

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY WINGATE



2 THE CIRCLE | PO BOX 417
GEORGETOWN, DE 19947
(302) 855-7878 T
(302) 854-5079 F
sussexcountyde.gov

Sussex County Planning & Zoning Commission

AGENDA**

January 7, 2021

5:00 P.M.

PLEASE REVIEW MEETING INSTRUCTIONS AT THE BOTTOM OF THE AGENDA

Call to Order

Approval of Agenda

Approval of Minutes – December 10, 2020

Other Business

Outer Banks North & South (2018-02) KS

Amenities Plan

Catching Cove (F.K.A Lands of Robert and Deborah Reed) (S-19-31) KS

Final Site Plan and Landscape Plan

Seaglass at Rehoboth Beach (F.K.A. Herola Property) (S-20-39) BM

Final Site Plan and Landscape Plan

Tanger Microtel (S-20-13) KS

Revised Preliminary Site Plan

Lands of Shubert (S-20-01) (C/U 1610) HW

Revised Preliminary Site Plan

Plantation Square (S-18-54) KS

Preliminary Site Plan

Nichola's Family Pizza Restaurant (S-20-50) KS

Preliminary Site Plan

Indian River Volunteer Fire Department BM

Preliminary Site Plan

Lands of Marjorie O. Biles BM

Minor Subdivision off 20' easement



Old Business

2020-12 – Carsyljan Acres

KS

A standard subdivision to divide 0.58 acre +/- into 2 lots to be located on a certain parcel of land lying and being in Broadkill Hundred, Sussex County. The property is lying on the northeast side of Brohawn Ave., approximately 0.11-mile northeast of Sweetbriar Rd. (S.C.R. 261). Tax Parcel: 235-27.00-94.00. Zoning District: GR (General Residential District).

2020-18 – The Woodlands II

HW

A coastal area/cluster subdivision to divide 16.52 acres +/- into 33 single family lots to be located on a certain parcel of land lying and being in Baltimore Hundred, Sussex County. The property is lying on the southeast corner of Central Ave. (Rt. 84) and Bayard Rd. (Rt. 84), approximately 0.28-mile northwest of Double Bridges Rd. (S.C.R. 363) Tax Parcel: 134-19.00-23.00. Zoning District: AR-1 (Agricultural Residential District).

Public Hearings

2021-01 – Doe Run

KH

A standard subdivision to divide 24.412 acres +/- into 14 single family lots (alterations to 1990-15 Doe Run Subdivision) to be located on a certain parcel of land lying and being in Nanticoke Hundred, Sussex County. The property is lying on the south side of Tuckers Rd. (S.C.R. 597), approximately 700 ft. east of Fawn Rd. (S.C.R. 600). Tax Parcels: 430-11.00-43.00, 44.00, 45.00, 46.00, 47.00, 48.00, 49.00, 50.00, 51.00, 52.00, 53.00, 54.00, 55.00, & 56.00. Zoning District: AR-1 (Agricultural Residential District).

Ord. 20-06 – Future Land Use Map

AN ORDINANCE TO AMEND THE FUTURE LAND USE MAP OF THE COMPREHENSIVE PLAN IN RELATION TO TAX PARCEL NO. 132-2.00-264.00 (PORTION OF)

C/Z 1910 – Brickyard Apartments, LLC

HW

An Ordinance to amend the Comprehensive Zoning Map of Sussex County from an AR-1 Agricultural Residential District to a GR General Residential District for a certain parcel of land lying and being in Broad Creek Hundred, Sussex County, containing 3.093 acres, more or less. The property is lying on the northwest side of Brickyard Road approximately 0.3 miles southeast of Sussex Highway (Rt. 13). 911 Address: 9329 Brickyard Road, Seaford. Tax Parcel: 132-2.00-264.00

C/U 2212 – Brickyard Apartments, LLC

HW

An Ordinance to grant a Conditional Use of land in a GR General Residential District for multi-family (48 apartments) to be located on a certain parcel of land lying and being in Broad Creek Hundred, Sussex County, containing 5.05 acres, more or less. The property is lying on the northwest side of Brickyard Road, approximately 0.3 miles southeast of Sussex Highway (Rt. 13). 911 Address: 9329 Brickyard Road, Seaford. Tax Parcel: 132-2.00-264.00

Ord. 21-01 – The Coastal Area

AN ORDINANCE TO AMEND CHAPTER 115, ARTICLE XXV, SECTION 115-194.3 OF THE CODE OF SUSSEX COUNTY REGARDING THE COASTAL AREA

In accordance with 29 Del. C. §10004(e)(2), this Agenda was posted on December 31, 2020 at 2:20 p.m., and at least seven (7) days in advance of the meeting.

This Agenda is subject to change to include the addition or deletion of items, including Executive Sessions, which arise at the time of the Meeting.

Agenda items listed may be considered out of sequence.

-MEETING INSTRUCTIONS-

**** The Sussex Planning & Zoning Commission is holding this meeting under the authority issued by Governor John C. Carney through Proclamation No. 17-3292.**

The public is encouraged to view the meeting on-line. Any person attending in-person will be required to go through a wellness and security screening, including a no-touch temperature check. The public will be required to wear a facial mask.

Chamber seating capacity is limited and seating assignments will be enforced.

The meeting will be streamed live at <https://sussexcountyde.gov/council-chamber-broadcast>

The County is required to provide a dial-in telephone number for the public to comment during the appropriate time of the meeting. **Note, the on-line stream experiences a 30-second delay.** Any person who dials in by telephone should listen to the teleconference audio to avoid the on-line stream delay.

To join the meeting via telephone, please dial:

Conference Number: 1 302-394-5036

Conference Code: 570176

Members of the public joining the meeting on the telephone will be provided an opportunity to make comments for those items listed under public hearings on this agenda.

The Planning & Zoning Commission meeting materials, including the “packet”, are electronically accessible on the County’s website at: <https://sussexcountyde.gov/>

If any member of the public would like to submit comments electronically, these may be sent to pandz@sussexcountyde.gov. All comments shall be submitted by 4:00 P.M on Wednesday, January 6, 2021.

#



Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager, Lauren DeVore, Planner III, Christin Headley, Planner I, Nicholas Torrance, Planner I, and Chase Phillips, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: December 31st, 2020

RE: Other Business for the January 7, 2021 Planning Commission Meeting

This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the January 7, 2021 Planning Commission meeting.

Outer Banks North & South (2018-2)

KS

Amenities Plan

This is an Amenities Plan for a proposed 262 square foot bathrooms, 126 square foot pool mechanical and storage, 1,500 square foot pool with pool deck, BBQ area and 19 associated parking spaces to be located within the existing Outer Banks North & South (2018-2) subdivision. 10 parking spaces are located within the front yard setback. At their meeting of Thursday, October 10, 2019, the Planning and Zoning Commission approved the Final Subdivision Plan for the development. The Amenities Plan complies with the Sussex County Zoning and Subdivision Code and all conditions of approval. Tax Parcel: 334-11.00-5.02. Zoning: AR-1 (Agricultural Residential Zoning District). Staff is in receipt of all agency approvals.

Catching Cove (F.K.A. Lands of Robert and Deborah Reed) (S-19-31)

KS

Final Site Plan and Landscape Plan

This is a Final Site Plan and Landscape Plan for 24 single family condominium units, parking and other site improvements to be located off Savannah Rd. A Conditional Use for multifamily dwellings in a Medium Residential Zoning District was approved on June 18, 2019 by the Sussex County Council. The Planning and Zoning Commission approved the Preliminary Site Plan at their meeting of October 1st, 2019. The Final Site Plan and Landscape Plan comply with the Sussex County Zoning Code and all conditions of approval. Tax Parcel: 335-12.06-1.00. Zoning: MR (Medium Residential District). Staff are in receipt of all agency approvals.

Seaglass at Rehoboth Beach (F.K.A. Herola Property) (S-20-39)

BM

Final Site Plan and Landscape Plan

This is a Final Site Plan and Landscape Plan for a proposed 224-unit multi-family apartment complex to consist of a clubhouse, pool, dog park, tot lot, 394 parking spaces and other site improvements located on 18.759 acres +/- . The property is located directly east of John J. Williams Hwy (Route 24) just south of Coastal Highway (Route 1). The Final Site Plan and Landscape Plan complies with the Sussex County Zoning Code. Tax Parcel: 334-12.00-127.01 & 127.10. Zoning: CR-1 (Commercial Residential Zoning District). Staff are in receipt of all agency approvals.



Tanger Microtel (S-20-13)

KS

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for a 78-bedroom hotel with 120 total parking spaces with 98 to be located within "Lot 1" of the major subdivision, Lands of Coroc/Rehoboth III LLC (2019-32) and 22 temporary parking spaces to be located the adjacent "Lot 2". The Planning and Zoning Commission previously approved the Preliminary Site Plan at their meeting of April 23, 2020 with the condition that a shared parking study be completed with the adjacent parcel at the point of Final Site Plan approval. The applicant is requesting these 22 spots be granted temporarily on the neighboring parcel until the completion of construction of "Lot 2" and a shared parking study be completed at that point. The Revised Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 334-13.00-325.36. Zoning: C-3 (Heavy Commercial Zoning District) Staff are in receipt of all agency approvals and this project is eligible for Final Site Plan approval.

Lands of Shubert (S-20-01/C/U 1610)

HW

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for a proposed 3,072 square foot pole barn warehouse addition with site improvements on a 9.607-acre parcel of land accessed from Iron Hill Road (S.C.R. 454A). At their meeting of Thursday, May 26, 2005, the Planning and Zoning Commission approved Conditional Use No. 1610 to allow for a produce/garden center to operate on site. The application was also subsequently approved by the Sussex County Council at their meeting of June 14, 2005 and adopted through Ordinance No. 1780. There is also an approved Change of Zone for the parcel, Change of Zone No. 1864, which was approved by the Sussex County Council on January 8, 2019 and adopted through Ordinance No. 2625. The Revised Preliminary Site Plan complies with the Sussex County Zoning Code and all Conditions of approval. Tax Parcel: 532-14.00-6.05. Zoning: C-3 (Heavy Commercial Zoning District) & AR-1 (Agricultural Residential Zoning District.) Staff are in receipt of all agency approvals.

Plantation Square (S-18-54)

KS

Preliminary Site Plan

This is a Preliminary Site Plan for two proposed two-story commercial business buildings totaling 49,450 square feet, 267 parking spaces and other site improvements on a 6.058 +/- acres parcels located on the southwest side of Plantations Road within the Henlopen TID. Staff notes the 267 parking spaces meets the required 247 parking spaces required and interconnectivity is also shown with the parcel located directly to the south currently zoned AR-1. The Preliminary Site Plan Complies with the Sussex County Zoning Code. Tax Parcel: 334-12.00-57.01. Zoning: B-1 (Neighborhood Business Zoning District). Staff are awaiting agency approvals.

Nicola's Family Pizza Restaurant (S-20-50)

KS

Preliminary Site Plan

This is a Preliminary Site Plan for a proposed 9,640 square foot restaurant with two floors to be located at 17501 Coastal Highway (Route 1) in Lewes. This plan also includes 144 parking spaces, a 1,726 square foot deck, and other site improvements to be located on parcel of land that is approximately 1.78 acres +/- . Staff note this plan includes a lot line adjustment which proposes an increase in the area of the subject property to 1.86 acres +/- . Additionally, there is a Cross Blanket Access Easement to accommodate vehicular traffic and parking. This Preliminary Site Plan complies with the Sussex County Zoning Code and the requirements of the Combined Highway Corridor Overlay Zone (CHCOZ). Tax Parcel: 334-6.00-14.00. Zoning: C-1 (General Commercial Zoning District). Staff are awaiting agency approvals.

Indian River Volunteer Fire Department

BM

Preliminary Site Plan

This is a Preliminary Site Plan for a proposed 13,146 square foot addition, 20 new parking spaces and other site improvements on a 1.888 acre +/- property located on the east side of Banks Road (S.C.R. 298). The Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 234-23.00-287.00. Zoning: GR (General Residential Zoning District). Staff are in receipt of all agency approvals and this project is eligible for Final Site Plan approval.

Lands of Marjorie O. Biles

BM

Minor Subdivision off a 20' easement

This is a Preliminary Minor Subdivision Plan for the creation of one lot off a proposed 20' access easement which shall exist over an existing 10' driveway. The lot to be established will be 0.60 of an acre +/- . The property is located off Cessna Drive in Rehoboth Beach not within the Henlopen TID. The proposed lot is located within the Sussex County Sewer District. Tax Parcel: 334-13.00-303.00. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are awaiting agency approvals.

CIVIL PLAN GENERAL NOTES

1. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND SHALL APPRISE AND COORDINATE DURING ALL PHASES OF CONSTRUCTION:
- 1.1 SUSSEX COUNTY ENGINEERING DEPARTMENT 302-855-7718
- 1.2 DAVIS, BOWEN & FRIEDEL, INC. 302-424-1441
- 1.3 SUSSEX CONSERVATION DISTRICT 302-856-2105
- 1.4 TIDEWATER UTILITIES, INC. 302-453-6900
2. MISS UTILITY OF DELAWARE SHALL BE NOTIFIED THREE (3) CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
3. BOUNDARY SURVEY PREPARED BY DAVIS, BOWEN & FRIEDEL, INC. BASE TOPOGRAPHY PREPARED BY DAVIS, BOWEN & FRIEDEL, INC.
4. CONTRACTOR SHALL PROVIDE STAKEOUT NECESSARY FOR THE INSTALLATION OF UTILITIES, STORM DRAINS, PAVING AND ALL OTHER SITE WORK INCLUDED IN THESE PLANS. ALL STAKEOUT WORK IS TO BE PERFORMED UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF DELAWARE.
5. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEVIATION FROM THESE PLANS UNLESS WRITTEN APPROVAL HAS BEEN PROVIDED BY THE ENGINEER.
6. ACCORDING TO FEMA FLOOD INVENTORY MAP #10005C0331K, DATED MARCH 16, 2015, THE SITE IS IMPACTED BY THE 100 YEAR FLOODPLAIN.

DRAINAGE, GRADING AND SEDIMENT CONTROL GENERAL NOTES

1. ALL STORM DRAIN PIPING, INLET, MANHOLE, AND END SECTION INSTALLATION SHALL BE IN ACCORDANCE WITH SUSSEX COUNTY CONSTRUCTION STANDARDS.
2. PIPE SPAN LENGTHS ARE MEASURED FROM C/L OF STRUCTURE TO C/L OF STRUCTURE, WHERE APPLICABLE ARE ROUNDED TO THE NEAREST FOOT.
3. ALL SEALS MUST BE WATERTIGHT WITH NON SHRINK GROUT OR RUBBER GASKETS AND CONCRETE STRUCTURES MUST BE PRECAST OR POURED IN PLACE.
4. CONTRACTOR SHALL GRADE, TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS OF CONSTRUCTION, INCLUDING PIPE INSTALLATION OR DITCH CONSTRUCTION. EROSION CONTROL MATTING SHALL BE PROVIDED ON ALL SLOPES GREATER THAN 3:1.
5. THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL MEASURES TO PROTECT STOCKPILE AREAS AND STORAGE AREAS. ALL AREAS USED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR UPON COMPLETION OF THE PROJECT. IF THE STAGING AREA IS PAVED, IT SHALL BE RESTORED TO ITS ORIGINAL CONDITION. IF THE STAGING AREA IS UNPAVED, IT SHALL BE RE-GRADED, TOPSOILED, SEEDED AND MULCHED TO THE SATISFACTION OF THE ENGINEER. ALL COSTS ASSOCIATED WITH RESTORATION OF THE STAGING AREA SHALL BE AT THE CONTRACTOR'S EXPENSE. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
6. EQUIPMENT AND/OR STOCKPILE MATERIAL SHALL NOT BE STORED IN THE DRILIPLINE AREA OF ANY TREE.
7. IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY THE SUSSEX CONSERVATION DISTRICT.
8. STABILIZATION MATTING SHALL BE NORTH AMERICAN GREEN SC150BN OR APPROVED EQUIVALENT.
9. ADDITIONAL GRADING AND EROSION AND SEDIMENT CONTROL NOTES CAN BE FOUND ON THE EROSION AND SEDIMENT CONTROL PLANS OR GRADING PLANS.

DEMOLITION AND SAFETY GENERAL NOTES

1. MISS UTILITY OF DELMARVA SHALL BE NOTIFIED THREE CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
2. EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48 HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA.
3. THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE ROAD WAY, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROLLING AND INFORMATIONAL SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE. THE COST SHALL BE INCLUDED IN THE COST OF ITEMS BID.
4. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
5. DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM. ADDITIONAL COSTS WILL BE NEGOTIATED WITH THE OWNER.
6. DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL WORK MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
7. ALL EXISTING SEWER PIPE, MANHOLES, AND APPURTENANCES DESIGNATED FOR REMOVAL SHALL BE REMOVED. NO ABANDONED IN PLACE COMPONENTS WILL BE ALLOWED.

FIRE PROTECTION GENERAL NOTES

1. THERE ARE NO PROPOSED SPRINKLERS FOR THE BUILDINGS WITHIN THE AMENITIES CENTER OF OUTER BANKS. ALL BUILDINGS ARE LESS THAN 10,000 SQ. FT.
2. ALL FIRE LANES, FIRE HYDRANTS, STAND PIPES, SPRINKLER CONNECTIONS, EXITS, ETC., SHALL BE MARKED AND/OR PROTECTED IN ACCORDANCE WITH STATE FIRE PROTECTION REGULATIONS AS EVIDENCED IN SECTION 705, CHAPTER 5, STANDARD FOR THE MARKING, IDENTIFICATION, AND ACCESSIBILITY OF FIRE LANES, EXITS, FIRE HYDRANTS, SPRINKLER, AND STANDPIPE CONNECTIONS.

INTERNAL PAVING / CONCRETE NOTES

1. WARM MIX ASPHALT SHALL BE INSTALLED IN ACCORDANCE WITH THE 2001 DelDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION INCLUDING SPECIAL PROVISIONS:
- 1.1. SECTION 401 FOR PLACEMENT OF TACK COAT AND WARM MIX.
- 1.2. ASPHALT SHALL BE FROM A DelDOT APPROVED PLANT.
- 1.3. WARM MIX SHALL NOT BE APPLIED WHEN THE TEMPERATURE IS BELOW 40° F OR ON ANY WET OR FROZEN SURFACE.
2. ALL DISTURBED AREAS NOT COVERED WITH IMPERVIOUS MATERIAL, SHALL BE TOPSOILED (6" MINIMUM), FERTILIZED, SEEDED AND MULCHED.
3. ALL SIGNING AND MAINTENANCE OF TRAFFIC IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL FOLLOW THE 2011 DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
4. DESIGN, FABRICATION, AND INSTALLATION OF ALL PERMANENT SIGNING SHALL BE AS OUTLINED IN THE 2011 DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
5. FOR FINAL PERMANENT PAVEMENT MARKINGS, EPOXY RESIN PAINT SHALL BE REQUIRED FOR LONG LINE STRIPING AND THERMO WILL BE REQUIRED FOR SHORT LINE STRIPING, I.E. SYMBOLS/LEADS.
6. ALL TRAFFIC CONTROL DEVICES SHALL BE IN NEW OR REFURBISHED CONDITION, SHALL COMPLY WITH THE 2011 DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION), AND SHALL BE NCHRP - 350 APPROVED AND SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED IN GOOD CONDITION FOR DURATION OF USE.
7. BREAKAWAY POSTS SHALL BE USED WHEN INSTALLING ALL SIGNS. DETAIL CAN BE FOUND IN DELDOT'S STANDARD CONSTRUCTION DETAILS.
8. PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT PAVING IS INSTALLED TO THE ELEVATIONS SHOWN AND THAT NO PONDING OF WATER EXISTS AFTER PAVING IS COMPLETE. PONDING IS DEFINED AS WATER STANDING IN AN AREA MORE THAN 1 HOUR AFTER A RAINFALL EVENT THAT PRODUCES RUNOFF. ELIMINATION OF PONDING WILL BE COMPLETED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
10. SUPERPAVE HOT-MIX SHALL BE USED IN ACCORDANCE WITH DelDOT SPECIAL PROVISIONS.
11. CONCRETE SHALL BE PLACED IN ACCORDANCE WITH DelDOT STANDARD SPECIFICATIONS.

SANITARY SEWER GENERAL NOTES

1. CONTRACTOR SHALL PROVIDE STAKEOUT SURVEY NECESSARY FOR THE INSTALLATION OF UTILITY WORK AND APPURTENANCES AS REQUIRED PER THE SUSSEX COUNTY STANDARDS AND SPECIFICATIONS.
2. SANITARY SEWER CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH SUSSEX COUNTY STANDARDS AND SPECIFICATIONS AND DETAILS.
3. ALL SANITARY SEWER MATERIALS AND APPURTENANCES SHALL MEET OR EXCEED THOSE REQUIRED BY SUSSEX COUNTY STANDARDS AND SPECIFICATIONS AND DETAILS.
4. USE ONLY SUITABLE GRANULAR MATERIAL APPROVED BY SUSSEX COUNTY FOR BACKFILLING TRENCHES.
5. SANITARY SEWER LATERAL SHALL BE 6" SDR-26 PVC. SEWER LATERAL SHALL INCLUDE A 6" CLEANOUT, WYE, AND CAP JUST BEHIND THE RIGHT-OF-WAY LINE.
6. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
7. TOP OF MANHOLE ELEVATIONS ARE TOP OF MANHOLE FRAME AND COVER
7. PIPE SPAN LENGTHS ARE MEASURED FROM C/L OF STRUCTURE TO C/L OF STRUCTURE, WHERE APPLICABLE ARE ROUNDED TO THE NEAREST FOOT.
8. THE CONTRACTOR SHALL FIELD VERIFY INVERTS AND LOCATION OF EXISTING SANITARY SEWER MAINS OR MANHOLES TO WHICH NEW CONSTRUCTION WILL CONNECT.
9. THE SEWER LATERAL SHALL HAVE A MINIMUM COVER OF 3 FEET FROM PROPOSED GRADE, AS MEASURED FROM THE TOP OF PIPE.
10. THE CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH OR ACCESS PITS WHICH CAN BE BACKFILLED AND STABILIZED AT THE END OF EACH WORKING DAY. STEEL PLATES SHALL BE USED ON ANY TRENCH OR ACCESS PITS WHICH MUST REMAIN OPEN OVERNIGHT. THIS REQUIREMENT DOES NOT APPLY TO AREAS COMPLETELY CLOSED AND SECURE FROM VEHICULAR OR PEDESTRIAN TRAFFIC.
11. FINAL APPROVED SET OF PLANS AND SPECIFICATIONS SHALL BE MAINTAINED ON THE JOB SITE. FAILURE TO COMPLY WITH THIS PROVISION SHALL BE CONSIDERED CAUSE TO STOP THE WORK.
12. THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF CONTRACT DRAWINGS ON WHICH HE SHALL NOTE, IN RED, THE ALIGNMENTS AND INVERTS OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK. ALL DISCREPANCIES BETWEEN THE PLAN LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE AS-BUILT DRAWINGS TO BE MAINTAINED BY THE CONTRACTOR IN THE FIELD.
13. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO LOCATE PROPERTY LINES, EASEMENTS, AND RIGHT-OF-WAY LINES PRIOR TO CONSTRUCTION AND AVOID CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY AND/OR RIGHTS OF WAYS WHERE SAID CONSTRUCTION IS PROHIBITED. THE CONTRACTOR MAY CONDUCT CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY PROVIDED HE HAS OBTAINED PRIOR WRITTEN PERMISSION FROM THE PROPERTY OWNER AND HAS SUBMITTED A COPY OF SAID WRITTEN PERMISSION TO SUSSEX COUNTY. ANY DISTURBED AREAS BEYOND THE RIGHT-OF-WAY OR EASEMENT LINES SHALL BE RESTORED IMMEDIATELY TO THEIR ORIGINAL CONDITION. PAYMENT FOR THIS WORK SHALL BE INCLUDED IN THE COST OF ITEMS BID.
14. DIFFERING SITE CONDITIONS AND/OR DIFFERING MATERIAL PROPERTIES SHALL REQUIRE SUSSEX COUNTY APPROVAL OF SPECIAL DESIGN DETAILS PREPARED BY THE DESIGN ENGINEER PRIOR TO INITIATING OR RESUMING CONSTRUCTION ACTIVITIES.
15. ALL TESTING AND INSPECTION SHALL BE PERFORMED IN ACCORDANCE WITH THE SUSSEX COUNTY STANDARDS AND SPECIFICATIONS.
16. ALL SANITARY SEWER PIPE AND FITTINGS SHALL BE POLYVINYL CHLORIDE (PVC), SDR 26 OR DUCTILE IRON PIPE (DIP), CLASS 52 CERAMIC EPOXY-LINED (PROTECTO 401). ALL DIP SHALL HAVE AN BITUMINOUS COATING ON THE OUTSIDE SURFACE.
17. SEWER AND FORCE MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM WATER MAINS. SEWER CROSSING WATER MAINS SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 18" TO OUTSIDE OF PIPES. IF AN 18" CLEARANCE CANNOT BE OBTAINED, A 10 LINEAR FOOT CONCRETE ENCASEMENT SHALL BE USED ON THE SEWER MAIN.
18. ALL SEWER MAINS SHALL HAVE DETECTOR TAPE AS REQUIRED BY SUSSEX COUNTY STANDARDS AND SPECIFICATIONS.
19. THE SUSSEX COUNTY STANDARDS AND SPECIFICATIONS ARE THE SUSSEX COUNTY WASTEWATER STANDARDS AND SPECIFICATIONS DATED 6/19/2012. COPIES CAN BE OBTAINED FROM SUSSEX COUNTY.

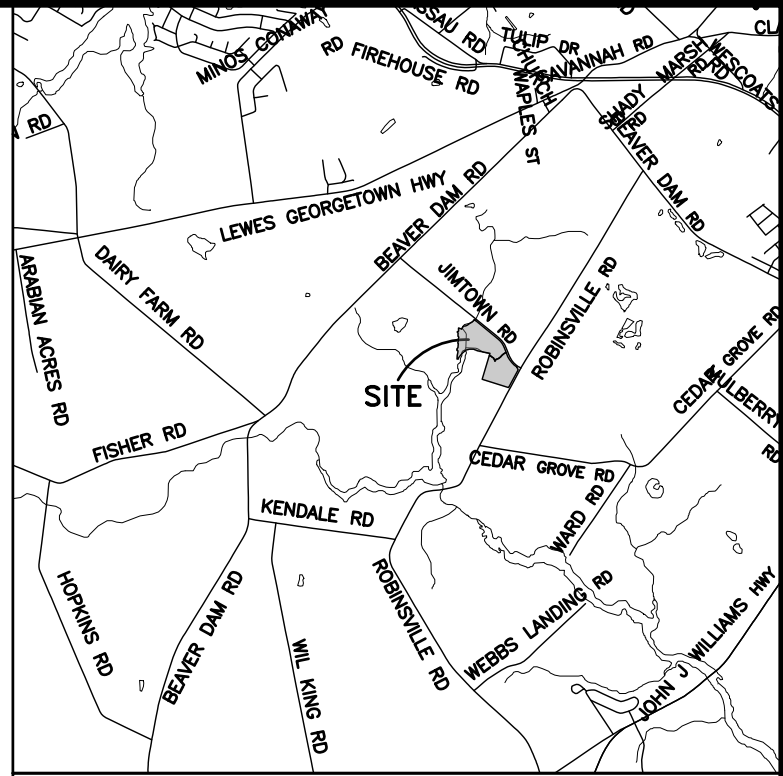
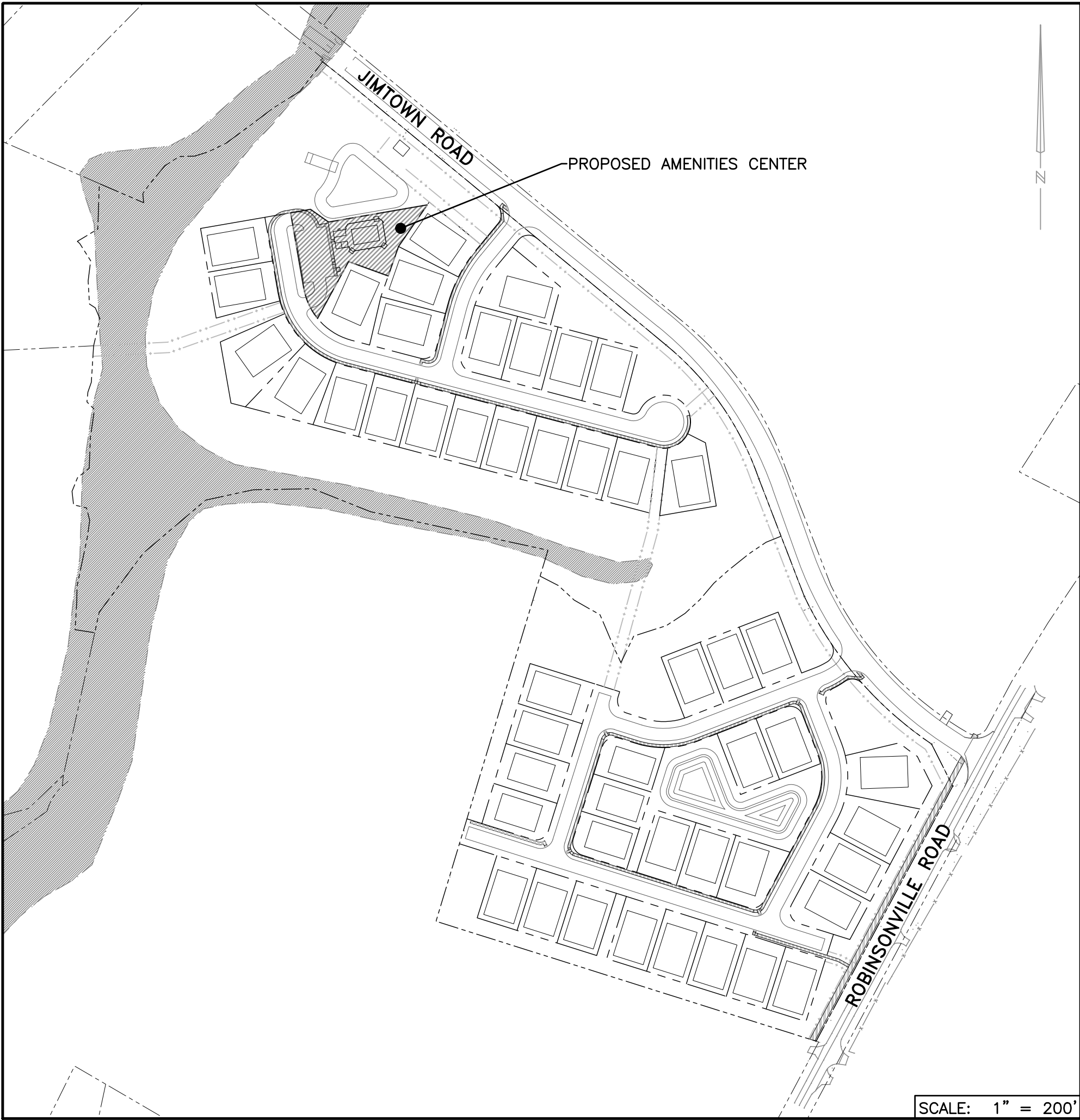
dbf

DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS, ENGINEERS & SURVEYORS

SALISBURY, MARYLAND (410) 543-9091
MILFORD, DELAWARE (302) 424-1441
EASTON, MARYLAND (410) 770-4744

AMENITIES CENTER
OUTER BANKS
LEWES & REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

DBF # 1319A045.B01
REVISED: DECEMBER 22, 2020



DATA COLUMN

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|--|--|
| TAX MAP ID: | 3-34-11.00-5.02 |
| PLANNING REFERENCE NO.: | 2018-02 |
| EXISTING ZONING: | AR-1 AGRICULTURAL RESIDENTIAL DISTRICT |
| PROPOSED ZONING: | AR-1 CLUSTER DEVELOPMENT OPTION |
| THE PROPERTY IS IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA MAP 10005C0331K, DATED MARCH 16, 2015. THE AMENITIES CENTER PARCEL IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN. | |
| THE PROPERTY IS IMPACTED BY WETLANDS. THE AMENITIES CENTER PARCEL IS NOT IMPACTED BY WETLANDS. | |
| APPROXIMATE CENTER OF OUTER BANKS: LAT. = 38.7278, LONG. = -75.1831 | |
| BUILDING HEIGHT: | 42' MAX. |
| BUILDING CONSTRUCTION: | V-B (BC), V (000) (NFPA) |
| BUILDING AREAS: | |
| POOL MECHANICAL & STORAGE: | 126 SF± |
| BATHROOMS: | 262 SF± |
| TOTAL: | 388 SF± |
| LOT AREAS | |
| OPEN AREA: | 12,242 SF± (46.42%) |
| IMPERVIOUS AREA: | 14,131 SF± (53.58%) |
| AMENITY CENTER PARCEL: | 26,373 SF± (100.00%) |
| CLUSTER OPTION MINIMUM ZONING REQUIREMENT | |
| FRONT YARD: | 25 FT. |
| SIDE YARD: | 10 FT. |
| REAR YARD: | 10 FT. |
| CORNER YARD: | 15 FT. |
| WIDTH OF LOT: | 60 FT. |
| MINIMUM LOT AREA: | 7500 SF. |
| PARKING | |
| REQUIRED: | 1500 SF POOL AREA x 1 SPACE/100 SF = 15 SPACES |
| PROVIDED: | 19 SPACES (INCLUDING 1 VAN ACCESSIBLE) |
| SANITARY SEWER: SUSSEX COUNTY | |
| WATER SUPPLY: TIDEWATER UTILITIES | |
| DATUM | |
| VERTICAL: | NAVD88 |
| HORIZONTAL: | NAD 83 (DE STATE PLANE) |
| OWNER/DEVELOPER | |
| SCHELL OUTER BANKS, LLC. 20184 PHILLIPS STREET REHOBOTH BEACH, DE 19971 PHONE: 302-226-1994 CONTACT: TIM GREEN | |
| ENGINEER | |
| DAVIS, BOWEN & FRIEDEL, INC. MILFORD, DE 19963 PHONE: 302-424-1441 FAX: 302-424-0430 CONTACT: ZAC CROUCH, P.E. | |

LEGEND

- BOUNDARY LINE
- ADJACENT BOUNDARY LINE
- PROPERTY LINE
- IRON ROD WITH CAP SET
- EASEMENT
- BUILDING SETBACK LINE
- EXISTING UTILITY POLE
- EXISTING SIGN
- TREE
- TREE LINE
- WETLANDS
- EXISTING CONTOUR
- PROPOSED CONTOUR
- SPOT ELEVATION
- FENCE
- CATCH BASIN, STORM PIPE, FLARED END, AND LABELS
- SANITARY SEWER MANHOLE, PIPE, FLOW ARROW, AND PIPE SIZE
- SANITARY SEWER LATERAL
- WATER LATERAL
- WATER MAIN TEE, BEND, VALVES, AND PIPE SIZE
- FIRE HYDRANT ASSEMBLY
- PAVEMENT
- SIDEWALK

POTABLE WATER DISTRIBUTION GENERAL NOTES

1. ALL WORK MUST BE IN CONFORMANCE WITH TIDEWATER UTILITIES, INC. STANDARDS AND SPECIFICATIONS.
2. ALL WORK MUST BE HYDROSTATICALLY TESTED AND THEN DISINFECTED. CONTRACTOR SHALL SUPPLY ALL MATERIALS TO TEST AND DISINFECT THE SYSTEM. CONTRACTOR IS REQUIRED TO OBTAIN A CERTIFICATE TO OPERATE FROM DHSS OFFICE OF DRINKING WATER.
3. ALL AREAS DISTURBED SHALL BE RESTORED TO THEIR ORIGINAL CONDITION. IF ADDITIONAL WORK IS REQUIRED IN THE FUTURE THEN THE AREA SHALL BE STABILIZED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLANS.
4. WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM SEWER MAINS. WATER CROSSING SEWER MAINS SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 18" TO OUTSIDE OF PIPES. IF AN 18" CLEARANCE CANNOT BE OBTAINED, A 10 LINEAR FOOT CONCRETE ENCASEMENT SHALL BE USED ON THE SEWER MAIN.
5. ALL PIPE SHALL HAVE DETECTOR TAPE AS REQUIRED BY TIDEWATER UTILITIES, INC. STANDARDS AND SPECIFICATIONS.
6. THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF CONTRACT DRAWINGS ON WHICH HE SHALL NOTE, IN RED, THE ALIGNMENTS AND INVERTS OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK. ALL DISCREPANCIES BETWEEN THE PLAN LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE AS-BUILT DRAWINGS TO BE MAINTAINED BY THE CONTRACTOR IN THE FIELD.
7. PLAN LOCATIONS AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE SPECIFIED BY THE ENGINEER. THE CONTRACTOR SHALL ADJUST WATERLINE LOCATIONS AS REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
8. ALL WATER MAINS 6" OR GREATER SHALL BE C-909 CL235 PVC UNLESS OTHERWISE NOTED. ALL 4" WATER MAINS SHALL BE C-900 DR25 PVC. ALL DUCTILE IRON PIPE WATER MAINS TO BE CL350 CEMENT-LINED AND NSF 61 APPROVED.

