

JAMIE WHITEHOUSE, AICP
DIRECTOR OF PLANNING & ZONING
(302) 855-7878 T
(302) 854-5079 F
jamie.whitehouse@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

PLEASE NOTE

This paperless packet is published on the County's website for convenience purposes, and only includes information received up to the close of business on the day before a public hearing. Documents received after this, or documents submitted during the public hearing are not uploaded to the Paperless Packet. The legal record is the paper record maintained in the Offices of the Planning & Zoning Department.



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE



Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, AICP, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager; Lauren DeVore, AICP, Planner III; Michael Lowrey, Planner III; Chase Phillips, Planner II; Christin Scott, Planner II; Elliott Young, Planner I & Jesse Lindenberg, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: August 16, 2022

RE: Other Business for the August 25, 2022, Planning Commission Meeting

This memo provides background for the Planning Commission to consider as a part of the Other Business to be reviewed during the August 25, 2022, Meeting of the Planning & Zoning Commission.

Terrapin Island (F.K.A. Salt Cedars) (2020-13)

KS

Final Subdivision Plan

This is a Final Subdivision Plan for a Coastal Area Cluster Subdivision to subdivide 32.13 acres +/- into 42 single-family lots with private roads, open space, amenities to include community pocket parks, ephemeral ponds, walking trails and other related improvements. The parcel is located on the east side of Camp Arrowhead Road (S.C.R. 279) approximately 1.1 mile south of Angola Road (S.C.R. 277). The Planning and Zoning Commission approved the Preliminary Subdivision Plan at their meeting of Thursday, July 8th, 2021. The Final Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes and all Conditions of Approval. Tax Parcel: 234-18.00-31.00. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are in receipt of all agency approvals.

Lightship Cove (2021-11)

KH

Final Subdivision Plan

This is a Final Subdivision Plan for a Cluster Subdivision to divide 51.97 acres +/- into 97 single family lots. Included in the plan are private roads, open space, sidewalks, and other site improvements. The parcel is located on the southwest side of Fisher Road (S.C.R. 202), approximately 1.55 miles east of Lewes Georgetown Highway (Route 9). The Planning and Zoning Commission approved the Preliminary Subdivision Plan at their meeting of December 9th, 2021. The Final Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes as well as all Conditions of Approval. Tax Parcel: 334-10.00-69.00. Zoning: AR-1 (Agricultural Residential District). Staff are in receipt of all agency approvals.

(S-22-24) 4 Seasons Park (F.K.A. Country Lawn Care & Maintenance, LLC)

KH

Preliminary Site Plan

This is a Preliminary Site Plan for the 4 Seasons Park (F.K.A. Country Lawn Care and Maintenance LLC) for the construction of a commercial self-storage facility and landscaping business. The Preliminary Site Plan includes twelve "mini storage" structures of varying sizes, a 9,900 square foot covered parking spaces area for the storage of boats and recreational vehicles, a 6,000 square foot building for use as an office and storage, parking, and other ancillary improvements. The Plan includes three phases with the landscaping business improvements as Phase 1 at the rear of the site, the self-storage facility improvements as Phase 2 in the central area, and Phase 3 as a placeholder for future



improvements at front of the parcel. The parcel consists of 11.66 +/- acres and is located on the north side of Lewes Georgetown Highway (Route 9) approximately 0.4 miles west of Gravel Hill Road (Route 30). Tax Parcel: 135-11.00-32.00. Zoning: C-1 (General Commercial Zoning District) and C-2 (Medium Commercial Zoning District). Staff are awaiting agency approvals. If the Commission desire to act favorably on this plan, final approvals are requested to be made by staff upon the receipt of all agency approvals. Any proposed development as part of proposed Phase 3 will be brought back to the Commission as part of a Revised Site Plan for approval.

(S-22-15) Price Automotive, LLC

KS

Preliminary Site Plan

This is a Preliminary Site Plan for the construction of a 22,315 square foot automobile sales and service center. Included in the plan are 83 parking spaces, areas dedicated for inventory parking, utility and access easements, and other site improvements. This site is located within the Henlopen Transportation Improvement District and will be subject to an agreement with the Department of Transportation. The site is located within a Wellhead Protection Review Area and will be subject to review by the County Engineer prior to final approval. This Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 334-12.00-127.08 Zoning: Commercial Residential (CR-1). Staff are awaiting agency approvals and recommend that this plan return to the Commission for final approval.

Lauden Investments

KS

Preliminary Site Plan

This is a Preliminary Site Plan for Lauden Investments, LLC (CU 2264) for the adaptive reuse of two existing one-story structures on two adjacent parcels. The plan proposes the reuse of the two existing one-story office buildings, containing 1,600 square feet and 1,540 square feet respectively, as professional medical offices. The proposed use was approved as a Conditional Use (CU 2264) by the Sussex County Council on November 16th, 2021, via Ordinance No. 2813. The Preliminary Plan includes improvements primarily related to the design and configuration of the parking and internal circulation on the site. The parcels are located on the southeastern side of Savannah Road (Route 9B/ S.C.R. 443A) approximately 0.77-mile northeast of Wescoats Road (Route 12) and share an entrance. This Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcels: 335-8.18-15.00, 335-8.18-16.00. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are awaiting agency approvals. If the Commission desire to act favorably on this plan, final approvals are requested to be made by staff upon the receipt of all agency approvals.

Hickory Ridge Church

HW

Preliminary Site Plan

This is a Preliminary Site Plan for the construction of a foyer, a covered porch, and parking for an existing church. The parcel is 4.94 acres +/- and is located on the east side of the Sussex Highway (Rt. 13). The applicant is requesting parking partially located in the front setback due to site elevation constraints. This Preliminary Site Plan complies with the Sussex County Zoning Code. Zoning: AR-1 (Agricultural Residential District). Tax Parcel: 530-10.00-45.01. Staff are awaiting agency approvals. If the Commission desire to act favorably on this plan, final approvals are requested to be made by staff upon the receipt of all agency approvals.

(2004-17) The Villages at Red Mill Ponds South

KS

Request to Amend Conditions of Approval

The Planning and Zoning Department has received a request to amend Conditions of Approval of the Revised Final Subdivision Plan for The Villages at Red Mill Ponds South (2004-17) as approved by the Planning & Zoning Commission at their meeting of Thursday, January 24th, 2019. On June 10th, 2022, staff received a formal request to amend Condition 11 of the Plan's approval. The Applicant requests that Condition 11, requiring "*All amenities and recreational facilities shall be constructed and open for use by the residents of the development within 2 years of the issuance of the first building permit*" be amended. This AR-1 Residential Planned Community contains one-hundred and seventy-seven (177) single-family lots on 82.10 acres +/- and is located on the northeast side of Lewes Georgetown Highway (Rt. 9). Tax Parcel: 334-5.00-170.00. Zoning: AR-1 (Agricultural Residential District). Staff note that this request was previously heard and tabled at the August 11th, 2022, meeting to allow for the receipt of further information by staff. Staff have received the requested information and included supporting documents in the paperless packet. Staff note that:

- Our system indicates that one-hundred and ten (110) building permits have been applied for within The Villages at Red Mill Pond South. Of these 110 permits, sixty-eight (68) have been issued Certificates of Occupancy (COs).
- There are one-hundred and seventy-seven (177) lots in the subdivision.
- Per the original Conditions of Approval - "*All amenities and recreational facilities shall be constructed and open for use by the residents of the development within 2 years of the issuance of the first building permit.*" The first building permit for the subdivision was issued on January 17th, 2020, requiring the amenities to be completed by January 17th, 2022.
- There has been one previous request to extend the amenities competition date. The Commission approved this request at the June 23rd, 2022, meeting. The Commission granted a one (1) year time extension, requiring the amenities to be completed by January 17th, 2023.
- The applicant has provided:
 - a construction schedule for the amenities,
 - a letter from the developer indicating that one-hundred and thirty (130) of the one-hundred and seventy-seven (177) lots are still under the developer's control,
 - a letter of support from the HOA,
 - and a letter of support for the design changes to the amenity plan. This letter includes sixty-six (66) signatures on behalf of eighty-three (83) lot owners.

Lands of Timothy & Jessica Tice

BM

Minor Subdivision off of a 20-ft easement

This is a Minor Subdivision Plan for the creation of one (1) additional lot and residual lands off of a 20' wide ingress/egress access easement. Proposed Lot 1 consists of approximately 0.076 +/- acres and the residual lands will consist of approximately 1.16 +/- acres. The property is located on the east side of Charley's Run, a private road south of Fred Hudson Road (S.C.R. 360). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 134-13.00-86.00. Zoning: MR (Medium Residential District). If the Commission desire to act favorably on this plan, final approvals are requested to be made by staff upon the receipt of all agency approvals.

Lands of RDL Properties, LLC

BM

Minor Subdivision off of a 20-ft easement

This is a Minor Subdivision Plan for the creation of two (2) additional lots and residual lands off of a 20' wide ingress/egress access easement. Proposed Lot 1 consists of approximately 0.58 +/- acres;

Proposed Lot 2 consists of approximately 0.39 +/- acres; the residual lands will consist of approximately 0.90 +/- acres. The property is located on the east side of Charley's Run, a private road south of Fred Hudson Road (S.C.R. 360). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 134-13.00-87.00. Zoning: MR (Medium Residential District). If the Commission desire to act favorably on this plan, final approvals are requested to be made by staff upon the receipt of all agency approvals.



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. Box 778
DOVER, DELAWARE 19903

NICOLE MAJESKI
SECRETARY

May 26, 2022

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

**SUBJECT: Letter of No Objection to Recordation
Terrapin Island Subdivision**
Tax Parcel # 234-18.00-31.00
Camp Arrowhead Road (SCR 279)
Indian River Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Site Plan, dated August 7, 2020 (last revised May 19, 2022), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawings. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Site Plan is not recorded prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. Entrance plans shall be developed in accordance with DelDOT's [Development Coordination Manual](#) and submitted to the Development Coordination Section for review and approval.

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There

Terrapin Island Subdivision
Mr. Jamie Whitehouse
Page 2
May 26, 2022

may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

If I can be of any further assistance, please call me at (302) 760-2266.

Very truly yours,



Wendy L. Polasko, P.E.
Subdivision Engineer
Development Coordination

cc: John Stamato, Ribera Development, LLC
Alan Decktor, Pennoni Associates, Inc.
Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Matt Schlitter, South District Public Works Engineer
James Argo, South District Project Reviewer
Richard Larkin, South District Subdivision Manager
Jennifer Pinkerton, Chief Materials & Research Engineer
Linda Osiecki, Pedestrian Coordinator
John Fiori, Bicycle Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kauffman, DTC Planner
James Kelley, JMT
R. Stephen McCabe, Sussex County Review Coordinator
Brian Yates, Sussex County Reviewer



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

NICOLE MAJESKI
SECRETARY

May 26, 2022

Mr. Alan Decktor
Pennoni Associates, Inc.
18072 Davidson Drive
Milton, Delaware 19968

**SUBJECT: Entrance Plan Approval Letter
Terrapin Island Subdivision**
Tax Parcel #234-18.00-31.00
Camp Arrowhead Road (SCR 279)
Indian River Hundred, Sussex County

Dear Mr. Decktor:

The Department of Transportation has reviewed the Commercial Entrance Plans dated August 27, 2020 (last revised May 19, 2022) for the referenced project and determined that they are in general conformance with the Department's current regulations, specifications and standard details. By signing and sealing the plan set, the developer's engineer is responsible for accuracy of content. Any errors, omissions or required field changes will be the responsibility of the developer. This plan approval shall be valid a period of **three (3) years**. If an entrance permit has not been obtained within three years, then the plans must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. The following items will be required prior to the permit being issued. A pre-construction meeting may be required as determined by the South District Public Works office.

1. A copy of the recorded Site Plan which is consistent with the DeIDOT "No Objection to Recordation" stamped plan and all appropriate signatures, seals, plot book and page number.
2. Three (3) copies of the approved entrance plans.
3. Completed permit application.
4. Executed agreements (i.e. construction, signal, letter).
5. An itemized construction cost estimate.
6. A 150% security based upon an approved itemized construction cost estimate and W-9 form (if providing escrow).

Terrapin Island Subdivision
Mr. Decktor
Page 2
May 26, 2022

7. A letter of source of materials, work schedule, list of subcontractors, emergency telephone numbers and names of contact persons.

Please contact the South District Public Works office (302) 853-1340 concerning any questions you may have relative to the aforementioned required items.

Sincerely,



Wendy L. Polasko, P.E.
Subdivision Engineer
Development Coordination

cc: John Stamato, Ribera Development, LLC
Jamie Whitehouse, Sussex County Planning & Zoning Commission
Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Matt Schlitter, South District Public Works Engineer
James Argo, South District Project Reviewer
Richard Larkin, South District Subdivision Manager
Jerry Nagyiski, Safety Officer Supervisor
Jennifer Pinkerton, Chief Materials & Research Engineer
Linda Osiecki, Pedestrian Coordinator
John Fiori, Bicycle Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kauffman, DTC Planner
James Kelley, JMT
R. Stephen McCabe, Sussex County Review Coordinator
Brian Yates, Sussex County Reviewer



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT – SHALL BE POSTED ON JOBSITE UNTIL FINAL INSPECTION

Plan Review Number: 2021-04-208296-MJS-02

Tax Parcel Number: 234-18.00-31.00

Status: Approved as Submitted

Date: 05/24/2022

Project

Terrapin Island Subdivision

Camp Arrowhead Road

Ribera Development LLC Property

Lewes DE 19958

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 86 - Rehoboth Beach Vol Fire Co

Occupant Load Inside:

Occupancy Code: 9601

Applicant

Alan Decktor
18072 Davidson Drive
Milton, DE 19968

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:



John Colpo
Fire Protection Specialist

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2021-04-208296-MJS-02

Tax Parcel Number: 234-18.00-31.00

Status: Approved as Submitted

Date: 05/24/2022

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) ADOPTED September 1, 2021. The Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1040 A** This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 1,000 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 800' on center.
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1132 A** Fire hydrants shall be color coded in accordance with the DSFPR, Reg 703, Chap 3. This includes both color coding the bonnet and 2" reflective tape around the barrel under the top flange.
- 1232 A** All threads provided for fire department connections, to sprinkler systems, standpipes, yard hydrants or any other fire hose connections shall be uniform to those used by the fire department in whose district they are located. DSFPR Reg 703, Chap 1
- 1233 A** The fire department that responds to this location is using 5" storz fittings on the steamer.
- 1332 A** The distance between a fire hydrant and the fire lane shall not be greater than seven feet (DSFPR Part V, Chapter 5, Section 5 10.4).
- 1432 A** The steamer connection of all fire hydrants shall be so positioned so as to be

facing the street or fire lane. (DSFPR Regulation 705, Chapter 5, Section 10). The center of all hose outlet(s) on fire hydrants shall be not less than 18 inches above finalgrade (NFPA 24)

- 1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.

MAPPING & ADDRESSING

MEGAN NEHRBAS
MANAGER OF GEOGRAPHIC
INFORMATION SYSTEMS (GIS)
(302) 855-1176 T
(302) 853-5889 F



Sussex County

DELAWARE
sussexcountyde.gov

February 23, 2021

Pennoni
Attn: Katherine E. Davidson & Alan M Decktor

RE: Terrapin Island

I have received proposed street name(s) for the proposed subdivision, **Terrapin Island**, located in Lewes. In reviewing the proposed street name(s) the following have been approved:

Torope Ln	Brackish Dr	Malaclemys Dr
------------------	--------------------	----------------------

Use only **approved** road names that you have written confirmation for or you will be required to rerecord. Each street name is to be used only once.

Upon final approval of **Terrapin Island** please forward a copy of the recorded site plan to my attention. Our office would appreciate a digital copy if at all possible, for the purpose of addressing. Should you have any questions, please contact the **Sussex County Addressing Department** at 302-855-1176.

Sincerely,

Terri L. Dukes

Terri L. Dukes
Addressing Technician II

CC: Christin Headley
Planning & Zoning



MAPPING & ADDRESSING

MEGAN NEHRBAS
MANAGER OF GEOGRAPHIC
INFORMATION SYSTEMS (GIS)
(302) 855-1176 T
(302) 853-5889 F



Sussex County

DELAWARE
sussexcountyde.gov

October 21, 2020

Pennoni

Attn: Katherine E. Davidson

RE: Proposed Subdivision Name(s)

I have reviewed the name(s) submitted for your proposed subdivision which is located in Lewes (234-18.00-31.00). In reviewing the proposed name(s) the following has been approved for this subdivision:

Terrapin Island

Should you have any questions please contact the Sussex County Addressing Department at 302-853-5888 or 302-855-1176.

Sincerely,

Terri L. Dukes

Terri L. Dukes
Addressing Technician II

CC: Christin Headley
Planning & Zoning





DEPARTMENT OF THE ARMY
U.S. ARMY CORPS OF ENGINEERS, PHILADELPHIA DISTRICT
100 PENN SQUARE EAST
PHILADELPHIA PENNSYLVANIA 19107-3390

October 15, 2021

Regulatory Branch

SUBJECT: CENAP-OP-R-2021-388-23 (NWP14 Verification)
Project Name: Terrapin Island SX
Latitude/Longitude: 38.665994° N /-75.141575° W (NAD 83)

Edward M. Launay
Environmental Resources, Incorporated
38173 DuPont Boulevard
Post Office Box 169
Selbyville, Delaware 19975

Dear Mr. Launay:

This letter is written regarding a proposal by Ribera Development LLC to discharge fill material into waters of the United States to construct two minor road crossings at the proposed Terrapin Island residential community located at Tax Map Parcel 2-34-18.00-31.00, Sussex County, Delaware. Based upon our review of the information you provided, we have determined that the proposed work is authorized by Department of the Army Nationwide Permit 14 (NWP14) pursuant to Section 404 of the Clean Water Act (33 USC 1344).

This verification of authorization under NWP14, described in the Federal Register at 82 FR 1860, is based on your agreement to comply with the NWP general conditions, the NWP regional conditions, and the project-specific special conditions listed below in this letter. Copies of the NWP descriptions, NWP general conditions, and NWP regional conditions for Delaware may be found at:

2017 NWP Descriptions

<https://www.nap.usace.army.mil/Portals/39/docs/regulatory/nwp/2017-NWP-Descriptions.pdf?ver=2020-05-12-205253-183>

2017 NWP General Conditions

<https://www.nap.usace.army.mil/Portals/39/docs/regulatory/publicnotices/2017%20Nationwide%20Permit%20General%20Conditions.pdf>

2017 Delaware Regional Conditions

https://www.nap.usace.army.mil/Portals/39/docs/regulatory/publicnotices/2017_DE_Reg%20Cond_Final.pdf

Nationwide permits verified by the Corps of Engineers require determinations from the state government that the activities are consistent with the state's coastal zone management (CZM) program if the activity is located within the state's coastal zone. The entire State of Delaware has been designated as a Coastal Zone Management Area. Federal permits also require the state's certification of compliance with Section 401 of the Clean Water Act through the receipt of a 401 Water Quality Certificate (WQC) if the activity involves a Section 404 discharge. A general WQC has been issued for this permit. A general CZM consistency concurrence has been issued for this permit. Therefore, no further action is needed as part of the federal review of your project, provided you comply with all of the terms and conditions of this NWP.

This verification of NWP authorization is valid until the Nationwide Permits expire on March 18, 2022, unless the NWP authorization is modified, suspended, or revoked prior to this date. In the event that the NWP authorization is modified during that time period, this expiration date will remain valid, provided the activity complies with any subsequent modification of the NWP authorization.

Activities which have commenced (i.e. are under construction) or are under contract to commence in reliance upon an NWP will remain authorized provided the activity is completed within twelve months of the date of an NWP's expiration, modification, or revocation, unless discretionary authority has been exercised on a case-by-case basis to modify, suspend, or revoke the authorization in accordance with 33 CFR 330.4(e) and 33 CFR 330.5 (c) or (d). Activities completed under the authorization of an NWP which was in effect at the time the activity was completed continue to be authorized by that NWP.

This verification of NWP authorization is valid until the Nationwide Permits expire on March 18, 2022, unless the NWP authorization is modified, suspended, or revoked prior to this date. In the event that the NWP authorization is modified during that time period, this expiration date will remain valid, provided the activity complies with any subsequent modification of the NWP authorization.

Activities which have commenced (i.e. are under construction) or are under contract to commence in reliance upon an NWP will remain authorized provided the activity is completed within twelve months of the date of an NWP's expiration, modification, or revocation, unless discretionary authority has been exercised on a case-by-case basis to modify, suspend, or revoke the authorization in accordance with 33 CFR 330.4(e) and 33 CFR 330.5 (c) or (d). Activities completed under the authorization of an NWP which was in effect at the time the activity was completed continue to be authorized by that NWP.

PROJECT SPECIFIC SPECIAL CONDITIONS:

1. All work performed in association with the above noted project shall be conducted in accordance with the project plans prepared by Pennoni Associates, Inc., dated August

27, 2021, and titled: Terrapin Island Subdivision, Tax Map 234-18.00-31.00, Sussex County, Delaware 19958, Ribera Development, LLC, 8684 Veterans Highway, Suite 203, Millersville, MD 21108, nineteen sheets.

2. Construction activities shall not result in the disturbance or alteration of greater than 0.22 acre of waters of the United States.

3. Any deviation in construction methodology or project design from that shown on the above noted drawings must be approved by this office, in writing, prior to performance of the work. All modifications to the above noted project plans shall be approved, in writing, by this office. No work shall be performed prior to written approval of this office.

4. This office shall be notified at least 10 days prior to the commencement of authorized work by completing and signing the attached Notification/ Certification of Work Commencement Form (Enclosure 1). This office shall also be notified within 10 days of the completion of the authorized work by completing and signing the attached Notification/Certification of Work Completion/Compliance Form (Enclosure 2). Notifications required by this condition may be in writing by mail, fax, or electronic notification via email. Oral notifications are not acceptable. Similar notification is required each time maintenance work is to be done under the terms of this Corps of Engineers permit.

5. To compensate for the discharge of fill material into 0.22 acre of non-tidal wetlands at the Terrapin Island project site, the permittee shall preserve and permanently protect 14.76 acres of important wetland and upland habitat lands at the project site. The protected habitat shall be established in accordance with the text of a compensatory mitigation narrative prepared by Edward M. Launay, Professional Wetland Scientist No. 875, Environmental Resources, Inc., dated June 21, 2021, and titled: Terrapin Island Residential Community, Proposed Compensatory Mitigation. Furthermore, the protected habitat work shall be conducted in accordance with graphic plans prepared by Pennoni Associates, Inc., dated August 27, 2021, and titled: Terrapin Island Subdivision, Tax Map 234-18.00-31.00, Sussex County, Delaware 19958, Ribera Development, LLC, 8684 Veterans Highway, Suite 203, Millersville, MD 21108, nineteen sheets.

6. Prior to commencement of the authorized work, and in accordance with the above referenced narrative and plans, the permittee shall create a *Conservation Area* at the Terrapin Island residential community in order to permanently protect 14.76 acres of natural habitat lands located at Sussex County Tax Map Parcel 234-18.00-31.00, Sussex County, Delaware. The protected conservation area shall include mature forested wetlands and uplands, emergent wetlands, and tidal marshlands.

7. The *Conservation Area* shall be permanently protected by the execution and recordation of a *Declaration of Restrictions* in and amongst the land records of Sussex County, Delaware. The declaration shall conform in form and substance to the text of the draft *Declaration of Restrictions* submitted to the Corps of Engineers and prepared

by Environmental Resources, Inc., 38173 DuPont Boulevard, Selbyville, Delaware 19975. A copy of the executed and recorded *Declaration of Restrictions* shall be forwarded to the Corps of Engineers at 1203 College Park Drive, Suite 103, Dover, Delaware 19904, or submitted by email attachment to john.g.brundage@usace.army.mil., or to michael.d.yost@usace.army.mil.

Any comments, positive or otherwise, on the procedures, timeliness, fairness, etc., may be submitted to PhiladelphiaDistrictRegulatory@usace.army.mil. If you have questions, please contact John Brundage at (302) 736-9764, by email at john.g.brundage@usace.army.mil, or by writing to the above address.

Sincerely,

A handwritten signature in cursive script that reads "John G. Brundage".

John G. Brundage
Senior Staff Biologist
Regulatory Branch

Enclosures

Copies Furnished:
DDNREC
DDNREC-CZM



July 7, 2022

TIDEWATER UTILITIES, INC.

APPROVAL TO CONSTRUCT

Angola District

Terrapin Island Subdivision Connection
PWS #DE0000248
Approval #22W126

Mr. John Stamato
Ribera Development, LLC
8684 Veterans Highway, Suite 203
Millersville, MD 21108

Dear Mr. Stamato:

As provided by Section 2.11 of the *State of Delaware Regulations Governing Public Drinking Water Systems*, you are granted approval to connect Terrapin Island Subdivision to the existing main in accordance with the plans submitted by Pennoni Associates, Inc. The plans consist of:

1. Transmittal letter dated July 5, 2022.
2. One copy of the plans entitled "Terrapin Island Subdivision Construction Plan Set" dated August 27, 2020, and revised April 20, 2022.

These plans, as noted, are made a part of this approval. This approval is granted subject to the enclosed list of conditions.

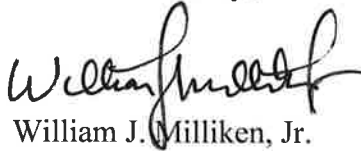
It is the owner's responsibility to ensure as-built drawings are maintained throughout all phases of construction. Prior to receiving an Approval to Operate, the Office of Engineering requires one set of as-built drawings, including profile markups.

The Office of Engineering recommends detectable tracer tape that is three inches wide and blue in color to be installed directly above all water mains larger than two inches in diameter.

Mr. John Stamato
Ribera Development, LLC
July 7, 2022
Page 2

Should you have any questions regarding this matter, please feel free to contact Bill Milliken at (302) 741-8646.

Plans reviewed by:



William J. Milliken, Jr.
Engineer III
Office of Engineering

Sincerely,



Doug Lodge, P.E.
Supervisor of Engineering
Office of Engineering

cc: Public Service Commission
Alan M. Decktor, P.E., Pennoni Associates, Inc.
Alexis Virdin-Gede, Tidewater Utilities, Inc.
Ashley Kunder, Office of Drinking Water

1. The approval is void if construction has not started by July 7, 2023.
2. The project shall be constructed in accordance with the approved plans and all required conditions listed in this Approval to Construct. If any changes are necessary, revised plans shall be submitted and a supplemental approval issued prior to the start of construction. As-built plans including profile mark-ups must be submitted to the Office of Engineering after construction has been completed.
3. Representatives of the Division of Public Health may inspect this project at any time during the construction.
4. This approval does not cover the structural stability of any units or parts of this project.
5. The water system shall be operated in conformance with the *State of Delaware Regulations Governing Public Drinking Water Systems*.
6. All potable water lines and appurtenances shall be disinfected using one of the methods in the American Water Works Association Standard C651, current edition.
7. Water mains crossing sanitary and storm sewers should be laid to provide a minimum vertical distance of 18 inches between the outside of the water main and the outside of the sewer, and the water main should be above the sewer. At crossings, one full length of water pipe should be located so both joints will be as far from the sewer as possible. Special structural support for the water and sewer pipes may be required. In cases where it is not practical to maintain an 18-inch separation, the Division may allow deviation on a case-by-case basis if supported by data from the design engineer.
8. Water mains should be laid 10 feet horizontally from any existing or proposed sanitary or storm sewers. The distance should be measured edge to edge. In cases where it is not practical to maintain a 10-foot separation, the Division may allow deviation on a case-by-case basis if supported by data from the design engineer.
9. All chemicals, materials, mechanical devices, and coatings in contact with potable water shall comply with National Sanitation Foundation/American National Standards Institute Standards (NSF/ANSI) 60 and 61 and shall be inert, nontoxic, and shall not impart any taste, odor, or color to the water.
10. Sufficient valves should be provided so that inconvenience and sanitary hazards will be minimized during repairs. Valves should be located at not more than 500-foot intervals in commercial districts and at not more than one block or 800-foot intervals in other districts.
11. There shall be no connection between the distribution system and any pipes, pumps, hydrants, or tanks whereby unsafe water or other contaminating materials may be discharge or drawn into the system.

12. Fire hydrant drains shall not be connected to or located within 10 feet of sanitary sewers, storm sewers, or storm drains.
13. Prior to usage of water from this new well, water plant, storage plant, or distribution system, approval for the water quality must be obtained from the Division of Public Health.
14. The water system should be capable of providing at least 25 psi at ground level at all times throughout the distribution system.
15. All plastic pipe utilized in this drinking water system shall be approved for potable water use (NSF-pw). If any piping is joined with solder or flux, the solder and flux shall be lead free (less than or equal to 0.2 percent lead).
16. All water lines should be buried to a depth of at least 3 feet.
17. A Certificate of Public Conveniences and Necessity should be acquired from the Public Service Commission, (302) 739-4247.
18. This approval is for the distribution system only. Plans and specifications for all well plumbing, pumps, storage (including any interior coatings), and treatment must be submitted to and approved by this office prior to their installation.
19. The approval is subject to immediate revocation upon violation of any of the preceding conditions.
20. All other local (county/city/town) approvals or permits needed must be obtained prior to beginning construction.
21. Upon completion of construction and before the system is placed into operation, a "Notice of Completion" must be submitted to the Office of Engineering. Before placing the system into operation, the following must be adhered to:
 - a. Submit a set of as-built plans with profile markups to the Office of Engineering.
 - b. Obtain an Approval to Operate from the Office of Engineering.



June 07, 2022

Mr. John Stamato
Ribera Development, LLC
8684 Veterans Highway
Millersville, MD 21108
johnstamato@riberadev.com

RE: Terrapin Island

Dear Mr. Stamato:

A Sediment and Stormwater Management Plan has been reviewed for compliance with the Sediment and Stormwater Regulations and is approved with conditions (see attached). Enclosed herein please find a copy of the approved application form and approved plan sets. Please retain a copy for your use, and provide the contractor with a copy to be retained onsite at all times. Failure to keep an approved plan onsite is a violation of the approved plan.

Approval of a Sediment and Stormwater Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.

This plan approval pertains to compliance with the Delaware Sediment and Stormwater Regulations. Please understand that the approval of this plan does not relieve you from complying with any and all federal, state, county, or municipal laws and regulations.

As of January 1, 2014, the Sussex Conservation District began collecting financial guarantees to ensure the construction of stormwater management practices is accomplished in accordance with the approved sediment and stormwater plan. Please refer to the SCD Policy on Bonds located on our website at Sussexconservation.org. If you have any questions concerning the aforementioned, please do not hesitate to call 302 856-7219.

Sincerely,

Jessica Watson

Jessica Watson
Program Manager



CONDITIONS OF APPROVAL

NOTIFICATION

1. This approved plan will remain valid for 5 years from the date of this approval. If construction does not begin within five years, the approved plan will be considered to have expired and must be resubmitted to the District for a new review. In addition, if work is not completed within the five-year timeframe, the District must be contacted and a request for an extension submitted. Depending on regulation changes, a new plan may need to be submitted to ensure that all stormwater management facilities are constructed to the most recent standards.
2. Submittal of the Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activities together with this approval of the detailed Sediment and Stormwater Plan provide this project with Federal permit coverage to be authorized to discharge stormwater associated with construction activities. It is the owner's responsibility to ensure that permit coverage remains valid throughout construction by submitting the NOI fee annually as requested. The developer is responsible for weekly self-inspection reporting to be retained onsite.
3. Notify the Sussex Conservation District Sediment and Stormwater Management Section of your intent to begin construction in writing five (5) days prior to commencing. Failure to do so constitutes a violation of the approved plan.

CHANGES

1. This project is to be undertaken in accordance with the plans submitted and as approved. If changes are necessary at any time during the completion of the project, submit revised plans, prior to further construction, to the Sussex Conservation District Sediment and Stormwater Program for review and approval of the revision.
2. Should ownership change during the construction period, a revised plan must be submitted for approval showing the new owner's signature on the owner's certification. In addition, a Transfer of Authorization form must be submitted to DNREC to transfer Federal permit coverage to the new owner.

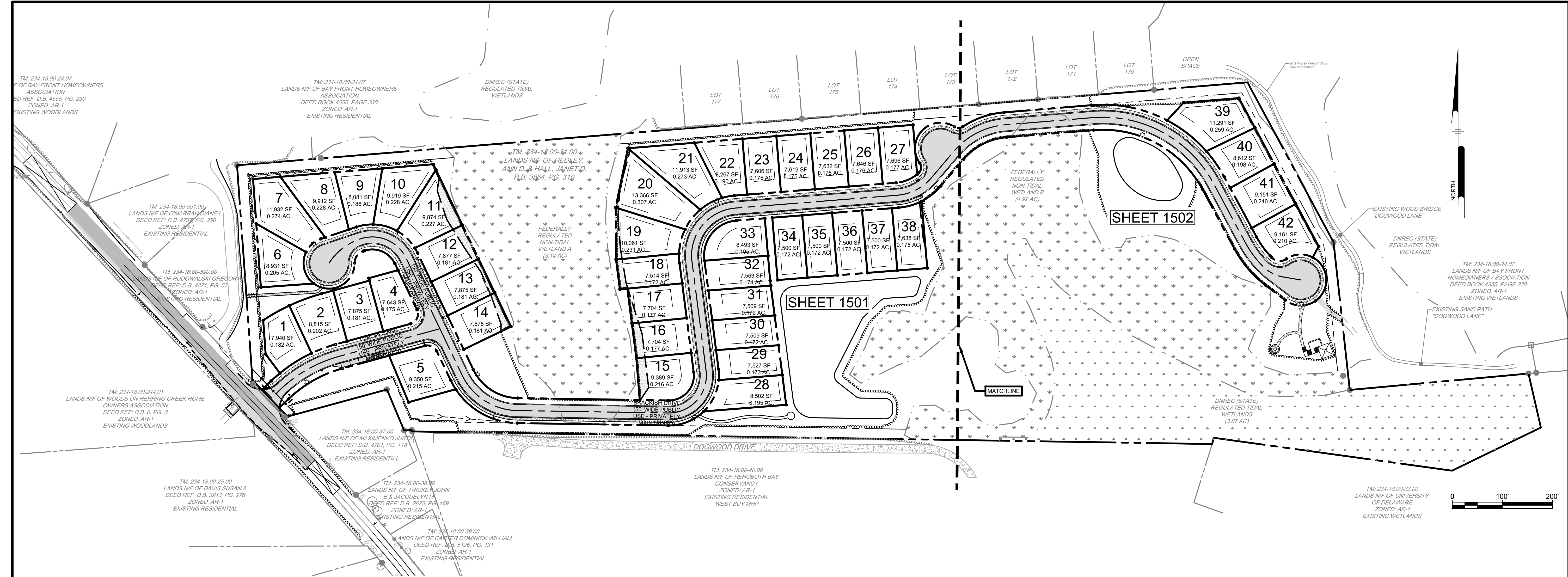
CONSTRUCTION AND CLOSEOUT

1. A pre-construction meeting must take place before any land disturbing activity begins. The meeting may take place on site and be attended by the owner, contractor, design consultant, Certified Construction Reviewer, and Sussex Conservation District Sediment and Stormwater Program Construction Reviewer. The owner or the owner's designee shall contact the Sussex Conservation Construction Reviewer to schedule the pre-construction meeting.
2. Keep available onsite, during all phases of construction, a copy of the approved Sediment and Stormwater Management Plan.
3. Keep available onsite, during all phases of construction, copies of the Developers weekly self-inspection reports and/or the CCR Reports.
4. Any sediment transported off-site to roads or road rights-of-way including ditches shall be removed. Any damage to ditches shall be repaired and stabilized to original condition.
5. Grading shall not impair surface drainage, create an erosion hazard, or create a source of sediment to any



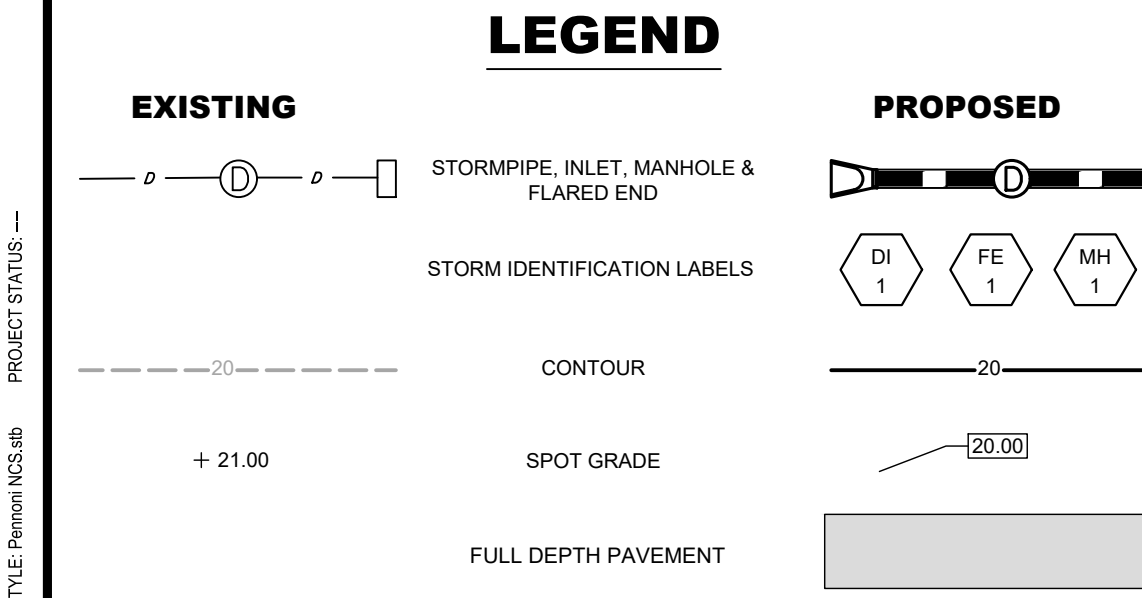
adjacent watercourse or property owner.

6. Failure to implement the permanent stormwater management practices as mentioned herein constitutes a violation of the conditions of this plan approval; it may result in the suspension or revocation of building permits or grading permits issued by the local jurisdiction, and it may result in legal action by the DNREC to bring the site into compliance with the approved Sediment and Stormwater Management Plan and the Delaware Sediment and Stormwater Regulations.
7. The permanent stormwater management facility or facilities must be constructed and accepted by the Sussex Conservation District Sediment and Stormwater Program prior to final closeout of the project site. Post-construction verification documentation of the stormwater management facility or facilities must be completed as soon as construction of the facility or facilities is complete so that any necessary modifications may be made during the construction period.



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

TERRAPIN ISLAND SUBDIVISION
GRADING AND PLAN KEY SHEET
 TAX MAP: 234-18-00-31-00
 INDIAN RIVER HUNDRED SUSSEX COUNTY
RIBERA DEVELOPMENT, LLC.
 8684 VETERANS HIGHWAY, SUITE 203
 MILLERSVILLE, MD 21108



GRADING NOTES:

- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED 8 INCHES IN COMPACTED FILL THICKNESS. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. MATERIAL THAT CANNOT BE COMPACTED AS REQUIRED SHALL BE BROUGHT TO THE ATTENTION OF THE GEOTECHNICAL ENGINEER, OVER EXCAVATED, AND THEN REPLACED WITH SUITABLE FILL. REFER TO THE EARTHWORK SPECIFICATIONS FOR ALLOWABLE SOIL.
- THE CONTRACTOR WILL INSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
- THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER OR SOIL SCIENTIST. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
- CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AREA AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
- VERTICAL ELEVATIONS ARE BASED ON NAVD 88.
- ALL SLOPES MAXIMUM 2:1 UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING AND DISPOSING EXCESS DIRT FROM THE SITE.
- ALL HDPE PIPE SHALL MEET OR EXCEED THAT AASHTO M330 PIPE SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE TOWARDS OUTLET AT ALL TIMES DURING CONSTRUCTION. PONDING OF WATER, EXCLUDING STORMWATER MANAGEMENT PONDS, AND LACK OF POSITIVE DRAINAGE WITHIN THE PROPERTY DURING GRADING, FILLED OR EXCAVATED, NO MATTER OF THE DESIGN OR THE STAKEOUT, IS FORBIDDEN WITHOUT THE PERMISSION OF THE DESIGN ENGINEER OR THEIR AUTHORIZED REPRESENTATIVE. CONTRACTOR IS RESPONSIBLE TO DISCUSS ALL GRADING AND DRAINAGE CONCERNS WITH THE DESIGN ENGINEER, PRIOR AND DURING APPLICATION TO ENSURE THAT POSITIVE DRAINAGE TOWARDS OUTLETS ARE ADDRESSED APPROPRIATELY AND SAFELY. DESIGN ENGINEER WILL BE HELD HARMLESS FROM CONCERNS ARISING FROM THE LACK OF POSITIVE DRAINAGE IF NOT NOTIFIED PRIOR TO ITS APPLICATION.
- MAXIMUM SIDEWALK CROSS SLOPE IS 2% AND MINIMUM SIDEWALK CROSS SLOPE IS 1% WITHIN THE PUBLIC RIGHT OF WAY.
- A DETAILED GRADING PLAN SHALL BE SUBMITTED TO THE COUNTY ENGINEERING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO ANY BUILDING PERMITS BEING ISSUED.
- ALL CASTINGS MUST BE AMERICAN MADE.

PROPOSED STORMWATER UTILITY NOTES:

- ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN THE PLAN.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE REJECTED.
- THIS PROJECT IS SUBJECT TO INSPECTION AND APPROVAL BY REPRESENTATIVES OF THE SUSSEX COUNTY CONSERVATION DISTRICT AND SUSSEX COUNTY ENGINEERING DEPARTMENT.
- UTILITIES ENTER THE PREMISES FROM PUBLIC STREETS OR RIGHTS OF WAY.
- HDPE PIPE SHALL COMPLY WITH AASHTO M252, M254, M254, M254 AND ASTM D3500. PIPE SHALL BE INSTALLED PER ASTM D2322, ADD AS RECOMMENDED BY THE MANUFACTURER. ALL HDPE SHALL HAVE SOIL TIGHT CONNECTIONS. ALL HDPE PIPES SHALL MEET OR EXCEED THAT AASHTO M-330 PIPE SPECIFICATIONS.
- ALL HDPE PIPE SHALL MEET OR EXCEED THAT AASHTO M330 PIPE SPECIFICATIONS.

NO.	DATE	REVISIONS	BY
2	2022-03-07	REVISED PER SCD COMMENTS	LFS
1	2021-12-20	REVISED PER SCD COMMENTS	LFS

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDemnIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	RIBER20000
DATE	2020-08-27
DRAWING SCALE	1"=100'
DRAWN BY	LFS
APPROVED BY	AMD

PROJECT STATUS:
 PLOTTED: 7/11/2022 4:54 PM BY: Juhari Shukhail
 PLOTTED BY: Pennoni KCS:db
 U:\Automation\RIBER20000 - Mill\Project\Notes\Submittal\CS1500_SHEET1502.dwg

STORM SEWER PIPE TABLE							
ID	FROM STRUCTURE	INV IN	TO STRUCTURE	INV OUT	DESCRIPTION	LENGTH (ft)	SLOPE
SD-1	I-1	6.99	FE-5	8.17	15 in HDPE	164'	0.50%
SD-8	YD-3	3.68	YD-2	2.77	15 in HDPE	182'	0.50%
SD-9	I-26	5.14	I-25	4.25	30 x 19 in HERCPC CL III	296'	0.30%
SD-10	I-10	5.45	I-9	5.33	24 in HDPE	24'	0.50%
SD-11	I-16	5.87	I-29	5.67	18 in HDPE	65'	0.30%
SD-12	I-12	6.26	I-16	5.87	18 in HDPE	130'	0.30%
SD-13	I-13	6.38	I-12	6.26	15 in HDPE	24'	0.50%
SD-14	I-15	6.46	I-11	6.00	15 in HDPE	152'	0.30%
SD-15	I-14	6.58	I-15	6.46	15 in HDPE	24'	0.50%
SD-16	I-25	4.10	I-19	3.95	24 in HDPE	49'	0.30%
SD-17	I-9	5.33	I-26	5.14	30 x 19 in HERCPC CL III	64'	0.30%
SD-18	YD-1	3.74	FE-1	2.75	24 in HDPE	199'	0.50%
SD-19	I-18	3.83	YD-1	3.74	24 in HDPE	17'	0.50%
SD-20	I-20	2.67	MH-3	2.01	18 in HDPE	219'	0.30%
SD-21	MH-2	2.91	I-20	2.67	15 in HDPE	79'	0.30%
SD-22	MH-1	2.94	FE-2	2.75	15 in HDPE	37'	0.50%
SD-23	I-29	5.67	I-10	5.45	24 in HDPE	75'	0.30%
SD-27	I-19	3.95	I-18	3.83	24 in HDPE	24'	0.50%
SD-28	I-11	6.00	I-16	5.87	15 in HDPE	42'	0.30%
SD-29	FE-6	2.89	YD-2	2.77	15 in HDPE	16'	0.77%

STORM SEWER PIPE TABLE							
ID	FROM STRUCTURE	INV IN	TO STRUCTURE	INV OUT	DESCRIPTION	LENGTH (ft)	SLOPE
SD-30	I-21	3.68	MH-1	2.94	15 in HDPE	148'	0.50%
SD-31	I-22	3.80	I-21	3.68	15 in HDPE	24'	0.50%
SD-32	I-17	2.79	I-20	2.67	15 in HDPE	24'	0.50%
SD-36	YD-2	2.77	FE-7	2.55	15 in HDPE	42'	0.50%
SD-39	I-27	3.33	MH-2	2.91	15 in HDPE	142'	0.30%
SD-40	I-28	3.45	I-27	3.33	15 in HDPE	24'	0.50%

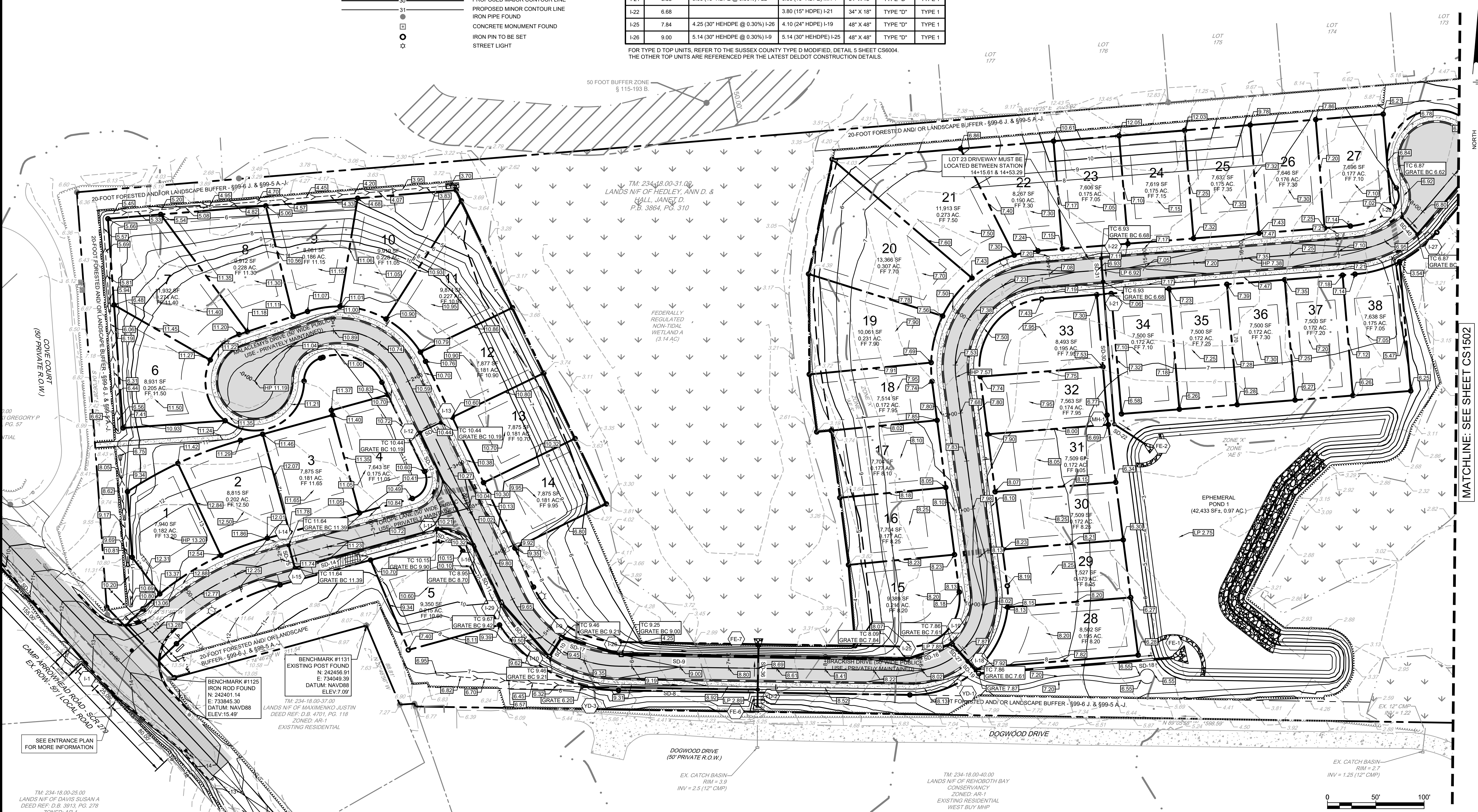
LEGEND

- EXISTING PROPERTY LINE
- EXISTING ADJACENT PROPERTY LINE
- EXISTING EDGE OF GRAVEL
- EXISTING EDGE OF TREELINE/WOODS
- EXISTING CONTOUR LINE
- PROPOSED PROPERTY LINE
- PROPOSED STORM PIPES
- PROPOSED CURB
- PROPOSED MAJOR CONTOUR LINE
- PROPOSED MINOR CONTOUR LINE
- IRON PIPE FOUND
- CONCRETE MONUMENT FOUND
- IRON PIN TO BE SET
- STREET LIGHT

STORM SEWER STRUCTURE TABLE						
ID	RIM/GRADE ELEVATION	INV IN (FROM)	INV OUT (TO)	TYPE	TOP UNIT	GRATE
FE-1	2.75 (24" HDPE @ 0.50%)	YD-1		18 in FES		
FE-2	2.75 (15" HDPE @ 0.50%)	MH-1		15 in FES		
FE-5	8.17 (15" HDPE @ 0.50%)	I-1		15 in FES		
FE-6			2.89 (15" HDPE) YD-2	15 in FES		
FE-7	2.55 (15" HDPE @ 0.50%)	YD-2		15 in FES		
I-1			8.99 (15" HDPE) FE-5	34" X 24"	TYPE "B"	TYPE 1
I-9	9.21	5.33 (24" HDPE @ 0.50%) I-10	5.33 (30" HEHDPE) I-26	48" X 30"	TYPE "D"	TYPE 1
I-10	9.21	5.45 (24" HDPE @ 0.30%) I-29	5.45 (24" HDPE) I-9	48" X 30"	TYPE "D"	TYPE 1
I-11	9.90	6.00 (15" HDPE @ 0.30%) I-15	6.00 (15" HDPE) I-16	48" X 30"	TYPE "D"	TYPE 1
I-12	10.19	6.26 (15" HDPE @ 0.50%) I-13	6.26 (18" HDPE) I-16	34" X 24"	TYPE "D"	TYPE 1
I-13	10.19		6.38 (15" HDPE) I-12	34" X 18"	TYPE "D"	TYPE 1
I-14	11.39		6.58 (15" HDPE) I-15	34" X 18"	TYPE "D"	TYPE 1
I-15	11.39	6.46 (15" HDPE @ 0.50%) I-14	6.46 (15" HDPE) I-11	34" X 24"	TYPE "D"	TYPE 1
I-16	9.62	5.87 (15" HDPE @ 0.30%) I-11	5.87 (18" HDPE) I-29	48" X 30"	TYPE "D"	TYPE 1
I-17	5.96	2.79 (15" HDPE @ 0.74%) FE-3	2.79 (15" HDPE) I-20	34" X 18"	TYPE "D"	TYPE 1
I-18	7.61	3.83 (24" HDPE @ 0.50%) I-19	3.83 (24" HDPE) YD-1	34" X 18"	TYPE "D"	TYPE 1
I-19	7.61	3.95 (24" HDPE @ 0.30%) I-25	3.95 (24" HDPE) I-18	48" X 48"	TYPE "D"	TYPE 1
I-20	5.96	2.67 (15" HDPE @ 0.30%) MH-2	2.67 (18" HDPE) MH-3	34" X 24"	TYPE "D"	TYPE 1
I-21	6.68	3.68 (15" HDPE @ 0.50%) I-22	3.68 (15" HDPE) MH-1	34" X 18"	TYPE "D"	TYPE 1
I-22	6.68		3.80 (15" HDPE) I-21	34" X 18"	TYPE "D"	TYPE 1
I-25	7.84	4.25 (30" HEHDPE @ 0.30%) I-26	4.10 (24" HDPE) I-19	48" X 48"	TYPE "D"	TYPE 1
I-26	9.00	5.14 (30" HEHDPE @ 0.30%) I-9	5.14 (30" HEHDPE) I-25	48" X 48"	TYPE "D"	TYPE 1

STORM SEWER STRUCTURE TABLE						
ID	RIM/GRADE ELEVATION	INV IN (FROM)	INV OUT (TO)	TYPE	TOP UNIT	GRATE
I-27	6.62	3.33 (15" HDPE @ 0.50%) I-28	3.33 (15" HDPE) MH-2	34" X 24"	TYPE "D"	TYPE 1
I-28	6.62		3.45 (15" HDPE) I-27	34" X 24"	TYPE "D"	TYPE 1
I-29	9.42	5.67 (18" HDPE @ 0.30%) I-16	5.67 (24" HDPE) I-10	48" X 30"	TYPE "D"	TYPE 1
MH-1	6.64	2.94 (15" HDPE @ 0.50%) I-21	2.94 (15" HDPE) FE-2	48" MH	Standard	Standard
MH-2	6.44	2.91 (15" HDPE @ 0.30%) I-27	2.91 (15" HDPE) I-20	48" MH	Standard	Standard
MH-3	5.48	2.01 (18" HDPE @ 0.30%) I-20	2.01 (18" HDPE) I-23	48" MH	Standard	Standard
YD-1	7.87	3.74 (24" HDPE @ 0.50%) I-18	3.74 (24" HDPE) FE-1	48" X 48"	TYPE "A"	TYPE 3
YD-2	7.95	2.77 (15" HDPE @ 0.50%) YD-3	2.77 (15" HDPE) FE-7	34" X 24"	TYPE "A"	TYPE 3
YD-3	6.20		3.68 (15" HDPE) YD-2	34" X 18"	TYPE "A"	TYPE 3

FOR TYPE D TOP UNITS, REFER TO THE SUSSEX COUNTY TYPE D MODIFIED, DETAIL 5 SHEET CS8004. THE OTHER TOP UNITS ARE REFERENCED PER THE LATEST DELDOT CONSTRUCTION DETAILS.



MATCHLINE: SEE SHEET CS1502

Pennoni

PENNONI ASSOCIATES INC.
 18072 Davidson Drive
 Milton, DE 19968
 T 302.684.3030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

TERRAPIN ISLAND SUBDIVISION

GRADING AND DRAINAGE PLAN

TAX MAP: 234-18-00-31-00
 INDIAN RIVER HUNDRED SUSSEX COUNTY

RIBERA DEVELOPMENT, LLC.
 8684 VETERANS HIGHWAY, SUITE 203
 MILLERSVILLE, MD 21108

NO.	DATE	REVISIONS	BY
1	2021-12-20	REVISED PER GCD COMMENTS	LFS
2	2022-03-07	REVISED PER GCD COMMENTS	LFS

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNERS SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: **RIBER20000**

DATE: 2020-08-27

DRAWING SCALE: 1"=50'

DRAWN BY: LFS

APPROVED BY: AMD

CS1501

SHEET 5 OF 27

U:\Projects\RIBER20000 - Mill\Project\Notes\Subdivision\CS1502_SHEET CS1502.dwg
 PLOTTED: 7/11/2024 4:51 PM BY: Jagan Sankaran
 PLOTTED BY: Jagan Sankaran
 PROJECT STATUS:




STORM SEWER PIPE TABLE							
ID	FROM STRUCTURE	INV IN	TO STRUCTURE	INV OUT	DESCRIPTION	LENGTH (ft)	SLOPE
SD-20	I-20	2.67	MH-3	2.01	18 in HDPE	219'	0.30%
SD-21	MH-2	2.91	I-20	2.67	15 in HDPE	79'	0.30%
SD-25	I-23	1.78	FE-4	1.50	18 in HDPE	39'	0.70%
SD-26	I-24	1.90	I-23	1.78	15 in HDPE	24'	0.50%
SD-32	I-17	2.79	I-20	2.67	15 in HDPE	24'	0.50%
SD-33	FE-3	2.90	I-17	2.79	15 in HDPE	15'	0.74%
SD-38	MH-3	2.01	I-23	1.78	18 in HDPE	77'	0.30%
SD-39	I-27	3.33	MH-2	2.91	15 in HDPE	142'	0.30%

STORM SEWER STRUCTURE TABLE						
ID	RIM/GRATE ELEVATION	INV IN (FROM)	INV OUT (TO)	TYPE	TOP UNIT	GRATE
FE-3			2.90 (15" HDPE) I-17	15 IN FES		
FE-4		1.50 (18" HDPE @ 0.70%) I-23		18 IN FES		
I-17	5.96	2.79 (15" HDPE @ 0.74%) FE-3	2.79 (15" HDPE) I-20	34" X 18"	TYPE "D"	TYPE 1
I-20	5.96	2.67 (15" HDPE @ 0.30%) MH-2 2.67 (15" HDPE @ 0.50%) I-17	2.67 (18" HDPE) MH-3	34" X 24"	TYPE "D"	TYPE 1
I-23	5.07	1.78 (15" HDPE @ 0.50%) I-24 1.78 (18" HDPE @ 0.30%) MH-3	1.78 (18" HDPE) FE-4	34" X 24"	TYPE "D"	TYPE 1
I-24	5.07		1.90 (15" HDPE) I-23	34" X 24"	TYPE "D"	TYPE 1
MH-2	6.44	2.91 (15" HDPE @ 0.30%) I-27	2.91 (15" HDPE) I-20	48" MH	Standard	Standard
MH-3	5.48	2.01 (18" HDPE @ 0.30%) I-20	2.01 (18" HDPE) I-23	48" MH	Standard	Standard

FOR TYPE D TOP UNITS, REFER TO THE SUSSEX COUNTY TYPE D MODIFIED, DETAIL 5 SHEET CS8004. THE OTHER TOP UNITS ARE REFERENCED PER THE LATEST DELDOT CONSTRUCTION DETAILS.

LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING ADJACENT PROPERTY LINE
- - - EXISTING EDGE OF GRAVEL
- - - EXISTING EDGE OF TREELINE/WOODS
- - - EXISTING CONTOUR LINE
- PROPOSED PROPERTY LINE
- PROPOSED STORM PIPES
- PROPOSED CURB
- PROPOSED MAJOR CONTOUR LINE
- PROPOSED MINOR CONTOUR LINE
- IRON PIPE FOUND
- CONCRETE MONUMENT FOUND
- IRON PIN TO BE SET
- STREET LIGHT



PENNONI ASSOCIATES INC.
 18072 Davidson Drive
 Milton, DE 19968
 T 302.684.9030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

TERRAPIN ISLAND SUBDIVISION

TAX MAP: 234-18-00-31.00
 INDIAN RIVER HUNDRED SUSSEX COUNTY

RIBERA DEVELOPMENT, L.L.C.
 8684 VETERANS HIGHWAY, SUITE 203
 MILLERSVILLE, MD 21108

GRADING AND DRAINAGE PLAN

NO.	DATE	REVISIONS	BY
2	2022-03-07	REVISED PER SCD COMMENTS	LFS
1	2021-12-20	REVISED PER SCD COMMENTS	LFS

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	RIBER20000
DATE	2020-08-27
DRAWING SCALE	1"=50'
DRAWN BY	LFS
APPROVED BY	AMD

CS1502

SHEET 6 OF 27

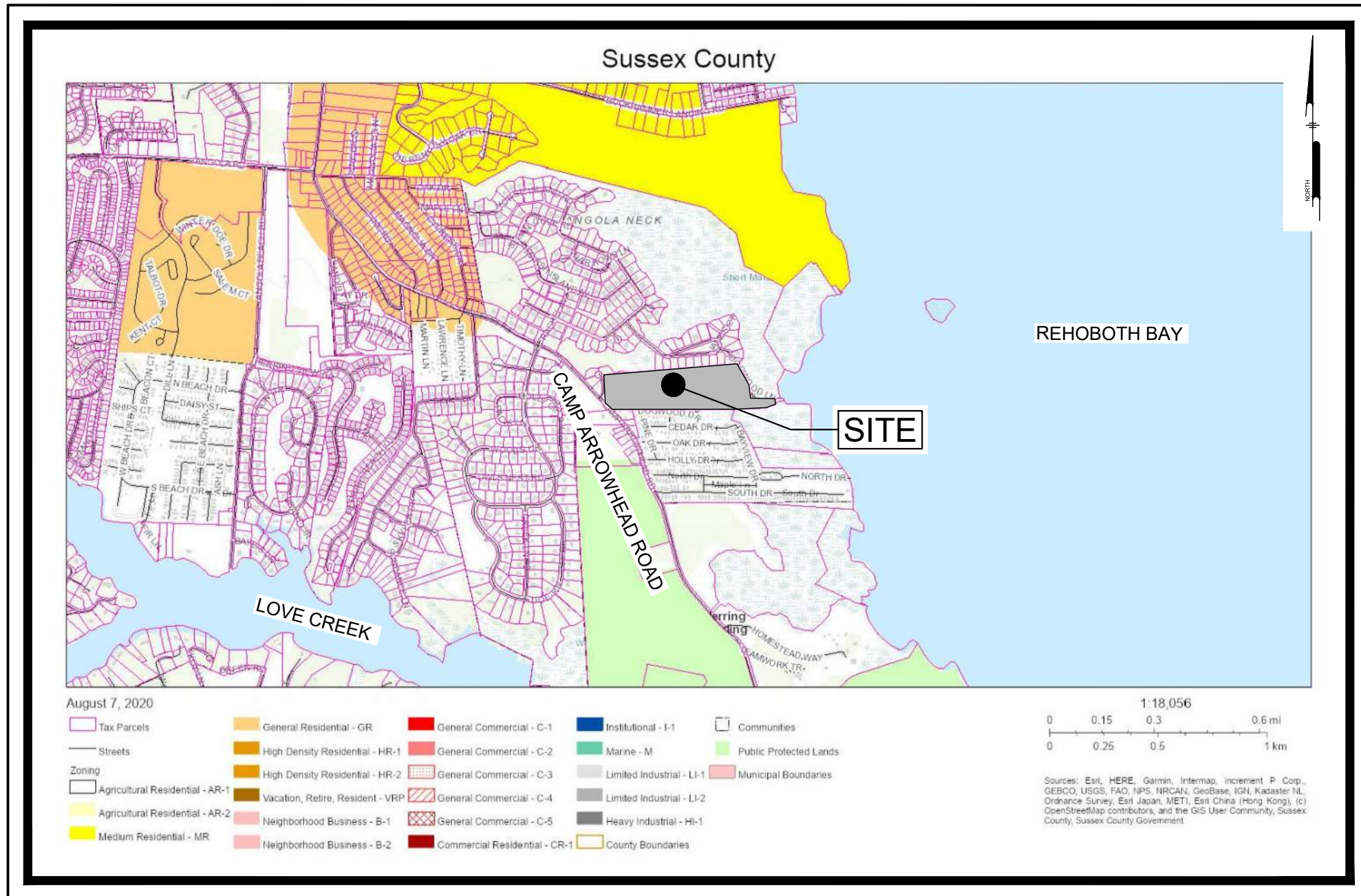
SITE DATA TABLE:

Table with 2 columns: Item Number and Description. Contains 28 items including tax map number, developer info, site address, zoning, and various engineering calculations.

SOILS table with columns: TYPE, DESCRIPTION, HYDROLOGIC SOIL. Lists soil types like ASKECKSY LOAMY SAND, BROADKILL MUCKY PEAT, etc.

BASED ON FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM 10005342K EFFECTIVE DATE MARCH 16, 2015, ARE DESIGNATED PARTLY AS FLOOD ZONE 'X', (UNSHADED), WHICH IS AN AREA DETERMINED TO LIE OUTSIDE THE 500 YEAR FLOODPLAIN AND PARTLY AS ZONE 'AE' (EL. 5 FT AND EL. 7 FT).

LIMIT OF DISTURBANCE: 16.57 AC.



LOCATION MAP SCALE: 1"=2000'

TERRAPIN ISLAND SUBDIVISION RECORD PLAN SET

(2020-13)

TAX MAP: 234-18.00-31.00 INDIAN RIVER HUNDRED SUSSEX COUNTY

PREPARED FOR: DEVELOPER

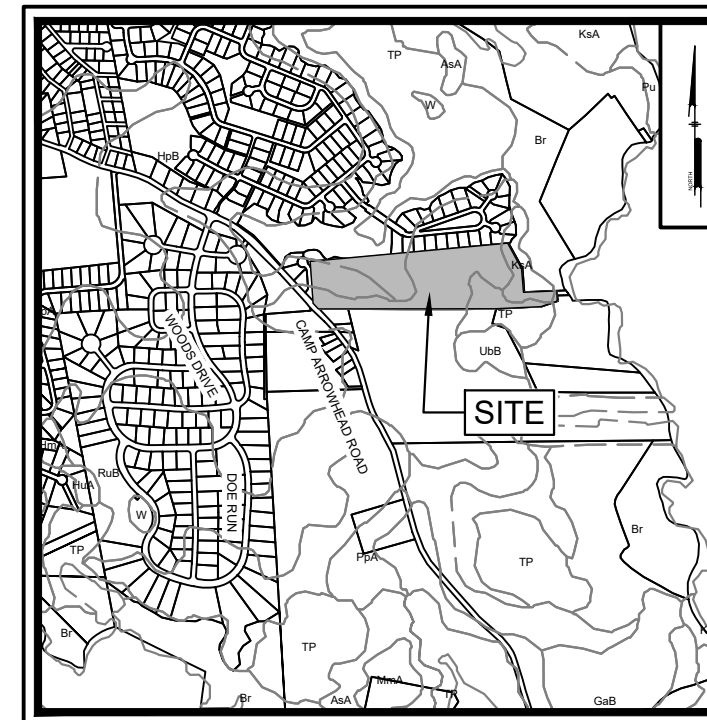
RIBERA DEVELOPMENT, LLC.

8684 VETERANS HIGHWAY, SUITE 203 MILLERSVILLE, MD 21108

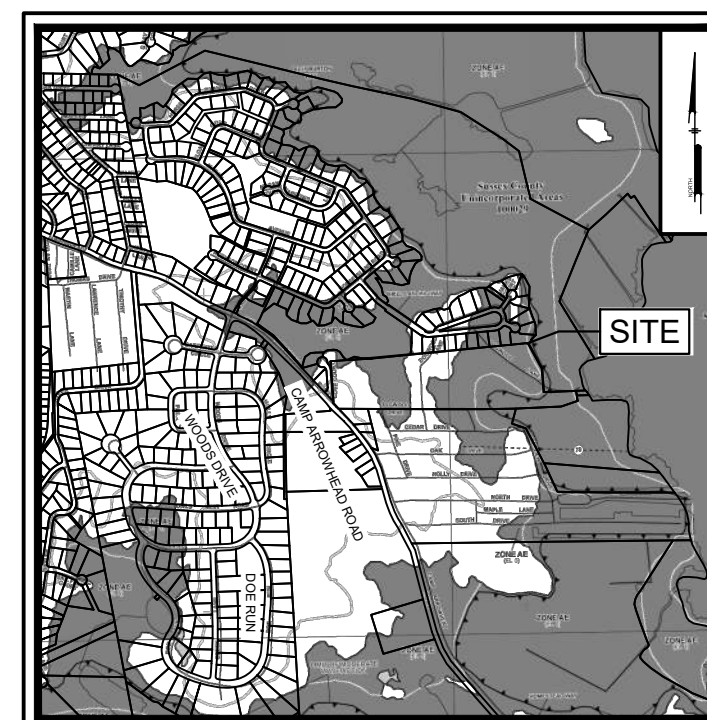
(443) 871-0486

LEGEND

Legend table with columns: EXISTING, PROPOSED, DESCRIPTION. Lists symbols for curb, pavement, easement, fence, property lines, etc.



SOILS MAP Scale: 1"=2000'



FEMA FLOOD MAP Scale: 1"=2000'

Table with columns: PARCEL#, RW, PE OR TCE, OWNER. Shows parcel 234-18.00-244.01 owned by HERRING CREEK HOME OWNERS ASSOCIATION.

