected

Selected Features:

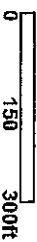
Parcels (1)

>

1) 234-11.00-62.22

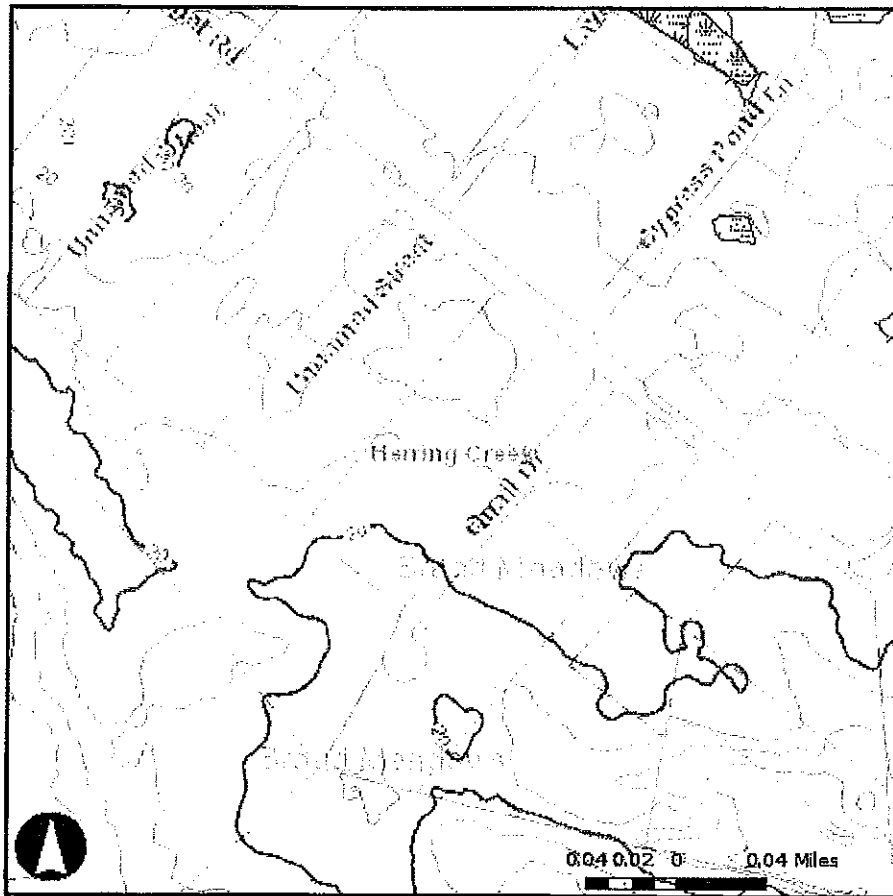
Zoom

Book	3382
Page	267
Owner Name	LECATES JOHN
Second Owner Name	ANNA MARIE LECATES
Mailing Address	20987 ANN AVE
City	REHOBOTH BEACH
State	DE
Description	SW/CONLEYS CHAPEL



Selected Features (1)

# Map



Bay Building Line Points



Watersheds



Bay Building Line



**Copyright DNREC 2009**

Copyright Delaware Department of Natural Resources and Environmental Control, 2009



25092 Oak Road  
Seaford, DE 19973

Phone & Text: (302) 629-2989  
Email: [jayduke@comcast.net](mailto:jayduke@comcast.net)

**Soil Profile Note Page**

Property Owner: L. Carter Date: 10/13/2020  
Property Location: S/ Conroy Chapel Rd Lot #: B

Soil Boring#: 1 Slope: 1-2 % Relief: gently sloping  
Estimated Permeability: 80 MPI Limiting Zone: 36" to redox depth: one  
Taxonomic Classification: Oxyaquic Paleudult Free Water: >60 "  
GPS: N 38° 41 ' 02.36 " W 75° 11 ' 27.76 "

Horizon	Depth below soil surface	Matrix Color	Mottles	Ab. S. Con.	Texture	Structure	Const.
A <sub>p</sub>	0 - 8	10YR 4/3	—	—	sl	2 ang	f
E <sub>p</sub>	8 - 20	10YR 4/4	—	—	fsd	2 msh	f
B <sub>t1</sub>	20 - 30	10YR 5/6	—	—	fsd	2 msh	f
B <sub>t2</sub>	30 - 36	10YR 4/4	—	—	sl	1 msh	f
C <sub>1</sub>	36 - 48	2.5Y 4/1	10YR 6/8 1/2 10YR 4/2	cc	sl	1 msh	f
C <sub>2</sub>	48 - 60	10YR 4/2	5YR 9/8	cc	sd	1 msh	f

Described By: \_\_\_\_\_

Soil Boring#: 2 Slope: 1-2 % Relief: gently sloping  
Estimated Permeability: 60 MPI Limiting Zone: 36" to redox depth: one  
Taxonomic Classification: Oxyaquic Paleudult Free Water: >60 "  
GPS: N 38° 41 ' 02.97 " W 75° 11 ' 25.76 "

Horizon	Depth below soil surface	Matrix Color	Mottles	Ab. S. Con	Texture	Structure	Const.
A <sub>p</sub>	0 - 8	10YR 4/2	—	—	fsd	2 ang	f
B <sub>t1</sub>	8 - 30	10YR 4/6	—	—	fsd	2 msh	f
B <sub>t2</sub>	30 - 36	10YR 4/4	—	—	sl, sd	1-2 msh	f
B <sub>t3</sub>	36 - 46	10YR 4/4	10YR 4/8 10YR 4/2	cc	usd	2 msh	f
C	46 - 60	2.5Y 4/4	10YR 4/2 10YR 4/8 1/2	cc	usd	m	f
-	-	-	-	-	-	-	-

Described By: \_\_\_\_\_

Joseph C. Duke, Jr. CPSS, Class D License #: 4048

SB# 3, 40" to redox 40 mpi, Typic Paleudult FW= >60 "  
GPS: N 38° 41 ' 04.23 " W 75° 11 ' 27.61 "



PARID: 234-11.00-62.22  
 LECATES JOHN

ROLL: RP  
 32118 CONLEYS CHAPEL RD

### Property Information

Property Location:	32118 CONLEYS CHAPEL RD
Unit:	
City:	LEWES
State:	DE
Zip:	19958
Class:	RES-Residential
Use Code (LUC):	RS-RESIDENTIAL SINGLE FAMILY
Town:	00-None
Tax District:	234 - INDIAN RIVER
School District:	6 - CAPE HENLOPEN
Council District:	3-Burton
Fire District:	82-Lewes
Deeded Acres:	3.4300
Frontage:	0
Depth:	.000
Irr Lot:	
Zoning 1:	AR-1-AGRICULTURAL/RESIDEINTIAL
Zoning 2:	-
Plot Book Page:	106 166/PB
100% Land Value:	\$12,000
100% Improvement Value	\$25,400
100% Total Value	\$37,400

### Legal

Legal Description	SW/CONLEYS CHAPEL RD 1540'NW/RT 277 PARCEL B
-------------------	--

### Owners

Owner	Co-owner	Address	City	State	Zip
LECATES JOHN	ANNA MARIE LECATES	20987 ANN AVE	REHOBOTH BEACH	DE	19971

JAMIE WHITEHOUSE, AICP  
DIRECTOR OF PLANNING & ZONING  
(302) 855-7878 T  
(302) 854-5079 F  
jamie.whitehouse@sussexcountyde.gov



**Sussex County**

DELAWARE  
sussexcountyde.gov

## PLEASE NOTE

This paperless packet is published on the County's website for convenience purposes, and only includes information received up to the close of business on the day before a public hearing. Documents received after this, or documents submitted during the public hearing are not uploaded to the Paperless Packet. The legal record is the paper record maintained in the Offices of the Planning & Zoning Department.



COUNTY ADMINISTRATIVE OFFICES  
2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DELAWARE

**PLANNING & ZONING COMMISSION**

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE-CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY J. WINGATE



**Sussex County**

DELAWARE  
sussexcountyde.gov  
302-855-7878 T  
302-854-5079 F  
JAMIE WHITEHOUSE, AICP, MRTPI  
DIRECTOR

**PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET**  
Planning Commission Public Hearing Date: July 28<sup>th</sup>, 2022

Application: Ocean 7 Group (2022-07)

Applicant: Ocean 7 Group (c/o Tauhid Islam)  
9804 Winding Trail Drive  
Ocean City, Maryland 21842

Owner: Ocean 7 Group (c/o Tauhid Islam)  
9804 Winding Trail Drive  
Ocean City, Maryland 21842

Site Location: The site is on the north side of Lexus Lane, approximately 0.05 mile east of John J. Williams Highway (Route 24).

Current Zoning: Commercial Residential (CR-1)

Proposed Use: 2 lots for use as an office and a hotel

Comprehensive Land Use Plan Reference: Coastal Area

Councilmanic District: District 3 - Schaeffer

School District: Cape Henlopen School District

Fire District: Rehoboth Beach Fire Company

Sewer: Sussex County

Water: Tidewater

TID: Henlopen TID

Site Area: 4.3 acres +/-

Tax Map ID: 334-12.00-127.11



File #: \_\_\_\_\_

Pre-App Date: \_\_\_\_\_

202204437

# Sussex County Major Subdivision Application

## Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

**Type of Application: (please check applicable)**

Standard:

Cluster:

Coastal Area:

RECEIVED

MAR 25 2022

**Location of Subdivision:**

Corner of Hood Road and Lexus Way

SUSSEX COUNTY  
PLANNING & ZONING

**Proposed Name of Subdivision:**

Cambria Hotel

**Tax Map #:** 334-12.00-127.11

**Total Acreage:** 4.30

**Zoning:** CR-1

**Density:** 0.47

**Minimum Lot Size:** 0.64+/-

**Number of Lots:** 2

**Open Space Acres:** 0.77+/- Acres

**Water Provider:** Public - Tidewater

**Sewer Provider:** Public - Sussex County

**Applicant Information**

**Applicant Name:** Ocean 7 Group c/o Tauhid Islam

**Applicant Address:** 9804 Winding Trail Drive

**City:** Ocean City

**State:** MD

**Zip Code:** 21842

**Phone #:** (443) 373-1789

**E-mail:** islam.tauhid@yahoo.com

**Owner Information**

**Owner Name:** Ocean 7 Group c/o Tauhid Islam

**Owner Address:** 9804 Winding Trail Drive

**City:** Ocean City

**State:** MD

**Zip Code:** 21842

**Phone #:** (443) 373-1789

**E-mail:** islam.tauhid@yahoo.com

**Agent/Attorney/Engineer Information**

**Agent/Attorney/Engineer Name:** Pennoni Associates c.o Alan Decktor

**Agent/Attorney/Engineer Address:** 18072 Davidson Drive

**City:** Milton

**State:** DE

**Zip Code:** 19968

**Phone #:** (302) 684-8030

**E-mail:** adecktor@pennoni.com



# Check List for Sussex County Major Subdivision Applications

The following shall be submitted with the application

**Completed Application**

**Provide ten (10) copies of the Site Plan or Survey of the property and a PDF (via e-mail)**

- Plan shall show the existing conditions, setbacks, roads, floodplain, wetlands, topography, proposed lots, landscape plan, etc. **Per Subdivision Code 99-22, 99-23 & 99-24**
- Provide compliance with Section 99-9.
- Deed or Legal description, copy of proposed deed restrictions, soil feasibility study

**Provide Fee \$500.00**

**Optional - Additional information for the Commission to consider** (ex. photos, exhibit books, etc.) If provided submit seven (7) copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.

**Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.**

**PLUS Response Letter** (if required)  **Environmental Assessment & Public Facility Evaluation Report** (if within Coastal Area)

**51% of property owners consent if applicable**

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

## Signature of Applicant/Agent/Attorney



Date: 3/18/22

## Signature of Owner



Date: 3/18/22

### For office use only:

Date Submitted: 03/25/2022 Fee: \$500.00 Check #: 1018

Staff accepting application: Chase Phillips Application & Case #: 202204437

Location of property: \_\_\_\_\_

Date of PC Hearing: \_\_\_\_\_

Recommendation of PC Commission: \_\_\_\_\_

**SUSSEX COUNTY ENGINEERING DEPARTMENT  
UTILITY PLANNING & DESIGN REVIEW DIVISION  
C/U & C/Z COMMENTS**

TO: **Jamie Whitehouse**

REVIEWER: **Chris Calio**

DATE: **7/11/2022**

APPLICATION: **2022-07 Ocean 7 Group**

APPLICANT: **Ocean 7 Group (c/o Tauhid Islam)**

FILE NO: **OM-9.04**

TAX MAP &  
PARCEL(S): **334-12.00-127.11**

LOCATION: **Lying on the north side of Lexus Lane, approximately 0.05  
mile east of John J. Williams Hwy (Rt. 24)**

NO. OF UNITS: **Dividing parcel into 2 lots for office and hotel.**

GROSS  
ACREAGE: **4.3 +/-**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **4**

**SEWER:**

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?  
Yes  No
- a. If yes, see question (2).  
b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 1**
- (3). Is wastewater capacity available for the project? **Yes** If not, what capacity is available? **N/A.**
- (4). Is a Construction Agreement required? **Yes** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A.** Is it likely that additional SCCs will be required? **Yes** If yes, the current System Connection Charge Rate is **Unified \$6,600.00** per EDU. Please contact **Christine Fletcher** at **302-855-7719** for additional information on charges.

- (6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **N/A**
- Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.
- (7). Is project adjacent to the Unified Sewer District? **N/A**
- (8). Comments: **Click or tap here to enter text.**
- (9). Is a Sewer System Concept Evaluation required? **Yes, Contact Utility Planning at 302-855-7370 to apply**
- (10). Is a Use of Existing Infrastructure Agreement Required? **Yes**
- (11). **All residential roads must meet or exceed Sussex County minimum design standards.**

UTILITY PLANNING & DESIGN REVIEW APPROVAL:



---

John J. Ashman  
Sr. Manager of Utility Planning & Design Review

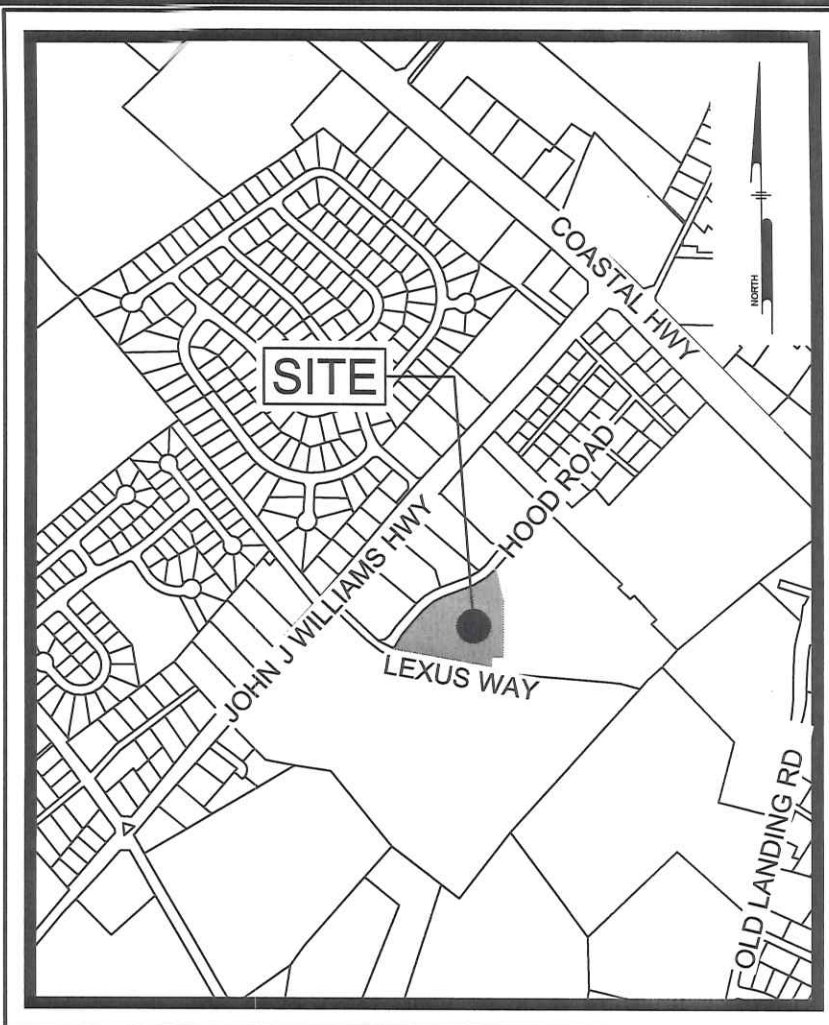
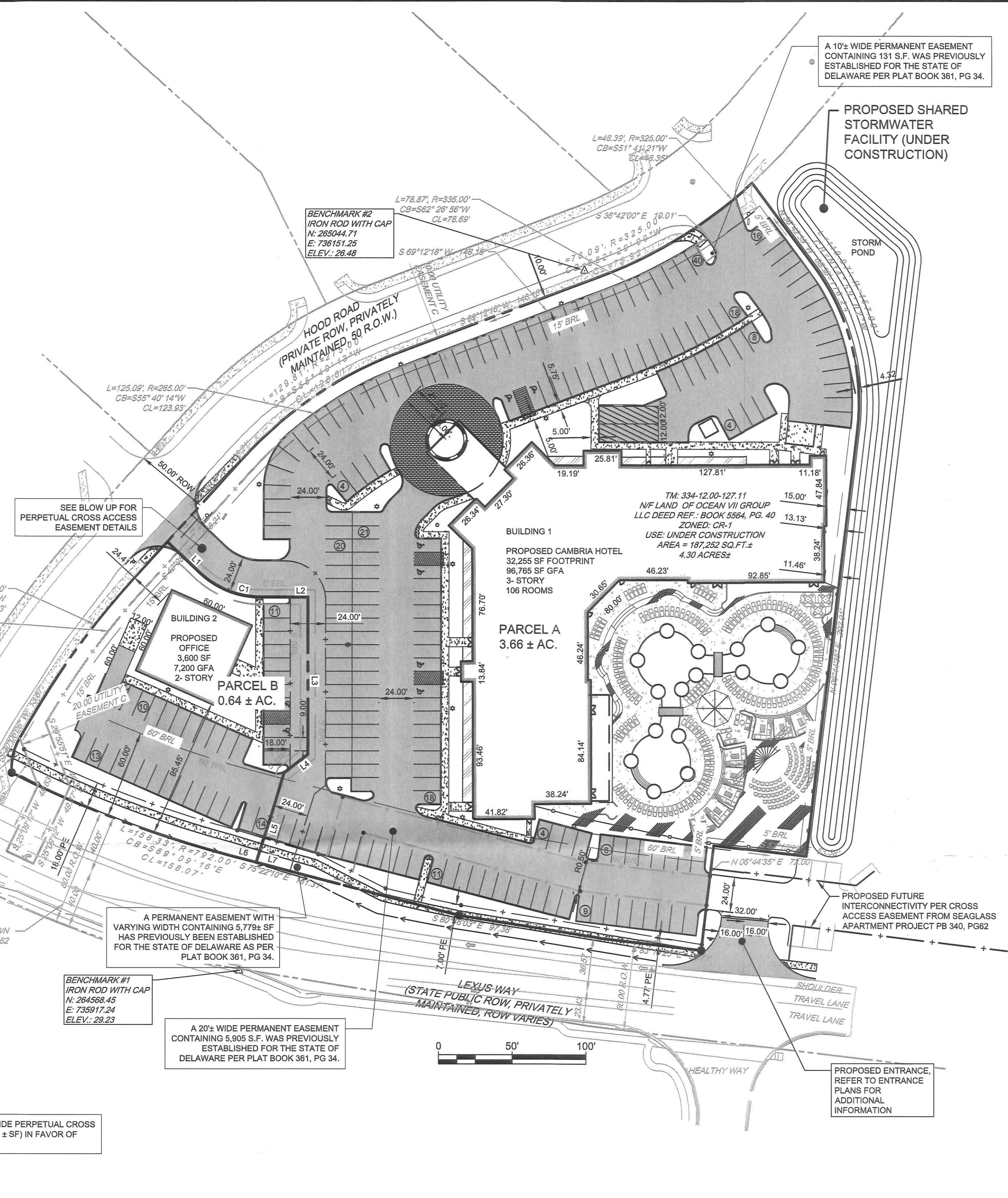
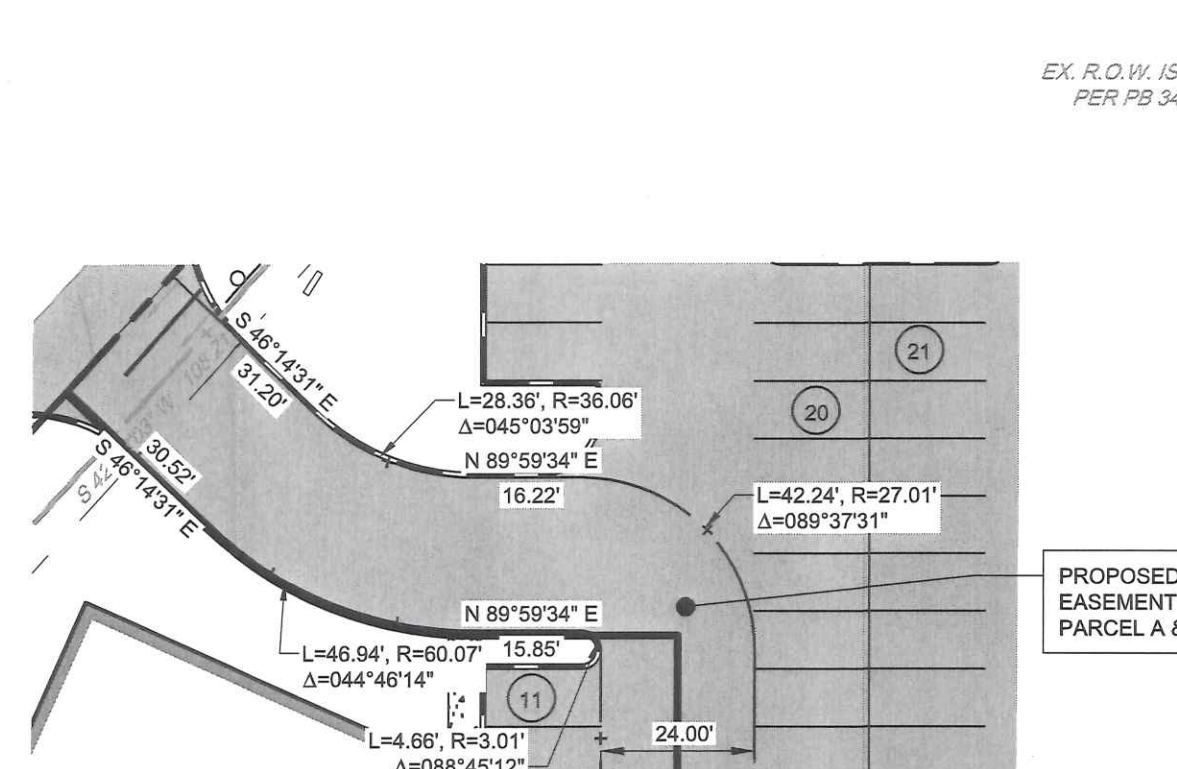
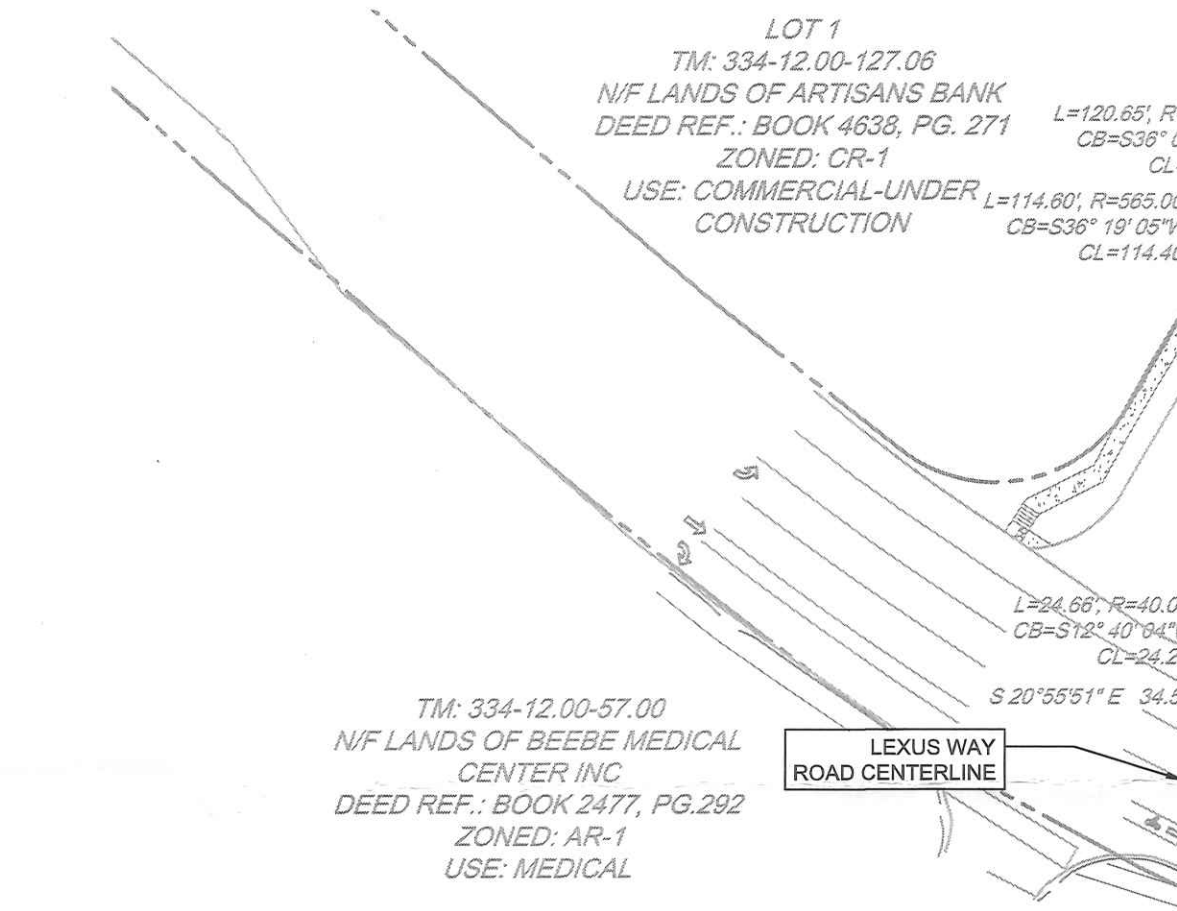
Xc: Hans M. Medlarz, P.E.  
Lisa Walls  
Christine Fletcher

**SITE DATA TABLE:**

1. TAX MAP NUMBER:	334-12.00-127.11 DB: 5994-307
2. OWNER/DEVELOPER: OWNER/DEVELOPER ADDRESS:	OCEAN 7 GROUP 8804 WINDING TRAIL DR OCEAN CITY, MD 21842
3. ADDRESS LOCATION: HUNDRED: COUNTY:	CORNER OF LEXUS WAY AND HOOD ROAD REHOBOTH BEACH, DE 19871 LEWES AND REHOBOTH SUSSEX
4. CURRENT ZONING:	CR-1 (COMMERCIAL RESIDENTIAL)
5. PRESENT USE:	RESIDUAL LANDS
6. PROPOSED USE:	HOTEL AND OFFICE
7. REQUIRED SETBACKS (B.R.L.): FRONT: SIDE: REAR:	(PER 115-83.8 B) 60 FT (PER 115-83.8 B); THERE SHOULD NOT BE A FRONT YARD OF AT LEAST 15 FEET ON THE SIDE STREETS OF A CORNER LOT IN ANY DISTRICT 5 FT 5 FT
8. BUILDING HEIGHT:	(PER 115-83.8 C) 42' MAX ALLOWED
9. REQUIRED LOT SIZE (MIN.): DEPTH: WIDTH: AREA:	100 FT (PER 115-83.8 A) 75 FT 10,000 FT (PER 115-83.8 A)
10. PARKING (ARTICLE XXII: OFF-STREET PARKING, CODE SECTION 115-162) REQUIRED PARKING: HOTEL: OFFICE:	(1.5 PER RENTAL ROOM PLUS 1 PER 3 EMPLOYEES, IF A RESTAURANT OPEN TO THE PUBLIC IS OPERATED IN CONNECTION WITH SUCH USE, ADDITIONAL OFF STREET PARKING SPACE MEETING THE MINIMUM REQUIREMENTS FOR A RESTAURANT MUST BE PROVIDED) 108 UNITS X 1.5 = 162 SPACES 21 EMPLOYEES = 7 SPACES 166 SPACES  (1 SPACE FOR 200 SF OF FLOOR AREA, EXCLUSIVE OF BASEMENT, IF NOT USED FOR OFFICE OR CUSTOMER SERVICE PURPOSES) 7,200 SF / 200 SF = 36 SPACES 36 SPACES  TOTAL REQUIRED SPACES: 202 SPACES  HOTEL - (PARCEL A) OFFICE - (PARCEL B) 166 SPACES 36 SPACES 193 SPACES 36 SPACES  TOTAL PROVIDED SPACES: 229 SPACES 8 SPACES INCLUDED
11. TAX MAP AREA: 334-12.00-127.11:	EX = 4.30 AC. PR = 4.30 AC.
12. SITE CALCULATIONS	
PARCEL A	
BUILDING AREA	EX = 0.00 AC. PR = 0.82 AC.
OPEN SPACE (PERVIOUS AREA)	EX = 3.86 AC. PR = 0.53 AC.
AMENITY PAVED AREA	EX = 0.00 AC. PR = 0.62 AC.
PAVEMENT/STONE AREA	EX = 0.00 AC. PR = 1.69 AC.
TOTAL	EX = 3.86 AC. PR = 3.66 AC.
PARCEL B	
BUILDING AREA	EX = 0.00 AC. PR = 0.08 AC.
OPEN SPACE (PERVIOUS AREA)	EX = 0.64 AC. PR = 0.24 AC.
AMENITY PAVED AREA	EX = 0.00 AC. PR = 0.00 AC.
PAVEMENT/STONE AREA	EX = 0.00 AC. PR = 0.32 AC.
TOTAL	EX = 0.64 AC. PR = 0.64 AC.
13. UTILITY SERVICES:	
SANITARY SEWER SUPPLIER:	SUSSEX COUNTY UNIFIED SANITARY SEWER DISTRICT
WATER SUPPLIER:	TIDEWATER UTILITIES INC.
14. SECTION 89 - SOURCE WATER PROPERTY:	A. SUBJECT PROPERTY IS WITHIN AN AREA OF "FAIR" GROUNDWATER RECHARGE. B. SUBJECT PROPERTY IS NOT LOCATED IN WELLHEAD PROTECTION AREA.
15. STATE INVESTMENT AREA:	LEVEL 1 REHOBOTH BEACH FIRE CO. (STATION 86) FIRE DISTRICT: SUSSEX COUNTY 2019 FUTURE LAND USE MAP: COASTAL AREA
16. LONGITUDE AND LATITUDE: STATE PLANE COORDINATES:	SITE BENCHMARK #1: IRON ROD WITH CAP LONGITUDE: W 75° 08' 13.68" LATITUDE: N 38° 43' 34.10"
17. WETLAND AREA:	0.00 ACRES
18. PROPOSED DISCHARGE LOCATION:	EXISTING SHARED STORM WATER MANAGEMENT WITH SEAGLASS APARTMENTS
19. PROPOSED TOTAL LIMIT OF DISTURBANCE PER DISCHARGE LOCATION:	4.5± ACRES
20. FLOOD ZONE:	FIRM NUMBER 10005C0332K, DATED MARCH 16, 2015
21. TRANSPORTATION IMPROVEMENT DISTRICT (TID):	HENLOPEN (REFER TO NOTE 2 ON RP1001)
22. DATUM:	HORIZONTAL = NAD83 VERTICAL = NAVD83
23. WATERSHED:	REHOBOTH CANAL- REHOBOTH BAY

24. LOCAL GOVERNMENT RESPONSIBLE FOR  
LAND USE APPROVAL: **SUSSEX COUNTY**

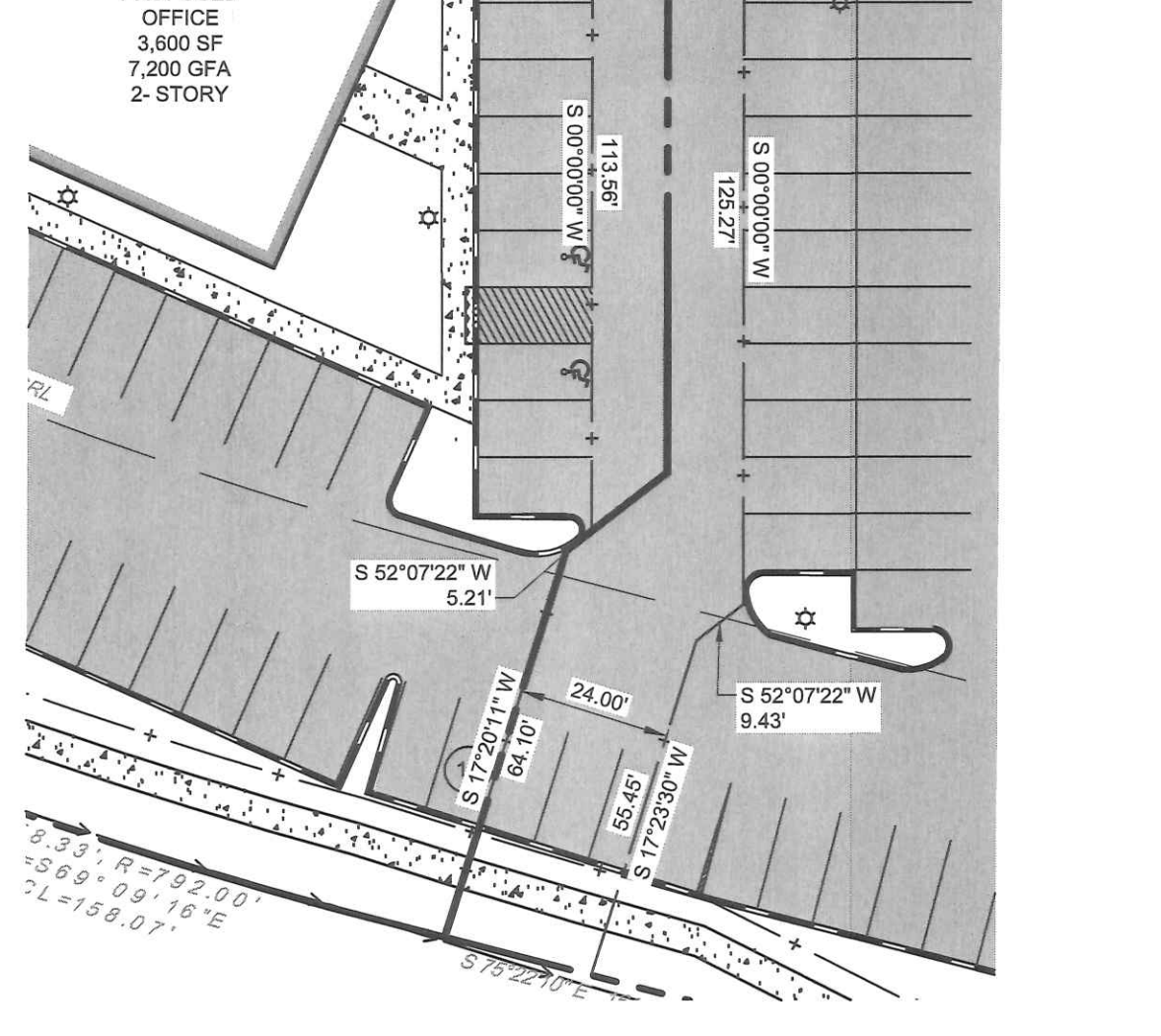
EXISTING	PROPOSED	DESCRIPTION
		BUILDING
		FULL DEPTH PAVEMENT
		BUILDING RESTRICTION LINE
		CURB
		EDGE OF PAVEMENT
		EDGE OF GRAVEL
		UTILITY EASEMENT
		PERMANENT EASEMENT
		FENCE
		POWER, UTILITY POLE
		PROPERTY, LINE
		LEGAL RIGHT-OF-WAY
		PROPERTY, CORNER FOUND
		PROPERTY, ADJOINING LINED
		SITE, MAIL BOX
		SITE, TRAFFIC SIGN
		SPOT ELEVATION
		STORMPIPE, INLET, MANHOLE, & FLARED END
		MINOR CONTOUR
		MAJOR CONTOUR
		MARKING, HANDICAP PARKING
		DETECTABLE WARNING STRIP
		CONCRETE
		LANDSCAPE
		SWALE



LOCATION MAP  
SCALE: 1"=1000'

**GENERAL NOTES:**

- THE BOUNDARY INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD. DEED REFERENCE: DEED BOOK 5994, PAGE 307.
- THIS SURVEY DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHTS OF WAY CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS REQUESTED OR PROVIDED.
- THIS PROPERTY APPEARS ON SUSSEX COUNTY TAX MAP AS 334-12.00-127.11.
- THERE ARE WETLAND AREAS ON THE PROPERTY, PER THE DNREC ENVIRONMENTAL NAVIGATOR WEBSITE.
- THE PROPERTY IS LOCATED IN ZONE "X" AND ZONE "A" ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 10005C0332K MAP REVISED MARCH 16, 2015. ZONE "X" IS AN AREA DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN. (NO IMPACT).
- THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES UPON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE DUST, NOISE, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS, AND NIGHTTIME FARMING OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE ON ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM ANY SUCH AGRICULTURAL USES AND ACTIVITIES.
- THE DEVELOPER WILL BE PARTICIPATING IN THE HENLOPEN TID. THE INFRASTRUCTURE RECOUPMENT AGREEMENT IS RECORDED UNDER BOOK 5605, PAGES 37-47, IN THE OFFICE OF THE SUSSEX COUNTY RECORDER OF DEED.



PERPETUAL CROSS ACCESS EASEMENT - BLOW UP  
SCALE: 1"=30"

**PROPOSED SUBDIVISION  
LINE DATA**

Line #	Length	Direction
L6	18.831	S75° 22' 09.88"E
L7	142.479	S75° 22' 09.88"E
L1	30.500	S48° 14' 30.73"E
L2	31.851	N89° 59' 32.06"E
L3	106.561	S00° 00' 27.94"E
L4	20.347	S52° 15' 26.65"W
L5	64.104	S17° 20' 10.81"W

Curve #	Length	Radius	Delta
C1	48.408	60.750	043.7870

**OWNER/DEVELOPER CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE: OCEAN 7 GROUP  
C/O TALIH ISLAM  
8804 WINDING TRAIL DR  
OCEAN CITY MD 21842  
443-373-1789  
ISLAM.TALIH@YAHOO.COM

**ENGINEER CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE COMES WITH APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SIGNATURE: ALAN DECKTOR, PE (DE PER17711)  
PENNONI ASSOCIATES, INC.  
18072 DAVIDSON DRIVE  
MILTON, DE 19968  
OFFICE (302) 684-8030 - FAX (302) 684-8054  
ADECKTOR@PENNONI.COM

**Pennoni**  
PENNONI ASSOCIATES, INC.  
18072 Davidson Drive  
Milton, DE 19968  
T. 302.684.8030 F. 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

**CAMBRIA HOTEL**  
TM: 334-12.00-127.11  
CORNER OF LEXUS WAY AND HOOD WAY  
REHOBOTH BEACH, DE, 19871  
**MAJOR SUBDIVISION PLAN**

OCEAN 7 GROUP  
8804 WINDING TRAIL DR  
OCEAN CITY, MD 21842

NO.	DATE	BY	REVISIONS

PROJECT: FISHR21001  
DATE: 2022-02-09  
DRAWING SCALE: AS SHOWN  
DRAWN BY: EOC  
APPROVED BY: AMD



# OCEAN 7 GROUP

CASE NO. S2022-07

MAJOR SUBDIVISION

**OWNER/DEVELOPER:**

**OCEAN 7 GROUP**  
 9804 WINDING TRAIL DRIVE  
 OCEAN CITY, MD 21842  
 TAUHID ISLAM  
 NICK TEKMEN

**PLANNER/ENGINEER/SURVEYOR:**

**PENNONI**  
 18072 DAVIDSON DRIVE  
 MILTON, DE 19968  
 MARK H. DAVIDSON, PRINCIPAL LAND PLANNER  
 ALAN DECKTOR, PE., ENV SP  
 ERIC WAHL, RLA  
 JOHN W. HAUPT, PLS

**ENVIRONMENTAL:**

**GEO-TECHNOLOGY ASSOCIATES, INC.**  
**ACCENT ENVIRONMENTAL**  
 WILLIAM J. GANGLOFF, PhD. PROF. SOIL  
 SCIENTIST

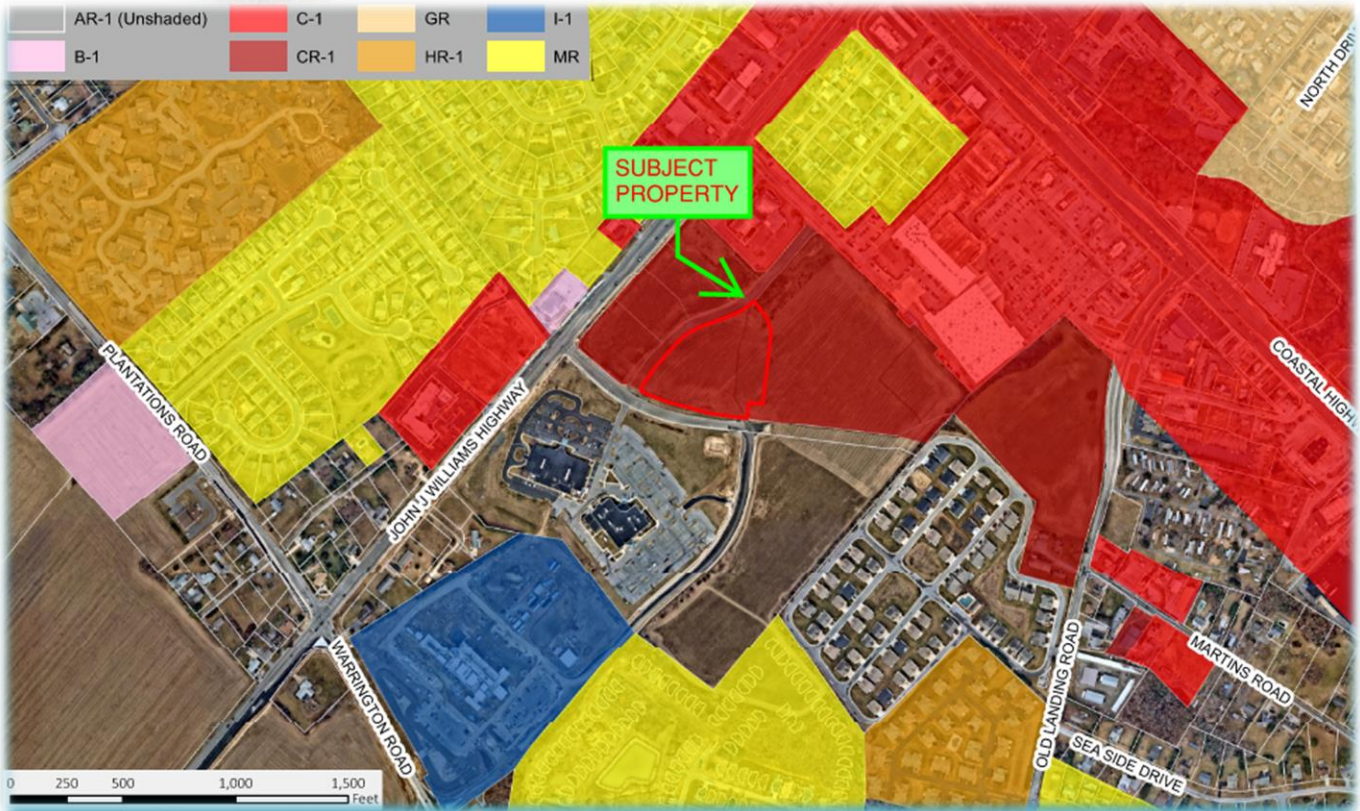


TABLE OF CONTENTS

<b>1. APPLICATION</b>	<b>TAB 1</b>
a. Major Subdivision Application	
b. Major Subdivision Plan	
c. PB361 PG34	
d. PB127 PG85	
<b>2. §99-9C</b>	<b>TAB 2</b>
a. §99-9C Code Notes	
<b>3. ENVIRONMENTAL ASSESSMENT</b>	<b>TAB 3</b>
a. Environmental Assessment and Facilities Report	
b. Phase One Pages	
c. SCD Plan Approval	
d. Cambria Hotel Entrance Plan Approval	
e. Cambria Hotel LONO	
f. BK5605 PG37 Infrastructure Recoupment Agreement	
g. SCED Approval	
h. DNREC Approval	
i. Tidewater Approval	
j. FM Approval	
k. ODW Approval	
<b>4. MAPS</b>	<b>TAB 4</b>
a. Site Location, County Zoning and Sussex Future Land Use, Maps	

# Mark H. Davidson / Vice President

## Principal Land Planner/Office Director

### EDUCATION

University of Delaware; Civil Engineering, (1986-1990)

Land Surveying, Delaware Technical & Community College (1984-1986) and Wastewater Microbiology Diploma (1997)

Land Planning, Institute for Public Administration (2006)

### CERTIFICATIONS

DNREC Class A Percolation Tester & Class B Septic Designer, (DE #2418)

Sediment & Stormwater Management, Responsible Personnel, DE (#8760) and MD (#4914)

DNREC Certified Construction Reviewer: DE (#1270)

Delaware Notary

### TRAININGS

Hydrology, Delaware TR-20 (1993)

Reducing Flood Hazard in Coastal Development (1996)

Law for Managers/Supervisors (1999)

State and Federal Laws (2000)

Advanced Real Estate Law in Delaware (2002)

Land Conservation and Historic Preservation (2003)

Land Surveying Business Diploma (1998)

Project Manager Training I, Pennoni (2015)

### PROFESSIONAL AFFILIATIONS

National Onsite Wastewater Recycling Association

Delaware Onsite Wastewater Recycling Association

American Planning Association

American Institute of Certified Planners

### HONORS/AWARDS

Association of Professionals Philanthropy, Brandywine Chapter Fundraising Nominee (2014)

Notable Networker Award, BNI (2013)

### EXPERIENCE SUMMARY

Mark H. Davidson serves as Vice President of Pennoni and Office Director for our Southern Delaware, Milton Office. Mark also serves as the Principal Land Planner for Pennoni. He has over 35-years of past experience in Surveying, Engineering, Consulting, Construction and Land Planning. For 12-years he owned a professional engineering, surveying, land planning, environmental and consulting firm that provided professional consulting and design in land planning for residential, industrial, institutional, municipal and commercial applications to a wide range of clients in Delaware and Maryland. Mr. Davidson's project experience includes land development planning, surveying, engineering, environmental design and permitting; construction and project consulting, management and inspection; water resource consulting, management and inspection and municipal consulting, planning and inspection for residential, industrial, institutional, municipal and commercial applications.

Mark is a past director of the Delaware Onsite Wastewater Recycling Association as well as a member of the American Planning Association, American Institute of Certified Planners and has served in the past as a committee member of Delaware Low Impact Development Roundtable Committee, Delaware Pollution Control Strategy Committee, Delaware Sediment & Stormwater Regulatory Advisory Committee, and the Delaware Technical & Community College A/E Curriculum Committee. Past Board Member for the On Site Septic Advisory Board for the State of Delaware. He was also nominated for the Brandywine Chapter Association of Fundraising Professionals Philanthropy Award and has won the BNI Notable Networker Award.

Along with all the experience and education stated and with many years of combined experience in Surveying, Engineering, Consulting and Land Planning, he has been responsible for providing consulting, layout and design in surveying, engineering and land planning for residential, industrial, institutional, municipal and commercial applications to a wide range of clients in Delaware, Maryland, Virginia and West Virginia. He has project managed, studied, planned, surveyed, designed and engineered sustainable, master-planned communities, commercial and urban redevelopment projects, and the public infrastructure that supports them.

Mark has provided nationwide land planning consulting services to a variety of clientele to help coordinate project startups as well as final construction consulting services when it came to commercial, residential, industrial, municipal, educational and community land planning. Provided additional consulting in civil/site engineering, stormwater management, erosion and sediment control, wastewater collection and disposal, transportation, and environmental. Market areas practiced; Delaware, Maryland, West Virginia, Virginia, North Carolina, South Carolina, North Dakota, Puerto Rico, Canada and Panama.

Additional Project experience includes cutting edge design and technology as well as value engineering and construction to help clients through the ever-changing market including but not limited to solar voltaic and wind generation projects.



**TAB 1**

**APPLICATION**

File #: \_\_\_\_\_

Pre-App Date: \_\_\_\_\_

# Sussex County Major Subdivision Application

## Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

### Type of Application: (please check applicable)

Standard:

Cluster:

Coastal Area:

### Location of Subdivision:

Corner of Hood Road and Lexus Way

### Proposed Name of Subdivision:

Cambria Hotel

Tax Map #: 334-12.00-127.11

Total Acreage: 4.30

Zoning: CR-1

Density: 0.47

Minimum Lot Size: 0.64+/-

Number of Lots: 2

Open Space Acres: 0.77+/- Acres

Water Provider: Public - Tidewater

Sewer Provider: Public - Sussex County

### Applicant Information

Applicant Name: Ocean 7 Group c/o Tauhid Islam

Applicant Address: 9804 Winding Trail Drive

City: Ocean City

State: MD

Zip Code: 21842

Phone #: (443) 373-1789

E-mail: islam.tauhid@yahoo.com

### Owner Information

Owner Name: Ocean 7 Group c/o Tauhid Islam

Owner Address: 9804 Winding Trail Drive

City: Ocean City

State: MD

Zip Code: 21842

Phone #: (443) 373-1789

E-mail: islam.tauhid@yahoo.com

### Agent/Attorney/Engineer Information

Agent/Attorney/Engineer Name: Pennoni Associates c.o Alan Decktor

Agent/Attorney/Engineer Address: 18072 Davidson Drive

City: Milton

State: DE

Zip Code: 19968

Phone #: (302) 684-8030

E-mail: adecktor@pennoni.com



# Check List for Sussex County Major Subdivision Applications

The following shall be submitted with the application

- Completed Application**
- Provide ten (10) copies of the Site Plan or Survey of the property and a PDF (via e-mail)**
  - Plan shall show the existing conditions, setbacks, roads, floodplain, wetlands, topography, proposed lots, landscape plan, etc. **Per Subdivision Code 99-22, 99-23 & 99-24**
  - Provide compliance with Section 99-9.
  - Deed or Legal description, copy of proposed deed restrictions, soil feasibility study
- Provide Fee \$500.00**
- Optional - Additional information for the Commission to consider** (ex. photos, exhibit books, etc.) If provided submit seven (7) copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.
- Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.**
- PLUS Response Letter** (if required)  **Environmental Assessment & Public Facility Evaluation Report** (if within Coastal Area)
- 51% of property owners consent if applicable**