CONDITIONS OF PRELIMINARY APPROVAL

1. THE DEVELOPMENT SHALL BE SERVED BY ON-SITE ACTIVE AMENITIES SUCH AS A POOL AND POOL HOUSE WITH RESTROOM FACILITIES. THE DEVELOPER SHALL COMPLETE ALL AMENITIES PRIOR TO THE ISSUANCE OF THE 25TH RESIDENTIAL BUILDING PERMIT.

OWNERS STATEMENT

I, BLAKE THOMPSON OF EDGE MARINE, LLC., HEREBY CERTIFY THAT EDGE MARINE, LLC. IS THE OWNER OF THE PROPERTY WHICH IS THE SUBJECT OF THIS PLAT; THAT THIS SUBDIVISION PLAT THEREOF WAS MADE AT THEIR DIRECTION; THAT ALL STREETS SHOWN HEREON ARE TO BE PRIVATE RIGHT-OF-WAYS AND ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION; THAT ALL PROPOSED STREET CONTROL MONUMENTS WILL BE SET AT THE LOCATIONS SHOWN, AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DESIRE THIS PLAT BE RECORDED ACCORDING TO LAW.

BLAKE THOMPSON DATE

ENGINEER'S STATEMENT

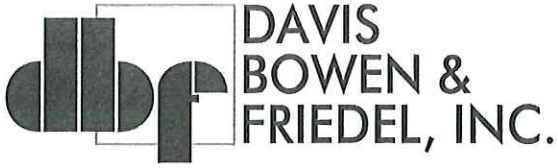
I, W. ZACHARY CROUCH, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVIS, BOWEN & FRIEDEL, INC.
by W. ZACHARY CROUCH, P.E. DATE

| SHEET INDEX | |
|--------------|-------------------------------|
| Sheet Number | Sheet Title |
| C-001 | TITLE SHEET |
| C-101 | SITE, GRADING, & UTILITY PLAN |

C-001





ARCHITECTS • ENGINEERS • SURVEYORS

Michael R. Wigley, AIA, LEED AP
W. Zachary Crouch, P.E.
Michael E. Wheedleton, AIA, LEED GA
Jason P. Loar, P.E.
Ring W. Lardner, P.E.
Jamie L. Sechler, P.E.

December 17, 2020

Sussex County Administrative Building
Planning & Zoning Commission
2 The Circle, P.O. Box 417
Georgetown, DE 19947

Attn: Christin Scott
Planner I

Re: Outer Banks Amenities Center Parking Waiver
Tax ID: 3-34-11.00-5.02
DBF #1319A045.B01

Dear Ms. Scott,

On behalf of our client, Schell Outer Banks, LLC, we are respectfully requesting a waiver to allow parking within the front setback for the Amenities Center parcel of the Outer Banks development. This irregular shaped parcel was assigned a 25 foot front setback along a private street right-of-way. Adjacent to this right-of-way, we are proposing 10 parking spaces that are located within the 25 foot setback.

Should you have any questions or need additional information, please contact me at (302) 424-1441 or via e-mail at bpm@dbfinc.com.

Sincerely,
DAVIS, BOWEN AND FRIEDEL, INC.

A handwritten signature in black ink, appearing to read 'B Mace', is written over a large, stylized 'B' that serves as a signature element.

Brandon P. Mace
Site Designer

Enclosures

BPM
P:\Thompson\2374B004 Marine Farm\SCHELL BROTHERS\Docs\P&Z\1319A045 Amenities Parking Waiver Request.docx

cc: file

ENGINEERING DEPARTMENT

| | |
|---------------------------|----------------|
| ADMINISTRATION | (302) 855-7718 |
| AIRPORT & INDUSTRIAL PARK | (302) 855-7774 |
| ENVIRONMENTAL SERVICES | (302) 855-7730 |
| PUBLIC WORKS | (302) 855-7703 |
| RECORDS MANAGEMENT | (302) 854-5033 |
| UTILITY ENGINEERING | (302) 855-7717 |
| UTILITY PERMITS | (302) 855-7719 |
| UTILITY PLANNING | (302) 855-1299 |
| FAX | (302) 855-7799 |



Sussex County

DELAWARE
sussexcountype.gov


HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

MICHAEL E. BRADY
DIRECTOR OF PUBLIC WORKS

MEMORANDUM

DATE: December 22, 2020

TO: Christin Scott
Planner I, Planning and Zoning

FROM: Jordan Dickerson
Public Works Technician IV 

SUBJECT: Outer Banks Amenities

Please be advised that the Sussex County Engineering Department has no objection to the proposed site plan for the above reference project. The site plan doesn't fall under Chapter 99 for Engineering review and a sewer lateral has already been provided per approved construction plans, dated 8/20/2019. If pool backwash is going to discharge into our system, a review and approval will need to be completed by Environmental Services.

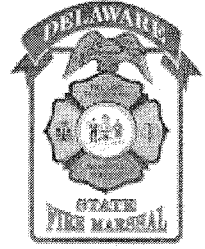
Cc: Mr. Zac Crouch, P.E. Davis, Bowen & Friedel, Inc.
Mr. Brandon Mace, Davis, Bowen & Friedel, Inc.





OFFICE OF THE STATE FIRE MARSHAL
Technical Services

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2020-04-205654-MJS-01

Tax Parcel Number: 3-34-11.00-5.02-5.03

Status: Approved as Submitted

Date: 12/31/2020

Project

Amenities Center

Outer Banks North and South

Jimtown Road

Lewes DE 19958

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 82 - Lewes Fire Dept Inc

Occupant Load Inside:

Occupancy Code: 9622

Applicant

W. Zachary Crouch

1 Park Avenue

Milford, DE 19963

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:

Jefferson Cerri

Fire Protection Specialist II

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2020-04-205654-MJS-01

Tax Parcel Number: 3-34-11.00-5.02-5.03

Status: Approved as Submitted

Date: 12/31/2020

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1040 A** This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 1,000 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 800' on center.
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1190 A** Separate plan submittal is required for the building(s) proposed for this project.
- FOR PROPOSED STORAGE BUILDING AND RESTROOMS, TWO SEPARATE BUILDINGS REQUIRE TWO SEPARATE APPLICATIONS
- 2500 A** A final inspection is required for this project prior to occupancy (DSFPR Part I, Section 4-7). Contact this Agency to schedule this inspection. Please have the plan review number available. A MINIMUM OF FIVE (5) WORKING DAYS NOTICE IS REQUIRED.
- 2040 A** Any door in a required means of egress from an area having an occupant load of 100 or more persons may be provided with a latch or lock only if it is panic hardware or fire exit hardware complying with NFPA 101, Section 12.2.2.2.3 and section 7.2.1.7.1
- FOR GATES
- 2447 A** Outside open air assembly areas (decks, patio, etc.) where egress from the area can be accomplished without re entering the building will get an occupant load

for just the outside open air assembly area. The occupant load is for the outside open air assembly area ONLY and is separate from the building's posted occupant load. Any alterations to the outside open air assembly area shall require formal plan submittal to the DE State Fire Marshal's Office.

OL = 111

1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.

ENGINEERING DEPARTMENT

| | |
|---------------------------|----------------|
| ADMINISTRATION | (302) 855-7718 |
| AIRPORT & INDUSTRIAL PARK | (302) 855-7774 |
| ENVIRONMENTAL SERVICES | (302) 855-7730 |
| PUBLIC WORKS | (302) 855-7703 |
| RECORDS MANAGEMENT | (302) 854-5033 |
| UTILITY ENGINEERING | (302) 855-7717 |
| UTILITY PERMITS | (302) 855-7719 |
| UTILITY PLANNING | (302) 855-1299 |
| FAX | (302) 853-5881 |



Sussex County

DELAWARE
sussexcountyde.gov

HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

November 23, 2020

Mr. Robert Horsey
David G. Horsey & Sons, Inc.
28107 Beaver Dam Branch Road
Laurel, DE 19956

**REF: SUSSEX COUNTY PROJECT NO. 81-04
LONG NECK SANITARY SEWER DISTRICT
SUSSEX COUNTY TAX MAP NO.
3-34-11.00 PARCEL 5.02 & 5.03
OUTER BANKS NORTH (CONSTRUCTION RECORD)
AGREEMENT NO. 1086-1**

- 1 - Set of Cut Sheets, pages 5 thru 7 stamped "No Exceptions Taken", for the above referenced project.
- 1 - Cut Sheet, page 8 stamped "Comments Noted", for the above referenced project.

Sincerely,

SUSSEX COUNTY ENGINEERING DEPARTMENT


Keith Bryan
Assistant Director
Utility Engineering Department

KB:set

Enclosures

Cc: Mr. Hans Medlarz, P.E. w/o enclosure
Mr. Christopher Waters, w/enclosure
Field File, w/enclosure



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE 19947



DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
601 East Main Street, Suite 100, Salisbury, MD 21804
Phone: 410-543-9091 Fax: 410-543-7675

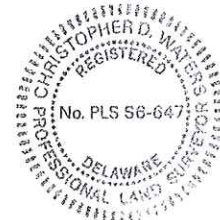
GRAVITY SEWER CUT SHEET

DBF Project # 1319A045
Grade To: INVERT, RIM
Prep By: REO
Date Staked: 11/16/2020

Project: OUTER BANKS
Offset: AS NOTED
Checked By: EWT 11/18/20
Sheet No: 5 of
SMH-105 TO SMH-106
8" SDR
Run Length: 180 LF

| HUB # | RUN STATION | HUB ELEV. | PROP. ELEV. | CUT | FILL | REMARKS | REMARKS | SLOPE |
|-------|-------------|--------------|----------------|-------|------|----------------|------------|--------|
| 679 | 0+00 | 18.76 | 7.87 | 10.89 | -- | 35' OS SMH-105 | INVERT IN | 0.0050 |
| 761 | 0+25 | 18.34 | 7.99 | 10.35 | -- | 20' OS SEWER | INVERT | 0.0050 |
| 762 | 0+50 | 17.49 | 8.12 | 9.37 | -- | 20' OS SEWER | INVERT | 0.0050 |
| 763 | 1+00 | 16.73 | 8.37 | 8.36 | -- | 20' OS SEWER | INVERT | 0.0050 |
| 764 | 1+80 | 17.08 | 8.77 | 8.31 | -- | 20' OS SMH-106 | INVERT OUT | 0.0050 |
| 765 | 1+80 | 16.91 | 8.77 | 8.14 | -- | 20' OS SMH-106 | INVERT OUT | 0.0050 |
| 679 | 0+00 | 18.76 | 17.58 | 1.18 | -- | 20' OS SMH-105 | RIM | |
| 764 | 1+80 | 17.08 | 17.33 | -- | 0.25 | 20' OS SMH-106 | RIM | |

| LATERAL STATION | Offset Dist | Offset Direction | LOT/UNIT NO. |
|-----------------|-------------|------------------|--------------|
| 0+04.9 | 32.3 | Left | LOT 11 |
| 0+75.6 | 32.2 | Left | LOT 10 |
| 1+55.6 | 32.1 | Left | LOT 9 |



Christopher D. Waters

SUSSEX COUNTY ENGINEERING DEPARTMENT

☒ NO EXCEPTIONS TAKEN ☐ NOT ACCEPTABLE
☐ COMMENTS NOTED ☐ AMEND AND RESUBMIT
☐ NO ACTION TAKEN

VIEW FOR GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS. NO RESPONSIBILITY IS ASSUMED FOR CORRECTNESS OF DIMENSIONS, DETAIL OR QUANTITIES. NO CONTRACT REQUIREMENTS ARE WAIVED.

11/20/20
DATE

BY



DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
601 East Main Street, Suite 100, Salisbury, MD 21804
Phone: 410-543-9091 Fax: 410-543-7675

GRAVITY SEWER CUT SHEET

DBF Project # 1319A045
Grade To: INVERT, RIM
Prep By: REO
Date Staked: 11/16/2020

Project: OUTER BANKS
Offset: AS NOTED
Checked By: EWT 11/18/20
Sheet No: 6 of
SMH-106 TO SMH-107
8" SDR
Run Length: 75LF

| HUB # | RUN STATION | HUB ELEV. | PROP. ELEV. | CUT | FILL | REMARKS | REMARKS | SLOPE |
|-------|-------------|--------------|----------------|------|------|----------------|------------|--------|
| 764 | 0+00 | 17.08 | 8.87 | 8.21 | -- | 20' OS SMH-106 | INVERT IN | 0.0050 |
| 765 | 0+00 | 16.91 | 8.87 | 8.04 | -- | 20' OS SMH-106 | INVERT IN | 0.0050 |
| 766 | 0+25 | 17.38 | 8.99 | 8.39 | -- | 20' OS SEWER | INVERT | 0.0050 |
| 767 | 0+50 | 17.26 | 9.12 | 8.14 | -- | 20' OS SEWER | INVERT | 0.0050 |
| 768 | 0+75 | 16.91 | 9.24 | 7.67 | -- | 20' OS SMH-107 | INVERT OUT | 0.0050 |
| 769 | 0+75 | 16.95 | 9.24 | 7.71 | -- | 20' OS SMH-107 | INVERT OUT | 0.0050 |
| 764 | 0+00 | 17.08 | 17.33 | -- | 0.25 | 20' OS SMH-106 | RIM | |
| 768 | 0+75 | 16.91 | 17.72 | -- | 0.81 | 20' OS SMH-107 | RIM | |

| LATERAL STATION | Offset Dist | Offset Direction | LOT/UNIT NO. |
|-----------------|-------------|------------------|--------------|
| 0+25.9 | 15.6 | Right | LOT 4 |
| 0+44.1 | 36.9 | Left | LOT 8 |



Christopher D. Waters

SUSSEX COUNTY ENGINEERING DEPARTMENT

☒ NO EXCEPTIONS TAKEN ☐ NOT ACCEPTABLE
☐ COMMENTS NOTED ☐ AMEND AND RESUBMIT
☐ NO ACTION TAKEN

VIEW FOR GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS. NO RESPONSIBILITY IS ASSUMED FOR CORRECTIONS OF DIMENSIONS, DETAIL OR QUANTITIES. NO CONTRACT DOCUMENTS ARE WAIVED.

11/20/20
DATE BY



DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
601 East Main Street, Suite 100, Salisbury, MD 21804
Phone: 410-543-9091 Fax: 410-543-7675

GRAVITY SEWER CUT SHEET

DBF Project # 1319A045
Grade To: INVERT, RIM
Prep By: REO
Date Staked: 11/16/2020

Project: OUTER BANKS
Offset: AS NOTED
Checked By: EWT 11/18/20
Sheet No: 7

SMH-107 TO SMH-108
8" SDR
Run Length: 75LF

| HUB # | RUN STATION | HUB ELEV. | PROP. ELEV. | CUT | FILL | REMARKS | REMARKS | SLOPE |
|-------|-------------|--------------|----------------|------|------|----------------|------------|--------|
| 768 | 0+00 | 16.91 | 9.34 | 7.57 | -- | 20' OS SMH-107 | INVERT IN | 0.0050 |
| 769 | 0+00 | 16.95 | 9.34 | 7.61 | -- | 20' OS SMH-107 | INVERT IN | 0.0050 |
| 770 | 0+25 | 17.29 | 9.46 | 7.83 | -- | 20' OS SEWER | INVERT | 0.0050 |
| 771 | 0+50 | 15.20 | 9.59 | 5.61 | -- | 20' OS SEWER | INVERT | 0.0050 |
| 772 | 0+75 | 17.21 | 9.72 | 7.49 | -- | 20' OS SMH-108 | INVERT OUT | 0.0050 |
| 773 | 0+75 | 17.11 | 9.72 | 7.39 | -- | 20' OS SMH-108 | INVERT OUT | 0.0050 |
| 768 | 0+00 | 16.91 | 17.72 | -- | 0.81 | 20' OS SMH-107 | RIM | |
| 772 | 0+75 | 17.21 | 17.79 | -- | 0.58 | 20' OS SMH-108 | RIM | |

| LATERAL STATION | Offset Dist | Offset Direction | LOT/UNIT NO. |
|-----------------|-------------|------------------|--------------|
| 0+18.0 | 35.9 | Left | LOT 7 |



SUSSEX COUNTY ENGINEERING DEPARTMENT

☒ NO EXCEPTIONS TAKEN ☐ NOT ACCEPTABLE
☐ COMMENTS NOTED ☐ AMEND AND RESUBMIT
☐ NO ACTION TAKEN

VIEW FOR GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS. NO RESPONSIBILITY IS ASSUMED FOR COMPLESS OF DIMENSIONS, DETAIL OR QUANTITIES. NO CONTRACTOR'S CLAIMS ARE WAIVED.

11/20/20
DATE

BY



DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
601 East Main Street, Suite 100, Salisbury, MD 21804
Phone: 410-543-9091 Fax: 410-543-7675

GRAVITY SEWER CUT SHEET

DBF Project # 1319A045
Grade To: INVERT,RIM
Prep By: REO
Date Staked: 11/16/2020

Project: OUTER BANKS
Offset: AS NOTED
Checked By: EWT 11/18/20
Sheet No: 8 of
SMH-108 TO SMH-109
8" SDR
Run Length: 113LF

| HUB # | RUN STATION | HUB ELEV. | PROP. ELEV. | CUT | FILL | REMARKS | REMARKS | SLOPE |
|-------|-------------|--------------|----------------|------|------|----------------|------------|--------|
| 772 | 0+00 | 17.21 | 9.82 | 7.39 | -- | 20' OS SMH-108 | INVERT IN | 0.0050 |
| 773 | 0+00 | 17.11 | 9.82 | 7.29 | -- | 20' OS SMH-108 | INVERT IN | 0.0050 |
| 774 | 0+25 | 17.63 | 9.94 | 7.69 | -- | 20' OS SEWER | INVERT | 0.0050 |
| 775 | 0+50 | 18.11 | 10.07 | 8.04 | -- | 20' OS SEWER | INVERT | 0.0050 |
| 776 | 1+00 | 16.58 | 10.32 | 6.26 | -- | 20' OS SEWER | INVERT | 0.0050 |
| 777 | 1+13 | 15.68 | 10.38 | 5.30 | -- | 20' OS SMH-109 | INVERT OUT | 0.0050 |
| 778 | 1+13 | 13.84 | 10.38 | 3.46 | -- | 20' OS SMH-109 | INVERT OUT | 0.0050 |
| 772 | 0+00 | 17.21 | 17.79 | -- | 0.58 | 20' OS SMH-108 | RIM | |
| 777 | 1+13 | 15.68 | 16.99 | -- | 1.31 | 20' OS SMH-109 | RIM | |

| LATERAL STATION | Offset Dist | Offset Direction | LOT/UNIT NO. |
|-----------------|-------------|------------------|--------------|
| 0+34.4 | 32.3 | Left | LOT 6 |
| 1+03.7 | 19.2 | Right | AMENITY |
| 1+10.6 | 31.7 | Left | LOT 5 |



Christopher D. Waters

SUSSEX COUNTY ENGINEERING DEPARTMENT
☒ NO EXCEPTIONS TAKEN
☒ COMMENTS NOTED
☐ NO ACTION TAKEN
☐ NOT ACCEPTABLE
☐ AMEND AND RESUBMIT

VIEW FOR GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS. NO RESPONSIBILITY IS ASSUMED FOR CORRECTION OF DIMENSIONS, DETAIL OR QUANTITIES. NO CONTRACTOR'S WARRANTIES ARE WAIVED.

11/20/20
DATE

[Signature]
BY

DELDOT RECORD NOTES

1. NO LANDSCAPING SHALL BE ALLOWED WITHIN R/W UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL (DCM).
2. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
3. SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
4. UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S SHARED-USE PATH AND/OR SIDEWALK TERMINATION POLICY.
5. PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 §131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
6. THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SIDEWALK.
7. ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION STREET.
8. DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
9. TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
10. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
11. A PERPETUAL CROSS ACCESS INGRESS/EGRESS EASEMENT HEREBY ESTABLISHED AS SHOWN ON THIS PLAN.
12. AN ENTRANCE PERMIT SHALL NOT BE ISSUED UNTIL SUCH TIME ALL THE REQUIRED RIGHTS-OF-WAY/EASEMENTS HAVE BEEN ACQUIRED AND THE ACQUISITION DEEDS RECORDED IN THE SUSSEX COUNTY RECORDER OF DEEDS OFFICE.

CONDITIONS OF APPROVAL
(CZ 1876, AND CU 2169)

- A. THE MAXIMUM NUMBER OF RESIDENTIAL UNITS SHALL BE 24.
- B. THE APPLICANT SHALL FORM A HOMEOWNERS OR CONDOMINIUM ASSOCIATION RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF THE DEVELOPMENT ROADWAY, BUFFERS, STORMWATER MANAGEMENT FACILITIES, EROSION, AND SEDIMENTATION CONTROL FACILITIES, AND OTHER COMMON AREAS.
- C. ALL ENTRANCE, INTERSECTION, ROADWAY, AND MULTI-MODAL IMPROVEMENTS SHALL BE COMPLETED BY THE DEVELOPER IN ACCORDANCE WITH ALL DELDOT REQUIREMENTS.
- D. THE PROJECT SHALL BE SERVED BY SUSSEX COUNTY SEWER. THE DEVELOPER SHALL COMPLY WITH ALL SUSSEX COUNTY ENGINEERING DEPARTMENT REQUIREMENTS INCLUDING ANY OFF-SITE UPGRADES NECESSARY TO PROVIDE SERVICE TO THE PROJECT.
- E. THE PROJECT SHALL BE SERVED BY CENTRAL WATER TO PROVIDE DRINKING WATER AND FIRE PROTECTION.
- F. THERE SHALL BE A VEGETATED OR FORESTED BUFFER OF AT LEAST 20- FEET IN WIDTH AS SHOWN ON THE PRELIMINARY PLAN.
- G. AS STATED BY THE APPLICANT:
 1. A BUILDING SETBACK LINE (BSL) BEHIND THE CURRENT LOCATION OF HOMES #8 THROUGH #14 SHALL BE 35 FEET FROM THE PERIMETER PROPERTY LINE. THE BSL SHALL BE AS SHOWN ON THE ATTACHED PLOT. THE BSL SHALL BE APPLICABLE TO ALL STRUCTURES INCLUDING PORCHES, SUNROOMS, DECKS AND PATIOS (ATTACHMENT TO FINAL ORDINANCE).
 2. ALL HOMES CONSTRUCTED ADJACENT TO THE BSL SHALL BE RESTRICTED TO A MAXIMUM HEIGHT OF 28 FEET.
 3. ALL HOMES CONSTRUCTED ADJACENT TO THE BSL SHALL HAVE NO WINDOWS ON THE 2ND FLOOR IN THE REAR ELEVATION OVERLOOKING THE REAR YARD THAT ARE LESS THAN 5 FEET ABOVE THE FLOOR SURFACE OF THAT 2ND FLOOR.
 4. THE APPLICANT (OR HIS DESIGNEE) SHALL ASSUME RESPONSIBILITY FOR IMPLEMENTATION OF THE LANDSCAPE BUFFER PLANTINGS ON VILLAGES OF FIVE POINTS (VOFP) PROPERTY IN COMPLIANCE WITH AN ANTICIPATED MODIFIED VOFP PROPERTY OWNERS ASSOCIATION (POA) MASTER LANDSCAPE PLAN ALONG THE 772 FOOT COMMON BOUNDARY BETWEEN VOFP EAST AND 1525 SAVANNAH ROAD AND ASSUMES THE EXPENSES FOR MAINTENANCE OF THE PLANTINGS FOR ONE YEAR. AFTER ONE YEAR, THE VOFP POA ACCEPTS RESPONSIBILITY FOR ALL MAINTENANCE OF PLANTINGS. THE EXISTING VOFP POA MASTER LANDSCAPE ARCHITECT AND APPROVED FOR IMPLEMENTATION THROUGH THE VOFP POA GROUNDS COMPLIANCE PROCESS. THE VOFP POA LANDSCAPE ARCHITECT AND APPLICANT (OR HIS DESIGNEE) WILL ADHERE TO A BUDGET OF NO MORE THAN \$25,000 FOR THE IMPLEMENTATION OF THE MODIFIED VOFP POA MASTER LANDSCAPE PLAN. THE ADDITIONAL SCREENING/TREE DENSITY OFFERED WILL ENHANCE PROPERTY SITE LINES FOR THE HOMEOWNERS IN THE VOFP AND IN THE PROPOSED COMMUNITY. PLAN IMPLEMENTATION SHALL BE MADE IN ACCORDANCE WITH VOFP POA APPROVED COMPLIANCE PROCESS AND WITHIN 30 DAYS AFTER THE SETTLEMENT OF THE SALE OF THE 5TH FINISHED HOME TO AN END BUYER (NOT A MODEL HOME).
- H. THE APPLICANT SHALL SUBMIT AS PART OF THE FINAL SITE PLAN A LANDSCAPE PLAN SHOWING THE PROPOSED TREE AND SHRUB LANDSCAPE DESIGN, INCLUDING THE BUFFER AREAS.
- I. CONSTRUCTION AND SITE WORK ON THE PROPERTY, INCLUDING DELIVERIES OF MATERIALS TO OR FROM THE PROPERTY, SHALL ONLY OCCUR BETWEEN 8:00 A.M. AND 6:00 P.M. MONDAY THROUGH FRIDAY, AND BETWEEN 8:00 A.M. AND 6:00 P.M. SATURDAYS BETWEEN LABOR DAY AND MEMORIAL DAY. THERE SHALL BE NO CONSTRUCTION ACTIVITIES AT THE SITE ON SUNDAYS.
- J. AS STATED BY THE APPLICANT, THERE SHALL BE A SIDEWALK ALONG THE WESTERN AND NORTHERN SIDE OF THE DEVELOPMENT'S ROADWAY AND IN FRONT OF THE HOMES IDENTIFIED AS UNITS 20 THROUGH 24 ON THE PRELIMINARY SITE PLAN.
- K. STREET NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE COUNTY MAPPING AND ADDRESSING DEPARTMENTS.
- L. THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX COUNTY CONSERVATION DISTRICT FOR THE DESIGN AND LOCATION OF ALL STORMWATER MANAGEMENT AREAS AND EROSION AND SEDIMENTATION CONTROL FACILITIES.
- M. THERE SHALL BE TWELVE (12) ADDITIONAL OFF-STREET PARKING SPACES PROVIDED WITHIN THE SITE FOR VISITOR PARKING. THESE SPACES SHALL BE SHOWN ON THE FINAL SITE PLAN.
- N. ALL STREETLIGHTS SHALL BE DOWNWARD SCREENED SO THAT THEY DO NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
- O. THE STREET SHALL MEET OR EXCEED COUNTY ROAD STANDARDS AND DESIGN REQUIREMENTS.
- P. THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.

SITE TRIPS GENERATED - PROPOSED

| TYPE OF DEV. | ITE CODE | UNITS | AM | PM | WKDY ADT |
|---------------------|----------|-------|----|----|----------|
| SINGLE FAMILY HOMES | 210 | 24 | 22 | 26 | 280 |

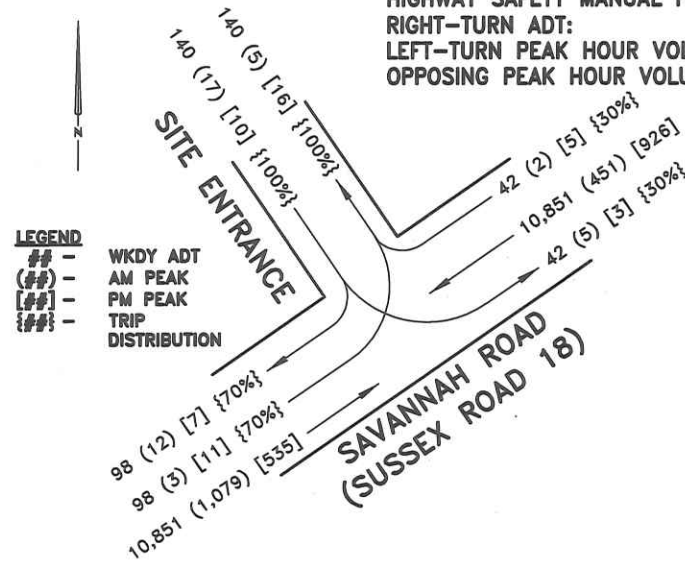
NOTES:

1. DESIGN VEHICLE: SU-30
2. SAVANNAH ROAD PEAK HOUR VOLUMES AND DISTRIBUTIONS BASED ON 9/15/2015 DELDOT TRAFFIC COUNT AT SAVANNAH ROAD @ WESCOATS ROAD, WITH A GROWTH OF 1.16 APPLIED

ROAD SAVANNAH ROAD (SUSSEX COUNTY ROAD 018)

| | |
|---|-------------|
| FUNCTIONAL CLASSIFICATION - MAJOR COLLECTOR | |
| AADT (2018 DELAWARE VEHICLE VOLUME SUMMARY) | = 18,709 |
| 10 YR PROJECTED AADT = 1.16 X 18,709 | = 21,702 |
| 10 YR PROJECTED AADT + SITE ADT E OF SITE (84) | = 21,786 |
| 10 YR PROJECTED AADT + SITE ADT W OF SITE (196) | = 21,898 |
| AM PEAK HOUR | = 1,530 |
| DIRECTIONAL SPLIT = 70.51% (EB) / 29.49% (WB) | = 1,079/451 |
| PM PEAK HOUR | = 1,461 |
| DIRECTIONAL SPLIT = 36.62% (EB) / 63.38% (WB) | = 535/926 |
| 9.69% TRUCK % X 1,530 (HIGHEST PEAK HOUR) | = 148 |
| SPEED POSTED | = 35 |
| TRAFFIC PATTERN GROUP - | = 8 |

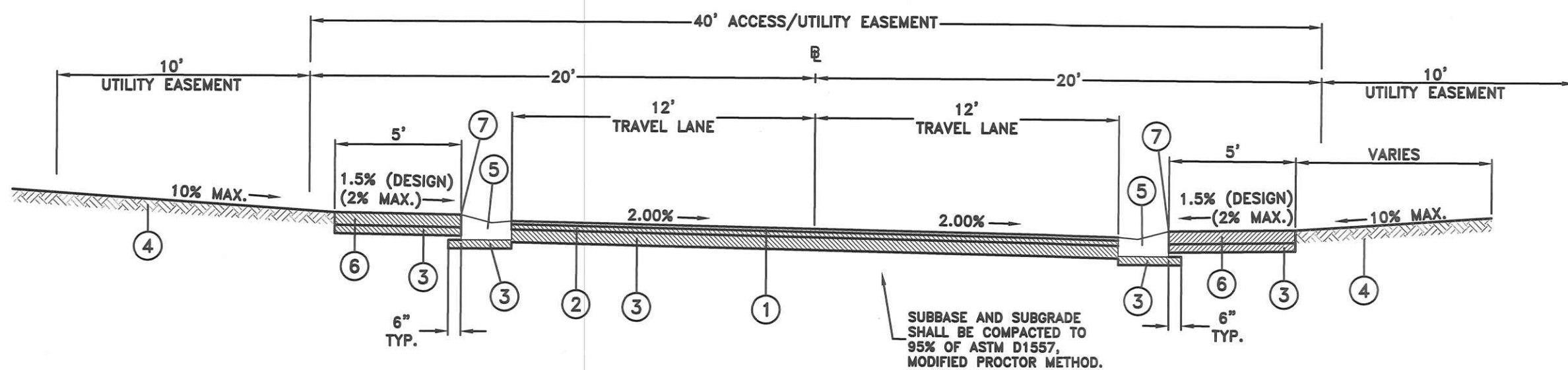
SITE ACCESS DESIGN VOLUMES
SAVANNAH ROAD: 2028 AADT (HIGHEST LEG PER
HIGHWAY SAFETY MANUAL PAGE 10-8) = 21,898
RIGHT-TURN ADT: = 42
LEFT-TURN PEAK HOUR VOLUME = 11
OPPOSING PEAK HOUR VOLUMES = 931



CATCHING COVE RECORD PLANS LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DELAWARE

DBF PROJECT NO. 1541A002
REVISED 2020-8-27

SUSSEX COUNTY SITE PLAN #S-20-31



TYPICAL TYPE I RESIDENTIAL SECTION

SCALE: 1"=5'

DATA COLUMN

TAX MAP ID: 335-12.06-1.00
DEED REFERENCE: DEED BOOK 5143, PAGE 31
ADDRESS: 1525 SAVANNAH RD LEWES, DE 19958
EXISTING ZONING: AR-1 (AGRICULTURAL RESIDENTIAL DISTRICT)
PROPOSED ZONING: MR (MEDIUM DENSITY RESIDENTIAL DISTRICT) WITH CONDITIONAL USE FOR CONDOMINIUM DEVELOPMENT

CURRENT USE: VACANT
PROPOSED USE: RESIDENTIAL-SINGLE FAMILY CONDOMINIUMS

STATE INVESTMENT LEVEL: LEVEL 2

SUSSEX COUNTY GOVERNMENT RESPONSIBLE FOR LAND USE APPROVAL

| | |
|--------------------------------|------------------|
| AREAS | |
| GROSS AREA: | 6.113 AC.± |
| DELDOT RIGHT-OF-WAY DEDICATION | 0.037 AC.± |
| NET AREA: | 6.076 AC.± |
| ACCESS & UTILITY EASEMENT | 1.132 AC.± |
| CONDOMINIUM HOUSE AREA | 1.396 AC.± |
| PASSIVE OPEN SPACE | 3.548 AC.± (58%) |

| | |
|-------------------------|---------------------|
| LOTS/UNITS | |
| PROPOSED NO.: | 24 |
| PERMITTED MAX. DENSITY: | 4 UNITS PER ACRE |
| PROPOSED DENSITY: | 3.92 UNITS PER ACRE |

| | |
|-----------------------|--------|
| BUILDING SETBACKS | |
| MIN. FRONT YARD: | 40 FT. |
| MIN. SIDE YARD: | 10 FT. |
| MIN. REAR YARD: | 10 FT. |
| MAX. BUILDING HEIGHT: | 28 FT. |

| | |
|-----------------|--------------------------|
| UTILITIES | |
| SANITARY SEWER: | SUSSEX COUNTY SEWER |
| WATER SUPPLY: | TIDEWATER UTILITIES, INC |

| | |
|-------------|-------------------------|
| DATUM | |
| VERTICAL: | NAVD 88 |
| HORIZONTAL: | NAD 83 (DE STATE PLANE) |

BOUNDARY & TOPOGRAPHY: BOUNDARY AND TOPOGRAPHY HAS BEEN PREPARED BY DAVIS, BOWEN, & FRIEDEL, INC. IN NOVEMBER OF 2018.

