ROBERT C. WHEATLEY, CHAIRMAN KIM HOEY STEVENSON, VICE CHAIRMAN R. KELLER HOPKINS J. BRUCE MEARS **HOLLY WINGATE**



2 THE CIRCLE I PO BOX 417 GEORGETOWN, DE 19947 (302) 855-7878 T (302) 854-5079 F sussexcountyde.gov

Sussex County Planning & Zoning Commission

AGENDA

Ianuary 23, 2020

6:00 P.M.

Call to Order

Approval of Agenda

Approval of Minutes – November 21, 2019, December 12 2019 and December 19, 2019

Old Business

2018-34 – Keastone Bay – Baywood, LLC and Sussex Realty Company

BM

A Coastal Area/cluster subdivision to divide 310.97 acres +/- into 675 single-family lots to be located on certain parcels of land lying and being in Indian River Hundred, Sussex County. The property is located on the northwest and southeast sides of Green Rd., approximately 360 ft. northeast of Banks Rd. Tax Parcels: 234-17.00-170.00, 172.00, 173.00, 174.00, 234-18.00-68.00, 234-24.00-1.00 & 234-24.00-2.00. Zoning District. AR-1 (Agricultural Residential District).

2019-26 - Michael W. Peterson & Mary E. Peterson

BM

A standard subdivision to divide 2.0124 +/- acres into 6 single-family lots to be located on a certain parcel of land lying and being in Baltimore Hundred, Sussex County. The property is lying at the northwest side of Railway Rd., approximately 1,354 ft. northeast of Old Mill Rd. Tax Parcel: 134-8.00-29.00, 30.00, & 30.01. Zoning District: GR (General Residential District).

2019-2 - Old Mill Landing South

HW

A cluster/coastal area subdivision to divide 145.43 acres +/- into 156 single family lots to be located on a certain parcel of land lying and being in Baltimore Hundred, Sussex County. The property is lying on the southeast corner of Old Mill Bridge Rd. and Miller Neck Rd. Tax Parcel: 134-21.00-6.00 (portion of). Zoning District. AR-1 (Agricultural Residential District).

2019-13 - Old Mill Landing North

HW

A cluster subdivision to divide 37.60 acres +/- into 71 single family lots to be located on a certain parcel of land lying and being in Baltimore Hundred, Sussex County. The property is lying on the southeast corner of Old Mill Bridge Rd. and Miller Neck Rd. Tax Parcel: 134-21.00-6.00 (portion of). Zoning District. AR-1 (Agricultural Residential District).



C/U 2205 - Frank Passwaters

KΗ

An Ordinance to grant a Conditional Use of land in an AR-1 Agricultural Residential District for an auto-motorcycle repair to be located on a certain parcel of land lying and being in Cedar Creek Hundred, Sussex County, containing 1.8711 acres, more or less. The property is lying on the southwest side of Railroad Ave. and Greely Ave., 911 Address: 8870 Railroad Ave., Lincoln. Tax Parcel: 230-6.00-1.02

C/Z 1902 - John C. Stamato c/o Ribera Development, LLC

KΗ

An Ordinance to amend the Comprehensive Zoning Map of Sussex County from an CR-1 Commercial Residential District to an HI-1 Heavy Industrial District for a certain parcel of land lying and being in Georgetown Hundred, Sussex County, containing 15 acres, more or less. The property is lying on the southeast corner of Lewes-Georgetown Hwy. (Rt. 9). and Steiner Rd. 911 Address: N/A. Tax Parcel: 135-16.00-23.00 (portion of)

Memorandum of Understanding Between Sussex County and DelDOT

The MOU describes the coordination process between Sussex County and DelDOT regarding the process of land use applications.

Continuation of Public Hearing

Public Hearings

C/Z 1903 - W. Wayne Baker

KH

An Ordinance to amend the Comprehensive Zoning Map of Sussex County from an AR-1 Agricultural Residential District to a C-2 Medium Commercial District for a certain parcel of land lying and being in Dagsboro Hundred, Sussex County, containing 17.25 acres, more or less. The property is lying on the southwest corner of DuPont Boulevard (Route 113) and Governor Stockley Road. 911 Address: N/A. Tax Parcel: 133-6.00-43.00

C/Z 1904 – Dry Acres, LLC (Jill Cicierski)

KS

An Ordinance to amend the Comprehensive Zoning Map of Sussex County from an AR-1 Agricultural Residential District to a C-2 Medium Commercial District for a certain parcel of land lying and being in Broadkill Hundred, Sussex County, containing 10.88 acres, more or less. The property is lying on the northeast corner of Harbeson Road (Route 5) and the Lewes Georgetown Highway (Route 9). 911 Address: N/A. Tax Parcel: 235-30.00-51.00.

Other Business

Country Life Community (S-18-14)

KH

Preliminary Site Plan

Artisan's Bank (S-19-47)

BM

Preliminary Site Plan

ABC Storage, LLC

KΗ

Revised Site Plan

The Bottom Line (S-19-48)

KS

Preliminary Site Plan

Fishers Popcorn Fenwick, LLC

KΗ

Preliminary Site Plan

Additional Business

Public comments in recognition of Ms. Cornwell.

Planning and Zoning Commission meetings can be monitored on the internet at www.sussexcountyde.gov.

In accordance with 29 Del. C. §10004(e)(2), this Agenda was posted on January 16, 2020, at 2:30 p.m., and at least seven (7) days in advance of the meeting.

This Agenda is subject to change to include the addition or deletion of items, including Executive Sessions, which arise at the time of the Meeting.

Agenda items listed may be considered out of sequence.

####

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN KIM HOEY STEVENSON, VICE-CHAIRMAN R. KELLER HOPKINS J. BRUCE MEARS HOLLY J. WINGATE





DELAWARE sussexcountyde.gov 302-855-7878 T 302-854-5079 F JANELLE CORNWELL, AICP DIRECTOR

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET Planning Commission Public Hearing Date January 23, 2020.

Application: (CZ 1903) W. Wayne Baker

Applicant: W. Wayne Baker

15046 Gravel Hill Road Milton, DE 19968

Owner: W. Wayne Baker

15046 Gravel Hill Road

Milton, DE 19968

Site Location: Located southwest of the intersection of U.S. Route 113 & Governor

Stockley Road (S.C.R. 432).

Current Zoning: Agricultural Residential (AR-1)

Proposed Zoning: Medium Commercial District (C-2)

Comprehensive Land

Use Plan Reference: Low Density Area

Councilmatic

District: Mr. Wilson

School District: Indian River School District

Fire District: Millsboro Fire District

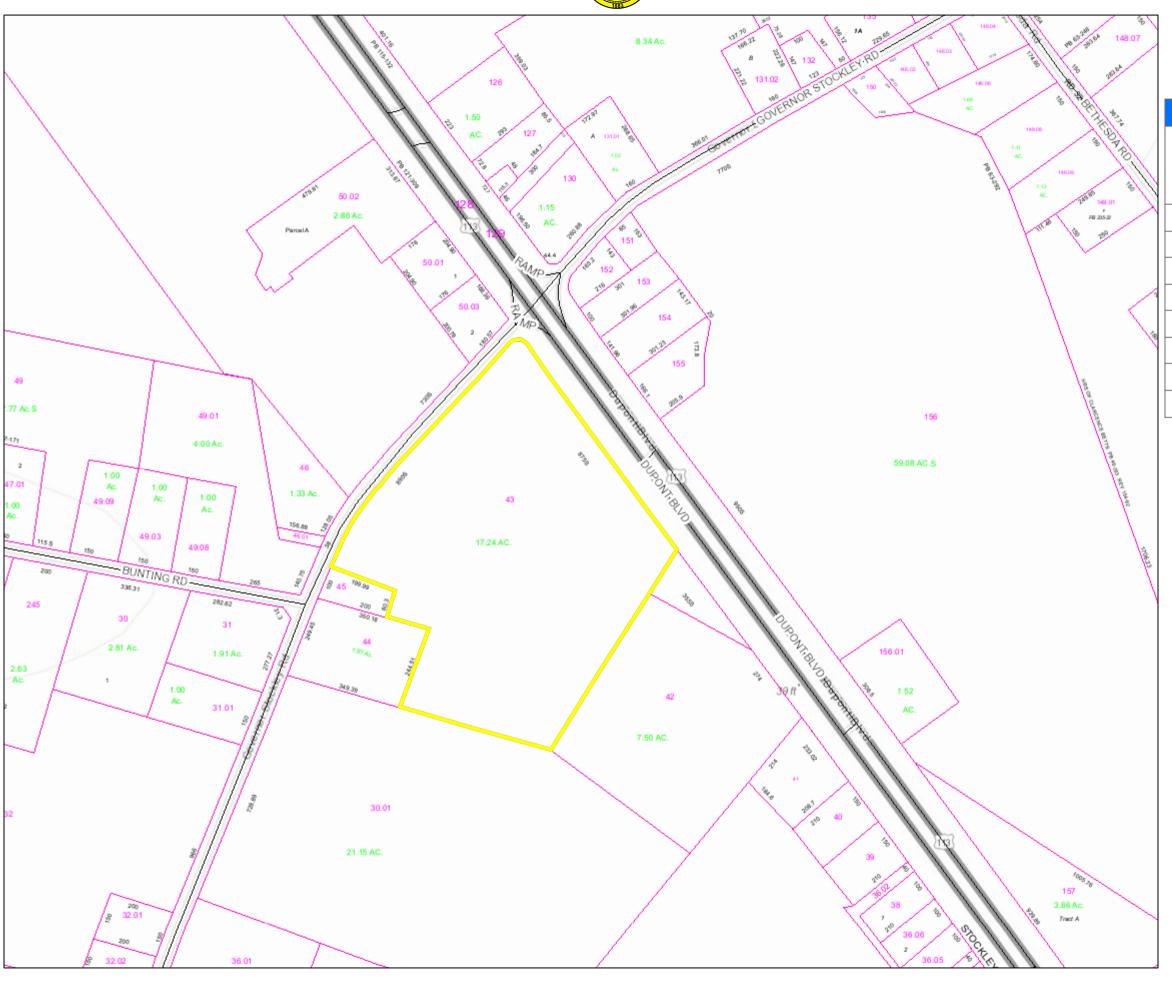
Sewer: Private, On-Site

Water: Private, On-Site

Site Area: 17.25 acres +/-

Tax Map ID.: 133-6.00-43.00





	PIN:	133-6.00-43.00
	Owner Name	BAKER W WAYNE
100		
1	Book	0
	Mailing Address	17420 MINOS CONAWAY R
	City	LEWES
7	State	DE
	Description	RD GUMBOROGEO #432
1	Description 2	17.24 ACRES W/IMP
	Description 3	POSS REV
	Land Code	

polygonLayer

Override 1

polygonLayer

Override 1

Tax Parcels

0.05

0.075

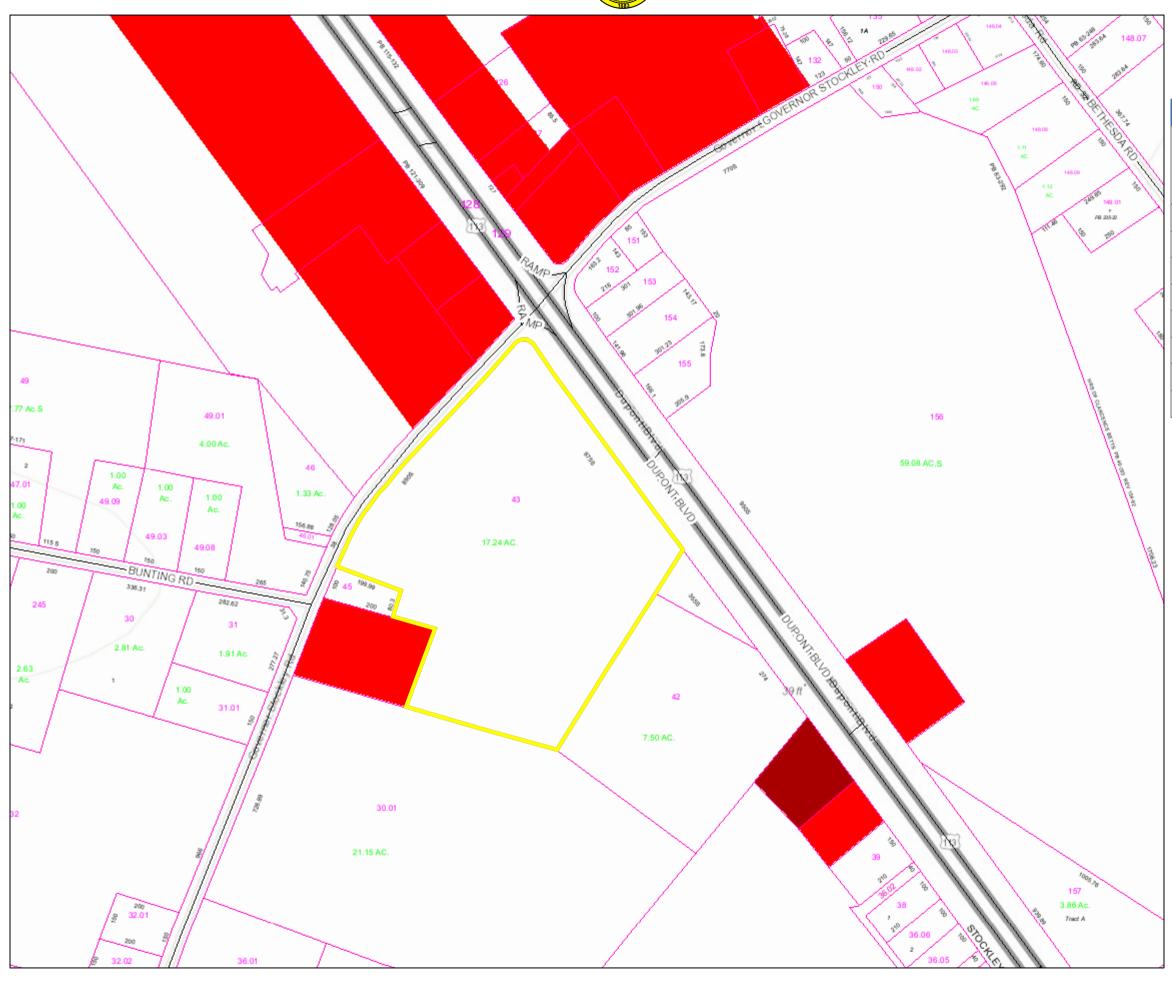
0

Streets

County Boundaries

1:4,514 0.1 0.2 mi 0.15 0.3 km

Sussex County



	PIN:	133-6.00-43.00
	Owner Name	BAKER W WAYNE
1		
1	Book	0
	Mailing Address	17420 MINOS CONAWAY R
	City	LEWES
-	State	DE
0.	Description	RD GUMBOROGEO #432
١	Description 2	17.24 ACRES W/IMP
	Description 3	POSS REV
	Land Code	

polygonLayer

Override 1

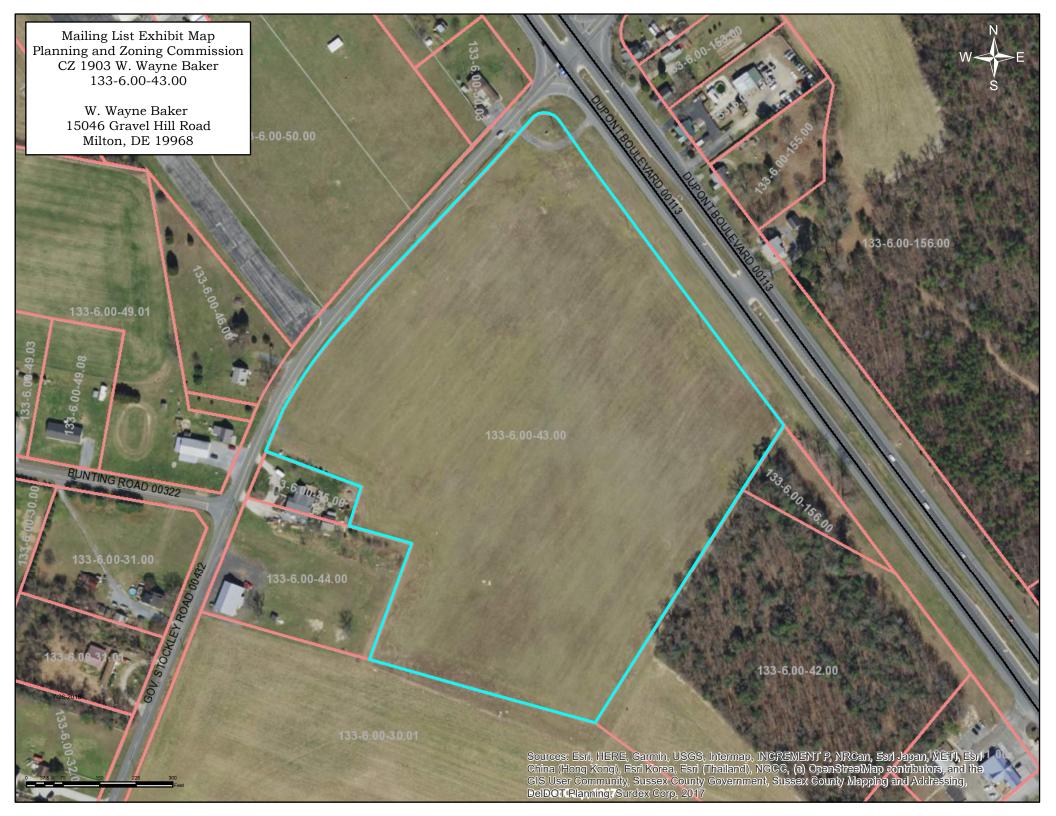
polygonLayer

Override 1

Tax Parcels

Streets

1:4,514 0 0.05 0.1 0.2 mi 0 0.075 0.15 0.3 km



PLANNING & ZONING

JANELLE M. CORNWELL, AICP DIRECTOR

> (302) 855-7878 T (302) 854-5079 F





Memorandum

To: Sussex County Planning Commission Members

From: Jennifer Norwood, Planner I

CC: Vince Robertson, Assistant County Attorney and applicant

Date: January 15,2020

RE: Staff Analysis for CZ 1903 W. Wayne Baker

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CZ 1903 W. Wayne Baker to be reviewed during the January 23, 2020 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Change of Zone for parcel 133-6.00-43.00 to facilitate a change from the Agricultural Residential (AR-1) Zoning District to a Medium Commercial (C-2) Zoning District and is located on the southwest corner of DuPont Blvd. (Route 113) and Governor Stockley Rd.. The size of the property is 17.25acres +/-.

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the property has the land use designation of "Low Density."

The surrounding land use to the north, south, east, and west is designated on the Future Land Use Map as "Low Density Areas" (except for a parcel to the south designated "Commercial Area" and multiple parcels to the northwest of the property along both sides of DuPont Hwy are designated "Commercial Areas". Low Density Areas primarily recognize businesses that support agricultural activities and the development of single-family homes. The focus of retail and office uses in Low Density Areas should be for providing convenience goods and services to nearby residents.

Commercial Areas include concentrations of retail and service uses, commercial corridors, shopping centers, hotels, motels, car washes and auto dealers. This includes other medium and larger scale commercial uses as well as mixed-use buildings.

Table 4.5-2 "Zoning Districts Applicable to Future Land Use Categories" of the 2018 Sussex County Comprehensive Plan states that the Medium Commercial (C-2) Zoning District may be appropriate in "Low Density" Areas. Additionally, the Medium Commercial District (C-2) Zoning is appropriate in Commercial Areas.

The property is zoned AR-1 (Agricultural Residential District). The surrounding parcels are zoned both AR-1 (Agricultural Residential District) and C-1 (General Commercial District).



Staff Analysis CZ 1903 W Wayne Baker Planning and Zoning Commission for January 23, 2020

The property is split-zoned General Commercial (C-1) and Commercial Residential (CR-1). The property directly to the north of the application site is zoned Light Industrial (LI-2) Zoning District. Properties to the north, east and west are zoned General Commercial (C-1). The parcels to the southeast and southwest are zoned Agricultural Residential (AR-1).

Since 2011, there has been a Conditional Use No. 2113 which was approved for a electrical generation and nutrient recovery facility by Sussex County Council on July 31, 2018.

Based on the analysis of the land use, surrounding zoning and uses, a change of zone to allow for a property zoned Medium Commercial (C-2), could be considered as being consistent with the land use, area zoning and surrounding uses.

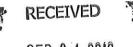
File #: <u>CZ1903</u> 201910148*C*

Planning & Zoning Commission Application Sussex County, Delaware

Sussex County Planning & Zoning Department 2 The Circle (P.O. Box 417) Georgetown, DE 19947 302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check applicable)			
Conditional Use			
Zoning Map Amendment <u>*</u>			
Site Address of Conditional Use/Zoning	Map Amendment		
SW INTERSECTION US RT 113 & GOVERNO	OR STOCKLEY RD DAGSBORO HUNDRED, SUSSEX COUNTY		
Type of Conditional Use Requested:			
Type of conditional ose Requested.			
Tax Map #: 133-6.00-43.00	Size of Parcel(s): 17.25 +/- AC		
Current Zoning: AR-1 Proposed Z	oning: C-2 Size of Building: TBD		
Land Use Classification: LOW DENSITY L	EVEL 4 ADJACENT TO COMMERCIAL LANDS		
Water Provider: PRIVATE	Sewer Provider: PRIVATE		
Applicant Information			
Applicant Name: W.WAYNE BAKER			
Applicant Address: 15046 Gravel Hill Road			
City: Milton	State: DE ZipCode: 19968		
Phone #:_ 302-684-8569	E-mail: WAYNE@WILSONBAKER.COM		
	* ***		
Owner Information			
Owner Name W WAYNE DAKED			
Owner Name: W.WAYNE BAKER Owner Address: 15046 Gravel Hill Road			
City: Milton	State: DE Zip Code: 19968		
Phone #: (302) 684-8569	E-mail: WAYNE@WILSONBAKER.COM		
Thore m. (cos) so t sees			
Agent/Attorney/Engineer Information			
MARK	H DAVIDSON DENNON DROJECT, WDAVY10001		
Agend Account of Engineer Hame.	H DAVIDSON PENNONI PROJECT: WBAKX19001		
Agent/Attorney/Engineer Address: 18072			
City: MILTON	State: DE Zip Code: 19968 E-mail: MDAVIDSON@PENNONI.COM		
Phone #: <u>(302) 684-8030</u>	T-Wall: MDV A ID20M@LEMMOMI'COM		





SEP 0 4 2019





Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

<u> </u>	Provide eight (8) copies of the Site Plan of Survey shall show the location of parking area, proposed entrance Provide a PDF of Plans (may be e- Deed or Legal description	existing or proposed building(s), building setbacks, location, etc.
<u> </u>	Provide Fee \$500.00	
а		e Commission/Council to consider (ex. pooks, etc.) If provided submit 8 copies and they days prior to the Planning Commission meeting.
SI		e sent to property owners within 200 feet of the ut to the subject site, take photos and place a sign he Public Hearings for the application.
<u> </u>	DelDOT Service Level Evaluation Reques	t Response
P	PLUS Response Letter (if required)	
	ned hereby certifies that the forms, exhibited as a part of this application are true a	bits, and statements contained in any papers or and correct.
Zoning Command that I will needs, the he	mission and the Sussex County Council an Il answer any questions to the best of my	nd all public hearing before the Planning and dany other hearing necessary for this application ability to respond to the present and future, prosperity, and general welfare of the inhabitants
M	f Applicant/Agent/Attorney	Date: 9/3/2015
Signature of	f Owner and Oak	Date:
For office use of Date Submitted Staff accepting Location of pro	ed: <u>91419</u> Fee: \$	5500.00 Check #: 1368 cation & Case #: 2019 0148
Date of PC Hea		nmendation of PC Commission:
Date of College	o	enter exer

✓ Completed Application



STATE OF DELAWARE

DEPARTMENT OF TRANSPORTATION

800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN SECRETARY

August 21, 2019

Ms. Janelle Cornwell, Director Sussex County Planning & Zoning P.O. Box 417 Georgetown, DE 19947

Dear Ms. Cornwell:

The Department has completed its review of a Service Level Evaluation Request for the **Wayne Baker** rezoning application, which we received on July 29, 2019. This application is for an approximately 17.24-acre parcel (Tax Parcel: 133-6.00-43.00). The subject land is located on the southwest corner of the intersection of US Route 113 and Governor Stockley Road (Sussex Road 432), south of the Town of Georgetown. The subject land is currently zoned as AR-1 (Agricultural Residential) and the applicant is seeking to rezone the land to C-3 (Heavy Commercial) to develop a community commercial complex with warehousing.

Per the 2018 Delaware Vehicle Volume Summary, the annual average and summer average daily traffic volumes along the segment of US Route 113 where the subject land is located, which is from Shortly Road / S. Bedford Street (Sussex Road 431) to Delaware Route 20, are 25,127 and 32,338 vehicles per day, respectively. As the subject land also has frontage along Governor Stockley Road, the annual average and summer average daily traffic volumes along that road segment, which is from US Route 113 to Delaware Route 20, are 6,844 and 8,808 vehicles per day, respectively.

Our volume-based criteria for requiring a traffic impact study (TIS), addressed in Section 2.2.2.1 of the <u>Development Coordination Manual</u>, are that a development generates more than 500 trips per day or 50 trips during a weekly peak hour. While it seems that the above criteria could be met, we presently cannot predict the site's trip generation with enough accuracy to make a TIS useful. Thus, we recommend that this rezoning application be considered without a TIS and that the need for a TIS be evaluated when a subdivision or land development plan is proposed.

The subject property is adjacent to US Route 113, thereby is subject to the Department's Corridor Capacity Preservation Program. The main goal of the Program is to maintain the capacity of the existing highway by minimizing and consolidating the number of direct driveway access points on the arterial highway. The Program was established in accordance with the provisions of Title 17, Section 145 of the Delaware Code. According to the Office of State Planning, Strategies for State Policies and Spending document, the property is located within a Level 4 Investment Area. In a Level 4 Investment Area, State policies



Ms. Janelle M. Cornwell Page 2 of 2 August 21, 2019

encourage the preservation of a rural lifestyle and discourage new development. Per Program policy, if a property has reasonable alternative access to a secondary road, no direct access to the corridor will be permitted. In this case, the property has reasonable secondary access along Governor Stockley Road. Therefore site access would be granted along the secondary road. The Corridor Capacity Preservation Program policy can be viewed on Department's website at www.deldot.gov.

If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence or Mr. Thomas Felice, at (302) 760-2338, if you have questions concerning the Corridor Capacity Preservation Program.

Sincerely,

T. William Brockenbrough, Jr.

J. William Broshabrouf of

County Coordinator

Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues Wayne Baker, Applicant

J. Marc Coté, Assistant Director, Development Coordination

Thomas Felice, Corridor Capacity Preservation Program Manager, Development Coordination

Gemez Norwood, South District Public Works Manager, Maintenance & Operations Susanne K. Laws, Sussex County Review Coordinator, Development Coordination

Derek Sapp, Subdivision Manager, Development Coordination

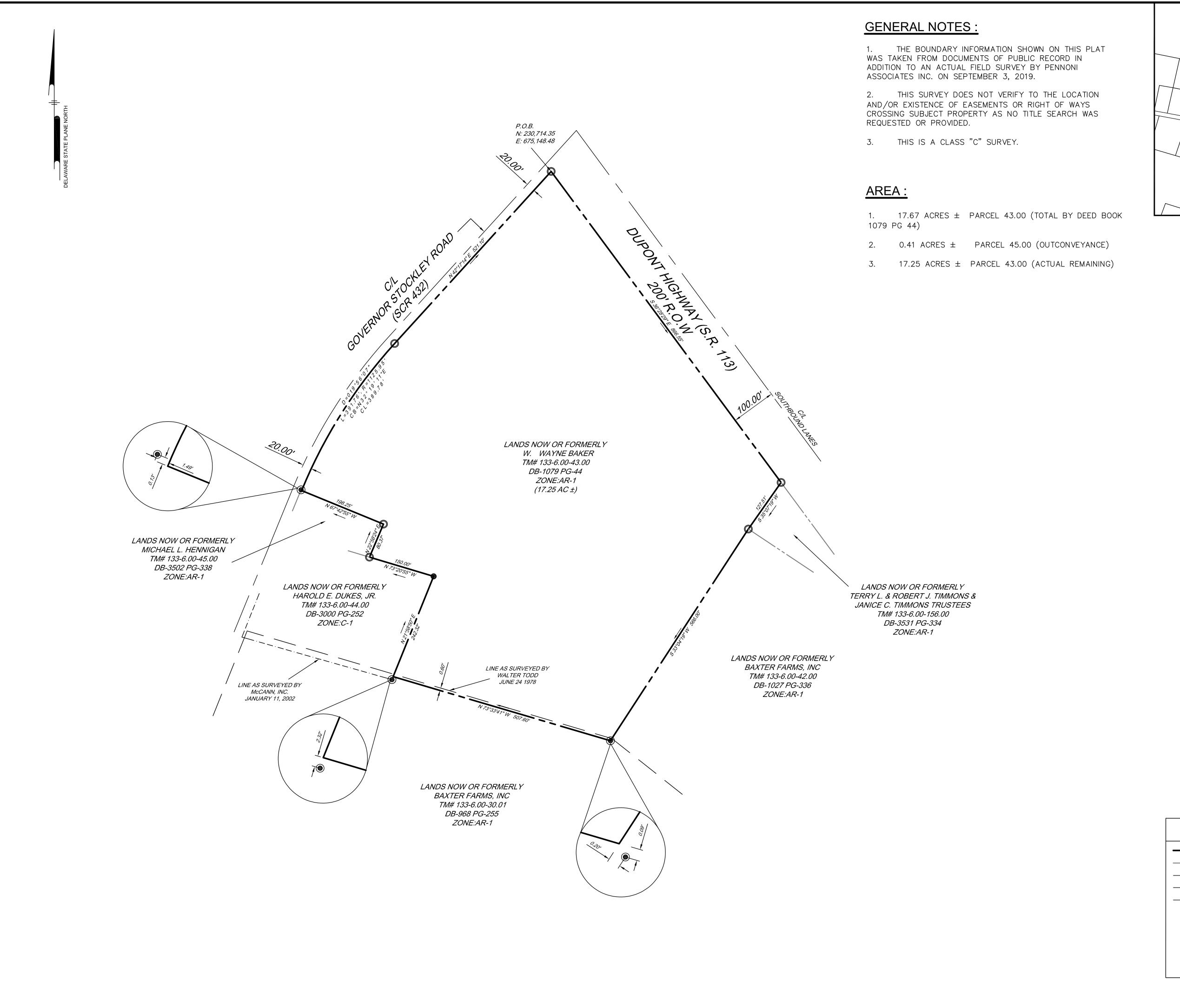
Brian Yates, Subdivision Manager, Development Coordination

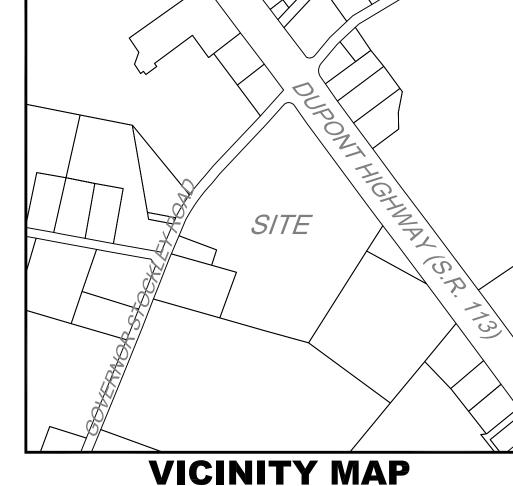
John Andrescavage, Subdivision Manager, Development Coordination

Kevin Hickman, Subdivision Manager, Development Coordination

Troy Brestel, Project Engineer, Development Coordination

Claudy Joinville, Project Engineer, Development Coordination





VICINITY MAP 1" = 500'

LEGEND

PROPERTY LINE —-- ADJACENT PROPERTY LINE ---- ROADWAY CENTERLINE _____ DEED LINE

____ DEED LINE **IRON PIPE FOUND** IRON PIPE TO BE SET

IRON REBAR FOUND

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES
ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE
PROJECT. THEY ARE NOT INTENDED OR REPRESENTED
TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON
THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER
PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION
OR ADAPTATION BY PENNONI ASSOCIATES FOR THE
SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS
SOLE RISK AND WITHOUT LIABILITY OR LEGAL
EXPOSURE TO PENNONI ASSOCIATE; AND OWNER SHALL
INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES
FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES
ARISING OUT OF OR RESULTING THEREFROM.

BOUL

PROJECT	WBAKX19001	
DATE	2019-09-03	
DRAWING SCALE	1"=100'	
DRAWN BY	PAI	
APPROVED BY	AMD	

OF 1 SHEET 1







CASE NO. CZ1903

ZONING MAP AMENDMENT FROM AR-1 TO C-2

TABLE OF CONTENTS:

OWNER:

ennoni

WAYNE W. BAKER 15046 GRAVEL HILL ROAD MILTON, DE 19968

DEVELOPER:

WAYNE W. BAKER 15046 GRAVEL HILL ROAD MILTON, DE 19968

PLANNER/ENGINEER/SURVEYOR:

PENNONI
18072 DAVIDSON DRIVE
MILTON, DE 19968
MARK H. DAVIDSON, PRINCIPAL LAND PLANNER
ALAN DECKTOR, PE., ENV SP
JOHN W. HAUPT, PLS

TAB 1 APPLICATION

- a. APPLICATION
- b. LEGAL DESCRIPTION
- c. BOUNDARY PLAN
- d. SFR RESPONSE LETTER
- e. DEED

TAB 2 EXHIBITS

- a. SC TAX MAP
- b. LOCATION MAP
- c. COMMERCIAL PROPOSED USE BUBBLE PLAN

TAB 3 MAPS

a. 2019 AERIAL, 2017, 2012, 2007, 2002, 1997, 1992, 1968, 1961, 1954, 1937 ORTHO, 2015 STATE STRAGEGIES, COUNTY ZONING MAP, 2012 LAND USE LAND COVER, NRCS SOILS, STATE WETLANDS, FEMA FLOODPLAIN, GROUNDWATER RECHARGE, USGS TOPO, AREA COMMERCIAL USES MAP

TAB 4 FINDINGS OF FACT

a. FINDINGS OF FACT



Mark H. Davidson / Vice President

Principal Land Planner/Office Director

EDUCATION

University of Delaware; Civil Engineering, (1986-1990)

Land Surveying, Delaware Technical & Community College (1984-1986) and Wastewater Microbiology Diploma (1997)

Land Planning, Institute for Public Administration (2006)

CERTIFICATIONS

DNREC Class A Percolation Tester & Class B Septic Designer, (DE #2418)

Sediment & Stormwater Management, Responsible Personnel, DE (#8760) and MD (#4914)

DNREC Certified Construction Reviewer: DE (#1270)

Delaware Notary

TRAININGS

Hydrology, Delaware TR-20 (1993)

Reducing Flood Hazard in Coastal Development (1996)

Law for Managers/Supervisors (1999)

State and Federal Laws (2000)

Advanced Real Estate Law in Delaware (2002)

Land Conservation and Historic Preservation (2003)

Land Surveying Business Diploma (1998)

Project Manager Training I, Pennoni (2015)

PROFESSIONAL AFFILIATIONS

National Onsite Wastewater Recycling Association

Delaware Onsite Wastewater Recycling Association

American Planning Association

American Institute of Certified Planners

HONORS/AWARDS

Association of Professionals Philanthropy, Brandywine Chapter Fundraising Nominee (2014)

Notable Networker Award, BNI (2013)

EXPERIENCE SUMMARY

Mark H. Davidson serves as Vice President of Pennoni and Office Director for our Southern Delaware, Milton Office. Mark also serves as the Principal Land Planner for Pennoni. He has over 33-years of past experience in Surveying, Engineering, Consulting, Construction and Land Planning. For 12-years he owned a professional engineering, surveying, land planning, environmental and consulting firm that provided professional consulting and design in land planning for residential, industrial, institutional, municipal and commercial applications to a wide range of clients in Delaware and Maryland. Mr. Davidson's project experience includes land development planning, surveying, engineering, environmental design and permitting; construction and project consulting, management and inspection; water resource consulting, management and inspection and municipal consulting, planning and inspection for residential, industrial, institutional, municipal and commercial applications.

Mark is a past director of the Delaware Onsite Wastewater Recycling Association as well as a member of the American Planning Association, American Institute of Certified Planners and has served in the past as a committee member of Delaware Low Impact Development Roundtable Committee, Delaware Pollution Control Strategy Committee, Delaware Sediment & Stormwater Regulatory Advisory Committee, and the Delaware Technical & Community College A/E Curriculum Committee. He was also nominated for the Brandywine Chapter Association of Fundraising Professionals Philanthropy Award and has won the BNI Notable Networker Award.

Along with all the experience and education stated and with many years of combined experience in Surveying, Engineering, Consulting and Land Planning, he has been responsible for providing consulting, layout and design in surveying, engineering and land planning for residential, industrial, institutional, municipal and commercial applications to a wide range of clients in Delaware, Maryland, Virginia and West Virginia. He has project managed, studied, planned, surveyed, designed and engineered sustainable, masterplanned communities, commercial and urban redevelopment projects, and the public infrastructure that supports them.

Mark has provided nationwide land planning consulting services to a variety of clientele to help coordinate project startups as well as final construction consulting services when it came to commercial, residential, industrial, municipal, educational and community land planning. Provided additional consulting in civil/site engineering, stormwater management, erosion and sediment control, wastewater collection and disposal, transportation, and environmental. Market areas practiced; Delaware, Maryland, West Virginia, Virginia, North Carolina, South Carolina, North Dakota, Puerto Rico, Canada and Panama.

Additional Project experience includes cutting edge design and technology as well as value engineering to help clients through the ever-changing market including but not limited to solar voltaic and wind generation projects.

He was currently appointed by the Secretary of DNREC to serve 3-years on the On Site Septic Advisory Board for the State of Delaware.



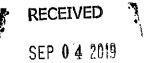
File #: <u>CZ1903</u> 2019101480

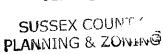
Planning & Zoning Commission Application Sussex County, Delaware

Sussex County Planning & Zoning Department 2 The Circle (P.O. Box 417) Georgetown, DE 19947 302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check applicable)				
Conditional Use Zoning Map Amendment ✓				
Zoning Iviap Amendment				
Site Address of Conditional Use/Zoning I	Map Amendment			
SW INTERSECTION US RT 113 & GOVERNOR STOCKLEY RD DAGSBORO HUNDRED, SUSSEX COUNTY				
Type of Conditional Use Requested:				
Tax Map #: 133-6.00-43.00	Size of Parcel(s): 17.25 +/- AC			
•	oning: C-2 Size of Building: TBD			
Current Zoning: AR-1 Proposed Zo	oning: Size of Building: TBD			
Land Use Classification: LOW DENSITY LE	EVEL 4 ADJACENT TO COMMERCIAL LANDS			
Water Provider: PRIVATE	Sewer Provider: PRIVATE			
Applicant Information				
Applicant Name: W.WAYNE BAKER				
Applicant Address: 15046 Gravel Hill Road				
City: Milton	State: <u>DE</u> ZipCode: <u>19968</u>			
Phone #: 302-684-8569	E-mail: <u>WAYNE@WILSONBAKER.COM</u>			
Owner Information				
Owner Name: W.WAYNE BAKER				
Owner Address: 15046 Gravel Hill Road				
City: Milton	State: <u>DE</u> Zip Code: 19968			
Phone #: (302) 684-8569	E-mail: WAYNE@WILSONBAKER.COM			
Agent/Attorney/Engineer Information				
Agent/Attorney/Engineer Name: MARK	H DAVIDSON PENNONI PROJECT: WBAKX19001			
Agent/Attorney/Engineer Address: 18072	DAVIDSON DRIVE			
City: MILTON	State: <u>DE</u> Zip Code: <u>19968</u>			
	E-mail: MDAVIDSON@PENNONI.COM			









Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

<u> </u>	Completed Application	e de la companya del companya de la companya del companya de la co	
✓.	parking area, proposed ent	ion of existing or proposed building(s), building setbacks,	
<u> </u>	Provide Fee \$500.00		
420,000	architectural elevations, photos, ex	for the Commission/Council to consider (ex. hibit books, etc.) If provided submit 8 copies and they en (10) days prior to the Planning Commission meeting.	
✓	subject site and County staff will c	will be sent to property owners within 200 feet of the ome out to the subject site, take photos and place a sign ne of the Public Hearings for the application.	
<u> </u>	DelDOT Service Level Evaluation R	equest Response	
	PLUS Response Letter (if required)		
	gned hereby certifies that the forms	s, exhibits, and statements contained in any papers or true and correct.	
Zoning Com and that I w needs, the I	mission and the Sussex County Cou ill answer any questions to the best	Il attend all public hearing before the Planning and ncil and any other hearing necessary for this application of my ability to respond to the present and future order, prosperity, and general welfare of the inhabitants	
Signature (of Applicant/Agent/Attorney	_ Date: 9/3/2019	
Signature ℓ	of Owner and Oak	Date:	
		Fee: \$500.00 Check #: 1368 Application & Case #: 2019 10148	
Subdivision: Date of PC He	earing:	Recommendation of PC Commission:	
Date of CC He	 	Decision of CC	



PARTICULAR DESCRIPTION LANDS NOW OR FORMERLY OF

W. WAYNE BAKER

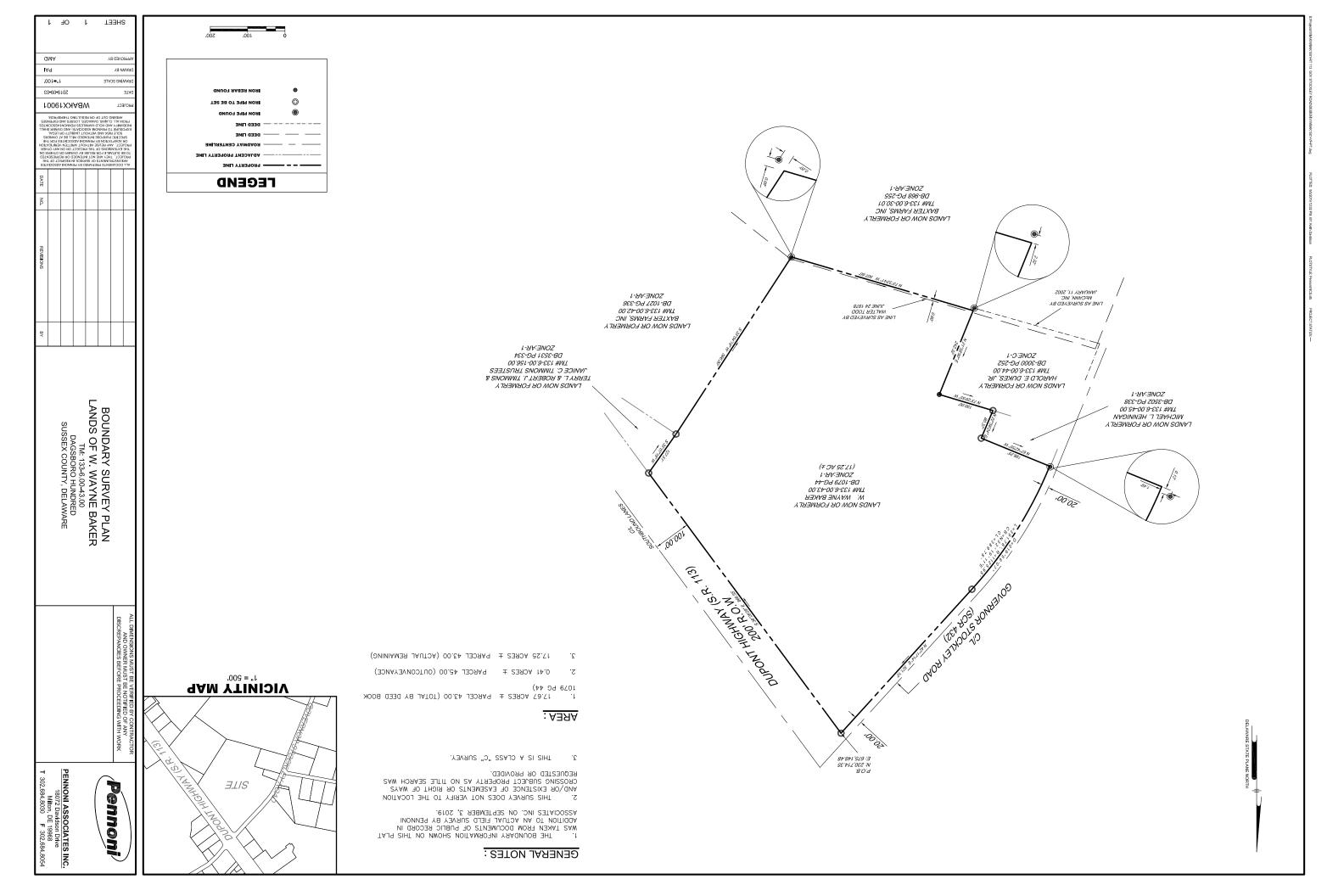
DEED BOOK 1079, PAGES 44 TO 47

TAX MAP 133-6.00-43.00

All that certain tract, piece, or parcel of land situate, lying and being in the Dagsboro Hundred, Sussex County, Delaware and being more particularly described as follows, to wit:

BEGINNING at the point of intersection of the Southeasterly right-of-way line of State Highway #432 leading from Gumboro to Stockley where it intersects the Southwesterly rightof-way line of State Highway #113 (Dupont State Highway), said point being an iron pipe to be set; thence along the Southwesterly right-of-way line of said State Highway #113 South 36 degrees 28 minutes 29 seconds East a distance of 866.55 feet to an iron pipe to be set; thence South 35 degrees 07 minutes 19 seconds West a distance of 127.51 feet to an iron pipe to be set; thence South 33 degrees 04 minutes 19 seconds West a distance of 566.00 feet to a found iron pipe; thence North 73 degrees 33 minutes 41 seconds West a distance of 507.60 feet to a found iron pipe; thence North 21 degrees 58 minutes 50 seconds East a distance of 242.32 feet to a found iron rebar; thence North 73 degrees 20 minutes 55 seconds West a distance of 150.00 feet to an iron pipe to be set; thence North 22 degrees 58 minutes 24 seconds East a distance of 80.37 feet to an iron pipe to be set; thence North 67 degrees 42 minutes 55 seconds West a distance of 198.25 feet to a found iron pipe, said point being on the Southeasterly right of way line of State Highway #432 and on a curve concave to the right having a radius of 1125.95 feet; thence continuing along said curve a distance of 391.76 feet to an iron pipe to be set; thence North 42 degrees 17 minutes 14 seconds East a distance of 521.10 feet to an iron pipe to be set, said point also being the **POINT OF BEGINNING**.

This tract contains **751,102 square feet**, or **17.25 acres** of land, more or less.





STATE OF DELAWARE

DEPARTMENT OF TRANSPORTATION

800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN SECRETARY

August 21, 2019

Ms. Janelle Cornwell, Director Sussex County Planning & Zoning P.O. Box 417 Georgetown, DE 19947

Dear Ms. Cornwell:

The Department has completed its review of a Service Level Evaluation Request for the **Wayne Baker** rezoning application, which we received on July 29, 2019. This application is for an approximately 17.24-acre parcel (Tax Parcel: 133-6.00-43.00). The subject land is located on the southwest corner of the intersection of US Route 113 and Governor Stockley Road (Sussex Road 432), south of the Town of Georgetown. The subject land is currently zoned as AR-1 (Agricultural Residential) and the applicant is seeking to rezone the land to C-3 (Heavy Commercial) to develop a community commercial complex with warehousing.

Per the 2018 Delaware Vehicle Volume Summary, the annual average and summer average daily traffic volumes along the segment of US Route 113 where the subject land is located, which is from Shortly Road / S. Bedford Street (Sussex Road 431) to Delaware Route 20, are 25,127 and 32,338 vehicles per day, respectively. As the subject land also has frontage along Governor Stockley Road, the annual average and summer average daily traffic volumes along that road segment, which is from US Route 113 to Delaware Route 20, are 6,844 and 8,808 vehicles per day, respectively.

Our volume-based criteria for requiring a traffic impact study (TIS), addressed in Section 2.2.2.1 of the <u>Development Coordination Manual</u>, are that a development generates more than 500 trips per day or 50 trips during a weekly peak hour. While it seems that the above criteria could be met, we presently cannot predict the site's trip generation with enough accuracy to make a TIS useful. Thus, we recommend that this rezoning application be considered without a TIS and that the need for a TIS be evaluated when a subdivision or land development plan is proposed.

The subject property is adjacent to US Route 113, thereby is subject to the Department's Corridor Capacity Preservation Program. The main goal of the Program is to maintain the capacity of the existing highway by minimizing and consolidating the number of direct driveway access points on the arterial highway. The Program was established in accordance with the provisions of Title 17, Section 145 of the Delaware Code. According to the Office of State Planning, *Strategies for State Policies and Spending document*, the property is located within a Level 4 Investment Area. In a Level 4 Investment Area, State policies



Ms. Janelle M. Cornwell Page 2 of 2 August 21, 2019

encourage the preservation of a rural lifestyle and discourage new development. Per Program policy, if a property has reasonable alternative access to a secondary road, no direct access to the corridor will be permitted. In this case, the property has reasonable secondary access along Governor Stockley Road. Therefore site access would be granted along the secondary road. The Corridor Capacity Preservation Program policy can be viewed on Department's website at www.deldot.gov.

If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence or Mr. Thomas Felice, at (302) 760-2338, if you have questions concerning the Corridor Capacity Preservation Program.

Sincerely,
T. William Bookonbourf of

T. William Brockenbrough, Jr.

County Coordinator

Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues Wayne Baker, Applicant

J. Marc Coté, Assistant Director, Development Coordination

Thomas Felice, Corridor Capacity Preservation Program Manager, Development Coordination

Gemez Norwood, South District Public Works Manager, Maintenance & Operations Susanne K. Laws, Sussex County Review Coordinator, Development Coordination

Derek Sapp, Subdivision Manager, Development Coordination

Brian Yates, Subdivision Manager, Development Coordination

John Andrescavage, Subdivision Manager, Development Coordination

Kevin Hickman, Subdivision Manager, Development Coordination

Troy Brestel, Project Engineer, Development Coordination

Claudy Joinville, Project Engineer, Development Coordination

1124

609 1079 PG 44

This Beed, Made this

our LORD one thousand nine hundred and eighty-one,
BETWEEN, BESSIE M. BAKER, widow, of 204 West Market Street, Georgetown,
Delaware 19947, party of the first part,

A N D

W. WAYNE BAKER, of P.O. Box 323, Rehoboth Beach, Delaware 19971, party of the second part,



Withremseth, That the said party of the first part, for and in consideration of the sum of ONE DOLLAR (\$1.00),

lawful money of the United States of America, the receipt whereof is hereby acknowledged, hereby grants and conveys unto the said party of the second part, all her right, title and interest, in and to

TRACT I. ATE THAT certain tract, piece and parcel of land, situate and lying in Dagsboro Hundred, Sussex County, Delaware, on the road from Shortley to Gumboro, and more particularly described as follows, to wit: BEGINNING at a post at the Southwest corner of the lands of Charles S. Richards, and in line with these lands; thence along the lands of Charles S. Richards North 37-1/2 degrees East 73 perches to a post in corner of Cross Roads; thence continuing with the lands of Charles S. Richards, South 74-1/2 degrees East 52.7 perches to a post in an old pine stump and corner for lands of James M. Tunnell, formerly the lands of Henry Vinson; thence along the lands of James M. Tunnell North 3 degrees West 31 perches to a post in an old spanish oak stump; thence continuing along the lands of James M. Tunnell, North 16-3/4 degrees West 27.7 perches to a white oak stump with a plow share thereon, and corner for lands of Elwood Workman, formerly lands of

LAW OFFICES.

WILSON, HALBROOK, BAYARD, BUNTING & MARSHALL WEST MARKET STREET GEORGETOWN, DELAWARE 19947 William Brasure; thence along the lands of Elwood Workman North 65-3/4 degrees West 70.5 perches to a post; thence North 47-3/4 degrees West 86 perches to a post a corner for lands of Louder Mitchell; thence along the lands of Louder Mitchell and Greensbury B. Elliott, South 42+1/4 degrees West 120 perches or such distance as is required to the run of Shealy's Branch Canal; thence along the run of Shealy's Branch Canal the following nineteen courses: South 61-1/4 degrees East 28 perches, thence South 34 degrees East 10.3 perches, thence South 62-1/2 degrees East 9.8 perches, thence South 45 degrees East 7.3 perches, thence South 4-1/4 degrees East 7.6 perches; thence South 33-3/4 degrees East 7 perches, thence South 53 degrees East 9 perches thence South 36-1/2 degrees East 6.3 perches, thence South 52-1/4 degrees East 6 perches, thence South 29-1/4 degrees East 6 perches, thence South 63-1/2 degrees East 20 perches, thence South 71-1/4 degrees East 15 perches, thence South 37 degrees East 5 perches, thence South 56 degrees East 6 perches, thence South 9-1/2 degrees East 8.5 perches, thence South 2-1/4 degrees West 6 perches, thence South 22 degrees East 7.5 perches, thence South 8-3/4 degrees East 3.7 perches, thence South 37-1/4 degrees East 5.6 perches, thence leaving said Shealy's Branch Canal North 37-1/2 degrees East 21 perches to a post the Southwest corner of Charles S. Richards land the place of beginning, containing one hundred and twenty-five (125) acres of land be the same more or less.

TRACT II. ALL THAT certain tract, piece or parcel of land situate, lying and being in Dagsboro Hundred, Sussex County, Delaware, and more particularly described as follows, to wit: BEGINNING at the point of intersection of the Southeasterly right-of-way line of State Highway #432 leading from Gumboro to Stockley where it intersects the Southwesterly right-of-way line of State Highway #113 (DuPont State Highway); thence along the Southwesterly right-of-way line of said State Highway #113 South 28 degrees 42 minutes East 863 feet to lands of P. Timmons; thence along the line of lands of P. Timmons and Joseph B. Marvel the following two courses; South 42 degrees 48 minutes
West 130 feet to a stone, South 40-3/4 degrees West 566 feet to a stake, corner for lands of Fred Marvel; thence along the line of lands of Fred Marvel
North 65 degrees 53 minutes West 508 feet to line of lands of Mack Hudson; thence around the lot of Mack Hudson the following two courses; North 29-3/4

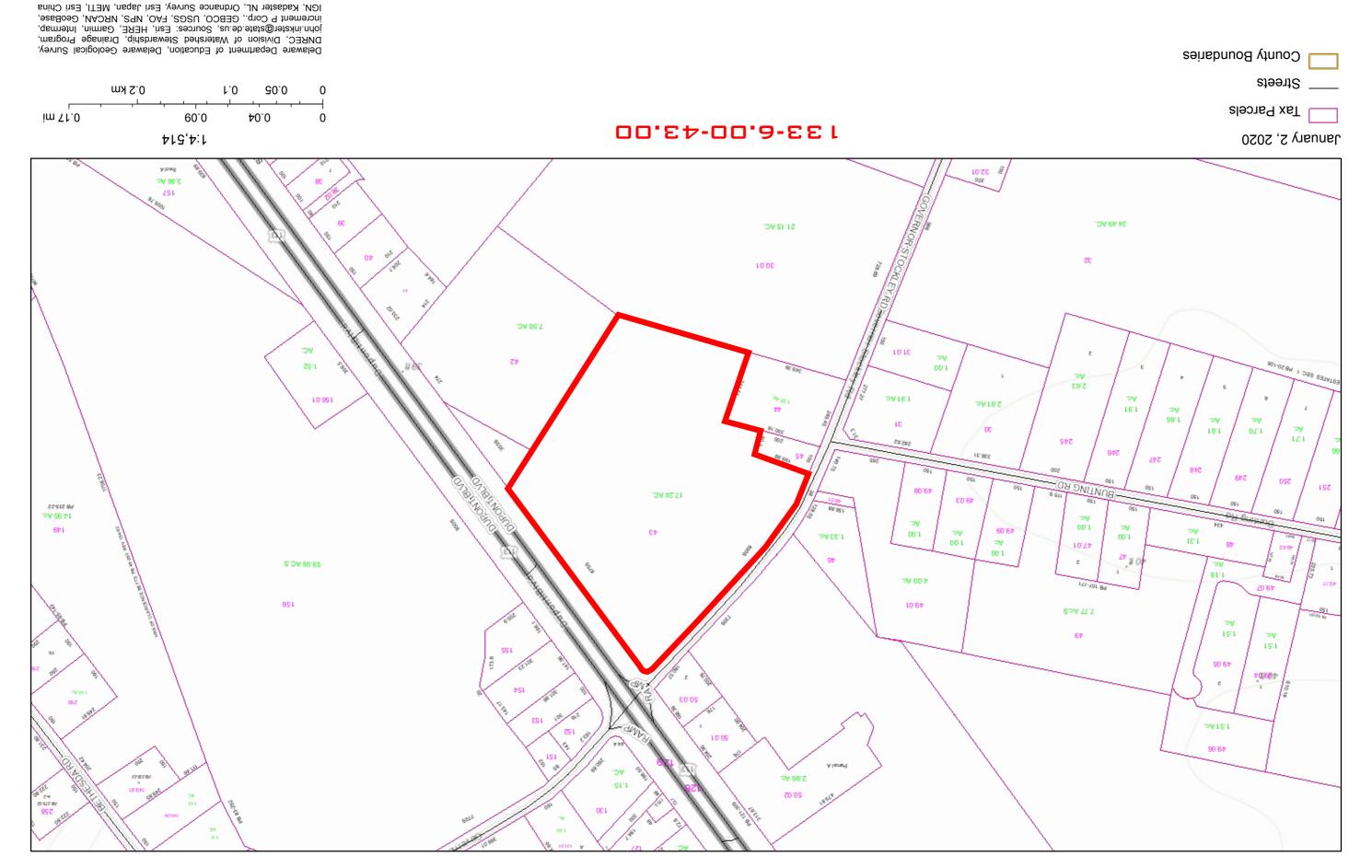
WILSON, HALBROOK, BAYARD, BUNTING & MARSHALL WEST MARKET STREET GEORGETOWN, DELAWARE 19947 degrees East 249 feet, North 65 degrees 53 minutes West 350 feet to the Southeasterly right-of-way line of State Highway #432; thence along the Southeasterly right-of-way line of said Highway leading from Gumboro to Stockley the following six courses; North 29-3/4 degrees East 111.5 feet; North 33 degrees 46 minutes East 100 feet; North 38 degrees 18 minutes East 100 feet; North 43 degrees 26 minutes East 100 feet; North 50 degrees East 100 feet; North 50-1/4 degrees East 500 feet, home to the beginning intersection containing Seventeen and Two-thirds (17-2/3) acres of land, be the same more or less.

BEING the same lands conveyed unto this Grantor and this Grantee by deed of Eugene H. Bayard, dated December 28, 1977, and now of record in the Office of the Recorder of Deeds, in and for Sussex County, at Georgetown, Delaware, in Deed Book 875, Page 67, &c.

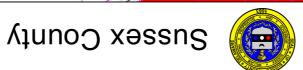
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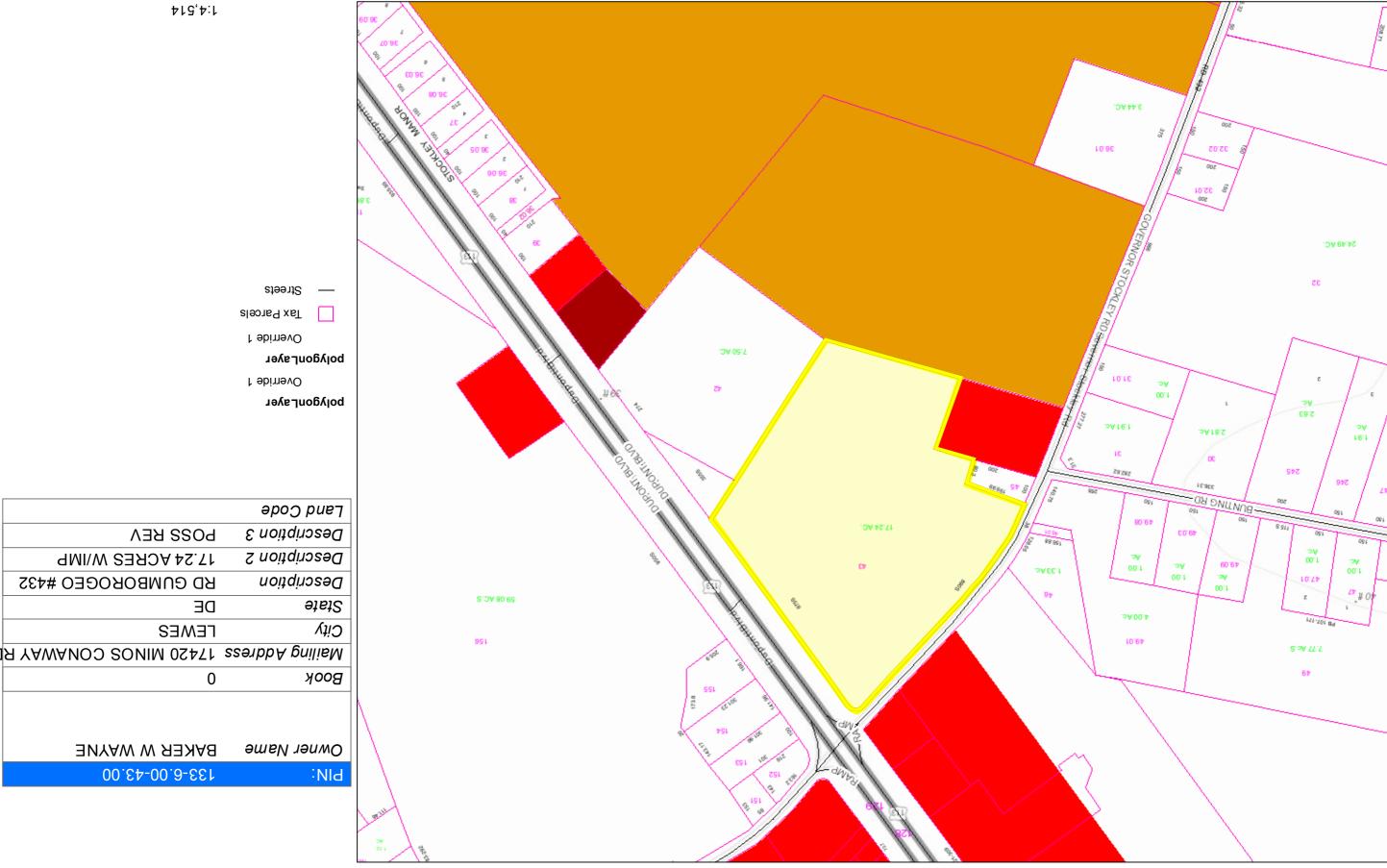
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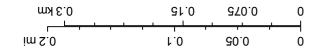
600x1079 PAGE 47



Sussex County







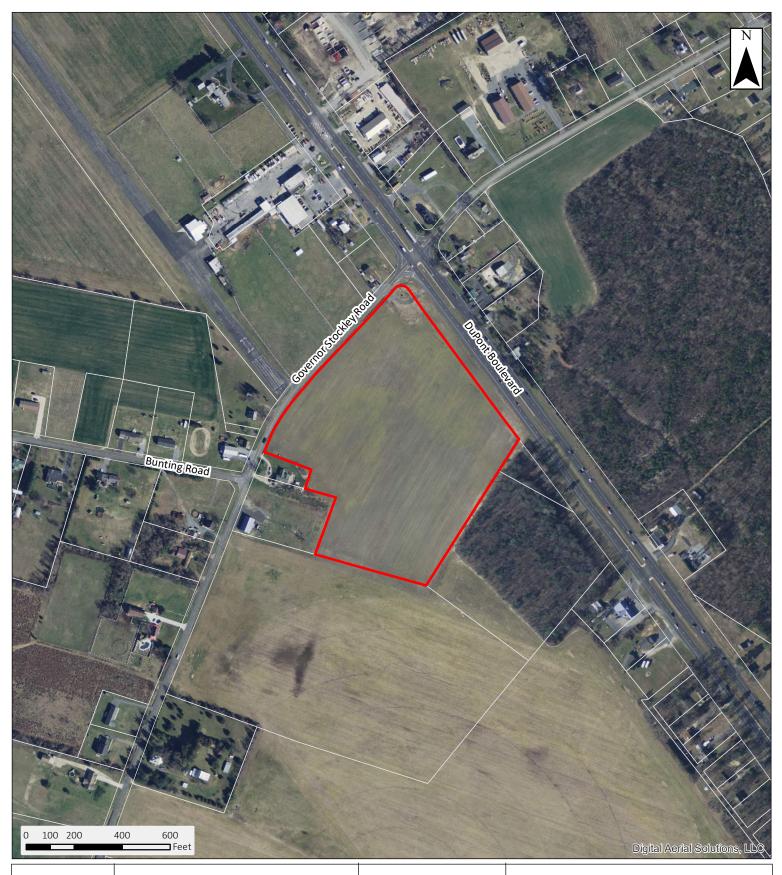
LANDS NOW OR FORMERLY
TERRYL, & ROBERT J. TIMMONS &
TAMPS WORN TO TIMMONS TO THE STANDING TO THE STANDING TO THE STANDING STANDIN SHEET DB-1027 PG-330 DB-1027 PG-330 COMMUNITY COMMERCIAL USES THAT DO NOT HAVE OUTSIDE STORAGE OR SALES, LOCATED NEAR ARTERIAL AND COLLECTOR STREETS. IT ACCOMMODATES LANDS NOW OR FORMERLY
BAXTER FARMS, INC amajahm SEOVED BY PROFESSIONAL AND SERVICES BUSINESSES. THE DISTRICT SHALL BE PRIMARILY MHD YB NWA PERFORMANCE OF CONSUMER SERVICES, IT PERMITS A VARIETY OF RETAIL, ا.=90، PURPOSE. THIS DISTRICT SUPPORTS USES THAT INCLUDE RETAIL SALES AND 5019-09-25 WBAKX19001 ARTICLE XIC C-2 MEDIUM COMMERCIAL DISTRICT REZONING BUBBLE PLAN
LANDS OF W. WAYNE BAKER
TM: 133-6.00-43.00
DAGSBORO HUNDRED
SUSSEX COUNTY, DELAWARE LOCAL ROAD | 40' - 60' R.O.W. | 1,368 A.D.T. COMERCIAL DISTRICT AIRSTRIPRUNTE COMERCIAL DISTRICT **ЭОИАЯТИЭ ОЭВОЧОЯЧ** RTICLE XI C-1 GENERAL Pennoni

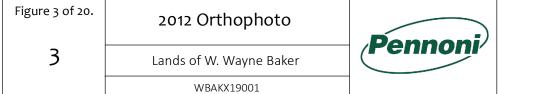


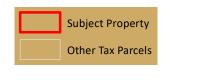








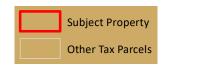






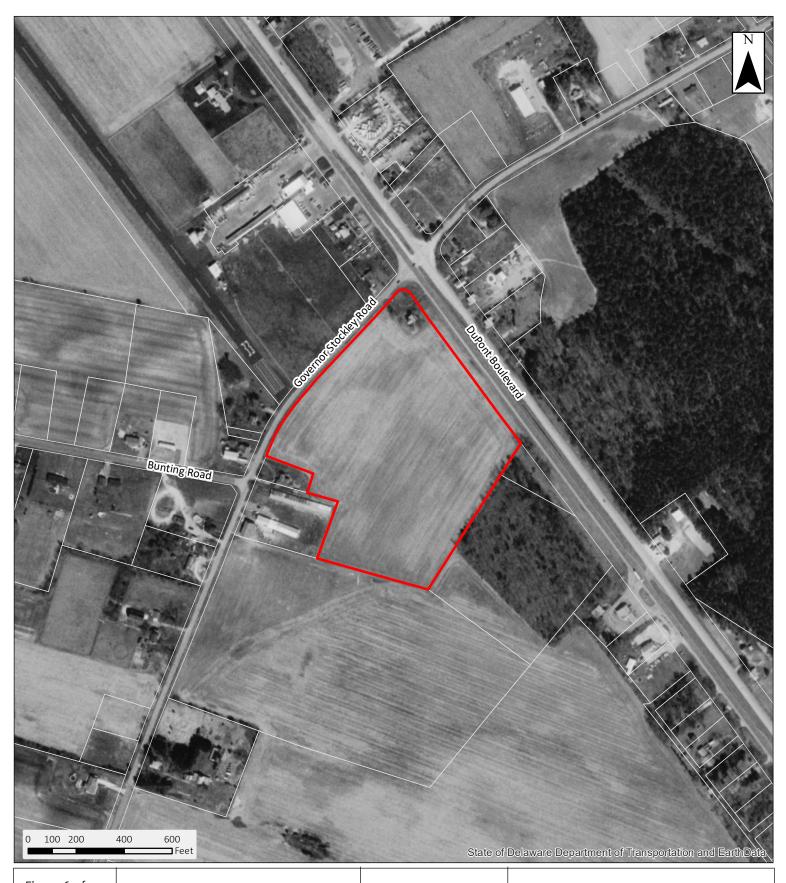






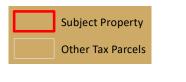








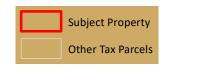


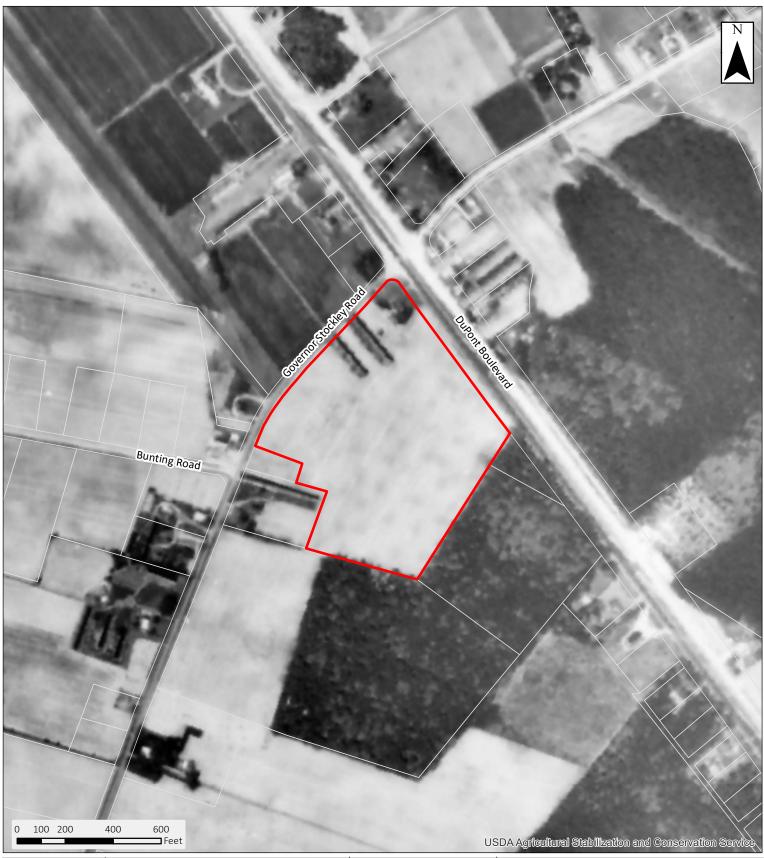




7 1992 Orthophoto
Lands of W. Wayne Baker
WBAKX19001



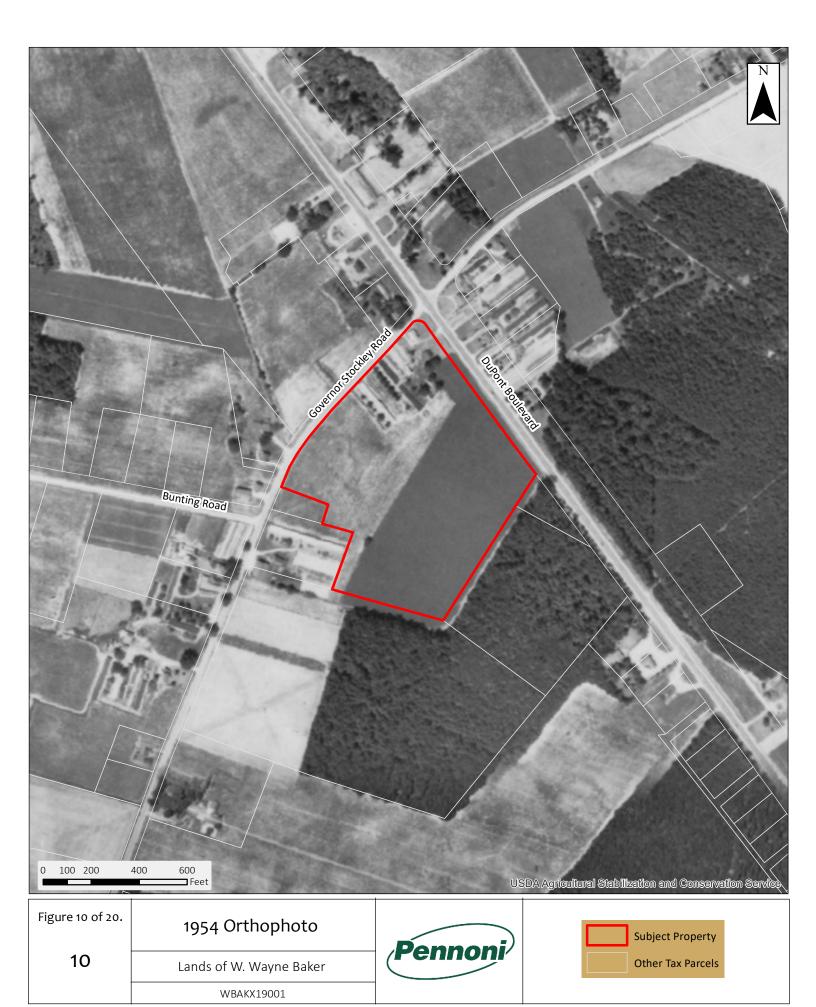












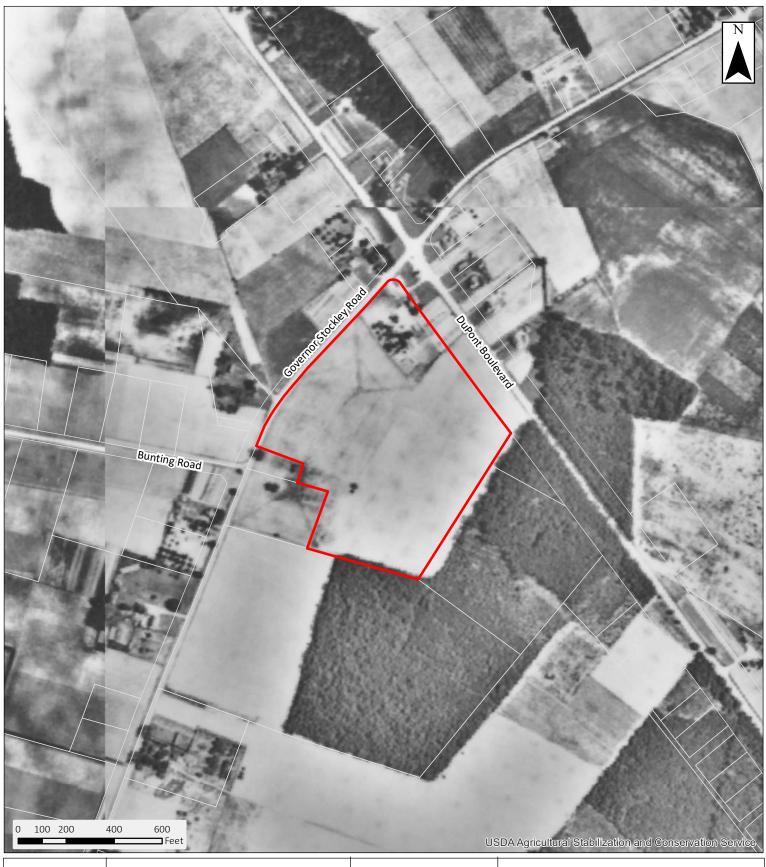






Figure 12 of 20.

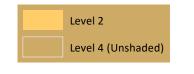
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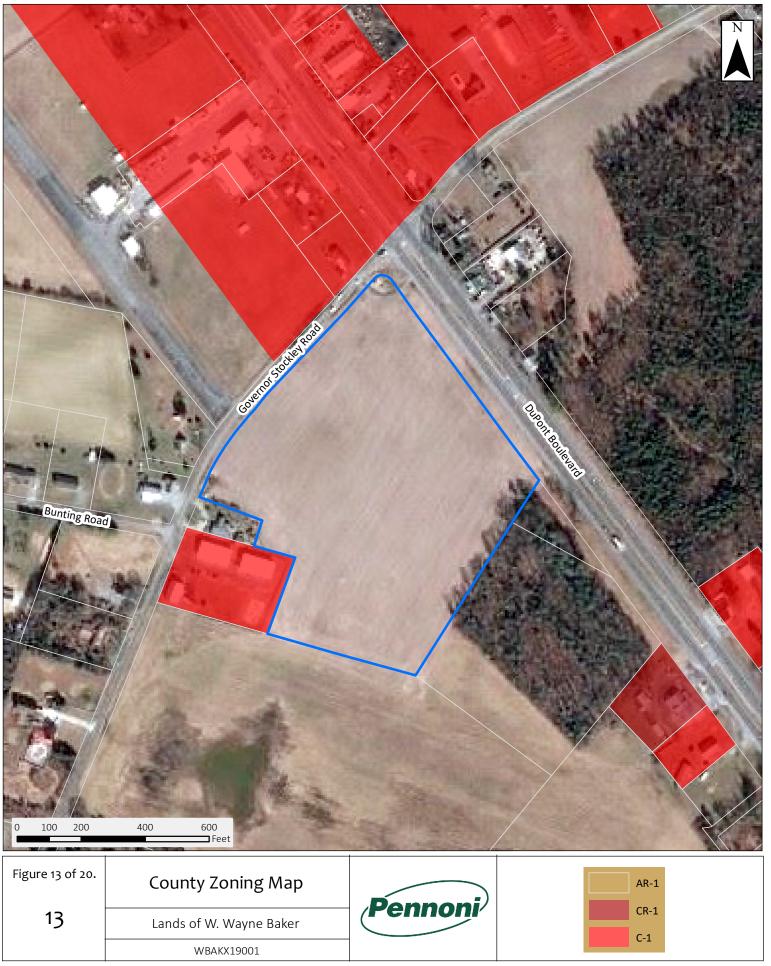
2015 State Strategies & Investment Levels

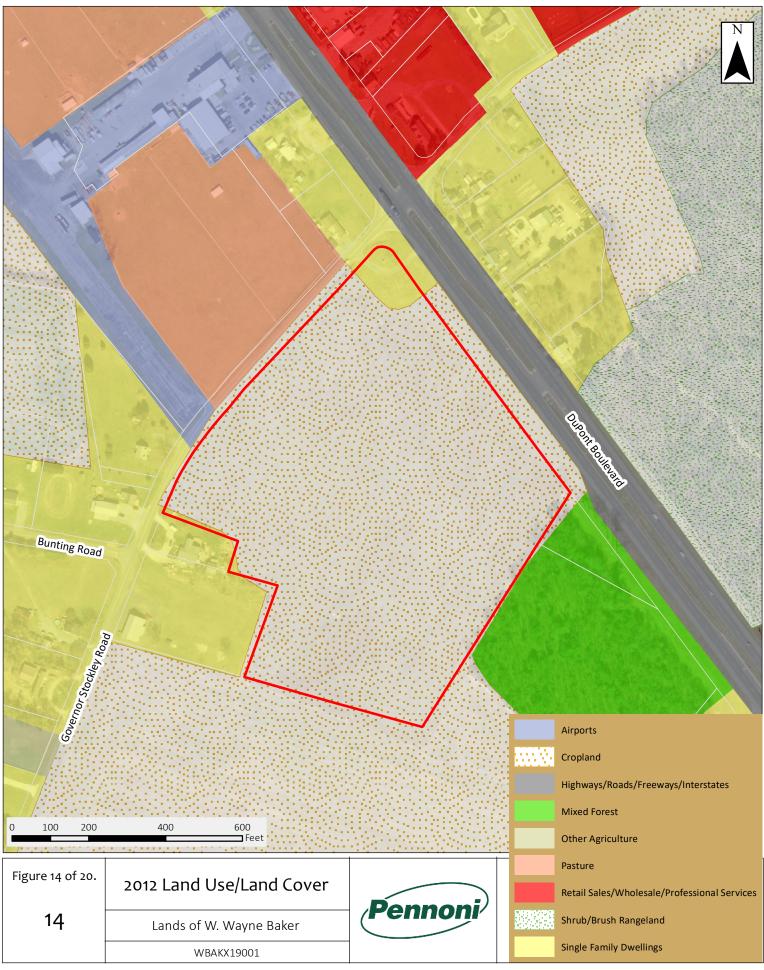
Lands of W. Wayne Baker

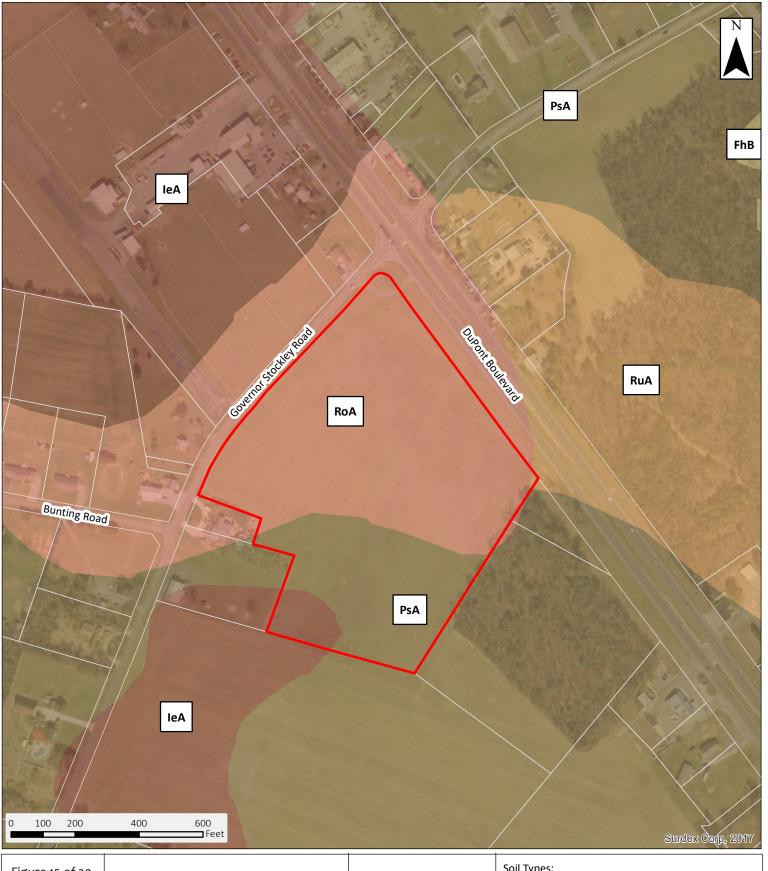
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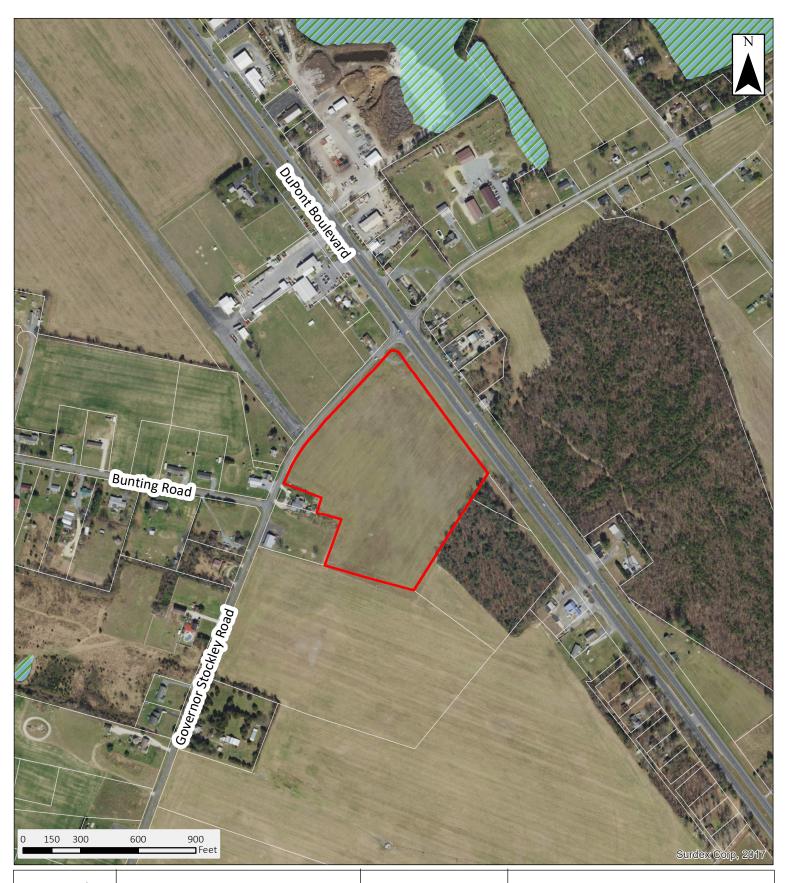


Figure 16 of 20.

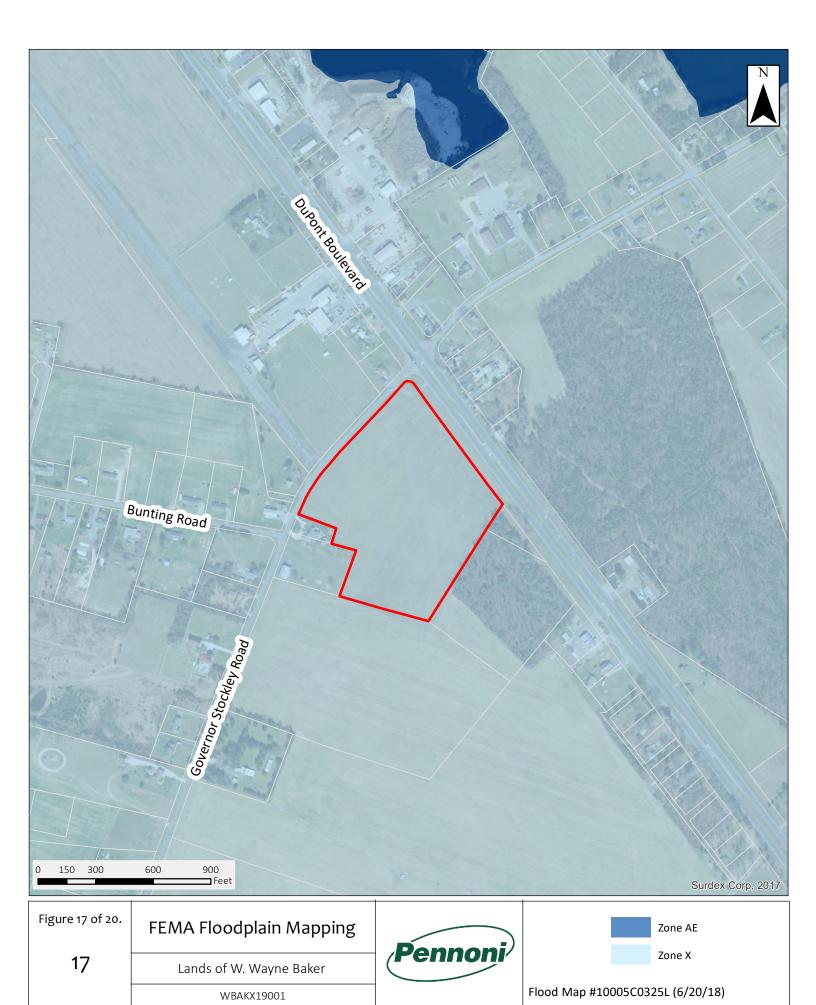
State Wetlands Mapping

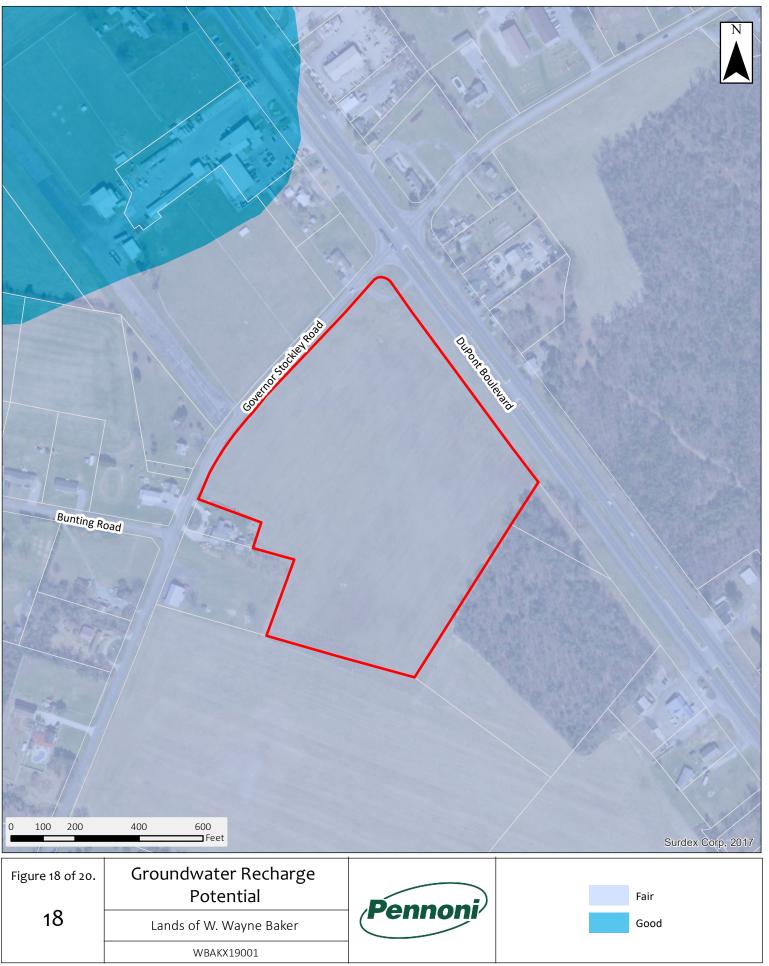
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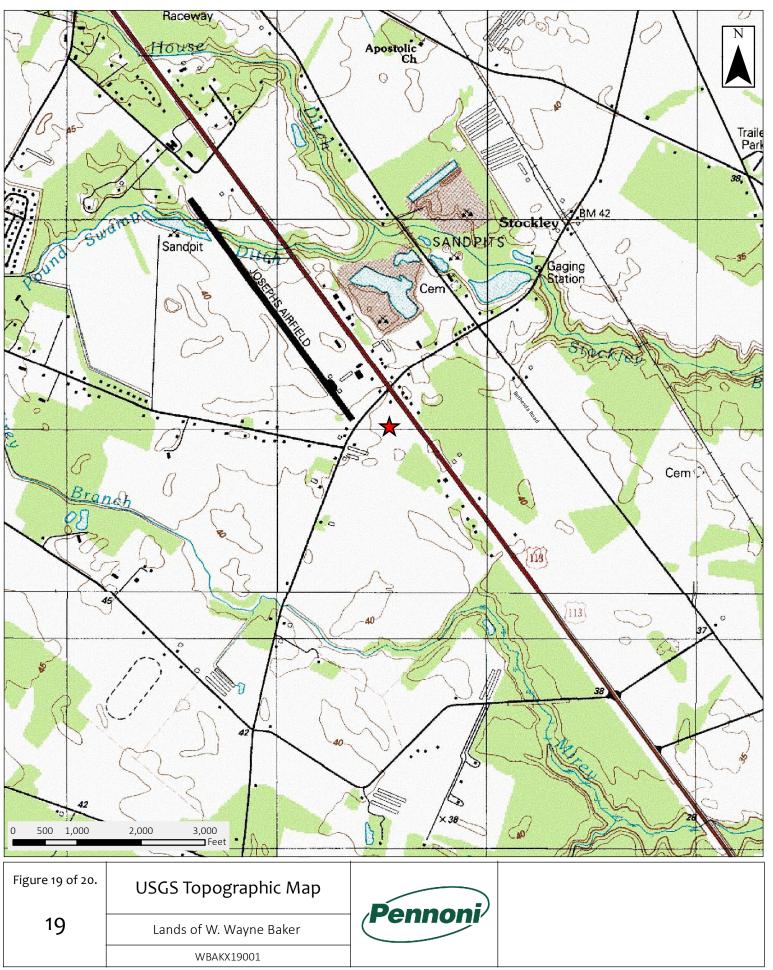
Lands of W. Wayne Baker
WBAKX19001

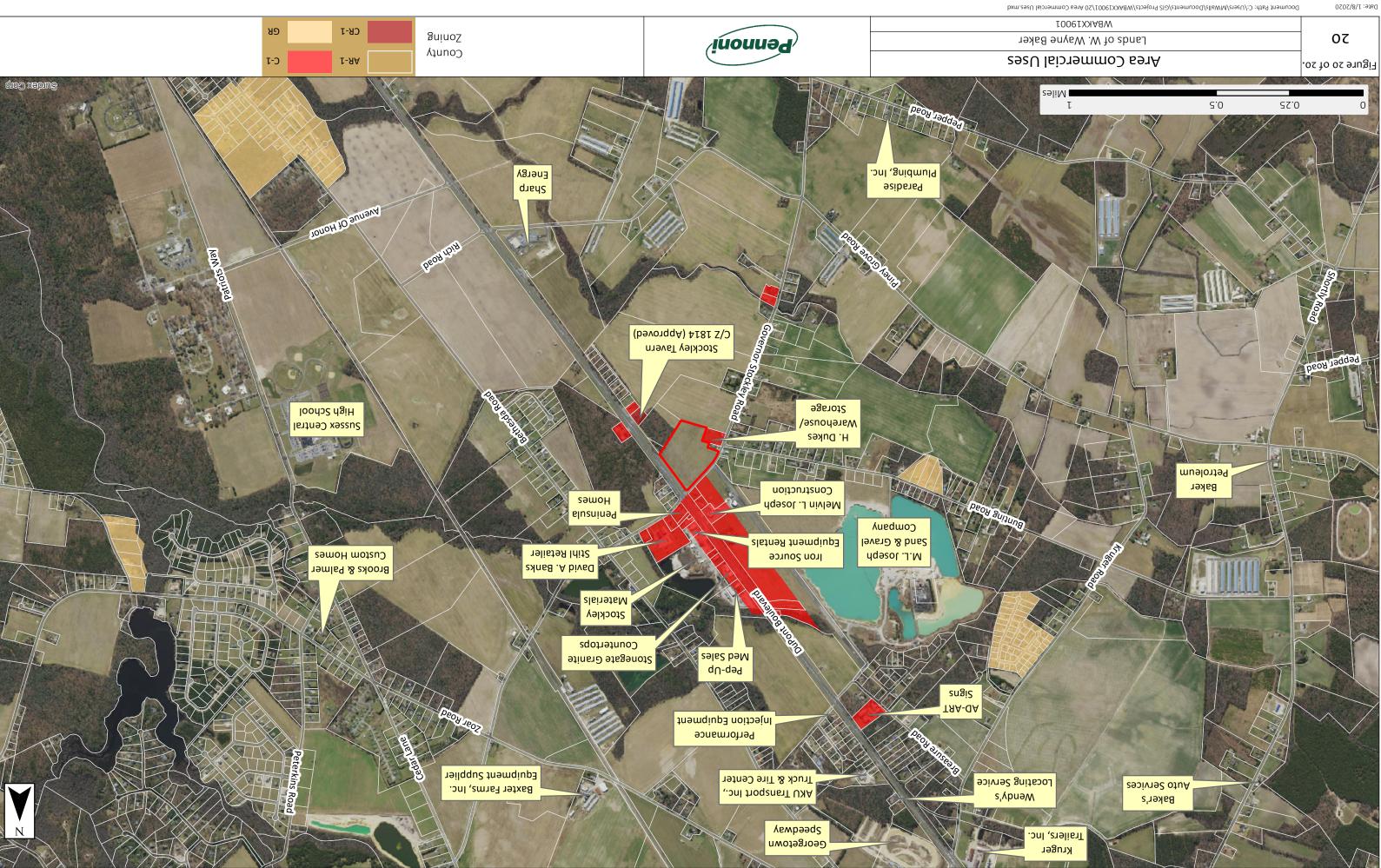












WAYNE W. BAKER

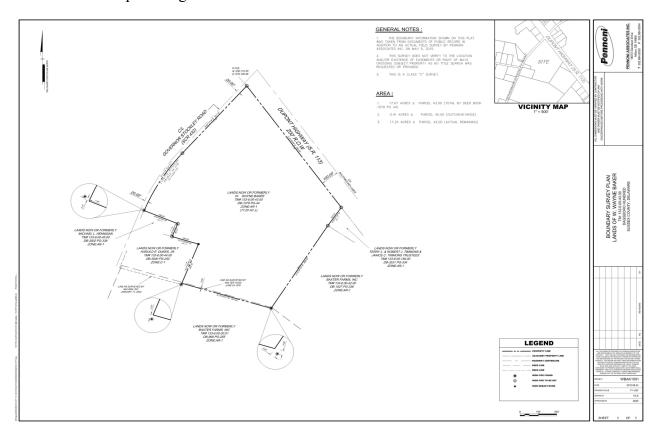
CHANGE OF ZONE #1903

PROPOSED FINDINGS OF FACT

1. This is an application to grant a rezoning of a portion of lands in a AR-1 Agricultural Residential District located on 17.25 acres, more or less in the Dagsboro Hundred located on the south west corner of DuPont Highway | U.S. Route 113 and Governor Stockley Road | Sussex County Route 432 to C-2, Medium Commercial District.