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

**Signature of Applicant/Agent/Attorney**



Date: 3/18/22

**Signature of Owner**



Date: 3/18/22

**For office use only:**

Date Submitted: \_\_\_\_\_ Fee: \$500.00 Check #: \_\_\_\_\_

Staff accepting application: \_\_\_\_\_ Application & Case #: \_\_\_\_\_

Location of property: \_\_\_\_\_

Date of PC Hearing: \_\_\_\_\_ Recommendation of PC Commission: \_\_\_\_\_

**SITE DATA TABLE:**

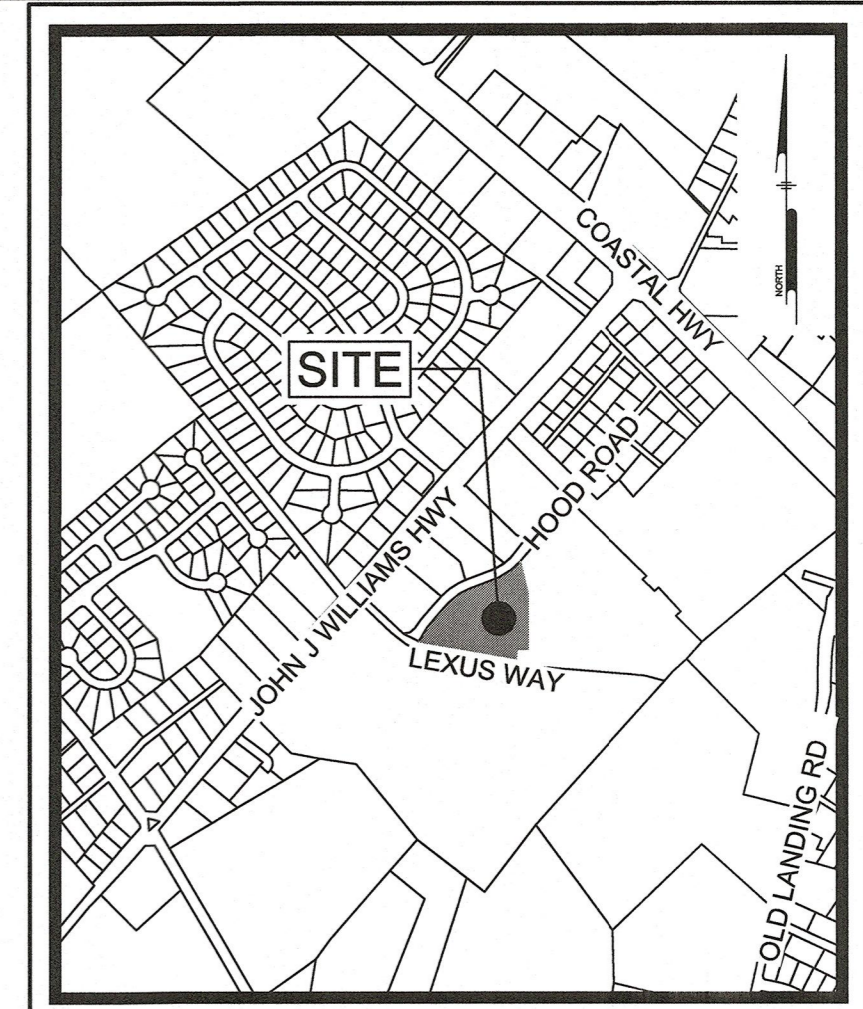
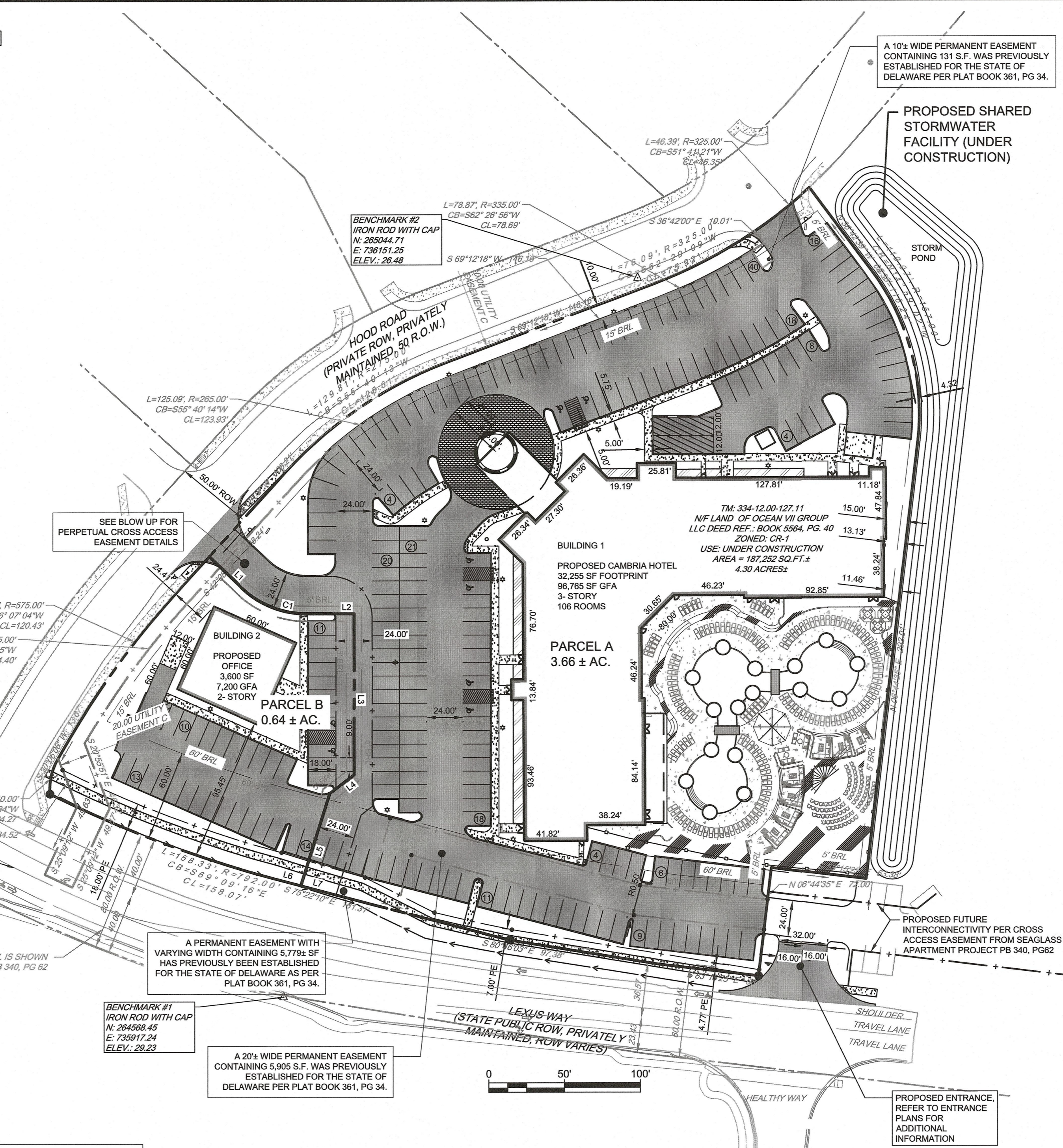
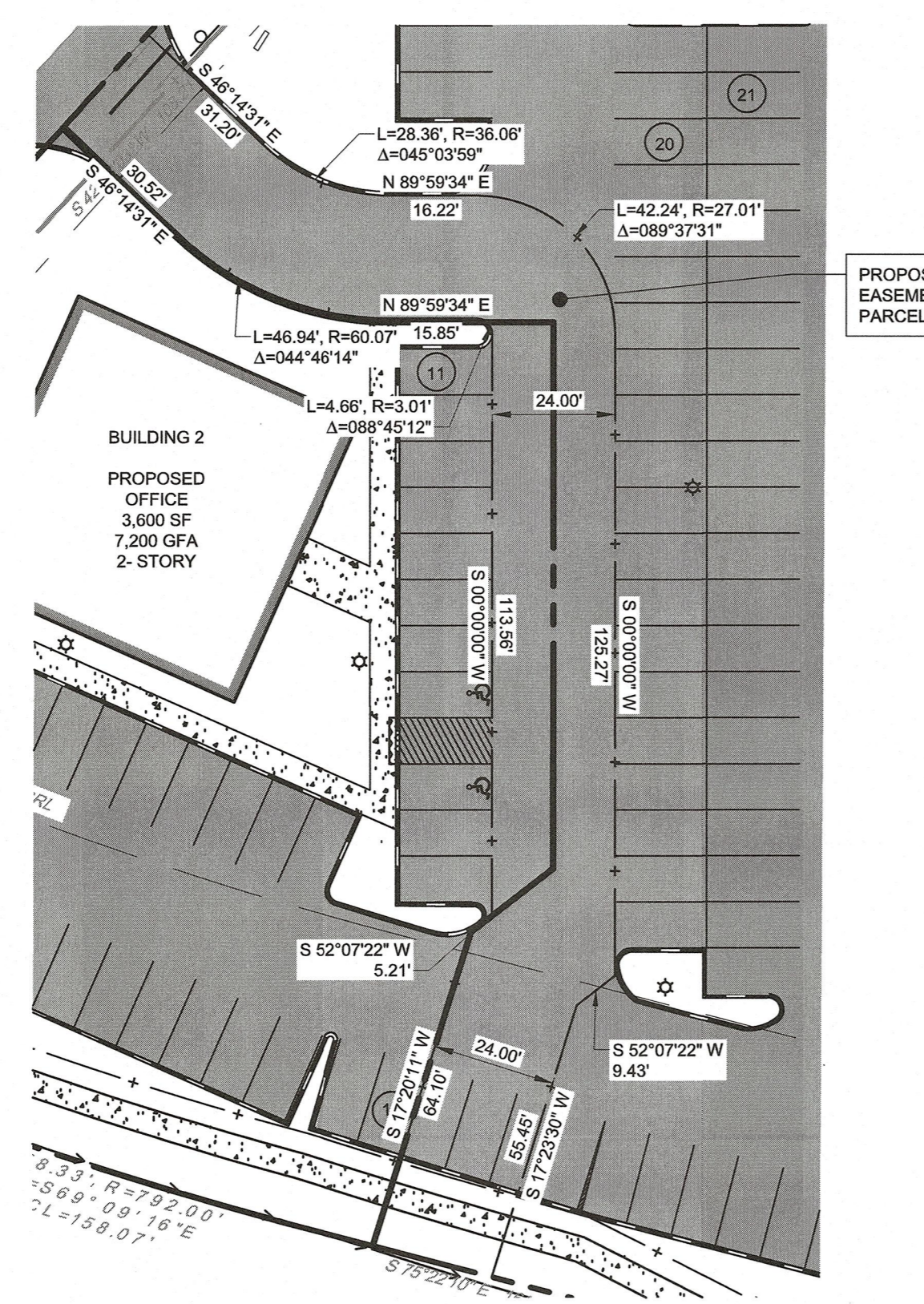
- TAX MAP NUMBER: 334-12.00-127.11  
DB: 5084-307
- OWNER/DEVELOPER: OCEAN 7 GROUP  
OWNER/DEVELOPER ADDRESS: 9804 WINDING TRAIL DR  
OCEAN CITY, MD 21842
- ADDRESS LOCATION: CORNER OF LEXUS WAY AND HOOD ROAD  
REHOBOTH BEACH, DE 19971  
HUNDRED: LEWES AND REHOBOTH  
COUNTY: SUSSEX
- CURRENT ZONING: CR-1 (COMMERCIAL RESIDENTIAL)
- PRESENT USE: RESIDENTIAL LANDS
- PROPOSED USE: HOTEL AND OFFICE
- REQUIRED SETBACKS (B.R.L.):  
FRONT: (PER 115-83.8 B)  
60 FT (PER 115-83.8 B); THERE SHOULD NOT BE A FRONT YARD OF AT LEAST 15 FEET ON THE SIDE STREETS OF A CORNER LOT IN ANY DISTRICT  
SIDE: 5 FT  
REAR: 5 FT
- BUILDING HEIGHT: (PER 115-83.8 C)  
42' MAX ALLOWED
- REQUIRED LOT SIZE (MIN.): 100 FT (PER 115-83.8 A)  
DEPTH: 75 FT  
WIDTH: 10,000 FT (PER 115-83.8 A)  
AREA: 100.5
- PARKING (ARTICLE XXII: OFF-STREET PARKING, CODE SECTION 115-162)  
REQUIRED PARKING:  
HOTEL: (1.5 PER RENTAL ROOM PLUS 1 PER 3 EMPLOYEES, IF A RESTAURANT OPEN TO THE PUBLIC IS OPERATED IN CONNECTION WITH SUCH USE, ADDITIONAL OFF STREET PARKING SPACE MEETING THE MINIMUM REQUIREMENTS FOR A RESTAURANT MUST BE PROVIDED)  
106 UNITS X 1.5 = 159 SPACES  
21 EMPLOYEES = 7 SPACES  
TOTAL: 166 SPACES  
OFFICE: (1 SPACE FOR 200 SF OF FLOOR AREA, EXCLUSIVE OF BASEMENT, IF NOT USED FOR OFFICE OR CUSTOMER SERVICE PURPOSES)  
7,200 SF / 200 SF = 36 SPACES  
TOTAL: 36 SPACES  
**TOTAL REQUIRED SPACES:** 202 SPACES  
HOTEL - (PARCEL A) 166 SPACES OFFICE - (PARCEL B) 36 SPACES  
PROVIDED SPACES: 193 SPACES  
TOTAL PROVIDED SPACES: 229 SPACES  
HANDICAP SPACES: 8 SPACES INCLUDED
- TAX MAP AREA: 334-12.00-127.11: EX=4.30 AC. PR=4.30 AC.
- SITE CALCULATIONS  
PARCEL A  
BUILDING AREA EX=0.00 AC. PR=0.82 AC.  
OPEN SPACE (PERVIOUS AREA) EX=3.86 AC. PR=0.83 AC.  
AMENITY PAVED AREA EX=0.00 AC. PR=0.62 AC.  
PAVEMENT/STONE AREA EX=0.00 AC. PR=1.69 AC.  
TOTAL EX=3.86 AC. PR=3.86 AC.  
PARCEL B  
BUILDING AREA EX=0.00 AC. PR=0.08 AC.  
OPEN SPACE (PERVIOUS AREA) EX=0.84 AC. PR=0.24 AC.  
AMENITY PAVED AREA EX=0.00 AC. PR=0.00 AC.  
PAVEMENT/STONE AREA EX=0.00 AC. PR=0.32 AC.  
TOTAL EX=0.84 AC. PR=0.64 AC.
- UTILITY SERVICES:  
SANITARY SEWER SUPPLIER: SUSSEX COUNTY UNIFIED SANITARY SEWER DISTRICT  
WATER SUPPLIER: TIDEWATER UTILITIES INC.
- SECTION 89 - SOURCE WATER PROPERTY:  
A. SUBJECT PROPERTY IS WITHIN AN AREA OF "FAIR" GROUNDWATER RECHARGE.  
B. SUBJECT PROPERTY IS NOT LOCATED IN WELLHEAD PROTECTION AREA.
- STATE INVESTMENT AREA: LEVEL 1  
FIRE DISTRICT: REHOBOTH BEACH FIRE CO. (STATION 86)  
SUSSEX COUNTY 2019 FUTURE LAND USE MAP: COASTAL AREA
- LONGITUDE AND LATITUDE:  
STATE PLANE COORDINATES:  
SITE BENCHMARK #1: IRON ROD WITH CAP  
LONGITUDE: W 75° 08' 13.68"  
LATITUDE: N 38° 43' 34.10"
- WETLAND AREA: 0.00 ACRES
- PROPOSED DISCHARGE LOCATION: EXISTING SHARED STORM WATER MANAGEMENT WITH SEAGLASS APARTMENTS
- PROPOSED TOTAL LIMIT OF DISTURBANCE PER DISCHARGE LOCATION: 4.5± ACRES
- FLOOD ZONE: FIRM NUMBER 10005C0332K, DATED MARCH 16, 2015
- TRANSPORTATION IMPROVEMENT DISTRICT (TID): HENLOPEN (REFER TO NOTE 2 ON RP1001)
- DATUM: HORIZONTAL = NAD83  
VERTICAL = NAVD83
- WATERSHED: REHOBOTH CANAL- REHOBOTH BAY

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	BUILDING
[Symbol]	[Symbol]	FULL DEPTH PAVEMENT
[Symbol]	[Symbol]	BUILDING RESTRICTION LINE
[Symbol]	[Symbol]	CURB
[Symbol]	[Symbol]	EDGE OF PAVEMENT
[Symbol]	[Symbol]	EDGE OF GRAVEL
[Symbol]	[Symbol]	UTILITY EASEMENT
[Symbol]	[Symbol]	PERMANENT EASEMENT
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	POWER, UTILITY POLE
[Symbol]	[Symbol]	PROPERTY, LINE
[Symbol]	[Symbol]	LEGAL RIGHT-OF-WAY
[Symbol]	[Symbol]	PROPERTY, CORNER FOUND
[Symbol]	[Symbol]	PROPERTY, ADJOINING LINED
[Symbol]	[Symbol]	SITE, MAIL BOX
[Symbol]	[Symbol]	SITE, TRAFFIC SIGN
[Symbol]	[Symbol]	SPOT ELEVATION
[Symbol]	[Symbol]	STORMPIPE, INLET, MANHOLE & FLARED END
[Symbol]	[Symbol]	MINOR CONTOUR
[Symbol]	[Symbol]	MAJOR CONTOUR
[Symbol]	[Symbol]	MARKING, HANDICAP PARKING
[Symbol]	[Symbol]	DETECTABLE WARNING STRIP
[Symbol]	[Symbol]	CONCRETE
[Symbol]	[Symbol]	LANDSCAPE
[Symbol]	[Symbol]	SWALE

LOT 1  
TM: 334-12.00-127.06  
N/F LANDS OF ARTISANS BANK  
DEED REF.: BOOK 4638, PG. 271  
ZONED: CR-1  
USE: COMMERCIAL-UNDER CONSTRUCTION

LOT 2  
TM: 334-12.00-57.00  
N/F LANDS OF BEEBE MEDICAL CENTER INC  
DEED REF.: BOOK 2477, PG. 292  
ZONED: AR-1  
USE: MEDICAL



**GENERAL NOTES:**

- THE BOUNDARY INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD. DEED REFERENCE: DEED BOOK 5084, PAGE 307.
- THIS SURVEY DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHTS OF WAY CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS REQUESTED OR PROVIDED.
- THIS PROPERTY APPEARS ON SUSSEX COUNTY TAX MAP AS 334-12.00-127.11.
- THERE ARE WETLAND AREAS ON THE PROPERTY, PER THE DNREC ENVIRONMENTAL NAVIGATOR WEBSITE.
- THE PROPERTY IS LOCATED IN ZONE "X" AND ZONE "A" ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 10005C0332K MAP REVISED MARCH 16, 2015. ZONE "X" IS AN AREA DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN. (NO IMPACT).
- THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES UPON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE DUST, NOISE, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS, AND NIGHTTIME FARMING OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE ON ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM ANY SUCH AGRICULTURAL USES AND ACTIVITIES.
- THE DEVELOPER WILL BE PARTICIPATING IN THE HENLOPEN TID. THE INFRASTRUCTURE RECOUPMENT AGREEMENT IS RECORDED UNDER BOOK 5005, PAGES 37-47, IN THE OFFICE OF THE SUSSEX COUNTY RECORDER OF DEED.

**PROPOSED SUBDIVISION LINE DATA**

Line #	Length	Direction
L6	18.831	S75° 22' 09.88"E
L7	142.479	S75° 22' 09.88"E
L1	30.500	S46° 14' 30.73"E
L2	31.851	N89° 59' 32.06"E
L3	106.561	S00° 00' 27.94"E
L4	20.347	S52° 15' 26.85"W
L5	84.104	S17° 20' 10.81"W

Curve #	Length	Radius	Delta
C1	46.406	60.750	043.7670

**OWNER/DEVELOPER CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE: OCEAN 7 GROUP  
C/O TAUHID ISLAM  
9804 WINDING TRAIL DR  
OCEAN CITY MD 21842  
443-373-1789  
ISLAM.TAUHID@YAHOO.COM

**ENGINEER CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE. THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE COMPLIES WITH APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SIGNATURE: ALAN DECKTOR (PE #17771)  
PENNONI ASSOCIATES, INC  
18072 DAVIDSON DRIVE  
MILTON, DE 19968  
OFFICE (302) 684-8030 - FAX (302) 684-8054  
ADECKTOR@PENNONI.COM

**Pennonni**

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR DISCREPANCIES BEFORE PROCEEDING WITH WORK

**CAMBRIA HOTEL**  
TM: 334-12.00-127.11  
CORNER OF LEXUS WAY AND HOOD WAY  
REHOBOTH BEACH, DE 19971

**MAJOR SUBDIVISION PLAN**

OCEAN 7 GROUP  
9804 WINDING TRAIL DR  
OCEAN CITY, MD 21842

NO.	DATE	REVISIONS	BY

PROJECT: FISHR21001  
DATE: 2022-02-09  
DRAWING SCALE: AS SHOWN  
DRAWN BY: EOC  
APPROVED BY: AMD

**V-0801**  
SHEET 1 OF 1

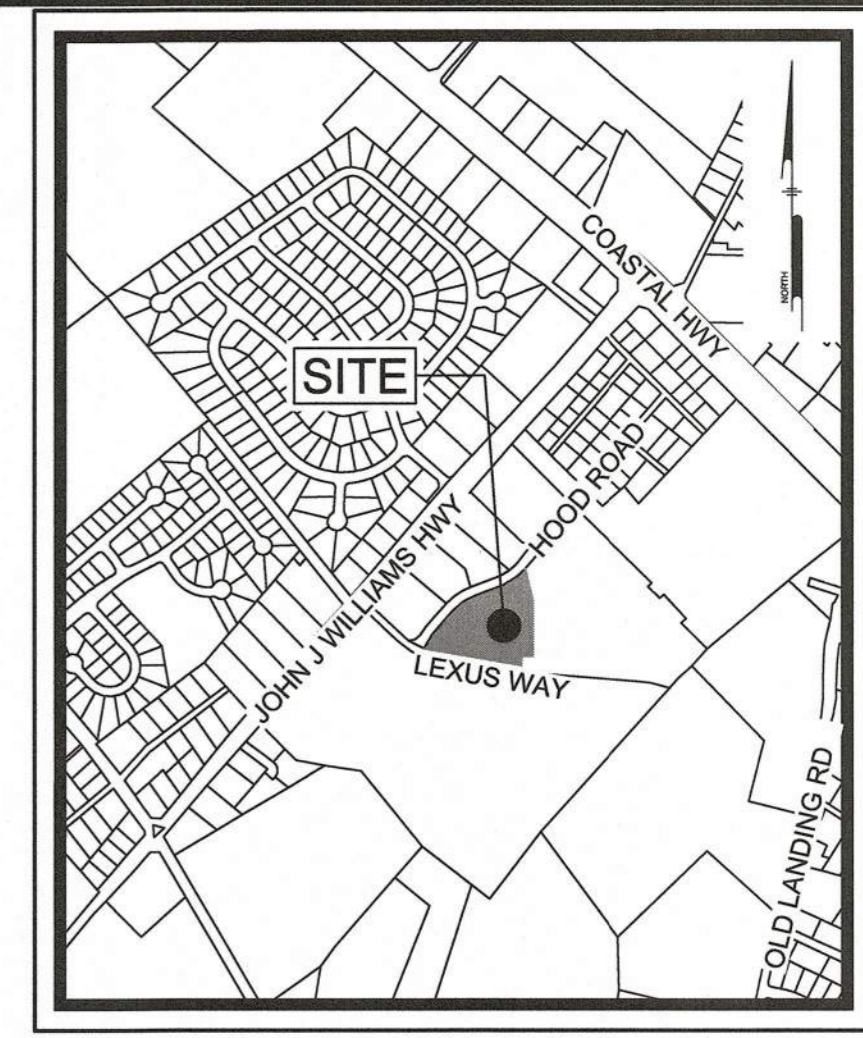
**SITE DATA TABLE:**

- TAX MAP NUMBER: 334-12.00-127.11 DB: 5094-307
- OWNER/DEVELOPER: OCEAN 7 GROUP  
OWNER/DEVELOPER ADDRESS: 9804 WINDING TRAIL DR OCEAN CITY, MD 21842
- ADDRESS LOCATION: CORNER OF LEXUS WAY AND HOOD ROAD REHOBOTH BEACH, DE 19971  
HUNDRED: LEWES AND REHOBOTH  
COUNTY: SUSSEX
- CURRENT ZONING: CR-1 (COMMERCIAL RESIDENTIAL)
- PRESENT USE: RESIDUAL LANDS
- PROPOSED USE: HOTEL AND OFFICE
- REQUIRED SETBACKS (B.R.L.): FRONT: (PER 115-83.8 B) 60 FT (PER 115-83.8 B); THERE SHOULD NOT BE A FRONT YARD OF AT LEAST 15 FEET ON THE SIDE STREETS OF A CORNER LOT IN ANY DISTRICT 5 FT  
SIDE: 5 FT  
REAR: 5 FT
- BUILDING HEIGHT: (PER 115-83.8 C) 42' MAX ALLOWED
- REQUIRED LOT SIZE (MIN.): DEPTH: 100 FT (PER 115-83.8 A)  
WIDTH: 75 FT  
AREA: 10,000 FT<sup>2</sup> (PER 115-83.8 A)
- PARKING (ARTICLE XXII: OFF-STREET PARKING, CODE SECTION 115-162)  
REQUIRED PARKING: HOTEL: (1.5 PER RENTAL ROOM PLUS 1 PER 3 EMPLOYEES, IF A RESTAURANT OPEN TO THE PUBLIC IS OPERATED IN CONNECTION WITH SUCH USE, ADDITIONAL OFF STREET PARKING SPACE MEETING THE MINIMUM REQUIREMENTS FOR A RESTAURANT MUST BE PROVIDED)  
108 UNITS X 1.5 = 159 SPACES  
21 EMPLOYEES = 7 SPACES  
TOTAL: 166 SPACES
- OFFICE: (1 SPACE FOR 200 SF OF FLOOR AREA, EXCLUSIVE OF BASEMENT, IF NOT USED FOR OFFICE OR CUSTOMER SERVICE PURPOSES)  
7,200 SF/ 200 SF = 36 SPACES  
TOTAL: 36 SPACES
- TOTAL REQUIRED SPACES: 202 SPACES  
PROVIDED SPACES: 229 SPACES  
8 SPACES INCLUDED
- LOADING SPACE REQUIRED: 3 SPACES  
LOADING SPACE PROVIDED: 3 SPACES
- TAX MAP AREA: 334-12.00-127.11: EX = 4.30 AC. PR = 4.30 AC.
- SITE CALCULATIONS  
BUILDING AREA: EX = 0.00 AC. PR = 0.90 AC.  
OPEN SPACE (PERVIOUS AREA): EX = 4.30 AC. PR = 0.77 AC.  
AMENITY PAVED AREA: EX = 0.00 AC. PR = 0.02 AC.  
PAVEMENT/STONE AREA: EX = 4.30 AC. PR = 2.01 AC.  
TOTAL: EX = 4.30 AC. PR = 4.30 AC.
- PERCENTAGE OF IMPERVIOUS COVER: 3.51 AC. (81.63%)  
EXISTING FORESTED ACRES: 0.00 AC. (0.00%)
- UTILITY SERVICES:  
SANITARY SEWER SUPPLIER: SUSSEX COUNTY UNIFIED SANITARY SEWER DISTRICT  
WATER SUPPLIER: TIDEWATER UTILITIES INC.
- SECTION 89 - SOURCE WATER PROPERTY:  
A. SUBJECT PROPERTY IS WITHIN AN AREA OF "FAIR" GROUNDWATER RECHARGE.  
B. SUBJECT PROPERTY IS NOT LOCATED IN WELLHEAD PROTECTION AREA.
- STATE INVESTMENT AREA: LEVEL 1  
FIRE DISTRICT: REHOBOTH BEACH FIRE CO. (STATION 86)  
SUSSEX COUNTY 2019 FUTURE LAND USE MAP: COASTAL AREA
- LONGITUDE AND LATITUDE: SITE BENCHMARK #1: IRON ROD WITH CAP  
LONGITUDE: W 75° 08' 13.88"  
LATITUDE: N 38° 43' 34.10"
- WETLAND AREA: 0.00 ACRES
- PROPOSED DISCHARGE LOCATION: EXISTING SHARED STORM WATER MANAGEMENT WITH SEAGLASS APARTMENTS
- PROPOSED TOTAL LIMIT OF DISTURBANCE PER DISCHARGE LOCATION: 4.5± ACRES
- FLOOD ZONE: FIRM NUMBER 10005C0332K, DATED MARCH 16, 2015
- TRANSPORTATION IMPROVEMENT DISTRICT (TID): HENLOPEN (REFER TO NOTE 2 ON RP1001)
- DATUM: HORIZONTAL = NAD83  
VERTICAL = NAVD88
- WATERSHED: REHOBOTH CANAL- REHOBOTH BAY
- LOCAL GOVERNMENT RESPONSIBLE FOR LAND USE APPROVAL: SUSSEX COUNTY

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	BUILDING
[Symbol]	[Symbol]	FULL DEPTH PAVEMENT
[Symbol]	[Symbol]	BUILDING RESTRICTION LINE
[Symbol]	[Symbol]	CURB
[Symbol]	[Symbol]	EDGE OF PAVEMENT
[Symbol]	[Symbol]	EDGE OF GRAVEL
[Symbol]	[Symbol]	UTILITY EASEMENT
[Symbol]	[Symbol]	PERMANENT EASEMENT
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	POWER, UTILITY POLE
[Symbol]	[Symbol]	PROPERTY, LINE
[Symbol]	[Symbol]	LEGAL RIGHT-OF-WAY
[Symbol]	[Symbol]	PROPERTY, CORNER FOUND
[Symbol]	[Symbol]	PROPERTY, ADJOINING LINED
[Symbol]	[Symbol]	SITE, MAIL BOX
[Symbol]	[Symbol]	SITE, TRAFFIC SIGN
[Symbol]	[Symbol]	SPOT ELEVATION
[Symbol]	[Symbol]	STORMPIPE, INLET, MANHOLE & FLARED END
[Symbol]	[Symbol]	MINOR CONTOUR
[Symbol]	[Symbol]	MAJOR CONTOUR
[Symbol]	[Symbol]	MARKING, HANDICAP PARKING
[Symbol]	[Symbol]	DETECTABLE WARNING STRIP
[Symbol]	[Symbol]	CONCRETE
[Symbol]	[Symbol]	LANDSCAPE
[Symbol]	[Symbol]	SWALE

Site is located within a TID



- NOTES:**
- ALL ENTRANCE IMPROVEMENTS SHALL BE CONSTRUCTED BY THE DEVELOPER AND ACCEPTED BY THE DEPARTMENT PRIOR TO THE ISSUANCE OF THE FIRST CO. THE DEVELOPER WILL BE PARTICIPATING IN THE HENLOPEN TID. THE INFRASTRUCTURE RECOVERY AGREEMENT IS RECORDED UNDER BOOK 5695, PAGES 37-47, IN THE OFFICE OF THE SUSSEX COUNTY RECORDER OF DEEDS.
  - PD SOUTH HAS ONE FUTURE PROJECT (AIRPORT ROAD EXTENSION, OLD LANDING RD TO SR 24) IN THE AREA. PLEASE CONTACT BRYAN BEHRENS AT 760-2756 OR BRYAN.BEHRENS@DELAWARE.GOV FOR FURTHER COORDINATION.

**KEYED NOTES**

- G1 PROPOSED CONCRETE SIDEWALK, SEE DETAIL 10' CS6001.
- G2 DELDOT PCC CURB, TYPE 1-6, SEE DETAIL 8' CS6001.
- G3 PROPOSED LIGHT DUTY ASPHALT PAVEMENT, SEE DETAIL 11' CS6001.
- G4 PROPOSED DECORATIVE PAVEMENT (DESIGNED BY OTHERS)
- G5 PROPOSED OUTDOOR POOL AND AMENITY AREA (DESIGNED BY OTHERS)
- G5A PROPOSED 4" HIGH DECORATIVE BLOCK ESTATE FENCE WITH SELF CATCHING SELF CLOSING CHILDPROOF GATE AROUND POOL AMENITY (REFER TO ARCHITECTURE PLANS)
- G6 PROPOSED HEAVY DUTY CONCRETE PAVEMENT, SEE DETAIL 9' CS6001.
- G7 PROPOSED DUMPSTER AREA TO BE ENCLOSED WITH 8" HIGH CMU WALL MATCHING THE EXTERIOR FINISH OF THE BUILDING; GATE TO BE SOLID MATERIAL AND MATCH EXTERIOR FINISH OF THE BUILDING (SEE ARCHITECTURAL DRAWING FOR DUMPSTER DETAILS)
- G8 PROPOSED HOTEL MAIN ENTRANCE
- G9 PROPOSED LANDSCAPE BED, TYP.
- G10 PROPOSED CANOPY (14' CLEARANCE)
- G11 HANDICAP SPACE WITH SIGN MOUNTED ON POST, SEE DETAIL 6' CS6001.
- G11A VAN ACCESSIBLE HANDICAP SPACE
- G12 STOP SIGN (R-1) 36" X 36" WITH STREET BLADE, SEE DETAIL 1/ CS6001.
- G13 STOP BAR (THERMO)
- G14 DELDOT ADA RAMP TYPE 2 WITH DWS
- G15 PROPOSED PARKING LOT LIGHT POLE (REFER TO SITE LIGHTING PLAN CS2201 FOR ADDITIONAL INFORMATION)
- G16 4" YELLOW SOLID DEMARCATION LINES (TYP) PER STATE FIRE MARSHAL REGULATIONS (PAINT FACE OF CURB WHERE APPLICABLE)
- G17 LOADING SPACE (12'X40')
- G18 FLUSH CURB FOR MAIN ENTRANCE WITH DWS STRIP
- G19 PROPOSED ELECTRICAL TRANSFORMER LOCATION PENDING FINAL APPROVAL BETWEEN OWNER, CONTRACTOR AND ELECTRIC COMPANY
- G20 LOADING DOCK DOOR
- G21 PCC CURB TYPE 2, SEE DETAIL 7' CS6001.
- G22 GROUND MOUNTED MONUMENT SIGN FOR HOTEL
- G23 DELDOT ADA RAMP TYPE 1 WITH DWS
- G24 A 20'± WIDE PERMANENT EASEMENT CONTAINING 5,905 S.F. IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM THE STATE MAINTAINED ROADS AND/OR RIGHT-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUME NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORMDRAIN SYSTEM AND/OR DRAINAGE EASEMENTS. REFER TO BLOW UP DETAIL THIS SHEET.
- G25 6" WIDE CROSS WALK

**OWNER/DEVELOPER CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

**ENGINEER CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE. THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE COMPLIES WITH APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DATE: 4/15/24

**Pennoni**  
PENNONI ASSOCIATES INC.  
18072 Davidson Drive  
Milton, DE 19968  
T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

CONFORMED COPY  
DATE: 4/15/24 BY: [Signature]  
ON: 4/15/24 BY: [Signature]  
RECORDED BY: DEEDS Scott Daily  
Sussex County  
Consideration: \$0.00

**CAMBRIA HOTEL**  
CORNER OF LEXUS WAY AND HOOD WAY  
REHOBOTH BEACH, DE 19971

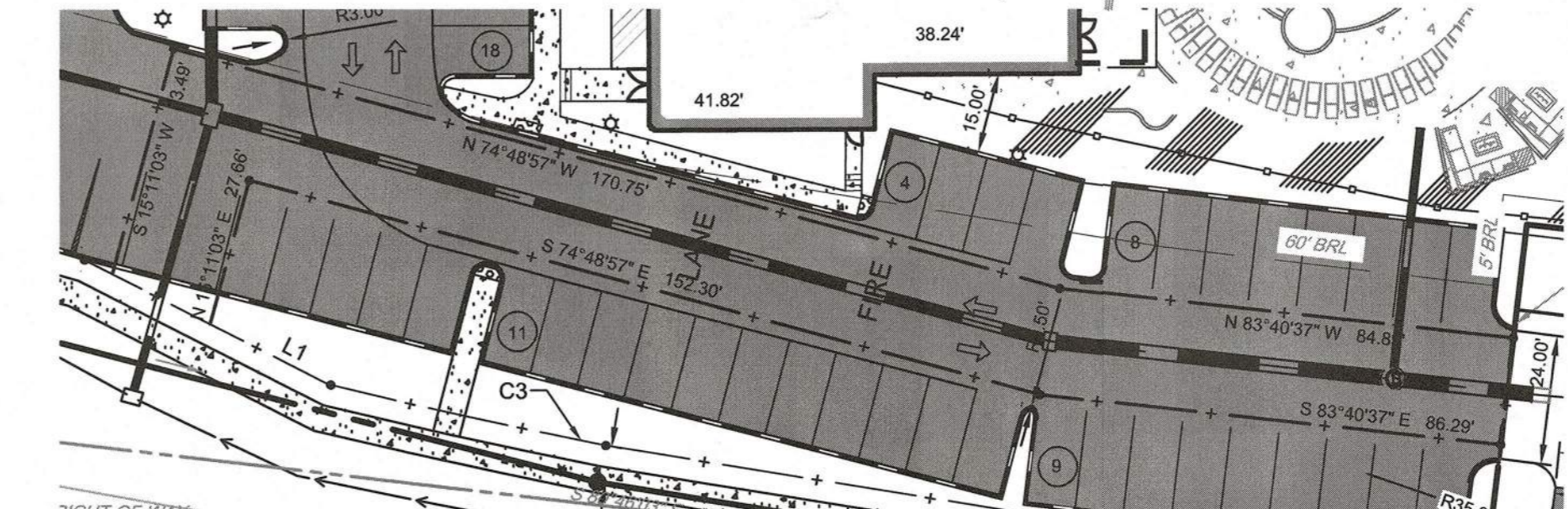
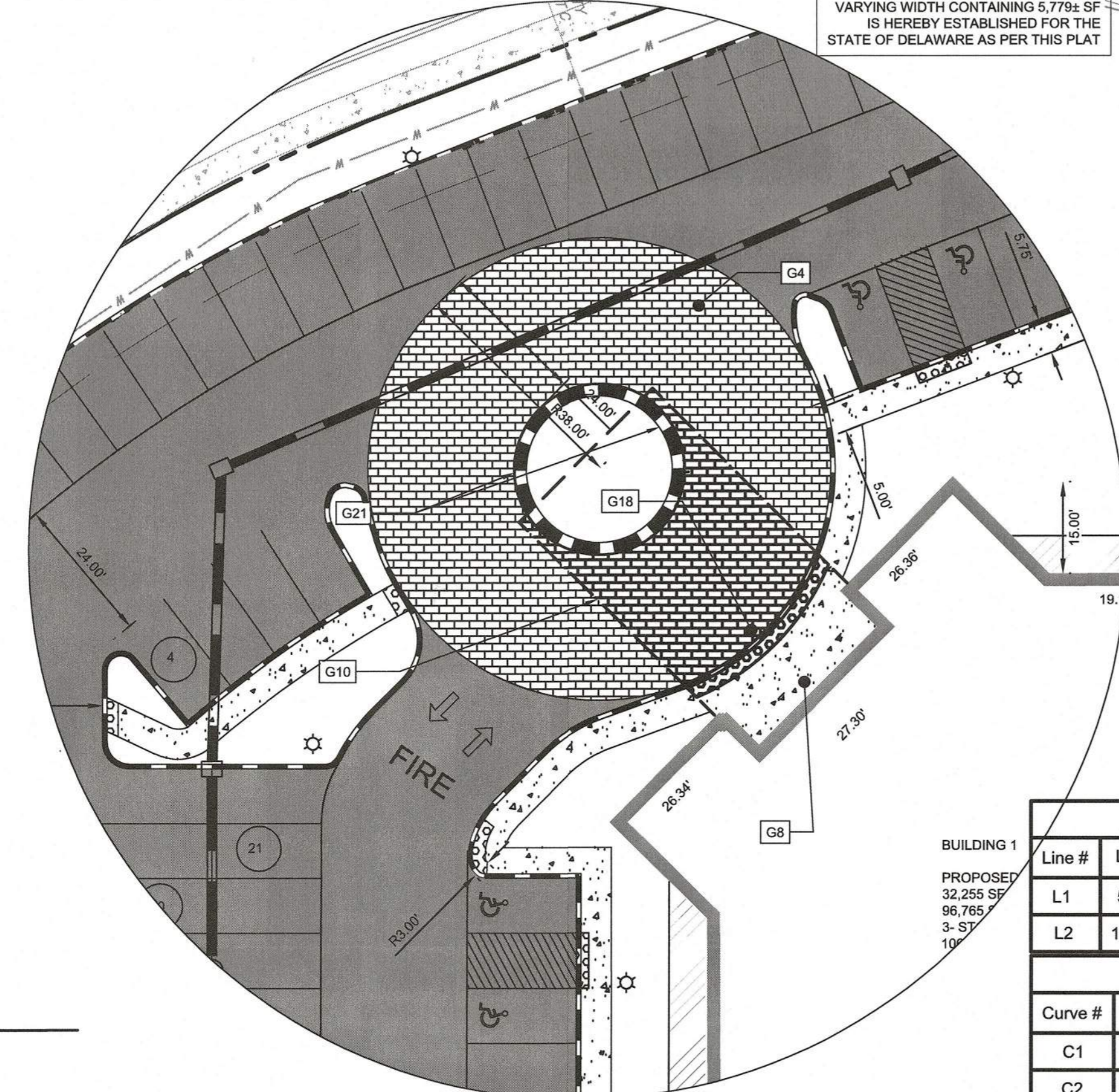
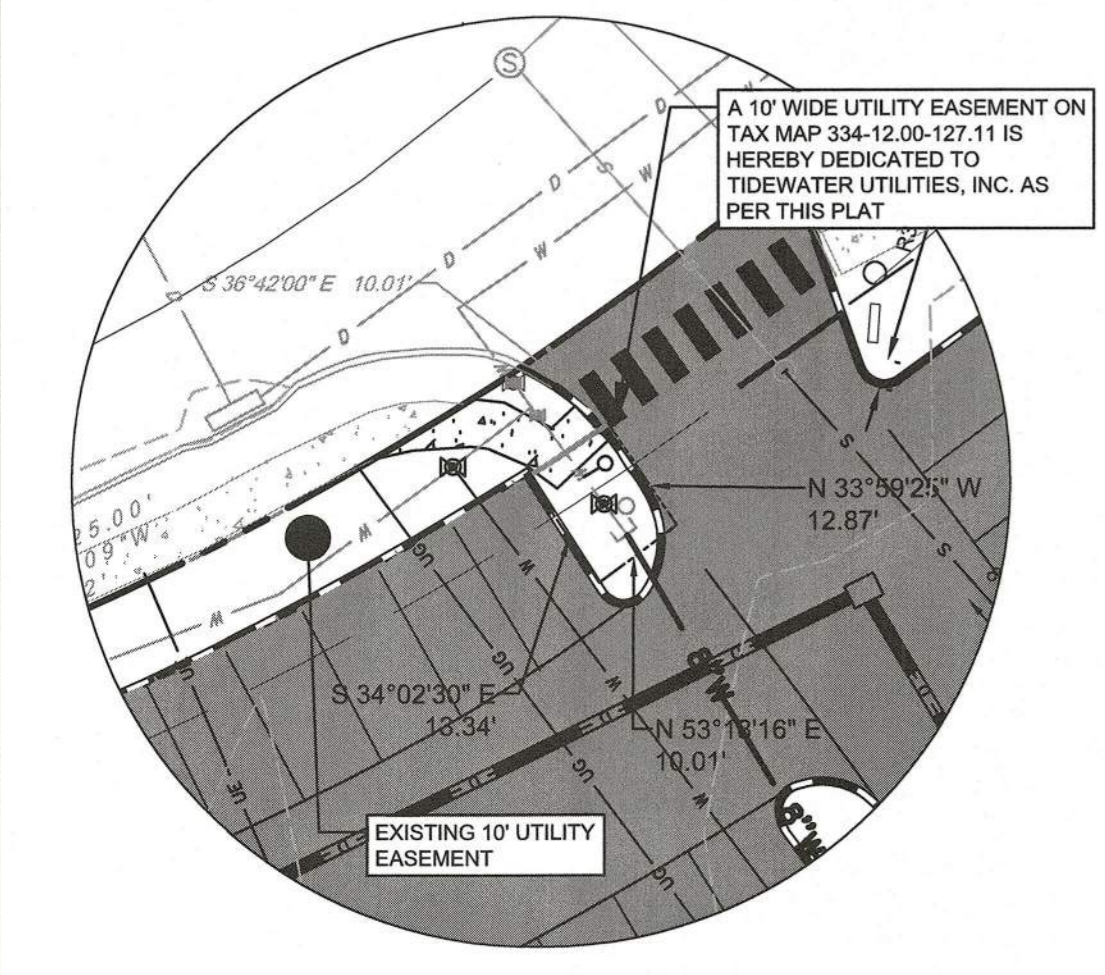
**RECORD PLAN**

OCEAN 7 GROUP  
9804 WINDING TRAIL DR  
OCEAN CITY, MD 21842

NO.	DATE	REVISIONS
1	2022-01-31	REVISED FOR RECORD FOR FIRE MARSHAL
2	2022-01-17	REVISED PER DELDOT COMMENTS
3	2021-12-16	REVISED PER DELDOT COMMENTS
4	2021-12-02	REVISED PER TIDEWATER COMMENTS

PROJECT: FISHR21001  
DATE: 2021-10-08  
DRAWING SCALE: AS SHOWN  
DRAWN BY: RPP  
APPROVED BY: AMD

**RP1001**  
SHEET 1 OF 2



**Line Table**

Line #	Length	Direction
L1	51.381	S63° 02' 05.04"E
L2	165.430	S80° 45' 51.07"E

**Curve Table**

Curve #	Length	Radius	Delta	Direction
C1	155.196	774.000	011.4885	S67° 03' 15.60"E
C2	57.652	1473.116	002.2423	S73° 18' 16.94"E
C3	52.406	1484.116	002.0232	S78° 17' 33.22"E

PARCEL#	RW, PE OR TCE	OWNER
334-12.00-127.01	TCE	OA SEAGLASS LLC

THE TRANSPORTATION IMPROVEMENTS ASSOCIATED WITH THIS DEVELOPMENT NECESSITATE THE ACQUISITION OF RIGHT-OF-WAY, PERMANENT EASEMENTS AND/OR TEMPORARY EASEMENTS HEREINAFTER "PROPERTY INTERESTS" BEYOND AND EXCLUSIVE OF THE ENTRANCE FACILITY. THE DEVELOPER IS RESPONSIBLE TO ACQUIRE THE PROPERTY INTERESTS TO COMPLETE THE WORK AS SHOWN ON THESE PLANS. PRIOR TO ISSUANCE OF A PERMIT FOR ENTRANCE CONSTRUCTION, A NOTICE TO PROCEED, OR A TEMPORARY ENTRANCE PERMIT, PROOF OF THE ACQUISITION OF THE NECESSARY PROPERTY INTERESTS MUST BE SUBMITTED TO THE APPROPRIATE DELDOT PUBLIC WORKS OFFICE.

**APPROVED**  
Final Site Plan  
per RPP Comm. 10/10/24  
SUSSEX COUNTY  
PLANNING & ZONING COMMISSION  
2/15/24

PLOTTED: 2/12/2024 2:30 PM BY: Emmauel Chahua  
 PLOTSTYLE: Pennoni.rvt  
 L:\Projects\2024\FISHR21001 - Sea Glass HOMES\SCS\03 - SHEETS\FISHR21001.dwg

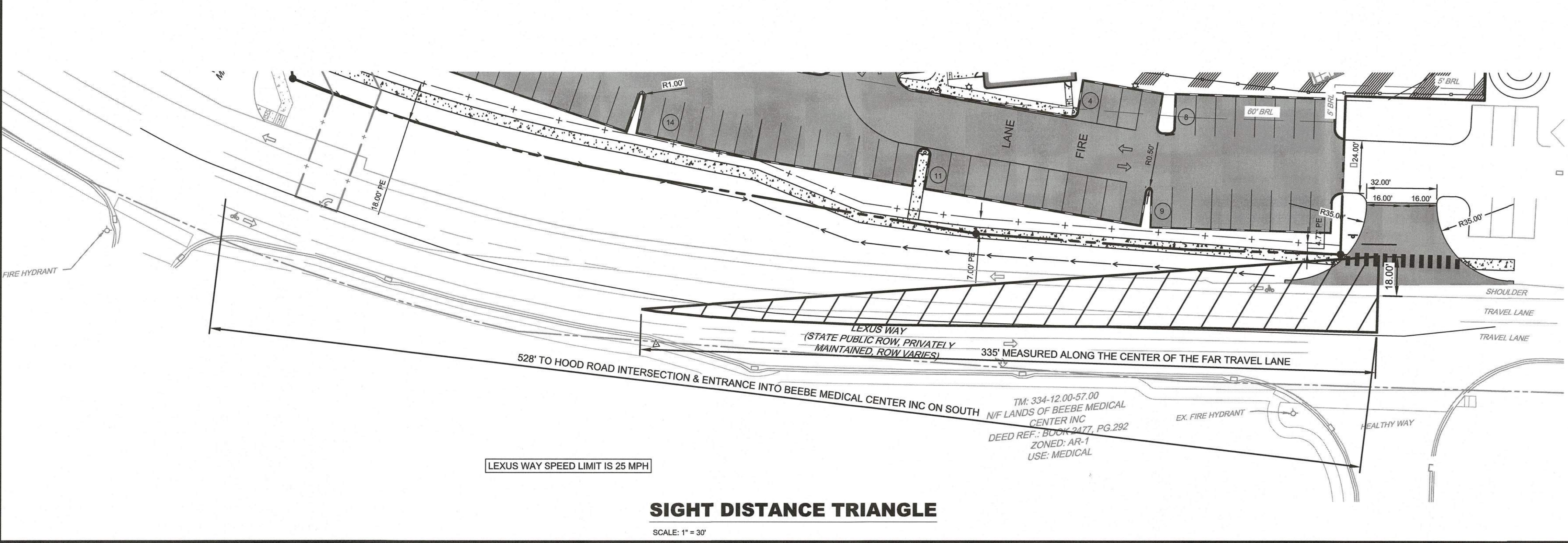


**GENERAL NOTES:**

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY OWNER. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
- THIS PLAN DOES NOT VERIFY THE EXISTENCE, OR NONEXISTENCE, OF EASEMENT OR RIGHT OF WAYS CROSSING THE SUBJECT PROPERTY.
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN THE PLAN.
- FINAL SET OF APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE MAINTAINED ON THE JOB SITE AT ALL TIMES. FAILURE TO COMPLY WITH THIS PROVISION SHALL BE CONSIDERED CAUSE TO STOP THE WORK.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE REJECTED.
- ALL MATERIALS SHALL BE NEW AND SHALL BE ASBESTOS AND VERMICULITE FREE. ALL MATERIALS SHALL BE STORED SO AS TO ASSURE THE PRESERVATION OF THEIR QUALITY AND FITNESS FOR THE INTENDED WORK.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO BE PERFORMED. IT MUST BE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THEREO APPURTENANT.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO FIELD LOCATE AND RECORD ANY DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REMOVED OR REPLACED. ENGINEER TO VERIFY LOCATION AND EXTENT OF DAMAGE.
- THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF CONTRACT DRAWINGS ON WHICH HE SHALL NOTE, IN RED, THE ALIGNMENTS AND INVERTS OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK. ALL DISCREPANCIES BETWEEN THE PLAN LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE AS-BUILT DRAWINGS TO BE MAINTAINED BY THE CONTRACTOR IN THE FIELD.
- THE CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH OR ACCESS PITS WHICH CAN BE BACKFILLED AND STABILIZED AT THE END OF EACH WORKING DAY. STEEL PLATES SHALL BE USED ON ANY TRENCH OR ACCESS PITS WHICH MUST REMAIN OPEN OVERNIGHT. THIS REQUIREMENT DOES NOT APPLY TO AREAS COMPLETELY CLOSED AND SECURED FROM VEHICULAR OR PEDESTRIAN TRAFFIC.
- DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REPLACED OR REMOVED DURING CONSTRUCTION SHALL BE IMMEDIATELY REPORTED TO ENGINEER. CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED WORK WITHOUT CHARGE TO THE OWNER.
- BASED UPON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 10005C0332K, EFFECTIVE DATE MARCH 16, 2015, THE ENTIRE PROPERTY IS LOCATED IN AN AREA DESIGNATED AS FLOOD ZONE "X" (UNSHADED), WHICH IS AN AREA THAT HAS BEEN DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
- SUBJECT PROPERTY IS CURRENTLY "CR-1" (COMMERCIAL RESIDENTIAL).
- THE SUBJECT SITE WILL BE CONSTRUCTED AS A SINGLE PHASE.
- TOTAL AREA FOR SUBJECT SITE IS 4.30 ACRES.
- THE BOUNDARY INFORMATION & TOPOGRAPHY SHOWN ON THIS PLAN WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD AND IS ALSO THE RESULT OF AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES, INC. DATED JULY 2021.
- ALL PROPOSED LIGHTING WILL BE SUPPLIED BY BUILDING WALL PACKS AND PARKING LOT LIGHTS. REFER TO SITE LIGHTING PLAN.
- ALL SECURITY LIGHTING (IF NECESSARY) SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
- STATE AND FEDERAL WETLANDS DO NOT EXIST ON THE SITE.
- STORMWATER IS CONVEYED THROUGH PIPE SYSTEM TO PROPOSED DRY DETENTION BASINS.
- ALL FIRE LANES, FIRE HYDRANTS, EXITS, STANDPIPE, FIRE DEPARTMENT CONNECTIONS AND SPRINKLER CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS. BUILDING CONSTRUCTION TO BE WOOD, STEEL, AND CONCRETE, AND WILL HAVE SPRINKLERS.
- FIRE ALARM REQUIRED - THE FIRE ALARM SIGNALING SYSTEM SHALL BE AUTOMATIC, SUPERVISED OFF-SITE, AND SHALL CONSIST OF FULL COVERAGE BY SMOKE DETECTION AND ALARM NOTIFICATION, WHERE SMOKE DETECTION DEVICES WILL NOT FUNCTION BY REASON OF DEVICE LIMITATION, HEAT DETECTION SHALL BE PROVIDED IN THOSE SPECIFIC LOCATIONS FIRE ALARM SIGNALING SYSTEM PLANS AND SPECIFICATIONS SHALL BE SUBMITTED FOR REVIEW.
- LOCK BOX REQUIRED - CONTACT LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF BOX ON THE BUILDING.
- MISS UTILITY SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO EXCAVATION.
- ALL DISTURBED AREAS WITHIN THE LIMIT OF DISTURBANCE, BUT NOT IN PAVEMENT, SHALL BE TOP-SOILED (6" MINIMUM), SEEDED AND MULCHED. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- A 72 HOUR (MINIMUM) NOTICE SHALL BE GIVEN TO THE DISTRICT PERMIT SUPERVISOR PRIOR TO STARTING ROADWAY CONSTRUCTION.
- THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE OR MODIFY ANY EROSION AND SEDIMENT CONTROL MEASURES AS THEY DEEM NECESSARY.
- THE ENTRANCES / EXITS ARE PROPOSED ONLY, AND ARE SUBJECT TO REVIEW AND APPROVAL BY THE DELAWARE DEPARTMENT OF TRANSPORTATION BEFORE A CONSTRUCTION PERMIT IS ISSUED.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION:  
THE OWNER, SUSSEX CONSERVATION DISTRICT, & DELDOT
- THE CONTRACTOR SHALL MAINTAIN PUBLIC ROADS AND STREETS IN A BROOM SWEEP CONDITION AT ALL TIMES.
- ROUTINE PERIODIC INSPECTIONS DURING CONSTRUCTION WILL BE PROVIDED BY THE OWNER. THESE INSPECTIONS DO NOT RELIEVE THE CONTRACTOR FROM HIS OBLIGATION AND RESPONSIBILITY FOR CONSTRUCTING ALL WORK IN STRICT ACCORDANCE WITH ALL STANDARDS AND SPECIFICATIONS AND CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL MEASURES TO PROTECT STOCKPILE AREAS AND STORAGE AREAS. ALL AREAS USED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR UPON COMPLETION OF THE PROJECT. IF THE STAGING AREA IS PAVED, IT SHALL BE RESTORED TO ITS ORIGINAL CONDITION. IF THE STAGING AREA IS UNPAVED, IT SHALL BE RE-GRADED, TOP-SOILED, SEEDED AND MULCHED TO THE SATISFACTION OF THE ENGINEER. ALL COSTS ASSOCIATED WITH RESTORATION OF THE STAGING AREA SHALL BE AT THE CONTRACTOR'S EXPENSE. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL TAKE PRECAUTIONS TO LOCATE PROPERTY LINES AND RIGHT OF WAY LINES PRIOR TO CONSTRUCTION AND AVOID CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY AND/OR RIGHTS OF WAYS WHERE SAID CONSTRUCTION IS PROHIBITED. THE CONTRACTOR MAY CONDUCT CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY PROVIDED IF HE HAS OBTAINED PRIOR WRITTEN PERMISSION FROM THE PROPERTY OWNER AND HAS SUBMITTED A COPY OF SAID WRITTEN PERMISSION TO THE OWNER.
- THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE WORK AREA, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL REGULATORY, WARNING AND INFORMATION SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE.

**DELDOT RECORD SITE PLANS (03/21/2019):**

- NO LANDSCAPING SHALL BE ALLOWED WITHIN RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL (DCM).
- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS' LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL APPLICABLE PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE FOR THE SIDEWALK.
- PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 § 131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION ENTRANCE.
- DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.

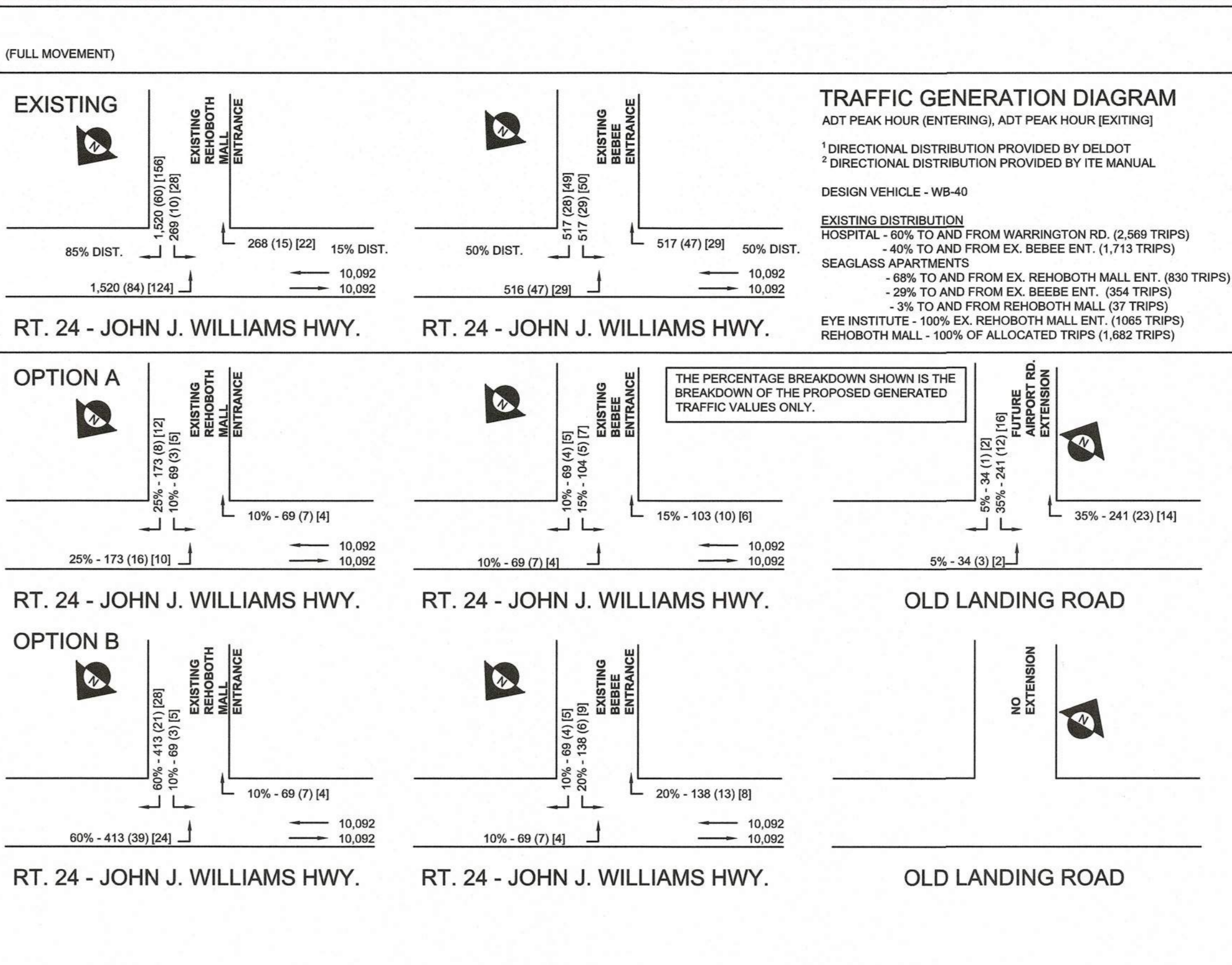


**FIRE MARSHAL NOTES:**

- SITE NAME/ADDRESS: CAMBRIA HOTEL, 1894 COASTAL HWY, REHOBOTH BEACH, DE 19971, SUSSEX COUNTY, DELAWARE
- OWNER INFORMATION: CURRENT OWNER/DEVELOPER: OCEAN 7 GROUP, 9804 WINDING TRAIL DR, OCEAN CITY, MD 21842. TAX MAP/PARCEL #: 334-12.00-127.11. GROSS ACREAGE: 4.30± ACRES.
- INTENDED USE: HOTEL RESTAURANT
- WATER SUPPLIER: PUBLIC - TIDEWATER UTILITIES
- MAXIMUM BUILDING HEIGHT: 42'
- AUTOMATIC SPRINKLERS: HOTEL-YES, OFFICE-NO
- FIRE DISTRICT: REHOBOTH BEACH FIRE CO. (STATION 86)

**NOTES:**

- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.



