



Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager, Lauren DeVore, Planner III, Christin Headley, Planner I, Nicholas Torrance, Planner I, and Chase Phillips, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: December 31st, 2020

RE: Other Business for the January 7, 2021 Planning Commission Meeting

This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the January 7, 2021 Planning Commission meeting.

Outer Banks North & South (2018-2)

KS

Amenities Plan

This is an Amenities Plan for a proposed 262 square foot bathrooms, 126 square foot pool mechanical and storage, 1,500 square foot pool with pool deck, BBQ area and 19 associated parking spaces to be located within the existing Outer Banks North & South (2018-2) subdivision. 10 parking spaces are located within the front yard setback. At their meeting of Thursday, October 10, 2019, the Planning and Zoning Commission approved the Final Subdivision Plan for the development. The Amenities Plan complies with the Sussex County Zoning and Subdivision Code and all conditions of approval. Tax Parcel: 334-11.00-5.02. Zoning: AR-1 (Agricultural Residential Zoning District). Staff is in receipt of all agency approvals.

Catching Cove (F.K.A. Lands of Robert and Deborah Reed) (S-19-31)

KS

Final Site Plan and Landscape Plan

This is a Final Site Plan and Landscape Plan for 24 single family condominium units, parking and other site improvements to be located off Savannah Rd. A Conditional Use for multifamily dwellings in a Medium Residential Zoning District was approved on June 18, 2019 by the Sussex County Council. The Planning and Zoning Commission approved the Preliminary Site Plan at their meeting of October 1st, 2019. The Final Site Plan and Landscape Plan comply with the Sussex County Zoning Code and all conditions of approval. Tax Parcel: 335-12.06-1.00. Zoning: MR (Medium Residential District). Staff are in receipt of all agency approvals.

Seaglass at Rehoboth Beach (F.K.A. Herola Property) (S-20-39)

BM

Final Site Plan and Landscape Plan

This is a Final Site Plan and Landscape Plan for a proposed 224-unit multi-family apartment complex to consist of a clubhouse, pool, dog park, tot lot, 394 parking spaces and other site improvements located on 18.759 acres +/- . The property is located directly east of John J. Williams Hwy (Route 24) just south of Coastal Highway (Route 1). The Final Site Plan and Landscape Plan complies with the Sussex County Zoning Code. Tax Parcel: 334-12.00-127.01 & 127.10. Zoning: CR-1 (Commercial Residential Zoning District). Staff are in receipt of all agency approvals.



Tanger Microtel (S-20-13)

KS

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for a 78-bedroom hotel with 120 total parking spaces with 98 to be located within "Lot 1" of the major subdivision, Lands of Coroc/Rehoboth III LLC (2019-32) and 22 temporary parking spaces to be located the adjacent "Lot 2". The Planning and Zoning Commission previously approved the Preliminary Site Plan at their meeting of April 23, 2020 with the condition that a shared parking study be completed with the adjacent parcel at the point of Final Site Plan approval. The applicant is requesting these 22 spots be granted temporarily on the neighboring parcel until the completion of construction of "Lot 2" and a shared parking study be completed at that point. The Revised Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 334-13.00-325.36. Zoning: C-3 (Heavy Commercial Zoning District) Staff are in receipt of all agency approvals and this project is eligible for Final Site Plan approval.

Lands of Shubert (S-20-01/C/U 1610)

HW

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for a proposed 3,072 square foot pole barn warehouse addition with site improvements on a 9.607-acre parcel of land accessed from Iron Hill Road (S.C.R. 454A). At their meeting of Thursday, May 26, 2005, the Planning and Zoning Commission approved Conditional Use No. 1610 to allow for a produce/garden center to operate on site. The application was also subsequently approved by the Sussex County Council at their meeting of June 14, 2005 and adopted through Ordinance No. 1780. There is also an approved Change of Zone for the parcel, Change of Zone No. 1864, which was approved by the Sussex County Council on January 8, 2019 and adopted through Ordinance No. 2625. The Revised Preliminary Site Plan complies with the Sussex County Zoning Code and all Conditions of approval. Tax Parcel: 532-14.00-6.05. Zoning: C-3 (Heavy Commercial Zoning District) & AR-1 (Agricultural Residential Zoning District.) Staff are in receipt of all agency approvals.

Plantation Square (S-18-54)

KS

Preliminary Site Plan

This is a Preliminary Site Plan for two proposed two-story commercial business buildings totaling 49,450 square feet, 267 parking spaces and other site improvements on a 6.058 +/- acres parcels located on the southwest side of Plantations Road within the Henlopen TID. Staff notes the 267 parking spaces meets the required 247 parking spaces required and interconnectivity is also shown with the parcel located directly to the south currently zoned AR-1. The Preliminary Site Plan Complies with the Sussex County Zoning Code. Tax Parcel: 334-12.00-57.01. Zoning: B-1 (Neighborhood Business Zoning District). Staff are awaiting agency approvals.

Nicola's Family Pizza Restaurant (S-20-50)

KS

Preliminary Site Plan

This is a Preliminary Site Plan for a proposed 9,640 square foot restaurant with two floors to be located at 17501 Coastal Highway (Route 1) in Lewes. This plan also includes 144 parking spaces, a 1,726 square foot deck, and other site improvements to be located on parcel of land that is approximately 1.78 acres +/- . Staff note this plan includes a lot line adjustment which proposes an increase in the area of the subject property to 1.86 acres +/- . Additionally, there is a Cross Blanket Access Easement to accommodate vehicular traffic and parking. This Preliminary Site Plan complies with the Sussex County Zoning Code and the requirements of the Combined Highway Corridor Overlay Zone (CHCOZ). Tax Parcel: 334-6.00-14.00. Zoning: C-1 (General Commercial Zoning District). Staff are awaiting agency approvals.

Indian River Volunteer Fire Department

BM

Preliminary Site Plan

This is a Preliminary Site Plan for a proposed 13,146 square foot addition, 20 new parking spaces and other site improvements on a 1.888 acre +/- property located on the east side of Banks Road (S.C.R. 298). The Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 234-23.00-287.00. Zoning: GR (General Residential Zoning District). Staff are in receipt of all agency approvals and this project is eligible for Final Site Plan approval.

Lands of Marjorie O. Biles

BM

Minor Subdivision off a 20' easement

This is a Preliminary Minor Subdivision Plan for the creation of one lot off a proposed 20' access easement which shall exist over an existing 10' driveway. The lot to be established will be 0.60 of an acre +/- . The property is located off Cessna Drive in Rehoboth Beach not within the Henlopen TID. The proposed lot is located within the Sussex County Sewer District. Tax Parcel: 334-13.00-303.00. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are awaiting agency approvals.

CIVIL PLAN GENERAL NOTES

1. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND SHALL APPRISE AND COORDINATE DURING ALL PHASES OF CONSTRUCTION:
- 1.1 SUSSEX COUNTY ENGINEERING DEPARTMENT 302-855-7718
 - 1.2 DAVIS, BOWEN & FRIEDEL, INC. 302-424-1441
 - 1.3 SUSSEX CONSERVATION DISTRICT 302-856-2105
 - 1.4 TIDEWATER UTILITIES, INC. 302-453-6900
2. MISS UTILITY OF DELAWARE SHALL BE NOTIFIED THREE (3) CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
3. BOUNDARY SURVEY PREPARED BY DAVIS, BOWEN & FRIEDEL, INC. BASE TOPOGRAPHY PREPARED BY DAVIS, BOWEN & FRIEDEL, INC.
4. CONTRACTOR SHALL PROVIDE STAKEOUT NECESSARY FOR THE INSTALLATION OF UTILITIES, STORM DRAINS, PAVING AND ALL OTHER SITE WORK INCLUDED IN THESE PLANS. ALL STAKEOUT WORK IS TO BE PERFORMED UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF DELAWARE.
5. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEVIATION FROM THESE PLANS UNLESS WRITTEN APPROVAL HAS BEEN PROVIDED BY THE ENGINEER.
6. ACCORDING TO FEMA FLOOD INVENTORY MAP #10005C0331K, DATED MARCH 16, 2015, THE SITE IS IMPACTED BY THE 100 YEAR FLOODPLAIN.

DRAINAGE, GRADING AND SEDIMENT CONTROL GENERAL NOTES

1. ALL STORM DRAIN PIPING, INLET, MANHOLE, AND END SECTION INSTALLATION SHALL BE IN ACCORDANCE WITH SUSSEX COUNTY CONSTRUCTION STANDARDS.
2. PIPE SPAN LENGTHS ARE MEASURED FROM C/L OF STRUCTURE TO C/L OF STRUCTURE, WHERE APPLICABLE ARE ROUNDED TO THE NEAREST FOOT.
3. ALL SEALS MUST BE WATERTIGHT WITH NON SHRINK GROUT OR RUBBER GASKETS AND CONCRETE STRUCTURES MUST BE PRECAST OR POURED IN PLACE.
4. CONTRACTOR SHALL GRADE, TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS OF CONSTRUCTION, INCLUDING PIPE INSTALLATION OR DITCH CONSTRUCTION. EROSION CONTROL MATTING SHALL BE PROVIDED ON ALL SLOPES GREATER THAN 3:1.
5. THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL MEASURES TO PROTECT STOCKPILE AREAS AND STORAGE AREAS. ALL AREAS USED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR UPON COMPLETION OF THE PROJECT. IF THE STAGING AREA IS PAVED, IT SHALL BE RESTORED TO ITS ORIGINAL CONDITION. IF THE STAGING AREA IS UNPAVED, IT SHALL BE RE-GRADED, TOPSOILED, SEEDED AND MULCHED TO THE SATISFACTION OF THE ENGINEER. ALL COSTS ASSOCIATED WITH RESTORATION OF THE STAGING AREA SHALL BE AT THE CONTRACTOR'S EXPENSE. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
6. EQUIPMENT AND/OR STOCKPILE MATERIAL SHALL NOT BE STORED IN THE DRILIPLINE AREA OF ANY TREE.
7. IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY THE SUSSEX CONSERVATION DISTRICT.
8. STABILIZATION MATTING SHALL BE NORTH AMERICAN GREEN SC150BN OR APPROVED EQUIVALENT.
9. ADDITIONAL GRADING AND EROSION AND SEDIMENT CONTROL NOTES CAN BE FOUND ON THE EROSION AND SEDIMENT CONTROL PLANS OR GRADING PLANS.

DEMOLITION AND SAFETY GENERAL NOTES

1. MISS UTILITY OF DELMARVA SHALL BE NOTIFIED THREE CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
2. EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48 HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA.
3. THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE ROAD WAY, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROLLING AND INFORMATIONAL SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE. THE COST SHALL BE INCLUDED IN THE COST OF ITEMS BID.
4. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
5. DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM. ADDITIONAL COSTS WILL BE NEGOTIATED WITH THE OWNER.
6. DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL WORK MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
7. ALL EXISTING SEWER PIPE, MANHOLES, AND APPURTENANCES DESIGNATED FOR REMOVAL SHALL BE REMOVED. NO ABANDONED IN PLACE COMPONENTS WILL BE ALLOWED.

FIRE PROTECTION GENERAL NOTES


1. THERE ARE NO PROPOSED SPRINKLERS FOR THE BUILDINGS WITHIN THE AMENITIES CENTER OF OUTER BANKS. ALL BUILDINGS ARE LESS THAN 10,000 SQ. FT.
2. ALL FIRE LANES, FIRE HYDRANTS, STAND PIPES, SPRINKLER CONNECTIONS, EXITS, ETC., SHALL BE MARKED AND/OR PROTECTED IN ACCORDANCE WITH STATE FIRE PROTECTION REGULATIONS AS EVIDENCED IN SECTION 705, CHAPTER 5, STANDARD FOR THE MARKING, IDENTIFICATION, AND ACCESSIBILITY OF FIRE LANES, EXITS, FIRE HYDRANTS, SPRINKLER, AND STANDPIPE CONNECTIONS.

INTERNAL PAVING / CONCRETE NOTES

1. WARM MIX ASPHALT SHALL BE INSTALLED IN ACCORDANCE WITH THE 2001 DelDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION INCLUDING SPECIAL PROVISIONS:
- 1.1. SECTION 401 FOR PLACEMENT OF TACK COAT AND WARM MIX.
 - 1.2. ASPHALT SHALL BE FROM A DelDOT APPROVED PLANT.
 - 1.3. WARM MIX SHALL NOT BE APPLIED WHEN THE TEMPERATURE IS BELOW 40° F OR ON ANY WET OR FROZEN SURFACE.
2. ALL DISTURBED AREAS NOT COVERED WITH IMPERVIOUS MATERIAL, SHALL BE TOPSOILED (6" MINIMUM), FERTILIZED, SEEDED AND MULCHED.
3. ALL SIGNING AND MAINTENANCE OF TRAFFIC IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL FOLLOW THE 2011 DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
4. DESIGN, FABRICATION, AND INSTALLATION OF ALL PERMANENT SIGNING SHALL BE AS OUTLINED IN THE 2011 DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
5. FOR FINAL PERMANENT PAVEMENT MARKINGS, EPOXY RESIN PAINT SHALL BE REQUIRED FOR LONG LINE STRIPING AND THERMO WILL BE REQUIRED FOR SHORT LINE STRIPING, I.E. SYMBOLS/LEADS.
6. ALL TRAFFIC CONTROL DEVICES SHALL BE IN NEW OR REFURBISHED CONDITION, SHALL COMPLY WITH THE 2011 DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION), AND SHALL BE NCHRP - 350 APPROVED AND SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED IN GOOD CONDITION FOR DURATION OF USE.
7. BREAKAWAY POSTS SHALL BE USED WHEN INSTALLING ALL SIGNS. DETAIL CAN BE FOUND IN DELDOT'S STANDARD CONSTRUCTION DETAILS.
8. PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT PAVING IS INSTALLED TO THE ELEVATIONS SHOWN AND THAT NO PONDING OF WATER EXISTS AFTER PAVING IS COMPLETE. PONDING IS DEFINED AS WATER STANDING IN AN AREA MORE THAN 1 HOUR AFTER A RAINFALL EVENT THAT PRODUCES RUNOFF. ELIMINATION OF PONDING WILL BE COMPLETED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
10. SUPERPAVE HOT-MIX SHALL BE USED IN ACCORDANCE WITH DelDOT SPECIAL PROVISIONS.
11. CONCRETE SHALL BE PLACED IN ACCORDANCE WITH DelDOT STANDARD SPECIFICATIONS.

SANITARY SEWER GENERAL NOTES

1. CONTRACTOR SHALL PROVIDE STAKEOUT SURVEY NECESSARY FOR THE INSTALLATION OF UTILITY WORK AND APPURTENANCES AS REQUIRED PER THE SUSSEX COUNTY STANDARDS AND SPECIFICATIONS.
2. SANITARY SEWER CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH SUSSEX COUNTY STANDARDS AND SPECIFICATIONS AND DETAILS.
3. ALL SANITARY SEWER MATERIALS AND APPURTENANCES SHALL MEET OR EXCEED THOSE REQUIRED BY SUSSEX COUNTY STANDARDS AND SPECIFICATIONS AND DETAILS.
4. USE ONLY SUITABLE GRANULAR MATERIAL APPROVED BY SUSSEX COUNTY FOR BACKFILLING TRENCHES.
5. SANITARY SEWER LATERAL SHALL BE 6" SDR-26 PVC. SEWER LATERAL SHALL INCLUDE A 6" CLEANOUT, WYE, AND CAP JUST BEHIND THE RIGHT-OF-WAY LINE.
6. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
7. TOP OF MANHOLE ELEVATIONS ARE TOP OF MANHOLE FRAME AND COVER
8. PIPE SPAN LENGTHS ARE MEASURED FROM C/L OF STRUCTURE TO C/L OF STRUCTURE, WHERE APPLICABLE ARE ROUNDED TO THE NEAREST FOOT.
9. THE CONTRACTOR SHALL FIELD VERIFY INVERTS AND LOCATION OF EXISTING SANITARY SEWER MAINS OR MANHOLES TO WHICH NEW CONSTRUCTION WILL CONNECT.
10. THE SEWER LATERAL SHALL HAVE A MINIMUM COVER OF 3 FEET FROM PROPOSED GRADE, AS MEASURED FROM THE TOP OF PIPE.
11. THE CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH OR ACCESS PITS WHICH CAN BE BACKFILLED AND STABILIZED AT THE END OF EACH WORKING DAY. STEEL PLATES SHALL BE USED ON ANY TRENCH OR ACCESS PITS WHICH MUST REMAIN OPEN OVERNIGHT. THIS REQUIREMENT DOES NOT APPLY TO AREAS COMPLETELY CLOSED AND SECURE FROM VEHICULAR OR PEDESTRIAN TRAFFIC.
12. FINAL APPROVED SET OF PLANS AND SPECIFICATIONS SHALL BE MAINTAINED ON THE JOB SITE. FAILURE TO COMPLY WITH THIS PROVISION SHALL BE CONSIDERED CAUSE TO STOP THE WORK.
13. THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF CONTRACT DRAWINGS ON WHICH HE SHALL NOTE, IN RED, THE ALIGNMENTS AND INVERTS OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK. ALL DISCREPANCIES BETWEEN THE PLAN LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE AS-BUILT DRAWINGS TO BE MAINTAINED BY THE CONTRACTOR IN THE FIELD.
14. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO LOCATE PROPERTY LINES, EASEMENTS, AND RIGHT-OF-WAY LINES PRIOR TO CONSTRUCTION AND AVOID CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY AND/OR RIGHTS OF WAYS WHERE SAID CONSTRUCTION IS PROHIBITED. THE CONTRACTOR MAY CONDUCT CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY PROVIDED HE HAS OBTAINED PRIOR WRITTEN PERMISSION FROM THE PROPERTY OWNER AND HAS SUBMITTED A COPY OF SAID WRITTEN PERMISSION TO SUSSEX COUNTY. ANY DISTURBED AREAS BEYOND THE RIGHT-OF-WAY OR EASEMENT LINES SHALL BE RESTORED IMMEDIATELY TO THEIR ORIGINAL CONDITION. PAYMENT FOR THIS WORK SHALL BE INCLUDED IN THE COST OF ITEMS BID.
15. DIFFERING SITE CONDITIONS AND/OR DIFFERING MATERIAL PROPERTIES SHALL REQUIRE SUSSEX COUNTY APPROVAL OF SPECIAL DESIGN DETAILS PREPARED BY THE DESIGN ENGINEER PRIOR TO INITIATING OR RESUMING CONSTRUCTION ACTIVITIES.
16. ALL TESTING AND INSPECTION SHALL BE PERFORMED IN ACCORDANCE WITH THE SUSSEX COUNTY STANDARDS AND SPECIFICATIONS.
17. ALL SANITARY SEWER PIPE AND FITTINGS SHALL BE POLYVINYL CHLORIDE (PVC), SDR 26 OR DUCTILE IRON PIPE (DIP), CLASS 52 CERAMIC EPOXY-LINED (PROTECTO 401). ALL DIP SHALL HAVE AN BITUMINOUS COATING ON THE OUTSIDE SURFACE.
18. SEWER AND FORCE MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM WATER MAINS. SEWER CROSSING WATER MAINS SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 18" TO OUTSIDE OF PIPES. IF AN 18" CLEARANCE CANNOT BE OBTAINED, A 10 LINEAR FOOT CONCRETE ENCASEMENT SHALL BE USED ON THE SEWER MAIN.
19. ALL SEWER MAINS SHALL HAVE DETECTOR TAPE AS REQUIRED BY SUSSEX COUNTY STANDARDS AND SPECIFICATIONS.
20. THE SUSSEX COUNTY STANDARDS AND SPECIFICATIONS ARE THE SUSSEX COUNTY WASTEWATER STANDARDS AND SPECIFICATIONS DATED 6/19/2012. COPIES CAN BE OBTAINED FROM SUSSEX COUNTY.

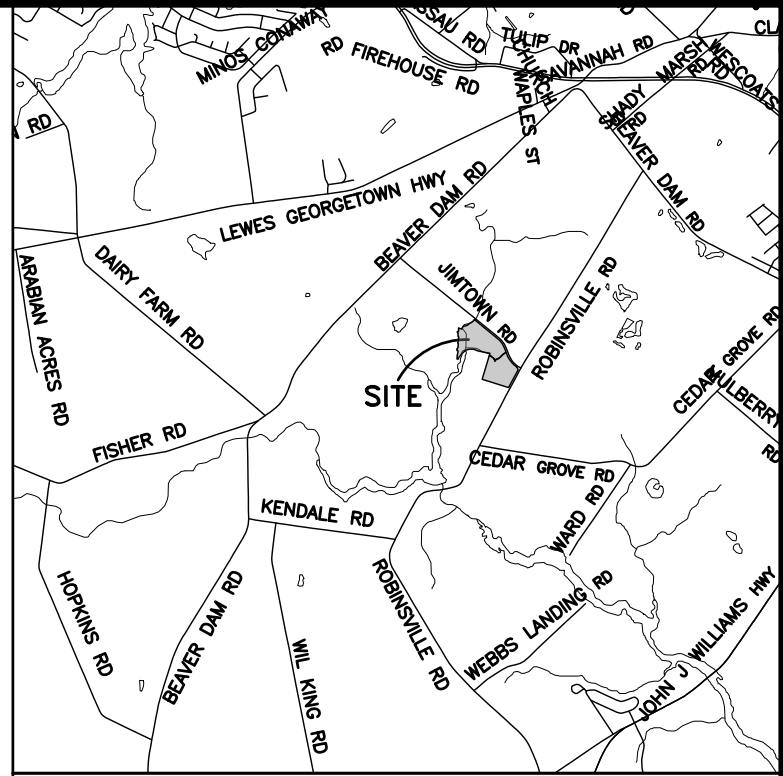
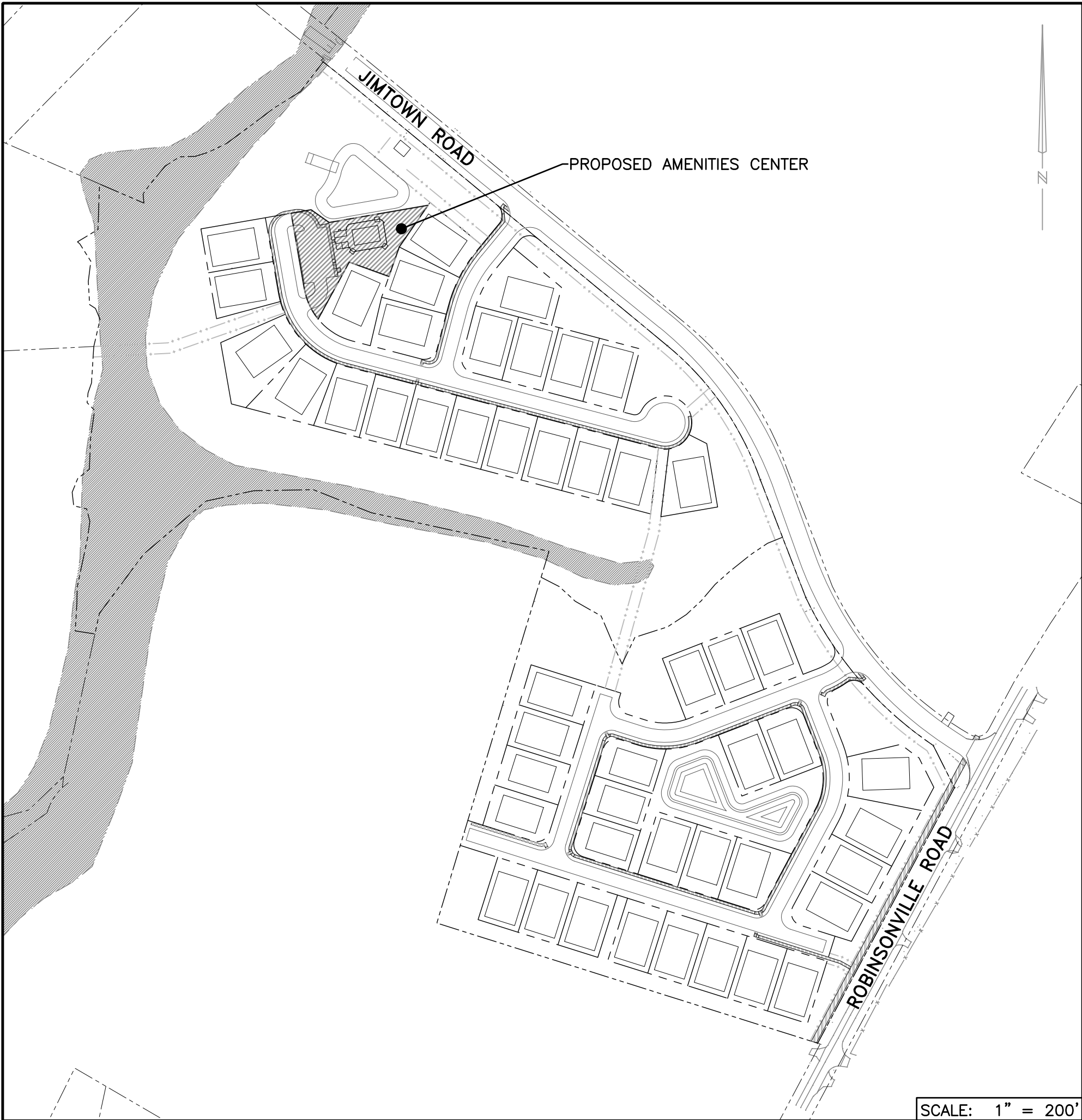


DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS, ENGINEERS & SURVEYORS

SALISBURY, MARYLAND (410) 543-9091
MILFORD, DELAWARE (302) 424-1441
EASTON, MARYLAND (410) 770-4744

AMENITIES CENTER
OUTER BANKS
LEWES & REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

DBF # 1319A045.B01
REVISED: DECEMBER 22, 2020



DATA COLUMN

TAX MAP ID:	3-34-11.00-5.02
PLANNING REFERENCE NO.:	2018-02
EXISTING ZONING:	AR-1 AGRICULTURAL RESIDENTIAL DISTRICT
PROPOSED ZONING:	AR-1 CLUSTER DEVELOPMENT OPTION
THE PROPERTY IS IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA MAP 10005C0331K, DATED MARCH 16, 2015. THE AMENITIES CENTER PARCEL IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN.	
THE PROPERTY IS IMPACTED BY WETLANDS. THE AMENITIES CENTER PARCEL IS NOT IMPACTED BY WETLANDS.	
APPROXIMATE CENTER OF OUTER BANKS: LAT. = 38.7278, LONG. = -75.1831	
BUILDING HEIGHT:	42' MAX.
BUILDING CONSTRUCTION:	V-B (BC), V (000) (NFPA)
BUILDING AREAS:	
POOL, MECHANICAL & STORAGE:	126 SF±
BATHROOMS:	262 SF±
TOTAL:	388 SF±
LOT AREAS	
OPEN AREA:	12,242 SF± (46.42%)
IMPERVIOUS AREA:	14,131 SF± (53.58%)
AMENITY CENTER PARCEL:	26,373 SF± (100.00%)
CLUSTER OPTION MINIMUM ZONING REQUIREMENT	
FRONT YARD:	25 FT.
SIDE YARD:	10 FT.
REAR YARD:	10 FT.
CORNER YARD:	15 FT.
WIDTH OF LOT:	60 FT.
MINIMUM LOT AREA:	7500 SF.
PARKING	
REQUIRED:	1500 SF POOL AREA x 1 SPACE/100 SF = 15 SPACES
PROVIDED:	19 SPACES (INCLUDING 1 VAN ACCESSIBLE)
SANITARY SEWER: SUSSEX COUNTY	
WATER SUPPLY: TIDEWATER UTILITIES	
DATUM	
VERTICAL:	NAVD88
HORIZONTAL:	NAD 83 (DE STATE PLANE)
OWNER/DEVELOPER	
SCHELL OUTER BANKS, LLC. 20184 PHILLIPS STREET REHOBOTH BEACH, DE 19971 PHONE: 302-226-1994 CONTACT: TIM GREEN	
ENGINEER	
DAVIS, BOWEN & FRIEDEL, INC. MILFORD, DE 19963 PHONE: 302-424-1441 FAX: 302-424-0430 CONTACT: ZAC CROUCH, P.E.	

LEGEND

- BOUNDARY LINE
- ADJACENT BOUNDARY LINE
- PROPERTY LINE
- IRON ROD WITH CAP SET
- EASEMENT
- BUILDING SETBACK LINE
- EXISTING UTILITY POLE
- EXISTING SIGN
- TREE
- TREE LINE
- WETLANDS
- EXISTING CONTOUR
- PROPOSED CONTOUR
- SPOT ELEVATION
- FENCE
- CATCH BASIN, STORM PIPE, FLARED END, AND LABELS
- SANITARY SEWER MANHOLE, PIPE, FLOW ARROW, AND PIPE SIZE
- SANITARY SEWER LATERAL
- WATER LATERAL
- WATER MAIN TEE, BEND, VALVES, AND PIPE SIZE
- FIRE HYDRANT ASSEMBLY
- PAVEMENT
- SIDEWALK

POTABLE WATER DISTRIBUTION GENERAL NOTES

1. ALL WORK MUST BE IN CONFORMANCE WITH TIDEWATER UTILITIES, INC. STANDARDS AND SPECIFICATIONS.
2. ALL WORK MUST BE HYDROSTATICALLY TESTED AND THEN DISINFECTED. CONTRACTOR SHALL SUPPLY ALL MATERIALS TO TEST AND DISINFECT THE SYSTEM. CONTRACTOR IS REQUIRED TO OBTAIN A CERTIFICATE TO OPERATE FROM DHSS OFFICE OF DRINKING WATER.
3. ALL AREAS DISTURBED SHALL BE RESTORED TO THEIR ORIGINAL CONDITION. IF ADDITIONAL WORK IS REQUIRED IN THE FUTURE THEN THE AREA SHALL BE STABILIZED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLANS.
4. WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM SEWER MAINS. WATER CROSSING SEWER MAINS SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 18" TO OUTSIDE OF PIPES. IF AN 18" CLEARANCE CANNOT BE OBTAINED, A 10 LINEAR FOOT CONCRETE ENCASEMENT SHALL BE USED ON THE SEWER MAIN.
5. ALL PIPE SHALL HAVE DETECTOR TAPE AS REQUIRED BY TIDEWATER UTILITIES, INC. STANDARDS AND SPECIFICATIONS.
6. THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF CONTRACT DRAWINGS ON WHICH HE SHALL NOTE, IN RED, THE ALIGNMENTS AND INVERTS OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK. ALL DISCREPANCIES BETWEEN THE PLAN LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE AS-BUILT DRAWINGS TO BE MAINTAINED BY THE CONTRACTOR IN THE FIELD.
7. PLAN LOCATIONS AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE SPECIFIED BY THE ENGINEER. THE CONTRACTOR SHALL ADJUST WATERLINE LOCATIONS AS REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
8. ALL WATER MAINS 6" OR GREATER SHALL BE C-909 CL235 PVC UNLESS OTHERWISE NOTED. ALL 4" WATER MAINS SHALL BE C-900 DR25 PVC. ALL DUCTILE IRON PIPE WATER MAINS TO BE CL350 CEMENT-LINED AND NSF 61 APPROVED.

CONDITIONS OF PRELIMINARY APPROVAL

1. THE DEVELOPMENT SHALL BE SERVED BY ON-SITE ACTIVE AMENITIES SUCH AS A POOL AND POOL HOUSE WITH RESTROOM FACILITIES. THE DEVELOPER SHALL COMPLETE ALL AMENITIES PRIOR TO THE ISSUANCE OF THE 25TH RESIDENTIAL BUILDING PERMIT.

OWNERS STATEMENT

I, BLAKE THOMPSON OF EDGE MARINE, LLC., HEREBY CERTIFY THAT EDGE MARINE, LLC. IS THE OWNER OF THE PROPERTY WHICH IS THE SUBJECT OF THIS PLAT; THAT THIS SUBDIVISION PLAT THEREOF WAS MADE AT THEIR DIRECTION; THAT ALL STREETS SHOWN HEREON ARE TO BE PRIVATE RIGHT-OF-WAYS AND ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION; THAT ALL PROPOSED STREET CONTROL MONUMENTS WILL BE SET AT THE LOCATIONS SHOWN, AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DESIRE THIS PLAT BE RECORDED ACCORDING TO LAW.

BLAKE THOMPSON DATE

ENGINEER'S STATEMENT

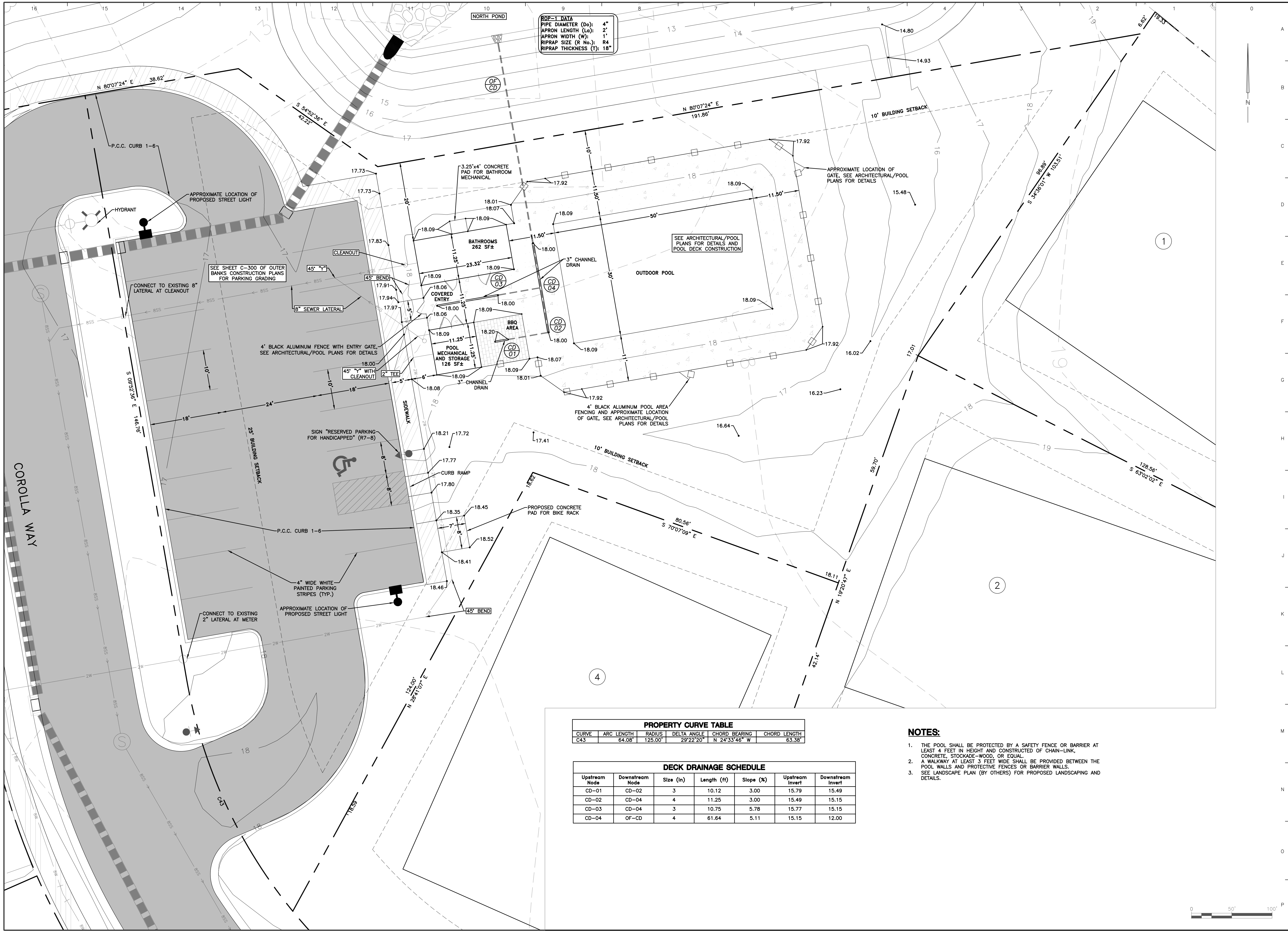
I, W. ZACHARY CROUCH, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVIS, BOWEN & FRIEDEL, INC.
by W. ZACHARY CROUCH, P.E. DATE

SHEET INDEX	
Sheet Number	Sheet Title
C-001	TITLE SHEET
C-101	SITE, GRADING, & UTILITY PLAN

C-001

P:\Thompson\2374B004 Marine Farm\SCHELL BROTHERS\1319A045 Amenities Site Grading Utility Plan.dwg Dec 22, 2020 - 12:59pm MACB



OUTER BANKS LEWES & REHOBOTH HUNDRED SUSSEX COUNTY, DELAWARE

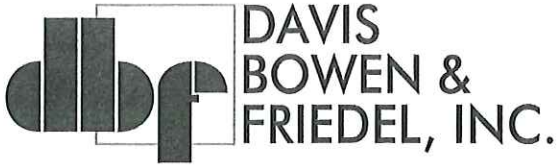
Revisions:
12/17/20 PAZ COMMENTS
12/22/20 AMENITIES SS LATERAL
CHANGED TO 6"

Date: **NOVEMBER, 2020**
Scale: **1"=10'**
Dwn.By: **BPM**
Proj.No.: **1319A045**
Dwg.No.:

C-101

DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
SUSSEX COUNTY, DELAWARE
EASTON, MARYLAND
(410) 643-2800
(302) 424-1441
(410) 770-4744

SITE, GRADING, & UTILITY PLAN



ARCHITECTS • ENGINEERS • SURVEYORS

Michael R. Wigley, AIA, LEED AP
W. Zachary Crouch, P.E.
Michael E. Wheedleton, AIA, LEED GA
Jason P. Loar, P.E.
Ring W. Lardner, P.E.
Jamie L. Sechler, P.E.

December 17, 2020

Sussex County Administrative Building
Planning & Zoning Commission
2 The Circle, P.O. Box 417
Georgetown, DE 19947

Attn: Christin Scott
Planner I

Re: Outer Banks Amenities Center Parking Waiver
Tax ID: 3-34-11.00-5.02
DBF #1319A045.B01

Dear Ms. Scott,

On behalf of our client, Schell Outer Banks, LLC, we are respectfully requesting a waiver to allow parking within the front setback for the Amenities Center parcel of the Outer Banks development. This irregular shaped parcel was assigned a 25 foot front setback along a private street right-of-way. Adjacent to this right-of-way, we are proposing 10 parking spaces that are located within the 25 foot setback.

Should you have any questions or need additional information, please contact me at (302) 424-1441 or via e-mail at bpm@dbfinc.com.

Sincerely,
DAVIS, BOWEN AND FRIEDEL, INC.

A handwritten signature in black ink, appearing to read 'B Mace', is written over a large, stylized 'B' that serves as a signature element.

Brandon P. Mace
Site Designer

Enclosures

BPM
P:\Thompson\2374B004 Marine Farm\SCHELL BROTHERS\Docs\P&Z\1319A045 Amenities Parking Waiver Request.docx

cc: file

ENGINEERING DEPARTMENT

ADMINISTRATION	(302) 855-7718
AIRPORT & INDUSTRIAL PARK	(302) 855-7774
ENVIRONMENTAL SERVICES	(302) 855-7730
PUBLIC WORKS	(302) 855-7703
RECORDS MANAGEMENT	(302) 854-5033
UTILITY ENGINEERING	(302) 855-7717
UTILITY PERMITS	(302) 855-7719
UTILITY PLANNING	(302) 855-1299
FAX	(302) 855-7799



Sussex County

DELAWARE
sussexcountype.gov


HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

MICHAEL E. BRADY
DIRECTOR OF PUBLIC WORKS

MEMORANDUM

DATE: December 22, 2020

TO: Christin Scott
Planner I, Planning and Zoning

FROM: Jordan Dickerson
Public Works Technician IV 

SUBJECT: Outer Banks Amenities

Please be advised that the Sussex County Engineering Department has no objection to the proposed site plan for the above reference project. The site plan doesn't fall under Chapter 99 for Engineering review and a sewer lateral has already been provided per approved construction plans, dated 8/20/2019. If pool backwash is going to discharge into our system, a review and approval will need to be completed by Environmental Services.

Cc: Mr. Zac Crouch, P.E. Davis, Bowen & Friedel, Inc.
Mr. Brandon Mace, Davis, Bowen & Friedel, Inc.





OFFICE OF THE STATE FIRE MARSHAL
Technical Services

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2020-04-205654-MJS-01

Tax Parcel Number: 3-34-11.00-5.02-5.03

Status: Approved as Submitted

Date: 12/31/2020

Project

Amenities Center

Outer Banks North and South

Jimtown Road

Lewes DE 19958

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 82 - Lewes Fire Dept Inc

Occupant Load Inside:

Occupancy Code: 9622

Applicant

W. Zachary Crouch

1 Park Avenue

Milford, DE 19963

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:

Jefferson Cerri

Fire Protection Specialist II

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2020-04-205654-MJS-01

Tax Parcel Number: 3-34-11.00-5.02-5.03

Status: Approved as Submitted

Date: 12/31/2020

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1040 A** This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 1,000 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 800' on center.
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1190 A** Separate plan submittal is required for the building(s) proposed for this project.
- FOR PROPOSED STORAGE BUILDING AND RESTROOMS, TWO SEPARATE BUILDINGS REQUIRE TWO SEPARATE APPLICATIONS
- 2500 A** A final inspection is required for this project prior to occupancy (DSFPR Part I, Section 4-7). Contact this Agency to schedule this inspection. Please have the plan review number available. A MINIMUM OF FIVE (5) WORKING DAYS NOTICE IS REQUIRED.
- 2040 A** Any door in a required means of egress from an area having an occupant load of 100 or more persons may be provided with a latch or lock only if it is panic hardware or fire exit hardware complying with NFPA 101, Section 12.2.2.2.3 and section 7.2.1.7.1
- FOR GATES
- 2447 A** Outside open air assembly areas (decks, patio, etc.) where egress from the area can be accomplished without re entering the building will get an occupant load

for just the outside open air assembly area. The occupant load is for the outside open air assembly area ONLY and is separate from the building's posted occupant load. Any alterations to the outside open air assembly area shall require formal plan submittal to the DE State Fire Marshal's Office.

