



Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, Director, Department of Planning & Zoning; Lauren DeVore, Planner III, Jenny Norwood, Planner I, Christin Headley, Planner I, Nicholas Torrance, Planner I, and Chase Phillips, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: September 18, 2020

RE: Other Business for the September 24, 2020 Planning Commission Meeting

This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the September 24, 2020 Planning Commission meeting.

Lands of Arturo Granados-Gonzalez (2019-31)

BM

Final Subdivision Plan

This is a Final Subdivision plan for the subdivision of a 2.152-acre parcel of land into two (2) buildable lots. Proposed Lot #3A will consist of 1.075 acres +/- and proposed Lot #3B will consist of 1.074 acres +/- . At their meeting of Thursday, February 27, 2020, the Planning and Zoning Commission approved the Preliminary Subdivision Plan. The lots will be located on the south side of Burbage Road (S.C.R. 353). The Final Subdivision Plan complies with the Sussex County Zoning and Subdivision Code and all conditions of approval. Tax Parcel: 134-14.00-20.04. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are in receipt of all agency approvals.

Lands of H&S Properties (S-20-11/CU 2190)

KS

Request for Interpretation of Conditions of Approval

The applicant has requested clarification from the Commission regarding Conditions "B" and "D" which were originally issued by the Sussex County Council and appear to contradict one another. Condition "B" indicates the Conditional Use has been "approved subject to the applicant's newly submitted site plan" but Condition "D" states that "the current structure is nonconforming and shall not be permitted for this use (business v. residential)." The applicant does not believe that there is reason to prohibit the use of the structure on the subject property for a professional office and does not understand the rationale behind this statement.

Lands of H&S Properties (S-20-11/CU 2190)

KS

Preliminary Site Plan

This is a Preliminary Site plan for a proposed professional office to be located within an existing 485 square foot, single-story dwelling. At their meeting of Tuesday, January 7, 2020, the Sussex County Council approved the Conditional Use subject to eleven (11) conditions. The office is located at the intersection of Beaver Dam Road (Route 23) and Church Street (S.C.R. 285B). The Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 334-5.00-212.00. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are awaiting agency approvals.

Cellco Communications Tower (Verizon Wireless Communication Facility) (S-20-23)

KS

Preliminary Site Plan



This is a Preliminary Site Plan for a proposed wireless cellular communications tower to be located at 26602 Harbeson Road. At their meeting of Monday, November 20, 2018, the Sussex County Board of Adjustment approved Special Use Exception No. 12201 for the location and operation of the cell tower. The proposed cell tower will be located within a compound that is 50-ft X 60-ft that will also include various utilities. The proposed cell tower includes warning lights as regulated by the Federal Aviation Communications Commission (FCC) and the Federal Aviation Administration (FAA). The Preliminary Site Plan complies with the Sussex County Zoning Code, particularly the 50-ft setback required for the tower itself. Tax Parcels: 234-10.00-70.06 & 234-10.00-70.07. Zoning C-1 (General Commercial Zoning District.) Staff are awaiting agency approvals.

Dollar General - Lincoln (S-20-27)

KH

Preliminary Site Plan

This is a Preliminary Site Plan for 9,100 square foot Dollar General retail store and 30 parking spaces. The Dollar General will be located on the south side of Johnson Rd. (S.C.R. 207). The applicant is requesting a modification in the parking layout with 15 parking spaces proposed within the front yard setback, as well as a providing 30 parking spaces where 39 spaces are required. The Planning & Zoning Commission previously denied the Preliminary Site Plan at the August 27, 2020 meeting. The applicant has provided a response highlighting existing constraints located on the property that impact the site design. Tax Parcels: 230-5.20-43.00 & 230-6.17-1.01. Zoning: AR-1 (Agricultural Residential Zoning District) & B-1 (Neighborhood Business Zoning District). Staff are awaiting agency approvals.

Dagsboro Trace (2004-34)

HW

Revised Subdivision Plan

This Revised Subdivision Plan proposes to remove the sidewalks from the subdivision. The sidewalks have not been installed and the proposed location of the sidewalks would require the relocation of street lighting and transformers already installed throughout the development. The Planning and Zoning Office has received documentation that 51% of existing property owners within the subdivision consent to this proposed change. Tax Parcel: 233-11.00-194.01. Zoning: AR-1 (Agricultural Residential Zoning District).

Lands of Ribinsky

BM

Minor Subdivision off a 24-ft easement

This is a concept plan for a proposed minor subdivision off a 24-ft easement over an existing driveway. The proposed plan will create one (1) lot from an existing 7.06 acre +/- parcel located off of Lawton Lane. The proposed lot will be accessed from the proposed 24-ft easement. The proposed plan will also increase the lot size of Tax Parcel 234-18.00-51.10 by 0.5 acres +/- . A Preliminary Subdivision Plan will be reviewed by staff for compliance with the Sussex County Subdivision Code prior to the approval of any Final Subdivision Plan. Tax Parcels: 234-18.00-51.08 & 234-18.00-51.10. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are awaiting agency approvals.

Lands of Wilkinson

KH

Minor Subdivision off a 50-ft easement

This is a Preliminary Subdivision Plan for a minor subdivision off a 50-ft easement over an existing driveway to create three (3) lots with a residual lot located off of Benson Road. Lot 4 will measure 1.1288 acres +/-, Lot 5 will measure 1 acre +/-, Lot 6 will measure 1.0083 acres +/- and the residual lot will measure 39.844 acres +/- . Tax Parcel: 230-20.00-30.00. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are awaiting agency approvals.

Lands of John and Melody Pettyjohn

KS

Minor Subdivision off a 30-ft easement

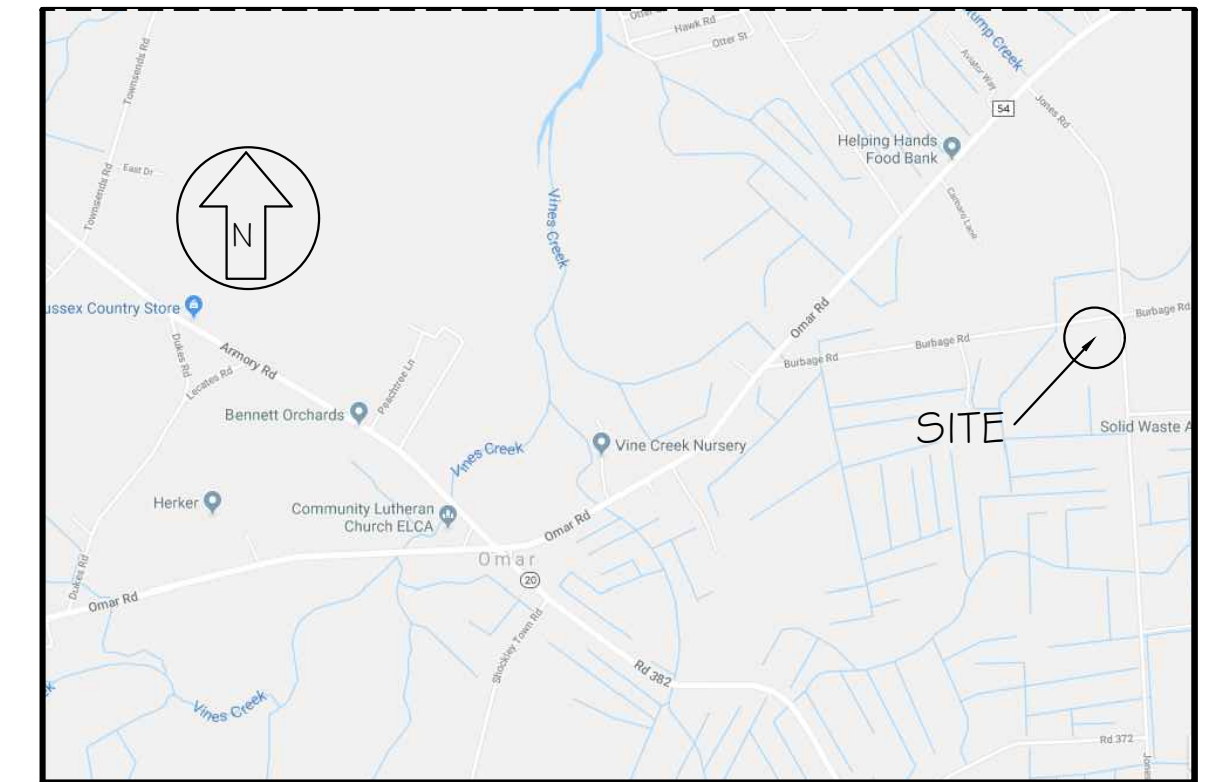
This is a Preliminary Subdivision Plan for a minor subdivision off a 5.1169-acres parcel to create one (1) lot consisting of 3.448 acres, off a proposed 50-ft ingress/egress easement, over an existing driveway. The residual lands will consist of 1.672 acres. This property is located off Johnson Road (S.C.R. 434A). The Preliminary Subdivision Plan complies with Sussex County Zoning and Subdivision Code. Tax Parcel: 232-20.00-49.00. Zoning: AR-1 (Agricultural Residential Zoning District.) Staff are in receipt of all agency approvals.

Lands of Mitchell

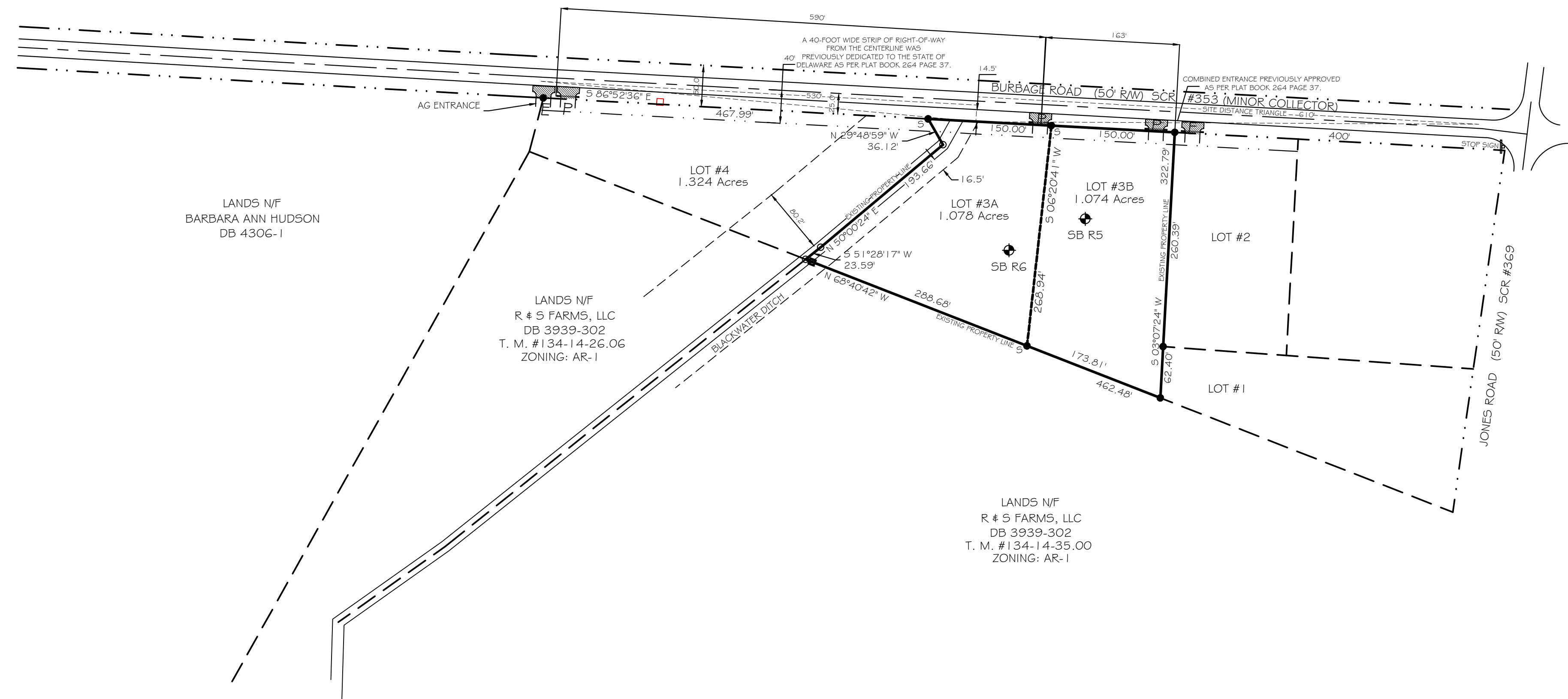
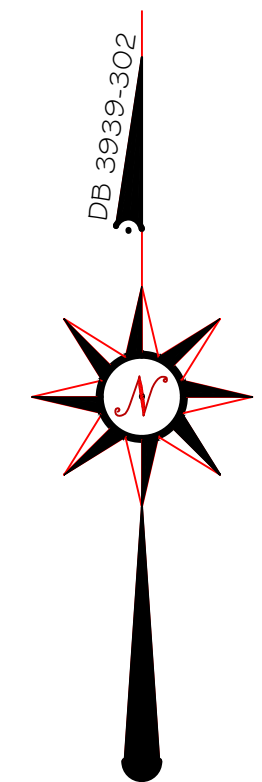
KS

Minor Subdivision off a 50-ft easement

This is a Preliminary Subdivision Plan for a minor subdivision of a 4.669-acres parcel to create one (1) lot consisting of 1.000 acre off an existing 50-ft access easement and existing driveway. The residual land will measure 3.669 acres. This property is located off Harbeson Road (Rt. 5). The Preliminary Subdivision Plan complies with the Sussex County Zoning and Subdivision Code. Tax Parcel: 235-26.00-17.09. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are in receipt of all agency approvals.



VICINITY MAP
SCALE 1"=1 MILE



DATA COLUMN:

T.M.#134-14.00-20.04 LOT #3
 ZONING: AR-1
 TRACT AREA: 2.152 ACRES
 EXISTING LOTS: 1
 PROPOSED LOTS: 2, 1 NEW
 PRESENT USE: RESIDENTIAL
 PROPOSED USE: RESIDENTIAL
 ACCESS: S.C.R. 353 (BURBAGE ROAD)
 BURBAGE ROADWAY CLASSIFICATION: MINOR COLLECTOR
 WATER AND SEWER: INDIVIDUAL ON-SITE
 100 YEAR FLOODPLAIN: SITE IS NOT IMPACTED
 AS PER FIRM #10005C0495K DATED 3/16/15
 THIS PROJECT IS NOT IN THE PROXIMITY OF A TID
 SPEED LIMIT ON BURBAGE IS 50 MPH (UNPOSTED)
 PROPOSED ENTRANCES FOR LOT #2 & #4 WERE PREVIOUSLY
 APPROVED AND RECORDED IN FB 264-37

I, DONALD K. MILLER REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

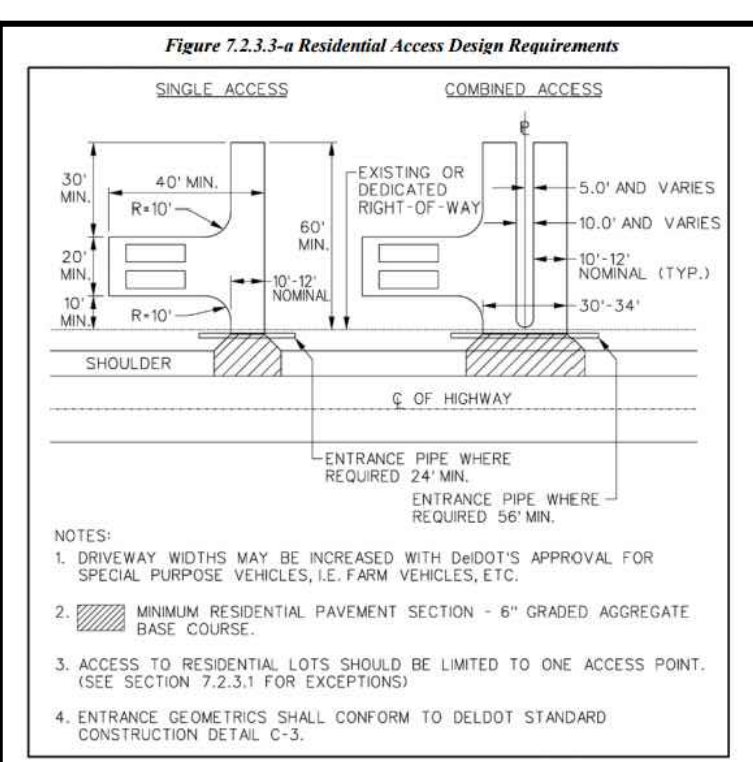
 DONALD K. MILLER, PLS 407 DATE _____

I, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

OWNER NAME _____ DATE _____
 OWNER NAME _____ DATE _____

THIS PLAN SUPERCEDES IN PART THE PLAT RECORDED IN PLAT BOOK 264 PAGE 37
RE-SUBDIVISION PLAN OF LOT #3, R&S FARMS, LLC FOR
ARTURO GRANADOSGONZALEZ

BURBAGE ROAD, FRANKFORD, DE 19945

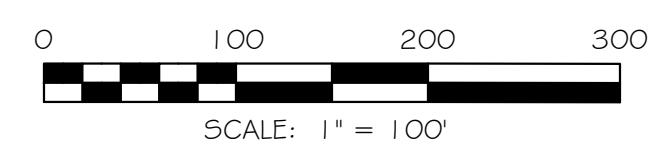


- NOTES:
- IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REVISED TO BE FROM AN INTERNAL SUBDIVISION STREET.
 - ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATIONS (DEL.D.O.T.'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
 - THERE IS A FIFTY FOOT BUILDING SETBACK FROM LANDS USED FOR AGRICULTURAL PURPOSES.
 - LOT 3 SHALL HAVE A SINGLE ACCESS TO SCR 353 AS SHOWN ON THIS PLAT. LOT 3A SHALL HAVE A SINGLE ACCESS TO SCR 353 AS SHOWN ON THIS PLAT.
 - THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE.
 - THERE SHALL BE NO MORE THAN 2 LOTS IN THE SUBDIVISION.
 - ALL ENTRANCES SHALL COMPLY WITH ALL OF DELDOT'S REQUIREMENTS.
 - THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF SUSSEX COUNTY.

APPROVAL BY SUSSEX COUNTY COUNCIL PRESIDENT:

 SIGNATURE DATE _____

- EXISTING RIGHT-OF-WAY LINE
- NEW RIGHT-OF-WAY LINE
- PROPERTY LINE
- CENTERLINE
- NEXT PROPERTY LINE
- PROPOSED PROPERTY LINE
- 4x4 POST IN CONCRETE (FOUND)
- IRON PIPE (FOUND)
- IRON PIPE (SET)
- POINT
- ⊙ SOIL BORING
- ⌚ EXISTING ENTRANCE
- ⌚ PROPOSED ENTRANCE
- UTILITY POLE
- TELEPHONE BOX
- Ⓜ MAIL BOX



SCALE: 1" = 100'

THIS SURVEY AND PLAT DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHTS-OF-WAY OR EASEMENTS CROSSING THIS PROPERTY. NO TITLE SEARCH PROVIDED OR STIPULATED.

SURVEY CLASS: SUBURBAN

DATE	REVISION
1/3/2020	DEL. D.O.T. COMMENT
3/4/2020	ADDED P#2 CONDITIONS

MILLER LEWIS, INC.
 LAND SURVEYING
 1560 MIDDLEFORD RD.
 SEAFORD, DELAWARE 19973
 PH: 302-629-9895 FAX: 302-629-2391

HUNDRED	COUNTY
BALTIMORE	SUSSEX
STATE	DRAWN BY
DELAWARE	D.K. MILLER
REF.	FILE
DB 3939-302	R&S FARMS 1-34-14-34

DECEMBER 12, 2019



September 8, 2020

Mr. Jamie Whitehouse
Sussex County Planning & Zoning Dept.
2 The Circle
Georgetown, DE 19947

RE: CU #2190 (Lands of H&S Properties, LLC)

Jamie,

On January 7, 2020, the Sussex County Council granted approval to Conditional Use application CU #2190 (Lands of H&S Properties, LLC) with eleven (11) conditions. After receiving the formal approval statement from the Planning and Zoning Office and reviewing the aforementioned conditions with the applicant, we have particular concern with Condition D, which reads as follows:

The current structure is nonconforming and shall not be permitted for this use (business vs. residential). All future improvements on the property shall comply with all setbacks. The size and characteristics of this property may pose challenges to designing a building for the use that conforms with the setbacks on the property, and variances may need to be sought from the Board of Adjustment. The approval of this Conditional Use is not determinative of whether any variances should or should not be granted for this property.

Throughout Sussex County, there are numerous structures that are being utilized for differing business uses and which were once also utilized for residences. We do not believe that there is reason to prohibit the use of the structure on the subject property for a professional office and do not understand the rationale behind this statement. Further, the structure in question pre-dates the current Zoning Code of Sussex County and we do not believe that the applicant should be prohibited from utilizing it for the intended use simply because it projects into the front yard setback. When reading further into the conditions of approval, Condition D seems to be in direct conflict with Condition B, which reads as follows:

This Conditional Use is approved subject to the Applicant's newly submitted site plan entitled, "Lands of H&S Properties, LLC" prepared by The Kercher Group, Inc. dated November 11, 2019 which shows the site contains sufficient space for the use and required parking.

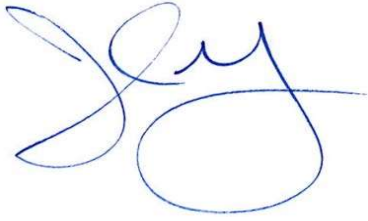
As was stated on record during CU #2190's public hearing, the applicant is seeking to utilize the existing structure for use as a professional office and understands that any future improvements to the existing structure or approval for the placement of a new structure on the subject property will require a site plan submission to the Planning & Zoning Office. With that, we are respectfully requesting that Condition D be amended to either reflect that the existing structure is nonconforming but shall be permitted for the proposed use or that the first sentence of the condition be omitted in its entirety.

Included with this letter is an updated copy of the Site Plan in question for this project. The plan has been amended since the Council last reviewed it to incorporate additional survey information in the project vicinity and to add the Conditions of Approval. At your earliest convenience, we would request that the plan be reviewed and that this matter be placed on the next available agenda of the County Council for consideration.

Thank you for your continued assistance with this project and please do not hesitate to contact our office at your earliest convenience with any questions or concerns that you may have.

THE KERCHER GROUP, INC.

Sincerely,
The Kercher Group, Inc.

A handwritten signature in blue ink, appearing to read "John Murray". The signature is stylized with a large, sweeping initial "J" and a prominent "M".

John Murray
Project Manager

CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS WIRELESS COMMUNICATION FACILITY

DOV HOLLYVILLE
22602 HARBESON ROAD
HARBESON, DE 19951
234-10.00-70.06 / 234-10.00-70.07

DRAWING SCHEDULE	
DRAWING#	DRAWING TITLE
CV-01	COVER SHEET
SP-1	SITE MAP AND NOTES
SP-2	COMPOUND PLAN AND ELEVATION
SP-3	ANTENNA DETAILS
SP-4	SITE DETAILS
SP-5	ANTENNA SCHEMATIC AND PLUMBING DIAGRAM
SP-6	GENERATOR DETAIL
SP-7	CONCRETE PAD DETAILS AND NOTES
CS-1	CONSTRUCTION SPECIFICATIONS
E-01	ELECTRICAL SPECIFICATIONS
E-02	POWER AND TELCO SERVICE PLAN
E-02a	ELECTRICAL RISER AND SINGLE LINE DIAGRAM
E-03	GROUNDING PLAN
E-04	GROUNDING DETAILS
E-05	ALARM WIRING SCHEMATIC AND RISER DIAGRAMS



LOCATION MAP
N.T.S.

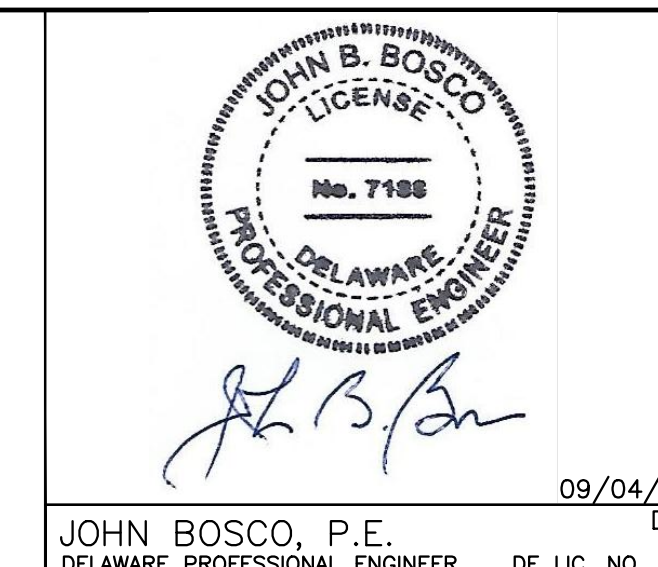
SITE DATA	
NAD 83	
*LATITUDE = N 38° 40' 25.5"	
*LONGITUDE = W 75° 14' 13.8"	
ELEVATION DATA (NAVD 88)	
*GRADE = ±30.2' (AMSL)	
*FAA 2C CERTIFIED	
ANTENNAS AT CENTERLINE (NAVD 88)	
ALPHA = ±145'-0" (AGL)	
BETA = ±145'-0" (AGL)	
GAMMA = ±145'-0" (AGL)	
PROJECT DATA	
PROJECT:	DOV HOLLYVILLE
LOCATION:	22602 HARBESON ROAD HARBESON, DE 19951
BLOCK & LOT:	234-10.00-70.06 / 234-10.00-70.07
ZONE:	C-1
PROPERTY OWNER:	JOHN W. DAVIDSON TRUSTEE 22602 HARBESON ROAD HARBESON, DE 19951
APPLICANT:	CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS 512 EAST TOWNSHIP LINE ROAD BLUE BELL, PA. 19422

SCHEDULE OF REVISIONS					
NO.	DESCRIPTION OF CHANGES	DRAWN BY	AUTH. BY	ISSUE STATUS	ISSUE DATE
7					
6	REVISED PER PLANNING COMMISSION COMMENTS	A.B.	J.B.B.	A	09/04/20
5	REVISED TO SHOW DIESEL GENERATOR DETAIL	J.L.	P.J.T.	A	07/22/20
4	REVISED NUMBER OF CABLES	R.P.J.	P.J.T.	A	06/30/20
3	REVISED PER COMMENTS	A.R.C.	P.J.T.	A	07/26/19
2	REVISED PER COMMENTS	A.R.C.	P.J.T.	A	07/22/19
1	REVISED PER LATEST RFDS	A.R.C.	P.J.T.	A	07/16/19
0	ISSUED FOR REVIEW	J.E.F.	P.J.T.	A	05/28/19

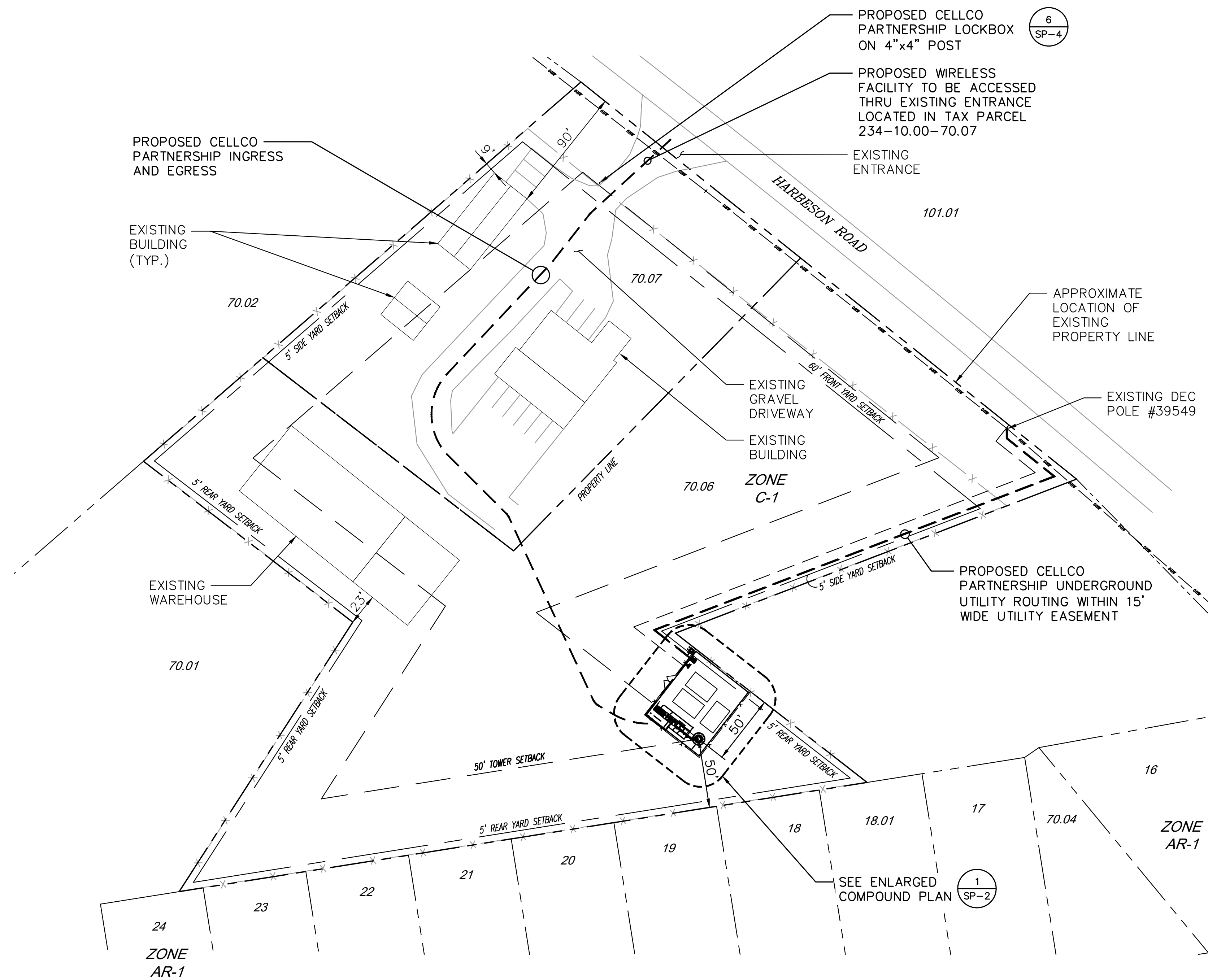
NOTES:
1. THIS DOCUMENT HAS BEEN PREPARED FOR A 24"x 36" FORMAT. DO NOT SCALE THIS DOCUMENT IF PLOTTED ON ANY OTHER FORMAT.
2. IF THIS DOCUMENT DOES NOT CONTAIN THE SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT A VALID DOCUMENT AND NO LIABILITY IS ASSUMED FOR THE INFORMATION SHOWN HEREON.



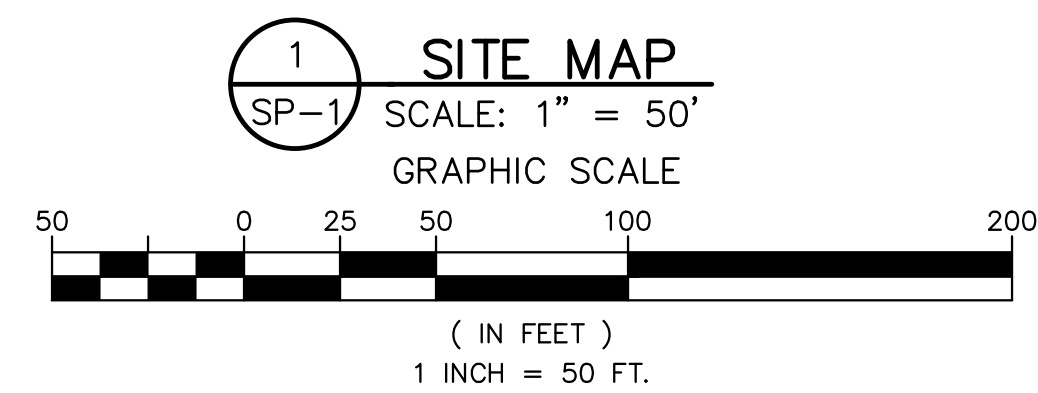
CELLCO PARTNERSHIP d/b/a
VERIZON WIRELESS
512 E. TOWNSHIP LINE ROAD, BUILDING 2, FLOOR 3
BLUE BELL, PA. 19422
TEL: (610) 715-6000



DRAWING TITLE: COVER SHEET		DRAWING ISSUE STATUS CURRENTLY - A	
PROJECT: DOV HOLLYVILLE 22602 HARBESON ROAD HARBESON, DE 19951 SUSSEX COUNTY		FIRST ISSUE: 03/27/19	DRAWING NO. CV-01
PROPERTY OWNER: JOHN W. DAVIDSON TRUSTEE		DRAWN BY: J.E.F.	CHECKED BY: P.J.T.
		SCALE: AS SHOWN	SHEET NO. 1 OF 15
		PROJECT NO. 124.112	PRINT DATE: 09/04/20
		DOCUMENT NO.	



SITE DATA	
NET DEVELOPMENT AREA (SQ FT)	< 5000
TOWER HEIGHT (FT)	151
ZONING	C-1
CURRENT USE	COMMERCIAL - MASONRY BUSINESS
PROPOSED USE	ADDITION OF WIRELESS FACILITY / CELL TOWER AND EQUIPMENT IN FENCED COMPOUND



CONTACT INFO		
ENTITY	ADDRESS	PHONE
DELMARVA POWER	PO BOX 17006, WILMINGTON, DE 19850	(800) 375-7117
MILTON FIRE DEPARTMENT	116 FRONT ST. MILTON, DE 19968	(302) 684-8500
DELAWARE STATE POLICE	23652 SHORTLY RD, GEORGETOWN, DE 19947	(302) 856-5850

GENERAL NOTES:

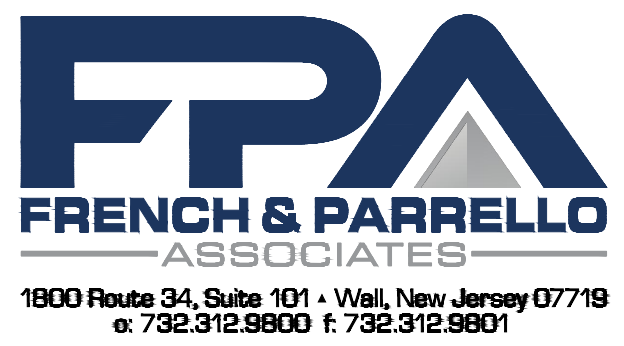
- SUBJECT PROPERTY IS KNOWN AS 234-10.00-70.06 / 234-10.00-70.07 AS SHOWN ON THE SUSSEX COUNTY TAX MAPS AND IS SITUATED AT 22602 HARBESON ROAD IN HARBESON, DE 19951.
- APPLICANT: CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS
512 EAST TOWNSHIP LINE ROAD
BLUE BELL, PA 19422

PROPERTY OWNER: JOHN W. DAVIDSON TRUSTEE
22602 HARBESON ROAD
HARBESON, DE 19951
- THE APPLICANT PROPOSES TO INSTALL A WIRELESS COMMUNICATIONS FACILITY, CONSISTING OF OUTDOOR EQUIPMENT CABINETS, GENERATOR, AND (6) ANTENNAS ATTACHED TO A PROPOSED MONOPOLE WITHIN A NEW 50'x60' FENCED COMPOUND. THE PROPOSED USE IS A MOBILE COMMUNICATIONS TELEPHONE EXCHANGE AND IS NOT INTENDED FOR PERMANENT EMPLOYEE OCCUPANCY. ADDITIONAL SITE PARKING WILL ALSO NOT BE REQUIRED.
- THIS FACILITY SHALL BE VISITED ON THE AVERAGE OF ONCE A MONTH FOR MAINTENANCE AND SHALL BE MONITORED FROM A REMOTE FACILITY.
- FINAL CONNECTIONS TO THE ELECTRICAL AND TELEPHONE UTILITIES TO BE DETERMINED BY THE APPROPRIATE UTILITY COMPANIES. ALL PROPOSED UTILITIES SHALL BE UNDERGROUND.
- SPECIAL USE EXCEPTION GRANTED BY SUSSEX COUNTY BOARD OF ADJUSTMENT CASE NO. 12201, JOHN W. DAVIDSON, TRUSTEE ON NOVEMBER 20, 2018.
- ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - CURRENT PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
 - CURRENT PREVAILING UTILITY COMPANY AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY FRENCH & PARRELLO ASSOCIATES, P.A. IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE REPRESENTED HEREON, AND/OR IF SUCH CONDITIONS WOULD OR COULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE AND/OR INEFFECTIVE.
- THE CONTRACTOR IS RESPONSIBLE TO PROTECT, REPAIR AND/OR REPLACE ANY DAMAGED STRUCTURES, UTILITIES OR LANDSCAPED AREAS WHICH MAY BE DISTURBED DURING THE CONSTRUCTION OF THIS FACILITY.
- THE CONSTRUCTION CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ALL CONSTRUCTION MEANS AND METHODS. THE CONSTRUCTION CONTRACTOR IS ALSO RESPONSIBLE FOR ALL JOB SITE SAFETY.
- THE INCREASE IN STORM WATER RUNOFF DUE TO THE INCREASE OF IMPERVIOUS AREA IS INSIGNIFICANT. EXISTING DRAINAGE PATTERNS WILL NOT BE ALTERED. THEREFORE NEW DRAINAGE STRUCTURES ARE NOT PROPOSED.
- INFORMATION SHOWN TAKEN FROM TAX MAPS AND FROM FIELD OBSERVATIONS BY FRENCH AND PARRELLO ASSOCIATES.
- NO GUARANTEE IS MADE NOR SHOULD BE ASSUMED AS TO THE COMPLETENESS OR ACCURACY OF THE HORIZONTAL OR VERTICAL LOCATIONS. ALL PARTIES UTILIZING THIS INFORMATION SHALL FIELD VERIFY THE ACCURACY AND COMPLETENESS OF THE INFORMATION SHOWN PRIOR TO CONSTRUCTION ACTIVITIES.
- ALL IMPROVEMENTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE TOWNSHIP ENGINEER WHO WILL BE GIVEN PROPER NOTIFICATION PRIOR TO THE START OF ANY CONSTRUCTION.
- THE EXISTENCE OF THE CELL TOWER COMPOUND WITHIN THE REQUIRED SETBACKS IS REQUIRED FOR THE OPERATIONS AND FUNCTIONS OF THE CELL TOWER ITSELF.
- THE PROPOSED CELL TOWER WILL NOT EMIT ANY NOISES OR SMELLS.
- THE SUBJECT PROPERTIES IS LOCATED WITHIN AREA OF MINIMAL FLOOD HAZARD AND DOES NOT CONTAIN WETLANDS.

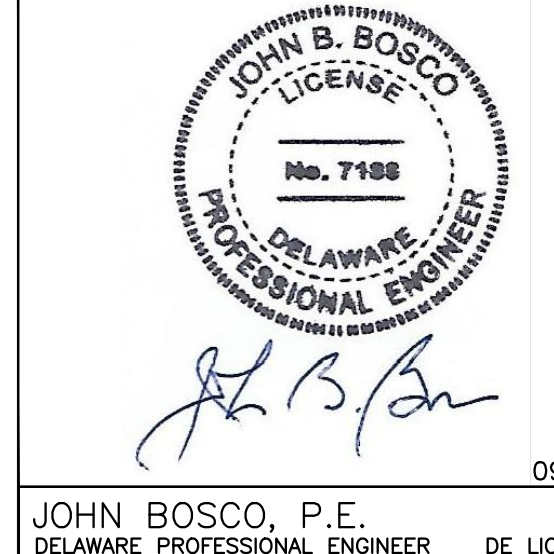
SCHEDULE OF REVISIONS					
NO.	DESCRIPTION OF CHANGES	DRAWN BY	AUTH. BY	ISSUE STATUS	ISSUE DATE
7					
6	REVISED PER PLANNING COMMISSION COMMENTS	A.B.	J.B.B.	A	09/04/20
5	REVISED TO SHOW DIESEL GENERATOR DETAIL	J.L.	P.J.T.	A	07/22/20
4	REVISED NUMBER OF CABLES	R.P.J.	P.J.T.	A	06/30/20
3	REVISED PER COMMENTS	A.R.C.	P.J.T.	A	07/26/19
2	REVISED PER COMMENTS	A.R.C.	P.J.T.	A	07/22/19
1	REVISED PER LATEST RFDS	A.R.C.	P.J.T.	A	07/16/19
0	ISSUED FOR REVIEW	J.E.F.	P.J.T.	A	05/28/19

NOTES:

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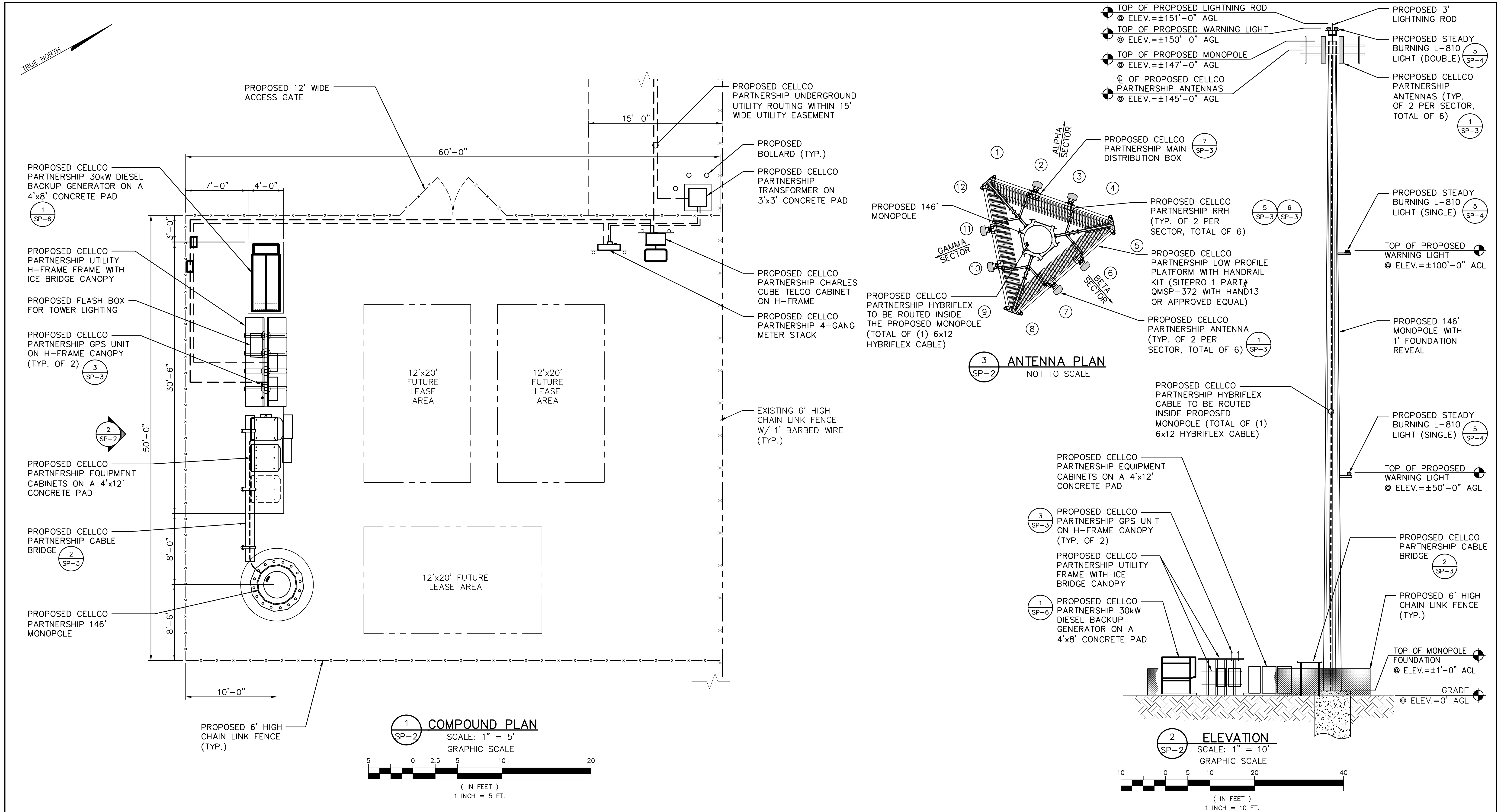


CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS
 512 E. TOWNSHIP LINE ROAD, BUILDING 2, FLOOR 3
 BLUE BELL, PA. 19422
 TEL: (610) 715-6000



DRAWING TITLE: **SITE MAP AND NOTES**
 PROJECT: DOV HOLLYVILLE
 22602 HARBESON ROAD
 HARBESON, DE 19951
 SUSSEX COUNTY
 PROPERTY OWNER: JOHN W. DAVIDSON TRUSTEE
 DATE: 09/04/2020
 DE LIC. NO. 7188

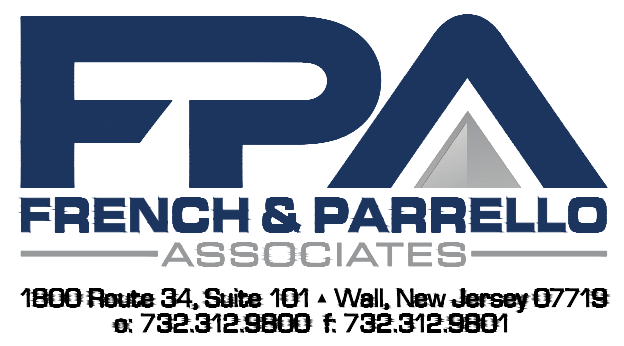
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FIRST ISSUE: 03/27/19	DRAWING NO. SP-1
DRAWN BY: J.E.F.	
CHECKED BY: P.J.T.	
SCALE: AS SHOWN	SHEET NO. 2 OF 15
PROJECT NO. 124.112	PRINT DATE: 09/04/20
DOCUMENT NO.	