**TRAFFIC GENERATION DIAGRAM**

ADT PEAK HOUR (ENTERING), ADT PEAK HOUR (EXITING)  
 1. DIRECTIONAL DISTRIBUTION PROVIDED BY DELDOT  
 2. DIRECTIONAL DISTRIBUTION PROVIDED BY ITE MANUAL  
 DESIGN VEHICLE - WB-40  
 EXISTING DISTRIBUTION  
 HOSPITAL - 80% TO AND FROM EX. REHOBOTH MALL ENT. (2,569 TRIPS)  
 - 40% TO AND FROM EX. BEEBE ENT. (1,713 TRIPS)  
 SEAGLASS APARTMENTS  
 - 69% TO AND FROM EX. REHOBOTH MALL ENT. (830 TRIPS)  
 - 29% TO AND FROM EX. BEEBE ENT. (354 TRIPS)  
 - 3% TO AND FROM REHOBOTH MALL (37 TRIPS)  
 EYE INSTITUTE - 100% EX. REHOBOTH MALL ENT. (1,065 TRIPS)  
 REHOBOTH MALL - 100% OF ALLOCATED TRIPS (1,882 TRIPS)

**ROAD TRAFFIC DATA:**

FUNCTIONAL CLASSIFICATION - (SCR 24 - JOHN J. WILLIAMS HWY.) - MAJOR COLLECTOR  
 POSTED SPEED LIMIT - 35 MPH  
 AADT = 20,184 TRIPS (FROM 2019 DELDOT TRAFFIC SUMMARY)  
 10 YEAR PROJECTED AADT = 1,16 x 20,184 = 23,413 TRIPS  
 10 YEAR PROJECTED AADT + SITE ADT = 24,792 TRIPS  
 TRAFFIC PATTERN GROUP = 8 (FROM 2019 DELDOT TRAFFIC SUMMARY)  
 PEAK HOUR - 11.77% x 24,792 TRIPS = 2,918 TRIPS  
 TRUCK VOLUME - 10.55% x 24,792 TRIPS = 2,616 TRIPS  
 DISTRIBUTION % (56.51 / 43.49)

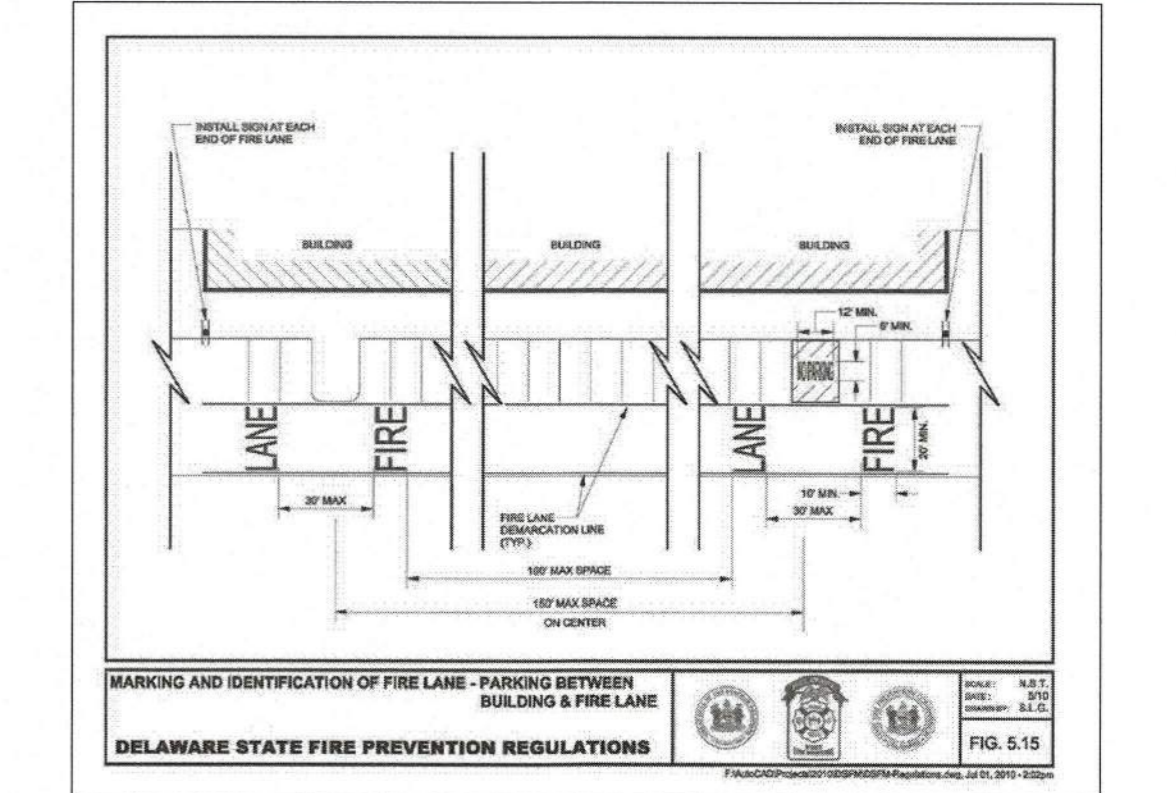
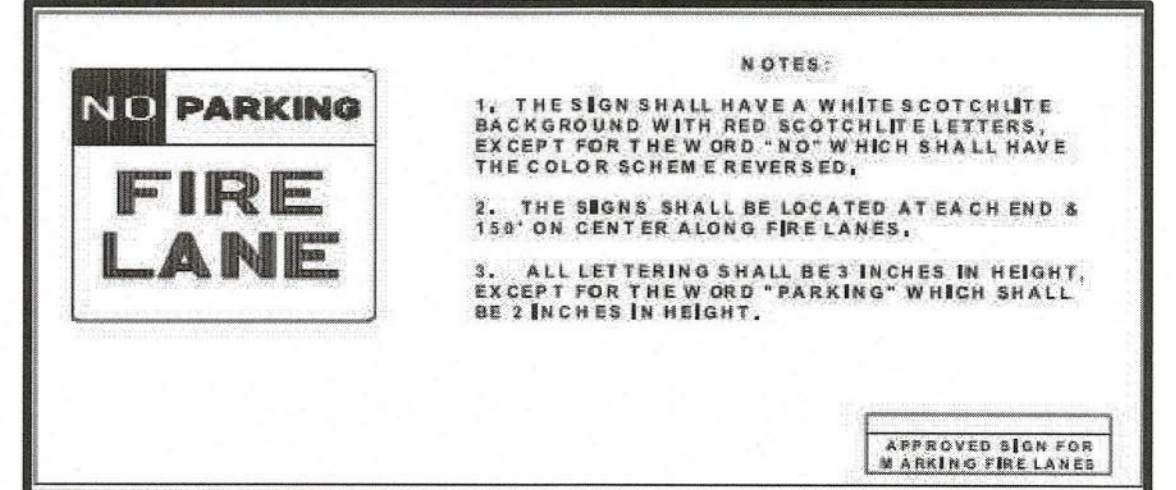
**SITE TRAFFIC DATA:**

SOURCE: ITE TRIP GENERATION MANUAL 10TH EDITION  
 EXISTING LAND USE - VACANT LANDS  
 EXISTING LAND USE OF ADJACENT PROPERTIES  
 265,000± GFA FOR BEEBE HEALTHCARE CAMPUS (ITE 610, HOSPITAL)  
 265 KSF: T=5.88(X)+2,723.70 = 4,282 TRIPS (WEEKDAY) (2,141 IN / 2,141 OUT)  
 PEAK HOUR OF ADJACENT STREET TRAFFIC:  
 AM PEAK: T=0.74(X)+126.36 = 322 TRIPS (WEEKDAY) (68% / 32%) (219 / 103)  
 PM PEAK: T=0.84(X)+100.56 = 323 TRIPS (WEEKDAY) (32% / 68%) (103 / 220)  
 30,000± GFA FOR DELAWARE EYE INSTITUTE (ITE 720, MEDICAL-DENTAL OFFICE BLDG.)  
 30 KSF: T=38.42(X)-87.62 = 1,065 TRIPS (WEEKDAY) (533 IN / 532 OUT)  
 PEAK HOUR OF ADJACENT STREET TRAFFIC:  
 AM PEAK: Lh(T)=0.88Ln(X)+1.51 = 78 TRIPS (WEEKDAY) (78% / 22%) (59 / 17)  
 PM PEAK: T=3.39(X)+2.02 = 104 TRIPS (WEEKDAY) (28% / 72%) (29 / 75)  
 SEAGLASS APARTMENTS (UNDER CONST.) - ITE 221, MULTIFAMILY HOUSING (MID RISE)  
 224 UNITS: T=5.45(X)-1.75 = 1,221 TRIPS (WEEKDAY) (610 IN / 611 OUT)  
 PEAK HOUR OF ADJACENT STREET TRAFFIC:  
 AM PEAK: Lh(T)=0.88Ln(X)+0.98 = 75 TRIPS (WEEKDAY) (26% / 74%) (20 / 55)  
 PM PEAK: Lh(T)=0.98Ln(X)+0.63 = 96 TRIPS (WEEKDAY) (81% / 39%) (56 / 37)  
 250,000± (ITE 620, SHOPPING CENTER - REHOBOTH MALL)  
 250 KSF: Lh(T)=0.88Ln(X)+5.57 = 11,210 TRIPS (WEEKDAY)  
 [ONLY 15% TRIPS USING RT. 24 ENTRANCE = 1,682 TRIPS] (641 IN / 841 OUT)  
 PEAK HOUR OF ADJACENT STREET TRAFFIC:  
 AM PEAK: T=0.50(X)+151.78 = 277 X 15% = 42 TRIPS (WEEKDAY) (32% / 38%) (26 / 18)  
 PM PEAK: Lh(T)=0.74Ln(X)+2.89 = 1,070 X 15% = 161 TRIPS (WEEKDAY) (48% / 52%) (77 / 84)

PROPOSED LAND USE  
 106 ROOM HOTEL (ITE 110, OCCUPIED ROOMS)  
 106 ROOMS: AVG. RATE = 12.23 = 1,286 TRIPS (WEEKDAY) (646 IN / 646 OUT)  
 PEAK HOUR OF ADJACENT STREET TRAFFIC:  
 AM PEAK: AVG. RATE = 0.62 = 68 TRIPS (WEEKDAY) (58% / 42%) (38 / 28)  
 PM PEAK: AVG. RATE = 0.73 = 77 TRIPS (WEEKDAY) (49% / 51%) (38 / 39)  
 7,200 SF - GENERAL OFFICE BUILDING (ITE 710)  
 7.20 KSF: Lh(T) = 0.97Ln(X) + 2.50 = 83 TRIPS (WEEKDAY) (41 IN / 42 OUT)  
 PEAK HOUR OF GENERATOR:  
 AM PEAK: T = 0.94(X) + 26.49 = 33 TRIPS (WEEKDAY) (86% / 14%) (28 / 5)  
 PM PEAK: Lh(T) = 0.95Ln(X) + 0.36 = 10 TRIPS (WEEKDAY) (16% / 84%) (2 / 8)  
 DIRECTIONAL DISTRIBUTION / ENTRANCE UTILIZATION:  
 SEE ADJACENT DIAGRAMS  
 TOTAL NEW ADT: 1379 TRIPS (96 AM PEAK (66 / 33), [87 PM PEAK (40 / 47)])  
 SITE TRUCK TRAFFIC = 69 TRIPS (5%)

**BUILDING USE AND CONSTRUCTION**

BUILDING	USE	CONSTRUCTION TYPE	SF FOOTPRINT	SF GFA	SPRINKLER
1	PROPOSED HOTEL	3-STORY TYPE II (000) (NFPA / FIRE MARSHALL)	32,255	96,765	YES
2	PROPOSED OFFICE	2-STORY TYPE V (000) (NFPA / FIRE MARSHALL)	3,600	7,200	NO



DETAIL - FINE LANE DETAILS  
 NOT TO SCALE

**Pennonni**  
 PENNONI ASSOCIATES INC.  
 18077 Davidson Drive  
 Milton, DE 19968  
 T. 302.684.8030 F. 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

ALAN M. DECKTOR  
 No. 1777  
 DELAWARE PROFESSIONAL ENGINEER

**CAMBRIA HOTEL**  
 CORNER OF LEXUS WAY AND HOOD WAY  
 REHOBOTH BEACH, DE 19971

**RECORD PLAN NOTES AND DETAILS**

OCEAN 7 GROUP  
 9804 WINDING TRAIL DR.  
 OCEAN CITY, MD 21842

NO.	DATE	REVISIONS	BY
1	2021-12-02	REVISED PER TIDEWATER COMMENTS	RPP
2	2021-12-16	REVISED PER DELDOT COMMENTS	RPP
3	2022-01-17	REVISED PER DELDOT COMMENTS	RPP
4	2022-01-31	REVISED FOR RECORD FOR FIRE MARSHAL	ECC

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSION OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: FISHR21001  
 DATE: 2021-10-08  
 DRAWING SCALE: 1"=30'  
 DRAWN BY: RPP  
 APPROVED BY: AMD

**RP1002**  
 SHEET 2 OF 2



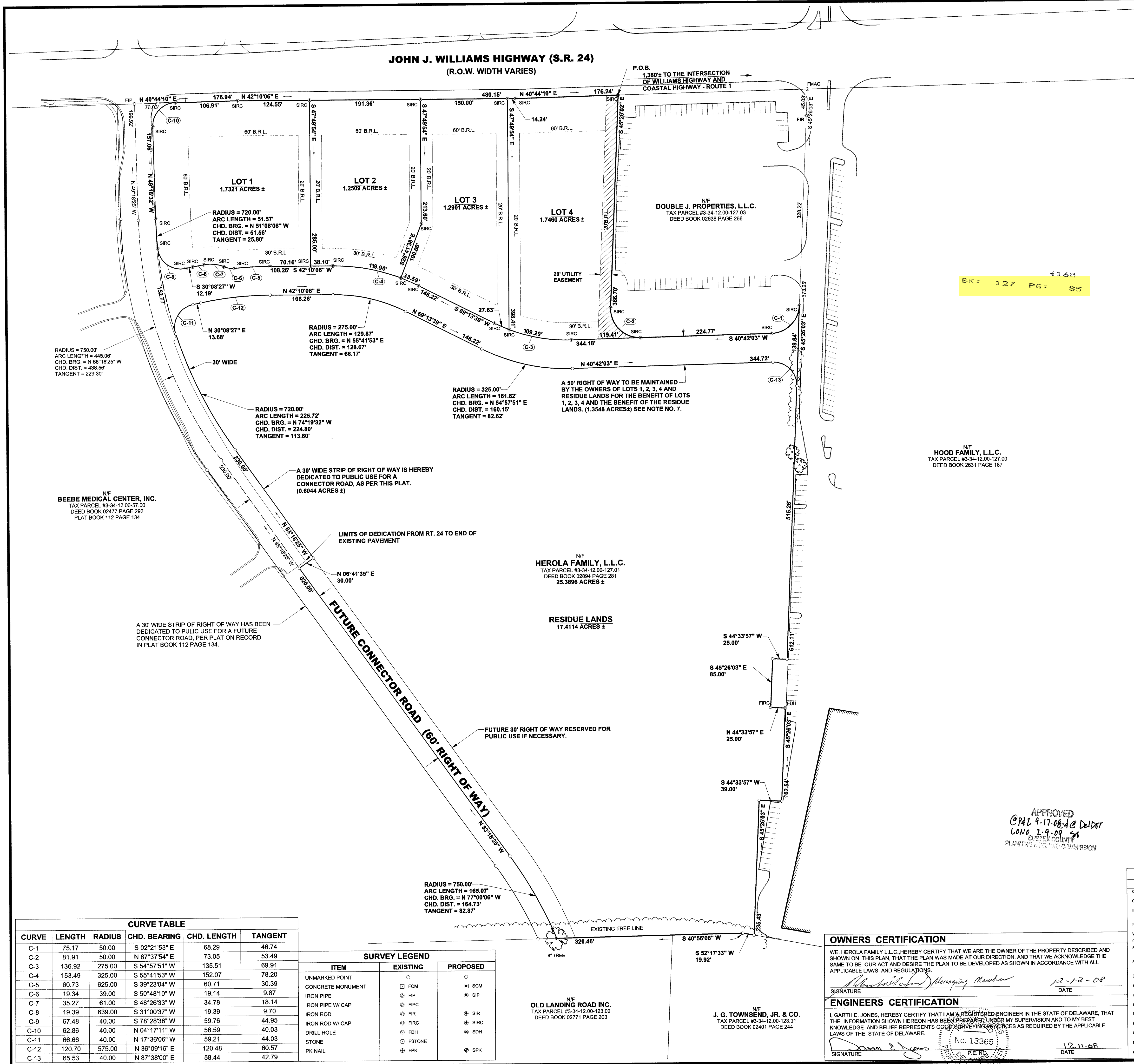
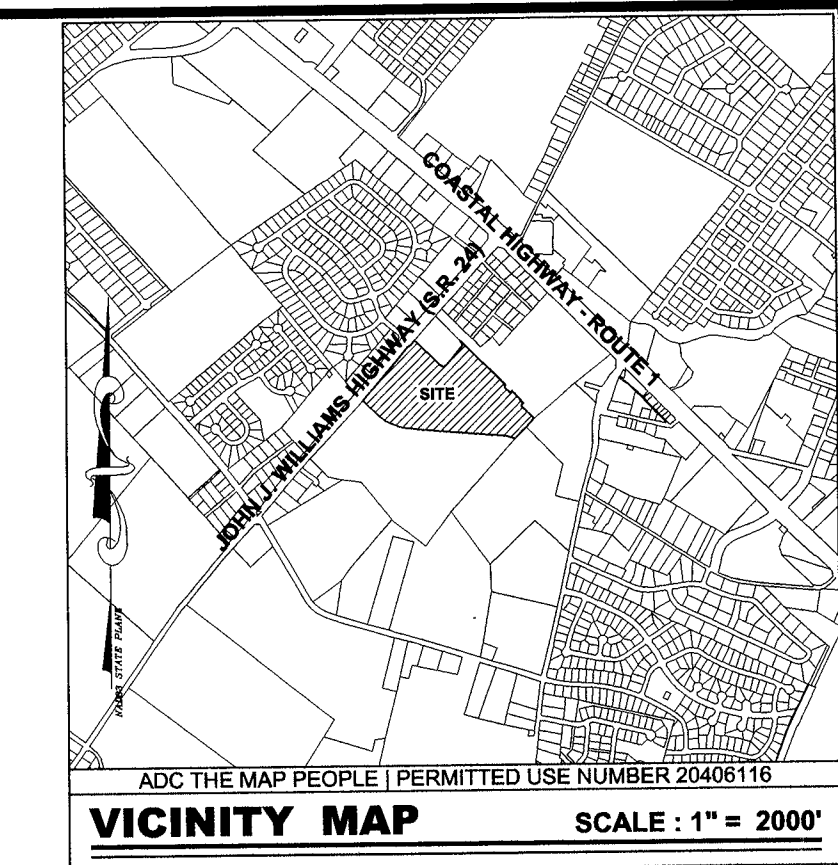
ARCHITECTURE  
ENGINEERING

**Dover**  
309 S. Governors Ave.  
Dover, DE 19904  
Ph. 302.734.7950  
Fax 302.734.7965

**Salisbury**  
312 West Main St. Suite 300  
Salisbury, MD 21801  
Ph. 410.546.9100  
Fax 410.546.5824

**Wilmington**  
307 A Street  
Wilmington, DE 19801  
Ph. 302.888.2600  
Fax 302.888.2427

www.beckermorgan.com



BK: 127 PG: 85

HOOD FAMILY, L.L.C.  
TAX PARCEL #3-34-12.00-127.00  
DEED BOOK 2631 PAGE 187

HEROLA FAMILY, L.L.C.  
TAX PARCEL #3-34-12.00-127.01  
DEED BOOK 02894 PAGE 281  
25.3896 ACRES ±

RESIDUE LANDS  
17.4114 ACRES ±

BEEBE MEDICAL CENTER, INC.  
TAX PARCEL #3-34-12.00-57.00  
DEED BOOK 02477 PAGE 292  
PLAT BOOK 112 PAGE 134

SITE DATA	
1. OWNER OF RECORD:	HEROLA FAMILY, L.L.C. 3111 - 132nd AVENUE, S.E. SNOMONISH, WASHINGTON 98290
2. EQUITABLE OWNER: (LOT 1)	ARTISANS' BANK 223 W. 9TH STREET WILMINGTON, DE 19801
3. ENGINEER / SURVEYOR:	BECKER MORGAN GROUP 309 S. GOVERNORS AVENUE DOVER, DELAWARE 19904 (302) 734-7950
4. PROPERTY MAP NUMBER:	3-34-12.00-127.01
5. ZONING CLASSIFICATION:	EXISTING: AR-1 (CONDITIONAL USE - SEE NOTE 6)
6. DEED SUMMARY:	BOOK 02894 PAGE 281
7. PRESENT USE:	FARMFIELD
8. PROPOSED USE:	MEDICAL OFFICES / COMMERCIAL / RETAIL / RESTAURANT
9. TOTAL SITE AREA:	LOT 1 = 1.7321 ACRES ± LOT 2 = 1.2509 ACRES ± LOT 3 = 1.2901 ACRES ± LOT 4 = 1.7460 ACRES ± PRIVATE SERVICE ROAD = 1.3548 ACRES ± PUBLIC CONNECTOR ROAD = 0.6043 ACRES ± RESIDUE LANDS = 17.4114 ACRES ± TOTAL SITE AREA = 25.3896 ACRES ±
10. SETBACKS:	CONDITIONAL USE FRONT: 60 FT. SIDE: 20 FT. REAR: 30 FT. TIDEWATER UTILITIES SUSSEX COUNTY SANITARY SEWER DISTRICT
11. SOURCE OF WATER:	VERIZON
12. SOURCE OF SEWER:	DELMARVA POWER
13. SOURCE OF TELEPHONE:	EXISTING: 6 FOUND PROPOSED: 28 TO BE SET
14. SOURCE OF ELECTRIC:	
15. MONUMENTATION:	

**GENERAL NOTES:**

- BOUNDARY SURVEY DATA SHOWN HEREON WAS PREPARED BY BECKER MORGAN GROUP, DOVER, DE., IN MAY 2004. VERTICAL DATUM IS BASED ON NAVD 83. HORIZONTAL DATUM IS BASED ON DELAWARE STATE PLANE NAD 83. CP'S DERIVED FROM N.G.S. HORIZONTAL CONTROL MONUMENTS.
- THE BOUNDARY LINES PORTRAYED HEREON HAVE BEEN ESTABLISHED BASED SOLELY ON PHYSICAL EVIDENCE DISCOVERED IN THE FIELD IN CONJUNCTION WITH DETERMINATIONS DERIVED FROM SOURCE OF TITLE AND ADJACENT DEED RECORD INFORMATION.
- THIS SITE IS NOT LOCATED WITHIN THE ONE HUNDRED YEAR FLOOD PLAIN, BASED ON FIRM MAPS # 1000503335, PANEL 335 OF 860, DATED JANUARY 6, 2005.
- THIS PARCEL OF LAND IS NOT IMPACTED BY WETLANDS.
- NO TITLE EXAMINATION FURNISHED TO OR PERFORMED BY THE PREPARERS HEREOF. PROPERTY SHOWN HEREON IS SUBJECT TO ANY RIGHT-OF-WAY, EASEMENT, RESTRICTIONS, ETC. AS MAY BE SHOWN OR NOTED IN ANY RECORD, PUBLIC OR OTHERWISE, OR ANY REQUIREMENT OR REGULATION OF ANY PUBLIC AGENCY.
- SUSSEX COUNTY COUNCIL ADOPTED ORDINANCE NO. 1887 ON JANUARY 16, 2008 APPROVING CONDITIONAL USE NO. 1716 FOR THE PROPERTY.
- PRIVATE 50' SERVICE ROADWAY TO BE CONSTRUCTED PER SUSSEX COUNTY STANDARDS.

APPROVED  
OPAL 9-17-08  
COND 2-9-09  
SUSSEX COUNTY  
PLANNING & ZONING COMMISSION

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHD. BEARING	CHD. LENGTH	TANGENT
C-1	75.17	50.00	S 02°21'53" E	68.29	46.74
C-2	81.91	50.00	N 87°37'54" E	73.05	53.49
C-3	136.92	275.00	S 54°57'51" W	135.51	69.91
C-4	153.49	325.00	S 55°41'53" W	152.07	78.20
C-5	60.73	625.00	S 39°23'04" W	60.71	30.39
C-6	19.34	39.00	S 50°48'10" W	19.14	9.87
C-7	35.27	61.00	S 48°28'33" W	34.78	18.14
C-8	19.39	639.00	S 31°00'37" W	19.39	9.70
C-9	67.48	40.00	S 78°29'36" W	59.76	44.95
C-10	62.86	40.00	N 04°17'11" W	56.59	40.03
C-11	66.66	40.00	N 17°36'06" W	59.21	44.03
C-12	120.70	575.00	N 36°09'16" E	120.48	60.57
C-13	65.53	40.00	N 87°38'00" E	58.44	42.79

SURVEY LEGEND		
ITEM	EXISTING	PROPOSED
UNMARKED POINT	○	○
CONCRETE MONUMENT	⊠	⊠
IRON PIPE	⊙	⊙
IRON PIPE W/ CAP	⊙	⊙
IRON ROD	⊙	⊙
IRON ROD W/ CAP	⊙	⊙
DRILL HOLE	⊙	⊙
STONE	⊙	⊙
PK NAIL	⊕	⊕

**OWNERS CERTIFICATION**  
WE, HEROLA FAMILY L.L.C., HEREBY CERTIFY THAT WE ARE THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

*[Signature]*  
DATE: 12-12-08

**ENGINEERS CERTIFICATION**  
I, GARTH E. JONES, HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

*[Signature]*  
DATE: 12-11-08

OLD LANDING ROAD INC.  
TAX PARCEL #3-34-12.00-123.02  
DEED BOOK 02771 PAGE 203

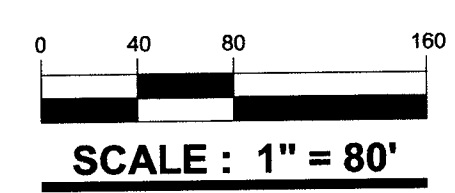
J. G. TOWNSEND, JR. & CO.  
TAX PARCEL #3-34-12.00-123.01  
DEED BOOK 02401 PAGE 244

LEGEND			
ITEM	EXISTING	ITEM	EXISTING
CONCRETE CURB & GUTTER	—	SANITARY GRAVITY SEWER LINE, SIZE & FLOW DIRECTION	— EX. 10" S
CONCRETE SIDEWALK, SLAB / PAVING	—	SANITARY SEWER FORCE MAIN, SIZE & FLOW DIRECTION	— EX. 10" F.M.
IMPERVIOUS SURFACED ROAD, DRIVE OR LOT	—	SANITARY SEWER MANHOLE (S.M.H.)	— EX. 10" W
INDIVIDUAL TREE OR BUSH	—	SANITARY SEWER CLEANOUT	— EX. F.H.
WIRE FENCE	—	WATER MAIN & SIZE	— EX. 10" W
CHAINLINK FENCE	—	FIRE HYDRANT	— U.T.
STOCKADE FENCE	—	WATER VALVE (W.V.) OR METER (W.M.)	— W.M. W.V.
STRUCTURE (CONCRETE, WOOD, METAL, ETC.)	—	STORM DRAIN MANHOLE (S.D.M.H.)	—
DRAINAGE DITCH OR SWALE	—	STORM DRAIN LINE (CMP OR RCP)	—
EMBANKMENT SLOPES (DOWN)	—	CATCH BASIN	—
CONTOUR	—	UTILITY POLE W/ OVERHEAD SERVICE (TELEPHONE OR ELECTRIC OR BOTH)	—
ELEVATION SPOT SHOT	—	UNDERGROUND ELECTRIC	— U.E.
BENCHMARK	—	UNDERGROUND TELEPHONE	— U.T.
PROPERTY OR RIGHT-OF-WAY LINE	—	UNDERGROUND GAS MAIN	— EX. 2" G
CENTERLINE	—	PAVEMENT TO BE REMOVED	N/A
LIGHT POLE	—		
CONSTRUCTION NOTE	—		

PROJECT TITLE  
**LANDS OF HEROLA FAMILY, L.L.C.**  
PREPARED FOR: ARTISANS' BANK

STATE ROUTE 24  
LEWES & REHOBOTH HUNDRED  
SUSSEX COUNTY, DE

SHEET TITLE  
**MINOR SUBDIVISION RECORD PLAT**



ISSUE BLOCK		
MARK	DATE	DESCRIPTION
2	12/11/08	REVISED PLAN PER OWNER AND SUSSEX PLANNING AND ZONING COMMENTS
1	12/01/08	REVISED PLAN PER OWNER AND DELDOT COMMENTS
1	12/01/08	RECORDED PLAT
<b>PROJECT NO.: 2003214.01</b>		
<b>DATE: 07/08/08</b>		
<b>SCALE: 1" = 80'</b>		
<b>DRAWN BY: D.S.G. PROJ. MGR.: G.E.J.</b>		
SHEET		
<b>1 OF 1</b>		
COPYRIGHT 2008		

**TAB 2**

**§99-9C**

**§ 99-9. C. In addition to the other provisions contained within this article, the approval of a subdivision shall include consideration of the following: [Added 7-8-1997 by Ord. No. 1152]**

*(1) Integration of the proposed subdivision into existing terrain and surrounding landscape.*

The proposed one (1) additional lot is consistent with the area commercial uses and parcels as it is being subdivided from an existing commercial subdivision previously recorded. The area being developed within this subdivided parcel has been approved through a site plan recorded in Plot Book 361 Page 34 and follows the pattern of the existing terrain and surrounding landscape.

*(2) Minimal use of wetlands and floodplains.*

There are NO Tidal and Non-Tidal wetlands on the property.

Based on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) dated March 16, 2015, Map Number 10005C0332K, the subject property is located in a Zone "X" unshaded, which is an area outside the 500-year floodplain, less than 0.2% annual probability of flooding (see FEMA Floodplain Map – MAP SECTION).

*(3) Preservation of natural and historical features.*

There are no natural or historical features located on the property.

*(4) Preservation of open space and scenic views.*

This application is a pad site and part of an existing developing commercial property that has landscaping and open areas proposed as show on Plot Book 361 Page 34. The proposed use planned for the pad site will propose landscaping utilizing earth mounds and/or plant material. Landscape plantings will be indigenous to local areas and will provide a soft visual buffer between the roadway, the proposed use and contiguous land uses.

*(5) Minimization of tree, vegetation and soil removal and grade changes.*

There are no trees currently on the property. A Sediment and Stormwater Management Plan has been reviewed and approved for compliance with the Sediment and Stormwater Regulations. All grading of the property will follow the approvals.

*(6) Screening of objectionable features from neighboring properties and roadways.*

The property is zoned CR-1 Commercial as is the surrounding properties and the uses proposed are permitted uses under the zoning code. Nothing objectionable is being proposed that would require screening from the neighboring properties.

*(7) Provision for water supply.*

Tidewater Utilities Inc is the water provider with lateral connections for both Fire and Domestic water.

*(8) Provision for sewage disposal.*

The property is within the Sussex County Unified Sanitary Sewer District and is connected to the existing sanitary sewer system located along the frontage of the property.

*(9) Prevention of pollution of surface and groundwater.*

The SCD plan approval mentioned in (5) pertains to compliance with the Delaware Sediment and Stormwater Regulations. The approved design provides for control and management of stormwater runoff consistent with sound water and land use practices. These activities will reduce to the extent possible any adverse effects of stormwater runoff and prevent the pollution of surface and groundwater.

*(10) Minimization of erosion and sedimentation, minimization of changes in groundwater levels, minimization of increased rates of runoff, minimization of potential for flooding and design of drainage so that groundwater recharge is maximized.*

The Department's Stormwater Regulations requires that all land disturbing activity in an area greater than 5,000 square feet is

required to operate under a plan that encompasses both temporary erosion and sediment control during construction, as well as permanent stormwater management controls for both water quantity and water quality. A Sediment and Stormwater Management Plan has been reviewed and approved for compliance with the Sediment and Stormwater Regulations.

*(11) Provision for safe vehicular and pedestrian movement within the site and to adjacent ways*

The Department of Transportation has reviewed the Commercial Entrance Plans for the property and determined that they are in general conformance with the Departments current regulations, specifications and standard details. Sidewalks are proposed along all roadways and within the property.

*(12) Effect on area property values.*

The construction of commercial real estate signifies the idea that the area is growing and needs to facilitate the growth in industries like what is being proposed on this property that is in keeping with the character of the neighborhood which is a by-right permitted use per the County Ordinances.

*(13) Preservation and conservation of farmland.*

There are no farmlands in the vicinity of this commercial property.

*(14) Effect on schools, public buildings and community facilities.*

The project will have a positive benefit on schools by generating economic benefits in the form of increased revenues through property taxes.

*(15) Effect on area roadways and public transportation.*

DeIDOT and The County have established the Henlopen Transportation Improvement District as outlined in the recorded agreement and the property owner is willing to contribute to the

Henlopen TID fund in recognition of the benefits the new transportation improvements will bring to its property.

*(16) Compatibility with other area land uses.*

The pad site exists (PB 361, PG 34) and the future uses will be compatible with the surrounding commercial land uses in the area

*(17) Effect on area waterways.*

No effects on the area waterways are expected turning the existing pad site into a proposed subdivide commercial lot.

**TAB 3**

**ENVIRONMENTAL**



## ENVIRONMENTAL ASSESSMENT AND PUBLIC FACILITY EVALUATION REPORT

For

### Ocean 7 Group

Tax Map 334-12.00-127.11 | Lexus Way & Hood Road | Parcel B – 0.64+/- Acres

*Remaining Lands – Parcel A – 3.66+/- Acres – (Total 4.30+/- Acres)*

Zoning Designation:	CR-1 Commercial Residential
2019 Future Land Use Map:	Coastal Area
State Investment Area:	Level 1
Chapter 89 Source Water:	“Fair” Groundwater Recharge Area “No” Wellhead Protection Area
Wetlands:	None
Flood Zone:	Zone X – Map 10005C0332K; March 16, 2015
Watershed:	Rehoboth Bay
TID:	Henlopen – Transportation Improvement District
Roads:	Lexus Way – State Public Right-of-Way Hood Road – Private Right-of-Way
Sanitary Sewer Supplier:	Tier 1 – Sussex County Unified Sanitary Sewer District
Water Supplier:	Fire & Domestic – Tidewater Utilities, Inc.

## **§115-194.3 Coastal Area B. (2)**

- (a) *Proposed drainage design and the effect on stormwater quality and quantity leaving the site, including methods for reducing the amount of phosphorous and nitrogen in the stormwater runoff and the control of any other pollutants such as petroleum hydrocarbons or metals.*



Jan 14, 2022

Mr. Tauhid Islam  
Ocean 7 Group  
9804 Winding Trail Drive  
Ocean City, MD 21842  
islam.tauhid@yahoo.com

**RE: Cambria Hotel**

Dear Mr. Islam:

A Sediment and Stormwater Management Plan has been reviewed for compliance with the Sediment and Stormwater Regulations and is approved with conditions (see attached). Enclosed herein please find a copy of the approved application form and approved plan sets. Please retain a copy for your use, and provide the contractor with a copy to be retained onsite at all times. Failure to keep an approved plan onsite is a violation of the approved plan.

Approval of a Sediment and Stormwater Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.

This plan approval pertains to compliance with the Delaware Sediment and Stormwater Regulations. Please understand that the approval of this plan does not relieve you from complying with any and all federal, state, county, or municipal laws and regulations.

As of January 1, 2014, the Sussex Conservation District began collecting financial guarantees to ensure the construction of stormwater management practices is accomplished in accordance with the approved sediment and stormwater plan. Please refer to the SCD Policy on Bonds located on our website at [Sussexconservation.org](http://Sussexconservation.org). If you have any questions concerning the aforementioned, please do not hesitate to call 302 856-7219.

Sincerely,

SUSSEX CONSERVATION DISTRICT

**Jessica Watson**

Jessica Watson  
Program Manager

(b) Proposed method of providing potable and, where appropriate, irrigation water and the effect on public or private water systems and groundwater, including an estimate of average and peak demands.

**From:** Tawanda Priester <TPriester@middlesexwater.com>  
**Sent:** Thursday, February 3, 2022 3:55 PM  
**To:** Alan M. Decktor  
**Cc:** islam.tauhid@yahoo.com  
**Subject:** Cambria Hotel - NFC  
**Attachments:** FINAL RECORD PLAN.pdf; Tidewater Set.pdf; Plan Approval App Rev.10 form.pdf

Alan,

At this time, TUI has completed the review of the attached plans and has no further comments. TUI's acceptance of these plans shall expire one (1) year from the date of this email. In the event final approval is not granted and construction is not started within the year, resubmission to TUI will be required. Also, revisions to the project or the utility plans will require resubmission.

Prior to final approval, the Private Fire Service Application must be completed and the Private Fire Service fees must be paid. Email [tuiapplications@middlesexwater.com](mailto:tuiapplications@middlesexwater.com) to apply.

Once the fees have been paid, the following documentation may be submitted for final approval:

1. Completed plan approval application, signed and dated. Attached is the latest application.
2. Hard copies of FMO and ODW approvals. FMO approval should include the submission for the relocated hydrant.
3. One hard copy of the recorded record plat with book & page.
4. Three copies of final plans sealed by a professional engineer registered in the State of Delaware. Please include the cover sheet, notes, utility sheets, profiles, and water details.
5. Electronic files on CD:
  - a. Final water utility plan in full .dwg format (AutoCAD 2018 or earlier versions).
  - b. Sealed final water utility plan in .pdf format. Please include the cover sheet, notes, utility sheets, profiles, and water details.
  - c. Recorded record plat in .pdf format.

Thank you,

**Tawanda Priester**  
Project Engineer  
**TIDEWATER UTILITIES, INC.**  
"Southern Delaware's Premier Water Company Since 1964"  
Phone: 302-747-1339 Fax: 302-734-9295



[tpriester@tuiwater.com](mailto:tpriester@tuiwater.com)



**OFFICE OF THE STATE FIRE MARSHAL  
Technical Services**

22705 Park Avenue  
Georgetown, DE 19947



**SFMO PERMIT – SHALL BE POSTED ON JOBSITE UNTIL FINAL INSPECTION**

**Plan Review Number:** 2021-04-208689-MJS-02  
**Status:** Approved as Submitted

**Tax Parcel Number:** 334-12.00-127.11  
**Date:** 11/19/2021

**Project**

Cambria Hotel

Ocean 7 Group LLC Property  
Phase #: 1

Hood Road and Lexus Way  
Rehoboth DE 19971



**DELAWARE HEALTH AND SOCIAL SERVICES**  
**Division of Public Health**

Office of Engineering  
Phone: (302) 741-8640  
Fax: (302) 741-8631

December 1, 2021

**TIDEWATER UTILITIES, INC.**

**APPROVAL TO CONSTRUCT**  
Cambria Hotel Connection  
**Rehoboth District**  
PWS #DE0000991  
Approval #21W172

Mr. Tauhid Islam  
Ocean 7 Group  
9804 Winding Trail Drive  
Ocean City, MD 21842

Dear Mr. Islam:

As provided by Section 2.11 of the *State of Delaware Regulations Governing Public Drinking Water Systems*, you are granted approval to connect the Cambria Hotel to the existing main in accordance with the plans submitted by Pennoni Associates, Inc. The plans consist of:

1. Transmittal letter dated November 29, 2021.
2. One copy of the plans entitled "Cambria Hotel" dated September 30, 2021.

These plans, as noted, are made a part of this approval. This approval is granted subject to the enclosed list of conditions. It is the owner's responsibility to ensure as-built drawings are maintained throughout all phases of construction. Prior to receiving an Approval to Operate, the Office of Engineering requires one set of as-built drawings, including profile markups.

The Office of Engineering recommends detectable tracer tape that is three inches wide and blue in color to be installed directly above all water mains larger than two inches in diameter.

(c) Proposed means of wastewater treatment and disposal with an analysis of the effect on the quality of groundwater and surface waters, including alternative locations for on-site septic systems.

From: John J. Ashman <jashman@sussexcountyd.gov>
Sent: Tuesday, August 24, 2021 8:42 AM
To: Alan M. Decktor
Cc: Christine Fletcher; Chris Calio
Subject: RE: SSCE Review

Alan,

No need for a SSCE to connect the hotel, when/if the other building comes to light it will require the SSCE to define a connection point. Also you will need to submit plans to Christine Fletcher in Utility Permits to complete the EDU assessment for the hotel to establish the impacts for the Infrastructure Agreement.

John

From: Alan M. Decktor <ADecktor@Pennoni.com>
Sent: Wednesday, August 18, 2021 3:31 PM
To: John J. Ashman <jashman@sussexcountyd.gov>
Subject: RE: SSCE Review

CAUTION: This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

John,

See attached Draft Plan. There is an existing sewer stub into the property and we will extend it to the hotel, no plans for utility service to the smaller building as it's a future thought. I show graphically on the attached sheet.

Thanks

Alan M. Decktor, PE, ENV SP

Pennoni
18072 Davidson Drive | Milton, DE 19968
Direct: +1 (215) 254-7853
www.pennoni.com | ADecktor@Pennoni.com

From: John J. Ashman <jashman@sussexcountyd.gov>
Sent: Monday, August 16, 2021 7:51 AM
To: Alan M. Decktor <ADecktor@Pennoni.com>
Subject: RE: SSCE Review

Send me all the data in an email first to see if it is as simple as you say and it gets the infrastructure use agreement on the books. I will let you know if we need a check to evaluate or not.

IN WITNESS, WHEREOF, the respective parties hereto have affixed their hands and seals the day and year aforesaid.

FOR THE COUNTY:

(Seal)

By: [Signature]
(President - Sussex County Council)
12/15/21 (DATE)

ATTEST:

[Signature]
Robin A. Griffith
Clerk of the County Council

EXISTING WASTEWATER INFRASTRUCTURE USE AGREEMENT

Cambria Hotel IUA-S21-25

THIS AGREEMENT ("Agreement"), made this 14th day of December 2021, by and between:

SUSSEX COUNTY, a political subdivision of the State of Delaware, hereinafter called the "County," and;

OCEAN VII GROUP, LLC a Limited Liability Corporation and developer of a project known as Cambria Hotel, hereinafter called the "Developer."

WITNESSETH.

FOR OCEAN VII GROUP, LLC

By: [Signature] (Seal)
Tauhid Islam - Member
11/23/21 (DATE)

WITNESS: [Signature]



DELAWARE DEPARTMENT OF  
NATURAL RESOURCES AND  
ENVIRONMENTAL CONTROL

89 Kings Highway  
Dover, DE 19901  
(302) 739-9000  
dnrec.delaware.gov

February 25, 2022

Mr. Tauhid Islam  
Ocean 7 Group, LLC.  
9804 Windingtrail Drive  
Ocean City, MD 21842

Ref: Cambria Hotel  
State Wastewater Construction Permit No. WPCC 3008/22

Dear Mr. Islam:

Please find enclosed a copy of the construction permit that was issued for the referenced project.

We expect the permitted construction to be completed within the permit term. If the construction cannot be completed by the permit expiration date, a one-time, no-cost two-year permit extension is available, as long as the request is received in writing prior to the expiration date and as long as the scope of the project has not changed significantly, as determined by the Department.

Per Part II.A.2.a of the enclosed permit, notify the Department of any changes to the construction authorized therein. Per Part II.B.1, submit a set of "as-built" plans of the constructed wastewater facilities within ninety (90) days of construction completion. The as-built plans must be signed and sealed by a Professional Engineer licensed in Delaware.

If you have any questions, please contact me at (302) 739-9941 or via email at [davison.mwale@delaware.gov](mailto:davison.mwale@delaware.gov).

Sincerely,

A handwritten signature in blue ink, appearing to read "Dr. Davison Mwale".

Dr. Davison Mwale, (PhD)  
Environmental Finance

**(d) Analysis of the increase in traffic and the effect on the surrounding roadway system.**NICOLE MAJESKI  
SECRETARY

January 28, 2022

Alan Decktor  
Pennoni Associates, Inc.  
18072 Davidson Drive  
Milton, Delaware 19968

**SUBJECT: Entrance Plan Approval Letter  
Cambria Hotel**  
Tax Parcel #334-12.00-127.11  
Lewes & Rehoboth Hundred, Sussex County

Dear Decktor:

The Department of Transportation has reviewed the Commercial Entrance Plans dated October 27, 2021 (last revised January 24, 2022) for the referenced project and determined that they are in general conformance with the Department's current regulations, specifications and standard details. By signing and sealing the plan set, the developer's engineer is responsible for accuracy of content. Any errors, omissions or required field changes will be the responsibility of the developer. This plan approval shall be valid a period of three (3) years. If an entrance permit has not been obtained within three years, then the plans must be updated to meet current requirements and resubmitted for review and approval.

Document # 2021000074342 BK: 5605 PG: 37  
On 12/2/2021 at 3:01:47 PM  
RECORDER OF DEEDS Scott Dailey  
Sussex County  
Consideration: \$0.00  
Doc Surcharge Paid

For overnight 800 Bay Road,  
Dover, DE 19901  
Or  
Regular Mail P.O. Box 778  
Dover, DE 19901

**Henlopen Transportation Improvement District**  
**Infrastructure Recoupment Agreement**

This Infrastructure Recoupment Agreement (this "Agreement") is made as of this 9<sup>th</sup> day of March, 2021, by and between the Delaware Department of Transportation (hereinafter referred to as "DelDOT"), Sussex County, a municipal corporation of the State of Delaware (hereinafter referred to as the "County"), and Ocean VII Group LLC, a Maryland limited liability company and partnership, its heirs, successors and assigns (hereinafter referred to as "Property Owner").

NICOLE MAJESKI  
SECRETARY

January 28, 2022

Mr. Jamie Whitehouse, Director  
Sussex County Planning & Zoning Commission  
Sussex County Administration Building  
P.O. Box 417  
Georgetown, Delaware 19947

**SUBJECT: Letter of No Objection to Recordation  
Cambria Hotel**  
Tax Parcel # 334-12.00-127.11  
Lewes & Rehoboth Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Site Plan, dated October 8, 2021 (last revised January 17, 2022), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawings. This "No Objection to Recordation" approval shall be valid for a period of five (5) years. If the Site Plan is not recorded prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

**Tax Parcel No.:** 334-12.00-127.11  
**Subdivision No.:**  
**Prepared by/Return To:**  
Delaware Department of Transportation  
Division of Planning  
800 Bay Road,  
Dover, DE 19901  
Or  
P.O. Box 778  
Dover, DE 19901

*(e) The presence of any endangered or threatened species listed on federal or state registers and proposed habitat protection areas.*

No endangered or threatened species listed on federal, or state registers were observed on the subject property through site visits by Pennoni Environmental consultants as well as other Environmental Consultants during the approval process of the project.

*(f) The preservation and protection from loss of any tidal or nontidal wetlands on the site.*

Pennoni Wetland Consultants observed no wetlands present on the subject property.

*(g) Provisions for open space as defined in § 115-4.  
[Added 12-16-2008 by Ord. No. 2022[1]]*

*[1]Editor's Note: This ordinance also provided that it shall apply to applications filed after 1-1-2009.*

Passive open space in the form of enhanced landscape areas throughout the entire properties.

Active Open space in the form of internal sidewalks that are adjacent to landscape areas.

*(h) A description of provisions for public and private infrastructure.*

Both Public and Private infrastructure has been met by the owners through the approvals and agreements mentioned above.

*(i) Economic, recreational or other benefits.*

*Tourism spending in Sussex County has a multiplier effect of 2.2 which means that for every dollar spent directly by a visitor, it generates \$1.20 in additional economic activity in the local economy - (Southern Delaware Tourism, 2016) Page 9-9 The Sussex Plan.*

When businesses do well and begin to grow, it's common for them to want locations that will fit their needs. Oftentimes, this calls for new commercial buildings to be constructed. Growth comes with many challenges, but it is necessary for the prosperity of the local community. The construction of commercial real estate signifies the idea that the area is growing and needs to facilitate the growth in industries like retail, office, manufacturing, tourism, and real estate.



- (j) The presence of any historic or cultural resources that are listed on the National Register of Historic Places.*

A search of the Delaware's historic properties listed in the National Register of Historic Places and National Historic Landmarks, determined the absence of any historic or cultural resources on this property.

- (k) A description of how the proposed application and proposed mitigation measures are in conformance with the current Sussex County Comprehensive Plan.  
[Amended 2-2-2021 by Ord. No. 2764]*

Coastal Areas are areas that can accommodate development provided special environmental concerns are addressed. Coastal Areas are Growth Areas. The challenge is to safeguard genuine natural areas and mitigate roadway congestion without stifling the tourism and real estate markets which: a) provide many jobs; b) create business for local entrepreneurs; and c) help keep local tax rates low. The documents listed above and as part of this application outline the mitigation measures taken to provide for a development that is permitted within its current zoning designation and that meets the health, safety, general convenience, orderly growth, prosperity and welfare as guided and suggested in the Comprehensive Plan.

- (l) Actions to be taken by the applicant to mitigate the detrimental impacts identified relevant to Subsection B(2)(a) through (k) above and the manner by which they are consistent with the Comprehensive Plan.*

Attached to this report are all the approvals that were required during the construction permitting of this property.



---

REPORT OF  
PHASE I ENVIRONMENTAL SITE ASSESSMENT

**Cambria Hotel**  
**Rehoboth Beach, Sussex County, Delaware**

March 25, 2022



Prepared for:  
**Ocean VII Group, LLC**  
9804 Winding Trail Drive  
Ocean City, Maryland 21842  
Attn: Tauhid Islam

---

Prepared by:  
**Geo-Technology Associates, Inc.**  
*Geotechnical and Environmental Consultants*  
3445-A Box Hill Corporate Center Drive  
Abingdon, Maryland 21009  
(410) 515-9446  
[www.gtaeng.com](http://www.gtaeng.com)

GTA Project No: 31220521

**GEO-TECHNOLOGY ASSOCIATES, INC.**

GEOTECHNICAL AND  
ENVIRONMENTAL CONSULTANTS

*A Practicing Geoprofessional Business Association Member Firm*



March 25, 2022

**Ocean VII Group, LLC**  
9804 Winding Trail Drive  
Ocean City, Maryland 21842

Attn: Mr. Tauhid Islam

Re: Phase I Environmental Site Assessment  
*Cambria Hotel*  
Rehoboth Beach, Sussex County, Delaware

Dear Tauhid:

In accordance with our agreement dated March 11, 2022, Geo-Technology Associates, Inc. (GTA) has performed a Phase I Environmental Site Assessment (ESA) of the above referenced property. The Site is located north of Lexus Way and south of Hood Road in Rehoboth Beach, Sussex County, Delaware. GTA understands that a four-story hotel building and a one-story retail building are proposed to be developed on the subject property.

We appreciate the opportunity to be of assistance on this project. Should you have any questions regarding this information, or should you require additional information, please contact the undersigned at your convenience.

Sincerely,  
**GEO-TECHNOLOGY ASSOCIATES, INC.**

**Andrew J. Rodano**  
Environmental Scientist

**Mark D. Rodano**  
Vice President

**AJR/SAG/JCT/MDR/cds**

\\PSMC-DATA\gta\Shared\Project Files\2022\31220521 - Cambria Hotel\ENV\Reports\31220521 - Cambria Hotel - Phase I ESA.docx

*3445-A Box Hill Corporate Center Drive, Abingdon, MD 21009 (410) 515-9246*

◆ Abingdon, MD ◆ Baltimore, MD ◆ Laurel, MD ◆ Frederick, MD ◆ Waldorf, MD ◆ New Castle, DE ◆ Georgetown, DE  
◆ Somerset, NJ ◆ NYC Metro ◆ Pittsburgh Metro ◆ Quakertown, PA ◆ Scranton/Wilkes-Barre, PA ◆ York, PA  
◆ Northeastern, OH ◆ Sterling, VA ◆ Nashville, TN ◆ Charlotte, NC ◆ Raleigh, NC ◆ Orlando, FL

Visit us on the web at [www.gtaeng.com](http://www.gtaeng.com)

## TABLE OF CONTENTS

<b>1.0 EXECUTIVE SUMMARY</b> .....	<b>1</b>
<b>2.0 INTRODUCTION</b> .....	<b>2</b>
2.1 GENERAL.....	2
2.2 PURPOSE.....	2
2.3 SCOPE OF SERVICES.....	3
2.4 LIMITATIONS.....	3
2.5 SIGNIFICANT ASSUMPTIONS.....	4
2.6 DATA GAPS.....	5
2.7 QUALIFICATIONS.....	5
<b>3.0 SITE AND VICINITY DESCRIPTION</b> .....	<b>5</b>
3.1 SITE LOCATION, PARCEL DESCRIPTION, AND SITE IMPROVEMENTS.....	5
3.2 PHYSICAL SETTING.....	6
<b>4.0 SITE RECONNAISSANCE</b> .....	<b>6</b>
4.1 SITE DESCRIPTION.....	7
4.2 SITE OCCUPANTS AND OPERATIONS.....	7
4.3 STRUCTURES AND UTILITIES.....	7
4.4 SITE CONDITIONS.....	7
4.5 SURROUNDING LAND USE.....	8
<b>5.0 HISTORICAL REVIEW</b> .....	<b>9</b>
5.1 AERIAL PHOTOGRAPHS.....	9
5.2 HISTORICAL MAPS.....	10
5.3 PROPERTY TITLE INFORMATION.....	10
5.4 CITY DIRECTORIES.....	10
<b>6.0 USER-PROVIDED INFORMATION AND INTERVIEWS</b> .....	<b>10</b>
6.1 TITLE AND JUDICIAL RECORDS FOR ENVIRONMENTAL LIENS/ACTIVITY USE LIMITATIONS.....	11
6.2 INTERVIEWS.....	11
6.3 PREVIOUS REPORTS.....	11
<b>7.0 REGULATORY REVIEW</b> .....	<b>12</b>
7.1 REGULATORY DATABASE SEARCH.....	12
7.2 SUPPLEMENTAL DATABASES REVIEWED.....	14
7.3 LOCAL REGULATORY AGENCY REVIEW.....	15
<b>8.0 SUBSURFACE EVALUATION</b> .....	<b>15</b>
<b>9.0 FINDINGS AND CONCLUSIONS</b> .....	<b>15</b>

*GBA Publication – Important Information about Your Geoenvironmental Report*

### APPENDICES

Appendix A	Figures
Appendix B	Photographs
Appendix C	Correspondence/Agency Records
Appendix D	Historical Research Documentation
Appendix E	Regulatory Database Report

## 1.0 EXECUTIVE SUMMARY

Geo-Technology Associates, Inc. (GTA) has performed a Phase I Environmental Site Assessment (ESA) of the Cambria Hotel property, located along the north side of Lexus Way and the south side of Hood Road in Rehoboth Beach, Sussex County, Delaware (the "Site"). This ESA was performed in general accordance with ASTM International (ASTM) *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process (E1527-13)*.

This *Executive Summary* is limited in scope and detail and is presented for the convenience of the reader. Do not rely on this *Executive Summary* for any purpose except that for which it was prepared. Please refer to the full report for details concerning the environmental condition of the Site, as well as the scope and limitations of this ESA. Rely only on the full report for information about the findings, recommendations, and other concerns.

The Site consists of approximately 4.3 acres located north of Lexus Way and south of Hood Road in Rehoboth Beach, Sussex County, Delaware. GTA understands that the Site is planned to be developed with a four-story hotel building and a one-story retail building which will be serviced by publicly available water and sewer utilities. The Site currently contains an overgrown field and graded land. Historically, the majority of the Site has consisted of agricultural land. GTA personnel did not observe indications of aboveground storage tanks (ASTs), underground storage tanks (USTs), groundwater monitoring wells, or similar environmental concerns in association with the Site. The Site was not identified as a site of known environmental concern or regulation in an environmental regulatory database report.

The surrounding properties consist of active construction sites (Artisans Bank to the west and apartments to the east), a Beebe Healthcare Health Campus (located to the south/southwest), and open fields (located to the north and southeast). The surrounding area consists of residential properties and commercial businesses. A Royal Farms gasoline station is located approximately 1,250 feet north of the Site at the address of 18904 Coastal Highway. GTA personnel did not observe indications of other gasoline stations, dry cleaners, landfills, or similar sites of known environmental concern within an approximate ¼-mile radius of the Site. A regulatory database report identified the Royal Farms site (identified as Ocean Petroleum Co. of Rehoboth) and three additional sites of environmental concern in the surrounding vicinity. Based on their locations relative to the Site, the anticipated direction of groundwater flow, and their regulatory statuses, the identified regulatory sites are unlikely to have adversely impacted the environmental quality of the Site.

**This assessment has revealed no evidence of recognized environmental conditions (RECs) in connection with the Site.**



## 2.0 INTRODUCTION

### 2.1 General

GTA was retained by Ocean VII Group, LLC (“Client” or “User”) to prepare a Phase I Environmental Site Assessment, in general conformance with ASTM International's *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process E1527-13* of the Site in accordance with our Agreement dated March 11, 2022.

This report was prepared by GTA for the sole and exclusive use of Client. Use and reproduction of this report by any other party without the express written permission of GTA is unauthorized, and such use is at the sole risk of that party.

### 2.2 Purpose

The purpose of this report is to identify RECs in connection with the Site, using the methodology defined by ASTM International in order for a user to satisfy one of the requirements to qualify for the innocent landowner, contiguous property owner, or bona fide prospective purchaser defenses to CERCLA liability and/or to help understand potential environmental conditions that could materially impact the operation of the business associated with the Site. ASTM International defines a REC and related terms as follows:

**Recognized Environmental Condition (REC):** “the presence or likely presence of any hazardous substances or petroleum products in, on, or at a property: (1) due to release to the environment; (2) under conditions indicative of a release to the environment; or (3) under conditions that pose a material threat of a future release to the environment. De minimis conditions are not recognized environmental conditions.”

**Historical REC (HREC):** “a past release of any hazardous substances or petroleum products that has occurred in connection with the property and has been addressed to the satisfaction of the applicable regulatory authority or meeting unrestricted use criteria established by a regulatory authority, without subjecting the property to any required controls.”

**Controlled REC (CREC):** “a recognized environmental condition resulting from a past release of hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority (for example, as evidenced by the issuance of a no further action letter or equivalent, or meeting risk-based criteria established by regulatory authority), with hazardous substances or petroleum products allowed to remain in place subject to the implementation of required controls.”

**De minimis condition:** “a condition that generally does not present a threat to human health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies. Conditions determined to be de minimis conditions are not recognized environmental conditions nor controlled recognized environmental conditions.”



## 2.3 Scope of Services

This ESA was performed and this report was prepared in general accordance with applicable standards and with a review of reasonably ascertainable data, as set forth in the ASTM *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process (E1527-13)*. The scope of services for this Phase I ESA generally included the following:

**Records Review** – Review of reasonably ascertainable current and historical records for the Site and site vicinity, including, but not limited to, a regulatory database report summarizing Federal and State environmental agency records; aerial photography; street directories; Sanborn® Fire Insurance Maps; property tax files; chain of title information for the Site (if provided by the Client or Site owner); physical setting documentation; and previous environmental reports.

**Site Reconnaissance** – Non-intrusive visual observations of the Site for indications of hazardous substances, petroleum products, ASTs, USTs, groundwater monitoring wells, polychlorinated biphenyl (PCB)-containing equipment, stained soil, stressed vegetation, pits, ponds, lagoons, structures, utilities, access roads, and similar features of potential environmental concern.