OL = 111

1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.

ENGINEERING DEPARTMENT

ADMINISTRATION	(302) 855-7718
AIRPORT & INDUSTRIAL PARK	(302) 855-7774
ENVIRONMENTAL SERVICES	(302) 855-7730
PUBLIC WORKS	(302) 855-7703
RECORDS MANAGEMENT	(302) 854-5033
UTILITY ENGINEERING	(302) 855-7717
UTILITY PERMITS	(302) 855-7719
UTILITY PLANNING	(302) 855-1299
FAX	(302) 853-5881



Sussex County

DELAWARE
sussexcountyde.gov

HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

November 23, 2020

Mr. Robert Horsey
David G. Horsey & Sons, Inc.
28107 Beaver Dam Branch Road
Laurel, DE 19956

**REF: SUSSEX COUNTY PROJECT NO. 81-04
LONG NECK SANITARY SEWER DISTRICT
SUSSEX COUNTY TAX MAP NO.
3-34-11.00 PARCEL 5.02 & 5.03
OUTER BANKS NORTH (CONSTRUCTION RECORD)
AGREEMENT NO. 1086-1**

- 1 - Set of Cut Sheets, pages 5 thru 7 stamped "No Exceptions Taken", for the above referenced project.
- 1 - Cut Sheet, page 8 stamped "Comments Noted", for the above referenced project.

Sincerely,

SUSSEX COUNTY ENGINEERING DEPARTMENT


Keith Bryan
Assistant Director
Utility Engineering Department

KB:set

Enclosures

Cc: Mr. Hans Medlarz, P.E. w/o enclosure
Mr. Christopher Waters, w/enclosure
Field File, w/enclosure



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE 19947



DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
601 East Main Street, Suite 100, Salisbury, MD 21804
Phone: 410-543-9091 Fax: 410-543-7675

GRAVITY SEWER CUT SHEET

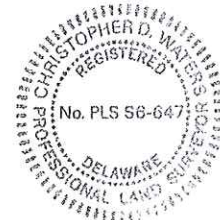
DBF Project # 1319A045
Grade To: INVERT, RIM
Prep By: REO
Date Staked: 11/16/2020

Project: OUTER BANKS
Offset: AS NOTED
Checked By: EWT 11/18/20
Sheet No: 5 of

SMH-105 TO SMH-106
8" SDR
Run Length: 180 LF

HUB #	RUN STATION	HUB ELEV.	PROP. ELEV.	CUT	FILL	REMARKS	REMARKS	SLOPE
679	0+00	18.76	7.87	10.89	--	35' OS SMH-105	INVERT IN	0.0050
761	0+25	18.34	7.99	10.35	--	20' OS SEWER	INVERT	0.0050
762	0+50	17.49	8.12	9.37	--	20' OS SEWER	INVERT	0.0050
763	1+00	16.73	8.37	8.36	--	20' OS SEWER	INVERT	0.0050
764	1+80	17.08	8.77	8.31	--	20' OS SMH-106	INVERT OUT	0.0050
765	1+80	16.91	8.77	8.14	--	20' OS SMH-106	INVERT OUT	0.0050
679	0+00	18.76	17.58	1.18	--	20' OS SMH-105	RIM	
764	1+80	17.08	17.33	--	0.25	20' OS SMH-106	RIM	

LATERAL STATION	Offset Dist	Offset Direction	LOT/UNIT NO.
0+04.9	32.3	Left	LOT 11
0+75.6	32.2	Left	LOT 10
1+55.6	32.1	Left	LOT 9



Christopher D. Waters

SUSSEX COUNTY ENGINEERING DEPARTMENT

☒ NO EXCEPTIONS TAKEN ☐ NOT ACCEPTABLE
☐ COMMENTS NOTED ☐ AMEND AND RESUBMIT
☐ NO ACTION TAKEN

VIEW FOR GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS. NO RESPONSIBILITY IS ASSUMED FOR CORRECTNESS OF DIMENSIONS, DETAIL OR QUANTITIES. NO CONTRACT REQUIREMENTS ARE WAIVED.

11/20/20
DATE

BY



DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
601 East Main Street, Suite 100, Salisbury, MD 21804
Phone: 410-543-9091 Fax: 410-543-7675

GRAVITY SEWER CUT SHEET

DBF Project # 1319A045
Grade To: INVERT, RIM
Prep By: REO
Date Staked: 11/16/2020

Project: OUTER BANKS
Offset: AS NOTED
Checked By: EWT 11/18/20
Sheet No: 6

SMH-106 TO SMH-107
8" SDR
Run Length: 75LF

HUB #	RUN STATION	HUB ELEV.	PROP. ELEV.	CUT	FILL	REMARKS	REMARKS	SLOPE
764	0+00	17.08	8.87	8.21	--	20' OS SMH-106	INVERT IN	0.0050
765	0+00	16.91	8.87	8.04	--	20' OS SMH-106	INVERT IN	0.0050
766	0+25	17.38	8.99	8.39	--	20' OS SEWER	INVERT	0.0050
767	0+50	17.26	9.12	8.14	--	20' OS SEWER	INVERT	0.0050
768	0+75	16.91	9.24	7.67	--	20' OS SMH-107	INVERT OUT	0.0050
769	0+75	16.95	9.24	7.71	--	20' OS SMH-107	INVERT OUT	0.0050
764	0+00	17.08	17.33	--	0.25	20' OS SMH-106	RIM	
768	0+75	16.91	17.72	--	0.81	20' OS SMH-107	RIM	

LATERAL STATION	Offset Dist	Offset Direction	LOT/UNIT NO.
0+25.9	15.6	Right	LOT 4
0+44.1	36.9	Left	LOT 8



Christopher D. Waters

SUSSEX COUNTY ENGINEERING DEPARTMENT

☒ NO EXCEPTIONS TAKEN ☐ NOT ACCEPTABLE
☐ COMMENTS NOTED ☐ AMEND AND RESUBMIT
☐ NO ACTION TAKEN

VIEW FOR GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS. NO RESPONSIBILITY IS ASSUMED FOR CORRECTIONS OF DIMENSIONS, DETAIL OR QUANTITIES. NO CONTRACT DOCUMENTS ARE WAIVED.

11/20/20
DATE BY



DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
601 East Main Street, Suite 100, Salisbury, MD 21804
Phone: 410-543-9091 Fax: 410-543-7675

GRAVITY SEWER CUT SHEET

DBF Project # 1319A045
Grade To: INVERT, RIM
Prep By: REO
Date Staked: 11/16/2020

Project: OUTER BANKS
Offset: AS NOTED
Checked By: EWT 11/18/20
Sheet No: 7 of

SMH-107 TO SMH-108
8" SDR
Run Length: 75LF

HUB #	RUN STATION	HUB ELEV.	PROP. ELEV.	CUT	FILL	REMARKS	REMARKS	SLOPE
768	0+00	16.91	9.34	7.57	--	20' OS SMH-107	INVERT IN	0.0050
769	0+00	16.95	9.34	7.61	--	20' OS SMH-107	INVERT IN	0.0050
770	0+25	17.29	9.46	7.83	--	20' OS SEWER	INVERT	0.0050
771	0+50	15.20	9.59	5.61	--	20' OS SEWER	INVERT	0.0050
772	0+75	17.21	9.72	7.49	--	20' OS SMH-108	INVERT OUT	0.0050
773	0+75	17.11	9.72	7.39	--	20' OS SMH-108	INVERT OUT	0.0050
768	0+00	16.91	17.72	--	0.81	20' OS SMH-107	RIM	
772	0+75	17.21	17.79	--	0.58	20' OS SMH-108	RIM	

LATERAL STATION	Offset Dist	Offset Direction	LOT/UNIT NO.
0+18.0	35.9	Left	LOT 7



SUSSEX COUNTY ENGINEERING DEPARTMENT

☒ NO EXCEPTIONS TAKEN ☐ NOT ACCEPTABLE
☐ COMMENTS NOTED ☐ AMEND AND RESUBMIT
☐ NO ACTION TAKEN

VIEW FOR GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS. NO RESPONSIBILITY IS ASSUMED FOR CORRECTION OF DIMENSIONS, DETAIL OR QUANTITIES. NO CONTRACTOR'S CLAIMS ARE WAIVED.

11/20/20
DATE

BY



DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
601 East Main Street, Suite 100, Salisbury, MD 21804
Phone: 410-543-9091 Fax: 410-543-7675

GRAVITY SEWER CUT SHEET

DBF Project # 1319A045
Grade To: INVERT,RIM
Prep By: REO
Date Staked: 11/16/2020

Project: OUTER BANKS
Offset: AS NOTED
Checked By: EWT 11/18/20
Sheet No: 8 of
SMH-108 TO SMH-109
8" SDR
Run Length: 113LF

HUB #	RUN STATION	HUB ELEV.	PROP. ELEV.	CUT	FILL	REMARKS	REMARKS	SLOPE
772	0+00	17.21	9.82	7.39	--	20' OS SMH-108	INVERT IN	0.0050
773	0+00	17.11	9.82	7.29	--	20' OS SMH-108	INVERT IN	0.0050
774	0+25	17.63	9.94	7.69	--	20' OS SEWER	INVERT	0.0050
775	0+50	18.11	10.07	8.04	--	20' OS SEWER	INVERT	0.0050
776	1+00	16.58	10.32	6.26	--	20' OS SEWER	INVERT	0.0050
777	1+13	15.68	10.38	5.30	--	20' OS SMH-109	INVERT OUT	0.0050
778	1+13	13.84	10.38	3.46	--	20' OS SMH-109	INVERT OUT	0.0050
772	0+00	17.21	17.79	--	0.58	20' OS SMH-108	RIM	
777	1+13	15.68	16.99	--	1.31	20' OS SMH-109	RIM	

LATERAL STATION	Offset Dist	Offset Direction	LOT/UNIT NO.
0+34.4	32.3	Left	LOT 6
1+03.7	19.2	Right	AMENITY
1+10.6	31.7	Left	LOT 5



Christopher D. Waters

SUSSEX COUNTY ENGINEERING DEPARTMENT
☒ NO EXCEPTIONS TAKEN
☐ COMMENTS NOTED
☐ NO ACTION TAKEN
 NOT ACCEPTABLE
 AMEND AND RESUBMIT
 REVIEW FOR GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS. NO RESPONSIBILITY IS ASSUMED FOR CORRECTION OF DIMENSIONS, DETAIL OR QUANTITIES. NO CONTRACTOR'S WARRANTIES ARE WAIVED.
 11/20/20
 DATE

[Signature]

DELDOT RECORD NOTES

1. NO LANDSCAPING SHALL BE ALLOWED WITHIN R/W UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL (DCM).
2. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
3. SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
4. UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S SHARED-USE PATH AND/OR SIDEWALK TERMINATION POLICY.
5. PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 §131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
6. THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SIDEWALK.
7. ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION STREET.
8. DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
9. TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
10. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
11. A PERPETUAL CROSS ACCESS INGRESS/EGRESS EASEMENT HEREBY ESTABLISHED AS SHOWN ON THIS PLAN.
12. AN ENTRANCE PERMIT SHALL NOT BE ISSUED UNTIL SUCH TIME ALL THE REQUIRED RIGHTS-OF-WAY/EASEMENTS HAVE BEEN ACQUIRED AND THE ACQUISITION DEEDS RECORDED IN THE SUSSEX COUNTY RECORDER OF DEEDS OFFICE.

CONDITIONS OF APPROVAL
(CZ 1876, AND CU 2169)

- A. THE MAXIMUM NUMBER OF RESIDENTIAL UNITS SHALL BE 24.
- B. THE APPLICANT SHALL FORM A HOMEOWNERS OR CONDOMINIUM ASSOCIATION RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF THE DEVELOPMENT ROADWAY, BUFFERS, STORMWATER MANAGEMENT FACILITIES, EROSION, AND SEDIMENTATION CONTROL FACILITIES, AND OTHER COMMON AREAS.
- C. ALL ENTRANCE, INTERSECTION, ROADWAY, AND MULTI-MODAL IMPROVEMENTS SHALL BE COMPLETED BY THE DEVELOPER IN ACCORDANCE WITH ALL DELDOT REQUIREMENTS.
- D. THE PROJECT SHALL BE SERVED BY SUSSEX COUNTY SEWER. THE DEVELOPER SHALL COMPLY WITH ALL SUSSEX COUNTY ENGINEERING DEPARTMENT REQUIREMENTS INCLUDING ANY OFF-SITE UPGRADES NECESSARY TO PROVIDE SERVICE TO THE PROJECT.
- E. THE PROJECT SHALL BE SERVED BY CENTRAL WATER TO PROVIDE DRINKING WATER AND FIRE PROTECTION.
- F. THERE SHALL BE A VEGETATED OR FORESTED BUFFER OF AT LEAST 20- FEET IN WIDTH AS SHOWN ON THE PRELIMINARY PLAN.
- G. AS STATED BY THE APPLICANT:
 1. A BUILDING SETBACK LINE (BSL) BEHIND THE CURRENT LOCATION OF HOMES #8 THROUGH #14 SHALL BE 35 FEET FROM THE PERIMETER PROPERTY LINE. THE BSL SHALL BE AS SHOWN ON THE ATTACHED PLOT. THE BSL SHALL BE APPLICABLE TO ALL STRUCTURES INCLUDING PORCHES, SUNROOMS, DECKS AND PATIOS (ATTACHMENT TO FINAL ORDINANCE).
 2. ALL HOMES CONSTRUCTED ADJACENT TO THE BSL SHALL BE RESTRICTED TO A MAXIMUM HEIGHT OF 28 FEET.
 3. ALL HOMES CONSTRUCTED ADJACENT TO THE BSL SHALL HAVE NO WINDOWS ON THE 2ND FLOOR IN THE REAR ELEVATION OVERLOOKING THE REAR YARD THAT ARE LESS THAN 5 FEET ABOVE THE FLOOR SURFACE OF THAT 2ND FLOOR.
 4. THE APPLICANT (OR HIS DESIGNEE) SHALL ASSUME RESPONSIBILITY FOR IMPLEMENTATION OF THE LANDSCAPE BUFFER PLANTINGS ON VILLAGES OF FIVE POINTS (VOFP) PROPERTY IN COMPLIANCE WITH AN ANTICIPATED MODIFIED VOFP PROPERTY OWNERS ASSOCIATION (POA) MASTER LANDSCAPE PLAN ALONG THE 772 FOOT COMMON BOUNDARY BETWEEN VOFP EAST AND 1525 SAVANNAH ROAD AND ASSUMES THE EXPENSES FOR MAINTENANCE OF THE PLANTINGS FOR ONE YEAR. AFTER ONE YEAR, THE VOFP POA ACCEPTS RESPONSIBILITY FOR ALL MAINTENANCE OF PLANTINGS. THE EXISTING VOFP POA MASTER LANDSCAPE ARCHITECT AND APPROVED FOR IMPLEMENTATION THROUGH THE VOFP POA GROUNDS COMPLIANCE PROCESS. THE VOFP POA LANDSCAPE ARCHITECT AND APPLICANT (OR HIS DESIGNEE) WILL ADHERE TO A BUDGET OF NO MORE THAN \$25,000 FOR THE IMPLEMENTATION OF THE MODIFIED VOFP POA MASTER LANDSCAPE PLAN. THE ADDITIONAL SCREENING/TREE DENSITY OFFERED WILL ENHANCE PROPERTY SITE LINES FOR THE HOMEOWNERS IN THE VOFP AND IN THE PROPOSED COMMUNITY. PLAN IMPLEMENTATION SHALL BE MADE IN ACCORDANCE WITH VOFP POA APPROVED COMPLIANCE PROCESS AND WITHIN 30 DAYS AFTER THE SETTLEMENT OF THE SALE OF THE 5TH FINISHED HOME TO AN END BUYER (NOT A MODEL HOME).
- H. THE APPLICANT SHALL SUBMIT AS PART OF THE FINAL SITE PLAN A LANDSCAPE PLAN SHOWING THE PROPOSED TREE AND SHRUB LANDSCAPE DESIGN, INCLUDING THE BUFFER AREAS.
- I. CONSTRUCTION AND SITE WORK ON THE PROPERTY, INCLUDING DELIVERIES OF MATERIALS TO OR FROM THE PROPERTY, SHALL ONLY OCCUR BETWEEN 8:00 A.M. AND 6:00 P.M. MONDAY THROUGH FRIDAY, AND BETWEEN 8:00 A.M. AND 6:00 P.M. SATURDAYS BETWEEN LABOR DAY AND MEMORIAL DAY. THERE SHALL BE NO CONSTRUCTION ACTIVITIES AT THE SITE ON SUNDAYS.
- J. AS STATED BY THE APPLICANT, THERE SHALL BE A SIDEWALK ALONG THE WESTERN AND NORTHERN SIDE OF THE DEVELOPMENT'S ROADWAY AND IN FRONT OF THE HOMES IDENTIFIED AS UNITS 20 THROUGH 24 ON THE PRELIMINARY SITE PLAN.
- K. STREET NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE COUNTY MAPPING AND ADDRESSING DEPARTMENTS.
- L. THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX COUNTY CONSERVATION DISTRICT FOR THE DESIGN AND LOCATION OF ALL STORMWATER MANAGEMENT AREAS AND EROSION AND SEDIMENTATION CONTROL FACILITIES.
- M. THERE SHALL BE TWELVE (12) ADDITIONAL OFF-STREET PARKING SPACES PROVIDED WITHIN THE SITE FOR VISITOR PARKING. THESE SPACES SHALL BE SHOWN ON THE FINAL SITE PLAN.
- N. ALL STREETLIGHTS SHALL BE DOWNWARD SCREENED SO THAT THEY DO NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
- O. THE STREET SHALL MEET OR EXCEED COUNTY ROAD STANDARDS AND DESIGN REQUIREMENTS.
- P. THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.

SITE TRIPS GENERATED - PROPOSED

TYPE OF DEV.	ITE CODE	UNITS	AM	PM	WKDY ADT
SINGLE FAMILY HOMES	210	24	22	26	280

NOTES:

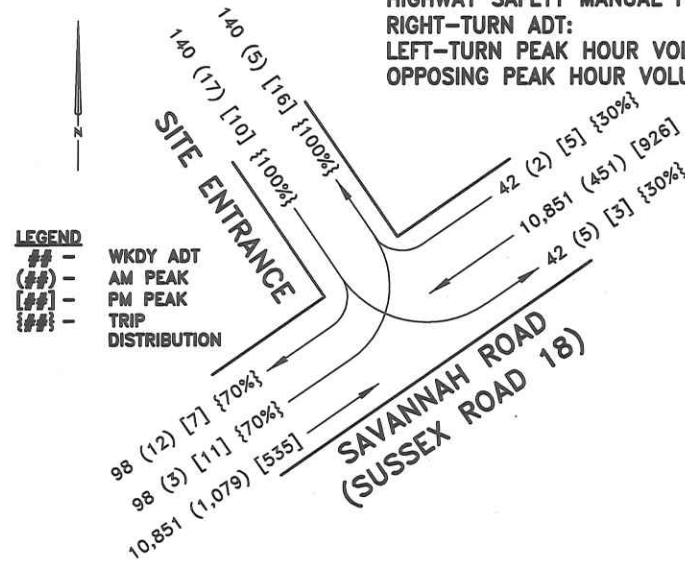
1. DESIGN VEHICLE: SU-30
2. SAVANNAH ROAD PEAK HOUR VOLUMES AND DISTRIBUTIONS BASED ON 9/15/2015 DELDOT TRAFFIC COUNT AT SAVANNAH ROAD @ WESCOATS ROAD, WITH A GROWTH OF 1.16 APPLIED

ROAD SAVANNAH ROAD (SUSSEX COUNTY ROAD 018)

FUNCTIONAL CLASSIFICATION - MAJOR COLLECTOR	
AADT (2018 DELAWARE VEHICLE VOLUME SUMMARY)	= 18,709
10 YR PROJECTED AADT = 1.16 X 18,709	= 21,702
10 YR PROJECTED AADT + SITE ADT E OF SITE (84)	= 21,786
10 YR PROJECTED AADT + SITE ADT W OF SITE (196)	= 21,898
AM PEAK HOUR	= 1,530
DIRECTIONAL SPLIT = 70.51% (EB) / 29.49% (WB)	= 1,079/451
PM PEAK HOUR	= 1,461
DIRECTIONAL SPLIT = 36.62% (EB) / 63.38% (WB)	= 535/926
9.69% TRUCK % X 1,530 (HIGHEST PEAK HOUR)	= 148
SPEED POSTED	= 35
TRAFFIC PATTERN GROUP -	= 8

SITE ACCESS DESIGN VOLUMES

SAVANNAH ROAD: 2028 AADT (HIGHEST LEG PER HIGHWAY SAFETY MANUAL PAGE 10-8) = 21,898
RIGHT-TURN ADT: = 42
LEFT-TURN PEAK HOUR VOLUME = 11
OPPOSING PEAK HOUR VOLUMES = 931



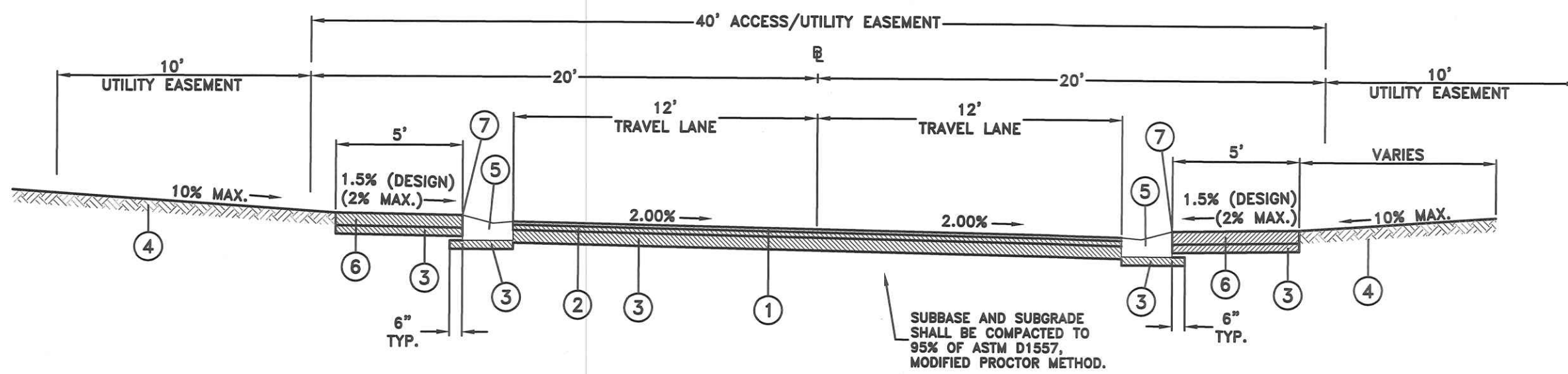
CATCHING COVE

RECORD PLANS

LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DELAWARE

DBF PROJECT NO. 1541A002
REVISED 2020-8-27

SUSSEX COUNTY SITE PLAN #S-20-31



TYPICAL TYPE I RESIDENTIAL SECTION

SCALE: 1"=5'

DATA COLUMN

TAX MAP ID: 335-12.06-1.00
DEED REFERENCE: DEED BOOK 5143, PAGE 31
ADDRESS: 1525 SAVANNAH RD LEWES, DE 19958
EXISTING ZONING: AR-1 (AGRICULTURAL RESIDENTIAL DISTRICT)
PROPOSED ZONING: MR (MEDIUM DENSITY RESIDENTIAL DISTRICT) WITH CONDITIONAL USE FOR CONDOMINIUM DEVELOPMENT

CURRENT USE: VACANT
PROPOSED USE: RESIDENTIAL-SINGLE FAMILY CONDOMINIUMS

STATE INVESTMENT LEVEL: LEVEL 2

SUSSEX COUNTY GOVERNMENT RESPONSIBLE FOR LAND USE APPROVAL

AREAS	
GROSS AREA:	6.113 AC.±
DELDOT RIGHT-OF-WAY DEDICATION	0.037 AC.±
NET AREA:	6.076 AC.±
ACCESS & UTILITY EASEMENT	1.132 AC.±
CONDOMINIUM HOUSE AREA	1.396 AC.±
PASSIVE OPEN SPACE	3.548 AC.± (58%)

LOTS/UNITS	
PROPOSED NO.:	24
PERMITTED MAX. DENSITY:	4 UNITS PER ACRE
PROPOSED DENSITY:	3.92 UNITS PER ACRE

BUILDING SETBACKS	
MIN. FRONT YARD:	40 FT.
MIN. SIDE YARD:	10 FT.
MIN. REAR YARD:	10 FT.
MAX. BUILDING HEIGHT:	28 FT.

UTILITIES	
SANITARY SEWER:	SUSSEX COUNTY SEWER
WATER SUPPLY:	TIDEWATER UTILITIES, INC

DATUM	
VERTICAL:	NAVD 88
HORIZONTAL:	NAD 83 (DE STATE PLANE)

BOUNDARY & TOPOGRAPHY: BOUNDARY AND TOPOGRAPHY HAS BEEN PREPARED BY DAVIS, BOWEN, & FRIEDEL, INC. IN NOVEMBER OF 2018.

FLOODPLAIN: THE PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA MAP 10005C0193K (DATED MARCH 16, 2015). THE PROPERTY LIES IN ZONE X AND IS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

WETLANDS: THE PROPERTY IS NOT IMPACTED BY TIDAL OR "404" FEDERAL NON-TIDAL WETLANDS.

NATURAL AND HISTORICAL: THE SITE CONTAINS NO KNOWN ARCHAEOLOGICAL SITES IDENTIFIED BY THE STATE OF DELAWARE.

FEATURES:

PROXIMITY TO IDENTIFIED TRANSPORTATION IMPROVEMENT DISTRICTS (TID): 2,000 FT. ± FROM HENLOPEN TID (UNDER CONSTRUCTION)

OWNER
ROBERT M. REED & DEBORA A. REED
20495 LINCOLN STREET
REHOBOTH BEACH, DE 19971

ENGINEER
DAVIS, BOWEN, & FRIEDEL, INC.
1 PARK AVENUE
MILFORD, DE 19963
PHONE: 302-424-1441

INDEX OF SHEETS

R-01	RECORD TITLE
R-02	RECORD PLAN

LEGEND

- 1 BITUMINOUS CONCRETE, SUPERPAVE, TYPE 'C', PG 64-22, 160 GYRATIONS (CARBONATE STONE)
- 2 BITUMINOUS CONCRETE, SUPERPAVE, TYPE 'B', PG 64-22, 160 GYRATIONS
- 3 GRADED AGGREGATE BASE COURSE, TYPE 'B'
- 4 TOPSOIL (6" DEPTH), PERMANENT GRASS SEEDING, DRY GROUND
- 5 INTEGRAL P.C.C. CURB AND GUTTER, TYPE 2 OR INTEGRAL P.C.C. CURB AND GUTTER, TYPE 2 MODIFIED
- 6 4" CONCRETE, CLASS A, 4500 PSI
- 7 EXPANSION JOINT, AASHTO M 153, TYPE IV, POLYURETHANE BOUNDED RECYCLED RUBBER

LOCATION MAP

1" = 1000'

NWI WETLANDS

1" = 1000'

FEMA FLOOD MAP

PANEL #10005C0193K SCALE: 1" = 1000'

SOILS MAP

1" = 500'

SOILS DATA

LABEL	SOIL NAME
DoA	DOWNER SANDY LOAM, 0-2% SLOPES
GrA	GREENWICH LOAM, 0-2% SLOPES



DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS, ENGINEERS & SURVEYORS

MILFORD, DELAWARE (302) 424-1441

SUSSEX CONSERVATION DISTRICT



APPROVED

SEDIMENT CONTROL & STORMWATER MANAGEMENT

Reviewed by: _____ Date: _____

Approved by: _____ Date: 12/22/20

OWNER'S STATEMENT

I, THE UNDERSIGNED, HEREBY STATE THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THE PLAN WAS MADE AT MY DIRECTION, I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN BE RECORDED ACCORDING TO LAW.

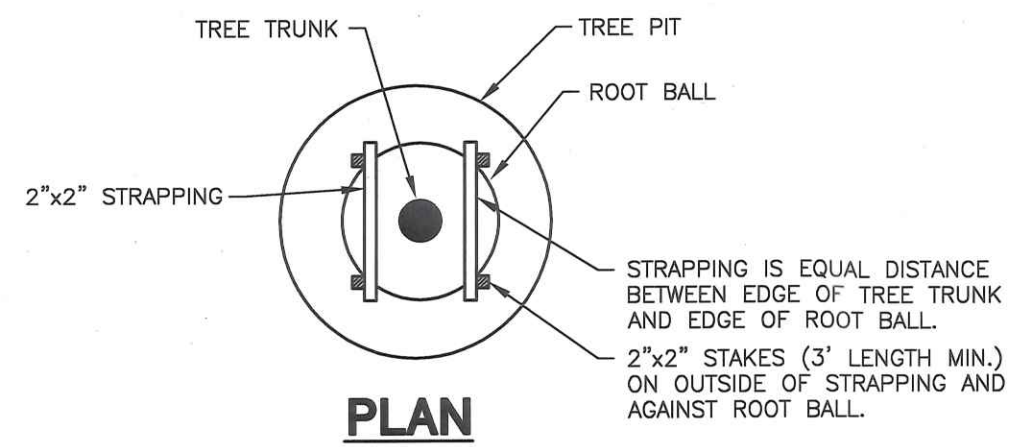
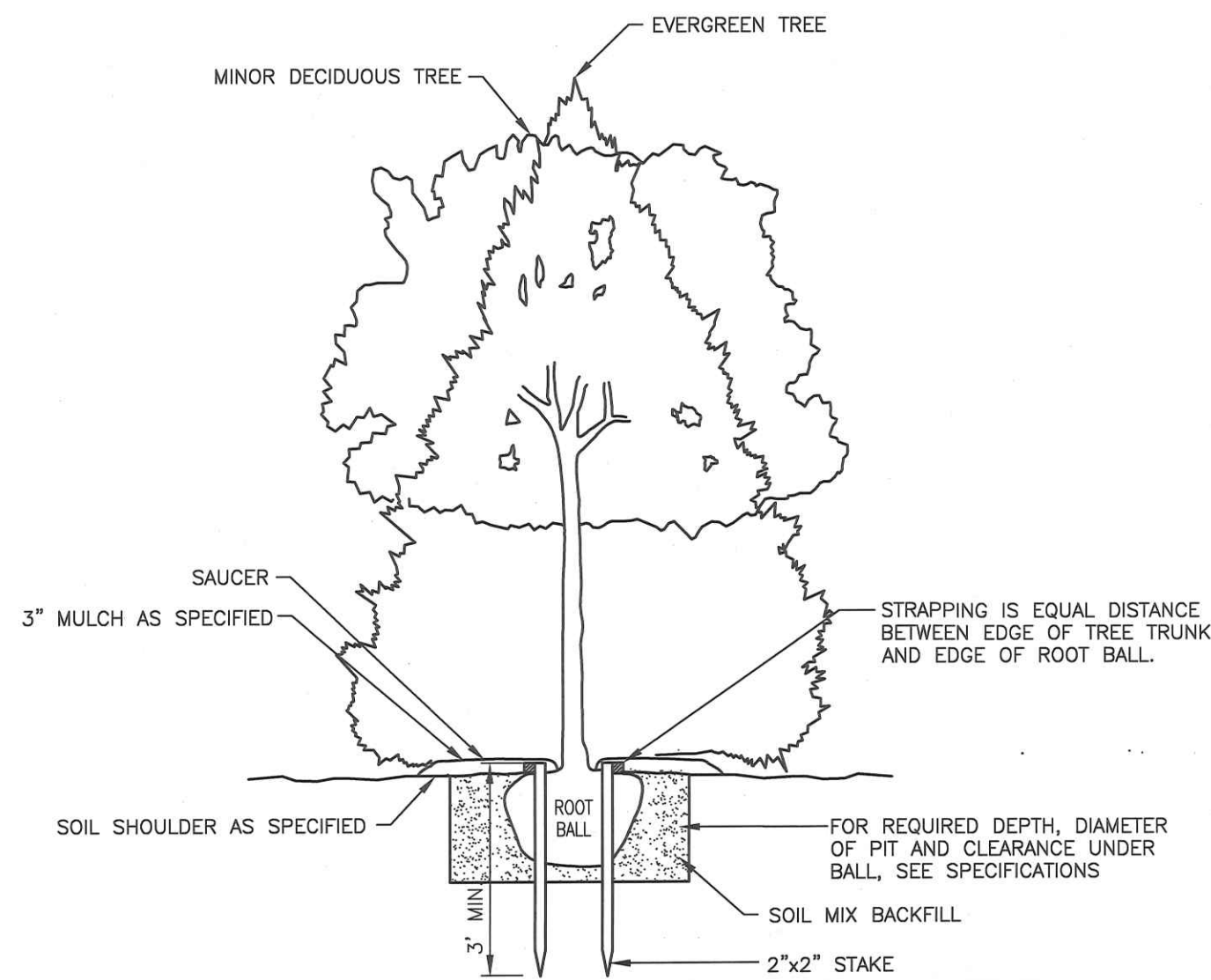
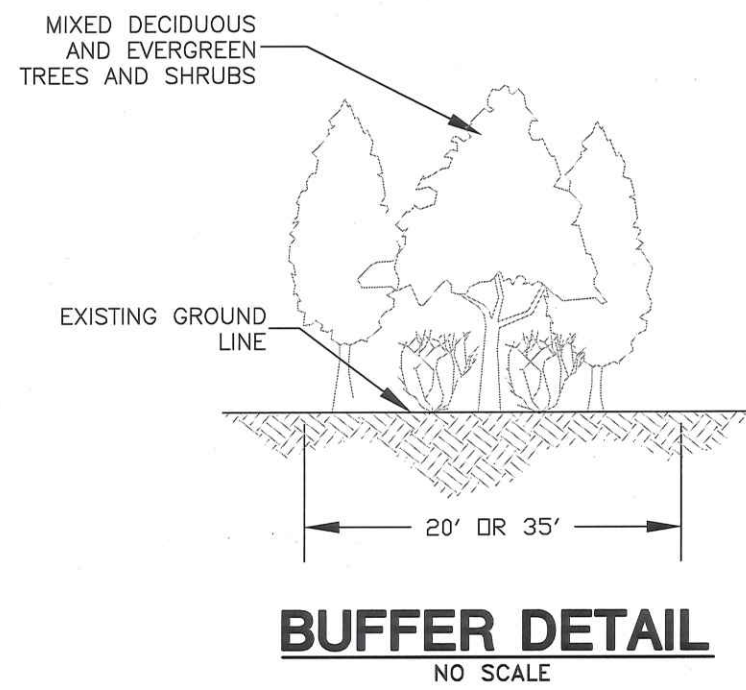
THE ROBERT M. REED REHOBOTH
IRREVOCABLE TRUST
130 BREAKWATER REACH
LEWES, DE 19958

ENGINEER'S STATEMENT

I, JAMIE L. SECHLER, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

by JAMIE L. SECHLER, P.E.
DAVIS, BOWEN & FRIEDEL, INC.
1 PARK AVENUE
MILFORD, DELAWARE, 19963

P:\Bob Reed\1541A004-A01 Savannah Road\Design\1541A002-LANDSCAPE PLAN.dwg Dec 09 2:55pm resd



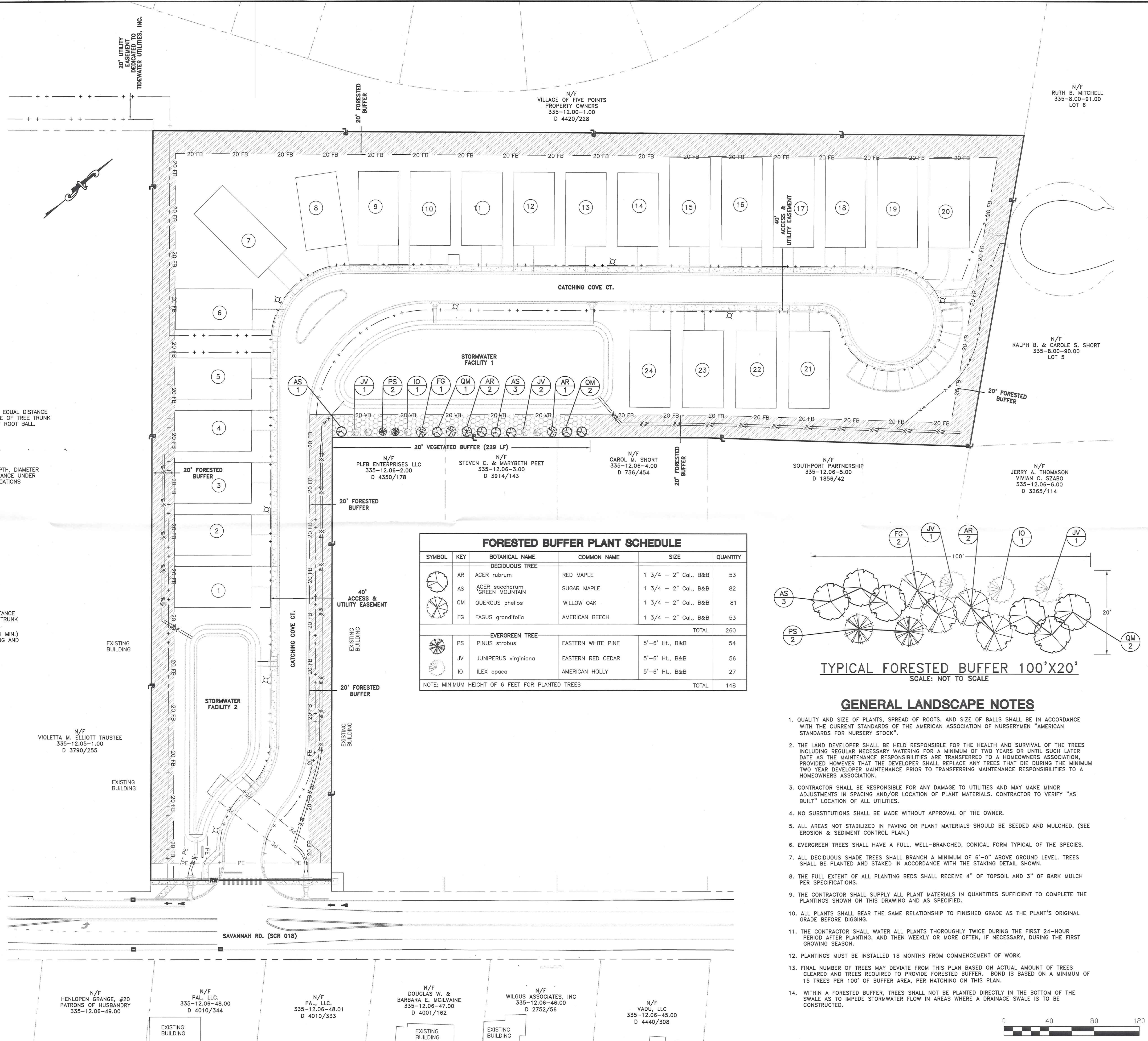
TREE STAKING DETAIL
SCALE: NOT TO SCALE

LANDSCAPE ARCHITECT'S STATEMENT

I, TIMOTHY M. METZNER, HEREBY STATE THAT I AM A REGISTERED LANDSCAPE ARCHITECT IN THE STATE OF DELAWARE. THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD LANDSCAPE ARCHITECTURAL PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

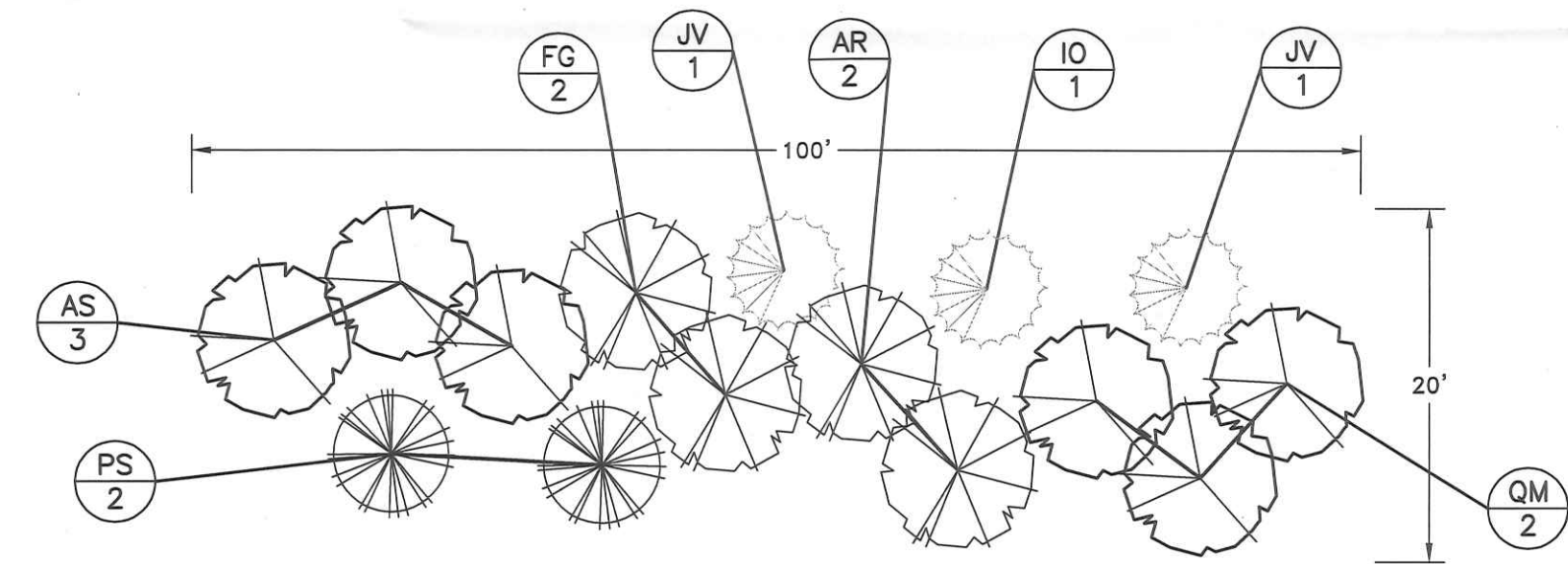
by TIMOTHY M. METZNER,
DAVIS, BOWEN & FRIEDEL, INC.
1 PARK AVENUE
MILFORD, DELAWARE, 19963

DATE
12/12/2020



FORESTED BUFFER PLANT SCHEDULE					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
DECIDUOUS TREE					
AR		ACER rubrum	RED MAPLE	1 3/4 - 2" Cal., B&B	53
AS		ACER saccharum	SUGAR MAPLE	1 3/4 - 2" Cal., B&B	82
QM		QUERCUS phellos	WILLOW OAK	1 3/4 - 2" Cal., B&B	81
FG		FAGUS grandifolia	AMERICAN BEECH	1 3/4 - 2" Cal., B&B	53
					TOTAL 260
EVERGREEN TREE					
PS		PINUS strobus	EASTERN WHITE PINE	5'-6" Ht., B&B	54
JV		JUNIPERUS virginiana	EASTERN RED CEDAR	5'-6" Ht., B&B	56
IO		ILEX opaca	AMERICAN HOLLY	5'-6" Ht., B&B	27
					TOTAL 148

NOTE: MINIMUM HEIGHT OF 6 FEET FOR PLANTED TREES



GENERAL LANDSCAPE NOTES

1. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK".
2. THE LAND DEVELOPER SHALL BE HELD RESPONSIBLE FOR THE HEALTH AND SURVIVAL OF THE TREES INCLUDING REGULAR NECESSARY WATERING FOR A MINIMUM OF TWO YEARS OR UNTIL SUCH LATER DATE AS THE MAINTENANCE RESPONSIBILITIES ARE TRANSFERRED TO A HOMEOWNERS ASSOCIATION, PROVIDED HOWEVER THAT THE DEVELOPER SHALL REPLACE ANY TREES THAT DIE DURING THE MINIMUM TWO YEAR DEVELOPER MAINTENANCE PRIOR TO TRANSFERRING MAINTENANCE RESPONSIBILITIES TO A HOMEOWNERS ASSOCIATION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
4. NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER.
5. ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN.)
6. EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
7. ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 6'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STAKING DETAIL SHOWN.
8. THE FULL EXTENT OF ALL PLANTING BEDS SHALL RECEIVE 4" OF TOPSOIL AND 3" OF BARK MULCH PER SPECIFICATIONS.
9. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
10. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
11. THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.
12. PLANTINGS MUST BE INSTALLED 18 MONTHS FROM COMMENCEMENT OF WORK.
13. FINAL NUMBER OF TREES MAY DEViate FROM THIS PLAN BASED ON ACTUAL AMOUNT OF TREES CLEARED AND TREES REQUIRED TO PROVIDE FORESTED BUFFER. BOND IS BASED ON A MINIMUM OF 15 TREES PER 100' OF BUFFER AREA, PER HATCHING ON THIS PLAN.
14. WITHIN A FORESTED BUFFER, TREES SHALL NOT BE PLANTED DIRECTLY IN THE BOTTOM OF THE SWALE AS TO IMPEDE STORMWATER FLOW IN AREAS WHERE A DRAINAGE SWALE IS TO BE CONSTRUCTED.