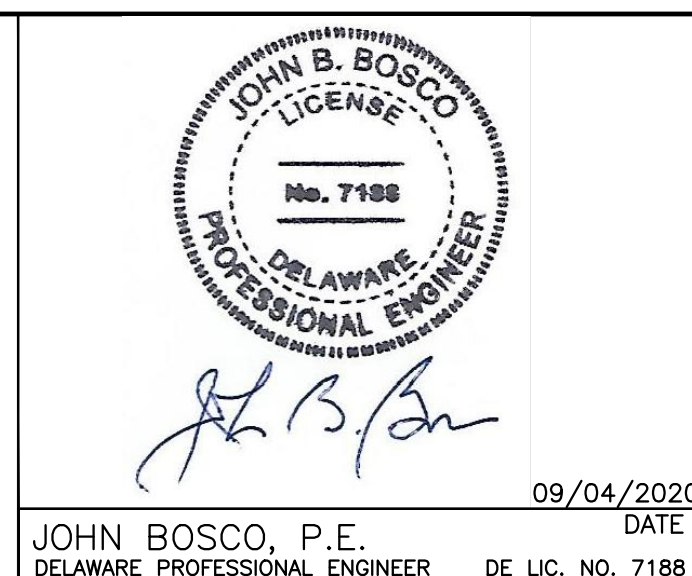
SCHEDULE OF REVISIONS				
NO.	DESCRIPTION OF CHANGES	DRAWN BY	AUTH. BY	ISSUE DATE
7				
6	REVISED PER PLANNING COMMISSION COMMENTS	A.B.	J.B.B.	A 09/04/20
5	REVISED TO SHOW DIESEL GENERATOR DETAIL	J.L.	P.J.T.	A 07/22/20
4	REVISED NUMBER OF CABLES	R.P.J.	P.J.T.	A 06/30/20
3	REVISED PER COMMENTS	A.R.C.	P.J.T.	A 07/26/19
2	REVISED PER COMMENTS	A.R.C.	P.J.T.	A 07/22/19
1	REVISED PER LATEST RFDS	A.R.C.	P.J.T.	A 07/16/19
0	ISSUED FOR REVIEW	J.E.F.	P.J.T.	A 05/28/19

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CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS
 512 E. TOWNSHIP LINE ROAD, BUILDING 2, FLOOR 3
 BLUE BELL, PA. 19422
 TEL: (610) 715-6000



DRAWING TITLE:
COMPOUND PLAN AND ELEVATION

PROJECT:
 DOV HOLLYVILLE
 22602 HARBESON ROAD
 HARBESON, DE 19951
 SUSSEX COUNTY

PROPERTY OWNER:
 JOHN W. DAVIDSON TRUSTEE

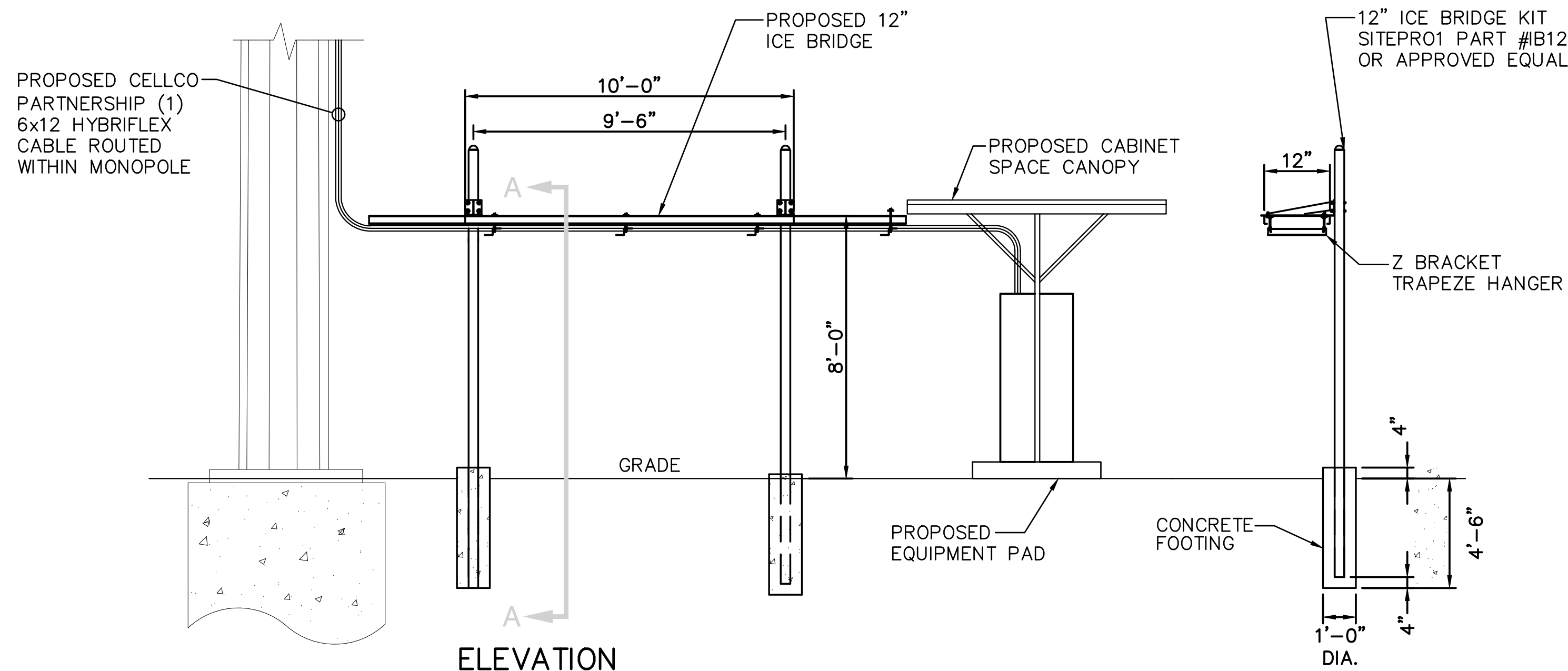
DRAWING ISSUE STATUS CURRENTLY - A	
FIRST ISSUE:	DRAWING NO.
03/27/19	SP-2
DRAWN BY: J.E.F.	CHECKED BY: P.J.T.
SCALE: AS SHOWN	SHEET NO. 3 OF 15
PROJECT NO. 124.112	PRINT DATE: 09/04/20
DOCUMENT NO.	



MECHANICAL SPECIFICATIONS
 OVERALL HEIGHT: 72.0
 WIDTH: 11.9
 DEPTH: 7.1
 WEIGHT EXCLUDING BRACKETS:
 43.7 LBS.

**COMMSCOPE
 NHH-65B-R2B**

1 **DETAIL**
 SP-3 NOT TO SCALE

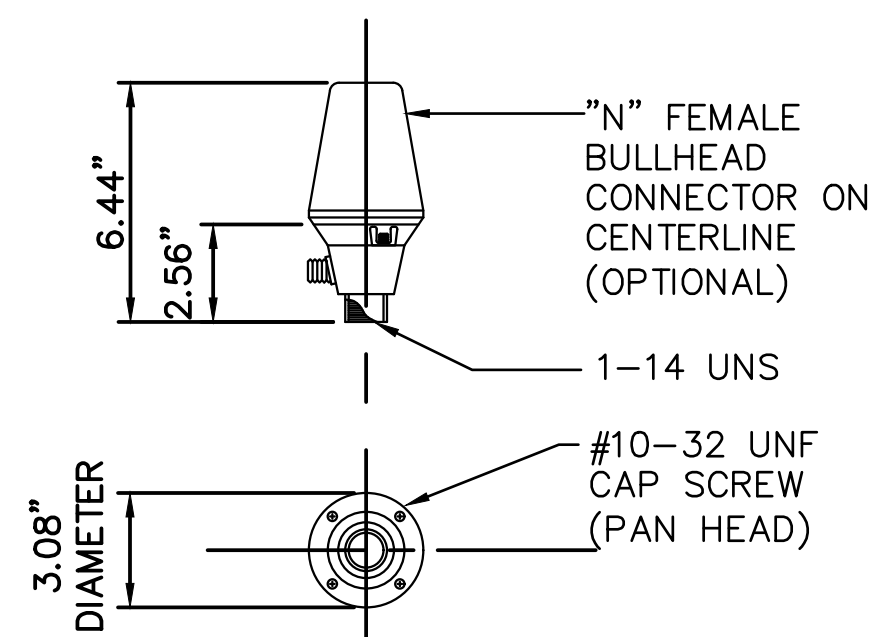


ELEVATION

CABLE BRIDGE

2 **DETAIL**
 SP-3 NOT TO SCALE

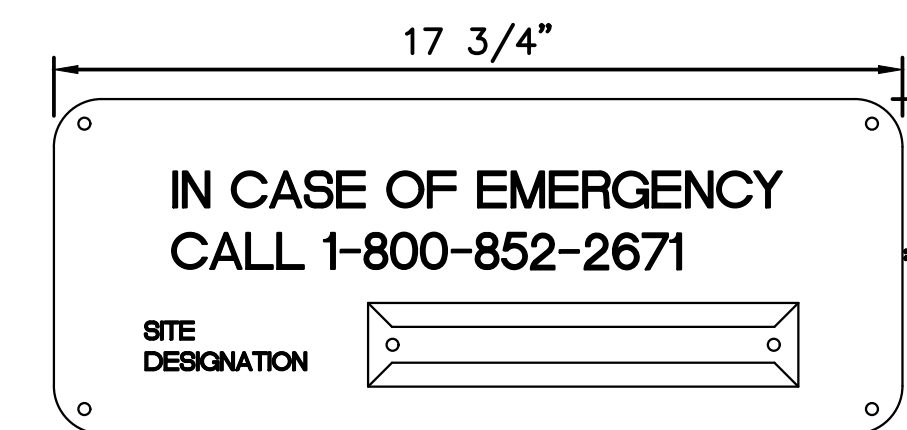
SECTION A-A



NOTE:
 PROVIDE 1/2" COAX CABLE FOR CONNECTION

GPS UNIT

3 **DETAIL**
 SP-3 NOT TO SCALE



NOTES:
 1) MOUNTING HEIGHT TO BE 5'-0" ABOVE GRADE TO CENTERLINE OF SIGN.

EMERGENCY SIGN

4 **DETAIL**
 SP-3 NOT TO SCALE



MECHANICAL SPECIFICATIONS
 OVERALL HEIGHT: 22.0 IN.
 WIDTH: 12.1 IN.
 DEPTH: 7.1 IN.
 WEIGHT: 79.4 LBS.

**NOKIA AIRSCALE DUAL RRH
 4T4R B2/66a 320W AHFC
 RRH UNIT**

5 **DETAIL**
 SP-3 NOT TO SCALE



MECHANICAL SPECIFICATIONS
 OVERALL HEIGHT: 22.0 IN.
 WIDTH: 12.1 IN.
 DEPTH: 7.4 IN.
 WEIGHT: 83.8 LBS.

**NOKIA AIRSCALE DUAL RRH
 4T4R B5/13 320W AHBC
 RRH UNIT**

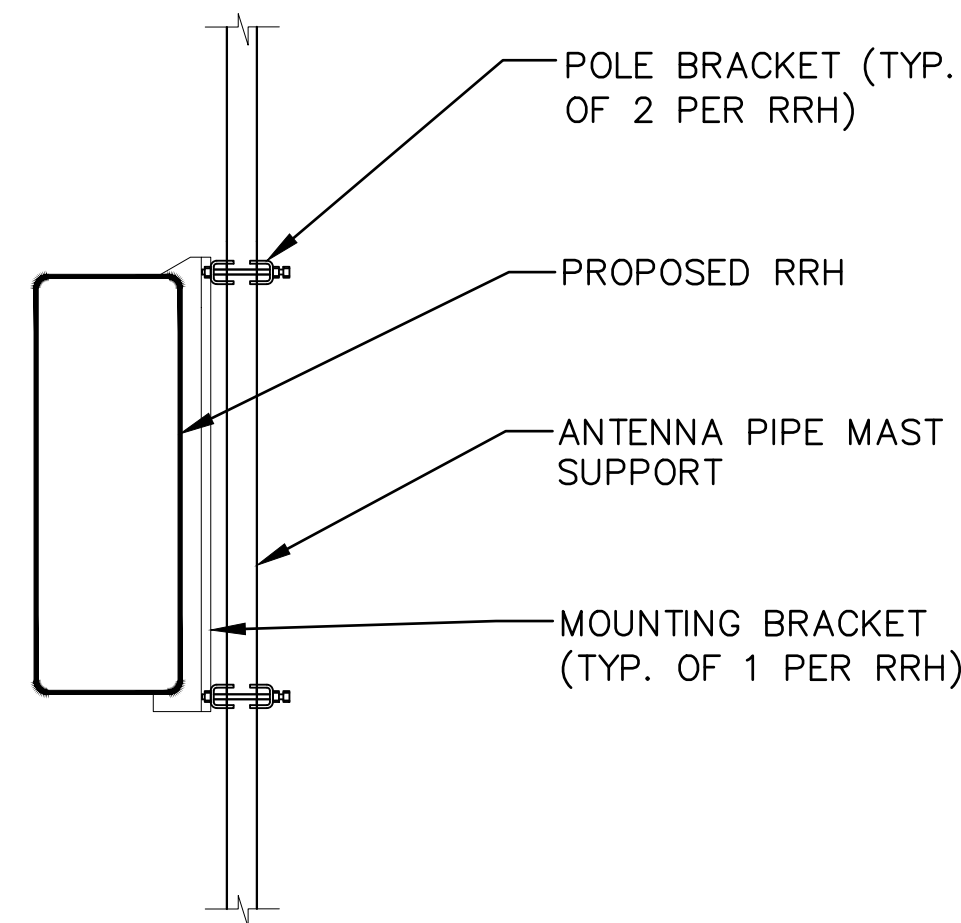
6 **DETAIL**
 SP-3 NOT TO SCALE



MECHANICAL SPECIFICATIONS
 OVERALL HEIGHT: 29.5 IN.
 WIDTH: 16.5 IN.
 DEPTH: 12.6 IN.
 WEIGHT: 32 LBS.

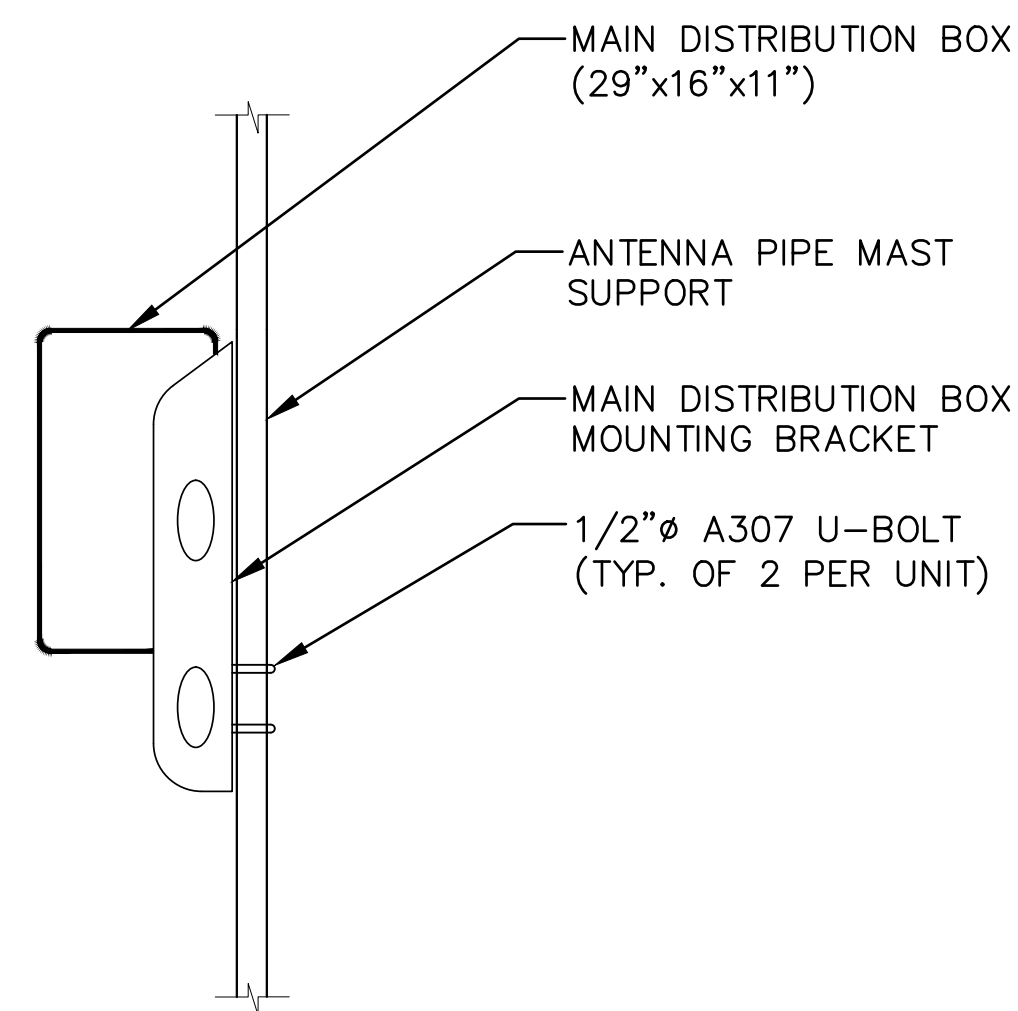
**RVZDC-6627-PF-48
 MAIN DISTRIBUTION BOX**

7 **DETAIL**
 SP-3 NOT TO SCALE



TYPICAL RRH MOUNTING

8 **DETAIL**
 SP-3 NOT TO SCALE



TYPICAL MDB MOUNTING

9 **DETAIL**
 SP-3 NOT TO SCALE

SCHEDULE OF REVISIONS

NO.	DESCRIPTION OF CHANGES	DRAWN BY	AUTH. BY	ISSUE STATUS	ISSUE DATE
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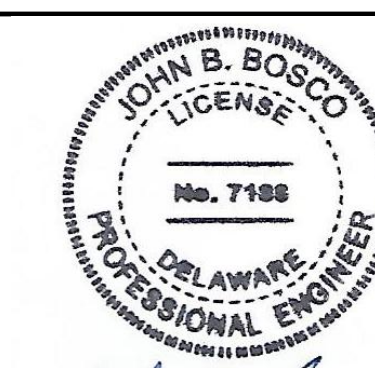
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 BLUE BELL, PA. 19422
 TEL: (610) 715-6000



JOHN BOSCO, P.E.
 DELAWARE PROFESSIONAL ENGINEER DE LIC. NO. 7188

DRAWING TITLE:

ANTENNA DETAILS

PROJECT:

DOV HOLLYVILLE
 22602 HARBESON ROAD
 HARBESON, DE 19951
 SUSSEX COUNTY

PROPERTY OWNER:

JOHN W. DAVIDSON TRUSTEE

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 D - ISSUED FOR CONSTRUCTION
 E - (SPECIFY)

FIRST ISSUE: 03/27/19

DRAWN BY: J.E.F.

CHECKED BY: P.J.T.

SCALE: AS SHOWN

PROJECT NO. 124.112

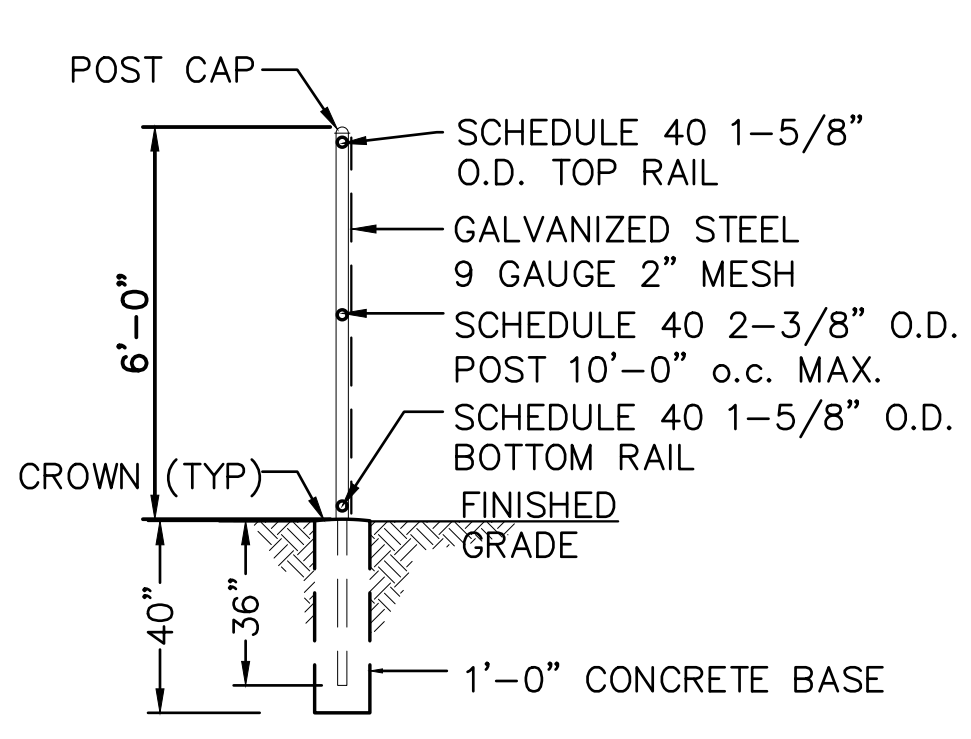
DOCUMENT NO.

DRAWING NO.

SP-3

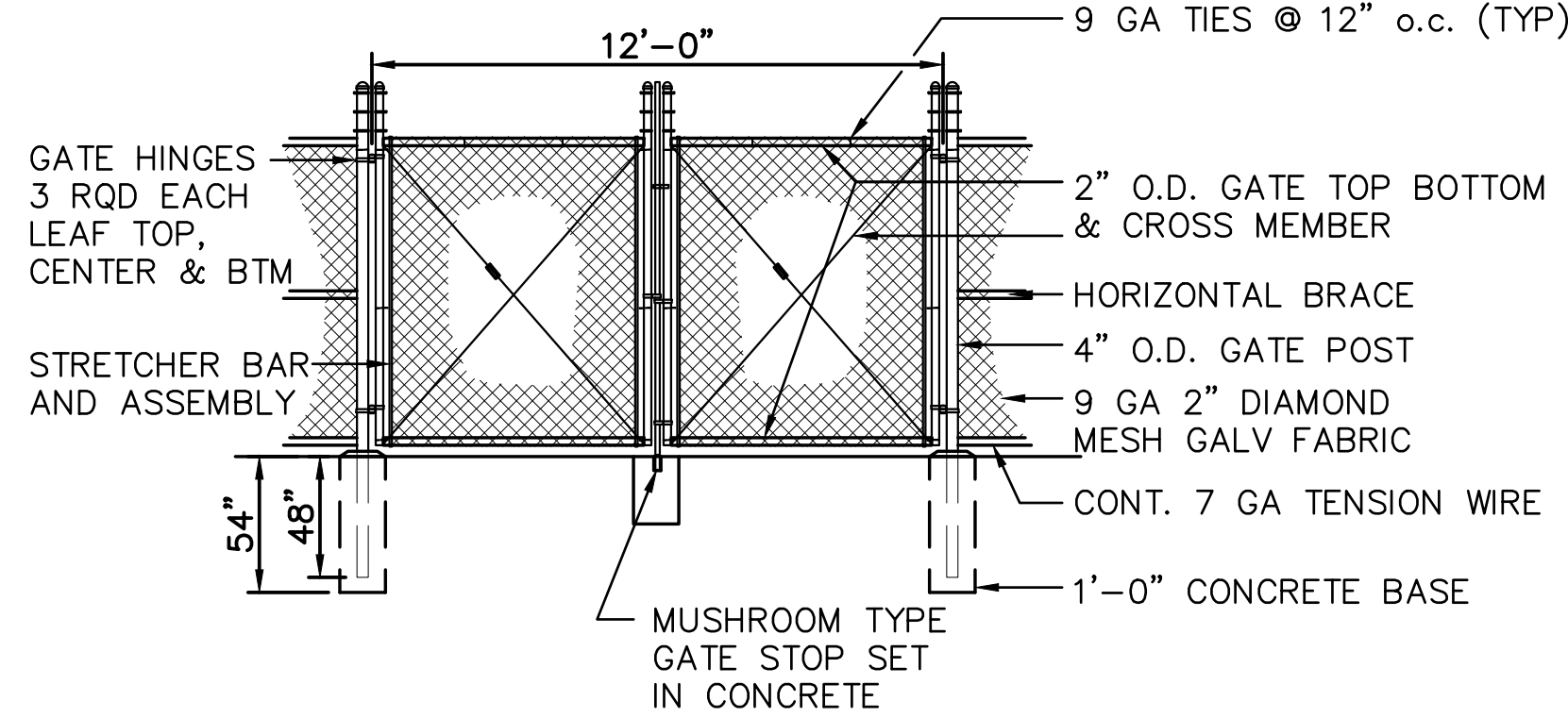
SHEET NO. 4 OF 15

PRINT DATE: 09/04/20



FENCE DETAIL

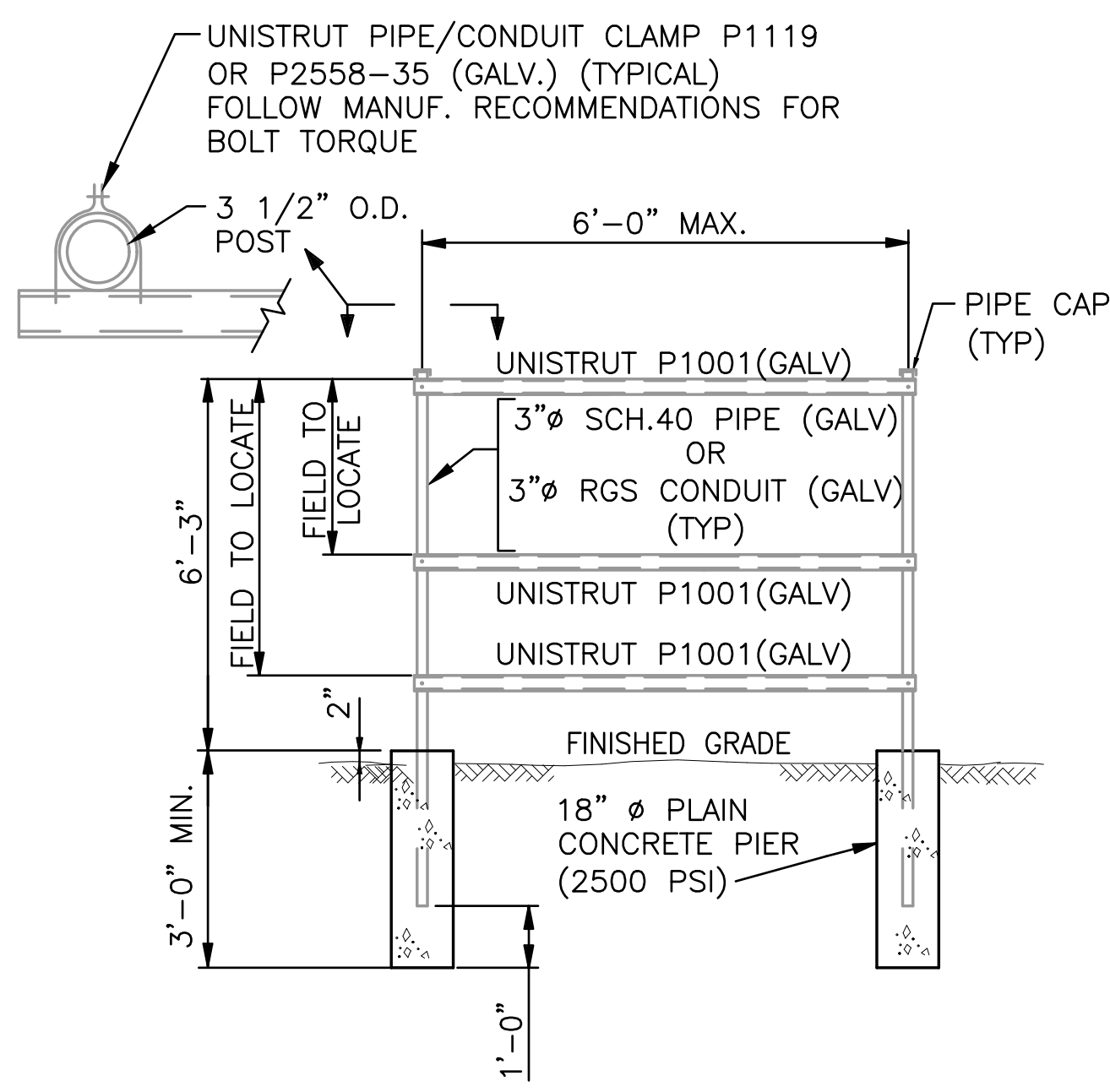
1
SP-4
DETAIL
NOT TO SCALE



DOUBLE GATE DETAIL

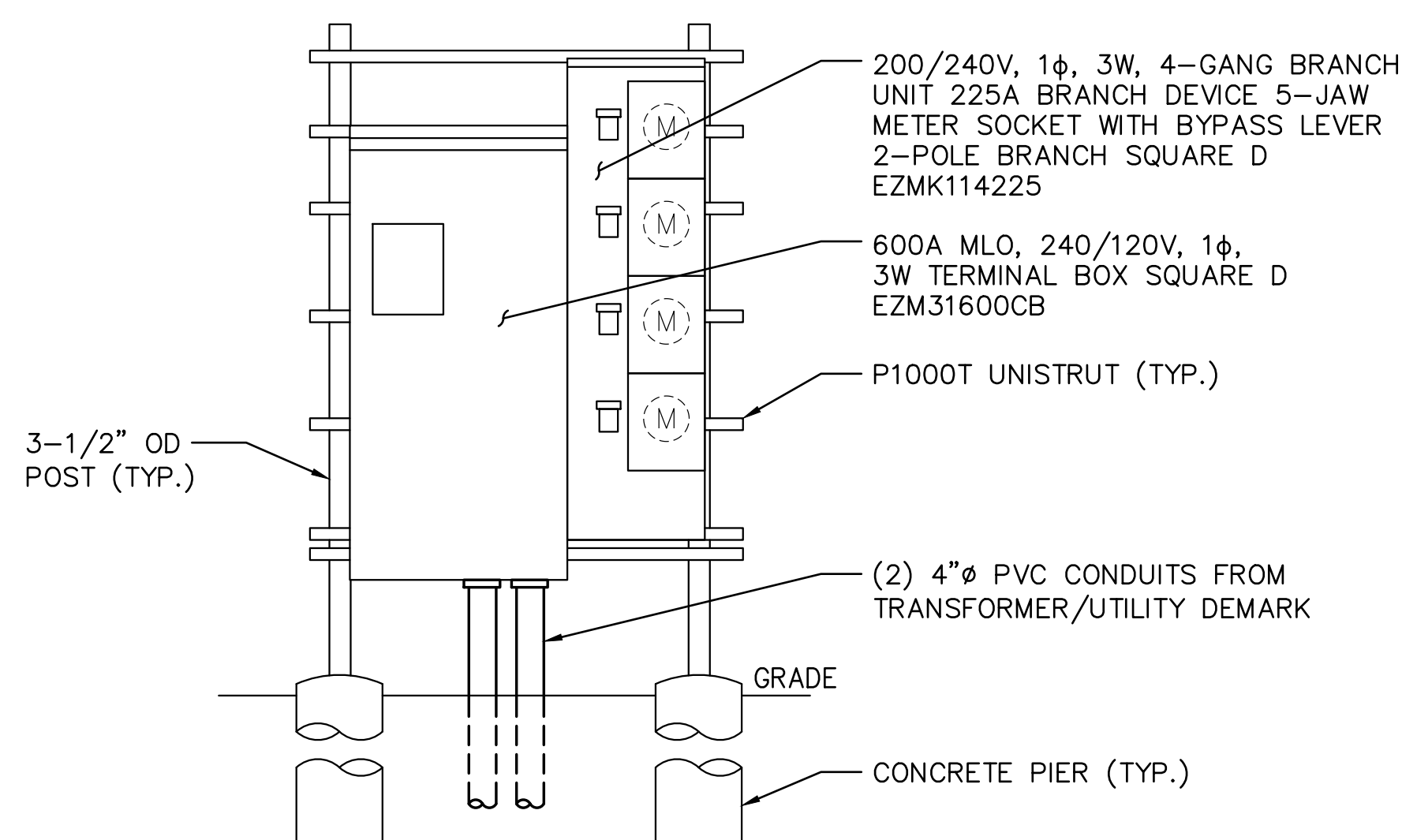
NOTE: CORNER POSTS TO BE 3" O.D.

4
SP-4
DETAIL
NOT TO SCALE



METER AND DISCONNECT SWITCH MOUNTING RACK

3
SP-4
DETAIL
NOT TO SCALE



ELECTRICAL POWER DISTRIBUTION METER STACK

4
SP-4
DETAIL
NOT TO SCALE

FAA L-810 Obstruction Light
AV-OL Series Universal AC or Universal DC Single Light Fixture

Features

- Cost effective, energy efficient obstruction lighting solution
- Available in universal DC; will accept between 12-48VDC
- Available in universal AC; will accept between 110-240VAC
- User-adjustable operation mode to toggle between dusk/dawn and 24hr operation
- Alarm contact for remote monitoring
- Light sensor for day/night operation
- LED technology reduces maintenance time and costs
- Easily retrofits with existing installations
- Optional solar powered configurations available
- Optional combined visual/IR for pilots using NVG
- Optional RS422/RS485 communications port for monitoring DC version

Applications

- Obstruction lighting

Compliance

- Certified to FAA AC150/5345-436 for L810 Steady-Burning Red Obstruction Light
- FAA Engineering Brief No. 67D

Specifications

12-48 VDC	110-240 VAC
Light Source: As noted	As noted
Available colors: Red or infrared. Other colors available on request including 31. Complies with FAA L810 obstruction light	As noted
Horizontal Output (degrees): 360	360
Vertical Divergence (degrees): 45	45
Substrate Type: Aluminum	Aluminum
Intensity Adjustments: 32 Step	32 Step
Operation Mode Adjustment: Dusk/Dawn & 24 hour operation	Dusk/Dawn & 24 hour operation
LED Life Expectancy (hours): >100,000	>100,000
Electrical Characteristics: Operating Voltage: 12-48 VDC	110-240 VAC
Current Draw (mA): 50-120	n/a
Power (W): FAA L810-32 Steady-on with relay energized & 10' snow - 135	FAA L810-32 Steady-on with relay energized & 10' snow - 175
Case Protection: IP66	IP66
Temperature Range: -40 to 80°C	-40 to 80°C
Case Material: LEKANEI Polycarbonate - UV stabilized	LEKANEI Polycarbonate - UV stabilized
Lens Material: LEKANEI Polycarbonate - UV stabilized	LEKANEI Polycarbonate - UV stabilized
Lens Diameter (mm/inches): 150 / 5.91	150 / 5.91
Mounting: Single LED Optic	Single LED Optic
Width (mm/inches): 127 / 5.00	127 / 5.00
Height (mm/inches): 127 / 5.00	127 / 5.00
Weight (kg/lbs): 0.4 / 0.88	0.4 / 0.88
Product Life Expectancy: Up to 10 years	Up to 10 years
Humidity: 0 to 100% ML8T810F	0 to 100% ML8T810F
Wind Speed: 25g per square inch	25g per square inch
Up to 200 mph	Up to 200 mph
CE: EN60598-2-1997 EN60598-3-1997	EN60598-2-1997 EN60598-3-1997
CS: EN60598-2-1997 EN60598-3-1997	EN60598-2-1997 EN60598-3-1997
CEC: EN60598-2-1997 EN60598-3-1997	EN60598-2-1997 EN60598-3-1997
CSA: EN60598-2-1997 EN60598-3-1997	EN60598-2-1997 EN60598-3-1997
UL: EN60598-2-1997 EN60598-3-1997	EN60598-2-1997 EN60598-3-1997
ULC: EN60598-2-1997 EN60598-3-1997	EN60598-2-1997 EN60598-3-1997
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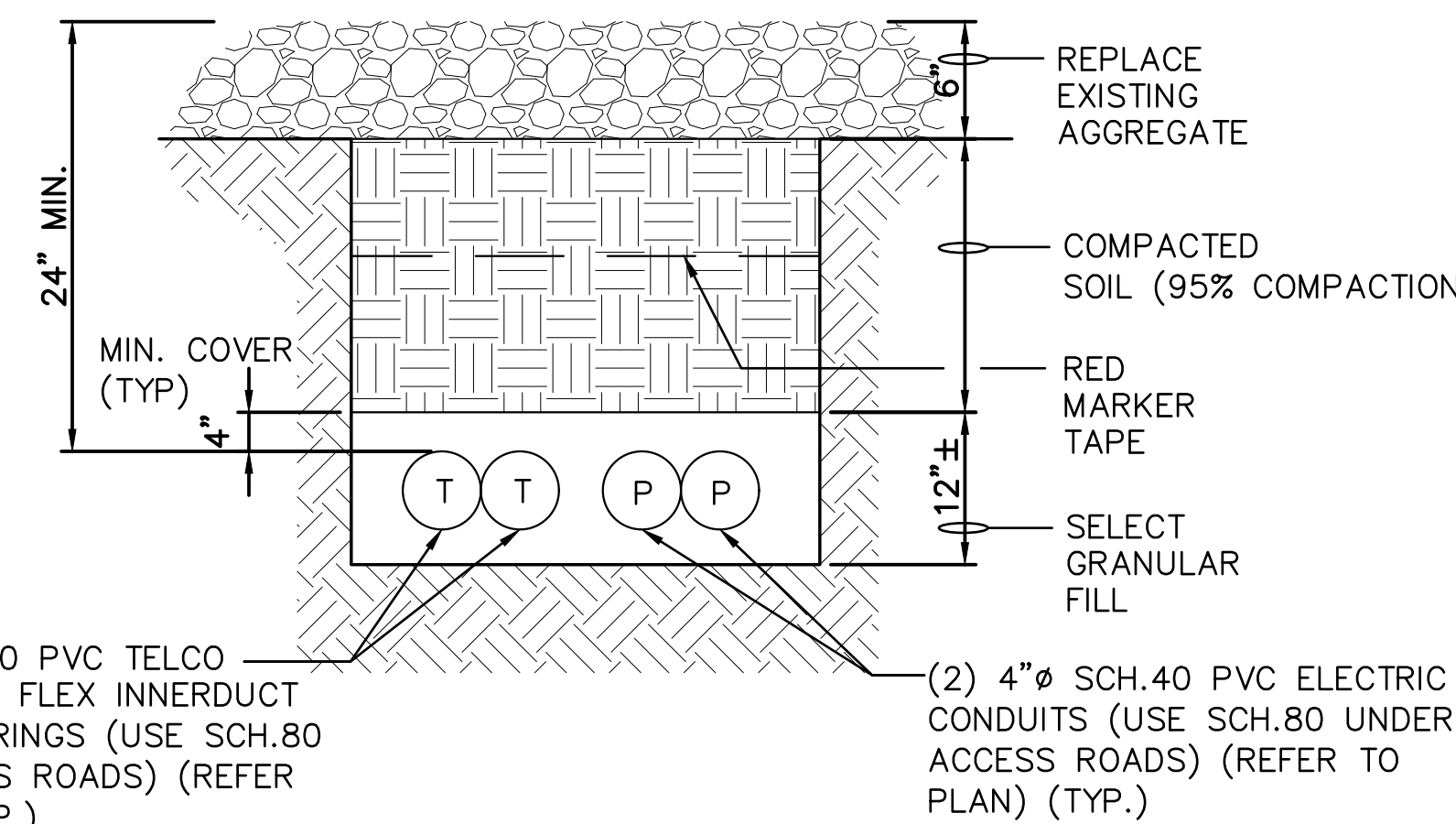
FAA L-810 Obstruction Light
AV-OL Series Universal AC or Universal DC Single Light Fixture

Specifications

12-48 VDC	110-240 VAC
Light Source: As noted	As noted
Available colors: Red or infrared. Other colors available on request including 31. Complies with FAA L810 obstruction light	As noted
Horizontal Output (degrees): 360	360
Vertical Divergence (degrees): 45	45
Substrate Type: Aluminum	Aluminum
Intensity Adjustments: 32 Step	32 Step
Operation Mode Adjustment: Dusk/Dawn & 24 hour operation	Dusk/Dawn & 24 hour operation
LED Life Expectancy (hours): >100,000	>100,000
Electrical Characteristics: Operating Voltage: 12-48 VDC	110-240 VAC
Current Draw (mA): 50-120	n/a
Power (W): FAA L810-32 Steady-on with relay energized & 10' snow - 135	FAA L810-32 Steady-on with relay energized & 10' snow - 175
Case Protection: IP66	IP66
Temperature Range: -40 to 80°C	-40 to 80°C
Case Material: LEKANEI Polycarbonate - UV stabilized	LEKANEI Polycarbonate - UV stabilized
Lens Material: LEKANEI Polycarbonate - UV stabilized	LEKANEI Polycarbonate - UV stabilized
Lens Diameter (mm/inches): 150 / 5.91	150 / 5.91
Mounting: Single LED Optic	Single LED Optic
Width (mm/inches): 127 / 5.00	127 / 5.00
Height (mm/inches): 127 / 5.00	127 / 5.00
Weight (kg/lbs): 0.4 / 0.88	0.4 / 0.88
Product Life Expectancy: Up to 10 years	Up to 10 years
Humidity: 0 to 100% ML8T810F	0 to 100% ML8T810F
Wind Speed: 25g per square inch	25g per square inch
Up to 200 mph	Up to 200 mph
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CEC: EN60598-2-1997 EN60598-3-1997	EN60598-2-1997 EN60598-3-1997
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ULC-ETL-USA-UL-ETL-USA-ETL-USA-ETL: EN60598-2-1997 EN60598-3-1997	EN60598-2-1997 EN60598-3-1997
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L-810 OBSTRUCTION LIGHT

2
SP-4
DETAIL
NOT TO SCALE

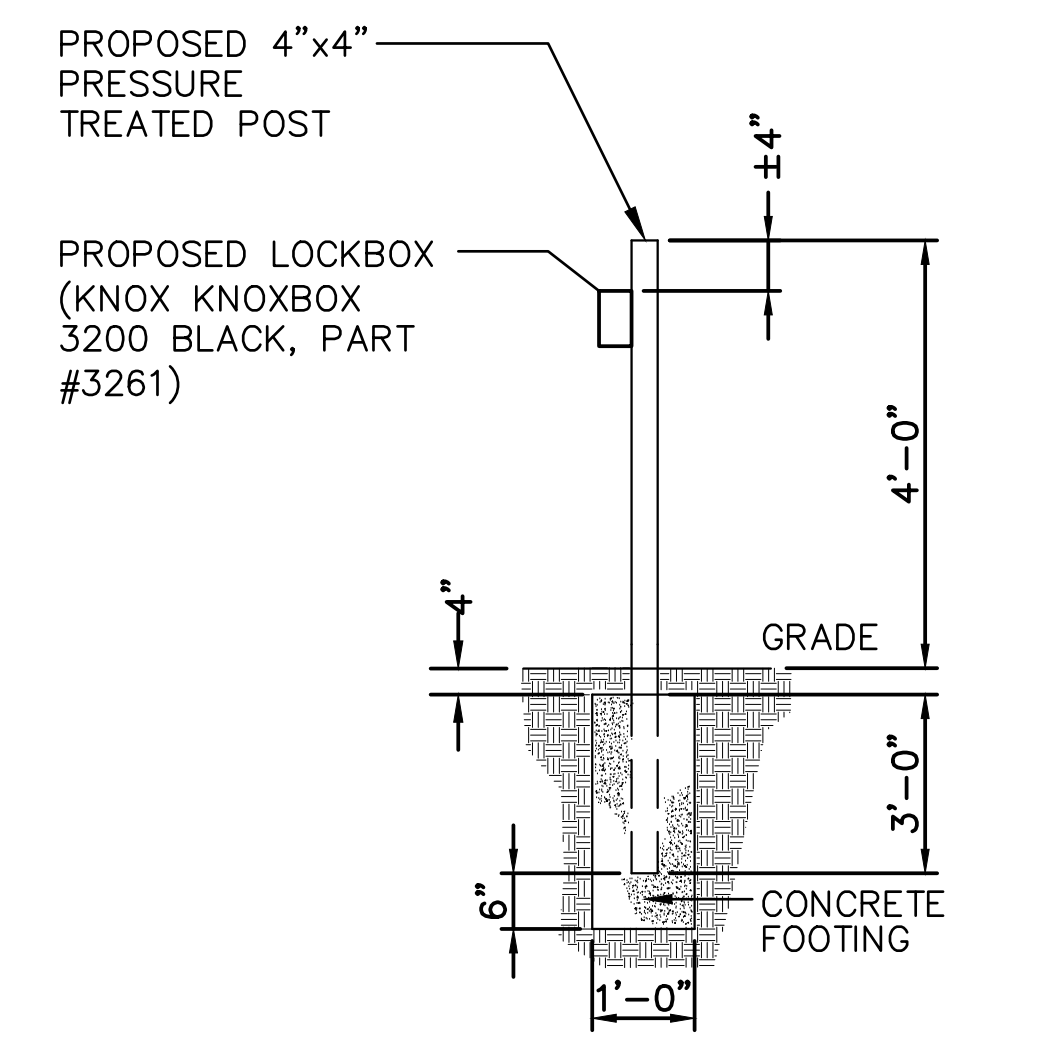


NOTES:

1. REMOVE & HAUL OFF-SITE ALL EXCESS SITE SOIL.
2. RESTORE ALL SURFACES TO ORIGINAL CONDITION.
3. CONDUIT SHALL BE UV-RESISTANT WHERE EXPOSED TO ATMOSPHERE.