FLOODPLAIN: THE PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA MAP 10005C0193K (DATED MARCH 16, 2015). THE PROPERTY LIES IN ZONE X AND IS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

WETLANDS: THE PROPERTY IS NOT IMPACTED BY TIDAL OR "404" FEDERAL NON-TIDAL WETLANDS.

NATURAL AND HISTORICAL: THE SITE CONTAINS NO KNOWN ARCHAEOLOGICAL SITES IDENTIFIED BY THE STATE OF DELAWARE.

FEATURES:

PROXIMITY TO IDENTIFIED TRANSPORTATION IMPROVEMENT DISTRICTS (TID): 2,000 FT. ± FROM HENLOPEN TID (UNDER CONSTRUCTION)

OWNER
ROBERT M. REED & DEBORA A. REED
20495 LINCOLN STREET
REHOBOTH BEACH, DE 19971

ENGINEER
DAVIS, BOWEN, & FRIEDEL, INC.
1 PARK AVENUE
MILFORD, DE 19963
PHONE: 302-424-1441

INDEX OF SHEETS

| R-01 | RECORD TITLE |
|------|--------------|
| R-02 | RECORD PLAN |

LEGEND

- 1 BITUMINOUS CONCRETE, SUPERPAVE, TYPE 'C', PG 64-22, 160 GYRATIONS (CARBONATE STONE)
- 2 BITUMINOUS CONCRETE, SUPERPAVE, TYPE 'B', PG 64-22, 160 GYRATIONS
- 3 GRADED AGGREGATE BASE COURSE, TYPE 'B'
- 4 TOPSOIL (6" DEPTH), PERMANENT GRASS SEEDING, DRY GROUND
- 5 INTEGRAL P.C.C. CURB AND GUTTER, TYPE 2 OR INTEGRAL P.C.C. CURB AND GUTTER, TYPE 2 MODIFIED
- 6 4" CONCRETE, CLASS A, 4500 PSI
- 7 EXPANSION JOINT, AASHTO M 153, TYPE IV, POLYURETHANE BOUNDED RECYCLED RUBBER

LOCATION MAP

1" = 1000'

NWI WETLANDS

1" = 1000'

FEMA FLOOD MAP

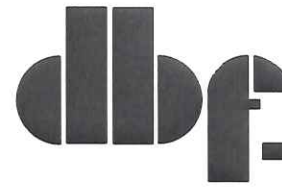
PANEL #10005C0193K SCALE: 1" = 1000'

SOILS MAP

1" = 500'

SOILS DATA

| LABEL | SOIL NAME |
|-------|--------------------------------|
| DoA | DOWNER SANDY LOAM, 0-2% SLOPES |
| GrA | GREENWICH LOAM, 0-2% SLOPES |



DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS, ENGINEERS & SURVEYORS

MILFORD, DELAWARE (302) 424-1441

SUSSEX CONSERVATION DISTRICT



APPROVED

SEDIMENT CONTROL & STORMWATER MANAGEMENT

Reviewed by:

Date:

Approved by: *[Signature]* 12/22/20

OWNER'S STATEMENT

I, THE UNDERSIGNED, HEREBY STATE THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THE PLAN WAS MADE AT MY DIRECTION, I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN BE RECORDED ACCORDING TO LAW.

[Signature]
THE ROBERT M. REED REHOBOTH
IRREVOCABLE TRUST
130 BREAKWATER REACH
LEWES, DE 19958

[Signature]
DATE

ENGINEER'S STATEMENT

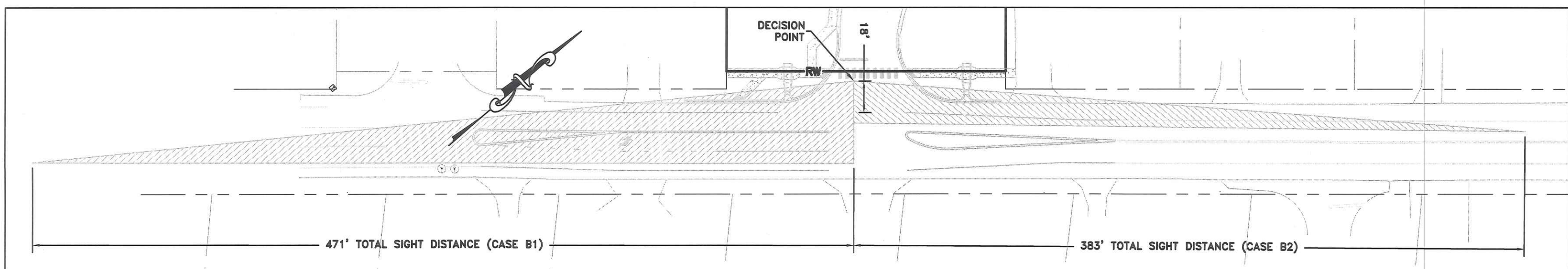
I, JAMIE L. SECHLER, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

[Signature]
by JAMIE L. SECHLER, P.E.
DAVIS, BOWEN & FRIEDEL, INC.
1 PARK AVENUE
MILFORD, DELAWARE, 19963

[Signature]
DATE

SAVANNAH RD. (SCR 018) SIGHT DISTANCE ANALYSIS

SCALE: 1"=30'



| 11,265 SF PERMANENT UTILITY EASEMENT DEDICATED TO TIDEWATER UTILITIES, INC. | | | | |
|---|---------------|----------|--------------|---------------|
| LINE | BEARING | DISTANCE | CHORD LENGTH | CHORD BEARING |
| TW1 | S 42°43'40" W | 15.00' | | |
| TW2 | N 49°08'21" W | 660.79' | | |
| TW3 | N 41°01'33" E | 15.00' | | |
| TW4 | S 49°08'21" E | 180.50' | | |
| TW5 | N 40°51'39" E | 90.39' | | |
| TW6 | S 49°08'21" E | 10.04' | | |
| TW7 | S 49°08'21" W | 90.20' | | |
| TW8 | S 49°08'21" E | 465.22' | | |
| TW9 | S 49°08'21" E | 465.22' | | |
| TW10 | S 49°08'21" E | 465.22' | | |
| TW11 | S 49°08'21" E | 465.22' | | |
| TW12 | S 49°08'21" E | 465.22' | | |
| TW13 | S 49°08'21" E | 465.22' | | |
| TW14 | S 49°08'21" E | 465.22' | | |
| TW15 | S 49°08'21" E | 465.22' | | |
| TW16 | S 49°08'21" E | 465.22' | | |
| TW17 | S 49°08'21" E | 465.22' | | |
| TW18 | S 49°08'21" E | 465.22' | | |
| TW19 | S 49°08'21" E | 465.22' | | |
| TW20 | S 49°08'21" E | 465.22' | | |
| TW21 | S 49°08'21" E | 465.22' | | |
| TW22 | S 49°08'21" E | 465.22' | | |
| TW23 | S 49°08'21" E | 465.22' | | |
| TW24 | S 49°08'21" E | 465.22' | | |
| TW25 | S 49°08'21" E | 465.22' | | |
| TW26 | S 49°08'21" E | 465.22' | | |
| TW27 | S 49°08'21" E | 465.22' | | |
| TW28 | S 49°08'21" E | 465.22' | | |
| TW29 | S 49°08'21" E | 465.22' | | |
| TW30 | S 49°08'21" E | 465.22' | | |
| TW31 | S 49°08'21" E | 465.22' | | |
| TW32 | S 49°08'21" E | 465.22' | | |
| TW33 | S 49°08'21" E | 465.22' | | |
| TW34 | S 49°08'21" E | 465.22' | | |
| TW35 | S 49°08'21" E | 465.22' | | |
| TW36 | S 49°08'21" E | 465.22' | | |
| TW37 | S 49°08'21" E | 465.22' | | |
| TW38 | S 49°08'21" E | 465.22' | | |
| TW39 | S 49°08'21" E | 465.22' | | |
| TW40 | S 49°08'21" E | 465.22' | | |
| TW41 | S 49°08'21" E | 465.22' | | |
| TW42 | S 49°08'21" E | 465.22' | | |
| TW43 | S 49°08'21" E | 465.22' | | |
| TW44 | S 49°08'21" E | 465.22' | | |
| TW45 | S 49°08'21" E | 465.22' | | |
| TW46 | S 49°08'21" E | 465.22' | | |
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| TW48 | S 49°08'21" E | 465.22' | | |
| TW49 | S 49°08'21" E | 465.22' | | |
| TW50 | S 49°08'21" E | 465.22' | | |
| TW51 | S 49°08'21" E | 465.22' | | |
| TW52 | S 49°08'21" E | 465.22' | | |
| TW53 | S 49°08'21" E | 465.22' | | |
| TW54 | S 49°08'21" E | 465.22' | | |
| TW55 | S 49°08'21" E | 465.22' | | |
| TW56 | S 49°08'21" E | 465.22' | | |
| TW57 | S 49°08'21" E | 465.22' | | |
| TW58 | S 49°08'21" E | 465.22' | | |
| TW59 | S 49°08'21" E | 465.22' | | |
| TW60 | S 49°08'21" E | 465.22' | | |
| TW61 | S 49°08'21" E | 465.22' | | |
| TW62 | S 49°08'21" E | 465.22' | | |
| TW63 | S 49°08'21" E | 465.22' | | |
| TW64 | S 49°08'21" E | 465.22' | | |
| TW65 | S 49°08'21" E | 465.22' | | |
| TW66 | S 49°08'21" E | 465.22' | | |
| TW67 | S 49°08'21" E | 465.22' | | |
| TW68 | S 49°08'21" E | 465.22' | | |
| TW69 | S 49°08'21" E | 465.22' | | |
| TW70 | S 49°08'21" E | 465.22' | | |
| TW71 | S 49°08'21" E | 465.22' | | |
| TW72 | S 49°08'21" E | 465.22' | | |
| TW73 | S 49°08'21" E | 465.22' | | |
| TW74 | S 49°08'21" E | 465.22' | | |
| TW75 | S 49°08'21" E | 465.22' | | |
| TW76 | S 49°08'21" E | 465.22' | | |
| TW77 | S 49°08'21" E | 465.22' | | |
| TW78 | S 49°08'21" E | 465.22' | | |
| TW79 | S 49°08'21" E | 465.22' | | |
| TW80 | S 49°08'21" E | 465.22' | | |
| TW81 | S 49°08'21" E | 465.22' | | |
| TW82 | S 49°08'21" E | 465.22' | | |
| TW83 | S 49°08'21" E | 465.22' | | |
| TW84 | S 49°08'21" E | 465.22' | | |
| TW85 | S 49°08'21" E | 465.22' | | |
| TW86 | S 49°08'21" E | 465.22' | | |
| TW87 | S 49°08'21" E | 465.22' | | |
| TW88 | S 49°08'21" E | 465.22' | | |
| TW89 | S 49°08'21" E | 465.22' | | |
| TW90 | S 49°08'21" E | 465.22' | | |
| TW91 | S 49°08'21" E | 465.22' | | |
| TW92 | S 49°08'21" E | 465.22' | | |
| TW93 | S 49°08'21" E | 465.22' | | |
| TW94 | S 49°08'21" E | 465.22' | | |
| TW95 | S 49°08'21" E | 465.22' | | |
| TW96 | S 49°08'21" E | 465.22' | | |
| TW97 | S 49°08'21" E | 465.22' | | |
| TW98 | S 49°08'21" E | 465.22' | | |
| TW99 | S 49°08'21" E | 465.22' | | |
| TW100 | S 49°08'21" E | 465.22' | | |

A 20 FOOT WIDE PERMANENT EASEMENT CONTAINING 826 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.

N/F
VIOLETTA M. ELLIOTT TRUSTEE
335-12.05-1.00
D 3780/255

A 15' WIDE PERMANENT EASEMENT IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE, AS PER THIS PLAT

60' EXIST. R.O.W.

SHOULDER

TRAVEL LANE

SHOULDER

TRAVEL LANE

SHOULDER

TRAVEL LANE

SHOULDER

TRAVEL LANE

STORMWATER FACILITY 1

STORMWATER FACILITY 2

STORMWATER FACILITY 3

STORMWATER FACILITY 4

STORMWATER FACILITY 5

STORMWATER FACILITY 6

STORMWATER FACILITY 7

STORMWATER FACILITY 8

STORMWATER FACILITY 9

STORMWATER FACILITY 10

STORMWATER FACILITY 11

STORMWATER FACILITY 12

STORMWATER FACILITY 13

STORMWATER FACILITY 14

STORMWATER FACILITY 15

STORMWATER FACILITY 16

STORMWATER FACILITY 17

STORMWATER FACILITY 18

STORMWATER FACILITY 19

STORMWATER FACILITY 20

STORMWATER FACILITY 21

STORMWATER FACILITY 22

STORMWATER FACILITY 23

STORMWATER FACILITY 24

STORMWATER FACILITY 25

STORMWATER FACILITY 26

STORMWATER FACILITY 27

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STORMWATER FACILITY 153

STORMWATER FACILITY 154

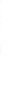
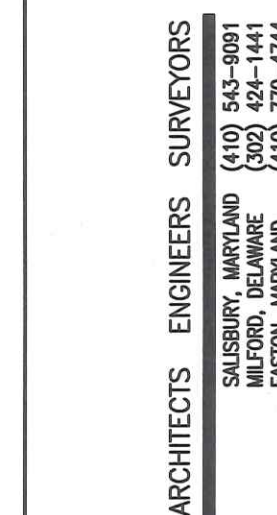
STORMWATER FACILITY 155

STORMWATER FACILITY 156

STORMWATER FACILITY 157

STORMWATER FACILITY 158

STORMWATER FACILITY 159



DAVIS,
BOWEN &
FRIEDEL, INC.

LANDSCAPE DI ANI

**CATCHING COVE
RESIDENTIAL SUBDIVISION
SUSSEX COUNTY, DELAWARE**

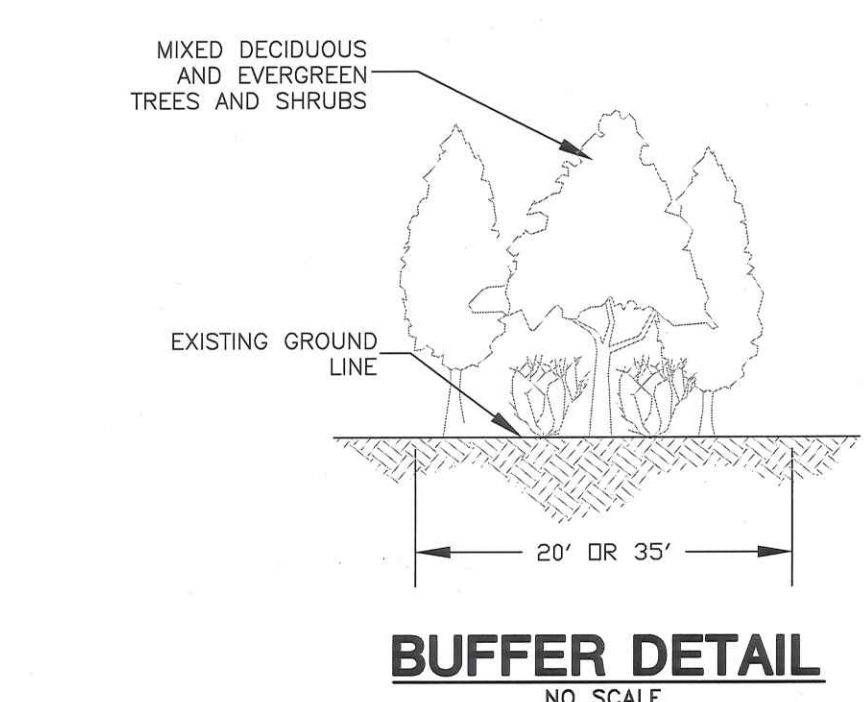
Revisions:
2020-02-19 SCDDate: **DECEMBER 2019**

Scale: $1''=40'$

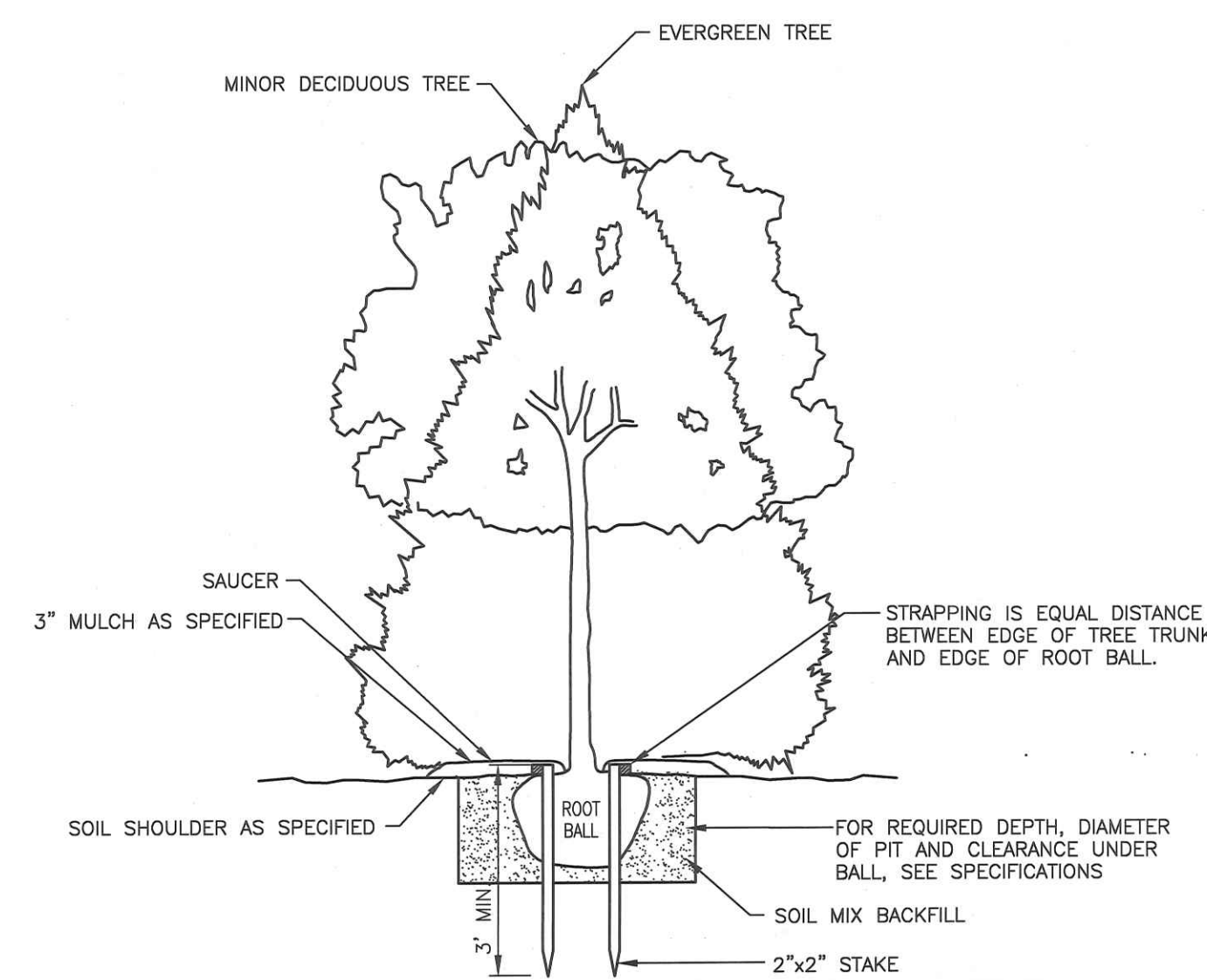
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| Dwn.By: | DJR |
| Proj. No.: | |

| | |
|-----------|----------|
| Proj.No.: | 1541A002 |
| Dwg.No.: | |

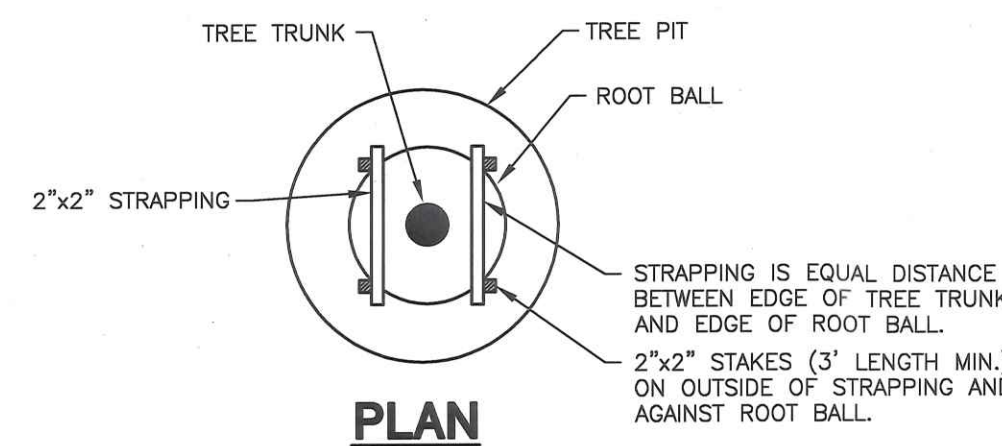
11



BUFFER DETAIL



SECTION



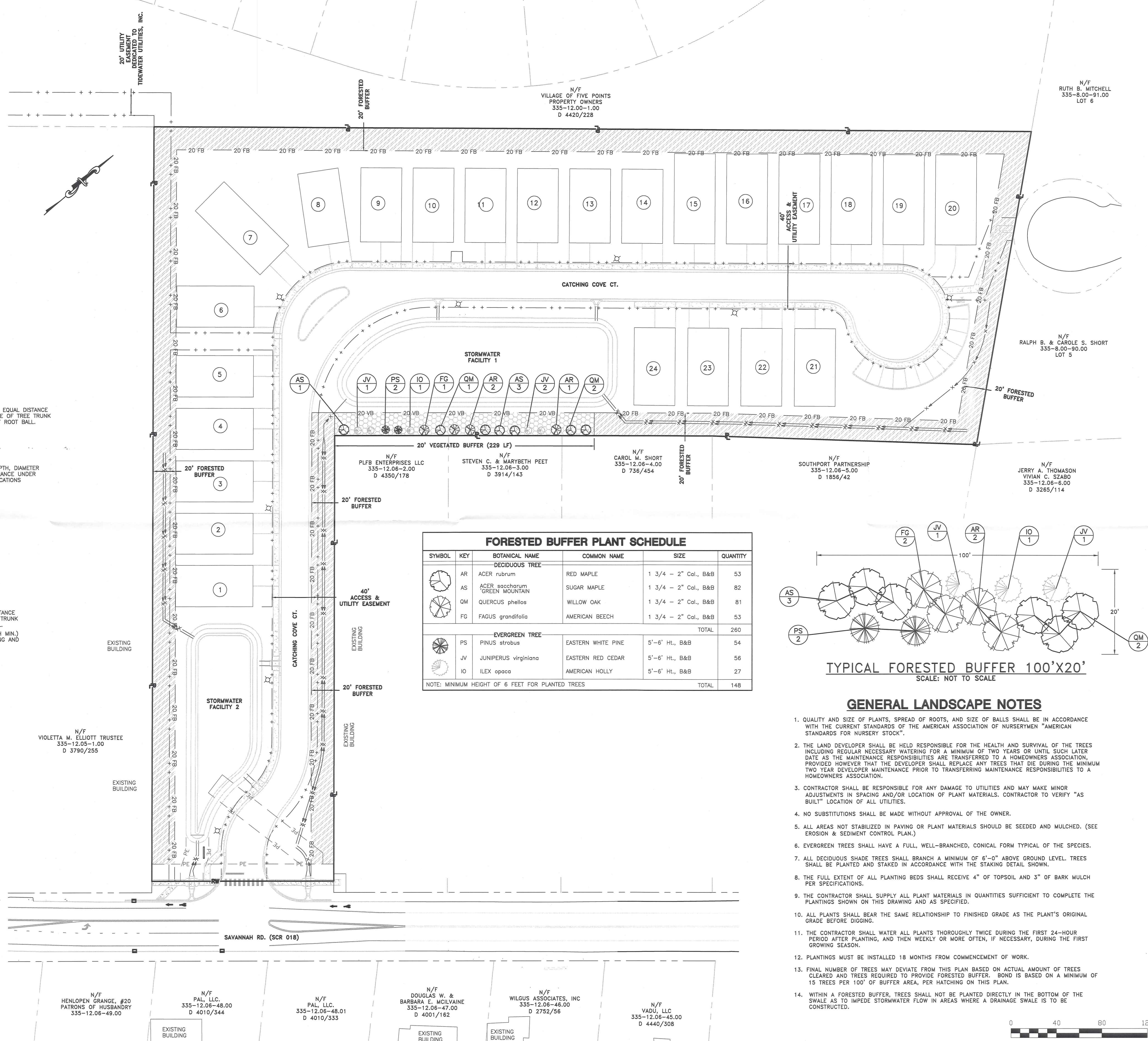
PLAN








TREE STAKING DETAIL
SCALE: NOT TO SCALE

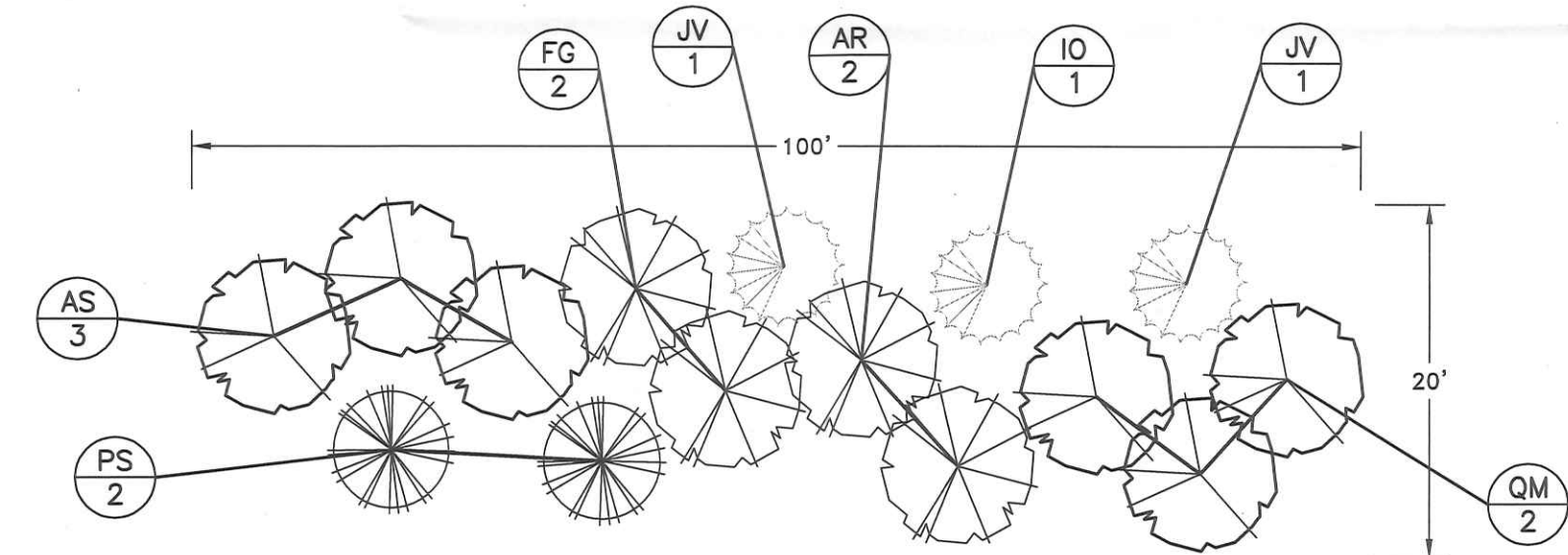
LANDSCAPE ARCHITECT'S STATEMENT

I, TIMOTHY W. METZNER, HEREBY STATE THAT I AM A REGISTERED LANDSCAPE ARCHITECT IN THE STATE OF DELAWARE THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD LANDSCAPE ARCHITECTURAL PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

by TIMOTHY M. METZNER.
DAVIS, BOWEN & FRIEDEL, INC.
1 PARK AVENUE
MILFORD, DELAWARE, 19963



| FORESTED BUFFER PLANT SCHEDULE | | | | | |
|---|-----|----------------------------------|--------------------|----------------------|-----------|
| SYMBOL | KEY | BOTANICAL NAME | COMMON NAME | SIZE | QUANTITY |
| DECIDUOUS TREE | | | | | |
|  | AR | ACER rubrum | RED MAPLE | 1 3/4 - 2" Cal., B&B | 53 |
|  | AS | ACER saccharum GREEN MOUNTAIN | SUGAR MAPLE | 1 3/4 - 2" Cal., B&B | 82 |
|  | QM | QUERCUS phellos | WILLOW OAK | 1 3/4 - 2" Cal., B&B | 81 |
|  | FG | FAGUS grandifolia | AMERICAN BEECH | 1 3/4 - 2" Cal., B&B | 53 |
| TOTAL | | | | | 260 |
| EVERGREEN TREE | | | | | |
|  | PS | PINUS strobus | EASTERN WHITE PINE | 5'-6" Ht., B&B | 54 |
|  | JV | JUNIPERUS virginiana | EASTERN RED CEDAR | 5'-6" Ht., B&B | 56 |
|  | IO | ILEX opaca | AMERICAN HOLLY | 5'-6" Ht., B&B | 27 |
| NOTE: MINIMUM HEIGHT OF 6 FEET FOR PLANTED TREES | | | | | TOTAL 148 |



TYPICAL FORESTED BUFFER 100'X20'
SCALE: NOT TO SCALE

GENERAL LANDSCAPE NOTES

1. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARD OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS" FOR NURSERY STOCK".
2. THE LAND DEVELOPER SHALL BE HELD RESPONSIBLE FOR THE HEALTH AND SURVIVAL OF THE TREES INCLUDING REGULAR NECESSARY WATERING FOR A MINIMUM OF TWO YEARS OR UNTIL SUCH LATER DATE AS THE MAINTENANCE RESPONSIBILITIES ARE TRANSFERRED TO A HOMEOWNERS ASSOCIATION, PROVIDED HOWEVER THAT THE DEVELOPER SHALL REPLACE ANY TREES THAT DIE DURING THE MINIMUM TWO YEAR DEVELOPER MAINTENANCE PRIOR TO TRANSFERRING MAINTENANCE RESPONSIBILITIES TO A HOMEOWNERS ASSOCIATION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
4. NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER.
5. ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN.)
6. EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
7. ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 6'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STAKING DETAIL SHOWN.
8. THE FULL EXTENT OF ALL PLANTING BEDS SHALL RECEIVE 4" OF TOPSOIL AND 3" OF BARK MULCH PER SPECIFICATIONS.
9. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
10. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
11. THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.
12. PLANTINGS MUST BE INSTALLED 18 MONTHS FROM COMMENCEMENT OF WORK.
13. FINAL NUMBER OF TREES MAY DEViate FROM THIS PLAN BASED ON ACTUAL AMOUNT OF TREES CLEARED AND TREES REQUIRED TO PROVIDE FORESTED BUFFER. BOND IS BASED ON A MINIMUM OF 15 TREES PER 100' OF BUFFER AREA, PER HATCHING ON THIS PLAN.
14. WITHIN A FORESTED BUFFER, TREES SHALL NOT BE PLANTED DIRECTLY IN THE BOTTOM OF THE SWALE AS TO IMPEDE STORMWATER FLOW IN AREAS WHERE A DRAINAGE SWALE IS TO BE CONSTRUCTED.