ARCHITECTS ENGINEERS SURVEYORS
TIMOTHY M. METZNER
SUSSEX COUNTY, DELAWARE
MILFORD, DELAWARE
EASTON, MARYLAND
(410) 545-0041
(410) 424-1441
(410) 770-4744

DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS

CATCHING COVE
RESIDENTIAL SUBDIVISION
SUSSEX COUNTY, DELAWARE

Revisions:
2020-02-19 SCD

Date: DECEMBER 2019

Scale: 1"=40'

Dwn.By: DJR

Proj.No.: 1541A002

Dwg.No.:

11



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. Box 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

April 13, 2020

Mr. Zac Crouch
Davis, Bowen & Friedel, Inc.
23 North Walnut Street
Milford, Delaware 19963

SUBJECT: Entrance Plan Approval Letter
Catching Cove
Tax Parcel # 335-12.06-1.00
Savannah Road (SCR 018)
Lewes & Rehoboth Hundred, Sussex County

Dear Mr. Crouch:

The Department of Transportation has reviewed the Commercial Entrance Plans dated December, 2019 (last revised March 16, 2020) for the referenced project and determined that they are in general conformance with the Department's current regulations, specifications and standard details. By signing and sealing the plan set, the developer's engineer is responsible for accuracy of content. Any errors, omissions or required field changes will be the responsibility of the developer. This plan approval shall be valid a period of **three (3) years**. If an entrance permit has not been obtained within three years, then the plans must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. The following items will be required prior to the permit being issued. A pre-construction meeting may be required as determined by the South District Public Works office.

1. A copy of the recorded Site Plan which is consistent with the DelDOT "No Objection to Recordation" stamped plan and all appropriate signatures, seals, plot book and page number.
2. Three (3) copies of the approved entrance plans.
3. Completed permit application.
4. Executed agreements (i.e. construction, signal, letter).
5. An itemized construction cost estimate.
6. A 150% security based upon an approved itemized construction cost estimate and W-9 form (if providing escrow).
7. A letter of source of materials, work schedule, list of subcontractors, emergency telephone numbers and names of contact persons.

Catching Cove
Mr. Crouch
Page 2
April 13, 2020

Please contact the South District Public Works office (302) 853-1340 concerning any questions you may have relative to the aforementioned required items.

Sincerely,



Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

cc: Bob Reed, Bob and Debbie Reed RE/Max Reality Group
Jamie Whitehouse, Sussex County Planning & Zoning Commission
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Gemez Norwood, South District Public Work Manager
James Argo, South District Project Reviewer
Robert Bragg, South District Subdivision Manager
Jerry Nagyiski, Safety Officer Supervisor
Chris Sylvester, Traffic Studies Manager
Jennifer Pinkerton, Chief Materials & Research Engineer
Linda Osiecki, Pedestrian Coordinator
John Fiori, Bicycle Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kaufman, DTC Planner
James Kelley, JMT
Todd Sammons, Subdivision Engineer
Brian Yates, Sussex County Reviewer



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

RECEIVED

NOV 06 2020

SUSSEX COUNTY
PLANNING & ZONING

April 09, 2020

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

SUBJECT: Letter of No Objection to Recordation
Catching Cove
Tax Parcel # 335-12.06-1.00
Savannah Road (SCR 018)
Lewes & Rehoboth Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Site Plan, dated December 2019 (last revised March 16, 2020), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawings. This "No Objection to Recordation" approval shall be valid for a period of five (5) years. If the Site Plan is not recorded prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. Entrance plans shall be developed in accordance with DelDOT's [Development Coordination Manual](#) and submitted to the Development Coordination Section for review and approval.

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel

Catching Cove
Mr. Jamie Whitehouse
Page 2
April 09, 2020

that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

If I can be of any further assistance, please call me at (302) 760-2266.

Very truly yours,



Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

cc: Bob Reed, Bob and Debbie Reed RE/Max Reality Group
Zac Crouch, Davis, Bowen & Friedel, Inc.
William Kirsch, South District Entrance Permit Supervisor
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Gomez W. Norwood, South District Public Work Manager
James Argo, South District Project Reviewer
Robert Bragg, South District Subdivision Manager
Jennifer Pinkerton, Chief Materials & Research Engineer
Chris Sylvester, Traffic Studies Manager
Linda Osiecki, Pedestrian Coordinator
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Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kaufman, DTC Planner
James Kelley, JMT
Todd Sammons, Subdivision Engineer
Brian Yates, Sussex County Reviewer

ENGINEERING DEPARTMENT

ADMINISTRATION	(302) 855-7718
AIRPORT & INDUSTRIAL PARK	(302) 855-7774
ENVIRONMENTAL SERVICES	(302) 855-7730
PUBLIC WORKS	(302) 855-7703
RECORDS MANAGEMENT	(302) 854-5033
UTILITY ENGINEERING	(302) 855-7717
UTILITY PERMITS	(302) 855-7719
UTILITY PLANNING	(302) 855-1299
FAX	(302) 855-7799



Sussex County

DELAWARE

sussexcountype.gov

HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

MICHAEL E. BRADY
DIRECTOR OF PUBLIC WORKS

October 02, 2020

Davis, Bowen & Friedel, Inc.
1 Park Ave.
Milford, DE 19963
Attn: Jamie Sechler, P.E.

RE: CATCHING COVE (FKA LANDS OF ROBERT M. AND DEBORA A. REED)
SUSSEX COUNTY UNIFIED SANITARY SEWER DISTRICT
(WEST REHOBOTH AREA)
SUSSEX COUNTY TAX MAP NUMBERS 3-35-12.06-1.00 – CLASS-1
AGREEMENT No. 1145

Dear Mr. Sechler,

A review of the above referenced plans has been completed by the Sussex County Engineering Department. Please have a completed review, **with confirmation** from DNREC for this projects waste water construction permit before submitting plans for Sussex County approval. Provide four (4) sets of plans in a size of 24" x 36", one set of plans in a size of 18" x 24", and one (1) CD or file transfer of PDFs for each sheet. One set of plans will be returned to the Engineer/Consultant for their record.

Each sheet must be signed and sealed by the Engineer and the cover sheet of the plan shall have the owner/developer's and wetland consultant signature, this includes PDFs being submitted prior to Sussex County Engineering Department approval.

Should you have any questions, please do not hesitate to contact me.

Sincerely,

SUSSEX COUNTY ENGINEERING DEPARTMENT

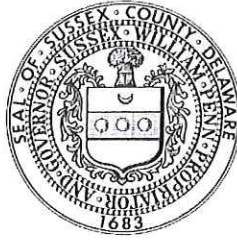

Scott A. Thornton
Public Works Engineering Technician IV



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 589
GEORGETOWN, DELAWARE 19947

MAPPING & ADDRESSING

MEGAN NEHRBAS
MANAGER OF GEOGRAPHIC
INFORMATION SYSTEMS (GIS)
(302) 855-1176 T
(302) 853-5889 F



Sussex County

DELAWARE
sussexcountyde.gov

February 10, 2020

DBF

Attn: Dustin J. Ressler

RE: Proposed Subdivision Name(s)

I have reviewed the name(s) submitted for your proposed subdivision which is located in Lewes (335-12.06-1.00). In reviewing the proposed name(s) the following has been approved for this subdivision:

Catching Cove

Should you have any questions please contact the Sussex County Addressing Department at 302-853-5888 or 302-855-1176.

Sincerely,

Terri L. Dukes

Terri L. Dukes
Addressing Technician II

CC: Christin Headley
Planning & Zoning

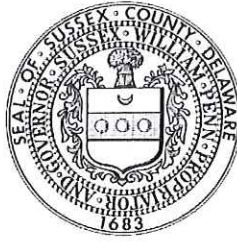


COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 589
GEORGETOWN, DELAWARE 19947

MAPPING & ADDRESSING

MEGAN NEHRBAS
MANAGER OF GEOGRAPHIC
INFORMATION SYSTEMS (GIS)

(302) 855-1176 T
(302) 853-5889 F



Sussex County

DELAWARE
sussexcountyde.gov

February 10, 2020

DBF

Attn: Dustin J. Ressler

RE: **Catching Cove**

I have received proposed street name(s) for the proposed subdivision, **Catching Cove**, located in Lewes. In reviewing the proposed street name(s) the following have been approved:

Catching Cove		

Use only approved road names that you have written confirmation for or you will be required to rerecord. Each street name is to be used only once.

Upon final approval of **Catching Cove** please forward a copy of the recorded site plan to my attention. Our office would appreciate a digital copy if at all possible, for the purpose of addressing. Should you have any questions, please contact the Sussex County Addressing Department at 302-855-1176.

Sincerely,

Terri L. Dukes

Terri L. Dukes
Addressing Technician II

CC: Christin Headley
Planning & Zoning



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 589
GEORGETOWN, DELAWARE 19947



OFFICE OF THE STATE FIRE MARSHAL
Technical Services

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2019-04-202632-MJS-01

Tax Parcel Number: 334-5.00-152.06

Status: Approved as Submitted

Date: 01/03/2020

Project

Reed Subdivision
Unit #: 24 Lots
Reed Property

Lewes Georgetown Hwy
Lewes DE 19958

Scope of Project

Number of Stories:
Square Footage:
Construction Class:
Fire District: 82 - Lewes Fire Dept Inc

Occupant Load Inside:
Occupancy Code: 9601

Applicant

Jamie Sechler
1 Park Avenue
Milford, DE 19963

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:

Joseph Moran



DELAWARE HEALTH AND SOCIAL SERVICES

Division of Public Health

Office of Engineering

Phone: (302) 741-8640

Fax: (302) 741-8631

October 7, 2020

TIDEWATER UTILITIES, INC.

APPROVAL TO CONSTRUCT

Rehoboth District

Catching Cove Connection

PWS #DE0000991

Approval #20W158

Mr. Robert M. Reed
The Robert M. Reed Rehoboth Irrevocable Trust
130 Breakwater Reach
Lewes, DE 19958

Dear Mr. Reed:

As provided by Section 2.11 of the *State of Delaware Regulations Governing Public Drinking Water Systems*, you are granted approval to connect the Catching Cove to the existing main in accordance with the plans submitted by Davis, Bowen & Friedel, Inc. The plans consist of:

1. Transmittal letter dated October 7, 2020.
2. One copy of the plans entitled "Catching Cove" dated December 2019 and revised August 27, 2020.


These plans, as noted, are made a part of this approval. This approval is granted subject to the enclosed list of conditions. It is the owner's responsibility to ensure as-built drawings are maintained throughout all phases of construction. Prior to receiving an Approval to Operate, the Office of Engineering requires one set of as-built drawings, including profile markups.

The Office of Engineering recommends detectable tracer tape that is three inches wide and blue in color to be installed directly above all water mains larger than two inches in diameter.


Mr. Robert M. Reed
The Robert M. Reed Rehoboth Irrevocable Trust
October 7, 2020
Page 2

Should you have any questions regarding this matter, please feel free to contact Bill Milliken at 302- 741-8646.

Plans reviewed by:


William J. Milliken, Jr.
Engineer III
Office of Engineering

Sincerely,


Doug Lodge, P.E.
Supervisor of Engineering
Office of Engineering

cc: Janelle Cornwell, Sussex County Planning & Zoning
Public Service Commission
Dustin Ressler, Davis Bowen & Friedel, Inc.
Tawanda Priester, Tidewater Utilities, Inc.
Alexis Virdin-Gede, Tidewater Utilities, Inc.
Ashley Kunder, Office of Drinking Water

1. The approval is void if construction has not started by October 7, 2021.
2. The project shall be constructed in accordance with the approved plans and all required conditions listed in this Approval to Construct. If any changes are necessary, revised plans shall be submitted and a supplemental approval issued prior to the start of construction. As-built plans including profile mark-ups must be submitted to the Office of Engineering after construction has been completed.
3. Representatives of the Division of Public Health may inspect this project at any time during the construction.
4. The water system shall be operated in conformance with the *State of Delaware Regulations Governing Public Drinking Water Systems*.
5. All potable water lines and appurtenances shall be disinfected using one of the methods in the American Water Works Association Standard C651, current edition.
6. Water mains crossing sanitary and storm sewers should be laid to provide a minimum vertical distance of 18 inches between the outside of the water main and the outside of the sewer, and the water main should be above the sewer. At crossings, one full length of water pipe should be located so both joints will be as far from the sewer as possible. Special structural support for the water and sewer pipes may be required. In cases where it is not practical to maintain an 18-inch separation, the Division may allow deviation on a case-by-case basis if supported by data from the design engineer.
7. Water mains should be laid 10 feet horizontally from any existing or proposed sanitary or storm sewers. The distance should be measured edge to edge. In cases where it is not practical to maintain a 10-foot separation, the Division may allow deviation on a case-by-case basis if supported by data from the design engineer.
8. All chemicals, materials, mechanical devices, and coatings in contact with potable water shall comply with National Sanitation Foundation/American National Standards Institute Standards (NSF/ANSI) 60 and 61 and shall be inert, nontoxic, and shall not impart any taste, odor, or color to the water.
9. Sufficient valves should be provided so that inconvenience and sanitary hazards will be minimized during repairs. Valves should be located at not more than 500-foot intervals in commercial districts and at not more than one block or 800-foot intervals in other districts.
10. There shall be no connection between the distribution system and any pipes, pumps, hydrants, or tanks whereby unsafe water or other contaminating materials may be discharged or drawn into the system.

11. Fire hydrant drains shall not be connected to or located within 10 feet of sanitary sewers, storm sewers, or storm drains.
12. Prior to usage of water from this new well, water plant, storage plant, or distribution system, approval for the water quality must be obtained from the Division of Public Health.
13. The water system should be capable of providing at least 25 psi at ground level at all times throughout the distribution system.
14. All plastic pipe utilized in this drinking water system shall be approved for potable water use (NSF-pw). If any piping is joined with solder or flux, the solder and flux shall be lead free (less than or equal to 0.2 percent lead).
15. All water lines should be buried to a depth of at least 3 feet.
16. A Certificate of Public Conveniences and Necessity should be acquired from the Public Service Commission, (302) 739-4247.
17. This approval is for the distribution system only. Plans and specifications for all well plumbing, pumps, storage (including any interior coatings), and treatment must be submitted to and approved by this office prior to their installation.
18. The approval is subject to immediate revocation upon violation of any of the preceding conditions.
19. All other local (state/county/city/town) approvals or permits needed must be obtained prior to beginning construction.
20. Upon completion of construction and before the system is placed into operation, a "Notice of Completion" must be submitted to the Office of Engineering. Before placing the system into operation, the following must be adhered to:
 - a. Submit a set of as-built plans with profile markups to the Office of Engineering.
 - b. Obtain an Approval to Operate from the Office of Drinking Water.

SEAGLASS

AT REHOBOTH BEACH

MULTI-FAMILY COMMUNITY

LEWES & REHOBOTH HUNDRED

SUSSEX COUNTY, DELAWARE

DBF # 0818C032

RECORD PLAN

SUSSEX COUNTY AGREEMENT # 1146

MAY, 2020

SHEET INDEX

RECORD PLAN

RECORD PLAN - TITLE SHEET	V-100
RECORD PLAN - SITE PLAN	V-101 & V-102
RECORD PLAN - DETAILS	V-103

DELDOT GENERAL NOTES:

1. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
2. NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
3. SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ON AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
4. UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
5. PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 §131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
6. THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.
7. TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
8. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
9. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
10. A PERPETUAL CROSS ACCESS INGRESS/EGRESS EASEMENT IS HEREBY ESTABLISHED AS SHOWN ON THIS PLAN. THE PROPOSED CROSS-ACCESS INGRESS / EGRESS EASEMENT SHALL GRANT DELDOT OR THEIR ASSIGNEE THE RIGHT TO BUILD THE PROPOSED ENTRANCE, OPPOSITE OF HEALTHY WAY, AS PART OF AN EFFORT TO EXTEND AIRPORT ROAD OR ANOTHER PUBLIC PROJECT.
11. THE CONSTRUCTION AND MAINTENANCE OF THE SERVICE ROAD SHALL BE GOVERNED BY PLOT BOOK 112, PAGE NUMBER 134. THE STATE OF DELAWARE ASSUMES NO MAINTENANCE RESPONSIBILITY WITHIN THE DEDICATED RIGHT-OF-WAY UNTIL THE SERVICE ROAD HAS BEEN ACCEPTED INTO STATE MAINTENANCE.

AREA WIDE STUDY FEE (5/19/20) & OFF-SITE IMPROVEMENTS

1. THE PROPOSED DEVELOPMENT CONSISTS OF 224 MID-RISE MULTI-FAMILY DWELLINGS (APARTMENTS) IN SEVEN BUILDINGS. PER THE 10th EDITION OF THE INSTITUTE OF TRANSPORTATION ENGINEERS' TRIP GENERATION MANUAL, THE PROPOSED DEVELOPMENT WOULD GENERATE 1,219 AVERAGE DAILY TRIPS AND 96 VEHICLE TRIPS DURING THE P.M. PEAK HOUR. THE FEE IS CALCULATED AT TEN DOLLARS PER DAILY TRIP. FOR THE PROPOSED DEVELOPMENT, THE FEE WOULD BE \$12,190.00.
2. AS DISCUSSED AT AN AUGUST 30, 2019 MEETING, AND AGREED AT THE APRIL 2, 2020 PRE-SUBMITTAL MEETING, THE DEVELOPER'S CASH OBLIGATIONS WILL BE CAPPED AT \$500,000. THIS CAP IS IN RECOGNITION OF THE DEVELOPER'S AGREEMENT TO DONATE RIGHT-OF-WAY FOR THE AIRPORT ROAD EXTENSION (ITEM 3 BELOW) AND OF THEIR EFFORTS TO HELP IDENTIFY A BUILDABLE ALIGNMENT FOR THAT ROAD. ACCORDINGLY, THE DEVELOPER SHOULD CONTRIBUTE THE REMAINING \$487,810 TOWARD DELDOT'S AIRPORT ROAD EXTENSION PROJECT. PHASING OF THE CONTRIBUTION, IF NECESSARY, SHOULD BE BASED ON BUILDING PERMITS: \$100,000 PER APARTMENT BUILDING FOR THE FIRST FOUR BUILDINGS AND \$87,810 FOR THE FIFTH BUILDING (REFER TO DELDOT CONTRIBUTION AND OFFSITE IMPROVEMENT NOTES).
3. THE DEVELOPER SHOULD DEDICATE ALL RIGHTS-OF-WAY FOR THE AIRPORT ROAD EXTENSION NEEDED FROM THE SUBJECT PARCEL, IN ACCORDANCE WITH THE HENLOPEN TID PLAN FOR AIRPORT ROAD (SEGMENT 34) PREPARED BY JOHNSON MIRMIRAN AND THOMPSON AND DATED DECEMBER 17, 2019
4. PRESENTLY, THE INITIAL SITE ACCESS IS PROPOSED ON HOOD ROAD, A PRIVATELY OWNED AND MAINTAINED ROAD WHICH CONNECTS TO SR 24 BY WAY OF THE WAL-MART SERVICE ROAD, WHICH IS ALSO PRIVATELY OWNED AND MAINTAINED. ANOTHER DEVELOPER (ARTISAN'S BANK) PROPOSES TO CONSTRUCT THE REMAINDER OF HOOD ROAD, CONNECTING IT TO LEXUS WAY.
5. THE DEVELOPER SHOULD EXTEND THE EXISTING SIDEWALK, LOCATED SOUTH OF THE DELAWARE EYE INSTITUTE, TO CONNECT FROM HOOD ROAD TO DELAWARE ROUTE 24 FOR THE PURPOSE OF PROVIDING RESIDENTS WITH A DIRECT PATH TO THE DART BUS STOP.

CONDITIONAL USE (CU 2199) CONDITIONS OF APPROVAL

- A) THE MAXIMUM NUMBER OF RESIDENTIAL APARTMENT UNITS SHALL NOT EXCEED 224 UNITS LOCATED IN NO MORE THAN 7 BUILDINGS.
- B) ALL ENTRANCES, INTERSECTIONS, INTERCONNECTIONS, ROADWAYS, AND MULTI-MODAL IMPROVEMENTS REQUIRED BY DELDOT SHALL BE COMPLETED IN ACCORDANCE WITH DELDOT'S REQUIREMENTS.
- C) THE APPLICANT SHALL DEDICATE LAND AND CONTRIBUTE TO THE COST OF A DELDOT PLANNED CONNECTOR ROAD FROM ROUTE 24 TO OLD LANDING ROAD.
- D) THE DEVELOPMENT SHALL BE SERVED AS PART OF A SUSSEX COUNTY SANITARY DISTRICT. THE DEVELOPER SHALL COMPLY WITH ALL REQUIREMENTS AND SPECIFICATIONS OF THE COUNTY ENGINEERING DEPARTMENT.
- E) THE DEVELOPMENT SHALL BE SERVED BY CENTRAL WATER.
- F) STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE STATE AND COUNTY REQUIREMENTS. THESE FACILITIES SHALL BE OPERATED IN A MANNER WHICH IS CONSISTENT WITH BEST MANAGEMENT PRACTICES.
- G) RECREATIONAL AMENITIES, INCLUDING A COMMUNITY CLUBHOUSE, OUTDOOR SWIMMING POOL, PLAYGROUND, AND ENCLOSED DOG PARK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE THIRD MULTI-FAMILY BUILDING.
- H) ROAD NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY MAPPING AND ADDRESSING DEPARTMENTS.
- I) IF REQUIRED BY THE SCHOOL DISTRICT, THE LOCATION FOR A SCHOOL BUS SHELTER SHALL BE COORDINATED WITH THE LOCAL SCHOOL DISTRICT'S TRANSPORTATION MANAGER. THE LOCATION OF THE BUS STOP SHELTER SHALL BE SHOWN ON THE FINAL SITE PLAN.
- J) NO OUTDOOR CONSTRUCTION ACTIVITIES OR DELIVERIES OF DIRT, FILL, OR SIMILAR MATERIAL SHALL OCCUR AT THE SITE EXCEPT BETWEEN THE HOURS OF 7:30 AM THROUGH 7:30 P.M. MONDAY THROUGH FRIDAY AND BETWEEN 8:00 AM THROUGH 5:00 PM ON SATURDAYS. THERE SHALL BE NO CONSTRUCTION, SITE WORK, GRADING, OR DELIVERIES AT THE SITE ON SUNDAYS.
- K) THE DESIGN OF INTERIOR DRIVES SHALL MEET OR EXCEED SUSSEX COUNTY ROAD DESIGN STANDARDS AND REQUIREMENTS.
- L) THE USE SHALL COMPLY WITH ALL SUSSEX COUNTY PARKING REQUIREMENTS.
- M) ONE LIGHTED ENTRANCE SIGN, NOT TO EXCEED 32 SQUARE FEET PER SIDE, SHALL BE PERMITTED.
- N) SPACE IN THE COMMUNITY CLUBHOUSE OR IN 1 UNIT SHALL BE PERMITTED AS AN ON-SITE MANAGEMENT OFFICE.
- O) THE APPLICANT OR ITS ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF INTERIOR DRIVES, PARKING AREAS, BUILDINGS, BUFFERS, STORMWATER MANAGEMENT, RECREATIONAL AMENITIES, AND ALL OPEN SPACE.
- P) A REVISED PRELIMINARY SITE PLAN EITHER DEPICTING OR NOTING THESE CONDITIONS MUST BE SUBMITTED TO THE SUSSEX COUNTY OFFICE OF PLANNING AND ZONING. THE STAFF SHALL APPROVE THE REVISED PRELIMINARY SITE PLAN UPON CONFIRMATION THAT THE CONDITIONS OF APPROVAL HAVE BEEN DEPICTED OR NOTED ON IT.
- Q) THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT FOR THE DESIGN AND LOCATION OF ALL STORMWATER MANAGEMENT AREAS AND EROSION AND SEDIMENTATION CONTROL FACILITIES.
- R) THE FINAL SITE PLAN SHALL INCLUDE A LANDSCAPE PLAN FOR ALL BUFFER AREAS SHOWING ALL THE LANDSCAPING AND VEGETATION TO BE INCLUDED IN THE BUFFER AREAS.
- S) THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING & ZONING COMMISSION.

DATA COLUMN

PARCEL ID:	334-12.00-127.01 & 127.10
DATUM:	
VERTICAL:	NAVD 88
HORIZONTAL:	NAD 83 (DE STATE PLANE)
LAND USE:	
EXISTING:	VACANT/AGRICULTURE
PROPOSED:	224 MULTI-FAMILY UNITS WITH CLUBHOUSE
DENSITY:	
MAXIMUM:	12 UNITS PER ACRE
PROPOSED:	224 UNITS/18,759 AC. = 11.94 UNITS PER ACRE
ZONING:	
EXISTING:	CR-1 (COMMERCIAL RESIDENTIAL DISTRICT)
PROPOSED:	CR-1 (COMMERCIAL RESIDENTIAL DISTRICT)
MINIMUM REQUIREMENTS:	
FRONT SETBACK:	30 FT.
SIDE SETBACK:	10 FT.
REAR SETBACK:	10 FT.
BUILDING SEPARATION:	40 FT.
PARKING:	224 UNITS x 2/UNIT = 448 SPACES (BEFORE REDUCTION)
PARKING REDUCTION:	1-50 UNITS 100 15% TO 255 SPACES
	51-200 UNITS 300 REDUCED 15% TO 255 SPACES
	201-224 UNITS 48 REDUCED 20% TO 39 SPACES
	REQUIRED 394 SPACES
MAXIMUM REQUIREMENTS:	
BUILDING HEIGHT:	42 FT.
PROPOSED:	
BUILDING HEIGHT:	42 FT. (4 STORIES)
PARKING:	394 SPACES INCLUDING 18 HANDICAPPED ACCESSIBLE
AREAS:	
EXISTING SITE:	
PARCEL - 127.01:	17,438 AC.
PARCEL - 127.10:	1,321 AC.
TOTAL SITE AREA:	18,759 AC.
PROPOSED SITE:	
PARCEL - A:	12,183 AC. (INCLUDES 2.0 AC LAND LEASE EASEMENT)
RESIDUAL LANDS:	4,299 AC.
R.O.W. DEDICATION:	0.994 AC.
PARCEL - 127.10:	1,283 AC.
TOTAL SITE AREA:	18,759 AC.
UTILITIES:	
SEWER:	PUBLIC (SUSSEX COUNTY, WEST REHOBOTH SOUTH PLANNING AREA)
WATER:	PUBLIC (TIDEWATER UTILITIES, INC.)
IMPERVIOUS COVERAGE:	11.51 ACRES/17,061 ACRES (WITHOUT R.O.W.) = 67%
PROPOSED BUILDING CONSTRUCTION:	WOOD CONSTRUCTION
FLOODPLAIN:	THIS PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA MAP 10005C0332K, DATED MARCH 16, 2015
WETLANDS:	DO NOT EXIST ON SITE
STATE STRATEGIES MAP:	LEVEL 2 (2015)
TRANSPORTATION IMPROVEMENT DISTRICT (TID):	HENLOPEN TID (UNDER DEVELOPMENT FOR THIS AREA)
THIS PROPERTY IS LOCATED 416± TO THE EAST OF THE INTERSECTION OF JOHN J. WILLIAMS HWY. (SCR 024) AND LEXUS WAY.	
POSTED SPEED LIMIT:	HOOD ROAD 25 M.P.H.
OWNER:	
HEROLA FAMILY, LLC.	
4015 164th STREET	
SUITE 106	
LYNNWOOD, WA 98087	
DEVELOPER:	
OA REHOBOTH, LLC.	
18949 COASTAL HIGHWAY	
REHOBOTH BEACH, DE 19971	
(302) 227-3573	
ENGINEER:	
DAVIS, BOWEN & FRIEDEL, INC.	
W. ZACHARY CROUCH, P.E.	
1 PARK AVENUE	
WILFORD, DE 19963	
(302) 424-1441	

DeIDOT
NO OBJECTION TO
RECORDATION
October 22, 2020
DATE

LEGEND

---	PROPERTY BOUNDARY LINE
---	PROPOSED PROPERTY LINE
--- ++ --- ++	PROPOSED EASEMENT
---	PROPOSED BUILDING SETBACK
---	EXISTING EASEMENT
---	EXISTING PROPERTY LINE
---	EXISTING RIGHT-TO-WAY LINE
---	EXISTING WOODSLINE
---	PROPOSED WOODSLINE
●	IRON ROD WITH CAP SET
■	CONCRETE MONUMENT SET
○	PROPERTY CORNER LOCATE

SOILS MAP

GrA - GREENWICH LOAM, 0-2% SLOPES, HSG B



DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS, ENGINEERS & SURVEYORS

SALISBURY, MARYLAND (410) 543-9091
MILFORD, DELAWARE (302) 424-1441
EASTON, MARYLAND (410) 770-4744

OWNER'S STATEMENT

WE, HEROLA FAMILY, LLC, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

Herola Family, LLC
SIGNATURE
Herola Family, LLC
TITLE

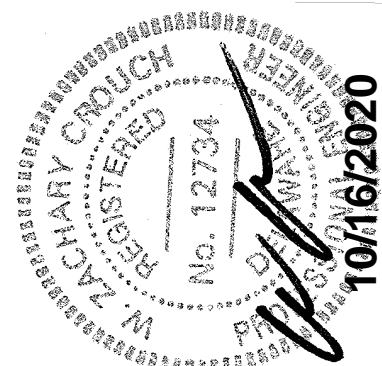
10-13-2020
DATE

ENGINEER'S STATEMENT

I, W. ZACHARY CROUCH, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

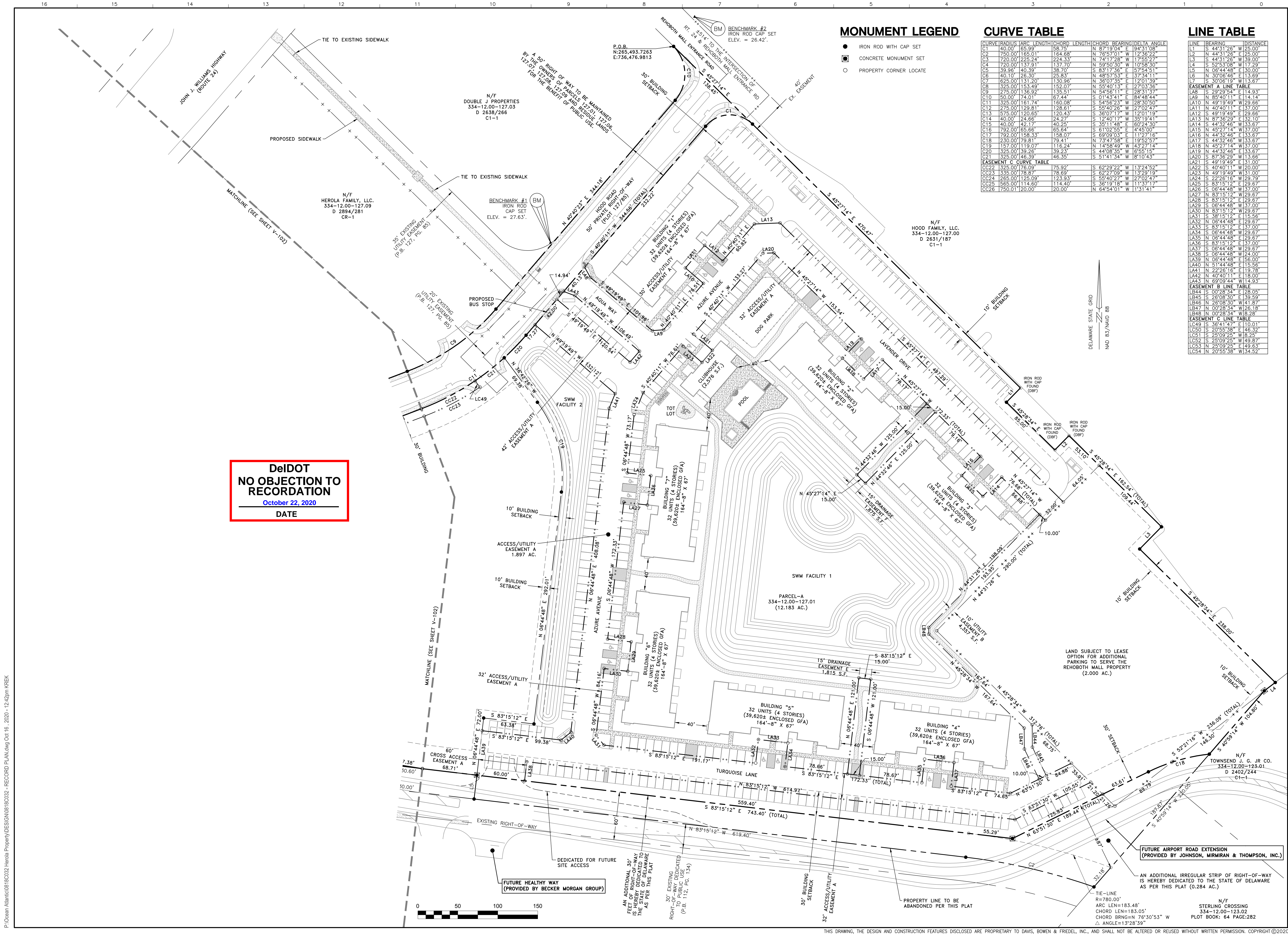
DAVIS, BOWEN & FRIEDEL, INC.
by W. ZACHARY CROUCH, P.E.

DATE



REVISED:
2020-06-24: SCE, SCD, FM & TUI
2020-07-28: SCE, TUI & DeIDOT
2020-10-01: DeIDOT, TUI, SCE,
SCD & DNREC
2020-10-19: SCE

V-100

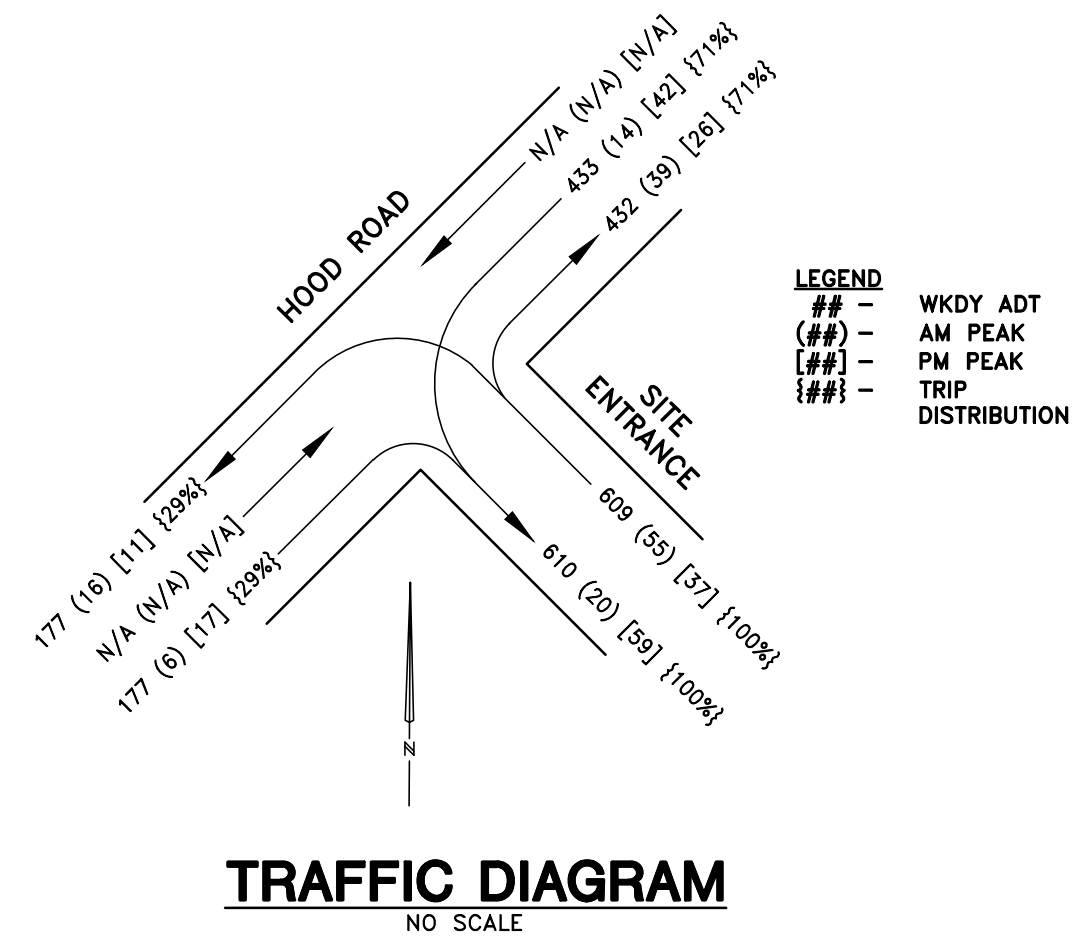


P:\Ocean Atlantic\0818C032 Herola Property\DESIGN\0818C032 - RECORD PLAN.dwg Oct 16, 2020 - 12:23pm KREK

DOES NOT ASSUME THE CONSTRUCTION
OF THE AIRPORT ROAD EXTENSION

ROAD DATA
HOOD ROAD
FUNCTIONAL CLASSIFICATION - N/A
AADT (2019 DELAWARE VEHICLE VOLUME SUMMARY) = N/A
10 YR PROJECTED AADT = 1.16 X N/A = N/A
10 YR PROJECTED AADT + SITE ADT NE OF SITE (865) = N/A
10 YR PROJECTED AADT + SITE ADT SW OF SITE (354) = N/A
PEAK HOUR = N/A
DIRECTIONAL SPLIT = N/A
N/A TRUCK % = N/A
SPEED - NOT POSTED
TRAFFIC PATTERN GROUP - N/A

NOTE: HOOD ROAD IS NOT STATE MAINTAINED. ACCESS TO STATE ROAD OCCURS ON DELAWARE ROUTE 24 BY WAY OF LEXUS WAY AND FUTURE AIRPORT ROAD CONNECTION, AND ON DELAWARE ROUTE 24 BY WAY OF THE WALMART BACK DRIVEWAY.