UNDERGROUND ELECTRICAL ROUTING

5
SP-4
DETAIL
NOT TO SCALE



LOCKBOX MOUNTING POST DETAIL

6
SP-4
DETAIL
NOT TO SCALE

SCHEDULE OF REVISIONS

NO.	DESCRIPTION OF CHANGES	DRAWN BY	AUTH. BY	ISSUE STATUS	ISSUE DATE
7					
6	REVISED PER PLANNING COMMISSION COMMENTS	A.B.	J.B.B.	A	09/04/20
5	REVISED TO SHOW DIESEL GENERATOR DETAIL	J.L.	P.J.T.	A	07/22/20
4	REVISED NUMBER OF CABLES	R.P.J.	P.J.T.	A	06/30/20
3	REVISED PER COMMENTS	A.R.C.	P.J.T.	A	07/26/19
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CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS

512 E. TOWNSHIP LINE ROAD, BUILDING 2, FLOOR 3
BLUE BELL, PA. 19422
TEL: (610) 715-6000

JOHN B. BOSCO LICENSE No. 7188 DELAWARE PROFESSIONAL ENGINEER

JOHN BOSCO, P.E.
DELAWARE PROFESSIONAL ENGINEER
DE LIC. NO. 7188

DRAWING TITLE: SITE DETAILS

PROJECT: DOV HOLLYVILLE
22602 HARBESON ROAD
HARBESON, DE 19951
SUSSEX COUNTY

PROPERTY OWNER: JOHN W. DAVIDSON TRUSTEE

DRAWING ISSUE STATUS CURRENTLY - A

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E - (SPECIFY)

FIRST ISSUE: 03/27/19
DRAWING NO. SP-4
DRAWN BY: J.E.F.
CHECKED BY: P.J.T.
SCALE: AS SHOWN
SHEET NO. 5 OF 15
PROJECT NO. 124.112
PRINT DATE: 09/04/20
DOCUMENT NO.

CELLCO – ANTENNA SCHEDULE										
ANTENNA NUMBER	SECTOR	ANTENNA TYPE	AZIMUTH (Az)	FUNCTION (MHz)	M-TILT	PORT 1/2 E-TILT	PORT 3/4 E-TILT	PORT 5/6 E-TILT	HYBRIFLEX CABLE	APPROXIMATE TOTAL LENGTH
1	ALPHA	(FUTURE)	10°	-	-	-	-	-	(1) 6X12 HYBRID CABLE	±180'
2		COMMSCOPE NHH-65B-R2B		700/850/PCS	0°	4°	2°	2°		
3		COMMSCOPE NHH-65B-R2B		700/850/AWS-1	0°	4°	1°	1°		
4	(FUTURE)	-	-	-	-	-	-			
5	BETA	(FUTURE)	130°	-	-	-	-	-		
6		COMMSCOPE NHH-65B-R2B		700/850/PCS	0°	4°	2°	2°		
7		COMMSCOPE NHH-65B-R2B		700/850/AWS-1	0°	4°	1°	1°		
8	(FUTURE)	-	-	-	-	-	-			
9	GAMMA	(FUTURE)	250°	-	-	-	-	-		
10		COMMSCOPE NHH-65B-R2B		700/850/PCS	0°	4°	2°	2°		
11		COMMSCOPE NHH-65B-R2B		700/850/AWS-1	0°	4°	1°	1°		
12	(FUTURE)	-	-	-	-	-	-			

NOTE:
PLEASE REFER TO THE VZW SDCO / RFDS FOR THE ELECTRICAL D/T'S.
ANTENNA INSTALLER TO CONFIRM ANTENNA TYPE, CABLE LENGTH AND CABLE TYPE WITH CELLCO REPRESENTATIVE PRIOR TO PURCHASE AND INSTALLATION.

(*) ANTENNA ORIENTATION IS BASED ON TRUE NORTH.

1 ANTENNA SCHEDULE
SP-5 NOT TO SCALE

VZW – 6X12 Alarming Color Code

Alarming Order: X1 (Blue), X2 (Violet), X3 (Green), X4 (Brown), X5 (Yellow), X6 (White)

Note: ME has worked with all of our approved hybrid partners to migrate all products to the above color code. This will help ease of installation and troubleshooting.

VZW – 6X12 Fiber Color Code

Power CC: X1 (Blue), X2 (Violet), X3 (Green), X4 (Brown), X5 (Yellow), X6 (White)

6-Primary Fiber Pairs CC: X1 (Blue), X2 (Violet), X3 (Green), X4 (Brown), X5 (Yellow), X6 (White)

6-Spare Fiber Pairs CC: X1 (Blue), X2 (Violet), X3 (Green), X4 (Brown), X5 (Yellow), X6 (White)

Note: ME has worked with all of our approved hybrid partners to migrate all products to the above color code. As you can see from the above we have matching power and fiber color codes. This will help ease of installation and troubleshooting.

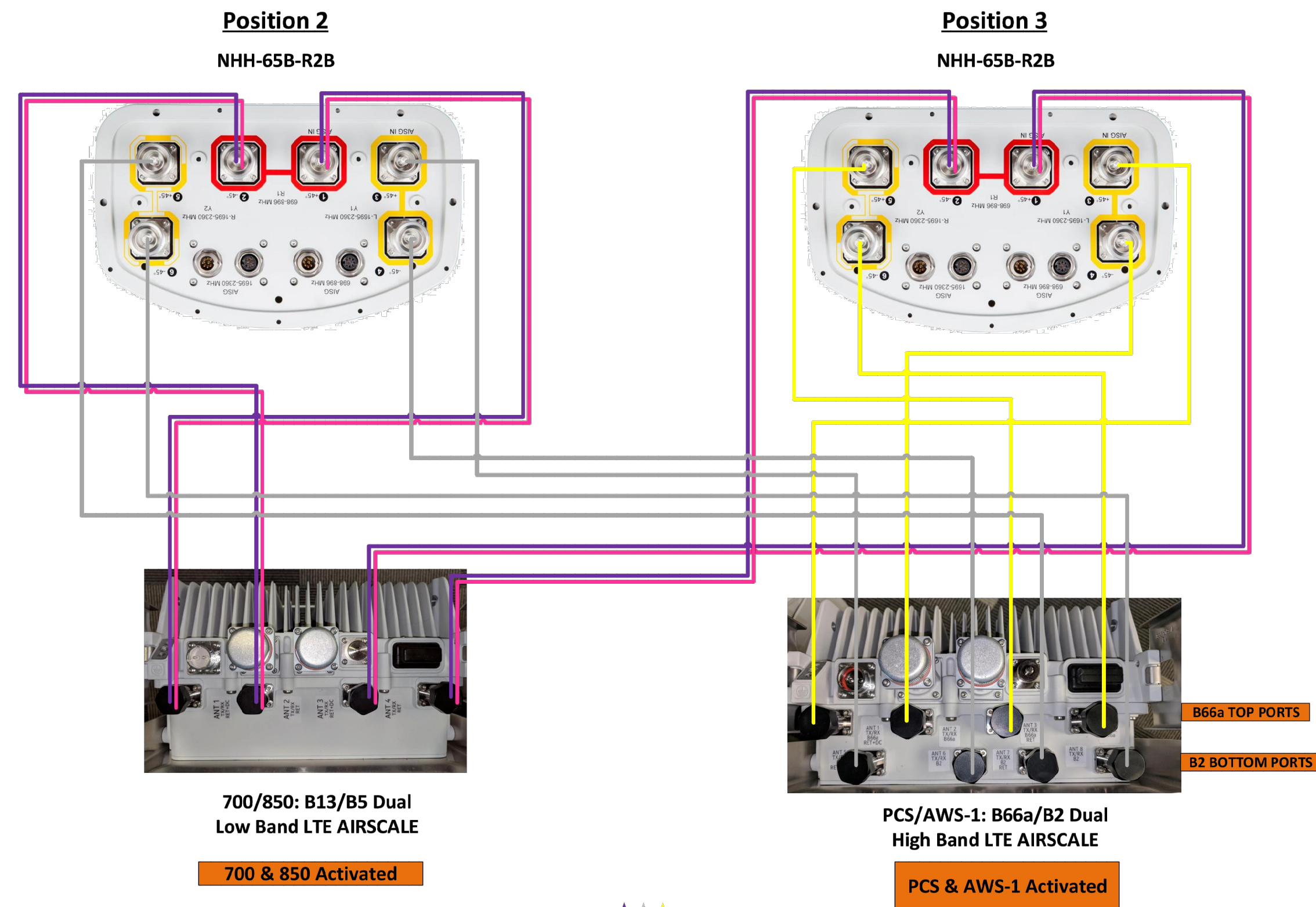
2 ALARMING COLOR CODE
SP-5 NOT TO SCALE

3 HYBRIFLEX COLOR CODE
SP-5 NOT TO SCALE

RVZDC-6627-PF-48

Power Pair	Identification color	RTN	-48V	OVP	700/850
X1	Blue	Blue	Blue	OVP - 1	Alpha
X2	Violet	Violet	Violet	OVP - 2	Beta
X3	Green	Green	Green	OVP - 3	Gamma
X4	Brown	Brown	Brown	OVP - 4	AWS/PCS Alpha
X5	Yellow	Yellow	Yellow	OVP - 5	AWS/PCS Beta
X6	White	White	White	OVP - 6	AWS/PCS Gamma

4 RRH COLOR CODES
SP-5 NOT TO SCALE



5 PLUMBING DIAGRAM
SP-5 NOT TO SCALE

BILL OF MATERIALS

ITEM	QUANTITY PROPOSED	LENGTH
RACK MOUNTED DISTRIBUTION POINT RAYCAP RVZDC-6627-PF-48	1	N/A
MAIN DISTRIBUTION BOX RAYCAP RVZDC-6627-PF-48	1	N/A
AHBC AIRSCALE DUAL RRH 4T4R B5/B13 320W	3	N/A
AHFC AIRSCALE DUAL RRH 4T4R B2/B66A 320W	3	N/A
HYBRID 6x12	1	150'
HYBRID 1x1	12	15'

NOTE:
1. CONTRACTOR TO VERIFY DISTRIBUTION BOX PART NUMBERS PRIOR TO ORDERING MATERIAL
2. CONTRACTOR TO VERIFY CABLE PART NUMBERS AND CABLE ORDER LENGTHS PRIOR TO ORDERING MATERIAL

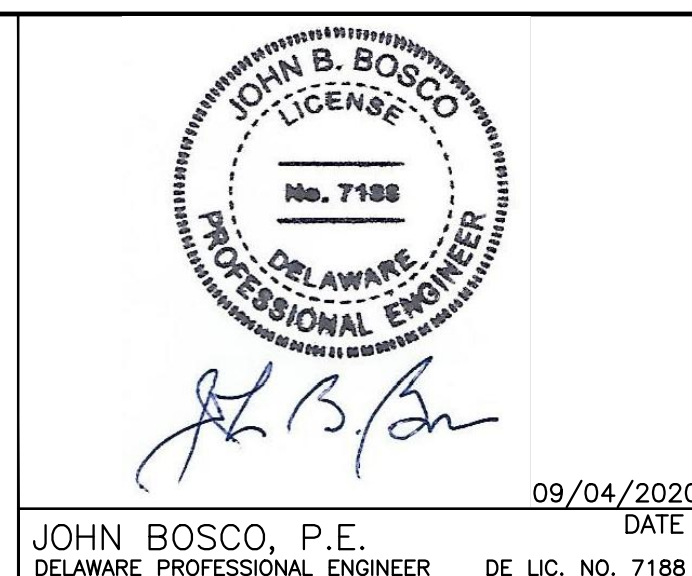
SCHEDULE OF REVISIONS

NO.	DESCRIPTION OF CHANGES	DRAWN BY	AUTH. BY	ISSUE STATUS	ISSUE DATE
7					
6	REVISED PER PLANNING COMMISSION COMMENTS	A.B.	J.B.B.	A	09/04/20
5	REVISED TO SHOW DIESEL GENERATOR DETAIL	J.L.	P.J.T.	A	07/22/20
4	REVISED NUMBER OF CABLES	R.P.J.	P.J.T.	A	06/30/20
3	REVISED PER COMMENTS	A.R.C.	P.J.T.	A	07/26/19
2	REVISED PER COMMENTS	A.R.C.	P.J.T.	A	07/22/19
1	REVISED PER LATEST RFDS	A.R.C.	P.J.T.	A	07/16/19
0	ISSUED FOR REVIEW	J.E.F.	P.J.T.	A	05/28/19

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512 E. TOWNSHIP LINE ROAD, BUILDING 2, FLOOR 3
BLUE BELL, PA. 19422
TEL: (610) 715-6000



DRAWING TITLE:
ANTENNA SCHEMATIC AND PLUMBING DIAGRAM

PROJECT:
DOV HOLLYVILLE
22602 HARBESON ROAD
HARBESON, DE 19951
SUSSEX COUNTY

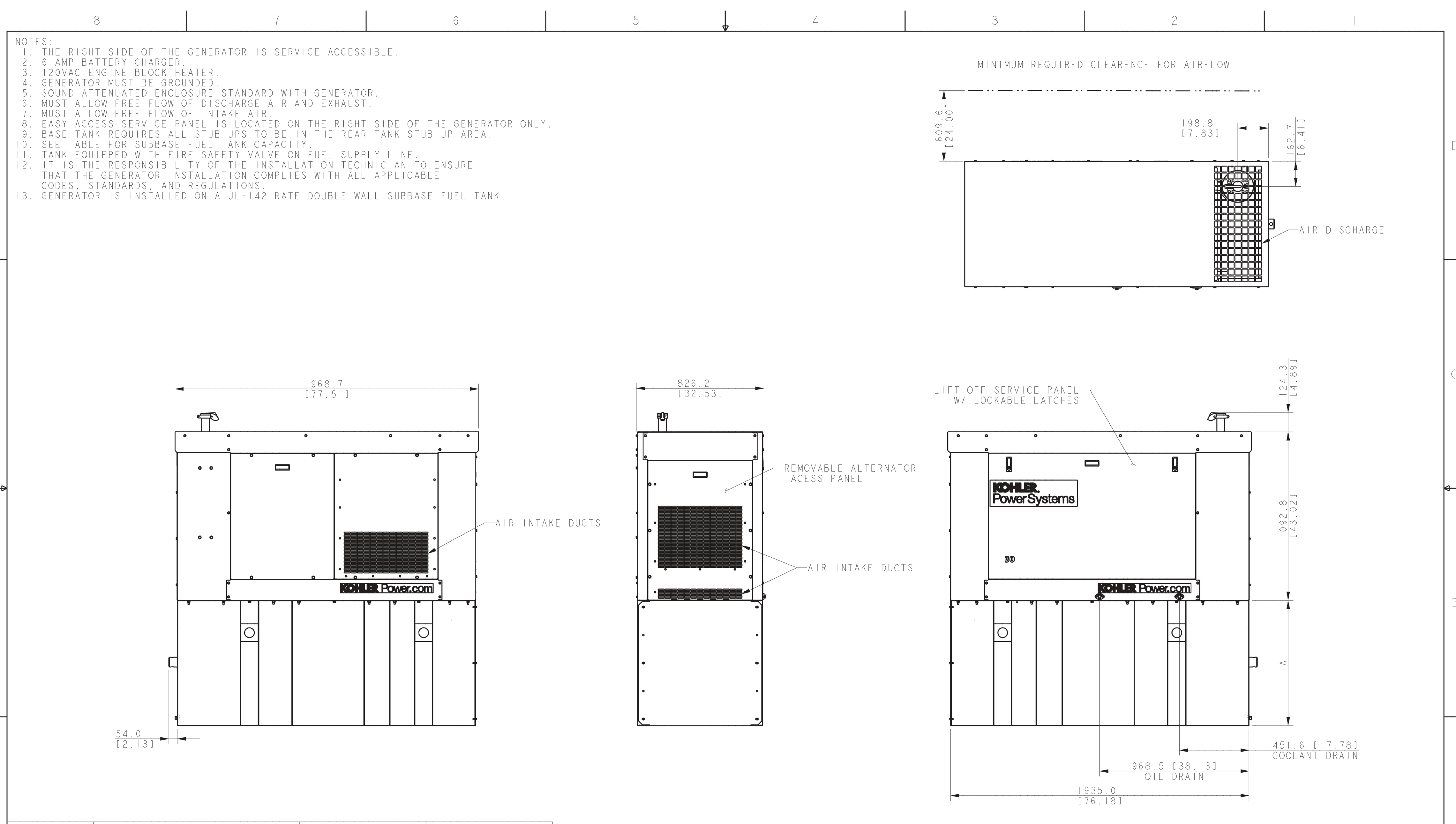
PROPERTY OWNER:
JOHN W. DAVIDSON TRUSTEE

DRAWING ISSUE STATUS CURRENTLY - **A**

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B - ISSUED FOR MUNICIPAL REVIEWS/APPROVALS
C - ISSUED FOR CONSTRUCTION PERMITS/BIDS
D - ISSUED FOR CONSTRUCTION
E - (SPECIFY)

FIRST ISSUE: 03/27/19
DRAWN BY: J.E.F.
CHECKED BY: P.J.T.
SCALE: AS SHOWN
PROJECT NO. 124.112
DOCUMENT NO.

DRAWING NO. **SP-5**
SHEET NO. 6 OF 15
PRINT DATE: 09/04/20



- NOTES:
1. THE RIGHT SIDE OF THE GENERATOR IS SERVICE ACCESSIBLE.
 2. 6 AMP BATTERY CHARGER.
 3. 120VAC ENGINE BLOCK HEATER.
 4. GENERATOR MUST BE GROUNDED.
 5. SOUND ATTENUATED ENCLOSURE STANDARD WITH GENERATOR.
 6. MUST ALLOW FREE FLOW OF DISCHARGE AIR AND EXHAUST.
 7. MUST ALLOW FREE FLOW OF INTAKE AIR.
 8. EASY ACCESS SERVICE PANEL IS LOCATED ON THE RIGHT SIDE OF THE GENERATOR ONLY.
 9. BASE TANK REQUIRES ALL STUB-UPS TO BE IN THE REAR TANK STUB-UP AREA.
 10. SEE TABLE FOR SUBBASE FUEL TANK CAPACITY.
 11. TANK EQUIPPED WITH FIRE SAFETY VALVE ON FUEL SUPPLY LINE.
 12. IT IS THE RESPONSIBILITY OF THE INSTALLATION TECHNICIAN TO ENSURE THAT THE GENERATOR INSTALLATION COMPLIES WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS.
 13. GENERATOR IS INSTALLED ON A UL-142 RATE DOUBLE WALL SUBBASE FUEL TANK.

GENSET	TANK P/N	TANK HT (A) MM [IN]	DESCRIPTION	ASSY WEIGHT
20REOZK	GM97093-MA1	812.8 [32.0]	SKID/TANK, 148 GAL	827 KG [1823 LBS]
20REOZK	GM97093-MA2	1041.2 [41.0]	SKID/TANK, 203 GAL	893 KG [1968 LBS]
20REOZK	GM97093-MA3	381.0 [15.0]	SKID/TANK, 53 GAL	706 KG [1557 LBS]
20REOZK	GM97093-MA4	685.8 [27.0]	SKID/TANK, 120 GAL	792 KG [1745 LBS]
30REOZK	GM97093-MA1	812.8 [32.0]	SKID/TANK, 148 GAL	893 KG [1969 LBS]
30REOZK	GM97093-MA2	1041.4 [41.0]	SKID/TANK, 203 GAL	959 KG [2114 LBS]
30REOZK	GM97093-MA3	381.0 [15.0]	SKID/TANK, 53 GAL	772 KG [1703 LBS]
30REOZK	GM97-03-MA4	685.8 [27.0]	SKID/TANK, 120 GAL	792 KG [1745 LBS]

20-30KW KOHLER DIESEL SOUND ENCL W/LIFT OFF PANEL

REV	DATE	DESCRIPTION	BY	APPROVED
-	2-2-16	NEW DRAWING [CT138291]	JMR	

UNLESS OTHERWISE SPECIFIED TOLERANCES ARE:
 2.X ± 0.25 SURFACE FINISH
 2.X ± 0.5 ANGLES ± 0° 30' MAX

THIRD ANGLE PICTORIAL

APPROVALS: DATE
 DRAWN: JMR 2-2-16
 CHECKED: JMR 2-2-16
 APPROVED: KLC 2-2-16

SCALE: 0.09 [CAD NO.]
 ADV-8855

KOHLER CO. METRIC PRO-E
 POWER SYSTEMS, KOHLER, WI 53044 U.S.A.
 THIS DRAWING IN DESIGN AND DETAIL IS KOHLER CO. PROPERTY AND MUST NOT BE USED EXCEPT IN CONNECTION WITH KOHLER CO. WORK. ALL RIGHTS OF DESIGN OR INVENTION ARE RESERVED.

TITLE: DIMENSION PRINT, KD12504TM VERIZON W/SOUND ENCLOSURE

SHEET 1 of 3

1 GENERATOR DETAIL
 SP-6 NOT TO SCALE

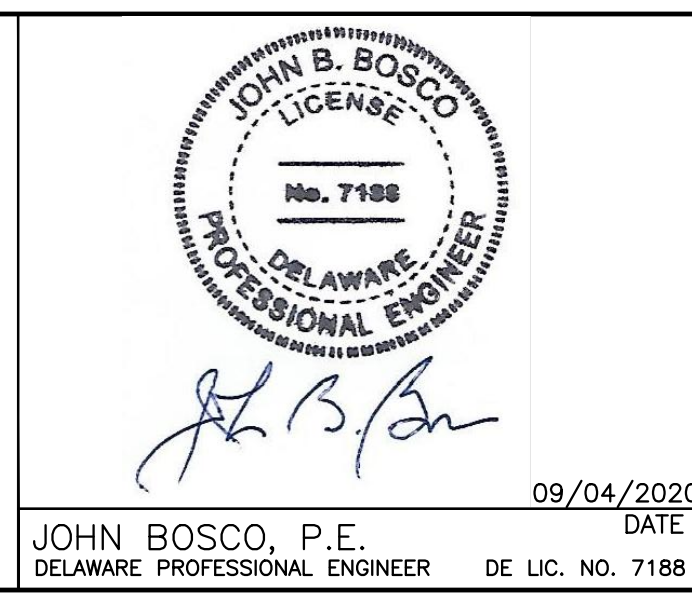
NOTE:
 INFORMATION ON THIS SHEET PROVIDE BY KOHLER WHO IS SOLELY RESPONSIBLE FOR ITS CONTENT.

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DRAWING TITLE: GENERATOR DETAIL

PROJECT: DOV HOLLYVILLE
 22602 HARBESON ROAD
 HARBESON, DE 19951
 SUSSEX COUNTY

PROPERTY OWNER: JOHN W. DAVIDSON TRUSTEE

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E - (SPECIFY)	
FIRST ISSUE: 03/27/19	DRAWING NO. SP-6
DRAWN BY: J.E.F.	SHEET NO. 7 OF 15
CHECKED BY: P.J.T.	PRINT DATE: 09/04/20
SCALE: AS SHOWN	PROJECT NO. 124.112
	DOCUMENT NO.

DIVISION 1 – GENERAL REQUIREMENTS

SECTION 01010 SUMMARY OF WORK:

- A. THE CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH SPECIFICATIONS CONTAINED IN THE BID PACKAGE PREPARED BY CELCO PARTNERSHIP AND FRENCH & PARRELLO ASSOCIATES, P.A.
- B. IN THE EVENT OF CONFLICT BETWEEN THE BID PACKAGE SPECIFICATIONS AND THESE NOTES, THE PROVISIONS OF CELCO PARTNERSHIP SPECIFICATIONS SHALL TAKE PRECEDENCE.
- C. THE CONTRACTOR SHALL VISIT THE SITE OF THE PROPOSED WORK AND FULLY ACQUAINT HIMSELF WITH THE CONDITIONS AS THEY EXIST IN ORDER THAT ANY RESTRICTIONS PERTAINING TO THE WORK ARE UNDERSTOOD. ALL AREAS AND DIMENSIONS ARE INDICATED ON THE DRAWINGS AS ACCURATELY AS POSSIBLE, BUT ALL CONDITIONS SHALL BE VERIFIED BY EACH CONTRACTOR AND/OR SUBCONTRACTOR AT THE SITE. THE FAILURE OF THE CONTRACTOR TO EXAMINE OR RECEIVE ANY FORM, INSTRUMENT OR DOCUMENT, OR TO VISIT THE SITE SHALL NOT RELIEVE THE CONTRACTOR FROM ANY OBLIGATION WITH RESPECT TO HIS QUOTED PRICE. THE SUBMISSION OF A QUOTATION SHALL ACKNOWLEDGE THAT THE CONTRACTOR AND HIS SUBCONTRACTORS HAVE FULLY EXAMINED THE SITE AND KNOW THE EXISTING CONDITIONS AND HAVE MADE PROVISIONS FOR OPERATING UNDER THE CONDITIONS AS THEY EXIST AT THE SITE AND HAVE INCLUDED ALL NECESSARY ITEMS.
- D. THE GENERAL CONTRACTOR'S RESPONSIBILITIES SHALL INCLUDE BUT NOT BE LIMITED TO: THE INSTALLATION OF THE EQUIPMENT SHELTER, THE FABRICATION, DELIVERY, ASSEMBLY, AND ERECTION OF STRUCTURAL STEEL ANTENNA SUPPORTS, THE INSTALLATION OF THE CABLE TRENCH AND THE CABLE ROUTING ENCLOSURE AS WELL AS, THE ELECTRIC SERVICE, TELEPHONE CONDUITS, GROUNDING SYSTEM, AND COORDINATION WITH LOCAL UTILITY COMPANIES.
- E. THE ANTENNA INSTALLERS RESPONSIBILITIES SHALL INCLUDE, BUT NOT BE LIMITED TO, ROUTING OF CABLES FROM RADIO EQUIPMENT TO ANTENNAS, SUPPLYING AND INSTALLING ALL ANTENNA CABLE TRAY, BRACKETS, AND OTHER ASSOCIATED HARDWARE FOR SECURING ANTENNA CABLES. DETERMINING SUPPLIER OF ANTENNAS, GROUNDING OF ANTENNAS TO GROUNDING SYSTEM, INSTALLING ANTENNAS AND VERIFYING WITH CELCO PARTNERSHIP RADIO FREQUENCY ENGINEERS, THE ALIGNMENT, LOCATION AND PROPER ORIENTATION OF ANTENNAS.
- F. GENERAL CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE BUILDING LANDLORD IN ORDER TO AVOID CONFLICTS WITH CURRENT USE OF THE SITE.
- G. THE OWNER MAY HAVE WORK PERFORMED UNDER SEPARATE CONTRACTS, CONCURRENTLY, WITH THE WORK OF THIS CONTRACT.
- H. THE GENERAL CONTRACTOR SHALL PERMIT ACCESS TO THE PROJECT TO THESE CONTRACTORS TO PERFORM THEIR WORK.
- I. CONTRACTOR SHALL CONFORM TO ALL APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL CODES, LAWS AND REQUIREMENTS.
- J. THE CONTRACTOR SHALL APPLY AND PAY FOR THE CONSTRUCTION PERMIT, CERTIFICATE OF OCCUPANCY AND ALL OTHER REQUIRED PERMITS OR LICENSES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL INSPECTIONS.
- K. THE CONTRACTOR'S ATTENTION IS DIRECTED TO FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH STANDARDS. THE CONSTRUCTION CONTRACTOR AWARDED THIS PROJECT SHALL INSURE ALL WORKING SURROUNDINGS AND CONDITIONS ARE SANITARY, AND ARE NOT HAZARDOUS OR DANGEROUS TO THE HEALTH OR SAFETY OF THE WORK CREWS OR BUILDING OCCUPANTS. PRECAUTION SHALL BE EXERCISED AT ALL TIMES FOR THE PROTECTION OF PERSONS AND PROPERTY. IT IS MANDATORY THAT THE SAFETY PROVISIONS OF APPLICABLE LOCAL LAWS, OSHA REGULATIONS AND BUILDING AND CONSTRUCTION CODES, BE OBSERVED FOR ALL CONTRACTORS.
- L. THE CONSTRUCTION CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ALL CONSTRUCTION MEANS AND METHODS. THE CONSTRUCTION CONTRACTOR IS ALSO RESPONSIBLE FOR ALL JOB SITE SAFETY.

SECTION 01340 SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES:

THE CONTRACTOR SHALL SUBMIT 6 COPIES OF SHOP DRAWINGS TO THE ENGINEER FOR THE STRUCTURAL STEEL ANTENNA SUPPORTS, ANY SUBSTITUTIONS, AND ANY ITEMS AS REQUIRED BY THE CONSTRUCTION PLANS. WORK SHALL NOT PROCEED UNTIL THE ENGINEER HAS REVIEWED AND ACCEPTED SUBMITTALS. SCHEDULE A MINIMUM OF 14 DAYS FOR ENGINEERS REVIEW AND RESPONSE.

SECTION 01613 DELIVERY, STORAGE AND HANDLING:

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PROCEDURES AND SCHEDULING ASSOCIATED WITH HOISTING, STAGING, AND ERECTING OF MATERIALS AND EQUIPMENT TO AND/OR UPON THE EXISTING BUILDING. ALL ELEMENTS OF THE EXISTING BUILDING, I.E., STRUCTURE, BUILDING FACADE, WINDOW GLASS, SITE PLANTINGS, ETC. SHALL BE PROTECTED AS NECESSARY FROM SAID ACTIONS. THIS WORK MUST BE DONE IN A SAFE, SECURE, NON-DESTRUCTIVE MANNER FOR PROTECTING PERSONNEL AND PROPERTY.
- B. ALL EXCESS OR UNUSABLE CONSTRUCTION MATERIALS OR EQUIPMENT SHALL BE REMOVED FROM THE SITE PRIOR TO COMPLETION OF A WORK DAY AND STORED IN A SAFE MANNER OR REMOVED FROM SITE.

SECTION 01740 WARRANTIES AND BONDS:

- A. THE CONTRACTOR SHALL GUARANTEE ALL LABOR AND MATERIALS USED IN THIS PROJECT FOR A PERIOD OF ONE (1) YEAR COMMENCING FROM THE DATE OF FINAL ACCEPTANCE BY CELCO PARTNERSHIP ANY DEFICIENCIES THAT BECOME EVIDENT DURING THIS ONE (1) YEAR PERIOD, SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.

DIVISION 2 – SITEWORK

SECTION 02200 – EARTHWORK

- A. UTILITY TRENCHES: EXCAVATE TRENCHES TO INDICATED SLOPES, LINES, DEPTHS, AND INVERT ELEVATIONS TO ALLOW INSTALLATION OF TOP OF PIPE BELOW FROST LINE.
- B. TRENCH BOTTOMS: EXCAVATE AND SHAPE TRENCH BOTTOMS TO PROVIDE UNIFORM BEARING AND SUPPORT OF PIPES AND CONDUIT. SHAPE SUBGRADE TO PROVIDE CONTINUOUS SUPPORT FOR BELLS, JOINTS, AND BARRELS OF PIPES AND FOR JOINTS, FITTINGS, AND BODIES OF CONDUIT. REMOVE STONES AND SHARP OBJECTS TO AVOID POINT LOADING.
- C. EXISTING UTILITIES: DO NOT INTERRUPT EXCAVATING UTILITIES SERVING FACILITIES OCCUPIED BY THE OWNER OR OTHERS EXCEPT WHEN PERMITTED IN WRITING BY THE OWNER AND THEN ONLY AFTER ACCEPTABLE TEMPORARY UTILITY SERVICES HAVE BEEN PROVIDED.
 - 1. PROVIDE A MINIMUM 48-HOURS' NOTICE TO THE OWNER AND RECEIVE WRITTEN NOTICE TO PROCEED BEFORE INTERRUPTING ANY UTILITY.
- D. STOCKPILE EXCAVATED MATERIALS ACCEPTABLE FOR BACKFILL AND FILL SOIL MATERIALS, INCLUDING ACCEPTABLE BORROW MATERIALS. STOCKPILE SOIL MATERIALS WITHOUT INTERMIXING. PLACE , GRADE, AND SHAPE STOCKPILES TO DRAIN SURFACE WATER.
 - 1. STOCKPILE SOIL MATERIALS AWAY FROM EDGE OF EXCAVATIONS. DO NOT STORE WITHIN DRIP LINE OF REMAINING TREES.
- E. BACKFILL EXCAVATIONS PROMPTLY, BUT NOT BEFORE COMPLETING THE FOLLOWING:
 - 1. ACCEPTANCE OF CONSTRUCTION BELOW FINISH GRADE.
 - 2. CONCRETE FRAMEWORK REMOVAL.
 - 3. REMOVAL OF TRASH AND DEBRIS FROM EXCAVATION.
- F. PLACE AND COMPACT BEDDING COURSE ON ROCK AND OTHER UNYIELDING BEARING SURFACES AND TO FILL UNAUTHORIZED EXCAVATIONS. SHAPE BEDDING COURSE TO PROVIDE CONTINUOUS SUPPORT FOR BELLS, JOINTS, AND BARRELS OF PIPES AND FOR JOINTS, FITTINGS, AND BODIES OF CONDUITS.
- G. PLACE AND COMPACT FINAL BACKFILL OF SATISFACTORILY SOIL MATERIAL TO FINAL SUBGRADE.
- H. SATISFACTORILY SOIL MATERIALS: ASTM D 2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, AND SM FREE OF ROCK OR GRAVEL LARGER THAN 2 INCHES (50 MM) IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION AND OTHER DELETERIOUS MATTER.
- I. UNSATISFACTORY SOIL MATERIALS: ASTM D 2487 SOIL CLASSIFICATION GROUPS GC, SC, ML, MH, CL, CH, OL, OH, AND PT.
- J. SUBBASE AND BASE MATERIAL: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND. ASTM D 2940, WITH AT LEAST 95 PERCENT PASSING A 3/4 INCH (38 MM) SIEVE AND NOT MORE THAN 8 PERCENT PASSING A NO. 200 (75 MICROMETER) SIEVE.
- K. PROVIDE APPROVED BORROW SOIL MATERIALS FROM OFF-SITE WHEN SUFFICIENT APPROVED SOIL MATERIALS ARE NOT AVAILABLE FROM EXCAVATIONS.

- L. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8 INCHES (200 MM) IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES (100 MM) IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.
- M. PLACE BACKFILL AND FILL MATERIALS EVENLY ON ALL SIDES OF STRUCTURES TO REQUIRED ELEVATIONS. PLACE BACKFILL AND FILL UNIFORMLY ALONG THE FULL LENGTH OF EACH STRUCTURE.
- N. PERCENTAGE OF MAXIMUM DRY DENSITY REQUIREMENTS: COMPACT SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGE OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 1557.
 - 1. UNDER STRUCTURES, BUILDING SLABS, STEPS AND
 - 2. PAVEMENTS, COMPACT THE TOP 142 INCHES (300 MM) BELOW UPGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 95 PERCENT MAXIMUM DRY DENSITY.
 - 3. UNDER WALKWAYS, COMPACT THE TOP 6 INCHES (150 MM) BELOW SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT PERCENT MAXIMUM DRY DENSITY.
- O. INSTALL WARNING TAPE DIRECTLY ABOVE UTILITIES, 12 INCHES (300 MM) BELOW FINISHED GRADE, EXCEPT 6 INCHES (150 MM) BELOW SUBGRADE UNDER PAVEMENTS AND SLABS.
- P. DETECTABLE WARNING TAPE: ACID- AND ALKALI- RESISTANT POLYETHYLENE FILM WARNING TAPE MANUFACTURED FOR MARKING AND IDENTIFYING UNDERGROUND UTILITIES, 6 INCHES (150 MM) WIDE AND 4 MILS (0.1 MM) THICK MINIMUM, CONTINUOUSLY INSCRIBED WITH A DESCRIPTION OF OF THE UTILITY, WITH METALLIC CORE ENCASED IN A PROTECTIVE JACKET FOR CORROSION PROTECTION, DETECTABLE BY METAL DETECTOR WHEN TAPE IS BURIED UP TO 30 INCHES (750 MM) DEEP.
 - 1. TAPE COLORS: PROVIDE TAPE COLORS TO UTILITIES AS FOLLOWS:
 - A. RED: ELECTRIC
 - ORANGE: TELEPHONE AND OTHER COMMUNICATIONS.
- Q. DISPOSAL: REMOVE SURPLUS SATISFACTORY SOIL. AND WASTE MATERIAL, INCLUDING UNSATISFACTORY SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF IT OFF THE OWNER'S PROPERTY.