THIS DRAWING, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO DAVIS, BOWEN & FRIEDEL, INC., AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION. COPYRIGHT ©2019



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. Box 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

April 13, 2020

Mr. Zac Crouch
Davis, Bowen & Friedel, Inc.
23 North Walnut Street
Milford, Delaware 19963

SUBJECT: Entrance Plan Approval Letter
Catching Cove
Tax Parcel # 335-12.06-1.00
Savannah Road (SCR 018)
Lewes & Rehoboth Hundred, Sussex County

Dear Mr. Crouch:

The Department of Transportation has reviewed the Commercial Entrance Plans dated December, 2019 (last revised March 16, 2020) for the referenced project and determined that they are in general conformance with the Department's current regulations, specifications and standard details. By signing and sealing the plan set, the developer's engineer is responsible for accuracy of content. Any errors, omissions or required field changes will be the responsibility of the developer. This plan approval shall be valid a period of **three (3) years**. If an entrance permit has not been obtained within three years, then the plans must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. The following items will be required prior to the permit being issued. A pre-construction meeting may be required as determined by the South District Public Works office.

1. A copy of the recorded Site Plan which is consistent with the DelDOT "No Objection to Recordation" stamped plan and all appropriate signatures, seals, plot book and page number.
2. Three (3) copies of the approved entrance plans.
3. Completed permit application.
4. Executed agreements (i.e. construction, signal, letter).
5. An itemized construction cost estimate.
6. A 150% security based upon an approved itemized construction cost estimate and W-9 form (if providing escrow).
7. A letter of source of materials, work schedule, list of subcontractors, emergency telephone numbers and names of contact persons.

Catching Cove
Mr. Crouch
Page 2
April 13, 2020

Please contact the South District Public Works office (302) 853-1340 concerning any questions you may have relative to the aforementioned required items.

Sincerely,



Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

cc: Bob Reed, Bob and Debbie Reed RE/Max Reality Group
Jamie Whitehouse, Sussex County Planning & Zoning Commission
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Gemez Norwood, South District Public Work Manager
James Argo, South District Project Reviewer
Robert Bragg, South District Subdivision Manager
Jerry Nagyiski, Safety Officer Supervisor
Chris Sylvester, Traffic Studies Manager
Jennifer Pinkerton, Chief Materials & Research Engineer
Linda Osiecki, Pedestrian Coordinator
John Fiori, Bicycle Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kaufman, DTC Planner
James Kelley, JMT
Todd Sammons, Subdivision Engineer
Brian Yates, Sussex County Reviewer



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

RECEIVED

NOV 06 2020

SUSSEX COUNTY
PLANNING & ZONING

April 09, 2020

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

SUBJECT: Letter of No Objection to Recordation
Catching Cove
Tax Parcel # 335-12.06-1.00
Savannah Road (SCR 018)
Lewes & Rehoboth Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Site Plan, dated December 2019 (last revised March 16, 2020), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawings. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Site Plan is not recorded prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. Entrance plans shall be developed in accordance with DelDOT's [Development Coordination Manual](#) and submitted to the Development Coordination Section for review and approval.

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel

Catching Cove
Mr. Jamie Whitehouse
Page 2
April 09, 2020

that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

If I can be of any further assistance, please call me at (302) 760-2266.

Very truly yours,



Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

cc: Bob Reed, Bob and Debbie Reed RE/Max Reality Group
Zac Crouch, Davis, Bowen & Friedel, Inc.
William Kirsch, South District Entrance Permit Supervisor
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Gomez W. Norwood, South District Public Work Manager
James Argo, South District Project Reviewer
Robert Bragg, South District Subdivision Manager
Jennifer Pinkerton, Chief Materials & Research Engineer
Chris Sylvester, Traffic Studies Manager
Linda Osiecki, Pedestrian Coordinator
John Fiori, Bicycle Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kaufman, DTC Planner
James Kelley, JMT
Todd Sammons, Subdivision Engineer
Brian Yates, Sussex County Reviewer

ENGINEERING DEPARTMENT

| | |
|---------------------------|----------------|
| ADMINISTRATION | (302) 855-7718 |
| AIRPORT & INDUSTRIAL PARK | (302) 855-7774 |
| ENVIRONMENTAL SERVICES | (302) 855-7730 |
| PUBLIC WORKS | (302) 855-7703 |
| RECORDS MANAGEMENT | (302) 854-5033 |
| UTILITY ENGINEERING | (302) 855-7717 |
| UTILITY PERMITS | (302) 855-7719 |
| UTILITY PLANNING | (302) 855-1299 |
| FAX | (302) 855-7799 |



Sussex County

DELAWARE

sussexcountype.gov

HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

MICHAEL E. BRADY
DIRECTOR OF PUBLIC WORKS

October 02, 2020

Davis, Bowen & Friedel, Inc.
1 Park Ave.
Milford, DE 19963
Attn: Jamie Sechler, P.E.

**RE: CATCHING COVE (FKA LANDS OF ROBERT M. AND DEBORA A. REED)
SUSSEX COUNTY UNIFIED SANITARY SEWER DISTRICT
(WEST REHOBOTH AREA)
SUSSEX COUNTY TAX MAP NUMBERS 3-35-12.06-1.00 – CLASS-1
AGREEMENT No. 1145**

Dear Mr. Sechler,

A review of the above referenced plans has been completed by the Sussex County Engineering Department. Please have a completed review, **with confirmation** from DNREC for this projects waste water construction permit before submitting plans for Sussex County approval. Provide four (4) sets of plans in a size of 24" x 36", one set of plans in a size of 18" x 24", and one (1) CD or file transfer of PDFs for each sheet. One set of plans will be returned to the Engineer/Consultant for their record.

Each sheet must be signed and sealed by the Engineer and the cover sheet of the plan shall have the owner/developer's and wetland consultant signature, this includes PDFs being submitted prior to Sussex County Engineering Department approval.

Should you have any questions, please do not hesitate to contact me.

Sincerely,

SUSSEX COUNTY ENGINEERING DEPARTMENT

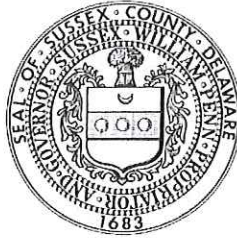

Scott A. Thornton
Public Works Engineering Technician IV



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 589
GEORGETOWN, DELAWARE 19947

MAPPING & ADDRESSING

MEGAN NEHRBAS
MANAGER OF GEOGRAPHIC
INFORMATION SYSTEMS (GIS)
(302) 855-1176 T
(302) 853-5889 F



Sussex County

DELAWARE
sussexcountyde.gov

February 10, 2020

DBF

Attn: Dustin J. Ressler

RE: Proposed Subdivision Name(s)

I have reviewed the name(s) submitted for your proposed subdivision which is located in Lewes (335-12.06-1.00). In reviewing the proposed name(s) the following has been approved for this subdivision:

Catching Cove

Should you have any questions please contact the Sussex County Addressing Department at 302-853-5888 or 302-855-1176.

Sincerely,

Terri L. Dukes

Terri L. Dukes
Addressing Technician II

CC: Christin Headley
Planning & Zoning

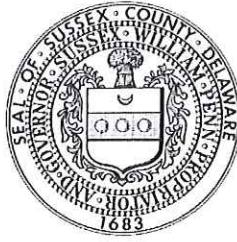


COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 589
GEORGETOWN, DELAWARE 19947

MAPPING & ADDRESSING

MEGAN NEHRBAS
MANAGER OF GEOGRAPHIC
INFORMATION SYSTEMS (GIS)

(302) 855-1176 T
(302) 853-5889 F



Sussex County

DELAWARE
sussexcountype.gov

February 10, 2020

DBF

Attn: Dustin J. Ressler

RE: **Catching Cove**

I have received proposed street name(s) for the proposed subdivision, **Catching Cove**, located in Lewes. In reviewing the proposed street name(s) the following have been approved:

| | | |
|---------------|--|--|
| Catching Cove | | |
| | | |

Use only approved road names that you have written confirmation for or you will be required to rerecord. Each street name is to be used only once.

Upon final approval of **Catching Cove** please forward a copy of the recorded site plan to my attention. Our office would appreciate a digital copy if at all possible, for the purpose of addressing. Should you have any questions, please contact the Sussex County Addressing Department at 302-855-1176.

Sincerely,

Terri L. Dukes

Terri L. Dukes
Addressing Technician II

CC: Christin Headley
Planning & Zoning



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 589
GEORGETOWN, DELAWARE 19947



OFFICE OF THE STATE FIRE MARSHAL
Technical Services

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2019-04-202632-MJS-01

Tax Parcel Number: 334-5.00-152.06

Status: Approved as Submitted

Date: 01/03/2020

Project

Reed Subdivision
Unit #: 24 Lots
Reed Property

Lewes Georgetown Hwy
Lewes DE 19958

Scope of Project

Number of Stories:
Square Footage:
Construction Class:
Fire District: 82 - Lewes Fire Dept Inc

Occupant Load Inside:
Occupancy Code: 9601

Applicant

Jamie Sechler
1 Park Avenue
Milford, DE 19963

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:

Joseph Moran



October 7, 2020

TIDEWATER UTILITIES, INC.

APPROVAL TO CONSTRUCT

Rehoboth District

Catching Cove Connection

PWS #DE0000991

Approval #20W158

Mr. Robert M. Reed
The Robert M. Reed Rehoboth Irrevocable Trust
130 Breakwater Reach
Lewes, DE 19958

Dear Mr. Reed:

As provided by Section 2.11 of the *State of Delaware Regulations Governing Public Drinking Water Systems*, you are granted approval to connect the Catching Cove to the existing main in accordance with the plans submitted by Davis, Bowen & Friedel, Inc. The plans consist of:

1. Transmittal letter dated October 7, 2020.
2. One copy of the plans entitled "Catching Cove" dated December 2019 and revised August 27, 2020.


These plans, as noted, are made a part of this approval. This approval is granted subject to the enclosed list of conditions. It is the owner's responsibility to ensure as-built drawings are maintained throughout all phases of construction. Prior to receiving an Approval to Operate, the Office of Engineering requires one set of as-built drawings, including profile markups.

The Office of Engineering recommends detectable tracer tape that is three inches wide and blue in color to be installed directly above all water mains larger than two inches in diameter.


Mr. Robert M. Reed
The Robert M. Reed Rehoboth Irrevocable Trust
October 7, 2020
Page 2

Should you have any questions regarding this matter, please feel free to contact Bill Milliken at 302- 741-8646.

Plans reviewed by:


William J. Milliken, Jr.
Engineer III
Office of Engineering

Sincerely,


Doug Lodge, P.E.
Supervisor of Engineering
Office of Engineering

cc: Janelle Cornwell, Sussex County Planning & Zoning
Public Service Commission
Dustin Ressler, Davis Bowen & Friedel, Inc.
Tawanda Priester, Tidewater Utilities, Inc.
Alexis Virdin-Gede, Tidewater Utilities, Inc.
Ashley Kunder, Office of Drinking Water

1. The approval is void if construction has not started by October 7, 2021.
2. The project shall be constructed in accordance with the approved plans and all required conditions listed in this Approval to Construct. If any changes are necessary, revised plans shall be submitted and a supplemental approval issued prior to the start of construction. As-built plans including profile mark-ups must be submitted to the Office of Engineering after construction has been completed.
3. Representatives of the Division of Public Health may inspect this project at any time during the construction.
4. The water system shall be operated in conformance with the *State of Delaware Regulations Governing Public Drinking Water Systems*.
5. All potable water lines and appurtenances shall be disinfected using one of the methods in the American Water Works Association Standard C651, current edition.
6. Water mains crossing sanitary and storm sewers should be laid to provide a minimum vertical distance of 18 inches between the outside of the water main and the outside of the sewer, and the water main should be above the sewer. At crossings, one full length of water pipe should be located so both joints will be as far from the sewer as possible. Special structural support for the water and sewer pipes may be required. In cases where it is not practical to maintain an 18-inch separation, the Division may allow deviation on a case-by-case basis if supported by data from the design engineer.
7. Water mains should be laid 10 feet horizontally from any existing or proposed sanitary or storm sewers. The distance should be measured edge to edge. In cases where it is not practical to maintain a 10-foot separation, the Division may allow deviation on a case-by-case basis if supported by data from the design engineer.
8. All chemicals, materials, mechanical devices, and coatings in contact with potable water shall comply with National Sanitation Foundation/American National Standards Institute Standards (NSF/ANSI) 60 and 61 and shall be inert, nontoxic, and shall not impart any taste, odor, or color to the water.
9. Sufficient valves should be provided so that inconvenience and sanitary hazards will be minimized during repairs. Valves should be located at not more than 500-foot intervals in commercial districts and at not more than one block or 800-foot intervals in other districts.
10. There shall be no connection between the distribution system and any pipes, pumps, hydrants, or tanks whereby unsafe water or other contaminating materials may be discharged or drawn into the system.

11. Fire hydrant drains shall not be connected to or located within 10 feet of sanitary sewers, storm sewers, or storm drains.
12. Prior to usage of water from this new well, water plant, storage plant, or distribution system, approval for the water quality must be obtained from the Division of Public Health.
13. The water system should be capable of providing at least 25 psi at ground level at all times throughout the distribution system.
14. All plastic pipe utilized in this drinking water system shall be approved for potable water use (NSF-pw). If any piping is joined with solder or flux, the solder and flux shall be lead free (less than or equal to 0.2 percent lead).
15. All water lines should be buried to a depth of at least 3 feet.
16. A Certificate of Public Conveniences and Necessity should be acquired from the Public Service Commission, (302) 739-4247.
17. This approval is for the distribution system only. Plans and specifications for all well plumbing, pumps, storage (including any interior coatings), and treatment must be submitted to and approved by this office prior to their installation.
18. The approval is subject to immediate revocation upon violation of any of the preceding conditions.
19. All other local (state/county/city/town) approvals or permits needed must be obtained prior to beginning construction.
20. Upon completion of construction and before the system is placed into operation, a "Notice of Completion" must be submitted to the Office of Engineering. Before placing the system into operation, the following must be adhered to:
 - a. Submit a set of as-built plans with profile markups to the Office of Engineering.
 - b. Obtain an Approval to Operate from the Office of Drinking Water.

SEAGLASS

AT REHOBOTH BEACH

MULTI-FAMILY COMMUNITY

LEWES & REHOBOTH HUNDRED

SUSSEX COUNTY, DELAWARE

DBF # 0818C032

RECORD PLAN

SUSSEX COUNTY AGREEMENT # 1146

MAY, 2020

SHEET INDEX

RECORD PLAN

| | |
|---------------------------|---------------|
| RECORD PLAN - TITLE SHEET | V-100 |
| RECORD PLAN - SITE PLAN | V-101 & V-102 |
| RECORD PLAN - DETAILS | V-103 |

DELDOT GENERAL NOTES:

1. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
2. NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
3. SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ON AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
4. UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
5. PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 §131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
6. THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.
7. TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
8. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
9. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
10. A PERPETUAL CROSS ACCESS INGRESS/EGRESS EASEMENT IS HEREBY ESTABLISHED AS SHOWN ON THIS PLAN. THE PROPOSED CROSS-ACCESS INGRESS / EGRESS EASEMENT SHALL GRANT DELDOT OR THEIR ASSIGNEE THE RIGHT TO BUILD THE PROPOSED ENTRANCE, OPPOSITE OF HEALTHY WAY, AS PART OF AN EFFORT TO EXTEND AIRPORT ROAD OR ANOTHER PUBLIC PROJECT.
11. THE CONSTRUCTION AND MAINTENANCE OF THE SERVICE ROAD SHALL BE GOVERNED BY PLOT BOOK 112, PAGE NUMBER 134. THE STATE OF DELAWARE ASSUMES NO MAINTENANCE RESPONSIBILITY WITHIN THE DEDICATED RIGHT-OF-WAY UNTIL THE SERVICE ROAD HAS BEEN ACCEPTED INTO STATE MAINTENANCE.

AREA WIDE STUDY FEE (5/19/20) & OFF-SITE IMPROVEMENTS

1. THE PROPOSED DEVELOPMENT CONSISTS OF 224 MID-RISE MULTI-FAMILY DWELLINGS (APARTMENTS) IN SEVEN BUILDINGS. PER THE 10th EDITION OF THE INSTITUTE OF TRANSPORTATION ENGINEERS' TRIP GENERATION MANUAL, THE PROPOSED DEVELOPMENT WOULD GENERATE 1,219 AVERAGE DAILY TRIPS AND 96 VEHICLE TRIPS DURING THE P.M. PEAK HOUR. THE FEE IS CALCULATED AT TEN DOLLARS PER DAILY TRIP. FOR THE PROPOSED DEVELOPMENT, THE FEE WOULD BE \$12,190.00.
 2. AS DISCUSSED AT AN AUGUST 30, 2019 MEETING, AND AGREED AT THE APRIL 2, 2020 PRE-SUBMITTAL MEETING, THE DEVELOPER'S CASH OBLIGATIONS WILL BE CAPPED AT \$500,000. THIS CAP IS IN RECOGNITION OF THE DEVELOPER'S AGREEMENT TO DONATE RIGHT-OF-WAY FOR THE AIRPORT ROAD EXTENSION (ITEM 3 BELOW) AND OF THEIR EFFORTS TO HELP IDENTIFY A BUILDABLE ALIGNMENT FOR THAT ROAD. ACCORDINGLY, THE DEVELOPER SHOULD CONTRIBUTE THE REMAINING \$487,810 TOWARD DELDOT'S AIRPORT ROAD EXTENSION PROJECT. PHASING OF THE CONTRIBUTION, IF NECESSARY, SHOULD BE BASED ON BUILDING PERMITS: \$100,000 PER APARTMENT BUILDING FOR THE FIRST FOUR BUILDINGS AND \$87,810 FOR THE FIFTH BUILDING (REFER TO DELDOT CONTRIBUTION AND OFFSITE IMPROVEMENT NOTES).
 3. THE DEVELOPER SHOULD DEDICATE ALL RIGHTS-OF-WAY FOR THE AIRPORT ROAD EXTENSION NEEDED FROM THE SUBJECT PARCEL, IN ACCORDANCE WITH THE HENLOPEN TID PLAN FOR AIRPORT ROAD (SEGMENT 34) PREPARED BY JOHNSON MIRMIRAN AND THOMPSON AND DATED DECEMBER 17, 2019
 4. PRESENTLY, THE INITIAL SITE ACCESS IS PROPOSED ON HOOD ROAD, A PRIVATELY OWNED AND MAINTAINED ROAD WHICH CONNECTS TO SR 24 BY WAY OF THE WAL-MART SERVICE ROAD, WHICH IS ALSO PRIVATELY OWNED AND MAINTAINED. ANOTHER DEVELOPER (ARTISAN'S BANK) PROPOSES TO CONSTRUCT THE REMAINDER OF HOOD ROAD, CONNECTING IT TO LEXUS WAY.
- TO BETTER DISTRIBUTE LEFT TURN TRAFFIC ON LEXUS WAY, THE PLAN SHOULD PROVIDE FOR AN ADDITIONAL SITE ACCESS TO AN AS-YET-UNBUILT PORTION OF LEXUS WAY OPPOSITE THE PLANNED STREET HEALTHY WAY. THIS ACCESS SHOULD BE SHOWN CONCEPTUALLY ON THE RECORD PLAN. THAT PLAN SHOULD PROVIDE RIGHT-OF-WAY TO ACCOMMODATE A RIGHT TURN LANE INTO THE SITE AND A CONSTRUCTION EASEMENT TO ALLOW FOR CONSTRUCTION OF THE ENTRANCE BY OTHERS IF NECESSARY.
5. THE DEVELOPER SHOULD EXTEND THE EXISTING SIDEWALK, LOCATED SOUTH OF THE DELAWARE EYE INSTITUTE, TO CONNECT FROM HOOD ROAD TO DELAWARE ROUTE 24 FOR THE PURPOSE OF PROVIDING RESIDENTS WITH A DIRECT PATH TO THE DART BUS STOP.

CONDITIONAL USE (CU 2199) CONDITIONS OF APPROVAL

- A) THE MAXIMUM NUMBER OF RESIDENTIAL APARTMENT UNITS SHALL NOT EXCEED 224 UNITS LOCATED IN NO MORE THAN 7 BUILDINGS.
- B) ALL ENTRANCES, INTERSECTIONS, INTERCONNECTIONS, ROADWAYS, AND MULTI-MODAL IMPROVEMENTS REQUIRED BY DELDOT SHALL BE COMPLETED IN ACCORDANCE WITH DELDOT'S REQUIREMENTS.
- C) THE APPLICANT SHALL DEDICATE LAND AND CONTRIBUTE TO THE COST OF A DELDOT PLANNED CONNECTOR ROAD FROM ROUTE 24 TO OLD LANDING ROAD.
- D) THE DEVELOPMENT SHALL BE SERVED AS PART OF A SUSSEX COUNTY SANITARY DISTRICT. THE DEVELOPER SHALL COMPLY WITH ALL REQUIREMENTS AND SPECIFICATIONS OF THE COUNTY ENGINEERING DEPARTMENT.
- E) THE DEVELOPMENT SHALL BE SERVED BY CENTRAL WATER.
- F) STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE STATE AND COUNTY REQUIREMENTS. THESE FACILITIES SHALL BE OPERATED IN A MANNER WHICH IS CONSISTENT WITH BEST MANAGEMENT PRACTICES.
- G) RECREATIONAL AMENITIES, INCLUDING A COMMUNITY CLUBHOUSE, OUTDOOR SWIMMING POOL, PLAYGROUND, AND ENCLOSED DOG PARK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE THIRD MULTI-FAMILY BUILDING.
- H) ROAD NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY MAPPING AND ADDRESSING DEPARTMENTS.
- I) IF REQUIRED BY THE SCHOOL DISTRICT, THE LOCATION FOR A SCHOOL BUS SHELTER SHALL BE COORDINATED WITH THE LOCAL SCHOOL DISTRICT'S TRANSPORTATION MANAGER. THE LOCATION OF THE BUS STOP SHELTER SHALL BE SHOWN ON THE FINAL SITE PLAN.
- J) NO OUTDOOR CONSTRUCTION ACTIVITIES OR DELIVERIES OF DIRT, FILL, OR SIMILAR MATERIAL SHALL OCCUR AT THE SITE EXCEPT BETWEEN THE HOURS OF 7:30 AM THROUGH 7:30 P.M. MONDAY THROUGH FRIDAY AND BETWEEN 8:00 AM THROUGH 5:00 PM ON SATURDAYS. THERE SHALL BE NO CONSTRUCTION, SITE WORK, GRADING, OR DELIVERIES AT THE SITE ON SUNDAYS.
- K) THE DESIGN OF INTERIOR DRIVES SHALL MEET OR EXCEED SUSSEX COUNTY ROAD DESIGN STANDARDS AND REQUIREMENTS.
- L) THE USE SHALL COMPLY WITH ALL SUSSEX COUNTY PARKING REQUIREMENTS.
- M) ONE LIGHTED ENTRANCE SIGN, NOT TO EXCEED 32 SQUARE FEET PER SIDE, SHALL BE PERMITTED.
- N) SPACE IN THE COMMUNITY CLUBHOUSE OR IN 1 UNIT SHALL BE PERMITTED AS AN ON-SITE MANAGEMENT OFFICE.
- O) THE APPLICANT OR ITS ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF INTERIOR DRIVES, PARKING AREAS, BUILDINGS, BUFFERS, STORMWATER MANAGEMENT, RECREATIONAL AMENITIES, AND ALL OPEN SPACE.
- P) A REVISED PRELIMINARY SITE PLAN EITHER DEPICTING OR NOTING THESE CONDITIONS MUST BE SUBMITTED TO THE SUSSEX COUNTY OFFICE OF PLANNING AND ZONING. THE STAFF SHALL APPROVE THE REVISED PRELIMINARY SITE PLAN UPON CONFIRMATION THAT THE CONDITIONS OF APPROVAL HAVE BEEN DEPICTED OR NOTED ON IT.
- Q) THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT FOR THE DESIGN AND LOCATION OF ALL STORMWATER MANAGEMENT AREAS AND EROSION AND SEDIMENTATION CONTROL FACILITIES.
- R) THE FINAL SITE PLAN SHALL INCLUDE A LANDSCAPE PLAN FOR ALL BUFFER AREAS SHOWING ALL THE LANDSCAPING AND VEGETATION TO BE INCLUDED IN THE BUFFER AREAS.
- S) THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING & ZONING COMMISSION.

DATA COLUMN

| | |
|---|--|
| PARCEL ID: | 334-12.00-127.01 & 127.10 |
| DATUM: | |
| VERTICAL: | NAVD 88 |
| HORIZONTAL: | NAD 83 (DE STATE PLANE) |
| LAND USE: | |
| EXISTING: | VACANT/AGRICULTURE |
| PROPOSED: | 224 MULTI-FAMILY UNITS WITH CLUBHOUSE |
| DENSITY: | |
| MAXIMUM: | 12 UNITS PER ACRE |
| PROPOSED: | 224 UNITS/18,759 AC. = 11.94 UNITS PER ACRE |
| ZONING: | |
| EXISTING: | CR-1 (COMMERCIAL RESIDENTIAL DISTRICT) |
| PROPOSED: | CR-1 (COMMERCIAL RESIDENTIAL DISTRICT) |
| MINIMUM REQUIREMENTS: | |
| FRONT SETBACK: | 30 FT. |
| SIDE SETBACK: | 10 FT. |
| REAR SETBACK: | 10 FT. |
| BUILDING SEPARATION: | 40 FT. |
| PARKING: | 224 UNITS x 2/UNIT = 448 SPACES (BEFORE REDUCTION) |
| PARKING REDUCTION: | 1-50 UNITS 100 15% TO 255 SPACES |
| | 51-200 UNITS 300 REDUCED 15% TO 255 SPACES |
| | 201-224 UNITS 48 REDUCED 20% TO 39 SPACES |
| | REQUIRED 394 SPACES |
| MAXIMUM REQUIREMENTS: | |
| BUILDING HEIGHT: | 42 FT. |
| PROPOSED: | |
| BUILDING HEIGHT: | 42 FT. (4 STORIES) |
| PARKING: | 394 SPACES INCLUDING 18 HANDICAPPED ACCESSIBLE |
| AREAS: | |
| EXISTING SITE: | |
| PARCEL - 127.01: | 17,438 AC. |
| PARCEL - 127.10: | 1,321 AC. |
| TOTAL SITE AREA: | 18,759 AC. |
| PROPOSED SITE: | |
| PARCEL - A: | 12,183 AC. (INCLUDES 2.0 AC LAND LEASE EASEMENT) |
| RESIDUAL LANDS: | 4,299 AC. |
| R.O.W. DEDICATION: | 0.994 AC. |
| PARCEL - 127.10: | 1,283 AC. |
| TOTAL SITE AREA: | 18,759 AC. |
| UTILITIES: | |
| SEWER: | PUBLIC (SUSSEX COUNTY, WEST REHOBOTH SOUTH PLANNING AREA) |
| WATER: | PUBLIC (TIDEWATER UTILITIES, INC.) |
| IMPERVIOUS COVERAGE: | 11.51 ACRES/17,061 ACRES (WITHOUT R.O.W.) = 67% |
| PROPOSED BUILDING CONSTRUCTION: | WOOD CONSTRUCTION |
| FLOODPLAIN: | THIS PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA MAP 10005C0332K, DATED MARCH 16, 2015 |
| WETLANDS: | DO NOT EXIST ON SITE |
| STATE STRATEGIES MAP: | LEVEL 2 (2015) |
| TRANSPORTATION IMPROVEMENT DISTRICT (TID): | HENLOPEN TID (UNDER DEVELOPMENT FOR THIS AREA) |
| THIS PROPERTY IS LOCATED 416± TO THE EAST OF THE INTERSECTION OF JOHN J. WILLIAMS HWY. (SCR 024) AND LEXUS WAY. | |
| POSTED SPEED LIMIT: | HOOD ROAD 25 M.P.H. |
| OWNER: | |
| HEROLA FAMILY, LLC. | |
| 4015 164th STREET | |
| SUITE 106 | |
| LYNNWOOD, WA 98087 | |
| DEVELOPER: | |
| OA REHOBOTH, LLC. | |
| 18949 COASTAL HIGHWAY | |
| REHOBOTH BEACH, DE 19971 | |
| (302) 227-3573 | |
| ENGINEER: | |
| DAVIS, BOWEN & FRIEDEL, INC. | |
| W. ZACHARY CROUCH, P.E. | |
| 1 PARK AVENUE | |
| WILFORD, DE 19963 | |
| (302) 424-1441 | |

DeIDOT
NO OBJECTION TO
RECORDATION
October 22, 2020
DATE

LEGEND

| | |
|---------------|----------------------------|
| --- | PROPERTY BOUNDARY LINE |
| --- | PROPOSED PROPERTY LINE |
| --- ++ --- ++ | PROPOSED EASEMENT |
| --- | PROPOSED BUILDING SETBACK |
| --- | EXISTING EASEMENT |
| --- | EXISTING PROPERTY LINE |
| --- | EXISTING RIGHT-TO-WAY LINE |
| --- | EXISTING WOODSLINE |
| --- | PROPOSED WOODSLINE |
| ● | IRON ROD WITH CAP SET |
| ■ | CONCRETE MONUMENT SET |
| ○ | PROPERTY CORNER LOCATE |

SOILS MAP

GrA - GREENWICH LOAM, 0-2% SLOPES, HSG B



DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS, ENGINEERS & SURVEYORS

SALISBURY, MARYLAND (410) 543-9091
MILFORD, DELAWARE (302) 424-1441
EASTON, MARYLAND (410) 770-4744

OWNER'S STATEMENT

WE, HEROLA FAMILY, LLC, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

Herola Family, LLC
SIGNATURE
Herola Family, LLC
TITLE

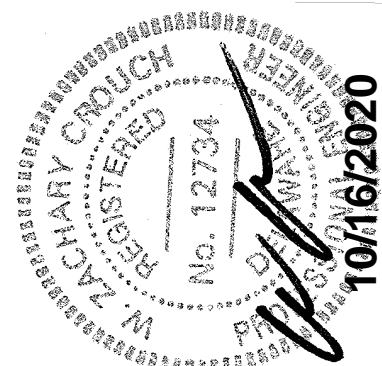
10-13-2020
DATE

ENGINEER'S STATEMENT

I, W. ZACHARY CROUCH, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

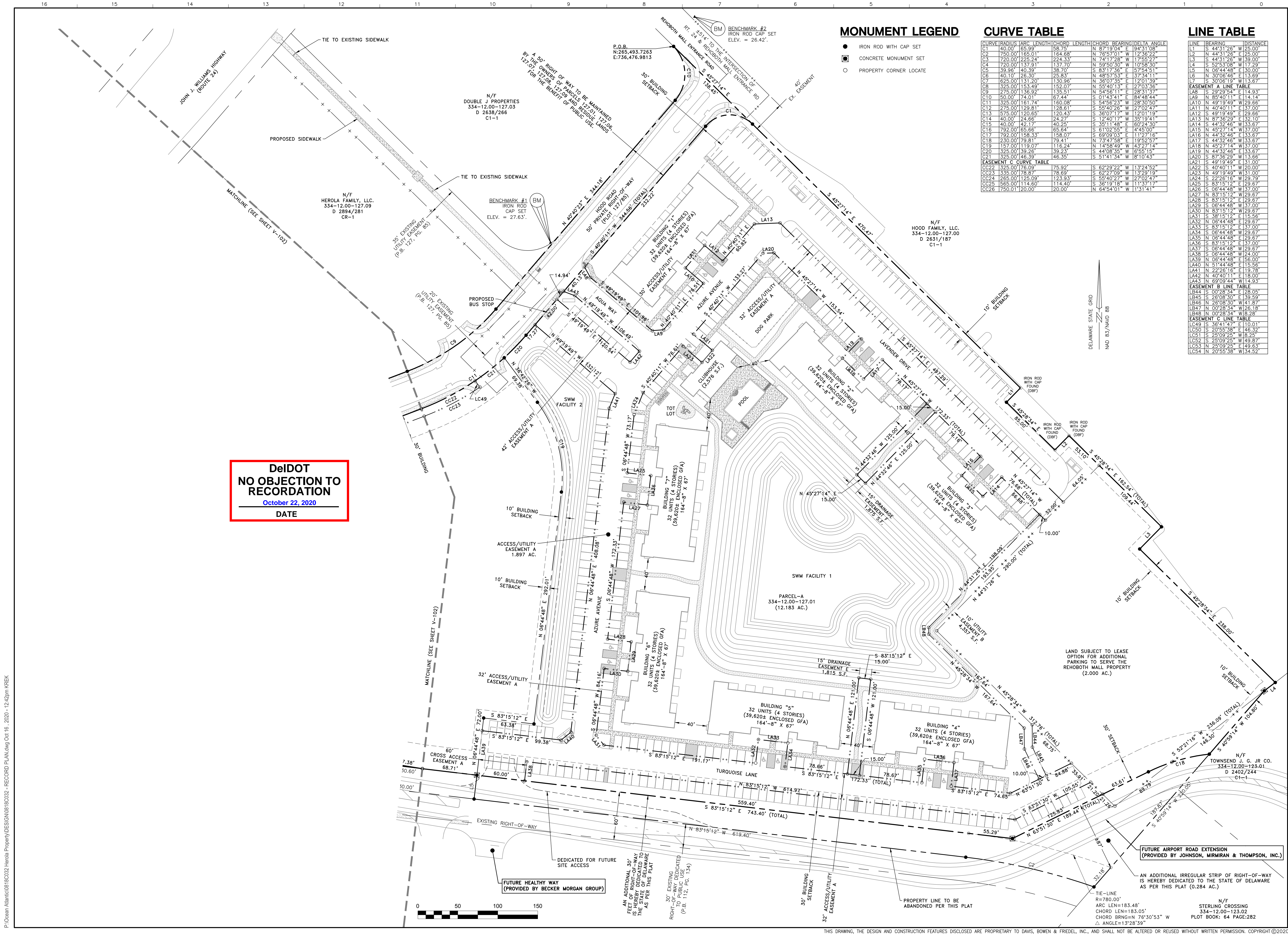
DAVIS, BOWEN & FRIEDEL, INC.
by W. ZACHARY CROUCH, P.E.