TRAFFIC DIAGRAM
NO SCALE

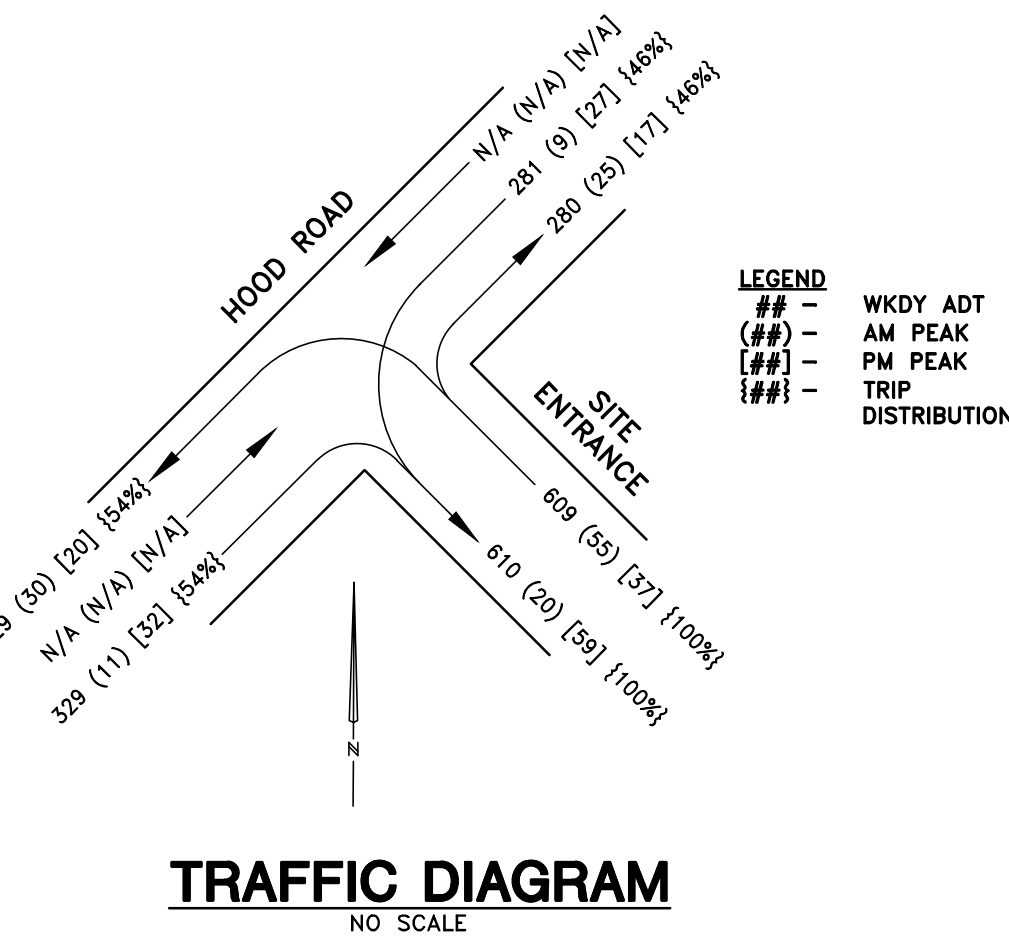
SITE TRIPS GENERATED						
TYPE OF DEV.	CODE	UNITS	# OF	AM	PM	WKDY
MULTI-FAMILY (MID-RISE)	221	224	75	96	1,219	

NOTES:
-TRIP GENERATION BASED ON ITE TRIP GENERATION MANUAL, 10TH EDITION
-DESIGN VEHICLE: SU-30
-ONE (1) FULL SITE ACCESS PROPOSED

ASSUMES THE CONSTRUCTION OF
THE AIRPORT ROAD EXTENSION

ROAD DATA
HOOD ROAD
FUNCTIONAL CLASSIFICATION - N/A
AADT (2019 DELAWARE VEHICLE VOLUME SUMMARY) = N/A
10 YR PROJECTED AADT = 1.16 X N/A = N/A
10 YR PROJECTED AADT + SITE ADT NE OF SITE (561) = N/A
10 YR PROJECTED AADT + SITE ADT SW OF SITE (658) = N/A
PEAK HOUR = N/A
DIRECTIONAL SPLIT = N/A
N/A TRUCK % = N/A
SPEED - NOT POSTED
TRAFFIC PATTERN GROUP - N/A

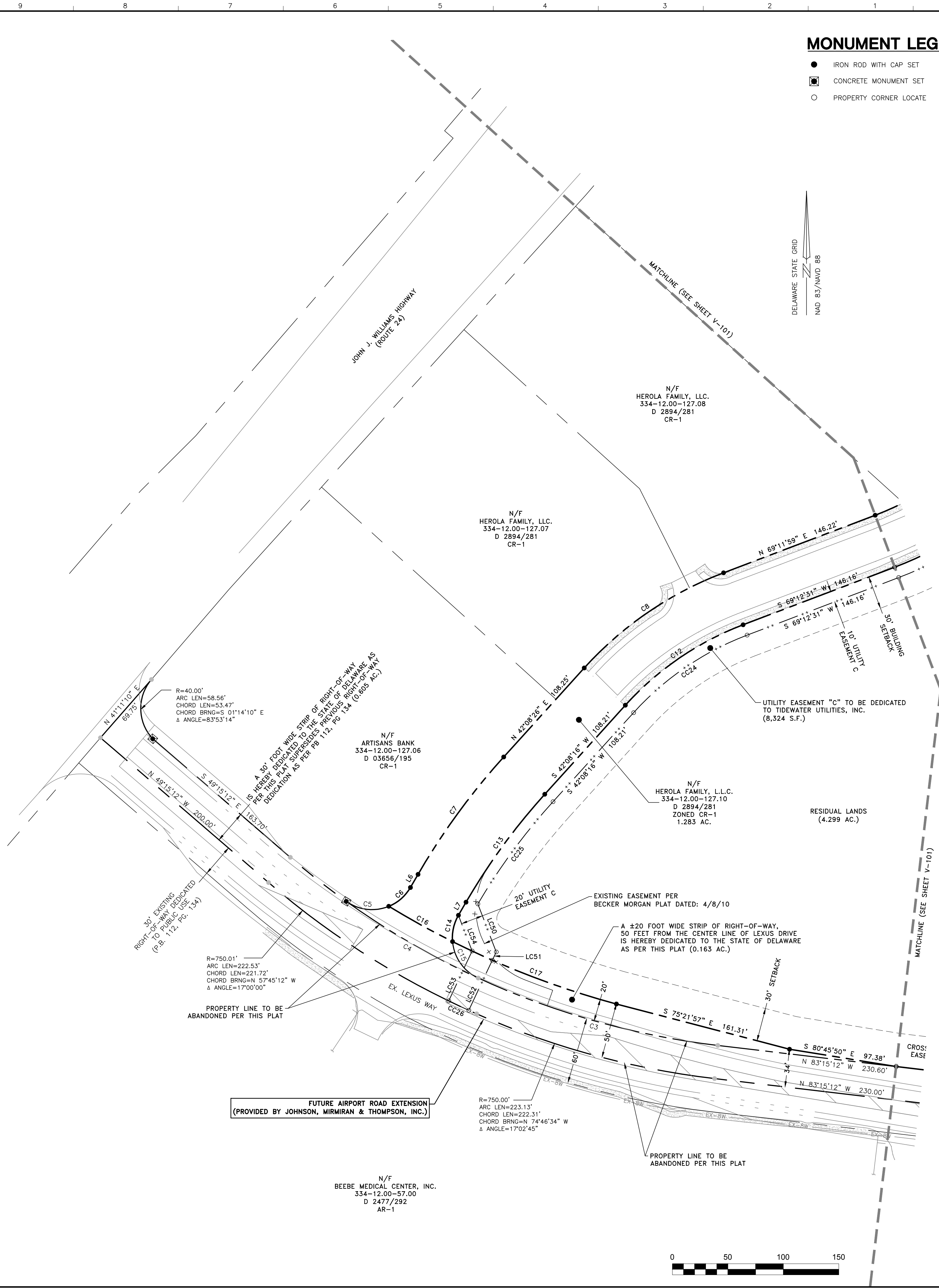
NOTE: HOOD ROAD IS NOT STATE MAINTAINED. ACCESS TO STATE ROAD OCCURS ON DELAWARE ROUTE 24 BY WAY OF LEXUS WAY AND FUTURE AIRPORT ROAD CONNECTION, AND ON DELAWARE ROUTE 24 BY WAY OF THE WALMART BACK DRIVEWAY.



TRAFFIC DIAGRAM
NO SCALE

SITE TRIPS GENERATED						
TYPE OF DEV.	CODE	UNITS	# OF	AM	PM	WKDY
MULTI-FAMILY (MID-RISE)	221	224	75	96	1,219	

NOTES:
-TRIP GENERATION BASED ON ITE TRIP GENERATION MANUAL, 10TH EDITION
-DESIGN VEHICLE: SU-30
-ONE (1) FULL SITE ACCESS PROPOSED



MONUMENT LEGEND

- IRON ROD WITH CAP SET
- CONCRETE MONUMENT SET
- PROPERTY CORNER LOCATE

RECORDED

REGISTERED

W. ZACHARY CARLUCH

NO. 12734

10/16/2020

DAVIS, BOWEN & FRIEDEL, INC.

ARCHITECTS ENGINEERS SURVEYORS

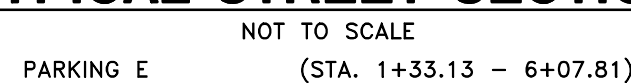
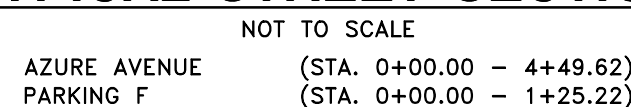
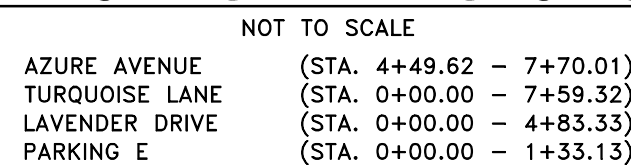
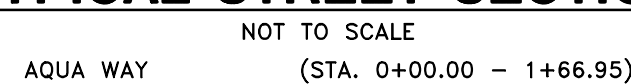
SUSSEX, MARYLAND (410) 443-2891
MILFORD, DELAWARE (302) 424-1441
EASTON, MARYLAND (410) 770-4744

RECORD PLAN - SITE PLAN

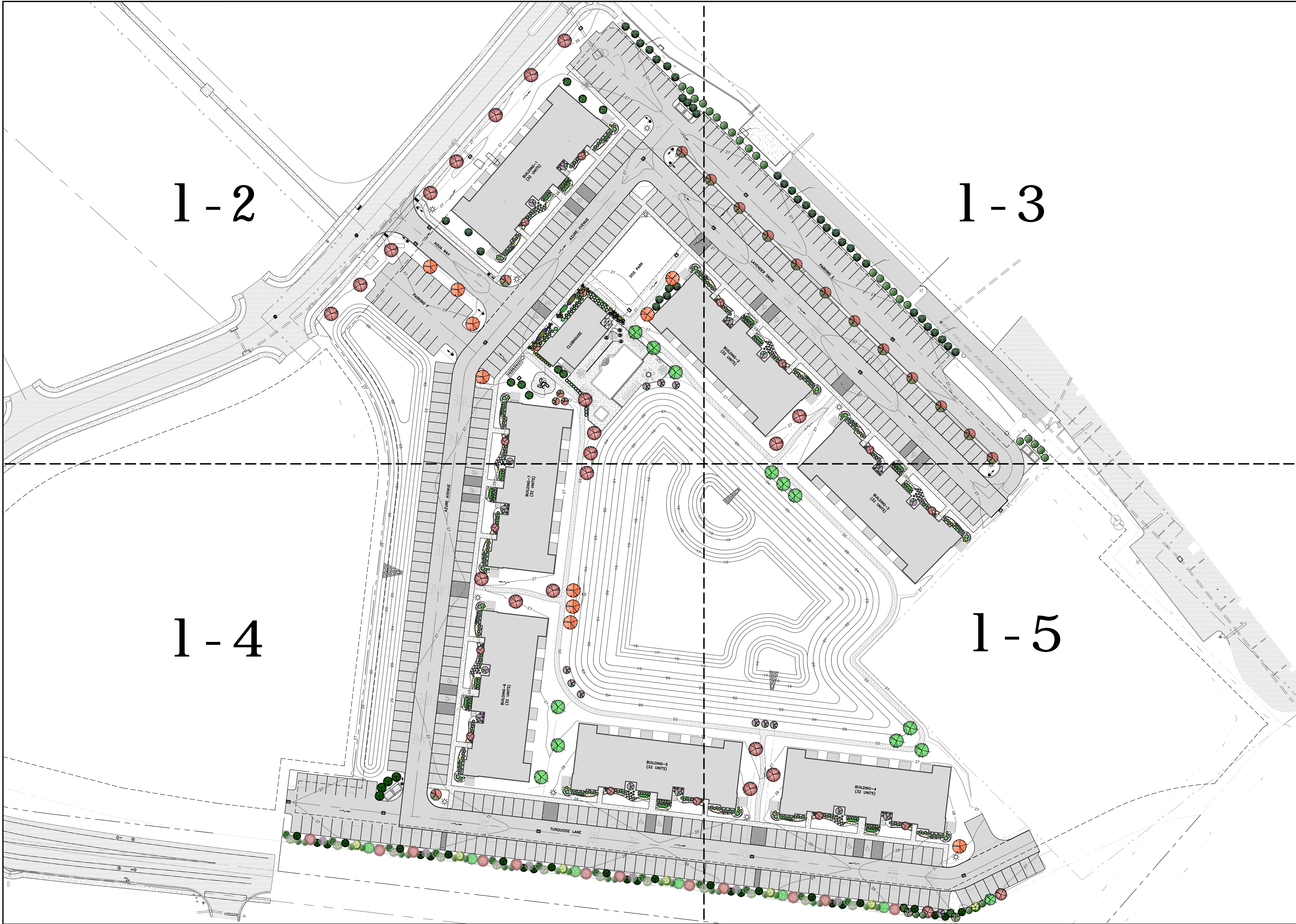
SEAGLASS AT REHOBOTH BEACH
LEWES AND REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

REVISED:
2020-06-24: SCE, SCD, FM & TUI
2020-07-28: SCE, TUI & DelDOT
2020-10-01: DelDOT, TUI, SCE,
SCD & DNREC
2020-10-19: SCE

Date: MAY, 2020
Scale: 1" = 50'
Dwn.By: KJK
Proj.No.: 0818C032
Dwg.No.: V-102



V-103



DENISON
LANDSCAPING INC.
8911 Oxon Hill Rd
Ft. Washington, MD 20744
301-567-0210
denisonlandscaping.com

Client:



Seaglass at Rehoboth Beach

Landscaping Plan

Sussex County, DE

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No.	Revision	Date
1	Northern buffer update, notes	8/13/20
2	DWM #2, name change	12/1/20
3	Bldg layout	12/16/20

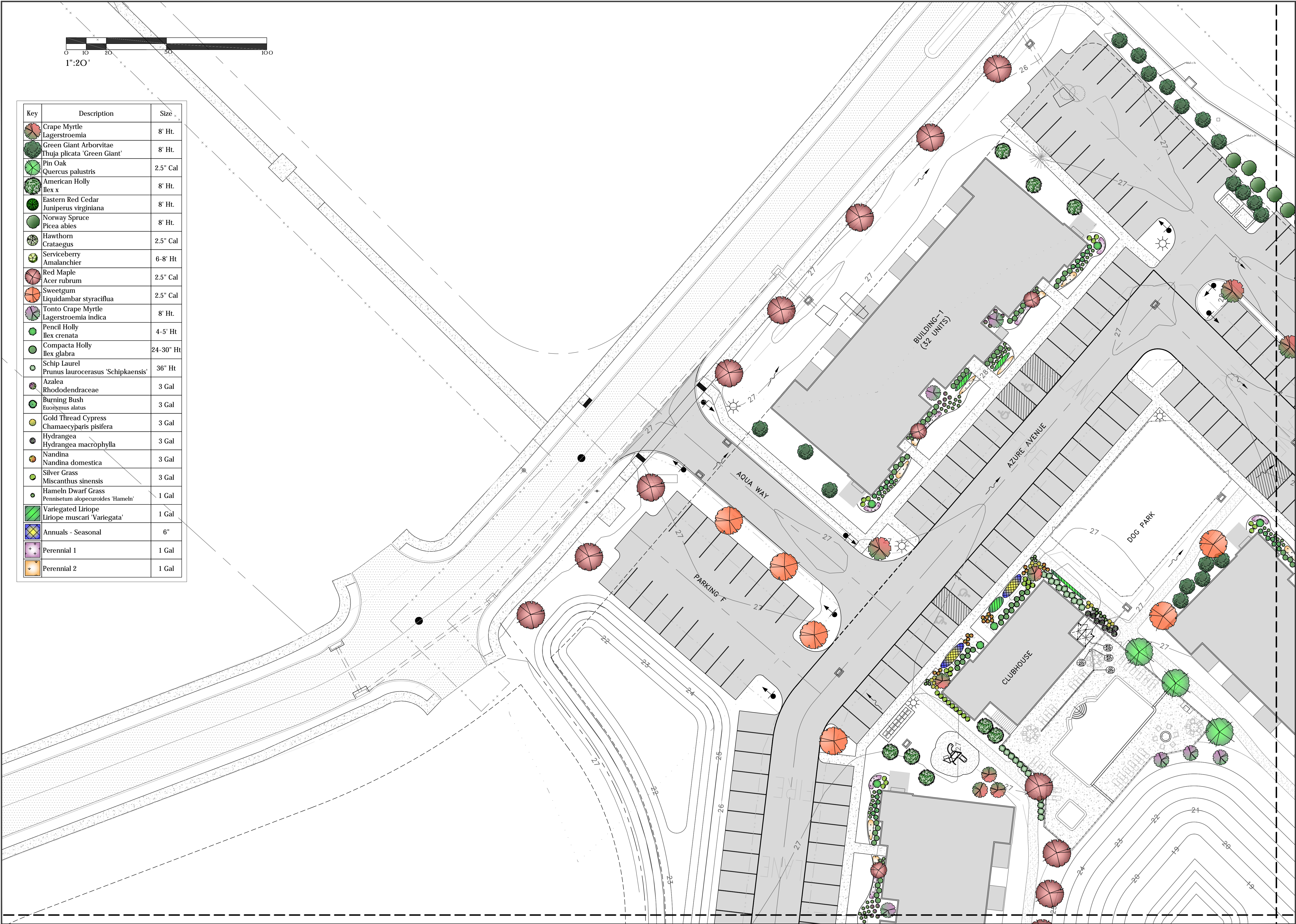
Date:
July 13, 2020
Drawn by:
B. G.

Sheet Title:

Landscape Plan

Sheet Page:

L - 1



Key	Description	Size
	Crape Myrtle Lagerstroemia	8' Ht.
	Green Giant Arborvitae Thuja plicata 'Green Giant'	8' Ht.
	Pin Oak Quercus palustris	2.5" Cal
	American Holly Ilex x	8' Ht.
	Eastern Red Cedar Juniperus virginiana	8' Ht.
	Norway Spruce Picea abies	8' Ht.
	Hawthorn Crataegus	2.5" Cal
	Serviceberry Amalanchier	6-8' Ht
	Red Maple Acer rubrum	2.5" Cal
	Sweetgum Liquidambar styraciflua	2.5" Cal
	Tonto Crape Myrtle Lagerstroemia indica	8' Ht.
	Pencil Holly Ilex crenata	4-5' Ht
	Compacta Holly Ilex glabra	24-30" Ht
	Schip Laurel Prunus laurocerasus 'Schipkaensis'	36" Ht
	Azalea Rhododendraceae	3 Gal
	Burning Bush Euonymus alatus	3 Gal
	Gold Thread Cypress Chamaecyparis pisifera	3 Gal
	Hydrangea Hydrangea macrophylla	3 Gal
	Nandina Nandina domestica	3 Gal
	Silver Grass Miscanthus sinensis	3 Gal
	Hameln Dwarf Grass Pennisetum alopecuroides 'Hameln'	1 Gal
	Variegated Liriope Liriope muscari 'Variegata'	1 Gal
	Annuals - Seasonal	6"
	Perennial 1	1 Gal
	Perennial 2	1 Gal



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	Ilex x	8' Ht.
	Eastern Red Cedar	8' Ht.
	Juniperus virginiana	8' Ht.
	Norway Spruce	8' Ht.
	Picea abies	8' Ht.
	Hawthorn	2.5" Cal
	Crataegus	2.5" Cal
	Serviceberry	6-8' Ht
	Amalanchier	6-8' Ht
	Red Maple	2.5" Cal
	Acer rubrum	2.5" Cal
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	Schip Laurel	36" Ht
	Prunus laocerasus 'Schipkaensis'	36" Ht
	Azalea	3 Gal
	Rhododendraceae	3 Gal
	Burning Bush	3 Gal
	Euonymus alatus	3 Gal
	Gold Thread Cypress	3 Gal
	Chamaecyparis pisifera	3 Gal
	Hydrangea	3 Gal
	Hydrangea macrophylla	3 Gal
	Nandina	3 Gal
	Nandina domestica	3 Gal
	Silver Grass	3 Gal
	Miscanthus sinensis	3 Gal
	Hameln Dwarf Grass	1 Gal
	Pennisetum alopecuroides 'Hameln'	1 Gal
	Variegated Liriope	1 Gal
	Liriope muscari 'Variegata'	1 Gal
	Annuals - Seasonal	6"
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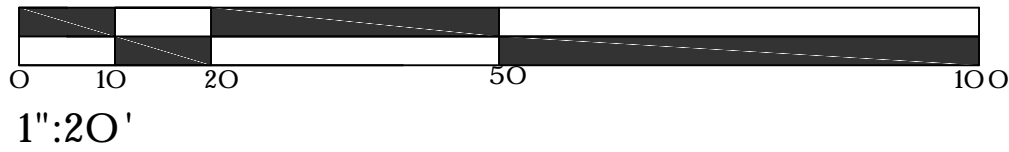
Landscape Plan

Sheet Page:

L - 3



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Client:



Seaglass at Rehoboth Beach

Landscaping Plan

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Seaglass at Rehoboth Beach

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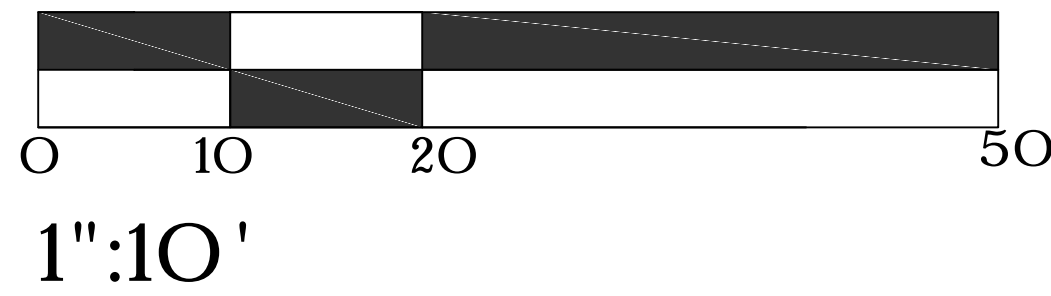
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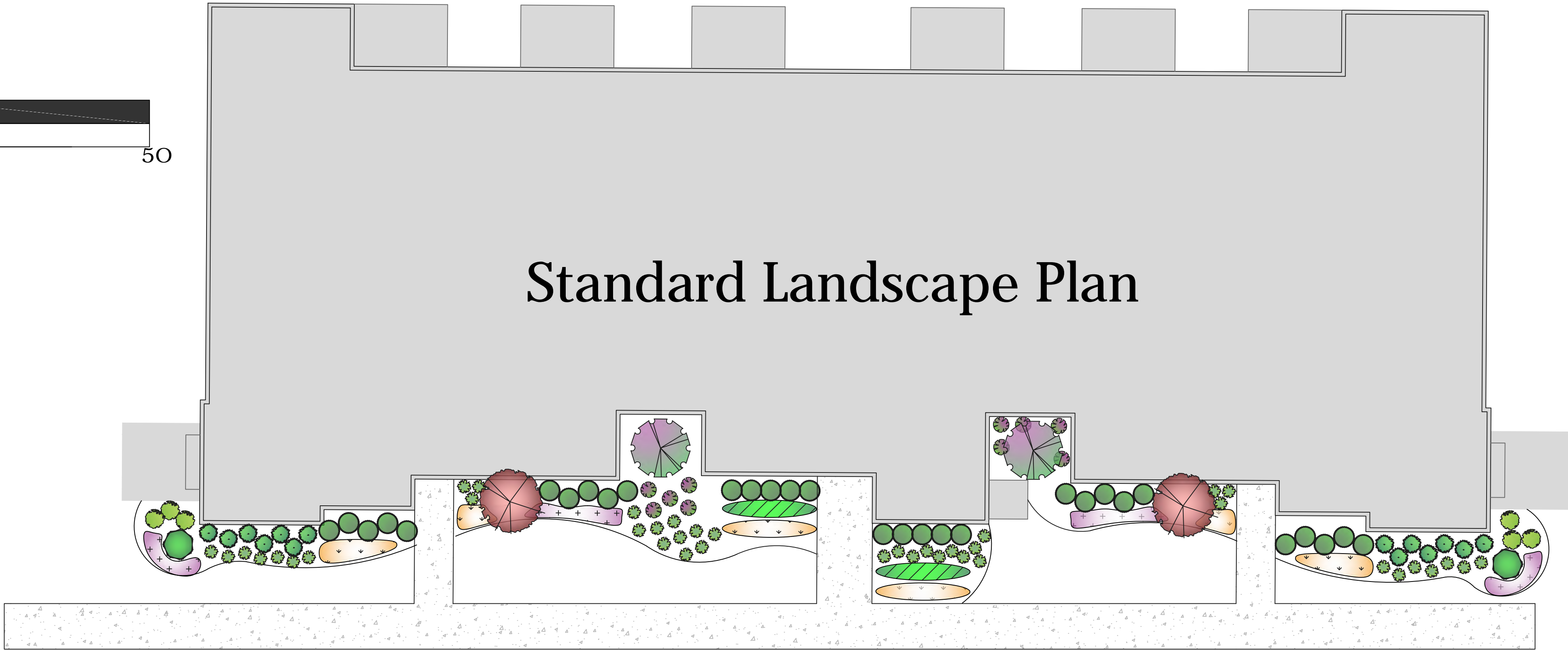
Landscape Plan

Sheet Page:

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Standard Landscape Plan



PLANTING NOTES

PLANT IDENTIFICATION - ALL PLANTS SHALL BE PROPERLY MARKED FOR IDENTIFICATION AND CHECKING.

LIST OF PLANT MATERIAL - THE QUANTITIES GIVEN IN THE PLANT LIST ARE APPROXIMATE. THE CONTRACTOR WILL VERIFY PLANT QUANTITIES PRIOR TO BIDDING AND DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF LANDSCAPE DESIGNER. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL PLANTS REQUIRED TO COMPLETE THE WORK AS SHOWN WITHIN THE DRAWINGS. SUBSTITUTIONS SHALL NOT BE MADE WITHOUT THE WRITTEN APPROVAL OF DENISON LANDSCAPING AND THE OWNER. THIS CONTRACT WILL BE BASED ON THE BIDDER HAVING VERIFIED PRIOR TO BIDDING THE AVAILABILITY OF THE REQUIRED PLANT MATERIAL AS SPECIFIED WITHIN THE DESIGN.

PLANT QUALITY - ALL SHRUBS SHALL BE DENSE, HEAVY TO THE GROUND, WELL GROWN, SHOWING EVIDENCE OF HAVING BEEN PRUNED REGULARLY AND SHALL BE VIGOROUS, HEALTHY AND OF GOOD COLOR. ALL PLANTS SHALL BE SOUND, FREE OF PLANT DISEASE, INFESTATION OR INSECT EGGS AND SHALL HAVE A HEALTHY, NORMAL ROOT SYSTEM. ALL PLANTS SHALL BE NURSERY GROWN. PLANTS SHALL NOT BE PRUNED OR RE-POTTED IMMEDIATELY PRIOR TO DELIVERY. THE SHAPE OF THE PLANT SHALL CONFORM TO ITS NATURAL GROWTH PROPORTIONS UNLESS OTHERWISE SPECIFIED. ALL PLANTS SHALL CONFORM TO THE BRANCHING, CALIPER AND HEIGHT SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S PUBLICATION ENTITLED AMERICAN STANDARD FOR NURSERY STOCK AND SHALL HAVE A WELL SHAPED, HEAVY-BRANCHED STRUCTURE FOR THE SPECIES. EVERGREEN TREES ARE TO HAVE AN INTERNODE NO GREATER THAN 24" AND SHALL BE UNIFORMLY WELL SHAPED. PLANTS OF A GIVEN SIZE SHALL NOT MEASURE LESS THAN THE MINIMUM SIZE AS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK.

ROOTBALL SIZE - THE ROOTBALL SIZE OF ALL PLANTS SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN'S PUBLICATION ENTITLED AMERICAN STANDARD FOR NURSERY STOCK. ROOTBALLS SHALL BE WRAPPED IN UNTREATED BURLAP.

PLANT SPACING - PLANT SPACING IS TO SCALE ON PLAN.

EXCAVATION AND BED PREPARATION - HOLES FOR ALL TREES SHALL BE 2 TIMES THE SIZE OF THE ROOT BALL OR CONTAINER AND SHALL HAVE VERTICAL SIDES. HOLES FOR SHRUBS SHALL BE 12" WIDER THAN THE ROOT BALL. BEDS FOR MASS PLANTING SHALL BE ENTIRELY ROTOTILLED TO A DEPTH OF 12". MIX FERTILIZER AND ORGANIC MATTER AND INCORPORATE INTO PLANT BEDS BY TILLING AGAIN TO A DEPTH OF 8", MIXING THEM THOROUGHLY INTO THE SOIL AND BREAKING UP THE LUMPS. USE A TILLER THAT WILL CULTIVATE TO A MINIMUM DEPTH OF 8" AND DO NOT MAKE MORE THAN TWO PASSES. THE ENTIRE BED MAY BE CULTIVATED WITH A SPADE IF PREFERRED. WHEN FINISHED, RAKE SURFACE WITH A STEEL-TOOTH RAKE UNTIL SMOOTH. MOISTEN THE BED, LET THE WATER SOAK IN AND RAKE IT AGAIN.

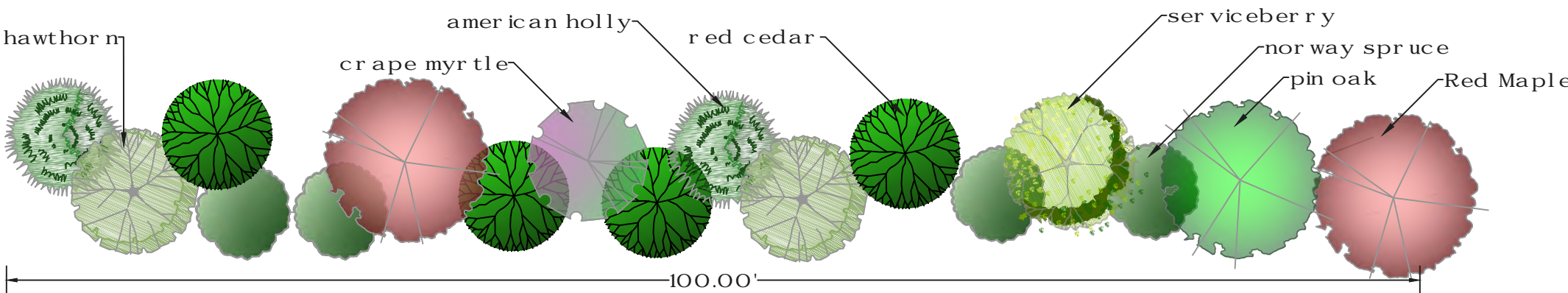
PLANTING - PLANTS WILL BE PLANTED HIGHER THAN SURROUNDING GRADE. SHRUBS AND TREES WILL BE SET AT A DEPTH TO PLANT 1/8TH OF THE ROOTBALL ABOVE FINISH GRADE. REMOVE ROPE FROM TREE TRUNKS AND LAY BACK BURLAP FROM TOP 1/3 OF ALL BURLAP MATERIAL. NYLON, PLASTIC OR VINYL ROPE AND WIRE BASKETS WILL BE COMPLETELY REMOVED FROM ALL PLANT MATERIAL PRIOR TO PLANTING.

CULTIVATION - ALL TRENCHES AND SHRUB BEDS SHALL BE CULTIVATED, EDGED AND MULCHED WITH A LAYER OF WELL AGED, SHREDDED HARDWOOD MULCH. 2" MINIMUM, 3" MAXIMUM DEPTH. THE AREA AROUND ISOLATED PLANTS SHALL BE MULCHED TO AT LEAST A 6" GREATER DIAMETER THAN THE HOLE.

GUARANTEE & REPLACEMENT - ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR. THE GUARANTEE WILL BEGIN ON THE DATE OF FINAL ACCEPTANCE OF THE WORK. AFTER A PLANT HAS BEEN DETERMINED TO BE DEAD, DYING OR DAMAGED FROM HANDLING OR INSTALLATION, IT WILL BE REPLACED DURING THE NEXT GROWING SEASON. THE GUARANTEE WILL END FOR ALL PLANT MATERIAL ONE YEAR AFTER ACCEPTANCE. DURING THE GUARANTEE PERIOD, THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR MECHANICAL INJURY OR VANDALISM CAUSED BY OTHER PARTIES. IMPROPER WATERING WILL BE CONSIDERED A VOID OF GUARANTEE.

MATERIAL INSPECTION - OWNER AND/OR GENERAL CONTRACTOR SHALL AT THEIR DISCRETION, INSPECT PLANT MATERIAL BEFORE AND DURING DELIVERY AND INSTALLATION. PLANT MATERIAL WILL BE PROPERLY DELIVERED IN COVERED TRUCKS. OWNER WILL HAVE AUTHORITY TO OBSERVE SITE PREPARATION AND PLANTING INSTALLATIONS AND HAVE THE RIGHT TO REJECT ANY WORK IF THE SPECIFICATIONS AND CONSTRUCTION DOCUMENTS ARE NOT FOLLOWED. ALL PLANT MATERIAL SHALL BE OF THE QUALITY SPECIFIED AND INSTALLED AS DESCRIBED ABOVE. UNLESS THESE MINIMUM STANDARDS ARE SATISFIED, THE PLANTS WILL BE REJECTED.

Typical 100' Buffer Plan



*entire space to be mulched



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301-567-0210
denisonlandscaping.com

Client:



Seaglass at Rehoboth Beach Landscaping Plan Sussex County, DE

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July 13, 2020
Drawn by:
B. G.

Sheet Title:

Landscape Plan

Sheet Page:

ENGINEERING DEPARTMENT

ADMINISTRATION	(302) 855-7718
AIRPORT & INDUSTRIAL PARK	(302) 855-7774
ENVIRONMENTAL SERVICES	(302) 855-7730
PUBLIC WORKS	(302) 855-7703
RECORDS MANAGEMENT	(302) 854-5033
UTILITY ENGINEERING	(302) 855-7717
UTILITY PERMITS	(302) 855-7719
UTILITY PLANNING	(302) 855-1299
FAX	(302) 855-7799



Sussex County

DELAWARE
sussexcountyde.gov

HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

MICHAEL E. BRADY
DIRECTOR OF PUBLIC WORKS

October 21, 2020

Davis, Bowen & Friedel, Inc.
1 Park Ave.
Milford, DE 19963
Attn: W. Zachary Crouch, P.E.

RE: SEAGLASS
SUSSEX COUNTY TAX MAP NUMBERS
334-12 127.01 & 127.10
Agreement No. 1146 FINALS

Dear Mr. Crouch,

A review of the above referenced plans has been completed by the Sussex County Engineering Department. Please have a completed review, **with confirmation** from DNREC for this projects waste water construction permit before submitting plans for Sussex County approval. Provide three (3) sets of plans in a size of 24" x 36", and one (1) CD or file transfer of PDFs for each sheet. One set of plans will be returned to the Engineer/Consultant for their record.

Each sheet must be signed and sealed by the Engineer and the cover sheet of the plan shall have the owner/developer's and wetland consultant signature, this includes PDFs being submitted prior to Sussex County Engineering Department approval.

Should you have any questions, please do not hesitate to contact me.

Sincerely,

SUSSEX COUNTY ENGINEERING DEPARTMENT

Ken Briggs
Public Works Engineering Technician II

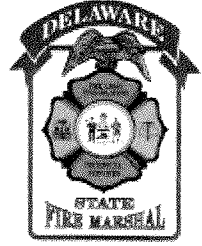


COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 589
GEORGETOWN, DELAWARE 19947



OFFICE OF THE STATE FIRE MARSHAL
Technical Services

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2020-04-203830-MJS-02

Tax Parcel Number: 334-12.00-127.01

Status: Approved as Submitted

Date: 07/02/2020

Project

Seaglass

OA Rehoboth LLC Property (Midtown)

Route 24 and Old Landing Road
Rehoboth Beach DE 19971

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 86 - Rehoboth Beach Vol Fire Co

Occupant Load Inside:

Occupancy Code: 9603

Applicant

W. Zachary Crouch
1 Park Avenue
Milford, DE 19963

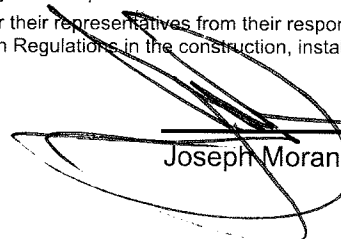
This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:


Joseph Moran

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2020-04-203830-MJS-02

Tax Parcel Number: 334-12.00-127.01

Status: Approved as Submitted

Date: 07/02/2020

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1040 A** This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 1,000 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 800' on center.
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1190 A** Separate plan submittal is required for the building(s) proposed for this project.
- 1092 A** Perimeter Access is that portion of the building that is accessible by emergency services personnel and is within 100 feet of a street and capable of supporting fire ground operations. (DSFPR Regulation 705, Chapter 5, Section 1.4.1). Perimeter Access minimum width shall be 15 feet measured from the face of the building at grade with a maximum slope of ten percent (10%). Plantings and utility services (includes condenser units, transformers, etc.) shall be permitted within the perimeter access, provided they do not interfere with the emergency services fire ground operations. (DSFPR Regulation 705, Chapter 5, Sections 3.5 and 4.5). If a physical barrier (fence, pond, steep slope, etc) prevents access, that portion of the building perimeter shall not be included in the calculation of Percent of Perimeter Access. (DSFPR Regulation 705, Chapter 5, Sections 3.5.1 and 4.5.1).
- 2710 A** The following items will be field verified by this Agency at the time of final inspection:

- 1119 A All proposed fire hydrants and water mains shall be installed in accordance with the most current edition of the Delaware State Fire Prevention Regulations (DSFPR, Part II, Chapters 6 & 7).**
- 1132 A Fire hydrants shall be color coded in accordance with the DSFPR, Part III, Section 3 4. This includes both color coding the bonnet and 2" reflective tape around the barrel under the top flange.**
- 1232 A All threads provided for fire department connections, to sprinkler systems, standpipes, yard hydrants or any other fire hose connections shall be uniform to those used by the fire department in whose district they are located. DSFPR Part III,Section 1.1.5.1.**
- 1432 A The steamer connection of all fire hydrants shall be so positioned so as to be facing the street or fire lane. (DSFPR Regulation 705, Chapter 5, Section 10). The center of all hose outlet(s) on fire hydrants shall be not less than 18 inches above finalgrade (NFPA 24, Section 7.3.3).**
- 1332 A The distance between a fire hydrant and the fire lane shall not be greater than seven feet (DSFPR Part V, Chapter 5, Section 5 10.4).**
- 1432 A The steamer connection of all fire hydrants shall be so positioned so as to be facing the street or fire lane. (DSFPR Regulation 705, Chapter 5, Section 10). The center of all hose outlet(s) on fire hydrants shall be not less than 18 inches above finalgrade (NFPA 24, Section 7.3.3).**
- 1130 A Provide a water flow test on the subdivision hydrant(s) once they have been installed, and before they are placed into service (DSFPR Part I, Section 4 4.2 and Part III, Chapter 3). Results are to be forwarded to this Agency for review.**
- 1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes orrevisions to the plans occur, plans are required to be submitted, reviewed, and approved.**



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

October 22, 2020

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

SUBJECT: Letter of No Objection to Recordation
Seaglass at Rehoboth Beach
Tax Parcel # 334-12.00-127.01
Lewes & Rehoboth Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Site Plan, dated May 2020 (signed and sealed October 16, 2020), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawings. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Site Plan is not recorded prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. Entrance plans shall be developed in accordance with DelDOT's [Development Coordination Manual](#) and submitted to the Development Coordination Section for review and approval.