2. The applicant is Wayne w. Baker The subject property has been in the Baker Family since January 1964. Mr. Baker is owner of Baker Petroleum; family owned and operated since 1952, Baker Petroleum has spent more than half a century as one of Southern Delaware's leading energy companies. They serve all of Sussex and part of Kent Counties with the dependable delivery of propane, heating oils, diesel fuel and gasoline. They operate a number of convenient stores that provide goods a services to local communities in Delaware.

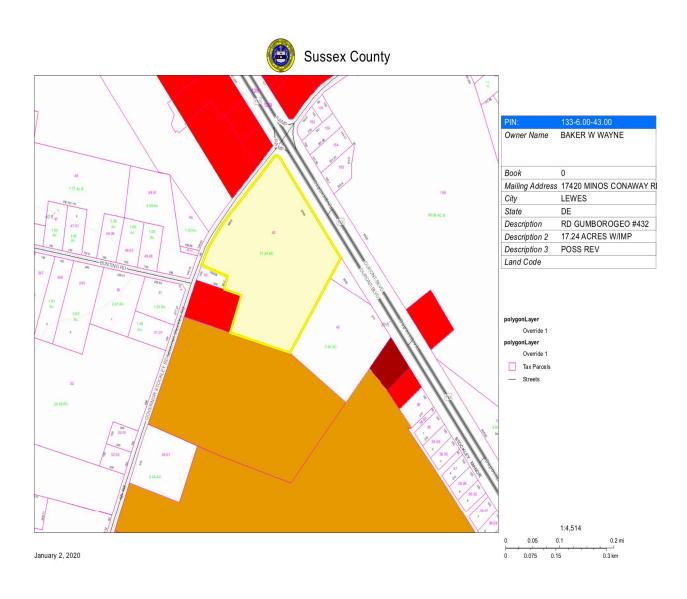


3. The property is identified on the tax maps of the Sussex County Department of Finance as Tax Map No. 133-6.00 Parcel 43.00.

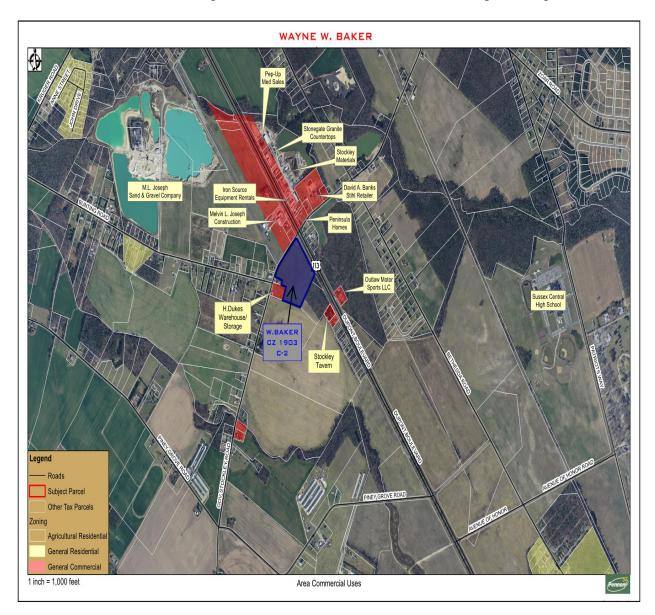




- 4. The properties are bordered on:
 - a. North and West with US RT 113 (DuPont highway and Governor Stockley Road;
 - b. South by AR-1 Lands in AG Preservation and C-1 Commercial Lands;
 - c. and on the East with Agricultural Residential Lands



5. The Commercial Zoning is in the vicinity of other commercial zoned property and uses and will not diminish or impair property values within the neighborhood; will not create a public nuisance; or result in an increase in public expenditures.

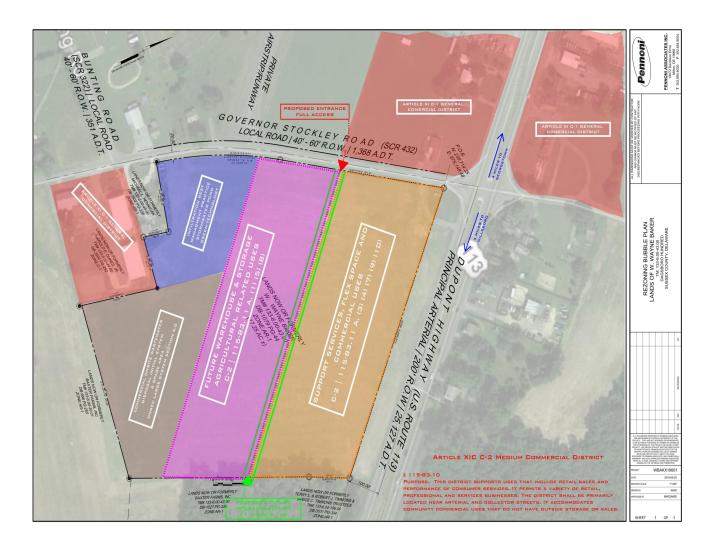


6. In the 2019 Sussex County Comprehensive Plan – the property proposed for rezoning for commercial property is identified to be in a Low-Density area and business development should be largely confined to businesses addressing the needs of nearby homes and agricultural activities. Since the comprehensive plan is a guide for the future use of land, the County's official zoning map must be consistent with the uses and intensities of uses provided for in the Future Land Use Plan. Table 4.5-2 is provided below to provide a tool for assisting with determining which zoning districts are applicable to each future land use category.

Table 4.5-2 Zoning Districts Applicable to Future Land Use Categories	
FUTURE LAND USE PLAN CATEGORY	APPLICABLE ZONING DISTRICT
RURAL AREAS	
	Agricultural Residential District (AR-1)
	Business Community District (B-2)
Low Density	Medium Commercial District (C-2)
	Marine District (M)
	Institutional District (I-1)
	New Zoning Districts

- 7. In Ordinance 2550, Sussex County Council desired to create a more specific C-2 Medium Commercial zoning district with smaller, more related uses within the District to promote better planning and predictability within Sussex County.
- 8. The purpose of the C-2 Medium Commercial District is to support uses that include retail sales and performance of consumer services. It permits a variety of retail, professional and service businesses. The district shall be primarily located near arterial and collector streets. It accommodates community commercial uses that do not have outside storage or sales.

9. The granting of this application for the commercial rezoning will allow the Baker Family to plan for the future as the will to continue to promote their convenient store with gas pumps that will provide for the sale of convenience goods and personal services for the day-to-day living needs of nearby existing and future communities. Warehouse, storage and other uses on the property is all essential to how the Baker's want to develop the property.



- 10. The 2015 Strategies for State Policies and Spending Map identifies the area as Investment Level 4. Developers and property owners will make local roadway improvements as development occurs. All infrastructure needs will be funded by the Developer. Additional public infrastructure that will benefit the community, such as, road improvements and access improvements will be paid for by the Developer.
- 11. There are no wetlands on the property; the property is located in a Flood Zone X Unshaded; there are no historical or natural features on the property; stormwater will be onsite and use infiltration as its primary BMP for handling stormwater runoff; the properties are not in any Groundwater Protection Zones Area; the property will be served by a commercial on-site wastewater disposal and an on-site domestic well; and there are no existing wooded areas on site that will need to be disturbed.
- 12. The proposed rezoning meets the general purpose of the Zoning Ordinance being located in an appropriate location meeting the purpose of this district and the future land use plans, strategies and objectives of the comprehensive plan that promotes growth and development through community design, mobility, utilities, transportation and economic development in an area where a general mixture of commercial and service activity now exists, which is essential and desirable for the general convenience, orderly growth, prosperity and welfare of the County.

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN KIM HOEY STEVENSON, VICE-CHAIRMAN R. KELLER HOPKINS J. BRUCE MEARS HOLLY J. WINGATE





DELAWARE sussexcountyde.gov 302-855-7878 T 302-854-5079 F JANELLE CORNWELL, AICP DIRECTOR

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET Planning Commission Public Hearing Date January 23, 2020.

Application: (CZ 1904) Dry Acres, LLC

Applicant: Jill A. Cicierski

16808 Gravel Hill Road

Milton, DE 19968

Owner: Dry Acres, LLC

16973 Island Farm Lane

Milton, DE 19968

Site Location: Located on the southwest corner of the intersection of U.S. Route 9 and

Fisher Road (S.C.R. 262).

Current Zoning: Agricultural Residential (AR-1)

Proposed Zoning: Medium Commercial District (C-2)

Comprehensive Land

Use Plan Reference: Low Density Area

Councilmatic

District: Mr. Burton

School District: Cape Henlopen School District

Fire District: Milton Fire District

Sewer: Private, On-Site

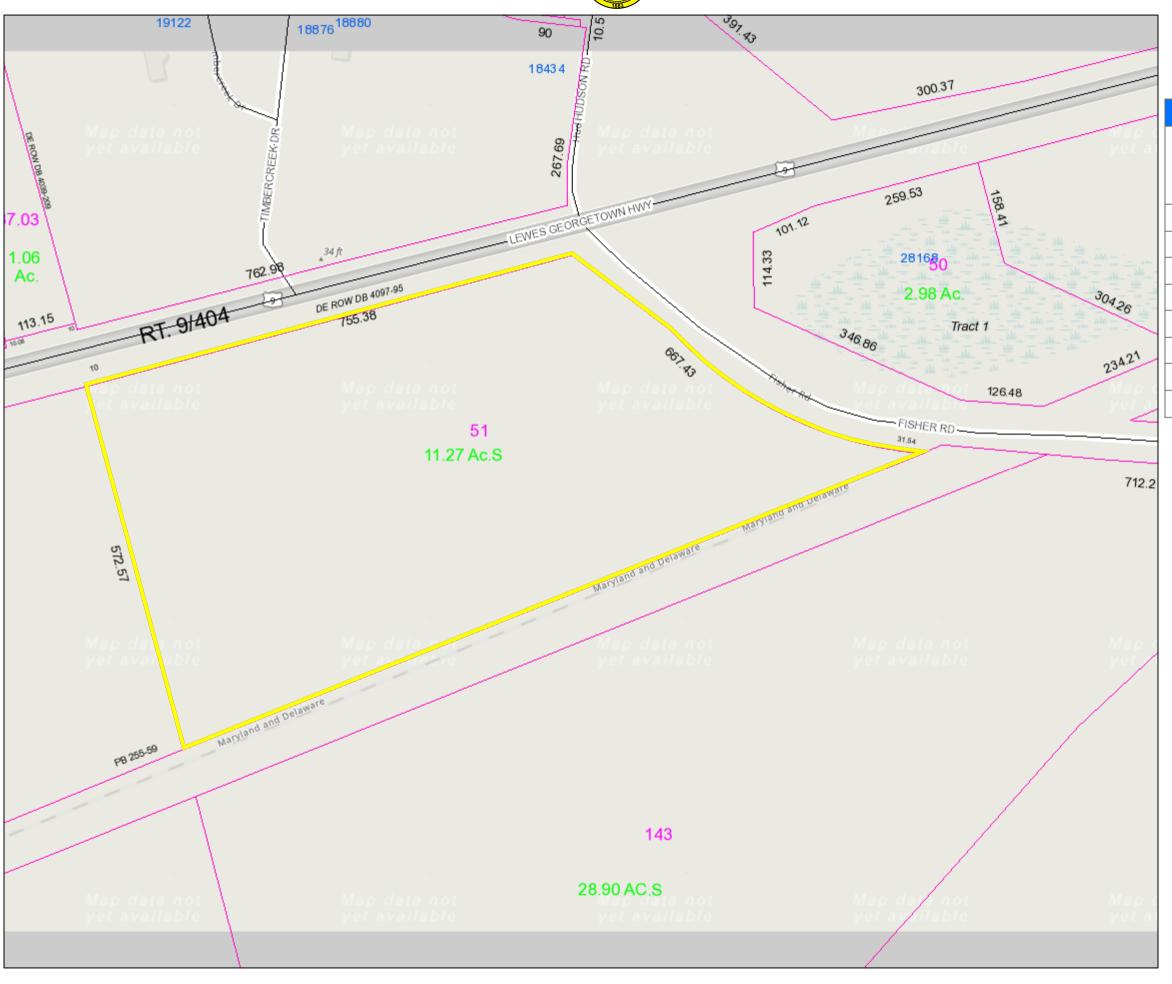
Water: Private, On-Site

Site Area: 10.88 acres +/-

Tax Map ID.: 235-30.00-51.00



Sussex County



PIN:	235-30.00-51.00
Owner Name	DRY ACRES LLC
Book	3802
Mailing Address	16793 ISLAND FARM LN
City	MILTON
State	DE
Description	RD 18
Description 2	FX
Description 3	N/A
Land Code	

polygonLayer

Override 1

polygonLayer

Override 1

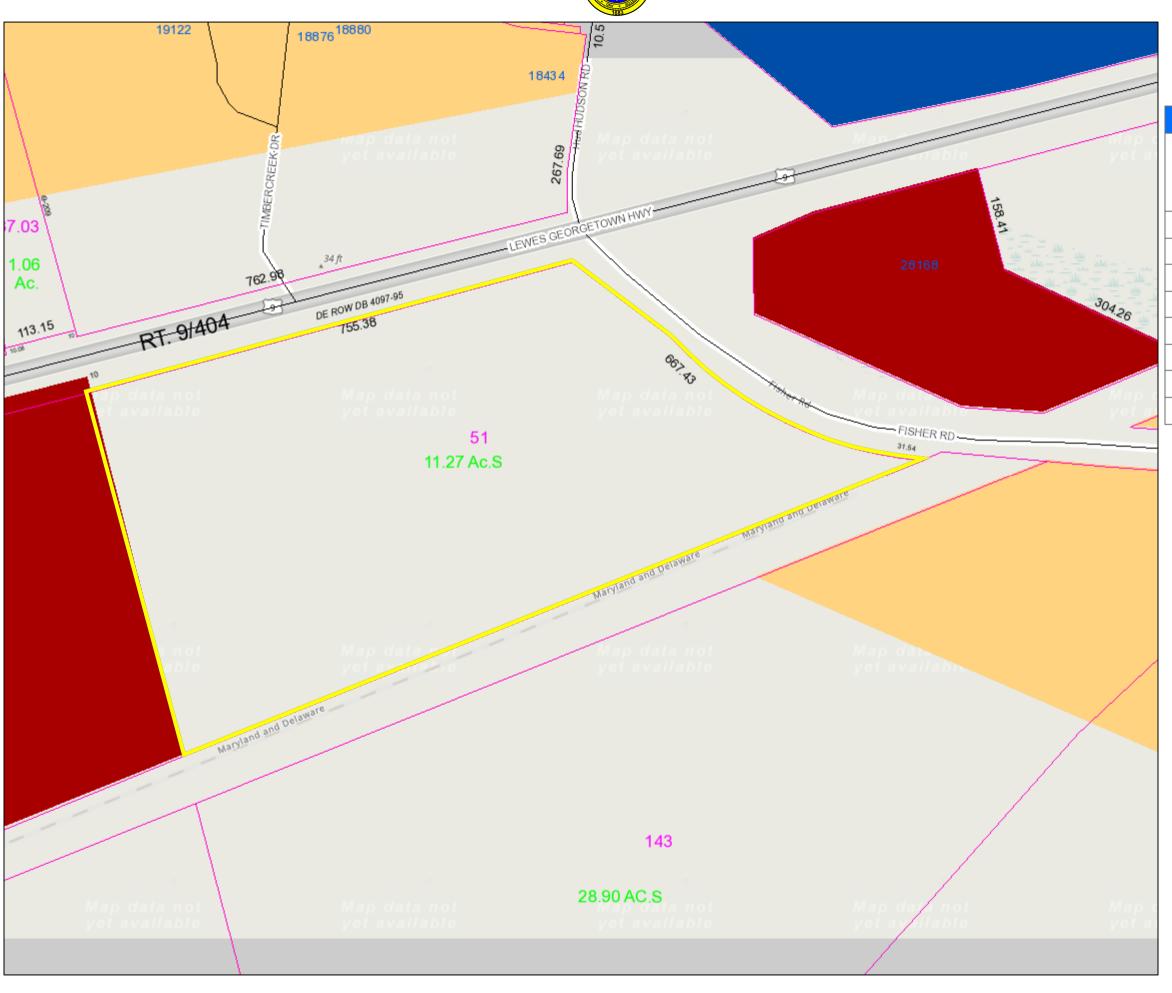
Tax Parcels
911 Address

Streets

County Boundaries

1:2,257 0.0275 0.055 0.11 mi 0.0425 0.085 0.17 km

Sussex County



PIN:	235-30.00-51.00
Owner Name	DRY ACRES LLC
Book	3802
Mailing Address	16793 ISLAND FARM LN
City	MILTON
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Description	RD 18
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Land Code	

polygonLayer

Override 1

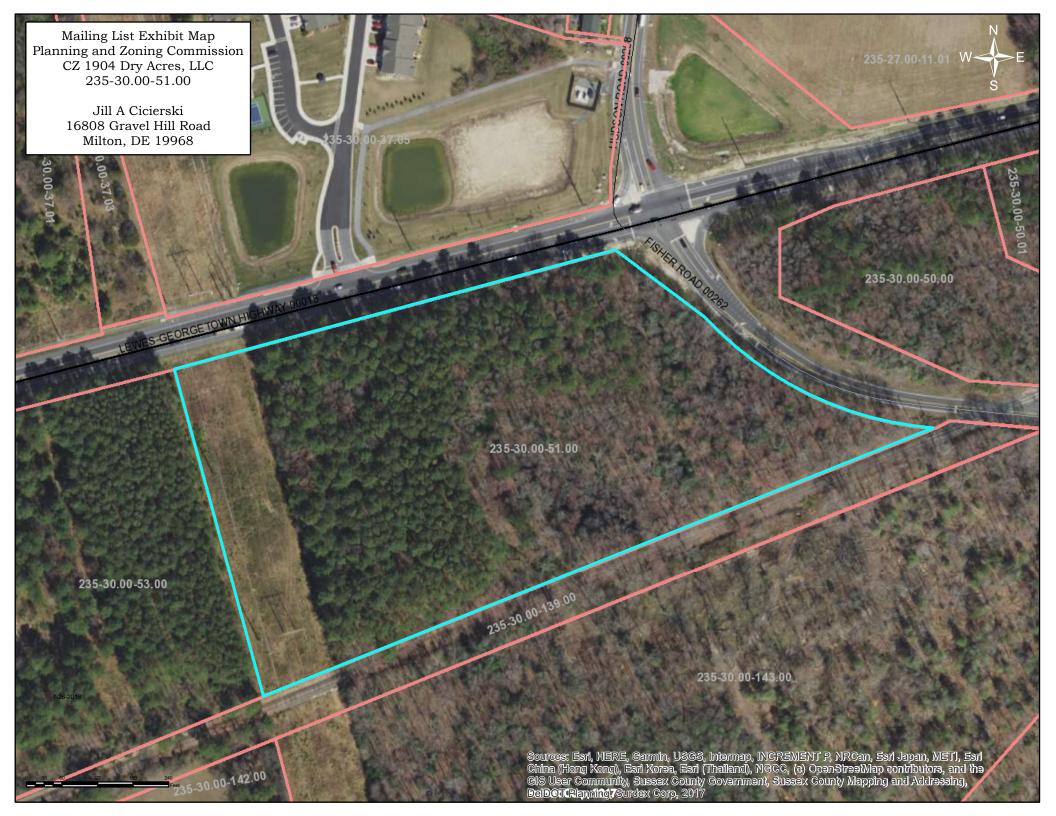
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Override 1

Tax Parcels
911 Address

Streets

1:2,257 0.0275 0.055 0.11 mi 0.0425 0.085 0.17 km



PLANNING & ZONING

JANELLE M. CORNWELL, AICP DIRECTOR

> (302) 855-7878 T (302) 854-5079 F





Memorandum

To: Sussex County Planning Commission Members From: Christin Headley, Planning Technician

CC: Vince Robertson, Assistant County Attorney and applicant

Date: January 16, 2020

RE: Staff Analysis for CZ 1904 Dry Acres, LLC (Jill Cicierski)

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CZ 1904 Dry Acres, LLC (Jill Cicierski) to be reviewed during the January 23, 2020 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Change of Zone for parcel 235-30.00-51.00 to facilitate a change from the Agricultural Residential Zoning District (AR-1) to a Medium Commercial Zoning District (C-2) and is located on the southwest corner of the intersection of Lewes-Georgetown Hwy. (Rt. 9) and Fisher Rd. The size of the property is 10.88 acres +/-.

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the property has the land use designation of "Low Density." This designation applies to the entire parcel.

The parcels to the north and south are designated on the Future Land Use Map as "Low Density Areas". The surrounding land use to the east and west is designated "Existing Development Area". Low Density Areas primarily recognize businesses that support agricultural activities and the development of single-family homes. The focus of retail and office uses in Low Density Areas should be for providing convenience goods and services to nearby residents. It also recognizes that commercial uses should be limited in location, size, and hours of operation and that intense uses should be avoided. The Existing Development Area recognizes that a range of housing types and uses in the neighborhood business and commercial districts are permitted.

Table 4.5-2 "Zoning Districts Applicable to Future Land Use Categories" of the 2018 Sussex County Comprehensive Plan states that the Medium Commercial (C-2) Zoning District may be considered as appropriate in "Low Density" Areas.

The property is zoned AR-1 (Agricultural Residential District). The surrounding parcels are zoned both AR-1 (Agricultural Residential District) and CR-1 (Commercial Residential District).



Staff Analysis CZ 1904 Dry Acres, LLC (Jill Cicierski) Planning and Zoning Commission for January 23, 2020

Since 2011, there has been three (3) Change of Zone applications in the vicinity of the application site; including, Change of Zone No. 1773 which was approved for AR-1 to CR-1 by Sussex County Council on May 21, 2015, Change of Zone No. 1812 which was approved for AR-1 to CR-1 by Sussex County Council on February 23, 2017, and Change of Zone No. 1866 which was approved for AR-1 to I-1 by Sussex County Council on January 24, 2019.

Based on the analysis of the land use, surrounding zoning and uses, a change of zone to allow for a property zoned Medium Commercial (C-2), could be considered as being consistent with the land use, area zoning and surrounding uses.

File #: <u>C2 1904</u> 201911187

Planning & Zoning Commission Application Sussex County, Delaware

Sussex County Planning & Zoning Department 2 The Circle (P.O. Box 417) Georgetown, DE 19947 302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check application)	able)			
Conditional Use				
Zoning Map Amendment 🗸				
Site Address of Conditional Use/Zoning N	lap Amendmen	t		
Southwest corner of the intersection of US Route 9 and Fisher Road (Sussex Road 262)				
Type of Conditional Use Requested:				
Tax Map #: 235-30.00-51.00		Size of Parcel(s): 10.88-11.27 acres		
Tax Map III		_		
Current Zoning: AR-1 Proposed Zo	ning: C-2	Size of Building: Total 75,000S		
Land Use Classification: Low Density/Adjace	ent to Existing Dev	veloping Area/ level 3 (Ad; to level 2)		
Water Provider: Artesian	Sewer	Provider: Artesian		
Applicant Information				
Applicant Name: Jill A. Cicierski				
Applicant Address: 16808 Gravel Hill Road				
City: Milton	State: DE	ZipCode: 19968		
Phone #: 302-841-2282	E-mail: allame	ricanbuildingconcepts@gmail.com		
Owner Information				
Owner Name: Dry Acres LLC				
Owner Address: 16973 Island Farm Lane				
City: Milton	State: DE	Zip Code: 19968		
Phone #: 302-438-5366	E-mail: thom5	00@yahoo.com		
Agent/Attorney/Engineer Information				
Agent/Attorney/Engineer Name: Mark H.	Davidson			
	ni - 18972 Davids	on Drive		
City: Milton	State: DE	Zip Code: 19968		
Dhana #1302-684-8030		son@pennoni.com		





Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

_√ c	ompleted Application			
	 rovide eight (8) copies of the Site Plan or Survey of the property Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc. Provide a PDF of Plans (may be e-mailed to a staff member) Deed or Legal description 			
<u></u> → P	rovide Fee \$500.00			
aı	ptional - Additional information for the Commission/Council to consider (ex. rchitectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they hall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.			
SI	lease be aware that Public Notice will be sent to property owners within 200 feet of the ubject site and County staff will come out to the subject site, take photos and place a sign the site stating the date and time of the Public Hearings for the application.			
<u>√</u> D	elDOT Service Level Evaluation Request Response			
__/ P	LUS Response Letter (if required)			
The undersign plans submitt	ned hereby certifies that the forms, exhibits, and statements contained in any papers or red as a part of this application are true and correct.			
Zoning Command that I will needs, the he	that I or an agent on by behalf shall attend all public hearing before the Planning and hission and the Sussex County Council and any other hearing necessary for this application I answer any questions to the best of my ability to respond to the present and future ealth, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants inty, Delaware.			
Signature of	Date: 9-30-19			
Signature of	Date: 0130119			
	d: 93019 Gapplication: Application & Case #: 2011/87 Sperty:			
Subdivision:	그는 그			
Date of PC Hea	C Hearing: Recommendation of PC Commission: Decision of CC:			



STATE OF DELAWARE

DEPARTMENT OF TRANSPORTATION

800 BAY ROAD P.O. BOX 778 DOVER, DELAWARE 19903

JENNIFER COHAN SECRETARY

April 5, 2019

Ms. Janelle Cornwell, Director Sussex County Planning & Zoning P.O. Box 417 Georgetown, DE 19947

Dear Ms. Cornwell:

The Department has completed its review of a Service Level Evaluation Request for the Jill Cicierski rezoning application, which we received on March 11, 2019. This application is for an 11.27-acre parcel (Tax Parcel: 235-30.00-51.00). The subject land is located on the southwest corner of the intersection of US Route 9 and Fisher Road (Sussex Road 262). The subject land is currently zoned AR-1 (Agricultural Residential), and the applicant is seeking to rezone the land to C-3 (Heavy Commercial) to develop approximately 90,000 square feet of commercial space to include a business office, a retail plaza, a bank, and a restaurant.

Per the 2017 Delaware Vehicle Volume Summary, the annual average and summer average daily traffic volumes along the segment of US Route 9 where the subject land is located, which is from Delaware Route 5 and Delaware Route 1, are 14,696 and 18,914 vehicles per day, respectively. As the subject land also has frontage along Fisher Road, the annual average and summer average daily traffic volumes along that road segment, which is from Cool Spring Road (Sussex Road 290) to US Route 9, are 2,067 and 2,660 vehicles per day, respectively.

Our volume-based criteria for requiring a traffic impact study (TIS), addressed in Section 2.2.2.1 of the <u>Development Coordination Manual</u>, are that a development generates more than 500 trips per day or 50 trips during a weekly peak hour. While it seems that the above criteria could be met, we presently cannot predict the site's trip generation with enough accuracy to make a TIS useful. Thus, we recommend that this rezoning application be considered without a TIS and that the need for a TIS be evaluated when a subdivision or land development plan is proposed.



Ms. Janelle M. Cornwell Page 2 of 2 April 5, 2019

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,

T. William Brockenbrough, Jr.

Sulf Att 61

County Coordinator

Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues
Jill Cicierski, Applicant

J. Marc Coté, Assistant Director, Development Coordination

Gemez Norwood, South District Public Works Manager, Maintenance and

Operations

Susanne Laws, Sussex County Subdivision Coordinator, Development Coordination

Derek Sapp, Subdivision Manager, Development Coordination

Brian Yates, Subdivision Manager, Development Coordination

John Andrescavage, Subdivision Manager, Development Coordination

Troy Brestel, Project Engineer, Development Coordination

Claudy Joinville, Project Engineer, Development Coordination



STATE OF DELAWARE EXECUTIVE DEPARTMENT OFFICE OF STATE PLANNING COORDINATION

July 23, 2019

Jill A. Cicierski JC Reality, Inc. 16808 Gravel Hill Road Milton, DE 19968

RE: PLUS review 2019-06-01; Plaza Nine

Dear Ms. Cicierski:

Thank you for meeting with State agency planers on June 26, 2019 to discuss the proposed plans for the Plaza Nine project. According to the information received you are seeking review of a site plan for a 90,000 square foot commercial center near the intersection of Route 9 and Fisher Road in Sussex County.

Please note that changes to the plan, other than those suggested in this letter, could result in additional comments from the State. Additionally, these comments reflect only issues that are the responsibility of the agencies represented at the meeting. The developers will also need to comply with any Federal, State, and local regulations regarding this property. We also note that as Sussex County is the governing authority over this land, the developers will need to comply with any and all regulations/restrictions set forth by the County.

Strategies for State Policies and Spending

This project is located in Investment Level 3 according to the Strategies for State Policies and Spending. Investment Level 3 reflects areas where growth is anticipated by local, county, and state plans in the longer term future, or areas that may have environmental or other constraints to development. State investments may support future growth in these areas, but may have priorities for the near future. Level 3 area means there may be environmental concerns on or near the parcel and we would encourage you to design the site with respect for the environmental features which are present.

Code Requirements/Agency Permitting Requirements

Department of Transportation - Contact Bill Brockenbrough 760-2109

- The proposed project is located or is adjacent to US Route 9/Lewes Georgetown Highway. This transportation corridor is part of the Federal Aid Primary Road System and is nominated as part of the Delaware Bayshore Byway Program. Accordingly, parts of the subject development are subject to outdoor advertising regulations found in CFR 23 §131 and 17 Del. C. §1101-1120. Accordingly, the applicant should expect the following requirements or needs:
 - o No new billboards, variable message boards, or electronic changing message sign(s) anywhere within 660 feet of the closest right-of-way edge of Route 9.
 - No off-premises advertising on the property for others within 660 feet of Route 9
 e.g., displaying on-site the bank/financial institution funding the project or the
 contractor building the project.
 - A standard Delaware Bayshore byway sign may be needed in public right ways as part of the entrance/development coordination review. Further needs would be determined during entrance plan submission and/or other applicable TIS studies.

For more information on the Byways program, please see http://deldot.maps.arcgis.com/apps/webappviewer/index.html?id=03d5049bc49041658cf ecad5fd6ba8b9.

- The site access on US Route 9 and on Fisher Road must be designed in accordance with DelDOT's <u>Development Coordination Manual</u>. A copy of the <u>Manual</u> is available at http://www.deldot.gov/information/business/subdivisions/changes/index.shtml.
- Per Section 2.2.2.1 of the Manual, Traffic Impact Studies (TIS) are warranted for developments generating more than 500 vehicle trip ends per day or 50 vehicle trip ends per hour in any hour of the day. If the County approves this rezoning, DelDOT will revisit the need for a TIS when a site plan is presented.
 - Preliminarily, however, DelDOT anticipates requiring the developer to provide a TIS for DelDOT's review and approval before receiving plan approvals. The purpose of a TIS is to identify off-site transportation improvements that the developer would be required to build or contribute toward. Without prejudging the results of the TIS, DelDOT anticipates requiring that the developer make improvements on Fisher Road and limit their access on US Route 9 to right turns in and out.
- As necessary, in accordance with Section 3.2.5 and Figure 3.2.5-a of the Manual,
 DelDOT will require dedication of right-of-way along the site's frontage on both US
 Route 9 and Fisher Road. By this regulation, the dedication is to provide a minimum of

50 feet from the physical centerline of US Route 9 and 30 feet of right-of-way from the physical centerline of Fisher Road. The following right-of-way dedication note is required, "An X-foot wide right-of-way is hereby dedicated to the State of Delaware, as per this plat."

- In accordance with Section 3.2.5.1.2 of the Manual, DelDOT will require the establishment of a 15-foot wide permanent easement across the property frontage on both roads. The location of the easement shall be outside the limits of the ultimate right-of-way. The easement area can be used as part of the open space calculation for the site. The following note is required, "A 15-foot wide permanent easement is hereby established for the State of Delaware, as per this plat."
- Section 3.5.4.2 of the <u>Manual</u> addresses requirements for shared-use paths and sidewalks. Referring to Section 3.5.4.2.A of the <u>Manual</u>, DelDOT may require developments in Level 3 and 4 Areas to install a sidewalk or Shared Use Path along their frontage. DelDOT anticipates requiring a Shared Use Path along US Route 9 and Fisher Road.
- Referring to Section 3.5.5 of the <u>Manual</u>, existing and proposed transit stops and associated facilities as required by the Delaware Transit Corporation (DTC) or DelDOT shall be shown on the Record Plan.
- In accordance with Section 5.2.9 of the Manual, the Auxiliary Lane Worksheet should be used to determine whether turning lanes are warranted at the site entrance, if a new entrance is proposed and how long the lanes should be at the existing entrances. The worksheet can be found at http://www.deldot.gov/Business/subdivisions/index.shtml. Because of the proximity of the Route 9 entrance to the Fisher Road intersection and the limited space available to accommodate westbound left turns into the site, DelDOT anticipates requiring that that movement be served by the Fisher Road entrance.

State Historic Preservation Office - Contact Carlton Hall 736-7404

- There are no known archaeological sites, or known National Register-listed or eligible
 properties on the parcel. However, the area has medium to high potential for prehistoric
 archaeological resources based on well drained soils adjacent to the wetlands on and near
 the project area. Therefore, the Delaware SHPO is recommending an archaeological
 survey of the project area.
- If any project or development proceeds, the developer should be aware of the Unmarked Human Burials and Human Skeletal Remains Law (Del. C. Title 7, Ch. 54).
- If there is federal involvement, in the form of licenses, permits, or funds, the federal agency, often through its client, is responsible for complying with Section 106 of the National Historic Preservation Act (36 CFR 800) and must consider their project's effects on any known or potential cultural or historic resources. For further information on the

Section 106 process please review the Advisory Council on Historic Preservation's website at: www.achp.gov

Delaware State Fire Marshall's Office - Contact Duane Fox 259-7037

At the time of formal submittal, the applicant shall provide; completed application, fee, and three sets of plans depicting the following in accordance with the Delaware State Fire Prevention Regulation (DSFPR):

Fire Protection Water Requirements:

- Water distribution system capable of delivering at least 1500 gpm for 2-hour duration, at 20-psi residual pressure is required. Fire hydrants with 800 feet spacing on centers.
- Where a water distribution system is proposed for mercantile sites, the infrastructure for fire protection water shall be provided, including the size of water mains for fire hydrants and sprinkler systems.

Fire Protection Features:

- All structures over 10,000 sq. ft. aggregate will require automatic sprinkler protection installed.
- Buildings greater than 10,000 sq. ft. 3-stories or more, over 35 feet, or classified as High Ilazard, are required to meet fire lane marking requirements
- Show Fire Department Connection location (Must be within 300 feet of fire hydrant), and detail as shown in the DSFPR.
- Show Fire Lanes and Sign Detail as shown in DSFPR

Accessibility

- All premises, which the fire department may be called upon to protect in case of fire, and which are not readily accessible from public roads, shall be provided with suitable gates and access roads, and fire lanes so that all buildings on the premises are accessible to fire apparatus.
- The use of speed bumps or other methods of traffic speed reduction must be in accordance with Department of Transportation requirements.
- The local Fire Chief, prior to any submission to our Agency, shall approve in writing the use of gates that limit fire department access into and out of the property.

Gas Piping and System Information:

• Provide type of fuel proposed, and show locations of bulk containers on plan.

Required Notes:

 Provide a note on the final plans submitted for review to read "All fire lanes, fire hydrants, and fire department connections shall be marked in accordance with the Delaware State Fire Prevention Regulations" PLUS review 2019-06-01 Page 5 of 7

- Proposed Use
- Alpha or Numerical Labels for each building/unit for sites with multiple buildings/units
- Square footage of each structure (Total of all Floors)
- National Fire Protection Association (NFPA) Construction Type
- Maximum Height of Buildings (including number of stories)
- Note indicating if building is to be sprinklered
- Name of Water Provider
- Letter from Water Provider approving the system layout
- Provide Lock Box Note (as detailed in DSFPR) if Building is to be sprinklered
- Provide Road Names, even for County Roads

Recommendations/Additional Information

This section includes a list of site specific suggestions that are intended to enhance the project. These suggestions have been generated by the State Agencies based on their expertise and subject area knowledge. These suggestions do not represent State code requirements. They are offered here in order to provide proactive ideas to help the applicant enhance the site design, and it is hoped (but in no way required) that the applicant will open a dialogue with the relevant agencies to discuss how the suggestions can benefit the project.

<u>Department of Transportation - Contact Bill Brockenbrough 760-2109</u>

- DelDOT is in the process of converting the Georgetown to Lewes rail line to a bicycle and pedestrian trail. Construction is complete from Lewes to Log Cabin Hill Road. A future phase of construction would route the trail along the south edge of the subject development. If the developer would like to have direct access to the trail, DelDOT is willing to include it in their construction plans and build the access at State expense as part of the trail construction. If trail access would be of interest, DelDOT asks that the developer work with DelDOT's Bicycle and Pedestrian Coordinator, Mr. Anthony Aglio, to determine a mutually agreeable location. Mr. Aglio can be reached at (302) 760-2509 or Anthony Aglio@Delaware.gov.
- Please be advised that the Standard General Notes have been updated and posted to the DelDOT website. Please begin using the new version and look for the revision date of March 21, 2019. The notes can be found at https://www.deldot.gov/Business/subdivisions/

<u>Department of Natural Resources and Environmental Control – Contact Michael</u> Tholstrup 735-3352

Forest Preservation

• DNREC mapping indicates presence of forested wetlands which encompass a large portion of the subject parcel.

Recommendations:

- The site plan should be designed to allow for the preservation of as much of this wooded area as feasible, with special consideration for preservation given to large, mature trees. Leaving a forest intact is usually more beneficial to the existing wildlife and is preferred to clearing
- To reduce impacts to nesting birds and other wildlife species that utilize forests for breeding, we recommend that clearing not occur April 1st to July 31st.
- Contact the Division of Fish and Wildlife for assistance in identifying, preserving, and managing the mature forest on-site. For technical assistance or to schedule a site visit please contact Katie Kadlubar, <u>Kathryn, Kadlubar@delaware.gov</u>.

Water Quality

- DNREC mapping indicates presence of wetlands and hydric soils (Hurlock) which encompass a large portion of the subject parcel.
- Increased impervious cover from development and removal of forest cover will increase the potential for future flooding concerns.

Recommendations:

- Consider using pervious pavement/pavers in parking areas to help minimize impervious cover.
- To protect the function and integrity of wetlands, a minimum 100 foot buffer should be left intact around the perimeter.
- Avoid disturbance and filling of wetlands.

Delaware State Fire Marshall's Office - Contact Duane Fox 259-7037

• Preliminary meetings with fire protection specialists are encouraged prior to formal submittal. Please call for appointment. Applications and brochures can be downloaded from our website: www.statefiremarshal.delaware.gov, technical services link, plan review, applications or brochures.

Delaware Area Rapid Transit (DART) - Contact: Jared Kauffman 576-6062

- A shelter pad is needed. DART can specify a type as there is no sketch of the pedestrian pathway.
- Sidewalk is needed to the stop across the street (stop ID 3390) with pedestrian pathway to stop ID 3390. Stop ID 3390 should be upgraded to a Type 2 12'x8' shelter pad.

Sussex County - Contact Rob Davis 302-855-7820

 Sussex County does not expect to provide sanitary sewer service within the area proposed for commercial development. The Sussex County Engineering Department recommends the project receive wastewater service from a public utility as proposed. PLUS review 2019-06-01 Page 7 of 7

Following receipt of this letter and upon filing of an application with the local jurisdiction, the applicant shall provide to the local jurisdiction and the Office of State Planning Coordination a written response to comments received as a result of the pre-application process, noting whether comments were incorporated into the project design or not and the reason therefore.

Thank you for the opportunity to review this project. If you have any questions, please contact me at 302-739-3090.

Sincerely,

Constance C. Holland, AICP

Director, Office of State Planning Coordination

CC: Sussex County

August 21, 2019

State of Delaware, Executive Department

Office of Planning Coordination

122 Martin Luther King Blvd, South - Haslet Armory, Third Floor

Dover, DE 19901

RE: PLUS Review 2019-06-01; Plaza Nine

Thank you for the detailed collection of agency contacts, requirement summarization, and recommendations. We have reviewed them thoroughly and will collaborate and comply as noted to all provided except for the State historic Preservation Office (SHPO).

We would like additional discussion and clarification as to why well drained soils near wetlands that were created from altered drainage patterns would constitute medium to high prehistoric archaeological resources. An archaeological study was done across Rt 9 from this site with no significate findings. Route 9, Fisher Road, and the railway and power line easements enclose this parcel. 1.5 acres of the remaining land will not be impacted due to being delineated as wetlands. We will contact SHPO directly as we proceed.

Sincerely,

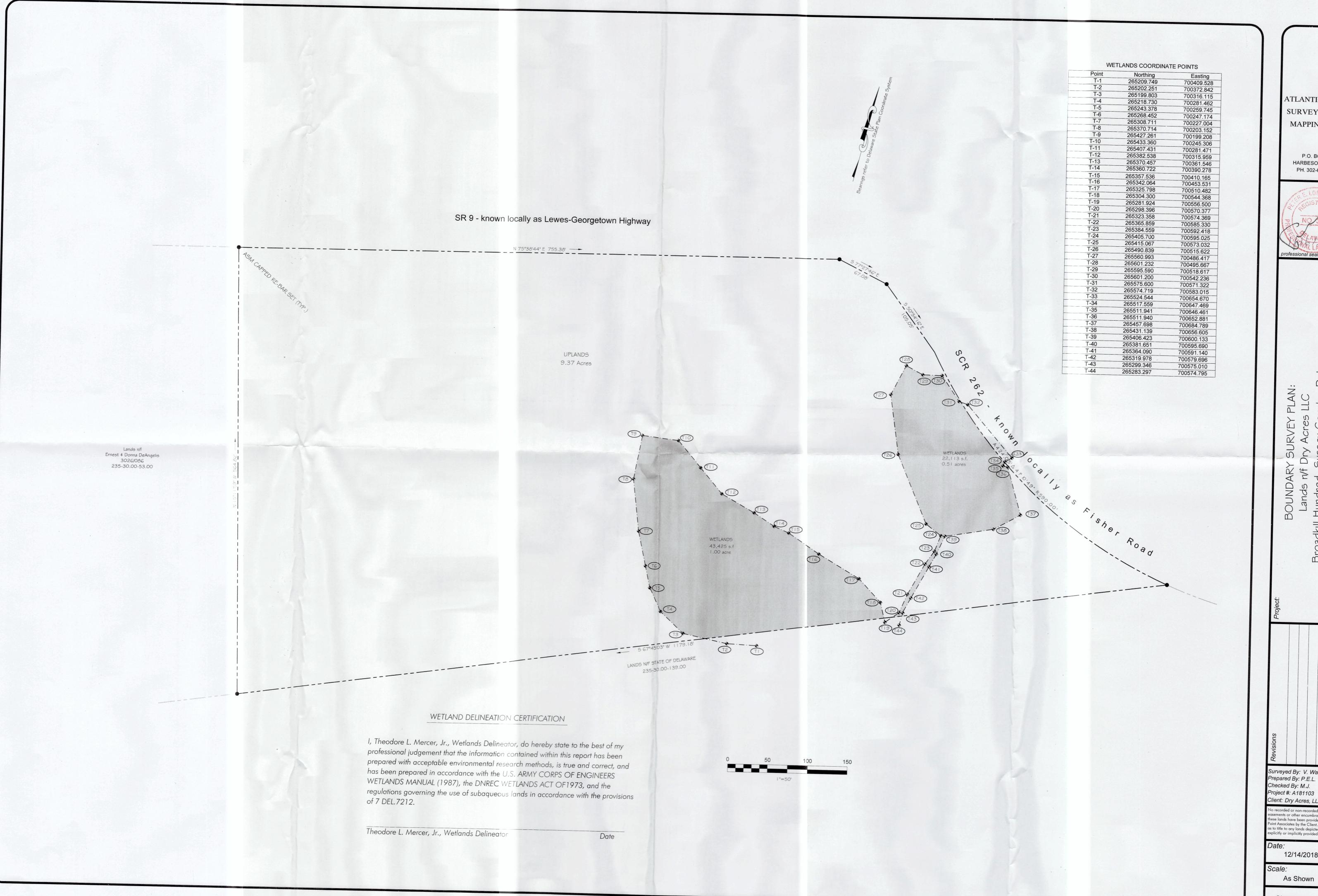
Jill A. Cicierski

JC Realty Inc. And All America Building Concepts Inc.

16808 Gravel Hill Road,

Milton, DE 19968

CC: Sussex County



SURVEYIN MAPPING, L.I

P.O. BOX 247 HARBESON, DE 19951 PH. 302-684-2924



Surveyed By: V. Walch, PLS Prepared By: P.E.L.

Client: Dry Acres, LLC

easements or other encumbrances affect these lands have been provided to Com Point Associates by the Client. No warro as to title to any lands depicted hereon

12/14/2018





PLAZA NINE JILL A. CICIERSKI | DRY ACRES, LLC

CASE NO. CZ 1904

ZONING MAP AMENDMENT FROM AR-1 TO C-2

OWNER:

Dry Acres, LLC 16973 Island Farm Lane Milton, DE 19968

ennoni

DEVELOPER:

Jill A. Cicierski 16808 Gravel Hill Road Milton, DE 19968

PLANNER/ENGINEER/SURVEYOR:

PENNONI 18072 DAVIDSON DRIVE MILTON, DE 19968 MARK H. DAVIDSON, PRINCIPAL LAND PLANNER ALAN DECKTOR, PE., ENV SP JOHN W. HAUPT, PLS

ENVIRONMENTAL:

PENNONI & ACCENT ENVIRONMENTAL WILLIAM J. GANGLOFF, PhD. PROFESSIONAL SOIL SCIENTIST

THEODORE L MERCER, JR., WETLANDS DELINEATOR

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- a. APPLICATION
- b. BOUNDARY SURVEY
- c. LEGAL DESCRIPTION
- d. PURCHASE AGREEMENT
- e. SLER

TAB 2 PLUS-STATE PLANNING

a. STATE COMMENTS & PENNONI RESPONSE

TAB 3 EXHIBITS

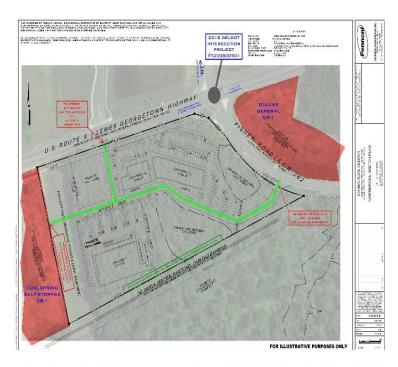
- a. SC TAX MAP
- b. SC ZONING MAP
- c. SC 2019 FUTURE LAND USE MAP UPDATED
- d. COMMERCIAL SKETCH PLAN 2020-01-03

TAB 4 MAPS

a. 2019 AERIAL, 2017, 2012, 2007, 2002, 1997, 1992, 1968, 1961, 1954, AND 1937 ORTHO - 2015 STATE SRATEGIES, COUNTY ZONING, 2012 LAND USE, NRCS SOILS, STATE WETLANDS, FEMA FLOODPLAIN, GROUNDWATER RECHARGE, USGS TOPOGRAPHIC AND AREA COMMERCIAL USES MAP

TAB 5 FINDINGS

FINDINGS OF FACT.





Mark H. Davidson / Vice President

Principal Land Planner/Office Director

EDUCATION

University of Delaware; Civil Engineering, (1986-1990)

Land Surveying, Delaware Technical & Community College (1984-1986) and Wastewater Microbiology Diploma (1997)

Land Planning, Institute for Public Administration (2006)

CERTIFICATIONS

DNREC Class A Percolation Tester & Class B Septic Designer, (DE #2418)

Sediment & Stormwater Management, Responsible Personnel, DE (#8760) and MD (#4914)

DNREC Certified Construction Reviewer: DE (#1270)

Delaware Notary

TRAININGS

Hydrology, Delaware TR-20 (1993)

Reducing Flood Hazard in Coastal Development (1996)

Law for Managers/Supervisors (1999)

State and Federal Laws (2000)

Advanced Real Estate Law in Delaware (2002)

Land Conservation and Historic Preservation (2003)

Land Surveying Business Diploma (1998)

Project Manager Training I, Pennoni (2015)

PROFESSIONAL AFFILIATIONS

National Onsite Wastewater Recycling Association

Delaware Onsite Wastewater Recycling Association

American Planning Association

American Institute of Certified Planners

HONORS/AWARDS

Association of Professionals Philanthropy, Brandywine Chapter Fundraising Nominee (2014)

Notable Networker Award, BNI (2013)

EXPERIENCE SUMMARY

Mark H. Davidson serves as Vice President of Pennoni and Office Director for our Southern Delaware, Milton Office. Mark also serves as the Principal Land Planner for Pennoni. He has over 33-years of past experience in Surveying, Engineering, Consulting, Construction and Land Planning. For 12-years he owned a professional engineering, surveying, land planning, environmental and consulting firm that provided professional consulting and design in land planning for residential, industrial, institutional, municipal and commercial applications to a wide range of clients in Delaware and Maryland. Mr. Davidson's project experience includes land development planning, surveying, engineering, environmental design and permitting; construction and project consulting, management and inspection; water resource consulting, management and inspection and municipal consulting, planning and inspection for residential, industrial, institutional, municipal and commercial applications.

Mark is a past director of the Delaware Onsite Wastewater Recycling Association as well as a member of the American Planning Association, American Institute of Certified Planners and has served in the past as a committee member of Delaware Low Impact Development Roundtable Committee, Delaware Pollution Control Strategy Committee, Delaware Sediment & Stormwater Regulatory Advisory Committee, and the Delaware Technical & Community College A/E Curriculum Committee. He was also nominated for the Brandywine Chapter Association of Fundraising Professionals Philanthropy Award and has won the BNI Notable Networker Award.

Along with all the experience and education stated and with many years of combined experience in Surveying, Engineering, Consulting and Land Planning, he has been responsible for providing consulting, layout and design in surveying, engineering and land planning for residential, industrial, institutional, municipal and commercial applications to a wide range of clients in Delaware, Maryland, Virginia and West Virginia. He has project managed, studied, planned, surveyed, designed and engineered sustainable, masterplanned communities, commercial and urban redevelopment projects, and the public infrastructure that supports them.

Mark has provided nationwide land planning consulting services to a variety of clientele to help coordinate project startups as well as final construction consulting services when it came to commercial, residential, industrial, municipal, educational and community land planning. Provided additional consulting in civil/site engineering, stormwater management, erosion and sediment control, wastewater collection and disposal, transportation, and environmental. Market areas practiced; Delaware, Maryland, West Virginia, Virginia, North Carolina, South Carolina, North Dakota, Puerto Rico, Canada and Panama.

Additional Project experience includes cutting edge design and technology as well as value engineering to help clients through the ever-changing market including but not limited to solar voltaic and wind generation projects.

He was currently appointed by the Secretary of DNREC to serve 3-years on the On Site Septic Advisory Board for the State of Delaware.



20191187

Planning & Zoning Commission Application Sussex County, Delaware

Sussex County Planning & Zoning Department 2 The Circle (P.O. Box 417) Georgetown, DE 19947 302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check applicational like	able)		
Conditional Use Zoning Map Amendment Y			
Zonnig Wap Amenament <u></u>			
Site Address of Conditional Use/Zoning N	lap Amendment	t	
Southwest corner of the intersection of US Ro	ute 9 and Fisher F	Road (Sussex Road 262)	
Type of Conditional Use Requested:			
Tax Map #: 235-30.00-51.00		Size of Parcel(s): 10.88-11	.27 acres
AR.1	· C-2	la con Talal	750000
Current Zoning: AR-1 Proposed Zo	ning:	Size of Building: Total	19,0003
Land Use Classification: Low Density/Adjace	ent to Existing Dev	eloping Area/ Wel 3 (Ad	(to level a)
		X e x-	
Water Provider: Artesian	Sewer	Provider: Artesian	
Applicant Information			
Applicant Name: Jill A. Cicierski			
Applicant Address: 16808 Gravel Hill Road			
City: Milton	State: DE	ZipCode: 19968	
Phone #: 302-841-2282	_ E-mail: allameri	canbuildingconcepts@gmail.co	om
Owner Information			
Owner information			
Owner Name: Dry Acres LLC			
Owner Address: 16973 Island Farm Lane			
City: Milton	State: DE	Zip Code: 19968	
Phone #: 302-438-5366	E-mail: thom50	0@yahoo.com	
Agent/Attorney/Engineer Information			
Agent/Attorney/Engineer Name: Mark H. I	Davidson		
Agent/Attorney/Engineer Address: Pennon	i - 18972 Davidso	n Drive	
City: Milton	State: DE	Zip Code: 19968	
Phone #: 302-684-8030	E-mail: mdavids	on@pennoni.com	

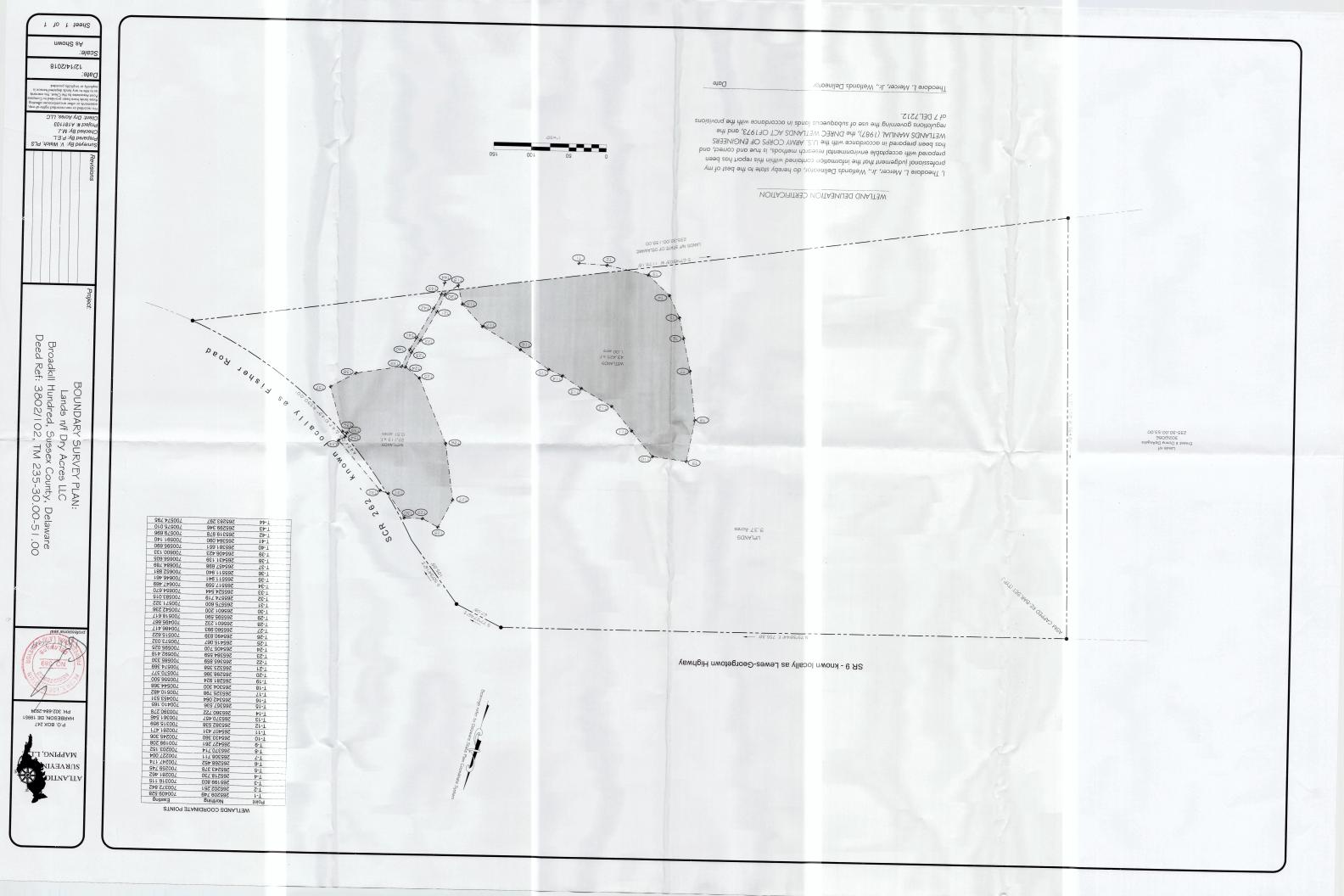




Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

	4	Completed Application
		Provide eight (8) copies of the Site Plan or Survey of the property Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc. Provide a PDF of Plans (may be e-mailed to a staff member) Deed or Legal description
	₩	Provide Fee \$500.00
		Optional - Additional information for the Commission/Council to consider (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.
		Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.
		DelDOT Service Level Evaluation Request Response
		PLUS Response Letter (if required)
		igned hereby certifies that the forms, exhibits, and statements contained in any papers or itted as a part of this application are true and correct.
	Zoning Com and that I w needs, the I	y that I or an agent on by behalf shall attend all public hearing before the Planning and amission and the Sussex County Council and any other hearing necessary for this application will answer any questions to the best of my ability to respond to the present and future nealth, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants bunty, Delaware.
/	Signature	Date: 9-30-19
/	Signature (Date: 9/30/19
		roperty: Fee: \$500.00 Check #: Application & Case #: Tee: \$500.00 Check #: Application & Case #: Tee: \$500.00 Check #: Application & Case #: Tee: \$500.00 Check #:
	Date of PC He	earing: Recommendation of PC Commission: earing: Decision of CC:



DESCRIPTION

The following is a Description of lands now or formerly of Dry Acres LLC, said lands being situate in Broadkill Hundred, Sussex County, Delaware and being bounded on the north by State Route 9 – known locally as, and hereafter referred to as Lewes-Georgetown Highway, on the east by Sussex County Route 262 – known locally as, and hereafter referred to as Fisher Road, on the south by lands now or formerly of the State of Delaware, and on the west by lands now or formerly of Ernest and Donna DeAngelis, said Dry Acres LLC and said lands being more particularly described as follows, to wit:

BEGINNING, for the purpose of this Description, at the common boundary corner of these lands and lands of Ernest and Donna DeAngelis, abovementioned, said Beginning point being on the southerly right of way line of the Lewes-Georgetown Highway, abovementioned; thence by and with the said southerly right of way line of the Lewes-Georgetown Highway North 75 degrees 38 minutes 44 seconds East 755.38 feet to a corner cut connecting the said southerly right of way line of the Lewes-Georgetown Highway with the westerly right of way line of Fisher Road, abovementioned; thence by and with said corner cut South 77 degrees 27 minutes 46 seconds East 67.08 feet; thence by and with said westerly right of way line of Fisher Road South 50 degrees 34 minutes 16 seconds East 105.05 feet; thence continuing with the said westerly right of way line of Fisher Road 424.05 feet by and with the arc of a curve to the left whose radius is 590.00 feet and whose central angle is 41 degrees 10 minutes 49 seconds, to lands now or formerly the State of Delaware, abovementioned; thence by and with said lands now or formerly of the State of Delaware South 67 degrees 45 minutes 03 seconds West 1179.18 feet to the common boundary corner of these lands and lands now or formerly of Ernest and Donna DeAngelis, abovementioned; thence by and with the common boundary line of these lands and said lands or formerly of Ernest and Donna DeAngelis North 51 degrees 11 minutes 59 seconds West 564.82 feet to the Beginning and containing 10.88 acres, more or less.

Project No.
Tax Parcel No.
Project Parcel No.

T200800901 2-35-30.00-51.00 10-R

STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION REAL ESTATE SECTION



PURCHASE AGREEMENT

THIS PURCHASE AGREEMENT (hereinafter "Agreement") is made as of this day of ______, 2012 by and between Dry Acres, LLC (hereinafter "Owner") and the Department of Transportation of the State of Delaware (hereinafter "DelDOT").

WHEREAS, DelDOT has a transportation public use project with a State Project No. of T200800901 and an F.A.P. Project No. of ESTP-S999(88) (hereinafter "Project"); and

WHEREAS, the Owner is vested with the fee simple title to the property required for the Project, said property is identified as Project Parcel No. 10-R on the Project's Plan Sheet No(s). 15, 16, 17, 18 and 34 and further as County Tax Parcel No. 2-35-30.00-51.00, with a street address of on the southwest corner of Lewes Georgetown Highway and Fisher Road (hereinafter "Property"); and

WHEREAS, DelDOT is an agency of the State of Delaware with the authority to acquire real property for use in transportation projects or programs through eminent domain proceedings; and

WHEREAS, DelDOT wishes to acquire a portion of the Parcel and, if unsuccessful in acquiring such portion by purchase, will institute condemnation proceedings to acquire such portion.

NOW THEREFORE, in consideration of the promises and mutual covenants herein contained, the Owner, his/her/its heirs, executors, administrators, successors or assigns, and DelDOT do agree as follows:

- 1. Owner hereby agrees to sell, and DelDOT agrees to purchase in fee simple, the Property consisting of the following: A Fee Acquisition 1 consisting of approximately 7,455.9515 square feet (0.1712 acres), Fee Acquisition 2 consisting of approximately 4,033.8566 square feet (0.0926 acres) and the underlying Fee of Existing Daylight Easement consisting of approximately 1,008.4857 square feet (0.0232 acers) and all damages incident thereto. This sale includes all rights, title and interest, if any, of the Owner in and to any land lying in the bed of any street, road or avenue opened or proposed to the centerline thereof.
- 2. DelDOT will pay to the Owner the sum of Ten Thousand Nine Hundred Dollars (\$10,900.00) as the full purchase price of the Property.



DELDOT REAL ESTATE

- 3. Final settlement for the purchase of the Property shall be held within ninety (90) days from the date of this Agreement. However, DelDOT reserves the right to extend the settlement date if additional time is needed, through no fault of DelDOT in order to obtain clear title to the Property under Paragraph 7 of this Agreement. The Owner shall receive notice of the time and place of settlement.
- 4. Any written notice shall be directed to the Owner at

16793 Island Farm Lane Milton, DE 19968 Attn.: Shauna Thompson; Telephone: 302-684-3901

Any notice to be given to DelDOT will be mailed to: State of Delaware Department of Transportation Attention: Ida J. Parrett Real Estate Section P.O. Box 778 Dover, Delaware 19903

All written notices shall be given by first class mail and shall be effective upon posting.

- 5. Municipal, county and school taxes will be prorated and paid at settlement when such proration equals \$20.00 or more. Water rent, sewer service and heating fuel will be prorated and paid only in cases where acquisition includes the structures serviced by such utilities and such proration equals \$20.00 or more.
- 6. In the event that the Property to be acquired is subject to a lease from the Owner to a third party, the Owner shall at the date of settlement deliver said Property free and clear of any leasehold interest, unless otherwise agreed in writing.
- 7. Good fee simple, marketable title shall be conveyed to the State of Delaware at DelDOT's expense. Title shall be free and clear of all liens or encumbrances of every description at or prior to settlement, unless otherwise agreed in writing. Owner represents and warrants to DelDOT that the Owner is the only fee simple title owner of the Property.
- 8. If this Agreement is for the acquisition of land only, DelDOT shall have the right of immediate entry upon said land for the purpose of construction of a State highway. The Owner hereby waives the right to receive full payment prior to surrendering possession.
- 9. Possession of the Property shall be delivered by the Owner to DelDOT not later than the date of final settlement. All keys in the Owner's possession or under the Owner's control shall be delivered to DelDOT at settlement.
- 10. The Owner agrees to maintain the Property to be purchased hereunder in its condition as of the date of this Agreement, ordinary wear and tear excepted. DelDOT shall have the right to inspect the Property, including all improvements, fixtures, systems,

initial

ACQ5-2 March 2010 machinery and equipment within 48 hours prior to settlement to determine that the Property is in the same condition as of the date of this Agreement. If there is a material change in the condition of any property being acquired, other than ordinary wear and tear, DelDOT reserves the right to renegotiate the purchase price to reflect the change in condition, or to extend the settlement date for a reasonable period of time until the Owner has returned the property being acquired to its condition on the date of this Agreement.

- 11. Any loss or damage to the Property by fire, windstorm or other casualty prior to settlement shall be borne by the Owner. Risk of loss or damage to the Property shall pass to DelDOT from the Owner at the time of final settlement or date of possession, whichever is earlier.
- 12. Owner shall not, during the terms of this Agreement, grant, convey, encumber or option the Property or any part thereof to any person, firm or association without the prior written consent of DelDOT.
- 13. This Agreement shall constitute the entire contract between DelDOT and the Owner, and no modification shall be binding on either party unless reduced to writing and signed by and on behalf of the Owner and by and on behalf of DelDOT.
- 14. As used herein, the singular terms shall include the plural, and the plural terms shall include the singular; male shall include female.
- 15. This Agreement shall be binding upon and shall inure to the benefit of the parties hereto and their heirs, executors, administrators, successors or assigns.

[Signature Page Follows.]

day and year first above written. SIGNED, SEALED AND DELIVERED IN THE PRESENCE OF: Dry Acres, LLC Mark Bonk, President (SEAL) Witness (SEAL) Witness (SEAL) Witness FOR DEPARTMENT OF TRANSPORTATION USE ONLY DO NOT WRITE BELOW THIS LINE DEPARTMENT OF TRANSPORTATION Approved this day of A.D. BY: (SEAL) Witness

Real Estate Representative

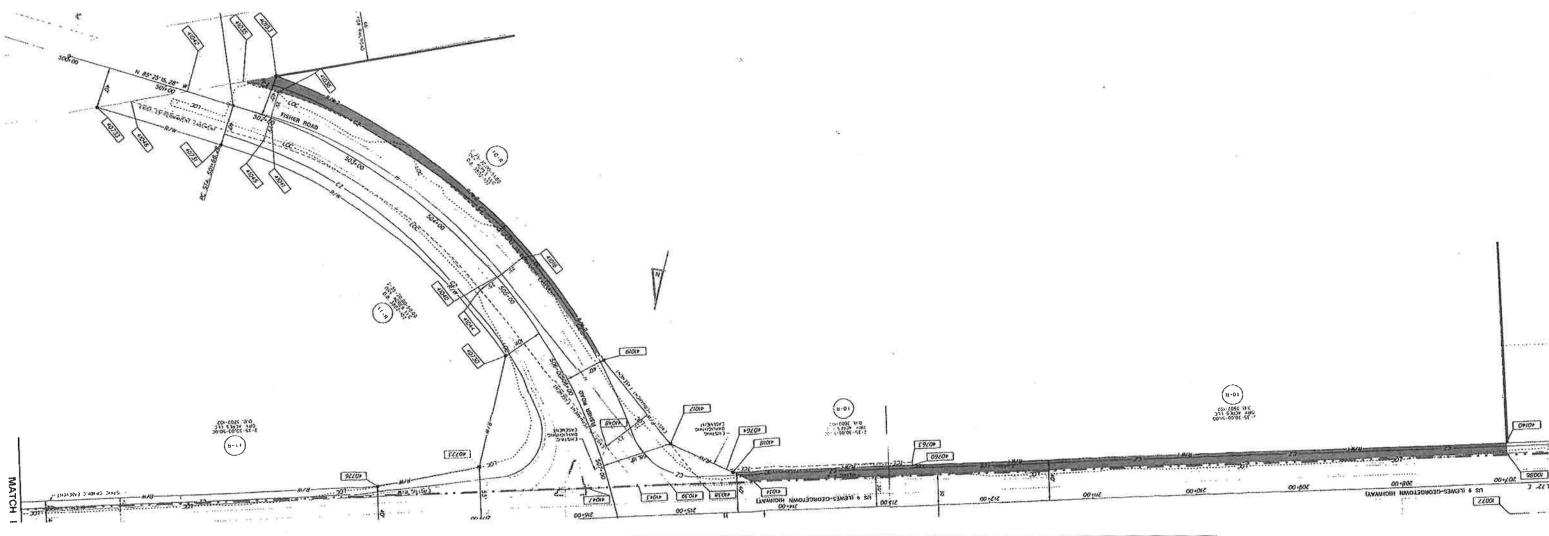
IN WITNESS WHEREOF, the parties hereunto have set his/her/its hands and seals the

TITLE:

EXHIBIL I

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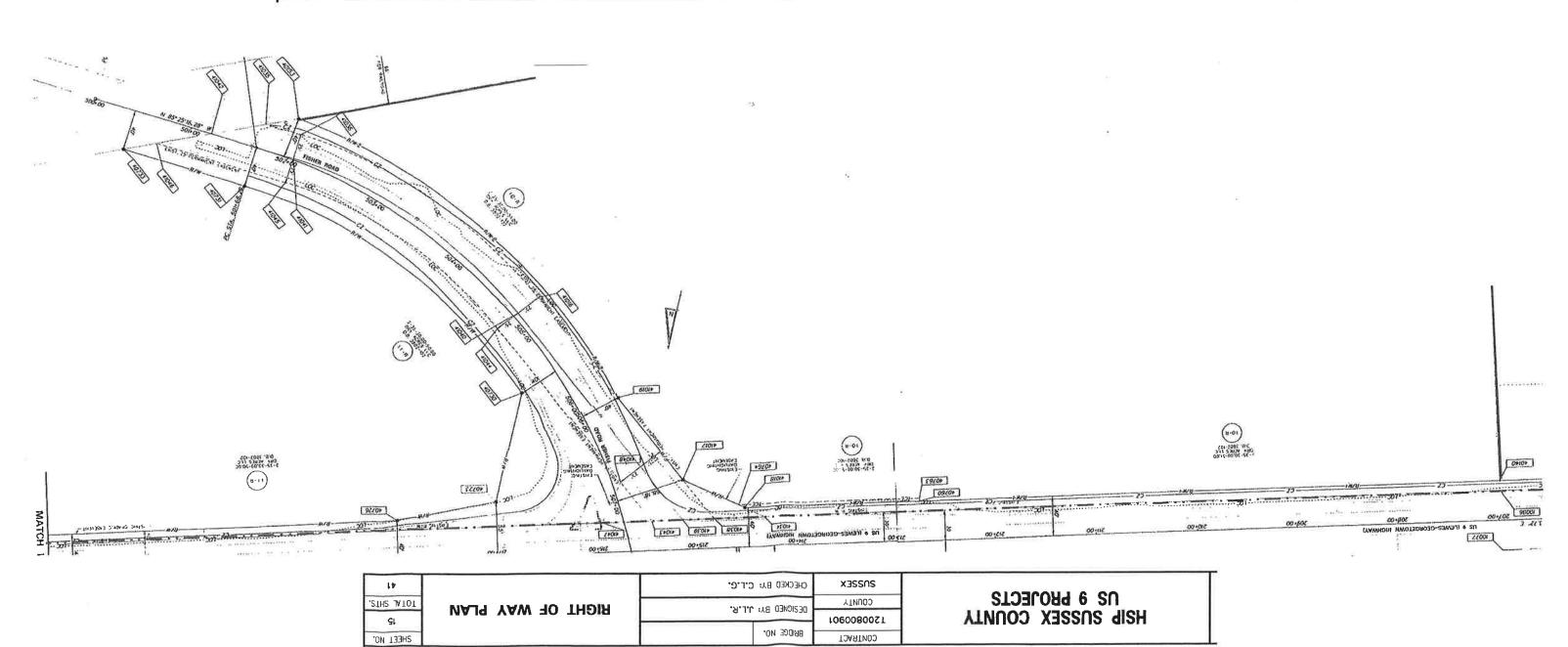
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RIGHT OF WAY PLAN 10 TOTAL SHTS.	CHECKED BJ: C.L.G.	X3SSNS	US 9 PROJECTS
	DESIGNED BY: J.L.R.	COUNTY	
	DESIGNED BA: 11 B	1200800901	HSIP SUSSEX COUNTY
SHEET NO.	BRIDGE NO.	CONTRACT	

EXHIBIL 5

TYPE OF ACQUISITION TITLE SOURCE PARCEL AREA (ACRES)			TYPE OF	OMNERSHIP OF RECORD					ASSESSMENT NUMBER		
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STATE OF DELAWARE

DEPARTMENT OF TRANSPORTATION

BOO BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19803

JENNIFER COHAN SECRETARY

April 5, 2019

Ms. Janelle Cornwell, Director Sussex County Planning & Zoning P.O. Box 417 Georgetown, DE 19947

Dear Ms. Cornwell:

The Department has completed its review of a Service Level Evaluation Request for the Jill Cicierski rezoning application, which we received on March 11, 2019. This application is for an 11.27-acre parcel (Tax Parcel: 235-30.00-51.00). The subject land is located on the southwest corner of the intersection of US Route 9 and Fisher Road (Sussex Road 262). The subject land is currently zoned AR-1 (Agricultural Residential), and the applicant is seeking to rezone the land to C-3 (Heavy Commercial) to develop approximately 90,000 square feet of commercial space to include a business office, a retail plaza, a bank, and a restaurant.

Per the 2017 Delaware Vehicle Volume Summary, the annual average and summer average daily traffic volumes along the segment of US Route 9 where the subject land is located, which is from Delaware Route 5 and Delaware Route 1, are 14,696 and 18,914 vehicles per day, respectively. As the subject land also has frontage along Fisher Road, the annual average and summer average daily traffic volumes along that road segment, which is from Cool Spring Road (Sussex Road 290) to US Route 9, are 2,067 and 2,660 vehicles per day, respectively.

Our volume-based criteria for requiring a traffic impact study (TIS), addressed in Section 2.2.2.1 of the <u>Development Coordination Manual</u>, are that a development generates more than 500 trips per day or 50 trips during a weekly peak hour. While it seems that the above criteria could be met, we presently cannot predict the site's trip generation with enough accuracy to make a TIS useful. Thus, we recommend that this rezoning application be considered without a TIS and that the need for a TIS be evaluated when a subdivision or land development plan is proposed.



Ms. Janelle M. Cornwell Page 2 of 2 April 5, 2019

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,

T. William Brockenbrough, Jr.

THE PART 601

County Coordinator

Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues Jill Cicierski, Applicant

J. Marc Coté, Assistant Director, Development Coordination Gemez Norwood, South District Public Works Manager, Maintenance and Operations

Susanne Laws, Sussex County Subdivision Coordinator, Development Coordination Derek Sapp, Subdivision Manager, Development Coordination Brian Yates, Subdivision Manager, Development Coordination John Andrescavage, Subdivision Manager, Development Coordination Troy Brestel, Project Engineer, Development Coordination Claudy Joinville, Project Engineer, Development Coordination



STATE OF DELAWARE EXECUTIVE DEPARTMENT OFFICE OF STATE PLANNING COORDINATION

July 23, 2019

January 6, 2020

Ms. Constance C. Holland, AICP Director, Office of State Planning Coordination 122 Martin Luther King, Jr. Blvd. South – Haslet Armory Dover, Delaware 19901

Jill A. Cicierski JC Reality, Inc. 16808 Gravel Hill Road Milton, DE 19968

RE: PLUS review 2019-06-01; Plaza Nine ADDITIONAL PLUS REVIEW RESPONSE FOR PLAZA NINE (CICIERSKI) LANDS

Dear Ms. Cicierski: Dear Ms. Holland:

Thank you for meeting with State agency planers on June 26, 2019 to discuss the proposed plans for the Plaza Nine project. According to the information received you are seeking review of a site plan for a 90,000 square foot commercial center near the intersection of Route 9 and Fisher Road in Sussex County.

Pennoni is in receipt of your July 23, 2019 letter outlining the PLUS meeting that took place on June 26, 2019 with your office and several of the state agencies. We appreciate you accepting the application into the PLUS process and submit our response as an addition to the August 21, 2019 response provided to your office by the applicant, Ms. Jill Cicierski. The application you reviewed was for a rezoning to C-3 Heavy Commercial which is contrary at this time to how the 2019 Future Land Use Map has designated the use for this property. The Comprehensive Plan states that each land use proposal the County receives should be reviewed on its own merit to determine is the proposal is consistent and does not have a negative impact on the surrounding area or the County in general. The application submitted to the County is to rezone the property to C-2 Medium Commercial, which is an applicable zoning district per Table 4.5-2. Since the comprehensive plan is a guide for the future use of land, the County's official zoning map must be consistent with the uses and intensities of uses provided for in the Future Land Use Plan.

In Ordinance 2550, Sussex County Council desired to create a more specific C-2 Medium Commercial zoning district with smaller, more related uses within the District to promote better planning and predictability within Sussex County. The purpose of the C-2 Medium Commercial District is to support uses that include retail sales and performance of consumer services. It permits

122 Martin Luther King Jr. Blvd. South – Haslet Armory · Third Floor · Dover, DE 19901 Phone (302)739-3090 · Fax (302) 739-5661 · www. stateplanning.delaware.gov a variety of retail, professional and service businesses. The district shall be primarily located near arterial and collector streets. It accommodates community commercial uses that do not have outside storage or sales.

Please note that changes to the plan, other than those suggested in this letter, could result in additional comments from the State. Additionally, these comments reflect only issues that are the responsibility of the agencies represented at the meeting. The developers will also need to comply with any Federal, State, and local regulations regarding this property. We also note that as Sussex County is the governing authority over this land, the developers will need to comply with any and all regulations/restrictions set forth by the County.

Understood.

Strategies for State Policies and Spending

This project is located in Investment Level 3 according to the Strategies for State Policies and Spending. Investment Level 3 reflects areas where growth is anticipated by local, county, and state plans in the longer term future, or areas that may have environmental or other constraints to development. State investments may support future growth in these areas, but may have priorities for the near future. Level 3 area means there may be environmental concerns on or near the parcel and we would encourage you to design the site with respect for the environmental features which are

The 2015 Strategies for State Policies and Spending Map identifies the area as Investment Level 3. This area is intermingled within a fast-growing area within the county and is adjacent (just north of the property) to Level 2 areas. The priorities in the Level 3 Areas are for DelDOT to focus on regional movements between towns and other population centers. Developers and property owners will make local roadway improvements as development occurs. All infrastructure needs will be funded by the Developer. Additional public infrastructure that will benefit the community, such as, road improvements, utilities and access improvements will be paid for by the Developer. Consistent with the 2019 Comprehensive Plan's Future Land Use Chapter the County has considered the development along US 9 as a business corridor with a mix of residential and commercial uses that provide local residents with access to services they need. Local services would reduce travel to SR 1 for basic needs. The rezoning request is between US RT 9 and the Existing Railroad Tracks.

Code Requirements/Agency Permitting Requirements

<u>Department of Transportation – Contact Bill Brockenbrough 760-2109</u>

• The proposed project is located or is adjacent to US Route 9/Lewes Georgetown Highway. This transportation corridor is part of the Federal Aid Primary Road System and is nominated as part of the Delaware Bayshore Byway Program. Accordingly, parts

of the subject development are subject to outdoor advertising regulations found in CFR 23 §131 and 17 Del. C. §1101-1120. Accordingly, the applicant should expect the following requirements or needs:

- o No new billboards, variable message boards, or electronic changing message sign(s) anywhere within 660 feet of the closest right-of-way edge of Route 9.
- No off-premises advertising on the property for others within 660 feet of Route 9
 e.g., displaying on-site the bank/financial institution funding the project or the
 contractor building the project.
- O A standard Delaware Bayshore byway sign may be needed in public right ways as part of the entrance/development coordination review. Further needs would be determined during entrance plan submission and/or other applicable TIS studies.

For more information on the Byways program, please see http://deldot.maps.arcgis.com/apps/webappviewer/index.html?id=03d5049bc49041658cf ecad5fd6ba8b9.

The Property owner will work with DelDOT and the Bayshore Byway Program Committee in the development of the property.

• The site access on US Route 9 and on Fisher Road must be designed in accordance with DelDOT's <u>Development Coordination Manual</u>. A copy of the <u>Manual</u> is available at http://www.deldot.gov/information/business/subdivisions/changes/index.shtml.

Understood

• Per Section 2.2.2.1 of the <u>Manual</u>, Traffic Impact Studies (TIS) are warranted for developments generating more than 500 vehicle trip ends per day or 50 vehicle trip ends per hour in any hour of the day. If the County approves this rezoning, DelDOT will revisit the need for a TIS when a site plan is presented.

Understood

Preliminarily, however, DelDOT anticipates requiring the developer to provide a TIS for DelDOT's review and approval before receiving plan approvals. The purpose of a TIS is to identify off-site transportation improvements that the developer would be required to build or contribute toward. Without prejudging the results of the TIS, DelDOT anticipates requiring that the developer make improvements on Fisher Road and limit their access on US Route 9 to right turns in and out.

Will comply if requested during the design of the project.

• As necessary, in accordance with Section 3.2.5 and Figure 3.2.5-a of the Manual, DelDOT will require dedication of right-of-way along the site's frontage on both US Route 9 and Fisher Road. By this regulation, the dedication is to provide a minimum of 50 feet from the physical centerline of US Route 9 and 30 feet of right-of-way from the physical centerline of Fisher Road. The following right-of-way dedication note is required, "An X-foot wide right-of-way is hereby dedicated to the State of Delaware, as per this plat."

Additional right-of-way along both roadways was dedicated to DelDOT back in 2012. An additional dedication along US Route 9 is anticipated as part of the planning of the property.

• In accordance with Section 3.2.5.1.2 of the Manual, DelDOT will require the establishment of a 15-foot wide permanent easement across the property frontage on both roads. The location of the easement shall be outside the limits of the ultimate right-of-way. The easement area can be used as part of the open space calculation for the site. The following note is required, "A 15-foot wide permanent easement is hereby established for the State of Delaware, as per this plat."

Understood

• Section 3.5.4.2 of the <u>Manual</u> addresses requirements for shared-use paths and sidewalks. Referring to Section 3.5.4.2.A of the <u>Manual</u>, DelDOT may require developments in Level 3 and 4 Areas to install a sidewalk or Shared Use Path along their frontage. DelDOT anticipates requiring a Shared Use Path along US Route 9 and Fisher Road.

Understood

• Referring to Section 3.5.5 of the <u>Manual</u>, existing and proposed transit stops and associated facilities as required by the Delaware Transit Corporation (DTC) or DelDOT shall be shown on the Record Plan.

Understood

• In accordance with Section 5.2.9 of the Manual, the Auxiliary Lane Worksheet should be used to determine whether turning lanes are warranted at the site entrance, if a new entrance is proposed and how long the lanes should be at the existing entrances. The worksheet can be found at http://www.deldot.gov/Business/subdivisions/index.shtml. Because of the proximity of the Route 9 entrance to the Fisher Road intersection and the limited space available to accommodate westbound left turns into the site, DelDOT anticipates requiring that that movement be served by the Fisher Road entrance.

Will Comply

<u>State Historic Preservation Office – Contact Carlton Hall 736-7404</u>

• There are no known archaeological sites, or known National Register-listed or eligible properties on the parcel. However, the area has medium to high potential for prehistoric archaeological resources based on well drained soils adjacent to the wetlands on and near the project area. Therefore, the Delaware SHPO is recommending an archaeological survey of the project area.

Archeological Surveys were completed on several properties adjacent to this subject property as a part of the intersection improvements and additional property acquired for the intersection improvements. Nothing was found as a part of these surveys. This project is private, and no public investment is anticipated for the project. Rest assured that if any prehistoric archaeological resources are discovered during the planning, design and construction of the project, the developer will contact State Historic Preservation Office.

• If any project or development proceeds, the developer should be aware of the Unmarked Human Burials and Human Skeletal Remains Law (Del. C. Title 7, Ch. 54).

Understood

• If there is federal involvement, in the form of licenses, permits, or funds, the federal agency, often through its client, is responsible for complying with Section 106 of the National Historic Preservation Act (36 CFR 800) and must consider their project's effects on any known or potential cultural or historic resources. For further information on the Section 106 process please review the Advisory Council on Historic Preservation's website at: www.achp.gov

Understood

Delaware State Fire Marshall's Office – Contact Duane Fox 259-7037

At the time of formal submittal, the applicant shall provide; completed application, fee, and three sets of plans depicting the following in accordance with the Delaware State Fire Prevention Regulation (DSFPR):

Fire Protection Water Requirements:

- Water distribution system capable of delivering at least 1500 gpm for 2-hour duration, at 20-psi residual pressure is required. Fire hydrants with 800 feet spacing on centers.
- Where a water distribution system is proposed for mercantile sites, the infrastructure for fire protection water shall be provided, including the size of water mains for fire hydrants and sprinkler systems.

The project will connect to Artesian Water distribution system that is currently located along the frontage of this property.

Fire Protection Features:

- All structures over 10,000 sq. ft. aggregate will require automatic sprinkler protection installed.
- Buildings greater than 10,000 sq. ft. 3-stories or more, over 35 feet, or classified as High Hazard, are required to meet fire lane marking requirements
- Show Fire Department Connection location (Must be within 300 feet of fire hydrant), and detail as shown in the DSFPR.
- Show Fire Lanes and Sign Detail as shown in DSFPR

Accessibility

- All premises, which the fire department may be called upon to protect in case of fire, and
 which are not readily accessible from public roads, shall be provided with suitable gates
 and access roads, and fire lanes so that all buildings on the premises are accessible to fire
 apparatus.
- The use of speed bumps or other methods of traffic speed reduction must be in accordance with Department of Transportation requirements.
- The local Fire Chief, prior to any submission to our Agency, shall approve in writing the use of gates that limit fire department access into and out of the property.

Gas Piping and System Information:

• Provide type of fuel proposed, and show locations of bulk containers on plan.

Required Notes:

- Provide a note on the final plans submitted for review to read "All fire lanes, fire hydrants, and fire department connections shall be marked in accordance with the Delaware State Fire Prevention Regulations"
- Proposed Use
- Alpha or Numerical Labels for each building/unit for sites with multiple buildings/units
- Square footage of each structure (Total of all Floors)
- National Fire Protection Association (NFPA) Construction Type
- Maximum Height of Buildings (including number of stories)
- Note indicating if building is to be sprinklered
- Name of Water Provider
- Letter from Water Provider approving the system layout
- Provide Lock Box Note (as detailed in DSFPR) if Building is to be sprinklered
- Provide Road Names, even for County Roads

Recommendations/Additional Information

This section includes a list of site specific suggestions that are intended to enhance the project. These suggestions have been generated by the State Agencies based on their expertise and subject area knowledge. **These suggestions do not represent State code requirements.** They are offered here in order to provide proactive ideas to help the applicant enhance the site design, and it is hoped (**but in no way required**) that the applicant will open a dialogue with the relevant agencies to discuss how the suggestions can benefit the project.

Department of Transportation – Contact Bill Brockenbrough 760-2109

• DelDOT is in the process of converting the Georgetown to Lewes rail line to a bicycle and pedestrian trail. Construction is complete from Lewes to Log Cabin Hill Road. A future phase of construction would route the trail along the south edge of the subject development. If the developer would like to have direct access to the trail, DelDOT is willing to include it in their construction plans and build the access at State expense as part of the trail construction. If trail access would be of interest, DelDOT asks that the developer work with DelDOT's Bicycle and Pedestrian Coordinator, Mr. Anthony Aglio, to determine a mutually agreeable location. Mr. Aglio can be reached at (302) 760-2509 or Anthony.Aglio@Delaware.gov.

The applicant is working with DelDOT's Bicycle and Pedestrian Coordinator to have direct access to the trail.

 Please be advised that the Standard General Notes have been updated and posted to the DelDOT website. Please begin using the new version and look for the revision date of March 21, 2019. The notes can be found at https://www.deldot.gov/Business/subdivisions/

Noted

<u>Department of Natural Resources and Environmental Control – Contact Michael</u> Tholstrup 735-3352

Forest Preservation

• DNREC mapping indicates presence of forested wetlands which encompass a large portion of the subject parcel.

A wetland delineation has been completed for the property and no disturbance to the wetlands will occur.

Recommendations:

• The site plan should be designed to allow for the preservation of as much of this wooded area as feasible, with special consideration for preservation given to large, mature trees.

Leaving a forest intact is usually more beneficial to the existing wildlife and is preferred to clearing

Noted

- To reduce impacts to nesting birds and other wildlife species that utilize forests for breeding, we recommend that clearing not occur April 1st to July 31st.
- Contact the Division of Fish and Wildlife for assistance in identifying, preserving, and managing the mature forest on-site. For technical assistance or to schedule a site visit please contact Katie Kadlubar, Kathryn.Kadlubar@delaware.gov.

Water Quality

- DNREC mapping indicates presence of wetlands and hydric soils (Hurlock) which encompass a large portion of the subject parcel.
- Increased impervious cover from development and removal of forest cover will increase the potential for future flooding concerns.

Recommendations:

- Consider using pervious pavement/pavers in parking areas to help minimize impervious cover.
- To protect the function and integrity of wetlands, a minimum 100 foot buffer should be left intact around the perimeter.
- Avoid disturbance and filling of wetlands.

Recommendations will be taken under advisement.

Delaware State Fire Marshall's Office – Contact Duane Fox 259-7037

 Preliminary meetings with fire protection specialists are encouraged prior to formal submittal. Please call for appointment. Applications and brochures can be downloaded from our website: www.statefiremarshal.delaware.gov, technical services link, plan review, applications or brochures.

Will comply

<u>Delaware Area Rapid Transit (DART) – Contact: Jared Kauffman 576-6062</u>

• A shelter pad is needed. DART can specify a type as there is no sketch of the pedestrian pathway.

A shelter pad is being planned for the project.

• Sidewalk is needed to the stop across the street (stop ID 3390) with pedestrian pathway to stop ID 3390. Stop ID 3390 should be upgraded to a Type 2 12'x8' shelter pad.

Sussex County - Contact Rob Davis 302-855-7820

• Sussex County does not expect to provide sanitary sewer service within the area proposed for commercial development. The Sussex County Engineering Department recommends the project receive wastewater service from a public utility as proposed.

