



Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager; Lauren DeVore, Planner III; Christin Scott, Planner I; and Elliott Young, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: September 16, 2021

RE: Other Business for the September 23, 2021 Planning Commission Meeting

This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the September 23, 2021 Planning Commission meeting.

(2019-16) Estates at Milton Crossing

KS

Final Subdivision Plan

This is a Final Subdivision Plan for the creation of a standard subdivision to consist of eighty-seven (87) single-family lots located on the south side of Delaware Route 1 (Coastal Highway) with access off of the north side of Reynolds Road (S.C.R. 233). At their meeting of Thursday, December 12, 2019, the Planning and Zoning Commission approved the Preliminary Subdivision Plan for the development. Staff note that there is an 8-ft berm that is proposed to be located within the width of the 30-ft landscaped buffer, which was required under Condition "D" of the Conditions of Approval. The berm has been required by DelDOT for purposes of noise mitigation off of Route 1. Staff flagged this up as a potential non-compliance in their staff review comments. This proposal remains subject to Commission review and otherwise complies with the Sussex County Zoning and Subdivision Codes and all Conditions of Approval. Tax Parcels: 235-8.00-26.00, 26.03 & 31.00. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are in receipt of all agency approvals.

Americana Bayside MR-RPC - Parcel P

BM

Final Site Plan

This is a Final Site Plan for Americana Bayside Parcel P for the development of three (3) commercialized buildings totaling 6,230 square feet on a 2.33 acre parcel +/-, with access off an existing 30-ft ingress/egress access easement and located on the northwest side of Tidal Road (S.C.R. 381A). At their meeting of Thursday, April 16, 2020, the Planning and Zoning Commission approved the Preliminary Site Plan for the proposal. The Final Site Plan Complies with the Sussex County Zoning Code. Tax Parcel: 533-19.00-17.01. Zoning: MR/RPC (Medium Residential Zoning District). Staff are in receipt of all agency approvals.

DelDOT Georgetown Administrative Building

KH

Final Site Plan

This is a Final Site Plan for the expansion of the Delaware Department of Transportation Administrative Building in Georgetown. This plan proposes a 6,651 square foot addition to the existing 14,300 square foot building. Additionally, 48 new parking spaces and crosswalks are proposed to accommodate the increase in square footage of the building. Various landscaping and other site improvements are included as well as drainage upgrades that will be required to meet stormwater management standards and regulations. The Revised Final Site Plan was approved by the Planning



and Zoning Commission at their meeting of Thursday, May 27, 2021. The property is located on northeast corner of Dupont Boulevard (Route 113) and South Bedford Street (S.C.R. 431) in Georgetown. The Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 135-23.00-13.00. Zoning District: AR-1 (Agricultural Residential District). Staff are in receipt of all agency approvals.

Big Oyster Brewery

KS

Revised Final Site Plan

This is a Revised Final Site Plan for the establishment of a 3,000 sq. ft. storage building, 1,624 square foot enclosed outdoor patio, loading area and parking. The property is located on the southeast side of Kings Highway (Route 9). The Final Site Plan was last approved by the Planning & Zoning Commission at their meeting of Thursday, February 11, 2016. The Applicant is requesting to allow four (4) parking spaces to be located within the front yard setback. Otherwise, this plan complies with the Sussex County Zoning Code. Tax Parcel: 335-8.00-39.00. Zoning: C-1 (General Commercial) & C-3 (General Commercial Zoning Districts). Staff are awaiting agency approvals.

SoDel Concepts Office - Rehoboth

KS

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for the creation of a 2-story 2,826 square foot office building, parking and other site improvements. The property is located on the southwest corner of Coastal Highway (Route 1) and Ann Avenue. The Applicant is requesting to allow for 10 spaces to be located within the front yard setback. The plan otherwise complies with the Sussex County Zoning Code. The Revised Preliminary Site Plan was last viewed by the Planning & Zoning Commission at their meeting of Thursday, September 9, 2021. Tax Parcel: 334-20.13-27.00. Zoning: C-1 (General Commercial Zoning District.) Staff are awaiting agency approvals.

The Woodlands (2005-49)

HW

Request to Revise Portion of Agricultural Buffer

This is a Final Subdivision and Landscape Plan for The Woodlands (2005-49) Subdivision, which is a cluster subdivision comprised of eighty-eight (88) single family lots within an AR-1(Agricultural Residential Zoning District). The Final Subdivision Plan was approved by the Planning and Zoning Commission at its meeting of November 12, 2009. The Applicant is requesting relief from the 30-ft Agricultural Buffer requirement at specific locations within the development. The Applicant is requesting for the existing mature trees to remain in those specific areas to serve the purpose of the Agricultural Buffer. The Plan complies with the Sussex County Zoning and Subdivision Code and all Conditions of Approval. Tax Parcels: 134-19.00-30.00 & 30.01. Zoning District: AR-1 (Agricultural Residential Zoning District.)

(S-21-03) Sussex Solar Park (F.K.A. Spangler Strategic Advisers, LLC) (C/U 2114)

KH

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for the establishment of a solar array farm and other site improvements. The property is located on the southwest corner of DuPont Boulevard (Route 113) and Pebblestone Lane. Conditional Use No. 2114 was approved by Sussex County Council at their meeting of Tuesday, February 20, 2018. The plan complies with the Sussex County Zoning Code and all Conditions of Approval. Tax Parcel: 133-6.00-123.00. Zoning: AR-1 (Agricultural Residential Zoning District.) Staff are awaiting agency approvals.

Bayside Mini Storage (S-21-26)

HW

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for the establishment of a 2-story 18,792 square foot storage building, a 3-story, 97,378 square foot storage building, a 1-story 1,301 square foot storage building and other site improvements. The property is located on the north side of Zion Church Road (Route 20). The plan complies with the Sussex County Zoning Code. Tax Parcels: 533-11.00-78.01 & 78.03. Zoning: CR-1 (Commercial Residential Zoning District). Staff are awaiting agency approvals.

Lands of Israel Bravo (S-20-34 & C/U 2217)

BM

Preliminary Site Plan

This is a Preliminary Site Plan to allow for storage of utility construction equipment and vehicles at 20871 Sanflippo Road (S.C.R. 533). Conditional Use No. 2217 was approved by the Sussex County Council at their meeting of Tuesday August 11, 2020. The Preliminary Site Plan complies with the Sussex County Zoning Code and all Conditions of Approval. Tax Parcel: 331-2.00-44.07. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are in receipt of all agency approvals.

Lands of Savage, Connor & Tull

BM

Minor Subdivision off a 20' Easement

This is a Minor Subdivision Plan for the creation of two (2) lots plus residual lands off a 20-ft wide access easement to be located off Blue Heron's Drive, an existing private road in Seaford. The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Code. Tax Parcel: 531-15.00-89.00. Zoning: AR-1 (Agricultural Residential) Zoning District. Staff are awaiting agency approvals.

SITE DATA:

- TAX MAP NUMBER: 235-8.00 PARCELS 31.00, 26.00 & 26.03
- OWNERS: MILTON CROSSING, LLC
c/o JOSEPH W. BOOTH JR. - MANAGING MEMBER
18334 COASTAL HIGHWAY
LEWES, DE 19958
PARCELS 31.00, 26.00, 26.03
DEED BOOK 5411 PAGE 143 & DEED
BOOK 5411 PAGE 240
102.14 +/- ACRES
- TOTAL AREA: 102.14 +/- ACRES
- DEVELOPER NAME: MILTON CROSSING, LLC
c/o JOSEPH W. BOOTH JR., MANAGING MEMBER
18334 COASTAL HIGHWAY
LEWES, DE 19958
- TOWNSHIP/COUNTY: MILTON / BROAD KILL HUNDRED / SUSSEX
- CURRENT ZONING: AR-1 RESIDENTIAL DISTRICT
PROPOSED ZONING: AR-1-AGRICULTURAL/RESIDENTIAL
- PRESENT USE: AGRICULTURAL
PROPOSED USE: DETACHED SINGLE FAMILY DWELLINGS (115-20 A, 1)
- REQUIRED SETBACKS (B.R.L.): AR-1 (115-25 C.)
DEPTH OF FRONT YARD (FEET) 30'
DEPTH OF CORNER SIDE YARD 15' (115-182 B.)
WIDTH OF SIDE YARD (FEET) 15'
DEPTH OF REAR YARD (FEET) 20'
MINIMUM LOT WIDTH 100'
- DWELLING UNIT CALCULATIONS: (115-25 A, 2) LOW DENSITY AREA
GROSS AREA: 102.14 AC.
LESS 25% FOR LOW DENSITY: 76.605 AC.
PERMITTED LOTS: 76.605 / 0.75 = 102.14 UNITS
PROPOSED LOTS: 87 UNITS
- GROSS DENSITY (UNITS/AC.): 0.85
- REQUIRED LOT SIZE (MIN.) (115-25 A, 2):
WIDTH: 100 FT.
DEPTH: 100 FT.
AREA: 21,780 S.F. (0.50 ACRES)
PROPOSED MIN. LOT SIZE: 21,800 S.F.
PROPOSED AVERAGE LOT SIZE: 21,800 S.F.
- WATER SUPPLIER: PRIVATE - INDIVIDUAL ON-SITE WELLS (DNREC) WATER IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENTS OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DIVISION OF PUBLIC HEALTH
- SECTION 89 - SOURCE WATER PROPERTY:
A. SUBJECT PROPERTY IS WITHIN AN AREA OF "FAIR" GROUNDWATER RECHARGE.
B. SUBJECT PROPERTY IS NOT LOCATED IN A WELLHEAD PROTECTION AREA.
- SANITARY SEWER PROVIDER: PRIVATE - INDIVIDUAL ON-SITE WASTEWATER DISPOSAL SYSTEM (DNREC)
- STREETS: PRIVATE (99-18 D & E.)
- POSTED SPEED LIMIT (REYNOLDS RD): 50 MPH
- STATE INVESTMENT AREA: LEVEL 3
- MAXIMUM BUILDING HEIGHT (115-25 D.): 42 FEET MAX.
- SITE AREA AND ACREAGE:
EX FORESTED ACREAGE (APPROXIMATE): 30.11 AC
REMAINDER: 23.22 AC (6.89 REMOVED)
GROSS ACREAGE / NET DEVELOPMENT AREA: 102.14 AC
LOT AREA (87 LOTS): 45.91 AC (44.9%)
DELDOT R.O.W. DEDICATION: 0.15 AC
PRIVATE ROAD R.O.W.:
IMPERVIOUS: 3.80 AC
GRASS: 3.96 AC
OPEN SPACE: 48.32 AC
TOTAL: 102.14 AC
- PERCENTAGE OF IMPERVIOUS COVER: 4.42 AC (4.33%)
- REQUIRED OPEN SPACE (99-21 D.): REQUIRED 0% OF GROSS AREA (0 AC)
PROPOSED OPEN SPACE AREA (48.32 AC (47.3%))
- OPEN SPACE AREA BREAKDOWN:
LANDSCAPE BUFFER: 4.27± AC (8.8%)
ACTIVE OPEN SPACE AND SWM: 25.47± AC (52.7%)
FLOODPLAIN AREA: 18.58± AC (38.5%)
WETLAND AREA: 9.82± AC
TOTAL OPEN SPACE AREA: 48.32± AC (100.0%)
WETLAND AREA IS LOCATED WITHIN THE FLOODPLAIN AREA
- LONGITUDE AND LATITUDE: BENCHMARK #1-4004, NORTH CORNER OF "PROPERTY A"
STATE PLANE COORDINATES: LONGITUDE: W 075.180696°
LATITUDE: N 038.484649°
- PROPOSED DISCHARGE LOCATION: BROADKILL RIVER, ULTIMATELY TO DELAWARE BAY
- PROPOSED TOTAL LIMIT OF DISTURBANCE PER DISCHARGE LOCATION: 78.21 AC ±
- WATERSHED: DELAWARE BAY
- FLOOD ZONE: THIS PROPERTY IS LOCATED ON THE FEMA FLOOD INSURANCE RATE MAP NUMBERS 1005C0160K AND 1005C0160K. MAPS REVISED MARCH 16, 2015. 100 YEAR FLOODPLAIN, ZONE A & B BASE FLOOD ELEVATION DETERMINED ALONG THE EASTERN PORTION OF THE PROPERTY. 100 YEAR FLOODPLAIN AREA 18.58 +/- ACRES. THE PROJECT ALSO APPEARS TO LIE WITHIN THE 0.2 PERCENT CHANCE FLOOD ZONE.
- WETLANDS AREA: 9.62 +/- ACRES NON-TIDAL WETLANDS - DELINEATED BY ENVIRONMENTAL RESOURCES, INC. IN 2004. THE WETLANDS WILL BE RECERTIFIED DURING THE ENGINEERING STAGES OF THE PROJECT.
- WETLAND AREA IMPACTED: 0 AC.
- FLOWAGE EASEMENT: 29.3 +/- ACRES (67%) PER DEED BOOK 612 - PAGE 296 (30.65 +/- ACRES MEASURED)
- TOPOGRAPHY: H/NAD 83, V-NAVD 88 DATUM SURVEYED BY PENNONI IN OCTOBER 2020 AND WINGS AERIAL TOPOGRAPHY FOR DESIGN CONSULTANTS GROUP, LLC DATED 01/23/2004.
- BOUNDARY SURVEY: DESIGN CONSULTANTS GROUP, LLC BOUNDARY SURVEY AND FIELD VERIFIED IN JANUARY 2004 AND FIELD SURVEYED BY PENNONI IN OCTOBER 2020.
- DATUM: HORIZONTAL - NAD83, VERTICAL - NAVD88
- LOCAL GOVERNMENT RESPONSIBLE FOR LAND USE APPROVAL: SUSSEX COUNTY
- PROPOSED SUBDIVISION IS NOT LOCATED WITHIN THE HENLOPEN TRANSPORTATION IMPROVEMENT DISTRICT (TID)

ESTATES AT MILTON CROSSING

(2019-16)

FINAL SUBDIVISION PLAT

MILTON / BROADKILL HUNDRED / SUSSEX COUNTY

REYNOLDS ROAD (SCR 233), MILTON, DE 19968

PREPARED FOR:
OWNER/DEVELOPER
MILTON CROSSING, LLC
18334 COASTAL HIGHWAY
LEWES, DE 19958
(302) 644-0300

OWNERS
MILTON CROSSING, LLC
c/o JOSEPH W. BOOTH JR., MANAGING MEMBER
18334 COASTAL HIGHWAY
LEWES, DE 19958

DEVELOPER
MILTON CROSSING, LLC
c/o JOSEPH W. BOOTH JR., MANAGING MEMBER
18334 COASTAL HIGHWAY
LEWES, DE 19958

ENGINEER/SITE DESIGNER
PENNONI ASSOCIATES INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968
(302) 684-8030

SURVEYOR
PENNONI ASSOCIATES, INC.

LANDSCAPE ARCHITECT
PENNONI ASSOCIATES, INC.

SCHOOL DISTRICT
CAPE HENLOPEN SCHOOL DISTRICT

FIRE DISTRICT
MILTON

POSTAL DISTRICT
MILTON (19968)

WATER UTILITY
ON-SITE WELL

SEWER UTILITY
ON-SITE DISPOSAL SYSTEM

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		BUILDING
		FULL DEPTH PAVEMENT
		2" PAVEMENT OVERLAY
		CURB
		EDGE OF PAVEMENT
		EDGE OF GRAVEL
		UTILITY EASEMENT
		PERMANENT EASEMENT
		FENCE
		POWER, UTILITY POLE
		PROPERTY, LINE
		LEGAL RIGHT-OF-WAY
		PROPERTY, CORNER FOUND
		PROPERTY, ADJOINING LINED
		SITE, MAIL BOX
		SITE, TRAFFIC SIGN
		SOIL BOUNDARY
		VEGETATED SWALE
		SOIL LABEL
		WELL
		SOIL BORING
		SPOT ELEVATION
		MARKING, HANDICAP PARKING
		LIGHT POLE
		EXISTING CONIFER TREE
		EXISTING OAK TREE
		100yr FLOOD PLAN

SOILS

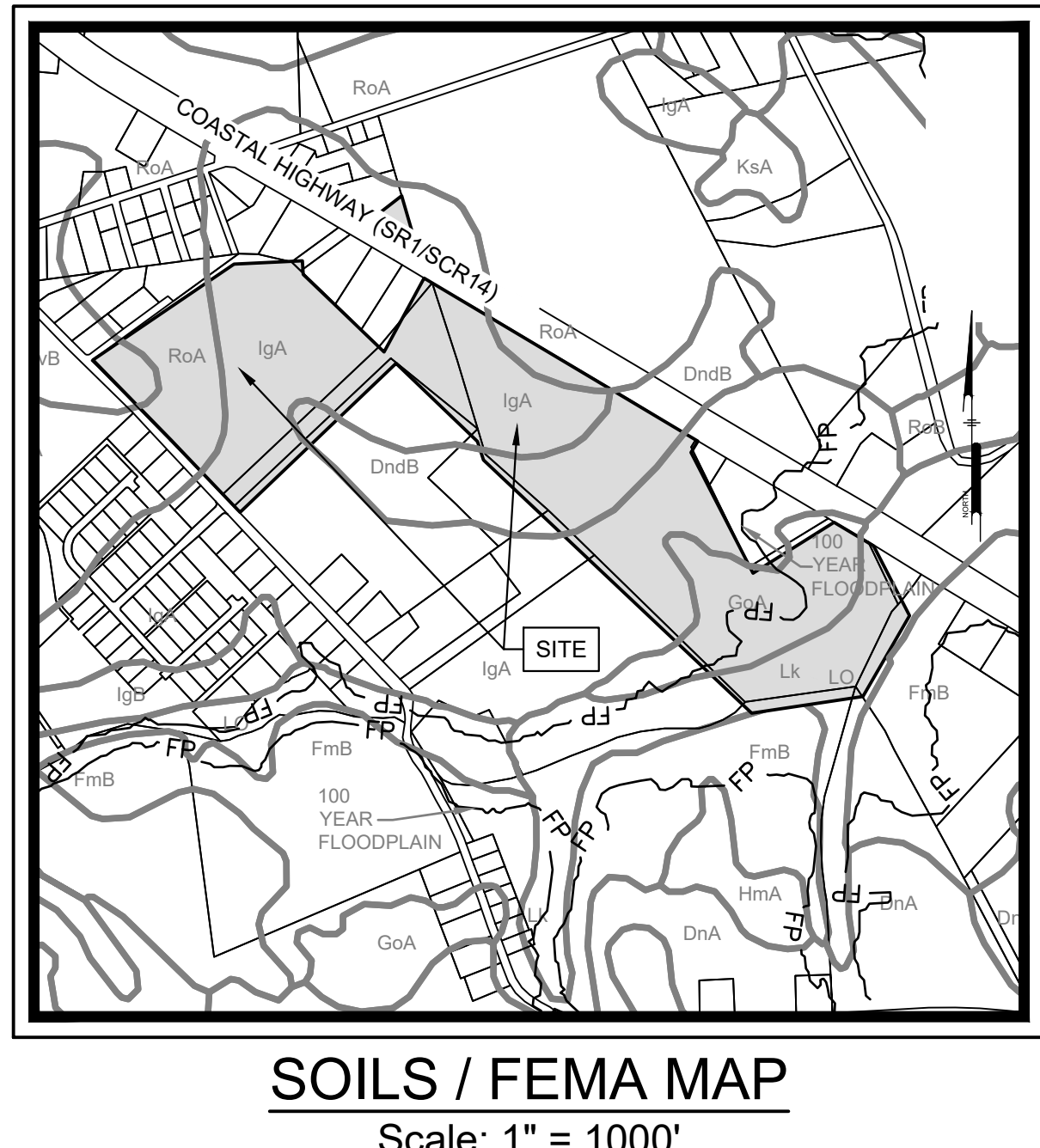
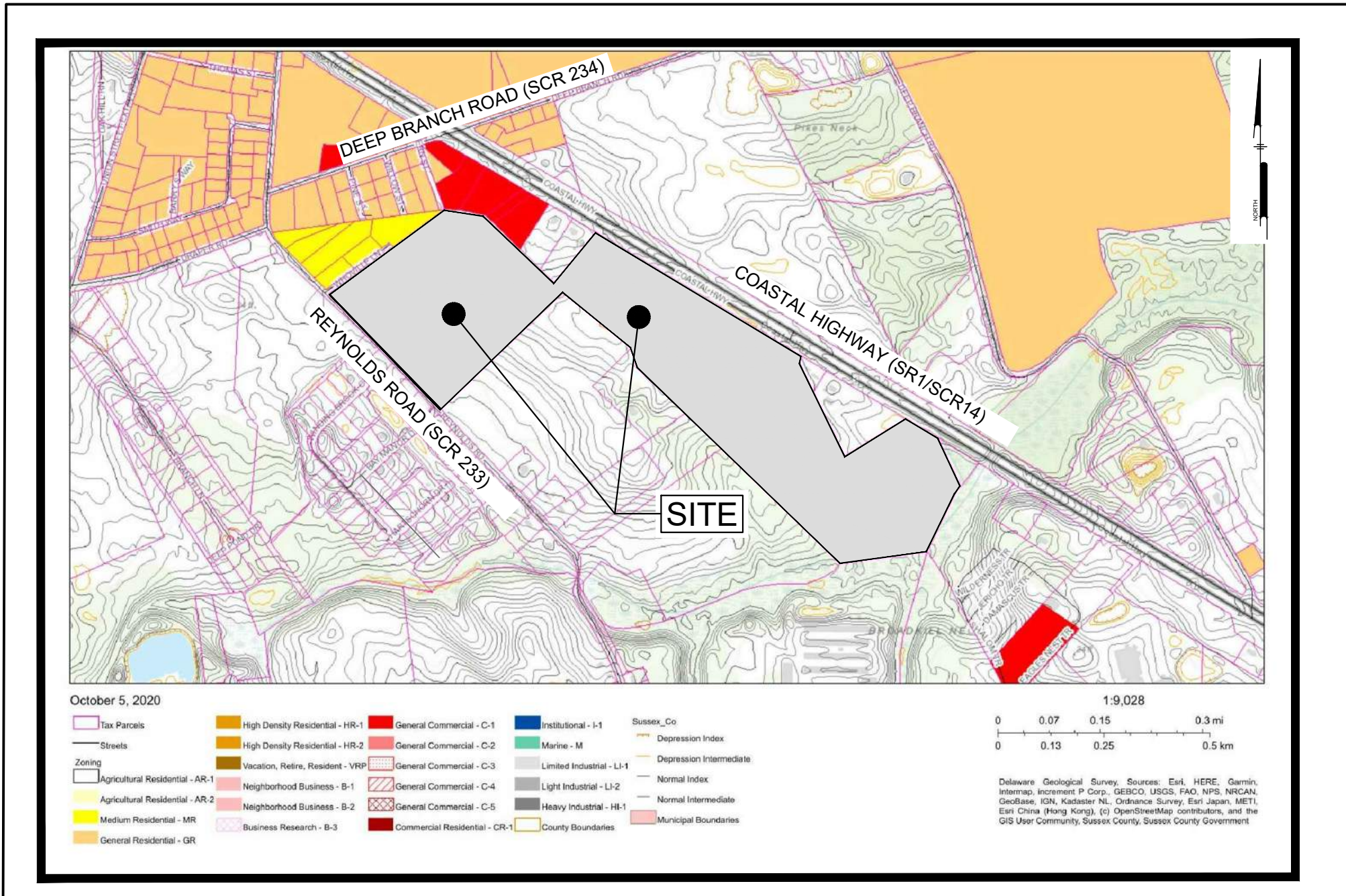
TYPE	DESCRIPTION	HYDROLOGIC SOIL
DndB	DOWNER LOAMY SAND, 2 TO 5 PERCENT SLOPES	A
EvB	EVESBORO LOAMY SAND, 0 TO 5 PERCENT SLOPES	A
GoA	GLASSBORO SANDY LOAM, 0 TO 2 PERCENT SLOPES	A/D
IgA	INGLESIDE SANDY LOAM, 0 TO 2 PERCENT SLOPES	A
LK	LENAPE MUCKY PEAT, VERY FREQUENTLY FLOODED, TIDAL	C/D
RoA	ROSEDALE LOAMY SAND, 0 TO 2 PERCENT SLOPES	A

• BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) 1005C0160K & 1005C0160K, EFFECTIVE DATE MARCH 16, 2015. THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE 'X', UNSHADED, WHICH IS AN AREA DETERMINED TO LIE OUTSIDE THE 500 YEAR FLOODPLAIN.
• FIELD WORK CONDUCTED IN NOVEMBER 2020. SOILS REPORT PREPARED BY ACCENT ENVIRONMENTAL, LLC.
• DESIGN INTERPOLATION, "A/D" SOILS WERE CALCULATED AS "A" AND "C/D" AS "C".

LIMIT OF DISTURBANCE: 78.21 AC

RECORD PLAN

SHEET NUMBER	SHEET DESCRIPTION	SHEET TITLE
1	RP0001	RECORD PLAN COVER SHEET
2	RP0002	RECORD PLAN NOTES & DETAILS
3	RP1001	RECORD PLAN - NORTH
4	RP1002	RECORD PLAN - SOUTH



LOCATION MAP
SCALE: 1"=1000'

PREPARED BY:
PENNONI ASSOCIATES INC.

18072 Davidson Drive
Milton, DE 19968
T 302.684.8030
F 302.684.8054



NOTES:

- ENTRANCE TO BE BUILT IN TWO PHASES.
 - PHASE ONE INCLUDES 35 LOTS. THE PROPOSED HAMMER HEAD ENTRANCE MUST BE SUBSTANTIALLY COMPLETED PRIOR TO THE ISSUANCE OF THE FIRST BUILDING PERMIT. THE PROPOSED STORMDRAIN SYSTEM FOR THE ENTRANCE WILL BE INSTALLED AT THIS TIME.
 - PHASE TWO IMPROVEMENTS SHALL BE CONSTRUCTED AND ACCEPTED PRIOR TO THE ISSUANCE OF THE 35TH BUILDING PERMIT. CONSTRUCTION OF PHASE ONE (15-35 LOTS) SHALL BE LIMITED TO THE NORTH BOUND LANE. CONTRACTOR TO MAINTAIN TWO 10' TRAVEL LANES DURING NON-CONSTRUCTION HOURS.
 - ALL DEMOLITION OF EXISTING FEATURES SHALL OCCUR UPON THE COMMENCEMENT OF PHASE 2 ENTRANCE WORK.
 - PHASE 2 - CONSTRUCT SWALES, CONSTRUCT ROADWAY, TURN LANES, SHOULDER ALONG NORTHEAST SIDE OF REYNOLDS ROAD.
 - PHASE 2 - AFTER NORTHEAST SIDE IS COMPLETED START NORTHWEST DITCH RELOCATION AND INSTALL NORTHWEST SIDE DRIVEWAY PIPE.
 - PHASE 2 - START CONSTRUCTION ON THE WIDENING OF SHOULDER ALONG REYNOLDS ROAD.
 - PHASE 2 - AFTER SHOULDER CONSTRUCTION IS COMPLETED MILL AND OVERLAY REYNOLDS ROAD TO PROPOSED GRADE, PAVING AND WEDGING AS REQUIRED.

WETLANDS CERTIFICATION:
THIS PROPERTY, TAX MAP 235-8.00, HAS BEEN EXAMINED BY KENNETH W. REDINGER ENVIRONMENTAL SERVICES FOR THE PRESENCE OF WATERS OF THE UNITED STATES, INCLUDING WETLANDS (SECTION 404 AND SECTION 10), STATE SUBAQUEOUS LANDS AND STATE REGULATED WETLANDS AS ESTABLISHED BY THE REVIEWING AGENCIES IN THE FORM OF MANUALS, POLICIES AND PROCEDURES IN PLACE AT THE TIME THAT THE INVESTIGATION WAS CONDUCTED. THE WETLAND INFORMATION CONTAINED IN THIS PLAN SET IS IN ACCORDANCE WITH THESE CRITERIA.

SIGNATURE _____ DATE _____

KENNETH W. REDINGER, PROFESSIONAL WETLANDS SCIENTIST #2126
P.O. BOX 479 / HORTONTOWN, VA 23395
(757) 894-7032 / EMAIL:KWREDINGER@GMAIL.COM

SUSSEX CONSERVATION DISTRICT

SIGNATURE _____ DATE _____

NAME _____ DATE _____

APPROVED BY _____

CHAIRMAN OR SECRETARY OF PLANNING & ZONING COMMISSION DATE _____

PRESIDENT OF SUSSEX COUNTY COUNCIL DATE _____

REFERENCE #: 2019-16

OWNER/DEVELOPER CERTIFICATION:
IT IS HEREBY CERTIFIED THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

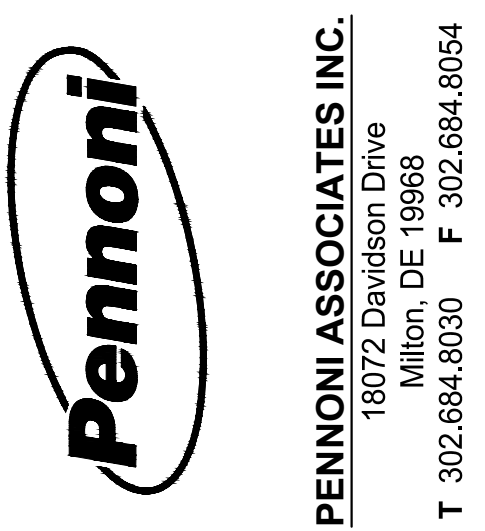
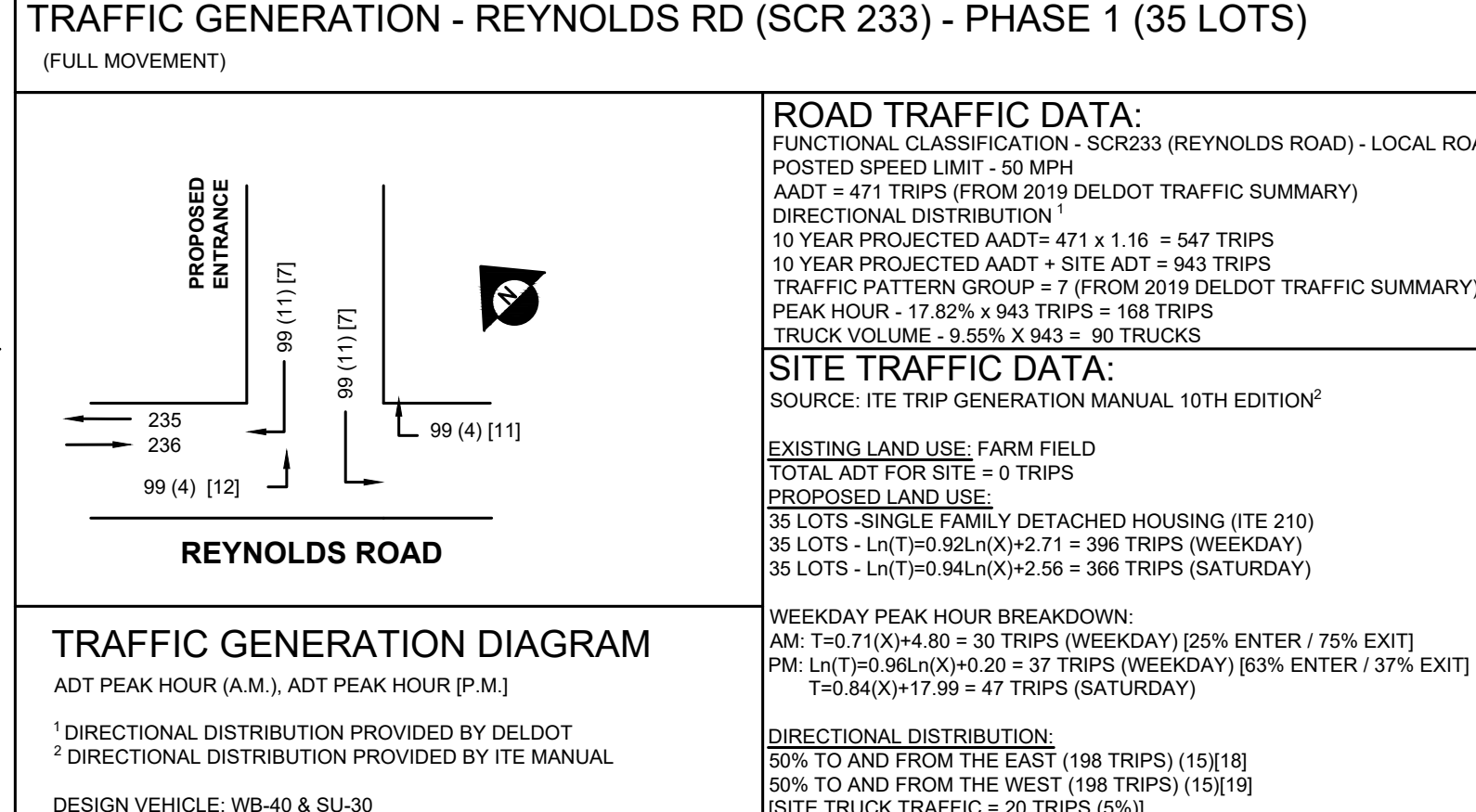
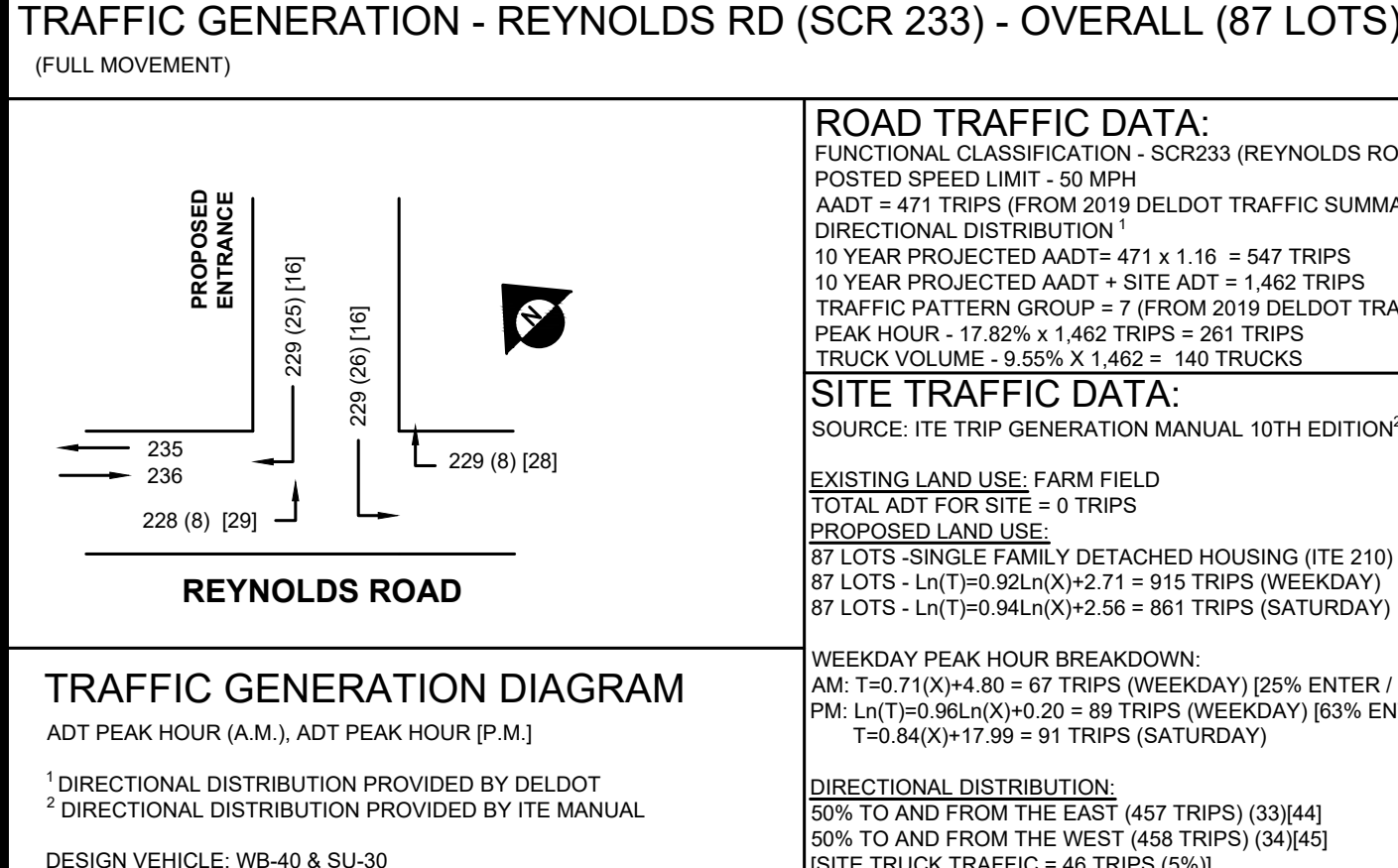
SIGNATURE _____ DATE _____

MILTON CROSSING, LLC
c/o JOSEPH W. BOOTH, MANAGING MEMBER
18334 COASTAL HIGHWAY
LEWES, DE 19958
(302) 644-0300
JBOOTH@CAPSTONE-HOMES.COM

ENGINEER CERTIFICATION:
IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE. THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE COMPLIES WITH APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SIGNATURE _____ DATE _____

ALAN DECKTOR, PE (DE PE#7771)
PENNONI ASSOCIATES, INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968
OFFICE (302) 684-0300 - FAX (302) 684-8054
ADECKTOR@PENNONI.COM



PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.8030 F 302.684.8054

ESTATES AT MILTON CROSSING
REYNOLDS ROAD (SCR 233)
MILTON / BROADKILL HUNDRED / SUSSEX COUNTY
T.M.: 235-8.00, PARCELS 31.00, 26.00 & 26.03

RECORD PLAN COVER SHEET

MILTON CROSSING, LLC
18334 COASTAL HIGHWAY
LEWES, DE 19958

NO.	DATE	REVISIONS	BY
3	2021-09-15	REVISED PER PLANNING AND ZONING COMMENTS	LFS
2	2021-04-26	REVISED PER DELDOT COMMENTS	TPM
1	2021-03-26	REVISED PER DELDOT COMMENTS	TPM

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE WITHOUT WRITTEN VERIFICATION IS AT THE USER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES. OWNER SHALL HOLD PENNONI ASSOCIATES HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: GRJS019001
DATE: 2021-02-05
DRAWING SCALE: AS SHOWN
DRAWN BY: TPM
APPROVED BY: AMD

RP0001
SHEET 1 OF 4

PLOTTED: 8/16/2021 11:12 AM BY: Iqbal Shabbir
 PROJECT: ESTATES AT MILTON CROSSING
 PLOT STYLE: Pennoni Acad.s

LEGEND

- EXISTING PROPERTY LINE
- EXISTING ADJACENT PROPERTY LINE
- EXISTING EDGE OF GRAVEL
- EXISTING EDGE OF TREELINE/WOODS
- EXISTING CONTOUR LINE
- EXISTING SOIL BOUNDARY
- CLEAR ZONE LINE
- 100' FLOOD PLAN
- IRON PIPE FOUND
- CONCRETE MONUMENT FOUND
- IRON PIN TO BE SET
- ★ STREET LIGHT
- PROPOSED SIDEWALK

SITE KEYED NOTES

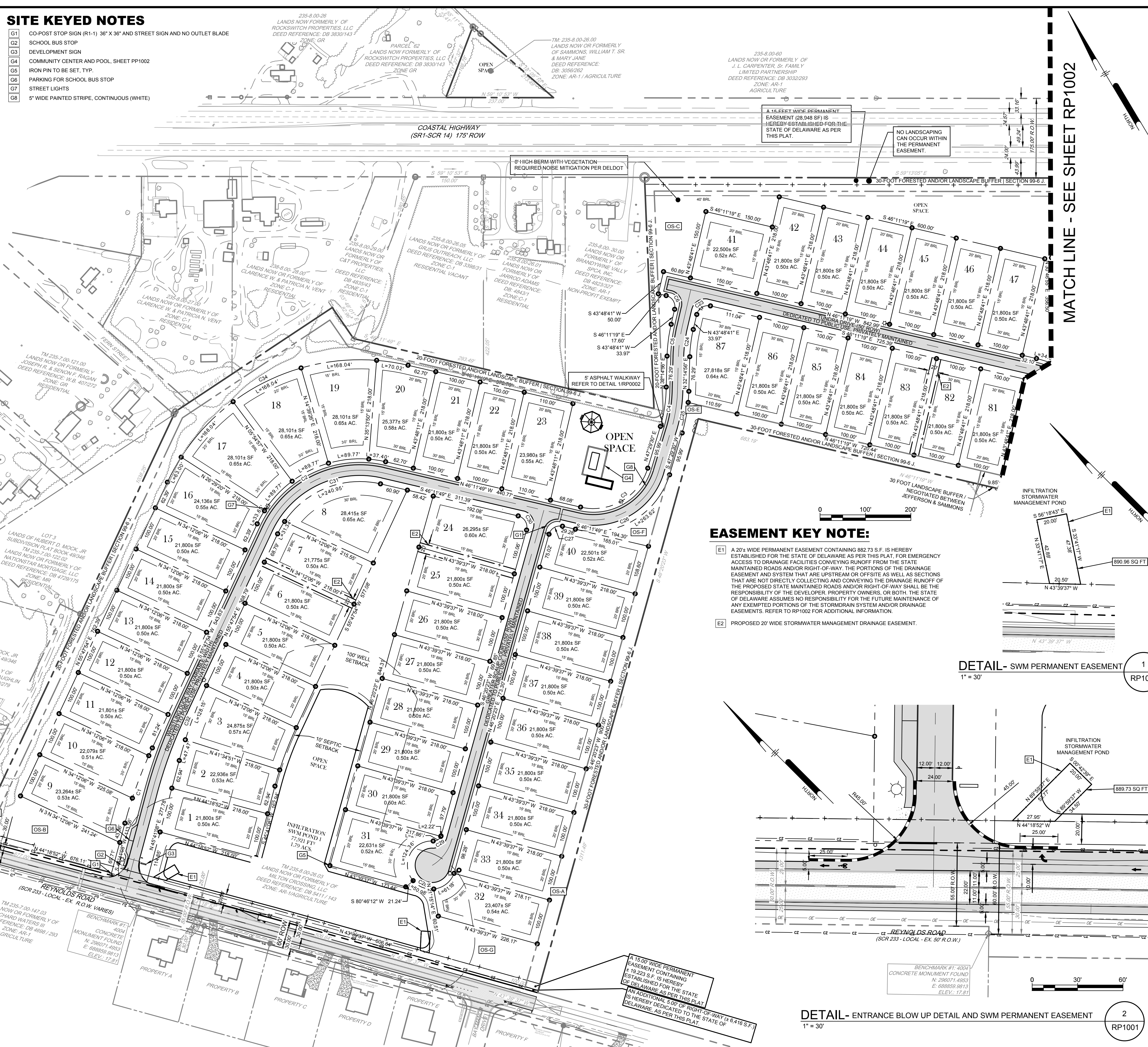
- G1 CO-POST STOP SIGN (R1-1) 36" X 36" AND STREET SIGN AND NO OUTLET BASE
- G2 SCHOOL BUS STOP
- G3 DEVELOPMENT SIGN
- G4 COMMUNITY CENTER AND POOL, SHEET PP1002
- G5 IRON PIN TO BE SET, TYP.
- G6 PARKING FOR SCHOOL BUS STOP
- G7 STREET LIGHTS
- G8 5" WIDE PAINTED STRIPE, CONTINUOUS (WHITE)

ADJACENT PROPERTIES KEY TABLE

PROPERTY	PROPERTY INFORMATION
A	TM 235-7.00-147.12 LANDS NOW OR FORMERLY OF HORSLEY, VIRGIL A. & JENNIFER M. DEED REFERENCE: DB 4423 / 173 ZONE: AR-1 RESIDENTIAL
B	TM 235-7.00-147.11 LANDS NOW OR FORMERLY OF DYE, FRANK W. & SANDY LYNN DEED REFERENCE: DB 4423 / 173 ZONE: AR-1 RESIDENTIAL
C	TM 235-7.00-147.10 LANDS NOW OR FORMERLY OF DRAKE, TIMOTHY DEED REFERENCE: DB 4331 / 80 ZONE: AR-1 RESIDENTIAL
D	TM 235-7.00-147.09 LANDS NOW OR FORMERLY OF LOVELAND, WAYNE V. & SUSAN D. DEED REFERENCE: DB 4520/309 ZONE: AR-1 RESIDENTIAL
E	TM 235-7.00-329.00 LANDS NOW OR FORMERLY OF KRISTINA, DAVID F. & TUVETT T. DEED REFERENCE: DB 4896 / 103 ZONE: AR-1 RESIDENTIAL
F	TM 235-7.00-369.00 LANDS NOW OR FORMERLY OF KRISTINA, DAVID F. & TUVETT T. DEED REFERENCE: DB 5006 / 319 ZONE: AR-1 RESIDENTIAL VACANT
G	TM 235-7.00-147.08 LANDS NOW OR FORMERLY OF BUCKSON, KENT V. DEED REFERENCE: DB 4624 / 159 ZONE: AR-1 RESIDENTIAL

OPEN SPACE TABLE

AREA (S.F.)	AREA(ACRE)	PURPOSE
OS-A	1124548.57	25.81 LANDSCAPE BUFFER
OS-B	125519.02	2.88 ACTIVE
OS-C	213271.01	4.89 ACTIVE
OS-D	1979.41	0.05 ACTIVE
OS-E	161.65	0.00 ACTIVE
OS-F	5567.37	0.13 ACTIVE
OS-G	215427.31	4.94 ACTIVE
OS-H	419212.11	9.62 WETLANDS



PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.3030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

ESTATES AT MILTON CROSSING
REYNOLDS ROAD (SCR 233)
MILTON / BROADKILL HUNDRED / SUSSEX COUNTY
T.M.: 235-8.00, PARCELS 31.00, 28.00 & 26.03

RECORD PLAN - NORTH
MILTON CROSSING, LLC
18334 COASTAL HIGHWAY
LEWES, DE 19958

NO.	DATE	REVISIONS	BY
3	2021-03-15	REVISED PER PLANNING AND ZONING COMMENTS	LFS
2	2021-04-28	REVISED PER DELDOT COMMENTS	TPM
1	2021-03-26	REVISED PER DELDOT COMMENTS	TPM

PROJECT: GRJS019001
DATE: 2021-02-05
DRAWING SCALE: 1"=100'
DRAWN BY: TPM
APPROVED BY: AMD

RP1001
SHEET 3 OF 4

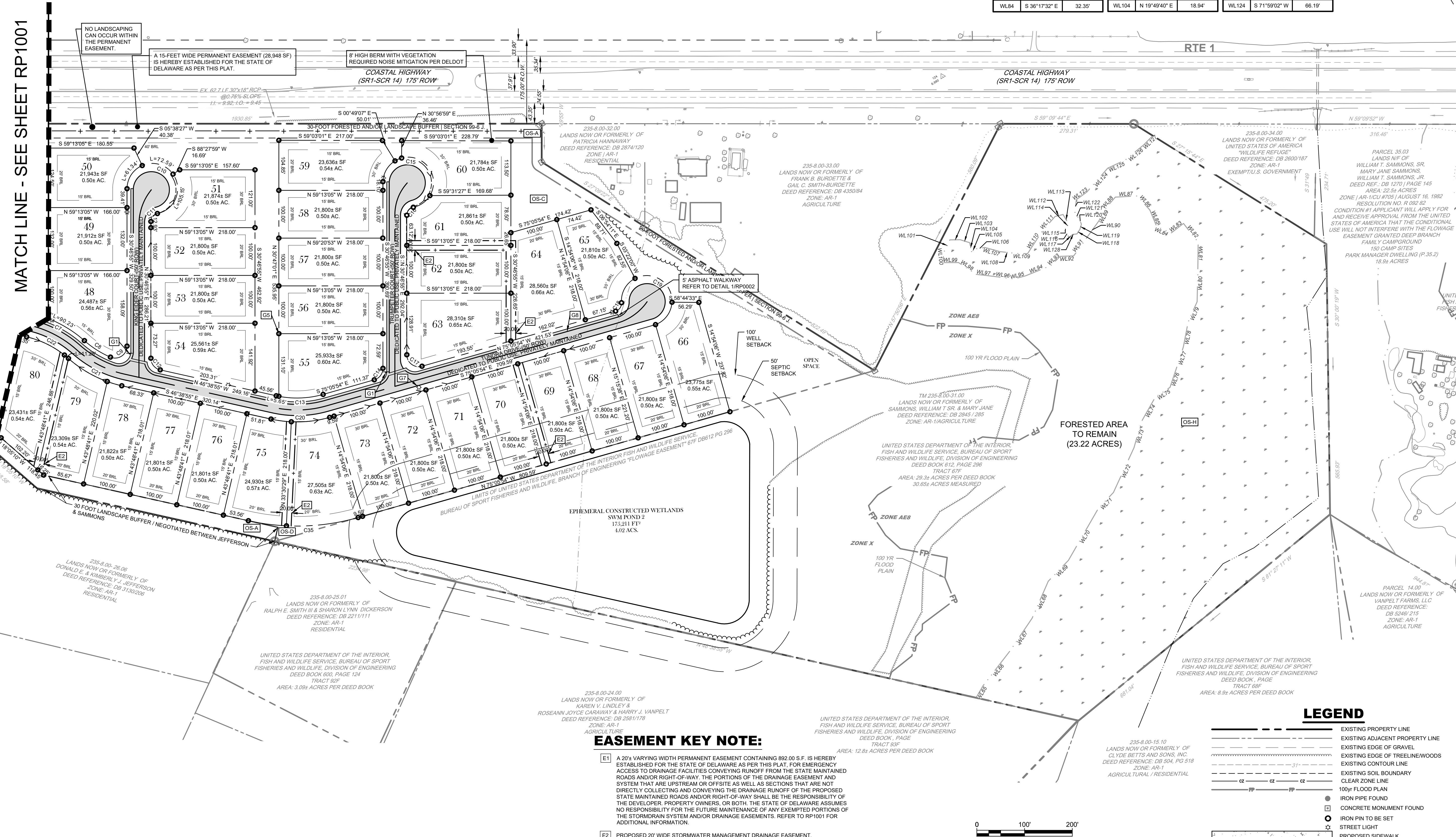
PLOTTED: 01/20/21 11:27 AM BY: Lupton, S. DATE: 01/20/21
 PROJECT STATUS: ---
 PLOTTED BY: Lupton, S. DATE: 01/20/21
 PLOTTED BY: Lupton, S. DATE: 01/20/21

SITE KEYED NOTES

- G1 CO-POST STOP SIGN (R1-1) 36" X 36" AND STREET SIGN AND NO OUTLET BLADE
- G2 SCHOOL BUS STOP
- G3 DEVELOPMENT SIGN
- G4 COMMUNITY CENTER AND POOL, SHEET PP1002
- G5 IRON PIN TO BE SET, TYP.
- G6 PARKING FOR SCHOOL BUS STOP
- G7 STREET LIGHTS
- G8 5" WIDE PAINTED STRIPE, CONTINUOUS (WHITE)

OPEN SPACE TABLE			
	AREA (S.F.)	AREA (ACRE)	PURPOSE
OS-A	1124548.57	25.81	LANDSCAPE BUFFER
OS-B	125519.02	2.88	ACTIVE
OS-C	213271.01	4.89	ACTIVE
OS-D	1979.41	0.05	ACTIVE
OS-E	161.65	0.00	ACTIVE
OS-F	5567.37	0.13	ACTIVE
OS-G	215427.31	4.94	ACTIVE
OS-H	419212.11	9.62	WETLANDS

WETLAND LINE TABLE			WETLAND LINE TABLE			WETLAND LINE TABLE			WETLAND LINE TABLE		
LINE #	BEARING	DISTANCE	LINE #	BEARING	DISTANCE	LINE #	BEARING	DISTANCE	LINE #	BEARING	DISTANCE
WL65	S 60°56'41" W	29.81'	WL85	S 08°03'56" W	39.41'	WL105	S 86°27'48" W	10.00'	WL125	N 84°06'59" W	39.64'
WL66	S 68°33'02" W	90.78'	WL86	S 10°37'25" E	39.28'	WL106	N 67°30'56" W	20.31'	WL126	S 81°40'28" W	50.73'
WL67	S 64°56'05" W	83.27'	WL87	S 62°12'25" E	46.41'	WL107	N 43°46'26" W	32.46'	WL127	S 75°20'20" W	27.15'
WL68	S 54°23'56" W	84.59'	WL88	N 71°46'43" E	36.12'	WL108	N 52°51'11" W	34.28'	WL128	N 66°29'40" W	9.17'
WL69	S 74°46'08" W	60.64'	WL89	N 55°56'12" E	24.18'	WL109	N 58°05'39" W	23.94'			
WL70	S 60°46'31" W	125.06'	WL90	N 66°38'47" E	46.46'	WL110	N 63°47'07" W	57.14'			
WL71	S 74°02'41" W	46.49'	WL91	N 66°24'28" E	44.56'	WL111	S 72°17'35" W	40.03'			
WL72	S 55°27'11" W	103.24'	WL92	S 61°07'32" E	28.12'	WL112	N 72°50'19" W	17.17'			
WL73	S 46°35'20" W	55.97'	WL93	N 77°13'58" E	28.37'	WL113	N 00°11'07" E	23.84'			
WL74	S 60°13'35" W	59.42'	WL94	S 81°23'06" E	56.37'	WL114	N 78°16'06" E	6.97'			
WL75	S 87°14'19" W	37.03'	WL95	S 73°57'00" E	25.88'	WL115	N 51°50'13" E	9.34'			
WL76	S 49°21'14" W	40.09'	WL96	S 51°36'59" E	38.27'	WL116	N 00°53'14" W	16.68'			
WL77	S 48°52'48" W	48.83'	WL97	S 52°35'55" E	40.91'	WL117	S 81°06'39" W	9.96'			
WL78	S 41°40'08" W	54.32'	WL98	S 25°24'51" E	44.23'	WL118	S 62°52'29" W	11.72'			
WL79	S 54°55'54" W	45.50'	WL99	S 59°23'49" E	30.55'	WL119	S 46°40'01" W	10.78'			
WL80	S 32°02'22" W	78.94'	WL100	S 24°42'41" W	18.84'	WL120	S 11°01'33" W	11.87'			
WL81	S 31°23'47" W	45.55'	WL101	S 71°12'11" W	32.19'	WL121	S 11°45'03" E	14.76'			
WL82	S 07°10'35" E	50.02'	WL102	N 60°04'06" W	21.56'	WL122	S 37°36'45" W	29.65'			
WL83	N 83°01'24" E	32.60'	WL103	N 42°01'32" W	20.96'	WL123	S 84°48'23" W	27.21'			
WL84	S 36°17'32" E	32.35'	WL104	N 19°49'40" E	18.94'	WL124	S 71°50'02" W	66.19'			



EASEMENT KEY NOTE:

- E1 A 20' VARYING WIDTH PERMANENT EASEMENT CONTAINING 892.00 S.F. IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAN, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM THE STATE MAINTAINED ROADS AND/OR RIGHT-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORMDRAIN SYSTEM AND/OR DRAINAGE EASEMENTS. REFER TO RP1001 FOR ADDITIONAL INFORMATION.
- E2 PROPOSED 20' WIDE STORMWATER MANAGEMENT DRAINAGE EASEMENT.

LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING ADJACENT PROPERTY LINE
- EXISTING EDGE OF GRAVEL
- EXISTING EDGE OF TREENE/WOODS
- EXISTING CONTOUR LINE
- EXISTING SOIL BOUNDARY
- CLEAR ZONE LINE
- 100yr FLOOD PLAN
- IRON PIPE FOUND
- CONCRETE MONUMENT FOUND
- IRON PIN TO BE SET
- STREET LIGHT
- PROPOSED SIDEWALK

Pennoni
PENNONI ASSOCIATES INC.
 18072 Davidson Drive
 Milton, DE 19968
 T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

ESTATES AT MILTON CROSSING
 REYNOLDS ROAD (SCR 233)
 MILTON/BROADKILL HUNDRID / SUSSEX COUNTY
 T.M.: 235-8.00, PARCELS 31.00, 26.00 & 26.03

RECORD PLAN - SOUTH
 MILTON CROSSING, LLC
 18334 COASTAL HIGHWAY
 LEWES, DE 19958

NO.	DATE	REVISIONS	BY
1	2021-02-26	REVISED PER DELDOT COMMENTS	TPM
2	2021-04-28	REVISED PER DELDOT COMMENTS	TPM
3	2021-05-15	REVISED PER PLANNING AND ZONING COMMENTS	LFS

PROJECT: **GRJS019001**

DATE: 2021-02-05

DRAWING SCALE: 1"=100'

DRAWN BY: TPM

APPROVED BY: AMD

RP1002
 SHEET 4 OF 4

PLOTTED: 01/20/2021 11:17 AM BY: Lynn Brubaker PROJECT STATUS: PLOTTED: 01/20/2021 11:17 AM BY: Lynn Brubaker PROJECT STATUS: PLOTTED: 01/20/2021 11:17 AM BY: Lynn Brubaker PROJECT STATUS:

REQUIRED LANDSCAPE BUFFER PLANTINGS ON BOTH SIDES OF PROPOSED BERM (NO PLANTINGS PROPOSED WITHIN DELDOT EASEMENT)

REQUIRED LANDSCAPE BUFFER PLANTINGS ON BOTH SIDES OF PROPOSED BERM (NO PLANTINGS PROPOSED WITHIN DELDOT EASEMENT)

COASTAL HIGHWAY (SR1-SCR 14) 175' ROW



LANDSCAPE LEGEND

PROPOSED	DESCRIPTION
	LARGE DECIDUOUS SHADE TREE (OP)
	LARGE DECIDUOUS SHADE TREE (AR)
	LARGE DECIDUOUS SHADE TREE (OB)
	MEDIUM DECIDUOUS TREE (MV)
	MEDIUM DECIDUOUS TREE (CC)
	MEDIUM/LARGE CONIFEROUS TREE (CO)
	MEDIUM/LARGE CONIFEROUS TREE (PS)

EXISTING TREE LINE TO MEET REQUIREMENTS OF BUFFER

VISUAL BUFFER TO BE FURTHER DESIGNED IN CONJUNCTION WITH COMMUNITY OPEN SPACE

EXISTING TREE LINE TO MEET REQUIREMENTS OF BUFFER

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	HT	CONT.	SPACING
TREES						
QB	96	QUERCUS BICOLOR	WHITE OAK	MIN 6' HT (1.5" CAL)	B&B	AS SHOWN
QP	128	QUERCUS PHELLOS	WILLOW OAK	MIN 6' HT (1.5" CAL)	B&B	AS SHOWN
AR	85	ACER RUBRUM	RED MAPLE	MIN 6' HT (1.5" CAL)	B&B	AS SHOWN
CC	133	CERCIS CANADENSIS	EASTERN REDBUD	MIN 6' HT (1.5" CAL)	B&B	AS SHOWN
MV	96	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	MIN 6' HT (1.5" CAL)	B&B	AS SHOWN
IO	74	ILEX OPACA	AMERICAN HOLLY	MIN 5' HT	B&B	AS SHOWN
PS	157	PINUS STROBUS	WHITE PINE	MIN 5' HT	B&B	AS SHOWN

*NOTE - USE PLANT SYMBOLS RESPECTIVELY TO IDENTIFY LOCATION OF PLANTS ON PLAN
 - EXISTING VEGETATION TO BE UTILIZED AS MUCH AS POSSIBLE



LANDSCAPE CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE REGULATIONS AND LAWS OF THE STATE OF DELAWARE.

ERIC W. WAHL, RLA (DE# S1-0000409) DATE
 PENNONI ASSOCIATES INC.
 18072 DAVIDSON DRIVE MILTON, DE 19968

Pennon
 PENNONI ASSOCIATES INC.
 18072 Davidson Drive
 Milton, DE 19968
 T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

ESTATES AT MILTON CROSSING
 REYNOLDS ROAD (SCR 233)
 MILTON / BROADKILL HUNDRED / SUSSEX COUNTY
 T. M.: 235-8.00, PARCELS 31.00, 26.00 & 26.03

LANDSCAPE PLAN - BUFFERS

MILTON CROSSING, LLC
 18334 COASTAL HIGHWAY
 LEWES, DE 19958

NO.	DATE	REVISIONS	BY
1	08-15-21	REVISIONS TO LANDSCAPE PER P&Z COMMENTS	EWW

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE, AND OWNER SHALL HOLD PENNONI AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT GRJSO19001
 DATE 2021-02-05
 DRAWING SCALE 1"=100'
 DRAWN BY TPM
 APPROVED BY AMD

PLOTTED: 8/16/2021 9:48 AM BY: ERIC W. WAHL PLOTTED BY: ERIC W. WAHL PROJECT STATUS:

ENGINEERING DEPARTMENT

JOHN J. ASHMAN
SR. MANAGER OF UTILITY PLANNING
& DESIGN REVIEW

(302) 855-7370 T
(302) 854-5391 F
jashman@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

August 05, 2021

Mr. Alan Decktor, P.E.
Pennoni Associates, Inc.
18072 Davidson Drive
Milton, DE 19968

REF: **ESTATES AT MILTON CROSSING
SUBDIVISION NO. 2019-16
SUSSEX COUNTY TAX MAP NUMBER
235-8.00-PARCEL 26.00,26.03 &31.00 - CLASS-5
AGREEMENT NO. 1136**

Dear Mr. Decktor:

The above referenced project was approved on August 5, 2021 and two (2) sets of the approved plan is enclosed. This approval is valid for three (3) years, unless prior to expiration of that three (3) year period, a time extension is requested and approved by the Department. Plans granted an extension beyond the three (3) period will be required to meet updated standards and specifications.

Also, it is your responsibility to secure approvals and/or permits that may be required by other regulatory agencies.

Please contact Mrs. Susan Isaacs of this Division to initiate pre-construction procedures for private roads.

Should you have any questions, please do not hesitate to contact me.

Sincerely,

SUSSEX COUNTY ENGINEERING DEPARTMENT

Jordan T. Dickerson
Public Works Technician IV

cc: Public Works Field File, w/enclosure



MAPPING & ADDRESSING

MEGAN NEHRBAS
MANAGER OF GEOGRAPHIC
INFORMATION SYSTEMS (GIS)
(302) 855-1176 T
(302) 853-5889 F



Sussex County

DELAWARE
sussexcountyde.gov

June 12, 2019

Pennoni

Attn: **Katherine E. Davidson**
18072 Davidson Drive
Milton, De. 19968

RE: Proposed Subdivision Name(s)

I have reviewed the name(s) submitted for your proposed subdivision which is located in Milton (235-8.00-31.00,26.00 & 26.03). In reviewing the proposed name(s) the following has been approved for this subdivision:

ESTATES AT MILTON CROSSING

Should you have any questions please contact the Sussex County Addressing Department at 302-853-5888 or 302-855-1176.

Sincerely,

Terri L. Dukes

Terri L. Dukes
Addressing Technician II

CC: Christin Headley
Planning & Zoning





18072 Davidson Drive
 Milton, DE 19968
 T: 302-684-8030
 F: 302-684-8054

www.pennoni.com

September 15, 2021
 GRJSO19001

Ms. Lauren DeVore
 Sussex County Planning and Zoning
 2 The Circle
 Georgetown, DE 19947

RE: Record Plan Submission
Estates at Milton Crossing (2019-16)
Coastal Highway
Tax Map # 235-8.00-26.03
Broad Kill Hundred

Dear Ms. DeVore,

On behalf of Estates at Milton Crossing (2019-16), Pennoni Associates Inc. (Pennoni) is pleased to submit the revised Final Record Plan for your consideration of review and approval. We have addressed the following comments per your letter received on September 13, 2021.

We have enclosed one (1) copy of the following documents for review and approval of the project.

<i>Item</i>	<i>Description</i>	<i>Last Revised</i>
Drawings Prepared by Pennoni Associates Inc.		
RP0001	RECORD PLAN COVER SHEET	09/15/2021
RP0002	RECORD PLAN NOTES & DETAILS	09/15/2021
RP1001	RECORD PLAN – NORTH	09/15/2021
RP1002	RECORD PLAN – SOUTH	09/15/2021
CS2001	LANDSCAPE PLAN – BUFFERS	09/15/2021
CS2002	LANDSCAPE DETAILS	09/15/2021

Record Plan Comments:

1. *Staff notes as per the plans on Sheet Nos. RP1001 and CS2001 that an 8-ft high berm is proposed as required noise mitigation by DeIDOT and that this proposal exists within the required 30-ft forested/landscape buffer required by Condition “D” of the Conditions of Approval for the subdivision. Please amend the plans so that the berm may be accommodated for DeIDOT, but so that the 30-ft wide forested/landscape buffer may also be installed. If the plans are not amended, this would result in an additional public hearing before the Planning and Zoning Commission.*

Pennoni Response (September 15, 2021): According to the Revised Condition “D” of the Conditions of Approval, the amended language reads “There shall be a 30-foot buffer installed along Route 1.” It further states that 20 feet of that buffer shall be landscaped or forested. To adequately provide an 8-foot tall berm, the grading required for such will extend past the 30-foot designated width. This in turn creates a necessity to plant the trees on either side of that berm to help ameliorate the visual presence of the berm, both from views from Route 1 and well as views from the rear of the residential lots. In addition, the plantings (in conjunction with the berm) help to mitigate noise from

traffic on Route 1. The number of proposed trees within the berm area comply with the quantities required by Sussex County Code for this type of buffer.

2. *Sheet No. RP1001 shows a 20-ft forested and/or landscaped buffer on the eastern side of the property. Aerial photography appears to show that the adjacent property (235- 8.00-26.04) is being actively farmed. Condition "D" states that "a 30-ft buffer is required along lands in agricultural use." Please increase the buffer width in order to achieve this requirement.*

Pennoni Response (September 15, 2021): Buffer has been increased as noted.

3. *Please increase the number and percentage of deciduous shade trees provided within the plan. A total of 497 trees (White Oak, Willow Oak, Red Maple, Eastern Redbud, Sweetbay Magnolia) of the total 769 trees anticipated will be deciduous (approximately 65% of the total trees provided). A total of 272 trees (American Holly & White Pine) of the total 769 trees anticipated to be planted will be evergreen (approximately 35% of the total trees provided.) Please note that all trees that are to be planted shall include a mix of 70% deciduous trees and 30% evergreen trees (§99-5 "Forested and/or Landscaped Buffer Strip" (A).*

Pennoni Response (September 15, 2021): The number of shade trees and evergreen trees have been modified to comply with the required ratio: 70% deciduous and 30% evergreen.

4. *Please include the height of all buffer plantings within the established "Plant Schedule." Plant heights are provided for the American Holly and White Pine plantings but have not been provided for the remainder of the plantings. Please note that "all deciduous trees must be a minimum of 6-ft above ground when planted in order to insure that the trees will be capable of obtaining a minimum height of 10-ft above ground within five years of being planted" (§99- 5 "Forested and/or Landscaped Buffer Strip" (B)).*

Pennoni Response (September 15, 2021): The minimum height and caliper of deciduous trees are noted on the Plant Schedule.

5. *Please note in the Site Data Column or as a General Note and show on the plans that the subdivision lies within the Combined Highway Corridor Overlay Zone (CHCOZ) as it lies within 600 feet of the existing road right-of-way line of Delaware Route 1 (Coastal Highway) (§115-194.1(B)(1)(b)). The CHCOZ requires a setback of 40-ft (please show this on the plans) and a 20-ft landscape buffer (which has been shown) (§115-194.1(E)(3)). The buffer must meet the minimum requirements found in §115-194.1(6)(b).*

Pennoni Response (September 15, 2021): The reference to the CHCOZ has been added into the General Notes, refer to note #30. The 40' BRL has been added to the plans, it does cross into the lots, but as it is a building restriction setback, the lots BRL is farther back, and no conflict occurs on those specific lots.

6. *Please clarify if additional tree plantings will be provided in order to shield proposed Lot #23 from the adjacent proposed Amenities (ie: clubhouse, inground pool and pavilion) and provide additional privacy.*

Pennoni Response (September 15, 2021): An area of proposed screening and subsequent note has been provided on the landscape plan. This area will be further detailed in conjunction with the community open space design.

7. *Please move the proposed road/street names so that they are overlaid over the proposed streets.*

Pennoni Response (September 15, 2021): Proposed Road /Street names are now overlaid over the proposed streets.

8. *Please fix the minor grammatical error under Condition "D," "The Final Site Plan shall contain a Landscape Plan for all of "theses" areas" to ".... for all of these areas.*

Pennoni Response (September 15, 2021): Grammatical error has been corrected.

9. *Please fix the minor grammatical error within the Site Data Column under the "Water Supplier" header from "DNERC" to DNREC.*

Pennoni Response (September 15, 2021): Grammatical error has been corrected.

10. *Please include a note within the Site Data Column that the proposed Subdivision is not located within the Henlopen Transportation Improvement District (TID).*

Pennoni Response (September 15, 2021): Note has been added to the Site Data Column.

11. *Please include in the Site Data Column under "Flood Zone" that the project also appears to lie within the 0.2 percent chance flood zone.*

Pennoni Response (September 15, 2021): Note has been updated in the Site Data Column.

12. *Please add hatching on the plans which clearly delineates the location of the proposed sidewalks.*

Pennoni Response (September 15, 2021): There are no concrete sidewalks, the walkways shall be asphalt matching the roadway and separated by a white line. No change has occurred on the plans, refer to Typical Roadway Cross Section 1, Sheet RP1002.

13. *Condition "L" requires all forested areas that will be preserved to be clearly depicted on the plans. Please add hatching or text which further clarifies those areas of the buffer in which the existing trees will be maintained and preserved.*

Pennoni Response (September 15, 2021): Areas where existing tree coverage will be maintained and used in buffering purposes have been hatched and notated on the landscape plan.

14. *Please include a breakdown of all Open Space by Open Space Area (ie: Open Space "A," Open Space "B," Open Space "C") which makes these parcels clearer to identify as part of any future property maintenance and as recorded in any subsequent Deeds or Restrictive Covenants for the development (§99-26(A)(19)).*

Pennoni Response (September 15, 2021): Open Space Area breakdown has been added, refer to table on plans RP1001 & RP1002.

15. *Please add the total acreage of Open Space as a percentage within the Site Data Column (§99-26(A)(19)).*

Pennoni Response (September 15, 2021): It has been updated to reflect the total open area compared to the entire gross acreage area. Refer to # 21 & 22.

16. *Please include the proposed percentage of impervious surface cover area in the Site Data Column (§99-26(A)(19)).*

Pennoni Response (September 15, 2021): Impervious surface cover area has been added to the Site Data Column, refer to Note #20.

17. *The plat shall contain the seal and signature of the surveyor, which shall serve as the surveyors certification that the final plat, as shown, is a correct representation of the survey as made, that all monuments indicated thereon exist and are correctly shown and that the plat complies with all requirements of this chapter and other applicable laws and regulations (§99- 26(B)).*

Pennoni Response (September 15, 2021): Understood.

18. Please provide copies of all HOA documents, and provide a summary of deed restrictions applicable within the subdivision, including agreements for the operation and maintenance by the property owners or agency in the subdivision of street and road improvements, surface drainage facilities, erosion and sedimentation control facilities, water supply facilities, sanitary sewer facilities, forested buffer strips and all areas approved as open space as defined in §99-5 (§99-27).

Pennoni Response (September 15, 2021): Understood. All of these documents were provided during the public hearing.

19. Prior to the approval of any Final Subdivision Plan, approval letters or 'no-objection' letters from the following agencies shall be submitted to the Sussex County Planning and Zoning Department (All items in which a check mark appear have been received by the Department. All items in **bold** still require submittal to the Department.)

- a. Sussex Conservation District
- b. Office of the State Fire Marshal
- c. Sussex County Engineering Department
- d. Delaware Department of Transportation (DeIDOT)
- e. Sussex County Mapping and Addressing Department
- f. Office of Drinking Water (Public Health)
- g. Coordination with the local school district regarding bus stop provisions.

Pennoni Response (September 15, 2021): Understood.

If you have any comments or need additional information, please call us at (302) 684-8030.

Sincerely,

PENNONI ASSOCIATES INC.



Alan Decktor, PE, ENV SP
Senior Engineer

CC.

U:\Accounts\GRJSO\GRJSO19001 - Sub division Lot 87\DELIVERABLES\P&Z\2021-09-15\2021-09-15 Record Plan Sub.docx

Richard Crisci, Jr.
Transportation Supervisor
Cape Henlopen School District
302-644-7900 (Office)
302-644-7914 (Office fax)



Cape Henlopen School District

To: Mr. Alan Decktor
From: Richard Crisci, Jr.
Re: Proposed Bus Stop at Estates at Milton Crossing
Date: March 18, 2021

Mr. Decktor,

Thank you for contacting me regarding the proposed bus stop for pupil transportation for prospective students who will reside in the Estates at Milton Crossing subdivision. After reviewing the site plan provided by Pennoni, which included a proposed bus pad location, I do not have any concern at this time regarding any unique safety hazards that would jeopardize the safety of students waiting at this location for school transportation services.

If and when a resident requests transportation to this sub division, the district will create a safe bus stop and assign the stop to buses serving students eligible for transportation services at this location. Please don't hesitate to reach out if you need anything more from me.

Cordially,

Richard Crisci Jr.
Transportation Supervisor
Cape Henlopen School District

MAPPING & ADDRESSING

MEGAN NEHRBAS
MANAGER OF GEOGRAPHIC
INFORMATION SYSTEMS (GIS)
(302) 855-1176 T
(302) 853-5889 F



Sussex County

DELAWARE
sussexcountye.gov

July 25, 2019

Pennoni
Attn: Katherine E. Davidson

RE: **Estates at Milton Crossing**

I have received proposed street name(s) for the existing subdivision, **Estates at Milton Crossing**, located in Milton. In reviewing the proposed street name(s) the following have been approved:

Trumpeter Ct	Tundra Dr	Whistling Duck Way
Greater Scaup Ct	King Eider Ct	

Use only approved road names that you have written confirmation for or you will be required to rerecord. Each street name is to be used only once.

Upon final approval of **Estates at Milton Crossing** please forward a copy of the recorded site plan to my attention. Our office would appreciate a digital copy if at all possible for the purpose of addressing. Should you have any questions, please contact the **Sussex County Addressing Department** at 302-855-1176.

Sincerely,

Terri L. Dukes

Terri L. Dukes
Addressing Technician II

CC: Christin Headley
Planning & Zoning





STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

NICOLE MAJESKI
SECRETARY

June 14, 2021

Alan Decktor
Pennoni Associates, Inc.
18072 Davidson Drive
Milton, Delaware 19968

**SUBJECT: Entrance Plan Approval Letter
Estates at Milton Crossing**

Tax Parcel #235-8.00-31.00, 235-8.00-26.00, 235-8.00-26.00, 235-8.00-26.03
SCR00233-REYNOLDS ROAD
SCR00014-COASTAL HIGHWAY
BroadKill Hundred, Sussex County

Dear Decktor:

The Department of Transportation has reviewed the Commercial Entrance Plans dated February 2, 2021 (last revised April 28, 2021) for the referenced project and determined that they are in general conformance with the Department's current regulations, specifications and standard details. By signing and sealing the plan set, the developer's engineer is responsible for accuracy of content. Any errors, omissions or required field changes will be the responsibility of the developer. This plan approval shall be valid a period of **three (3) years**. If an entrance permit has not been obtained within three years, then the plans must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. The following items will be required prior to the permit being issued. A pre-construction meeting may be required as determined by the South District Public Works office.

1. A copy of the recorded Site Plan which is consistent with the DelDOT "No Objection to Recordation" stamped plan and all appropriate signatures, seals, plot book and page number.
2. Three (3) copies of the approved entrance plans.
3. Completed permit application.
4. Executed agreements (i.e. construction, signal, letter).
5. An itemized construction cost estimate.

Estates at Milton Crossing
Decktor
Page 2
June 14, 2021

6. A 150% security based upon an approved itemized construction cost estimate and W-9 form (if providing escrow).
7. A letter of source of materials, work schedule, list of subcontractors, emergency telephone numbers and names of contact persons.

Please contact the South District Public Works office (302) 853-1340 concerning any questions you may have relative to the aforementioned required items.

Sincerely,

A handwritten signature in blue ink that reads "Richard S. McCabe". The signature is fluid and cursive, with the first name being the most prominent.

R. Stephen McCabe
Sussex County Review Coordinator
Development Coordination

cc: William Sammons, Sr., Deep Branch Family Campground
Jamie Whitehouse, Sussex County Planning & Zoning Commission
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Matt Schlitter, South District Public Works Engineer
Scott Rust, South District Public Work Manager
James Argo, South District Project Reviewer
Richard Larkin, South District Subdivision Manager
Jerry Nagyiski, Safety Officer Supervisor
Jennifer Pinkerton, Chief Materials & Research Engineer
Linda Osiecki, Pedestrian Coordinator
John Fiori, Bicycle Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kauffman, DTC Planner
James Kelley, JMT
Wendy L. Polasko, Subdivision Engineer
Derek Sapp, Sussex Plan Reviewer



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. Box 778
DOVER, DELAWARE 19903

NICOLE MAJESKI
SECRETARY

May 10, 2021

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

**SUBJECT: Letter of No Objection to Recordation
Estates at Milton Crossing**

Tax Parcel # 235-8.00-31.00, 235-8.00-26.00, 235-8.00-26.00, 235-8.00-26.03
SCR00233-REYNOLDS ROAD
SCR00014-COASTAL HIGHWAY
BroadKill Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Site Plan, dated February 5, 2021 (last revised April 28, 2021), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawings. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Site Plan is not recorded prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. Entrance plans shall be developed in accordance with DelDOT's [Development Coordination Manual](#) and submitted to the Development Coordination Section for review and approval.

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards.



Estates at Milton Crossing
Mr. Jamie Whitehouse
Page 2
May 10, 2021

Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

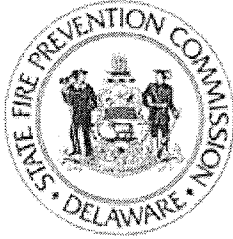
If I can be of any further assistance, please call me at (302) 760-2266.

Very truly yours,



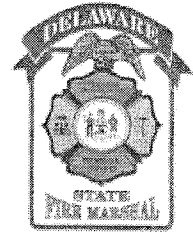
R. Stephen McCabe
Sussex County Review Coordinator
Development Coordination

cc: William Sammons, Sr., Deep Branch Family Campground
Alan Decktor, Pennoni Associates, Inc.
William Kirsch, South District Entrance Permit Supervisor
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Matt Schlitter, South District Public Works Engineer
Scott Rust, South District Public Work Manager
James Argo, South District Project Reviewer
Richard Larkin, South District Subdivision Manager
Jennifer Pinkerton, Chief Materials & Research Engineer
Kerry Yost, Traffic Calming & Subdivision Relations
Linda Osiecki, Pedestrian Coordinator
John Fiori, Bicycle Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kauffman, DTC Planner
James Kelley, JMT
Wendy L. Polasko, Subdivision Engineer
Derek Sapp, Sussex Plan Reviewer



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2021-04-206301-MJS-01

Tax Parcel Number: 235-8.00-26.00

Status: Approved as Submitted

Date: 03/09/2021

Project

Estates at Milton Crossing

Reynolds Road

Milton Crossing LLC Property

Milton DE 19968

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 85 - Milton Fire Dept

Occupant Load Inside:

Occupancy Code:

Applicant

Alan Decktor

18072 Davidson Drive

Milton, DE 19968

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:

Desiree McCall

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2021-04-206301-MJS-01

Tax Parcel Number: 235-8.00-26.00

Status: Approved as Submitted

Date: 03/09/2021

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
-
- 1010 A** The following water for fire protection requirements apply: **NONE**. On-Site Wells Proposed. this site meets Water Flow Table 1. therefore the provisions of NFPA 1142 shall apply to this site (DSFPR Regulation 702, Chapter 6, Section 3). Since wells are proposed for this site, no additional requirements will be made by this Agency for water for fire protection.
-
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
-
- 1501 A** If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.
-

Alan M. Decktor

From: Milliken, William (DHSS) <William.Milliken@delaware.gov>
Sent: Tuesday, March 9, 2021 11:23 AM
To: Alan M. Decktor
Subject: Re: Estates at Milton Crossing Subdivision

No review needed for individual wells and septic.

Get [Outlook for iOS](#)

From: Alan M. Decktor <ADecktor@Pennoni.com>
Sent: Tuesday, March 9, 2021 11:08:43 AM
To: Milliken, William (DHSS) <William.Milliken@delaware.gov>
Subject: RE: Estates at Milton Crossing Subdivision

I need some type of letter from you as the County is asking.
Thanks

Alan M. Decktor, PE, ENV SP

Pennoni

18072 Davidson Drive | Milton, DE 19968
Direct: +1 (215) 254-7853
www.pennoni.com | ADecktor@Pennoni.com

From: Alan M. Decktor
Sent: Tuesday, March 9, 2021 11:02 AM
To: Milliken, William (DHSS) <William.Milliken@delaware.gov>
Subject: Estates at Milton Crossing Subdivision

Hello Bill,
We have a new subdivision that will utilize wells and Septics, wanted to run this by you if needed for review. See attached Record Plans.

Thanks

Alan M. Decktor, PE, ENV SP

Pennoni

18072 Davidson Drive | Milton, DE 19968
Direct: +1 (215) 254-7853
www.pennoni.com | ADecktor@Pennoni.com



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June 25, 2021

Mr. Preston Dyer
c/o Pennoni Associates, Inc.
18072 Davidson Drive
Milton, DE 19968

RE: Estates at Milton Crossing

Dear Mr. Dyer:

A Sediment and Stormwater Management Plan has been reviewed for compliance with the Sediment and Stormwater Regulations and is approved with conditions (see attached). Enclosed herein please find a copy of the approved application form and approved plan sets. Please retain a copy for your use and provide the contractor with a copy to be retained onsite at all times. Failure to keep an approved plan onsite is a violation of the approved plan.

Approval of a Sediment and Stormwater Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.

This plan approval pertains to compliance with the *Delaware Sediment and Stormwater Regulations*. Please understand that the approval of this plan does not relieve you from complying with any and all federal, state, county, or municipal laws and regulations.

As of January 1, 2014, the Sussex Conservation District began collecting financial guarantees to ensure the construction of stormwater management practices is accomplished in accordance with the approved sediment and stormwater plan. Please refer to the SCD Policy on Bonds located on our website at Sussexconservation.org. If you have any questions concerning the aforementioned, please do not hesitate to call 302 856-7219.

Sincerely,

Jessica Watson

Jessica Watson queue
Program Manager

JW/jmg

cc:

CONDITIONS OF APPROVAL

NOTIFICATION

1. This approved plan will remain valid for 5 years from the date of this approval. If construction does not begin within five years, the approved plan will be considered to have expired, and must be resubmitted to the District for a new review. In addition, if work is not completed within the five-year timeframe, the District must be contacted and a request for an extension submitted. Depending on regulation changes, a new plan may need to be submitted to ensure that all stormwater management facilities are constructed to the most recent standards.
2. Submittal of the Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activities together with this approval of the detailed Sediment and Stormwater Plan provide this project with Federal permit coverage to be authorized to discharge storm water associated with construction activities. It is the owner's responsibility to ensure that permit coverage remains valid throughout construction by submitting the NOI fee annually as requested. The developer is responsible for weekly self-inspection reporting to be retained onsite.
3. Notify the Sussex Conservation District Sediment and Stormwater Management Section of your intent to begin construction in writing five (5) days prior to commencing. Failure to do so constitutes a violation of the approved plan.

CHANGES

4. This project is to be undertaken in accordance with the plans submitted and as approved. If changes are necessary at any time during the completion of the project, submit revised plans, prior to further construction, to the Sussex Conservation District Sediment and Stormwater Program for review and approval of the revision.
5. Should ownership change during the construction period, a revised plan must be submitted for approval showing the new owner's signature on the owner's certification. In addition, a Transfer of Authorization form must be submitted to DNREC to transfer Federal permit coverage to the new owner.

CONSTRUCTION AND CLOSEOUT

6. A pre-construction meeting must take place before any land disturbing activity begins. The meeting may take place on site and be attended by the owner, contractor, design consultant, Certified Construction Reviewer and Sussex Conservation District Sediment and Stormwater Program Construction Reviewer. The owner or the owner's designee shall contact the Sussex Conservation Construction Reviewer to schedule the pre-construction meeting.
7. Keep available onsite, during all phases of construction, a copy of the approved Sediment and Stormwater Management Plan.
8. Keep available onsite, during all phases of construction, copies of the Developers weekly self-inspection reports and/or the CCR Reports.
9. Any sediment transported off-site to roads or road rights-of-way including ditches shall be removed. Any damage to ditches shall be repaired and stabilized to original condition.
10. Grading shall not impair surface drainage, create an erosion hazard, or create a source of sediment to any adjacent watercourse or property owner.
11. Failure to implement the permanent stormwater management practices as mentioned herein constitutes a violation of the conditions of this plan approval; it may result in the suspension or revocation of building permits or grading permits issued by the local jurisdiction; and it may result in legal action by the DNREC to bring the site into compliance with the approved Sediment and Stormwater Management Plan and the *Delaware Sediment and Stormwater Regulations*.
12. The permanent stormwater management facility or facilities must be constructed and accepted by the Sussex Conservation District Sediment and Stormwater Program prior to final closeout of the project site. Post construction verification documentation of the stormwater management facility or facilities must be completed as soon as construction of the facility or facilities is complete so that any necessary modifications may be made during the construction period.



DETAILED SEDIMENT AND STORMWATER MANAGEMENT PLAN APPLICATION

NAME OF PROJECT: Estates at Milton Crossing Subdivision
PROJECT DESCRIPTION: 87 Lot single family subdivision
LOCATION OF PROJECT: north side of Reynolds Road, 0.3 miles southeast of Draper Road
PROJECT TAX MAP NUMBER: 235-8.00 Parcels 26.00, 26.03 & 31.00
PROJECT COORDINATES (center of site-decimal degrees) LAT: 38.8134556 LONG: -75.2992639
TYPE OF PROJECT: Residential WATERSHED: Delaware Bay
NUMBER OF LOTS: 1 TOTAL ACRES: 102.14 DISTURBED ACRES: 79.87

APPLICANT'S CONTACT INFORMATION

FIRST NAME: Preston LAST NAME: Dyer
COMPANY NAME: GRJS Outreach, LLC
ADDRESS: PO Box 212
CITY: Lewes STATE: DE ZIP: 19958
PHONE NUMBER: 302-644-1400 FAX NUMBER: _____
EMAIL ADDRESS: pdyer@landventures.com

CONSULTANT CONTACT INFORMATION

CONSULTANT/ENGINEER NAME: Pennonni Associates Inc
CONTACT PERSON/PROJECT MANAGER: Alan Decktor
PHONE #: (302) 684-8030 FAX #: () _____
EMAIL ADDRESS: adecktor@pennonni.com

SUSSEX CONSERVATION DISTRICT APPROVAL

REVIEWER: John Justice DATE: _____
APPROVAL: Jessica Watson/jing DATE: 6-25-21

If ownership of this project changes during the construction period, Sussex Conservation District will require a new signed owner's certification statement.... In addition, the authorization to discharge stormwater under the regulations Part 2 Special Conditions for Storm Water Discharges Associated with Construction Activities, must be transferred by the original owner to the new owner, please contact DNREC for assistance at 302-739-9921.

MAR -2 2021

OWNER/DEVELOPER CERTIFICATION

- I/We certify that the information on this form and the attached plans are true and accurate to the best of my/our knowledge.
- I/We understand that DNREC/Delegated Agency may request information in addition to that set forth herein as may be deemed appropriate in considering this application.
- I/We will abide by the conditions of this approval as issued.
- I/We hereby certify that all clearing, grading, construction and/or development will be done pursuant to the approved plan, and that all responsible personnel involved in the land disturbing activities will have a Sediment and Stormwater Management Certification from DNREC/Delegated Agency.
- I/We hereby authorize the right of entry for periodic on site inspection by DNREC/Delegated Agency personnel and/or authorized agents.

OWNER/DEVELOPER SIGNATURE: _____ DATE: _____

OWNER/DEVELOPER PRINTED NAME: _____

AGENT AUTHORIZATION

(If this authorization form is completed with the application, all future correspondence may be signed by the duly authorized agent.)

I, _____, hereby designate and authorize the following identified agent to act on my behalf in the processing of this application and to furnish any information that is requested.

AGENT NAME: _____

AGENT ADDRESS: _____

CITY: _____ STATE: _____ ZIP: _____

AGENT PHONE #: () _____ FAX #: _____

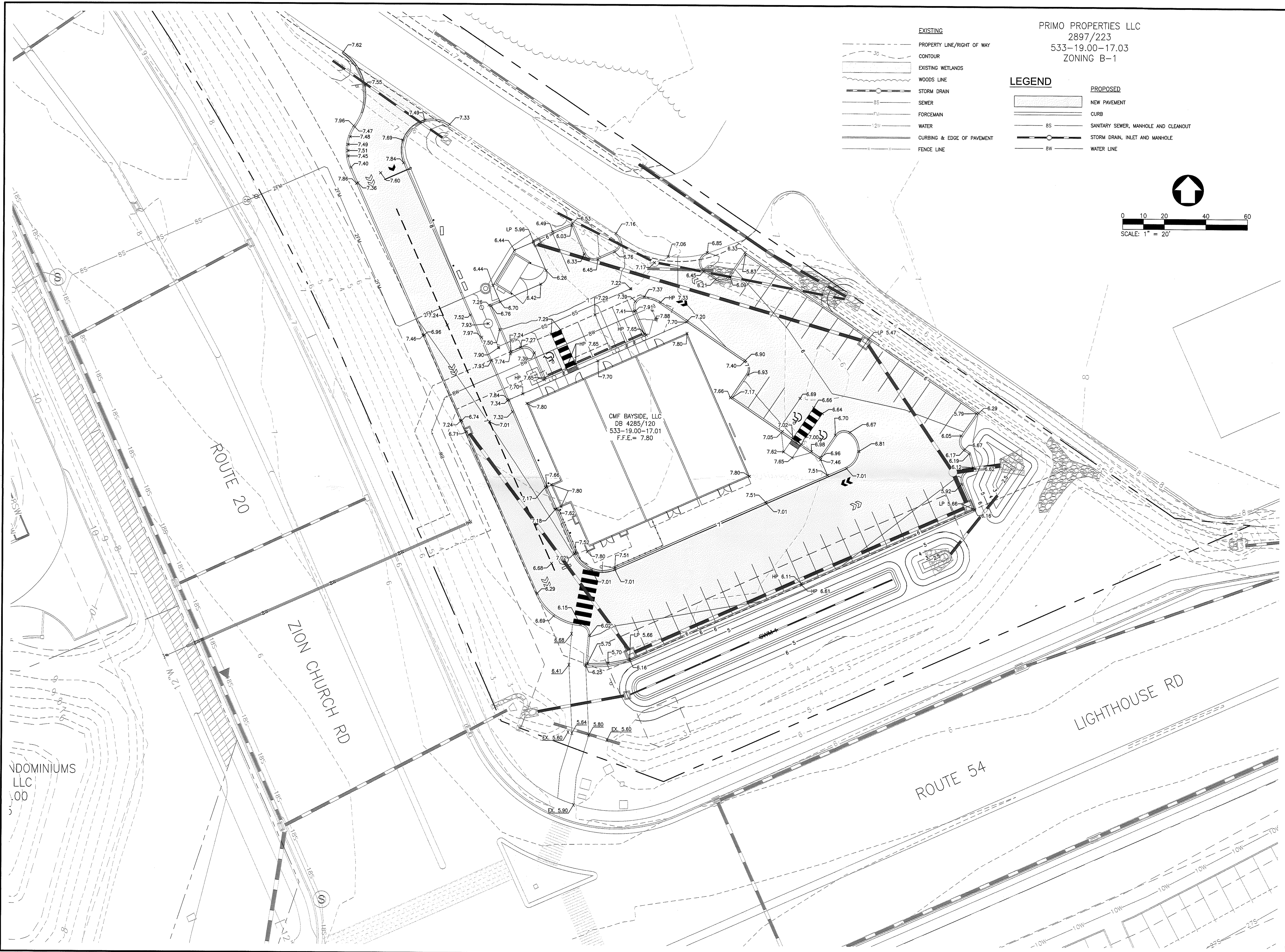
EMAIL ADDRESS: _____

OWNER/DEVELOPER SIGNATURE: _____ DATE: _____

AGENT SIGNATURE: _____ DATE: _____

© Project 2020/20018 Bayside Parcel P Drawings Working Set Engineering Plans\C3.9 PARCEL P GRADING PLAN.dwg, 7/16/2021 4:30 PM, Terry M. Caudy

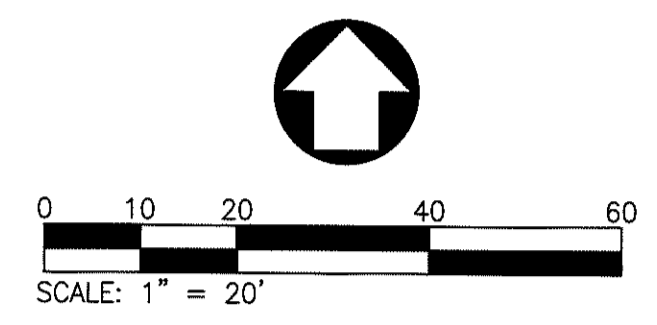
PLOT CODE: PLS-001 (1:200)
 PLS-002 (1:500)
 PLS-003 (1:1000)
 PLS-004 (1:2000)
 PLS-005 (1:4000)
 PLS-006 (1:8000)
 PLS-007 (1:16000)
 PLS-008 (1:32000)
 PLS-009 (1:64000)
 PLS-010 (1:128000)



PRIMO PROPERTIES LLC
2897/223
533-19.00-17.03
ZONING B-1

- EXISTING**
- PROPERTY LINE/RIGHT OF WAY
 - CONTOUR
 - EXISTING WETLANDS
 - WOODS LINE
 - STORM DRAIN
 - SEWER
 - FORCEMAIN
 - WATER
 - CURBING & EDGE OF PAVEMENT
 - FENCE LINE

- LEGEND**
- PROPOSED**
- NEW PAVEMENT
 - CURB
 - SANITARY SEWER, MANHOLE AND CLEANOUT
 - STORM DRAIN, INLET AND MANHOLE
 - WATER LINE



PRINTS ISSUED FOR: REVIEW AND APPROVAL	
DATE	
REVISIONS	
NO.	

GMB
 GEORGE, MILES & BUHR, LLC
 ARCHITECTS & ENGINEERS
 SAUSBURY • BALTIMORE • SEAFORD
 206 WEST MAIN STREET
 SALISBURY, MARYLAND 21801
 410-742-3115, FAX 410-548-5790
 www.gmbnet.com

AMERICANA BAYSIDE
 BALTIMORE HUNDRED
 COMMUNITIES
 SUSSEX COUNTY, DELAWARE

PARCEL P
GRADING PLAN

SCALE : 1" = 20'
 SHEET NO.
C3.9
 DESIGN BY : JRS
 DRAWN BY : RFT
 CHECKED BY : SLM
 GMB FILE : 200018
 DATE : FEB 2021
 © COPYRIGHT 2021 GEORGE, MILES & BUHR, LLC



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

NICOLE MAJESKI
SECRETARY

May 14, 2021

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

SUBJECT: Letter of No Impact
Bayside Parcel P
Tax Parcel # 533-19.00-17.01
SCR00058-FENWICK ROAD
SCR00382-ZION CHURCH RD
Baltimore Hundred, Sussex County

Dear Mr. Whitehouse:

The Department has received an application regarding the above referenced project. This application has been reviewed by the Department with respect to DelDOT's formal review requirements. The Department has determined that the proposal does not appear to create any transportation impacts and does not trigger entrance/access improvements that would require further review by the Department. The County may use this correspondence as the basis to finalize processing of this project/site application.

Sincerely,

R. Stephen McCabe
Sussex County Review Coordinator
Development Coordination

cc: Rich Rishel, Carl M. Freeman Companies
Stephen Marsh, George, Miles & Buhr, LLC
Rusty Warrington, Sussex County Planning & Zoning
Matt Schlitter, South District Public Works Engineer
Scott Rust, South District Public Work Manager
James Argo, South District Project Reviewer
William Kirsch, South District Entrance Permit Supervisor
Tim Phillips, Maintenance Support Manager
Wendy L. Polasko, Subdivision Engineer
Kevin Hickman, Sussex County Reviewer



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2020-04-205665-MJS-01

Tax Parcel Number: 533-19.00-777.00

Status: Approved as Submitted

Date: 12/30/2020

Project

Bayside Parcel P

Rt 54 and Rt 20

Americana Bayside Property

Selbyville DE 19975

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 90 - Roxana Volunteer Fire Co

Occupant Load Inside:

Occupancy Code:

Applicant

Terry Gundry

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:

Desiree McCall

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2020-04-205665-MJS-01

Tax Parcel Number: 533-19.00-777.00

Status: Approved as Submitted

Date: 12/30/2020

PROJECT COMMENTS

1002 A This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.

1050 A This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 1,500 gpm @ 20 psi residual for 2 hours duration. Hydrant Spacing: 800' on center.

1180 A This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.

1190 A Separate plan submittal is required for the building(s) proposed for this project.

1130 A Provide a water flow test on the subdivision hydrant(s) once they have been installed, and before they are placed into service (DSFPR Part I, Section 4 4.2 and Part III, Chapter 3). Results are to be forwarded to this Agency for review.

1132 A Fire hydrants shall be color coded in accordance with the DSFPR, Part III, Section 3 4. This includes both color coding the bonnet and 2" reflective tape around the barrel under the top flange.

1232 A All threads provided for fire department connections, to sprinkler systems, standpipes, yard hydrants or any other fire hose connections shall be uniform to those used by the fire department in whose district they are located. DSFPR Part III, Section 1.1.5.1.

1299 A The required Fire Lane Access and Perimeter Access and all fire lane markings

shall be in accordance with the site plan as approved by this Agency. This will be field verified at the final inspection. Noncompliance may cause a delay in approval for Certificate of Occupancy.

1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.



July 2, 2021

Mr. Josh Mastrangelo
c/o George, Miles, & Buhr, LLC
206 West Main Street
Salisbury, MD 21801

RE: Americana Bayside Parcel P

Dear Mr. Mastrangelo:

A Sediment and Stormwater Management Plan has been reviewed for compliance with the Sediment and Stormwater Regulations and is approved with conditions (see attached). Enclosed herein please find a copy of the approved application form and approved plan sets. Please retain a copy for your use and provide the contractor with a copy to be retained onsite at all times. Failure to keep an approved plan onsite is a violation of the approved plan.

Approval of a Sediment and Stormwater Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.

This plan approval pertains to compliance with the *Delaware Sediment and Stormwater Regulations*. Please understand that the approval of this plan does not relieve you from complying with any and all federal, state, county, or municipal laws and regulations.

As of January 1, 2014, the Sussex Conservation District began collecting financial guarantees to ensure the construction of stormwater management practices is accomplished in accordance with the approved sediment and stormwater plan. Please refer to the SCD Policy on Bonds located on our website at Sussexconservation.org. If you have any questions concerning the aforementioned, please do not hesitate to call 302 856-7219.

Sincerely,

Jessica Watson

Jessica Watson queue
Program Manager

JW/jmg

cc:

CONDITIONS OF APPROVAL

NOTIFICATION

1. This approved plan will remain valid for 5 years from the date of this approval. If construction does not begin within five years, the approved plan will be considered to have expired, and must be resubmitted to the District for a new review. In addition, if work is not completed within the five-year timeframe, the District must be contacted and a request for an extension submitted. Depending on regulation changes, a new plan may need to be submitted to ensure that all stormwater management facilities are constructed to the most recent standards.
2. Submittal of the Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activities together with this approval of the detailed Sediment and Stormwater Plan provide this project with Federal permit coverage to be authorized to discharge storm water associated with construction activities. It is the owner's responsibility to ensure that permit coverage remains valid throughout construction by submitting the NOI fee annually as requested. The developer is responsible for weekly self-inspection reporting to be retained onsite.
3. Notify the Sussex Conservation District Sediment and Stormwater Management Section of your intent to begin construction in writing five (5) days prior to commencing. Failure to do so constitutes a violation of the approved plan.

CHANGES

4. This project is to be undertaken in accordance with the plans submitted and as approved. If changes are necessary at any time during the completion of the project, submit revised plans, prior to further construction, to the Sussex Conservation District Sediment and Stormwater Program for review and approval of the revision.
5. Should ownership change during the construction period, a revised plan must be submitted for approval showing the new owner's signature on the owner's certification. In addition, a Transfer of Authorization form must be submitted to DNREC to transfer Federal permit coverage to the new owner.

CONSTRUCTION AND CLOSEOUT

6. A pre-construction meeting must take place before any land disturbing activity begins. The meeting may take place on site and be attended by the owner, contractor, design consultant, Certified Construction Reviewer and Sussex Conservation District Sediment and Stormwater Program Construction Reviewer. The owner or the owner's designee shall contact the Sussex Conservation Construction Reviewer to schedule the pre-construction meeting.
7. Keep available onsite, during all phases of construction, a copy of the approved Sediment and Stormwater Management Plan.
8. Keep available onsite, during all phases of construction, copies of the Developers weekly self-inspection reports and/or the CCR Reports.
9. Any sediment transported off-site to roads or road rights-of-way including ditches shall be removed. Any damage to ditches shall be repaired and stabilized to original condition.
10. Grading shall not impair surface drainage, create an erosion hazard, or create a source of sediment to any adjacent watercourse or property owner.
11. Failure to implement the permanent stormwater management practices as mentioned herein constitutes a violation of the conditions of this plan approval; it may result in the suspension or revocation of building permits or grading permits issued by the local jurisdiction; and it may result in legal action by the DNREC to bring the site into compliance with the approved Sediment and Stormwater Management Plan and the *Delaware Sediment and Stormwater Regulations*.
12. The permanent stormwater management facility or facilities must be constructed and accepted by the Sussex Conservation District Sediment and Stormwater Program prior to final closeout of the project site. Post construction verification documentation of the stormwater management facility or facilities must be completed as soon as construction of the facility or facilities is complete so that any necessary modifications may be made during the construction period.