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.



Seaglass at Rehoboth Beach
Mr. Jamie Whitehouse
Page 2
October 22, 2020

If I can be of any further assistance, please call me at (302) 760-2266.

Very truly yours,



Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

cc: Preston Schell, OA North LLC
Zac Crouch, Davis, Bowen & Friedel, Inc.
William Kirsch, South District Entrance Permit Supervisor
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Gemez W. Norwood, South District Public Work Manager
James Argo, South District Project Reviewer
Robert Bragg, South District Subdivision Manager
Jennifer Pinkerton, Chief Materials & Research Engineer
Chris Sylvester, Traffic Studies Manager
Linda Osiecki, Pedestrian Coordinator
John Fiori, Bicycle Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kauffman, DTC Planner
James Kelley, JMT
Wendy L. Polasko, Subdivision Engineer
Brian Yates, Sussex County Reviewer

MAPPING & ADDRESSING

MEGAN NEHRBAS
MANAGER OF GEOGRAPHIC
INFORMATION SYSTEMS (GIS)
(302) 855-1176 T
(302) 853-5889 F



Sussex County
DELAWARE
sussexcountyde.gov

May 22, 2020

Ocean Atlantic Companies
Attn: Ben Gordy

RE: Proposed Subdivision Name(s)

I have reviewed the name(s) submitted for your proposed subdivision which is located in **Rehoboth Beach** (334-12.00-127.01). In reviewing the proposed name(s) the following has been approved for this subdivision:

SEAGLASS AT REHOBOTH BEACH

Should you have any questions please contact the Sussex County Addressing Department at 302-853-5888 or 302-855-1176.

Sincerely,

Terri L. Dukes

Terri L. Dukes
Addressing Technician II

CC: Christin Headley
Planning & Zoning



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 589
GEORGETOWN, DELAWARE 19947



December 10, 2020

Zachary Crouch
Davis, Bowen & Friedel, Inc.
wzc@dbfinc.com

RE: **Seaglass – Rehoboth Beach, DE**

Mr. Crouch,

Sussex Conservation District has reviewed the sediment and stormwater management plans submitted for the above referenced project. The District has found the submittal to be acceptable, please provide the District with the following:

- ☒ Submit 5 sets of plans for approval.
- ☒ Submit 1 set scaled 12 x 18 for approval.
- ☒ Submit an electronic copy (PDF) of the project's complete construction set.
- ☒ Submit a paper and electronic copy (PDF) of the Stormwater Report (and all exhibits).
- ☒ Provide a check for inspection fee for \$6,000 and maintenance fee for \$1,500. An additional \$500 is required for the review fee. (These fees can be combined on one check.)

Please note:

- ☒ Every plan sheet is to be signed and sealed by a qualified design professional.
- ☒ The SCD Owners Certification Statement is to be signed in ink on each set of plans.

If plans are submitted with any of the above items missing, they will **not** be approved. Be advised if there are any deficiencies which cannot be addressed within 72 hours the plans will be considered withdrawn and therefore, you will need to entirely resubmit. We appreciate your cooperation in this matter as we are trying to maintain a professional and structured office to better serve you.

If ownership is going to change, the District will require a new application and two sets of plans with the new owner's information and signed certification statement. In addition, the authorization to discharge stormwater under the regulations *Part 2 Special Conditions for Storm*

Water Discharges Associated with Construction Activities, must be transferred by the original owner to the new owner, please contact DNREC at 302-739-9921 for assistance.

If you have any questions or concerns regarding the aforementioned, please do not hesitate to contact the District at 302-856-2105.

Sincerely,

John Justice

Plan Reviewer

Cc:

Karl Kreppein

From: Tawanda Priester <TPriester@middlesexwater.com>
Sent: Wednesday, December 16, 2020 5:54 PM
To: Karl Kreppein
Cc: wzc@dbfinc.com
Subject: RE: Plan Review #5 for Seaglass
Attachments: 0818C032 - Seaglass_TUI_5th Submission_2020-11-20.pdf; Plan Approval App Rev.10 form.pdf

Karl,

At this time, TUI has completed the review of the attached utility plans and has no further comments. TUI's acceptance of these plans shall expire one (1) year from the date of this email. In the event final approval is not granted and construction is not started within the year, resubmission to TUI will be required. Also, if the project and/or utility plans are revised, resubmission will be required.

Prior to final approval, the WSA agreement must be executed between TUI and the developer and the income liability taxes must be paid. To initiate the process, the developer should contact Kirsten Higgins at khiggins@tuiwater.com or by phone at 302-747-1325.

Once the above items are complete, the following documentation may be submitted for final approval:

1. Completed plan approval application, signed and dated. Attached is the latest application.
2. Hard copies of FMO and ODW approvals.
3. One hard copy of the recorded record plans with book & page.
4. Three copies of final plans sealed by a professional engineer registered in the State of Delaware.
5. Electronic files on CD:
 - a. Final water utility plan in full .dwg format (AutoCAD 2018 or earlier versions).
 - b. Sealed final water utility plan in .pdf format.
 - c. Recorded record plat in .pdf format.

Thank you,

Tawanda Priester

Project Engineer

[TIDEWATER UTILITIES, INC.](http://www.tuiwater.com)

"Southern Delaware's Premier Water Company Since 1964"

Phone: 302-747-1339 Fax: 302-734-9295



tpriester@tuiwater.com

From: Karl Kreppein <kjk@dbfinc.com>
Sent: Friday, November 20, 2020 4:53 PM
To: Tawanda Priester <TPriester@middlesexwater.com>

- # TRIP GENERATION

1" = 100'

WEST 85% EAST 15%

54 (14) 3 (1) 301 3 (1) 13 (3)

IRON HILL ROAD SCR 454A

TRAFFIC GENERATION DIAGRAM (PER HOUR PEAK HOUR (PM PEAK HOUR))

ROAD TRAFFIC DATA:

FUNCTIONAL CLASSIFICATION: POSTED SPEED LIMIT: 50 mph

ADT: 692 PER 2014 TRAFFIC COUNTS

TRAFFIC PATTERN GROUP: 1,100 A.M. + 698 TRIPS

V/FACTOR VOLUME: 698 + 34 = 732 TRIPS

DISTRIBUTION D-FACTOR: 12.00% X 732 = 88 TRIPS
8.00% X 732 = 59 TRIPS
61.52% / 38.65 = 54 WEST / 34 EAST

SITE TRIPS GENERATED:

SOURCE: RETAIL TRIP GENERATION MANUAL, 10th Edition

150 - WAREHOUSE	PER 1000 SQ FT	
812 - RETAIL	PER 1000 SQ FT	
715 - OFFICE	PER 1000 SQ FT	
ONE EXISTING ENTRANCES	FULL MOVEMENTS	
DESIGN VEHICLE:	WB-67	
DAILY TRIPS EXISTING WAREHOUSE + BUILDING SIZE = 2,430 SF (1.74 X 2.43)		
DAILY TRIPS EXISTING	T = 4	
DAILY TRIPS EXISTING RETAIL (INSIDE WAREHOUSE) + BUILDING SIZE = 450 SF (18.00 X 2.50)		
DAILY TRIPS EXISTING	T = 8	
DAILY TRIPS EXISTING SINGLE USE OFFICE + BUILDING SIZE = 1,513 SF (11.25 X 1.51)		
DAILY TRIPS EXISTING	T = 17	
DAILY TRIPS PROPOSED WAREHOUSE + BUILDING SIZE = 3,072 SF (7.43 X 3.07)		
DAILY TRIPS PROPOSED	T = 34	
TOTAL TRIPS FOR SITE =	104	

WAREHOUSE - EXISTING AND PROPOSED:

9 DAILY TOTAL TRIPS - 50% ENTER, 50% EXITING = 4 IN / 5 OUT

15% IN FROM EAST = 1, 15% OUT TO EAST = 0

85% IN FROM WEST = 3, 85% OUT TO WEST = 4

PM PEAK 1, TOTAL TRIPS: 17% ENTER, 23% EXITING = 1 IN / 0 OUT

15% IN FROM EAST = 0, 15% OUT TO EAST = 0

85% IN FROM WEST = 0, 85% OUT TO WEST = 1

PM PEAK 2, TOTAL TRIPS: 27% ENTER, 73% EXITING = 0 IN / 1 OUT

15% IN FROM EAST = 0, 15% OUT TO EAST = 0

85% IN FROM WEST = 0, 85% OUT TO WEST = 1

OFFICE - EXISTING:

17 DAILY TOTAL TRIPS: 50% ENTER, 50% EXITING = 8 IN / 9 OUT

15% IN FROM EAST = 1, 15% OUT TO EAST = 1

85% IN FROM WEST = 7, 85% OUT TO WEST = 8

PM PEAK 3, TOTAL TRIPS: 89% ENTER, 11% EXITING = 2 IN / 1 OUT

15% IN FROM EAST = 0, 15% OUT TO EAST = 0

85% IN FROM WEST = 2, 85% OUT TO WEST = 1

PM PEAK 3, TOTAL TRIPS: 15% ENTER, 85% EXITING = 0 IN / 3 OUT

15% IN FROM EAST = 0, 15% OUT TO EAST = 0

85% IN FROM WEST = 0, 85% OUT TO WEST = 3

RETAIL - EXISTING:

9 DAILY TRIPS: 50% ENTER, 50% EXITING = 4 IN / 4 OUT

15% IN FROM EAST = 1, 15% OUT TO EAST = 1

85% IN FROM WEST = 3, 85% OUT TO WEST = 3

PM PEAK 1, TOTAL TRIPS: 63% ENTER, 37% EXITING = 1 IN / 0 OUT

15% IN FROM EAST = 0, 15% OUT TO EAST = 0

85% IN FROM WEST = 1, 85% OUT TO WEST = 0

PM PEAK 2, TOTAL TRIPS: 17% ENTER, 83% EXITING = 0 IN / 1 OUT

15% IN FROM EAST = 0, 15% OUT TO EAST = 0

85% IN FROM WEST = 0, 85% OUT TO WEST = 1

TOTAL:

ADT = 34 TRIPS 17 ENTER, 17 EXITING

PM = 4 (1 ENTER, 1 EXITING)

PM = 5 (1 ENTER, 4 EXITING)



LOT COVERAGE	
EXISTING	21.31% IMP
PROPOSED	21.31% IMP
LAND USE SUMMARY	
EX. OFFICE	1513 SQFT
EX. WAREHOUSE	2880 SQFT
PROP. WAREHOUSE	3072 SQFT

SITE COVERAGE CHART	
AREA	SQFT
BUILDING	7755 SQFT
STONE	69585 SQFT
PAVEMENT	14051 SQFT
CONCRETE	200 SQFT

OWNER'S CERTIFICATION

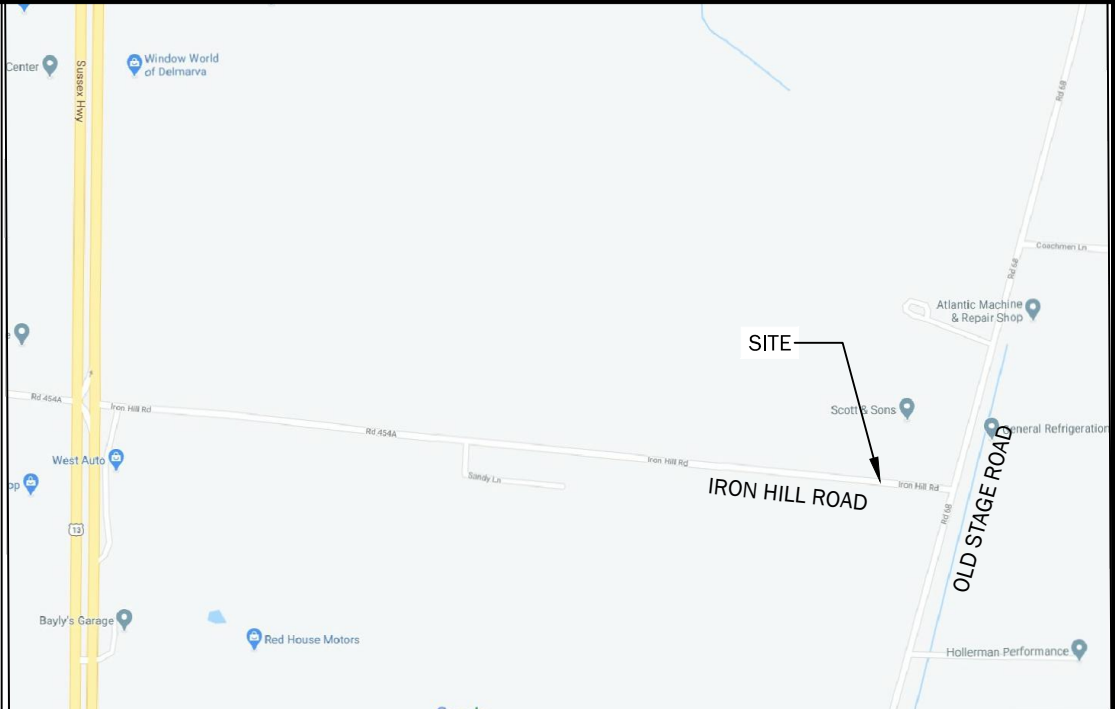
I, THE UNDERSIGNED, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED STANDARD PLAN AND THAT RESPONSIBLE (I.E., BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS.

Scott Shubert
SCOTT A. SHUBERT
32077 SPERIN RD.
SALISBURY, MD 21804

OWNER'S CERTIFICATION

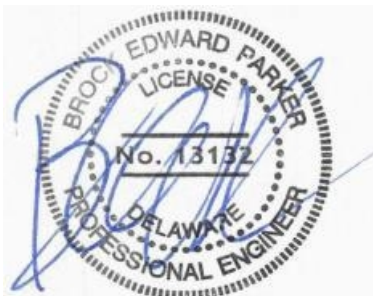
ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE IN ACCORDANCE WITH THE LOCAL EROSION CONTROL PLAN AND THAT RESPONSIBLE (I.E., BLUE CARD HOLDER) INVOLVED IN THE DEVELOPMENT OF THE EROSION CONTROL PLAN SHALL BE RESPONSIBLE FOR THE IDENTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. THE EROSION CONTROL PLAN SHALL BE REVIEWED BY A QUALIFIED AND DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT LOCAL AGENCIES DURING ON-SITE REVIEWS.

**DeIDOT
REVIEWED FOR
GENERAL
CONFORMITY
Nov. 16, 2020**

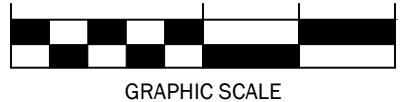


VICINITY MAP 1" = 1000'

PRE DEVELOPMENT CURVE #	84
POST DEVELOPMENT CURVE #	84



SHEET 1

[illegible]

LONG PLAN & WAIVER DETAIL

SHUBERT IRON HILL

ROAD: IRON HILL
SCOTT SHUBERT

DATE	08/06/20	TAX
------	----------	-----

DWG	DRAFTSMAN	MJH	PART
-----	-----------	-----	------

POWER DETAIL

WATER VIAL

PS - STORM

NO. S2339 - F

JOE	
RESTRY	

1

1

ITE
DIPLO

ANNEX



Sussex Conservation District
23181 Shortly Road
Georgetown, DE 19947
302-856-2105

<https://www.sussexconservation.org>

APPLICATION FOR STANDARD PLAN APPROVAL
**NON-RESIDENTIAL CONSTRUCTION WITH
LESS THAN 1.0 ACRE DISTURBED**

Applicability Criteria

1. The disturbed area for construction of the improvements will not exceed 1.0 acre. ✓
2. Within the disturbed area, the pre-development land use is not classified as forest. ✓
3. For project site locations within an area previously managed for stormwater quantity and quality under an approved Sediment and Stormwater Plan, the post construction condition meets the original stormwater design criteria.
4. For project site locations within an area previously unmanaged for stormwater quantity and quality under an approved Sediment and Stormwater Plan, one of the following is met:
 - a. Comparison of the existing parcel curved number (CN) based upon the Department's 2017 aerial photography to the proposed CN for the parcel after non-residential construction results in less than one whole number change in the CN, OR ✓
 - b. No new impervious area is proposed as a result of construction. ✓

Site Information

Project Name: Shubert Iron Hill
Site Location: Iron Hill Rd, DELMAR, DE
Previous Plan Name: N/A
Previous Plan Approval Number: _____
Tax Parcel ID: 532 - 14.00 - 6.05

Parcel Total Acres (nearest 0.1ac): 9.90 (9.86)
Disturbed Acres (nearest 0.1ac): 0.1
Proposed Impervious Area (square feet): 0 *
Wooded area to be cleared: 0
Pre CN: 84 Post CN: 84

Applicant Information

Owner: Scott A. Shubert
Mailing Address: 11133 Iron Hill Rd
Delmar DE 19940
Owner Phone: 302-462-7221
Owner Email: SSS60tshubert@gmail.com

Applicant: Parker and Associates
Mailing Address: 528 Riverside Dr.
Salisbury MD 21801
Applicant Phone: 410 749 1023
Applicant Email: Will@parkerandassociates.org

Fee = \$500.00

Approval Information (for office use only)

Approval # 2020-1221 Fee Paid: \$ 500.00
Approved by: [Signature] Approval Date: 11/12/20
Title: Program Manager Expiration Date: 11/12/25

* New building to be built over existing concrete & Stone area.
No new impervious.

Standard Conditions

1. Discharges from rooftops will be disconnected using one of the following methods or another method approved by the Department or Delegated Agency:
 - a. Individual downspouts will discharge to lawn or landscape area.
 - b. Discharges from downspouts will be collected to discharge to a rain garden.
 - c. Discharges from downspouts will be collected in rain barrels or cisterns for reuse.
2. Driveways, sidewalks, patios, and other impervious surfaces will be graded to sheet flow to lawn or other pervious areas to the maximum extent practicable.
3. Unless waived in writing by the Department or Delegated Agency a construction site stormwater management plan in accordance with Department or Delegated Agency guidance for this Standard Plan shall be followed. The attached checklist has been developed to serve as guidance for preparing the construction site stormwater management plan.
4. Approval of this Standard Plan does not relieve the applicant from complying with any and all federal, state, county or municipal laws and regulations.

Stabilization Conditions

1. Following initial soil disturbance or redistribution, temporary or permanent stabilization with seed and mulch shall be completed within 14 calendar days to the surface of all disturbed areas not actively under construction.
2. Specific stabilization recommendations may be found in the Delaware Erosion and Sediment Control Handbook, 3.4.3 Standard and Specifications for Vegetative Stabilization.

Applicant Certification

I, the undersigned, certify that the information supplied on this Application for Standard Plan Approval is accurate, the proposed land disturbing activity meets the criteria established, and all conditions of this Standard Plan Approval will be met by the applicant, builder, contractor, and owner during construction and post construction.

Applicant Signature:  Date: 8/13/20

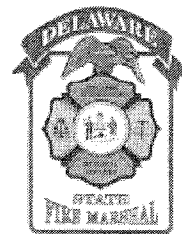
Applicant Printed Name: Will Kernodle, CCR Title: Eng. Manager

THIS STANDARD PLAN APPLICATION FORM MUST BE MAINTAINED ON THE SITE AT ALL TIMES DURING CONSTRUCTION



OFFICE OF THE STATE FIRE MARSHAL
Technical Services

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2020-04-204733-MJS-01

Tax Parcel Number: 532-14.00-6.05

Status: Approved as Submitted

Date: 09/14/2020

Project

Shubert Warehouse

Iron Hill Road & Old Stage Road

Shubert Property

Laurel DE 19956

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 74 - Delmar Volunteer Fire Dept Inc

Occupant Load Inside:

Occupancy Code:

Applicant

Scott Shubert
32077 Spearin Road
Salisbury, MD 21804

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:


Desiree McCall

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2020-04-204733-MJS-01

Tax Parcel Number: 532-14.00-6.05

Status: Approved as Submitted

Date: 09/14/2020

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1010 A** The following water for fire protection requirements apply: **NONE. On-Site Wells Proposed.** this site meets Water Flow Table 1. therefore the provisions of NFPA 1142 shall apply to this site (DSFPR Regulation 702, Chapter 6, Section 3). Since wells are proposed for this site, no additional requirements will be made by this Agency for water for fire protection.
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1190 A** Separate plan submittal is required for the building(s) proposed for this project.
- 1501 A** If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountype.gov
302-855-7878
302-854-5079 F
JAMIE WHITEHOUSE, MRTPI, AICP
DIRECTOR OF PLANNING & ZONING

December 17, 2020

Mr. Will Kernodle, P.E.
Parker & Associates, Inc.
528 Riverside Drive
Salisbury, MD 21801

By email to will@parkerandassociates.org

RE: Staff Review of Revised Preliminary Site Plan for Lands of Shubert (S-20-01/CU 1610) for a proposed 3,072 square foot commercial storage building addition with site improvements on a 9.607-acre parcel of land accessed from Iron Hill Rd (S.C.R. 454A).

Tax Parcel: 532-14.00-6.05

Dear Mr. Kernodle,

Further to your submission of November 23, 2020, staff have reviewed submitted Final Site Plan for the Lands of Shubert (S-20-01/CU 1610) for a proposed 3,072 square foot pole barn warehouse addition with site improvements on a 9.607-acre parcel of land accessed from Iron Hill Road (S.C.R. 454A). The parcel is split zoned Heavy Commercial (C-3) Zoning District with the 200-ft from the western side of the property remaining in its existing zoning Agricultural Residential (AR-1) Zoning District. Staff have reviewed the site plan for compliance with the Sussex County Zoning Code and have the following comments:

Revised Preliminary Site Plan

1. Please indicate at the top center of the plans that this is a Revised Preliminary Site Plan and please include the County Project Reference Number (S-20-01).
2. Please include the Conditions of Approval in a separate call-out box to further distinguish them from the existing text. Please also clarify that the Conditions of Approval shown on the plans are for CU 1610. You may also wish to file any additional notes under the header of "General Notes."
3. Please include the maximum height required for the Heavy Commercial District (C-3) (42-ft) in the Site Data Column.
4. Please amend the minor grammatical error in General Note #10 "This property is show on F.I.R.M.," to "This property is shown on F.I.R.M."
5. Please note in the Site Data Column that this project is not located within a Wellhead Protection Area to comply with Chapter 89 "Source Water Protection" of the Sussex County Code (§89-6).
6. Please note in the Site Data Column that this project is located in an Excellent Recharge Area for Groundwater Recharge Potential to comply with Chapter 89 "Source Water Protection" of the Sussex County Code (§89-7).



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE 19947

7. Please amend the setback (BSL) on the eastern side of the property adjacent to parcel 6.02. The side yard setback should be 20-ft instead of the 30-ft shown on the plans.
8. Please amend the Property Owner name for parcel 6.02. The Property Owner of record is shown per the County's Online Mapping System as a "Thomas Armistead" rather than "Thomas Armstrong" as shown on the plans.
9. Please include the 15-ft side yard setback along the AR-1 Zoning District line reflected on the western side of the property which divides the property in half. Please also include the 20-ft side yard setback on the opposite side of the zoning line to reflect the 20-ft side yard setback for the C-3 Zoning District.
10. Please include the Net Development Area on the plans. As a general reminder, the net development area shall refer to the total area of land available for development and shall not include open space, drainage land, regional roads and land used for other public facilities (§115-221(B)(3)).
11. Please include the height of all proposed buildings and structures on the plans (§115-221(B)(7)).
12. Please show the location, height and material of all fences and any proposed landscaping on the plans (§115-221(B)(9)).
13. Condition of Approval #2 allows for "one (1) non-lighted ground sign, not exceeding 32 square feet per side or facing." Please show the location, character, size, height and orientation of proposed signs (§115-221(B)(11)).
14. Please provide a General Note which indicates that all signage will require a separate permit from the County.
15. Prior to approval of the Final Site Plan, approval letters or letters of no objection from the following agencies shall be submitted to the Sussex County Planning and Zoning Office:
 - a. **Sussex Conservation District**
 - b. **Office of State Fire Marshal**
 - c. **Delaware Department of Transportation (DelDOT)**

Please provide **one (1) full-size (24" x 36")** copy and **one (1) electronic copy** of a Revised Preliminary Site Plan no later than 10 days in advance of the Planning and Zoning Commission you wish for your project to be considered at. If you wish for your project to be considered at the **January 21, 2021** of the Planning and Zoning Commission meeting, please submit all items no later than close of business on **January 11, 2021**.

Please feel free to contact me with any questions during business hours 8:30 A.M. – 4:30 P.M., Monday through Friday at 302-855-7878.

Sincerely,



Ms. Lauren DeVore
Planner III



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

November 16, 2020

Scott A. Shubert
32077 Sperin Rd
Salisbury, Maryland 21804

SUBJECT: Authorization to Apply for a Permit for Entrance Construction
Shubert Iron Hill
Tax Parcel # 532-14.00-6.05
SCR00454A-IRON HILL ROAD
SCR00068-OLD STAGE ROAD
Little Creek (Sussex) Hundred, Sussex

Dear Scott A. Shubert:

The Delaware Department of Transportation (DelDOT) has reviewed your request, dated August 14, 2020, to obtain a Letter of No Contention (LONC) to use an existing commercial building and site entrance for the above referenced project. In coordination with the South District Public Works Office we have determined that your project will require some modifications or enhancements to meet current regulatory requirements. We have therefore determined that this project is eligible to obtain a Permit for Entrance Construction (PEC) to make these modifications. The PEC will include a list of items that must be addressed, as well as requirements for bonding to perform work, where needed, within the State of Delaware right-of-way (ROW). This approval shall be valid for a period of **one (1) year**.

Please note: Your Permit for Entrance Construction must be obtained from the South District Public Works Office, before you can start any construction.

The following conditions are provided with this response letter:

- 1) Site shall have access from the existing entrance located on Iron Hill Road (SCR 454A).
- 2) Only the modifications/construction or traffic pattern changes that are itemized and authorized under the PEC will be permitted. Please coordinate with the DelDOT Public Works Office regarding the scope, location and limits of the following items, as well any other items listed in the PEC:
 - a) Improve existing entrance in accordance with current DelDOT regulations, standard specifications, and standard details. Refer to the Site Plan dated August 6, 2020 for the required improvements.

- 3) DelDOT reserves the right to review, modify or revoke this authorization letter and PEC and require additional entrance upgrades in the future if proposed activities create traffic conflicts, safety concerns or operational issues.
- 4) The property owner is responsible to:
 - a. Submit information to DelDOT, regarding any future operational or site changes, (including but not limited to: rezoning, site layout changes, changes in use, entrance modifications, expanded/additional uses, new uses, etc.). Changes of this nature may alter the flow and/or volume of traffic and could require a new PEC, LONC or formal review for Approvals and/or Permits.
 - b. Establish and maintain clear sight lines at the entrance. There shall be no placement of structures, signs, objects, items for sale or parking of vehicles within State ROW or entrance limits. Shrubbery, Plantings, trees and/or other visual barriers that could obstruct the sight distance of a driver preparing to enter the roadway are prohibited.
- 5) The property owner and applicant are responsible to coordinate with DelDOT Outdoor Advertising & Roadside Control at (302) 853-1327, for information on obtaining specific permits for sign installation on private property. Permits for Utilities construction within State right-of-way require separate permit applications please contact DelDOT's South District at (302) 853-1345.

The Department would like to thank you for your submittal.

Please contact the South District Public Works Office at (302) 853-1340, for their assistance in obtaining the PEC. No construction or modification listed under Item 2 is allowed in advance of the DelDOT Public Works Office issuance of the Permit for Entrance Construction.

Sincerely,



Susanne K. Laws
Sussex County Review Coordinator,
Development Coordination

cc: Wilbur Kernodle, Parker and Associates, Inc.
Jamie Whitehouse, Sussex County Planning & Zoning Commission
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Matt Schlitter, South District Public Works Engineer
Gemez Norwood, South District Public Works manager
William Kirsch, South District Entrance Permit Supervisor
James Argo, South District Project Reviewer
Wendy L. Polasko, Subdivision Engineer
John Andrescavage, Sussex County Reviewer

PLANTATION SQUARE

PRELIMINARY SITE PLAN

PLANTATION ROAD (SCR 275)

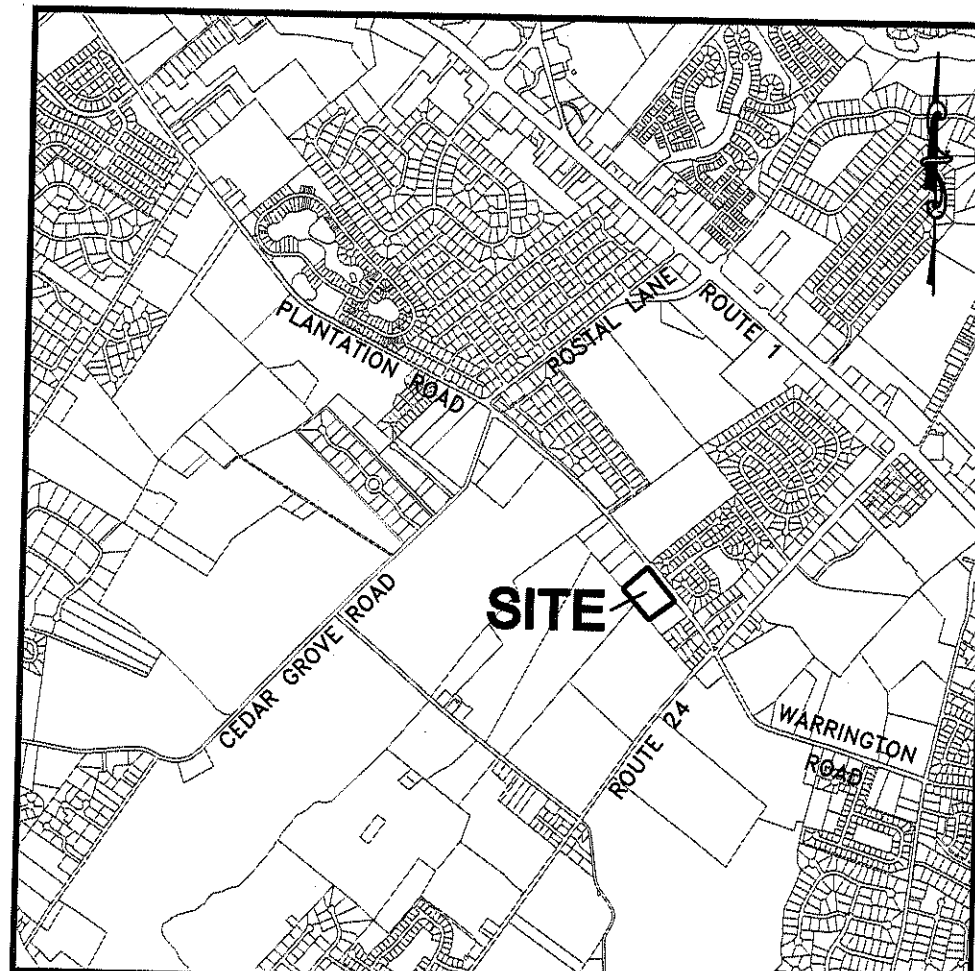
LEWES & REHOBOTH HUNDRED,

SUSSEX COUNTY, DELAWARE

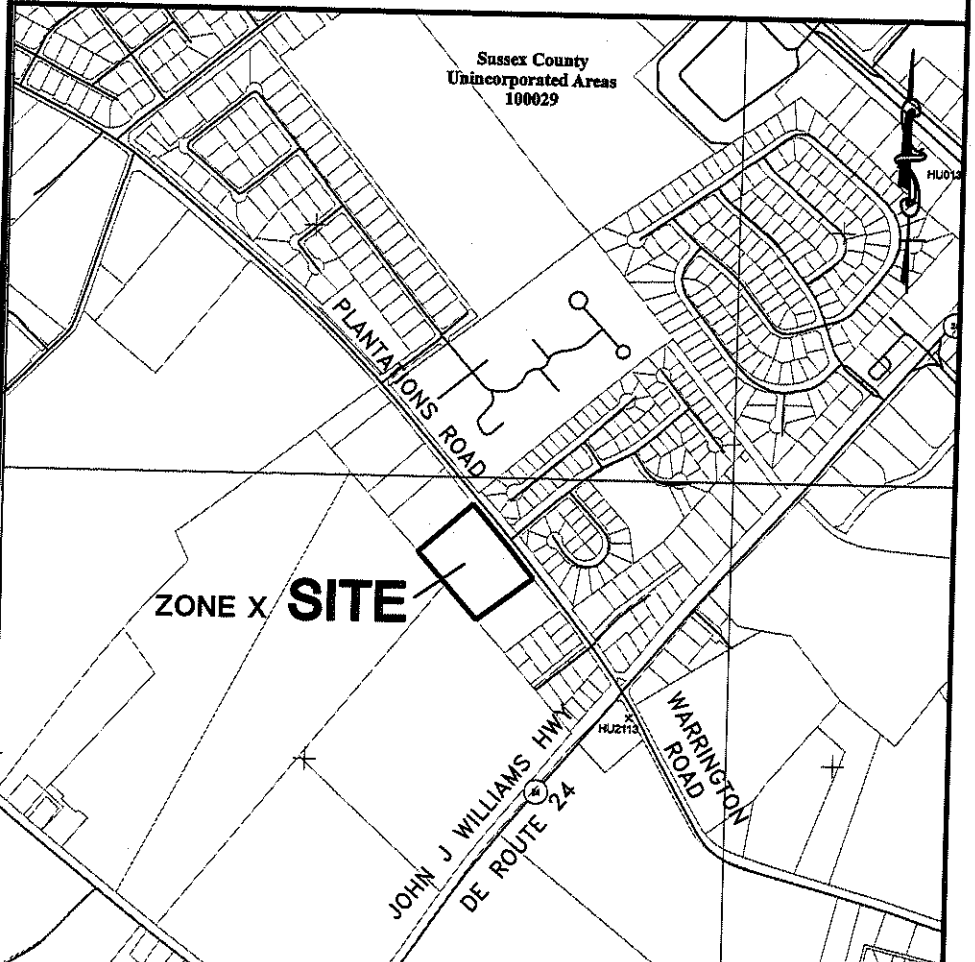
SUSSEX COUNTY PLANNING & ZONING #S-18-54

DBF #2261J005

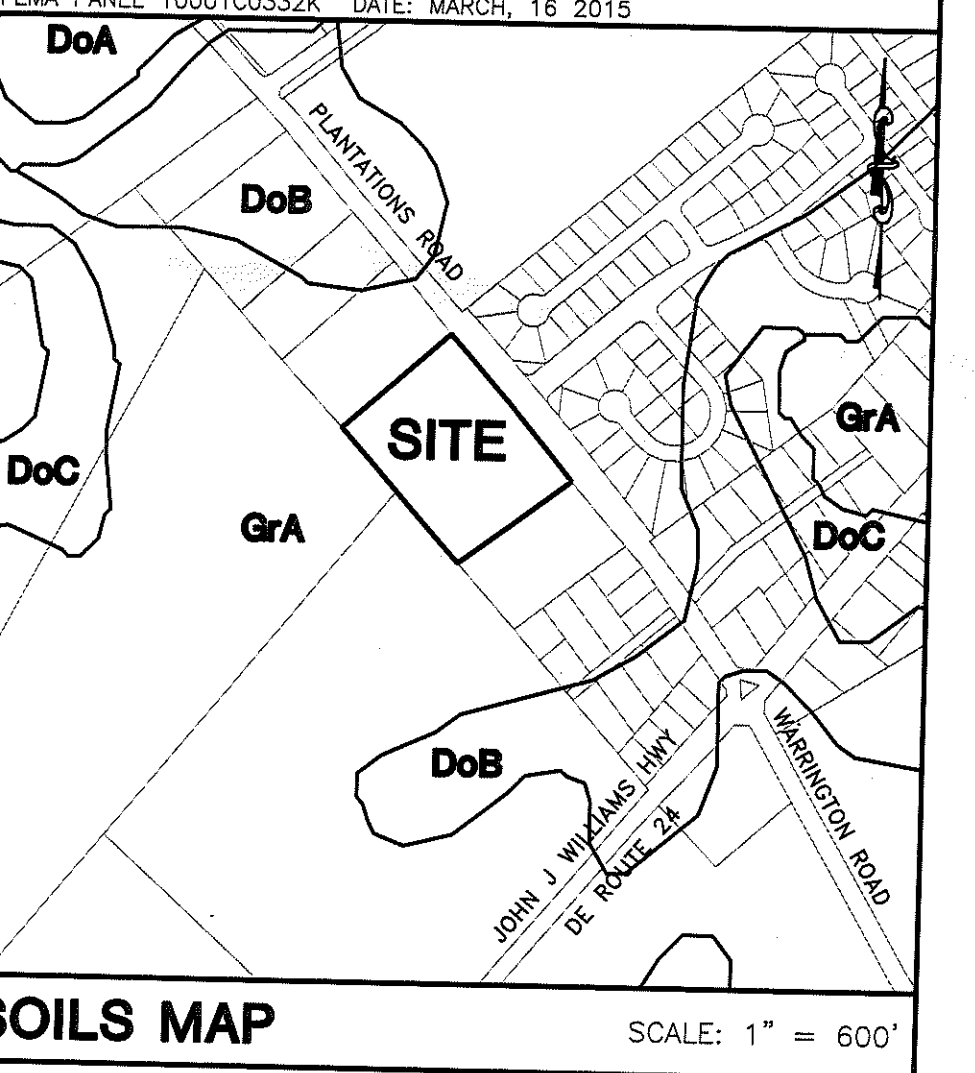
DECEMBER, 2020



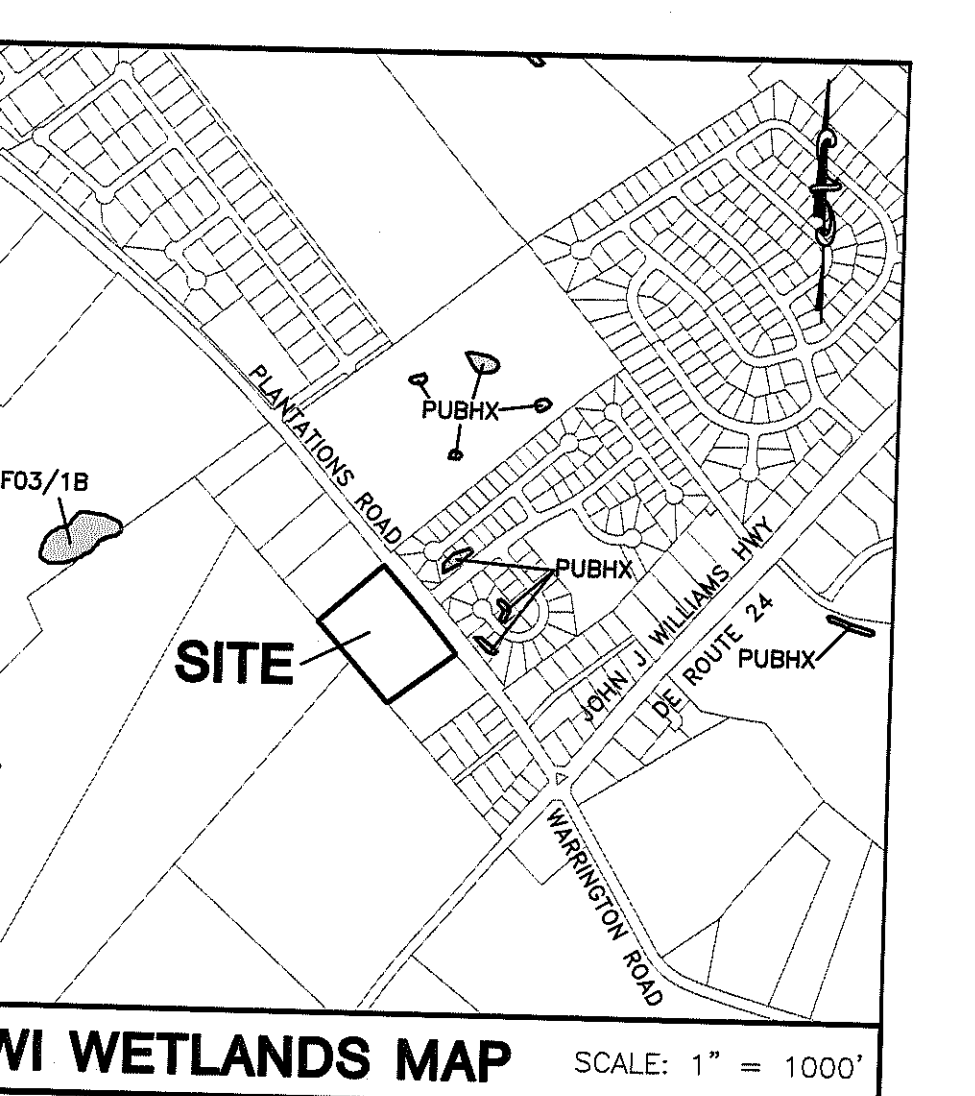
LOCATION MAP SCALE: 1" = 1/2 MILE



FLOODPLAIN MAP SCALE: 1" = 1200'



SOILS MAP SCALE: 1" = 600'



NW1 WETLANDS MAP SCALE: 1" = 1000'

DATA COLUMN

TAX MAP NUMBER: 3-34-12.00-57.01
SEE PLANTATION SQUARE RECORD PLAN SHEET V-101 AND V-101.1
FOR ACCESS/DELDOT/UTILITY EASEMENT INFORMATION.