THE TRANSPORTATION IMPROVEMENTS ASSOCIATED WITH THIS DEVELOPMENT NECESSITATE THE ACQUISITION OF RIGHT-OF-WAY, PERMANENT EASEMENTS AND/OR TEMPORARY EASEMENTS HEREINAFTER "PROPERTY INTERESTS" BEYOND AND EXCLUSIVE OF THE ENTRANCE FACILITY.

Sheet List Table with columns: Sheet Number, Drawing #, Sheet Title. Lists sheets 1-7 including COVER SHEET, KEY SHEET, RECORD SUBDIVISION PLAN, etc.

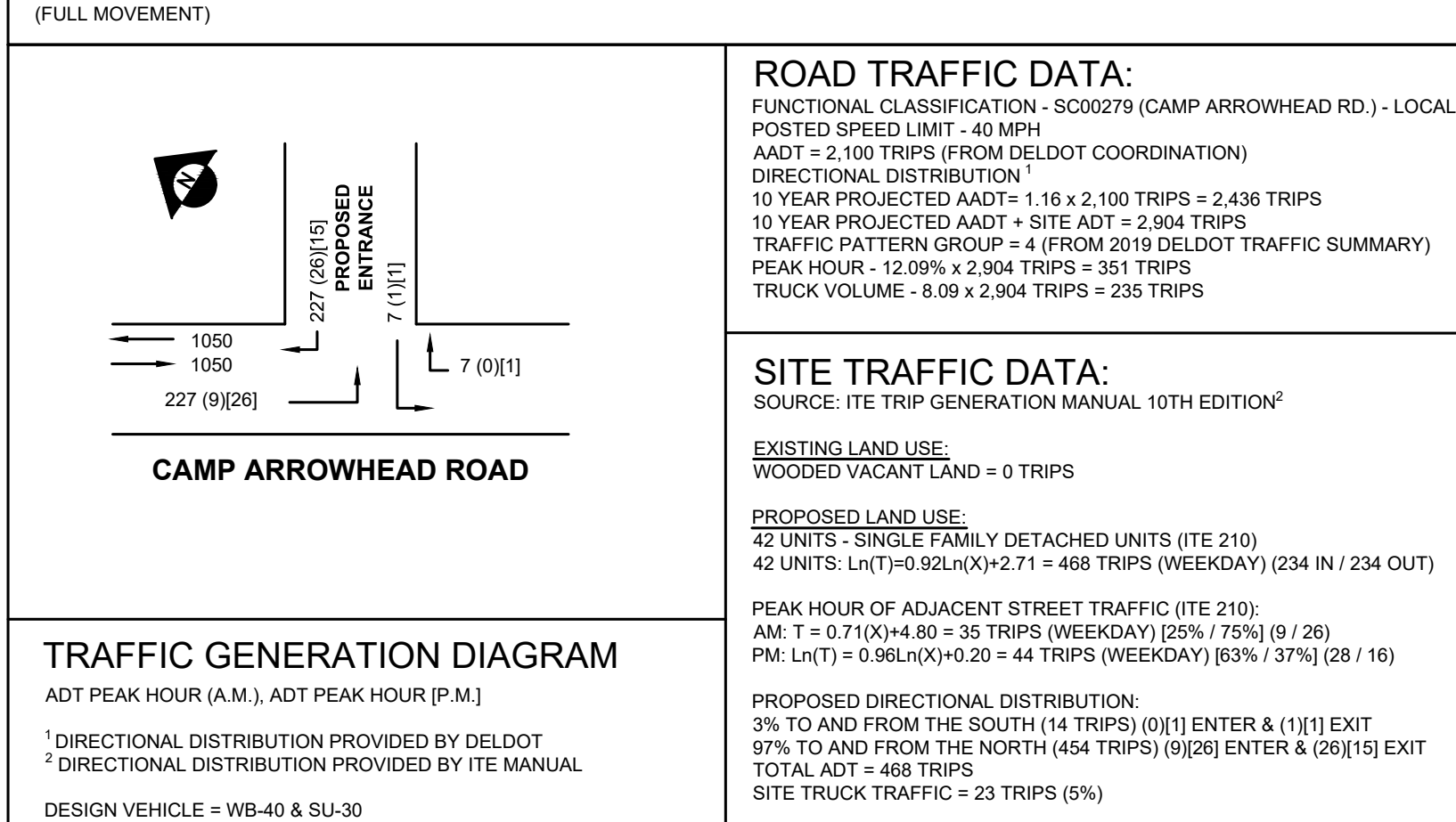
ALL WORK MUST BE COMPLETED AND ACCEPTED BY DELDOT PRIOR TO THE ISSUANCE OF THE FIRST BUILDING PERMIT.

ZONING DATA TABLE - SUSSEX COUNTY

Zoning data table for AR-1 - AGRICULTURAL RESIDENTIAL DISTRICT CLUSTER DEVELOPMENT. Columns: REQUIREMENT, PROPOSED.

CALL BEFORE YOU DIG Call Miss Utility of Delmarva 800-282-8555

TRAFFIC GENERATION - CAMP ARROWHEAD ROAD (SC 279) - OVERALL (42 LOTS)



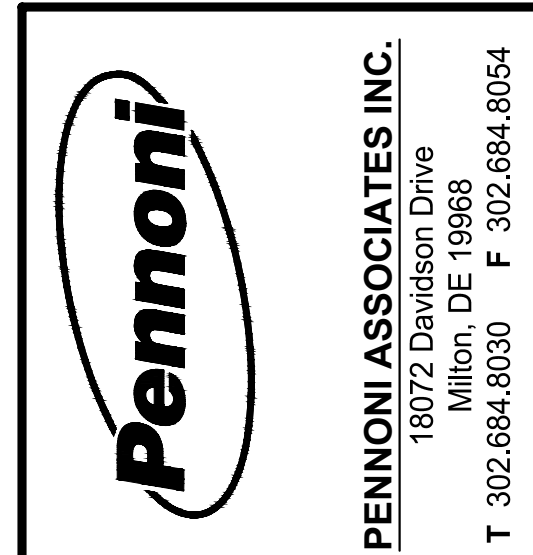
OWNERS: JANET D. HALL & ANN D. HEDLEY. DEVELOPER: RIBERA DEVELOPMENT, LLC. ENGINEER/PLANNER: PENNONI ASSOCIATES INC.

ENGINEER CERTIFICATION: I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE. SIGNATURE: ALAN DECKTOR, PE (DE PE#17711) DATE: _____

WETLAND STATEMENT: I, EDWARD M. LAUNAY, PWS, STATE THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED UPON THIS PLAN HAVE BEEN DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL AND ITS SUPPLEMENTAL GUIDANCE INCLUDING THE ATLANTIC AND GULF COAST REGIONAL SUPPLEMENT (VERSION 2.0) AND THE 2020 NAVIGABLE WATERS PROTECTION RULE.

EQUITABLE OWNER CERTIFICATION: I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AS SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

APPROVED BY: RIBERA DEVELOPMENT, LLC. DATE: _____. CHAIRMAN OR SECRETARY OF PLANNING & ZONING COMMISSION DATE: _____. PRESIDENT OF SUSSEX COUNTY COUNCIL DATE: _____. REFERENCE #: 2020-13

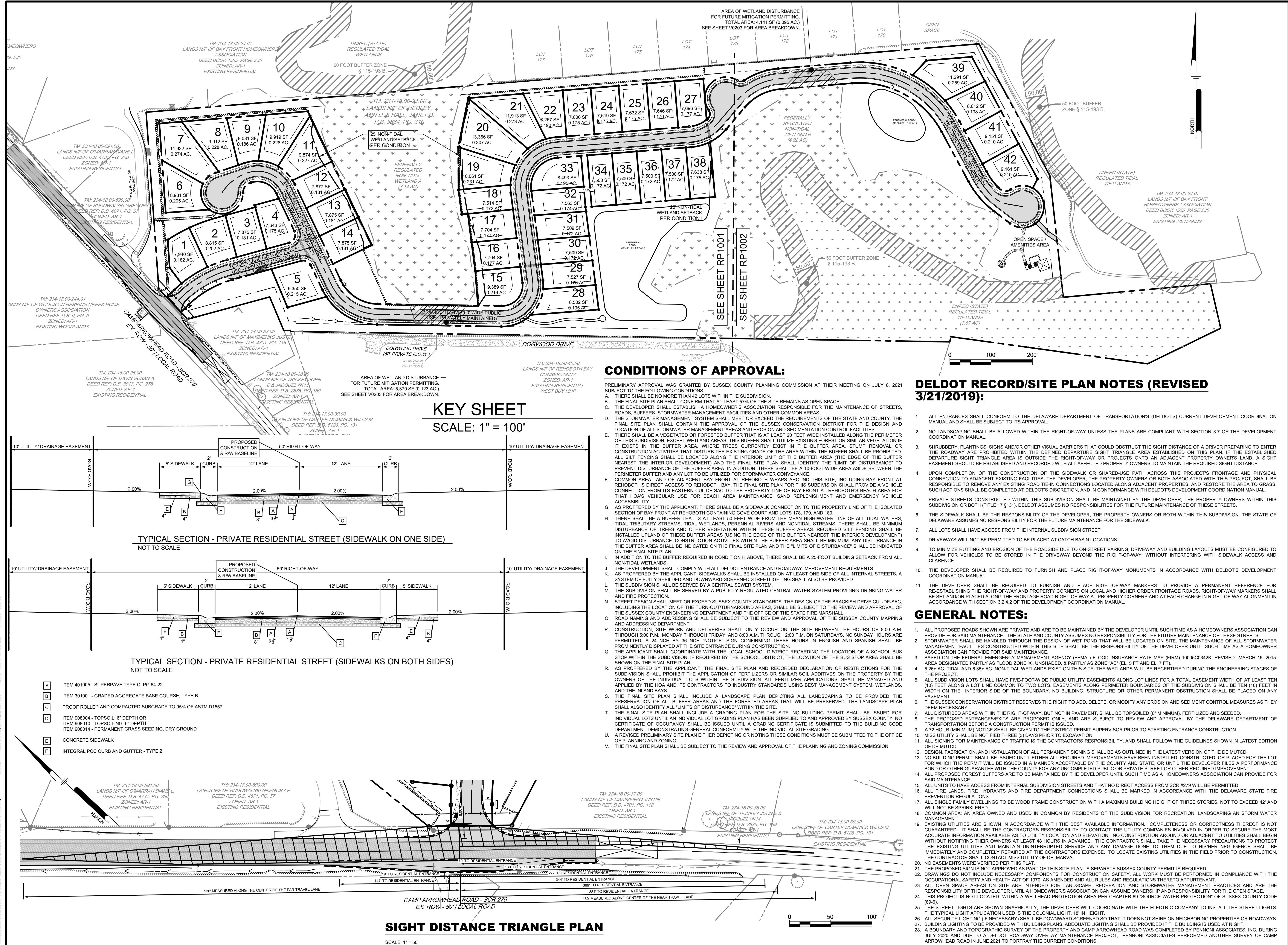


PENNONI ASSOCIATES INC. 18072 Davidson Drive Milton, DE 19968 T 302.684.9030 F 302.684.8054

TERRAPIN ISLAND SUBDIVISION (2020-13) CAMP ARROWHEAD ROAD (SCR 279) COVER SHEET

Table with columns: LFS, TFM, BY, NO, DATE. Includes project name RIBER20000, drawing scale 2020-08-07, and sheet number RP0001.

SHEET 1 OF 7



CONDITIONS OF APPROVAL:

- PRELIMINARY APPROVAL WAS GRANTED BY SUSSEX COUNTY PLANNING COMMISSION AT THEIR MEETING ON JULY 8, 2021 SUBJECT TO THE FOLLOWING CONDITIONS:
- THERE SHALL BE NO MORE THAN 42 LOTS WITHIN THE SUBDIVISION.
 - THE FINAL SITE PLAN SHALL CONFIRM THAT AT LEAST 57% OF THE SITE REMAINS AS OPEN SPACE.
 - THE DEVELOPER SHALL ESTABLISH A HOMEOWNERS ASSOCIATION RESPONSIBLE FOR THE MAINTENANCE OF STREETS, ROADS, BUFFERS, STORMWATER MANAGEMENT FACILITIES AND OTHER COMMON AREAS.
 - THE STORMWATER MANAGEMENT SYSTEM SHALL MEET OR EXCEED THE REQUIREMENTS OF THE STATE AND COUNTY. THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT FOR THE DESIGN AND LOCATION OF ALL STORMWATER MANAGEMENT AREAS AND EROSION AND SEDIMENTATION CONTROL FACILITIES.
 - THERE SHALL BE A VEGETATED OR FORESTED BUFFER THAT IS AT LEAST 20 FEET WIDE INSTALLED ALONG THE PERIMETER OF THIS SUBDIVISION, EXCEPT WETLAND AREAS. THIS BUFFER SHALL UTILIZE EXISTING FOREST OR SIMILAR VEGETATION IF IT EXISTS IN THE BUFFER AREA, WHERE TREES CURRENTLY EXIST IN THE BUFFER AREA, STUMP REMOVAL OR CONSTRUCTION ACTIVITIES THAT DISTURB THE EXISTING GRADE OF THE AREA WITHIN THE BUFFER SHALL BE PROHIBITED. ALL SILT FENCING SHALL BE LOCATED ALONG THE INTERIOR LIMIT OF THE BUFFER AREA (THE EDGE OF THE BUFFER NEAREST THE INTERIOR DEVELOPMENT) AND THE FINAL SITE PLAN SHALL IDENTIFY THE "LIMIT OF DISTURBANCE" TO PREVENT DISTURBANCE OF THE BUFFER AREA. IN ADDITION, THERE SHALL BE A 10-FOOT-WIDE AREA ASIDE BETWEEN THE PERIMETER BUFFER AND ANY LOT TO BE UTILIZED FOR STORMWATER CONVEYANCE.
 - COMMON AREA BAY FRONT AT REHOBOTH WRAPS AROUND THIS SITE, INCLUDING BAY FRONT AT REHOBOTH'S DIRECT ACCESS TO REHOBOTH BAY. THE FINAL SITE PLAN FOR THIS SUBDIVISION SHALL PROVIDE A VEHICLE CONNECTION FROM ITS EASTERN CUL-DE-SAC TO THE PROPERTY LINE OF BAY FRONT AT REHOBOTH'S BEACH AREA FOR THAT HOVS VEHICULAR USE FOR BEACH AREA MAINTENANCE, SUE REPLENISHMENT AND EMERGENCY VEHICLE ACCESSIBILITY.
 - AS PROFFERED BY THE APPLICANT, THERE SHALL BE A SIDEWALK CONNECTION TO THE PROPERTY LINE OF THE ISOLATED SECTION OF BAY FRONT AT REHOBOTH CONTAINING COVE COURT AND LOTS 178, 179, AND 180.
 - THERE SHALL BE A BUFFER THAT IS AT LEAST 50 FEET WIDE FROM THE MEAN HIGH-WATER LINE OF ALL TIDAL WATERS, TIDAL TRIBUTARY STREAMS, TIDAL WETLANDS, PERENNIAL RIVERS AND NON-TIDAL STREAMS. THERE SHALL BE MINIMUM DISTURBANCE OF TREES AND OTHER VEGETATION WITHIN THESE BUFFER AREAS. REQUIRED SILT FENCING SHALL BE INSTALLED UPLAND OF THESE BUFFER AREAS (USING THE EDGE OF THE BUFFER NEAREST THE INTERIOR DEVELOPMENT) TO AVOID DISTURBANCE. CONSTRUCTION ACTIVITIES WITHIN THE BUFFER AREA SHALL BE MINIMUM. ANY DISTURBANCE IN THE BUFFER AREA SHALL BE INDICATED ON THE FINAL SITE PLAN AND THE "LIMITS OF DISTURBANCE" SHALL BE INDICATED ON THE FINAL SITE PLAN.
 - IN ADDITION TO THE BUFFER REQUIRED IN CONDITION H ABOVE, THERE SHALL BE A 25-FOOT BUILDING SETBACK FROM ALL NON-TIDAL WETLANDS.
 - THE DEVELOPMENT SHALL COMPLY WITH ALL DEEDLOT ENTRANCE AND ROADWAY IMPROVEMENT REQUIREMENTS.
 - AS PROFFERED BY THE APPLICANT, SIDEWALKS SHALL BE INSTALLED ON AT LEAST ONE SIDE OF ALL INTERNAL STREETS. A SYSTEM OF FULLY SHIELDED AND DOWNWARD-SCREENED STREETLIGHTING SHALL ALSO BE PROVIDED.
 - THE SUBDIVISION SHALL BE SERVED BY A CENTRAL SEWER SYSTEM.
 - THE SUBDIVISION SHALL BE SERVED BY A PUBLICLY REGULATED CENTRAL WATER SYSTEM PROVIDING DRINKING WATER AND FIRE PROTECTION.
 - STREET DESIGN SHALL MEET OR EXCEED SUSSEX COUNTY STANDARDS. THE DESIGN OF THE BRACKISH DRIVE CUL-DE-SAC, INCLUDING THE LOCATION OF THE TURN-OUT/TURNAROUND AREAS, SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY ENGINEERING DEPARTMENT AND THE OFFICE OF THE STATE FIRE MARSHAL.
 - ROAD NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY MAPPING AND ADDRESS DEPARTMENT.
 - CONSTRUCTION, SITE WORK, AND DELIVERIES SHALL ONLY OCCUR ON THE SITE BETWEEN THE HOURS OF 8:00 A.M. THROUGH 5:00 P.M., MONDAY THROUGH FRIDAY, AND 8:00 A.M. THROUGH 2:00 P.M. ON SATURDAYS. NO SUNDAY HOURS ARE PERMITTED. A 24-INCH "NOTICE" SIGN CONFIRMING THESE HOURS IN ENGLISH AND SPANISH SHALL BE PROMINENTLY DISPLAYED AT THE SITE ENTRANCE DURING CONSTRUCTION.
 - THE APPLICANT SHALL COORDINATE WITH THE LOCAL SCHOOL DISTRICT REGARDING THE LOCATION OF A SCHOOL BUS STOP WITHIN THE SUBDIVISION. IF REQUIRED BY THE SCHOOL DISTRICT, THE LOCATION OF THE BUS STOP AREA SHALL BE SHOWN ON THE FINAL SITE PLAN.
 - AS PROFFERED BY THE APPLICANT, THE FINAL SITE PLAN AND RECORDED DECLARATION OF RESTRICTIONS FOR THE SUBDIVISION SHALL PROHIBIT THE APPLICATION OF FERTILIZERS OR SIMILAR SOIL ADDITIVES ON THE PROPERTY BY THE OWNERS OF THE INDIVIDUAL LOTS WITHIN THE SUBDIVISION. ALL FERTILIZER APPLICATIONS, SHALL BE MANAGED AND APPLIED BY THE HOA AND ITS CONTRACTORS TO INDUSTRY STANDARDS USING BEST MANAGEMENT SYSTEM, WETLANDS, AND THE INLAND BAYS.
 - THE FINAL SITE PLAN SHALL INCLUDE A LANDSCAPE PLAN DEPICTING ALL LANDSCAPING TO BE PROVIDED FOR THE PRESERVATION OF ALL BUFFER AREAS AND THE FORESTED AREAS THAT WILL BE PRESERVED. THE LANDSCAPE PLAN SHALL ALSO IDENTIFY ALL "LIMITS OF DISTURBANCE" WITHIN THE SITE.
 - THE FINAL SITE PLAN SHALL INCLUDE A GRADING PLAN FOR THE SITE. NO BUILDING PERMIT SHALL BE ISSUED FOR INDIVIDUAL LOTS UNTIL AN INDIVIDUAL LOT GRADING PLAN HAS BEEN SUPPLIED TO AND APPROVED BY SUSSEX COUNTY. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL A GRADING CERTIFICATE IS SUBMITTED TO THE BUILDING CODE DEPARTMENT DEMONSTRATING GENERAL CONFORMITY WITH THE INDIVIDUAL SITE GRADING.
 - A REVISED PRELIMINARY SITE PLAN EITHER DEPICTING OR NOTING THESE CONDITIONS MUST BE SUBMITTED TO THE OFFICE OF PLANNING AND ZONING.
 - THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.

DELDOT RECORD/SITE PLAN NOTES (REVISED 3/21/2019):

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE SUBDIVISION SHALL BE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THE PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 §131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE FOR THE SIDEWALK.
- ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION STREET.
- DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLARENCE.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHWAY AREAS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4 OF THE DEVELOPMENT COORDINATION MANUAL.

GENERAL NOTES:

- ALL PROPOSED ROADS SHOWN ARE PRIVATE AND ARE TO BE MAINTAINED BY THE DEVELOPER UNTIL SUCH TIME AS A HOMEOWNERS ASSOCIATION CAN PROVIDE FOR SAID MAINTENANCE. THE STATE AND COUNTY ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- STORMWATER SHALL BE HANDLED THROUGH THE DESIGN OF WET POND THAT WILL BE LOCATED ON SITE. THE MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES CONSTRUCTED WITHIN THIS SITE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER UNTIL SUCH TIME AS A HOMEOWNER ASSOCIATION CAN PROVIDE FOR SAID MAINTENANCE.
- BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) 100503042K, REVISED MARCH 16, 2015, AREA DESIGNATED PARTLY AS FLOOD ZONE "X", UNSHADED, & PARTLY AS ZONE "AE" (EL. 5 FT AND EL. 7 FT).
- 5.26A AC. TIDAL AND 6.35A AC. NON-TIDAL WETLANDS EXIST ON THIS SITE. THE WETLANDS WILL BE RECERTIFIED DURING THE ENGINEERING STAGES OF THE PROJECT.
- ALL SUBDIVISION LOTS SHALL HAVE FIVE-FOOT-WIDE PUBLIC UTILITY EASEMENTS ALONG LOT LINES FOR A TOTAL EASEMENT WIDTH OF AT LEAST TEN (10) FEET ALONG A LOT LINE COMMON TO TWO LOTS. EASEMENTS ALONG PERIMETER BOUNDARIES OF THE SUBDIVISION SHALL BE TEN (10) FEET IN WIDTH ON THE INTERIOR SIDE OF THE BOUNDARY. NO BUILDING, STRUCTURE OR OTHER PERMANENT OBSTRUCTION SHALL BE PLACED ON ANY EASEMENT.
- THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE, OR MODIFY ANY EROSION AND SEDIMENT CONTROL MEASURES AS THEY DEEM NECESSARY.
- ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY, BUT NOT IN PAVEMENT, SHALL BE TOPSOILED (6" MINIMUM), FERTILIZED AND SEEDED.
- THE PROPOSED ENTRANCES ARE PROPOSED ONLY, AND ARE SUBJECT TO REVIEW AND APPROVAL BY THE DELAWARE DEPARTMENT OF TRANSPORTATION BEFORE A CONSTRUCTION PERMIT IS ISSUED.
- A 72 HOUR (MINIMUM) NOTICE SHALL BE GIVEN TO THE DISTRICT PERMIT SUPERVISOR PRIOR TO STARTING ENTRANCE CONSTRUCTION.
- MISS UTILITY SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO EXCAVATION.
- ALL SIGNING FOR MAINTENANCE OF TRAFFIC IS THE CONTRACTORS RESPONSIBILITY, AND SHALL FOLLOW THE GUIDELINES SHOWN IN LATEST EDITION OF DE MUTCD.
- DESIGN, FABRICATION, AND INSTALLATION OF ALL PERMANENT SIGNING SHALL BE AS OUTLINED IN THE LATEST VERSION OF THE DE MUTCD.
- NO BUILDING PERMIT SHALL BE ISSUED UNTIL EITHER ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, CONSTRUCTED, OR PLACED FOR THE LOT FOR WHICH THE PERMIT WILL BE ISSUED IN A MANNER ACCEPTABLE BY THE COUNTY AND STATE, OR UNTIL THE DEVELOPER FILES A PERFORMANCE BOND OR OTHER GUARANTEE WITH THE COUNTY FOR ANY UNCOMPLETED PUBLIC OR PRIVATE STREET OR OTHER REQUIRED IMPROVEMENT.
- ALL PROPOSED FOREST BUFFERS ARE TO BE MAINTAINED BY THE DEVELOPER UNTIL SUCH TIME AS A HOMEOWNERS ASSOCIATION CAN PROVIDE FOR SAID MAINTENANCE.
- ALL UNITS TO HAVE ACCESS FROM INTERNAL SUBDIVISION STREETS AND THAT NO DIRECT ACCESS FROM SCR #279 WILL BE PERMITTED.
- ALL FIRE LINES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
- ALL SINGLE FAMILY DWELLINGS TO BE WOOD FRAME CONSTRUCTION WITH A MAXIMUM BUILDING HEIGHT OF THREE STORIES, NOT TO EXCEED 42' AND WILL NOT BE SPRINKLERED.
- COMMON AREA: AN AREA OWNED AND USED IN COMMON BY RESIDENTS OF THE SUBDIVISION FOR RECREATION, LANDSCAPING AN STORM WATER MANAGEMENT.
- EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48 HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIGHER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTORS EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA.
- NO EASEMENTS WERE VERIFIED PER THIS PLAN.
- THE PROPOSED SIGN IS NOT APPROVED AS PART OF THIS SITE PLAN. A SEPARATE SUSSEX COUNTY PERMIT IS REQUIRED.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL WORK MUST BE PERFORMED IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.
- ALL OPEN SPACE AREAS ON SITE ARE INTENDED FOR LANDSCAPE, RECREATION AND STORMWATER MANAGEMENT PRACTICES AND ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL A HOMEOWNERS ASSOCIATION CAN ASSUME OWNERSHIP AND RESPONSIBILITY FOR THE OPEN SPACE. THIS PROJECT IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA PER CHAPTER 89 "SURFACE WATER PROTECTION" OF SUSSEX COUNTY CODE (89-6).
- THE STREET LIGHTS ARE SHOWN GRAPHICALLY. THE DEVELOPER WILL COORDINATE WITH THE ELECTRIC COMPANY TO INSTALL THE STREET LIGHTS. THE TYPICAL LIGHT APPLICATION USED IS THE COLONIAL LIGHT, 18" IN HEIGHT.
- ALL SECURITY LIGHTING (IF NECESSARY) SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
- BUILDING LIGHTING SHALL BE PROVIDED WITH BUILDING PLANS. ADJACENT LIGHTING SHALL BE PROVIDED IF THE BUILDING IS USED AT NIGHT.
- A BOUNDARY AND TOPOGRAPHIC SURVEY OF THE PROPERTY AND CAMP ARROWHEAD ROAD WAS COMPLETED BY PENNONI ASSOCIATES, INC. DURING JULY 2020 AND DUE TO A DELDOT ROADWAY OVERLAY MAINTENANCE PROJECT, PENNONI ASSOCIATES PERFORMED ANOTHER SURVEY OF CAMP ARROWHEAD ROAD IN JUNE 2021 TO PORTRAY THE CURRENT CONDITIONS.

Pennonni
PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.9030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

TERRAPIN ISLAND SUBDIVISION (2020-13)
CAMP ARROWHEAD ROAD (SCR 279)
INDIAN RIVER HUNDRED SUSSEX COUNTY
TAX MAP: 234-18-00-31-00

KEY SHEET, NOTES AND DETAILS

RIBERA DEVELOPMENT, LLC.
866A VETERANS HIGHWAY, SUITE 203
MILLERSVILLE, MD 21108

REVISED PER DELDOT COMMENTS	REVISIONS	DATE
0202-05-19	6	NO.
0202-02-18	5	NO.
0202-11-09	4	NO.
0202-08-03	3	NO.
0202-07-13	2	NO.
0202-02-24	1	NO.

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUBSTITUTED OR RELIED UPON BY OWNER OR OTHERS FOR THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REVISIONS, CORRECTIONS, OR ADAPTATION BY PENNONI ASSOCIATES FOR THE PROJECT IS FOR THE PURPOSE OF THE PROJECT ONLY AND DOES NOT CONSTITUTE A WAIVER OF PENNONI ASSOCIATES' LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: RIBER20000
DATE: 2020-08-07
DRAWING SCALE: AS SHOWN
DRAWN BY: MP/TPM
APPROVED BY: AMD

RP0002
SHEET 2 OF 7

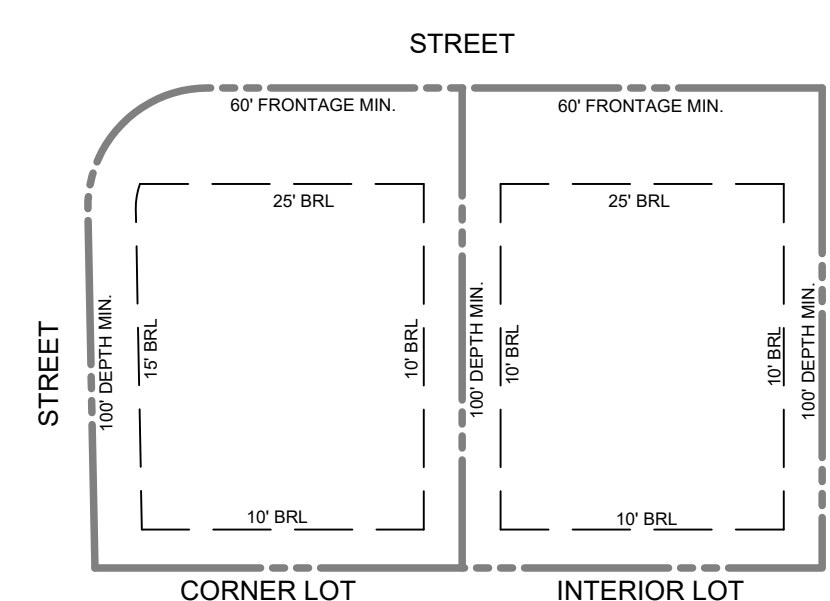
SITE INFORMATION:

SITE ADDRESS:
 TERRAPIN ISLAND SUBDIVISION
 TAX MAP: 234-18.00-31.00
 INDIAN RIVER HUNDRED
 SUSSEX COUNTY, DELAWARE - 19968

EQUITABLE OWNER/DEVELOPER:
 RIBERA DEVELOPMENT, LLC.
 8684 VETERANS HIGHWAY, SUITE 203
 MILLERSVILLE, MD 21108
 (443) 871-0486

ENGINEER, PLANNER & SURVEYOR CONSULTANTS:
 PENNONI ASSOCIATES INC.
 18072 DAVIDSON DRIVE
 MILTON, DELAWARE 19968
 (302) 684-8030

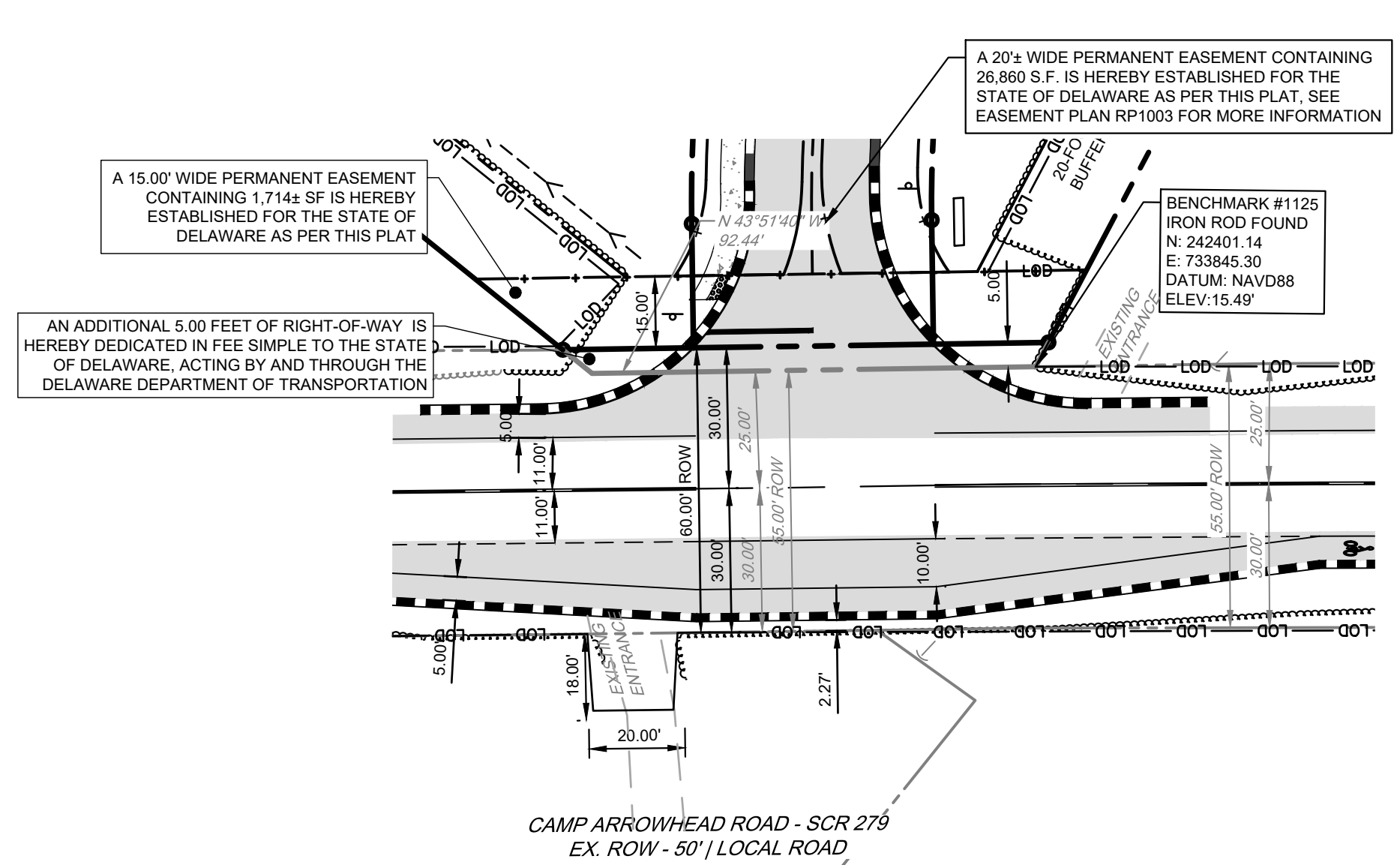
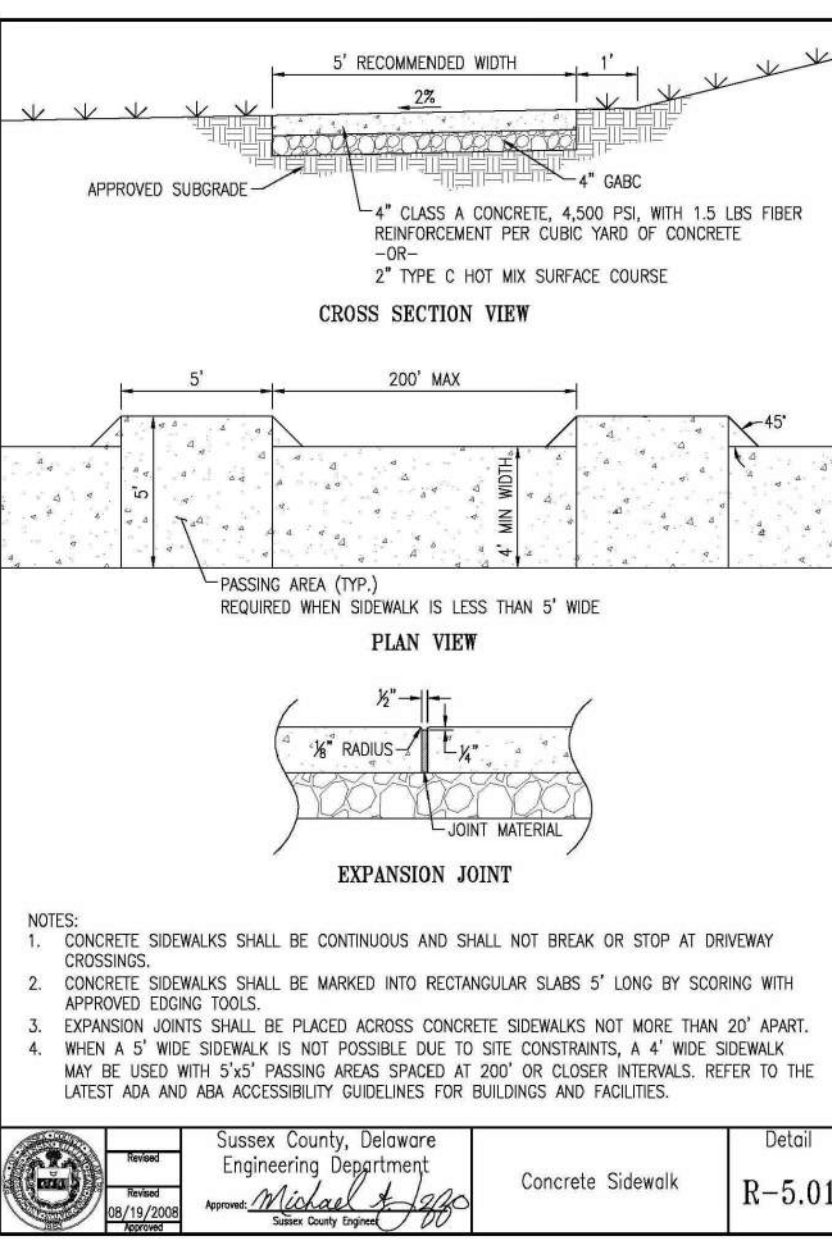
ENVIRONMENTAL CONSULTANTS:
 ENVIRONMENTAL RESOURCES, INC.
 38173 DUPONT BOULEVARD
 PO BOX 169, SELBYVILLE, DE - 19975
 (302) 436-9637



LOT SETBACK DETAIL
 NOT TO SCALE

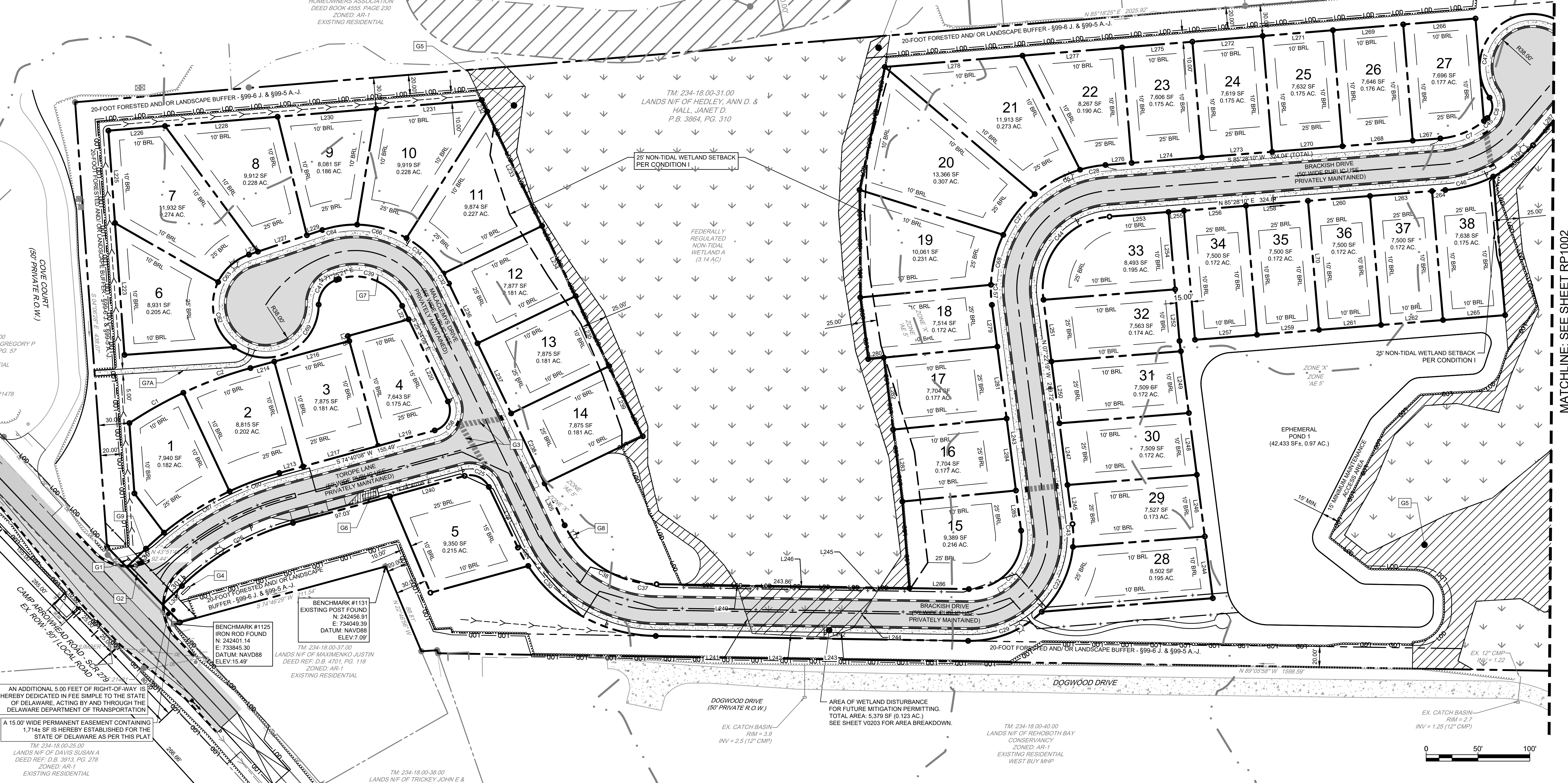
KEYED NOTES:

- G1 CO-POST STOP SIGN (R1-1) 36"X36" AND STREET SIGN.
- G2 16" WIDE STOP BAR
- G3 PROPOSED CROSS WALK
- G4 DEVELOPMENT SIGN, TYP.
- G5 CONSERVATION EASEMENT, FOR EASEMENT TABLES SEE SHEET V0203.
- G6 GROUP CLUSTER MAILBOX
- G7 PROPOSED CONCRETE SIDEWALK
- G7A PROPOSED SIDEWALK CONNECTION PER CONDITION G
- G8 PROPOSED STREET LIGHT, TYP.
- G9 END OF SIDEWALK TO BE USED AS SCHOOL BUS STOP



DETAIL - ENTRANCE BLOW UP
 SCALE: 1" = 30'

NOTE: THE SIDEWALK THICKNESS SHALL BE INCREASED TO 6" CONCRETE / 6" STONE BASE AT ALL PROPOSED DRIVEWAYS AND TRANSITION AREAS



MATCHLINE: SEE SHEET RP1002

PENNONI ASSOCIATES INC.
 18072 Davidson Drive
 Milton, DE 19968
 T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

TERRAPIN ISLAND SUBDIVISION (2020-13)
CAMP ARROWHEAD ROAD (SCR 279)

RECORD SUBDIVISION PLAN

TAX MAP: 234-18.00-31.00
 INDIAN RIVER HUNDRED SUSSEX COUNTY

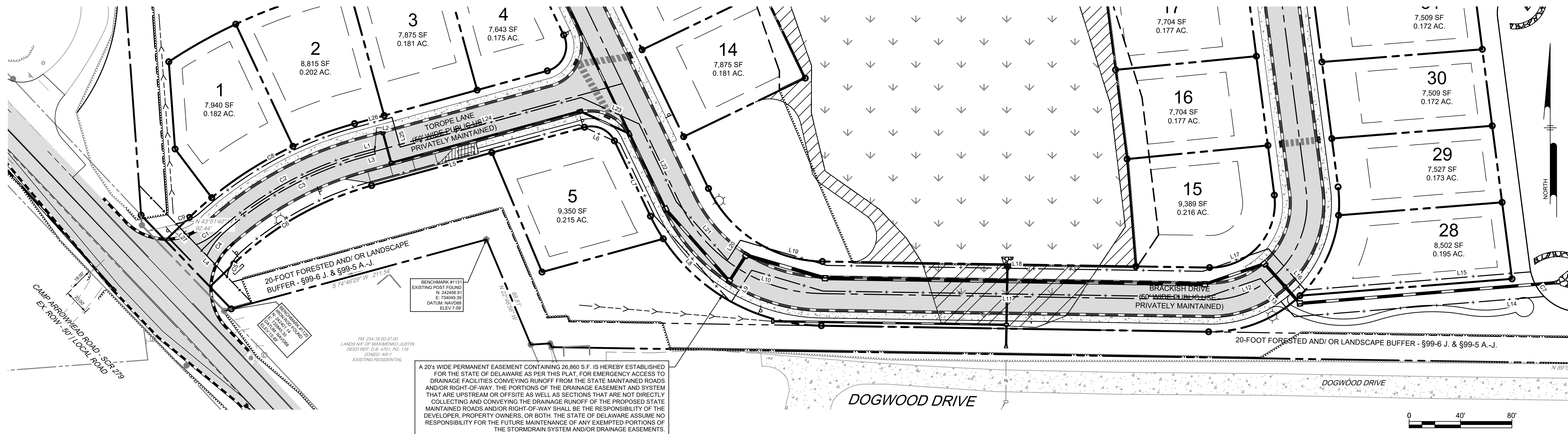
RIBERA DEVELOPMENT, LLC.
 8684 VETERANS HIGHWAY, SUITE 203
 MILLERSVILLE, MD 21108

DATE	NO.	REVISIONS	BY
2022-05-19	6	REVISED PER DELDOT COMMENTS	
2022-02-18	5	REVISED PER DELDOT COMMENTS	
2021-11-09	4	REVISED PER DELDOT COMMENTS	
2021-08-03	3	REVISED PER PLANNING AND ZONING COMMENTS	
2021-07-13	2	REVISED PER CONDITIONS OF APPROVAL	
2021-02-24	1	REVISED PER PLANNING & ZONING COMMENTS	

PROJECT: RIBER20000
DATE: 2020-08-07
DRAWING SCALE: 1" = 50'
DRAWN BY: MP/TPM
APPROVED BY: AMD

RP1001
 SHEET 3 OF 7

PROJECT STATUS: PLOTTED: 7/11/2023 10:10 AM BY: J. J. ...



A 20'± WIDE PERMANENT EASEMENT CONTAINING 26,860 S.F. IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM THE STATE MAINTAINED ROADS AND/OR RIGHT-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORMDRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.

EASEMENT LINE TABLE		
LINE #	BEARING	DISTANCE
L1	N 74°40'08" E	9.38'
L2	S 15°19'52" E	4.00'
L3	S 74°40'08" W	9.38'
L4	S 43°51'40" E	22.43'
L5	N 74°40'08" E	168.12'
L6	S 65°27'00" E	35.06'
L7	S 25°34'08" E	62.73'
L8	S 41°27'06" E	89.62'
L9	N 32°39'57" E	29.77'
L10	S 73°45'44" E	57.86'
L11	S 89°05'58" E	298.76'
L12	N 71°00'48" E	44.14'
L13	S 41°33'49" E	39.65'
L14	N 85°22'19" E	194.95'
L15	S 85°22'19" W	176.08'
L16	N 41°33'49" W	43.01'
L17	S 71°00'48" W	53.98'
L18	N 89°05'58" W	292.56'
L19	N 73°45'44" W	70.12'
L20	S 32°39'57" W	18.23'
L21	N 41°27'06" W	60.35'
L22	N 25°34'08" W	67.20'
L23	N 65°27'00" W	49.57'
L24	S 74°40'08" W	146.00'
L25	N 15°19'52" W	24.00'
L26	S 74°40'08" W	29.38'
L27	S 43°51'40" E	22.68'

EASEMENT CURVE TABLE					
CURVE #	RADIUS	DELTA	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	56.40'	020°06'23"	19.79'	19.69'	N 58°10'30" E
C2	277.00'	026°47'21"	129.51'	128.34'	N 61°16'28" E
C3	273.00'	028°02'54"	124.11'	123.05'	S 61°38'41" W
C4	56.32'	023°32'07"	23.14'	22.97'	S 36°42'47" W
C5	36.32'	036°24'07"	23.08'	22.69'	N 30°14'40" E
C6	253.00'	028°02'32"	114.99'	114.01'	N 61°38'52" E
C7	40.00'	031°45'00"	22.17'	21.88'	N 28°34'17" W
C8	297.00'	026°46'48"	138.82'	137.56'	S 61°16'44" W
C9	36.40'	033°35'54"	21.34'	21.04'	S 64°58'44" W

U:\Admin\RIBER20000 - Millersville\New Subdiv\RP1003_SHEET 0500.dwg
 PLOTTED: 7/1/2023 1:50 PM BY: Jagan Sankaran
 PROJECT STATUS: PLOTTED: Penon KCS:db

PENNONI ASSOCIATES INC.
 18072 Davidson Drive
 Milton, DE 19968
 T 302.684.9030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

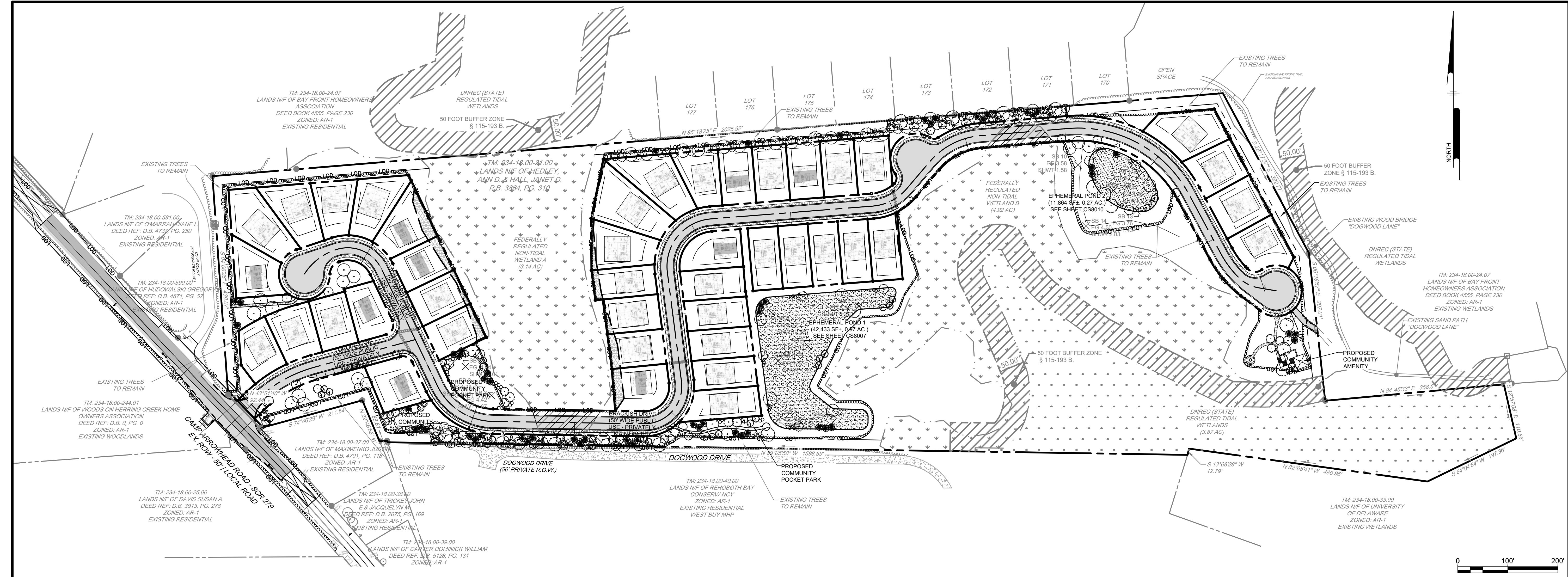
TERRAPIN ISLAND SUBDIVISION (2020-13)
CAMP ARROWHEAD ROAD (SCR 279)
 TAX MAP: 234-18-00-31-00
 INDIAN RIVER HUNDRED SUSSEX COUNTY
EASEMENT PLAN
RIBERA DEVELOPMENT, LLC.
 8684 VETERANS HIGHWAY, SUITE 203
 MILLERSVILLE, MD 21108

DATE	NO.	REVISIONS	BY
2022-05-19	3	REVISED PER DELDOT COMMENTS	LFS
2022-02-18	2	REVISED PER DELDOT COMMENTS	LFS
2021-11-09	1	REVISED PER DELDOT COMMENTS	LFS

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

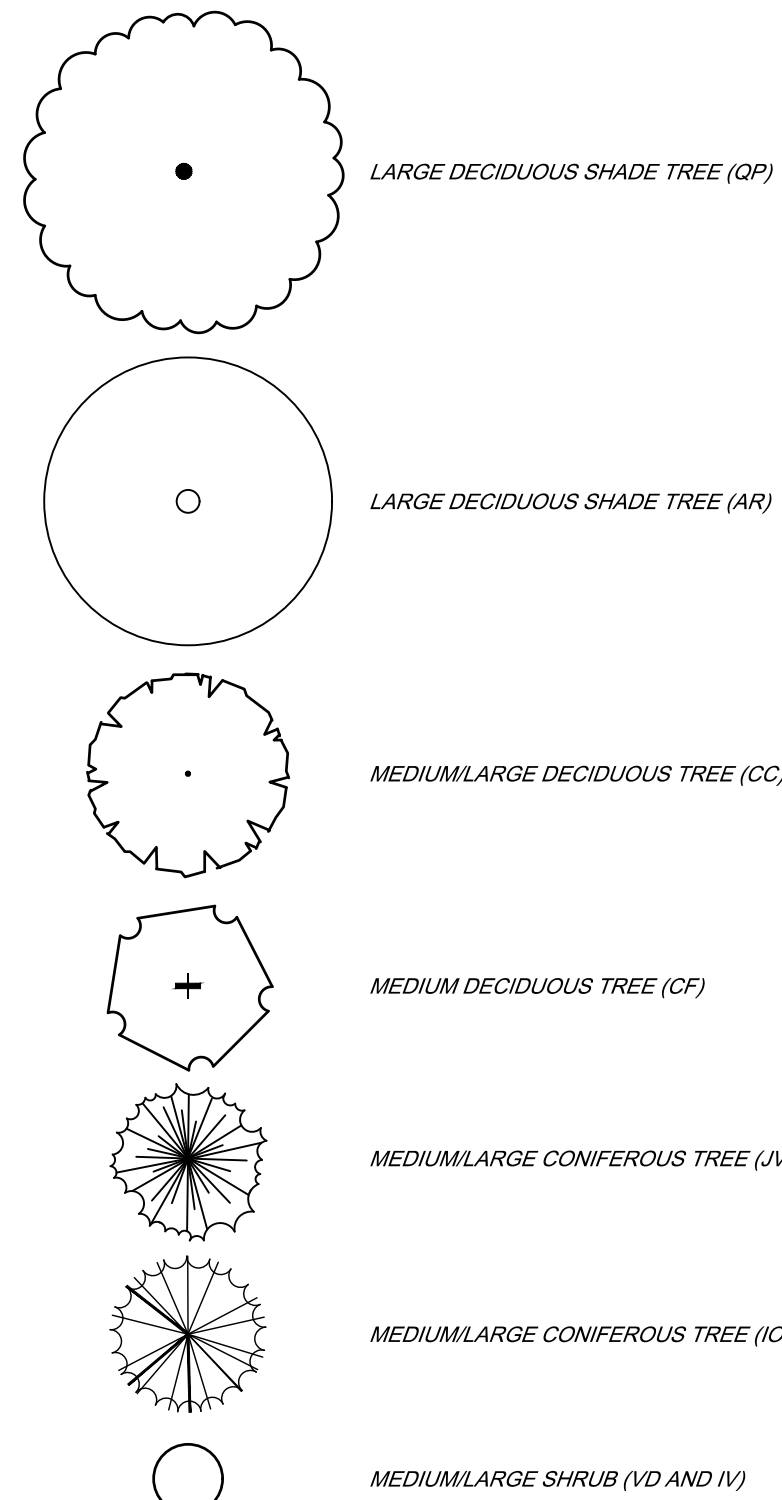
PROJECT: **RIBER20000**
 DATE: 2021-06-01
 DRAWING SCALE: 1"=40'
 DRAWN BY: LFS
 APPROVED BY: AMD

RP1003
 SHEET 5 OF 7



LEGEND

PROPOSED	DESCRIPTION
----------	-------------



PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	SPACING
TREES						
QP	34	QUERCUS PALUSTRIS	PIN OAK	1.5" CAL	B&B	AS SHOWN
AR	29	ACER RUBRUM	RED MAPLE	1.5" CAL	B&B	AS SHOWN
CF	48	CORNUS FLORIDA	FLOWERING DOGWOOD	1.5" CAL	B&B	AS SHOWN
CC	54	CERIS CANADENSIS	EASTERN REDBUD	1.5" CAL	B&B	AS SHOWN
JV	46	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	5' HGT	B&B	AS SHOWN
IO	40	ILEX OPACA	AMERICAN HOLLY	5' HGT	B&B	AS SHOWN
IV	36	ILEX VERTICILLATA	WINTERBERRY	3' HGT	B&B	AS SHOWN
VD	36	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	3' HGT	B&B	AS SHOWN

*NOTE - USE PLANT SYMBOLS RESPECTIVELY TO IDENTIFY LOCATION OF PLANTS ON PLAN
 - EXISTING VEGETATION TO BE UTILIZED AS MUCH AS POSSIBLE

PENNONI ASSOCIATES INC.
 18072 Davidson Drive
 Milton, DE 19968
 T 302.684.9030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

TERRAPIN ISLAND SUBDIVISION
 INDIAN RIVER HUNDRED SUSSEX COUNTY
LANDSCAPE PLAN
 RIBERA DEVELOPMENT, LLC.
 8664 VETERANS HIGHWAY, SUITE 203
 MILLERSVILLE, MD 21108

NO.	DATE	REVISIONS	BY
2	2022-03-07	REVISED PER SCED COMMENTS	LFS
1	2021-12-20	REVISED PER SCED COMMENTS	LFS

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

LANDSCAPE CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE REGULATIONS AND LAWS OF THE STATE OF DELAWARE.

ERIC W. WAHL, (DE# S1-0000409) DATE
 PENNONI ASSOCIATES INC.
 18072 DAVIDSON DRIVE MILTON, DE 19968

PROJECT: RIBER20000
 DATE: 2022-03-11
 DRAWING SCALE: 1"=100'
 DRAWN BY: LFS
 APPROVED BY: AMD

CS2001

SHEET 9 OF 27

PROJECT STATUS: PLOTTED: 7/11/2022 4:58 PM BY: Julian Stockham PLOTTED BY: Julian Stockham U:\Automation\BIBER20000 - Mill\Project\Area Subdivision\CS2001_SHEET02000.dwg

LANDSCAPE NOTES:

- ALL PLANTS TO BE TRUE TO SPECIES, IN A RIGOROUS STATE OF GROWTH, MEET WITH THE LATEST STANDARDS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, AND BE FREE OF INSECTS, PESTS AND DISEASES. NO MATERIAL SUBSTITUTIONS ARE PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL OBTAIN A DIGITAL FILE FROM LANDSCAPE ARCHITECT AS NEEDED TO PROPERLY STAKE OUT PROPOSED TREE LOCATIONS.
- REFER TO PROJECT SPECIFICATIONS FOR ALL REQUIREMENTS AND SUBMITTALS NOT COVERED IN THESE NOTES, DETAILS, AND DRAWINGS.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE PLANS, NOTES, AND SPECIFICATIONS.
- MULCH:
 - NATIVE SHREDDED HARDWOOD MIXED WITH NATIVE LEAF LITTER. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL.
 - APPLY 1-2" DEPTH OF FINELY SHREDDED MULCH OVER GROUNDCOVER AND PERENNIAL BEDS.
 - APPLY 2-3" DEPTH MULCH OVER SHRUB BEDS AND INSIDE SHRUB SAUCER RINGS.
 - APPLY 4-5" DEPTH MULCH INSIDE TREE SAUCER RINGS.
- FINE GRADING:

FINE GRADE ALL GROUNDCOVER AND SHRUB BED PRIOR TO PLANTING. HAND GRADE ALL PROPOSED LAWN AREAS PRIOR TO HYDRO SEEDING OR LAYING SOD. REMOVE ALL ROCKS, CLUMPS, AND FOREIGN DEBRIS GREATER THAN 1/2" DIAMETER.
- TOPSOIL:

CONTRACTOR SHALL OBTAIN SOILS TESTS FROM THE DELAWARE DEPARTMENT OF AGRICULTURE EXTENSION OFFICE (OR EQUAL) AND FURNISH A COPY OF SAID REPORT TO LANDSCAPE ARCHITECT. PER COUNTY REQUIREMENTS, 6" MINIMUM TOPSOIL SHALL BE PROVIDED THROUGHOUT THE SITE. PROVIDE 12" DEPTH TOP SOIL FOR ALL GROUNDCOVER PERENNIAL AND SEASONAL PLANTING BEDS. PROVIDE 18" DEPTH TOP SOIL FOR ALL TREE AND SHRUB BEDS.
- PLANT PITS AND BACKFILL:
 - ALL TREE PITS TO BE A MINIMUM OF 2.5 TIMES THE WIDTH OF THE ROOT BALL AND SHRUB PITS TO BE A MINIMUM OF 2 TIMES THE WIDTH OF THE CONTAINER OR ROOT BALL.
 - CONTRACTOR SHALL PERFORM A 24 HOUR PERK TEST ON TREE PITS. WATER SHOULD DRAIN FREELY FROM THE HOLE WITHIN A 24 HOUR PERIOD.
 - SET TREE AND PIT DEPTH SUCH THAT THE TRUNK COLLAR OR WET LINE MATCHES THAT OF THE PROPOSED FINISH GRADE. IN POOR DRAINING SOILS CONDITIONS, SET TOPS OF ROOT BALLS APPROXIMATELY 2" ABOVE PROPOSED FINISH GRADE.
 - FOR BALLED AND BURLAPPED TREES, REMOVE THE TOP 1/4 OF THE ROOT BALL CAGE PRIOR TO BACKFILL. REMOVE ALL TWINE AND TIES FROM THE TRUNK OF THE TREE.
 - STANDARD PIT BACKFILL SHALL CONSIST OF 1/2 NATIVE SOIL, 1/4 COMPOST, AND 1/4 SPHAGNUM PEAT MOSS MIXED LIBERALLY TOGETHER. FOR POORLY DRAINING NATIVE SOIL CONDITIONS, PIT BACKFILL SHALL CONSIST OF 1/2 NATIVE SOIL, 1/4 COMPOST, AND 1/4 SAND MIXED LIBERALLY. ADJUST STANDARD FILL MATERIAL MIX WHERE STRUCTURAL SOILS ARE REQUIRED.
 - AROUND EACH TREE SHAPE A 5-6" TALL SOIL SAUCER RING WITH THE INSIDE RING DIAMETER 12" WIDER THAN THE ROOT BALL. AROUND EACH SHRUB, SHAPE A 3-4" TALL SOIL SAUCER RING WITH AN INSIDE DIAMETER OF 6" WIDER THAN THE ROOT BALL.
 - SETTLE TREE AND SHRUB PIT BACKFILL BY WATERING THE INTERIOR OF SAUCER RING TWICE BEFORE MULCHING.
- TREE STAKING AND GUYING:

ALL TREES GREATER THAN 1.75" IN CALIPER OR 6' IN HEIGHT SHALL BE STAKED OR GUYED AS SHOWN IN DETAILS. LASSO TIES SHALL BE OF 1-1/4" WIDE NYLON STRAPS OR OF FLEXIBLE PLASTIC THAT WILL NOT CHAFE, SCAR OR DAMAGE TREE LIMBS. STAKE AND GUY CHORDS SHALL BE FLAGGED OR COVERED WITH APPROPRIATE MATERIALS SO THAT THEY ARE READILY VISIBLE. PROVIDE THREE (3) STAKES OR GUY'S MINIMUM PER TREE, SPACED EQUALLY ABOUT THE TRUNK BASE. TWO (2) STAKES MINIMUM MAY BE USED IN NARROW, WIND-SHELTERED AREAS WHERE STANDARD STAKING OR GUYING WILL CANNOT FIT. CONTRACTOR SHALL REMOVE ALL STAKING AND GUYING MATERIALS AFTER ONE COMPLETE GROWING SEASON. ALTERNATIVE STAKING METHODS PROPOSED MUST BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL.
- FERTILIZERS:

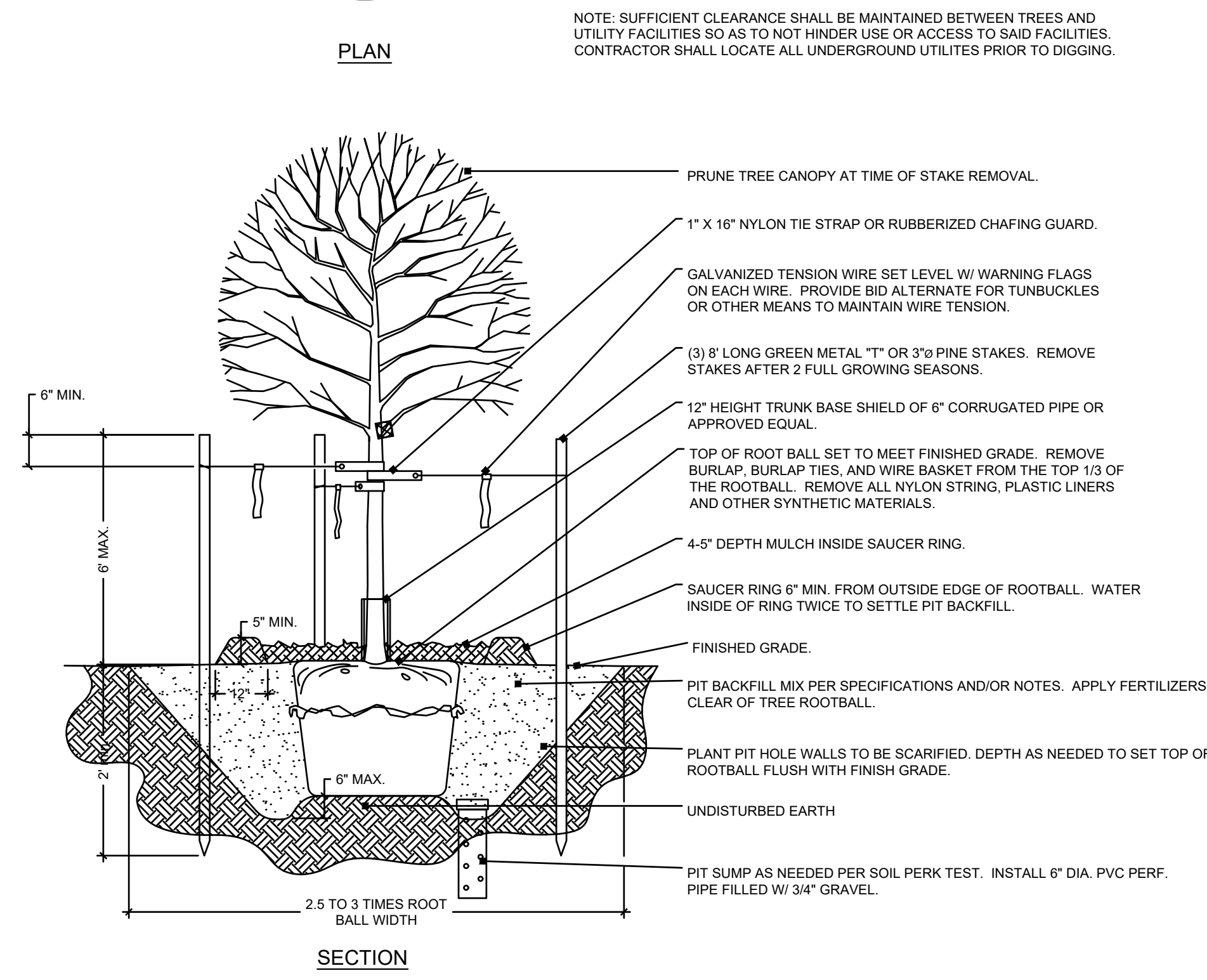
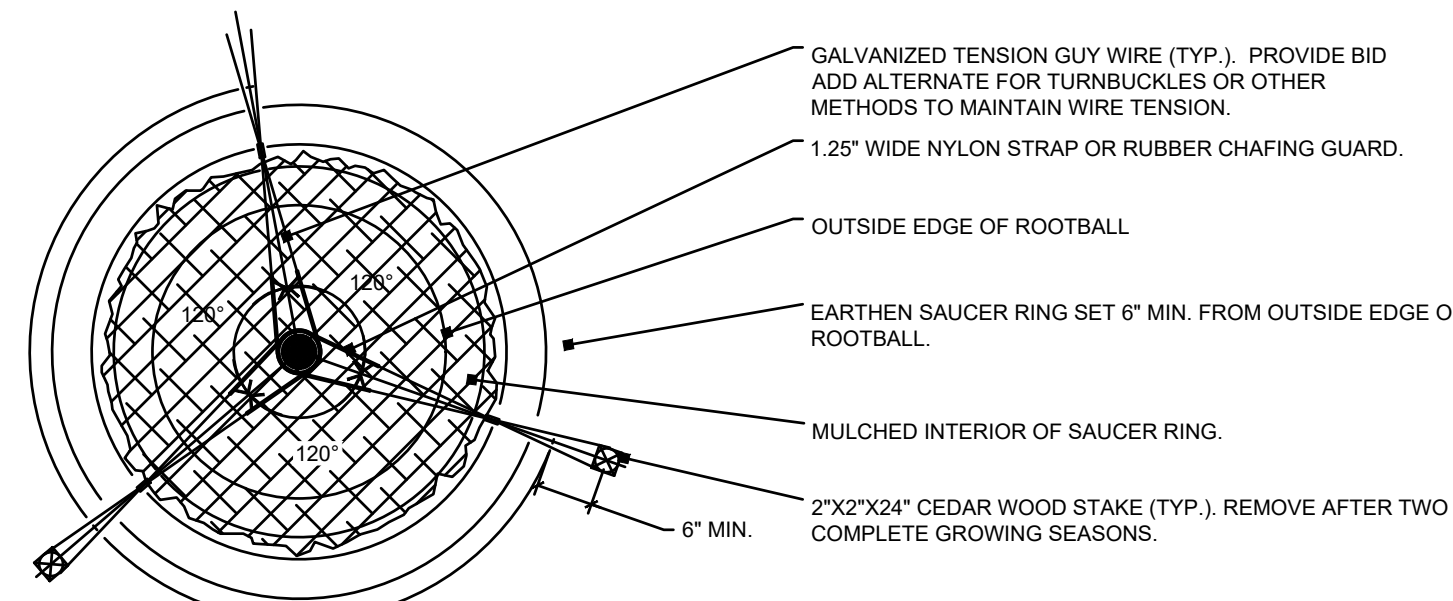
FERTILIZERS FOR LAWNS, BEDS, AND TREE & SHRUB PITS SHALL BE DETERMINED THROUGH THIRD PARTY SOILS TESTING FURNISHED BY THE CONTRACTOR. CONTRACTOR SHALL SUBMIT SOILS TEST RESULTS AND PROPOSED FERTILIZER PRODUCT(S) SPECIFICATIONS TO LANDSCAPE ARCHITECT FOR APPROVAL.
- LANDSCAPE DRAINAGE:

THE LANDSCAPE PLAN HAS BEEN PREPARED WITH EXISTING AND PROPOSED GRADIENT DATA PER THE CIVIL ENGINEER. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN EXISTING CONDITIONS OR PROPOSED GRADING THAT WOULD COMPROMISE THE PROPER INSTALLATION AND POSITIVE DRAINAGE OF PROPOSED LANDSCAPE PLANTINGS AND/OR SITE ELEMENTS.
- SEEDED AREAS:

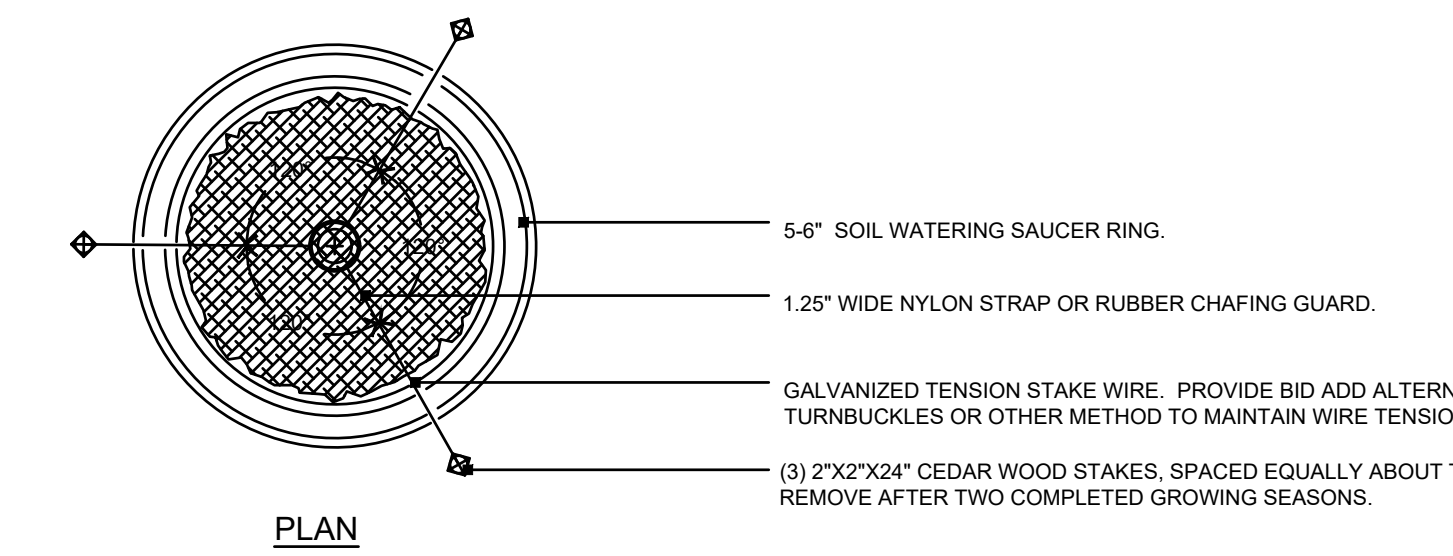
THE LIMIT OF SEEDING SHALL EXTEND TO ALL NON SODDED AREAS DISTURBED BY CONSTRUCTION. CONTRACTOR SHALL SUBMIT APPROPRIATE NATIVE GRASS SEED MIXES(S) SPECIFICATIONS TO LANDSCAPE ARCHITECT FOR APPROVAL. AREA SEEDING SHALL BE AT A RATE OF APPROXIMATELY 1 LBS PER 2000 SF OR PER SEED MIX RECOMMENDATIONS TO ACHIEVE THE DESIRABLE APPLICATION RATE. ALL SEED AREAS SHALL APPLIED WITH HYDROMULCH OR WITH OTHER TACKIFYING METHODS TO ENSURE SOIL STABILITY THROUGH TO GERMINATION AND ESTABLISHMENT OF THE SEEDED AREA.
- MAINTENANCE PERIOD AND GUARANTEE:

CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS THROUGH ONE COMPLETE GROWING SEASON AFTER INITIAL PLANTING. NURSERY PLANT SELECTION MAY BE COORDINATED WITH LANDSCAPE ARCHITECT, BUT SHALL NOT EXEMPT CONTRACTOR FROM MAINTENANCE PERIOD RESPONSIBILITIES AND GUARANTEES. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 2 WEEKS IN ADVANCE TO SCHEDULE AN APPOINTMENT FOR FIELD SELECTION OF PLANT MATERIALS.
- QUALIFICATIONS, INSPECTIONS, AND APPROVALS:

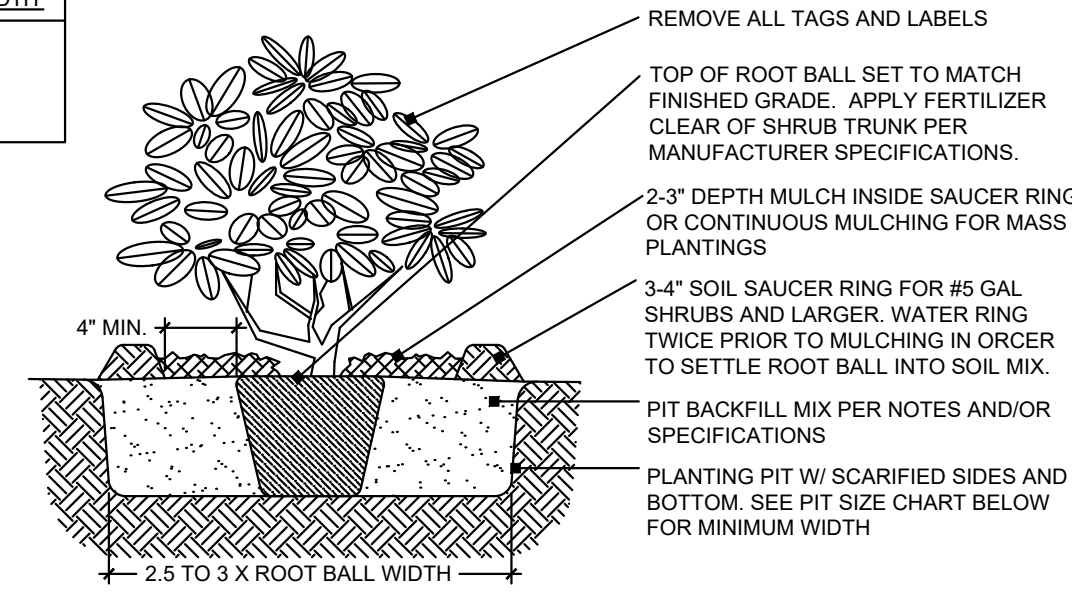
A STATEMENT OF QUALIFICATION SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT AND OWNER AT BID SUBMISSION. BONDING: AT OWNER'S DISCRETION, BONDING MAY BE REQUIRED BY THE CONTRACTOR OR PROOF OF BONDABLE STATUS. REFER TO SPECIFICATIONS FOR LANDSCAPE INSPECTIONS SCHEDULE AND MATERIALS TESTING NOT COVERED IN THESE NOTES. RESULTS FROM ALL REQUIRED MATERIALS TESTING TO BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL. A NOTICE OF FINAL ACCEPTANCE SHALL BE ISSUED TO CONTRACTOR BY THE LANDSCAPE ARCHITECT UPON LANDSCAPE ARCHITECT AND OWNER APPROVAL OF ALL REQUIRED TESTING, MOCK-UPS AND SAMPLES, AND THE SATISFACTORY COMPLETION OF ALL LANDSCAPE CONSTRUCTION PUNCH-LIST ITEMS AND SUBMISSION OF WRITTEN GUARANTEES. A NOTICE OF CONDITIONAL ACCEPTANCE MAY BE ISSUED IN LIEU OF A FINAL ACCEPTANCE NOTICE BY LANDSCAPE ARCHITECT AT THE OWNER'S DISCRETION AND UNDER THE OWNER'S TERMS.
- PER SUSSEX COUNTY ZONING ORDINANCE NO. 1984 SECTION 99-5 - FORESTED AND/OR LANDSCAPE BUFFER STRIP:
 - A MINIMUM TOTAL OF 15 TREES PER EVERY 100' OF STRIP
 - 70% DECIDUOUS SPECIES
 - 30% EVERGREEN SPECIES
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN 'AMERICAN STANDARDS FOR NURSERY STOCK'.
- CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR AFTER INSTALLATION IS COMPLETE AND FINAL ACCEPTANCE OF PHASE I SITE WORK HAS BEEN GIVEN. AT THE END OF ONE YEAR ALL PLANT MATERIAL WHICH IS DEAD OR DYING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AS ORIGINALLY SPECIFIED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER.
- ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN.)
- EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
- ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 12'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STAKING DETAIL SHOWN.
- THE FULL EXTENT OF ALL PLANTING BEDS SHALL RECEIVE 4" OF TOPSOIL AND 3" OF BARK MULCH PER SPECIFICATIONS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
- THE CONTRACTOR IS EXPECTED TO MAINTAIN PLANTINGS, INCLUDING WATERING ALL PLANTS ANY TIME FROM APRIL TO DECEMBER WHEN NATURAL RAINFALL IS LESS THAN ONE INCH PER WEEK.
- THE DEVELOPER OR HOME OWNERS ASSOCIATION SHALL BEAR THE RESPONSIBILITY OF REPLACING ANY LANDSCAPING WITHIN SUSSEX COUNTY SEWER EASEMENTS THAT IS DESTROYED OR DAMAGED DUE TO SEWER SYSTEM MAINTENANCE, REPLACEMENT, OR EXTENSION.
- ALL DECIDUOUS TREES THAT ARE PLANTED TO ESTABLISH THE BUFFER PLANTINGS SHALL HAVE A MINIMUM CALIPER OF 1.5 INCHES AND A MINIMUM HEIGHT OF SIX FEET ABOVE GROUND WHEN PLANTED IN ORDER TO INSURE THAT THE TREES WILL BE CAPABLE OF OBTAINING A MINIMUM HEIGHT OF 10 FEET ABOVE GROUND WITHIN FIVE YEARS OF BEING PLANTED.
- ALL EVERGREEN TREES THAT ARE PLANTED TO ESTABLISH THE BUFFER PLANTINGS SHALL HAVE A MINIMUM HEIGHT OF FIVE FEET ABOVE GROUND WHEN PLANTED IN ORDER TO INSURE THAT THEY ARE REASONABLY CAPABLE OF ATTAINING A MINIMUM HEIGHT OF 10 FEET ABOVE GROUND WITHIN FIVE YEARS OF BEING PLANTED.
- THE BUFFER AREA SHALL HAVE A FINAL GRADE THAT CONTAINS A MINIMUM OF FOUR INCHES OF TOPSOIL AND A SUITABLE GRASS MIX PLANTED AS SACRIFICIAL COVER BETWEEN THE BUFFER TREES FOR SOIL STABILIZATION UNTIL THE NEWLY PLANTED TREES BECOME LARGER. THE PLAN MAY SUBSTITUTE WOOD CHIPS FOR PLANTED GRASS BETWEEN THE BUFFER TREES IN RESPECT TO BOTH NEWLY PLANTED AND EXISTING TREES, AS DETERMINED BY THE LANDSCAPE ARCHITECT.
- THE FORESTED AND/OR LANDSCAPE BUFFER SHALL BE INSTALLED WITHIN 18 MONTHS FROM THE DATE SITE WORK IS AUTHORIZED TO COMMENCE, AS DOCUMENTED BY A NOTICE TO PROCEED LETTER FROM THE COMMISSION.
- THE LAND DEVELOPER SHALL BE HELD RESPONSIBLE FOR THE HEALTH AND SURVIVAL OF THE TREES, INCLUDING REGULAR DISEASE/INSECT/WEED TREATMENT FOR A MINIMUM OF TWO YEARS OR UNTIL SUCH LATER DATE AS THE MAINTENANCE RESPONSIBILITIES ARE TRANSFERRED TO A HOMEOWNERS ASSOCIATION; PROVIDED, HOWEVER, THAT THE DEVELOPER SHALL REPLACE ANY TREES THAT DIE DURING THE MINIMUM TWO-YEAR DEVELOPER MAINTENANCE PRIOR TO TRANSFERRING MAINTENANCE RESPONSIBILITIES TO A HOMEOWNERS ASSOCIATION.
- THE PERPETUAL MAINTENANCE OF THE BUFFER PLANTINGS BY A HOMEOWNERS ASSOCIATION SHALL BE ASSURED THROUGH THE RESTRICTIVE COVENANTS AND/OR HOMEOWNERS ASSOCIATION DOCUMENTS WHICH ARE OBLIGATORY UPON THE PURCHASERS THROUGH ASSESSMENTS BY THE HOMEOWNERS ASSOCIATION.



A CANOPY TREE PLANTING AND GUYING
N.T.S.



SHRUB SIZE	MIN. PIT WIDTH
#1 GALLON	18"
#3 GALLON	30"
#5 GALLON	42"



C SHRUB PLANTING
N.T.S.

B EVERGREEN TREE PLANTING AND STAKING
N.T.S.

Pennoni
PENNONI ASSOCIATES INC.
 18072 Davidson Drive
 Milton, DE 19968
 T 302.684.9030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

TERRAPIN ISLAND SUBDIVISION
 INDIAN RIVER HUNDRED SUSSEX COUNTY
 TAX MAP: 234-18.00-31.00
LANDSCAPE PLAN NOTES & DETAILS
 RIBERA DEVELOPMENT, L.L.C.
 8684 VETERANS HIGHWAY, SUITE 203
 MILLERSVILLE, MD 21108

NO.	DATE	REVISIONS	BY
1	02/21/20	REVISED PER SCED COMMENTS	LFS
2	02/22/20	REVISED PER SCED COMMENTS	LFS

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED BY THE OWNER IS THE SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDemnIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	RIBER20000
DATE	2020-08-27
DRAWING SCALE	AS SHOWN
DRAWN BY	LFS
APPROVED BY	AMD

CS2002
 SHEET 10 OF 27

LANDSCAPE CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE REGULATIONS AND LAWS OF THE STATE OF DELAWARE.

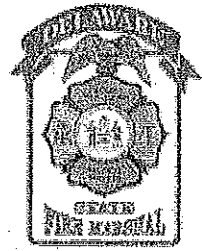
ERIC W. WAHL, (DE# S1-0000409) DATE
 PENNONI ASSOCIATES INC.
 18072 DAVIDSON DRIVE MILTON, DE 19968

U:\dms\eriber\ERIBER20000 - Mill\Project\Notes\Submittal\CS2002_SHEET10CS2002.dwg
 PLOTFILE: 7/1/2022 4:47 PM BY: Juhari Sahaib
 PLOTSTYLE: Pennoni_Vis.dwt
 PROJECT STATUS:



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



Plan Review Number: 2022-04-209590-MJS-01

Tax Parcel Number: 334-10.00-69.00

Status: Approved as Submitted

Date: 02/07/2022

Project

Lightship Cove
Unit #: 98 Lots
McHugh Property

28784 Fisher Road
Milton DE 19968

Scope of Project

Number of Stories:
Square Footage:
Construction Class:
Fire District: 82 - Lewes Fire Dept Inc

Occupant Load Inside:
Occupancy Code: 9601

Applicant

Jim Eriksen
303 North Bedford Street
Georgetown, DE 19947

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:

Dennett Pridgeon

RECEIVED

JUL 22 2022

SUSSEX COUNTY
PLANNING & ZONING

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2022-04-209590-MJS-01

Tax Parcel Number: 334-10.00-69.00

Status: Approved as Submitted

Date: 02/07/2022

PROJECT COMMENTS

1002 A This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) ADOPTED September 1, 2021. The Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.

2710 A The following items will be field verified by this Agency at the time of final inspection:

1195 A Separate plan submittal is required for all flammable gas installations (regardless of tank size) proposed for this project.

1030 A This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 500 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 800' on center.

SINGLE FAMILY DWELLINGS

1040 A This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 1,000 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 800' on center.

OTHER STRUCTURES

1233 A The fire department that responds to this location is using 5" storz fittings on the steamer.

1408 A All premises where emergency personnel may be called upon to provide emergency services, which are not readily accessible from streets, shall be provided with suitable gates, access roads, and fire lanes so that all buildings on the premises are accessible to emergency apparatus. (DSFPR Regulation 705, Chapter 5, Section 2).

- 1170 A** The minimum paved radius of a cul-de-sac is 38 feet unobstructed as shown in Figure 5-1. (DSFPR Regulation 705, Chapter 5, Section 2.3.2).
- 1093 A** In the case of one and two-family dwellings emergency service access shall be provided in such a manner so that emergency apparatus will be able to locate within 100 feet from the street to the primary entrance. Where alleys are provided, pumpers shall be able to access all portions of the alley without strict restrictions for entrance radii. (DSFPR Regulation 705, Chapter 5, Sections 2.2 and 2.2.1).
- 1106** The access road into the subdivision from the main thoroughfare is to be constructed so fire department apparatus may negotiate it. If a "center island" is placed at an entrance, it shall be arranged in such a manner that it will not adversely affect quick and unimpeded travel of fire apparatus into the subdivision.
- 1420 A** All fire hydrants shall be marked and identified in accordance with DSFPR Regulation 705, Chapter 6, Section 2.0.
- 1119 A** All proposed fire hydrants and water mains shall be installed in accordance with the most current edition of the Delaware State Fire Prevention Regulations (DSFPR, Part II, Chapters 6 & 7).
- 1132 A** Fire hydrants shall be color coded in accordance with the DSFPR, Part III, Section 3.4. This includes both color coding the bonnet and 2" reflective tape around the barrel under the top flange.
- 1232 A** All threads provided for fire department connections, to sprinkler systems, standpipes, yard hydrants or any other fire hose connections shall be uniform to those used by the fire department in whose district they are located. DSFPR Part III, Section 1.1.5.1.
- 1432 A** The steamer connection of all fire hydrants shall be so positioned so as to be facing the street or fire lane. (DSFPR Regulation 705, Chapter 5, Section 10). The center of all hose outlet(s) on fire hydrants shall be not less than 18 inches above finalgrade (NFPA 24, Section 7.3.3).
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.

1190 A Separate plan submittal is required for the building(s) proposed for this project.

SUBMITTAL REQUIRED FOR ANY OTHER BUILDINGS OTHER THAN SINGLE FAMILY DWELLINGS

9999

CENTRAL WATER FOR FIRE PROTECTION SHALL BE PROVIDED AND IN SERVICE AT THE COMPLETION OF CONSTRUCTION OF THE 50TH LOT, AND PRIOR TO CONSTRUCTION STARTING ON THE 51ST LOT.





OVER 100 YEARS OF SUPERIOR SERVICE

Artesian Water Company ▲ Artesian Wastewater Management ▲ Artesian Utility Development ▲ Artesian Water Pennsylvania
▲ Artesian Water Maryland ▲ Artesian Wastewater Maryland

March 22, 2022

Mr. Tim Green
Schell Brothers, LLC
20184 Phillips Street
Rehoboth Beach, Delaware 19971

RE: Lightship Cove Subdivision Ability to Serve and Water Plan Approval Letter

With reference to your request concerning Water Service ("Service") for Lightship Cove Subdivision Project on Fisher Road in Lewes-Rehoboth Hundred, Sussex County, Delaware, with tax parcel number 334-10.00-69.00 (the "Property"), please be advised as follows:

Subject to the following conditions, Artesian Water Company, Inc. ("Artesian") is willing and able to provide Service to the Property that meets all applicable State of Delaware, Delaware Department of Natural Resources and Environmental Control, and Sussex County standards. Artesian has the water Certificate of Public Convenience and Necessity ("CPCN") from the Delaware Public Service Commission.

Based on current conditions and subject to the development entity and Artesian entering a Water Service Agreement ("Agreement") that addresses the financial terms of the provision of Service for the Property, in accordance with Artesian's tariff as approved by the Delaware Public Service Commission, Artesian is willing and able to provide the required Service for this Property.

Furthermore, we have reviewed and approved the Water Plans prepared by Solutions IPEM dated September 22, 2021 last revised February 2, 2022.

This letter shall expire if Agreements are not executed within one year of the date of this letter.

If you have any questions, please do not hesitate to contact us.

Yours very truly,

Katherine E. Garrison

Katherine E. Garrison
Senior Planning Designer



Cape Henlopen School District

Richard Crisci
Transportation Supervisor
Richard.Crisci@cape.k12.de.us

DISTRICT OFFICE
1270 KINGS HIGHWAY
LEWES, DE 19958
302-644-7900

July 11, 2022

To Whom It May Concern:

This letter is in response to a request that Cape Henlopen School District provide a bus stop for the proposed Lightship Cove subdivision off of Fisher Rd. The district will create a bus stop at the entrance to the development: Hermitage Way and Fisher Rd.

The district does not require a school bus shelter but does request the developer/builder consider a sidewalk and area for vehicles to park that will not impede the flow of traffic into and out of the development while students wait for the bus.

Please feel free to contact me if there are any further questions or concerns.

Cordially,

Richard Crisci
Transportation Supervisor



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

NICOLE MAJESKI
SECRETARY

July 28, 2022

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

**SUBJECT: Letter of No Objection to Recordation
Lightship Cove**
Tax Parcel # 334-10.00-69.00
Fisher Road (SCR 262)
Indian River Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Site Plan, dated August 20, 2021 (last revised July 13, 2022), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawings. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Site Plan is not recorded prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. Entrance plans shall be developed in accordance with DelDOT's Development Coordination Manual and submitted to the Development Coordination Section for review and approval.

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There

Lightship Cove
Mr. Jamie Whitehouse
Page 2
July 28, 2022

may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

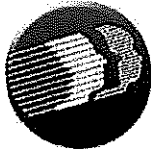
If I can be of any further assistance, please call me at (302) 760-2266.

Very truly yours,



Wendy L. Polasko, P.E.
Subdivision Engineer
Development Coordination

cc: Timothy Green, Schell Brothers
Jason Palkewicz, Solutions IPEM
Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Matt Schlitter, South District Public Works Engineer
James Argo, South District Project Reviewer
Richard Larkin, South District Subdivision Manager
Jennifer Pinkerton, Chief Materials & Research Engineer
Linda Osiecki, Pedestrian Coordinator
John Fiori, Bicycle Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kauffman, DTC Planner
James Kelley, JMT
Brian Yates, Sussex County Reviewer



DELAWARE HEALTH AND SOCIAL SERVICES

Division of Public Health

Office of Engineering
Phone: (302) 741-8640
Fax: (302) 741-8631

January 21, 2022

ARTESIAN WATER COMPANY, INC.

APPROVAL TO CONSTRUCT
Artesian Northern Sussex Regional
Lightship Cove Connection
PWS #DE0020003
Approval #22W09

Mr. Tim Green
Schell Brothers, LLC
20184 Phillips Street
Rehoboth Beach, DE 19971

RECEIVED

JUL 22 2022

SUSSEX COUNTY
PLANNING & ZONING

Dear Mr. Green:

As provided by Section 2.11 of the *State of Delaware Regulations Governing Public Drinking Water Systems*, you are granted approval to connect Lightship Cove to the future main extension in accordance with the plans submitted by Solutions IPEM. The plans consist of:

1. Transmittal letter dated January 12, 2022.
2. Three copies of the plans entitled "Lightship Cove" dated September 22, 2021 and revised November 18, 2021.

These plans, as noted, are made a part of this approval. This approval is granted subject to the enclosed list of conditions.

It is the owner's responsibility to ensure as-built drawings are maintained throughout all phases of construction. Prior to receiving an Approval to Operate, the Office of Engineering requires one set of as-built drawings, including profile markups where sanitary sewer crosses proposed water mains.

The Office of Engineering recommends detectable tracer tape that is three inches wide and blue in color to be installed directly above all water mains larger than two inches in diameter.

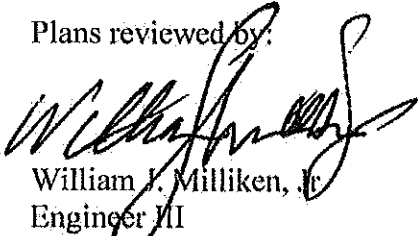
A temporary blow-off may be required at the dead end of Waterline A station 33+98.82 on sheet 39.

Two copies of the plans will be sent back with a copy of this Approval to Solutions, IPEM that are signed and dated by the Office of Engineering.

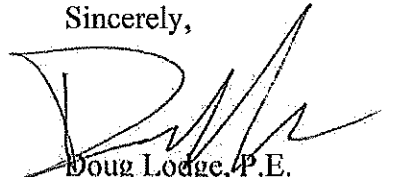
Mr. Tim Green
Schell Brothers, LLC
January 21, 2022
Page 2

If you have any questions regarding this matter, please feel free to contact Bill Milliken at (302) 741-8646.

Plans reviewed by:


William J. Milliken, Jr.
Engineer III
Office of Engineering

Sincerely,


Doug Lodge, P.E.
Supervisor of Engineering
Office of Engineering

cc: Public Service Commission
Edwin Tucci, Solutions IPeM
Virginia Eisenbrey, Artesian Water Company, Inc.
Ashley Kunder, Office of Drinking Water

1. The approval is void if construction has not started by January 21, 2023.
2. The project shall be constructed in accordance with the approved plans and all required conditions listed in this Approval to Construct. If any changes are necessary, revised plans shall be submitted and a supplemental approval issued prior to the start of construction. As-built plans including profile mark-ups must be submitted to the Office of Engineering after construction has been completed.
3. Representatives of the Division of Public Health may inspect this project at any time during the construction.
4. This approval does not cover the structural stability of any units or parts of this project.
5. The water system shall be operated in conformance with the *State of Delaware Regulations Governing Public Drinking Water Systems*.
6. All potable water lines and appurtenances shall be disinfected using one of the methods in the American Water Works Association Standard C651, current edition.
7. Water mains crossing sanitary and storm sewers should be laid to provide a minimum vertical distance of 18 inches between the outside of the water main and the outside of the sewer, and the water main should be above the sewer. At crossings, one full length of water pipe should be located so both joints will be as far from the sewer as possible. Special structural support for the water and sewer pipes may be required. In cases where it is not practical to maintain an 18-inch separation, the Division may allow deviation on a case-by-case basis if supported by data from the design engineer.
8. Water mains should be laid 10 feet horizontally from any existing or proposed sanitary or storm sewers. The distance should be measured edge to edge. In cases where it is not practical to maintain a 10-foot separation, the Division may allow deviation on a case-by-case basis if supported by data from the design engineer.
9. All chemicals, materials, mechanical devices, and coatings in contact with potable water shall comply with National Sanitation Foundation/American National Standards Institute Standards (NSF/ANSI) 60 and 61 and shall be inert, nontoxic, and shall not impart any taste, odor, or color to the water.
10. Sufficient valves should be provided so that inconvenience and sanitary hazards will be minimized during repairs. Valves should be located at not more than 500-foot intervals in commercial districts and at not more than one block or 800-foot intervals in other districts.
11. There shall be no connection between the distribution system and any pipes, pumps, hydrants, or tanks whereby unsafe water or other contaminating materials may be discharged or drawn into the system.

12. Fire hydrant drains shall not be connected to or located within 10 feet of sanitary sewers, storm sewers, or storm drains.
13. Prior to usage of water from this new well, water plant, storage plant, or distribution system, approval for the water quality must be obtained from the Division of Public Health.
14. The water system should be capable of providing at least 25 psi at ground level at all times throughout the distribution system.
15. All plastic pipe utilized in this drinking water system shall be approved for potable water use (NSF-pw). If any piping is joined with solder or flux, the solder and flux shall be lead free (less than or equal to 0.2 percent lead).
16. All water lines should be buried to a depth of at least 3 feet.
17. This approval is for the distribution system only. Plans and specifications for all well plumbing, pumps, storage (including any interior coatings), and treatment must be submitted to and approved by this office prior to their installation.
18. The approval is subject to immediate revocation upon violation of any of the preceding conditions.
19. All other local (county/city/town) approvals or permits needed must be obtained prior to beginning construction.
20. Upon completion of construction and before the system is placed into operation, a "Notice of Completion" must be submitted to the Office of Engineering. Before placing the system into operation, the following must be adhered to:
 - a. Submit a set of as-built plans with profile markups to the Office of Engineering.
 - b. Obtain an Approval to Operate from the Office of Engineering.



DELAWARE DEPARTMENT OF
**NATURAL RESOURCES AND
ENVIRONMENTAL CONTROL**

89 Kings Highway
Dover, DE 19901
(302) 739-9000
dnrec.delaware.gov

May 4, 2022

Mr. Tim Green
Schell Brothers
20184 Phillips Street
Rehoboth Beach, DE 19971

Ref: Lightship Cove
State Wastewater Construction Permit No. WPCC 3033/22

Dear Mr. Green:

Please find enclosed a copy of the construction permit that was issued for the referenced project.

We expect the permitted construction to be completed within the permit term. If the construction cannot be completed by the permit expiration date, a one-time, no-cost two-year permit extension is available, as long as the request is received in writing prior to the expiration date and as long as the scope of the project has not changed significantly, as determined by the Department.

Per Part II.A.2.a of the enclosed permit, notify the Department of any changes to the construction authorized therein. Per Part II.B.1, submit a set of "as-built" plans of the constructed wastewater facilities within ninety (90) days of construction completion. The as-built plans must be signed and sealed by a Professional Engineer licensed in Delaware.

If you have any questions, please contact me at (302) 739-9941 or via email at davison.mwale@delaware.gov.

Sincerely,

A handwritten signature in black ink, appearing to read "Dr. Davison Mwale".

Dr. Davison Mwale, (PhD)
Environmental Finance

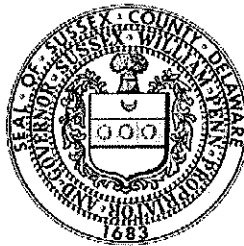
Enclosures

Email: Mr. Jim Ericksen, P.E., Solutions IPEM
Ms. Katherine E. Garrison, Artesian Wastewater Management, Inc.

ENGINEERING DEPARTMENT

JOHN J. ASHMAN
SR. MANAGER OF UTILITY PLANNING
& DESIGN REVIEW

(302) 855-7370 T
(302) 854-5391 F
jashman@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

May 2, 2022

Mr. Jim Eriksen, P.E.
Solutions, IPEM
303 N. Bedford Street
Georgetown, DE 19947

RECEIVED

JUL 22 2022

SUSSEX COUNTY
PLANNING & ZONING

REF: **LIGHTSHIP COVE (FKA FISHER ROAD)
SUBDIVISION NO. 2021-11
SUSSEX COUNTY TAX MAP NUMBER
334-10.00-PARCEL 69.00 - CLASS-3
AGREEMENT NO. 1166**

Dear Mr. Ericksen:

The above referenced project was approved on April 29, 2022, and two (2) sets of the approved plan is enclosed. This approval is valid for three (3) years, unless prior to expiration of that three (3) year period, a time extension is requested and approved by the Department. Plans granted an extension beyond the three (3) period will be required to meet updated standards and specifications.

Also, it is your responsibility to secure approvals and/or permits that may be required by other regulatory agencies.

Please contact Mrs. Susan Isaacs of the Department's Division of Utility Engineering to initiate pre-construction procedures for private roads.

Should you have any questions, please do not hesitate to contact me.

Sincerely,

SUSSEX COUNTY ENGINEERING DEPARTMENT

Jordan T. Dickerson
Public Works Technician IV

cc: Field File, w/enclosure





Sussex
conservation
district

March 31, 2022

Mr. Tim Green
Schell Brothers, LLC
20184 Phillips Street
Rehoboth Beach, DE 19971
tgreen@schellbrothers.com

RE: Lightship Cove

Dear Mr. Green:

A Sediment and Stormwater Management Plan has been reviewed for compliance with the Sediment and Stormwater Regulations and is approved with conditions (see attached). Enclosed herein please find a copy of the approved application form and approved plan sets. Please retain a copy for your use, and provide the contractor with a copy to be retained onsite at all times. Failure to keep an approved plan onsite is a violation of the approved plan.

Approval of a Sediment and Stormwater Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.

This plan approval pertains to compliance with the Delaware Sediment and Stormwater Regulations. Please understand that the approval of this plan does not relieve you from complying with any and all federal, state, county, or municipal laws and regulations.

As of January 1, 2014, the Sussex Conservation District began collecting financial guarantees to ensure the construction of stormwater management practices is accomplished in accordance with the approved sediment and stormwater plan. Please refer to the SCD Policy on Bonds located on our website at Sussexconservation.org. If you have any questions concerning the aforementioned, please do not hesitate to call 302-856-7219.

Sincerely,

Jessica Watson

Jessica Watson
Program Manager



Sussex
conservation
district

CONDITIONS OF APPROVAL

NOTIFICATION

1. This approved plan will remain valid for 5 years from the date of this approval. If construction does not begin within five years, the approved plan will be considered to have expired and must be resubmitted to the District for a new review. In addition, if work is not completed within the five-year timeframe, the District must be contacted and a request for an extension submitted. Depending on regulation changes, a new plan may need to be submitted to ensure that all stormwater management facilities are constructed to the most recent standards.
2. Submittal of the Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activities together with this approval of the detailed Sediment and Stormwater Plan provide this project with Federal permit coverage to be authorized to discharge stormwater associated with construction activities. It is the owner's responsibility to ensure that permit coverage remains valid throughout construction by submitting the NOI fee annually as requested. The developer is responsible for weekly self-inspection reporting to be retained onsite.
3. Notify the Sussex Conservation District Sediment and Stormwater Management Section of your intent to begin construction in writing five (5) days prior to commencing. Failure to do so constitutes a violation of the approved plan.

CHANGES

1. This project is to be undertaken in accordance with the plans submitted and as approved. If changes are necessary at any time during the completion of the project, submit revised plans, prior to further construction, to the Sussex Conservation District Sediment and Stormwater Program for review and approval of the revision.
2. Should ownership change during the construction period, a revised plan must be submitted for approval showing the new owner's signature on the owner's certification. In addition, a Transfer of Authorization form must be submitted to DNREC to transfer Federal permit coverage to the new owner.

CONSTRUCTION AND CLOSEOUT

1. A pre-construction meeting must take place before any land disturbing activity begins. The meeting may take place on site and be attended by the owner, contractor, design consultant, Certified Construction Reviewer, and Sussex Conservation District Sediment and Stormwater Program Construction Reviewer. The owner or the owner's designee shall contact the Sussex Conservation Construction Reviewer to schedule the pre-construction meeting.
2. Keep available onsite, during all phases of construction, a copy of the approved Sediment and Stormwater Management Plan.
3. Keep available onsite, during all phases of construction, copies of the Developers weekly self-inspection reports and/or the CCR Reports.
4. Any sediment transported off-site to roads or road rights-of-way including ditches shall be removed. Any damage to ditches shall be repaired and stabilized to original condition.



Sussex
conservation
district

5. Grading shall not impair surface drainage, create an erosion hazard, or create a source of sediment to any adjacent watercourse or property owner.
6. Failure to implement the permanent stormwater management practices as mentioned herein constitutes a violation of the conditions of this plan approval; it may result in the suspension or revocation of building permits or grading permits issued by the local jurisdiction, and it may result in legal action by the DNREC to bring the site into compliance with the approved Sediment and Stormwater Management Plan and the Delaware Sediment and Stormwater Regulations.
7. The permanent stormwater management facility or facilities must be constructed and accepted by the Sussex Conservation District Sediment and Stormwater Program prior to final closeout of the project site. Post-construction verification documentation of the stormwater management facility or facilities must be completed as soon as construction of the facility or facilities is complete so that any necessary modifications may be made during the construction period.



OVER 100 YEARS OF SUPERIOR SERVICE

Artesian Water Company ▲ Artesian Wastewater Management ▲ Artesian Utility Development ▲ Artesian Water Pennsylvania
▲ Artesian Water Maryland ▲ Artesian Wastewater Maryland

March 24, 2022

Mr. Tim Green
Schell Brothers, LLC
20184 Phillips Street
Rehoboth Beach, Delaware 19971

RE: Lightship Cove Subdivision Wastewater Ability to Serve and Plan Approval Letter

With reference to your request concerning Wastewater Service (“Service”) for Lightship Cove Subdivision Project on Fisher Road in Lewes-Rehoboth Hundred, Sussex County, Delaware, with tax parcel number 334-10.00-69.00 (the “Property”), please be advised as follows:

The proposed project consisting of approximately 97 single family homes is within Artesian Wastewater Management’s service territory. A Certificate of Public Convenience and Necessity (CPCN) for wastewater has been granted to Artesian by the Delaware Public Service Commission for this property. The developer and Artesian Wastewater Management, Inc. shall enter into a Wastewater Service Agreement that addresses the financial terms of the provision of wastewater service in accordance with Artesian’s tariff as approved by the Delaware Public Service Commission.

Based on current conditions and projections of growth within the Company's service area, Artesian is willing and able to provide the required wastewater service to this project. An anticipated construction schedule is required in order for Artesian to assess the impact of service requests upon its ability to meet projected wastewater demands.

Furthermore, we have reviewed and approved the Sanitary Sewer and Pump Station Plans prepared by Solutions IPEM dated September 22, 2021 last revised February 16, 2022.

This letter shall expire if Agreements are not executed within one year of the date of this letter.

If you have any questions, please do not hesitate to contact us.

Yours very truly,

Katherine E. Garrison

Katherine E. Garrison
Senior Planning Designer

RECEIVED

JUL 22 2022

SUSSEX COUNTY
PLANNING & ZONING

RECORD PLAT FOR LIGHTSHIP COVE

(FKA - FISHER)
LEWES & REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE



solutions
www.solutionspem.com
Copyright © 2021

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT LINE	---	---
SETBACK LINE	N/A	---
R.O.W. LINE	---	---
ROAD CENTERLINE	---	---
EDGE OF CONCRETE	N/A	---
EDGE OF PAVEMENT	N/A	---
CURB	N/A	---
DELDOT PAVEMENT HATCH	---	---
GRAVEL HATCH	---	N/A
SIDEWALK	N/A	---
SIDEWALK HATCH	N/A	---
TRAIL	N/A	---
EDGE OF POND	N/A	---
EDGE OF WETLAND	W	N/A
WETLAND	W	N/A
FLOODPLAIN	---	N/A
TREE LINE	---	N/A
SIDEWALK	N/A	---

SITE DATA:
OWNER: EMILY C. MCHUGH, 28784 FISHER ROAD, MILTON, DE 19968
DEVELOPER: SCHELL BROTHERS, LLC, 20184 PHILLIPS STREET, REHOBOTH BEACH, DE 19971, MR. TIM GREEN
ENGINEER/LAND PLANNER: SOLUTIONS IPEM, LLC, 303 NORTH BEDFORD STREET, GEORGETOWN, DE 19947, PHONE: 302.277.5215, CONTACT: JASON PALKEWICZ, PE

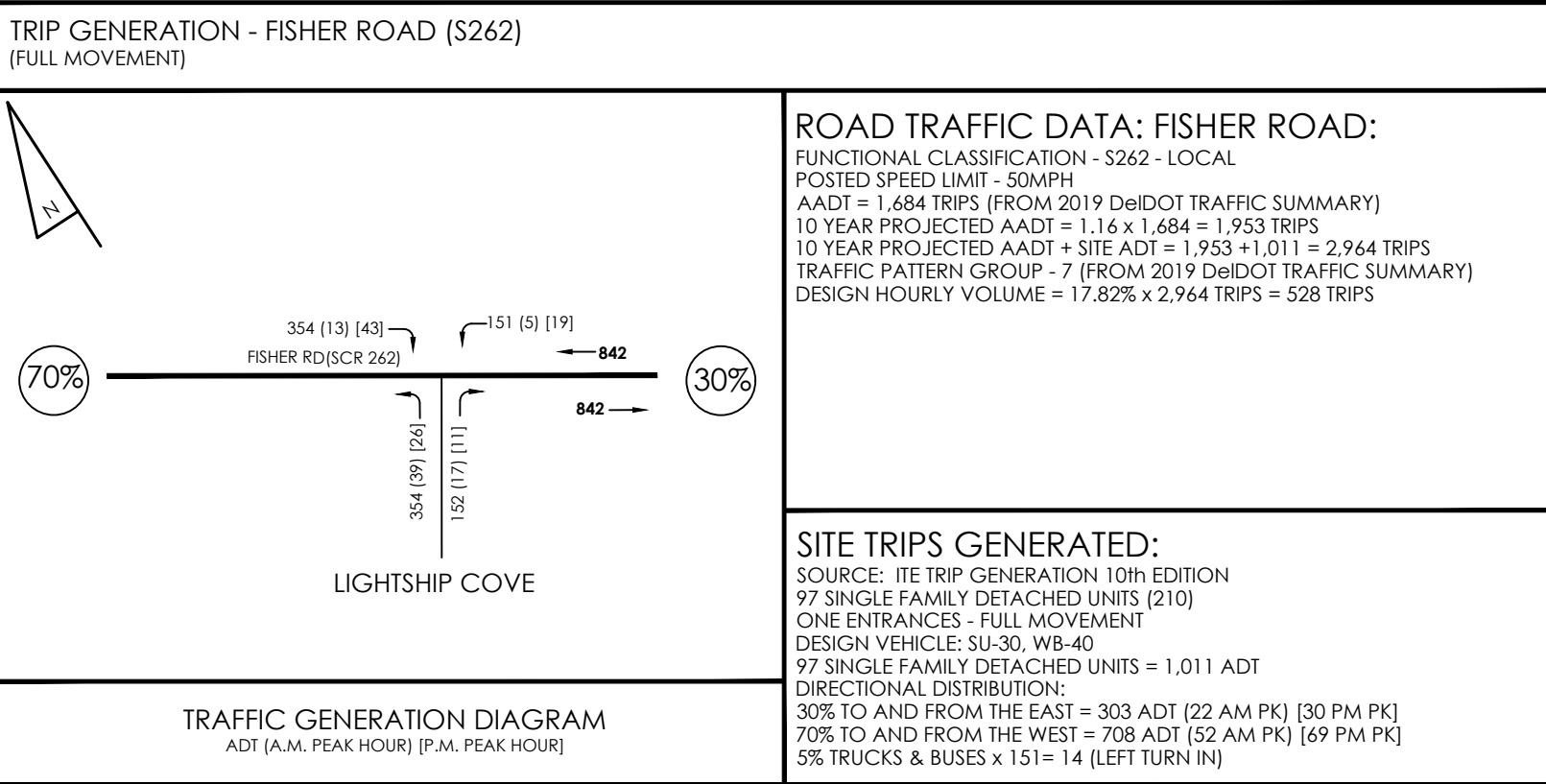
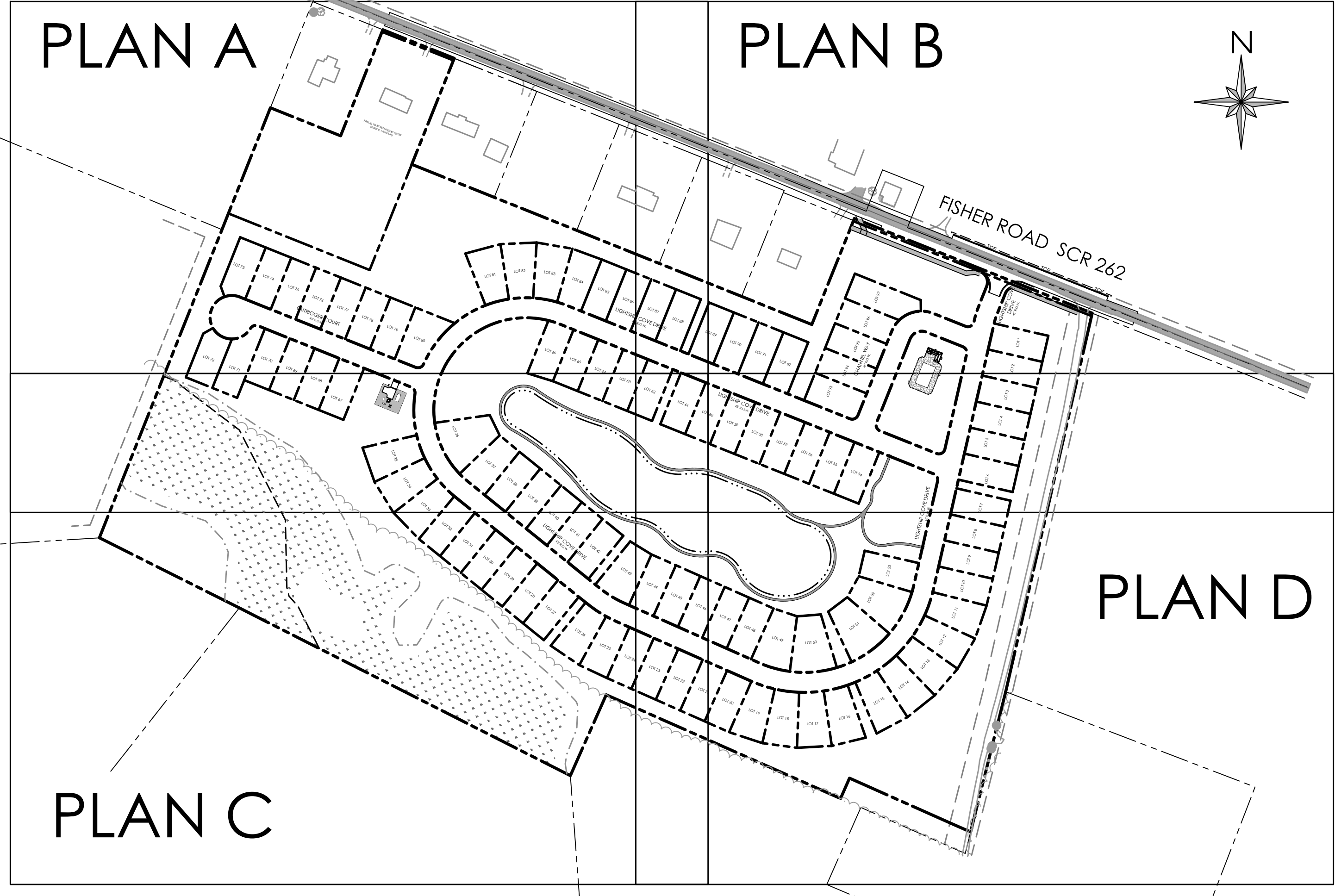
VICINITY MAP
SCALE: 1" = 2,000'



7/22/22

DELDOT PHASING NOTES:

- PHASE 1 IMPROVEMENTS SHALL INCLUDE BUT NOT BE LIMITED TO THE CONSTRUCTION OF A HAMMERHEAD ENTRANCE AND THE ASSOCIATED SIGNAGE, STRIPING, AND ROADSIDE DRAINAGE AS DEPICTED ON PLAN SHEET 15 OF THE DELDOT APPROVED ENTRANCE CONSTRUCTION PLANS. PRIOR TO THE ISSUANCE OF THE 1ST BUILDING PERMIT, PHASE 1 IMPROVEMENTS SHALL BE CONSTRUCTED BY THE DEVELOPER AND BE SUBSTANTIALLY COMPLETED, AS DEFINED BY THE DEPARTMENT'S STANDARD SPECIFICATIONS. PRIOR TO THE ISSUANCE OF THE 5TH BUILDING PERMIT, PHASE 1 IMPROVEMENTS SHALL BE ACCEPTED BY THE DEPARTMENT.
- PHASE 2 IMPROVEMENTS SHALL INCLUDE BUT NOT BE LIMITED TO THE REMAINING FRONTAGE AND ROADWAY IMPROVEMENTS AS DEPICTED ON THE DELDOT APPROVED ENTRANCE CONSTRUCTION PLANS. PHASE 2 IMPROVEMENTS SHALL BE CONSTRUCTED BY THE DEVELOPER AND ACCEPTED BY THE DEPARTMENT PRIOR TO THE ISSUANCE OF 24 BUILDING PERMIT.



ROAD TRAFFIC DATA: FISHER ROAD:
FUNCTIONAL CLASSIFICATION - S262 - LOCAL
POSTED SPEED LIMIT - 50MPH
AADT = 1,684 TRIPS (FROM 2019 DELDOT TRAFFIC SUMMARY)
10 YEAR PROJECTED AADT = 1,16 x 1,684 = 1,933 TRIPS
10 YEAR PROJECTED AADT @ SITE ADT = 1,933 + 1,011 = 2,944 TRIPS
TRAFFIC PATTERN GROUP - 7 (FROM 2019 DELDOT TRAFFIC SUMMARY)
DESIGN HOURLY VOLUME = 17.82% x 2,944 TRIPS = 528 TRIPS

SITE TRIPS GENERATED:
SOURCE: ITE TRIP GENERATION 10th EDITION
97 SINGLE FAMILY DETACHED UNITS (210)
ONE ENTRANCES - FULL MOVEMENT
DESIGN VEHICLE: SU-30, WB-40
97 SINGLE FAMILY DETACHED UNITS = 1,011 ADT
DIRECTIONAL DISTRIBUTION:
30% TO AND FROM THE EAST = 303 ADT (22 AM PK) [30 PM PK]
70% TO AND FROM THE WEST = 708 ADT (52 AM PK) [69 PM PK]
5% TRUCKS & BUSES x 151 = 14 (LEFT TURN IN)

- NOTES:**
- ALL ON-SITE STREETS (INCLUDING PAVEMENT, CURBING AND SIDEWALK) ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER UNTIL DEDICATION TO THE HOMEOWNERS ASSOCIATION. THE PERPETUAL MAINTENANCE OF THE STREETS SHALL BE BY THE RESPECTIVE ORGANIZATION.
 - STORMWATER MANAGEMENT AND STORM DRAINAGE SHALL BE IN ACCORDANCE WITH THE SUSSEX COUNTY CONSERVATION DISTRICT AND SUSSEX COUNTY ENGINEERING REQUIREMENTS. THE SITE IS TO BE TREATED BY MULTIPLE WET PONDS. MAINTENANCE OF THE ON-SITE STORMWATER MANAGEMENT FACILITIES AND STORM DRAINAGE SYSTEM SHALL BE BY THE OWNER UNTIL DEDICATION TO THE HOMEOWNERS ASSOCIATION. THE PERPETUAL MAINTENANCE OF THE ABOVE PROACTIVE SHALL BE BY THE RESPECTIVE ORGANIZATION.
 - ALL OPEN SPACE, INCLUDING BUFFERS, FOREST STRIPS AND AMENITIES SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
 - FOR ANY NEW DEVELOPMENT LOCATED IN WHOLE OR IN PART WITH 50 FEET OF THE BOUNDARY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES, NO IMPROVEMENT REQUIRED AN OCCUPANCY APPROVAL FOR A RESIDENTIAL TYPE USE SHALL BE CONSTRUCTED WITHIN 50 FEET OF THE BOUNDARY OF THE LANDS USED PRIMARILY FOR AGRICULTURAL PURPOSES.
 - POTABLE WATER, SANITARY SEWER, STORM DRAINAGE, STREET PAVEMENT SHALL BE CONSTRUCTED BY DEVELOPER. PHASING OF IMPROVEMENTS SHALL BE PER COUNTY AND CONSERVATION DISTRICT REQUIREMENTS.
 - THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSED ON WHICH NORMAL, AGRICULTURAL PURPOSE AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH USES NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM NORMAL AGRICULTURAL USES AND ACTIVITIES.
 - THE PROPERTY IS NOT LOCATED WITHIN ANY TRANSPORTATION IMPROVEMENT DISTRICTS.
 - ALL SUBDIVISION LOTS SHALL HAVE FIVE FOOT WIDE EASEMENTS ALONG ALL LOT LINES FOR A TOTAL EASEMENT WIDTH OF 10 FEET ALONG A LOT LINE COMMON TO TWO LOTS. EASEMENTS ALONG PERIMETER (RIGHT-OF-WAY AND OPEN SPACE) SHALL BE 10 FEET IN WIDTH.
 - THE PHILADELPHIA DISTRICT CORPS OF ARMY ENGINEERS HAVE JURISDICTION OVER ALL THE NON-TIDAL WETLANDS.
 - AN ENTRANCE COMMUNITY SIGN WILL BE PROVIDED. ANY SIGNAGE WILL REQUIRE A SEPARATE PERMIT.

- EXISTING SITE AREA = 51,9708 AC.±
AREA TO BE DEVELOPED = 48,9390 AC.±
- EXISTING ZONING: AR-1
- PROPOSED USE: AR-1 CLUSTER SINGLE FAMILY LOTS = 97 LOTS
DENSITY = 97 UNITS / 48,9390 = 1.98 UNITS/ACRE
PERMITTED DENSITY = 2.0 UNITS/ACRE
MIN. LOT AREA = 7,500 S.F.
MIN. LOT WIDTH = 60'
MIN. LOT DEPTH = 100'
MAXIMUM BUILDING HEIGHT: 42'
- PROPOSED SETBACKS
FRONT YARD = 25' (15' ON CORNER)
SIDE YARD = 10'
REAR YARD = 10'
- BOUNDARY AND TOPOGRAPHY AS SHOWN HEREON ARE AS PROVIDED BY SOLUTIONS IPEM LLC
- DATUM: DELAWARE STATE PLANE (NAD 83)
- FLOOD ZONE:
PROPERTY IS LOCATED IN ZONE A (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD) AND ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN). PER FIRM MAP NUMBER 10005C03261 & 10005C0330J, MAP REVISED JULY 19, 2019
- WATER SUPPLY: ARTESIAN WATER COMPANY, INC.
- SANITARY SEWER: ARTESIAN WASTEWATER MANAGEMENT, INC.
- SOIL CLASSIFICATIONS
ASa: ASKECKYS LOAMY SAND, 0 TO 2 PERCENT SLOPES
Dna: DOWNER LOAMY SAND, 0 TO 2 PERCENT SLOPES
Dnb: DOWNER LOAMY SAND, 2 TO 5 PERCENT SLOPES
Za: LONGMARSH AND INDIANTOWN SOILS, FREQUENTLY FLOODED
- SITE IS LOCATED IN THE FAIR AND GOOD RECHARGE AREAS.
- SITE IS NOT LOCATED IN THE WELL HEAD PROTECTION AREA.
- ACCORDING TO 2020 STATE STRATEGIES FOR SPENDING MAP, THE SITE IS LOCATED WITHIN INVESTMENT LEVEL 4.
- THE SITE IS LOCATED IN A LOW DENSITY AREA PER THE FUTURE LAND USE MAP PER SUSSEX COUNTY'S 2019 COMPREHENSIVE PLAN.
- ALL AMENITIES SHALL BE SUBJECT TO A SEPARATE AMENITIES PLAN

REVISIONS

NO.	DATE	DESCRIPTION
1	5/18/22	REVISIONS PER AGENCY REVIEW COMMENTS DATED 5/13/22
2	7/13/22	REVISIONS PER AGENCY REVIEW COMMENTS DATED 5/17/22

DEVELOPER'S CERTIFICATION

I HEREBY CERTIFY THAT THE PLANS SHOWN HEREON WERE MADE AT MY DIRECTION AND I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. I FURTHERMORE UNDERSTAND AND ACKNOWLEDGE THAT IT IS THE RIGHT OF THE SUSSEX CONSERVATION DISTRICT AND/OR ITS DELEGATED INSPECTION AGENCIES TO CONDUCT ON-SITE INSPECTIONS.

NAME: TIM GREEN DATE

OWNER'S CERTIFICATION

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION AND I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. I FURTHERMORE UNDERSTAND AND ACKNOWLEDGE THAT IT IS THE RIGHT OF THE SUSSEX CONSERVATION DISTRICT AND/OR ITS DELEGATED INSPECTION AGENCIES TO CONDUCT ON-SITE INSPECTIONS.

NAME: EMILY C. MCHUGH DATE

SURVEYOR'S CERTIFICATION

THIS PLAT AND SURVEY WERE PERFORMED, UNDER MY SUPERVISION, TO THE LOCAL STANDARD OF CARE, AND SUBSTANTIALLY MEET THE MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS PROMULGATED BY THE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS FOR A SUBURBAN CLASS SURVEY.

SOLUTIONS INTEGRATED PLANNING,
ENGINEERS & MANAGMENT, LLC
by STEVEN W. FULLER, AGENT

Steven W. Fuller 5/4/2022
DATE

COVER SHEET for
LIGHTSHIP COVE
SUBDIVISION # 2021-11
LEWES & REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE
SCR 262

APPROVED BY:

SECRETARY OF PLANNING COMMISSION DATE

PRESIDENT OF COUNTY COUNCIL DATE

WETLAND STATEMENT

I, Edward M. Launoy, PWS, STATES THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED UPON THIS PLAN HAVE BEEN DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, ATLANTIC GULF COAST REGIONAL SUPPLEMENT, REGULATIONS AND SUPPLEMENTAL GUIDANCE (33 CFR 328.3(a)(8), Waters of the U.S., Definition/CECW-OR, 10-7-1991, Questions and Answers on the 1987 COE Manual/CECW-OR, 9-26-1990, RGL 90-7/CECW-OR, 3-6-1992, Clarification and Interpretation of the 1987 Manual). THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES.

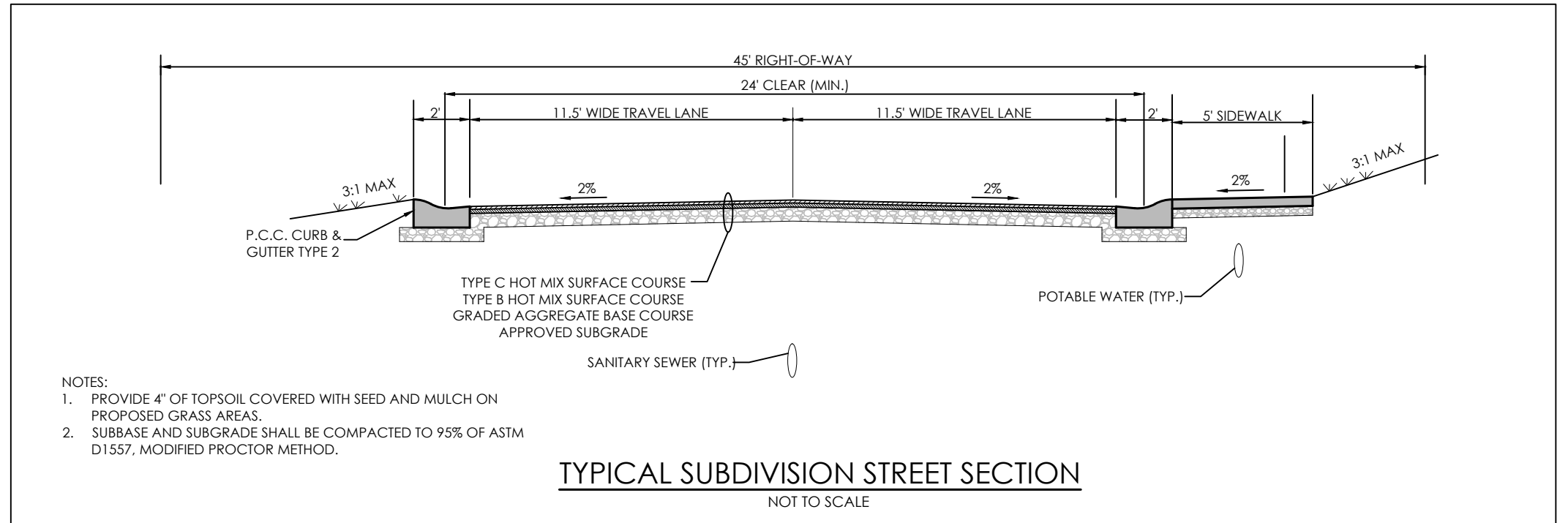
EDWARD M. LAUNOY, PWS No. 875 DATE
SOCIETY OF WETLANDS SCIENTISTS
CORPS OF ENGINEERS,
CERTIFIED WETLAND DELINEATOR WDCP93MD0510036J)

- AREAS:**
- GROSS ACREAGE = 51.67 AC.±
AREA TO BE DEVELOPED = 48.9390 AC.±
AREA TO BE REMOVED = 12.7310 AC.±
- LOT AREA = 17.561 AC.±
R.O.W. AREA = 4.679 AC.±
DELDOT R.O.W. AREA = 0.106 AC.±
OPEN SPACE AREA = 26.593 AC.±
26,593 / 48,939 = 54.2%
- OPEN SPACE A = 19.019 AC.±
OPEN SPACE B = 6.748 AC.±
AMENITY SPACE = 0.826 AC.±
- EXISTING WOODLANDS = 8.19 AC.±
WOODLANDS TO REMAIN = 8.09 AC.±
98.8% OF EXISTING WOODLANDS TO REMAIN
WOODLANDS TO BE REMOVED = 0.10 AC.±
- EXISTING NON-TIDAL WETLANDS = 4.86 AC.±

- SHEET INDEX**
- COVER SHEET
 - NOTES
 - RECORD PLAT A
 - RECORD PLAT B
 - RECORD PLAT C
 - RECORD PLAT D
 - RECORD DELDOT EASEMENT
 - DELDOT SIGHT DISTANCE TRIANGLES & EASEMENTS
 - LANDSCAPE NOTES AND DETAILS

SUSSEX CONSERVATION DISTRICT APPROVAL:

_____ DATE



TYPICAL SUBDIVISION STREET SECTION
NOT TO SCALE

NOTES:
1. PROVIDE 4" OF TOPSOIL COVERED WITH SEED AND MULCH ON PROPOSED GRASS AREAS.
2. SUBBASE AND SUBGRADE SHALL BE COMPACTED TO 95% OF ASTM D1557, MODIFIED PROCTOR METHOD.

Date:	8/20/21	Drawn By:	HFB	Approved By:	JIP
Job Number:	2004P	Checked By:	HFB		
Scale:	AS SHOWN				
Drawn By:	HFB				
Checked By:	HFB				
Approved By:	JIP				

Sheet No.: **1**
File Name: Cover.dwg

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountytde.gov
302-855-7878 T
302-854-5079 F
JAMIE WHITEHOUSE, AICP, MRTPI
DIRECTOR

December 17, 2021

Mr. Jason Palkevicz, P.E.
Solutions IPFM, LLC
303 North Bedford Street
Georgetown, DE 19947

By email to: jpalkevicz@solutionsipem.com

Re: Notice of Decision letter for the Preliminary Subdivision Plan for Lightship Cove (2021-11) (F.K.A. Fisher Road) for the creation of cluster subdivision to consist of 97 single family lots to be located on the south side of Fisher Road (S.C.R. 262). Tax Parcel: 334-10.00-69.00

Dear Mr. Palkevicz,

At their meeting of Thursday, December 9, 2021, the Planning & Zoning Commission approved the Preliminary Subdivision Plan for Lightship Cove (2021-11) (F.K.A. Fisher Road) for the creation of a cluster subdivision to consist of ninety-seven (97) single family lots to be located on the south side of Fisher Road (S.C.R. 262). The parcel is zoned Agricultural Residential (AR-1) Zoning District. The parcel also lies within the Low Density Area per Sussex County's 2019 Comprehensive Plan Update.

The Preliminary Subdivision Plan is valid for three (3) years from the date of Planning Commission decision. A Final Subdivision Plan shall be approved within three (3) years of the date of approval of the Preliminary Plan, or the action of the Planning Commission shall be deemed canceled. Unless an extension is granted, approval shall be rendered null and void if substantial construction is not commenced within five (5) years of the date of recordation of the final plat.

As part of their motion, the Planning Commission acted to approve the development subject to the following conditions (which shall be clearly annotated on the Revised Preliminary and Final Subdivision Plans):

- A. There shall be no more than 97 lots within the subdivision.
B. The Final Site Plan shall confirm that at least 54% of the site remains as open space and that 7.5 acres of existing woodlands are preserved as "Non-Disturbance Areas."
C. The developer shall establish a homeowner's association responsible for the maintenance of streets, roads, buffers, stormwater management facilities and other common areas.
D. The stormwater management system shall meet or exceed the requirements of the State and County. The Final Site Plan shall contain the approval of the Sussex Conservation District for the design and location of all stormwater management areas and erosion and sedimentation control facilities.
E. There shall be a vegetated or forested buffer that is at least 30 feet wide installed along the perimeter of this subdivision. This buffer shall utilize existing forest or similar



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE 19947

DELDOT GENERAL NOTES: (REV. 03/21/2019)

- 1. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
2. NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
3. SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
5. PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER. THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 §131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
7. ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION STREET.
8. DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
9. TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
10. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
11. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.

Table with 3 columns: PARCEL #, RW, PE, OR ICE, PROPERTY OWNER. Rows include parcels 334-10.00-69.00 with 15' PERMANENT EASEMENT and 5' DEDICATED ROW.

OFFSITE ACQUISITION NOTE: THE TRANSPORTATION IMPROVEMENTS ASSOCIATED WITH THIS DEVELOPMENT NECESSITATE THE ACQUISITION OF RIGHT-OF-WAY, PERMANENT EASEMENTS, AND/OR TEMPORARY EASEMENTS HEREIN AFTER "PROPERTY INTERESTS" BEYOND AND EXCLUSIVE OF THE ENTRANCE FACILITY. THE DEVELOPER IS RESPONSIBLE TO ACQUIRE THE PROPERTY INTERESTS TO COMPLETE THE ROAD INFRASTRUCTURE WORK AS SHOWN ON THESE PLANS.

THE LOCATION AND DESIGNS FOR UTILITIES ARE SHOWN ON THESE PLANS FOR INFORMATIONAL PURPOSES ONLY. FINAL DESIGN OF THE UTILITIES AND ANY ASSOCIATED EASEMENTS SHALL BE PROVIDED ON THE UTILITY RELOCATION PLANS WHICH IS SUBJECT TO DELDOT UTILITY PERMIT REVIEW.