Artesian has both water and sewer in front of the property that serves adjacent commercial properties as well extends to area residential communities. Private utility companies are considered a viable option for water and wastewater treatment in areas where County or municipal services are non-existent or unplanned. Artesian Wastewater Management, Inc. mainly provide water and sewer services for developments that are along Route 9 east of Georgetown CPCN's will be executed for both water and sewer for the property.

Following receipt of this letter and upon filing of an application with the local jurisdiction, the applicant shall provide to the local jurisdiction and the Office of State Planning Coordination a written response to comments received as a result of the pre-application process, noting whether comments were incorporated into the project design or not and the reason therefore.

Thank you for the opportunity to review this project. If you have any questions, please contact me at 302-739-3090.

Sincerely, PENNONI

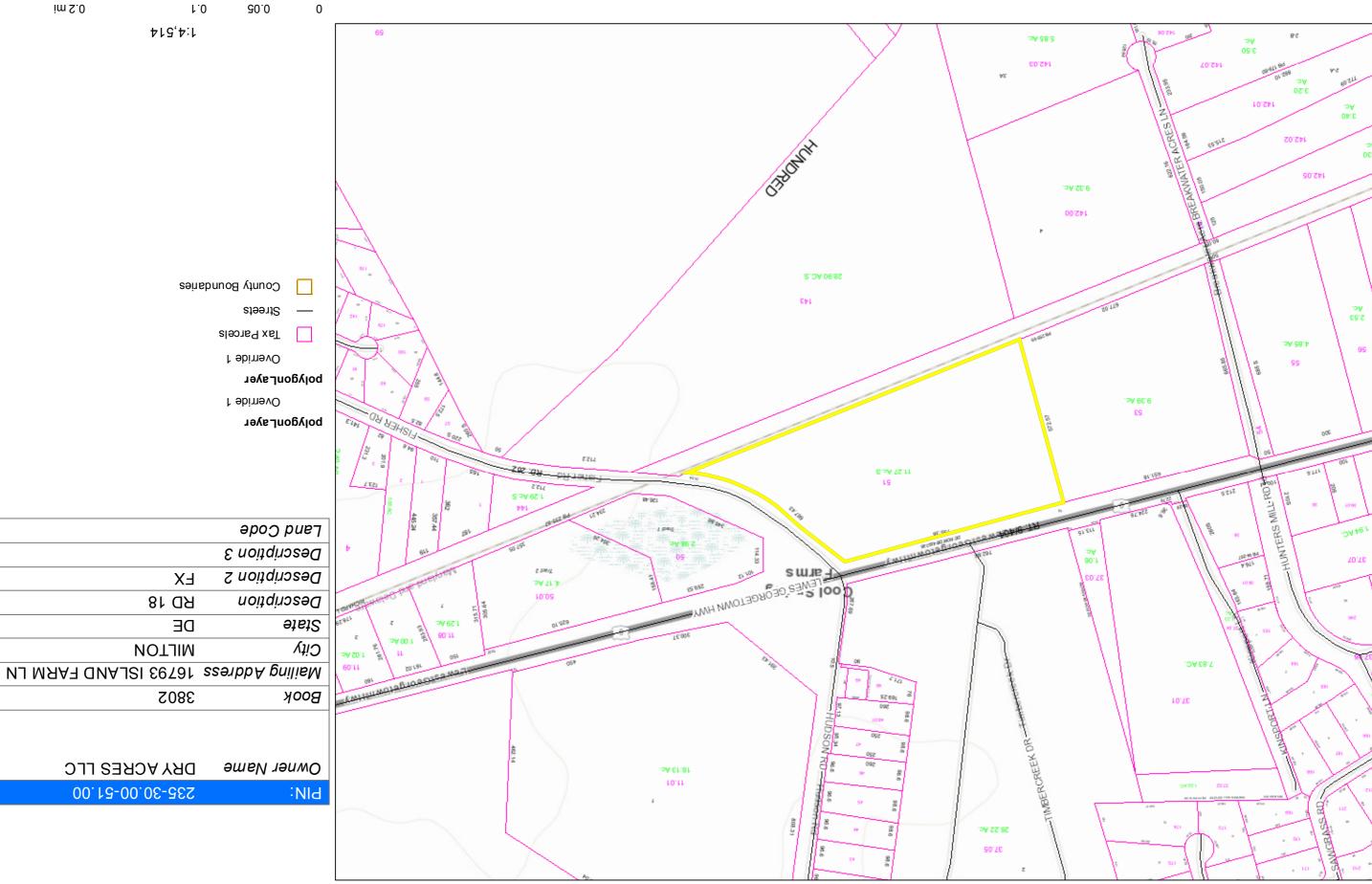
Constance C. Holland, AICP

Mark H. Davidson, VP

Director, Office of State Planning Coordination

Principal Land Planner

CC: Sussex County P&Z
Commission & Council

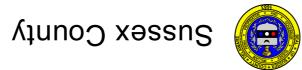


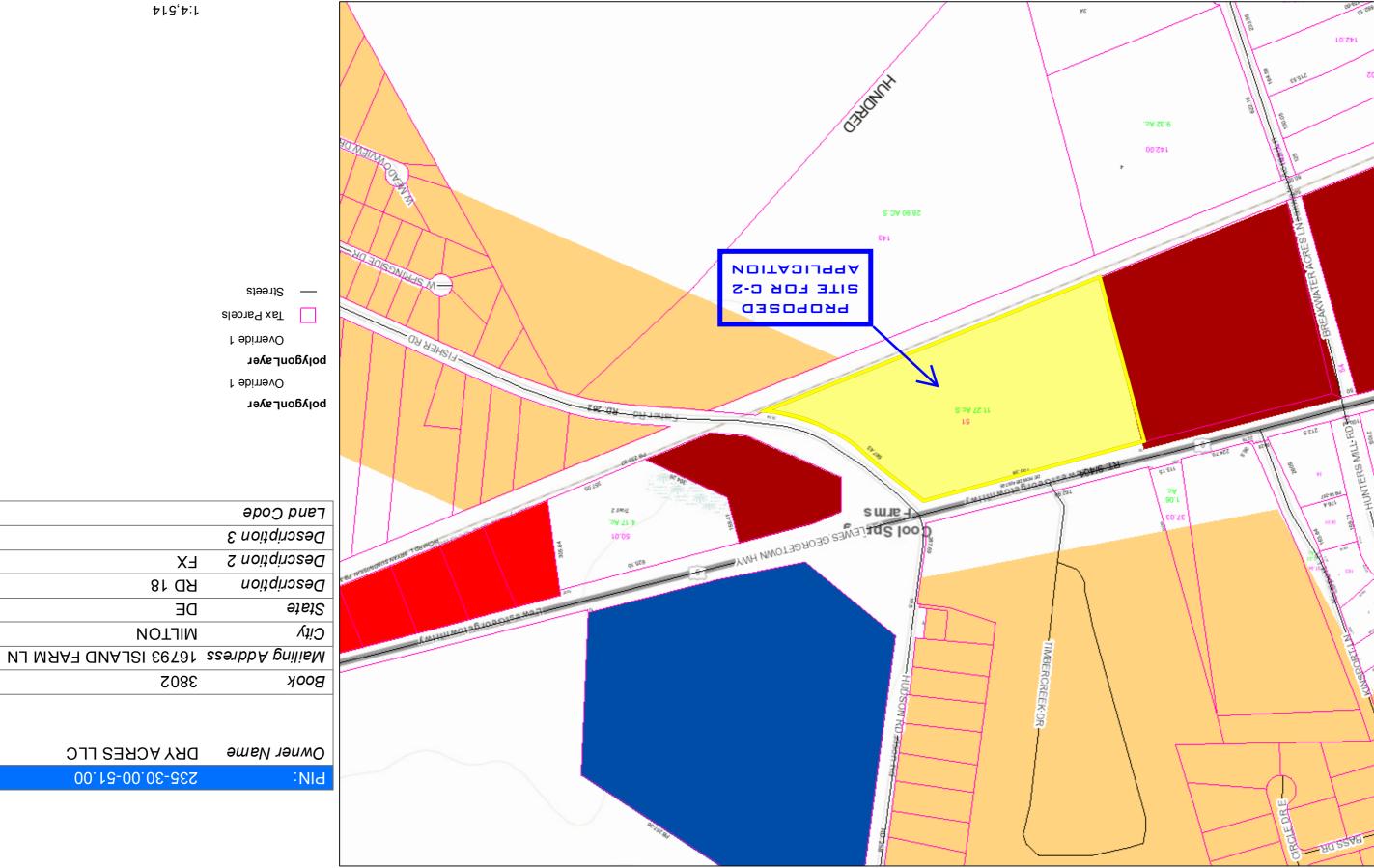
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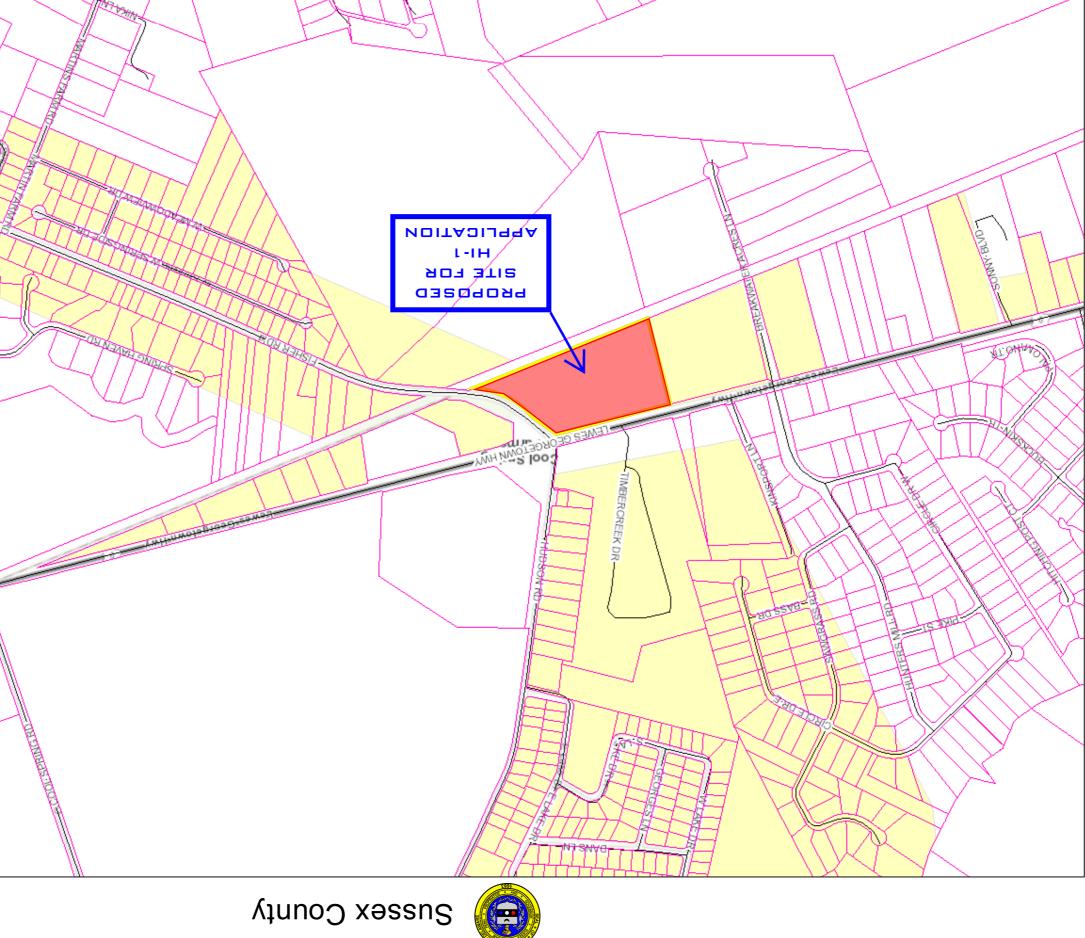
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MILTON Mailing Address 16793 ISLAND FARM LN



Sussex County

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> Town Center Municipalities

> > Industrial

Developing Area

County Boundaries

Commercial Coastal Area Low Density

2019 Future Land Use

Streets

bolygonLayer

bolygonLayer

Land Code Description 3 Description 2

Description

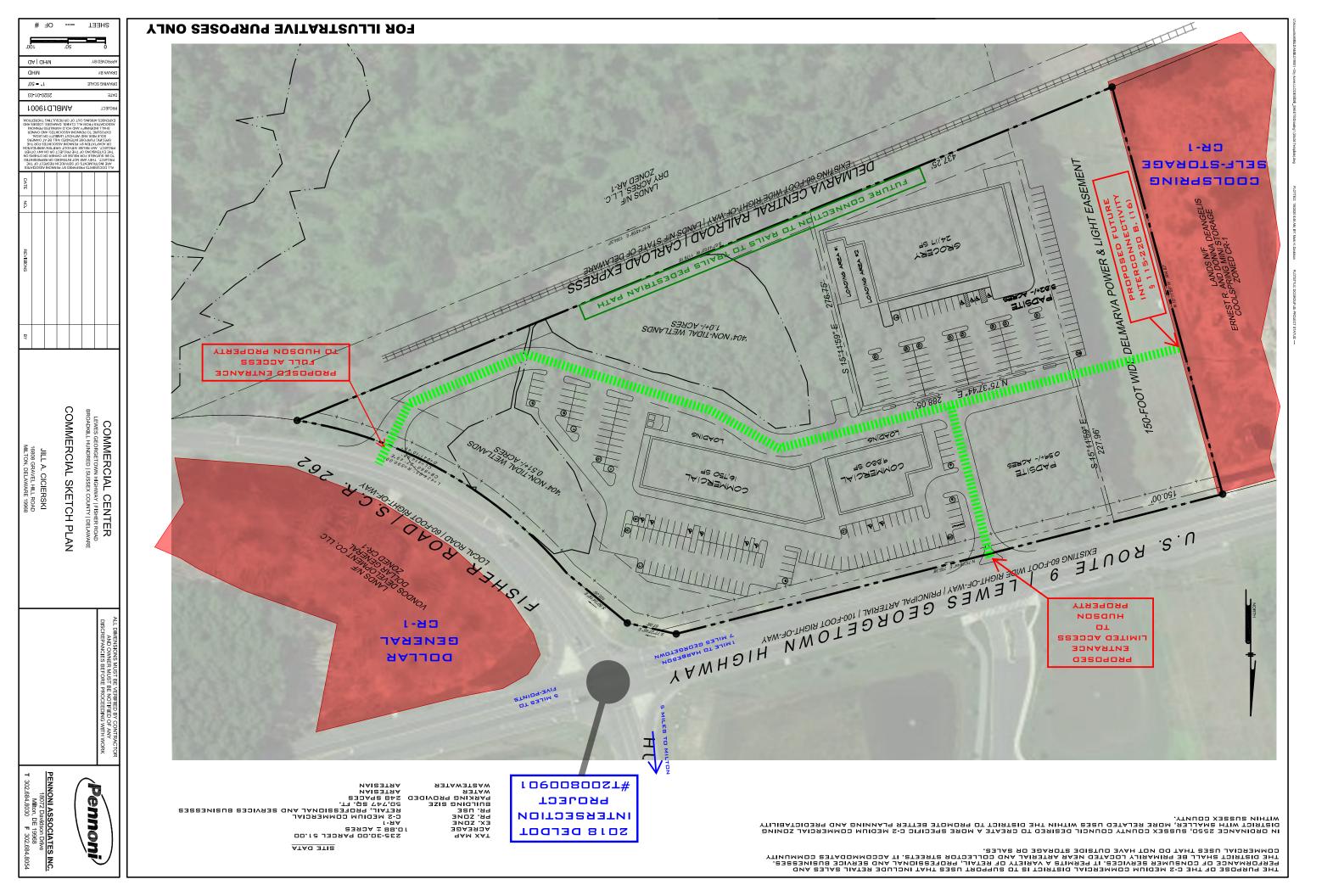
State City

Book

Tax Parcels ↑ əbiməvO

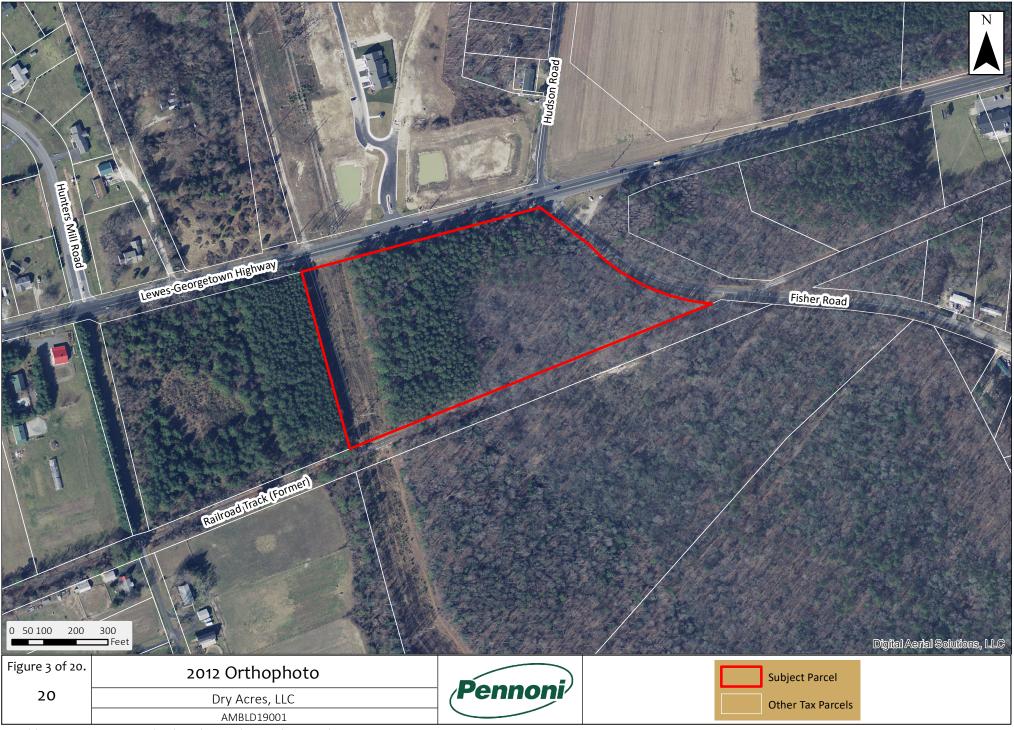
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Existing Development Area



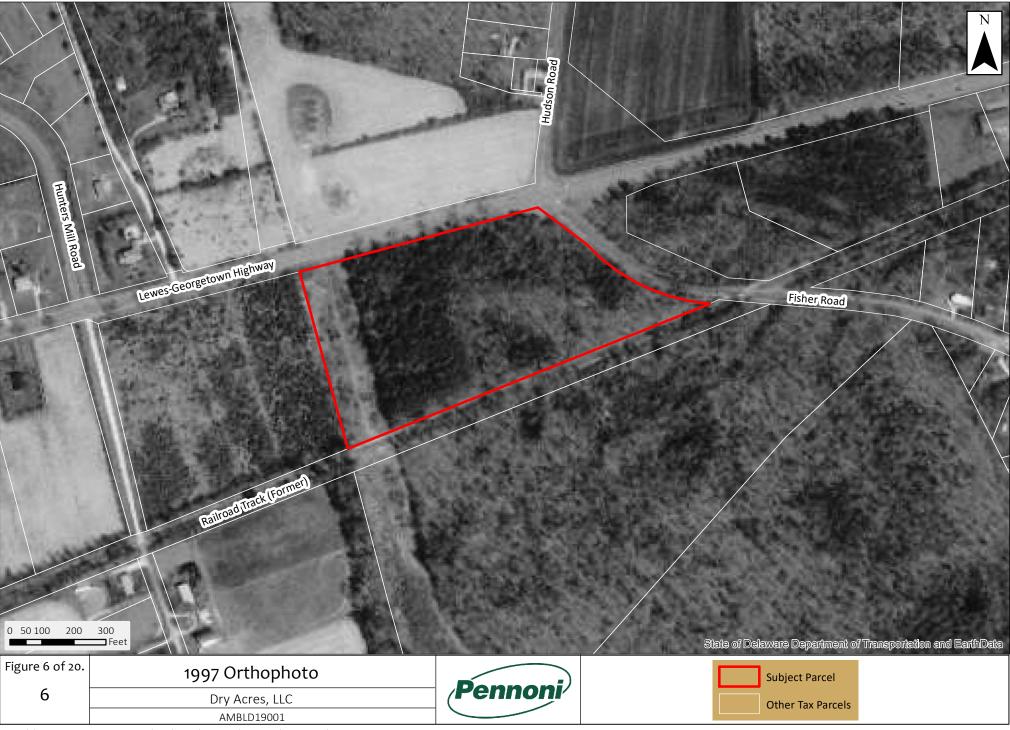








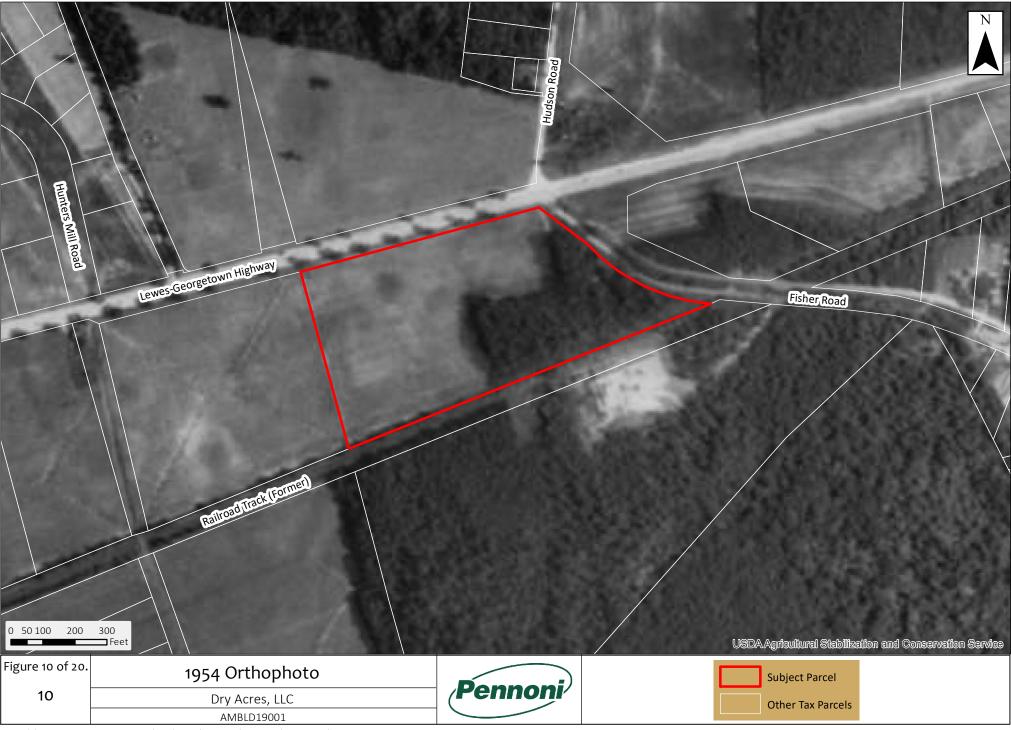


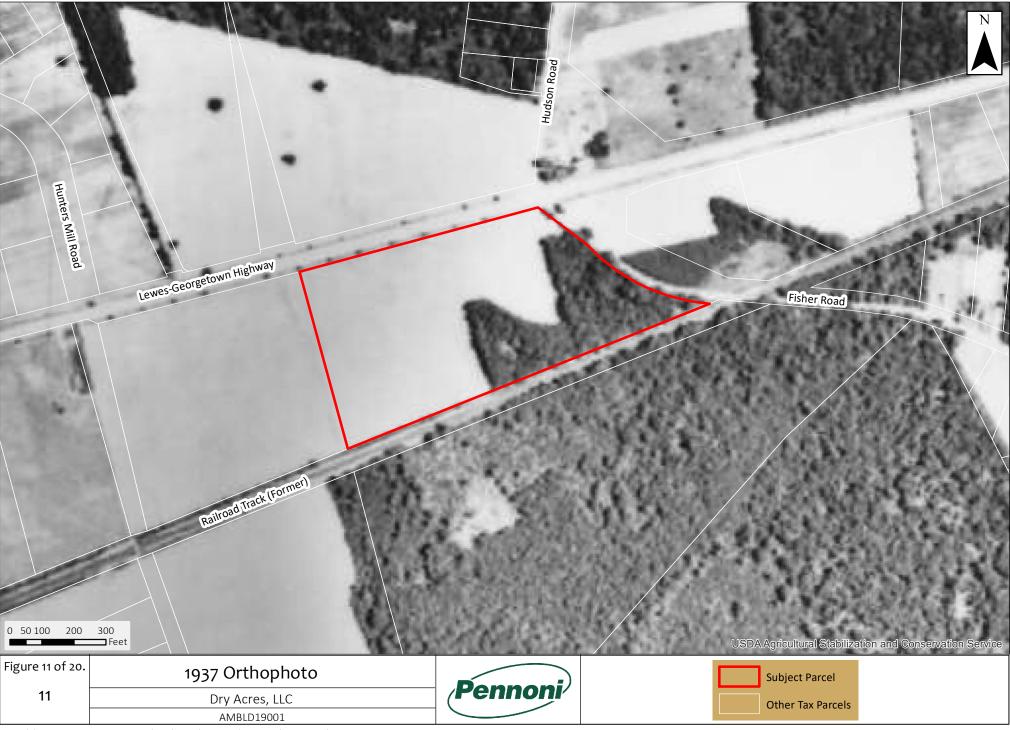


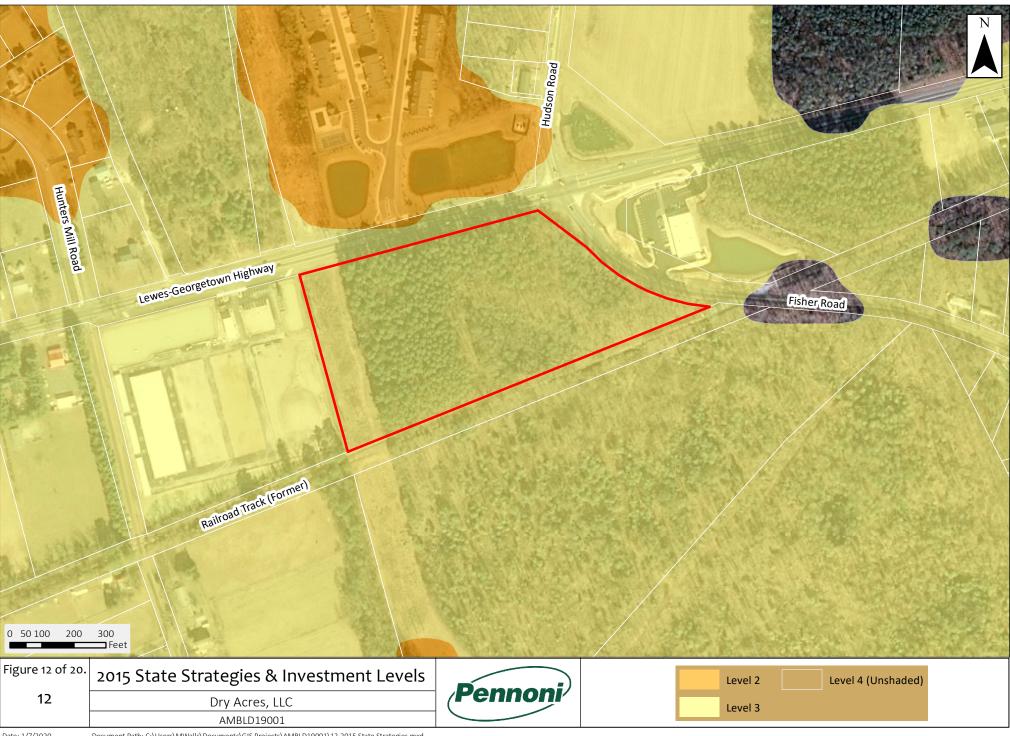


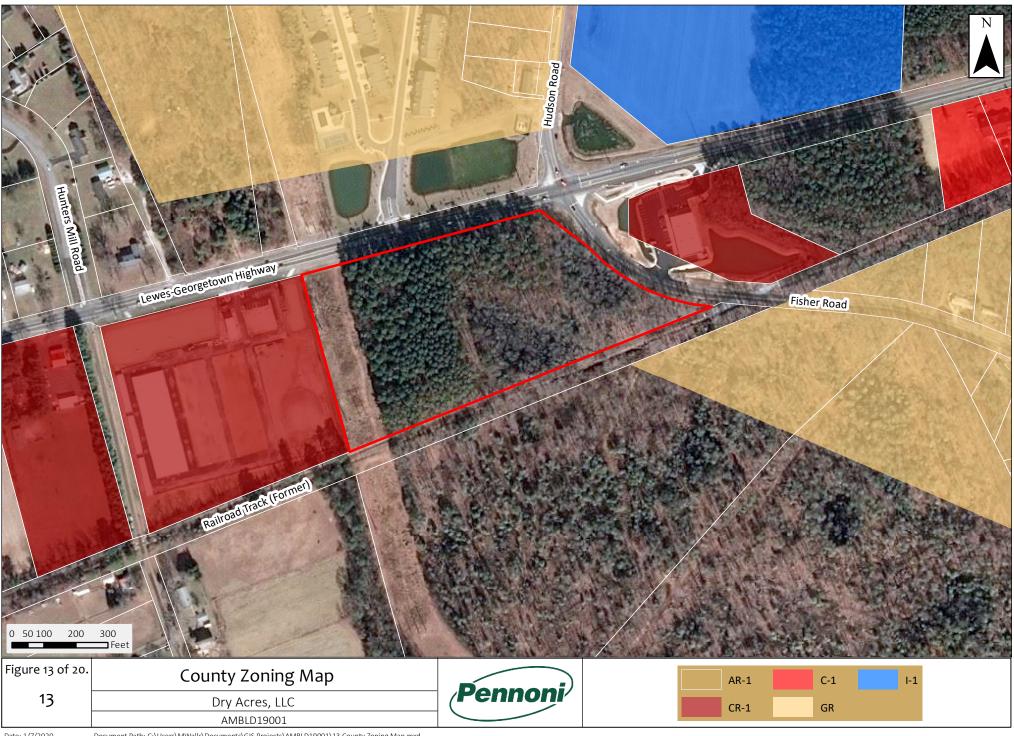


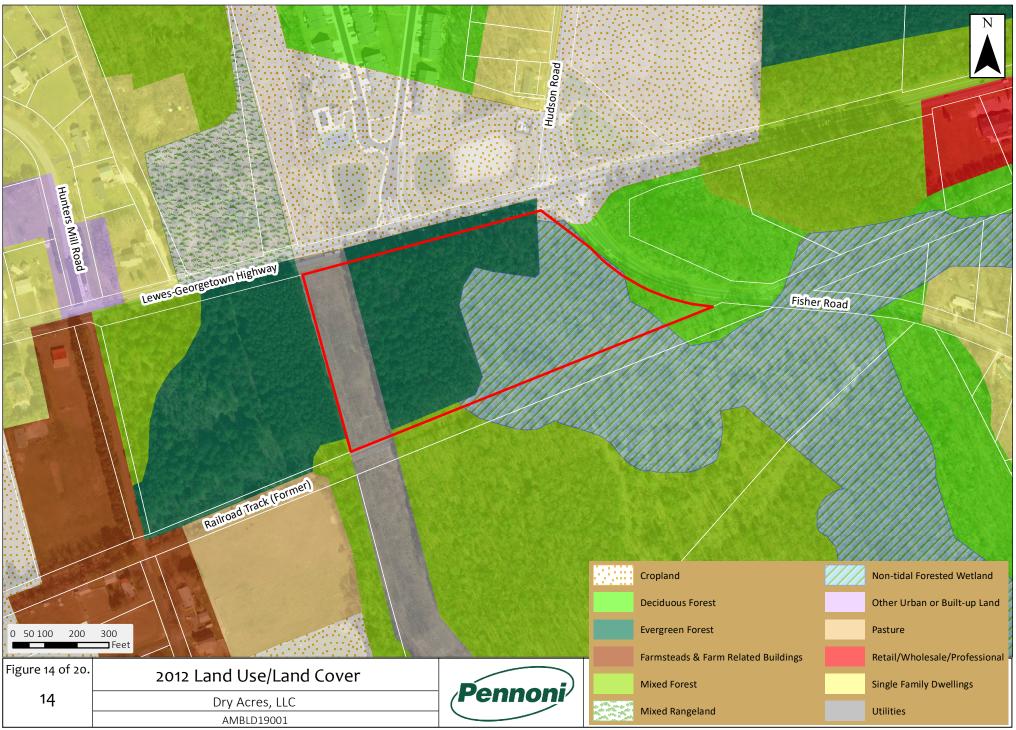


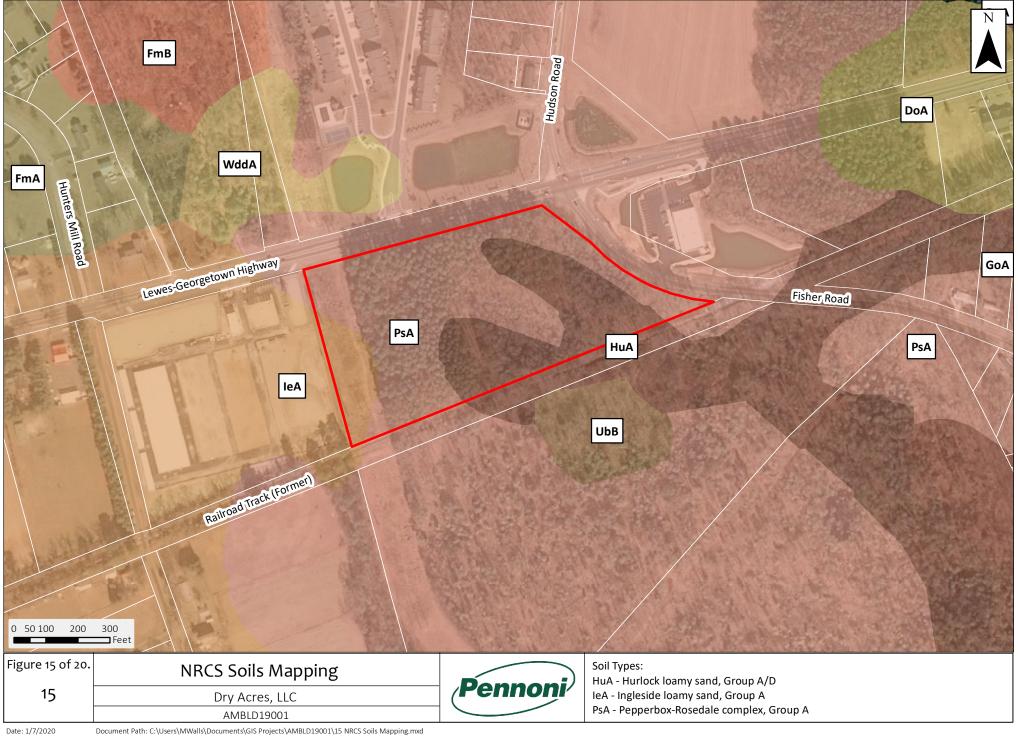


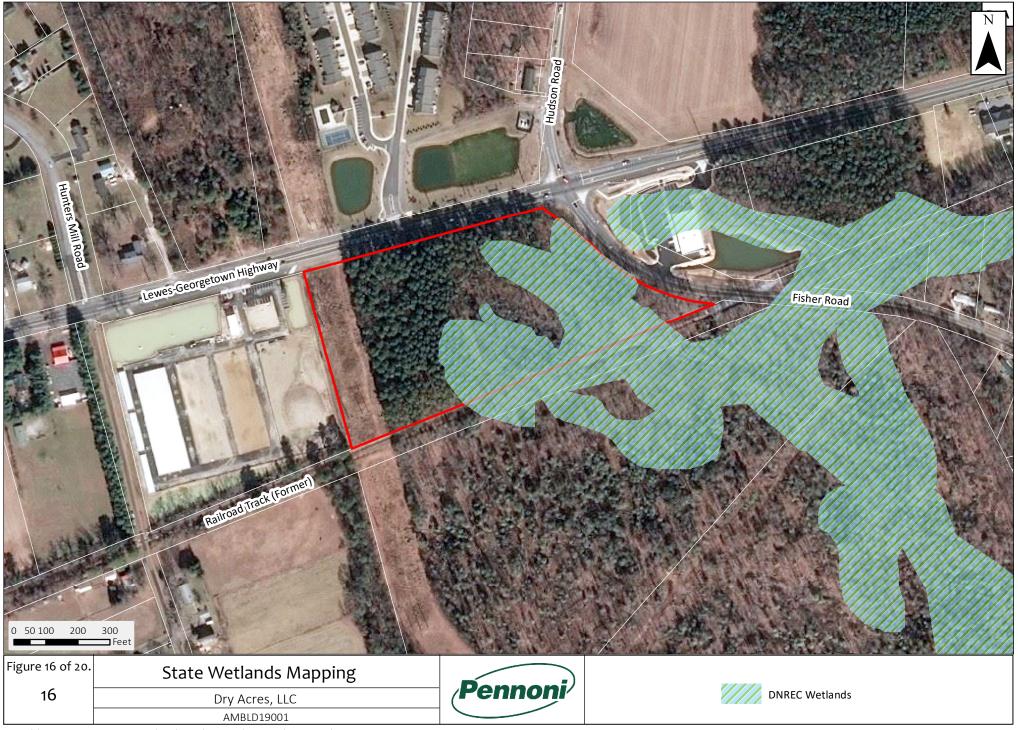




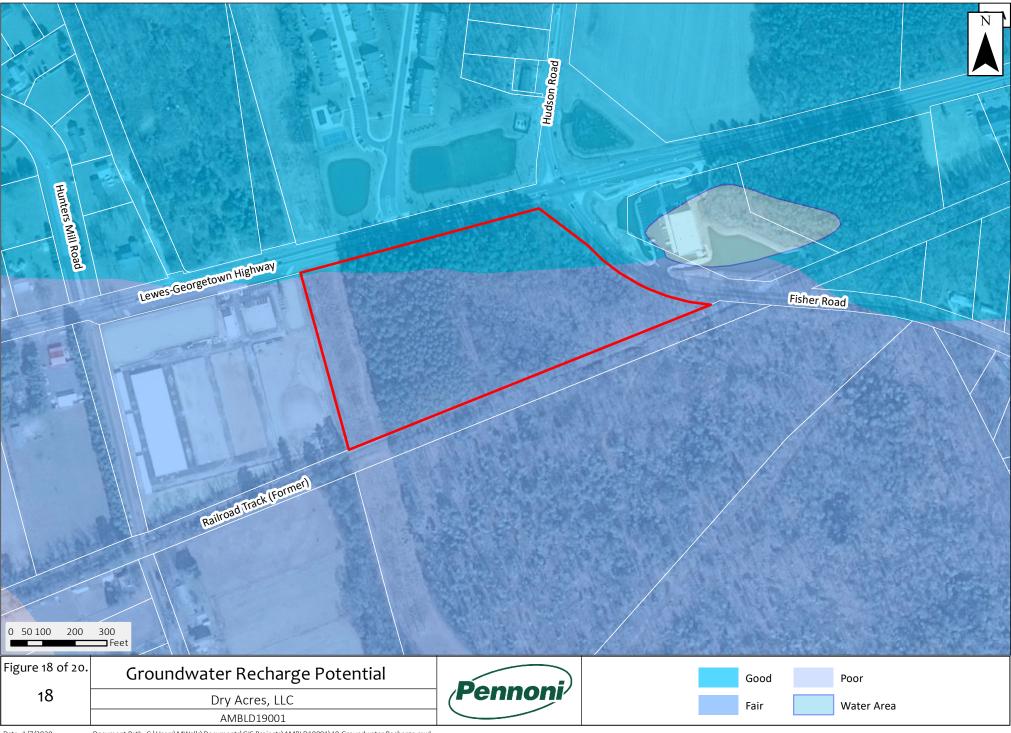


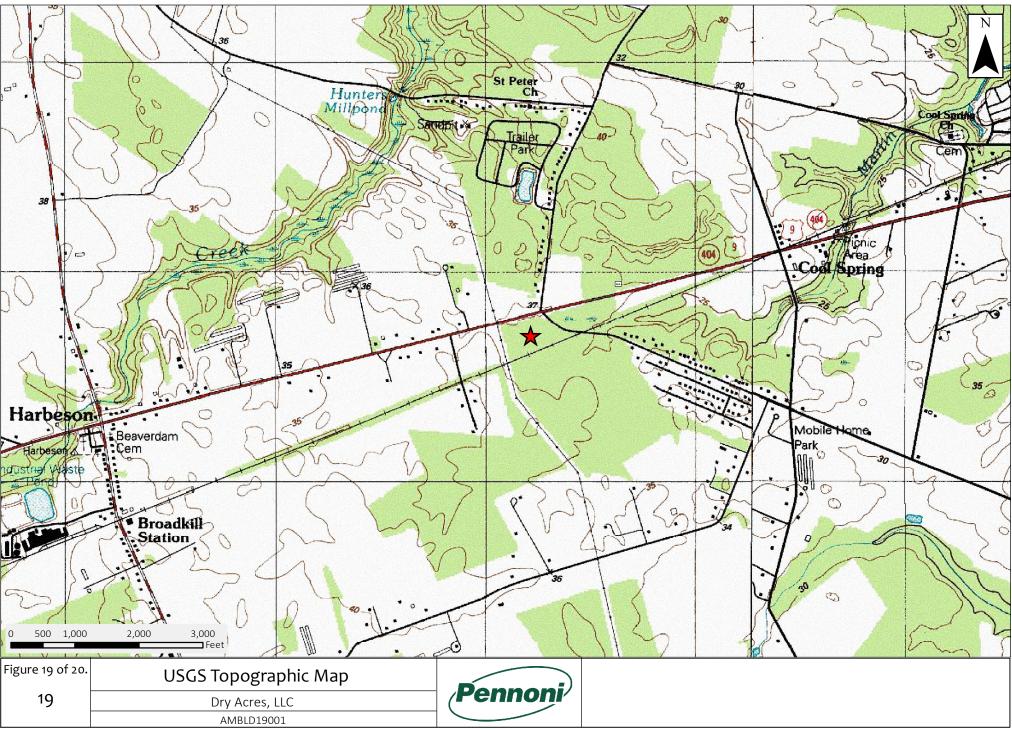


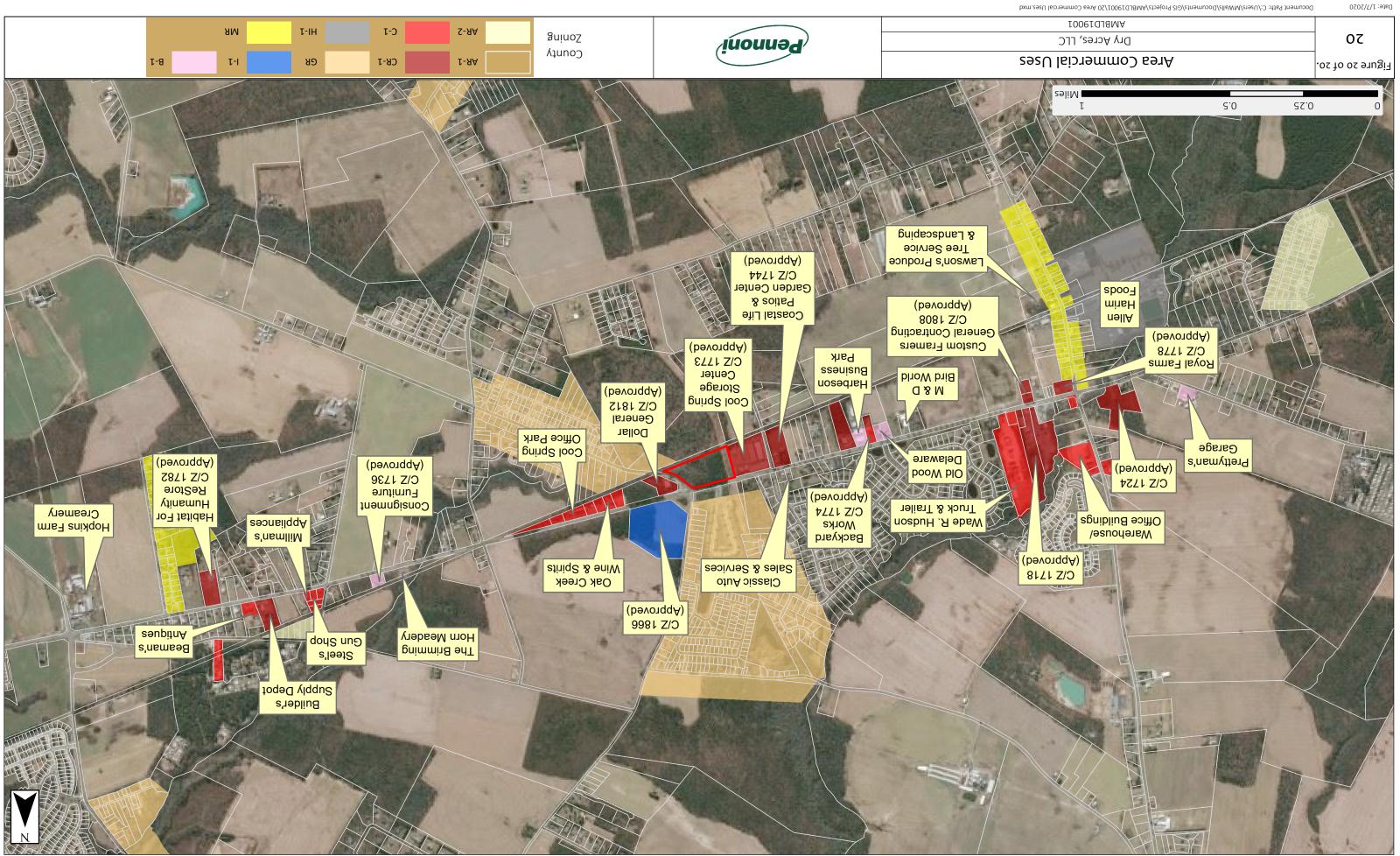








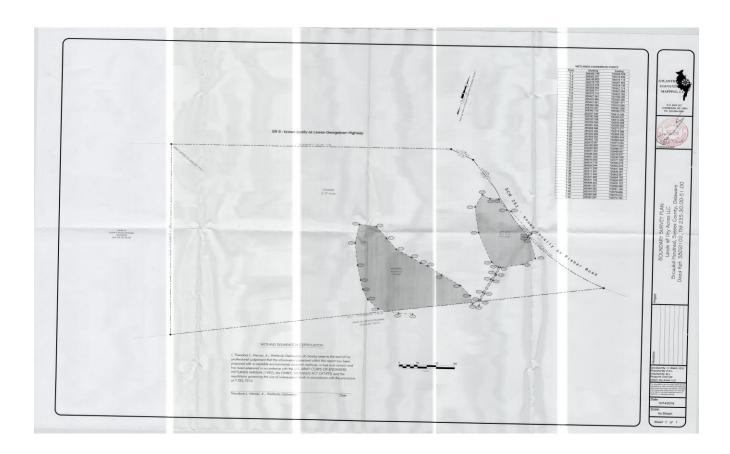




JILL A. CICIERSKI | PLAZA NINE DRY ACRES, LLC CHANGE OF ZONE #1904

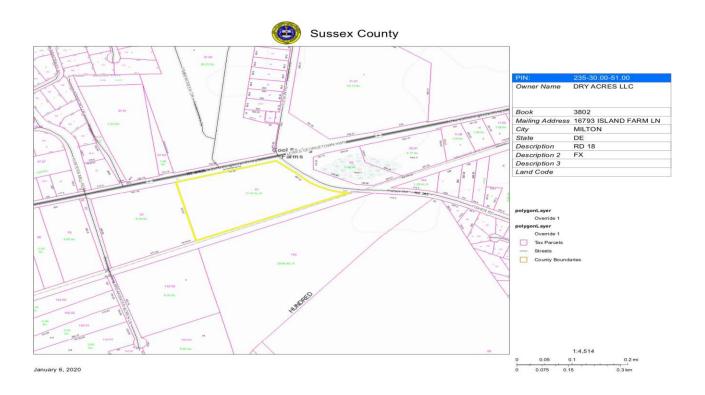
PROPOSED FINDINGS OF FACT

1. This is an application to grant a rezoning of a portion of lands in a AR-1 Agricultural Residential District located on 10.88 acres, more or less in the Broadkill Hundred located on the south side of Lewes Georgetown Highway | U.S. Route 9 and west side of Fisher Road | Sussex County Route 262 to C-2, Medium Commercial District.



2. The property is under contract to be purchased by Jill C. Cicierski and will be assigned the name Plaza Nine.

3. The property is identified on the tax maps of the Sussex County Department of Finance as Tax Map No. 235-30.00 Parcel 51.00.

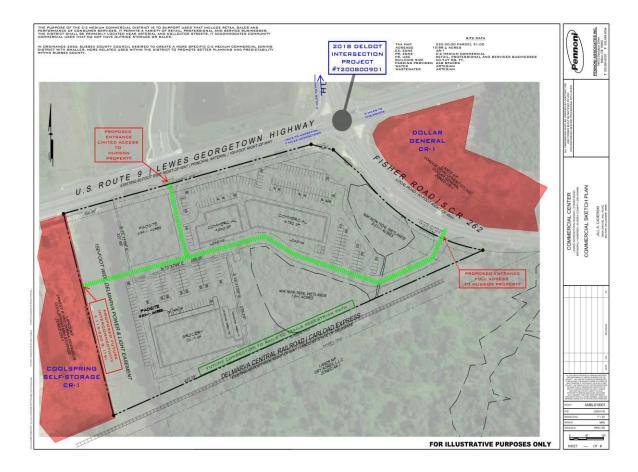


- 4. The properties are bordered on:
 - a. North US Route 9 a Principal Arterial; Shoreview Woods Development (96-Multi-Family Units);
 - b. South by Maryland Delaware Railroad (Future Rails to Trails Path) and other lands owned by Dry Acres, LLC – Zoned AR-1 and GR;
 - c. West with existing commercial uses such Coolspring Mini-Storage;
 - d. East with existing commercial uses such as Dollar General.

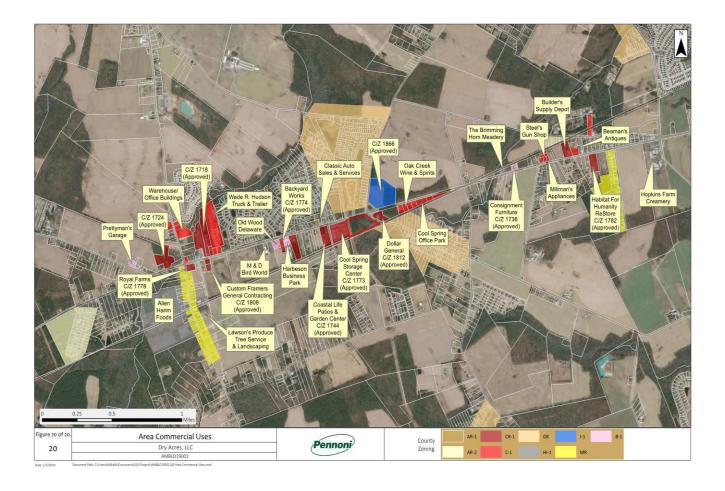


- 5. In Ordinance 2550, Sussex County Council desired to create a more specific C-2 Medium Commercial zoning district with smaller, more related uses within the District to promote better planning and predictability within Sussex County.
- 6. The purpose of the C-2 Medium Commercial District is to support uses that include retail sales and performance of consumer services. It permits a variety of retail, professional and service businesses. The district shall be primarily located near arterial and collector streets. It accommodates community commercial uses that do not have outside storage or sales.

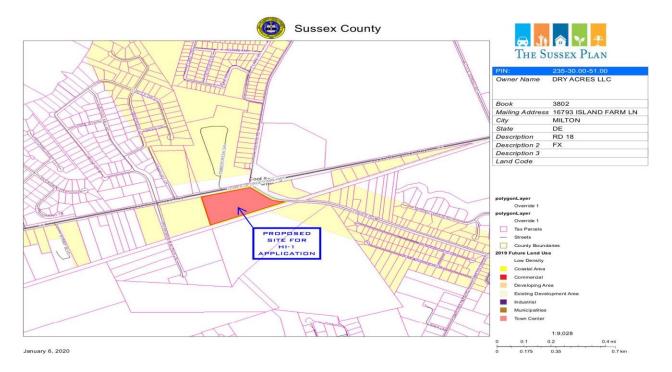
7. The granting of this application for the C-2 commercial rezoning will allow Ms. Cicierski to create a shopping plaza constructed around a community retail plaza that will provide for the sale of convenience goods and personal services for the day-to-day living needs of nearby existing and future communities.



8. The proposed rezoning to C-2 for this property is in the vicinity of other commercial zoned property and uses and will not diminish or impair property values within the neighborhood; will not create a public nuisance; or result in an increase in public expenditures.



9. In the 2019 Sussex County Comprehensive Plan – the area for the proposed rezoning for this property is identified to be in a Low-Density and is currently surrounded by Existing Developing Areas.



The Sussex Plan suggests that each application should be reviewed on its own merit and does not have a negative impact on the surrounding area or the county in general. Some of the stated goals within the plan for new commercial zoning is to:

- a. Promote growth and development in areas where capital facilities and infrastructure are already available and adequate to support the growth [Artesian has both water and sewer in front of the property that serves adjacent commercial properties as well extends to area residential communities];
- b. Promote commercial development in designated commercial, office, and industrial areas in a scale/intensity/distance appropriate to adjacent residential neighborhoods [Previously stated, Ms. Cicierski wants to provide a commercial development that is part of the community and provides for goods

- and services that are part of the community in scale. Additionally, the nearest residential development (Shoreview Woods Development) which is across the road as well as the Coolspring Developments further east on fisher Road will benefit in that the subject property is not adjacent to their development but close enough to serve the residences with future services without them having to travel farther distances];
- c. Engage in planning that considers the efficient location of public services and infrastructure while establishing future public sewer service areas that will help preserve open space by promoting orderly growth rather than unplanned sprawl [this property is located along US Route 9 with access to both Artesian water and sanitary sewer as well as access to a major roadway systems that's east and west to Lewes and Georgetown. This property in this location with a commercial zoning, will prohibit any unplanned sprawl that the Comprehensive Plan is discouraging];
- d. Coordinate with DelDOT on road improvements and other transportation projects - [the property owners have already worked with DelDOT in the dedication of additional right-of-way along US RT 9 and Fisher Road that was part of the intersection improvements that was constructed back in 2018. The Developers will work with DelDOT to allow for a shared cross access easement within the property that will promote interconnection to adjacent properties. Although a TIS was not required as a part of this application, the Developers will have to provide future Transportation Improvements to the adjacent roadways during the future planning of the commercial development. In addition, future connection to the rails to trails pedestrian path along the existing railroad tracks along the rear of the property will be coordinated with DelDOT. DART Bus Shelter will be required for this project. Since US 9 is a principal arterial and an important freight corridor, setbacks will be increased to allow for future capacity in the form of additional right-of-way dedication; permanent easements and additional stormwater management setbacks. Intersections and commercial entrances will be consolidated to reduce access

points. Service roads through the properties will link local residents to commercial parking lots at the rear of the buildings. This would increase the aesthetic benefits to the community].

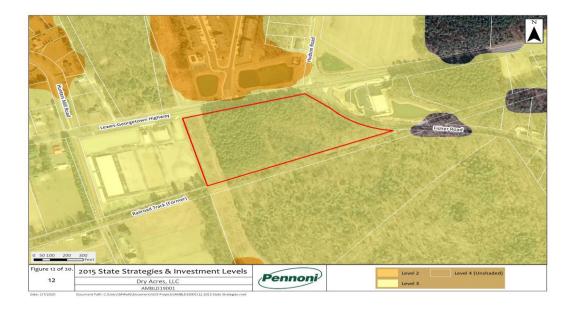
The focus of retail and office uses in Low Density Areas should be providing convenience goods and services to nearby residents which is what is being proposed for these properties. Commercial uses may be appropriate depending on surrounding uses. The surrounding uses are primarily commercial on the south side of US Route 9 with residential homes on the north side.

Consistent with the Comprehensive Plan's Future Land Use Chapter the County has considered the development along US 9 as a business corridor with a mix of residential and commercial uses that provide local residents with access to services they need. Local services would reduce travel to SR 1 for basic needs. Furthermore, the Sussex Plan promotes the US 9 vision to be tied to efforts to make the corridor multi-modal. Currently, the Georgetown to Lewes Rail Trail is being constructed by DelDOT in phases. Once completed, the trail will provide a pedestrian and bicycle path that is separated from car traffic. The trail will serve as both a recreational asset and a transportation option for commuters. Neighborhoods and businesses along the trail could see economic benefits from connecting to it. The plan presented provides for multi-modal access to RT 9 and Fisher Road as well as the existing railway at the rear of the property where the rail trail is being proposed.

Since the comprehensive plan is a guide for the future use of land, the County's official zoning map must be consistent with the uses and intensities of uses provided for in the Future Land Use Plan. Table 4.5-2 is provided below to provide a tool for assisting with determining which zoning districts are applicable to each future land use category.

Table 4.5-2 Zoning Districts Applicable to Future Land Use Categories				
FUTURE LAND USE PLAN CATEGORY	APPLICABLE ZONING DISTRICT			
RURAL AREAS				
	Agricultural Residential District (AR-1)			
	Business Community District (B-2)			
Law Danaitu	Medium Commercial District (C-2)			
Low Density	Marine District (M)			
	Institutional District (I-1)			
	New Zoning Districts			

10. The 2015 Strategies for State Policies and Spending Map identifies the area as Investment Level 3. This area is intermingled within a fast-growing area within the county and is adjacent to Level 2 areas. The priorities in the Level 3 Areas are for DelDOT to focus on regional movements between towns and other population centers. Developers and property owners will make local roadway improvements as development occurs. All infrastructure needs will be funded by the Developer. Additional public infrastructure that will benefit the community, such as, road improvements and access improvements will be paid for by the Developer. When discussing the application with the Office of State Planning Coordination (OSPC) - The OSPC works to improve the coordination and effectiveness of land-use decisions made by state, county, and municipal governments. Though state policies can support growth in these areas, the state views these areas more in a long-term basis. It is here that the State will encourage the likes of master planning for the purpose of anticipating growth. The resources needed for applications such as this for rezoning to commercial are in place and available to the project.



11. Wetlands on the property have been delineated and will not be disturbed; the property is located in a Flood Zone X Unshaded; there are no historical or natural features on the property; stormwater will be onsite and use Best Management Practices for handling stormwater runoff; the properties are not in any Groundwater Protection Zones;

Private utility companies are considered a viable option for water and wastewater treatment in areas where County or municipal services are non-existent or unplanned. Artesian Wastewater Management, Inc. mainly provide water and sewer services for developments that are along Route 9 east of Georgetown CPCN's will be executed for both water and sewer for the property.

Delmarva Power & Light Company has a 150-foot wide utility easement through the subject project that connects to major sub-station to the north of this property. These electric services will provide sufficient energy to this property, the area and beyond. These properties are fortunate to have a natural gas transmission pipeline located along the property. It is owned and operated by Eastern Shore Natural Gas Company, a subsidiary of Chesapeake Utilities (Chesapeake).

Verizon and Comcast are the main telecommunication providers operating in this service area.

All of these utilities ensure quality growth of development by the planning and developing of infrastructure and services in the County to complement State and local planning efforts with adequate water, sewer, electricity, natural gas, and fiber optic infrastructure to the property.

12. The proposed rezoning meets the general purpose of the Zoning Ordinance being located in an appropriate location meeting the purpose of this district and the future land use plans, strategies and objectives of the comprehensive plan that promotes growth and development through community design, mobility, utilities, transportation and economic development in an area where a general mixture of commercial and service activity now exists, which is essential and desirable for the general convenience, orderly growth, prosperity and welfare of the County.

PLANNING & ZONING

JANELLE M. CORNWELL, AICP DIRECTOR

> (302) 855-7878 T (302) 854-5079 F





Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, Planning and Zoning Manager; Lauren DeVore, Planner III; and Jenny

Norwood, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: January 16, 2020

RE: Other Business for January 23, 2020 Planning Commission Meeting

This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the January 23, 2020 Planning Commission meeting.

Country Life Community (S-18-14)

KH

Preliminary Site Plan

This is a Preliminary Site Plan for the construction of 35 single-family cottages and 45 apartment-style units accessed off Hickman Road (S.C.R. 16). The applicant was granted a Special Use Exception for a convalescent home, nursing home, and/or home for the aged through Board of Adjustment Case No. 12194. The Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcels: 530-4.00-23.00 & 530.00-9.00-4.00. Zoning: AR-1 (Agricultural Residential Zoning District.) Staff are awaiting agency approvals.

Artisan's Bank (S-19-47)

BM

Preliminary Site Plan

This is a Preliminary Site Plan for the construction of a proposed 3,632 square-foot bank building and associated parking to consist of a total of 27 parking spaces, accessed off Hood Road and John J. Williams Highway (Route 24). The Preliminary Site Plans complies with the Sussex County Zoning Code. Tax Parcel: 334-12.00-127.06. Zoning: CR-1 (Commercial Residential Zoning District.) Staff are awaiting agency approvals.

ABC Storage, LLC

Revised Site Plan

This is a Revised Site Plan for the construction of additional twenty-two (22) parking spaces for an existing mini-storage and retail business. The Planning and Zoning Commission approved Change of Zone 1884 on August 13, 2019 for C-2 (Medium Commercial District). The Applicant is requesting approval to provide parking in the front yard setback, there will be four (4) parking spaces within the front yard setback with the remaining proposed parking spaces beyond the front yard setback. If the request is granted, the Revised Site Plan otherwise complies with the Sussex County Zoning Code. Tax Parcel: 231-6.00-6.00 & 231-5.00-24.00. Zoning District: C-1 (General Commercial Zoning District) and C-2 (Medium Commercial Zoning District. Staff is awaiting agency approvals.



The Bottom Line (S-19-48)

Preliminary Site Plan

This is a Preliminary Site Plan for a professional office in an existing 1,374-sf structure, seven (7) parking spaces, and other site improvements located off at 29065 Lewes Georgetown Hwy. The Applicant is requesting approval for relief from the inter-connectivity requirement for commercial uses. The Preliminary Site Plan otherwise complies with the Sussex County Zoning Code. Tax Parcel: 334-4.00-80.00. Zoning District: AR-1 (Agricultural Residential Zoning District). Staff is awaiting agency approvals.

Fishers Popcorn Fenwick, LLC

KH

KS

Preliminary Site Plan

This is a Preliminary Site Plan for a proposed parking lot obtaining nine (9) parking spaces and other site improvements located off of Lighthouse Rd. The applicant is seeking a provision to allow for parking the front yard setback. The front yard setback requirement per the Sussex County Zoning Code is sixty (60) feet, the average front yard setback for this lot would be fifteen (15) feet for a structure. The Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 134-23.20-149.00. Zoning District: C-1 (General Commercial Zoning District). Staff is awaiting agency approvals.

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE / RIGHT OF WAY		
ADJOINING PROPERTY LINE		
BUILDING RESTRICTION LINE		
EASEMENT	+++	++++
CENTER LINE OF ROAD		
EDGE OF PAVING		
CURB		
DRIVEWAY		
CONTOURS		
WETLANDS LINE AND FLAG	NWNWNW	
FLOODPLAIN	———FP———FP———	
SOILS/DESIGNATION	////	
	MmA	
SOIL BORING	•	
FENCE	-xxxxxxxxxx-	
SIDEWALK		
CRUSHED STONE WALKING PATH		
STRUCTURE		
UTILITY POLE/GUY WIRE	ν ←	
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CABLE TV, PEDESTAL	U	
TRAFFIC SIGN	•	•
STREET LIGHT STORM DRAIN AND INLETS	SDSD	0
WATER MAIN, FIRE HYDRAN, & VALVE	www	6" W
SEWER MAIN, MAHNOLE, & CLEANOUT	—— SAN —————————————————————————————————	8" S MH C.
SANITARY SEWER FORCEMAIN	FMFMFMFM	
TREATED WASTEWATER APPLICATION AREA		*
SWALE		

CALL Miss Utility of Delmarva BEFORE YOU DIG 800-282-8555 or 811

TRAFFIC GENERATION - DELAWARE 16, HICKMAN ROAD

TRAFFIC GENERATION DIAGRAM

ADT (AM PEAK) [PM PEAK]

(FULL MOVEMENT)

ROAD TRAFFIC DATA: EXISTING FUNCTIONAL CLASSIFICATION - ROUTE 16 (HICKMAN RD) - MAJOR COLLECTOR | ENTRANCE POSTED SPEED LIMIT - 50 MPH AADT = 2,169 TRIPS (FROM 2018 DELDOT TRAFFIC SUMMARY) DELAWARE 16 (S 16) DELAWARE 16 (S 16) 10 YEAR PROJECTED AADT= 1.16 x 2,169 = 2,516 TRIPS TO GREENWOOD TO MARYLAND 10 YEAR PROJECTED AADT + SITE ADT = 2,516 + 379 = 2,895 TRIPS TRAFFIC PATTERN GROUP = 6 (FROM 2018 DELDOT TRAFFIC SUMMARY) 2,169 < PEAK HOUR - 11.75% x 2,895 TRIPS = 340 TRIPS DIRECTIONAL DISTRIBUTION ROUTE 16 (HICKMAN RD): 50% TO THE WEST (MARYLAND) = 1,447 50% TO THE EAST (GREENWOOD) = 1,447 SITE TRAFFIC DATA: NOW COLO SOURCE: ITE TRIP GENERATION MANUAL 10TH EDITION SENIOR ADULT HOUSING DETACHED (251) - 35 UNITS = 223 TRIPS SENIOR ADULT HOUSING ATTACHED (252) - 45 UNITS = 156 TRIPS TOTAL SITE TRIPS = 379 TRIPS (189 IN / 190 OUT) PROPOSEI ONE ENTRANCE - FULL MOVEMENT **DESIGN VEHICLE - SU-30** ENTRANCE DIRECTIONAL DISTRIBUTION 65% TO & FROM THE EAST = 379 * 65% = 246 35% TO & FROM THE WEST = 379 * 35% = 133 MORNING PEAK: 35%/65% IN/OUT MORNING PEAK HOUR SPLIT

LAND USE CODE (251): 18 TRIPS (6 IN / 12 OUT)

TOTAL MORNING PEÁK TRIPS: 27 (9 IN / 18 OUT)

LAND USE CODE (251): 21 TRIPS (13 IN / 8 OUT)

LAND USE CODE (252): 13 TRIPS (7 IN / 6 OUT)

5% TRUCKS AND BUSES = 5% * 379 = 19

TOTAL EVENING PEAK TRIPS: 34 (20 IN / 14 OUT)

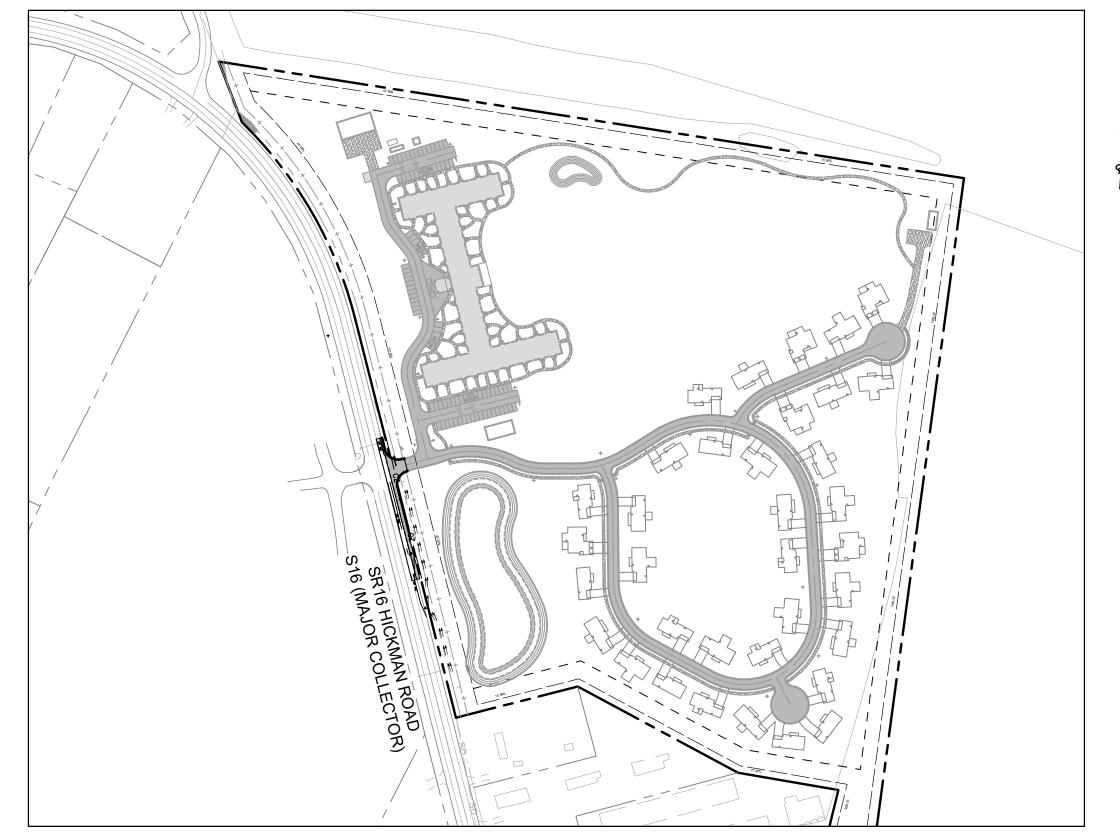
EVENING PEAK: 55%/45% IN/OUT EVENING PEAK HOUR SPLIT

LAND USE CODE (252): 9 TRIPS (3 IN / 6 OUT)

COUNTRY REST HOME, INC.

SUSSEX COUNTY PROJECT REFERENCE # S-18-14 COUNTRY LIFE COMMUNITY PRELIMINARY SITE PLANS

STATE ROUTE 16 (HICKMAN ROAD)



NOTE: THIS PROJECT WAS ORIGINALLY PART OF CU 2123 WHICH WAS DENIED BY THE PLANNING AND ZONING COMMISSION ON 4/12/18 AND WAS SUBSEQUENTLY REFERRED TO THE BOARD OF ADJUSTMENT (BOA). IT WAS APPROVED BY THE BOA ON 11/7/18 UNDER CASE NO. 12194.

CONDITIONS OF APPROVAL:

1. THE APPLICANT SHALL CONSOLIDATE SUSSEX COUNTY TAX PARCEL NOS. 5-30-4.00-23.00 AND 5-30-9.00-4.00 INTO ONE TAX PARCEL.

- 2. THE ASSISTED LIVING FACILITY SHALL CONTAIN NO MORE THAN 35 SINGLE-FAMILY HOMES AND A BUILDING CONSISTING OF NO MORE THAN 42,500 SQUARE FEET CONTAINING 22 SINGLE BEDROOM AND 23 TWO-BEDROOM APARTMENTS TO ALLOW FOR AGING IN PLACE ALONG WITH ANCILLARY USES.
- 3. THE 45-UNIT (APARTMENT STYLE) FACILITY SHALL BE SET BACK A MINIMUM OF SIXTY (60) FEET FROM THE PROPERTY LINE ADJACENT TO HICKMAN ROAD.
- 4. ALL ENTRANCES, INTERSECTIONS, INTER-CONNECTION, ROADWAY, AND MULTI-MODAL IMPROVEMENTS REQUIRED BY DELDOT SHALL BE COMPLETED BY THE APPLICANT IN ACCORDANCE WITH DELDOT'S REQUIREMENTS.
- 5. THE FACILITY (INCLUDING THE SINGLE-FAMILY HOMES AND THE 45-UNIT APARTMENT-STYLE BUILDING) SHALL BE SERVED BY A PRIVATELY OPERATED, ON-SITE SANITARY SEWER TREATMENT PLANT AND DISPOSAL SYSTEM SUBJECT TO REGULATIONS OF DNREC GOVERNING THE DESIGN, INSTALLATION, AND OPERATION OF ON-SITE WASTEWATER TREATMENT AND DISPOSAL SYSTEMS.
- BUILDING) SHALL BE SERVED BY PRIVATE ON-SITE WELLS SUBJECT TO DNREC APPROVAL AND THE DELAWARE DEPARTMENT OF PUBLIC HEALTH. THE SYSTEM SHALL BE DESIGNED AND INSTALLED TO PROVIDE ADEQUATE DRINKING WATER AND FIRE PROTECTION AS REQUIRED BY APPLICABLE REGULATIONS.

6. THE FACILITY (INCLUDING THE SINGLE-FAMILY HOMES AND THE 45-UNIT APARTMENT-STYLE

- 7. STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE STATE AND COUNTY REQUIREMENTS. THESE FACILITIES SHALL BE OPERATED IN A MANNER THAT IS CONSISTENT WITH BEST MANAGEMENT PRACTICES. THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT.
- 8. THE APPLICANT SHALL PROVIDE AGRICULTURAL BUFFERS AND WETLAND BUFFERS, AS NECESSARY, IN ACCORDANCE WITH THE APPLICABLE REGULATIONS. THE AGRICULTURAL USE NOTICE (3 DEL. C. § 910) SHALL BE INCLUDED IN ALL LEASES FOR UNITS ON THE
- 9. THE APPLICANT SHALL SUBMIT AS PART OF THE SITE PLAN REVIEW A LANDSCAPE PLAN SHOWING THE PROPOSED TREE AND SHRUB LANDSCAPE DESIGN.
- 10. THE APPLICANT SHALL RETAIN AS MUCH OF THE EXISTING TREES AND OTHER VEGETATION ALONG THE BOUNDARIES OF THE PROPERTY UNLESS REMOVAL IS NECESSARY FOR STORM WATER MANAGEMENT OR OTHER SITE CONDITIONS AND SHALL USE THE VEGETATION TO CREATE A TWENTY (20) FOOT FORESTED BUFFER ALONG THE SIDES AND REAR OF THE
- 11. ALL FIRE SAFETY AND PROTECTION REQUIREMENTS, INCLUDING, BUT NOT LIMITED TO FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS, SHALL BE REVIEWED, APPROVED, AND INSTALLED ACCORDING TO THE STATE OF DELAWARE FIRE PREVENTION
- 12. PRELIMINARY AND FINAL SITE PLANS SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING & ZONING COMMISSION.

SITE OVERVIEW

INDEX OF DRAWINGS

Sheet Number	Sheet Title		
RP-1	COVER SHEET		
RP-2	RECORD PLAN		
RP-3	RECORD PLAN		
RP-4	RECORD PLAN		
LP-1	LANDSCAPE PLAN		

PROJECT TEAM

OWNER/DEVELOPER
COUNTRY REST HOME, INC. 12046 SUNSET LANE GREENWOOD, DE 19950

20246 COASTAL HIGHWAY REHOBOTH BEACH, DE 19971 (302) 236-3600

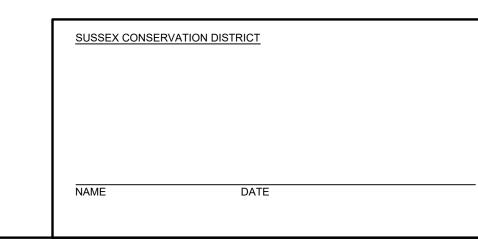
PENNONI ASSOCIATES, INC 18072 DAVIDSON DR MILTON, DE 19968

GEOLOGIST GEO-TECHNOLOGY ASSOCIATES, INC. 3445-A BOX HILL CORPORATE CENTER DR. ABINGDON, MD 21009

SOIL SCIENTIST EASTERN SHORE SOIL SERVICES P.O. BOX 411 GEORGETOWN, DE 19947 (302) 856-1853

23818 SHORTLY ROAD GEORGETOWN, DE 19947 (302) 856-2105

GEORGETOWN, DE 19947 (302) 853-1300



ENGINEERS CERTIFICATION

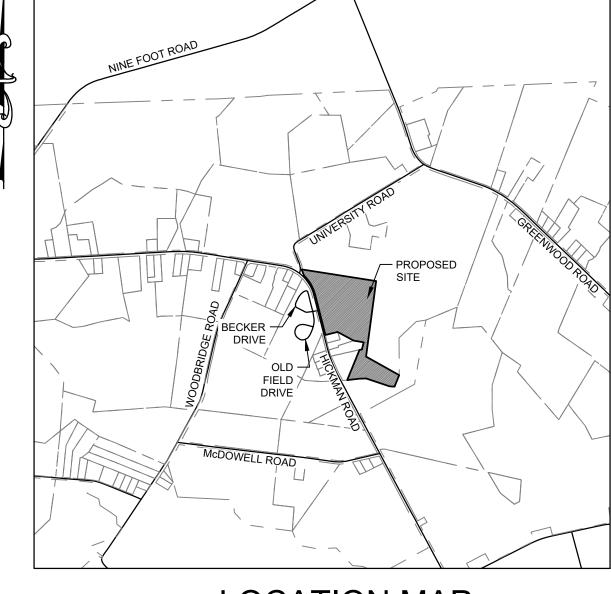
, DAVID M. HEATWOLE, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVID M. HEATWOLE, P.E. (LICENSE #17760)

OWNER(S) CERTIFICATION

, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE LEGAL OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THAT THE PLAN WAS MADE AT MY DIRECTION. THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

COUNTRY REST HOME INC. 12046 SUNSET LANE GREENWOOD, DE 19950



LOCATION MAP

SITE DATA:

\simeq					
1.	TAX MAP NUMBER:	530-4.00-23.0	0 & 53	30-9.00-4.00	
2.	PARCEL AREAS/NET DEVELOPMENT AREA: 530-4.00-23.00 530-9.00-4.00 TOTAL	30.725 ACRE 13.023 ACRE 43.748 ACRE	<u>s</u>		
3	TOTAL LOTS / PARCELS	EXISTING:	2	PROPOSED:	

4. DEVELOPER NAME PROPERTY ADDRES 6939 HICKMAN ROAD

CURRENT ZONING 8. PROPOSED ZONING

HOME, NURSING HOME, AND / OR HOME FOR THE AGED)

CONVALESCENT HOME. NURSING HOME. AND / OR HOME

11. REQUIRED SETBACKS (B.R.L.): FRONT: 40-FEET SIDE: 15-FEET REAR: 20-FEET CORNER: 15-FEET

12. DWELLING UNITS: PROPOSED HOUSES: 35 TWO (2) BEDROOM COTTAGES 35 SINGLE BEDROOM UNITS MULTIFAMILY BUILDING:

10 TWO (2) BEDROOM UNITS BUILDING SIZE: ± 42,500 SF 13. COTTAGE BUILDING SETBACKS AND RESTRICTIONS:

BUILDING STORIES ALLOWED: 1 STORY

BUILDING SETBACK FROM ON-SITE SEWER DISPOSAL BED: 50-FEET PRIVATE (ON-SITE WELL) WATER IS SUBJECT TO THE 14. WATER SUPPLIER:

APPROVAL OF THE DELAWARE STATE DEPARTMENTS OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DIVISION OF PUBLIC HEALTH.

PRIVATE ON-SITE TREATMENT PLANT & DISPOSAL SYSTEM 15. SANITARY SEWER PROVIDER: SUBJECT TO THE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL'S REGULATIONS GOVERNING THE DESIGN, INSTALLATION AND OPERATION OF ON-SITE WASTEWATER TREATMENT AND DISPOSAL

SYSTEMS. 16. STREETS: PRIVATE

17. FEMA FLOOD ZONE, MAP #, AND DATE: ZONE X, 10005C0105K, AND MARCH 16, 2015

18. REQUIRED PARKING 1 FOR EACH 4 PATIENT BEDS, PLUS 1 PER 2 EMPLOYEES ON THE LARGEST SHIFT 55 (35 SINGLE UNITS AND 10 DOUBLE UNITS) NUMBER OF BEDROOMS NEEDED SPACES PER BEDROOMS EXPECTED EMPLOYEES: NEEDED SPACES FOR EMPLOYEES:

SPACES PROVIDED: HANDICAP SPACES PROVIDED: ALL OTHER UNITS: 2 SPACES EACH

PARKING SPACES REQUIRED:

19. LOADING SPACES 2 FOR FLOOR AREA BETWEEN 25,000 - 100,000 SF BUILDING REQUIRING A LODAING SPACE 1 (INDEPENDENT LIVING FACILITY) LOADING SPACES REQUIRED 2 (FLOOR AREA BETWEEN 25,000 - 100,000 SF)

LOADING SPACES PROVIDED 20. EXISTING FORESTED AREA: 10.6 ACRES PROPOSED FORESTED AREA: 10.6 ACRES

21. POSTED SPEED LIMIT (ROUTE 16): 22. STATE INVESTMENT AREA: LEVEL 4 23. PROPOSED BUILDING HEIGHT: LESS THAN 42 FEET

24. LATITUDE AND LONGITUDE STATE PLAN COORDINATES: LONGITUDE: W075.3708 LATITUDE: N038.4916

25. FEDERAL WETLAND AREA: STATE WETLAND AREA (NON TIDAL):

0.00 AC WETLANDS IMPACTED BY THE PROJECT: 0.00 AC.

26. PROPOSED DISCHARGE LOCATION: CART BRANCH / NANTICOKE RIVER QUARTER BRANCH / MARSHYHOPE CREEK

27. PROXIMITY TO T.I.D.: UNKNOWN 28. LIMIT OF DISTURBANCE:

NANTICOKE RIVER & MARSHYHOPE CREEK 29. WATERSHED:

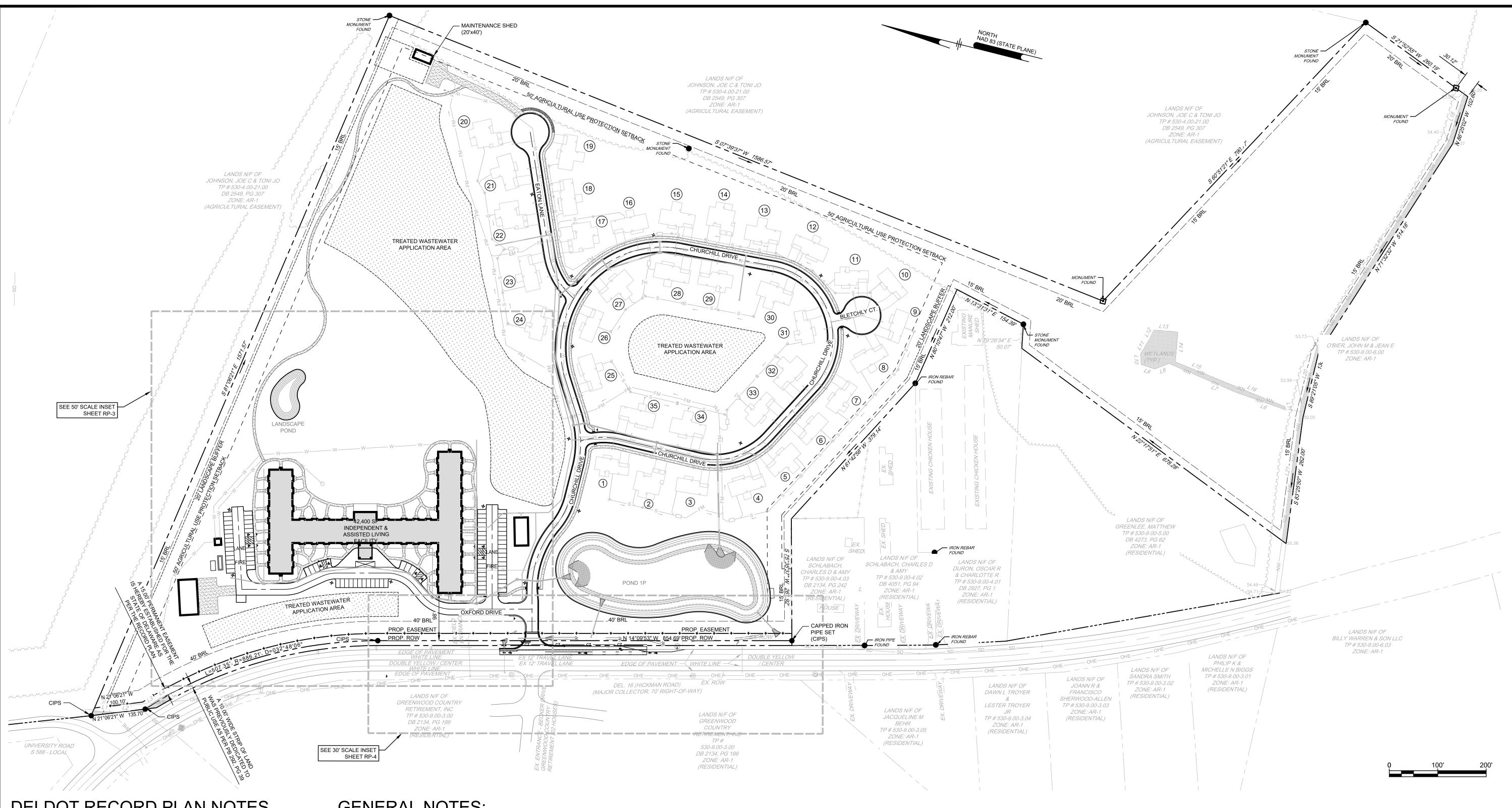
0.396 AC. ±

0-9.00-KMAN R HUNDRE

ISSUE / REVISION BLOCK 8.30.19 DELDOT SUBMISSION

9.16.19 FIRE MARSHAL SUBMISSION 9.27.19 SUSSEX CONSERVATION 11.15.19 SUSSEX COUNTY P & Z

SCALE PROJECT # DRAWN BY AS NOTED | CHRE1901 | DMH DRAWING NUMBER



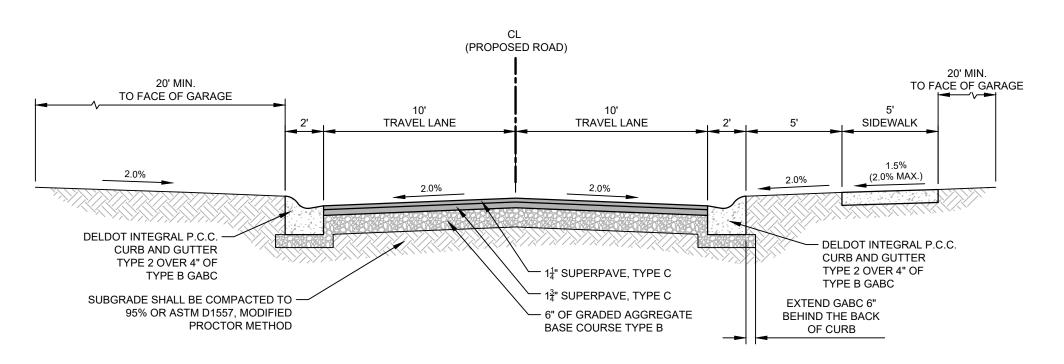
DELDOT RECORD PLAN NOTES **GENERAL NOTES:**

(DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS

. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S

- 2. NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT
- PRIVATE STREETS CONSTRUCTED WITHIN THIS DEVELOPMENT SHALL BE MAINTAINED BY THE DEVELOPER, (TITLE 17 §131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE FOR THE SIDEWALK.
- a. ALL RESIDENTIAL UNITS SHALL HAVE ACCESS FROM INTERNAL STREETS. b. DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
- c. TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND
- 7. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.

