



## Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, Director, Department of Planning & Zoning; Lauren DeVore, Planner III, Jenny Norwood, Planner I, Christin Headley, Planner I, Nicholas Torrance, Planner I, and Chase Phillips, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: August 31, 2020

RE: Other Business for the September 10, 2020 Planning Commission Meeting

This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the September 10, 2020 Planning Commission meeting.

### **Somerset Green (F.K.A. Lewes Townhouses)**

KS

#### Revised Site Plan

This is a Revised Site Plan for the previously approved 53-unit multi-family townhouse development approved under the name "Somerset Green". The development is located on a 6.49-acre parcel at the intersection of Plantations Road and Shady Road. The Revised Site Plan seeks to site a 7-ft high fence along the perimeter of Plantations Road and Shady Road. The Planning and Zoning Commission previously approved the Preliminary Site Plan with final approvals to be made by staff at their meeting of December 18, 2014. In support of the Revised Site Plan, the Applicant has submitted letters of support from 20 occupiers, representing 38% of the units in the development. Tax Parcel: 334-6.00-687.00. Zoning: C-1 (General Commercial Zoning District). Staff are in receipt of all required agency approvals.

### **Bridgeville Concrete Plant (S-20-22)**

KH

#### Preliminary Site Plan

This is a Preliminary Site Plan for a concrete plant to be located on a 5.77-acre parcel of land consisting of an existing 6,640 square foot commercial building, 19 parking spaces, a batch plant, 20,250 square feet of material storage and other site improvements. The property is located on the west side of Sussex Highway (Route 13) and lies within the Combined Highway Corridor Overlay Zone (CHCOZ). The Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcel 131-19.00-5.00. Zoning: HI-1 (Heavy Industrial Zoning District). Staff are awaiting agency approvals.

### **Hocker's Super Center Phase 2 (S-20-24)**

BM

#### Preliminary Site Plan

This is a Preliminary Site Plan for a commercial center to consist of two retail spaces, a bank, a fast food establishment, and a previously approved car wash to be located over four (4) parcels of land that have a combined area of 12.0437 acres. There are 107 parking spaces to be provided (including the car wash). This property is located on the corner of Roxana Road (S.C.R. 17) and Atlantic Avenue (S.C.R. 26). The Preliminary Site Plan complies with Sussex County Zoning Code. Tax Parcels: 134-12.00-330.01, 331.00, 332.00, 333.00, 334.00. Zoning: C-1 (General Commercial Zoning District). Staff are awaiting agency approvals.



**Best Shot Delaware (S-20-28)**

KS

**Preliminary Site Plan**

This is a Preliminary Site Plan for a 13,305 square foot indoor shooting range, retail, and office space for Best Shot Delaware. The property is located on the north side of Coastal Hwy (Route 1) and lies within the Combined Highway Corridor Overlay Zone (CHCOZ). The applicant is requesting a waiver to allow for 28 proposed parking spaces to be located within the front yard setback. The additional parking provided is for future development. The Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 334-1.00-15.00. Zoning: C-2 (General Commercial Zoning District) and AR-1 (Agricultural Residential Zoning District) The structure is proposed within the C-2 portion of the parcel. Staff are awaiting agency approvals.

**Lands of Layton**

HW

**Minor Subdivision off an existing easement**

This is a Preliminary Subdivision Plan for a minor subdivision of a 9.96-acre parcel to create two (2) lots. Lot 1 will consist of 2.134-acres +/-, Lot 2 will consist of 2.656-acres +/- . The residual land will consist of 5.170-acres +/- . The property is located off Woodland Ferry Rd (S.C.R. 78), and the existing easement measures 34.93-ft over an existing driveway (Got Chicken Lane). The Preliminary Subdivision Plan complies with the Sussex County Zoning and Subdivision Code. Tax Parcel: 232-4.00-7.13. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are awaiting agency approvals.

**Lands of Ronda A. Banning**

HW

**Minor Subdivision off an existing 34.93-ft easement**

This is a Preliminary Subdivision Plan for a minor subdivision of a 42.17-acre parcel to create two (2) lots. Lot No. 8 will consist of 1.0274 acres +/-, and Lot No. 9 will consist of 1.4449 acres +/- . The residual land will measure 39.70 acres +/- . The property is located on the north side of Wootten Road (S.C.R. 72). The proposed lots will have access off an existing 50-foot ingress/egress easement over a private road known as Haven Way. The Preliminary Subdivision Plan complies with Sussex County Zoning and Subdivision Codes. Tax Parcel: 332-5.00-15.00. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are awaiting agency approvals.

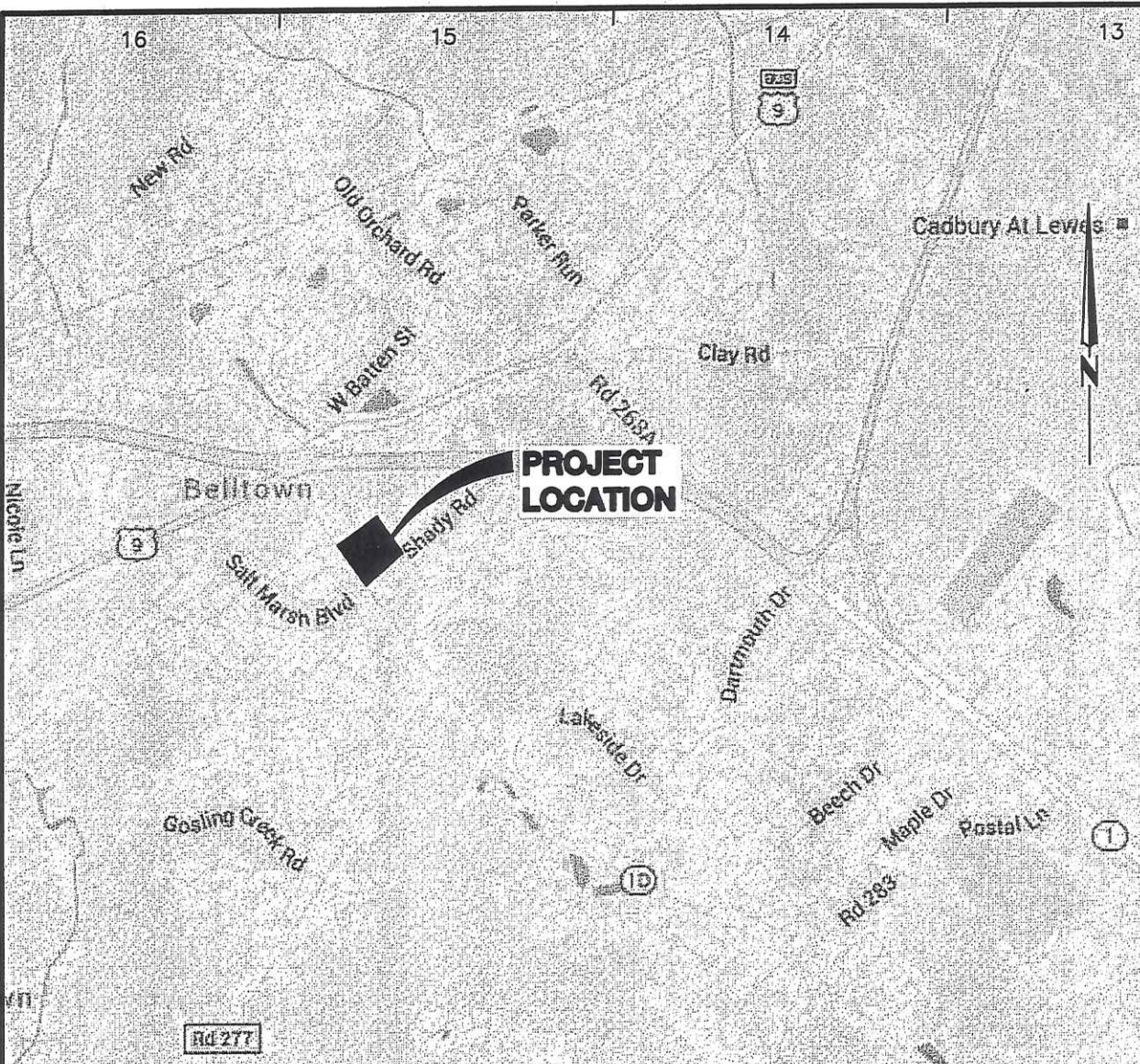
**Lands of Hazel L. Cordrey Trustees**

KS

**Minor Subdivision off a 50-ft easement**

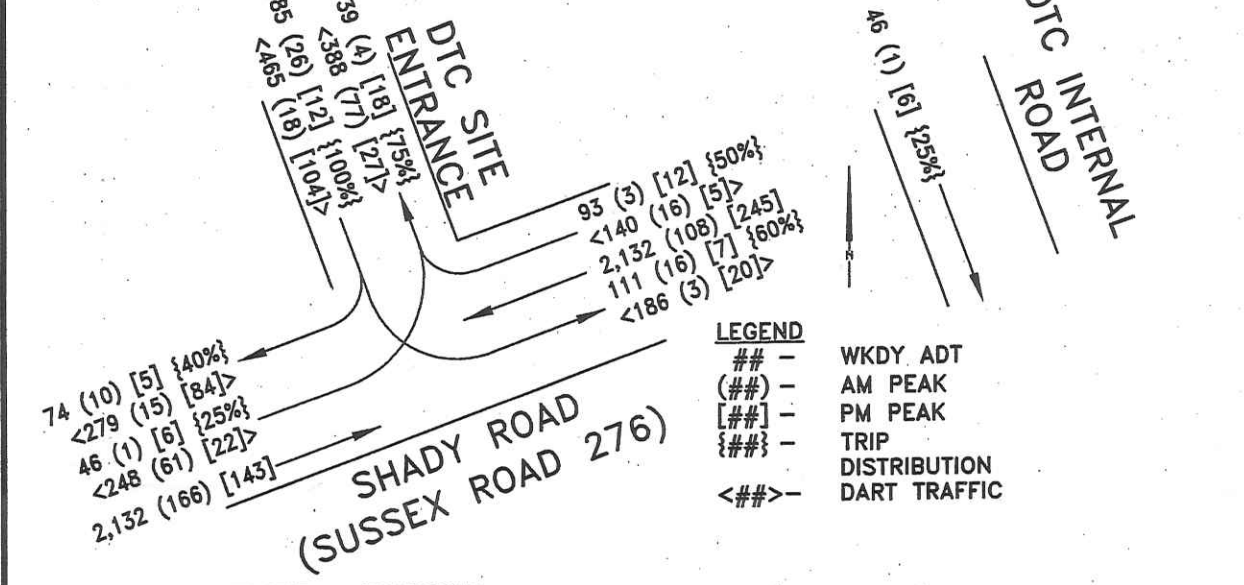
This is a Preliminary Subdivision Plan for a minor subdivision off a 4.9998-acres parcel to create one (1) lot consisting of 1.00 acre, off a proposed 50-ft ingress/egress easement, over an existing driveway. Lot A will consist of 1.00 acre and the residual lands will consist of 3.9998 acres. This property is located off Conleys Chapel Road (S.C.R. 280B). The Preliminary Subdivision Plan complies with Sussex County Zoning and Subdivision Code. Tax Parcel: 234-11.00-74.00. Zoning: MR (Medium Density Residential Zoning District.) Staff are awaiting agency approvals.





LOCATION MAP SCALE: 1"=2,000'

ROAD: SHADY ROAD (SUSSEX ROAD 276)  
FUNCTIONAL CLASSIFICATION - LOCAL ROADWAY  
WEEKDAY AADT (2014 DBF ATR COUNT) = 3,602  
10 YR PROJECTED WEEKDAY AADT = 4,178  
10 YR PROJECTED WEEKDAY AADT + COMM DEV + SITE ADT (324) = 5,259  
WEEKDAY DIRECTIONAL SPLIT (DBF COUNTS) = 63.47% / 36.53%  
WEEKDAY PEAK HOUR = 4,178 X 8.48% (DBF WEEKDAY K-FACTOR)  
12.16 TRUCK % X 35 (DELAWARE ARTHRITIS TRAFFIC) = 388  
SPEED - POSTED = 35  
TRAFFIC PATTERN GROUP - 7

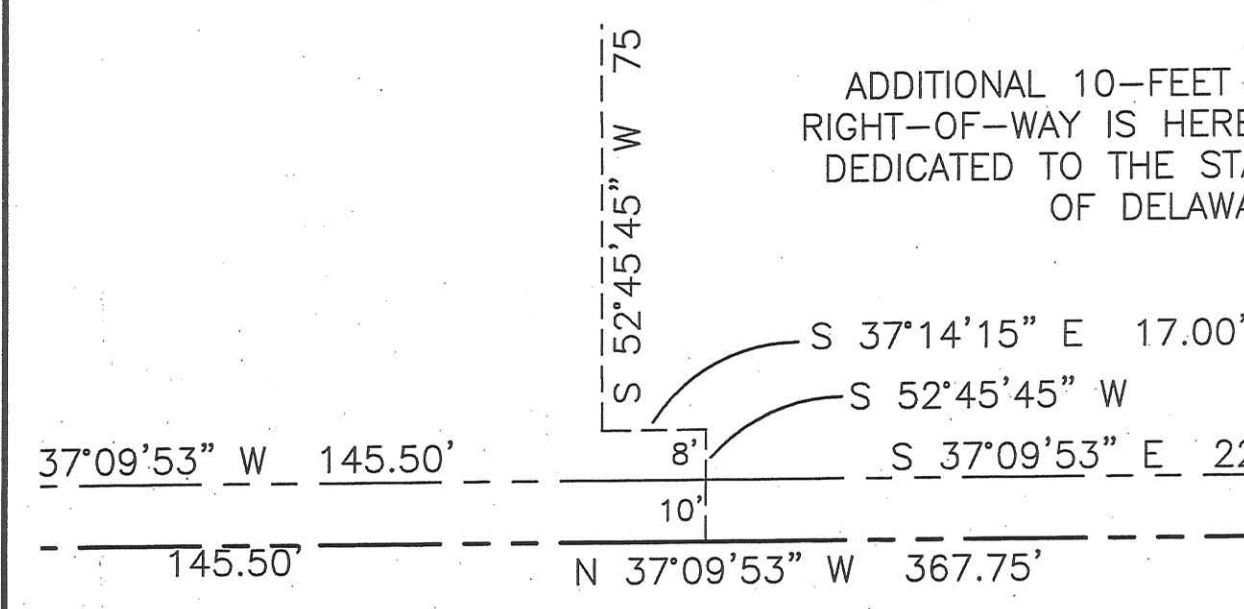


SITE TRIPS GENERATED - PROPOSED

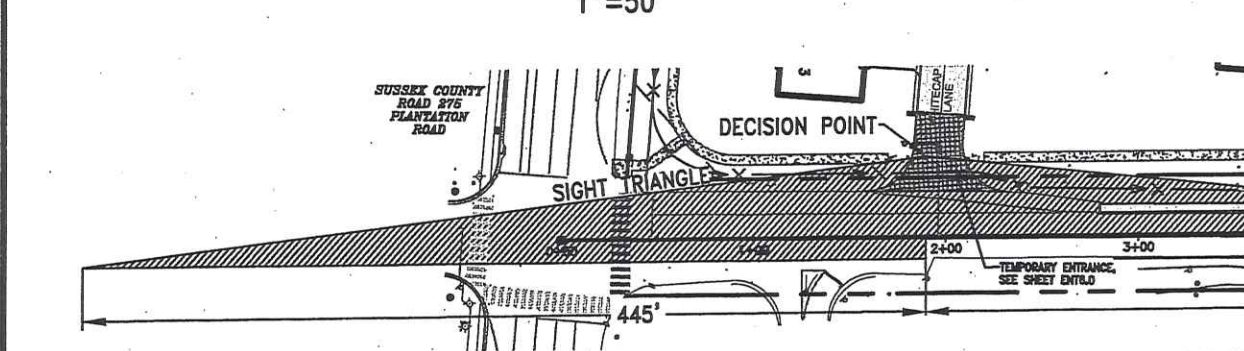
TYPE OF DEV.	CODE	UNITS	AM	PM	ADT
TOWNHOMES/CONDOS	230	53	31	36	370

- NOTES:
- TRIP GENERATION IS BASED ON ITE TRIP GENERATION MANUAL 9TH EDITION.
  - DESIGN VEHICLE: SU-30.
  - LEWES REHOBOTH TOWNHOMES TRIP DISTRIBUTION BASED ON DELDOT TRAVEL DEMAND MODEL PROVIDED BY DELDOT.
  - DART DAILY TRIP ASSIGNMENT BASED ON PAGE C-14 FROM THE 2012 LEWES AREA TRANSIT FACILITY TRAFFIC STUDY REPORT.
  - DART PEAK HOUR TRIP ASSIGNMENT BASED ON PAGE 11 FROM THE 2012 LEWES AREA TRANSIT FACILITY TRAFFIC STUDY REPORT.