DATUM
VERTICAL: NAVD 83
HORIZONTAL: NAD 83 (STATE PLANE)

BENCHMARK #1
IRON ROD (CAPPED) (SET)
N: 264852.7503
E: 753461.6720
LAT: 38°43'36.99" LON: -75°08'44.65"
ELEV. = 28.17'
NE OF NORTH PROPERTY CORNER

BENCHMARK #2
IRON ROD (CAPPED) (SET)
N: 264249.1144
E: 753367.4095
LAT: 38°43'31.00" LON: -75°08'38.29"
ELEV. = 29.02'
NE OF SOUTH PROPERTY CORNER

TOPOGRAPHIC SURVEY WAS PERFORMED BY DAVIS, BOWEN AND
FRIEDEL, INC. DELAWARE ON DECEMBER 6, 2017

PROJECT COORDINATES
SITE - LAT: 38°43'32.9961"
LON: -75°08'45.2036"

ZONING
EXISTING: NEIGHBORHOOD BUSINESS (B-1)
PROPOSED: NEIGHBORHOOD BUSINESS (B-1)

LAND USE
LOCAL AGENCY: SUSSEX COUNTY
EXISTING USE: AGRICULTURAL
PROPOSED USE: COMMERCIAL BUSINESS

PROPOSED SQUARE FOOTAGE
1 BUILDING @ 15,525 SQ. FT.
1 BUILDING @ 9,200 SQ. FT. = 24,725 SQ. FT. TOTAL

B-1 MINIMUM REQUIREMENTS
FRONT YARD SETBACK: 60 FT.
SIDE YARD SETBACK: 20 FT.
REAR YARD SETBACK: 30 FT.
LOT AREA: 10,000 SQ. FT.
LOT WIDTH: 75 FT.
LOT DEPTH: 100 FT.

MAXIMUM REQUIREMENTS
BUILDING HEIGHT: 42 FT.
PROPOSED HEIGHT: 30 FT. (2-STORY)

AREAS
TOTAL PARCEL AREA: 6.058± ACRES
EX. SITE AREA: 6.058 ACRES
PROP. SITE AREA: 6.058 ACRES

EX. NUMBER OF LOTS: 1
PROP. NUMBER OF LOTS: 1

POSTED SPEED LIMIT: 45 MPH
INVESTMENT LEVEL: 2

REQUIRED PARKING
1 SPACE FOR EVERY 200 SQ. FT. OF COMMERCIAL SPACE PLUS
1 PER 2 EMPLOYEES ON THE LARGEST SHIFT
49,450 / 200 = 247 SPACES
PLUS 24 EMPLOYEES / 2 = 12 SPACES
TOTAL SPACES REQUIRED: 260 SPACES
PROPOSED PARKING PROVIDED: 267 SPACES

LOADING SPACES REQUIRED: 1 SPACE PER BUILDING 5,000
TO 25,000 SF = 2 SPACES

LOADING SPACES PROVIDED: 2 SPACES @ (12 X 40) FT.

UTILITIES
SEWER PROVIDER: WEST REHOBOTH EXPANSION OF THE
DEWEY BEACH SANITARY SEWER DISTRICT
WATER PROVIDER: TIDEWATER UTILITIES

NEAREST INTERSECTING STREET: ~870' NORTH OF DELAWARE
ROUTE 24 JOHN WILLIAMS HIGHWAY

FLOODPLAIN - THE PROPERTY IS NOT IMPACTED BY THE 100 YEAR
FLOODPLAIN AS DETERMINED BY FEMA PANEL 10001C0332K.

THIS PARCEL IS LOCATED WITHIN THE HENLOPEN TID

WETLANDS - THERE ARE NO WETLANDS LOCATED ON THE SITE.

OWNER/DEVELOPER

LMHT, LLC
246 REHOBOTH BLVD.
REHOBOTH BEACH, DE 19971
502-226-6631
POC: NICK HAMMONDS

PREPARED BY
DAVIS, BOWEN, AND FRIEDEL, INC.
1 PARK AVENUE
MILFORD, DE 19963
302-424-1441
POC: RING W. LARDNER, P.E.

OWNER'S STATEMENT

I, LMHT, LLC, HEREBY STATE THAT WE ARE THE LEGAL OWNERS OF THE
PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS
MADE AT OUR DIRECTION, THAT WE ACKNOWLEDGE THE SAME TO BE OUR
ACT AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO THE LAW.

LMHT, LLC
by NICK HAMMONDS DATE

ENGINEER'S STATEMENT

I, RING W. LARDNER, P.E., HEREBY STATE THAT I AM A REGISTERED
ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN
HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST
KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS
REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

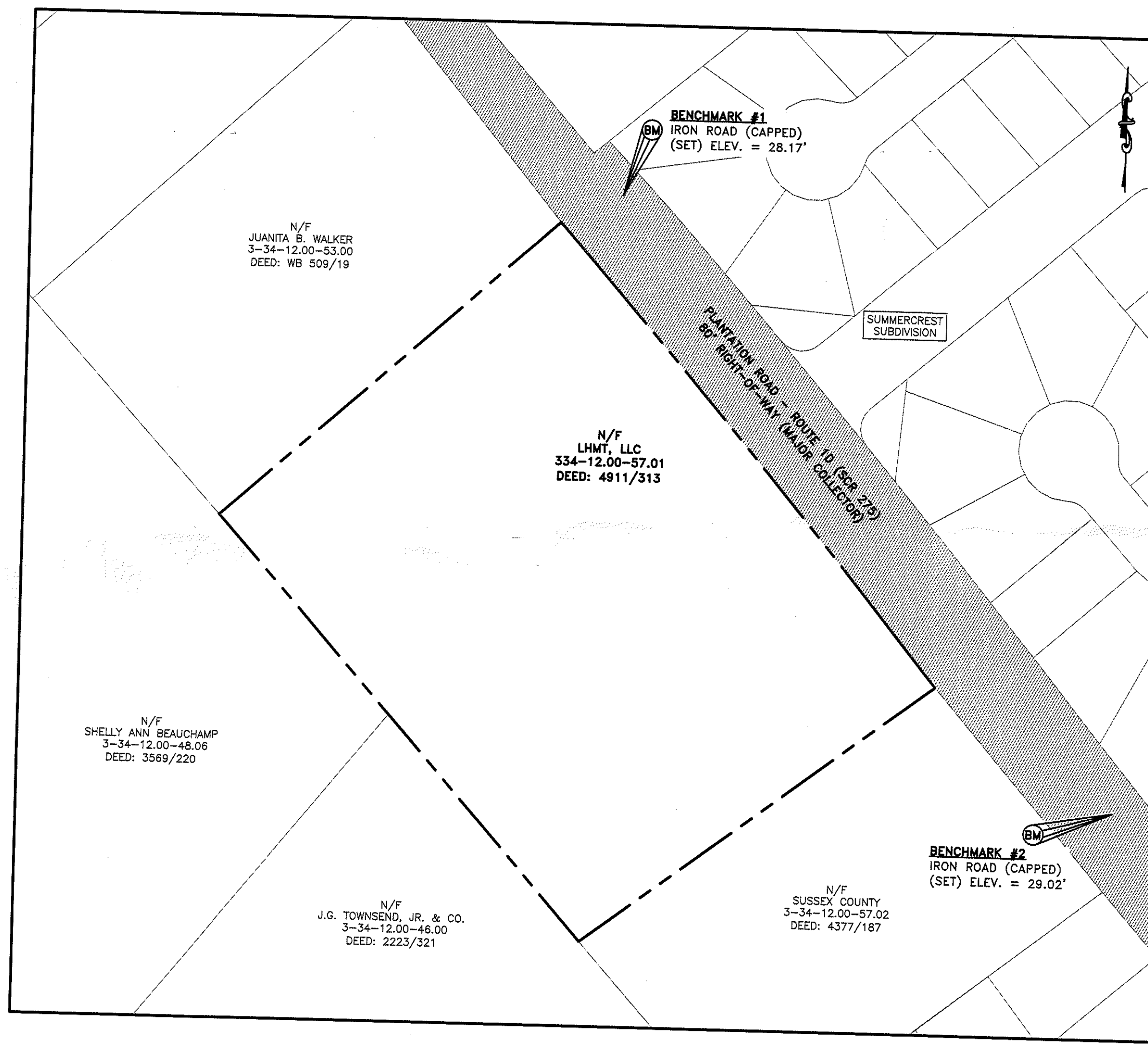
DAVIS, BOWEN & FRIEDEL, INC.
by RING W. LARDNER, P.E. DATE

GENERAL NOTES

1. DRAINAGE, STORMWATER MANAGEMENT, AND EROSION AND SEDIMENT CONTROLS SHALL BE IN ACCORDANCE WITH THE DELAWARE SEDIMENT & STORMWATER
REGULATIONS OF 2014, OR AS LATER AMENDED. MAINTENANCE OF DRAINAGE, STORMWATER MANAGEMENT, AND EROSION & SEDIMENT CONTROL PRACTICES
WILL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR DURING THE CONSTRUCTION PHASE OF THE PROJECT, INCLUDING CONSTRUCTION OF THE UTILITIES.
WHEN THE PERMANENT DRAINAGE AND STORMWATER MANAGEMENT PRACTICES HAVE BEEN COMPLETED TO THE SATISFACTION OF THE APPLICABLE AGENCIES,
MAINTENANCE WILL ULTIMATELY BECOME THE RESPONSIBILITY OF THE PROPERTY OWNERS. THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO
ADD, MODIFY OR DELETE ANY EROSION AND SEDIMENT CONTROL MEASURE AS DEEMED NECESSARY.
2. THERE SHALL BE NO DEBRIS DISPOSAL ON THIS SITE.
3. THE BOUNDARY AND BASE TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD SURVEY BY DAVIS, BOWEN & FRIEDEL.
4. THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND
ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW
OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS, AND NIGHTTIME FARM OPERATIONS. THE
USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM
SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
5. ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION
REGULATIONS.
6. WATER SUPPLY - TIDEWATER UTILITY WATER SUPPLY IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND
ENVIRONMENTAL CONTROL AND THE DELAWARE STATE DIVISION OF PUBLIC HEALTH.
7. SANITARY SEWER - SUSSEX COUNTY ENGINEERING WILL PROVIDE SEWER SERVICE FOR THE PROPERTY. SEWER SERVICE IS SUBJECT TO THE APPROVAL OF
THE STATE OF DELAWARE DEPARTMENT OF NATURAL RESOURCES.

DELDOT GENERAL NOTES

1. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM)
AND SHALL BE SUBJECT TO ITS APPROVAL.
2. UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING
FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD
TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S
DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
3. TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW
FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
4. AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR, ANY DAMAGED OR MISSING CURB OR SIDEWALK FOUND ON SITE WILL NEED TO BE REPAIRED OR
REPLACED TO MEET CURRENT DELDOT STANDARDS.
5. THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE
ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SIDEWALK.
6. A PERPETUAL CROSS ACCESS INGRESS/EGRESS EASEMENT IS HEREBY ESTABLISHED AS SHOWN ON THE LONOR-RED PLAN.



0' 100' 200' 300'
SCALE: 1" = 100'

SHEET INDEX

SITE PLANS	
SITE PLAN - TITLE SHEET	
PRELIMINARY SITE PLAN	C-101
PRELIMINARY CONSTRUCTION DETAILS	C-102.1

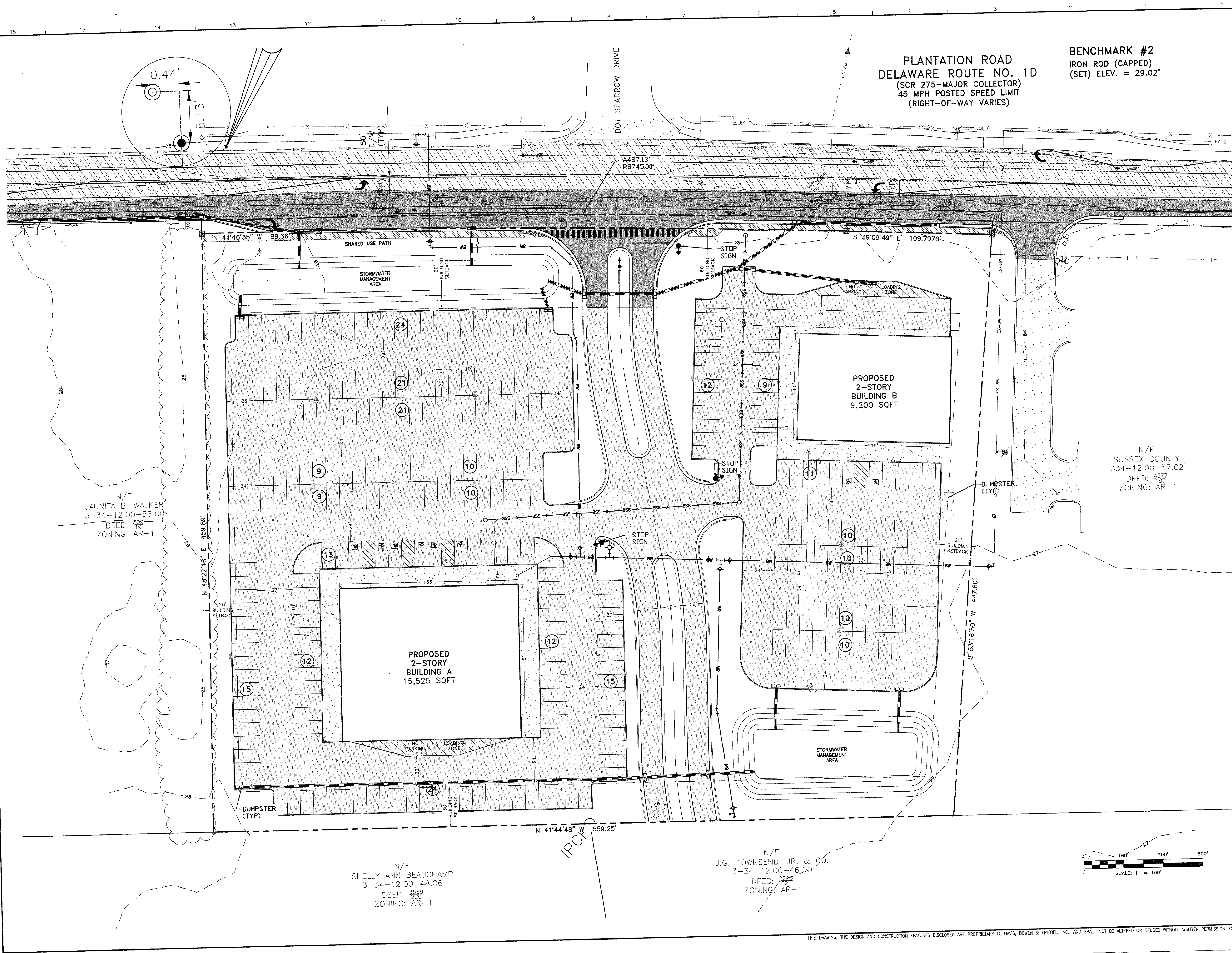
dbf DAVIS,
BOWEN &
FRIEDEL, INC.

ARCHITECTS ENGINEERS SURVEYORS

SALISBURY, MARYLAND (410) 543-8081
MILFORD, DELAWARE (302) 424-1441
EASTON, MARYLAND (410) 770-4744

C-101

Unit: CIVIL/UG Townsend/Plantations Road Property/2020 Re-Design/Preliminary/Preliminary SITE PLAN - C-102.dwg Dec 21, 2020 - 2:28pm BART



ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
SALES, MARYLAND (410) 543-2661
BALTIMORE, MARYLAND (410) 543-2661
DESIGN, MARYLAND (410) 543-2661

PRELIMINARY SITE PLAN

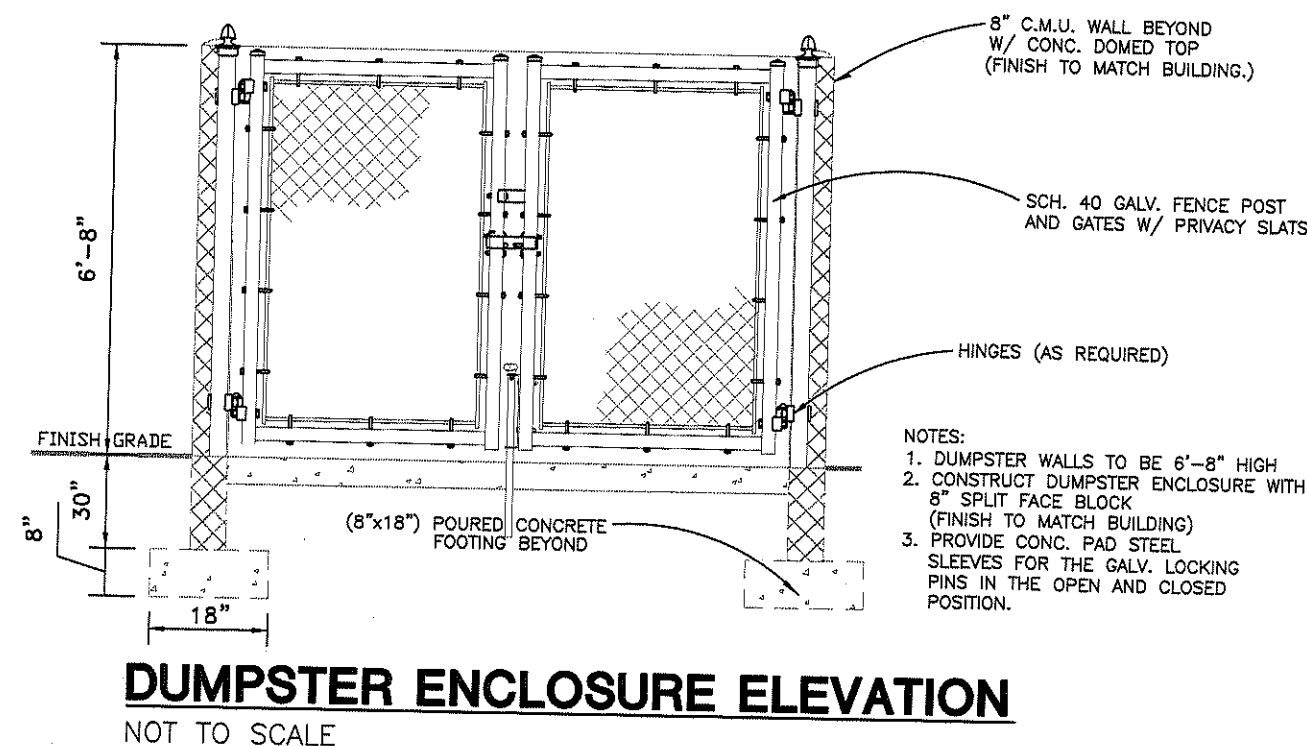
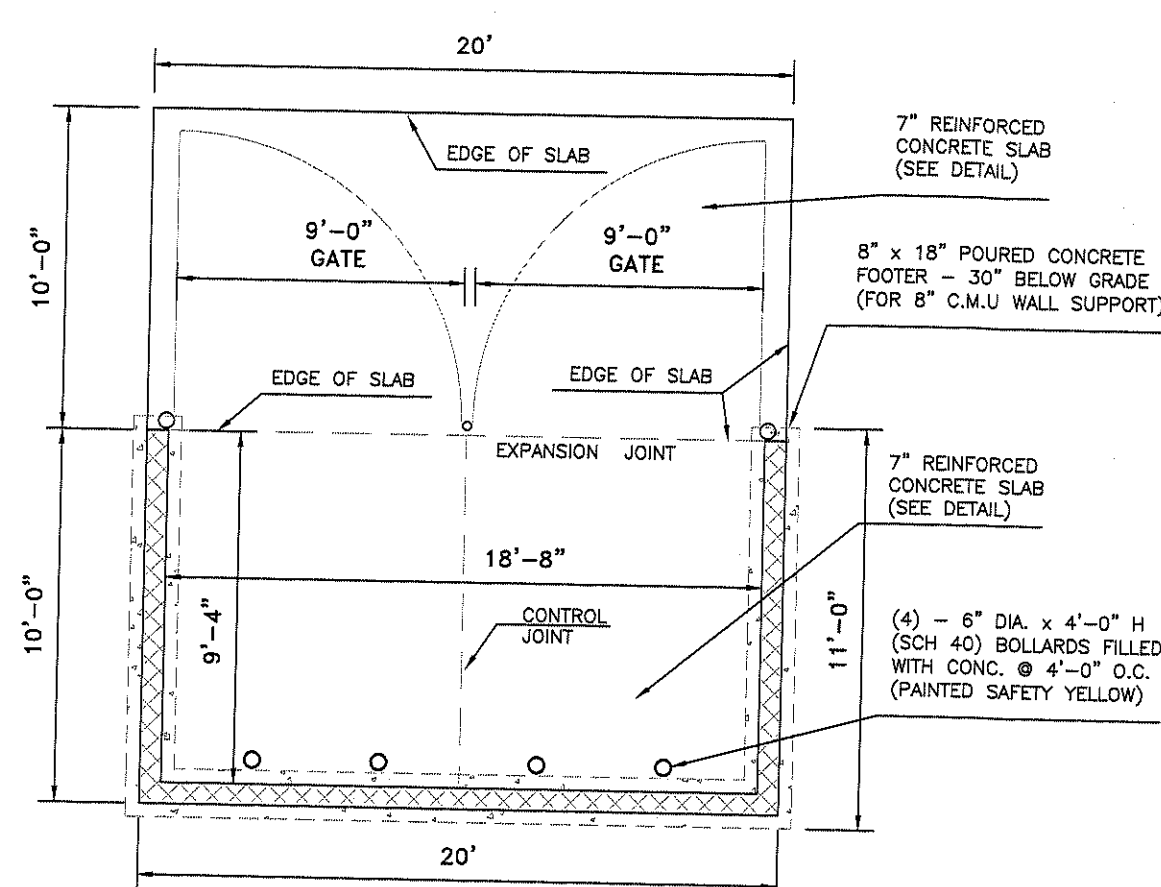
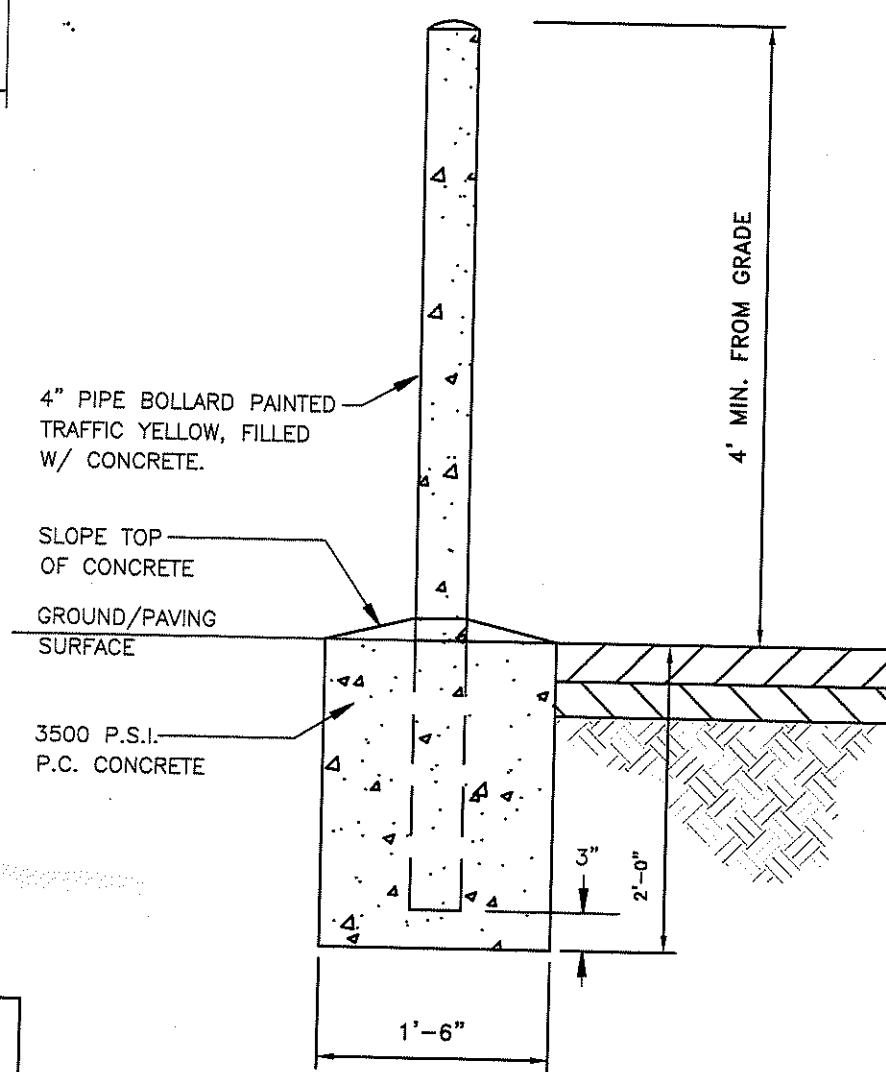
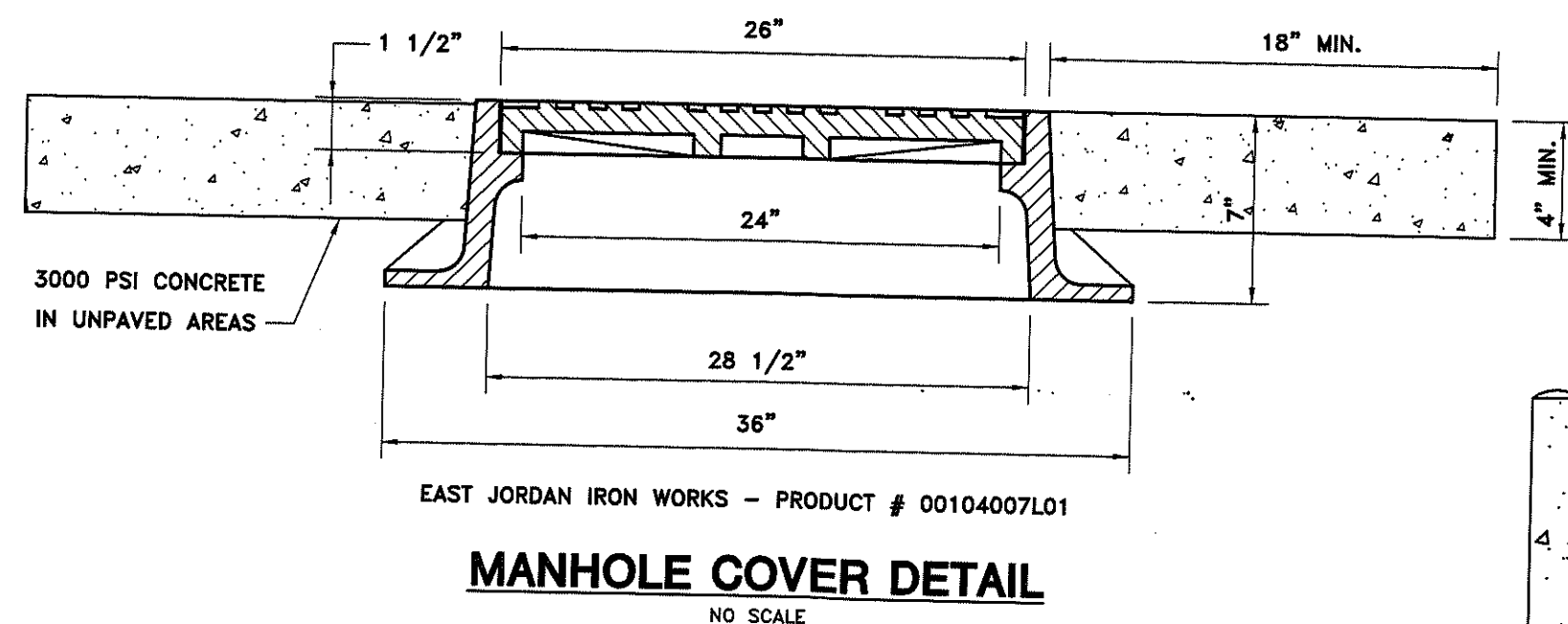
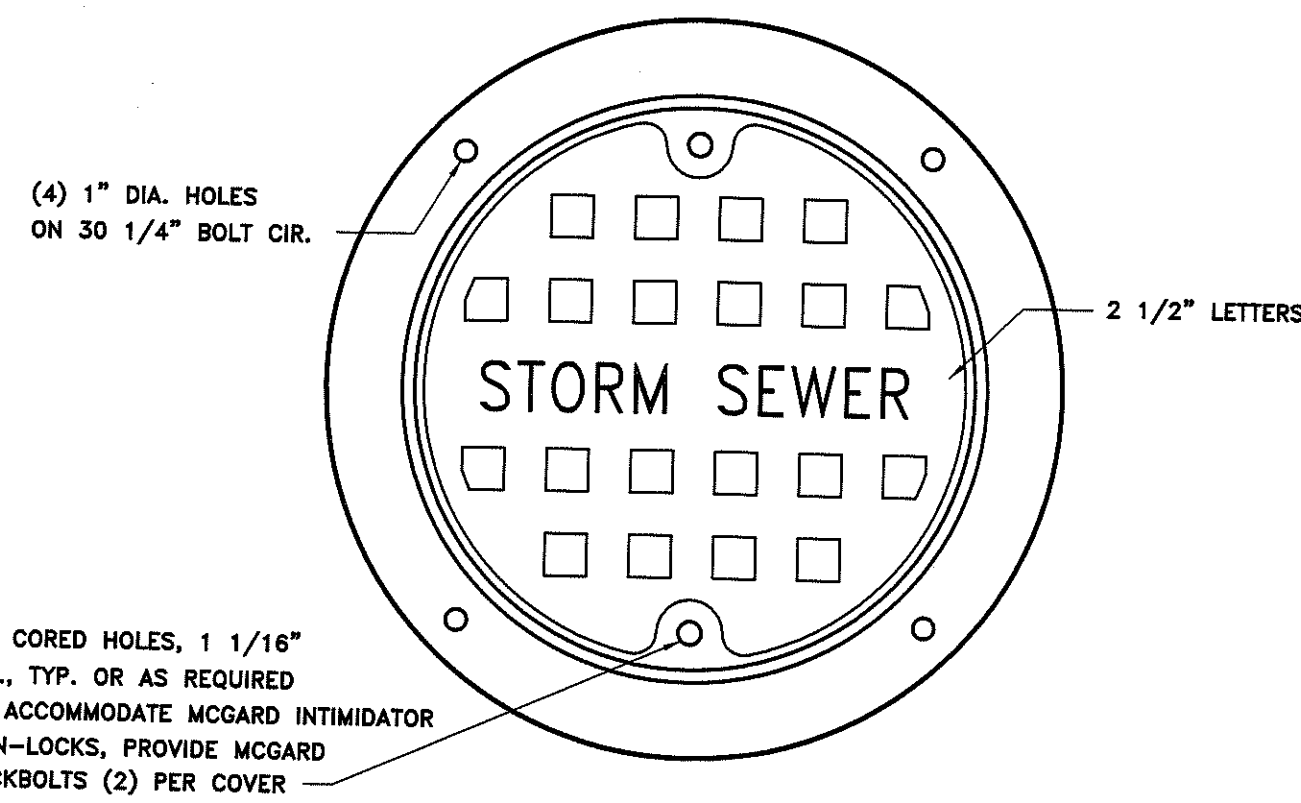
PLANTATION SQUARE
PLANTATION ROAD (SCR 275)
LEWES AND REHOBOTH HUNDRED, SUSSEX COUNTY, DE

Revisions:

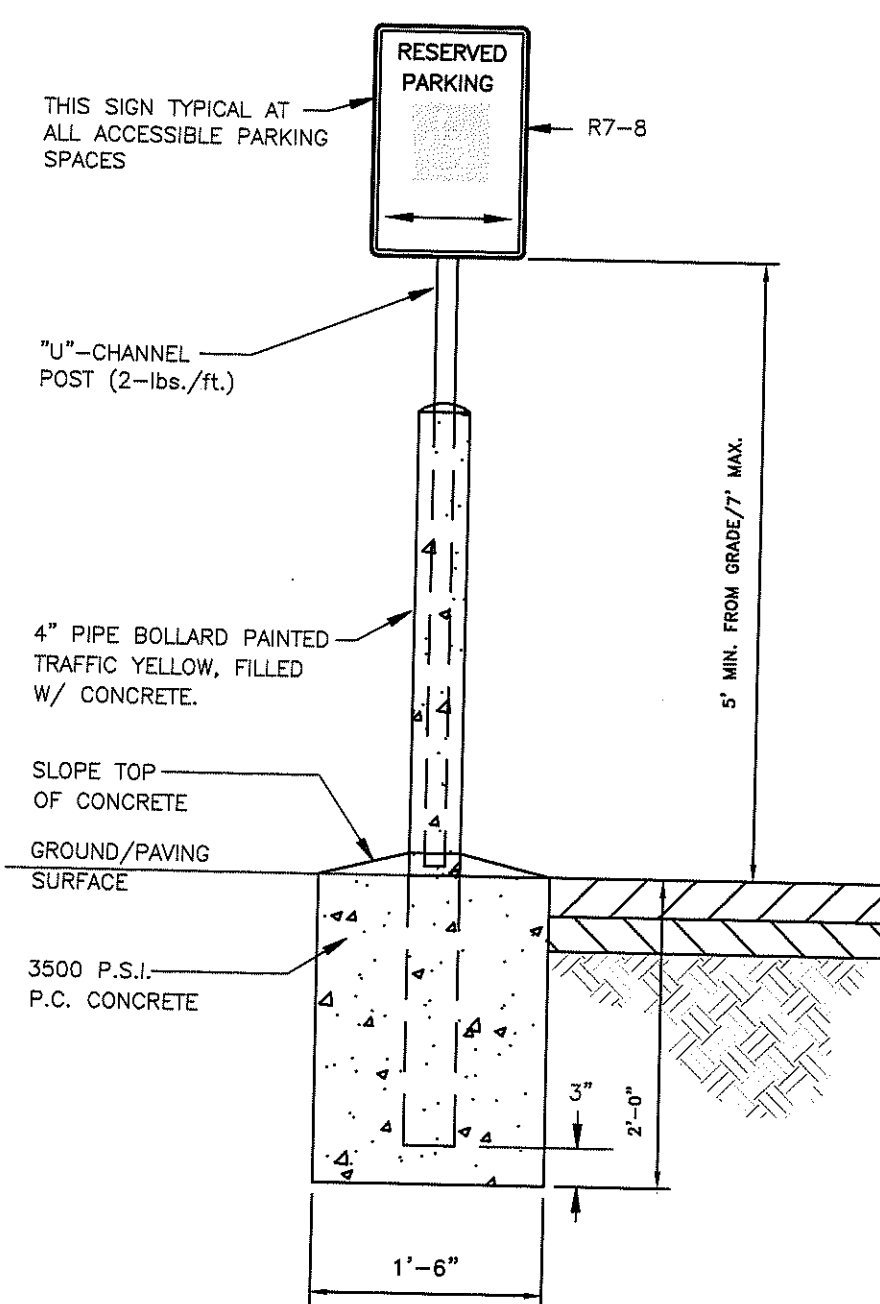
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Dwn.By:	DEG
Proj.No.:	2261J005
Dwg.No.:	C-102

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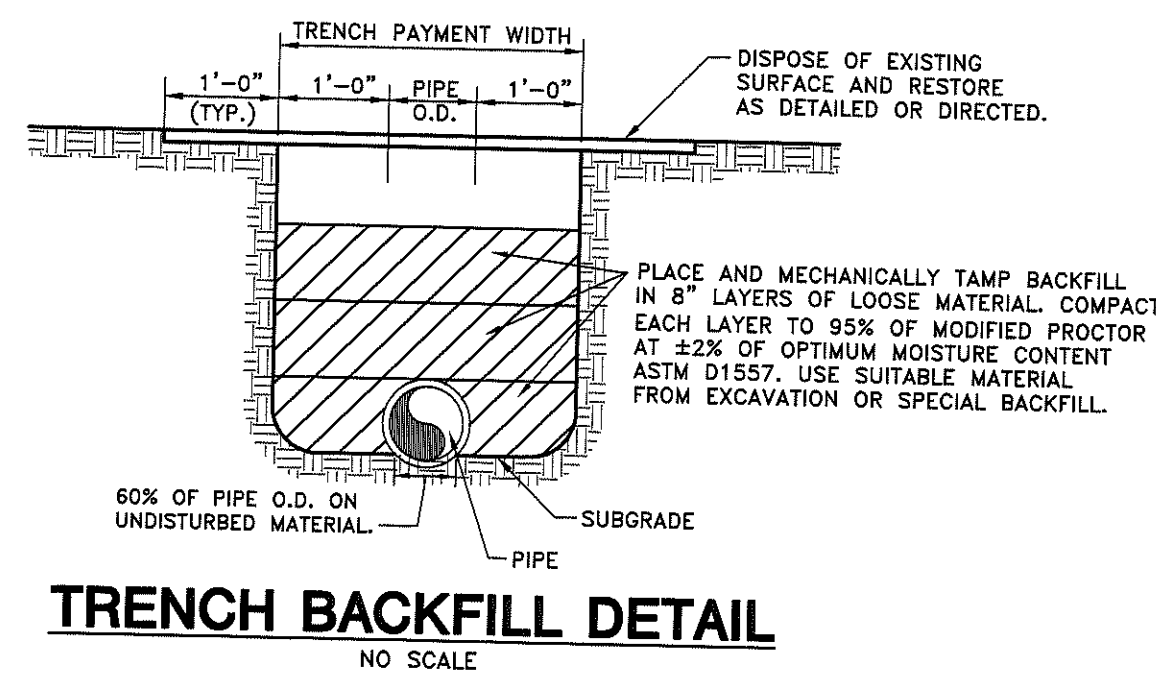
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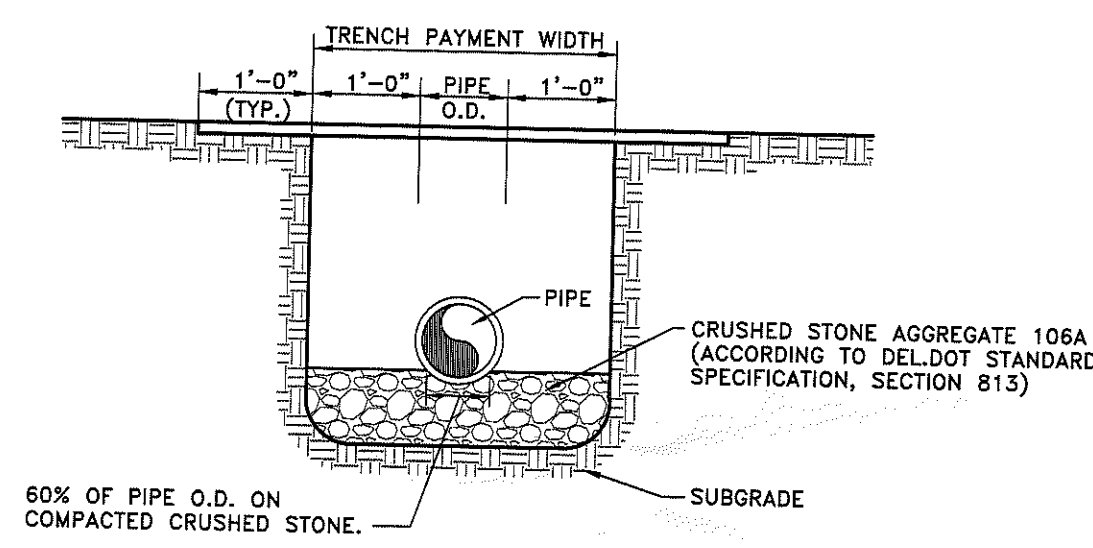
BOLLARD DETAIL
NO SCALE