- 1. THE BOUNDARY INFORMATION SHOWN ON THIS PLAN IS BASED ON A PENNONI ASSOCIATES, INC. BOUNDARY SURVEY PLAN DATED 11/11/2016 UNDER - PLOT BOOK 292, PAGE 39.
- 2. ALL PROVIDED EASEMENTS ARE SHOWN ON THE PLAN PER TITLE SEARCH PROVIDED BY DELAWARE TITLE SERVICES, LLC.. THIS SURVEY DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHTS OF WAY CROSSING SUBJECT PROPERTY.
- 3. THE ITEMS DEPICTED ON THE FINAL SITE PLAN ARE FOR ILLUSTRATIVE AND OUTLINE PURPOSES ONLY. THE GENERAL LOCATION AND DIMENSIONS OF ITEMS DEPICTED ON THE FINAL SITE PLAN MAY BE SUPERCEDED BY APPROVED / REVISED CONSTRUCTION DRAWINGS, BUILDING PERMIT DRAWINGS AND OTHER MODIFICATIONS THERETO APPROVED BY THE AUTHORITIES HAVING JURISDICTION AT THE SOLE DISCRETION OF THE DEVELOPER INCLUDING THE DEVELOPER'S SUCCESSORS AND



TYPICAL PRIVATE STREET SECTION

V 1" = 2'

SCALE PROJECT # DRAWN BY 1" = 100' CHRE1901 DMH DRAWING NUMBER

8.30.19 DELDOT SUBMISSION

COMMUNIT

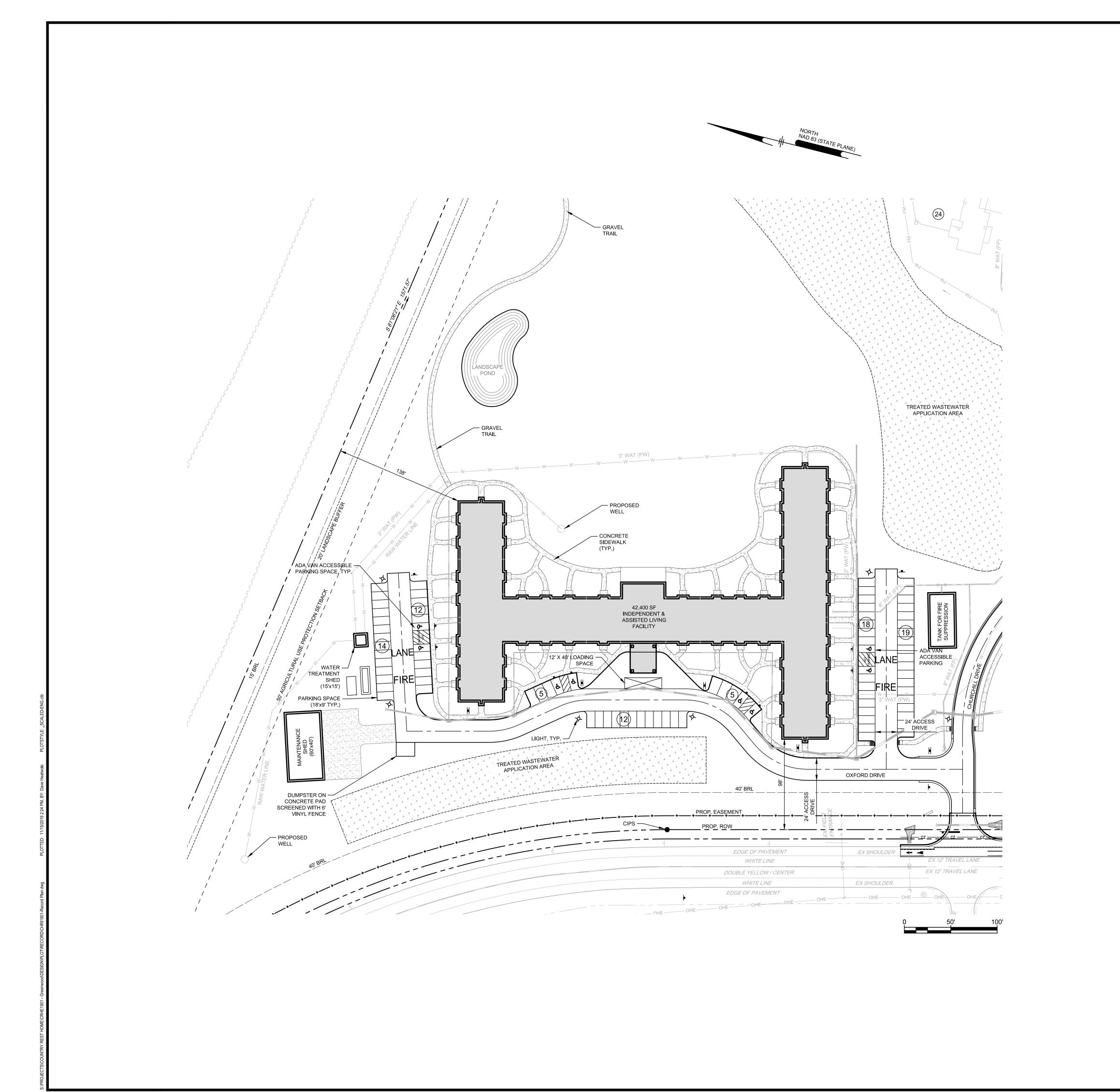
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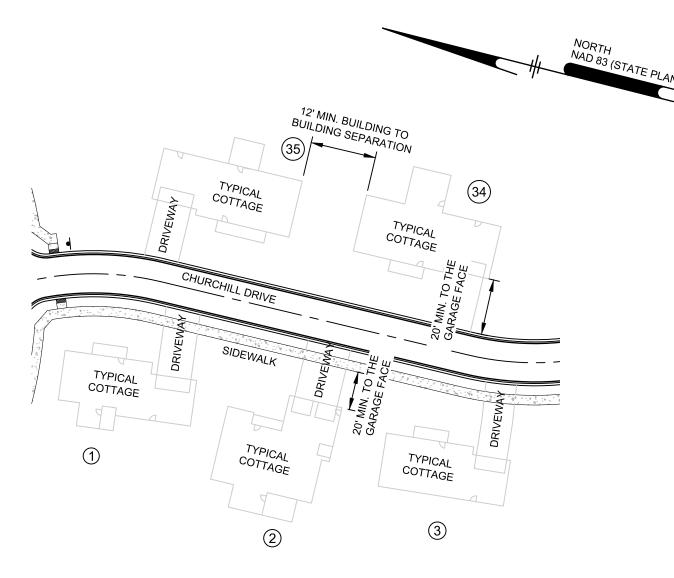
ISSUE / REVISION BLOCK 8.30.19 DELDOT SUBMISSION 9.16.19 FIRE MARSHAL SUBMISSION

9.27.19 SUSSEX CONSERVATION 11.15.19 SUSSEX COUNTY P & Z

16)

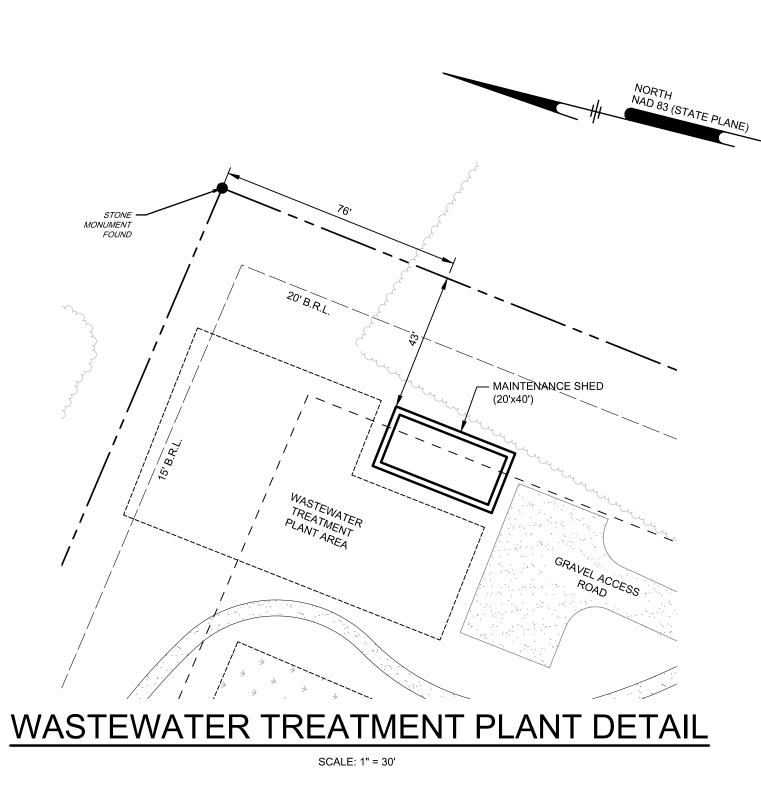
0-9.00-KMAN R HUNDRE





TYPICAL COTTAGE UNITS

SCALE: 1" = 50' NOTE: THE TYPICAL COTTAGE WILL BE APPROXIMATELY 1,500 SQUARE FEET



530-9.00-4.00 & 530-4.00-23.HICKMAN ROAD (S 16)FORK HUNDRED, SUSSEX COUNTY COMMUNIT COUNTRY

NORTHWEST FORK HUNDR

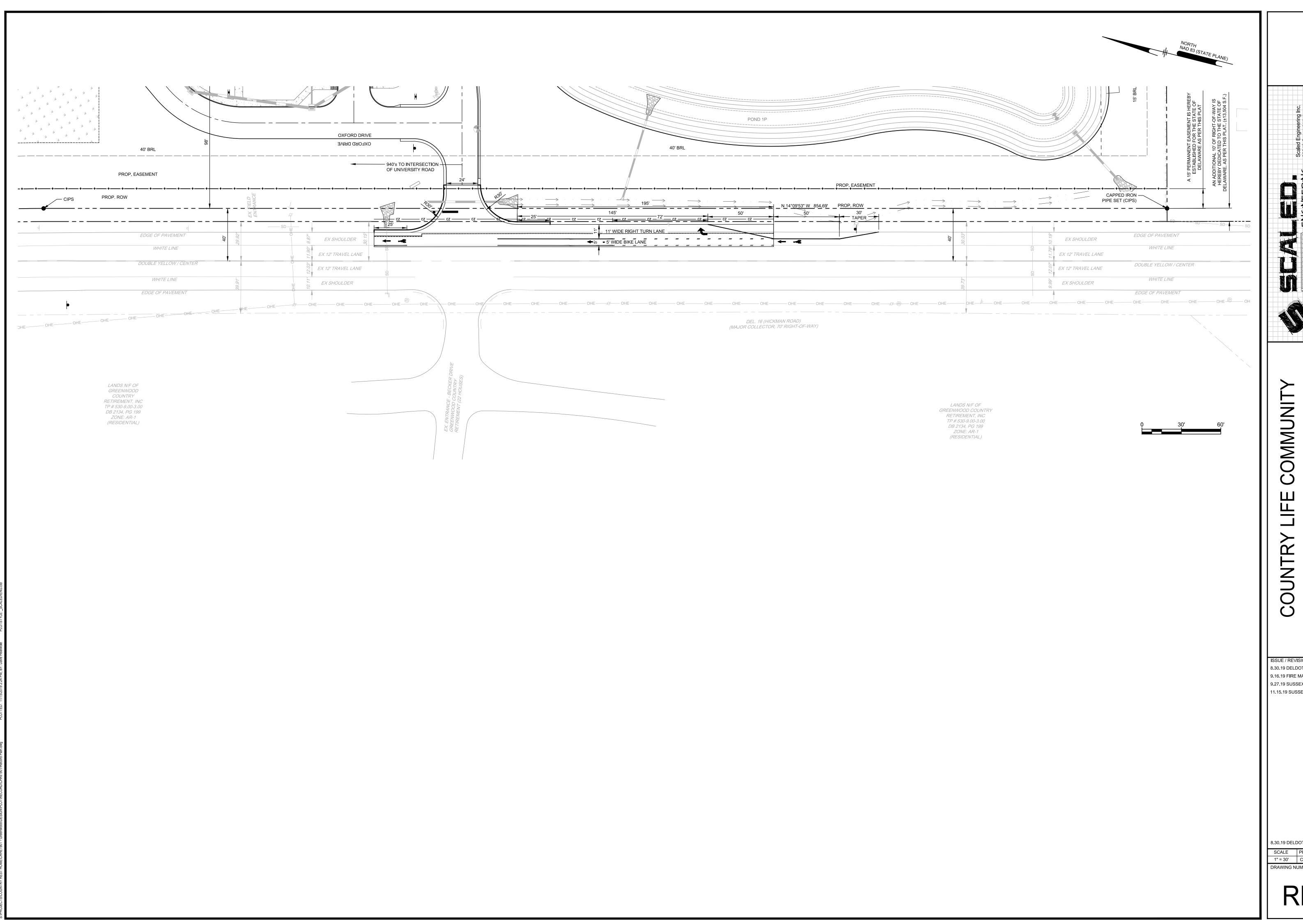
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ISSUE / REVISION BLOCK 8.30.19 DELDOT SUBMISSION 9.16.19 FIRE MARSHAL SUBMISSION 9.27.19 SUSSEX CONSERVATION 11.15.19 SUSSEX COUNTY P & Z

8.30.19 DELDOT SUBMISSION

 SCALE
 PROJECT #
 DRAWN BY

 1" = 50'
 CHRE1901
 DMH
 DRAWING NUMBER



00 CARCEL NO. 530-9.00-2 SR 16 HICKMAN RC NORTHWEST FORK HUNDREI

ISSUE / REVISION BLOCK 8.30.19 DELDOT SUBMISSION 9.16.19 FIRE MARSHAL SUBMISSION 9.27.19 SUSSEX CONSERVATION 11.15.19 SUSSEX COUNTY P & Z

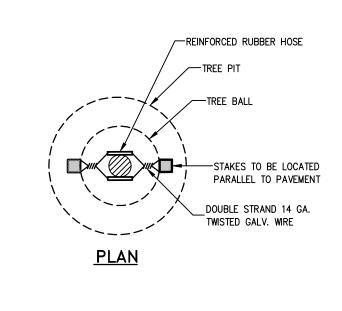
8.30.19 DELDOT SUBMISSION

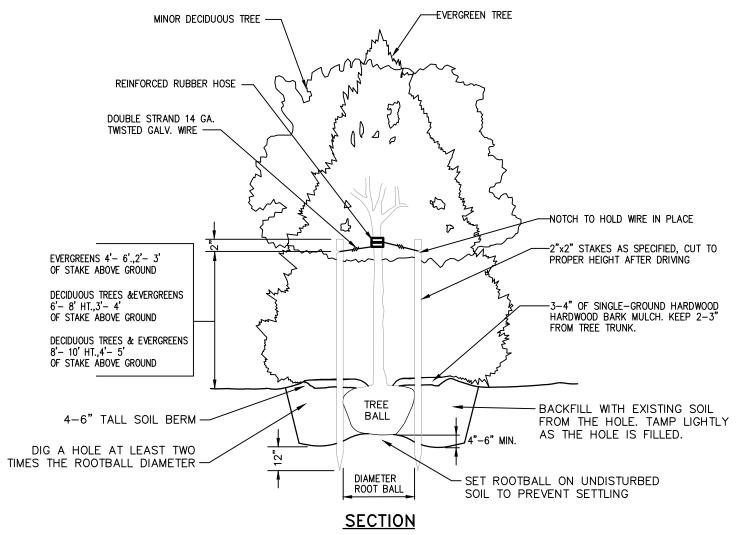
SCALE PROJECT # DRAWN BY
1" = 30' CHRE1901 DMH
DRAWING NUMBER



NOT TO SCALE

NOT TO SCALE





STAKING DETAIL

NO SCALE

SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
		DECIDUOUS TREE			
£ 1	AS	Acer saccharum 'Green Mountain'	SUGAR MAPLE	1 1/2 - 2" Cal., B&B	28
	QM	Quercus phellos	WILLOW OAK	1 1/2 - 2" Cal., B&B	28
	FG	Fagus grandifolia	AMERICAN BEECH	1 1/2 - 2" Cal., B&B	37
V.	TC	Tilia cordata	LITTLELEAF LINDEN	1 1/2 - 2" Cal., B&B	37
<u></u>	NS	Nyssa sylvatica	BLACK TUPELO	1 1/2 - 2" Cal., B&B	37
	cs	Carya ovata	SHAGBARK HICKORY	1 1/2 - 2" Cal., B&B	37
		EVERGREEN TREE			
	M∨	Magnolia virginiana	SWEETBAY MAGNOLIA	5'/6' Ht., B&B	19
	PS	Pinus strobus	EASTERN WHITE PINE	5'/6' Ht., B&B	18
χνιζ	JV	Juniperus virginiana	EASTERN RED CEDAR	5'/6' Ht., B&B	18
	10	llex opaca	AMERICAN HOLLY	5'/6' Ht., B&B	19

GENERAL LANDSCAPE NOTES

- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK".
- THE LAND DEVELOPER SHALL BE HELD RESPONSIBLE FOR THE HEALTH AND SURVIVAL OF THE TREES INCLUDING REGULAR NECESSARY WATERING FOR A MINIMUM OF TWO YEARS OR UNTIL SUCH LATER DATE AS THE MAINTENANCE RESPONSIBILITIES ARE TRANSFERRED TO A HOMEOWNERS ASSOCIATION, PROVIDED HOWEVER THAT THE DEVELOPER SHALL REPLACE ANY TREES THAT DIE DURING THE MINIMUM TWO YEAR DEVELOPER MAINTENANCE PRIOR TO TRANSFERRING MAINTENANCE PESPONSIBILITIES DEVELOPER MAINTENANCE PRIOR TO TRANSFERRING MAINTENANCE RESPONSIBILITIES TO A HOMEOWNERS ASSOCIATION.
- 3 CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS.
- CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
- 5 ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN.)
- 6 EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
- 7 ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 6'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STAKING DETAIL SHOWN.
- THE FULL EXTENT OF ALL PLANTING BEDS SHALL RECEIVE 4" OF TOPSOIL AND 3" OF BARK MULCH PER SPECIFICATIONS.
- 9 THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
- 10 ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
- THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24—HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.

LANDSCAPE ARCHITECT'S STATEMENT

I, TIMOTHY M. METZNER, HEREBY STATE THAT I AM A REGISTERED LANDSCAPE ARCHITECT IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ARCHITECTURAL PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF

SIGNATURE

TIMOTHY M. METZNER, RLA, LEED AP ND DAVIS, BOWEN & FRIEDEL, INC. 1 PARK AVENUE MILFORD, DELAWARE 19963



ARCHITECTS ENGINEERS SURVEYORS

SALISBURY, MARYLAND (410) 543-9091 MILFORD, DELAWARE (302) 424-1441 EASTON, MARYLAND (410) 770-4744

COMMUNIT .00 & 530-ND (S 16) SUSSEX CO 530-9.00-4. HICKMAN ROAD, COUNTRY

00

8.30.19 DELDOT SUBMISSION 9.16.19 FIRE MARSHAL SUBMISSION 9.27.19 SUSSEX CONSERVATION

 SCALE
 PROJECT #
 DRAWN BY

 1" = 100'
 CHRE1901
 DMH
 DRAWING NUMBER

SITE DATA:

1. TAX MAP NUMBER: 530-4.00-23.00 & 530-9.00-4.00 2. PARCEL AREAS/NET DEVELOPMENT AREA: 30.725 ACRES 530-4.00-23.00

3. TOTAL LOTS / PARCELS EXISTING: 2 PROPOSED: COUNTRY REST HOME, INC. 4. DEVELOPER NAME: 5. PROPERTY ADDRESS: 6939 HICKMAN ROAD

GREENWOOD, DE 19950 GREENWOOD / NORTHWEST FORK / SUSSEX 6. TOWN / HUNDRED /COUNTY

AR-1 AGRICULTURAL RESIDENTIAL 7. CURRENT ZONING:

8. PROPOSED ZONING: AR-1 WITH SPECIAL USE EXCEPTION (CONVALESCENT HOME, NURSING HOME, AND / OR HOME FOR THE AGED) BOARD OF ADJUSTMENT CASE NO. 12194 APPROVED ON

9. PRESENT USE:

10. PROPOSED USE: CONVALESCENT HOME, NURSING HOME, AND / OR HOME FOR THE AGED

1 STORY

FRONT: 40-FEET 11. REQUIRED SETBACKS (B.R.L.): SIDE: 15-FFFT REAR: 20-FEE

12. DWELLING UNITS:

35 TWO (2) BEDROOM COTTAGES PROPOSED HOUSES: MULTIFAMILY BUILDING: 35 SINGLE BEDROOM UNITS 10 TWO (2) BEDROOM UNITS BUILDING SIZE: ± 42.500 SF

13. COTTAGE BUILDING SETBACKS AND RESTRICTIONS:

BUILDING STORIES ALLOWED:

15. SANITARY SEWER PROVIDER:

BUILDING SETBACK FROM ON-SITE SEWER DISPOSAL BED: 50-FEET

14. WATER SUPPLIER:

APPROVAL OF THE DELAWARE STATE DEPARTMENTS OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DIVISION OF PUBLIC HEALTH.

1 FOR EACH 4 PATIENT BEDS, PLUS 1 PER 2 EMPLOYEES

PRIVATE ON-SITE TREATMENT PLANT & DISPOSAL SYSTEM SUBJECT TO THE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL'S REGULATIONS GOVERNING THE DESIGN, INSTALLATION AND OPERATION OF ON-SITE WASTEWATER TREATMENT AND DISPOSAL

55 (35 SINGLE UNITS AND 10 DOUBLE UNITS)

2 FOR FLOOR AREA BETWEEN 25.000 - 100.000 SF

ON THE LARGEST SHIFT

2 SPACES EACH

0.396 AC. ±

16. STREETS: PRIVATE

17. FEMA FLOOD ZONE, MAP #, AND DATE: ZONE X, 10005C0105K, AND MARCH 16, 2015

18. REQUIRED PARKING NUMBER OF BEDROOMS NEEDED SPACES PER BEDROOMS

EXPECTED EMPLOYEES NEEDED SPACES FOR EMPLOYEES: PARKING SPACES REQUIRED: SPACES PROVIDED:

HANDICAP SPACES PROVIDED: ALL OTHER UNITS:

19. LOADING SPACES BUILDING REQUIRING A LODAING SPACE

1 (INDEPENDENT LIVING FACILITY) LOADING SPACES REQUIRED 2 (FLOOR AREA BETWEEN 25,000 - 100,000 SF) LOADING SPACES PROVIDED

20. EXISTING FORESTED AREA: 10.6 ACRES PROPOSED FORESTED AREA: 10.6 ACRES 21. POSTED SPEED LIMIT (ROUTE 16): 50 MPH 22. STATE INVESTMENT AREA:

23. PROPOSED BUILDING HEIGHT: LESS THAN 42 FEET 24. LATITUDE AND LONGITUDE STATE PLAN COORDINATES: LONGITUDE: W075.3708 LATITUDE: N038.4916

25. FEDERAL WETLAND AREA: STATE WETLAND AREA (NON TIDAL):

WETLANDS IMPACTED BY THE PROJECT: 0.00 AC.

26. PROPOSED DISCHARGE LOCATION: CART BRANCH / NANTICOKE RIVER QUARTER BRANCH / MARSHYHOPE CREEK

27. PROXIMITY TO T.I.D.:

28. LIMIT OF DISTURBANCE:

BECKER -

OLD FIELD -

29. WATERSHED: NANTICOKE RIVER & MARSHYHOPE CREEK

> **CALL Miss Utility of Delmarva BEFORE YOU DIG** 800-282-8555 or 811

> > WdcA (C) /

BECKER -

OLD FIELD -

PROPOSED

SOILS MAP HbA (B) - HAMBROOK SANDY LOAM, 0-2% SLOPES SADB (B) - SASSAFRAS SAND LOAM, 2-5% SLOPES

DndB (A) - DOWNER LOAMY SAND, 2-5% SLOPES

FgcA (A) - FALLSINGTON LOAMS, 0-2% SLOPES

EVD (A) - EVESBORO LOAMY SAND, 5-15% SLOPES

WdcA (C) - WOODSTOWN SAND LOAM, 0-2% SLOPES

MmA (A/D) - MULLICA MUCKY SANDY LOAM, 0-2% SLOPES

COUNTRY REST HOME

SUSSEX COUNTY PROJECT REFERENCE # S-18-14

COUNTRY LIFE COMMUNITY **CONSTRUCTION PLANS**

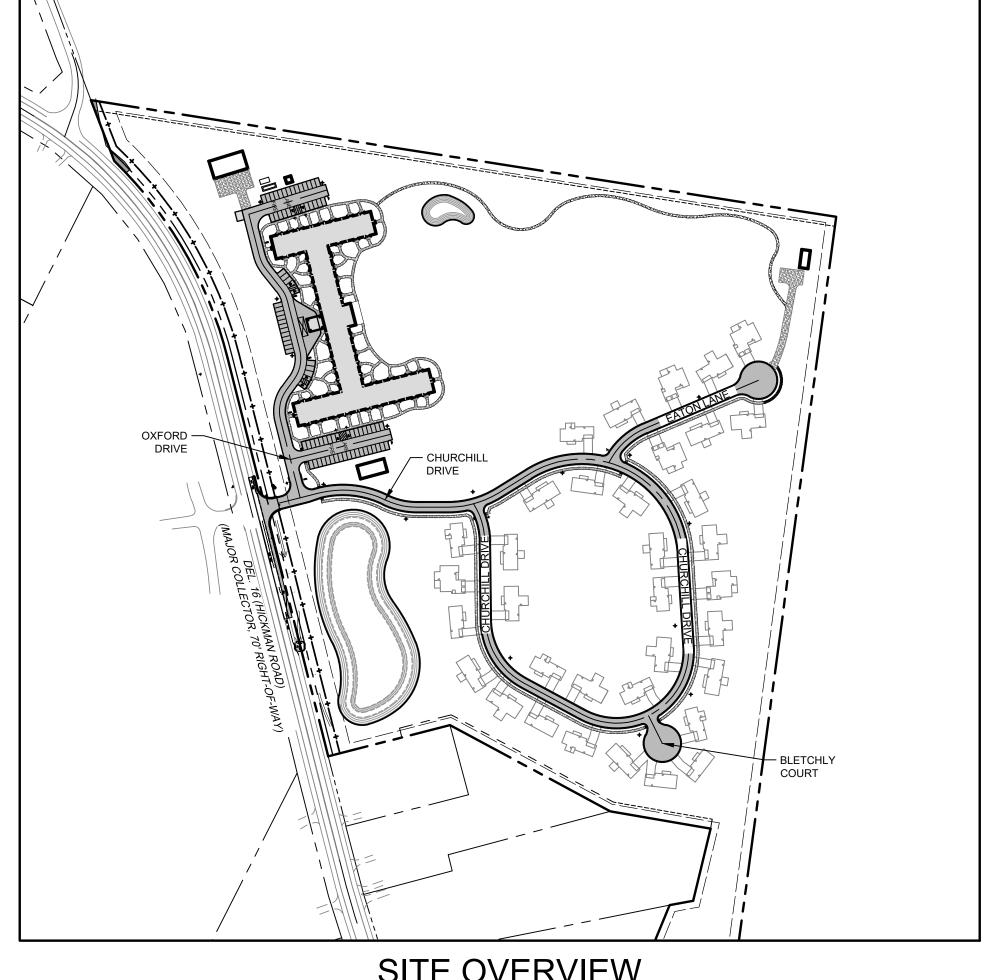


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EX-1	EXISTING CONDITIONS	
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GP-2	BULK GRADING PLAN	
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FP-2	FIRE PROTECTION PLAN	
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ESC-2	E&S PHASING PLAN	
ESC-3	E&S PHASING PLAN	
ESC-4	CONSTRUCTION SITE SWM PLAN	
ESC-5	CONSTRUCTION SITE SWM PLAN	
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ENT-6	ENTRANCE ESC	
ENT-7	HICKMAN ROAD CROSS-SECTIONS	
RP-1	COVER SHEET	
RP-2	RECORD PLAN	
RP-3	RECORD PLAN	
RP-4	RECORD PLAN	
LP-1	LANDSCAPE PLAN	

- PROPOSED

ALL PARCELS SHOWN ON

THIS MAP ARE ZONED AR-1



SITE OVERVIEW

LEGEND

LLGLIND		
	EXISTING	PROPOSED
PROPERTY LINE / RIGHT OF WAY		
ADJOINING PROPERTY LINE		
BUILDING RESTRICTION LINE		
EASEMENT	+++	++
CENTER LINE OF ROAD		
EDGE OF PAVING		
CURB		
DRIVEWAY		
CONTOURS		
WETLANDS LINE AND FLAG	NW NW NW	
FLOODPLAIN	———FP———FP———	
SOILS/DESIGNATION	////////////////-	
SOIL BORING	•	
FENCE	-xxxxxxxxxx-	
SIDEWALK		
CRUSHED STONE WALKING PATH		
STRUCTURE		
UTILITY POLE/GUY WIRE	ν ←	
OVERHEAD ELECTRIC	OHE OHE	
CABLE TV, PEDESTAL	Ū	
TRAFFIC SIGN	•	•
STREET LIGHT		
STORM DRAIN AND INLETS	SDSD	0
WATER MAIN, FIRE HYDRAN, & VALVE	wwww	6" W
SEWER MAIN, MAHNOLE, & CLEANOUT	—— SAN —————————————————————————————————	8" S MH C.C
SANITARY SEWER FORCEMAIN	FMFMFMFM	
TREATED WASTEWATER APPLICATION AREA		
SWALE		$\longrightarrow \cdots \longrightarrow \cdots \longrightarrow \cdots$

LIMIT OF DISTURBANCE: 30.7 ACRES

PROJECT TEAM

12046 SUNSET LANE GREENWOOD, DE 19950 (302) 349-4114 SITE PLANNER & ENGINEER SCALED ENGINEERING, INC.

20246 COASTAL HIGHWAY REHOBOTH BEACH, DE 19971 (302) 236-3600 SURVEYOR PENNONI ASSOCIATES, INC

18072 DAVIDSON DR

ABINGDON, MD 21009

MILTON, DE 19968 GEOLOGIST GEO-TECHNOLOGY ASSOCIATES, INC. 3445-A BOX HILL CORPORATE CENTER DR.

SOIL SCIENTIST EASTERN SHORE SOIL SERVICES P.O. BOX 411 GEORGETOWN, DE 19947

(302) 856-1853 SUSSEX CONSERVATION DISTRICT 23818 SHORTLY ROAD GEORGETOWN, DE 19947

(302) 856-2105 GEORGETOWN, DE 19947 (302) 853-1300

WETLANDS STATEMENT

SCALED ENGINEERING, INC. HAS CONDUCTED A FIELD REVIEW WITHIN THE BOUNDARIES OF THIS PLAT TO EVALUATE THE PRESENCE OR ABSENCE OF POTENTIAL STATE AND FEDERAL JURISDICTIONAL WETLANDS FOR THE PURPOSES OF DELAWARE WETLAND AND SUBAQUEOUS LAND REGULATIONS AND SECTION 404 OF THE CLEAN WATER ACT. SCALED ENGINEERING, INC.'S REVIEW WAS CONDUCTED IN GENERAL ACCORDANCE WITH THE TECHNIQUES AND CRITERIA PROVIDED IN THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL: ATLANTIC AND GULF COSTAL PLAN REGION (VERSION 2.0), DATED NOVEMBER 2010. NO WETLANDS OR WATERWAYS WERE OBSERVED WITHIN THE BOUNDARIES OF THIS PLAT. NO STATE OR FEDERAL JURISDICTIONAL APPROVAL WAS OBTAINED

BRUCE B. BAGLEY, CPSS

OWNER(S) CERTIFICATION -**EROSION & SEDIMENT CONTROL**

I, THE UNDERSIGNED, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHAL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E., BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION. I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS, AND I UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT, AS REFERENCED ON THIS COVERSHEET.

MARK YODER, JR COUNTRY REST HOME, INC. 12046 SUNSET LANE GREENWOOD, DE 19950

ENGINEER'S CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THE PLAN SHOWN AND DESCRIBED HEREON, IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED STANDARDS AND PRACTICES AND BY THE SUSSEX COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO THE EXTENT THAT IT DESCRIBES THE PROPOSED MANNER AND LAYOUT OF THE SUBDIVISION

— PROPOSED

LOCATION MAP

DAVID M. HEATWOLE, P.E.

DEVELOPER'S CERTIFICATION

I HEREBY CERTIFY THAT I AM THE DEVELOPER OF THE PROPERTY DESCRIBED A SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND

MARK YODER, JR COUNTRY REST HOME, INC. 12046 SUNSET LANE GREENWOOD, DE 19950

AS NOTED CHRE1901 DMH DRAWING NUMBER

SCALE PROJECT # DRAWN BY

530-9.00-

COUNTRY

ISSUE / REVISION BLOCK

8.30.19 DELDOT SUBMISSION

11.15.19 SUSSEX COUNTY P & Z

9.16.19 FIRE MARSHAL SUBMISSION 9.27.19 SUSSEX CONSERVATION

- 1. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT (811) AT LEAST (3) WORKING DAYS PRIOR TO EXCAVATION, TO HAVE EXISTING UNDERGROUND UTILITIES LOCATED AND MARKED.
- THIS PLAN DOES NOT VERIFY THE EXISTENCE. OR NONEXISTENCE. OF EASEMENT OR RIGHT OF WAYS CROSSING
- B. BASED UPON FLOOD INSURANCE RATE MAP (FIRM) NUMBER 10005C0105K, DATED MARCH 16, 2015, THE PROPERTY IS NOT LOCATED IN AN AREA DESIGNATED AS FLOOD ZONE 'X,' 'AE,' OR 'A'; THEREFOR, THE PROPERTY IS NOT WITHIN
- 4. TOPOGRAPHICAL SURVEY PERFORMED BY PENNONI ASSOCIATES, INC. MILTON, DE
- 5. WETLANDS EXIST ON SITE AND WERE DELINEATED BY BURCE B. BAGLEY, CPSS. NO DISTURBANCE OF WETLANDS IS
- 6. DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL WORK MUST BE PERFORMED IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT
- '. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO LOCATE PROPERTY LINES AND RIGHT OF WAY LINES PRIOR TO CONSTRUCTION AND AVOID CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY AND/OR RIGHTS OF WAYS WHERE SAID CONSTRUCTION IS PROHIBITED. THE CONTRACTOR MAY CONDUCT CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY PROVIDED IF HE HAS OBTAINED PRIOR WRITTEN PERMISSION FROM THE PROPERTY OWNER AND HAS SUBMITTED A COPY OF SAID WRITTEN PERMISSION TO THE OWNER.
- 8. A FINAL SET OF APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE MAINTAINED ON THE JOB SITE AT ALL TIMES. FAILURE TO COMPLY WITH THIS PROVISION SHALL BE CONSIDERED CAUSE TO STOP THE WORK.
- 9. THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF CONTRACT DRAWINGS ON WHICH HE SHALL NOTE, IN RED, THE ALIGNMENTS AND INVERTS OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK, ALL DISCREPANCIES BETWEEN THE PLAN LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE AS-BUILT DRAWINGS TO BE MAINTAINED BY THE CONTRACTOR IN THE FIELD. THE CONTRACTOR SHALL PROVIDE THE RED LINED / AS-BUILT DRAWINGS TO THE OWNER AT PROJECT COMPLETION.
- 10. THE CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH OR ACCESS PITS WHICH CAN BE BACKFILLED AND STABILIZED AT THE END OF EACH WORKING DAY. STEEL PLATES SHALL BE USED ON ANY TRENCH OR ACCESS PITS WHICH MUST REMAIN OPEN OVERNIGHT. THIS REQUIREMENT DOES NOT APPLY TO AREAS COMPLETELY CLOSED AND SECURE FROM VEHICULAR OR PEDESTRIAN TRAFFIC.
- 11. THE CONTRACTOR SHALL USE ONLY NEW MATERIALS, PARTS, AND PRODUCTS. ALL MATERIALS SHALL BE STORED SO AS TO ASSURE THE PRESERVATION OF THEIR QUALITY AND FITNESS FOR THE INTENDED WORK.
- 12. ROUTINE PERIODIC INSPECTIONS DURING CONSTRUCTION WILL BE PROVIDED BY THE OWNER, THESE INSPECTIONS DO NOT RELIEVE THE CONTRACTOR FROM HIS OBLIGATION AND RESPONSIBILITY FOR CONSTRUCTING ALL WORK IN STRICT ACCORDANCE WITH ALL STANDARDS AND SPECIFICATIONS AND CONSTRUCTION DOCUMENTS.
- 13. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION, THE CONTRACTOR SHALL FRECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
- 14. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING, TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION: 14.1 THE OWNER
- 14.2. SUSSEX CONSERVATION DISTRICT
- 14.3. DELDOT (TWO WEEKS PRIOR TO ENTRANCE CONSTRUCTION) 14.4. THE ENGINEER
- 15. THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL MEASURES TO PROTECT STOCKPILE AREAS AND STORAGE AREAS. ALL AREAS USED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR UPON COMPLETION OF THE PROJECT. IF THE STAGING AREA IS PAVED, IT SHALL BE RESTORED TO ITS ORIGINAL CONDITION, IF THE STAGING AREA IS UNPAVED, IT SHALL BE RE-GRADED, TOPSOILED, SEEDED AND MULCHED TO THE SATISFACTION OF THE ENGINEER. ALL COSTS ASSOCIATED WITH RESTORATION OF THE STAGING AREA SHALL BE AT THE CONTRACTOR'S EXPENSE. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE
- 16. EQUIPMENT AND/OR STOCKPILE MATERIAL SHALL NOT BE STORED IN THE DRIPLINE AREA OF ANY TREE.
- 17. THE CONTRACTOR SHALL PROVIDE TEMPORARY SEED AND MULCH FOR ALL AREAS WHERE SOIL IS EXPOSED AND SILT FENCE IS NOT SPECIFIED, BY THE CLOSE OF EACH BUSINESS DAY.
- 18. THE CONTRACTOR SHALL MAINTAIN PUBLIC ROADS AND STREETS IN A BROOM SWEPT CONDITION AT ALL TIMES.
- 19. DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 20. THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE WORK AREA, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL REGULATORY, WARNING AND INFORMATION SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE.
- 21. DESIGN, FABRICATION AND INSTALLATION OF ALL PERMANENT SIGNING SHALL BE AS OUTLINED IN THE LATEST VERSION OF THE DE MUTCD.
- 22. DESIGN AND INSTALLATION OF ALL PAVEMENT MARKINGS AND STRIPING SHALL BE AS OUTLINED IN THE LATEST VERSION OF THE DE MUTCD. FOR FINAL PERMANENT PAVEMENT MARKINGS:
- 22.1. EPOXY RESIN PAINT SHALL BE REQUIRED FOR PARKING LOT STRIPING. 22.2. THERMO PLASTIC (EXTRUDED OR PREFORMED MATERIAL) WILL BE REQUIRED ON ASPHALT SURFACES, FOR SHORT LINE STRIPING, I.E. SYMBOLS/LEGENDS.
- 23. BREAKAWAY POSTS SHALL BE USED WHEN INSTALLING ALL SIGNS. REFERENCE DELDOT STANDARD
- CONSTRUCTION DETAIL T-15.
- 24. BITUMINOUS CONCRETE SHALL BE PLACED IN ACCORDANCE WITH DELDOT SPECIAL PROVISION(S) 401002 & 401011 -BITUMINOUS CONCRETE SUPERPAVE.
- 25. ALL ELEVATIONS SHOWN ARE BASED ON THE SURVEYOR'S BENCHMARK, AS REFERENCED IN THE SURVEY, AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUNDBREAK.
- 26. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL ENSURE THAT ALL PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL THE PERMITTING AUTHORITIES.
- 27. THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR ANY/ALL CERTIFICATION, INSPECTIONS ETC. REQUIRED BY ALL GOVERNING JURISDICTIONAL AGENCIES DURING AND AFTER CONSTRUCTION FOR SIGN-OFF AND CERTIFICATE OF OCCUPANCY ISSUANCE, INCLUDING BUT NOT LIMITED TO PROCUREMENT OF SERVICES, SCHEDULING OF FILED OBSERVATIONS AND COORDINATION WITH REPRESENTATIVES OF THE APPROPRIATE
- 28. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- 29. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO SCALED ENGINEERING, INC. AT THE TIME OF PLAN PREPARATION, CONTRACTOR SHALL FILED VERIFY EXISTING CONDITIONS AND NOTIFY SCALED ENGINEERING, INC. IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY OTHER SITE FEATURES.
- 30. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IN SUCH NOTIFICATION HAS NOT
- 31. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS AT THE TIME OF STRUCTURE PLACEMENT. SEE GRADING AND UTILITY GENERAL NOTES FOR ADDITIONAL INFORMATION.
- 32. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AND FIELD CONDITIONS DICTATE.
- 33. CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSUE THAT STRUCTURAL STABILITY OF PAVEMENT, STRUCTURES ETC. TO REMAIN, AND TO PROVIDE A SAFE WORK AREA.
- 34. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ALL EXISTING DAMAGE AND FOR NOTIFYING CONSTRUCTION MANAGER PRIOR TO START OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH A S BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERCONNECT CABLE, CONDUITS, AND ANDY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. REPAIR SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- 35. ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS/MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS NOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME, CONTRACTOR IS RESPONSIBLE FOR DETERMINING METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND ENGINEER OF RECORDS WHEN A CONFLICT IS IDENTIFIED.
- 36. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS SCALED ENGINEERING, INC. AND THIER SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.

GRADING AND UTILITY GENERAL NOTES

- 1. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION, ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER, CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION/OUTFALL) AND PROGRESS UP GRADIENT. ALL PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 2. ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED AT THE NECESSARY TIME. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION
- 3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF THE CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- 4. DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING THE SITE ACTIVITY.
- 5. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS AT THE NECESSARY TIME. THE UTILITY SERVICE SIZES ARE TO BE DETERMINED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES/SERVICES WITHIN THE INDIVIDUAL COMPANIES. TO AVOID CONFLICTS AND ENSURE PROPER DEPTHS ARE ACHIEVED, THE JURISDICTION UTILITY REQUIREMENTS SHALL ALSO BE MET, AS WELL AS COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE CONFLICTS WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE THE SAME.
- 7. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES SHALL BE INSTALLED ACCORDANCE WITH UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS. GENERAL CONTRACTOR IS RESPONSIBLE FOR INCLUDING ALL COSTS FOR INSTALLING UTILITIES IN ACCORDANCE WITH UTILITY SERVICE PROVIDERS INSTALLATION SPECIFICATIONS AND STANDARDS.
- 8. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT (IF APPLICABLE) REFERENCED IN THIS PLAN SET OR AS DIRECTED BY A GEOTECHNICAL ENGINEER. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL, STATE AND STANDARD ENGINEERING PRACTICES, IN ADDITION, ALL FILL MUST BE PLACED IN 8" LOOSE LIFTS AND COMPACTED TO A CBR VALUE OF 10. THE MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA (AT THE TIME OF STRUCTURE PLACEMENT) AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER OR OWNERS' REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY QUALIFIED GEOTECHNICAL ENGINEER. ALL OFFSITE BURROW SHALL MEET AASHTO A-2-4 OR MORE GRANULAR AND BE APPROVED BY A GEOTECHNICAL **ENGINEER**
- 9. ALL FILL, COMPACTION, AND BACKFILL MATERIAL REQUIRED FOR UTILITY INSTALLATION SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS
- 10. THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES
- 11. PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
- 12. THE TOPS OF EXISTING MANHOLES SHALL BE ADJUSTED, IF REQUIRED, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY.
- 14. IN CASE OF DISCREPANCIES BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE WILL TAKE PRECEDENCE. IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS.
- 15. THE CONTRACTOR SHALL INCLUDE AND BE RESPONSIBLE FOR ALL NECESSARY DEWATERING COSTS AND SHALL BE FAMILIAR WITH THE FINDINGS IN ANY/ALL SUBSURFACE REPORTS INDICATING GROUNDWATER CONDITIONS. DEWATERING COSTS TO BE INCLUDED IRREGARDLESS OF SEASONAL GROUNDWATER VARIATIONS THAT MAY NOT BE OBSERVED/NOTED AND NOT NECESSARILY INDICATED IN THE REPORTS. IF DEWATERING IS USED IT SHALL BE THROUGH A GEOTEXTILE DEWATERING BAG PER DNREC E&SC DETAIL 3.2.12 OR AN APPROVED EQUAL MEASURE.
- 16. CONTRACTOR SHALL INSTALL ELECTRIC AND GAS SERVICE IN ACCORDANCE WITH UTILITY PROVIDER SPECIFICATIONS. LOCATIONS SHOWN ARE APPROXIMATE AND ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO BIDDING AND CONSTRUCTION.
- 17. ALL DISTURBED AREAS NOT IN THE PAVEMENT SECTION MUST BE TOP SOILED (6" MINIMUM), FERTILIZED, MULCHED,
- 18. PROPOSED STORM DRAIN DESIGNATED AS "RCP" IS TO BE A CLASS IV REINFORCED CONCRETE CIRCULAR PIPE, MEETING AASHTO M-170 SPECIFICATIONS
- 19. ALL LENGTHS OF PIPE ARE MEASURED HORIZONTALLY FROM CENTER LINES OF INLETS. MANHOLES OR FITTINGS. ACTUAL TRUE LENGTHS OF PIPES ARE TO BE DETERMINED IN THE FIELD.
- 20. IT IS THE CONTRACTORS RESPONSIBILITY TO INSURE THAT PAVING IS INSTALLED TO THE ELEVATIONS SHOWN AND THAT NO PONDING OF WATER EXISTS AFTER PAVING IS COMPLETE.
- 21. WHEN BITUMINOUS BLACK BASE IS USED, A TACK COAT WILL BE REQUIRED BEFORE FINAL SURFACE COURSE IS 22. ALL STORM DRAIN PIPE JOINTS SHALL BE WRAPPED IN FILTER CLOTH TO MAKE THEM SOIL TIGHT AND SHALL BE
- 23. HDPE STORM DRAIN PIPES SHALL BE ADS (N-12) HDPE PIPE WITH ADS PRO-LINK ULTRA (IN-LINE BELL) PIPE JOINTS

ASTM C-76 RCCP WITH BELL & SPIGOT JOINTS (RUBBER GASKET ASTM C-443).

- (FOR SILT TIGHT CONNECTIONS), ADS PRO-LINK WT (FOR WATER TIGHT CONNECTIONS) AND /OR ASTM C-76 RCP WITH BELL & SPIGOT JOINTS. (RUBBER GASKET ASTM C-443) 24. HDPE PIPE TO BE INSTALLED PER ADS SPECIFICATIONS. ALL HDPE TO BE INSTALLED USING WATERTIGHT SPECS,
- INCLUDING WATERSTOP GASKETS AT MANHOLES AND INLETS. 25. ALL EMBEDMENT MATERIALS USED FOR BEDDING, HAUNCHING AND INITIAL BACKFILL FOR HDPE PIPE SHALL
- CONFORM TO AASHTO SECTION 30 AND ASTM D-2321 PER MANUFACTURERS INSTALLATION REQUIREMENTS. (MIN. STONE BACKFILL 6" TO 12" ABOVE TOP OF PIPE)

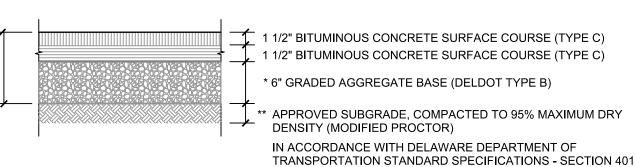
SEDIMENT & STORMWATER

CONSTRUCTION NOTES

- 1. THE SUSSEX CONSERVATION DISTRICT AND STORMWATER PROGRAM MUST BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- 2. REVIEW AND/OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- 3 IF THE APPROVED PLAN NEEDS TO BE MODIFIED ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES. MAY BE REQUIRED AS DEEMED NECESSARY BY DNREC AND/OR THE SUSSEX CONSERVATION DISTRICT.
- 4. FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER CONTROLS, STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
- 5. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION
- 6. AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHALL BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
- 7. APPROVED PLANS REMAIN VALID FOR 5 YEARS FROM THE DATE OF APPROVAL.

HAS BEEN PROCESSED BY DNREC.

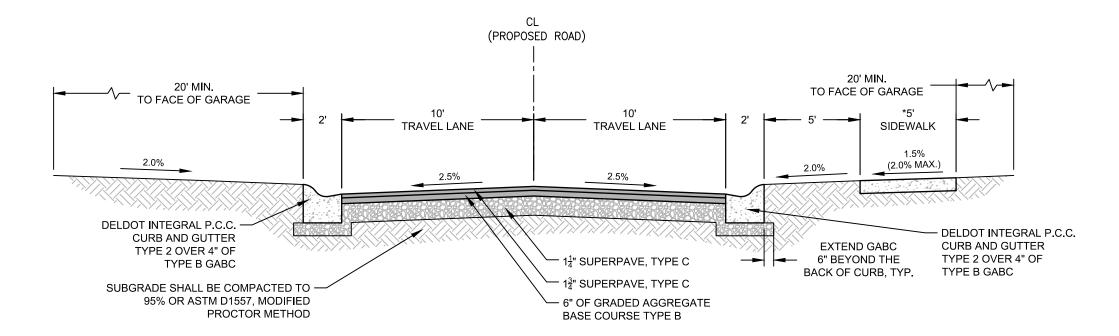
- 8. POST CONSTRUCTION VERIFICATION DOCUMENTS ARE TO BE SUBMITTED TO THE SUSSEX CONSERVATION DISTRICT. SEDIMENT AND STORMWATER PROGRAM WITHIN 60-DAYS OF STORMWATER MANAGEMENT FACILITY COMPLETION.
- 9. APPROVAL OF A SEDIMENT AND STORMWATER MANAGMENT PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE. STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC.. NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
- 10. THE NOTICE OF INTENT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER A NPDES GENERAL PERMIT FOR THIS PROJECT IS #3052. AT ANY TIME THE OWNERSHIP FOR THIS PROJECT CHANGES, A TRANSFER OF AUTHORIZATION OR A CO-PERMITTE APPLICATION MUST BE SUBMITTED TO DNREC. THE PERMITTEE OF RECORD SHALL NOT BE RELIEVED OF THEIR RESPONSIBILITIES UNTIL A NOTICE OF TERMINATION
- 11. THE OWNER SHALL BE FAMILIAR WITH AND COMPLY WITH ALL ASPECTS OF THE NPDES CONSTRUCTION GENERAL PERMIT ASSOCIATED WITH THE PROJECT, INCLUDING, BUT NOT LIMITED TO, PERFORMING WEEKLY SITE INSPECTIONS DURING CONSTRUCTION AND AFTER RAIN EVENTS, AND MAINTAINING WRITTEN LOGS OF THESE
- 12. BEFORE ANY FARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CALL MISS UTILITY AT 811 OR 800-282-8555 AT LEASE 48 HOURS PRIOR TO CONSTRUCTION. TO HAVE ALL EXISTING UTILITIES MARKED ONSITE.
- 13. THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
- 14. BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7. Del C. Ch 60, REGULATIONS GOVERNING THE CONTROL OF WATER POLLUTION, SECTION 9.1.02, KNOWN AS SPECIAL CONDITIONS FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, AND DEPARTMENT POLICIES, PROCEDURES, AND GUIDANCE.
- 15. DOCUMENTATION OF SOIL TESTING AND MATERIALS USED FOR TEMPORARY OR PERMANENT STABILIZATION INCLUDING BUT NOT LIMITED TO SOIL TEST RESULTS, SEED TAGS, SOIL AMENDMENT TAGS, ETC. SHALL BE PROVIDED TO THE SUSSEX CONSERVATION DISTRICT TO VERIFY THAT THE PERMANENT OR TEMPORARY STABILIZATION HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLAN AND THE STANDARDS AND SPECIFICATIONS OF THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION. THE SUSSEX CONSERVATION DISTRICT SHALL HAVE THE DISCRETION TO REQUIRE ADDITIONAL SOIL TESTING AND REAPPLICATION OF PERMANENT OR TEMPORARY STABILIZATION IN ACCORDANCE WITH THE SPECIFICATION PROVIDED IN THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION



STANDARD DUTY

** COMPACTION OF SUBGRADE SHOULD BE 95% OF MAXIMUM DRY DENSITY

TYPICAL PAVING SECTION



*SIDEWALK IS SITED ON THE RIGHT OR LEFT SIDE OF THE STREET, SEE PLAN VIEW.

TYPICAL PRIVATE STREET SECTION

V 1"=2'

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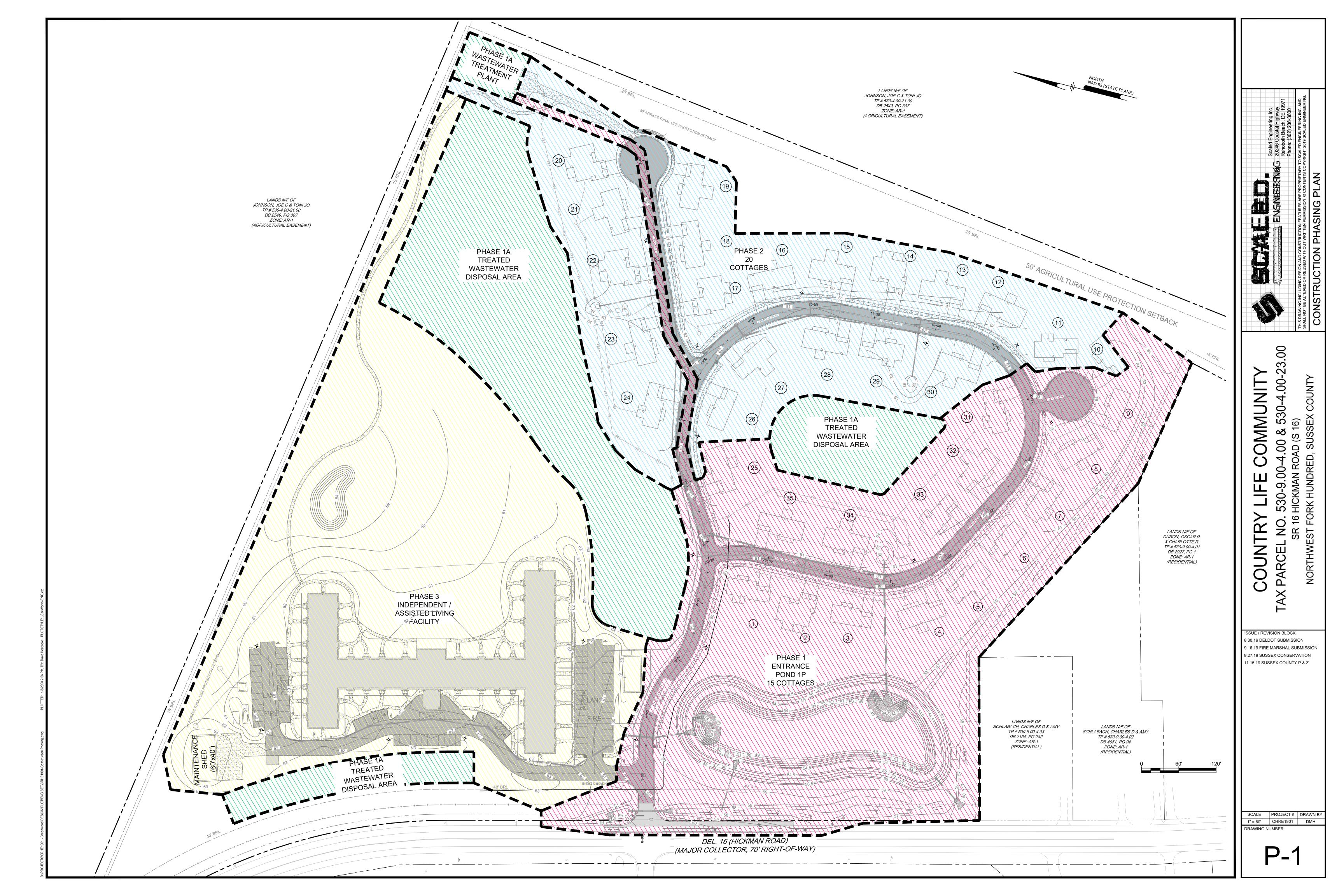
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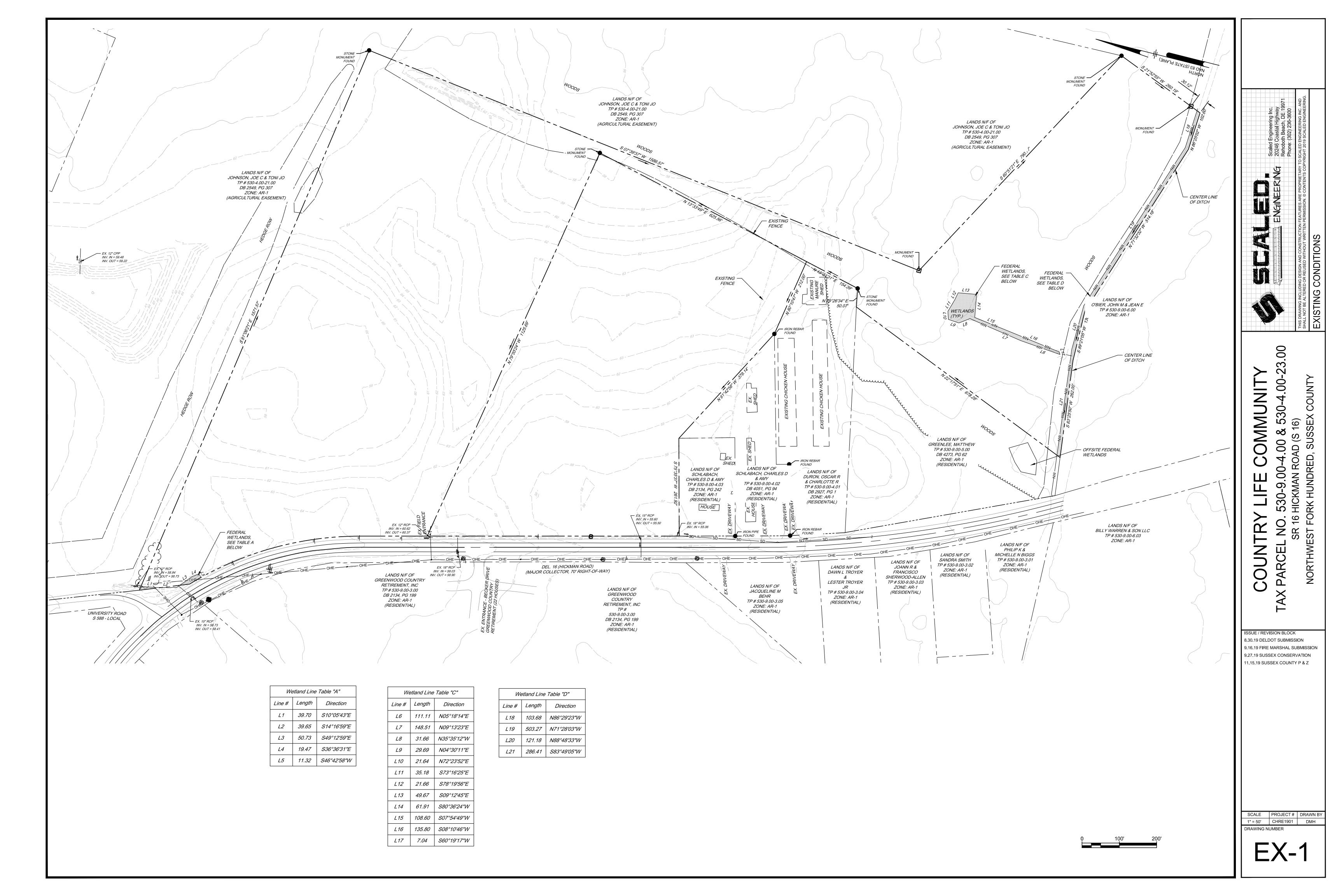
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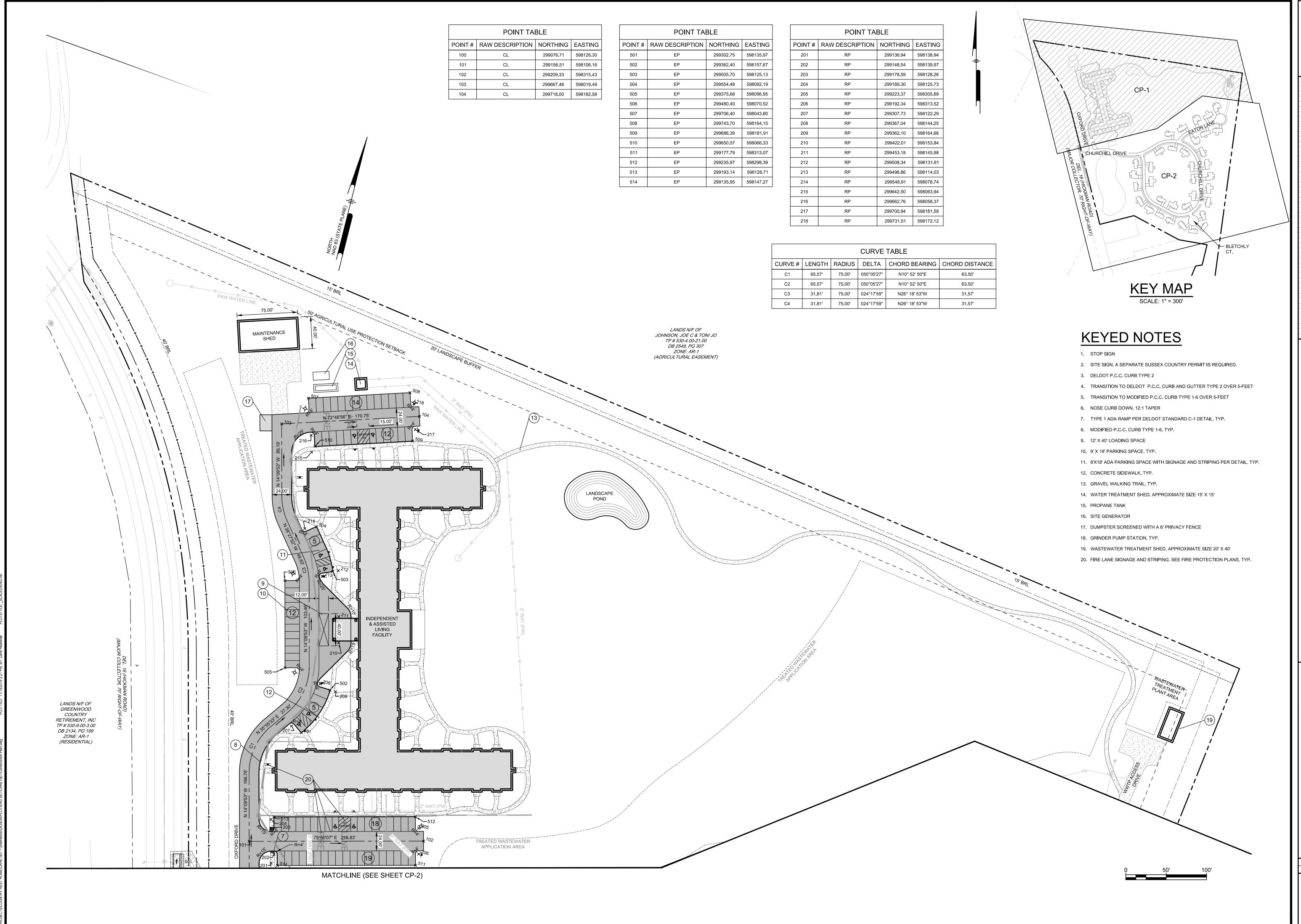
ISSUE / REVISION BLOCK 8.30.19 DELDOT SUBMISSION 9.16.19 FIRE MARSHAL SUBMISSION 9.27.19 SUSSEX CONSERVATION

SCALE PROJECT # DRAWN BY AS NOTED | CHRE1901 | DMH

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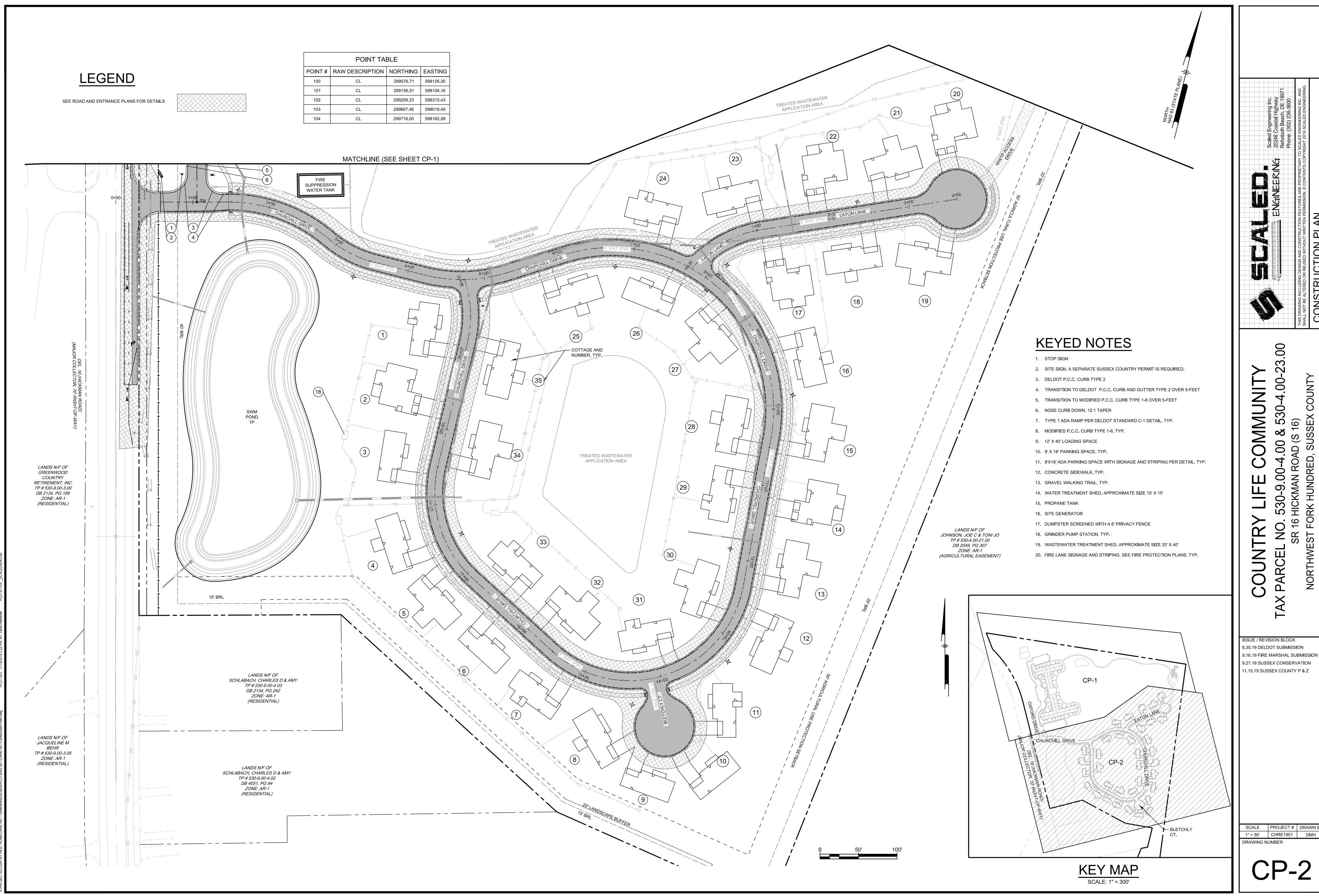
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INNMMO 00 & 530-ND (S 16) SUSSEX CO O. 530-9.00-COUNTRY

ISSUE / REVISION BLOCK 8.30.19 DELDOT SUBMISSION 9.16.19 FIRE MARSHAL SUBMISSION 9.27.19 SUSSEX CONSERVATION 11.15.19 SUSSEX COUNTY P & Z

 SCALE
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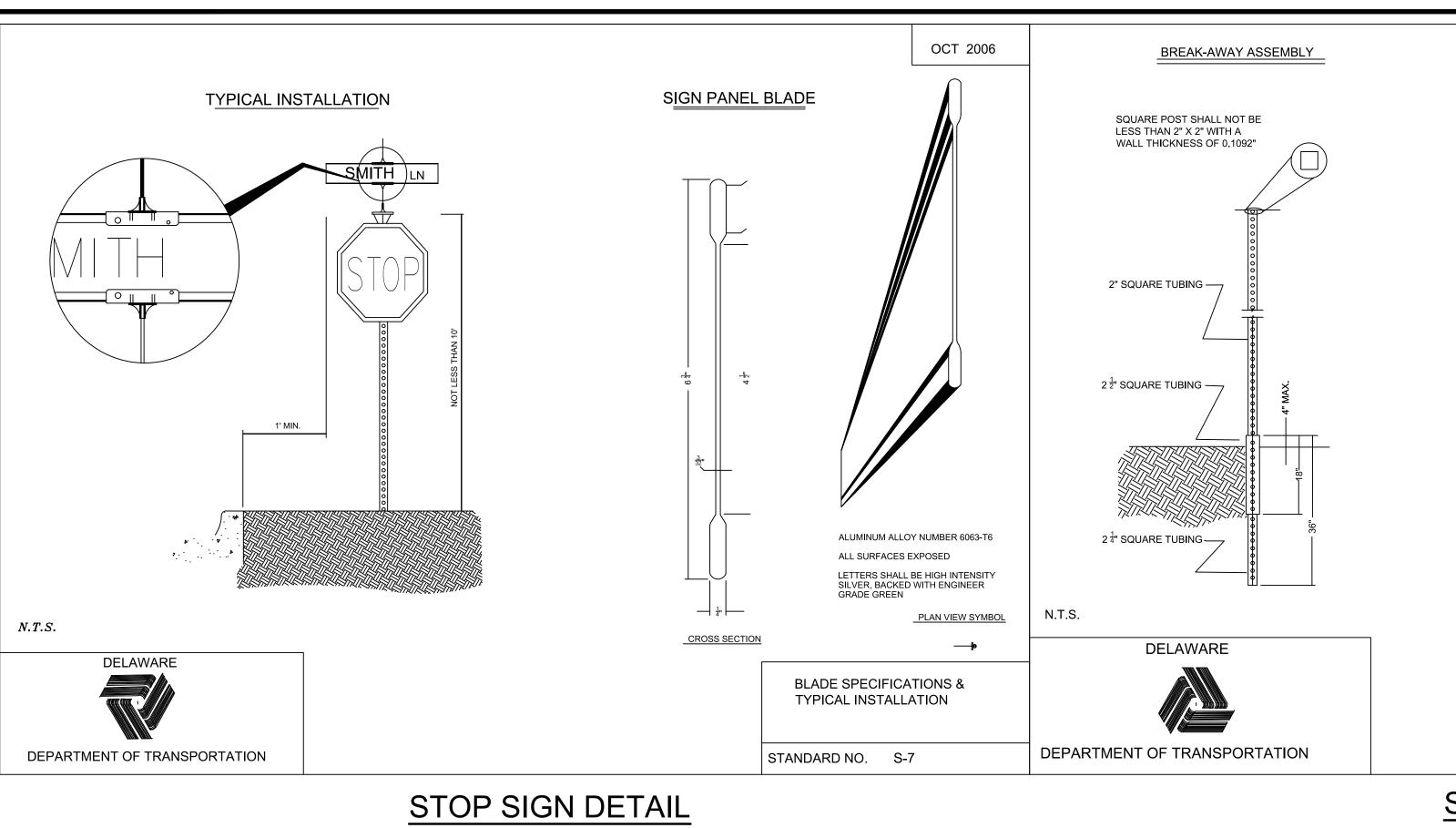
 1" = 50'
 CHRE1901
 DMH
 DRAWING NUMBER



00 COUNTY 530-9.00-

 SCALE
 PROJECT #
 DRAWN BY

 1" = 50'
 CHRE1901
 DMH
 DRAWING NUMBER



NOTES

1. SQUARE TUBES ARE TO BE FORMED FROM GALVANIZED SHEET STRUCTURAL (PHYSICAL) QUALITY, ASTM A 446, GRADE A, COATING DESIGNATION G 90, REGULAR SPANGLE, OR HOT ROLLED CARBON SHEET STEEL STRUCTURAL (PHYSICAL) QUALITY, ASTM A 570, GRADE 33.

A. NOMINAL OUTSIDE DIMENSION, (INCHES):

 $2^{\frac{1}{2}} \times 2^{\frac{1}{2}}$

B. ALL FOUR SIDES ARE TO HAVE EVENLY SPACED $\frac{7}{16}$ " DIAMETER HOLES ON 1" CENTERS THE ENTIRE LENGTH OF THE TUBE.

C. TOLERANCE ON HOLE SIZES IS $\pm 1/64$ ". TOLERANCE ON HOLE SPACING IS $\pm 1/64$ " IN 20 FEET.

D. STANDARD CORNER RADIUS SHALL BE $\frac{5}{32}$ " +/- $\frac{1}{64}$ ".

E. THE FASTENERS TO BE SUPPLIED UNDER THIS SPECIFICATION SHALL BE $rac{5}{16}$ " GRADE 5 UNC CORNER BOLTS WITH CADMIUM OR ZINC PLATING. INSTALLATION OF SIGNS SHALL BE WITH 3_8 " X 2^1_2 " BOLT WITH LOCKNUT AND WASHER.

2. THE CONTRACTOR SHALL PROVIDE AND INSTALL PVC (POLYVINYL CHLORIDE) SLEEVES (4" INSIDE DIAMETER MINIMUM, 6" INSIDE DIAMETER MAXIMUM) IN PROPOSED CONCRETE SIDEWALKS, ISLANDS, AND MEDIANS FOR FUTURE TRAFFIC SIGN POSTS AS DIRECTED BY THE ENGINEER. THE LOWER END OF THE SLEEVE SHALL BE SET ON THE TOP OF THE SOIL.

3. DEVELOPMENT SIGNS SHALL BE DISPLAYED ON TWO POSTS.

A. DEVELOPMENT SIGNS SHALL BE INSTALLED WITHIN THE RIGHT-OF-WAY OF THE HIGHWAY ON WHICH THE ENTRANCE(S) IS (ARE) LOCATED. THE SIGNS SHALL BE PLACED WITHIN 500 FEET OF THE CENTERLINE

4. ALL SUBDIVISIONS SHALL BE REQUIRED TO HAVE ONE SPEED LIMIT 25 AND ONE WATCH CHILDREN SIGN, IN ADDITIION TO THE STANDARD STOP SIGN AND STREET BLADES. THE SPEED LIMIT 25 SIGN MAY BE MOUNTED BELOW THE WATCH CHILDREN SIGN IF A 12' POST IS USED.

5. FLAT PANEL SIGN MATERIALS: STOP SIGN FACES SHALL BE FABRICATED OF TYPE "IX" ENCLOSED LENS (DIAMOND GRADE) REFLECTIVE SHEETING, ALL OTHER SIGNS SHALL BE A MINIMUM TYPE "III" ENCAPSULATED LENS (HIGH INTENSITY) REFLECTIVE SHEETING AND SHALL BE APPLIED TO SIGN GRADE ALUMINUM SHEET (MINIMUM THICKNESS +/-0.080").

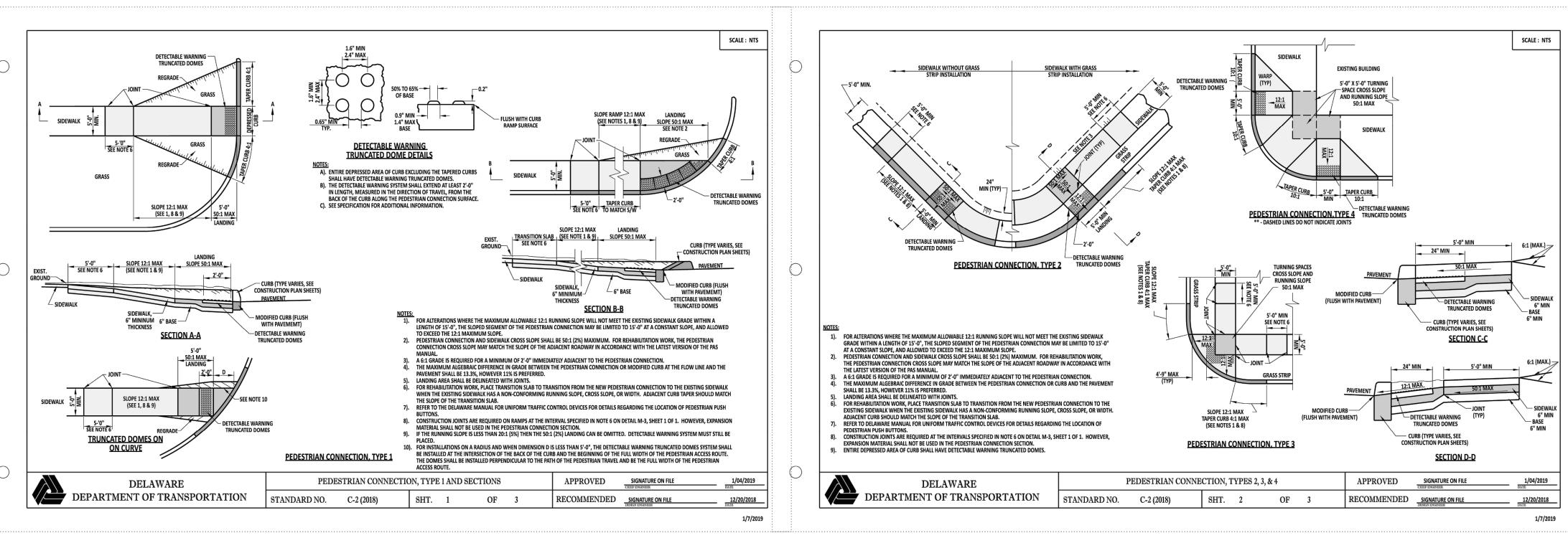
6. THE CAESAR RODNEY DEVELOPMENT SIGN IS THE CURRENT STANDARD. FOR THE SPECIFICATIONS, SEE STANDARD NO.

SIGN POST SPECIFICATIONS & GENERAL NOTES

STANDARD NO. S-1

SIGN POST DETAIL

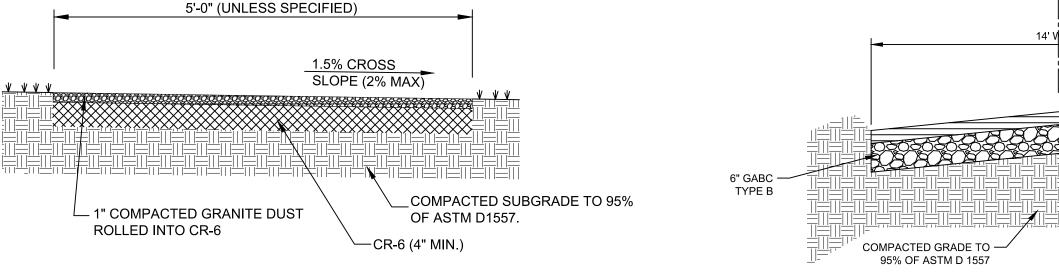
NOT TO SCALE



PEDESTRIAN CONNECTION TYPE 1 DETAIL

PEDESTRIAN CONNECTION TYPES 2, 3, & 4 DETAIL

CENTER LINE ROADWAY



∠ 2" OF TYPE C

GRAVEL TRAIL

WASTEWATER TREATMENT PLANT ACCESS DRIVE

CONSTRUCTION NOTES:

(705001)

1. ROADWAY STAKEOUTS: 1.A. RIGHT-OF-WAY STAKES TO BE OFFSET A SIDE OF THE STAKE. MINIMUM OF FIVE (5)

FEET OUTSIDE RIGHT-OF-WAY. STATION NUMBERS TO BE INDICATED ON EACH.
 THE CENTERLINE ROADWAY CUT AND CUT-LINE SHALL BE LOCATED ON THE SIDE OF THE STAKE WHICH FACES THE CENTERLINE. ALSO, A "CL" DESIGNATION SHALL

1.D. THE SWALE CUT AND CUT-LINE SHALL BE INDICATED ON THE OUTSIDE OF THE STAKE, WHILE ALSO CONTAINING A "SW" DESIGNATION.

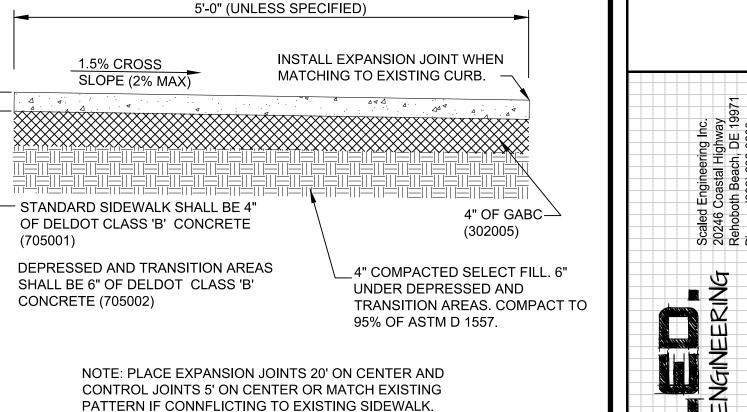
2. THE CONTRACTOR SHALL PROVIDE TWO (2) WORKING DAYS NOTICE TO THE COUNTY INSPECTOR PRIOR TO PAVING, AT THIS TIME. THE INSPECTOR MAY REQUIRE THAT THE CONTRACTOR COMPLETE RELATED OR UNRELATED WORK ITEMS BEFORE PAVING

3. SURFACE TREATMENT SHALL NOT BE APPLIED: 3.A. AFTER NOVEMBER 1 OR PRIOR TO APRIL 1, OR 3.B. WHEN THE TEMPERATURE IS BELOW 50 -F: OR

4. HOT MIX SHALL NOT BE APPLIED: 4.A. WHEN TEMPERATURE IS BELOW 40 -F: OR 4.B. ON ANY WET OR FROZEN SURFACE.

5. FOR ALL WOODED AREAS, A SUFFICIENT AREA BEYOND THE RIGHT-OF-WAY LINE SHALL BE CLEARED AND GRUBBED, TO ALLOW PROPER GRADING OF THE ROADWAY SWALE

6. ALL DISTURBED AREAS MUST BE STABILIZED WITH 6-INCHES OF TOPSOIL, SEED AND



PATTERN IF CONNFLICTING TO EXISTING SIDEWALK.

CONCRETE SIDEWALK

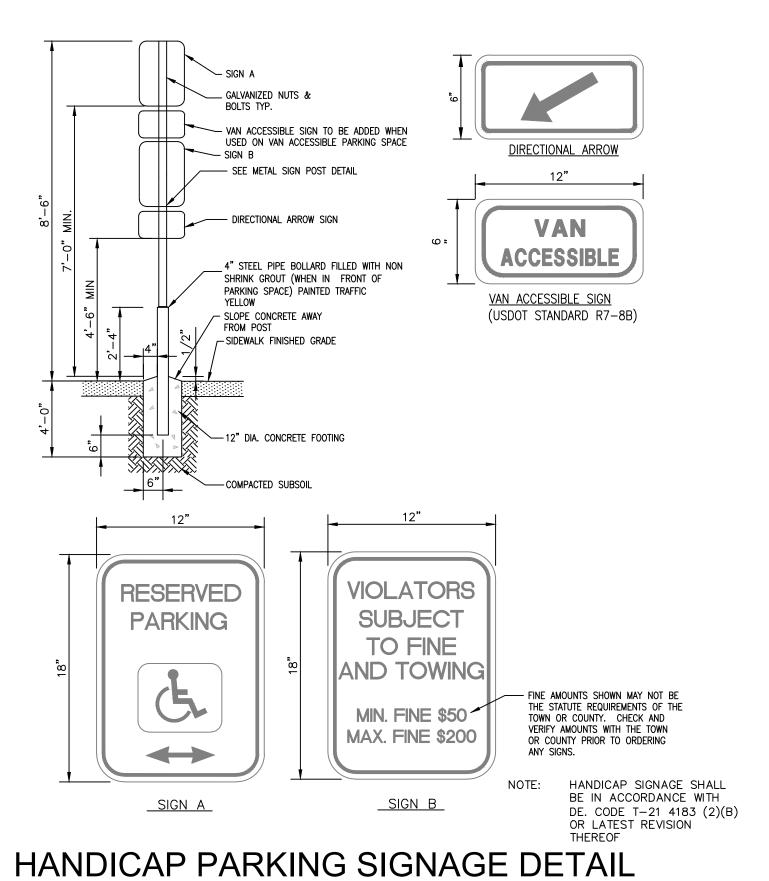
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530-9.00-HICKMAN R

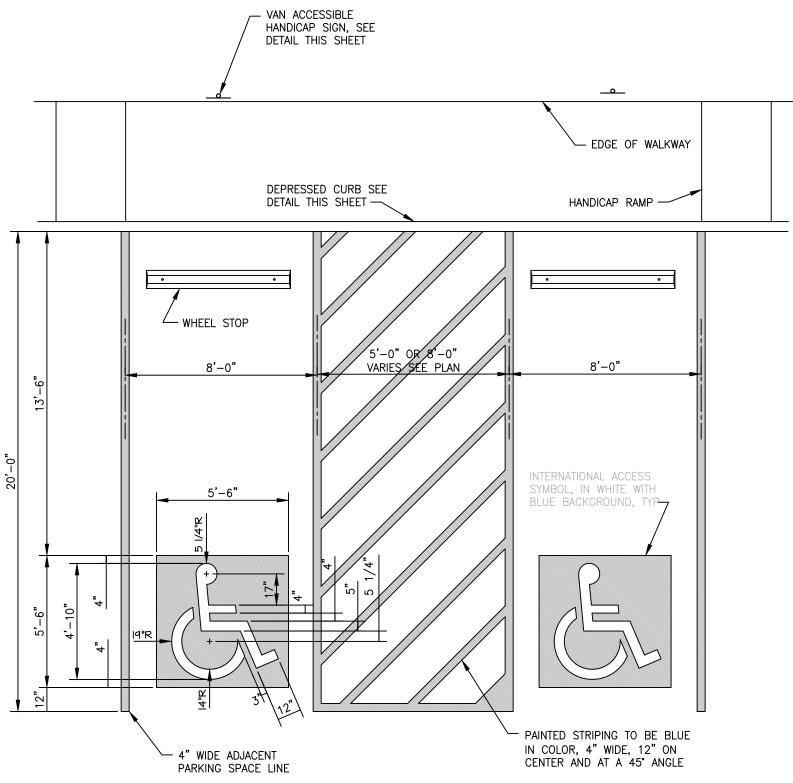
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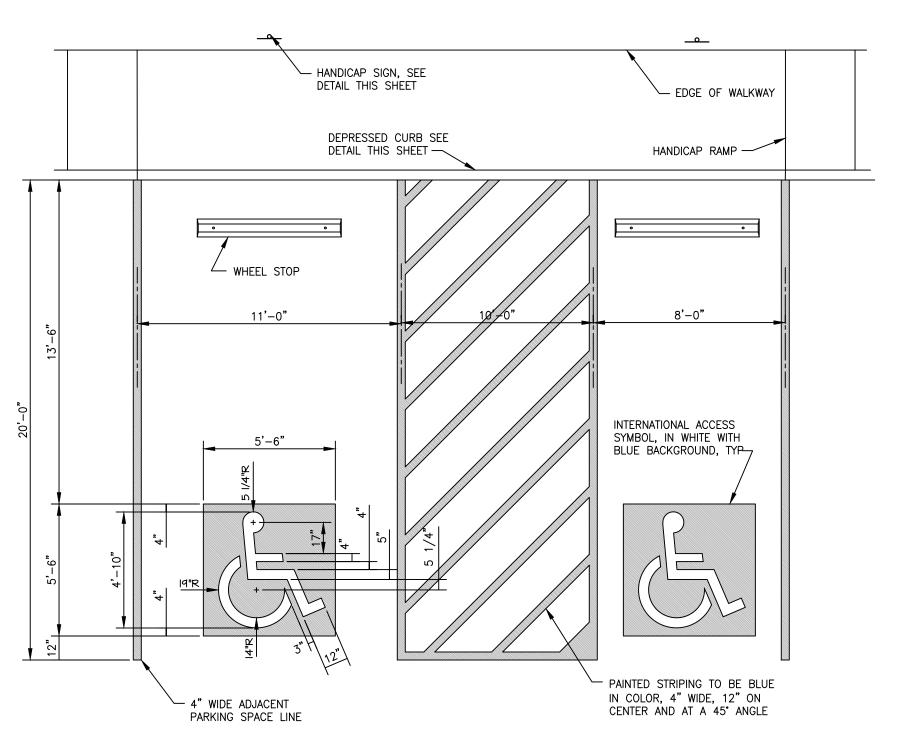
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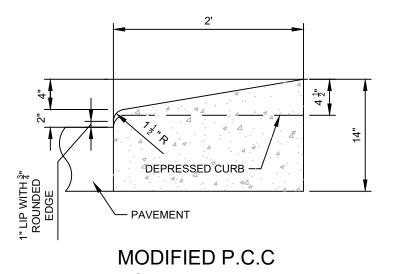


NOT TO SCALE



HANDICAP PARKING DETAIL





CURB TYPE 2

NOTES:

1. PROVIDE ½" PRE-MOLDED EXPANSION JOINTS @15'-0" MAX. SPACING.

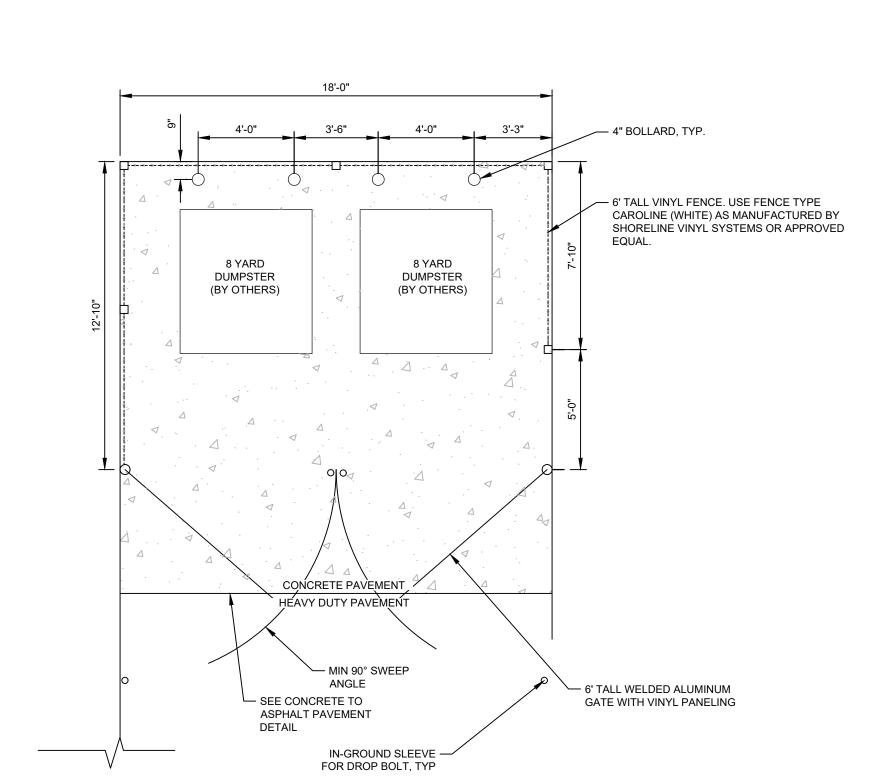
2. TAPERED END SECTIONS TO BE USED AT ALL

TERMINAL POINTS. 3. 3,000 PSI CONCRETE

CURB DETAIL NOT TO SCALE

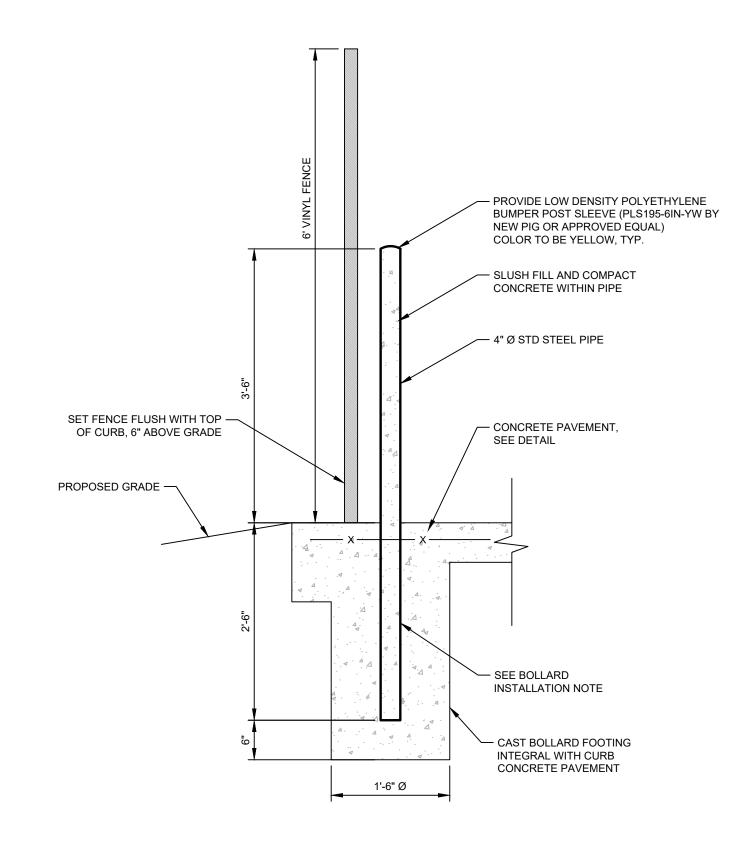
GABC, TYPE B

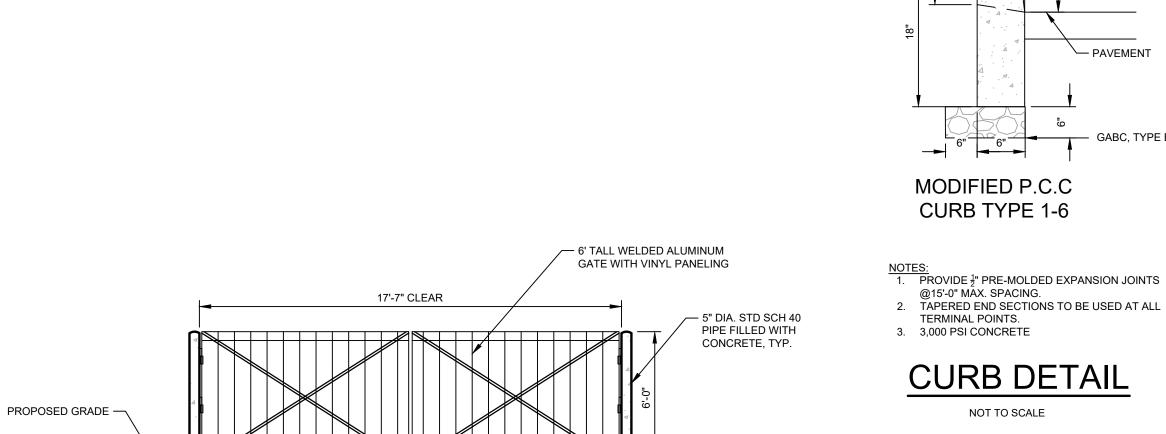
VAN ACCESSIBLE HANDICAP PARKING LAYOUT NOT TO SCALE



DUMPSTER DETAIL - PLAN

NOT TO SCALE





— PROVIDE DROP BOLTS AT EACH GATE LEAF COMPLETE

WITH GUIDES, HANGER AND

IN-GROUND SLEEVE

SIDEWALK

DUMPSTER DETAIL - BOLLARD

DUMPSTER DETAIL - GATE

NOT TO SCALE

1'-6" Ø CONCRETE

FOUNDATION, TYP.