December 17, 2021
Notice of Decision Letter
Lightship Cove (2021-11)
Preliminary Subdivision Plan
Page 2

- vegetation if it exists in the buffer area. Where trees currently exist in the buffer area, stump removal or construction activities that disturb the existing grade of an area within the buffer shall be prohibited. All silt fencing shall be located along the interior limit of the buffer area (the edge of the buffer nearest the interior development) and the Final Site Plan shall identify the "Limit of Disturbance" to prevent disturbance of the buffer area.
F. There shall be a buffer that is at least 50 feet wide from all tidal waters, tidal tributary streams, tidal wetlands, perennial rivers and nontidal streams including Bundick's Branch. There shall also be a buffer that is at least 25 feet wide from all federal wetlands. There shall be minimum disturbance of trees and other vegetation within these buffer areas. Required silt fencing shall be installed upland of these buffer areas (using the edge of the buffer nearest the interior development) to avoid disturbance. Construction activities within the buffer area shall be minimum. Any disturbance in the buffer area shall be indicated on the Final Site Plan and the "Limits of Disturbance" shall be indicated on the Final Site Plan.
G. The development shall comply with all DelDOT entrance and roadway improvement requirements.
H. As proffered by the Applicant, sidewalks shall be installed on at least one side of all internal streets with a connection to the DelDOT multi-modal path. A system of fully shielded and downward-screened streetlighting shall also be provided.
I. Amenities including a pool and poolhouse shall be constructed and open to use by residents of this development on or before the issuance of the 60" residential building permit. The Final Site Plan shall contain details as to the size and location of these amenities.
J. There shall be a pathway installed around the central pond using crushed stones or similar materials. The location and type of materials used to construct this path shall be shown on the Final Site Plan.
K. The subdivision shall be served by a publicly regulated central water system providing drinking water and fire protection.
L. Street design shall meet or exceed Sussex County standards.
M. Road naming and addressing shall be subject to the review and approval of the Sussex County Mapping and Addressing Department.
N. Construction, site work and deliveries shall only occur on the site between the hours of 8:00AM through 5:00PM, Monday through Friday, and 8:00AM through 2:00PM on Saturdays. No Sunday hours are permitted. A 24-inch by 36-inch "NOTICE" sign confirming these hours in English and Spanish shall be prominently displayed at the site entrance during construction.
O. The Applicant shall coordinate with the local school district regarding the location of a school bus stop within the subdivision. If required by the school district, the location of the bus stop area shall be shown on the Final Site Plan.
P. The Final Site Plan and Recorded Restrictive Covenants shall state that agricultural activities exist nearby, and they shall include the Agricultural Use Protection Notice and a similar notice advising nearby property owners of hunting activity occurring nearby.
Q. The Final Site Plan shall include a Landscape Plan depicting all landscaping to be provided or preserved in all of the buffer areas. The Landscape Plan shall also clearly show all forested areas that will be preserved. The Landscape Plan shall also identify all "Limits of Disturbance" within the site.

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountytde.gov
302-855-7878 T
302-854-5079 F
JAMIE WHITEHOUSE, AICP, MRTPI
DIRECTOR OF PLANNING & ZONING

June 30, 2022

Mr. Jason Palkevicz, P.E., LEED AP
Chief Executive Officer
Solutions IPFM
303 North Bedford Street
Georgetown, DE 19947

By email to: jpalkevicz@solutionsipem.com

RE: Notice of Decision Letter for Request to Amend Condition "B" of the Conditions of Approval for the Lightship Cove (F.K.A. Fisher Road) (2021-11) Preliminary Subdivision Plan for the subdivision of a 48.93 acre +/- parcel of land for the creation of ninety-seven (97) single-family lots as a cluster subdivision and is located on the south side of Fisher Road (S.C.R. 262). Tax Parcel: 334-10.00-69.00

Dear Mr. Palkevicz,

At their meeting of Thursday, June 23rd, 2022 the Planning & Zoning Commission approved the Request to Amend Condition "B" of the Conditions of Approval for the Lightship Cove (F.K.A. Fisher Road) (2021-11) Preliminary Subdivision Plan. This is a subdivision of a 48.93 acre +/- parcel of land for the creation of ninety-seven (97) single-family lots as a cluster subdivision to be located on the south side of Fisher Road (S.C.R. 262) approximately 0.25 miles west of Hopkins Road (S.C.R. 286). The property is zoned Agricultural Residential (AR-1) District and is located within the Low Density Area per the Future Land Use Map as provided in the 2018 Sussex County Comprehensive Plan update. The proposed project is not located within any established Transportation Improvement Districts (TID's).

Specifically, the Applicant requested that Condition B, which states, "The Final Site Plan shall confirm that at least 54% of the site remains as open space and that 7.5 acres of existing woodlands are preserved as "Non-Disturbance Areas" be amended to, "The Final Site Plan shall confirm that 34%, more or less, of the site remains as open space, with 7.7 acres, more or less, of existing woodlands, subject to final engineering."

Please submit at least two (2) full-sized (24" x 36") paper copies of an updated Revised Preliminary Subdivision Plan which address the matters outlined above for review by staff. Staff will review the proposed plans for compliance with the provisions of the Sussex County Code (specifically Chapter 99, the Subdivision Ordinance) and will submit any further staff review comments as may be necessary.



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE 19947

December 17, 2021
Notice of Decision Letter
Lightship Cove (2021-11)
Preliminary Subdivision Plan
Page 3

- R. The Final Site Plan shall include a Grading Plan for the site. No building permit shall be issued for individual lots until an individual lot grading plan had been supplied to and approved by Sussex County. No certificate of occupancy shall be issued until a grading certificate is submitted to the Building Code Department demonstrating general conformity with the individual site grading plan.
S. A revised Preliminary Site Plan either depicting or noting these conditions must be submitted to the Office of Planning and Zoning.
T. The Final Site Plan shall be subject to the review and approval of the Planning and Zoning Commission.

The Final Subdivision Plan must comply with the County's Subdivision Code, including submission of agency approval letters to the Planning and Zoning Office. The agency approvals required for Final Subdivision Plan approval include but are not limited to: the Sussex Conservation District, Office of the State Fire Marshal, Sussex County Engineering Department, Sussex County Mapping and Addressing Department, Office of Drinking Water (Public Health), the Delaware Department of Transportation (DelDOT) and the local school district with regard to any proposed bus stop provisions. The Department will also request copies of any HOA documents or restrictive covenants prior to final approvals being provided.

Once all agency approvals have been obtained, please submit a minimum of one (1) full-size (24 "x 36") and one (1) electronic PDF copy of a Final Subdivision Plan to the Planning and Zoning Office for consideration on the next available agenda for Planning Commission. It is recommended that two (2) copies of a check print are first submitted to staff for review.

Please note that a \$10.00 per lot fee will be required to be paid prior to the approval of any Final Subdivision Plan. For 97 lots, the fee is \$970.00.

Please feel free to contact me during business hours with any question from 8:30 AM - 4:30 PM, Monday through Friday, at 302-855-7878.

Sincerely,

Lauren DeVore

Ms. Lauren DeVore,
Planner III

CC: Andy Wright, Chief Code Official - Building Code
John Ashman, Director of Utility Planning & Design - Engineering - Utility Planning
Susan Isaacs, Engineering Project Coordinator - Engineering - Public Works
Ms. Mackenzie Peet, Esquire - Baird, Mandalas, Brockstedt
Lightship Cove (2021-11) (F.K.A. Fisher Road) Subdivision File

June 30, 2022
Lightship Cove (F.K.A. Fisher Road) (2021-11)
Preliminary Subdivision Plan
Notice of Decision Letter - Request to Amend Conditions of Approval
Page 2

Once all further review comments have been addressed and all required agency approvals have been submitted, staff will take the plans back to Commission for consideration as an item of "Other Business" for review and approval by the Sussex County Planning and Zoning Commission.

As a general reminder, the agency approvals required for this project consist of the following: the Delaware Department of Transportation (DelDOT), Sussex County Geographic Information Office (formerly known as the Sussex County Department of Mapping and Addressing), the Delaware Department of Public Health (Office of Drinking Water), Sussex County Engineering Department, Office of the State Fire Marshal, Sussex Conservation District and the local school district regarding any proposed bus stop provisions.

Please also note that copies of all draft or proposed HOA documents will be requested for the file prior to final approvals being provided for the subdivision. Additionally, a \$10.00 per lot fee is required to be paid prior to the approval of any Final Subdivision Plan. For 97 lots, the total is \$970.00.

Please feel free to contact me during business hours with any question from 8:30 AM - 4:30 PM, Monday through Friday, at 302-855-7878.

Sincerely,

Lauren DeVore

Ms. Lauren DeVore
Planner III

CC: Ms. Mackenzie M. Peet, Esquire - Baird, Mandalas, Brockstedt, LLC.
Mr. Timothy Green, Director of Land Development - Schell Brothers
Mr. Jim Eriksen, Principal of Engineering - Solutions IPFM
Mr. Troy Dickerson, P.E., Assistant V.P. of Engineering - Delaware Electric Co-op
Mr. Andy Wright, Chief Code Official - Building Code
Mr. John Ashman, Director of Utility Planning & Design - Engineering - Utility Planning
Ms. Susan Isaacs, Engineering Project Coordinator - Engineering - Public Works
Lightship Cove (F.K.A. Fisher Road) (2021-11) File



303 North Bedford Street
Georgetown, DE 19947
T. 302-297-9218
3033 Manitt Mill Road
Solisbury, MD 21084
T. 410.572.8833
www.solutionsipem.com Copyright © 2021

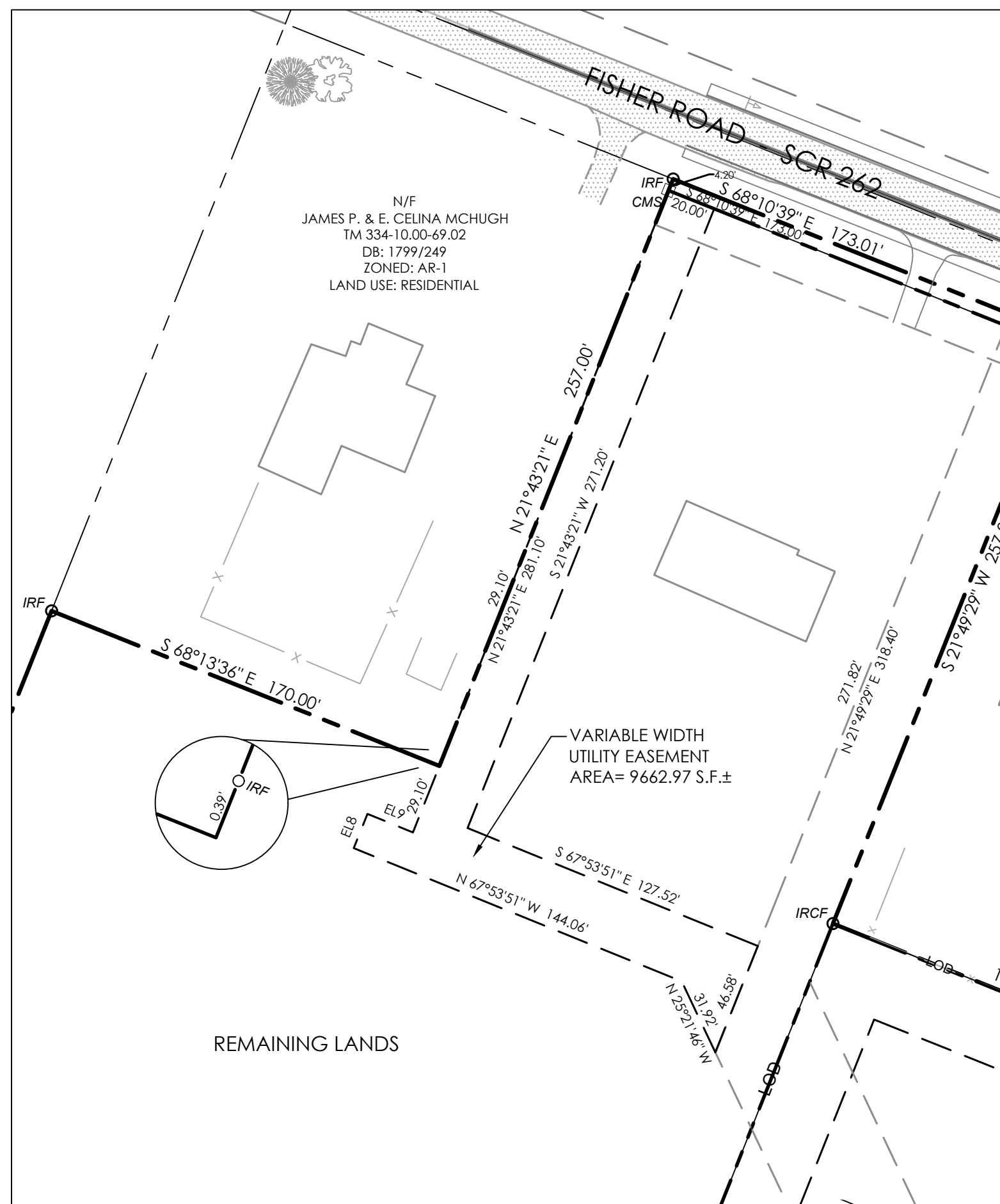


7/22/22

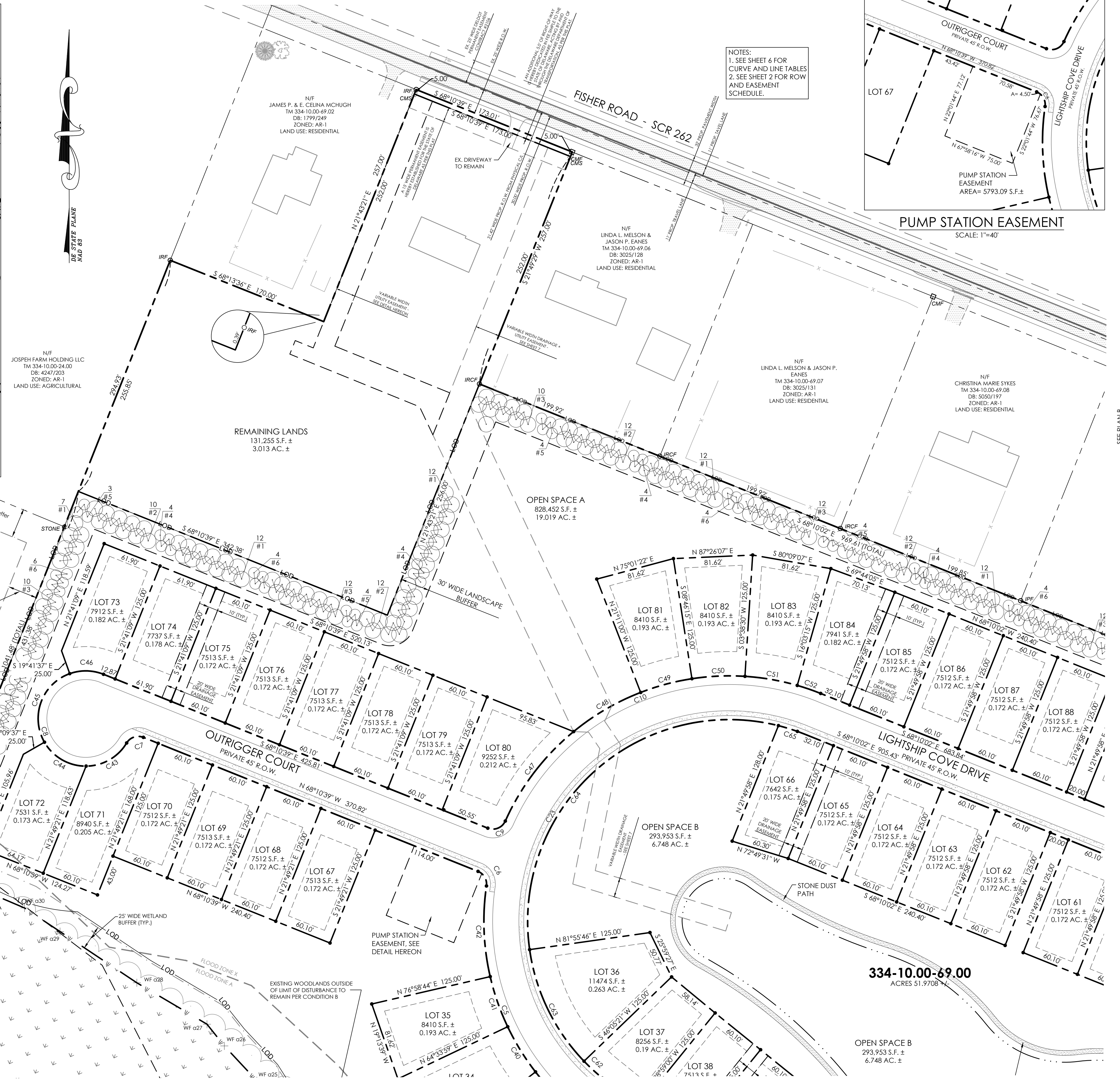
Table with 3 columns: NO., DATE, DESCRIPTION. Rows include REVISIONS PER AGENCY REVIEW COMMENTS DATED 5/13/22 and 7/13/22.

NOTES for LIGHTSHIP COVE SUBDIVISION # 2021-11 LEWES & REHOBOTH HUNDRED SUSSEX COUNTY, DELAWARE SCR 262

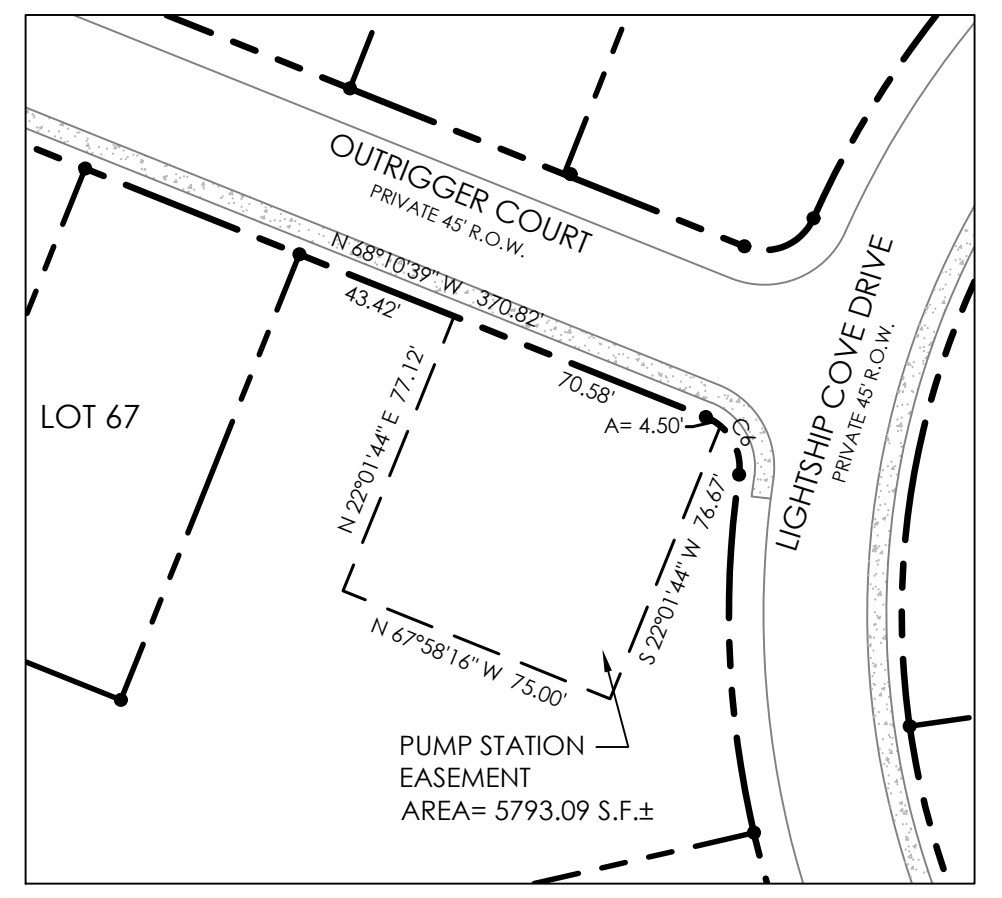
Table with 2 columns: Date, Job Number, Scale, Drawn By, Designed By, Approved By. Values include 8/20/21, 2004P, NONE, HHB, HHB, JP.



VARIABLE WIDTH UTILITY EASEMENT
SCALE: 1"=40'



SEE PLAN C



PUMP STATION EASEMENT
SCALE: 1"=40'

solutions
303 North Bedford Street
Georgetown, DE 19427
T. 302-297-9215
3033 Manitt Mill Road
Salisbury, MD 21804
T. 410-572-8833
www.solutionsperm.com Copyright © 2021

REGISTERED PROFESSIONAL LAND SURVEYOR
No. 823
5/14/2022
7/22/22

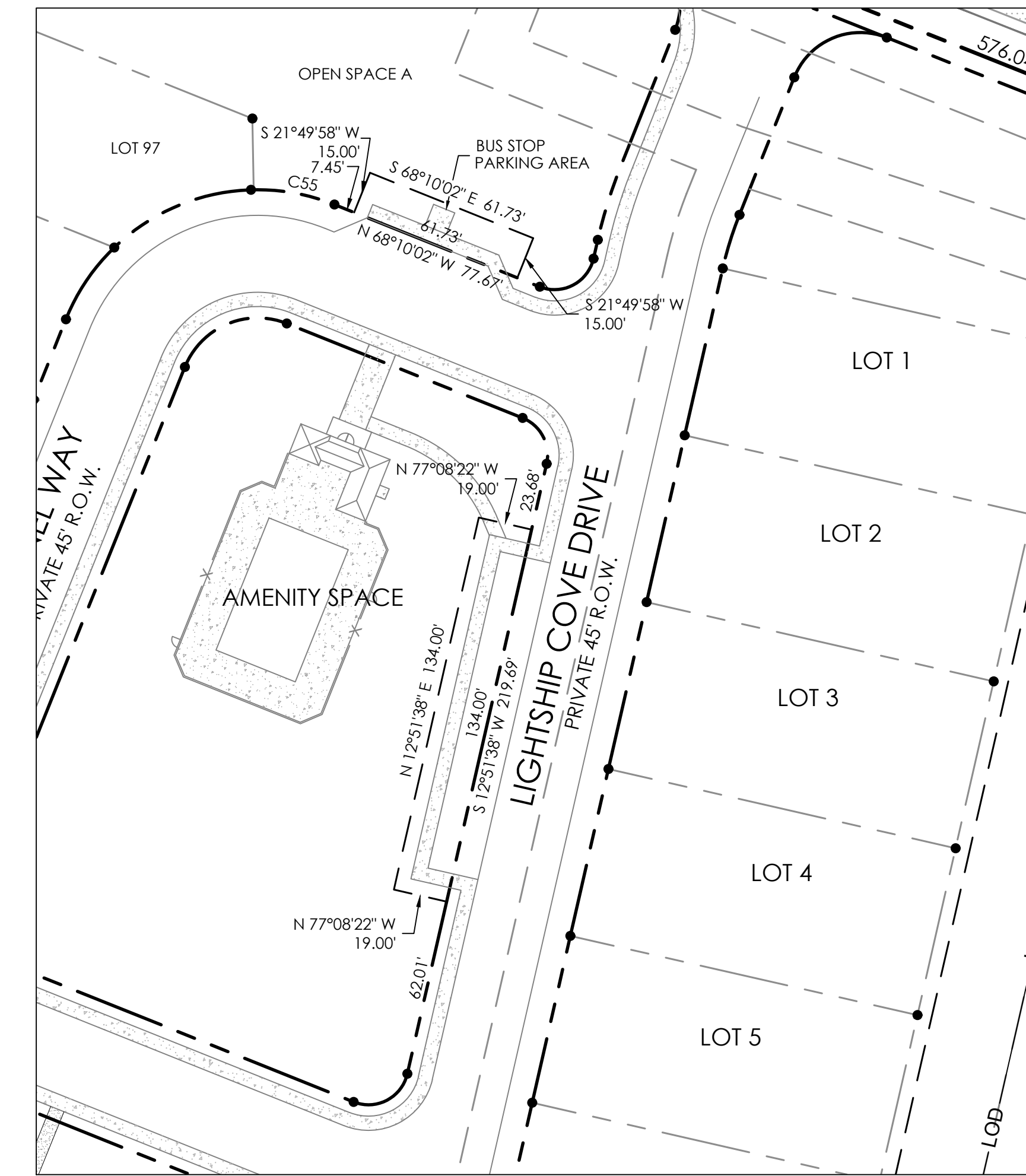
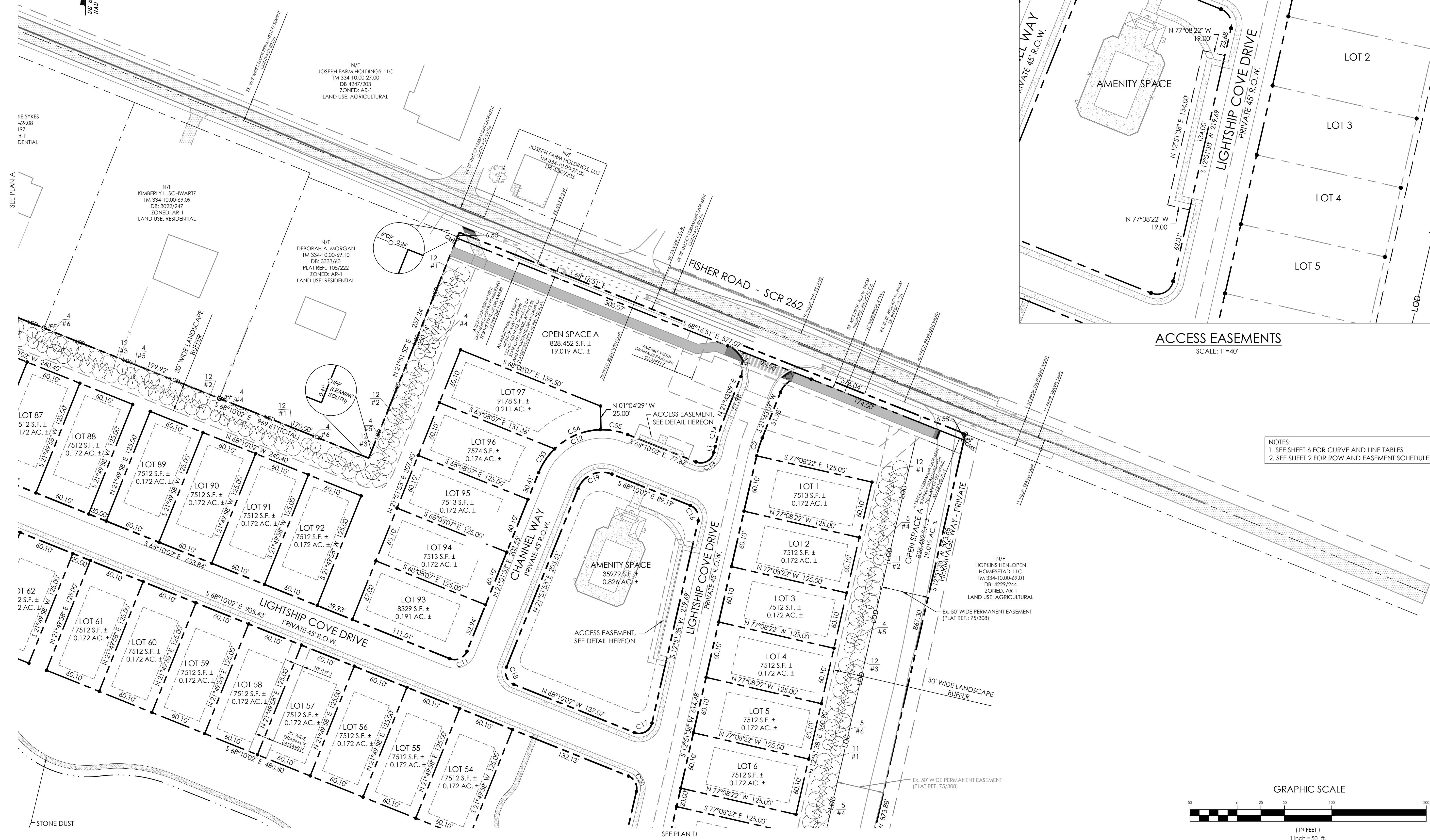
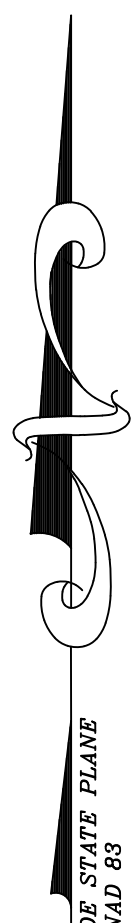
NO.	DATE	DESCRIPTION
1	5/18/22	REVISIONS PER AGENCY REVIEW COMMENTS DATED 5/13/22
2	7/13/22	REVISIONS PER AGENCY REVIEW COMMENTS DATED 5/19/22

RECORD PLAN A
for
LIGHTSHIP COVE
SUBDIVISION # 2021-11
LEWES & REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE
SCR 262

Date: 8/20/21
Job Number: 20049
Scale: AS SHOWN
Drawn By: JML
Designed By: JPR
Approved By: JRE

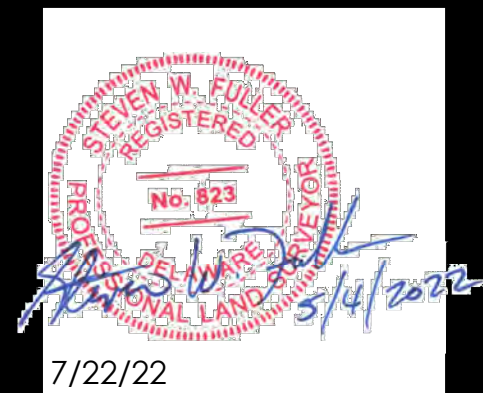
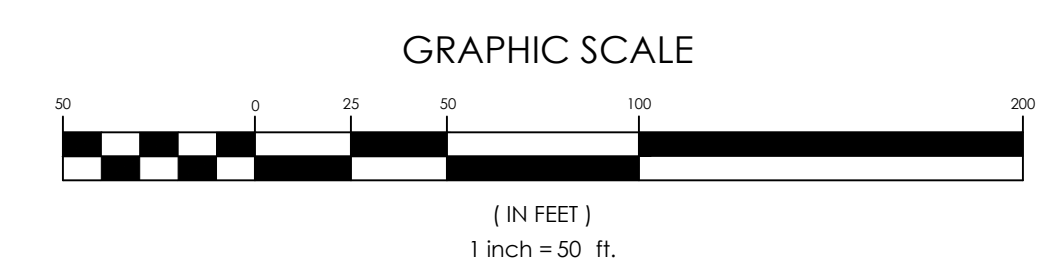
Sheet No.: **3**

File Name: 20049-record-plans



ACCESS EASEMENTS
SCALE: 1"=40'

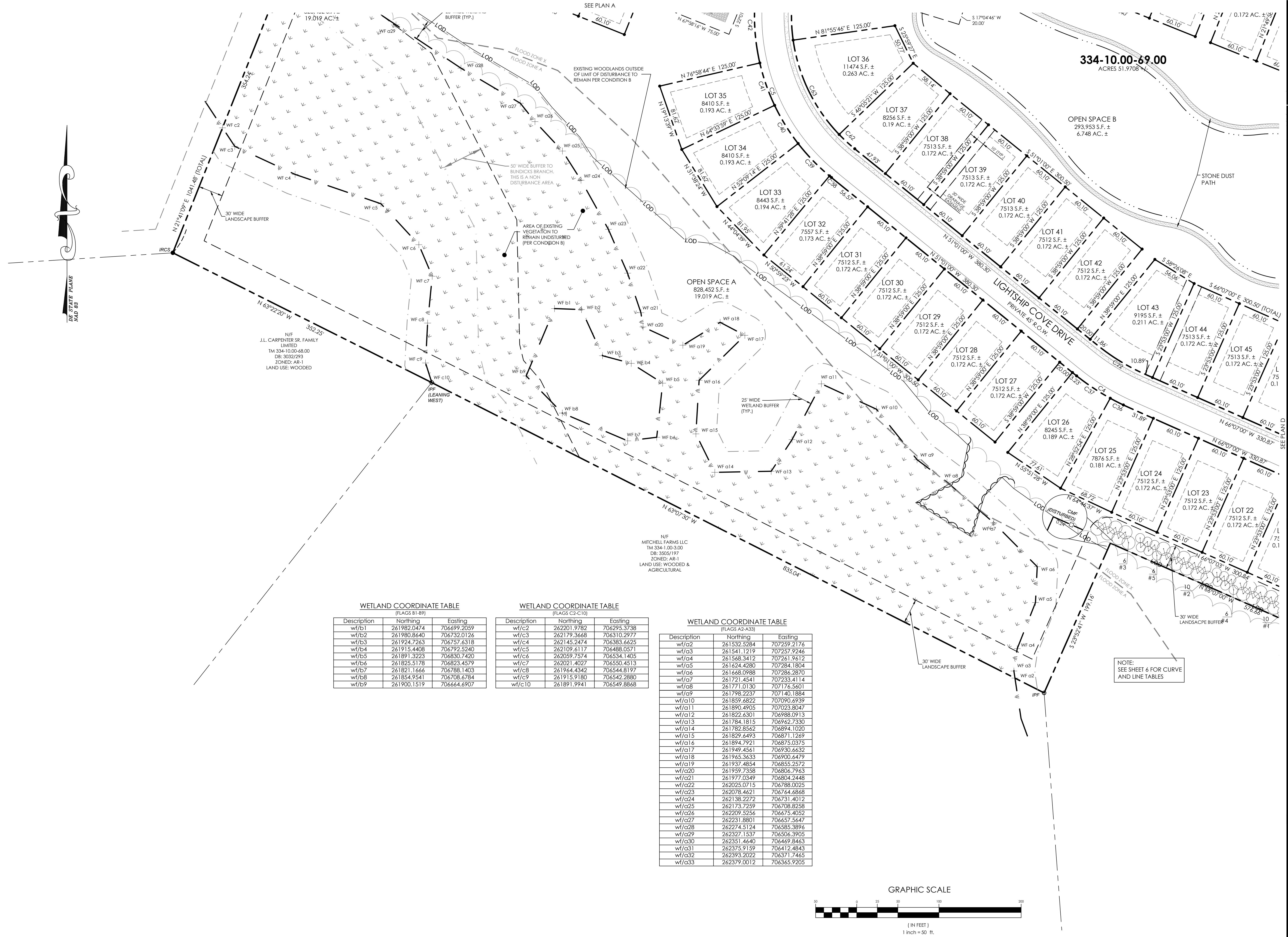
NOTES:
1. SEE SHEET 6 FOR CURVE AND LINE TABLES
2. SEE SHEET 2 FOR ROW AND EASEMENT SCHEDULE



NO.	DATE	DESCRIPTION
1	5/18/22	REVISIONS PER AGENCY REVIEW COMMENTS DATED 5/13/22
2	7/13/22	REVISIONS PER AGENCY REVIEW COMMENTS DATED 5/19/22

RECORD PLAN B
for
LIGHTSHIP COVE
SUBDIVISION # 2021-11
LEWES & REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE
SCR 262

Date:	8/20/21	Job Number:	20049	Scale:	AS SHOWN	Drawn By:	ML	Designed By:	JPR	Approved By:	JRE
-------	---------	-------------	-------	--------	----------	-----------	----	--------------	-----	--------------	-----



WETLAND COORDINATE TABLE
(FLAGS B1-B9)

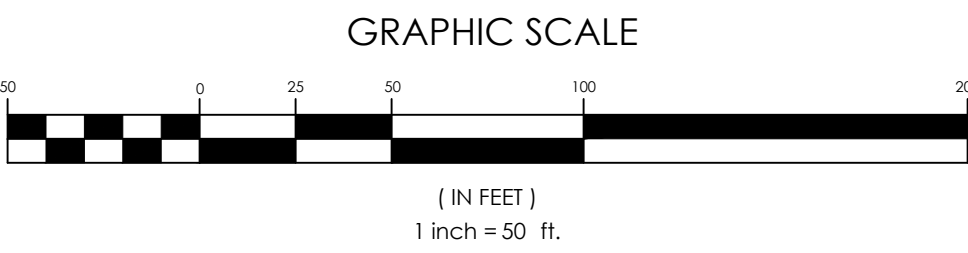
Description	Northing	Easting
wf/b1	261982.0474	706699.2059
wf/b2	261980.8640	706732.0126
wf/b3	261924.7263	706757.6318
wf/b4	261915.4408	706792.5240
wf/b5	261891.3223	706830.7420
wf/b6	261825.5178	706823.4579
wf/b7	261821.1666	706788.1403
wf/b8	261854.9341	706708.6784
wf/b9	261900.1519	706664.6907

WETLAND COORDINATE TABLE
(FLAGS C2-C10)

Description	Northing	Easting
wf/c2	262201.9782	706295.3738
wf/c3	262179.3668	706310.2977
wf/c4	262145.2474	706383.6625
wf/c5	262109.6117	706488.0571
wf/c6	262059.7574	706534.1405
wf/c7	262021.4027	706550.4513
wf/c8	261964.4342	706544.8197
wf/c9	261915.9180	706542.2880
wf/c10	261891.9941	706549.8868

WETLAND COORDINATE TABLE
(FLAGS A2-A33)

Description	Northing	Easting
wf/a2	261532.5284	707259.2176
wf/a3	261541.1219	707257.9246
wf/a4	261568.3412	707261.9612
wf/a5	261624.4280	707284.1804
wf/a6	261668.0988	707286.2870
wf/a7	261721.4541	707233.4114
wf/a8	261771.0130	707176.5601
wf/a9	261798.2237	707140.1884
wf/a10	261859.6822	707090.6939
wf/a11	261890.4905	707023.8047
wf/a12	261822.6301	706988.0913
wf/a13	261784.1815	706962.7330
wf/a14	261782.8562	706894.1020
wf/a15	261829.6493	706871.1269
wf/a16	261894.7921	706875.0375
wf/a17	261949.4561	706930.6632
wf/a18	261965.3633	706900.6479
wf/a19	261937.4854	706855.2572
wf/a20	261959.7358	706806.7963
wf/a21	261977.0349	706804.2448
wf/a22	262025.0715	706788.0025
wf/a23	262078.4621	706744.6868
wf/a24	262138.2272	706731.4012
wf/a25	262173.7259	706708.8258
wf/a26	262209.5256	706675.4052
wf/a27	262231.8801	706657.5647
wf/a28	262274.5124	706585.3896
wf/a29	262327.1537	706506.3905
wf/a30	262351.4640	706469.8463
wf/a31	262375.9159	706412.4843
wf/a32	262393.2022	706371.7465
wf/a33	262379.0012	706365.9205



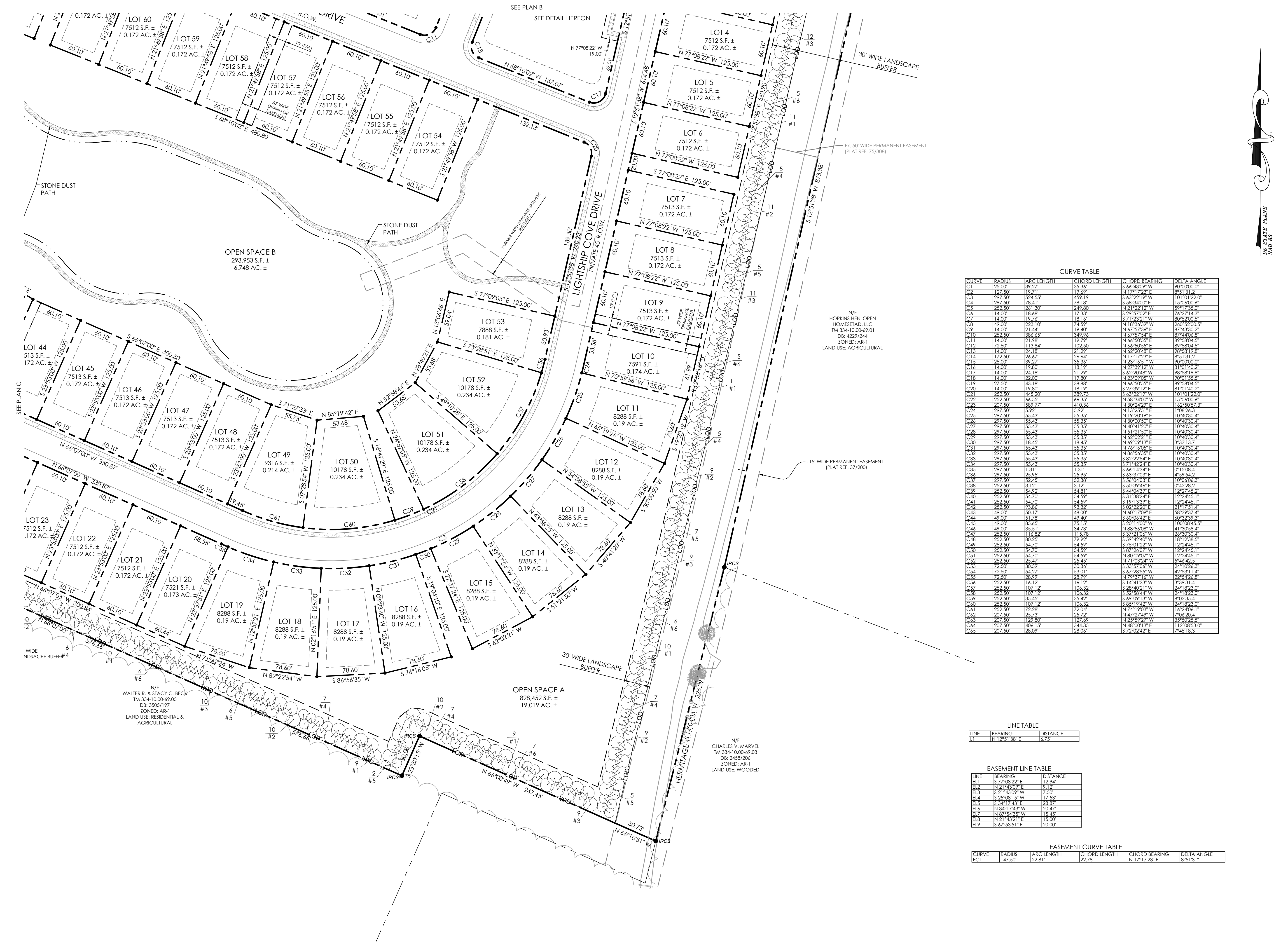
solutions
 303 North Bedford Street
 Georgetown, DE 19427
 T. 302.297.9215
 3003 Manthill Mill Road
 Salisbury, MD 21804
 T. 410.572.8833
 www.solutionsperm.com Copyright © 2021



NO.	DATE	DESCRIPTION
1	5/18/22	REVISIONS PER AGENCY REVIEW COMMENTS DATED 5/13/22
2	7/13/22	REVISIONS PER AGENCY REVIEW COMMENTS DATED 5/19/22

RECORD PLAN C
 for
LIGHTSHIP COVE
 SUBDIVISION # 2021-11
 LEWES & REHOBOTH HUNDRED
 SUSSEX COUNTY, DELAWARE
 SCR 262

Date:	8/20/21	Drawn By:	ML	Approved By:	JRE
Job Number:	20049	Designed By:	JPR		
Scale:	AS SHOWN				



SEE PLAN B
SEE DETAIL HEREON

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	DELTA ANGLE
C1	25.00	39.27	35.34	S 44°43'09" W 90°00'00"
C2	172.50	19.71	19.49	N 1°17'22" E 85°31'27"
C3	297.50	524.55	459.19	S 58°21'58" W 101°01'22.0"
C4	297.50	78.41	78.18	S 88°54'00" E 115°06'00.0"
C5	252.50	281.30	249.89	N 1°22'22" W 59°17'35.0"
C6	14.00	18.68	17.33	S 62°57'02" E 72°27'14.3"
C7	14.00	19.75	18.16	S 71°23'21" W 80°52'00.5"
C8	43.00	223.10	74.59	N 1°55'59" W 22°07'00.5"
C9	14.00	21.44	19.40	N 69°59'34" E 89°23'20.9"
C10	252.50	386.65	349.96	N 2°45'74" E 87°44'04.8"
C11	14.00	21.98	19.79	N 66°50'55" E 89°58'04.5"
C12	22.50	113.54	102.59	N 66°50'55" E 89°58'04.5"
C13	14.00	24.18	21.29	N 62°20'48" E 98°58'19.8"
C14	172.50	78.67	76.64	N 1°17'22" E 85°31'27"
C15	25.00	39.27	35.32	N 23°16'51" W 90°00'00.0"
C16	14.00	19.80	18.19	N 2°29'19" W 81°01'40.2"
C17	14.00	24.18	21.29	S 62°20'48" W 98°58'19.8"
C18	14.00	22.00	19.80	N 23°29'05" W 90°01'55.5"
C19	22.50	43.18	38.88	N 66°50'55" E 89°58'04.5"
C20	14.00	19.80	18.19	S 2°29'19" W 81°01'40.2"
C21	252.50	445.20	389.73	S 63°22'19" W 101°01'22.0"
C22	252.50	66.53	64.35	N 88°54'00" W 115°06'00.6"
C23	207.50	589.77	410.34	N 30°24'29" E 116°20'52.3"
C24	297.50	5.92	5.92	N 13°25'51" E 110°26'5.5"
C25	297.50	55.43	55.35	N 19°20'19" E 10°40'30.4"
C26	297.50	55.43	55.35	N 30°20'05" E 10°40'30.4"
C27	297.50	55.43	55.35	N 40°14'20" E 10°40'30.4"
C28	297.50	55.43	55.35	N 51°19'10" E 10°40'30.4"
C29	297.50	55.43	55.35	N 62°22'21" E 10°40'30.4"
C30	297.50	18.45	18.45	N 69°19'13" E 3°33'13.7"
C31	297.50	55.43	55.35	N 74°16'05" E 10°40'30.4"
C32	297.50	55.43	55.35	N 84°56'39" E 10°40'30.4"
C33	297.50	55.43	55.35	S 82°22'54" E 10°40'30.4"
C34	297.50	55.43	55.35	S 71°42'24" E 10°40'30.4"
C35	297.50	1.31	1.31	S 61°43'44" E 0°15'38.4"
C36	297.50	25.95	25.95	S 63°37'03" E 4°59'54.2"
C37	297.50	52.45	52.38	S 65°40'03" E 10°06'05.3"
C38	252.50	3.12	3.12	S 90°39'40" E 0°42'28.7"
C39	252.50	54.92	54.81	S 44°04'39" E 12°27'45.2"
C40	252.50	34.70	34.59	S 31°38'24" E 12°24'45.1"
C41	252.50	54.70	54.59	S 19°13'39" E 12°24'45.1"
C42	252.50	93.86	93.32	S 02°22'20" E 21°17'51.4"
C43	49.00	50.17	48.00	N 60°17'09" E 58°39'37.4"
C44	49.00	51.78	49.40	S 60°10'42" E 60°33'39.3"
C45	49.00	85.65	75.15	S 20°14'00" W 100°08'45.5"
C46	49.00	35.51	34.73	N 88°54'00" W 41°50'58.4"
C47	252.50	116.82	113.78	S 92°11'06" W 22°03'30.4"
C48	252.50	80.25	79.92	S 59°42'40" W 18°12'38.5"
C49	252.50	54.70	54.59	S 75°01'22" W 12°24'45.1"
C50	252.50	54.70	54.59	S 62°03'07" W 12°24'45.1"
C51	252.50	54.70	54.59	N 80°09'07" W 12°24'45.1"
C52	252.50	25.47	25.45	N 71°43'24" W 9°46'42.3"
C53	72.50	30.39	30.36	S 89°39'06" W 24°11'26.3"
C54	72.50	54.27	53.01	S 67°28'55" W 42°53'11.4"
C55	72.50	28.99	28.79	N 73°27'16" W 22°34'26.8"
C56	252.50	149.12	144.74	S 14°41'23" W 39°31'4.4"
C57	252.50	107.12	106.32	S 28°40'21" W 24°18'23.0"
C58	252.50	10.42	10.63	S 52°58'44" W 24°18'23.0"
C59	252.50	35.45	35.42	S 60°13'18" W 80°22'53.4"
C60	252.50	107.12	106.32	S 85°19'42" W 24°18'23.0"
C61	252.50	72.28	72.04	N 24°19'05" W 16°24'06.1"
C62	207.50	25.73	25.74	N 87°54'28" W 20°07'04.4"
C63	207.50	17.80	17.69	N 25°59'27" W 33°55'25.5"
C64	207.50	46.15	44.33	N 48°10'15" E 112°58'53.0"
C65	207.50	28.09	28.06	S 72°32'42" E 74°43'18.2"

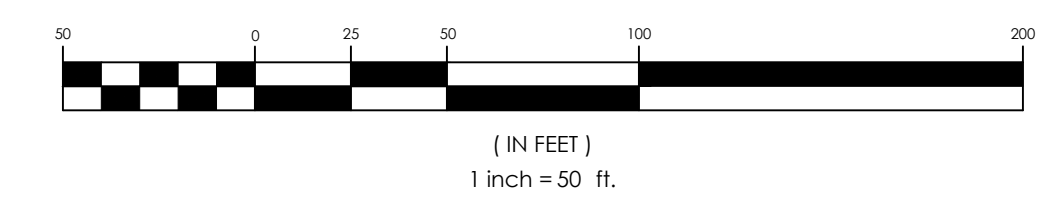
LINE TABLE		
LINE	BEARING	DISTANCE
EL1	N 12°51'38" E	6.75

EASEMENT LINE TABLE		
LINE	BEARING	DISTANCE
EL1	S 77°08'22" E	12.94'
EL2	N 21°43'09" E	9.12'
EL3	S 21°43'09" W	7.50'
EL4	S 25°06'15" W	17.53'
EL5	S 34°17'43" E	28.82'
EL6	N 34°17'43" W	20.47'
EL7	N 87°54'35" W	15.45'
EL8	N 21°43'09" E	15.00'
EL9	S 67°53'51" E	20.00'

EASEMENT CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
EC1	147.50	222.31	122.78	N 1°17'22" E	8°31'31"

REVISIONS				
NO.	DATE	DESCRIPTION		
1	5/18/22	REVISIONS PER AGENCY REVIEW COMMENTS DATED 5/13/22		
2	7/13/22	REVISIONS PER AGENCY REVIEW COMMENTS DATED 5/17/22		

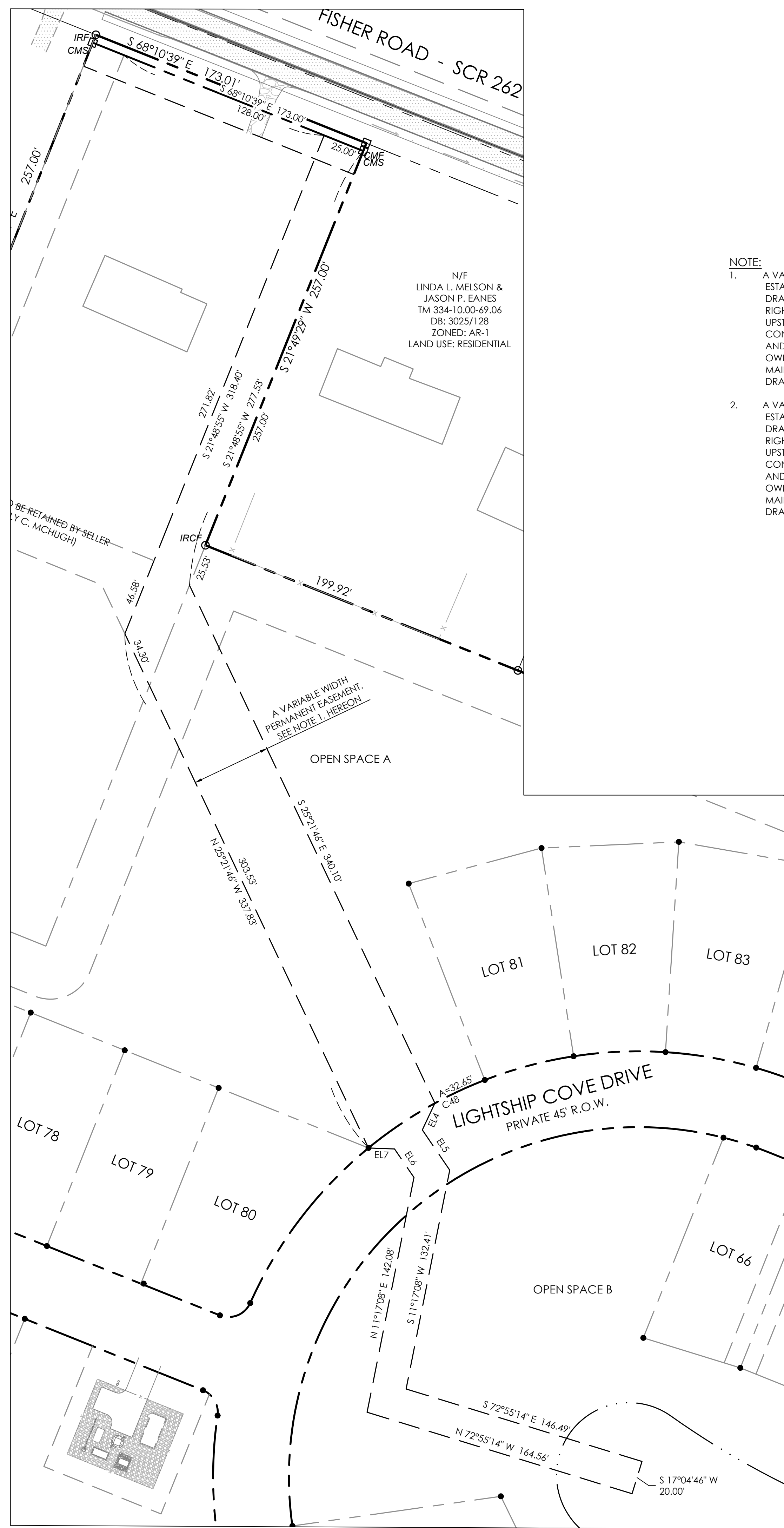
GRAPHIC SCALE



7/22/22

RECORD PLAN D		
NO.	DATE	DESCRIPTION
1	5/18/22	REVISIONS PER AGENCY REVIEW COMMENTS DATED 5/13/22
2	7/13/22	REVISIONS PER AGENCY REVIEW COMMENTS DATED 5/17/22

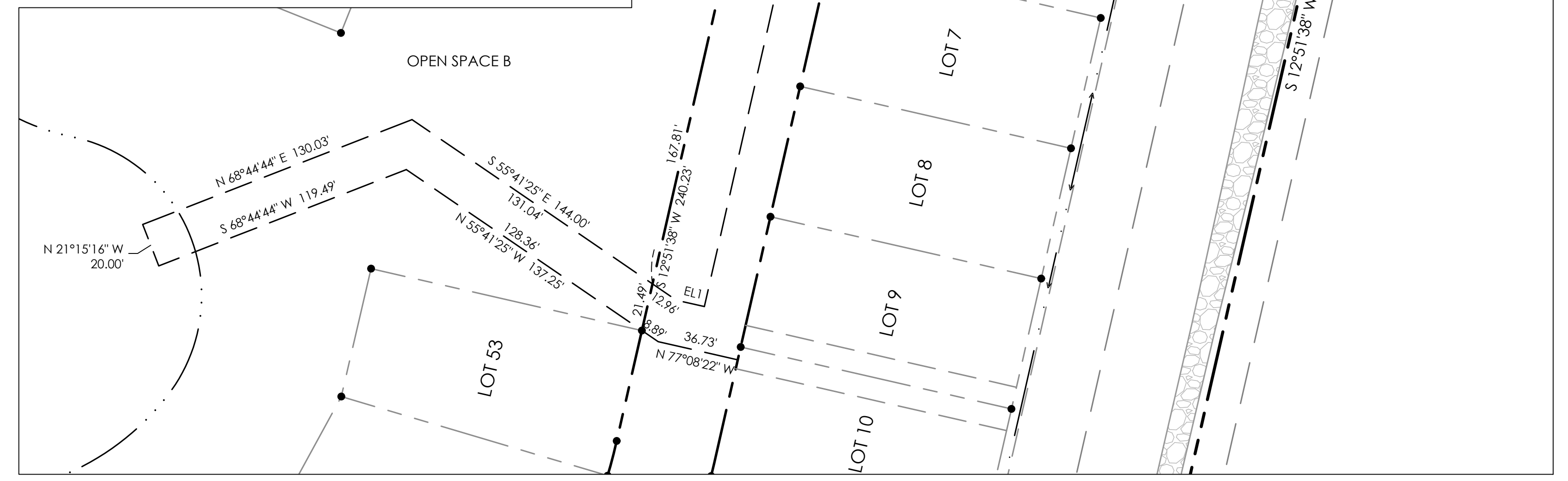
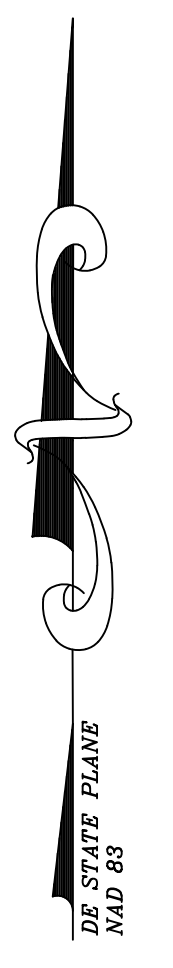
RECORD PLAN D
for
LIGHTSHIP COVE
SUBDIVISION # 2021-11
LEWES & REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE
SCR 262



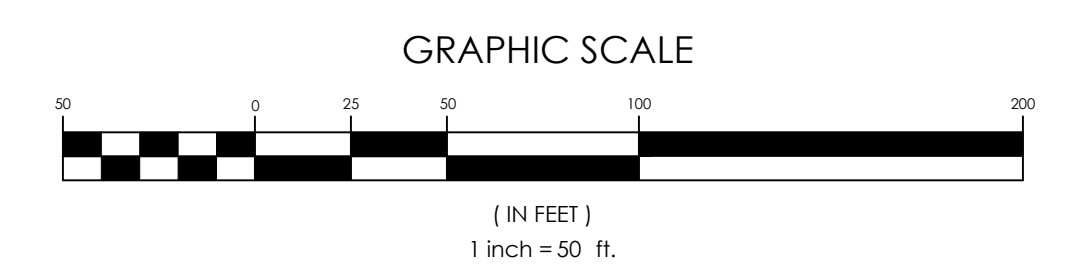
NOTE:

1. A VARIABLE WIDTH PERMANENT EASEMENT CONTAINING 30,042.07 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM THE STATE MAINTAINED ROADS AND/OR RIGHT-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUN-OFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.

2. A VARIABLE WIDTH PERMANENT EASEMENT CONTAINING 24,369.69 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM THE STATE MAINTAINED ROADS AND/OR RIGHT-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUN-OFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.



VARIABLE WIDTH DRAINAGE EASEMENT
SCALE: 1"=40'



NO.	DATE	DESCRIPTION
1	5/18/22	REVISIONS PER AGENCY REVIEW COMMENTS DATED 5/13/22
2	7/13/22	REVISIONS PER AGENCY REVIEW COMMENTS DATED 5/19/22

RECORD DELDOT EASEMENTS
for
LIGHTSHIP COVE
SUBDIVISION # 2021-11
LEWES & REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE
SCR 262

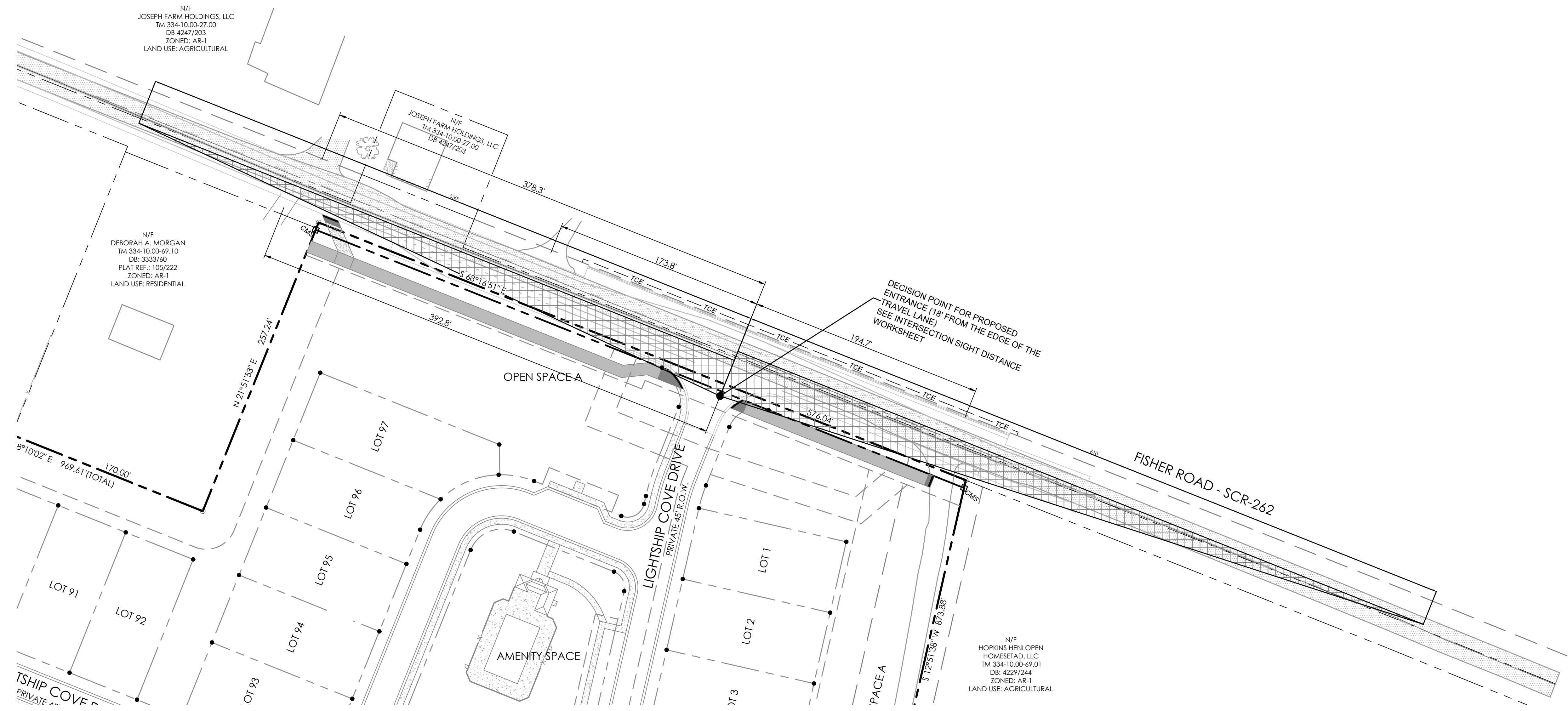
Date:	8/20/21	Job Number:	20049	Scale:	AS SHOWN	Drawn By:	ML	Designed By:	JPR	Approved By:	JRE
-------	---------	-------------	-------	--------	----------	-----------	----	--------------	-----	--------------	-----



NO.	DATE	DESCRIPTION
1	5/18/22	REVISIONS PER AGENCY REVIEW COMMENTS DATED 5/13/22
2	7/13/22	REVISIONS PER AGENCY REVIEW COMMENTS DATED 5/19/22

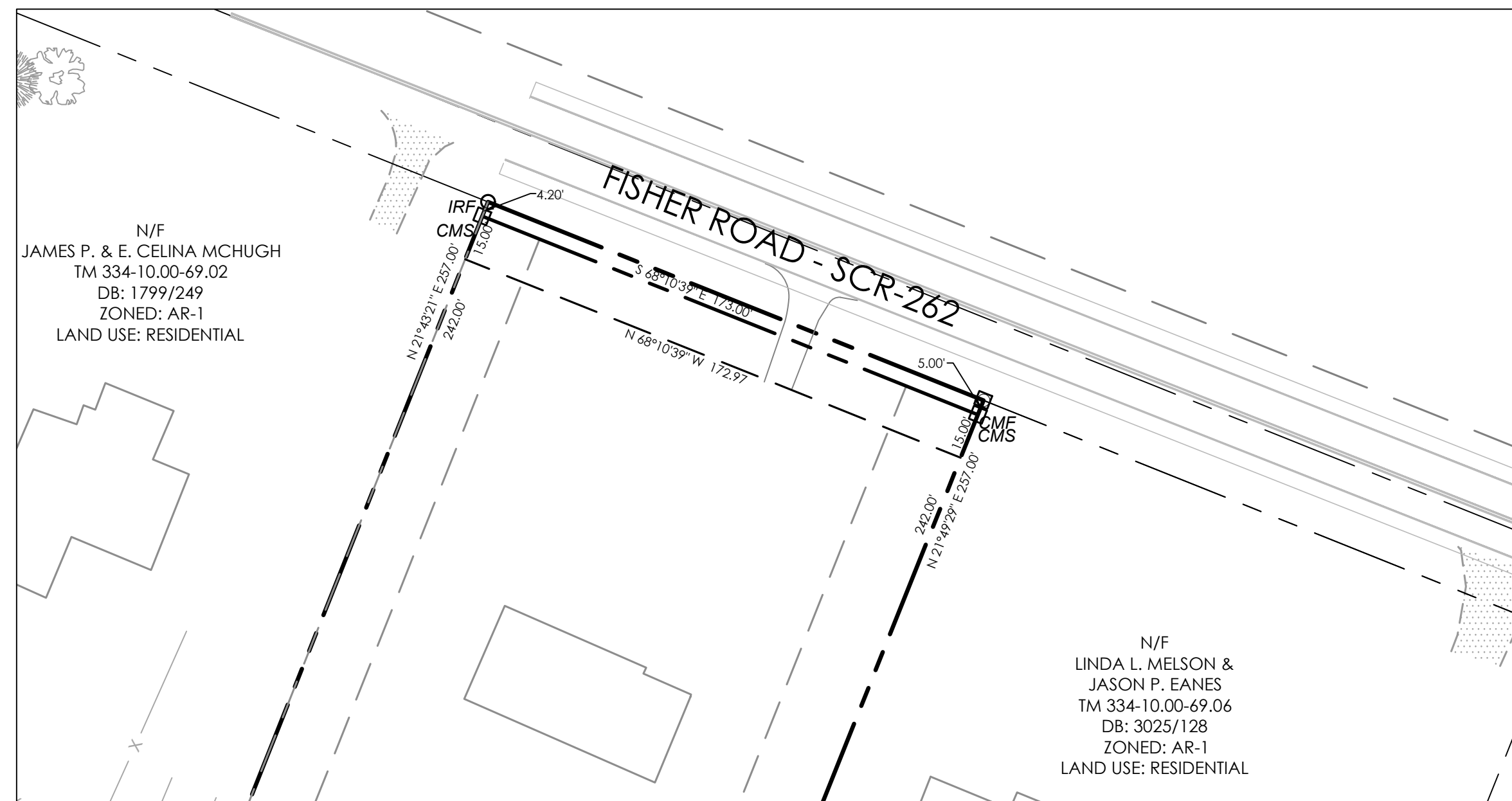
DELDOT SIGHT DISTANCE TRIANGLES & EASEMENTS
 for
LIGHTSHIP COVE
 SUBDIVISION # 2021-11
 LEWES & REHOBOTH HUNDRED
 SUSSEX COUNTY, DELAWARE
 SCR 262

Date:	8/20/21
Job Number:	20049
Scale:	AS SHOWN
Drawn By:	ML
Designed By:	JPR
Approved By:	JRE



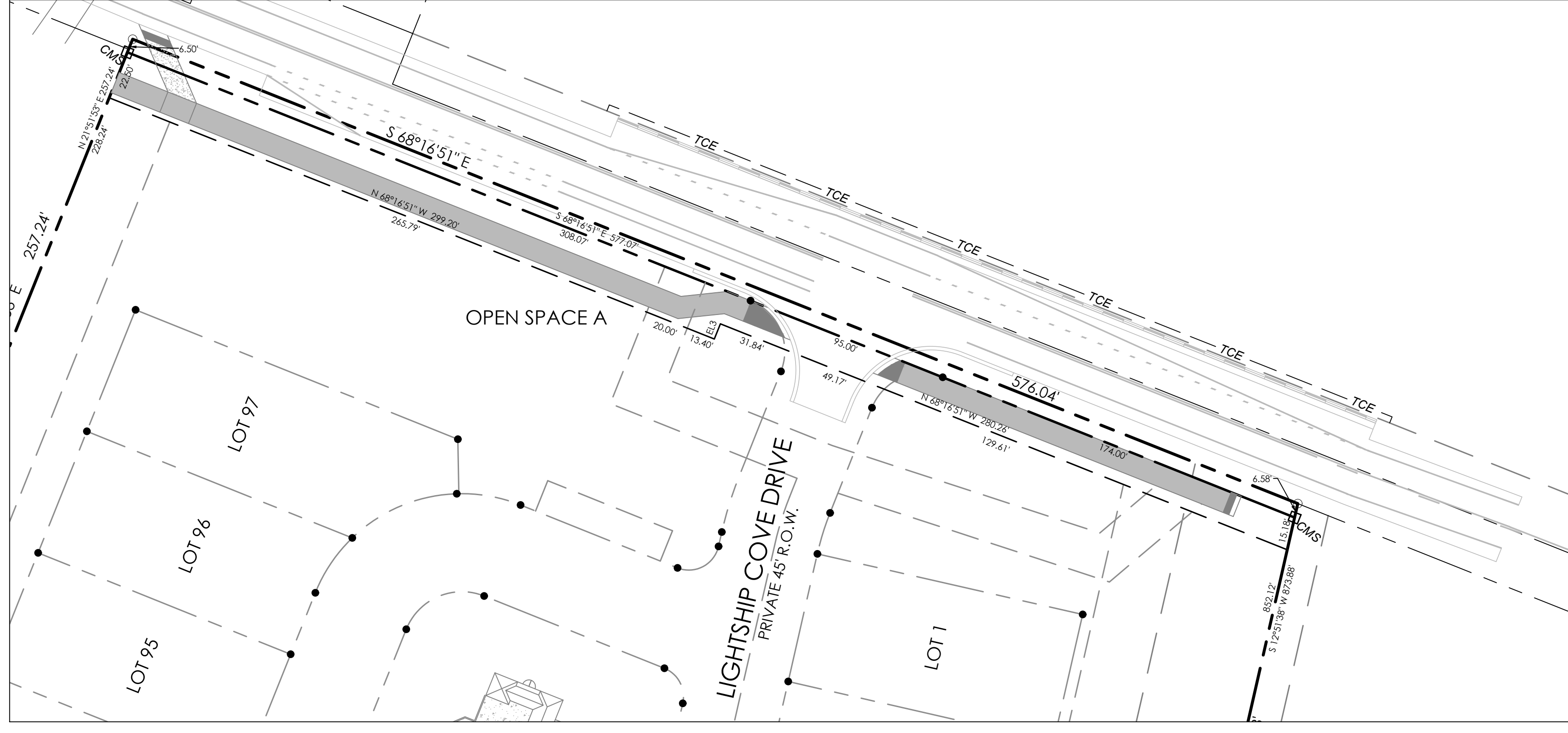
PROPOSED ENTRANCE DEPARTURE SIGHT DISTANCE TRIANGLE EXHIBIT

SCALE: 1" = 50'



15' WIDE PERMANENT DELDOT EASEMENT

SCALE: 1" = 40'



22.5' WIDE PERMANENT DELDOT EASEMENT

SCALE: 1" = 40'

LANDSCAPE BUFFER

NOTES:

1. THE LANDSCAPE AND/OR FOREST BUFFERS SHALL BE INSTALLED WITHIN 18 MONTHS FROM THE DATE SITE WORK IS AUTHORIZED TO COMMENCE, AS DOCUMENTED BY A NOTICE TO PROCEED LETTER FROM THE COMMISSION.