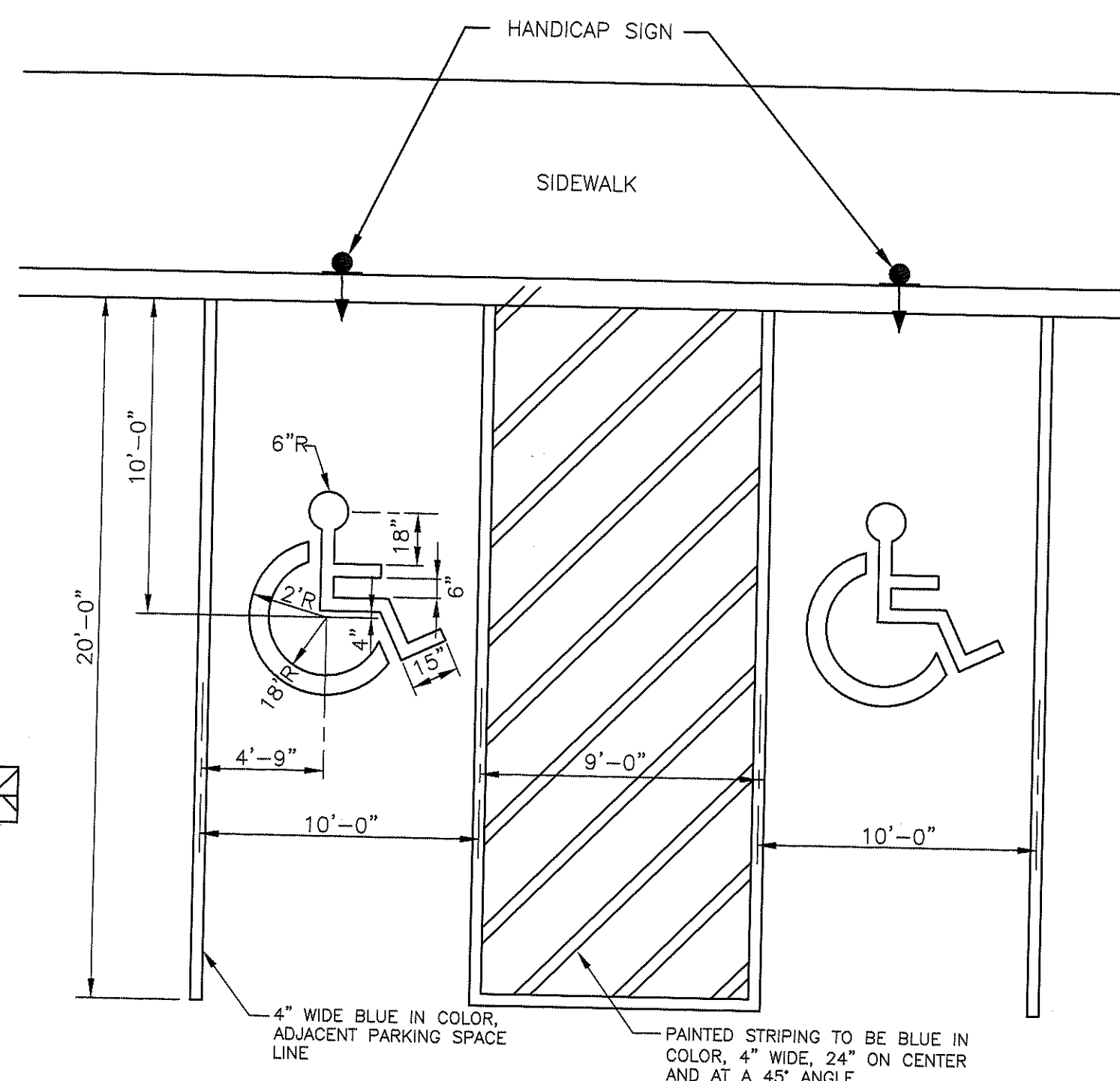
SIGNAGE FOR HANDICAPPED PARKING SPACE
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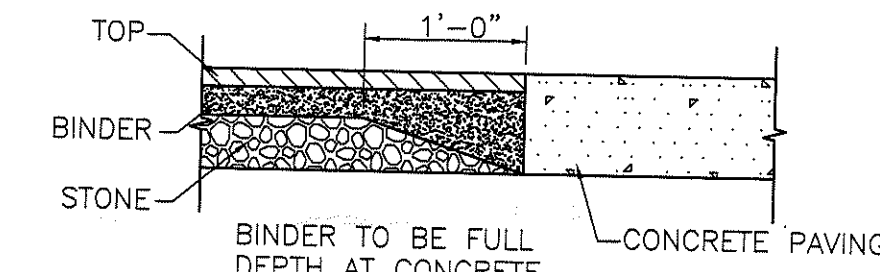
TRENCH BACKFILL DETAIL
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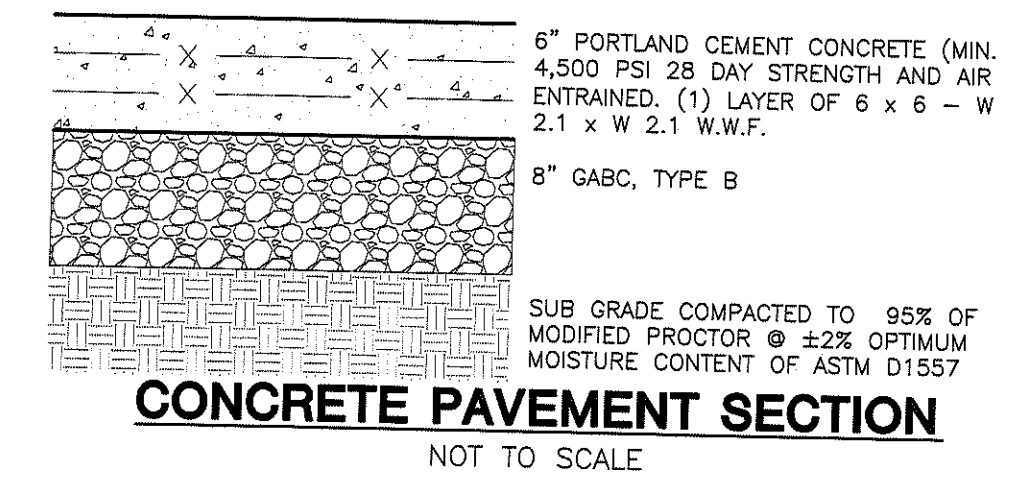
CRUSHED STONE BEDDING DETAIL
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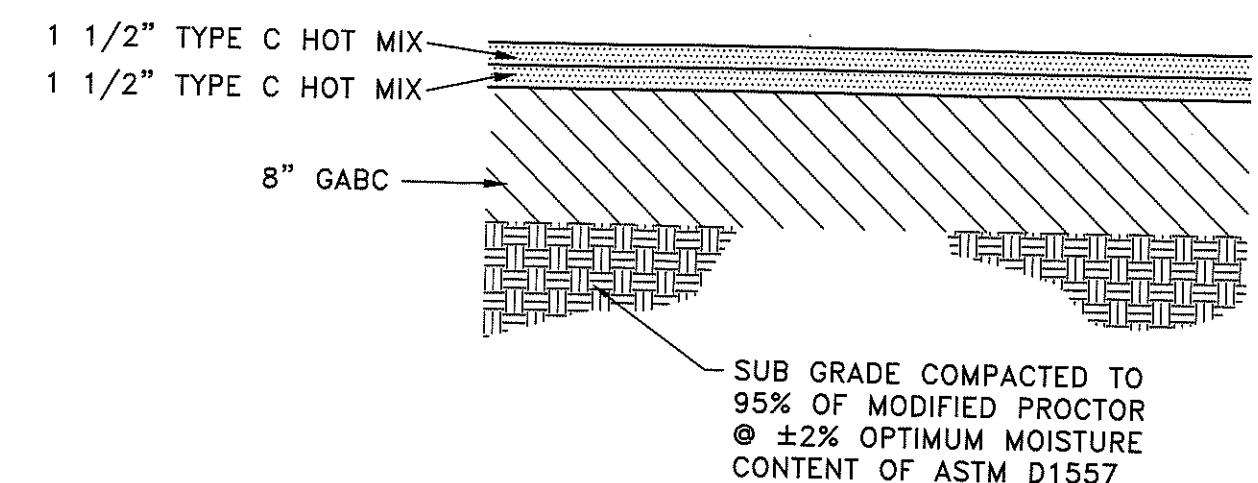
HANDICAP PARKING DETAIL
NO SCALE



CONCRETE TO ASPHALT PAVEMENT TIE-IN DETAIL
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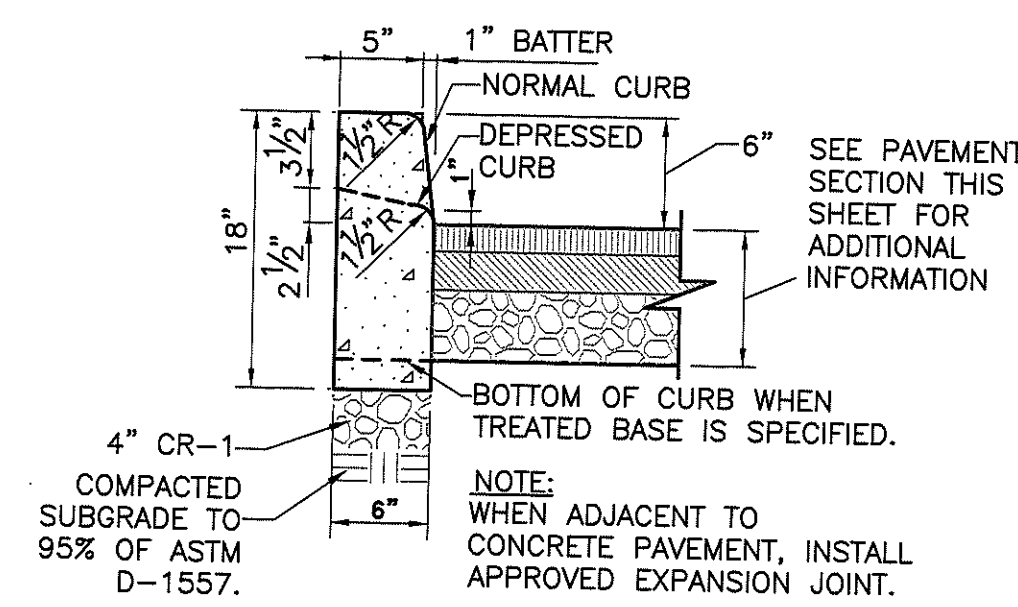


CONCRETE PAVEMENT SECTION
NOT TO SCALE

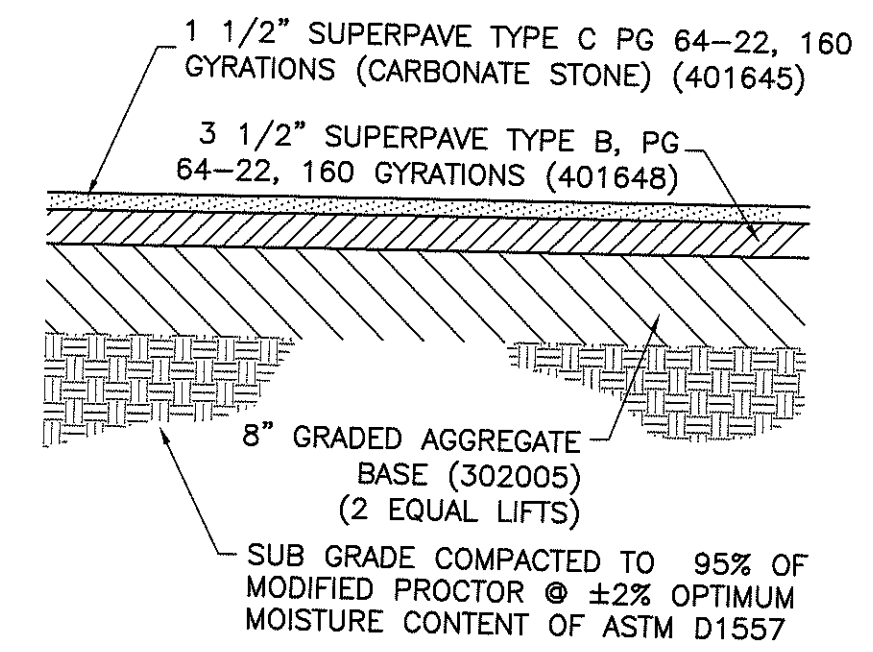


LIGHT DUTY PAVEMENT SECTION
NO SCALE

PROPOSED STRUCTURAL NUMBER = 2.32



MODIFIED P.C.C. CURB TYPE 1-6
NOT TO SCALE



HEAVY DUTY PAVEMENT SECTION
NOT TO SCALE

PROPOSED STRUCTURAL NUMBER = 3.12

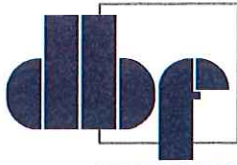
DETAIL INFORMATION TABLE						
ITEM	LOCATION OF DETAIL	YEAR	SECTION	NAME	DESCRIPTION	SHEET NUMBER(S)
CURB	DelDOT - STANDARD CONSTRUCTION DETAILS	2017	SECTION II - CURB & GUTTER	P.C.C. CURB AND INTEGRAL P.C.C. CURB & GUTTER	P.C.C. CURB (TYPE 2)	C-1 (2017) - 1
CURB	DelDOT - STANDARD CONSTRUCTION DETAILS	2017	SECTION II - CURB & GUTTER	P.C.C. CURB AND INTEGRAL P.C.C. CURB & GUTTER	INTEGRAL P.C.C. CURB & GUTTER (TYPE 1-4)	C-1 (2017) - 1
CURB	DelDOT - STANDARD CONSTRUCTION DETAILS	2017	SECTION II - CURB & GUTTER	P.C.C. CURB AND INTEGRAL P.C.C. CURB & GUTTER	P.C.C. CURB (TYPE 1-6)	C-1 (2017) - 1
CURB	DelDOT - STANDARD CONSTRUCTION DETAILS	2017	SECTION II - CURB & GUTTER	P.C.C. CURB AND INTEGRAL P.C.C. CURB & GUTTER	INTEGRAL P.C.C. CURB & GUTTER (TYPE 1-8)	C-1 (2017) - 2
CURB RAMP	DelDOT - STANDARD CONSTRUCTION DETAILS	2017	SECTION II - CURB & GUTTER	P.C.C. CURB AND INTEGRAL P.C.C. CURB & GUTTER	CURB RAMP, TYPE 1	C-2 (2013) - 1
BREAKAWAY POST	DelDOT - STANDARD CONSTRUCTION DETAILS	2017	SECTION VII - TRAFFIC	BREAKAWAY SIGN POST AND PIN ASSEMBLY DETAILS	BREAKAWAY SIGN POST AND PIN ASSEMBLY DETAILS	T-15 (2013)
SIGN(S)	DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES - DE MUTCD	2011	PART 2, CHAPTER 2B	STOP SIGN	STOP SIGN (R1-1), 36"X36"	2B-2, 2B-9 & 2B-10
SIDEWALK	DelDOT - STANDARD CONSTRUCTION DETAILS	2017	SECTION VI - MISCELLANEOUS	SHARED-USE PATH & SIDEWALK DETAILS	SHARED USE PATH	M-3 (2018)
DRAINAGE INLETS	DelDOT - STANDARD CONSTRUCTION DETAILS	2017	SECTION III - DRAINAGE	INLET BOX DETAILS	INLET BOX DETAIL	D-4 (2009)
DRAINAGE INLETS	DelDOT - STANDARD CONSTRUCTION DETAILS	2017	SECTION III - DRAINAGE	DRAINAGE INLET DETAILS	DRAINAGE INLET ASSEMBLY	D-5 (2010) - 1
					DRAINAGE INLET FRAME AND GRATES	D-5 (2014) - 2
					DRAINAGE INLET TOP UNITS	D-5 (2012) - 3
					DRAINAGE INLET COVER SLAB DETAILS	D-5 (2010) - 4
					DOUBLE INLET COVER SLAB DETAILS	D-5 (2010) - 5
					34" X 24" DRAINAGE INLET AND COVER SLAB DETAILS	D-5 (2012) - 6
ROUND MANHOLE	DelDOT - STANDARD CONSTRUCTION DETAILS	2001	SECTION III - DRAINAGE	MANHOLE DETAILS	ROUND MANHOLE ASSEMBLY	D-6 (2001) - 2
					ROUND MANHOLE COVER SLAB	D-6 (2001) - 3

ARCHITECTS ENGINEERS SURVEYORS
DAVIS BOWEN & FRIEDEL, INC.
SALISBURY, MARYLAND (410) 542-9881
MILFORD, DELAWARE (302) 424-1441
DESIGN, MARYLAND (410) 775-4744

PRELIMINARY CONSTRUCTION DETAILS

PLANTATION SQUARE
PLANTATION ROAD (SCR 275)
LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DELAWARE

Date: DECEMBER, 2020
Scale: AS NOTED
Dwn.By: KJB
Proj.No.: 2261J005
Dwg.No.:
C-102.1



DAVIS
BOWEN &
FRIEDEL, INC.

ARCHITECTS ENGINEERS SURVEYORS

December 22, 2020

Michael R. Wigley, AIA, LEED AP
W. Zachary Crouch, P.E.
Michael E. Wheedleton, AIA
Jason P. Loar, P.E.
Ring W. Lardner, P.E.
Jamie L. Sechler, P.E.

Sussex County Planning & Zoning
Sussex County Administration Building
2 The Circle, Room 147
P.O. Box 417
Georgetown, DE 19947

Attn: Nick Torrance
Planner I

RE: Plantation Square (S-18-54)
Revised Preliminary Plan
Tax Map # 334-12.00-57.01
DBF# 2261S001

Dear Mr. Torrance:

RECEIVED
DEC 28 2020
SUSSEX COUNTY
PLANNING & ZONING

On behalf of our client, LMHT LLC, we are pleased to submit revised preliminary site plans per your comments dated December 18, 2020. We offer the following item-by-item response:

- Please make a general note this parcel IS located within the Henlopen TID.*
A note was added to the data column on title sheet.
- Staff notes that there are currently only 6 handicap parking spaces. With 251 proposed parking spaces, a minimum of 7 handicap spaces would be required.*
We added 2 extra spaces in front of Building A. There is now a total of 267 proposed spots with 8 being handicap.
- Please show topographical contours. If you would like to seek relief from this requirement a waiver will have to be submitted to the Commission.*
Added the existing contours to the site plans.
- Please add the zoning of all neighboring parcels.*
Existing zoning has been added to all the parcel labels that surround the project.
- Please add on the plans the location of any proposed lighting for the project.*
Light poles have been added throughout the parking lots.
- Please add the proposed height of both buildings for the project.*
The proposed heights have been added to the data column on the title sheet.

7. *Please add or clearly label any signs that will be located within the property.*

We added some stop signs to the site plan and labeled them.

8. *Prior to approval of the Final Site Plan, approval letters or letters of no objection from the following agencies shall be submitted to the Sussex County Planning and Zoning Office:*

- a. Sussex Conservation District*
- b. Office of State Fire Marshal*
- c. Delaware Department of Transportation (DelDOT)*
- d. Sussex County Engineering Department*
- e. Tidewater Utilities (Stating they are providing water)*

We will send copies of all of the above approvals once we receive them.

If you have any questions or need additional information, please contact me at (302) 424-1441 or via email at rwf@dbfinc.com.

Sincerely,
Davis, Bowen & Friedel, Inc.



Ring Lardner, P.E.
Principal

EXISTING	PROPOSED	DESCRIPTION
		BUILDING
		FULL DEPTH PAVEMENT
		BUILDING RESTRICTION LINE
		CURB
		EDGE OF PAVEMENT
		EDGE OF GRAVEL
		UTILITY EASEMENT
		PERMANENT EASEMENT
		FENCE
		POWER, UTILITY POLE
		PROPERTY, LINE
		LEGAL RIGHT-OF-WAY
		PROPERTY, CORNER FOUND
		PROPERTY, ADJOINING LINED
		SITE, MAIL BOX
		SITE, TRAFFIC SIGN
		SPOT ELEVATION
		STORMPIPE, INLET, MANHOLE, & FLARED END
		MINOR CONTOUR
		MAJOR CONTOUR
		MARKING, HANDICAP PARKING
		DETECTABLE WARNING STRIP
		SHARED USE PATH (ASPHALT)
		CONCRETE
		2" OVERLAY W/ WEDGING
		TREE LINE
		SWALE

S1	PROPOSED 5' WIDE CONCRETE SIDEWALK (TYP.). SEE DETAIL 7/ CS6001
S2	LIMITS OF FLUSH CURB
S3	PARKING BUMPER
S4	LIGHT DUTY PAVEMENT (TYP.). SEE DETAIL R/C56001
S5	DELDTOP PCC CURB TYPE 1-6. TYP. REFER TO DELDTOP STANDARD DETAIL
S6	ADA RAMP WITH DETECTABLE WARNING STRIPE (TYP.)
S7	PROPOSED HANDICAP SPACE WITH SIGN MOUNTED ON POST (TYP.). SEE DETAIL 3 & 4/ CS6001
S8	COMPACT PARKING SPACE (TYPICAL OF 24)
S9	CONCRETE ISLAND TO BE REMOVED TO CREATE 24' WIDE FIRE LANE, PROPOSED DOUBLE YELLOW PAINTED STRIPES
S10	EXISTING SPEED BUMP TO REMAIN
S11	FIRE PIT AREA
S12	TAKE OUT WINDOW AREA
S13	LIMIT OF EXISTING WALL TO REMAIN
S14	EXISTING ENTRANCE TO BE REMOVED, SEE ENTRANCE PLANS
S15	PROPOSED CROSS WALK
S16	PROPOSED ENTRANCE CONNECTION (EXISTING CURB TO BE REMOVED)
S17	3' HIGH FENCE
S18	AESTHETIC POND (1,415± SF, NOT A STORMWATER FACILITY)
S19	BRIDGE
S20	TRASH DUMPSTER AND GREASE TRAP AREA
S21	PARKING LOT ISLAND AREA TO BE RIVER ROCK
S22	PROPOSED UNDERGROUND PROPANE TANK
S23	EXISTING WELL TO REMAIN. UPGRADE WITH TRAFFIC BEARING CAP
S24	PARKING LOT LIGHTING, TYP.
S25	EXISTING WOOD GUARDRAIL TO BE REMOVED
S26	DO NOT ENTER SIGN
S27	EXISTING CURB ISLAND TO BE MODIFIED
S28	DECK GATE
S29	DECK SERVER WINDOW FOR DECK AREA
S30	4' CANTILEVERED CANOPY WITH 10" UNDER CLEARANCE

1. TAX PARCELS 334-6-00.60, 334-6-00.23.00, AND 334-6-00.14.00 IN THEIR ENTIRETY ARE HEREBY BURNED AND BENEFITED BY A CROSS ACCESS EASEMENT FOR VEHICULAR AND PEDESTRIAN ACCESS VIA THE INTERIOR DRIVE AISLES CONSTRUCTED AND TO BE CONSTRUCTED.
2. A PERPETUAL CROSS ACCESS EASEMENT IS HEREBY ESTABLISHED FOR INGRESS, EGRESS, REGRESS, DRAINAGE AND UTILITIES IN FAVOR OF TAX PARCELS 334-6-00.17.00, 334-6-00.23.00, AND 334-6-00.14.00, BUT NOT FOR TAX PARCEL 334-6-00.15.00. TAX PARCEL 334-6-00.15.00 SHALL ONLY HAVE ACCESS TO THE EASEMENT AREA ON TAX PARCEL 334-6-00.17-00 AS SHOWN ON PLAT BOOK 74, PAGE 10.

[illegible]

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSES OF THE PROJECT, SHALL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	OCOPX20000
DATE	2020-10-30
DRAWING SCALE	1"=20'
DRAWN BY	LFS
APPROVED BY	AMD

PP1002

SHEET 2 OF 3



PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.8030 F 302.684.8054

**ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR
AND OWNER MUST BE NOTIFIED OF ANY
DISCREPANCIES BEFORE PROCEEDING WITH WORK**

NICOLA PIZZA FAMILY RESTURANT

PRELIMINARY SITE PLAN

FLOUR POWER, LLC C/O NICHOLAS CAGGIANO
8 NORTH FIRST STREET
REHOBOTH BEACH, DE 19971

GENERAL NOTES:

1. ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY OWNER. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
2. THIS PLAN DOES NOT VERIFY THE EXISTENCE, OR NONEXISTENCE, OF EASEMENT OR RIGHT OF WAYS CROSSING THE SUBJECT PROPERTY. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN THE PLAN.
3. FINAL SET OF APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE MAINTAINED ON THE JOB SITE AT ALL TIMES. FAILURE TO COMPLY WITH THIS PROVISION SHALL BE CONSIDERED CAUSE TO STOP THE WORK.
4. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE REJECTED.
5. ALL MATERIALS SHALL BE NEW AND SHALL BE ASBESTOS AND VERMICULITE FREE. ALL MATERIALS SHALL BE STORED SO AS TO ASSURE THE PRESERVATION OF THEIR QUALITY AND FITNESS FOR THE INTENDED WORK.
6. DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO BE PERFORMED. IT MUST BE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.
7. PRIOR TO CONSTRUCTION, CONTRACTOR TO FIELD LOCATE AND RECORD ANY DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REMOVED OR REPLACED, ENGINEER TO VERIFY LOCATION AND EXTENT OF DAMAGE.
8. THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF CONTRACT DRAWINGS ON WHICH HE SHALL NOTE, IN RED, THE ALIGNMENTS AND INVERTS OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK. ALL DISCREPANCIES BETWEEN THE PLAN LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE AS-BUILT DRAWINGS TO BE MAINTAINED BY THE CONTRACTOR IN THE FIELD.
9. THE CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH OR ACCESS PITS WHICH CAN BE BACKFILLED AND STABILIZED AT THE END OF EACH WORKING DAY. STEEL PLATES SHALL BE USED ON ANY TRENCH OR ACCESS PITS WHICH MUST REMAIN OPEN OVERNIGHT. THIS REQUIREMENT DOES NOT APPLY TO AREAS COMPLETELY CLOSED AND SECURE FROM VEHICULAR OR PEDESTRIAN TRAFFIC.
10. DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REPLACED OR REMOVED DURING CONSTRUCTION SHALL BE IMMEDIATELY REPORTED TO ENGINEER, CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED WORK WITHOUT CHARGE TO THE OWNER.
11. BASED UPON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 10005C0331K, EFFECTIVE DATE MARCH 16, 2015, THE ENTIRE PROPERTY IS LOCATED IN AN AREA DESIGNATED AS FLOOD ZONE "X" (UNSHADED), WHICH IS AN AREA THAT HAS BEEN DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
12. SUBJECT PROPERTY IS CURRENTLY "C-1" (GENERAL COMMERCIAL).
13. THE SUBJECT SITE WILL BE CONSTRUCTED AS A SINGLE PHASE.
14. TOTAL AREA FOR SUBJECT SITE IS 1.80 ACRES.
15. THE BOUNDARY INFORMATION & TOPOGRAPHY SHOWN ON THIS PLAN WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD AND IS ALSO THE RESULT OF AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES, INC. DATED MARCH 20, 2020.
16. ALL PROPOSED LIGHTING WILL BE SUPPLIED BY BUILDING WALL PACKS AND PARKING LOT LIGHTS. REFER TO SITE LIGHTING PLAN.
17. ALL SECURITY LIGHTING (IF NECESSARY) SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
18. STATE AND FEDERAL WETLANDS DO NOT EXIST ON THE SITE.
19. STORMWATER IS CONVEYED THROUGH PIPE SYSTEM TO PROPOSED DRY DETENTION BASINS.
20. ALL FIRE LANES, FIRE HYDRANTS, EXITS, STANDPIPE, FIRE DEPARTMENT CONNECTIONS AND SPRINKLER CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS. BUILDING CONSTRUCTION TO BE WOOD, STEEL, AND CONCRETE, AND WILL HAVE SPRINKLERS.
21. LOCK BOX REQUIRED - CONTACT LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF BOX ON THE BUILDING.
22. MISS UTILITY SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO EXCAVATION.
23. ALL DISTURBED AREAS WITHIN THE LIMIT OF DISTURBANCE, BUT NOT IN PAVEMENT, SHALL BE TOP-SOILED (6" MINIMUM), SEEDED AND MULCHED. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
24. A 72 HOUR (MINIMUM) NOTICE SHALL BE GIVEN TO THE DISTRICT PERMIT SUPERVISOR PRIOR TO STARTING ROADWAY CONSTRUCTION.
25. THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE OR MODIFY ANY EROSION AND SEDIMENT CONTROL MEASURES AS THEY DEEM NECESSARY.
26. THE ENTRANCES / EXITS ARE PROPOSED ONLY, AND ARE SUBJECT TO REVIEW AND APPROVAL BY THE DELAWARE DEPARTMENT OF TRANSPORTATION BEFORE A CONSTRUCTION PERMIT IS ISSUED.
27. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING, TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION:
THE OWNER, SUSSEX CONSERVATION DISTRICT, & DELDOT
28. THE CONTRACTOR SHALL MAINTAIN PUBLIC ROADS AND STREETS IN A BROOM SWEEP CONDITION AT ALL TIMES.
29. ROUTINE PERIODIC INSPECTIONS DURING CONSTRUCTION WILL BE PROVIDED BY THE OWNER. THESE INSPECTIONS DO NOT RELIEVE THE CONTRACTOR FROM HIS OBLIGATION AND RESPONSIBILITY FOR CONSTRUCTING ALL WORK IN STRICT ACCORDANCE WITH ALL STANDARDS AND SPECIFICATIONS AND CONSTRUCTION DOCUMENTS.
30. THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL MEASURES TO PROTECT STOCKPILE AREAS AND STORAGE AREAS. ALL AREAS USED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR UPON COMPLETION OF THE PROJECT. IF THE STAGING AREA IS PAVED, IT SHALL BE RESTORED TO ITS ORIGINAL CONDITION. IF THE STAGING AREA IS UNPAVED, IT SHALL BE RE-GRADED, TOPSOILED, SEEDED AND MULCHED TO THE SATISFACTION OF THE ENGINEER. ALL COSTS ASSOCIATED WITH RESTORATION OF THE STAGING AREA SHALL BE AT THE CONTRACTOR'S EXPENSE. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
31. DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR.
32. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO LOCATE PROPERTY LINES AND RIGHT OF WAY LINES PRIOR TO CONSTRUCTION AND AVOID CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY AND/OR RIGHTS OF WAYS WHERE SAID CONSTRUCTION IS PROHIBITED. THE CONTRACTOR MAY CONDUCT CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY PROVIDED IF HE HAS OBTAINED PRIOR WRITTEN PERMISSION FROM THE PROPERTY OWNER AND HAS SUBMITTED A COPY OF SAID WRITTEN PERMISSION TO THE OWNER.
33. THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE WORK AREA, INCLUDING, BUT NOT LIMITED TO: MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL REGULATORY, WARNING AND INFORMATION SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE.
34. DELAWARE DEPARTMENT OF TRANSPORTATION HAS IDENTIFIED IN A(N) AREA-WIDE STUDY IN A LETTER DATED SEPTEMBER 11, 2020, AND REVISED NOVEMBER 18, 2020 THE FOLLOWING AREA-WIDE RECOMMENDATIONS ARE:
- 35.1. THE PROPOSED DEVELOPMENT CONSISTS OF 16,007 SQUARE FEET OF HIGH-TURNOVER SIT-DOWN RESTAURANT SPACE, AND WILL REPLACE THE EXISTING SELF-STORAGE FACILITY, PER THE TENTH EDITION OF THE INSTITUTE OF TRAFFIC ENGINEERS' TRIP GENERATION MANUAL, WE FIND THAT THE PROPOSED DEVELOPMENT WOULD GENERATE A NET INCREASE OF 1,795 AVERAGE DAILY TRIPS AND 150 VEHICLE TRIPS DURING THE A.M. PEAK HOUR. THE FEE IS CALCULATED AT TEN DOLLARS PER DAILY TRIP. FOR THE PROPOSED DEVELOPMENT, THE FEE WOULD BE \$17,950.00.
- 35.2. THE DEVELOPER SHALL IMPROVE THE STATE-MAINTAINED ROAD(S) ON WHICH THEY FRONT, WITHIN THE LIMITS OF THEIR FRONTAGE, TO MEET DELDOT'S STANDARDS FOR THEIR FUNCTIONAL CLASSIFICATION AS FOUND IN SECTION 1.1 OF THE DEVELOPMENT COORDINATION MANUAL AND ELSEWHERE THEREIN. THE IMPROVEMENTS SHALL INCLUDE BOTH DIRECTIONS OF TRAVEL, REGARDLESS OF WHETHER THE DEVELOPER'S LANDS ARE ON ONE OR BOTH SIDES OF THE ROAD. FRONTAGE IS DEFINED IN SECTION 1 OF THE DEVELOPMENT COORDINATION MANUAL, WHICH STATES "THIS LENGTH INCLUDES THE LENGTH OF ROADWAY PERPENDICULAR TO LINES CREATED BY THE PROJECTION OF THE OUTSIDE PARCEL CORNERS TO THE ROADWAY." QUESTIONS OR APPEALS OF THIS REQUIREMENT SHOULD BE DIRECTED TO THE DELDOT SUBDIVISION REVIEW COORDINATOR IN WHOSE AREA THE DEVELOPMENT IS LOCATED.
- 35.3. THE DEVELOPER SHOULD ENTER INTO AN AGREEMENT WITH DELDOT TO MAKE AN EQUITABLE CONTRIBUTION TOWARDS DELDOT'S REALIGNMENT OF OLD ORCHARD ROAD AT WESCOATS CORNER PROJECT. THE DEVELOPER SHOULD COORDINATE WITH DELDOT'S DEVELOPMENT COORDINATION SECTION ON THE DETAILS OF THIS AGREEMENT.

DELDOT RECORD SITE PLANS (03/21/2019):

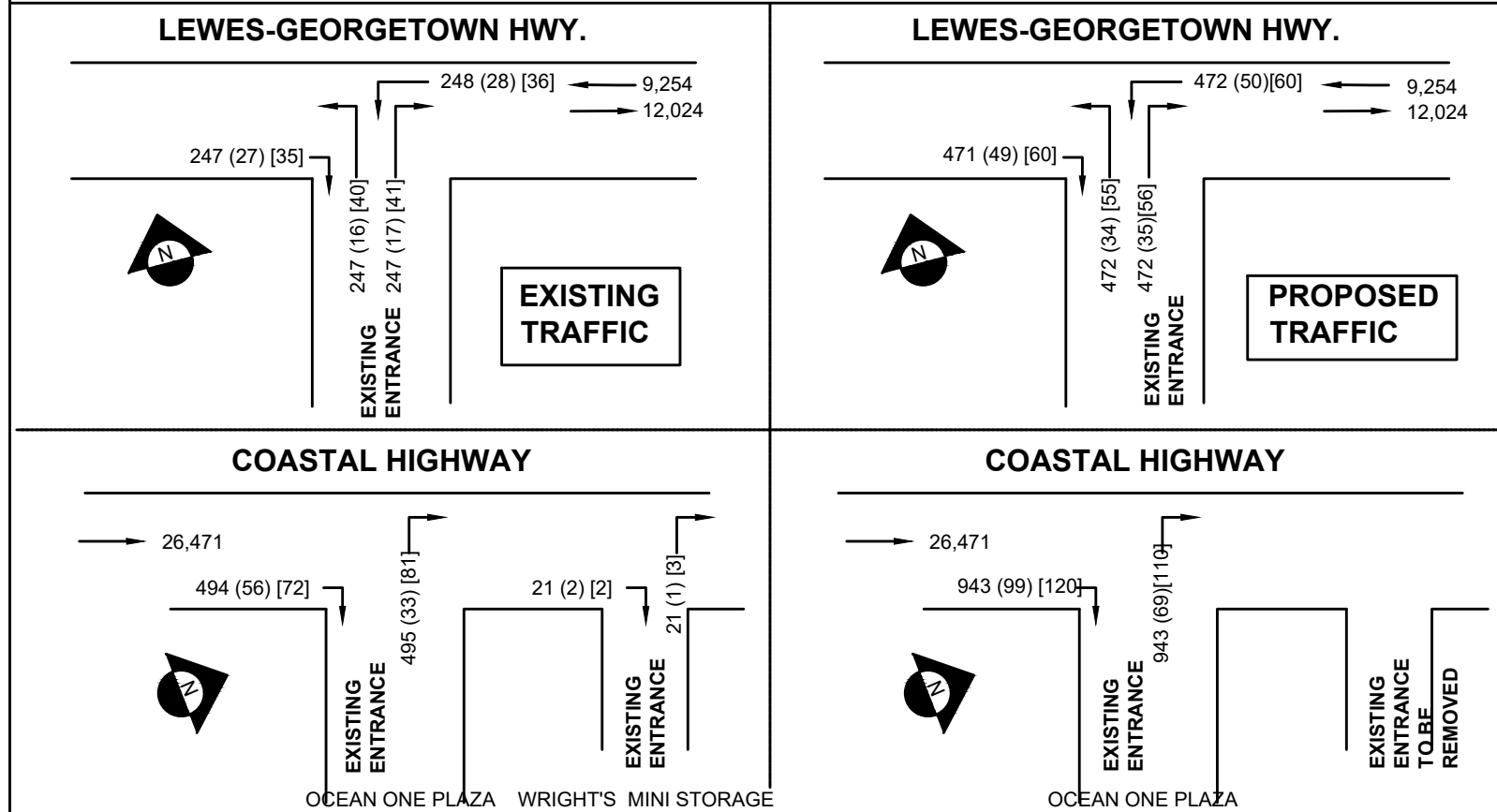
1. NO LANDSCAPING SHALL BE ALLOWED WITHIN RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL (DCM).
2. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATIONS (DELDOT)'S CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
3. SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
4. UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
5. THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION, THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE FOR THE SIDEWALK.
6. ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION ENTRANCE.
7. DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
8. TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
9. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
10. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
11. A PERPETUAL CROSS ACCESS INGRESS/EGRESS EASEMENT IS HEREBY ESTABLISHED PER PREVIOUS PLAT.
12. THIS COMMERCIAL PARCEL HAS DIRECT FRONTAGE ALONG COASTAL HIGHWAY, SCR 00014 WHICH HAS A FUNCTIONAL CLASSIFICATION OF PRINCIPLE ARTERIAL AS DEFINED BY THE STATE OF DELAWARE'S DEPARTMENT OF TRANSPORTATION. PER SECTION 3.6.1 OF THE DELDOT DEVELOPMENT COORDINATION MANUAL (DCM); IT IS THE DEVELOPER'S RESPONSIBILITY TO EVALUATE NOISE LEVELS AND THEIR IMPACTS ON PROPOSED DEVELOPMENT PROJECTS ADJACENT TO EXISTING TRANSPORTATION FACILITIES WITH THIS FUNCTIONAL CLASSIFICATION. ROADWAYS WITH THIS CLASSIFICATION CAN BE EXPECTED TO GENERATE ELEVATED LEVELS OF ROAD AND TRAFFIC RELATED NOISE, SIMILAR TO WHAT CAN BE EXPECTED IN URBAN AREAS. A DETAILED NOISE ANALYSIS PER DCM 3.6 IS TYPICALLY RECOMMENDED TO HELP GAUGE THE ACTUAL IMPACTS THAT ROADWAY RELATED NOISE MAY HAVE ON VARIOUS POTENTIAL LAND-USES (SUCH AS THOSE DESCRIBED IN DCM FIGURE 3.6.3.A; NOISE ABATEMENT CRITERIA) WITH THE INCLUSION OF THIS NOTE, THE DEVELOPER IS ACKNOWLEDGING THAT THE PROPOSED SITE AND/OR BUILDING LOCATION CAN BE EXPECTED TO EXCEED THE SPECIFIC MAXIMUM NOISE LEVELS FOR CERTAIN COMMERCIAL AND NON-RESIDENTIAL USES AS SHOWN IN DCM FIGURE 3.6.3.A. THE DEVELOPER'S WAIVER OF THE NOISE ANALYSIS AND REVIEW OF POTENTIAL NOISE MITIGATION MEASURES ARE SUPPORTED BY THE INFEASIBILITY OF APPLYING NOISE MITIGATION MEASURES, BASED ON ENGINEERING CONSIDERATIONS AND FACTORS THAT WOULD LIMIT THE ABILITY TO ACHIEVE SUBSTANTIAL NOISE REDUCTION, RELATED TO THE COMMERCIAL USE OF THE SITE AND/OR BUILDINGS. THIS WAIVER ACKNOWLEDGES THAT THE DECIBEL LEVEL FOR THIS PARCEL MAY EXCEED THE APPLICABLE LIMITS FOR SOME CURRENT OR FUTURE PROPOSED USES. THE USE OF THIS NOTE SIGNIFIES THE SUBDIVISION ENGINEER'S CONCURRENCE WITH WAIVING THE DEVELOPER'S COMPLETION OF A DETAILED NOISE STUDY AND SUBSEQUENT REVIEW OF RESULTING NOISE ABATEMENT FINDINGS OR MITIGATION MEASURES. ANY FUTURE COMPLAINTS RELATING TO EXISTING OR FUTURE NOISE LEVELS IMPACTING PROPOSED USES ON THIS SITE AND ALONG THIS EXISTING TRANSPORTATION FACILITY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OR LAND OWNER OR BOTH.