DETAILED SEDIMENT AND STORMWATER MANAGEMENT PLAN APPLICATION

NAME OF PROJECT: Parcel P - Americana Bayside
PROJECT DESCRIPTION: Commercial/Retail 6300SF Building
LOCATION OF PROJECT: Route 54 and Route 20 intersection, Selbyville, DE 19975
PROJECT TAX MAP NUMBER: 533-19.00-17.01
PROJECT COORDINATES (center of site-decimal degrees) LAT: 38° 28' 11.82" N LONG: 75° 06' 59.9328" W
TYPE OF PROJECT: Commercial WATERSHED: Assawoman Bay
NUMBER OF LOTS: 1 TOTAL ACRES: 2.37 DISTURBED ACRES: 1.30

APPLICANT'S CONTACT INFORMATION

FIRST NAME: Mastrangelo LAST NAME: Josh
COMPANY NAME: CMF Bayside, LLC
ADDRESS: 21 Village Green Drive, Suite 200
CITY: Ocean View STATE: DE ZIP: 19970
PHONE NUMBER: 302-436-3000 FAX NUMBER: _____
EMAIL ADDRESS: jmastrangelo@cmfa.com

CONSULTANT CONTACT INFORMATION

CONSULTANT/ENGINEER NAME: George, Miles & Buhr, LLC
CONTACT PERSON/PROJECT MANAGER: Jonathan Soistman
PHONE #: (302) 742-3115 FAX #: () _____
EMAIL ADDRESS: jsoistman@gmbnet.com

SUSSEX CONSERVATION DISTRICT APPROVAL

REVIEWER: [Signature] DATE: _____
APPROVAL: [Signature] DATE: 7-2-21

If ownership of this project changes during the construction period, Sussex Conservation District will require a new signed owner's certification statement.... In addition, the authorization to discharge stormwater under the regulations Part 2 Special Conditions for Storm Water Discharges Associated with Construction Activities, must be transferred by the original owner to the new owner, please contact DNREC for assistance at 302-739-9921.

NOV 14 2021

OWNER/DEVELOPER CERTIFICATION

- I/We certify that the information on this form and the attached plans are true and accurate to the best of my/our knowledge.
- I/We understand that DNREC/Delegated Agency may request information in addition to that set forth herein as may be deemed appropriate in considering this application.
- I/We will abide by the conditions of this approval as issued.
- I/We hereby certify that all clearing, grading, construction and/or development will be done pursuant to the approved plan, and that all responsible personnel involved in the land disturbing activities will have a Sediment and Stormwater Management Certification from DNREC/Delegated Agency.
- I/We hereby authorize the right of entry for periodic on site inspection by DNREC/Delegated Agency personnel and/or authorized agents.

OWNER/DEVELOPER SIGNATURE:  DATE: 11/10/2020

OWNER/DEVELOPER PRINTED NAME: Josh Mastrangelo

AGENT AUTHORIZATION

(If this authorization form is completed with the application, all future correspondence may be signed by the duly authorized agent.)

I, _____, hereby designate and authorize the following identified agent to act on my behalf in the processing of this application and to furnish any information that is requested.

AGENT NAME: _____

AGENT ADDRESS: _____

CITY: _____ STATE: _____ ZIP: _____

AGENT PHONE #: () _____ FAX #: _____

EMAIL ADDRESS: _____

OWNER/DEVELOPER SIGNATURE: _____ DATE: _____

AGENT SIGNATURE: _____ DATE: _____

THE STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION

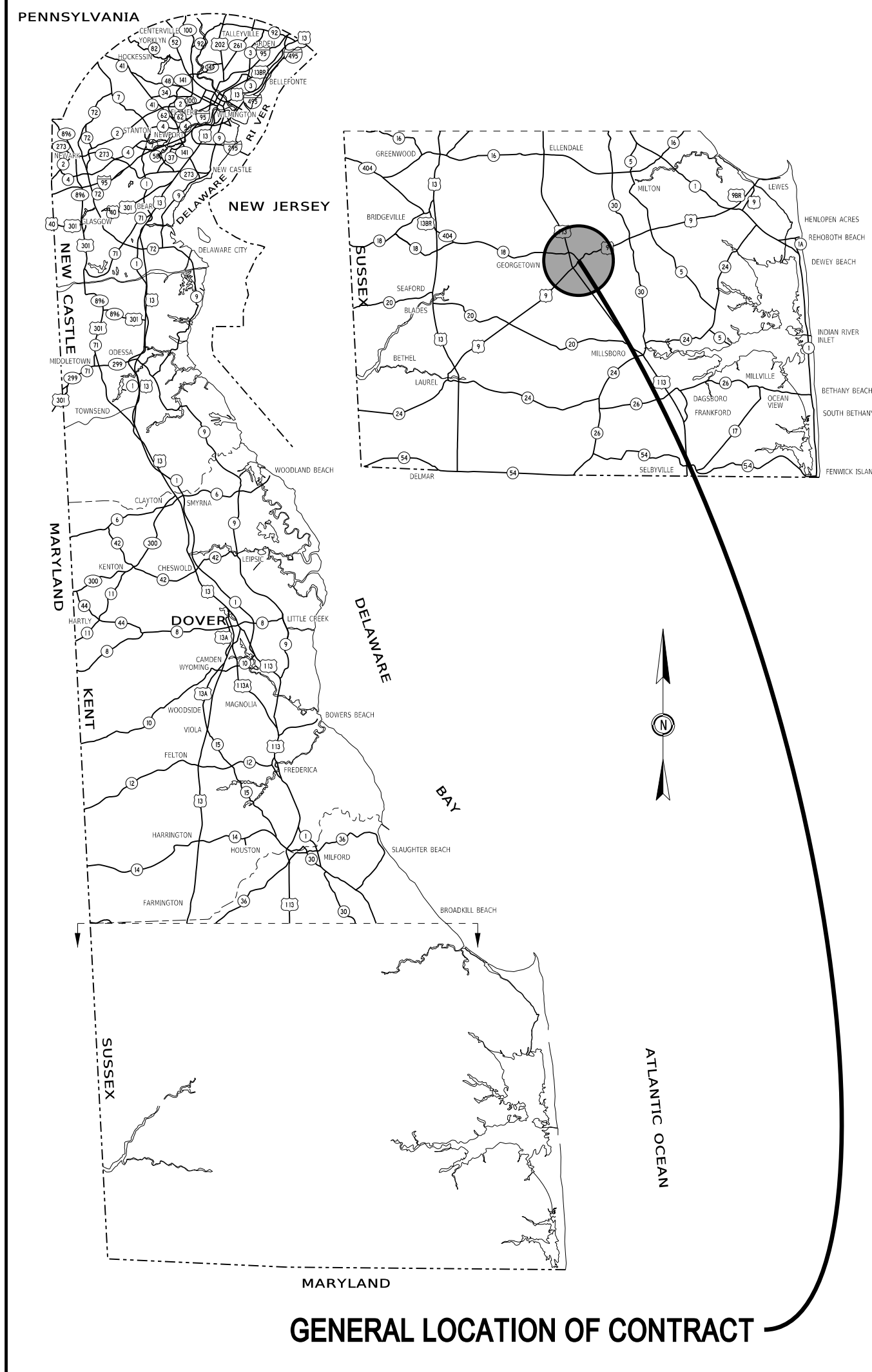
U.S. CUSTOMARY
UNITS



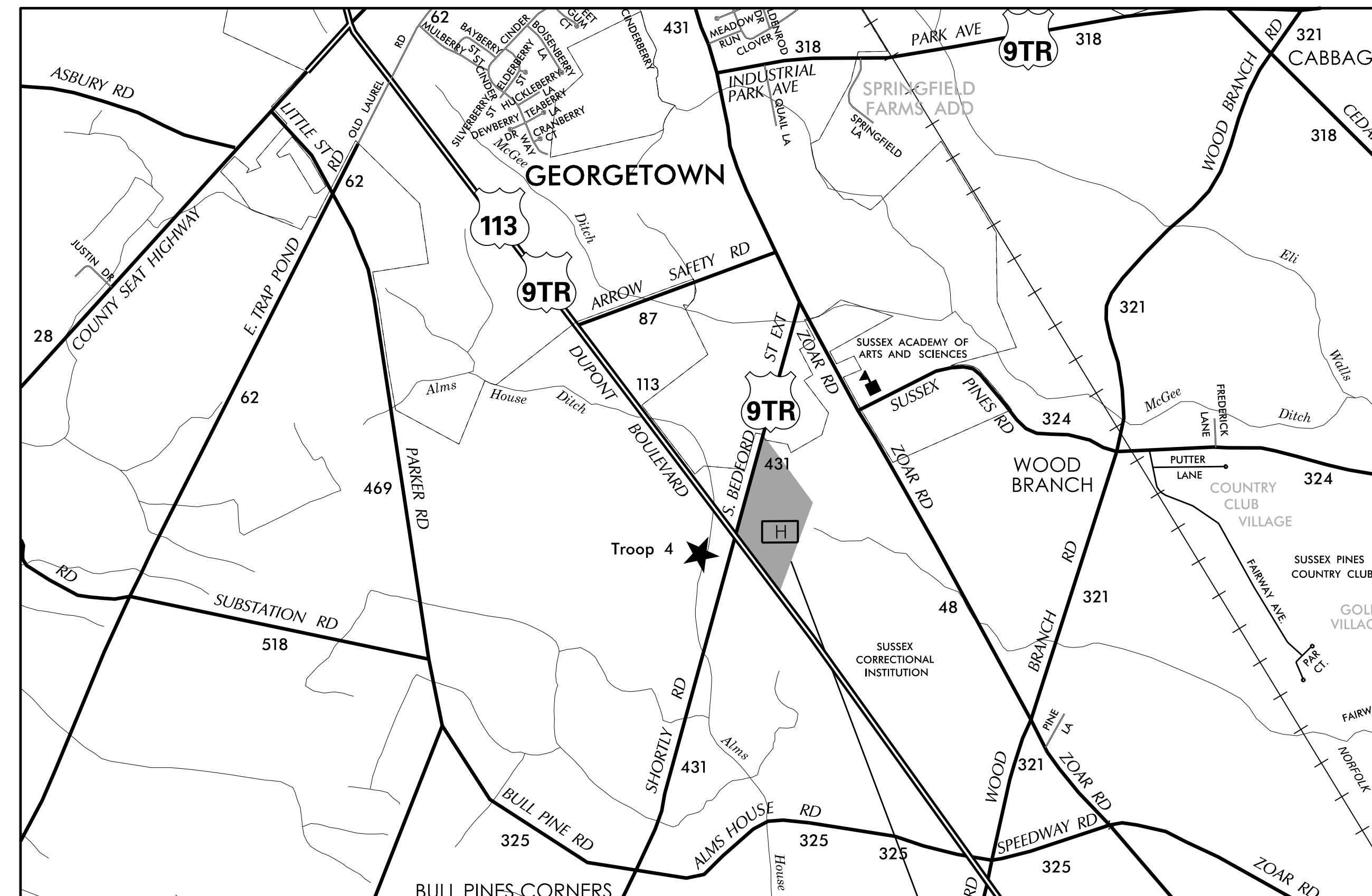
CONSTRUCTION PLANS FOR:

GEORGETOWN ADMINISTRATION BUILDING RENOVATION/EXPANSION

CONTRACT NUMBER: T202180102
COUNTY: SUSSEX



INDEX OF SHEETS	
SHEET NO.:	TITLE
1	TITLE SHEET
2	LEGEND
3	PRELIMINARY SITE PLAN



LOCATION MAP
SCALE: NTS

PROJECT SITE

ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY APPLICABLE LAWS OF THE STATE OF DELAWARE.

MATTHEW GOUDY
110 SOUTH POPLAR STREET, SUITE 102
WILMINGTON, DE 19801
(302) 468-4874

SIGNATURE: _____ DATE: _____

OWNER'S CERTIFICATION:

I HEREBY CERTIFY THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN DEVELOPED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE: _____ DATE: _____

PREPARED BY
THE CONSULTING FIRM OF



RUMMEL, KLEPPER & KAHL, LLP
CONSULTING ENGINEERS
110 SOUTH POPLAR STREET
SUITE 102
WILMINGTON, DE 19801

PROJECT MANAGER _____ DATE: 05/13/2021

PREPARED FOR:
DELAWARE DEPARTMENT OF TRANSPORTATION
23897 DUPONT BOULEVARD
GEORGETOWN, DE 19947

PHONE: 302-853-1300

DATE: MAY 13, 2021

13-MAY-2021 12:07 \\barsrv06w2010181225_DTC19101Task 6 - DelDOT Admin Building FD\CADD\ContractPlans\lg01_Growth.dgn

MANMADE ROADSIDE FEATURES			
FEATURE DESCRIPTION	EXISTING	PROPOSED	ID
BOLLARD - STEEL POLE	⊙		
BOLLARD - WOOD POST	⊠		
CURB, TYPE 1 AND TYPE 3			
CURB, TYPE 2	CURB, TYPE "X"		
CURB & GUTTER, TYPE 1			(C/XXX)
CURB & GUTTER, TYPE 2			
CURB & GUTTER, TYPE 3	C&G, TYPE "X"		
CURB OPENING - SUMP / ON GRADE			(C/O)
CURB OPENING WITH SIDEWALK			(C/OSW)
FENCE - CHAINLINK OR STRANDED	—x—	—o—o—o—	(F/XXX)
FENCE - STOCKADE OR SPLIT RAIL	—o—o—o—	—•—•—•—	
FLAG POLE	F.P.		
GUARDRAIL - STEEL BEAM, TYPE 1			
GUARDRAIL - STEEL BEAM, TYPE 2			
GUARDRAIL - STEEL BEAM, TYPE 3			
GUARDRAIL - WIRE ROPE			
GUARDRAIL - END ANCHORAGE			(OR/XXX)
GUARDRAIL - END TREATMENT, TYPE 1			
GUARDRAIL - END TREATMENT, TYPE 2			
GUARDRAIL - END TREATMENT, TYPE 3			
GUARDRAIL - IMPACT ATTENUATOR			
LAMP AND POST - RESIDENTIAL	LAMP ⊙		
MAILBOX	MB □	MB ■	
PARKING METER AND POST	P.M. ⊙		
PAVEMENT - FLEXIBLE	--- ---		
PAVEMENT - RIGID	— — —		
PILE - BRIDGE	□		
PILLAR OR MISCELLANEOUS POST	○		
TRAFFIC SIGN AND POST	⊥	● →	
WALL - BRICK OR BLOCK	□□□□		
WALL - STONE	□□□□		

DRAINAGE FEATURES			
FEATURE DESCRIPTION	EXISTING	PROPOSED	ID
BIOFILTRATION SWALE		← BFS → x	
DITCH OR STREAM CENTERLINE	— ∞ —	x — ∞ — x	
DIRECTIONAL STREAM FLOW ARROW	→		
DRAINAGE INLET	C.B. □ / D.I. □	■	(DI/XXX)
DRAINAGE JUNCTION BOX	J.B. □	■	(JB/XXX)
DRAINAGE MANHOLE	⊙	●	(MH/XXX)
DRAINAGE PIPE AND FLOW ARROW	— SIZE/TYPE LABEL —	→	(P/XXX)
DRAINAGE PIPE HEADWALL			
FLARED END SECTION			(FES/XXX)
RIPRAP - AREA FEATURE			(RH/XXX)
RIPRAP - LINEAR FEATURE			
SAFETY END SECTION			(SES/XXX)
UNDERDRAIN		→	(UD/XXX)
UNDERDRAIN OUTLET		→	(UDO/XXX)

UTILITY FEATURES		
FEATURE DESCRIPTION	EXISTING	PROPOSED
CABLE TV DISTRIBUTION BOX	TV	
COMMUNICATIONS - UNDERGROUND	— — —	— — —
ELECTRIC - UNDERGROUND	— — —	— — —
ELECTRIC MANHOLE	⊙	
ELECTRIC METER	EM	
ELECTRIC TRANSFORMER	E	
GAS - UNDERGROUND	— — —	— — —
GAS MANHOLE	⊙	
GAS METER	G.M. ⊙	
GAS VALVE	G.V. ⊙	
GAS PUMP - SERVICE STATION	G.P. ⊙	
IRRIGATION - UNDERGROUND	— — —	— — —
ITMS - UNDERGROUND	— — —	— — —
LIGHTING - UNDERGROUND	— — —	— — —
LUMINAIRE - POLE MOUNTED		
MANHOLE - UNDETERMINED OWNER	⊙	
RAILROAD TRACKS		
SANITARY - UNDERGROUND	— — —	— — —
SANITARY SEWER MANHOLE	⊙	
SANITARY SEWER VALVE	S.V. ⊙	
SANITARY SEWER CLEANOUT OR VENT	S.C.O. ⊙	
SEPTIC DRAIN FIELD	S.D.F. □	
SIGNALIZATION - UNDERGROUND	— — —	— — —
SOIL BORING LOCATION	⊙	
TELEPHONE BOOTH	B	
TELEPHONE MANHOLE	⊙	
TELEPHONE TEST POINT	T	
TRAFFIC - CONDUIT JUNCTION WELL	J.W. ⊙	
TRAFFIC - LIGHT POLE AND BASE	⊙	
TRAFFIC - PEDESTRIAN POLE & BASE	⊙	■
TRAFFIC - SIGNAL CABINET & BASE	⊙	■
TRAFFIC - SIGNAL POLE AND BASE	⊙	⊙
UTILITY BOX	U	
UTILITY POLE GUY WIRE ANCHOR	↔	↔
UTILITY POLE	⊙	■
UTILITY TEST HOLE LOCATION	⊙	
WATER - UNDERGROUND	— — —	— — —
WATER - FIRE HYDRANT	F.H. ⊙	F.H. ⊙
WATER METER	W.M. ⊙	
WATER VALVE	W.V. ⊙	W.V. ⊙
WELL HEAD	WELL ⊙	

PAVEMENT SECTION(S)	
OVERLAY PAVEMENT - 2" PAVEMENT MILLING WITH 2" SUPERPAVE WEARING COURSE, TYPE C	
RECONSTRUCTED PAVEMENT - 2" SUPERPAVE WEARING COURSE, TYPE C, 5" SUPERPAVE BCBC BASE COURSE, 8" GABC	
DRIVEWAY AND ENTRANCE PAVEMENT - SEE NOTES FOR MATERIALS AND DEPTHS	

NATURAL ROADSIDE FEATURES		
FEATURE DESCRIPTION	EXISTING	PROPOSED
HEDGEROW OR THICKET		
MARSH BOUNDARY LINE		
TREE - CONIFEROUS		
TREE - DECIDUOUS		
TREE STUMP	⊙	
SHRUBBERY	⊙	
WETLAND BOUNDARY - DELINEATED	WL — — —	
WOODS LINE BOUNDARY		

RIGHT-OF-WAY FEATURES		
FEATURE DESCRIPTION	EXISTING	PROPOSED
DENIAL OF ACCESS	DA — — —	DA — — —
EASEMENT - OTHERS	EASEMENT TYPE — — —	
PERMANENT EASEMENT	PE — — —	PE — — —
PROPERTY LINE	— — —	
PROPERTY MARKER - CONCRETE	C.M. ⊙	⊠
PROPERTY MARKER - IRON PIPE	I.P. ⊙	
RIGHT-OF-WAY BASELINE	100+00	100+00
RIGHT-OF-WAY LINE	— — —	R/W — — —
RIGHT-OF-WAY & DENIAL OF ACCESS	R/W-DA — — —	R/W-DA — — —
RIGHT-TO-ENTER		RTE — — —
TEMPORARY CONSTRUCTION EASEMENT		TCE — — —

SURVEY CONTROL & MONUMENTATION	
FEATURE DESCRIPTION	EXISTING
POINT OF CURVATURE OR TANGENCY	⊙
POINT OF INTERSECTING TANGENTS	⊙
SURVEY BENCHMARK LOCATION	B.M. ⊙
SURVEY NGS POINT LOCATION	⊙
SURVEY TIE POINT LOCATION	T.P. ⊙
SURVEY TRAVERSE POINT	△

MISCELLANEOUS FEATURES	
FEATURE DESCRIPTION	PROPOSED
BARRIER, DOUBLE-FACED, PERMANENT	
BARRIER, SINGLE-FACED, PERMANENT, TEST LEVEL 4 / TEST LEVEL 5	
BRICK PATTERNED SURFACE	
BUTT JOINT	
CLEAR ZONE	CZ — — —
CONSTRUCTION BASELINE	100+00
LATERAL OFFSET	LO — — —
LIMIT OF CONSTRUCTION	LOC — — —
PAVEMENT PATCH	
PAVEMENT REMOVAL - TOPSOIL, SEED AND MULCH	
P.C.C. SIDEWALK - 4"	
P.C.C. SIDEWALK - 6" (USE 8" DEPTH FOR CHANNELIZATION ISLANDS.)	

IDENTIFIERS	
FEATURE DESCRIPTION	ID
ABANDON BY CONTRACTOR	(AB/C)
ABANDON BY OTHERS	(AB/O)
ADJUST BY CONTRACTOR	(A/C)
ADJUST BY OTHERS	(A/O)
BEST MANAGEMENT PRACTICE	(BMP/XXX)
BUS STOP PAD / TYPE	(BSP/X)
BUS STOP WITH SHELTER PAD / TYPE	(BSSP/X)
CONCRETE SAFETY BARRIER	(B/XXX)
CONVERT TO JUNCTION BOX	(CJB/XXX)
CONVERT TO DRAINAGE MANHOLE	(CMB/XXX)
DO NOT DISTURB	(DND)
ENERGY DISSIPATOR	(ED/XXX)
FILL WITH FLOWABLE FILL	(FF/C)
LANDSCAPE PLANTINGS	(LS/XXX)
PEDESTRIAN CONNECTION / TYPE	(PC/XX)
PEDESTRIAN CONNECTION / TYPE WITHOUT DETECTABLE WARNING SYSTEM	(PC-R/XXX)
RELOCATE BY CONTRACTOR	(RL/C)
RELOCATE BY OTHERS	(RL/O)
RELOCATE BY PROPERTY OWNER	(RL/PO)
REMOVE BY CONTRACTOR	(RM/C)
REMOVE BY OTHERS	(RM/O)
REMOVE BY TRAFFIC CONTRACTOR	(RM/TC)
RIGHT-OF-WAY MONUMENT	(R/XXX)

UTILITY COMPANY FACILITIES	
— W(A) —	GEORGETOWN WATER SYSTEM A
— E(A) —	DELMARVA POWER-ELECTRIC
— G(A) —	CHESAPEAKE UTILITIES-GAS
— COMM(A) —	COMMUNICATIONS CONDUIT - COMCAST & VERIZON

NOT TO SCALE

**GEORGETOWN ADMINISTRATION
BUILDING RENOVATION/
EXPANSION**

CONTRACT	BRIDGE NO.	N/A
T202180102	DESIGNED BY:	M. MAYES
COUNTY	CHECKED BY:	M. GOUDY
SUSSEX		

LEGEND

SECTION	RKK
SHEET NO.	2

NOTES:

- EXISTING UTILITIES (WATER, SEWER, ELECTRIC AND TELECOMMUNICATIONS) WILL BE MAINTAINED DURING CONSTRUCTION. IT IS ANTICIPATED THAT THE BUILDING EXPANSION AND SITE UPGRADES WILL NOT REQUIRE UPGRADES TO THE EXISTING UTILITIES. THE EXISTING ELECTRIC PANEL WILL BE UPGRADED BUT WILL NOT REQUIRE UPGRADES TO THE EXISTING ELECTRIC LINES.
- LIGHTS WILL BE RELOCATED AS PART OF THE BUILDING EXPANSION, PLEASE SEE ARCHITECTURAL DRAWINGS FOR PROPOSED LOCATIONS.
- THE PROPANE TANK WILL BE RELOCATED AS PART OF THE BUILDING EXPANSION, PLEASE SEE ARCHITECTURAL DRAWINGS FOR PROPOSED LOCATIONS.
- PROPOSED PEDESTRIAN CONNECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH DELDOT STANDARD CONSTRUCTION DETAILS FOR THE ASSOCIATED PEDESTRIAN CONNECTION TYPE.
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.

NOTES (CONT.):

- EXISTING DRAINAGE AND STORMWATER MANAGEMENT FACILITIES WILL BE MAINTAINED AS A PART OF THE PROJECT. THERE WILL BE MINOR UPGRADES TO THE DISCHARGE LOCATIONS TO IMPROVE EXISTING ERODED AREAS AND PROVIDE INCREASED FLOW TO THE EXISTING FACILITIES.
- THE EXISTING SITE WILL BE GRADED SIMILAR TO EXISTING TOPOGRAPHY AND WILL MAINTAIN THE SAME POINT DISCHARGE LOCATIONS. THE PROJECT WILL UTILIZE THE EXISTING SLOPES AND ONLY COMPLETE MINOR GRADING AT THE BUILDING EXPANSION LOCATION AND THE PROPOSED PARKING LOT TO PROVIDE PROPER FLOW TO THE PROPOSED DRAINAGE FEATURES.

PURPOSE STATEMENT:

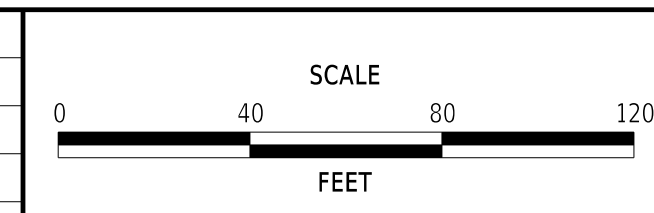
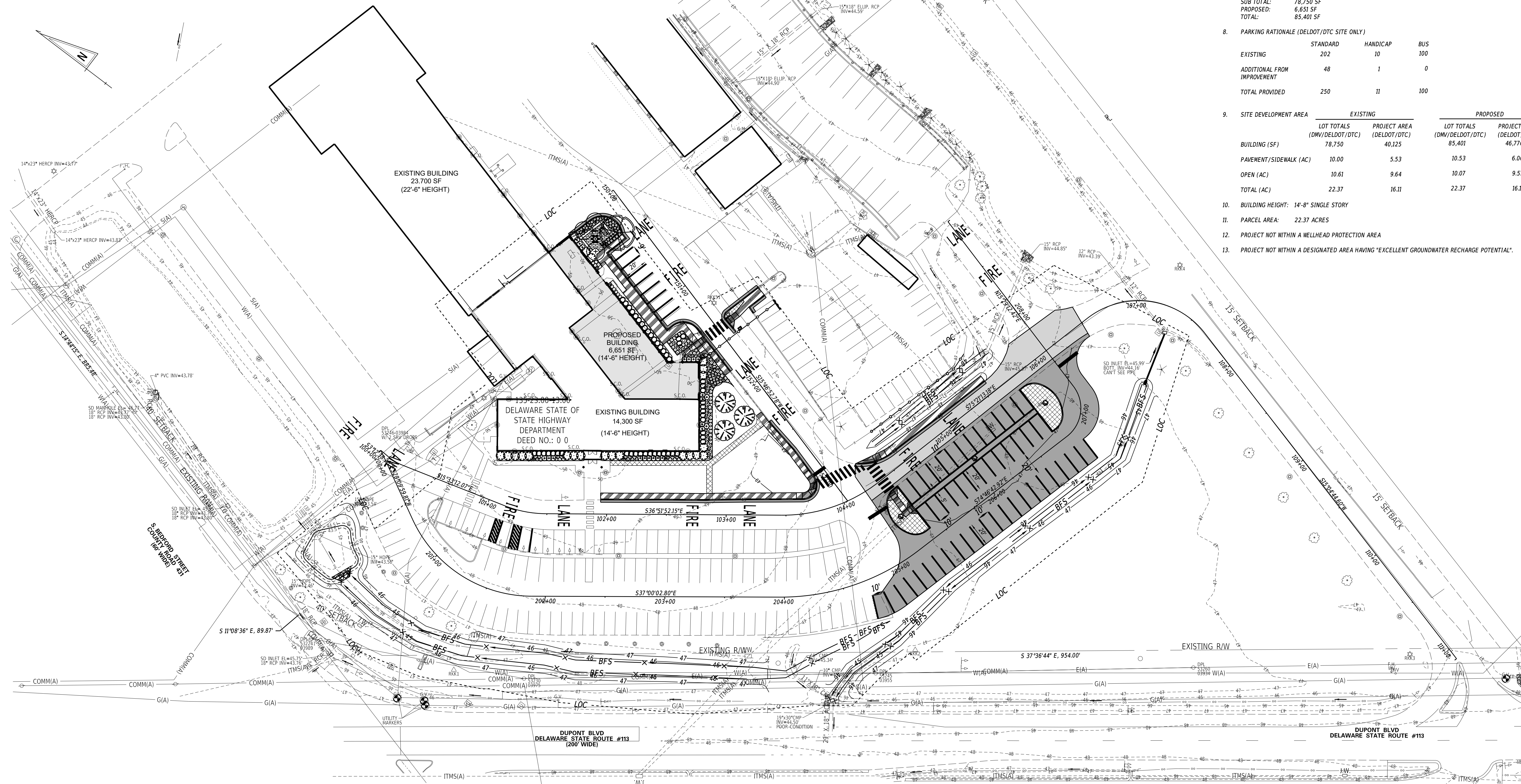
THIS PROJECT WILL PROVIDE EXPANSION AND UPGRADES TO THE EXISTING BUILDING AND IMPROVE THE OVERALL BUILDING QUALITY. IN ADDITION, THE EXISTING SITE WILL BE UPGRADED TO PROVIDE ADDITIONAL PARKING TO ACCOMMODATE THE BUILDING RENOVATIONS/EXPANSION AND SITE LIGHTING AND SECURITY CAMERAS TO IMPROVE SITE SECURITY. DRAINAGE UPGRADES ARE ALSO PROPOSED TO MEET LOCAL STORMWATER MANAGEMENT AND EROSION CONTROL REQUIREMENTS.

SITE DATA

- OWNER: STATE OF DELAWARE
23697 DUPONT BOULEVARD
GEORGETOWN, DE 19947
- TAX PARCEL NO. 1-35-23-13, P.O. 1-35-23-19
- ZONING: AR-1
- SITE ADDRESS: SAME AS OWNER ADDRESS
- FLOOD ZONE DESIGNATION:
- WETLANDS PRESENT: NONE
- BUILDING AREA
EXISTING: 40,125 SF
DELDOT/DTC: 38,625 SF
DMV: 78,750 SF
SUB TOTAL: 78,750 SF
PROPOSED: 6,651 SF
TOTAL: 85,401 SF
- PARKING RATIONALE (DELDOT/DTC SITE ONLY)

	STANDARD	HANDICAP	BUS
EXISTING	202	10	100
ADDITIONAL FROM IMPROVEMENT	48	1	0
TOTAL PROVIDED	250	11	100
- SITE DEVELOPMENT AREA

	EXISTING		PROPOSED	
	LOT TOTALS (DMV/DELDOT/DTC)	PROJECT AREA (DELDOT/DTC)	LOT TOTALS (DMV/DELDOT/DTC)	PROJECT AREA (DELDOT/DTC)
BUILDING (SF)	78,750	40,125	85,401	46,776
PAVEMENT/SIDEWALK (AC)	10.00	5.53	10.53	6.06
OPEN (AC)	10.61	9.64	10.07	9.57
TOTAL (AC)	22.37	16.11	22.37	16.11
- BUILDING HEIGHT: 14'-8" SINGLE STORY
- PARCEL AREA: 22.37 ACRES
- PROJECT NOT WITHIN A WELLHEAD PROTECTION AREA
- PROJECT NOT WITHIN A DESIGNATED AREA HAVING "EXCELLENT GROUNDWATER RECHARGE POTENTIAL".



**GEORGETOWN ADMINISTRATION
BUILDING RENOVATION/
EXPANSION**

CONTRACT T202180102	BRIDGE NO. N/A
COUNTY SUSSEX	DESIGNED BY: M. MAYES
	CHECKED BY: M. GOUDY

PRELIMINARY SITE PLAN

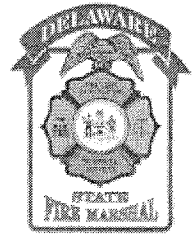
SECTION RKK
SHEET NO. 3

13-MAY-2021 12:05 \\barsv06w20101018225_DTC1910Task 6 - DelDOT Admin Building FD(CADD)ContractPlans\cp01_Growth_SITE.dgn



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2021-04-206842-ADD-02

Tax Parcel Number: 135-23.00-13.00

Status: Approved as Submitted

Date: 05/28/2021

Project

Administration Building Expansion
23697 Dupont Boulevard - DelDot Administration Building
Del Dot Georgetown Property - 23697 Dupont Boulevard

23697 Dupont Boulevard
Georgetown DE 19947

Scope of Project

Number of Stories: 1
Square Footage: 17689
Construction Class: II (000) Non-Combustible
Fire District: 77 - Georgetown Fire Co Inc

Occupant Load Inside: 177
Occupancy Code: 9682

Applicant

Studio JAED
2500 Wrangle Hill Road
Bear, DE 19701

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:

John Colpo
Fire Protection Specialist

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2021-04-206842-ADD-02

Tax Parcel Number: 135-23.00-13.00

Status: Approved as Submitted

Date: 05/28/2021

PROJECT COMMENTS

- 2000 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) dated August 11, 2006. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov These plans were not reviewed for compliance with the Americans with Disabilities Act. These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes. Project work must be started within one year from the issuance of the permit, otherwise, the permit will be terminated.
- 2500 A** A final inspection is required for this project prior to occupancy (DSFPR Part I, Section 4-7). Contact this Agency to schedule this inspection. Please have the plan review number available. A MINIMUM OF FIVE (5) WORKING DAYS NOTICE IS REQUIRED.
- 2316 A** Automatic fire suppression shall be provided in all areas. DSFPR Part II, Section 4 1.1 The sprinkler system shall be extended to provide coverage in the newly renovated areas. The no impact or minimal impact review levels apply to the building work exclusively. The automatic sprinkler system shall be designed and installed by a company licensed by this Agency. Formal plan submittal and approval is required prior to installation. The list of current, licensed fire suppression companies is found on our website www.delawarestatefiremarshal.com/license.htm
- 2317 A** The fire alarm system shall be extended and provide coverage in the newly renovated areas. The fire alarm system shall be designed and installed by a company licensed by this Agency. The no impact or minimal impact review levels apply to the building work exclusively. Formal plan submittal and approval is required prior to installation. The list of current, licensed fire alarm companies is found on our website www.delawarestatefiremarshal.com/license.htm
- 2710 A** The following items will be field verified by this Agency at the time of final inspection:
- 2503 A** The general contractor shall be responsible for arranging inspection and testing



of fire alarm systems, sprinkler systems and any other system that requires an inspection by the fire marshals office. This office will not issue an approval for occupancynuntil all systems are accepted for use by the fire marshal. The subcontractor or installer must be present for systems testing.

2030 A Doors shall be non keyed from the inside (NFPA 101, Section 7.2.1.5.2, ed 2006). This can be a lever, knob, thumb latch, or panic bar. NFPA 101, Section 7.2.1.5.4 (2000 ed.).

2058 A The elevation of the floor surfaces on both sides of a door shall be maintained for a distance at least equal to the width of the widest door leaf. NFPA 101 Section 7.2.1.3.2 (2006 ed.), (NFPA 101 Section 7.2.1.3 2000 ed.).

2118 A Interior finish on walls and ceilings in exits and corridors shall be Class A or B Flamespread Rating, and in office areas Class A, B, or C. If finishes other than drywall and paint are proposed, provide this Agency with manufacturer's specifications.2006 NFPA 101, Section 38.3.3.2.

2375 A Stair treads and landings shall be solid, uniformly slip resistant, and free of projections or lips that could trip stair users (NFPA 101, Section 5-2.2.3.3). Outside stairs and landings shall be designed to minimize water accumulation on their surfaces(NFPA 101, Section 5-2.2.6.6).

2371 A All stairs serving as a means of egress are to be provided with guards and handrails in accordance with NFPA 101, Section 7.2.2.4 (2006 ed.). Provide plan and section details illustrating compliance with this requirement.

2070 A Provide emergency lighting designed and installed to illuminate the paths of travel to the exits, the exits themselves, and the exit discharge. The emergency lighting shall be arranged to provide the required illumination automatically in the event of anyinterruption of normal lighting, Such as any failure of public utility or other outside electrical power supply; opening of a circuit breaker or fuse; Or any manual act(s), including accidental opening of a switch controlling normal lighting facilities.(2006 NFPA 101, Section 7 9.2.3).

2080 A Provide illuminated exit/directional signs. (2006 NFPA 101, Section 7.10).

2210 A Provide portable fire extinguishers (DSFPR Part V, Section 1 9.1). A multipurpose (A:B:C) with at least a 2A:10B:C rating shall be provided (NFPA 10). All portable fire extinguishers shall be serviced on an annual basis (every

12 months) by an individual licensed under the provisions of the DSFPR, Part III, Chapter 2. The list of current, licensed fire extinguisher companies is found on our web site www.statefiremarshal.delaware.gov.

2220 A All electrical work shall comply with the provisions of the National Electrical Code (NFPA 70). It will be required to pass an electrical inspection by an approved electrical inspection agency: American Inspection Agency (877-242-1300); or Building Inspection Underwriters (302-266-9057); or First State Inspection Agency (800-468-7338); or Middle Department Inspection Agency (800-222-6342); or National Code Inspection Agency (302-349-9020); or United Inspection Agency (215-542-9977).

2600 A At the time of final inspection, the individual or firm responsible for the original submission of plans shall provide an Architectural/Engineering grade plan of the building footprint, on an 8 1/2"x11" sheet that will detail the following: (a) Name, address, location of building;

2601 A (b) The location of all fire suppression system control valves

2602 A (c) The location of fire department connections for all fire suppression systems and standpipes

2603 A (d) The location of all fire alarm signaling systems control and annunciation panels

2604 A (e) The location of all on site fire hydrants

2605 A (f) Main entrance(s), and any stairwells which provide access to the roof, and any stairwell(s) that provide access to the penthouse.

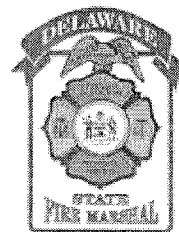
2606 A (g) Name and phone number of personnel responsible (owner and/or manager) for responding during emergencies.

1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2021-04-206736-MJS-02

Tax Parcel Number: 135-23.00-13.00

Status: Approved as Submitted

Date: 05/18/2021

Project

Administration Building Expansion

23697 Dupont Boulevard
Georgetown DE 19947

Del Dot Georgetown Property - 23697 Dupont Boulevard

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 77 - Georgetown Fire Co Inc

Occupant Load Inside:

Occupancy Code:

Applicant

Paul Guggenberger
2500 Wrangle Hill Road
Bear, DE 19701

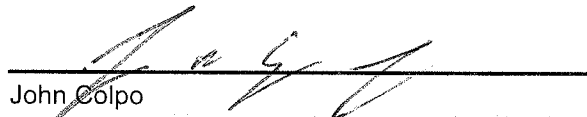
This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:


John Colpo
Fire Protection Specialist



FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2021-04-206736-MJS-02

Tax Parcel Number: 135-23.00-13.00

Status: Approved as Submitted

Date: 05/18/2021

PROJECT COMMENTS

1002 A This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.

1040 A This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 1,000 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 800' on center.

1180 A This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.

1190 A Separate plan submittal is required for the building(s) proposed for this project.

9999

FDC REQUIRED TO BE DETAILED ON BUILDING PLAN

1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.





STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

NICOLE MAJESKI
SECRETARY

May 10, 2021

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

SUBJECT: Letter of No Contention Approval
Georgetown Administration Building Expansion
Tax Parcel # 135-23.00-13.00
US 113 (Dupont Boulevard Highway) & US 9 (South Bedford Street)
Georgetown Hundred, Sussex

Dear Mr. Whitehouse:

The Delaware Department of Transportation (DelDOT) has reviewed a request, dated April 14, 2021, to obtain a Letter of No Contention (LONC) to use an existing commercial building and site entrance for the above referenced project, and has approved the request. This approval shall be valid for a period of **one (1) year**.

This determination is based on the project information as provided in the completed Permit Application, and verification of the requirements on the LONC approval checklist.

The following conditions are provided with this approval:

- 1) Site shall have access from the existing entrance located on US 113 (Dupont Boulevard Highway) & US 9 (South Bedford Street).
- 2) No entrance modifications or traffic pattern changes are proposed or authorized under this LONC approval.
- 3) DelDOT reserves the right to review, modify or revoke this LONC approval in the future if proposed activities create traffic conflicts, safety concerns or operational issues.
- 4) The property owner is responsible to:
 - a. Submit information to DelDOT, regarding any future operational or site changes, (including but not limited to: rezoning, site layout changes, changes in use, entrance modifications, expanded/additional uses, new uses, etc.). Changes of this nature may alter the flow and/or volume of traffic and could require a new LONC or formal review for Approvals and/or Permits.

Georgetown Administration Building Expansion

Mr. Jamie Whitehouse

Page 2

May 10, 2021

- b. Establish and maintain clear sight lines at the entrance. There shall be no placement of structures, signs, objects, items for sale or parking of vehicles within State right-of-way or entrance limits. Shrubbery, Plantings, trees and/or other visual barriers that could obstruct the sight distance of a driver preparing to enter the roadway are prohibited.
- 5) The property owner and applicant are responsible to coordinate with DelDOT Outdoor Advertising & Roadside Control at (302) 853-1327, for information on obtaining specific permits for sign installation on private property. Permits for Utilities construction within State right-of-way require separate permit applications please contact DelDOT's South District at (302) 853-1345.

If the Department can be of any further assistance, please call me at (302) 760-2266.

Sincerely,



R. Stephen McCabe
Sussex County Review Coordinator,
Development Coordination

cc: Matthew Goudy, RK&K Engineering-Land Planning & Surveying
Rusty Warrington, Sussex County Planning & Zoning
Matt Schlitter, South District Public Works Engineer
Scott Rust, South District Public Works Manager
James Argo, South District Project Reviewer
William Kirsch, South District Entrance Permit Supervisor
Wendy L. Polasko, Subdivision Engineer
Brian Yates, Sussex County Reviewer



April 15, 2021

**DE DEPARTMENT OF TRANSPORTATION
GEORGETOWN ADMINISTRATION BUILDING**

**APPROVAL TO CONSTRUCT
Georgetown
Approval #21CP66**

Matthew Goudy, P.E.
RK&K
One Riverwalk Center
110 South Poplar Street, Suite 102
Wilmington, DE 19801

Dear Mr. Goudy:

As provided by Title 16 of the *State of Delaware Regulations Governing a Detailed Plumbing Code* you are granted approval to construct the plumbing improvements at the Delaware Department of Transportation Georgetown Administration Building located at 23697 DuPont Boulevard, Georgetown, Delaware in accordance with the plans submitted by RK&K. The plans consist of:

1. Transmittal letter dated April 14, 2021.
2. One copy of the proposed plans entitled "Delaware Department of Transportation Georgetown Administration Building" dated April 9, 2021.

These plans, as noted, are made a part of this approval. This approval is granted subject to the enclosed list of conditions. A plumbing permit must be acquired by a licensed plumber before start of construction.

All plumbing must be field verified by a Delaware State Plumbing Inspector. The plumbing inspections supersede this Approval. Additional alterations, modifications, materials, and appurtenances may be required as directed.

One copy of this approval must be submitted by a licensed plumber with a *Commercial Plumbing Permit Application* to obtain a plumbing permit. A \$50.00 re-inspection fee is charged to any job requiring more than 3 inspections.

Matthew Goudy, P.E.
RK&K
April 15, 2021
Page 2

It is unlawful for any person to work as a licensed plumber in the State of Delaware unless such person has received a license from the Delaware Department of State, Division of Professional Regulation showing that that said person has been duly licensed as a plumber.

Scope: renovate (1) ADA compliant men's bathroom with (2) toilets, (1) urinal, (1) shower, and (3) lavatories. (1) ADA compliant women's bathroom with (2) toilets, (2) lavatories, and (1) shower. (3) ADA compliant bathrooms with (1) toilet and (1) lavatory each. Addition of (4) sinks, (1) high low water fountain, (1) kitchen sink, and (1) mop/service sink.

Should you have any questions regarding this matter, please feel free to contact Bill Milliken at (302) 741-8646.

Plans reviewed by:



William J. Milliken, Jr.
Engineer III
Office of Engineering

Sincerely,



Doug Lodge, P.E.
Supervisor of Engineering
Office of Engineering

cc: Jamie Craddock, Town of Georgetown
Chuck Davidson, Environmental Health Specialist III (Plumbing Manager)

1. The approval is void if construction has not been started by April 15, 2022. (1YR)
2. This Approval to Construct will be subject to field verification by a Delaware State Plumbing Inspector. Additional alterations, modifications, materials, and appurtenances may be required as directed.
3. This project will require a plumbing permit and subsequent plumbing inspection(s). All plumbing shall be installed by a licensed plumber under a valid, current plumbing permit. To obtain a plumbing permit contact the Plumbing Inspection Program at:

Thomas Collins Building, Suite 5
540 South DuPont Highway
Dover, DE 19901
302 741-9030

Thurman Adams State Service Center
544 South Bedford Street
Georgetown, DE 19947
302 515-3280

4. The plumbing shall be installed and operated in conformance with the *State of Delaware Plumbing Code*.
5. Additions, alterations or repairs shall not cause an existing system to become unsafe, unsanitary or overloaded.
6. The project shall be constructed in accordance with the approved plans and all required conditions listed in this Approval to Construct. If any changes are necessary, revised plans shall be submitted and a supplemental approval issued prior to the start of construction.
7. Representatives of the Division of Public Health may inspect this project at any time during the construction.
8. This approval does not cover the structural stability of any units or parts of this project. Plumbing shall be installed with due regard to preservation of the strength of structural members and prevention of damage to walls and other surfaces through fixture usage.
9. All regulations pertaining to handicapped facilities in the International Plumbing Code will be governed by the most recent edition of the "American National Standards Institute (ANSI) and the minimum requirements of the International Building Code.
10. The number of fixtures is dependent on the classification and occupancy load. Any changes in the occupancy of this structure must meet the approval of the code official and shall not result in any hazard to the public health, safety or welfare.
11. All plumbing products and materials shall be third-party certified as conforming to the referenced standards. Each length of pipe and each pipe fitting shall bear the identification of the manufacturer and applicable referenced standards.

12. A backflow or back siphonage prevention device or assembly installed on a water supply system shall meet American Society of Sanitary Engineering (ASSE) standards for construction, installation, maintenance, inspection, and testing for that specific application and type of device. Annual inspections shall be made of all backflow prevention assemblies and air gaps to determine if they are operable.
13. There shall be no connection between the distribution system and any pipes, pumps, hydrants, or tanks whereby unsafe water or other contaminating materials may be discharged or drawn into the system.
14. All public water installations shall be required to have an expansion tank on storage water heaters installed between the hot water heater shut off valve and the hot water heater on the cold side.
15. The approval is subject to immediate revocation upon violation of any of the preceding conditions.
16. All other local (county/city/town) approvals or permits needed must be obtained prior to beginning construction.
17. Fixtures shall be set according to the 2018 International Plumbing Code.
18. Tempered water shall be delivered from lavatories and group wash fixtures located in public toilet facilities provided for customers, patrons and visitors. Tempered water shall be delivered through an approved water-temperature limiting device that conforms to ASSE 1070 or CSA B125.3. IPC 416.5



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

NICOLE MAJESKI
SECRETARY

June 30, 2021

Chase Phillips, Planner I
Sussex County Planning and Zoning Department
2 The Circle
Georgetown, Delaware 19947

SUBJECT: Stormwater Plan Approval
T202180102 - Georgetown Administration Building Expansion
Tax Parcel # 135-23.00-13.00
Delaware Department of Transportation – South District
23697 DuPont Highway, Georgetown, DE 19947

Mr. Phillips:

The Delaware Department of Transportation (DelDOT) as a Delegated Agency of the Delaware Department of Natural Resources and Environmental Control (DNREC) Sediment and Stormwater program has reviewed the Sediment and Stormwater management plans submitted for the above referenced project.

The Georgetown Administration Building Expansion project proposes an expansion of the existing admin building and an additional parking lot. Stormwater management has been provided in compliance with the DSSR. The proposed project utilizes existing quantity management facilities to offset any increase in runoff generated from the proposed work. The quality requirements of the DSSR are accomplished via the construction of four vegetated channels within the project limits which address the quality requirements of the DSSR with an excess credit of 2,632 CF of treated runoff.

The Sediment and Stormwater management plans as submitted to the DelDOT Stormwater section on June 8th, 2021 are approved for a period of five years. If construction is not complete within that five year period, the plans must be submitted to DelDOT Stormwater and updated as necessary in accordance with the Delaware Sediment and Stormwater Regulations (DSSR).

If the Department can be of any further assistance, please call me at (302) 760-2162.



Sincerely,

A handwritten signature in black ink, appearing to read "Stephen Wright", is centered below the word "Sincerely,".