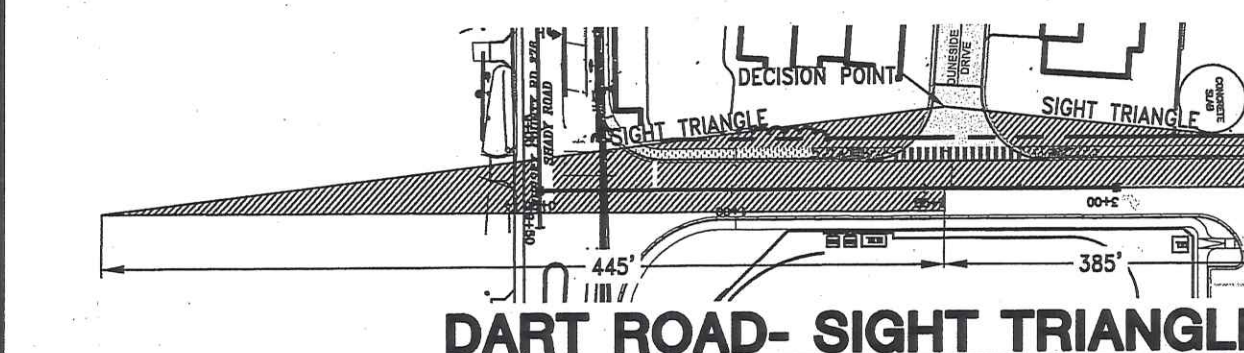
TRAFFIC DIAGRAM NOT TO SCALE



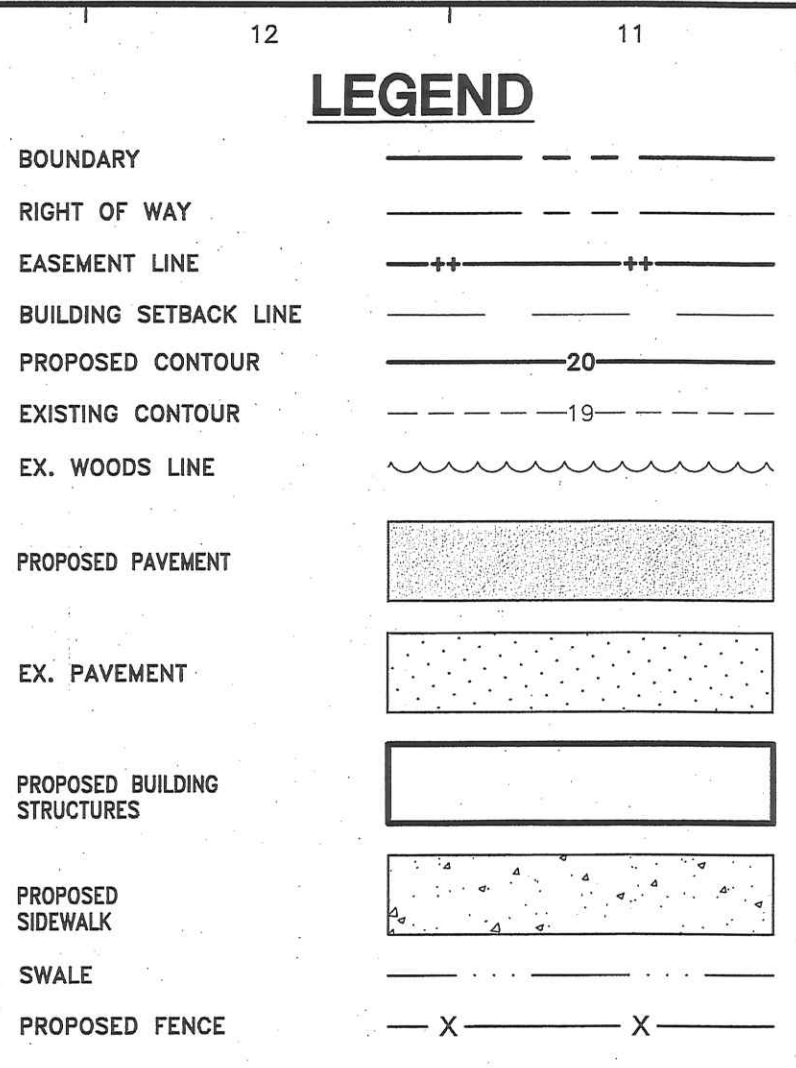
R.O.W. DEDICATION DETAIL 1"=50'



SHADY ROAD- SIGHT TRIANGLE 1"=100'



DART ROAD- SIGHT TRIANGLE 1"=100'



LEGEND

DATA COLUMN

TAX MAP NUMBER:	334-6.00-687.00
EXISTING ZONING:	C-1 (COMMERCIAL)
PROPOSED USE:	RESIDENTIAL
TOTAL SITE AREA:	6.49± ACRES
STATE OF DELAWARE:	1.63± ACRES
DRIVEWAY AREA:	0.51± ACRES
ROAD AREA:	1.27± ACRES
OPEN SPACE AREA:	3.08± ACRES
PROPOSED NUMBER OF UNITS:	53 UNITS
PROPOSED HEIGHT MAXIMUM:	42 FEET
PROPOSED MAXIMUM STORIES:	3 STORIES
PROPOSED DENSITY:	8 UNITS/ ACRE
REQUIRED PARKING SPACES:	2/ UNIT
PROVIDED PARKING SPACES (INCLUDING GARAGE):	106 SPACES
C-1 SETBACKS:	FRONT YARD: 40 FEET (40 FEET FROM PLANTATION ROAD) (40 FEET FROM SHADY ROAD) (30 FEET FROM PROPOSED ROAD) REAR YARD: 10 FEET SIDE YARD: 10 FEET
UTILITIES:	WATER - TIDEWATER UTILITIES, INC. SEWER - SUSSEX COUNTY

NO AMENITIES ARE PROPOSED WITHIN THIS DEVELOPMENT.

100 YR. FLOODPLAIN DOES NOT EXIST ON THIS SITE PER FEMA MAP #100050331K, DATED 3/16/15.

OWNER / DEVELOPER: LEWES-REHOBOTH ASSOCIATES, L.L.C. 2407 COLUMBIA PIKE, SUITE 200 ARLINGTON, VIRGINIA 22204

ENGINEER: DAVIS, BOWEN & FRIEDEL, INC. ONE PLAZA EAST, SUITE 200 SALISBURY, MD 21801

### DELDOT GENERAL NOTES

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S "SHARED-USE PATH AND/OR SIDEWALK TERMINATION POLICY".
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS ALONG THE FRONTAGE OF ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL, AND THE REQUIREMENTS OF THE LAND USE AGENCY.
- THE SHARED-USE PATH WITHIN THE PROPERTY LIMITS, SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SHARED-USE PATH.
- UPON THE ISSUANCE OF THE TEMPORARY ENTRANCE CONSTRUCTION PERMIT BY THE SOUTH DISTRICT PUBLIC WORKS OFFICE, THE TEMPORARY ENTRANCE IMPROVEMENTS ALONG SCR 276 SHALL BEGIN CONSTRUCTION.
- PRIOR TO THE ISSUANCE OF THE 1ST BUILDING PERMIT AND/OR CERTIFICATE OF OCCUPANCY, THE TEMPORARY ENTRANCE ALONG SCR 276 SHALL BE COMPLETELY CONSTRUCTED, INSPECTED AND ACCEPTED BY DELDOT.
- THE TEMPORARY ENTRANCE SHALL HAVE AN INITIAL TRIP RESTRICTION OF 22-OCCUPIED UNITS. ADDITIONAL CERTIFICATES OF OCCUPANCY'S MAY BE ISSUED UNTIL AT THE REQUEST OF THE DEVELOPER AND DELDOT APPROVAL IF THE DART PARK & RIDE BOULEVARD HAS NOT BEEN CONSTRUCTED, INSPECTED AND FINAL ACCEPTED PRIOR TO THE ISSUANCE OF THE 22ND CERTIFICATE OF OCCUPANCY.
- AT SUCH TIME THE ENTRANCE FROM THE DART PARK & RIDE BOULEVARD IS COMPLETED, THE TEMPORARY ENTRANCE ALONG SCR 276 SHALL BE REMOVED AND REMAINING SIDEWALK SHALL BE RESTORED.

### ENGINEER'S STATEMENT

I, RING W. LARDNER, P.E. HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE. THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

RING W. LARDNER, P.E.  
DAVIS, BOWEN & FRIEDEL, INC.  
23 NORTH WALNUT STREET  
MILFORD, DELAWARE, 19963

DATE: 4-15-2016

TAX MAP NO.: 334-6.00-687.00  
LOWE'S HOME CENTERS, INC.  
DEED REFERENCE: 226/41  
PRESENT AND USE: COMMERCIAL

REPLACE EXISTING CONCRETE

CROSS-ACCESS DRIVEWAY  
DEED REFERENCE: 227/45

BIORETENTION AREA #5

EX GUARDRAIL

BIORETENTION AREA #6

BIORETENTION AREA #7

BIORETENTION AREA #8

BIORETENTION AREA #9

BIORETENTION AREA #10

BIORETENTION AREA #11

BIORETENTION AREA #12

BIORETENTION AREA #13

BIORETENTION AREA #14

BIORETENTION AREA #15

BIORETENTION AREA #16

BIORETENTION AREA #17

BIORETENTION AREA #18

BIORETENTION AREA #19

BIORETENTION AREA #20

BIORETENTION AREA #21

BIORETENTION AREA #22

### OWNER'S STATEMENT

WE, LEWES-REHOBOTH ASSOCIATES, L.L.C., HEREBY STATE THAT WE ARE THE OWNERS OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT OUR DIRECTION, WE ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN BE RECORDED ACCORDING TO LAW.

LEWES-REHOBOTH ASSOCIATES, L.L.C.  
2407 COLUMBIA PIKE, SUITE 200, ARLINGTON, VIRGINIA 22204

BY: BENJAMIN M. SMITH, JR., TRUSTEE OF THE BMS JR. 2011 TRUST, GROUP A MANAGER  
DATE: 25 April 16

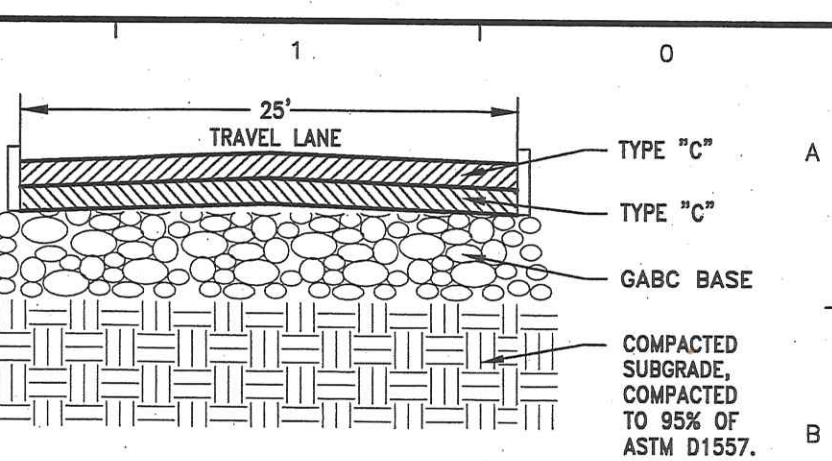
BY: PEELE BROTHERS MANAGEMENT, L.L.C.  
A VIRGINIA LIMITED LIABILITY COMPANY  
GROUP B MANAGER  
DATE: 4/23/16

BY: EDWARD C. PEELE, CLASS A MANAGER  
DATE: 4/23/16

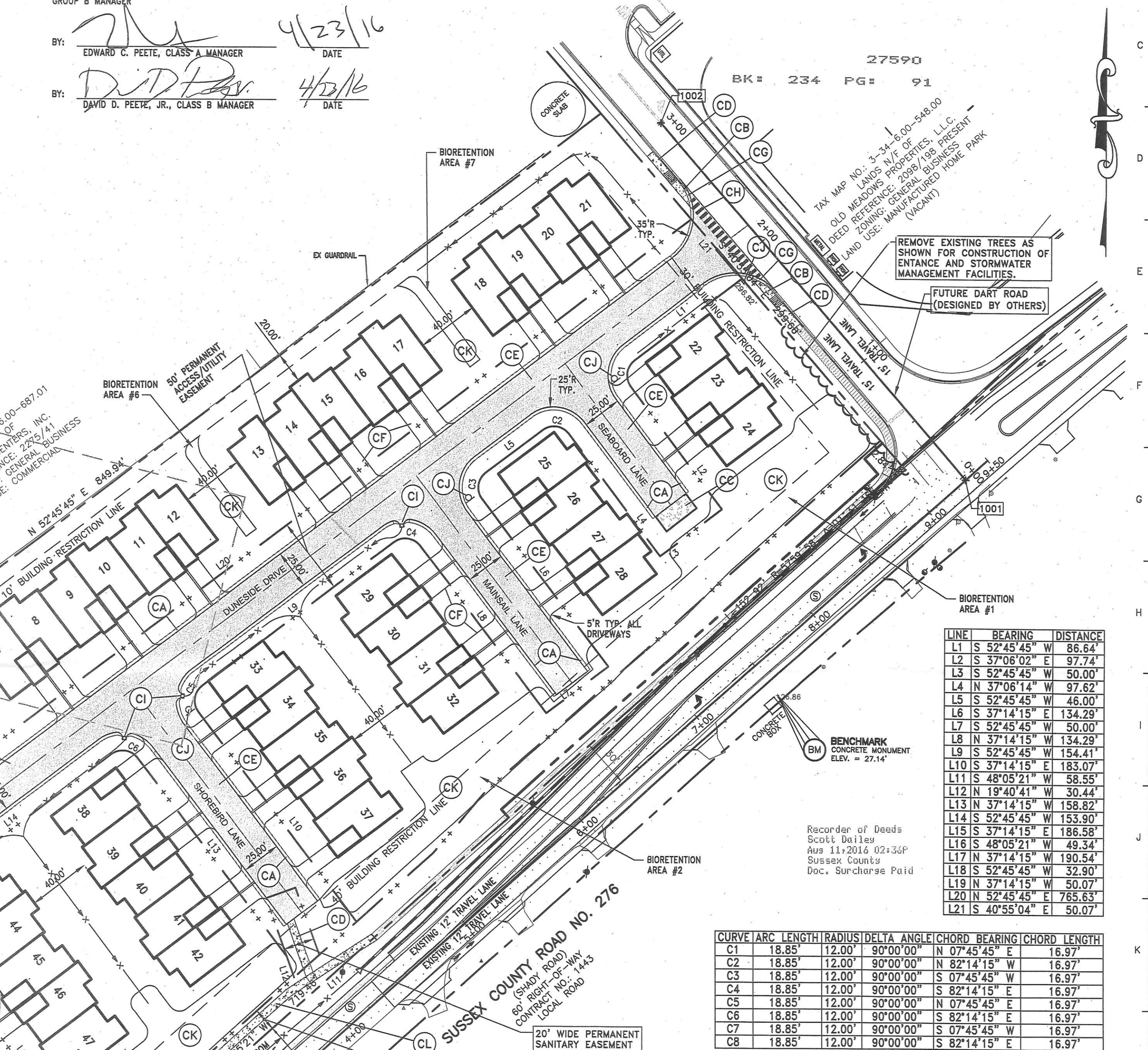
BY: DAVID D. PEELE, JR., CLASS B MANAGER  
DATE: 4/23/16

### GENERAL NOTES

- REAR DECKS SHALL NOT BE CONSTRUCTED OFF THE REAR OF UNITS 29 TO 47, DUE TO THE MINIMUM 40' SEPARATION DISTANCE.
- SIDE DECKS SHALL NOT BE CONSTRUCTED BETWEEN UNITS 6 TO 7, 12 TO 13, AND 17 TO 18, DUE TO THE MINIMUM 40' SEPARATION DISTANCE.
- THE APPLICANT SHALL FORM A HOMEOWNERS' ASSOCIATION RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ROADS, STORMWATER MANAGEMENT FACILITIES, EROSION AND SEDIMENTATION CONTROL FACILITIES, OPEN SPACE, AND OTHER COMMON AREAS.