DATE



REVISED:
2020-06-24: SCE, SCD, FM & TUI
2020-07-28: SCE, TUI & DeIDOT
2020-10-01: DeIDOT, TUI, SCE,
SCD & DNREC
2020-10-19: SCE

V-100

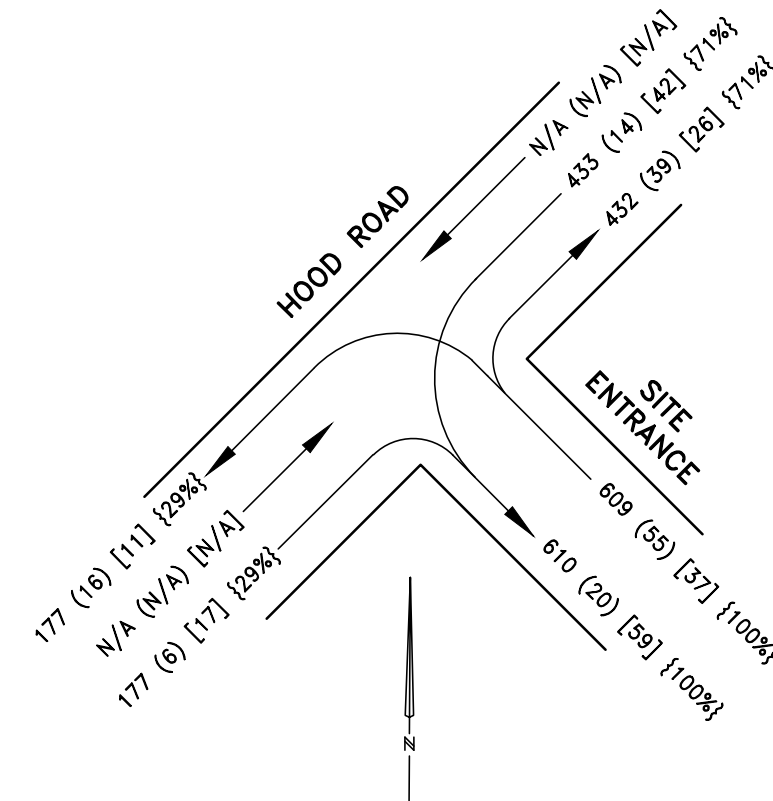


P:\Ocean Atlantic\0818C032 Herola Property\DESIGN\0818C032 - RECORD PLAN.dwg Oct 16, 2020 - 12:23pm KREK

DOES NOT ASSUME THE CONSTRUCTION
OF THE AIRPORT ROAD EXTENSION

ROAD DATA
HOOD ROAD
FUNCTIONAL CLASSIFICATION - N/A
AADT (2019 DELAWARE VEHICLE VOLUME SUMMARY) = N/A
10 YR PROJECTED AADT = 1.16 X N/A = N/A
10 YR PROJECTED AADT + SITE ADT NE OF SITE (865) = N/A
10 YR PROJECTED AADT + SITE ADT SW OF SITE (354) = N/A
PEAK HOUR = N/A
DIRECTIONAL SPLIT = N/A
N/A TRUCK % = N/A
SPEED - NOT POSTED
TRAFFIC PATTERN GROUP - N/A

NOTE: HOOD ROAD IS NOT STATE MAINTAINED. ACCESS TO STATE ROAD OCCURS ON DELAWARE ROUTE 24 BY WAY OF LEXUS WAY AND FUTURE AIRPORT ROAD CONNECTION, AND ON DELAWARE ROUTE 24 BY WAY OF THE WALMART BACK DRIVEWAY.



TRAFFIC DIAGRAM

NO SCALE

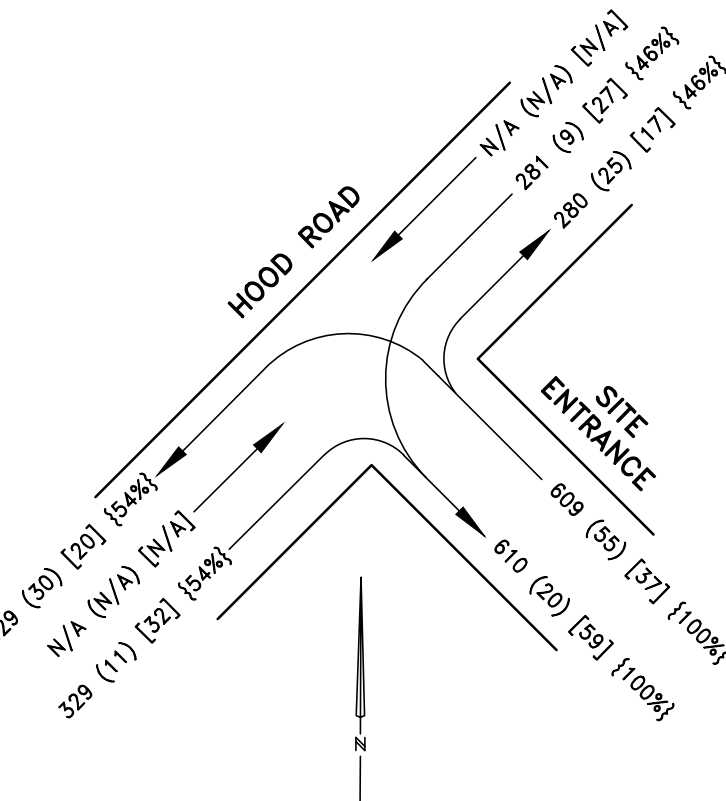
| SITE TRIPS GENERATED | | ITE | | # OF | | WKDY | |
|-------------------------|------|-------|----|------|-------|------|--|
| TYPE OF DEV. | CODE | UNITS | | AM | PM | ADT | |
| MULTI-FAMILY (MID-RISE) | 221 | 224 | 75 | 96 | 1,219 | | |

NOTES:
-TRIP GENERATION BASED ON ITE TRIP GENERATION MANUAL, 10TH EDITION
-DESIGN VEHICLE: SU-30
-ONE (1) FULL SITE ACCESS PROPOSED

ASSUMES THE CONSTRUCTION OF
THE AIRPORT ROAD EXTENSION

ROAD DATA
HOOD ROAD
FUNCTIONAL CLASSIFICATION - N/A
AADT (2019 DELAWARE VEHICLE VOLUME SUMMARY) = N/A
10 YR PROJECTED AADT = 1.16 X N/A = N/A
10 YR PROJECTED AADT + SITE ADT NE OF SITE (561) = N/A
10 YR PROJECTED AADT + SITE ADT SW OF SITE (658) = N/A
PEAK HOUR = N/A
DIRECTIONAL SPLIT = N/A
N/A TRUCK % = N/A
SPEED - NOT POSTED
TRAFFIC PATTERN GROUP - N/A

NOTE: HOOD ROAD IS NOT STATE MAINTAINED. ACCESS TO STATE ROAD OCCURS ON DELAWARE ROUTE 24 BY WAY OF LEXUS WAY AND FUTURE AIRPORT ROAD CONNECTION, AND ON DELAWARE ROUTE 24 BY WAY OF THE WALMART BACK DRIVEWAY.



TRAFFIC DIAGRAM

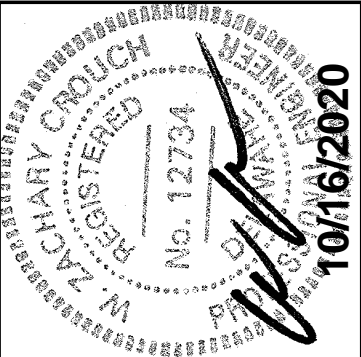
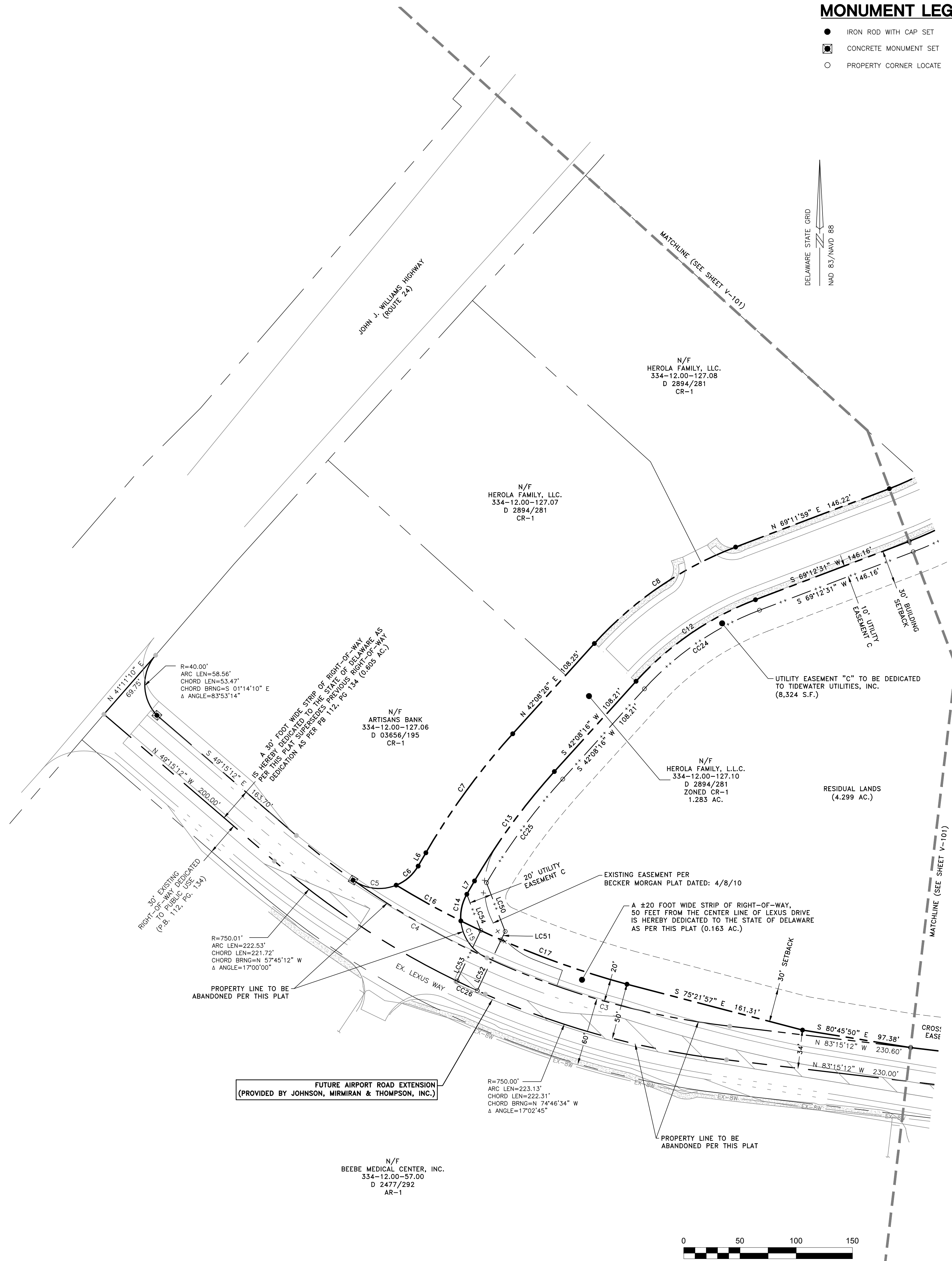
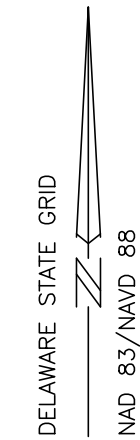
NO SCALE

| SITE TRIPS GENERATED | | ITE | | # OF | | WKDY | |
|-------------------------|------|-------|----|------|-------|------|--|
| TYPE OF DEV. | CODE | UNITS | | AM | PM | ADT | |
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NOTES:
-TRIP GENERATION BASED ON ITE TRIP GENERATION MANUAL, 10TH EDITION
-DESIGN VEHICLE: SU-30
-ONE (1) FULL SITE ACCESS PROPOSED

MONUMENT LEGEND

- IRON ROD WITH CAP SET
- CONCRETE MONUMENT SET
- PROPERTY CORNER LOCATE



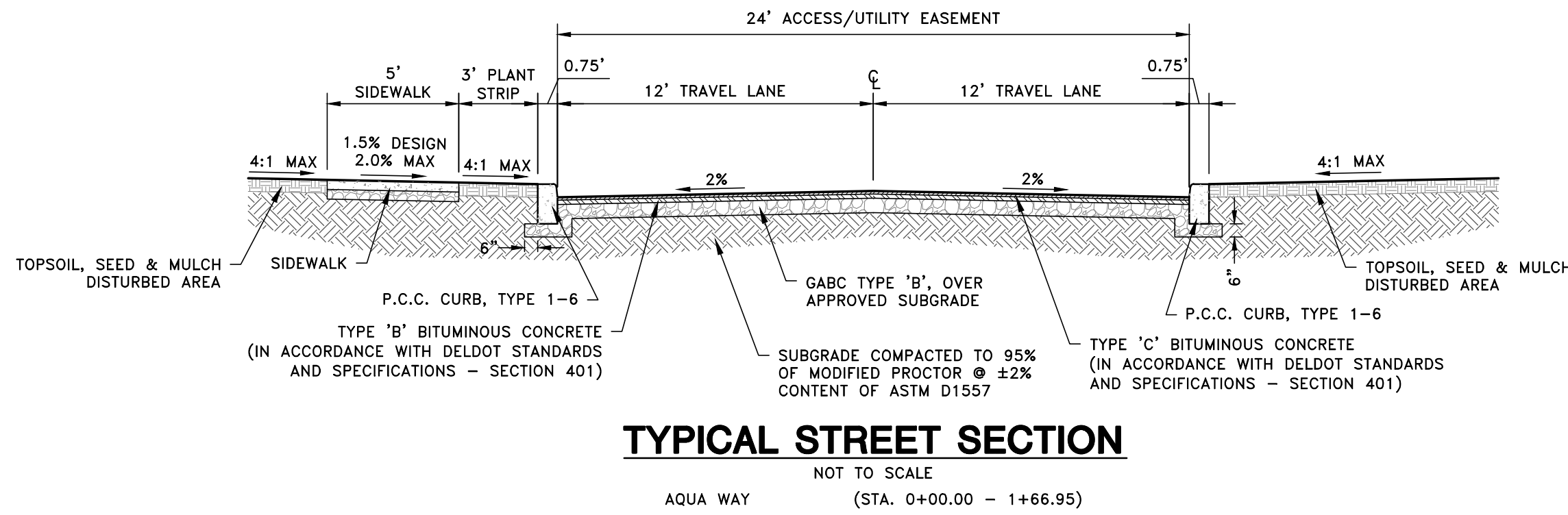
DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
SUSSEX COUNTY, DELAWARE
EASTON, MARYLAND
RECORD PLAN - SITE PLAN

SEAGLASS AT REHOBOTH BEACH LEWES AND REHOBOTH HUNDRED SUSSEX COUNTY, DELAWARE

REVISED:
2020-06-24: SCE, SCD, FM & TUI
2020-07-28: SCE, TUI & DelDOT
2020-10-01: DelDOT, TUI, SCE,
SCD & DNREC
2020-10-19: SCE

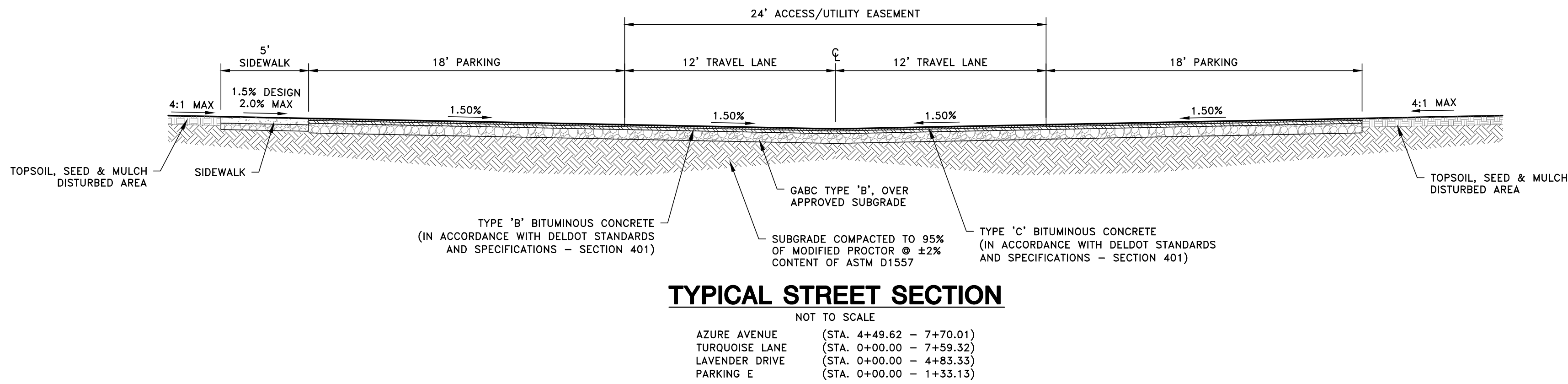
Date: MAY, 2020
Scale: 1" = 50'
Dwn.By: KJK
Proj.No.: 0818C032
Dwg.No.:

V-102



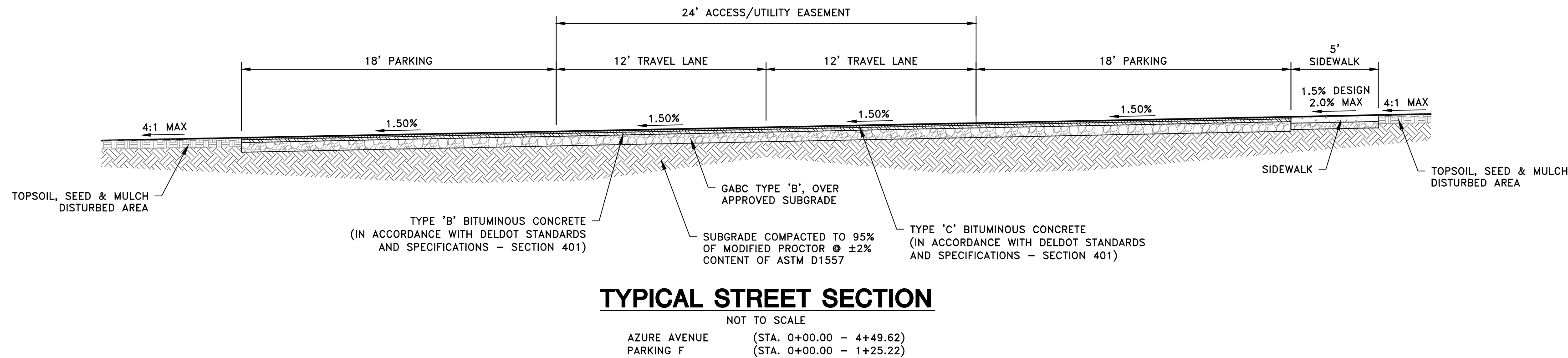
TYPICAL STREET SECTION

NOT TO SCALE
AQUA WAY
(STA. 0+00.00 - 1+66.95)



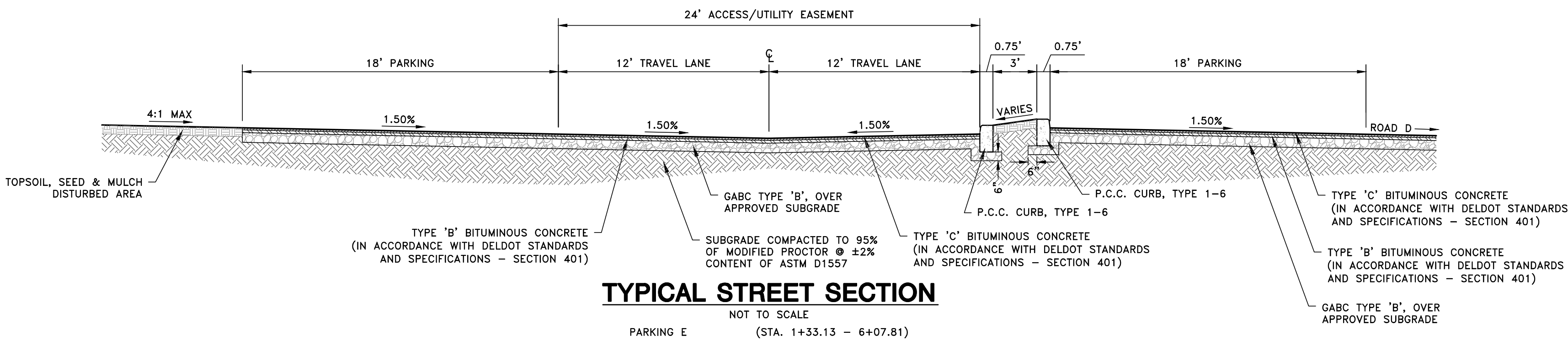
TYPICAL STREET SECTION

NOT TO SCALE
AZURE AVENUE
TURQUOISE LANE
LAVENDER DRIVE
PARKING E
(STA. 0+00.00 - 1+33.13)



TYPICAL STREET SECTION

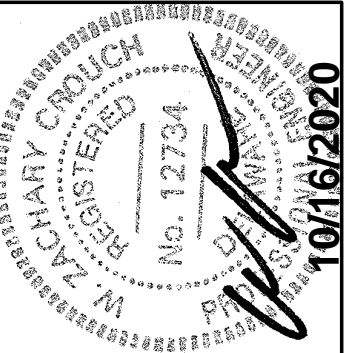
NOT TO SCALE
AZURE AVENUE
PARKING F
(STA. 0+00.00 - 1+25.22)



TYPICAL STREET SECTION

NOT TO SCALE
PARKING E
(STA. 1+33.13 - 6+07.81)

DeIDOT
NO OBJECTION TO
RECORDATION
October 22, 2020
DATE



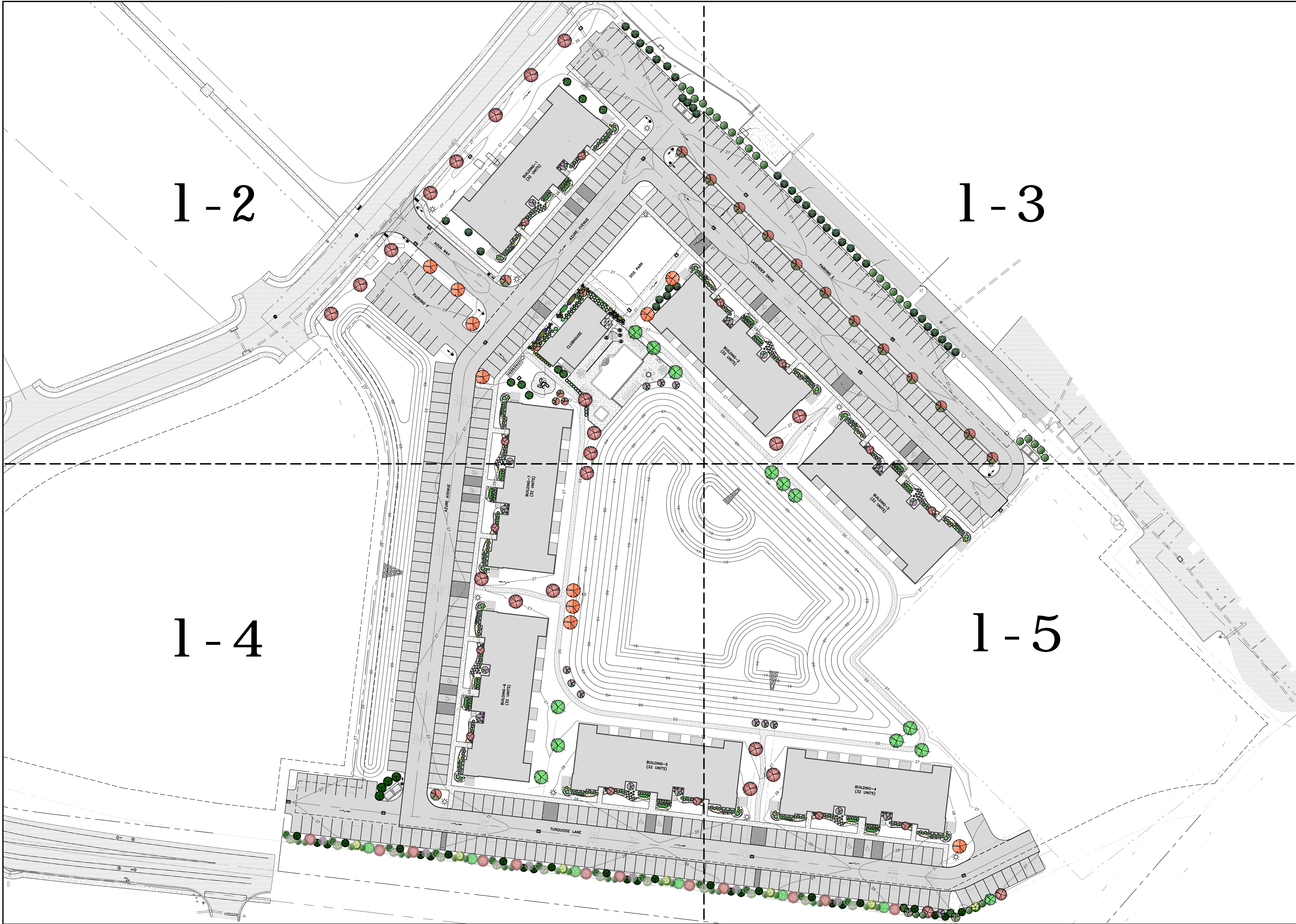
ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
SUSSEX COUNTY, DELAWARE
RECORD PLAN - DETAILS

SEAGLASS AT REHOBOTH BEACH
LEWES AND REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

REVISED:
2020-06-24: SCE, SCD, FM & TUI
2020-07-28: SCE, TUI & DeIDOT
2020-10-01: DeIDOT, TUI, SCE,
SCD & DNREC
2020-10-19: SCE

Date: MAY, 2020
Scale: NO SCALE
Dwn.By: KJK
Proj.No.: 0818C032
Dwg.No.:

V-103



DENISON
LANDSCAPING INC.
8911 Oxon Hill Rd
Ft. Washington, MD 20744
301-567-0210
denisonlandscaping.com

Client:



Seaglass at Rehoboth Beach

Landscaping Plan

Sussex County, DE

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Denison Landscaping Inc.

| No. | Revision | Date |
|-----|-------------------------------|----------|
| 1 | Northern buffer update, notes | 8/13/20 |
| 2 | DWM #2, name change | 12/1/20 |
| 3 | Bldg layout | 12/16/20 |
| | | |
| | | |

Date:
July 13, 2020

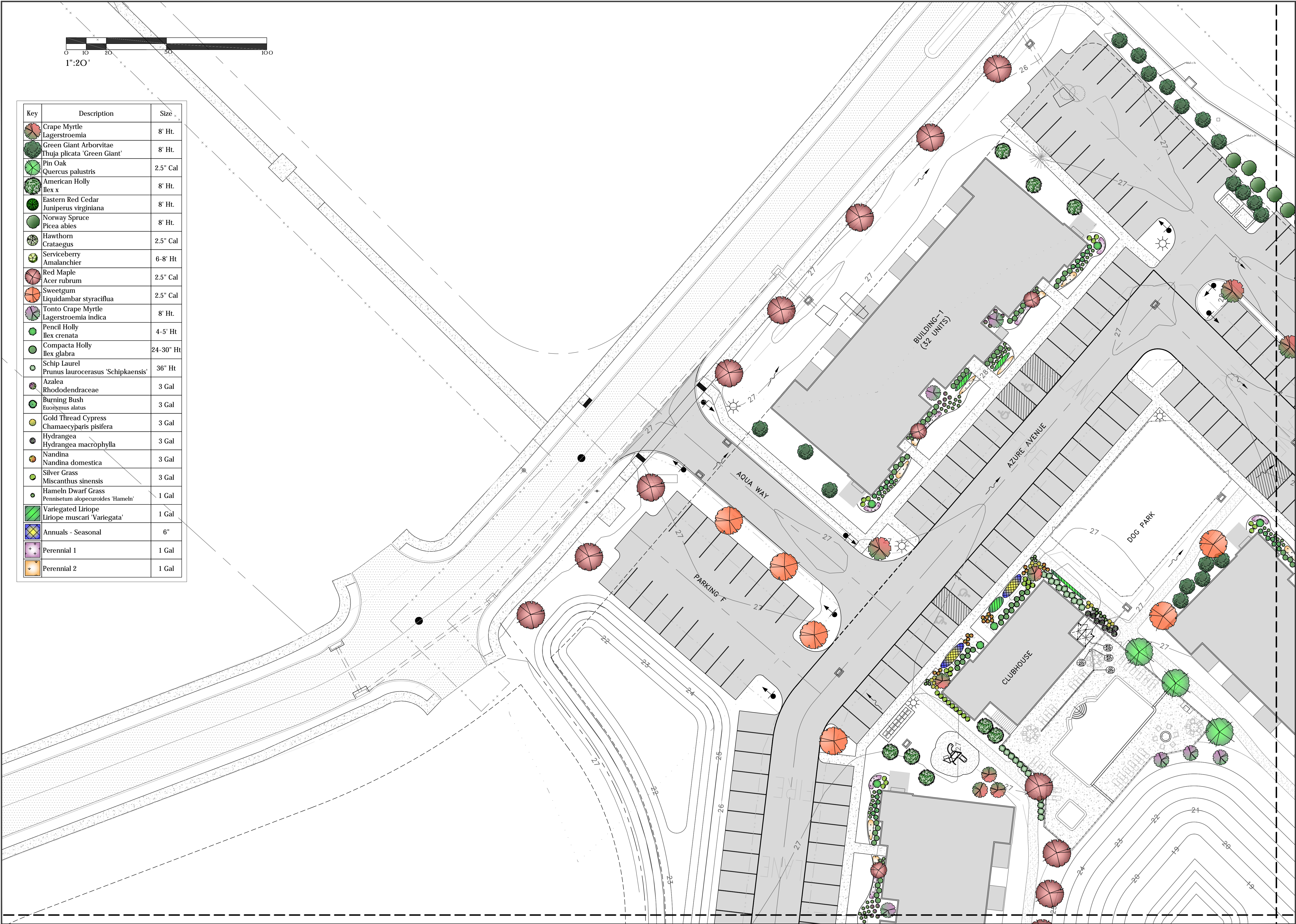
Drawn by:
B. G.

Sheet Title:

Landscape Plan

Sheet Page:

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| Key | Description | Size |
|-----|---|-----------|
| | Crape Myrtle Lagerstroemia | 8' Ht. |
| | Green Giant Arborvitae Thuja plicata 'Green Giant' | 8' Ht. |
| | Pin Oak Quercus palustris | 2.5" Cal |
| | American Holly Ilex x | 8' Ht. |
| | Eastern Red Cedar Juniperus virginiana | 8' Ht. |
| | Norway Spruce Picea abies | 8' Ht. |
| | Hawthorn Crataegus | 2.5" Cal |
| | Serviceberry Amalanchier | 6-8' Ht |
| | Red Maple Acer rubrum | 2.5" Cal |
| | Sweetgum Liquidambar styraciflua | 2.5" Cal |
| | Tonto Crape Myrtle Lagerstroemia indica | 8' Ht. |
| | Pencil Holly Ilex crenata | 4-5' Ht |
| | Compacta Holly Ilex glabra | 24-30" Ht |
| | Schip Laurel Prunus laurocerasus 'Schipkaensis' | 36" Ht |
| | Azalea Rhododendraceae | 3 Gal |
| | Burning Bush Euonymus alatus | 3 Gal |
| | Gold Thread Cypress Chamaecyparis pisifera | 3 Gal |
| | Hydrangea Hydrangea macrophylla | 3 Gal |
| | Nandina Nandina domestica | 3 Gal |
| | Silver Grass Miscanthus sinensis | 3 Gal |
| | Hameln Dwarf Grass Pennisetum alopecuroides 'Hameln' | 1 Gal |
| | Variegated Liriope Liriope muscari 'Variegata' | 1 Gal |
| | Annuals - Seasonal | 6" |
| | Perennial 1 | 1 Gal |
| | Perennial 2 | 1 Gal |



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B. G.

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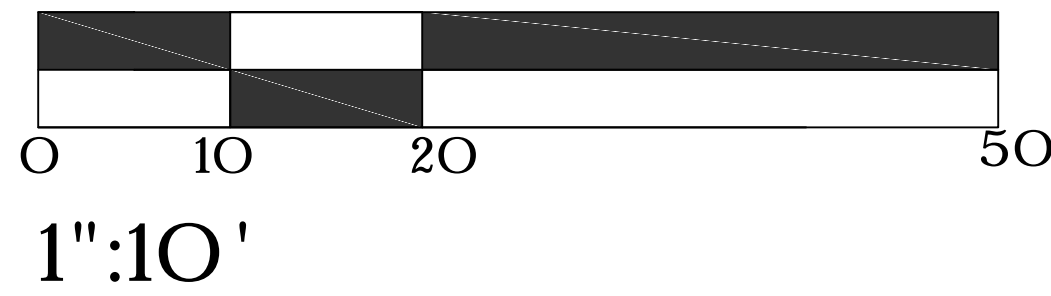
Drawn by:
B. G.