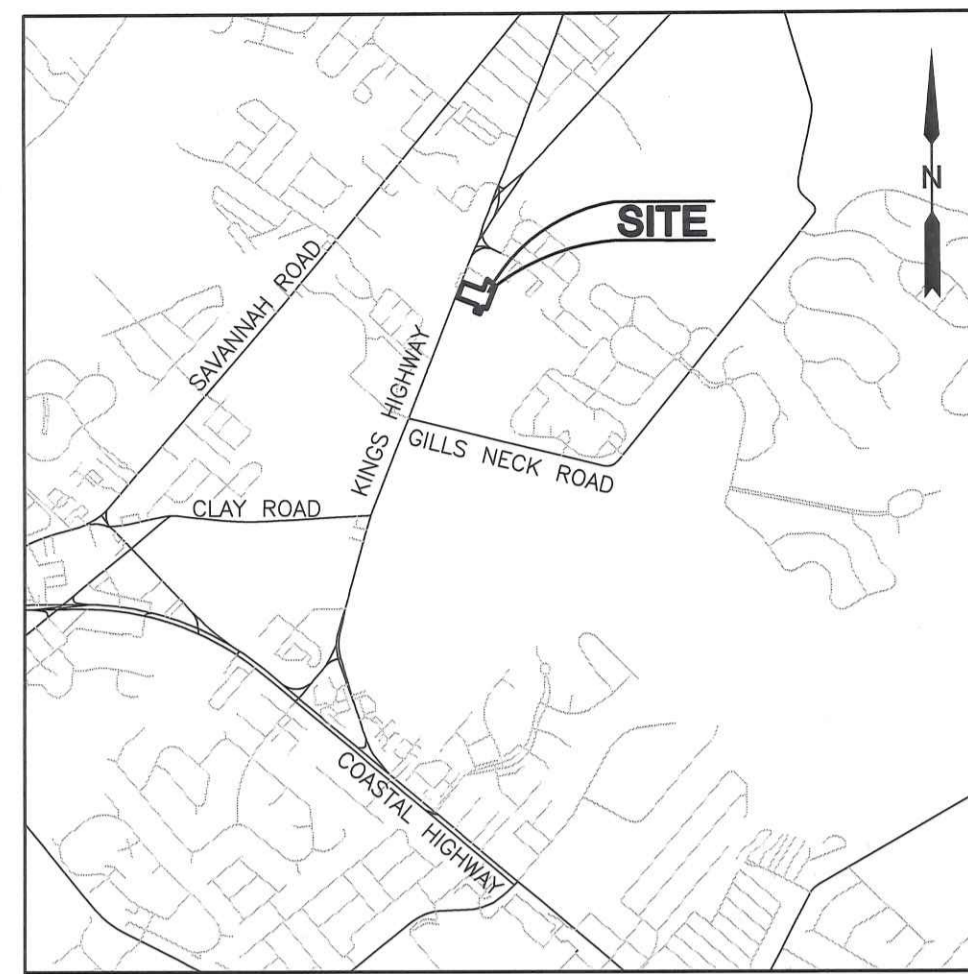
Stephen Wright
Stormwater Engineer
Delaware Department of Transportation

Cc: Anne Brown, Director DelDOT Maintenance and Operations
Brian Urbanek, Assistant Director DelDOT Statewide Support Services
Taylor King, DelDOT CTF/Facilities and Maintenance Engineer
John Caruano, DelDOT Support Engineer
Skip Sanders, DelDOT Maintenance and Operations
Tara Cutillo, RK&K
Matthew Goudy, RK&K
Lauren Devore, Sussex County Planning and Zoning

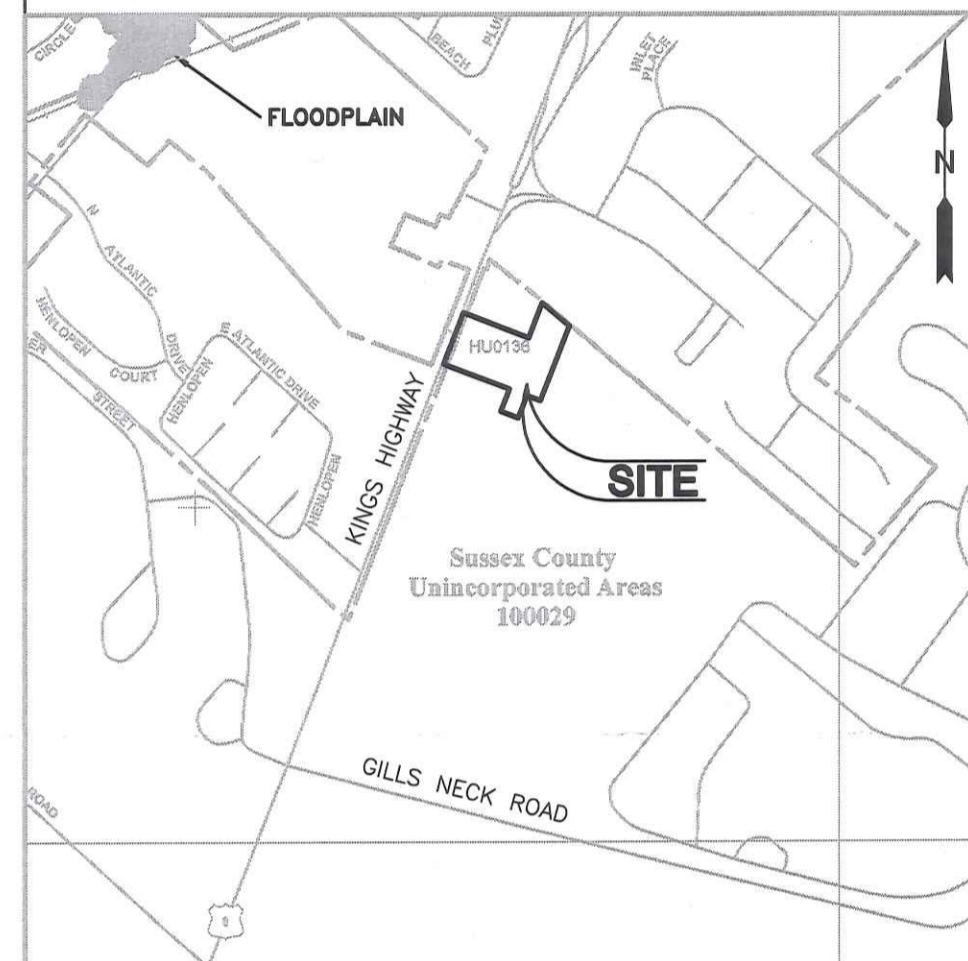
BIG OYSTER BREWERY EXPANSION

LEWES AND REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

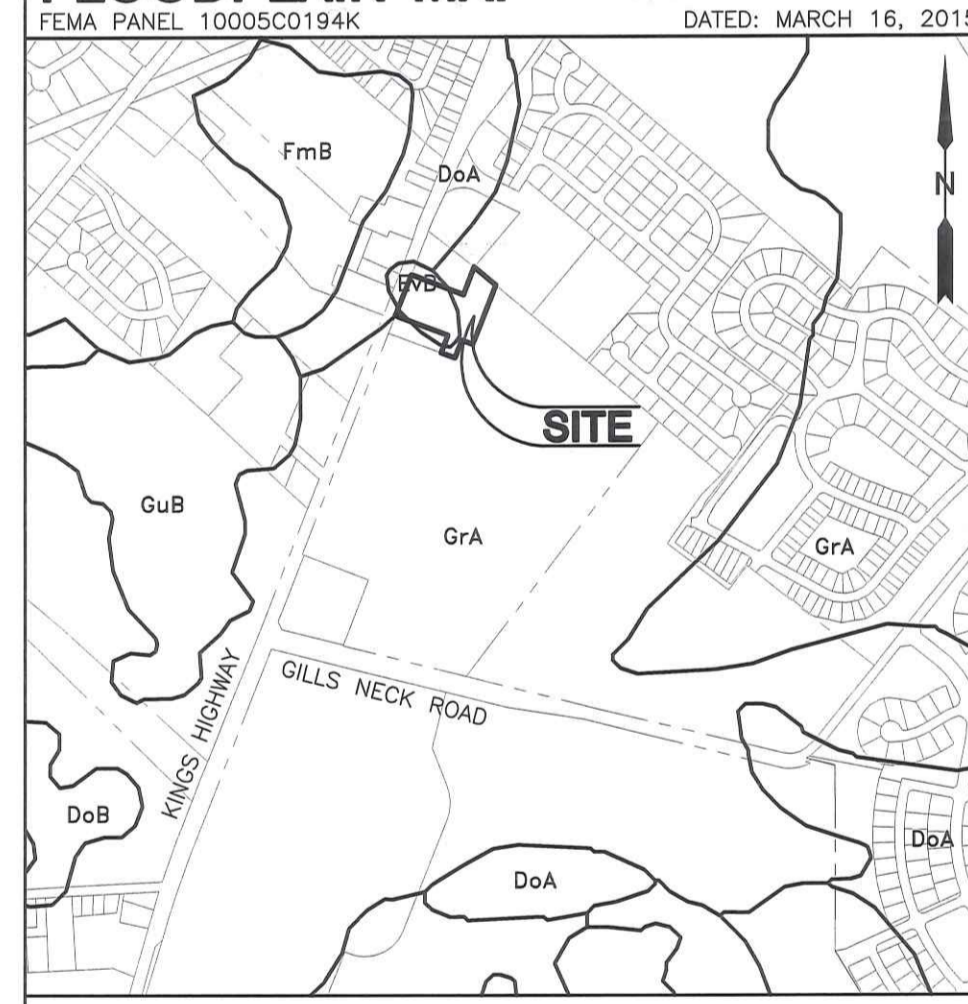
DBF #3007A002
RECORD PLAN
SUSSEX COUNTY REFERENCE #: S-19-45
AUGUST, 2021



LOCATION MAP SCALE: 1" = 1/2-MILE



FLOODPLAIN MAP SCALE: 1" = 800' DATED: MARCH 16, 2015

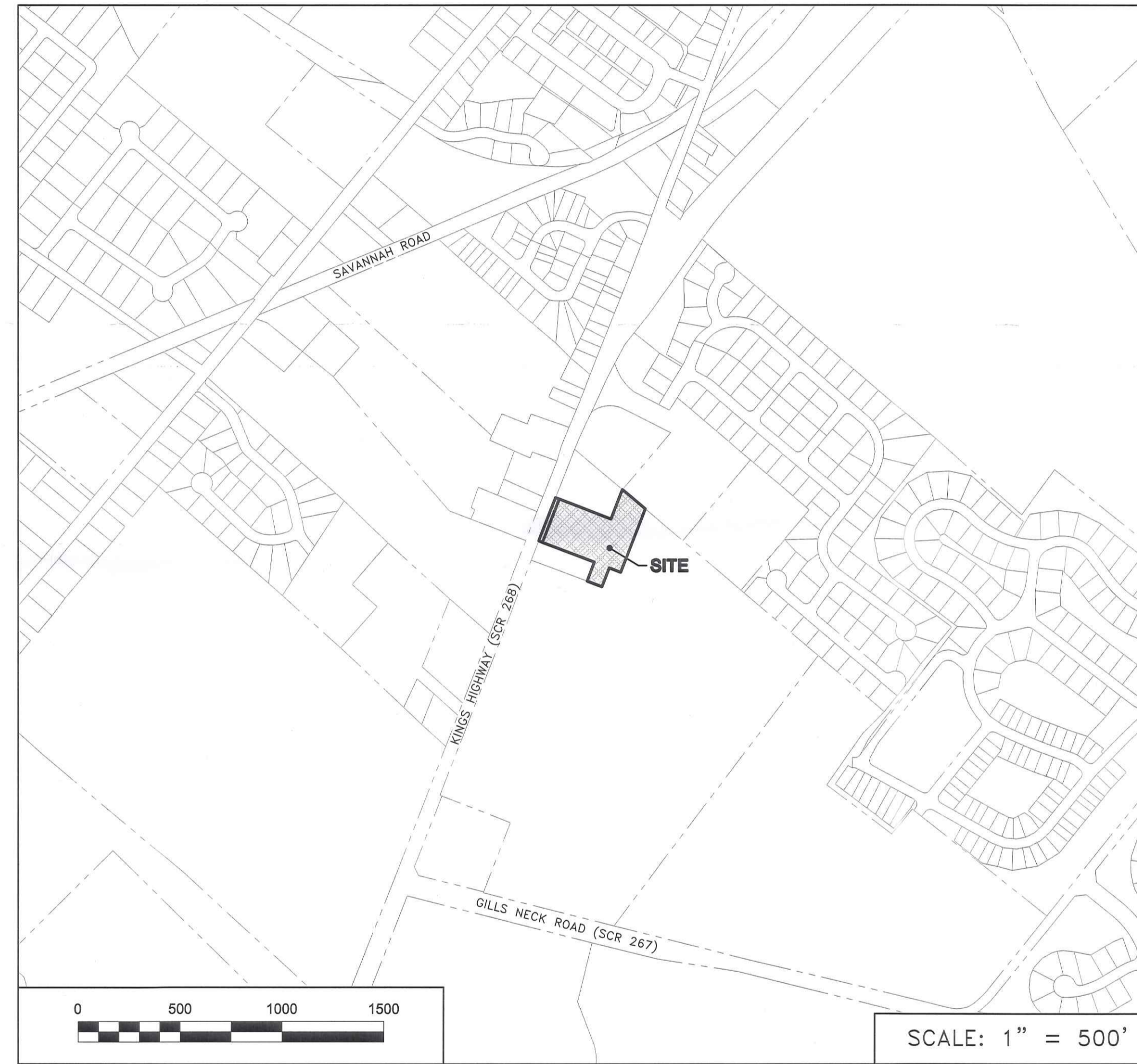


SOILS MAP SCALE: 1" = 1000'

DdA: DOWNER SANDY LOAM, 0 TO 2 PERCENT SLOPES (B)
FmB: EYEBORO LOAMY SAND, 0 TO 5 PERCENT SLOPES (A)
GuB: GREENWICH LOAM, 0 TO 2 PERCENT SLOPES (B)
DdB: DOWNER SANDY LOAM, 0 TO 2 PERCENT SLOPES (B)
DdA: DOWNER SANDY LOAM, 0 TO 2 PERCENT SLOPES (B)

DATA COLUMN

TAX MAP ID: 335-8.00-39.00
DEED REFERENCE: DEED BOOK 4456, PAGE 123
DATUM:
VERTICAL: NAVD 88
HORIZONTAL: NAD 83 (DE STATE PLANE)
LAT/LON
BENCHMARK #1: W&E FIP: NW PROPERTY CORNER, LAT:38.7609, LON:-75.1445
SITE ADDRESS: 1007 KINGS HIGHWAY, LEWES, DE. 19958
LAND USE
EXISTING: BREWERY/RESTAURANT
PROPOSED: BREWERY/RESTAURANT
ZONING
EXISTING: C-1 (GENERAL COMMERCIAL DISTRICT)
C-3 (HEAVY COMMERCIAL DISTRICT)
SITE AREA
EXISTING SITE AREA: 2.816± AC.
RIGHT-OF-WAY DEDICATION (-): 0.080± AC.
TOTAL SITE AREA: 2.736± AC.
IMPERVIOUS AREA
EXISTING 31,347 SQ.FT. (0.720 AC.)
PROPOSED 41,442 SQ.FT. (0.951 AC.)
TOTAL IMPERVIOUS AREA: 72,789 SQ.FT. (1.671 AC.)
EXISTING BUILDING AREA
GROUND FLOOR FOOTPRINT: 5,454 SQ.FT. (INCLUDES STAIRWELL)
2ND FLOOR EMPLOYEE/STORAGE: 1,250 SQ.FT. (INCLUDES STAIRWELL)
TOTAL FLOOR AREA: 6,704 SQ.FT.
PROPOSED BUILDING ADDITIONS
ADDITION TO RESTAURANT: 1,585 SQ.FT.
PARKING
EXISTING PARKING RATIONALE:
1,158 SQ.FT. OF PATRON SPACE @ 1 SPACE PER 50 SQ.FT.: 24 SPACES
479 SQ.FT. OF RETAIL SPACE @ 1 SPACE PER 200 SQ.FT.: 3 SPACES
10 EMPLOYEES @ 1 SPACE PER EVERY 2 EMPLOYEES: 5 SPACES
293 SQ.FT. OF PAVER PATIO @ 1 SPACE PER 50 SQ.FT.: 6 SPACES
49.5 SQ.FT. OF EXTERIOR VESTIBULE @ 1 SPACE PER 50 SQ.FT.: 1 SPACE
SPACES REQUIRED: 39 SPACES
LOADING SPACE RATIONALE: 1 SPACE REQUIRED/PROVIDED
PROPOSED PARKING RATIONALE (IN ADDITION TO EXISTING):
1,585 SQ.FT. OF PATRON SPACE @ 1 SPACE PER 50 SQ.FT.: 32 SPACES
30 EMPLOYEES @ 1 SPACE FOR EVERY 2 EMPLOYEES: 15 SPACES
1,500 SQ.FT. OF PAVILLION SPACE @ 1 SPACE PER 50 SQ.FT.: 30 SPACES
SPACES REQUIRED: 77 SPACES
TOTAL SPACES REQUIRED: 116 SPACES
TOTAL SPACES PROVIDED (INCLUDES 5 HANDICAP): 117 SPACES
MINIMUM REQUIREMENTS
FRONT SETBACK: C-1 60 FT. C-3 60 FT.
SIDE SETBACK: 5 FT. 5 FT. (*20 FT.)
REAR SETBACK: 5 FT. 5 FT. (*30 FT.)
(*SETBACK APPLIES IF BOUNDARY LINE IS ADJACENT TO A RESIDENTIAL DISTRICT)
PROPOSED CONSTRUCTION: WOOD/CONCRETE BLOCK
MAXIMUM REQUIREMENTS
BUILDING HEIGHT: 42 FT.
EX. BUILDING HEIGHT: 30 FT.
PR. EXPANSION HEIGHT: 30 FT.
UTILITIES
SEWER PROVIDER: SUSSEX COUNTY UNIFIED SANITARY SEWER DISTRICT
WATER PROVIDER: LEWES BOARD OF PUBLIC WORKS
WETLANDS - THIS PROPERTY IS NOT IMPACTED BY WETLANDS.
FLOODPLAIN - THE PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA PANEL 10005C0194K.
A VARIANCE FOR A REDUCED SETBACK IN THE VICINITY OF THE PROPOSED STORAGE BUILDING WAS APPROVED BY THE SUSSEX COUNTY BOARD OF ADJUSTMENT ON AUGUST 4, 2020.
THE PROPERTY IS NOT LOCATED IN A SOURCE WATER PROTECTION AREA.
THE PROPERTY IS LOCATED IN A "GOOD" GROUNDWATER RECHARGE AREA.
THE PROPERTY IS NOT LOCATED IN A WELLHEAD PROTECTION AREA.
STATE STRATEGIES MAP: INVESTMENT LEVEL 1
THIS PROPERTY IS LOCATED 1,865'± TO THE NORTH OF THE INTERSECTION OF KINGS HWY AND GILLS NECK ROAD.
KINGS HWY POSTED SPEED LIMIT: 45 M.P.H.
OWNER/DEVELOPER
JEFF-KAT, LLC.
113 DRAPER DRIVE
REHOBOTH BEACH, DE 19971
ENGINEER:
DAVIS, BOWEN, & FRIEDEL, INC.
CLIFTON D. MUMFORD, P.E.
1 PARK AVE.
MILFORD, DE 19963
PHONE: 302-424-1441
FAX: 302-424-0430



SCALE: 1" = 500'

LEGEND

- RIGHT-OF-WAY / BOUNDARY LINE - - - - -
- PERMANENT EASEMENT - - + + - - + + - -
- ADJACENT PROPERTY LINE/
RIGHT-OF-WAY - - - - -
- SETBACK - - - - -
- ZONING BOUNDARY - - - - -
- BOUNDARY POINT ●
- EXISTING BOUNDARY POINT ○

SHEET INDEX	
RECORD PLAN	
RECORD PLAN TITLE SHEET	V-100
RECORD PLAN	V-101
SITE PLAN	C-101

GENERAL NOTES

1. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
2. NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
3. SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
4. PRIVATE STREETS CONSTRUCTED WITHIN THIS PROPERTY SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNER OR BOTH (TITLE 17 §131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
5. THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNER OR BOTH WITHIN THE PROPERTY. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR FUTURE MAINTENANCE FOR THE SIDEWALK.
6. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
7. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
8. A PERPETUAL CROSS ACCESS INGRESS/EGRESS EASEMENT IS HEREBY ESTABLISHED AS SHOWN ON THIS PLAN.
9. THIS COMMERCIAL PARCEL HAS DIRECT FRONTAGE ALONG KINGS HIGHWAY (SCR 26), WHICH HAS A FUNCTIONAL CLASSIFICATION OF PRINCIPLE ARTERIAL/FREWAY/INTERSTATE AS DEFINED BY THE STATE OF DELAWARE'S DEPARTMENT OF TRANSPORTATION. PER SECTION 3.6.1 OF THE DELDOT DEVELOPMENT COORDINATION MANUAL (DCM); IT IS THE DEVELOPER'S RESPONSIBILITY TO EVALUATE NOISE LEVELS AND THEIR IMPACTS ON PROPOSED DEVELOPMENT, FOR PROJECTS ADJACENT TO EXISTING TRANSPORTATION FACILITIES WITH THIS FUNCTIONAL CLASSIFICATION. ROADWAYS WITH THIS CLASSIFICATION CAN BE EXPECTED TO GENERATE ELEVATED LEVELS OF ROAD AND TRAFFIC RELATED NOISE, SIMILAR TO WHAT CAN BE EXPECTED IN URBAN AREAS. A DETAILED NOISE ANALYSIS PER DCM 3.6 IS TYPICALLY RECOMMENDED TO HELP GAUGE THE ACTUAL IMPACTS THAT ROADWAY RELATED NOISE MAY HAVE ON VARIOUS POTENTIAL LAND-USES (SUCH AS THOSE DESCRIBED IN DCM FIGURE 3.6.3-A: NOISE ABATEMENT CRITERIA). WITH THE INCLUSION OF THIS NOTE, THE DEVELOPER IS ACKNOWLEDGING THAT THE PROPOSED SITE AND/OR BUILDING LOCATION CAN BE EXPECTED TO EXCEED THE SPECIFIC MAXIMUM NOISE LEVELS FOR CERTAIN COMMERCIAL AND NON-RESIDENTIAL USES AS SHOWN IN DCM FIGURE 3.6.3-A. THE DEVELOPER'S WAIVER OF THE NOISE ANALYSIS AND REVIEW OF POTENTIAL NOISE MITIGATION MEASURES ARE SUPPORTED BY THE INFEASIBILITY OF APPLYING NOISE MITIGATION MEASURES, BASED ON ENGINEERING CONSIDERATIONS AND FACTORS THAT WOULD LIMIT THE ABILITY TO ACHIEVE SUBSTANTIAL NOISE REDUCTION, RELATED TO THE COMMERCIAL USE OF THE SITE AND/OR BUILDINGS. THIS WAIVER ACKNOWLEDGES THAT THE DECIBEL LEVEL FOR THIS PARCEL MAY EXCEED THE APPLICABLE LIMITS FOR SOME CURRENT OR FUTURE PROPOSED USES. THE USE OF THIS NOTE SIGNIFIES THE SUBDIVISION ENGINEER'S CONCURRENCE WITH WAIVING THE DEVELOPER'S COMPLETION OF A DETAILED NOISE STUDY AND SUBSEQUENT REVIEW OF RESULTING NOISE ABATEMENT FINDINGS OR MITIGATION MEASURES. ANY FUTURE COMPLAINTS RELATING TO EXISTING OR FUTURE NOISE LEVELS IMPACTING PROPOSED USES ON THIS SITE AND ALONG THIS EXISTING TRANSPORTATION FACILITY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OR LAND OWNER OR BOTH.
10. THE PROJECT IS LOCATED WITHIN THE CONTROL ZONE OF A DELAWARE SCENIC AND HISTORIC BYWAY. DELAWARE STATE CODE TITLE 17, CHAPTER 1, SECTIONS 190-194 AND TITLE 17, CHAPTER 11, SECTIONS 1101-1120 WITH APPLICABLE AMENDMENTS APPLY.

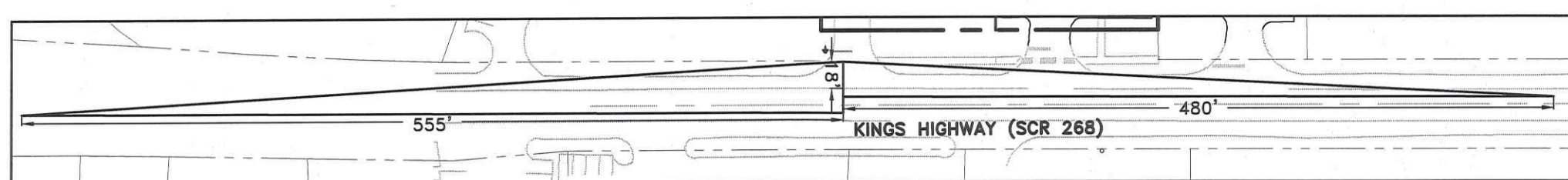
dbf DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS, ENGINEERS & SURVEYORS
SALISBURY, MARYLAND (410) 543-9091
MILFORD, DELAWARE (302) 424-1441
EASTON, MARYLAND (410) 770-4744

ENGINEER'S STATEMENT

I, CLIFTON D. MUMFORD, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.
DATE _____
DAVIS, BOWEN & FRIEDEL, INC.
by CLIFTON D. MUMFORD, P.E.

OWNER'S CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE BY MY DIRECTION AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.
DATE _____
JEFF-KAT, LLC.
113 DRAPER DRIVE
REHOBOTH BEACH, DE 19971



SIGHT DISTANCE TRIANGLES

SCALE: 1" = 100'

ROAD DATA

KINGS HIGHWAY (SUSSEX ROAD 268)
 FUNCTIONAL CLASSIFICATION - PRINCIPAL ARTERIAL
 AADT (2018 DBF ATR COUNT) = 12,656
 10 YR PROJECTED AADT = 1.16 X 12,656 = 14,681
 10 YR PROJECTED AADT + PRIMARY SITE ADT NE OF SITE (175) = 14,856
 10 YR PROJECTED AADT + PRIMARY SITE ADT SW OF SITE (229) = 14,910
 AM PEAK HOUR = 6.82% X 14,681 = 1,001
 AM DIRECTIONAL SPLIT = 58.49% (NB)/41.51% (SB) = 585/416
 PM PEAK HOUR = 8.03% X 14,681 = 1,179
 DIRECTIONAL SPLIT = 43.82% (NB)/56.18% (SB) = 517/662
 6.14% TRUCK % X 1,179 = 72
 SPEED - POSTED = 45 MPH
 TRAFFIC PATTERN GROUP - 2

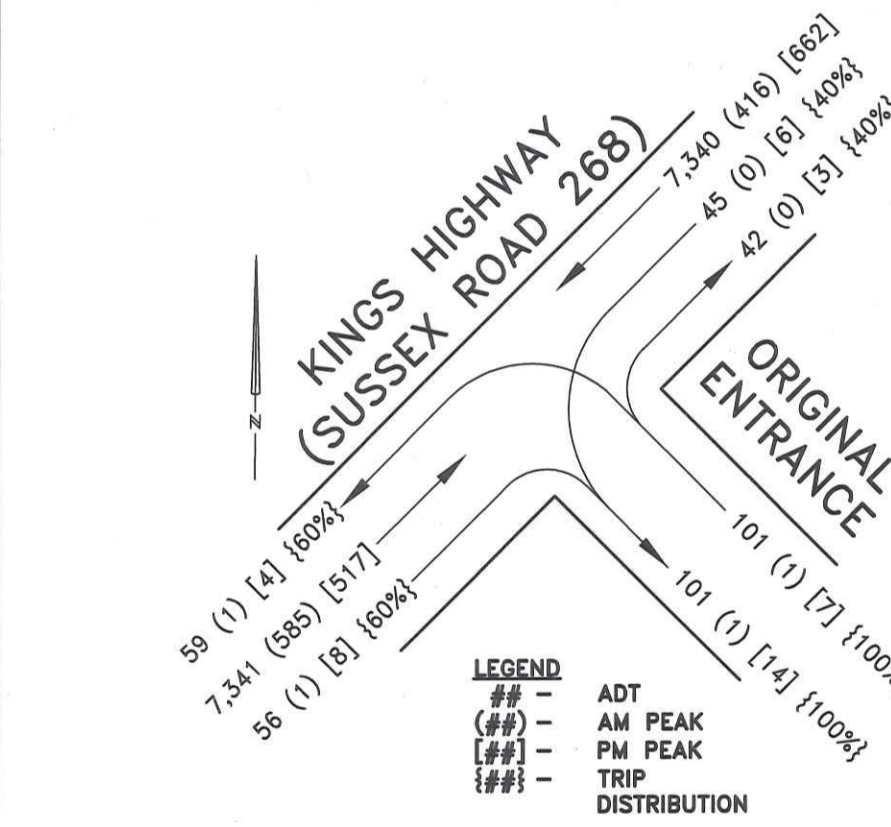
NOTE: AADT, K-FACTORS, AND D-FACTORS BASED ON DATA COLLECTED AS PART OF THE MITCHELL FARM TIS.

SITE TRIPS GENERATED

TYPE OF DEV.	ITE CODE	SQ FT	AM	WKDY	PM	ADT
QUALITY RESTAURANT	931	4,695	3	37	394	
BREWERY (5 EMPLOYEES)			5	5	10	
TOTAL TRIPS			8	42	404	
PASS-BY			0	-18	-134	
PRIMARY TRIPS			8	24	270	

NOTES:

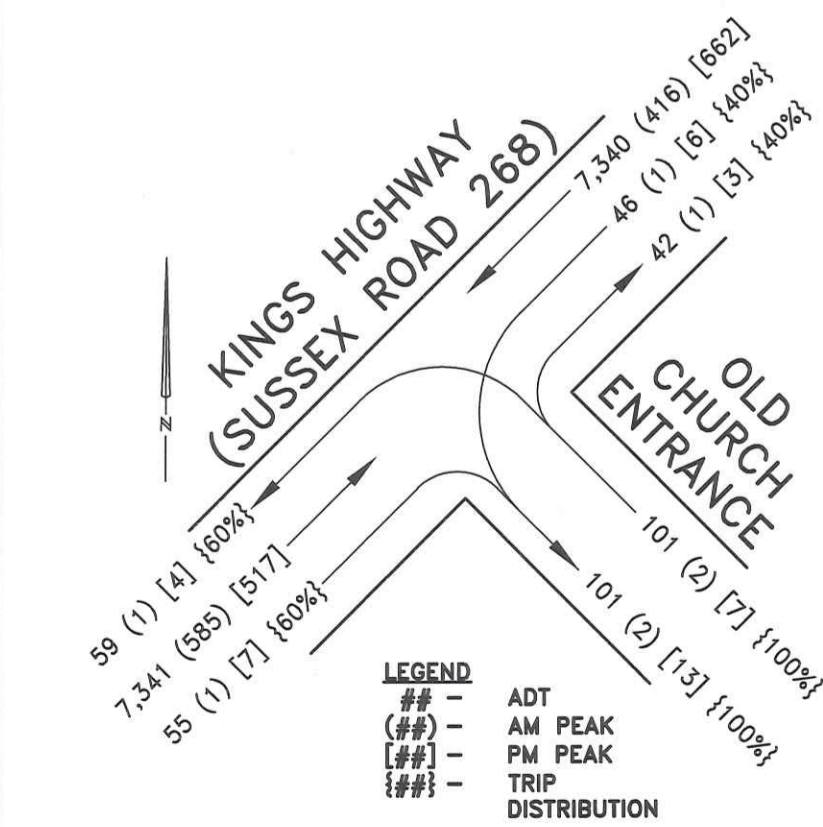
- EXISTING RESTAURANT IS 1,610 SF, A 1,565 SF ADDITION IS PROPOSED ALONG WITH A 1,500 SF PAVILION.
- TRIPS SPLIT BETWEEN BOTH ENTRANCES EVENLY
- 5 BREWERY EMPLOYEES
- TRIP GENERATION BASED ON ITE TRIP GENERATION MANUAL, 10TH EDITION.
- DESIGN VEHICLE: SU-30.
- EXISTING FULL SITE ACCESS TO BE USED.



TRAFFIC DIAGRAM
NO SCALE

TRIPS FOR BIG OYSTER SPLIT BETWEEN BOTH ENTRANCES

SITE ACCESS DESIGN VOLUMES
 KINGS HIGHWAY: 2028 AADT (HIGHEST LEG PER HIGHWAY SAFETY MANUAL PAGE 10-6) = 14,910
 RIGHT-TURN ADT: = 56
 LEFT-TURN PEAK HOUR VOLUME = 6
 OPPOSING PEAK HOUR VOLUMES = 517



TRAFFIC DIAGRAM
NO SCALE

N/F: JEFFERSON ESTATES, LLC
 335-8.00-42.01
 D/4338/195
 ZONED: R-5

N/F: FIRST BAPTIST CHURCH OF LEWES
 335-8.00-42.03
 D/4034/168
 ZONED: R-5

N/F: FIRST BAPTIST CHURCH OF LEWES
 335-8.00-40.00
 D/5381/282
 ZONED: AR-1

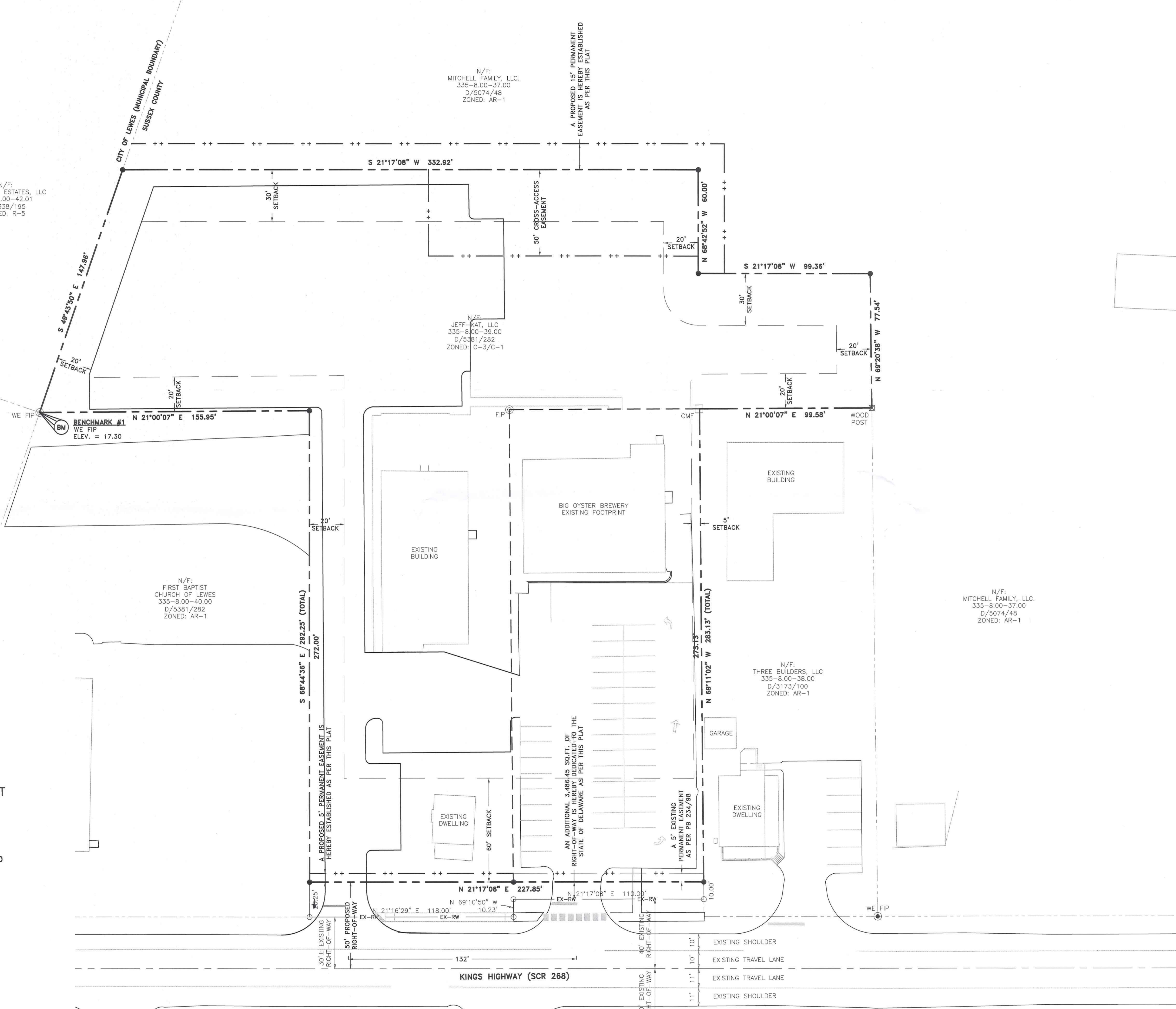
N/F: THREE BUILDERS, LLC
 335-8.00-38.00
 D/3173/100
 ZONED: AR-1

N/F: COMMDEL, LLC
 335-8.00-36.04
 D/3071/167
 ZONED: AR-1

N/F: COMMDEL, LLC
 335-8.00-36.05
 D/3071/164
 ZONED: AR-1

N/F: OSCAR H. WARRINGTON JR., TRUSTEE
 335-8.00-36.06
 D/2472/216
 ZONED: AR-1

N/F: BEEBE MEDICAL CENTER, INC.
 335-8.00-36.08
 D/316/92
 D/314/83
 ZONED: CF(HC)

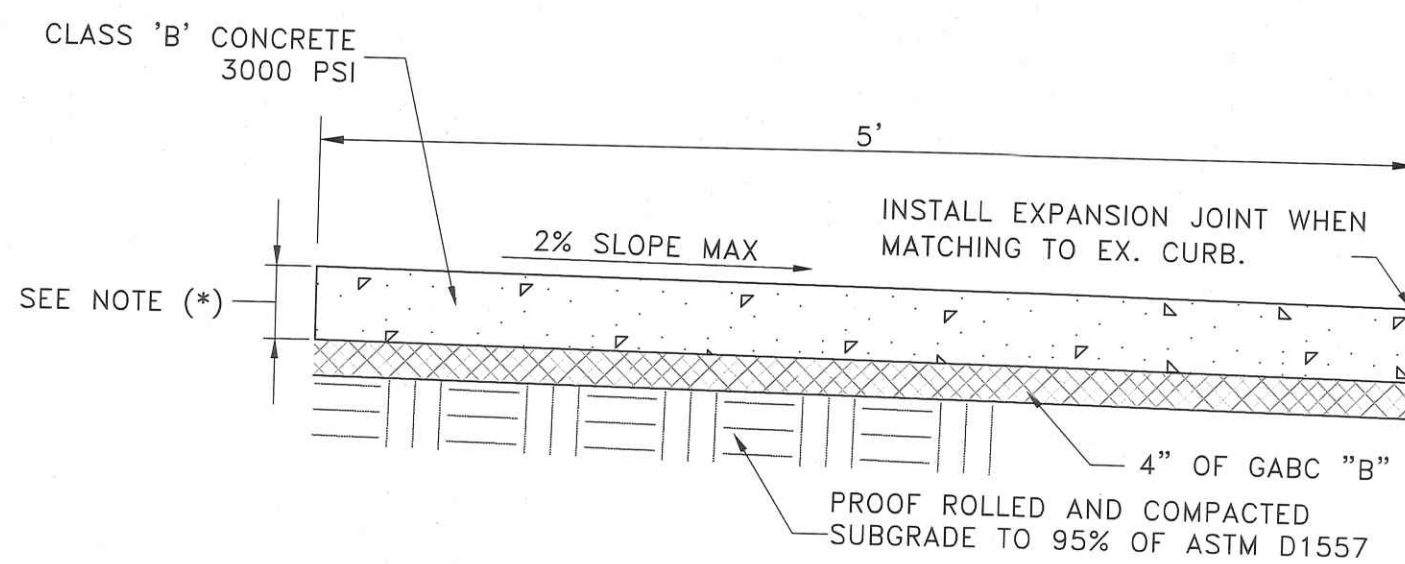


ARCHITECTS ENGINEERS SURVEYORS
 DAVIS, BOWEN & FRIEDEL, INC.
 SUDBURY, MARYLAND (410) 542-9901
 EASTON, MARYLAND (410) 775-7744

RECORD PLAN

**BIG OYSTER BREWERY EXPANSION
 LEWES & REHOBOTH HUNDRED
 SUSSEX COUNTY, DELAWARE**

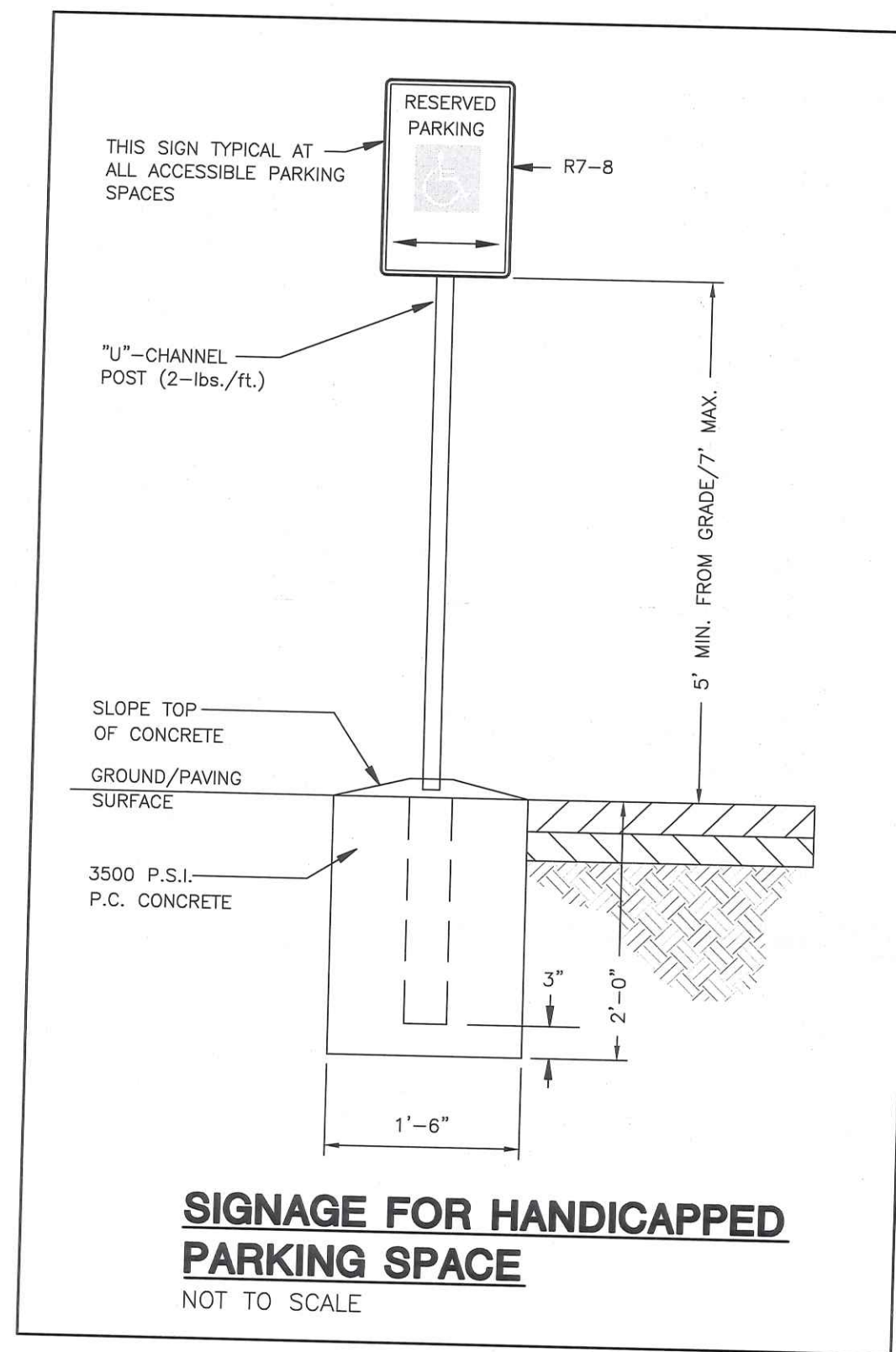
Revisions:
 Date: AUGUST, 2021
 Scale: 1" = 30'
 Dwn.By: TCB
 Proj.No.: 3007A002
 Dwg.No.: V-101



* - STANDARD SIDEWALK SHALL BE 4" THICK. FOR DEPRESSED AND TRANSITION AREAS, THE SIDEWALK SHALL BE 6" THICK.

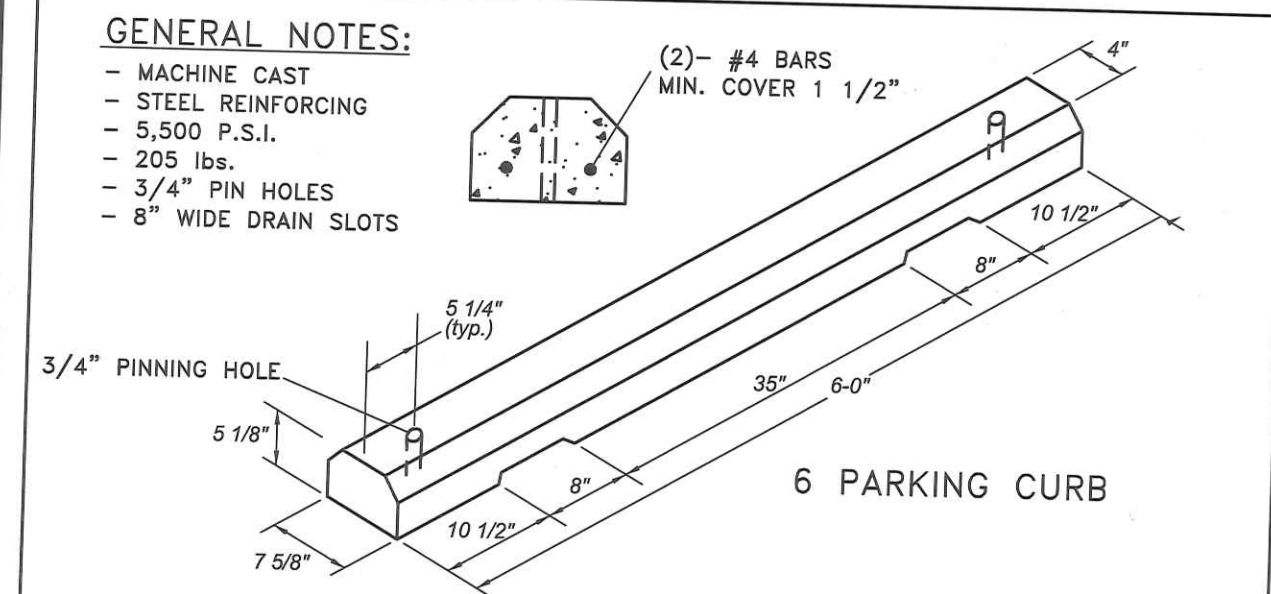
- NOTES:
1. MARK IN 5' SQUARES, USE PREMOLED EXPANSION JOINTS AT INTERVALS NOT GREATER THAN 20'.
 2. CONCRETE SIDEWALKS SHALL BE CONSTRUCTED AS PER DELDOT SPECIFICATIONS.

SITE SIDEWALK DETAIL
NOT TO SCALE

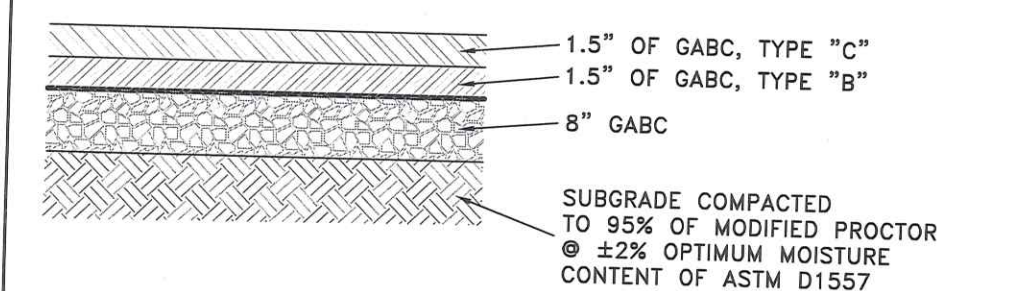


GENERAL NOTES:

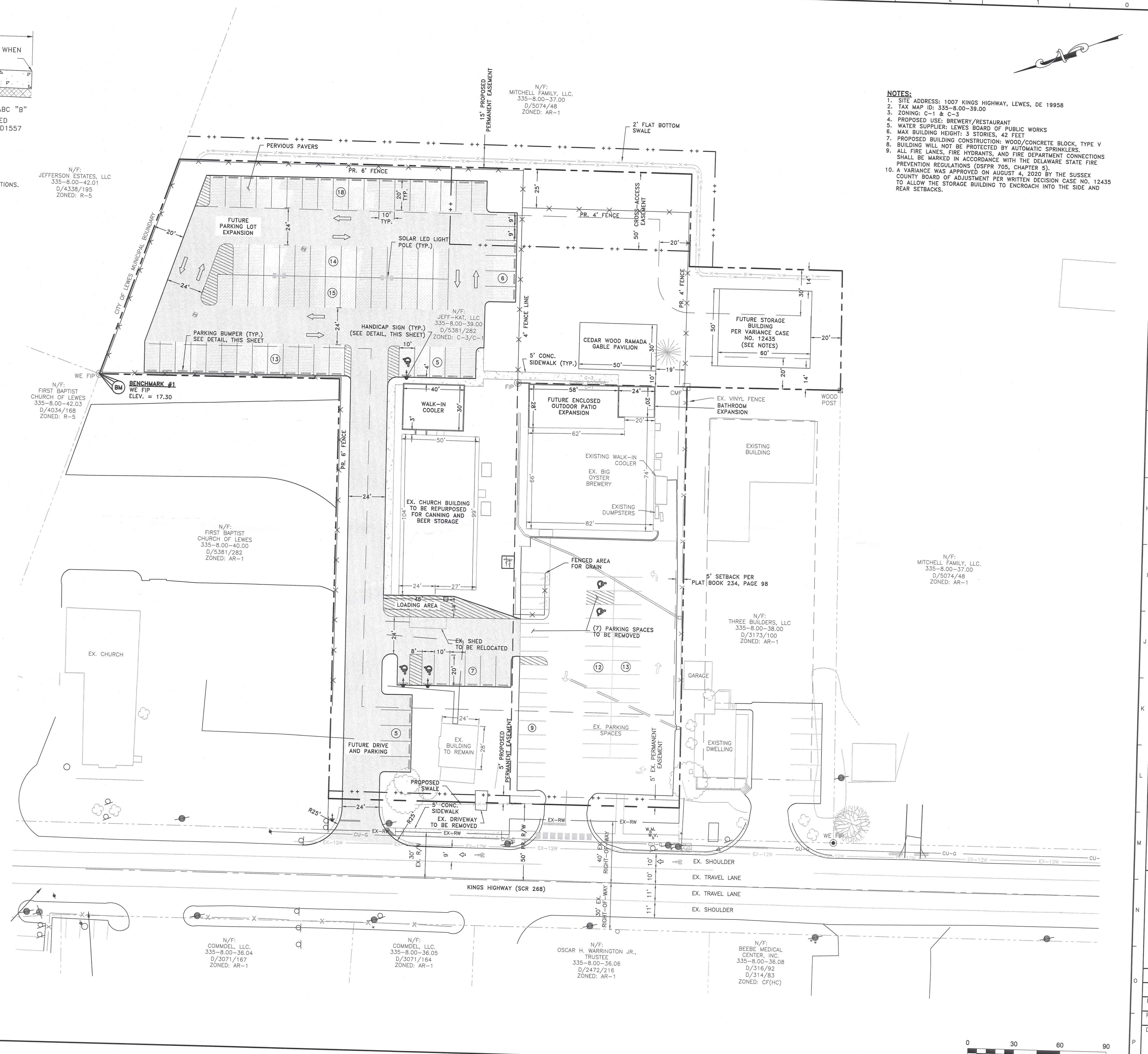
- MACHINE CAST
- STEEL REINFORCING
- 5,500 P.S.I.
- 205 lbs.
- 3/4" PIN HOLES
- 8" WIDE DRAIN SLOTS



STANDARD PARKING BUMP STOP DETAIL
NO SCALE
DETAIL FOR EXAMPLE (EQUIVALENT MAY BE USED)



PAVEMENT SECTION DETAIL
NO SCALE



- NOTES:**
1. SITE ADDRESS: 1007 KINGS HIGHWAY, LEWES, DE 19958
 2. TAX MAP ID: 335-8.00-39.00
 3. ZONING: C-1 & C-3
 4. PROPOSED USE: BREWERY/RESTAURANT
 5. WATER SUPPLIER: LEWES BOARD OF PUBLIC WORKS
 6. MAX BUILDING HEIGHT: 3 STORIES, 42 FEET
 7. PROPOSED BUILDING CONSTRUCTION: WOOD/CONCRETE BLOCK, TYPE V
 8. BUILDING WILL NOT BE PROTECTED BY AUTOMATIC SPRINKLERS.
 9. ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS (DSFPR 705, CHAPTER 5).
 10. A VARIANCE WAS APPROVED ON AUGUST 4, 2020 BY THE SUSSEX COUNTY BOARD OF ADJUSTMENT PER WRITTEN DECISION CASE NO. 12435 TO ALLOW THE STORAGE BUILDING TO ENCROACH INTO THE SIDE AND REAR SETBACKS.