2. THE LAND DEVELOPER SHALL BE RESPONSIBLE FOR THE HEALTH AND SURVIVAL OF THE TREES, INCLUDING REGULAR NECESSARY WATERING FOR A MINIMUM OF 2 YEARS OR UNTIL SUCH LATER DATE AS THE MAINTENANCE RESPONSIBILITIES ARE TRANSFERRED TO A HOMEOWNER'S ASSOCIATION; PROVIDED, HOWEVER THAT THE DEVELOPER SHALL REPLACE AND TREES THAT DIE DURING THE MINIMUM 2 YEAR DEVELOPER MAINTENANCE PRIOR TO TRANSFERRING MAINTENANCE RESPONSIBILITIES TO A CONDOMINIUM ASSOCIATION.

3. ADDITIONAL INFORMATION AS TO HOW THE LANDSCAPE / FORESTED BUFFERS ARE TO BE MAINTAINED IN PERPETUITY, SHALL BE INCLUDED IN THE RESTRICTIVE COVENANTS AND/OR HOMEOWNER'S ASSOCIATION DOCUMENTS.

4. PURSUANT WITH SUSSEX COUNTY CODE SECTION 99-5, THE 20' WIDE LANDSCAPE BUFFER SHOWN IN THIS PLAN MUST BE PLANTED WITH A MIX OF 70% DECIDUOUS AND 30% EVERGREEN TREES, THE MAJORITY OF WHICH SHALL BE SUITABLE TREES OF COMMON LOCAL SPECIES. EVERY 100' OF BUFFER SHALL INCLUDE A MINIMUM OF 15 TREES.

5. ALL DECIDUOUS TREES THAT ARE PLANTED TO ESTABLISH THE BUFFER PLANTINGS SHALL HAVE A MINIMUM CALIPER OF 1.5 INCHES AND A MINIMUM HEIGHT OF SIX FEET ABOVE GROUND WHEN PLANTED IN ORDER TO INSURE THAT THE TREES WILL BE CAPABLE OF OBTAINING A MINIMUM HEIGHT OF 10 FEET ABOVE GROUND WITHIN FIVE YEARS OF BEING PLANTED.

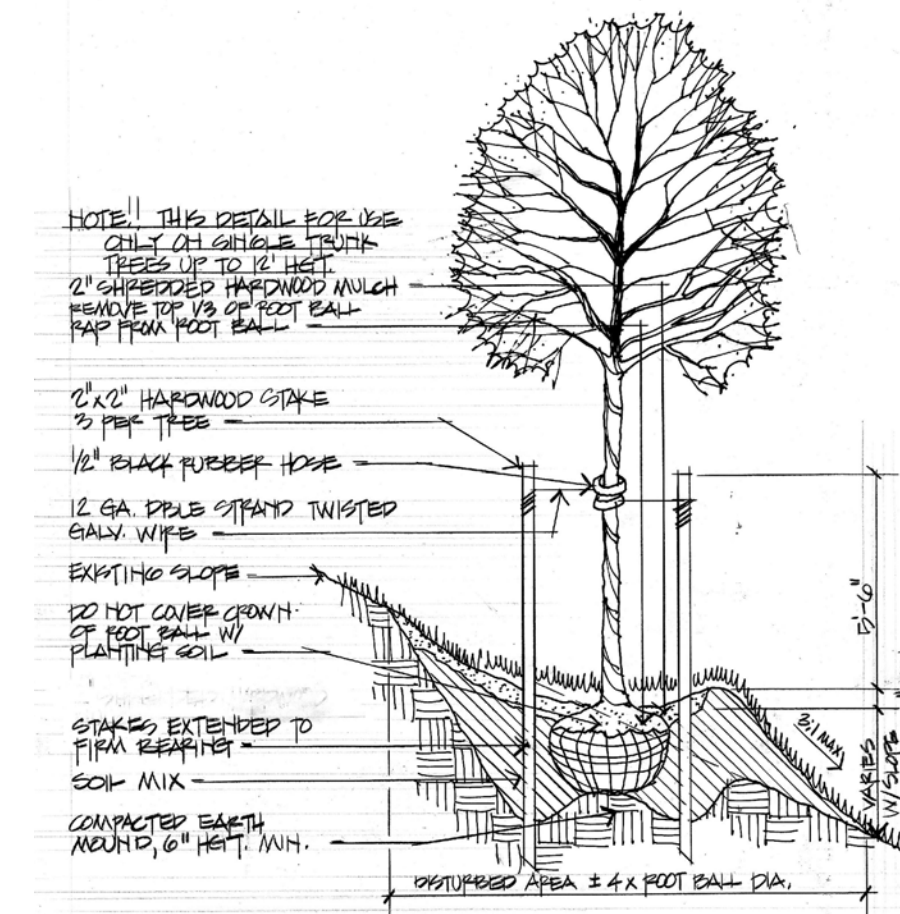
6. ALL EVERGREEN TREES THAT ARE PLANTED TO ESTABLISH THE BUFFER PLANTINGS SHALL HAVE A MINIMUM HEIGHT OF FIVE FEET ABOVE GROUND WHEN PLANTED IN ORDER TO INSURE THAT THEY ARE REASONABLY CAPABLE OF ATTAINING A MINIMUM HEIGHT OF 10 FEET ABOVE GROUND WITHIN FIVE YEARS OF BEING PLANTED.

7. THE TREES SHALL BE PLANTED IN A STAGGERED NATURAL MANNER. THE PROCEDURES AND DETAILS FOR PLANTING NEW TREES SHALL BE SPECIFIED BY THE LANDSCAPE ARCHITECT ON THE PLAN SUBMITTED TO AND APPROVED BY THE COMMISSION AND SHALL INCLUDE THE REQUIREMENT THAT THE BUFFER AREA SHALL HAVE A FINAL GRADE THAT CONTAINS A MINIMUM OF FOUR INCHES OF TOPSOIL AND A SUITABLE GRASS MIX PLANTED AS SACRIFICIAL COVER BETWEEN THE BUFFER TREES FOR SOIL STABILIZATION UNTIL THE NEWLY PLANTED TREES BECOME LARGER. THE PLAN MAY SUBSTITUTE WOODCHIPS FOR PLANTED GRASS BETWEEN THE BUFFER TREES IN RESPECT TO BOTH NEWLY PLANTED AND EXISTING TREES, AS DETERMINED BY THE LANDSCAPE ARCHITECT

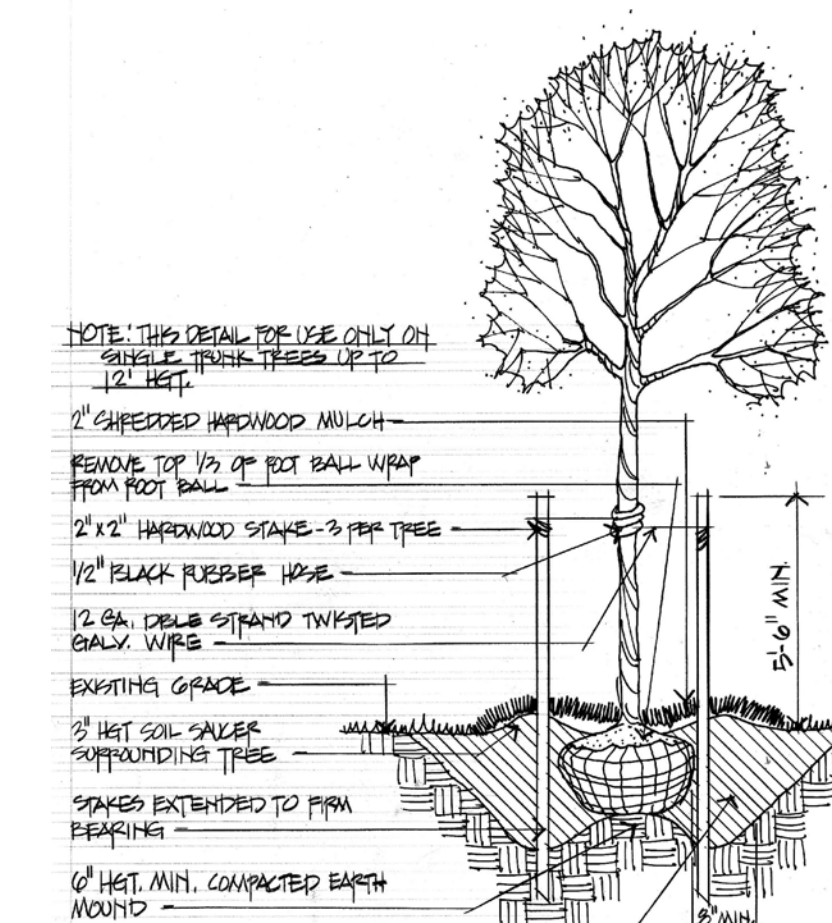
LANDSCAPE SCHEDULE					
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATION	TREE TYPE
161	#1	Acer rubrum	RED MAPLE	1 1/2" CAL., 6' HGT. MIN.	DECIDUOUS
150	#2	Quercus phellos	WILLOW OAK	1 1/2" CAL., 6' HGT. MIN.	DECIDUOUS
125	#3	Quercus rubra	RED OAK	1 1/2" CAL., 6' HGT. MIN.	DECIDUOUS
72	#4	Ilex opaca	AMERICAN HOLLY	5' HGT. MIN.	EVERGREEN
64	#5	Picea abies	NORWAY SPRUCE	5' HGT. MIN.	EVERGREEN
51	#6	Pinus virginiana	VIRGINIA PINE	5' HGT. MIN.	EVERGREEN

SUBSTITUTIONS:			
BOTANICAL NAME	COMMON NAME	SPECIFICATION	TREE TYPE
Acer saccharum	SUGAR MAPLE	1 1/2" CAL., 6' HGT. MIN.	DECIDUOUS
Chamaecyparis thyoides	ATLANTIC WHITECEDAR	5' HGT. MIN.	EVERGREEN
Crataegus viridis 'Winter King'	WINTER KING GREEN HAWTHORN	1 1/2" CAL., 6' HGT. MIN.	DECIDUOUS
Liriodendron tulipifera	TULIP TREE	1 1/2" CAL., 6' HGT. MIN.	DECIDUOUS
Pinus strobus	WHITE PINE	5' HGT. MIN.	EVERGREEN
Pinus taeda	LOBLOLLY PINE	5' HGT. MIN.	EVERGREEN
Quercus alba	WHITE PINE	1 1/2" CAL., 6' HGT. MIN.	DECIDUOUS
Quercus coccinea	SCARLET OAK	1 1/2" CAL., 6' HGT. MIN.	DECIDUOUS
Taxodium distichum	BALD CYPRESS	1 1/2" CAL., 6' HGT. MIN.	DECIDUOUS
Magnolia virginiana	SWEETBAY MAGNOLIA	5' HGT. MIN.	EVERGREEN
Juniperus virginiana	EASTERN RED CEDAR	5' HGT. MIN.	EVERGREEN
Platanus acerifolia	LONDON PLANE TREE	1 1/2" CAL., 6' HGT. MIN.	DECIDUOUS
Nyssa sylvatica	BLACK GUM	1 1/2" CAL., 6' HGT. MIN.	DECIDUOUS
Salix babylonica	WEeping WILLOW	1 1/2" CAL., 6' HGT. MIN.	DECIDUOUS

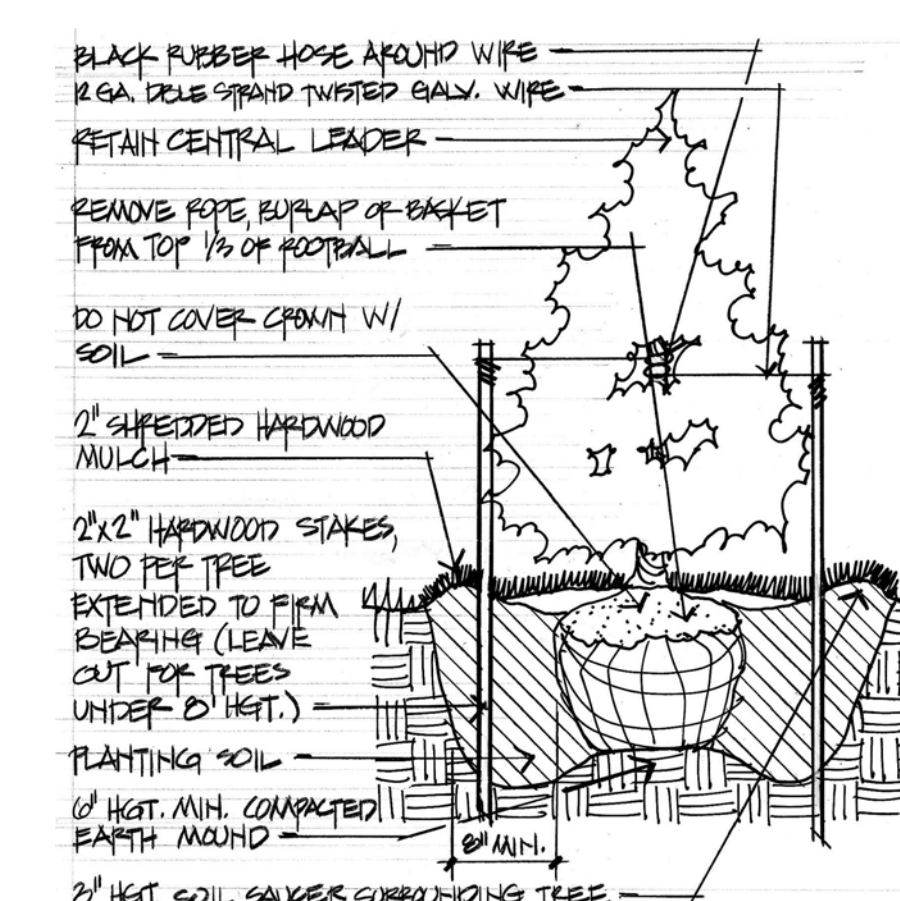
IF SUBSTITUTIONS ARE MADE, ONLY SUBSTITUTE DECIDUOUS FOR DECIDUOUS OR EVERGREEN FOR EVERGREEN TO MAINTAIN REQUIRED MIX.
 DECIDUOUS TREE QUANTITY: 436 (70.0%)
 EVERGREEN TREE QUANTITY: 187 (30.0%)
 TOTAL TREE QUANTITY: 623



TREE PLANTING ON SLOPE DETAIL



DECIDUOUS TREE PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL



REVISIONS	
NO.	DESCRIPTION
1	REVISIONS PER AGENCY REVIEW COMMENTS DATED 5/13/22
2	REVISIONS PER AGENCY REVIEW COMMENTS DATED 5/19/22

LANDSCAPE NOTES AND DETAILS
 for
LIGHTSHIP COVE
 SUBDIVISION # 2021-11
 LEWES & REHOBOTH HUNDRED
 SUSSEX COUNTY, DELAWARE
 SCR 262



LANDSCAPE ARCHITECT'S CERTIFICATION
 I HEREBY CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED UNDER MY SUPERVISION.
LeeAnn Schnappinger Bridgman 1-20-22
 DATE
 LEEANN SCHNAPPINGER BRIDGMAN, RLA
 BRIDGMAN LANDSCAPE ARCHITECTURE, LLC

August 10, 2022

Ring W. Lardner, P.E.
W. Zachary Crouch, P.E.
Michael E. Wheelleton, AIA, LEED GA
Jason P. Loar, P.E.
Jamie L. Sechler, P.E.
Michael R. Wigley, AIA, LEED AP

Sussex County Administrative Building
Planning and Zoning Department
2 The Circle
P.O. Box 589
Georgetown, Delaware 19947

Attn: Chase Phillips
Planner II

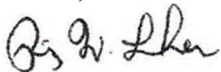
RE: Preliminary Site Plan for Price Automotive, LLC (S-22-15)
Tax Parcel No.: 334-12.00-127.08 and 127.09
DBF #3960A001

Dear Mr. Phillips:

On behalf of our client, Price Premium, LLC, we are pleased to submit a request for a waiver of the bulk grading plan for the proposed project. The proposed project is located off an existing road and will be built in a single phase. A detailed grading plan will be included in the construction documents.

On behalf of our client, we thank you for your review and consideration of this response. If you should have any questions or concerns, please contact me at (302) 424-1441 or via e-mail at rwf@dbfinc.com.

Sincerely,
DAVIS, BOWEN & FRIEDEL, INC.



Ring W. Lardner, P.E.
Principal

P:\Price Automotive Group\Herola\Docs\P&Z\2022-08-10 Bulk Grading Waiver Request\Waiver Request.docx

PRICE AUTOMOTIVE GROUP

PRELIMINARY TITLE SHEET

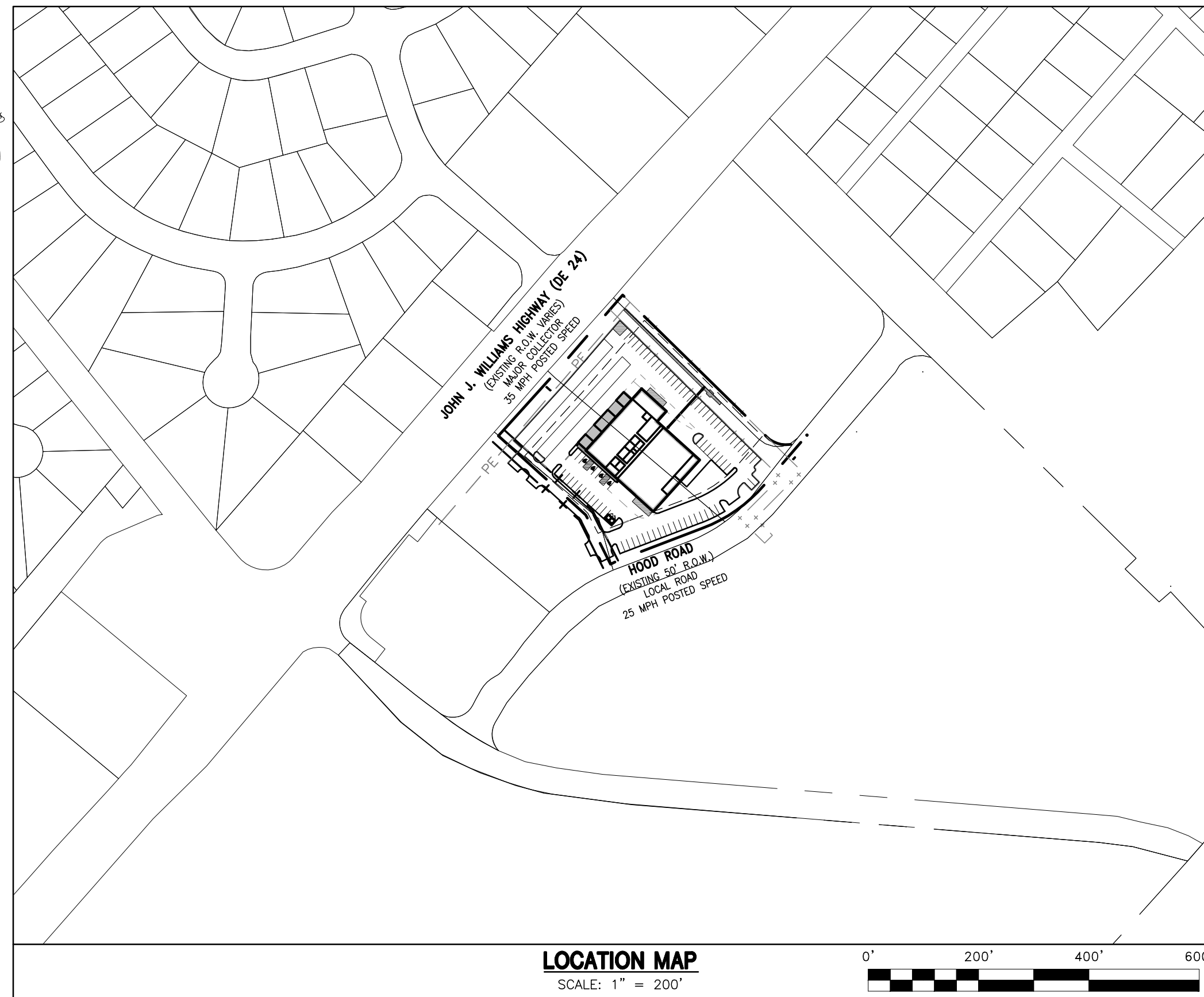
LEWES REHOBETH HUNDRED

REHOBETH, SUSSEX COUNTY, DELAWARE

FEBRUARY 2022

DBF PROJECT # 3960A001

PRELIMINARY SITE PLANS



LOCATION MAP
SCALE: 1" = 200'

LEGEND

EXISTING	PROPOSED
BOUNDARY LINE	RIGHT-OF-WAY / BOUNDARY LINE
ADJACENT PROPERTY OWNER	EASEMENT
EASEMENT	SETBACK
CONTOUR	BUFFER
CATCH BASIN, STORM PIPE	SANITARY SEWER IDENTIFICATION, MANHOLE, PIPE, FLOW ARROW, PIPE SIZE
SANITARY SEWER MANHOLE, PIPE	WATER MAIN, TEE W/ VALVES, PIPE SIZE
WATER MAIN	FIRE HYDRANT ASSEMBLY
FIRE HYDRANT ASSEMBLY	PROPOSED TREE LINE
UTILITY POLE	WETLAND
SIGN	SIDEWALK
FENCE	PAVEMENT
BUSHES, TREES	
TREE LINE	
WETLANDS	
PAVEMENT	

OWNER/DEVELOPER'S STATEMENT I, THE UNDERSIGNED, CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE ACT AND DESIRE THE PLAN TO BE RECORDED TO ORDINANCE. PRICE PREMIUM, LLC. _____ DATE _____ 220 E. CLEVELAND AVENUE NEWARK, DE 19711	ENGINEER'S STATEMENT I, THE UNDERSIGNED, HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE. RING W. LARDNER, P.E. _____ DATE _____ DAVIS, BOWEN & FRIEDEL, INC. 1 PARK AVENUE MILFORD, DELAWARE, 19963										
SUSSEX CONSERVATION DISTRICT	SUSSEX COUNTY ENGINEER										
INDEX OF SHEETS	SUSSEX COUNTY PLANNING & ZONING										
<table border="1"> <tr><td>PRELIMINARY TITLE SHEET</td><td>PL-01</td></tr> <tr><td>PRELIMINARY SITE PLAN</td><td>PL-02</td></tr> <tr><td>PRELIMINARY UTILITY PLAN</td><td>PL-03</td></tr> </table>	PRELIMINARY TITLE SHEET	PL-01	PRELIMINARY SITE PLAN	PL-02	PRELIMINARY UTILITY PLAN	PL-03	<table border="1"> <tr><td>SUSSEX COUNTY PLANNING & ZONING STAFF</td><td>DATE</td></tr> <tr><td>SUSSEX COUNTY COUNCIL PRESIDENT</td><td>DATE</td></tr> </table>	SUSSEX COUNTY PLANNING & ZONING STAFF	DATE	SUSSEX COUNTY COUNCIL PRESIDENT	DATE
PRELIMINARY TITLE SHEET	PL-01										
PRELIMINARY SITE PLAN	PL-02										
PRELIMINARY UTILITY PLAN	PL-03										
SUSSEX COUNTY PLANNING & ZONING STAFF	DATE										
SUSSEX COUNTY COUNCIL PRESIDENT	DATE										

DATA COLUMN

PARCEL ID: 334-12.00-127.07
334-12.00-127.08
334-12.00-127.09

SCALE: 1"=2000'

DATUM
VERTICAL: NAVD 88
HORIZONTAL: NAD 83 (DE STATE PLANE)

LAND USE
EXISTING: VACANT/AGRICULTURE
PROPOSED: AUTOMOTIVE SALES & SERVICE

ZONING
EXISTING: CR-1 (COMMERCIAL RESIDENTIAL DISTRICT)
PROPOSED: CR-1 (COMMERCIAL RESIDENTIAL DISTRICT)

MINIMUM REQUIREMENTS
FRONT SETBACK: 60 FT.
SIDE SETBACK: 5 FT.
REAR SETBACK: 5 FT.

BUILDING CONSTRUCTION
MAXIMUM BUILDING HEIGHT: 42 FT.
PROPOSED BUILDING HEIGHT: 36 FT.
PROPOSED CONSTRUCTION: WOOD/BLOCK CONSTRUCTION

PARKING REQUIREMENTS:
AUTOMOBILE SALES: 2 PER SALESMAN DURING PEAK PERIOD OF EMPLOYMENT
10 SALESMAN (20)

AUTOMOBILE SERVICE GARAGE: 1 PER 500 SQ.FT. OF FLOOR AREA
+1 PER EMPLOYEE DURING PEAK PERIOD OF EMPLOYMENT (20)
11,158 SQ.FT./500 = 22.32 (23)

TOTAL REQUIRED PARKING: 63 SPACES
PROPOSED PARKING: 83 SPACES

LOADING SPACE REQUIREMENTS: 20,000-40,000 SQ.FT. = 3
PROPOSED LOADING SPACES: 2 (WAIVER TO BE REQUESTED)

AREAS
EXISTING SITE
PARCEL - 2 1.251 AC.
PARCEL - 3 1.290 AC.
PARCEL - 4 1.746 AC.
TOTAL EXISTING SITE 4.287 AC.

PROPOSED SITE
PARCEL - 3 1.290 AC.
PARCEL - 4 1.746 AC.
TOTAL PROPOSED SITE 3.036 AC.

NET DEVELOPMENT AREA: 3.036 AC.

IMPERVIOUS COVERAGE:
PAVEMENT: 1.553 AC.
CURBING: 0.031 AC.
SIDEWALKS: 0.040 AC.
CONCRETE: 0.058 AC.
BUILDING: 4.512 AC.
TOTAL: 2.194 AC. (72.27%)

UTILITIES
PUBLIC (SUSSEX COUNTY, WEST REHOBOTH SOUTH PLANNING AREA)
PUBLIC (TIDEWATER UTILITIES, INC.)

FLOODPLAIN: THIS PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA MAP 10005C0332K, DATED MARCH 16, 2015

WETLANDS: DO NOT EXIST ON SITE

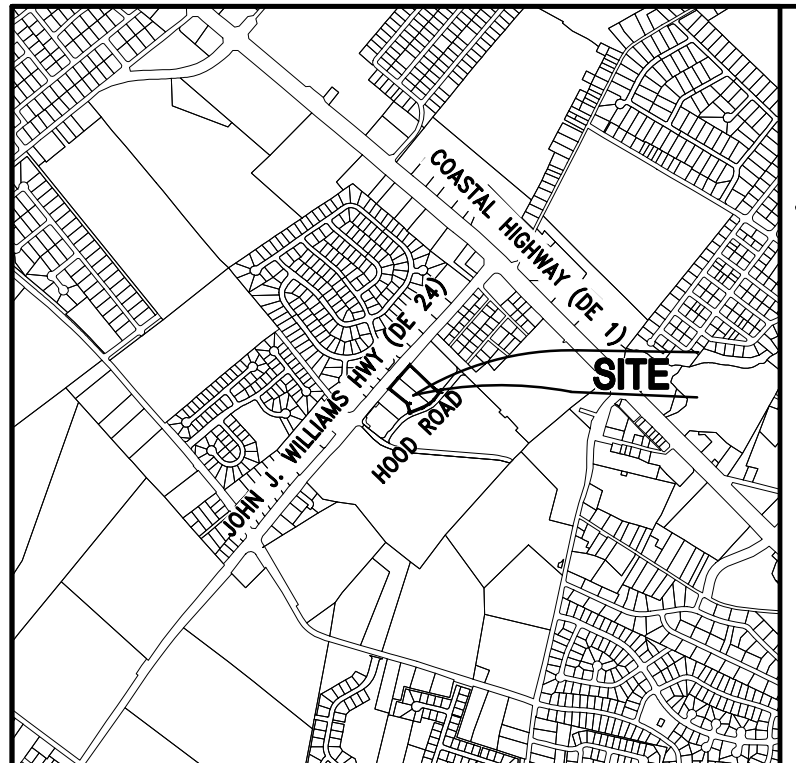
STATE STRATEGIES MAP: LEVEL 2 (2015)

TRANSPORTATION IMPROVEMENT DISTRICT (TID): HENLOPEN TID (UNDER DEVELOPMENT FOR THIS AREA)

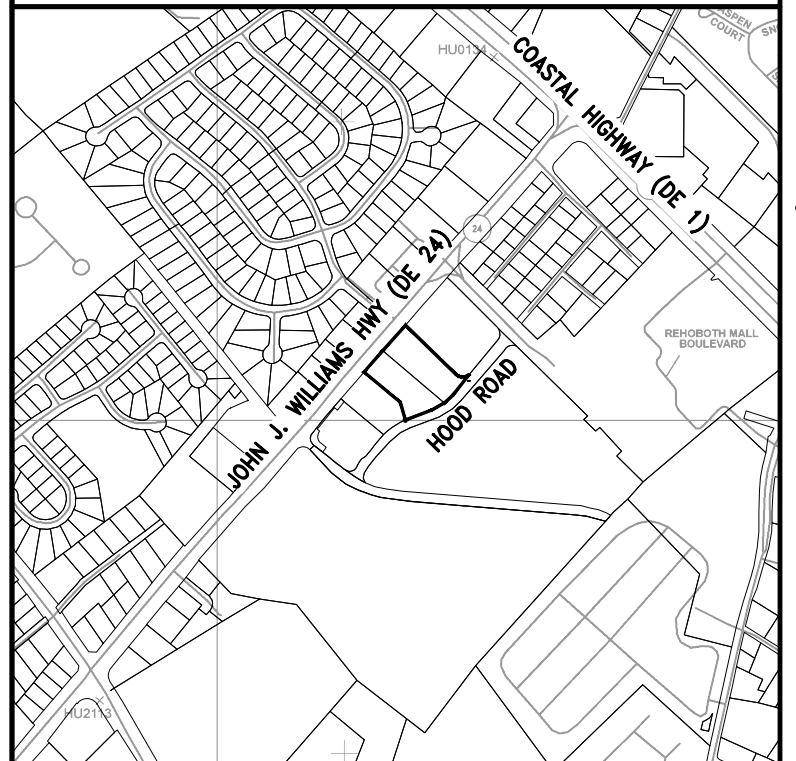
POSTED SPEED LIMIT: HOOD ROAD 25 M.P.H.

OWNER/DEVELOPER:
PRICE PREMIUM, LLC.
220 E. CLEVELAND AVENUE
NEWARK, DE 19711
(302) 538-8191

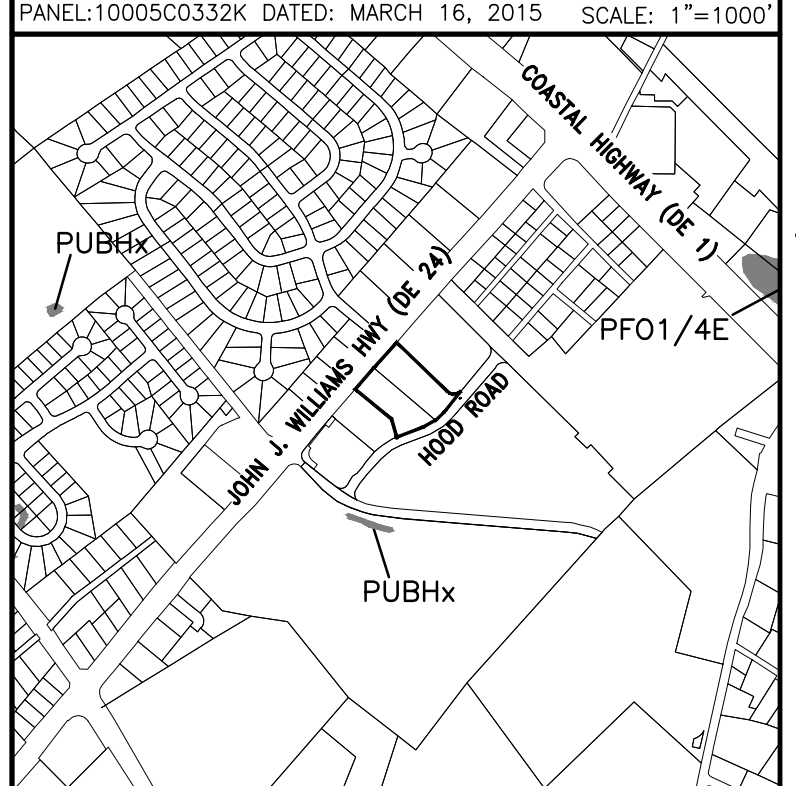
ENGINEER:
DAVIS, BOWEN & FRIEDEL, INC.
RING W. LARDNER
1 PARK AVENUE
MILFORD, DE 19963
(302) 424-1441



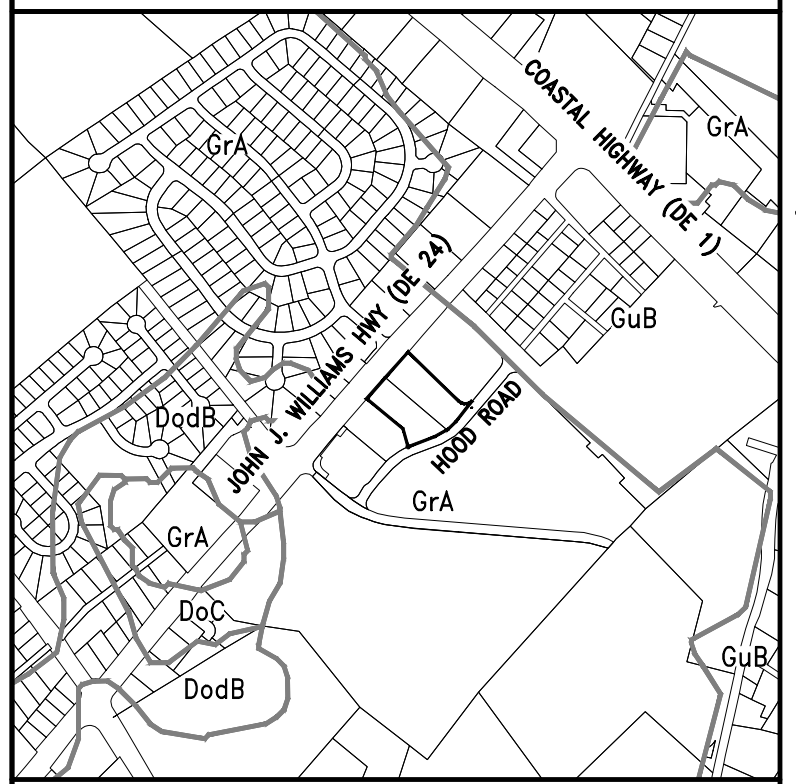
LOCATION MAP
SCALE: 1"=2000'



FEMA FLOOD MAP
PANEL:10005C0332K DATED: MARCH 16, 2015 SCALE: 1"=1000'



NWI WETLAND MAP
SCALE: 1"=1000'



SOILS MAP
SCALE: 1"=1000'

SYMB	SOIL TYPE
GrA	GREENWICH LOAM, 0 TO 2 PERCENT SLOPES

GENERAL NOTES

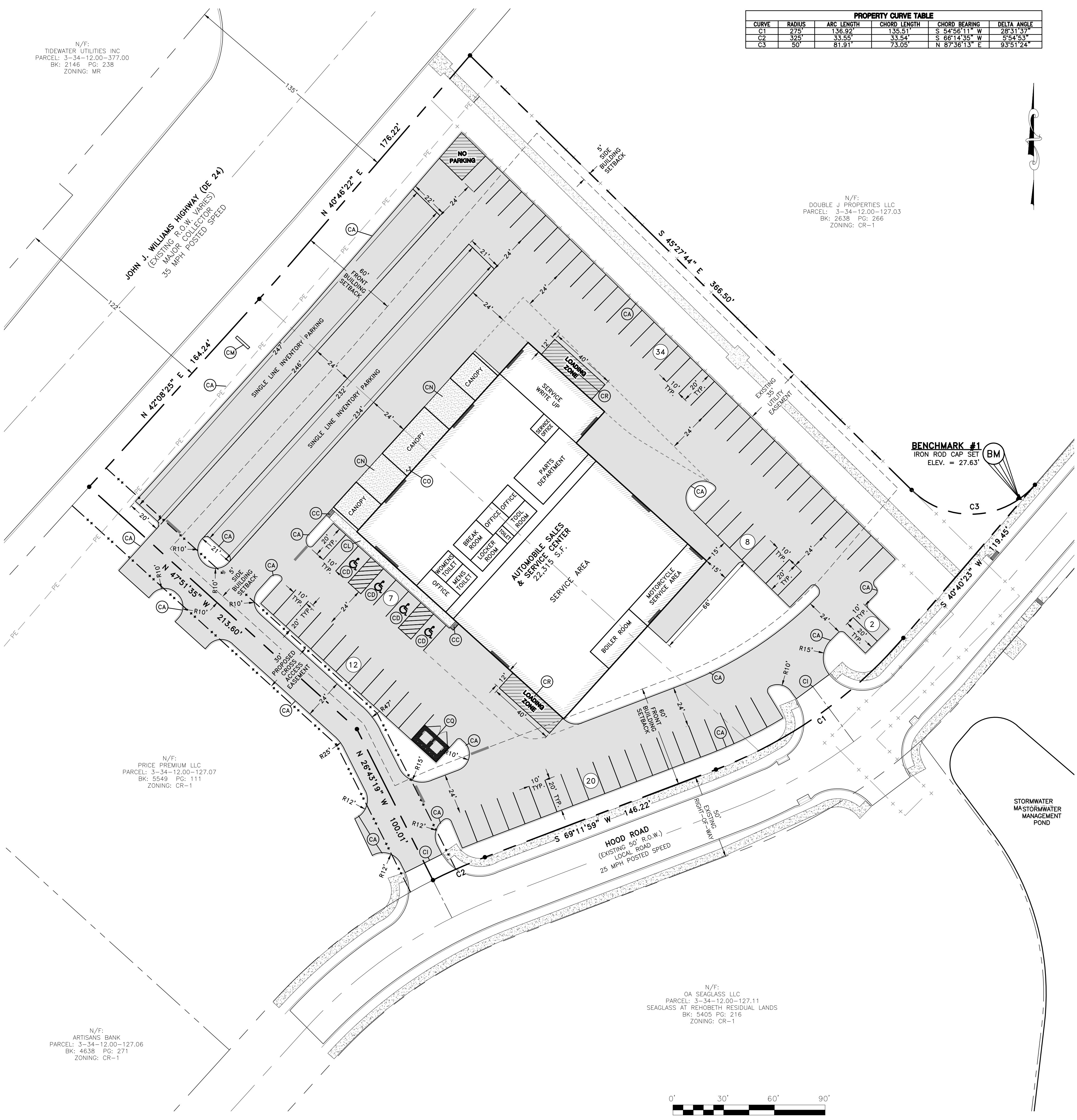
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND SHALL APPRISE AND COORDINATE DURING ALL PHASES OF CONSTRUCTION:
1.1 DAVIS, BOWEN & FRIEDEL, INC. 302-424-1441
1.2 SUSSEX CONSERVATION DISTRICT 302-856-2105
1.3 DEPARTMENT OF TRANSPORTATION, SOUTH DISTRICT PERMITS SUPERVISOR 302-853-1342
- BOUNDARY AND TOPOGRAPHIC SURVEY WAS PERFORMED BY DAVIS, BOWEN & FRIEDEL, INC. OF MILFORD, DELAWARE.
- CONTRACTOR SHALL PROVIDE STAKEOUT NECESSARY FOR THE INSTALLATION OF STORM DRAINS, PAVING AND ALL OTHER SITE WORK INCLUDED IN THESE PLANS. ALL STAKEOUT WORK IS TO BE PERFORMED UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF DELAWARE.
- CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE EXECUTION OF THIS CONTRACT.
- THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEVIATION FROM THESE PLANS UNLESS WRITTEN APPROVAL HAS BEEN PROVIDED BY THE ENGINEER.
- ACCORDING TO FEMA FLOOD INVENTORY MAP #10005C0332K, DATED: MARCH 16, 2015, THE SITE IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN.
- THE PROPOSED SITE IS NOT LOCATED WITHIN AN EXCELLENT GROUNDWATER RECHARGE AREA.
- THE PROPOSED SITE IS LOCATED WITHIN A WELLHEAD PROTECTION AREA.
- THE PROPOSED SITE IS LOCATED WITHIN HENLOPEN TRANSPORTATION IMPROVEMENT DISTRICT.
- THE CONTRACTOR SHALL TAKE PRECAUTIONS TO LOCATE PROPERTY LINES AND RIGHT OF WAY LINES PRIOR TO CONSTRUCTION AND AVOID CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY AND/OR RIGHTS OF WAYS WHERE SAID CONSTRUCTION IS PROHIBITED. THE CONTRACTOR MAY CONDUCT CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY PROVIDED IF HE HAS OBTAINED PRIOR WRITTEN PERMISSION FROM THE PROPERTY OWNER AND HAS SUBMITTED A COPY OF SAID WRITTEN PERMISSION TO THE TOWN OF MILLSBORO.
- FINAL SET OF APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE MAINTAINED ON THE JOB SITE AT ALL TIMES. FAILURE TO COMPLY WITH THIS PROVISION SHALL BE CONSIDERED CAUSE TO STOP THE WORK.
- THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF CONTRACT DRAWINGS ON WHICH HE SHALL NOTE, IN RED, THE ALIGNMENTS AND INVERTS OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK. ALL DISCREPANCIES BETWEEN THE PLAN LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE AS-BUILT DRAWINGS TO BE MAINTAINED BY THE CONTRACTOR IN THE FIELD.
- THE CONTRACTOR SHALL USE ONLY NEW MATERIALS, PARTS, AND PRODUCTS. ALL MATERIALS SHALL BE STORED SO AS TO ASSURE THE PRESERVATION OF THEIR QUALITY AND FITNESS FOR THE INTENDED WORK.
- ROUTINE PERIODIC INSPECTIONS DURING CONSTRUCTION WILL BE PROVIDED BY THE OWNER AND THE TOWN. THESE INSPECTIONS DO NOT RELIEVE THE CONTRACTOR FROM HIS OBLIGATION AND RESPONSIBILITY FOR CONSTRUCTING ALL WORK IN STRICT ACCORDANCE WITH ALL STANDARDS AND SPECIFICATIONS AND CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL MAINTAIN PUBLIC ROADS AND STREETS IN A BROOM SWEEP CONDITION AT ALL TIMES.
- ALL SIGNAGE SUBJECT TO SEPARATE PERMITTING AND APPROVALS.
- DOWNWARD SCREENED AND SHIELDED LIGHTING WILL BE PROVIDED TO THE SPECIFICATIONS AND REQUIREMENTS OF THE APPROPRIATE UTILITY PROVIDER.

Revisions:
2022-08-08 SUSSEX P&Z
COMMENTS

dbf DAVIS, BOWEN & FRIEDEL, INC. ARCHITECTS ENGINEERS SURVEYORS
 SALISBURY, MARYLAND (410) 543-9091
 MILFORD, DELAWARE (302) 424-1441
 EASTON, MARYLAND (410) 770-4744

PL-01

KEY LEGEND	
LABEL	DESCRIPTION
CA	PROPOSED P.C.C. CURB, TYPE 1-8
CB	PROPOSED INTEGRAL P.C.C. CURB AND GUTTER, TYPE 1-8
CC	PROPOSED A.D.A. COMPLIANT RAMP
CD	PROPOSED A.D.A. COMPLIANT PARKING SPACE
CE	DOUBLE DUMPSTER ENCLOSURE AREA
CF	PROPOSED SITE LIGHTING
CG	PROPOSED BOLLARD
CH	PROPOSED DIRECTIONAL SIGN
CI	EXISTING EDGE OF PAVEMENT (MATCH NEW PAVEMENT TO EXISTING)
CJ	TRANSITION CURB FROM INTEGRAL P.C.C. CURB AND GUTTER TYPE 1-8 TO MODIFIED P.C.C. CURB TYPE 1-6
CK	PROPOSED 6" CAST IRON ROOF DRAIN
CL	PROPOSED 5' WIDE SIDEWALK
CM	PROPOSED 10' X 20' GROUND SIGN
CN	PROPOSED CONCRETE PAVEMENT
CO	PROPOSED FIRE DEPARTMENT CONNECTION
CP	PROPOSED OFF-PREMISE ELECTRONIC MESSAGE CENTER
CQ	PROPOSED DUMPSTER PAD
CR	PROPOSED LOADING SPACE



PROPERTY CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	275	136.92	135.51	S 54°56'11" W	28°31'37"
C2	325	33.55	33.54	S 66°14'35" W	5°54'53"
C3	50	81.91	73.05	N 87°36'13" E	9°35'24"

N/F:
TIDEWATER UTILITIES INC
PARCEL: 3-34-12.00-377.00
BK: 2146 PG: 238
ZONING: MR

N/F:
DOUBLE J PROPERTIES LLC
PARCEL: 3-34-12.00-127.03
BK: 2638 PG: 266
ZONING: CR-1

N/F:
PRICE PREMIUM LLC
PARCEL: 3-34-12.00-127.07
BK: 5549 PG: 111
ZONING: CR-1

N/F:
ARTISANS BANK
PARCEL: 3-34-12.00-127.06
BK: 4638 PG: 271
ZONING: CR-1

N/F:
QA SEAGLASS LLC
PARCEL: 3-34-12.00-127.11
SEAGLASS AT REHOBETH RESIDUAL LANDS
BK: 5405 PG: 216
ZONING: CR-1



DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
GALLERY WAREHOUSE (302) 424-8888
MILFORD, DELAWARE (302) 424-1441
EASTON, MARYLAND (410) 770-4744

PRELIMINARY SITE PLAN

**PRICE AUTOMOTIVE GROUP
LEWES REHOBETH HUNDRED
REHOBETH, SUSSEX COUNTY, DELAWARE**

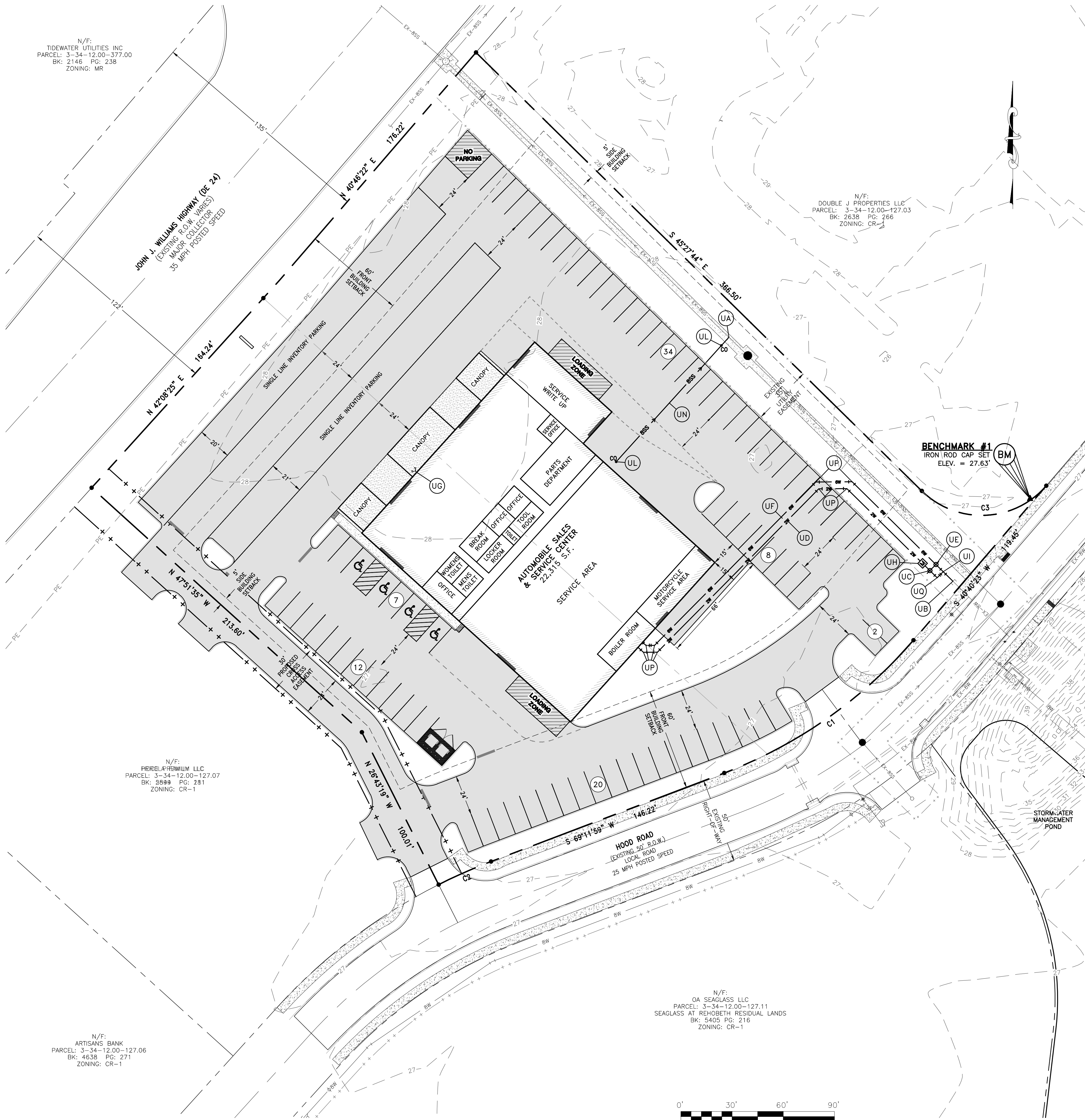
Revisions:
2022-08-08 SUSSEX P&Z
COMMENTS

Date: FEBRUARY 2022
Scale: 1" = 30'
Dwn. By: DEG
Proj. No.: 3960A001
Dwg. No.:

PL-02

P:\Price Automotive Group\Herdal\Design\Pre\3960A001 - PRELIMINARY - SITE PLAN.dwg Aug 08, 2022 - 4:55pm GRED

KEY LEGEND	
LABEL	DESCRIPTION
UA	CONNECT TO EXISTING 8" GRAVITY SEWER MAIN
UB	CONNECT TO EXISTING WATER STUB CONNECTION
UC	2" VALVE FOR DOMESTIC WATER SERVICE LINE
UD	2" DOMESTIC WATER SERVICE LINE
UE	6" WATER VALVE, FOR FIRE PROTECTION
UF	6" WATER LINE FOR FIRE PROTECTION, DUCTILE IRON PIPE, CLASS 52
UG	FIRE DEPARTMENT CONNECTION W/ FIRE CONNECTION SIGN
UH	WATER METER PIT DOMESTIC SERVICE LINE
UI	PROPOSED 6" X 6" X 2" TEE
UJ	EXISTING FIRE HYDRANT
UK	PROPOSED FIRE HYDRANT ASSEMBLY
UL	8" SANITARY SEWER CLEANOUT
UM	PROPOSED FIRE HYDRANT ASSEMBLY
UN	8" SANITARY SEWER WYE
UO	PROPOSED 22.5° BEND
UP	PROPOSED 45° BEND
UQ	PROPOSED 90° BEND
UR	WATER/SEWER CROSSING
US	WATER/STORM CROSSING
X-#	SEWER/WATER CROSSING AND STORM/WATER CROSSING IDENTIFICATION NUMBER
H-#	PROPOSED HYDRANT IDENTIFICATION NUMBER
V-#	PROPOSED VALVE IDENTIFICATION NUMBER



UTILITY LEGEND

- FIRE HYDRANT ASSEMBLY
- PROPOSED WATER MAIN, SIZE
- PROPOSED SANITARY SEWER MAIN, SIZE, MANHOLE
- PROPOSED SANITARY SEWER CLEANOUT
- PROPOSED FORCE MAIN
- EX 12W EXISTING WATER MAIN
- EX 8SS EXISTING SEWER MAIN
- EX G EXISTING GAS MAIN
- PROPOSED UTILITY EASEMENT



N/F:
TIDEWATER UTILITIES INC
PARCEL: 3-34-12.00-377.00
BK: 2146 PG: 238
ZONING: MR

JOHN J. WILLIAMS HIGHWAY (DE-24)
(EXISTING R.O.W. WAYS)
35 MPH POSTED SPEED

N/F:
HERBELA-FRENWILL LLC
PARCEL: 3-34-12.00-127.07
BK: 2899 PG: 281
ZONING: CR-1

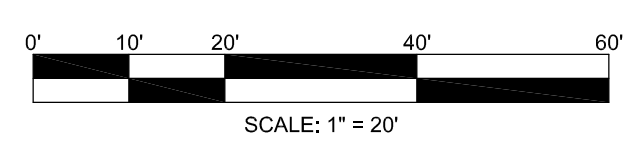
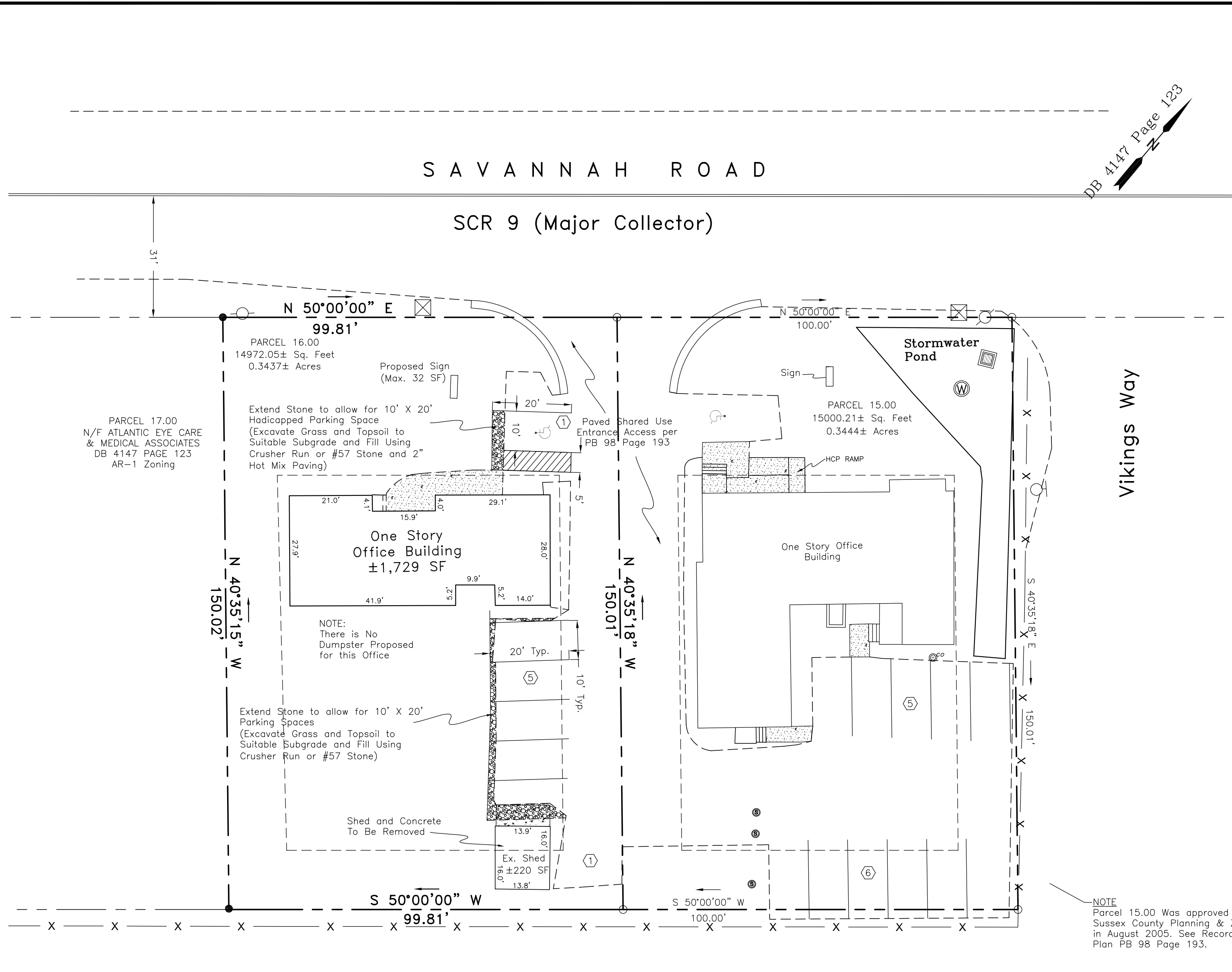
N/F:
ARTISANS BANK
PARCEL: 3-34-12.00-127.06
BK: 4638 PG: 271
ZONING: CR-1

N/F:
OA SEAGLASS LLC
PARCEL: 3-34-12.00-127.11
SEAGLASS AT REHOBETH RESIDUAL LANDS
BK: 5405 PG: 216
ZONING: CR-1

N/F:
DOUBLE J PROPERTIES LLC
PARCEL: 3-34-12.00-127.03
BK: 2638 PG: 266
ZONING: CR-1

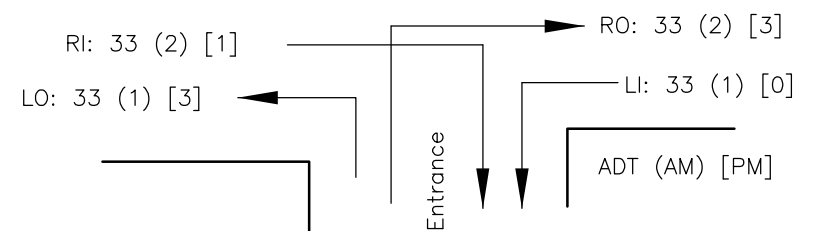
BENCHMARK #1
IRON ROD CAP SET
ELEV. = 27.63'

STORM WATER
MANAGEMENT
POND



DB 4147 Page 123

ANTICIPATED TRAFFIC FLOW DISTRIBUTION
±1,729 SF Doctors Office
ADT Entrance Traffic (Weekday) 66 ADT
RTE 9 (Savannah Road) Annual Average Daily Traffic (2022 AADT) = 15,910
10 Year projected AADT = 17,501
(50% Entering - 50% Exiting)
Total Entrance Weekday AM Peak Hour Volume = 6
Total Entrance Weekday PM Peak Hour Volume = 7
1% Truck Traffic



TRAFFIC GENERATION DIAGRAM

Per ITE Trip Generation 11th Edition
Medical Office ADT Weekday 36 Trips Per 1,000 SF
Design Vehicle Per DCM Figure 5.2.3-A: SU-30

DELDOT NOTES:

- ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT OF WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.

CONDITIONAL USE NOTES PER "NOTICE OF DECISION LETTER" DATED 11/18/2021:

- The buildings shall be used for office use only. No retail sales or other commercial uses shall occur on the site.
 - Each building shall be permitted to have one lighted sign. The signs shall not exceed 32 square feet in size on each side.
 - All security lighting shall be shielded and downward and screened so that it does not shine on neighboring properties or roadways.
 - As preferred by the Applicant, the business hours shall be limited to 8:00 am until 5:00 pm, Monday through Friday, with the exception of emergency services that may be required.
 - The two existing office buildings shall share an entrance as approved by DelDOT. *
 - With the exception of handicapped parking spaces, all parking areas shall be located at the rear of the properties. The Final Site Plan shall designate all parking areas.
 - As stated by the Applicant during the public hearing, the residential appearance of the existing structures shall be maintained while in use as offices.
 - Failure to abide by any of these conditions of approval may result in the revocations of this Conditional Use.
 - The Final Site Plan shall be subject to the review and approval of the Sussex County Planning and Zoning Commission.
- * The Combined Shared Access Entrance was approved by DelDOT and then by Sussex County per the Recorded Final Site Plan. See Plot Book 198 P 93.

OWNER'S CERTIFICATION

I / WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AS SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY/OUR DIRECTION, AND THAT I/WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT I / WE DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

DR. LOURDES APONTE
LAUDAN INVESTMENTS, LLC
1302 SAVANNAH ROAD
LEWES, DE 19958
302-645-6644

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES.

JOHN B. ROACH, JR., P.E.
22184 MELSON ROAD
GEORGETOWN, DE 19947
302-856-1565

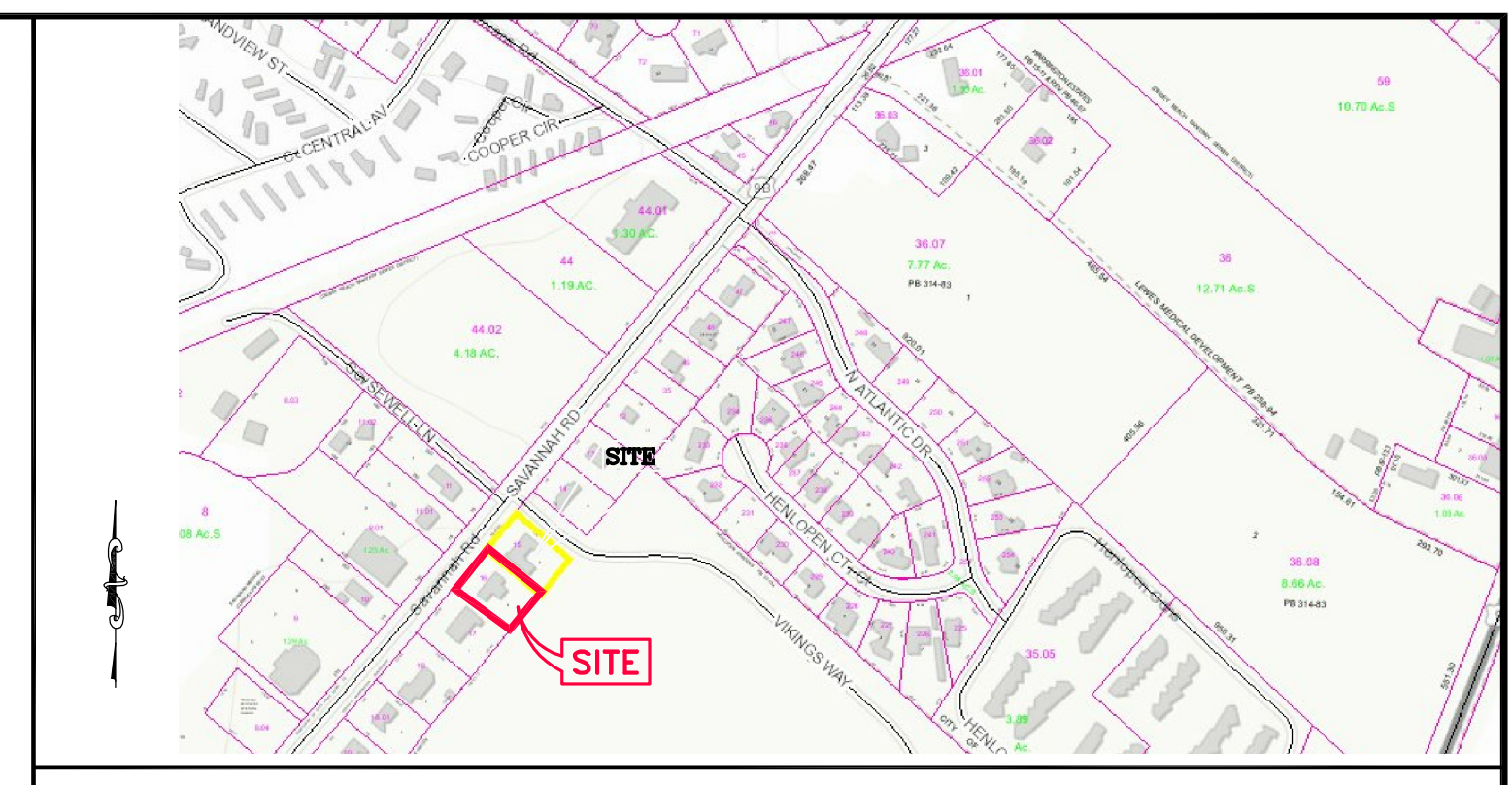
WETLANDS CERTIFICATION

I HEREBY CERTIFY THE SITE IMPROVEMENTS DEPICTED ON THIS PLAN DO NOT CONTAIN ANY FEDERAL OR STATE JURISDICTIONAL WETLANDS.

JOHN B. ROACH, JR., P.E.
22184 MELSON ROAD
GEORGETOWN, DE 19947
302-856-1565

LEGEND

- PROPERTY LINE
- - - EXISTING BUILDING RESTRICTION LINE
- - - FENCE
- - - X - - - X EDGE OF PAVING
- IRON PIPE FOUND
- LIGHT POLE
- POWER POLE
- ⊗ DELDOT CONTROLL BOX
- WELL
- S/W SEWER CLEANOUT
- S/W SEWER MANHOLE



PLAN DATA:

PARCEL I.D. No	* 335-8.18 PARCEL 15.00
PLAT REFERENCE	* D.B. 3007, PAGE 183
ZONING DISTRICT	* AR-1 ZONING CLASSIFICATION) CU 2264 (Ordinance No. 2813, Dated 11/16/2021
ROADWAY CLASSIFICATION	* SCR 9 (MAJOR COLLECTOR)
PARCEL SIZE	* ±15,000 SF ±0.3444 AC
BUILDING SIZE	* ±1,729 SF
EXISTING/PROPOSED USE	* COMMERCIAL VACANT/MEDICAL OFFICE
BUILDING HEIGHT	* EXIST. SINGLE STORY (NO VERTICAL ADDITIONS ARE PROPOSED)
BUILDING SETBACKS	* Front 40' Side 15' Rear 20'
EXISTING PAVING	* ±347.94 SF
PROPOSED PAVING	* ±195.21 SF
TOTAL PAVING	* ±543.15 SF ±0.012 AC
EXISTING CONC. WALK	* ±209.39 SF ±0.005 AC
EXIST. IMPERVIOUS AREA**	* ±2,286.33 SF ±0.052 AC
PROP. IMPERVIOUS AREA**	* ±2,481.54 ±0.057 ±17%
NET DEVELOPMENT AREA**	* ±2,481.54 ±0.057 ±17%
PARKING REQUIRED**	* 7 SPACES
PARKING PROVIDED**	* 7 SPACES
SEWAGE DISPOSAL	* PRIVATE INDIVIDUAL ON-SITE WASTEWATER DISPOSAL SYSTEMS SEWERAGE IS SUBJECT TO APPROVAL OF THE THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL.
WATER SUPPLY	* INDIVIDUAL ON-SITE WELLS (PRIVATE) WATER IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DIVISION OF PUBLIC HEALTH.
FLOODPLANE	* BASED UPON FIRM MAP 1005C0194K Dated: MARCH 16, 2015 THE SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE "X" (UNSHADED) WHICH IS DETERMINED TO BE OUTSIDE THE 100-YEAR FLOODPLAIN
OWNER	* LAUDAN INVESTMENTS, LLC 1302 SAVANNAH ROAD LEWES, DE 19958
LOT AREA RATIONALE	* PARCEL 15.00 = 0.3444 ACRES
TOTAL No. OF LOTS	* 2 (SINGLE FAMILY DWELLING UNITS)
(TID) PROXIMITY	* ±1 MILE TO HENLOPEN TID
PRIOR TO ANY CONSTRUCTION ACTIVITIES, PERMITS AND/OR APPROVALS AARE REQUIRED FROM:	c) Sussex Conservation District.....(302) 856-7219 b) Fire Marshal.....(302) 856-5298 c) DelDOT.....(302) 853-1340 d) City Of Lewes.....(302) 645-7777

** See Calculations Provided On This Sheet

- SHEET NOTES**
- THIS SURVEY IS CLASSIFIED AS A "SUBURBAN" SURVEY.
 - UNLESS THIS PLAT HAS A SEAL WITH AN ORIGINAL SIGNATURE OF ENGINEER, IN RED INK, THIS IS NOT AN AUTHORIZED COPY.
 - THE SURVEY DOES NOT VERIFY THE EXISTENCE OF OR NONEXISTENCE OF ANY EASEMENTS OR RIGHT OF WAYS.
 - THE SITE IS IN AN AREA OF "FAIR" GROUNDWATER RECHARGE.
 - THE SITE IS NOT LOCATED IN A WELLHEAD PROTECTION AREA.
 - THERE IS NO DUMPSTER PROPOSED FOR THIS PLAN.