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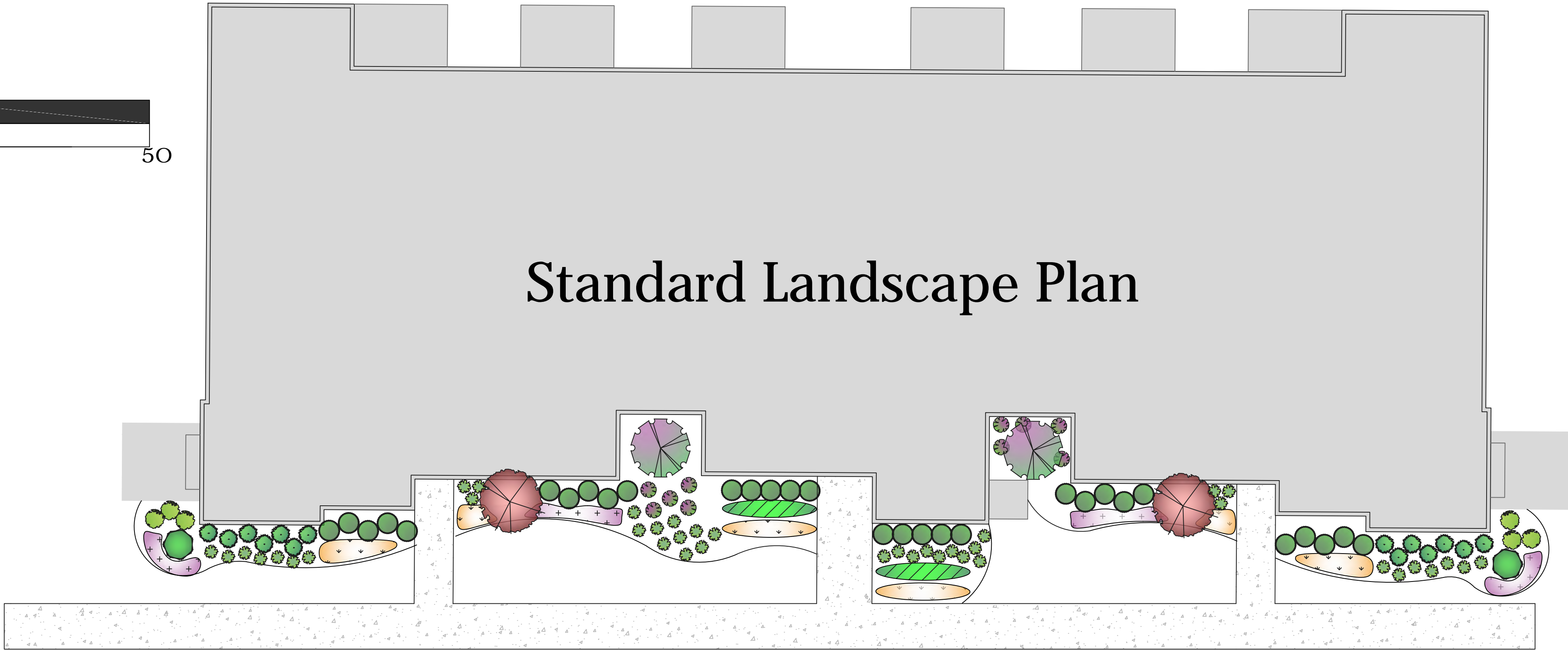
Landscape Plan

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Standard Landscape Plan



PLANTING NOTES

PLANT IDENTIFICATION - ALL PLANTS SHALL BE PROPERLY MARKED FOR IDENTIFICATION AND CHECKING.

LIST OF PLANT MATERIAL - THE QUANTITIES GIVEN IN THE PLANT LIST ARE APPROXIMATE. THE CONTRACTOR WILL VERIFY PLANT QUANTITIES PRIOR TO BIDDING AND DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF LANDSCAPE DESIGNER. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL PLANTS REQUIRED TO COMPLETE THE WORK AS SHOWN WITHIN THE DRAWINGS. SUBSTITUTIONS SHALL NOT BE MADE WITHOUT THE WRITTEN APPROVAL OF DENISON LANDSCAPING AND THE OWNER. THIS CONTRACT WILL BE BASED ON THE BIDDER HAVING VERIFIED PRIOR TO BIDDING THE AVAILABILITY OF THE REQUIRED PLANT MATERIAL AS SPECIFIED WITHIN THE DESIGN.

PLANT QUALITY - ALL SHRUBS SHALL BE DENSE, HEAVY TO THE GROUND, WELL GROWN, SHOWING EVIDENCE OF HAVING BEEN PRUNED REGULARLY AND SHALL BE VIGOROUS, HEALTHY AND OF GOOD COLOR. ALL PLANTS SHALL BE SOUND, FREE OF PLANT DISEASE, INFESTATION OR INSECT EGGS AND SHALL HAVE A HEALTHY, NORMAL ROOT SYSTEM. ALL PLANTS SHALL BE NURSERY GROWN. PLANTS SHALL NOT BE PRUNED OR RE-POTTED IMMEDIATELY PRIOR TO DELIVERY. THE SHAPE OF THE PLANT SHALL CONFORM TO ITS NATURAL GROWTH PROPORTIONS UNLESS OTHERWISE SPECIFIED. ALL PLANTS SHALL CONFORM TO THE BRANCHING, CALIPER AND HEIGHT SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S PUBLICATION ENTITLED AMERICAN STANDARD FOR NURSERY STOCK AND SHALL HAVE A WELL SHAPED, HEAVY-BRANCHED STRUCTURE FOR THE SPECIES. EVERGREEN TREES ARE TO HAVE AN INTERNODE NO GREATER THAN 24" AND SHALL BE UNIFORMLY WELL SHAPED. PLANTS OF A GIVEN SIZE SHALL NOT MEASURE LESS THAN THE MINIMUM SIZE AS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK.

ROOTBALL SIZE - THE ROOTBALL SIZE OF ALL PLANTS SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN'S PUBLICATION ENTITLED AMERICAN STANDARD FOR NURSERY STOCK. ROOTBALLS SHALL BE WRAPPED IN UNTREATED BURLAP.

PLANT SPACING - PLANT SPACING IS TO SCALE ON PLAN.

EXCAVATION AND BED PREPARATION - HOLES FOR ALL TREES SHALL BE 2 TIMES THE SIZE OF THE ROOT BALL OR CONTAINER AND SHALL HAVE VERTICAL SIDES. HOLES FOR SHRUBS SHALL BE 12" WIDER THAN THE ROOT BALL. BEDS FOR MASS PLANTING SHALL BE ENTIRELY ROTOTILLED TO A DEPTH OF 12". MIX FERTILIZER AND ORGANIC MATTER AND INCORPORATE INTO PLANT BEDS BY TILLING AGAIN TO A DEPTH OF 8", MIXING THEM THOROUGHLY INTO THE SOIL AND BREAKING UP THE LUMPS. USE A TILLER THAT WILL CULTIVATE TO A MINIMUM DEPTH OF 8" AND DO NOT MAKE MORE THAN TWO PASSES. THE ENTIRE BED MAY BE CULTIVATED WITH A SPADE IF PREFERRED. WHEN FINISHED, RAKE SURFACE WITH A STEEL-TOOTH RAKE UNTIL SMOOTH. MOISTEN THE BED, LET THE WATER SOAK IN AND RAKE IT AGAIN.

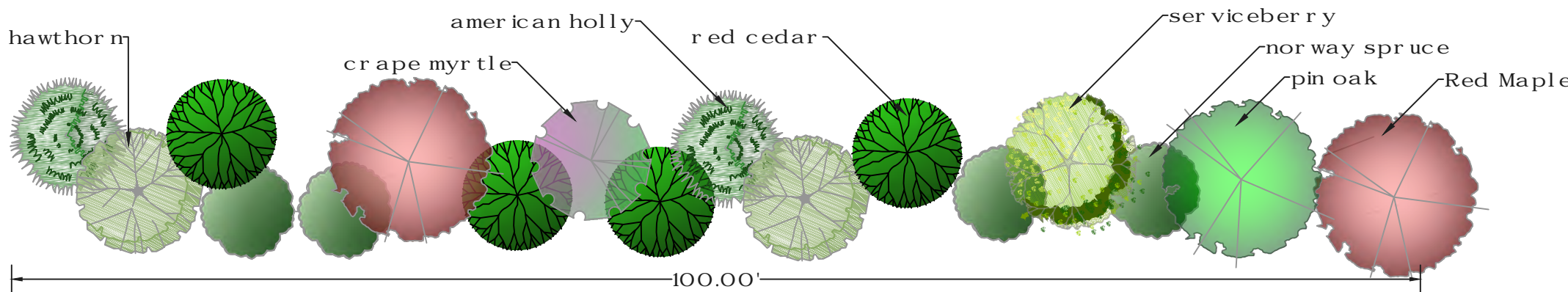
PLANTING - PLANTS WILL BE PLANTED HIGHER THAN SURROUNDING GRADE. SHRUBS AND TREES WILL BE SET AT A DEPTH TO PLANT 1/8TH OF THE ROOTBALL ABOVE FINISH GRADE. REMOVE ROPE FROM TREE TRUNKS AND LAY BACK BURLAP FROM TOP 1/3 OF ALL BURLAP MATERIAL. NYLON, PLASTIC OR VINYL ROPE AND WIRE BASKETS WILL BE COMPLETELY REMOVED FROM ALL PLANT MATERIAL PRIOR TO PLANTING.

CULTIVATION - ALL TRENCHES AND SHRUB BEDS SHALL BE CULTIVATED, EDGED AND MULCHED WITH A LAYER OF WELL AGED, SHREDDED HARDWOOD MULCH. 2" MINIMUM, 3" MAXIMUM DEPTH. THE AREA AROUND ISOLATED PLANTS SHALL BE MULCHED TO AT LEAST A 6" GREATER DIAMETER THAN THE HOLE.

GUARANTEE & REPLACEMENT - ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR. THE GUARANTEE WILL BEGIN ON THE DATE OF FINAL ACCEPTANCE OF THE WORK. AFTER A PLANT HAS BEEN DETERMINED TO BE DEAD, DYING OR DAMAGED FROM HANDLING OR INSTALLATION, IT WILL BE REPLACED DURING THE NEXT GROWING SEASON. THE GUARANTEE WILL END FOR ALL PLANT MATERIAL ONE YEAR AFTER ACCEPTANCE. DURING THE GUARANTEE PERIOD, THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR MECHANICAL INJURY OR VANDALISM CAUSED BY OTHER PARTIES. IMPROPER WATERING WILL BE CONSIDERED A VOID OF GUARANTEE.

MATERIAL INSPECTION - OWNER AND/OR GENERAL CONTRACTOR SHALL AT THEIR DISCRETION, INSPECT PLANT MATERIAL BEFORE AND DURING DELIVERY AND INSTALLATION. PLANT MATERIAL WILL BE PROPERLY DELIVERED IN COVERED TRUCKS. OWNER WILL HAVE AUTHORITY TO OBSERVE SITE PREPARATION AND PLANTING INSTALLATIONS AND HAVE THE RIGHT TO REJECT ANY WORK IF THE SPECIFICATIONS AND CONSTRUCTION DOCUMENTS ARE NOT FOLLOWED. ALL PLANT MATERIAL SHALL BE OF THE QUALITY SPECIFIED AND INSTALLED AS DESCRIBED ABOVE. UNLESS THESE MINIMUM STANDARDS ARE SATISFIED, THE PLANTS WILL BE REJECTED.

Typical 100' Buffer Plan



*entire space to be mulched



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Seaglass at Rehoboth Beach Landscaping Plan Sussex County, DE

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July 13, 2020

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B. G.

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ENGINEERING DEPARTMENT

| | |
|---------------------------|----------------|
| ADMINISTRATION | (302) 855-7718 |
| AIRPORT & INDUSTRIAL PARK | (302) 855-7774 |
| ENVIRONMENTAL SERVICES | (302) 855-7730 |
| PUBLIC WORKS | (302) 855-7703 |
| RECORDS MANAGEMENT | (302) 854-5033 |
| UTILITY ENGINEERING | (302) 855-7717 |
| UTILITY PERMITS | (302) 855-7719 |
| UTILITY PLANNING | (302) 855-1299 |
| FAX | (302) 855-7799 |



Sussex County

DELAWARE
sussexcountyde.gov

HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

MICHAEL E. BRADY
DIRECTOR OF PUBLIC WORKS

October 21, 2020

Davis, Bowen & Friedel, Inc.
1 Park Ave.
Milford, DE 19963
Attn: W. Zachary Crouch, P.E.

**RE: SEAGLASS
SUSSEX COUNTY TAX MAP NUMBERS
334-12 127.01 & 127.10
Agreement No. 1146 FINALS**

Dear Mr. Crouch,

A review of the above referenced plans has been completed by the Sussex County Engineering Department. Please have a completed review, **with confirmation** from DNREC for this projects waste water construction permit before submitting plans for Sussex County approval. Provide three (3) sets of plans in a size of 24" x 36", and one (1) CD or file transfer of PDFs for each sheet. One set of plans will be returned to the Engineer/Consultant for their record.

Each sheet must be signed and sealed by the Engineer and the cover sheet of the plan shall have the owner/developer's and wetland consultant signature, this includes PDFs being submitted prior to Sussex County Engineering Department approval.

Should you have any questions, please do not hesitate to contact me.

Sincerely,

SUSSEX COUNTY ENGINEERING DEPARTMENT

Ken Briggs
Public Works Engineering Technician II

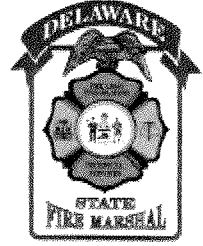


COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 589
GEORGETOWN, DELAWARE 19947



OFFICE OF THE STATE FIRE MARSHAL
Technical Services

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2020-04-203830-MJS-02

Tax Parcel Number: 334-12.00-127.01

Status: Approved as Submitted

Date: 07/02/2020

Project

Seaglass

OA Rehoboth LLC Property (Midtown)

Route 24 and Old Landing Road
Rehoboth Beach DE 19971

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 86 - Rehoboth Beach Vol Fire Co

Occupant Load Inside:

Occupancy Code: 9603

Applicant

W. Zachary Crouch
1 Park Avenue
Milford, DE 19963

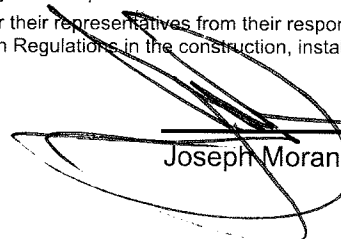
This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:


Joseph Moran

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2020-04-203830-MJS-02

Tax Parcel Number: 334-12.00-127.01

Status: Approved as Submitted

Date: 07/02/2020

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1040 A** This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 1,000 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 800' on center.
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1190 A** Separate plan submittal is required for the building(s) proposed for this project.
- 1092 A** Perimeter Access is that portion of the building that is accessible by emergency services personnel and is within 100 feet of a street and capable of supporting fire ground operations. (DSFPR Regulation 705, Chapter 5, Section 1.4.1). Perimeter Access minimum width shall be 15 feet measured from the face of the building at grade with a maximum slope of ten percent (10%). Plantings and utility services (includes condenser units, transformers, etc.) shall be permitted within the perimeter access, provided they do not interfere with the emergency services fire ground operations. (DSFPR Regulation 705, Chapter 5, Sections 3.5 and 4.5). If a physical barrier (fence, pond, steep slope, etc) prevents access, that portion of the building perimeter shall not be included in the calculation of Percent of Perimeter Access. (DSFPR Regulation 705, Chapter 5, Sections 3.5.1 and 4.5.1).
- 2710 A** The following items will be field verified by this Agency at the time of final inspection:

- 1119 A All proposed fire hydrants and water mains shall be installed in accordance with the most current edition of the Delaware State Fire Prevention Regulations (DSFPR, Part II, Chapters 6 & 7).**
- 1132 A Fire hydrants shall be color coded in accordance with the DSFPR, Part III, Section 3 4. This includes both color coding the bonnet and 2" reflective tape around the barrel under the top flange.**
- 1232 A All threads provided for fire department connections, to sprinkler systems, standpipes, yard hydrants or any other fire hose connections shall be uniform to those used by the fire department in whose district they are located. DSFPR Part III,Section 1.1.5.1.**
- 1432 A The steamer connection of all fire hydrants shall be so positioned so as to be facing the street or fire lane. (DSFPR Regulation 705, Chapter 5, Section 10). The center of all hose outlet(s) on fire hydrants shall be not less than 18 inches above finalgrade (NFPA 24, Section 7.3.3).**
- 1332 A The distance between a fire hydrant and the fire lane shall not be greater than seven feet (DSFPR Part V, Chapter 5, Section 5 10.4).**
- 1432 A The steamer connection of all fire hydrants shall be so positioned so as to be facing the street or fire lane. (DSFPR Regulation 705, Chapter 5, Section 10). The center of all hose outlet(s) on fire hydrants shall be not less than 18 inches above finalgrade (NFPA 24, Section 7.3.3).**
- 1130 A Provide a water flow test on the subdivision hydrant(s) once they have been installed, and before they are placed into service (DSFPR Part I, Section 4 4.2 and Part III, Chapter 3). Results are to be forwarded to this Agency for review.**
- 1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes orrevisions to the plans occur, plans are required to be submitted, reviewed, and approved.**



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

October 22, 2020

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

SUBJECT: Letter of No Objection to Recordation
Seaglass at Rehoboth Beach
Tax Parcel # 334-12.00-127.01
Lewes & Rehoboth Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Site Plan, dated May 2020 (signed and sealed October 16, 2020), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawings. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Site Plan is not recorded prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. Entrance plans shall be developed in accordance with DelDOT's [Development Coordination Manual](#) and submitted to the Development Coordination Section for review and approval.

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.



Seaglass at Rehoboth Beach
Mr. Jamie Whitehouse
Page 2
October 22, 2020

If I can be of any further assistance, please call me at (302) 760-2266.

Very truly yours,



Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

cc: Preston Schell, OA North LLC
Zac Crouch, Davis, Bowen & Friedel, Inc.
William Kirsch, South District Entrance Permit Supervisor
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Gemez W. Norwood, South District Public Work Manager
James Argo, South District Project Reviewer
Robert Bragg, South District Subdivision Manager
Jennifer Pinkerton, Chief Materials & Research Engineer
Chris Sylvester, Traffic Studies Manager
Linda Osiecki, Pedestrian Coordinator
John Fiori, Bicycle Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kauffman, DTC Planner
James Kelley, JMT
Wendy L. Polasko, Subdivision Engineer
Brian Yates, Sussex County Reviewer

MAPPING & ADDRESSING

MEGAN NEHRBAS
MANAGER OF GEOGRAPHIC
INFORMATION SYSTEMS (GIS)
(302) 855-1176 T
(302) 853-5889 F



Sussex County

DELAWARE
sussexcountyde.gov

May 22, 2020

Ocean Atlantic Companies
Attn: Ben Gordy

RE: Proposed Subdivision Name(s)

I have reviewed the name(s) submitted for your proposed subdivision which is located in **Rehoboth Beach** (334-12.00-127.01). In reviewing the proposed name(s) the following has been approved for this subdivision:

SEAGLASS AT REHOBOTH BEACH

Should you have any questions please contact the Sussex County Addressing Department at 302-853-5888 or 302-855-1176.

Sincerely,

Terri L. Dukes

Terri L. Dukes
Addressing Technician II

CC: Christin Headley
Planning & Zoning



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 589
GEORGETOWN, DELAWARE 19947



December 10, 2020

Zachary Crouch
Davis, Bowen & Friedel, Inc.
wzc@dbfinc.com

RE: **Seaglass – Rehoboth Beach, DE**

Mr. Crouch,

Sussex Conservation District has reviewed the sediment and stormwater management plans submitted for the above referenced project. The District has found the submittal to be acceptable, please provide the District with the following:

- ☒ Submit 5 sets of plans for approval.
- ☒ Submit 1 set scaled 12 x 18 for approval.
- ☒ Submit an electronic copy (PDF) of the project's complete construction set.
- ☒ Submit a paper and electronic copy (PDF) of the Stormwater Report (and all exhibits).
- ☒ Provide a check for inspection fee for \$6,000 and maintenance fee for \$1,500. An additional \$500 is required for the review fee. (These fees can be combined on one check.)

Please note:

- ☒ Every plan sheet is to be signed and sealed by a qualified design professional.
- ☒ The SCD Owners Certification Statement is to be signed in ink on each set of plans.

If plans are submitted with any of the above items missing, they will **not** be approved. Be advised if there are any deficiencies which cannot be addressed within 72 hours the plans will be considered withdrawn and therefore, you will need to entirely resubmit. We appreciate your cooperation in this matter as we are trying to maintain a professional and structured office to better serve you.

If ownership is going to change, the District will require a new application and two sets of plans with the new owner's information and signed certification statement. In addition, the authorization to discharge stormwater under the regulations *Part 2 Special Conditions for Storm*

Water Discharges Associated with Construction Activities, must be transferred by the original owner to the new owner, please contact DNREC at 302-739-9921 for assistance.

If you have any questions or concerns regarding the aforementioned, please do not hesitate to contact the District at 302-856-2105.

Sincerely,

John Justice

Plan Reviewer

Cc:

Karl Kreppein

From: Tawanda Priester <TPriester@middlesexwater.com>
Sent: Wednesday, December 16, 2020 5:54 PM
To: Karl Kreppein
Cc: wzc@dbfinc.com
Subject: RE: Plan Review #5 for Seaglass
Attachments: 0818C032 - Seaglass_TUI_5th Submission_2020-11-20.pdf; Plan Approval App Rev.10 form.pdf

Karl,

At this time, TUI has completed the review of the attached utility plans and has no further comments. TUI's acceptance of these plans shall expire one (1) year from the date of this email. In the event final approval is not granted and construction is not started within the year, resubmission to TUI will be required. Also, if the project and/or utility plans are revised, resubmission will be required.

Prior to final approval, the WSA agreement must be executed between TUI and the developer and the income liability taxes must be paid. To initiate the process, the developer should contact Kirsten Higgins at khiggins@tuiwater.com or by phone at 302-747-1325.

Once the above items are complete, the following documentation may be submitted for final approval:

1. Completed plan approval application, signed and dated. Attached is the latest application.
2. Hard copies of FMO and ODW approvals.
3. One hard copy of the recorded record plans with book & page.
4. Three copies of final plans sealed by a professional engineer registered in the State of Delaware.
5. Electronic files on CD:
 - a. Final water utility plan in full .dwg format (AutoCAD 2018 or earlier versions).
 - b. Sealed final water utility plan in .pdf format.
 - c. Recorded record plat in .pdf format.

Thank you,

Tawanda Priester

Project Engineer

[TIDEWATER UTILITIES, INC.](http://www.tuiwater.com)

"Southern Delaware's Premier Water Company Since 1964"

Phone: 302-747-1339 Fax: 302-734-9295



tpriester@tuiwater.com

From: Karl Kreppein <kjk@dbfinc.com>
Sent: Friday, November 20, 2020 4:53 PM
To: Tawanda Priester <TPriester@middlesexwater.com>

- # TRIP GENERATION

TRAFFIC GENERATION DIAGRAM (PER HOUR PEAK HOUR (PM PEAK HOUR))

| ROAD TRAFFIC DATA: | |
|----------------------------|------------------------------------|
| FUNCTIONAL CLASSIFICATION: | LOCAL ROAD - LEVEL 3 |
| POSTED SPEED LIMIT: | 50 mph |
| ADJ. PROJECTED 20-YR AADT: | 692 PER 2014 TRAFFIC COUNTS |
| TRAFFIC PATTERN GROUP: | 1,100 AADT = 698 TRIPS |
| V/FACTOR VOLUME: | 698 / 34 = 732 TRIPS |
| DISTRIBUTION D-FACTOR: | 12.00% / 732 = 88 TRIPS |
| | 8.00% / 732 = 69 TRIPS |
| | 61.32% / 38.65 = 54 WEST / 34 EAST |

SITE TRIPS GENERATED:

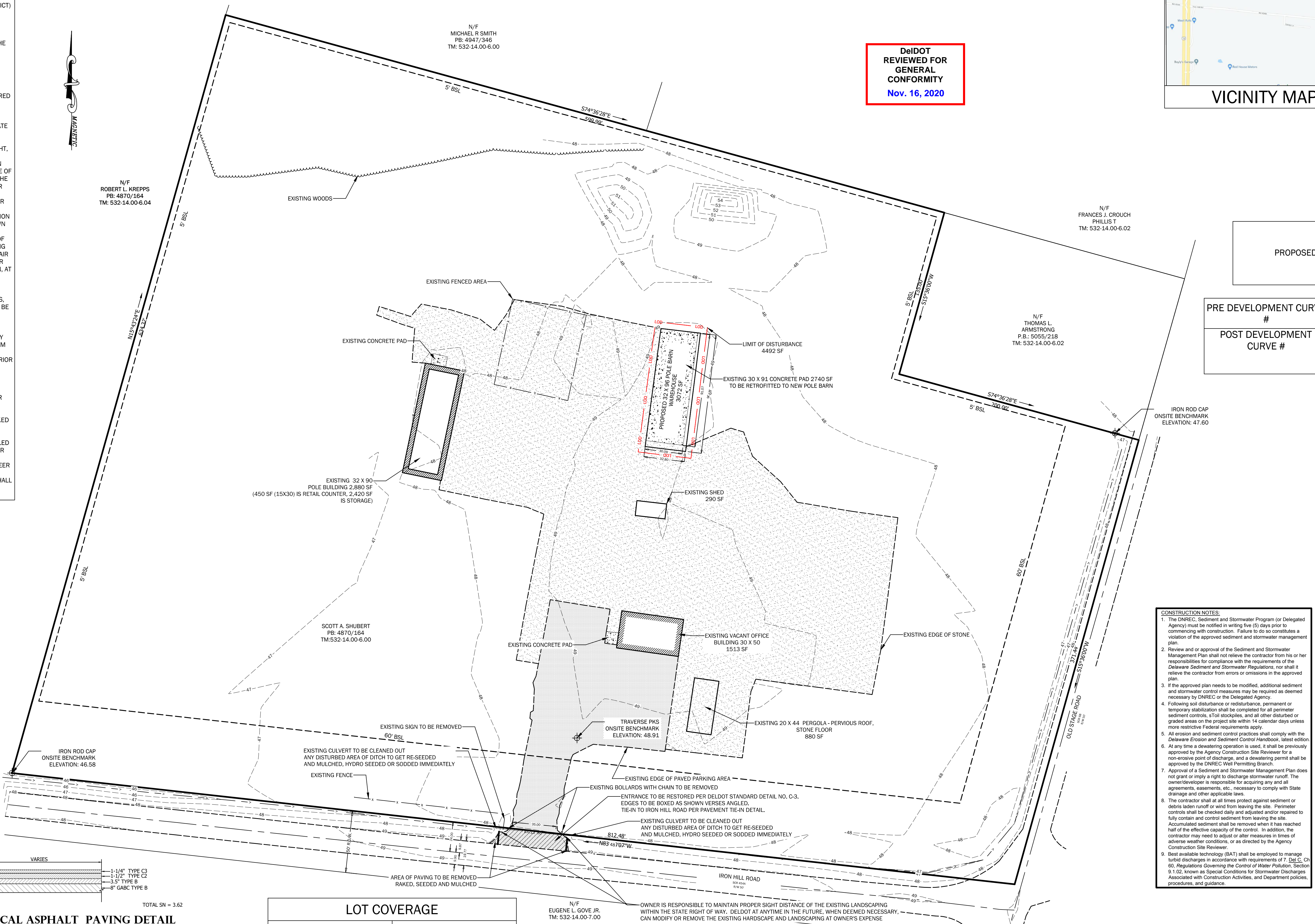
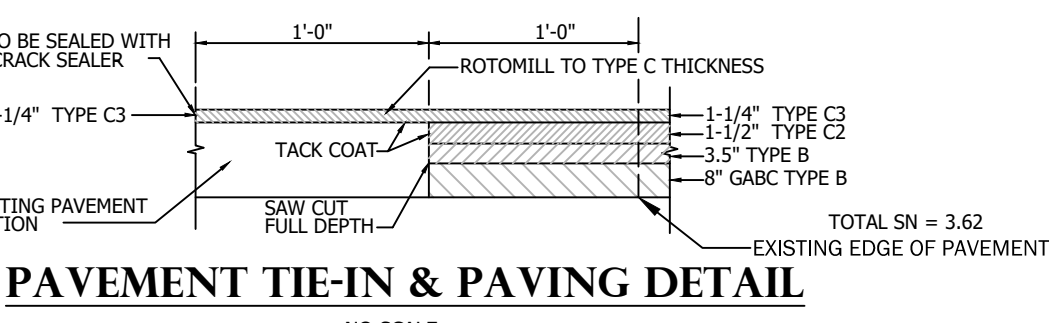
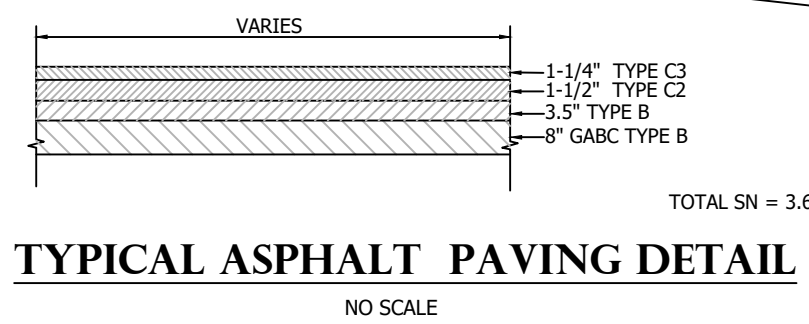
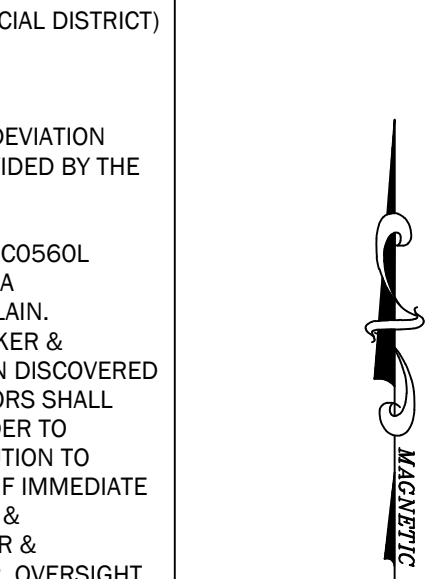
| SOURCE | TRIP GENERATION MANUAL, 15th EDITION |
|--|--------------------------------------|
| 150 - WAREHOUSE | PER 1000 SQ FT |
| 812 - RETAIL | PER 1000 SQ FT |
| 715 - OFFICE | PER 1000 SQ FT |
| ONE EXISTING ENTRANCES: | FULL MOVEMENTS |
| DESIGN VEHICLE: | WB-67 |
| DAILY TRIPS EXISTING WAREHOUSE + BUILDING SIZE = 2,430 SF (1.74 X 2.43) | |
| DAILY TRIPS EXISTING | T = 4 |
| DAILY TRIPS EXISTING RETAIL (INSIDE WAREHOUSE) + BUILDING SIZE = 450 SF (18.00 X 2.50) | |
| DAILY TRIPS EXISTING | T = 6 |
| DAILY TRIPS EXISTING SINGLE USE OFFICE + BUILDING SIZE = 1,513 SF (11.25 X 1.51) | |
| DAILY TRIPS EXISTING | T = 17 |
| DAILY TRIPS PROPOSED WAREHOUSE + BUILDING SIZE = 3,072 SF (7.43 X 3.07) | |
| DAILY TRIPS PROPOSED | T = 34 |
| TOTAL TRIPS FOR SITE = | 54 WEST / 34 EAST |
| WAREHOUSE - EXISTING AND PROPOSED: | |
| 9 DAILY TOTAL TRIPS - 50% ENTER, 50% EXITING = 4 IN / 5 OUT | |
| 15% IN FROM EAST = 1, 15% OUT TO EAST = 0 | |
| 85% IN FROM WEST = 3, 85% OUT TO WEST = 4 | |
| PM PEAK 1 TOTAL TRIPS: 17% ENTER, 23% EXITING = 1 IN / 0 OUT | |
| 15% IN FROM EAST = 0, 15% OUT TO EAST = 0 | |
| 85% IN FROM WEST = 0, 85% OUT TO WEST = 1 | |
| PM PEAK 2 TOTAL TRIPS: 27% ENTER, 73% EXITING = 0 IN / 1 OUT | |
| 15% IN FROM EAST = 0, 15% OUT TO EAST = 0 | |
| 85% IN FROM WEST = 0, 85% OUT TO WEST = 1 | |
| OFFICE - EXISTING: | |
| 21 DAILY TOTAL TRIPS - 50% ENTER, 50% EXITING = 8 IN / 9 OUT | |
| 15% IN FROM EAST = 1, 15% OUT TO EAST = 1 | |
| 85% IN FROM WEST = 7, 85% OUT TO WEST = 8 | |
| PM PEAK 3 TOTAL TRIPS: 89% ENTER, 11% EXITING = 2 IN / 1 OUT | |
| 15% IN FROM EAST = 0, 15% OUT TO EAST = 0 | |
| 85% IN FROM WEST = 2, 85% OUT TO WEST = 1 | |
| PM PEAK 3 TOTAL TRIPS: 15% ENTER, 85% EXITING = 0 IN / 3 OUT | |
| 15% IN FROM EAST = 0, 15% OUT TO EAST = 0 | |
| 85% IN FROM WEST = 0, 85% OUT TO WEST = 3 | |
| RETAIL - EXISTING: | |
| 9 DAILY TRIPS - 50% ENTER, 50% EXITING = 4 IN / 4 OUT | |
| 15% IN FROM EAST = 1, 15% OUT TO EAST = 1 | |
| 85% IN FROM WEST = 3, 85% OUT TO WEST = 3 | |
| PM PEAK 1 TOTAL TRIPS: 63% ENTER, 37% EXITING = 1 IN / 0 OUT | |
| 15% IN FROM EAST = 0, 15% OUT TO EAST = 0 | |
| 85% IN FROM WEST = 1, 85% OUT TO WEST = 0 | |
| PM PEAK 2 TOTAL TRIPS: 17% ENTER, 83% EXITING = 0 IN / 1 OUT | |
| 15% IN FROM EAST = 0, 15% OUT TO EAST = 0 | |
| 85% IN FROM WEST = 0, 85% OUT TO WEST = 1 | |

TOTAL

ADT = 34 TRIPS 17 ENTER, 17 EXITING

PM = 4 (ENTER, 1 EXITING)

PM = 5 (ENTER, 4 EXITING)



| LOT COVERAGE | |
|------------------|------------|
| EXISTING | 21.31% IMP |
| PROPOSED | 21.31% IMP |
| LAND USE SUMMARY | |
| EX. OFFICE | 1513 SQFT |
| EX. WAREHOUSE | 2880 SQFT |
| PROP. WAREHOUSE | 3072 SQFT |

| SITE COVERAGE CHART | |
|---------------------|------------|
| AREA | SQFT |
| BUILDING | 7755 SQFT |
| STONE | 69585 SQFT |
| PAVEMENT | 14051 SQFT |
| CONCRETE | 200 SQFT |

OWNER'S CERTIFICATION

I, THE UNDERSIGNED, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED STANDARD PLAN AND THAT RESPONSIBLE (I.E., BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT DNREC SEDIMENTATION AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS.