BIG OYSTER BREWERY EXPANSION
LEWES & REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
1400 W. MARKET STREET
MILFORD, DE 19967
(410) 543-8001
(410) 770-1774

Date: AUGUST, 2021
Scale: 1" = 30'
Dwn. By: TCB
Proj. No.: 3007A002
Dwg. No.: C-101



August 2, 2021

*Michael R. Wigley, AIA, LEED AP
W. Zachary Crouch, P.E.
Michael E. Wheedleton, AIA
Jason P. Loar, P.E.
Ring W. Lardner, P.E.
Jamie L. Sechler, P.E.*

Sussex County Planning & Zoning Commission
Sussex County Administration Building
2 The Circle,
Georgetown, DE 19947

Attn: Robert C. Wheatley
Chairman

RE: Big Oyster Brewery Building Expansion (S-19-45)
Parking Approval
Tax Parcel No.: 3-35-8.00-39.00
DBF #3007A002.B01

Dear Mr. Wheatley:

On behalf of our client, Jeff-Kat, LLC, we are writing this letter to request that parking be allowed in the front-yard setback. First, we will provide a summary of the project.

Project Summary

Big Oyster Brewery (BOB) located on Kings Highway just outside Lewes city limits proposes to expand their restaurant and brewery. The brewpub has been in operation since 2017. The restaurant expansion includes a 1,585 sq. ft. addition on the rear of the existing building, a Walk-In Cooler and a Cedar Gable Pavilion. JeffKat, LLC has purchased 0.785 acres of land from the adjacent First Baptist Church of Lewes. The additional acreage has been joined with the Big Oyster parcel and is recorded in Deed Book 5381 Page 282. The acquired parcel was rezoned C-3 in December 2020. The parcel includes an existing entrance, single family dwelling (parsonage), and steel framed recreational building. JeffKat, LLC proposes to lease the property to BOB. BOB will utilize the steel building for expanding their brewery operation.

Front-yard Setback

The front yard setback is out of context with the existing neighborhood. The front yard setback for C-3 is 60 feet from the right-of-way line. Kings Highway is classified as a principal arterial by DelDOT, therefore 50' of right-of-way is required from the centerline of the road. To accommodate this, a 10' right-of-way dedication is required across the existing BOB frontage, and a 20' right-of-way dedication is required across the newly acquired church frontage. This puts the 60' setback, 50' into the existing BOB parking lot, and behind the church parsonage and Lane Builders front office.

Existing Parking

Along Kings Highway beginning at the Gallo Realty building and the Cape Professional Campus and moving north there are multiple instances of businesses that have parking close to the right-of-way line. Near the site, the church, BOB, and Lane Builders all have parking within the 60' setback line. Across the street there is parking close to the right-of-way line as well.

For all the reasons listed above, we respectfully request that parking be allowed within the front setback line as it is in context with the neighborhood and would not negatively affect adjacent properties. A sketch showing the parking location is included for reference.

If you have any questions or need additional information, please contact me at (302) 424-1441 or via email at cdm@dbfinc.com.

Sincerely,
DAVIS, BOWEN & FRIEDEL, INC.



Cliff Mumford, P.E.
Associate



**TO: Sussex County
 Planning & Zoning Dept.**

**DATE: 2 August 2021
 JOB NO: 21-0403
 ATTN: Christin Scott
 RE: SoDel Office - Rehoboth**

We are sending you: Attached Under separate cover via: ups
 Shop drawings Prints Plans Specifications
 Copy of letter Change Order Submittals

Copies	Date	No.	Description
1	08/02/21		COVID Intake Document
1	08/02/21		Transmittal
1	07/29/21		Letter (Parking in Setback Waiver Request)
1	07/30/21		Letter (Parking Reduction Waiver Request)
1	07/30/21		Rendering (11x17)
1	07/22/21		Preliminary Site Plan (Revised) (S1)
1	07/22/21		Preliminary Demo Plan (D1)
1	07/30/21		Preliminary Lighting Plan (E-301)
1	07/30/21		Floor Plan Exhibits for Parking Reduction (A-101)
1	07/30/21		Building Elevations (A-201, A-202)

THESE ARE TRANSMITTED as checked below:

- | | |
|--|---|
| <input type="checkbox"/> For approval | <input type="checkbox"/> Approved |
| <input type="checkbox"/> As requested | <input type="checkbox"/> Returned for corrections |
| <input checked="" type="checkbox"/> For review and comment | <input type="checkbox"/> For your signature |
| <input type="checkbox"/> For bids due | <input type="checkbox"/> Approved for payment |
| <input type="checkbox"/> For your use | <input type="checkbox"/> Approved as Noted |
| <input type="checkbox"/> Reviewed | <input type="checkbox"/> Reviewed with Notations |

REMARKS:

Christin:

Attached are revised plans based on Planning & Zoning Commission meeting on July 22, 2021. The Commission deferred action on the project and requested additional information to be provided on the parking reduction waiver request. They asked that documents be provided that give an explanation of how this reduction would actually work for the proposed use and to provide them with building elevations.

Based on meetings with DELDOT, SCD, and the PZ meeting, the client made revisions to the plans per suggestions made by those various agencies. The parking was moved away from the daylight easement for DELDOT, provided 15% reduction in impervious surface for SCD (using Geoblock for overflow parking), and based on comments from PZ, the building was reduced

THE KERCHER GROUP, INC.



which reduces the total number of spaces required. There are still (12) spaces that are paved, however, there are now an additional (7) temporary spaces on a grassed surface using the Geoblock system. The Geoblock system achieves the reduction of impervious as vetted by SCD, plus gives additional spaces PZ asked for.

Also included with this submission, are letters and exhibits related to the parking. Floor plans are being provided that highlight areas used by the employees to justify the number of parking spaces. Building elevations are being provided at the request of the Commission.

Thank you for your help and please do not hesitate to contact me at your earliest convenience if you should have any questions.

SINCERELY

Kevin Smith



July 29, 2021

Mr. Jamie Whitehouse, Director
Sussex County Planning and Zoning Department
P.O. Box 417
Georgetown, DE 19947

RE: SoDel Concepts Office – Rehoboth Beach
TM#: 334-20.13-27.00

Dear Mr. Whitehouse:

As per a Planning & Zoning Commission Meeting on July 22, 2021, the above referenced project was deferred by the Commission. The Commission requested additional information to be provided on the parking reduction waiver request. They asked that documents be provided that explain how this reduction would actually work for the proposed use and to provide them with building elevations. Those plans and exhibits are included with the revised submittal package.

Also discussed by the Commission was the request to allow parking within the front yard and corner yard setbacks. Based on meetings with DELDOT, SCD, and the PZ meeting, the client made revisions to the plans per suggestions made by those various agencies. The parking was moved away from the daylight easement for DELDOT, provided 15% reduction in impervious surface for SCD (using Geoblock for overflow parking), and based on comments from PZ, the building was reduced which reduces the total number of spaces required. It shall be noted that the reduction of the building and calculations for the usable area indicate that only fifteen (15) parking spaces are required. There are still (12) spaces that are paved, however, there are now an additional (7) temporary spaces on a grassed surface using the Geoblock system. The Geoblock system achieves the reduction of impervious as vetted by SCD, plus gives additional spaces PZ asked for. Although revision to the plans were made based on those agency suggestions, parking remains in the front yard and corner yard setbacks. At this meeting, the Commission did not pose any objections to the parking within these setbacks.

Please allow this letter to serve as a formal waiver request to allow four (4) paved parking spaces and seven (7) grassed overflow parking spaces to be located within the front yard and corner front yard setback as well as allow the reduction from the required fifteen (15) parking spaces down to the twelve (12) spaces as shown and dimensioned on the plans, if the grassed overflow parking is not considered for the total parking spaces provided.

A separate letter shall accompany this request regarding the reduction of parking shown on the plans. The applicant has noted that the twelve (12) spaces shall be sufficient for their use with the seven (7) grassed overflow parking spaces being adequate at various times during business operations.

THE KERCHER GROUP, INC.

If you should have any questions regarding a statement made within this document please do not hesitate to contact our office at your earliest convenience.

Thank you for your attention and consideration.

Sincerely,

A handwritten signature in blue ink, consisting of several loops and a long horizontal stroke extending to the right.

The Kercher Group, Inc.
Kevin Smith, Project Manager



7/30/2021

Mr. Jamie Whitehouse, Director
Sussex County Planning and Zoning Department
P.O. Box 417
Georgetown, DE 19947

Re: SoDel Concepts Office – Rehoboth Beach
TM#: 334-20.13-27.00

Dear Mr. Whitehouse,

In response to the planning commissions review and questions regarding our request for the parking waiver our team is offering the following response.

The proposed building is a **two story** structure with access to the attic. The Attic is strictly for mechanical and maintenance of the equipment. We have provided conceptual renderings of the building to reinforce this.

As proposed, 15 spaces are required. We have 12 paved spaces on site and 19 total spaces when including the geogrid. Given the possibility that the geogrid area that adds 7 additional spaces, may not be considered, we offer the following additional information in the hopes to reinforce our position and request for a waiver:

1. Sodel has a significant portion of current employees that work remote. Either from home or from other restaurant locations. This will be the primary reason for the lower occupancy we are requesting. We have created a plan that permits an open work environment so that employees can freely work in different areas. These open areas are for the twelve to sixteen accounted for inhabitants.
2. The Zoning Code requires offices to provide parking at the rate of '1 per 200 square feet of floor area. *Exclusive of basement, if not used for office or customer service purposes*'. Floor Area for commercial, business, etc. is defined as 'the sum of the gross horizontal areas of the several floors of a building measured from the exterior faces of the exterior walls or from the center line of walls separating two buildings, but not including attic or basement storage space, ... mechanical utility equipment areas, rest rooms and stairs.' By excluding these areas, our total floor area comes to 3,734sf. This would require 19 parking spaces. However, when calculating the walking paths and circulation areas (463sf-1st level & 445sf-2nd level) we come to 2,826sf of usable area. This would require the 15 parking spaces noted above.

542 Riverside Drive
Salisbury, MD 21801
(410) 742-0238 (office)
(888) 879-7149 (fax)
fisherarchitecture.com

However, if we look even deeper into the programming of this business, there are additional areas we feel should allow us to reduce the space.

- a. The conference room and communal areas (991sf) will require 5 spaces.
- b. The large private offices (333sf) would require 2 when in reality only one per office is needed.

This would allow us to reduce by another six spaces; which would equate to 11 required spaces. However, we are asking for your permission to provide 12 spaces. We have provided a color coded plan within this package to elaborate exactly where the 12 employees would be. This diagram also clarifies area we consider communal within a department (where employees within that department can sit down together and plan). It also clarifies areas we consider communal for all employees within the building to meet.

3. This site currently has two street entrances, one from Anne Ave and one from Rt.1. DelDot has required that the Rt.1 entrance be closed and that we respect the 20 foot clear sight easement on the corner. These two requirements of this site reduce the amount of space available for additional parking and vehicular circulation.
4. Ownerships current employee base consists of many local residents that currently do and plan to continue to bike to work when attendance in the office is warranted. For that reason, we have also added a bike rack to accommodate.

Sodel has demonstrated on many occasions in the County that they are very responsible neighbors and understand the impact they are making in the immediate surrounding areas; they are committed to making positive impacts when they build. We appreciate your consideration on this matter and look forward to your feedback.

Sincerely,



Keith P. Fisher AIA LEED AP

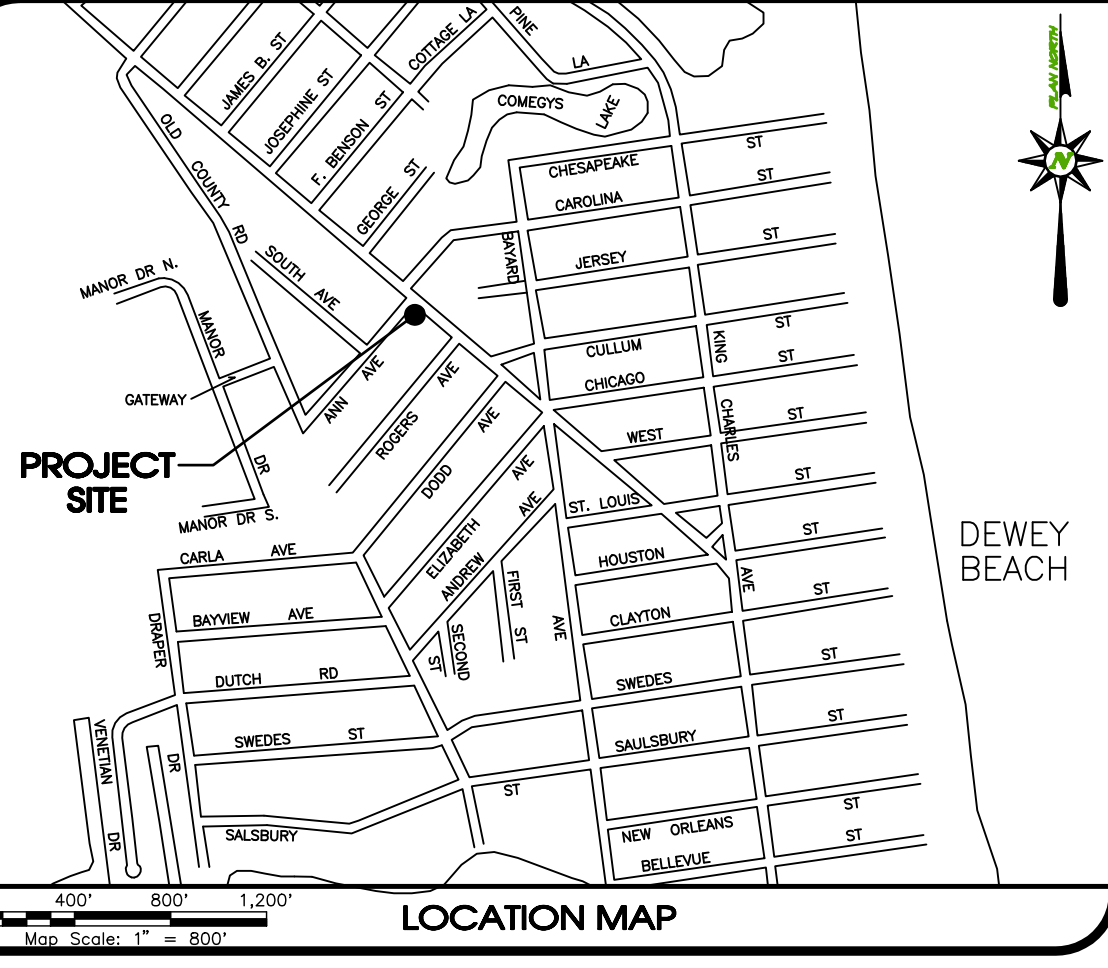
Principal

Fisher Architecture, LLC

542 Riverside Dr.

Salisbury MD. 21801

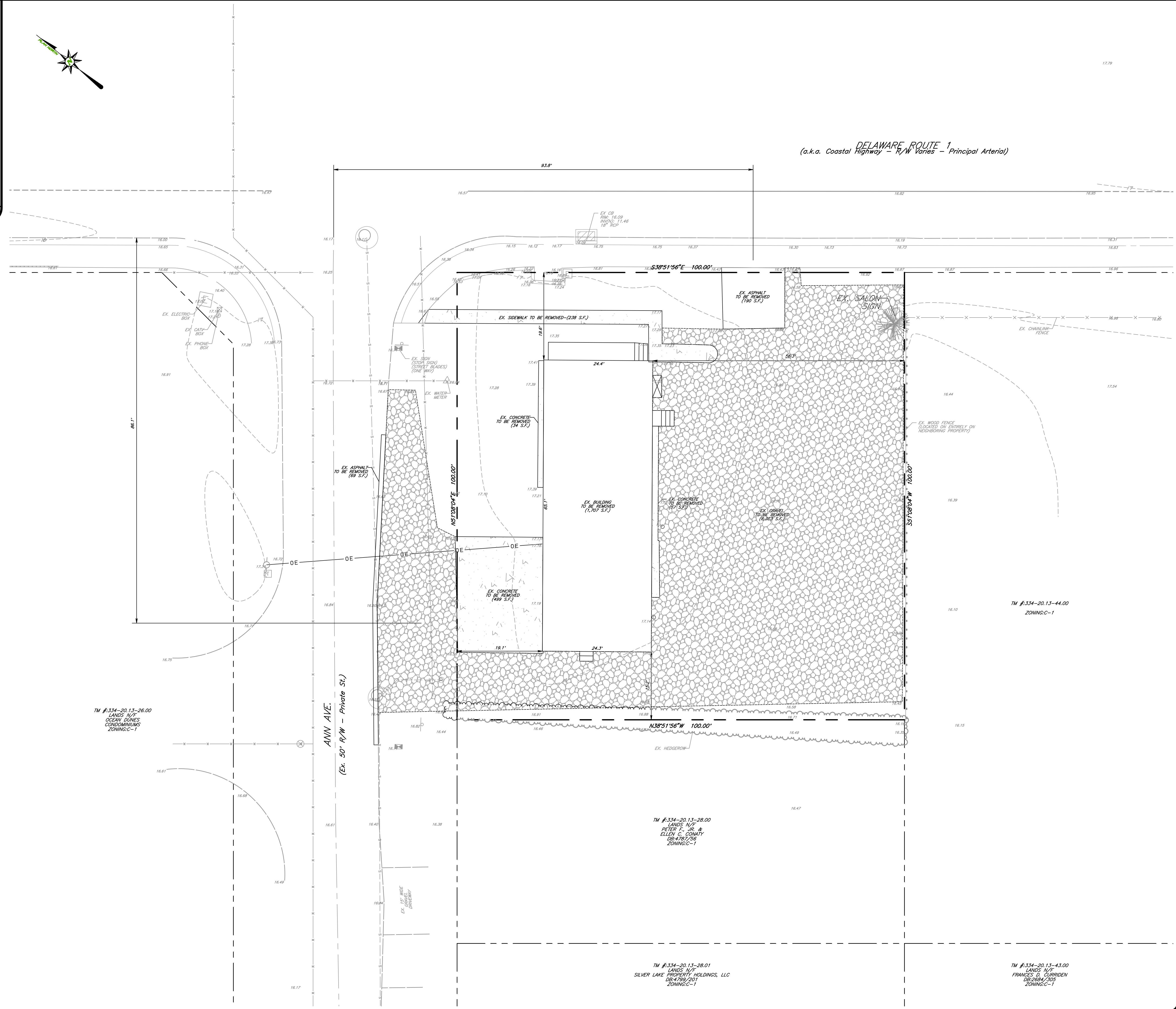




PLAN LEGEND

- SUPPLEMENTAL CONTOUR (1' INTERVAL)
- - - INDEX CONTOUR (5' INTERVAL)
- EXISTING PAVEMENT EXTENTS
- EXISTING PAVEMENT STRIPING
- EXISTING PROPERTY BOUNDARY
- - - ADJOINING PROPERTY LINE
- EXISTING SANITARY SEWER MAIN
- - - EXISTING FENCE LINE (CHAIN LINK)
- - - EXISTING FENCE LINE (WOOD STOCKADE)
- - - EXISTING CURB
- - - EXISTING SIDEWALK
- - - EXISTING CENTERLINE OF ROAD
- EXISTING CONCRETE
- EXISTING GRAVEL
- EXISTING SANITARY MANHOLE
- EXISTING DRAINAGE INLET
- + EXISTING SIGN
- EXISTING MAILBOX
- ⊙ EXISTING UTILITY POLE

EXISTING IMPERVIOUS TO BE REMOVED	
BUILDING:	1,707 Sq. Ft.
CONCRETE:	829 Sq. Ft.
ASPHALT:	260 Sq. Ft.
GRAVEL:	6,383 Sq. Ft.
TOTAL:	9,179 Sq. Ft.



NO.	DATE	DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE ORDINANCES OF SUSSEX COUNTY AND THE LAWS OF THE STATE OF DELAWARE.

DESIGN PROFESSIONAL: _____ DATE: _____

APPROVED BY: _____ DATE: _____
 LOCAL: _____ K.T.S.
 STATE: _____ K.T.S.
 FEDERAL: _____ K.T.S.

SCALE: IN FEET (1" = 10')

ONLY PLANS SUBMITTED TO SUSSEX COUNTY AND DELAWARE ARE CONSIDERED TO BE OFFICIAL AND BOUND BY THE USER. THIS PLAN IS NOT VALID FOR ANY OTHER USES. ANY REVISIONS TO THIS PLAN MUST BE APPROVED BY THE DESIGNER. THE DESIGNER'S LIABILITY IS LIMITED TO THE SCOPE OF THE CONTRACT. THE DESIGNER IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE USER ASSUMES ALL LIABILITY FOR THE ACCURACY AND COMPLETION OF THIS PLAN. © COPYRIGHT 2021, THE KERCHER GROUP, INC.

OWNER/APPLICANT: SODEL DEVELOPMENT, LLC
 REGISTERED BUSINESS SE 1997A
 Email: ketcher@ketchergroup.com

PARCEL INFORMATION: TM# 334-20.13-28.00 PARCEL 27.00
 PARCEL AREA: 0.000 SQ. FT.
 DEED BOOK: 5387/122

PRELIMINARY PLAN (Not To Be Recorded)
EXISTING FEATURES & DEMO PLAN
SODEL OFFICE - REHOBOTH
 LEWES & REHOBOTH HUNDRED - SUSSEX COUNTY - DELAWARE

THE KERCHER GROUP, INC.
 CONSULTING • SYSTEMS • ENGINEERING
 37585 REHOBOTH AVE. UNIT 11 - REHOBOTH BEACH, DELAWARE 19971
 302.854.9062 (Voice) 302.854.9064 (Fax) www.ketchergroup.com

JOB No: 21-0403
 PLAN DATE: May 14, 2021
 SHEET No.: **D1**

TM #334-20.13-28.00
 LANDS V/F
 OCEAN DUNES CONDOMINIUMS
 ZONING-C-1

ANN AVE.
 (Ex. 50' R/W - Private St.)

TM #334-20.13-28.00
 LANDS V/F
 PETER F. JR. &
 ELLEN C. COMPTON
 DB:4787/56
 ZONING-C-1

TM #334-20.13-28.01
 LANDS V/F
 SILVER LAKE PROPERTY HOLDINGS, LLC
 DB:4789/201
 ZONING-C-1

TM #334-20.13-43.00
 LANDS V/F
 FRANCES D. CURRIEN
 DB:2684/305
 ZONING-C-1

Scale office - Rehoboth, Del., 2021 (11/19)

ABBREVIATED LIGHTING FIXTURE SCHEDULE								
TYPE	MANUFACTURER	CATALOG #	LAMPS	VOLT	MOUNTING	REMARKS	QTY	WATTS
G1	PHILIPS/STONCO	LPW-16-50-NW-G3-2-UNV-xx	80 CRI, 74,000K, 5,400 LUMEN LED	120	SURFACE	SLIM EXTERIOR SURFACE MOUNTED LED FIXTURE W/TYPE 2 DISTRIBUTION. UL LISTED FOR WET LOCATIONS. FINISH SELECTED BY OTHERS.	5	48
H	PHILIPS/GARDCO	ECF-S-32L-1A-NW-G2-AR-3-UNV- F1-RPA-xx	70 CRI, 4,000K, 13,000 LUMEN LED	120	POLE	ARCHITECTURAL OUTDOOR LOW PROFILE POLE ARM MOUNTED FIXTURE WITH TYPE III DISTRIBUTION, ROPE POLE ADAPTER, SINGLE FUSE, & DIFFUSING LENS. PROVIDE 20' TALL, ROUND POLE. FINISHED SELECTED BY OTHERS.	2	106

NOTES:

- ALL LIGHTING FIXTURES SHALL BE APPROVED BY THE OWNER / ARCHITECT PRIOR TO ORDERING AND INSTALLING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ORDERING AND COORDINATION ALL FIXTURE OPTIONS AND ACCESSORIES TO ENSURE A COMPLETE QUALITY INSTALLATION

DELAWARE ROUTE 1

(D.A.C. Coastal Highway - 110' R/W Ref.: DELDOT Contract 67-10-01.

GENERAL NOTES:

- REFER TO ELECTRICAL PANEL SCHEDULES FOR WIRE SIZES, BREAKER SIZES, AND OTHER INFORMATION NOT SHOWN ON THIS DRAWING.
- ALL EQUIPMENT, CONDUITS, WIRING ETC. THAT PENETRATIONS INTO FIRE RATED WALLS, PARTITIONS, OR BARRIERS MUST BE SEALED, FIRE RATED, & APPROVED BY THE AHJ.
- PANELBOARDS TO UTILIZE BOLT-ON CIRCUIT BREAKERS.
- ALL LOW-VOLTAGE OUTLETS TO HAVE CONDUIT STUBS UP TO CEILING & TURNED OUT.
- COORDINATE WITH SUPPLIERS OF ALL EQUIPMENT TO ENSURE ALL CONDUITS, CIRCUITS, & POWER CONNECTIONS ARE INSTALLED.
- PROVIDE/COORDINATE MOUNTING BLOCK(S) FOR ALL EXTERIOR LIGHTS AND RECEPTACLES.
- FIELD CALIBRATE OCCUPANCY SENSOR(S) TO AVOID INADVERTENT ACTIVATION OF LIGHT(S).

DRAWING NOTES:

- LIGHTING TO BE CONTROLLED BY TIMECLOCK & PHOTOCCELL. COORDINATE "OFF" TIMES WITH OWNER PRIOR TO COMPLETION. TIMECLOCK TO BE LOCATED ADJACENT TO PANEL LR1.
- EXTEND CIRCUITRY BELOW SLAB & TURN UP INTO WALL. EXTEND CIRCUITRY THROUGH BUILDING TO PANEL LR1.



DATE: 04-04-2022
 USER: JLD
 EXPIRATION DATE: 06-30-2022

THE DOCUMENTS PREPARED BY FISHER ARCHITECTURE, LLC ARE SOLELY FOR THE PURPOSES OF THE SPECIFIED PROJECT. THEY ARE NOT INTENDED OR AUTHORIZED FOR USE ON ANY OTHER PROJECT. FISHER ARCHITECTURE, LLC MAKES NO REPRESENTATION AS TO THE SUITABILITY FOR ANY OTHER USE. ALL DOCUMENTS PREPARED BY FISHER ARCHITECTURE, LLC ARE INSTRUMENTS OF PROFESSIONAL SERVICE IN RESPECT OF THE PROJECT. THESE DOCUMENTS ARE, AND SHALL REMAIN, THE PROPERTY OF FISHER ARCHITECTURE, LLC.

CONSULTANTS:

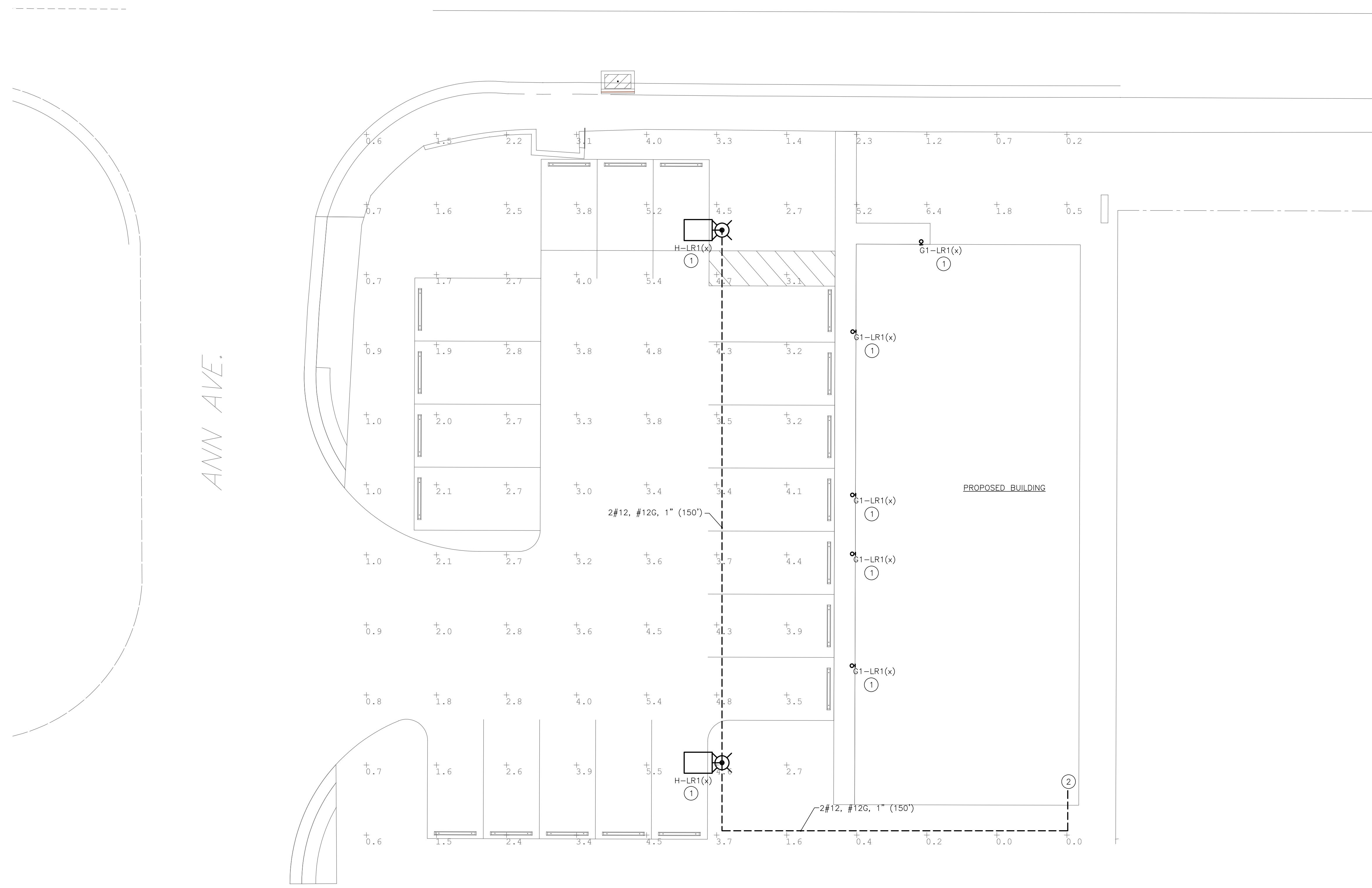
SO-DEL OFFICE
 20968 DE-1
 REHOBOTH BEACH, DE 19971

SHEET INFO:

**OVERALL SITE PLAN
 ELECTRICAL**

REV	DATE	DESCRIPTION

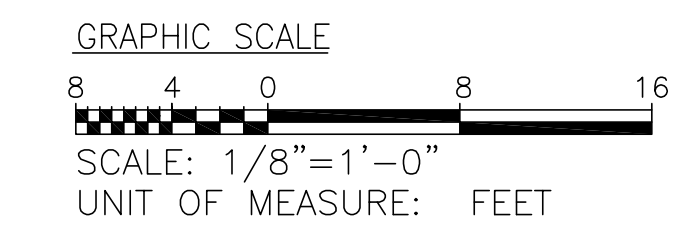
E-301



ANN AVE.

PROPOSED BUILDING

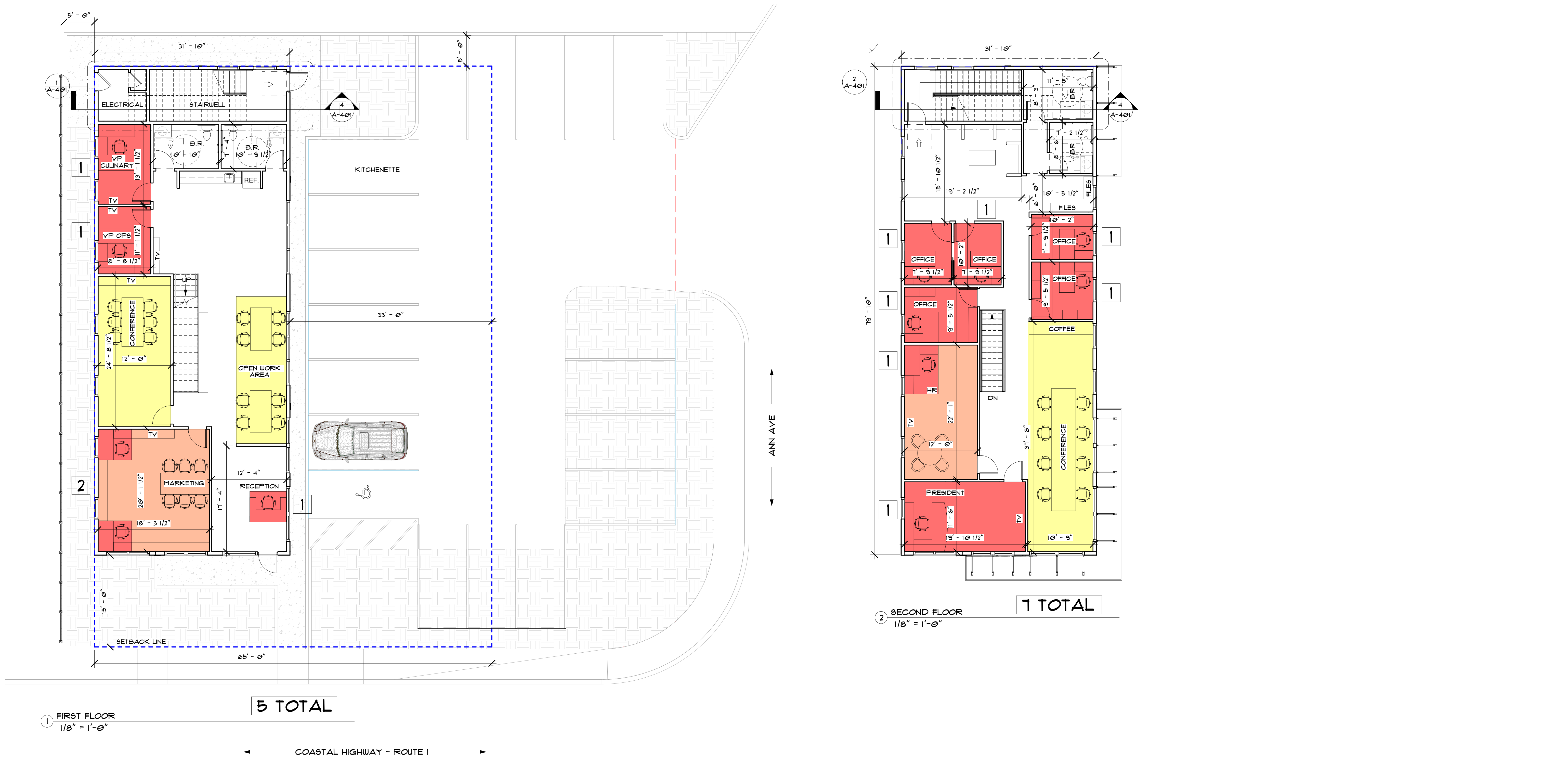
1 OVERALL SITE PLAN — ELECTRICAL
 SCALE: 1/8" = 1'-0"



REV	DATE	DESCRIPTION

LEGEND

- STAFF OFFICE/DESK
- DEPARTMENT BREAK-OUT AREAS
- MEETING AREAS



1 FIRST FLOOR
1/8" = 1'-0"

5 TOTAL


← COASTAL HIGHWAY - ROUTE 1 →

2 SECOND FLOOR
1/8" = 1'-0"

7 TOTAL

↑ ANN AVE

SEAL:



**FOR REVIEW
ONLY NOT FOR
CONSTRUCTION**

PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM
A LICENSED ARCHITECT UNDER THE LAWS
OF THE STATE OF DELAWARE.

LICENSE NO.: S5-0007610
EXPIRATION NO.: 01.31.2022

THE DOCUMENTS PREPARED BY FISHER
ARCHITECTURE, LLC ARE SOLELY FOR
THE PURPOSES OF THE SPECIFIED
PROJECT. THEY ARE NOT OWNED OR
AUTHORIZED FOR USE ON ANY OTHER
PROJECT. FISHER ARCHITECTURE, LLC
MAKES NO REPRESENTATION AS TO
THEIR SUITABILITY FOR ANY OTHER USE.
ALL DOCUMENTS PREPARED BY FISHER
ARCHITECTURE, LLC ARE INSTRUMENTS
OF PROFESSIONAL SERVICE IN RESPECT
OF THE PROJECT. THESE DOCUMENTS
ARE, AND SHALL REMAIN, THE PROPERTY
OF FISHER ARCHITECTURE, LLC.

CONSULTANTS:

SODEL OFFICE
20968 DE-1
REHOBOTH BEACH, DE 19871

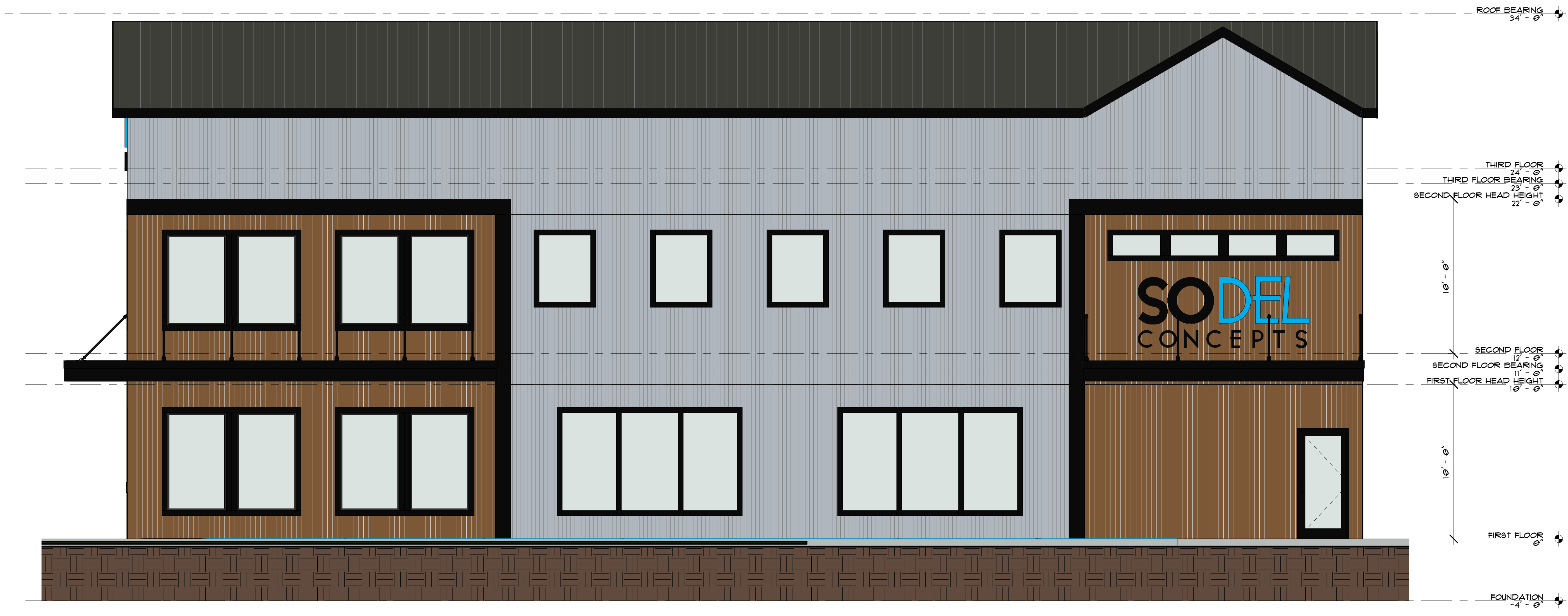
SHEET INFO:

ELEVATIONS

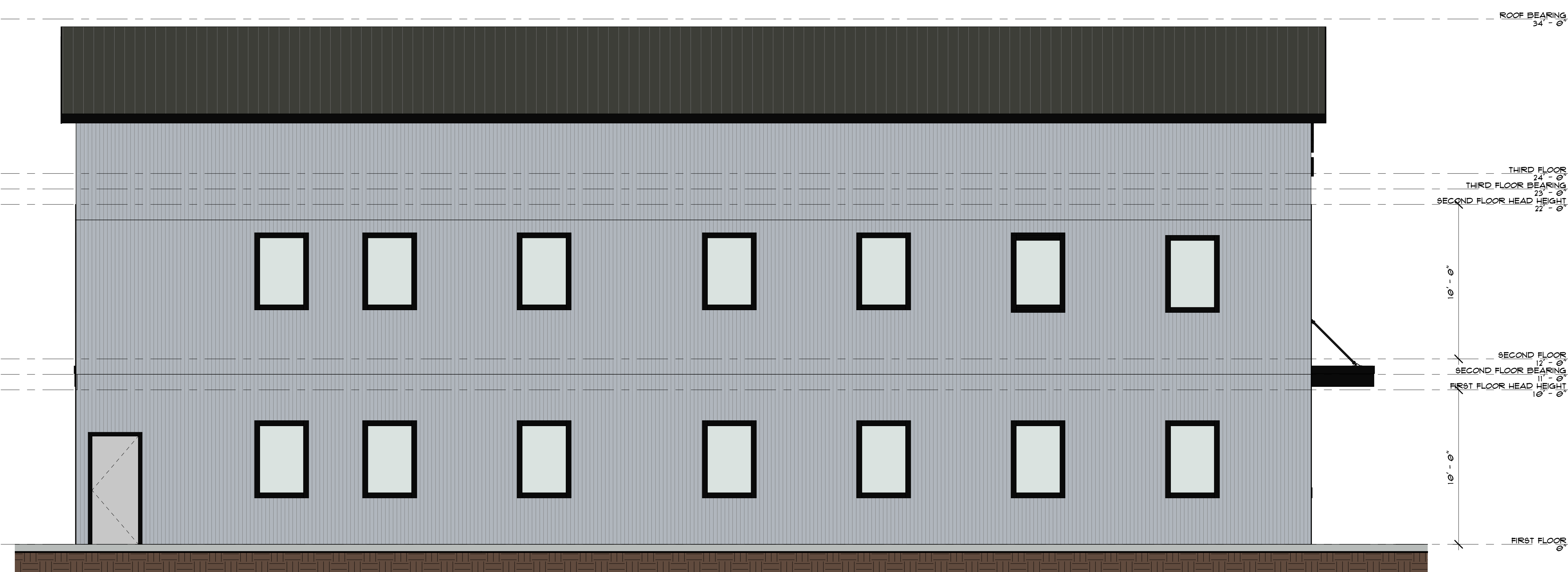
REV	DATE	DESCRIPTION

DATE: 01/20/22
PROJECT NO: 20200109
SCALE: 1/4" = 1'-0"
FROM MGR: H. MORRISON
DRAWN BY: Author
SHEET NUMBER:

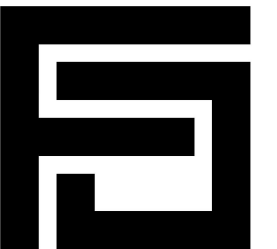
A-201



① ELEVATION EAST
1/4" = 1'-0"



③ ELEVATION WEST
1/4" = 1'-0"



FISHER ARCHITECTURE
 Fisher Architecture, LLC
 542 Riverside Drive
 Salisbury, MD 21801
 (410) 742-0238

SEAL:
FOR REVIEW ONLY NOT FOR CONSTRUCTION

PROFESSIONAL CERTIFICATION:
 I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF DELAWARE.
LICENSE NO.: 0013955
EXPIRATION NO.: 09.23.2022

CONSULTANTS:

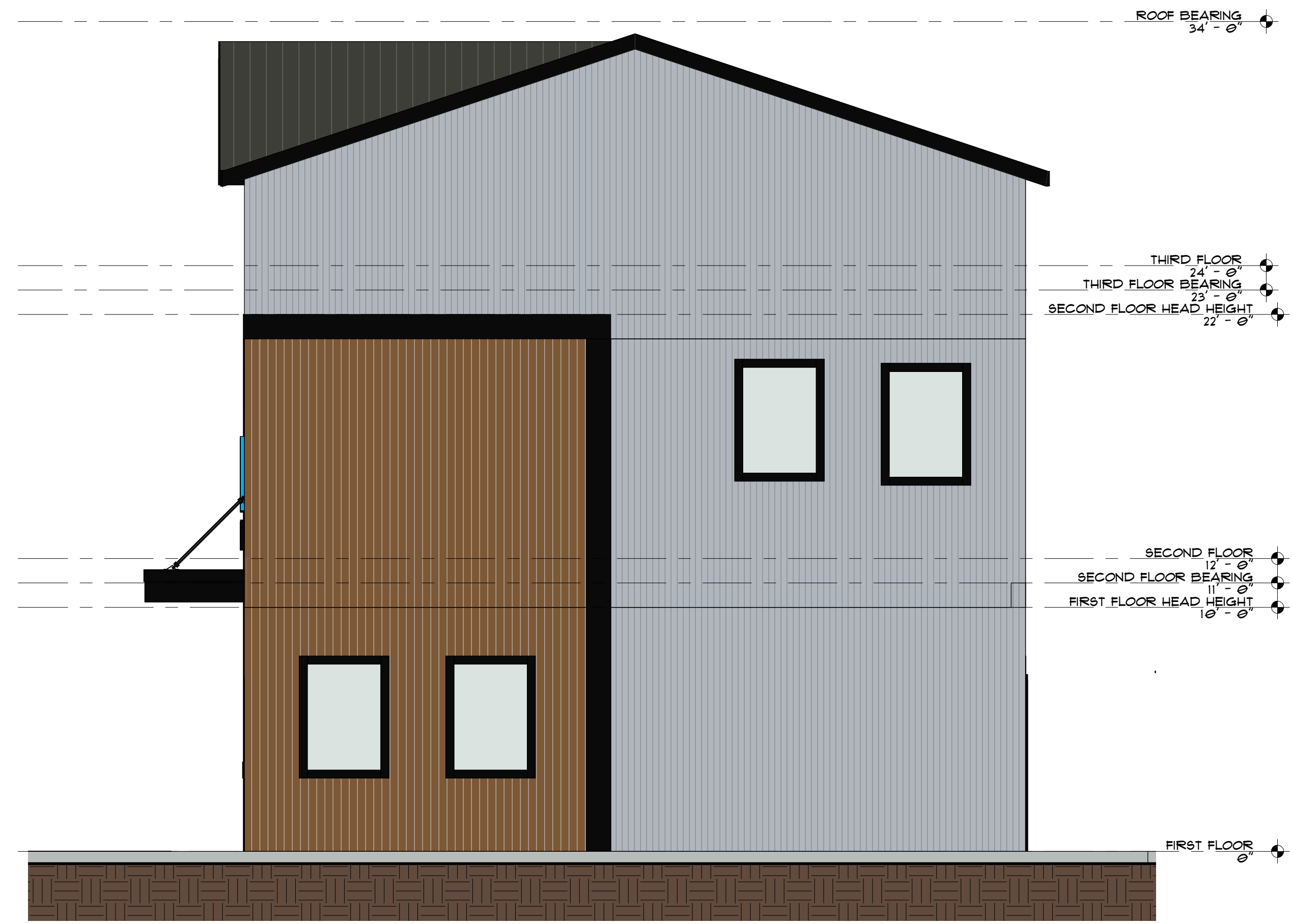
SODEL OFFICE
 20968 DE-1
 REHOBOTH BEACH, DE 19971

SHEET INFO:

ELEVATIONS

REV.	DATE	DESCRIPTION
	03/08/22	07
	2020109	
	1/4" = 1'-0"	
	H. MORRISON	
	Author	

A-202



ELEVATION NORTH
 1/4" = 1'-0"



ELEVATION SOUTH
 1/4" = 1'-0"

Christin Scott

From: Kevin T Smith <kevin.t.smith@mottmac.com>
Sent: Friday, September 10, 2021 9:40 AM
To: Jamie Whitehouse; Christin Scott
Subject: RE: SoDel Office - Rehoboth Beach

CAUTION: This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

Jamie/Christin:

We appreciate your department and some of the Commission members allowing us to briefly explain that this application did not seem to be represented accurately when introduced and that all of the materials may not have been fully reviewed prior to the discussion.

I'd like to highlight some points of the "REVISED" Site Plan and the requested additional information provided.

REDUCED BUILDING SIZE - reduced by 686 s.f., moved the stairwell to the interior which allowed additional parking.

NUMBER OF STORIES - there was some discussion about the building being 3-story on the original plan. This was not an accurate representation of the building. The building was only 2-story with an attic access for possible minimal storage/mechanicals/electrical, etc. The usable office areas are to be limited to 2 floors.

ADDED PARKING SPACES - with the revised building dimensions, an additional 7 spaces were added to the plan for a total of 19 spaces

CALCULATION FOR PARKING SPACES REQUIRED - without any interpretation, 26 spaces would be required, however, in the packet, documentation was provided to show how the buildings usable area could be used for the parking calculation. If building usable area is used, only 15 spaces are required. Provided are 19 spaces, which are 4 more that the building usable area calculation requires, however, would be 7 spaces deficient with no interpretation is taken into consideration.

PARKING IN FRONT SETBACK - there are 10 spaces shown in the front setback, which is roughly half. Of those 10 spaces, only 4 of those spaces are paved and are located as far away from Coastal Hwy as possible.

DELINEATION OF SPACES - all parking spaces, including those that are unpaved (Geoblock) will have parking bumpers at a minimum. Paved spaces will be striped as well.