IMPERVIOUS AREA CALCULATIONS

Parcel 15.00	SF	AC
Total Site	±15,000	0.3444
Building Area	±1,729	
Shed (To be Removed and Grass Planted)		
Exist. Conc. Walk	±209.39	
Existing Paving	347.94	
Proposed Paving	±195.21	
Total Impervious	±2,481.54	±0.057 ±17%

DISTURBED AREA CALCULATIONS

Parcel 15.00	SF	AC
Total Site	±15,000	0.3444
Shed Removal	±221.6	
Proposed Paving	±195.21	
Total Disturbed	±416.81	±0.001

PARKING CALCULATION

Parcel 15.00

Parking Required
1 for each 2 employees, plus 4 per doctor or dentist,
1 for each 4 seats

1 Doctor	4 Spaces
2 Employees	1 Space
6 Seats	2 Spaces
Total	7 Spaces

Parking Provided: 6 Spaces and 1 Handicap Space

Revision Number	Revision Date	Revision Description

PRELIMINARY SITE PLAN
FOR PROPERTY KNOWN AS:
LANDS OF "LAUDAN INVESTMENTS LLC"
ALSO KNOWN AS:
"1302 SAVANNAH ROAD, LEWES, DE"
SITUATE IN:
LEWES AND REHOBOTH HUNDRED * SUSSEX COUNTY STATE OF DELAWARE
TAX MAP#: 335-8.15 PARCELS 15.00

JOHN B. ROACH
Engineering LLC

22184 MELSON ROAD
GEORGETOWN, DELAWARE 19947
PHONE NO. 302-856-1565

Drawn By: JBR

Scale: 1"=20'

Date: 8-1-2022

Sheet P-1

August 16, 2022

Jesse Lindenberg
Sussex County Planning and Zoning
2 The Circle
Georgetown, DE 19933

**RE: Hickory Ridge Church Addition
Tax Parcel 530-10.00-45.01
Greenwood, Delaware**

Dear Jesse:

Per our phone conversation earlier today, please accept this letter as formal request for approval of the four handicap parking spaces currently shown partially within the site setback for the property.

The church is proposing to add a 160 square foot foyer area to the front of their church. As part of the process, they requested to have handicap spaces added to their parking that met current ADA accessibility requirements. Unfortunately, because of the elevation difference on this site. The best location for these spaces are in front of the church. However, the elevation change on site causes the spaces to be partially in the setback.

Please let me know if you have any questions. I can be reached at 302-542-0774.

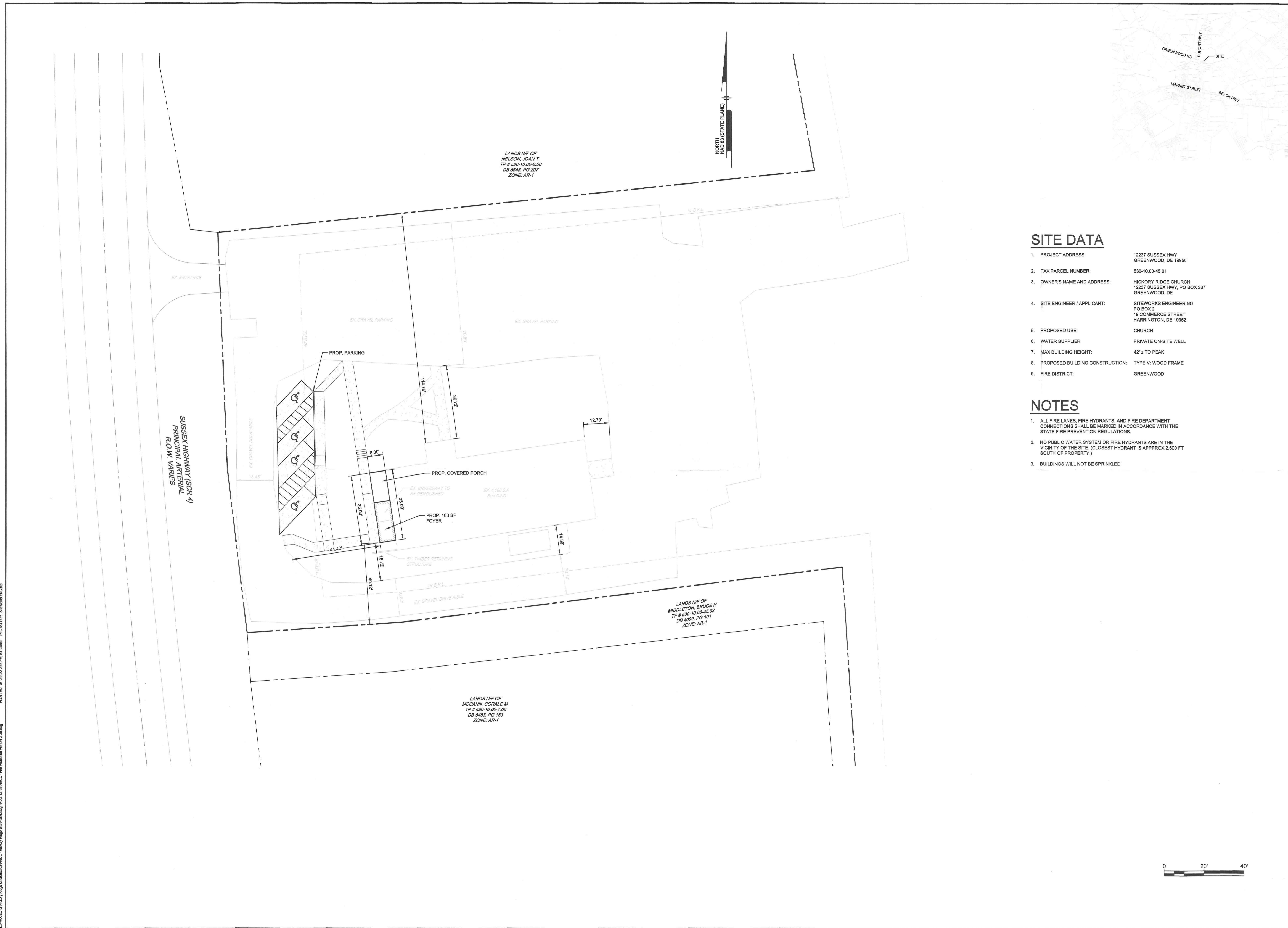
Sincerely,



Edwin Tennefoss, PE | Principal
SITWORKS ENGINEERING

Cc: Brad Kauffman, Alliance Builders
Justin Senesi, Hickory Ridge Church

Z:\PROJECTS\Hickory Ridge Church\2162-HRCC - Hickory Ridge Church\Site Plan\Design\LOT13162-HRCC - Fire Protection Plan 21 X 26.dwg PLOTTED: 8/12/2022 2:28 PM BY: Justin PLOTBY: jshelton

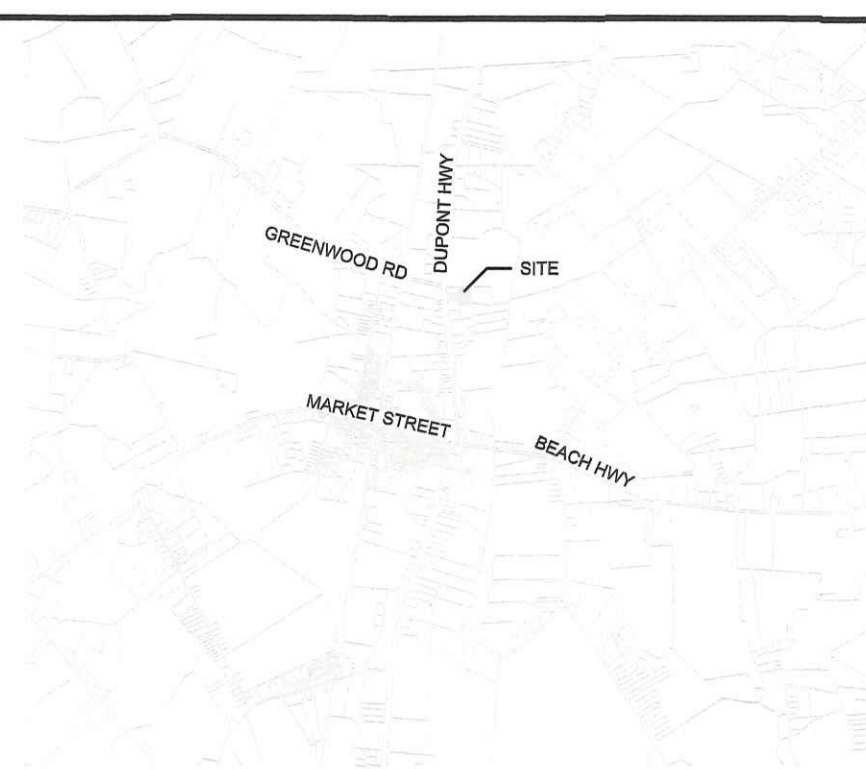


SITE DATA

- 1. PROJECT ADDRESS: 12237 SUSSEX HWY GREENWOOD, DE 19950
- 2. TAX PARCEL NUMBER: 530-10.00-45.01
- 3. OWNER'S NAME AND ADDRESS: HICKORY RIDGE CHURCH 12237 SUSSEX HWY, PO BOX 337 GREENWOOD, DE
- 4. SITE ENGINEER / APPLICANT: SITEWORKS ENGINEERING PO BOX 2 19 COMMERCE STREET HARRINGTON, DE 19952
- 5. PROPOSED USE: CHURCH
- 6. WATER SUPPLIER: PRIVATE ON-SITE WELL
- 7. MAX BUILDING HEIGHT: 42' ± TO PEAK
- 8. PROPOSED BUILDING CONSTRUCTION: TYPE V: WOOD FRAME
- 9. FIRE DISTRICT: GREENWOOD

NOTES

- 1. ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
- 2. NO PUBLIC WATER SYSTEM OR FIRE HYDRANTS ARE IN THE VICINITY OF THE SITE. (CLOSEST HYDRANT IS APPROX 2,600 FT SOUTH OF PROPERTY.)
- 3. BUILDINGS WILL NOT BE SPRINKLED



SITEWORKS ENGINEERING
 PO BOX 2 | 19 COMMERCE ST, HARRINGTON, DE 19952 Phone: (302) 841-7901
FIRE PROTECTION PLAN

HICKORY RIDGE CHURCH
 TAX PARCEL NO. 530-10.00-45.01
 SCR 13 (S DUPONT HIGHWAY)
 NORTH WEST FORK HUNDRED, SUSSEX COUNTY

ISSUE / REVISION BLOCK	
8/11/22 - FIRE MARSHELL	
SCALE	PROJECT #
1" = 20'	2162-HRCC
DRAWN BY	JDC
DRAWING NUMBER	
1	

Michael R. Wigley, AIA, LEED AP
W. Zachary Crouch, P.E.
Michael E. Wheedleton, AIA, LEED GA
Jason P. Loar, P.E.
Ring W. Lardner, P.E.
Jamie L. Sechler, P.E.

August 2, 2022

Sussex County Planning & Zoning
Sussex County Administration Building
2 The Circle
Georgetown, DE 19947

Attn: Mr. Jamie Whitehouse

RE: Red Mill Pond – Amenity
Tax Map Parcel No: 3-34-5.00-170.00
DBF #1319A015

Mr. Whitehouse,

On behalf of the Developer K. Hovnanian, we are requesting the revision of condition number eleven (11) from Conditions approved on August 15th, 2007. Currently, the condition reads, “All amenities and recreational facilities shall be constructed and open for use by the residents of the development within 2 years of the issuance of the first building permit.” The developer met with Homeowner’s in November of 2021 to discuss offering more Amenities than the previous developer. Homeowner’s agreed and updated plans were designed and approved. When the request came to lengthen the requirement for Amenity completion, the developer asked for 1 year from reapproval. However, there was a mix up between the request and what was passed on from staff and the Commission granted an additional year from the original Condition. Based on material lead times K. Hovnanian is requesting this condition be amended to June 23, 2023.

If you have any questions or need additional information, please do not hesitate to contact me at (302) 424-1441 or jls@dbfinc.com

Sincerely,
Davis, Bowen & Friedel, Inc.



Jamie Sechler, P.E.
Principal

Sussex County
Planning & Zoning Commission
2 The Circle
P.O. Box 417
Georgetown, DE 19947

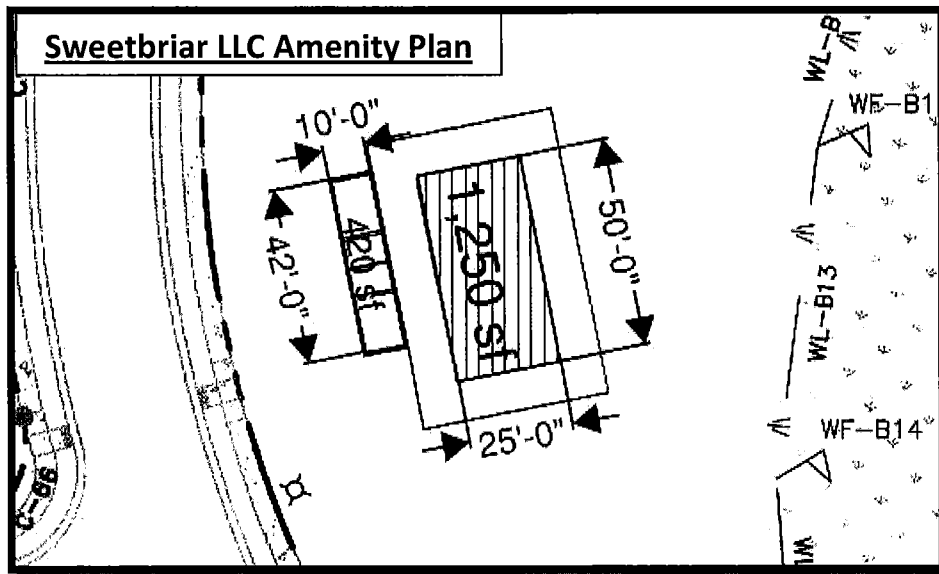
April 5, 2022

RE: The Villages at Red Mill Pond South Amenities Plan

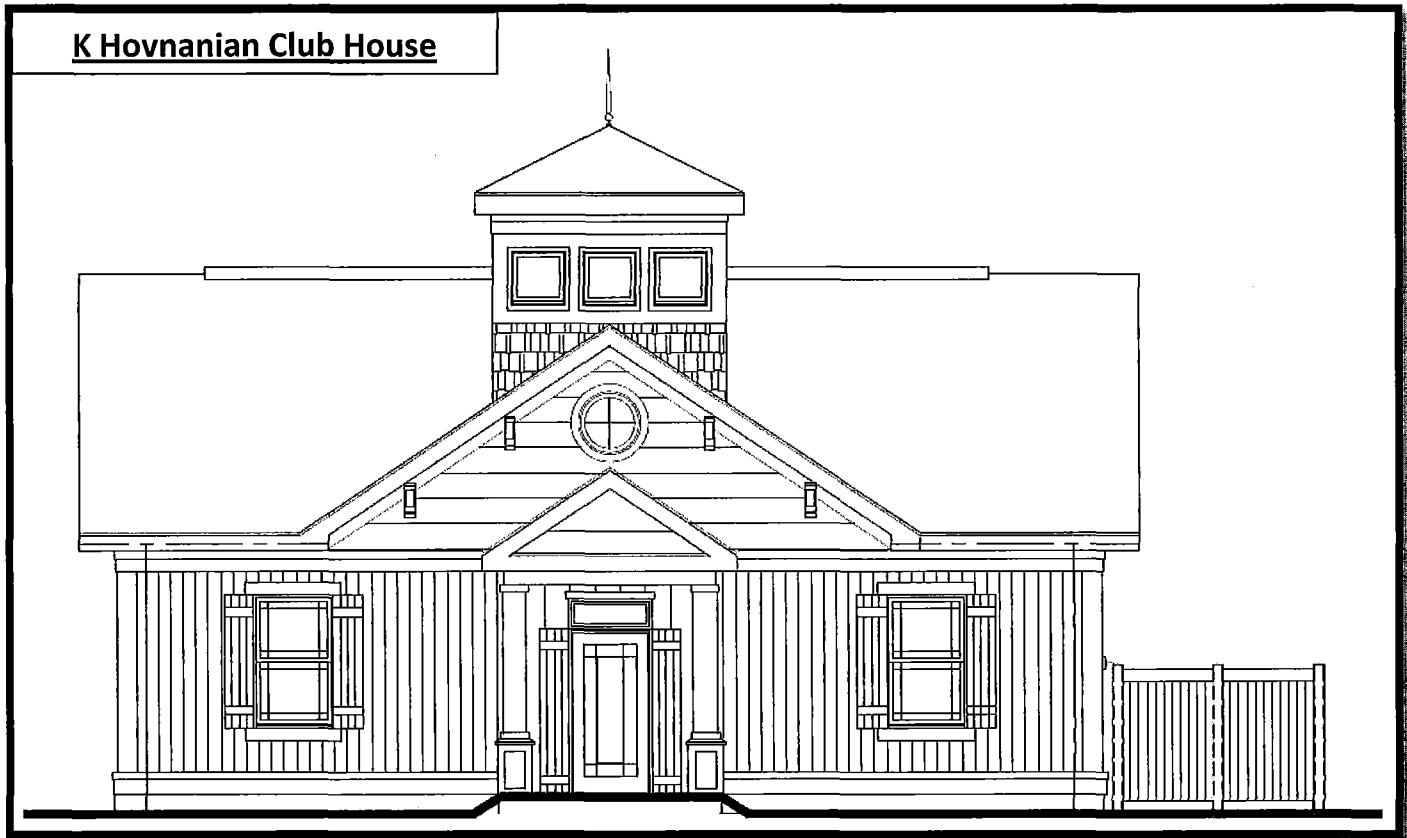
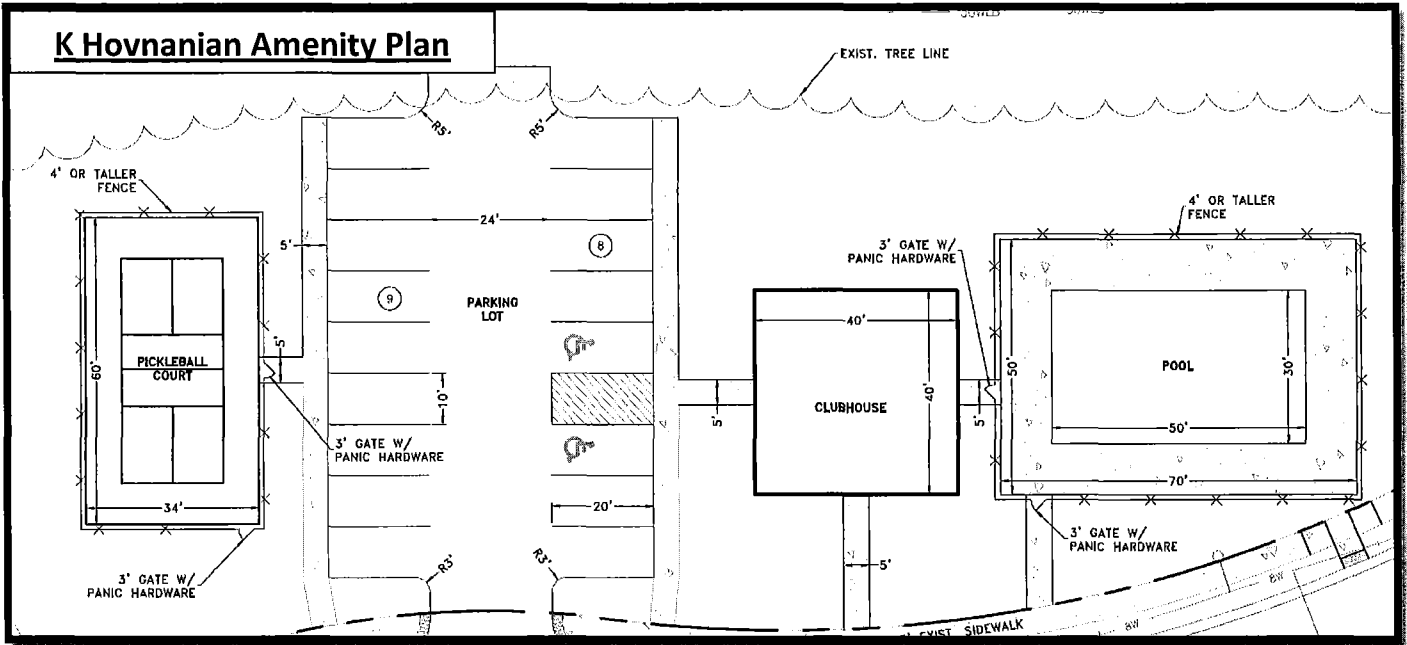
Commissioners,

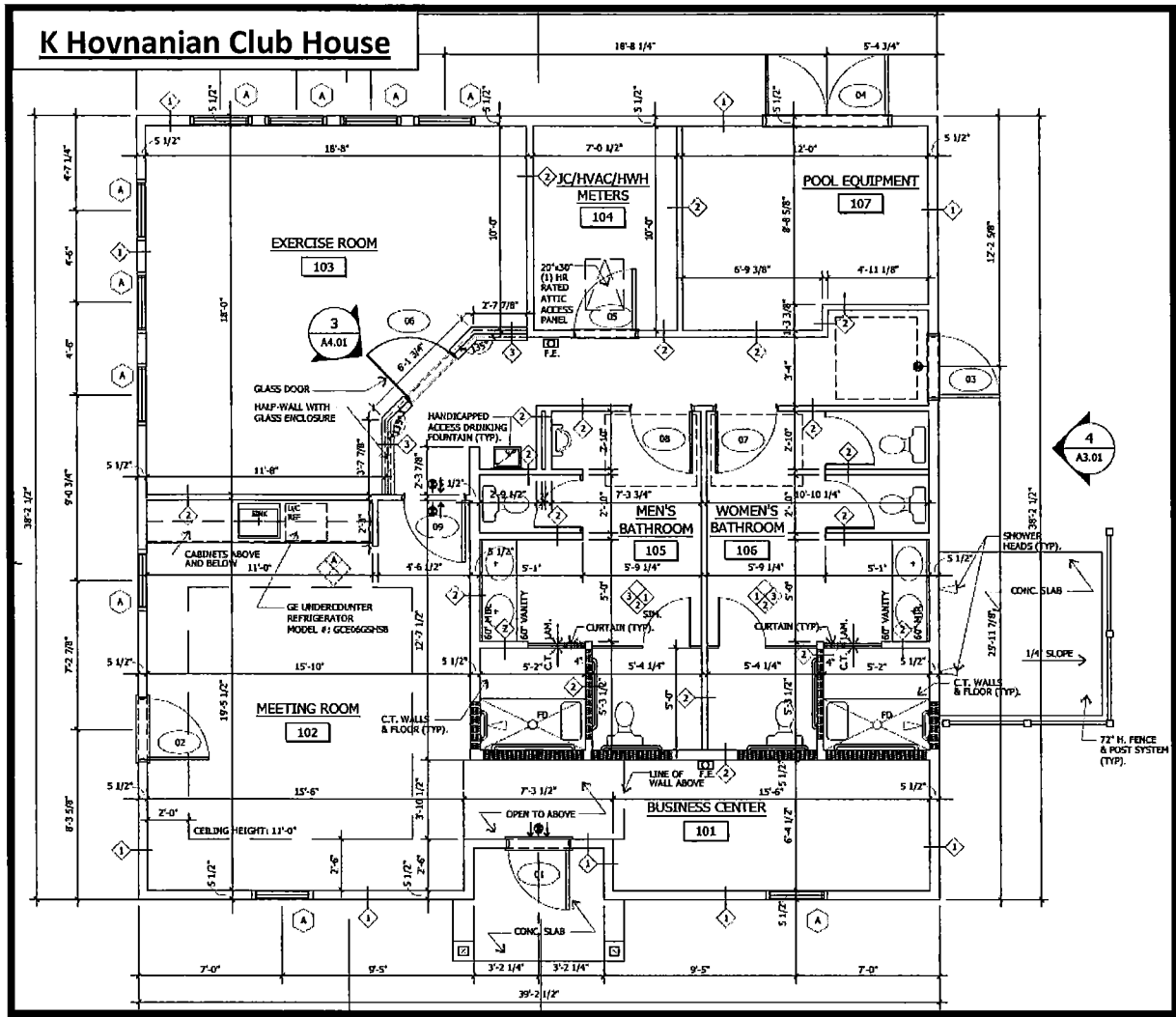
We, the undersigned homeowners in Red Mill Pond South, are in support of K. Hovnanian's submitted Clubhouse Site Plan which is a substantial improvement over the previously recorded amenity for Red Mill Pond South.

The prior planned amenity under Sweetbriar LLC included a small 420 sq ft bathroom and a 1,250 sq ft pool (pictured below):



On November 17th, 2021, K. Hovnanian attended the Annual Homeowner's Association Meeting for Red Mill Pond and presented the planned amenities for Red Mill Pond South. Additionally, a set of the plans were made available to the homeowner board members who sent a letter of approval for the enhancements dated January 25th, 2022. We feel the expanded amenities are generous. They feature an attractively designed 1,600 sq ft clubhouse which will include a kitchen, a meeting space, gym, and restrooms, a 1,500 sq ft pool, a pickleball court and a parking lot (pictured on the next page).





Homeowner Name(s)	Address	Signature
Donald Cooper Sharon Vendetti-Cooper	11048 Greenview Ave	
Daniel McLean	11049 Greenview Ave Apr 9, 2022 7:02:44	DocuSigned by: AM EDT 768ABAF0176D40E...
Gayle McLean	11049 Greenview Ave Apr 8, 2022 6:33:33	DocuSigned by: PM EDT 308DFE3A2424406...
Raymond Tomasky	11054 Greenview Ave	
Brian Porter	11057 Greenview Ave	
Cindy Porter	11057 Greenview Ave Apr 13, 2022 7:56:45	DocuSigned by: AM EDT 11C7BF03A9704E...

<u>Homeowner Name(s)</u>	<u>Address</u>	<u>Signature</u>
Roger Levi Lesley Levi	11058 Greenview Ave Apr 15, 2022 9:05:13	DocuSigned by: PM EDT 2587894130CE4AE...
Gary Kunkel Karen Kunkel	11062 Greenview Ave Apr 8, 2022 2:44:13	DocuSigned by: PM EDT 21C78C938C804E8...
Glen Whims	11064 Greenview Ave Apr 9, 2022 3:49:19	DocuSigned by: PM EDT 00923047DC314F3...
Christina Whims	11064 Greenview Ave Apr 9, 2022 3:50:54	DocuSigned by: PM EDT 32D780610D804DD...
George Mitchell, Jr. Eileen Mitchell	11070 Greenview Ave Apr 9, 2022 7:14:59	DocuSigned by: AM EDT 0090E00E09042A...
Harvey Speed Kimberly Speed	11078 Greenview Ave Apr 12, 2022 10:46:16	DocuSigned by: AM EDT A1705231684E45A...
James Henn Mary Henn	11081 Greenview Ave	
Stuart Wright	11082 Greenview Ave	
Mary Wright	11082 Greenview Ave	
Misty Warren	11097 Greenview Ave Apr 8, 2022 4:32:00	DocuSigned by: PM EDT 1078670DD48040B...
Lourdes Griffin James Griffin	11105 Greenview Ave Apr 8, 2022 4:03:20	DocuSigned by: PM EDT C80023C8E23437...
Michelle Marsh Barbara Sann	11109 Greenview Ave Apr 8, 2022 2:56:08	DocuSigned by: PM EDT F08F4DC1080349F...
Samuel Zingo Helen Zingo	11115 Greenview Ave Apr 9, 2022 6:24:16	DocuSigned by: AM EDT 1A0913D40387470...
William Davis	24011 Havenwood Ln Apr 8, 2022 11:07:34	DocuSigned by: AM EDT 5082F85119040DC...
Beth Davis	24011 Havenwood Ln Apr 8, 2022 3:32:09	DocuSigned by: PM EDT 38A00EAC9ECC43A...
Mark Brennan	24012 Havenwood Ln Apr 9, 2022 7:16:00	DocuSigned by: AM EDT 0316C70341734AA...
Ellen Brennan	24012 Havenwood Ln Apr 9, 2022 9:00:27	DocuSigned by: AM EDT 4DFCE2A875044B...
Darrell Piatt	24013 Havenwood Ln Apr 8, 2022 2:02:07	DocuSigned by: PM EDT 71058A2E2BDAAAE...
Kelly Piatt	24013 Havenwood Ln Apr 8, 2022 7:19:52	DocuSigned by: PM EDT 074FDB1310876EA...
Alyssa Tilelli	24018 Havenwood Ln Apr 8, 2022 2:32:56	DocuSigned by: PM EDT 09027E0A8E0A456...
Joseph Tilelli	24018 Havenwood Ln Apr 8, 2022 2:32:58	DocuSigned by: PM EDT C7DD3F3A8F4F4F3...

<u>Homeowner Name(s)</u>	<u>Address</u>	<u>Signature</u>
Vincent Capitulo	24019 Havenwood Ln Apr 11, 2022 12:25:36	DocuSigned by: PM EDT Vincent Capitulo
Elaina Capitulo	24019 Havenwood Ln Apr 11, 2022 8:13:03	DocuSigned by: AM EDT Elaina Capitulo
Kenneth Kozloff Linda Kozloff	24025 Havenwood Ln	
Bruce Salinger	24026 Havenwood Ln Apr 9, 2022 7:43:21	DocuSigned by: AM EDT Bruce Salinger
Carole Salinger	24026 Havenwood Ln Apr 9, 2022 8:54:47	DocuSigned by: PM EDT Carole Salinger
Carmen Perrone	24031 Havenwood Ln Apr 11, 2022 3:50:47	DocuSigned by: PM EDT Carmen Perrone
Robert Strayer	24032 Havenwood Ln Apr 9, 2022 9:17:28	DocuSigned by: AM EDT Robert Strayer
Thomas Fogle	24032 Havenwood Ln Apr 9, 2022 8:30:51	DocuSigned by: AM EDT Thomas Fogle
Alyson Myers	32010 Deerwood Ln	
Dorren Casey	32014 Deerwood Ln Apr 9, 2022 12:37:12	DocuSigned by: PM EDT Dorren Casey
Dennis Casey	32014 Deerwood Ln Apr 9, 2022 9:29:37	DocuSigned by: AM EDT Dennis Casey
Michael DenDekker	32020 Deerwood Ln Apr 9, 2022 8:36:00	DocuSigned by: AM EDT Michael DenDekker
Angela DenDekker	32020 Deerwood Ln	
Anahid Burkholder	32079 Deerwood Ln Apr 8, 2022 4:46:31	DocuSigned by: PM EDT Anahid Burkholder
Matthew Fiehrer	32085 Deerwood Ln Apr 8, 2022 11:05:01	DocuSigned by: AM EDT Matthew Fiehrer
Ashley Fiehrer	32085 Deerwood Ln Apr 8, 2022 11:01:35	DocuSigned by: AM EDT Ashley Fiehrer
Jack Goodman	32126 Deerwood Ln Apr 9, 2022 12:06:04	DocuSigned by: AM EDT Jack Goodman
Lori Goodman	32126 Deerwood Ln Apr 9, 2022 12:17:00	DocuSigned by: AM EDT Lori Goodman
Thomas Neugebauer	32127 Deerwood Ln Apr 9, 2022 10:01:56	DocuSigned by: AM EDT Thomas Neugebauer
Nancy Neugebauer	32127 Deerwood Ln Apr 9, 2022 9:59:46	DocuSigned by: AM EDT Nancy Neugebauer
Jacqueline Huxtable	32131 Deerwood Ln Apr 8, 2022 3:59:30	DocuSigned by: PM EDT Jacqueline Huxtable

Daniel Huffman
Marc Russell

13063 Laurel Leaf Dr
Apr 11, 2022 | 12:09:49

DocuSigned by:
AM EDT Daniel Huffman
869DBF4F87B6428...

<u>Homeowner Name(s)</u>	<u>Address</u>	<u>Signature</u>
Dennis Barton	32134 Deerwood Ln Apr 8, 2022 3:19:08	DocuSigned by: PM EDT Dennis Barton 840000FC2E8D42B...
Kathleen Barton	32134 Deerwood Ln Apr 8, 2022 3:27:40	DocuSigned by: PM EDT Kathleen Barton 4422222242DF4B3...
Jeffrey Markle Joanne Shanaman	32137 Deerwood Ln Apr 11, 2022 12:14:19	DocuSigned by: PM EDT Jeffrey Markle 8414880CC60489...
Jamie Devine	32140 Deerwood Ln Apr 9, 2022 6:55:21	DocuSigned by: PM EDT Jamie Devine 7E2D8BA6A004F5...
Simon John	32143 Deerwood Ln Apr 8, 2022 4:08:03	DocuSigned by: PM EDT Simon John 48A955A310C242U...
Kelley John	32143 Deerwood Ln Apr 8, 2022 3:40:25	DocuSigned by: PM EDT Kelley John 6E8E744266AF42E...
William Miller, Jr.	32146 Deerwood Ln Apr 8, 2022 11:29:49	DocuSigned by: AM PDT William Miller, Jr. 85CF97AF936442D...
Lauren Groundland	32146 Deerwood Ln Apr 8, 2022 3:31:44	DocuSigned by: PM EDT Lauren Groundland 4E7FF1A2D36D4A6...
Shirley Masakowski	32149 Deerwood Ln Apr 9, 2022 7:50:10	DocuSigned by: AM EDT Shirley Masakowski 9F8A1647D6B343F...
Michael Saienni	32152 Deerwood Ln Apr 8, 2022 2:02:39	DocuSigned by: PM EDT Michael Saienni 186F6A2403840E...
Jeffrey Killion	32157 Deerwood Ln Apr 8, 2022 2:12:46	DocuSigned by: PM EDT Jeffrey Killion 8A9C4B2A4650468...
Mary Killion	32157 Deerwood Ln	
Bruce Marks	32158 Deerwood Ln Apr 9, 2022 10:25:35	DocuSigned by: AM EDT Bruce Marks 71F0E02887E9422...
Robin Marks	32158 Deerwood Ln Apr 9, 2022 11:17:32	DocuSigned by: AM EDT Robin Marks 7C33D418E814436...
Alan Ornitz	32163 Deerwood Ln Apr 8, 2022 2:12:33	DocuSigned by: PM EDT Alan Ornitz 89EF862E2192459...
Elizabeth Aranza	32164 Deerwood Ln Apr 11, 2022 10:49:11	DocuSigned by: AM EDT Elizabeth Aranza E4FBE77486A448B...
Paul Koleszar Donna Koleszar	32169 Deerwood Ln Apr 11, 2022 10:56:26	DocuSigned by: AM EDT Paul and Donna Koleszar 47C33AE7500E499...
Hannah Madden	32170 Deerwood Ln Apr 8, 2022 2:25:39	DocuSigned by: PM EDT Hannah Madden 86D5D42FE0D540C...
Matthew Gaughen	32170 Deerwood Ln Apr 9, 2022 9:35:27	DocuSigned by: AM EDT Matthew Gaughen 4EC02EAMB1B4423...
Joann Rossi	13031 Laurel Leaf Dr Apr 13, 2022 7:39:05	DocuSigned by: AM EDT Joann Rossi
Rocco Scutaro	13045 Laurel Leaf Dr Apr 11, 2022 9:36:36	DocuSigned by: AM EDT Rocco Scutaro 33083F7B652A472... 8215B7EC0ACD473...

Certificate Of Completion

Envelope Id: 8C3D2471EA8246CA8C90FEC57098E79A
Subject: Red Mill Pond South Amenity Letter
Source Envelope:
Document Pages: 6
Certificate Pages: 18
AutoNav: Enabled
EnvelopeId Stamping: Enabled
Time Zone: (UTC-05:00) Eastern Time (US & Canada)

Status: Sent

Envelope Originator:
Jonathan Contant
90 Matawan Rd
5th Fl
Matawan, NJ 07747
jcontant@khov.com
IP Address: 208.87.234.202

Record Tracking

Status: Original
4/8/2022 10:30:25 AM

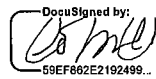
Holder: Jonathan Contant
jcontant@khov.com

Location: DocuSign

Signer Events

Alan Ornitz
alan.ornitz@gmail.com
Security Level: Email, Account Authentication
(None)

Signature



Signature Adoption: Drawn on Device
Signed by link sent to alan.ornitz@gmail.com
Using IP Address: 174.198.206.2
Signed using mobile

Timestamp

Sent: 4/8/2022 1:49:44 PM
Viewed: 4/8/2022 2:11:46 PM
Signed: 4/8/2022 2:12:33 PM

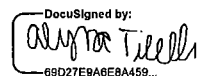
Electronic Record and Signature Disclosure:
Accepted: 9/25/2020 1:17:38 PM
ID: 5163c362-5047-40c5-8d19-e4f9eb0ed084

Alyson Myers
all4aka@gmail.com
Security Level: Email, Account Authentication
(None)

Sent: 4/8/2022 1:49:45 PM
Resent: 4/11/2022 10:01:16 AM
Resent: 4/11/2022 10:45:29 AM

Electronic Record and Signature Disclosure:
Accepted: 11/5/2021 8:04:15 PM
ID: ba67901b-a41e-4f27-839f-833f4d8701d5

Alyssa Tilelli
akuz3@hotmail.com
Security Level: Email, Account Authentication
(None)



Signature Adoption: Drawn on Device
Signed by link sent to akuz3@hotmail.com
Using IP Address: 73.201.104.205
Signed using mobile

Sent: 4/8/2022 1:49:45 PM
Viewed: 4/8/2022 2:03:38 PM
Signed: 4/8/2022 2:32:56 PM

Electronic Record and Signature Disclosure:
Accepted: 4/8/2022 2:03:38 PM
ID: 9cdd698f-5c3b-495f-95d6-7ecd8242b620

Angela DenDekker
add196message@live.com
Security Level: Email, Account Authentication
(None)

Sent: 4/8/2022 1:49:46 PM

Electronic Record and Signature Disclosure:
Not Offered via DocuSign

Signer Events

Anna Burkholder
annaburkholder1@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 9/4/2020 10:37:29 AM
ID: 30544504-df01-4980-9786-85805b8d6852

Ashley Fiehrer
agrove80@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 7/28/2020 2:23:42 PM
ID: 6141c505-d3e5-4337-8668-c44c7328ca0f

Beth Davis
baedavis@live.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 4/8/2022 4:31:23 PM
ID: a4e8a0ab-70e2-4be8-8842-5af36101a95a

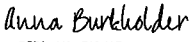
Brian Porter
blp9405@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Not Offered via DocuSign

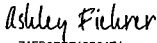
Bruce Marks
brucermarks@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 6/30/2020 5:01:39 PM
ID: 62409602-9312-4afd-909a-f58085daeb8a

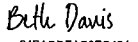
Signature

DocuSigned by:

C5B8141D8F8D407...


Signature Adoption: Pre-selected Style
Signed by link sent to annaburkholder1@gmail.com
Using IP Address: 73.201.110.76
Signed using mobile

DocuSigned by:

71F88EE18B04F4...

Signature Adoption: Pre-selected Style
Signed by link sent to agrove80@gmail.com
Using IP Address: 174.196.136.184
Signed using mobile

DocuSigned by:

94BADDEAC8EC434...

Signature Adoption: Pre-selected Style
Signed by link sent to baedavis@live.com
Using IP Address: 73.133.114.154
Signed using mobile

DocuSigned by:

71F0E02B87E9422...

Signature Adoption: Pre-selected Style
Signed by link sent to brucermarks@gmail.com
Using IP Address: 71.206.58.47

Timestamp

Sent: 4/8/2022 1:49:46 PM
Viewed: 4/8/2022 4:45:59 PM
Signed: 4/8/2022 4:46:31 PM

Sent: 4/8/2022 1:49:47 PM
Viewed: 4/8/2022 2:01:13 PM
Signed: 4/8/2022 2:01:35 PM

Sent: 4/8/2022 1:49:35 PM
Viewed: 4/8/2022 4:31:23 PM
Signed: 4/8/2022 4:32:09 PM

Sent: 4/8/2022 1:49:35 PM

Sent: 4/8/2022 1:49:47 PM
Viewed: 4/9/2022 10:23:21 AM
Signed: 4/9/2022 10:25:35 AM

Signer Events

Bruce Salinger
Bruce.salinger@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 4/9/2022 7:39:45 AM
ID: 7345c111-6ff7-4f04-aa0e-823c2d8537f6

Carmen Perrone
cdperrone@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 8/16/2020 2:59:19 PM
ID: 33aca282-de98-417e-bfbc-019289ca80f1

Carole Salinger
cjsalinger@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 4/9/2022 8:51:18 PM
ID: 04175958-6d62-4cab-b339-01b0ccdbc32e

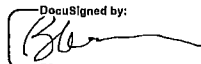
Cindy Porter
PORTER3CL@GMAIL.COM
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 4/13/2022 7:54:12 AM
ID: 3f7740d3-0eb8-4e6e-b1f9-846c462f9305

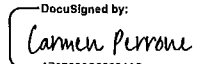
Daniel Huffman and Marc Russell
huffman7659@hotmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 4/11/2022 12:07:45 PM
ID: 8cfcfa56-ec3f-4cda-946e-6a5997a34520

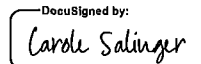
Signature

DocuSigned by:

B8EA38CDB8CE44B...

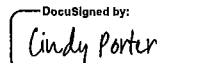
Signature Adoption: Drawn on Device
Signed by link sent to Bruce.salinger@gmail.com
Using IP Address: 73.226.169.47
Signed using mobile

DocuSigned by:

A737990C09224A9...

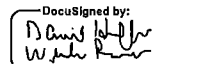
Signature Adoption: Pre-selected Style
Signed by link sent to cdperrone@gmail.com
Using IP Address: 73.133.114.249
Signed using mobile

DocuSigned by:

EE126D304D2A4E0...

Signature Adoption: Pre-selected Style
Signed by link sent to cjsalinger@gmail.com
Using IP Address: 73.226.169.47
Signed using mobile

DocuSigned by:

11C7BF05A9704E4...

Signature Adoption: Pre-selected Style
Signed by link sent to PORTER3CL@GMAIL.COM
Using IP Address: 71.206.56.52

DocuSigned by:

889DBF4F87B6428...

Signature Adoption: Drawn on Device
Signed by link sent to huffman7659@hotmail.com
Using IP Address: 172.58.201.89
Signed using mobile

Timestamp

Sent: 4/8/2022 1:49:47 PM
Viewed: 4/9/2022 7:39:45 AM
Signed: 4/9/2022 7:43:21 AM

Sent: 4/8/2022 1:49:48 PM
Viewed: 4/11/2022 3:47:31 PM
Signed: 4/11/2022 3:50:47 PM

Sent: 4/8/2022 1:49:48 PM
Viewed: 4/9/2022 8:51:18 PM
Signed: 4/9/2022 8:54:47 PM

Sent: 4/8/2022 1:49:36 PM
Viewed: 4/13/2022 7:54:12 AM
Signed: 4/13/2022 7:56:45 AM

Sent: 4/11/2022 10:01:18 AM
Viewed: 4/11/2022 12:07:45 PM
Signed: 4/11/2022 12:09:49 PM

Signer Events

Daniel McLean
Gayle.mc12@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

Accepted: 4/9/2022 6:59:32 AM
ID: d66a683b-aaba-4183-a600-b388f668bba0

Daniel McLean
dmclean53@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

Accepted: 7/8/2020 6:02:33 PM
ID: ee63a54e-6c97-40a3-9f52-f7babeaf8362

Darrell Piatt
darrell@thepiatts.net
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

Accepted: 4/8/2022 1:58:57 PM
ID: a8c01ea9-cc21-4403-ba99-c785e774a673

Dennis Barton
Dbart07@yahoo.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

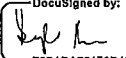
Accepted: 4/8/2022 3:18:26 PM
ID: 39d1cdba-a1f4-426e-94c1-c6552d969cd2

dennis casey
dpcasey88@aol.com
Security Level: Email, Account Authentication
(None)

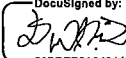
Electronic Record and Signature Disclosure:

Accepted: 4/9/2022 12:15:32 PM
ID: 2939f6a3-d4e5-471a-843b-693176d3082c

Signature

DocuSigned by:

76BABAFO176D40E...

Signature Adoption: Drawn on Device
Signed by link sent to Gayle.mc12@gmail.com
Using IP Address: 71.206.16.100
Signed using mobile

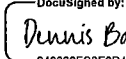
DocuSigned by:

29BDFE2A2424498...

Signature Adoption: Drawn on Device
Signed by link sent to dmclean53@gmail.com
Using IP Address: 71.206.16.100

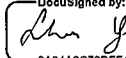
DocuSigned by:

71058A2E2BDA4A8...

Signature Adoption: Pre-selected Style
Signed by link sent to darrell@thepiatts.net
Using IP Address: 73.134.183.65

DocuSigned by:

94966FC2E9D42B...

Signature Adoption: Pre-selected Style
Signed by link sent to Dbart07@yahoo.com
Using IP Address: 73.134.198.91

DocuSigned by:

0A84A9C79DFF422...

Signature Adoption: Drawn on Device
Signed by link sent to dpcasey88@aol.com
Using IP Address: 73.134.189.192
Signed using mobile

Timestamp

Sent: 4/8/2022 1:49:37 PM
Viewed: 4/9/2022 6:59:32 AM
Signed: 4/9/2022 7:02:44 AM

Sent: 4/8/2022 1:49:38 PM
Viewed: 4/8/2022 6:28:09 PM
Signed: 4/8/2022 6:33:33 PM

Sent: 4/8/2022 1:49:49 PM
Viewed: 4/8/2022 1:58:57 PM
Signed: 4/8/2022 2:02:07 PM

Sent: 4/8/2022 1:49:49 PM
Viewed: 4/8/2022 3:18:26 PM
Signed: 4/8/2022 3:19:08 PM

Sent: 4/8/2022 1:49:50 PM
Viewed: 4/9/2022 12:15:32 PM
Signed: 4/9/2022 12:29:37 PM

Signer Events

Donald and Sharon Cooper
dccooperjr@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Not Offered via DocuSign

Dorren Casey
dorrenc@aol.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 4/9/2022 12:36:00 PM
ID: e205723b-5f00-49af-ba80-d8a4ce04ef74

Elizabeth Aranza
lizaranza16@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 6/3/2021 4:13:37 PM
ID: 66b8c458-bf7d-4894-9348-2aeb63e496e6

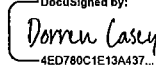
Ellen Brennan
ellenbrennan2501@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 4/8/2022 2:07:38 PM
ID: 4de9b1b6-651d-419e-bb60-6af53e7f9147

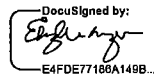
GARY D KUNKEL
pappydean@msn.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 6/3/2020 10:35:12 AM
ID: e3cf1c27-5bc8-4f5b-93aa-2c9a2c3a62dc

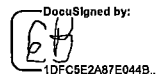
Signature

DocuSigned by:

4ED780C1E13A437...

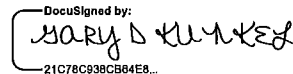
Signature Adoption: Pre-selected Style
Signed by link sent to dorrenc@aol.com
Using IP Address: 73.134.189.192

DocuSigned by:

E4FDE77188A149B...

Signature Adoption: Drawn on Device
Signed by link sent to lizaranza16@gmail.com
Using IP Address: 98.233.153.202

DocuSigned by:

1DFC5E2A87E044B...

Signature Adoption: Drawn on Device
Signed by link sent to ellenbrennan2501@gmail.com
Using IP Address: 96.227.242.233
Signed using mobile

DocuSigned by:

21C78C938CB84E8...

Signature Adoption: Pre-selected Style
Signed by link sent to pappydean@msn.com
Using IP Address: 73.129.40.214

Timestamp

Sent: 4/8/2022 1:49:37 PM

Sent: 4/8/2022 1:49:50 PM
Viewed: 4/9/2022 12:36:00 PM
Signed: 4/9/2022 12:37:12 PM

Sent: 4/8/2022 1:49:51 PM
Viewed: 4/11/2022 10:48:12 AM
Signed: 4/11/2022 10:49:11 AM


Sent: 4/8/2022 1:49:37 PM
Viewed: 4/8/2022 2:07:40 PM
Signed: 4/9/2022 9:00:27 AM

Sent: 4/8/2022 1:49:38 PM
Viewed: 4/8/2022 2:42:02 PM
Signed: 4/8/2022 2:44:13 PM

Signer Events

George and Eileen Mitchell
gsagejr@gmail.com
Security Level: Email, Account Authentication
(None)

Signature

DocuSigned by:

BD3D0E68E9CB42A...

Signature Adoption: Pre-selected Style
Signed by link sent to gsagejr@gmail.com
Using IP Address: 172.225.112.181

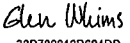
Timestamp

Sent: 4/8/2022 1:49:38 PM
Viewed: 4/9/2022 7:11:32 AM
Signed: 4/9/2022 7:14:59 AM

Electronic Record and Signature Disclosure:

Accepted: 4/9/2022 7:11:32 AM
ID: c22e7180-0dca-40b7-92eb-53362dc6797d

Glen Whims
gwhims@aol.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

32D780610D694DD...

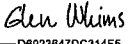
Signature Adoption: Pre-selected Style
Signed by link sent to gwhims@aol.com
Using IP Address: 71.206.56.168
Signed using mobile

Sent: 4/8/2022 1:49:36 PM
Viewed: 4/8/2022 5:24:47 PM
Signed: 4/9/2022 3:50:54 PM

Electronic Record and Signature Disclosure:

Accepted: 6/3/2020 10:25:29 AM
ID: fb49825e-6d4a-4115-beb2-0ef329882db0

Glen Whims
twhims@aol.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

D6923647DC314F5...


Signature Adoption: Pre-selected Style
Signed by link sent to twhims@aol.com
Using IP Address: 71.206.56.168

Sent: 4/8/2022 1:49:39 PM
Viewed: 4/9/2022 3:47:22 PM
Signed: 4/9/2022 3:49:19 PM

Electronic Record and Signature Disclosure:

Accepted: 4/9/2022 3:47:22 PM
ID: 766e74ee-2e3b-48c3-bfb7-c75a56d6b69a

Hannah Madden
Hannah.madden@yahoo.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

95B5912FEBB548C...

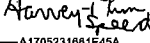
Signature Adoption: Drawn on Device
Signed by link sent to Hannah.madden@yahoo.com
Using IP Address: 166.137.175.68
Signed using mobile

Sent: 4/8/2022 1:49:51 PM
Viewed: 4/8/2022 2:25:07 PM
Signed: 4/8/2022 2:25:39 PM

Electronic Record and Signature Disclosure:

Accepted: 1/7/2021 2:31:43 PM
ID: a0618178-21dd-486c-a687-820fdce0396a

Harvey and Kimberly Speed
lilkid1@comcast.net
Security Level: Email, Account Authentication
(None)

DocuSigned by:

A1705231661E45A...

Signature Adoption: Drawn on Device
Signed by link sent to lilkid1@comcast.net
Using IP Address: 107.77.194.6
Signed using mobile

Sent: 4/8/2022 1:49:39 PM
Viewed: 4/10/2022 1:04:28 PM
Signed: 4/13/2022 1:46:16 AM

Electronic Record and Signature Disclosure:

Accepted: 4/10/2022 1:04:28 PM
ID: 4ac9539f-22e9-4cad-a7b0-31a2cf21a379

Signer Events

Jack Goodman
jack_goodman@comcast.net
Security Level: Email, Account Authentication
(None)

Signature

DocuSigned by:

32EF7138A1744F3...

Signature Adoption: Pre-selected Style
Signed by link sent to jack_goodman@comcast.net
Using IP Address: 73.195.42.238

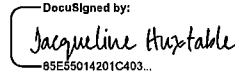
Timestamp

Sent: 4/8/2022 1:49:51 PM
Viewed: 4/8/2022 2:29:02 PM
Signed: 4/9/2022 12:06:04 AM

Electronic Record and Signature Disclosure:

Accepted: 4/8/2022 2:29:02 PM
ID: f7c4e172-52e9-423f-9388-ff30b5e99037

Jacqueline Huxtable
jhuxtab28@gmail.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

85E55014201C403...

Signature Adoption: Pre-selected Style
Signed by link sent to jhuxtab28@gmail.com
Using IP Address: 71.206.59.198

Sent: 4/8/2022 1:49:52 PM
Viewed: 4/8/2022 3:53:17 PM
Signed: 4/8/2022 3:59:30 PM

Electronic Record and Signature Disclosure:

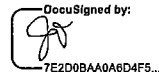
Accepted: 4/8/2022 3:53:17 PM
ID: 555fefd4-a536-41ea-988a-091ca0337a04

James and Mary Henn
kbhenn@verizon.net
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

Not Offered via DocuSign

Jamie Devine
jmdtaz2007@comcast.net
Security Level: Email, Account Authentication
(None)

DocuSigned by:

7E2D0BAA0A6D4F5...

Signature Adoption: Drawn on Device
Signed by link sent to jmdtaz2007@comcast.net
Using IP Address: 73.133.114.95
Signed using mobile

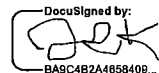
Sent: 4/8/2022 1:49:40 PM

Sent: 4/8/2022 1:49:52 PM
Viewed: 4/9/2022 6:53:50 PM
Signed: 4/9/2022 6:55:21 PM

Electronic Record and Signature Disclosure:

Accepted: 7/18/2020 4:13:08 PM
ID: ce4514cd-feca-4d2d-b8fd-1e77899ab200

Jeffrey Killion
jkillion58@gmail.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

BAGC4B2A4658408...

Signature Adoption: Drawn on Device
Signed by link sent to jkillion58@gmail.com
Using IP Address: 73.134.194.222
Signed using mobile

Sent: 4/8/2022 1:49:53 PM
Viewed: 4/8/2022 2:10:25 PM
Signed: 4/8/2022 2:12:46 PM

Electronic Record and Signature Disclosure:

Accepted: 4/8/2022 2:10:25 PM
ID: 1a993da5-507b-4b58-b3f1-5946212e6561

Signer Events

Jeffrey Markle and Joanne Shanaman
jamarkle@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 4/11/2022 12:12:58 PM
ID: 4fbe219f-b41a-4d9e-b4a0-6255a5b014af

Joann Rossi
rossijoann5@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 7/29/2020 5:35:30 PM
ID: 1ece90d2-a12c-4543-9b94-c80b6cf5006d

Joseph Tilelli
j.tilelli@yahoo.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 4/8/2022 2:29:36 PM
ID: 7dc4445e-762d-4fb4-9101-4f081a64c650


Kathleen Barton
katbart57@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 4/8/2022 3:15:07 PM
ID: f6322fd8-8d19-4051-a43b-290ca22cdd0f

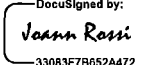
Kelley John
kelleyjohn@outlook.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 10/4/2020 4:06:49 PM
ID: d671a1ff-0a69-4eb6-b008-50a9b209b3c2

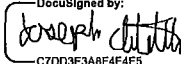
Signature

DocuSigned by:

B4148B0CC6A6469...

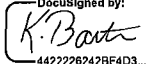
Signature Adoption: Drawn on Device
Signed by link sent to jamarkle@gmail.com
Using IP Address: 98.115.106.5
Signed using mobile

DocuSigned by:

33083F7B652A472...

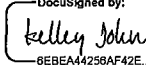
Signature Adoption: Pre-selected Style
Signed by link sent to rossijoann5@gmail.com
Using IP Address: 71.206.57.184
Signed using mobile

DocuSigned by:

C7DD3F3A6F4F4F5...

Signature Adoption: Drawn on Device
Signed by link sent to j.tilelli@yahoo.com
Using IP Address: 73.201.104.205
Signed using mobile

DocuSigned by:

4422226242BF4D3...

Signature Adoption: Drawn on Device
Signed by link sent to katbart57@gmail.com
Using IP Address: 173.63.233.18
Signed using mobile

DocuSigned by:

0EBEA44258AF42E...

Signature Adoption: Pre-selected Style
Signed by link sent to kelleyjohn@outlook.com
Using IP Address: 73.134.177.87
Signed using mobile

Timestamp

Sent: 4/8/2022 1:49:53 PM
Resent: 4/8/2022 1:52:25 PM
Resent: 4/11/2022 10:01:17 AM
Viewed: 4/11/2022 12:12:58 PM
Signed: 4/11/2022 12:14:19 PM

Sent: 4/11/2022 10:01:17 AM
Viewed: 4/11/2022 10:03:11 AM
Signed: 4/13/2022 7:39:05 AM

Sent: 4/8/2022 1:49:53 PM
Viewed: 4/8/2022 2:29:36 PM
Signed: 4/8/2022 2:32:58 PM

Sent: 4/8/2022 1:49:54 PM
Viewed: 4/8/2022 3:15:07 PM
Signed: 4/8/2022 3:27:40 PM

Sent: 4/8/2022 1:49:54 PM
Viewed: 4/8/2022 6:34:42 PM
Signed: 4/8/2022 6:40:25 PM

Signer Events

Kelly Piatt
Kelly@thepiatts.net
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

Accepted: 4/8/2022 7:18:24 PM
ID: 79a22113-721a-48d1-a949-31225828de3f

Kenneth and Linda Kozloff
Kkozloff@verizon.net
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

Accepted: 9/17/2020 11:20:27 AM
ID: 0d017656-29a8-48ae-b087-6325c383b6f5

Lauren Groundland
lauren.groundland@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

Accepted: 4/8/2022 3:30:08 PM
ID: cae50148-1e45-46a8-afc8-0c26785cebbf

Lori Goodman
goodwoman1021@aol.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

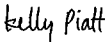
Accepted: 4/9/2022 12:16:20 AM
ID: 7c3956fd-bae1-4efd-a421-d02353576436

Lourdes and James Griffin
lggriffin3@gmail.com
Security Level: Email, Account Authentication
(None)


Electronic Record and Signature Disclosure:

Accepted: 4/8/2022 7:01:40 PM
ID: e889e2a2-5c64-441c-8a59-6d6a9d5700fa


Signature

DocuSigned by:

D14FD813168A4EA...


Signature Adoption: Pre-selected Style
Signed by link sent to Kelly@thepiatts.net
Using IP Address: 73.134.183.65
Signed using mobile

DocuSigned by:

4E7FF1A2D38D4A8...

Signature Adoption: Pre-selected Style
Signed by link sent to lauren.groundland@gmail.com
Using IP Address: 207.245.79.203

DocuSigned by:

1C80449EBE874F1...

Signature Adoption: Pre-selected Style
Signed by link sent to goodwoman1021@aol.com
Using IP Address: 73.195.42.238

DocuSigned by:

C46023CAEA23437...

Signature Adoption: Pre-selected Style
Signed by link sent to lggriffin3@gmail.com
Using IP Address: 198.50.64.253

Timestamp

Sent: 4/8/2022 1:49:55 PM
Viewed: 4/8/2022 7:18:24 PM
Signed: 4/8/2022 7:19:52 PM

Sent: 4/8/2022 1:49:55 PM
Viewed: 4/9/2022 9:35:04 AM

Sent: 4/8/2022 1:49:55 PM
Viewed: 4/8/2022 3:30:08 PM
Signed: 4/8/2022 3:31:44 PM

Sent: 4/8/2022 1:49:56 PM
Viewed: 4/9/2022 12:16:20 AM
Signed: 4/9/2022 12:17:00 AM

Sent: 4/8/2022 1:49:40 PM
Viewed: 4/8/2022 7:01:40 PM
Signed: 4/8/2022 7:03:20 PM

Signer Events

Marie Capitulo
marieperaza@msn.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

Accepted: 3/8/2021 7:18:06 PM
ID: 205235b6-d032-47c0-ad92-3a666c576892

Mark Brennan
markbrennan64@comcast.net
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

Accepted: 6/23/2020 7:59:09 AM
ID: ba3a0b4f-6a49-4460-b43e-977add26b347

Mary Killion
marykillion@verizon.net
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

Accepted: 3/4/2021 4:37:18 PM
ID: 95ad812a-3fcf-4ac6-8bfc-5e7f9137b1f2

Mary Wright
mcwrighth@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

Accepted: 4/2/2020 10:54:53 AM
ID: 52b89c34-e375-45ae-be85-035b19fd3aee

Matthew Fiehrer
mfiehrer@yahoo.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

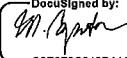
Accepted: 8/14/2020 3:48:35 PM
ID: 10894cfe-06ea-4504-a75f-5a3e03451ad8

Matthew Gaughen
mjg1558@gmail.com
Security Level: Email, Account Authentication
(None)

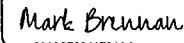
Electronic Record and Signature Disclosure:

Accepted: 4/9/2022 9:33:32 AM
ID: ccb994fb-251f-489e-8f16-2defee1ee873

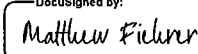
Signature

DocuSigned by:

C8E9F9C042B44A0...

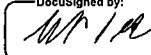
Signature Adoption: Drawn on Device
Signed by link sent to marieperaza@msn.com
Using IP Address: 174.198.12.205
Signed using mobile

DocuSigned by:

0316C70341734A4...

Signature Adoption: Pre-selected Style
Signed by link sent to markbrennan64@comcast.net
Using IP Address: 96.227.242.233
Signed using mobile

DocuSigned by:

FAFAB891F8A54F5...

Signature Adoption: Pre-selected Style
Signed by link sent to mfiehrer@yahoo.com
Using IP Address: 98.233.155.221
Signed using mobile

DocuSigned by:

4EC02EA4B1B4423...

Signature Adoption: Drawn on Device
Signed by link sent to mjg1558@gmail.com
Using IP Address: 104.28.55.184
Signed using mobile

Timestamp

Sent: 4/8/2022 1:49:50 PM
Viewed: 4/11/2022 8:09:43 AM
Signed: 4/11/2022 8:13:03 AM

Sent: 4/8/2022 1:49:41 PM
Viewed: 4/9/2022 7:14:31 AM
Signed: 4/9/2022 7:16:00 AM

Sent: 4/8/2022 1:49:56 PM

Sent: 4/8/2022 1:49:41 PM

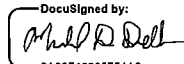
Sent: 4/8/2022 1:49:57 PM
Viewed: 4/8/2022 2:04:18 PM
Signed: 4/8/2022 2:05:01 PM

Sent: 4/8/2022 1:49:57 PM
Viewed: 4/9/2022 9:33:32 AM
Signed: 4/9/2022 9:35:27 AM

Signer Events

Michael DenDekker
mgdendekker@gmail.com
Security Level: Email, Account Authentication
(None)

Signature

DocuSigned by:

0A02F18365754A9...

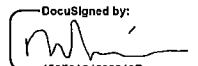
Signature Adoption: Drawn on Device
Signed by link sent to mgdendekker@gmail.com
Using IP Address: 73.134.164.83
Signed using mobile

Timestamp

Sent: 4/8/2022 1:49:58 PM
Viewed: 4/9/2022 8:35:09 AM
Signed: 4/9/2022 8:36:00 AM

Electronic Record and Signature Disclosure:
Accepted: 4/9/2022 8:35:09 AM
ID: e9b246b9-fe9f-47cd-9a5d-25b9debf3033

Michael Saienni
bassmaster41253@gmail.com
Security Level: Email, Account Authentication
(None)

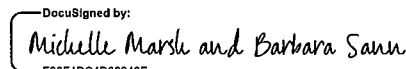
DocuSigned by:

159F8A24663840E...

Signature Adoption: Drawn on Device
Signed by link sent to bassmaster41253@gmail.com
Using IP Address: 73.134.198.114
Signed using mobile

Sent: 4/8/2022 1:49:58 PM
Viewed: 4/8/2022 1:59:52 PM
Signed: 4/8/2022 2:02:39 PM

Electronic Record and Signature Disclosure:
Accepted: 11/16/2020 2:35:40 PM
ID: a23de27b-38d0-41a2-9764-8355a3b8d371

Michelle Marsh and Barbara Sann
sannmarhrs@gmail.com
Security Level: Email, Account Authentication
(None)

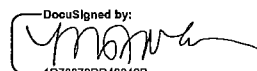
DocuSigned by:

F06F4DC4D60349F...

Signature Adoption: Pre-selected Style
Signed by link sent to sannmarhrs@gmail.com
Using IP Address: 71.206.16.134

Sent: 4/8/2022 1:49:42 PM
Viewed: 4/8/2022 2:53:31 PM
Signed: 4/8/2022 2:56:08 PM

Electronic Record and Signature Disclosure:
Accepted: 4/8/2022 2:53:31 PM
ID: bf443ec7-ffd1-47f1-bcf3-554fde405ad5

Misty Joy Warren
mistyjwarren@gmail.com
Security Level: Email, Account Authentication
(None)

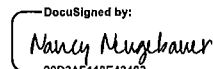
DocuSigned by:

1D78879DD48040B...

Signature Adoption: Drawn on Device
Signed by link sent to mistyjwarren@gmail.com
Using IP Address: 73.133.114.33
Signed using mobile

Sent: 4/8/2022 1:49:42 PM
Viewed: 4/8/2022 4:31:16 PM
Signed: 4/8/2022 4:32:00 PM

Electronic Record and Signature Disclosure:
Accepted: 7/27/2020 9:17:12 AM
ID: 62d69014-16a3-47ff-9d50-c6ef2fb0e535

Nancy Neugebauer
shopmom1952@comcast.net
Security Level: Email, Account Authentication
(None)

DocuSigned by:

20D3AF118E43483...

Signature Adoption: Pre-selected Style
Signed by link sent to shopmom1952@comcast.net
Using IP Address: 73.107.4.20
Signed using mobile

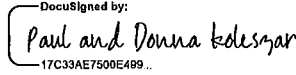
Sent: 4/8/2022 1:49:59 PM
Viewed: 4/9/2022 9:56:07 AM
Signed: 4/9/2022 9:59:46 AM

Electronic Record and Signature Disclosure:
Accepted: 9/1/2020 10:21:34 AM
ID: cc23c1fd-44d5-470a-b6fc-4401b46fc269

Signer Events

Paul and Donna Koleszar
pkoleszar@comcast.net
Security Level: Email, Account Authentication
(None)

Signature

DocuSigned by:

17C33AE7500E499...

Signature Adoption: Pre-selected Style
Signed by link sent to pkoleszar@comcast.net
Using IP Address: 8.44.152.176

Timestamp

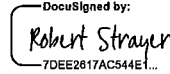
Sent: 4/8/2022 1:49:59 PM
Viewed: 4/11/2022 10:54:10 AM
Signed: 4/11/2022 10:56:26 AM

Electronic Record and Signature Disclosure:
Accepted: 4/11/2022 10:54:10 AM
ID: f97e94eb-8c48-4096-849f-0e9bc3c5b709

Raymond Tomasky
raysgreenergrass@aol.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 7/28/2020 7:37:48 PM
ID: 4b3e0f0c-c871-4b5a-a67b-e9ed23c4524e

Robert Strayer
1960rms@gmail.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

7DEE2617AC544E1...

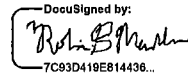
Signature Adoption: Pre-selected Style
Signed by link sent to 1960rms@gmail.com
Using IP Address: 76.99.255.97
Signed using mobile

Sent: 4/8/2022 1:49:42 PM

Sent: 4/8/2022 1:50:00 PM
Viewed: 4/9/2022 9:16:11 AM
Signed: 4/9/2022 9:17:28 AM

Electronic Record and Signature Disclosure:
Accepted: 7/28/2020 12:13:51 PM
ID: 056ef28b-86e7-456a-91ba-3b436256ed09

Robin Marks
marks0006@gmail.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

7C93D419E814438...

Signature Adoption: Drawn on Device
Signed by link sent to marks0006@gmail.com
Using IP Address: 71.206.58.47
Signed using mobile

Sent: 4/8/2022 1:50:00 PM
Viewed: 4/9/2022 11:14:10 AM
Signed: 4/9/2022 11:17:32 AM

Electronic Record and Signature Disclosure:
Accepted: 4/9/2022 11:14:10 AM
ID: cabb5694-3732-4615-a81e-38acd280176d

Rocco Scutaro
rocco.scutaro@icloud.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

6215B7EC0ACD473...