REINFORCING

- 1. ALL REINFORCING BAR DETAILS SHALL CONFORM TO THE LATEST ACI CODE AND DETAILING MANUAL.
- 2. ALL BARS SHALL BE ASTM A-615, GRADE 60.
- 3. PROVIDE AND SCHEDULE WITH THE SHOP DRAWINGS ALL NECESSARY ACCESSORIES TO HOLD REINFORCING SECURELY IN POSITION.
- 4. CLEARANCE OF MAIN REINFORCING FROM ADJACENT SURFACES UNLESS SHOWN OTHERWISE SHALL BE:
 - A. UNFORMED SURFACES IN CONTACT WITH GROUND OR EXPOSED TO WEATHER: 3"
 - B. BOTTOM SURFACES OF SLAB ON GRADE: 3"
 - C. FORMED SURFACES IN CONTACT WITH GROUND OR EXPOSED TO WEATHER:
 - 1. #5 BARS OR SMALLER: 1-1/2"
 - 2. BARS LARGER THAN #5: 2"
 - 3. EXTERIOR WALL SURFACES: 2"
 - 4. IN ALL CASES, NOT LESS THAN THE BAR DIAMETER.
- 5. ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ENGINEER OR HIS DESIGNATE BEFORE CONCRETE IS PLACED.
- 6. TOLERANCES FOR PLACING REINFORCING SHALL BE: +1/4 INCH FOR MEMBERS WITH AN EFFECTIVE DEPTH OF 24 INCHES OR LESS +1/2 INCH FOR MEMBERS WITH AN EFFECTIVE DEPTH OF MORE THAN 24 INCHES
- 7. WHERE CONTINUOUS BARS ARE CALLED FOR, THEY SHALL BE RUN CONTINUOUSLY AROUND CORNERS AND LAPPED AT NECESSARY SPLICES OR HOOKED AT DISCONTINUOUS ENDS. LAPS SHALL BE 40 BAR DIAMETERS. BAR LAPS MAY BE OFFSET TO AVOID CONTROL OR CONSTRUCTION JOINTS.

CONCRETE

- 1. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE ACI BUILDING CODE.
- 2. ALL CONCRETE SHALL ATTAIN 4000 PSF COMPRESSIVE STRENGTH AT 28 DAYS.
 - A. MINIMUM CEMENTITIOUS MATERIALS CONTENT: 520 LB./CU.YD.
 - B. MAXIMUM WATER CEMENTITIOUS MATERIALS RATIO: 0.51.
 - C. SLUMP LIMIT: 4"
 - D. AIR CONTENT: 6 PERCENT, PLUS OR MINUS 1.5 PERCENT AT THE POINT OF DELIVERY FOR 1" NOMINAL MAXIMUM AGGREGATE SIZE.
- 3. READY MIX:
 - A. COMPLY WITH ACI-301, ACI-304 AND ASTM C-94.
 - B. MAXIMUM TIME BETWEEN INTRODUCTION OF WATER AND PLACING TO BE 1-1/2 HOURS.
 - C. MINIMUM CEMENT CONTENT SHALL BE 5 SACKS PER CUBIC YARD.
 - D. MAXIMUM WATER CONTENT SHALL BE 6 GALLONS PER SACK OF CEMENT.
 - E. MAXIMUM SLUMP OF CONCRETE SHALL BE 3 INCHES AS DETERMINED BY ASTM C-143.
 - F. ALL CONCRETE EXPOSED TO THE GROUND OR WEATHER SHALL BE AIR ENTRAINED BETWEEN 4-5%.
 - G. DO NOT LOAD TRUCKS ABOVE RATED CAPACITY.
- 4. COLD WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI-306.
- 5. CONTRACTOR SHALL PREPARE AT LEAST FOUR CONCRETE TEST CYLINDERS FROM EACH DAY'S POUR. CYLINDERS SHALL BE PROPERLY CURED, STORED AND TESTED AT 7, 14 AND 28 DAYS. SUBMIT RESULTS TO ENGINEER.
- 6. THROUGHOUT CONSTRUCTION, THE CONCRETE WORK SHALL BE ADEQUATELY PROTECTED AGAINST DAMAGE DUE TO EXCESSIVE LOADING, CONSTRUCTION EQUIPMENT, MATERIALS OR METHODS, ICE, RAIN, SNOW, EXCESSIVE HEAT AND FREEZING TEMPERATURES.
- 7. EARLY DRYING OUT OF CONCRETE, ESPECIALLY DURING THE FIRST 24 HOURS, SHALL BE CAREFULLY GUARDED AGAINST. ALL SURFACES SHALL BE MOIST CURED OR PROTECTED USING A MEMBRANE CURING AGENT APPLIED AS SOON AS FORMS ARE REMOVED. IF MEMBRANE CURING AGENT IS USED, EXERCISE CARE NOT TO DAMAGE COATING.
- 8. BENDING, TACK WELDING, CUTTING OR SUBSTITUTE REINFORCING OTHER THAN AS SHOWN ON THE CONTRACT DRAWING IS PROHIBITED UNLESS SPECIFIC APPROVAL FOR EACH CASE IS GIVEN BY THE ENGINEER.
- 9. CONCRETE SHALL BE CONVEYED, PLACED AND FINISHED IN A GOOD WORKMANLIKE MANNER.
- 10. PRIOR TO MAKING REPAIRS, CONTRACTOR SHALL OBTAIN PERMISSION FROM ENGINEER TO MAKE PATCHES FOR OTHER THAN MINOR HONEY COMBING.
- 11. CONTRACTOR TO COORDINATE REQUIREMENTS OF STRUCTURAL, ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS WITH THE INSTALLATION OF CONCRETE.
- 12. ALL MATERIALS SHALL BE STORED TO PROTECT THEM AGAINST THE ELEMENTS.

REQUIRED INSPECTIONS

- 1. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION AND SCHEDULING OF ALL INSPECTIONS REQUIRED BY LOCAL OFFICIALS HAVING JURISDICTION.
- 2. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS IN ADVANCE OF EXCAVATION, STEEL PLACEMENT AND CONCRETE PLACEMENT.

SCHEDULE OF REVISIONS				
NO.	DESCRIPTION OF CHANGES	DRAWN BY	AUTH. BY	ISSUE DATE
7				
6	REVISED PER PLANNING COMMISSION COMMENTS	A.B.	J.B.B.	A 09/04/20
5	REVISED TO SHOW DIESEL GENERATOR DETAIL	J.L.	P.J.T.	A 07/22/20
4	REVISED NUMBER OF CABLES	R.P.J.	P.J.T.	A 06/30/20
3	REVISED PER COMMENTS	A.R.C.	P.J.T.	A 07/26/19
2	REVISED PER COMMENTS	A.R.C.	P.J.T.	A 07/22/19
1	REVISED PER LATEST RFDS	A.R.C.	P.J.T.	A 07/16/19
0	ISSUED FOR REVIEW	J.E.F.	P.J.T.	A 05/28/19

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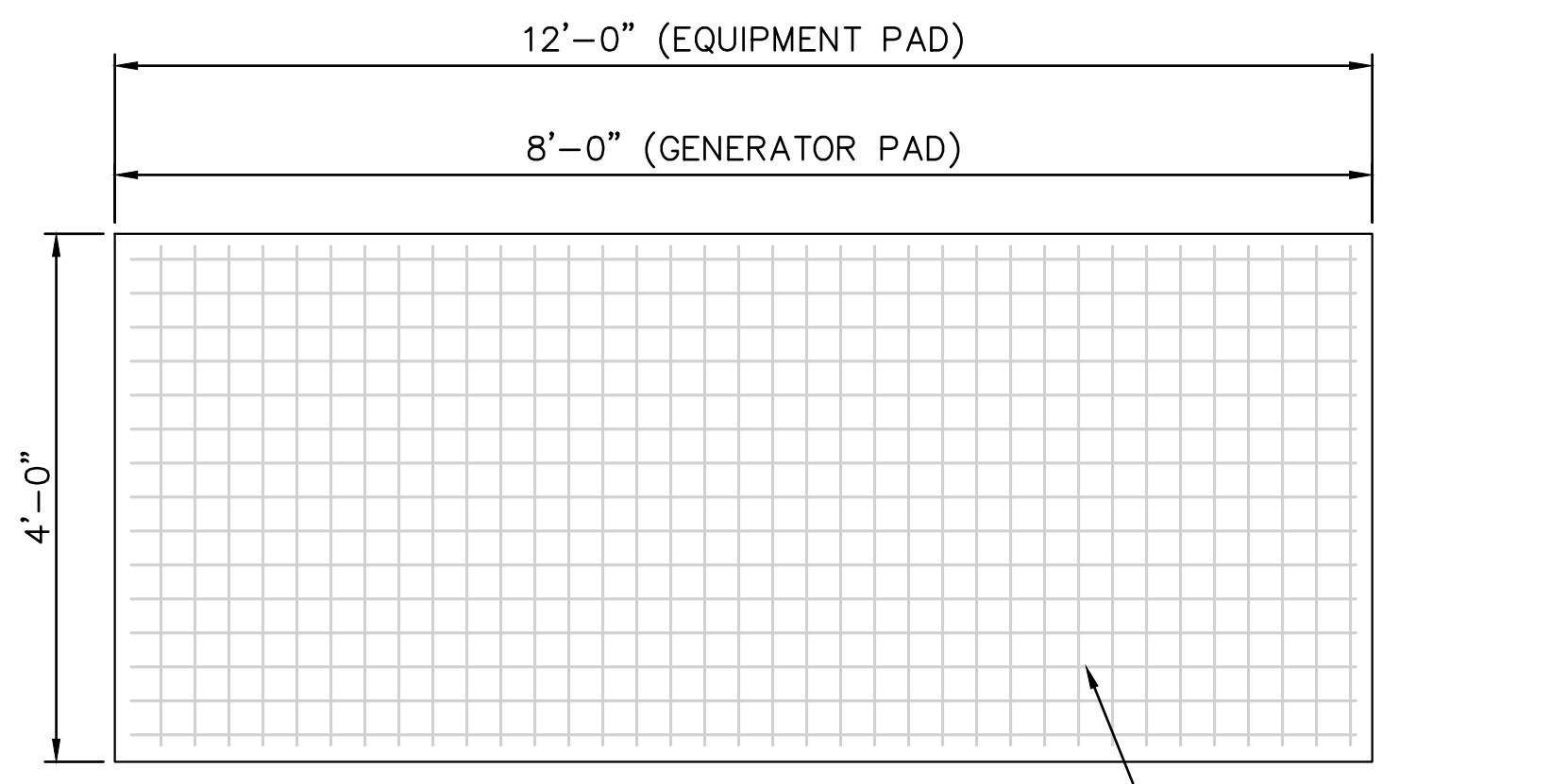


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VERIZON WIRELESS**

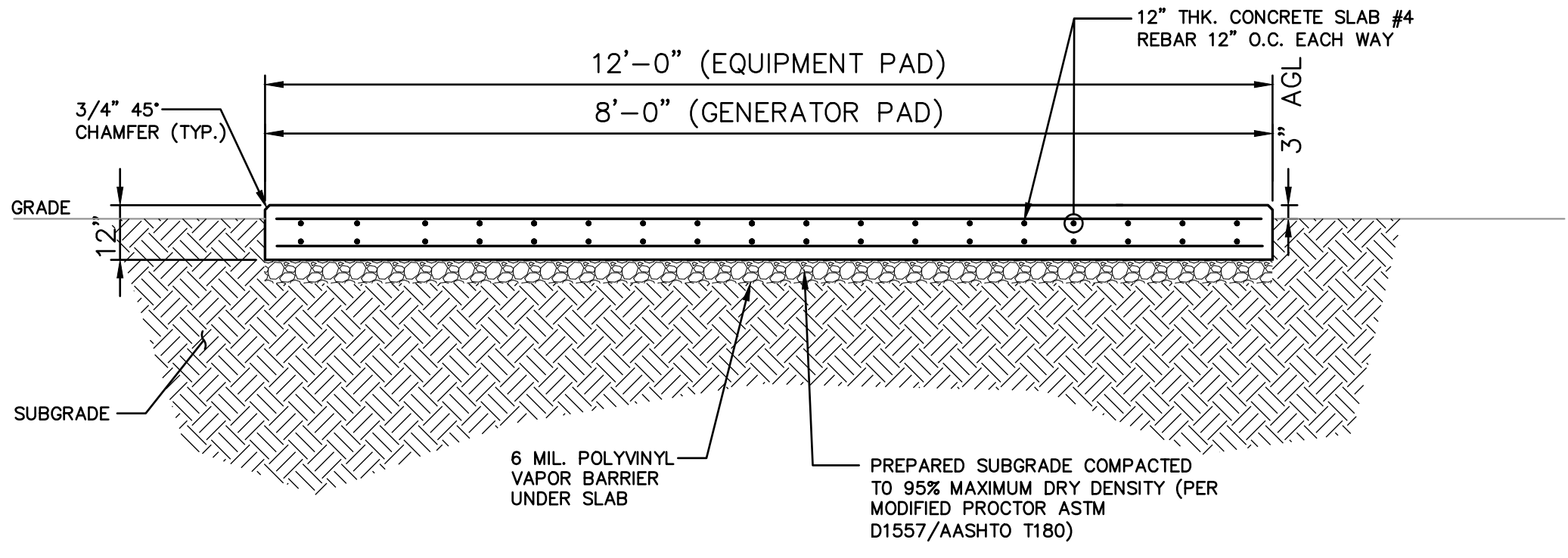
512 E. TOWNSHIP LINE ROAD, BUILDING 2, FLOOR 3
BLUE BELL, PA. 19422
TEL: (610) 715-6000

JOHN BOSCO, P.E.
DELAWARE PROFESSIONAL ENGINEER DE LIC. NO. 7188

DRAWING TITLE: CONSTRUCTION SPECIFICATIONS		DRAWING ISSUE STATUS CURRENTLY - A	
PROJECT: DOV HOLLYVILLE 22602 HARBESON ROAD HARBESON, DE 19951 SUSSEX COUNTY		FIRST ISSUE: 03/27/19	DRAWING NO. CS-1
PROPERTY OWNER: JOHN W. DAVIDSON TRUSTEE		DRAWN BY: J.E.F.	CHECKED BY: P.J.T.
DOCUMENT NO.		SCALE: AS SHOWN	SHEET NO. 8 OF 15
		PROJECT NO. 124.112	PRINT DATE: 09/04/20

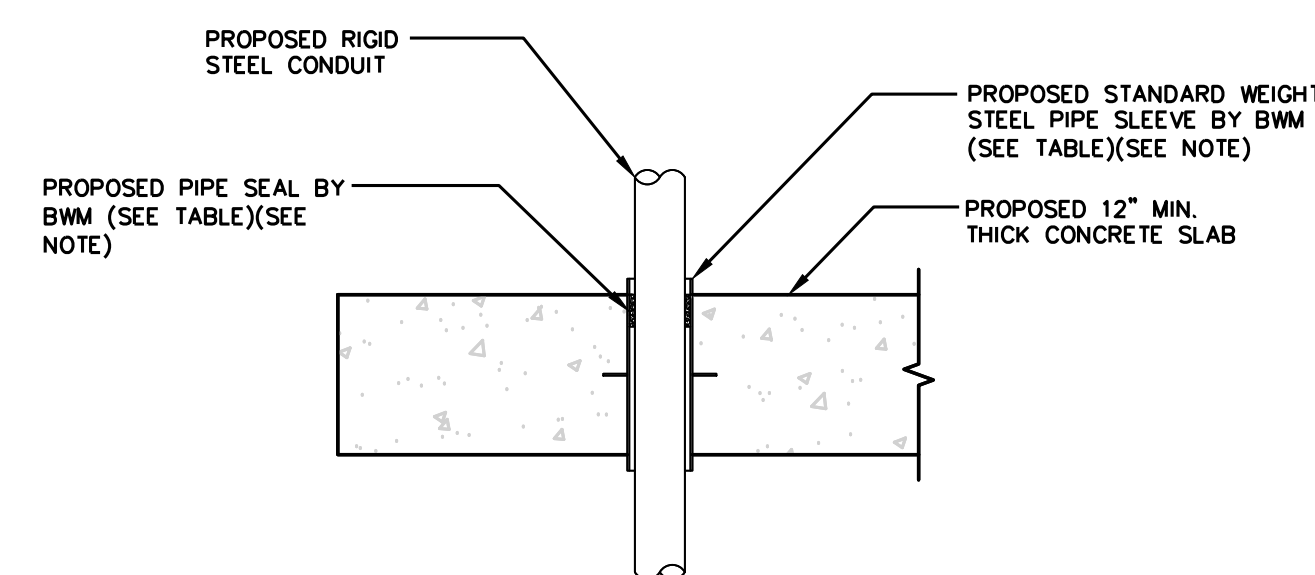


CONCRETE EQUIPMENT PAD DETAIL



CONCRETE EQUIPMENT PAD SECTION DETAIL

1 DETAIL SP-5 NOT TO SCALE

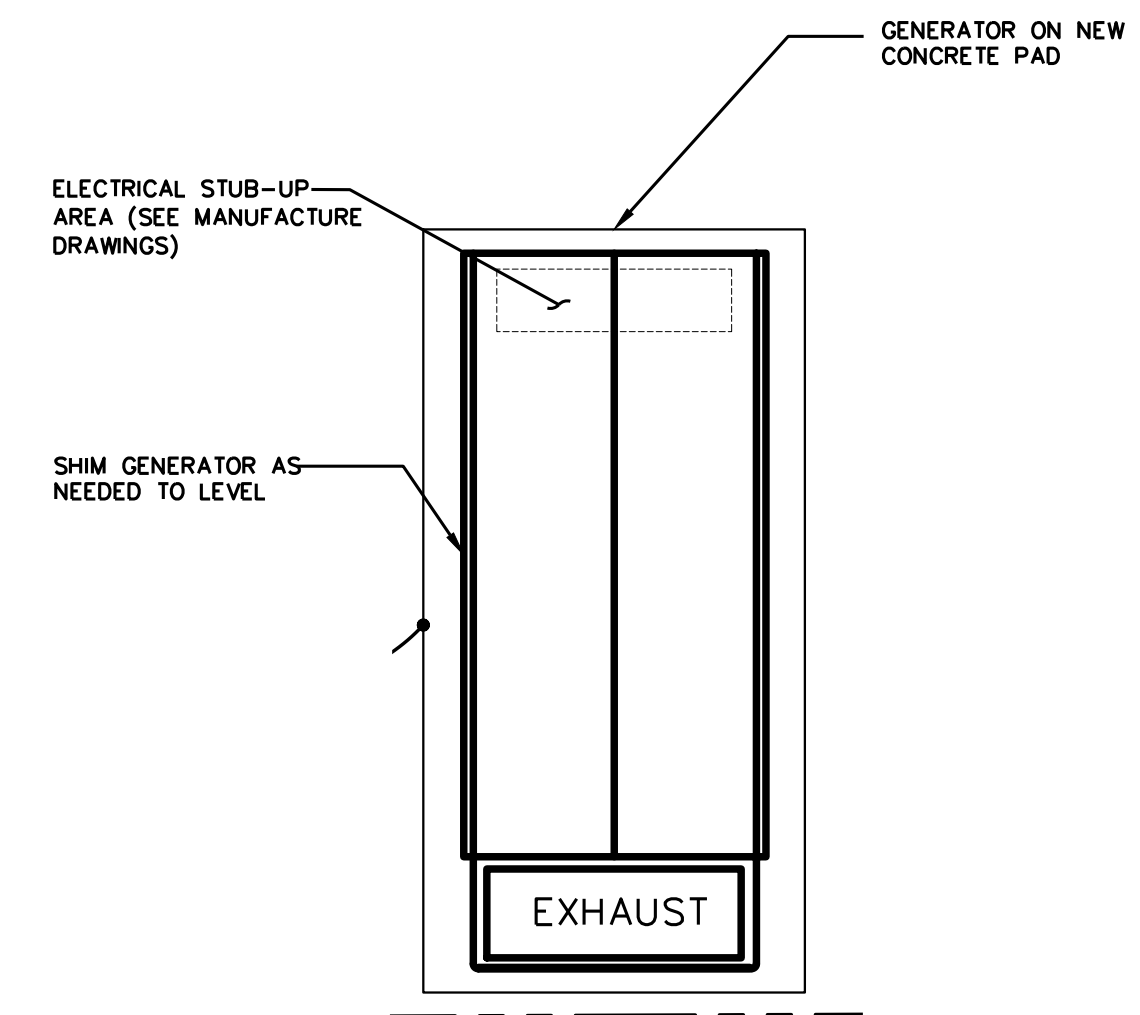


CONDUIT SLEEVE AND SEAL TABLE

NOMINAL CONDUIT SIZE (INCHES)	ACTUAL PIPE O.D. (INCHES)	SLEEVE NOMINAL PIPE SIZE (INCHES)	SLEEVE ACTUAL I.D. (INCHES)	SLEEVE LENGTH	PIPE SEAL PART #	REQUIRED # OF LINKS	QTY.
1.000	1.315	2.500	2.469	12.000	PS-200	5	3
2.000	2.375	4.000	4.026	12.000	PS-300	6	1

3 CONDUIT SEAL DETAIL SP-5 NOT TO SCALE

NOTE: PROPOSED PIPE SLEEVE & SEAL TO BE BY BWM OR APPROVED EQUAL



NOTE 1: ALL CONDUITS TO PENETRATE SLAB FROM BELOW AND USE CONDUIT SEAL DETAIL 3/SP-5

2 DETAIL SP-5 NOT TO SCALE

GENERAL NOTES:
REINFORCING

- ALL REINFORCING BAR DETAILS SHALL CONFORM TO THE LATEST ACI CODE AND DETAILING MANUAL.
- ALL BARS SHALL BE ASTM A-615, GRADE 60.
- PROVIDE AND SCHEDULE WITH THE SHOP DRAWINGS ALL NECESSARY ACCESSORIES TO HOLD REINFORCING SECURELY IN POSITION.
- CLEARANCE OF MAIN REINFORCING FROM ADJACENT SURFACES UNLESS SHOWN OTHERWISE SHALL BE:
 - UNFORMED SURFACES IN CONTACT WITH GROUND OR EXPOSED TO WEATHER: 3"
 - BOTTOM SURFACES OF SLAB ON GRADE: 3"
 - FORMED SURFACES IN CONTACT WITH GROUND OR EXPOSED TO WEATHER:
 - #5 BARS OR SMALLER: 1-1/2"
 - BARS LARGER THAN #5: 2"
 - EXTERIOR WALL SURFACES: 2"
 - IN ALL CASES, NOT LESS THAN THE BAR DIAMETER.
- ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ENGINEER OR HIS DESIGNATE BEFORE CONCRETE IS PLACED.
- TOLERANCES FOR PLACING REINFORCING SHALL BE: +1/4 INCH FOR MEMBERS WITH AN EFFECTIVE DEPTH OF 24 INCHES OR LESS +1/2 INCH FOR MEMBERS WITH AN EFFECTIVE DEPTH OF MORE THAN 24 INCHES
- WHERE CONTINUOUS BARS ARE CALLED FOR, THEY SHALL BE RUN CONTINUOUSLY AROUND CORNERS AND LAPPED AT NECESSARY SPLICES OR HOOKED AT DISCONTINUOUS ENDS. LAPS SHALL BE 40 BAR DIAMETERS. BAR LAPS MAY BE OFFSET TO AVOID CONTROL OR CONSTRUCTION JOINTS.

REQUIRED INSPECTIONS

- THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION AND SCHEDULING OF ALL INSPECTIONS REQUIRED BY LOCAL AND STATE OFFICIALS HAVING JURISDICTION.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS IN ADVANCE OF EXCAVATION, STEEL PLACEMENT AND CONCRETE PLACEMENT.

FOUNDATION

- ALL FOUNDATIONS SHOULD BEAR A MINIMUM OF 3'-6" BELOW PROPOSED GRADE ON SOIL WITH A NOMINAL ALLOWABLE SOIL BEARING PRESSURE OF 1,000 PSF, OR BEDROCK HAND CLEANED AND FREE OF LOOSE SOIL, WHICHEVER IS LESS.
- ALL FOUNDATION SUBGRADES SHALL BE VERIFIED IN THE FIELD BY THE ENGINEER.

CONCRETE

- ALL CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE ACI BUILDING CODE.
- ALL CONCRETE SHALL ATTAIN 4000 PSF COMPRESSIVE STRENGTH AT 28 DAYS.
 - MINIMUM CEMENTITIOUS MATERIALS CONTENT: 520 LB./CU.YD.
 - MAXIMUM WATER CEMENTITIOUS MATERIALS RATIO: 0.51.
 - SLUMP LIMIT: 4"
 - AIR CONTENT: 6 PERCENT, PLUS OR MINUS 1.5 PERCENT AT THE POINT OF DELIVERY FOR 1" NOMINAL MAXIMUM AGGREGATE SIZE.
- READY MIX:
 - COMPLY WITH ACI-301, ACI-304 AND ASTM C-94.
 - MAXIMUM TIME BETWEEN INTRODUCTION OF WATER AND PLACING TO BE 1-1/2 HOURS.
 - MINIMUM CEMENT CONTENT SHALL BE 5 SACKS PER CUBIC YARD.
 - MAXIMUM WATER CONTENT SHALL BE 6 GALLONS PER SACK OF CEMENT.
 - MAXIMUM SLUMP OF CONCRETE SHALL BE 3 INCHES AS DETERMINED BY ASTM C-143.
 - ALL CONCRETE EXPOSED TO THE GROUND OR WEATHER SHALL BE AIR ENTRAINED BETWEEN 4-5%.
 - DO NOT LOAD TRUCKS ABOVE RATED CAPACITY.
- COLD WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI-306.
- CONTRACTOR SHALL PREPARE AT LEAST FOUR CONCRETE TEST CYLINDERS FROM EACH DAY'S POUR. CYLINDERS SHALL BE PROPERLY CURED, STORED AND TESTED AT 7, 14 AND 28 DAYS. SUBMIT RESULTS TO ENGINEER.
- THROUGHOUT CONSTRUCTION, THE CONCRETE WORK SHALL BE ADEQUATELY PROTECTED AGAINST DAMAGE DUE TO EXCESSIVE LOADING, CONSTRUCTION EQUIPMENT, MATERIALS OR METHODS, ICE, RAIN, SNOW, EXCESSIVE HEAT AND FREEZING TEMPERATURES.
- EARLY DRYING OUT OF CONCRETE, ESPECIALLY DURING THE FIRST 24 HOURS, SHALL BE CAREFULLY GUARDED AGAINST. ALL SURFACES SHALL BE MOIST CURED OR PROTECTED USING A MEMBRANE CURING AGENT APPLIED AS SOON AS FORMS ARE REMOVED. IF MEMBRANE CURING AGENT IS USED, EXERCISE CARE NOT TO DAMAGE COATING.
- BENDING, TACK WELDING, CUTTING OR SUBSTITUTE REINFORCING OTHER THAN AS SHOWN ON THE CONTRACT DRAWING IS PROHIBITED UNLESS SPECIFIC APPROVAL FOR EACH CASE IS GIVEN BY THE ENGINEER.
- CONCRETE SHALL BE CONVEYED, PLACED AND FINISHED IN A GOOD WORKMANLIKE MANNER.
- PRIOR TO MAKING REPAIRS, CONTRACTOR SHALL OBTAIN PERMISSION FROM ENGINEER TO MAKE PATCHES FOR OTHER THAN MINOR HONEY COMBING.
- CONTRACTOR TO COORDINATE REQUIREMENTS OF STRUCTURAL, ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS WITH THE INSTALLATION OF CONCRETE.
- ALL MATERIALS SHALL BE STORED TO PROTECT THEM AGAINST THE ELEMENTS.

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TEL: (610) 715-6000

JOHN BOSCO, P.E.
DELAWARE PROFESSIONAL ENGINEER DE LIC. NO. 7188

DRAWING TITLE: **CONCRETE PAD DETAILS AND NOTES**

PROJECT: DOV HOLLYVILLE
22602 HARBESON ROAD
HARBESON, DE 19951
SUSSEX COUNTY

PROPERTY OWNER: JOHN W. DAVIDSON TRUSTEE

DRAWING ISSUE STATUS CURRENTLY - **A**

A - ISSUED FOR PRELIMINARY INFORMATION ONLY
B - ISSUED FOR MUNICIPAL REVIEWS/APPROVALS
C - ISSUED FOR CONSTRUCTION PERMITS/BIDS
D - ISSUED FOR CONSTRUCTION
E - (SPECIFY)

FIRST ISSUE: 03/27/19
DRAWN BY: J.E.F.
CHECKED BY: P.J.T.
SCALE: AS SHOWN
PROJECT NO. 124.112
DOCUMENT NO.

DRAWING NO. **SP-7**
SHEET NO. 9 OF 15
PRINT DATE: 09/04/20

GENERAL SPECIFICATIONS

- BEFORE SUBMITTING THIS BID, THE CONTRACTOR SHALL VISIT THE JOB SITE TO EXAMINE AND FULLY ACQUAINT HIMSELF WITH THE EXISTING JOB CONDITIONS, PAYING PARTICULAR ATTENTION TO THE LOCATION OF EXISTING WATER MAINS, HVAC UNITS, DUCT WORK, PANEL BOARDS, TRANSFORMERS, BUILDING STEEL ETC. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL SUPPORTS, HANGERS, BOXES, DUCT WORK, PIPING OR PANELS AS REQUIRED BY TRADE, AND SHALL PERFORM DEMOLITION AND MODIFICATION WORK AS REQUIRED, TO MAKE A COMPLETE AND OPERABLE SYSTEM WITH OUT ADDITIONAL COST TO CELLCO PARTNERSHIP OR THE ENGINEER.
- REQUIREMENTS OF THE GENERAL CONSTRUCTION SHALL APPLY TO ALL WORK UNDER THESE TRADES.
- CONTRACTOR SHALL APPLY FOR AND PAY FOR ALL PERMITS, CERTIFICATES, INSPECTIONS, APPROVALS, ETC. NOT OBTAINED BY ENGINEER, AND PAY ALL FINES LEVIED BY STATE, LOCAL AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER WORK DONE UNDER THIS CONTRACT.
- ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL LAWS, ORDINANCES, CODES, ETC. OF ANY GOVERNING BODY HAVING JURISDICTION, ALL APPLICABLE ITEMS SHALL BEAR THE UNDERWRITERS LABORATORIES (UL) LABEL, AND/OR FACTORY MUTUAL APPROVED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLIANCE.
- ALL WORK SHALL BE DONE IN A NEAT WORKMAN LIKE MANNER, LEFT CLEAN AND FREE FROM DEFECTS, AND COMPLETELY OPERABLE. THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT AS SCHEDULED ON THE DRAWINGS. ALL MATERIALS SHALL BE NEW AND ALL WORK AND MATERIALS SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER.
- ALL WORK SHALL BE CAREFULLY COORDINATED WITH THE LANDLORD AND ALL TRADES INVOLVED, AND THE CONTRACTOR SHALL PROVIDE PROPER CONNECTIONS, FITTINGS, VALVES, PIPING, ETC. FOR ALL EQUIPMENT FURNISHED BY CELLCO PARTNERSHIP OR OTHER TRADES INVOLVED IN THIS CONTRACT.
- CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY CONFLICT DISCOVERED BEFORE PERFORMING ANY WORK RELATED TO SUCH CONFLICT. DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS CONDITIONS ALLOW TO COMPLETE THE INTENT OF THE CONTRACT. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MAJOR ITEMS. A MINIMUM OF (6) COPIES SHALL BE SUBMITTED. THE ENGINEER'S APPROVAL OF SHOP OR SETTING DRAWINGS SHALL ONLY BE CONSTRUED TO APPLY TO GENERAL LAYOUT AND CONFORMANCE TO THE DESIGN CONCEPT OF THE PROJECT AND FOR COMPLIANCE WITH THE GENERAL REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE RESPONSIBILITY FOR ANY DEVIATIONS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS MUST REMAIN THE CONTRACTOR'S UNLESS HE HAS, IN WRITING, SPECIFICALLY CALLED THE ENGINEER'S ATTENTION TO SUCH DEVIATIONS AT THE TIME OF SUBMISSION AND HAS RECEIVED THE ENGINEER'S WRITTEN APPROVAL OF SUCH DEVIATIONS. SEE NOTES NO. 1, 3 & 4 ABOVE.
- PROVIDE ALL REQUIRED TEMPORARY UTILITIES AND PAY ALL ASSOCIATED FEES AND OPERATING COSTS.
- THE MECHANICAL AND ELECTRICAL CONTRACTORS SHALL PERFORM ALL CUTTING AND PATCHING AS REQUIRED FOR THEIR RESPECTIVE WORK, EXCEPT THAT STRUCTURALLY FRAMED OPENINGS SHALL BE CUT AND FRAMED BY THE GENERAL CONTRACTOR. ALL HOLES IN MASONRY FLOORS AND WALLS SHALL BE CORE DRILLED.
- THE CONTRACTOR SHALL PREPARE A COMPLETE SET OF RECORD DRAWINGS PRIOR TO FINAL PAYMENT. FINAL PAYMENT SHALL NOT BE MADE UNTIL THE RECORD DRAWINGS ARE DEEMED COMPLETE BY THE ENGINEER. THE DRAWINGS SHALL BE DRAFTED BY A PROFESSIONAL DRAFTSMAN ON SEPIA MYLAR COPIES OF THESE CONTRACT DOCUMENTS. THE DRAWINGS SHALL INCLUDE EXACT ROUTING OF ALL WIRING, PIPING, DUCTWORK, ETC. THE CONTRACTOR SHALL REQUEST SEPIA MYLARS FROM THE ENGINEER.

NOTE:
FINAL PAYMENT WILL BE WITHHELD PENDING RECEIPT OF FINAL RECORD DRAWINGS.

ELECTRICAL SPECIFICATIONS

- GENERAL:
 - THE ELECTRICAL CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, TRANSPORTATION EQUIPMENT, SERVICES AND FACILITIES REQUIRED FOR THE COMPLETE, PROPER AND SUBSTANTIAL INSTALLATION OF ALL ELECTRICAL WORK. ALL FIXTURES, DEVICES AND EQUIPMENT SHOWN, NOTED OR REQUIRED ON THE DRAWINGS, AND/OR CONTAINED HEREIN SHALL BE CONNECTED FROM THE SOURCE OF ELECTRIC POWER TO THE FINAL CONNECTION, TESTED AND MADE READY FOR SATISFACTORY OPERATION.
 - ALL CONTROL WIRING IS TO BE DONE BY THE ELECTRICAL CONTRACTOR. OTHER CONTRACTORS SHALL PROVIDE STARTERS, ETC. FOR ALL EQUIPMENT THEY FURNISH, UNLESS SPECIFICALLY INDICATED ON THE ELECTRICAL DRAWINGS.
 - UNLESS OTHERWISE INDICATED, THE ARRANGEMENT, POSITION, CONNECTIONS, ETC. SHOWN ON THE DRAWINGS SHALL BE TAKEN AS DIAGRAMMATIC. THE RIGHT IS RESERVED BY THE ENGINEER TO MAKE MINOR CHANGES IN LOCATIONS AND ARRANGEMENTS WHEN REQUIRED BY JOB DEVELOPMENT WITHOUT ADDITIONAL COMPENSATION TO THIS CONTRACTOR.
 - REFER TO THE GENERAL SPECIFICATION, THIS SHEET.
 - ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND LOCAL, STATE AND APPLICABLE CODES.
 - PROVIDE AS-BUILT DRAWINGS TO OWNER AT CONCLUSION OF PROJECT.
 - OBTAIN ALL PERMITS AND APPROVALS FROM AUTHORITIES HAVING JURISDICTION AND PAYING ALL FEES REQUIRED.
 - SUBMIT SIX (6) SETS OF SHOP DRAWINGS FOR APPROVAL OF THE FOLLOWING:
 - WIRE
 - DEVICES
 - DISCONNECTS
 - CONDUIT
 - COORDINATE WITH UTILITY COMPANY (POWER & TELEPHONE) SERVICE REQUIREMENTS BEFORE STARTING CONSTRUCTION.
 - ALL PANELBOARDS, SWITCHBOARDS, INDUSTRIAL CONTROL PANEL, METER SOCKET ENCLOSURES AND MOTOR CONTROL CENTERS SHALL BE LABELED IN ACCORDANCE WITH ARTICLE 110.16 - (FLASH PROTECTION) OF THE 2005 NEC.
- PANELBOARDS:
 - CIRCUIT BREAKERS SHALL BE THE BOLT IN TYPE, UNLESS NOTED OTHERWISE, MINIMUM 10,000 AIC AND BE ARRANGED USING DOUBLE ROW CONSTRUCTION.
 - BRACING SHALL BE EQUIVALENT TO, OR COMPATIBLE WITH, THE RATED INTERRUPTING CAPACITY OF SMALLEST OVERCURRENT DEVICE IN THAT PANEL.
 - ALL CONDUCTOR TERMINALS SHALL BE U.L. LISTED FOR MINIMUM OF 75°C.
 - ALL PANELBOARDS, SWITCHBOARDS, INDUSTRIAL CONTROL PANEL, METER SOCKET ENCLOSURES AND MOTOR CONTROL CENTERS SHALL BE LABELED IN ACCORDANCE WITH ARTICLE 110.16 - (FLASH PROTECTION) OF THE 2014 NEC.

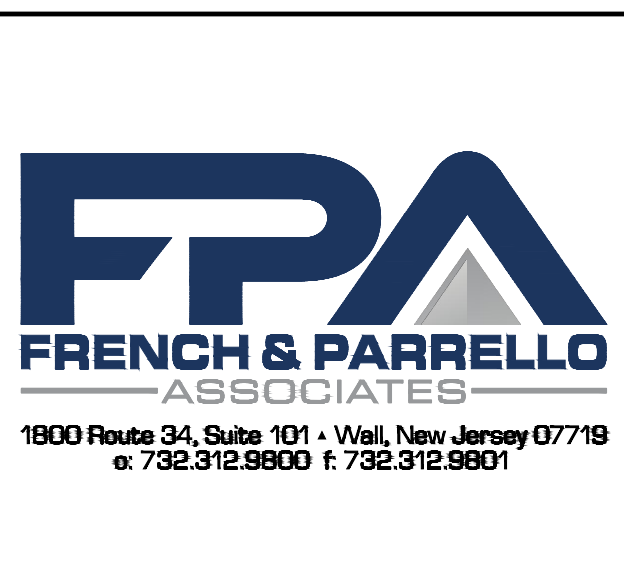
- RACEWAYS:
 - MINIMUM CONDUIT SIZE SHALL BE 3/4" UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 - ELECTRICAL METALLIC TUBING (EMT): HOT DIPPED GALVANIZED, MILD STEEL TUBE, ZINC COATED, AS MANUFACTURED BY TRIANGLE, REPUBLIC, WHEATLAND OR EQUAL.
 - RIGID METAL CONDUIT: HOTDIPPED GALVANIZED, MILD STEEL PIPE, ZINC COATED THREADS WITH AN OUTER COATING OF ZINC BICHROMATE, AS MANUFACTURED BY TRIANGLE, REPUBLIC, WHEATLAND OR EQUAL.
 - LIQUIDTIGHT FLEXIBLE METAL CONDUIT: GALVANIZED STEEL CORE, SINGLE STRIP INTERLOCKED CONSTRUCTION, WITH AN EXTRUDED POLYVINYL CHLORIDE COVERING AS MANUFACTURED BY TRIANGLE, CARLON, ALLIED, OR EQUAL. PROVIDE GROUNDING FITTINGS ON BOTH ENDS (AS MANUFACTURED BY THOMAS AND BETTS OR EQUAL.)
 - POLYVINYL CHLORIDE CONDUIT, (PVC): NEMA TC2, TYPE EPC-40-PVC AND TYPE EPC-80-PVC, UL 651, WITH MATCHING FITTINGS BY SAME MANUFACTURER AS THE CONDUIT, COMPLYING WITH NEMA TC3 AND UL 514B. AVAILABLE MANUFACTURERS: CANTEX, INC., CERTAIN TEED CORP.: PIPE & PLASTICS GROUP, LAMSON & SESSIONS: CARLON ELECTRICAL PRODUCTS OR EQUAL.
 - EXPOSED RACEWAYS SHALL BE RUN TRUE, PLUMB AND PARALLEL OR PERPENDICULAR TO BUILDING LINES.
 - CABLE TRAY SHALL BE STEEL, HOT DIPPED GALVANIZED AFTER FABRICATION AS MANUFACTURED BY B-LINE OR EQUAL. FIELD CUTS TO BE REPAIRED WITH ZINCALATE PRIMER.
 - CONDUIT SUPPORTS SHALL BE SPACED AT A MAXIMUM DISTANCE OF 10 FEET APART.
- WIRING METHODS:
 - SINGLE CONDUCTOR CABLES SHALL BE USED FOR FEEDERS AND BRANCH CIRCUIT WIRING. MINIMUM SIZE WIRE SHALL BE #12 AWG UNLESS OTHERWISE INDICATED AND SHALL BE SIZED TO CONFORM TO NORMAL NEC VOLTAGE DROPS. WIRE SIZES #10 AWG AND SMALLER SHALL BE SOLID, #8 AWG AND LARGER SHALL BE STRANDED. ALL CONDUCTORS SHALL BE COPPER.
 - FEEDER AND BRANCH CIRCUIT CONDUCTORS SHALL BE 600 VOLT TYPE XHHW OR THHN-THWN COPPER.
 - 120 VOLT CONTROL WIRING: SINGLE CONDUCTOR AC CONTROL WIRES SHALL BE RANDOM COLORS EXCEPT FOR YELLOW, GREEN OR WHITE. WHITE SHALL BE USED FOR CONTROL NEUTRAL LEG.
 - EQUIPMENT GROUND - ALL EQUIPMENT SHALL BE GROUNDED WITH A STRANDED COPPER WIRE WITH GREEN INSULATION.
 - CONDUCTORS SHALL BE CONTINUOUS FROM ORIGIN TO PANEL OR EQUIPMENT WITHOUT SPLICES. WHERE TAP SPLICES ARE NECESSARY AND APPROVED, THEY SHALL BE MADE WITH SUITABLE CONNECTORS IN JUNCTION BOXES.
 - PHASE CONDUCTORS SHALL BE IDENTIFIED WITH THE FOLLOWING COLOR CODED TAPE AT BOTH ENDS:

	<u>120/240 VOLTS</u>
PHASE A	BLACK
PHASE B	RED
NEUTRAL	WHITE
GROUND	GREEN
 - EXTERIOR BRANCH CIRCUIT WIRING RUN ABOVE GRADE SHALL BE INSTALLED IN RIGID GALVANIZED STEEL CONDUIT WITH THREADED FITTINGS, UNLESS OTHERWISE NOTED.
 - EQUIPMENT GROUND CONDUCTORS SHALL BE PROVIDED FOR ALL FEEDERS AND BRANCH CIRCUITS.