LIGHTING OF PARKING/BUILDING - lighting shall be downward facing and light shall not project onto neighboring properties.

OTHER AGENCIES - we have been in discussion with the Fire Marshal, SCD, and DELDOT. The Fire Marshal is satisfied with the access and are willing to approve the plan pending receipt of preliminary approval from the County. SCD has reviewed this revised layout and have no objection to the use of the Geoblock for the additional parking spaces and are willing to approve the plan pending receipt of preliminary approval from the

County. DELDOT has accepted this layout for review under their Small Entrance Approval process and are satisfied with the location of the entrance as shown with the elimination of the existing secondary access to Coastal Hwy. DELDOT appears to be willing to approve the plan as well, pending approval from the County.

After the meeting in July, the client understood that the request was not appropriate and decided to revise the plan to address the Commissions concerns about building size, number of stories, parking spaces. With that, the building was reduced (& reconfigured), the plan accurately depicts the number of stories (2 stories), and parking spaces have increased (to 19 spaces).

I hope that this email simplifies the revised application for your department and the Commission.

Please release this email to the Commission for their review prior to the next meeting. Please request the Commission ask a representative for the project to answer questions related to the items of concern, mainly what has been highlighted in this email.

Also, please place this project on the next available agenda for consideration for **Preliminary and Final** (with Final done administratively contingent on PZ receiving all agency approvals).

Thank you.

Kevin T. Smith

Designer - Civil

D 302.781.4346 C 302.542.7080

kevin.t.smith@mottmac.com

THE KERCHER GROUP, INC.

A Mott MacDonald Company

Strategic Infrastructure and Transportation Asset Management

Consulting | Systems | Engineering



Mott MacDonald
37385 Rehoboth Ave Extended
Unit 11
Rehoboth Beach
DE 19971
United States of America

[Website](#) | [Twitter](#) | [LinkedIn](#) | [Facebook](#) | [Instagram](#) | [YouTube](#)

The Kercher Group is now part of Mott MacDonald.
[Read our press release.](#)

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OFFICE OF DRINKING WATER PLANS (2 OF 3)
 FOR:
 SUSSEX COUNTY FILE S.P.S.-5-0294
THE WOODLANDS
SUBDIVISION
 BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE

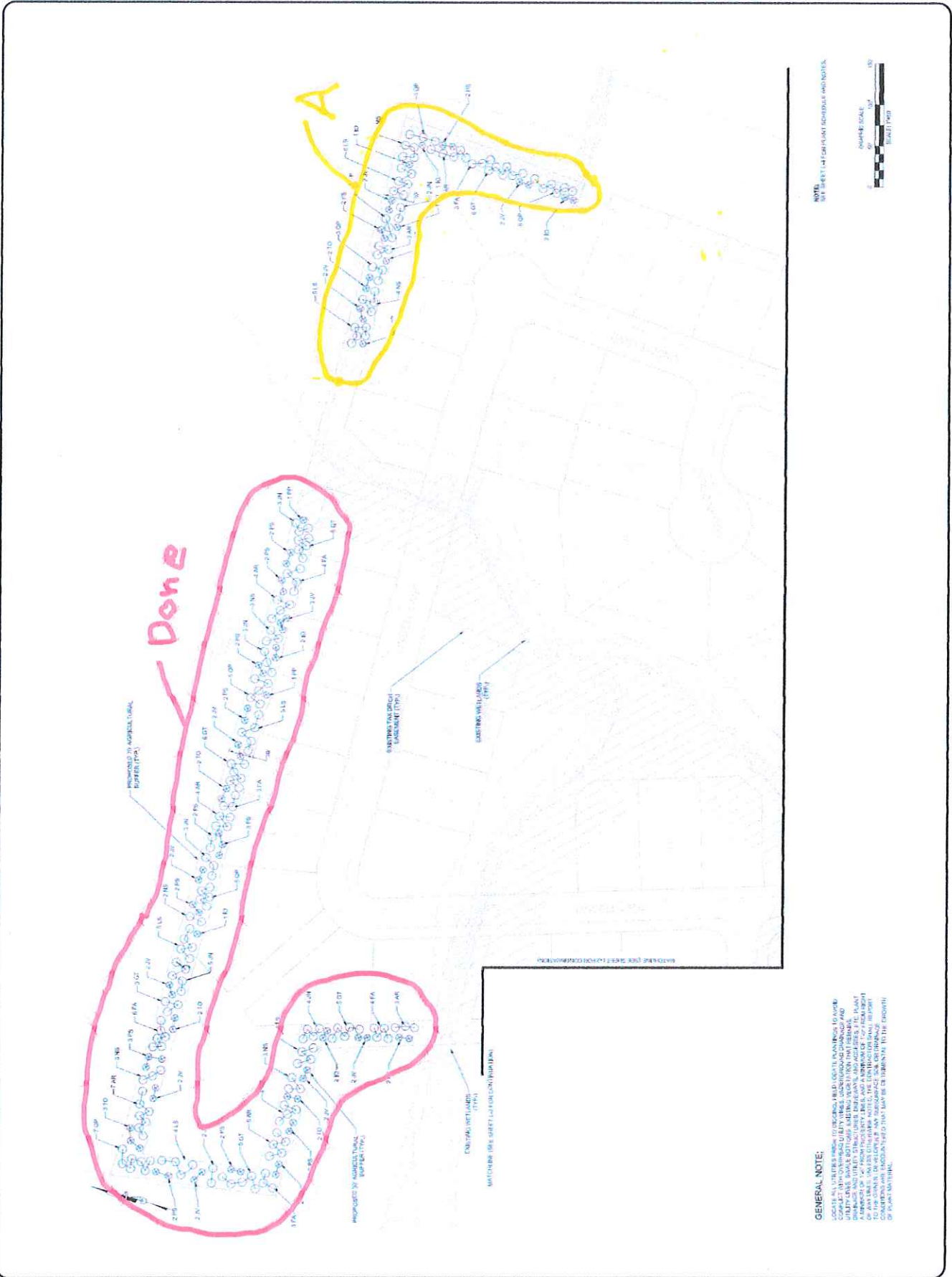
CEA CIVIL ENGINEERING ASSOCIATES, LLC
 101 N BRAD STREET
 HOCKESSY, DE 19709
 PHONE (302) 346-8653
 FAX (302) 346-8653
 WWW.CEA-CAE.COM

PROJECT NO.: 19-020
 DATE: 12/28/2019
 DESIGNER: J. R. SMITH
 CHECKED BY: J. R. SMITH
 DATE: 12/28/2019
 TITLE: DISTRIBUTION SYSTEM

REVISIONS

NO.	DATE	DESCRIPTION

DATE:



NOTE: SEE SHEET L-4 FOR PLANT SCHEDULE AND NOTES.



GENERAL NOTE:
 ALL CONDUITS SHALL BE 18\"/>

WOODLANDS DEVELOPMENT LLC

27 ATLANTIC AVENUE
OCEAN VIEW, DELAWARE 19970
302-841-3767
RJH@GULFSTREAMDE.NET

August 25, 2021

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning
P.O. Box 417
Georgetown, Delaware 19947

Subject: The Woodlands
134-19.00-30.00

Dear Mr. Whitehouse:

The Woodlands project has a requirement for a 30' forested agricultural buffer. I am writing you with homeowner concerns on the 30 ft. buffer required at specific locations on the development.

Attached is the buffer plan approved as part of our project. The plans are identified as Woodlands Current Forest Planting Status Page 1 and Page 2.

We have completed most of the required forest buffer tree plantings, those areas marked in red. When we staked out areas (A) and (B), marked in yellow, Homeowners asked the purpose of the stakeout. We explained they were the limits of a 30 ft. forested buffer where we are required to plant new trees. The homeowners were not happy about this as many had bought the lots with the existing mature trees already behind. Many of the homeowners, some living in homes for 3 years, had gone to great expense doing additional landscaping behind the homes and are maintaining the same. Some of this landscaping may have to be removed in order to plant the 30' buffer.

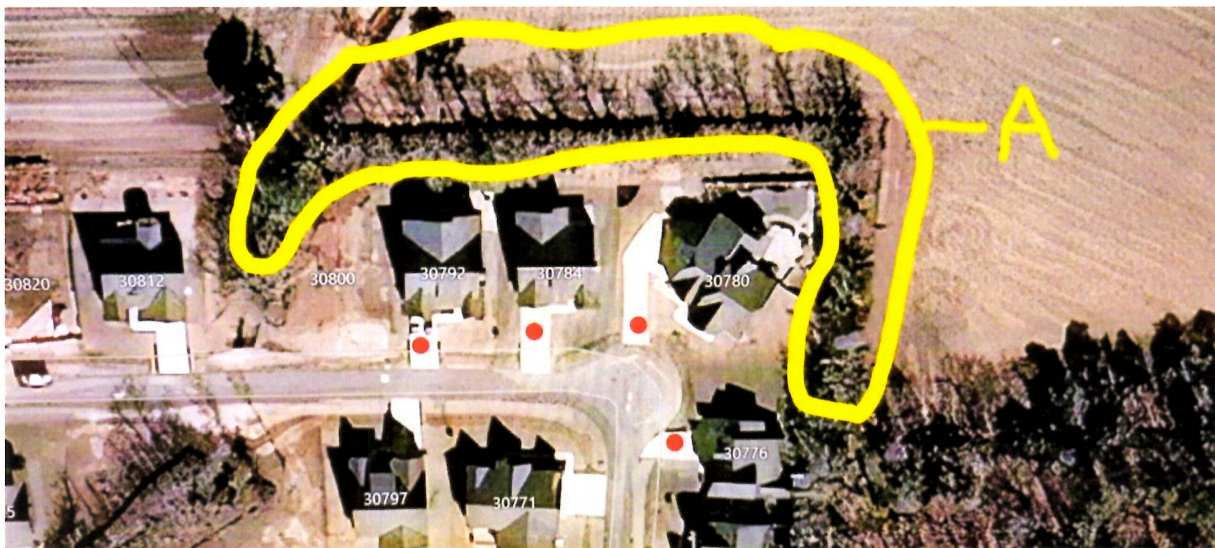
As developer, we felt it was important to speak with each of the impacted homeowners to explain that the remaining buffer trees would be planted this Fall. We spoke to all homeowners that have lots affected by the new forest buffer tree plantings areas (A) and area (B). Of the 9 homeowners, 8 were totally against the tree planting and one homeowner wanted the tree planting. They asked us if it was possible to not plant the trees as the exiting mature trees behind these lots are more than adequate as a screening buffer. There is also concern that planting new young trees, they would be over shadowed by the huge existing mature trees and would not get proper sunlight shadowed between two story houses and mature trees line. There was also a concern that the existing mature tree root system would take water from the new young trees trying to grow. Some healthy mature trees that already exist in the proposed 30 ft. buffer area might have to be removed to plant the new ones required.

We told the homeowners we would reach out to Planning & Zoning to see if these trees can be omitted. Below I have inserted various photos of Areas (A) and (B). The first photo is global view where the areas (A) and (B) are in the development. Note heavy tree line behind these homes:



Page 2

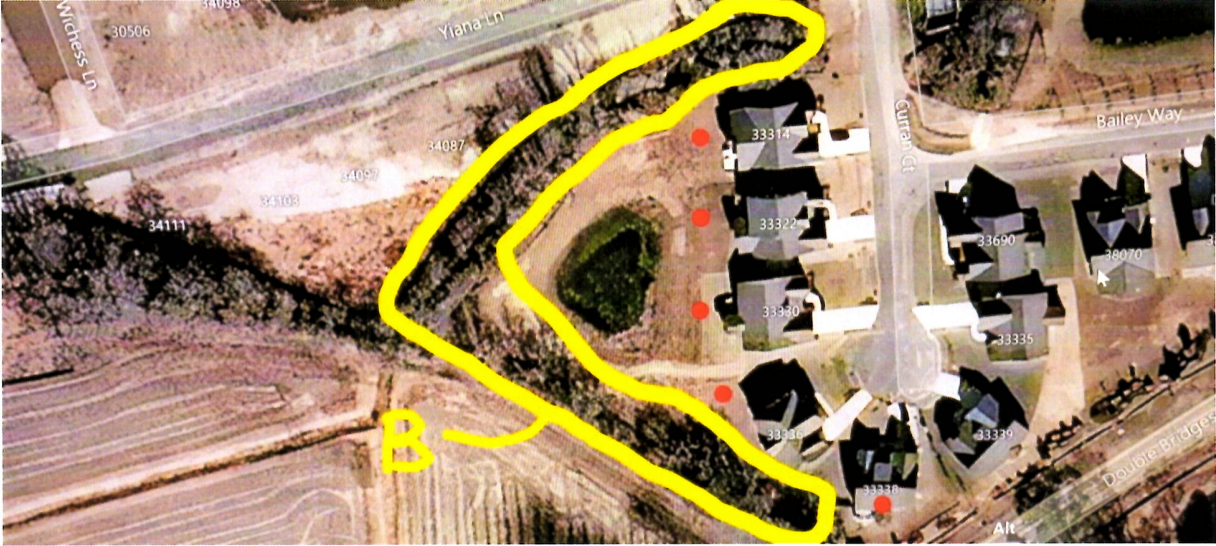
AREA (A) RED dot denotes homes affected on Lindell Lane



Below are photos behind homeowner lots where trees are required



AREA (B) RED dot denotes homes affected on Curran Court



On behalf of the affected Homeowners, we are asking that the Planning and Zoning Commission waive the requirement for forested buffers in Areas (A) and (B).

Below is Homeowner address and signatures that have asked Planning & Zoning consideration to allow the trees to be omitted in Areas (A) and (B) outlined above:

AREA A (Homeowners)

Mr. Ed Bokman
30792 Lindell Lane

Ed Bokman

Mr. Bruce Dombroski
30784 Lindell Lane

Bruce M. Dombroski

Ms. Keri Wilks
30780 Lindell Lane

WILKS

Mr. Robert Yeroshefsky
30776 Lindell Lane

Rob Yeroshefsky

AREA B (Homeowners)

Terry Chrisman
33314 Curran Court

Terry Chrisman

Cheryl Kinsler
33322 Curran Court

Frank Pilotti
33330 Curran Court

Frank Pilotti

Fredrick Hildebrand
33336 Curran Court

Fredrick P. Hildebrand

Robert Matera
33338 Curran Court

Bob Matera

Thank you very much for your time and consideration on the above matter. We are hoping to get a ruling on this soon as we plan to complete all forest buffer tree planting this fall.

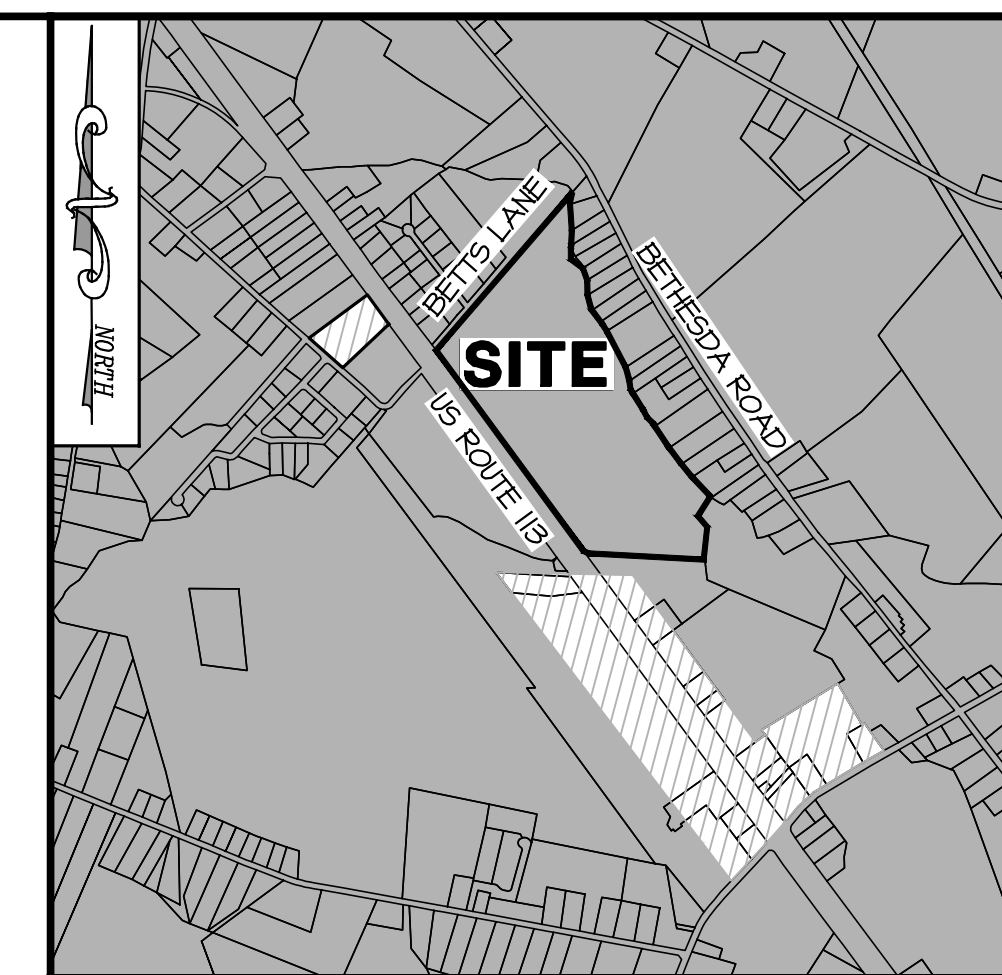
Sincerely

Robert J. Harris
Managing Member Woodlands Development LLC

SPANGLER ENTERPRISES

PRELIMINARY SITE PLAN

SUSSEX COUNTY, DELAWARE



VICINITY/ZONING MAP
SCALE: 1" = 1,500 FT

- AGRICULTURAL AR-1
- GENERAL COMMERCIAL C-1

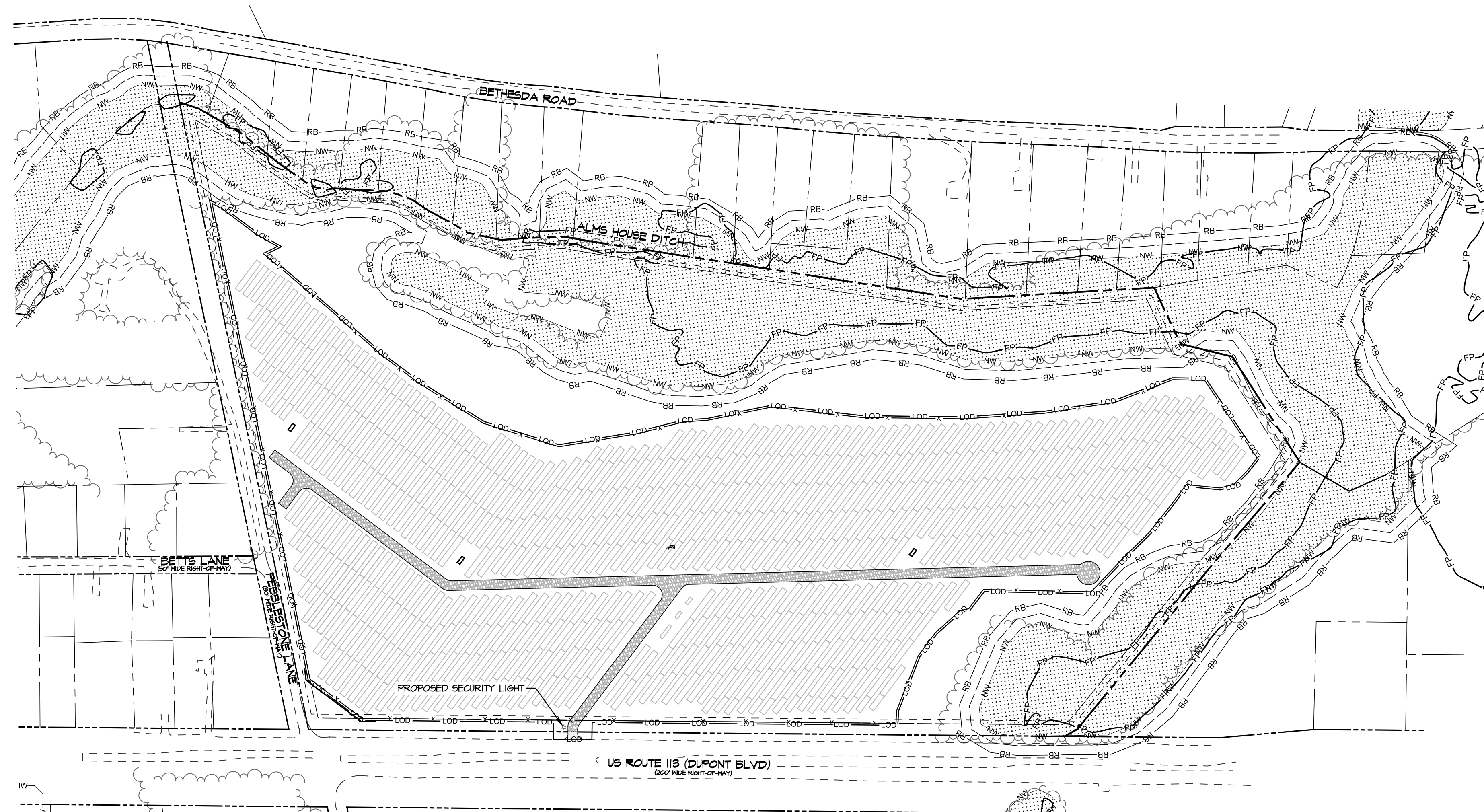
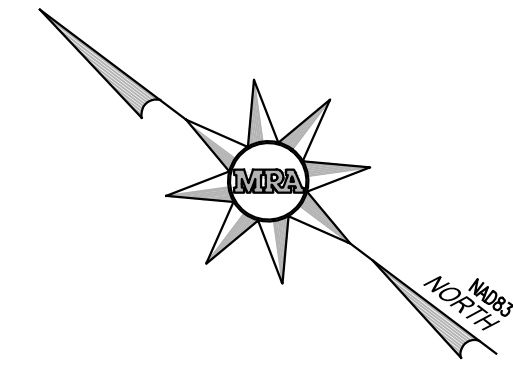
MRA

MORRIS & RITCHE ASSOCIATES, INC.

ENGINEERS, PLANNERS,
SURVEYORS, AND LANDSCAPE
ARCHITECTS

18 BOULDEN CIRCLE
SUITE 36
NEW CASTLE, DE. 19720
302-326-2200
MRATGTA.COM

OWNER/DEVELOPER:
SKIPJACK INC.
PO BOX 1769
DOVER DE 19903



SITE DATA

- 1) SITE ADDRESS: DUPONT BLVD.
GEORGETOWN, DE 19447
- 2) OWNER: SKIPJACK INC.
PO BOX 1769
DOVER, DE 19403
C/O MARK CUTSHAM
P: (404) 530-1056
- 3) TAX PARCEL: 133-6.00-123.02
- 4) PARCEL AREA: 70.78± AC.
- 5) DISTURBED AREA: 40.90± AC.
- 6) NET DEVELOPMENT AREA: 44.95± AC.
- 7) ZONING: AGRICULTURAL/RESIDENTIAL DISTRICT I (AR-1) (CHC0Z)

LOT AND BUILDING STANDARDS	
MINIMUM LOT AREA	20,000 SF
MINIMUM LOT WIDTH	100'
MINIMUM FRONT YARD	40'
MINIMUM SIDE YARD	15'
MINIMUM REAR YARD	20'
MAXIMUM BUILDING HEIGHT	42'
- 8) BUILDINGS: NONE PROPOSED
- 9) AREA WITH WETLANDS: 13.0± AC
- 10) AREA WITH 100 YEAR FLOODPLAIN: 5.74± AC
- 11) WATER: NONE PROPOSED OR EXISTING
- 12) SEWER: NONE PROPOSED OR EXISTING

INDEX OF DRAWINGS

- | | |
|---------|-------------|
| SHEET 1 | COVER SHEET |
| SHEET 2 | SITE PLAN |

GENERAL NOTES

1. THE PURPOSE OF THIS PLAN IS TO DEVELOP A SOLAR ARRAY FARM AND A NEW ACCESS DRIVE. THIS PROPERTY WILL BE USED FOR UTILITIES WITH OCCASIONAL EMPLOYEE VISITATION. PORTIONS OF THE SITE ARE LOCATED WITHIN THE 100-YEAR FEMA FLOODPLAIN, AS SHOWN ON FEMA FIRM MAP PANEL# 10005C0225L, EFFECTIVE JUNE 20, 2018. NO DISTURBANCE IS PROPOSED WITHIN THE FLOODPLAIN. A FLOOD STUDY AND/OR FLOODPLAIN DELINEATION IS NOT REQUIRED.
2. NO DEBRIS SHALL BE BURIED ONSITE.
3. STORMWATER MANAGEMENT, DRAINAGE, AND SEDIMENT AND EROSION CONTROL SHALL BE IN COMPLIANCE WITH THE DELAWARE SEDIMENT & STORMWATER REGULATIONS, THE SUSSEX COUNTY CODE, AND POND CODE 37B.
4. THIS PLAN DOES NOT INTEND TO CREATE ANY PUBLIC RIGHTS-OF-WAY.
5. THIS PLAN DOES NOT INTEND TO MODIFY THE EXISTING WATER SUPPLY.
6. THIS PLAN DOES NOT INTEND TO MODIFY THE EXISTING SEWER.
7. ON FEBRUARY 20, 2018 THE COUNTY COUNCIL OF SUSSEX COUNTY APPROVED CONDITIONAL USE NO. 2114 FOR THE USE OF A SOLAR ARRAY FARM ON THE SUBJECT PROPERTY.
8. NO STORAGE FACILITIES SHALL BE CONSTRUCTED ON THIS SITE.
9. FACILITY LIGHTING WILL CONSIST OF PERIMETER LIGHTING FOR SECURITY PURPOSES ONLY. ALL LIGHTING SHALL BE DOWNWARD SCREENED.
10. A LIGHTED SIGN IS NOT PROPOSED FOR THIS SITE.
11. THE SITE SHALL BE SECURED BY FENCING WITH A GATE AND A KNOX BOX PROVIDED FOR EMERGENCY ACCESS.
12. A 30 FOOT WIDE LANDSCAPE BUFFER SHALL BE PROVIDED AROUND THE ENTIRE PERIMETER. THE SITE SHALL BE MAINTAINED REGULARLY TO PREVENT OVERGROWTH.
13. ALL NATIONAL INDUSTRY STANDARDS SHALL BE FOLLOWED IN THE CONSTRUCTION OF THIS PROJECT.
14. THE FINAL PLAN WILL INCLUDE BEE HABITAT DETAILS AS COORDINATED WITH THE DELAWARE DEPARTMENT OF AGRICULTURE.

LEGEND

- EXISTING PROPERTY LINE
- ADJOINING PROPERTY LINE
- EXISTING R/W LINE
- EXISTING SETBACK LINE
- EXISTING EDGE OF PAVE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING WETLANDS
- EXISTING WOODS
- RIPARIAN BUFFER (ZONE 1)
- RIPARIAN BUFFER (ZONE 2)
- 100-YEAR FLOODPLAIN
- PROPOSED CHAIN LINK FENCE
- PROPOSED LIMITS OF DISTURBANCE

CU 2114 CONDITIONS OF APPROVAL:

- A. NO STORAGE FACILITIES SHALL BE CONSTRUCTED ON THE SITE.
- B. LIGHTING ON THE FACILITY WILL CONSIST OF PERIMETER LIGHTING FOR SECURITY PURPOSES. ALL LIGHTING SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
- C. ONE LIGHTED SIGN, NOT TO EXCEED 32 SQUARE FEET IN SIZE, SHALL BE PERMITTED.
- D. THE SITE SHALL BE SECURED BY FENCING WITH A GATE WITH A "KNOX BOX" TO ACCOMMODATE EMERGENCY ACCESS BY THE LOCAL FIRE COMPANY OR OTHER EMERGENCY RESPONDERS.
- E. THERE SHALL BE A VEGETATION BUFFER OF NO LESS THAN 30 FEET AROUND THE ENTIRE PERIMETER OF THE SITE TO SCREEN IT FROM NEIGHBORING PROPERTIES AND ROADWAYS, WITH A 6 FOOT FENCE INSIDE THE LAND SIDE OF THE BUFFER.
- F. ALL OF THE GROUNDS, INCLUDING THE AREA OUTSIDE OF THE FENCE, SHALL BE MAINTAINED SO THAT IT DOES NOT BECOME OVERGROWN.
- G. ALL NATIONAL INDUSTRY STANDARDS SHALL BE FOLLOWED IN THE CONSTRUCTION OF THE PROJECT.
- H. THE APPLICANT SHALL COOPERATE WITH THE DELAWARE DEPARTMENT OF AGRICULTURE FOR APPROPRIATE PLANTINGS FOR A BEE HABITAT.
- I. THE PREFERENCE FOR THE ENTRANCE SHALL BE FROM ROUTE 113 IF PERMITTED BY DELDOT.
- J. THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.

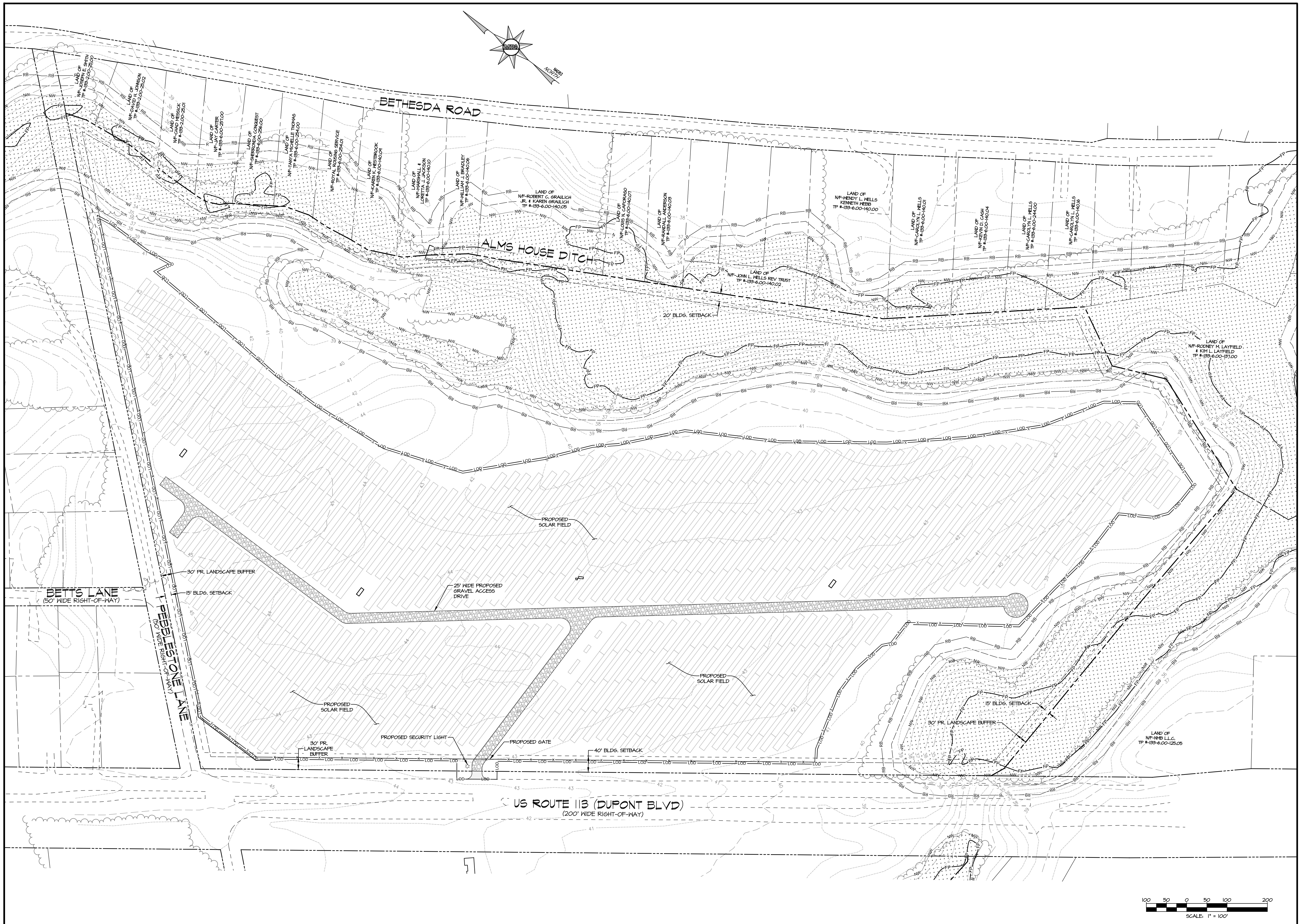
SPANGLER ENTERPRISES
GEORGETOWN, DELAWARE
DAGSBORO HUNDRED

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NO.	REVISION	DATE
001	DESIGN BY	REVIEWED BY
21302	DPS	CWB
DATE	SCALE	
7/29/2021	1"=200'	

SHEET TITLE
PRELIMINARY SITE PLAN
COVER SHEET

SHEET NUMBER



ENGINEERS, PLANNERS,
 SURVEYORS, AND LANDSCAPE
 ARCHITECTS

18 BOULDEN CIRCLE
 SUITE 36
 NEW CASTLE, DE. 19720
 302-326-2200
 MRATGTA.COM

OWNER/DEVELOPER:
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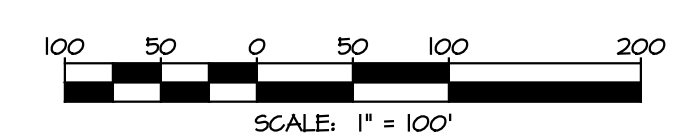
SPANGLER ENTERPRISES
 GEORGETOWN, DELAWARE
 DAGSBORO HUNDRED

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NO.	REVISION	DATE
1	DESIGN BY	REVIEWED BY
21302	DPS	CWB
DATE	SCALE	1"=100'
7/29/2021		

PRELIMINARY SITE PLAN
 SITE PLAN

SHEET NUMBER

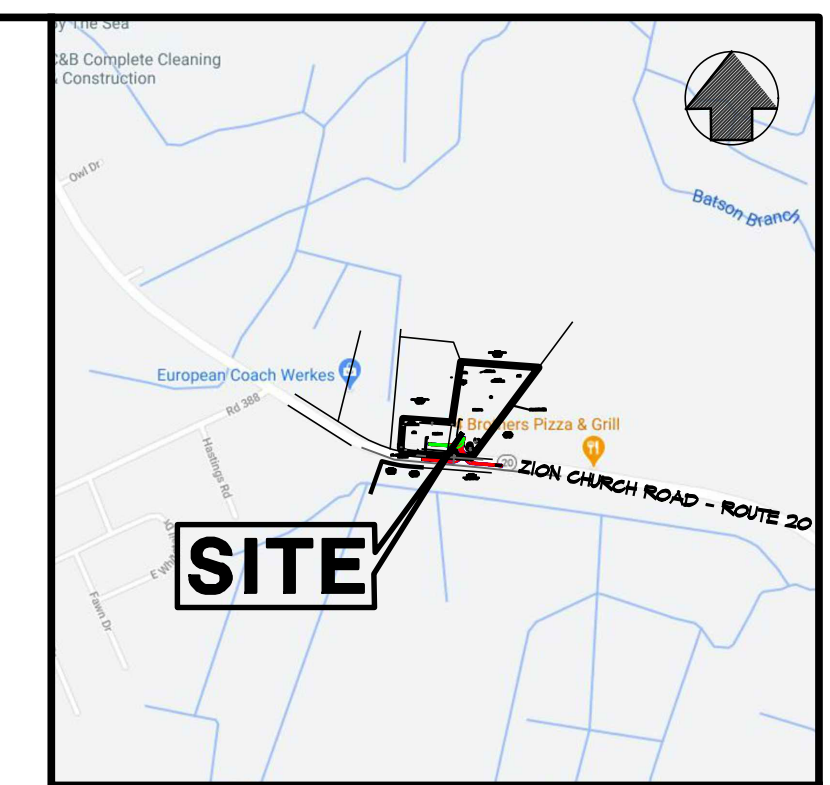


PEAK MANAGEMENT BAYSIDE SELF-STORAGE

SUSSEX COUNTY, DELAWARE PRELIMINARY SITE PLAN SUSSEX COUNTY PLANNING #S-21-26

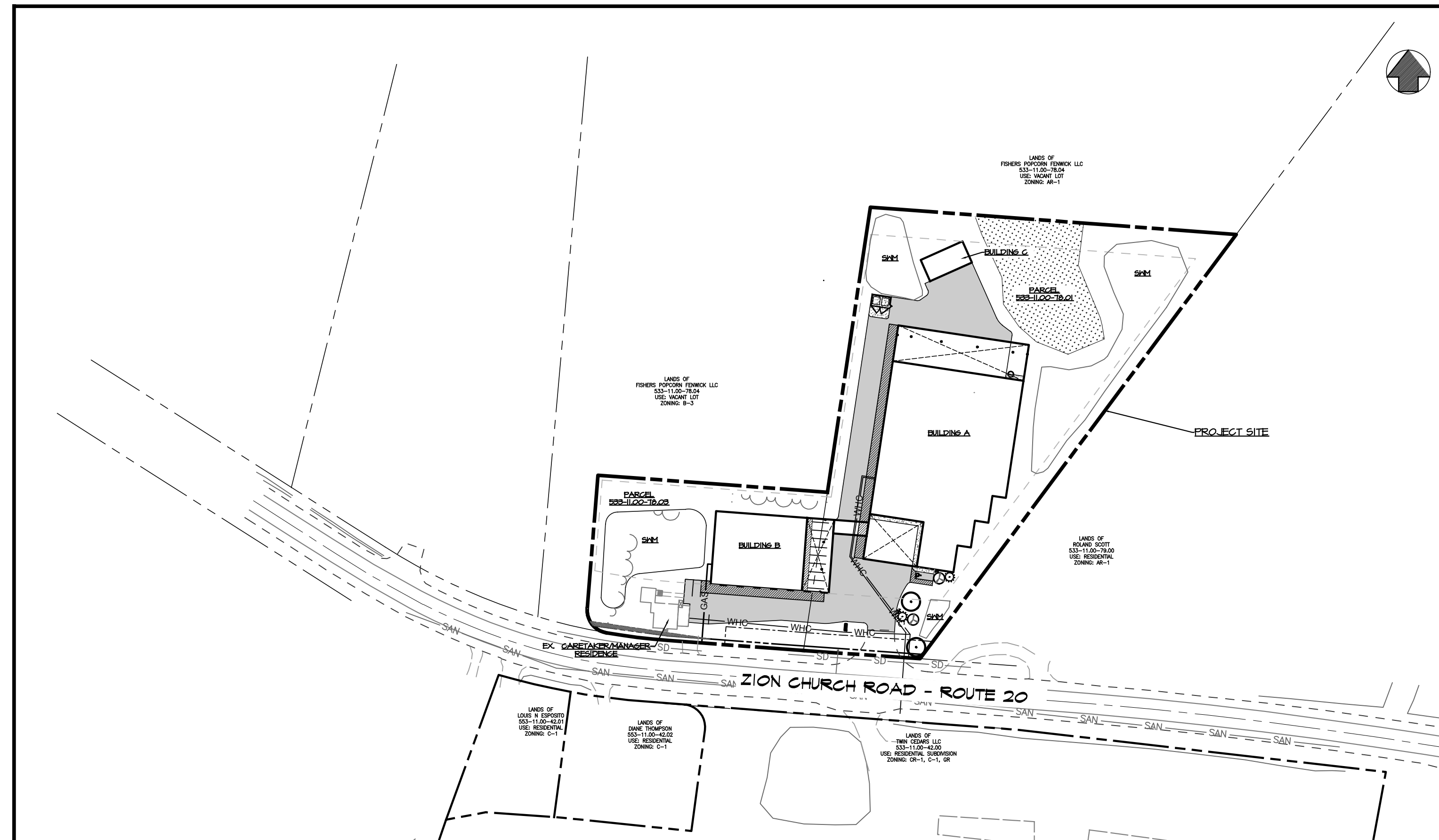
SITE DATA

- PROJECT TITLE/NAME: BAYSIDE SELF-STORAGE
ADDRESS: 36097 ZION CHURCH RD FRANKFORD, DE 19945
- TAX PARCEL: 533-11.00-78.01 & 78.03
- PROPERTY OWNER: PEAK ACQUISITIONS, LLC
9640 DEERCO RD
TIMONIUM, MD 21093
- DEVELOPER: PEAK ACQUISITIONS, LLC
C/O ANTHONY GIULLO - PRESIDENT AND
CHIEF EXECUTIVE OFFICER
9640 DEERCO RD.
TIMONIUM, MD 21093
- TOTAL SITE ACREAGE: 4.03 ACRES±
- ZONING INFORMATION: EXISTING ZONING: CR-1
PROPOSED ZONING: CR-1
- BULK AREA REQUIREMENTS: FRONT SETBACK: 60'
REAR SETBACK: 5'/30'
SIDE YARD SETBACK: 5'/20'
MAX BLDG. HT: 42'
- LAND USE INFORMATION: EXISTING USE: SELF-STORAGE
PROPOSED USE: SELF-STORAGE
- WATER SERVICE: ARTESIAN WATER - PUBLIC
- SANITARY SEWER: SUSSEX COUNTY - PUBLIC
- PROPOSED EDUs: 12.16 EDUs
- SITE AREAS: EXISTING: BUILDING: 0.69 AC± PAVEMENT: 0.66 AC± OPEN: 1.80 AC± FOREST: 0.17 AC± GRAVEL: 1.15 AC± WETLAND: 0.38 AC± TOTAL: 4.03 AC±
*EXISTING FORESTED NON-TIDAL WETLANDS
PROPOSED: BUILDING: 1.13 AC± PAVEMENT: 1.69 AC± OPEN: 1.69 AC± FOREST: 0.17 AC± GRAVEL: 0.00 AC± WETLAND: 0.38 AC± TOTAL: 4.03 AC±
- PARKING ANALYSIS: CARETAKER/MANAGERS RESIDENCE: 2 SPACES
OFFICE: 6 SPACES
1 ADA SPACE
TOTAL PARKING PROVIDED: 9 SPACES
- MAXIMUM PROPOSED BUILDING HEIGHT: 42 FEET
- PROPOSED BUILDING CONSTRUCTION: 2-B
- JURISDICTIONAL WETLANDS: A PRELIMINARY WETLAND EVALUATION WAS COMPLETED BY GEO-TECHNOLOGY ASSOCIATES, INC (GTA) ON MARCH 23, 2021.
- THE SUBJECT PROPERTY LIES TOTALLY WITHIN ZONE X (OUTSIDE THE LIMITS OF THE 100 YEAR FLOODPLAIN) AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 10005C0635K (COMMUNITY NUMBER 100029) WITH EFFECTIVE DATE OF MARCH 16, 2015
- 50 MPH SPEED LIMIT ALONG ZION CHURCH RD (RTE. 20)
- INFORMATION SHOWN HEREIN IS BASED UPON FIELD RUN TOPOGRAPHY DATED 12/15/20 BY MORRIS AND RITCHE ASSOCIATES, INC. HORIZONTAL AND VERTICAL DATUM IS NAD83
- ALL FIRE LINES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS
- FIRE DISTRICT: ROXANA
- BUILDINGS A & B WILL BE SPRINKLERED. THE EXISTING CARETAKERS / MANAGERS RESIDENCE AND BUILDING C WILL NOT BE SPRINKLERED CONSISTENT WITH DSFP
- PARCELS 533-11.00-78.01 & 78.03 ARE NOT WITHIN AN EXISTING TRANSPORTATION IMPROVEMENT DISTRICT (TID) AREA



LOCATION MAP
SCALE: 1" = 1000'

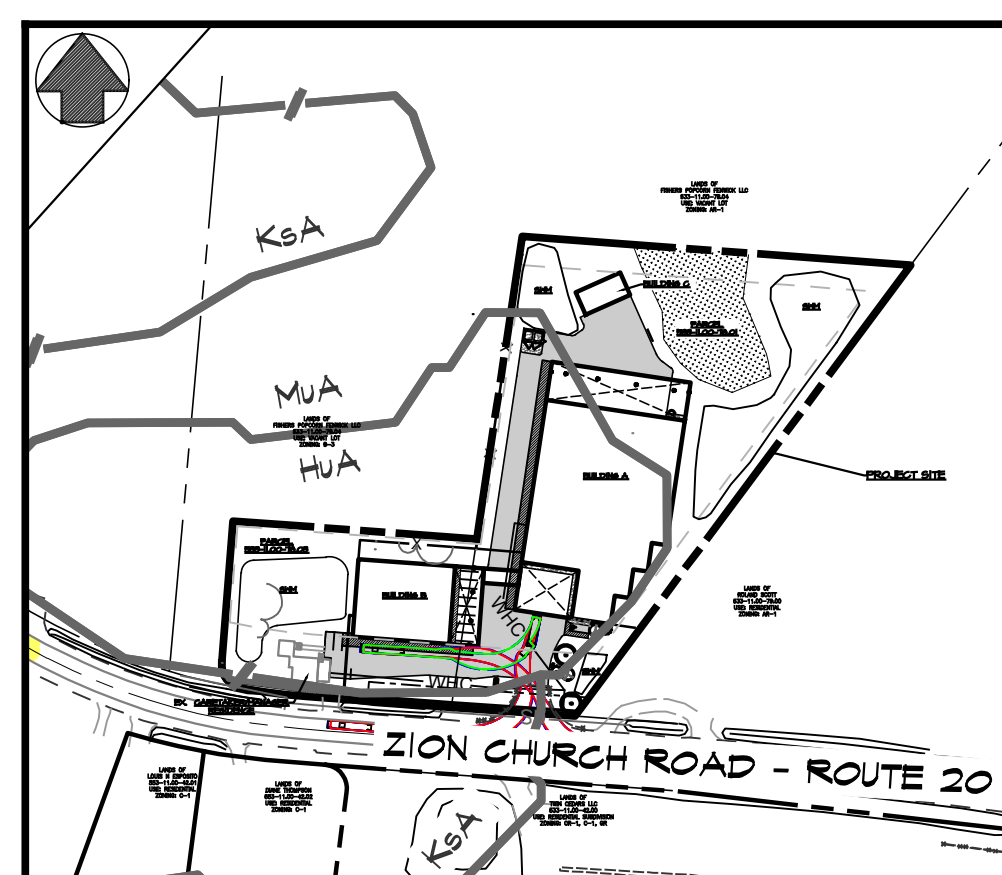
Sheet List Table	
Sheet Number	Sheet Title
PP-1	TITLE SHEET
PP-2	GENERAL NOTES & DETAILS
PP-3	PRELIMINARY SITE PLAN



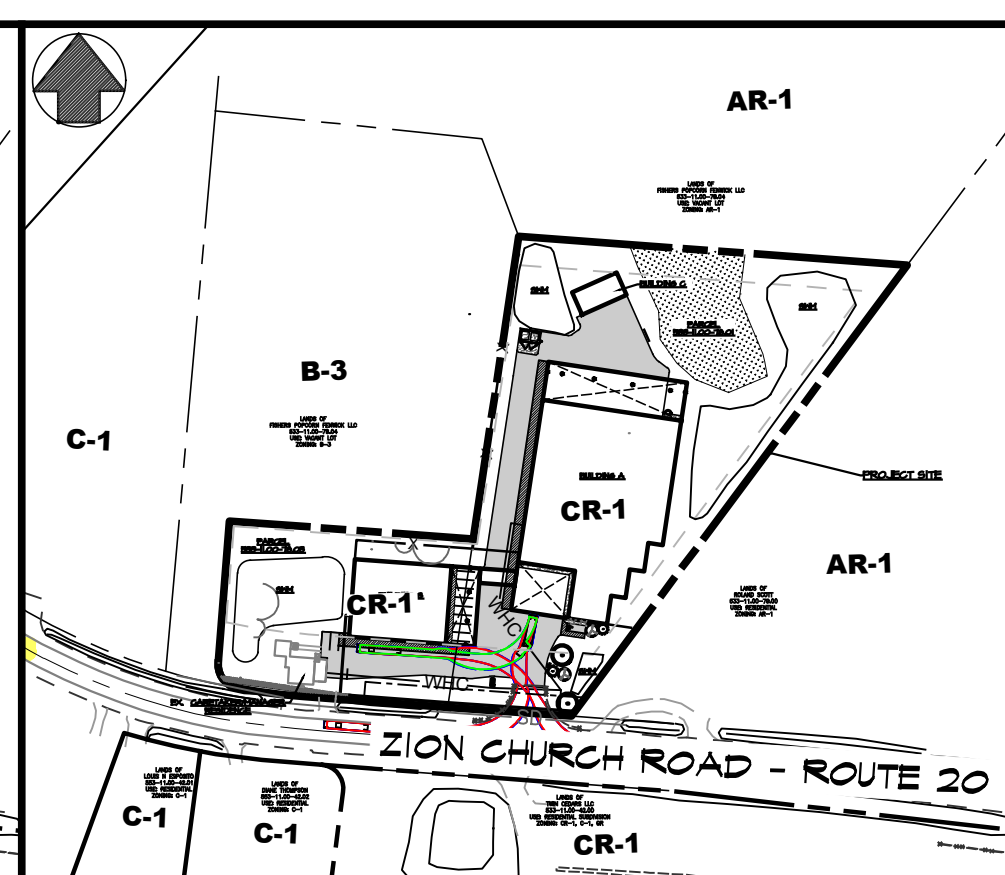
SITE OVERVIEW
SCALE: 1" = 100'

LEGEND

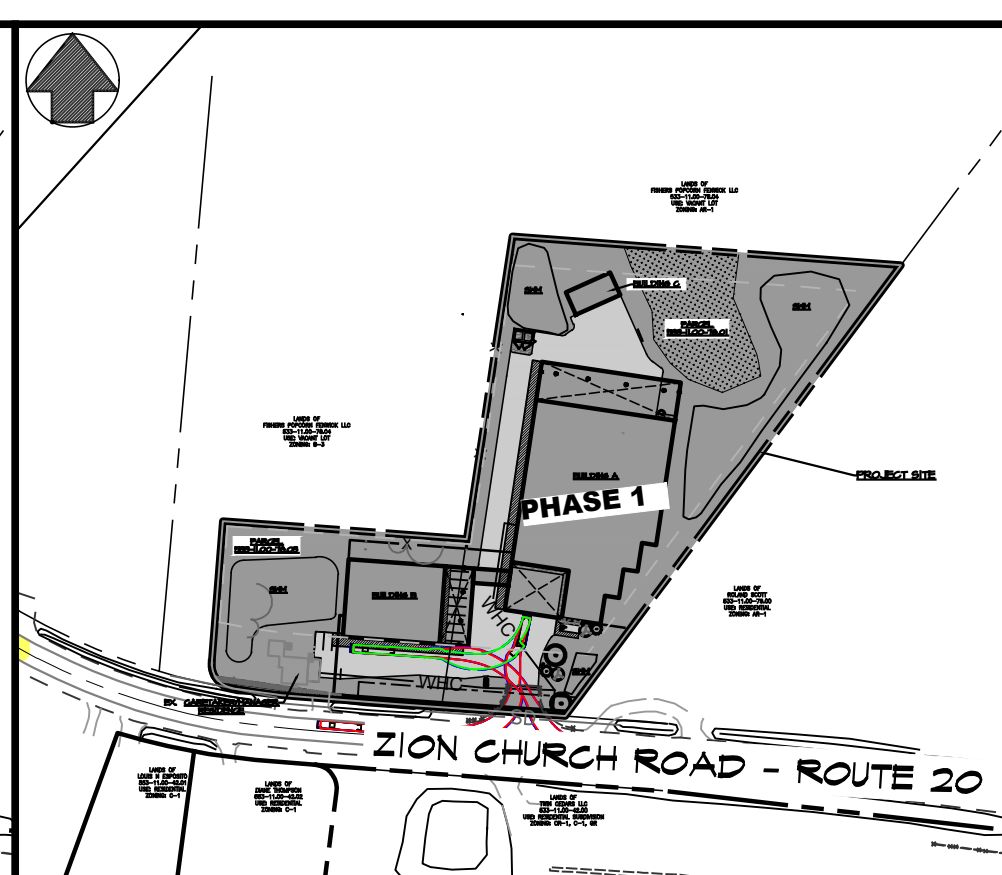
- PROPERTY LINE
- R/W LINE
- LOT LINE
- BUILDING SETBACK LINE
- EXTERIOR PROPERTY LINE
- EASEMENT
- EXISTING SOILS LINE
- EXISTING WOODLANDS LINE
- EXISTING CONTOURS
- EXISTING STORMDRAIN
- BUILDING OVERHANG
- WETLANDS
- CONCRETE WALK
- HEAVY-DUTY PAVEMENT
- WALKING BRIDGE
- PROPOSED FENCE / GATE



SOILS MAP
SCALE: 1" = 200'



ZONING MAP
SCALE: 1" = 200'



PHASING MAP
SCALE: 1" = 200'

OWNER'S PLAN DEVELOPMENT APPROVAL:
I, AS OWNER OF THE PROPERTIES SHOWN, HEREBY APPROVE THESE PLANS FOR DEVELOPMENT AS SHOWN OR OTHERWISE NOTED.