CAST FENCE POST -

FOOTING

8.30.19 DELDOT SUBMISSION 9.16.19 FIRE MARSHAL SUBMISSION 9.27.19 SUSSEX CONSERVATION 11.15.19 SUSSEX COUNTY P & Z

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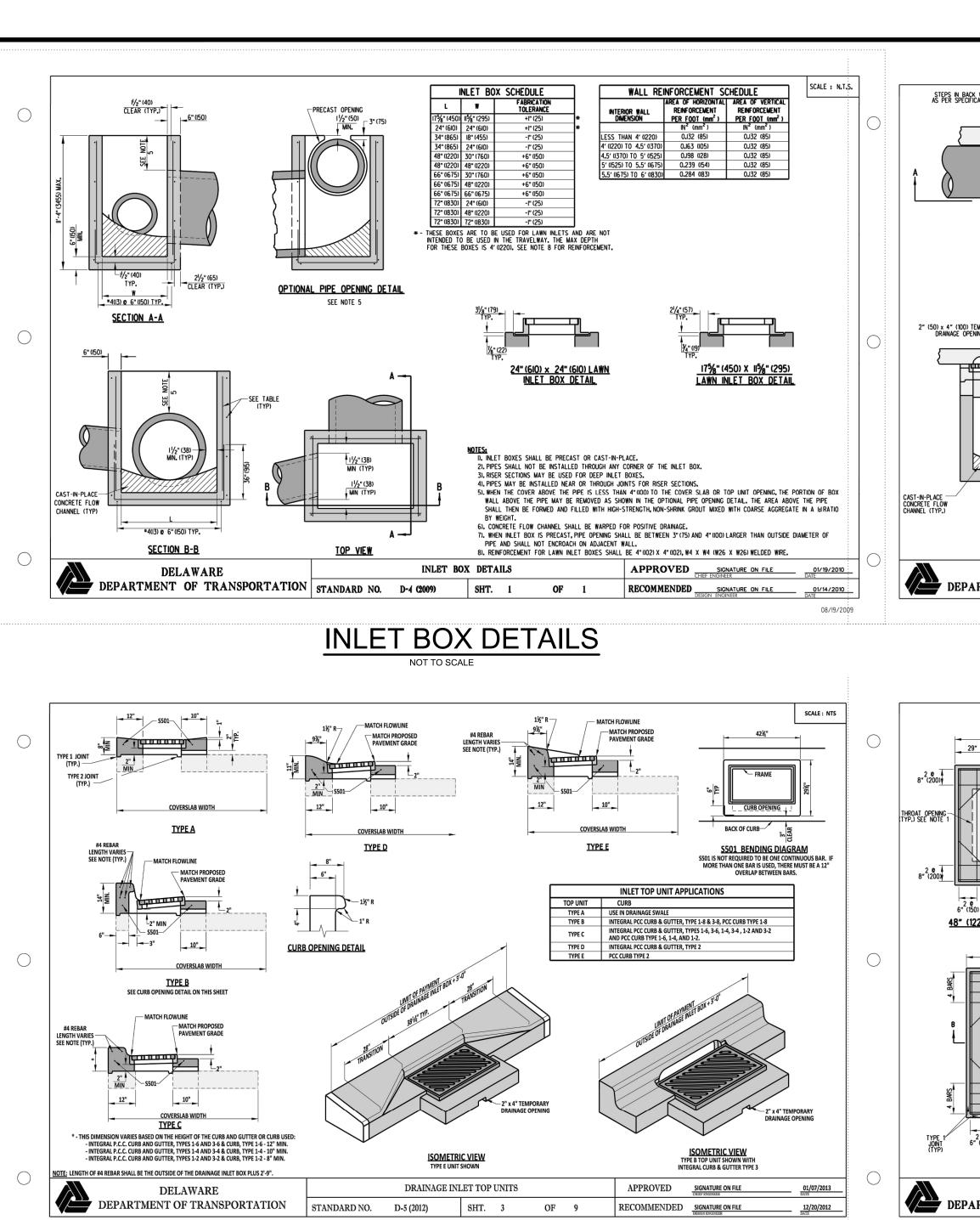
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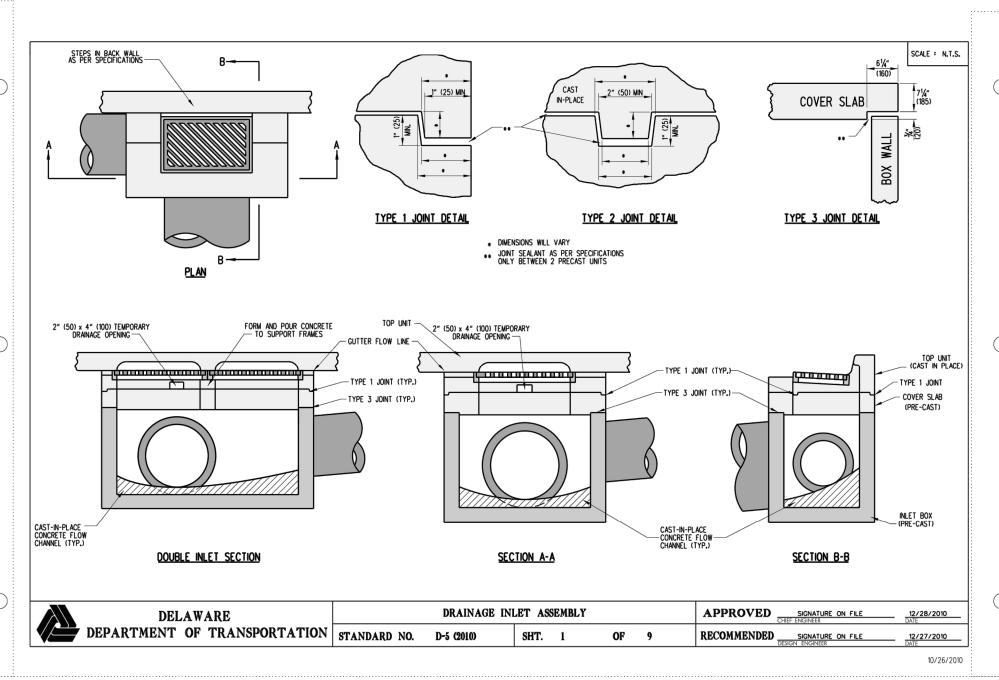
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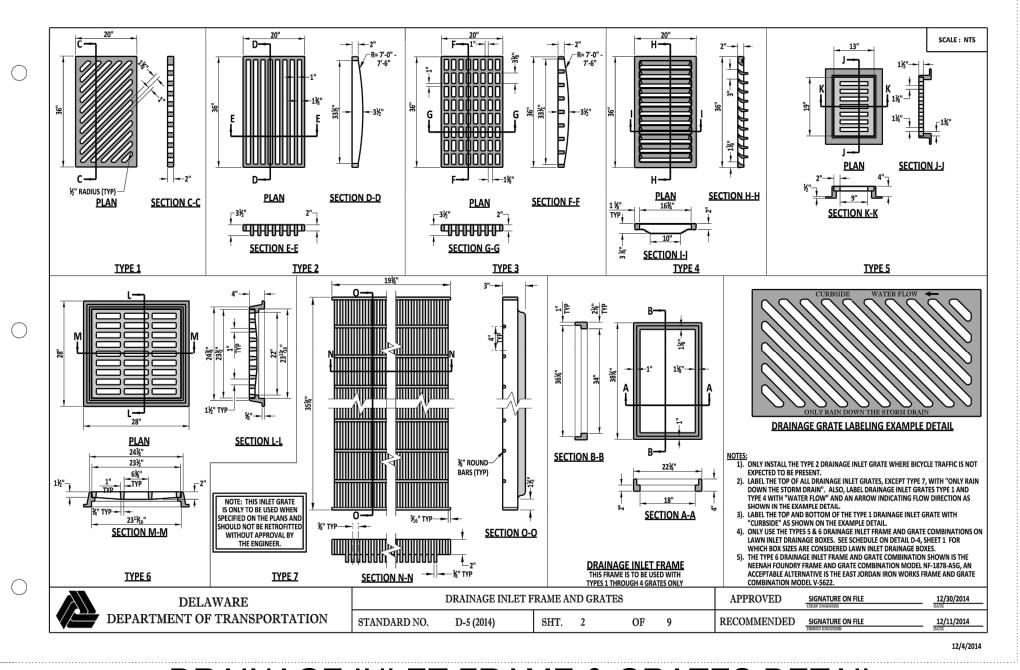
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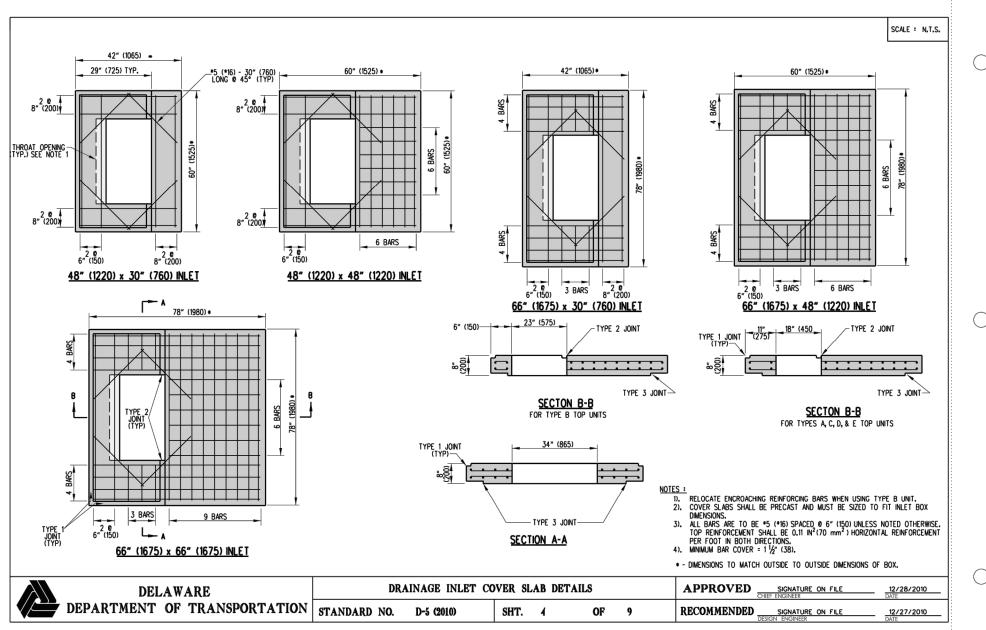
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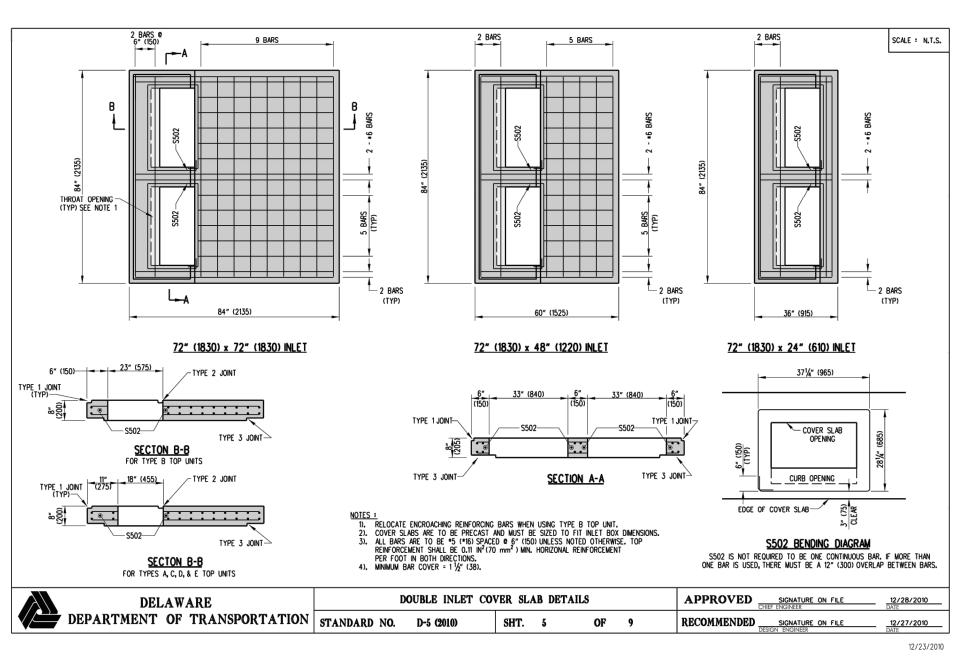




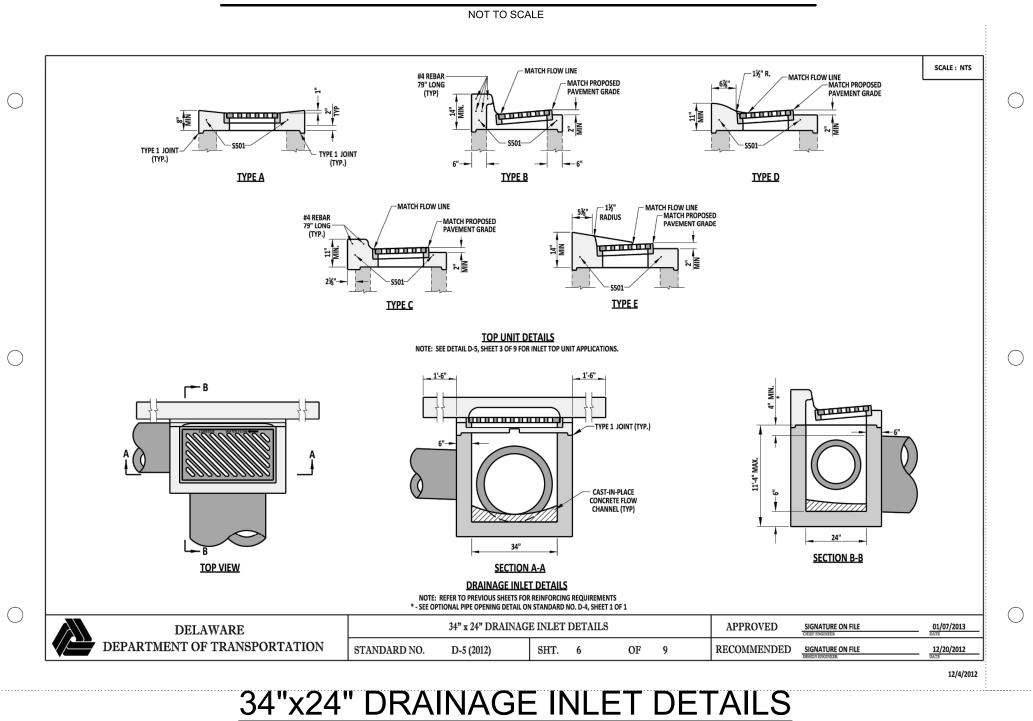


DRAINAGE INLET FRAME & GRATES DETAIL

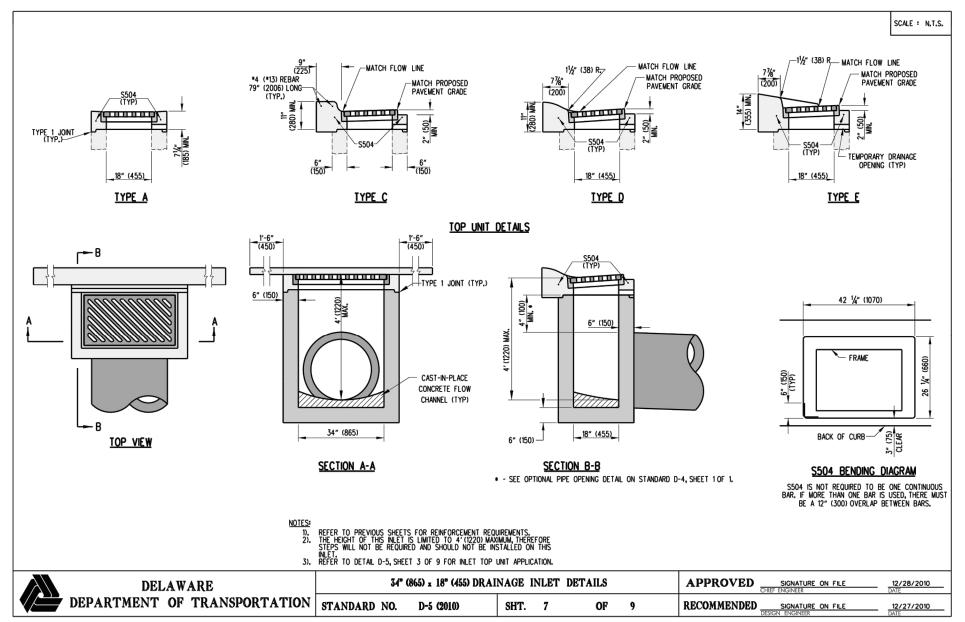
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DRAINAGE INLET TOP UNITS DETAIL



DRAINAGE INLET COVER SLAB DETAILS



34"x18" DRAINAGE INLET DETAILS

DRAINAGE INLET COVER SLAB DETAILS

ISSUE / REVISION BLOCK
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9.27.19 SUSSEX CONSERVATION
11.15.19 SUSSEX COUNTY P & Z

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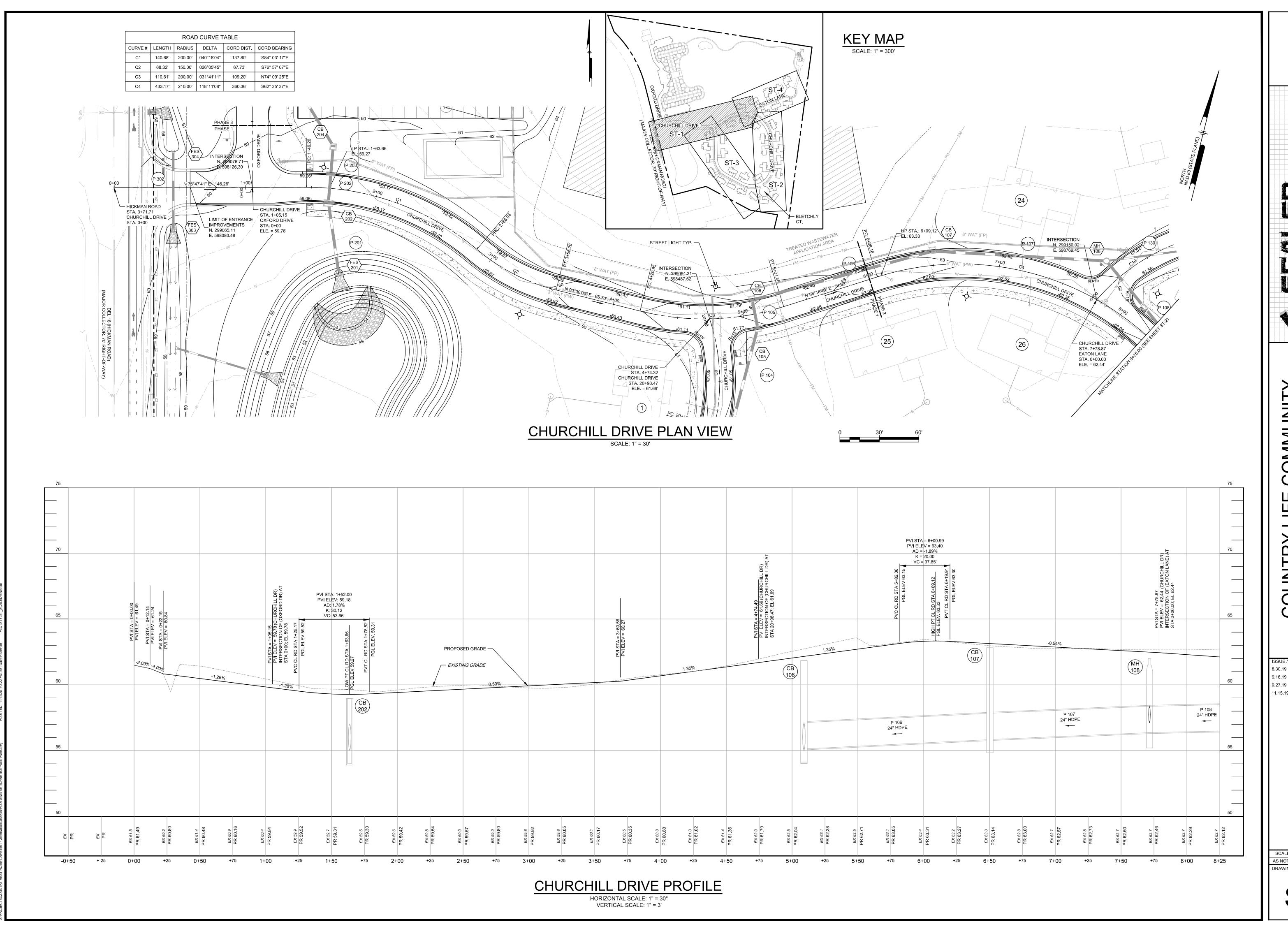
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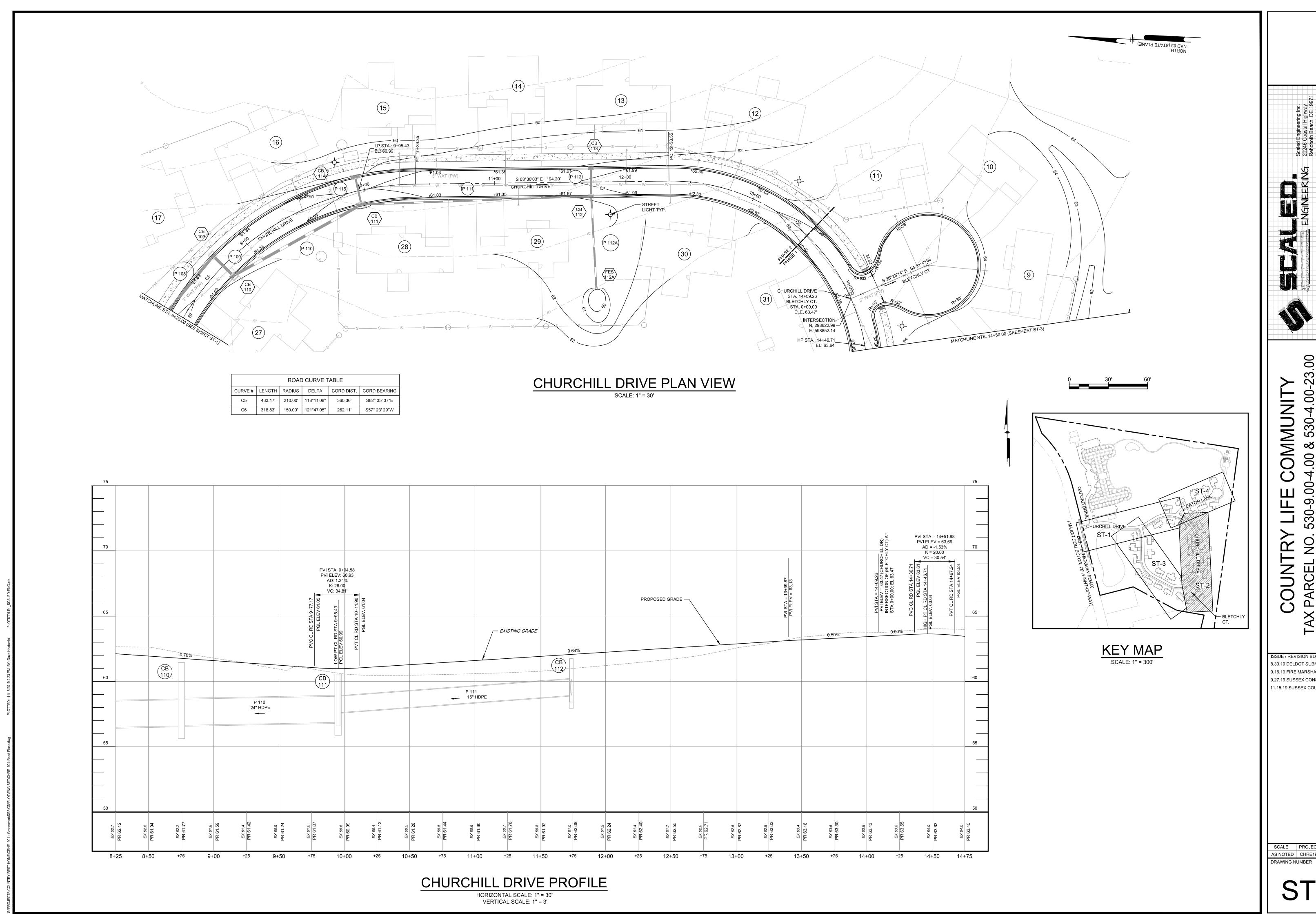
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COUNTRY LIFE COMMUNITY
TAX PARCEL NO. 530-9.00-4.00 & 530-4.00-2
SR 16 HICKMAN ROAD (S 16)
NORTHWEST FORK HUNDRED, SUSSEX COUNTY

ISSUE / REVISION BLOCK
8.30.19 DELDOT SUBMISSION
9.16.19 FIRE MARSHAL SUBMISSIO
9.27.19 SUSSEX CONSERVATION
11.15.19 SUSSEX COUNTY P & Z

SCALE PROJECT# DRAWN BY
AS NOTED CHRE1901 DMH
DRAWING NUMBER

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PARCEL NO. 530-9.00-4.00 & 530-4.00-SR 16 HICKMAN ROAD (S 16) NORTHWEST FORK HUNDRED, SUSSEX COUNTY

ISSUE / REVISION BLOCK 8.30.19 DELDOT SUBMISSION 9.16.19 FIRE MARSHAL SUBMISSION 9.27.19 SUSSEX CONSERVATION 11.15.19 SUSSEX COUNTY P & Z

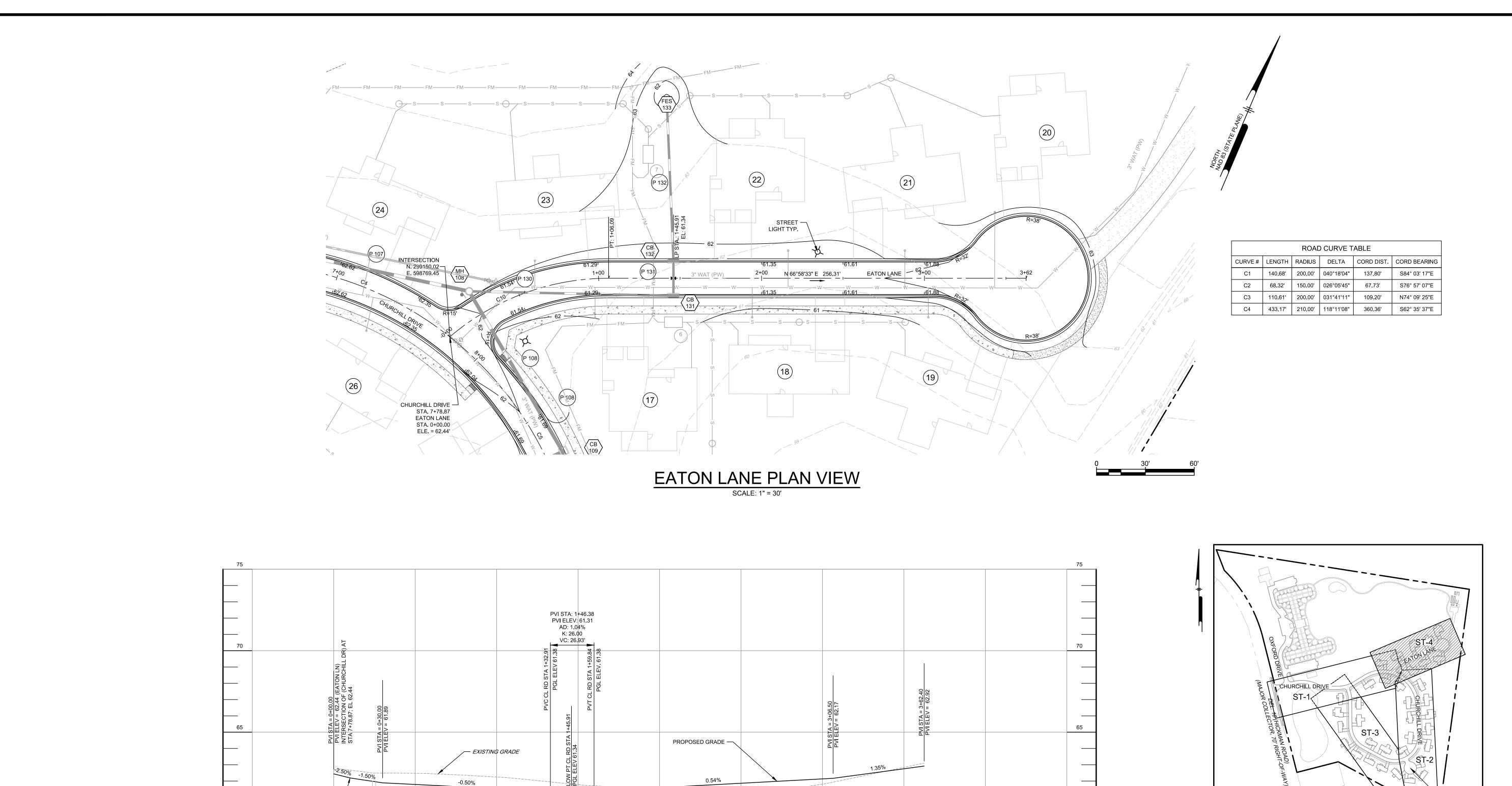
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COMMUNIT C PARCEL NO. 530-9.00-4 SR 16 HICKMAN RC NORTHWEST FORK HUNDREI COUNTRY

ISSUE / REVISION BLOCK 8.30.19 DELDOT SUBMISSION 9.16.19 FIRE MARSHAL SUBMISSION 9.27.19 SUSSEX CONSERVATION

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AS NOTED CHRE1901 DMH



KEY MAP

SCALE: 1" = 300'

EATON LANE PROFILE

MH 108

EX 62.5 PR 61.96

P 130 **→** 15" HDPE

EX 62.4 PR 61.66

PVI STA = 0+10.00 __/ PVI ELEV = 62.19

HORIZONTAL SCALE: 1" = 30" VERTICAL SCALE: 1" = 3'

EX 61.4 PR 62.00

EX 62.3 PR 62.42

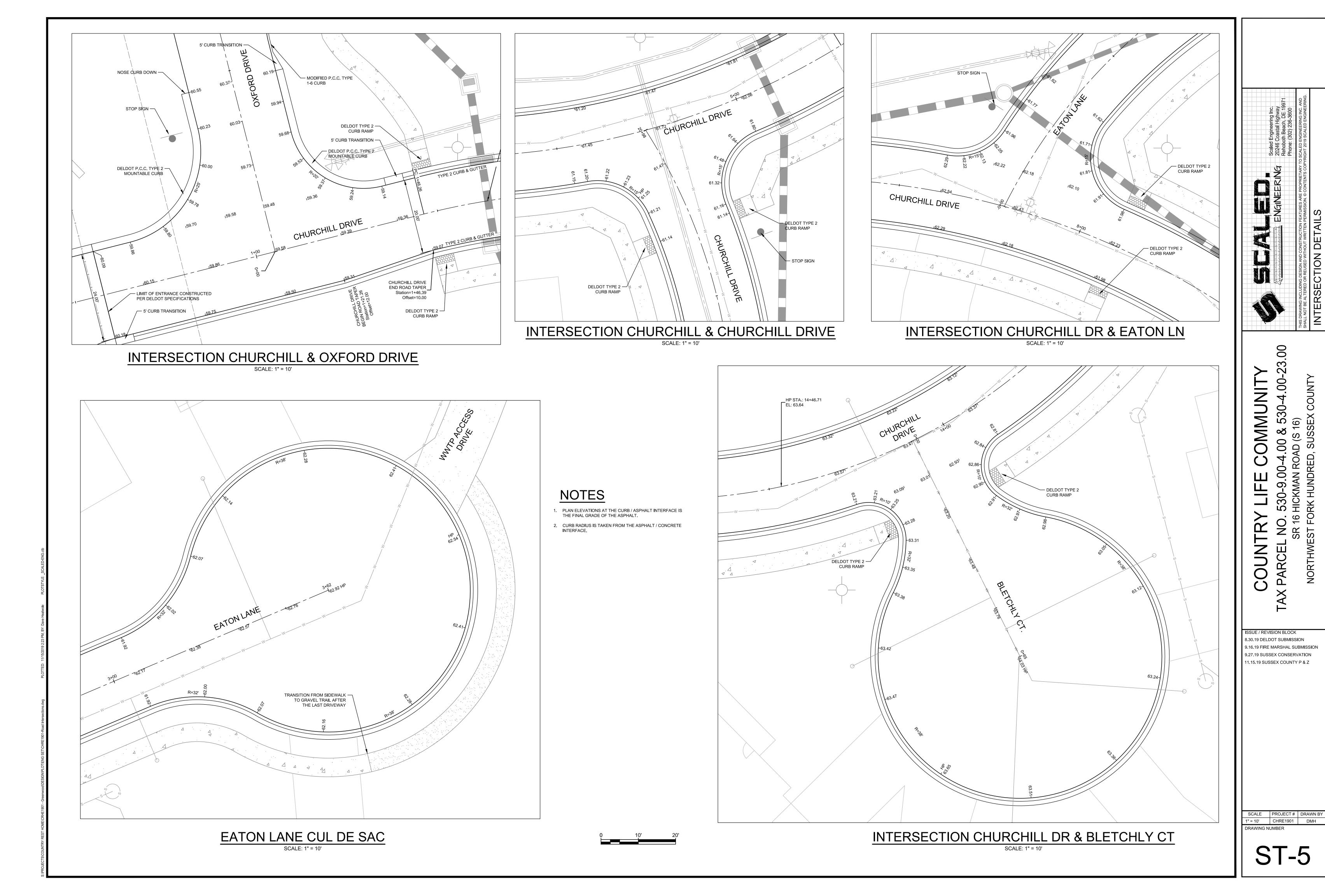
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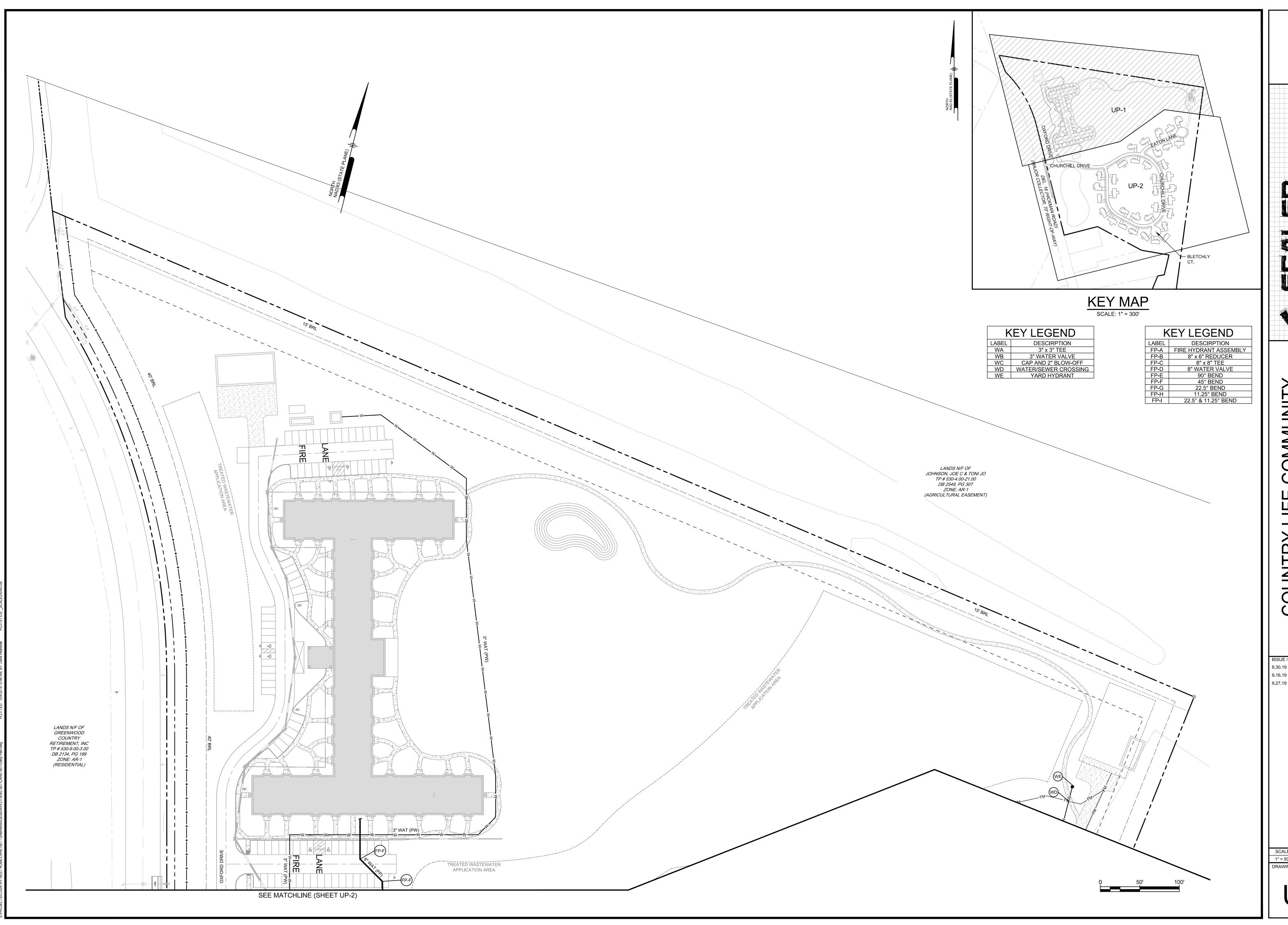
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PARCEL NO. 530-9.00-4.00 & 530-4.00-23. SR 16 HICKMAN ROAD (S 16) NORTHWEST FORK HUNDRED, SUSSEX COUNTY COMMUNIT COUNTRY

ISSUE / REVISION BLOCK 8.30.19 DELDOT SUBMISSION 9.16.19 FIRE MARSHAL SUBMISSION 9.27.19 SUSSEX CONSERVATION 11.15.19 SUSSEX COUNTY P & Z

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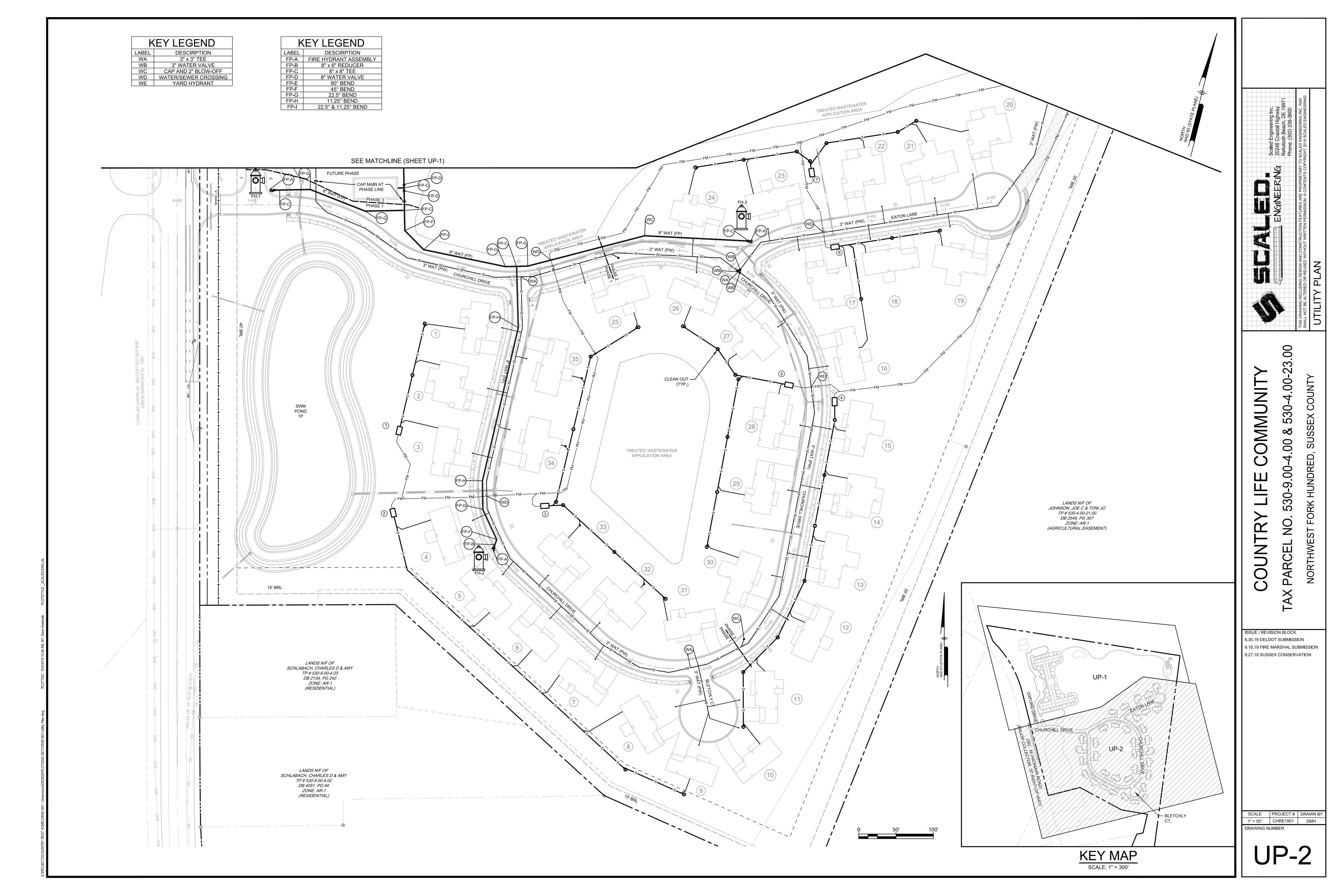
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9.27.19 SUSSEX CONSERVATION

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1" = 50' CHRE1901 DMH

DRAWING NUMBER

UP-1



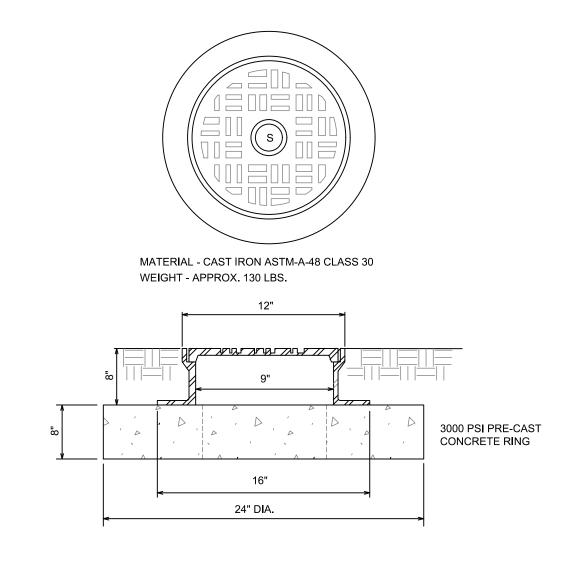
1. PIPELINE DETECTION SYSTEM: PIPELINE DETECTABLE TAPE SHALL BE INSTALLED CONTINUOUSLY ALONG EACH WATER MAIN AND SEWER FORCE MAIN PIPE. THE TAPE SHALL BE INSTALLED DIRECTLY ABOVE EACH PIPELINE AND EIGHTEEN (18) INCHES FROM THE GROUND SURFACE. THE TAPE SHALL BE 6" WIDE DETECTABLE TAPE (5.0 MIL) AS MANUFACTURED BY PRO-LINE SAFETY PRODUCTS. THE TAPE COLOR AND LEGEND SHALL BE AS FOLLOWS:

> GREEN FOR SEWER FORCE MAIN BLUE FOR WATER

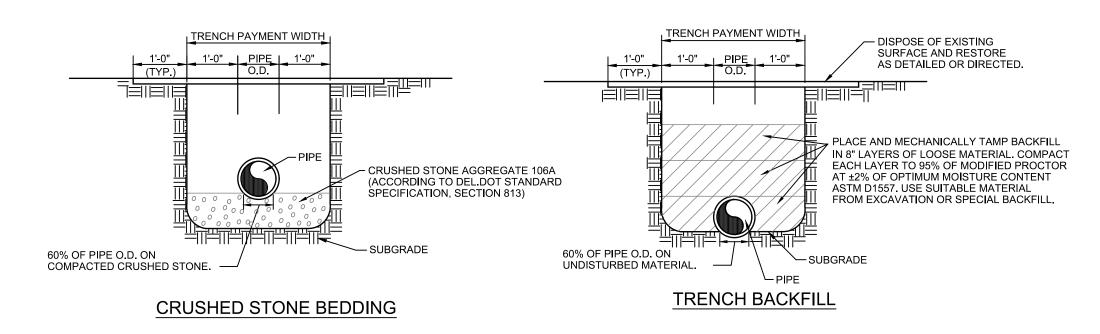
2) PRINTED LEGEND - "CAUTION BURIED POTABLE WATER LINE BELOW" - POTABLE WATER MAIN "CAUTION BURIED NON-POTABLE WATER LINE" - FIRE PROTECTION WATER MAIN "CAUTION BURIED SEWER LINE BELOW" FOR SEWER

2. TRACING WIRE - #12 SOLID COPPER BLACK COLOR AS MANUFACTURED BY AGAVE WIRE, LTE, PRODUCT APCS/APSS-1201 OR APPROVED EQUAL. THE TRACER WIRE SHALL BE INSTALLED ALONG THE FULL LENGTH OF THE INSTALLED PIPE. SPLICING OF WIRES SHALL BE BY A SOLDERLESS, SPLIT BOLT BUG CONNECTOR AS MANUFACTURED BY ILSCO TYPE IK-8 CONNECTOR. THE WIRE SHALL BE PLACED IN THE TRENCH PRIOR TO ANY BACKFILLING. THE WIRE SHALL BE BROUGHT UP TO THE SURFACE OF THE GROUND AT THE BEGINNING AND TERMINATION OF THE PIPE, AT ANY IN-LINE VALVING (INTERIOR OF THE VALVE BOX) OR ANY OTHER APPROPRIATE LOCATION, OR AS DIRECTED BY THE ENGINEER.

PIPE DETECTION TAPE TRACER WIRE INSTALLATION DETAIL



CLEANOUT FRAME & COVER DETAIL



TRENCH BACKFILL & PIPE BEDDING DETAIL

NOT TO SCALE

PLAN VIEW 24" DIA. x 6" HIGH POLYLOK LID & RISER -PVC BAFFLE VIDED BY OTHER IF REQ'D) (PROVIDED BY OTHER - POLYLOK POLY IV BOOT SEALS SECTION A-A 1. OVERALL HEIGHT: 4'10" 2. WEIGHT: TANK 8400 lbs. COVER 3600 lbs.

1,500 GALLON SEWER HOLDING / PUMPING TANK DETAIL

CAST IRON FRAME & COVER -CONCRETE DONUT 3000 PSI CONCRETE BUTTRESS FOR HEAVY TRAFFIC AREAS AT INSPECTOR'S PVC ADAPTOR DISCRETION. OR GENCO AS -REQUIRED MIN. 1%

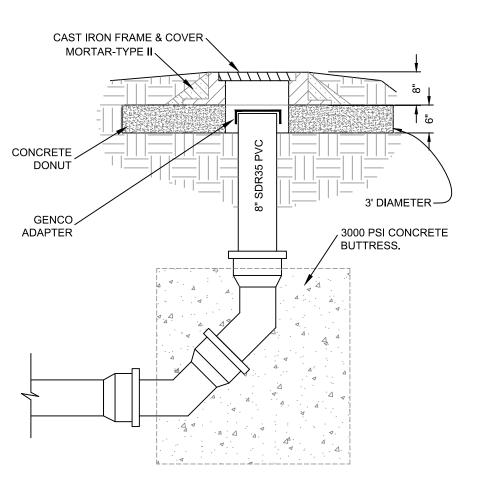
1. CAST IRON FRAME AND COVER SHALL

- BE B-1140 FOR 4" & 6" CLEANOUTS. 2. 8" CLEANOUTS SHALL HAVE GENCO
- ADAPTERS AND B-1180 CAST IRON
- FRAMES AND COVERS. 3. ALL PIPING SHALL BE SDR-35 PVC. 4. MAINTAIN A 10' SEPARATION BETWEEN
- SEWER AND WATER.

STANDARD SEWER LATERAL CLEANOUT DETAIL

SANITARY SEWER NOTES

- 1. ROUGH GRADING SHALL BE COMPLETE PRIOR TO THE CONSTRUCTION OF THE SEWER SYSTEM.
- 2. POLYVINYL CHLORIDE (PVC) GRAVITY SEWER PIPE SHALL BE SDR 35 CONFORMING TO ASTM D3034, TYPE PSM. ALL PIPE AND FITTINGS SHALL BE MADE FROM PVC COMPOUNDS AS DEFINED AND DESCRIBED IN ASTM D 1784. JOINTS SHALL BE OF THE PUSH-ON TYPE USING FLEXIBLE ELASTOMERIC SEALS IN ACCORDANCE WITH ASTM D 3212 AND
- 3. POLYVINYL CHLORIDE (PVC) SEWER FORCE MAIN PRESSURE PIPE SHALL BE SCHEDULE 40, 20 FOOT LENGTHS, INTEGRAL BELLS, NSF-PW.
- 4. PIPE SHALL BE CAREFULLY HANDLED AND LOWERED INTO THE TRENCH. IN LAYING PIPE, SPECIAL CARE SHALL BE TAKEN TO ENSURE THAT EACH LENGTH SHALL ABUT THE NEXT IN SUCH A MANNER THAT THERE SHALL BE NO SHOULDER OR UNEVENNESS OF ANY KIND ALONG THE INSIDE OF THE BOTTOM HALF OF THE PIPE LINE.
- 5. NO WEDGING OR BLOCKING WILL BE PERMITTED IN LAYING ANY PIPE.
- 6. BEFORE JOINTS ARE MADE, EACH PIPE SHALL BE WELL BEDDED ON A SOLID FOUNDATION, AND NO PIPE SHALL BE BROUGHT INTO POSITION UNTIL THE PRECEDING LENGTH HAS BEEN THOROUGHLY EMBEDDED AND SECURED IN
- 7. ANY DEFECTS DUE TO SETTLEMENT SHALL BE MADE GOOD BY THE CONTRACTOR.
- 8. THE PIPES SHALL BE THOROUGHLY CLEANED BEFORE THEY ARE LAID AND SHALL BE KEPT CLEAN UNTIL THE ACCEPTANCE OF THE COMPLETED WORK.
- 9. THE OPEN ENDS OF ALL PIPE LINES SHALL BE PROVIDED WITH A STOPPER CAREFULLY FITTED, SO AS TO KEEP DIRT AND OTHER SUBSTANCES FROM ENTERING. THIS STOPPER SHALL BE KEPT IN THE END OF THE PIPE LINE AT ALL TIMES WHEN LAYING IS NOT IN ACTUAL PROGRESS.
- 10. THE EXCAVATION IN WHICH PIPE IS BEING LAID SHALL BE KEPT FREE FROM WATER AND NO JOINT SHALL BE MADE UNDER WATER. WATER SHALL NOT BE ALLOWED TO RISE IN THE EXCAVATION UNTIL THE JOINT MATERIAL HAS
- 11. THE GREATEST CARE SHALL BE USED TO SECURE WATER TIGHTNESS AND TO PREVENT DAMAGE TO, OR DISTURBING OF, THE JOINTS DURING THE REFILLING PROCESS, OR AT ANY TIME.
- 12. AFTER PIPES HAVE BEEN LAID AND THE JOINTS HAVE BEEN MADE, THERE SHALL BE NO WALKING ON OR WORKING OVER THEM EXCEPT SUCH AS MAY BE NECESSARY IN TAMPING, UNTIL THERE IS A COVERING AT LEAST TWO (2) FEET IN DEPTH, OVER THEIR TOP.
- 13. THE PVC PIPE SHALL BE PLACED IN ACCORDANCE WITH THE INSTALLATION RECOMMENDATION OF THE PIPE
- 14. NO PIPE SHALL BE LAID UPON A FOUNDATION INTO WHICH FROST HAS PENETRATED NOR AT ANY TIME THAT THERE IS DANGER OF THE FORMATION OF ICE.
- 15. CONSTRUCTION OF SANITARY SEWER LINES SHALL NOT BEGIN UNTIL GRADING IN THE PROXIMITY OF THE SEWER LINES IS WITHIN SIX (6) INCHES OF FINISHED GRADE.
- 16. PIPE SHALL BE MANUFACTURED IN STANDARD LENGTHS NOT EXCEEDING TWENTY (20) FEET.
- 17. PVC PIPE FITTINGS SHALL UTILIZE AN ELASTOMETRIC O-RING GASKETED JOINT ASSEMBLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. PVC WYE BRANCHES, PIPE STOPPERS AND OTHER FITTINGS SHALL BE MANUFACTURED IN ACCORDANCE WITH THE SAME SPECIFICATIONS AND SHALL HAVE THE SAME THICKNESS, DEPTH OF SOCKET, AND ANNULAR SPACE AS THE PIPE.
- 18. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTROL WATER THAT MAY BE PRESENT IN THE EXCAVATION. THE CONTRACTOR SHALL PROVIDE FOR THE DISPOSAL OF WATER REMOVED FROM EXCAVATIONS, IN SUCH A MANNER AS SHALL NOT CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY OR TO ANY PORTION OF THE WORK COMPLETED OR IN PROGRESS.
- 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDITION OF ALL EXCAVATION MADE. ALL SLIDES AND CAVES SHALL BE REMOVED, AT WHATEVER TIME AND UNDER WHATEVER CIRCUMSTANCES THEY MAY OCCUR.
- 20. ALL WORK SHALL BE CONDUCTED IN SUCH MANNER AS TO PROTECT PERSONS AND PROPERTY AGAINST INJURY.
- 21. BACKFILLING OF THE PIPE SHALL BE MADE WITH MATERIAL MEETING THE REQUIREMENTS OF BORROW TYPE "C". IF THE EXISTING MATERIAL MEETS THOSE REQUIREMENTS, IT SHALL BE USED FOR PIPE BACKFILL.
- 22. THE CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS AS RAPIDLY AS PRACTICABLE AFTER THE COMPLETION OF CONSTRUCTION WORK THEREIN OR AFTER THE EXCAVATIONS HAVE SERVED THEIR PURPOSE.
- 23. ALL UNAUTHORIZED EXCAVATIONS MADE BY THE CONTRACTOR SHALL BE IMMEDIATELY BACKFILLED.



1. CAST IRON FRAME & COVER SHALL BE B-1140 FOR 6" TERMINAL CLEANOUTS. 2. 8" CLEANOUTS SHALL HAVE GENCO ADAPTERS AND B-1180 CAST IRON FRAME & COVERS.

3. ALL PIPING SHALL BE SDR-35 PVC.

4. MAINTAIN A 10' SEPARATION BETWEEN SEWER AND

TERMINAL CLEANOUT DETAIL

NOT TO SCALE

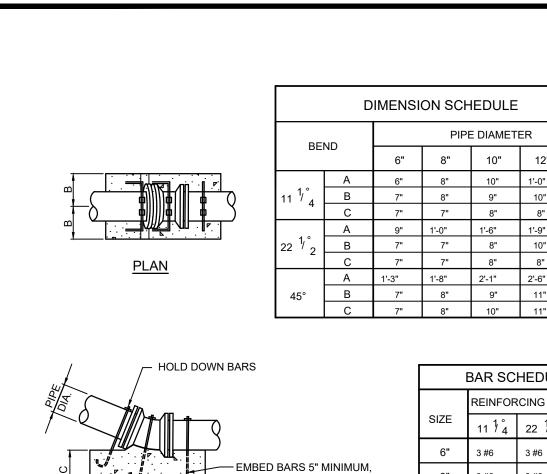
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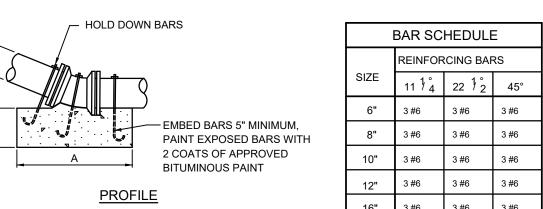
ISSUE / REVISION BLOCK 8.30.19 DELDOT SUBMISSION 9.16.19 FIRE MARSHAL SUBMISSION 9.27.19 SUSSEX CONSERVATION

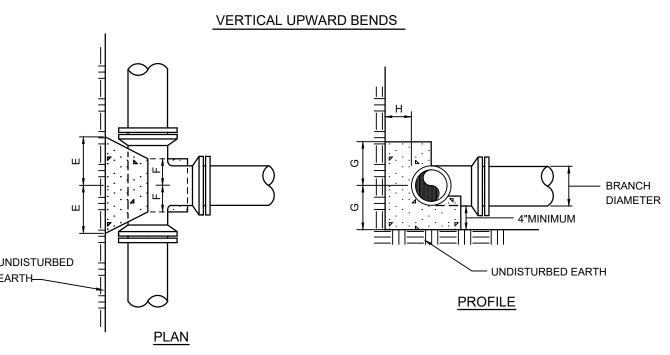
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SCALE PROJECT # DRAWN BY AS NOTED | CHRE1901 | DMH

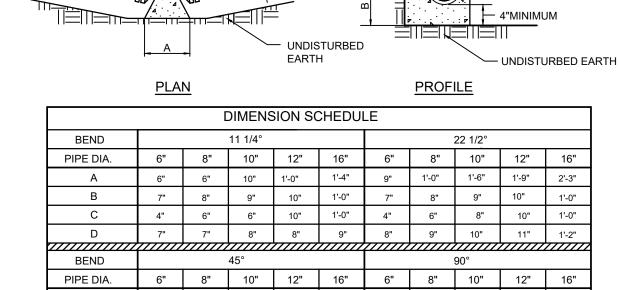
DRAWING NUMBER







DIMENSION SCHEDULE					
BRANCH DIA.	6"	8"	10"	12"	16"
E	8"	10"	1'-0"	1'-3"	1'-8"
F	6"	8"	8"	8"	10"
G	7"	9"	1'-0"	1'-2"	1'-6"
Н	8"	9"	10"	1'-0"	1'-2"



8" 9" 10" 11" 1'-2" 1'-5" 6" 1'-8" 1'-9" 1'-10"

VALVE BOX COVER MARKED "WATER" FOR POTABLE WATER VALVES AND BLANK FOR FIRE

W.W.F. REINFORCING

PROTECTION WATER MAIN VALVES

24" DIA. 3,000PSI CONCRETE COLLAR

5 1/4" DIA. 3 PIECE SCREW TYPE VALVE BOX

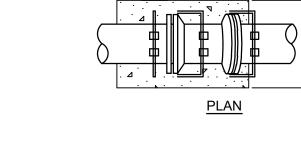
AS MANUFACTURED BY TYLER UNION QUALITY WATERWORKS PRODUCTS OR

APPROVED EQUAL. SET VALVE BOX ON

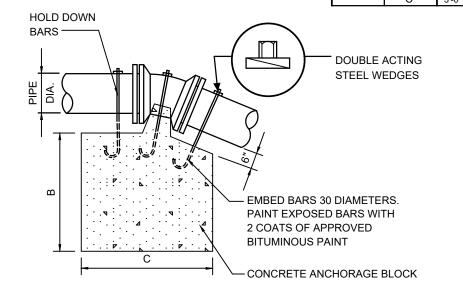
(2) 4" THICK SOLID CONCRETE BLOCKS.

INSTALL CONCRETE COLLAR IN UNPAVED AREAS\

MECHANICAL JOINT WITH RETAINER GLAND (TYP.)



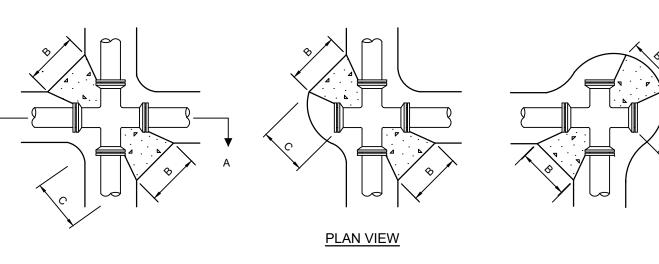
	DIMENSION SCHEDULE										
	BEND		PIPE DIAMETER								
			6"	8"	10"	12"	16"				
		Α	1'-6"	1'-6"	2'-5"	3'-0"	1'-4"				
	11 1/ 4	В	1'-3"	1'-9"	1'-9"	2'-0"	1'-0"				
		С	2'-0"	2'-6"	2'-9"	3'-0"	4'-0"				
		Α	2'-0"	3'-4"	3'-8"	4'-0"	4'-4"				
	22 1/°	В	1'-9"	2'-3"	2'-6"	2'-6"	2'-6"				
	2	С	2'-6"	2'-8"	3'-10"	4'-0"	5'-6"				
	45°	Α	2'-6"	3'-0"	4'-0"	4'-6"	5'-2"				
		В	2'-6"	2'-9"	3'-0"	3'-6"	4'-6"				
		С	3'-0"	4'-0"	4'-6"	4'-9"	8'-0"				

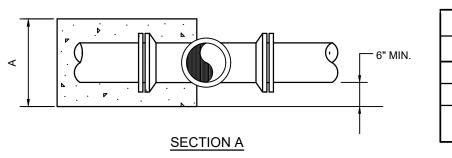


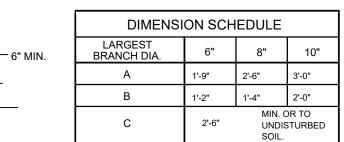
PROFILE

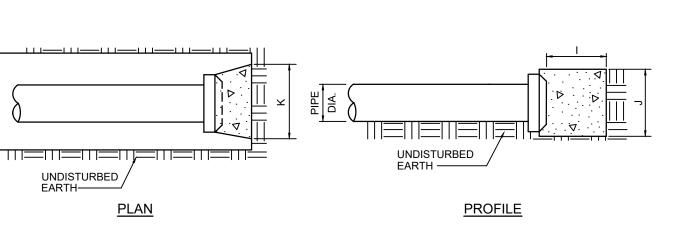
BAR SCHEDULE						
	REINFORCING BARS					
SIZE	11 ¹ / ₄	22 1 , 2	45°			
6"	3 #6	3 #6	3 #6			
8"	3 #6	3 #6	3 #6			
10"	3 #6	3 #6	3 #6			
12"	3 #6	3 #6	3 #6			
16"	3 #6	3 #6	3 #6			

VERTICAL DOWNWARD BENDS









DIMENSION SCHEDULE					
PIPE DIA.	6"	8"	10"	12"	16"
I	6"	8"	8"	10"	1'-0"
J	1'-0"	1'-4"	1'-8"	2'-0"	2'-8"
K	1'-5"	1'-11"	2'-5"	2'-10"	3'-9"

<u>PLUGS</u>

HORIZONTAL BENDS

TRENCH WALL

FIRE PROTECTION WATER MAIN NOTES

- 1. DUCTILE IRON PIPE CLASS 150, AWWA C151; AWWA C111 WITH CEMENT LINING AND BITUMINOUS COATING.
- 2. FITTINGS DOMESTICALLY MANUFACTURED DUCTILE IRON, MECHANICAL JOPINT WITH "TEE" TYPE BOLTS.
- 3. JOINTS FOR DUCTILE IRON PIPE SHALL BE MECHANICAL OR TYTON TYPE PUSH-ON IN ACCORDANCE WITH AWWA C110 AND C111 OR FLANGE JOINT IN ACCORDANCE WITH AWWA C110.
- 4. POLYVINYL CHLORIDE PVC PRESSURE WATER PIPE (6"-16" DIA.) AWWA C909 CLASS 235 (16"-CLASS 165), (20" & GREATER DIA.) - C905 DR25, (4" DIA.) - C900 DR25, 20 FOOT LENGTHS, INTEGRAL BELLS, NSF-PW APPROVED.
- 5. FITTINGS FOR PVC PIPE SHALL BE FABRICATED OR MOLDED FROM THE SAME MATERIAL AS THE PIPE IN WHICH THEY
- 6. POLYETHYLENE (PE) WATER SERVICE PIPE SHALL BE HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE PIPE IN ACCORDANCE WITH AWWA C901, FABRICATED FROM MATERIAL HAVING A CLASSIFICATION OF ASTM D1248. THE
- PIPE SHALL BE IRON PIPE I.D., SDR 11, CLASS160 IN ACCORDANCE WITH ASTM D-2239. BUTTRESSES AND ANCHORAGES SHALL BE PROVIDED AT ALL HORIZONTAL AND VERTICAL BENDS AND AT CAPPED

AND VALVED ENDS. THE BEARING SURFACE OF THE CONCRETE BUTTRESS SHALL BE POURED AGAINST

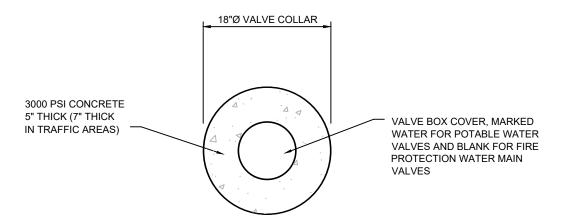
- UNDISTURBED EARTH. PIPELINES REQUIRING ANCHORAGES OR BUTTRESSES SHALL NOT BE PRESSURIZED, TESTED OR PLACED IN SERVICE UNTIL A MINIMUM OF FORTY-EIGHT (48) HOURS AFTER THE PLACEMENT OF THE CONCRETE. GATE VALVES (4" OR GREATER) - AWWA C509, AD#85 RESILIENT SEAT TYPE, KENNEDY KENSEAL II, MUELLER OR
- EQUIVALENT DOMESTICALLY MANUFACTURED PRODUCT APPROVED BY THE ENGINEER. 9. VALVE BOXES - CAST IRON TYLER UNION MODEL 564-S INCLUDING VALVE BOX ADAPTOR FOR BOX CENTERING.
- 10. FIRE HYDRANTS AWWA C502 AMERICAN-DARLING MODEL B-62-B OR APPROVED EQUAL. SUBMITTAL DATA:
 - DIRECTION TO OPEN: LEFT - PAINT COLOR: RED - NUMBER OF HOSE NOZZLES: 2 - HOSE NOZZLE SIZE: 2.5 INCH - STEAMER NOZZLE: YES

ARE INSTALLED, OR DUCTILE IRON FITTINGS MAY BE USED.

- STEAMER NOZZLE SIZE: 4.5 INCH
- NOZZLE CAP CHAIN: YES - HYDRANT WRENCH: YES (PROVIDE THREE WRENCHES TO THE OWNER)
- 11. TRACING WIRE #12 SOLID COPPER BLACK COLOR AS MANUFACTURED BY AGAVE WIRE, LTE, PRODUCT APCS/APSS-1201 OR APPROVED EQUAL.
- 12. DETECTOR TAPE 6" WIDE AS MANUFACTURED BY PRO-LINE SAFETY PRODUCTS WITH PRINTED LEGEND "CAUTION
- BURIED NON-POTABLE WATER LINE".
- 13. MARKER BALL 3M COMPANY
- 14. MARKING STAKE 3' WOODEN STAKE
- 15. ALL FIRE PROTECTION WATER SYSTEM PIPE, HYDRANTS, FITTINGS, VALVES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE AWWA STANDARDS.
- 16. DETECTION AND WARNING TAPE SHALL BE PLACED BETWEEN 18 AND 24 INCHES ABOVE THE WATER LINE BEING
- MARKED WHEN PVC PIPE IS BEING INSTALLED. AT NO TIME SHALL IT BE PLACED AT A DEPTH LESS THAN 6 INCHES.
- 17. ALL FIRE PROTECTION WATER MAINS MUST HAVE A MINIMUM OF 3'-0" INCHES OF COVER.
- 18. PROVIDE BUTTRESSING AND THRUST BLOCKS IN ACCORDANCE WITH THE PLAN DETAILS.
- 19. FIRE HYDRANTS INSTALLED, BUT NOT YET IN SERVICE SHALL BE SECURELY WRAPPED WITH BLACK PLASTIC BAG.
- 20. NEW PIPE SHALL BE HYDROSTATICALLY TESTED AT A MINIMUM PRESSURE OF 100 PSI FOR 2 HOURS AS MEASURED AT THE HIGHEST ELEVATION OF THE PIPE BEING TESTED.
- 21. ACCEPTANCE SHALL BE DETERMINED BASED ON ALLOWABLE LEAKAGE. IF A TEST OF PIPE LAID DISCLOSES A LEAKAGE GREATER THAN SPECIFIED, THE LEAK SHALL BE LOCATED AND THE DEFECTIVE MATERIAL REPAIRED UNTIL THE LEAKAGE IS WITHIN THE SPECIFIED ALLOWANCE. ALL VISIBLE LEAKS ARE TO BE REPAIRED REGARDLESS OF THE AMOUNT OF LEAKAGE
- 22. A LEAKAGE TEST SHALL BE CONDUCTED CONCURRENTLY WITH THE PRESSURE TEST. LEAKAGE SHALL BE DEFINED AS THE QUANTITY OF WATER THAT MUST BE SUPPLIED INTO THE NEWLY LAID PIPE, OR ANY VALVED SECTION THEREOF. TO MAINTAIN PRESSURE WITHIN 5 PSI OF THE SPECIFIED TEST PRESSURE AFTER THE AIR IN THE PIPELINE HAS BEEN EXPELLED AND THE PIPE HAS BEEN FILLED WITH WATER.

ALLOWABLE LEAKAGE PER 1,000 FEET OF PIPELINE - gph							
Avg. Test	Nominal Pipe Diameter - In.						
Pressure, psi	4	6	8	10	12	14	16
150	0.37	0.55	0.74	0.92	1.1	1.29	1.47
125	0.34	0.5	0.67	0.84	1.01	1.18	1.34
100	0.3	0.45	0.6	0.75	0.9	1.05	1.2

23. AFTER WATER MAINS HAVE BEEN TESTED AND ACCEPTED, EACH HYDRANT SHALL BE OPENED WITH ALL DISCHARGE NOZZLES FULLY CLOSED AND INSPECTED FOR LEAKS. ALL VISIBLE LEAKS SHALL BE CORRECTED IMMEDIATELY BY THE CONTRACTOR AND THE TEST PERFORMED AGAIN AT NO ADDITIONAL EXPENSE TO THE OWNER



IN ACCORDANCE WITH AWWA C901, FABRICATED FROM MATERIAL HAVING A CLASSIFICATION OF ASTM D1248. THE

ARE INSTALLED, OR DUCTILE IRON FITTINGS MAY BE USED.

C110 AND C111 OR FLANGE JOINT IN ACCORDANCE WITH AWWA C110.

POTABLE WATER MAIN NOTES

PIPE SHALL BE IRON PIPE I.D., SDR 11, CLASS160 IN ACCORDANCE WITH ASTM D-2239. 7. BUTTRESSES AND ANCHORAGES SHALL BE PROVIDED AT ALL HORIZONTAL AND VERTICAL BENDS AND AT CAPPED

1. DUCTILE IRON PIPE - CLASS 150, AWWA C151; AWWA C111 WITH CEMENT LINING AND BITUMINOUS COATING.

2. FITTINGS - DOMESTICALLY MANUFACTURED DUCTILE IRON, MECHANICAL JOPINT WITH "TEE" TYPE BOLTS.

4. POLYVINYL CHLORIDE PVC PRESSURE WATER PIPE (2" DIA. AND 3" DIA.) - SCHEDULE 40, 20 FOOT LENGTHS,

3. JOINTS FOR DUCTILE IRON PIPE SHALL BE MECHANICAL OR TYTON TYPE PUSH-ON IN ACCORDANCE WITH AWWA

AND VALVED ENDS. THE BEARING SURFACE OF THE CONCRETE BUTTRESS SHALL BE POURED AGAINST UNDISTURBED EARTH. PIPELINES REQUIRING ANCHORAGES OR BUTTRESSES SHALL NOT BE PRESSURIZED, TESTED OR PLACED IN SERVICE UNTIL A MINIMUM OF FORTY-EIGHT (48) HOURS AFTER THE PLACEMENT OF THE CONCRETE.

5. FITTINGS FOR PVC PIPE SHALL BE FABRICATED OR MOLDED FROM THE SAME MATERIAL AS THE PIPE IN WHICH THEY

6 POLYETHYLENE (PE) WATER SERVICE PIPE SHALL BE HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE PIPE

- 8. GATE VALVES (2" OR GREATER) AWWA C509, AD#85 RESILIENT SEAT TYPE, KENNEDY KENSEAL II, MUELLER OR EQUIVALENT DOMESTICALLY MANUFACTURED PRODUCT APPROVED BY THE ENGINEER.
- 9. VALVE BOXES CAST IRON TYLER UNION 6860 SCREW TYPE (3") AND 6500 SCREW TYPE (2") INCLUDING VALVE BOX ADAPTOR FOR BOX CENTERING
- 10. CORPORATION STOPS FORD F1001 SERIES.

INTEGRAL BELLS. NSF-PW APPROVED.

- 11. SADDLES FORD STAINLESS STEEL BANDED SADDLES FS202 SERIES.
- 12. CURB STOPS FORD FB 1700 SERIES
- 13. TRACING WIRE #12 SOLID COPPER BLACK COLOR AS MANUFACTURED BY AGAVE WIRE, LTE, PRODUCT APCS/APSS-1201 OR APPROVED EQUAL.
- 14. DETECTOR TAPE 6" WIDE AS MANUFACTURED BY PRO-LINE SAFETY PRODUCTS WITH PRINTED LEGEND "CAUTION **BURIED POTABLE WATER LINE"**
- 15. TAPPING SLEEVE FORD FTSS.
- 16. PE STIFFENER INSERT (1" DIA.) FORD 52 SERIES, (2" OR GREATER DIA.) FORD 55 SERIES.
- 17. MARKER BALL 3M COMPANY
- 18. MARKING STAKE 3' WOODEN STAKE
- 19. ALL WATER SYSTEM PIPE, HYDRANTS, FITTINGS, VALVES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE AWWA STANDARDS.
- 20. DETECTION AND WARNING TAPE SHALL BE PLACED BETWEEN 18 AND 24 INCHES ABOVE THE WATER LINE BEING MARKED WHEN PVC PIPE IS BEING INSTALLED. AT NO TIME SHALL IT BE PLACED AT A DEPTH LESS THAN 6 INCHES.
- 21. NEW PIPE SYSTEMS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C651 STANDARDS PRIOR TO CONNECTION TO THE EXISTING PIPE NETWORK.
- 22. WATER MAINS SHALL HAVE A MINIMUM 10 FOOT HORIZONTAL AND 18 INCH VERTICAL SEPARATION FROM SANITARY SEWER. WHERE MINIMUM SEPARATION CANNOT BE MAINTAINED, THE OFFICE OF DRINKING WATER MUST SPECIFICALLY APPROVE ANY VARIANCE BY DATA FROM THE DESIGN ENGINEER.
- 23. ALL WATER MAINS MUST HAVE A MINIMUM OF 3'-0" INCHES OF COVER.
- 24. PROVIDE BUTTRESSING AND THRUST BLOCKS IN ACCORDANCE WITH THE PLAN DETAILS.
- 25. NEW PIPE SHALL BE HYDROSTATICALLY TESTED AT A MINIMUM PRESSURE OF 100 PSI FOR 2 HOURS AS MEASURED AT THE HIGHEST ELEVATION OF THE PIPE BEING TESTED.
- 26. ACCEPTANCE SHALL BE DETERMINED BASED ON ALLOWABLE LEAKAGE. IF A TEST OF PIPE LAID DISCLOSES A LEAKAGE GREATER THAN SPECIFIED, THE LEAK SHALL BE LOCATED AND THE DEFECTIVE MATERIAL REPAIRED UNTIL THE LEAKAGE IS WITHIN THE SPECIFIED ALLOWANCE. ALL VISIBLE LEAKS ARE TO BE REPAIRED REGARDLESS OF THE AMOUNT OF LEAKAGE.
- 27. A LEAKAGE TEST SHALL BE CONDUCTED CONCURRENTLY WITH THE PRESSURE TEST. LEAKAGE SHALL BE DEFINED AS THE QUANTITY OF WATER THAT MUST BE SUPPLIED INTO THE NEWLY LAID PIPE, OR ANY VALVED SECTION THEREOF, TO MAINTAIN PRESSURE WITHIN 5 PSI OF THE SPECIFIED TEST PRESSURE AFTER THE AIR IN THE PIPELINE HAS BEEN EXPELLED AND THE PIPE HAS BEEN FILLED WITH WATER.

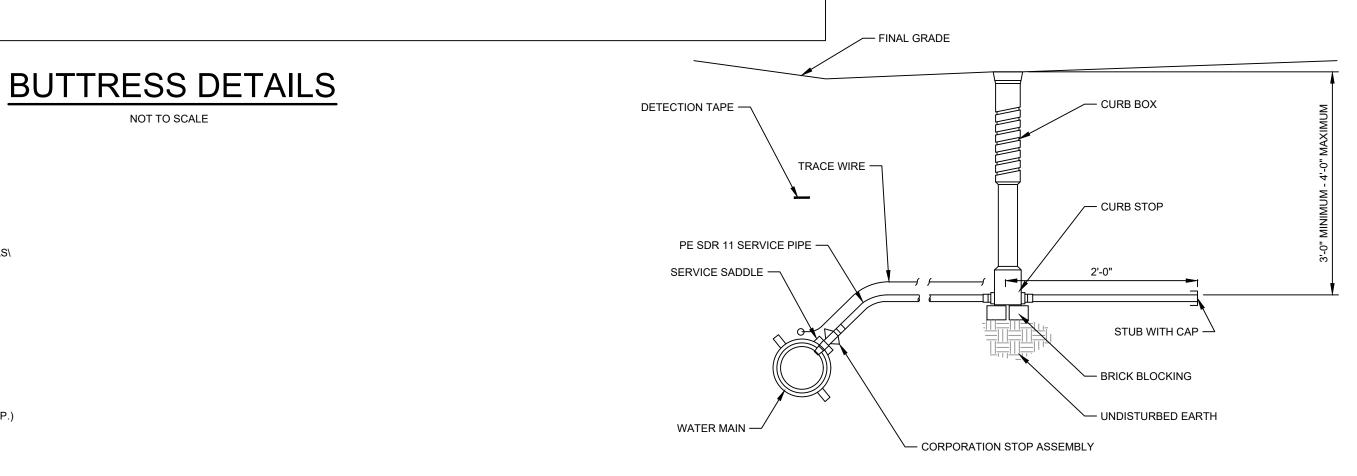
ALLOWABLE LEAKAGE PER 1,000 FEET OF PIPELINE - gpn							
Avg. Test		١.					
Pressure, psi	4	6	8	10	12	14	16
150	0.37	0.55	0.74	0.92	1.1	1.29	1.47
125	0.34	0.5	0.67	0.84	1.01	1.18	1.34
100	0.3	0.45	0.6	0.75	0.9	1.05	1.2

28. AFTER WATER MAINS HAVE BEEN TESTED AND ACCEPTED, EACH HYDRANT SHALL BE OPENED WITH ALL DISCHARGE NOZZLES FULLY CLOSED AND INSPECTED FOR LEAKS. ALL VISIBLE LEAKS SHALL BE CORRECTED IMMEDIATELY BY THE CONTRACTOR AND THE TEST PERFORMED AGAIN AT NO ADDITIONAL EXPENSE TO THE OWNER.

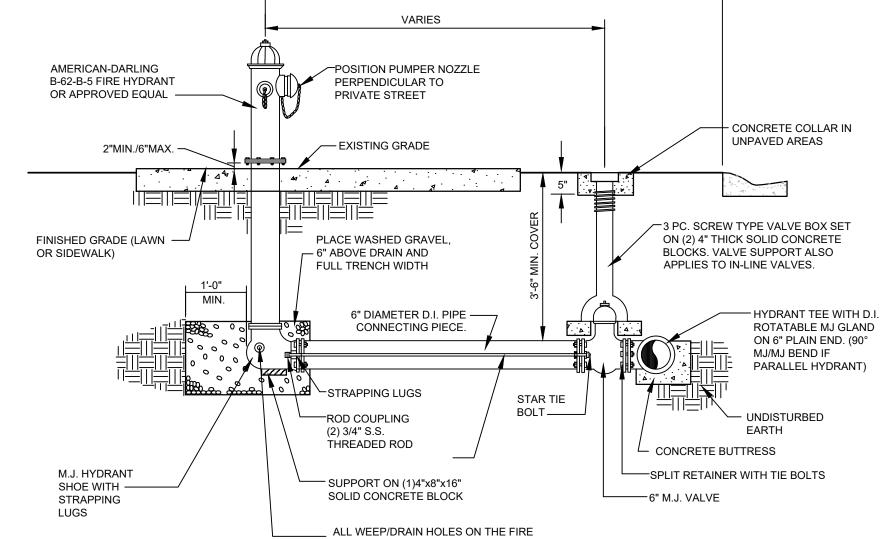
7' MAX. FROM BACK OF CURB

29. MICROBIOLOGICAL AND OTHER REQUIRED TESTING SHALL BE COMPLETED BY THE DELAWARE DIVISION OF PUBLIC HEALTH AT THE DEVELOPER'S EXPENSE.





WATER SERVICE CONNECTION DETAIL



FIRE HYDRANT DETAIL

HYDRANT MUST BE RELOCATED AT LEAST 3" FROM TOP OF THE CONCRETE THRUST BLOCK

TO MAINTAIN FREE DRAINAGE.

DRAWING NUMBER

SCALE PROJECT # DRAWN BY

AS NOTED CHRE1901 DMH

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530-9.00-HICKMAN R

COUNTR

8.30.19 DELDOT SUBMISSION

9.16.19 FIRE MARSHAL SUBMISSION 9.27.19 SUSSEX CONSERVATION

BACKFILL AS PER TRENCH

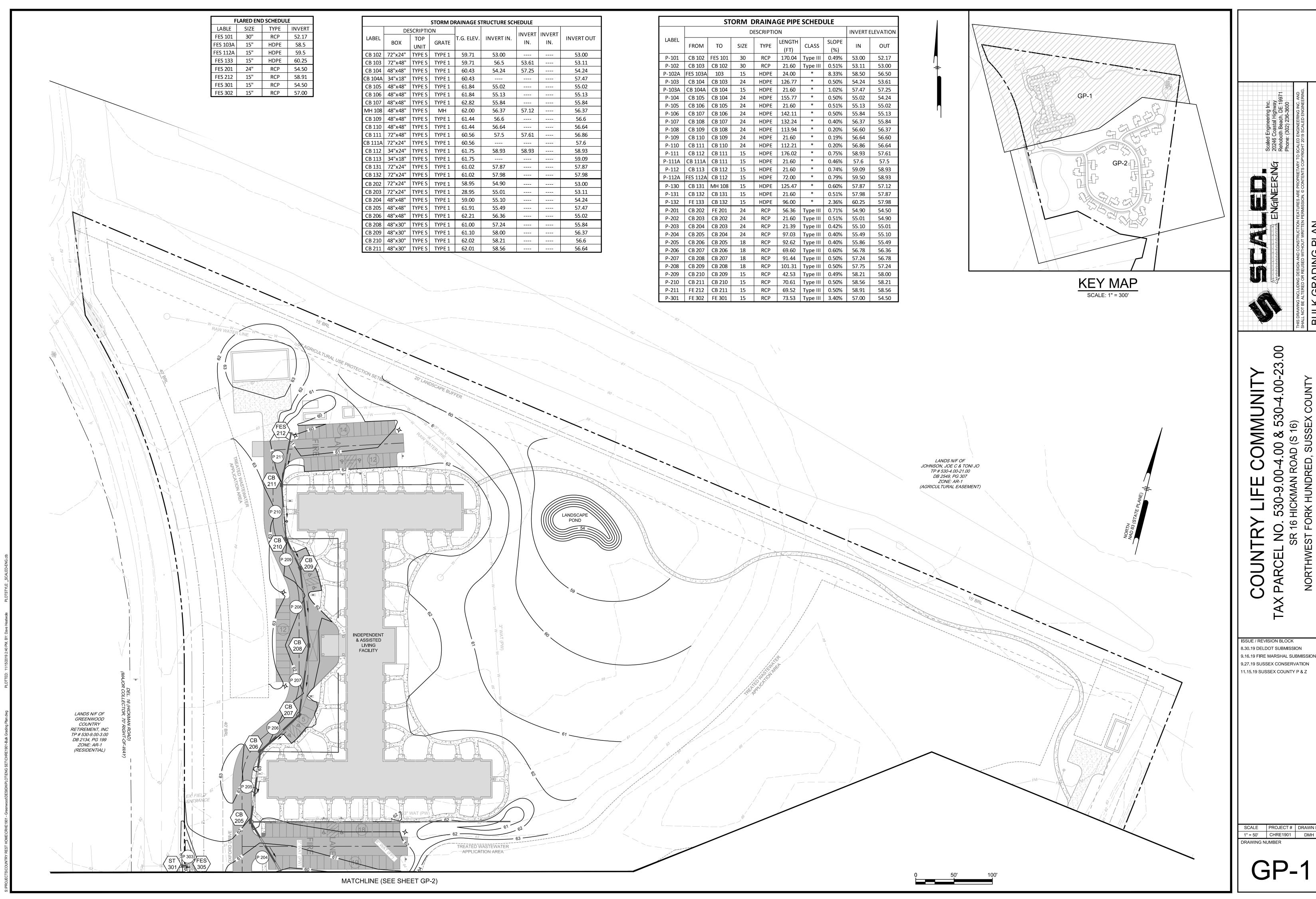
RESILIENT SEAT GATE VALVE -

BACKFILL AND PIPE

4" THICK SOLID PRECAST CONCRETE BLOCK

BEARING ON FIRM UNSTABLE SOIL SIZE AS NECESSARY FOR FULL BEARING ON VALVE -

BEDDING DETAIL



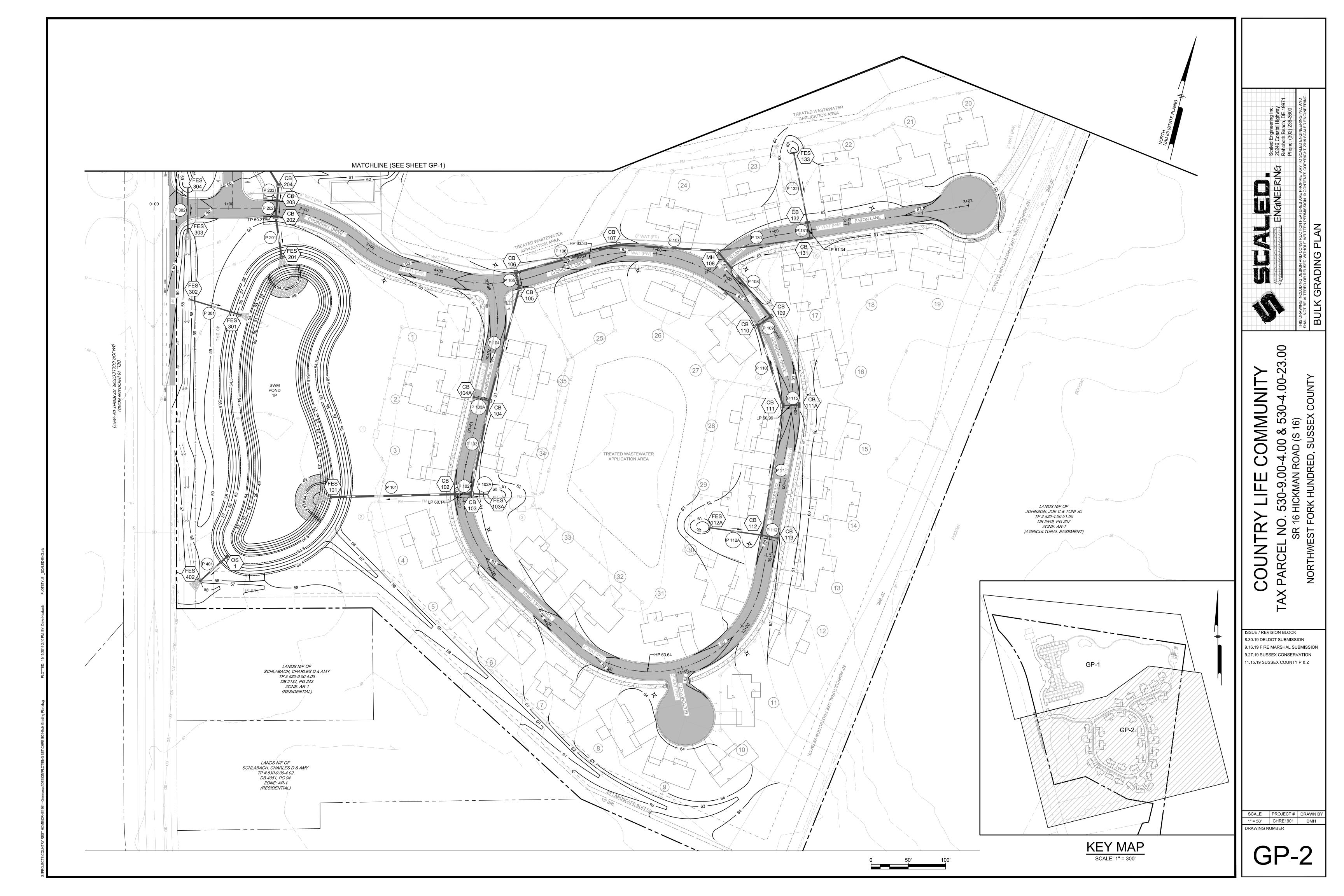
00 530-SUSSEX O. 530-9.00-16 HICKMAN R

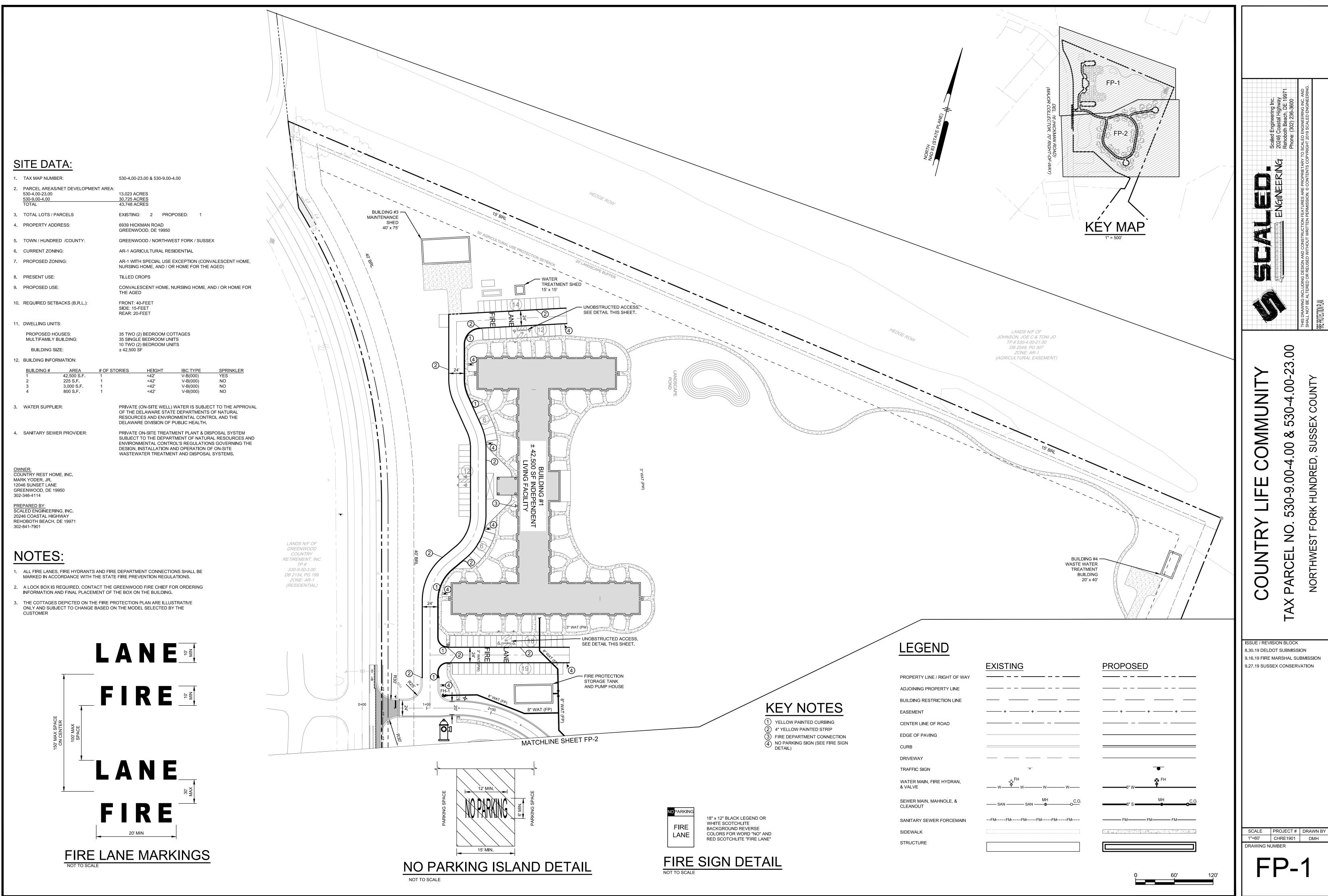
COUNTY

FORK HUNDR

 SCALE
 PROJECT # DRAWN BY

 1" = 50'
 CHRE1901
 DMH
 DRAWING NUMBER

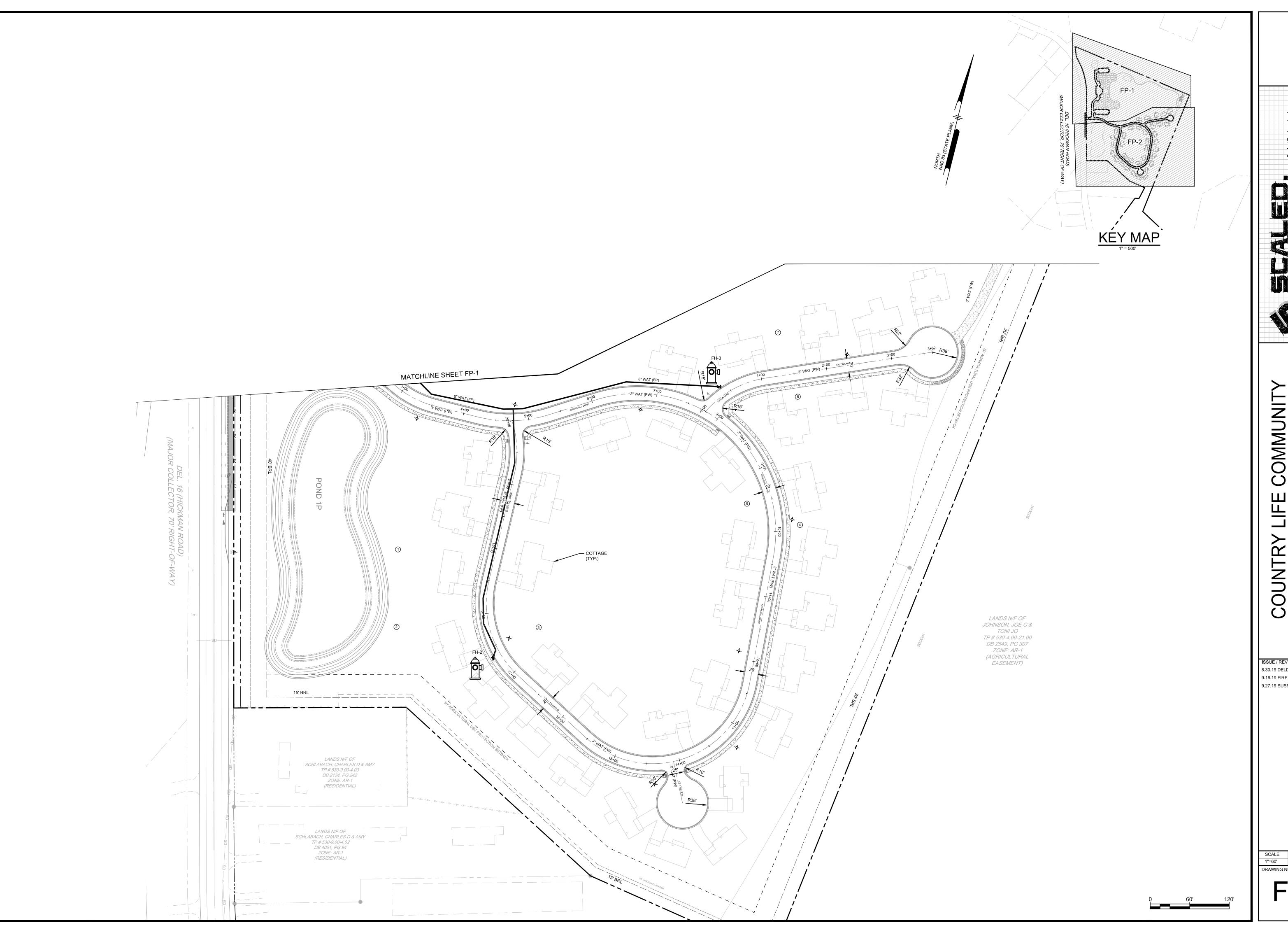




4.00 OMMUNI 530 00 530-9.00 COUNTR PARCEL TAX

ED,

FORK HUNDR





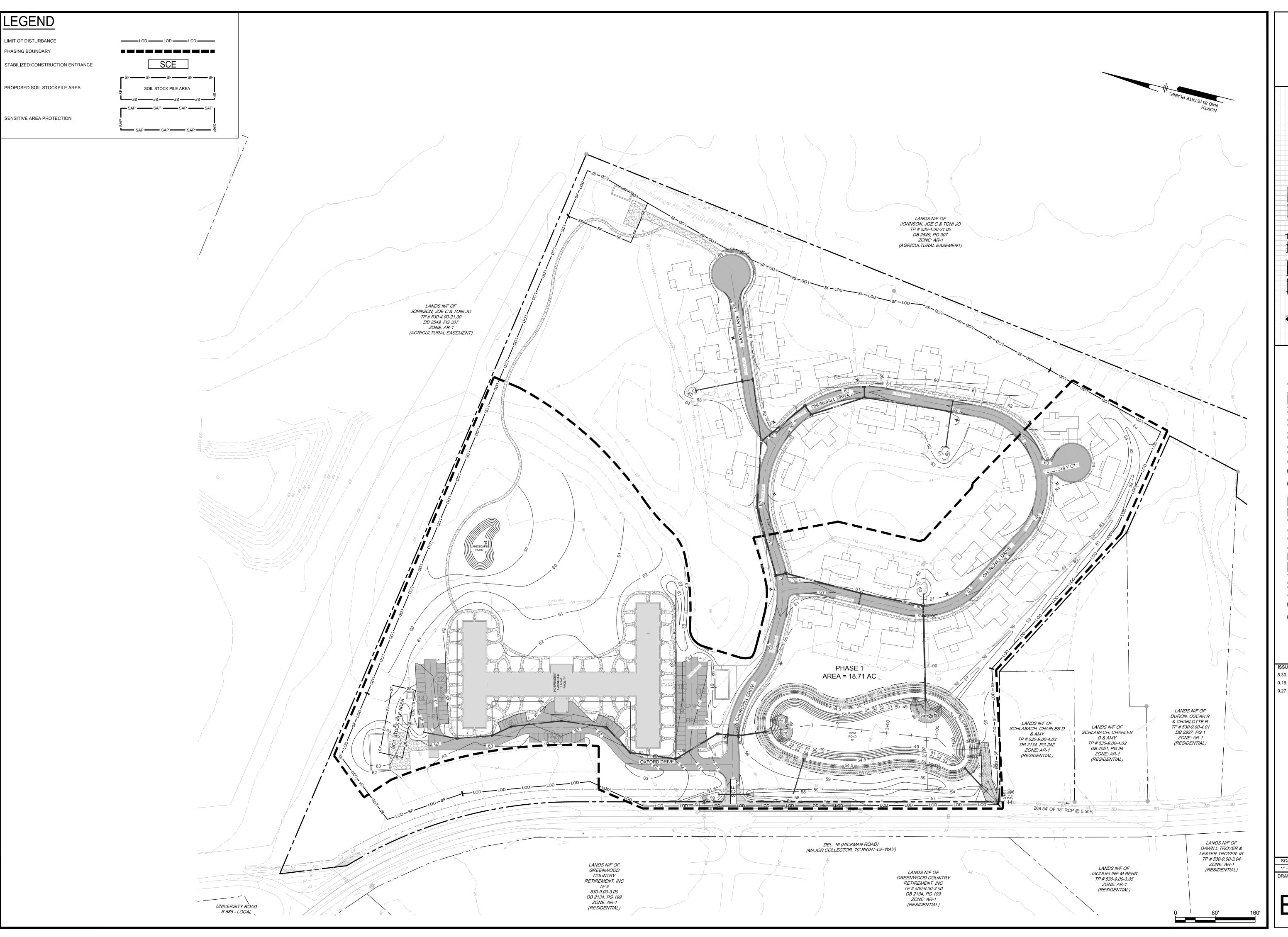
ISSUE / REVISION BLOCK
8.30.19 DELDOT SUBMISSION
9.16.19 FIRE MARSHAL SUBMISSION
9.27.19 SUSSEX CONSERVATION