Signature Adoption: Pre-selected Style
Signed by link sent to rocco.scutaro@icloud.com
Using IP Address: 73.133.114.173
Signed using mobile

Sent: 4/11/2022 10:01:18 AM
Viewed: 4/11/2022 11:35:48 AM
Signed: 4/11/2022 11:36:36 AM

Electronic Record and Signature Disclosure:
Accepted: 4/11/2022 11:35:48 AM
ID: b5e3e382-8a4e-4577-a752-c3d096574e87

Roger and Lesley Levi
rogerlevi@hotmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 7/8/2020 9:07:06 PM
ID: d29953b3-3fcf-442b-aab3-13f5b7db744f

Signed on 4/15/22

Sent: 4/8/2022 1:49:43 PM

Signer Events

Samuel Zingo
zaman27@aol.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 6/3/2020 4:08:32 PM
ID: 2063c176-e264-471a-9f53-1a3db3ffe6c6

Shirley Masakowski
toots53@comcast.net
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 9/13/2020 5:35:05 PM
ID: f26ecd37-21c2-421d-8fe7-a8de533416d9

Simon John
simon-tjohn@outlook.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 10/4/2020 6:27:47 AM
ID: 9aa4add8-7d87-4550-98ff-5bee7aa74dea

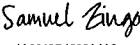
Stuart Wright
swrighth9@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 4/2/2020 10:40:25 AM
ID: 3ae5f584-357e-42b0-9ceb-f4ed78b02b55


Thomas Fogle
tfogle53@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 4/9/2022 8:28:14 AM
ID: 1bf1d82d-1b7e-438f-920e-38922da6c755

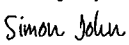
Signature

DocuSigned by:

1A0313D4638A4A0...

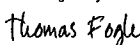
Signature Adoption: Pre-selected Style
Signed by link sent to zaman27@aol.com
Using IP Address: 107.77.195.231
Signed using mobile

DocuSigned by:

0F8A1017BCB343F...

Signature Adoption: Pre-selected Style
Signed by link sent to toots53@comcast.net
Using IP Address: 73.129.46.11

DocuSigned by:

48A955A310C2420...

Signature Adoption: Pre-selected Style
Signed by link sent to simon-tjohn@outlook.com
Using IP Address: 73.134.177.87
Signed using mobile

DocuSigned by:

DFC0080E80C9476...

Signature Adoption: Pre-selected Style
Signed by link sent to tfogle53@gmail.com
Using IP Address: 76.99.255.97

Timestamp

Sent: 4/8/2022 1:49:43 PM
Viewed: 4/9/2022 6:22:33 AM
Signed: 4/9/2022 6:24:16 AM

Sent: 4/8/2022 1:50:00 PM
Viewed: 4/8/2022 2:16:32 PM
Signed: 4/9/2022 7:50:10 AM

Sent: 4/8/2022 1:50:01 PM
Viewed: 4/8/2022 4:06:38 PM
Signed: 4/8/2022 4:08:03 PM

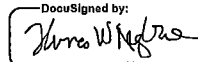
Sent: 4/8/2022 1:49:44 PM

Sent: 4/8/2022 1:50:01 PM
Viewed: 4/9/2022 8:28:15 AM
Signed: 4/9/2022 8:30:51 AM

Signer Events

Thomas Neugebauer
T5907@aol.com
Security Level: Email, Account Authentication
(None)

Signature

DocuSigned by:

778B12C88B57413...

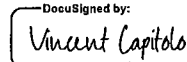
Signature Adoption: Drawn on Device
Signed by link sent to T5907@aol.com
Using IP Address: 73.107.4.20
Signed using mobile

Timestamp

Sent: 4/8/2022 1:50:02 PM
Viewed: 4/9/2022 10:00:36 AM
Signed: 4/9/2022 10:01:56 AM

Electronic Record and Signature Disclosure:
Accepted: 4/9/2022 10:00:36 AM
ID: c2bc9d4d-7a0f-41fc-957d-aa9086b544a5

Vincent Capitulo
vcapitolo@msn.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

9F34F8935D0D4A0...

Signature Adoption: Pre-selected Style
Signed by link sent to vcapitolo@msn.com
Using IP Address: 63.119.143.90

Sent: 4/8/2022 1:50:02 PM
Viewed: 4/11/2022 3:22:42 PM
Signed: 4/11/2022 3:25:36 PM

Electronic Record and Signature Disclosure:
Accepted: 4/11/2022 3:22:42 PM
ID: 911ff051-8c5e-4707-aa2d-5897d4b38cee

William Davis
wmddavis@gmail.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

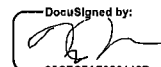
5B62FB5113D84DC...

Signature Adoption: Pre-selected Style
Signed by link sent to wmddavis@gmail.com
Using IP Address: 73.133.114.154
Signed using mobile

Sent: 4/8/2022 1:49:44 PM
Viewed: 4/8/2022 2:06:28 PM
Signed: 4/8/2022 2:07:34 PM

Electronic Record and Signature Disclosure:
Accepted: 4/8/2022 2:06:28 PM
ID: 65aa4059-2c69-42f4-8c53-3a2205417549

William Miller, Jr.
bmiller@wilmingtonfriends.org
Security Level: Email, Account Authentication
(None)

DocuSigned by:

85CF67AF936442D...

Signature Adoption: Drawn on Device
Signed by link sent to bmiller@wilmingtonfriends.org
Using IP Address: 174.216.49.93
Signed using mobile

Sent: 4/8/2022 1:50:03 PM
Viewed: 4/8/2022 2:23:23 PM
Signed: 4/8/2022 2:29:49 PM

Electronic Record and Signature Disclosure:
Accepted: 4/8/2022 2:23:23 PM
ID: dbf24e76-84f8-4f8b-b27a-bad116beb6bc

In Person Signer Events

Signature

Timestamp

Editor Delivery Events

Status

Timestamp

Agent Delivery Events

Status

Timestamp

Intermediary Delivery Events

Status

Timestamp

Certified Delivery Events

Status

Timestamp

Carbon Copy Events

Status

Timestamp

Witness Events	Signature	Timestamp
-----------------------	------------------	------------------

Notary Events	Signature	Timestamp
----------------------	------------------	------------------

Envelope Summary Events	Status	Timestamps
--------------------------------	---------------	-------------------

Envelope Sent	Hashed/Encrypted	4/8/2022 1:50:05 PM
Certified Delivered	Security Checked	4/8/2022 2:23:23 PM
Signing Complete	Security Checked	4/8/2022 2:29:49 PM

Payment Events	Status	Timestamps
-----------------------	---------------	-------------------

Electronic Record and Signature Disclosure

ELECTRONIC RECORD AND SIGNATURE DISCLOSURE

From time to time, K. Hovnanian Homes (we, us or Company) may be required by law to provide to you certain written notices or disclosures. Described below are the terms and conditions for providing to you such notices and disclosures electronically through the DocuSign system. Please read the information below carefully and thoroughly, and if you can access this information electronically to your satisfaction and agree to this Electronic Record and Signature Disclosure (ERSD), please confirm your agreement by selecting the check-box next to 'I agree to use electronic records and signatures' before clicking 'CONTINUE' within the DocuSign system.

Getting paper copies

At any time, you may request from us a paper copy of any record provided or made available electronically to you by us. You will have the ability to download and print documents we send to you through the DocuSign system during and immediately after the signing session and, if you elect to create a DocuSign account, you may access the documents for a limited period of time (usually 30 days) after such documents are first sent to you. After such time, if you wish for us to send you paper copies of any such documents from our office to you, you will be charged a \$0.00 per-page fee. You may request delivery of such paper copies from us by following the procedure described below.

Withdrawing your consent

If you decide to receive notices and disclosures from us electronically, you may at any time change your mind and tell us that thereafter you want to receive required notices and disclosures only in paper format. How you must inform us of your decision to receive future notices and disclosure in paper format and withdraw your consent to receive notices and disclosures electronically is described below.

Consequences of changing your mind

If you elect to receive required notices and disclosures only in paper format, it will slow the speed at which we can complete certain steps in transactions with you and delivering services to you because we will need first to send the required notices or disclosures to you in paper format, and then wait until we receive back from you your acknowledgment of your receipt of such paper notices or disclosures. Further, you will no longer be able to use the DocuSign system to receive required notices and consents electronically from us or to sign electronically documents from us.

All notices and disclosures will be sent to you electronically

Unless you tell us otherwise in accordance with the procedures described herein, we will provide electronically to you through the DocuSign system all required notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to you during the course of our relationship with you. To reduce the chance of you inadvertently not receiving any notice or disclosure, we prefer to provide all of the required notices and disclosures to you by the same method and to the same address that you have given us. Thus, you can receive all the disclosures and notices electronically or in paper format through the paper mail delivery system. If you do not agree with this process, please let us know as described below. Please also see the paragraph immediately above that describes the consequences of your electing not to receive delivery of the notices and disclosures electronically from us.

How to contact K. Hovnanian Homes:

You may contact us to let us know of your changes as to how we may contact you electronically, to request paper copies of certain information from us, and to withdraw your prior consent to receive notices and disclosures electronically as follows:

To contact us by email send messages to: pperillo@khov.com

To advise K. Hovnanian Homes of your new email address

To let us know of a change in your email address where we should send notices and disclosures electronically to you, you must send an email message to us at pperillo@khov.com and in the body of such request you must state: your previous email address, your new email address. We do not require any other information from you to change your email address.

If you created a DocuSign account, you may update it with your new email address through your account preferences.

To request paper copies from K. Hovnanian Homes

To request delivery from us of paper copies of the notices and disclosures previously provided by us to you electronically, you must send us an email to pperillo@khov.com and in the body of such request you must state your email address, full name, mailing address, and telephone number. We will bill you for any fees at that time, if any.

To withdraw your consent with K. Hovnanian Homes

To inform us that you no longer wish to receive future notices and disclosures in electronic format you may:

- i. decline to sign a document from within your signing session, and on the subsequent page, select the check-box indicating you wish to withdraw your consent, or you may;
- ii. send us an email to pperillo@khov.com and in the body of such request you must state your email, full name, mailing address, and telephone number. We do not need any other information from you to withdraw consent.. The consequences of your withdrawing consent for online documents will be that transactions may take a longer time to process..

Required hardware and software

The minimum system requirements for using the DocuSign system may change over time. The current system requirements are found here: <https://support.docusign.com/guides/signer-guide-signing-system-requirements>.

Acknowledging your access and consent to receive and sign documents electronically

To confirm to us that you can access this information electronically, which will be similar to other electronic notices and disclosures that we will provide to you, please confirm that you have read this ERSD, and (i) that you are able to print on paper or electronically save this ERSD for your future reference and access; or (ii) that you are able to email this ERSD to an email address where you will be able to print on paper or save it for your future reference and access. Further, if you consent to receiving notices and disclosures exclusively in electronic format as described herein, then select the check-box next to 'I agree to use electronic records and signatures' before clicking 'CONTINUE' within the DocuSign system.

By selecting the check-box next to 'I agree to use electronic records and signatures', you confirm that:

- You can access and read this Electronic Record and Signature Disclosure; and
- You can print on paper this Electronic Record and Signature Disclosure, or save or send this Electronic Record and Disclosure to a location where you can print it, for future reference and access; and
- Until or unless you notify K. Hovnanian Homes as described above, you consent to receive exclusively through electronic means all notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to you by K. Hovnanian Homes during the course of your relationship with K. Hovnanian Homes.



December 20, 2021

Sussex County Planning & Zoning
2 The Circle
P.O. Box 417
Georgetown, DE 19947

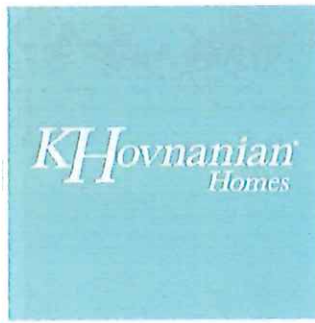
RE: The Villages at Red Mill Pond South Club House

Director Whitehouse,

Jamie Sechler, P.E., requested that we write a letter informing the County that K. Hovnanian is still the declarant, is in control of 130 of the proposed 177 lots (73%) of The Villages at Red Mill Pond South, and has communicated its intention to homeowners to build an amenity in Phase 3.

The following lots have been settled/closed/delivered:

1	9	16	26	78	85	109
2	10	17	72	79	86	110
4	11	18	73	80	87	111
5	12	22	74	81	105	112
6	13	23	75	82	106	113
7	14	24	76	83	107	
8	15	25	77	84	108	



K. Hovnanian is still in control of the following lots:

3	42	61	96	124	143	162
19	43	62	97	125	144	163
20	44	63	98	126	145	164
21	45	64	99	127	146	165
27	46	65	100	128	147	166
28	47	66	101	129	148	167
29	48	67	102	130	149	168
30	49	68	103	131	150	169
31	50	69	104	132	151	170
32	51	70	114	133	152	171
33	52	71	115	134	153	172
34	53	88	116	135	154	173
35	54	89	117	136	155	174
36	55	90	118	137	156	175
37	56	91	119	138	157	176
38	57	92	120	139	158	177
39	58	93	121	140	159	
40	59	94	122	141	160	
41	60	95	123	142	161	

The Red Mill Pond Homeowner's Association held its annual meeting on November 17th 2021 where K. Hovnanian Division President and HOA Board President, Mike Irons, discussed the planned amenities which included a 1,600 square feet clubhouse with a meeting space and small gym, 1500 square foot pool, parking lot, and a pickleball court (meeting minutes available).

If you have any further questions please do not hesitate to reach out.

Respectfully,

A handwritten signature in blue ink, appearing to read 'Jonathan Contant', written over a light blue background.

Jonathan Contant

Land Planning manager

K. Hovnanian Homes, Delaware

January 26, 2022

Sussex County
Planning & Zoning Commission
2 The Circle
P.O. Box 417
Georgetown, DE 19947

RECEIVED

JAN 28 2022

SUSSEX COUNTY
PLANNING & ZONING

RE: The Villages at Red Mill Pond South Amenities Plan

Commissioners,

On November 17th, 2021, K. Hovnanian attended the Annual Homeowner's Association Meeting for Red Mill Pond and presented the planned amenities for Red Mill Pond South. They recently shared the schematics with the Board. Based upon these plans, we feel the amenities are generous. They feature an attractively designed 1,600 sq ft clubhouse which will include a kitchen, a meeting space and gym, restrooms, a 1,500 sq ft pool, a pickleball court and a parking lot. We also applaud a planned connection from Red Mill Pond South to the Georgetown/Lewes Walking Trail, which our present homeowners enjoy very much.

We have waited for years for the completion of our community. As the resident board members of the Homeowners Association, we speak on behalf of the homeowners of the entire Red Mill Pond community, to include Red Mill Pond South. The above plan was well received by homeowners, included the pickleball court as a pleasant surprise and has overwhelming support for implementation as proposed.

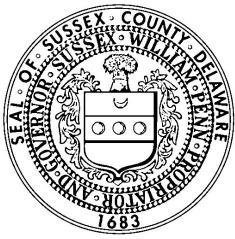
Best regards,



Robert Nordaby
Red Mill Pond HOA
Resident Board Member



George Herrmann
Red Mill Pond HOA
Resident Board Member



**Sussex County
Building Permit**
P.O. Box 589
Georgetown, DE 19947
302-855-7720

Application Number
201909164
Issue Date: 01/17/2020
Expire Date: 01/16/2021

Permit Type: DWELLING OUT OF TOWN

Parcel ID	Address	Zone Code
334-5.00-1213.00	99999 UNKNOWN	AR-1

Owner Information	Applicant Information
Name: SWEETBRIAR LLC Phone: 307-734-1654	Name: K HOVANI, HOMES OF DELAWARE LLC Phone:

Contractor Information	
Name: K HOVANI, HOMES OF DELAWARE LLC CID: 620718 Phone:	License Number: License Exp. Date: Insurance Exp. Date:

Building Information
Proposed Use: DWELLING RESIDENTIAL Construction Type: Estimated Cost of Construction: \$ 123,127 Cannot Occupy More than _____ of Total Lot Area Distance from any Dwelling of other Ownership: _____ Distance from any other Mobile Home or Accessory Structure: _____

Property Information
Measurements taken from Property Lines Front Setback: <u>25.00</u> / _____ Side Setback: <u>10.00</u> / _____ Maximum Building Height: <u>42</u> FLOOD ZONE Flood Zone: XP 330J _____ If Initialed, See Attached Flood Plan Construction Review Coastal and Flood-Prone Area Building Requirements.
Rear Setback: <u>10.00</u> / _____ Corner Setback: _____ / _____ Location Description: <u>VILLAGES AT RED MILL PONDSOUTH LOT 10</u>

Project Description: DWELLING

Scope of Work:

1ST DW 50X51 ATT GAR 21X22
PORCH 15X6, 16X12

Permit Details:

Signature of Approving Official

Signature of Owner/Contractor

Building Permit Acknowledgement:

I fully understand the Zoning Requirements of this permit.

I/we the undersigned, acknowledge I/we have read and accept the terms of this Building Permit and shall comply with the rules and restrictions related to this building activity. This permit shall expire one (1) year from the date of issue. This permit may be renewed prior to its expiration date if construction has begun and continued in a normal manner and not discontinued for reasons other than those beyond the permit-holder's control. Grading or surface-shaping of the site shall not be considered as actual construction. I/we further acknowledge, ASSESSORS AND INSPECTORS HAVE A RIGHT TO ENTER AND ACCESS THE PREMISES TO ASSESS AND INSPECT PROPERTY. The owner or owners of these premises do hereby consent to Sussex County Officials' right to enter upon said premises during the construction of which this permit is granted, or within a reasonable time thereafter, for the purposes of assessing and inspecting said property. THE APPROVAL OF THIS PERMIT APPLICATION PERTAINS ONLY TO COMPLIANCE WITH SUSSEX COUNTY ZONING ORDINANCES. IT IS NOT TO BE CONSTRUED AS AN APPROVAL FOR THE REQUIREMENTS OF ANY OTHER GOVERNMENTAL AGENCY, WHICH MAY PERTAIN TO THIS SITE. AND FURTHER, IT IS ACKNOWLEDGED AND UNDERSTOOD THAT THIS PERMIT MAY BE REVOKED BY SUSSEX COUNTY FOR ANY VIOLATION OF THE TERMS OF THIS PERMIT OR OF ANY COUNTY, STATE OR FEDERAL LAW APPLICABLE TO THIS PERMIT.

Permit Number	BP-124587	TOTAL FEES:	\$ 684.32
----------------------	-----------	--------------------	-----------



Building Description

Total Bedrooms: 3

Full Baths: 2

Half Baths:

Total Rooms: 7

Basement: NO

Interior Walls: DRYWALL

Flooring:

CARPET WOOD TILE VINYL

Heat Type: HEAT PUMP

Roofing: SHINGLE

Exterior Walls: VINYL

Foundation Type: POURED

Fireplace Type: GAS FIREPLACE

Air Conditioning: Y

Additional Requirement/Restrictions

_____ Accessory Building 900 Square Feet or Greater

No more than four (4) vehicles permitted in structure without a Planning & Zoning Hearing.

_____ Agricultural Storage Structures

Storage only. NO LIVESTOCK PERMITTED.

_____ Campgrounds

Must conform to the location approved by the park.

_____ Farm-Use Permits

Prior to issuance of the Certificate of Occupancy, it must be confirmed that the building will be used for farm use only. Otherwise, the permit will be voided and plans must be submitted to the Building Code Department.

_____ Fences

Fence may only be 3.5' tall along the front property line and from the road back to the mandated front yard setback. Thereafter, fence may be a maximum of 7' tall. On corner lots, the fence may only be 3' tall along the corner fronts and 25' from the intersection of property lines. Fence may be installed on property line.

_____ Parcel Setbacks

All building structures and improvements shall comply with the parcel setback measurement requirements as mandated in the Sussex County Zoning Ordinance. Failure to comply with the parcel setback measurement requirements is a violation.

_____ Pools (Above-Ground)

Must have ladder up and locked at all times when not in use. Pool must be 4' high above grade. If not, a fence is required around perimeter of pool

_____ Pools (In-Ground)

A minimum 4' tall fence must be around the perimeter of the pool. A minimum 3' walkway must be between the pool and fence. Gate must be locked at all times when the pool is not in use.

_____ Pools or Guest Homes

No Cooking facilities of any kind are permitted in the structure. No separate electrical meters are permitted.

_____ Tax Ditch

Property records indicate a State regulated tax ditch appears on this property. All building activity shall comply with the rules and requirements related to State regulated tax ditches and the respective tax ditch easements.

COUNT 110

Application Reference	Project/Activity	Location	Lot no	App Status	Application Recv'd	Location Desc	Parcel ID	Project/Activity Desc Line 1	Project/Activity Desc Line 2
201909164	DWELLING	11049 GREENVIEW		COMPLETE	08/09/2019	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1213.00	1ST DW 50X51 ATT GAR 21X22	PORCH 15X6, 16X12
202000409	DWELLING	11049 GREENVIEW	10	WITHDRAWN	01/13/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1213.00	1 ST DW 50X51, ATT GAR 21X22,	
202000412	DWELLING	11082 GREENVIEW	11	COMPLETE	01/13/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1214.00	1 ST DW 50X60, ATT GAR 20X22,	
202000411	DWELLING	11078 GREENVIEW	12	COMPLETE	01/13/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1215.00	1 1/2 ST DW 50X60, ATT GAR	
202000414	DWELLING	11070 GREENVIEW	13	COMPLETE	01/13/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1216.00	1 ST DW 52X40, ATT GAR 21X21,	SCREEM PORCH 12X12
202000417	DWELLING	11064 GREENVIEW	14	COMPLETE	01/13/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1217.00	1 ST DW 50X60, ATT GAR 21X20,	
202000405	DWELLING	11115 GREENVIEW	4	COMPLETE	01/13/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1207.00	1 ST DW 52X40, ATT GAR 22X20,	SCREEN PORCH 10X21
202000967	DWELLING	11062 GREENVIEW	15	COMPLETE	01/28/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1218.00	2 ST DW 52X40, ATT GAR 22X20,	PORCH 10X17, 10X21(ROCKFORD
202000968	DWELLING	11058 GREENVIEW	16	COMPLETE	01/28/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1219.00	1 ST DW 52X40, ATT GAR 22X20,	PORCH 10X7, 10X21
202000966	DWELLING	32057 DEERWOOD LANE	19	ACTIVE	01/28/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1222.00	2 ST DW 52X40, ATT GAR 22X20,	PORCH 10X17, 10X21
202000965	DWELLING	32065 DEERWOOD LANE	S20	COMPLETE	01/28/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1223.00	1 ST DW 50X58, ATT GAR 30X25,	PORCH 21X10, DECK 12X16
202002813	DWELLING	11048 GREENVIEW		WITHDRAWN	03/09/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1221.00	1 ST DW (AMBASSADOR)	
202003296	DWELLING	11048 GREENVIEW		ENTERED IN ERROR	03/23/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1221.00	1 ST DW(AMBASSADOR	
202003929	DWELLING	11048 GREENVIEW		COMPLETE	04/13/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1221.00	1 ST DW (AMBASSADOR)	
202003911	DWELLING	11081 GREENVIEW		COMPLETE	04/13/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1211.00	1 ST DW (ROCKFORD)	
202004438	DWELLING	11057 GREENVIEW		COMPLETE	04/27/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1212.00	1.5 ST DW (ROCKFORD)	PORCH 7X10,10X21
202004923	DWELLING	32020 DEERWOOD LANE		COMPLETE	05/11/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1204.00	(AMBASSADOR) 1ST DW 40X40	FT PORCH 20X14

202004924	DWELLING	32014 DEERWOOD LANE		COMPLETE	05/11/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1205.00	(LOREN) 1ST DW 58X40 ATT GAR	FT PORCH 13X19 SCREEN PORCH
202007675	DWELLING	24018 HAVENWOOD		COMPLETE	07/08/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1310.00	1 ST DW 52X40, ATT GAR 22X20,	PORCH 5X6, PORCH 10X21,
202007672	DWELLING	11109 GREENVIEW	5	COMPLETE	07/08/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1208.00	1 ST DW 40X40, ATT GAR 20X21,	MODEL - AMBASSADOR
202008064	DWELLING	24012 HAVENWOOD	108	COMPLETE	07/15/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1311.00	2 ST DW 52X40, ATT GAR 22X20,	MODEL - ROCKFORD LOFT
202008685	DWELLING	11054 GREENVIEW		COMPLETE	07/28/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1220.00	1 ST DW 40X40, ATT GAR 20X20,	MODEL - AMBASSADOR
202008688	DWELLING	32134 DEERWOOD LANE		COMPLETE	07/28/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1281.00	1 ST DW 58X40, ATT GAR 21X21,	MODEL - LOREN
202008691	DWELLING	32126 DEERWOOD LANE		COMPLETE	07/28/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1282.00	1 ST DW 40X40, ATT GAR 20X21,	MODEL - AMBASSADOR
202009319	DWELLING	24032 HAVENWOOD		COMPLETE	08/11/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1308.00	1.5 ST DW 50X60, ATT GAR 21X20,	MODEL - JASMINE W/ LOFT
202009358	DWELLING	24026 HAVENWOOD	106	COMPLETE	08/11/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1309.00	1 ST DW 50X51, ATT GAR 21X22,	MODEL - ST MICHAELS
202009361	DWELLING	24011 HAVENWOOD	109	COMPLETE	08/11/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1312.00	1.5 ST DW 52X40, ATT GAR 22X20,	MODEL - ROCKFORD LOFT
202009321	DWELLING	32085 DEERWOOD LANE	23	COMPLETE	08/11/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1226.00	2 ST DW 52X40, ATT GAR 22X20,	MODEL - ROCKFORD LOFT
202009352	DWELLING	13039 LAUREL LEAF DRIVE		COMPLETE	08/11/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1228.00	1.5 ST DW 50X51, ATT GAR 21X22,	MODEL - ST MICHAELS
202009354	DWELLING	13045 LAUREL LEAF DRIVE		COMPLETE	08/11/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1229.00	1 ST DW 50X60, ATT GAR 20X22,	MODEL - ROCKFORD
202009323	DWELLING	11097 GREENVIEW		COMPLETE	08/11/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1210.00	2 ST DW 40X58, ATT GAR 20X19,	PORCH 21X8, PORCH 12X12,
202009355	DWELLING	32140 DEERWOOD LANE		COMPLETE	08/11/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1280.00	1 ST DW 40X40, ATT GAR 20X21,	MODEL - AMBASSADOR
202009911	DWELLING	32131 DEERWOOD LANE		COMPLETE	08/20/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1284.00	1 ST DW 40X40, ATT GAR 20X21,	MODEL - AMBASSADOR
202010919	DWELLING	32137 DEERWOOD LANE	82	COMPLETE	09/10/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1285.00	2 ST DW (EASTWOOD	PORCH 12X12
202011245	DWELLING	13031 LAUREL LEAF DRIVE		COMPLETE	09/15/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1227.00	1 ST DW 40X40, ATT GAR 20X21,	MODEL - AMBASSADOR
202011252	DWELLING	32127 DEERWOOD LANE		COMPLETE	09/15/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1283.00	1 ST DW 50X58, ATT GAR 30X25,	MODEL - EASTWOOD - F

202011332	DWELLING	24013 HAVENWOOD		COMPLETE	09/16/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1313.00	2 ST DW 52X40, ATT GAR 22X20,	MODEL - ROCKFORD LOFT
202011335	DWELLING	24019 HAVENWOOD		COMPLETE	09/16/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1314.00	1.5 ST DW 52X40, ATT GAR 22X20,	MODEL - ROCKFORD LOFT
202011336	DWELLING	24025 HAVENWOOD		COMPLETE	09/16/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1315.00	1 ST DW 50X51, ATT GAR 21X22,	MODEL - ST. MICHAELS
202011339	DWELLING	24031 HAVENWOOD		COMPLETE	09/16/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1316.00	1 ST DW 50X58, ATT GAR 30X25,	MODEL - EASTWOOD
202011326	DWELLING	32163 DEERWOOD LANE		COMPLETE	09/16/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1289.00	1 ST DW 40X58, ATT GAR 20X20,	MODEL - EASTWOOD
202011726	DWELLING	32079 DEERWOOD LANE		COMPLETE	09/23/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1225.00	1.5 ST DW 52X40, ATT GAR 22X20,	MODEL - ROCKFORD LOFT
202012025	DWELLING	32169 DEERWOOD LANE	87	COMPLETE	09/29/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1290.00	1 ST DW 40X58, ATT GAR 20X20,	MODEL - EASTWOOD
202013173	DWELLING	32143 DEERWOOD LANE		COMPLETE	10/20/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1286.00	2 ST DW 40X58, ATT GAR 30X19,	MODEL - EASTWOOD LOFT
202013171	DWELLING	32149 DEERWOOD LANE		COMPLETE	10/20/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1287.00	1.5 ST DW 52X40, ATT GAR 22X20,	MODEL - ROCKFORD LOFT
202013165	DWELLING	32157 DEERWOOD LANE		COMPLETE	10/20/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1288.00	2 ST DW 40X58, ATT GAR 30X19,	MODEL - EASTWOOD LOFT
202014033	DWELLING	32146 DEERWOOD LANE		COMPLETE	11/06/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1279.00	1 ST DW 40X58, ATT GAR 20X20,	MODEL - EASTWOOD
202015907	FAST TRACK OUT OF TOWN	32164 DEERWOOD LANE	73	COMPLETE	12/16/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1276.00	EASTWOOD-1 STY SFD 40X58; ATT	10, REAR COV 12X12
202015916	FAST TRACK OUT OF TOWN	32152 DEERWOOD LANE	75	COMPLETE	12/16/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1278.00	AMBASSADOR- 1 STY SFD 40X40;	CH 20X14, REAR COV PORCH 12X12
202016086	FAST TRACK OUT OF TOWN	32158 DEERWOOD LANE	74	COMPLETE	12/18/2020	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1277.00	EASTWOOD- 1 STY SFD 50X58; ATT	7 OVERDUE UTL BILLS
202100925	FAST TRACK OUT OF TOWN	32170 DEERWOOD LANE	72	COMPLETE	01/21/2021	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1275.00	EASTWOOD LOFT- NEW 2 STY SFD	CH 8X8
202111622	FAST TRACK OUT OF TOWN	13051 LAUREL LEAF DRIVE		COMPLETE	08/04/2021	VILLAGES AT RED MILL POND	334-5.00-1230.00	ROCKFORD- 1 STY SFD 52X40; ATT	
202111623	FAST TRACK OUT OF TOWN	13063 LAUREL LEAF DRIVE		COMPLETE	08/04/2021	VILLAGES AT RED MILL POND	334-5.00-1231.00	EASTWOOD- 1 STY SFD 40X58; ATT	SCREENED PORCH 12X12
202112160	FAST TRACK OUT OF TOWN	25034 TREEVIEW LANE		COMPLETE	08/13/2021	VILLAGES AT RED MILL POND	334-5.00-1342.00	EASTWOOD LOFT- 2 STY SFD 40X58;	
202112162	FAST TRACK OUT OF TOWN	25023 TREEVIEW LANE		COMPLETE	08/13/2021	VILLAGES AT RED MILL POND	334-5.00-1347.00	ROCKFORD - 1 STY SFD 52X40, ATT	

202112163	FAST TRACK OUT OF TOWN	25035 TREEVIEW LANE		COMPLETE	08/13/2021	VILLAGES AT RED MILL POND	334-5.00-1348.00	ROCKFORD LOFT - 2 STY SFD 52X40,	10X17, SCREN PORCH 10X21
202112165	FAST TRACK OUT OF TOWN	25043 TREEVIEW LANE		COMPLETE	08/13/2021	VILLAGES AT RED MILL POND	334-5.00-1349.00	ST.MICHAELS LOFT- 2 STY SFD 50X51;	H 15X6, SCREN PORCH 16X12
202112674	FAST TRACK OUT OF TOWN	25022 TREEVIEW LANE		COMPLETE	08/24/2021	VILLAGES AT RED MILL POND	334-5.00-1344.00	EASTWOOD- 1 STY SFD 40X58; ATT	
202112673	FAST TRACK OUT OF TOWN	25006 TREEVIEW LANE		COMPLETE	08/24/2021	VILLAGES AT RED MILL POND	334-5.00-1346.00	ROCKFORD- 2 STY SFD 52X40; ATT	SCRN PORCH 10X21
202113866	FAST TRACK OUT OF TOWN	32195 DEERWOOD LANE		ACTIVE	09/20/2021	VILLAGES AT RED MILL POND	334-5.00-1294.00	ROCKFORD- 2 STY FSD 52X40; ATT	SCREENED PORCH 10X21
202113834	FAST TRACK OUT OF TOWN	32010 DEERWOOD LANE		COMPLETE	09/20/2021	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1206.00	EASTWOOD- 1 STY SFD 40X58; ATT	
202114635	FAST TRACK OUT OF TOWN	25040 TREEVIEW LANE	138	COMPLETE	10/05/2021	VILLAGES AT RED MILL POND	334-5.00-1341.00	AMBASSADOR- 1 STY SFD 40X40;	
202114637	FAST TRACK OUT OF TOWN	25014 TREEVIEW LANE	142	COMPLETE	10/05/2021	VILLAGES AT RED MILL POND	334-5.00-1345.00	EASTWOOD- 1 STY SFD 40X58; ATT	DECK 12X14
202114633	FAST TRACK OUT OF TOWN	32182 DEERWOOD LANE	70	COMPLETE	10/05/2021	VILLAGES AT RED MILL POND	334-5.00-1273.00	EASTWOOD- 1 STY SFD 40X58; ATT	ECK 12X14
202114634	FAST TRACK OUT OF TOWN	32205 DEERWOOD LANE	92	ACTIVE	10/05/2021	VILLAGES AT RED MILL POND	334-5.00-1295.00	EASTWOOD- 1 STY SFD 40X58; ATT	
202114829	FAST TRACK OUT OF TOWN	32235 DEERWOOD LANE	94	ACTIVE	10/08/2021	VILLAGES AT RED MILL POND	334-5.00-1297.00	ST. MICHAELS- 2 STY SFD 50X51;	X6
202116276	FAST TRACK OUT OF TOWN	25046 TREEVIEW LANE		ACTIVE	11/05/2021	VILLAGES AT RED MILL POND	334-5.00-1340.00	AMBASSDOR- 1 STY SFD 40X40;	
202116277	FAST TRACK OUT OF TOWN	25028 TREEVIEW LANE		COMPLETE	11/05/2021	VILLAGES AT RED MILL POND	334-5.00-1343.00	EASTWOOD- 1 STY SFD 40X58; ATT	
202116273	FAST TRACK OUT OF TOWN	32057 DEERWOOD LANE	19	COMPLETE	11/05/2021	VILLAGES AT RED MILL PONDSOUTH	334-5.00-1222.00	ROCKFORD- 1 STY SFD 52X40; ATT	SCREENED REAR PORCH 10X20
202117063	FAST TRACK OUT OF TOWN	32175 DEERWOOD LANE		COMPLETE	11/22/2021	VILLAGES AT RED MILL POND	334-5.00-1291.00	EASTWOOD- 2 STY SFD 40X58; ATT	
202117064	FAST TRACK OUT OF TOWN	32183 DEERWOOD LANE		COMPLETE	11/22/2021	VILLAGES AT RED MILL POND	334-5.00-1292.00	ST. MICHAELS- 1 STY SFD 50X51;	X6, REAR DECK 14X12
202117066	FAST TRACK OUT OF TOWN	32189 DEERWOOD LANE		COMPLETE	11/22/2021	VILLAGES AT RED MILL POND	334-5.00-1293.00	EASTWOOD- 2 STY SFD 40X58; ATT	EAR SCREEN PORH 12X12
202117067	FAST TRACK OUT OF TOWN	32217 DEERWOOD LANE		ACTIVE	11/22/2021	VILLAGES AT RED MILL POND	334-5.00-1296.00	EASTWOOD- 1 STY SFD 40X58; ATT	
202117225	FAST TRACK OUT OF TOWN	32212 DEERWOOD LANE		ACTIVE	11/29/2021	VILLAGES AT RED MILL POND	334-5.00-1268.00	EASTWOOD- 1 STY SFD 40X58; ATT	REAR SCREEN DECK 12X12

202117226	FAST TRACK OUT OF TOWN	32194 DEERWOOD LANE		ACTIVE	11/29/2021	VILLAGES AT RED MILL POND	334-5.00-1271.00	EASTWOOD- 2 STY SFD 40X58; ATT
202117227	FAST TRACK OUT OF TOWN	32176 DEERWOOD LANE		COMPLETE	11/29/2021	VILLAGES AT RED MILL POND	334-5.00-1274.00	EASTWOOD- 1 STY SFD 40X58; ATT
202118255	FAST TRACK OUT OF TOWN	24040 HAVENWOOD	104	ACTIVE	12/20/2021	VILLAGES AT RED MILL POND	334-5.00-1307.00	JASMINE- 1 STY SFD 50X60; ATT REAR SCREENED PORCH 12X12
202118256	FAST TRACK OUT OF TOWN	24037 HAVENWOOD	114	ACTIVE	12/20/2021	VILLAGES AT RED MILL POND	334-5.00-1317.00	ROCKFORD- 2 STY SFD 52X40; ATT REAR SCREENED PORCH 10X21
202118253	FAST TRACK OUT OF TOWN	32224 DEERWOOD LANE	63	ACTIVE	12/20/2021	VILLAGES AT RED MILL POND	334-5.00-1266.00	ST.MICHAELS- 2 6 STY SFD 50X51;
202118254	FAST TRACK OUT OF TOWN	32216 DEERWOOD LANE	64	ACTIVE	12/20/2021	VILLAGES AT RED MILL POND	334-5.00-1267.00	JASMINE- 2 STY SFD 50X60; ATT REAR SCREENED PORCH 12X12
202201389	FAST TRACK OUT OF TOWN	24046 HAVENWOOD		ACTIVE	02/01/2022	VILLAGES AT RED MILL POND	334-5.00-1306.00	EASTWOOD- 1 STY SFD 40X58; ATT EAR DECK 12X18
202201390	FAST TRACK OUT OF TOWN	24045 HAVENWOOD		ACTIVE	02/01/2022	VILLAGES AT RED MILL POND	334-5.00-1318.00	EASTWOOD- 2 STY SFD 40X58; ATT REAR DECK 12X12
202201387	FAST TRACK OUT OF TOWN	32234 DEERWOOD LANE		ACTIVE	02/01/2022	VILLAGES AT RED MILL POND	334-5.00-1264.00	ROCKFORD- 2 STY SFD 52X40; ATT REAR SCREEN PORCH 10X21
202201388	FAST TRACK OUT OF TOWN	32228 DEERWOOD LANE		ACTIVE	02/01/2022	VILLAGES AT RED MILL POND	334-5.00-1265.00	EASTWOOD- 1 STY SFD 40X58; ATT EAR SCREEN PORCH 12X12,
202202464	FAST TRACK OUT OF TOWN	24051 HAVENWOOD		ACTIVE	02/22/2022	VILLAGES AT RED MILL POND	334-5.00-1319.00	ROCKFORD- 2 STY SFD 52X40; ATT REAR SCREEN 10X21
202202465	FAST TRACK OUT OF TOWN	24057 HAVENWOOD		ACTIVE	02/22/2022	VILLAGES AT RED MILL POND	334-5.00-1320.00	ROCKFORD- 2 STY SFD 52X40; ATT REAR SCREEN 10X21
202202466	FAST TRACK OUT OF TOWN	24063 HAVENWOOD		ACTIVE	02/22/2022	VILLAGES AT RED MILL POND	334-5.00-1321.00	EASTWOOD- 2 STY SFD 40X58; ATT EAR DECK 12X18
202202462	FAST TRACK OUT OF TOWN	32188 DEERWOOD LANE		ACTIVE	02/22/2022	VILLAGES AT RED MILL POND	334-5.00-1272.00	EASTWOOD- 1 STY SFD 40X58; ATT
202202927	FAST TRACK OUT OF TOWN	24073 HAVENWOOD		ACTIVE	03/02/2022	VILLAGES AT RED MILL POND	334-5.00-1322.00	EASTWOOD- 2 STY SFD 40X58, ATT EAR DECK 12X14
202202928	FAST TRACK OUT OF TOWN	24079 HAVENWOOD		ACTIVE	03/02/2022	VILLAGES AT RED MILL POND	334-5.00-1323.00	EASTWOOD- 2 STY SFD 40X58; ATT
202202923	FAST TRACK OUT OF TOWN	32248 DEERWOOD LANE		ACTIVE	03/02/2022	VILLAGES AT RED MILL POND	334-5.00-1262.00	EASTWOOD- 2 STY SFD 40X58; ATT EAR DECK 12X12
202202924	FAST TRACK OUT OF TOWN	32240 DEERWOOD LANE		ACTIVE	03/02/2022	VILLAGES AT RED MILL POND	334-5.00-1263.00	EASTWOOD- 1 STY SFD 40X58; ATT
202202925	FAST TRACK OUT OF TOWN	32200 DEERWOOD LANE		ACTIVE	03/02/2022	VILLAGES AT RED MILL POND	334-5.00-1270.00	EASTWOOD- 1 STY SFD 40X58; ATT

202203867	FAST TRACK OUT OF TOWN	24058 HAVENWOOD	101	ACTIVE	03/18/2022	VILLAGES AT RED MILL POND	334-5.00-1304.00	EASTWOOD- 2 STY SFD 40X58; ATT
202203868	FAST TRACK OUT OF TOWN	24085 HAVENWOOD	121	ACTIVE	03/18/2022	VILLAGES AT RED MILL POND	334-5.00-1324.00	EASTWOOD- 1 STY DECK 12X18 SFD 40X58; ATT
202203866	FAST TRACK OUT OF TOWN	32206 DEERWOOD LANE	66	ACTIVE	03/18/2022	VILLAGES AT RED MILL POND	334-5.00-1269.00	EASTWOOD- 1 STY ECK 12X14 SFD 40X58; ATT
202204375	FAST TRACK OUT OF TOWN	32254 DEERWOOD LANE		ACTIVE	03/28/2022	VILLAGES AT RED MILL POND	334-5.00-1261.00	EASTWOOD- 1 STY DECK 12X18 SFD 40X58; ATT
202204674	FAST TRACK OUT OF TOWN	24052 HAVENWOOD		ACTIVE	03/31/2022	VILLAGES AT RED MILL POND	334-5.00-1305.00	EASTWOOD- 2 STY SFD 40X58; ATT
202205618	FAST TRACK OUT OF TOWN	24091 HAVENWOOD	122	ACTIVE	04/19/2022	VILLAGES AT RED MILL POND	334-5.00-1325.00	JASMINE- 2 STY REAR SCREEN SFD 50X60; ATT PORCH 12X12
202205619	FAST TRACK OUT OF TOWN	24097 HAVENWOOD	123	ACTIVE	04/19/2022	VILLAGES AT RED MILL POND	334-5.00-1326.00	EASTWOOD- 1 STY ECK 12X14 SFD 40X58; ATT
202205740	FAST TRACK OUT OF TOWN	32272 DEERWOOD LANE	55	ACTIVE	04/21/2022	VILLAGES AT RED MILL POND	334-5.00-1258.00	EASTWOOD- 2 STY SFD 40X58; ATT
202205741	FAST TRACK OUT OF TOWN	32266 DEERWOOD LANE	56	ACTIVE	04/21/2022	VILLAGES AT RED MILL POND	334-5.00-1259.00	EASTWOOD- 2 STY EAR DECK 12X14 SFD 40X58; ATT
202205742	FAST TRACK OUT OF TOWN	32258 DEERWOOD LANE	57	ACTIVE	04/21/2022	VILLAGES AT RED MILL POND	334-5.00-1260.00	EASTWOOD- 2 STY EAR SCREEN SFD 40X58; ATT PORCH 12X12
202206426	FAST TRACK OUT OF TOWN	32278 DEERWOOD LANE		ACTIVE	05/03/2022	VILLAGES AT RED MILL POND	334-5.00-1257.00	EASTWOOD- 1 STY EAR DECK 12X18 SFD 40X58; ATT
202207251	FAST TRACK OUT OF TOWN	32284 DEERWOOD LANE		ACTIVE	05/16/2022	VILLAGES AT RED MILL POND	334-5.00-1256.00	ROCKFORD- 1 STY REAR SCREEN SFD 52X40; ATT 10X22
202207977	FAST TRACK OUT OF TOWN	24064 HAVENWOOD		ACTIVE	05/31/2022	VILLAGES AT RED MILL POND	334-5.00-1303.00	JASMINE- 1 STY REAR PORCH SFD 50X60; ATT 12X12, REAR DECK
202207970	FAST TRACK OUT OF TOWN	32290 DEERWOOD LANE		ACTIVE	05/31/2022	VILLAGES AT RED MILL POND	334-5.00-1255.00	EASTWOOD- 1 STY SFD 40X58; ATT
202207973	FAST TRACK OUT OF TOWN	24096 HAVENWOOD		ACTIVE	05/31/2022	VILLAGES AT RED MILL POND	334-5.00-1298.00	EASTWOOD- 1 STY SFD 40X58; ATT
202207974	FAST TRACK OUT OF TOWN	24084 HAVENWOOD		ACTIVE	05/31/2022	VILLAGES AT RED MILL POND	334-5.00-1300.00	EASTWOOD- 1 STY SFD 40X58; ATT
202207975	FAST TRACK OUT OF TOWN	24070 HAVENWOOD		ACTIVE	05/31/2022	VILLAGES AT RED MILL POND	334-5.00-1302.00	EASTWOOD- 1 STY EAR DECK 12X14 SFD 40X58; ATT



Jesse Lindenberg

From: Jamie Sechler <jls@dbfinc.com>
Sent: Wednesday, August 10, 2022 10:55 AM
To: Jesse Lindenberg
Subject: RE: Notice of Decision Letter for Red Mill Pond

CAUTION: This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

Jesse,

Timeline for Red Mill Amenity.

Clearing, rough grading and water and sewer connections	complete
Install subbase stone for parking lot and pickleball court	work underway complete by August 12
Parking lot curb and paving	August 31
Building foundation start	September 15
Framing / roof complete	November 15
Excavate pool / pool shell	April 2023
Mechanical trades	march 1 2023
Pave pickleball court	April 2023
Finish trades /furniture clubhouse	May 2023
Complete pool /landscape	May 2023
Opening	Memorial day

Jamie L. Sechler, P.E.

Principal/Sr. Civil Engineer
Davis, Bowen & Friedel, Inc.
Office: 302-424-1441 | Fax: 302-424-0430

From: Jesse Lindenberg <jesse.lindenberg@sussexcountyde.gov>
Sent: Tuesday, August 2, 2022 11:18 AM
To: Jamie Sechler <jls@dbfinc.com>
Subject: RE: Notice of Decision Letter for Red Mill Pond

Jamie,

Thank you for the updated letter. I've added it to the file. The request is scheduled for the August 11th Planning and Zoning Commission Meeting.

Best,

Jesse Lindenberg (they/he)

Planner I
Sussex County Government
Planning & Zoning Dept.
2 The Circle, PO Box 417
Georgetown, DE 19947
P: 302-855-7878

* There is a new fee schedule for FY2023. Please contact the office with any questions. *

From: Jamie Sechler <jls@dbfinc.com>
Sent: Tuesday, August 2, 2022 11:05 AM
To: Jesse Lindenberg <jesse.lindenberg@sussexcountyde.gov>
Subject: RE: Notice of Decision Letter for Red Mill Pond

CAUTION: This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

Jesse,

Please see attached updated letter to revise the Condition for Red Mill Amenity to 1 year from approval date.

Thanks,

Jamie L. Sechler, P.E.

Principal/Sr. Civil Engineer

Davis, Bowen & Friedel, Inc.

Office: 302-424-1441 | Fax: 302-424-0430

From: Jesse Lindenberg <jesse.lindenberg@sussexcountyde.gov>
Sent: Tuesday, July 19, 2022 11:09 AM
To: Jamie Sechler <jls@dbfinc.com>
Subject: Notice of Decision Letter for Red Mill Pond

Hello,

Attached please find the Notice of Decision Letter for The Villages at Red Mill Pond South Amenity Plan.

Best,

Jesse Lindenberg (they/he)

Planner I

Sussex County Government

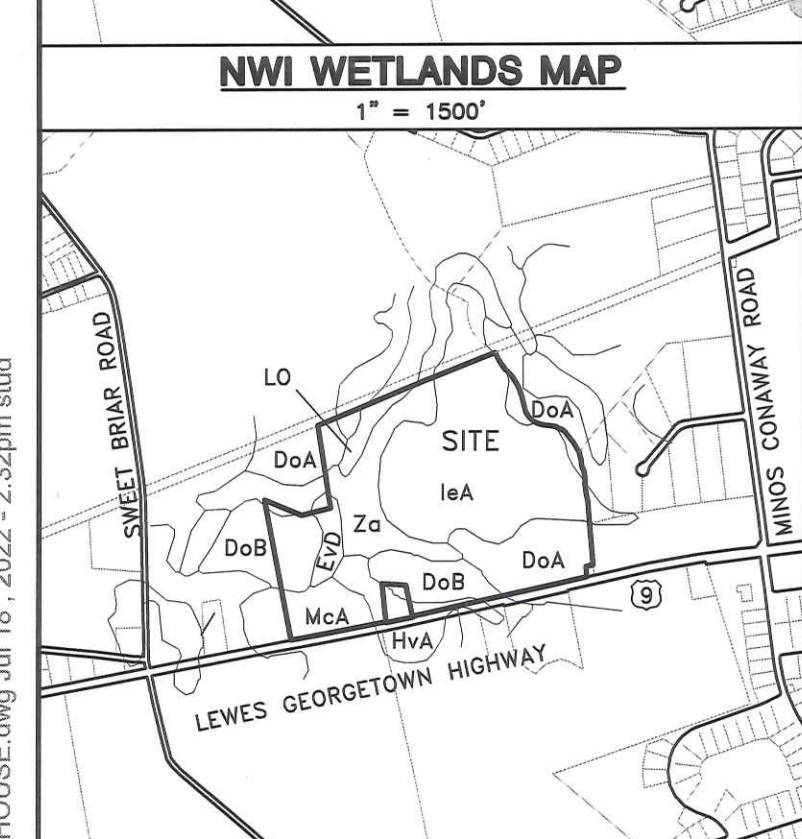
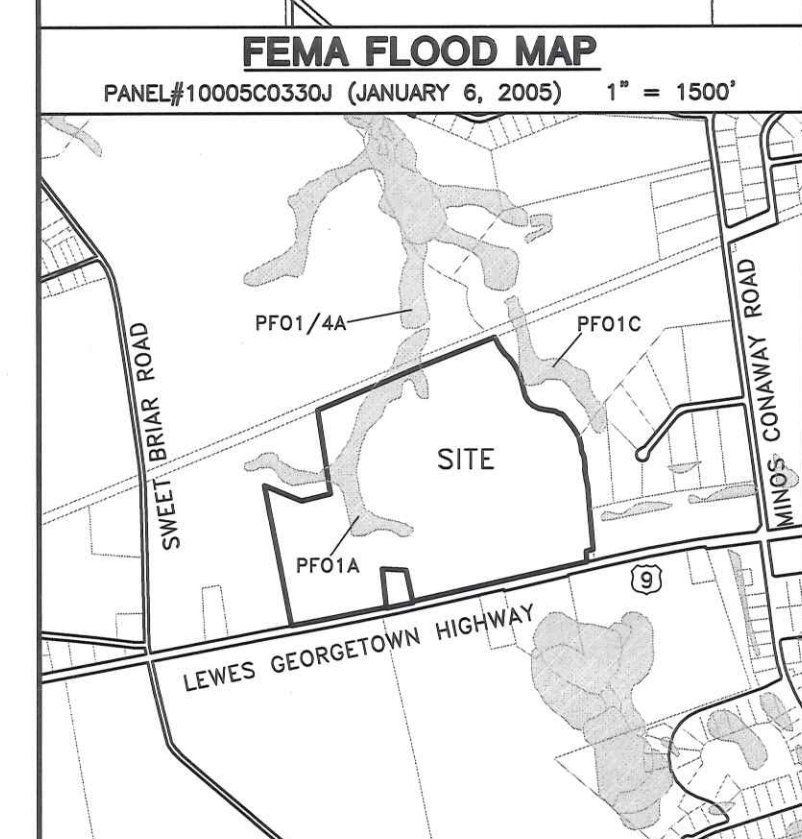
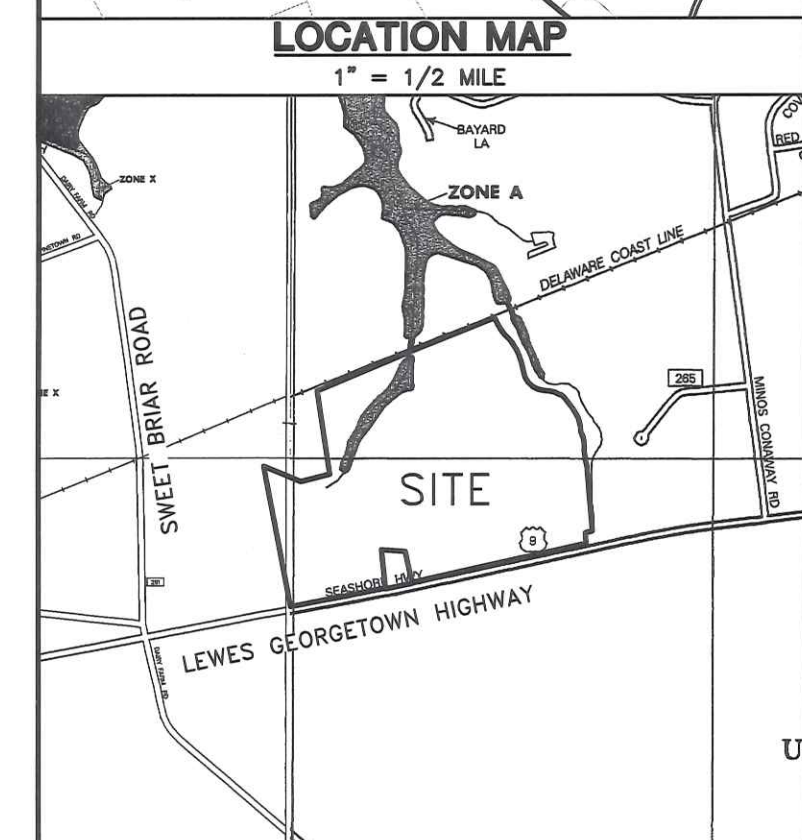
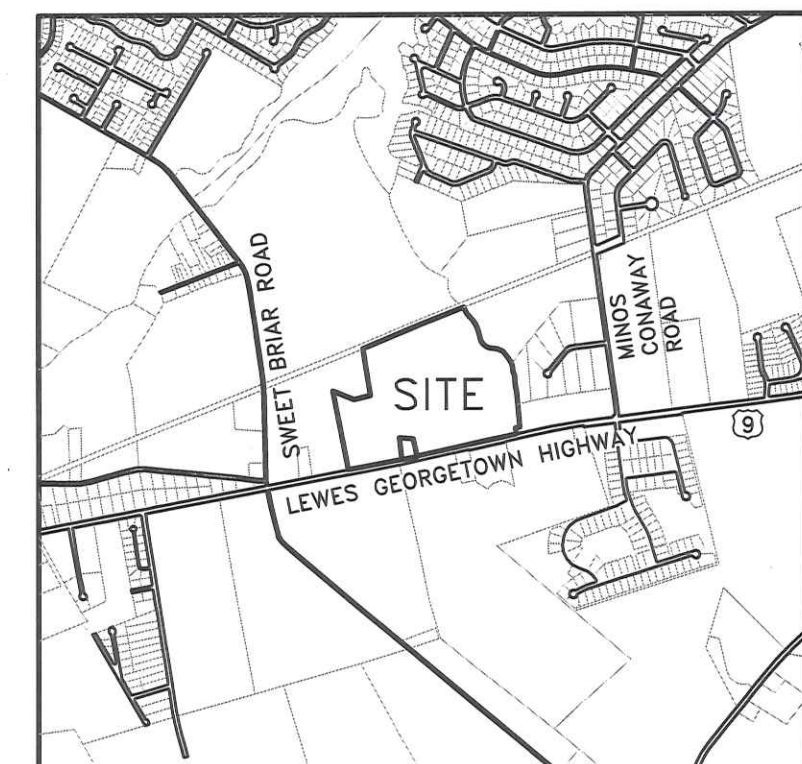
Planning & Zoning Dept.

2 The Circle, PO Box 417

Georgetown, DE 19947

P: 302-855-7878

* There is a new fee schedule for FY2023. Please contact the office with any questions. *

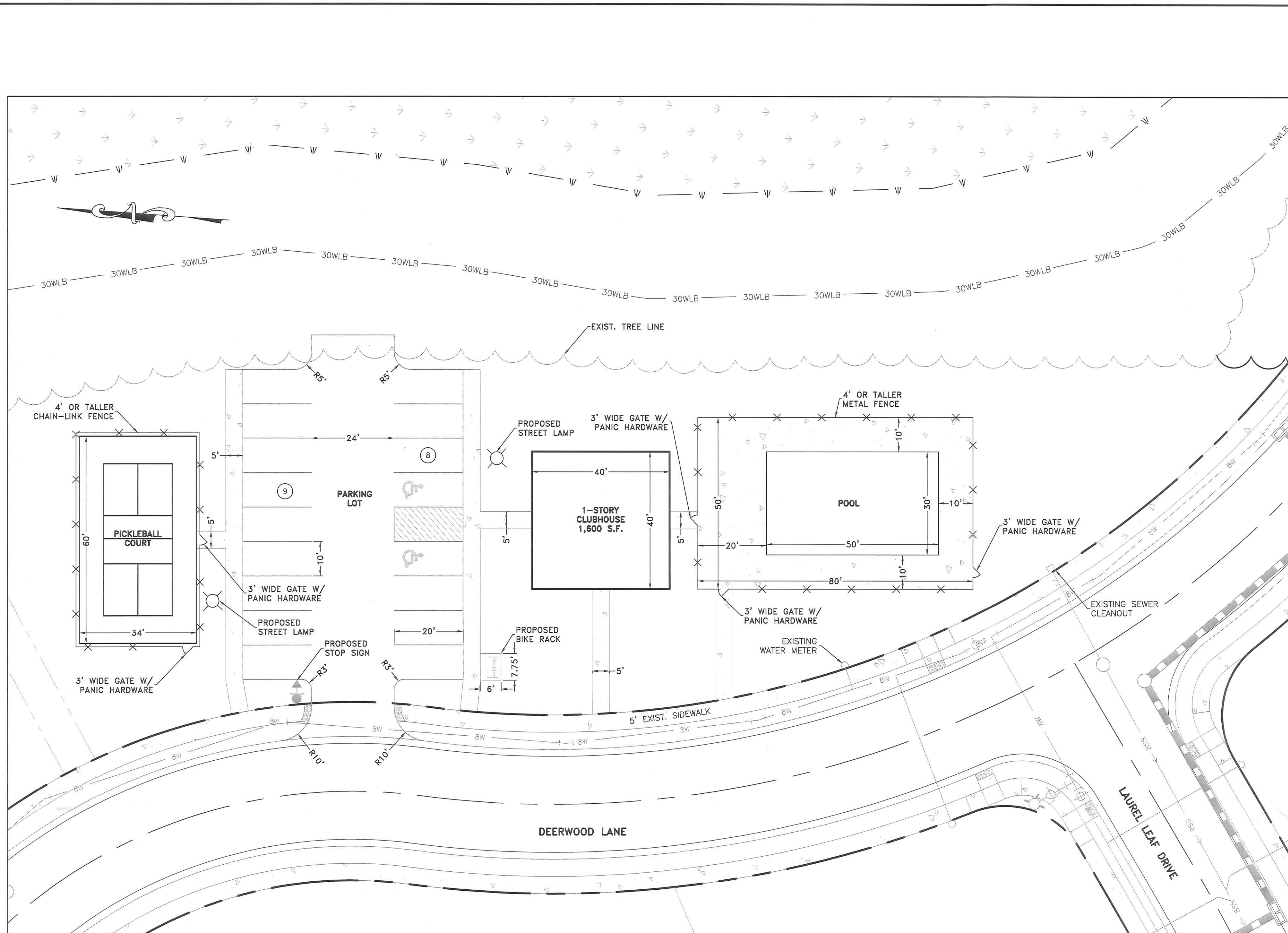


SOILS DATA

LABEL	SOIL NAME	TYPE
DoA	DOWNER	B
DoB	DOWNER	B
Evd	EVESBORO	A
HvA	HURLOCK	B/D
IsA	INGLESIDE	B
Lo	LONGMARSH	D
McA	MARSHHOPE	C
Za	ZEDJAH	D

LEGEND

- EXISTING CONTOUR: - - - - -
- PROPOSED CONTOUR: ————
- RIGHT-OF-WAY / PROPERTY LINE: ————
- BUILDING SETBACK LINE: - - - - -
- CATCH BASIN, STORM PIPE, STORM MANHOLE: [Symbol]
- SANITARY SEWER MANHOLE, PIPE, FLOW ARROW: [Symbol]
- SANITARY SEWER LATERAL: [Symbol]
- WATER MAIN, TEE W/ VALVES, PIPE SIZE: [Symbol]
- WATER LATERAL: [Symbol]
- FIRE HYDRANT ASSEMBLY: [Symbol]
- FENCE: [Symbol]
- PAVEMENT / FULL DEPTH: [Symbol]
- SIDEWALK: [Symbol]
- PROPOSED SPOT GRADES: [Symbol]
- EXISTING SPOT GRADES: [Symbol]



FIRE PROTECTION NOTES

- ALL FIRE LANES, HYDRANTS, EXITS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS (DSFPR, 705, CHAPTER 5).
- WATER PROVIDER: TIDEWATER UTILITIES, INC.
- PROPOSED BUILDING CONSTRUCTION: TYPE V (000)
- INTENDED USE: CLUB HOUSE, POOL AND POOL DECK - ASSEMBLY
- PROPOSED BUILDING HEIGHT: < 42 FEET
- PROPOSED BUILDING SQUARE FOOTAGE: 1,600 ± S.F.
- SITE WILL BE SERVED BY AN UNDERGROUND CLOSED PIPE NATURAL GAS OR PROPANE SYSTEM.
- AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.

GENERAL NOTES:

- CONTRACTOR TO INSTALL TRACER WIRE ON SERVICE LINE FOR THE POOL HOUSE.
- THE DESIGNATED HOMEOWNERS ASSOCIATION ASSUMES RESPONSIBILITY FOR THE AMENITIES WITHIN RED MILL POND SOUTH.
- RECREATIONAL AMENITIES TO SERVE THE RESIDENTS OF RED MILL POND SOUTH.
- HANDICAP CURB RAMPS SHALL CONFORM TO ADA STANDARDS AND SPECIFICATIONS.
- OUTDOOR LIGHTING SHALL BE SHIELDED AND DOWNWARD SCREENED.

DATA COLUMN

TAX MAP ID:	3-34-5.00-170.00
DATUM:	NAVD 89
VERTICAL:	NAD 83 (DE STATE PLANE)
HORIZONTAL:	
EXISTING ZONING:	AR-1 AGRICULTURAL RESIDENTIAL DISTRICT
PROPOSED ZONING:	AR-1 AGRICULTURAL RESIDENTIAL DISTRICT
COASTAL AREA:	PROJECT LIES WITHIN THE COASTAL AREA
SOURCE WATER PROTECTION:	PROJECT IS NOT WITHIN A WELLHEAD PROTECTION AREA. PROJECT IS WITHIN THE "FAIR" GROUNDWATER RECHARGE AREA.
FLOOD HAZARD MAP:	THE SITE IS LOCATED ON THE FEMA FLOOD INSURANCE RATE MAP #10005C0330J, DATED JANUARY 6, 2005.
WETLANDS:	THIS SITE AS SHOWN HEREON CONTAINS STATE OR FEDERALLY REGULATED WETLANDS BASED ON NWI AND DNR/CWETLAND MAPS.
TOTAL:	83.384 AC.
PARKING REQUIREMENTS:	304 S.F. ASSEMBLY / 50 = 7 SPACES 500 S.F. INDOOR RECREATION / 150 = 4 SPACES TOTAL = 11 SPACES REQUIRED
PARKING PROVIDED:	17 SPACES
LAND USE AREAS:	
SINGLE FAMILY LOTS:	36.996 ACRES
RIGHT-OF-WAY:	11.804 ACRES
OPEN SPACE:	34.416 ACRES
PUMPSTATION:	0.073 ACRES
RIGHT-OF-WAY DEDICATION:	0.095 ACRES
TOTAL SITE AREA:	83.384 ACRES
NET DEVELOPMENT AREA:	36.996 ACRES
REQUIRED OPEN SPACE:	30%
PROPOSED OPEN SPACE:	41%
LOD AREA:	0.618 AC.±
EXISTING WOODED AREA:	23.84 AC.
PROPOSED WOODED AREA:	22.21 AC. (93%)
EXISTING WETLANDS AREA:	10.54 AC.
AR-1 MINIMUM ZONING REQUIREMENTS	
FRONT YARD SETBACK:	25 FT. (CORNER LOTS ALLOW FOR ONE 25' SETBACK AND ONE 15' SETBACK)
SIDE YARD SETBACK:	10 FT.
REAR YARD SETBACK:	10 FT.
MIN. LOT AREA:	7,500 SF.
AVG. LOT AREA:	9,105 SF. (0.21 AC.)
WIDTH OF LOT:	60 FT.
MIN. LOT DEPTH:	100 FT.
VOLUNTARY NON-TIDAL WETLANDS BUFFER:	30 FT.
SANITARY SEWER:	WEST REHOBOTH EXPANSION OF THE DEWEY BEACH SANITARY SEWER DISTRICT (SUSSEX COUNTY AGREEMENT #446-9)
WATER SUPPLY:	TIDEWATER UTILITIES
PROPOSED MAXIMUM BUILDING HEIGHT:	42 FT. (3-1/2 STORIES)
PROPOSED BUILDING HEIGHT:	20 FT.
PROPOSED BUILDING CONSTRUCTION:	WOOD CONSTRUCTION
PROJECT IS LOCATED IN THE HENLOPEN TRANSPORTATION IMPROVEMENT DISTRICT.	

ENGINEER'S STATEMENT

I, JAMIE L. SECHLER, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

JUL 18 2022
DATE

by JAMIE L. SECHLER, P.E.
DAVIS, BOWEN & FRIEDEL, INC.
1 PARK AVE.
MILFORD, DELAWARE, 19963

OWNER/DEVELOPER STATEMENT

I, THE UNDERSIGNED, HEREBY STATE THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THE PLAN WAS MADE AT MY DIRECTION, I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN BE RECORDED ACCORDING TO LAW.

JUL 20 2022
DATE

K. HOVHANNIAN HOMES OF DELAWARE I, LLC
2499 SOUTH DUPONT HWY. SUITE G
SMYRNA, DE 1997

APPROVED
Ref. P&Z Commission
JUL 20 2022
SUSSEX COUNTY
PLANNING & ZONING COMMISSION
S.P.S.