PEAK ACQUISITIONS, LLC
ANTHONY GIULLO - PRESIDENT AND CHIEF EXECUTIVE OFFICER
964 DEERCO RD
TIMONIUM, MD 21093
E-MAIL: AEL@HILLHST.COM

DEVELOPER'S PLAN DEVELOPMENT APPROVAL:
I, AS DEVELOPER OF THE PROPERTIES SHOWN, HEREBY APPROVE THESE PLANS FOR DEVELOPMENT AS SHOWN OR OTHERWISE NOTED.

PEAK ACQUISITIONS, LLC
ANTHONY GIULLO - PRESIDENT AND CHIEF EXECUTIVE OFFICER
964 DEERCO RD
TIMONIUM, MD 21093
E-MAIL: AEL@HILLHST.COM

NETLANDS STATEMENT
GEO-TECHNOLOGY ASSOCIATES, INC (GTA) HAS CONDUCTED A FIELD REVIEW WITHIN THE BOUNDARIES OF THIS PLAT TO EVALUATE THE PRESENCE OR ABSENCE OF POTENTIAL STATE AND FEDERAL JURISDICTIONAL WETLANDS FOR THE PURPOSES OF DELAWARE WETLAND AND SUBAQUEOUS LAND REGULATIONS AND SECTION 404 OF THE CLEAN WATER ACT. GTA'S REVIEW WAS CONDUCTED IN GENERAL ACCORDANCE WITH TECHNIQUES AND CRITERIA PROVIDED IN THE 1981 CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, ATLANTIC AND GULF COASTAL PLAIN REGION (VERSION 2.0), DATED NOVEMBER 2010. THE LIMITS OF THE WATERS OF THE U.S., INCLUDING WETLANDS, WERE EVALUATED IN THE FIELD BY GTA PERSONNEL USING BEST PROFESSIONAL JUDGEMENT. NO JURISDICTIONAL DETERMINATION WAS OBTAINED FOR THIS PROPERTY.

MATTHEW JENNETTE
GEO-TECHNOLOGY ASSOCIATES, INC.
ABINGDON, MD 21004
410-515-4446

ENGINEER'S CERTIFICATION
I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THE PLAN SHOWN AND DESCRIBED HEREON, OTHER THAN THE PROPERTY BOUNDARY AND TOPOGRAPHY, IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED STANDARDS AND PRACTICES AND BY THE SUSSEX COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO THE EXTENT THAT IT DESCRIBES THE PROPOSED MANNER AND LAYOUT OF THE SUBDIVISION.

KENNETH M. USAB, P.E.
DE LICENSE NO. #0892

MRA
MORRIS & RITCHE ASSOCIATES, INC.
ENGINEERS, PLANNERS,
SURVEYORS, AND LANDSCAPE
ARCHITECTS
8 WEST MARKET STREET
GEORGETOWN, DE. 19947
302-855-5734

DEVELOPER:
PEAK ACQUISITIONS, LLC
ANTHONY GIULLO
PRESIDENT AND
CHIEF EXECUTIVE OFFICER
964 DEERCO ROAD
TIMONIUM, MD 21093
PHONE: 410-666-1000

BAYSIDE SELF-STORAGE
PRELIMINARY SITE PLAN
SUSSEX COUNTY, DELAWARE
BALTIMORE HUNDRED



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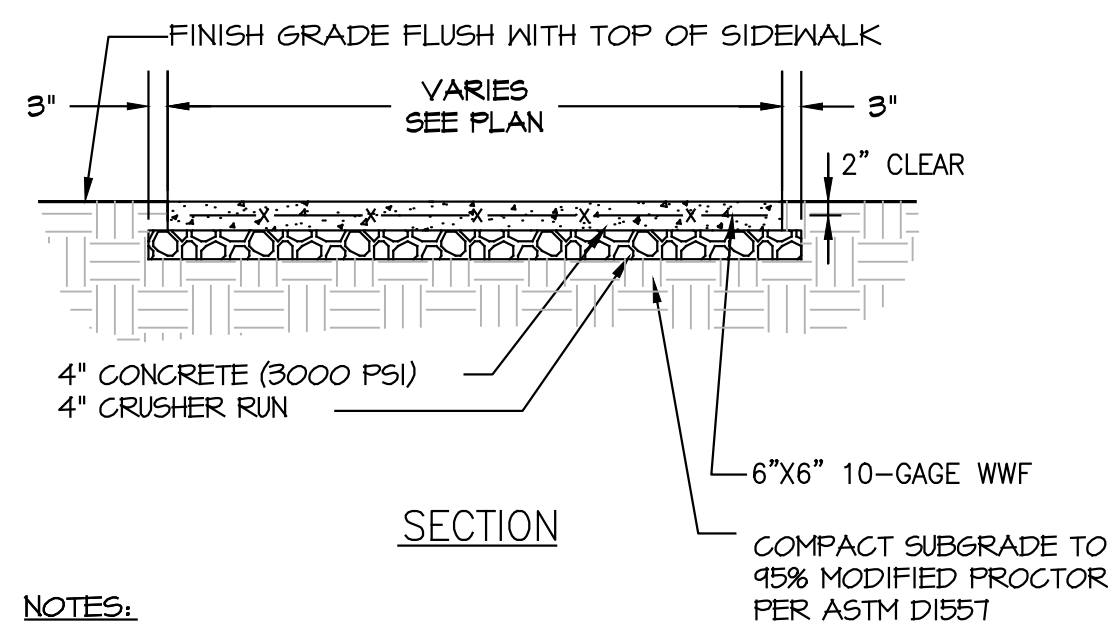
NO.	REVISION	DATE
21082X01	JKK	09/16/21

TITLE SHEET
SHEET NUMBER
PP-1

G:\21082X01 Peak Management - Bayside Mini-Storage\BAY_SIDE_V10101.DWG - SET\Preliminary Plan\21082X01 - The Sheet.dwg, 9/16/2021, 9:47:00 AM, KJubb, 1:1, Copyright 2021, Morris & Ritchie Associates, Inc.

NOTES

- THE BOUNDARY INFORMATION SHOWN ON THIS PLAN WAS PREPARED BY MORRIS & RITCHIE ASSOCIATES, INC. HORIZONTAL CONTROL IS REFERENCED TO NAD '83 STATE PLANE GRID.
- MAINTENANCE OF THE PAVED AREAS WITHIN THE SITE, SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR THE PROPERTY OWNERS WITHIN THIS SITE. THE STATE AND COUNTY ASSUME NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE PAVED AREAS WITHIN THE SITE.
- STORMWATER SHALL BE HANDLED THROUGH THE DESIGN OF BEST MANAGEMENT PRACTICES THAT WILL BE LOCATED ON SITE. THE MAINTENANCE OF THE SWM FACILITIES CONSTRUCTED WITHIN THE SITE SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE SITE.
- THE SITE HAS BEEN ALLOCATED 12.16 EQUIVALENT DWELLING UNITS OF WASTEWATER DISPOSAL IN SUSSEX COUNTY'S JOHNSON'S CORNER SANITARY SEWER DISTRICT.
- WATER FOR THE SITE WILL BE PROVIDED BY ARTESIAN WATER COMPANY.
- ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS. FIRE COMPANY ACCESS THROUGH THE STORAGE SITE AUTOMATIC GATES TO BE APPROVED BY THE DELAWARE STATE FIRE MARSHALS OFFICE.
- LOCK BOX REQUIRED, LOCATION SUBJECT TO CHANGE BY THE FIRE MARSHALS OFFICE. CONTACT THE FIRE MARSHALS OFFICE FOR ORDERING INFORMATION AND LOCATION OF THE BOX ON THE SITE.
- SHRUBBERY, PLANTINGS, SIGNS AND /OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHALL BE ESTABLISHED AND RECORDED WITH ALL THE AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- ALL ENTRANCES SHALL CONFORM TO THE STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION AND WILL BE SUBJECT TO ITS APPROVAL.
- THIS PARCEL IS NOT LOCATED WITHIN THE WELLHEAD PROTECTION AREA.
- THIS PARCEL IS LOCATED IN AN AREA OF "FAIR" GROUNDWATER RECHARGE POTENTIAL.

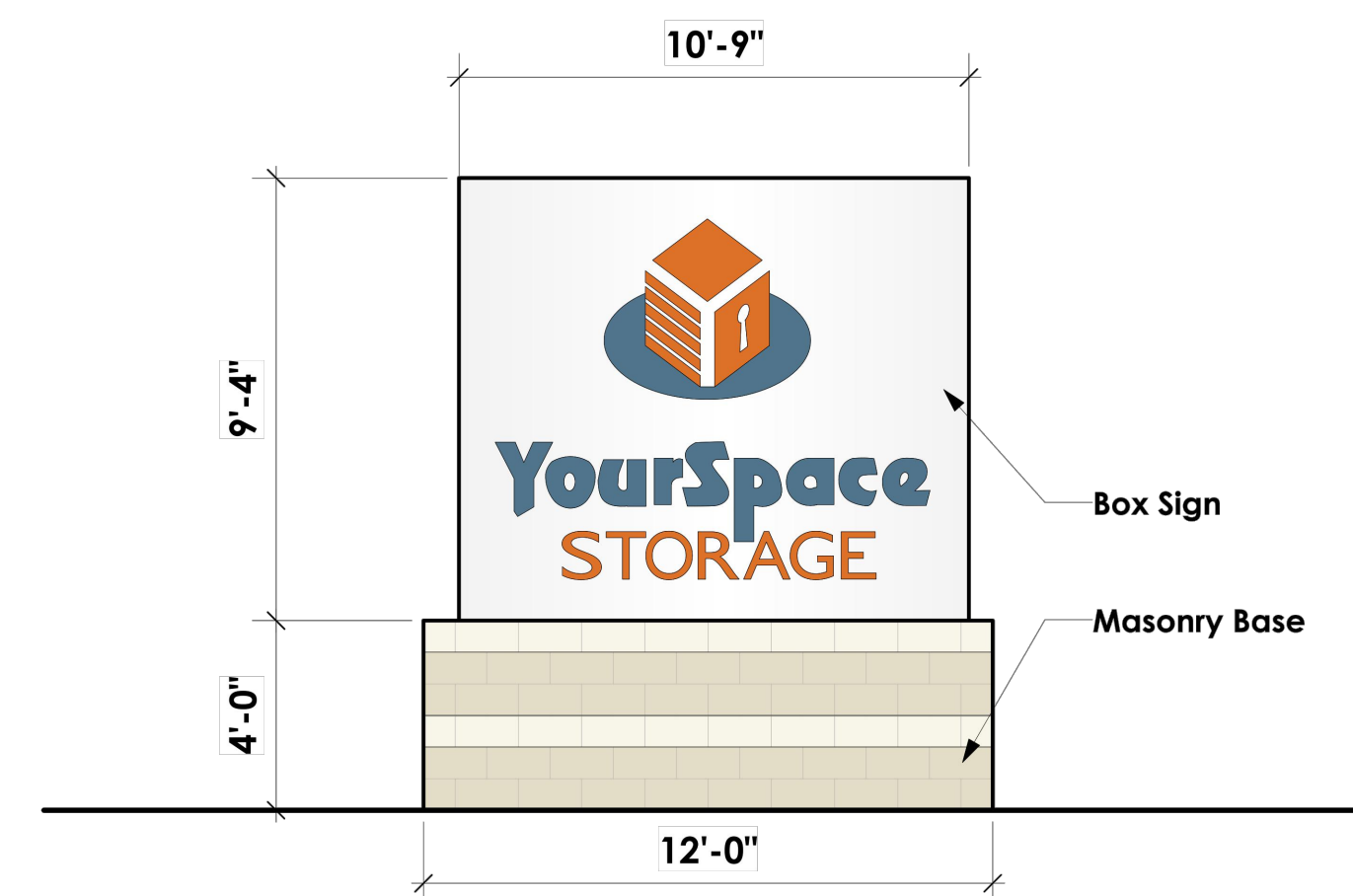


NOTES:

- MAXIMUM SIDEWALK SLOPE IS 5.0%.
- MAXIMUM CROSS SLOPE IS 2.0%.
- SIDEWALK TO BE SCRIBED IN 5' SQUARES (INCREMENTS).
- EXPANSION JOINTS ACROSS THE SIDEWALK NOT MORE THAN 15' APART.
- 1/2" PRE-FORMED BITUMINOUS EXPANSION JOINT MATERIAL IN EXPANSION JOINTS TO BE 1/4" BELOW SURFACE OF SIDEWALK.
- CONCRETE TO BE MIX 2. (3000 P.S.I.)
- TYPE IV POLYURETHANE BONDED RECYCLED RUBBER PREFORMED EXPANSION JOINT MATERIAL SHALL BE INSTALLED WHERE SIDEWALKS ARE ADJACENT TO CURBING.

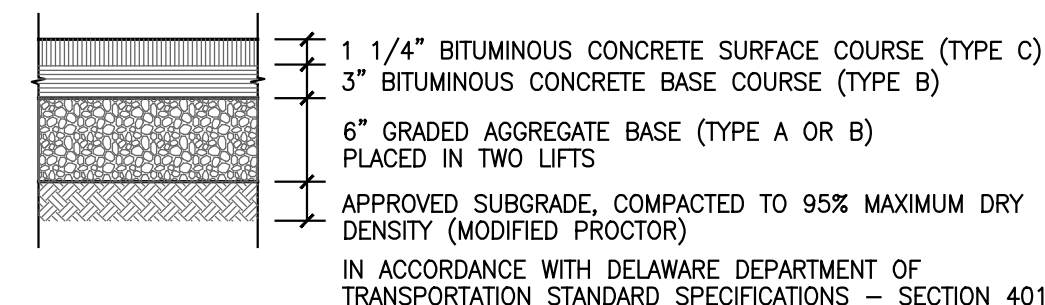
CONCRETE SIDEWALK

NOT TO SCALE



GROUND MOUNTED SIGN DETAIL

1"=4'



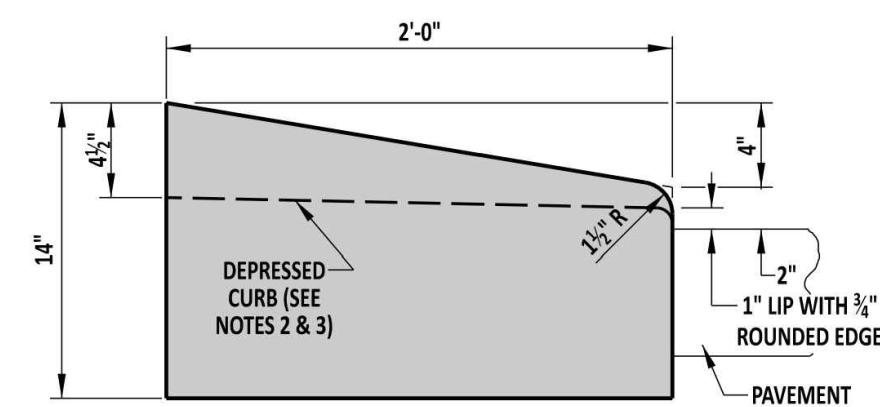
IN ACCORDANCE WITH DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS - SECTION 401

STANDARD DUTY

- FINAL SECTION TO BE DETERMINED BY GEOTECHNICAL ENGINEER IN FIELD.
- COMPACTION OF SUBGRADE SHOULD BE 95% OF MAXIMUM DRY DENSITY

PAVING SECTIONS

NOT TO SCALE



P.C.C. CURB TYPE 2



POST CAP STYLE

OPAQUE VINYL FENCE

NOT TO SCALE

NOTES:

- THE FENCE N' POST HAMPTON EVERGUARD PVC FENCE OR SIMILAR.
- PANEL SIZE: 6'X6' SEE SHOP DRAWINGS FOR DETAILS.
- ACCESSORY POST CAP STYLE: INSIDE PYRAMID.

MRA

MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS, PLANNERS,
SURVEYORS, AND LANDSCAPE
ARCHITECTS

8 WEST MARKET STREET
GEORGETOWN, DE. 19947
302-855-5734

DEVELOPER:
PEAK ACQUISITIONS, LLC

ANTHONY GIULIO
PRESIDENT AND
CHIEF EXECUTIVE OFFICER
964 DEERCO ROAD
TIMONUM, MD 21093
PHONE: 410-666-1000

BAYSIDE SELF-STORAGE

PRELIMINARY SITE PLAN

BALTIMORE HUNDRED

SUSSEX COUNTY, DELAWARE



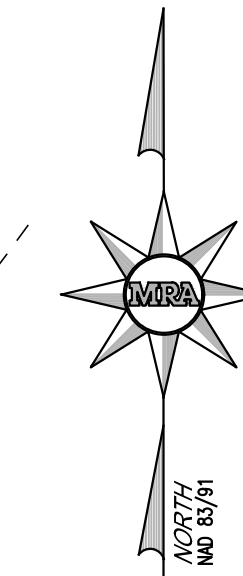
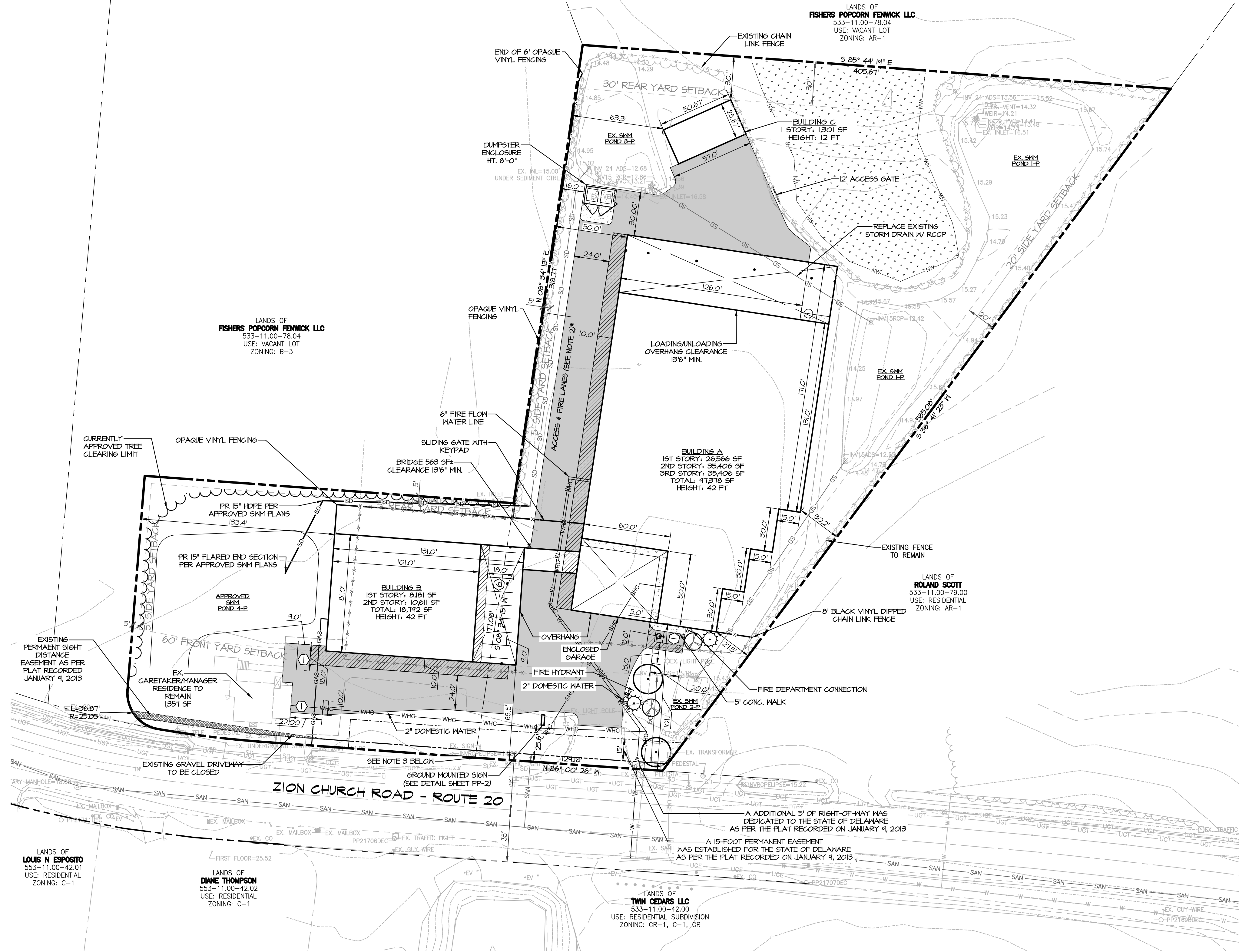
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NO.	REVISION	DATE
JOB NO.	DRAWN BY	ISSUED
21082X01	JKK	09/16/21

SHEET TITLE
GENERAL NOTES AND DETAILS

SHEET NUMBER

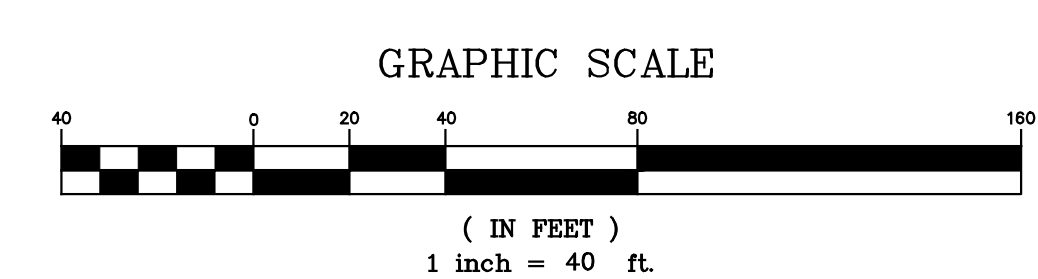
PP-2



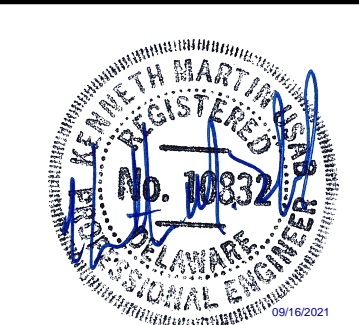
LEGEND

- EXISTING PROPERTY LINE
PROPOSED R/W LINE
PROPOSED LOT LINE
PROPOSED BUILDING SETBACK LINE
EXISTING CONTOURS
PROPOSED LOT NUMBER
EXISTING WOODLANDS LINE
WOODLAND PRESERVATION LINE
PROPOSED CONC. WALK
EXTERIOR PROPERTY LINE
INTERIOR PROPERTY LINE
EXISTING PAVED ROAD
PROPOSED PAVED ROAD
PROPOSED SANITARY SEWER, MANHOLE
PROPOSED WATER LINE, VALVE, HYDRANT
PROPOSED EASEMENT
PARKING SPACE COUNT
EXISTING MULTI-MODAL PATH (6' OR 8')
PROPOSED SHADE/CANOPY TREE
PROPOSED ORNAMENTAL TREE
PROPOSED EVERGREEN TREE

NOTE:
1. APPROVED SWM POND 4-P AND TREE LINE PREVIOUSLY APPROVED AS A MODIFICATION TO THE EXISTING SEDIMENT AND STORMWATER PLAN PERMIT ON MARCH 1ST, 2021.
2. PROPOSED ACCESS AND FIRE LANES SHALL BE CONSTRUCTED IN ACCORDANCE WITH DSFFR CODE.
3. PARCELS 533-11.00-78.01 & 533-11.00-78.03 TO BE CONSOLIDATED WITHIN THIS APPLICATION INTO ONE PARCEL



G:\21082\01 Peak Management - Bayside Self-Storage\DEVELOPMENT\Site Plan.dwg, 9/16/2021 9:53:54 AM, KJKB



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Table with columns: NO., REVISION, DRAWN BY, ISSUED DATE. Row 1: 21082X01, JKK, 09/16/21

PRELIMINARY SITE PLAN

SHEET NUMBER

PP-3

MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS,
AND LANDSCAPE ARCHITECTS



September 16, 2021

State of Delaware
Office of State Planning Coordination
Haslet Armory - Third Floor
122 Martin Luther King, Jr. Boulevard South
Dover, Delaware 19901

ATTN: Mr. David L. Edgell, AICP

RE: Peak Management LLC – Bayside Mini-Storage
PLUS Review 2020-05-02
MRA 21082X01

Dear Mr. Edgell:

This letter is pursuant to your letter dated June 25, 2021 and the meeting with State agency planners on May 26, 2021, to discuss the proposed plans for Bayside Mini-Storage, in Sussex County, Delaware. We reviewed all comments and offer the following response to each comment.

Each comment in your letter is shown in *italicized text* followed by our written responses on behalf of the Applicant, Peak Management, LLC.:

*“Please note that changes to the plan, other than those suggested in this letter, could result in additional comments from the State. **The developers will also need to comply with any Federal, State, and local regulations regarding this property. We also note that as the County is the governing authority over this land, the developers will need to comply with any and all regulations/restrictions set forth by the County.**”*

Response: The Applicant will comply with applicable Federal State and local regulations. The Applicant understands that the project is in Sussex County and will need to comply with any and all regulations / restrictions set forth by the county.

“Strategies for State Policies and Spending”

- *This project is located in Investment Level 3 according to the 2020 Strategies for State Policies and Spending. Investment Level 3 reflects areas where growth is anticipated by local, county, and state plans in the longer-term future, or areas that may have environmental or other constraints to development. State investments may support future growth in these areas but may have priorities for the near future. It appears you will keep generally the same footprint as the exiting commercial; we ask that you consider any recommendations to improve the site with this redevelopment.*

Response: The Applicant understands the project site is located in an Investment Level 3 area. It should be noted there is no proposed rezoning for this parcel, nor plan to annex into Frankford at this time.

8 West Market Street, Georgetown, DE 19947 (302) 855-5734 Fax: (302) 855-0157 www.mragta.com

Code Requirements/Agency Permitting Requirements

Department of Transportation – Contact Bill Brockenbrough 760-2109

- *The site access on Zion Church Road (Delaware Route 20) must be designed in accordance with DeIDOT’s Development Coordination Manual, which is available at <http://deldot.gov/Business/subdivisions/index.shtml?de=changes>.*

Response: The Applicant is aware the site access must be designed in accordance with DeIDOT’s Development Coordination Manual.

- *Pursuant to Section 1.3 of the Manual, a Pre-Submittal meeting is required before plans are submitted for review. The form needed to request the meeting and guidance on what will be covered there and how to prepare for it is located at https://www.deldot.gov/Business/subdivisions/pdfs/Meeting_Request_Form.pdf?08022017.*

Response: A pre-submittal meeting will be requested prior to plan submission.

- *Section 1.6.1 of the Manual addresses the number and locations of entrances. DeIDOT anticipates requiring that the west entrance and that the east entrance be shifted west to align with the main drive aisle.*

Response: The Applicant will coordinate with DeIDOT regarding any required minor adjustments to the location of the project entrance and its relationship to the proposed entrance to the development on the south side of Zion Church Road (DE Route 20).

- *Section 1.7 of the Manual addresses fees that are assessed for the review of development proposals. DeIDOT anticipates collecting the Initial Stage Fee when the record plan is submitted for review and the Construction Stage Fee when construction plans are submitted for review.*

Response: All applicable DeIDOT fees will be paid.

- *Per Section 2.2.2.1 of the Manual, Traffic Impact Studies (TIS) are warranted for developments generating more than 500 vehicle trip ends per day or 50 vehicle trip ends per hour in any hour of the day. The PLUS application, the total daily trips are estimated at 181 vehicle trip ends per day. Using the 10th edition of the Institute of Transportation Engineers’ Trip Generation Manual, as shown in the table below, DeIDOT calculates 187 vehicle trip ends per day for this number and estimates the weekday morning and evening peak hour trip ends at 13 and 21, respectively. Therefore, a TIS is not warranted.*

	Land Use Code	Floor Area (sf) / Dwellings	Average Daily Traffic	AM Peak Hour		PM Peak Hour	
				In	Out	In	Out
Residence	210	1,184	9	0	1	1	0
Mini-Warehouse	151	117,570	178	7	5	9	11
Proposed		118,754	187	7	6	10	11
Residence	210	1,184	9	0	1	1	0
Mini-Warehouse	151	28,800	43	2	1	2	3
Existing		29,984	52	2	2	3	3
Net Increase		88,770	135	5	4	7	8

Response: The Applicant understands that the site will not require a TIS.

- *As necessary, in accordance with Section 3.2.5 and Figure 3.2.5-a of the Manual, DeIDOT will require dedication of right-of-way along the site's frontage on Zion Church Road. By this regulation, this dedication is to provide a minimum of 40 feet of right-of-way from the physical centerline. The following right-of-way dedication note is required, "An X-foot wide right-of-way is hereby dedicated to the State of Delaware, as per this plat."*

Response: A five (5') foot additional right-of-way and a fifteen (15') permanent easement was previously dedicated to DeIDOT per a DeIDOT Record Plan dated 11/15/12 (BK. 180 PG. 51 Recording Information) by Axiom Engineering.

- *In accordance with Section 3.2.5.1.2 of the Manual, DeIDOT will require the establishment of a 15-foot wide permanent easement across the property frontage. The location of the easement shall be outside the limits of the ultimate right-of-way. The easement area can be used as part of the open space calculation for the site. The following note is required, "A 15-foot wide permanent easement is hereby established for the State of Delaware, as per this plat."*

Response: A five (5') foot additional right-of-way and fifteen (15') permanent easement were dedicated to DeIDOT for as part of the previously approved Final Site Plan (BK. 180 PG. 51) dated 11/15/12 by Axiom Engineering.

- *Referring to Section 3.4.2.1 of the Manual, the following items, among other things, are required on the Record Plan:*
 - *A Traffic Generation Diagram. See Figure 3.4.2-a for the required format and content.*
 - *Depiction of all existing entrances within 600 feet of the entrance on Zion Church Road..*
 - *Notes identifying the type of off-site improvements, agreements (signal, letter) contributions and when the off-site improvements are warranted.*

Response: The Applicant will comply with applicable DeIDOT Standards for the items above.

- *Section 3.5.4.2 of the Manual addresses requirements for Shared Use Paths (SUP) and sidewalks. In Level 3 Investment Areas, where there is no sidewalk or SUP along an adjoining property, installation of a sidewalk or SUP along the development's road frontage is at DeIDOT's discretion. DeIDOT does not anticipate requiring a sidewalk or SUP along the development frontage on Zion Church Road.*

Response: The Applicant acknowledges that DeIDOT does not anticipate the need for a sidewalk or SUP along Zion Church Road.

- *In accordance with Section 3.8 of the Manual, storm water facilities, excluding filter strips and bioswales, shall be located a minimum of 20 feet from the ultimate State right-of-way along Zion Church Road.*

Response: Existing SWM facilities on site are located a minimum of 20 feet +/- from the ultimate State right-of-way. No changes to the existing SWM facilities are anticipated.

Section 5.2.2 of the Manual provides in relevant part that the minimum distance between the entrance radius and the property line shall be 5 feet. The east entrance encroaches onto the frontage of the adjacent property and will need to be moved. DeIDOT anticipates requiring that the east entrance be shifted west to align with the main drive aisle.

Response: The Applicant will comply with applicable DeIDOT standards for the final design of the proposed entrance.

- *Section 5.2.4 of the Manual addresses requirements for Entrance Width, for commercial entrances, the minimum undivided width varies from 18 to 32 feet. The proposed 30-foot entrance will be examined during the plan review process. DeIDOT may require the developer's engineer to provide turning templates.*

Response: The existing thirty-foot (30') commercial site entrance provides adequate width for ingress and egress for larger vehicles using both left and right turning movements in and out of the site. A truck turning template will be provided with the DeIDOT Application for approval.

- *In accordance with Section 5.2.9 of the Manual, the Auxiliary Lane Worksheet should be used to determine whether auxiliary lanes are warranted at the site entrances and how long those lanes should be. The worksheet can be found at <http://www.deldot.gov/Business/subdivisions/index.shtml>.*

Response: Comment acknowledged.

- *In accordance with Section 5.14 of the Manual, all existing utilities must be shown on the plan and a utility relocation plan will be required for any utilities that need to be relocated.*

Response: Comment acknowledged.

Department of Natural Resources and Environmental Control – Beth Krumrine 735-3480

Concerns Identified Within the Development Footprint

Wetlands

Maps from the Statewide Wetlands Mapping Project indicate the presence of non-tidal wetlands in the northeastern corner of the site, confirmed by a wetland delineation. According to the application, the existing footprint of the parking lot will not be expanded. The existing 10-foot buffer from wetlands will remain unchanged.

- *Federal permits from the U.S. Army Corps of Engineers may also be necessary if dredge or fill is proposed in non-tidal wetlands or streams. A delineation of waterways and wetlands must be completed by a qualified professional hired by the landowner. In certain circumstances, additional certifications will be required from DNREC as part of the U.S. Army Corps of Engineers permit process.*

Response: No disturbance of regulated wetlands is anticipated at this time.

- *Federal Contact: U.S. Army Corps of Engineers (Dover Office) at (267) 240-5278. Website: <https://www.nap.usace.army.mil/Missions/Regulatory/Contacts/>*

Response: Comment noted.

Stormwater Management

This application proposes greater than 5000 square feet of land disturbing activities, therefore, this project will be subject to Delaware's Sediment and Stormwater Regulations.

- *A Sediment and Stormwater Plan must be developed, then approved by the appropriate plan review agency prior to any land disturbing activity taking place on the site. For this project, the plan review agency is Sussex Conservation District.*

Response: The Applicant will comply with applicable DNREC Regulations for Stormwater Management. No increase in impervious area is anticipated with the proposed design over the area previously permitted.

- *Additionally, to address the federal requirement, construction activities that exceed 1.0 acre of land disturbance require Construction General Permit coverage through submittal of an electronic Notice of Intent for Stormwater Discharges Associated with Construction Activity. This form must be submitted electronically (<https://apps.dnrec.delaware.gov/enoi/>, select Construction Stormwater General Permit) to the DNREC Division of Watershed Stewardship, along with the \$195 fee.*

Response: The project is considered to be active and falls under an existing NOI. An electronic NOI has been submitted and a transfer has been established in the owner's name.

- *Schedule a project application meeting with the appropriate plan review agency prior to moving forward with the stormwater and site design. As part of this process, you must submit a Stormwater Assessment Study.*

Response: A pre-application meeting will be coordinated with SCD prior to plan and application submission.

- *Contact: Sussex Conservation District at (302) 856-2105 or (302) 856-7219. Website: <https://www.sussexconservation.org/>*

Response: Comment noted.

Tax Ditch

The parcels of the proposed project are located within the Batson Branch Tax Ditch Watershed. Tax ditches are man-made channels created to move normal water flow off agricultural lands. These channels have associated tax ditch Rights-of-Way (ROW) that are utilized for access as well as sediment and debris disposal during maintenance. The parcels in this project review possess no Tax Ditches and are currently not subject to any ROWs.

- *If the site and/or stormwater management features are designed to discharge into Prong 1 of the Batson Branch Tax Ditch, located on the opposite side of Zion Church Road, design must consider existing conditions versus design specifications. Please consult with the DNREC Drainage Program for As-Built design information if necessary.*

Response: No changes to the general drainage patterns and discharge points on the site are anticipated.

- *Contact: DNREC Drainage Program at (302) 855-1930.
Website: <https://dnrec.alpha.delaware.gov/drainage-stormwater/>
Tax Ditch Mapper: de.gov/taxditchmap*

Response: Comment acknowledged.

Drainage

There is one reported drainage concern from 2017 documented near the project site, involving flooding of a property along Zion Church Road as a result of clogged drainage pipes. This drainage issue can also cause water ponding in the nearby private ditch.

- *All precautions should be taken to ensure the project does not hinder any off-site drainage upstream or create any off-site drainage problems downstream due to increases in stormwater.*

Response: Comment acknowledged.

Water Quality (Pollution Control Strategies)

This site lies within the Inland Bays Watershed. Surface water quality in this watershed does not meet State Water Quality Standards and a Pollution Control Strategy is in place for this watershed.

- *Consult with the appropriate plan review agency to determine if stricter stormwater management standards may apply for development projects due to the Pollution Control Strategy.*

Response: The Applicant / Engineer will consult with Sussex Conservation District and comply with applicable regulations.

Wastewater permits – Large Systems

Sussex County holds existing permits with the DNREC Groundwater Discharges Section’s Large Systems Branch.

- *If the capacity of the rate of wastewater disposal is to be updated, it is the responsibility of the permittee (Sussex County) to notify the Large Systems Branch.*

Response: The project falls within the existing Sussex County “Johnson’s Corner” Sanitary Sewer District

- *Contact: DNREC Large Systems Branch at (302) 739-9948. Website: <https://dnrec.alpha.delaware.gov/water/groundwater/>*

Response: Comment acknowledged.

State Historic Preservation Office – Contact Carlton Hall 736-7400

- *There are no known archaeological sites or known National Register-listed or eligible properties on the parcel.*

Response: Comment acknowledged.

- *Prehistoric archaeological potential is low. Soils are all poorly drained, and it’s too far away from water sources. It also has been developed extensively.*

Response: Comment acknowledged.

- *Historic archaeological potential is low. Buildings on the parcel don't appear until later and there's no indication that it was used for anything on Beers. Development on property would have disturbed anything even if there was something there.*

Response: Comment acknowledged.

Delaware State Fire Marshall's Office – Contact Duane Fox 259-7037

At the time of formal submittal, the applicant shall provide; completed application, fee, and three sets of plans depicting the following in accordance with the Delaware State Fire Prevention Regulation (DSFPR):

Fire Protection Water Requirements:

- *Water distribution system capable of delivering at least 1500 gpm for 2-hour duration, at 20-psi residual pressure is required. Fire hydrants with 800 feet spacing on centers. (Storage)*

Response: A fire hydrant flow test was performed by Artesian and the results were sent to the MEP to incorporate the information into the water system.

- *Where a water distribution system is proposed for the site, the infrastructure for fire protection water shall be provided, including the size of water mains for fire hydrants and sprinkler systems.*

Response: The water infrastructure reflects both the size of the fire and domestic lines.

Fire Protection Features:

- *All structures over 10,000 sq. ft. aggregate will require automatic sprinkler protection installed.*

Response: The storage facilities will have sprinkler systems as required.

- *Buildings greater than 10,000 sq. ft, 3-stories or more, over 35 feet, or classified as High Hazard, are required to meet fire lane marking requirements*

Response: Fire lanes will be delineated as required on the Fire Marshal plans and final construction plans.

- *Show Fire Department Connection location (Must be within 300 feet of fire hydrant), and detail as shown in the DSFPR.*

Response: The Fire Department Connection is shown on the front of the building.

- *Show Fire Lanes and Sign Detail as shown in DSFPR*

Response: Fire lanes and signs will be provided as required on the Fire Marshal plans and final construction plans

Accessibility

- *All premises, which the fire department may be called upon to protect in case of fire, and which are not readily accessible from public roads, shall be provided with suitable gates and access roads, and fire lanes so that all buildings on the premises are accessible to fire apparatus. This means that the access road to the subdivision from Society Drive must be constructed so fire department apparatus may negotiate it.*

Response: Building access has been designed in accordance with DSFPR Code.

- *Fire department access shall be provided in such a manner so that fire apparatus will be able to locate within 100 ft. of the front door.*

Response: The Fire Department shall have access within 100 ft. of the front door.

- *Any dead-end road more than 300 feet in length shall be provided with a turn-around or cul-de-sac arranged such that fire apparatus will be able to turn around by making not more than one backing maneuver. The minimum paved radius of the cul-de-sac shall be 38 feet. The dimensions of the cul-de-sac or turn-around shall be shown on the final plans. Also, please be advised that parking is prohibited in the cul-de-sac or turn around.*

Response: Space has been provided at the rear of the building for emergency vehicle turn around. A truck turning template has been provided for your use.

- *The use of speed bumps or other methods of traffic speed reduction must be in accordance with Department of Transportation requirements.*

Response: Speed bumps will not be used on this site.

- *The local Fire Chief, prior to any submission to our Agency, shall approve in writing the use of gates that limit fire department access into and out of the development or property.*

Response: Comment acknowledged.

Gas Piping and System Information:

- *Provide type of fuel proposed and show locations of bulk containers on plan.*

Response: The Applicant anticipates that natural gas service will be available upon completion of the proposed facilities based on coordination with Chesapeake Utilities.

Required Notes:

- *Provide a note on the final plans submitted for review to read “All fire lanes, fire hydrants, and fire department connections shall be marked in accordance with the Delaware State Fire Prevention Regulations”*
- *Proposed Use*
- *Alpha or Numerical Labels for each building/unit for sites with multiple buildings/units*
- *Square footage of each structure (Total of all Floors)*
- *National Fire Protection Association (NFPA) Construction Type*
- *Maximum Height of Buildings (including number of stories)*
- *Note indicating if building(s) is/are to be sprinklered*
- *Name of Water Provider*
- *Letter from Water Provider approving the system layout*
- *Provide Lock Box Note (as detailed in DSFPR) if Building is to be sprinklered*
- *Provide Road Names, even for County Roads*

Response: The required notes will be added to the Fire Marshal Plans for the OSFM review.

Recommendations/Additional Information

*This section includes a list of site-specific suggestions that are intended to enhance the project. These suggestions have been generated by the State Agencies based on their expertise and subject area knowledge. **These suggestions do not represent State code requirements.** They are offered here in order to provide proactive ideas to help the applicant enhance the site design, and it is hoped (**but in no way required**) that the applicant will open a dialogue with the relevant agencies to discuss how the suggestions can benefit the project.*

Response: Comment noted.

Department of Transportation – Contact Bill Brockenbrough 760-2109

- *The applicant should expect a requirement that any substation and/or wastewater facilities will be required to have access from an internal driveway with no direct access to Zion Church Road.*

Response: No facilities are anticipated.

- *The applicant should expect a requirement that all PLUS and Technical Advisory Committee (TAC) comments be addressed prior to submitting plans for review.*

Response: Comment noted and comments are addressed in this letter.

- *Please be advised that the Standard General Notes have been updated and posted to the DeIDOT website. Please begin using the new versions and look for the revision dates of March 21, 2019 and March 16, 2021. The notes can be found at <https://www.deldot.gov/Business/subdivisions/>.*

Response: The Standard General Notes will be added to the plans.

Department of Natural Resources and Environmental Control – Beth Krumrine 735-3480

- [Protect wetlands during project construction.](#) *Wetlands are a critical part of our natural environment. They reduce the impacts of flooding, absorb pollutants, and improve water quality. Wetlands provide habitat for animals and plants and many contain a wide diversity of life, supporting plants and animals that are found nowhere else.*

Response: Comment acknowledged.

- *For a list of consultants and engineers who can conduct wetland delineations, please visit the DNREC Wetlands and Subaqueous Lands Section link:*
<http://www.dnrec.delaware.gov/wr/Documents/WSLS/Consultant%20List.pdf>

Response: Comment noted.

- [Recommendations for buffers are prescribed below under the heading, Vegetated Buffer Zones.](#)

Response: Comment noted.

Stormwater Management

- *Where the site and soil conditions allow, integrate runoff reduction techniques including infiltration basins, bioretention (rain gardens), filter strips, and pavers to encourage on-site stormwater infiltration and reduce runoff.*

Response: The in-place existing SWM practices are to continue being used. The filter strip in front of SWM Pond 2-P will be re-aligned based on new parking geometry but will retain the same general dimensions.

- *For improved stormwater management, preserve existing trees, wetlands, and passive open space.*

Response: The site will remain relatively unchanged from its existing condition with disturbances only to provide previously approved SWM practices.

- *General stormwater contact: DNREC Sediment and Stormwater Program at (302) 739-9921. E-mail: DNREC.Stormwater@delaware.gov. Website: <https://dnrec.alpha.delaware.gov/watershed-stewardship/sediment-stormwater/>*

Response: Comment noted.

Drainage

- *All existing ditches on the property should be evaluated for function and cleaned, if needed, prior to the construction of the project.*

Response: No existing ditches are present.

- *Environmental permits or exemptions may be required by the County Conservation District (Standard Plan), the DNREC Sediment and Stormwater Program (eNOI/NOT), Army Corp of Engineers, and/or DNREC Wetlands and Subaqueous Lands Section prior to clearing and/or excavating ditch channels.*

Response: Not applicable, see response above.

Contact the DNREC Drainage Program at (302) 855-1930 for additional questions or concerns.
Website: <https://dnrec.alpha.delaware.gov/drainage-stormwater/>

Water Quality (Pollution Control Strategies)

- *More information about Pollution Control Strategies can be found at the following website: <https://dnrec.alpha.delaware.gov/watershed-stewardship/assessment/tributary-action-teams/>*

Response: Comment acknowledged.

- *Contact: DNREC Division of Watershed Stewardship's Watershed Assessment Section at (302) 739-9939. <https://dnrec.alpha.delaware.gov/watershed-stewardship/>*

Response: Comment acknowledged.

Additional Sustainable Practices

- *Consider using renewable energy infrastructure such as solar or geothermal on each building to reduce energy costs and further reduce pollution created from offsite generation. Grant funds and incentives may be available through the DNREC Green Energy Fund, which includes several funding types through the state's major electric utilities (<https://dnrec.alpha.delaware.gov/climate-coastal-energy/renewable/assistance/>).*

Response: Comment acknowledged.

- *Incorporate nonmotorized connectivity and install bicycle racks where feasible to help facilitate non-vehicular travel modes.*

Response: The Applicant does not anticipate a need for bike racks since the users of the facility will be typically delivering or retrieving items stored in the facilities using a passenger vehicle, trailer and / or truck.

- *Use efficient Energy Star rated products and materials in construction and redevelopment. Energy efficient appliances use less energy over time. This saves consumers and businesses money, while also helping to reduce pollution from power generation.*

Response: Comment acknowledged.

- *Use structural paint coatings that are low in Volatile Organic Compounds to help protect air quality. Air pollution from new construction is generated through the use of maintenance equipment, paints, and consumer products like roof coatings and primers.*

Response: Comment acknowledged.

- *Use recycled materials, such as reclaimed asphalt pavement, to reduce heat island effects on paved surfaces, prevent landfill waste, and lower material costs.*

Response: Comment acknowledged.

- *Install electric vehicle charging stations for your customers. Increasingly, customers will expect EV charging. It is easier to plan for the installation at construction, rather than doing costly retrofits later. The DNREC Division of Climate, Coastal and Energy offers rebates of up to 90% of the cost of the charging station for commercial, multi-unit dwelling and other public properties. These programs address climate change goals of reducing greenhouse gas emissions and improving overall air quality (<https://dnrec.alpha.delaware.gov/climate-coastal-energy/clean-transportation/>).*

Response: Given the site use as a self-storage facility, electric vehicle charging stations are not anticipated to be installed.

- *Include space for recycling dumpsters within the preliminary site design stage. These can be placed adjacent to trash dumpsters.*

Response: Comment acknowledged.

Delaware State Fire Marshall's Office – Contact Duane Fox 259-7037

- *Preliminary meetings with Fire Protection Specialists are encouraged prior to formal submittal. Please call for appointment. Applications and brochures can be downloaded from our website: www.statefiremarshal.delaware.gov, technical services link, plan review, applications or brochures.*

Response: A preliminary meeting will be scheduled prior to Fire Marshal submittal.

Delaware Emergency Management Agency – Contact Philip Cane 659-2325

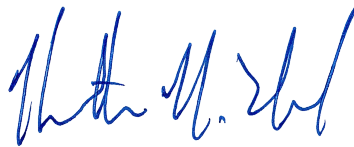
- *The proposed project location is not within or adjacent to any known flood plain or coastal inundation zone. 2018 QAP described the region this project is located in as being “Areas of Opportunity”. The region has a homeownership rate of approximately 90.4%, a poverty ratio of 3 to 1, with approximately 17% to 19% of that census block’s population at the age of 65 or older.*

Response: Comment acknowledged.

Mr. David L Edgell, AICP
Peak Management LLC – Bayside Mini-Storage
PLUS Review 2020-05-02
September 16, 2021
Page 13 of 13

On behalf of the Applicant, we thank the Office of State Planning and other State Departments for their comments. If you should have any questions or require additional information, please do not hesitate to contact me at (302) 855-5734, or via email at cbuczowski@mragta.com.

Respectfully Submitted,
MORRIS & RITCHIE ASSOCIATES, INC.