**Interviews** – Interviews (in person, via telephone, or via written request) with, but not limited to, relevant regulatory authorities and present and past Site owners, operators, or occupants, where relevant.

**Report** – Preparation of a Phase I ESA Report summarizing the information collected.

Considerations that were not reviewed as part of this ESA, and that are considered non-scope issues by ASTM E1527-13 and/or otherwise beyond the scope of this assessment, include, but are not limited to, asbestos-containing materials (ACMs), radon, lead-based paint (LBP), lead in drinking water, wetlands, regulatory compliance, cultural and historic resources, industrial hygiene, health and safety, ecological resources, endangered species, indoor air quality unrelated to subsurface releases of hazardous substances or petroleum products, biological agents, mold, water potability issues (e.g., nitrates, pH, turbidity, coliforms, etc.), other substances under naturally occurring conditions (e.g., metals such as arsenic), methane, universal building wastes (e.g., mercury-containing switches or bulbs, PCB-containing light ballasts), and high voltage power lines.

## 2.4 Limitations

GTA's conclusions regarding the Site have been based on observations of existing conditions at the time of the site reconnaissance, an interpretation of reasonably ascertainable historical data sources, and environmental data. Therefore, conclusions reached regarding the conditions of this site do not represent a warranty that all areas within the site are of a similar quality as may be inferred from observable site conditions, reasonably ascertainable historical data sources, or environmental data. Please be advised that as stated in the ASTM E1527-13 Standard, no environmental site assessment can wholly eliminate uncertainty regarding the potential for environmental liability in connection with the Site. GTA's evaluation and analysis are intended to reduce, but not eliminate, the potential for conditions that result in liability for the Client.



Please be advised that ASTM indicates that a Phase I ESA completed less than 180 days prior to the date of the property transaction is presumed to be valid. To satisfy the ASTM E1527-13 Standard, ESAs completed more than 180 days prior to the date of the property transaction are required to be updated.

The following limiting conditions/deviations should be noted with respect to this Phase I ESA. These limiting conditions/deviations are not necessarily exceptions to the ASTM E1527-13 Standard.

- In preparing this report, GTA has relied on certain information provided by federal, state, and local officials and other parties referenced herein, and on information contained in the files of governmental agencies, that were readily available to GTA at the time of this assessment. Although there may have been some degree of overlap in the information provided by these various sources, GTA did not attempt to independently verify the accuracy or completeness of all information reviewed or received during the course of this assessment.
- Observations were made of the Site and of the structures (if present) on the Site as indicated in this report. Where access to portions of the Site or to structures on the Site was unavailable or limited, GTA renders no opinion as to the presence of petroleum products or hazardous substances in that portion of the Site and structure. In addition, GTA renders no opinion as to the presence of petroleum products or hazardous substances where direct observation of the ground surface, interior walls, floors, ceiling, or a structure is obstructed by objects or materials, including vegetation and snow, covering these surfaces.
- The Site boundaries were not marked at the time of GTA's site visit. GTA estimated the Site boundaries using existing site features, the tax map information described in Section 3.1, aerial photographs, and/or site plans, if available.
- As part of this assessment, GTA submitted requests for information via the Freedom of Information Act (FOIA) to various governmental agencies. As of the preparation date of this report, these requests may not have been fulfilled. The conclusions of this report are subject to change upon receipt of a response from these FOIA requests.
- As part of this assessment, GTA requested information from the current Site owner, the Client, and other entities. As of the preparation date of this report, these requests may not have been fulfilled. The conclusions of this report are subject to change upon receipt of a response from these entities.

## 2.5 Significant Assumptions

As part of this ESA, GTA has obtained data from various sources (e.g., historical documents, regulatory information, site drawings, interviews with individuals familiar with the site and regulatory representatives). GTA relies on this information in forming a professional opinion and assumes that the information is accurate and correct. GTA shall not be responsible for conditions or consequences arising from incorrect data sources or relevant facts that were concealed, withheld or not fully disclosed at the time this report was prepared. Unless otherwise noted, GTA assumes that the user has requested this Phase I ESA to qualify for a "landowner liability protection" (LLP) to CERCLA liability.





Groundwater flow and depth, unless otherwise specified by on-site well data or well data from the Site or nearby sites, are inferred from contour information depicted on the USGS topographic map(s).

GTA assumes the Site has been correctly and accurately identified by the Client, designated representative of the Client, Site contact, Site owner, and Site owner's representatives.

A number of parties such as third-party vendors, government agencies, and the Site owner may have provided information for this assessment. The ASTM E1527-13 Standard allows the consultant to rely on the information gathered without independent verification, unless it is obvious that certain information is incorrect. Unless noted in the report, GTA assumed the information supplied by third parties to be correct.

## 2.6 Data Gaps

ASTM defines a “data gap” as a lack of or inability to obtain information required by the Phase I ESA standard despite good faith efforts by the environmental professional to gather such information. Data gaps may result from incompleteness in any of the activities required by the Phase I ESA, including, but not limited to, the site reconnaissance and interviews. Common data gaps include the lack of access to some structures, an inability to interview key site managers, and time gaps in the historical use information. Significant data gaps are those that affect the ability of the environmental professional to identify RECs. Significant data gaps were not identified as part of this ESA.

## 2.7 Qualifications

I, Mark D. Rodano, declare that, to the best of my professional knowledge and belief, I meet the definition of an Environmental Professional as defined in Part 312.10 of 40 CFR 312. I have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the Site. I have developed and performed the “All Appropriate Inquiries” in general conformance with the standards and practices set forth in 40 CFR Part 312. The qualifications of the environmental professionals who performed this Phase I ESA are available to the Client upon request.

## 3.0 SITE AND VICINITY DESCRIPTION

### 3.1 Site Location, Parcel Description, and Site Improvements

The Site is located north of Lexus Way and south of Hood Road in Rehoboth Beach, Sussex County, Delaware. The Site contains an overgrown field and graded land. Please refer to the Site Sketch and maps provided within Appendix A. According to online tax information obtained from Sussex County, the Site consists of approximately 4.3 acres of land identified as Parcel 334-12.00-127.11. The Sussex County records do not identify structures associated with the Site. The Sussex County records identify Ocean VII Group, LLC as the current owner of the Site, and indicate that Ocean VII Group, LLC acquired the Site from OA Seaglass, LLC in 2020. The Sussex County records indicate that the land use code for the Site is residential vacant.



GTA was provided with a copy of a *Preliminary Site Plan* (Plan) of the Site, prepared by Pennoni Associates, Inc. (Pennoni), and dated January 2021. The Pennoni Plan indicates that the Site encompasses approximately 4.3 acres of land and does not identify existing structures associated with the Site. The Pennoni Plan indicates that the Site is proposed to be developed with a hotel, retail pad, and existing paved parking areas. The Pennoni Plan indicates that the Site will be serviced by publicly available water and sewer utility services.

### 3.2 Physical Setting

The Site’s physical setting, based on the Site reconnaissance and/or the referenced physical setting sources, is summarized below.

<b>Soil Series</b>	<b>Source: U.S. Department of Agriculture (USDA) Web Soil Survey</b>
GrA: Greenwich loam	
<b>Topography</b>	<b>Source: United States Geological Survey (USGS) Topographic Quadrangle Map (Fairmount, DE)</b>
Generally level to gently sloping to the south. Site elevations are approximately 25 feet above mean sea level (msl).	
<b>Geology, Hydrogeology, and Surface Water</b>	<b>Source(s): Geologic Map of the Fairmount and Rehoboth Beach Quadrangles, Delaware by Kelvin W. Ramsey (2011); United States Geological Survey (USGS) Topographic Quadrangle Map (Fairmount, DE)</b>
<p><i>Physiographic Province:</i> Atlantic Coastal Plain</p> <p><i>Formation(s):</i> Lynch Heights Formation: “Clean, white to pale-yellow, well-sorted, fine to coarse sand with scattered very coarse to pebble laminae and silty clay laminae overlying light-gray to greenish-gray, compact silty clay with rare laminae of <i>Mulinia</i> shells and shell fragments.”</p> <p><i>Groundwater Flow Direction:</i> Based on the observed and/or mapped local topography, the shallow groundwater is assumed to flow generally to the south. Shallow groundwater flow may be highly variable based on a number of factors and no site-specific groundwater flow data was obtained or reviewed.</p> <p><i>Surface Water:</i> No surface water features were observed on the Site. Minor tributaries of the Rehoboth Bay are located north and east of the Site.</p>	

## 4.0 SITE RECONNAISSANCE

Mr. Andrew Rodano and Mr. James Thompson of GTA performed the site reconnaissance on March 17, 2022. GTA personnel were unaccompanied during the site reconnaissance. Limitations that may have affected GTA’s ability to visually observe Site conditions are noted below.

<b>Limitation:</b>	<b>Yes</b>	<b>No</b>	<b>Description</b>
Dense Vegetation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Portions of the Site were densely vegetated, limiting GTA personnel’s observations.
Locked or Inaccessible Structures	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Snow Cover	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Other	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

#### 4.1 Site Description

The western portion of the Site contains an overgrown field. The eastern portion of the Site consists of graded land. The Site is accessed from Lexus Lane by a gravel construction entrance located on the southeastern portion of the Site. Photographs taken during GTA's site visit are presented as Appendix B.

#### 4.2 Site Occupants and Operations

The Site is currently unoccupied, and there are no on-site operations.

#### 4.3 Structures and Utilities

GTA personnel did not observe obvious indications of existing or previous structures on the Site.

Utilities that service the Site are summarized below:

Utility	Description
Water	A public water utility connection was observed on the northern portion of the Site.
Sewer	Public sewer was not observed on the Site.
Heating/Cooling	Heating/Cooling systems were not evident on the Site (currently no structures).
Stormwater	Sheet runoff generally flows topographically to the south. Some topographic lows (i.e., depressions) exist within the overgrown field. Several stormwater catch basins were observed along Lexus Lane.
Electric	Electric utilities were not evident on the Site.

#### 4.4 Site Conditions

The following table summarizes the site reconnaissance observations and/or items that were identified (or suspected) based on interviews and the reviewed records:

Category	Item Description	Observed, Identified, or Suspected
Storage Tanks and Vessels	Aboveground Storage Tanks	No
	Underground Storage Tanks	No
Chemical or Waste Storage/Disposal	Drums or Other Containers	No
	Floor Drains, Trenches, Sumps, and Pits	No
	Oil/Water Separator	No
	Waste Lagoons	No
Electrical Transformers/PCBs	Pole-mounted Transformers	No
	Pad-Mounted Transformers	No
	Elevators	No
	Other Equipment	No

Category	Item Description	Observed, Identified, or Suspected
Solid Waste and Stockpiles	Landfilling or Buried Waste	No
	Dumping or Disposal/Debris Areas	Yes, see below
	Dumpsters	No
	Fill Material	No
	Soil Stockpiles	No
Known or Suspected Release of Hazardous Substances or Petroleum Products	Stained Soil	No
	Stained Pavement or Other Surfaces	No
	Stressed Vegetation	No
	Pools of Liquids	No
	Other	No
Other Site Features	Monitoring Wells	No
	Hydraulic Lifts	No
	Pungent or Noxious Odors	No
	Petroleum Pipeline (i.e., Markers)	No
	Other	No

**Debris Areas:** GTA personnel observed various areas of minor nuisance dumping on the Site, primarily adjacent to Hood Road and in the overgrown field. The observed debris included Styrofoam, scrap wood, and discarded household refuse. GTA personnel did not observe drums or other containers suspected of containing petroleum products or hazardous substances among the debris.

#### 4.5 Surrounding Land Use

During the site reconnaissance, GTA personnel observed, to the extent practical, conditions on the properties adjoining the Site and within an approximate ¼-mile radius of the Site. The following is a summary of adjoining property usage:

Direction	Adjoining Properties
North	Open field
South	Beebe Healthcare Health Campus, open field
East	Seaglass at Rehoboth Beach Apartments (under construction)
West	Artisans' Bank (under construction)

The remaining surrounding vicinity consists of residential properties and commercial businesses. A Royal Farms gasoline station is located approximately 1,250 feet north of the Site at the address of 18904 Coastal Highway. GTA personnel did not observe indications of other gasoline stations, dry cleaners, landfills, or similar sites of known environmental concern within an approximate ¼-mile radius of the Site.

GTA personnel did not observe obvious indications of releases (i.e., strong odors, stained surfaces, or stressed vegetation) of petroleum products or hazardous substances on the land immediately adjacent to, and topographically upgradient of, the Site. Accordingly, surficial drainage from upgradient sources is unlikely to have adversely affected the environmental condition of the Site.

## 5.0 HISTORICAL REVIEW

### 5.1 Aerial Photographs

In an effort to assess historical land use practices on the Site and in the vicinity, GTA reviewed historical aerial photographs obtained from the Delaware Environmental Monitoring and Analysis Center (DEMAC), Nationwide Environmental Title Research (NETR), and Google Earth. Copies of the 1937, 1992, and 2021 aerial photographs are included in Appendix A. The aerial photographs were reviewed chronologically, and significant land use changes that were observed are described below:

Year	Site	Adjoining and Surrounding Properties
1937	Apparent agricultural use.	Apparent agricultural use, undeveloped woods, and scattered residences.
1953, 1954, 1961, 1968, 1973, 1981	Similar to previous reviewed aerial photograph.	A gradual increase in apparent residential and commercial development was observed in the northern and eastern Site vicinities.
1992, 1998, 2002	Similar to previous reviewed aerial photograph.	Disturbed land associated with commercial development north and south of the Site observed by the 1992 aerial photograph. A further increase in apparent residential and commercial development was observed in the northern, eastern, and western Site vicinities. A filling station was evident in the northern vicinity at 18904 Coastal Highway.
2005, 2006, 2007, 2009, 2010, 2011, 2012, 2013, 2015, 2017, 2018	Similar to previous reviewed aerial photograph.	Beebe Road observed adjacently south of the Site by the 2009 aerial photograph. Present-day access road observed adjacently west of the Site by the 2011 aerial photograph. An increase in apparent residential development was observed in the eastern Site vicinity.
2021	Disturbed soil and apparent construction materials observed on the northern and eastern portions of the Site. Disturbed soil appeared to be associated with the development of the property adjacently east of the Site.	Disturbed soil, consistent with on-going development observed during GTA's recent Site visit, was observed adjacently east and west of the Site.

## 5.2 Historical Maps

GTA requested Sanborn Fire Insurance Maps from EDR for the Site and vicinity. According to EDR, Sanborn Fire Insurance Map coverage was not available for the Site or vicinity. A copy of the Sanborn Map Report is included in Appendix D. The lack of map coverage suggests that the Site area was either not a historically urbanized area, or EDR does not maintain map coverage for the area.

GTA reviewed historical topographic maps maintained by NETR, which included topographic maps from the years 1918, 1928, 1934, 1940, 1943, 1944, 1948, 1949, 1956, 1958, 1964, 1972, 1982, 1984, 1985, 1992, 2014, 2016, and 2019. The conditions observed on the topographic maps were generally consistent with those observed on the reviewed aerial photographs and/or Sanborn Maps.

## 5.3 Property Title Information

GTA was not supplied with chain of title documentation concerning the Site.

## 5.4 City Directories

Based on the availability of other historical resources summarized herein, no city directories were reviewed as part of this assessment.

## 6.0 USER-PROVIDED INFORMATION AND INTERVIEWS

GTA requested that the User complete a User Questionnaire. The User returned the questionnaire (Appendix C) indicating the following:

User's Knowledge	Yes	No
<b>Environmental liens that are filed or recorded against the Site.</b> <i>Did a search of recorded land title records (or judicial records where appropriate) identify any environmental liens filed or recorded against the Site under federal, tribal, state, or local law?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>Activity and use limitations (AULs) that are in place on the Site or that have been filed or recorded against the Site.</b> <i>Did a search of recorded land title records (or judicial records where appropriate) identify any AULs, such as engineering controls, land use restrictions, or institutional controls that are in place at the Site and/or have been filed or recorded against the Site under federal, tribal, state or local law?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>Specialized knowledge or experience of the person seeking to qualify for Landowner Liability Protection.</b> <i>Do you have any specialized knowledge or experience related to the Site or nearby properties? For example, are you involved in the same line of business as the current or former occupants of the Site or an adjoining property so that you would have specialized knowledge of the chemicals and processes used by this type of business?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>Relationship of the purchase price to the fair market value of the Site if it were not contaminated.</b> <i>Do you have reason to believe that the purchase price of the Site is lower than the fair market value due to the known or suspected presence of contamination?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

User's Knowledge	Yes	No
<b>Commonly known or reasonably ascertainable information about the Site (40 CFR 312.30).</b> <i>Are you aware of commonly known or reasonably ascertainable information about the Site that would help the environmental professional to identify conditions indicative of releases or threatened releases? For example,</i> a) <i>Do you know the past uses of the property?</i> b) <i>Do you know of specific chemicals that are present or once were present at the property?</i> c) <i>Do you know of spills or other chemical releases that have taken place at the property?</i> d) <i>Do you know of any environmental cleanups that have taken place at the property?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>The degree of obviousness of the presence or likely presence of contamination at the Site, and the ability to detect the contamination by appropriate investigation.</b> <i>Based on your knowledge and experience related to the Site, are there any obvious indicators that point to the presence or likely presence of releases at the Site?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

### 6.1 Title and Judicial Records for Environmental Liens/Activity Use Limitations

Per ASTM E1527-13 Section 6.2, the User is required to provide and/or report to the environmental professional any title and judicial records for environmental liens/activity use limitations (AULs) associated with the Site. The environmental professional per the ASTM practice is not responsible to undertake a review of recorded land title records and judicial records for environmental liens or AULs.

Title records and information were not provided to GTA by the User. The User did not request GTA to coordinate with a title company or title professional to undertake a review of Recorded Land Title records and judicial records for environmental liens or AULs.

### 6.2 Interviews

On March 25, 2022, GTA personnel interviewed Mr. Tauhid Islam, a representative of Ocean VII Group, LLC, the current owner of the Site. According to Mr. Islam, Ocean VII Group, LLC has owned the since 2020, and acquired the property from OA Seaglass, LLC. Mr. Islam informed GTA personnel that the Site had historically consisted of open land. According to Mr. Islam, construction began on the Site in mid-2021, and no debris or other obvious indications of environmental concern were encountered during construction. Mr. Islam indicated that he is not aware of any prior structures on the Site or any environmental concerns in association with the Site. Mr. Islam informed GTA personnel that he is aware OA Seaglass, LLC previously owned the Site, but is not aware of a contact person.

### 6.3 Previous Reports

GTA requested copies of previous ESAs or similar environmental reports from the Client. According to the Client, no previous ESAs or similar environmental reports were available for the Site.

## 7.0 REGULATORY REVIEW

### 7.1 Regulatory Database Search

GTA retained EDR to perform a search of federal, state, and tribal environmental regulatory agency databases for sites identified within the approximate minimum search distance specified by ASTM *Standard Practice for Environmental Site Assessments E1527-13*. A copy of the regulatory database report is provided within Appendix E. The regulatory database report also includes a list of Non-Geocoded sites, which were not plotted in the regulatory database report due to insufficient address and/or geographic coordinate information.

GTA attempted to field-verify the locations of the identified regulatory sites. GTA also reviewed the list of Non-Geocoded sites and based on the descriptions provided, attempted to verify if any are located within the specified search radii. Therefore, the sites discussed in this section may be a subset of those contained in the regulatory database report. The two tables below summarize the regulatory databases that were searched, followed by GTA's summary of the results.

GTA's review of the identified regulatory sites was performed using the ASTM search distances; however, GTA's summary of the identified regulatory sites provided below may be limited to distances that are less than the ASTM standard search distances considering local geologic or hydrogeologic conditions, the density of the identified regulatory sites, the availability of public water, or other factors.

Note that the regulatory database report may include various records that are not specifically required by the ASTM Standard. If non-ASTM databases are considered relevant to this Phase I ESA, they are discussed later in this section.

FEDERAL DATABASES SEARCHED BY EDR		
Database	Description	ASTM Search Distance
NPL	National Priority List. Subset of CERCLIS. Sites for priority cleanup under the Superfund program.	1 mile
Delisted NPL	Delisted National Priority List sites	½ mile
SEMS	Superfund Enterprise Management System (formerly CERCLIS). Sites that are proposed for or on the NPL, or in the screening or assessment phase for possible inclusion on the NPL.	½ mile
SEMS-ARCHIVE	Formerly CERCLIS NFRAP. Archived SEMS sites with a status of No Further Remedial Action Planned (NFRAP), denoting sites where, following an initial investigation, either no contamination was found, contamination was removed quickly without need for the site to be placed on the NPL, or the contamination was not serious enough to require Federal Superfund action or NPL consideration. The NFRAP status does not necessarily indicate that no environmental concerns are present.	½ mile
RCRA COR	Hazardous waste handlers with Resource Conservation and Recovery Act (RCRA) corrective action activity.	1 mile



FEDERAL DATABASES SEARCHED BY EDR		
Database	Description	ASTM Search Distance
RCRA TSD	Resource Conservation and Recovery Information System, hazardous waste Treatment, Storage, and Disposal Facilities.	½ mile
RCRA SQG/LQG	RCRA sites that are hazardous waste small or large quantity generators.	Site and adjoining properties
IC/EC	Institutional Controls or Engineering Controls maintained for the purpose of tracking sites that may contain residual contamination and activity and use limitations.	Site
ERNS	Emergency Response Notification System. Information on releases of oil and hazardous substances.	Site

STATE & TRIBAL DATABASES SEARCHED BY EDR		
Database	Description	ASTM Search Distance
SHWS	State Hazardous Waste Sites, which is the state equivalent to CERCLIS.	½ mile
SWF/LF	Solid Waste Acceptance Facilities/Landfills, which may include active or inactive facilities, landfills, or open dumps.	½ mile
UST/AST	Registered underground and above-ground storage tank sites.	Site and adjoining properties
LUST/LAST	Leaking registered storage tanks incident reports contain an inventory of reported leaking AST/UST incidents.	½ mile
Brownfield	Brownfields or voluntary cleanup program sites	½ mile
IC/EC	Equivalent to Federal IC/EC Registries.	Site
UNREG LTANKS	Leaking unregulated storage tanks incident reports contain an inventory of reported leaking AST/UST incidents	½ mile

The regulatory database report did not identify regulatory listings that appear to correspond to the Site. The regulatory database report identified the following regulatory sites located within the ASTM search distances.

RESULTS SUMMARY			
Site Description	Database	Details	Approximate Distance/Direction from Site
Ocean Petroleum Co. of Rehoboth 18904-18920 Coastal Highway	SHWS/ Brownfields	Program ID: DE-1587 Status: Certification of Completion of Remedy (COCR)	1,250 Feet / North
	LUST	Program ID: 5-000202 Status: Conditional No Further Action (NFA), project de-activated 05/23/2019.	

RESULTS SUMMARY			
Site Description	Database	Details	Approximate Distance/Direction from Site
Pep-Up #11 18979 Coastal Highway	LUST	Program ID: 5-000156 Status: Conditional NFA	1,500 Feet / Northeast
	LAST	Program ID: 8-000003 Status: NFA	
Old Landing Storage Facility 19441 Old Landing Road	LUST	Program ID: 5-001238 Status: NFA	1,700 Feet / Southeast
Tru-Vale Acres Well Impacts	LUST	Program ID: 9-000100 Status: Inactive	2,400 Feet / Northeast

Based on this information, the Ocean Petroleum Co. facility at 18904-18920 Coastal Highway contains inactive LUST cases and was listed as a state funded Brownfield. According to documents provided by DNREC, a petroleum release was discovered on the property in May 2003, when the facility contained a gasoline retail business. By November 2003, Ocean Petroleum Co. was directed by the DNREC-TMS to perform an investigation of the nature and extent of contamination. Dissolved petroleum contamination, predominantly containing MTBE, was discovered in groundwater at the facility, and in several off-site private supply wells. While the LUST case was still open, Two Farms, Inc. acquired the facility. Through the Brownfields program, a UST system was removed from the facility in August 2015. During the removal, evidence of soil contamination was observed and soil over-excavation was performed. Based upon soil sample results, it was demonstrated that the remaining source of contamination was effectively removed, and a Certification of Completion of Remedy (COCR) letter was subsequently granted for the Brownfield program in December 2015. An additional DNREC Project De-Activation Letter dated May 2019 indicated that there is no unacceptable risk posed by possible residual contamination from the Ocean Petroleum Co. facility. The remaining LUST case was then deactivated. Copies of the DNREC Project De-Activation and Closure of Notice of Violation letters are included in Appendix C.

Based on the distances from the remaining regulatory sites to the Site, the assumed direction of groundwater flow, and/or their regulatory statuses, it is unlikely that the identified regulatory sites have adversely impacted the Site.

Additionally, the regulatory records and surrounding land uses do not indicate that a vapor migration concern at the Site is likely.

## 7.2 Supplemental Databases Reviewed

On March 21, 2022, GTA searched the Delaware Environmental Navigator mapping website maintained by DNREC. The Site and adjoining properties were not identified on databases that would indicate a REC. Other regulatory sites were identified in the surrounding vicinity consistent with the information provided in the regulatory database report as described in Section 7.1.

### 7.3 Local Regulatory Agency Review

GTA submitted written inquiries to regulatory agencies concerning potential environmental issues associated with the Site as summarized in the table below. Copies of GTA's written inquiries and agency responses are included in Appendix C.

Agency	Request	Agency Response	Summary
Delaware Department of Natural Resources and Environmental Control (DNREC)	Online form submitted 3/17/2022	Pending	A response from DNREC is pending at this time. If such information is received at a later date and materially alters the findings of this assessment, GTA will submit an addendum to the Client.

### 8.0 SUBSURFACE EVALUATION

GTA previously conducted a subsurface evaluation on the Site that included six Cone Penetration Test (CPT) soundings within the area of the proposed hotel building and retail building footprint. Obvious indications of fill material or environmental concerns were not identified during the CPT soundings. It should be noted that the subsurface evaluation was performed for geotechnical purposes and an environmental evaluation was not conducted at the time. GTA's Geotechnical Engineering Report summarizing the subsurface evaluation was provided to the Client under separate cover.

### 9.0 FINDINGS AND CONCLUSIONS

GTA has performed a Phase I Environmental Site Assessment in general conformance with the scope and limitations of ASTM Practice E1527-13 of the Site, as described herein. Any exceptions to, or deletions from, this practice are described in Section 2.0 of this report.

The Site consists of approximately 4.3 acres located north of Lexus Way and south of Hood Road in Rehoboth Beach, Sussex County, Delaware. GTA understands that the Site is planned to be developed with a four-story hotel building and a one-story retail building which will be serviced by publicly available water and sewer utilities. The Site currently contains an overgrown field and graded land. Historically, the majority of the Site has consisted of agricultural land. GTA personnel did not observe indications of ASTs, USTs, groundwater monitoring wells, or similar environmental concerns in association with the Site. The Site was not identified as a site of known environmental concern or regulation in an environmental regulatory database report.

The surrounding properties consist of active construction sites (Artisans Bank to the west and apartments to the east), a Beebe Healthcare Health Campus (located to the south/southwest), and open fields (located to the north and southeast). The surrounding area consists of residential properties and commercial businesses. A Royal Farms gasoline station is located approximately 1,250 feet north of the Site at the address of 18904 Coastal Highway. GTA personnel did not observe indications of other gasoline stations, dry cleaners, landfills, or similar sites of known environmental concern within an approximate ¼-mile radius of the Site. A regulatory database report identified the

Royal Farms site (identified as Ocean Petroleum Co. of Rehoboth) and three additional sites of environmental concern in the surrounding vicinity. Based on their locations relative to the Site, the anticipated direction of groundwater flow, and their regulatory statuses, the identified regulatory sites are unlikely to have adversely impacted the environmental quality of the Site.

**This assessment has revealed no evidence of RECs in connection with the Site.**



Jan 14, 2022

Mr. Tauhid Islam  
Ocean 7 Group  
9804 Winding Trail Drive  
Ocean City, MD 21842  
islam.tauhid@yahoo.com

**RE: Cambria Hotel**

Dear Mr. Islam:

A Sediment and Stormwater Management Plan has been reviewed for compliance with the Sediment and Stormwater Regulations and is approved with conditions (see attached). Enclosed herein please find a copy of the approved application form and approved plan sets. Please retain a copy for your use, and provide the contractor with a copy to be retained onsite at all times. Failure to keep an approved plan onsite is a violation of the approved plan.

Approval of a Sediment and Stormwater Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.

This plan approval pertains to compliance with the Delaware Sediment and Stormwater Regulations. Please understand that the approval of this plan does not relieve you from complying with any and all federal, state, county, or municipal laws and regulations.

As of January 1, 2014, the Sussex Conservation District began collecting financial guarantees to ensure the construction of stormwater management practices is accomplished in accordance with the approved sediment and stormwater plan. Please refer to the SCD Policy on Bonds located on our website at [Sussexconservation.org](http://Sussexconservation.org). If you have any questions concerning the aforementioned, please do not hesitate to call 302 856-7219.

Sincerely,

SUSSEX CONSERVATION DISTRICT

**Jessica Watson**

Jessica Watson  
Program Manager



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

NICOLE MAJESKI  
SECRETARY

January 28, 2022

Alan Decktor  
Pennoni Associates, Inc.  
18072 Davidson Drive  
Milton, Delaware 19968

**SUBJECT: Entrance Plan Approval Letter**  
**Cambria Hotel**  
Tax Parcel #334-12.00-127.11  
Lewes & Rehoboth Hundred, Sussex County

Dear Decktor:

The Department of Transportation has reviewed the Commercial Entrance Plans dated October 27, 2021 (last revised January 24, 2022) for the referenced project and determined that they are in general conformance with the Department's current regulations, specifications and standard details. By signing and sealing the plan set, the developer's engineer is responsible for accuracy of content. Any errors, omissions or required field changes will be the responsibility of the developer. This plan approval shall be valid a period of **three (3) years**. If an entrance permit has not been obtained within three years, then the plans must be updated to meet current requirements and resubmitted for review and approval.

**This letter does not authorize the commencement of entrance construction. The following items will be required prior to the permit being issued. A pre-construction meeting may be required as determined by the South District Public Works office.**

1. A copy of the recorded Site Plan which is consistent with the DelDOT "No Objection to Recordation" stamped plan and all appropriate signatures, seals, plot book and page number.
2. Three (3) copies of the approved entrance plans.
3. Completed permit application.
4. Executed agreements (i.e. construction, signal, letter).
5. An itemized construction cost estimate.
6. A 150% security based upon an approved itemized construction cost estimate and W-9 form (if providing escrow).

Cambria Hotel  
Decktor  
Page 2  
January 28, 2022

7. A letter of source of materials, work schedule, list of subcontractors, emergency telephone numbers and names of contact persons.

Please contact the South District Public Works office (302) 853-1340 concerning any questions you may have relative to the aforementioned required items.

Sincerely,

A handwritten signature in blue ink that reads "Richard S. McCabe". The signature is fluid and cursive, with the first name "Richard" being the most prominent.

R. Stephen McCabe  
Sussex County Review Coordinator  
Development Coordination

cc: Tauhid Islam, Ocean 7 Group  
Jamie Whitehouse, Sussex County Planning & Zoning Commission  
Sussex County Planning & Zoning  
Jessica L. Watson, Sussex Conservation District  
Matt Schlitter, South District Public Works Engineer  
Scott Rust, South District Public Work Manager  
James Argo, South District Project Reviewer  
James Smith, South District Entrance Permit Supervisor  
Jerry Nagyiski, Safety Officer Supervisor  
Jennifer Pinkerton, Chief Materials & Research Engineer  
Linda Osiecki, Pedestrian Coordinator  
John Fiori, Bicycle Coordinator  
Mark Galipo, Traffic Development Coordination Engineer  
Tim Phillips, Maintenance Support Manager  
Dan Thompson, Safety Officer North District  
Jared Kauffman, DTC Planner  
James Kelley, JMT  
Wendy L. Polasko, P.E., Subdivision Engineer  
Brian Yates, Sussex County Reviewer



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

NICOLE MAJESKI  
SECRETARY

January 28, 2022

Mr. Jamie Whitehouse, Director  
Sussex County Planning & Zoning Commission  
Sussex County Administration Building  
P.O. Box 417  
Georgetown, Delaware 19947

**SUBJECT: Letter of No Objection to Recordation  
Cambria Hotel**  
Tax Parcel # 334-12.00-127.11  
Lewes & Rehoboth Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Site Plan, dated October 8, 2021 (last revised January 17, 2022), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawings. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Site Plan is not recorded prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

**This letter does not authorize the commencement of entrance construction.** Entrance plans shall be developed in accordance with DelDOT's [Development Coordination Manual](#) and submitted to the Development Coordination Section for review and approval.

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel



Cambria Hotel  
Mr. Jamie Whitehouse  
Page 2  
January 28, 2022

that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

If I can be of any further assistance, please call me at (302) 760-2266.

Very truly yours,



R. Stephen McCabe  
Sussex County Review Coordinator  
Development Coordination

cc: Tauhid Islam, Ocean 7 Group  
Alan Decktor, Pennoni Associates, Inc.  
Sussex County Planning & Zoning  
Jessica L. Watson, Sussex Conservation District  
Matt Schlitter, South District Public Works Engineer  
Scott Rust, South District Public Work Manager  
James Argo, South District Project Reviewer  
James Smith, South District Entrance Permit Supervisor  
Jennifer Pinkerton, Chief Materials & Research Engineer  
Linda Osiecki, Pedestrian Coordinator  
John Fiori, Bicycle Coordinator  
Mark Galipo, Traffic Development Coordination Engineer  
Tim Phillips, Maintenance Support Manager  
Dan Thompson, Safety Officer North District  
Jared Kauffman, DTC Planner  
James Kelley, JMT  
Wendy L. Polasko, P.E., Subdivision Engineer  
Brian Yates, Sussex County Reviewer

Document # 2021000074342 BK: 5605 PG: 37  
On 12/2/2021 at 3:01:47 PM  
RECORDER OF DEEDS Scott Dailey  
Sussex County  
Consideration: \$0.00  
Doc Surcharge Paid

**Tax Parcel No.:** 334-12.00-127.11  
**Subdivision No.:**  
**Prepared by/Return To:**  
Delaware Department of Transportation  
Division of Planning  
800 Bay Road,  
Dover, DE 19901  
Or  
P.O. Box 778  
Dover, DE 19901

For overnight  
Regular Mail

## **Henlopen Transportation Improvement District** **Infrastructure Recoupment Agreement**

This Infrastructure Recoupment Agreement (this “**Agreement**”) is made as of this 9<sup>th</sup> day of March, 2021, by and between the Delaware Department of Transportation (hereinafter referred to as “**DelDOT**”), Sussex County, a municipal corporation of the State of Delaware (hereinafter referred to as the **County**), and Ocean VII Group LLC, a Maryland limited liability company and partnership, its heirs, successors and assigns (hereinafter referred to as “**Property Owner**”).

### **WITNESSETH:**

**WHEREAS**, DelDOT and the County in overseeing the coordination of land use and transportation require construction of various transportation improvements relating to the various anticipated land development projects in accordance with Title 17, Chapter 5, § 507 of the Delaware Code; and

**WHEREAS**, DelDOT and the County have established the Henlopen Transportation Improvement District (the “**Henlopen TID**”), as outlined in the “Agreement Regarding Henlopen Transportation Improvement District,” executed by both parties on October 30, 2020; and

**WHEREAS**, the **County** shall set up a fund (hereinafter referred to as the “**Henlopen TID Fund**”) to help fund the planned transportation improvements in lieu of developments preparing a traffic impact study and either phasing their development projects and/or constructing offsite transportation improvements; and

**WHEREAS**, the **Property Owner** is willing to contribute to the Henlopen TID Fund in recognition of the benefits the new transportation improvements will bring its property, and in order to immediately proceed with the construction and development of its property; and

**WHEREAS**, said property is located on Hood Road, Sussex County, Delaware, being Sussex County Tax Parcel 334-12.00-127.11, consisting of 4.30 acres, more or less, as shown on Exhibit “A” (hereinafter referred to as the “**Property**”).

**NOW, THEREFORE**, for valuable consideration, the receipt and adequacy of which is hereby acknowledged, and intending to be legally bound, the parties agree as follows:

### ***I. Traffic Impact Study***

The **Property Owner** shall not be required to perform a traffic impact study and, in lieu thereof, shall contribute to the Henlopen TID Fund as set forth in this Agreement.

## ***II. Right-of-Way (R/W) Dedication***

Dedication of rights-of-way in lieu of some or all of the required fee shall be by agreement between the **Property Owner** and **DelDOT**, with payment of the fee being required if any party is not amenable to the proposed dedication. The value of the rights-of-way to be dedicated shall be determined in accordance with **DelDOT** policies and regulations. The creditable area shall be determined based on highway plans acceptable to **DelDOT** and shall exclude the standard dedications provided in **DelDOT**'s Development Coordination Manual, rights-of-way for any proposed subdivision streets, and any lands needed to accommodate the site entrance. The form of credit agreement to be utilized in the event of a right-of-way dedication in lieu of some or all of the fee is attached to this Agreement as Exhibit "C".

## ***III. Transportation Improvement Funding***

A. **Henlopen Transportation Improvement District Fund** – The **County** shall create and administer a separate account, the Henlopen TID Fund, to make timely payments to **DelDOT**, for all engineering professionals and contractors performing work on the Henlopen TID transportation improvements. Subject to the provisions of this Agreement, contributions (defined below) to the Henlopen TID Fund will be made by the **Property Owner** and by other property owners who execute recoupment agreements in substantially the same form as this Agreement, and by **DelDOT**, as required.

### **B. Contributions To The Fund**

1. **Contribution Rates** –The established rates for the Henlopen TID are listed on Exhibit "B". Subject to the limitations set forth below, the **Property Owner** shall contribute to the Henlopen TID Fund (hereinafter, the "contribution" or "contributions"), in amounts consistent with the established rates, for the **Property** described on the attached Exhibit "A," which amounts shall be adjusted annually as set forth in paragraph D below. Once contributions for a specific development are paid in full, the **Property Owner** shall have no further obligations under this Agreement for that development.
2. **Contribution Timing** - Contributions shall be made at the time of **Property Owner** application to the **County** for a building permit for the **Property**. The parties acknowledge and agree that no building permits for a building or project located on the **Property** shall be issued until such time as the contributions to the Henlopen TID Fund associated with the particular building or project phase have been made. Where a project involves residential houses, no building permit for a particular unit shall be issued until the contribution for that unit has been made. For a non-residential building, where contributions are to be made on a square foot basis, no building permit for a particular building shall be issued until the contribution for such building has been made.
3. **Property Rezoning** - If the **Property** is rezoned from its current zoning designation, or development plans change, future contributions shall be paid in accordance with the use then being made of the **Property**. For example, if a portion of the **Property** is developed residentially, but then the balance of the **Property** is developed for non-residential purposes, the contributions for the residential portion shall be paid at the residential rates, and the non-residential portions based on the appropriate non-residential rates.
4. **Contribution Notification** - In the event **Property Owner** has elected to execute this Recoupment Agreement, any final site plan for development of lands of said **Property Owner** subject to contribution hereunder shall contain a statement or note that the issuing of

a building permit is contingent upon paying the then applicable portion of the contribution into the Henlopen TID Fund as provided in the Recoupment Agreement for the **Property**.

- C. **Developer Design/Build Credit** - Design and/or construction of physical improvements in lieu of some or all of the required fee shall be by agreement between the **Property Owner**, **DelDOT**, and the **County**, with payment of the fee being required if any party is not amenable to the proposed construction. If a **Property Owner** seeks to design and/or construct physical improvements in lieu of paying into the Henlopen TID Fund, the **Property Owner** shall be required to obtain a minimum of three bids for the work. The bids shall be subject to review and approval by the **DelDOT**. Credit toward the fee shall be based on the **Property Owner**'s payments to the selected contractor. Design and/or construction of improvements required by **DelDOT** and the **County** as part of the development's entrance construction or on-site infrastructure, e.g. subdivision streets, and curb ramps, turn lanes, acceleration lanes at development entrance, shall not be creditable toward the fee. At their discretion, **DelDOT** and the **County** may require improvements beyond the site entrance to correct an unsafe condition that they find would be created or worsened by the proposed development. Such improvements may include, but are not limited to, the addition or widening of shoulders, and/or the construction of a shared-use path or sidewalk along the development's frontage. In that case, the cost of that work shall be determined by **DelDOT**, using the Shared-Use Path and Sidewalk Fee Calculation Form for those items and current comparable contract bid prices as a guide for other items, and shall be creditable toward the fee. The form of credit agreement to be utilized in the event of a design and/or construction in lieu of some or all of the fee is attached to this Agreement as Exhibit "D".
- D. **Escalation** - While transportation improvement projects await construction funding, the costs of constructing the project will escalate at the rate of inflation for highway construction projects. The amounts to be paid by the **Property Owner**, therefore, shall be subject to an increase of up to four percent (4%) per year, not compounded, beginning on January 31, 2021 and increasing by the established amount on January 31 of each year thereafter. The actual amount of the increase shall be set by **DelDOT** in January of each year based upon the change in the Consumer Price Index (CPI) for Delaware Region during the previous year. The established rate of increase shall not exceed four percent (4%) in any one year and escalation shall only apply to contributions unpaid on January 31 of each year.

#### ***IV. Property Owner Benefits***

- A. **No Individual Off-Site Improvements** – **Property Owner** shall have no obligation for design or construction of any off-site road improvements and **Property Owner's** obligation for the contributions prescribed in this Agreement shall be in lieu of any and all individual off-site road projects which might otherwise be required by **DelDOT** or the **County** as a condition for approval of the development of the **Property**.
- B. **No Individual Traffic Impact Study** - No Individual Traffic Impact Study will be required as a separate cost for individual developments participating in this Agreement, as a condition of approval by **DelDOT** or the **County**.
- C. **Cost Savings** - Costs for off-site improvements are expected to be reduced due to the proposed comprehensive approach, the cost sharing and the large size of the projects.
- D. **Timing** – Completion of those off-site road improvements to be undertaken by **DelDOT** as part of the Henlopen TID shall not be a condition of **DelDOT** or **County** approval or issuance of permits in connection with **Property Owner's** development of the **Property**. All other **County** or **DelDOT**

development plan, entrance approval, and permitting requirements still apply.

## ***V. Administration of the Agreement***

- A. **Existing Record Plan Requirements** – Should existing Record Plan transportation improvement requirements conflict with this agreement, **DelDOT**, the **County**, and the **Property Owner** shall work together to expedite the modification(s) to the Record Plan notes. The revision will be a ministerial review, incorporating the Henlopen TID participation into the Record Plan notes. The **DelDOT** and the **County** review fees for this reconciliation will be considered satisfied from the initial Record Plan Review fees. For any other changes requiring a resubdivision plan and review, the associated fees will be the responsibility of the legal owner.
- B. **Amendments** – This Agreement shall not be modified, changed, or supplemented, nor may any of the obligations and rights be waived, except by a written instrument signed by all parties.
- C. **Notices** – Whenever a notice is to be given or a document is to be delivered to one of the parties hereunder, it shall be in writing and addressed and delivered to:

**Property Owner:**       Tauhid Islam, Owner and Managing Partner  
Ocean VII Group LLC  
9804 Winding Trail Drive  
Ocean City, MD 21842

**DelDOT:**                Director, Division of Planning  
Delaware Department of Transportation  
P.O. Box 778  
Dover, DE 19903

**County:**                Sussex County Administrator  
Sussex County  
2 The Circle  
P.O. Box 417  
Georgetown, DE 19947

- D. **Succession of Agreement** – This Agreement shall bind and benefit the parties hereto, their successors and assigns; and shall be a covenant running with the **Property** described in this Agreement.
- E. **Recordation of Agreement** – The **Property Owner** shall record a notice of this Agreement, so as to put potential future purchasers of the **Property** on notice of the obligations created by this Agreement.
- F. **Termination of Agreement** – **Property Owner's** obligations under this Agreement shall terminate once all fees identified in this Agreement have been paid in full. Notwithstanding anything herein to the contrary, payment of a contribution for a specific lot or structure shall relieve that lot or structure from any other obligation under this Agreement. However, that lot or structure shall remain a beneficiary of this Agreement.

IN WITNESS WHEREOF, the parties have set their hands and seals the day and year first written above.

Ocean VII Group LLC,  
a Maryland limited liability company and partnership

By: Tauhid Islam, Owner and Managing Partner

By: [Signature] (SEAL)  
Owner and Managing Partner

STATE OF ~~MARYLAND~~ Delaware :  
Sussex : SS.  
COUNTY OF ~~WORCESTER~~ :

BE IT REMEMBERED, that on this 21 day of October, 2021, before me, a notary public, the undersigned personally appeared, Tauhid Islam, who acknowledged himself to be Owner and Managing Partner of Ocean VII Group LLC, a Maryland limited liability company and partnership, Property Owner, and that he is authorized to execute the foregoing Henlopen Transportation Improvement District Infrastructure Recoupment Agreement for the purposes therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

[Signature]  
Notary Public  
My Commission Expires: Jan 3, 2022  
Notary Registration Number: \_\_\_\_\_



Sussex County, Delaware:

By: Michael H. Vincent (SEAL)

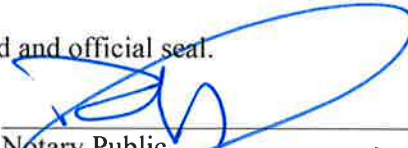
Name: Michael H. Vincent  
President of Council

STATE OF DELAWARE :  
: SS.

COUNTY OF SUSSEX:

**BE IT REMEMBERED**, that on this 9<sup>th</sup> day of November, 2021, before me, a notary public, the undersigned personally appeared, Michael H. Vincent who acknowledged himself to be the President of Council for the Government of Sussex County, and that he as such President of Council is authorized to execute the foregoing Henlopen Transportation Improvement District Infrastructure Recoupment Agreement for the purposes therein contained.

**IN WITNESS WHEREOF**, I have hereunto set my hand and official seal.

  
\_\_\_\_\_  
Notary Public  
My Commission Expires: 4/6/23

**ROBIN A. GRIFFITH**  
**NOTARY PUBLIC**  
**STATE OF DELAWARE**  
My Commission Expires on April 6, 2023

Delaware Department of Transportation:

By: [Signature] (SEAL)  
Name: Nicole Majeski  
Title: Secretary

STATE OF DELAWARE :  
: SS.  
COUNTY OF KENT :

**BE IT REMEMBERED**, that on this 2 day of November, 2021, before me, a notary public, the undersigned personally appeared, Nicole Majeski, who acknowledged herself to be the Secretary for the Delaware Department of Transportation, and that she as such Secretary is authorized to execute the foregoing Henlopen Transportation Improvement District Infrastructure Recoupment Agreement for the purposes therein contained.

**IN WITNESS WHEREOF**, I have hereunto set my hand and official seal.

[Signature]  
Notary Public  
My Commission Expires: \_\_\_\_\_

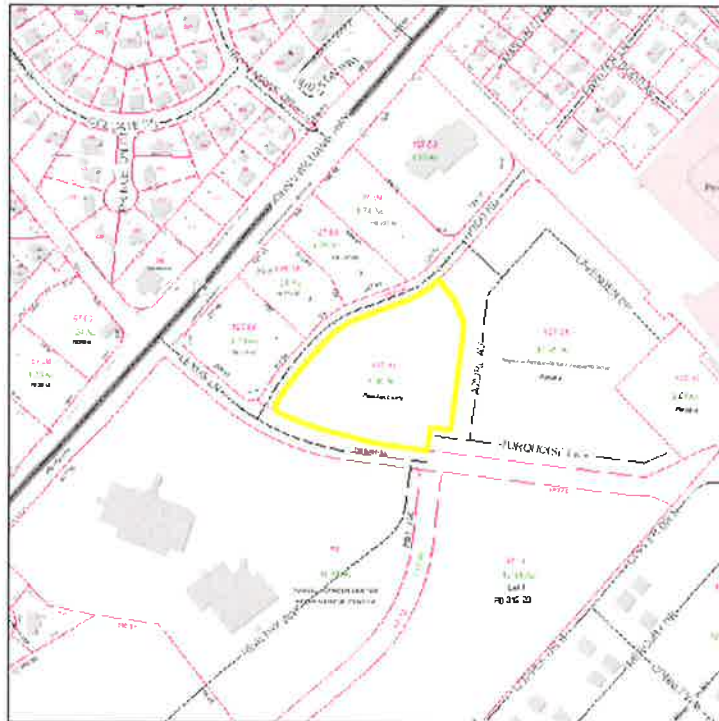


Approved as to form:  
By: [Signature]  
Title: Deputy Attorney General



# Exhibit A

## Map of individual property subject to agreement



<b>PIN:</b>	334-12.00-127-11
<b>Owner Name</b>	OCEAN VII GROUP LLC
<b>Book</b>	5564
<b>Mailing Address</b>	0804 WINDING TRL DR
<b>City</b>	OCEAN CITY
<b>State</b>	MD
<b>Description</b>	SEAGLASSAT REHOBOTH
<b>Description 2</b>	RESIDUAL LANDS
<b>Description 3</b>	
<b>Land Code</b>	

- polyonLayer  
Override 1
- polyonLayer  
Override 1
- Tax Parcels
- Streets
- ⋯ County Boundaries



October 21, 2021

## Exhibit B

### Henlopen Transportation Improvement District

#### *Initial Contribution Rates*

Residential Rates	
Single family detached residential	\$4,900 per unit by phase
	\$5,145 per unit by lot
Multi-family residential, low-rise, 1-2 floors	\$3,822 per unit by phase
	\$4,013 per unit by lot
Multi-family residential, mid-rise, 3 or more floors	\$2,842 per unit by phase
	\$2,984 per unit by lot
Non-Residential Rates	
Under 21 trips per 1,000 SF GFA	\$2.88 per sq ft
At least 21 but less than 34 trips per 1,000 SF GFA	\$3.38 per sq ft
At least 34 but less than 75 trips per 1,000 SF GFA	\$3.88 per sq ft
At least 75 but less than 200 trips per 1,000 SF GFA	\$4.38 per sq ft
200 or more trips per 1,000 SF GFA	\$4.88 per sq ft
Notes: Low-rise Multi-family rate is 78% of single-family detached rate. Mid-rise Multi-family rate is 58% of single-family detached rate. Townhomes are considered low-rise multi-family. All non-residential rates are based on the number of trips per 1,000 square foot of gross floor area. This is based on ITE Trip Generation Manual, 10th Edition.	

Residential Rates	
Single family detached residential	\$4,968 per unit by phase
	\$5,217 per unit by lot
Multi-family residential, low-rise, 1-2 floors	\$3,875 per unit by phase
	\$4,069 per unit by lot
Multi-family residential, mid-rise, 3 or more floors	\$2,881 per unit by phase
	\$3,025 per unit by lot
Non-Residential Rates	
Under 21 trips per 1,000 SF GFA	\$2.92 per sq ft
At least 21 but less than 34 trips per 1,000 SF GFA	\$3.42 per sq ft
At least 34 but less than 75 trips per 1,000 SF GFA	\$3.93 per sq ft
At least 75 but less than 200 trips per 1,000 SF GFA	\$4.44 per sq ft
200 or more trips per 1,000 SF GFA	\$4.94 per sq ft
Notes: Low-rise Multi-family rate is 78% of single-family detached rate. Mid-rise Multi-family rate is 58% of single-family detached rate. Townhomes are considered low-rise multi-family. All non-residential rates are based on the number of trips per 1,000 square foot of gross floor area. This is based on ITE Trip Generation Manual, 10th Edition.	

Exhibit C

Henlopen TID Recoupment Credit Agreement- ROW Dedication

Agreement No. \_\_\_\_\_

Development Project

- Development Name \_\_\_\_\_
- Developer \_\_\_\_\_
- Total Required Financial Contribution for Development \_\_\_\_\_  
*(per Recoupment Agreement)*

Henlopen TID Project

- Name of Project \_\_\_\_\_
- Section of Project \_\_\_\_\_  
*(Attach plan)*
- Acreage of Right-of-way provided \_\_\_\_\_
- Total Estimated Cost of Right-of-way Dedication \_\_\_\_\_  
*(Attach cost estimate)*

Recoupment Calculation

Estimated Cost of Dedication Required for Development	\$ _____
Estimated Cost of Dedication Eligible for Recoupment	\$ _____
<b>TOTAL</b>	<b>\$ _____</b>

*(Attach breakout plan)*

*\*Note - Total must equal Total Estimated Cost of Right-of-way Dedication*

Agreement

For dedicating additional right-of-way for the above named Henlopen TID Project, the above named development is credited the following amount toward the Henlopen TID Fund required contribution.  
\$ \_\_\_\_\_

\_\_\_\_\_  
Developer Date

\_\_\_\_\_  
Sussex County Date

\_\_\_\_\_  
Delaware Department of Transportation Date

Exhibit D

Henlopen TID Recoupment Credit Agreement - Construction

Agreement No. \_\_\_\_\_

Development Project

- Development Name \_\_\_\_\_
- Developer \_\_\_\_\_
- Total Required Financial Contribution for Development \_\_\_\_\_  
*(per Recoupment Agreement)*

Henlopen TID Project

- Name of Project \_\_\_\_\_
- Section of Project \_\_\_\_\_  
*(Attach plan)*
- Items Constructed \_\_\_\_\_
- Total Estimated Cost of Section to be Constructed \_\_\_\_\_  
*(Attach cost estimate)*

Recoupment Calculation

Estimated Cost of Items Required for Development	\$ _____
Estimated Cost of Items Required for Other Developments	\$ _____
Estimated Cost of Items Eligible for Recoupment	\$ _____
TOTAL	\$ _____

*(Attach breakout plan)*

*\*Note - Total must equal Total Estimated Cost of Construction*

Agreement

For performing construction work on the above named Henlopen TID Project, the above named development is credited the following amount toward the Henlopen TID Fund required contribution.  
\$ \_\_\_\_\_

\_\_\_\_\_  
Developer Date

\_\_\_\_\_  
Sussex County Date

\_\_\_\_\_  
Delaware Department of Transportation Date

## Alan M. Decktor

---

**From:** John J. Ashman <jashman@sussexcountyde.gov>  
**Sent:** Tuesday, August 24, 2021 8:42 AM  
**To:** Alan M. Decktor  
**Cc:** Christine Fletcher; Chris Calio  
**Subject:** RE: SSCE Review

Alan,

No need for a SSCE to connect the hotel, when/if the other building comes to light it will require the SSCE to define a connection point. Also you will need to submit plans to Christine Fletcher in Utility Permits to complete the EDU assessment for the hotel to establish the impacts for the Infrastructure Agreement.

John

---

**From:** Alan M. Decktor <ADecktor@Pennoni.com>  
**Sent:** Wednesday, August 18, 2021 3:31 PM  
**To:** John J. Ashman <jashman@sussexcountyde.gov>  
**Subject:** RE: SSCE Review

**CAUTION:** This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

John,  
See attached Draft Plan. There is an existing sewer stub into the property and we will extend it to the hotel, no plans for utility service to the smaller building as it's a future thought. I show graphically on the attached sheet.

Thanks

### Alan M. Decktor, PE, ENV SP

#### Pennoni

18072 Davidson Drive | Milton, DE 19968  
**Direct:** +1 (215) 254-7853  
[www.pennoni.com](http://www.pennoni.com) | [ADecktor@Pennoni.com](mailto:ADecktor@Pennoni.com)

---

**From:** John J. Ashman <jashman@sussexcountyde.gov>  
**Sent:** Monday, August 16, 2021 7:51 AM  
**To:** Alan M. Decktor <[ADecktor@Pennoni.com](mailto:ADecktor@Pennoni.com)>  
**Subject:** RE: SSCE Review

Send me all the data in an email first to see if it is as simple as you say and it gets the infrastructure use agreement on the books. I will let you know if we need a check to evaluate or not.

---

**From:** Alan M. Decktor <[ADecktor@Pennoni.com](mailto:ADecktor@Pennoni.com)>  
**Sent:** Sunday, August 15, 2021 8:21 PM  
**To:** John J. Ashman <[jashman@sussexcountyde.gov](mailto:jashman@sussexcountyde.gov)>  
**Subject:** SSCE Review

**CAUTION:** This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

John,

Do I need to submit plans for SSCE or Engineering Review for a commercial sewer lateral? I have a hotel that has a main and I just need to do a proposed 8" sewer lateral straight to building.

Thanks

**Alan M. Decktor, PE, ENV SP**

**Pennoni**

18072 Davidson Drive | Milton, DE 19968

**Direct:** +1 (215) 254-7853

[www.pennoni.com](http://www.pennoni.com) | [ADecktor@Pennoni.com](mailto:ADecktor@Pennoni.com)



[Watch Now: High Wind Design!](#)



DELAWARE DEPARTMENT OF  
**NATURAL RESOURCES AND  
ENVIRONMENTAL CONTROL**

89 Kings Highway  
Dover, DE 19901  
(302) 739-9000  
[dnrec.delaware.gov](http://dnrec.delaware.gov)

February 25, 2022

Mr. Tauhid Islam  
Ocean 7 Group, LLC.  
9804 Windingtrail Drive  
Ocean City, MD 21842

Ref: Cambria Hotel  
State Wastewater Construction Permit No. WPCC 3008/22

Dear Mr. Islam:

Please find enclosed a copy of the construction permit that was issued for the referenced project.

We expect the permitted construction to be completed within the permit term. If the construction cannot be completed by the permit expiration date, a one-time, no-cost two-year permit extension is available, as long as the request is received in writing prior to the expiration date and as long as the scope of the project has not changed significantly, as determined by the Department.