TYPICAL ROAD SECTION NOT TO SCALE



CURVE DATA

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	18.85'	12.00'	90°00'00"	N 07°45'45" E	16.97'
C2	18.85'	12.00'	90°00'00"	N 82°14'15" W	16.97'
C3	18.85'	12.00'	90°00'00"	S 07°45'45" W	16.97'
C4	18.85'	12.00'	90°00'00"	S 82°14'15" E	16.97'
C5	18.85'	12.00'	90°00'00"	N 07°45'45" E	16.97'
C6	18.85'	12.00'	90°00'00"	S 82°14'15" E	16.97'
C7	18.85'	12.00'	90°00'00"	S 07°45'45" W	16.97'
C8	18.85'	12.00'	90°00'00"	S 82°14'15" E	16.97'

CONSTRUCTION ALIGNMENT CONTROL

POINT	STATION	OFFSET	EXISTING ELEVATION	NORTH	EAST
1000	0+00	0.00	-	271265.43	726229.27
1001	9+31.09	0.00	-	271885.79	726923.59
1002	3+00	0.00	-	271212.56	726727.18

SITE PLAN KEY LEGEND

LABEL	DESCRIPTION
CA	PROPOSED CURB - P.C.C. CURB TYPE 2 (REFER TO DELDOT STANDARD DETAILS)
CB	PROPOSED CURB RAMP, TYPE 1 (REFER TO DELDOT STANDARD DETAILS)
CC	PROPOSED POURED CONCRETE DUMPSTER PAD W/ 6' TALL WHITE VINYL FENCE (SEE DETAIL SHEET C5.1)
CD	PROPOSED POURED CONCRETE SIDEWALK (SEE DETAIL SHEET C5.1)
CE	PROPOSED ASPHALT DRIVEWAY (SEE DETAIL SHEET C5.1)
CF	PROPOSED ASPHALT DRIVEWAYS (SEE DETAIL SHEET C5.1)
CG	DETECTABLE WARNING TRUNCATED DOME (REFER TO DELDOT STD C-2)
CH	PROPOSED PEDESTRIAN CROSSWALK STRIPING
CI	PROPOSED CURB OPENING, 2' WIDE (SEE DETAIL SHEET C5.1)
CJ	PROPOSED "STOP" SIGN, R1-1 (REFER TO DELDOT STANDARDS), 30"x30"
CK	PROPOSED BIORETENTION AREA
CL	PROPOSED CONCRETE SIDEWALK (REFER TO DELDOT STANDARD DETAIL M-3)
CM	PROPOSED 5' SHOULDER WIDENING

APPROVED  
Final Site Plan  
per RCM 4/14/16  
SUSSEX COUNTY  
PLANNING & ZONING COMMISSION

THIS DRAWING, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO DAVIS, BOWEN & FRIEDEL, INC., AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION. COPYRIGHT © 2015

**SOMERSET GREEN**  
**LEWES/REHOBOTH HUNDRED**  
**SUSSEX COUNTY, DELAWARE**

Revisions:  
09-8-15 PER DELDOT COMMENTS  
10-26-15 PER DELDOT COMMENTS  
12-07-15 PER DELDOT COMMENTS  
02-11-16 PER DELDOT COMMENTS  
03-30-16 PER PAZ COMMENTS

Date: MARCH 2015  
Scale: 1" = 50'  
Dwn.By: JSB  
Proj.No.: 22618002  
Dwg.No.: C2.0

DAVIS, BOWEN & FRIEDEL, INC.  
ARCHITECTS ENGINEERS SURVEYORS  
SALISBURY, MARYLAND (410) 545-3991  
FREDERICK, MARYLAND (410) 775-3744  
EASTON, MARYLAND (410) 775-1744

SITE PLAN



7/22/2020

Sussex County Planning & Zoning  
Attn: Permits and Licenses  
2 The Circle  
Georgetown, Delaware 19947

Re: Fence Permit Application- Somerset Green

Commissioner Jamie Whitehouse:

As COA Executive Board Officers representing the Somerset Green Community in Lewes, Delaware we are providing this letter to express our dire need for an approval of a permit to install a fence along the common grounds perimeter of our community, running parallel to both Plantation and Shady Roads, respectively.

This fence will add both tangible and intangible benefits to our community. It will give the community significant privacy, isolation, and noise reduction from the constant commercial activity and traffic on both major thruways which can be seen and heard from practically every housing unit in Somerset Green.

As executive board members we have full authority to execute this action. We are exceedingly confident that we are acting in the best economic and aesthetic interest of our community in initiating this permit process.

We respectfully request your total support for our very crucial initiative.

Sincerely,

Kathy Licciardello  
Somerset Green COA Executive Officer



Brendan McCabe  
Somerset Green COA Executive Officer





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July 22, 2020

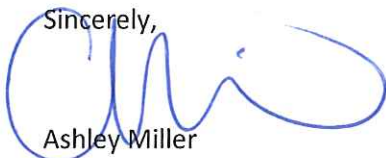
To whom it may concern:

RE: Privacy/Safety Fence on Planation/Shady Road

I am the owner and resident of 33121 Whitecap Lane, #48, Lewes, DE 19958, Somerset Green Condominiums. My unit backs up to Plantation Road and I am in agreeance with my neighbors that a privacy/safety fence should be put in place behind these units. I feel it will increase security around our neighborhood and help deter possible crime. It would also allow for privacy from the busy road that looks directly into the windows of my living room and bedroom. Additionally, it would prevent nonresidents from cutting through our neighborhood to reach Lowes or the sidewalk. Considering this is a neighborhood with children and animals, it will also provide an additional security cushion from these roads.

Thank you for your attention to this matter.

Sincerely,



Ashley Miller

33121 Whitecap Lane #48







7/22/2020

Pamela A. Luongo  
Margret A. Lawrence  
33119 Whitecap Lane  
Lewes Delaware 19958

Sussex County  
Attn: Permits and Licenses  
2 The Circle  
Georgetown, Delaware 19947

Re: Fence Permit Application – Somerset Green

To Whom It May Concern:

Please be advised that we are record owners of 33119 Whitecap Lane, Lewes Delaware 19958. We are providing this letter for purposes of expressly supporting any permitting applications, to include any endorsements of same, submitted by any executive council members of Somerset Green's COA.

As it relates to our personal interest, installation of a fence will mitigate significant health and safety issues. William Lawrence, father and husband to the undersigned, respectively, suffers from severe cognitive deficits relative to sustaining a traumatic brain injury in 2012. He requires constant supervision and this fence will provide a crucial safety barrier that will reduce the risk of suffering a traffic-related injury.

Additionally, the fence will benefit the use and enjoyment of my property. Somerset Green is located in an area of dense commercial activity. Inexplicably, a fence was not installed prior to taking possession of the property. The Somerset Green COA, acting in the best interest of the community, has decided to initiate the permitting process. Installation of this fence is also a prudent and logical step to reducing noise while adding privacy.

For the reasons set forth herein, we respectfully request your support for this crucial initiative.

Very Truly Yours,



Pamela A. Luongo



Margaret A. Lawrence

3 of 20







7/22/2020

To whom it may concern,

I have been a resident of Whitecap Lane since the Spring of 2019. There has been talk of adding fencing behind our units on Plantation Road as well as along Shady Road. This would be a great improvement for all the homeowners of Somerset Green, not just those of us who back up to Plantation Road. There are safety concerns as strangers have been seen coming in during the middle of the night from the direction of the Lowes parking lot. On a more personal level we had been promised a dense buffer to separate our homes from the street which would have provided privacy. For various reasons this never came to fruition.

Installing fencing would be a welcome change especially as the community is growing so much with both residential and commercial projects in this already busy area.

Thank you.

A handwritten signature in cursive script, appearing to read "Peter Kavka".

Peter Kavka

33117 Whitecap Lane

Lewes, DE 19958







7/22/20

To Whom it may concern,

My name is Michael Johnston and I live in the Somerset Green community in Lewes, DE at 33113 Whitecap Ln, Unit #51. I am in agreement with a fence along plantation and Shady Road as there is no buffer presently and it will provide a buffer, some privacy and safety to the community.

Sincerely,



Michael Johnston



05/05/07

Teaching it was exciting

The main is Michael Johnston  
and I was in the 2nd year (2000-2001)  
in 1998 DE at 3112 Woodland Road #11  
I am in agreement with a number of things  
planted in and 2nd year and 3rd year  
in buffer property and it will provide  
a buffer, some privacy and safety to  
the community

2nd year

~~Michael Johnston~~

Michael Johnston

05/05/07



July 22, 2020

To Whom It May Concern:

Re:

Community of Somerset Green, Lewes, DE

*Buffer Protection/Privacy Screening/Fence along Plantation Road and Shady Road, Lewes, DE*

To Whom It May Concern:

I reside at 33107 Whitecap Lane, Lewes, DE in the community of Somerset Green. When I was sold this home, I had been advised by the builder that a fence would be installed along Plantation Road behind my home and along Shady Road from Plantation Road to Shorebird Lane in the community. I was also advised that a large natural planting bed would be installed behind my home. This never materialized.

Having a buffer/fence along Plantation Road and Shady Road would provide a much-needed visual and noise barrier to traffic along both streets. It would also provide for some privacy and would help deter foot traffic into the community. There are elderly residents, handicapped residents and many children who would benefit from a safety perspective by having a fence installed along Plantation and Shady Road.

It is not safe to leave this community exposed so close to these streets. I strongly support the approval and installation of a fence on these streets.

Thank you for your time and consideration.

Sincerely,

A handwritten signature in dark ink, appearing to read "Brendan P. McCabe", with a long, sweeping horizontal line extending to the right.

Brendan P. McCabe  
33107 Whitecap Lane  
Lewes, DE 19958  
484-264-8136  
Bpmccabe14@yahoo.com



4

1



Ray S. Hellmann  
35015 Shorebird Lane  
Lewes, DE 19958

Mr. Jamie Whitehouse, AICP, MRTPI  
Director, Department of Planning & Zoning  
Sussex County  
2 The Circle, P.O. Box 417, Georgetown, DE, 19947

July 22, 2020

Subject: Somerset Green, Lewes, DE  
Buffer Protection/Privacy Screening/Fence along Plantation Road and Shady Road, Lewes, DE

Dear Mr. Jamie Whitehouse:

I reside at 35015 Shorebird Lane, Lewes, DE in the community of Somerset Green. When I was sold this home, I was told by the builder that a fence would be installed along Plantation Road and along Shady Road from Plantation Road to Shorebird Lane in this community. I was also advised a line of "Green Giant" trees would be installed along Shady Rd. This never materialized.

Having a buffer/fence along Plantation Road and Shady Road would provide a much-needed visual, noise and safety barrier to increasingly heavy traffic along both streets. It would also provide much needed privacy and would help deter foot traffic into the community. There are elderly, handicapped and many young residents who would benefit from the safety of having a fence installed along Plantation and Shady Roads.

It is not safe to leave this community exposed so close to these busy streets. Furthermore, with the new Sunset Glen development under construction on Shady Rd. directly opposite Somerset Green's SE corner, increased traffic and direct line of sight bears directly into my home. I strongly support the approval and installation of a fence on these streets, as they are indicated on the Somerset Green Site Plan approved by Sussex Co. in 2016.

Thank you for your time and consideration.

Sincerely,



Ray S. Hellmann







Szilvia Nagy  
35014 Shorebird Lane  
Lewes, DE 19958

July 22, 2020

Mr. Jamie Whitehouse, AICP, MRTPI  
Director, Department of Planning & Zoning  
Sussex County  
22 The Circle, P.O. Box 417, Georgetown, DE, 19947

Subject:  
Somerset Green, Lewes, DE Buffer Protection/Privacy Screening/Fence along Plantation Road and  
Shady Road, Lewes, DE

Dear Mr. Jamie Whitehouse:

I am the owner of 35014 Shorebird Lane, Lewes, DE in the community of Somerset Green. When I purchased my home, I was told by the builder that a fence would be installed along Plantation Road and along Shady Road from Plantation Road to Shorebird Lane in this community. The builder also told us that giant evergreen trees would be planted along Shady Rd. which has not happened.

I have a young daughter and am very concerned about her safety. Having a buffer/fence along Plantation Road and Shady Road would provide a much-needed visual, noise and safety barrier to increasingly heavy traffic along both streets. It would also provide much needed privacy and would help deter foot traffic into the community. There are elderly, handicapped and many other young residents who would benefit from the safety of having a fence installed along Plantation and Shady Roads.

Currently this community is exposed to these busy streets which is a big safety concern for me. Furthermore, with the new Sunset Glen development under construction on Shady Rd. directly opposite Somerset Green's SE corner, increased traffic and direct line of sight bears directly into my home. I strongly support the approval and installation of a fence on these streets, as they are indicated on the Somerset Green Site Plan approved by Sussex Co. in 2016.

Thank you for your time and consideration.

Sincerely,



Szilvia Nagy, M.D.  
35014 Shorebird Lane  
Lewes, DE 19958





Diane Tedesco  
33111 Whitecap Ln.  
Lewes, DE 19958

To whom it may concern

RE: Privacy/safety fence  
on Plantation/Shadow Road

I am the owner and resident of  
33111 Whitecap Lane  
Lewes, DE 19958  
Somerset Green Bndos

My unit back up to Plantation Rd  
and I agree with my neighbors  
that a privacy/safety fence should  
be put in place behind these units  
I will increase security and  
help deter possible crime.

It would also increase privacy  
and noise from this busy road

Thank you for your attention  
to this matter

Diane Tedesco  
33111 Whitecap Lane



Dear Mr. [Name]  
[Faint handwritten text]

[Faint handwritten text]

[Faint handwritten text]

Yours faithfully,  
[Signature]

7-22-2020

To Whom It May Concern,

My name is Laura Sammaris. My family and I live @ 33110 Whitecap Lane in Somerset Green in Lewis, DE. We settled on our home June 2019. When we were considering the purchase of this home, we were advised by the Ryan Homes agent that the Community would have a fence erected along Plantation and Shady roads to provide a buffer for the residents as this is a high-traffic area. This has not come to be, so our Homeowner's Association is working on behalf of the homeowners to obtain the appropriate approvals to do so.

This proposed fence will provide much needed privacy, safety and a noise buffer for those of us that live here.

Plantation & Shady roads are heavily traveled roads. The traffic noise is such that we cannot hold a conversation in our own driveway without the need to raise our voices.

We have no privacy. We cannot sit on our decks and patios without being on full display to those who drive by.

My husband and I would have never chosen 10 of 20



our home under these circumstances that we find ourselves in. We have an 8-year-old daughter and I am wary of her being outside without one of us being right with her. Because of the exposure to the road, our community sees a lot of additional "foot" traffic from non-residents that use our neighborhood as a "cut-through" to get to the Park & Ride, howes, and other stores and restaurants.

There is now a new community being built on the opposite side of Shady Road. The entrance/exit to that community faces our homes. The traffic in and out of this new community creates constant headlight "pollution" that shines into our living rooms.

Our community would very much like to have this proposed fence approved for all of these reasons and more.

Thank you for considering this request. This fence will dramatically improve the quality of life here at Somerset Green.

Sincerely, Julia Jammara

# BREAKWATER CUSTOM FENCE

11412 Holly Tree Rd. Lincoln, DE 19960  
302-684-3333 --- 302-644-0895 --- 302-245-4290  
Vic2nd@yahoo.com

*Quality Building Today, Guarantees Our Tomorrow*

DATE: 07/21/2020  
CUSTOMER: Somerset Green/Kathy Licciardello  
ADDRESS: Plantation and Shady Road  
Lewes, DE 19958  
PHONE: 301 996 6636  
EMAIL: [3angels4us@gmail.com](mailto:3angels4us@gmail.com)

DOCUMENT: Proposal for 6 feet Solid Tan Vinyl  
Installation at same address

**We hereby submit specifications and estimates as follows:**

Installation of approx. 571 total feet of 6 feet tall solid tan privacy fencing.  
New 6 feet tall fence panels will be constructed of 7/8 x 6 tongue and groove pickets held by 2 horizontal support members 2-inch x 8 inch grooved to accept the pickets. Bottom horizontal support will have a metal support beam to help prevent sagging over the years. Post will be heavy wall thickness and be routed to accept the horizontal members sliding inside them for a bracket free installation. Post caps will be standard external pyramid. All post will be set in concrete. All material shall carry the manufacturer's (Thermal Chek) lifetime warranty.

This fence shall be installed as per the attached work order to be agreed upon by both contractor and customer by signing this proposal/contract. Workmanship is guaranteed for a period of 5 years from the date of installation by Breakwater Fence excluding acts of God. **Customer accepts any and all responsibility for location of final placement of fence line. Breakwater Fence is exempt from any disputes that arise over location of final placement of fence.** Breakwater Fence cannot and will not be held responsible for damage resulting from digging to underground objects and private utilities or amenities that are not marked by the Miss Utility marking system. Such as septic- irrigation - well lines - private electrical lines. Permits are customer's responsibility.