TAX PARCEL

NORTHWEST FORK HUNDR

SCALE PROJECT# DRAWN BY
1"=60' CHRE1901 DMH
DRAWING NUMBER

=P-2



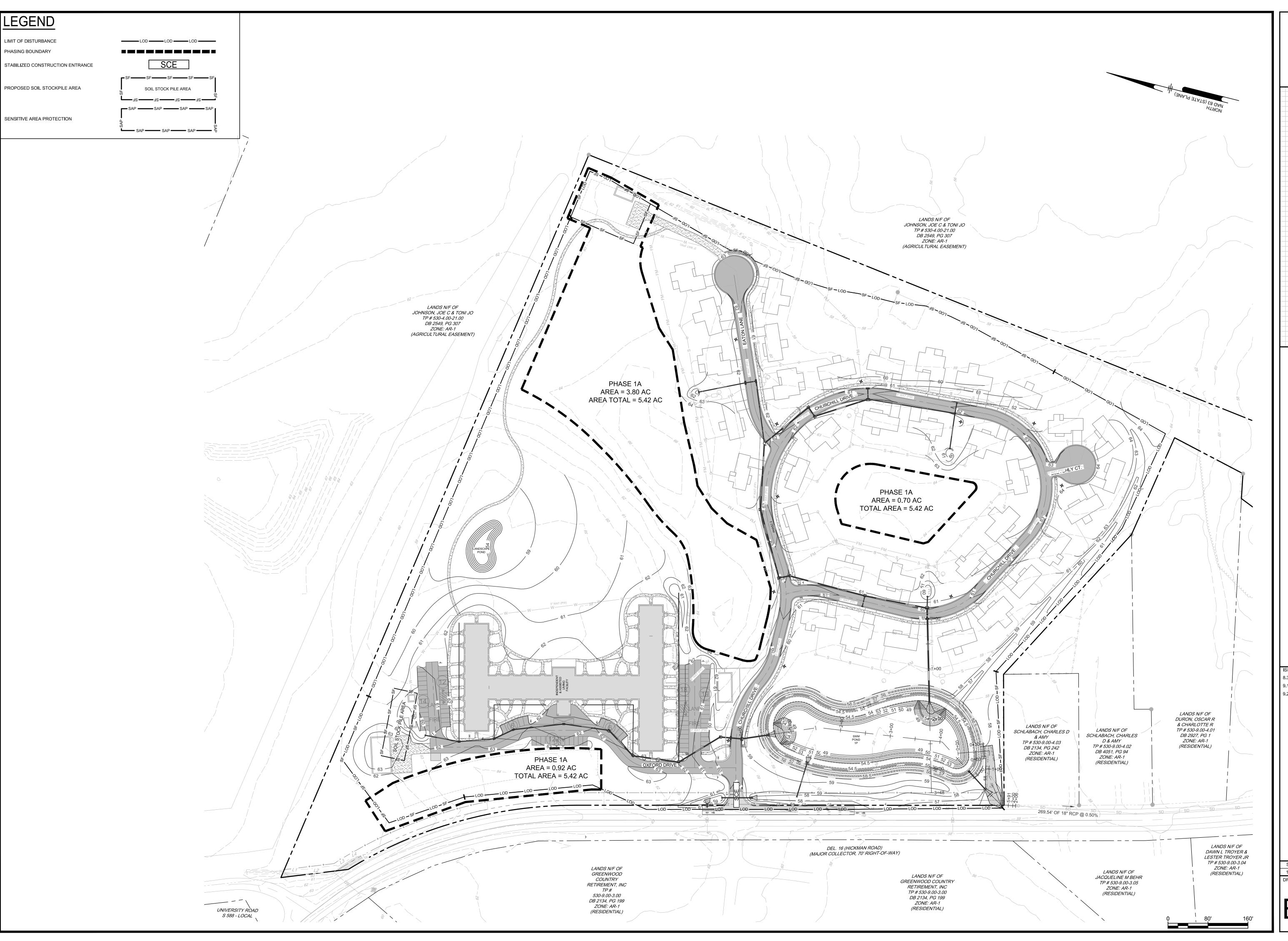
00. COMMUNIT

-4.00 & 530-4.00-23 -9.00

ISSUE / REVISION BLOCK 8.30.19 DELDOT SUBMISSION 9.16.19 FIRE MARSHAL SUBMISSION 9.27.19 SUSSEX CONSERVATION

 SCALE
 PROJECT #
 DRAWN BY

 1" = 80'
 CHRE1901
 DMH



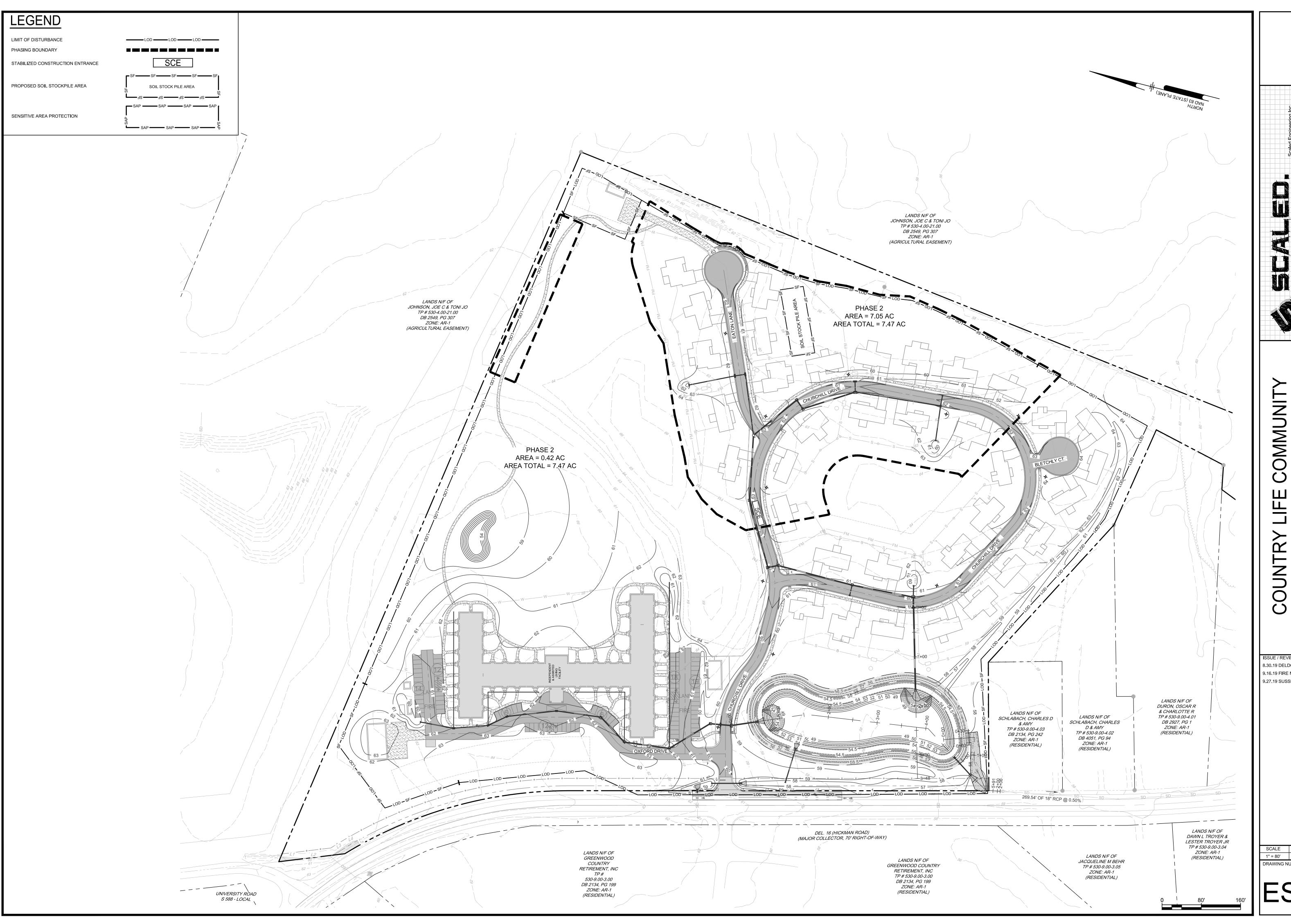
00. -4.00 & 530-4.00-23 COMMUNIT

ED, SUSSEX COUNTY 530-9.00 FORK HUNDR

ISSUE / REVISION BLOCK 8.30.19 DELDOT SUBMISSION 9.16.19 FIRE MARSHAL SUBMISSION 9.27.19 SUSSEX CONSERVATION

 SCALE
 PROJECT #
 DRAWN BY

 1" = 80'
 CHRE1901
 DMH
 DRAWING NUMBER

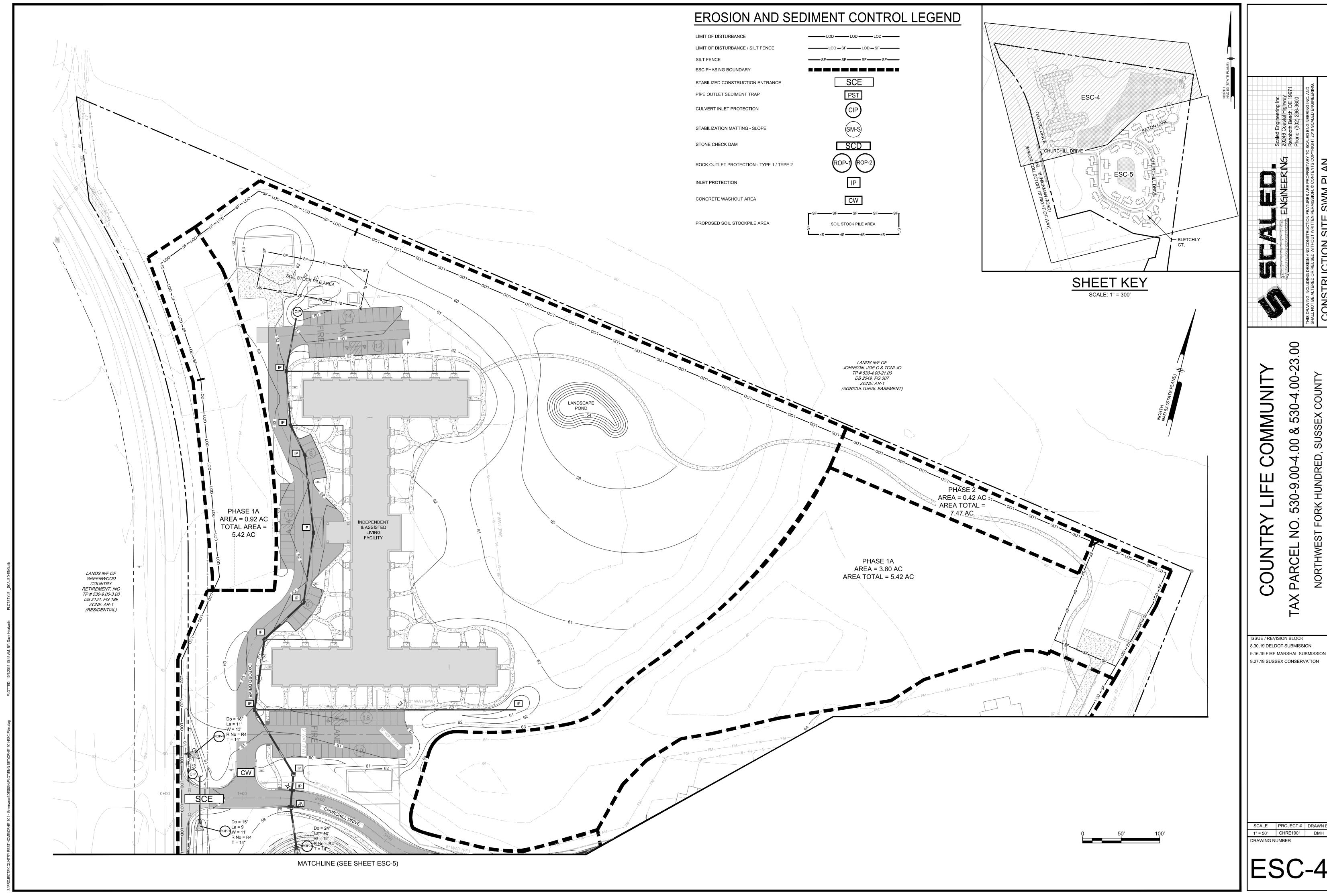


00. 530-4.00-23 ED, SUSSEX COUNTY -4.00 & -9.00

ISSUE / REVISION BLOCK 8.30.19 DELDOT SUBMISSION 9.16.19 FIRE MARSHAL SUBMISSION 9.27.19 SUSSEX CONSERVATION

 SCALE
 PROJECT #
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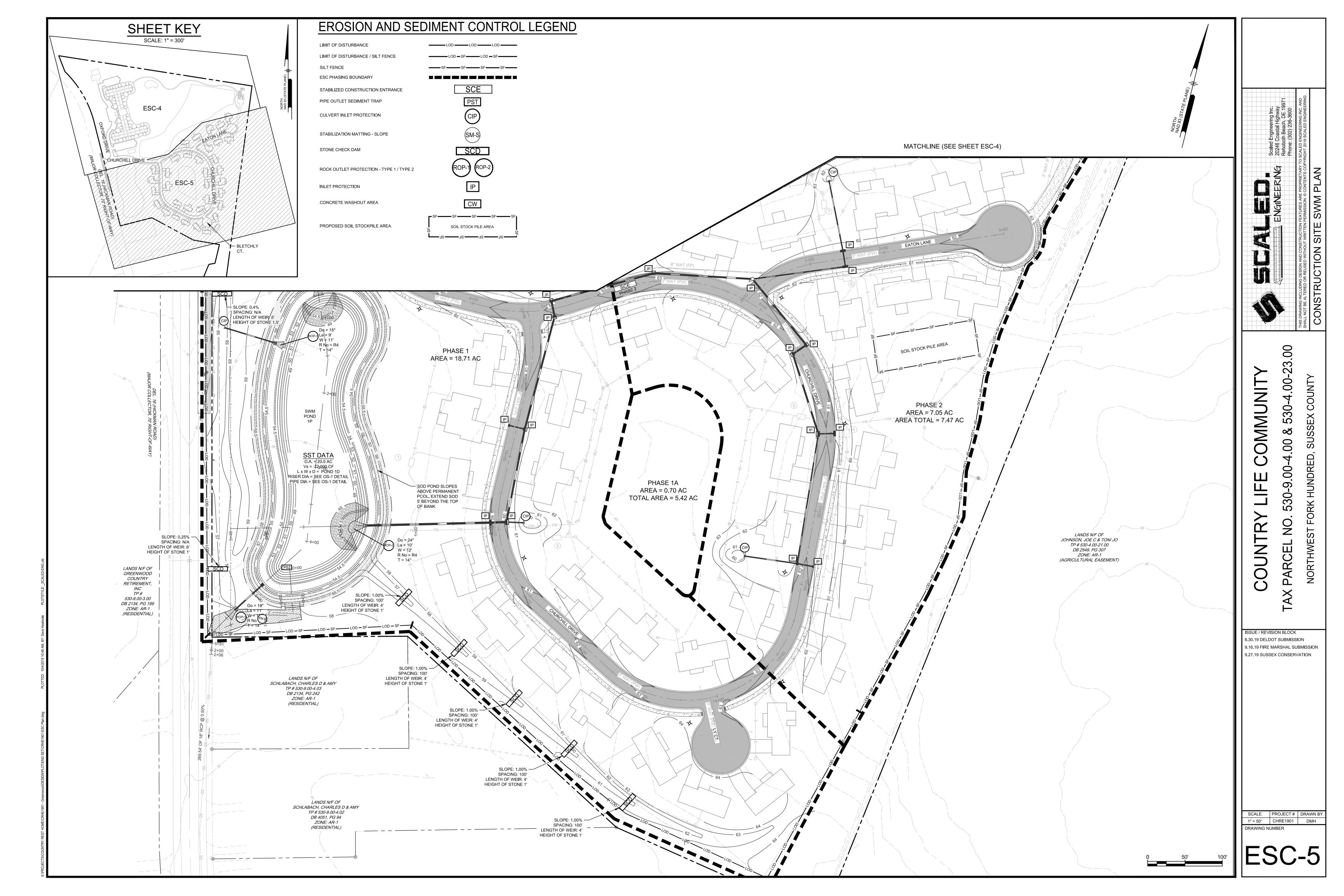
 1" = 80'
 CHRE1901
 DMH

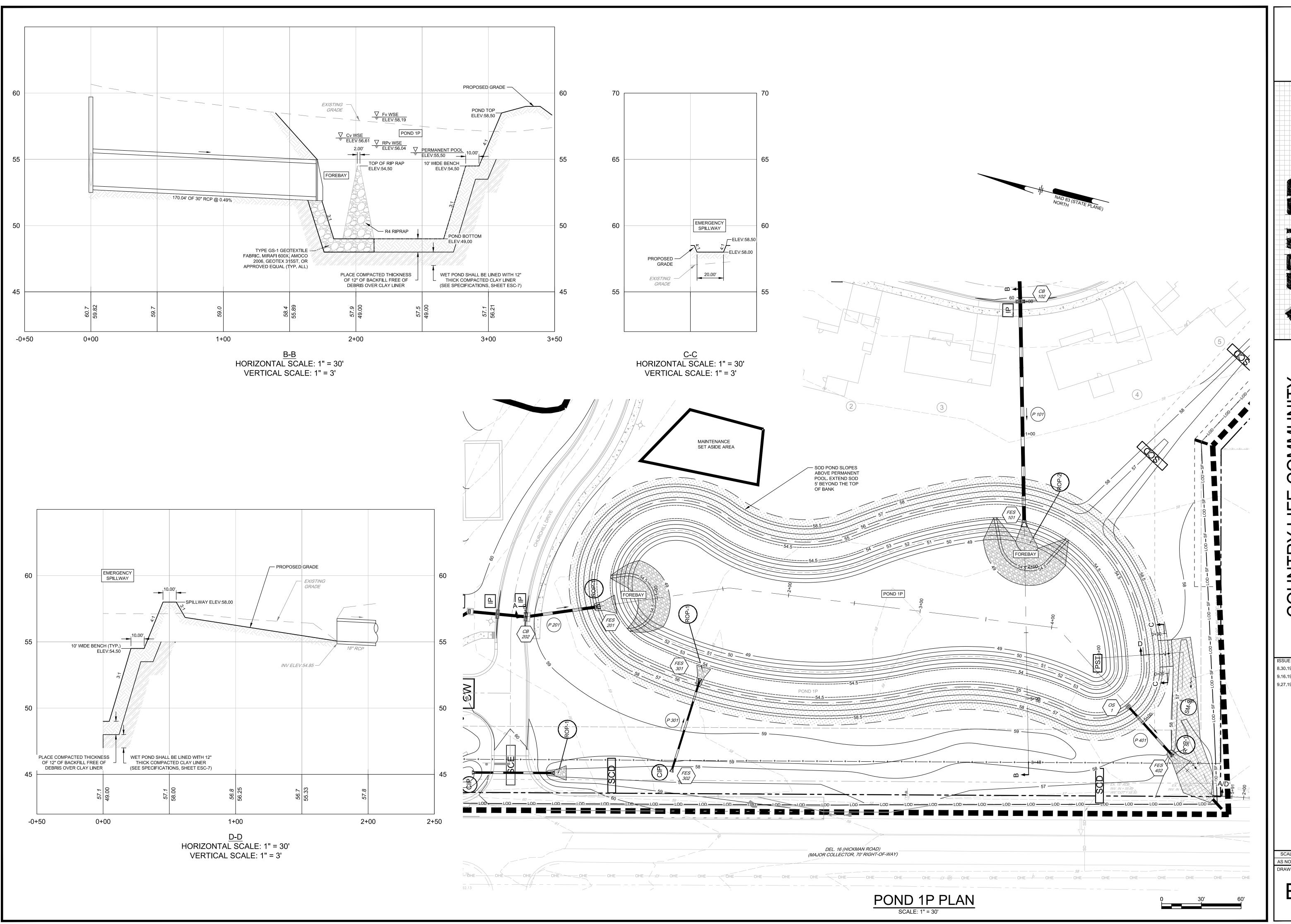


9.27.19 SUSSEX CONSERVATION

 SCALE
 PROJECT #
 DRAWN BY

 1" = 50'
 CHRE1901
 DMH





TRY LIFE COMMUNITY

NO. 530-9.00-4.00 & 530-4.00-23.00

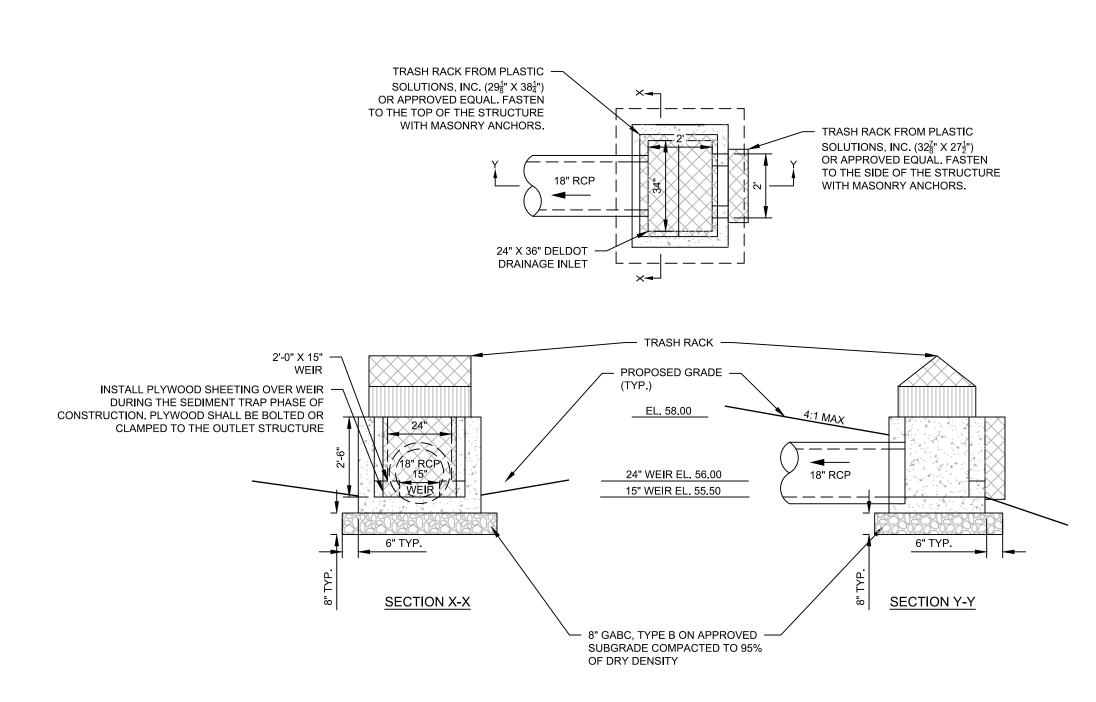
EST FORK HUNDRED, SUSSEX COUNTY

POST CONS

ISSUE / REVISION BLOCK 8.30.19 DELDOT SUBMISSION 9.16.19 FIRE MARSHAL SUBMISSION 9.27.19 SUSSEX CONSERVATION

SCALE PROJECT # DRAWN BY
AS NOTED CHRE1901 DMH

ESC-6



CLAY LINER SPECIFICATIONS

VERTICAL SCALE: 1" = 3'

- . PLASTICITY INDEX OF NOT LESS THAN 15% USING ASTM D-423/424 PROCEDURES 3. LIQUID LIMIT OF NOT LESS THAN 30% USING ASTM D-2216 PROCEDURE
- 4. CLAY PARTICLES PASSING NOT LESS THAN 30% USING ASTM D-422 PROCEDURE 5. COMPACTION OF 95% OF STANDARD PROCTOR DENSITY USING ASTM D-2216 PROCEDURE

POND MAINTENANCE SCHEDULE

FREQUENCY	MAINTENANCE ITEMS
DURING ESTABLISHMENT, AS NEEDED (FRST YEAR)	NSPECT THE SITE AFTER STORM EVENT THAT EXCEEDS 0.5 INCHES OF RAINFALL STABILEZ ANY BARE OR ERODING AREAS IN THE CONTRIBUTING DRAINAGE AREA INCLUDING THE WET POND PERIMETER AREA WATER TREES AND SHRUBS PLANTED IN THE WET POND VEGETATED PERIMETER AREA DURING THE FIRST GROWING SEASON, IN GENERAL, WATER EVERY 3 DAYS FOR FRST MONTH, AND THEN WEEKLY DURING THE REMAINDER OF THE FIRST GROWING SEASON (APRIL OCTOBER). DEPENDING ON RAINFALL
QUARTERLY OR AFTER MAJOR STORMS (>1 INCH OF RAINFALL)	REMOVE DEBRIS, TRASH AND BLOCKAGES REPAIR UNDERCUT, ERODED, AND BARE SOIL AREAS
TWICE A YEAR	MOWING OF THE WET POND VEGETATE! PERIMETER AREA AND EMBANKMENT
ANNUALLY	SHORELINE CLEANUP TO REMOVE TRASH, DEBRIS AND FLOATABLES A FULL MAINTENANCE REVIEW OPEN UP THE RISER TO ACCESS AND TEST THE VALVES REPAIR BROKEN MECHANICAL COMPONENTS. IF NEEDED
EVERY 5 TO 7 YEARS	FOREBAY SEDIMENT REMOVAL
FROM 5 TO 25 YEARS	REPAIR PIPES, RISER, SPILLWAY, AND EMBANKMENT AS NEEDED REMOVE SEDIMENT FROM WET POND AREA OUTSIDE OF FOREBAYS

SEDIMENT TRAP / WET POND SEQUENCE OF CONSTRUCTION

- ASSEMBLE CONSTRUCTION MATERIALS ON-SITE, MAKE SURE THEY MEET DESIGN SPECIFICATIONS, AND PREPARE ANY STAGING AREAS. ENSURE THAT APPROPRIATE COMPACTION AND DEWATERING EQUIPMENT IS AVAILABLE. LOCATE THE PROJECT BENCHMARK AND, IF NECESSARY, TRANSFER A BENCHMARK NEARER TO THE WET POND LOCATION FOR USE DURING CONSTRUCTION
- 3. IF NECESSARY, INSTALL DEWATERING DEVICES. ALL DEWATERING METHODS ARE TO BE APPROVED BY THE SCD SITE REVIEWER AND PROJECT CCR PRIOR TO OPERATION. DEWATERING WITHOUT CONSENT FROM SCD IS CONSIDERED A VIOLATION. NOTE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS ASSOCIATED WITH DEWATERING. CONTACT DNREC WATER SUPPLY SECTION AT (302) 739-9944 FOR MORE INFORMATION. 4. CLEAR AND STRIP THE POND AREA TO THE DESIRED SUB-GRADE.
- 5. ROUGH GRADE / MINE POND TO THE ELEVATIONS NOTED ON THE PLANS OR 2-FEET LOW TO FACILITATE THE CLAY LINER CONSTRUCTION. NOTE, CONTRACTOR MAY INSTALL CLAY LINER AT THIS POINT, HOWEVER, THE POND WILL NEED TO BE DE-WATERED, DREDGED AND RE-GRADED TO DESIGN DIMENSIONS AFTER THE ORIGINAL SITE CONSTRUCTION IS COMPLETE WHEN THE POND IS CONVERTED FROM A SEDIMENT BASIN INTO
- 6. INSTALL OS-1 AND THE OUTFALL PIPE. ENSURE THE TOP INVERT OF THE OVERFLOW WEIR IS CONSTRUCTED LEVEL AT THE DESIGN ELEVATION. INSTALL ROP-1 AS SHOWN ON THE PLANS FOR THE POND OUTFALL AND REGRADE AREA BETWEEN OUTFALL AND THE 18" RCP PIPE IN DELDOT'S ROW PROVIDING POSITIVE DRAINAGE
- TO THE SITE OUTFALL. 7. INSTALL SKIMMER DEVICE ON OUTFALL STRUCTURE AS NOTED ON THE OS-1 DETAIL.
- 8. CONSTRUCT THE EMBANKMENT AND ANY INTERNAL BERMS USING ACCEPTABLE MATERIAL IN 8- TO 12-INCH LIFTS, COMPACT THE LIFTS WITH APPROPRIATE EQUIPMENT. CONSTRUCT THE EMBANKMENT ALLOWING FOR 10% SETTLEMENT OF THE EMBANKMENT.
- SEDIMENT TRAP TO WET POND CONVERSION
- 9. STABILIZE THE UPSTREAM DRAINAGE AREA. 10. INSTALL CLAY LINER IF NOT DONE DURING STEP 5, DE-WATER, DREDGE AND RE-GRADE POND TO PLAN
- DIMENSIONS. 11. INSTALL FOREBAYS AND ROP ON POND INFLOW PIPES.
- 12. CONSTRUCT THE EMERGENCY SPILLWAY IN CUT OR STRUCTURALLY STABILIZED SOILS. 13. INSTALL SOD ON POND SIDE SLOPES AND EROSION CONTROL MATTING AS SPECIFIED ON THE PLAN.
- 14. REMOVE SKIMMER DEVICE AND PLYWOOD ON OS-1 AND INSTALL PERMANENT TRASH RACKS

OPERATION AND MAINTENANCE NOTES

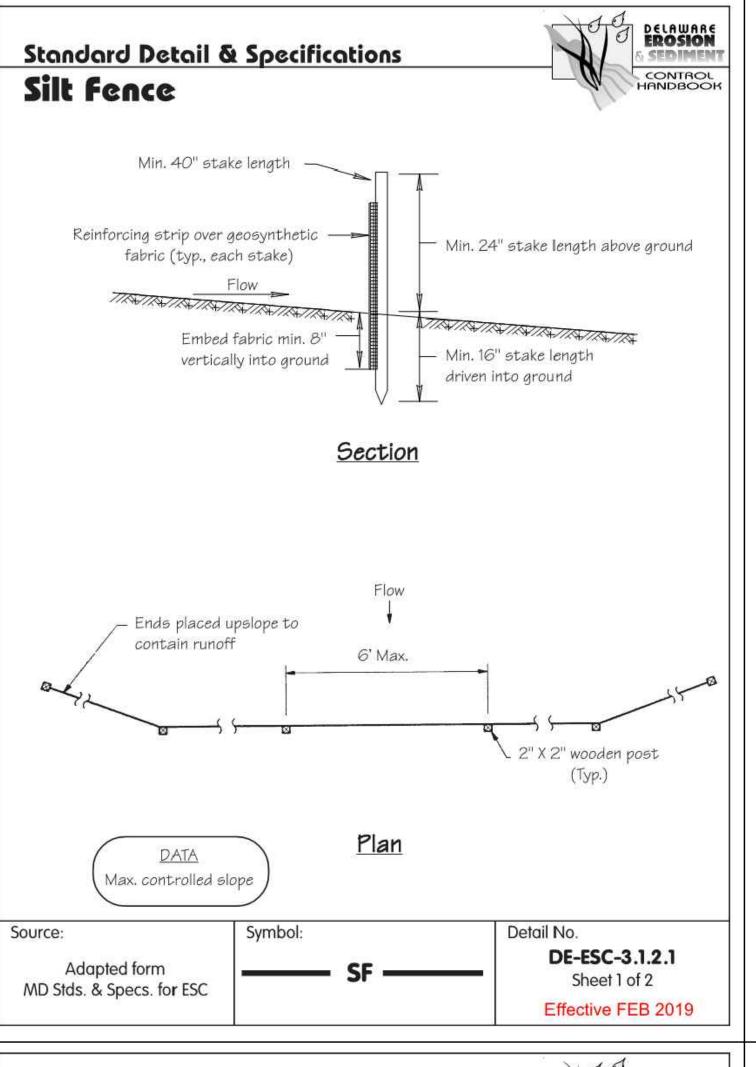
- 1. THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY RESERVES THE RIGHT TO ENTER PRIVATE PROPERTY FOR PURPOSES OF PERIODIC SITE REVIEWS.
- 2. THE DNREC SEDIMENT AND STORMWATER PROGRAM [OR THE RELEVANT DELEGATED AGENCY] SHALL BE NOTIFIED WITHIN 30 BUSINESS DAYS IF THE PROPERTY OWNERSHIP IS TRANSFERRED TO A NEW PERSON OR ENTITY.
- 3. THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY MAY SEEK ENFORCEMENT ACTION AGAINST ANY OWNER DEEMED NEGLIGENT IN FULFILLING THE OPERATION AND MAINTENANCE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS.
- 4. THE DNREC SEDIMENT AND STORMWATER PROGRAM [OR, THE RELEVANT DELEGATED AGENCY] SHALL BE CONTACTED IF A CONCERN ARISES REGARDING A STORMWATER MANAGEMENT FACILITY, BEFORE ANY NON-ROUTINE MAINTENANCE, OR IF MODIFICATIONS TO THE FACILITY ARE DESIRED.
- 5. ANY DESIGN MODIFICATIONS MADE TO THE STORMWATER SYSTEM SHALL REQUIRE THE CREATION OF A NEW POST CONSTRUCTION STORMWATER MANAGEMENT PLAN AND/OR OPERATIONS AND MAINTENANCE PLAN, WITH APPROVAL OF THE PLAN(S) BY THE SUSSEX CONSERVATION DISTRICT SEDIMENT AND STORMWATER PROGRAM.
- 6. FOR ALL STORMWATER EASEMENT AREAS (I.E., ACCESS, MAINTENANCE, OR OFFSITE) AND THE MINIMUM 10-FOOT WIDE ACCESSWAYS TO ALL STORMWATER FACILITIES AND THEIR STRUCTURAL COMPONENTS, REGULAR MOWING SHALL BE PERFORMED TO KEEP THE GRASS 6" OR LESS; NO TREES OR SHRUBS SHALL BE PLANTED, AND ANY FOUND GROWING SHALL BE REMOVED; AND NO PERMANENT STRUCTURES, SUCH AS FENCES OR SHEDS, SHALL BE LOCATED WITHIN THE EASEMENT OR
- 7. TREES SHALL NOT BE PLANTED, AND SHALL BE REMOVED IF FOUND GROWING, ON AND WITHIN 15 FEET OF ALL POND EMBANKMENTS, ON POND SLOPES OR SAFETY BENCHES, AND WITHIN 10 FEET OF STRUCTURAL COMPONENTS, SUCH AS PIPE
- 8. WHEN THE FACILITY IS EXCAVATED TO REMOVE ACCUMULATED SEDIMENT, THE DISPOSAL AREA SHALL BE PERMANENTLY STABILIZED SO THAT IT DOES NOT RECREATE AN EROSION PROBLEM. ANY MATERIAL TAKEN OFF-SITE SHALL STILL BE UTILIZED OR DISPOSED OF IN AN APPROVED DNREC MANNER.
- 9. BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CALL MISS UTILITY AT 811 OR 1.800.282.8555 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, TO HAVE ALL EXISTING UTILITIES MARKED ONSITE.

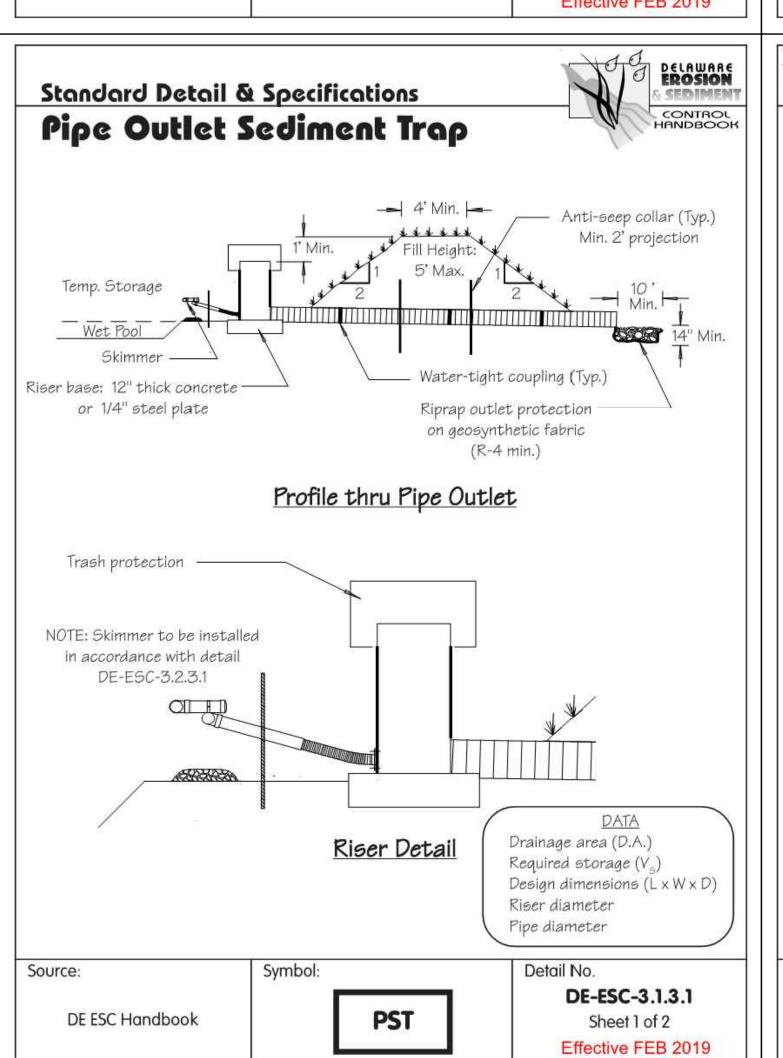
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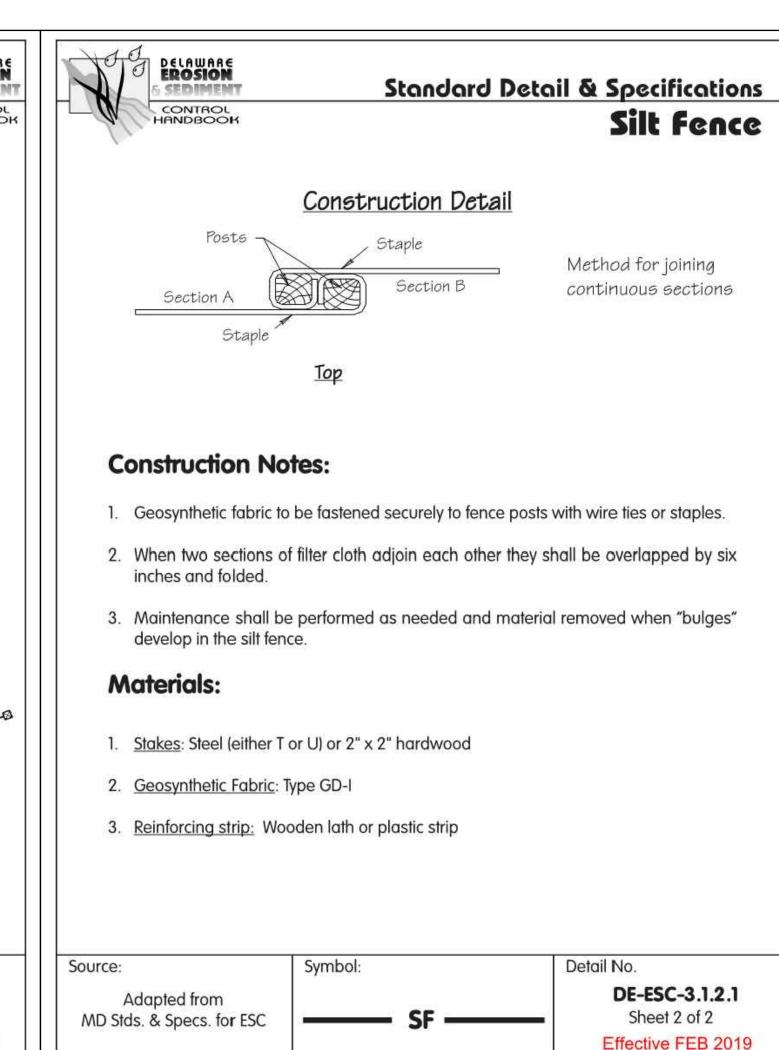
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SCALE | PROJECT # | DRAWN BY AS NOTED | CHRE1901 | DMH DRAWING NUMBER







Standard Detail & Specifications Control HANDBOOK Pipe Outlet Sediment Trap Construction Notes 1. The area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat.

- The area under embankment shall be cleared, grubbed and stripped of any vegetation and root ma
 The pool area shall be cleared.
- The fill material for the embankment shall be free of roots or other woody vegetation as well as oversized stones, rocks, organic material, or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed.
 All fill slopes shall be 2:1 or flatter; cut slopes 1:1 or flatter.
- All pipe connections shall be watertight.
- Fill material around the pipe spillway shall be hand compacted in four (4) inch layers. A minimum of two (2) feet of hand-compacted backfill shall be placed over the pipe spillway before crossing it with construction equipment.
- 6. The riser shall be anchored with either a concrete base or steel plate base to prevent flotation. Concrete bases shall be 12 inches thick with the riser embedded nine (9) inches. Steel plate bases will be 1/4 inch minimum thickness attached to the riser by a continuous weld around the bottom to form a watertight connection. The plate shall have 2.5 feet of stone, gravel or tamped earth placed on it.
- Volume of temporary storage shall be 3,600 cubic feet per acre of drainage area. Wet pool storage should be provided whenever practicable, but shall not be used to fulfill the temporary storage volume requirement.
- Sediment shall be removed and trap restored to its original dimensions when the sediment has
 accumulated to 1/2 the design depth of the trap. Removed sediment shall be deposited in a suitable
 area and in such a manner that it will not erode.
- 9. The structure shall be inspected after each rain and repairs made as needed.
- 10. A skimmer dewatering device shall be considered an integral part of the trap. Any additional dewatering operations for the wet pool shall be conducted in accordance with any and all regulatory requirements.
- Construction operations shall be carried out in such a manner that erosion and water pollution are minimized. Disturbed areas shall be stabilized in accordance with the Standards and Specifications for Vegetative Stabilization contained in this Handbook.
- 12. The structure shall be removed and area stabilized when the drainage area has been properly stabilized.

MAXIMUM DRAINAGE AREA: 5 ACRES

Source: Symbol: Detail No.

DE ESC Handbook

PST

Detail No.

DES
Effect

DE-ESC-3.1.3.1 Sheet 2 of 2 Effective FEB 2019

SEDIMENT AND STORMWATER CONSTRUCTION NOTES

- THE SUSSEX CONSERVATION DISTRICT AND STORMWATER PROGRAM MUST BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- REVIEW AND/OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR
- FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.

 3. IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY DNREC AND/OR THE SUSSEX CONSERVATION
- 4. FOLLOWING SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER CONTROLS, STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL
- REQUIREMENTS APPLY.

 5. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND
- SEDIMENT CONTROL HANDBOOK, LATEST EDITION.

 AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHALL BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
- 8. POST CONSTRUCTION VERIFICATION DOCUMENTS ARE TO BE SUBMITTED TO THE SUSSEX CONSERVATION DISTRICT SEDIMENT AND STORMWATER PROGRAM WITHIN 60-DAYS OF STORMWATER MANAGEMENT

APPROVED PLANS REMAIN VALID FOR 5 YEARS FROM THE DATE OF APPROVAL,

- APPROVAL OF A SEDIMENT AND STORMWATER MANAGEMENT PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS
- 10. THE NOTICE OF INTENT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER A NPDES GENERAL PERMIT FOR THIS PROJECT IS ####. AT ANY TIME THE OWNERSHIP FOR THIS PROJECT CHANGES, A TRANSFER OF AUTHORIZATION OR A CO-PERMITTE APPLICATION MUST BE SUBMITTED TO DNREC. THE PERMITTEE OF RECORD SHALL NOT BE RELIEVED OF THEIR RESPONSIBILITIES UNTIL A NOTICE OF TERMINATION HAS BEEN PROCESSED BY DNREC.
- GENERAL PERMIT ASSOCIATED WITH THE PROJECT, INCLUDING, BUT NOT LIMITED TO, PERFORMING WEEKLY SITE INSPECTIONS DURING CONSTRUCTION AND AFTER RAIN EVENTS, AND MAINTAINING WRITTEN LOGS OF THESE INSPECTIONS.

 12. BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE. THE CONTRACTOR SHALL CALL MISS UTILITY AT

THE OWNER SHALL BE FAMILIAR WITH AND COMPLY WITH ALL ASPECTS OF THE NPDES CONSTRUCTION

811 OR 1-800-282-8555 AT LEASE 48 HOURS PRIOR TO CONSTRUCTION, TO HAVE ALL EXISTING UTILITIES

- MARKED ONSITE.

 13. THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIMES OF
- ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.

 14. BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7. Del C. Ch 60, REGULATIONS GOVERNING THE CONTROL OF WATER POLLUTION, SECTION 9.1.02, KNOWN AS SPECIAL CONDITIONS FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, AND DEPARTMENT POLICIES, PROCEDURES, AND GUIDANCE.
- DOCUMENTATION OF SOIL TESTING AND MATERIALS USED FOR TEMPORARY OR PERMANENT STABILIZATION INCLUDING BUT NOT LIMITED TO SOIL TEST RESULTS, SEED TAGS, SOIL AMENDMENT TAGS, ETC. SHALL BE PROVIDED TO THE SUSSEX CONSERVATION DISTRICT TO VERIFY THAT THE PERMANENT OR TEMPORARY STABILIZATION HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLAN AND THE STANDARDS AND SPECIFICATIONS OF THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
 THE SUSSEX CONSERVATION DISTRICT SHALL HAVE THE DISCRETION TO REQUIRE ADDITIONAL SOIL
- TESTING AND REAPPLICATION OF PERMANENT OR TEMPORARY STABILIZATION IN ACCORDANCE WITH THE SPECIFICATION PROVIDED IN THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.

 17. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN AND REPAIR ALL EROSION AND
- SEDIMENT CONTROL AND STORMWATER MANAGEMENT PRACTICES DURING CONSTRUCTION.

 18. PERIODIC MAINTENANCE OF ALL SEDIMENT CONTROL MEASURES IS REQUIRED TO INSURE EFFECTIVE SEDIMENT CONTROL. INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MADE AT LEAST WEEKLY AND AFTER EACH RAIN FALL EVENT. REPAIRS SHALL BE MADE WITHIN 24 HOURS OF THE RAIN EVENT OR WHEN OTHERWISE IDENTIFIED. THE OWNER GRANTS SUSSEX CONSERVATION DISTRICT AND/OR DELEGATED INSPECTION AGENCY TO CONDUCT ON-SITE INSPECTIONS.
- 19. IT SHALL BE THE RESPONSIBILITY OF OWNER/DEVELOPER TO PROVIDE LONG TERM MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES.
- THE SEQUENCE OF CONSTRUCTION ON THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN MUST BE STRICTLY ADHERED. ANY DIVERGENCE FROM THE APPROVED CONSTRUCTION SEQUENCE REQUIRES A WRITTEN REQUEST TO MODIFY AND THE WRITTEN APPROVAL OF THE SUSSEX CONSERVATION DISTRICT.
- 21. A COPY OF THE APPROVED SEDIMENT & STORMWATER MANAGEMENT PLAN MUST BE MAINTAINED ON-SITE AT ALL TIMES DURING CONSTRUCTION.

 22. SOIL STOCKPILE AREAS MUST BE DELINEATED LOCATE STOCKPILES ON AREAS WITH LITTLE OR NO SLOPE.
- 22. SOIL STOCKPILE AREAS MUST BE DELINEATED. LOCATE STOCKPILES ON AREAS WITH LITTLE OR NO SLOPE. STOCKPILES MUST BE SURROUNDED WITH SILT FENCE OR A STABILIZED EARTHEN BERM. STOCKPILE AREAS MUST BE SEEDED WITH TEMPORARY SEEDING MIXTURE AND MULCHED.

 23. THE CONTRACTOR OWNER OR DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- 23. THE CONTRACTOR, OWNER OR DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. FURTHER NO CONSTRUCTION ACTIVITY SHALL TAKE PLACE UNTIL ALL REQUIRED PERMITS HAVE BEEN OBTAINED.
- 4. THE LIMITS OF DISTURBANCE SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO GRADING OF THE SITE TO ENSURE COMPLIANCE WITH APPROVED PLANS. ANY WORK BEYOND LIMITS OF DISTURBANCE IS CONSIDERED TO BE A VIOLATION OF THIS PLAN.
- 25. ALL PERIMETER SEDIMENT CONTROL PRACTICES AND STABILIZED CONSTRUCTION ENTRANCE MUST BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY. UPON COMPLETION OF INSTALLATION OF PERIMETER SEDIMENT CONTROL PRACTICES THE SITE MUST BE INSPECTED BY THE SEDIMENT CONTROL INSPECTOR.
 26. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, CURRENT EDITION.
- ACCORDANCE WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, CURRENT EDITION.

 A PERIODIC MAINTENANCE OF ALL SEDIMENT CONTROL MEASURES SHALL BE REQUIRED TO INSURE EFFECTIVE SEDIMENT CONTROL. INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MADE WEEKLY AND AFTER EACH RAINFALL.
- 28. REVIEW AND OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- FOLLOWING SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 14 CALENDAR DAYS. THE STABILIZATION SHALL BE APPLIED TO THE SURFACE OF ALL EARTHEN PERIMETER SEDIMENT CONTROLS, TOPSOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION IS ESTABLISHED.
- 31. ALL AREAS NOT COVERED BY BUILDING OR PAVEMENT WILL BE SEEDED USING PERMANENT SEED MIXTURE SHOWN ON THIS PLAN.

 32. UPON COMPLETION OF STOCKPILING TOPSOIL, SEED AND MULCH USING TEMPORARY SEED MIXTURE
- SPECIFICATIONS IF TO REMAIN IN PLACE LONGER THAN 14 DAYS.

 33. REFER TO SECTION DE-ESC-3.4.3 IN THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, CURRENT EDITION, FOR SPECIFICATIONS ON PERMANENT AND TEMPORARY SEEDING.
- 34. IF CONSTRUCTION ACTIVITY IS COMPLETED OR CEASES FOR A PERIOD OF 14 DAYS, ALL DISTURBED AREAS WILL BE STABILIZED EITHER PERMANENTLY OR TEMPORARILY, FOLLOWING THE SPECIFICATIONS AND STANDARDS IN THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, CURRENT EDITION.
- SPRINKLING WITH WATER SHALL BE THE METHOD OF DUST CONTROL DURING CONSTRUCTION.
 THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, MODIFY, OR DELETE ANY SEDIMENT CONTROL MEASURES AS IT DEEMS NECESSARY.
- CONTROL MEASURES AS IT DEEMS NECESSARY.

 37. THE DEVELOPER WILL BE RESPONSIBLE FOR LONG TERM MAINTENANCE OF SEDIMENT AND STORMWATER CONTROLS.
- THIS PLAN CALLS FOR SOIL DISTURBANCE IN INCREMENTS NO GREATER THAN 20 ACRES. SUSSEX CONSERVATION DISTRICT APPROVAL IS REQUIRED PRIOR TO INITIATING EACH FOLLOWING 20 AC. INCREMENT OF DISTURBANCE. IN THE EVENT THAT PORTIONS OF ONE PHASE ARE STABILIZED AND THE CONTRACTOR DESIRES TO INITIATE DISTURBANCE IN ANOTHER PHASE, THE SUSSEX CONSERVATION DISTRICT MAY ALLOW DISTURBANCE IN THE FOLLOWING PHASE COMMENSURATE TO THAT AREA WHICH WAS STABILIZED IN THE PREVIOUS PHASE.

 39. PROVIDE EROSION CONTROL MATTING ON ALL SLOPES 3:1 OR GREATER, AND IN ALL AREAS OF
- PERMANENT CONCENTRATED FLOW THAT WILL ERODE UNDER NORMAL GRASS AND STRAW MULCH CONDITIONS. USE PRODUCT "NORTH AMERICAN GREEN S75BN" OR EQUAL FOR EROSION CONTROL MATTING.
- ALL POINTS OF INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT TRACKING OF MUD INTO PUBLIC WAYS. DURING CONSTRUCTION, EVERY MEANS SHALL BE TAKEN TO CONTROL SOIL EROSION AND SILTATION. IF NECESSARY, A WASH RACK MAY NEED TO BE ESTABLISHED.

 EARTH DIKES, SEDIMENT TRAPS, ETC. WILL BE LOCATED AS SHOWN ON THESE DRAWINGS. FIELD
- 41. EARTH DIKES, SEDIMENT TRAPS, ETC. WILL BE LOCATED AS SHOWN ON THESE DRAWINGS. FIELD CHANGES AND MINOR ADJUSTMENTS ARE PERMISSIBLE AS LONG AS THE INSTALLATION FUNCTIONS AND CONFORMS TO SPECIFICATIONS. ALL SUCH CHANGES MUST BE APPROVED BY THE SITE INSPECTOR PRIOR TO INSTALLATION. MAJOR CHANGES TO THE APPROVED PLAN WILL REQUIRE RE-APPROVAL BY THE SUSSEX CONSERVATION DISTRICT.

SEDIMENT AND STORMWATER CONSTRUCTION NOTES

- CUT AND/OR FILL SHALL BE DONE IN CONFORMANCE WITH THE MOST CURRENT EROSION AND SEDIMENT CONTROL STANDARD AND SPECIFICATIONS FOR LAND GRADING.

 ALL MATERIAL ORIGINATING FROM THE DEVELOPMENT OF THE PROPERTY AND DEPOSITED ON THE PUBLIC
- RIGHT-OF-WAY SHALL BE IMMEDIATELY REMOVED.

 44. UPON THE INSPECTORS' DISCRETION, STORM DRAIN INLETS AND OUTLETS SHALL BE PROTECTED PER THE
- MOST CURRENT EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS.

 45. PRIOR TO REMOVAL OF TRAPS OR CONVERSION OF SEDIMENT BASINS TO STORMWATER MANAGEMENT FACILITIES THE STORM DRAINS WILL BE FLUSHED.
- 46. SEDIMENT CONTROL PRACTICES WILL BE MAINTAINED UNTIL ALL DISTURBED AREAS FOR WHICH THE PRACTICES WERE INSTALLED HAVE BEEN STABILIZED. SEDIMENT CONTROL PRACTICES MAY BE REMOVED ONLY WITH THE AUTHORIZATION OF THE SUSSEX CONSERVATION DISTRICT. ALL DISTURBED AREAS RESULTING FROM THE REMOVAL OF SEDIMENT CONTROL DEVICES SHALL BE STABILIZED IMMEDIATELY. REMOVAL PRIOR TO INSPECTORS APPROVAL CONSTITUTES A VIOLATION.
- 47. A PRE-CONSTRUCTION MEETING MUST TAKE PLACE BEFORE ANY EARTH DISTURBING ACTIVITY BEGINS. THE MEETING MUST BE ATTENDED BY AN OWNER'S REPRESENTATIVE, CONTRACTOR, CCR, AND SUSSEX CONSERVATION DISTRICT INSPECTOR.
 - B. A COPY OF THE APPROVED SEDIMENT & STORMWATER MANAGEMENT PLAN MUST BE MAINTAINED ON-SITE AT ALL TIMES DURING CONSTRUCTION.
- 49. ALL SITE DEWATERING SHALL BE DONE THROUGH AN APPROVED FILTRATION DEVICE. THE SEDIMENT FILTER MUST BE PLACED SO AS NOT TO CAUSE EROSION OF THE DOWNSTREAM AREA. SUSSEX COUNTY DISTRICT INSPECTOR MUST APPROVE DEWATERING FILTER PLACEMENT AND USE PRIOR TO COMMENCEMENT OF DEWATERING ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND/OR REPAIRING ANY EROSION & SEDIMENT CONTROL OR STORMWATER MANAGEMENT PRACTICE WHICH IS DISTURBED DURING UTILITY INSTALLATION.
 GRADING SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN, MAY NOT CONSTITUTE THE FINAL GRADING OF LOT(S) DUE TO DIFFERENCE IN MASS GRADING ELEVATION, ACTUAL BUILDING SELECTION,
- 52. FINAL DRAINAGE FLOW PATTERNS SHALL NOT SIGNIFICANTLY DEVIATE FROM THOSE SHOWN ON THE APPROVED SEDIMENT CONTROL PLANS, WITH THE EXCEPTION OF TEMPORARY SWALES AND TEMPORARY
- BERMS.

 53. ALL SEDIMENT CONTROLS REMOVED FOR THE INSTALLATION OF UTILITIES SHALL BE REINSTALLED BY THE
- 54. SEDIMENT CONTROL FOR UTILITY CONSTRUCTION FOR AREAS OUTSIDE OF DESIGNED CONTROLS OR AS DIRECTED BY ENGINEER OR DNREC INSPECTOR.
- A. CALL "MISS UTILITY" AT 811 48 HOURS PRIOR TO THE START OF WORK.
- EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF THE TRENCH.

 TRENCHES FOR UTILITY INSTALLATION SHALL BE BACK FILLED, COMPACTED AND STABILIZED AT THE END
- OF EACH WORKING DAY.

 D. NO MORE TRENCH SHALL BE OPENED THAN CAN BE COMPLETED THE SAME DAY, UNLESS; TEMPORARY SILT FENCE SHALL BE PLACED IMMEDIATELY DOWNSTREAM OF ANY DISTURBED AREA INTENDED TO
- REMAIN DISTURBED FOR MORE THAN ONE DAY.

 54. AREAS DESIGNATED TO BE "SAME DAY STABILIZED" SHALL BE SEEDED, STRAW MULCHED, AND MATTED (IF ON A 3:1 SLOPE OR GREATER, OR IN A CONCENTRATED FLOW AREA) THE SAME DAY OF DISTURBANCE.

 55. WASTE RESULTING FROM POND MAINTENANCE SHALL BE REMOVED FROM THE SITE TO A LOCATION
- AREA IS SHOWN ON THE PLANS.

 56. SEEDING SPECIFICATIONS: APPLY SEEDING IN ACCORDANCE WITH THE DNREC STANDARD DETAIL AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION PER THE DELAWARE EROSION & SEDIMENT CONTROL

SEQUENCE OF CONSTRUCTION

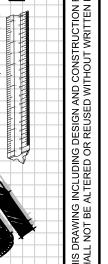
 CONTRACTOR SHALL NOTIFY THE SUSSEX CONSERVATION DISTRICT IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.

APPROVED THE THE SUSSEX CONSERVATION DISTRICT; CONSEQUENTLY, NO MAINTENANCE SET ASIDE

- PRIOR TO ANY CLEARING, INSTALLATION OF SEDIMENT CONTROL MEASURES OR GRADING, A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED AND CONDUCTED WITH THE SCD CONSTRUCTION SITE REVIEWER. THE LANDOWNER/DEVELOPER, CONTRACTOR AND CERTIFIED CONSTRUCTION REVIEWER ARE REQUIRED TO BE IN ATTENDANCE AT THE PRE-CONSTRUCTION MEETING; THE DESIGNER IS RECOMMENDED TO ATTEND.
- CLEAR AND GRUB AREAS AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS.
- INSTALL SILT FENCE, CULVERT INLET PROTECTION, AND OTHER PERIMETER CONTROL MEASURES IDENTIFIED AT THE PRE-CONSTRUCTION MEETING.
- ALL PERIMETER CONTROLS ARE TO BE REVIEWED BY THE SCD CONSTRUCTION SITE REVIEWER AND APPROVED PRIOR TO PROCEEDING WITH FURTHER SITE DISTURBANCE.
- 6. ESTABLISH STABILIZED CONSTRUCTION ENTRANCE AND SOIL STOCKPILE AREA, REFER TO THE STANDARD DNREC DETAIL.
- CLEAR AND GRUB THE SITE.
- THE CONTRACTOR SHALL AT TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHOULD BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENTATION ON THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR REPAIR MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE SCD CONSTRUCTION SITE REVIEWER.
- NOTIFY THE PERSON RESPONSIBLE FOR STORMWATER SYSTEM CONSTRUCTION REVIEW AT LEAST (3) DAYS PRIOR TO THE START OF THE STORMWATER SYSTEM CONSTRUCTION; STORMWATER FACILITIES MUST BE REVIEWED THROUGHOUT THEIR CONSTRUCTION.
- BULK GRADE THE SITE AND CONSTRUCT THE TEMPORARY SEDIMENT TRAP. INSTALL SKIMMER DEVICE ON OS-1.
 REFER TO POND 1P FOR WET POND / SEDIMENT BASIN SEQUENCE OF CONSTRUCTION.
- MINIMIZE CLEARING AND GRADING OPERATIONS TO AREAS NECESSARY FOR IMMEDIATE CONSTRUCTION ACTIVITY.
- 12. INSTALL WATER, SEWER, STORMDRAIN PIPES AND STRUCTURES, ELECTRIC, AND OTHER UTILITIES. PLACE THE APPLICABLE INLET PROTECTION, TYPE 1, TYPE 2, OR TYPE 3, ON THE INLETS.
- 3. CONSTRUCT THE SITE ENTRANCE/ROAD IMPROVEMENTS, INSTALL CURB, AND PAVE THE SITE.
- 14. RESTORE ALL DISTURBED AREAS NOT COVERED BY GRAVEL OR PAVED ROADS TO PERMANENT STABILIZATION IN ACCORDANCE WITH THE TOPSOILING AND PERMANENT VEGETATION EROSION AND SEDIMENT CONTROL DETAILS. ALL DISTURBED AREA SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL.
- CONVERT TEMPORARY SEDIMENT TRAP 1 INTO WET POND 1P PER THE CONVERSION NOTES ON ESC 6 AND 7.
- EROSION AND SEDIMENT CONTROL DEVICES SHOULD BE REMOVED ONLY AFTER WORK IN AN AREA HAS BEEN COMPLETED AND STABILIZED, WITH WRITTEN APPROVAL FROM THE SCD CONSTRUCTION SITE REVIEWER.

 REMOVE STABILIZED CONSTRUCTION ENTRANCE AND SOIL STOCKPILE AREA.
- 8. UPON COMPLETE OF THE PROJECT, AND APPROVAL FROM AGENCIES, REMOVE ANY REMAINING EROSION CONTROL
- THE TERMINATION OF THE CONSTRUCTION GENERAL PERMIT WILL REQUIRE SUBMISSION AND ACCEPTANCE OF THE POST CONSTRUCTION VERIFICATION DOCUMENTS, INCLUDING FINAL STABILIZATION THROUGHOUT THE SITE, ALL ELEMENTS OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN IMPLEMENTED AND ACCEPTANCE OF THE FINAL OPERATION AND MAINTENANCE PLAN

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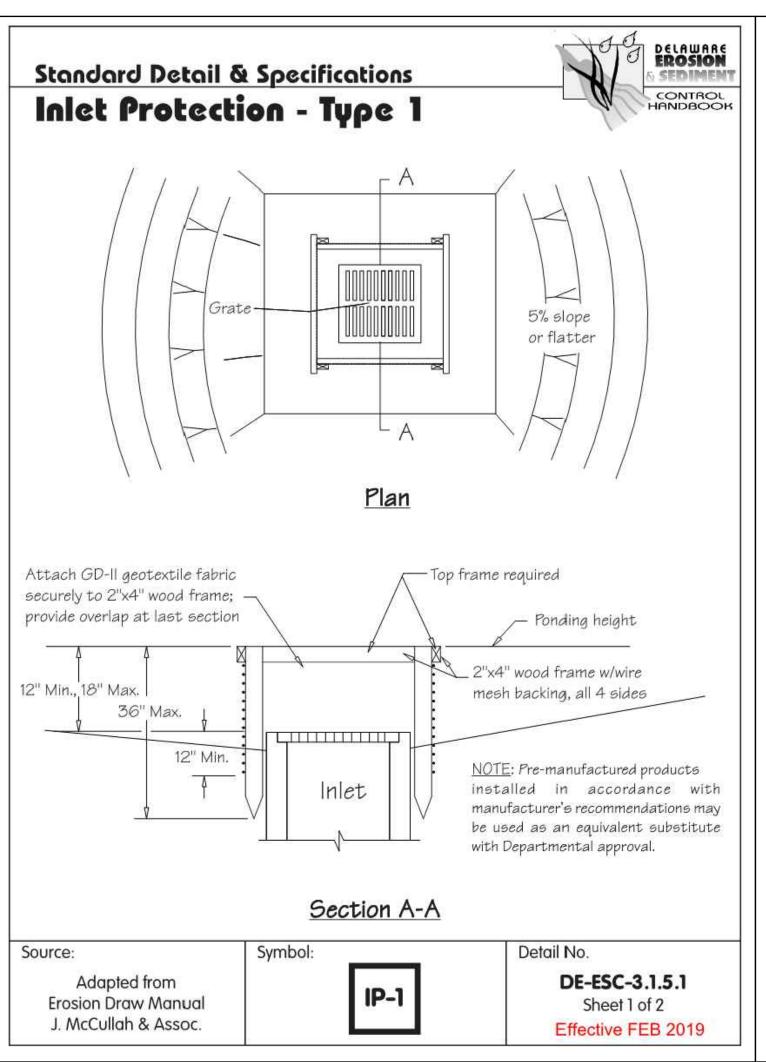
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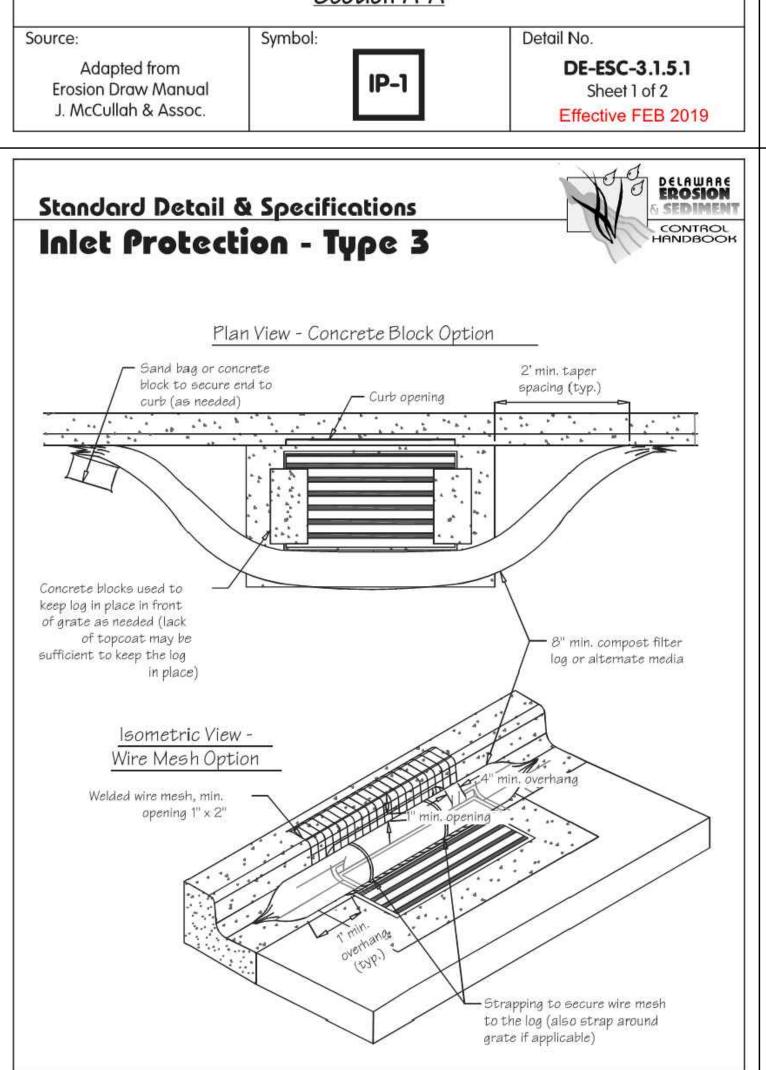
AX PARCEL NO. 530-9.00-4.00 & 530-4.00-23 NORTHWEST FORK HUNDRED, SUSSEX COUNTY

ISSUE / REVISION BLOCK 8.30.19 DELDOT SUBMISSION 9.16.19 FIRE MARSHAL SUBMISSION 9.27.19 SUSSEX CONSERVATION

SCALE PROJECT # DRAWN B'
NTS CHRE1901 DMH
DRAWING NUMBER

ESC-8





Symbol:

IP-3

Detail No.

DE-ESC-3.1.5.3

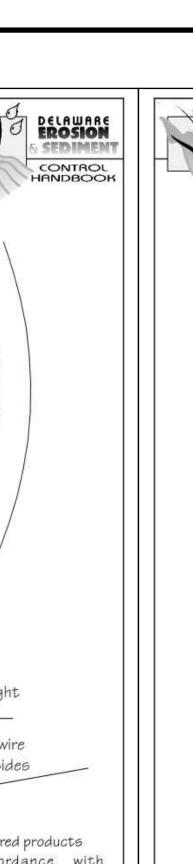
Sheet 1 of 3

Effective FEB 2019

Source:

Adapted from

Filtrexx[™] International



DELAWARE EROSION SEDIMENT CONTROL

Standard Detail & Specifications

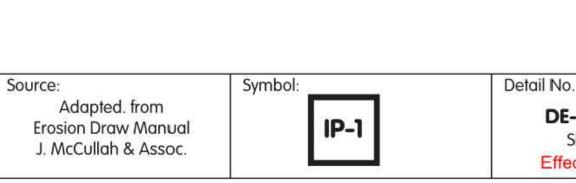
Inlet Protection - Type 1

Construction Notes:

- Excavate completely around inlet to a depth of 18" below grate elevation.
- 2. Drive 2" x 4" post 1' into ground at four corners of inlet. Place nail strips between posts on ends of inlet. Assemble top portion of 2" x 4" frame using overlap joint shown. Top of frame (weir) must be 6" below edge of roadway adjacent to inlet.
- 3. Stretch wire mesh tightly around frame and fasten securely. Ends must meet at post.
- 4. Stretch geotextile fabric tightly over wire mesh, the cloth must extend from top of frame to 18" below inlet grate elevation. Fasten securely to frame. Ends must meet at post, be overlapped and folded, then fastened down.
- 5. Backfill around inlet in compacted 6" layers until at least 12" of geotextile fabric is buried.
- 6. If the inlet is not in a low point, construct a compacted earth dike in the ditchline below it. The top of this dike is to be at least 6" higher than the top of frame (weir).
- 7. This structure must be inspected frequently and the filter fabric replaced when clogged.

Materials:

- Wooden frame is to be constructed of 2" x 4" construction grade lumber.
- 2. Wire mesh must be of sufficient strength to support filter fabric with water fully impounded
- Geotextile fabric: Type GD-II



DE-ESC-3.1.5.1

Sheet 2 of 2

Effective FEB 2019

Standard Detail & Specifications Inlet Protection - Type 3

Notes:

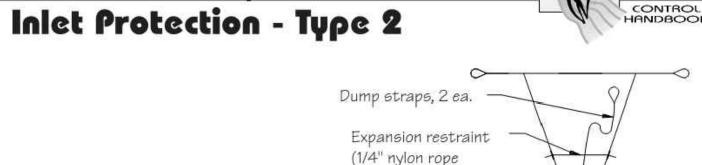
DELAWARE EROSION SEDIMENT

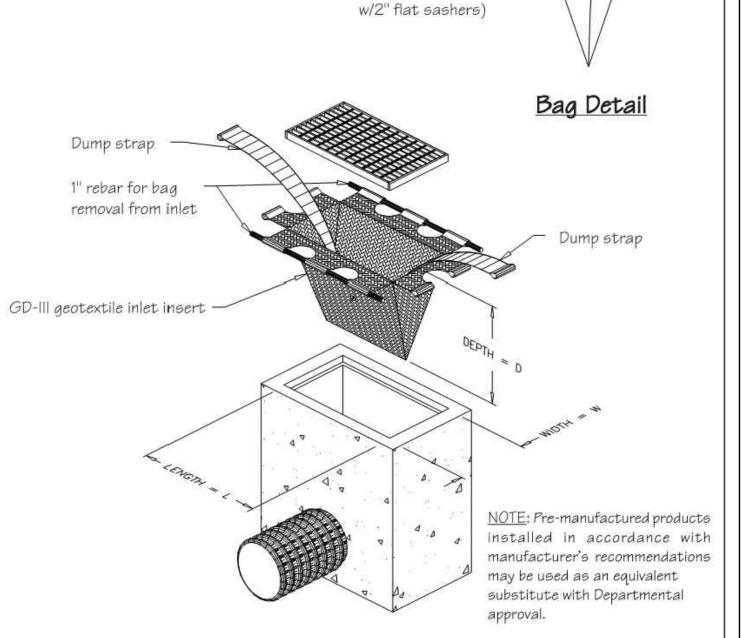
CONTROL

- This practice shall only be used in situations in which Inlet Protection Type 1 cannot be used due to site constraints. These include, but are not limited to partially complete parking areas, streets, roads, etc., having a throat or curb opening. It should be used in conjunction with Type 2 Inlet Protection when a grate is also present.
- The filter log sock fabric shall be high durability netting material to resist puncture and wear in the traffic areas. If compost media is used to fill the sock it must meet the Standards and Specifications for Compost Material in the Appendix, except that the maximum pass through for a 3/8" screen shall be 20% to allow for higher flow through. Additives, such as soluble phosphorus and petroleum hydrocarbons, can be mixed with the compost media to aid in pollutant removal, if desired. Reference the Compost Filter Log design guidelines for additional requirements on the high durability netting material, compost media, and sock filling and installation procedures. Reference the design alternatives below for additional log media options.
- The maximum contributing drainage area shall be 3 acres, or as recommended by the manufacturer. 8" diameter socks shall be used for standard roadway applications. If in a highly disturbed area, the Engineer or Site Reviewer may opt for larger socks, either 12" or 18" depending on the need. (If used as a replacement for Type 1 Inlet Protection with special approval, minimum 12" diameter socks shall be used.) The top of the log may need to be flattened so that it is always below the top of curb elevation with a minimum 1" opening in order to prevent localized flooding.
- Concrete blocks shall be used to aid in the log shape and prevent it from entering into the throat. They should be placed between the log and the throat opening, and used to secure the ends of the log against the curb if needed. The end of the log shall extend a minimum of 2 feet past the end of the throat opening. If a grate is also present in addition to the throat opening, the concrete blocks can either be laid perpendicular to the curb (recommended) so that the log lies on the outside of the grate, or parallel to the curb so that the log lies on top of the grate (note, Type 2 Inlet Protection is also used in conjunction with Type 3 if a grate is present). Sand bags can be used as an alternate to the concrete blocks at the end of the log to secure the log against the curb.

Source:	Symbol:	Detail No.
Adapted from Filtrexx™ International	IP-3	DE-ESC-3.1.5.3 Sheet 2 of 3
		Effective FEB 2019

Standard Detail & Specifications





Perspective

Symbol: Adapted from IP-2 ACF Products, Inc.

Detail No. DE-ESC-3.1.5.2 Sheet 1 of 2

Effective FEB 2019

Standard Detail & Specifications Inlet Protection - Type 3



5. If concrete blocks are not desired due to high traffic volumes, a welded wire screen in an "S" shape can be fitted over the length of the opening and secured to the log with straps, such as zip-ties. This will prevent the sock from falling into the opening. In this case, the log only needs to extend past the curb opening a minimum of 1 foot.

- In all cases, the log shall provide a physical barrier to the catchbasin to allow for ponding and sedimentation along the upstream side of the log. The logs shall be placed on flat surfaces and maintain constant contact with the paved surface. Any daylight will allow for untreated discharge and is not permitted.
- All structures must be inspected frequently (24 hours after a storm event and weekly) for proper function. Accumulated sediment shall be removed to avoid future failure, and must not exceed half of the effective height of the log. Reference manufacturer's recommendations for additional maintenance.

Source:

- In lieu of the compost filter log, crushed DE #3 stone with a fractured face on all sides that is double wrapped in 1" chicken wire made from 10 gauge wire may be used. The wire should be secured using hog rings or wire ties on 6" centers along the length of the joint, and on 1" center on the ends of the rock sock. All installation and maintenance criteria are the same as the compost log above.
- 2. In lieu of the compost filter media, 100% shredded rubber (typically from tires) can be used.
- 3. For applications that have a grate and a throat inlet, some Type 2 Inlet Protection manufacturers have developed a catchbasin sack insert that also have a tubular attachment which rests above the grate and against the throat. As long as the sack meets the requirements of Type 2 Inlet Protection, and the provided throat protection extends a minimum of 1' past the limits of the curb opening, without any daylight along the edges, these combination Type 2 and Type 3 devices may be used upon approval of the Department or Delegated Agency.

Symbol: Source: Adapted from Filtrexx[™] International

IP-3

Detail No. DE-ESC-3.1.5.3 Sheet 3 of 3 Effective FEB 2019

DELAWARE EROSION SEDIMENT

EROSION

CONTROL

Standard Detail & Specifications Inlet Protection - Type 2

Notes:

- 1. This practice shall only be used in situations in which Inlet Protection Type 1 cannot be used due to site constraints. These include, but are not limited to partially completed parking areas, streets, roads, etc.
- 2. It may be necessary to transition from Type 1 to Type 2 Inlet Protection as construction
- 3. For areas where there is a concern for oil run-off or spills, insert shall meet one of the above specifications with an oil-absorbant pillow or shall be made completely from an oilabsorbant material with a woven pillow.

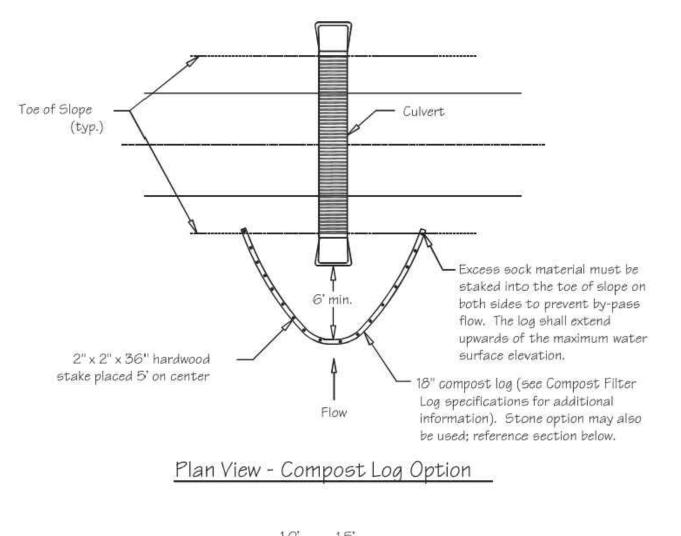
Materials:

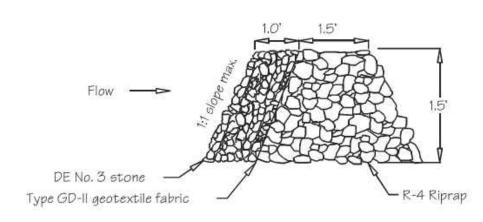
The geotextile inlet insert shall meet or exceed the specifications of Type GD-III geotextile in accordance with Appendix A-3 of the Delaware Erosion & Sediment Control Handbook.

Source: Symbol: Detail No. DE-ESC-3.1.5.2 Adapted from IP-2 Sheet 2 of 2 ACF Products, Inc. Effective FEB 2019

Standard Detail & Specifications **Culvert Inlet Protection**







Section View - Stone Option

CIP

Symbol: Source: Adapted from VA ESC Handbook & Filtrexx™ International

Detail No. Effective FEB 2019

SCALE PROJECT# DRAWN BY
NTS CHRE1901 DMH **DE-ESC-3.1.6** DRAWING NUMBER Sheet 1 of 2

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SSUE / REVISION BLOCK

3.30.19 DELDOT SUBMISSION

16.19 FIRE MARSHAL SUBMISSION

.27.19 SUSSEX CONSERVATION

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Standard Detail & Specifications **Culvert Inlet Protection**

Construction Notes

- 1. Compost logs shall be designed and installed in accordance with the Standard Detail and Specifications for Compost Logs (DE-ES-3.1.7).
- 2. If compost logs can not be installed properly or flow conditions exceed the design capabilities of the compost logs, the stone option shall be employed. Additional filtration may be provided by using a Type GD-II geotextile incorporated into the design as an
- 3. Placement of the compost log or stone barrier should be in a "horseshoe" shape and provide a minimum of 6 feet of clearance from the culvert inlet.

Materials

- Stakes: 2" x 2" x 36" hardwood.
- Compost media: See requirements in Standard Detail and Specifications for Compost Logs (DE-ES-3.1.7).
- Filter sock: See requirements in Standard Detail and Specifications for Compost Logs (DE-ES-3.1.7).
- Geotextile: Type GD-II for stone/riprap option.

Symbol:

- Stone: DE No. 3 for stone/riprap option.
- Riprap: R-6 for stone/riprap option.

Adapted from VA ESC Handbook & Filtrexx[™] International

DELAWARE EROSION SEDIMENT

Source:



Detail No. DE-ESC-3.1.6 Sheet 2 of 2

Effective FEB 2019

Standard Detail & Specifications Skimmer Dewatering Device

Construction Notes:

CONTROL

- Pipe flotation section shall be solvent welded to ensure an airtight assembly. Contractor to conduct a test to check for leaks prior to installation.
- Skimmer section shall have (12) rows of 1/2" dia. holes, 1-1/4" on center. If additional filtration is necessary, the filtering media shall consist of a Type GD-II geotextile fabric wrapped around the perforated portion of the skimmer and attached with plastic snap ties, bands,
- 3. Flexible pipe shall be inserted into solid pipe and fastened with (2) #8 wood screws.
- 4. At a minimum, the structure shall be inspected after each rain and repairs made as needed. If vandalism is a problem, more frequent inspection may be necessary.
- 5. Construction operations shall be carried out in such a manner that erosion and water pollution are minimized.
- 6. The structure shall only be removed when the contributing drainage area has been properly stabilized.

Materials:

- Solid pipe 4" Sched. 40 PVC
- 2. Perforated pipe 4" Sched. 40 PVC
- 3. 90° Tee (1 ea.) 4" Sched. 40 PVC
- 4. 90° Elbow (2 ea.) 4" Sched. 40 PVC
- 5. Cap (4 ea.) 4" Sched. 40 PVC, solid
- 6. Flexible pipe 4" corrugated plastic tubing (non-perforated)

Delaware ESC Handbook

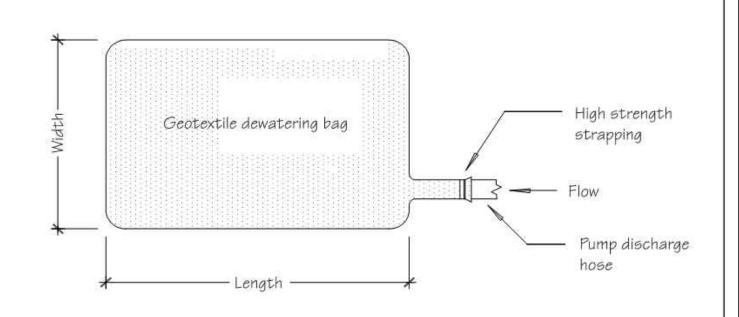
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Sheet 2 of 2

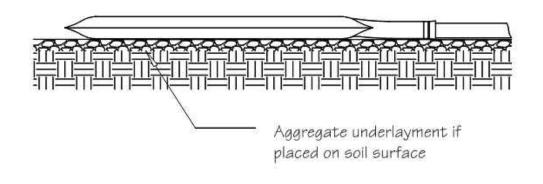
DE-ESC-3.2.3.1 Effective FEB 2019

Standard Detail & Specifications

Geotextile Dewatering Bag



Plan



Profile

NOTE: Pre-manufactured products installed in accordance with manufacturer's recommendations may be used as an equivalent substitute with Departmental approval.

Source: Adapted from

ACF Products, Inc.

Symbol:

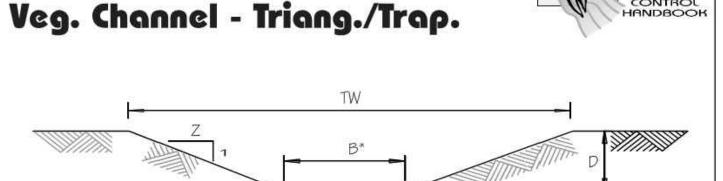
DE-ESC-3.2.1.2 GB Sheet 1 of 2

Effective FEB 2019

DELAWARE EROSION SEDIMENT

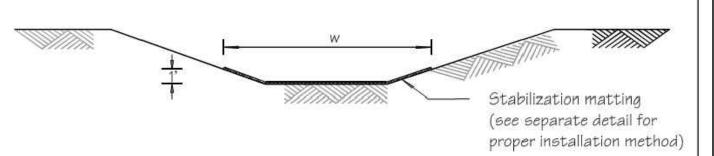
CONTROL

Standard Detail & Specifications

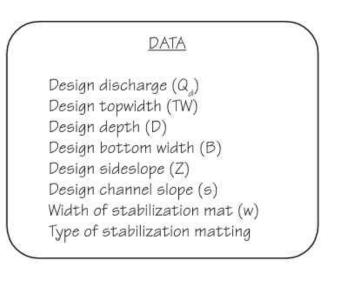


Typical Section (Design)

* B = 0 for triangular section



Typical Section (Stabilization)



Symbol: Source: DE-ESC-3.3.3.2 – VC-T —— Delaware ESC Handbook Sheet 1 of 2 Effective FEB 2019

DELAWARE EROSION

CONTROL

DELAWARE EROSION

CONTROL

Standard Detail & Specifications Geotextile Dewatering Bag

Construction Notes:

- The dewatering bag should be placed so the incoming water flows into and through the bag, and then flow off the site without creating more erosion. The neck should be tied off tightly to stop the water from flowing out of the bag without going through the walls. The dewatering bag should be placed on a gravel bed to allow water to flow in all directions.
- The dewatering bag is considered full and should be disposed when it is impractical for the bag to filter the sediment out at a reasonable flow rate. At this point, it should be replaced with a new bag.
- Disposal may be accomplished as directed by the construction reviewer. If the site allows, the bag may be buried on site and seeded, visible fabric removed and seeded or removed from site to a proper disposal area.

Materials:

- The geotextile fabric shall be a Type GD-IV.
- The dewatering bag shall be sewn with a double needle machine using high strength thread. All structural seams will be sewn with high strength, double stitched "J" type. Seam strength test will have the following minimum average roll values:

Heavy duty

TEST METHOD ASTM D-4884

TEST RESULT 100 lb / in

The dewatering bag shall have an opening large enough to accommodate a four (4) inch discharge hose with attached strap to tie off the hose to prevent the pumped water from escaping from the bag without being filtered.

Source:

DELAWARE EROSION SEDIMENT

Symbol: Adapted from ACF Products, Inc.

GB

Detail No. DE-ESC-3.2.1.2 Sheet 2 of 2

Effective FEB 2019

Vandemark & Lynch, Inc.

Standard Detail & Specifications

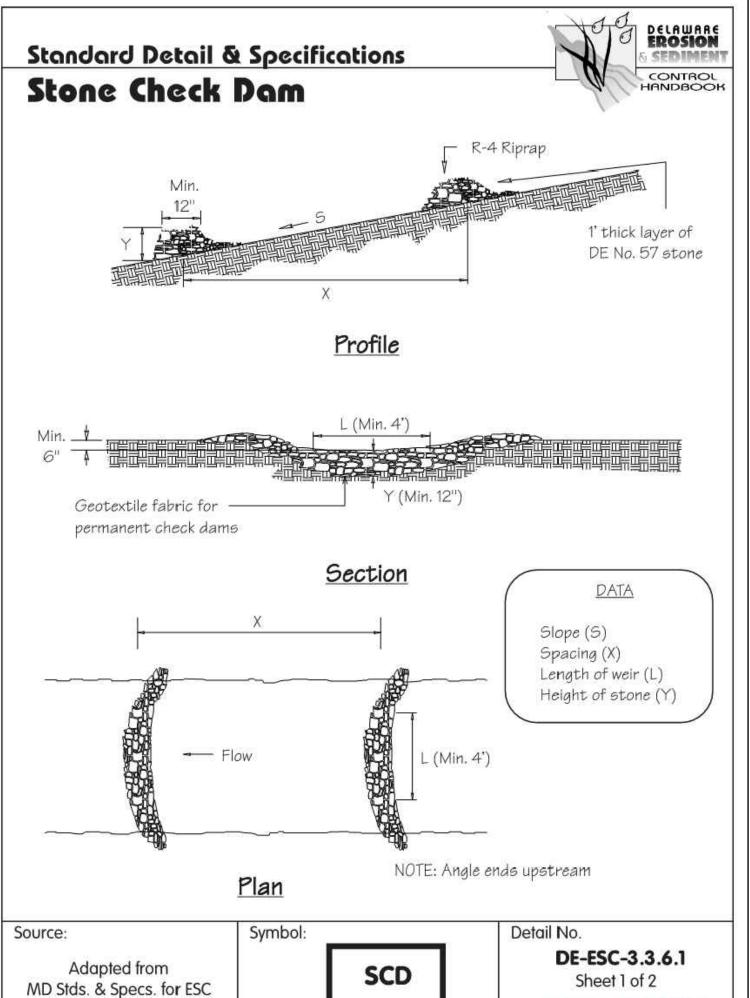
Veg. Channel - Triang./Trap.

Construction Notes:

- All trees, brush, stumps, obstructions, and other objectionable material shall be removed and disposed of so as not to interfere with the proper functioning of the waterway.
- The channel shall be excavated or shaped to line, grade, and cross section as required to meet the criteria specified herein, and be free of bank projections or other irregularities which will impede normal flow.
- 3. Fills shall be compacted as needed to prevent unequal settlement that would cause damage in the waterway.
- All earth removed and not needed in construction shall be spread or disposed of so that it will not interfere with the functioning of the waterway.
- Stabilization shall be done in accordance with the appropriate Standard and Specifications for Vegetative Stabilization and Stabilization Mat.
- a. It is recommended that, when conditions permit, temporary diversions or other means should be used to prevent water from entering the waterway during the establishment of the
- b. Should groundwater or base flow conditions preclude the establishment of adequate vegetative stabilization throughout the entire design section, provisions shall be made through use of a lining material, stone center drain and/or subsurface drain. Such practices shall be designed and constructed in accordance with the appropriate Standard(s) and Specifications and Standard Detail(s).