Per Part II.A.2.a of the enclosed permit, notify the Department of any changes to the construction authorized therein. Per Part II.B.1, submit a set of "as-built" plans of the constructed wastewater facilities within ninety (90) days of construction completion. The as-built plans must be signed and sealed by a Professional Engineer licensed in Delaware.

If you have any questions, please contact me at (302) 739-9941 or via email at [davison.mwale@delaware.gov](mailto:davison.mwale@delaware.gov).

Sincerely,

A handwritten signature in blue ink, appearing to read "Davison Mwale", with a long horizontal stroke extending to the left.

Dr. Davison Mwale, (PhD)  
Environmental Finance

Enclosures

Email: Mr. Alan Decktor P.E., Pennoni Associates.  
Mr. Jordan T. Dickerson, Sussex County Department of Public Works  
Mr. Keith Bryan, Sussex County Department of Public Works  
Ms. Susan Isaacs, Sussex County Department of Public Works

## Mark H. Davidson

---

**From:** Tawanda Priester <TPriester@middlesexwater.com>  
**Sent:** Thursday, February 3, 2022 3:55 PM  
**To:** Alan M. Decktor  
**Cc:** islam.tauhid@yahoo.com  
**Subject:** Cambria Hotel - NFC  
**Attachments:** FINAL RECORD PLAN.pdf; Tidewater Set.pdf; Plan Approval App Rev.10 form.pdf

Alan,

At this time, TUI has completed the review of the attached plans and has no further comments. TUI's acceptance of these plans shall expire one (1) year from the date of this email. In the event final approval is not granted and construction is not started within the year, resubmission to TUI will be required. Also, revisions to the project or the utility plans will require resubmission.

Prior to final approval, the Private Fire Service Application must be completed and the Private Fire Service fees must be paid. Email [tuiapplications@middlesexwater.com](mailto:tuiapplications@middlesexwater.com) to apply.

Once the fees have been paid, the following documentation may be submitted for final approval:

1. Completed plan approval application, signed and dated. Attached is the latest application.
2. Hard copies of FMO and ODW approvals. FMO approval should include the submission for the relocated hydrant.
3. One hard copy of the recorded record plat with book & page.
4. Three copies of final plans sealed by a professional engineer registered in the State of Delaware. Please include the cover sheet, notes, utility sheets, profiles, and water details.
5. Electronic files on CD:
  - a. Final water utility plan in full .dwg format (AutoCAD 2018 or earlier versions).
  - b. Sealed final water utility plan in .pdf format. Please include the cover sheet, notes, utility sheets, profiles, and water details.
  - c. Recorded record plat in .pdf format.

Thank you,

**Tawanda Priester**

Project Engineer

[TIDEWATER UTILITIES, INC.](http://www.tuiwater.com)

*"Southern Delaware's Premier Water Company Since 1964"*

Phone: 302-747-1339 Fax: 302-734-9295



[tpriester@tuiwater.com](mailto:tpriester@tuiwater.com)

---

**From:** Alan M. Decktor <ADecktor@Pennoni.com>  
**Sent:** Thursday, February 3, 2022 9:52 AM  
**To:** Tawanda Priester <TPriester@middlesexwater.com>



Cc: islam.tauhid@yahoo.com  
Subject: [EXTERNAL] RE: Cambria Hotel

**EXTERNAL EMAIL: The sender of this email is [adecktor@pennoni.com](mailto:adecktor@pennoni.com), exercise caution.**

---

Tawanda,  
See full set of plans.

Thanks

**Alan M. Decktor, PE, ENV SP**

**Pennoni**

18072 Davidson Drive | Milton, DE 19968  
Direct: +1 (302) 684-6241  
[www.pennoni.com](http://www.pennoni.com) | [ADecktor@Pennoni.com](mailto:ADecktor@Pennoni.com)

---

**From:** Tawanda Priester <[TPriester@middlesexwater.com](mailto:TPriester@middlesexwater.com)>  
**Sent:** Wednesday, February 2, 2022 6:03 PM  
**To:** Alan M. Decktor <[ADecktor@Pennoni.com](mailto:ADecktor@Pennoni.com)>  
**Cc:** [islam.tauhid@yahoo.com](mailto:islam.tauhid@yahoo.com)  
**Subject:** Cambria Hotel

Alan,

Please send the full set of water plans in .pdf format and then I can send the list of documentation needed for final approval.

Thank you,

**Tawanda Priester**

Project Engineer

[TIDEWATER UTILITIES, INC.](http://www.tidewaterutilities.com)

*"Southern Delaware's Premier Water Company Since 1964"*

Phone: 302-747-1339 Fax: 302-734-9295



[tpriester@tuiwater.com](mailto:tpriester@tuiwater.com)

---

**From:** Alan M. Decktor <[ADecktor@Pennoni.com](mailto:ADecktor@Pennoni.com)>  
**Sent:** Monday, January 31, 2022 1:59 PM  
**To:** Tawanda Priester <[TPriester@middlesexwater.com](mailto:TPriester@middlesexwater.com)>  
**Cc:** [islam.tauhid@yahoo.com](mailto:islam.tauhid@yahoo.com)  
**Subject:** [EXTERNAL] RE: Plan Review #3 for the Cambria Hotel

**EXTERNAL EMAIL: The sender of this email is [adecktor@pennoni.com](mailto:adecktor@pennoni.com), exercise caution.**

---

Tawanda,

See attached for updated Utility Plan per the two comments, we are coordinating with FM. The revised labels have been added to the plan.

Thanks

**Alan M. Decktor, PE, ENV SP**

**Pennoni**

18072 Davidson Drive | Milton, DE 19968

Direct: +1 (302) 684-6241

[www.pennoni.com](http://www.pennoni.com) | [ADecktor@Pennoni.com](mailto:ADecktor@Pennoni.com)

---

**From:** Tawanda Priester <[TPriester@middlesexwater.com](mailto:TPriester@middlesexwater.com)>

**Sent:** Monday, January 31, 2022 12:45 PM

**To:** Alan M. Decktor <[ADecktor@Pennoni.com](mailto:ADecktor@Pennoni.com)>

**Cc:** [islam.tauhid@yahoo.com](mailto:islam.tauhid@yahoo.com)

**Subject:** Plan Review #3 for the Cambria Hotel

Alan,

The record plans are acceptable. Due to the entrance relocation, TUI has the following comments:

1. Revise note at the relocated hydrant to state, "Relocated fire hydrant to be at least 10' from edge of existing catch basin".
2. Add a Keyed Note or revise the note at the location of the existing hydrant to state, "Hydrant lateral to be cut, plugged at the valve, and valve box removed".
3. If not previously submitted, please submit hydrant relocation to the FMO for approval.

Please respond to comments in writing and the revised plans may be submitted via email for TUI's review.

Thank you,

**Tawanda Priester**

Project Engineer

[TIDEWATER UTILITIES, INC.](http://www.tidewaterutilities.com)

*"Southern Delaware's Premier Water Company Since 1964"*

Phone: 302-747-1339 Fax: 302-734-9295



[tpriester@tuiwater.com](mailto:tpriester@tuiwater.com)

---

**From:** Alan M. Decktor <[ADecktor@Pennoni.com](mailto:ADecktor@Pennoni.com)>

**Sent:** Tuesday, January 11, 2022 10:24 AM

**To:** Tawanda Priester <[TPriester@middlesexwater.com](mailto:TPriester@middlesexwater.com)>

Cc: [islam.tauhid@yahoo.com](mailto:islam.tauhid@yahoo.com)

Subject: [EXTERNAL] RE: Plan Review #2 for the Cambria Hotel

**EXTERNAL EMAIL: The sender of this email is [adecktor@pennoni.com](mailto:adecktor@pennoni.com), exercise caution.**

---

Tawanda,

See below. Also, we now show the existing fire hydrant being relocated due to the entrance relocation to our site. The previous restaurant has been changed to an office building but this building is still not being reviewed now and will be done in the future.

Thanks

**Alan M. Decktor, PE, ENV SP**

**Pennoni**

18072 Davidson Drive | Milton, DE 19968

Direct: +1 (302) 684-6241

[www.pennoni.com](http://www.pennoni.com) | [ADEcktor@Pennoni.com](mailto:ADEcktor@Pennoni.com)

---

**From:** Tawanda Priester <[TPriester@middlesexwater.com](mailto:TPriester@middlesexwater.com)>

**Sent:** Monday, January 10, 2022 2:58 PM

**To:** Alan M. Decktor <[ADEcktor@Pennoni.com](mailto:ADEcktor@Pennoni.com)>

**Cc:** [islam.tauhid@yahoo.com](mailto:islam.tauhid@yahoo.com)

**Subject:** Plan Review #2 for the Cambria Hotel

Alan,

After reviewing the latest plans for the Cambria Hotel, TUI has the following comments:

1. The word “be” appears to be missing from the last sentence on Utility Note #16. It should state, “The meter itself will also be TUI’s responsibility”.  
**This has been corrected.**
2. On the record plans, TUI’s easement is not shown using the line type for a proposed utility easement as shown on the legend. Please show the easement using the appropriate line type in bold font on the utility and record plans. Also update the legend on the record plans to show bold font for a proposed utility easement.  
**The easement line has been corrected and is now bold on both plans.**
3. The scale for the easement on RP1001 appears to be 1” = 20’; however, the scale is labeled as 1” = 10”.  
**It has been corrected.**
4. On RP1001, add a reference to “see the blow up” at the easement area on the 1” = 50” drawing.  
**We have added label for clarity.**

Please respond to comments in writing and the revised plans may be submitted via email for TUI's review.

Thank you,

**Tawanda Priester**

Project Engineer

[TIDEWATER UTILITIES, INC.](#)

*"Southern Delaware's Premier Water Company Since 1964"*

Phone: 302-747-1339 Fax: 302-734-9295



[tpriester@tuiwater.com](mailto:tpriester@tuiwater.com)

---

**From:** Alan M. Decktor <[ADecktor@Pennoni.com](mailto:ADecktor@Pennoni.com)>

**Sent:** Wednesday, December 8, 2021 9:09 AM

**To:** Tawanda Priester <[TPriester@middlesexwater.com](mailto:TPriester@middlesexwater.com)>; [islam.tauhid@yahoo.com](mailto:islam.tauhid@yahoo.com)

**Subject:** [EXTERNAL] RE: Plan Review #1 for the Cambria Hotel

**EXTERNAL EMAIL: The sender of this email is [adecktor@pennoni.com](mailto:adecktor@pennoni.com), exercise caution.**

---

Thank you.

**Alan M. Decktor, PE, ENV SP**

**Pennoni**

18072 Davidson Drive | Milton, DE 19968

**Direct:** +1 (302) 684-6241

[www.pennoni.com](http://www.pennoni.com) | [ADecktor@Pennoni.com](mailto:ADecktor@Pennoni.com)

---

**From:** Tawanda Priester <[TPriester@middlesexwater.com](mailto:TPriester@middlesexwater.com)>

**Sent:** Wednesday, December 8, 2021 9:07 AM

**To:** Alan M. Decktor <[ADecktor@Pennoni.com](mailto:ADecktor@Pennoni.com)>; [islam.tauhid@yahoo.com](mailto:islam.tauhid@yahoo.com)

**Subject:** RE: Plan Review #1 for the Cambria Hotel

Alan,

The electronic plans were received on December 3<sup>rd</sup> ; however, the plans have not been reviewed yet.

Once the review process is complete, TUI will send an email with the required documentation required for final approval. The documentation will include hard copies.

Thank you,

**Tawanda Priester**

Project Engineer

[TIDEWATER UTILITIES, INC.](#)

*"Southern Delaware's Premier Water Company Since 1964"*

Phone: 302-747-1339 Fax: 302-734-9295



[tpriester@tuiwater.com](mailto:tpriester@tuiwater.com)

---

**From:** Alan M. Decktor <[ADecktor@Pennoni.com](mailto:ADecktor@Pennoni.com)>

**Sent:** Tuesday, December 7, 2021 10:51 AM

**To:** Tawanda Priester <[TPriester@middlesexwater.com](mailto:TPriester@middlesexwater.com)>; Brian Carbaugh <[bcarbaugh@middlesexwater.com](mailto:bcarbaugh@middlesexwater.com)>; Eugene Catipay <[ecatipay@middlesexwater.com](mailto:ecatipay@middlesexwater.com)>; Greg Coury <[gcoury@middlesexwater.com](mailto:gcoury@middlesexwater.com)>; [islam.tauhid@yahoo.com](mailto:islam.tauhid@yahoo.com)

**Subject:** [EXTERNAL] RE: Plan Review #1 for the Cambria Hotel

**EXTERNAL EMAIL: The sender of this email is [adecktor@pennoni.com](mailto:adecktor@pennoni.com), exercise caution.**

---

Tawanda,

I just want to check to make sure you received these files and we are good and don't need to mail hard copies?

Thanks

**Alan M. Decktor, PE, ENV SP**

**Pennoni**

18072 Davidson Drive | Milton, DE 19968

**Direct:** +1 (302) 684-6241

[www.pennoni.com](http://www.pennoni.com) | [ADecktor@Pennoni.com](mailto:ADecktor@Pennoni.com)

---

**From:** Alan M. Decktor

**Sent:** Friday, December 3, 2021 2:58 PM

**To:** Tawanda Priester <[TPriester@middlesexwater.com](mailto:TPriester@middlesexwater.com)>; Brian Carbaugh <[bcarbaugh@middlesexwater.com](mailto:bcarbaugh@middlesexwater.com)>; Eugene Catipay <[ecatipay@middlesexwater.com](mailto:ecatipay@middlesexwater.com)>; Greg Coury <[gcoury@middlesexwater.com](mailto:gcoury@middlesexwater.com)>; [islam.tauhid@yahoo.com](mailto:islam.tauhid@yahoo.com)

**Subject:** RE: Plan Review #1 for the Cambria Hotel

Tawanda,

Due to the minor nature of the comments, im hoping you will accept this email with the revised plans and response letter.

Thanks

**Alan M. Decktor, PE, ENV SP**

**Pennoni**

18072 Davidson Drive | Milton, DE 19968

Direct: +1 (302) 684-6241  
[www.pennoni.com](http://www.pennoni.com) | [ADecktor@Pennoni.com](mailto:ADecktor@Pennoni.com)

---

**From:** Tawanda Priester <[TPriester@middlesexwater.com](mailto:TPriester@middlesexwater.com)>  
**Sent:** Thursday, December 2, 2021 5:33 PM  
**To:** Brian Carbaugh <[bcarbaugh@middlesexwater.com](mailto:bcarbaugh@middlesexwater.com)>; Eugene Catipay <[ecatipay@middlesexwater.com](mailto:ecatipay@middlesexwater.com)>; Greg Coury <[gcoury@middlesexwater.com](mailto:gcoury@middlesexwater.com)>; Alan M. Decktor <[ADecktor@Pennoni.com](mailto:ADecktor@Pennoni.com)>; [islam.tauhid@yahoo.com](mailto:islam.tauhid@yahoo.com)  
**Subject:** Plan Review #1 for the Cambria Hotel

Good Evening,

Attached is Plan Review #1 for the Cambria Hotel.

Thank you,

**Tawanda Priester**  
Project Engineer  
[TIDEWATER UTILITIES, INC.](http://www.tidewaterutilities.com)  
*"Southern Delaware's Premier Water Company Since 1964"*  
Phone: 302-747-1339 Fax: 302-734-9295



[tpriester@tuiwater.com](mailto:tpriester@tuiwater.com)

---

The information contained in this email message is confidential and is intended only for use by the individual or entity above identified as the "recipient". If you are not the intended recipient, or the employee or agent responsible for delivering it to the intended recipient, you are hereby notified that any dissemination, distribution or copying of this communication is strictly prohibited. If you have received this communication in error, please destroy the original message and contact Middlesex Water Company's IT department at [support@middlesexwater.com](mailto:support@middlesexwater.com). Thank you.

---

The information contained in this email message is confidential and is intended only for use by the individual or entity above identified as the "recipient". If you are not the intended recipient, or the employee or agent responsible for delivering it to the intended recipient, you are hereby notified that any dissemination, distribution or copying of this communication is strictly prohibited. If you have received this communication in error, please destroy the original message and contact Middlesex Water Company's IT department at [support@middlesexwater.com](mailto:support@middlesexwater.com). Thank you.

---

The information contained in this email message is confidential and is intended only for use by the individual or entity above identified as the "recipient". If you are not the intended recipient, or the employee or agent responsible for delivering it to the intended recipient, you are hereby notified that any dissemination, distribution or copying of this communication is strictly prohibited. If you have received this communication in error, please destroy the original message and contact Middlesex Water Company's IT department at [support@middlesexwater.com](mailto:support@middlesexwater.com). Thank you.

---

The information contained in this email message is confidential and is intended only for use by the individual or entity above identified as the "recipient". If you are not the intended recipient, or the employee or agent responsible for delivering it to the intended recipient, you are hereby notified that any dissemination, distribution or copying of this communication is strictly prohibited. If you have received this communication in error, please destroy the original message and contact Middlesex Water Company's IT department at [support@middlesexwater.com](mailto:support@middlesexwater.com). Thank you.

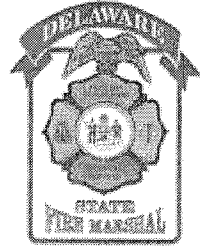
---

The information contained in this email message is confidential and is intended only for use by the individual or entity above identified as the "recipient". If you are not the intended recipient, or the employee or agent responsible for delivering it to the intended recipient, you are hereby notified that any dissemination, distribution or copying of this communication is strictly prohibited. If you have received this communication in error, please destroy the original message and contact Middlesex Water Company's IT department at [support@middlesexwater.com](mailto:support@middlesexwater.com). Thank you.



**OFFICE OF THE STATE FIRE MARSHAL  
Technical Services**

22705 Park Avenue  
Georgetown, DE 19947



**SFMO PERMIT – SHALL BE POSTED ON JOBSITE UNTIL FINAL INSPECTION**

**Plan Review Number:** 2021-04-208689-MJS-02  
**Status:** Approved as Submitted

**Tax Parcel Number:** 334-12.00-127.11  
**Date:** 11/19/2021

**Project**

Cambria Hotel  
Ocean 7 Group LLC Property  
Phase #: 1  
Hood Road and Lexus Way  
Rehoboth DE 19971

**Scope of Project**

**Number of Stories:**  
**Square Footage:**  
**Construction Class:**  
**Fire District:** 86 - Rehoboth Beach Vol Fire Co  
**Occupant Load Inside:**  
**Occupancy Code:** 9604

**Applicant**

Alan Decktor  
18072 Davidson Drive  
Milton, DE 19968

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:

Dennett Pridgeon

## FIRE PROTECTION PLAN REVIEW COMMENTS

---

Plan Review Number: 2021-04-208689-MJS-02

Tax Parcel Number: 334-12.00-127.11

Status: Approved as Submitted

Date: 11/19/2021

### PROJECT COMMENTS

**1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) ADOPTED September 1, 2. The current Delaware State Fire Prevention Regulations are available on our website at [www.statefiremarshal.delaware.gov](http://www.statefiremarshal.delaware.gov). These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.

**1040 A** This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 1,000 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 800' on center.

**1195 A** Separate plan submittal is required for all flammable gas installations (regardless of tank size) proposed for this project.

IF PROVIDED

**2710 A** The following items will be field verified by this Agency at the time of final inspection:

**1098 A** All standpipe and sprinkler connections shall be marked and identified in accordance with (DSFPR Regulation 705, Chapter 6, Section 3.0). Provide detail and layout on plans. NOTE: No objects, stands, displays, or other impediments (such as parking) shall be located within the demarcation area.

**1408 A** All premises where emergency personnel may be called upon to provide emergency services, which are not readily accessible from streets, shall be provided with suitable gates, access roads, and fire lanes so that all buildings on the premises are accessible to emergency apparatus. (DSFPR Regulation 705, Chapter 5, Section 2).

**1405 A** Where emergency services have to utilize access roadways to reach designated fire lanes, such access roadways shall be constructed to meet the minimum engineering specifications and/or requirements pursuant to the Delaware



Department of Transportation or local jurisdictions for paved roadways. All access roadways shall be paved and be a minimum of 20 feet clear width for two-way traffic and 14 feet clear width for one-way traffic. The paved width of access roadway shall be measured from the edge of parking spaces, or face of curb for vertical curb and back of curb for mountable curb, or edge of pavement if there is no curbing. (DSFPR Regulation 705, Chapter 5, Section 5).

- 1150 A A lock box containing keys for fire department access shall be provided for any occupancy which contains a fire alarm signaling system that is monitored off site or- for any occupancy that contains an automatic sprinkler system.(DSFPR Regulation 705, Chapter 5, Section 2.4).
- 1090 A Fire Lane Access and Perimeter Access shall be in accordance with Table 5-2. (DSFPR Regulation 705, Chapter 5, Section 4.2)Percent of Perimeter Access requirements shall include the required Percent of Fire Lane Access requirements of Table 5-2. (DSFPR Regulation 705, Chapter 5, Section 4.5.2).
- 1420 A All fire hydrants shall be marked and identified in accordance with DSFPR Regulation 705, Chapter 6, Section 2.0.
- 1421 A All standpipe and sprinkler connections shall be marked and identified in accordance with DSFPR Regulation 705, Chapter 6, Section 3.0.
- 1403 A Where overhangs, canopies, balconies, or any other building or site features must project over any fire lane, they shall comply DSFPR Regulation 705, Chapter 5, Section 6.8.
- 1088 A The closest edge of fire lanes shall not be located closer than ten (10) feet to the exterior wall; where parking is located between the building and the fire lane, parking shall not be located closer than 15 feet to the exterior wall.(DSFPR Regulation 705, Chapter 5, Sections 6.4 and 6.4.1).
- 1119 A All proposed fire hydrants and water mains shall be installed in accordance with the most current edition of the Delaware State Fire Prevention Regulations (DSFPR, Part II, Chapters 6 & 7).
- 1132 A Fire hydrants shall be color coded in accordance with the DSFPR, Part III, Section 3 4. This includes both color coding the bonnet and 2" reflective tape around the barrel under the top flange.
- 1232 A All threads provided for fire department connections, to sprinkler systems,

standpipes, yard hydrants or any other fire hose connections shall be uniform to those used by the fire department in whose district they are located. DSFPR Part III, Section 1.1.5.1.

**1233 A** The fire department that responds to this location is using 5" storz fittings on the steamer.

**1332 A** The distance between a fire hydrant and the fire lane shall not be greater than seven feet (DSFPR Part V, Chapter 5, Section 5 10.4).

**1432 A** The steamer connection of all fire hydrants shall be so positioned so as to be facing the street or fire lane. (DSFPR Regulation 705, Chapter 5, Section 10). The center of all hose outlet(s) on fire hydrants shall be not less than 18 inches above finalgrade (NFPA 24, Section 7.3.3).

**2500 A** A final inspection is required for this project prior to occupancy (DSFPR Part I, Section 4-7). Contact this Agency to schedule this inspection. Please have the plan review number available. **A MINIMUM OF FIVE (5) WORKING DAYS NOTICE IS REQUIRED.**

**1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.

**1190 A** Separate plan submittal is required for the building(s) proposed for this project.



December 1, 2021

**TIDEWATER UTILITIES, INC.**

**APPROVAL TO CONSTRUCT**

Cambria Hotel Connection  
**Rehoboth District**  
PWS #DE0000991  
Approval #21W172

Mr. Tauhid Islam  
Ocean 7 Group  
9804 Winding Trail Drive  
Ocean City, MD 21842

Dear Mr. Islam:

As provided by Section 2.11 of the *State of Delaware Regulations Governing Public Drinking Water Systems*, you are granted approval to connect the Cambria Hotel to the existing main in accordance with the plans submitted by Pennoni Associates, Inc. The plans consist of:

1. Transmittal letter dated November 29, 2021.
2. One copy of the plans entitled "Cambria Hotel" dated September 30, 2021.

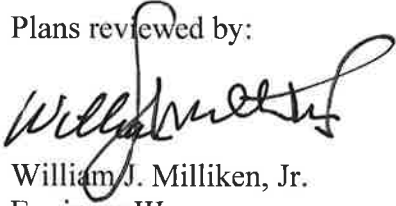
These plans, as noted, are made a part of this approval. This approval is granted subject to the enclosed list of conditions. It is the owner's responsibility to ensure as-built drawings are maintained throughout all phases of construction. Prior to receiving an Approval to Operate, the Office of Engineering requires one set of as-built drawings, including profile markups.

The Office of Engineering recommends detectable tracer tape that is three inches wide and blue in color to be installed directly above all water mains larger than two inches in diameter.

Mr. Tauhid Islam  
Ocean 7 Group  
December 1, 2021  
Page 2

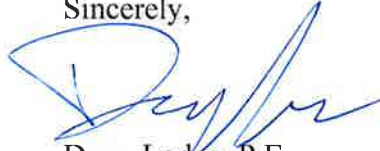
Should you have any questions regarding this matter, please feel free to contact Bill Milliken at (302) 741-8646.

Plans reviewed by:



William J. Milliken, Jr.  
Engineer III  
Office of Engineering

Sincerely,



Doug Lodge, P.E.  
Supervisor of Engineering  
Office of Engineering

cc: Public Service Commission  
Alan M. Decktor, P.E., Pennoni Associates, Inc.  
Alexis Virdin-Gede, Tidewater Utilities, Inc.  
Ashley Kunder, Office of Drinking Water

1. The approval is void if construction has not been started by December 1, 2022.
2. The project shall be constructed in accordance with the approved plans and all required conditions listed in this Approval to Construct. If any changes are necessary, revised plans shall be submitted and a supplemental approval issued prior to the start of construction. As-built plans including profile mark-ups must be submitted to the Office of Engineering after construction has been completed.
3. Representatives of the Division of Public Health may inspect this project at any time during the construction.
4. This approval does not cover the structural stability of any units or parts of this project.
5. The water system shall be operated in conformance with the *State of Delaware Regulations Governing Public Drinking Water Systems*.
6. All wells, pipes, tanks, and equipment which can convey or store potable water shall be disinfected in accordance with the current AWWA procedures. Plans or specifications shall outline the procedure and include the disinfectant dosage, contact time, and method of testing the results of the procedure. (Recommended Standards for Water Works 2018 Edition 2.15)
7. Water mains crossing sanitary and storm sewers should be laid to provide a minimum vertical distance of 18 inches between the outside of the water main and the outside of the sewer, and the water main should be above the sewer. At crossings, one full length of water pipe should be located so both joints will be as far from the sewer as possible. Special structural support for the water and sewer pipes may be required. In cases where it is not practical to maintain an 18-inch separation, the Division may allow deviation on a case-by-case basis if supported by data from the design engineer.
8. Water mains should be laid 10 feet horizontally from any existing or proposed sanitary or storm sewers. The distance should be measured edge to edge. In cases where it is not practical to maintain a 10-foot separation, the Division may allow deviation on a case-by-case basis if supported by data from the design engineer.
9. All chemicals, materials, mechanical devices, and coatings in contact with potable water shall comply with National Sanitation Foundation/American National Standards Institute Standards (NSF/ANSI) 60 and 61 and shall be inert, nontoxic, and shall not impart any taste, odor, or color to the water.
10. Sufficient valves should be provided so that inconvenience and sanitary hazards will be minimized during repairs. Valves should be located at not more than 500-foot intervals in commercial districts and at not more than one block or 800-foot intervals in other districts.

11. There shall be no connection between the distribution system and any pipes, pumps, hydrants, or tanks whereby unsafe water or other contaminating materials may be discharged or drawn into the system.
12. Fire hydrant drains shall not be connected to or located within 10 feet of sanitary sewers, storm sewers, or storm drains.
13. Prior to usage of water from this new well, water plant, storage plant, or distribution system, approval for the water quality must be obtained from the Division of Public Health.
14. The water system should be capable of providing at least 25 psi at ground level at all times throughout the distribution system.
15. All plastic pipe utilized in this drinking water system shall be approved for potable water use (NSF-pw). If any piping is joined with solder or flux, the solder and flux shall be lead free (less than or equal to 0.2 percent lead).
16. All water lines should be buried to a depth of at least 3 feet.
17. A Certificate of Public Conveniences and Necessity should be acquired from the Public Service Commission, (302) 739-4247.
18. This approval is for the distribution system only. Plans and specifications for all well plumbing, pumps, storage (including any interior coatings), and treatment must be submitted to and approved by this office prior to their installation.
19. The approval is subject to immediate revocation upon violation of any of the preceding conditions.
20. All other local (county/city/town) approvals or permits needed must be obtained prior to beginning construction.
21. Upon completion of construction and before the system is placed into operation, a "Notice of Completion" must be submitted to the Office of Engineering. Before placing the system into operation, the following must be adhered to:
  - a. Submit a set of as-built plans with profile markups to the Office of Engineering.
  - b. Obtain an Approval to Operate from the Office of Engineering.

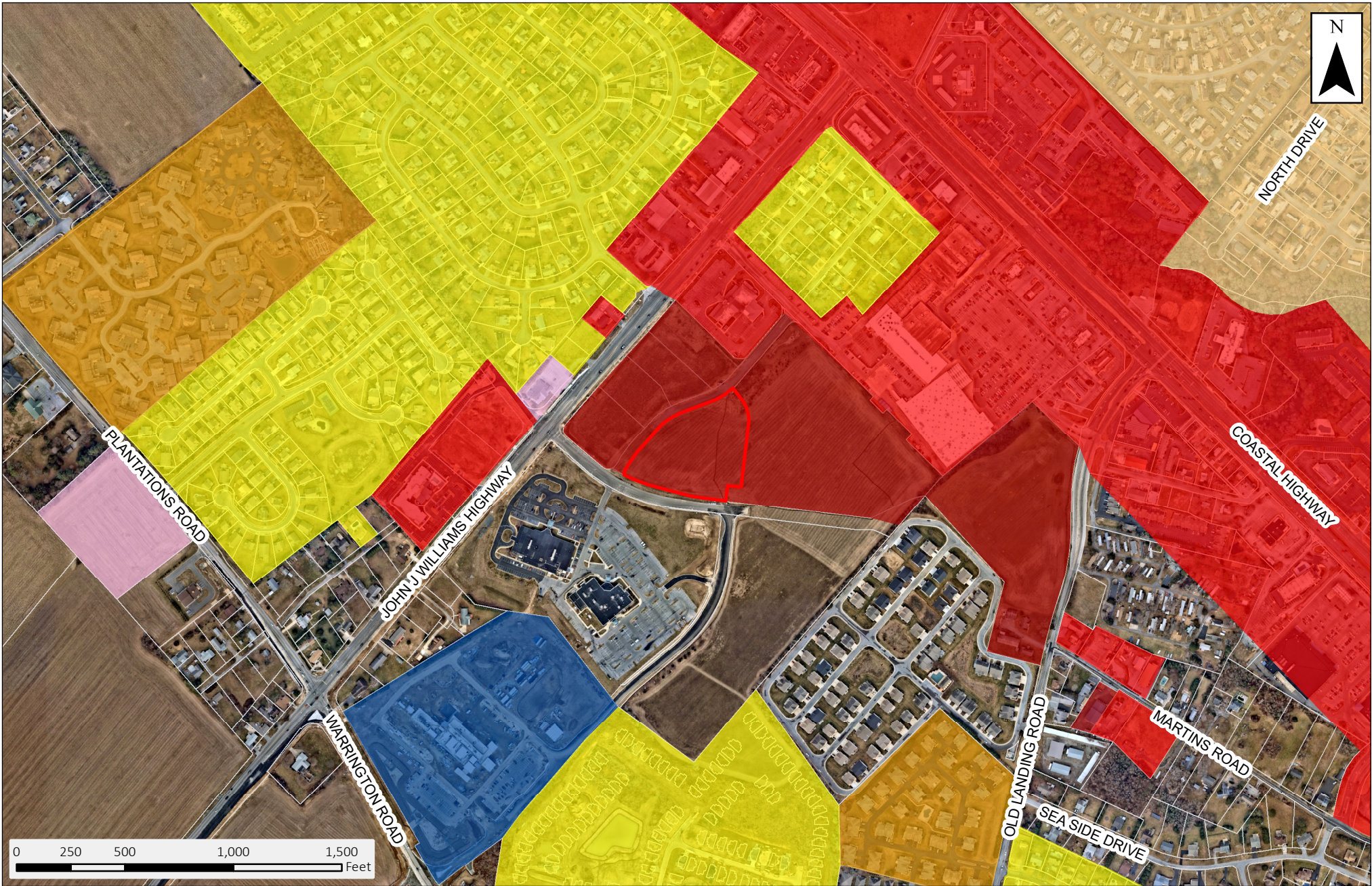
**TAB 4**

**MAPS**



<b>1</b>	<b>Site Location Map</b>		<div style="border: 2px solid red; width: 30px; height: 15px; display: inline-block; margin-right: 5px;"></div> Subject Property <div style="border: 1px solid gray; width: 30px; height: 15px; display: inline-block; margin-right: 5px; margin-top: 5px;"></div> Other Tax Parcels
	Sea Glass Hotel		
	FISHR21001		

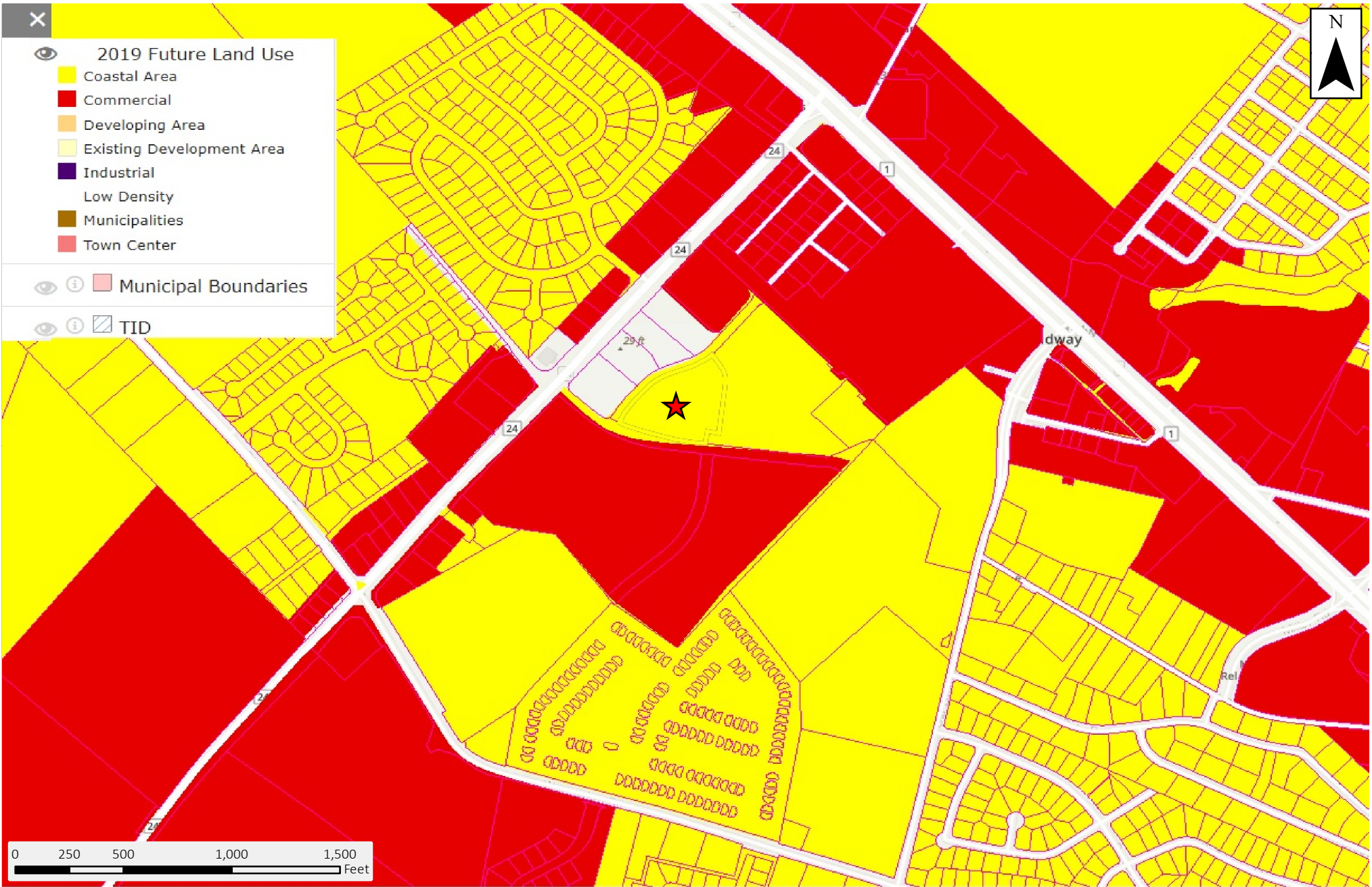




2	County Zoning Map
	Sea Glass Hotel
	FISHR21001



AR-1 (Unshaded)	C-1	GR	I-1
B-1	CR-1	HR-1	MR



3	Sussex County Future Land Use	
	Sea Glass Hotel	
	FISHR21001	



JAMIE WHITEHOUSE, AICP  
DIRECTOR OF PLANNING & ZONING  
(302) 855-7878 T  
(302) 854-5079 F  
jamie.whitehouse@sussexcountyde.gov



**Sussex County**

DELAWARE  
sussexcountyde.gov

## PLEASE NOTE

This paperless packet is published on the County's website for convenience purposes, and only includes information received up to the close of business on the day before a public hearing. Documents received after this, or documents submitted during the public hearing are not uploaded to the Paperless Packet. The legal record is the paper record maintained in the Offices of the Planning & Zoning Department.



COUNTY ADMINISTRATIVE OFFICES  
2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DELAWARE

**PLANNING & ZONING COMMISSION**

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE-CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY J. WINGATE



**Sussex County**

DELAWARE  
sussexcountyde.gov  
302-855-7878 T  
302-854-5079 F  
JAMIE WHITEHOUSE, MRTPI, AICP  
DIRECTOR OF PLANNING & ZONING

**PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET**  
Planning Commission Public Hearing Date: July 28<sup>th</sup>, 2022

Application: CU 2306 Amanda Mapp

Applicant: Amanda Mapp  
18667 Little Lane  
Delmar, DE 19940

Owner: Amanda Mapp  
18667 Little Lane  
Delmar, DE 19940

Site Location: 18667 Little Lane, Delmar

Current Zoning: Agricultural Residential (AR-1) Zoning District

Proposed Use: Irrigation Business

Comprehensive Land Use Plan Reference: Low Density

Councilmanic District: Mr. Vincent

School District: Indian River School District

Fire District: Gumboro Fire Department

Sewer: Septic

Water: Well

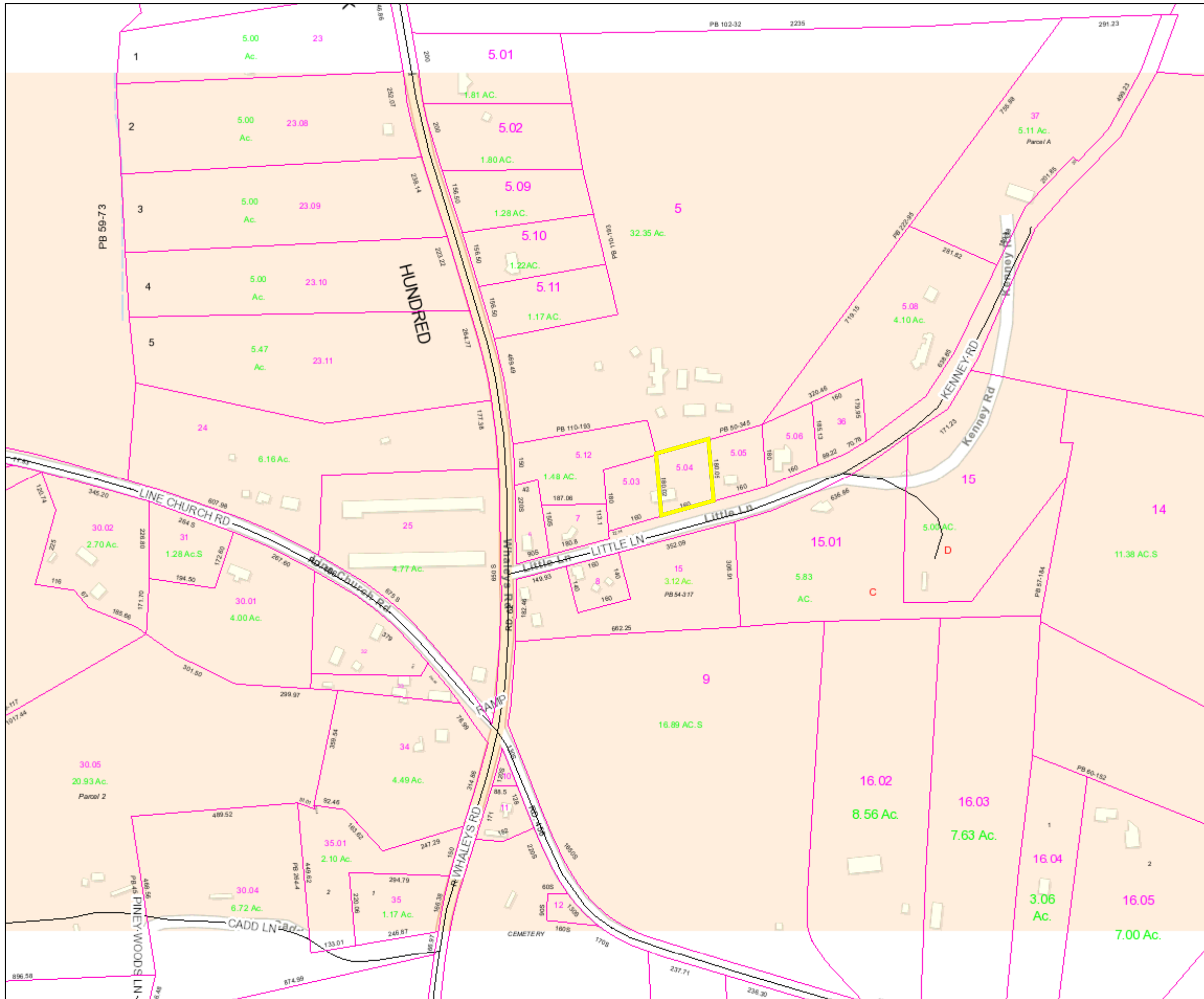
Site Area: 0.65 acres +/-

Tax Map ID.: 333-13.00-5.04





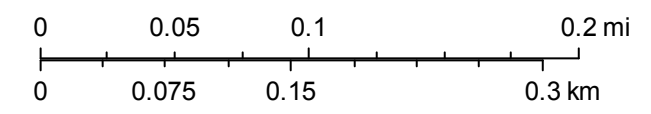
# Sussex County

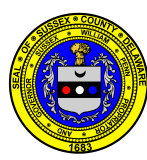


<b>PIN:</b>	<b>333-13.00-5.04</b>
<b>Owner Name</b>	<b>MAPP AMANDA M</b>
<b>Book</b>	<b>5145</b>
<b>Mailing Address</b>	<b>18667 LITTLE LN</b>
<b>City</b>	<b>DELMAR</b>
<b>State</b>	<b>DE</b>
<b>Description</b>	<b>N/RD 459</b>
<b>Description 2</b>	<b>430' E RD 62</b>
<b>Description 3</b>	<b>N/A</b>
<b>Land Code</b>	

- polygonLayer  
     Override 1
- polygonLayer  
     Override 1
- Tax Parcels
- Streets

1:4,514





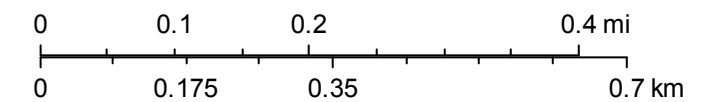
# Sussex County

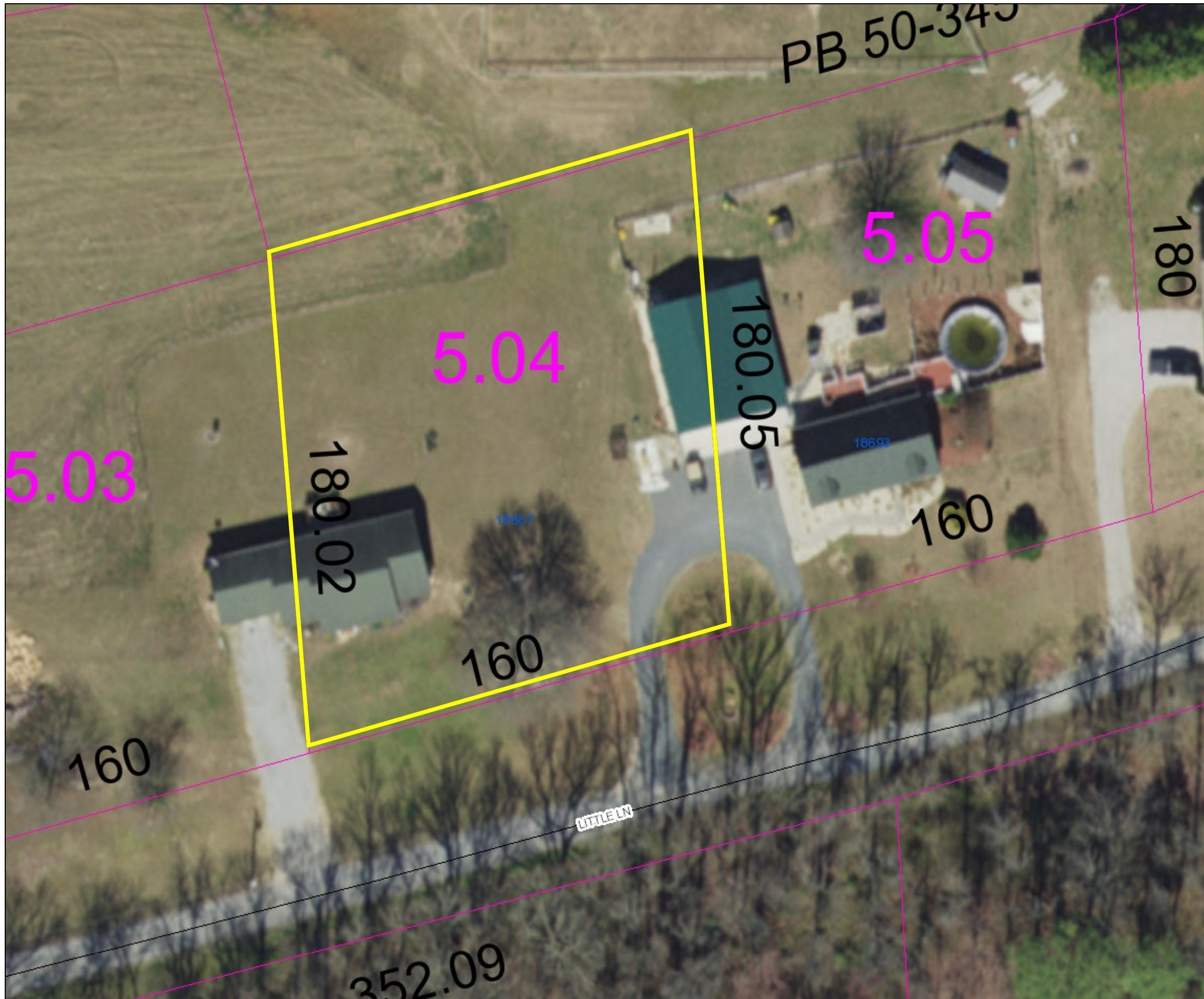
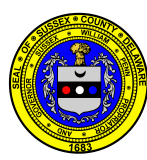


<b>PIN:</b>	333-13.00-5.04
<b>Owner Name</b>	MAPP AMANDA M
<b>Book</b>	5145
<b>Mailing Address</b>	18667 LITTLE LN
<b>City</b>	DELMAR
<b>State</b>	DE
<b>Description</b>	N/RD 459
<b>Description 2</b>	430' E RD 62
<b>Description 3</b>	N/A
<b>Land Code</b>	

- polygonLayer**
- Override 1
- polygonLayer**
- Override 1
- Tax Parcels
- Streets

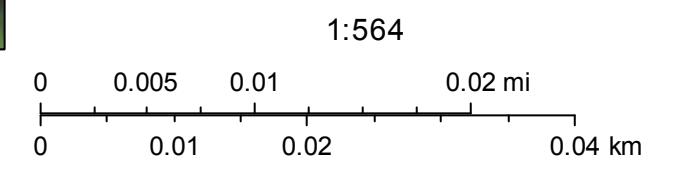
1:9,028





<b>PIN:</b>	333-13.00-5.04
<b>Owner Name</b>	MAPP AMANDA M
<b>Book</b>	5145
<b>Mailing Address</b>	18667 LITTLE LN
<b>City</b>	DELMAR
<b>State</b>	DE
<b>Description</b>	N/RD 459
<b>Description 2</b>	430' E RD 62
<b>Description 3</b>	N/A
<b>Land Code</b>	

- polygonLayer**
- Override 1
- polygonLayer**
- Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- Extent of Right-of-Way
- Municipal Boundaries





JAMIE WHITEHOUSE, AICP MRTPI  
PLANNING & ZONING DIRECTOR  
(302) 855-7878 T  
(302) 854-5079 F  
jamie.whitehouse@sussexcountyde.gov



**Sussex County**

DELAWARE  
sussexcountyde.gov

## Memorandum

To: Sussex County Planning Commission Members  
From: Mrs. Christin Scott, Planner II  
CC: Mr. Vince Robertson, Assistant County Attorney and Applicant  
Date: July 21, 2022  
RE: Staff Analysis for C/U 2306 Amanda Mapp

---

This memo is to provide background and analysis for the Planning Commission to consider as a part of application C/U 2306 Amanda Mapp be reviewed during the July 28, 2022, Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for Tax Parcel 333-13.00-5.04 to allow for an irrigation business on an Agricultural Residential (AR-1) zoned parcel of land. The property is located at 18667 Little Lane in Delmar. The property is lying on the north side of Little Lane, approximately 560 feet east of Whaley's Road (S.C.R. 62).

### Comprehensive Plan Analysis

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the subject property has land use designation of "Low Density Area." The properties to the north, east, west, and south also contain the Future land use designation of "Low Density Area."

As outlined in the 2018 Sussex County Comprehensive Plan, the primary uses envisioned in Low Density Areas are agricultural activities and homes. Business development should be largely confined to businesses addressing the needs of these two uses. Industrial and agribusiness uses that support or depend on agriculture should be permitted. The focus of retail and office uses in Low Density Areas should be providing convenience goods and services to nearby residents. Commercial uses in these residential areas should be limited in their location, size, and hours of operation. More intense commercial uses should be avoided in these areas. Institutional and commercial uses may be appropriate depending on surrounding uses (Sussex County Comprehensive Plan, 4-19).

### Zoning Information

The 2018 Sussex County Comprehensive Plan outlines Zoning Districts by their applicability to each Future Land Use category. Under Table 4.5-2 "Zoning Districts Applicable to Future Land Use Categories", the Agricultural Residential (AR-1) District is listed as an Applicable Zoning District within the "Low Density Area." (Sussex County Comprehensive Plan, 4-25).



The property is zoned Agricultural Residential (AR-1) District. The properties to the north, east, west and the south are also zoned Agricultural Residential (AR-1) District.

Existing Conditional Uses within the Vicinity of the Subject Site

Since 2011, there have been zero (0) Conditional Use applications within a 1.0-mile radius of the Application site.

Based on the analysis of the land use, surrounding zoning and uses, a Conditional Use to allow for an irrigation business in this location, subject to considerations of scale and impact, could be considered as being consistent with the land use, area zoning and surrounding uses.

File #: CU 2306  
202111785

## Planning & Zoning Commission Application Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

**Type of Application: (please check applicable)**

Conditional Use

Zoning Map Amendment

**Site Address of Conditional Use/Zoning Map Amendment**

18667 Little Ln. Delmar, DE 19940

**Type of Conditional Use Requested:**

Operating Small business - Delmarva Irrigation

Tax Map #: 333-13.00-5.04

Size of Parcel(s): 160 x 180

Current Zoning: AR-1

Proposed Zoning: \_\_\_\_\_

Size of Building: Portable building - 200 sq. ft.

Land Use Classification: \_\_\_\_\_

Water Provider: Well

Sewer Provider: \_\_\_\_\_

**Applicant Information**

Applicant Name: Amanda Mapp

Applicant Address: 18667 Little Ln.

City: Delmar

State: DE

Zip Code: 19940

Phone #: 763-592-2167

E-mail: delmarva Irrigation@gmail.com

amandaniff7@gmail.com

**Owner Information**

Owner Name: Amanda Mapp

Owner Address: 18667 Little Ln

City: Delmar

State: DE

Zip Code: 19940

Phone #: 763-592-2167

E-mail: delmarva Irrigation@gmail.com

amandaniff7@gmail.com

**Agent/Attorney/Engineer Information**

Agent/Attorney/Engineer Name: \_\_\_\_\_

Agent/Attorney/Engineer Address: \_\_\_\_\_

City: \_\_\_\_\_

State: \_\_\_\_\_

Zip Code: \_\_\_\_\_

Phone #: \_\_\_\_\_

E-mail: \_\_\_\_\_



# Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

\_\_\_ Completed Application

\_\_\_ Provide eight (8) copies of the Site Plan or Survey of the property

- Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
- Provide a PDF of Plans (may be e-mailed to a staff member)
- Deed or Legal description

\_\_\_ Provide Fee \$500.00

\_\_\_ Optional - Additional information for the Commission/Council to consider (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.

\_\_\_ Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.

\_\_\_ DeIDOT Service Level Evaluation Request Response

\_\_\_ PLUS Response Letter (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

### Signature of Applicant/Agent/Attorney

Amanda Mapp

Date: 8/6/2021

### Signature of Owner

Amanda Mapp

Date: 8/6/2021

### For office use only:

Date Submitted: 8/6/2021

Fee: \$500.00 Check #: 1303

Staff accepting application: NT

Application & Case #: 202111785

Location of property: \_\_\_\_\_

Subdivision: \_\_\_\_\_

Date of PC Hearing: \_\_\_\_\_

Recommendation of PC Commission: \_\_\_\_\_

Date of CC Hearing: \_\_\_\_\_

Decision of CC: \_\_\_\_\_



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

NICOLE MAJESKI  
SECRETARY

July 19, 2021

Mr. Jamie Whitehouse, Director  
Sussex County Planning & Zoning  
P.O. Box 417  
Georgetown, DE 19947

Dear Mr. Whitehouse:

The Department has completed its review of a Service Level Evaluation Request for the **Amanda Mapp** proposed land use application, which we received on July 13, 2021. This application is for an approximately 0.64-acre parcel (Tax Parcel: 333-13.00-5.04). The subject land is located on the north side of Little Lane (Sussex Road 459). The subject land is currently zoned AR-1 (Agriculture Residential) and the applicant seeks a conditional use approval to place a portable building there for Delmarva Irrigation, Inc.

Per the 2019 Delaware Vehicle Volume Summary, the annual average daily traffic volume along Little Lane is 102 vehicles per day.

Based on our review, we estimate that the above land use will generate fewer than 50 vehicle trips per day. This number of trips is below DeIDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. DeIDOT's regulations specify the minimum TIS warrants as 50 vehicle trips in any hour and/or 500 vehicle trips per day. Because the proposed land use would generate fewer than 50 vehicle trips per day, we consider the development's traffic impact to be **diminutive** in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DeIDOT's description of this application as diminutive with regard to warranting a TIS does not mean that it is diminutive in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.

If the County approves this application, the applicant should be reminded that DeIDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.



Mr. Jamie Whitehouse  
Page 2 of 2  
July 19, 2021

Please contact Ms. Annamaria Furrato, at (302) 760-2710, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.  
County Coordinator  
Development Coordination

TWB:afm

cc: Amanda Mapp, Applicant  
Russell Warrington, Sussex County Planning & Zoning  
David Edgell, Coordinator, Cabinet Committee on State Planning Issues  
Todd Sammons, Assistant Director, Development Coordination  
Scott Rust, South District Public Works Manager, Maintenance & Operations  
Steve McCabe, Sussex County Review Coordinator, Development Coordination  
Derek Sapp, Subdivision Manager, Development Coordination  
Kevin Hickman, Subdivision Manager, Development Coordination  
Brian Yates, Subdivision Manager, Development Coordination  
John Andrescavage, Subdivision Manager, Development Coordination  
James Argo, South District Project Reviewer, Maintenance & Operations  
Troy Brestel, Project Engineer, Development Coordination  
Claudy Joinville, Project Engineer, Development Coordination  
Annamaria Furrato, Project Engineer, Development Coordination

**SUSSEX COUNTY ENGINEERING DEPARTMENT**  
**UTILITY PLANNING & DESIGN REVIEW DIVISION**  
**C/U & C/Z COMMENTS**

TO: **Jamie Whitehouse**

REVIEWER: **Chris Calio**

DATE: **7/8/2022**

APPLICATION: **CU 2306 Amanda Mapp**

APPLICANT: **Amanda Mapp**

FILE NO: **WSPA-5.02**

TAX MAP &  
PARCEL(S): **333-13.00-5.04**

LOCATION: **Lying on the north side of Little Lane, approximately 560 feet east of Whaleys Road (SCR 62). 18667 Little Lane, Delmar**

NO. OF UNITS: **Irrigation Business**

GROSS  
ACREAGE: **0.65**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

**SEWER:**

(1). Is the project in a County operated and maintained sanitary sewer and/or water district?

Yes

No

a. If yes, see question (2).

b. If no, see question (7).

(2). Which County Tier Area is project in? **Tier 4**

(3). Is wastewater capacity available for the project? **N/A** If not, what capacity is available? **N/A**.

(4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.

(5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **N/A** If yes, the current System Connection Charge Rate is **Unified \$6,600.00** per EDU. Please contact **N/A** at **302-855-7719** for additional information on charges.