**We propose hereby to furnish material and labor complete in accordance with the above specifications for the sum of;**

**Fifteen Thousand Four Hundred Five Dollars ----- \$15,405.00**

**Payment to be made are as follows;**

**A Deposit of 50% \$7,702.50 due At Signing - Balance of \$7,702.50 due upon completion**

All material is guaranteed to be as specified. All work is to be completed in a professional manor according to standard practices. Any alteration or deviation from above specifications involving extra cost will be executed only upon written orders and will become an extra charge over and above the estimate. All agreements are contingent upon strikes, accidents or delays beyond our control. Customer is responsible to carry fire, tornado and all necessary insurances. Our workers are fully covered by Workman's Compensation Insurance.

  
Breakwater Fence Authorized Signature

  
Date

\_\_\_\_\_  
Client's Authorized Signature

\_\_\_\_\_  
Date





# WORK ORDER - BREAKWATER CUSTOM FENCE

Date: 7/21/2020

Name: SOMERSET GREEN / KATHY LICCARDONE

Phone Number: 301-996-6626

Email: JANSLEYHS@GMAIL.COM

Sub Division: SOMERSET GREEN

Address: PLANTATION SHADY RD  
LENES, DE 19958

Fence Type: 6 FEET VINYL PRIVACY TAN

Grade description: MINIMAL

Line clearing: YES ☒ NO ☐

Utilities: YES ☒ NO ☐

Survey Y ☒ N ☐ -Prop Markers Found Y ☒ N ☐

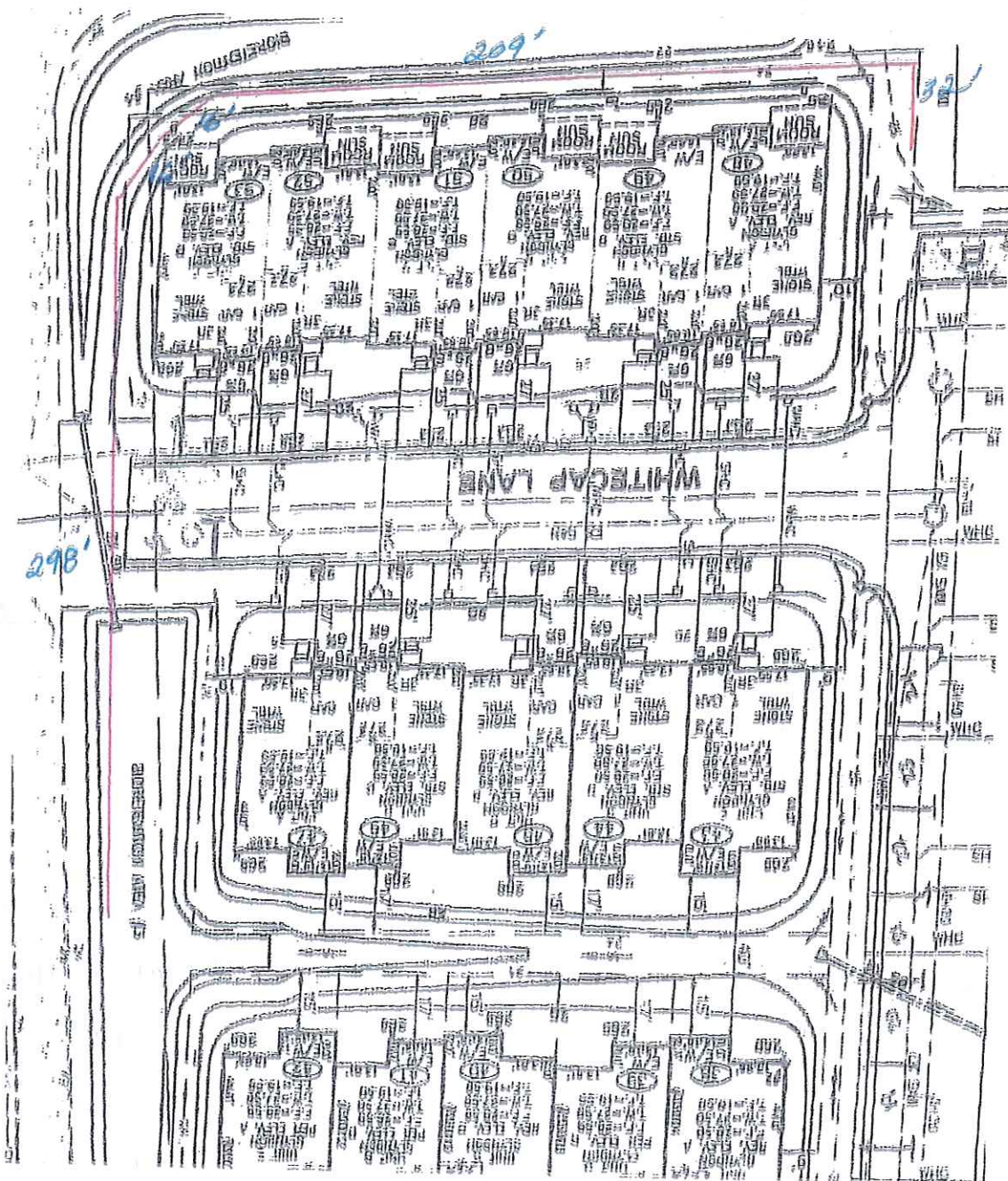
Does turf and accessibility make it able to use

Equipment like mini skid loader YES

Breakwater Fence Signature *[Signature]*

date 7/21/20 Customer Signature

date





DBF quality

when fire sit

small

HDA confirm letter

my authority when change

community

opp =

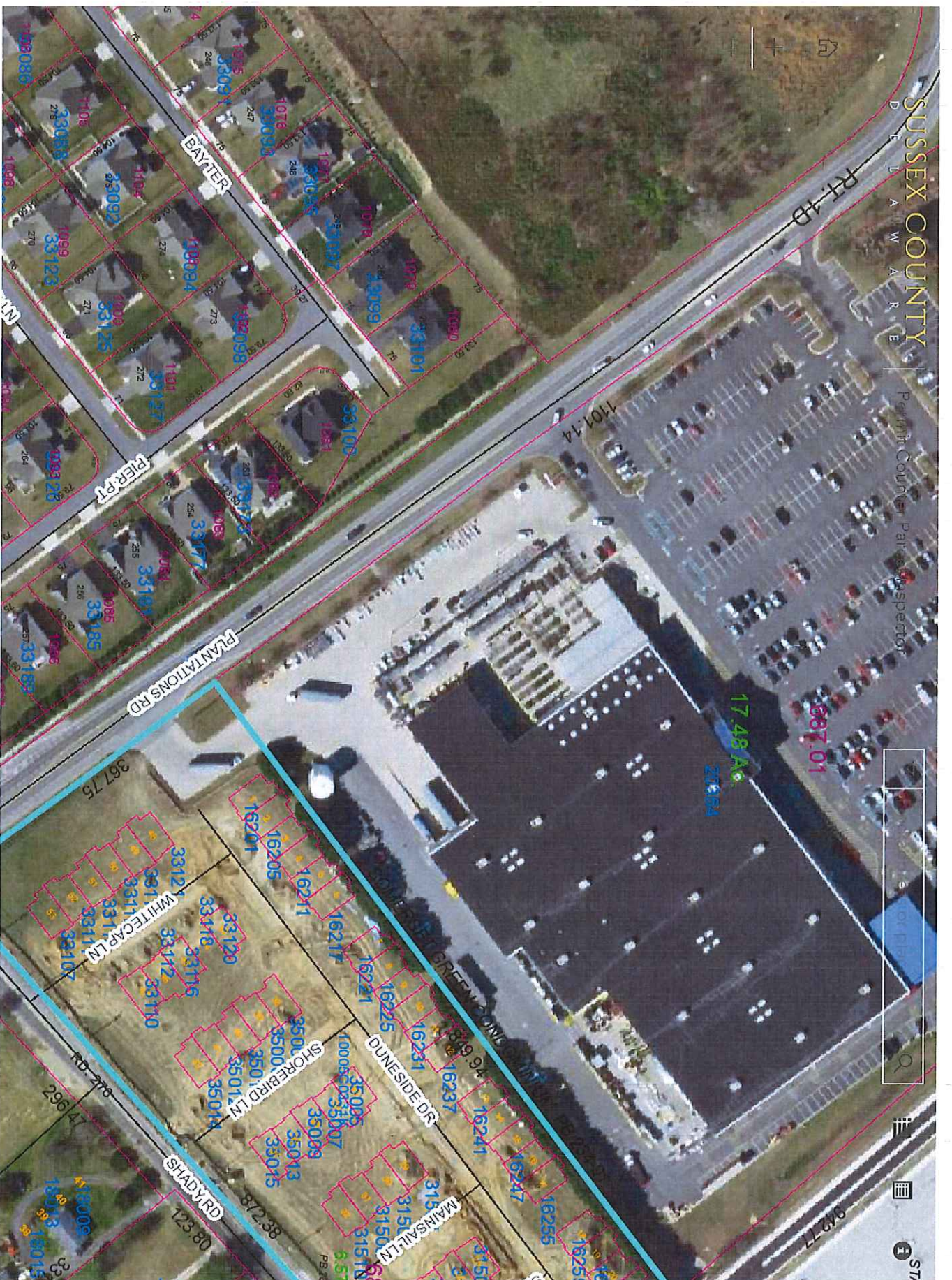
for =

Lesson

approved

02/06/20





02/04/20





## Miss Utility of Delmarva

**Ticket No:** 200830547  
**Original Call Date:** 03/23/20 01:03 pm  
**Op / Rev Op:** wibarb / wibarb  
**Response Due By:** 03/26/20 07:00 am  
**Release Time:** 03/23/20 01:19 pm  
**Expiration Date:**

### CALLER INFORMATION

**Company Name:** SOMERSET GREEN  
**Fax Phone:**  
**Contact Name:** KATHY LICCIARDELLO  
**Phone:** 301-996-6636  
**Caller Address:** 33120 WHITECAP LN LEWES, DE 19958  
**Email Address:** c3angels4us@gmail.com  
**Job Site Contact:** SAME  
**Phone:**

### DIG SITE INFORMATION

**Type of Work:** INSTALL FENCE  
**Work Being Done For:** SOMERSET GREEN  
**Explosives:** N  
**Trenchless:**  
**Permit:**  
**MDOT Permit:**  
**Job Number:**

### DIG SITE LOCATION

**State:** DE  
**County:** SUSSEX  
**Place:** LEWES  
**Subdivision:**  
**Address:**  
**Street:** PLANTATION RD  
**Intersecting Street:** SHADY RD  
**Extent of Work:** FROM PLANTATION RD AND SHADY RD MARK 400FT GOING NW TO INCLUDE 30FT NE OF RD  
**Remarks:**  
**Map Coord NW Lat:** 38.7459523  
**Lon:** -75.1720783  
**SE Lat:** 38.7445056  
**Lon:** -75.1705255

### MEMBERS NOTIFIED

District	Company Name	Marking Concerns	Damage	Customer Service	Status
CDE01	COMCAST/CABLE PROTECTION SERVI	804-562-3409	877-359-1821	877-359-1821	Clear/No conflict
CUDE03	CHESAPEAKE UTILITIES	302-734-6797	800-427-2883	800-427-2883	Marked
DECO26	DELAWARE ELECTRIC COOP CO	302-349-9090			Clear/No conflict
DPML12	DELMARVA PWR/UTILQUEST	678-831-2444	800-375-7117	800-375-7117	Clear/No conflict (Response by Utilquest)
SCED01	SUSSEX COUNTY ENGINEERING	302-855-7717	302-855-7379	302-855-7717	Clear/No conflict (3-23-20. tr. no county sewer in that direction on Plantation Rd)
SDHY26	DE DEPT OF TRANS	302-387-3707	302-659-4600	302-659-4600	Marked
SUN02	CROWN CASTLE/STACK CENTER LOC	801-364-1063	800-286-6664	267-927-2000	Clear/No conflict
TIDE02	TIDEWATER UTILITIES	302-218-2139	302-747-1301	877-720-9272	Marked up to privately (staked and painted work area)
VSUSS	VERIZON	678-831-2444	800-379-0254	410-536-0070	Clear/No conflict (Response by Utilquest)

**Legend:**  Locate Polygon

Lat/Lon

15 of 20







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Kathy Licciardello &lt;c3angels4us@gmail.com&gt;

**Ticket 200920663 - Response to dig request**

2 messages

agt\_comm@irth.com <agt\_comm@irth.com>  
To: c3angels4us@gmail.com

Fri, Apr 3, 2020 at 12:12 PM

=====

To: HOMEOWNER                      Attn: KATHY LICCIARDELLO  
Voice: 3019966636                      Fax:  
Re: Response to dig request

Hello this is an important message from Crown Castle in response to your dig request

=====

Ticket: 200920663  
County: SUSSEX                      Place: LEWES  
Address: 33120 WHITECAP LN

SUN02:

We have determined our facilities are clear from the dig site per the one call center ticket. If you have any questions please contact at (801) 364-1063

=====

If you have any further questions, you can contact us at 888-632-0931 extension 2. Thank you

=====

This message was generated by an automated system. Please do not reply to this email.

Kathy Licciardello <c3angels4us@gmail.com>  
To: Kathy Licciardello <c3angels4us@gmail.com>

Wed, Jul 22, 2020 at 1:07 PM

----- Forwarded message -----

From: <agt\_comm@irth.com>  
Date: Fri, Apr 3, 2020 at 12:12 PM  
Subject: Ticket 200920663 - Response to dig request  
To: <c3angels4us@gmail.com>

=====

To: HOMEOWNER                      Attn: KATHY LICCIARDELLO  
Voice: 3019966636                      Fax:  
Re: Response to dig request

Hello this is an important message from Crown Castle in response to your dig request

17 of 20





=====

Ticket: 200920663  
County: SUSSEX Place: LEWES  
Address: 33120 WHITECAP LN

SUN02:

We have determined our facilities are clear from the dig site per the one call center ticket. If you have any questions please contact at (801) 364-1063

=====

If you have any further questions, you can contact us at 888-632-0931 extension 2. Thank you

=====

This message was generated by an automated system. Please do not reply to this email.

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Kathy Licciardello &lt;c3angels4us@gmail.com&gt;

**Ticket: 200830547**

4 messages

de@occinc.com <de@occinc.com>  
To: c3angels4us@gmail.com

Mon, Mar 23, 2020 at 1:19 PM

**NOTICE OF INTENT TO EXCAVATE****STANDARD**

<b>Ticket No:</b>	200830547		
<b>Transmit Date:</b>	3/23/20	<b>Time:</b>	1:19 PM
<b>Release Date:</b>	3/23/20	<b>Time:</b>	1:03 PM
<b>Response Due By:</b>	3/26/20	<b>Time:</b>	7:00 AM
		<b>Type:</b>	CALL

**Caller Information**

<b>Company:</b>	SOMERSET GREEN	<b>Type:</b>	OTHER
<b>Contact Name:</b>	KATHY LICCIARDELLO	<b>Fax:</b>	
<b>Phone:</b>	(301) 996-6636		
<b>Caller Address:</b>	33120 WHITECAP LN		LEWES, DE 19958
<b>Email Address:</b>	c3angels4us@gmail.com		
<b>Job Site Contact:</b>	SAME	<b>Phone:</b>	

**Dig Site Information**

<b>Type of Work:</b>	INSTALL FENCE		
<b>Work Done For:</b>	SOMERSET GREEN		
<b>Permit #:</b>		<b>Explosives:</b>	N
<b>Contract Job#:</b>			

**Dig Site Location**

<b>State:</b>	DE	<b>County:</b>	SUSSEX
<b>Place:</b>	LEWES		
<b>Subdivision:</b>			
<b>Address / Street:</b>	PLANTATION RD		
<b>Nearest Intersecting Street:</b>	SHADY RD		
<b>Extent of Work:</b>			

FROM PLANTATION RD AND SHADY RD MARK 400FT GOING NW TO INCLUDE 30FT NE OF RD

**Comments:****Excavation Coordinates for # Polygons: 1**

Poly 1: NW Lat: 38.7459523 Lon: -75.1720783 SE Lat: 38.7445056 Lon: -75.1705255

**Members Notified**

District	Company Name	Phone Number
CDE01	COMCAST/CABLE PROTECTION SERVI	(804) 562-3409
CUDE03	CHESAPEAKE UTILITIES	(302) 734-6797
DECO26	DELAWARE ELECTRIC COOP CO	(302) 349-9090
DPML12	DELMARVA PWR/UTILIQUEST	(678) 831-2444
SCED01	SUSSEX COUNTY ENGINEERING	(302) 855-7717
SDHY26	DE DEPT OF TRANS	(302) 387-3707
SUN02	CROWN CASTLE/STACK CENTER LOC	(801) 364-1063

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7/22/2020

Gmail - Ticket: 200830547

TIDE02 TIDEWATER UTILITIES  
VSUSS VERIZON

(302) 218-2139  
(678) 831-2444

### Excavator Responsibilities

- \* EXCAVATORS MUST ENSURE ACCURACY OF TICKET AND MAPPING BY CLICKING ON [THIS LINK](#)

Free yourself from hold times with ITIC.