Symbol: DE-ESC-3.3.3.2 – VC-T —— Delaware ESC Handbook Sheet 2 of 2 Effective FEB 2019

DELAWARE EROSION Standard Detail & Specifications CONTROL Skimmer Dewatering Device Wall of outlet structure 4 LF of 4" flexible pipe Wire stop solid PVC pipe 4"- 90° Tee -4" solid PVC flotation section w/caps and elbows Overlapped 4" perf. PVC skimming section w/caps connecting bands Flotation section #4 Rebar guide post (typ.), mounted above w/wire stop set @ top of riser skimming section W.S.E. Skimming section – DE #57 stone pad Flexible pipe -Profile thru £ of Pipe Source: Symbol: DE-ESC-3.2.3.1 Adapted from drawing by Sheet 1 of 2





Effective FEB 2019

Effective FEB 2019

SUE / REVISION BLOCK 27.19 SUSSEX CONSERVATION

SCALE PROJECT# DRAWN BY
NTS CHRE1901 DMH

DRAWING NUMBER

ESC-10



Standard Detail & Specifications Stone Check Dam

Construction Notes:

- Swales and channels shall be prepared in accordance with the construction specifications described in the Standards and Specifications for Temporary Berm, Temporary Swale, Vegetated Channel, or Diversions.
- 2. The check dam shall be constructed of 4" to 8" riprap. The riprap shall be placed so that it completely covers the width of the channel.
- 3. The top of the check dam shall be constructed so that the center is approximately 6" lower than the outer edges, forming a weir that the water can flow across. The minimum length of weir shall be 4'.
- 4. The maximum height of the check dam at the center of the weir must not exceed two (2) feet.
- 5. Maximum spacing between dams should be the distance in the channel where the toe of the upstream dam is at the same elevation as the top of the downstream dam. (See Standard & Specifications for Check Dams for design chart.)

Source: Symbol: Detail No. DE-ESC-3.3.6.1

DATA

Pipe diameter (D_0)

Apron length (L_)

Apron width (W)

Bottom width (b)

Riprap depth (d) Riprap size (R No.)

2. The riprap shall conform to the grading limits as shown on the plan.

necessary to prevent damage to the conduits, structures, etc.

Riprap thickness (T)

The subgrade for the riprap shall be prepared to the required lines and grades as shown on the

plan. Any fill required in the subgrade shall be compacted to a density of approximately that of

Filter cloth shall be protected from punching, cutting or tearing. Any damage other than an

occasional small hole shall be repaired by placing another piece of cloth over the damaged

area. All connecting joints should overlap a minimum of 1 ft. If the damage is extensive, replace

Stone for the riprap or gabion outlets may be placed by equipment. Riprap shall be placed in

a manner to prevent damage to the filter cloth. Hand placement will be required to the extent

Adapted from MD Stds. & Specs. for ESC

DELAWARE EROSION SEDIMENT

CONTROL

Construction Notes:

the entire filter cloth.

the surrounding undisturbed material.

SCD

Sheet 2 of 2

Standard Detail & Specifications

Riprap Outlet Protection - 2

Effective FEB 2019

Type GS-I geotextile fabric

Pipe diameter (D_o)

Apron length (L_)

Apron width (W)

Source:

Riprap size (R No.)

Riprap thickness (T)

Adapted from

MD Stds. & Specs. for ESC

Construction Notes:



Site Preparation (Where Topsoil is to be added)

Note: When topsoiling, maintain needed erosion and sediment control practices such as diversions, grade stabilization structures, berms, dikes, waterways and sediment basins.

- a. Grading Grades on the areas to be topsoiled which have been previously established shall be maintained.
- b. Liming Where the topsoil is either highly acid or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet). Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
- Tilling After the areas to be topsoiled have been brought to grade, and immediately prior to dumping and spreading the topsoil, the subgrade shall be loosened by discing or by scarifying to a depth of a least 3 inches to permit bonding of the topsoil to the subsoil. Pack by passing a bulldozer up and down over the entire surface area of the slope to create horizontal erosion check slots to prevent topsoil from sliding down the slope.

2. Topsoil Material and Application

Note: Topsoil salvaged from the existing site may often be used but it should meet the same standards as set forth in these specifications. The depth of topsoil to be salvaged shall be no more than the depth described as a representative profile for that particular soil type as described in the soil survey published by USDA-SCS in cooperation with Delaware Agricultural Experimental Station.

rce:	Symbol:	Detail No.
		DE-ESC-3.4.1
USDA - NRCS		Sheet 1 of 2
		Effective FEB 2019

DELAWARE EROSION

DELAWARE EROSION

CONTROL

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NOTE: Key into exist, and

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DE-ESC-3.3.10.1

Sheet 1 of 2

Effective FEB 2019

CONTROL

Standard Detail & Specifications

Detail No.

Standard Detail & Specifications

DE-ESC-3.3.10.1

Sheet 2 of 2

Effective FEB 2019

Topsoiling

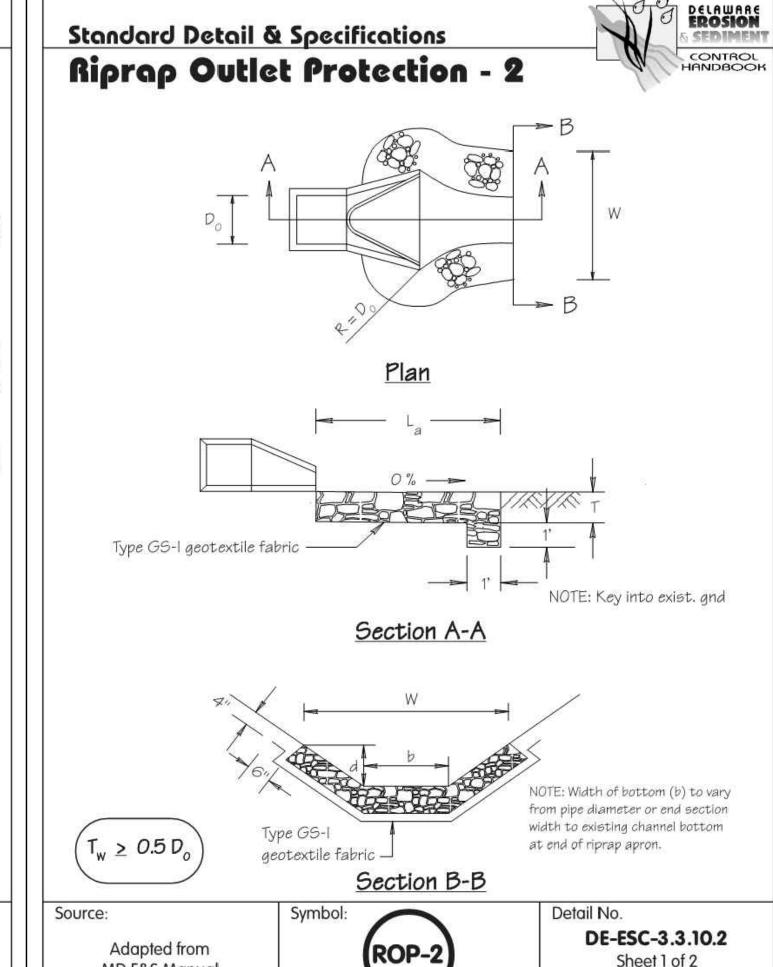
Riprap Outlet Protection - 1

Construction Notes:

- The subgrade for the riprap shall be prepared to the required lines and grades as shown on the plan. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
- 2. The riprap shall conform to the grading limits as shown on the plan.

Symbol:

- Filter cloth shall be protected from punching, cutting or tearing. Any damage other than an occasional small hole shall be repaired by placing another piece of cloth over the damaged area. All connecting joints should overlap a minimum of 1 ft. If the damage is extensive, replace the entire filter cloth.
- Stone for the riprap or gabion outlets may be placed by equipment. Riprap shall be placed in a manner to prevent damage to the filter cloth. Hand placement will be required to the extent necessary to prevent damage to the conduits, structures, etc.





Standard Detail & Specifications

Riprap Outlet Protection - 1

Plan

Section A-A



Construction Notes (cont.)

SEDIMENT

Source:

Adapted from

MD Stds. & Specs. for ESC

DELAWARE

a. Materials - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand or other soil as approved by an agronomist or soil scientist. It shall not have a mixture of contrasting textured subsoil and contain no more than 5 percent by volume of cinders, stones, slag, coarse fragment, gravel, sticks, roots, trash or other extraneous materials larger than 1-1/2 inches in diameter. Topsoil must be free of plants or plant parts of bermudagrass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistles, or others as specified. All topsoil shall be tested by a reputable laboratory for organic matter content, pH and soluble salts. A pH of 6.0 to 7.5 and an organic content of not less than 1.5 percent by weight is required. If pH value is less than 6.0 lime shall be applied and incorporated with the topsoil to adjust the pH to 6.5 or higher. Topsoil containing soluble salts greater than 500 parts per million shall not be used.

ROP-1

Note: No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed to permit dissipation of toxic materials.

b. Grading - The topsoil shall be uniformly distributed and compacted to a minimum of four (4) inches. Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets. Topsoil shall not be placed while in a frozen or muddy condition, when the subgrade is excessively wet, or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

Note: Topsoil substitutes or amendments as approved by a qualified agronomist or soil scientist, may be used in lieu of natural topsoil. Compost material used to improve the percentage of organic matter shall be provided by a certified supplier.

Compost amendments that are intended to meet specific post-construction stormwater management goals shall further meet the requirements of Appendix 3.06.2 Post Construction Stormwater Management BMP Standards and Specifications, Section 14.0 Soil Amendments.

Source: Symbol: DE-ESC-3.4.1 USDA - NRCS Sheet 2 of 2 Effective FEB 2019

Standard Detail & Specifications Vegetative Stabilization

MD E&S Manual



Sheet 1 of 2

Effective FEB 2019

TEMPORARY SEEDING BY RATES, DEPTHS AND DATES Optimum Seeding Dates 1 Seeding Rate Species⁶ Coastal Plain Piedmont All Certified Seed 0.5 inches Winter Wheat Foxtail Millet

1. Winter seeding requires 3 tons per acre of straw mulch for proper stabilization.

2. May be planted throughout summer if soil moisture is adequate or seeded area can be irrigated.

Applicable on slopes 3:1 or less.

4. Fifty pounds per acre of Annual Lespedeza may be added to 1/2 the seeding rate of any of the above species. 5. Use varieties currently recommended for Delaware. Contact a County Extension Office for information.

6. Warm season grasses such as Millet or Weeping Lovegrass may be used between 5/1 and 9/1 if desired. Seed at 3-5 lbs... per acre. Good on low fertility and acid areas. Seed after frost through summer at a depth of 0.5".

NOTE: Alternative seed mixes may be used with prior approval from the Department or Delegated Agency.

Symbol: Detail No. Source: **DE-ESC-3.4.3** Delaware ESC Handbook Sheet 1 of 4 Effective FEB 2019 NGINEERI

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SSUE / REVISION BLOCK 3.30.19 DELDOT SUBMISSION .16.19 FIRE MARSHAL SUBMISSION 9.27.19 SUSSEX CONSERVATION

SCALE PROJECT # DRAWN BY

NTS CHRE1901 DMH DRAWING NUMBER

ESC-11

Source: Symbol: Adapted from MD E&S Manual

(ROP-2)

Detail No. DE-ESC-3.3.10.2 Sheet 2 of 2

Effective FEB 2019

Standard Detail & Specifications Vegetative Stabilization

	Seeding Mixtures	Seeding Rate ¹			Optimum Seeding Dates ² O = Optimum Planting Period A = Acceptable Planting Period					Remarks	
lix No.	Certified Seed ³	X1		Co	astal P	lain	F	iedmo	nt	All ⁴	
	Well Drained Soils	Ib/Ac	lb/1000 sq.ft.	2/1- 4/30	5/1- 8/14	8/15- 10/31	3/1- 4/30	5/1- 7/31	8/1- 10/31	10/31-2/1	
1	Tall Fescue Weeping Lovegrass	140 10	3.2 0.23	A	0	A	A	O	A	Add 100 lbs./ac Winter Rye	Good erosion control mix Tolerant of low fertility soils Lovegrass very difficult to mow; Germinates only in hot weather
2	Deertongue Sheep Fescue Common Lespedeza ⁵ Inoculated	30 30 15	0.69 0.69 0.35	Α	0	Α	А	0	Α	Add 100 lbs./ac Winter Rye	Good erosion control mix Tolerant of low fertility soils Good wildlife cover and food
3	Tall Fescue (Turf-type) or Strong Creeping Red Fescue or Perennial Ryegrass plus Flatpea ⁵	50 50 50	1.15 1.15 1.15	0	Α	0	0	A	0	Add 100 lbs./ac. Winter Rye	Good erosion control mix Tall Fescue for droughty conditions, Creeping Red Fescue for heavy shade, Flatpea to suppress woody vegetation.
4	Strong Creeping Red Fescue Kentucky Bluegrass Perennial Ryegrass or Redtop plus White Clover ⁵	100 70 15 5	2.3 1.61 0.35 0.11	0	А	0	0	A	0	Add 100 lbs./ac. Winter Rye	Suitable waterway mix. Canada Bluegrass more drought tolerant. Use Redtop for increased drought tolerance.
5	Switchgrass ^{6,7} or Coastal Panicgrass Big Bluestem Little Bluestem Indian Grass	10 10 5 5	0.23 0.23 0.11 0.11 0.1		0			0			Native warm-season mixture. Tolerant of low fertility soils. Drought tolerant. Poor shade tolerance. N fertilizer discouraged - weeds
6	Tall Fescue (turf-type) (Blend of 3 cultivars)	150	3.5	0	Α	0	0	Α	0		Managed filter strip for nutrient uptake.
7	Tall Fescue Ky. Bluegrass (Blend) Perennial Ryegrass	150 20 20	3.5 0.46 0.46	0	Α	0	0	A	0		Three cultivars of Kentucky Bluegrass. Traffic tolerant.
8	Big Bluestem ⁷ Indian Grass ⁷ Little Bluestem ⁷ Creeping Red Fescue plus one of: Partridge Pea Bush Clover Wild Indigo Showy Tick-Trefoil	10 10 8 30 5 3	0.23 0.23 0.18 0.69 0.11 0.07 0.07 0.05	0	A		0	A			All species are native. Indian Grass and Bluestem have fluffy seeds. Plant with a specialized native seed drill. Creeping Red Fescue will provide erosion protection while the warm season grasses get established.

NOTE: Alternative seed mixes may be used with prior approval from the Department or Delegated Agency.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		DE-ESC-3.4.3 Sheet 2 of 4
	10	Effective FEB 2019

DELAWARE Standard Detail & Specifications SEDIMENT CONTROL

v. Application:

 a. Apply product to geotechnically stable slopes that have been designed and constructed to divert runoff away from the face of the slope.

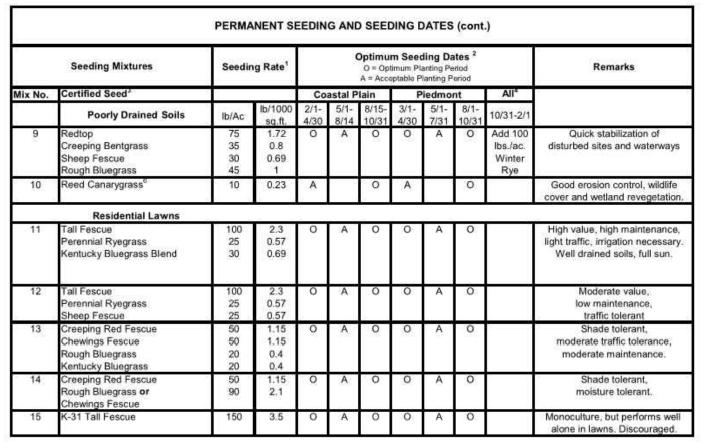
Mulching

- b. Do not apply to saturated soils, or if precipitation is anticipated within 24-48 hours.
- c. During the spring (March 1 to May 31) and fall (September 1 to November 30) seasons, hydraulic mulches may be applied in a one-step process where all components are mixed together in single-tank loads. It is recommended that the product be applied from opposing directions to achieve optimum soil coverage.
- d. During the summer (June 1 to August 31) and winter (December 1 to February 28) seasons, the following two-step process is required:
 - Step One- Mix and apply seed and soil amendments with a small amount of mulch for visual metering
- Step Two Mix and apply mulch at manufacturers recommended rates over freshly seeded surfaces. Apply from opposing directions to achieve optimum soil coverage. e. Minimum curing temperature is 40°F (4°C). The best results and more rapid curing are achieved at temperatures exceeding 60°F (15°C). Curing times may be accelerated in high temperature, low humidity conditions on dry soils.
- vi. Recommended application rates are for informational purposes only. Conformance with this standard and specification shall be performance-based and requires 100% soil coverage. Any areas with bare soil showing shall be top dressed until full coverage is achieved.
- Compost blanket (CB) Loosely applied with a pneumatic blower so that a 1" compost blanket uniformly covers the **soil with 100% coverage**. This application can be used with seed to promote germination by applying the approved seed mix directly into the loosely blown compost. The compost blanket performs best on slopes less than 2:1 and requires no mulch anchoring.
- **Anchoring mulch** Mulch must be anchored immediately to minimize loss by wind or water. This may be done by one of the following methods, depending upon size of area, erosion hazard, and cost.
- a. Crimping A crimper is a tractor drawn implement designed to punch and anchor mulch into the top two (2) inches of soil. This practice affords maximum erosion control but is limited to flatter slopes where equipment can operate safely. On sloping land, crimping should be done on the contour whenever
- Tracking Tracking is the process of cutting mulch (usually straw) into the soil using a bulldozer or other equipment that runs on cleated tracks. Tracking is used primarily on slopes 3:1 or steeper and should be done up and down the slope with cleat marks running across the slope.
- Liquid mulch binders Applications of liquid mulch binders should be heavier at edges, in valleys, and at crests of banks and other areas where the mulch will be moved by wind or water. All other areas should have a uniform application of binder. The use of synthetic binders is the preferred method of mulch binding and should be applied at the rates recommended by the manufacturer.
- Paper fiber The fiber binder shall be applied at a net dry weight of 750 lbs/ac. The wood cellulose fiber shall be mixed with water, and the mixture shall contain a maximum of 50 lbs. of wood cellulose fiber per
- Nettings Synthetic or organic nettings may be used to secure straw mulch. Install and secure according to the manufacturers recommendations.

Source:	Symbol:	Detail No.
Mar VI VENERALIS NVI V		DE-ESC-3.4.5
Delaware ESC Handbook & Filtrexx™ International		Sheet 2 of 3
		Effective FEB 2019

Standard Detail & Specifications





- . When hydroseeding is the chosen method of application, the total rate of seed should be increased by 25%. 2. Winter seeding requires 3 tons per acre of straw mulch. Planting dates listed above are average for Delaware. These dates may require adjustment to reflect local conditions.
- 3. All seed shall meet the minimum purity and minimum germination percentages recommended by the Delaware Department of Agriculture. The maximum % of weed seeds shall be in accordance with Section 1, Chapter 24, Title 3 of the Delaware Code.
- Cool season species may be planted throughout summer if soil moisture is adequate or seeded area can be irrigated All leguminous seed must be inoculated
- 6. Warm season grass mix and Reed Canary Grass cannot be moved more than 4 times per year. Warm season grasses require a soil temperature of at least 50 degrees in order to germinate, and will remain dormant until then.

NOTE: Alternative seed mixes may be used with prior approval from the Department or Delegated Agency.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		DE-ESC-3.4.3
**************************************		Sheet 3 of 4
		Effective FEB 2019

Standard Detail & Specifications Mulching



á		MULCH	MULCHING MATERIAL SELECTION GUIDE	CTION GUIDE		
	Percent Slope	Type of Mulch / App. Rate	Dec. 1 to Feb. 28(29)	March 1 to May 31	June 1 to Aug. 31	Sept. 1 to Nov. 30
	Less than 2%	Blended Fiber @ 2000 lbs/ac. minimum	XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX	OK (< 1 ac.)	xxxxxxxxxxxxxxxx	OK (<1 ac.)
		Wood Fiber @ 2000 lbs/ac. min.	xxxxxxxxxxxxxxxxxx	ð	000000000000000000000000000000000000000	ð
		BFM @ 3000 lbs/ac. min.	ş	ð	š	ð
		Straw @ 2 Tons/ac. Min.	š	š	ð	š
		Stabilization Matting**	š	ð	š	ð
		1" Compost Blanket (CB)	OK	æ	OK	OK
	2% to 5.9%	Wood Fiber @ 2000 lbs/ac. min.	xxxxxxxxxxxxxxxxxx	ð	xxxxxxxxxxxxxxx	ð
		BFM @ 3000-3500 lbs/ac. min	š	ð	ð	ð
		Straw @ 2 Tons/ac. min.	Š	ð	š	š
Sv		Stabilization Mattina**	Š	Š	Š	ě
m		1" Compost Blanket (CB)	š	¥	ð	ð
bo	6% to 10.9%	Wood Fiber @ 2000-2500 lbs/ac. min.	000000000000000000000000000000000000000	ð	000000000000000000000000000000000000000	Š
ol:		BFM @ 3500-4000 lbs/ac. min.	Š	š	š	š
		Straw @ 2 Tons/ac. min.	Š	š	Š	š
		Stabilization Matting**	Š	š	ě	š
		1"Compost Blanket (CB)	š	ð	š	š
	11% to 24.9%	Wood Fiber @ 2500-3000 lbs/ac. min.	XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX	š	XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX	š
		BFM @ 3500-4000 lbs/ac. min.	ŏ	š	š	ð
		Straw @ 2 Tons/ac, min.	ð	š	š	ŏ
		Stabilization Matting**	ð	š	š	ě
		1" Compost Blanket (CB)	Š	š	ŏ	š
	25% to 33%	Wood Fiber @ 2500-3000 lbs/ac, min.	000000000000000000000000000000000000000	ð	XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX	ð
		BFM @ 4000 lbs/ac. min.	000000000000000000000000000000000000000	š	000000000000000000000000000000000000000	ð
		Straw @ 2 Tons/ac. min.	Š	ě	ŏ	ð
		Stabilization Mattina**	Š	ð	ě	ð
		1" Compost Blanket (CB)	Š	ð	š	š
T	33%and up	BFM @ 4000-4500 lbs/ac min.	XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX	XO	000000000000000000000000000000000000000	XO
D		Straw @ 2 Tons/ac min.***	č	ě	ŏ	ě
et		Stabilization Matting**	š	ð	ð	ð
ail		1" Compost Blanket (CB)	2:1 Max.	2:1 Max.	2:1 Max.	2:1 Max
l No.		* Note: Manufacturers Recommended Rates for informational purposes only. Performance standard requires 100% soil coverage. ** Note: Stabilization Matting must be applied in accordance with Section 3.4.6 of the Delaware ESC Handbook. ***Note: Straw applied on slopes greater than 33% must be netted (this does not apply to topsoil stockpiles). OK = Acceptable to use during this time period. xxx = Not acceptable to use during this time period. All application rates are minimums	es for informational purpos lled in accordance with Sec than 33% must be netted (th sriod. e period.	es only. Performance st tion 3.4.6 of the Delawan ris does not apply to tops	andard requires 100% s e ESC Handbook. soil stockpiles).	soil coverage.
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Source:	Symbol:	Detail No.	
Special Constitution and an		DE-ESC-3.4.5	
Delaware ESC Handbook		Sheet 3 of 3	
& Filtrexx™ International		Effective FEB 20)1

DELAWARE EROSION

CONTROL

Standard Detail & Specifications Vegetative Stabilization

Construction Notes:

Site Preparation

DELAWARE EROSION

CONTROL

- a. Prior to seeding, install needed erosion and sediment control practices such as diversions, grade stabilization structures, berms, dikes, grassed waterways, and sediment basins.
- b. Final grading and shaping is not necessary for temporary seedings.
- Seedbed Preparation

It is important to prepare a good seedbed to insure the success of establishing vegetation. The seedbed should be well prepared, loose, uniform, and free of large clods, rocks, and other objectionable material. The soil surface should not be compacted or crusted.

- Soil Amendments
- a. Lime Apply liming materials based on the recommendations of a **soil test** in accordance with the approved nutrient management plan. If a nutrient management plan is not required, apply dolomitic limestone at the rate of 1 to 2 tons per acre. Apply limestone uniformly and incorporate into the top 4 to 6 inches of soil.
- b. Fertilizer Apply fertilizer based on the recommendations of a **soil test** in accordance with the approved nutrient management plan. If a nutrient management plan is not required, apply a formulation of 10-10-10 at the rate of 600 pounds per acre. Apply fertilizer uniformly and incorporate into the top 4 to 6 inches of soils.

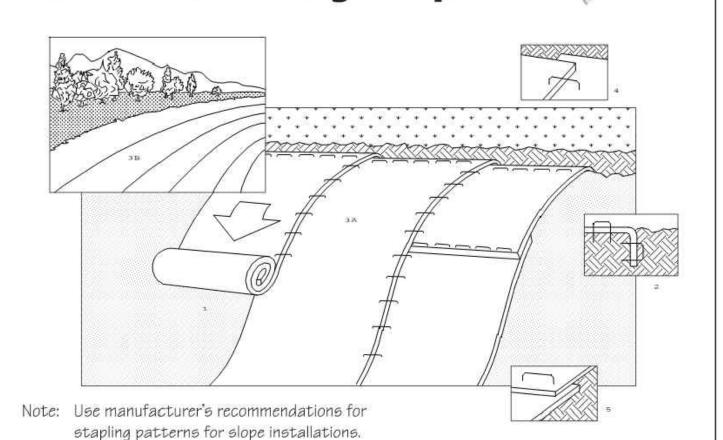
- a. For temporary stabilization, select a mixture from Sheet 1. For a permanent stabilization, select a mixture from **Sheet 2** or **Sheet 3** depending on the conditions. Alternative seed mixes may be used with prior approval from the Department or Delegated Agency.
- b. Apply seed uniformly with a broadcast seeder, drill, cultipacker seeder or hydroseeder. All seed will be applied at the recommended rate and planting depth.
- c. Seed that has been broadcast should be covered by raking or dragging and then <u>lightly</u> tamped into place using a roller or cultipacker. If hydroseeding is used and the seed and fertilizer is mixed, they will be mixed on site and the seeding shall be done immediately and without interruption.

Mulching

All mulching shall be done in accordance with detail **DE-ESC-3.4.5**.

Symbol:	Detail No.
	DE-ESC-3.4.3 Sheet 4 of 4
	Effective FEB 2019
	Symbol:

Standard Detail & Specifications Stabilization Matting - Slope



Perspective

Construction Notes:

- Prepare soil before installing matting, including application of lime, fertilizer, and seed.
- 2. Begin at the top of the slope by anchoring the mat in a 6" deep X 6" wide trench. Backfill and compact trench after stapling.
- 3. Roll the mats (A) down or (B) horizontally across the slope.
- 4. The edges of parrallel mats must be stapled with approx. 2" overlap.
- 5. When mats must be spliced down the slope, place mats end over end (shingle style) with approx. 4" overlap. Staple through overlapped area, approx. 12" apart.

Source:	Symbol:	
Adapted from		CA
North American Green, Inc.		1314

DE-ESC-3.4.6.1 Sheet 1 of 2

Effective FEB 2019

DELAWARE

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CONTROL

Standard Detail & Specifications Mulching



CONTROL

EROSION

Materials and Amounts

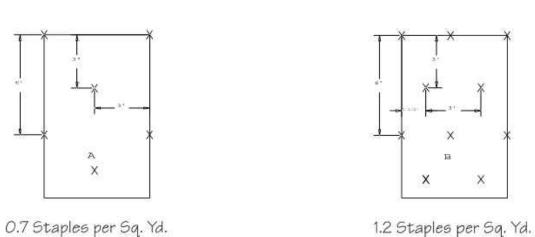
- a. Straw Straw shall be unrotted small grain straw applied at the rate of 1-1/2 to 2 tons per acre, or 70 to 90 pounds (two bales) per 1,000 square feet. Mulch materials shall be relatively free of weeds and shall be free of noxious weeds such as; thistles, Johnsongrass, and quackgrass. Spread mulch uniformly by hand or mechanically. For uniform distribution of hand spread mulch, divide area into approximately 1,000 square feet sections and place 70-90 pounds (two bales) of mulch in each section.
- Wood chips Apply at the rate of approximately 6 tons per acre or 275 pounds per 1,000 square feet when available and when feasible. These are particularly well suited for utility and road rights-of-way. If wood chips are used, increase the application rate of nitrogen fertilizer by 20 pounds of N per acre (200 pounds of 10-10-10 or 66 pounds of 30-0-0 per acre).
- c. Hydraulically applied mulch The following conditions apply to hydraulically applied mulch:

- a. Wood fiber mulch shall consist of specially prepared wood that has been processed to a uniform state, is packaged for sale as a hydraulic mulch for use with hydraulic seeding equipment, and consists of a minimum of 70% virgin or recycled wood fiber combined with 30% paper fiber and additives.
- b. Blended fiber mulch shall consist of any hydraulic mulch that contains greater than 30% paper fiber. The paper component must consist of specially prepared paper that has been processed to a uniform fibrous state and is packaged for sale as a hydraulic mulch for use with hydraulic seeding equipment.
- c. A bonded fiber matrix (BFM) consists of long strand, specially prepared wood fibers that have been processed to a uniform state held together by a water resistant bonding agent. BFMs shall contain no paper (cellulose) mulch but may contain small percentages of synthetic fibers to enhance performance.
- d. Refer to Figure 3.4.5a for conditions and limitations of use for each of the above categories of
- ii. All components of the hydraulically applied mulches shall be pre-packaged by the manufacturer to assure material performance. Field mixing of the mulch components is acceptable, but must be done per manufacturers recommendations to ensure the proper results.
- iii. Hydraulic mulches shall be applied with a viable seed and at manufacturer's recommended rates. Increased rates may be necessary based on site conditions.
- iv. Hydraulically applied mulches and additives shall be mixed according to manufacturers
- iv. Materials within this category shall only be used when hydraulically applied mulch has been specified for use on the approved Sediment and Stormwater Plan, or supplemental approval from the plan approval agency has been obtained in writing for a specific area.

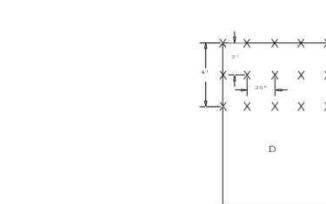
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Delaware ESC Handbook & Filtrexx™ International	DE-ESC-3.4.5	
	Sheet 1 of 3	
		Effective FEB 2019

DELAWARE EROSION SEDIMENT

Standard Detail & Specifications Stabilization Matting - Slope

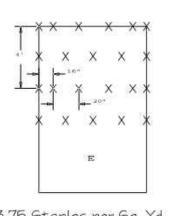


X c)



1.75 Staples per Sq. Yd.

3.5 Staples per Sq. Yd.



NOTE: These patterns are provided for general guidance only. They shall not be used as a substitute for manufacturer's recommendations.

3.75 Staples per Sq. Yd.

Stapling Patterns

Source: Symbol: Adapted from North American Green, Inc.

(sM-s)

Detail No. DE-ESC-3.4.6.1 Sheet 2 of 2

Effective FEB 2019

ESC-12

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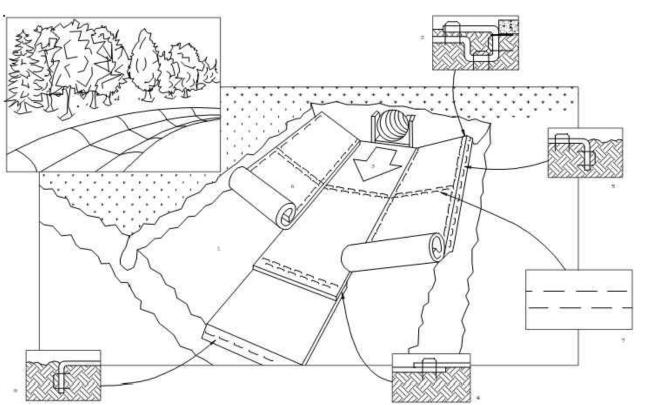
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30.19 DELDOT SUBMISSION

16.19 FIRE MARSHAL SUBMISSION

27.19 SUSSEX CONSERVATION

DELAWARE EROSION Standard Detail & Specifications CONTROL Stabilization Matting - Channel



Perspective

CRITICAL POINTS

- A. Overlaps and seams



Note: Horizontal staple spacing should be altered if necessary to allow staples to secure the critical points along the channel surface.

Use manufacturer's recommendations for stapling patterns for channel installations.

Source: Adapted from

North American Green, Inc.

Symbol: (SM-C

DE-ESC-3.4.6.2 Sheet 1 of 3

Effective FEB 2019

Adapted from

North American Green, Inc.

Source:

DELAWARE EROSION SEDIMENT

CONTROL

Construction Notes:

and compact the trench after stapling.

backfill and compact the trench after stapling.

row 4" below the first row in a staggered pattern.

staples 4" apart to secure mats.

compact the trench after stapling.

Roll center mat in direction of water flow on bottom of channel.



DE-ESC-3.4.6.2

Sheet 2 of 3

Effective FEB 2019

Standard Detail & Specifications

Stabilization Matting - Channel

. Prepare soil before installing matting, including application of lime, fertilizer, and seed.

2. Begin at the top of the channel by anchoring the mat in a 6" deep X 6" wide trench. Backfill

4. Place mats end over end (shingle style) with a 6" overlap, use a double row of staggered

In high flow channel applications, a staple check slot is recommended at 30 to 40 foot

8. The terminal end of the mats must be anchored in a 6" X 6" wide trench. Backfill and

intervals. Use a row of staples 4" apart over entire width of the channel. Place a second

6. Mats on side slopes must be overlapped 4" over the center mat and stapled.

Temporary Methods:

Dust Control

Mulches - See DE-ESC-3.4.5, Standard Detail and Specifications for Mulching.

Symbol:

Standard Detail & Specifications

- 2. Vegetative cover See DE-ESC-3.4.3, Std. Detail and Specifications for Vegetative Stabilization.
- Adhesives Use on mineral soils only (not effective on muck soils). Keep traffic off these areas The following table may be used for general guidance.

Type of	Water	Type of	Apply
<u>Emulsion</u>	<u>Dilution</u>	Nozzle	Gal/Ac.
Latex emulsion	12.5:1	Fine spray	235
Resin-in-water emulsion	4.1	Fine spray	300
Acrylic emulsion (non-trafffic)	7:1	Coarse spray	450
Acrylic emulsion (traffic)	3.5:1	Coarse spray	350

- Tillage For emergency temporary treatment, scarify the soil surface to prevent or reduce the amount of blowing dust until a more appropriate solution can be implemented. Begin the tillage operation on the windward side of the site using a chisel-type plow for best results.
- 5. Sprinkling Sprinkle site with water until the surface is moist. Repeat as needed.
- Calcium Chloride Apply as flakes or granular material with a spreader at a rate that will keep the soil surface moist. Re-apply as necessary.
- Barriers Place barriers such as soild board fences, snow fences, hay bales, etc. at right angles to the prevailing air currents at intervals of approx. 10X their height.

Permanent Methods:

- Vegetative cover See DE-ESC-3.4.3, Std. Detail and Specifications for Vegetative Stabilization.
- 2. Stone Apply layer of crushed stone or coarse gravel to protect soil surface.

	Source:	Symbol:	Detail No.
1.7	Adapted from VA ESC Handbook		DE-ESC-3.4.8 Sheet 1 of 1
2019			Effective FEB 20

DELAWARE EROSION & SEDIMENT Standard Detail & Specifications CONTROL Stabilization Matting - Channel 0.7 Staples per Sq. Yd. 1.2 Staples per Sq. Yd. . Full Length edge of mats at top of side slopes must be anchored in 6" deep X 6" wide trench; Χc 1.75 Staples per Sq. Yd. 3.5 Staples per Sq. Yd. ** * * * * * × × ×

Adapted from North American Green, Inc.

Adapted from

Colorado Urban Storm Drainage

Criteria Manual, Vol 3

DELAWARE EROSION SEDIMENT CONTROL

Adapted from

VA ESC Handbook

Source:

Standard Detail & Specifications

Stone

Exist. grna

Type GS-1 geotextile fabric

Stabilized Construct. Entrance

50' min.

Plan

Profile

10' min.

Section A-A (Std.)

SCE

Symbol:

50' min.

Standard Detail & Specifications

Detail No.

DE-ESC-3.4.7

Sheet 1 of 2

Effective FEB 2019

Minimum dimensions for prefabricated units are 4 feet by 4 feet by 1 foot deep with a minimum 4mil polyethylene plastic liner. Minimum dimensions for constructed concrete washout areas are 6 feet by 6 feet by 3 feet deep, with a minimum 10mil polyethylene liner, 2:1 side slopes, and a 1 foot

DELAWARE EROSION

CONTROL

10° min.

Mountable berm

(as needed)

Culvert pipe

Provide positive drainage to sediment trapping device

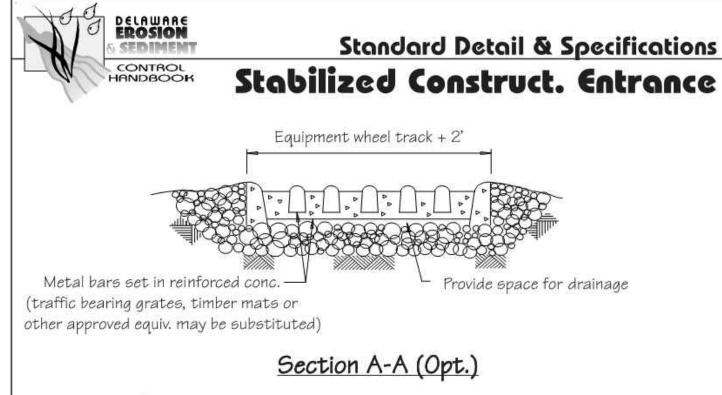
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SUE / REVISION BLOCK 16.19 FIRE MARSHAL SUBMISSION 27.19 SUSSEX CONSERVATION

SCALE PROJECT# DRAWN BY
NTS CHRE1901 DMH RAWING NUMBER

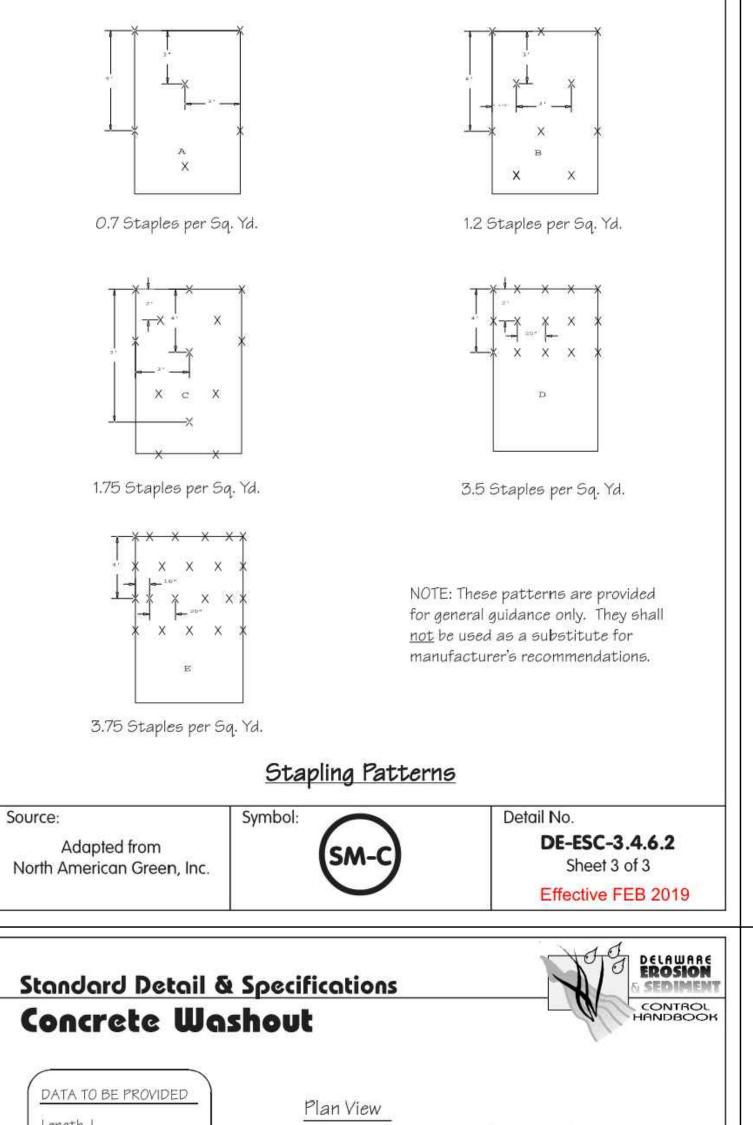
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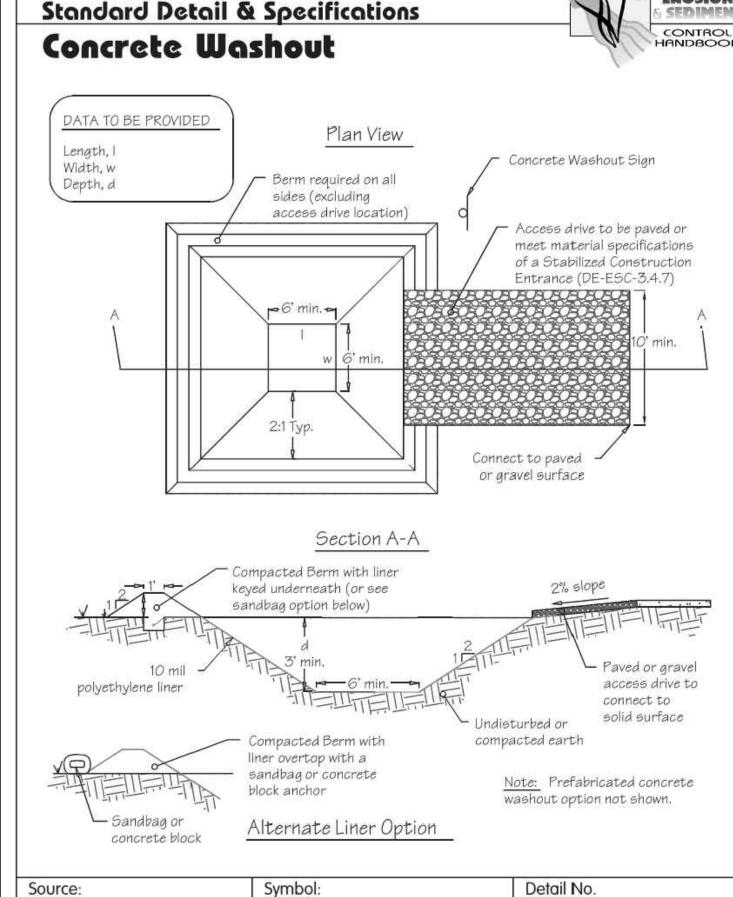


Construction Notes:

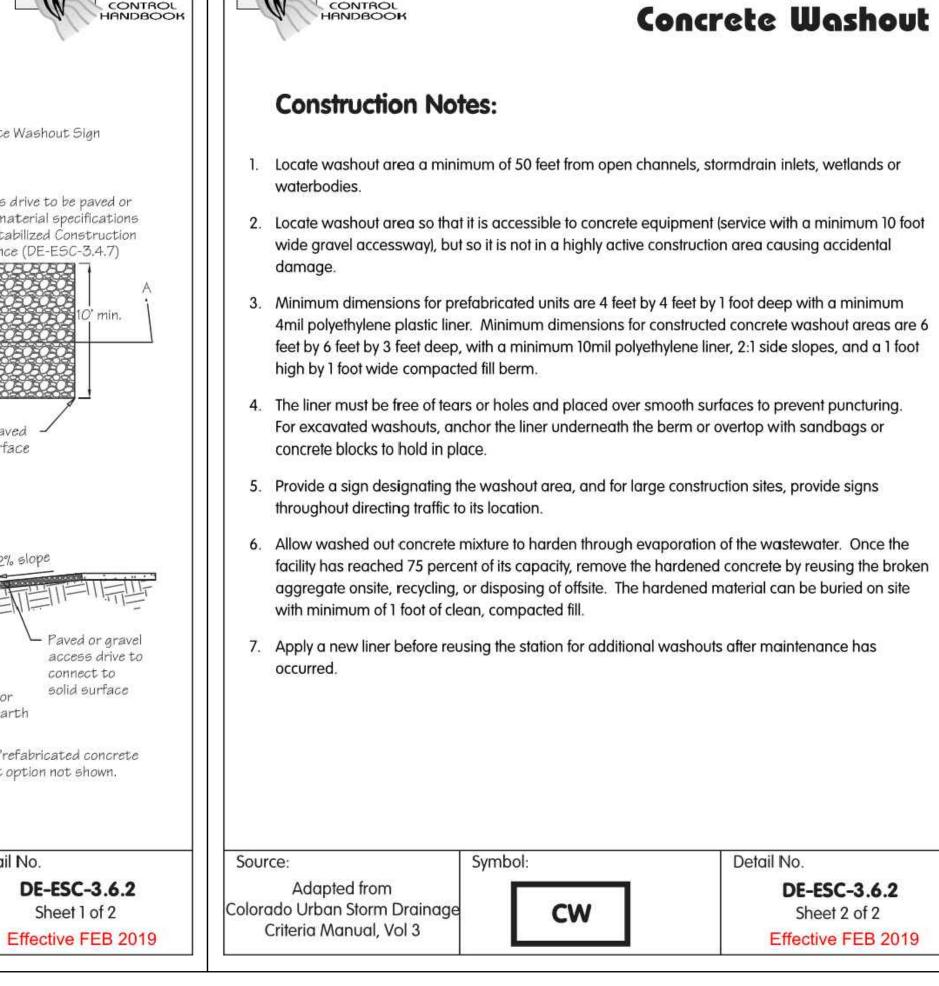
- Stone size Use DE #3 stone.
- Length As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
- Thickness Not less than size (6) inches.
- 4. Width Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
- Geotextile Type GS-I; placed over the entire area prior to placing of stone.
- <u>Surface Water</u> All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
- Maintenance The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
- Washing Vehicle wheels shall be cleaned to remove sediment prior to entrance onto public rights-ofway. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
- 9. Inspection Periodic inspection and needed maintenance shall be provided after each rain.

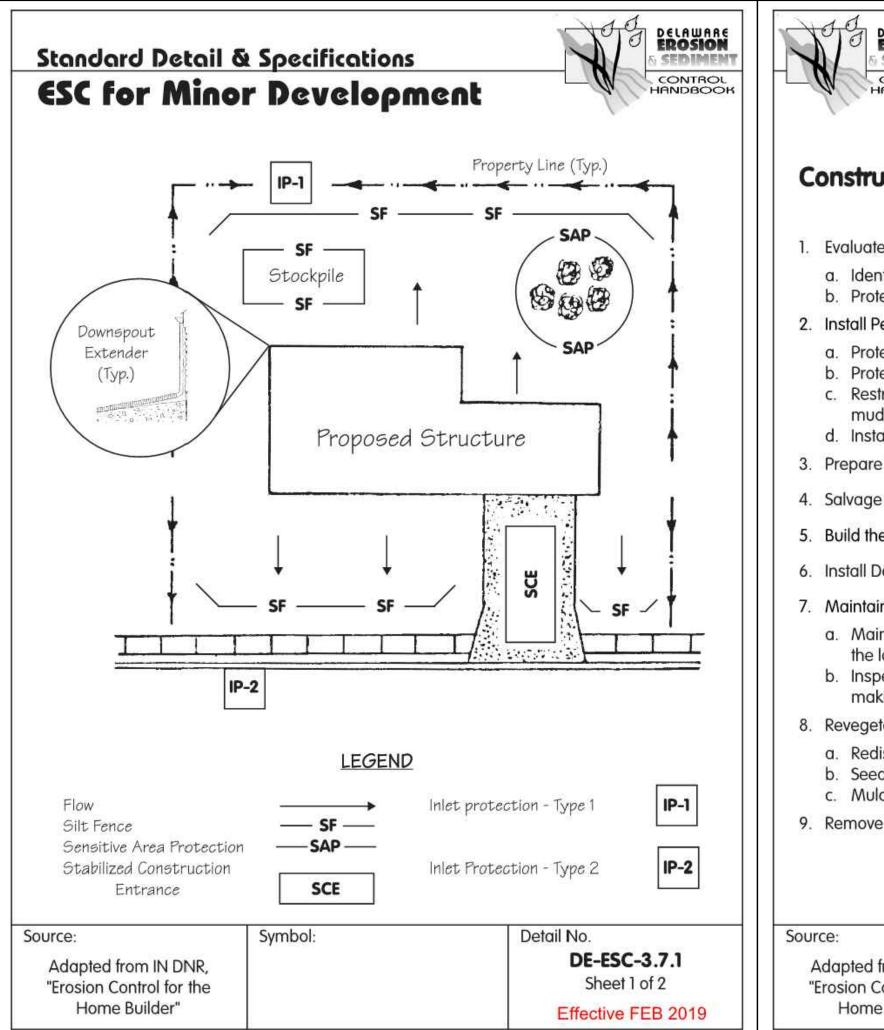
Symbol: DE-ESC-3.4. Adapted from SCE Sheet 2 of 2 VA ESC Handbook Effective FEB

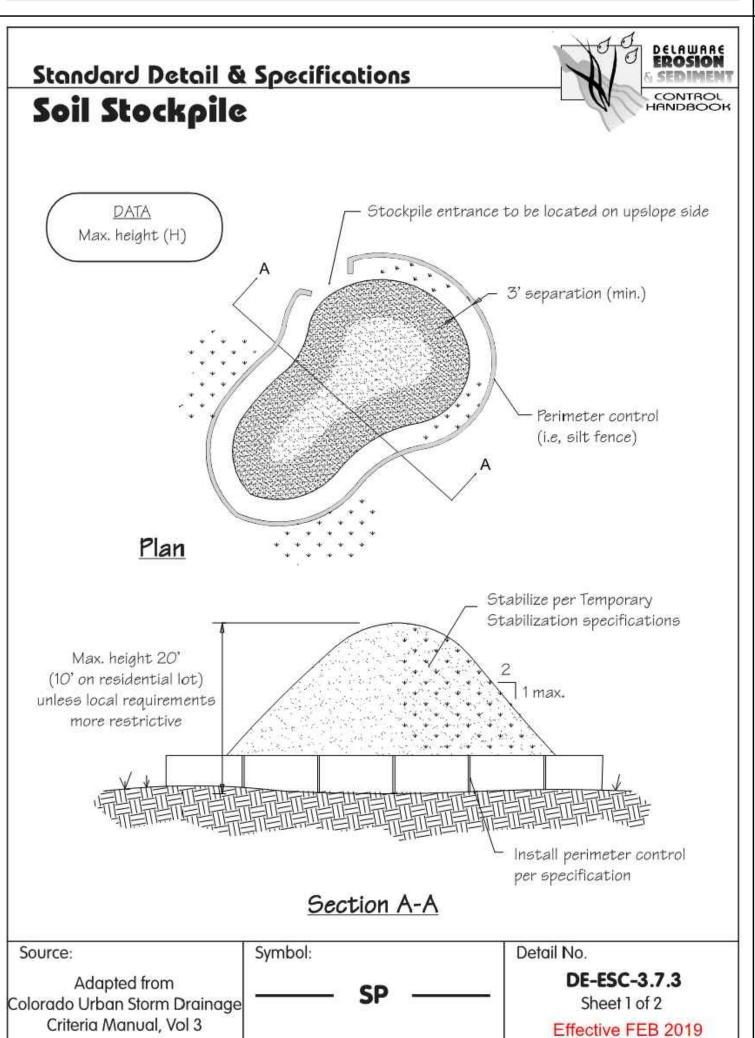


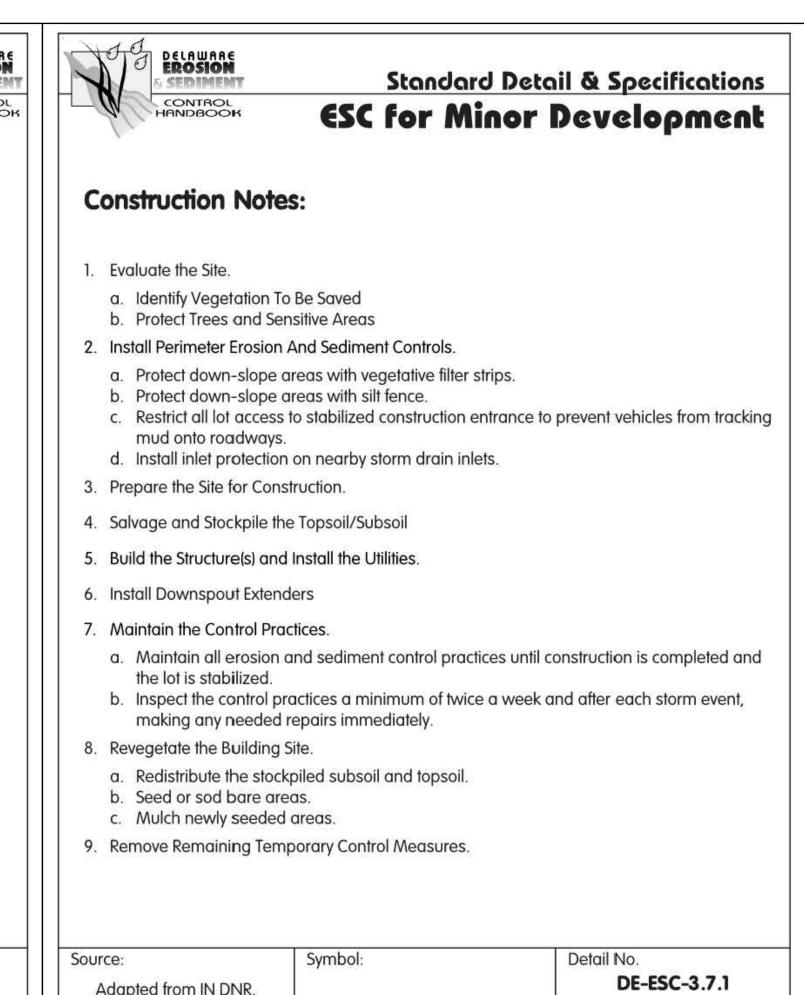


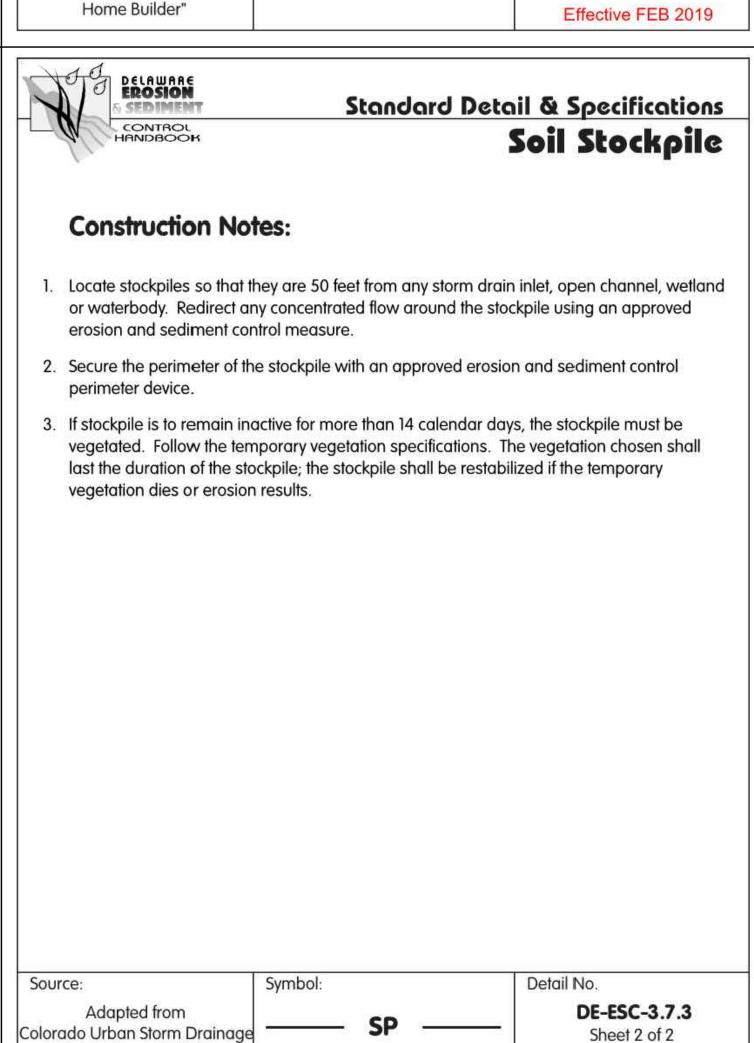
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Effective FEB 2019

Criteria Manual, Vol 3

Source:	Symbol:	Detail No.
Adapted from IN DNR,		DE-ESC-3.7.1
"Erosion Control for the		Sheet 2 of 2
Home Builder"		Effective FEB 201

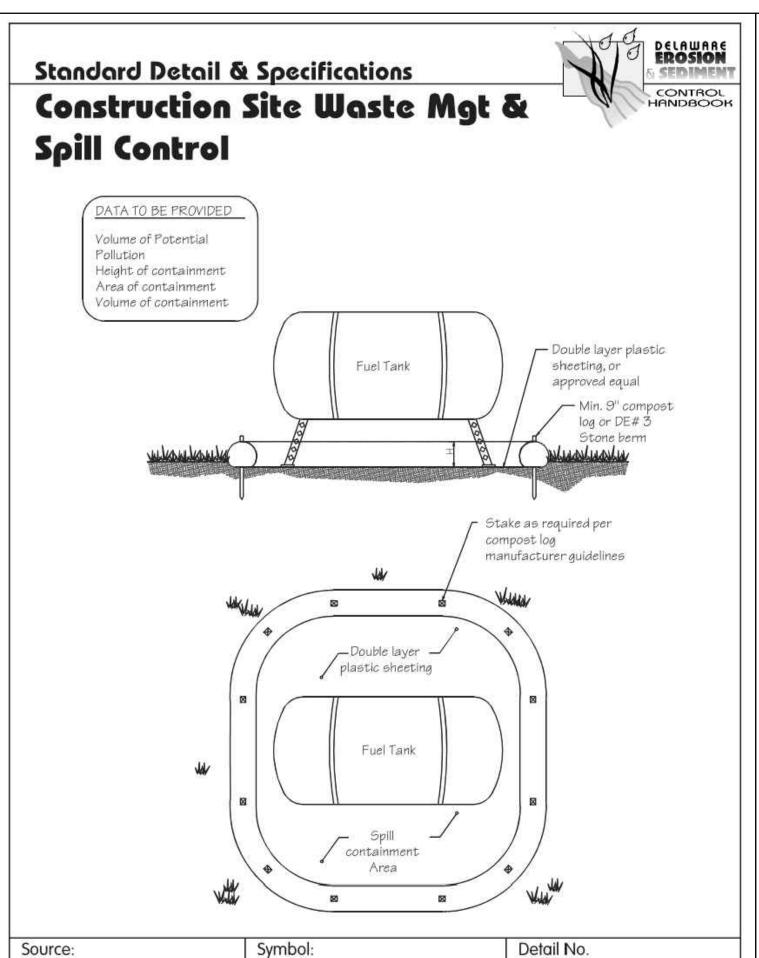
00 4.00 COMMUNIT 530-530-9.00 出 COUNTRY PARCEL

ISSUE / REVISION BLOCK 9.27.19 SUSSEX CONSERVATION

SCALE PROJECT # DRAWN BY

NTS CHRE1901 DMH

ESC-14



DELAWARE EROSION CONTROL

Standard Detail & Specifications

Construction Site Waste Mgt & Spill Control

Pollution Prevention - Spill Prevention

- Fueling should only take place in signed designated areas, away from downstream drainage facilities and watercourses.
- 2. Fueling must be with nozzles equipped with automatic shut-off to control drips. Do not top off.
- 3. Protect the areas where equipment or vehicles are being repaired, maintained, fueled or parked from storm water run-on and runoff.
- 4. Use barriers such as berms to prevent storm water run-on and runoff, and to contain spills.
- 5. Place a "Fueling Area" sign next to each fueling area.
- 6. Store hazardous materials such as fuel, solvents, oil and chemicals in secondary containment.
- Inspect vehicles and equipment for leaks on each day of use. Repair fluid and oil leaks
- Absorbent spill clean-up materials and spill kits must be available in fueling areas and on fuel trucks.
- 9. If fueling is to take place at night, make sure the fueling area is sufficiently illuminated.
- 10. Properly dispose of used oil, fluids, lubricants and spill clean-up materials.

CLEAN UP SPILLS

- 1. If it is safe to do so, immediately contain and clean up any chemical and/or hazardous material
- 2. Properly dispose of used oil, fluids, lubricants and spill clean-up materials.
- 3. Do not bury spills or wash them down with water.

LEAKS AND DRIPS

- 1. Use drip pans or absorbent pads at all times. Place under and around leaky equipment.
- 2. Do not allow oil, grease, fuel or chemicals to drip onto the ground.
- Have spill kits and clean up material on-site.
- 4. Repair leaky equipment promptly or remove problem vehicles and equipment from the site Clean up contaminated soil immediately.
- Store contaminated waste in sealed containers constructed of suitable material. Label these

Clean up all spills and leaks. Promptly dispose of waste and spent clean up materials.

o. Clear of an spins and leaks, i fortifing dispose of wasie		wasic and sperif elean op malendis.
Source:	Symbol:	Detail No.
Delaware ESC Handbook		DE-ESC-3.6.1 Sheet 2 of 5
		Effective FEB 2019

Standard Detail & Specifications

Construction Site Waste Mgt & Spill Control

Notes:

The Construction Site Pollution Prevention Plan should include the following elements:

. Material Inventory

Document the storage and use of the following materials:

- a. Concrete b. Detergents
- c. Paints (enamel and latex)
- d. Cleaning solvents
- e. Pesticides
- Wood scraps
- g. Fertilizers
- h. Petroleum based products

2. Good housekeeping practices

- a. Store only enough product required to do the job.
- b. All materials shall be stored in a neat, orderly manner in their original labeled containers and covered.
- Substances shall not be mixed.
- d. When possible, all of a product shall be used up prior to disposal of the container.
- e. Manufacturers' instructions for disposal shall be strictly adhered to.
- The site foreman shall designate someone to inspect all BMPs daily.

3. Waste management practices

- a. All waste materials shall be collected and stored in securely lidded dumpsters in a location that does not drain to a waterbody.
- b. Waste materials shall be salvaged and/or recycled whenever possible.
- c. The dumpsters shall be emptied a minimum of twice per week, or more if necessary. The licensed trash hauler is responsible for cleaning out dumpsters.

Source:	Symbol:	Detail No.
Adapted from USEPA Pub. 840-B-92-002	Colf Mathematica Co.	DE-ESC-3.6.1 Sheet 3 of 5
		Effective FEB 2019

DELAWARE EROSION

DELAWARE EROSION

CONTROL

CONTROL HANDBOOK

Standard Detail & Specifications Construction Site Waste Mgt &

Spill Control

Notes (cont.)

- d. Trash shall be disposed of in accordance with all applicable Delaware laws.
- e. Trash cans shall be placed at all lunch spots and littering is strictly prohibited. Recycle bins shall be placed near the construction trailer.
- f. If fertilizer bags can not be stored in a weather-proof location, they shall be kept on a pallet and covered with plastic sheeting which is overlapped and anchored.

4. Equipment maintenance practices

- a. If possible, equipment should be taken to off-site commercial facilities for washing and
- b. If performed on-site, vehicles shall be washed with high-pressure water spray without detergents in an area contained by an impervious berm.
- c. Drip pans shall be used for all equipment maintenance.
- d. Equipment shall be inspected for leaks on a daily basis.
- e. Washout from concrete trucks shall be disposed of in a temporary pit for hardening and proper disposal.
- Fuel nozzles shall be equipped with automatic shut-off valves.
- g. All used products such as oil, antifreeze, solvents and tires shall be disposed of in accordance with manufacturers' recommendations and local, state and federal laws and regulations.

Spill prevention practices

- a. Potential spill areas shall be identified and contained in covered areas with no connection to the storm drain system.
- b. Warning signs shall be posted in hazardous material storage areas.
- c. Preventive maintenance shall be performed on all tanks, valves, pumps, pipes and other equipment as necessary.
- d. Low or non-toxic substances shall be prioritized for use.

Jrce:	Symbol:	Detail No.
Adapted from USEPA Pub. 840-B-92-002		DE-ESC-3.6.1 Sheet 4 of 5
		Effective FEB 2019

DELAWARE EROSION Standard Detail & Specifications CONTROL

DE-ESC-3.6.1

Sheet 1 of 5

Effective FEB 2019

Construction Site Waste Mgt & Spill Control

Notes (cont.)

Delaware ESC Handbook

e. Contact information for reporting spills through the DNREC 24-Hour Toll Free Number shall be prominently posted.

6. Education

- a. Best management practices for construction site pollution control shall be a part of regular progress meetings.
- b. Information regarding waste management, equipment maintenance and spill prevention shall be prominently posted in the construction trailer.

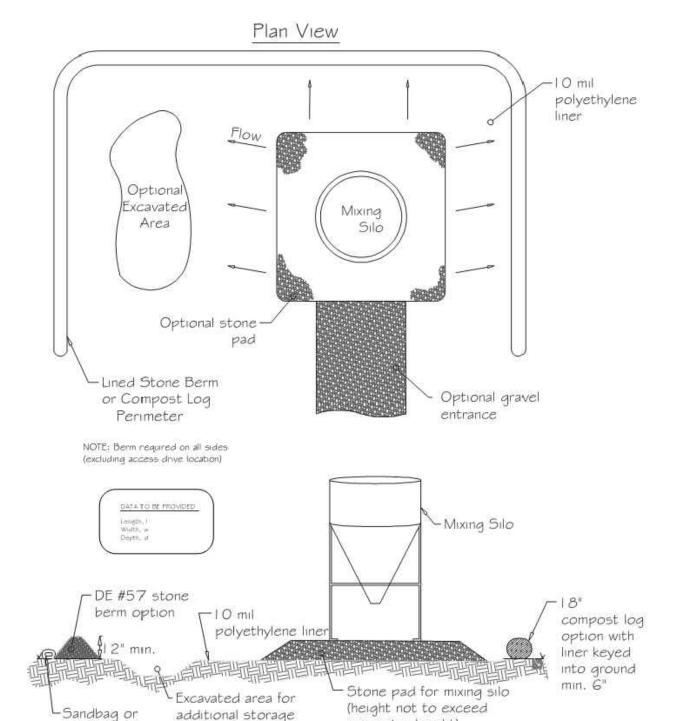
CONTACT INFORMATION

DNREC 24-Hour Toll Free Number 800-662-8802

DNREC Solid & Hazardous Waste Management Section 302-739-9403

Symbol: Source: Detail No. DE-ESC-3.6.1 Adapted from USEPA Sheet 5 of 5 Pub. 840-B-92-002 Effective FEB 2019

Standard Detail & Specifications Concrete Mixing Operation



Section View

Symbol:

concrete block (optional)

Adapted from

MN/DOT Concrete Manual,

Chap. 4

Source:

CMO

perimeter height)

Sheet 1 of 2

Detail No. Source: **DE-ESC-3.6.3** MN/DOT Concrete Manual, Effective FEB 2019

DELAWARE EROSION CONTROL

DELAWARE EROSION

CONTROL

Standard Detail & Specifications Concrete Mixing Operation

Construction Notes:

- Locate concrete mixing and containment area a minimum of 50 feet from open channels, stormdrain inlets, wetlands or waterbodies.
- 2. Locate concrete mixing and containment area so that it is accessible to telescopic lifts (service with a minimum 10 foot wide gravel or paved accessway), but so it is not in a highly active construction area causing accidental damage.
- Minimum volume for installed containment areas are 3.5 cubic feet per cubic foot of mixing capacity. The installed containment area must encompass the storage silo and mixing unit, and be surround on three sides minimum by a 12" high stone berm (DE #57) or 18" compost log
- 4. The 10-mil poly liner must be free of tears or holes and placed over smooth surfaces to prevent puncturing. The liner shall cover the perimeter control and be secured on the backside using cement or sand bags, or keyed into the ground a minimum of 6".
- Allow cementitious waste to harden through evaporation of the wastewater. Once the facility has reached 75 percent of its capacity, remove the hardened concrete by reusing the broken aggregate onsite, recycling, or disposing of offsite. The hardened material can be buried on site with minimum of 1 foot of clean, compacted fill.

Apply a new liner before reusing the station for additional mixing after maintenance has occurred.

Adapted from

Chap. 4

Symbol:

CMO

Effective FEB 2019

Detail No.

DE-ESC-3.6.3 Sheet 2 of 2

9.27.19 SUSSEX CONSERVATION 11.15.19 SUSSEX COUNTY P & Z

ISSUE / REVISION BLOCK

00

(6) EX

530-9.00-HICKMAN R

쁘

COUNTRY

SCALE PROJECT # DRAWN BY NTS CHRE1901

ESC-15

COUNTRY REST HOME, INC.

COUNTRY REST HOME COMMUNITY ENTRANCE CONSTRUCTION PLANS SCR 16 (HICKMAN ROAD)



SITE OVERVIEW

SR16 HICKMAN ROAD **S16 (MAJOR COLLECTOR)** LANDS N/F OF GREENWOOD LANDS N/F OF COUNTRY GREENWOOD COUNTRY RETIREMENT, INC RETIREMENT, INC TP # 530-9.00-3.00 530-9.00-3.00 DB 2134, PG 199 DB 2134, PG 199 ZONE: AR-1 ZONE: AR-1 (RESIDENTIAL) (RESIDENTIAL)

CALL Miss Utility of Delmarva BEFORE YOU DIG 800-282-8555 or 811

PROPOSED

LEGEND

CENTER LINE OF ROAD

WETLANDS LINE AND FLAG

CRUSHED STONE WALKING

UTILITY POLE/GUY WIRE

OVERHEAD ELECTRIC

CABLE TV, PEDESTA

TREATED WASTEWATER APPLICATION AREA

EDGE OF PAVING

FLOODPLAIN

SOIL BORING

STRUCTURE

SOILS/DESIGNATION

EXISTING

TRAFFIC GENERATION - DELAWARE 16, HICKMAN ROAD (FULL MOVEMENT) ROAD TRAFFIC DATA: **EXISTING** FUNCTIONAL CLASSIFICATION - ROUTE 16 (HICKMAN RD) - MAJOR COLLECTOR | ENTRANCE | POSTED SPEED LIMIT - 50 MPH AADT = 2,169 TRIPS (FROM 2018 DELDOT TRAFFIC SUMMARY) DELAWARE 16 (S 16) DELAWARE 16 (S 16) 10 YEAR PROJECTED AADT= 1.16 x 2,169 = 2,516 TRIPS TO GREENWOOD TO MARYLAND 10 YEAR PROJECTED AADT + SITE ADT = 2,516 + 379 = 2,895 TRIPS TRAFFIC PATTERN GROUP = 6 (FROM 2018 DELDOT TRAFFIC SUMMARY) 2,169 < PEAK HOUR - 11.75% x 2,895 TRIPS = 340 TRIPS DIRECTIONAL DISTRIBUTION ROUTE 16 (HICKMAN RD): 50% TO THE WEST (MARYLAND) = 1,447 50% TO THE EAST (GREENWOOD) = 1,447 SITE TRAFFIC DATA: NORTH CO. SOURCE: ITE TRIP GENERATION MANUAL 10TH EDITION SENIOR ADULT HOUSING DETACHED (251) - 35 UNITS = 223 TRIPS SENIOR ADULT HOUSING ATTACHED (252) - 45 UNITS = 156 TRIPS TOTAL SITE TRIPS = 379 TRIPS (189 IN / 190 OUT) ONE ENTRANCE - FULL MOVEMENT PROPOSEI **ENTRANCE** DESIGN VEHICLE - SU-30 **DIRECTIONAL DISTRIBUTION** 65% TO & FROM THE EAST = 379 * 65% = 246 35% TO & FROM THE WEST = 379 * 35% = 133 MORNING PEAK: 35%/65% IN/OUT MORNING PEAK HOUR SPLIT TRAFFIC GENERATION DIAGRAM LAND USE CODE (251): 18 TRIPS (6 IN / 12 OUT) LAND USE CODE (252): 9 TRIPS (3 IN / 6 OUT) ADT (AM PEAK) [PM PEAK] TOTAL MORNING PEAK TRIPS: 27 (9 IN / 18 OUT) EVENING PEAK: 55%/45% IN/OUT EVENING PEAK HOUR SPLIT LAND USE CODE (251): 21 TRIPS (13 IN / 8 OUT) LAND USE CODE (252): 13 TRIPS (7 IN / 6 OUT) TOTAL EVENING PEAK TRIPS: 34 (20 IN / 14 OUT) 5% TRUCKS AND BUSES = 5% * 379 = 19

SCALE: 1" = 80'

INDEX OF DRAWINGS

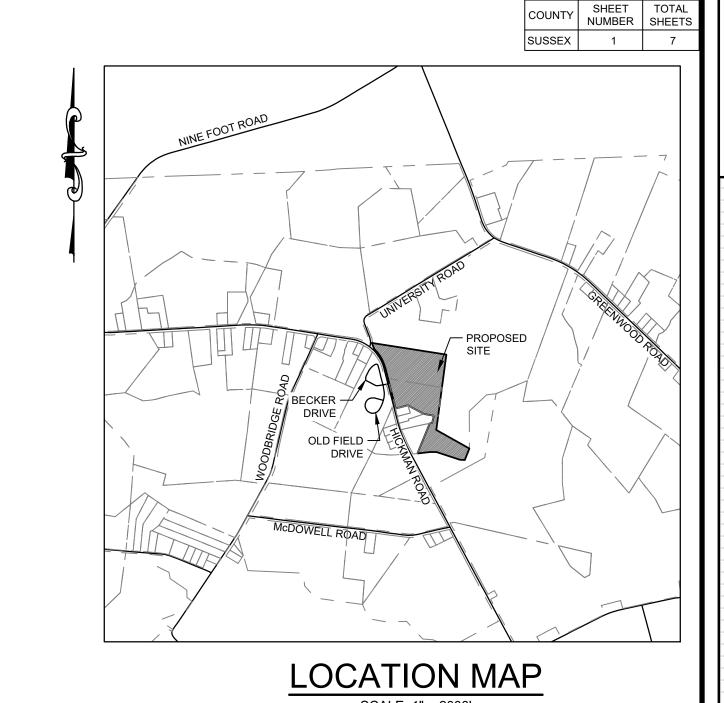
Sheet Number	Sheet Title
ENT-1	COVER SHEET
ENT-2	TYPICAL SECTIONS, GENERAL NOTES & DETAILS
ENT-3	ENTRANCE CONSTRUCTION AND STRIPING PLAN
ENT-4	ENTRANCE GRADING PLAN
ENT-5	ENTRANCE CONSTRUCTION CONTROL
ENT-6	ENTRANCE ESC
ENT-7	HICKMAN ROAD CROSS-SECTIONS

PROJECT TEAM

SIGHT DISTANCE TRIANGLE

OWNER/DEVELOPER COUNTRY REST HOME, INC. 12046 SUNSET LANE GREENWOOD, DE 19950	
SITE ENGINEER & SURVERYOR SCALED ENGINEERING, INC. 20246 COASTAL HIGHWAY REHOBOTH BEACH, DE 19971 (302) 236-3600	

ENGINEERS CEF	RTIFICATION		
I, DAVID M. HEATWOLE, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.			
DAVID M. HEATWOLE, P.E. (LICENSE #	17760) DATE		
O(M/N)ED (O) OEDI			
OWNER(S) CERT	<u>IFICATION</u>		
I, THE UNDERSIGNED, HEREBY CERT AND SHOWN ON THIS PLAN, THAT TH	FY THAT I AM THE LEGAL OWNER OF THE PROPERTY DESCRIBED E PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE IE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL		
I, THE UNDERSIGNED, HEREBY CERT AND SHOWN ON THIS PLAN, THAT TH SAME TO BE MY ACT, AND DESIRE TI	FY THAT I AM THE LEGAL OWNER OF THE PROPERTY DESCRIBED E PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE IE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL		
I, THE UNDERSIGNED, HEREBY CERT AND SHOWN ON THIS PLAN, THAT TH SAME TO BE MY ACT, AND DESIRE TI	FY THAT I AM THE LEGAL OWNER OF THE PROPERTY DESCRIBED E PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE IE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL		



<u>s</u>	ITE DATA:	
1.	TAX MAP NUMBER:	530-4.00-23.00 & 530-9.00-4.00
2.	PARCEL AREAS/NET DEVELOPMENT AREA: 530-4.00-23.00 530-9.00-4.00 TOTAL	13.023 ACRES 30.725 ACRES 43.748 ACRES
3.	TOTAL LOTS / PARCELS	EXISTING: 2 PROPOSED: 1
4.	DEVELOPER NAME:	COUNTRY REST HOME, INC.
5.	PROPERTY ADDRESS:	6939 HICKMAN ROAD GREENWOOD, DE 19950
6.	TOWN / HUNDRED /COUNTY:	GREENWOOD / NORTHWEST FORK / SUSSEX
7.	CURRENT ZONING:	AR-1 AGRICULTURAL RESIDENTIAL
8.	PROPOSED ZONING:	AR-1 WITH SPECIAL USE EXCEPTION (CONVALESCENT HOME, NURSING HOME, AND / OR HOME FOR THE AGED)
9.	PRESENT USE:	TILLED CROPS
10.	PROPOSED USE:	CONVALESCENT HOME, NURSING HOME, AND / OR HOMIFOR THE AGED
11.	REQUIRED SETBACKS (B.R.L.):	FRONT: 40-FEET SIDE: 15-FEET REAR: 20-FEET
12.	DWELLING UNITS:	
	PROPOSED HOUSES:	35 TWO (2) BEDROOM COTTAGES

MULTIFAMILY BUILDING: 35 SINGLE BEDROOM UNITS 10 TWO (2) BEDROOM UNITS BUILDING SIZE:

13. COTTAGE BUILDING SETBACKS AND RESTRICTIONS:

BUILDING TO BUILDING SEPARATION BUILDING STORIES ALLOWED: 1 STORY

BUILDING SETBACK FROM ON-SITE SEWER DISPOSAL BED: 50-FEET PRIVATE (ON-SITE WELL) WATER IS SUBJECT TO THE 14. WATER SUPPLIER: APPROVAL OF THE DELAWARE STATE DEPARTMENTS OF

AND THE DELAWARE DIVISION OF PUBLIC HEALTH. 15. SANITARY SEWER PROVIDER: PRIVATE ON-SITE TREATMENT PLANT & DISPOSAL SYSTEM SUBJECT TO THE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL'S REGULATIONS GOVERNING THE DESIGN, INSTALLATION AND OPERATION OF ON-SITE WASTEWATER TREATMENT AND DISPOSAL

NATURAL RESOURCES AND ENVIRONMENTAL CONTROL

16. STREETS: PRIVATE

ZONE X, 10005C0105K, AND MARCH 16, 2015 17. FEMA FLOOD ZONE, MAP #, AND DATE:

1 FOR EACH 4 PATIENT BEDS, PLUS 1 PER 2 EMPLOYEES 18. REQUIRED PARKING ON THE LARGEST SHIFT 55 (35 SINGLE UNITS AND 10 DOUBLE UNITS) NUMBER OF BEDROOMS NEEDED SPACES PER BEDROOMS **EXPECTED EMPLOYEES:** NEEDED SPACES FOR EMPLOYEES:

HANDICAP SPACES PROVIDED:

PARKING SPACES REQUIRED:

26. PROXIMITY TO T.I.D.:

27. LIMIT OF DISTURBANCE

ALL OTHER UNITS: 2 SPACES EACH 19. LOADING SPACES 2 FOR FLOOR AREA BETWEEN 25,000 - 100,000 SF BUILDING REQUIRING A LODAING SPACE 1 (INDEPENDENT LIVING FACILITY) LOADING SPACES REQUIRED 2 (FLOOR AREA BETWEEN 25,000 - 100,000 SF) LOADING SPACES PROVIDED

20. POSTED SPEED LIMIT (ROUTE 16): 50 MPH 21. STATE INVESTMENT AREA: 22. PROPOSED BUILDING HEIGHT: LESS THAN 42 FEET

23. LATITUDE AND LONGITUDE STATE PLAN COORDINATES: LONGITUDE: W075.3708 LATITUDE: N038.4916

24. WETLAND AREA: WETLANDS IMPACTED BY THE PROJECT: 0.00 AC.

25. PROPOSED DISCHARGE LOCATION: CART BRANCH / NANTICOKE RIVER QUARTER BRANCH / MARSHYHOPE CREEK UNKNOWN

AS NOTED | CHRE1901 | DMH

8.30.19 DELDOT SUBMISSION SCALE PROJECT # DRAWN BY

DRAWING NUMBER

MAINTENANCE OF TRAFFIC NOTES (03/25/2019)

- 1. ALL TEMPORARY TRAFFIC CONTROL AND TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH:
 THE CONTRACT DOCUMENTS, THE LATEST VERSION OF THE DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL
 DEVICES (HEREINAFTER REFERRED TO AS THE "DELAWARE MUTCD"), CURRENT STATE OF DELAWARE DEPARTMENT
 OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND SUPPLEMENTAL
 SPECIFICATIONS INCLUDING ALL REVISIONS AS OF THE DATE OF THE ENTRANCE PERMIT APPROVALE.
- SPECIFICATIONS, INCLUDING ALL REVISIONS AS OF THE DATE OF THE ENTRANCE PERMIT APPROVAL.

 CONTRACTOR SHALL SUPPLY MESSAGE BOARDS THAT ARE TO BE PLACED TEN (10) DAYS PRIOR TO CONSTRUCTION AND/OR TRAFFIC PATTERN CHANGES. THE MESSAGE BOARDS MUST REMAIN IN PLACE FIVE (5) DAYS AFTER WORK

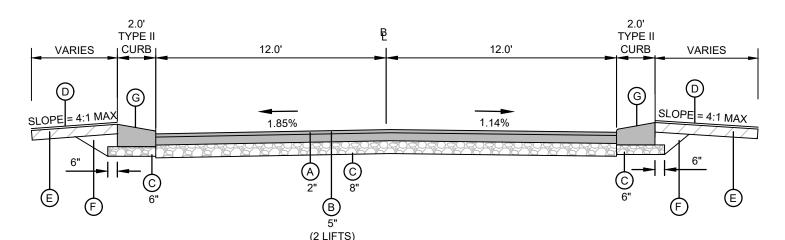
HAS STARTED AND/OR AFTER TRAFFIC PATTERN CHANGES. THE NUMBER OF MESSAGE BOARDS, LOCATIONS, AND

3. THE DEPARTMENT RESERVES THE RIGHT TO STOP THE CONTRACTOR'S OPERATIONS, IF, IN THE OPINION OF THE DEPARTMENT'S REPRESENTATIVE, THE CONTRACTOR'S OPERATIONS ARE NOT IN COMPLIANCE WITH THE DELAWARE MUTCD, THE SPECIFICATIONS OR THE PLANS OR IF THE CONTRACTOR'S OPERATIONS ARE DEEMED

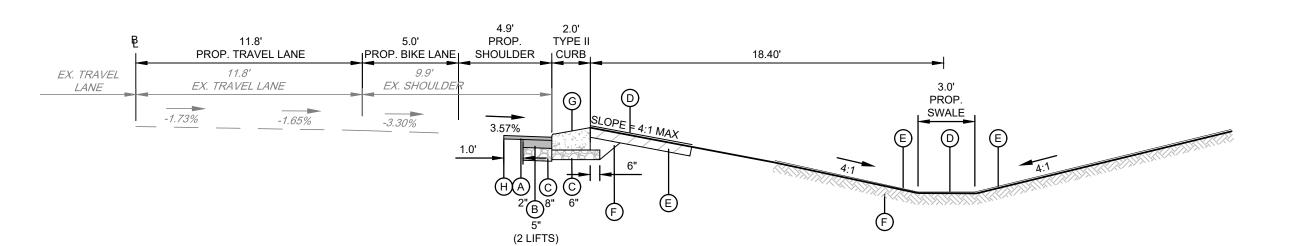
WORDING ON THE MESSAGE BOARDS SHALL BE COORDINATED WITH THE DISTRICT SAFETY OFFICER

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE LOCAL 911 CENTER, LOCAL SCHOOLS AND DELDOT COMMUNITY RELATIONS OF ALL ROADS AND LANES TO BE CLOSED A MINIMUM OF SEVEN (7) CALENDAR DAYS
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE TRANSPORTATION MANAGEMENT CENTER IS NOTIFIED EACH AND EVERY DAY WHEN WORK IS BEING PERFORMED IN STATE RIGHT-OF-WAY. THE CONTRACTOR SHALL IDENTIFY THE TYPE OF WORK, ANY LANE(S) OR SHOULDER(S) CLOSED, THE LENGTH OF TIME FOR WORK, WHEN THE LANE RESTRICTIONS ARE IN PLACE AND WHEN LANE RESTRICTIONS ARE LIFTED, CONTACT PERSON/PHONE NUMBER AND STATE INSPECTOR. THE TRANSPORTATION MANAGEMENT CENTER CAN BE REACHED AT (302) 659-4600.
- 6. WHEN SIDE ROADS INTERSECT THE WORK ZONE, ADDITIONAL TRAFFIC CONTROL DEVICES SHALL BE ERECTED INCLUDING PERMANENT WARNING SIGNS.
- 7. ALL STORAGE OF EQUIPMENT AND MATERIAL SHALL COMPLY WITH THE DELAWARE MUTCD, SECTION 6G.21.
- ALL PAVEMENT MARKINGS THAT ARE NO LONGER IN USE AND CONFLICT WITH TEMPORARY PAVEMENT MARKINGS SHALL BE REMOVED AND COMPLETELY OBLITERATED BY A METHOD APPROVED BY THE ENGINEER. PAINTING OVER THE CONFLICTING PAVEMENT MARKINGS WILL NOT BE ACCEPTED AS A METHOD OF REMOVAL.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF EXISTING PAVEMENT WITHIN THE PROJECT LIMITS
- TYPICAL APPLICATIONS PER THE DELAWARE MUTCD SHALL BE INCORPORATED TO ACHIEVE REQUIRED TEMPORARY TRAFFIC CONTROL AND SAFETY REQUIREMENTS. THIS PROJECT IS SUBJECT TO THE FOLLOWING TYPICAL APPLICATIONS UNLESS DIRECTED OTHERWISE BY THE DELDOT DISTRICT SAFETY OFFICER: TYPICAL APPLICATION 3: "WORK ON THE SHOULDER OF A TWO-LANE ROAD" (TA-3); TYPICAL APPLICATION 10: "LANE CLOSURE ON A TWO-LANE ROAD USING FLAGGERS" (TA-10) AND TYPICAL APPLICATION 11B: "LANE DIVERSION ON A TWO-LANE ROAD WITH LOW TRAFFIC VOLUMES" (TA-11B).
- 10. WITHIN THE MAINLINE WORK AREA, PERMANENT ADVANCE WARNING SIGNS WITH THE LEGENDS ROAD WORK AHEAD SHALL BE INSTALLED IN ADVANCE OF THE WORK AREA IN BOTH DIRECTIONS. AN END ROAD WORK SIGN SHALL BE LOCATED 500 FEET DOWNSTREAM FROM THE WORK AREA. ON INTERSECTING ROADWAYS WITHIN THE PROJECT LIMITS, A ROAD WORK AHEAD SIGN SHALL BE PLACED AT A DISTANCE NOT LESS THAN 500 FEET IN ADVANCE OF THE WORK AREA. ALL PERMANENT ADVANCE WARNING SIGNS SHALL BE GROUND MOUNTED ON TWO NCHRP-350 OR MASH APPROVED BREAKAWAY POSTS AND SHALL BE MOUNTED IN COMPLIANCE WITH THE DELAWARE MUTCD. PERMANENT ADVANCE WARNING SIGNS SHALL BE MOUNTED AT A HEIGHT OF 7 FEET, MEASURED FROM THE ROADWAY TO THE BOTTOM OF THE SIGN. THE USE OF SKID MOUNTED SIGN SUPPORTS IS NOT ALLOWED UNLESS THE CONTRACTOR CAN DEMONSTRATE THAT A UTILITY CONFLICT EXISTS, WHICH SHALL BE VERIFIED BY THE DISTRICT SAFETY OFFICER; OR CONCRETE MEDIANS PREVENT THE INSTALLATION OF THE PERMANENT ADVANCE WARNING SIGNS IN THE APPROPRIATE LOCATION.
- 11. THE USE OF MILLINGS AND GRADED AGGREGATE BASE COURSE (GABC) IN THE TRAVEL WAY, TEMPORARY TRAVEL WAY, HIGH VOLUME ENTRANCES AND ACCESS RAMP FOR THE PURPOSE OF PROVIDING A TEMPORARY ROADWAY SURFACE, POTHOLE REPAIR, TAPERED EDGE FOR UTILITIES, BUTT JOINTS, AND LONGITUDINAL DROP-OFFS (MILLING AND PAVING OPERATIONS) IS PROHIBITED UNLESS IT IS OTHERWISE DESIGNATED TO BE USED IN THE CONTRACT PLANS. USE COLD PATCH, BITUMINOUS CONCRETE, BITUMINOUS CONCRETE WEDGE, OR TAPER MILL, AS NOTED IN THE CONTRACT DOCUMENTS OR APPROVED BY THE ENGINEER.
 - MILLINGS OR GABC SHALL BE USED AT THE FOLLOWING LOCATIONS WHERE ACCESS TO A BUSINESS, RESIDENCE, OR EDGE DROP OFF NEEDS TO BE MAINTAINED UNLESS OTHERWISE NOTED IN THE PLANS OR DIRECTED BY THE ENGINEER TO USE BITUMINOUS CONCRETE OR COLD PATCH. ALL MILLINGS AND GABC WILL BE ROLLED AND COMPACTED TO HELP PREVENT THE MATERIAL FROM UNRAVELLING:
 - a. DRIVEWAYSb. ENTRANCES
- c. LOW VOLUME ACCESS RAMPS (IDENTIFIED IN THE CONTRACT DOCUMENTS)
 EDGE DROP-OFFS ADJACENT TO LIVE ROADWAY (LANES AND SHOULDER) AND THE PROPOSED ROAD
- CONSTRUCTION
 e. EDGE OF ROADWAY DROP-OFF
- THE BASE COURSE MATERIAL SHALL BE PLACED AT NO GREATER THAN THE SLOPE SPECIFIED IN THE DELAWARE MUTCD, TABLE 6G-1 AND SHALL BE COMPACTED.
- VERTICAL DIFFERENCES SHALL BE CORRECTED IN ACCORDANCE WITH THE DELAWARE MUTCD, TABLE 6G-1.
- 13. ACCEPTABLE MATERIALS FOR TEMPORARY PEDESTRIAN PATHS SHALL INCLUDE CONCRETE, HOT-MIX, COMPACTED MILLINGS OR PLYWOOD WALKWAY STRUCTURE. PLYWOOD WALKWAY STRUCTURES SHALL ALSO INCLUDE DETECTABLE EDGING AND RAILINGS IN ACCORDANCE WITH ADA GUIDELINES AND THE DELAWARE MUTCD. STONE OR GRADED AGGREGATE BASE COURSE SHALL NOT BE USED FOR TEMPORARY PEDESTRIAN PATHS.
- 14. THE CONTRACTOR SHALL ADD THE BICYCLE IN LANE (W11-1-DE) SIGN TO THE TYPICAL APPLICATION SIGNING STACK DURING CONSTRUCTION ACTIVITIES THAT RESTRICT USE OF THE EXISTING SHOULDER/BIKE LANE.

[INSERT THE ALLOWABLE LANE CLOSURE HOURS MATRIX, PROVIDED BY DELDOT TRAFFIC SAFETY]

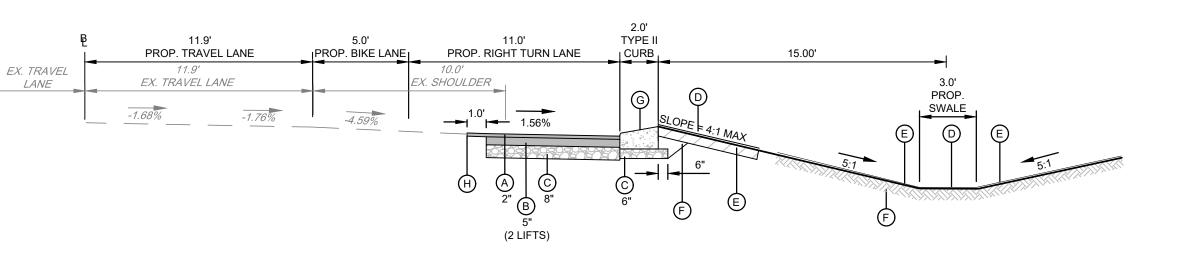


ENTRANCE TYPICAL SECTION STA 0+58

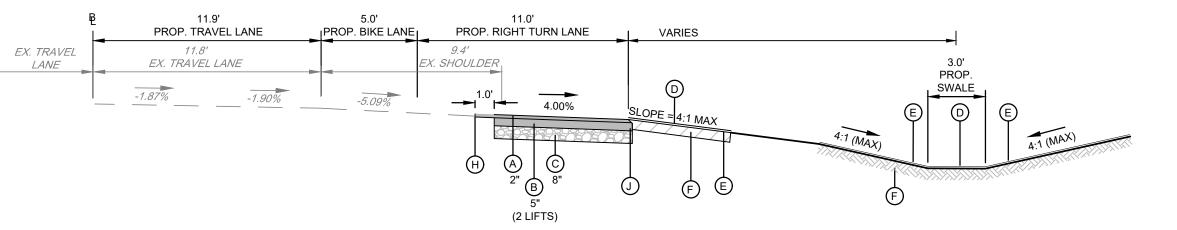


SCR 16 TYPICAL SECTION STA 4+14

NOT TO SCALE



SCR 16 TYPICAL SECTION STA 3+30
NOT TO SCALE



SCR 16 TYPICAL SECTION STA 1+35 - 3+05
NOT TO SCALE

- (A) ITEM 401005 SUPERPAVE TYPE C, PG 64-22
-) ITEM 401014 SUPERPAVE TYPE B, PG 64-22
- © ITEM 301001 GRADED AGGREGATE BASE COURSE. TYPE B
- (D) ITEM 908020 EROSION CONTROL BLANKET MULCH, TYPE 3 FOR 1 ROLL WITH MINIMUM 6' OF WIDTH
- E ITEM 908004 TOPSOIL, 6" DEPTH OR ITEM 908010 TOPSOILING, 6" DEPTH ITEM 908014 PERMANENT GRASS SEEDING, DRY GROUND
- F) ITEM 209006 BORROW, TYPE F
- ITEM 701014 PORTLAND CEMENT CONCRETE CURB TYPE 2
- SAWCUT AND REMOVE EXISTING PAVEMENT.
 CONNECT NEW PAVEMENT TO EXISTING PER
- TYPICAL PAVEMENT TIE-IN DETAIL.
- SAFETY EDGE (PER DELDOT DETAIL)

 NOTE: SUBGRADE SHALL BE PREPARED IN
 ACCORDANCE WITH
 DELDOT STANDARD SPECIFICATIONS.