- (6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **N/A**
- Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.
- (7). Is project adjacent to the Unified Sewer District? **N/A**
- (8). Comments: **The Sussex County Engineering Department does not currently have a schedule to provide sanitary sewer service to this parcel.**
- (9). Is a Sewer System Concept Evaluation required? **Not at this time**
- (10). Is a Use of Existing Infrastructure Agreement Required? **Not at this time**
- (11). **All residential roads must meet or exceed Sussex County minimum design standards.**

UTILITY PLANNING & DESIGN REVIEW APPROVAL:



John J. Ashman  
Sr. Manager of Utility Planning & Design Review

Xc: Hans M. Medlarz, P.E.  
Lisa Walls  
No Permit Tech Assigned



T.M. #333-13.00-5.04

LANDS N/F  
JOHN W. & NICOLE D. SCOTT  
DB 3142-146



N 85°20'10" E 160.00'

SHED TO BE  
RELOCATED

WELL

28,226 SQ. FT.

PROPOSED  
RELOCATION

LANDS N/F  
KENNY E. BRUCE, JR.  
DB 3933-58

LANDS N/F  
KENNY E., JR. & SANDY  
BRUCE  
DB 1932-74



430'+/- TO SCR #62

P.O.B.

S 85°20'39" W

LITTLE LANE (50' RM) SCR #459

- NOTES: 1. THIS SITE IS NOT IMPACTED BY A 100 YEAR FLOOD AS PER FEMA MAP 10005CO600K DATED 3/16/15  
2. NO WETLANDS APPEAR ON THIS SITE PER THE 2007 NATIONAL WELANDS INVENTORY.

- CONCRETE MONUMENT (FOUND)
- ▲ IRON ROD (FOUND)

THIS SURVEY AND PLAT DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHTS-OF-WAY OR EASEMENTS CROSSING THIS PROPERTY OTHER THAN THOSE SHOWN. NO TITLE SEARCH PROVIDED OR STIPULATED.

### SITE PLAN FOR

## DELMARVA IRRIGATION

18667 LITTLE LANE, DELMAR, DE 19940  
LITTLE CREEK HUNDRED SUSSEX COUNTY  
STATE OF DELAWARE  
SCALE 1" = 50' AUGUST 2, 2021

I, DONALD K. MILLER, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

PREPARED BY:

PH: 302-629-9895  
FX: 302-629-2391

**MILLER** LAND SURVEYING  
**LEWIS, INC.**

1560 MIDDLEFORD RD.

SEAFORD, DE. 19973

ROBERT C. WHEATLEY, CHAIRMAN  
MARTIN L. ROSS, VICE CHAIRMAN  
R. KELLER HOPKINS  
DOUGLAS B HUDSON  
KIM HOEY STEVENSON



2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DE 19947  
(302) 855-7878 T  
(302) 854-5079 F  
sussexcountyde.gov

# Sussex County Planning & Zoning Commission

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET  
Planning Commission Public Hearing Date July 28, 2022

Application: C/U 2309 Rockswitch Properties, LLC

Owners: Rockswitch Properties, LLC  
12300 Rockswitch Street  
Milton, DE 19968

Applicant: Rockswitch Properties, LLC  
12300 Rockswitch Street  
Milton, DE 19968

Site Location: 12537 Coastal Highway, Milton. The property is lying on the north side of Coastal Highway (Route 1), approximately 0.14 miles southeast of Deep Branch Road (S.C.R. 234).

Zoning: AR-1 (Agricultural Residential District)

Current Use: Residential

Proposed Use: Real Estate Office

Comprehensive Land Use Plan Reference: Low Density Area

Councilmatic District: Mr. Schaeffer

School District: Cape Henlopen School District

Fire District: Milton Fire District

Sewer: Septic

Water: Private Well

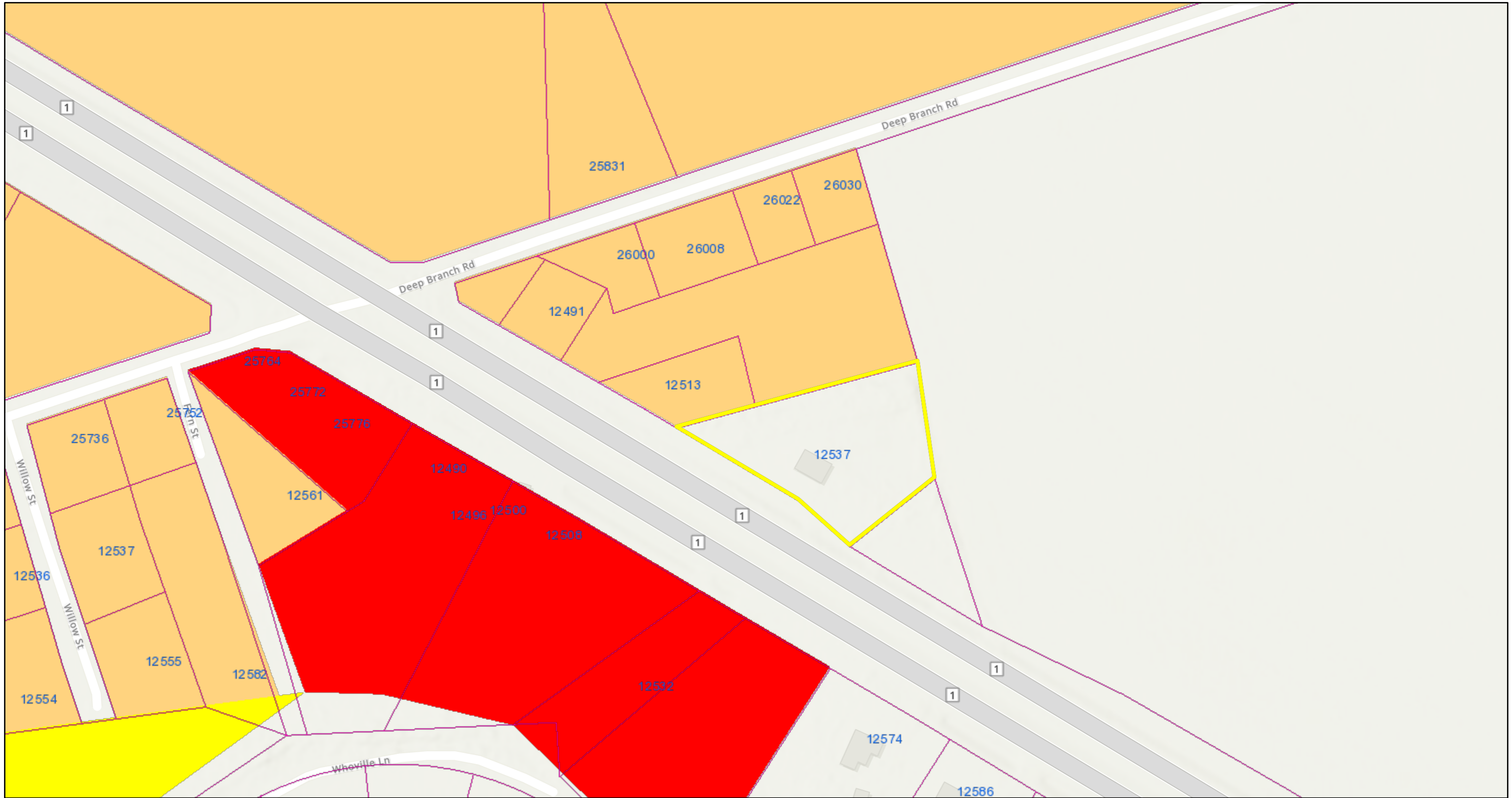
Site Area: 1.3802 ac. +/-

Tax Map ID.: 235-8.00-62.00



COUNTY ADMINISTRATIVE OFFICES  
2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DELAWARE 19947

# Sussex County

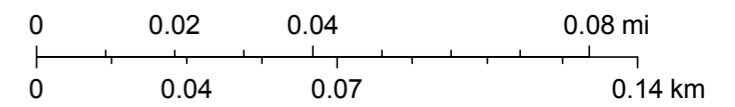


June 28, 2022

- Override 1
- Override 1
- Tax Parcels
- 911 Address
- Zoning**
- Agricultural Residential - AR-1

- |   |  |  |
|---|--|--|
| <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #ffffcc; border: 1px solid black; margin-right: 5px;"></span> Agricultural Residential - AR-2</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #ffff00; border: 1px solid black; margin-right: 5px;"></span> Medium Residential - MR</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #ffcc99; border: 1px solid black; margin-right: 5px;"></span> General Residential - GR</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #ff9933; border: 1px solid black; margin-right: 5px;"></span> High Density Residential - HR-1</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #ff6600; border: 1px solid black; margin-right: 5px;"></span> High Density Residential - HR-2</li> </ul> | <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #808000; border: 1px solid black; margin-right: 5px;"></span> Vacation, Retire, Resident - VRP</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #f08080; border: 1px solid black; margin-right: 5px;"></span> Neighborhood Business - B-1</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #f08080; border: 1px solid black; margin-right: 5px;"></span> Neighborhood Business - B-2</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-image: radial-gradient(circle, transparent 1px, black 1px); background-size: 4px 4px; border: 1px solid black; margin-right: 5px;"></span> Business Research - B-3</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #ff0000; border: 1px solid black; margin-right: 5px;"></span> General Commercial - C-1</li> </ul> | <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #ff6666; border: 1px solid black; margin-right: 5px;"></span> General Commercial - C-2</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-image: radial-gradient(circle, transparent 1px, black 1px); background-size: 2px 2px; border: 1px solid black; margin-right: 5px;"></span> General Commercial - C-3</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-image: linear-gradient(45deg, transparent 49%, black 49%, black 51%, transparent 51%), linear-gradient(-45deg, transparent 49%, black 49%, black 51%, transparent 51%); background-size: 4px 4px; border: 1px solid black; margin-right: 5px;"></span> General Commercial - C-4</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-image: radial-gradient(circle, transparent 1px, black 1px); background-size: 4px 4px; border: 1px solid black; margin-right: 5px;"></span> General Commercial - C-5</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #800000; border: 1px solid black; margin-right: 5px;"></span> Commercial Residential - CR-1</li> </ul> |
| <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #0000ff; border: 1px solid black; margin-right: 5px;"></span> Institutional - I-1</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #008080; border: 1px solid black; margin-right: 5px;"></span> Marine - M</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #cccccc; border: 1px solid black; margin-right: 5px;"></span> Limited Industrial - LI-1</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #999999; border: 1px solid black; margin-right: 5px;"></span> Light Industrial - LI-2</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #666666; border: 1px solid black; margin-right: 5px;"></span> Heavy Industrial - HI-1</li> </ul>   |  |  |

1:2,257



Sussex County, Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community, Sussex County Government, Sussex County Mapping and Addressing, Esri Community Maps Contributors, County of




# Sussex County

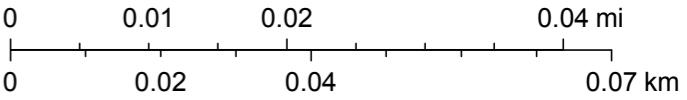


June 28, 2022

TP 235-8.00-62.00

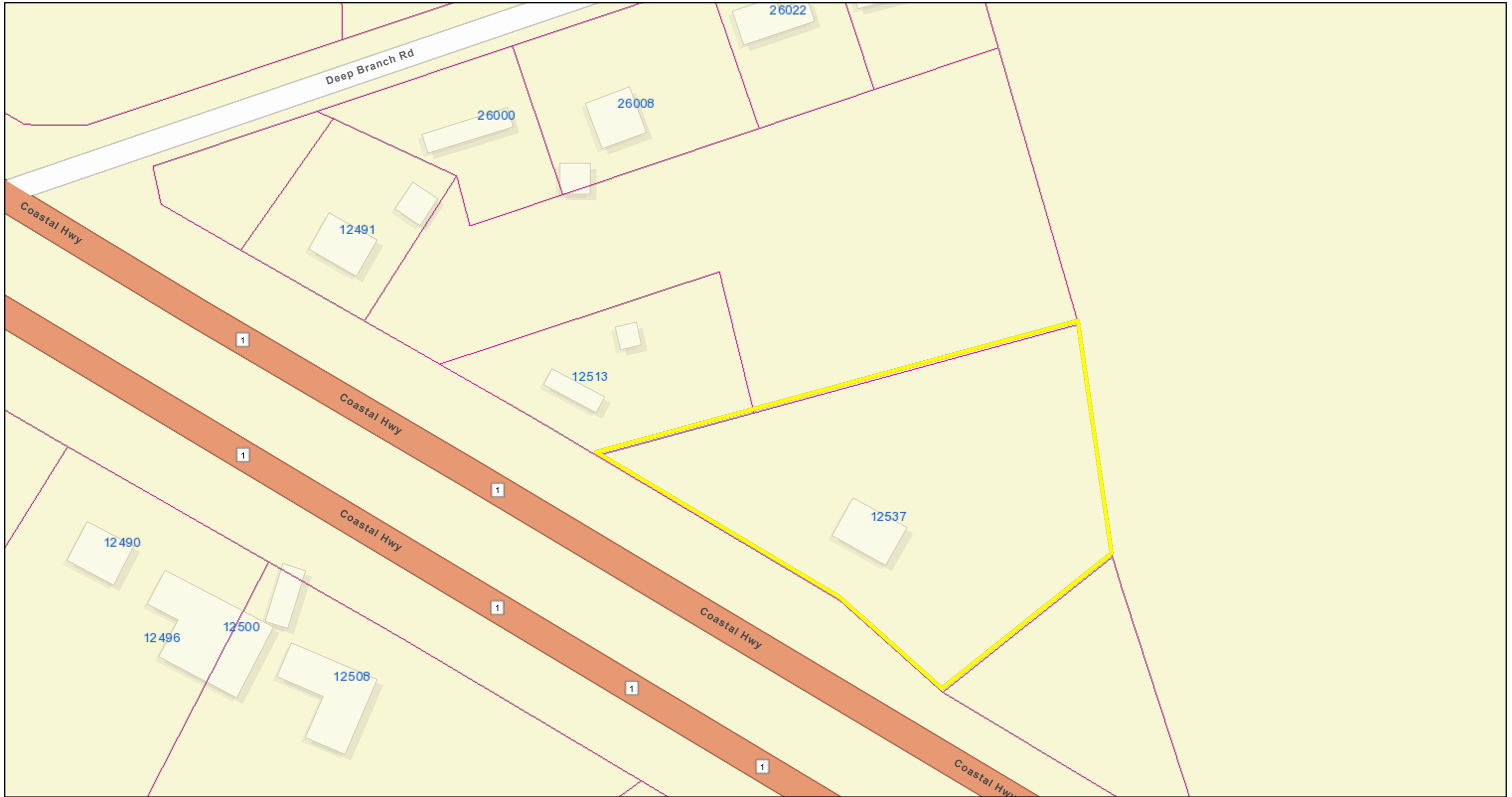
1:1,128

-  Override 1
-  Override 1
-  Tax Parcels



Maxar, Microsoft, Sussex County Government




# Sussex County

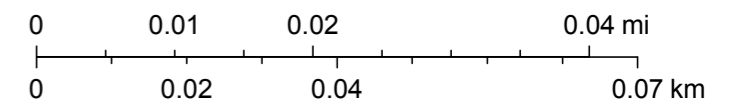


June 28, 2022

TP 235-8.00-62.00

1:1,128

-  Override 1
-  Override 1
-  Tax Parcels
- 911 Address



Sussex County Government, Sussex County Mapping and Addressing, Esri Community Maps Contributors, County of Sussex, DE, Delaware FirstMap, VGIN, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA

JAMIE WHITEHOUSE, AICP MRTPI  
PLANNING & ZONING DIRECTOR  
(302) 855-7878 T  
(302) 854-5079 F  
jamie.whitehouse@sussexcountyde.gov



**Sussex County**

DELAWARE  
sussexcountyde.gov

## Memorandum

To: Sussex County Planning Commission Members  
From: Michael Lowrey, Planner III  
CC: Mr. Vince Robertson, Assistant County Attorney and Applicant  
Date: July 13, 2022  
RE: Staff Analysis for C/U 2309 Rockswitch Properties, LLC

---

This memo is to provide background and analysis for the Planning Commission to consider as a part of application C/U 2309 Rockswitch Properties, LLC to be reviewed during the July 28<sup>th</sup>, 2022, Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for Tax Parcel: 235-8.00-62.00 to allow for a realty office use. The property is located on the north side of Coastal Highway (Route 1), approximately 0.14 miles southeast of Deep Branch Road (S.C.R. 234). The parcel is 1.3802 acres +/-.

### Comprehensive Plan Analysis

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use Map in the plan indicates that the parcel has a designation of “Low Density”, with the parcels immediately to the east and northeast also having a Future Land Use Map designation of “Low Density.” The adjacent parcels to the west and northwest of the subject property have the Future Land Use Map designation of “Existing Development Area” with properties on the opposite side of Coastal Highway (Route 1) also designated as “Existing Development Area.”

As outlined within the 2018 Sussex County Comprehensive Plan, Low Density Areas are areas zoned Agricultural Residential (AR-1). The Plan notes that retail and office uses in Low Density Areas should be focused on providing “convenience goods and services to nearby residents” as well as indicating that the commercial uses “should be limited in their location, size, and hours of operation.” (Sussex County Comprehensive Plan, 4-19) The Plan notes that these policy guidelines are provided to “maintain the rural landscape” in Low Density Areas (Sussex County Comprehensive Plan, 4-18).

### Zoning Information

The subject property is zoned Agricultural Residential (AR-1). The properties to the east on both sides of Coastal highway (Route 9) are also zoned Agricultural Residential (AR-1). The parcels immediately south across Coastal Highway (Route 9) and extending westward to the intersection with Deep Branch Road (S.C.R. 234) are zoned General Commercial (C-1). The remaining



properties adjacent to the west of the subject parcel on the north side of Coastal Highway (Route 9) and extending northwest to Deep Branch Road (S.C.R. 234), are zoned General Residential (GR).

Existing Conditional Uses within the Vicinity of the Subject Site

Since 2011, there has been one (1) Conditional Use application within a 0.5-mile radius of the application site. This application was Conditional Use No. 1992 for the lands of W. Ralph Brumbley to permit a vendor (lunch truck) to sell foods and beverages within an Agricultural Residential (AR-1) Zoning District. This application was approved by the Sussex County Council on Tuesday, January 13, 2015, and this was adopted through Ordinance No. 2383.

Based on the analysis of the land use, surrounding zoning and uses, the Conditional use to allow to allow for a real estate office use within an Agricultural Residential (AR-1) Zoning District could be considered as being consistent with the land use, area zoning and surrounding uses.

File #: CU 2309  
202112175

## Planning & Zoning Commission Application Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

**Type of Application: (please check applicable)**

Conditional Use

Zoning Map Amendment

**Site Address of Conditional Use/Zoning Map Amendment**

12537 Coastal Highway, Milton, DE

**Type of Conditional Use Requested:**

Operation of small office space for real estate service business pursuant to Sussex County Zoning Code 115-22.

**Tax Map #:** 235-8.00-62.00

**Size of Parcel(s):** 1.3802 Acres +/-

**Current Zoning:** AR-1

**Proposed Zoning:** C/U

**Size of Building:** 1,250 S.F. +/- existing

**Land Use Classification:** Residential

**Water Provider:** Private Well

**Sewer Provider:** Septic

**Applicant Information**

Applicant Name: Rockswitch Properties, LLC

Applicant Address: 12300 Rock Switch Street

City: Milton

State: DE

Zip Code: 19968

Phone #: (302) 644-1405

E-mail: richr@atlanticmillwork.com

**Owner Information**

Owner Name: Rockswitch Properties, LLC

Owner Address: 12300 Rock Switch Street

City: Milton

State: DE

Zip Code: 19968

Phone #: (302) 644-1405

E-mail: richr@atlanticmillwork.com

**Agent/Attorney/Engineer Information**

Agent/Attorney/Engineer Name: Baird Mandalas Brockstedt, LLC c/o Mackenzie M. Peet, Esq.

Agent/Attorney/Engineer Address: 1413 Savannah Road, Suite 1

City: Lewes

State: DE

Zip Code: 19958

Phone #: (302) 645-2262

E-mail: mackenzie@bmbde.com





## Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

- Completed Application
- Provide eight (8) copies of the Site Plan or Survey of the property
  - Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
  - Provide a PDF of Plans (may be e-mailed to a staff member)
  - Deed or Legal description
- Provide Fee \$500.00
- Optional - Additional information for the Commission/Council to consider (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.
- Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.
- DeDOT Service Level Evaluation Request Response
- PLUS Response Letter (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney



Date: 08/10/2021

Signature of Owner



Date: 8/10/21

For office use only:

Date Submitted: \_\_\_\_\_

Staff accepting application: \_\_\_\_\_

Location of property: \_\_\_\_\_

Fee: \$500.00 Check #: \_\_\_\_\_

Application & Case #: \_\_\_\_\_

Subdivision: \_\_\_\_\_

Date of PC Hearing: \_\_\_\_\_

Date of CC Hearing: \_\_\_\_\_

Recommendation of PC Commission: \_\_\_\_\_

Decision of CC: \_\_\_\_\_

## Planning & Zoning Project Contact List

### Applicant Information

Applicant Name: Rockswitch Properties, LLC  
Applicant Address: 12300 Rock Switch Street  
City: Milton State: DE Zip: 19968  
Phone #: (302) 644-1405 E-mail: richr@atlanticmillwork.com

### Owner Information

Owner Name: Rockswitch Properties, LLC  
Owner Address: 12300 Rock Switch Street  
City: Milton State: DE Zip: 19968  
Phone #: (302) 644-1405 E-mail: richr@atlanticmillwork.com

### Engineer/Surveyor Information

Engineer/Surveyor Name: John B. Roach Engineering LLC  
Engineer/Surveyor Address: 22184 Melson Road  
City: Georgetown State: DE Zip: 19948  
Phone #: (302) 856-1565 E-mail: \_\_\_\_\_

### Agent/Attorney Information

Agent/Attorney/Name: Baird Mandalas Brockstedt, LLC c/o Mackenzie M. Peet, Esq.  
Agent/Attorney/Address: 1413 Savannah Road, Suite 1  
City: Lewes State: DE Zip: 19958  
Phone #: (302) 645-2262 E-mail: mackenzie@bmbde.com

### Other

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_



## Mailing List Application Form

For Applications requiring a Public Hearing in Sussex County

Please fill out this form and return it with your application. As a part of your application a Public Hearing is required. The property owners within 200' of the site of the application will be notified. Staff will notify the property owners.

### Application Information:

Site Address: 12537 Coastal Highway, Milton, DE

Parcel #: 235-8.00-62.00

Site Address: \_\_\_\_\_

Parcel #: \_\_\_\_\_

Applicant Name: Rockswitch Properties, LLC

Owner Name: Rockswitch Properties, LLC

### Type of Application:

Conditional Use:   
Change of Zone:   
Subdivision:   
Board of Adjustment:

Date Submitted: \_\_\_\_\_

### For office use only:

Date of Public Hearing: \_\_\_\_\_

File #: \_\_\_\_\_

Date list created: \_\_\_\_\_

List created by: \_\_\_\_\_

Date letters mailed: \_\_\_\_\_

Letters sent by: \_\_\_\_\_

**BAIRD MANDALAS BROCKSTEDT, LLC**  
Attorney Operating Account

3670

Date : Aug 10, 2021  
Che # : 3670  
Amount: 500.00  
Paid To: Sussex County Council

Sussex County, DE  
Treasury  
P.O. Box 601  
Georgetown, DE 19947  
Welcome

Re: Conditional Use Application Fee

33020286-0051 Lindsey S 08/13/2021 12:34PM

PERMITS / INSPECTIONS  
CONDITIONAL USE - FEE  
2021 Item: 2021121751Z010 500.00

500.00

Subtotal 500.00  
Total 500.00

CHECK 500.00  
Check Number: 003670

3670

Change due 0.00

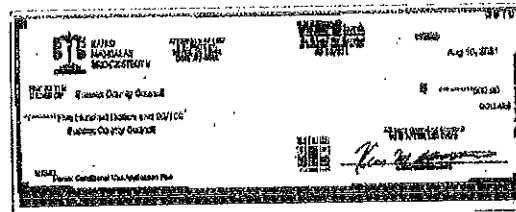
Paid by: BAIRD MANDALS BROCKSTEDT LLC

**BAIRD MANDALAS BROCKSTEDT, LLC**  
Attorney Operating Account

Date : Aug 10, 2021  
Che # : 3670  
Amount: 500.00  
Account: 010  
Paid To: Sussex County Council

Contact: 20988; Reed, Richard  
File : 20988-001; Conditional Use/Rezoning

Re: Conditional Use Application Fee



Thank you for your payment

Sussex County, DE COPY  
DUPLICATE RECEIPT



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 77B  
DOVER, DELAWARE 19903

NICOLE MAJESKI  
SECRETARY

July 27, 2021

Mr. Jamie Whitehouse, Director  
Sussex County Planning & Zoning  
P.O. Box 417  
Georgetown, DE 19947

Dear Mr. Whitehouse:

The Department has completed its review of a Service Level Evaluation Request for the **Rockswitch Properties, LLC** proposed land use application, which we received on July 14, 2021. This application is for an approximately 1.38-acre parcel (Tax Parcel: 235-8.00-62.00). The subject land is located on the north side of Coastal Highway (State Route 1) about 0.1 mile south of the intersection with Deep Branch Road (Sussex Road 234). The subject land is currently zoned AR-1 (Agriculture Residential) and the applicant seeks a conditional use approval to operate an office for property management/ construction company.

Per the 2019 Delaware Vehicle Volume Summary, the annual average and summer average daily traffic volumes along Coastal Highway from Union Street Extended to Broadkill Road are 25,224 and 32,434 vehicles per day, respectively.

Based on our review, we estimate that the above land use will generate fewer than 50 vehicle trips per day. This number of trips is below DelDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. DelDOT's regulations specify the minimum TIS warrants as 50 vehicle trips in any hour and/or 500 vehicle trips per day. Because the proposed land use would generate fewer than 50 vehicle trips per day, we consider the development's traffic impact to be **diminutive** in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DelDOT's description of this application as diminutive with regard to warranting a TIS does not mean that it is diminutive in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.

Mr. Jamie Whitehouse  
Page 2 of 2  
July 27, 2021

The above-mentioned property is adjacent to State Route 1, making it subject to the Department's Corridor Capacity Preservation Program. The Program was established in accordance with the provisions of Title 17, Section 145 of the Delaware Code. The main goal of the Program is to maintain the capacity of the existing highway by minimizing and consolidating the number of high-density, direct access points on the arterial highway. According to the Office of State Planning Coordination's Strategies for State Policies and Spending document, the property is located in Investment Level 4. No new or expanded direct access to the State Route 1 will be permitted in these areas. Access will be permitted to existing secondary roads. If alternative access is determined to be reasonable but degrades the operation or safety of an adjacent intersection (as determined by a traffic engineering study), then direct access to the corridor may also be permitted by way of rights-in/rights-out access only. The Corridor Capacity Preservation Program policy can be viewed on the Department's website at [www.deldot.gov](http://www.deldot.gov). The manual is located under the publication link.

If the County approves this application, the applicant should be reminded that DeIDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.

Please contact Ms. Annamaria Furmato, at (302) 760-2710, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.  
County Coordinator  
Development Coordination

TWB:afm

cc: Rockswitch Properties, LLC, Applicant  
Russell Warrington, Sussex County Planning & Zoning  
David Edgell, Coordinator, Cabinet Committee on State Planning Issues  
Todd Sammons, Assistant Director, Development Coordination  
Scott Rust, South District Public Works Manager, Maintenance & Operations  
Steve McCabe, Sussex County Review Coordinator, Development Coordination  
Derek Sapp, Subdivision Manager, Development Coordination  
Kevin Hickman, Subdivision Manager, Development Coordination  
Brian Yates, Subdivision Manager, Development Coordination  
John Andrescavage, Subdivision Manager, Development Coordination  
James Argo, South District Project Reviewer, Maintenance & Operations  
Troy Brestel, Project Engineer, Development Coordination  
Claudy Joinville, Project Engineer, Development Coordination  
Annamaria Furmato, Project Engineer, Development Coordination

**SUSSEX COUNTY ENGINEERING DEPARTMENT  
UTILITY PLANNING & DESIGN REVIEW DIVISION  
C/U & C/Z COMMENTS**

TO: **Jamie Whitehouse**

REVIEWER: **Chris Calio**

DATE: **7/8/2022**

APPLICATION: **CU 2309 Rockswitch Properties, LLC**

APPLICANT: **Rockswitch Properties, LLC**

FILE NO: **NCPA-5.03**

TAX MAP &  
PARCEL(S): **235-8.00-62.00**

LOCATION: **12537 Coastal Highway, Milton. Lying on the north side of Coastal Highway (Rt. 1), approximately 0.14 miles southeast of Deep Branch Road (SCR 234)**

NO. OF UNITS: **Real Estate Office**

GROSS  
ACREAGE: **1.3802**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

**SEWER:**

(1). Is the project in a County operated and maintained sanitary sewer and/or water district?

Yes

No

a. If yes, see question (2).

b. If no, see question (7).

(2). Which County Tier Area is project in? **Tier 4**

(3). Is wastewater capacity available for the project? **N/A** If not, what capacity is available? **N/A**.

(4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.

(5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **N/A** If yes, the current System Connection Charge Rate is **Unified \$6,600.00** per EDU. Please contact **Choose an item.** at **302-855-7719** for additional information on charges.

- (6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **N/A**
- Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.
- (7). Is project adjacent to the Unified Sewer District? **N/A**
- (8). Comments: **The proposed Conditional Use is not in an area where the Sussex County Engineering Department has a schedule to provide sanitary sewer service.**
- (9). Is a Sewer System Concept Evaluation required? **Not at this time**
- (10). Is a Use of Existing Infrastructure Agreement Required? **Not at this time**
- (11). **All residential roads must meet or exceed Sussex County minimum design standards.**

UTILITY PLANNING & DESIGN REVIEW APPROVAL:

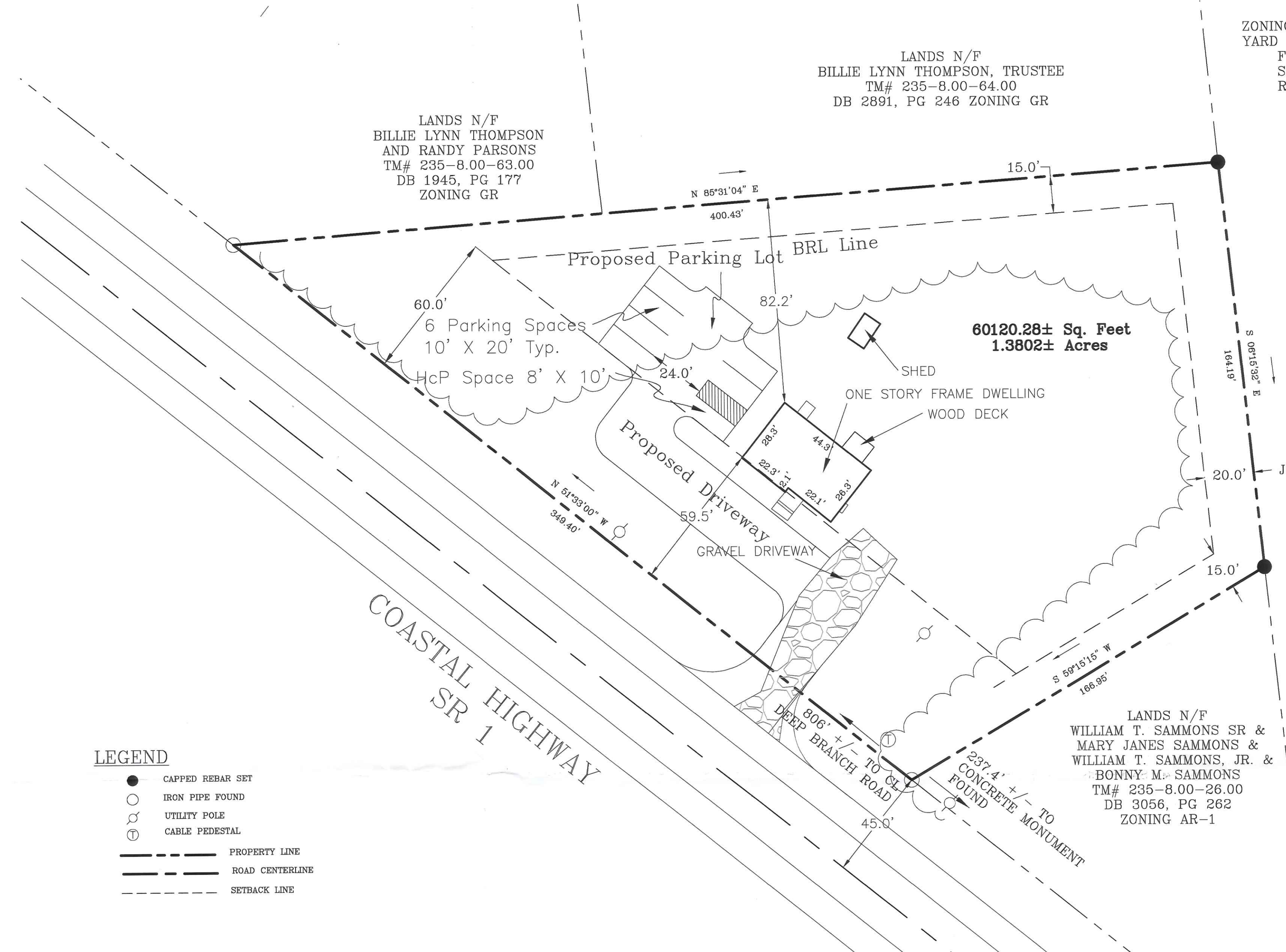


---

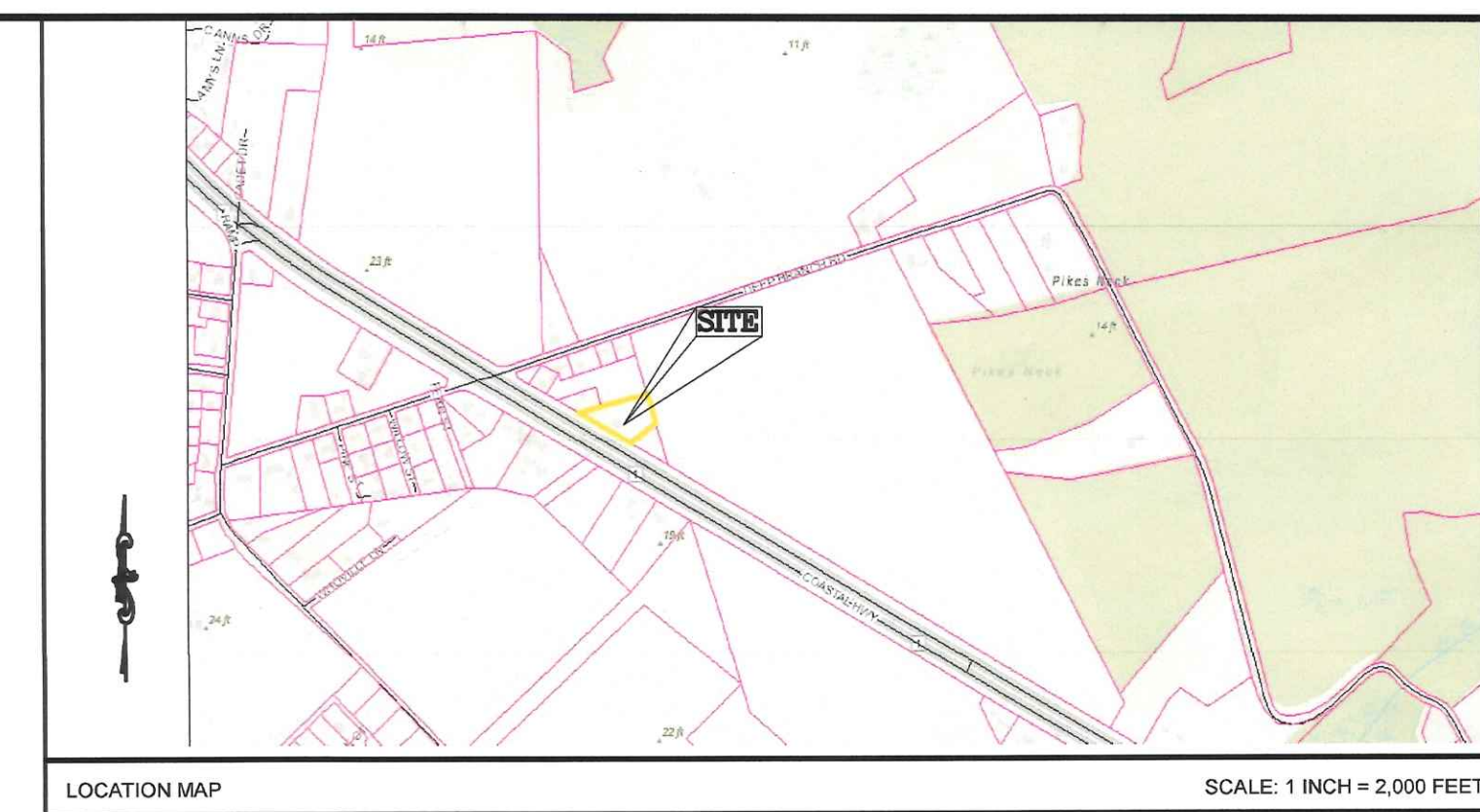
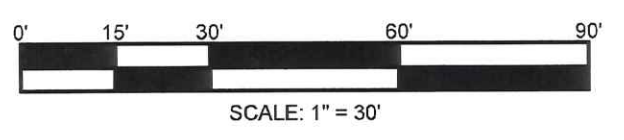
John J. Ashman  
Sr. Manager of Utility Planning & Design Review

Xc: Hans M. Medlarz, P.E.  
Lisa Walls  
No Permit Tech Assigned





- LEGEND**
- CAPPED REBAR SET
  - IRON PIPE FOUND
  - ⊕ UTILITY POLE
  - ⊖ CABLE PEDESTAL
  - PROPERTY LINE
  - ROAD CENTERLINE
  - SETBACK LINE



**PLAN DATA:**

PARCEL I.D. No	* 235-8.00-62.00
PLAT REFERENCE	* D.B. 3830, PAGE 143
ZONING DISTRICT	* AR-1 (ZONING CLASSIFICATION)
ROADWAY CLASSIFICATION	* ROUTE 1 (MAJOR HIGHWAY)
SEWERAGE DISPOSAL	* INDIVIDUAL ON-SITE WASTEWATER DISPOSAL SYSTEMS (PRIVATE)
SEWERAGE	* SEWERAGE IS SUBJECT TO APPROVAL OF THE THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL.
WATER SUPPLY	* INDIVIDUAL ON-SITE WELLS (PRIVATE)
WATER	* WATER IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DIVISION OF PUBLIC HEALTH.
OWNER	* ROCKSWITCH PROPERTIES, LLC 12300 ROCK SWITCH STREET MILTON, DE 19968
LOT AREA RATIONALE	* AREA IN LOTS = 1.3802 ACRES
TOTAL No. OF LOTS	* 1 SINGLE FAMILY DWELLING UNITS
(TID) PROXIMITY	* 6.0 MILES
WETLANDS	* THERE ARE NO WETLANDS ON THIS SITE
100 YEAR FLOODPLAIN	* THIS PARCEL IS NOT WITHIN A 100 YEAR FLOOD PLANE

**ENGINEER'S CERTIFICATION**

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES.

*JBR* 8/07/2021  
JOHN B. ROACH, JR., P.E. DATE



**PROPOSED SITE PLAN**

FOR PROPERTY KNOWN AS:  
**LANDS OF "ROCKSWITCH PROPERTIES, LLC"**

ALSO KNOWN AS:  
"12537 COASTAL HIGHWAY, MILTON, DE"

SITUATE IN:  
BROAD KILL HUNDRED \* SUSSEX COUNTY  
STATE OF DELAWARE  
TAX MAP#: 235-8.00-62.00

Revision Number	Revision Date	Revision Description



22184 MELSON ROAD  
GEORGETOWN, DELAWARE 19947  
PHONE NO. 302-856-1565

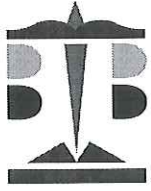
Drawn By: JBR Date: 08-05-2021  
Scale: 1"=30' Sheet 1/1



BAIRD  
MANDALAS  
BROCKSTEDT<sup>LLP</sup>

## EXHIBIT A

# Property and Deed Information



BAIRD  
MANDALAS  
BROCKSTEDT LLC

# EXHIBIT B

## Survey

30680

BK: 3830 PG: 143

NO TITLE SEARCH REQUESTED  
NO TITLE SEARCH PERFORMED  
NO TITLE GUARANTEE  
DEED PREPARATION ONLY

Tax No.: 2-35 8.00 62.00  
PREPARED BY & RETURN TO:  
Tunnell & Raysor, P.A.  
30 E. Pine Street  
Georgetown, DE 19947  
File No. DO1652/HG/sgm

RETURN TO:  
Rockswitch Properties, LLC  
12300 Rockswitch Street  
Milton, Delaware 19968

THIS DEED, made this 5<sup>th</sup> day of October, 2010,

- BETWEEN -

RICHARD A. REED and KAREN J. REED, his wife, of 12300 Rockswitch Street, Milton, Delaware 19968, parties of the first part,

- AND -

ROCKSWITCH PROPERTIES, LLC, of 12300 Rockswitch Street, Milton, Delaware 19968, party of the second part.

**WITNESSETH:** That the said parties of the first part, for and in consideration of the sum of **ONE DOLLAR (\$1.00)**, lawful money of the United States of America, the receipt whereof is hereby acknowledged, hereby grant and convey unto the party of the second part, and its heirs and assigns, in fee simple, the following described lands, situate, lying and being in Sussex County, State of Delaware:

**ALL** that certain tract, piece or parcel of land situate, lying and being in Broadkill Hundred, Sussex County, State of Delaware, fronting on the Northeasterly right-of-way line of U.S. Route 1, Northbound, being 45.00 feet from the centerline thereof, adjoining lands of Conrad H. Fassell, Sr., et al, lands of Carrie H. Leverage, lands of James Lee Carpenter, and lands of Henry E. Atkins and being more particularly described as follows, to wit:

**BEGINNING** at a set iron pipe on the aforementioned Northeasterly right-of-way line of U.S. Route 1, Northbound, and at a corner for lands of Henry E. Atkins; thence proceeding along said right-of-way line, North 51 degrees 33 minutes West 349.40 feet to a set iron pipe at a corner for lands of Conrad H. Fassell, Sr., et al, thence following said Fassell lands and partly with lands of Carrie H. Leverage, North 85 degrees 31 minutes 04

80

seconds East 400.43 feet to a set iron pipe on line of lands of James Lee Carpenter; thence running with said Carpenter lands, South 06 degrees 15 minutes 32 seconds East 164.19 feet to a set iron pipe at a corner for lands of Henry E. Atkins; thence finally proceeding along Atkins lands, South 59 degrees 15 minutes 15 seconds West 166.95 feet to the place of beginning. Containing 1.3804 acres of land, more or less, in accordance with a survey prepared by Charles D. Murphy, P.L.S., 291, dated August 25, 1980.

BEING the same lands conveyed to Richard A. Reed and Karen J. Reed, his wife, by deed of Albert C. Freischmidt, Jr., and Patricia M. Chapman, said deed dated December 22, 2004, and recorded on December 23, 2004, in the Office of the Recorder of Deeds in and for Sussex County, Delaware in Deed Book 3079, Page 085.

SUBJECT to any and all restrictions, reservations, conditions, easements and agreements of record in the Office of the Recorder of Deeds in and for Sussex County, Delaware.

IN WITNESS WHEREOF, the parties of the first part have hereunto set their hands and seals the day and year first above written.

Consideration: .00  
County .00  
State .00  
Town Total .00  
Received: Faith R Oct 06, 2010

Signed, Sealed and Delivered in the presence of:

Witness [Signature]  
Witness [Signature]

[Signature] (SEAL)  
Richard A. Reed  
[Signature] (SEAL)  
Karen J. Reed

RECEIVED

Recorder of Deeds  
John F. Brody  
Oct 06, 2010 02:28P  
Sussex County  
Doc. Surcharge Paid

STATE OF DELAWARE OCT 06 2010 : ss

COUNTY OF SUSSEX ASSESSMENT DIVISION OF SUSSEX COUNTY

BE IT REMEMBERED, that on the 5<sup>th</sup> day of October, 2010, personally came before me, the subscriber, Richard A. Reed and Karen J. Reed, parties of the first part to this Indenture, known to me personally to be such, and acknowledged this Indenture to be their act and deed.

GIVEN under my Hand and Seal of Office the day and year aforesaid.

HEIDI J. A. GILMORE  
ATTORNEY AT LAW WITH  
POWER TO ACT AS NOTARY PUBLIC  
PER 29 DEL. C SEC 4323 (A)3

[Signature]  
Notary Public

My Commission Expires: \_\_\_\_\_

Consideration: 3830 .00

County .00  
State .00  
Received: Date: Oct 06, 2010



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 77B  
DOVER, DELAWARE 19903

NICOLE MAJESKI  
SECRETARY

July 27, 2021

Mr. Jamie Whitehouse, Director  
Sussex County Planning & Zoning  
P.O. Box 417  
Georgetown, DE 19947

Dear Mr. Whitehouse:

The Department has completed its review of a Service Level Evaluation Request for the **Rockswitch Properties, LLC** proposed land use application, which we received on July 14, 2021. This application is for an approximately 1.38-acre parcel (Tax Parcel: 235-8.00-62.00). The subject land is located on the north side of Coastal Highway (State Route 1) about 0.1 mile south of the intersection with Deep Branch Road (Sussex Road 234). The subject land is currently zoned AR-1 (Agriculture Residential) and the applicant seeks a conditional use approval to operate an office for property management/ construction company.

Per the 2019 Delaware Vehicle Volume Summary, the annual average and summer average daily traffic volumes along Coastal Highway from Union Street Extended to Broadkill Road are 25,224 and 32,434 vehicles per day, respectively.

Based on our review, we estimate that the above land use will generate fewer than 50 vehicle trips per day. This number of trips is below DelDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. DelDOT's regulations specify the minimum TIS warrants as 50 vehicle trips in any hour and/or 500 vehicle trips per day. Because the proposed land use would generate fewer than 50 vehicle trips per day, we consider the development's traffic impact to be **diminutive** in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DelDOT's description of this application as diminutive with regard to warranting a TIS does not mean that it is diminutive in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.

Mr. Jamie Whitehouse  
Page 2 of 2  
July 27, 2021

The above-mentioned property is adjacent to State Route 1, making it subject to the Department's Corridor Capacity Preservation Program. The Program was established in accordance with the provisions of Title 17, Section 145 of the Delaware Code. The main goal of the Program is to maintain the capacity of the existing highway by minimizing and consolidating the number of high-density, direct access points on the arterial highway. According to the Office of State Planning Coordination's Strategies for State Policies and Spending document, the property is located in Investment Level 4. No new or expanded direct access to the State Route 1 will be permitted in these areas. Access will be permitted to existing secondary roads. If alternative access is determined to be reasonable but degrades the operation or safety of an adjacent intersection (as determined by a traffic engineering study), then direct access to the corridor may also be permitted by way of rights-in/rights-out access only. The Corridor Capacity Preservation Program policy can be viewed on the Department's website at [www.deldot.gov](http://www.deldot.gov). The manual is located under the publication link.

If the County approves this application, the applicant should be reminded that DeIDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.

Please contact Ms. Annamaria Furmato, at (302) 760-2710, if you have questions concerning this correspondence.

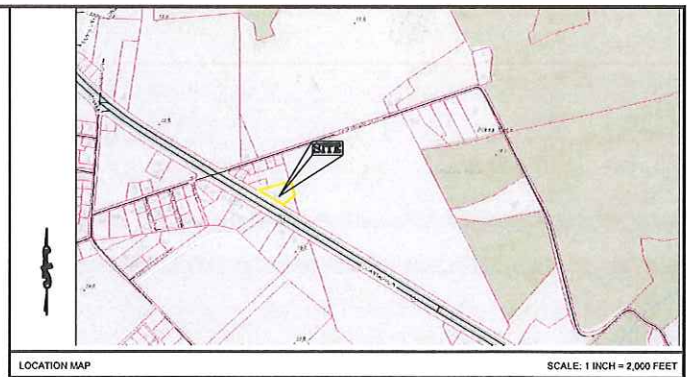
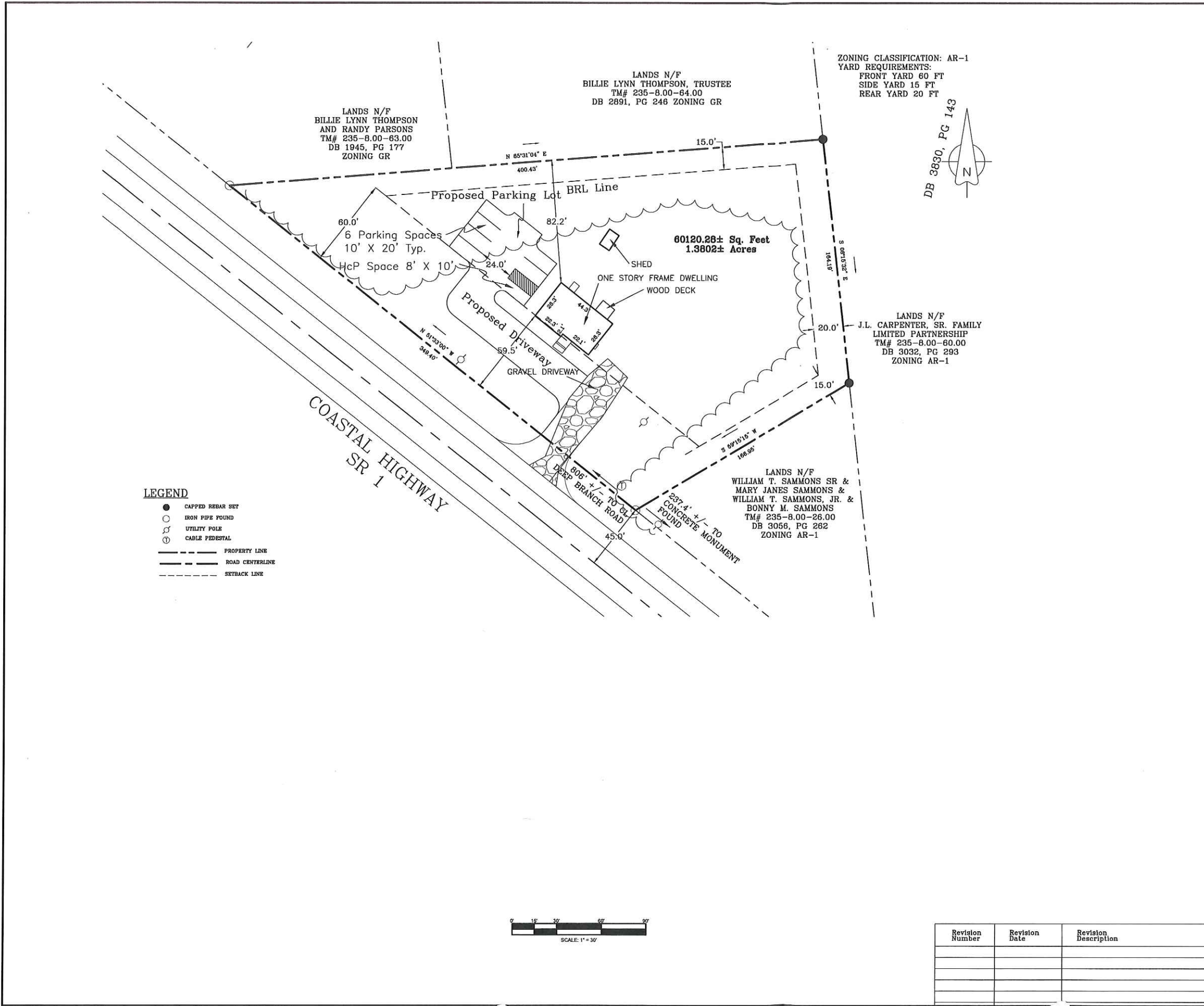
Sincerely,



T. William Brockenbrough, Jr.  
County Coordinator  
Development Coordination

TWB:afm

cc: Rockswitch Properties, LLC, Applicant  
Russell Warrington, Sussex County Planning & Zoning  
David Edgell, Coordinator, Cabinet Committee on State Planning Issues  
Todd Sammons, Assistant Director, Development Coordination  
Scott Rust, South District Public Works Manager, Maintenance & Operations  
Steve McCabe, Sussex County Review Coordinator, Development Coordination  
Derek Sapp, Subdivision Manager, Development Coordination  
Kevin Hickman, Subdivision Manager, Development Coordination  
Brian Yates, Subdivision Manager, Development Coordination  
John Andrescavage, Subdivision Manager, Development Coordination  
James Argo, South District Project Reviewer, Maintenance & Operations  
Troy Brestel, Project Engineer, Development Coordination  
Claudy Joinville, Project Engineer, Development Coordination  
Annamaria Furmato, Project Engineer, Development Coordination



**PLAN DATA:**

PARCEL I.D. No	* 235-8.00-62.00
PLAT REFERENCE	* D.B. 3830, PAGE 143
ZONING DISTRICT	* AR-1 (ZONING CLASSIFICATION)
ROADWAY CLASSIFICATION	* ROUTE 1 (MAJOR HIGHWAY)
SEWAGE DISPOSAL	* INDIVIDUAL ON-SITE WASTEWATER DISPOSAL SYSTEMS (PRIVATE) SEWERAGE IS SUBJECT TO APPROVAL OF THE THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL.
WATER SUPPLY	* INDIVIDUAL ON-SITE WELLS (PRIVATE) WATER IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DIVISION OF PUBLIC HEALTH.
OWNER	* ROCKSWITCH PROPERTIES, LLC 12300 ROCK SWITCH STREET MILTON, DE 19968
LOT AREA RATIONALE	* AREA IN LOTS = 1.3802 ACRES
TOTAL No. OF LOTS	* 1 SINGLE FAMILY DWELLING UNITS
(TID) PROXIMITY	* 6.0 MILES
WETLANDS	* THERE ARE NO WETLANDS ON THIS SITE
100 YEAR FLOODPLAIN	* THIS PARCEL IS NOT WITHIN A 100 YEAR FLOOD PLANE

**ENGINEER'S CERTIFICATION**

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES.

JOHN B. ROACH, JR., P.E. \_\_\_\_\_ DATE \_\_\_\_\_

**PROPOSED SITE PLAN**  
FOR PROPERTY KNOWN AS:  
**LANDS OF "ROCKSWITCH PROPERTIES, LLC"**  
ALSO KNOWN AS:  
"12537 COASTAL HIGHWAY, MILTON, DE"  
SITUATE IN:  
BROAD KILL HUNDRED \* SUSSEX COUNTY  
STATE OF DELAWARE  
TAX MAP#: 235-8.00-62.00

Revision Number	Revision Date	Revision Description

**JOHN B. ROACH**  
Engineering LLC

22184 NELSON ROAD  
GEORGETOWN, DELAWARE 19947  
PHONE NO. 302-856-1565

Drawn By: JBR Date: 08-06-2021  
Scale: 1"=30' Sheet 1/1

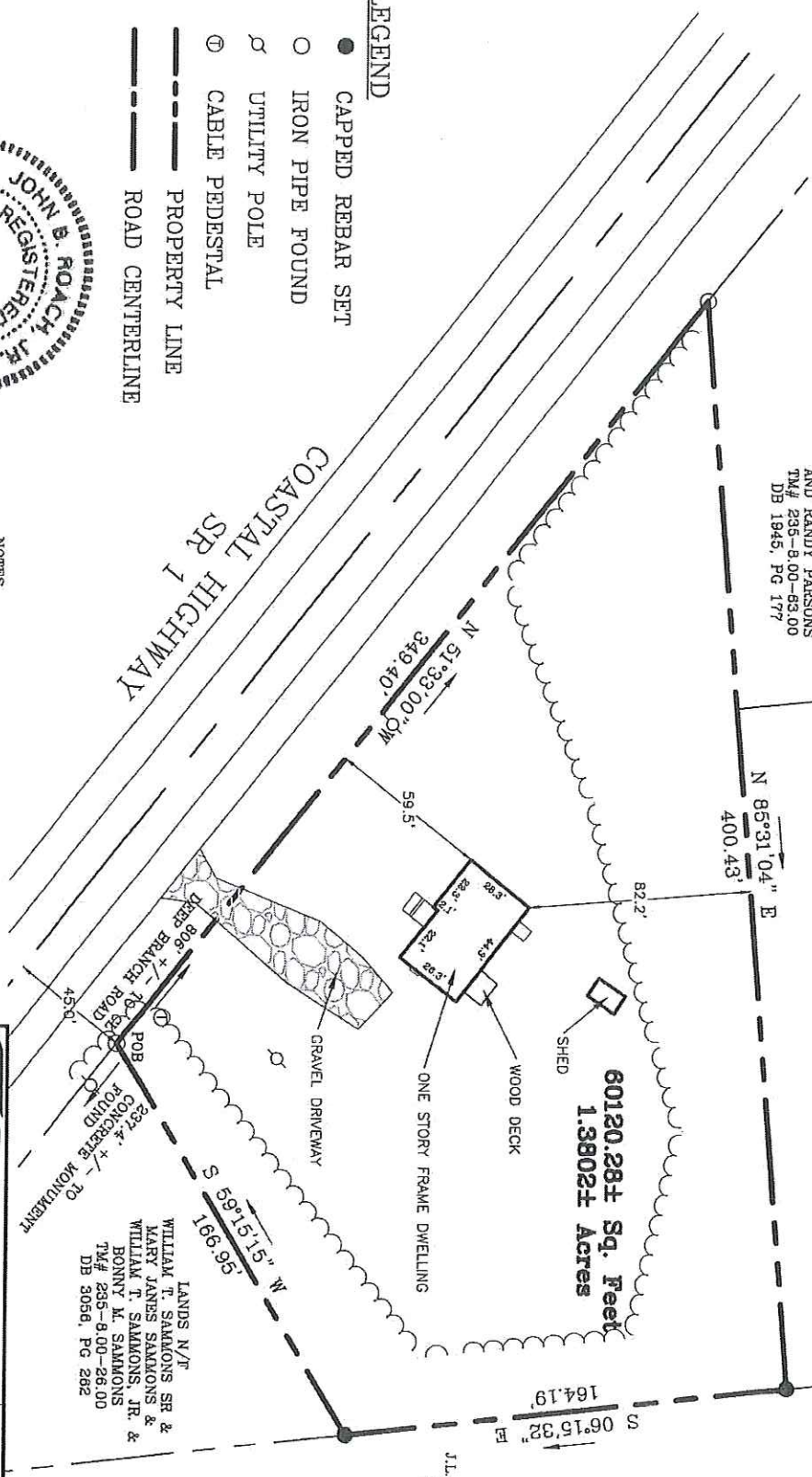


**BOUNDARY SURVEY PLAN**  
**LANDS OF ROCKSWITCH PROPERTIES, LLC**  
 ALSO KNOWN AS: 12637 COASTAL HIGHWAY  
 SITUATE IN: BROADKILL HUNDRED  
 SUSSEX COUNTY \* STATE OF DELAWARE  
 TAX MAP #: 235-8.00-62.00  
 DEED REFERENCE: DB 3830, PG 143

LANDS N/F  
 BILLIE LYNN THOMPSON  
 AND RANDY PARSONS  
 TM# 235-8.00-65.00  
 DB 1945, PG 177

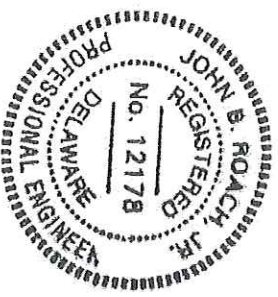
LANDS N/F  
 BILLIE LYNN THOMPSON, TRUSTEE  
 TM# 235-8.00-64.00  
 DB 2891, PG 246

ZONING CLASSIFICATION: AR-1  
 YARD REQUIREMENTS:  
 FRONT YARD 40 FT  
 SIDE YARD 15 FT  
 REAR YARD 20 FT



**LEGEND**

- CAPPED REBAR SET
- IRON PIPE FOUND
- ⊗ UTILITY POLE
- ⊙ CABLE PEDESTAL
- PROPERTY LINE
- - - ROAD CENTERLINE



- NOTES**
1. THIS SURVEY IS CLASSIFIED AS A SUBURBAN SURVEY.
  2. UNLESS THIS PLAN HAS A SEAL WITH AN ORIGINAL SIGNATURE OF ENGINEER, IN RED INK, THIS IS NOT AN AUTHORIZED COPY.
  3. THE SURVEY DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF ANY EASEMENTS OR RIGHT OF WAYS.