- \* No one likes to wait. That's why Miss Utility offers online ticketing (ITIC) at MissUtility.net. Using this fully automated systems requires a short training session, so click [here](#) to get started so you can get in the Miss Utility Express Lane. It's fast, easy, and free. Get off the phone and get online with ITIC.

---

**Kathy Licciardello** <c3angels4us@gmail.com>  
To: Brendan McCabe <bpmccabe14@yahoo.com>

Tue, Mar 31, 2020 at 7:44 PM

[Quoted text hidden]

---

**Kathy Licciardello** <c3angels4us@gmail.com>  
To: Kathy Licciardello <c3angels4us@gmail.com>

Wed, Apr 15, 2020 at 1:05 PM

[Quoted text hidden]

---

**Kathy Licciardello** <c3angels4us@gmail.com>  
To: Kathy Licciardello <c3angels4us@gmail.com>

Wed, Jul 22, 2020 at 1:07 PM

[Quoted text hidden]

22 of 20







PRELIMINARY SITE PLAN  
FOR  
PHASE 2  
HOCKER'S SUPER CENTER - RETAIL  
MILLVILLE  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

DATA COLUMN

Plan Purpose: Show Site Plan revisions to accommodate new Fast Food Restaurant, bank and retail. The Car Wash facility has been previously approved. Consolidate all parcels into one parcel.

Tax Parcel Number: 134-12.00-330.01  
134-12.00-331.00  
134-12.00-332.00  
134-12.00-333.00  
134-12.00-334.00

Owner: Parcel 134-12.00-330.01/331.00  
Hocker's Super Center Properties, LLC  
P.O. Box 930  
Oceanview, DE 19970

Parcel 134-12.00-332.00/333.00/334.00  
Commercial Joint Venture, LLC  
38489 Hickman Road  
Oceanview, DE 19970

Site Area: -330.01.....9.1923 Acres  
-331.00.....0.5722 Acres  
-332.00.....0.4106 Acres  
-333.00.....0.9055 Acres  
-334.00.....0.9631 Acres  
-TOTAL.....12.0437 Acres

Existing Impervious Area (all parcels) = 289,437.2935 Sq. Ft. (6.6446 Acs.)  
Proposed Impervious Area = 401,452.3119 Sq. Ft. (9.2161 Acs.)

Zoning: C-1

Building Setback: Front = 60'  
Side = 5' (25' Adjoining a residential District)  
Rear = 5' (30' Adjoining a residential District)  
Corner Setback = 15'

Maximum Building Height = 42'  
Proposed Building Height = 22'

Building Area: Existing Grocery Store/Retail - 62,000 Sq. Ft.  
Previously Approved - Car Wash - 3,911 Sq. Ft.  
Proposed - Bank 2,272 Sq. Ft.  
Retail 8,100 Sq. Ft.  
Fastfood 2,866 Sq. Ft. (1,200 Sq. Ft. Patron Use)  
Total 79,169 Sq. Ft.

Parking Required: Existing - Grocery/Retail - 1 space per 200 Sq. Ft. = 310 Spaces  
Proposed - Bank - 1 space per 200 Sq. Ft. = 12 spaces  
Retail - 1 space per 200 Sq. Ft. = 41 spaces  
Fastfood - 1 space per 50 Sq. Ft. of Patron Use (1,200 Sq. Ft.)  
plus 1 space per 2 Employees (12 Total) = 30 spaces  
Carwash - Coin-do-it yourself 2 at waiting area for each lane: 1 at exit area for each lane = 12 spaces  
Coin-operated automatic drive-thru, 4 at waiting area for each lane: 2 at exit area for each lane = 12 spaces

Total Parking Required: 405 spaces

Parking Provided:  
Existing: Grocery/Retail - 321 spaces  
Proposed: Bank - 12 spaces  
Retail - 39 spaces  
Fastfood - 33 spaces  
Carwash - 23 spaces  
Total Parking Provided: 428 spaces

Sewer Service: Sussex County (Gravity)

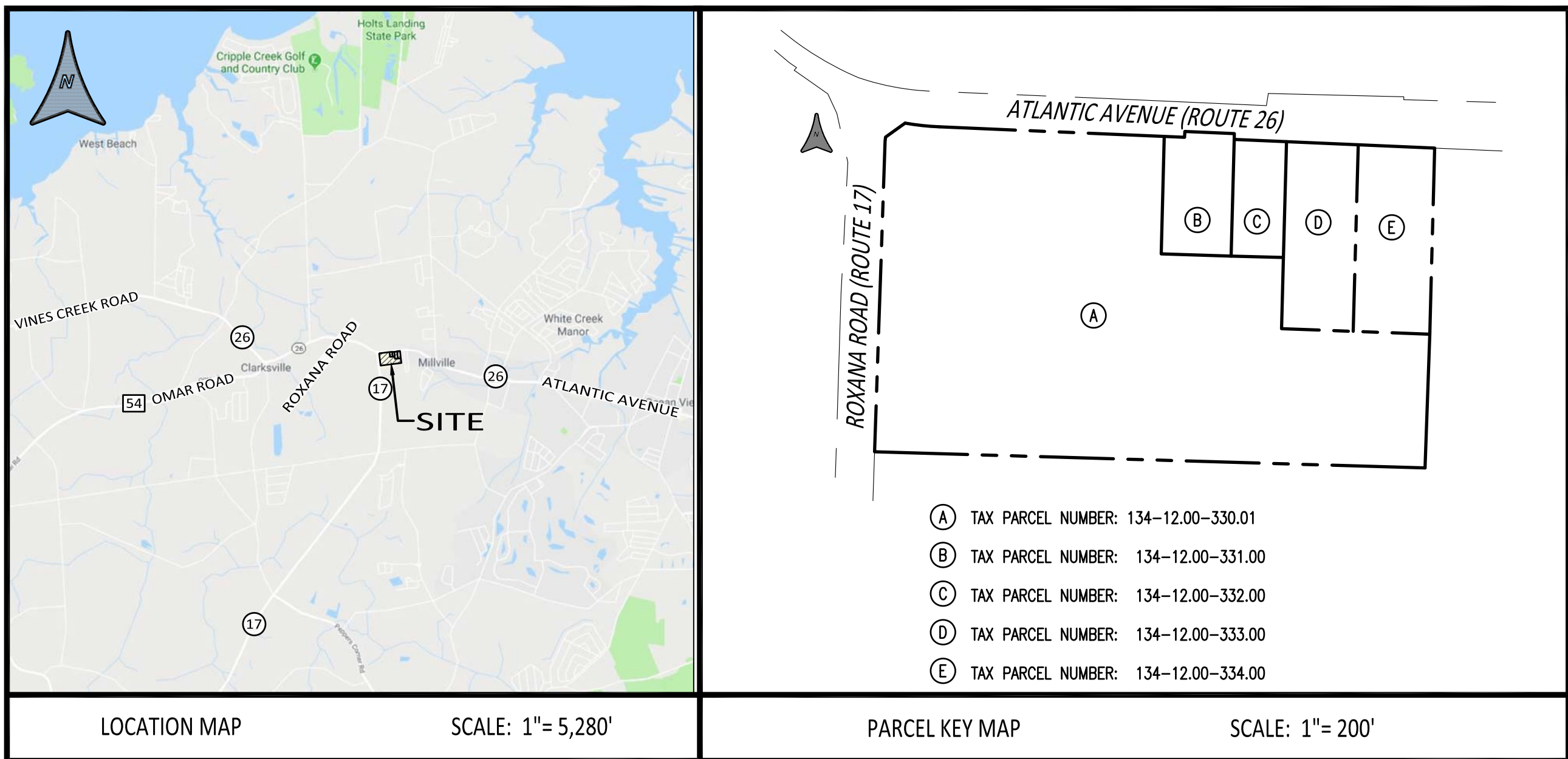
Water Service: Existing Private Well (Carwash)  
Tidewater Utilities (Retail Buildings, Bank and Restaurant)

Site is not located in a Source Water Protection Area

SUSSEX COUNTY APPROVAL

Sussex County \_\_\_\_\_ Date \_\_\_\_\_

Agreement No. \_\_\_\_\_



SHEET INDEX

PRELIMINARY SITE PLAN - TITLE SHEET RP-1  
PRELIMINARY SITE PLAN RP-2

OWNER'S CERTIFICATION

(PARCELS: 134-12.00-332.00, 134-12.00-333.00 & 134-12.00-334.00)

I, \_\_\_\_\_, hereby certify that I am the owner of the property described and shown on this plan, that the plan was made at my direction, and that I acknowledge the same to be my act and desire the plan to be developed as shown all in accordance with applicable laws and regulations.

Signature \_\_\_\_\_ Owner: Commercial Joint Venture, LLC  
38489 Hickman Road  
Oceanview, DE 19970  
Phone: (302) 537-1877

OWNER'S CERTIFICATION

(PARCELS: 134-12.00-330.01 & 134-12.00-331.00)

I, \_\_\_\_\_, hereby certify that I am the owner of the property described and shown on this plan, that the plan was made at my direction, and that I acknowledge the same to be my act and desire the plan to be developed as shown all in accordance with applicable laws and regulations.

Signature \_\_\_\_\_ Owner: Hocker's Super Center Properties, LLC  
P.O. Box 930  
Oceanview, DE 19970  
Phone: (302) 537-1877

ENGINEER'S CERTIFICATION

I, George H. Larson, Jr. PE, hereby certify that I am a Registered Engineer, Land Surveyor, or Architect in the State of Delaware, that the information shown hereon has been prepared under my supervision and to the best of my knowledge and belief represents good engineering, surveying, and/or architectural practices as required by the applicable laws of the State of Delaware.

Date \_\_\_\_\_ Signature \_\_\_\_\_  
George H. Larson Jr. Engineer

GENERAL NOTES

1. These drawings show information obtained from the best available records regarding pipes, conduits, telephone lines, and other structures and conditions which exist along the lines of the work at and below the surface of the ground. The owner and engineer disclaim any responsibilities for the accuracy or completeness of said information given. If the contractor relies on said information, he does so at his own risk. The giving of the information on the contract drawings will not relieve the contractor of his obligations to support and protect all pipes, conduit, telephone lines, and other structures/improvements.

2. The contractor shall notify the following, two (2) weeks prior to the start of construction and shall coordinate construction and erosion control with the utility companies involved:

Miss Utility.....1-800-282-8555  
Sussex County Soil Conservation District.....1-302-856-2105  
Sussex County Department of Public Works.....1-302-855-7703  
Larson Engineering Group, Inc.....1-302-731-7434

3. All construction shall be marked for traffic and pedestrian safety.

4. The contractor shall provide all equipment, labor, and materials for any miscellaneous or test pit excavations required by the engineer.

5. The owner is responsible for the acquisition of all easements, both permanent and temporary.

6. The contractor assumes all responsibility for any deviations from these plans unless said deviation is approved by the engineer. Contractor shall receive written permission from the engineer if a deviation of the plans is necessary.

7. All sidewalks shall meet each door at finished floor elevation.

7. All disturbed areas shall be smoothly graded to provide positive drainage in the direction of flow arrows herein and stabilized with topsoil, seed, and mulch. If settlement occurs, topsoil seed, and mulching shall be repeated until settlement subsides (see erosion and sediment control specifications).

8. Trenches shall not remain open overnight. If it is necessary for trenches to remain open, steel plates capable of bearing traffic shall be used to completely cover the trench openings.

9. All sediment and erosion control facilities shall conform to Delaware Erosion and Sediment Control Handbook February 2019, or newest edition.

10. All fire lanes, fire hydrants, and Fire Department connections shall be marked in accordance with the State Fire Protection regulations.

11. Topography was field generated by Larson Engineering Group, Inc. in July 2019.

12. Boundary information was prepared by Larson Engineering Group, Inc..

13. The Sussex Conservation District reserves the right to add, modify or delete any erosion and sediment control measures as it deems necessary.

14. All construction/demolition debris shall be removed off-site to an approved solid waste facility.

15. All construction shall be done in accordance with Delaware Department of Transportation Standard Specifications for Road and Bridge Construction, dated August 2016, and Standard Construction Details, dated 2018 or as updated.

16. All sidewalk, handicap accessible features and parking spaces are to be constructed and signage placed in accordance with A.D.A. regulations.

17. This site was inspected for wetlands by Watershed ECO in August 2019 and no wetlands were found.

18. The site is not located in the 100 year flood plain per F.I.R.M # 10005C0495K and dated 3/16/2015.

19. The Owner: Hocker's Super Center Properties, LLC assumes maintenance of the stormwater management facilities shown hereon, after project completion.

DATE	SCALE
8/3/2020	AS NOTED
JOB NO.	DRAWN BY
19-033	YATuroczy
APPLICATION NO.	DESIGNED BY:
	DJLiberman
APPROVED BY:	CHECKED BY:
DJLiberman	DJLiberman
DATE	REVISION
8/3/2020	Per Sussex County Comments
9/3/2020	Per Sussex County Comments

PRELIMINARY SITE PLAN - TITLE SHEET
FOR <b>PHASE 2</b> <b>HOCKER'S SUPERCENTER * MILLVILLE</b>
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE
PREPARED FOR: G & E, Inc.

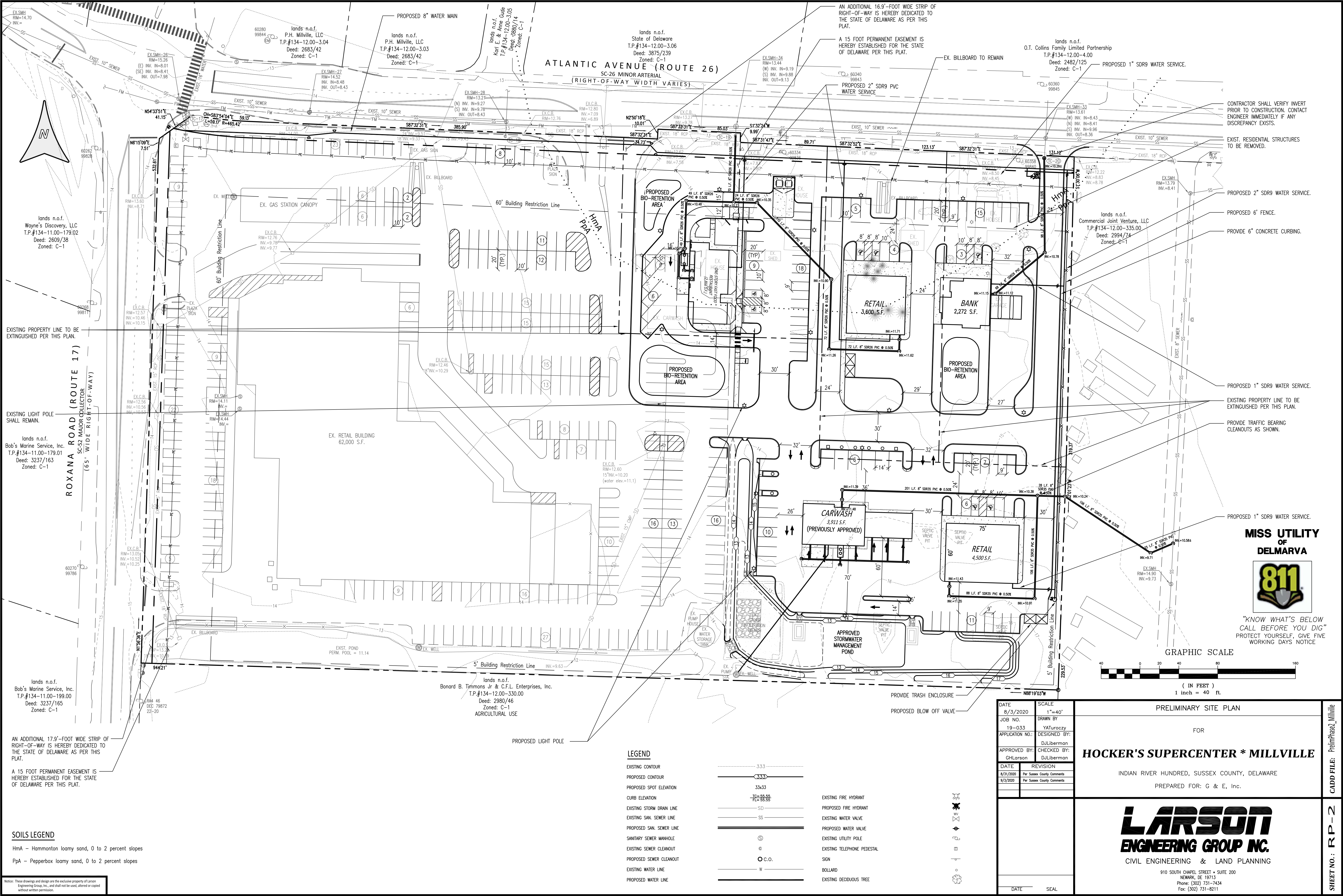
DATE	SEAL

**LARSON**  
**ENGINEERING GROUP INC.**  
CIVIL ENGINEERING & LAND PLANNING  
910 SOUTH CHAPEL STREET • SUITE 200  
NEWARK, DE 19713  
Phone: (302) 731-7434  
Fax: (302) 731-8211