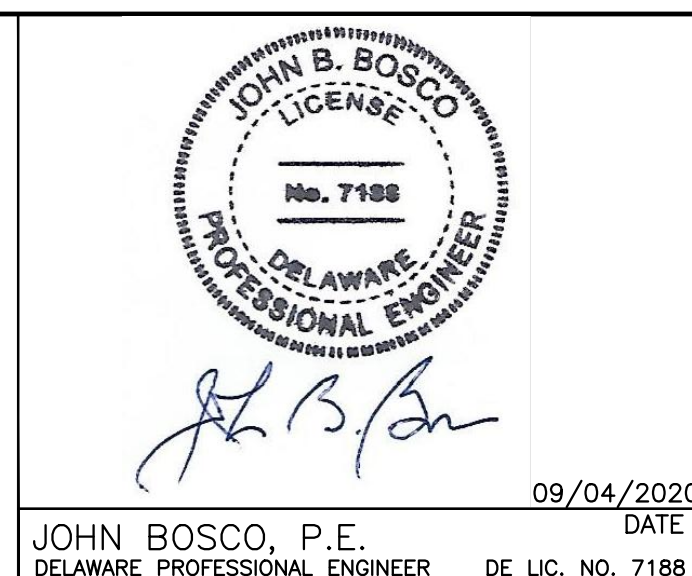
- BRANCH CIRCUIT AND FEEDER WIRING RUN WITHIN INTERIOR SPACES SHALL BE INSTALLED IN ELECTRICAL METALLIC TUBING (EMT) WITH SET SCREW COUPLINGS.
- UNDERGROUND WIRING SHALL BE INSTALLED IN SCHEDULE 40 PVC WITH SCHEDULE 80 PVC ELBOWS AND RISER.
- UNDERGROUND WIRING SHALL BE INSTALLED AT A MINIMUM OF 30" BELOW FINISHED GRADE. PROVIDE CONTINUOUS RED PLASTIC STRIP 1'-0" FROM GRADE, ABOVE CONDUITS .
- LIQUID TIGHT FLEXIBLE METAL CONDUIT IN LENGTHS OF 3 FEET OR LESS WITH APPROVED TYPE FITTINGS SHALL BE USED FOR CONNECTIONS TO VIBRATING EQUIPMENT, MOTORS, AND OTHER OUTLETS WHERE WIRING WILL BE EXPOSED TO WEATHER, MOISTURE OR VIBRATIONS.
- FLEXIBLE METAL CONDUIT IN LENGTHS OF 3 FEET OR LESS SHALL BE PERMITTED FOR CONNECTIONS TO LIGHTING FIXTURES. IT SHALL ALSO BE PERMITTED WHERE STRUCTURAL MEMBERS PRECLUDE THE USE OF CONDUITS.
- PROVIDE FIRESTOPPING AROUND ALL CONDUITS AT WALL AND FLOOR PENETRATIONS.
- ALL EQUIPMENT INSTALLED SHALL BE LISTED AND RATED FOR THE ENVIRONMENT IT IS INSTALLED.
- WIRING DEVICES - PLATES
 - SWITCHES, RECEPTACLES AND OTHER WIRING DEVICES SHALL BE SPECIFICATION GRADE OF TYPE, SIZE AND RATING INDICATED ON THE DRAWINGS.
- DISCONNECT SWITCHES:
 - SWITCHES SHALL BE QUICK-MAKE, QUICK-BREAK NEMA 1 FOR INDOOR USE AND NEMA 3R FOR OUTDOOR USE AS MANUFACTURED BY GENERAL ELECTRIC, SQUARE D OR EQUAL. ELECTRICAL CONTRACTOR TO PROVIDE ALL SAFETY DISCONNECTS.
- SPECIAL REQUIREMENTS:
 - TAPS AND SPLICES FOR BRANCH CIRCUIT WIRING SHALL BE MADE WITH INDENT COMPRESSION CONNECTORS AND SHALL BE INSULATED.

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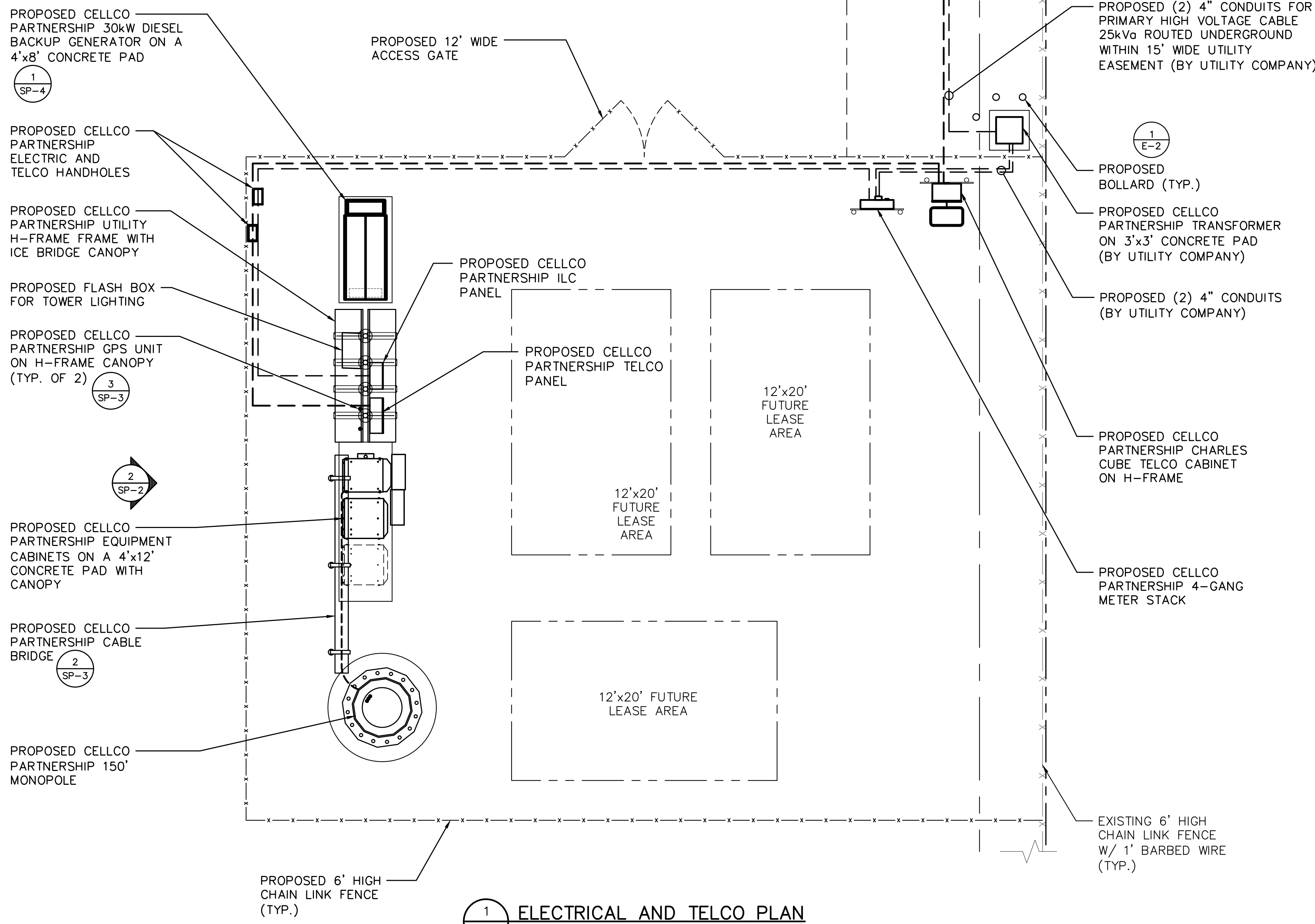
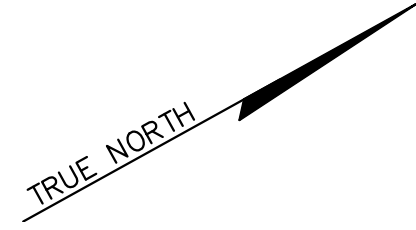


DRAWING TITLE:
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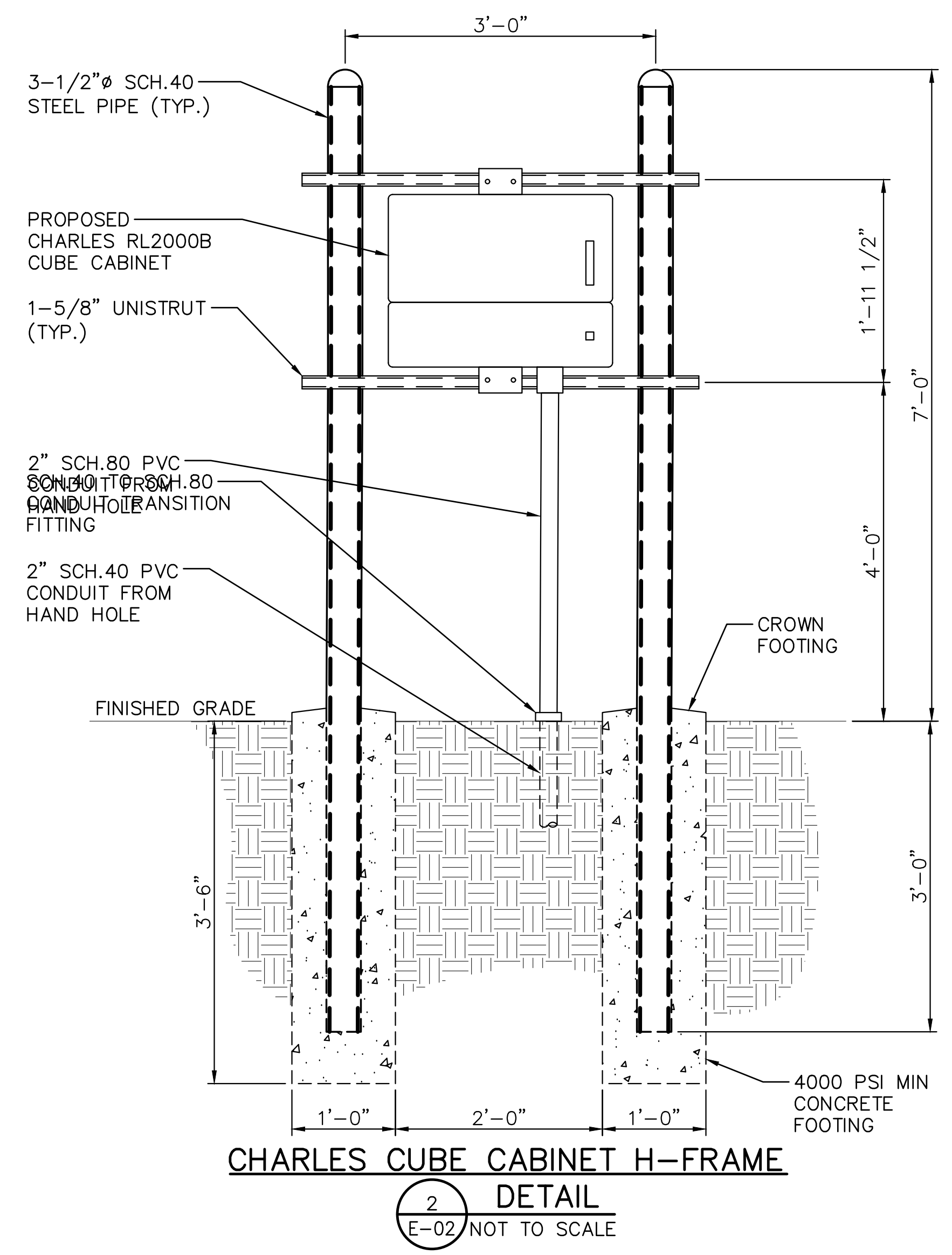
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JOHN W. DAVIDSON TRUSTEE

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FIRST ISSUE: 03/27/19	DRAWING NO. E-01
DRAWN BY: J.E.F.	
CHECKED BY: P.J.T.	
SCALE: AS SHOWN	SHEET NO. 10 OF 15
PROJECT NO. 124.112	PRINT DATE: 09/04/20
DOCUMENT NO.	



1 ELECTRICAL AND TELCO PLAN
 E-02 SCALE: 1" = 5'
 GRAPHIC SCALE
 (IN FEET)
 1 INCH = 5 FT.



SCHEDULE OF REVISIONS					
NO.	DESCRIPTION OF CHANGES	DRAWN BY	AUTH. BY	ISSUE STATUS	ISSUE DATE
7					
6	REVISED PER PLANNING COMMISSION COMMENTS	A.B.	J.B.B.	A	09/04/20
5	REVISED TO SHOW DIESEL GENERATOR DETAIL	J.L.	P.J.T.	A	07/22/20
4	REVISED NUMBER OF CABLES	R.P.J.	P.J.T.	A	06/30/20
3	REVISED PER COMMENTS	A.R.C.	P.J.T.	A	07/26/19
2	REVISED PER COMMENTS	A.R.C.	P.J.T.	A	07/22/19
1	REVISED PER LATEST RFDS	A.R.C.	P.J.T.	A	07/16/19
0	ISSUED FOR REVIEW	J.E.F.	P.J.T.	A	05/28/19

NOTES:

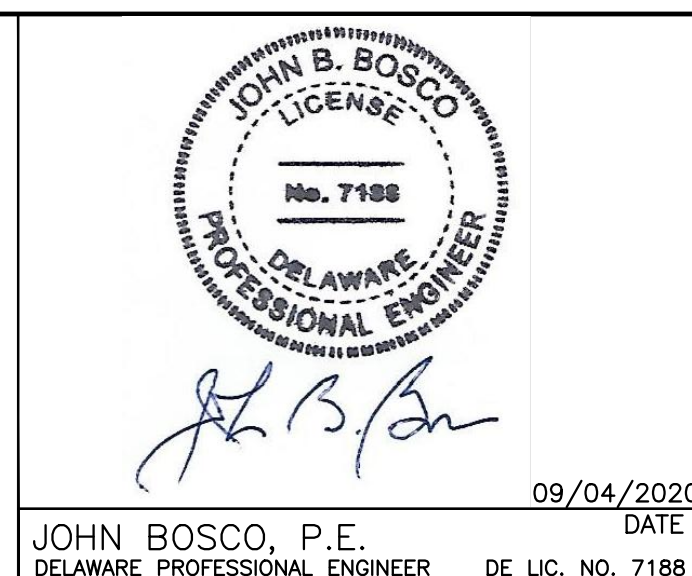
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CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS

512 E. TOWNSHIP LINE ROAD, BUILDING 2, FLOOR 3
 BLUE BELL, PA. 19422
 TEL: (610) 715-6000

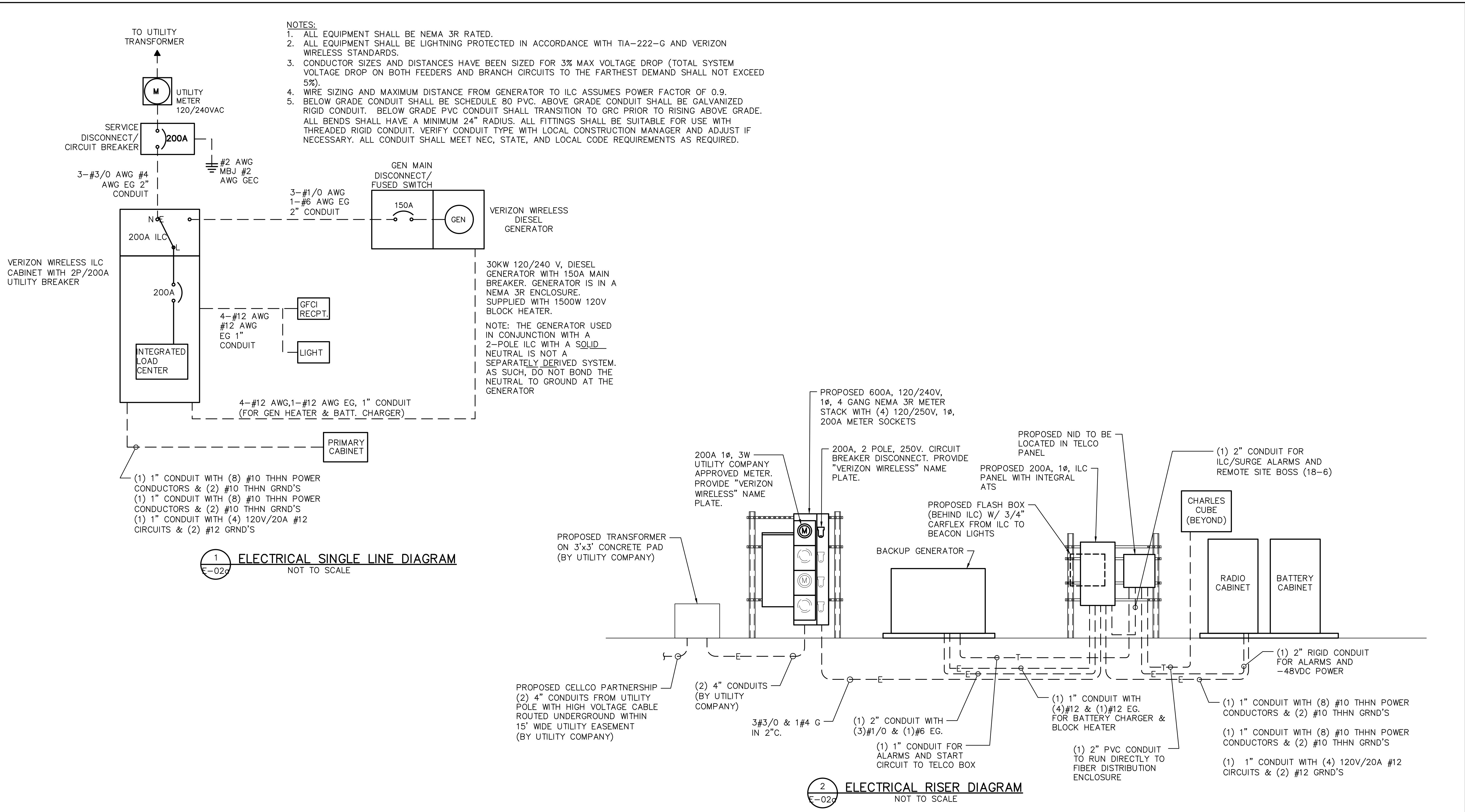


DRAWING TITLE:
POWER AND TELCO SERVICE PLAN AND DETAILS

PROJECT:
 DOV HOLLYVILLE
 22602 HARBESON ROAD
 HARBESON, DE 19951
 SUSSEX COUNTY

PROPERTY OWNER:
 JOHN W. DAVIDSON TRUSTEE

DRAWING ISSUE STATUS CURRENTLY - A	
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D - ISSUED FOR CONSTRUCTION	
E - (SPECIFY)	
FIRST ISSUE: 03/27/19	SHEET NO. 11 OF 15
DRAWN BY: J.E.F.	
CHECKED BY: P.J.T.	PRINT DATE: 09/04/20
SCALE: AS SHOWN	
PROJECT NO. 124.112	DOCUMENT NO.



- NOTES:**
1. ALL EQUIPMENT SHALL BE NEMA 3R RATED.
 2. ALL EQUIPMENT SHALL BE LIGHTNING PROTECTED IN ACCORDANCE WITH TIA-222-G AND VERIZON WIRELESS STANDARDS.
 3. CONDUCTOR SIZES AND DISTANCES HAVE BEEN SIZED FOR 3% MAX VOLTAGE DROP (TOTAL SYSTEM VOLTAGE DROP ON BOTH FEEDERS AND BRANCH CIRCUITS TO THE FARTHEST DEMAND SHALL NOT EXCEED 5%).
 4. WIRE SIZING AND MAXIMUM DISTANCE FROM GENERATOR TO ILC ASSUMES POWER FACTOR OF 0.9.
 5. BELOW GRADE CONDUIT SHALL BE SCHEDULE 80 PVC. ABOVE GRADE CONDUIT SHALL BE GALVANIZED RIGID CONDUIT. BELOW GRADE PVC CONDUIT SHALL TRANSITION TO GRC PRIOR TO RISING ABOVE GRADE. ALL BENDS SHALL HAVE A MINIMUM 24" RADIUS. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. VERIFY CONDUIT TYPE WITH LOCAL CONSTRUCTION MANAGER AND ADJUST IF NECESSARY. ALL CONDUIT SHALL MEET NEC, STATE, AND LOCAL CODE REQUIREMENTS AS REQUIRED.

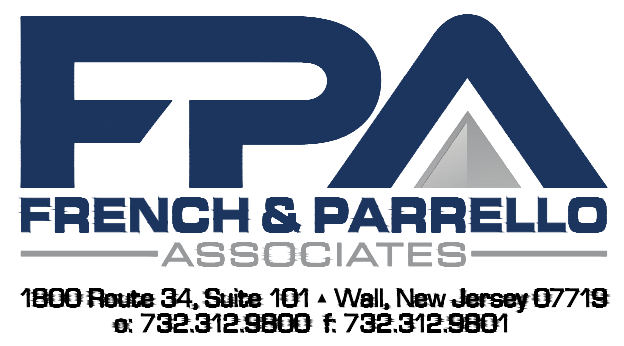
1 ELECTRICAL SINGLE LINE DIAGRAM
NOT TO SCALE

2 ELECTRICAL RISER DIAGRAM
NOT TO SCALE

SCHEDULE OF REVISIONS				
NO.	DESCRIPTION OF CHANGES	DRAWN BY	AUTH. BY	ISSUE DATE
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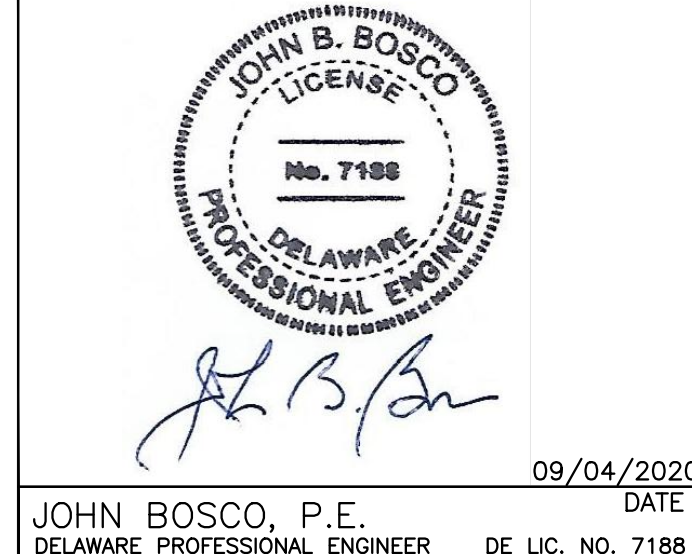
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BLUE BELL, PA. 19422
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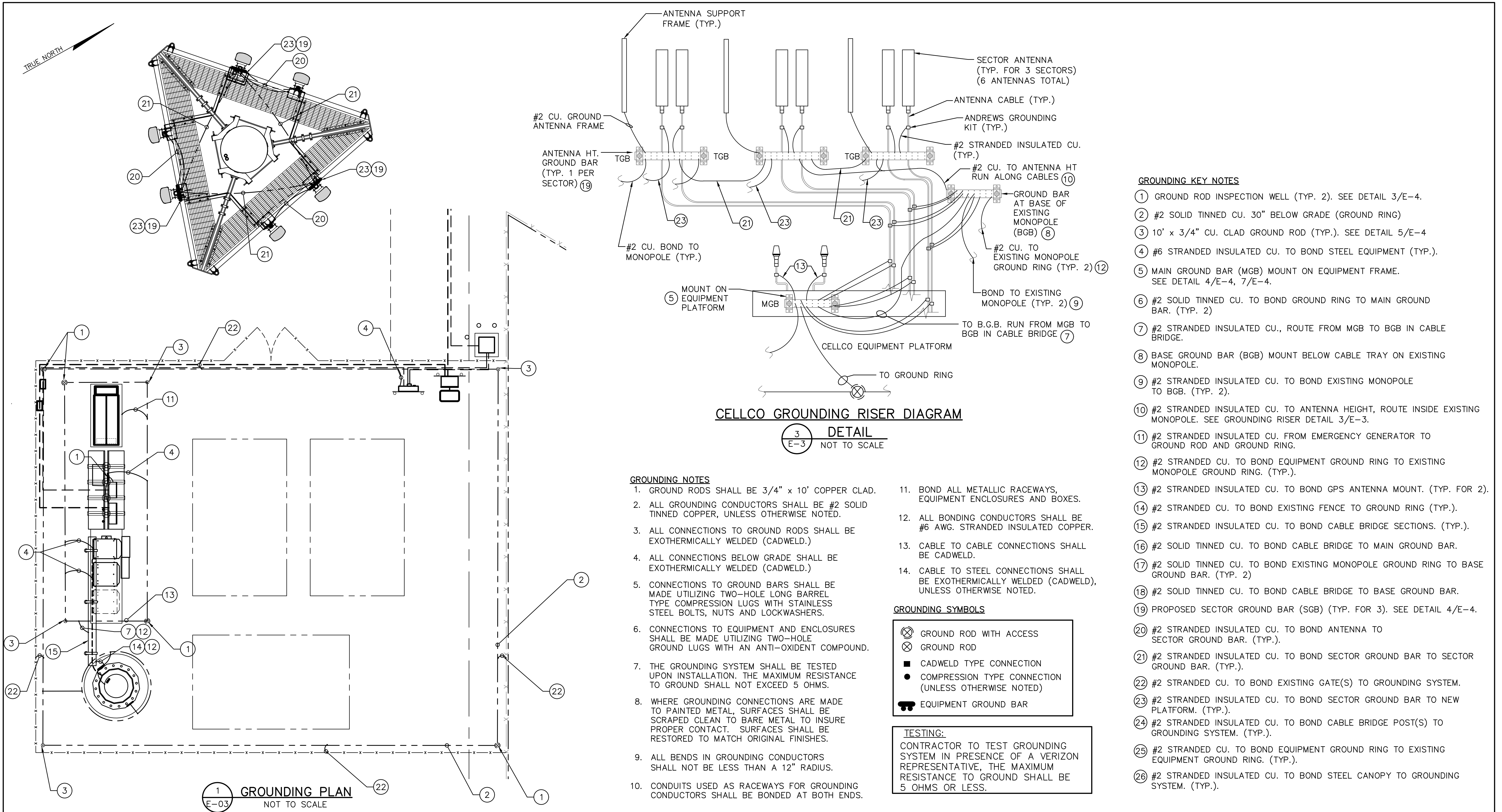


DRAWING TITLE:
ELECTRICAL RISER AND SINGLE LINE DIAGRAM

PROJECT:
DOV HOLLYVILLE
22602 HARBESON ROAD
HARBESON, DE 19951
SUSSEX COUNTY

PROPERTY OWNER:
JOHN W. DAVIDSON TRUSTEE

DRAWING ISSUE STATUS CURRENTLY - A	
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FIRST ISSUE: 03/27/19	DRAWING NO.: E-02A
DRAWN BY: J.E.F.	CHECKED BY: P.J.T.
SCALE: AS SHOWN	SHEET NO.: 12 OF 15
PROJECT NO.: 124.112	PRINT DATE: 09/04/20
DOCUMENT NO.:	



- GROUNDING KEY NOTES**
- ① GROUND ROD INSPECTION WELL (TYP. 2). SEE DETAIL 3/E-4.
 - ② #2 SOLID TINNED CU. 30" BELOW GRADE (GROUND RING)
 - ③ 10' x 3/4" CU. CLAD GROUND ROD (TYP.). SEE DETAIL 5/E-4
 - ④ #6 STRANDED INSULATED CU. TO BOND STEEL EQUIPMENT (TYP.).
 - ⑤ MAIN GROUND BAR (MGB) MOUNT ON EQUIPMENT FRAME. SEE DETAIL 4/E-4, 7/E-4.
 - ⑥ #2 SOLID TINNED CU. TO BOND GROUND RING TO MAIN GROUND BAR. (TYP. 2)
 - ⑦ #2 STRANDED INSULATED CU., ROUTE FROM MGB TO BGB IN CABLE BRIDGE.
 - ⑧ BASE GROUND BAR (BGB) MOUNT BELOW CABLE TRAY ON EXISTING MONOPOLE.
 - ⑨ #2 STRANDED INSULATED CU. TO BOND EXISTING MONOPOLE TO BGB. (TYP. 2).
 - ⑩ #2 STRANDED INSULATED CU. TO ANTENNA HEIGHT, ROUTE INSIDE EXISTING MONOPOLE. SEE GROUNDING RISER DETAIL 3/E-3.
 - ⑪ #2 STRANDED INSULATED CU. FROM EMERGENCY GENERATOR TO GROUND ROD AND GROUND RING.
 - ⑫ #2 STRANDED CU. TO BOND EQUIPMENT GROUND RING TO EXISTING MONOPOLE GROUND RING. (TYP.).
 - ⑬ #2 STRANDED INSULATED CU. TO BOND GPS ANTENNA MOUNT. (TYP. FOR 2).
 - ⑭ #2 STRANDED CU. TO BOND EXISTING FENCE TO GROUND RING (TYP.).
 - ⑮ #2 STRANDED INSULATED CU. TO BOND CABLE BRIDGE SECTIONS. (TYP.).
 - ⑯ #2 SOLID TINNED CU. TO BOND CABLE BRIDGE TO MAIN GROUND BAR.
 - ⑰ #2 SOLID TINNED CU. TO BOND EXISTING MONOPOLE GROUND RING TO BASE GROUND BAR. (TYP. 2)
 - ⑱ #2 SOLID TINNED CU. TO BOND CABLE BRIDGE TO BASE GROUND BAR.
 - ⑲ PROPOSED SECTOR GROUND BAR (SGB) (TYP. FOR 3). SEE DETAIL 4/E-4.
 - ⑳ #2 STRANDED INSULATED CU. TO BOND ANTENNA TO SECTOR GROUND BAR. (TYP.).
 - ㉑ #2 STRANDED INSULATED CU. TO BOND SECTOR GROUND BAR TO SECTOR GROUND BAR. (TYP.).
 - ㉒ #2 STRANDED CU. TO BOND EXISTING GATE(S) TO GROUNDING SYSTEM.
 - ㉓ #2 STRANDED INSULATED CU. TO BOND SECTOR GROUND BAR TO NEW PLATFORM. (TYP.).
 - ㉔ #2 STRANDED INSULATED CU. TO BOND CABLE BRIDGE POST(S) TO GROUNDING SYSTEM. (TYP.).
 - ㉕ #2 STRANDED CU. TO BOND EQUIPMENT GROUND RING TO EXISTING EQUIPMENT GROUND RING. (TYP.).
 - ㉖ #2 STRANDED INSULATED CU. TO BOND STEEL CANOPY TO GROUNDING SYSTEM. (TYP.).

- GROUNDING NOTES**
1. GROUND RODS SHALL BE 3/4" x 10' COPPER CLAD.
 2. ALL GROUNDING CONDUCTORS SHALL BE #2 SOLID TINNED COPPER, UNLESS OTHERWISE NOTED.
 3. ALL CONNECTIONS TO GROUND RODS SHALL BE EXOTHERMICALLY WELDED (CADWELD.)
 4. ALL CONNECTIONS BELOW GRADE SHALL BE EXOTHERMICALLY WELDED (CADWELD.)
 5. CONNECTIONS TO GROUND BARS SHALL BE MADE UTILIZING TWO-HOLE LONG BARREL TYPE COMPRESSION LUGS WITH STAINLESS STEEL BOLTS, NUTS AND LOCKWASHERS.
 6. CONNECTIONS TO EQUIPMENT AND ENCLOSURES SHALL BE MADE UTILIZING TWO-HOLE GROUND LUGS WITH AN ANTI-OXIDENT COMPOUND.
 7. THE GROUNDING SYSTEM SHALL BE TESTED UPON INSTALLATION. THE MAXIMUM RESISTANCE TO GROUND SHALL NOT EXCEED 5 OHMS.
 8. WHERE GROUNDING CONNECTIONS ARE MADE TO PAINTED METAL, SURFACES SHALL BE SCRAPPED CLEAN TO BARE METAL TO INSURE PROPER CONTACT. SURFACES SHALL BE RESTORED TO MATCH ORIGINAL FINISHES.
 9. ALL BENDS IN GROUNDING CONDUCTORS SHALL NOT BE LESS THAN A 12" RADIUS.
 10. CONDUITS USED AS RACEWAYS FOR GROUNDING CONDUCTORS SHALL BE BONDED AT BOTH ENDS.
 11. BOND ALL METALLIC RACEWAYS, EQUIPMENT ENCLOSURES AND BOXES.
 12. ALL BONDING CONDUCTORS SHALL BE #6 AWG. STRANDED INSULATED COPPER.
 13. CABLE TO CABLE CONNECTIONS SHALL BE CADWELD.
 14. CABLE TO STEEL CONNECTIONS SHALL BE EXOTHERMICALLY WELDED (CADWELD), UNLESS OTHERWISE NOTED.
- GROUNDING SYMBOLS**
- ⊗ GROUND ROD WITH ACCESS
 - ⊗ GROUND ROD
 - CADWELD TYPE CONNECTION
 - COMPRESSION TYPE CONNECTION (UNLESS OTHERWISE NOTED)
 - ⊔ EQUIPMENT GROUND BAR
- TESTING:**
CONTRACTOR TO TEST GROUNDING SYSTEM IN PRESENCE OF A VERIZON REPRESENTATIVE, THE MAXIMUM RESISTANCE TO GROUND SHALL BE 5 OHMS OR LESS.

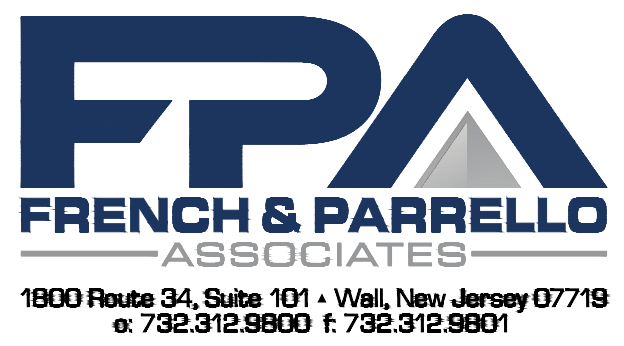
1 GROUNDING PLAN
E-03 NOT TO SCALE

3 CELLCO GROUNDING RISER DIAGRAM
E-3 NOT TO SCALE

SCHEDULE OF REVISIONS				
NO.	DESCRIPTION OF CHANGES	DRAWN BY	AUTH. BY	ISSUE DATE
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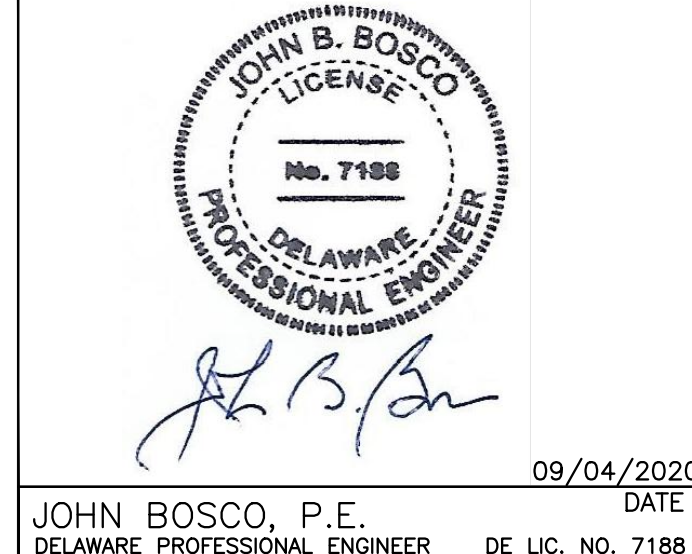
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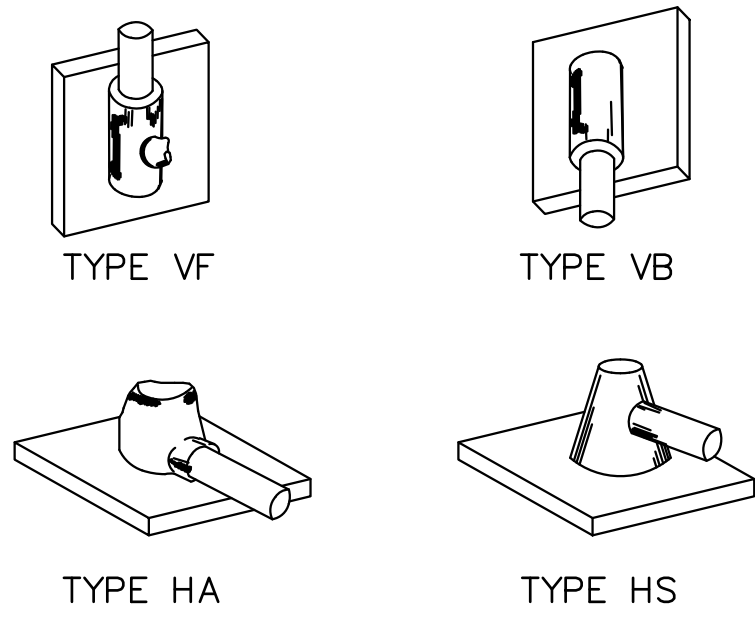
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TEL: (610) 715-6000



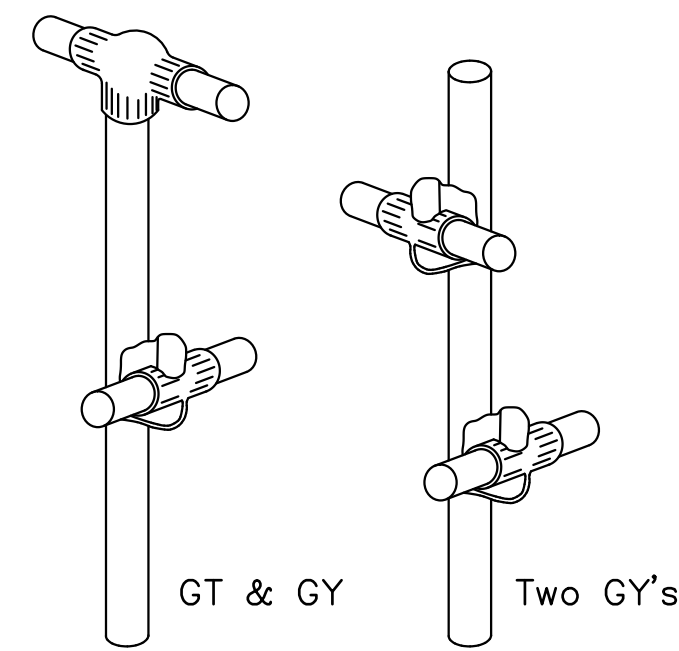
DRAWING TITLE: GROUNDING PLAN		DRAWING ISSUE STATUS CURRENTLY - A	
PROJECT: DOV HOLLYVILLE 22602 HARBESON ROAD HARBESON, DE 19951 SUSSEX COUNTY		FIRST ISSUE: 03/27/19	DRAWING NO. E-03
PROPERTY OWNER: JOHN W. DAVIDSON TRUSTEE		DRAWN BY: J.E.F.	CHECKED BY: P.J.T.
		SCALE: AS SHOWN	SHEET NO. 13 OF 15
		PROJECT NO. 124.112	PRINT DATE: 09/04/20
		DOCUMENT NO.	

GROUND ROD CONNECTIONS

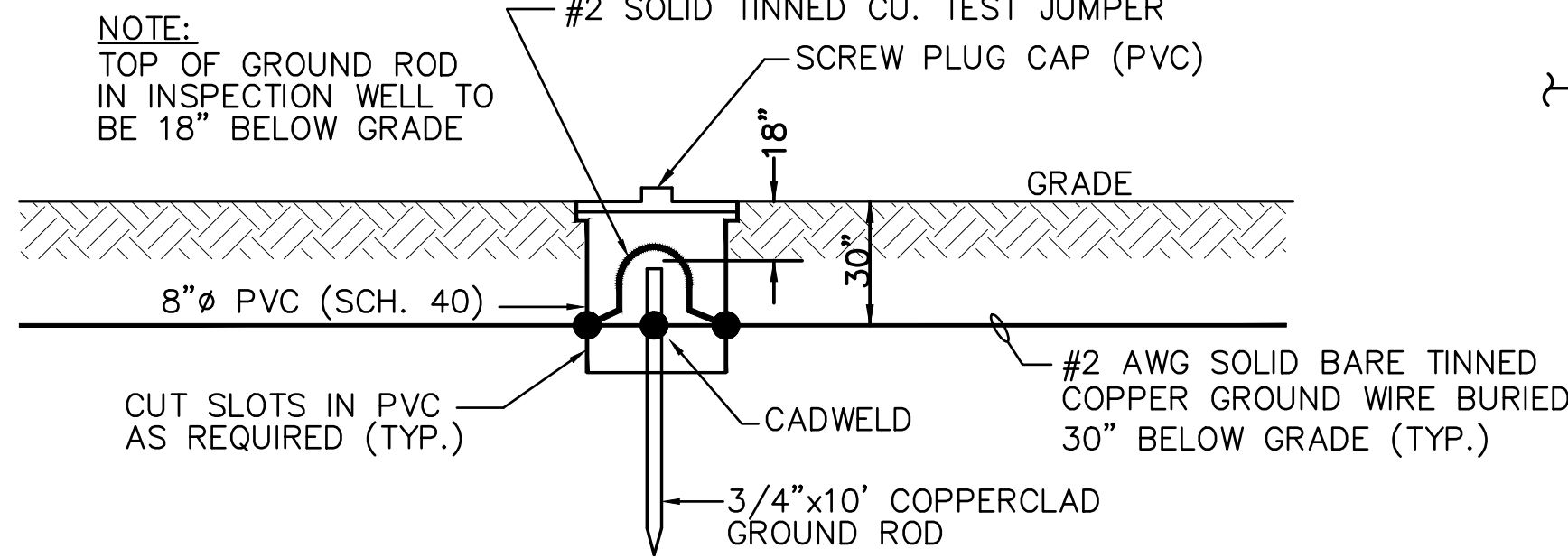
WHEN THE CONSTRUCTION PRINT SHOWS SEVERAL CABLES TO A GROUND ROD, SEVERAL METHODS CAN BE UTILIZED TO ACHIEVE THE REQUIRED ELECTRICAL PATH.