Scott A. Shupert *11/3/20*

SCOTT A. SHUPERT _____ Date
 32077 SPERIN RD.
 SAUSBURG, MD 21804

ENGINEER'S CERTIFICATION

IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE. THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

Brook E. Parker *11/3/20*

Brook E. Parker P.E., R.L.S. Date
 528 Riverside Drive
 Solitarius, Maryland 21801
 (410) 749-1023 fax: (410) 749-1012

| | |
|--------------------------|----|
| PRE DEVELOPMENT CURVE # | 84 |
| POST DEVELOPMENT CURVE # | 84 |

[illegible]



Sussex Conservation District
23181 Shortly Road
Georgetown, DE 19947
302-856-2105

<https://www.sussexconservation.org>

APPLICATION FOR STANDARD PLAN APPROVAL
**NON-RESIDENTIAL CONSTRUCTION WITH
LESS THAN 1.0 ACRE DISTURBED**

Applicability Criteria

1. The disturbed area for construction of the improvements will not exceed 1.0 acre. ✓
2. Within the disturbed area, the pre-development land use is not classified as forest. ✓
3. For project site locations within an area previously managed for stormwater quantity and quality under an approved Sediment and Stormwater Plan, the post construction condition meets the original stormwater design criteria.
4. For project site locations within an area previously unmanaged for stormwater quantity and quality under an approved Sediment and Stormwater Plan, one of the following is met:
 - a. Comparison of the existing parcel curved number (CN) based upon the Department's 2017 aerial photography to the proposed CN for the parcel after non-residential construction results in less than one whole number change in the CN, OR ✓
 - b. No new impervious area is proposed as a result of construction. ✓

Site Information

Project Name: Shubert Iron Hill
Site Location: Iron Hill Rd, DELMAR, DE
Previous Plan Name: N/A
Previous Plan Approval Number: _____
Tax Parcel ID: 532 - 14.00 - 6.05

Parcel Total Acres (nearest 0.1ac): 9.90 (9.86)
Disturbed Acres (nearest 0.1ac): 0.1
Proposed Impervious Area (square feet): 0 *
Wooded area to be cleared: 0
Pre CN: 84 Post CN: 84

Applicant Information

Owner: Scott A. Shubert
Mailing Address: 11133 Iron Hill Rd
Delmar DE 19940
Owner Phone: 302-462-7221
Owner Email: SSS60tshubert@gmail.com

Applicant: Parker and Associates
Mailing Address: 528 Riverside Dr.
Salisbury MD 21801
Applicant Phone: 410 749 1023
Applicant Email: Will@parkerandassociates.org

Fee = \$500.00

Approval Information (for office use only)

Approval # 2020-1221 Fee Paid: \$ 500.00
Approved by: [Signature] Approval Date: 11/12/20
Title: Program Manager Expiration Date: 11/12/25

* New building to be built over existing concrete & Stone area.
No new impervious.

Standard Conditions

1. Discharges from rooftops will be disconnected using one of the following methods or another method approved by the Department or Delegated Agency:
 - a. Individual downspouts will discharge to lawn or landscape area.
 - b. Discharges from downspouts will be collected to discharge to a rain garden.
 - c. Discharges from downspouts will be collected in rain barrels or cisterns for reuse.
2. Driveways, sidewalks, patios, and other impervious surfaces will be graded to sheet flow to lawn or other pervious areas to the maximum extent practicable.
3. Unless waived in writing by the Department or Delegated Agency a construction site stormwater management plan in accordance with Department or Delegated Agency guidance for this Standard Plan shall be followed. The attached checklist has been developed to serve as guidance for preparing the construction site stormwater management plan.
4. Approval of this Standard Plan does not relieve the applicant from complying with any and all federal, state, county or municipal laws and regulations.

Stabilization Conditions

1. Following initial soil disturbance or redistribution, temporary or permanent stabilization with seed and mulch shall be completed within 14 calendar days to the surface of all disturbed areas not actively under construction.
2. Specific stabilization recommendations may be found in the Delaware Erosion and Sediment Control Handbook, 3.4.3 Standard and Specifications for Vegetative Stabilization.

Applicant Certification

I, the undersigned, certify that the information supplied on this Application for Standard Plan Approval is accurate, the proposed land disturbing activity meets the criteria established, and all conditions of this Standard Plan Approval will be met by the applicant, builder, contractor, and owner during construction and post construction.

Applicant Signature:  Date: 8/13/20

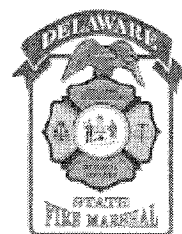
Applicant Printed Name: Will Kernodle, CCR Title: Eng. Manager

THIS STANDARD PLAN APPLICATION FORM MUST BE MAINTAINED ON THE SITE AT ALL TIMES DURING CONSTRUCTION



OFFICE OF THE STATE FIRE MARSHAL
Technical Services

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2020-04-204733-MJS-01

Tax Parcel Number: 532-14.00-6.05

Status: Approved as Submitted

Date: 09/14/2020

Project

Shubert Warehouse

Iron Hill Road & Old Stage Road

Shubert Property

Laurel DE 19956

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 74 - Delmar Volunteer Fire Dept Inc

Occupant Load Inside:

Occupancy Code:

Applicant

Scott Shubert
32077 Spearin Road
Salisbury, MD 21804

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:

Desiree McCall

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2020-04-204733-MJS-01

Tax Parcel Number: 532-14.00-6.05

Status: Approved as Submitted

Date: 09/14/2020

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1010 A** The following water for fire protection requirements apply: **NONE. On-Site Wells Proposed.** this site meets Water Flow Table 1. therefore the provisions of NFPA 1142 shall apply to this site (DSFPR Regulation 702, Chapter 6, Section 3). Since wells are proposed for this site, no additional requirements will be made by this Agency for water for fire protection.
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1190 A** Separate plan submittal is required for the building(s) proposed for this project.
- 1501 A** If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountype.gov
302-855-7878
302-854-5079 F
JAMIE WHITEHOUSE, MRTPI, AICP
DIRECTOR OF PLANNING & ZONING

December 17, 2020

Mr. Will Kernodle, P.E.
Parker & Associates, Inc.
528 Riverside Drive
Salisbury, MD 21801

By email to will@parkerandassociates.org

RE: Staff Review of Revised Preliminary Site Plan for Lands of Shubert (S-20-01/CU 1610) for a proposed 3,072 square foot commercial storage building addition with site improvements on a 9.607-acre parcel of land accessed from Iron Hill Rd (S.C.R. 454A).

Tax Parcel: 532-14.00-6.05

Dear Mr. Kernodle,

Further to your submission of November 23, 2020, staff have reviewed submitted Final Site Plan for the Lands of Shubert (S-20-01/CU 1610) for a proposed 3,072 square foot pole barn warehouse addition with site improvements on a 9.607-acre parcel of land accessed from Iron Hill Road (S.C.R. 454A). The parcel is split zoned Heavy Commercial (C-3) Zoning District with the 200-ft from the western side of the property remaining in its existing zoning Agricultural Residential (AR-1) Zoning District. Staff have reviewed the site plan for compliance with the Sussex County Zoning Code and have the following comments:

Revised Preliminary Site Plan

1. Please indicate at the top center of the plans that this is a Revised Preliminary Site Plan and please include the County Project Reference Number (S-20-01).
2. Please include the Conditions of Approval in a separate call-out box to further distinguish them from the existing text. Please also clarify that the Conditions of Approval shown on the plans are for CU 1610. You may also wish to file any additional notes under the header of "General Notes."
3. Please include the maximum height required for the Heavy Commercial District (C-3) (42-ft) in the Site Data Column.
4. Please amend the minor grammatical error in General Note #10 "This property is show on F.I.R.M.," to "This property is shown on F.I.R.M."
5. Please note in the Site Data Column that this project is not located within a Wellhead Protection Area to comply with Chapter 89 "Source Water Protection" of the Sussex County Code (§89-6).
6. Please note in the Site Data Column that this project is located in an Excellent Recharge Area for Groundwater Recharge Potential to comply with Chapter 89 "Source Water Protection" of the Sussex County Code (§89-7).



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE 19947

7. Please amend the setback (BSL) on the eastern side of the property adjacent to parcel 6.02. The side yard setback should be 20-ft instead of the 30-ft shown on the plans.
8. Please amend the Property Owner name for parcel 6.02. The Property Owner of record is shown per the County's Online Mapping System as a "Thomas Armistead" rather than "Thomas Armstrong" as shown on the plans.
9. Please include the 15-ft side yard setback along the AR-1 Zoning District line reflected on the western side of the property which divides the property in half. Please also include the 20-ft side yard setback on the opposite side of the zoning line to reflect the 20-ft side yard setback for the C-3 Zoning District.
10. Please include the Net Development Area on the plans. As a general reminder, the net development area shall refer to the total area of land available for development and shall not include open space, drainage land, regional roads and land used for other public facilities (§115-221(B)(3)).
11. Please include the height of all proposed buildings and structures on the plans (§115-221(B)(7)).
12. Please show the location, height and material of all fences and any proposed landscaping on the plans (§115-221(B)(9)).
13. Condition of Approval #2 allows for "one (1) non-lighted ground sign, not exceeding 32 square feet per side or facing." Please show the location, character, size, height and orientation of proposed signs (§115-221(B)(11)).
14. Please provide a General Note which indicates that all signage will require a separate permit from the County.
15. Prior to approval of the Final Site Plan, approval letters or letters of no objection from the following agencies shall be submitted to the Sussex County Planning and Zoning Office:
 - a. **Sussex Conservation District**
 - b. **Office of State Fire Marshal**
 - c. **Delaware Department of Transportation (DelDOT)**

Please provide **one (1) full-size (24" x 36")** copy and **one (1) electronic copy** of a Revised Preliminary Site Plan no later than 10 days in advance of the Planning and Zoning Commission you wish for your project to be considered at. If you wish for your project to be considered at the **January 21, 2021** of the Planning and Zoning Commission meeting, please submit all items no later than close of business on **January 11, 2021**.

Please feel free to contact me with any questions during business hours 8:30 A.M. – 4:30 P.M., Monday through Friday at 302-855-7878.

Sincerely,



Ms. Lauren DeVore
Planner III



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

November 16, 2020

Scott A. Shubert
32077 Sperin Rd
Salisbury, Maryland 21804

SUBJECT: Authorization to Apply for a Permit for Entrance Construction
Shubert Iron Hill
Tax Parcel # 532-14.00-6.05
SCR00454A-IRON HILL ROAD
SCR00068-OLD STAGE ROAD
Little Creek (Sussex) Hundred, Sussex

Dear Scott A. Shubert:

The Delaware Department of Transportation (DelDOT) has reviewed your request, dated August 14, 2020, to obtain a Letter of No Contention (LONC) to use an existing commercial building and site entrance for the above referenced project. In coordination with the South District Public Works Office we have determined that your project will require some modifications or enhancements to meet current regulatory requirements. We have therefore determined that this project is eligible to obtain a Permit for Entrance Construction (PEC) to make these modifications. The PEC will include a list of items that must be addressed, as well as requirements for bonding to perform work, where needed, within the State of Delaware right-of-way (ROW). This approval shall be valid for a period of **one (1) year**.

Please note: Your Permit for Entrance Construction must be obtained from the South District Public Works Office, before you can start any construction.

The following conditions are provided with this response letter:

- 1) Site shall have access from the existing entrance located on Iron Hill Road (SCR 454A).
- 2) Only the modifications/construction or traffic pattern changes that are itemized and authorized under the PEC will be permitted. Please coordinate with the DelDOT Public Works Office regarding the scope, location and limits of the following items, as well any other items listed in the PEC:
 - a) Improve existing entrance in accordance with current DelDOT regulations, standard specifications, and standard details. Refer to the Site Plan dated August 6, 2020 for the required improvements.

- 3) DelDOT reserves the right to review, modify or revoke this authorization letter and PEC and require additional entrance upgrades in the future if proposed activities create traffic conflicts, safety concerns or operational issues.
- 4) The property owner is responsible to:
 - a. Submit information to DelDOT, regarding any future operational or site changes, (including but not limited to: rezoning, site layout changes, changes in use, entrance modifications, expanded/additional uses, new uses, etc.). Changes of this nature may alter the flow and/or volume of traffic and could require a new PEC, LONC or formal review for Approvals and/or Permits.
 - b. Establish and maintain clear sight lines at the entrance. There shall be no placement of structures, signs, objects, items for sale or parking of vehicles within State ROW or entrance limits. Shrubbery, Plantings, trees and/or other visual barriers that could obstruct the sight distance of a driver preparing to enter the roadway are prohibited.
- 5) The property owner and applicant are responsible to coordinate with DelDOT Outdoor Advertising & Roadside Control at (302) 853-1327, for information on obtaining specific permits for sign installation on private property. Permits for Utilities construction within State right-of-way require separate permit applications please contact DelDOT's South District at (302) 853-1345.

The Department would like to thank you for your submittal.

Please contact the South District Public Works Office at (302) 853-1340, for their assistance in obtaining the PEC. No construction or modification listed under Item 2 is allowed in advance of the DelDOT Public Works Office issuance of the Permit for Entrance Construction.

Sincerely,



Susanne K. Laws
Sussex County Review Coordinator,
Development Coordination

cc: Wilbur Kernodle, Parker and Associates, Inc.
Jamie Whitehouse, Sussex County Planning & Zoning Commission
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Matt Schlitter, South District Public Works Engineer
Gemez Norwood, South District Public Works manager
William Kirsch, South District Entrance Permit Supervisor
James Argo, South District Project Reviewer
Wendy L. Polasko, Subdivision Engineer
John Andrescavage, Sussex County Reviewer

PLANTATION SQUARE

PRELIMINARY SITE PLAN

PLANTATION ROAD (SCR 275)

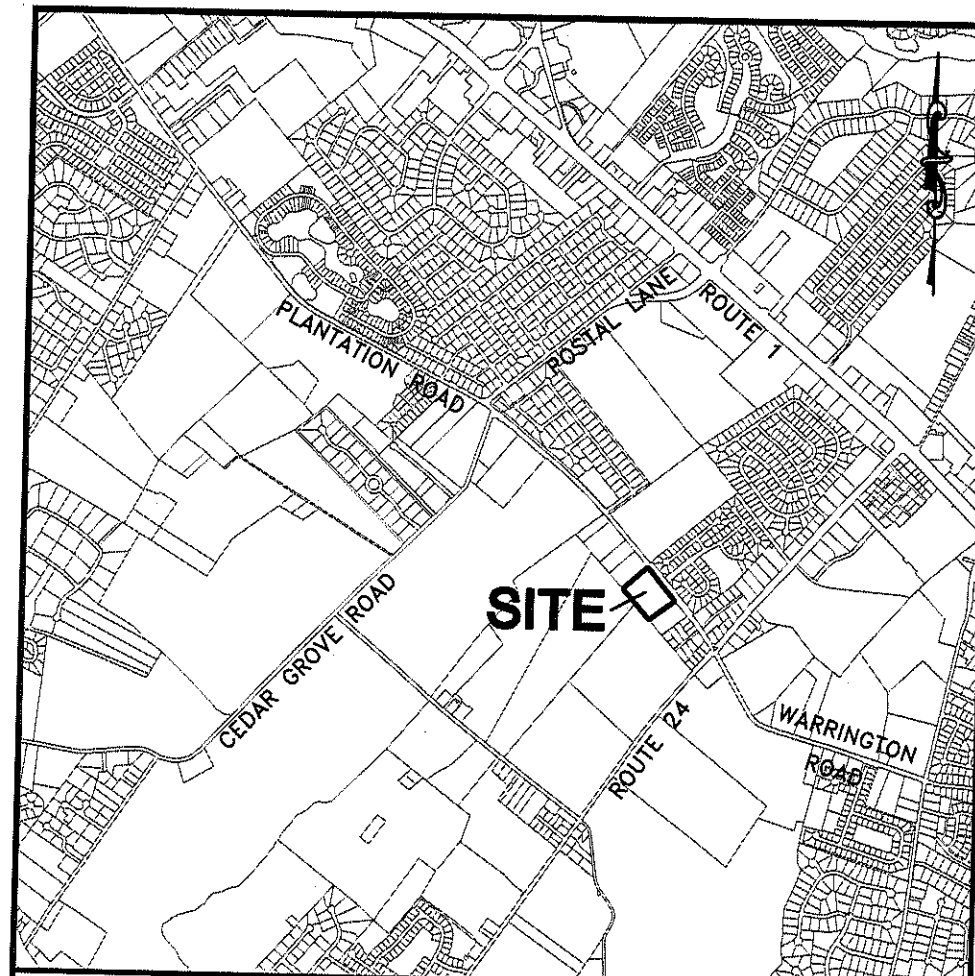
LEWES & REHOBOTH HUNDRED,

SUSSEX COUNTY, DELAWARE

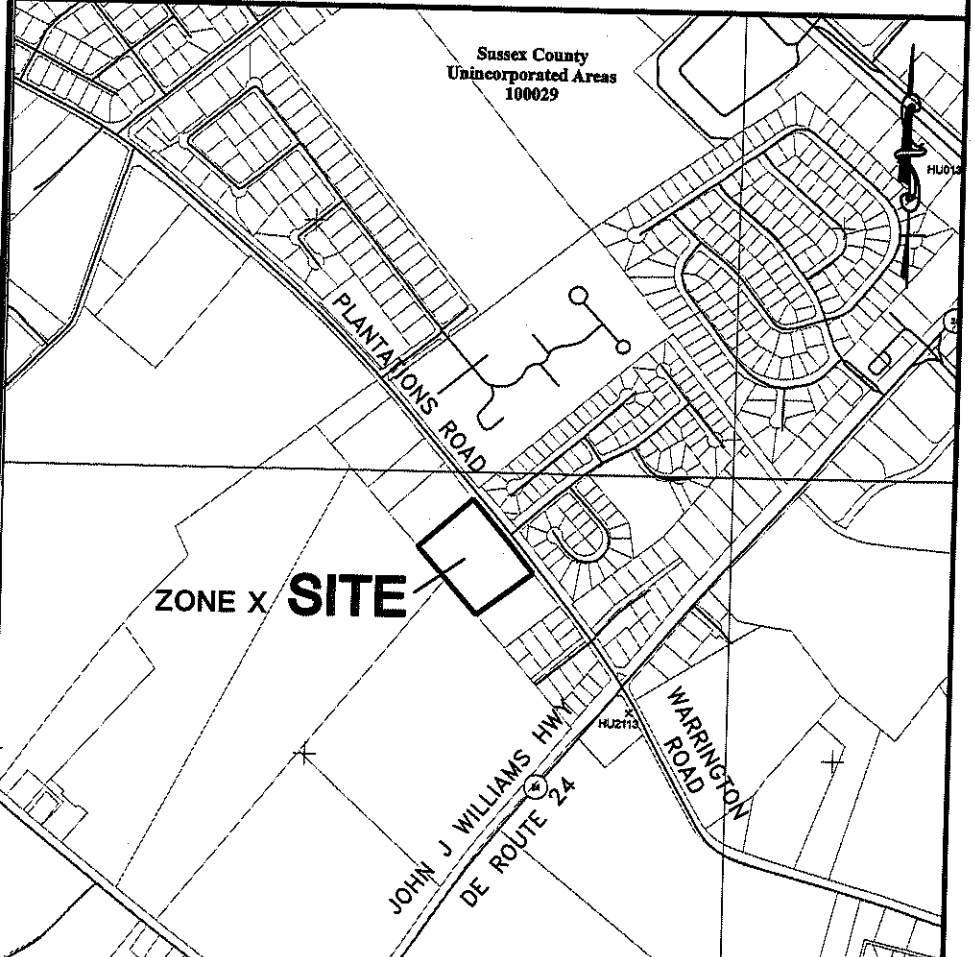
SUSSEX COUNTY PLANNING & ZONING #S-18-54

DBF #2261J005

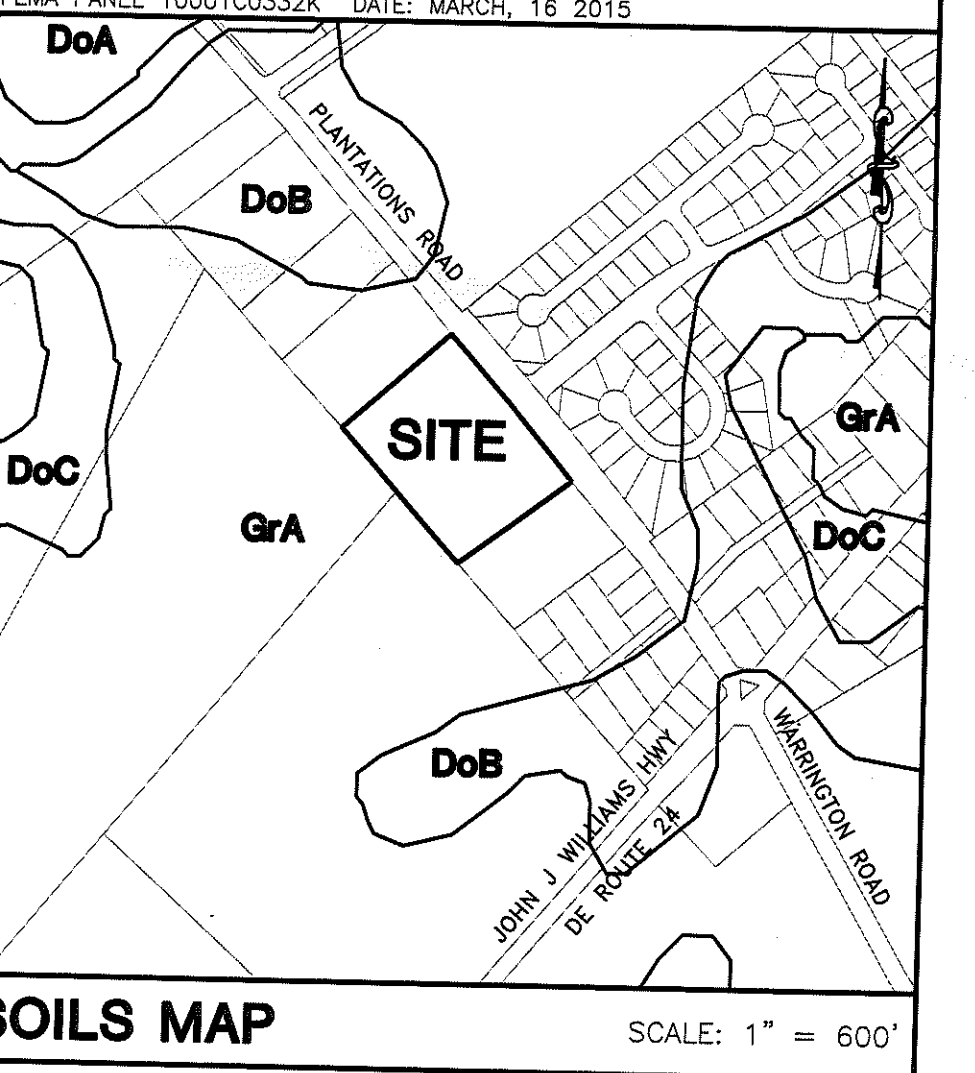
DECEMBER, 2020



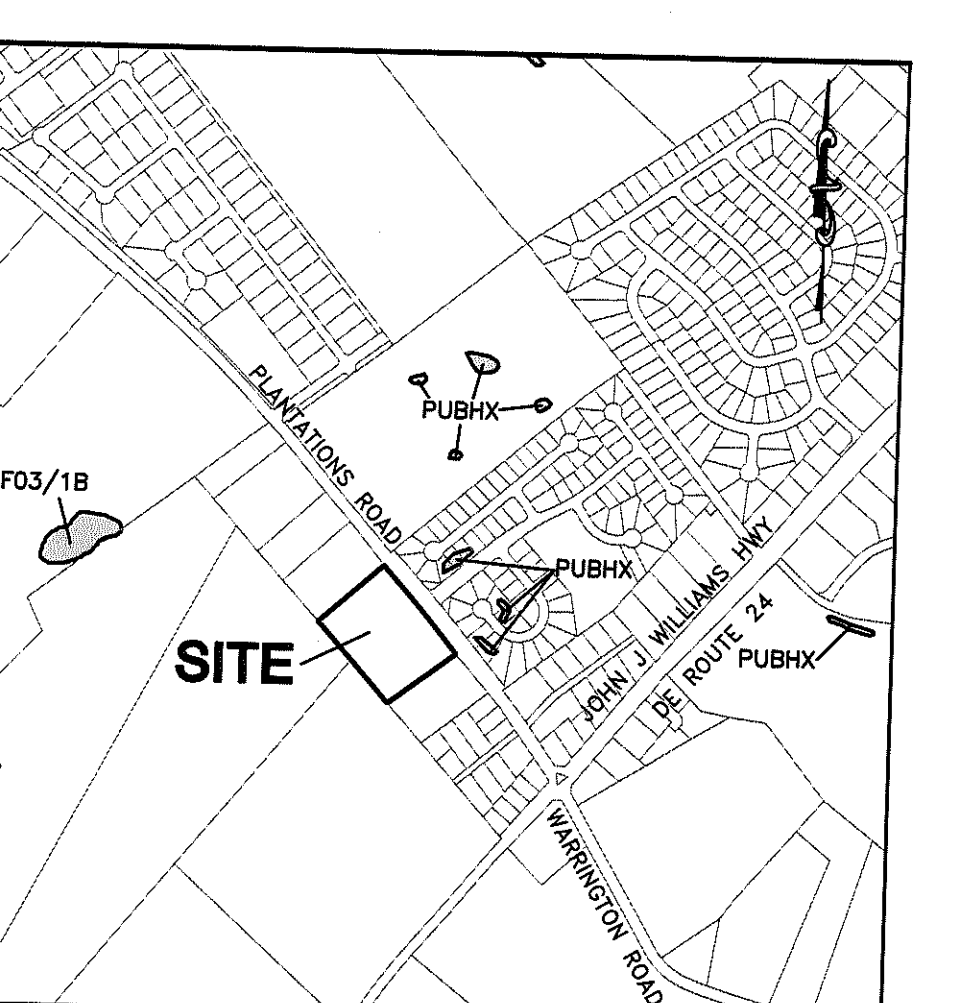
LOCATION MAP SCALE: 1" = 1/2 MILE



FLOODPLAIN MAP SCALE: 1" = 1200'



SOILS MAP SCALE: 1" = 600'



NW1 WETLANDS MAP SCALE: 1" = 1000'

DATA COLUMN

TAX MAP NUMBER: 3-34-12.00-57.01
SEE PLANTATION SQUARE RECORD PLAN SHEET V-101 AND V-101.1
FOR ACCESS/DELDOT/UTILITY EASEMENT INFORMATION.

DATUM
VERTICAL: NAVD 83
HORIZONTAL: NAD 83 (STATE PLANE)

BENCHMARK #1
IRON ROD (CAPPED) (SET)
N: 264852.7503
E: 753461.6720
LAT: 38°43'36.99" N; 75°08'44.65" W
ELEV. = 28.17'
NE OF NORTH PROPERTY CORNER

BENCHMARK #2
IRON ROD (CAPPED) (SET)
N: 264249.1144
E: 753967.4095
LAT: 38°43'31.00" N; 75°08'38.29" W
ELEV. = 29.02'
NE OF SOUTH PROPERTY CORNER

TOPOGRAPHIC SURVEY WAS PERFORMED BY DAVIS, BOWEN AND FRIEDEL, INC. DELAWARE ON DECEMBER 6, 2017

PROJECT COORDINATES
SITE -
LAT: 38°43'32.9961" N
LONG: -75°08'45.2036" W

ZONING
EXISTING: NEIGHBORHOOD BUSINESS (B-1)
PROPOSED: NEIGHBORHOOD BUSINESS (B-1)

LAND USE
LOCAL AGENCY: SUSSEX COUNTY
EXISTING USE: AGRICULTURAL
PROPOSED USE: COMMERCIAL BUSINESS

PROPOSED SQUARE FOOTAGE
1 BUILDING @ 15,525 SQ. FT.
1 BUILDING @ 9,200 SQ. FT. = 24,725 SQ. FT. TOTAL

B-1 MINIMUM REQUIREMENTS
FRONT YARD SETBACK: 60 FT.
SIDE YARD SETBACK: 20 FT.
REAR YARD SETBACK: 30 FT.
LOT AREA: 10,000 SQ. FT.
LOT WIDTH: 75 FT.
LOT DEPTH: 100 FT.

MAXIMUM REQUIREMENTS
BUILDING HEIGHT: 42 FT.
PROPOSED HEIGHT: 30 FT. (2-STORY)

AREAS
TOTAL PARCEL AREA: 6.058± ACRES
EX. SITE AREA: 6.058 ACRES
PROP. SITE AREA: 6.058 ACRES

EX. NUMBER OF LOTS: 1
PROP. NUMBER OF LOTS: 1

POSTED SPEED LIMIT: 45 MPH
INVESTMENT LEVEL: 2

REQUIRED PARKING
1 SPACE FOR EVERY 200 SQ. FT. OF COMMERCIAL SPACE PLUS
1 PER 2 EMPLOYEES ON THE LARGEST SHIFT
49,450 / 200 = 247 SPACES
PLUS 24 EMPLOYEES / 2 = 12 SPACES
TOTAL SPACES REQUIRED: 260 SPACES
PROPOSED PARKING PROVIDED: 267 SPACES

LOADING SPACES REQUIRED: 1 SPACE PER BUILDING 5,000
TO 25,000 SF = 2 SPACES

LOADING SPACES PROVIDED: 2 SPACES @ (12 X 40) FT.

UTILITIES
SEWER PROVIDER: WEST REHOBOTH EXPANSION OF THE
DEWEY BEACH SANITARY SEWER DISTRICT

WATER PROVIDER: TIDEWATER UTILITIES

NEAREST INTERSECTING STREET: ~870' NORTH OF DELAWARE
ROUTE 24 JOHN WILLIAMS HIGHWAY

FLOODPLAIN - THE PROPERTY IS NOT IMPACTED BY THE 100 YEAR
FLOODPLAIN AS DETERMINED BY FEMA PANEL 10001C0332K.

THIS PARCEL IS LOCATED WITHIN THE HENLOPEN TID

WETLANDS - THERE ARE NO WETLANDS LOCATED ON THE SITE.

OWNER/DEVELOPER

LMHT, LLC
246 REHOBOTH BLVD.
REHOBOTH BEACH, DE 19971
502-226-6631
POC: NICK HAMMONDS

PREPARED BY
DAVIS, BOWEN, AND FRIEDEL, INC.
1 PARK AVENUE
MILFORD, DE 19963
302-424-1441
POC: RING W. LARDNER, P.E.

OWNER'S STATEMENT

I, LMHT, LLC, HEREBY STATE THAT WE ARE THE LEGAL OWNERS OF THE
PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS
MADE AT OUR DIRECTION, THAT WE ACKNOWLEDGE THE SAME TO BE OUR
ACT AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO THE LAW.

LMHT, LLC
by NICK HAMMONDS

DATE

ENGINEER'S STATEMENT

I, RING W. LARDNER, P.E., HEREBY STATE THAT I AM A REGISTERED
ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN
HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST
KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS
REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVIS, BOWEN & FRIEDEL, INC.
by RING W. LARDNER, P.E.

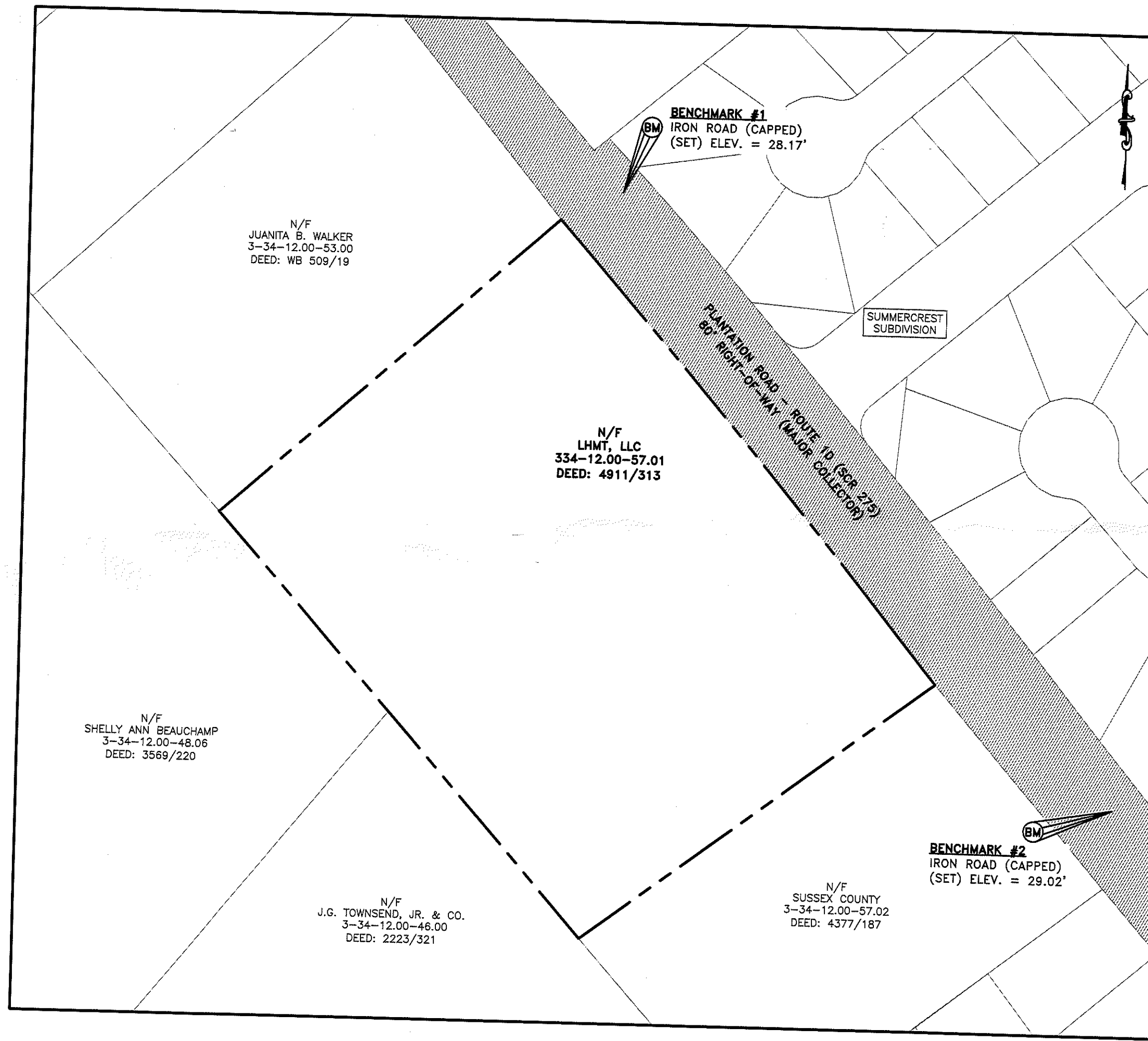
DATE

GENERAL NOTES

1. DRAINAGE, STORMWATER MANAGEMENT, AND EROSION AND SEDIMENT CONTROLS SHALL BE IN ACCORDANCE WITH THE DELAWARE SEDIMENT & STORMWATER
REGULATIONS OF 2014, OR AS LATER AMENDED. MAINTENANCE OF DRAINAGE, STORMWATER MANAGEMENT, AND EROSION & SEDIMENT CONTROL PRACTICES
WILL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR DURING THE CONSTRUCTION PHASE OF THE PROJECT, INCLUDING CONSTRUCTION OF THE UTILITIES.
WHEN THE PERMANENT DRAINAGE AND STORMWATER MANAGEMENT PRACTICES HAVE BEEN COMPLETED TO THE SATISFACTION OF THE APPLICABLE AGENCIES,
MAINTENANCE WILL ULTIMATELY BECOME THE RESPONSIBILITY OF THE PROPERTY OWNERS. THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO
ADD, MODIFY OR DELETE ANY EROSION AND SEDIMENT CONTROL MEASURE AS DEEMED NECESSARY.
2. THERE SHALL BE NO DEBRIS DISPOSAL ON THIS SITE.
3. THE BOUNDARY AND BASE TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD SURVEY BY DAVIS, BOWEN & FRIEDEL.
4. THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND
ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW
OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS, AND NIGHTTIME FARM OPERATIONS. THE
USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM
SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
5. ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION
REGULATIONS.
6. WATER SUPPLY - TIDEWATER UTILITY WATER SUPPLY IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND
ENVIRONMENTAL CONTROL AND THE DELAWARE STATE DIVISION OF PUBLIC HEALTH.
7. SANITARY SEWER - SUSSEX COUNTY ENGINEERING WILL PROVIDE SEWER SERVICE FOR THE PROPERTY. SEWER SERVICE IS SUBJECT TO THE APPROVAL OF
THE STATE OF DELAWARE DEPARTMENT OF NATURAL RESOURCES.