CADD FILE: PrelimPhase2\_Millville

SHEET NO.: R P - 1





lands n.o.f. Wayne's Discovery, LLC T.P.#134-11.00-179.02 Deed: 2609/38 Zoned: C-1

lands n.o.f. Bob's Marine Service, Inc. T.P.#134-11.00-179.01 Deed: 3237/163 Zoned: C-1

lands n.o.f. Bob's Marine Service, Inc. T.P.#134-11.00-199.00 Deed: 3237/165 Zoned: C-1

lands n.o.f. P.H. Millville, LLC T.P.#134-12.00-3.04 Deed: 2683/42 Zoned: C-1

lands n.o.f. P.H. Millville, LLC T.P.#134-12.00-3.03 Deed: 2683/42 Zoned: C-1

lands n.o.f. State of Delaware T.P.#134-12.00-3.06 Deed: 3875/239 Zoned: C-1

lands n.o.f. Karl E. & Anne Oude T.P.#134-12.00-3.05 Deed: 3880/14 Zoned: C-1

lands n.o.f. O.T. Collins Family Limited Partnership T.P.#134-12.00-4.00 Deed: 2482/125 Zoned: C-1

lands n.o.f. Commercial Joint Venture, LLC T.P.#134-12.00-335.00 Deed: 2994/74 Zoned: C-1

lands n.o.f. Bonard B. Timmons Jr & C.F.L. Enterprises, Inc. T.P.#134-12.00-330.00 Deed: 2980/46 Zoned: C-1 AGRICULTURAL USE

ATLANTIC AVENUE (ROUTE 26)  
SC-26 MINOR ARTERIAL  
(RIGHT-OF-WAY WIDTH VARIES)

ROXANA ROAD (ROUTE 17)  
SC-52 MAJOR COLLECTOR  
(65' WIDE RIGHT-OF-WAY)

PROPOSED 8" WATER MAIN

PROPOSED 2" SDR9 PVC WATER SERVICE

PROPOSED 1" SDR9 WATER SERVICE

PROPOSED 2" SDR9 WATER SERVICE

PROPOSED 6" FENCE

PROVIDE 6" CONCRETE CURBING

PROPOSED 1" SDR9 WATER SERVICE

EXISTING PROPERTY LINE TO BE EXTINGUISHED PER THIS PLAN.

PROVIDE TRAFFIC BEARING CLEANOUTS AS SHOWN.

PROPOSED 1" SDR9 WATER SERVICE

MISS UTILITY OF DELMARVA  
811  
"KNOW WHAT'S BELOW  
CALL BEFORE YOU DIG"  
PROTECT YOURSELF, GIVE FIVE  
WORKING DAYS' NOTICE

GRAPHIC SCALE  
( IN FEET )  
1 inch = 40 ft.

LEGEND

EXISTING CONTOUR  
PROPOSED CONTOUR  
PROPOSED SPOT ELEVATION  
CURB ELEVATION  
EXISTING STORM DRAIN LINE  
EXISTING SAN. SEWER LINE  
PROPOSED SAN. SEWER LINE  
SANITARY SEWER MANHOLE  
EXISTING SEWER CLEANOUT  
PROPOSED SEWER CLEANOUT  
EXISTING WATER LINE  
PROPOSED WATER LINE

EXISTING FIRE HYDRANT  
PROPOSED FIRE HYDRANT  
EXISTING WATER VALVE  
PROPOSED WATER VALVE  
EXISTING UTILITY POLE  
EXISTING TELEPHONE PEDESTAL  
SIGN  
BOLLARD  
EXISTING DECIDUOUS TREE

DATE 8/3/2020  
JOB NO. 19-033  
APPLICATION NO.:  
APPROVED BY: GH/Larson  
DATE 8/3/2020  
REVISION  
DATE 8/3/2020  
REVISION  
DATE 8/3/2020  
REVISION

SCALE  
1"=40'  
DRAWN BY YATuroczy  
DESIGNED BY: DJLiberman  
CHECKED BY: DJLiberman

PRELIMINARY SITE PLAN  
FOR  
HOCKER'S SUPERCENTER \* MILLVILLE  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE  
PREPARED FOR: G & E, Inc.

LARSON  
ENGINEERING GROUP INC.  
CIVIL ENGINEERING & LAND PLANNING  
910 SOUTH CHAPEL STREET • SUITE 200  
NEWARK, DE 19713  
Phone: (302) 731-7434  
Fax: (302) 731-8211

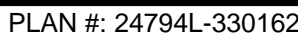
DATE SEAL

CADD FILE: PrelimPhase2\_Millville  
SHEET NO.: R P-2











# MERESTONE

## Consultants, Inc.

---

### *Civil Engineers - Land Surveyors - Site Planners*

31 August 2020

Jennifer Norwood, Planner I  
Sussex County  
Planning & Zoning Manager  
2 The Circle, P.O. Box 417  
Georgetown, DE 19947

Via email: [Jnorwood@sussexcountyde.gov](mailto:Jnorwood@sussexcountyde.gov)

**RE: Best Shot Delaware**

Dear Ms. Norwood:

We respectfully submit a request to allow parking in the front yard setback. The limited depth of the developable area, combined with the necessary parking and sanitary requirements prevent us from placing parking in a reasonably accessible area elsewhere.

If you should have any questions, comments or wish to discuss in further detail, please contact me at your earliest convenience at 302-226-5880 (ext #102).

Sincerely,

Heather Gilbert  
Merestone Consultants, Inc.  
Encl.

## SITE DATA

OWNERS:  
CHAD E. & KELLY L. LAYTON  
28765 GOT CHICKEN LN  
LAUREL, DELAWARE 19956

SURVEYOR:  
STEVEN M ADKINS LAND SURVEYING, LLC  
28283 DUKES LUMBER ROAD  
LAUREL, DE 19956

TAX MAP:  
232-4.00-7.13

DEED REF:  
BOOK 3517, PAGE 160

PLOT REF:  
BOOK 116, PAGE 38

EXISTING LOTS:  
1

PROPOSED LOTS:  
3

LOT AREA:  
LOT 1: 2.134 ACRES±  
LOT 2: 2.656 ACRES±  
RESIDUE - 5.170 ACRES±

SEWER/WATER:  
LOT 1: PRIVATE  
LOT 2 - PRIVATE  
RESIDUE - PRIVATE

EXISTING LOT USE:  
RESIDENTIAL & AGRICULTURAL

PROPOSED LOT USE:  
LOT 1: RESIDENTIAL  
LOT 2: RESIDENTIAL  
RESIDUAL: RESIDENTIAL

FLOOD ZONE:  
"X"

ZONING:  
AR-1

SETBACKS:  
FRONT B.R.L. = 30'  
SIDE B.R.L. = 15'  
REAR B.R.L. = 20'

LOCAL ROAD FRONTAGE:  
PRIVATE ROAD FRONTAGE:  
LOT 1: 294.08' FEET± (GOT CHICKEN LANE - PRIVATE)  
LOT 2: 294.41' FEET± (GOT CHICKEN LANE - PRIVATE)

LOCAL ROAD SPEED LIMIT:  
PRIVATE ROAD SPEED LIMIT:  
50 MPH  
UNMARKED

NEAREST TID:  
45 MI. ±

## NOTES

1. THE BOUNDARY INFORMATION SHOWN HEREON WAS DERIVED FROM THE LAND RECORDS OF SUSSEX COUNTY, DELAWARE AND IS SUPPORTED BY BOUNDARY MONUMENTS FOUND/LOCATED DURING OUR FIELD RUN LAND SURVEY.
2. A TITLE SEARCH WAS NEITHER REQUESTED NOR PREPARED FOR THE SUBJECT PARCEL SHOWN HEREON, THEREFORE, THIS PLAN DOES NOT VERIFY THE EXISTENCE OF ANY RIGHTS OF WAY OR EASEMENTS WHICH MAY AFFECT THIS PARCEL OTHER THAN THE INFORMATION SHOWN ON THIS PLAN.
3. IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
4. A 40' WIDE STRIP OF RIGHT OF WAY FROM THE CENTERLINE WAS PREVIOUSLY DEDICATED TO THE STATE OF DELAWARE PER PLAT 239/82.
5. THE RESIDUAL LANDS SHALL HAVE ACCESS FROM THE EXISTING ENTRANCE ON GOT CHICKEN LANE AS SHOWN.
6. LOTS 1 & 2 SHALL HAVE ACCESS FROM THE PRIVATE ROAD KNOWN AS GOT CHICKEN LANE AS SHOWN.
7. ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
8. LOTS 1 & 2 SHOWN HEREON WERE VACANT (UNIMPROVED) AT THE TIME OF THIS SURVEY.
9. THE RESIDUAL LANDS SHOWN HEREON WAS IMPROVED AT THE TIME OF THIS SURVEY.
10. A THIRTY FOOT WIDE INGRESS/EGRESS EASEMENT SHOWN HEREON WAS DEEDED FROM ALFRED LAYTON, INC (THE PREVIOUS LAND OWNER, LANDS NOW OWNED BY BYARD & PHYLLIS LAYTON) TO EVERETT CONAWAY (ALONG WITH HIS HEIRS & ASSIGNS, DEED BOOK 640 PAGE 203) AND RUNS ALONG CHAD & KELLY LAYTON'S WESTERN BOUNDARY LINE. PHYSICAL EVIDENCE SUGGESTS THAT A PORTION OF THE EASEMENT INTENDED TO RUN EXCLUSIVELY ON AND THROUGH THE LANDS OF LAYTON ACTUALLY RUNS THROUGH THE LANDS PREVIOUSLY OWNED BY W. JOHN & MARIAN MISDOM (LANDS NOW OWNED BY BYARD & PHYLLIS LAYTON) THE SAID MISDOM LANDS WERE JOINED WITH OTHER LANDS OF CHAD & KELLY LAYTON.
11. SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROAD WAY ARE PROHIBITED WITHIN DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA OS OUTSIDE THE RIGHT OF WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED LAND OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE
12. THE INTENT OF THIS LAND SURVEY IS TO SUBDIVIDE THE LANDS OF CHAD E. & KELLY L. LAYTON (T.M. 232-4.00-7.13) INTO (3) SEPARATE PARCELS WHICH CONFORM TO THE STANDARDS ESTABLISHED BY SUSSEX COUNTY AND THE STATE OF DELAWARE.
13. PER DCM REFERENCE 3.3.3 ENTRANCES SERVING PRIVATE STREETS SERVING MULTIPLE RESIDENTIAL LOTS SHOULD BE PAVED FROM THE EDGE OF THE TRAVEL LANE TO THE R/W LINE (AT A MINIMUM) WITH A DRIVEWAY/THROAT WIDTH OF 16' TO 24'

## LEGEND

- FOUND IRON PIPE
- FOUND CONCRETE MONUMENT
- D □ FOUND CONCRETE MONUMENT - DISTURBED
- CAPPED IRON ROD TO BE SET
- FOUND IRON POST
- FOUND CAPPED IRON ROD
- UNMARKED BOUNDARY POINT
- EXISTING LOT LINE
- PROPOSED BOUNDARY LINE
- - - EXISTING EASEMENT LINE
- BUILDING RESTRICTION LINE
- x x EXISTING FENCE
- ▶ ○ 11.3' EXISTING UTILITY POLE, GUY WIRE & DISTANCE TO TRAVEL LANE
- MB EXISTING MAIL BOX
- P TELEPHONE PEDESTAL
- S STREET SIGN

## SURVEYOR'S CERTIFICATION

I, STEVEN M. ADKINS, HEREBY ATTEST THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF DELAWARE AND THAT THE INFORMATION SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION AND ADHERES TO THE LAND SURVEYING STANDARDS ESTABLISHED BY THE STATE OF DELAWARE

STEVEN M. ADKINS LS-700 DATE

## OWNER'S CERTIFICATION

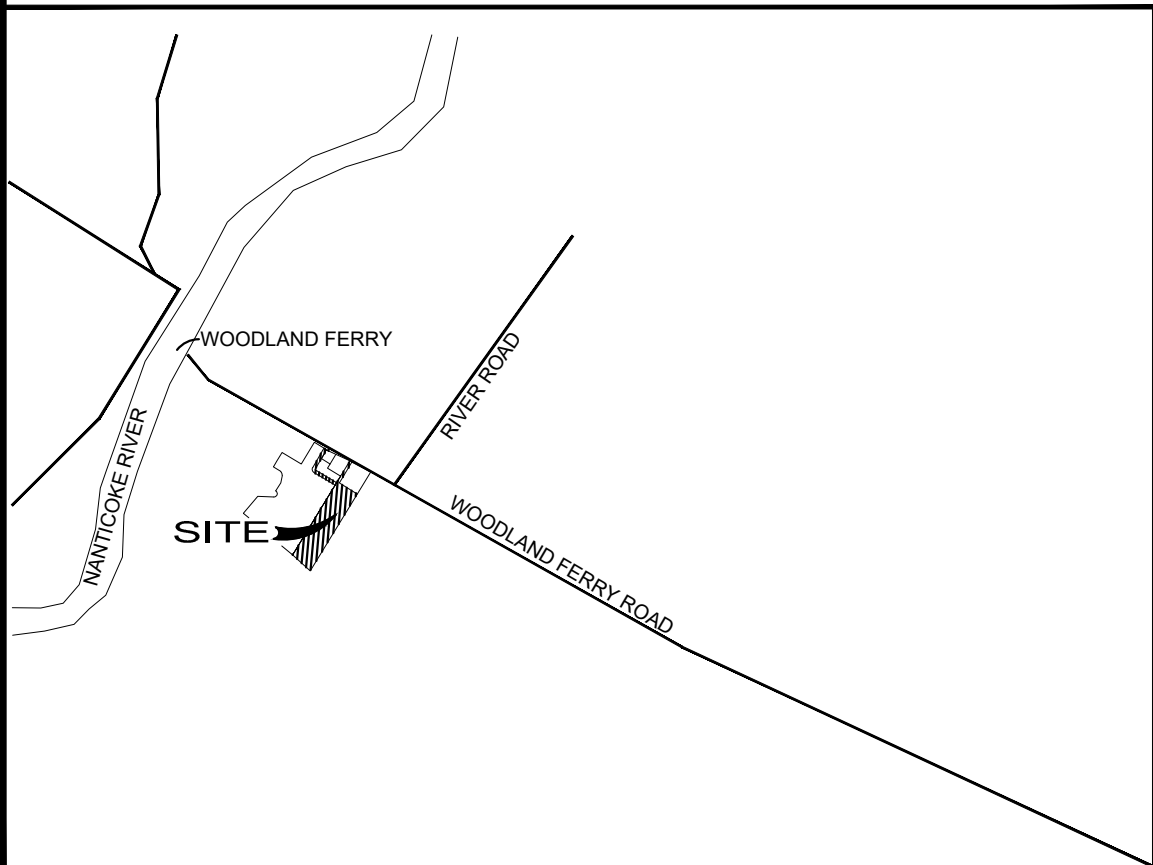
WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT I DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