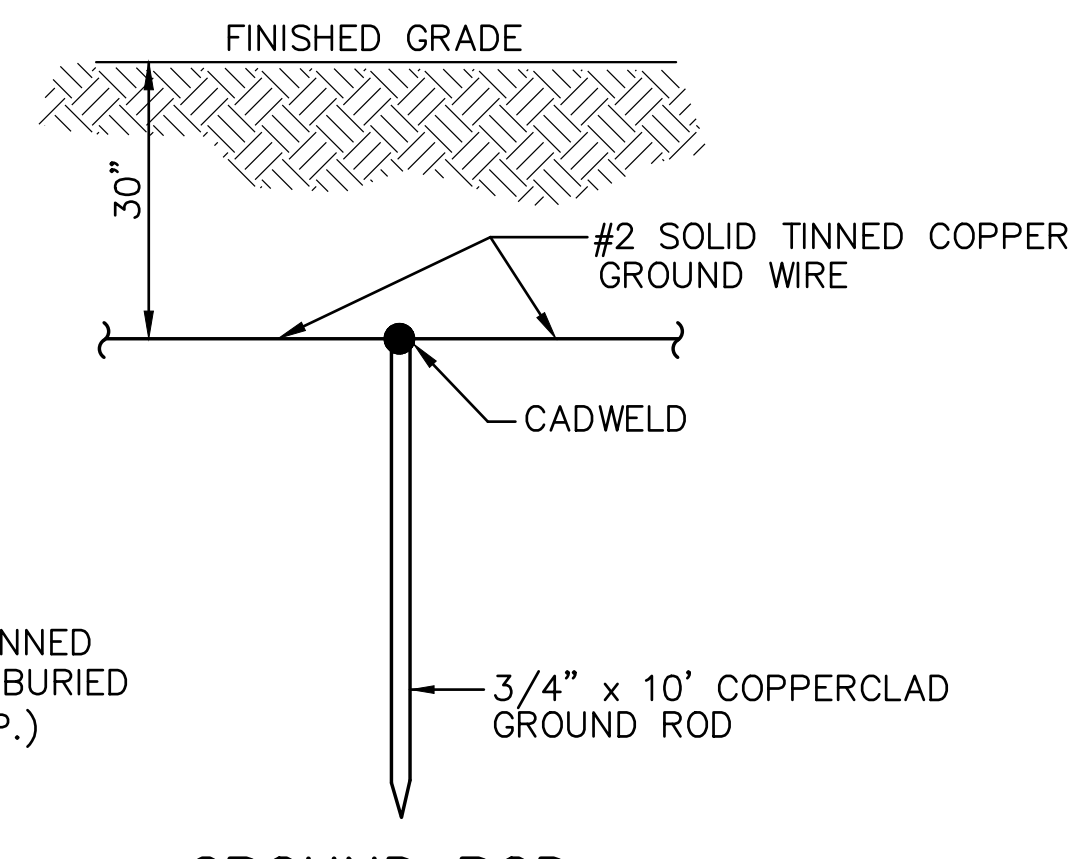
1 **CABLE TO STEEL CADWELD**
E-04 NOT TO SCALE



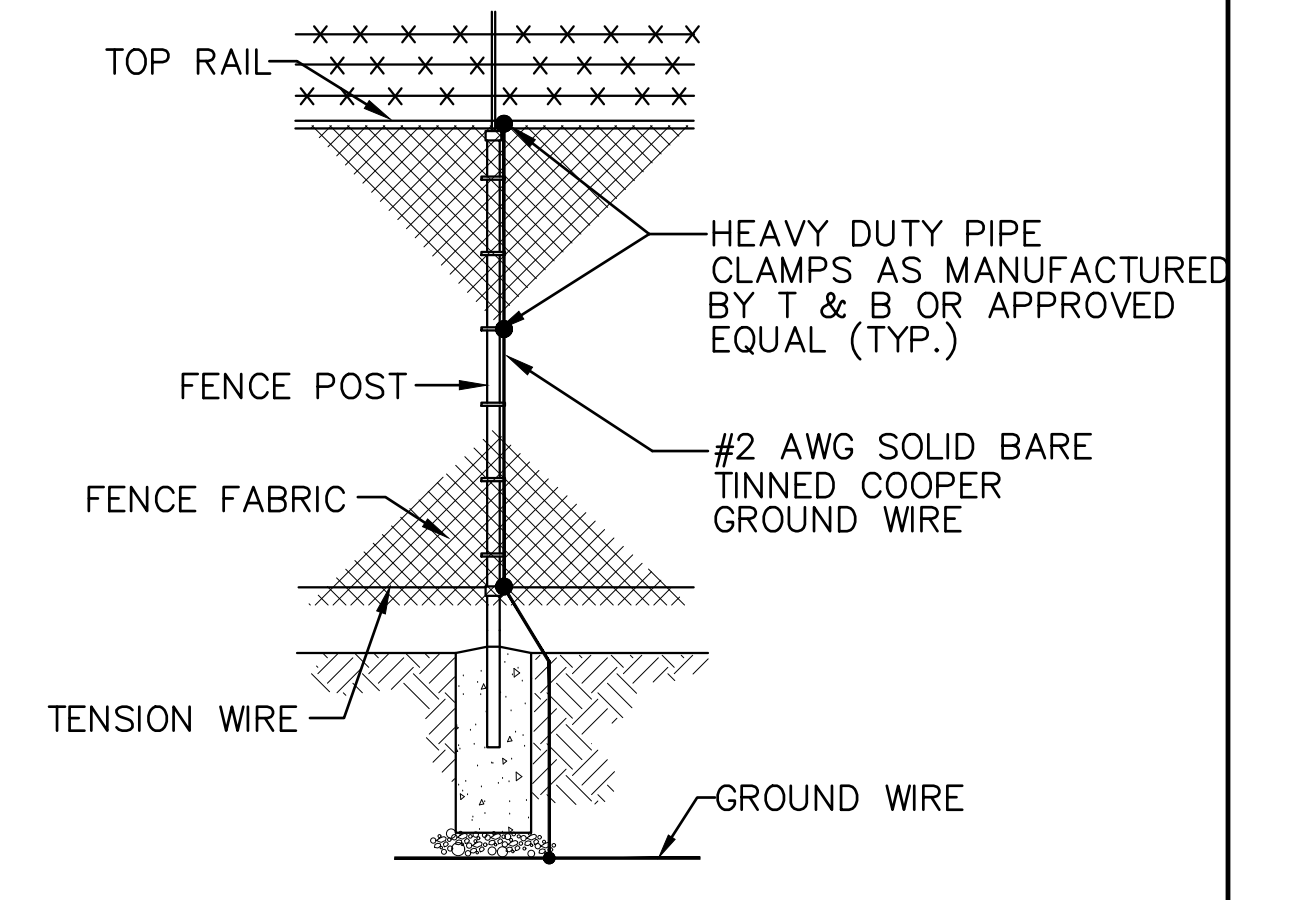
2 **GROUND ROD CONNECTIONS**
E-04 NOT TO SCALE



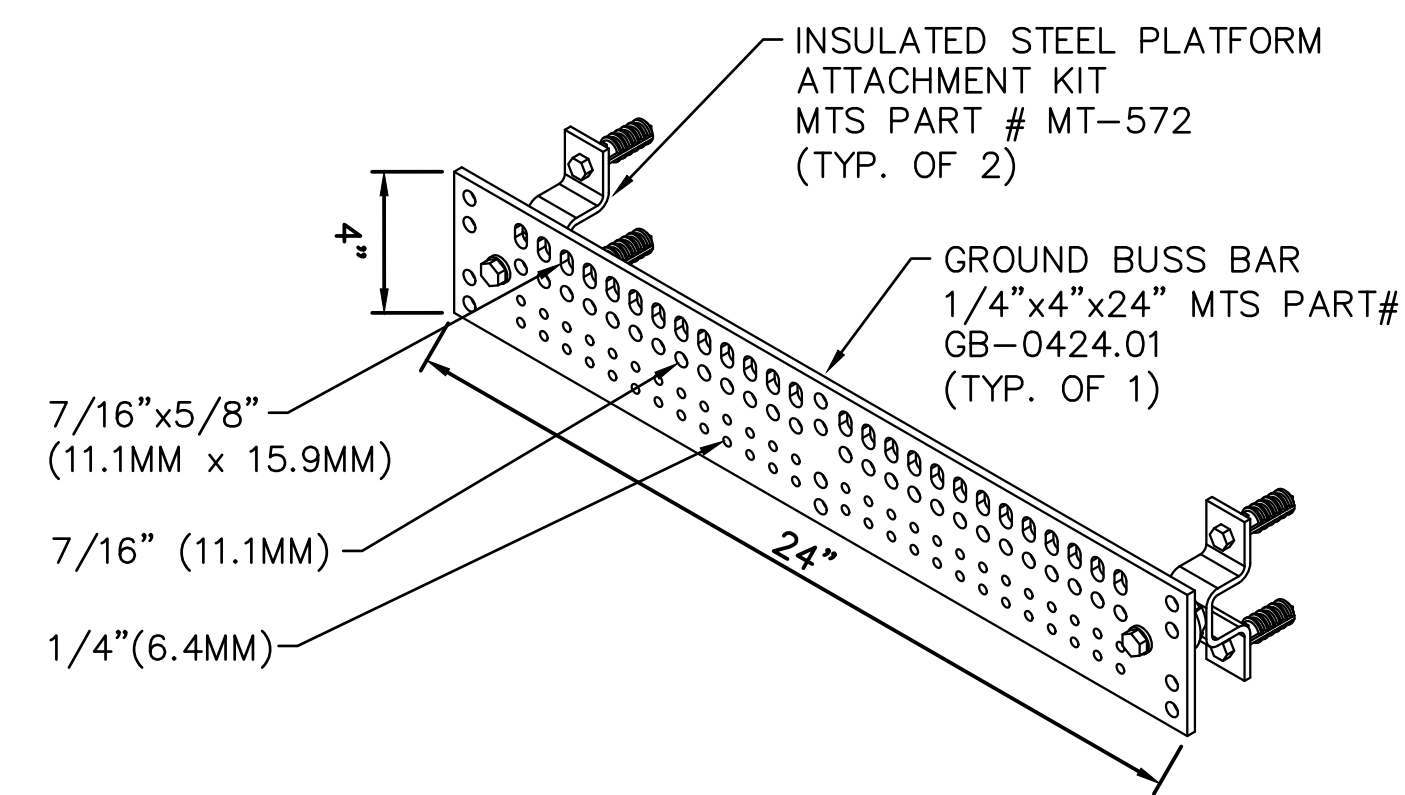
3 **GROUND ROD INSPECTION WELL**
E-04 NOT TO SCALE



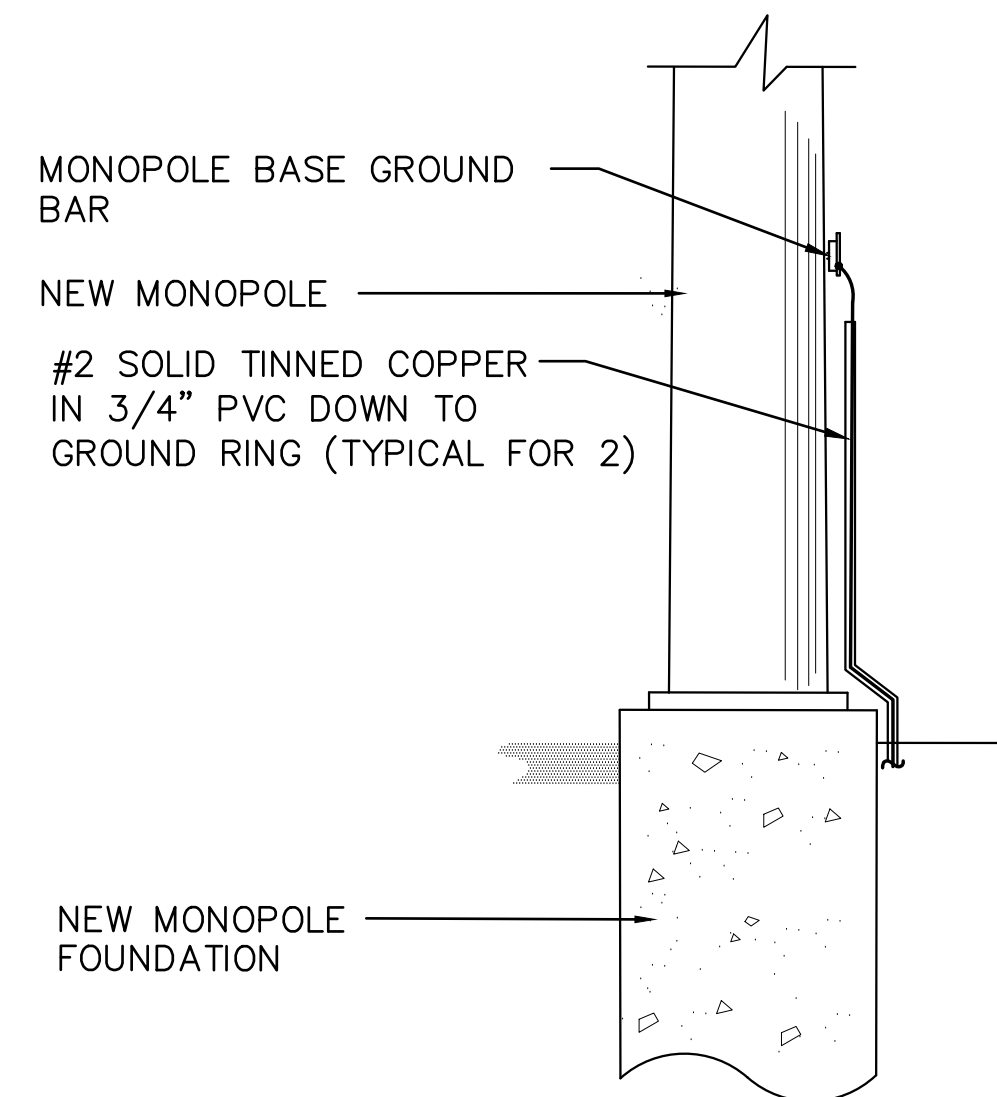
4 **GROUND ROD DETAIL**
E-04 NOT TO SCALE



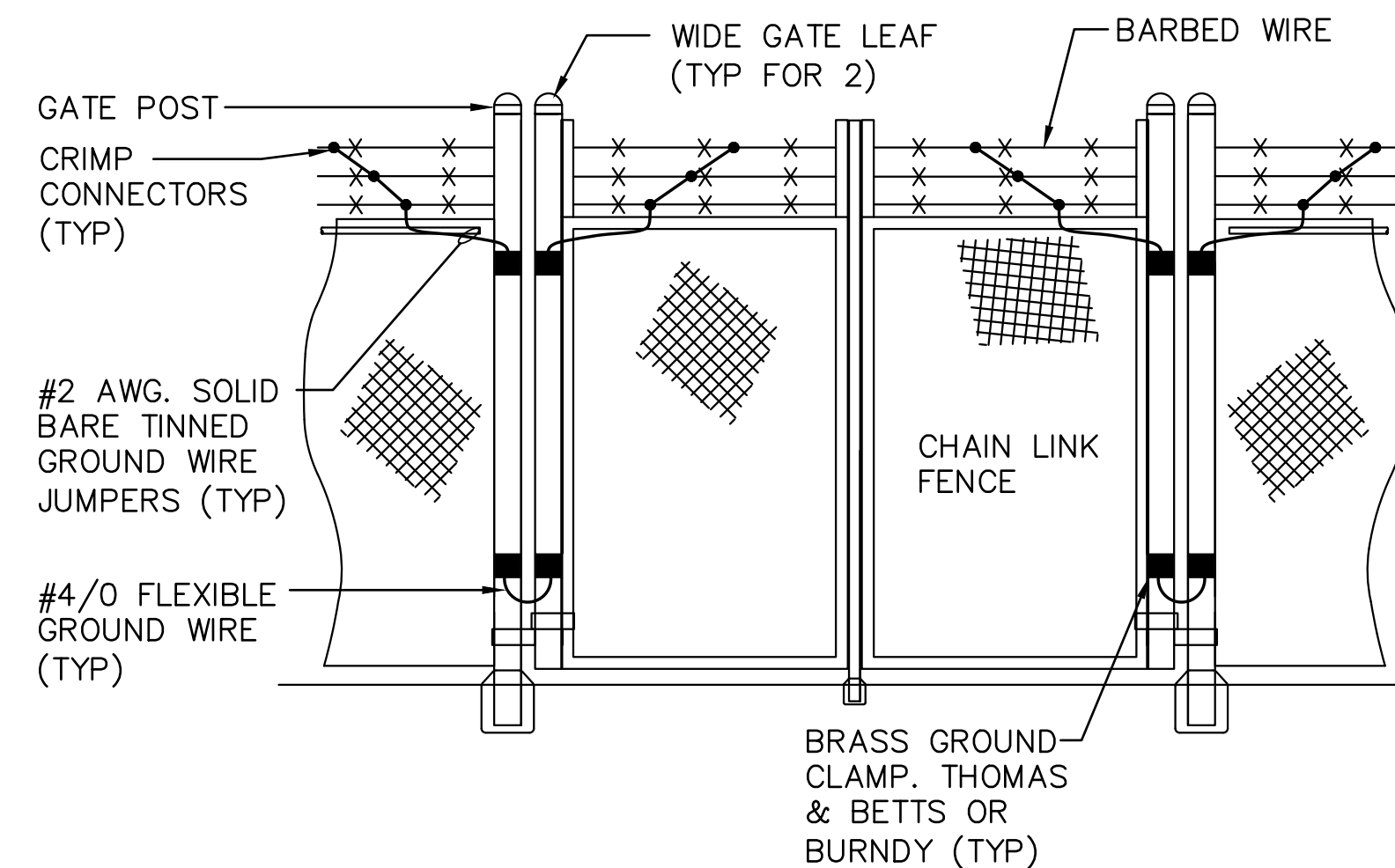
5 **FENCE GROUNDING DETAIL**
E-04 NOT TO SCALE



6 **GROUND BUSS BAR**
E-04 NOT TO SCALE

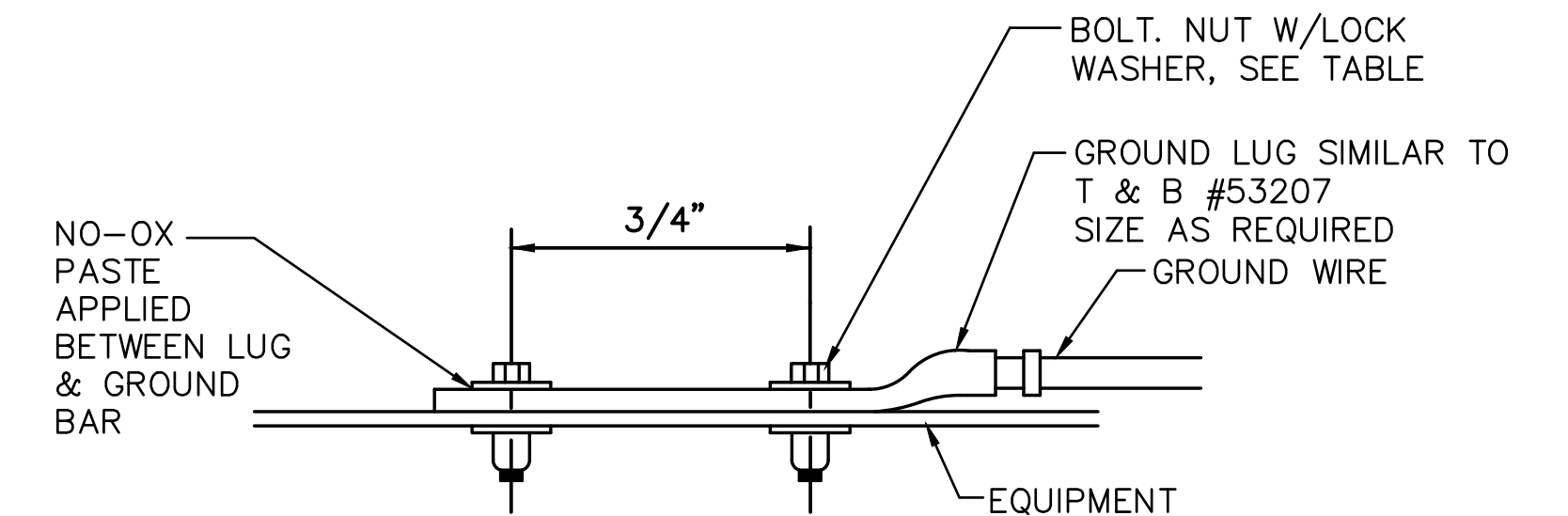


7 **GROUNDING DETAIL**
E-04 NOT TO SCALE



FENCE GATE GROUNDING

8 **DETAIL**
E-04 NOT TO SCALE



EXTERNAL EQUIPMENT GROUNDING CONNECTION

9 **DETAIL**
E-04 NOT TO SCALE

TABLE		
WIRE SIZE	LUG #	BOLT SIZE
#4/0	53212	1/2" - 20 NC x 1/2" S.S. BOLT & NUT W/LOCK WASHERS
#2	53207	1/4" - 20 NC x 1/2" S.S. BOLT & NUT W/LOCK WASHERS
#6	53205	

SCHEDULE OF REVISIONS

NO.	DESCRIPTION OF CHANGES	DRAWN BY	AUTH. BY	ISSUE STATUS	ISSUE DATE
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BLUE BELL, PA. 19422
TEL: (610) 715-6000



JOHN BOSCO, P.E.
DELAWARE PROFESSIONAL ENGINEER DE LIC. NO. 7188

DRAWING TITLE:

GROUNDING DETAILS

PROJECT:

DOV HOLLYVILLE
22602 HARBESON ROAD
HARBESON, DE 19951
SUSSEX COUNTY

PROPERTY OWNER:

JOHN W. DAVIDSON TRUSTEE

DRAWING ISSUE STATUS CURRENTLY - A

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FIRST ISSUE: 03/27/19

DRAWN BY: J.E.F.

CHECKED BY: P.J.T.

SCALE: AS SHOWN

PROJECT NO.: 124.112

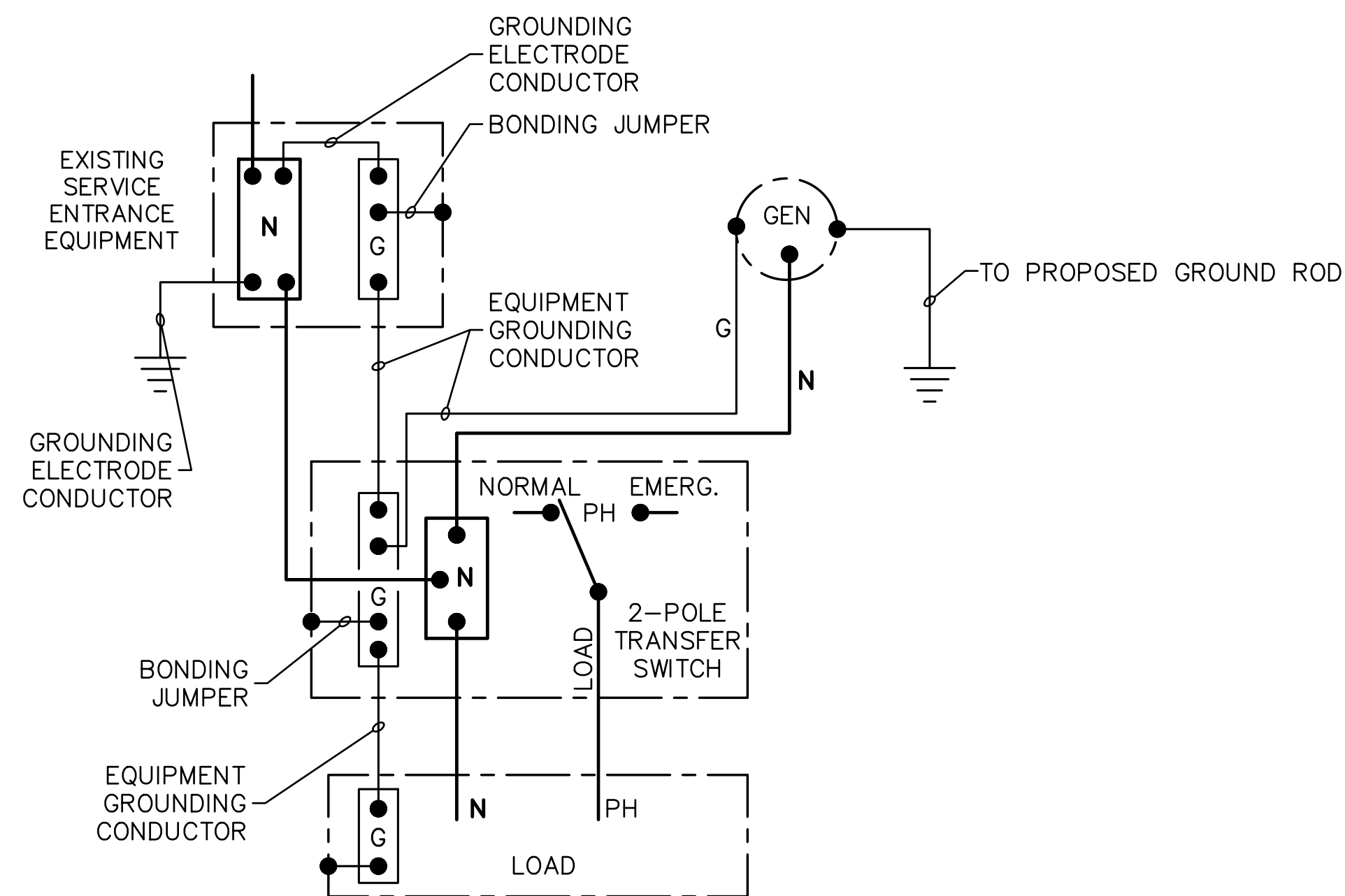
DOCUMENT NO.:

DRAWING NO.:

E-04

SHEET NO.: 14 OF 15

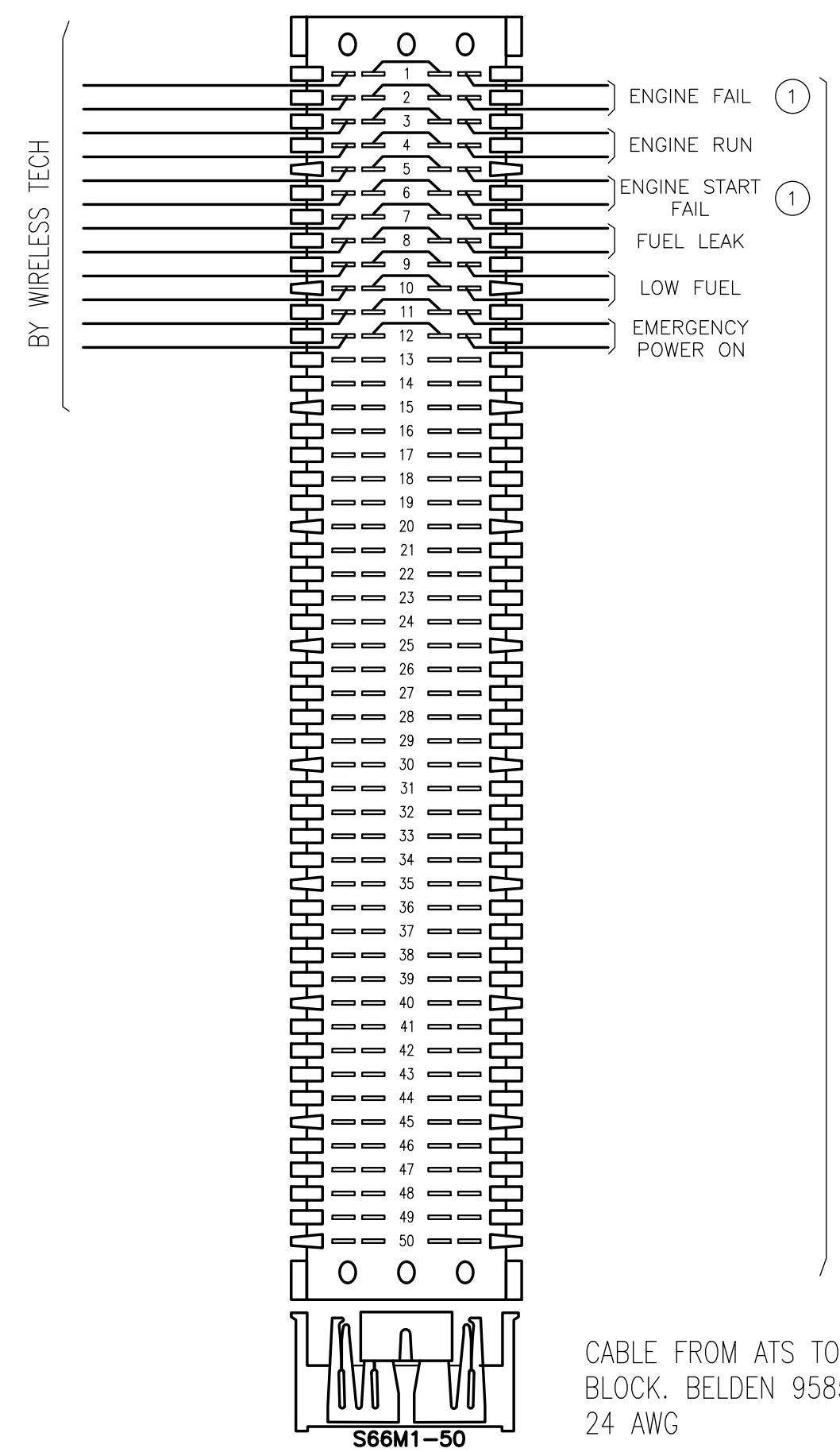
PRINT DATE: 09/04/20



DIRECT ELECTRICAL CONNECTION OF THE GROUNDED CIRCUIT CONDUCTOR (NEUTRAL) TO THE GENERATOR (VIA ATS)

1 TYP. DETAIL
E-05 NOT TO SCALE

1. ALL GROUNDING CONDUCTOR SIZES AND LOCATIONS SHALL MEET THE REQUIREMENTS OF ALL LOCAL, STATE, AND NATIONAL (NEC) CODE REQUIREMENTS. (NEC 250-20(d))



66 BLOCK WIRING

2 DETAIL
E-05 NOT TO SCALE

① CONTRACTOR TO VERIFY TERMINATION POINT, VIA WIRING DIAGRAM INSIDE GENERATOR CONTROL PANEL.

NOTES:

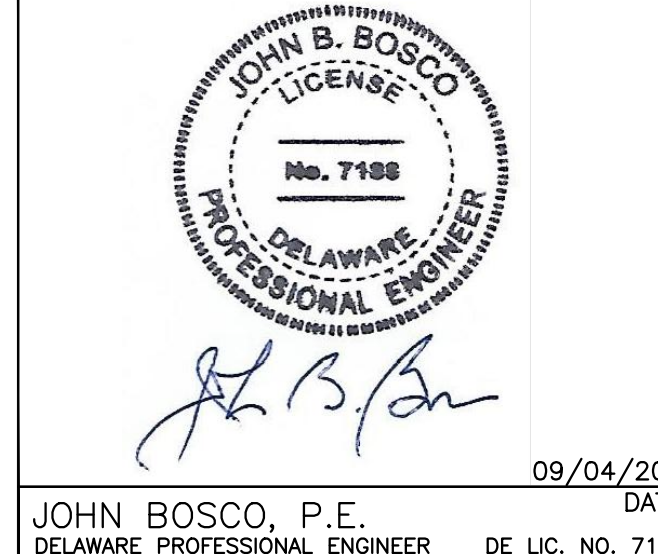
1. ALL MATERIAL SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR.
2. CONTRACTOR SHALL INSTALL (2) NEW 20A, 1 POLE CIRCUIT BREAKERS IN ELECTRICAL PANEL FOR NEW CIRCUITS TO GENERATOR BLOCK HEATER AND BATTERY CHARGER.
3. CONTRACTOR SHALL INSTALL A 3/4" X 10' COPPER CLAD STEEL GROUND ROD AND #4 AWG COPPER GROUND WIRE FOR AUXILIARY GROUNDING AT THE GENERATOR.

SCHEDULE OF REVISIONS				
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512 E. TOWNSHIP LINE ROAD, BUILDING 2, FLOOR 3
BLUE BELL, PA. 19422
TEL: (610) 715-6000



DRAWING TITLE:
ALARM WIRING SCHEMATIC AND RISER DIAGRAMS

PROJECT:
DOV HOLLYVILLE
22602 HARBESON ROAD
HARBESON, DE 19951
SUSSEX COUNTY

PROPERTY OWNER:
JOHN W. DAVIDSON TRUSTEE

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FIRST ISSUE: 03/27/19	DRAWING NO. E-05
DRAWN BY: J.E.F.	
CHECKED BY: P.J.T.	
SCALE: AS SHOWN	SHEET NO. 15 OF 15
PROJECT NO. 124.112	PRINT DATE: 09/04/20
DOCUMENT NO.	

DOLLAR GENERAL®

Dollar General Corporation
100 Mission Ridge
Goodlettsville, TN 37072

September 14, 2020

Sussex County Planning & Zoning Department
Attn: Christin Headley
2 The Circle
PO Box 417
Georgetown, DE 19947

Re: Parking requirements at the proposed Dollar General at Johnson Road, Lincoln, DE.

Dear Ms. Headley:

Through the years, Dollar General has refined the design criteria for new store development. With over 16,000 stores in productive operation, we have gathered significant data.

One area which we are balanced between development cost and customer need is parking requirements and accessibility for our build-to-suit locations. Our stores average 15 to 20 transactions per hour. We have estimated and confirmed that 30 spaces will accommodate the customer flow rate that our business generates. This standard has also been sufficient for traffic generated at the peak Christmas season levels.

Thanks for your consideration and feel free to contact me with any other questions you may have.

Best Regards,

Dawn Minagil

Dollar General Corporation
Plan Coordinator Northeast Region
615.855.5073
dminagil@dollargeneral.com

WAIVER REQUEST

DOLLAR GENERAL LINCOLN

PARKING WAIVER

REQUEST: We request that the requirement within the Article XXII Off-Street Parking Subsection 115-162 Requirements of the Sussex County Code with regard to the total number of parking spaces required for retail stores be relaxed for the project.

EXTENT OF THE REQUEST: By code, parking for a retail establishment shall contain 1 space per 200 square feet of floor area used for sales, plus one per two employees. This would require a 9100 sqft Dollar General with 7,343 sqft of sales area to contain 37 parking spaces. The project is requesting the requirement be waived to allow for 30 parking spaces to be constructed, a reduction of 7 spaces.

BASIS FOR REQUEST: Per Section 115-164 Modification of requirements, of the Sussex County Code, states “Where, in the judgment of the Planning and Zoning Commission, the parking requirements listed in § [115-162](#) are clearly excessive and unreasonable, the Commission may modify the requirements.” The building placement on site is constrained by two factors, proposed septic areas and their associated setbacks, and onsite maneuvering of the delivery vehicles. As the previous request to allow the 15 spaces within the building setback was denied, we have had to move those spaces to the side of the building impacting the space available for the side loading areas. As the site is only so large, and moving the building to allow for additional spaces, there physically not enough room on the property to provide the additional 7 spaces. With the reduction in the side loading area, and the increased space for parking, the areas designed to accommodate any stormwater has been further reduced, causing the stormwater to be managed underground. From the end users stand perspective, the requirements of the 7 additional spaces are not necessary, as the franchises national model requires as few as 30 spaces for their 9,100 sqft buildings. As providing the additional 7 spaces would not only be unnecessary from an owner’s perspective, it would clearly add additional impervious ground cover the area putting additional strain on a smaller site to manage increased stormwater generated by these spaces. Dollar General is a national franchise and from their own independent studies have determined the 30 spaces provides more than enough spaces for their typical store. With this we are requesting the proposed 30 spaces be permitted.



ARCHITECTURE
ENGINEERING

PLANNING OUR
CLIENTS' SUCCESS

September 11, 2020

Mrs. Kristen Headley
Sussex County Planning
2 The Circle
Georgetown, DE 19947

RE: **Updated Preliminary Site Plan Application**
DOLLAR GENERAL / LINCOLN
Lincoln, Delaware
2020057.00

Dear Ms. Headley:

On behalf of our client, PTV LLC, we are hereby submitting a revised Preliminary Site Development Plan for the Dollar General / Lincoln project located on Johnson Road, west of the railroad tracks in Lincoln, Delaware. The project involves the subdivision of the Johnson parcel and redevelopment of 1.217 acres of land into a 9100 sq. ft. Dollar General store, associated parking and stormwater improvements. We have prepared the preliminary plan based on applicable codes and regulations for Sussex County. We are submitting this plan for consideration at the September Planning Commission hearing. In support of our submission, we are providing the following:

1. Two (2) paper copies of the Preliminary Site Plan.
2. Parking Waiver Request.
3. Backup documentation from Dollar General Corporate.

This site plan was previously heard at the August 27th Planning Commission hearing, where the Preliminary Plan, as submitted, was denied. The commission denied the plan as a result of parking spaces being located in the front setback. As before, we are requesting a reduction from the parking requirements and have included the waiver request from 39 spaces to the 30 which we have provided.

The revised plan removes the parking within the front setback and relocates the displaced parking on the west side of the building.

Although we have submitted a revised plan which meets the code, we are resubmitting an alternate design for the commission's consideration. We would like to highlight existing site constraints that impact the site design. the constraints are as follows:

- Subdivision of Land
 - Although the property is being subdivided and is currently owned by one entity, the proposed boundary of the subject site is constrained to the south by the existing fence enclosing a construction yard of RY Johnson, to the east by the septic facilities for RY Johnson and the north by the DelDOT right-of-way. The remaining lands are held in reserve for the seller and are not part of the contracted land.
- DelDOT Dedication
 - DelDOT is requiring an additional 11' of right-of-way and 15' of permanent Easement across the frontage. This pushes the front setback an additional 11' into the property.

BECKER MORGAN GROUP, INC.

ARCHITECTURE & ENGINEERING

309 SOUTH GOVERNORS
AVENUE
DOVER, DE 19904
302.734.7950
FAX 302.734.7965

PORT EXCHANGE
SUITE 300
312 WEST MAIN STREET
SALISBURY, MD 21801
410.546.9100
FAX 410.546.5824

ARCHITECTURE & PLANNING

SUITE 211
3205 RANDALL PARKWAY
WILMINGTON, NC 28403
910.341.7600
FAX 910.342.7506

www.beckermorgan.com

- Septic feasibility
 - As shown on the plan, we are limited to a certain area within the subject parcel to where the septic system can be located on site based on the septic feasibility study performed for the site.
- Septic offsets
 - The septic system has prescriptive separation distances from buildings, other potable water wells, property lines etc.
- Stormwater constraints
 - With the parking being shifted to the side of the building, the overall open area to treat stormwater without having to control has been reduced.
- Delivery truck turning
 - As the delivery truck for the end user is a large tractor trailer, we must be cognizant of the turning movements of the truck to allow for the delivery vehicle to back into the loading area. With minimal impact to parking areas.

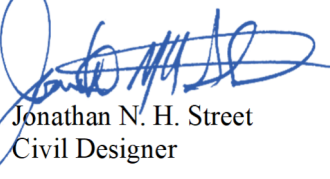
Although this alternate design was previously denied, we would submit that the design is a more efficient and safer layout for the general public. Even though we understand that the parking within the setback should be the exception and not the rule within the county, we would suggest in this case with the parking centrally located in the front of the store provides a more direct and efficient access to the entrance of the store. We would prefer to limit the comingling of delivery and trash removal with customer parking in an effort to avoid the conflict between the traffic. If screening the front parking area, although not previously mentioned, is a concern of the commission, we would propose additional shrubbery type plantings along the front parking area in order to screen these spaces from the road and neighboring parcels.

Working within the constraints listed above and the Planning Commissions previous comments, we have adjusted our plan and we request this project be included on the September 24, 2020 Planning Commission hearing for preliminary approval. We are comfortable moving forward with the design submitted for approval, however we would respectfully request that the commission make a choice on which design they prefer.

Please contact me with any questions you may have.

Sincerely,

BECKER MORGAN GROUP, INC.