PROFESSIONAL ENGINEER  
*John B. Roach, Jr.*

<p><b>JOHN B. ROACH</b> Engineering LLC</p>	<p>22184 MELSON ROAD          GEORGETOWN, DELAWARE 19947          PHONE NO. 302-856-1565</p>
	<p>DATE: 02-17-2020</p>
<p>DRAWN BY: JBR</p>	<p>SHEET 1/1</p>
<p>SCALE: 1" = 60'</p>	

LANDS N/F  
 J.L. CARPENTER, SR. FAMILY  
 LIMITED PARTNERSHIP  
 TM# 235-8.00-60.00  
 DB 3032, PG 283

LANDS N/F  
 WILLIAM T. SAMMONS SR &  
 MARY JAMES SAMMONS &  
 WILLIAM T. SAMMONS, JR. &  
 BONNY M. SAMMONS  
 TM# 235-8.00-26.00  
 DB 3056, PG 262

**Property Information**

Property Location: 12537 COASTAL HWY  
 Unit:  
 City: MILTON  
 State: DE  
 Zip: 19968

Class: RES-Residential  
 Use Code (LUC): RS-RESIDENTIAL SINGLE FAMILY  
 Town: 00-None  
 Tax District: 235 - BROAD KILL  
 School District: 6 - CAPE HENLOPEN  
 Council District: 3-Schaeffer  
 Fire District: 85-Milton  
 Deeded Acres: 1.3800  
 Frontage: 0  
 Depth: .000  
 Irr Lot:  
 Zoning 1: AR-1-AGRICULTURAL/RESIDEINTIAL  
 Zoning 2: -  
 Plot Book Page: /PB

100% Land Value: \$3,000  
 100% Improvement Value: \$22,200  
 100% Total Value: \$25,200

**Legal**

Legal Description: RD 14

**Owners**

Owner	Co-owner	Address	City	State	Zip
ROCKSWITCH PROPERTIES LLC		12300 ROCK SWITCH ST	MILTON	DE	19968

**Sales**

Sale Date	Book/Page	Sale Price	Stamp Value	Parcels Sold	Grantee/Buyer
12/23/2004	3830/143	\$176,000.00	\$2,640.00	0	

**Owner History**

Tax Year:	Owner:	Co-owner	Address:	City:	State:	Zip:	Deed Book/Page:
2021	ROCKSWITCH PROPERTIES LLC		12300 ROCK SWITCH ST	MILTON	DE	19968	3830/143
2020	ROCKSWITCH PROPERTIES LLC		12300 ROCK SWITCH ST	MILTON	DE	19968	3830/143
2019	ROCKSWITCH PROPERTIES LLC		12300 ROCK SWITCH ST	MILTON	DE	19968	3830/143
2018	ROCKSWITCH PROPERTIES LLC		12300 ROCK SWITCH ST	MILTON	DE	19968	3830/143
2017	ROCKSWITCH PROPERTIES LLC		12300 ROCK SWITCH ST	MILTON	DE	19968	3830/143
2011	ROCKSWITCH PROPERTIES LLC		12300 ROCK SWITCH ST	MILTON	DE	19968	3830/143
2005	REED RICHARD A KAREN J REED		12185 ROCKSWITCH RD	MILTON	DE	19968	3079/85
1900	FREISCHMIDT DOROTHY E					0	415/274

**Land**

Line	Class	Land Use Code	Act Front	Depth	Calculated Acres	Ag
1	RES	RS	0	0	1.3800	

**Land Summary**

Line 1  
100% Land Value 3,000

**100% Values**

---

100% Land Value	100% Improv Value	100% Total Value
\$3,000	\$22,200	\$25,200

**50% Values**

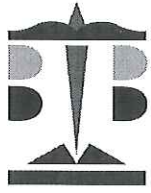
---

50% Land Value	50% Improv Value	50% Total Value
\$1,500	\$11,100	\$12,600

**Permit Details**

---

Permit Date:	Permit #:	Amount:	Note 1
09-FEB-1983	60496-1	\$46,000	DWELLING-N/E 14 390' S/234



BAIRD  
MANDALAS  
BROCKSTEDT LLC

# EXHIBIT C

## Zoning Code

## Chapter 115. Zoning

### Article IV. AR-1 and AR-2 Agricultural Residential Districts

#### § 115-22. Conditional uses.

The following uses may be permitted as conditional uses when approved in accordance with the provisions of Article **XXIV** of this chapter:

Agricultural related industry, provided that such use is visually and acoustically screened from adjacent highways and property in such a manner that a reasonable passerby is not attracted to or aware of the establishment

[Added 1-27-2004 by Ord. No. 1658]

Airports and landing fields or seaplane bases, provided that they shall comply with the recommendations of the Federal Aviation Administration

Aquariums, commercial

Beaches, commercial

Biotech campus

[Added 1-27-2004 by Ord. No. 1659]

Biotech industry not located within a biotech campus provided that such use is visually and acoustically screened from adjacent highways and property in such a manner that a reasonable passerby is not attracted to or aware of the establishment.

[Added 1-27-2004 by Ord. No. 1659]

Cemeteries, including a crematorium if located at least 200 feet from the boundaries of the cemetery

Excavation or backfilling of borrow pits, extraction, processing and removal of sand, gravel or stone, stripping of topsoil (but not including stripping of sod) and other major excavations other than for construction of swimming pools and foundations for buildings and other than those approved in connection with a street, subdivision or planned residential development. (See § **115-172B**.)

Exposition centers or fairgrounds

Heliports or helistops

Hospitals and sanitariums, but not animal hospitals

Institutions, educational or philanthropic, including museums, art galleries and libraries

Land application of sludge, treated sludge or any product containing these materials. For purposes of this section, "sludge" means the accumulated semiliquid suspension, settled solids or dried residue of these solids that is deposited from liquid waste in a wastewater treatment plant or surface or ground waters treated in a water treatment plant, whether or not these solids have undergone treatment. "Septage" is included herein as sludge. "Land application" means the placement of sludge, treated sludge or any other product containing these materials within two feet below the surface of land used to support vegetative growth.

[Added 5-8-1990 by Ord. No. 681]

Livestock auction markets in an AR District

Marinas or yacht clubs

Multifamily dwelling structures and/or townhouses and/or town homes, subject to the provisions of

this chapter when:

[Added 7-31-2007 by Ord. No. 1920]

- A. Said multifamily dwelling structures and/or townhouses and/or town homes, the owners of which would share and own in common the surrounding grounds (which may also be referred to herein collectively as "units"), lie within a Town Center, a Developing Area, or a Coastal Area as described within the Land Use Element and as shown on the Future Land Use Plan of the adopted Sussex County Comprehensive Plan; and  
[Amended 5-21-2019 by Ord. No. 2656]
- B. The developer has proffered to Sussex County for the purpose of creating open space for preservation and/or active and/or passive recreation areas a development fee per unit, as described in Chapter 62, § 62-7, for every unit in excess of two units per gross acre that is included in the application; and
- C. The Sussex County Council prior to the signing of a contract to purchase or lease open space for preservation and/or active and/or passive recreation areas shall approve all such land or conservation easement purchases which utilize monies paid to the County under the terms of this amendment. All such approvals by the Council shall be by a four-fifths majority vote and shall include a determination that the land and/or conservation easement to be acquired is located in the same watershed area as the land where the bonus density will be located; and
- D. It is understood that Sussex County shall control all monies paid to it under this amendment and that the Sussex County Land Trust may act as a recommending body and/or partner at the discretion of the Sussex County Council; and
- E. The maximum number of multifamily dwelling structures and/or townhouses and/or town homes, as defined in Subsection A above, included in the application, shall not exceed four dwelling units per gross acre, including land set aside for common open space and/or recreational uses; and
- F. The minimum percentage of the total site which shall be set aside as common open space shall be 40% of the total land area included in the application; and
- G. There shall be a vegetated buffer of not less than 75 feet, subject to the following conditions:
  - (1) The vegetated buffer shall be located adjacent to a numbered road shown on the General Highway Map for Sussex County and may include the required setback area from the road and shall be kept free of vehicle parking areas, buildings and structures; and
  - (2) The vegetated buffer shall include a mix of deciduous shade trees and evergreen trees, a majority of which shall be of common local species; and
  - (3) The deciduous shade trees shall include trees reasonably capable of attaining a minimum trunk diameter of two inches measured 3.5 feet above the ground within five years of being planted; and
  - (4) The evergreen trees shall include trees reasonably capable of attaining a minimum height of 10 feet above the ground within five years of being planted; and
  - (5) The goal of the landscape plan for the buffer area shall be include trees of the type indicated herein that will be planted in a natural manner, as they might appear in nature, as opposed to being planted in row fashion which will filter views from the road in such a manner that the dwelling units appear more green and less dense than if no landscaping had been required; and
  - (6) A further goal of the landscape plan would be to avoid placing plantings in an area adjacent to the entrance to the development in such a manner as to restrict the view of motorists entering or exiting from the development or restricting sight lines for motorists in such a manner as to create a potential safety hazard; and
  - (7) The landscape plan for the buffer area shall be designed and signed by a Delaware licensed landscape architect and approved by the Planning and Zoning Commission and County Council; and
- H. Council and/or the County Administrator may consider and authorize an expedited review of a conditional use application filed under this section; and
- I. Multifamily dwelling structures and/or townhouses and/or town homes shall not be considered as

a conditional use unless any other provision of this section which existed prior to the date of this amendment; and

- J. The density bonus fee for each multifamily and/or townhouse and/or town home dwelling unit in excess of two units per gross acre shall be determined by reference to and the use and application of the per-unit density bonus fees adopted as part of Ordinance 1842 and applicable to cluster developments and appearing in Chapter 62, Article III, § 62-7, as the same may hereafter be modified by Council, from time to time. Council will review the fees for a density bonus under the terms of this amendment on an annual basis and revise such fees as it deems necessary by an appropriate amendment.

Manufactured home parks

[Amended 10-12-2010 by Ord. No. 2152]

Nursing and similar care facilities

[Added 4-16-2019 by Ord. No. 2645]

Parks or campgrounds for mobile campers, tents, camp trailers, touring vans and the like

Private clubs

Public or governmental buildings and uses, including schools, parks, parkways, playgrounds and public boat landings

Public utilities or public service uses, buildings, generating or treatment plants, pumping or regulator stations or substations, but not telephone central offices

Racetracks, any type, including horses, stock cars or drag strip

Recreation facilities, privately or commercially operated, such as a fishing or boating lake, picnic grounds or dude ranch, and accessory facilities, including sale of food, beverages, bait, incidentals, supplies and equipment

Residential, business, commercial or industrial uses when the purposes of this chapter are more fully met by issuing a conditional use permit

[Added 4-6-2004 by Ord. No. 1677<sup>[1]</sup>]

Special events such as circuses or carnival grounds, amusement parks or midways, festivals, concerts, race/walks or any other special event or gathering being held outdoors or within a temporary structure or at a site and for a purpose different from the designated use and usual occupancy of the premises and located on unincorporated lands within Sussex County, permanently or for a temporary time period exceeding three days. Special events not approved by the Director as a permitted use under § 115-20 shall require a conditional use permit. All special events, regardless of duration, shall be subject to the requirements of the Sussex County Special Event Policy.

[Amended 5-1-1990 by Ord. No. 680; 11-10-1992 by Ord. No. 863; 8-20-2013 by Ord. No. 2316; 9-18-2018 by Ord. No. 2599]

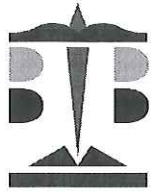
Sports arenas or stadiums, commercial athletic fields or baseball parks

Stores or shops for the sale of farm products, farm supplies, groceries, beverages, drugs and food and similar stores and shops

Structures for commercial poultry raising on farms of less than five acres

Swimming or tennis clubs, private, nonprofit or commercially operated

[1] *Editor's Note: This entry was previously repealed 1-27-2004 by Ord. No. 1658.*



BAIRD  
MANDALAS  
BROCKSTEDT LLC

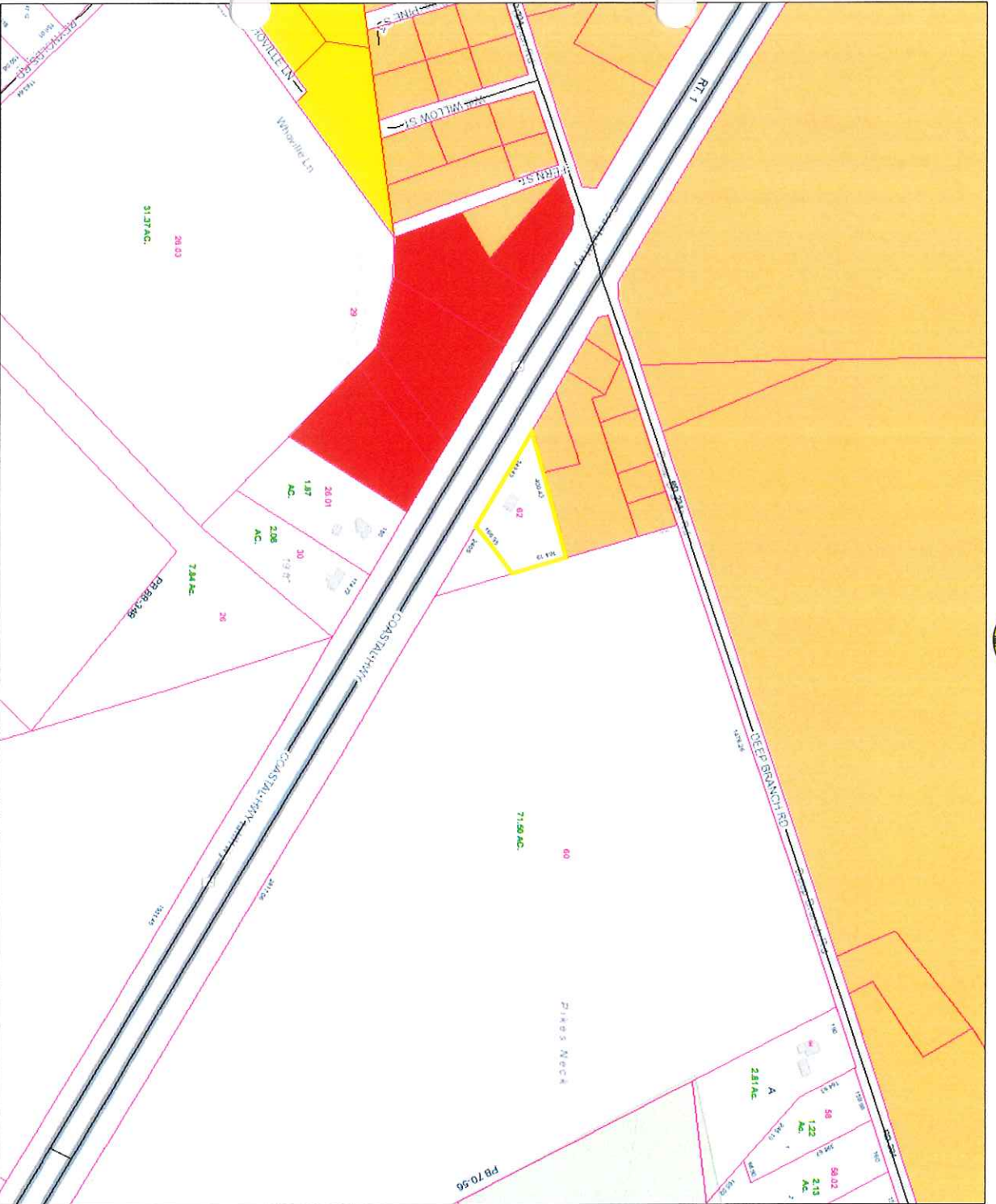
# EXHIBIT D

## Aerial Maps



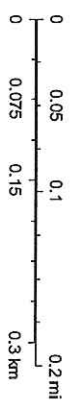


# Sussex County



<b>PIN:</b>	235-8-00-62-00
<b>Owner Name</b>	ROCKSWITCH PROPERTIES LLC
<b>Book</b>	3830
<b>Mailing Address</b>	12300 ROCK SWITCH ST
<b>City</b>	MILTON
<b>State</b>	DE
<b>Description</b>	RD 14
<b>Description 2</b>	
<b>Description 3</b>	
<b>Land Code</b>	

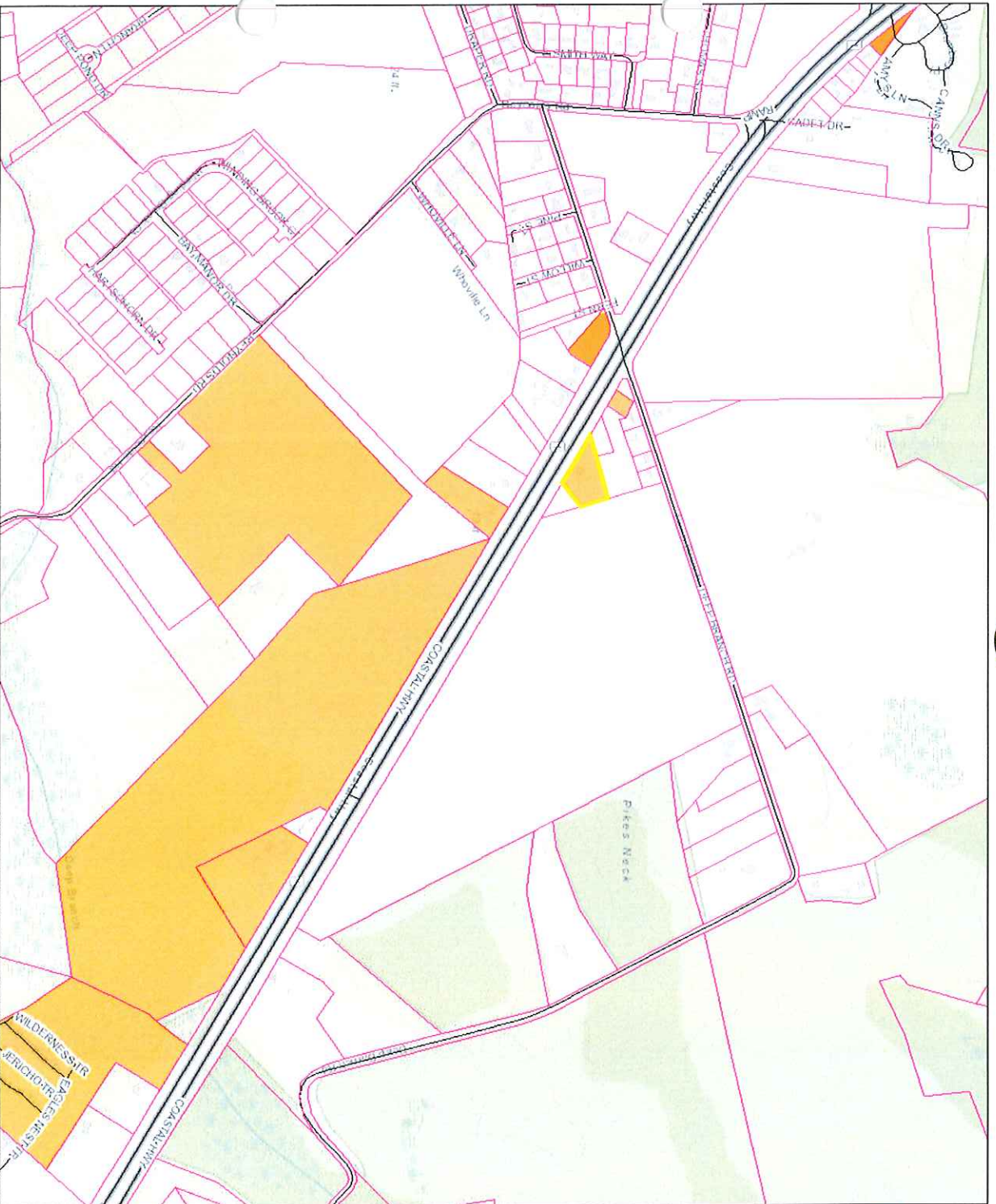
- polygonLayer  
 Override 1
- polygonLayer  
 Override 1
- Tax Parcels
- Streets



February 5, 2021

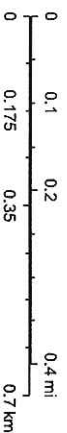


# Sussex County



<b>PIN:</b>	235-8-00-62.00
<b>Owner Name</b>	ROCKSWITCH PROPERTIES LLC
<b>Book</b>	3830
<b>Mailing Address</b>	12300 ROCK SWITCH ST
<b>City</b>	MILTON
<b>State</b>	DE
<b>Description</b>	RD 14
<b>Description 2</b>	N/A
<b>Description 3</b>	N/A
<b>Land Code</b>	

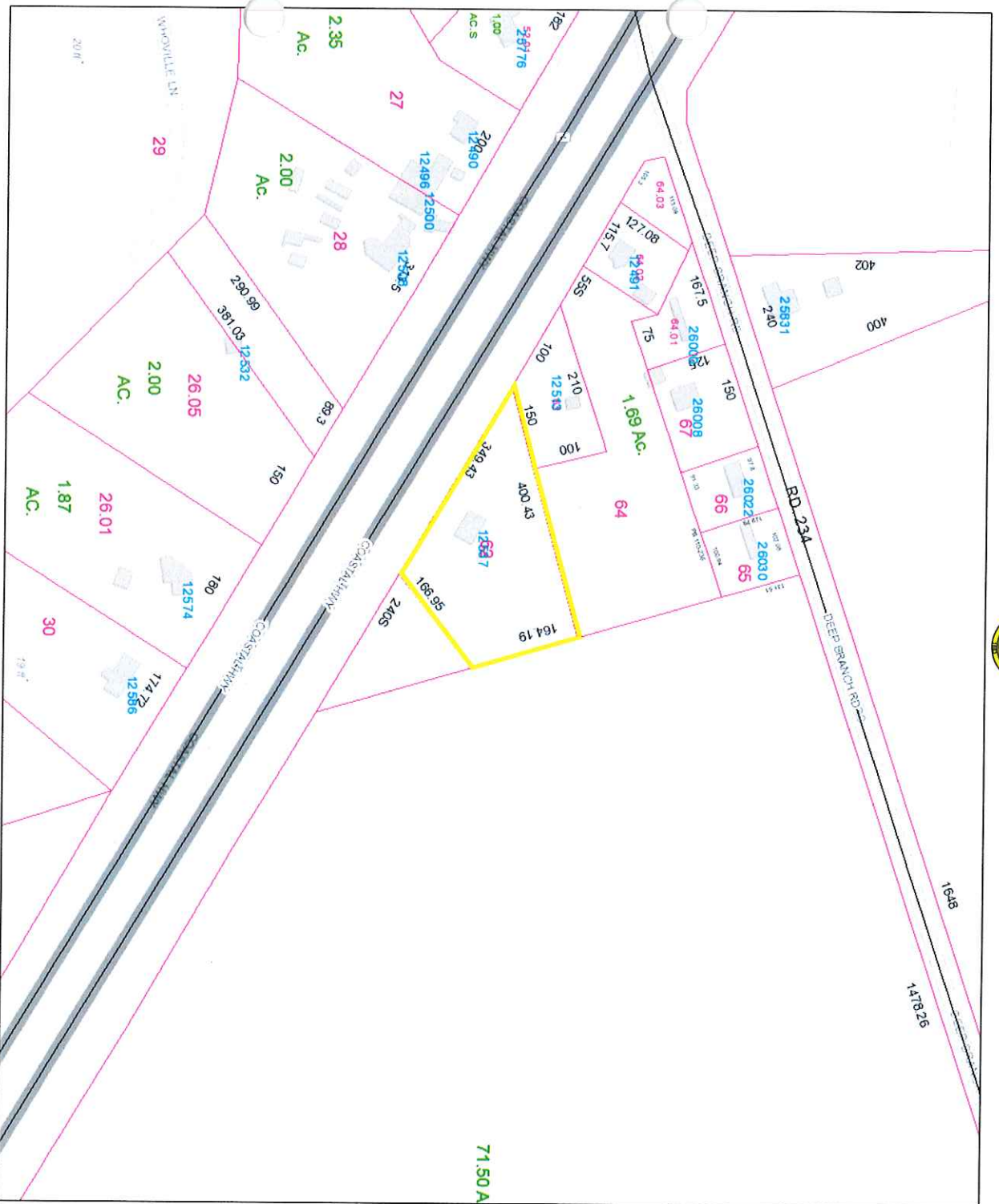
- polygon layer**
- Override 1
- polygon layer**
- Override 1
- Tax Parcels
- Streets
- County Boundaries
- Conditional Use



July 1, 2021

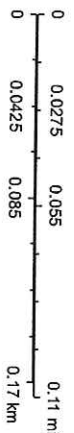


# Sussex County



<b>PIN:</b>	235-8-00-62.00
<b>Owner Name</b>	ROCKSWITCH PROPERTIES LLC
<b>Book</b>	3830
<b>Mailing Address</b>	12300 ROCK SWITCH ST
<b>City</b>	MILTON
<b>State</b>	DE
<b>Description</b>	RD 14
<b>Description 2</b>	N/A
<b>Description 3</b>	N/A
<b>Land Code</b>	

- polygonLayer  
 Override 1
- polygonLayer  
 Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries



1:2,257



# Sussex County

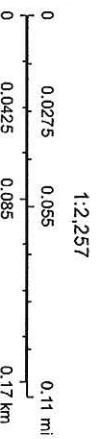


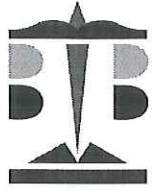
<b>PIN:</b>	235-8-00-62.00
<b>Owner Name</b>	ROCKSWITCH PROPERTIES LLC
<b>Book</b>	3830
<b>Mailing Address</b>	12300 ROCK SWITCH ST
<b>City</b>	MILTON
<b>State</b>	DE
<b>Description</b>	RD 14
<b>Description 2</b>	N/A
<b>Description 3</b>	N/A
<b>Land Code</b>	

- polygon layer**

  - Override 1
- polygon layer**

  - Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries





BAIRD  
MANDALAS  
BROCKSTEDT LLC

# EXHIBIT E

## Land Use History

No. 609

16-17-13 ✓

Pages 1 234

or Haxlet Area WAPLES POND

Beginning point

Description:

RESOLUTION NO. R 020 81

A RESOLUTION TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR MARINE SALES, SERVICE, AND STORAGE, SMALL ENGINE SALES AND SERVICE, AND PRODUCE SALES TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN BROADKILL HUNDRED, SUSSEX COUNTY, CONTAINING 1.33 ACRES, MORE OR LESS.

235-8-62

WHEREAS, on the 12<sup>th</sup> day of November, A.D. 1980, an application for a Conditional Use of land in an AR-1 Agricultural Residential District for Marine Sales, Service and Storage, Small Engine Sales and Service, and Produce Sales, denominated C/U #609, was filed on behalf of Albert C. Freischmidt; and

WHEREAS, on the 18<sup>th</sup> day of December, A.D. 1980, a public hearing, after notice, was held before the Planning and Zoning Commission of Sussex County and said Commission recommended that C/U #609 be deferred; and

WHEREAS, on the 6<sup>th</sup> day of January, A.D. 1981, of Sussex County on C/U #609 said Council deferred action pending recommendation from the Planning and Zoning Commission of Sussex County; and

WHEREAS, on the 22<sup>nd</sup> day of January, A.D. 1981, the Planning and Zoning Commission recommended that C/U #609 be approved; and

WHEREAS, on the 24<sup>th</sup> day of February, A.D. 1981, the County Council of Sussex County Considered the public comments and the recommendations of the Planning and Zoning Commission and the County Council having found as follows:

- (a) That the Conditional Use applied for is for the general convenience and welfare of the inhabitants of Sussex County;
- (b) That the location is appropriate for the Conditional Use applied for and not in conflict with the Comprehensive Plan;
- (c) That the public health, safety, morals and general welfare of the inhabitants of Sussex County will not be adversely affected;
- (d) That adequate off-street parking facilities will be provided;
- (e) That the necessary safeguards will be provided for the protection of surrounding property, persons and neighborhood values; and

TW

(69)  
108.00 Ac.

GR

(70)  
6.24 Ac.

(71)  
1.45 Ac.

860 S  
1400

(5)  
11.40

(59)

1648  
1478.26

234

(68)  
(67)  
(66)  
(64)

2.28 Ac.  
240  
167.5  
120.35  
150  
97.8  
100  
133  
31.33  
99.6

CU#609  
ALBERT FRIESCHMIDT  
MARINE SALES & SERVICE; SMALL ENGINE SALES 71.50 Ac. & SERVICE; PRODUCE; BOAT STORAGE

ARI

EXISTING CU#269

(27)  
2.35 Ac.

(28)  
2.00 Ac.

(63)  
1.33 Ac.

(29)  
1.87 Ac.  
EXISTING CU#226  
1.67 Ac.

14

2817.06  
1931.45

ARI

(26)  
77.26 Ac. S

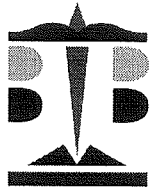
1"=400'

(32)

(31)  
62.79 Ac.

2345 S

(25)



BAIRD  
MANDALAS  
BROCKSTEDT LLP

Mackenzie M. Peet  
[mackenzie@bmbde.com](mailto:mackenzie@bmbde.com)  
(302)645-2262

July 11, 2022

**VIA EMAIL ONLY**

Department of Planning and Zoning  
Attn: Jamie Whitehouse, Director  
2 The Circle  
P.O. Box 417  
Georgetown, DE 19947  
Email: [pandz@sussexcountyde.gov](mailto:pandz@sussexcountyde.gov)

RE: Conditional Use 2309 Rockswitch Properties, LLC

Property: 12537 Coastal Highway, Milton, Delaware

Director Whitehouse:

Enclosed please find proposed conditions of approval for CU 2309 Rockswitch Properties, LLC for office space for a real state service, property management and construction business.

Please include the proposed conditions of approval in the record for the July 28, 2022 Planning & Zoning Commission public hearing.

Sincerely,

*/s/ Mackenzie M Peet*

Mackenzie M. Peet, Esq.



## **Proposed Conditions of Approval**

**Applicant: Rockswitch Properties, LLC**

**Property: 12537 Coastal Highway, Milton, DE 19968**

**TMP: 235-8.00-62.00**

- A. The Property shall be used for office space for a real estate service, property management and construction business.
- B. The use shall occur within the existing structure that will be renovated by the Applicant.
- C. The hours of operation shall be between 7 a.m. and 5 p.m., Monday through Saturday. There shall be no Sunday hours.
- D. Any dumpsters shall be located to the rear of the property and screened from view of neighboring properties and roadways.
- E. The Applicant intends to place a sign on the property as permitted by Sections 115-159 and 159.1 of the Zoning Ordinance for Sussex County, Delaware.
- F. The Final Site Plan shall designate all parking areas associated with this use.
- G. The Final Site Plan shall be subject to the review and approval of the Sussex County Planning and Zoning Commission.

**PLANNING & ZONING COMMISSION**

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE-CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY J. WINGATE



**Sussex County**

DELAWARE  
sussexcountyde.gov  
302-855-7878 T  
JAMIE WHITEHOUSE, AICP, MRTPI  
DIRECTOR OF PLANNING & ZONING

**PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET**  
Planning Commission Public Hearing Date: July 28th, 2022

Application: CU 2310 Milton Community Food Bank, Inc.

Applicant: Milton Community Food Pantry, Inc.  
12898 Union Street Ext.  
Milton, DE 19968

Owner: Elmer Smith  
12898 Union Street Ext.  
Milton, DE 19968

Site Location: Lying on the west side of Union Street Ext. (Rt. 5), approximately 0.24 mile south of Reynolds Pond Road (S.C.R. 231)

Current Zoning: General Residential (GR) District

Proposed Use: Food Bank

Comprehensive Land Use Plan Reference: Developing Area

Councilmanic District: Ms. Cynthia Green

School District: Cape Henlopen School District

Fire District: Milton Fire Department

Sewer: On-site

Water: Private Well

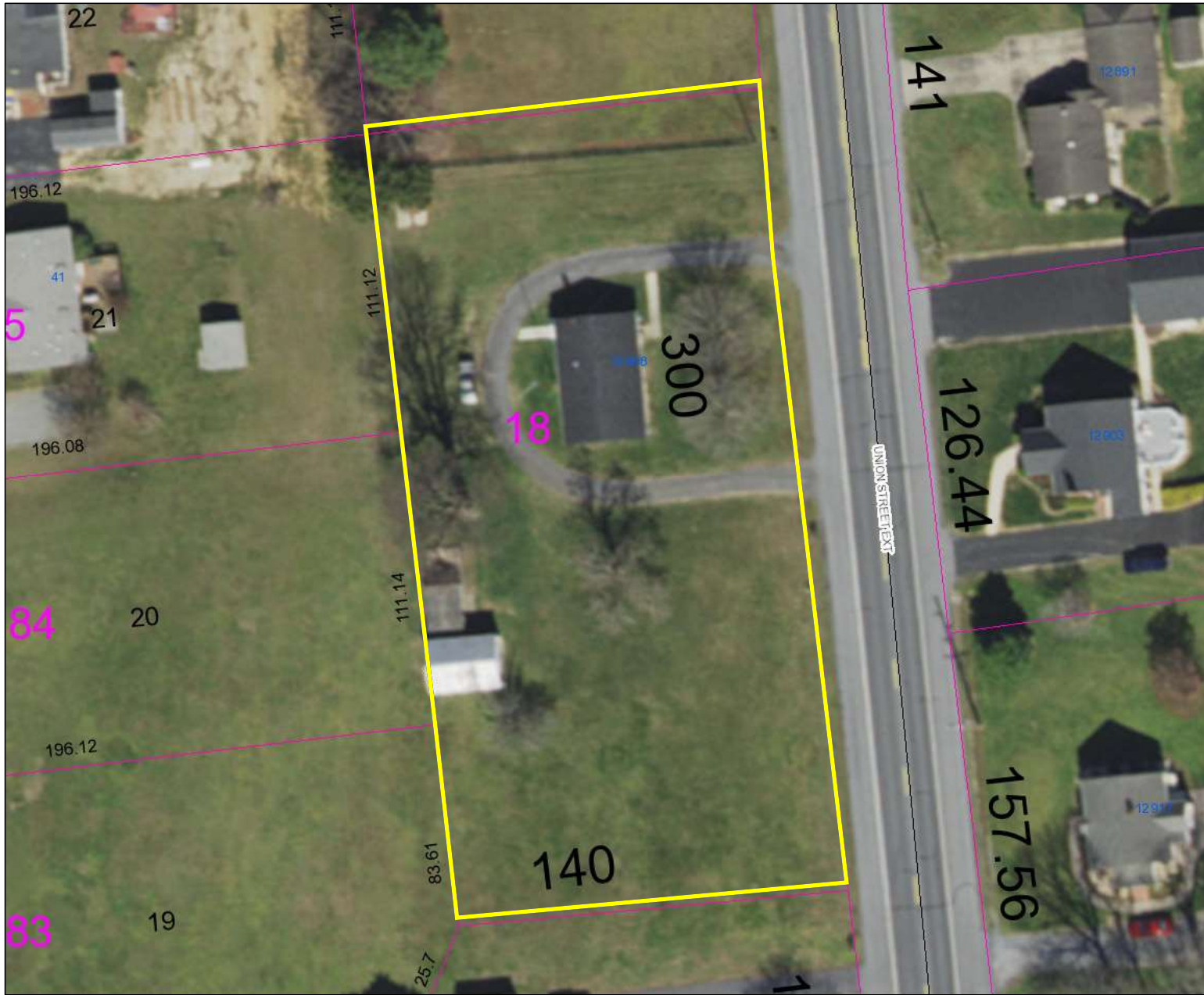
Site Area: 0.966 acres +/-

Tax Map IDs.: 235-7.00-18.00



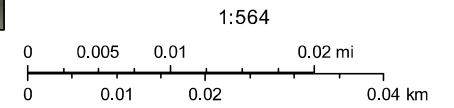


# Sussex County



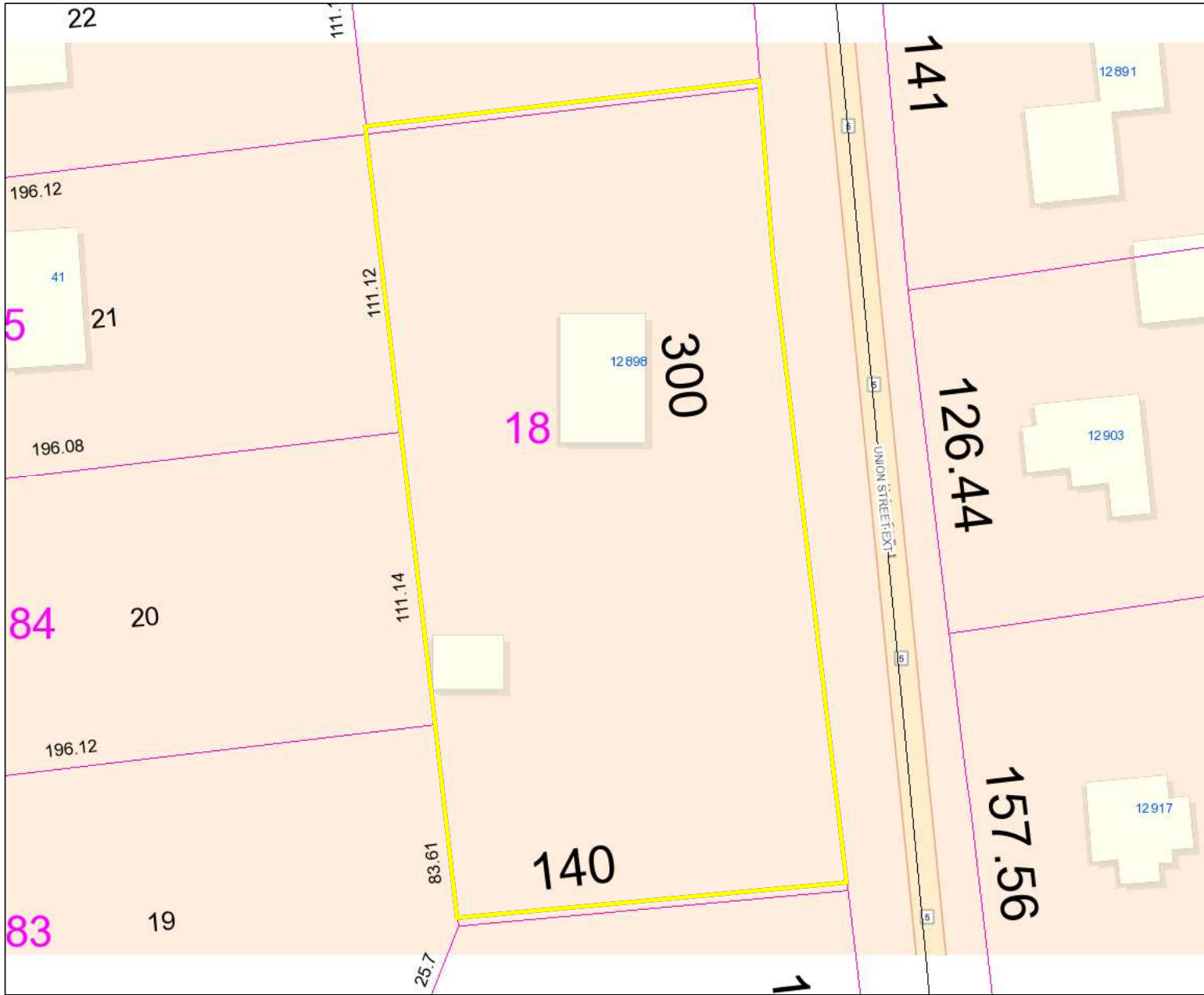
<b>PIN:</b>	235-7.00-18.00
<b>Owner Name</b>	MILTON COMMUNITY FOOD PANTRY INC
<b>Book</b>	5577
<b>Mailing Address</b>	PO BOX 84
<b>City</b>	MILTON
<b>State</b>	DE
<b>Description</b>	W.SIDE HWY.MILTON
<b>Description 2</b>	TO WAPLES POND
<b>Description 3</b>	LOT WITH IMP.
<b>Land Code</b>	

- polygonLayer**
  - Override 1
- polygonLayer**
  - Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- Municipal Boundaries



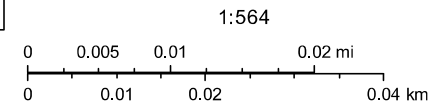


# Sussex County



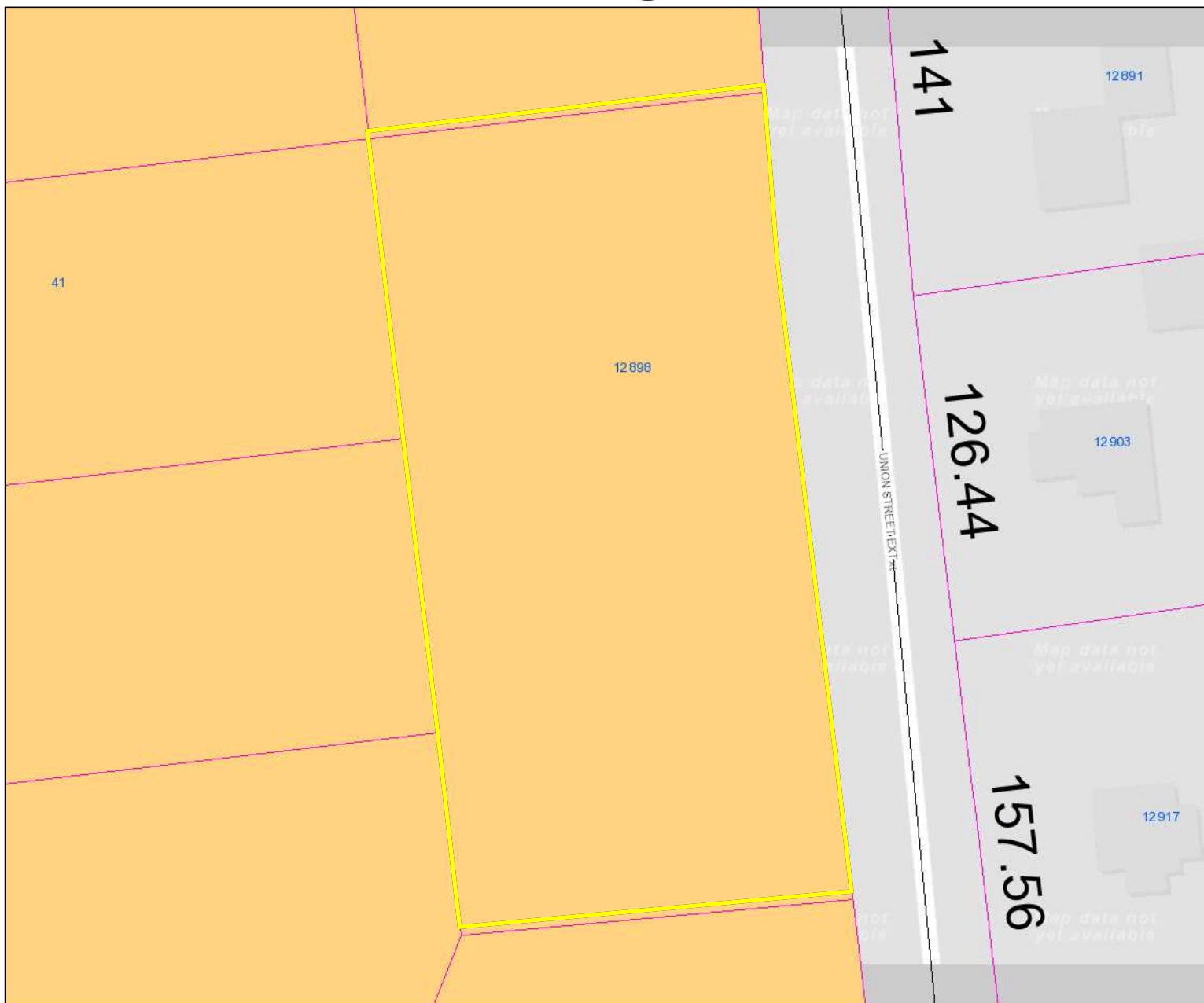
<b>PIN:</b>	235-7.00-18.00
<b>Owner Name</b>	MILTON COMMUNITY FOOD PANTRY INC
<b>Book</b>	5577
<b>Mailing Address</b>	PO BOX 84
<b>City</b>	MILTON
<b>State</b>	DE
<b>Description</b>	W.SIDE HWY.MILTON
<b>Description 2</b>	TO WAPLES POND
<b>Description 3</b>	LOT WITH IMP.
<b>Land Code</b>	

- polygonLayer**
- Override 1
- polygonLayer**
- Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- Municipal Boundaries



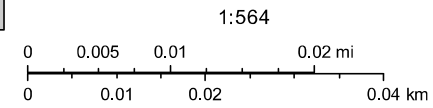


# Sussex County



<b>PIN:</b>	235-7.00-18.00
<b>Owner Name</b>	MILTON COMMUNITY FOOD PANTRY INC
<b>Book</b>	5577
<b>Mailing Address</b>	PO BOX 84
<b>City</b>	MILTON
<b>State</b>	DE
<b>Description</b>	W.SIDE HWY.MILTON
<b>Description 2</b>	TO WAPLES POND
<b>Description 3</b>	LOT WITH IMP.
<b>Land Code</b>	

- polygonLayer  
Override 1
- polygonLayer  
Override 1
- Tax Parcels
- 911 Address
- Streets



JAMIE WHITEHOUSE, AICP MRTPI  
PLANNING & ZONING DIRECTOR  
(302) 855-7878 T  
(302) 854-5079 F  
jamie.whitehouse@sussexcountyde.gov



**Sussex County**

DELAWARE  
sussexcountyde.gov

## Memorandum

To: Sussex County Planning and Zoning Commission Members  
From: Mx. Jesse Lindenberg, Planner I  
CC: Mr. Vince Robertson, Assistant County Attorney and Applicant  
Date: July 18<sup>th</sup>, 2022  
RE: Staff Analysis for CU 2310 Milton Community Food Pantry, Inc.

---

The purpose of this memo is to provide background and analysis for the Planning and Zoning Commission to consider as a part of Application CU 2310 Milton Community Food Pantry, Inc. to be reviewed during the July 28<sup>th</sup>, 2022, Planning and Zoning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for Tax Parcel: 235-7.00-18.00, to allow for a food pantry, to be located at 12898 Union Street Ext., Milton. The property is lying on the west side of Union Street Extension (S.C.R. 22), approximately 0.21 mile south of the intersection of Union Street Extension (S.C.R. 22) and Reynolds Pond Road (Rt. 231). The parcel consists of 0.96 acres +/-.

### Comprehensive Plan Analysis

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use Map in the plan indicates that the parcel has a designation of “Developing Area.” The parcels to the north, south, west, and east across Union Street Extension (S.C.R. 22) also have a Future Land Use Map designation of “Developing Area.”

As outlined within the 2018 Sussex County Comprehensive Plan, The Developing Areas are newer, emerging growth areas that demonstrate the characteristics of developmental trends. Most of the proposed Developing Areas are adjacent to municipalities, within or adjacent to potential future annexation areas of a municipality, or adjacent to Town Centers. – A range of housing types are appropriate in Developing Areas, including single family homes, townhouses, and multi-family units. In selected areas and at appropriate intersections, commercial uses should be allowed. A variety of office uses would be appropriate in many areas. Portions of the Developing Areas with good road access and few nearby homes should allow for business and industrial parks. Appropriate mixed-use development should also be allowed. In doing so, careful mixtures of homes with light commercial and institutional uses can be appropriate to provide for convenient services and to allow people to work close to home (Sussex County Comprehensive Plan, 4-14).

### Zoning Information

The subject property is zoned General Residential (GR) District. All adjacent properties to the north, south, and west of the subject property are zoned General Residential (GR) District. The



parcel east of the subject property, on the opposite side of Union Street Extension (S.C.R. 22), is zoned Agricultural Residential (AR-1) District.

Existing Conditional Uses within the Vicinity of the Subject Property

Since 2011, there has been one (1) Conditional Use application within a one (1) mile radius of the application site. This application was Conditional Use No. 1911 for Forrest Webster to allow for mini storage locker units to be permitted within an Agricultural Residential (AR-1) Zoning District. This application was approved by the Sussex County Council on Tuesday, January 17<sup>th</sup>, 2011, and this change was adopted through Ordinance No. 2234.

Based on the analysis provided, the Conditional use to allow for a food pantry in this location could be considered as being consistent with the surrounding land use, zoning, and uses, subject to considerations of scale and impact.

RECEIVED

# Planning & Zoning Commission Application

## Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

SUSSEX COUNTY  
PLANNING & ZONING

AUG 17 2021

**Type of Application: (please check applicable)**

Conditional Use

Zoning Map Amendment

**Site Address of Conditional Use/Zoning Map Amendment**

12898 Union Street Ext., Milton, DE 19968

**Type of Conditional Use Requested:**

The Applicant proposes a food pantry to serve those in need. See Attached

Tax Map #: 235-7.00-18.00

Size of Parcel(s):

Current Zoning: GR

Proposed Zoning: C/U

Size of Building: approx. 1500 square feet

Land Use Classification: Coastal

Water Provider: Well

Sewer Provider: On Site

**Applicant Information**

Applicant Name: Milton Community Food Pantry, Inc. c/o Donna Murawski

Applicant Address: P.O. Box 84

City: Milton

State: DE

Zip Code: 19968

Phone #:

E-mail: pantrymilton@gmail.com

**Owner Information**

Owner Name: Elmer Smith

Owner Address: 12898 Union Street Ext.

City: Milton

State: DE

Zip Code: 19968

Phone #:

E-mail:

**Agent/Attorney/Engineer Information**

Agent/Attorney/Engineer Name: Timothy G. Willard, Esquire

Agent/Attorney/Engineer Address: 26 The Circle

City: Georgetown

State: DE

Zip Code: 19947

Phone #: 856-7777

E-mail: tim@fwsslaw.com





# Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

**Completed Application**

**Provide eight (8) copies of the Site Plan or Survey of the property**

- Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
- Provide a PDF of Plans (may be e-mailed to a staff member)
- Deed or Legal description

**Provide Fee \$500.00**

**Optional - Additional information for the Commission/Council to consider** (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.

**Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.**

**DelDOT Service Level Evaluation Request Response**

**PLUS Response Letter** (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney

*Tin Wilkerson* 8-17-21

Donna Murawski President  
Milton Community Food Pantry  
Signature of Owner

Date: 8/16/21

Date: \_\_\_\_\_

*For office use only:*

Date Submitted: 08/17/2021 Fee: \$500.00 Check #: 19237  
Staff accepting application: chase Phillips Application & Case #: 20212292 CU 2310  
Location of property: 12898 Union street extended  
Milton Tmp: 235-700-1800

Subdivision: \_\_\_\_\_  
Date of PC Hearing: \_\_\_\_\_ Recommendation of PC Commission: \_\_\_\_\_  
Date of CC Hearing: \_\_\_\_\_ Decision of CC: \_\_\_\_\_

FUQUA, WILLARD, STEVENS & SCHAB, P.A. TRUST ACCOUNT RULE  
145A

DATE 08/16/2021 TRUST NAME Donna Murawski  
Account: 16220.048387-1

PAY TO SUSSEX COUNTY COUNCIL  
DESCRIPTION

08/16/2021

Donna Murawski  
Account: 16220.048387-1

Filing Fee for the Mil. 1 Community  
Food Pantry  
Residential to a Non Profit

19237

AMOUNT 500.00

CHECK DATE	CHECK NO.	CHECK AMOUNT
08/16/2021	19237	500.00

Sussex County, DE  
Treasury  
P.O. Box 601  
Georgetown, DE 19947  
Welcome

33020310-0319 Lindsey S 08/17/2021 01:36PM

PERMITS / INSPECTIONS  
CONDITIONAL USE - FEE  
2021 Item: 202112292|2010 500.00

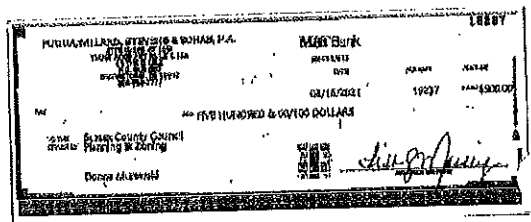
500.00

Subtotal 500.00  
Total 500.00

CHECK 500.00  
Check Number 019237

Change due 0.00

Paid by: FUQUA WILLARD STEVENS & SCHAB



Thank you for your payment

Sussex County, DE COPY  
DUPLICATE RECEIPT



STATE OF DELAWARE  
DEPARTMENT OF TRANSPORTATION  
600 BAY ROAD  
P.O. BOX 77B  
DOVER, DELAWARE 19903

RECEIVED

AUG 17 2021

SUSSEX COUNTY  
PLANNING & ZONING

NICOLE MAJESKI  
SECRETARY

May 20, 2021

Mr. Jamie Whitehouse, Director  
Sussex County Planning & Zoning  
P.O. Box 417  
Georgetown, DE 19947

Dear Mr. Whitehouse:

The Department has completed its review of a Service Level Evaluation Request for the **Milton Community Food Pantry, Inc c/o Tim Willard** proposed land use application, which we received on May 12, 2021. This application is for an approximately 0.9642-acre parcel (Tax Parcel: 235-7.00-18.00). The subject land is located west of Union Street Extended (Sussex Road 22). The subject land is currently zoned GR (General Residential) and the applicant seeks a conditional use approval to operate a food pantry and distribute from the site.

Per the 2019 Delaware Vehicle Volume Summary, the annual average daily traffic volume along Union Street Extended, from Delaware Route 1 to Beach Highway (Sussex Road 16), is 4,511 vehicles per day.

Based on our review, we estimate that the above land use will generate fewer than 50 vehicle trips in any hour and fewer than 500 vehicle trips per day. These numbers of trips are DelDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. Because the proposed land use would not meet these warrants, we consider the development's traffic impact to be **negligible** in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DelDOT's description of this application as negligible with regard to warranting a TIS does not mean that it is negligible in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.

If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.