CHAD E. LAYTON DATE

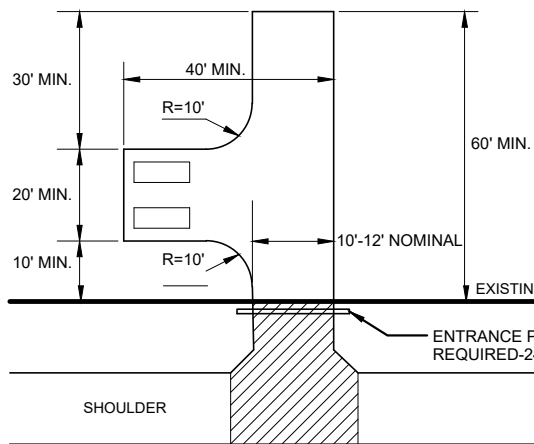
KELLY L. LAYTON DATE

## VICINITY MAP

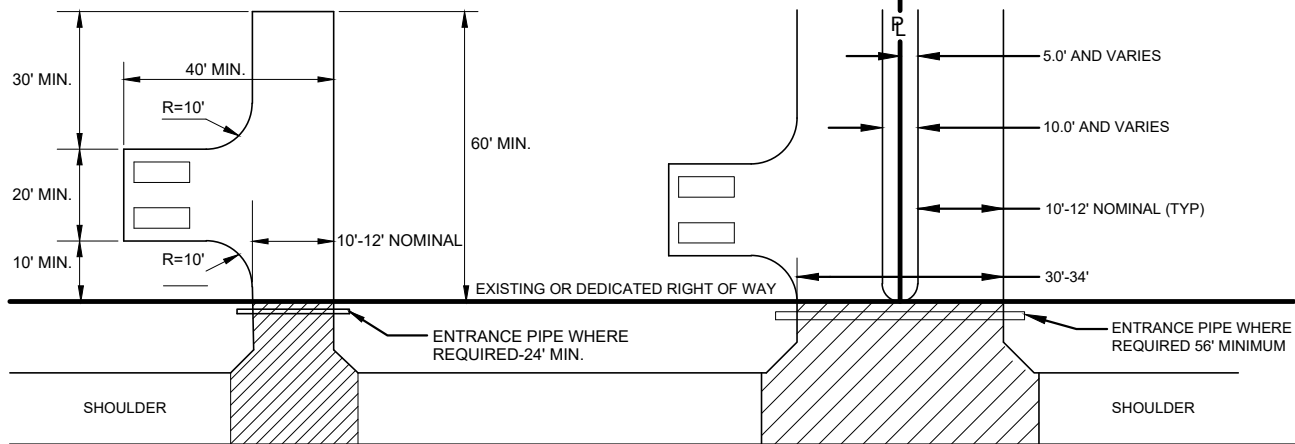
NOT TO SCALE



## SINGLE ACCESS DRIVEWAY DETAIL



## COMBINED ACCESS DRIVEWAY DETAIL

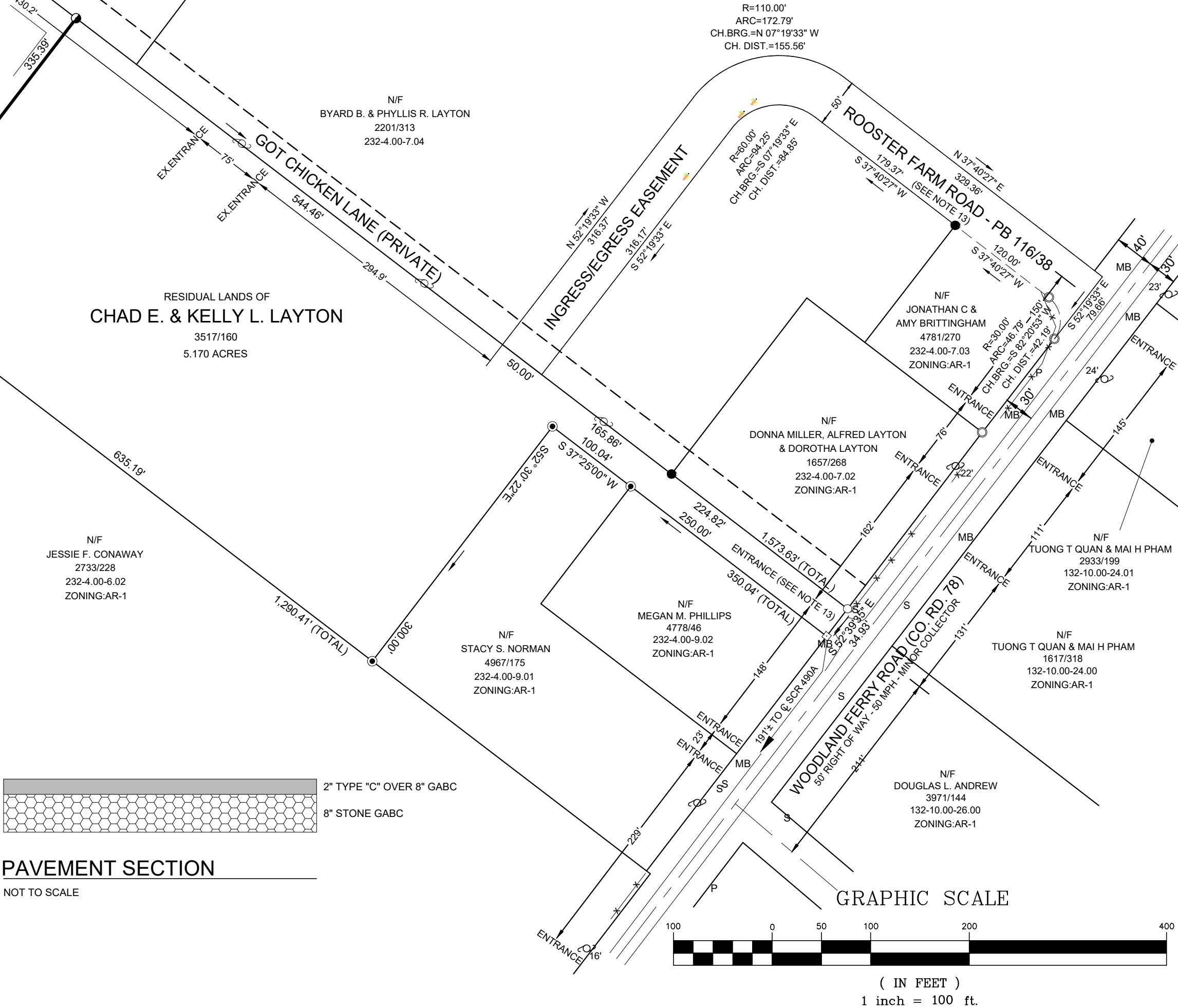


## NOTES:

- 1.) DRIVEWAY WIDTHS MAY BE INCREASED WITH DELDOT'S APPROVAL FOR SPECIAL PURPOSE VEHICLES, I.E. FARM VEHICLES, ETC.
- 2.) MINIMUM RESIDENTIAL PAVEMENT SECTION - 6" GRADED AGGREGATE BASE COURSE.
- 3.) ACCESS TO RESIDENTIAL LOTS SHALL BE LIMITED TO ONE ACCESS POINT (SEE SECTION 7.2.3.1 FOR EXCEPTIONS)
- 4.) ENTRANCE GEOMETRICS SHALL CONFORM TO DELDOT STANDARD CONSTRUCTION DETAIL C-3.

## TYPICAL DRIVEWAY DETAILS

NOT TO SCALE



STEVEN M. ADKINS  
Land Surveying, LLC

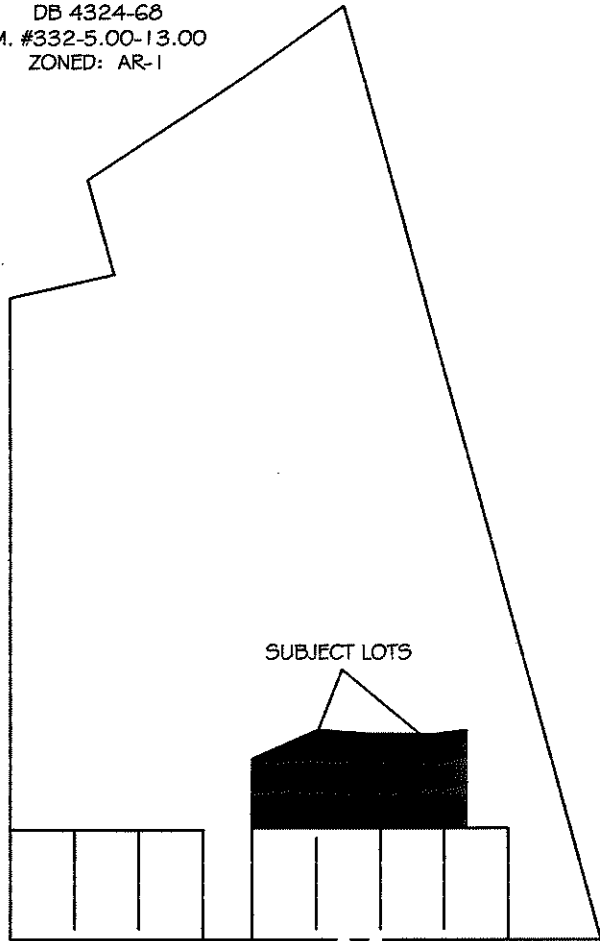
28734 Seaford Road  
Laurel, DE 19956  
(302) 875-3555 - Office

A MINOR SUBDIVISION FOR  
**CHAD E. & KELLY L. LAYTON**  
28765 GOT CHICKEN LANE  
BROAD CREEK HUNDRED  
SUSSEX COUNTY, DELAWARE

DATE:	DATE:
04/18/2020	08/01/2020
PROJECT #:	
2020045.00	
SCALE:	
1" = 100'	
DRAWN BY:	
S.M.A.	
CHECKED BY:	
S.M.A.	



LANDS N/F  
AMANDA MARIA MOORE  
DB 4324-68  
T.M. #332-5.00-13.00  
ZONED: AR-1



COMPOSITE PLAT  
1" = 450'

LEGEND:

- CONCRETE MONUMENT (FOUND)
- IRON ROD (FOUND)
- IRON PIPE (FOUND)
- POINT
- EXISTING ENTRANCE
- PROPOSED ENTRANCE
- UTILITY POLE
- TELEPHONE OR CABLE PEDESTAL
- MAIL BOX
- ROAD SIGN
- EXISTING RIGHT-OF-WAY LINE
- PROPOSED RIGHT-OF-WAY LINE
- PROPERTY LINE
- CENTERLINE
- NEXT PROPERTY LINE
- PROPOSED PROPERTY LINE

LANDS N/F  
JOHN E. BEERS  
DB 3521-152  
T.M. #332-5.00-15.05  
ZONED: AR-1

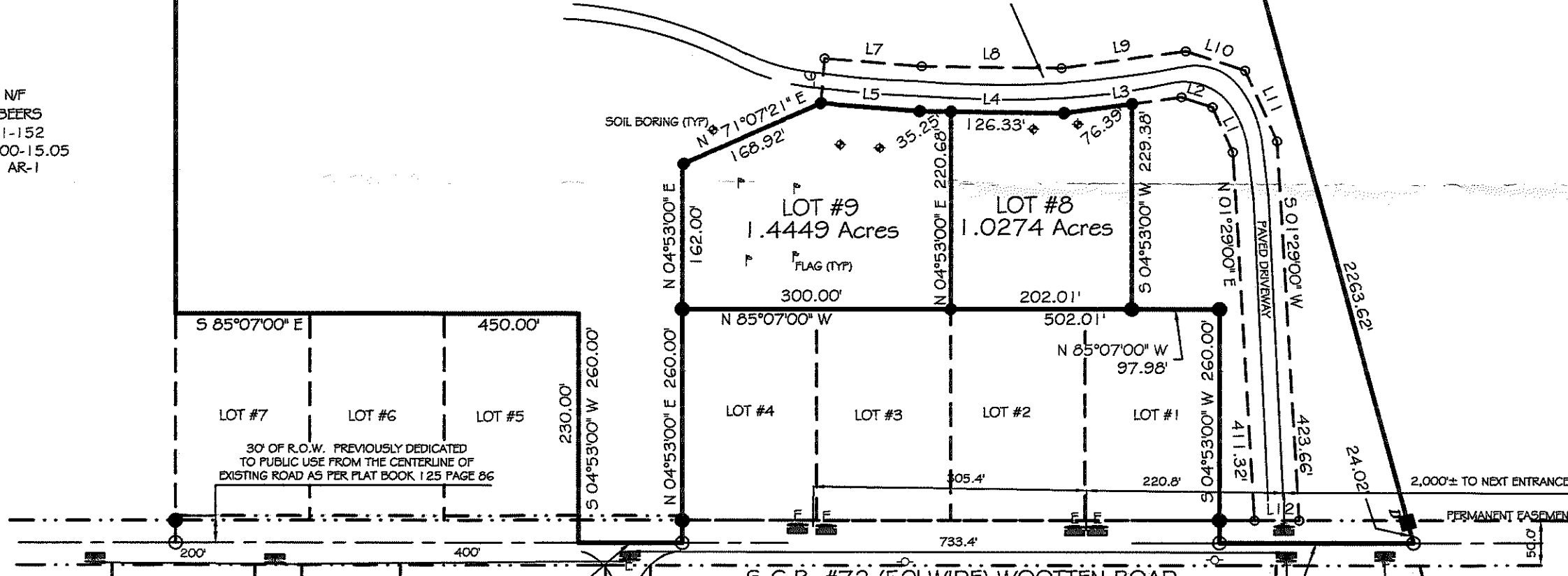
LANDS N/F  
RONDA A BANNING, TRUSTEE  
D.B. 4317-303  
T.M. #332-5.00-15.00  
39.70 ACRES

LINE	BEARING	DISTANCE
L1	N 19°44'35" W	55.14'
L2	N 67°04'28" W	36.07'
L3	S 87°10'06" W	132.32'
L4	N 84°24'50" W	161.58'
L5	N 80°28'17" W	110.52'
L6	N 09°31'43" E	50.00'
L7	S 80°28'17" E	108.80'
L8	S 84°24'50" E	156.18'
L9	N 87°10'06" E	140.07'
L10	S 67°04'28" E	69.41'
L11	S 19°44'35" E	86.42'
L12	N 85°07'00" W	50.09'



LANDS N/F  
STATE OF DELAWARE  
DB 455-434  
T.M. #332-6.00-1.00  
ZONED: AR-1

50-FOOT WIDE INGRESS/EGRESS EASEMENT  
PRIVATE ROAD KNOWN AS HAVEN WAY  
1.0856 ACRES



LANDS N/F  
2J ALLEY LLC  
DB 3186-166  
T.M. #332-9.00-7.08  
ZONED: AR-1

LANDS N/F  
PAMELA A. HERMAN  
DB 3976-31  
T.M. #332-9.00-7.07  
ZONED: AR-1

LANDS N/F  
GEORGE R. HARMAN  
DB 5166-52  
T.M. #332-9.00-22.03  
ZONED: AR-1

LANDS N/F  
MADGIA LLC  
DB 3684-135  
T.M. #332-9.00-22.10  
ZONED: AR-1

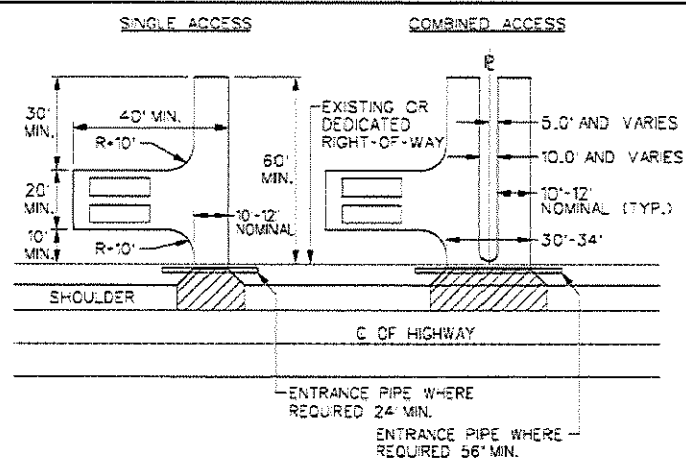
LANDS N/F  
MADGIA LLC  
DB 3684-135  
T.M. #332-9.00-22.11  
ZONED: AR-1

LANDS N/F  
MADGIA LLC  
DB 3684-135  
T.M. #332-9.00-22.12  
ZONED: AR-1

LANDS N/F  
DEAN EARL DAVIS and  
TALIA L. DAVIS  
DB 3521-152  
T.M. #332-9.00-22.02  
ZONED: AR-1

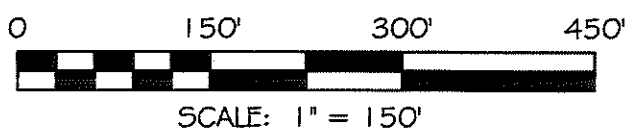
LANDS N/F  
STATE OF DELAWARE  
TRAP POND STATE PARK  
T.M. #332-6.00-1.00  
ZONED: AR-1

Figure 7.2.3.3-a Residential Access Design Requirements



- NOTES:
- DRIVEWAY WIDTHS MAY BE INCREASED WITH DELDOT'S APPROVAL FOR SPECIAL PURPOSE VEHICLES, I.E. FARM VEHICLES, ETC.
  - MINIMUM RESIDENTIAL PAVEMENT SECTION - 6" GRADED AGGREGATE BASE COURSE.
  - ACCESS TO RESIDENTIAL LOTS SHOULD BE LIMITED TO ONE ACCESS POINT. (SEE SECTION 7.2.3.1 FOR EXCEPTIONS)
  - ENTRANCE GEOMETRICS SHALL CONFORM TO DELDOT STANDARD CONSTRUCTION DETAIL C-3.