Kenneth M. Usab, P.E.
Principal

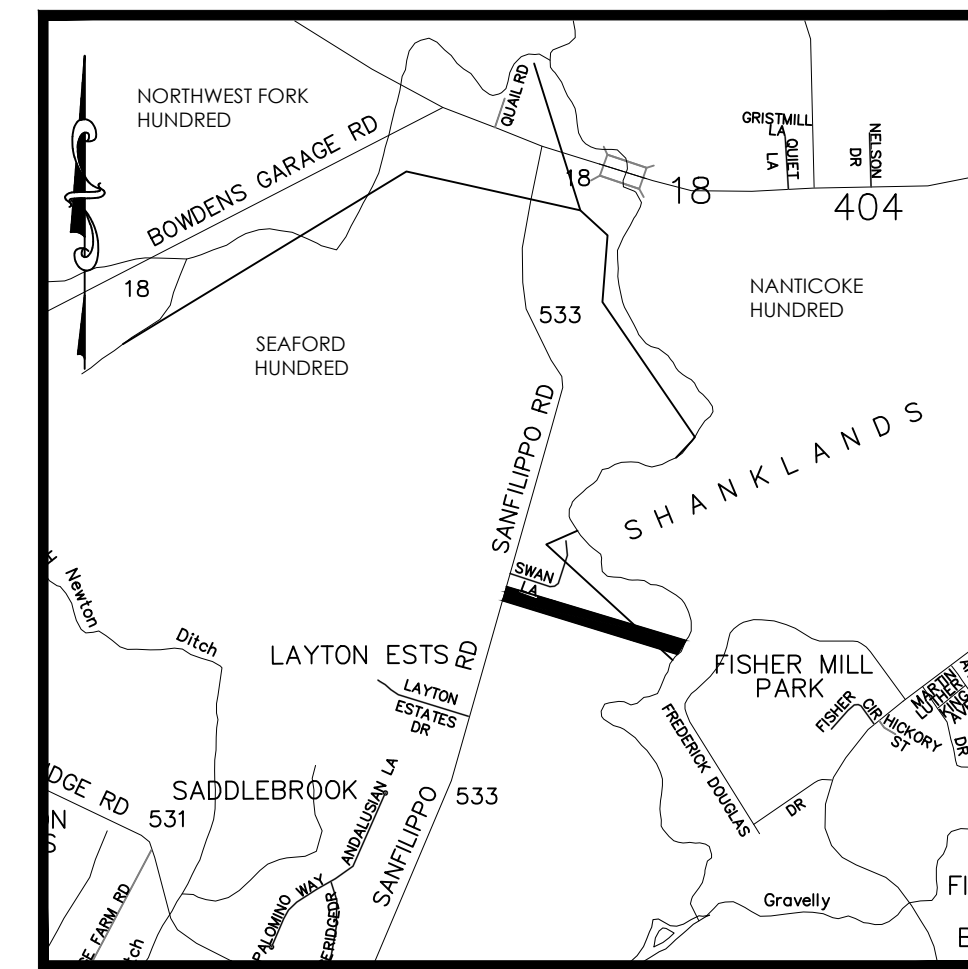
Enclosures

CC: Sussex County Planning and Zoning Department

S:\MRA\Projects\21082X01 Peak Management - Bayside Mini-Storage\CORRESPONDENCE\LETTERS\LTR 2109166 Edgell PLUS Responses.docx

PRELIMINARY SITE PLAN FOR ISRAEL BRAVO LOPEZ

SEAFORD & NANTICOKE HUNDREDS - SUSSEX COUNTY, DELAWARE
COUNTY PROJECT REFERENCE NUMBER: S-20-34



VICINITY MAP
SCALE: 1" = 2,000'

SITE DATA:

OWNER: ISRAEL BRAVO LOPEZ
20871 SANFILIPPO ROAD
BRIDGEVILLE, DE 19933

ENGINEER/
SURVEYOR: SOLUTIONS IPERM
303 NORTH BEDFORD STREET
GEORGETOWN, DE 19947
PHONE: 302-297-9215
CONTACT: JASON PALKEWICZ, PE

- TAX MAP: 331-2.00-44.07
- AREA = 6.16 ACRES
- NET DEVELOPMENT AREA = 6.16 ACRES
- SUSSEX COUNTY CONDITIONAL USE (CU 2217) (TO ALLOW FOR STORAGE OF UTILITY CONSTRUCTION EQUIPMENT AND VEHICLES WAS GRANTED APPROVAL BY THE SUSSEX COUNTY COUNCIL ON 8/11/20.)
- THIS PARCEL IS NOT LOCATED IN A WELLHEAD PROTECTION AREA.
- THIS PARCEL IS LOCATED IN AN AREA OF "GOOD" GROUNDWATER RECHARGE.
- EXISTING ZONING DISTRICT: AGRICULTURAL RESIDENTIAL (AR-1)
- EXISTING SETBACKS: FRONT: 40' SIDE: 10' REAR: 20'
- MAXIMUM BUILDING HEIGHT = 42 FEET
- FLOOD ZONE: BASED UPON F.E.M.A. FLOOD INSURANCE RATE MAP NUMBER 10005C0260K, PANEL 260 OF 660, WITH AN EFFECTIVE DATE OF MARCH 16, 2015, THIS SITE IS LOCATED WITHIN FLOOD ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, ZONE X SHADED, AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD, AND ZONE AE (ELEV 10). BASE FLOOD ELEVATIONS DETERMINED.
- TOPOGRAPHY AND BOUNDARY SHOWN HEREIN ARE AS PROVIDED BY SOLUTIONS IPERM, LLC
- VERTICAL DATA REFERENCE TO NAVD '88
- PARKING CALCULATIONS: HOME OCCUPATION/HOME OFFICE (\$115-163-J) SPACES REQUIRED = TO BE DETERMINED BY THE DIRECTOR SPACES PROVIDED = 6

SHEET INDEX

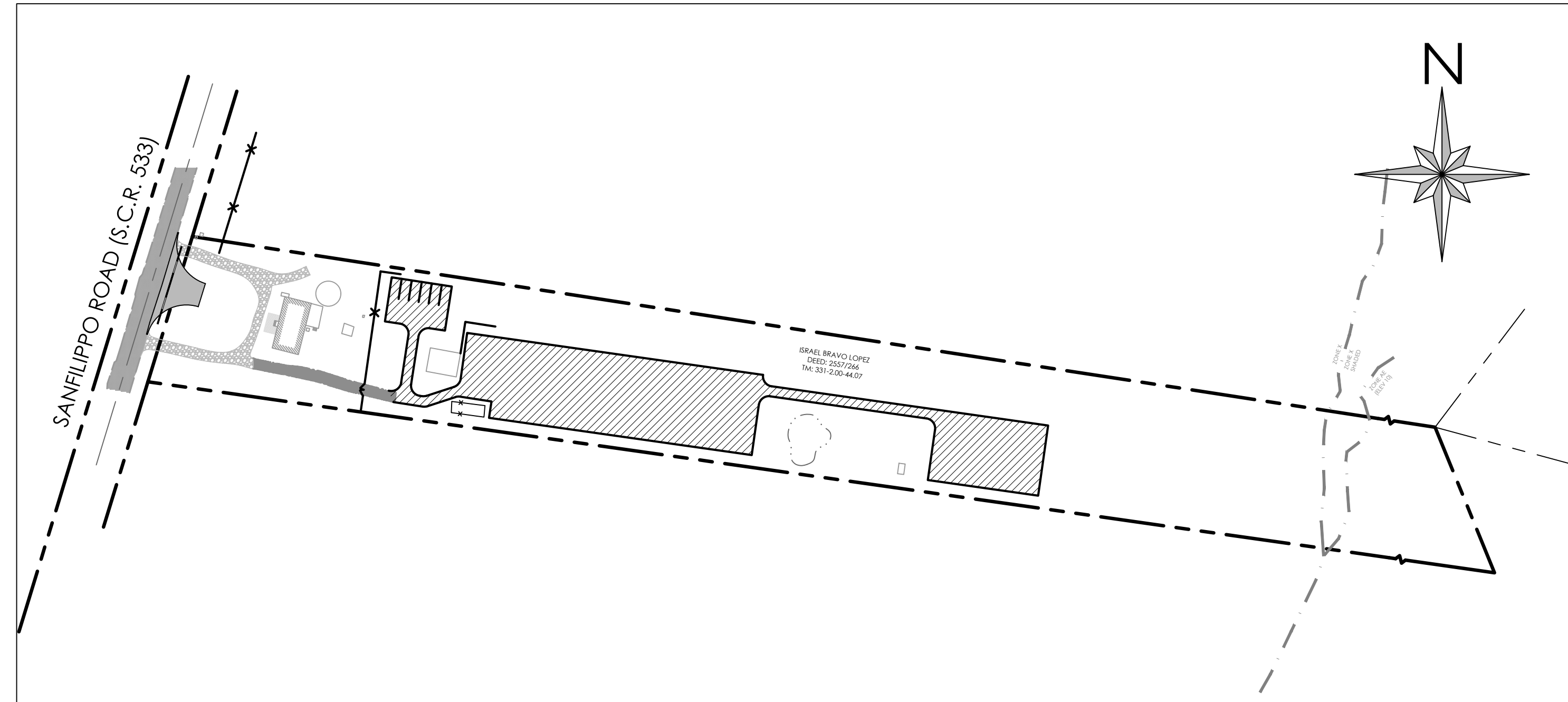
- COVER SHEET
- EXISTING CONDITION
- SITE PLAN
- DELDOT ENTRANCE PLAN

SURVEYOR'S STATEMENT

I, STEVEN W. FULLER, HEREBY STATE THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE AND THAT, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED SURVEYING STANDARDS FOR AN SUBURBAN CLASS SURVEY AND THAT THE MONUMENTS AND MARKERS SHOWN HEREON AS EXISTING ACTUALLY EXIST AND THAT THEIR POSITIONS ARE ACCURATELY SHOWN.

STEVEN W. FULLER DATE
PROFESSIONAL LAND SURVEYOR DELAWARE NO. 823

EXISTING	PROPOSED
PROPERTY LINE	N/A
ADJOINING PROPERTY LINE	N/A
IRON PIPE FOUND	N/A
SETBACK LINE	N/A
SPOT ELEV. LABEL	N/A
MAJOR CONTOUR	N/A
MINOR CONTOUR	N/A
ROAD CENTERLINE	N/A
EDGE OF CONCRETE	N/A
EDGE OF PAVEMENT	N/A
EDGE OF GRAVEL	N/A
PAVEMENT HATCH	N/A
CONCRETE HATCH	N/A
GRAVEL HATCH	N/A
BUILDING OUTLINE	N/A
EDGE OF POND	N/A
STORM PIPE	N/A
TREE LINE	N/A
FENCE LINE	N/A
DECIDUOUS TREE	N/A
CONIFEROUS TREE	N/A



SITE MAP
SCALE: 1" = 100'

Notice of Decision Letter for CU 2217 Dominic Lombardi
July 28, 2020
Page 2

- The parking and storage areas shall be shown on the Final Site Plan, and clearly marked on the site itself.
- The failure to abide by these conditions shall result in the termination of the conditional use approval.
- The Final Site Plan shall be subject to the review and approval of the Sussex County Planning and Zoning Commission.

The Final Site Plan shall be prepared by a licensed Delaware Surveyor or Engineer and shall contain the conditions of approval on the plan. The Final Site Plan shall be approved prior to the commencement of the use on the property. The Site Plan shall be reviewed and approved by the Planning Commission. Agency approvals include, but are not limited to: DelDOT, Sussex Conservation District, the Office of the State Fire Marshal.

Please submit a minimum of two (2) full size paper copies and an electronic copy (PDF) of the Preliminary Site Plan to the Planning and Zoning Office a minimum of twenty (20) days prior to a Planning Commission meeting.

An approved copy of the Ordinance granting approval of the Conditional Use will be sent to you from the Clerk of Council.

Please feel free to contact the Planning and Zoning Department with any questions during business hours 8:30 am to 4:30 pm, Monday through Friday, at (302)855-7878.

Sincerely,

Nick Torrance

Nick Torrance
Planner I

CC: Lester Shaffer, Chief Constable
Mike Brady, Public Works
Audy Wright, Building Code
John Ashman, Engineering
CU 2217 file

LEGAL DESCRIPTION OF THE LANDS OF ISRAEL BRAVO LOPEZ TAX MAP 331, GRID 2.0, PARCEL 44.07

BEGINNING AT AN IRON PIPE FOUND IN THE EASTERLY LINE OF COUNTY ROAD 533 (50 FEET WIDE) AT A CORNER FOR THIS LOT AND FOR LANDS NOW OR FORMERLY OF LSF8 MASTER PARTICIPATION TRUST (DJR 4847-92), SAID POINT BEING LOCATED 0.80 MILES, MORE OR LESS, NORTH OF COUNTY ROAD 531; THENCE ALONG THE EASTERLY LINE OF COUNTY ROAD 533 NORTH 24 DEGREES 21 MINUTES 53 SECONDS EAST 150.00 FEET TO AN IRON PIPE FOUND AT A CORNER FOR LANDS NOW OR FORMERLY OF CATHY A. WELLS (DJR 4868-168); THENCE ALONG LINE OF LANDS NOW OR FORMERLY OF WELLS, SOUTH 73 DEGREES 54 MINUTES 29 SECONDS EAST 1908.04 FEET (PASSING OVER AN IRON PIPE FOUND AT A DISTANCE OF 1039 FEET) TO A POINT IN THE CENTERLINE OF NANTICOKE BRANCH; THENCE ALONG THE CENTERLINE OF NANTICOKE BRANCH SOUTH 14 DEGREES 50 MINUTES 53 SECONDS EAST 146.39 FEET TO A POINT AT A CORNER FOR LANDS NOW OR FORMERLY OF LSF8 MASTER PARTICIPATION TRUST (DJR 4847-92); THENCE ALONG LINE OF LANDS NOW OR FORMERLY OF LSF8 MASTER PARTICIPATION TRUST NORTH 74 DEGREES 33 MINUTES 44 SECONDS WEST 2005.02 FEET TO THE PLACE OF BEGINNING AND CONTAINING 6.16 ACRES OF LANDS, BE THE SAME MORE OR LESS.

BEING THE SAME LANDS CONVEYED UNTO JAMES F., JR. & TAMMY L. HORNE, HWY, BY DEED OF DAVID & MARGARET SAUSBURY, DATED NOVEMBER 2, 1990, AND FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF DEEDS, IN AND FOR SUSSEX COUNTY, DELAWARE, IN DEED BOOK 1748, PAGE 32.

NOTES

- THERE SHALL NOT BE ANY INOPERABLE VEHICLES OR EQUIPMENT STORED ON THE SITE, ALSO, NO UNREGISTERED VEHICLES OR TRAILERS SHALL BE STORED ON THE SITE.
- AS CONFIRMED BY THE APPLICANT, NO SIGN FOR THE BUSINESS SHALL BE LOCATED ON THE SITE.
- ALL CHEMICALS ASSOCIATED WITH THE USE SHALL BE STORED INDOORS AND IN APPROPRIATE CONTAINERS.
- THIS PLAN REPRESENTS NO EARTH DISTURBANCE IN THE HATCHED AREA WHICH DESIGNATES WHERE UTILITY VEHICLES AND CONSTRUCTION EQUIPMENT SHALL BE STORED.
- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATIONS (DELDOT)'S CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- OWNER SHALL BE RESPONSIBLE TO MAINTAIN PROPER SIGHT DISTANCE OF THE EXISTING LANDSCAPING, DELDOT AT ANYTIME IN THE FUTURE, WHEN DEEMED NECESSARY, CAN MODIFY OR REMOVE THE EXISTING LANDSCAPING AT THE OWNER'S EXPENSE.

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
J. BRUCE MORGAN
N. KELLER HOPKINS
KELLY A. KINGGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7000
102 554 8279 F
JAMIE WHITEHOUSE, ACP, MPTPI
DIRECTOR

August 12th, 2020

Israel Bravo
20871 Sanfilippo Rd
Bridgeville, DE 19933

By email to: seven-ibf@hotmail.com

RE: Notice of Decision Letter for Conditional Use (CU 2217) Israel Bravo to allow for storage of utilities, equipment and vehicles at 20871 Sanfilippo Rd.
Tax Parcel: 331-2.00-44.07

Dear Mr. Bravo:

At their meeting of August 11th, 2020, the Sussex County Council approved the Conditional Use application to allow for storage of utilities, equipment and vehicles. This approval has five (5) conditions. The Conditional Use shall be substantially underway within three (3) years of the County Council approval otherwise the Conditional Use shall expire. A Site Plan showing the conditions of approval shall be reviewed and approved by the Planning Commission prior to commencement of the use of the small auto repair business. The following are the conditions:

- This use is limited in nature. The applicant only seeks to park or store equipment associated with his utility installation company on the site. No construction activities occur on the site.
- The use as location for parking and storage of equipment will not require extensive deliveries to or from the site, and the use does not generate a significant amount of traffic.
- With the conditions and limitations placed upon the use, it will not have an adverse impact upon traffic, roadways or area properties.
- No parties appeared in opposition to the application.
- This recommendation is subject to the following conditions:
 - The use shall be limited to the parking and storage of vehicles, equipment, trailers and conduit reels associated with the utility installation company, all of which should be located and confined to the cleared area.
 - There shall not be any inoperable vehicles or equipment stored on the site. Also, no unregistered vehicles or trailers shall be stored on the site.
 - There shall be either a privacy fence or landscape buffer behind the house and in front of the proposed storage area.
 - As confirmed by the Applicant, no sign for the business shall be located on the site.
 - All chemicals associated with the use shall be stored indoors and in appropriate containers.



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE I, 1ST FLOOR 417
GEORGETOWN, DELAWARE 19947

solutions
IPERM

303 North Bedford Street
Georgetown, DE 19947
T. 302-297-9215
3033 Manthill Mill Road
Salisbury, MD 21804
T. 410.572.8833
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Seal

Date

NO.	DATE	DESCRIPTION
1	7-12-21	REVISIONS PER PZ COMMENTS 10-8-20

COVER SHEET
OF THE LANDS OF
ISRAEL BRAVO LOPEZ
SEAFORD & NANTICOKE HUNDREDS
BRIDGEVILLE, SUSSEX COUNTY, DELAWARE

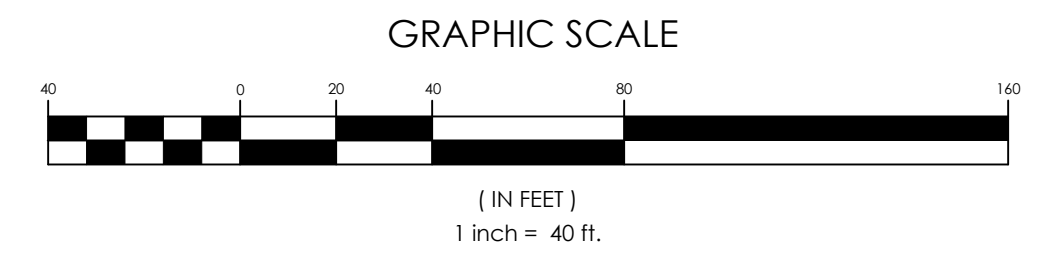
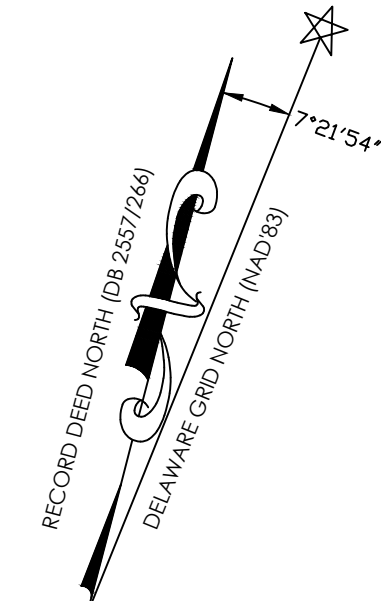
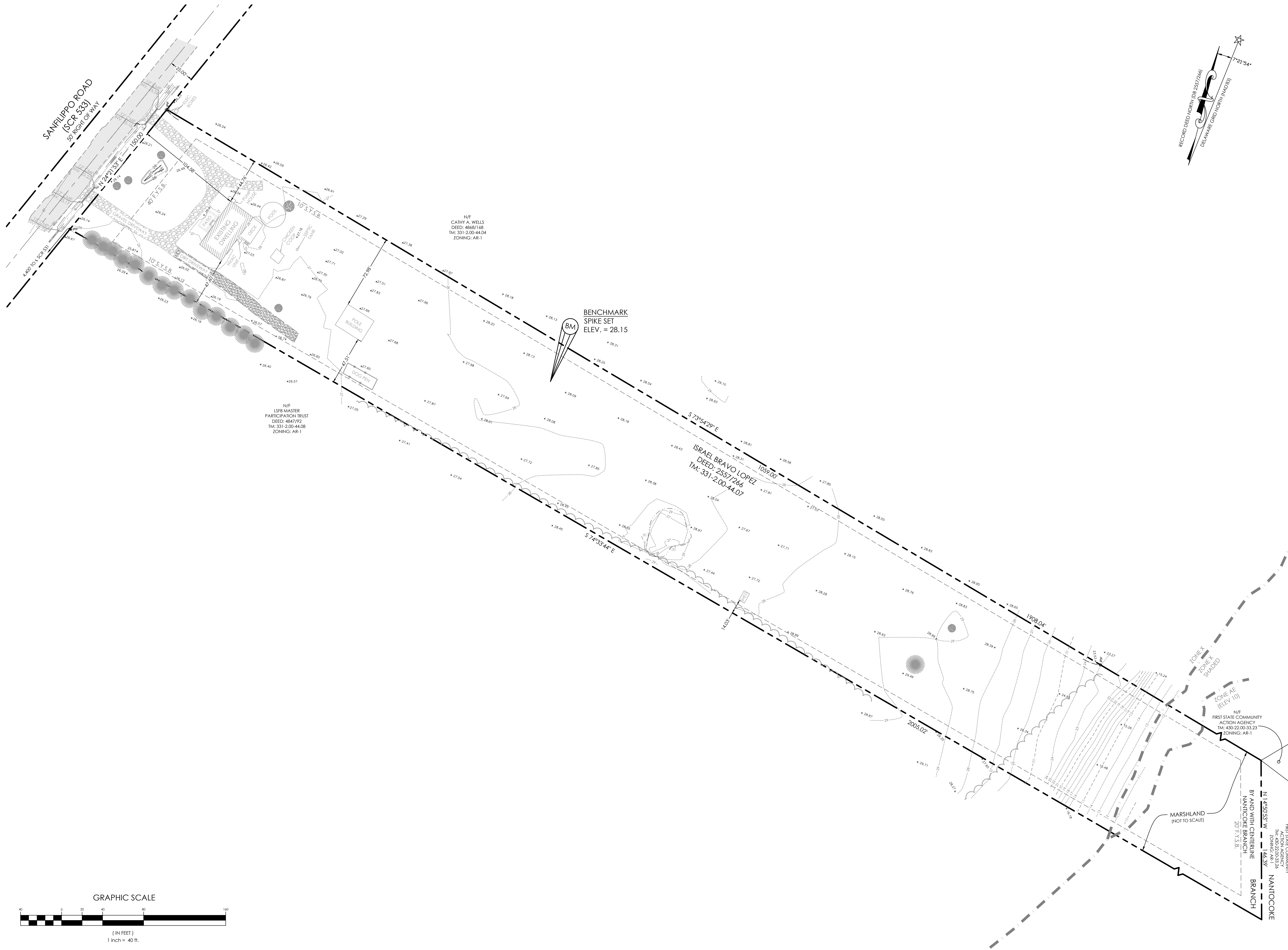
Date:	7/12/21
Job Number:	S19082
Scale:	AS NOTED
Drawn By:	HHB
Designed By:	HHB
Approved By:	SWF

Sheet No.:

1

File Name:

COVER

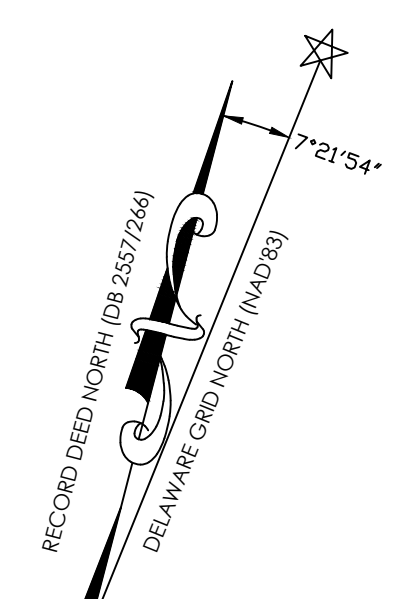
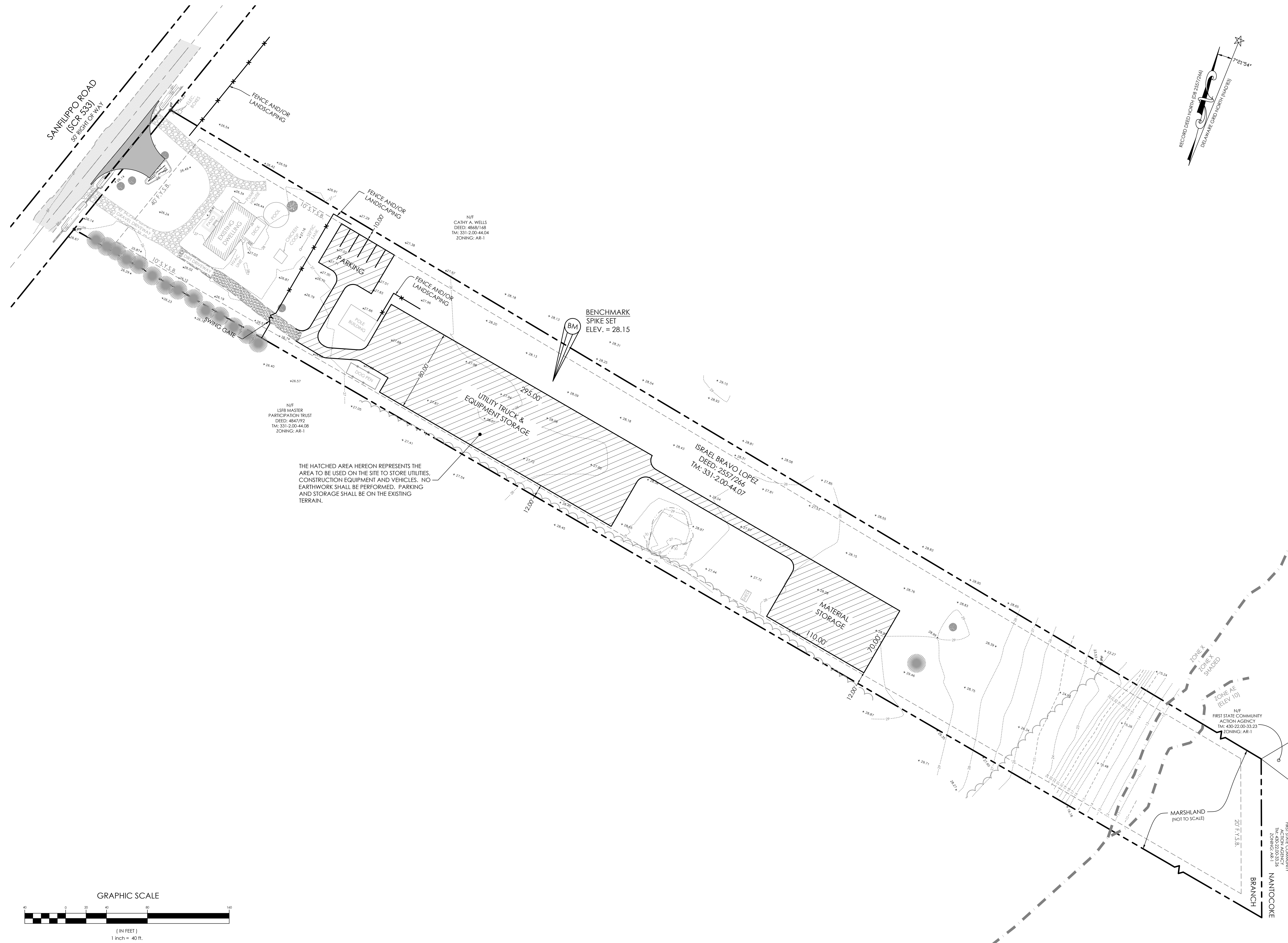


Seal _____
 Date _____

REVISIONS	
NO.	DESCRIPTION
1	7-12-21 REVISIONS PER PT COMMENTS 10-B-20

EXISTING CONDITIONS
 OF THE LANDS OF
ISRAEL BRAVO LOPEZ
 SEAFORD & NANTICOKE HUNDREDS
 BRIDGEVILLE, SUSSEX COUNTY, DELAWARE

Date:	7/12/21
Job Number:	190628
Scale:	1"=40'
Drawn By:	ML
Designed By:	JIP
Approved By:	JIP



N/F
CATHY A. WELLS
DEED: 4866/168
TM: 331-2.00-44.04
ZONING: AR-1

N/F
LSFB MASTER
PARTICIPATION TRUST
DEED: 4847/92
TM: 331-2.00-44.08
ZONING: AR-1

THE HATCHED AREA HEREON REPRESENTS THE AREA TO BE USED ON THE SITE TO STORE UTILITIES, CONSTRUCTION EQUIPMENT AND VEHICLES. NO EARTHWORK SHALL BE PERFORMED. PARKING AND STORAGE SHALL BE ON THE EXISTING TERRAIN.

BENCHMARK
SPIKE SET
ELEV. = 28.15

ISRAEL BRAVO LOPEZ
DEED: 2557/266
TM: 331-2.00-44.07

N/F
FIRST STATE COMMUNITY
ACTION AGENCY
TM: 430-22.00-33.23
ZONING: AR-1

N/F
FIRST STATE COMMUNITY
ACTION AGENCY
TM: 430-22.00-33.26
ZONING: AR-1

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

solutions
LAND SURVEYING & ENGINEERING

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Georgetown, DE 19142
T. 302-297-9215
3033 Manitt Mill Road
Salisbury, MD 21804
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Seal
Date

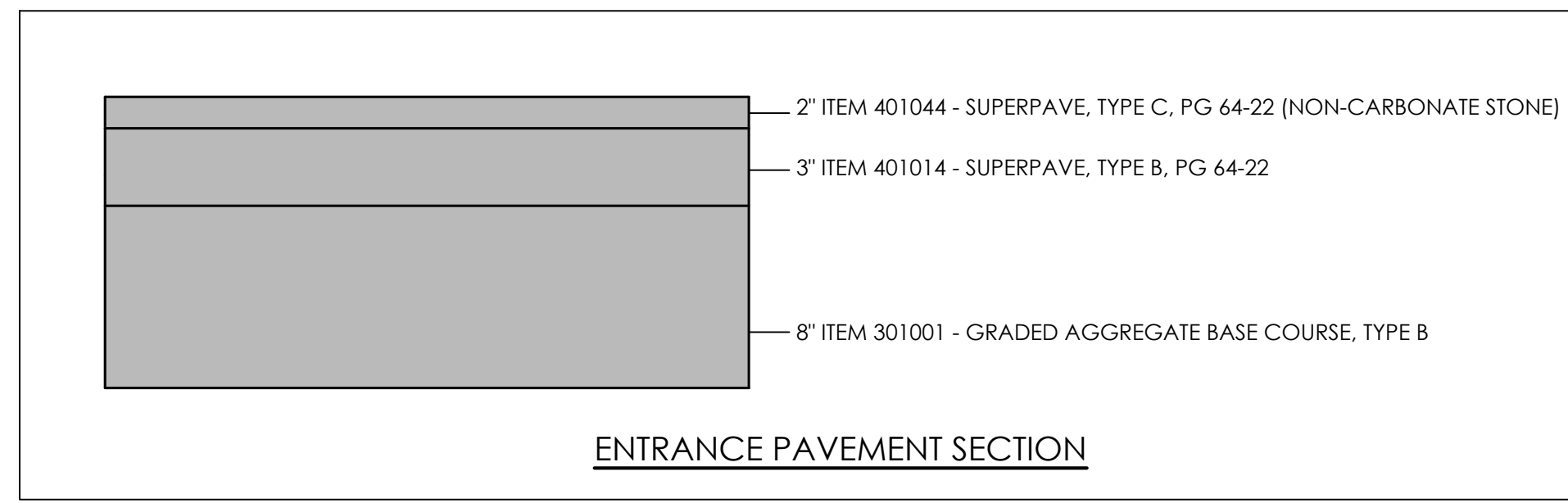
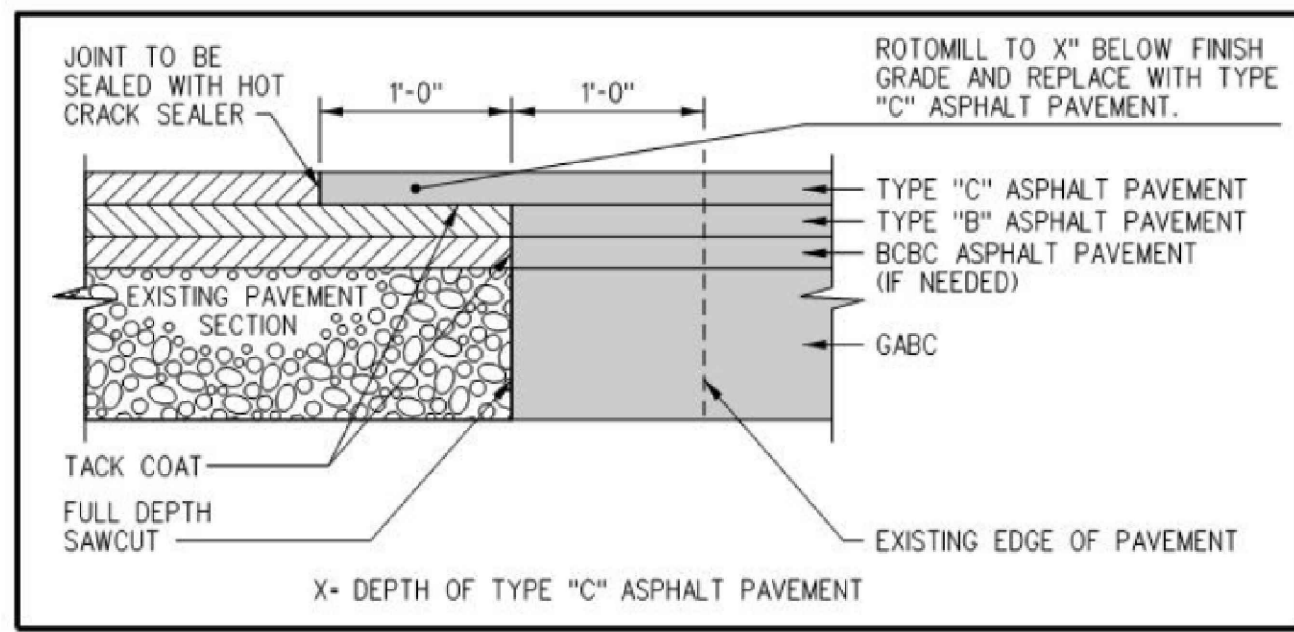
REVISIONS	
NO.	DESCRIPTION
1	REVISIONS PER PZ COMMENTS 10-8-20

SITE PLAN
OF THE LANDS OF
ISRAEL BRAVO LOPEZ
SEAFORD & NANTICOKE HUNDREDS
BRIDGEVILLE, SUSSEX COUNTY, DELAWARE

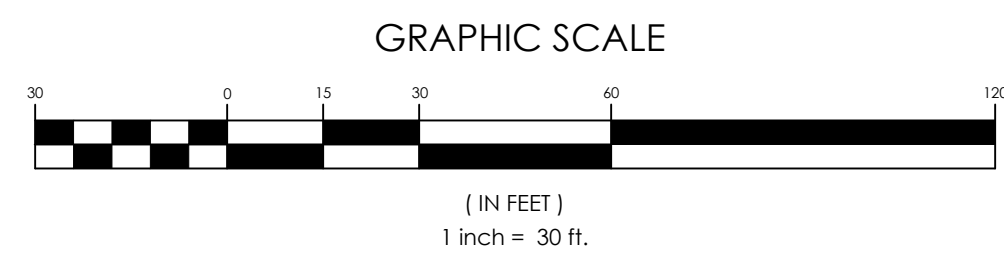
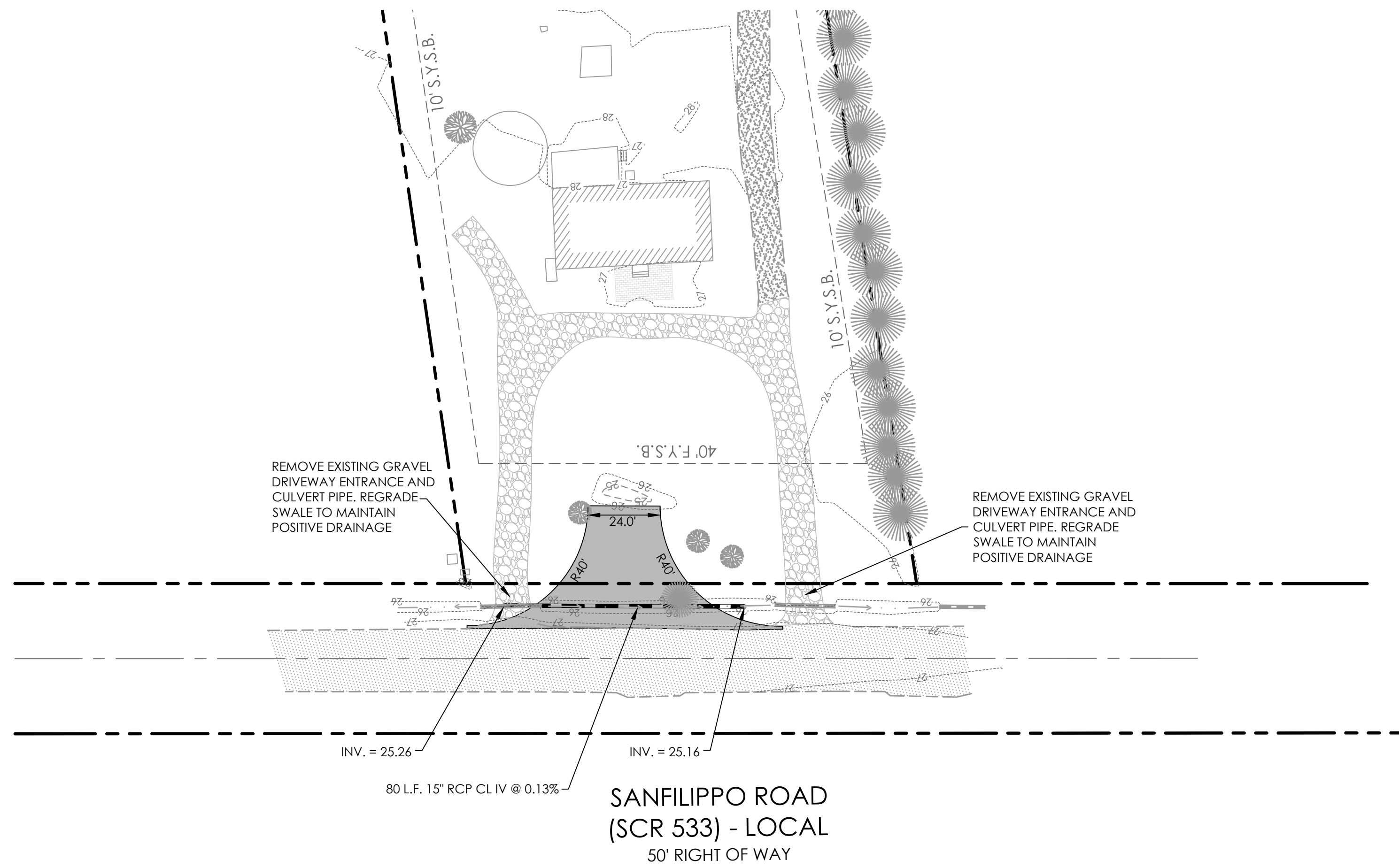
Date:	7/12/21	Drawn By:	HHB	Approved By:	SWF
Job Number:	S19082	Scale:	1"=40'	Designed By:	HHB

Sheet No.:
3
File Name: SITE

Typical Pavement Tie-In Detail



ENTRANCE PAVEMENT SECTION



OWNER'S CERTIFICATION

IT IS HEREBY CERTIFIED THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN DEVELOPED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

OWNER SIGNATURE _____ DATE _____
 ISRAEL BRAVO LOPEZ
 PRINTED NAME



303 North Bedford Street
 Georgetown, DE 19942
 T. 302.297.9215
 3033 Manitt Mill Road
 Salisbury, MD 21804
 T. 410.572.8833
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Seal _____
 Date _____

REVISIONS	
NO.	DESCRIPTION
1	7-12-21 REVISIONS PER PZ COMMENTS 10-8-20

DELDOT ENTRANCE PLAN
 OF THE LANDS OF
ISRAEL BRAVO LOPEZ
 SEAFORD & NANTICOKE HUNDREDS
 BRIDGEVILLE, SUSSEX COUNTY, DELAWARE

Date:	7/12/21
Job Number:	S19082
Scale:	1"=30'
Drawn By:	HHB
Designed By:	HHB
Approved By:	SWF

Sheet No.: **4**
 File Name: _____ SITE



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

NICOLE MAJESKI
SECRETARY

August 04, 2021

Mr. Jason Palkewicz
Solutions IPEM
303 North Bedford Street
Georgetown, Delaware 19947

**SUBJECT: Small Commercial Entrance Plan Approval Letter
Bravo's Trenching**
Tax Parcel #331-2.00-44.07
SCR00533-SANFILIPPO ROAD
Seaford Hundred, Sussex County

Dear Mr. Palkewicz:

The Delaware Department of Transportation (DelDOT) has reviewed your request, dated February 15, 2021, requesting a new Small Commercial Entrance. We have determined that this project is eligible and have issued an approved Entrance Plan dated August 04, 2021. This plan approval shall be valid for a period of **one (1) year**. If an entrance permit has not been obtained within one year, then the project must be resubmitted for review and approval.

The applicant acknowledges and accepts additional requirements may need to be constructed in the State of Delaware Right-of-Way to promote the safety and functionality of the applicants' new commercial entrance facility. These changes may be addressed as 'field changes' and could include but are not limited to the following items: sign relocation or placement, striping removal, additional striping, additional paving/repairs and additional transportation facility repairs or upgrades. Further the applicant agrees to adhere to all Maintenance of Traffic requirements that will be outlined in the Pre-Construction meeting.

This letter does not authorize the commencement of entrance construction. The following items will be required prior to the permit being issued. A pre-construction meeting may be required as determined by the South District Public Works office.

1. A copy of the Site Plan which is consistent with the DelDOT "General Conformity" stamped plan.
2. Three (3) copies of the approved entrance plans.
3. Completed permit application.



Bravo's Trenching
Mr. Palkewicz
Page 2
August 04, 2021

4. Executed agreements (i.e. construction, signal, letter).
5. An itemized construction cost estimate (only for entrance improvements).
6. A 150% security for the entrance improvements based upon an approved itemized construction cost estimate and W-9 form (if providing escrow).
7. A letter of source of materials, work schedule, list of subcontractors, emergency telephone numbers and names of contact persons.

Please contact the South District Public Works office (302) 853-1340 concerning any questions you may have relative to the aforementioned required items.

Sincerely,



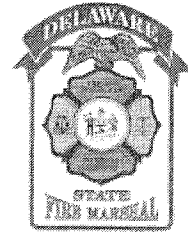
R. Stephen McCabe
Sussex County Review Coordinator
Development Coordination

cc: Isreal Lopez, Bravo's Trenching
Jamie Whitehouse, Sussex County Planning & Zoning Commission
Nicholas Torrance, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Matt Schlitter, South District Public Works Engineer
Scott Rust, South District Public Work Manager
James Argo, South District Project Reviewer
William Kirsch, South District Entrance Permit Supervisor
Jerry Nagyiski, Safety Officer Supervisor
Jennifer Pinkerton, Chief Materials & Research Engineer
Linda Osiecki, Pedestrian Coordinator
John Fiori, Bicycle Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kauffman, DTC Planner
James Kelley, JMT
Wendy L. Polasko, Subdivision Engineer
John Andrescavage, Sussex County Reviewer



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT NO INSPECTION REQUIRED

Plan Review Number: 2021-04-206154-MIS-01

Tax Parcel Number: 331-2.00-44.07

Status: Approved as Submitted

Date: 02/18/2021

Project

Outside Equipment Storage

20871 Sanfilippo Road
Bridgeville DE 19933

Bravo's Trenching

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 87 - Seaford Volunteer Fire Dept Inc

Occupant Load Inside:

Occupancy Code:

Applicant

Barry Hall
3003 Merritt Mill Road
Salisbury, MD 21804

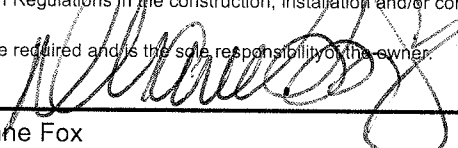
This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

Even though a final inspection was not conducted by this agency code compliance shall be required and is the sole responsibility of the owner.

This Plan Review Project was prepared by:



Duane Fox
Fire Protection Specialist III



February 12, 2021

Mr. Barry Hall
Solutions IPEM
Via email: bhall@solutionsipem.com

**RE: 20871 Sanfillippo Road/ CU 2217
Exemption from the Delaware Sediment and Stormwater Regulations
TM# 331-2.00-44.07**

Dear Mr. Hall,

The Sussex Conservation District has reviewed the plan for the above referenced site. The District concurs with the information provided and agrees that there is no proposed earth disturbance associated with this conditional use permit. This project is exempt from obtaining a sediment and stormwater plan from the Sussex Conservation District.

If you have any questions or concerns, please contact the District at 302-856-2105.

Sincerely,

Jessica L. Watson

Jessica L. Watson
Program Manager



LANDS N/F
WILLIAM J. ALLUM
DB 1563-201

LANDS N/F
SILVIA F. WALKER, TRUSTEE
DB 3876-31

LANDS N/F
MICHAEL A. & CHRISTINE TRACY FIORO
DB 1682-149

LANDS N/F
ROGER A., JR. & ASHLEY B. GRIFFITH
DB 5164-322

LANDS N/F
SUSAN B. NANCARROW
DB 3958-332

LANDS N/F
MARK L. MATHIS
FB 68-19

LOT #3
11.18 ACRES

LOT #2
11.17 ACRES

LOT #1
11.17 ACRES

NANTICOKE RIVER

LOW MEAN WATERLINE TABLE

LINE	BEARING	DISTANCE
L1	S 13°05'50" W	18.30
L2	S 05°52'15" E	52.70
L3	S 17°34'05" E	42.15
L4	S 36°02'55" E	31.53
L5	S 45°25'50" E	47.74
L6	S 66°16'21" E	61.43
L7	S 70°13'7" E	56.24
L8	S 37°01'39" E	37.39
L9	S 73°16'09" E	58.85
L10	S 78°55'53" E	71.95
L11	N 80°47'59" E	98.14
L12	N 75°49'58" E	69.14
L13	N 70°00'55" E	70.23
L14	N 84°40'20" E	64.53
L15	N 78°22'48" E	95.77
L16	S 82°03'59" E	64.68
L17	S 49°31'08" E	64.34
L18	S 11°04'35" E	75.56
L19	S 30°22'06" W	92.57
L20	S 54°32'25" W	52.90
L21	S 59°36'34" W	80.08
L22	S 44°51'10" W	55.87
L23	S 51°39'24" W	65.29
L24	S 49°03'23" W	141.68
L25	S 45°57'44" W	112.54
L26	S 48°37'55" W	97.66
L27	S 58°11'12" W	123.18
L28	S 32°13'56" W	146.46
L29	S 36°05'15" W	84.14
L30	S 30°35'00" W	101.97
L31	S 28°56'22" W	80.78
L32	S 27°06'40" W	101.40
L33	S 28°19'21" W	73.43
L34	S 26°58'23" W	95.50
L35	S 27°02'28" W	99.74
L36	S 08°04'47" W	39.59
L37	S 36°31'36" W	16.11
L38	S 20°52'21" W	17.90
L39	S 25°54'42" W	12.71
L40	S 26°13'02" W	32.64
L41	S 23°28'21" W	26.75
L42	S 18°04'49" W	35.80
L43	S 19°52'19" W	13.91
L44	S 25°36'59" W	15.60
L45	S 18°32'24" W	39.66
L46	S 09°22'47" W	45.22
L47	S 13°31'04" W	21.99
L48	S 13°06'47" W	27.86
L49	S 16°27'19" W	12.72
L50	S 11°33'47" W	12.43
L51	S 13°53'38" W	33.08

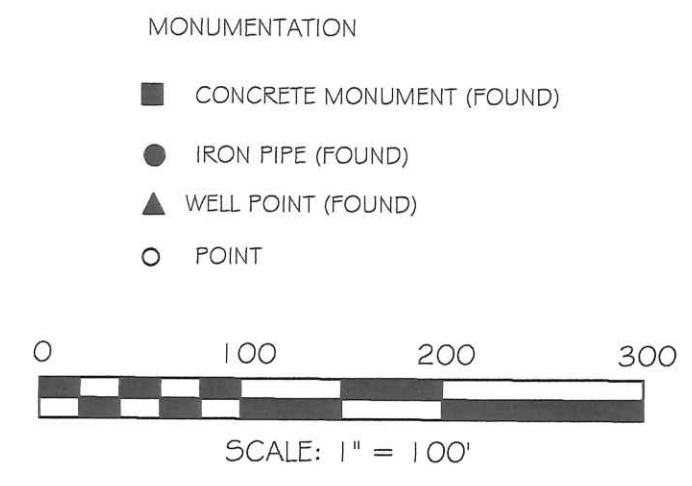
- NOTES:
1. THIS PARCEL IS IMPACTED BY TIDAL WETLANDS. SUSSEX COUNTY REQUIRES A 50' WIDE BUFFER STRIP ALONG ANY TIDAL WETLANDS.
 2. THIS PARCEL IS IMPACTED BY THE 100 YEAR FLOOD PLANE LIMIT AS PER FIRM 1005C0382K, DATED 3/16/2015
 3. PERPETUAL MAINTENANCE OF THE EASEMENT WILL BE THE JOINT RESPONSIBILITY OF THE LOT OWNERS.

- FIRE MARSHAL NOTES:
1. ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTION SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
 2. MAXIMUM HEIGHT: 3 STORIES NOT TO EXCEED 42'.
 3. A SINGLE FAMILY DWELLING IS PROPOSED.
 4. BUILDING CONSTRUCTION TYPE: NFPA TYPE V WOOD FRAME.
 5. AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.

I, DONALD K. MILLER REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

DONALD K. MILLER, FLS 407

DATE



MILLER LEWIS, INC.
LAND SURVEYING

1560 MIDDLEFORD RD.
SEAFORD, DELAWARE 19973
PH: 302-629-9895 FAX: 302-629-2391

33.5 ACRES +/-

HUNDRED	COUNTY
SEAFORD	SUSSEX
STATE	DRAWN BY
DELAWARE	D.K. MILLER
REF.	FILE NO.
DB 457-261 DB 1295-31	CONNER 531-15-89

MAY 5, 2021