Mr. Jamie Whitehouse  
Page 2 of 2  
May 20, 2021

Please contact Ms. Annamaria Furmato, at (302) 760-2710, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.  
County Coordinator  
Development Coordination

TWB:afm

cc: Milton Community Food Pantry, Inc. c/o Tim Willard, Applicant  
Russell Warrington, Sussex County Planning & Zoning  
David Edgell, Coordinator, Cabinet Committee on State Planning Issues  
Todd Sammons, Assistant Director, Development Coordination  
Scott Rust, South District Public Works Manager, Maintenance & Operations  
Steve McCabe, Sussex County Review Coordinator, Development Coordination  
Derek Sapp, Subdivision Manager, Development Coordination  
Kevin Hickman, Subdivision Manager, Development Coordination  
Brian Yates, Subdivision Manager, Development Coordination  
John Andrescavage, Subdivision Manager, Development Coordination  
James Argo, South District Project Reviewer, Maintenance & Operations  
Troy Brestel, Project Engineer, Development Coordination  
Claudy Joinville, Project Engineer, Development Coordination  
Annamaria Furmato, Project Engineer, Development Coordination

**SUSSEX COUNTY ENGINEERING DEPARTMENT  
UTILITY PLANNING & DESIGN REVIEW DIVISION  
C/U & C/Z COMMENTS**

TO: **Jamie Whitehouse**

REVIEWER: **Chris Calio**

DATE: **7/8/2022**

APPLICATION: **CU 2310 Milton Community Food Bank, Inc.**

APPLICANT: **Milton Community Food Pantry, Inc**

FILE NO: **NCPA-5.03**

TAX MAP &  
PARCEL(S): **235-7.00-18.00**

LOCATION: **Lying on the west side of Union Street Ext. (Rt. 5),  
approximately 0.24 mile south of Reynolds Pond Rd. (SCR 231)**

NO. OF UNITS: **Food Bank**

GROSS  
ACREAGE: **0.966**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

**SEWER:**

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?  
Yes  No
- a. If yes, see question (2).  
b. If no, see question (7).
- (2). Which County Tier Area is project in? **Municipal Growth & annexation Area**
- (3). Is wastewater capacity available for the project? **N/A** If not, what capacity is available? **N/A**.
- (4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **N/A** If yes, the current System Connection Charge Rate is **Unified \$6,600.00** per EDU. Please contact **N/A** at **302-855-7719** for additional information on charges.

- (6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **N/A**
- Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.
- (7). Is project adjacent to the Unified Sewer District? **No**
- (8). Comments: **The proposed Conditional Use is within the boundaries of the Town of Milton's Growth and Annexation Area. Contact the Town of Milton concerning the availability of sanitary sewer and water.**
- (9). Is a Sewer System Concept Evaluation required? **Not at this time**
- (10). Is a Use of Existing Infrastructure Agreement Required? **Not at this time**
- (11). **All residential roads must meet or exceed Sussex County minimum design standards.**

UTILITY PLANNING & DESIGN REVIEW APPROVAL:



John J. Ashman  
Sr. Manager of Utility Planning & Design Review

Xc: Hans M. Medlarz, P.E.  
Lisa Walls  
No Permit Tech Assigned

**DATA COLUMN**

TAX MAP NUMBERS: 2-35-7.00-18.00  
 SITE ADDRESS: 12898 UNION ST. EXT. MILTON, DE 19968

DATUM: NAVD 88  
 VERTICAL: NAD 83 (DE STATE PLANE)  
 HORIZONTAL:

EX. ZONING: GR  
 PROP. ZONING: GR (CU)  
 EX. USE: RESIDENTIAL  
 PROP. USE: COMMERCIAL  
 SITE AREA: 0.966 ACRES

BUILDINGS:  
 EXIST. HOUSE: 1,086 SQFT  
 PROPOSED POLE BARN: 1,320 SQFT

FLOOD HAZARD MAP: THIS PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA MAP 10005CD165JK, DATED JANUARY 6, 2005

PARKING:  
 REQUIRED: 5 SPACES (1 PER 200 SQFT. OF USEABLE FLOOR AREA (923 SQFT.))  
 PROVIDED: 6 SPACES INCLUDING 1 HANDICAPPED ACCESSIBLE

GR SETBACK REQUIREMENTS:  
 FRONT SETBACK: 40'  
 SIDE SETBACK: 10'  
 REAR SETBACK: 10'

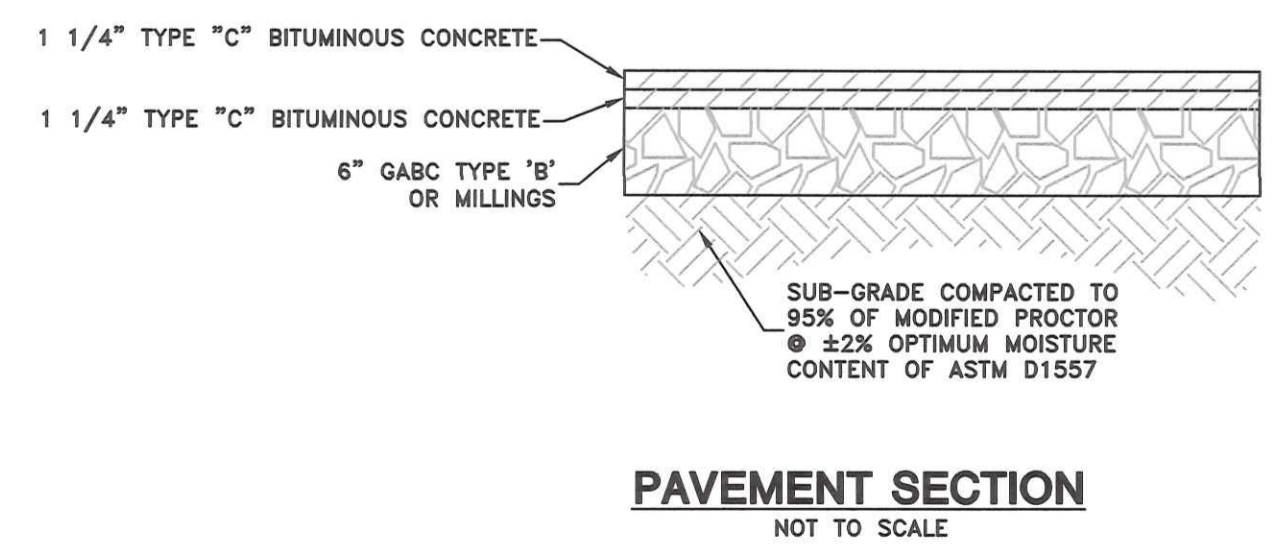
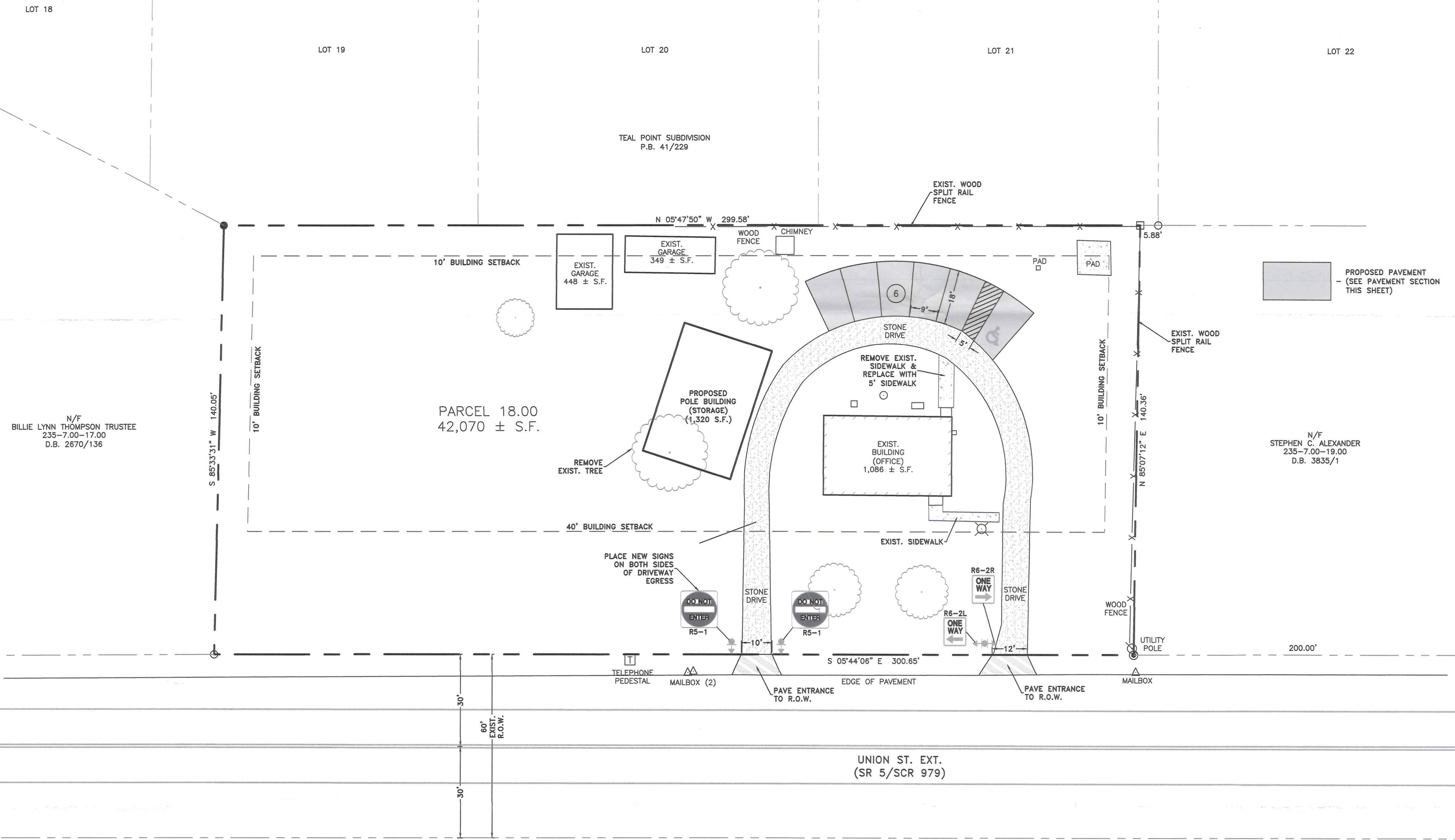
UTILITIES:  
 SEWER: PRIVATE (SEPTIC)  
 WATER: PRIVATE (WELL)

MAXIMUM PERMITTED BUILDING HEIGHT: 42'

PROPOSED BUILDING CONSTRUCTION: WOOD CONSTRUCTION

OWNER/DEVELOPER: MILTON FOOD PANTRY  
 114 FEDERAL ST.  
 MILTON, DE 19968

PREPARED BY: DAVIS, BOWEN & FRIEDEL, INC.  
 23 NORTH WALNUT STREET  
 MILFORD, DE 19963  
 (302) 424-1441



**FOOD BANK OF MILTON  
 SITE REVISIONS  
 SUSSEX COUNTY, DELAWARE**

ARCHITECTS ENGINEERS SURVEYORS  
 DAVIS, BOWEN & FRIEDEL, INC.  
 SALISBURY, MARYLAND (410) 543-8001  
 MILFORD, MARYLAND (410) 770-1724  
 EASTON, MARYLAND (410) 770-1724

Revisions:

Date: AUGUST 2021  
 Scale: 1"=20'  
 Dwn.By: DJR  
 Proj.No.: 2916A016  
 Dwg.No.:













P:\Lighthouse\Food Bank Milton\Final\2916A016 - CONCEPT 1.dwg Aug 13, 2021 - 10:35am read

THIS DRAWING, THE DESIGN AND CONSTRUCTION FEATURES DESCRIBED ARE PROPRIETARY TO DAVIS, BOWEN & FRIEDEL, INC. AND SHALL NOT BE ALTERED OR REPRODUCED WITHOUT WRITTEN PERMISSION. COPYRIGHT © 2021

**Tim Willard**

---

**From:** Tim Willard  
**Sent:** Monday, July 18, 2022 1:55 PM  
**To:** Jamie Whitehouse; pandz@sussexcountyde.gov  
**Cc:** Chase Phillips  
**Subject:** C/U 2310 Milton Community Food Pantry, Inc. schedule for 7/28

-  updated 7.22  
Pantry informati...
-  Copy of  
Survey\_cid43E06...
-  Food Pantry letter  
from DelDOT...
-  2916A016 - SITE  
PLAN (AERIAL)...
-  Food Pantry  
Comp Plan.pdf
-  Food Pantry  
Zoning Map.pdf
-  FOOD PANTRY  
NEIGHBOR SUP...
  
-  letters of  
support-202207...
-  FOOD PANTRY  
PRESS & DONA...
-  Food Pantry CU  
2310 Proposed ...
  
-  2916A016 - SITE  
PLAN.pdf
-  2916A016 - SITE  
PLAN (CAR OVE...

Jamie-

I represent the Food Pantry. Please find enclosed supplemental material in support of this application.

To review, the Food Pantry, a non-profit operated by volunteers, collects, stores and prepares food packages for those in need. Their application is for a conditional use to have a location for their operation. They plan to have only one weekly delivery date for clients, tentatively planned for Mondays from 9AM to 1PM. The Pantry is well established in the community and serves a vital need.

Kindly forward this email and attachments to members of the Commission. In addition, please have these attachments available for the Food Pantry's presentation. In addition, below are links to a short video and some photos if they could also be available as well for the presentation. Finally, if multiple sets of hard copies are necessary, let me know; otherwise, I will assume this digital correspondence is sufficient.

[https://drive.google.com/file/d/1aW6eMbbHrL9LYZILQhkdaJKNd8WdVGod/view?usp=drive\\_web](https://drive.google.com/file/d/1aW6eMbbHrL9LYZILQhkdaJKNd8WdVGod/view?usp=drive_web)

[https://drive.google.com/file/d/1QIiLUxlLsueezWI8hK33Aigipq32AQQ/view?usp=drive\\_web](https://drive.google.com/file/d/1QIiLUxlLsueezWI8hK33Aigipq32AQQ/view?usp=drive_web)

As always. Thanks. -Tim



Timothy G. Willard, Esq. 302-856-7777

**FUQUA, WILLARD & SCHAB, P.A.**

26 The Circle, Georgetown, DE 19947

*This correspondence may contain  
attorney client privileged information.*



**Milton Community Food Pantry  
PO Box 84  
Milton, DE 19968**

**(302) 278-9557  
pantrymilton@gmail.com**

### **PANTRY HISTORY / WHO WE ARE**

In the winter of 2014, a woman came to the door of Reverend Diane Davis, pastor of Goshen United Methodist Church, asking not for money, but for some food for her family. Reverend Diane went to her pantry and put together whatever she could find. That night, Reverend Diane realized that there was poverty hidden in the town of Milton that most people were unaware of. She put together a small group of volunteers and the Milton Community Food Pantry (MCFP) first opened its door in June of 2014, at which time they served 5 families for a total of 9 people that day. Since then, the pantry has grown substantially. Up until the pandemic, we were serving 70-80 families per week, with 130 families at and around the holidays.

At present, we feed approximately 50 families per distribution on the first and third Monday of each month. The MCFP provides food for 3 meals a day, 3 days a week to help supplement a family's food budget. In spite of the pandemic, in 2021 we provided food for 60,000 meals. The MCFP feeds all who ask for food. We service not only the town of Milton, the 19968 zip code, but all surrounding areas including parts of Georgetown, Lewes, Lincoln, Ellendale, Broadkill Beach, Slaughter Beach, as well as many others. We have never turned anyone away. Many of our clients are senior citizens, people who have recently lost their jobs, people with disabilities, and young families struggling to put food on the table.

The MCFP is an independent 501(c)(3) organization that is run entirely by volunteers. Our mission is to combat hunger in Northeastern Sussex County. We rely totally on in-kind donations (e.g. canned/packaged goods and food rescue) as well as monetary donations from individuals and groups within the community. We also receive some foundation funding through various grants.

## **OUR CURRENT METHOD OF OPERATION**

The Covid 19 pandemic has forced the Milton Community Food Pantry to make changes in its food delivery model. Prior to the pandemic, the MCFP had always worked out of Goshen Hall, 114 Federal Street, in Milton. Since changing to our drive-through model of distribution, we have worked out of the Milton municipal parking lot, the parking lots at Goshen Church and hall and outdoors at the Water's Edge Church on Reynolds Road. We currently distribute on the first and third Mondays of the month, from 10 AM to 12 PM. We distribute food to approximately 50 families during that time many of whom carpool. A core group of 10-12 volunteers work the parking lot, handle registration, pack fresh produce, meats, and bakery items, and carry the fresh food as well as the boxes of canned goods to the cars. Clients never leave their cars as they are registered at the car and move forward through the line where volunteers pack the food directly into their vehicles.

The Pantry is also open on Saturdays from 10:00-12:00 for donations and packing of canned goods. There are usually 3 volunteers there at that time. Volunteers (1-2 at a time) shop for canned/dry goods at stores such as Save a Lot, Walmart, and Dollar Tree, pick up pre-made boxes from the Food Bank of Delaware, and do food rescue at Food Lion. As food has been difficult to obtain since the start of the pandemic, the Pantry turned to the Food Bank of Delaware as an emergency partner to get pre-packed boxes to distribute as well. In order to receive the government-issued boxes, clients must answer a brief question regarding their income. However, even if they do not qualify for those boxes, no one leaves us without food.

## **WHY WE NEED OUR OWN BUILDING**

Since our start, the MCFP has been reliant on the generosity of local churches and the town of Milton to provide us with a location from which to operate. We currently have food stored in refrigerators, freezers and the garages at various homes of our volunteers as well as in outdoor storage pods on the property of The Water's Edge Church. On the day of distribution, volunteers must collect the food from all these various locations, and then work packing and distributing it outside in all types of weather - a model which is unsustainable in the long run. Having a central location where we can store, pack and from which we can distribute will allow us to continue to provide this vital service to the Milton area in a safe and efficient manner. It will also provide us with the opportunity to take advantage of sales and expand our food rescue efforts.

Therefore, we are in need of our own building with ample space for storage of canned/dry goods and a central location for fresh/frozen food storage. We need a large enough lot that would provide some parking and would support our drive-through model of distribution. We also need to be fairly close to the town of Milton our core service area.

### **CHANGES TO / USE OF PROPERTY**

We are proposing the following changes to the property at 12898 Union Street, Extended:

- The circular driveway is already set up for the drive-through model we currently use. We normally have no more than 11-12 cars in line at one time. We would be able to accommodate these cars on the driveway. We will have a volunteer placed at the entrance as well as the exit to direct cars safely. The cars would enter on one side of the driveway and exit the other. Volunteers will register the clients at their cars, and then fresh food and canned goods/boxes would be loaded into their cars as they proceed through the driveway. They would then exit the property.
- We would knock down the old garage and shed and build a pole barn which would blend in with the property and be similar to those in the neighborhood. This structure would be climate controlled and is where we will store the canned/dry goods.
- We would clean up the property and put in some landscaping.
- The house would remain unchanged from the outside, but just spruced up a little. On the inside, we plan on redoing the kitchen and bathroom and opening up the living room to the kitchen, creating an open floor plan for packing fresh foods.
- A cement "patio" would be poured behind the house where a walk-in refrigerator/freezer would be housed.
- Our goal is to distribute from this location one day per week. On a distribution day, volunteers are present from about 8 AM until early afternoon. Clients are served from 9:30 until noon. This goal may need to be amended based on safety considerations and the number of families in need. Our distributions typically run for 2-3 hours on a weekday, when most people are at work and children are at school.
- Other than the distributions, activity on the property (including traffic and deliveries) will be minimal. Small deliveries by car or pickup truck would take place several times a week (usually 2-3 volunteers).

Donna Murawski, Board President, Milton Community Food Pantry

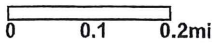




Layers Search Basemaps Select Area Search Results



COMP Plan - Developing









*Town of Milton*

115 Federal Street, Milton, Delaware 19968

[www.milton.delaware.gov](http://www.milton.delaware.gov)

Phone: 302-684-4110 Fax: 302-684-8999

June 30, 2022

Sussex County Planning and Zoning Commission  
P. O. Box 589  
Georgetown, Delaware 19947

RE: Conditional Use Permit for 12898 Union Street Ext. Sussex County Tax Parcel ID 235-7.00-182.00

Dear Commissioners,

I am writing this letter to encourage the Commission to approve the conditional use request for the Milton Community Food Pantry at the above referenced location.

Until recently the Food Pantry operated within the corporate limits of the Town of Milton. While operating within Milton, they were found to be well organized, conscientious, and able to operate in harmony with the day-to-day activities within the Town.

Having had the opportunity to observe their operation firsthand, I believe the site they have chosen is ideal to support their operation without any significant inconvenience to neighboring properties. Also, it is my opinion there will be no disruption to the flow of traffic on the road that serves this property.

The Milton Community Food Pantry is a non-profit organization which provides a valuable no cost service to those in need in the surrounding area. I strongly urge the Commission to give a positive response to their request.

Sincerely,

A handwritten signature in cursive script that reads "John R. Collier".

John R. Collier  
Mayor  
Town of Milton



## The Water's Edge Church

Reynolds Road, Milton Delaware 19968

Rev. Tim Wilson 302/604-4147 [revttww@gmail.com](mailto:revttww@gmail.com)

March 18, 2022

To Whom It May Concern:

My name is Tim Wilson, and I am the pastor of The Water's Edge Church. I just wanted to write a brief recommendation letter about the Milton Community Food Pantry. I have had the privilege over the last eight years to see the amazing and selfless ministry of the food pantry. This ministry is truly a labor of love and is a benefit to our town and the surrounding area. If it were not for this food pantry, I feel that there would be many families that would go without the basic dietary needs that their bodies require. Thank you for taking time to read this letter and I pray that you would be favorable to whatever this ministry is in need of.

Sincerely,

Rev. Tim Wilson

Denise Suthard  
Betty Holmes  
12842 Union Street, Ext.  
Milton, DE 19968

May 21, 2022

To Whom It May Concern:

My partner and I live down the street (12842 Union Street, Extended) from the proposed Food Pantry. We welcome this opportunity to have the home of MCFP in our neighborhood and support its work in caring for the people of our community.

Thank you,

Denise Suthard & Betty Holmes

July 7, 2022

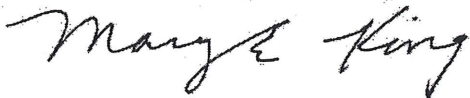
To Whom it may concern

It is my understanding that the Milton Food Pantry is requesting permission to change its location in order to improve its operational goals and objectives. On behalf of the Milton Garden Club Board of Directors and the members of the Club, I give our full support to the relocation of the Food Pantry to 12898 Union Street, Milton, Delaware.

I am also told that the current location is inadequate for the growing needs of the people served by the Food Pantry. The storage space is limited and access for the client is difficult. With the change to the new location, there will be room for expansion and the ability to increase the number of distribution days. These factors make it vitally important in this day and age, when inflation is out of control, gas prices are the highest they've ever been, and families are having to decide whether to purchase food for their tables or pay their rent. It is heart-wrenching to imagine the suffering our community would endure without the nourishment that the Food Pantry provides each year; supplying over 60,000 meals in 2021 alone.

I implore you to make the just and human decision to support the Milton Food Panty and their desire to move its location. By doing so, you become a champion of the many Food Pantry volunteers, who give so freely of their time to help those in need.

I thank you for your attention to this very important matter.



Mary Ellen King, President, Milton Garden Club

6/20/2022

I am writing to inform you of the wonderful work that the food pantry does for many families that need help. I started going there when I needed help for myself and my son who is terminally ill with 3 children. I, like many people, decided having to go there for help. The volunteers there changed all that. They were so welcoming and understanding that after a few months I looked forward to it. One of the volunteers there is a grandmother to my neighbor. She collected clothes and household items to put out for anyone who needed them. I started helping her sort through the items and helped put them out. When the virus hit they did not stop giving out food. They figured out how to do it safely. Some of my neighbors cannot get there to get the food because of their work schedules. They are nice enough to bring

it to my home so that I can keep it until they can pick it up. One family only has a small refrigerator and cannot keep alot of food in it, so I keep it in my freezer until they need it. Any clothes or leftover food is taken to the Good Shepard house. They give it to the homeless.

The volunteers at the pantry work in the rain, snow and heat to make sure anyone who needs food gets it. They are truly angels on this earth.

Gavin Mooney

To whom this may concern,

We moved to Milton over 7 years ago to 111 Federal Street. During the entire time that the Milton Food Pantry operated out of Goshen Hall across the street, we never had any issues regarding noise, congestion, or problems with the staff or their patrons. The entire operation was very well-run.

In addition, I never heard any of my neighbors complain about the presence of the Pantry. The town has always considered the operation a plus for the Milton area.

Sincerely,

Mae Lucier

A handwritten signature in cursive script, appearing to read "Mae Lucier", written in dark ink on a white background.



July 15, 2022

To Whom It May Concern:

I am very pleased to share that the Matt Haley Trust has been a lead supporter of the Milton Community Food Pantry for the past several years. Over time, our financial commitment to the Food Pantry has increased, due to both our confidence in the Pantry's capable leadership as well as growing food insecurity within the community. The Matt Haley Trust very much carries forward the high standards, no BS, and full accountability spirit of our founder, Matt Haley. In the Pantry we found a partner that is very much aligned with our organizational commitment and values. Simply said, even in the most challenging of times the Pantry consistently, thoughtfully, delivered on its obligations to its beneficiaries, its donors, and its neighbors. By doing good and doing it so well in harmony with the community the Pantry has made Milton and Sussex County a better place to live and a community that walks the talk of its principles.

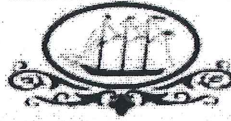
The Matt Haley Trust fully supports the Pantry's efforts to secure a more permanent, better functioning location and looks forward to many more years of sharing the commitment of doing good within Sussex County.

With gratitude,  
Matt Haley Trust

A handwritten signature in black ink, appearing to read 'Steven Himmelfarb', written in a cursive style.

Steven Himmelfarb  
Trustee





**MILTON COMMUNITY FOUNDATION**  
**"SERVING OUR TOWN"**  
P.O. Box 12, Milton, DE 19968  
*A 501c3 Non-Profit Organization*  
*Donations are tax deductible*

July 14, 2022

To: The Sussex County Planning and Zoning Planning Commission

Re: Support of Conditional Use Request by the Milton Community Food Pantry

Dear Commissioners,

This letter is in support of the Milton Community Food Pantry request to grant a Conditional Use of the property at 12898 Union Street, Extended.

The MCFP is one of the most important, if not the most important, non-profits that serves the Milton community.

To demonstrate how important we, The Milton Community Foundation, think the Food Pantry is to the community, we have been a supporter of them for over 10 years. The MCF has donated a freezer, large food scale, Food Lion gift cards and monetary donations all to support their mission of helping to ensure that those in our community who are food-insecure are able to obtain a basic need.

We ask that you grant this Conditional Use request so that the MCFP has the facility needed to allow them to continue to provide a vital necessity to the community.

Thank you for your consideration.

Respectfully,

Steve Crawford  
President - MCF

*2022 Officers and Members of the Board*

*President - Steve Crawford, Vice President - Vacant, Secretary - Al Benson, Treasurer - Claire Porterfield,  
Records - Beverly White, Tom Arkinson, Kenneth Brittingham, Bill Byrnes, Lisa Falzarano,  
Victor Gomez, Joan Martin-Brown, Melanie Oliver, John Potocki, Stel Parker-Selby*

*MiltonCommunityFoundation.org*

July 23, 2021

To whom it may concern,

This letter is in regard to the Milton Community Food Pantry, currently located at Goshen Hall, 114 Federal Street, Milton, DE. We are direct neighbors to Goshen Hall, residing at 120 Federal St. for the past 2.5 years.

Our experience with the Milton Community Food Pantry has been a positive one. They have always been kind and respectful as they provide a vital outreach service for our community members in need.

Distribution days are very organized, with orange cones set out and lots of on-site help directing patrons for pick up. If we are in our side yard during distribution hours we may hear voices in conversation, some laughter, and vehicles pulling in/out which are at low speeds and hardly impactful.... It's actually nice to have the lively activity next door for a few short hours each week.

As far as other times when the volunteers are working in preparation we don't even notice that, no impact on us at all - other than the occasional friendly wave 'hello' if we are in the front yard area of our home.

Using Google Maps street view we looked at the property proposed for the relocation of the Milton Community Food Pantry. Given the space around the building and the circular driveway, the access and flow will be much improved compared to the Federal St. location, especially with their drive-through model of distribution which is very quick and efficient. The neighboring properties are quite a distance away so any impact should truly be negligible.

We wish the Milton Community Food Pantry organization all the best, and hope that their new neighbors will be welcoming and supportive.

Sincerely,

The Dangers

*Beth & Chuck Dangers*

2.

# SOCIETY OF ST. VINCENT De PAUL



St. Jude the Apostle Conference  
P.O. Box 94  
Lewes, De. 19958

Tel 302-249-4664

To Whom It May Concern:

My name is Steve Kittka, and I am the President of the St Vincent DePaul Society at St Jude Church in Lewes. Please accept this letter as our recommendation and support of the Milton Pantry's request to move their operations to the Union Street Extended location.

We have partnered with the Milton Pantry for several years and have supported their mission to help feed our neighbors in need. They have consistently met the challenge in servicing the community through their hard work and extraordinary volunteers.

I feel strongly that the Milton Pantry is a valuable asset, and without their service, the community would surely suffer. With today's inflation and high cost of food, more community members than ever benefit from their generosity and their devotion.

In closing, I ask that you please consider and approve their request for the benefit of all our Neighbors.

If you have any questions, please do not hesitate to call my cell phone at 814-421-0434.

Sincerely,

Steven J. Kittka  
SVDP Society

*Serving in Hope*



*Town of Milton*

115 Federal Street, Milton, Delaware 19968

[www.milton.delaware.gov](http://www.milton.delaware.gov)

Phone: 302-684-4110 Fax: 302-684-8999

MARCH 29, 2022

TO WHOM IT MAY CONCERN;

I AM WRITING ON BEHALF OF THE MILTON COMMUNITY FOOD PANTRY. THE "PANTRY" IS AN EXTREMELY VALUABLE COMMUNITY RESOURCE DISTRIBUTING FOOD, SINCE 2014, TO THOSE MOST VULNERABLE TO FOOD INSECURITY, ESPECIALLY THE ELDERLY AND CHILDREN.

THE "PANTRY'S" DISTRIBUTION OF OVER 14,000 MEALS IN A FIVE YEAR PERIOD (2014-2019) SPEAKS TO THE EFFICIENCY AND PROFESSIONALISM OF THE GROUP, BUT MOST OF ALL THE REAL NEED TO FEED PEOPLE.

MOST RECENTLY, FROM 2019 TO 2022, THE COVID PANDEMIC, HAS DRAMATICALLY CHANGED HOW THE "PANTRY" DISTRIBUTES ITS' FOOD TO THE PUBLIC FROM WALK IN SERVICE TO DRIVE THRU ONLY. THIS HAS CREATED A MORE LOGISTICALLY CHALLENGING SITUATION AND ONE THAT NOW REQUIRES A FREE STANDING BUILDING FOR THE "PANTRY" TO DO IT'S BEST WORK.

I WOULD ASK ANYONE WITH THE ABILITY TO ENDORSE AND SUPPORT THE "MILTON COMMUNITY FOOD PANTRY" TO DO SO.

SINCERELY,

A handwritten signature in black ink, appearing to read "Ted Kanakos". The signature is fluid and cursive, with a large initial "T" and "K".

TED KANAKOS

MAYOR, MILTON, DE 19968

DATE: February 21, 2022

RE: Milton Community Food Pantry, Milton, DE

TO WHOM IT MAY CONCERN:

During a difficult time in our lives, while we were raising our two grandchildren, we were made aware of the Milton Community Food Pantry. While we were reluctant to try this at first, we were amazed at the efficiency with which it was run. They had a finely tuned process which allowed the cars to move in quickly and quietly. We have continued going back twice a month, and each time we moved through the line, the workers have been polite and friendly!

This is a valued part of the community and provides food distributions to many in Sussex County. The volunteers are dedicated to providing access to healthy foods to those that might not otherwise have such access.

As Jesus said, "For I was hungry and you gave me something to eat, I was thirsty and you gave me something to drink, I was a stranger and you invited me in." Matthew 25:35

Isaiah 58:10: "And if you spend yourselves in behalf of the hungry ....then your light will rise in the darkness, and your night will become like the noonday."

We totally support the work of the Milton Community Food Pantry!!

David & Kathy MacCord  
34010 Harvard Ave.  
Unit 1105  
Millsboro, DE 19966

February 7, 2022

Milton Community Food Pantry does an excellent job in providing food to those in need. I first found out about the pantry from County Bank in Milton, which has a basket for food donations. Even throughout the pandemic they continue to distribute food, simply amazing.

I am happy to support the food pantry knowing that many people are being helped when they need it the most.

Lois Downing

Milton

## Milton food pantry prepares for future

Distributions to start at Water's Edge Oct. 4



Milton Community Food Pantry is set to move on from its former home at Goshen Hall to new, temporary quarters at Water's Edge church off Route 16. The first distribution there will be Monday, Oct. 4. The pantry is close to obtaining its own facility just outside of Milton, although that is not expected to open until next year. Pantry leadership team members shown are (l-r) Ken Sosne, Tom DiDrio, Donna Murawski and Lawrence Bivens. RYAN MAVITY PHOTO

By Ryan Mavity September 23, 2021

This fall will bring a time of change for Milton Community Food Pantry as the organization transitions out of its longtime home at Goshen Hall to new, temporary quarters at Water's Edge church and finally to its own facility.

Donna Murawski, pantry president, said after Goshen Church put its Federal Street fellowship hall up for sale, Water's Edge reached out to allow the organization to use its building at 13275 Reynolds Road for storage and distribution. She said the facility also has a large parking lot, which will be very helpful to conform with COVID-19 guidelines.

For most of the last year and a half, the pantry has been doing drive-thru food distributions at the municipal parking lot on Magnolia Street.

Murawski said those events at Goshen Hall finished Sunday, Sept. 19. The first distribution at Water's Edge will be Monday, Oct. 4, and future events will take place on the first and third Monday of every month.

Throughout the pandemic, the pantry has continued operating as an independent nonprofit with regular distributions, which leadership views as a major accomplishment.

Ken Sosne, MCFP development volunteer, said, "A lot of the pantries out there, they give, but it's not regular. Knowing that we are on every first and third Monday, plus we do some additional, that's a testament to our clients and to the pantry for operating. People are going to get fed."

Tom DiOrio, special projects coordinator, said the pantry does not just serve the Milton ZIP code; it has clients from all around Sussex County and even into Kent County.

Prior to the pandemic, Murawski said the pantry relied on what she called food rescue donations from Food Lion, and purchases from low-price stores like Save-A-Lot and Dollar General.

"Once COVID hit, we couldn't get food anymore," she said. "Food Lion didn't have anything for us. All the stores and shelves were empty. We partnered with the Food Bank of Delaware on an emergency basis. And because of COVID, we have less volunteers."

Murawski said Food Lion has begun donating again as its supplies have shored up.

While the parking lot distributions have kept the pantry going, DiOrio said they are not ideal logistically, as the pantry has to haul boxes from Goshen Hall to the parking lot using volunteers to do the trucking.

"They had to load up 2,000 pounds or more of food on distribution day and truck it down to the lot, distribute it and bring it back," he said. "We've continued to operate, but under more difficult conditions than we had been."

All involved thanked Goshen Church for letting the pantry use the fellowship hall for the last seven years.

"They've been incredibly kind to us," Sosne said.

But as one door closes, another opens. While Water's Edge will be a temporary home, the pantry is getting closer to opening its own facility, a project that has been nearly two years in the making. DiOrio said finding the right spot was a challenge, given how hypercharged the real estate market is right now.

"Every place that we looked, by the time we looked at it, it was gone. And the prices have escalated in the last eight or 10 months. We don't have benefactors with unlimited funds," he said.

Murawski said the pantry now has an agreement for a new facility outside Milton town limits, but a conditional-use approval from Sussex County will be needed before it can open, a process that would take anywhere from six to 12 months. She said the new building is nice because there is space for expansion and for parking, so if the pantry needs to continue its drive-thru model, it can.

Pantry officials did not wish to disclose the location of the new building for two reasons – they did not want to cause confusion for those seeking food from the pantry, and the sale has not officially closed. Murawski said she expects to close on the building purchase by Tuesday, Oct. 26.

"It was important to stay near Milton. We have people who walk. We have people who bike. We couldn't get anything in town. As close to town as we could get, that was favorable," she said.

For more information on food distributions or donations, visit [miltonpantry.org](https://www.miltonpantry.org) (<https://www.miltonpantry.org/>). Anyone wishing to donate money should do so by mail at P.O. Box 84, Milton, DE 19968.

### Subscribe to the CapeGazette.com Daily Newsletter

Email Address

Daily Headlines

Breaking News

Subscribe

**EXPECT MORE FROM YOUR ADVISOR**

**RETIRE360**

www.retire360.com

410-877-3548

A PROCESS BY

**INFOCUS**

FINANCIAL ADVISORS, INC.

CLICK HERE TO LEARN MORE

RETIRE 360

### MOST POPULAR

- Lewes man pleads guilty to fourth... (11,649)
- Former Dewey Beach officer pleads... (9,360)
- Sportsmanship or bloodlust slaughter? (8,395)
- Fire damages Villages of Five Points... (7,069)
- Freeman soliciting comments for... (5,191)
- Protesters gather on The Circle (5,181)
- New eatery celebrates the old and the... (4,996)
- Painting at Herring Point leads to... (4,809)
- Citizens Bank to close Second Street... (4,041)
- Pires: Verizon reneged on promise to... (3,764)

### CALENDAR OF EVENTS

**Today**  
12:00 am to 2:00 pm

Single Seniors Beach Club

**Tomorrow**  
7:45 am to 8:15 am

Walk Aerobics Class DVD Led



# Milton Food Pantry seeks larger downtown

## Nonprofit seeks more freezer, storage space

By Ryan Mavity  
ryanm@capegazette.com

Milton Community Food Pantry is heading into its sixth year, but this year is different because the pantry plans to expand to a new building.

The pantry's leadership is exploring a move from its current home in Goshen Hall on Federal Street to a new location with permanent on-site storage.

Board President Donna Murawski said, "The church has been very good to us, and we're appreciative of everything they've done. But we are outgrowing it."

Pantry board member Tom DiOrio said when the pantry started, it served nine people. Last year, it served 14,590 people.

Ken Sosne, pantry development advisor, said the need continues to grow.

"Five months ago we were serving 60 to 65 clients a week," he said. "Today we're up to a little over 70 and sometimes up to 100 clients. We don't have enough capacity to service the clients."

"We're increasing our volume by 12 to 14 percent per year," DiOrio said.

At any one time, Sosne said, the pantry has more than 100 cases of food. Since the hall is owned and operated by Goshen United Methodist Church, it holds events at the Federal Street building and to make room, the pantry has to move all of its frozen and dry goods out. Sosne said volunteers store food in their garages or in their home freezers and then bring it all over. The pantry operates on Mondays from 10 a.m. to noon, packaging three days of meals for needy clients, not just in Milton but also in Harbeson, Slaughter Beach and Ellendale. While there are pantries in Lewes and Rehoboth Beach, Milton's pantry is the only one in northeast Sussex County.

The pantry would like to find space in downtown Milton that is

larger than the 2,000-square-foot Goshen Hall. Many clients do not have cars, so they walk, bike or rideshare, making a centralized location key.

Sosne said traffic flow at the

hall is also a concern as the parking lot is small, and street parking is limited given the number of people who come to the pantry each Monday.

"We need a good egress and

exit  
he:  
It  
ren  
fro:



RYAN MAVITY PHOTOS

MILTON COMMUNITY FOOD PANTRY has begun the process of looking for a larger building. The pantry has been held every Monday at Goshen Hall on Federal Street since 2014, but pantry leaders say they have outgrown the building. Shown are (l-r) Tom DiOrio, Barbara Wright, Ken Sosne and Donna Murawski.

# Pantry

Continued from page 57

grams because it does not have a walk-in freezer.

"We're servicing our clients well, but we could do better if we had the space," he said.

DiOrto said the pantry has established a building fund, but it will take at least a year to meet

the cost of renting or building a new building.

Sosne said the pantry has looked at commercial spaces around Milton, but those spaces have been scooped up quickly.

Ideally, the pantry would want space for a kitchen, food storage capacity and enough space for a freezer.

Sosne said the pantry has received a \$25,000 grant from the Matt Haley Trust that will pro-

vide food for 2020. One of the first donors was Milton Theatre, which in November donated \$500 raised during this year's Zombie Fest.

Theater spokesman JP Lacap said, "We were very happy to have chosen them. They're doing an exceptional job here."

Sosne said the pantry has also received a \$3,000 grant from the county and \$1,000 from SoDel Cares, the charity arm of SoDel

Concepts.

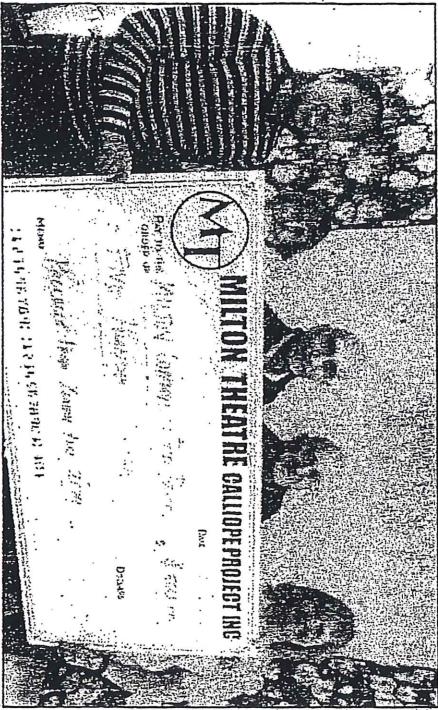
He said the pantry hopes to pay operating expenses using grants so unrestricted money can then go into a capital fund for a new facility. The capital fund is already at \$10,000, he said.

Murawski and DiOrto said they hope to find a new facility in 2021.

"We're not being naive. We know even if we have a building, we're going to have to support

that building," Murawski said. The pantry is a member of the United Way and is now a 501(c)3 nonprofit operating weekly, year-round. It runs entirely on food and monetary donations.

Those wishing to donate can do so to Milton Community Food Pantry, P.O. Box 84, Milton, DE 19968. Those seeking to donate food or volunteer can call 278-9557 or email [mcpf.delaware@gmail.com](mailto:mcpf.delaware@gmail.com).



In November, Milton Theatre donated \$500 to the pantry from last year's Zombie Fest. At the check presentation are (l-r) JP Lacap, Barbara Wright, Tom DiOrto, Ken Sosne and Donna Murawski.

# Milton Community Food Pantry gets \$40,000 grant

By Ryan Mavity  
ryamm@capegazette.com

Milton Community Food Pantry recently received a \$40,000 grant from ChristianaCare that will allow the pantry to do four food distributions a month and set up referral software to help those in need find the pantry.

Ken Sosne, the pantry's volunteer coordinator, said the grant is important for the organization, especially for the referral system supplied by the national company Unite Us, which can help find people who live in remote areas. In addition, Sosne said, the system will enable the pantry to be connected with other non-profits to share services.

He said similar grants were given to other organizations such as Boys & Girls Clubs and Sussex County Habitat for Humanity.

Two of the on-the-ground personnel from Unite Us, De-

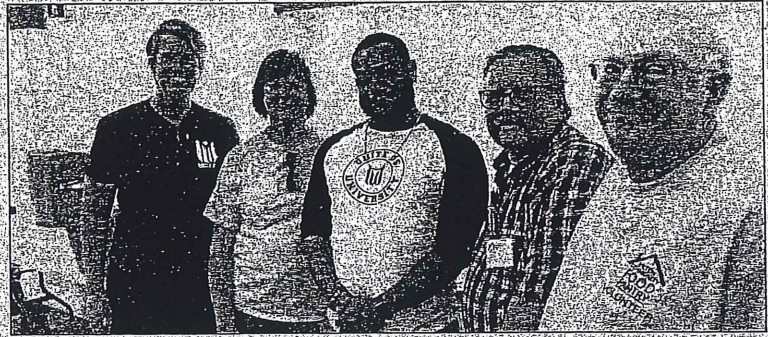
metrius Frazier and Lindsay Hebert, were at the pantry's May 16 food distribution to see the pantry in action and hand out meals.

Hebert said, "It's a nice analytic tool that will give beautiful visuals of how many food boxes they've given away and how many people they have served."

She said the way the referral system works is if people in the area need food and they are referred to the pantry, the pantry will easily be able to get information to those people on the dates of food distribution.

"It takes off some of the edge. We see people in the community that are embarrassed that they have a need. Because of that, they think it's too complicated. But it's really easy to get your need met, and that information is kept totally confidential in our system," Hebert said.

Food pantry President Don-



RYAN MAVITY PHOTO

**MILTON COMMUNITY FOOD PANTRY** recently received a \$40,000 grant from ChristianaCare to increase food distribution and set up a new software system through Unite Us that will allow for a referral system to help serve clients in more remote areas. Shown are (l-r) Lindsay Hebert of Unite Us, pantry President Donna Murawski, Demetrius Frazier of Unite Us, Lawrence Bivens and Ken Sosne.

na Murawski said, "I think this will be better organized. We just like the idea that if there is someone we haven't reached, we will be able to reach them."

The new system comes at a time of transition for the food pantry, which recently uprooted its operations from Goshen Hall in downtown

Milton to Water's Edge church on Route 16. However, in June the church will be demolishing a portion of its property, which includes the storage area the pantry is using.

In addition, in July, the pantry is scheduled to be heard by Sussex County Planning & Zoning Commission on a

new facility, which requires extensive renovation to be fitted for the pantry's use. Pantry leadership has not disclosed where the new facility is to keep clients from mistakenly going there for food distributions, which will continue to take place at Water's Edge on Mondays.

## DON-LEE MARGIN DONATES PACKAGING BAGS TO MILTON FOOD PANTRY



SUBMITTED PHOTO

**DON-LEE MARGIN CORPORATION** owner Denise Dickerson-Tull recently visited Milton Community Food Pantry and donated a year's supply of packaging bags.

This in-kind donation will save the pantry the cost of purchasing items needed to package meats and bakery products donated in bulk.

Based in Seaford, Don-Lee Margin provides janitorial and maintenance supplies to businesses of all sizes on Delmarva.

The generosity and kindness of the local community including individuals and businesses like Don-Lee Margin allows the pantry to feed 100 families per week. Pantry board and volunteers thank Dickerson-Tull and her Don-Lee Margin team for the visit and their kind donation.

For more information, go to [www.don-leemargin.com](http://www.don-leemargin.com) and [www.miltonfood-pantry.org](http://www.miltonfood-pantry.org).

Displaying donated packaging bags are (l-r) Courtney Norman, Don-Lee Margin Corporation; Ken Sosne, Milton Community Food Pantry board member; Denise Dickerson-Tull, Don-Lee Margin Corporation owner; and MCFP President Donna Murawski.

*Editor's note: The pantry has temporarily closed due to inadequate supply.*

To Whom it may concern

My partner and I  
live down the street, 12842  
from the proposed Food  
Pantry and welcome this  
opportunity to have something  
that care for the people  
of our community

Thank you

Betty Holmes and

Denise Stuber

## Home Depot donates to Milton Food Pantry

Due to the pandemic, the Milton Community Food Pantry has switched to single-use recyclable paper bags for its food distributions. The pantry had not previously budgeted for this cost.

To assist the pantry, Home Depot in Rehoboth Beach has donated three cases of paper bags to be used for packing food.

Lindsey Fry, Rehoboth Beach Home Depot manager, presented the bags to the pantry as part of the retailer's commitment to help serve the communities in which they operate.

Home Depot operates on a set of core values that includes Respect for All People, Doing the Right Thing, and Giving Back.

The Milton Community Food Pantry team thanks the local Home Depot for this generous donation. Those in need of food assistance can call Delaware 211 or contact the pantry team at 302-278-9557 or [pantrymilton@gmail.com](mailto:pantrymilton@gmail.com).

# Milton food pantry to offer emergency boxes

## Emergency supply available April 13

By Ryan Mavity

ryanm@capegazette.com

Milton Community Food Pantry will hold an emergency food box giveaway from 10 a.m. to noon, Monday, April 13, in the Magnolia Street municipal parking lot.

Food pantry President Donna Murawski said the pantry, which has largely been unable to operate for lack of a food supply, has secured 144 boxes of food from Delaware Food Bank through a U.S. Department of Agriculture program intended to get emergency food to people whose income has been affected by shutdowns to slow the spread of coronavirus.

Murawski said those seeking a food box must meet certain requirements mandated by USDA. First, they must have a Delaware driver's license and must meet income standards, which go from a single person up to a family of eight.

While income requirements vary, Murawski said a single person must show they make no more than \$23,000 per year or \$1,900 per month or \$445 per

week. A couple would have to make no more than \$31,000 per year, \$2,600 per month or \$602 per week. For a family of four, the limits are no more than \$47,000 per year, \$3,900 per month or \$917 per week.

Murawski said while food pick-up will be drive-thru, someone

will have to get out to fill out the income requirements and show identification.

The box giveaway is planned for 10 a.m. to noon or until supplies run out. Murawski said the pantry is still only operating on an emergency basis, but the plan is to do box giveaways whenever supplies are available.

The pantry has scheduled a rain date for Tuesday, April 14. More information will be posted at the pantry's usual home, at Goshen Hall on Federal Street, and can also be found at the pantry's Facebook page or at [www.miltonfoodpantry.org](http://www.miltonfoodpantry.org).



DENY HOWETH PHOTO  
Milton Community Food Pantry volunteers hand out food at a previous giveaway. The emergency food box giveaway is from 10 a.m. to noon, Monday, April 13, in the Magnolia Street municipal parking lot, across from the library.

# Milton pantry forced to suspend operations

## Empty supermarket shelves contribute to closure

By Deny Howeth  
sdeny@capegazette.com

An announcement on the Milton Community Food Pantry Facebook page alerted clients to the fact the pantry is closing down until further notice.

Donna Murawski said volunteers went to three to four stores to get products, and because of the rush on groceries by the public, they could no longer fill the pantry. Many donations from supermarkets have also dried up, she said.

According to the Facebook page, "The board of directors held an online meeting March 20 to discuss how to move forward in the coming weeks in order to protect the health and safety of all of our volunteers as well as the community we serve."

As a result, dry goods and meats were distributed March 23 in a cold, pouring rain, using a drive-through model at the municipal parking lot

across from the Milton library.

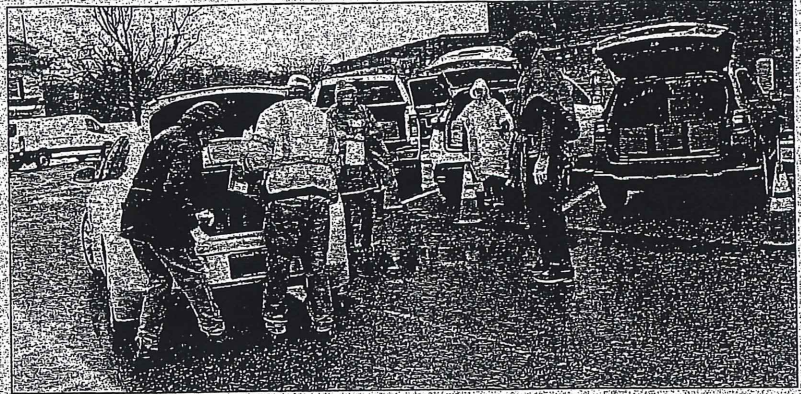
Clients remained in their cars, were checked in electronically, and received their final box of food until further notice.

Murawski said, "We will do our best to direct our clients to larger food distribution operations being conducted by the state."

"The Food Bank of Delaware, located in Milford, is still serving the hungry."

"As soon as we can, we will resume our work. Thank you all for your continued support of the Milton Community Food Pantry! We couldn't do it without your generous donations of time, food, and money!" the Facebook post reads.

The board will continue to monitor the situation and post updates on the website [www.miltonpantry.org](http://www.miltonpantry.org) and the Facebook page to keep the community informed. The Food Bank of Delaware website is [www.fbd.org](http://www.fbd.org).



DENY HOWETH PHOTOS

MILTON COMMUNITY FOOD PANTRY volunteers line up in a cold, pouring rain to load client cars with the final offering until further notice. Shown are (l-r) Lucien Ingrassia, Robert Lacey, Donna Murawski, Bobbie Hemmings and Tom Murawski.



Bobbie Hemmings puts gloves on for safety. She is checking in clients on a laptop in the back of her car.



For families of four and five, this car is stocked with pantry items.



Donna Murawski still has a smile despite the difficult situation. Nancy Lacey checks the number of boxes.



In the cold and pouring rain, Tom Murawski carries a box for eight to a car.



### MILTON LIONS DONATE TO PANTRY



SUBMITTED PHOTO

**THE MILTON LIONS CLUB** recently donated funds to the Milton Community Food Pantry.

Pantry volunteers use the funds to purchase protein items to supplement the boxes of food that are given out once a month.

The Lions collected nonperishable food items for the pantry in February and are planning another collection when the club resumes regular meetings.

Milton Lions President Daniel Harper, right, presents a check to Milton Community Food Pantry President Donna Murawski.

## Milton Community Food Pantry to distribute boxes April 27

By Ryan Mavity  
ryanm@capegazette.com

Milton Community Food Pantry will be distributing emergency food boxes from 10 a.m. to noon, Monday, April 27, at the municipal parking lot on Magnolia Street in Milton. The boxes are distributed through a U.S. Department of Agriculture pro-

gram intended to get emergency food to people whose income has been affected by shutdowns to slow the spread of COVID-19. Those seeking a food box must show a Delaware driver's license and meet income requirements, which vary but apply to a single person up to a family of eight. The box giveaway will run until noon or until supplies run out.



FILE PHOTO

# Milton Community Food Pantry marks 5-year anniversary

Charity has served more than 450K meals

By Ryan Mavity  
ryanm@capegazette.com

In its five-year history, Milton Community Food Pantry has helped serve 450,000 meals to needy families and individuals.

For the 50 dedicated volunteers of the pantry, serving the community is all in a day's work. On June 17, 245 people, including 70 families, came to pick up meals, a far cry from when the pantry began in 2014 and served only nine people.

The pantry was started by Goshen United Methodist Church, which teamed with nine other area churches to provide food to people who need it. Every Monday from 10 a.m. to noon, cars pack the tiny parking lot at Goshen Hall on Federal Street to pick up bags of food.

President Barbara Wright, who has been working at the pantry since June 2014, said all items are 100 percent donated, through donated items or monetary donations, used to buy more food to stock the pantry. The pantry also provides bags.

Almost everything is available: canned goods, vegetables, breads, spaghetti, meats, soups, even diapers. When asked what

doesn't the pantry have, Wright cracked, "A bigger room."

"If you use it at your house, we can use it," she said. "Doesn't matter if it's laundry detergent, Dog food, Books. We take every thing."

Wright said any excess food left over on Mondays is donated to Casa San Francisco on Broad Street.

"Nothing goes to waste," Wright said.

Wright said the pantry helps people subsidize their budget by giving out three days of meals. The pantry passes out chicken donated by Mountaire Farms of Delaware, and Food Lion in Milton gives packaged meats.

"From June 2014 to now we have packaged enough food for 450,000 people," Wright said.

One of the longest-running visitors is Brenda Moffett of Lincoln, who has been coming since the pantry opened. She said she found out about the pantry through word of mouth.

"They do a very good job. You couldn't ask for better people. I love all of them. They're like family."

Donations may be made in person at 114 Federal St. or via mail at P.O. Box 84 in Milton.



BRENDA MOFFETT holds her bags of food from Milton Community Food Pantry, with her 5-year anniversary. The pantry has served 450,000 meals since 2014.



Volunteer special advisor Kerri Sosne shows off bags of food lined up for pickup.

## CONDITIONAL USE #2310

### Milton Community Food Pantry, Inc.

#### PROPOSED FINDINGS

1. This is an application for a Conditional Use for a Food located on the West side of Union Street Ext. (Rt. 5) approximately .24 miles south of Reynolds Pond Road (SCR 231), 911 address 12898 Union Street Ext., Milton, Tax Mpay Parcel 235-7.00-18.00.

2. Under the Sussex County Comprehensive Plan Update Future Land Use Map, the parcel is located in the Coastal Area which is a Developing District. These areas are generally near municipalities and are suited for a variety of uses including business and commercial.

3. Under the Zoning Code, this parcel is located in the General Residential (GR) district which recognizes Conditional Uses when *residential, business, commercial or industrial uses when the purposes of this chapter are more fully met by issuing a conditional use permit.*

4. This application fits the purpose of Conditional Uses in that it: *provides for certain uses which cannot be well adjusted to their environment in particular locations with full protection offered to surrounding properties by rigid application of the district regulations; is a public or semipublic character; is essential and desirable for the general welfare; and because of the nature of the use, the importance of the relationship to the Comprehensive Plan and possible impact not only on neighboring properties but on a large section of the county, requires the exercise of planning judgment on location and site plan.*

5. Therefore, the proposed Conditional Use with the conditions imposed by the Sussex County Council will not have any adverse affect on the uses or

values of area properties, will contribute to the convenience and welfare of the county and its residents and is consistent with the purposes and goals of the Sussex County Zoning Ordinance and Comprehensive Plan Update.

## **CONDITIONAL USE #2310**

### **Milton Community Food Pantry, Inc.**

#### **PROPOSED CONDITIONS**

1. The Site shall be the home of the Milton Community Food Pantry, Inc..
2. The property shall be improved consistent with the submitted site plan.
3. Volunteers may work on site to collect, store and distribute food to clients.
4. On site delivery to clients will only take place one day weekly between the hour of 9AM and 1PM. An additional day weekly may be added after six months of operation if merited.
5. During delivery times all vehicles must be located on the site.
6. The entrances shall will be subject to the approval of DelDot.
7. Lighting shall be inward facing.
8. Only one lighted 2 foot by 3 foot sign shall be permitted on the building.
9. The Final Site Plan shall be subject to the review and approval of the Planning and Zoning Commission.