THE VILLAGES AT RED MILL POND-SOUTH AMENITIES
RESIDENTIAL SUBDIVISION
SUSSEX COUNTY, DELAWARE

ARCHITECTS ENGINEERS SURVEYORS
 SUSSEX COUNTY, DELAWARE (LIC) 654-9000
 WILFORD, DELAWARE (LIC) 424-1441
 EASTON, MARYLAND (LIC) 770-1444

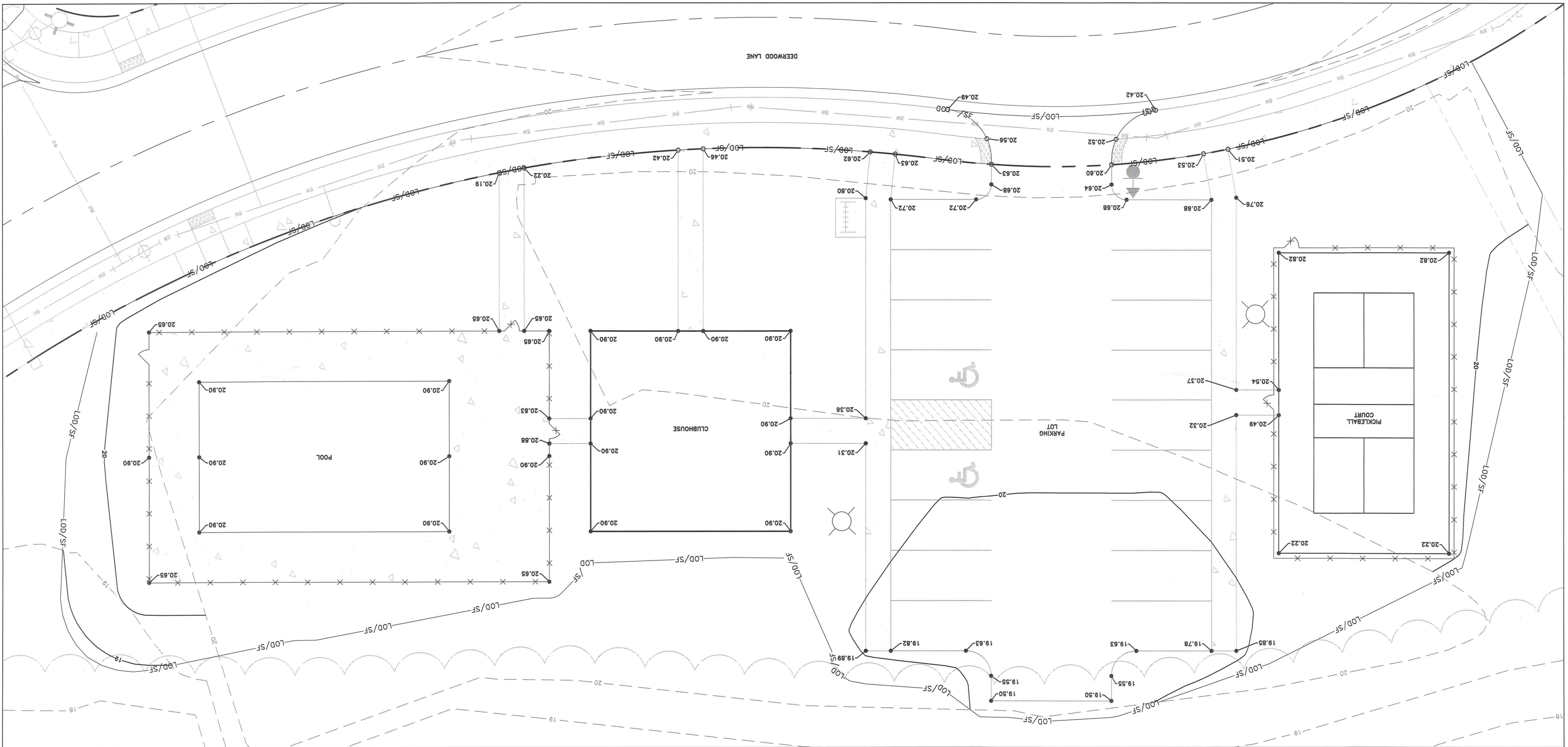
DAVIS, BOWEN & FRIEDEL, INC.

SITE PLAN

Revisions:

Date:	JANUARY 2022
Scale:	1"=20'
Dwn.By:	RPK
Proj.No.:	14436001
Dwg.No.:	01

P:\Integrity Communities\14436001 RED MILL SOUTH\DESIGN\CLUBHOUSE\14436001-CLUBHOUSE.dwg, Jul 18, 2022 - 2:32pm etud

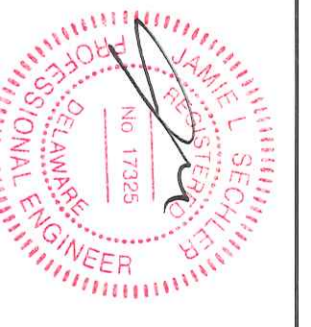


THIS DRAWING, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO DAVIS, BOWEN & FRIEDEL, INC., AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION. COPYRIGHT © 2022

02
 Dwg No.:
 Proj No.: 1443G001
 Dwn By: RPK
 Scale: 1"=10'
 Date: JANUARY 2022

Revisions:
THE VILLAGES AT RED MILL POND-SOUTH AMENITIES
RESIDENTIAL SUBDIVISION
 SUSSEX COUNTY DELAWARE

dbf DAVIS, BOWEN & FRIEDEL, INC.
 ARCHITECTS ENGINEERS SURVEYORS
 SUSSAN, WENTLAND
 MICHEL, BEAUME
 SETH, BROWN
 (410) 543-9881
 (410) 543-1441
 (410) 572-1144





DAVIS BOWEN & FRIEDEL, INC.
 ARCHITECTS ENGINEERS SURVEYORS
 1101 545-8001
 1101 545-8001
 1101 545-8001
 1101 545-8001

THE VILLAGES AT RED MILL POND-SOUTH AMENITIES
 RESIDENTIAL SUBDIVISION
 SUSSEX COUNTY, DELAWARE

Revisions:
 Date: JANUARY 2022
 Scale: 1"=10'
 Dwn.By: RPK
 Proj.No.: 14436001
 Dwg.No.: 03

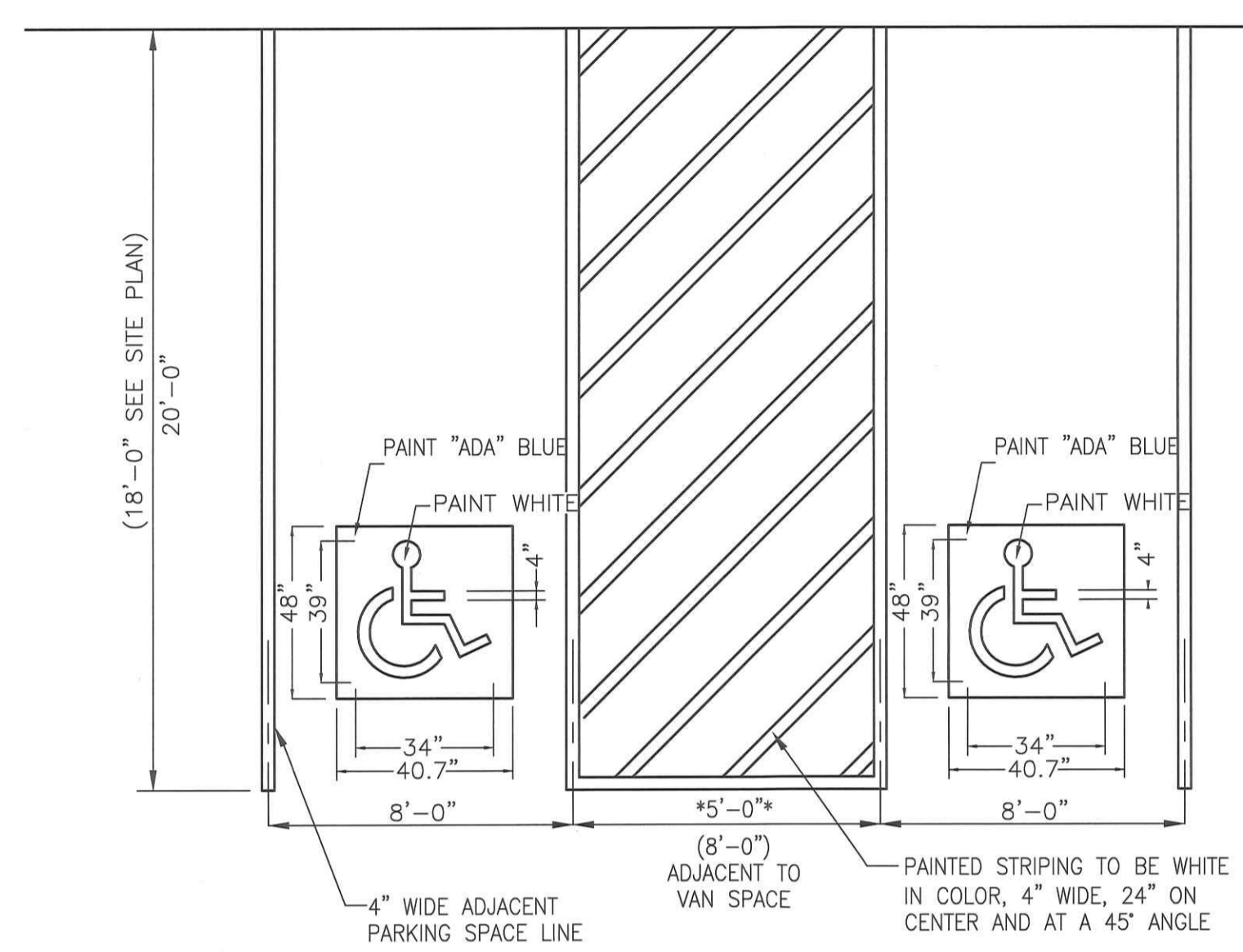
GENERAL NOTES:

- REVIEW AND OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY DNREC OR THE DELEGATED AGENCY.
- FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER SEDIMENT CONTROLS, SOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHALL BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
- APPROVAL OF A SEDIMENT AND STORMWATER MANAGEMENT PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
- BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7. DEL. C. CH 60, REGULATIONS GOVERNING THE CONTROL OF WATER POLLUTION, SECTION 9.1.02, KNOWN AS SPECIAL CONDITIONS FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, AND DEPARTMENT POLICIES, PROCEDURES, AND GUIDANCE.
- CONTRACTOR TO INSTALL TRACER WIRE ON SERVICE LINE FOR THE POOL HOUSE.
- THE DESIGNATED HOMEOWNERS ASSOCIATION ASSUMES RESPONSIBILITY FOR THE AMENITIES AT MARSH ISLAND.
- RECREATIONAL AMENITIES TO SERVE THE RESIDENTS OF RED MILL SOUTH.
- HANDICAP CURB RAMPS SHALL CONFORM TO ADA STANDARDS AND SPECIFICATIONS.
- CLUBHOUSE, AMENITIES AND SWIMMING POOL ARE REQUIRED TO BE PROVIDED IN ORDER TO COMPLY WITH CONDITION 8 OF THE 13 CONDITIONS ASSOCIATED WITH THE PRELIMINARY SITE PLAN APPROVAL FOR LANDLOCK ACRES (2005-73) (FORMER SUBDIVISION NAME) AMENITIES, INCLUDING A CLUBHOUSE AND SWIMMING POOL SHALL BE CONSTRUCTED AND OPEN TO USE BY RESIDENTS OF THE DEVELOPMENT WITHIN 2 YEARS OF THE ISSUANCE OF THE FIRST RESIDENTIAL BUILDING PERMIT.

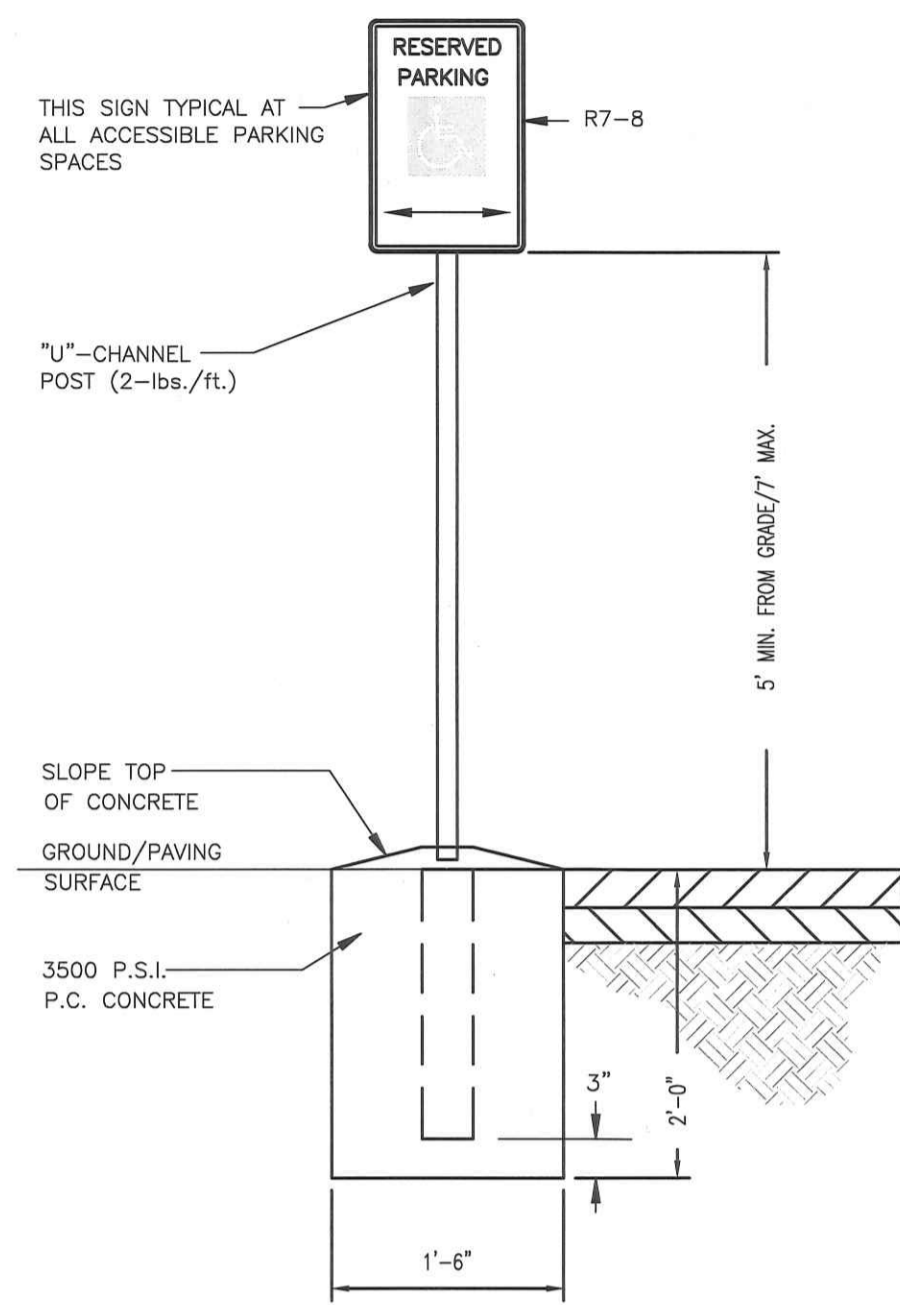
SEQUENCE OF CONSTRUCTION

NOTIFY THE SUSSEX CONSERVATION DISTRICT IN WRITING AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.

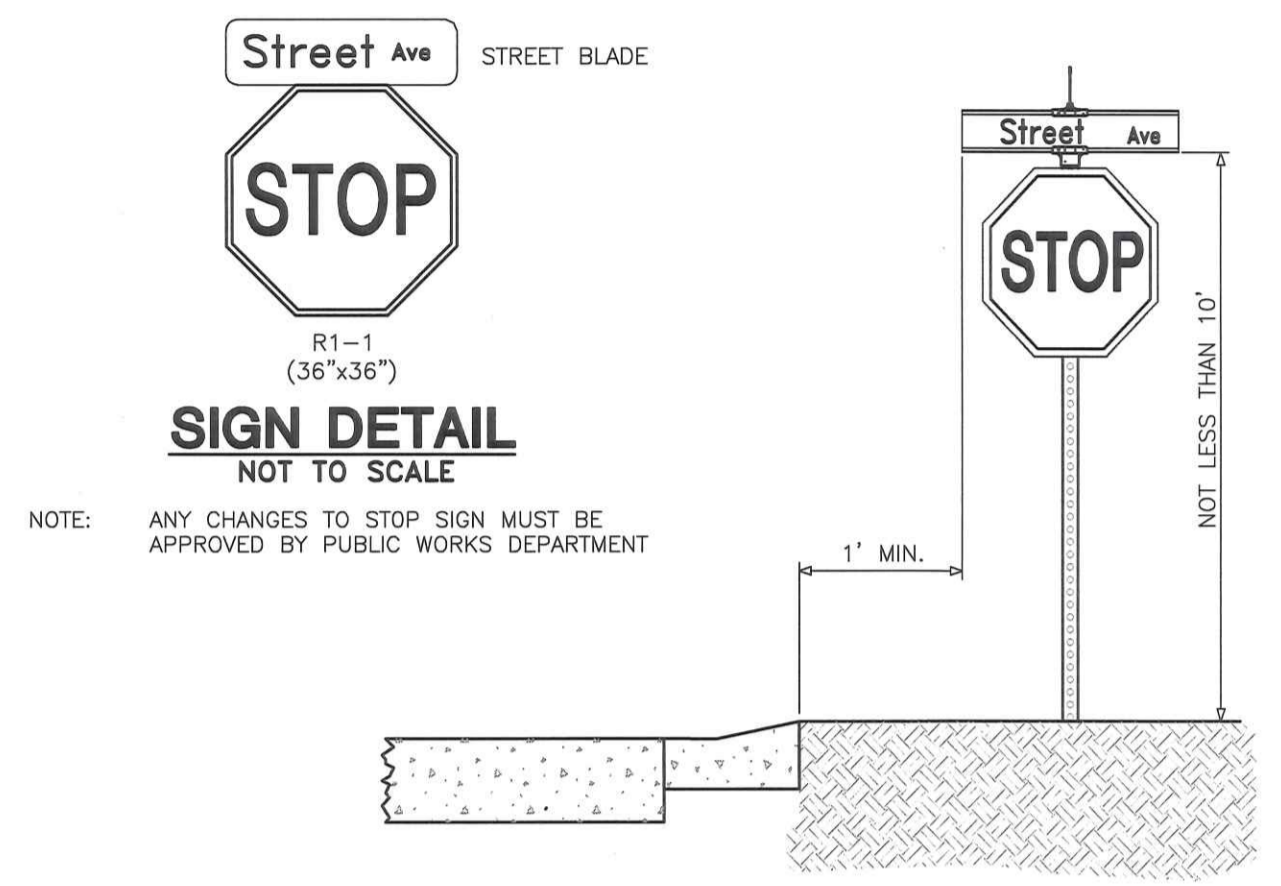
- INSTALL ALL PRE-BULK EROSION & SEDIMENT CONTROLS. CCR SHALL REVIEW INSTALLATION OF THE INSTALLATION OF THE EROSION & SEDIMENT CONTROLS.
- ALL PERIMETER CONTROLS ARE TO BE REVIEWED BY THE AGENCY CONSTRUCTION SITE REVIEWER AND APPROVED PRIOR TO PROCEEDING WITH FURTHER SITE DISTURBANCE OR CONSTRUCTION.
- THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHOULD BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENTATION ON THE SITE. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR REPAIR MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
- MINIMIZE DEMOLITION, CLEARING AND GRADING OPERATIONS TO AREAS NECESSARY FOR IMMEDIATE CONSTRUCTION ACTIVITY.
- PERFORM ANY REQUIRED DEMOLITION OF THE EXISTING SITE.
- STRIP TOPSOIL AND PERFORM ROUGH GRADING FOR BUILDING AND AMENITY AREAS.
- EXPORT FILL, GRADE FOR BUILDINGS. BEGIN BUILDING CONSTRUCTION.
- FINE GRADE FOR PROPOSED AMENITY AREAS, PLACE STONE PER PAVEMENT SPECIFICATIONS AND PLANS.
- UPON COMPLETION OF PAVING AND STABILIZATION OF ALL DISTURBED AREAS,
 - REMOVE SEDIMENT FROM STORMDRAIN SYSTEM.
 - STABILIZE DISTURBANCE IMMEDIATELY.
- RESTORE ALL DISTURBED AREAS NOT TO BE COVERED BY PAVEMENT WITH PERMANENT STABILIZATION IN ACCORDANCE WITH ITEM 14 OF THE EROSION AND SEDIMENT CONTROL NOTES.
- NOTIFY THE CCR AT LEAST THREE (3) DAYS PRIOR TO START OF THE STORMWATER SYSTEM CONSTRUCTION; STORMWATER FACILITIES MUST BE REVIEWED THROUGHOUT THEIR CONSTRUCTION.
- EROSION AND SEDIMENT CONTROL DEVICES SHOULD BE REMOVED ONLY AFTER WORK IN AN AREA HAS BEEN COMPLETED AND STABILIZED, WITH WRITTEN APPROVAL FROM THE AGENCY CONSTRUCTION SITE REVIEWER.



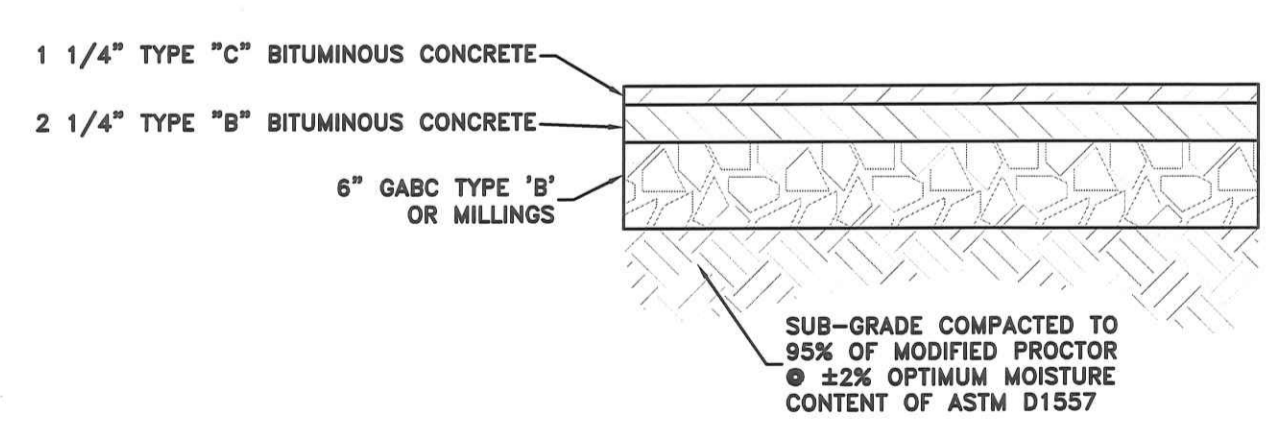
HANDICAP PARKING DETAIL
NOT TO SCALE



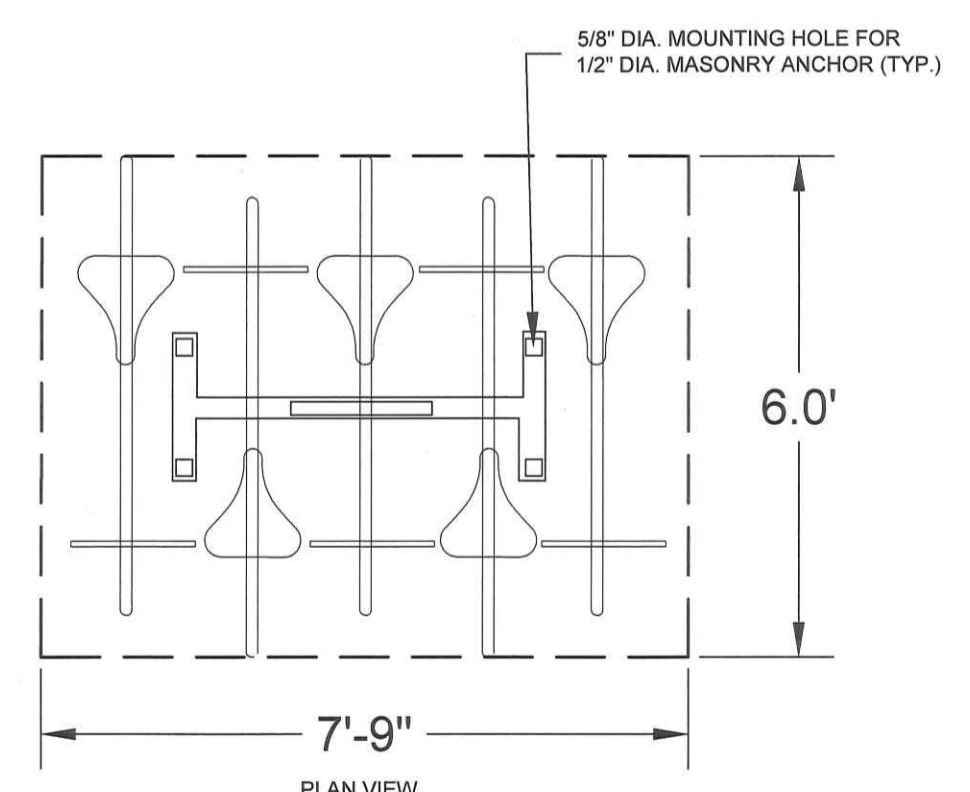
SIGNAGE FOR HANDICAPPED PARKING SPACE
NOT TO SCALE



TYPICAL SIGN INSTALLATION
NOT TO SCALE



PAVEMENT SECTION
NOT TO SCALE

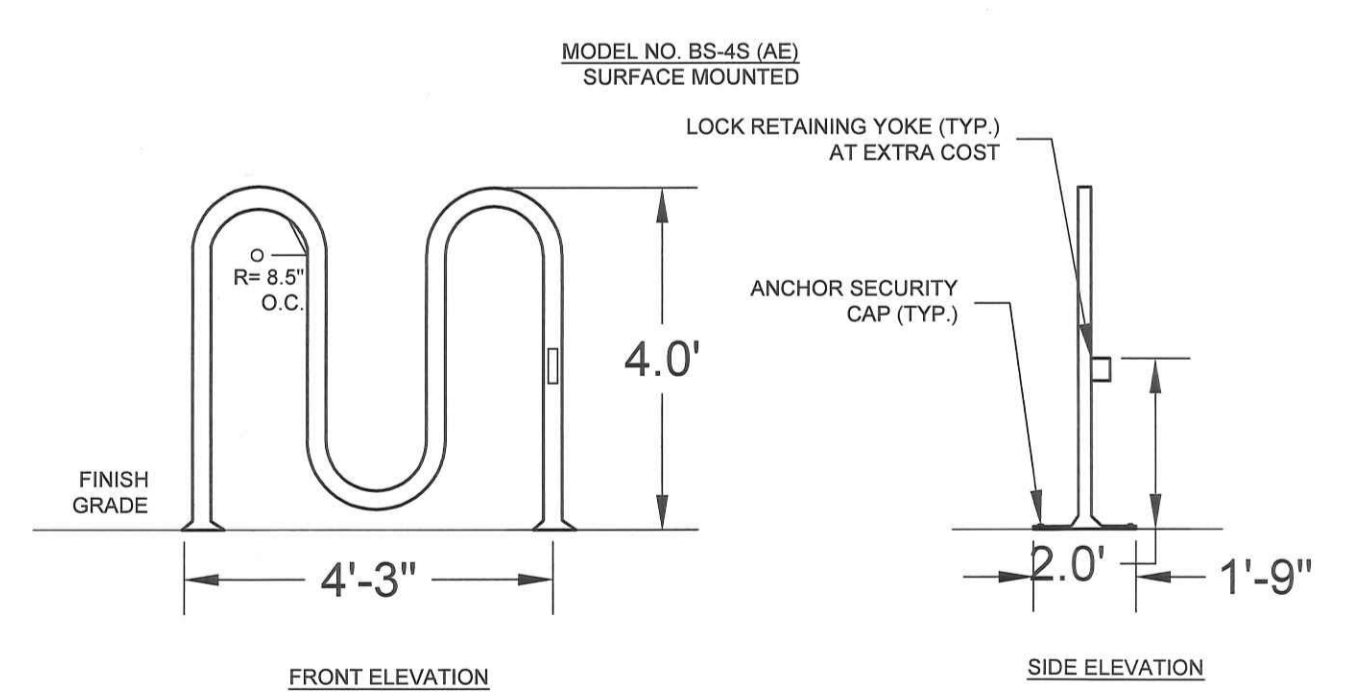


ORDERING INFORMATION
BIKE-STANCHIONS: ADULT-EXPANDED (AE) VERSION, MODERATE SECURITY BIKE RACKS

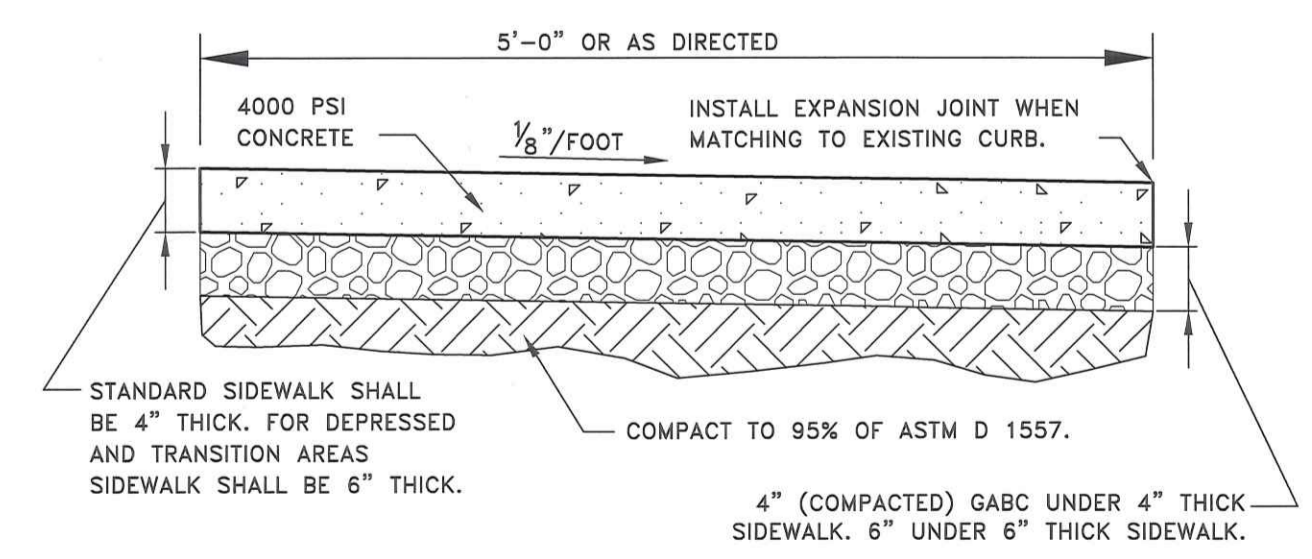
MODEL NO.	LENGTH	BIKE
SURFACE-MOUNT	BELOW-GRADE	(O.C.) CAP.
BS-2S(AE) OR BS-2B(AE)	1'-5"	3
BS-4S(AE) OR BS-4B(AE)	4'-3"	6
BS-6S(AE) OR BS-6B(AE)	7'-1"	7
BS-8S(AE) OR BS-8B(AE)	9'-11"	9
BS-10S(AE) OR BS-10B(AE)	12'-9"	11
BS-12S(AE) OR BS-12B(AE)	15'-7"	13

Bike Security Racks Co. sells bicycle racks, bike parking equipment and bicycle storage systems. 12 Sawyer Loop / Wentworth, NH 03282 To order, call (800) 545-2757 or (617) 876-1180.

BIKE RACK DETAIL
NOT TO SCALE

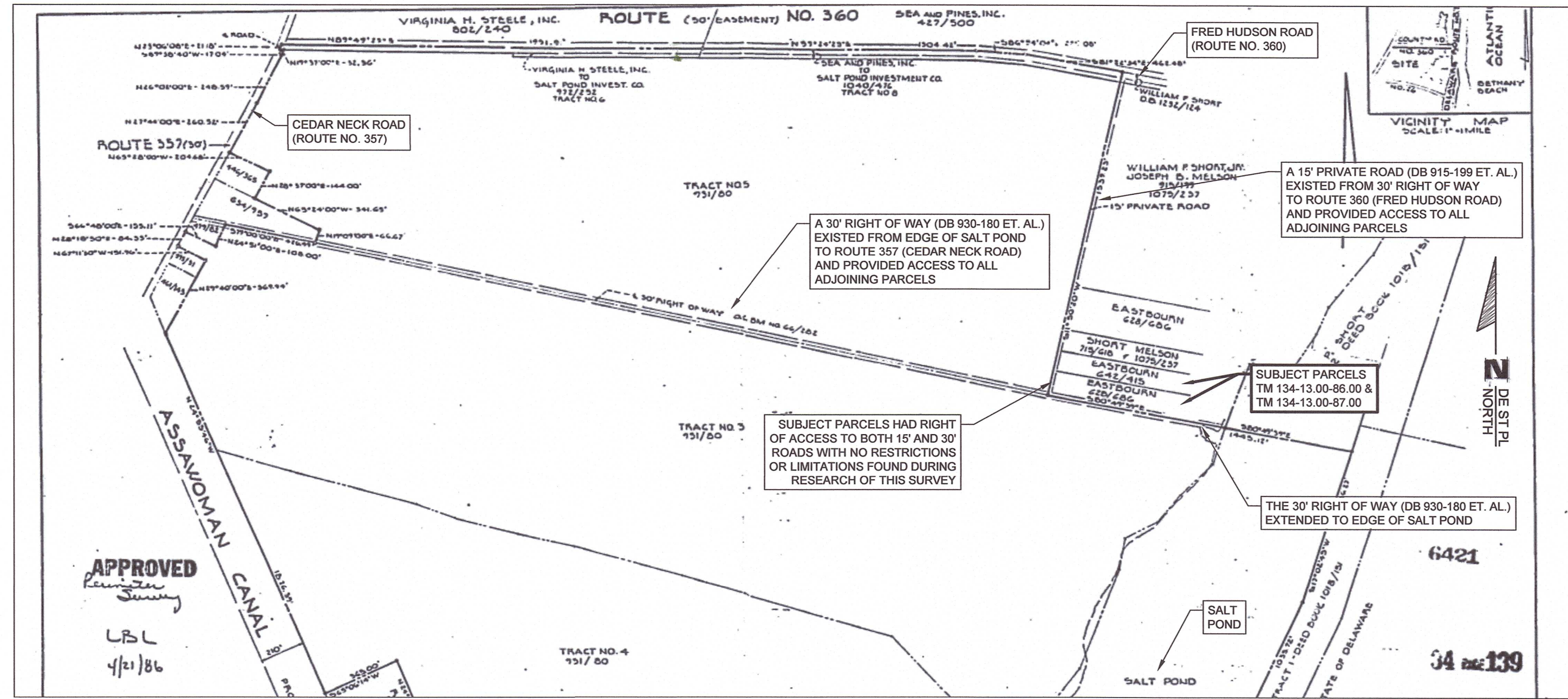


- MATERIALS**
- 2" nom., Sched. 40, ASTM A500, welded seamless-steel pipe construction
 - 3/8" x 3" H.R. steel flat-bar for foot assemblies
 - 1/2" dia. H.R. steel round-bar for lock-retaining yokes
 - 2-1/2" nom., Sched. 40, ASTM A500, welded seamless-steel pipe for below-grade sleeves
- FABRICATION**
- All metallurgical joints are MIG welds
- FINISHES**
- Black thermoplastic powder coating to 10 mils thick
 - Hot-dipped galvanized

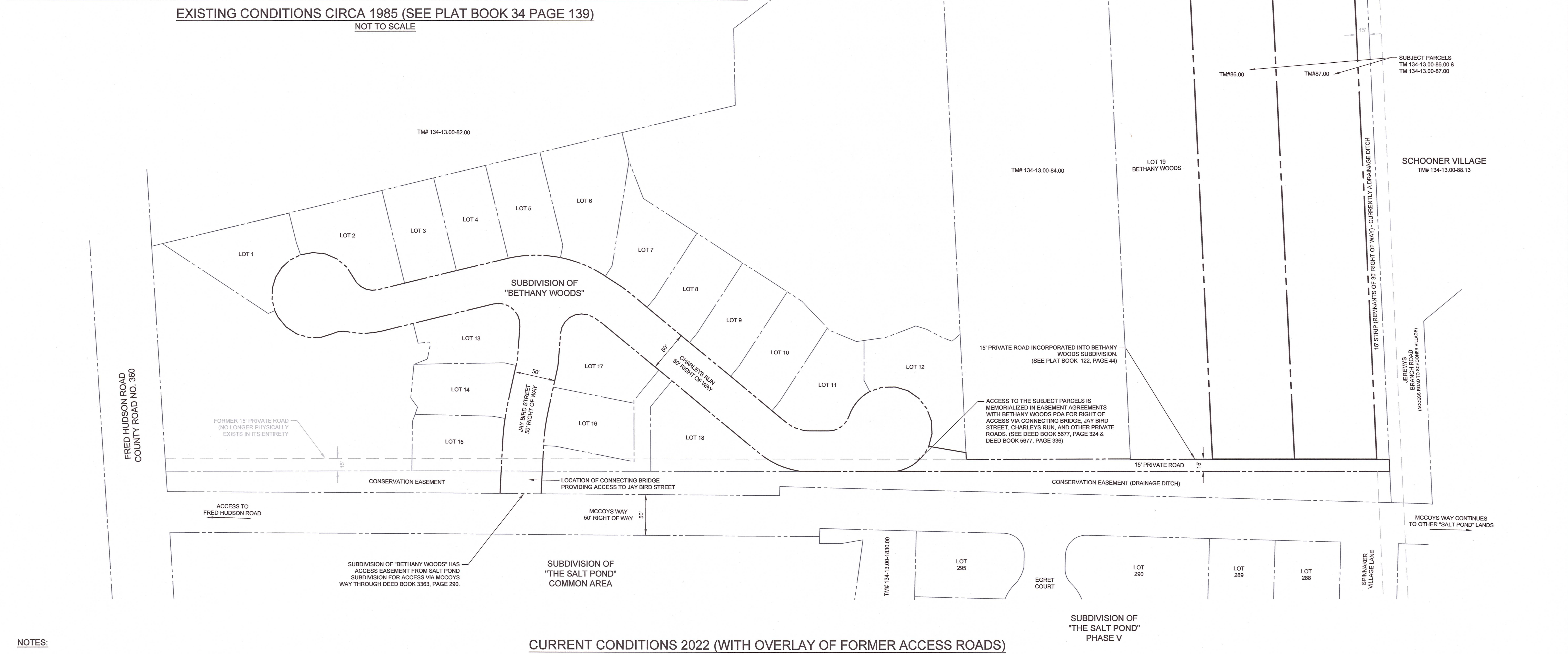


NOTE: PLACE EXPANSION JOINTS 20' ON CENTER AND CONTROL JOINTS 5' ON CENTER OR MATCH EXISTING PATTERN.

CONCRETE SIDEWALK DETAIL
NOT TO SCALE



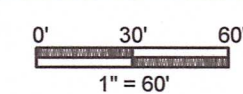
EXISTING CONDITIONS CIRCA 1985 (SEE PLAT BOOK 34 PAGE 139)
NOT TO SCALE



CURRENT CONDITIONS 2022 (WITH OVERLAY OF FORMER ACCESS ROADS)
PHASE V

NOTES:
1. THE PURPOSE OF THIS PLAN IS TO SHOW CHRONOLOGY & METHOD OF ACCESS TO PUBLIC RIGHT OF WAY FOR THE SUBJECT TAX PARCELS CONSISTING OF TM#134-13.00-86.00 & 134-13.00-87.00.
2. THIS PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY PLAN AS DEFINED IN THE DELAWARE ADMINISTRATIVE CODE UNDER TITLE 24 AND SHOULD NOT BE RELIED UPON AS SUCH.

LEGEND:
- - - - - SUBJECT BOUNDARY LINE
- - - - - ADJOINER BOUNDARY LINE
- - - - - ACCESS RIGHT-OF-WAY LINE



SURVEYOR CERTIFICATION:
I, RYAN M. PHIFER, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

RMP/PLS 7-28-2022
RYAN M. PHIFER, P.L.S. DE NO. 829 DATE

DATE: 6-23-2022
SCALE: AS SHOWN
DRAWN BY:
PROJECT NO. CRXC003

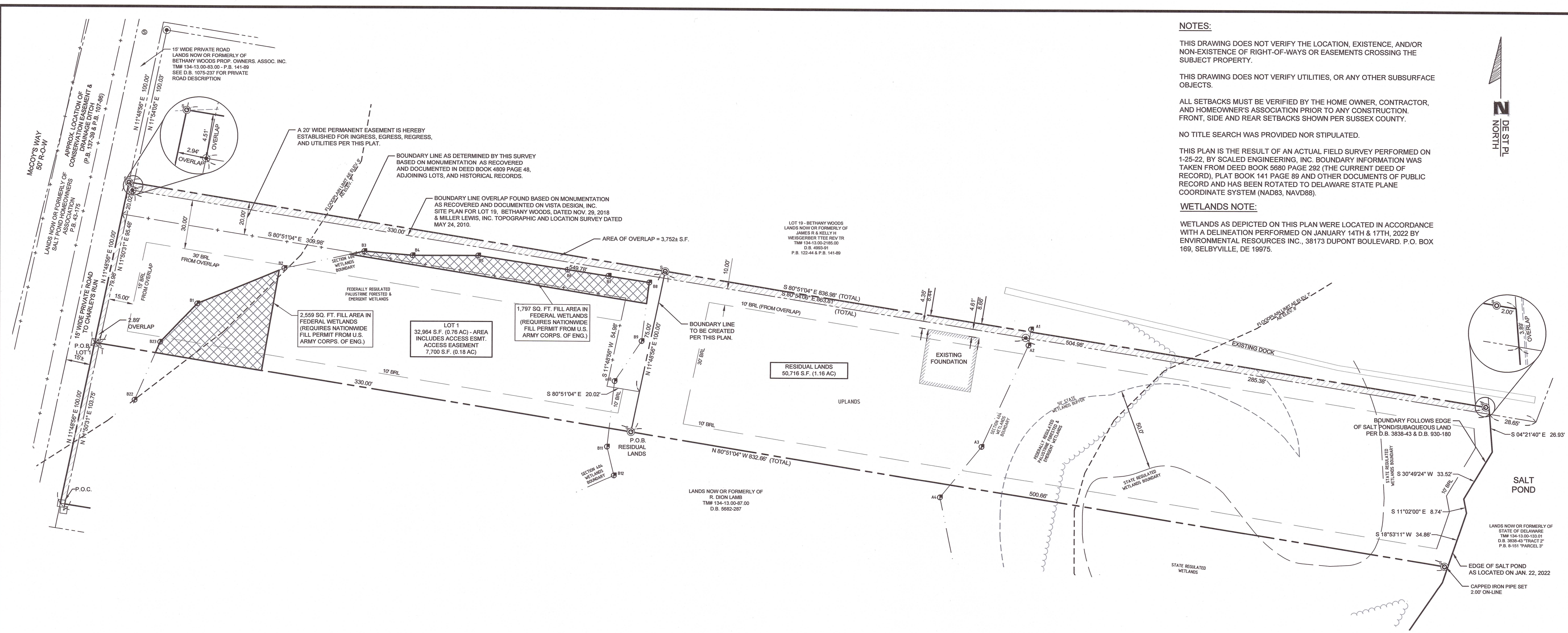
FOR PROPERTY KNOWN AS
PARCEL NO. 1 - DEED BOOK 4809, PAGE 49
PARCEL NO. 2 - DEED BOOK 4809, PAGE 49
TAX MAP # 134-13.00-86.00 &
TAX MAP # 134-13.00-87.00
BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE

SCALED ENGINEERING
Scaled Engineering Inc.
20246 Coastal Highway
Renoboth Beach, DE 19871
Phone: (302) 227-7808

ACCESS EXHIBIT PLAN

PLOTTED: 7/20/22 10:08 AM BY: Ryan Phifer, PLOT TITLE: SCALED-03-08

THIS DRAWING INCLUDING DESIGN AND CONSTRUCTION FEATURES ARE PROPRIETARY TO SCALED ENGINEERING INC. AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION. COPYRIGHT © 2022



NOTES:

THIS DRAWING DOES NOT VERIFY THE LOCATION, EXISTENCE, AND/OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS CROSSING THE SUBJECT PROPERTY.

THIS DRAWING DOES NOT VERIFY UTILITIES, OR ANY OTHER SUBSURFACE OBJECTS.

ALL SETBACKS MUST BE VERIFIED BY THE HOME OWNER, CONTRACTOR, AND HOMEOWNER'S ASSOCIATION PRIOR TO ANY CONSTRUCTION. FRONT, SIDE AND REAR SETBACKS SHOWN PER SUSSEX COUNTY.

NO TITLE SEARCH WAS PROVIDED NOR STIPULATED.

THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED ON 1-25-22, BY SCALED ENGINEERING, INC. BOUNDARY INFORMATION WAS TAKEN FROM DEED BOOK 5880 PAGE 282 (THE CURRENT DEED OF RECORD), PLAT BOOK 141 PAGE 89 AND OTHER DOCUMENTS OF PUBLIC RECORD AND HAS BEEN ROTATED TO DELAWARE STATE PLANE COORDINATE SYSTEM (NAD83, NAVD88).

WETLANDS NOTE:

WETLANDS AS DEPICTED ON THIS PLAN WERE LOCATED IN ACCORDANCE WITH A DELINEATION PERFORMED ON JANUARY 14TH & 17TH, 2022 BY ENVIRONMENTAL RESOURCES INC., 38173 DUPONT BOULEVARD, P.O. BOX 169, SELBYVILLE, DE 19975.

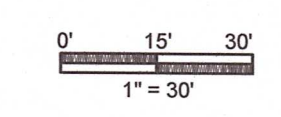


SCALED ENGINEERING

Scaled Engineering Inc.
2024B Coastal Highway
Rehoboth Beach, DE 19971
Phone: (302) 227-7808

MINOR SUBDIVISION PLAN

- SITE DATA:**
- TAX MAP NUMBER: 134-13.00-86.00
 - ADDRESS: (NO STREET ADDRESS ON RECORD)
PRIVATE LANE TO CHARLEY'S RUN
BETHANY BEACH, DE 19930
 - OWNER: 134-13.00-86.00 - TIMOTHY TICE
39828 WATERWORKS COURT, BETHANY BEACH, DE 19930
 - ZONING: EXISTING: MR (MEDIUM-DENSITY RESIDENTIAL)
PROPOSED: MR (MEDIUM-DENSITY RESIDENTIAL)
 - USE: EXISTING: SINGLE FAMILY RESIDENTIAL
PROPOSED: LOT 1 - SINGLE-FAMILY RESIDENTIAL
RESIDUAL LANDS - SINGLE-FAMILY RESIDENTIAL
 - BUILDING SETBACKS (FOR PROPOSED LOTS):
FRONT 30' (15' CORNER LOT SIDE STREET)
SIDE 10'
REAR 10'
 - LOT REQUIREMENTS: AREA 10,000 S.F. (0.23 ACRE)
WIDTH 75'
DEPTH 100'
 - TOTAL NUMBER OF LOTS: EXISTING: 1
PROPOSED: 2 (INCLUDING THE RESIDUAL)
 - AREA: EXISTING 134-13.00-86.00: 83,680 S.F. (1.92 AC)
PROPOSED LOT 1: 32,964 S.F. (0.76 AC) ACCESS ESMT. INCLUDED
ACCESS EASEMENT 7,700 S.F. (0.18 AC)
PROPOSED (RESIDUAL): 50,716 S.F. (1.16 AC)
 - AREA AFFECTED BY ADJUSTMENT: 1.92 AC
 - POSTED SPEED LIMIT: SPEED LIMIT NOT POSTED
 - SEWER PROVIDER: SUSSEX COUNTY
 - WATER PROVIDER: SUSSEX SHORES
 - THIS PROPERTY IS IMPACTED BY THE 100 YEAR FLOOD ZONE, DELINEATED BY THE NATIONAL FLOOD INSURANCE PROGRAM AS SHOWN AS ON FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 1000500512K REVISED MARCH 16, 2015 (ZONE AE, EL 6', 7' & 8').
 - WETLANDS EXIST ON SITE PER THE U.S. FISH AND WILDLIFE NATIONAL WETLANDS INVENTORY AND DNREC STATE REGULATED WETLANDS MAP INDEX. SEE WETLANDS NOTE.
 - PROXIMITY TO DELDOT TID AREA: SITE IS ±7 MILES OUTSIDE OF THE HENLOPEN TID
 - RECHARGE AREA: FAIR



- LEGEND:**
- CONCRETE MONUMENT FOUND
 - CAPPED IRON REBAR FOUND
 - CAPPED IRON PIPE SET
 - EXISTING SUBJECT BOUNDARY LINE
 - PROPOSED BOUNDARY LINE
 - ADJOINER BOUNDARY LINE
 - BUILDING RESTRICTION LINE
 - CORPS. OF ENGINEERS SECTION 404 WETLAND BOUNDARY/FLAG
 - STATE (DNREC) REGULATED WETLAND BOUNDARY/FLAG (MAP# 024)
 - 50' STATE (DNREC) REGULATED WETLAND BUFFER
 - FLOODPLAIN LIMIT
 - WOODLINE
 - WATER METER / VALVE
 - SEWER MANHOLE
 - P.O.C. POINT OF COMMENCEMENT
 - P.O.B. POINT OF BEGINNING
 - EASEMENT LINE
 - PROPOSED AREA TO BE FILLED

WETLAND STATEMENT

I, Edward M. Launay, PWS, STATE THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED UPON THIS PLAN HAVE BEEN DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, REGULATIONS AND SUPPLEMENTAL GUIDANCE (33 CFR 328.3(a)(8), Waters of the U.S. Definition/CECW-OR, 10-7-1991, Questions and Answers on the 1987 COE Manual/CECW-OR, 9-26-1990, RGL 90-7/CECW-OR, 3-6-1992, Clarification and Interpretation of the 1987 Manual). THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES.

THE BOUNDARY OF STATE REGULATED WETLANDS ON THIS SITE IS SHOWN IN ACCORDANCE WITH DNREC MAP No. DNR-024

Edward M. Launay
EDWARD M. LAUNAY, PWS No. 875 Date 5/31/2022
SOCIETY OF WETLANDS SCIENTISTS
CORPS OF ENGINEERS, CERTIFIED WETLAND
DELINEATOR WDCP93MD0510036B

D:\CertStmnt.wpd

OWNER CERTIFICATION:

I, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND THAT I DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW. I CERTIFY THAT TITLE 17, SECTION 530 IS APPLICABLE TO THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN BY VIRTUE OF:

Timothy Tice
TIMOTHY TICE
39828 WATERWORKS COURT
BETHANY BEACH, DE 19930
DATE 7/29/2022

SURVEYOR CERTIFICATION:

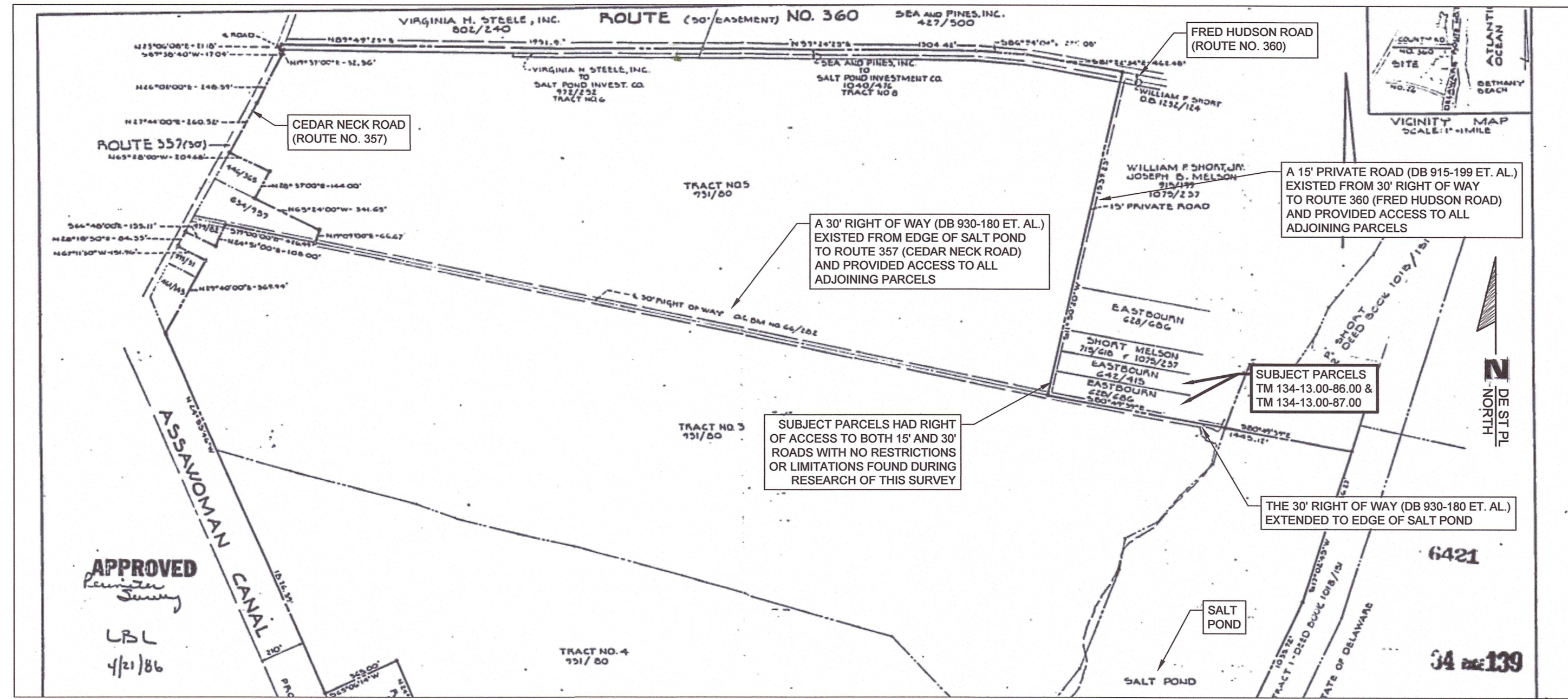
I, RYAN M. PHIFER, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

Ryan M. Phifer
RYAN M. PHIFER, P.L.S. DE No. 829 DATE 7-29-2022

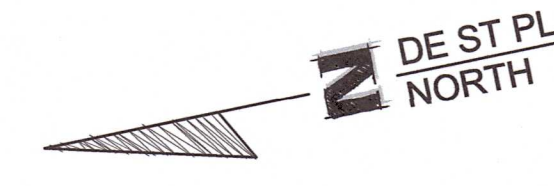
PREPARED FOR
TIMOTHY & JESSICA TICE
FOR PROPERTY KNOWN AS
PARCEL NO. 1 - DEED BOOK 4809, PAGE 49
TAX MAP # 134-13.00-86.00
BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE

DATE: 1-26-22
SCALE: 1" = 30'
DRAWN BY: JRE
PROJECT NO. CRXC003

THIS DRAWING INCLUDING DESIGN AND CONSTRUCTION FEATURES ARE PROPRIETARY TO SCALED ENGINEERING, INC. AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION. COPYRIGHT © 2022



EXISTING CONDITIONS CIRCA 1985 (SEE PLAT BOOK 34 PAGE 139)
NOT TO SCALE

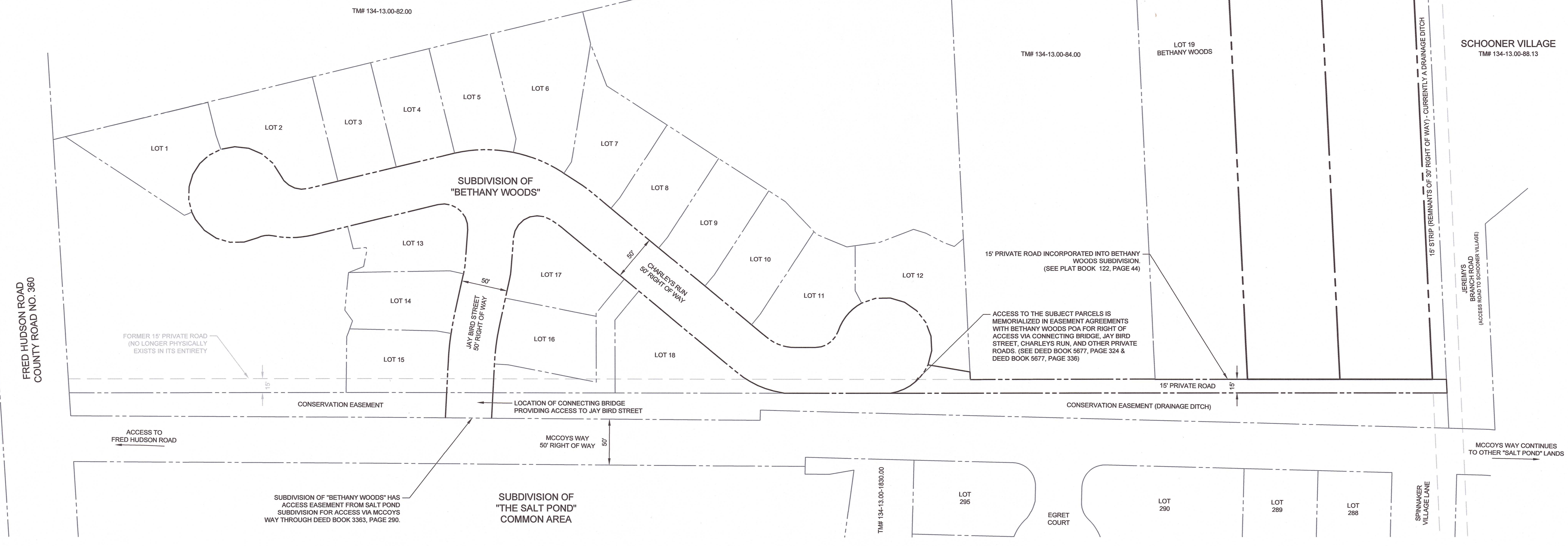


THE SALT POND
TM# 134-13.00-88.00

SUBDIVISION OF "THE SALT POND"
30' RIGHT OF WAY NO LONGER
PHYSICALLY EXISTS.

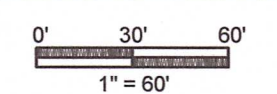
SUBJECT PARCELS
TM# 134-13.00-86.00 &
TM# 134-13.00-87.00

SCHOONER VILLAGE
TM# 134-13.00-88.13



- NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW CHRONOLOGY & METHOD OF ACCESS TO PUBLIC RIGHT OF WAY FOR THE SUBJECT TAX PARCELS CONSISTING OF TM#134-13.00-86.00 & 134-13.00-87.00.
 2. THIS PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY PLAN AS DEFINED IN THE DELAWARE ADMINISTRATIVE CODE UNDER TITLE 24 AND SHOULD NOT BE RELIED UPON AS SUCH.

- LEGEND:**
- SUBJECT BOUNDARY LINE
 - ADJOINER BOUNDARY LINE
 - ACCESS RIGHT-OF-WAY LINE



SURVEYOR CERTIFICATION:
I, RYAN M. PHIFER, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

RMP/PS 7-28-2022
RYAN M. PHIFER, P.L.S. DE NO. 829 DATE

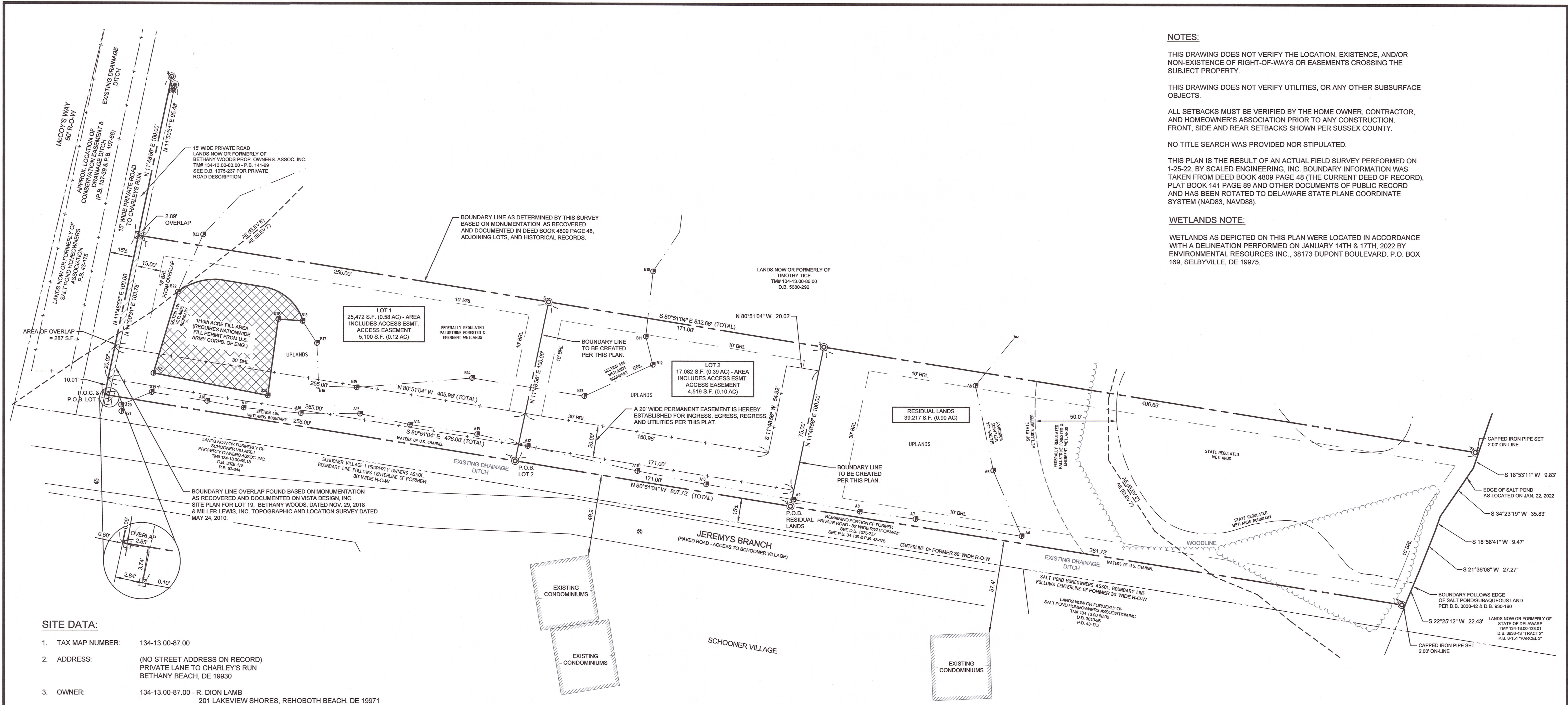
Scaled Engineering Inc.
20246 Coastal Highway
Renoboth Beach, DE 19871
Phone: (302) 227-7808



ACCESS EXHIBIT PLAN

FOR PROPERTY KNOWN AS
PARCEL NO. 1 - DEED BOOK 4809, PAGE 49
PARCEL NO. 2 - DEED BOOK 4809, PAGE 49
TAX MAP # 134-13.00-86.00 &
TAX MAP # 134-13.00-87.00
BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE

DATE: 6-23-2022
SCALE: AS SHOWN
DRAWN BY:
PROJECT NO. CRXC003



NOTES:

THIS DRAWING DOES NOT VERIFY THE LOCATION, EXISTENCE, AND/OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS CROSSING THE SUBJECT PROPERTY.

THIS DRAWING DOES NOT VERIFY UTILITIES, OR ANY OTHER SUBSURFACE OBJECTS.

ALL SETBACKS MUST BE VERIFIED BY THE HOME OWNER, CONTRACTOR, AND HOMEOWNER'S ASSOCIATION PRIOR TO ANY CONSTRUCTION. FRONT, SIDE AND REAR SETBACKS SHOWN PER SUSSEX COUNTY.

NO TITLE SEARCH WAS PROVIDED NOR STIPULATED.

THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED ON 1-25-22, BY SCALED ENGINEERING, INC. BOUNDARY INFORMATION WAS TAKEN FROM DEED BOOK 4809 PAGE 48 (THE CURRENT DEED OF RECORD), PLAT BOOK 141 PAGE 89 AND OTHER DOCUMENTS OF PUBLIC RECORD AND HAS BEEN ROTATED TO DELAWARE STATE PLANE COORDINATE SYSTEM (NAD83, NAVD88).

WETLANDS NOTE:

WETLANDS AS DEPICTED ON THIS PLAN WERE LOCATED IN ACCORDANCE WITH A DELINEATION PERFORMED ON JANUARY 14TH & 17TH, 2022 BY ENVIRONMENTAL RESOURCES INC., 38173 DUPONT BOULEVARD, P.O. BOX 169, SELBYVILLE, DE 19975.

SITE DATA:

- TAX MAP NUMBER: 134-13.00-87.00
- ADDRESS: (NO STREET ADDRESS ON RECORD) PRIVATE LANE TO CHARLEY'S RUN BETHANY BEACH, DE 19930
- OWNER: 134-13.00-87.00 - R. DION LAMB 201 LAKEVIEW SHORES, REHOBOTH BEACH, DE 19971
- ZONING: EXISTING: MR (MEDIUM-DENSITY RESIDENTIAL) PROPOSED: MR (MEDIUM-DENSITY RESIDENTIAL)
- USE: EXISTING: SINGLE FAMILY RESIDENTIAL PROPOSED: LOTS 1 & 2 - SINGLE-FAMILY RESIDENTIAL RESIDUAL LANDS - SINGLE-FAMILY RESIDENTIAL
- BUILDING SETBACKS (FOR PROPOSED LOTS): FRONT 30' (15' CORNER LOT SIDE STREET) SIDE 10' REAR 10'
- LOT REQUIREMENTS: AREA 10,000 S.F. (0.23 ACRE) WIDTH 75' DEPTH 100'
- TOTAL NUMBER OF LOTS: EXISTING: 1 PROPOSED: 3 (INCLUDING THE RESIDUAL)
- AREA: EXISTING 134-13.00-87.00: 81,771 S.F. (1.88 AC) PROPOSED LOT 1: 25,472 S.F. (0.58 AC) ACCESS ESMT. INCLUDED ACCESS EASEMENT 5,100 S.F. (0.12 AC) PROPOSED LOT 2: 17,082 S.F. (0.39 AC) ACCESS ESMT. INCLUDED ACCESS EASEMENT: 4,519 S.F. (0.10 AC) PROPOSED (RESIDUAL): 39,217 S.F. (0.90 AC)
- AREA AFFECTED BY ADJUSTMENT: 1.88 AC
- POSTED SPEED LIMIT: SPEED LIMIT NOT POSTED
- SEWER PROVIDER: SUSSEX COUNTY
- WATER PROVIDER: SUSSEX SHORES
- THIS PROPERTY IS IMPACTED BY THE 100 YEAR FLOOD ZONE, DELINEATED BY THE NATIONAL FLOOD INSURANCE PROGRAM AS SHOWN AS ON FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 1000500512K REVISED MARCH 16, 2015 (ZONE AE, EL 6', 7' & 8').
- WETLANDS EXIST ON SITE PER THE U.S. FISH AND WILDLIFE NATIONAL WETLANDS INVENTORY AND DNREC STATE REGULATED WETLANDS MAP INDEX. SEE WETLANDS NOTE.
- PROXIMITY TO DELDOT TID AREA: SITE IS 47 MILES OUTSIDE OF THE HENLOPEN TID
- RECHARGE AREA: FAIR

WETLAND STATEMENT

I, Edward M. Launay, PWS, STATE THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED UPON THIS PLAN HAVE BEEN DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, REGULATIONS AND SUPPLEMENTAL GUIDANCE (33 CFR 328.3(a)(8), Waters of the U.S. Definition/CECW-OR, 10-7-1991, Questions and Answers on the 1987 COE Manual/CECW-OR, 9-26-1990, RGL 90-7/CECW-OR, 3-6-1992, Clarification and Interpretation of the 1987 Manual). THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES.

THE BOUNDARY OF STATE REGULATED WETLANDS ON THIS SITE IS SHOWN IN ACCORDANCE WITH DNREC MAP No. DNR-024

EDWARD M. LAUNAY, PWS No. 875 Date 5/31/2022
 SOCIETY OF WETLANDS SCIENTISTS
 CORPS OF ENGINEERS, CERTIFIED WETLAND DELINEATOR WDCP93MD0510036B

OWNER CERTIFICATION:

I, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND THAT I DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

R. DION LAMB 7-28-22
 201 LAKEVIEW SHORES DATE
 REHOBOTH BEACH, DE 19971

LEGEND:

- CONCRETE MONUMENT FOUND
- CAPPED IRON PIPE FOUND
- CAPPED IRON PIPE SET
- EXISTING SUBJECT BOUNDARY LINE
- PROPOSED BOUNDARY LINE
- ADJOINER BOUNDARY LINE
- BUILDING RESTRICTION LINE
- CORPS OF ENGINEERS SECTION 404 WETLAND BOUNDARY/FLAG
- STATE (DNREC) REGULATED WETLAND BOUNDARY/FLAG (MAP# 024)
- 50' STATE (DNREC) REGULATED WETLANDS BUFFER
- FLOODPLAIN LIMIT
- WOODLINE
- WATER METER / VALVE
- SEWER MANHOLE
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- EASEMENT LINE
- PROPOSED AREA TO BE FILLED

SURVEYOR CERTIFICATION:

I, RYAN M. PHIFER, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

RYAN M. PHIFER, P.L.S. DE No. 829 DATE 7-28-22

PREPARED FOR
RDL PROPERTIES, LLC
 FOR PROPERTY KNOWN AS
PARCEL NO. 2 - DEED BOOK 4809, PAGE 49
 TAX MAP # 134-13.00-87.00
 BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE

DATE: 1-26-22
 SCALE: 1" = 30'
 DRAWN BY: JRE
 PROJECT NO. CRXC003

ScalEd ENGINEERING
 20246 Coastal Highway
 Rehoboth Beach, DE 19971
 Phone: (609) 227-7608

MINOR SUBDIVISION PLAN