NOTE: SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.



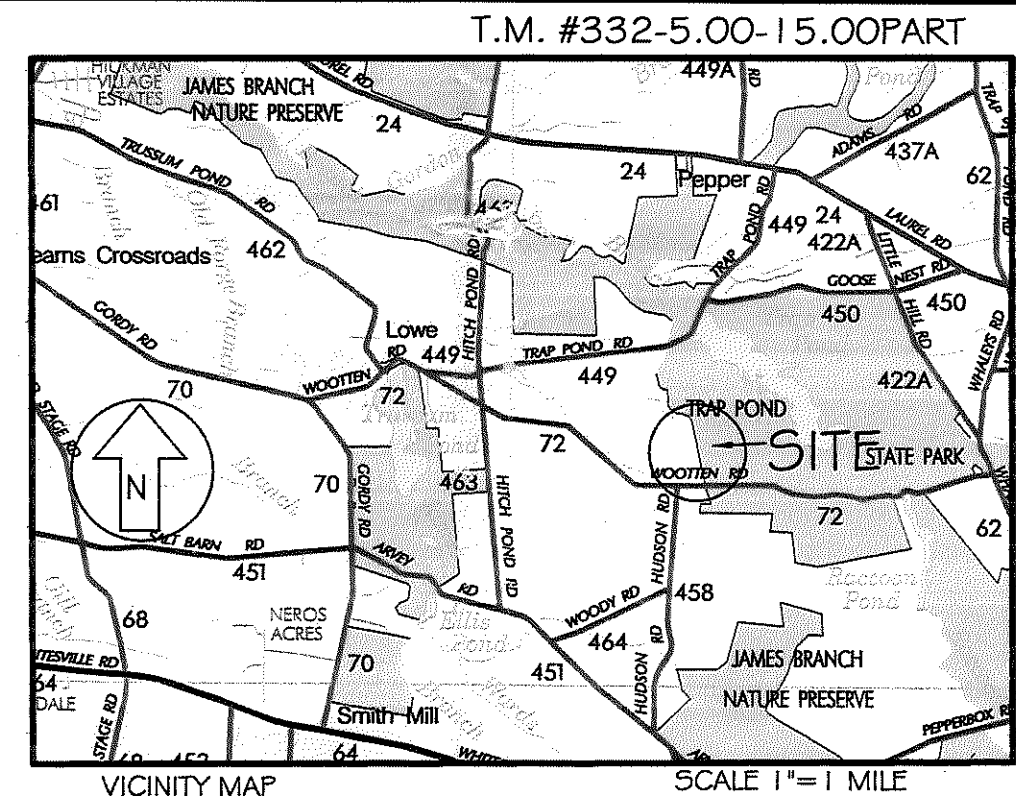
I, DONALD K. MILLER REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

D. K. MILLER, PLS 407

DATE

OTHER THAN SHOWN, THIS SURVEY AND PLAT DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHTS-OF-WAY OR EASEMENTS CROSSING THIS PROPERTY. NO TITLE SEARCH PROVIDED OR STIPULATED.

DATE	REVISION
07-20-2020	DEL. D.O.T. COMMENTS



DATA COLUMN:

T.M. #332-5.00-15.00PART  
ZONING: AR-1  
TRACT AREA: 42.17 ACRES± (INCLUDING RESIDUAL AREA)  
EXISTING LOTS: 1  
PROPOSED LOTS: 2 NEW (3 TOTAL INCLUDING RESIDUAL LANDS)  
PRESENT USE: AGRICULTURAL  
PROPOSED USE: RESIDENTIAL/AGRICULTURAL  
ACCESS: S.C.R. 72 (WOOTTEN RD.)  
ROADWAY CLASSIFICATION: LOCAL ROADWAY  
WATER AND SEWER: INDIVIDUAL ON-SITE  
100 YEAR FLOODPLAIN: SITE IS NOT IMPACTED  
AS PER FIRM #10005C0325L DATED 6/20/18  
THIS PROJECT IS NOT IN THE PROXIMITY OF A TID  
SPEED LIMIT ON WOOTTEN RD. IS 50MPH (UNPOSTED)

NOTES:

- IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DEL.D.O.T.'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- THERE IS A FIFTY FOOT BUILDING SETBACK FROM LANDS USED FOR AGRICULTURAL PURPOSES.
- LOTS #8 & #9 SHALL HAVE A SINGLE ACCESS TO SCR 72 VIA THE 50' WIDE INGRESS/EGRESS EASEMENT AS SHOWN ON THIS PLAT. THE RESIDUAL LANDS SHALL HAVE A SINGLE ACCESS TO SCR 72 VIA THE 50' WIDE INGRESS/EGRESS EASEMENT AS SHOWN ON THIS PLAT.
- THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.

WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT WE DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

WE CERTIFY THAT TITLE 17, SECTION 530 IS APPLICABLE TO THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN FOR VIRTUE OF: (CHECK APPLICABLE SECTION)

THE PARCEL IS SUBDIVIDED INTO NO MORE THAN 2 PARCELS WHICH WILL BE CONTINUED TO BE USED AS A FARM OR FARMLAND, OR

X THE SUBDIVIDED PARCEL OR PARCELS WILL BE TRANSFERRED TO A FAMILY MEMBER OR MEMBERS FOR PURPOSES OF USE AS A FAMILY MEMBER OR MEMBERS' PRINCIPAL RESIDENCE OR FARMLAND.

OWNER SIGNATURE

DATE

MINOR SUBDIVISION PLAN FOR  
**RONDA A. BANNING, TRUSTEE**

OWNER ADDRESS: 22726 HAVEN WAY, LAUREL, DE. 19956

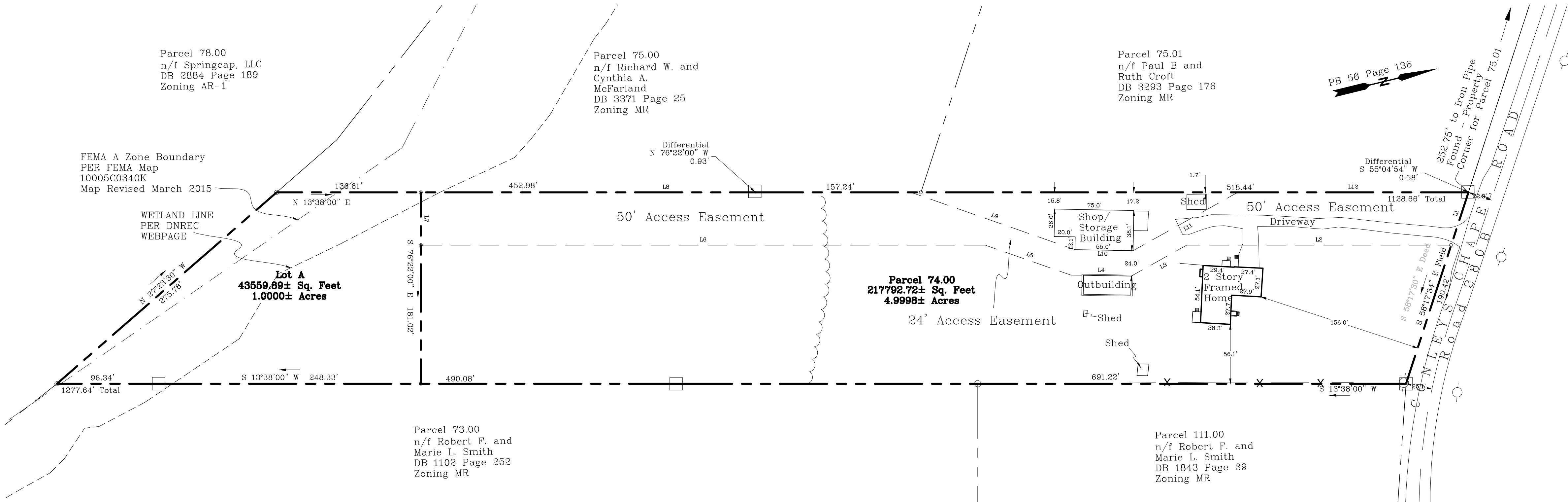
**MILNER LEWIS, INC.**  
LAND SURVEYING  
1560 MIDDLEFORD RD.  
SEAFOORD, DELAWARE 19973  
PHONE 302 629 9895  
FAX 302 629 2391

JULY 6, 2020

HUNDRED	COUNTY
LITTLE CREEK	SUSSEX
STATE	DRAWN BY
DELAWARE	D. A. MORRIS
REF.	DWG. NO.
DB. 3575-122	VISION HOMES 3-32-5-15.dwg



THE PURPOSE OF THIS SURVEY IS TO SUBDIVIDE A 1 ACRE LOT FROM THE RESIDUAL PARCEL

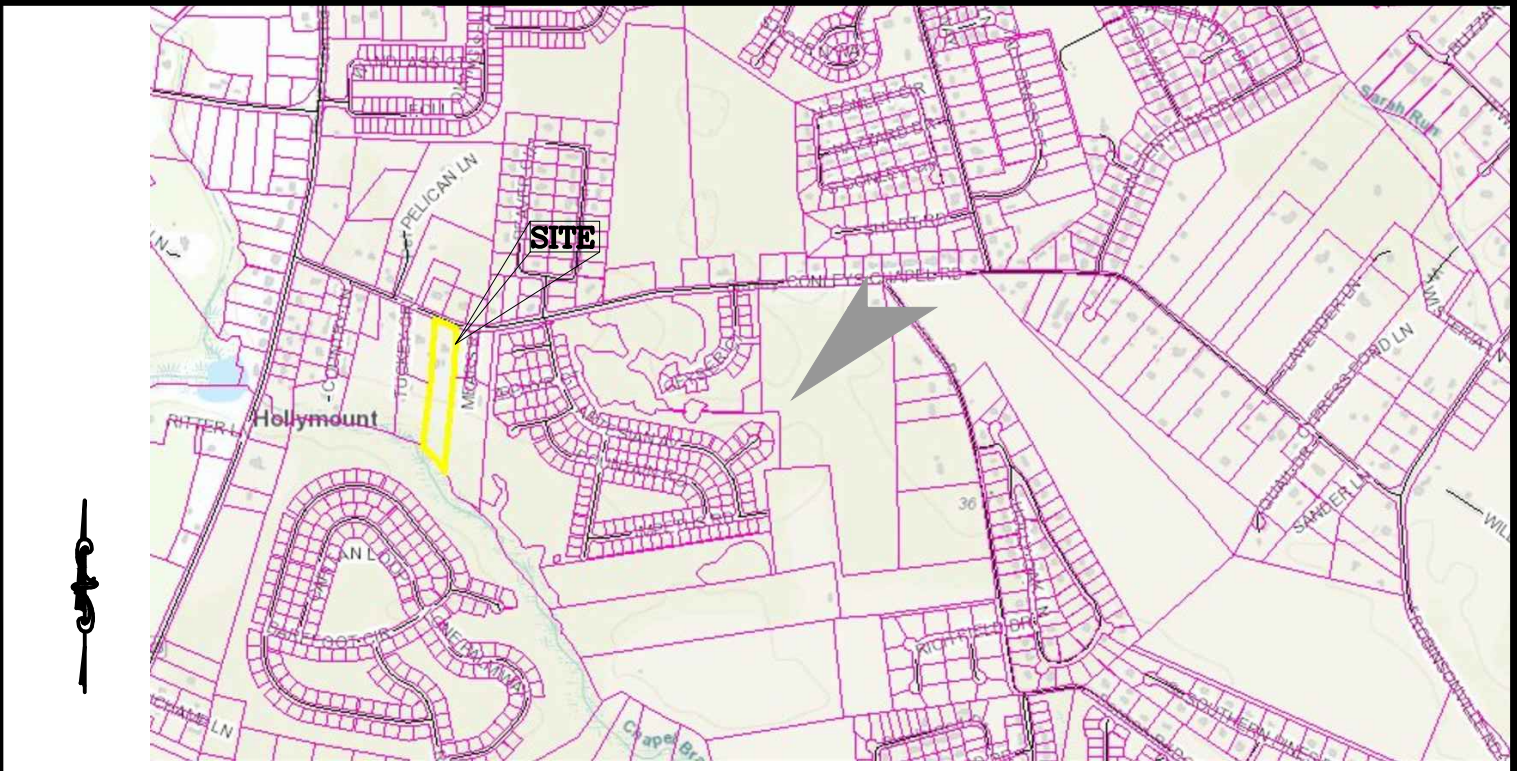


ACCESS EASEMENT DESCRIPTION

LINE	BEARING	DISTANCE
L1	S 58°17'34" E	52.60'
L2	S 13°38'00" W	250.51'
L3	S 14°57'35" E	59.67'
L4	S 14°30'38" W	57.93'
L5	S 32°52'28" W	85.79'
L6	S 13°38'00" W	534.58'
L7	N 76°22'00" W	50.00'
L8	N 13°38'00" E	464.16'
L9	N 32°52'28" E	164.51'
L10	N 14°41'35" E	55.00'
L11	N 15°29'25" W	113.48'
L12	N 13°38'00" E	218.44'

LEGEND

- x — x — Fence
- — — Property Line
- - - Adjoiner Property Line
- Property Corner
- Concrete Monument Found
- Power Pole



LOCATION MAP SCALE: 1 INCH = 2,000 FEET

LOT SUBDIVISION SURVEY PLAN

FOR PROPERTY KNOWN AS:  
LANDS OF "HAZEL L. CORDREY TRUSTEES"

ALSO KNOWN AS:  
"30792 CONLEYS CHAPEL ROAD, LEWES, DE"

SITUATE IN:  
INDIAN RIVER HUNDRED \* SUSSEX COUNTY  
STATE OF DELAWARE

TAX MAP#:234-11.00 PARCEL 74.00

PLAN DATA:

- PARCEL I.D. No \* 234-11.00 Parcel 74.00
- PLAT REFERENCE \* D.B. 946, PAGE 103
- ZONING DISTRICT \* MR (ZONING CLASSIFICATION)
- ROADWAY CLASSIFICATION \* SCR 280B (LOCAL ROAD)
- SEWAGE DISPOSAL \* INDIVIDUAL ON-SITE WASTEWATER DISPOSAL SYSTEMS (PRIVATE)

SEWERAGE IS SUBJECT TO APPROVAL OF THE THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL.

WATER SUPPLY \* INDIVIDUAL ON-SITE WELLS (PRIVATE)

WATER IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DIVISION OF PUBLIC HEALTH.

OWNER \* HAZEL L. CORDREY TRUSTEES

LOT AREA \* AREA IN LOTS

Setbacks for Lot A and Residual Lot:

Frontyard - 40' - Residual Lot  
- 30' - Lot A

Sidyard - 10'

Rearyard - 10'

NOTES

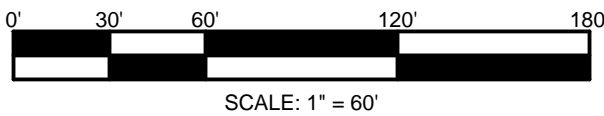
- THIS SURVEY IS CLASSIFIED AS A "SUBURBAN" SURVEY.
- UNLESS THIS PLAT HAS A SEAL WITH AN ORIGINAL SIGNATURE OF ENGINEER, IN RED INK, THIS IS NOT AN AUTHORIZED COPY.
- THE SURVEY DOES NOT VERIFY THE EXISTENCE OF OR NONEXISTENCE OF ANY EASEMENTS OR RIGHT OF WAYS.
- THERE ARE WETLANDS LOCATED ON THIS PROPERTY.
- THE OWNER OF LOT A IS RESPONSIBLE FOR MAINTENANCE OF THE ACCESS EASEMENT.

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEGE COMPLIES WITH THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES.

JOHN B. ROACH, JR., P.E.

DATE



22184 MELSON ROAD  
GEORGETOWN, DELAWARE 19947  
PHONE NO. 302-856-1565

Drawn By: JBR Date: 07-24-2020

Scale: 1"=60' Sheet 1/1