DELDOT GENERAL CONSTRUCTION NOTES

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.

 2. ALL MATERIALS AND WORKMANSHIP WITHIN THE STATE OF DELAWARE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CURRENT STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SUPPLEMENTAL SPECIFICATIONS, STANDARD CONSTRUCTION DETAILS, SPECIAL PROVISIONS AND DESIGN GUIDANCE MEMORANDI MAS
- 3. ALL DISTURBED AREAS WITHIN THE STATE RIGHT-OF-WAY, BUT NOT IN THE PAVEMENT, SHALL BE TOP-SOILED (6" MINIMUM), FERTILIZED, SEEDED AND MULCHED. IF SOD IS USED NEXT TO SIDEWALK OR SHARED-USE PATH, CONTRACTOR SHALL GRADE TOPSOIL ADJACENT TO THE SIDEWALK OR SHARED-USE PATH PRIOR TO PLACEMENT OF SOD TO ENSURE THAT SOD IS PLACED FLUSH OR JUST BELOW EDGE OF SIDEWALK OR SHARED-USE PATH TO AVOID WATER PONDING ON THE SIDEWALK OR SHARED-USE PATH.
- 4. A 72-HOUR (MINIMUM) NOTICE SHALL BE GIVEN TO THE DELDOT DISTRICT PERMIT SUPERVISOR PRIOR TO STARTING ENTRANCE CONSTRUCTION.
- 5. MISS UTILITY OF DELAWARE SHALL BE NOTIFIED THREE (3) CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.

 THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S
- DEVELOPMENT COORDINATION MANUAL.

 7. AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR, ANY DAMAGED OR MISSING CURB OR SIDEWALK FOUND ON SITE WILL NEED
- TO BE REPAIRED OR REPLACED TO MEET CURRENT DELDOT STANDARDS.

 8. ALL SIGNING, STRIPING AND MAINTENANCE OF TRAFFIC IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL FOLLOW THE GUIDELINES SHOWN IN THE DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (DELAWARE MUTCD) FOR STREETS AND HIGHWAYS (LATEST EDITION AT THE DATE OF THE ENTRANCE PERMIT APPROVAL). THE DEVELOPER OR PROPERTY OWNERS SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL SIGNS INSTALLED AS PART OF THIS PROJECT.
- 9. PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE DELDOT INSPECTOR.
- 10. A COPY OF THE-UP-TO DATE APPROVED CONSTRUCTION DOCUMENTS AND DELDOT APPROVAL LETTERS SHALL BE MAINTAINED ON THE PROJECT SITE AT ALL TIMES AND BE AVAILABLE FOR INSPECTION BY DELDOT PERSONNEL.
 11. EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48-HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL
- CONTACT MISS UTILITY OF DELAWARE (SEE NOTE #5).

 12. SHOULD UTILITY RELOCATION BE REQUIRED, THE DEVELOPER MUST SUBMIT A UTILITY RELOCATION PLAN FOR DELDOT REVIEW, ALONG WITH CORRESPONDENCE FROM THE UTILITY COMPANIES STATING PRELIMINARY APPROVAL TO THE RELOCATION AND DESIGN OF THE UTILITIES PRIOR TO THE DELDOT PRE-CONSTRUCTION MEETING. NO PHYSICAL CONSTRUCTION CAN OCCUR UNTIL THE UTILITY PLANS ARE APPROVED, THE INDIVIDUAL UTILITY COMPANIES ISSUE FINAL APPROVAL, AND A DELDOT UTILITY PERMIT IS
- ISSUED TO THE UTILITY COMPANY.

 13. UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. THESE DISTURBED AREAS SHALL BE TOP-SOILED (6" MINIMUM), FERTILIZED, SEEDED AND MULCHED. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH THE DEVELOPMENT COORDINATION MANUAL.
- 14. DELDOT WILL NOT PROVIDE THE RESPECTIVE LOCAL LAND USE AGENCY WITH A 'NO OBJECTION TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY NOTICE' UNTIL THE ENTRANCE(S) ARE COMPLETED TO THE SATISFACTION OF THE DEPARTMENT.
- 5. DESIGN, FABRICATION AND INSTALLATION OF ALL PERMANENT SIGNING SHALL BE AS OUTLINED IN THE LATEST VERSION OF THE
- 16. DESIGN AND INSTALLATION OF ALL PAVEMENT MARKINGS AND STRIPING SHALL BE AS OUTLINED IN THE LATEST VERSION OF THE DELAWARE MUTCD. FOR FINAL PERMANENT PAVEMENT MARKINGS:
- a. EPOXY RESIN PAINT SHALL BE REQUIRED FOR LONG LINE STRIPING.
 b. THERMO PLASTIC (EXTRUDED OR PREFORMED MATERIAL) WILL BE REQUIRED ON ASPHALT SURFACES, FOR SHORT LINE STRIPING, I.E. SYMBOLS/LEGENDS.
- c. PERMANENT PAVEMENT MARKING TAPE (PER DELDOT'S APPROVED MATERIALS LIST) WILL BE REQUIRED ON CONCRETE SURFACES, FOR SHORT LINE STRIPING, I.E. SYMBOLS/LEGENDS.
 17. REMOVAL OF PAVEMENT MARKING PAINT OR TAPE SHALL COMPLY WITH SECTION 5.11.2 OF THE DEVELOPMENT COORDINATION
- 18. BREAKAWAY POSTS SHALL BE USED WHEN INSTALLING ALL SIGNS. REFERENCE DELDOT'S STANDARD CONSTRUCTION DETAILS, SECTION VIII TRAFFIC, T-15.
- 19. MAINTENANCE OF THE STREETS WITHIN THIS DEVELOPMENT WILL BE THE RESPONSIBILITY OF THE DEVELOPER. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- 20. CURB:

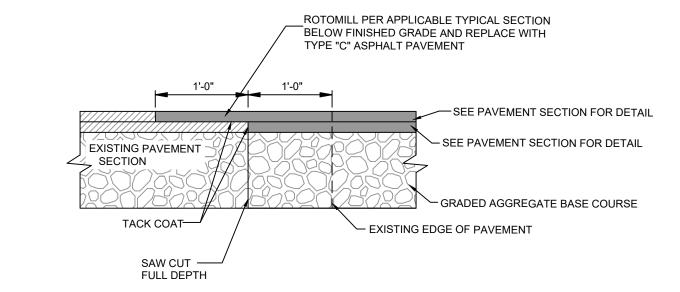
 a. THE ENDS OF ALL CURBS SHALL BE TRANSITIONED TO BE FLUSH WITH THE PAVEMENT AT A RATIO OF TWELVE TO ONE (12:1).
- b. WHERE CURB TYPE AND/OR HEIGHT IS BEING VARIED, TAPER CURB PER THE DELDOT INSPECTOR (TYPICAL FOR BOTH SIDES OF THE ENTRANCE).
 ALL FIXED OBJECTS ARE TO BE A MINIMUM OF 10-FEET FROM THE EDGE OF TRAVEL LANE AND 5-FEET FROM THE EDGE OF PAVEMENT.
- REFERENCE SECTION 5.5.5 OF THE DEVELOPMENT COORDINATION MANUAL. ANY FIXED OBJECT THAT DOES NOT MEET THIS REQUIREMENT SHALL BE RELOCATED.

 22. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL PAVING WITHIN THE STATE OF DELAWARE RIGHT-OF-WAY IS
- INSTALLED TO THE ELEVATIONS SHOWN AND NO PONDING OF WATER EXISTS AFTER PAVING IS COMPLETE.

 23. ALL STORM DRAIN PIPING DESIGNATED AS REINFORCED CONCRETE PIPE IS TO BE REINFORCED CONCRETE PIPE, MEETING AASHTO
- M-170 SPECIFICATIONS. SEE PLANS FOR SPECIFIC CLASS OF PIPE.
- ALL PROPOSED CLOSED STORMDRAIN SYSTEMS SHALL BE VIDEO INSPECTED, REPAIRED AS NECESSARY AND APPROVED PRIOR TO THE INSTALLATION OF FINAL PAVING. IF REPAIRS ARE NEEDED, THE REPAIRED PIPE SECTIONS WILL NEED TO BE VIDEO INSPECTED AGAIN BEFORE THE REPAIR CAN BE APPROVED.

 THE DEVELOPER AND EXISTING/FUTURE OWNER OF NON-STATE-MAINTAINED ROADWAYS SHALL ENSURE THAT THE TRAFFIC
- CONTROL DEVICES ON SAID ROADWAYS OPEN TO PUBLIC TRAVEL ARE IN COMPLIANCE WITH THE LATEST VERSION OF THE DELAWARE MUTCD.
- ALL SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM STANDARD T-99 DRY DENSITY.

 FOR INFORMATION ON OBTAINING A UTILITY PERMIT IN SUSSEX COUNTY CONTACT M&O-SOUTH DISTRICT-PUBLIC WORKS AT (302)
- FOR INFORMATION ON GETTING APPROVAL FOR PROPOSED OUTDOOR ADVERTISING IN SUSSEX COUNTY CONTACT M&O-SOUTH DISTRICT-PUBLIC WORKS AT (302) 853-1327



TYPICAL PAVEMENT TIE-IN DETAIL

NOT TO SCALE

TYPICAL SECTIONS

TYPICAL SECTIONS

TYPICAL SECTIONS

TYPICAL SECTIONS

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SCR 16 (HICKMAN ROAD)
ENTRANCE CONSTRUCTION PLAN;
NORTHWEST FORK HUNDRED, SUSSEX COUNT

ISSUE / REVISION BLOO

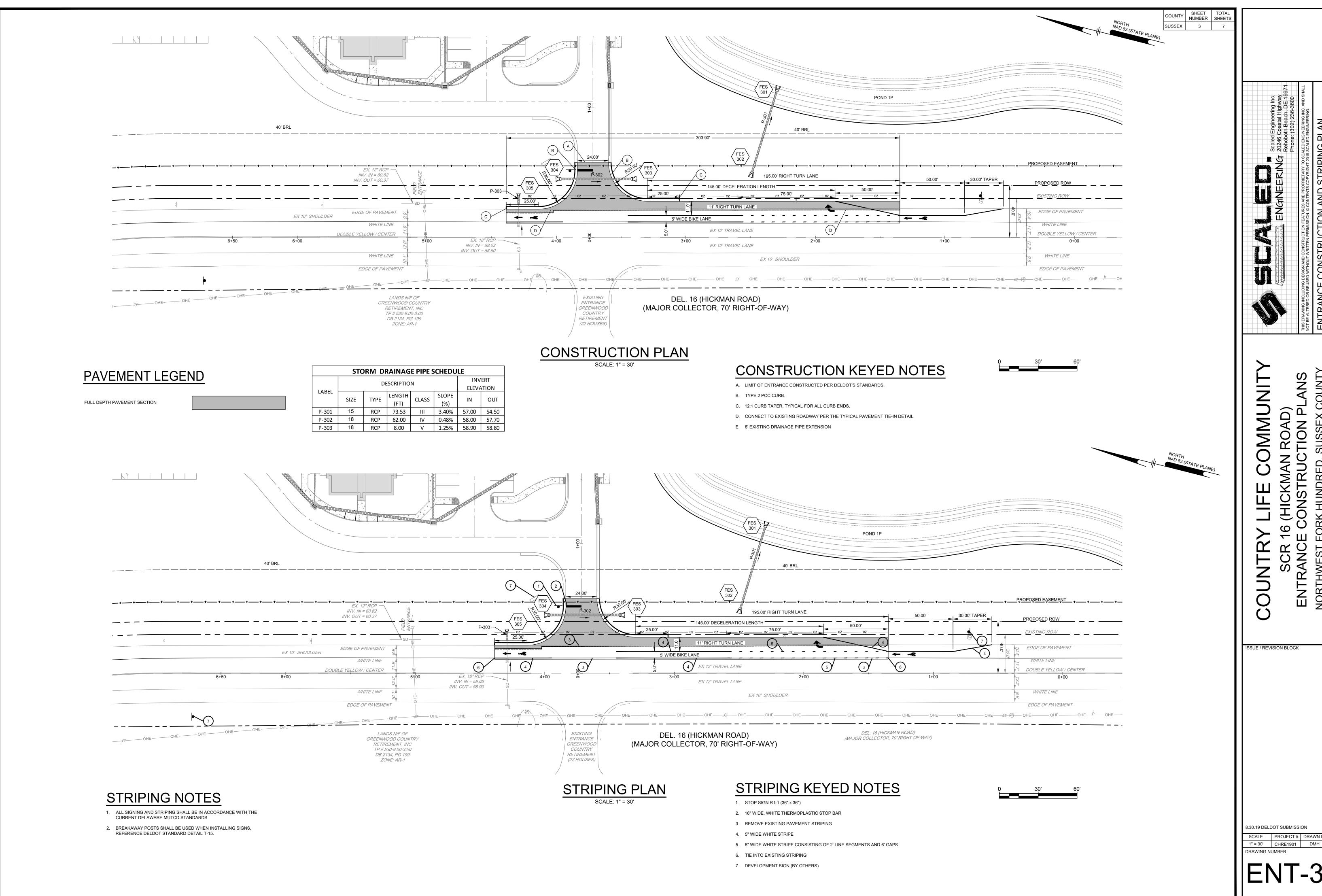
8.30.19 DELDOT SUBMISSION

SCALE PROJECT # DRAWN B

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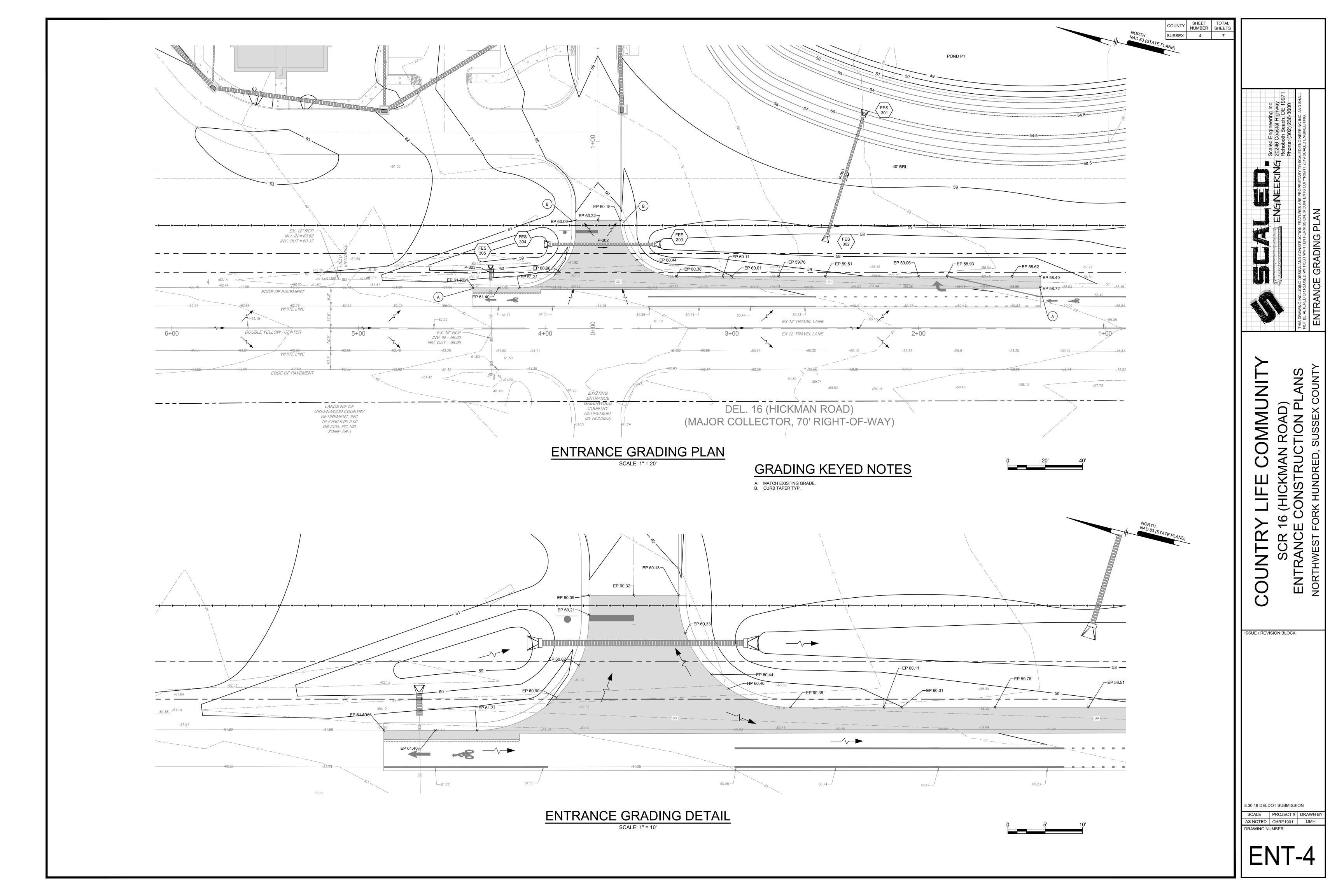
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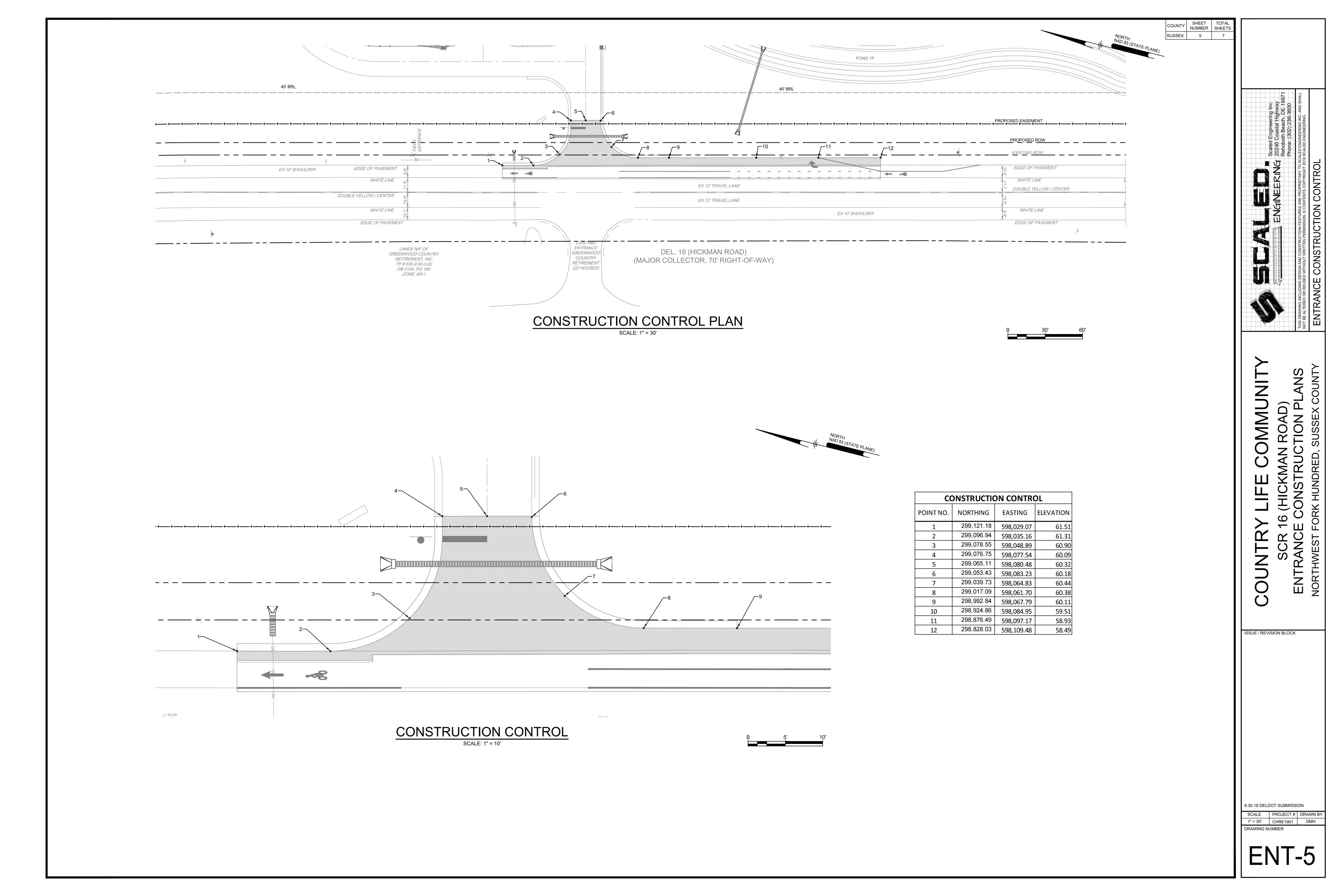
AS NOTED | CHRE1901 | DMH

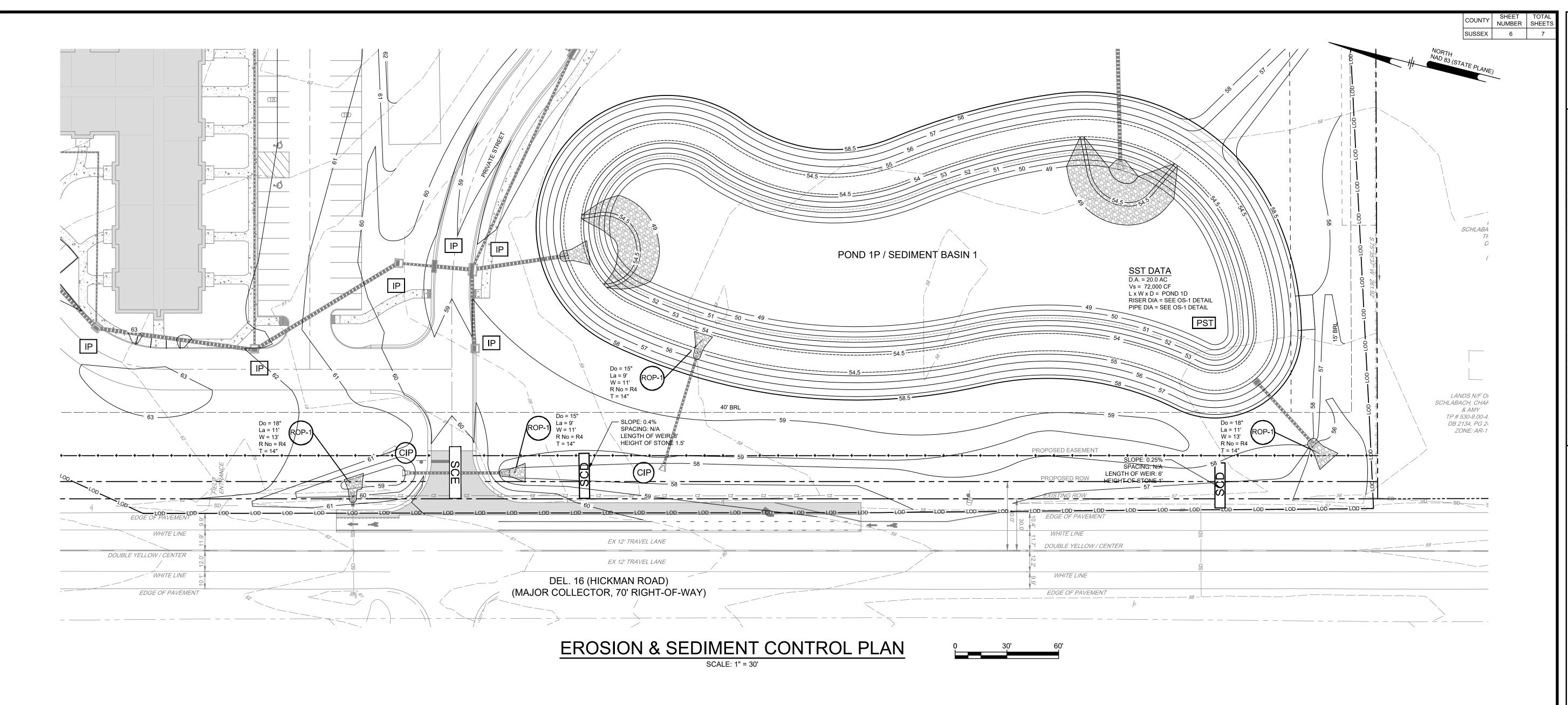


ISSUE / REVISION BLOCK

8.30.19 DELDOT SUBMISSION







SEQUENCE OF CONSTRUCTION

- 1. CONTRACTOR SHALL NOTIFY THE SUSSEX CONSERVATION DISTRICT IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- 2. PRIOR TO ANY CLEARING, INSTALLATION OF SEDIMENT CONTROL MEASURES OR GRADING, A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED AND CONDUCTED WITH THE SCD CONSTRUCTION SITE REVIEWER. THE LANDOWNER/DEVELOPER, CONTRACTOR AND CERTIFIED CONSTRUCTION REVIEWER ARE REQUIRED TO BE IN ATTENDANCE AT THE PRE-CONSTRUCTION MEETING; THE DESIGNER IS RECOMMENDED TO ATTEND.
- 3. CLEAR AND GRUB AREAS AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS.
- 4. INSTALL SILT FENCE, CULVERT INLET PROTECTION, AND OTHER MEASURES IDENTIFIED AT THE PRE-CONSTRUCTION MEETING.
- 5. ALL PERIMETER CONTROLS ARE TO BE REVIEWED BY THE SCD CONSTRUCTION SITE REVIEWER AND APPROVED PRIOR TO PROCEEDING WITH FURTHER SITE DISTURBANCE.
- 6. ESTABLISH STABILIZED CONSTRUCTION ENTRANCE AND SOIL STOCKPILE AREA, REFER TO THE STANDARD DNREC DETAIL.
- 7. CLEAR AND GRUB THE SITE.
- 8. THE CONTRACTOR SHALL AT TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHOULD BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENTATION ON THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR REPAIR MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE SCD CONSTRUCTION SITE REVIEWER.
- 9. NOTIFY THE PERSON RESPONSIBLE FOR STORMWATER SYSTEM CONSTRUCTION REVIEW AT LEAST (3) DAYS PRIOR TO THE START OF THE STORMWATER SYSTEM CONSTRUCTION; STORMWATER FACILITIES MUST BE REVIEWED THROUGHOUT THEIR CONSTRUCTION.
- 10. BULK GRADE THE SITE AND CONSTRUCT THE TEMPORARY SEDIMENT TRAP. INSTALL SKIMMER DEVICE ON OS-1.
- 11. MINIMIZE CLEARING AND GRADING OPERATIONS TO AREAS NECESSARY FOR IMMEDIATE CONSTRUCTION ACTIVITY.
- 12. INSTALL WATER, SEWER, STORMDRAIN PIPES AND STRUCTURES, ELECTRIC, AND OTHER UTILITIES. PLACE THE APPLICABLE INLET PROTECTION, TYPE 1, TYPE 2, OR TYPE 3, ON THE INLETS.
- 13. CONSTRUCT THE SITE ENTRANCE/ROAD IMPROVEMENTS, INSTALL CURB, AND PAVE THE SITE.
- 14. RESTORE ALL DISTURBED AREAS NOT COVERED BY GRAVEL OR PAVED ROADS TO PERMANENT STABILIZATION IN ACCORDANCE WITH THE TOPSOILING AND PERMANENT VEGETATION EROSION AND SEDIMENT CONTROL DETAILS. ALL DISTURBED AREA SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL.
- 15. CONVERT TEMPORARY SEDIMENT TRAP 1 INTO WET POND 1P
- 16. EROSION AND SEDIMENT CONTROL DEVICES SHOULD BE REMOVED ONLY AFTER WORK IN AN AREA HAS BEEN COMPLETED AND STABILIZED, WITH WRITTEN APPROVAL FROM THE SCD CONSTRUCTION SITE REVIEWER.
- 17. REMOVE STABILIZED CONSTRUCTION ENTRANCE AND SOIL STOCKPILE AREA.
- 18. UPON COMPLETE OF THE PROJECT, AND APPROVAL FROM AGENCIES, REMOVE ANY REMAINING EROSION CONTROL MEASURES.
- 19. THE TERMINATION OF THE CONSTRUCTION GENERAL PERMIT WILL REQUIRE SUBMISSION AND ACCEPTANCE OF THE POST CONSTRUCTION VERIFICATION DOCUMENTS, INCLUDING FINAL STABILIZATION THROUGHOUT THE SITE, ALL ELEMENTS OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN IMPLEMENTED AND ACCEPTANCE OF THE FINAL OPERATION AND MAINTENANCE PLAN

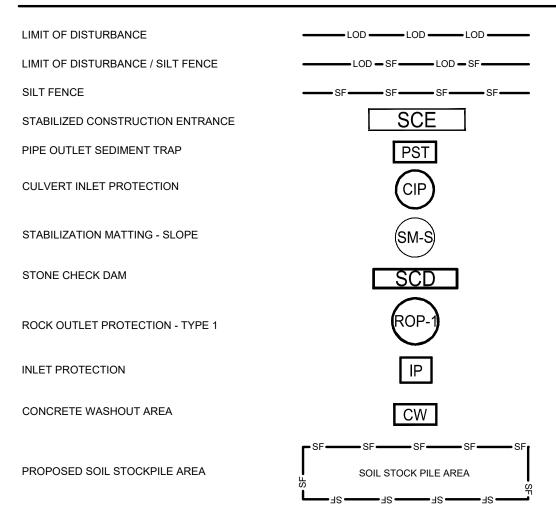
SEDIMENT AND STROMWATER CONSTRUCTION NOTES

- THE SUSSEX CONSERVATION DISTRICT AND STORMWATER PROGRAM MUST BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- 2. REVIEW AND/OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- 3. IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY DNREC AND/OR THE SUSSEX CONSERVATION DISTRICT.
- 4. FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER CONTROLS, STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
- 5. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- 6. AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHALL BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
- 7. APPROVED PLANS REMAIN VALID FOR 5 YEARS FROM THE DATE OF APPROVAL.
- POST CONSTRUCTION VERIFICATION DOCUMENTS ARE TO BE SUBMITTED TO THE SUSSEX CONSERVATION DISTRICT SEDIMENT AND STORMWATER PROGRAM WITHIN 60-DAYS OF STORMWATER MANAGEMENT FACILITY COMPLETION.
 APPROVAL OF A SEDIMENT AND STORMWATER MANAGMENT PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL
- THE NOTICE OF INTENT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER A NPDES **GENERAL PERMIT FOR THIS PROJECT IS ###**. AT ANY TIME THE OWNERSHIP FOR THIS PROJECT CHANGES, A TRANSFER OF AUTHORIZATION OR A CO-PERMITTE APPLICATION MUST BE SUBMITTED TO DNREC. THE PERMITTEE OF RECORD SHALL NOT BE RELIEVED OF THEIR RESPONSIBILITIES UNTIL A NOTICE OF TERMINATION HAS BEEN PROCESSED BY DNREC.

AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.

- 11. THE OWNER SHALL BE FAMILIAR WITH AND COMPLY WITH ALL ASPECTS OF THE NPDES CONSTRUCTION GENERAL PERMIT ASSOCIATED WITH THE PROJECT, INCLUDING, BUT NOT LIMITED TO, PERFORMING WEEKLY SITE INSPECTIONS DURING CONSTRUCTION AND AFTER RAIN EVENTS, AND MAINTAINING WRITTEN LOGS OF THESE
- 12. BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CALL MISS UTILITY AT 811 OR 1-800-282-8555 AT LEASE 48 HOURS PRIOR TO CONSTRUCTION, TO HAVE ALL EXISTING UTILITIES MARKED ONSITE.
- THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
- 14. BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7. Del C. Ch 60, REGULATIONS GOVERNING THE CONTROL OF WATER POLLUTION, SECTION 9.1.02, KNOWN AS SPECIAL CONDITIONS FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, AND DEPARTMENT POLICIES, PROCEDURES, AND GUIDANCE.
- DOCUMENTATION OF SOIL TESTING AND MATERIALS USED FOR TEMPORARY OR PERMANENT STABILIZATION INCLUDING BUT NOT LIMITED TO SOIL TEST RESULTS, SEED TAGS, SOIL AMENDMENT TAGS, ETC. SHALL BE PROVIDED TO THE SUSSEX CONSERVATION DISTRICT TO VERIFY THAT THE PERMANENT OR TEMPORARY STABILIZATION HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLAN AND THE STANDARDS AND SPECIFICATIONS OF THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION. THE SUSSEX CONSERVATION DISTRICT SHALL HAVE THE DISCRETION TO REQUIRE ADDITIONAL SOIL TESTING AND REAPPLICATION OF PERMANENT OR TEMPORARY STABILIZATION IN ACCORDANCE WITH THE SPECIFICATION PROVIDED IN THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.

EROSION AND SEDIMENT CONTROL LEGEND



SCR 16 (HICKMAN ROAD)

INTRANCE CONSTRUCTION PLANS

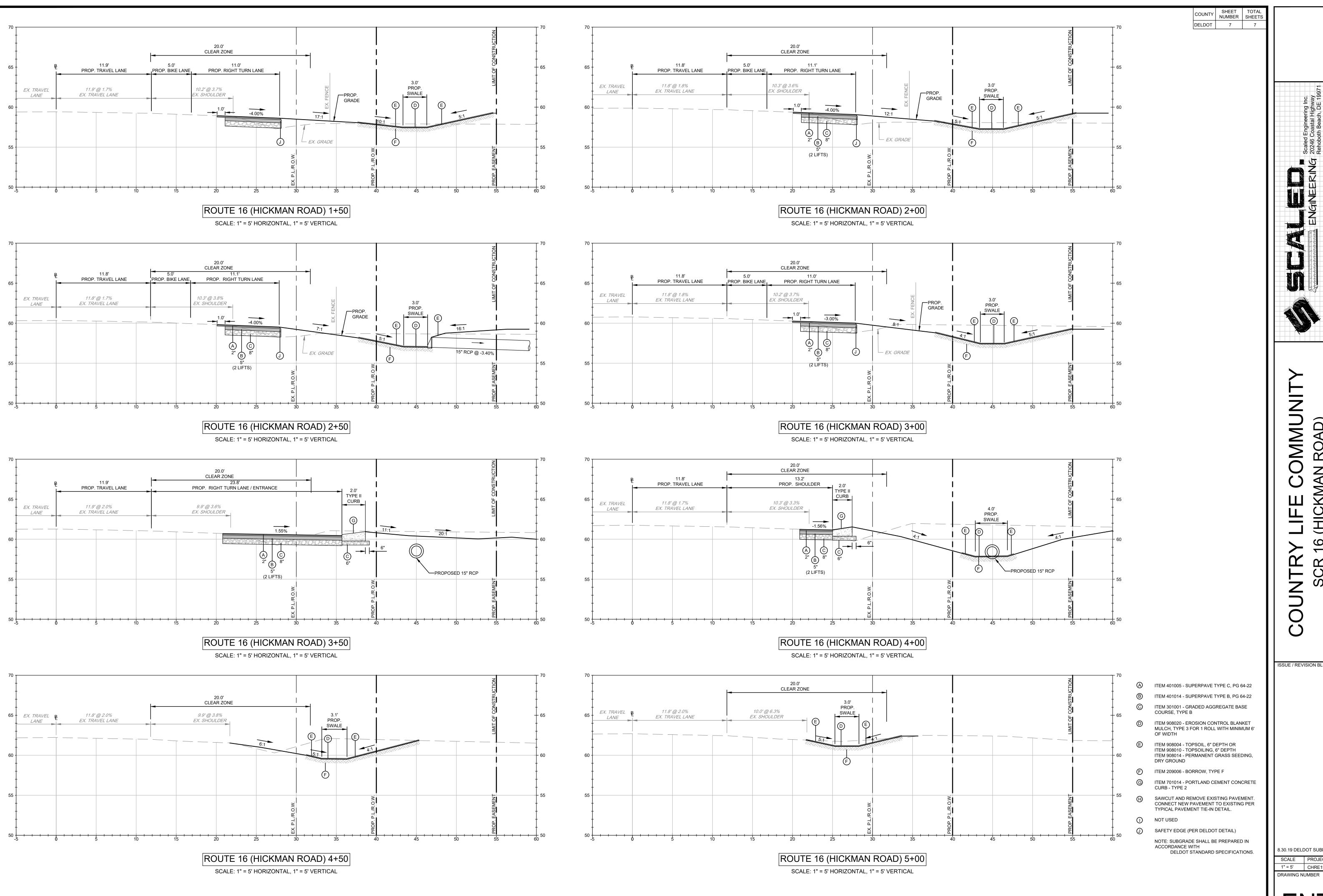
ORTHWEST FORK HUNDRED, SUSSEX COUNTY

8.30.19 DELDOT SUBMISSION

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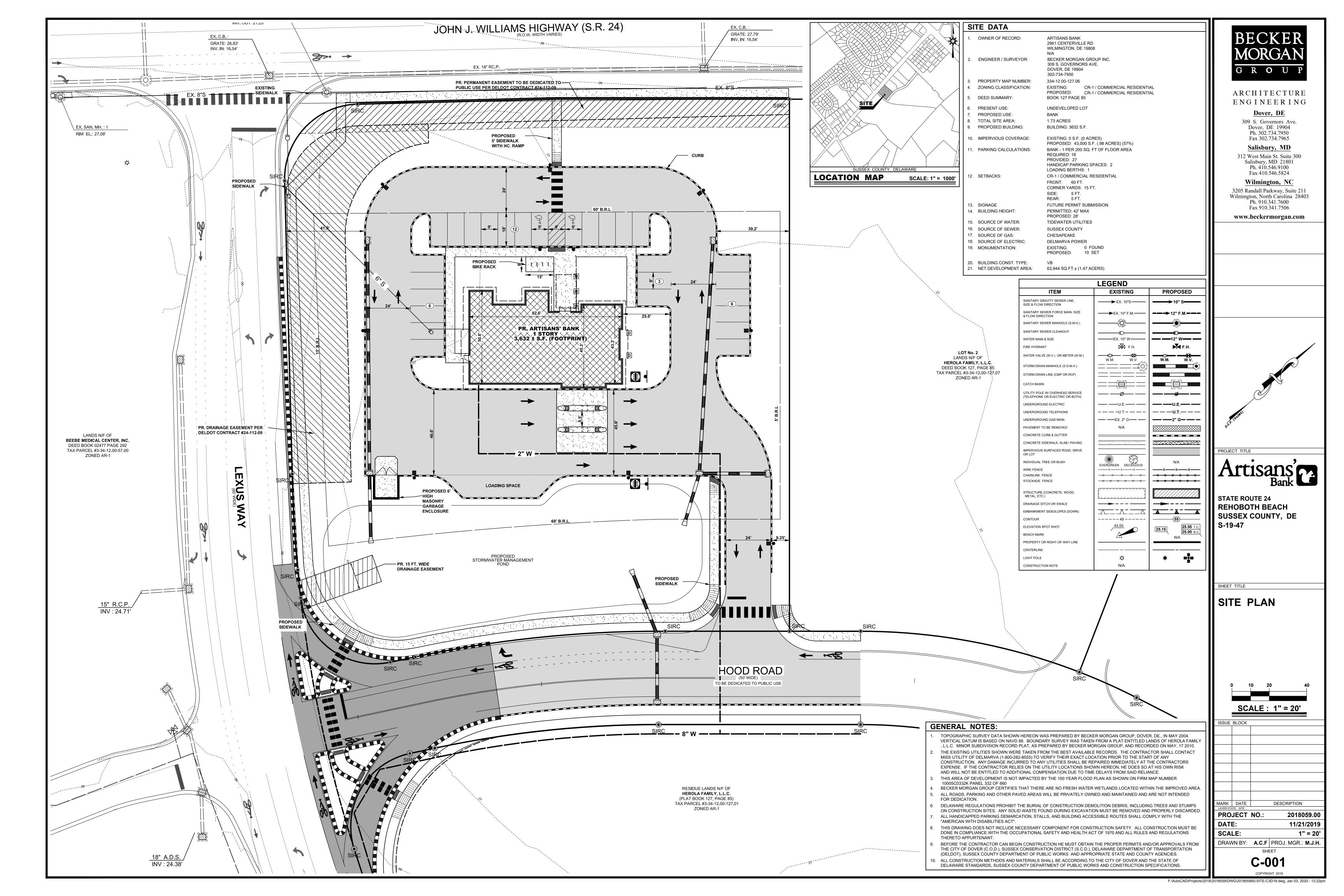
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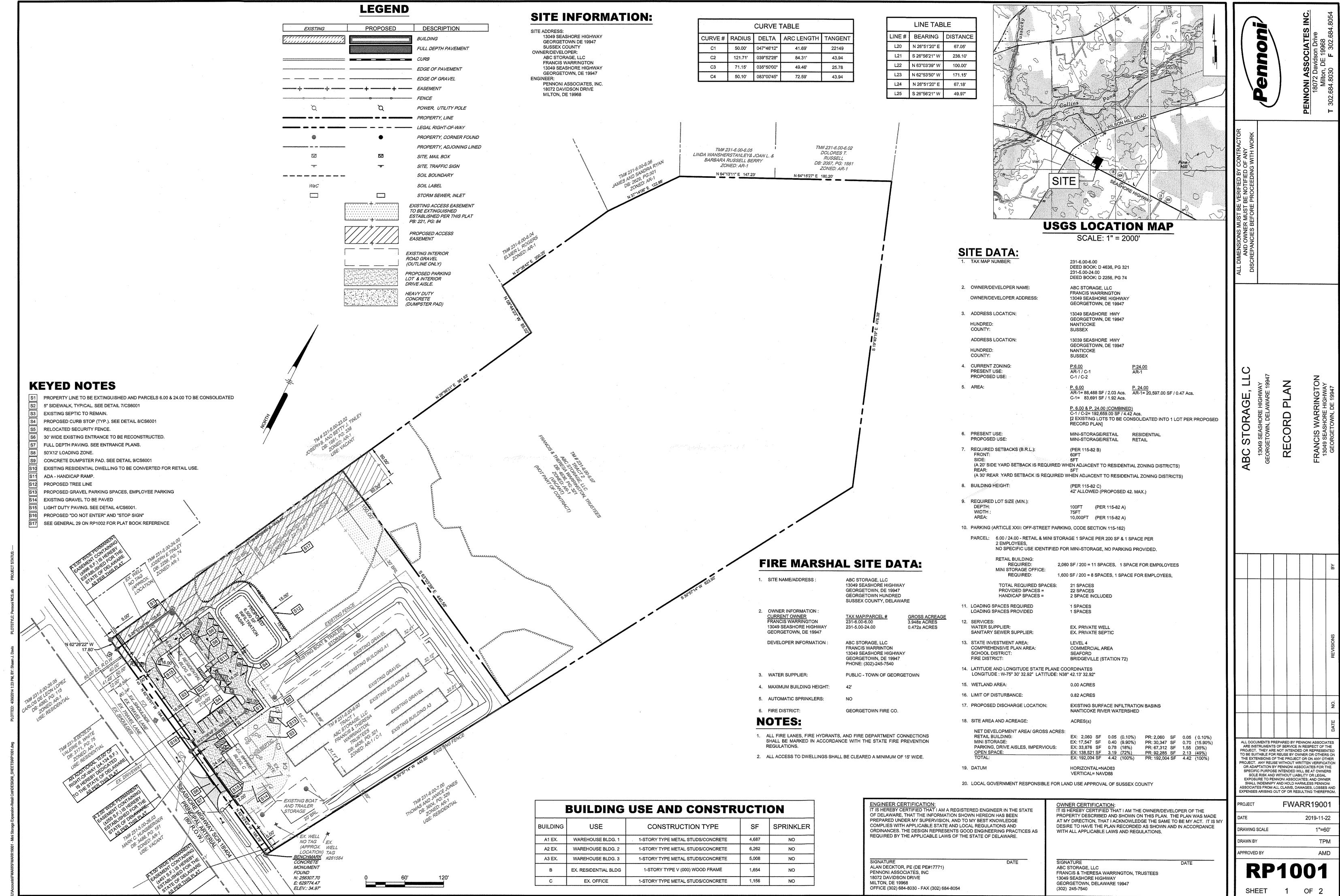
1" = 30' CHRE1901 DMH



LINOMMO

8.30.19 DELDOT SUBMISSION SCALE PROJECT # DRAWN BY
1" = 5' CHRE1901 DMH





GENERAL NOTES:

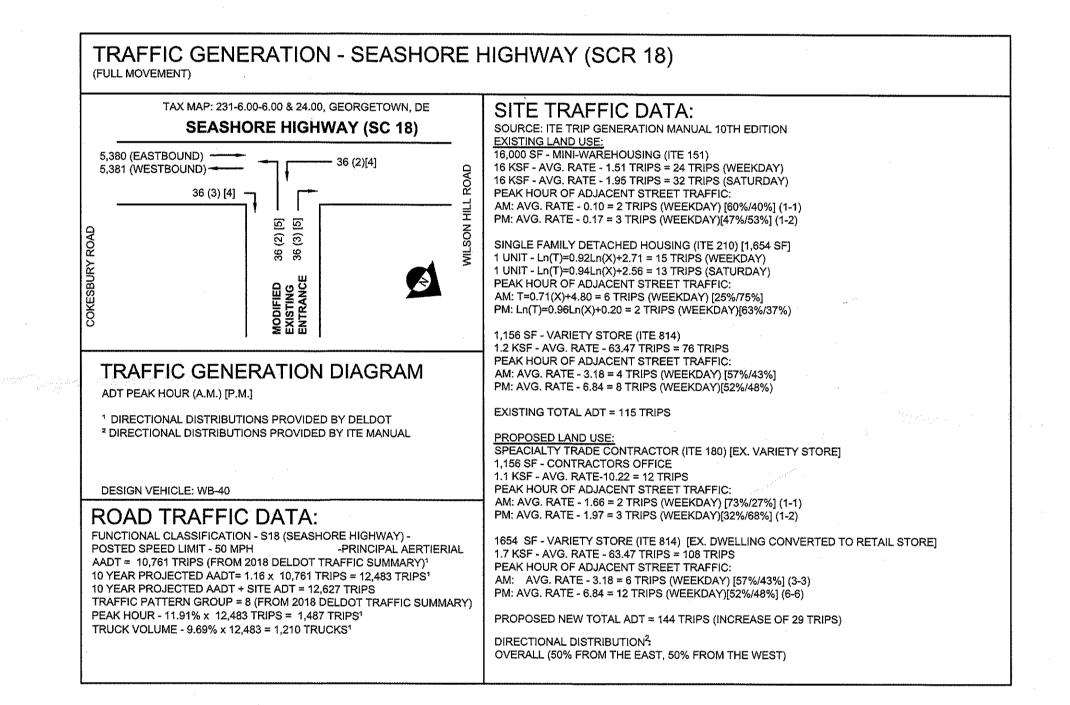
- 1. ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY
- 2. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN THE PLAN.
- 3. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS
- 4. ALL MATERIALS SHALL BE NEW AND SHALL BE ASBESTOS AND VERMICULITE FREE.

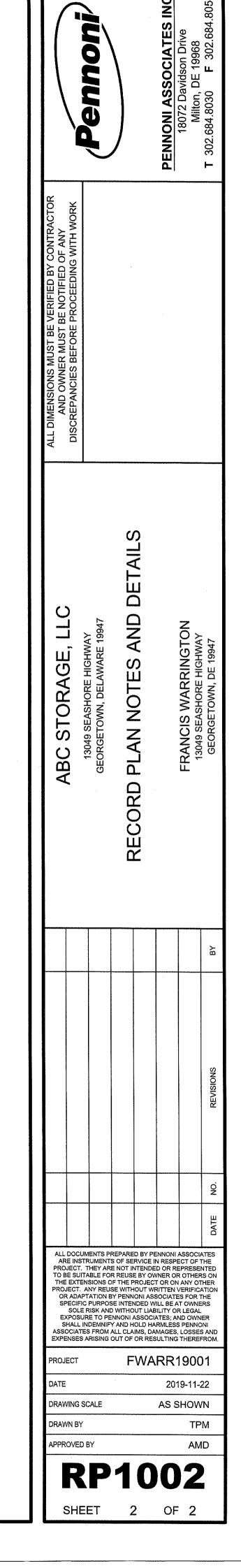
REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE REJECTED.

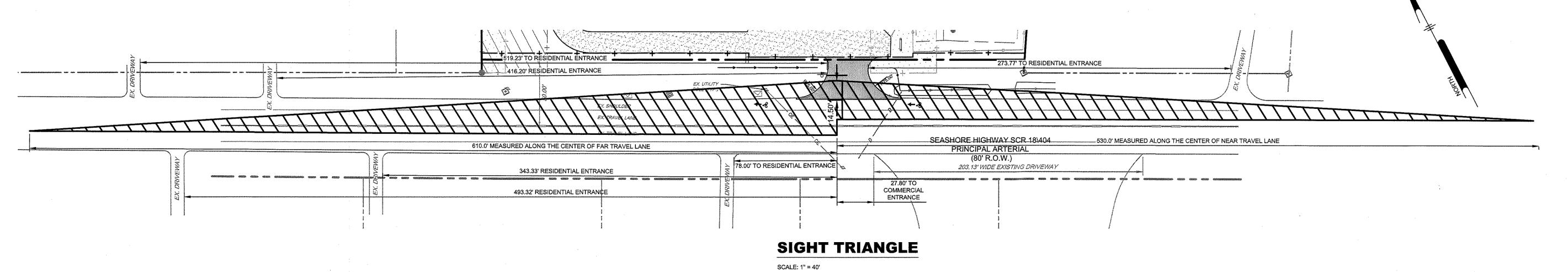
- 5. THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE, OR MODIFY ANY EROSION AND SEDIMENT CONTROL MEASURES AS THEY DEEM NECESSARY.
- 6. ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY, BUT NOT IN PAVEMENT, SHALL BE TOP-SOILED (6" MINIMUM), FERTILIZED AND SEEDED.
- THE ENTRANCES/EXITS ARE PROPOSED ONLY. AND ARE SUBJECT TO REVIEW AND APPROVAL BY THE DELAWARE DEPARTMENT OF TRANSPORTATION BEFORE A CONSTRUCTION PERMIT IS ISSUED.
- 8. DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO BE PERFORMED. IT MUST BE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO FIELD LOCATE AND RECORD AND DAMAGE TO EXISTING PAVING. SIDEWALK, CURB OR STRUCTURES NOT TO BE REMOVED OR REPLACED, ENGINEER TO VERIFY LOCATION AND
- 10. DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REPLACED OR REMOVED DURING CONSTRUCTION SHALL BE IMMEDIATELY REPORTED TO ENGINEER, CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED WORK WITHOUT CHARGE TO THE OWNER.
- 11. BASED UPON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 10005C0260K, EFFECTIVE DATE MARCH 16, 2015, THE ENTIRE PROPERTY IS LOCATED IN AN AREA DESIGNATED AS FLOOD ZONE "X" (UNSHADED), WHICH IS AN AREA THAT HAS BEEN DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
- 12. SUBJECT PROPERTIES IS CURRENTLY ZONED: PARCEL: 6.00 AR-1 (AGRICULTURE-RESIDENTIAL) AND C-1(COMMERCIAL).
- PARCEL: 24.00 AR-1 (AGRICULTURE-RESIDENTIAL)
- 13. THE SUBJECT SITE WILL BE CONSTRUCTED AS ONE PHASE.
- 14. TOTAL AREA FOR SUBJECT SITE IS 4.42 ACRES.
- 15. SURVEY DATUM: HORIZONTAL NAD83, VERTICAL NAVD88.
- 16. BUILDING LIGHTING TO BE PROVIDED WITH BUILDING PLANS, NO PARKING LOT LIGHTS ARE PROPOSED.
- 17. ALL SITE LIGHTING SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
- 18. NO WETLANDS ARE FOUND TO BE ON SITE PER THE DNREC NAVMAP ONLINE MAPPING SYSTEM.
- 19. STORMWATER WILL BE HANDLED BY THE EXISTING SURFACE STORMWATER SYSTEM. THE MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITY WITHIN THE SITE SHALL BE THE RESPONSIBILITY OF THE
- 20. ALL FIRE LANES, EXITS, STANDPIPE AND SPRINKLER CONNECTIONS WILL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS. EXISTING BUILDING CONSTRUCTION IS STEEL, CONCRETE, AND WOOD, ONE STORY AND WILL NOT HAVE SPRINKLERS.
- 21. FIRE ALARM REQUIRED THE FIRE ALARM SIGNALING SYSTEM SHALL BE AUTOMATIC, SUPERVISED OFF-SITE, AND SHALL CONSIST OF FULL COVERAGE BY SMOKE DETECTION AND ALARM NOTIFICATION. WHERE SMOKE DETECTION DEVICES WILL NOT FUNCTION BY REASON OF DEVICE LIMITATION. HEAT DETECTION SHALL BE PROVIDED IN THOSE SPECIFIC LOCATIONS FIRE ALARM SIGNALING SYSTEM PLANS AND SPECIFICATIONS SHALL BE SUBMITTED FOR REVIEW.
- 22. MISS UTILITY SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO EXCAVATION.
- 23. MAINTENANCE OF THE STREETS WITHIN THE SITE WILL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR PROPERTY OWNERS WITHIN THE SITE. THE STATE AND COUNTY ASSUME NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- 24. SANITARY SEWER FOR THIS SITE WILL USE THE EXISTING SEPTIC.
- 25. WATER FOR THIS SITE WILL BE PROVIDED BY AN EXISTING ON-SITE WELL.
- 26. PER CHAPTER 115. ZONING ARTICLE XXVII, THE TOPOGRAPHIC CONTOURS AT ONE-FOOT INTERVALS WILL BE ADDED TO THE GRADING AND UTILITY PORTION OF THE PLANS. THE PROPOSED SITE WILL BE A RELATIVELY FLAT WITH SURFACE RUNOFF TO THE EXISTING POND.
- 27. THE HEIGHT, LOCATION, AND MATERIAL OF ALL FENCES, WALLS, SCREEN PLANTING AND LANDSCAPING WILL BE SHOWN ON THE FINAL SITE PLAN.
- 28. ANY PROPOSED SIGN DETAILS WILL BE SUBMITTED SEPARATELY.
- 29. ACCORDING TO PB: 221, PG: 84 PREPARED BY COTTON ENGINEERING DATED MARCH 4, 2015. IT STATES THE BOUNDARY INFORMATION SHOWN ON THIS PLAT WAS COMPILED FROM THE LAND RECORD OF SUSSEX COUNTY. DE AND AN ACTUAL FIELD SURVEY FEBRUARY 2015. A TITLE SURVEY WAS NOT PERFORMED OR REQUESTED FOR THE SUBJECT PARCEL. ALL PROVIDED EASEMENTS ARE SHOWN ON THIS PLAN, HOWEVER, THIS PLAT AND SURVEY DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS.

DELDOT GENERAL NOTES (REVISED 08/21/2019):

- 1. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- 2. ALL MATERIALS AND WORKMANSHIP WITHIN THE STATE OF DELAWARE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CURRENT STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SUPPLEMENTAL SPECIFICATIONS, STANDARD CONSTRUCTION DETAILS, SPECIAL PROVISIONS, PAS MANUAL AND DESIGN GUIDANCE MEMORANDUMS.
- 3. ALL DISTURBED AREAS WITHIN THE STATE RIGHT-OF-WAY, BUT NOT IN THE PAVEMENT, SHALL BE TOP-SOILED (6" MINIMUM), FERTILIZED, SEEDED AND MULCHED. IF SOD IS USED NEXT TO SIDEWALK OR SHARED-USE PATH, CONTRACTOR SHALL GRADE TOPSOIL ADJACENT TO THE SIDEWALK OR SHARED-USE PATH PRIOR TO PLACEMENT OF SOD TO ENSURE THAT SOD IS PLACED FLUSH OR JUST BELOW EDGE OF SIDEWALK OR SHARED-USE PATH TO AVOID WATER PONDING ON THE SIDEWALK OR SHARED-USE PATH.
- 4. A 72-HOUR (MINIMUM) NOTICE SHALL BE GIVEN TO THE DELDOT DISTRICT PERMIT SUPERVISOR PRIOR TO STARTING ENTRANCE 5. MISS UTILITY OF DELAWARE SHALL BE NOTIFIED THREE (3) CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
- 6. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL. 7. AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR, ANY DAMAGED OR MISSING CURB OR SIDEWALK FOUND ON SITE WILL NEED TO
- BE REPAIRED OR REPLACED TO MEET CURRENT DELDOT STANDARDS. 8. ALL SIGNING, STRIPING AND MAINTENANCE OF TRAFFIC IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL FOLLOW THE GUIDELINES SHOWN IN THE DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (DELAWARE MUTCD) FOR STREETS AND HIGHWAYS (LATEST EDITION AT THE DATE OF THE ENTRANCE PERMIT APPROVAL). THE DEVELOPER OR PROPERTY OWNERS SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL SIGNS INSTALLED AS PART OF THIS PROJECT.
- 9. PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE DELDOT INSPECTOR. 10. A COPY OF THE-UP-TO DATE APPROVED CONSTRUCTION DOCUMENTS AND DELDOT APPROVAL LETTERS SHALL BE MAINTAINED ON THE PROJECT SITE AT ALL TIMES AND BE AVAILABLE FOR INSPECTION BY DELDOT PERSONNEL.
- 11. EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48-HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELAWARE (SEE
- 12. SHOULD UTILITY RELOCATION BE REQUIRED, THE DEVELOPER MUST SUBMIT A UTILITY RELOCATION PLAN FOR DELDOT REVIEW, ALONG WITH CORRESPONDENCE FROM THE UTILITY COMPANIES STATING PRELIMINARY APPROVAL TO THE RELOCATION AND DESIGN OF THE UTILITIES PRIOR TO THE DELDOT PRE-CONSTRUCTION MEETING. NO PHYSICAL CONSTRUCTION CAN OCCUR UNTIL THE UTILITY PLANS ARE APPROVED, THE INDIVIDUAL UTILITY COMPANIES ISSUE FINAL APPROVAL, AND A DELDOT UTILITY PERMIT IS ISSUED TO THE UTILITY
- 13. UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES. THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT. SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. THESE DISTURBED AREAS SHALL BE TOP-SOILED (6" MINIMUM), FERTILIZED, SEEDED AND MULCHED. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH THE DEVELOPMENT COORDINATION MANUAL.
- 14. DELDOT WILL NOT PROVIDE THE RESPECTIVE LOCAL LAND USE AGENCY WITH A 'NO OBJECTION TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY NOTICE' UNTIL THE ENTRANCE(S) ARE COMPLETED TO THE SATISFACTION OF THE DEPARTMENT. 15. DESIGN, FABRICATION AND INSTALLATION OF ALL PERMANENT SIGNING SHALL BE AS OUTLINED IN THE LATEST VERSION OF THE
- DELAWARE MUTCO. 16. DESIGN AND INSTALLATION OF ALL PAVEMENT MARKINGS AND STRIPING SHALL BE AS OUTLINED IN THE LATEST VERSION OF THE DELAWARE MUTCD. FOR FINAL PERMANENT PAVEMENT MARKINGS:
- a. EPOXY RESIN PAINT SHALL BE REQUIRED FOR LONG LINE STRIPING. b. THERMO PLASTIC (EXTRUDED OR PREFORMED MATERIAL) WILL BE REQUIRED ON ASPHALT SURFACES, FOR SHORT LINE STRIPING, I.E.
- SYMBOLS/LEGENDS c. PERMANENT PAVEMENT MARKING TAPE (PER DELDOT'S APPROVED MATERIALS LIST) WILL BE REQUIRED ON CONCRETE SURFACES,
- FOR SHORT LINE STRIPING, I.E. SYMBOLS/LEGENDS. 17. REMOVAL OF PAVEMENT MARKING PAINT OR TAPE SHALL COMPLY WITH SECTION 5.11.2 OF THE DEVELOPMENT COORDINATION MANUAL.
- 18. BREAKAWAY POSTS SHALL BE USED WHEN INSTALLING ALL SIGNS, REFERENCE DELDOT'S STANDARD CONSTRUCTION DETAILS, SECTION
- 19. MAINTENANCE OF THE STREETS WITHIN THIS SUBDIVISION WILL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE
- 20. THE ENDS OF ALL CURBS SHALL BE TRANSITIONED TO BE FLUSH WITH THE PAVEMENT AT A RATIO OF TWELVE TO ONE (12:1).
- 21. ALL APPROACH AND EXIT ENDS OF MEDIAN ISLAND AND CURB SHALL ALSO BE TRANSITIONED FLUSH WITH THE PAVEMENT AT A RATIO OF
- 22. TRIANGULAR (PORK CHOP) ISLAND CURB SHALL HAVE ALL CORNERS TRANSITIONED FLUSH WITH PAVEMENT AT A SLOPE OF FOUR TO ONE (4:1). WHERE CURBS CHANGE DIRECTION (AT PEDESTRIAN CROSSINGS), CORNERS SHALL BE LAID OUT WITH RADII (NO SHARP ANGLES) TO REDUCE WHEEL-STRIKES AND PLOW-STRIKES: REFER TO DELDOT'S STANDARD CONSTRUCTION DETAILS FOR MORE INFO.
- 23. WHERE CURB TYPE AND/OR HEIGHT IS BEING VARIED, TAPER CURB PER THE DELDOT INSPECTOR (TYPICAL FOR BOTH SIDES OF THE ENTRANCE) 24. ALL FIXED OBJECTS ARE TO BE A MINIMUM OF 10-FEET FROM THE EDGE OF TRAVEL LANE AND 5-FEET FROM THE EDGE OF PAVEMENT.
- REFERENCE SECTION 5.5.5 OF THE DEVELOPMENT COORDINATION MANUAL. ANY FIXED OBJECT THAT DOES NOT MEET THIS REQUIREMENT 25. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL PAVING WITHIN THE STATE OF DELAWARE RIGHT-OF-WAY IS INSTALLED
- TO THE ELEVATIONS SHOWN AND NO PONDING OF WATER EXISTS AFTER PAVING IS COMPLETE. 26. ALL STORM DRAIN PIPING DESIGNATED AS REINFORCED CONCRETE PIPE IS TO BE REINFORCED CONCRETE PIPE, MEETING AASHTO M-170
- SPECIFICATIONS, SEE PLANS FOR SPECIFIC CLASS OF PIPE. 27. ALL PROPOSED CLOSED STORMDRAIN SYSTEMS SHALL BE VIDEO INSPECTED, REPAIRED AS NECESSARY AND APPROVED PRIOR TO THE INSTALLATION OF FINAL PAVING. IF REPAIRS ARE NEEDED, THE REPAIRED PIPE SECTIONS WILL NEED TO BE VIDEO INSPECTED AGAIN BEFORE THE REPAIR CAN BE APPROVED.
- 28. THE DEVELOPER AND EXISTING/FUTURE OWNER OF NON-STATE-MAINTAINED ROADWAYS SHALL ENSURE THAT THE TRAFFIC CONTROL DEVICES ON SAID ROADWAYS OPEN TO PUBLIC TRAVEL ARE IN COMPLIANCE WITH THE LATEST VERSION OF THE DELAWARE MUTCD. 29. ALL SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM STANDARD T-99 DRY DENSITY.
- 30. THE CONTRACTOR SHALL NOTIFY DART FIRST STATE AT DOT_DETOURS@DELAWARE.GOV AT LEAST 14 DAYS PRIOR TO THE START OF ANY DETOURS OR CONSTRUCTION, AND DOT_DTC_PROJECTDEVELEOPMENT@DELAWARE.GOV AT SUCH TIME THE FACILITY IS COMPLETED AND OPERABLE FOR TRANSIT OPERATIONS. FOR EMERGENCY DETOUR INFORMATION ONLY PLEASE CONTACT DTC'S CHIEF SCHEDULER
- 31. FOR INFORMATION ON OBTAINING A UTILITY PERMIT IN SUSSEX COUNTY CONTACT M&O-SOUTH DISTRICT-PUBLIC WORKS AT (302) 853-1345. 32. FOR INFORMATION ON GETTING APPROVAL FOR PROPOSED OUTDOOR ADVERTISING IN SUSSEX COUNTY CONTACT M&O-SOUTH DISTRICT-OUTDOOR ADVERTISING & ROADSIDE CONTROL AT (302) 853-1327.
- 33. MAINTENANCE OF ALL LANDSCAPING SHOWN ON THIS PLAN WILL BE THE RESPONSIBILITY OF THE DEVELOPER, THE HOMEOWNERS ASSOCIATION OR BOTH. THE STATE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE LANDSCAPING, DELDOT MUST REVIEW AND APPROVE ANY PLANTINGS PROPOSED WITHIN THE RIGHT-OF-WAY PRIOR TO INSTALLATION. IF ANY PLANTINGS ARE PLANTED WITHOUT DELDOT'S KNOWLEDGE AND/OR APPROVAL, THEN DELDOT HAS THE RIGHT TO HAVE THE DEVELOPER REMOVE THE PLANTINGS, WITH ALL COSTS BEING PAID FOR BY THE DEVELOPER.
- 34. DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT DRAINAGE INLET LOCATIONS.







SENERAL NOTES:

- ALL CONSTRUCTION AND MATERIALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STATE OF DELAWARE STATE HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS, DATED AUGUST 2016 AND THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, DATED FEBRUARY 2019, AND ALL AMENDMENTS
- EXISTING UTILITIES, UNLESS OTHERWISE NOTED ON THE PLANS, ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT "MISS UTILITY" 1-800-282-8555 (3) THREE DAYS PRIOR TO CONSTRUCTION IN ORDER TO VERIFY AND ALLOW FOR
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY AND ALL DAMAGES DONE TO EXISTING UTILITIES DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPETENTLY REPAIRED AT HIS/HER EXPENSE.
- THE CONTRACTOR SHALL PRESERVE ALL TREES ON THE SITE EXCEPT WHERE NECESSARY TO CONSTRUCT PROPOSED BUILDINGS, UTILITIES, DRIVEWAYS, OR
- SHALL PROVIDE FOR THE DISPOSAL OF WATER REMOVED FROM EXCAVATIONS, IN SUCH A MANNER AS SHALL NOT CAUSE DAMAGE TO PUBLIC OR PRIVATE

PROPERTY OR TO ANY PORTION OF THE WORK COMPLETED OR IN PROGRESS OR CAUSE ANY IMPEDIMENT TO THE USE OF ANY AREA BY THE PUBLIC, IF

APPLICABLE. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN THE NECESSARY DEWATERING WELL PERMITS FROM THE STATE OF DELAWARE. DNREG

- NO DEBRIS WILL BE BURIED ON THIS SITE.
- PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION
- THIS SITE IS LOCATED ENTIRELY IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD (100-YEAR FLOOD) AS DESIGNATED ON THE FLOOD INSURANCE RATE MAPS NUMBER 10005C0326J LAST REVISED 6 JANUARY 2005.
- THE INTENDED USE OF THIS PROPERTY IS PERMITTED AS A CONDITIONAL USE IN AN AR-1 (AGRICULTURAL RESIDENTIAL) ZONING DISTRICT IN ACCORDANCE WITH SECTION 115-22 OF THE ZONING ORDINANCE FOR SUSSEX COUNTY, DELAWARE, THE USE OF THIS PROPERTY AS PROFESSIONAL OFFICE FACILITIES WAS
- AUTHORIZED BY SUSSEX COUNTY COUNCIL AS A CONDITIONAL USE (CU #2161) NO SITE PREPARATION, SITE DISTURBANCE, EXCAVATION OR OTHER CONSTRUCTION ACTIVITY SHALL TAKE PLACE UNTIL ALL PERMITS HAVE BEEN ACQUIRED BY THE DEVELOPER AND THE SITE PLAN HAS BEEN APPROVED AND RECORDED, IF APPLICABLE.
- THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO APPURTENANT
- COPYRIGHT © 2019. MERESTONE CONSULTANTS, INC. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED, OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF MERESTONE CONSULTANTS, INC. COPIES OF THIS PLAN WITHOUT COLORED INK SIGNATURE AND A RAISED IMPRESSION SEAL ARE
- THE STATE OF DELAWARE CRITICAL AREA MAPS WERE REVIEWED FOR THIS SITE AND NO STATE OR FEDERALLY REGULATED WETLAND AREAS WERE FOUND
- NO LIGHTING IS PROPOSED, HOWEVER ANY FUTURE LIGHTING INSTALLATION ON THE SITE SHALL BE ARRANGED TO MINIMIZE GLARE ON PROPERTY IN RESIDENTIAL AREAS

GENERAL NOTES: Record Plan

- All entrances shall conform to the Delaware Department of Transportation's (DelDOT's) current Development Coordination Manual and shall be subject to its approval.
- No landscaping shall be allowed within the right-of-way unless the plans are compliant with Section 3.7 of the Development Coordination Manual.
- 3. Shrubbery, plantings, signs and/or other visual barriers that could obstruct the sight distance of a driver preparing to enter the roadway are prohibited within the defined departure sight triangle area established on this plan. If the established departure sight triangle area is outside the right-of-way or projects onto an adjacent property owner's land, a sight easement should be established and recorded with all affected property owners to maintain the required sight distance.
- Upon completion of the construction of the sidewalk or shared-use path across this project's frontage and physical connection to adjacent existing facilities, the Developer, the property owners or both associated with this project, shall be responsible to remove any existing road tie-in connections located along adjacent properties, and restore the area to grass. Such actions shall be completed at DelDOT's discretion, and in conformance with DelDOT's Development Coordination Manual.
- To minimize rutting and erosion of the roadside due to on-street parking, driveway and building layouts must be configured to allow for vehicles to be stored in the driveway beyond the right-of-way, without interfering with sidewalk access and clearance.
- 6. The Developer shall be required to furnish and place right-of-way monuments in accordance with DelDOT's Development Coordination Manual.
- The Developer shall be required to furnish and place right-of-way markers to provide a permanent reference for re-establishing the right-of-way and property corners on local and higher order frontage roads. Right-of-way markers shall be set and/or placed along the frontage road right-of-way at property corners and at each change in right-of-way alignment in accordance with Section 3.2.4.2 of the Development Coordination Manual.

CONDITIONAL USE 2161 AGREEMENT ITEMS

At their meeting dated March 19, 2019, the Sussex County Council approved the Conditional Use application (CU 2161) for a professional office for accounting, tax preparation and book keeping services with the following nine draft conditions

- A. The use shall be limited to professional office use only.
- B. As stated by the applicant, the use shall occur within the existing structure that will be renovated by the Applicant, while maintaining its
- C. The hours of operation shall be between 7:00am and 9:00pm Monday through Friday, and 7:00am until 5:00pm on Saturdays. There shall not be any Sunday hours.
- D. Any dumpsters shall be located to the rear of the property and screened from the view of neighboring properties and roadways.
- E. The Applicant shall comply with all the DelDOT requirements concerning entrance, traffic, and roadway improvements.
- F. All exterior lighting shall be downward screened so that it does not shine on neighboring properties and roadways.

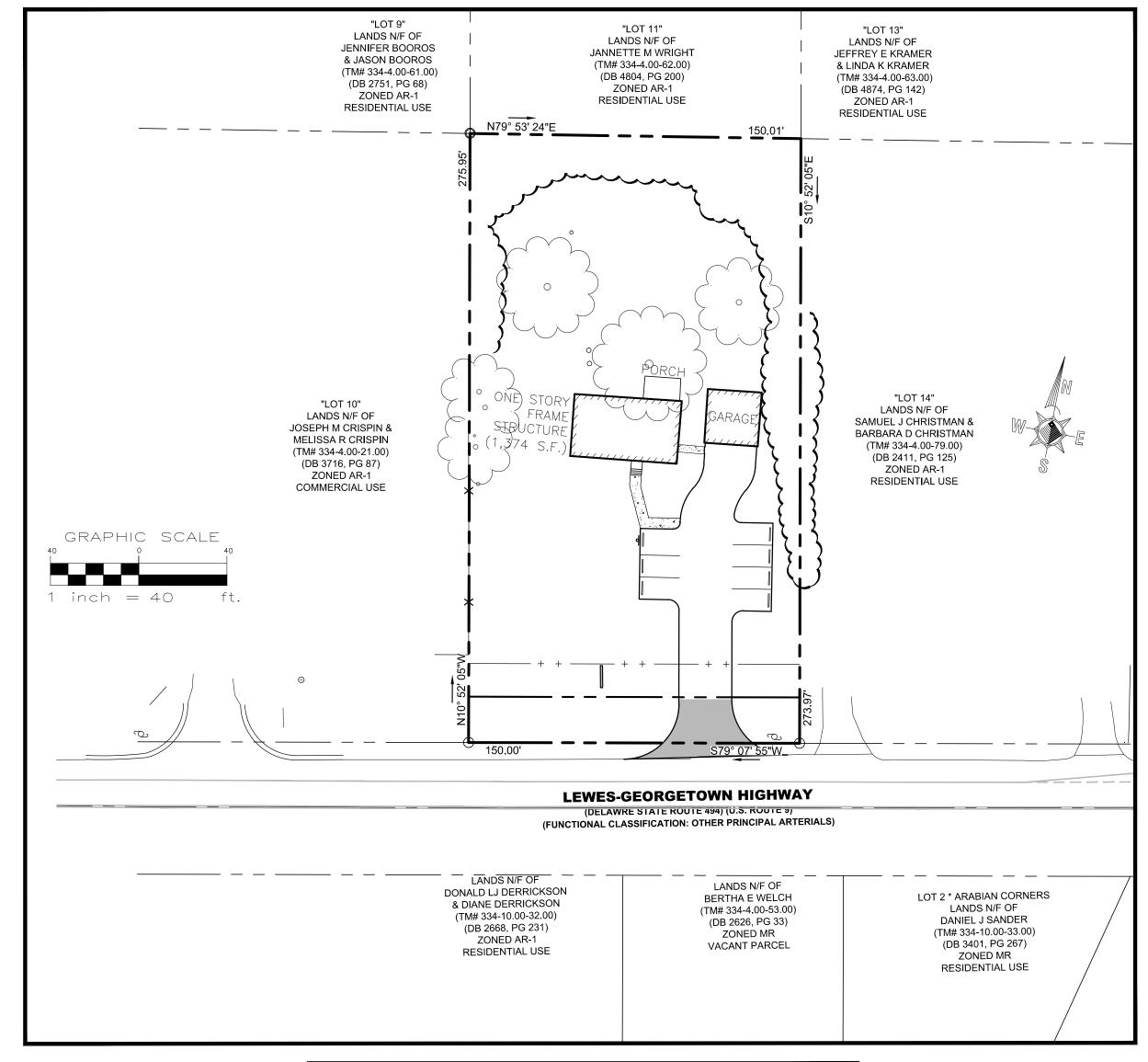
The Final Site Plan shall be subject to the review and approval of the Sussex County Planning & Zoning Commission.

- G. The parking areas shall be shown on the Final Site Plan and clearly marked on the site itself.
- H. One lighted sign shall be permitted on the property. The sign shall be no larger than 32 square feet per side. The sign may be an Electric
- Message Display, but it shall be static during non-business hours.

CONDITIONAL USE SITE PLAN

FOR PROJECT KNOWN AS:

ATM: THE BOTTOM LINE

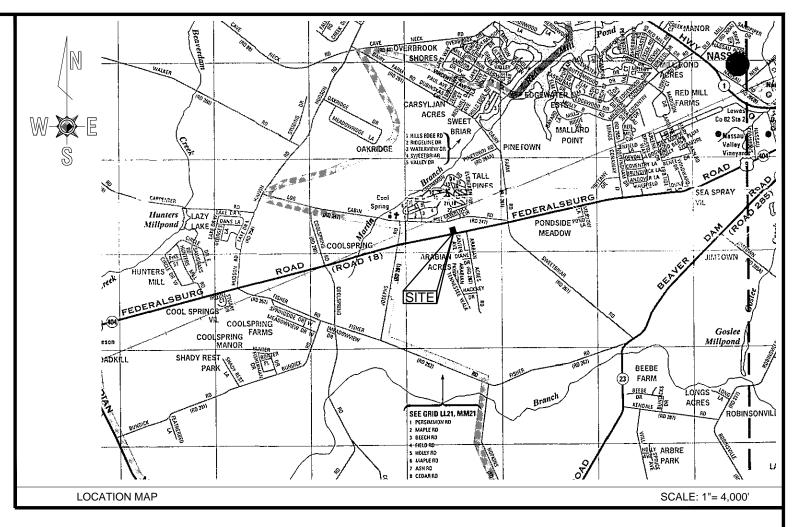


SITE LOCATION PLAN

(SCALE: 1"=40')

TAX PARCEL NO. 334-4.00-80.00

LEWES & REHOBOTH HUNDRED SUSSEX COUNTY * STATE OF DELAWARE



PLAN DATA:

PARCEL I.D. NO. 334-4.00-80.00 DEED REFERENCE DB 4915, PG 323 PLAT REFERENCE PB 31, PG 159

EXISTING ZONING DISTRICT AR-1 (AGRICULTURAL RESIDENTIAL)

PROPOSED ZONING DISTRICT AR-1 (AGRICULTURAL RESIDENTIAL WITH CONDITIONAL USE)

SEWAGE DISPOSAL ONSITE WASTEWATER DISPOSAL SYSTEM (EXISTING) SEWERAGE IS SUBJECT TO APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL.

WATER SUPPLY WATER IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE

DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DIVISION OF PUBLIC HEALTH.

WATERSHED **BROADKILL RIVER & DELAWARE BAY**

OWNER/DEVELOPER HOWARD WESTON DEVELOPMENT COMPANY, LLC C/O JOHN D. TRAVIS 1 BASSETT AVENUE

NEW CASTLE, DE 19720 PHONE: (302) 322-0452

LOCAL LAND USE AGENCY SUSSEX COUNTY PLANNING AND ZONING

HORIZONTAL DATUM NAD 83 (NA 2011, EPOCH 2010)

VERTICAL DATUM NAVD '88 EXISTING USE RESIDENTIAL

PROPOSED USE COMMERCIAL USE UNDER CONDITIONAL USE PERMIT 2161

NO. OF LOTS 1 EXISTING, 1 PROPOSED

LOT AREA RATIONALE

RIGHT-OF-WAY DEDICATION (AC.) NET AREA (USED FOR CALCULATIONS) (AC.)

IMPERVIOUS AREAS OPEN SPACE AREA

0.15 (17.0%)

0.68 (77.3%)

NO AUTÒMATIC SPRINKLERS ARE PROPOSED

7 SPACES

MAX. BUILDING HEIGHT (FT.)= MINIMUM I OT WIDTH (FT) = MINIMUM LOT DEPTH (FT) =

MINIMUM FRONT YARD (FT.) = MINIMUM SIDE YARD (FT.) = MINIMUM REAR YARD (FT.) =

PR. OFFICE USE: 1 SPACE PER 200 S.F. @ 1,372 S.F.

PARKING RATIONALE TOTAL PARKING REQUIRED= TOTAL PARKING PROVIDED=

(INCLUDING 1 HANDICAP SPACES)

INVESTMENT LEVEL AREA INVESTMENT LEVEL 3 HIGHWAY MAINTENANCE NO. SC-00018-F

POSTED SPEED LIMIT

RECORD SITE PLAN COVER PAGE

PER P&Z COMMENTS 1/8/20

REVISION

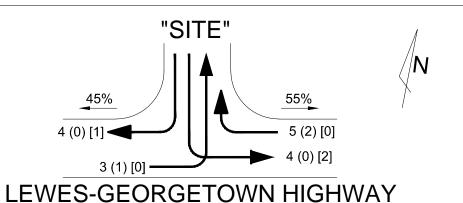
50 MPH ON FRONTAGE ROAD (USR 9, LEWES-GEORGETOWN HIGHWAY) FIRE MARSHALL NOTES N.F.P.A BUILDING TYPE = TYPE-V (WOOD FRAME)

FIRE SUPPRESSION= MAX. BUILDING HEIGHT=

29065 LEWES-GEOERGETOWN HIGHWAY, LEWES, DE 19958 SITE ADDRESS

LIMIT OF DISTURBANCE

SITE TRAFFIC GENERATION DIAGRAM & GENERAL INFORMATION



US ROUTE 9, DELAWARE ROUTE 494

ADT (A.M. PEAK HOUR) [P.M. PEAK HOUR]

TRAFFIC GENERATION DIAGRAM

ROAD TRAFFIC DATA: USR 9. LEWES-GEORGETOWN HIGHWAY - OTHER PRINCIPLE ARTERIAL POSTED SPEED LIMIT - 50 MPH AADT = 14,132 TRIPS (FROM 2018 DELDOT TRAFFIC SUMMARY) 10 YEAR PROJECTED AADT = 1.16 X 14,132 TRIPS = 16,393 TRIPS 10 YEAR PROJECTED AADT+SITE ADT = 16,409 TRAFFIC PATTERN GROUP - 8 (FROM 2018 DELDOT TRAFFIC SUMMARY) PEAK HOUR = 11.7% X 16,409 = 1,920 TRIPS SITE TRAFFIC DATA:

SOURCE: ITE TRIP GENERATION MANUAL 10TH EDITION 1.37 KSF SINGLE TENANT OFFICE BUILDING (715)

6.32% TRUCKS & BUSES X

ONE ENTRANCE - FULL MOVEMENT DESIGN VEHICLE: SU-30 1.37 KSF SINGLE TENANT OFFICE BUILDING X 11.25/UNIT = 16 TOTAL TRIPS DIRECTIONAL DISTRIBUTION: 55% TO AND FROM THE EAST = 9 (2 AM PK) [2 PM PK] 45% TO AND FROM THE WEST = 7 ADT (1 AM PK) [1 PM PK]

Ref: 10th edition of ITE TRIP GENERATION

DEVELOPER'S CERTIFICATION I, JOHN D. TRAVIS HEREBY CERTIFY THAT HOWARD WESTON DEVELOPMENT COMPANY LLC IS THE LEGAL OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT ITS DIRECTION, THAT IT ACKNOWLEDGES THE SAME TO BE ITS ACT, AND DESIRES THE PLAN TO BE RECORDED IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

DATE:

JOHN D. TRAVIS HOWARD WESTON DEVELOPMENT COMPANY, LLC 1 BASSETT AVENUE NEW CASTLE, DE 19720 PHONE: (302) 322-0452

ENGINEER'S CERTIFICATION

I, ROGER A. GROSS, P.E. HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, AND THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DATE:

ROGER A. GROSS, P.E. MERESTONE CONSULTANTS, INC. 33516 CROSSING AVENUE, UNIT 1 FIVE POINTS SQUARE LEWES, DELAWARE 19958 (302) 226-5880

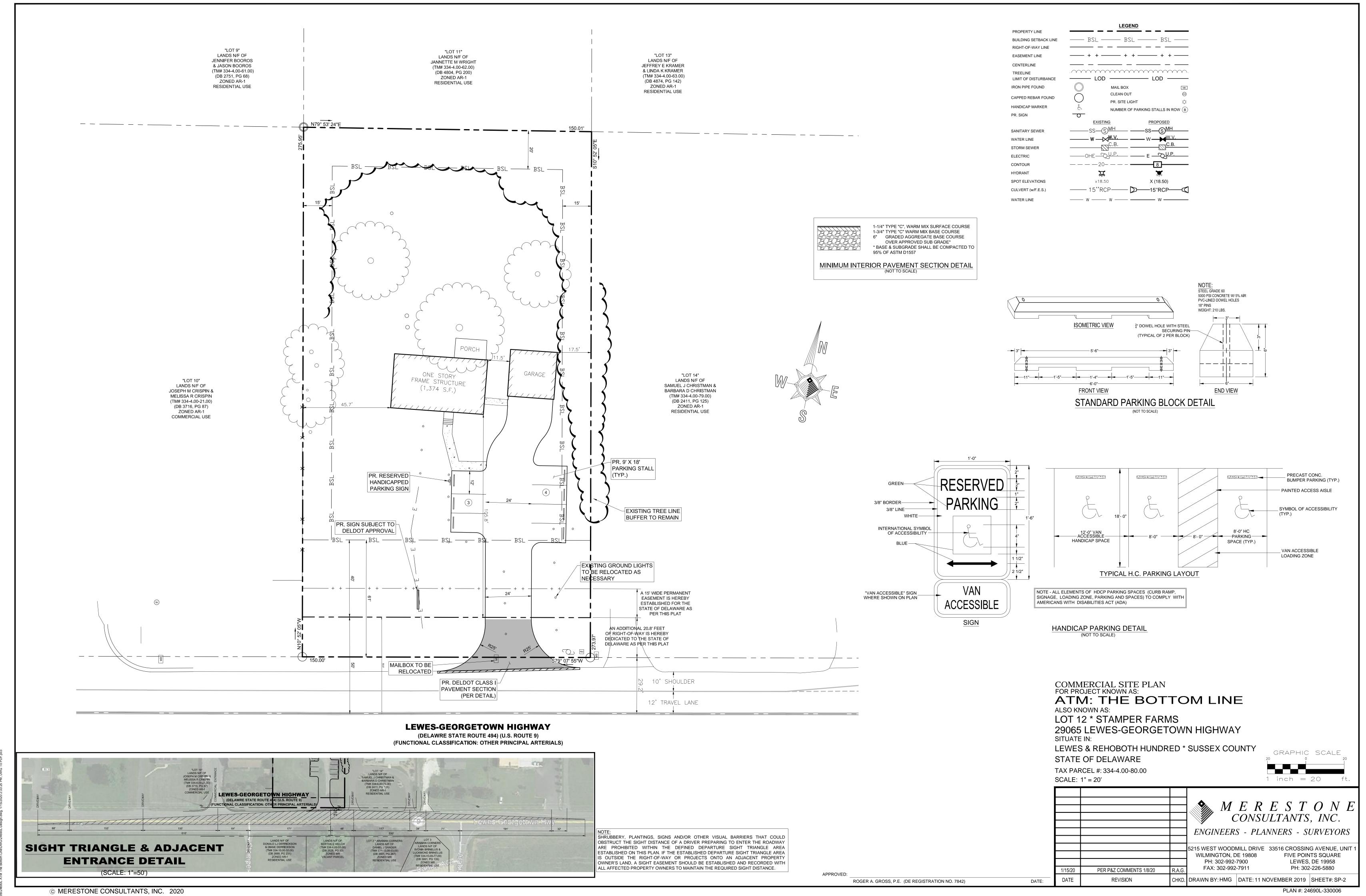
RECORD SITE PLAN SHEET No. SP-2 M E R E S T O N EENGINEERS - PLANNERS - SURVEYORS 15 WEST WOODMILL DRIVE 33516 CROSSING AVENUE, UNIT WILMINGTON, DE 19808 FIVE POINTS SQUARE

PH: 302-992-7900 LEWES, DE 19958 FAX: 302-992-7911 PH: 302-226-5880 HKD. DRAWN BY: HMG DATE: 11 NOVEMBER 2019 SHEET#: SP-1

SHEET No. SP-1

PLAN #: 24690L-330006

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Consultants, Inc.

Civil Engineers - Land Surveyors - Site Planners

15 January 2020

Jennifer Norwood, Planner I Sussex County Planning & Zoning Manager 2 The Circle, P.O. Box 417 Georgetown, DE 19947 Via email: *Jnorwood@sussexcountyde.gov*

RE: ATM: The Bottom Line (S-19-48)

Dear Ms. Norwood:

Attached for your review please find a copy of the revised site plan for the above referenced application. I've reviewed your comment review letter dated January 8, 2020 and offer the following responses. The site plan has been revised in accordance with our responses.

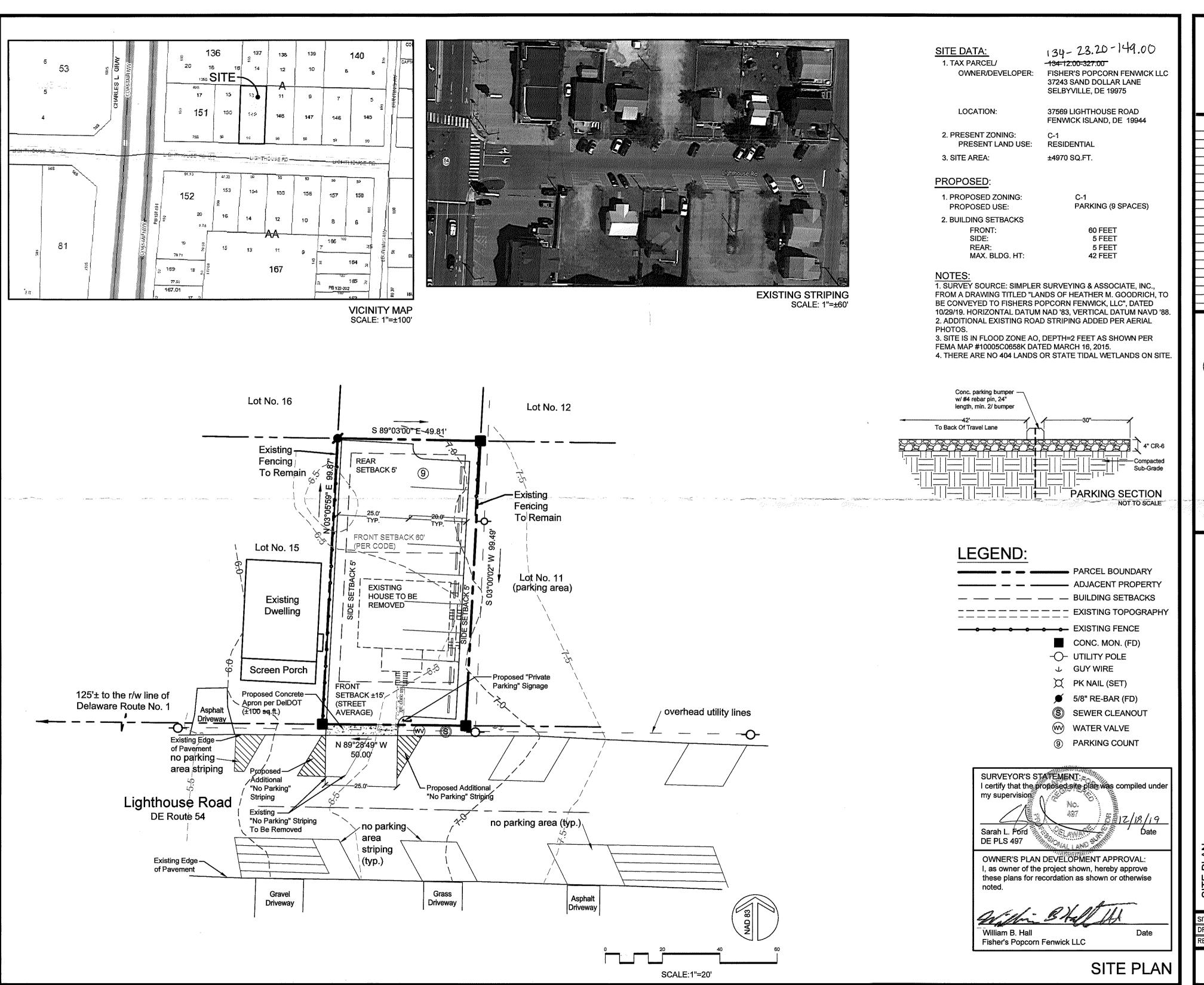
- 1. The parking rationale in the data column has been revised.
- 2. No dumpsters are proposed for this site.
- 3. There is a minimal amount of customer traffic anticipated for this site. Trip generation per Del DOT's manual estimates that there will be 16 vehicle trips (8 in/8 out) per day. There is an existing tree line buffer between the parking area and the residence to the east that will remain to provide screening.
- 4. Ground-level lighting will be provided along the driveway and parking areas, locations and design will be provided on the final site plan.
- 5. It is my opinion that interconnectivity is not applicable as this is a residential conversation property and the financial implications are not appropriate. This site is eligible for a "Standard" plan approval from the Sussex Conservation District for stormwater management. If interconnectivity is required, the additional impervious cover would require a "Detailed" plan submission and the construction of a stormwater BMP. This could add \$20,000 to \$30,000 of unforeseen cost to the project that was not anticipated by my Client. Also, the conditional use site plan, approved by County Council, did not require interconnectivity as a condition of approval.
- 6. Comment acknowledged.

If you should have any questions, comments or wish to discuss in further detail, please contact me at your earliest convenience at 302-226-5880 (ext #103).

Sincerely,

Roger A. Gross, P.E. Merestone Consultants, Inc. Encl.

Cc: Dave Roberts & John Travis



SOURCE UNE Suite 3
53 Atlantic Ave.
Ocean View, DE. 19970
302/537 1919

SURVEYING/LANDSCAF
Planning and Development

E ROAD PARKING

LIGHTHOUSE ROAD

SITE PLAN: TJF
DRAWING: RWB
REVIEW: SLF

12/17/19

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