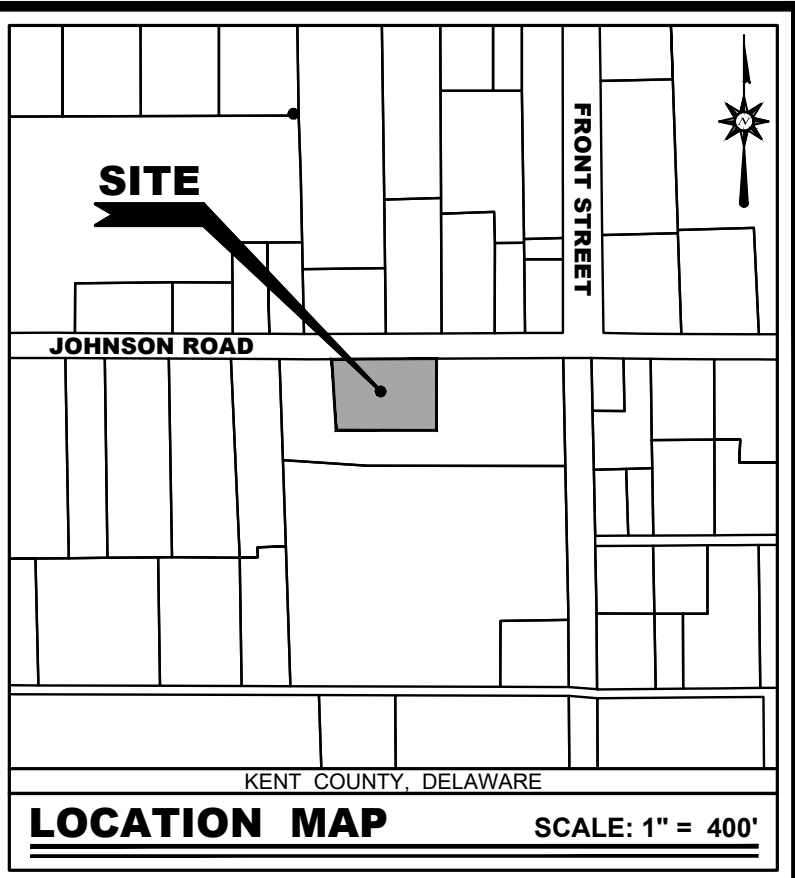
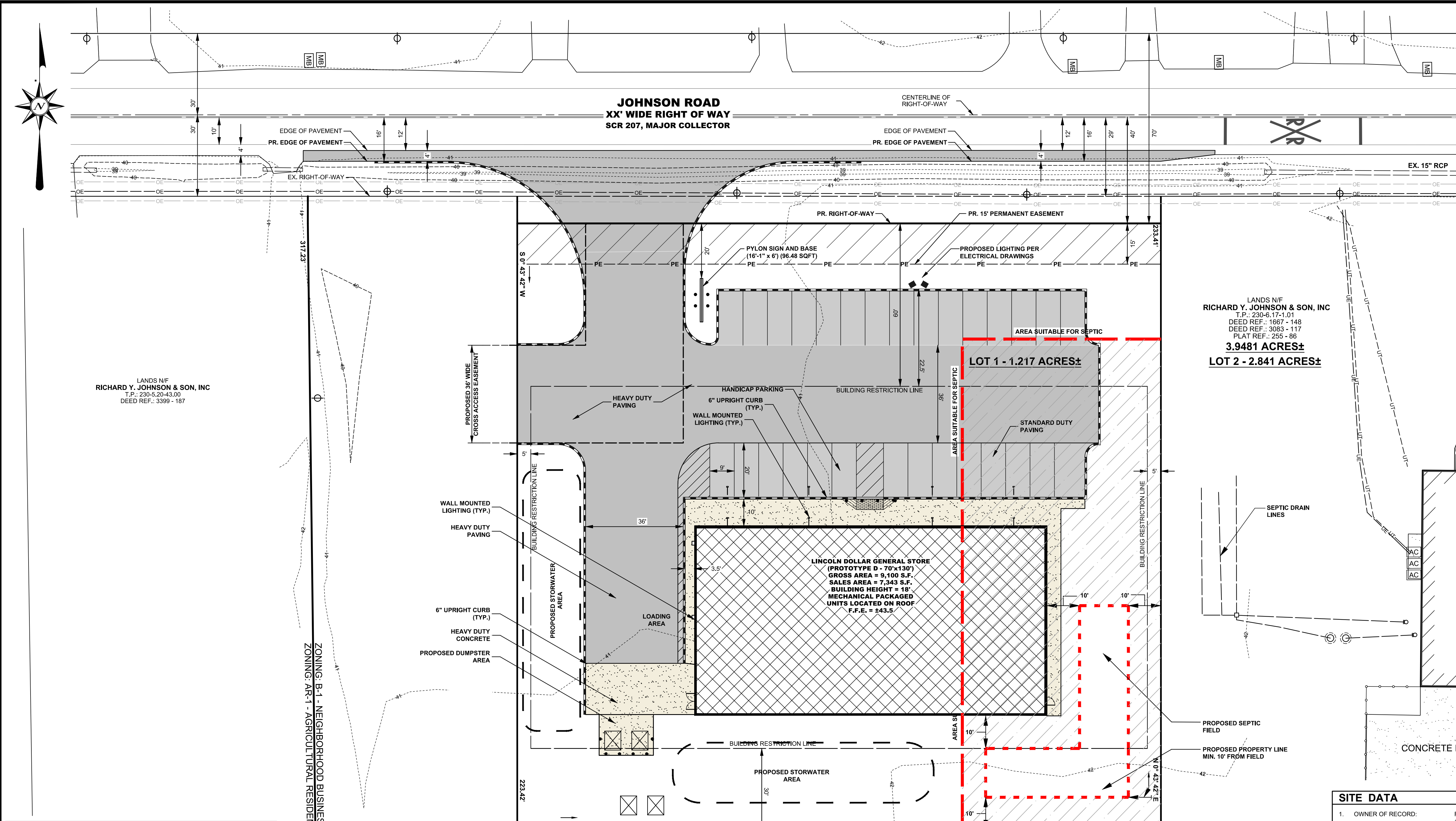


Jonathan N. H. Street
Civil Designer

JNS/

Enclosures

cc: Ben Syput, PTV LLC



BECKER MORGAN GROUP
 ARCHITECTURE
 ENGINEERING
 Dover, DE
 309 S. Governors Ave.
 Dover, DE 19904
 Ph. 302.734.7950
 Fax 302.734.7965
 Salisbury, MD
 312 West Main St. Suite 300
 Salisbury, MD 21801
 Ph. 410.546.9100
 Fax 410.546.5824
 Wilmington, NC
 3333 Jaeckle Drive, Suite 120
 Wilmington, North Carolina 28403
 Ph. 910.341.7600
 Fax 910.341.7506
 www.beckermorgan.com

LANDS N/F
 RICHARD Y. JOHNSON & SON, INC
 T.P.: 230-5.20-43.00
 DEED REF.: 3399 - 187

LANDS N/F
 RICHARD Y. JOHNSON & SON, INC
 T.P.: 230-6.17-1.01
 DEED REF.: 1067 - 148
 DEED REF.: 3083 - 117
 PLAT REF.: 255 - 86
3.9481 ACRES±
LOT 2 - 2.841 ACRES±

LINCOLN DOLLAR GENERAL STORE
 (PROTOTYPE D - 70'x130')
 GROSS AREA = 9,100 S.F.
 SALES AREA = 7,343 S.F.
 BUILDING HEIGHT = 18'
 MECHANICAL PACKAGED
 UNITS LOCATED ON ROOF
 F.F.E. = 343.5

RICHARD Y. JOHNSON & SON, INC.
 T.M. 2-30-5.20-01.00 P.O.
 D.R. 3083-117
 MURPHY SVY. - OCT. 2004

LANDS N/F
 RICHARD M. CLENDANIEL, JR
 T.P.: 230-6.17-1.00
 DEED REF.: 1406 - 286

SITE DATA	
1. OWNER OF RECORD:	RICHARD Y. JOHNSON & SONS, INC. 18404 JOHNSON ROAD (P.O. BOX 105) LINCOLN, DE 19960 <PHONE>
2. EQUITABLE OWNER:	PTV 400 PENN CENTER BOULEVARD, BUILDING 4 SUITE 1000 PITTSBURGH, PA 15235 (724) 420-5367
3. ENGINEER / SURVEYOR:	BECKER MORGAN GROUP INC. 309 SOUTH GOVERNORS AVENUE DOVER, DE 19904 (302) 734-7950
4. PROPERTY LOCATION:	JOHNSON ROAD LINCOLN, DE 19960
5. PROPERTY MAP NUMBER:	230-5.20-43.00 & 230-6.17-1.01
6. ZONING CLASSIFICATION:	EXISTING: AR-1: AGRICULTURAL RESIDENTIAL (230-5.20-43.00) C-2: MEDIUM COMMERCIAL (230-6.17-1.01) PROPOSED: C-2: MEDIUM COMMERCIAL
7. DEED SUMMARY:	3399/187 (43.00) & 1567/148 (1.01)
8. PLAT REFERENCE:	255-86
9. NUMBER OF LOTS:	EXISTING: 2 PROPOSED: 1 TOTAL: 3
10. TOTAL SITE AREA:	RESIDUAL AREA = 2.00 ACRES ± LOT 1 = 1.26 ACRES ± LOT 2 = 1.51 ACRES ± TOTAL AREA OF PARCELS = 4.77 ACRES ±
11. PRESENT USE:	VACANT LOT
12. PROPOSED USE:	RETAIL STORE BUILDING: 9,100 S.F.
13. IMPERVIOUS COVERAGE:	EXISTING: 0 S.F. (0.00 ACRES) PROPOSED: 29,920 S.F. (0.686 ACRES)
14. PARKING CALCULATIONS:	RETAIL STORES: 1 SPACE / 200 S.F. OF SALES FLOOR AREA PLUS 1 SPACE / 2 EMPLOYEES ON LARGEST SHIFT REQUIRED: (7,343 S.F. / 200 S.F.) + (4 / 2) = 39 SPACES PROVIDED: 30 (REQUESTED WAIVER) HANDICAP PARKING SPACES: 2 RETAIL STORE: 1 LOADING SPACE FOR 2,000 S.F. - 10,000 S.F. FLOOR AREA LOADING BERTHS: 1
15. SETBACKS:	C-2: MEDIUM COMMERCIAL DISTRICT FRONT: 60 FT. SIDE: 5 FT. / 20 FT.* (*ADJOINING A RESIDENTIAL DISTRICT) REAR: 5 FT. / 30 FT.* (*ADJOINING A RESIDENTIAL DISTRICT)
16. BULK REQUIREMENTS:	C-2: MEDIUM COMMERCIAL DISTRICT LOT AREA: 15,000 S.F. MINIMUM FLOOR AREA: 75,000 S.F. MAXIMUM BUILDING HEIGHT: 42' MAXIMUM
17. SIGNAGE:	FUTURE PERMIT SUBMISSION
18. SOURCE OF WATER:	PRIVATE WELL
19. SOURCE OF SEWER:	PRIVATE SEPTIC
20. SOURCE OF GAS:	PROPANE
21. SOURCE OF ELECTRIC:	DELMARVA POWER
22. ROAD CLASSIFICATION:	MAJOR COLLECTOR (25 M.P.H.)

ITEM	EXISTING	PROPOSED
SANITARY GRAVITY SEWER LINE, SIZE & FLOW DIRECTION	EX. 10" S	10" S
SANITARY SEWER FORCE MAIN, SIZE & FLOW DIRECTION	EX. 10" F.M.	12" F.M.
SANITARY SEWER MANHOLE (S.M.H.)	EX. 10" W	12" W
SANITARY SEWER CLEANOUT	EX. 10" W	12" W
WATER MAIN & SIZE	EX. 10" W	12" W
FIRE HYDRANT	F.H.	F.H.
WATER VALVE (W.V.) OR METER (W.M.)	W.M. / W.V.	W.M. / W.V.
STORM DRAIN MANHOLE (S.D.M.H.)	EX. 10" W	12" W
STORM DRAIN LINE (CMP OR RCP)	EX. 10" W	12" W
CATCH BASIN	EX. 10" W	12" W
UTILITY POLE W/ OVERHEAD SERVICE (TELEPHONE OR ELECTRIC OR BOTH)	U.E.	U.E.
UNDERGROUND ELECTRIC	U.T.	U.T.
UNDERGROUND TELEPHONE	EX. 2" G	2" G
UNDERGROUND GAS MAIN	N/A	N/A
PAVEMENT TO BE REMOVED	N/A	N/A
CONCRETE CURB & GUTTER	N/A	N/A
CONCRETE SIDEWALK, SLAB / PAVING	N/A	N/A
IMPERVIOUS SURFACE ROAD, DRIVE OR LOT	N/A	N/A
INDIVIDUAL TREE OR BUSH	EVERGREEN / DECIDUOUS	N/A
WIRE FENCE	N/A	N/A
CHAINLINK FENCE	N/A	N/A
STOCKADE FENCE	N/A	N/A
STRUCTURE (CONCRETE, WOOD, METAL, ETC.)	N/A	N/A
DRAINAGE DITCH OR SWALE	N/A	N/A
EMBANKMENT SIDESLOPES (DOWN)	N/A	N/A
CONTOUR	49	25.16 / 25.60 T.C. / 25.00 B.C.
ELEVATION SPOT SHOT	43.55	25.16 / 25.60 T.C. / 25.00 B.C.
BENCH MARK	N/A	N/A
PROPERTY OR RIGHT-OF-WAY LINE	N/A	N/A
CENTERLINE	N/A	N/A
LIGHT POLE	N/A	N/A
CONSTRUCTION NOTE	N/A	N/A

SIRC

SIRC

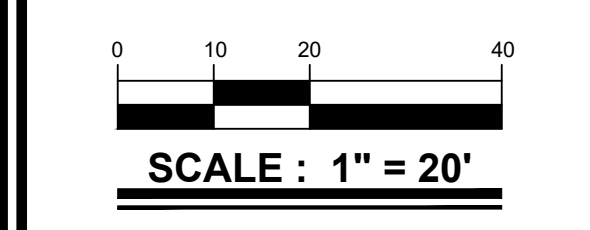
ZONING: B-1 - NEIGHBORHOOD BUSINESS
 ZONING: AR-1 - AGRICULTURAL RESIDENTIAL

ZONING: B-1 - NEIGHBORHOOD BUSINESS
 ZONING: AR-1 - AGRICULTURAL RESIDENTIAL

DEED LINE
 SEE: PB 255-86

PROJECT TITLE
DOLLAR GENERAL LINCOLN
 JOHNSON ROAD
 LINCOLN
 UNINCORPORATED LANDS OF
 SUSSEX COUNTY, DELAWARE

SHEET TITLE
PRELIMINARY SITE PLAN



MARK	DATE	DESCRIPTION
1	09/02/20	UPDATED PER PC COMMENTS
LAYER STATE: PRELIM-ALT		
PROJECT NO.:		2020057.00
DATE:		8/10/2020
SCALE:		1" = 20'
DRAWN BY:		J.N.S. / PROJ. MGR.: J.N.S.
SHEET		

PRELIM-ALT

Planning and Zoning Commission
PO Box 417
Georgetown, DE 19947


To whom it may concern,

I own LOTS 8 THRU 17 in the Dagsboro Trace community near Dagsboro, Delaware. The original site plan for Dagsboro Trace includes an asphalt sidewalk.

I support installing the sidewalk as per the original site plan.

I do not support installing the sidewalk. Please consider an amended site plan that excludes the sidewalk.

Thank you for your consideration,

PR BUILDERS WC


April 11, 2020

Planning and Zoning Commission
PO Box 417
Georgetown, DE 19947

RECEIVED

APR 22 2020

SUSSEX COUNTY
PLANNING & ZONING

To whom it may concern,

I own a home located at 31919 Chelsea Court in the Dagsboro Trace community near Dagsboro, Delaware. The original site plan for Dagsboro Trace includes an asphalt sidewalk.

I support installing the sidewalk as per the original site plan.

I do not support installing the sidewalk. Please consider an amended site plan that excludes the sidewalk.

Thank you for your consideration,

Richard & Diane Bilski

Richard Bilski
Diane Bilski

April 11, 2020

Planning and Zoning Commission
PO Box 417
Georgetown, DE 19947

RECEIVED

JUL 15 2020

SUSSEX COUNTY
PLANNING & ZONING

To whom it may concern,

I own a home located at 30784 Alyssa Drive in the Dagsboro Trace community near Dagsboro, Delaware. The original site plan for Dagsboro Trace includes an asphalt sidewalk.

 I support installing the sidewalk as per the original site plan.

I do not support installing the sidewalk. Please consider an amended site plan that excludes the sidewalk.

Thank you for your consideration,

Royce Alexander & Nicole Hatcher

RECEIVED

MAY 11 2020

SUSSEX COUNTY
PLANNING & ZONING

April 11, 2020

Planning and Zoning Commission
PO Box 417
Georgetown, DE 19947

To whom it may concern,

I own a home located at 30787 Alyssa Drive in the Dagsboro Trace community near Dagsboro, Delaware. The original site plan for Dagsboro Trace includes an asphalt sidewalk.

I support installing the sidewalk as per the original site plan.

I do not support installing the sidewalk. Please consider an amended site plan that excludes the sidewalk.

Thank you for your consideration,

Lori Ott

April 11, 2020

Planning and Zoning Commission
PO Box 417
Georgetown, DE 19947

To whom it may concern,

I own a home located at 31918 Chelsea Court in the Dagsboro Trace community near Dagsboro, Delaware. The original site plan for Dagsboro Trace includes an asphalt sidewalk.

 I support installing the sidewalk as per the original site plan.

I do not support installing the sidewalk. Please consider an amended site plan that excludes the sidewalk.

Thank you for your consideration,

James & Deborah Costello

RECEIVED
APR 17 2020
SUSSEX COUNTY
PLANNING & ZONING

April 11, 2020

Planning and Zoning Commission
PO Box 417
Georgetown, DE 19947

To whom it may concern,

I own a home in the Dagsboro Trace community near Dagsboro, Delaware. The original site plan for Dagsboro Trace includes an asphalt sidewalk.

I support installing the sidewalk as per the original site plan.

I do not support installing the sidewalk. Please consider an amended site plan that excludes the sidewalk.

Thank you for your consideration,

Danny & Susan Goldsmith

Susan Goldsmith
Danny Goldsmith

RECEIVED

APR 17 2020

SUSSEX COUNTY
PLANNING & ZONING

April 11, 2020

Planning and Zoning Commission
PO Box 417
Georgetown, DE 19947

RECEIVED

APR 22 2020
SUSSEX COUNTY
PLANNING & ZONING

To whom it may concern,

I own a home located at 30772 Alyssa Drive in the Dagsboro Trace community near Dagsboro, Delaware. The original site plan for Dagsboro Trace includes an asphalt sidewalk.

I support installing the sidewalk as per the original site plan.

I do not support installing the sidewalk. Please consider an amended site plan that excludes the sidewalk.

Thank you for your consideration,

Karen Carroll & Shirley Taylor

Jennifer Norwood

From: PR Builders Inc BUILDERS INC <sandl50@comcast.net>
Sent: Monday, August 31, 2020 2:59 PM
To: Jennifer Norwood
Subject: Re: Dagsboro Trace
Attachments: 200831143021.pdf

In addition to the residences not wanting the bike path there are transformers and street lights in the way.

On 08/31/2020 2:25 PM PR Builders Inc BUILDERS INC <sandl50@comcast.net> wrote:

Will this work?

On 08/27/2020 2:13 PM Jennifer Norwood <jnorwood@sussexcountyde.gov> wrote:

Bart,

I have attached copies of the letters we have received requesting to no install the asphalt sidewalk.

Jenny

Jennifer Norwood

Planner 1

Planning & Zoning Dept.

Sussex County Government

PO Box 417

2 The Circle

Georgetown, DE 19947

302-858-5501

jnorwood@sussexcountyde.gov

SITE DATA

TAX MAP 2-31-11 PARCEL 191.01
 EXISTING ZONING: RS-1 (RESIDENTIAL)
 PROPOSED USE: RESIDENTIAL SUBDIVISION
 PROPOSED SEWER: INDIVIDUAL ON-SITE
 PROPOSED WATER: INDIVIDUAL ON-SITE
 TOTAL NUMBER OF LOTS = 25
 TOTAL AREA OF LOTS = 18.83 ACRES
 TOTAL AREA OF STREETS = 8.18 ACRES
 TOTAL AREA OF OPEN SPACE = 0.49 ACRES
 TOTAL SITE AREA = 27.50 ACRES
 DENSITY = 1.151 UNITS/ACRE
 MAX. LOT SIZE = 24,415 SF
 MIN. LOT SIZE = 21,765 SF
 AVE. LOT SIZE = 23,360 SF

MINIMUM LOT SIZE ALLOWED: 0.50 AC (21,760 SF)
 MINIMUM ROAD FRONTAGE: 100'
 MINIMUM LOT WIDTH: 100'
 FRONT YARD SETBACK: 30'
 SIDE YARD SETBACK: 15'
 MAXIMUM BUILDING HEIGHT: 42'
 SITE IS NOT IMPACTED BY 100-YR FLOOD PLAIN
 (PER FEMA FLOOD MAP #1900004037,
 DATED 5/16/1995)
 VERTICAL DATUM: NAVD 1989
 OWNER/DEVELOPER:
 DAGSBORO TRACE, L.L.C.
 P.O. BOX 429
 BEAUFORT BEACH, DE 19930
 LOT-31-1-1992

LEGEND

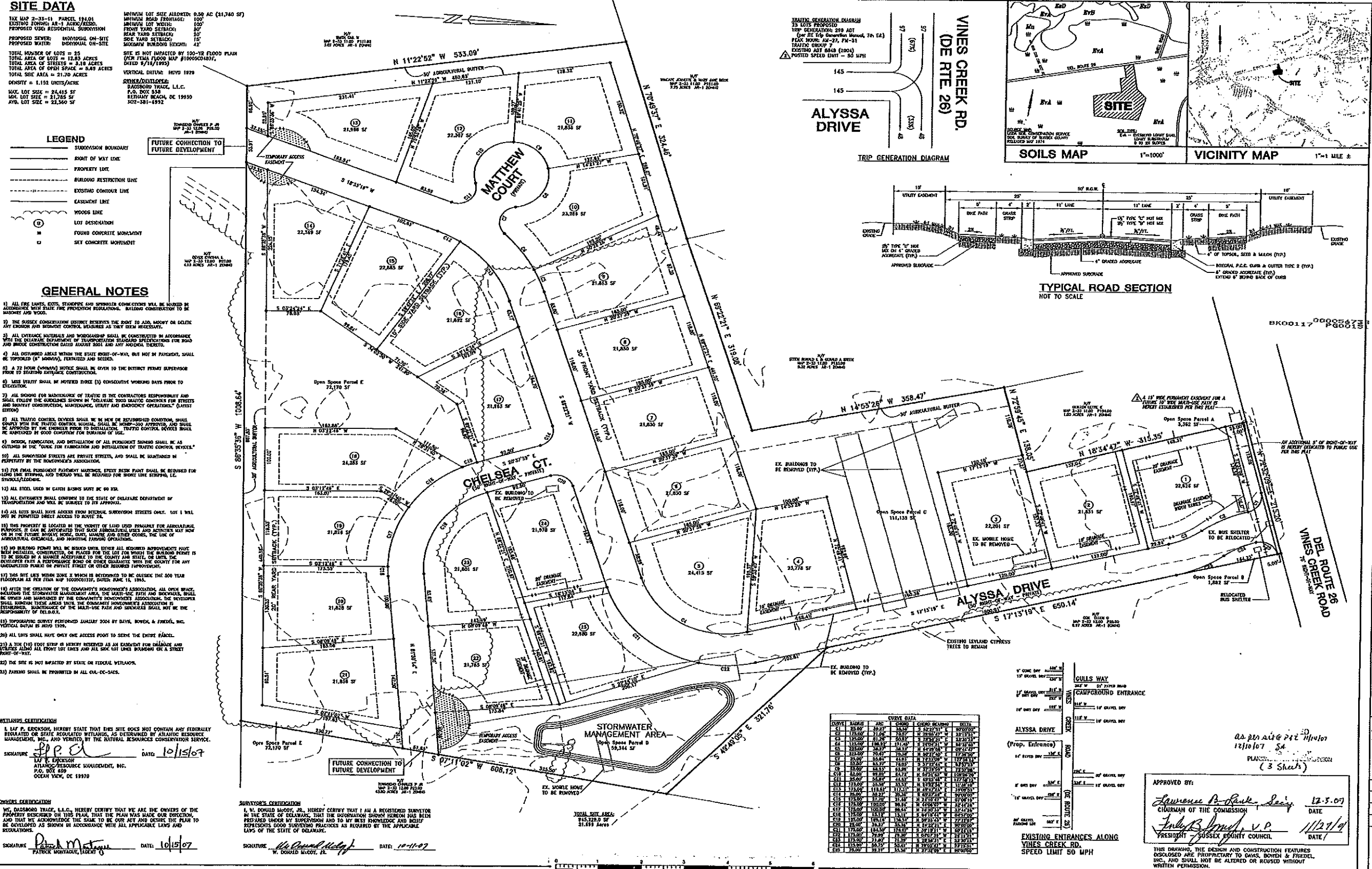
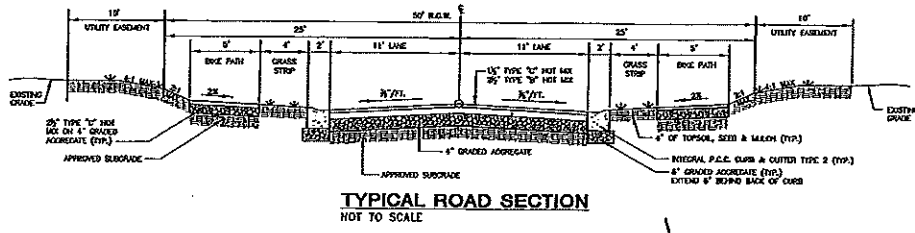
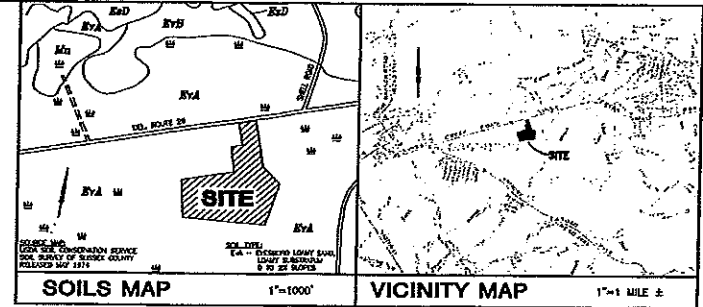
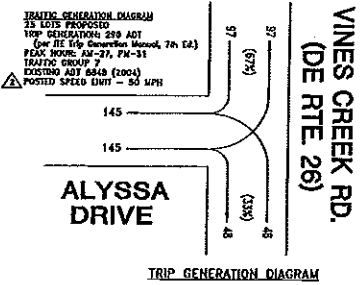
- SUBDIVISION BOUNDARY
- RIGHT OF WAY LINE
- PROPERTY LINE
- BUILDING RESTRICTION LINE
- EXISTING CONTOUR LINE
- EASEMENT LINE
- WOODS LINE
- LOT DESIGNATION
- FOUND CONCRETE MONUMENT
- SET CONCRETE MONUMENT

GENERAL NOTES

- 1) ALL TREE LOTS, EXISTING STAMPS AND SPREADER CONCENTRATORS WILL BE MAINTAINED IN ACCORDANCE WITH STATE TREE PROTECTION REGULATIONS. BUILDING CONNECTION TO BE MAINTAINED AND WOOD.
- 2) THE SUSSEX COUNTY DISTRICT PRESENTS THE RIGHT TO ADD, REMOVE OR DELETE ANY EXISTING AND PROPOSED CONTROL MEASURES AS THEY DEEM NECESSARY.
- 3) ALL EXISTING MATERIALS AND IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND ANY INDUSTRY PRACTICES.
- 4) ALL DISTURBED AREAS WITHIN THE STATE RIGHT-OF-WAY, BUT NOT IN PAYMENTS, SHALL BE REVEGETATED (W/ MULCH), FERTILIZED AND SEEDS.
- 5) A 72 HOUR (MINIMUM) NOTICE SHALL BE GIVEN TO THE DISTRICT PERMIT SUPERVISOR PRIOR TO BEGAINING ANY TYPE OF CONSTRUCTION.
- 6) WORK SHALL BE MOVED DURING (1) CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION.
- 7) ALL WORKING FOR MAINTENANCE OF TRAFFIC IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL FOLLOW THE GUIDELINES SHOWN BY "DELTA" ROAD TRAFFIC CONTROL FOR STREETS AND HIGHWAY CONSTRUCTION, MAINTENANCE, TRAFFIC AND EXCAVATION OPERATIONS, LATEST EDITION.
- 8) ALL TRAFFIC CONTROL DEVICES SHALL BE IN NEW OR RECONDITIONED CONDITION, SHALL COMPLY WITH THE TRAFFIC CONTROL MANUAL, SHALL BE INSP-300 APPROVED, AND SHALL BE APPROVED BY THE DISTRICT PRIOR TO INSTALLATION. TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED IN GOOD CONDITION FOR DURATION OF USE.
- 9) DESIGN, FABRICATION AND INSTALLATION OF ALL PERMANENT SIGNALING SHALL BE AS OUTLINED IN THE "GUIDE FOR FABRICATION AND INSTALLATION OF TRAFFIC CONTROL SIGNALS".
- 10) ALL SUBDIVISION STREETS ARE PRIVATE STREETS, AND SHALL BE MAINTAINED IN PERPETUITY BY THE HOMEOWNERS ASSOCIATION.
- 11) FOR SMALL PERMANENT PAVEMENT MAINTENANCE, STREETS SHALL BE MAINTAINED FOR LONG TERM STRENGTH, AND THEREAS WILL BE REQUIRED FOR SHORT TERM STRENGTH, I.E. SHOULDER/PAVEMENT.
- 12) ALL STEEL USED IN GUTTER BASHES SHALL BE 304 SS.
- 13) ALL ENTRANCES SHALL COMPLY TO THE STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION AND WILL BE SUBJECT TO ITS APPROVAL.
- 14) ALL LOTS SHALL HAVE ACCESS FROM INTERNAL SUBDIVISION STREETS ONLY. LOT 1 WILL NOT BE PERMITTED STREET ACCESS TO ROUTE 26.
- 15) THIS PROPERTY IS LOCATED IN THE VICINITY OF LIVED UPRIGHT FOR AGRICULTURAL PURPOSES. IT CAN BE REZONED TO AGRICULTURAL USE AND OTHER PURPOSES, THE USE OF AGRICULTURAL, FORESTRY, AND RECREATION PURPOSES, AND THE USE OF OTHER PURPOSES.
- 16) NO BUILDING PERMIT WILL BE ISSUED UNLESS EITHER ALL REQUIRED APPROVALS HAVE BEEN OBTAINED, OR THE PLANS FOR THE LOT FOR WHICH THE BUILDING PERMIT IS TO BE ISSUED IS A SHARED ACCESSIBLE TO THE COUNTY AND STATE OF DELAWARE, THE DEVELOPER OR A PERFORMANCE BOND OR OTHER GUARANTEE WITH THE COUNTY FOR ANY UNCOMPLETED LOTS OR PRIVATE STREET OR OTHER AGRICULTURAL IMPROVEMENT.
- 17) THIS SITE LIES WITHIN ZONE X WHICH IS REVERTED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN AS PER FEMA MAP 1900004037, DATED, JUNE 16, 1994.
- 18) AFTER THE CREATION OF THE HOMEOWNERS ASSOCIATION, ALL OPEN SPACE, INCLUDING THE STORMWATER MANAGEMENT AREA, THE MULTI-USE PATH AND PROPOSED SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. THE DEVELOPER SHALL MAINTAIN THESE AREAS UNTIL THE HOMEOWNERS ASSOCIATION IS ESTABLISHED. MAINTENANCE OF THE MULTI-USE PATH AND SERVICES SHALL NOT BE THE RESPONSIBILITY OF THE D.E.A.S.
- 19) TOPOGRAPHIC SURVEY PERFORMED JANUARY 2004 BY DAVIS, BOWEN & FRIEDEL, INC. VERTICAL DATUM IS NAVD 1989.
- 20) ALL LOTS SHALL HAVE ONLY ONE ACCESS POINT TO SERVE THE ENTIRE PARCEL.
- 21) A 10' (10) FOOT STRIP IN MEMORY RESERVED AS AN EASEMENT FOR DAMAGE AND TRAFFIC ALONG ALL FRONT LOT LINES AND ALL SIDE LOT LINES BOUNDARY ON A STREET RIGHT-OF-WAY.
- 22) THE SITE IS NOT IMPACTED BY STATE OR FEDERAL WETLANDS.
- 23) PARKING SHALL BE PROVIDED IN ALL O.A.-C.S.A.C.S.

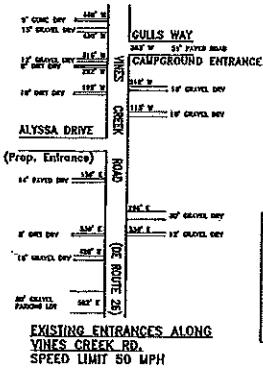
WETLANDS CERTIFICATION
 I, LAF P. ERICKSON, HEREBY STATE THAT THIS SITE DOES NOT CONTAIN ANY FEDERALLY REGULATED OR STATE REGULATED WETLANDS, AS DETERMINED BY ATLANTIC RESOURCE MANAGEMENT, INC. AND VERIFIED BY THE NATURAL RESOURCES CONSERVATION SERVICE.
 SIGNATURE: *L.P. Erickson* DATE: 10/15/07
 LAF P. ERICKSON
 ATLANTIC RESOURCE MANAGEMENT, INC.
 P.O. BOX 429
 OCEAN VIEW, DE 19930

SURVEYOR'S CERTIFICATION
 I, W. DOUGLAS MCCOY, JR., HEREBY CERTIFY THAT I AM A REGISTERED SURVEYOR IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.
 SIGNATURE: *W. Douglas McCoy, Jr.* DATE: 10-11-07
 W. DOUGLAS MCCOY, JR.



CURVE DATA

CURVE	MARK	ARC	CHORD	CHORD BEHIND	DELTA
C1	13.000	20.27	13.53	13.53	90.000
C2	13.000	20.27	13.53	13.53	90.000
C3	13.000	20.27	13.53	13.53	90.000
C4	13.000	20.27	13.53	13.53	90.000
C5	13.000	20.27	13.53	13.53	90.000
C6	13.000	20.27	13.53	13.53	90.000
C7	13.000	20.27	13.53	13.53	90.000
C8	13.000	20.27	13.53	13.53	90.000
C9	13.000	20.27	13.53	13.53	90.000
C10	13.000	20.27	13.53	13.53	90.000
C11	13.000	20.27	13.53	13.53	90.000
C12	13.000	20.27	13.53	13.53	90.000
C13	13.000	20.27	13.53	13.53	90.000
C14	13.000	20.27	13.53	13.53	90.000
C15	13.000	20.27	13.53	13.53	90.000
C16	13.000	20.27	13.53	13.53	90.000
C17	13.000	20.27	13.53	13.53	90.000
C18	13.000	20.27	13.53	13.53	90.000
C19	13.000	20.27	13.53	13.53	90.000
C20	13.000	20.27	13.53	13.53	90.000
C21	13.000	20.27	13.53	13.53	90.000
C22	13.000	20.27	13.53	13.53	90.000
C23	13.000	20.27	13.53	13.53	90.000
C24	13.000	20.27	13.53	13.53	90.000
C25	13.000	20.27	13.53	13.53	90.000



APPROVED BY:
Lawrence B. Paul, Sr. 12-3-07
 CHAIRMAN OF THE COMMISSION DATE
Indira B. Singh, V.P. 11/27/07
 PRESIDENT, SUSSEX COUNTY COUNCIL DATE

117-151

DAVIS, BOWEN & FRIEDEL, INC.

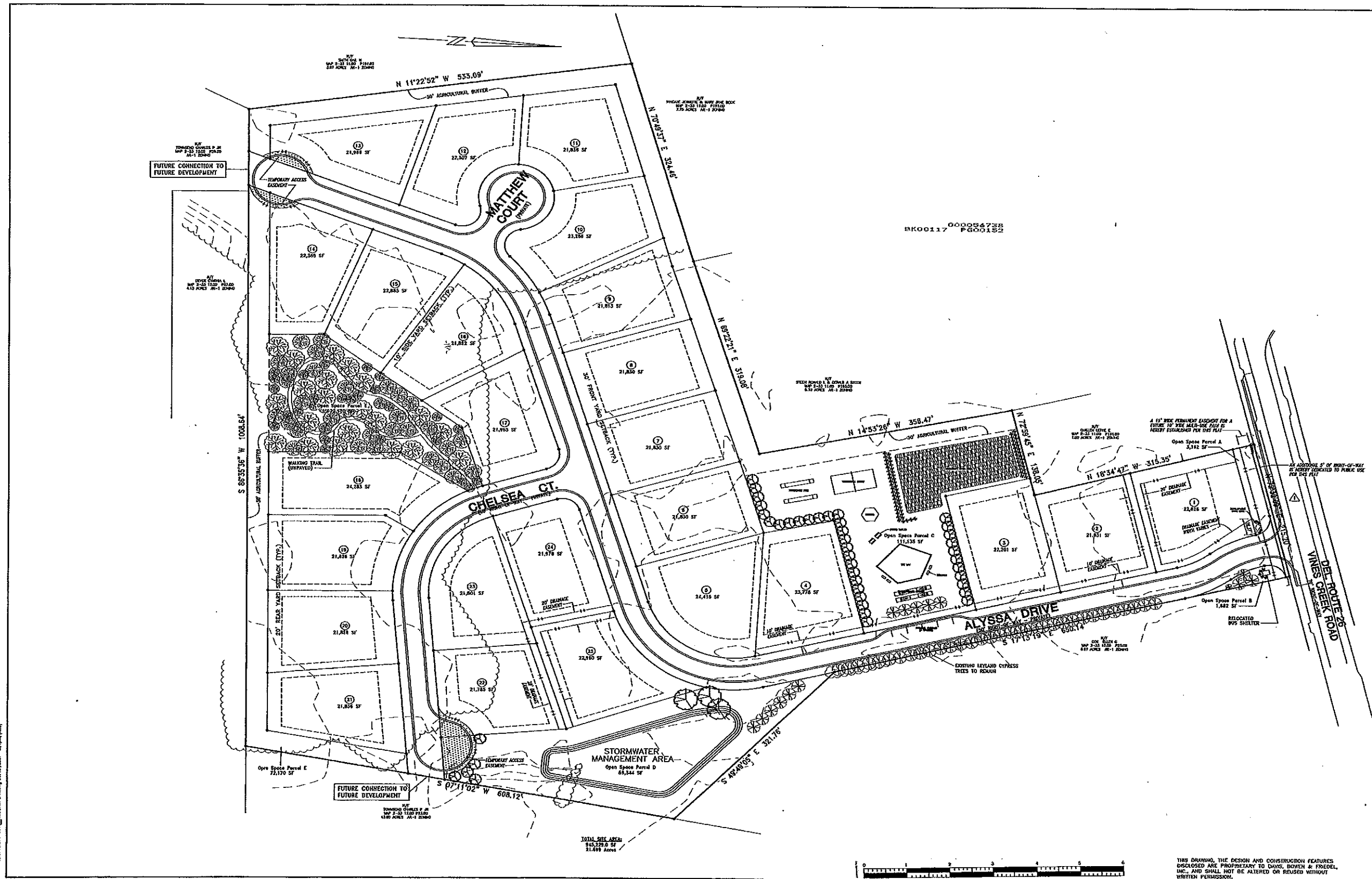
ARCHITECTS ENGINEERS SURVEYORS
 1000 MARKET STREET, SUITE 200
 WILMINGTON, DE 19801
 TEL: 302-478-1100 FAX: 302-478-1101
 WWW.DBFRIEDEL.COM


SUBDIVISION PLAN

DAGSBORO TRACE
DAGSBORO HUNDRED
SUSSEX COUNTY, DELAWARE

Revisions:
 1. 03-08-04
 2. 05-18-07

Date: MARCH, 2005
 Scale: 1"=60'
 Drawn By: WDM
 Proj. No.: 1271A001
 Sheet No.: 1 OF 2





DAVIS BOWEN & FRIEDEL, INC.
 ARCHITECTS ENGINEERS SURVEYORS
 SALESURF, WARRAND (410) 343-8091
 HUNTERS, DELMAR (302) 424-1441

SITE DETAILS - OPEN SPACE AREAS

DAGSBORO TRACE
DAGSBORO HUNDRED
SUSSEX COUNTY, DELAWARE

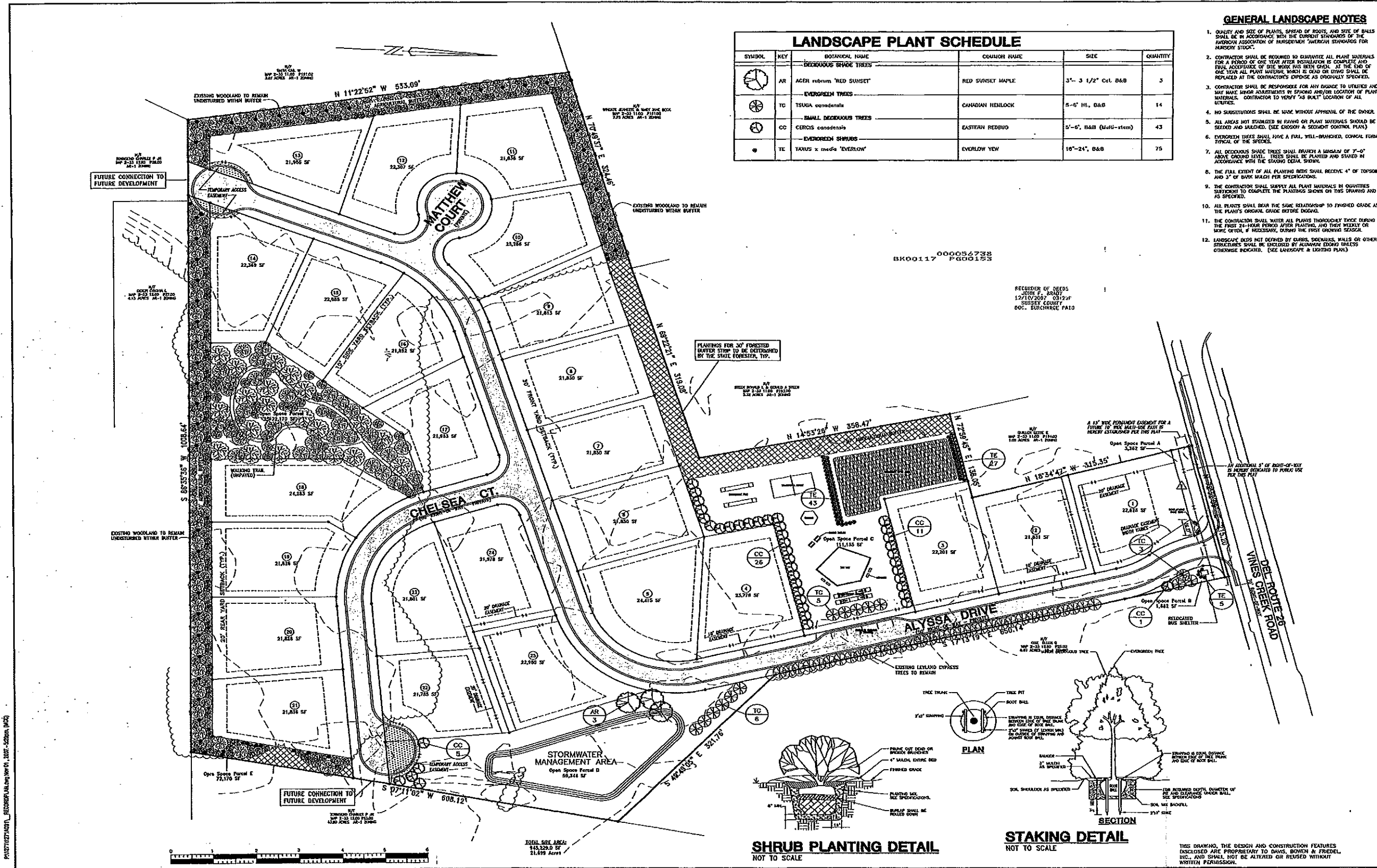
Revisions:
 1. LAYOUT REVISED 10-31-05
 2. RECD COMMENTS 12-08-05

Date: MARCH, 2005
 Scale: 1"=80'
 Drawn By: WDM
 Proj No: 1271A001
 Draw No:

2 OF 2

THIS DRAWING, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO DAVIS, BOWEN & FRIEDEL, INC., AND SHALL NOT BE ALTERED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

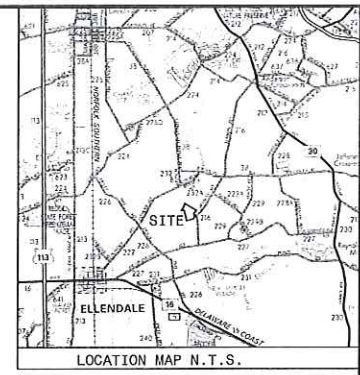
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DAVIS BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
BALTIMORE, MARYLAND (410) 342-0000
ALBANY, DELAWARE (302) 424-1444

DAGSBORO TRACE
DAGSBORO HUNDRED
SUSSEX COUNTY, DELAWARE

2 OF 2



N OR F SHARON ANN
MORGAN TRUSTEE
2-30-20.00-29.00
DR 3583-276
AR-1

N OR F BPW FARMS, LLC.
2-30-20.00-31.00
DR 44306-15
AR-1

2-30-20.00-30.00
RESIDUE
39.844 AC.±

N OR F LAWRENCE E., JR. &
NANCY P. WARREN
2-30-27.00-41.00
DR 0-0
AR-1

PRESENT ZONING.....AR-1
TAX MAP NUMBER.....2-30-20.00-30.00 PART
FRONT YARD SETBACK.....BENSON RD.=40' PRIVATE EASEMENT 30'
SIDE YARD SETBACK.....15'
REAR YARD SETBACK.....20'
TOTAL NUMBER OF LOTS.....1
EXISTING.....1
PROPOSED.....3 PLUS RESIDUAL
TOTAL ACREAGE WITHIN BOUNDARIES.....43.682 ACRES±
TOTAL ACREAGE WITHIN LOTS.....3.137 ACRES±
AREA OF EASEMENT.....0.940 ACRES±
AREA OF RESIDUAL LANDS.....40.545 ACRES±
FRONTAGE OF RESIDUAL LANDS.....0
TYPE OF UTILITIES.....INDIVIDUAL ON SITE WATER AND SEWER
PRESENT USE.....AGRICULTURAL
PROPOSED USE.....RESIDENTIAL
ROADWAY CLASSIFICATION.....BENSON RD. LOCAL RD.
POSTED SPEED LIMIT.....50 MPH
PROXIMITY TO (TD).....NO

THIS SITE LIES OUTSIDE THE FLOOD HAZARD ZONE, AS DEPICTED ON FIRM PANEL 10005C01344, DATED 1/6/2005.

THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURAL PRESERVATION DISTRICT IN WHICH AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS, AND NIGHT-TIME FARMING OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USE ACTIVITIES.

THIS PROPERTY IS IMPACTED BY STREAMS, DITCHES, PONDS, OR LAKES. KENT COUNTY HAS REGULATIONS REGARDING THE PRESERVATION OF STREAMS, DITCHES, PONDS, OR LAKES AND THE DEVELOPER IS ADVISED TO CONSULT WITH THE KENT COUNTY PLANNING DEPARTMENT TO DETERMINE THE SETBACKS FROM STREAMS, DITCHES, PONDS, OR LAKES.

OWNER OF RECORD
ELLEN F. WILKINSON
8829 CLENDANIEL POND RD.
LINCOLN, DE 19960
302-745-4923

ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.

SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE OF THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL THE AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.

LOT 4 SHALL HAVE ACCESS TO BENSON RD. AK SCR 216 VIA THE EXISTING ENTRANCE AS DEPICTED HEREON.

LOTS 5 AND 6 SHALL HAVE ACCESS TO BENSON RD. SCR 216 VIA THE PRIVATE ACCESS EASEMENT.

IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.

ENTRANCE SPACING EXISTING MEASURED ALONG EP

A-B=	426'
B-C=	34'
C-D=	298'
D-E=	167'
E-F=	72'
F-G=	149'
G-H=	531'

- LEGEND
- IRON PIPE FOUND
 - REBAR FOUND
 - ⊙ CAPPED REBAR SET
 - EXISTING PROPERTY LINE
 - - - PROPOSED PROPERTY LINE
 - UTILITY POLE

OWNERS CERTIFICATION
I, ELLEN F. WILKINSON, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

AUTHORIZED SIGNATURE _____ DATE _____

SURVEYOR'S CERTIFICATION
I, ROBERT W. NASH, P.L.S. #551, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

AUG. 24, 2020
ROBERT W. NASH, PLS 551 _____ DATE _____

DATE	REVISION	CKD

MINOR SUBDIVISION OF

Lands of:

ELLEN F. WILKINSON

MERESTONE CONSULTANTS, INC.
ENGINEERS - PLANNERS - SURVEYORS

5215 WEST WOODMILL DRIVE WILMINGTON, DE 19803
33516 CROSSING AVE, SUITE FIVE POINTS SQUARE LEWES, DE 19558
PH: 302-992-7900 PH: 302-226-9350
FAX: 302-992-7911 FAX: 302-226-9353

CEAR CREEK HUNDRED
SUSSEX COUNTY, DELAWARE
DATE: JUNE 20, 2020
W.O.: 24839L
SCALE: 1" = 100'
F.B.: BOB O DRAWN BY RWN
DISK: 214839L
T.M.: 2-30-20.00-30.00



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2020-04-204234-MIS-01

Tax Parcel Number: 232-20.00-49.00

Status: Approved as Submitted

Date: 07/21/2020

Project

Pettyjohn Subdivision

18639 Johnson Road

John and Melody Pettyjon Property

Laurel DE 19956

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 81 - Laurel Fire Dept

Occupant Load Inside:

Occupancy Code: 9611

Applicant

Stephen M Sellers

1560 Road 535

Seaford, DE 19973

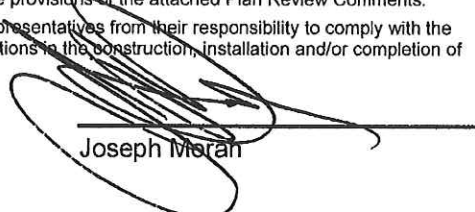
This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations to the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:


Joseph Moran

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2020-04-204234-MIS-01

Tax Parcel Number: 232-20.00-49.00

Status: Approved as Submitted

Date: 07/21/2020

PROJECT COMMENTS

- | | |
|---------------|---|
| 1002 A | This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes. |
| 1000 | The site plans have been approved as submitted. The Office of DE State Fire Marshal has no objection to recordation. |
| 1010 A | The following water for fire protection requirements apply: NONE. On-Site Wells Proposed. this site meets Water Flow Table 1. therefore the provisions of NFPA 1142 shall apply to this site (DSFPR Regulation 702, Chapter 6, Section 3). Since wells are proposed for this site, no additional requirements will be made by this Agency for water for fire protection. |
| 2500 A | A final inspection is required for this project prior to occupancy (DSFPR Part I, Section 4-7). Contact this Agency to schedule this inspection. Please have the plan review number available. A MINIMUM OF FIVE (5) WORKING DAYS NOTICE IS REQUIRED. |
| 1408 A | All premises where emergency personnel may be called upon to provide emergency services, which are not readily accessible from streets, shall be provided with suitable gates, access roads, and fire lanes so that all buildings on the premises are accessible to emergency apparatus. (DSFPR Regulation 705, Chapter 5, Section 2). |
| 1093 A | In the case of one and two-family dwellings emergency service access shall be provided in such a manner so that emergency apparatus will be able to locate within 100 feet from the street to the primary entrance. Where alleys are provided, pumpers shall be able to access all portions of the alley without strict restrictions for entrance radii. (DSFPR Regulation 705, Chapter 5, Sections 2.2 and 2.2.1). |

1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

August 25, 2020

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

SUBJECT: Minor Subdivision - Letter of No Objection to Recordation
JOHN PETTYJOHN
Tax Parcel # 232-20.00-49.00
SCR434A-JOHNSON ROAD
Broad Creek Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Minor Subdivision Plan dated July 1, 2020 (last revised August 18, 2020), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawing. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Minor Subdivision Plan is not recorded and/or an entrance permit is not issued for the lot(s) prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

Entrances(s) must be installed prior to the sale of the lot(s). All entrances shall conform to DelDOT's [Development Coordination Manual](#) and shall be subject to its approval. **This letter does not authorize the commencement of entrance construction.**

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction

JOHN PETTYJOHN
Mr. Jamie Whitehouse
Page 2
August 25, 2020

to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

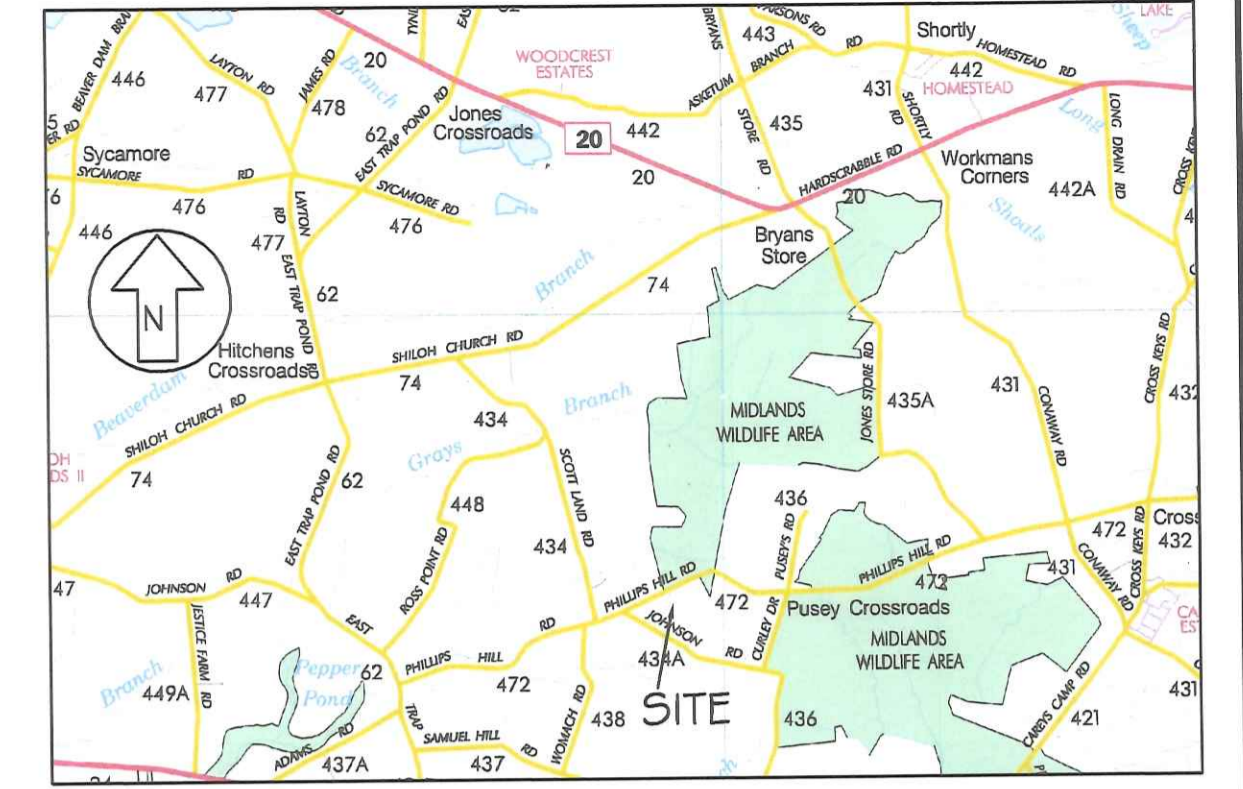
The owner shall be responsible to submit a copy of the **recorded Minor Subdivision Plan** showing all appropriate signatures, seals, plot book and page number to the South District Public Works office (302) 853-1341 in order to obtain the entrance permit(s) for the proposed minor subdivision.

Sincerely,

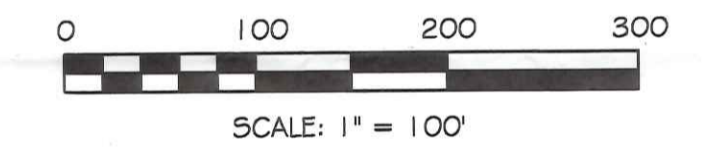
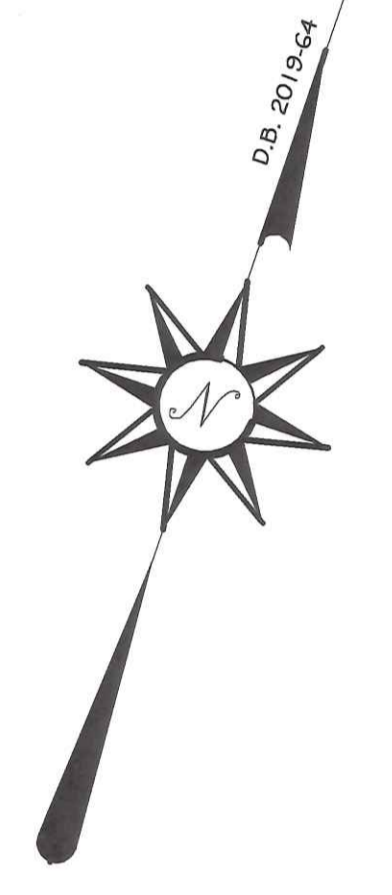


Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

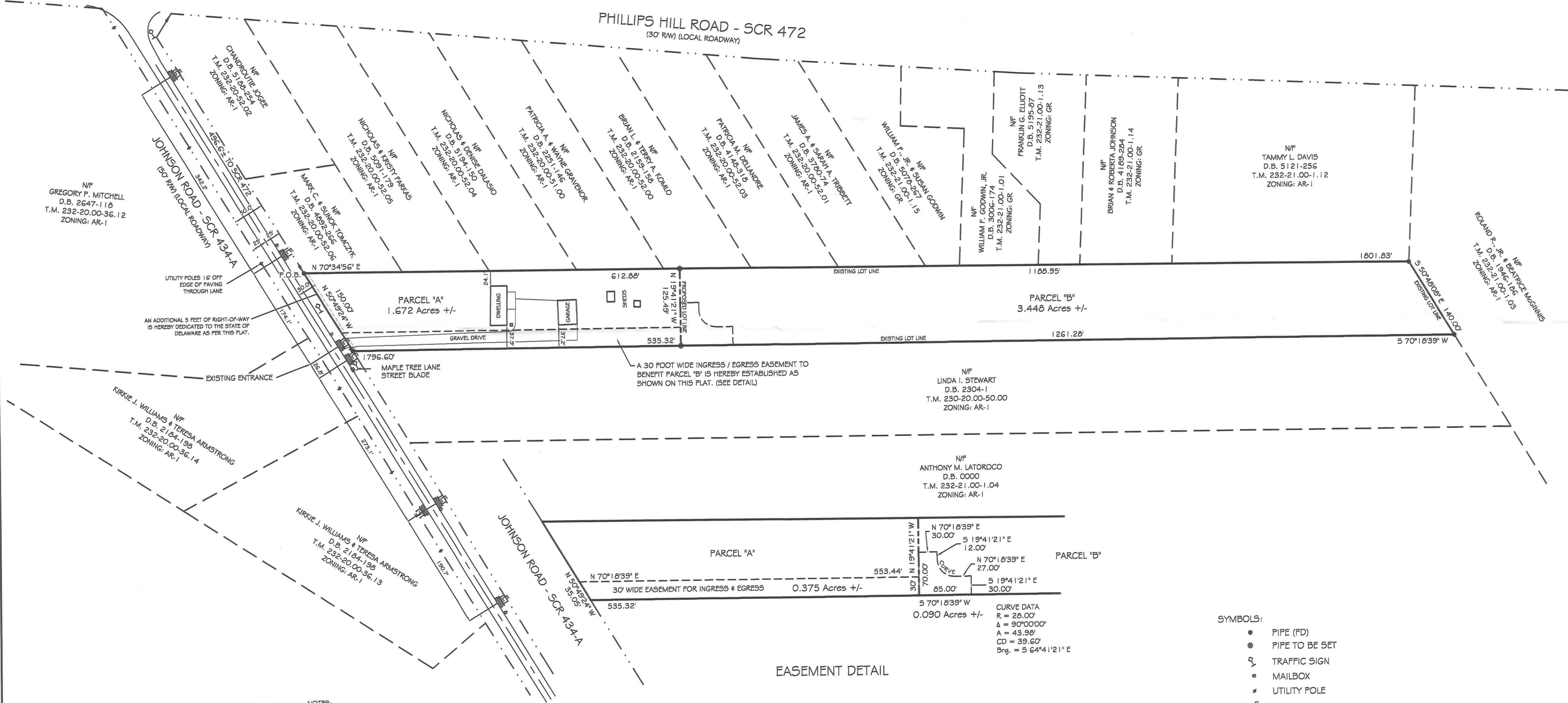
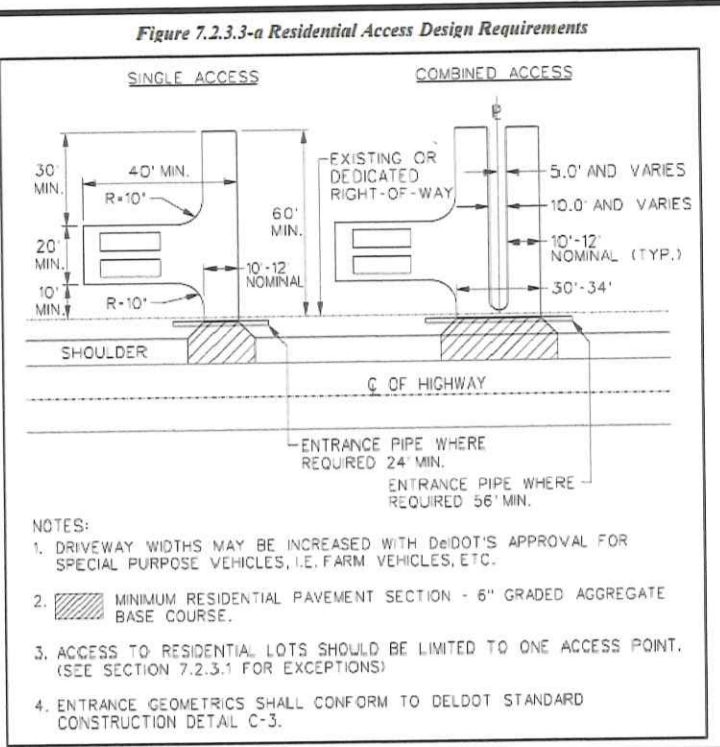
cc: Stephen Sellers, Miller Lewis
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
James Argo, South District Project Reviewer
William Kirsch, South District Entrance Permit Supervisor
Shannon Anderson, South District Public Work Admin Specialist
Wendy L. Polasko, Subdivision Engineer
John Andrescavage, Sussex County Reviewer



VICINITY MAP
SCALE 1" = 1 MILE



SCALE: 1" = 100'



I, STEPHEN M. SELLERS REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

Stephen M. Sellers
STEPHEN M. SELLERS, PLS 566
DATE: 8/18/2020

WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT WE DESIRE THE PLAN BE RECORDED ACCORDING TO LAW.

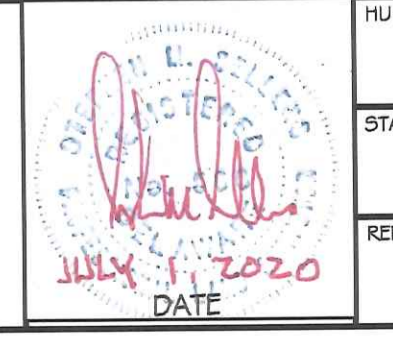
John T. Pettyjohn
JOHN T. PETTYJOHN
DATE: 8/18/2020

Melody A. Pettyjohn
MELODY A. PETTYJOHN
DATE: 8/18/2020

MINOR SUBDIVISION FOR
JOHN T. & MELODY A. PETTYJOHN

18639 JOHNSON ROAD
LAUREL, DE. 19956
Ph: 302-448-5710

MILNER LEWIS, INC.
LAND SURVEYING
1560 MIDDLEFORD RD.
SEAFORD, DELAWARE 19973
PH: 302-629-9895 FAX: 302-629-2391



HUNDRED	BROAD CREEK	COUNTY	SUSSEX
STATE	DELAWARE	DRAWN BY	SMS
REF.	1980-8	FILE NO.	PETTYJOHN 2-32-21-1

- SYMBOLS:**
- PIPE (FD)
 - PIPE TO BE SET
 - ⊕ TRAFFIC SIGN
 - ⊞ MAILBOX
 - ⊞ UTILITY POLE
 - ⊞ EXISTING ENTRANCE

- LEGEND:**
- EXISTING RIGHT-OF-WAY LINE
 - - - PROPOSED RIGHT-OF-WAY LINE
 - - - PROPOSED EASEMENT LINE
 - EXISTING LOT LINE
 - - - PROPOSED LOT LINE
 - CENTERLINE
 - NEXT PROPERTY LINE
 - EDGE OF PAVING

DATE	REVISION
7-31-2020	DELDOT COMMENTS
8-18-2020	DELDOT COMMENTS

DATA COLUMN:
T.M.#232-20.00-49.00 part
ZONING: AR-1
BUILDING SETBACKS: FRONT: 30'
SIDE: 15'
REAR: 20'
TRACT AREA: 5.1169 ACRES±
EXISTING LOTS: 1
PROPOSED LOTS: 2 TOTAL, INCLUDING RESIDUAL LANDS
PRESENT USE: RESIDENTIAL
PROPOSED USE: RESIDENTIAL
ACCESS: S.C.R. 434-A (JOHNSON ROAD)
ROADWAY CLASSIFICATION: LOCAL ROADWAY
WATER AND SEWER: INDIVIDUAL ON-SITE
100 YEAR FLOODPLAIN: SITE IS NOT IMPACTED AS PER FIRM # 10005C0625J DATED 1/6/05
THIS PROJECT IS NOT IN THE PROXIMITY OF A TID SPEED LIMIT ON JOHNSON RD. IS 50MPH (UNPOSTED)

- NOTES:**
- IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
 - ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT) 5) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
 - THERE IS A FIFTY FOOT BUILDING SETBACK FROM LANDS USED FOR AGRICULTURAL PURPOSES.
 - PARCEL 'A' SHALL HAVE A SINGLE ACCESS FROM S.C.R. #434-A VIA THE EXISTING ACCESS ENTRANCE.
 - PARCEL 'B' SHALL HAVE ACCESS TO S.C.R. #434-A VIA THE 30' WIDE INGRESS/EGRESS EASEMENT.
 - MAINTENANCE OF THE PROPOSED 30 FOOT WIDE INGRESS/EGRESS EASEMENT SHALL BE THE RESPONSIBILITY OF THE OWNERS OF PARCEL 'A' & PARCEL 'B'.
 - IF EXISTING ENTRANCES ARE ALTERED, THEY SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL. NO CONSTRUCTION SHALL OCCUR IN THE RIGHT-OF-WAY (ROW) WITHOUT A DELDOT PERMIT.
 - ENTRANCES TO PRIVATE STREETS SERVING MULTIPLE RESIDENTIAL LOTS SHOULD BE PAVED FROM THE EDGE OF TRAVEL LANE TO THE ROW LINE (AT A MINIMUM) WITH A DRIVEWAY THROAT WIDTH OF 16 TO 24 FEET. REFER TO DELDOT DEVELOPMENT COORDINATION MANUAL, REFERENCE 3.3.3.

- FIRE MARSHAL NOTES:**
- ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTION SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
 - MAXIMUM HEIGHT: 3 STORIES NOT TO EXCEED 42'.
 - A SINGLE FAMILY DWELLING IS PROPOSED.
 - BUILDING CONSTRUCTION TYPE: NFPA TYPE V WOOD FRAME.
 - AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.

NOTE: SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.

OTHER THAN SHOWN THIS SURVEY AND PLAN DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHTS-OF-WAY OR EASEMENTS CROSSING THIS PROPERTY.
NO TITLE SEARCH PROVIDED OR STIPULATED.
SURVEY CLASS: SUBURBAN



HUDSON, JONES, JAYWORK & FISHER, LLC

Dartmouth Business Center
34382 Carpenter's Way, Suite 3, Lewes, DE 19958
(302) 645-7999 · Fax (302) 644-8209

PARTNERS:

R. BRANDON JONES
DANIEL P. MYERS II
JAMES P. BECKER
CHRISTOPHER M. HOLMON
MICHAEL G. RUSHE
D. BARRETT EDWARDS, IV

OF COUNSEL:

RONALD D. SMITH
DAVID A. BOSWELL
RICHARD E. BERL, JR.
FRED A. TOWNSEND, III

ASSOCIATES:

CHAD C. MEREDITH
ANN POULIOS BOSWELL
ZACHARY A. GEORGE
KRISTIN C. COLLISON
DANIEL L. HUESTIS
JOEL WRIGHT COLLINS

REHOBOTH BEACH
309 Rehoboth Avenue
Rehoboth Beach, DE 19971
(302) 227-9441

DOVER

225 South State Street
Dover, DE 19901
(302) 734-7401

WILLIAM S. HUDSON, 1934-2013
JOHN T. JAYWORK - RETIRED
HARRY M. FISHER, III - RETIRED

September 14, 2020

Sussex County Planning & Zoning
Attn: Jamie Whitehouse, Director
2 The Circle
P.O. Box 417
Georgetown, DE 19947

RE: Preliminary Minor Subdivision for the lands of
Alfred and Marlyn Mitchell
Tax Parcel: 235-26.00-17.09(P-O)

Dear Mr. Whitehouse:

I am enclosing four copies of the minor subdivision plan referenced above, which was completed by Miller-Lewis Inc. I am also enclosing copies of correspondence which I suspect are in the file already, but which I will include as a supplement nevertheless. That includes the Letter of No Objection from DeIDOT and Fire Protection Plan Review comments.

Please let me know if anything further is necessary for the P&Z review on September 24, 2020.

Very truly yours,

HUDSON, JONES, JAYWORK & FISHER, LLC

Richard E. Berl, Jr.

REB/lg
Enclosure



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2020-04-204725-MIS-01

Tax Parcel Number: 235-26.00-17.09

Status: Approved as Submitted

Date: 09/09/2020

Project

Mitchell Subdivision

Alfred's Way

Mitchell Property

Milton DE 19968

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 85 - Milton Fire Dept

Occupant Load Inside:

Occupancy Code: 9601

Applicant

Donald K Miller
1560 Middleford Road
Seaford, DE 19973

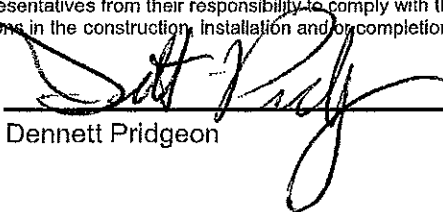
This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:


Dennett Pridgeon

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2020-04-204725-MIS-01

Tax Parcel Number: 235-26.00-17.09

Status: Approved as Submitted

Date: 09/09/2020

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1000** The site plans have been approved as submitted. The Office of DE State Fire Marshal has no objection to recordation.
- 1010 A** The following water for fire protection requirements apply: NONE. On-Site Wells Proposed. this site meets Water Flow Table 1. therefore the provisions of NFPA 1142 shall apply to this site (DSFPR Regulation 702, Chapter 6, Section 3). Since wells are proposed for this site, no additional requirements will be made by this Agency for water for fire protection.
- 1011 A** Per Fire Flow Table 1, the following occupancies: One and Two Family Detached Dwellings, Multi Family & Other Residential, Rowhouses & Townhouses Shall not exceed 10,000 aggregate gross square footage; shall not exceed 35' or three stories; and Shall have a minimum setback of 15' from all property lines and 10' setback from exposure hazards on the same property. Additionally, Rowhouses & Townhouses shall have an internal fire separation of two hour fire rated walls per SFPR Part II, Chapter 2.
- 1408 A** All premises where emergency personnel may be called upon to provide emergency services, which are not readily accessible from streets, shall be provided with suitable gates, access roads, and fire lanes so that all buildings on the premises are accessible to emergency apparatus. (DSFPR Regulation 705, Chapter 5, Section 2).
- 1093 A** In the case of one and two-family dwellings emergency service access shall be provided in such a manner so that emergency apparatus will be able to locate within 100 feet from the street to the primary entrance. Where alleys are provided, pumpers shall be able to access all portions of the alley without strict



restrictions for entrance radii. (DSFPR Regulation 705, Chapter 5, Sections 2.2 and 2.2.1).

2500 A A final inspection is required for this project prior to occupancy (DSFPR Part I, Section 4-7). Contact this Agency to schedule this inspection. Please have the plan review number available. A MINIMUM OF FIVE (5) WORKING DAYS NOTICE IS REQUIRED.





STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19803

JENNIFER COHAN
SECRETARY

September 03, 2020

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

SUBJECT: Minor Subdivision - Letter of No Objection to Recordation
ALFRED J. & MARLYN E. MITCHELL
Tax Parcel # 235-26.00-17.09
SCR022-HARBESON ROAD
BroadKill Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Minor Subdivision Plan dated July 28, 2020 (last revised August 24, 2020), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawing. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Minor Subdivision Plan is not recorded and/or an entrance permit is not issued for the lot(s) prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

Entrances(s) must be installed prior to the sale of the lot(s). All entrances shall conform to DelDOT's Development Coordination Manual and shall be subject to its approval. **This letter does not authorize the commencement of entrance construction.**

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized.



ALFRED J. & MARLYN E. MITCHELL

Mr. Jamie Whitehouse

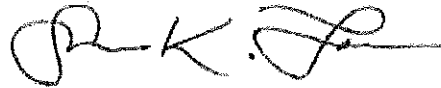
Page 2

September 03, 2020

There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction to modify or reject this proposed plan even though DeIDOT has established that these enumerated transportation improvements are acceptable.

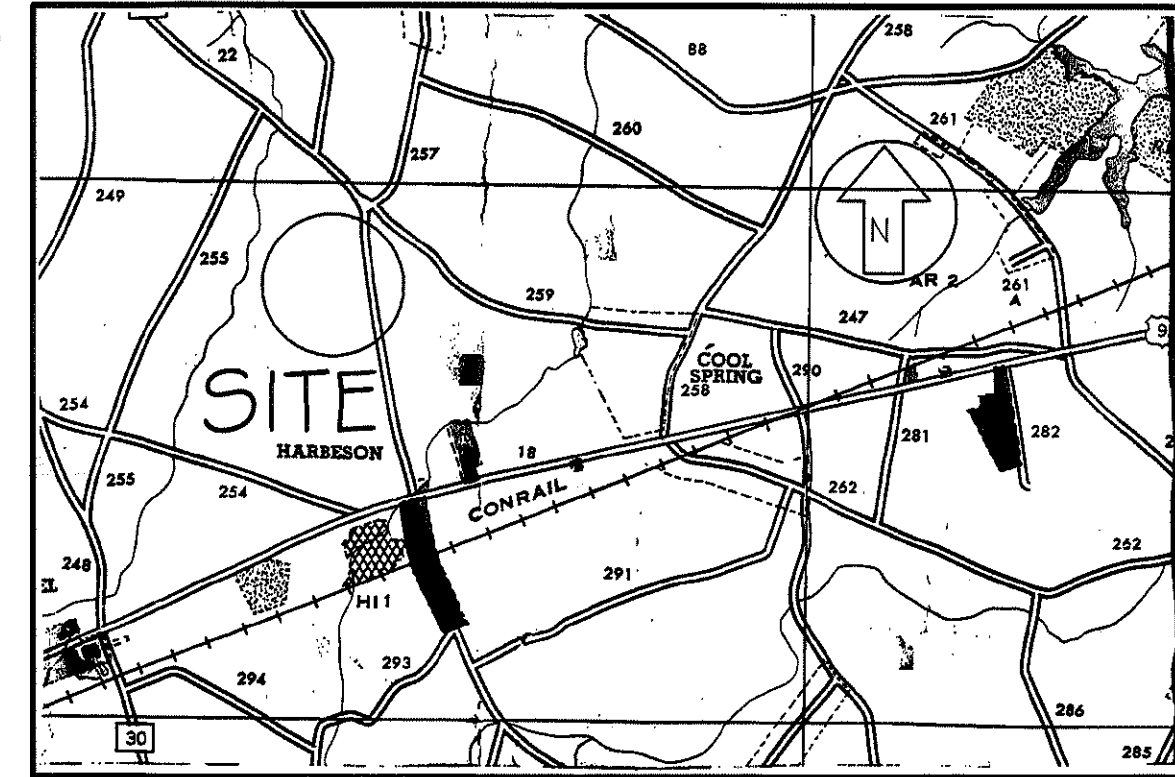
The owner shall be responsible to submit a copy of the **recorded Minor Subdivision Plan** showing all appropriate signatures, seals, plot book and page number to the South District Public Works office (302) 853-1341 in order to obtain the entrance permit(s) for the proposed minor subdivision.

Sincerely,



Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

cc: Donald Miller, Miller Lewis
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
James Argo, South District Project Reviewer
William Kirsch, South District Entrance Permit Supervisor
Shannon Anderson, South District Public Work Admin Specialist
Wendy L. Polasko, Subdivision Engineer
Derek Sapp, Subdivision Manager, Development Coordination



VICINITY MAP
SCALE 1" = 1 MILE

DATA COLUMN:

T.M.#235-26.00-17.09
 ZONING: AR-1
 TRACT AREA: 4.669 ACRES± (INCLUDING RESIDUAL AREA)
 EXISTING LOTS: 1
 PROPOSED LOTS: 1 NEW (2 TOTAL INCLUDING RESIDUAL LANDS)
 PRESENT USE: RESIDENTIAL
 PROPOSED USE: RESIDENTIAL
 ACCESS: ALFREDS WAY (PRIVATE 50' WIDE EASEMENT)
 ROADWAY CLASSIFICATION: MAJOR COLLECTOR
 WATER AND SEWER: INDIVIDUAL ON-SITE
 100 YEAR FLOODPLAIN: SITE IS NOT IMPACTED
 AS PER FIRM #10005C031 OL DATED 6/20/18
 THIS PROJECT IS NOT IN THE PROXIMITY OF A TID

NOTES:

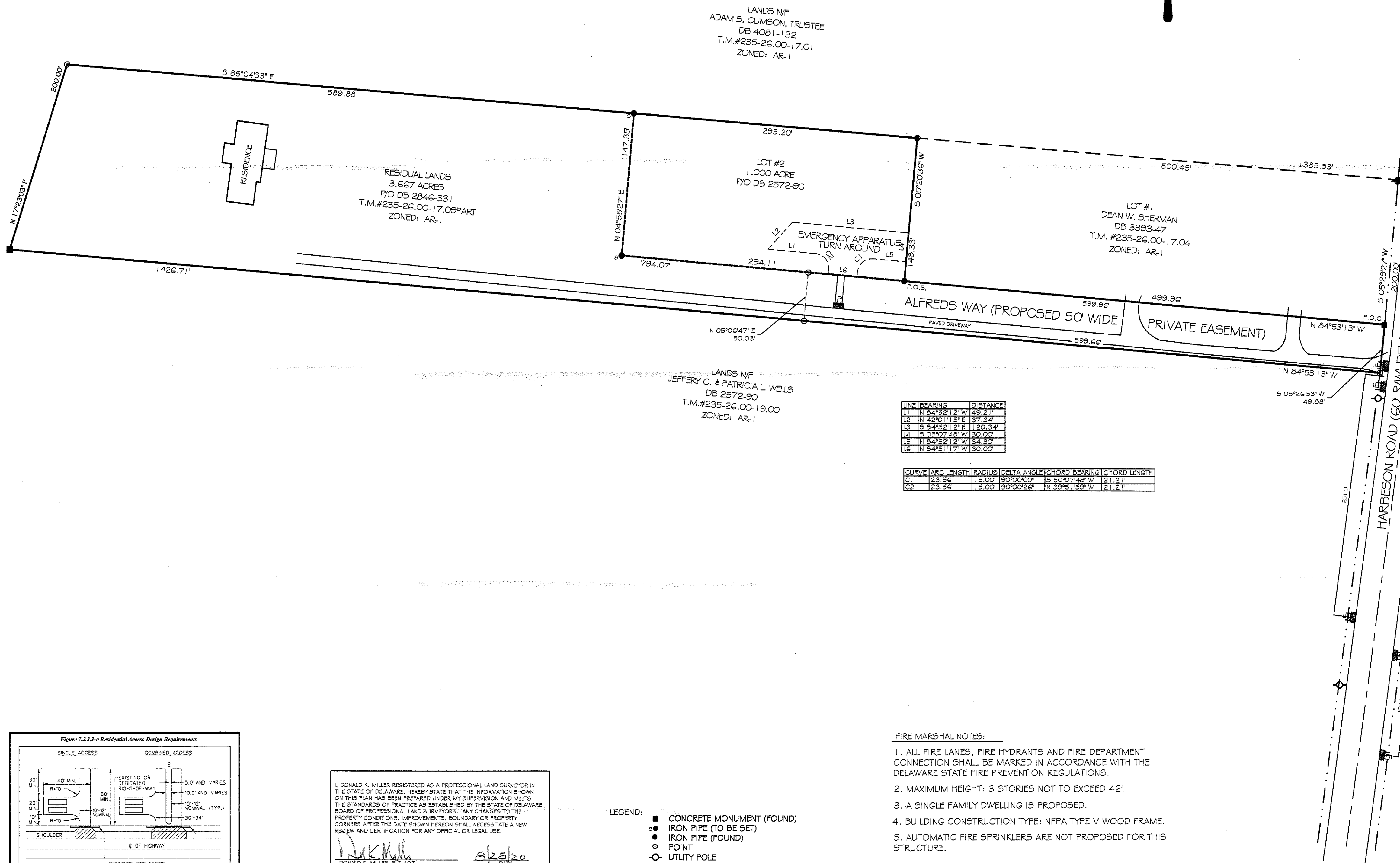
- IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DEL.D.O.T.'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- THERE IS A FIFTY FOOT BUILDING SETBACK FROM LANDS USED FOR AGRICULTURAL PURPOSES.
- LOT 2 SHALL HAVE A SINGLE ACCESS TO ALFREDS WAY AS SHOWN ON THIS PLAN.
- THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.

I, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

OWNER NAME _____ DATE _____
 OWNER NAME _____ DATE _____

MINOR SUBDIVISION PLAN FOR
ALFRED & MARLYN MITCHELL

26346 ALFREDS WAY, MILTON, DE 19968



LANDS NF
 ADAM S. GUMSON, TRUSTEE
 DB 4081-132
 T.M.#235-26.00-17.01
 ZONED: AR-1

RESIDUAL LANDS
 3.667 ACRES
 P/O DB 2846-331
 T.M.#235-26.00-17.09PART
 ZONED: AR-1

LOT #1
 DEAN W. SHERMAN
 DB 3393-47
 T.M.#235-26.00-17.04
 ZONED: AR-1

LANDS NF
 JEFFERY C. & PATRICIA L. WELLS
 DB 2572-90
 T.M.#235-26.00-19.00
 ZONED: AR-1

LINE	BEARING	DISTANCE
L1	N 84°52'12" W	49.21'
L2	N 42°01'15" E	37.94'
L3	S 84°52'12" E	120.34'
L4	S 05°07'48" W	130.07'
L5	N 84°52'12" W	52.39'
L6	N 84°51'17" W	30.00'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	23.56'	15.00'	90°00'00"	S 50°07'48" W	21.21'
C2	23.56'	15.00'	90°00'00"	N 39°51'59" W	21.21'

FIRE MARSHAL NOTES:

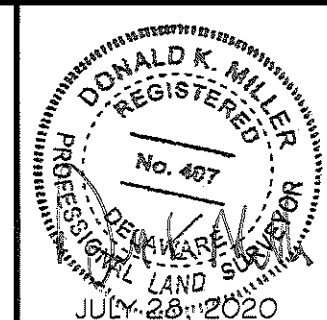
- ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTION SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
- MAXIMUM HEIGHT: 3 STORIES NOT TO EXCEED 42'.
- A SINGLE FAMILY DWELLING IS PROPOSED.
- BUILDING CONSTRUCTION TYPE: NFPA TYPE V WOOD FRAME.
- AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.



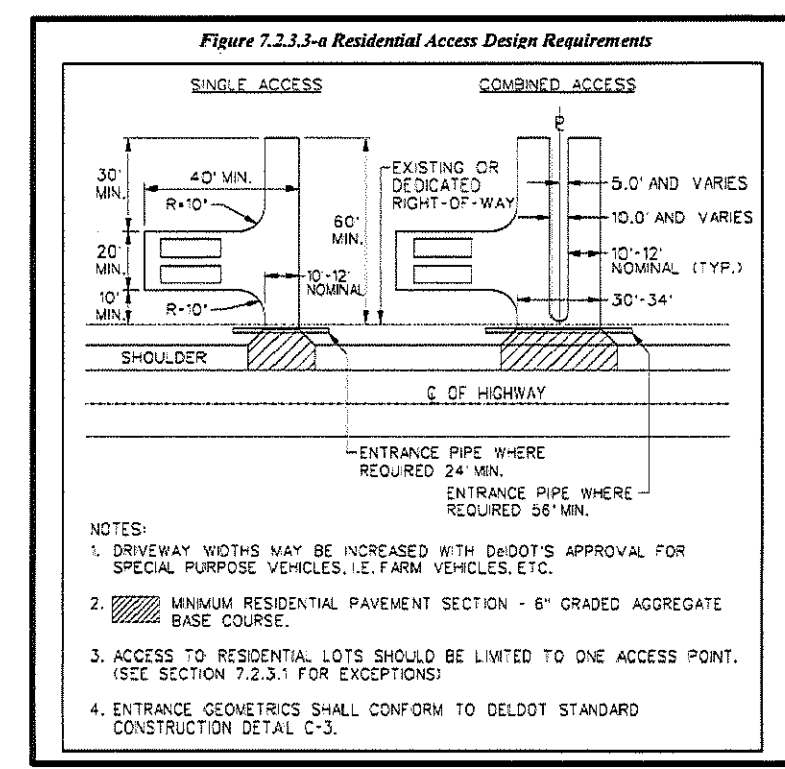
THIS SURVEY AND PLAN DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHTS-OF-WAY OR EASEMENTS CROSSING THIS PROPERTY.
 NO TITLE SEARCH PROVIDED OR STIPULATED.
 SURVEY CLASS: SUBURBAN

DATE	REVISION
08/24/2020	DEL. D.O.T. COMMENTS
08/27/2020	FIRE MARSHAL CRITERIA

MILLER LEWIS, INC.
 LAND SURVEYING
 1560 MIDDLEFORD RD.
 SEAFORD, DELAWARE 19973
 PH: 302-629-9895 FAX: 302-629-2391



HUNDRED	COUNTY
BROADKILL	SUSSEX
STATE	DRAWN BY
DELAWARE	D.K. MILLER
REF.	FILE NO.
DB 2846-331	SHERMAN 2-35-26-17.09



I, DONALD K. MILLER REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REKBY AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

Donald K. Miller, PLS 407
 Date: 8/25/20

NOTE: SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT TRIANGLE SHOULD BE MAINTAINED OR REMOVED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.

- LEGEND:
- CONCRETE MONUMENT (FOUND)
 - IRON PIPE (TO BE SET)
 - IRON PIPE (FOUND)
 - POINT
 - UTILITY POLE
 - EXISTING ENTRANCE
 - PROPOSED ENTRANCE
 - EXISTING RIGHT-OF-WAY LINE
 - PROPOSED RIGHT-OF-WAY LINE
 - PROPERTY LINE
 - CENTERLINE
 - NEXT PROPERTY LINE
 - PROPOSED PROPERTY LINE