SITE DATA TABLE:

1. TAX MAP NUMBER:	334-6.00-14.00 DEED BOOK: D 5318, PG 189
2. OWNER/DEVELOPER: OWNER/DEVELOPER ADDRESS:	FLOUR POWER, LLC, C/O NICHOLAS CAGGIANO 8 NORTH FIRST STREET REHOBOTH BEACH, DE 19971
3. ADDRESS LOCATION: HUNDRED: COUNTY:	17501 COASTAL HIGHWAY LEWES, DE 19958 SUSSEX
4. CURRENT ZONING:	C-1 (GENERAL COMMERCIAL)
5. PRESENT USE:	MINI STORAGE CENTER
6. PROPOSED USE:	RESTAURANT AND PARKING
7. REQUIRED SETBACKS (B.R.L.): FRONT: SIDE: REAR:	(PER 115-82 B) 80 FT 5 FT 5 FT
8. BUILDING HEIGHT:	(PER 115-82 C) 42' MAX ALLOWED 1ST STORY 14' 2ND STORY 35'
9. REQUIRED LOT SIZE (MIN.): DEPTH: WIDTH: AREA:	100 FT (PER 115-82A) 75 FT 10,000 FT (PER 115-82A)
10. PARKING: <u>REQUIRED PARKING:</u> RESTAURANT:	(ARTICLE XXII: OFF-STREET PARKING, CODE SECTION 115-162) (1 SPACE FOR EACH 50 SF FOR PATRON USE AND 1 SPACE PER 2 EMPLOYEES) PATRON USE AREA 6625 SF / 50 = 133 SPACES 22 EMPLOYEES = 11 SPACES
<u>TOTAL REQUIRED SPACES:</u> PROVIDED SPACES: HANDICAP SPACES: COMPACT SPACES:	146 SPACES 146 SPACES 6 SPACES INCLUDED 24 SPACES INCLUDED
11. LOADING SPACE REQUIRED: LOADING SPACE PROVIDED:	1 SPACE 1 SPACE
12. TAX MAP AREA: 334-6.00-23.00: 334-6.00-14.00:	EX = 2.15 AC. PR = 2.07 AC. EX = 1.78 AC. PR = 1.86 AC.
13. SITE CALCULATIONS BUILDING AREA OPEN SPACE AREA PAVEMENT/STONE AREA STORMWATER AREA TOTAL	EX = 0.76 AC. PR = 0.26 AC. EX = 0.19 AC. PR = 0.29 AC. EX = 0.83 AC. PR = 1.26 AC. EX = 0.00 AC. PR = 0.05 AC. EX = 1.78 AC. PR = 1.86 AC.
PERCENTAGE OF IMPERVIOUS COVER: NUMBER OF FORESTED ACRES TO BE REMOVED:	1.51 AC. (81.18%) 0.00 AC. (0.00%)
14. UTILITY SERVICES: SANITARY SEWER SUPPLIER:	SUSSEX COUNTY UNIFIED SANITARY SEWER DISTRICT
WATER SUPPLIER:	TIDEWATER UTILITIES INC.
15. SECTION 89 - SOURCE WATER PROPERTY:	A. SUBJECT PROPERTY IS WITHIN AN AREA OF "FAIR" GROUNDWATER RECHARGE. B. SUBJECT PROPERTY IS NOT LOCATED IN WELHEAD PROTECTION AREA.
16. STATE INVESTMENT AREA: FIRE DISTRICT: SUSSEX COUNTY:	LEVEL 1 LEWES FIRE CO. (STATION 82) COMBINED HIGHWAY CORRIDOR OVERLAY ZONE DISTRICT: (CHOCZ) DISTRICT.
17. LATITUDE AND LONGITUDE STATE PLANE COORDINATES: LONGITUDE: W 75° 09' 59.08"	LATITUDE: N 38° 44' 58.63"
18. WETLAND AREA:	0.00 ACRES
19. PROPOSED DISCHARGE LOCATION:	DRY BASIN/ DELDOT DRAINAGE SYSTEM
20. LIMIT OF DISTURBANCE:	1.86 AC.
21. FLOOD ZONE:	FIRM NUMBER 10005C0331K, DATED MARCH 16, 2015
22. TRANSPORTATION IMPROVEMENT DISTRICT (T10):	NONE
23. DATUM:	HORIZONTAL = NAD83 VERTICAL = NAVD88
24. WATER SHED:	BROADKILL RIVER
25. LOCAL GOVERNMENT RESPONSIBLE FOR LAND USE APPROVAL:	SUSSEX COUNTY

TRAFFIC GENERATION DIAGRAM

RT. 1-COASTAL HWY. & RT. 9 (LEWES-GEORGETOWN HWY.)



TRAFFIC GENERATION DIAGRAM

ADT PEAK HOUR (A.M.) [P.M.]

- 1 DIRECTIONAL DISTRIBUTIONS PROVIDED BY DELDOT
2 DIRECTIONAL DISTRIBUTIONS PROVIDED BY ITE MANUAL
DESIGN VEHICLE - N/A (EXISTING ENTANCES)

ROAD TRAFFIC DATA:

FUNCTIONAL CLASSIFICATION - US RTE. 9 (SCR 18)
LEWES-GEORGETOWN HWY. RD. - MAJOR COLLECTOR
POSTED SPEED LIMIT - 35 MPH
AADT = 17,200 TRIPS (FROM 2019 DELDOT TRAFFIC SUMMARY)
10 YEAR PROJECTED AADT = 11,16 X 17,200 = 19,952 TRIPS
10 YEAR PROJECTED AADT + SITE ADT = 21,839 TRIPS
TRAFFIC PATTERN GROUP = 8 (FROM 2019 DELDOT TRAFFIC SUMMARY)
PEAK HOUR - 11.77% X 21,839 TRIPS = 2,570 TRIPS
TRUCK VOLUME - 10.55% X 21,839 = 2,304 TRUCKS

FUNCTIONAL CLASSIFICATION - DEL. RTE. 1 (SCR 14)
COASTAL HIGHWAY - PRINCIPAL ARTERIAL
POSTED SPEED LIMIT - 45 MPH
AADT = 51,330 TRIPS (FROM 2019 DELDOT TRAFFIC SUMMARY)
10 YEAR PROJECTED AADT = 11,16 X 51,330 = 58,543 TRIPS
10 YEAR PROJECTED AADT + SITE ADT = 61,429 TRIPS
TRAFFIC PATTERN GROUP = 8 (FROM 2019 DELDOT TRAFFIC SUMMARY)
PEAK HOUR - 11.77% X 61,429 TRIPS = 7,230 TRIPS
TRUCK VOLUME - 10.55% X 61,429 = 6,481 TRUCKS

EXISTING SITE TRAFFIC DATA:

SOURCE: ITE TRIP GENERATION MANUAL 10TH EDITION
EX. BUILDING 1 - PNC BANK (9,996 SF) - (DRIVE-IN BANK, ITE 912)
999 KSF - T=82.87(X)+117.10 = 945 TRIPS (WEEKDAY)
PEAK HOUR OF ADJACENT STREET TRAFFIC:
AM PH: 9.59 X 9.99 = 95 TRIPS (68% / 42%) (55 / 40)
PM PH: 20.45 X 9.99 = 204 TRIPS (50% / 50%) (102 / 102)

EX. BUILDING 2 - GENERAL OFFICE BUILDING (5,399 SF) - (ITE 710)
WEEKDAY = 5.39 X 9.74 (AVG. RATE) = 53 TRIPS
PEAK HOUR OF ADJACENT STREET TRAFFIC:
AM PH: 5.39 X 1.16 = 6 TRIPS (86% / 14%) (5 / 1)
PM PH: 5.39 X 1.16 = 6 TRIPS (16% / 84%) (1 / 5)

EX. BUILDING 3 - 110 ROOM ALL SUITES HOTEL - (ITE 311)
OCCUPIED WEEKDAY: 110 X 8.24 (AVG. RATE) = 886 TRIPS
PEAK HOUR OF ADJACENT STREET TRAFFIC:
AM PH: 110 X 0.48 = 53 TRIPS (67% / 33%) (35/ 18)
PM PH: 110 X 0.52 = 57 TRIPS (43% / 57%) (24 / 33)

EX. BUILDING 4 - HEALTH AND FITNESS CLUB (5,399 SF) - (ITE 492)
PEAK HOUR (19 X 10) = 190 TRIPS
PEAK HOUR OF ADJACENT STREET TRAFFIC:
AM PH: 5.39 X 1.31 = 7 TRIPS (61% / 49%) (4 / 3)
PM PH: 5.39 X 3.45 = 19 TRIPS (57% / 43%) (11 / 8)

EX. ADJACENT MEDICAL-DENTAL OFFICE BUILDING (5,000+- SF) - (ITE 720)
5.0 KSF - T=38.42(X)-87.62 = 104 TRIPS (WEEKDAY)
PEAK HOUR OF ADJACENT STREET TRAFFIC:
AM PH: LNT(70.89,NTX)+1.31 = 16 TRIPS (78% / 22%) (12 / 4)
PM PH: T=3.39(X)+2.02 = 19 TRIPS (28% / 72%) (5 / 14)

28,000 SF - EXISTING MINI WAREHOUSING (ITE 151)
28 KSF - AVG. RATE = 1.51 X 42 TRIPS
PEAK HOUR OF ADJACENT STREET TRAFFIC:
AM PH: 0.10 X 28 = 3 TRIPS, (60% / 40%) (2 / 1)
PM PH: 0.17 X 28 = 5 TRIPS, (47% / 53%) (2 / 3)

PROPOSED SITE TRAFFIC DATA:

PR. BUILDING 5 - RESTAURANT (16,007 GFA) - (ITE 932)
16 KSF: AVG. RATE = 112.18 = 1,795 TRIPS
PEAK HOUR OF ADJACENT STREET TRAFFIC
AM PH: 9.94 X 16 = 159 TRIPS, (55% / 45%) (87 / 72)
PM PH: 9.77 X 16 = 156 TRIPS, (62% / 38%) (87 / 59)

OVERALL SITE TRAFFIC DATA:

OCEAN ONE PLAZA
TOTAL EXISTING SITE WEEKDAY PEAK = 1,978 TRIPS
TOTAL SITE AM PEAK HOUR = 177 TRIPS (111) [86]
TOTAL SITE PM PEAK HOUR = 305 TRIPS (143) [162]
VOLUME DISTRIBUTION
50% TO COASTAL HWY. = 989 TRIPS (66)(33) AM & [72][81] PM
50% TO SAVANNAH RD. = 989 TRIPS (66)(33) AM & [71][81] PM
[WRIGHTS MINI STORAGE = 42 TRIPS (SEP. ENTRANCE)]
TOTAL PROPOSED SITE WEEKDAY TRIPS = 3,773 TRIPS
TOTAL SITE AM PEAK HOUR = 336 TRIPS (198) [138]
TOTAL SITE PM PEAK HOUR = 461 TRIPS (240) [221]
VOLUME DISTRIBUTION
50% TO COASTAL HWY. = 1,886 TRIPS (99)(69) AM & [120][110] PM
50% TO SAVANNAH RD. = 1,887 TRIPS (99)(69) AM & [120][111] PM
SITE TRUCK TRAFFIC = 189 TRIPS (5%)



PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR
AND OWNER MUST BE NOTIFIED OF ANY
DISCREPANCIES BEFORE PROCEEDING WITH WORK

NICOLA PIZZA FAMILY RESTURANT
17501 COASTAL HIGHWAY
LEWES, DE 19958

PRELIMINARY PLAN NOTES AND DETAILS

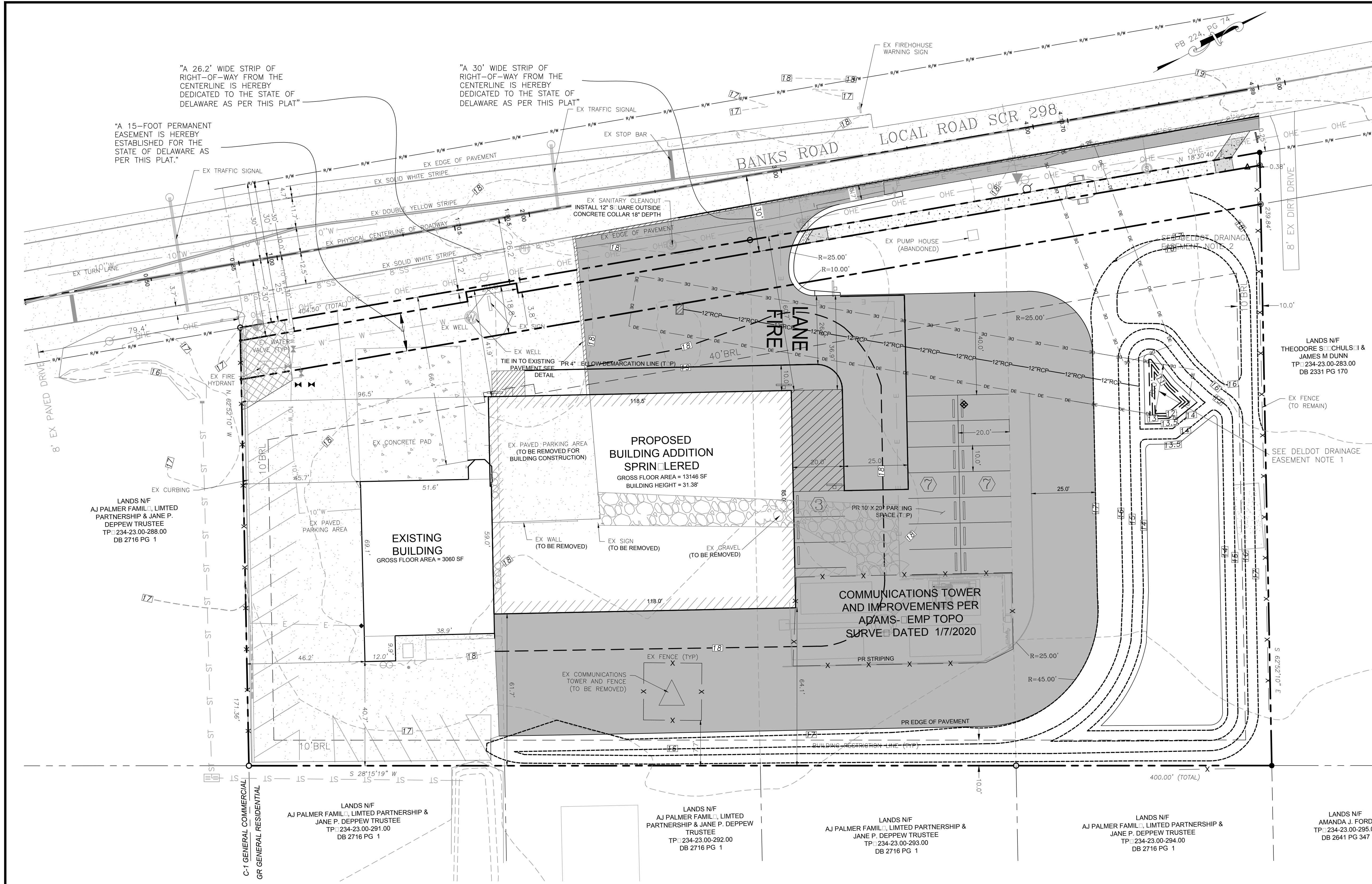
FLOUR POWER, LLC C/O NICHOLAS CAGGIANO
8 NORTH FIRST STREET
REHOBOTH BEACH, DE 19971

FIRE MARSHAL NOTES:

1. SITE NAME/ADDRESS : PROPOSED - RESTAURANT
17501 COASTAL HIGHWAY
LEWES, DE 19958
SUSSEX COUNTY, DELAWARE
2. OWNER INFORMATION :
CURRENT OWNER/DEVELOPER TAX MAP/PARCEL # GROSS ACREAGE
FLOUR POWER, LLC C/O NICHOLAS CAGGIANO 334-6.00-14.00 1.86+ ACRES
8 NORTH FIRST STREET
REHOBOTH BEACH, DE 19971
3. INTENDED USE : PROPOSED RESTAURANT
4. WATER SUPPLIER: PUBLIC - TIDEWATER UTILITIES
5. MAXIMUM BUILDING HEIGHT: 42'
6. AUTOMATIC SPRINKLERS: YES
7. FIRE DISTRICT: LEWES FIRE CO. (STATION 82)

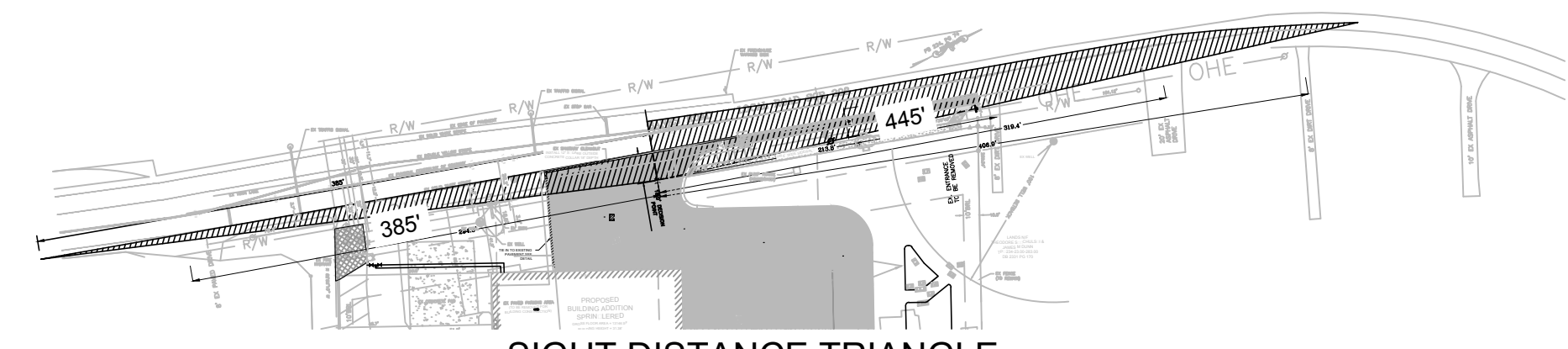
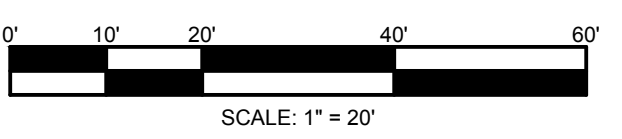
ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	OCOPX20000
DATE	2020-10-30
DRAWING SCALE	AS SHOWN
DRAWN BY	LFS
APPROVED BY	AMD



- LEGEND**
- IRON BAR FOUND
 - EX UTILITY POLE
 - EX TREE
 - EX SANITARY CLEANOUT
 - EX SANITARY MANHOLE
 - EX STORMWATER INLET
 - EX FIRE HYDRANT
 - EX WATER METER
 - EX BOLLARD
 - EX WATER VALVE
 - FOUND IRON BAR
 - EX IRON PIPE FOUND
 - CAPPED REBAR SET
 - EX SPOT GRADE
 - EX SPOT GRADE
 - PR SPOT GRADE
 - PR SWALE CENTERLINE
 - EX ADJOINER BOUNDARY
 - EX BOUNDARY
 - EX BUILDING RESTRICTION LINE
 - EX ELECTRIC
 - EX FENCE
 - EX OVERHEAD ELECTRIC
 - EX SANITARY PIPE
 - EX STORM PIPE
 - EX TELEPHONE LINE
 - EX CONTOUR
 - PR CONTOUR
 - DELDOT DRAINAGE EASEMENT
 - PR STORMWATER AREA
 - PR FULL DEPTH PAVING
 - ROTMILL AND OVERLAY
 - EX PAVING

OVERALL SITE PLAN
1" = 20'



SIGHT DISTANCE TRIANGLE
1" = 100'

OWNER'S CERTIFICATION

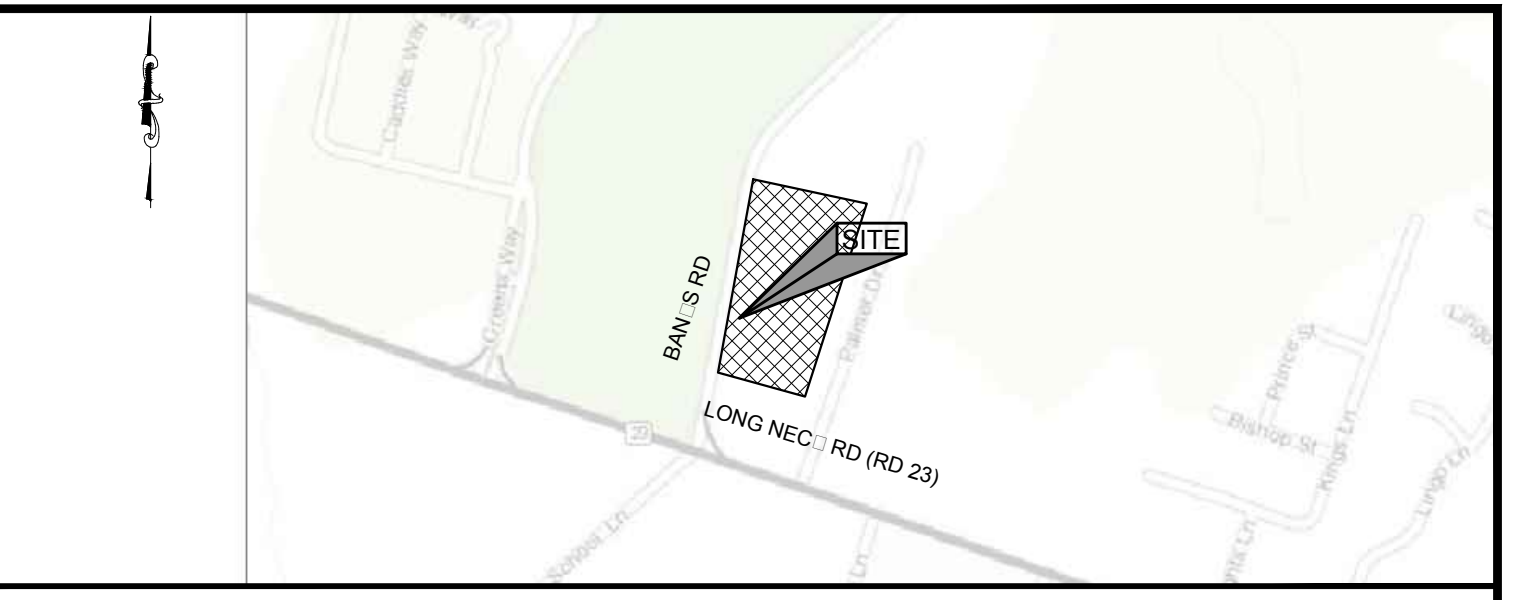
I HEREBY CERTIFY THAT I AM THE LEGAL OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I AM KNOWLEDGEABLE OF THE SAME, AND DESIRE THE PLAN TO BE RECORDED IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

INDIAN RIVER VOLUNTEER FIRE COMPANY
36328 OAK ORCHARD ROAD
MILLSBORO, DE 19966

ENGINEER'S CERTIFICATION

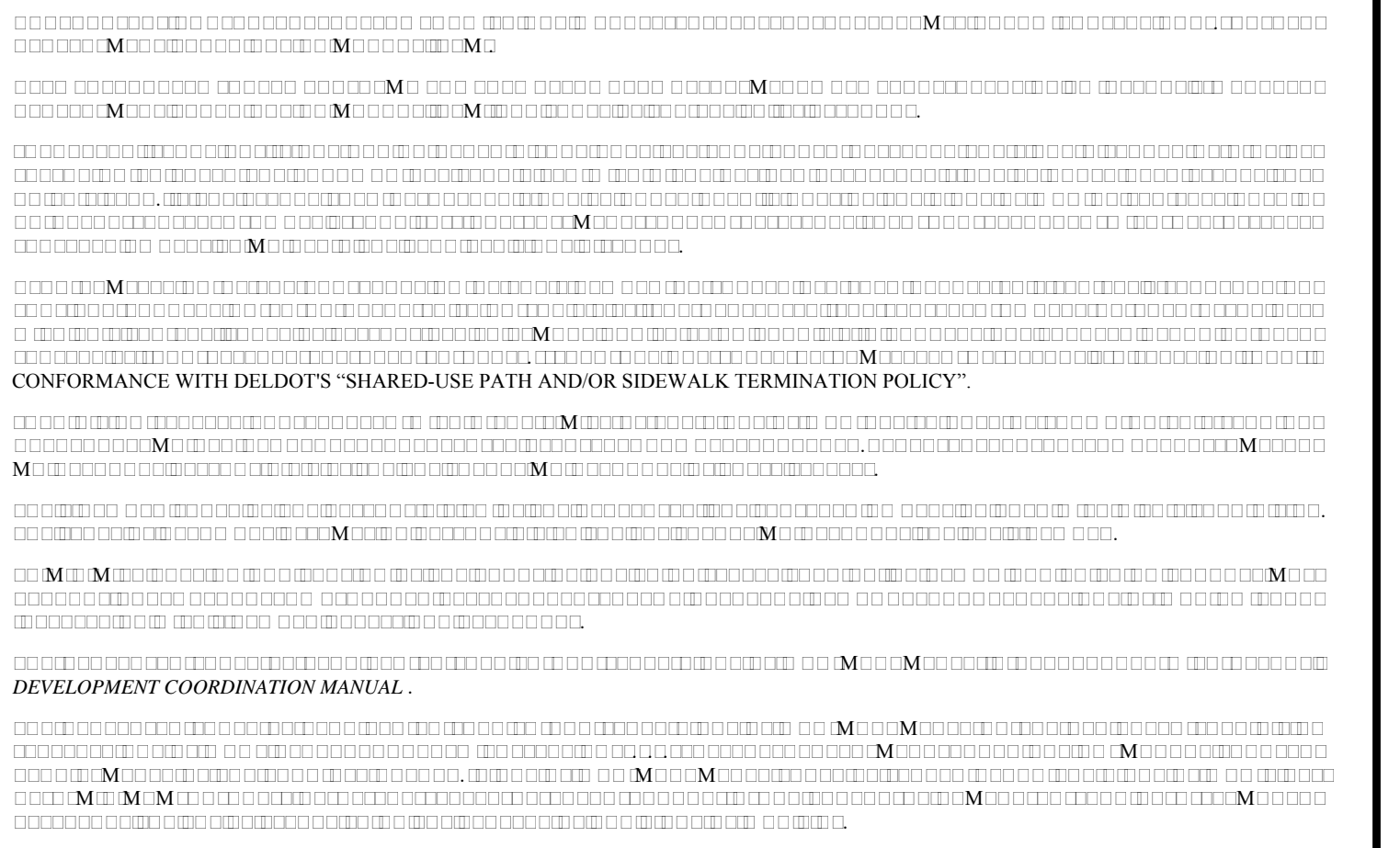
I, JOHN B. ROACH, P.E., DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, AND THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

JOHN B. ROACH, P.E.
JOHN B. ROACH ENGINEERING LLC
22184 MELSON RD
GEORGETOWN, DE 19947
302-249-1134
jbroachengr@netscape.net



VICINITY MAP
SCALE: 1 INCH = 200'

PLAN DATA	
PARCEL I.D. No.	2-34-23.00-287.00
PLAT REFERENCE	D.B. 4586, PAGE 31, PB 224 PAGE 74
ZONING DISTRICT	GR, GENERAL RESIDENTIAL
ROADWAY CLASSIFICATION	SCR 298 BANKS ROAD (LOCAL ROAD) POSTED SPEED LIMIT, 35 MPH
PRESENT USE	FIRE DEPARTMENT
PROPOSED USE	FIRE DEPARTMENT
SEWAGE DISPOSAL	CENTRAL SEWER WASTEWATER DISPOSAL SYSTEMS (SUSSEX COUNTY)
SEWERAGE IS SUBJECT TO APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL.	
WATER SUPPLY	
INDIVIDUAL ON-SITE WELLS (PRIVATE)	
WATER IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DIVISION OF PUBLIC HEALTH.	
OWNER	
INDIAN RIVER VOLUNTEER FIRE COMPANY 36328 OAK ORCHARD ROAD MILLSBORO, DE 19966	
LOT AREA	
1.888 ACRES (PER PB 224, PAGE 74)	
TOTAL No. OF LOTS	
1 LOT	
PARKING	
EXISTING PARKING SPACES= 18 PROPOSED PARKING SPACES= 20 TOTAL PARKING SPACES= 38	
FEMA FLOOD INFO	
ENTIRE PROPERTY IS LOCATED IN ZONE X, AS INDICATED ON FIRM NO. 10005C0343	
INVESTMENT LEVEL	
AREA 2, AS DEFINED BY 2015 STATE STRATEGIES FOR POLICIES AND SPENDING MAP	



TRAFFIC GENERATION - BANKS ROAD SCR 298 (FULL MOVEMENT) TOTAL ADT: 3921 VPD 10' R PROJECTED ADT: 1,16 X 3921 = 4199 TRIPS TRAFFIC PATTERN GROUP: 4 FROM 2018 DELDOT TRAFFIC SUMMARY DESIGN HOUR: VOLUME: 15.97' X 4243 = 677 TRIPS	ROAD TRAFFIC DATA FUNCTIONAL CLASSIFICATION: SCR 298 LOCAL ROAD POSTED SPEED LIMIT: 35 MPH ADT: 3921 TRIPS FROM 2018 DELDOT TRAFFIC SUMMARY 10' R PROJECTED ADT: 1,16 X 3921 = 4199 TRIPS TRAFFIC PATTERN GROUP: 4 FROM 2018 DELDOT TRAFFIC SUMMARY DESIGN HOUR: VOLUME: 15.97' X 4243 = 677 TRIPS
TRIPS PER DAY (AM PEAK) PM PEAK	SITE TRAFFIC DATA SOURCE: HISTORICAL DATA PROVIDED BY IRVFD AND DELDOT ENTRANCE - FULL MOVEMENT DESIGN VEHICLE: WB-40 EXISTING ENTRANCE ADT = 44 TRIPS PROPOSED FIRE STATION EXPANSION = 0 TRIPS TOTAL ADT FOR FIRE STATION EXPANSION: 44 TRIPS DIRECTIONAL DISTRIBUTION: 20% TO THE NORTH = 9 ADT 80% TO THE SOUTH = 35 ADT EXISTING TRUCK PERCENTAGE 6% ADT = 3 TRIPS PROPOSED TRUCK PERCENTAGE 6% ADT = 3 TRIPS TOTAL TRUCK PERCENTAGE 6% ADT = 3 TRIPS

REVISED 10/14/2019 PER DELDOT RECORD PLAN COMMENTS DATED 9/16/2019
REVISED 08/08/2019 PER SCOPE CHANGES AND DELDOT LONG SUBMITTAL
REVISED 01/15/2019 PER DELDOT "CRITICAL ACCEPTANCE" COMMENTS DATED 11/05/2018

FINAL SITE PLAN

STATION 80-2 - BUILDING ADDITION AND IMPROVEMENTS

FOR PROPERTY KNOWN AS:
LANDS OF "INDIAN RIVER VOLUNTEER FIRE COMPANY"

ALSO KNOWN AS:
25375 BANKS ROAD

ROADWAY:
BANKS ROAD - SCR 298

SITUATE IN:
INDIAN RIVER HUNDRED MILLSBORO SUSSEX COUNTY

STATE OF DELAWARE
TAX MAP: 2-34-23- 287.00

22184 MELSON ROAD
GEORGETOWN, DELAWARE 19947
PHONE NO. 302-856-1565

Drawn By: JBR
Date: 08-27-2017

Scale: 1"=20'
Sheet 1/1





February 25, 2020

Mrs. Leolga Wright
c/o John B. Roach Engineering, LLC
22184 Melson Road
Georgetown, DE 19947

RE: Indian River VFD Expansion

Dear Mrs. Wright:

A Sediment and Stormwater Management Plan has been reviewed for compliance with the Sediment and Stormwater Regulations and is approved with conditions (see attached). Enclosed herein please find a copy of the approved application form and approved plan sets. Please retain a copy for your use and provide the contractor with a copy to be retained onsite at all times. Failure to keep an approved plan onsite is a violation of the approved plan.

Approval of a Sediment and Stormwater Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.

This plan approval pertains to compliance with the *Delaware Sediment and Stormwater Regulations*. Please understand that the approval of this plan does not relieve you from complying with any and all federal, state, county, or municipal laws and regulations.

As of January 1, 2014, the Sussex Conservation District began collecting financial guarantees to ensure the construction of stormwater management practices is accomplished in accordance with the approved sediment and stormwater plan. Please refer to the SCD Policy on Bonds located on our website at Sussexconservation.org. If you have any questions concerning the aforementioned, please do not hesitate to call 302 856-7219.

Sincerely,
Jessica Watson
Jessica Watson
Program Manager

JW/jmg

cc: Janelle Cornwell

CONDITIONS OF APPROVAL

NOTIFICATION

1. This approved plan will remain valid for 5 years from the date of this approval. If construction does not begin within five years, the approved plan will be considered to have expired, and must be resubmitted to the District for a new review. In addition, if work is not completed within the five-year timeframe, the District must be contacted and a request for an extension submitted. Depending on regulation changes, a new plan may need to be submitted to ensure that all stormwater management facilities are constructed to the most recent standards.
2. Submittal of the Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activities together with this approval of the detailed Sediment and Stormwater Plan provide this project with Federal permit coverage to be authorized to discharge storm water associated with construction activities. It is the owner's responsibility to ensure that permit coverage remains valid throughout construction by submitting the NOI fee annually as requested. The developer is responsible for weekly self-inspection reporting to be retained onsite.
3. Notify the Sussex Conservation District Sediment and Stormwater Management Section of your intent to begin construction in writing five (5) days prior to commencing. Failure to do so constitutes a violation of the approved plan.

CHANGES

4. This project is to be undertaken in accordance with the plans submitted and as approved. If changes are necessary at any time during the completion of the project, submit revised plans, prior to further construction, to the Sussex Conservation District Sediment and Stormwater Program for review and approval of the revision.
5. Should ownership change during the construction period, a revised plan must be submitted for approval showing the new owner's signature on the owner's certification. In addition, a Transfer of Authorization form must be submitted to DNREC to transfer Federal permit coverage to the new owner.

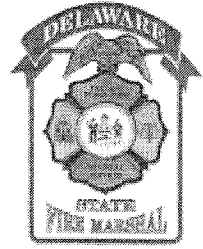
CONSTRUCTION AND CLOSEOUT

6. A pre-construction meeting must take place before any land disturbing activity begins. The meeting may take place on site and be attended by the owner, contractor, design consultant, Certified Construction Reviewer and Sussex Conservation District Sediment and Stormwater Program Construction Reviewer. The owner or the owner's designee shall contact the Sussex Conservation Construction Reviewer to schedule the pre-construction meeting.
7. Keep available onsite, during all phases of construction, a copy of the approved Sediment and Stormwater Management Plan.
8. Keep available onsite, during all phases of construction, copies of the Developers weekly self-inspection reports and/or the CCR Reports.
9. Any sediment transported off-site to roads or road rights-of-way including ditches shall be removed. Any damage to ditches shall be repaired and stabilized to original condition.
10. Grading shall not impair surface drainage, create an erosion hazard, or create a source of sediment to any adjacent watercourse or property owner.
11. Failure to implement the permanent stormwater management practices as mentioned herein constitutes a violation of the conditions of this plan approval; it may result in the suspension or revocation of building permits or grading permits issued by the local jurisdiction; and it may result in legal action by the DNREC to bring the site into compliance with the approved Sediment and Stormwater Management Plan and the *Delaware Sediment and Stormwater Regulations*.
12. The permanent stormwater management facility or facilities must be constructed and accepted by the Sussex Conservation District Sediment and Stormwater Program prior to final closeout of the project site. Post construction verification documentation of the stormwater management facility or facilities must be completed as soon as construction of the facility or facilities is complete so that any necessary modifications may be made during the construction period.



OFFICE OF THE STATE FIRE MARSHAL
Technical Services

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2019-04-200864-MJS-03

Tax Parcel Number: 234-23.00-287.00

Status: Approved as Submitted

Date: 12/09/2020

Project

Indian River Volunteer Fire Company Station 2 (MJS)

25375 Banks Road
Millsboro DE 19966

Indian River Volunteer Fire Company Station 2

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 80 - Indian River Volunteer Fire Co.,
Inc.

Occupant Load Inside:

Occupancy Code: 9790

Applicant

John Roach
22184 Melson Road
Georgetown, DE 19947

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:

Jefferson Cerri
Fire Protection Specialist II

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2019-04-200864-MJS-03

Tax Parcel Number: 234-23.00-287.00

Status: Approved as Submitted

Date: 12/09/2020

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1040 A** This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 1,000 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 800' on center.
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1190 A** Separate plan submittal is required for the building(s) proposed for this project.
- 1132 A** Fire hydrants shall be color coded in accordance with the DSFPR, Part III, Section 3 4. This includes both color coding the bonnet and 2" reflective tape around the barrel under the top flange.
- 1198 A** All standpipe and sprinkler connections shall be marked and identified in accordance with DSFPR Regulation 705, Chapter 6, Section 3.0). NOTE: No objects, stands, displays, or other impediments (such as parking) shall be located within the demarcation area. This will be field verified at the final inspection. Noncompliance may cause a delay in approval for Certificate of Occupancy.
- 1299 A** The required Fire Lane Access and Perimeter Access and all fire lane markings shall be in accordance with the site plan as approved by this Agency. This will be field verified at the final inspection. Noncompliance may cause a delay in approval for Certificate of Occupancy.

1151 A A lock box containing keys for fire department access shall be provided for any occupancy that contains an automatic sprinkler system. (DSFPR Regulation 705, Chapter 1, Section 2)

1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.





STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

November 22, 2019

Ms. Janelle Cornwell, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

**SUBJECT: Letter of No Objection to Recordation
Indian River Volunteer Fire Company**
Tax Parcel # 234-23.00-287.00
Banks Road (SCR 298)
Indian River Hundred, Sussex County

Dear Ms. Cornwell:

The Department of Transportation has reviewed the Site Plan, dated August 27, 2017 (last revised October 14, 2019), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawings. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Site Plan is not recorded prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. Entrance plans shall be developed in accordance with DelDOT's [Development Coordination Manual](#) and submitted to the Development Coordination Section for review and approval.

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel

Indian River Volunteer Fire Company
Ms. Janelle Cornwell
Page 2
November 22, 2019

that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

If I can be of any further assistance, please call me at (302) 760-2266.

Very truly yours,



Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

cc: Leolga Wright, Leolga Wright
John Roach, John B. Roach Engineering, LLC
William Kirsch, South District Entrance Permit Supervisor
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Gemez W. Norwood, South District Public Work Manager
Jennifer Pinkerton, Chief Materials & Research Engineer
Peter Haag, Chief of Traffic Engineering
Linda Osiecki, Consistency Control Engineer
John Fiori, Bicycle Coordinator
Maria Andaya, Pedestrian Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Joseph Ellis, Contech Manager
Jared Kaufman, DTC Planner
James Kelley, JMT
Todd Sammons, Subdivision Engineer
Brian Yates, Sussex County Reviewer



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. Box 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

February 20, 2020

Mr. John Roach
John B. Roach Engineering, LLC
22184 Melson Road
Georgetown, Delaware 19947

SUBJECT: Entrance Plan Approval Letter
Indian River Volunteer Fire Company
Tax Parcel #234-23.00-287.00
SCR298-BANKS ROAD
Indian River Hundred, Sussex County

Dear Mr. Roach:

The Department of Transportation has reviewed the Commercial Entrance Plans dated August 27, 2018 (last revised January 6, 2020) for the referenced project and determined that they are in general conformance with the Department's current regulations, specifications and standard details. By signing and sealing the plan set, the developer's engineer is responsible for accuracy of content. Any errors, omissions or required field changes will be the responsibility of the developer. This plan approval shall be valid a period of **three (3) years**. If an entrance permit has not been obtained within three years, then the plans must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. The following items will be required prior to the permit being issued. A pre-construction meeting may be required as determined by the South District Public Works office.

1. A copy of the recorded Site Plan which is consistent with the DeIDOT "No Objection to Recordation" stamped plan and all appropriate signatures, seals, plot book and page number.
2. Three (3) copies of the approved entrance plans.
3. Completed permit application.
4. Executed agreements (i.e. construction, signal, letter).
5. An itemized construction cost estimate.
6. A 150% security based upon an approved itemized construction cost estimate and W-9 form (if providing escrow).
7. A letter of source of materials, work schedule, list of subcontractors, emergency telephone numbers and names of contact persons.

Indian River Volunteer Fire Company
Mr. Roach
Page 2
February 20, 2020

Please contact the South District Public Works office (302) 853-1340 concerning any questions you may have relative to the aforementioned required items.

Sincerely,



Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

cc: Leolga Wright, Indian River Volunteer Fire Company
Sheldon Hudson, Millsboro Town Manager
Jessica L. Watson, Sussex Conservation District
Gemez Norwood, South District Public Work Manager
James Argo, South District Project Reviewer
William Kirsch, South District Entrance Permit Supervisor
Robert Bragg, South District Subdivision Supervisor
Jerry Nagyiski, Safety Officer Supervisor
Chris Sylvester, Traffic Studies Manager
Jennifer Pinkerton, Chief Materials & Research Engineer
Linda Osiecki, Pedestrian Coordinator
John Fiori, Bicycle Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kaufman, DTC Planner
James Kelley, JMT
Todd Sammons, Subdivision Engineer
Kevin Hickman, Sussex County Reviewer

FILE	DESCRIPTION OF REVISION	BY/DATE
D-033	DA-DRIVE FILES SURVEY PROJECTS 0519-2001 DUFFY SUBDIVISION 0519-2001 DUFFY SUBDIVISION revised 11-30-20.dwg	