DELDOT GENERAL NOTES

1. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM)
AND SHALL BE SUBJECT TO ITS APPROVAL.
2. UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING
FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD
TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S
DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
3. TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW
FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
4. AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR, ANY DAMAGED OR MISSING CURB OR SIDEWALK FOUND ON SITE WILL NEED TO BE REPAIRED OR
REPLACED TO MEET CURRENT DELDOT STANDARDS.
5. THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE
ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SIDEWALK.
6. A PERPETUAL CROSS ACCESS INGRESS/EGRESS EASEMENT IS HEREBY ESTABLISHED AS SHOWN ON THE LONOR-RED PLAN.



0' 100' 200' 300'
SCALE: 1" = 100'

SHEET INDEX

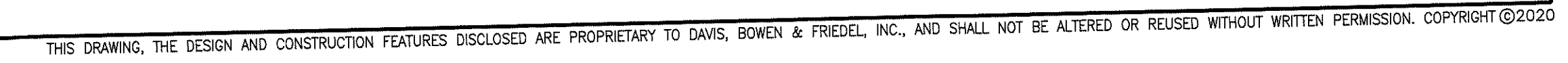
| SITE PLANS | |
|----------------------------------|---------|
| SITE PLAN - TITLE SHEET | |
| PRELIMINARY SITE PLAN | C-101 |
| PRELIMINARY CONSTRUCTION DETAILS | C-102.1 |

dbf DAVIS,
BOWEN &
FRIEDEL, INC.

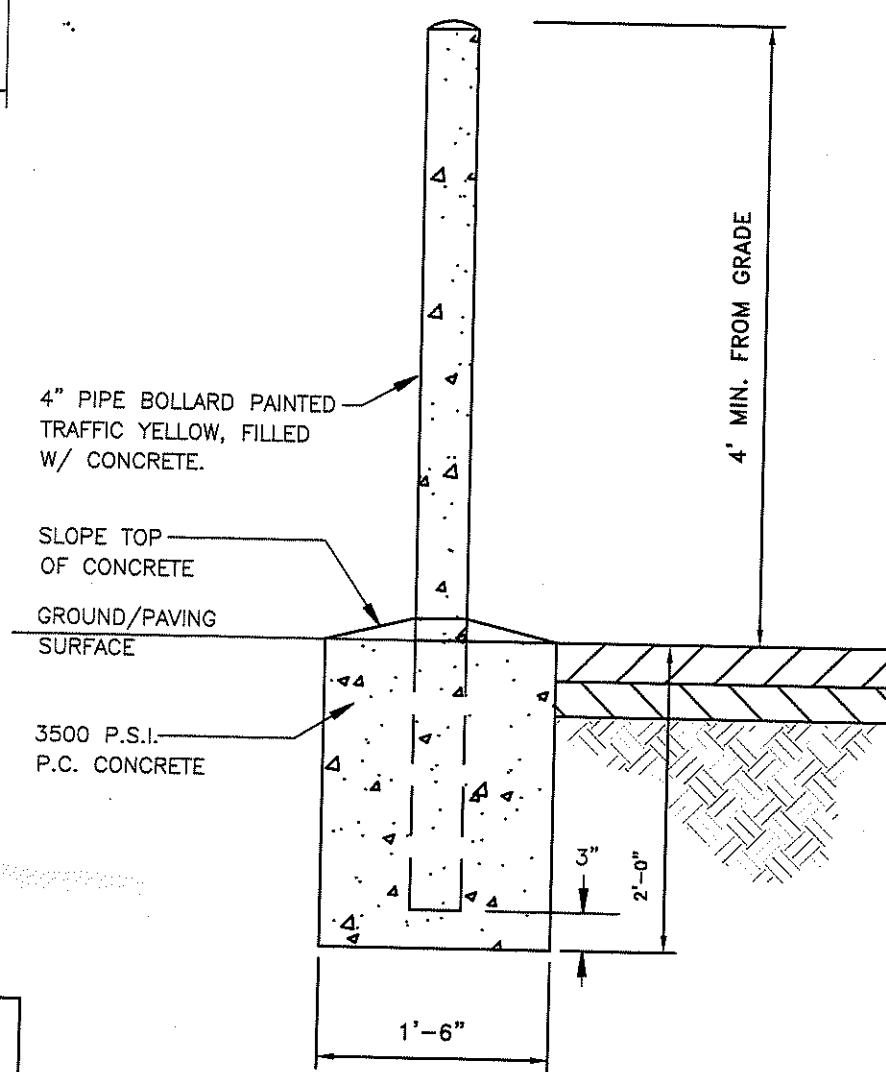
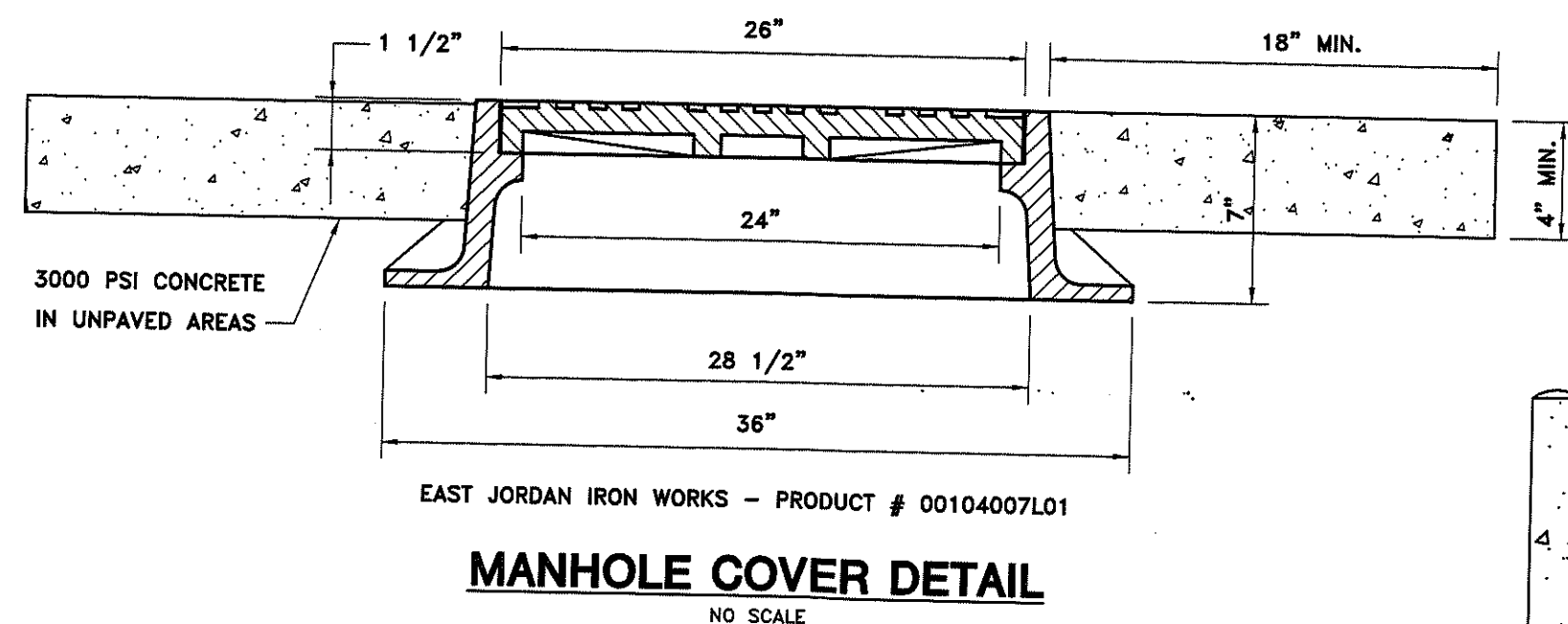
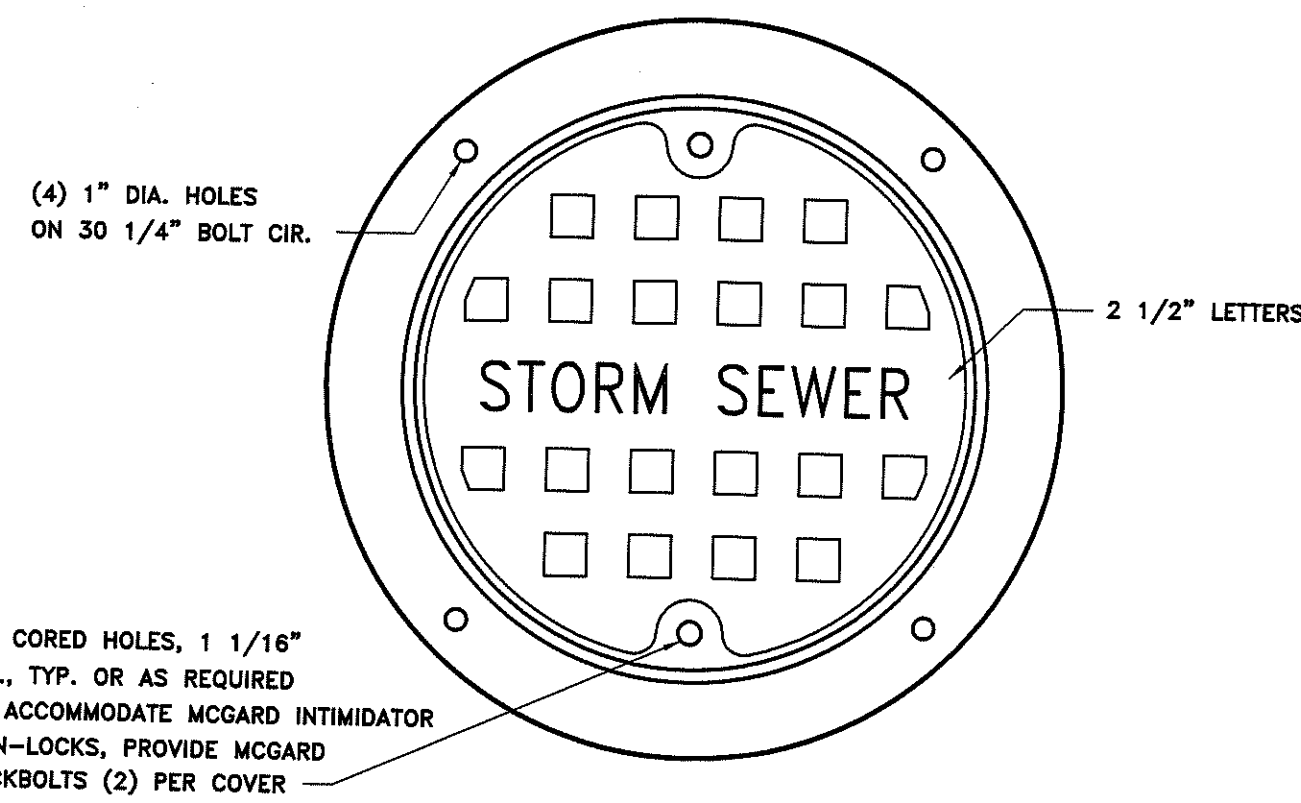
ARCHITECTS ENGINEERS SURVEYORS

SALISBURY, MARYLAND (410) 543-0001
MILFORD, DELAWARE (302) 424-1441
EASTON, MARYLAND (410) 770-4744

C-101

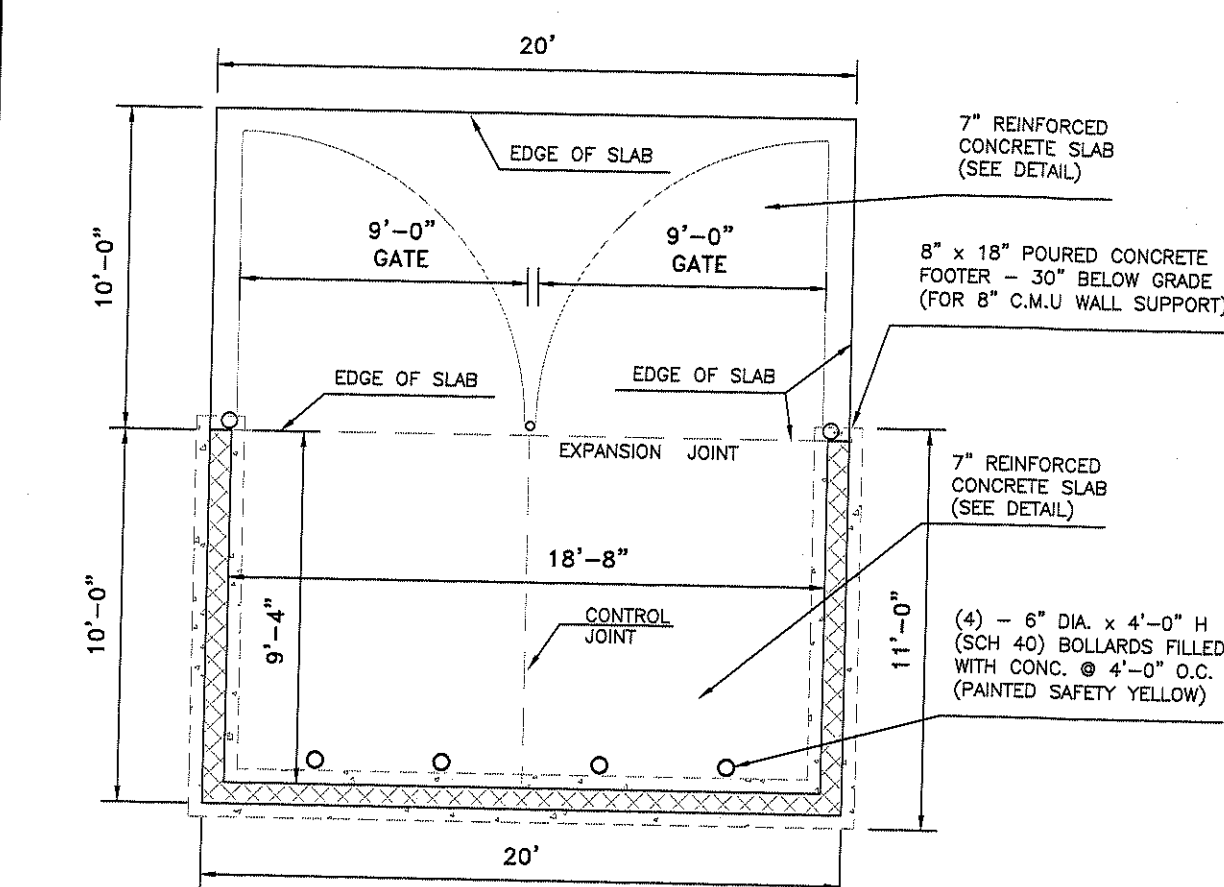


P:\JG Townes\Plantations Road Property\2020 Rec-Design\2261J005-CONSTRUCTION DETAILS- C-102.1.dwg Dec 04, 2020 - 8:52am

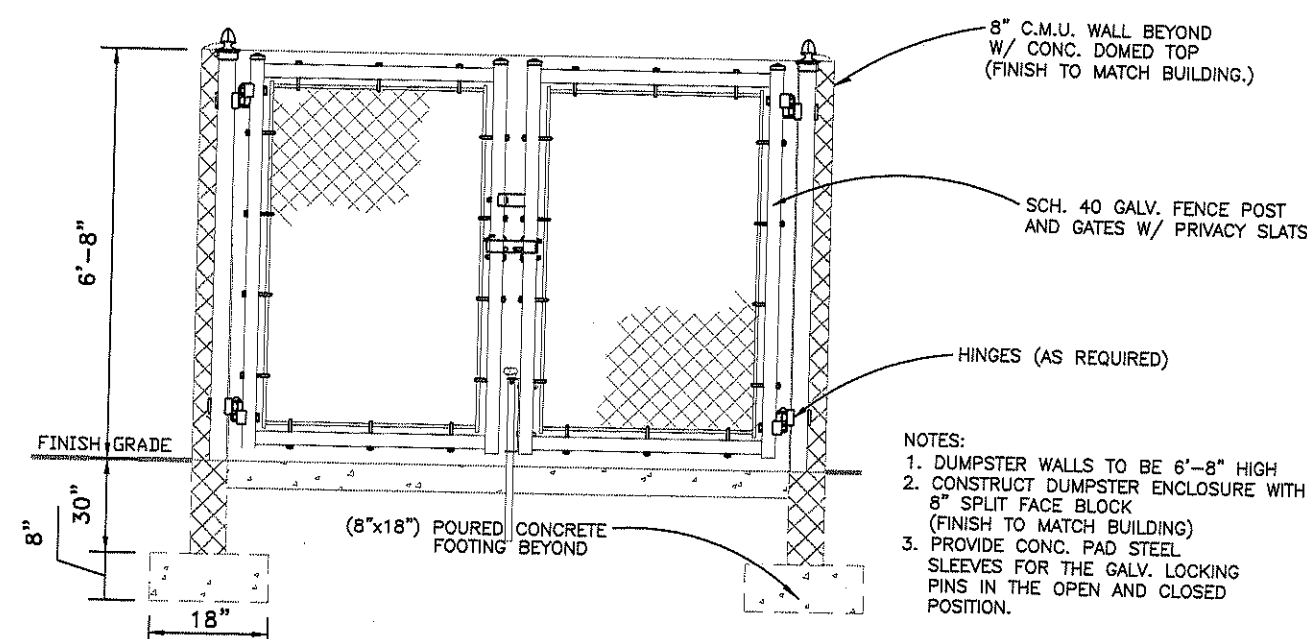


BOLLARD DETAIL
NO SCALE

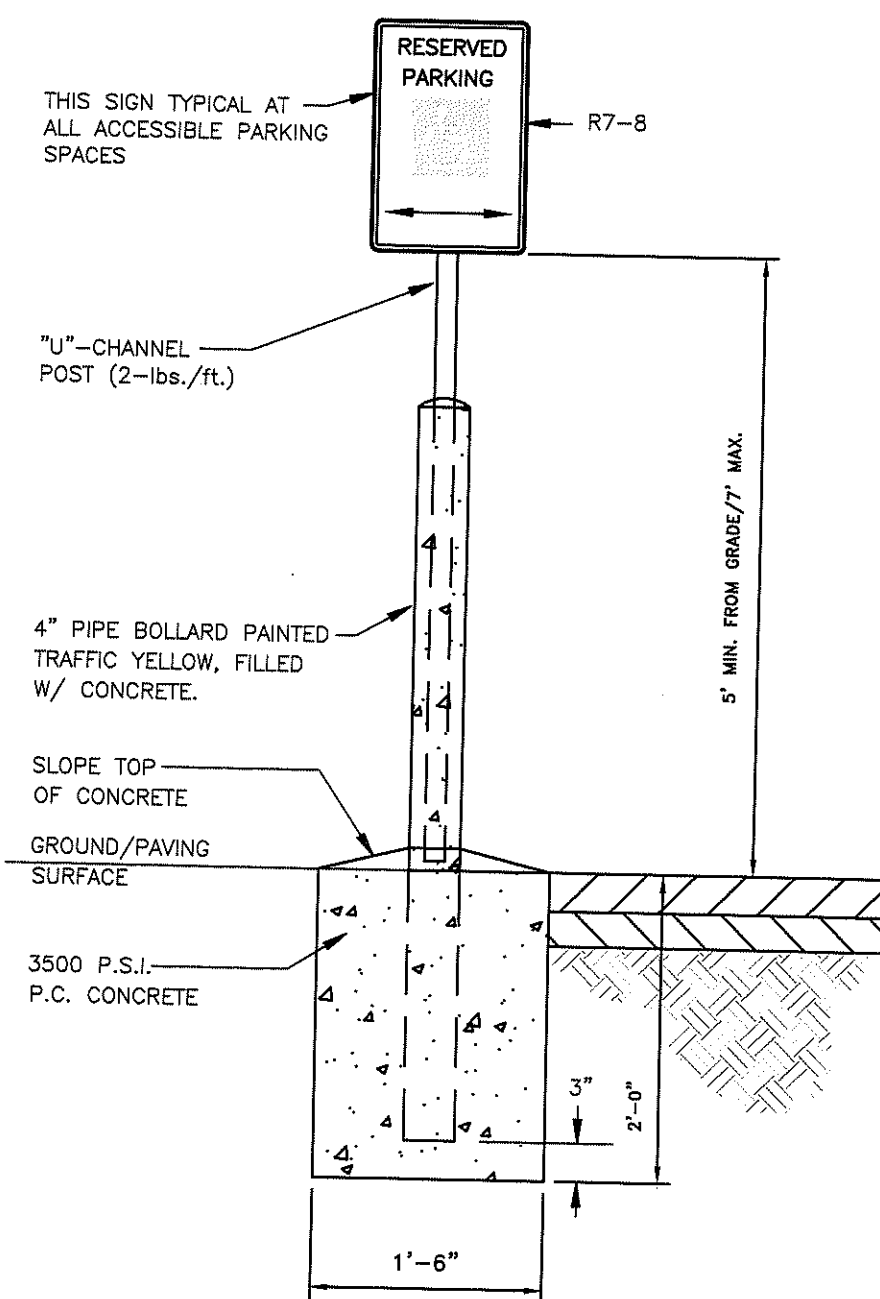
CG



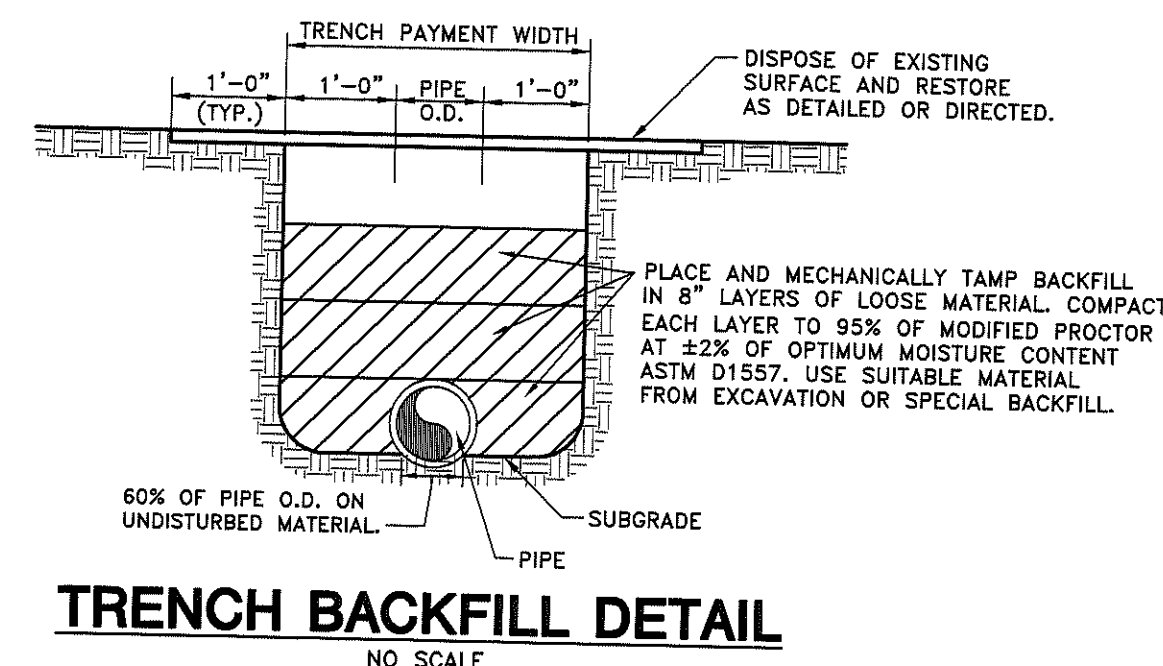
DUMPSTER ENCLOSURE PLAN
NOT TO SCALE



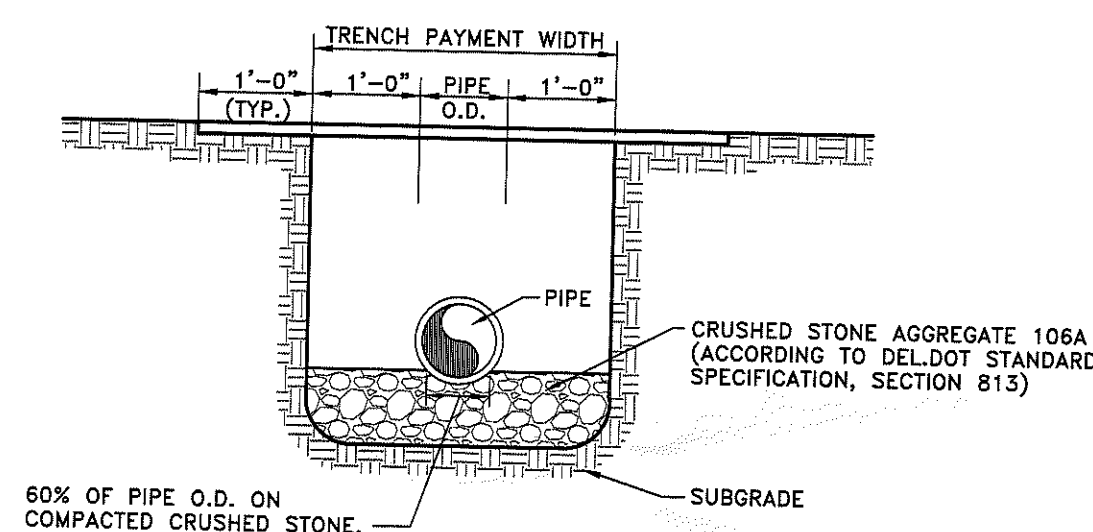
DUMPSTER ENCLOSURE ELEVATION
NOT TO SCALE



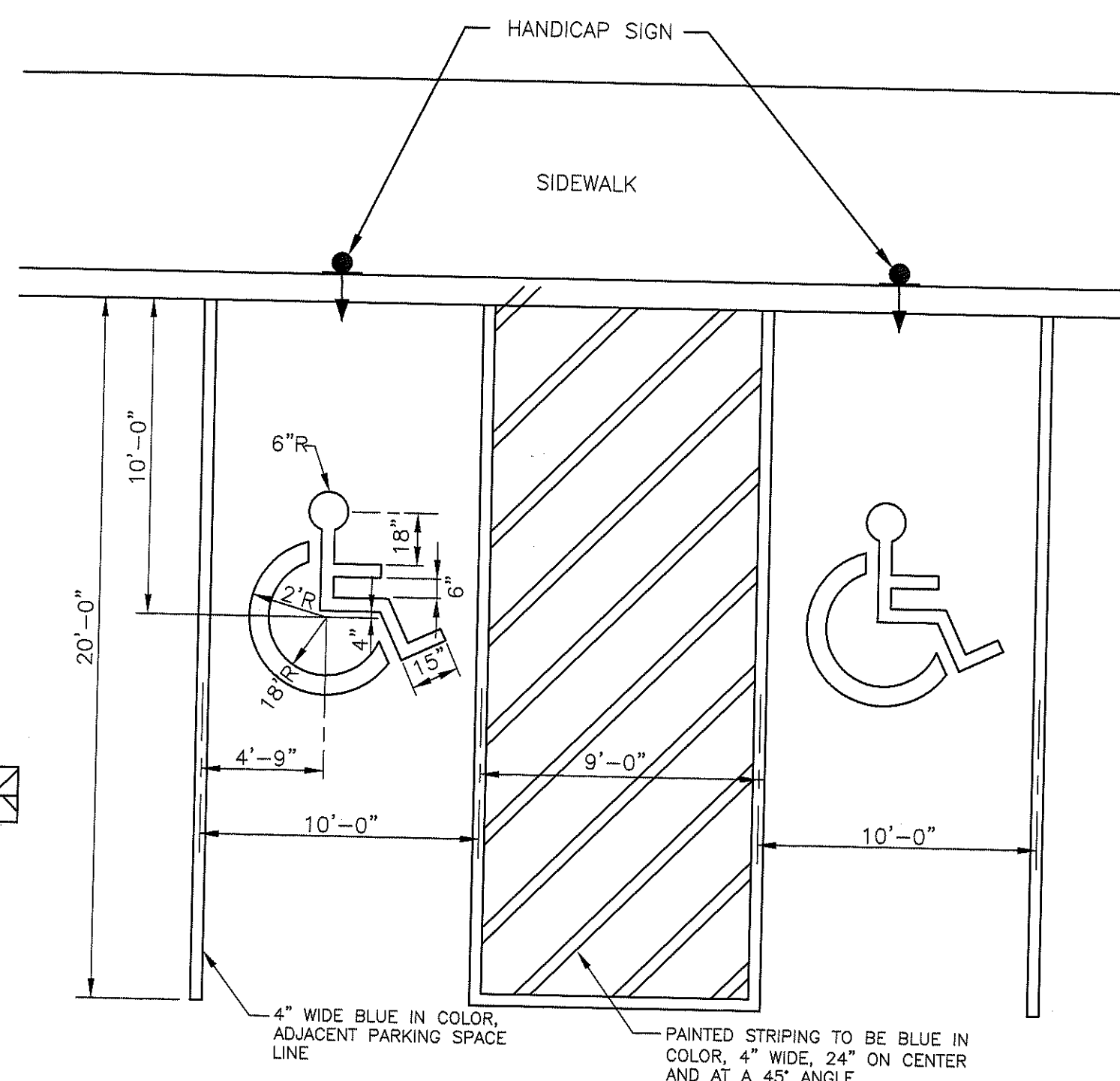
SIGNAGE FOR HANDICAPPED PARKING SPACE
NO SCALE



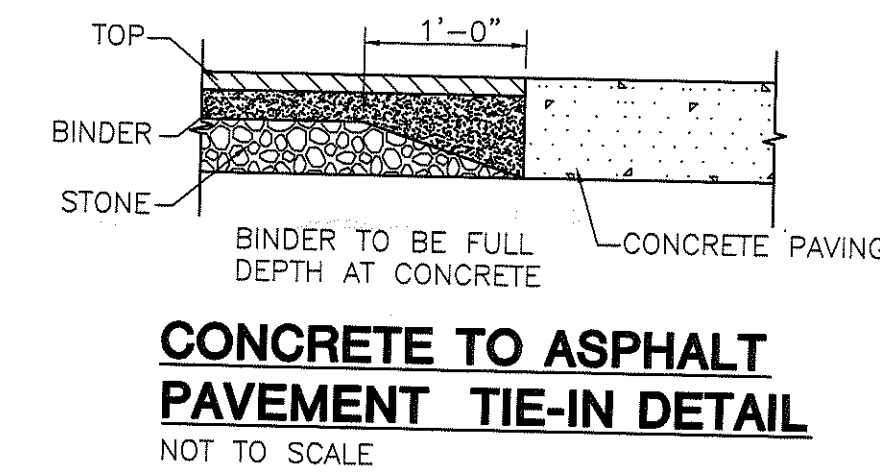
TRENCH BACKFILL DETAIL
NO SCALE



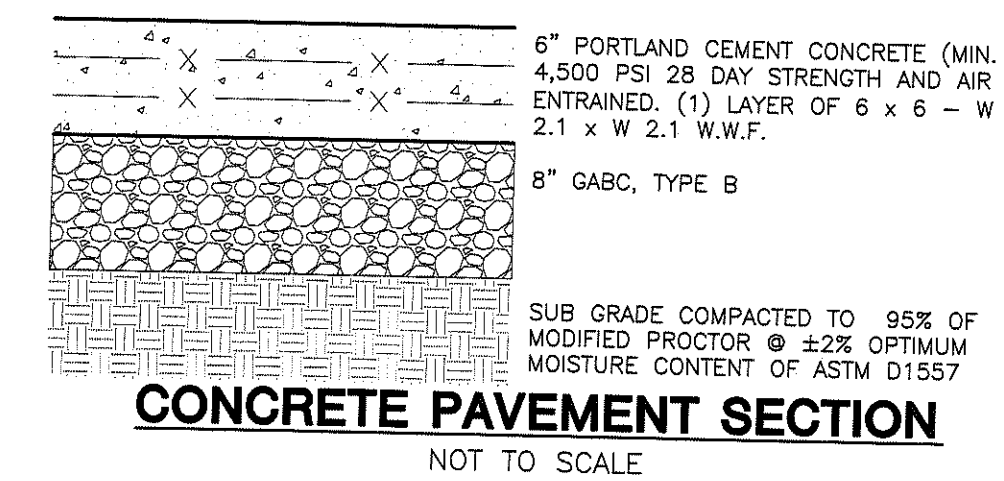
CRUSHED STONE BEDDING DETAIL
NO SCALE



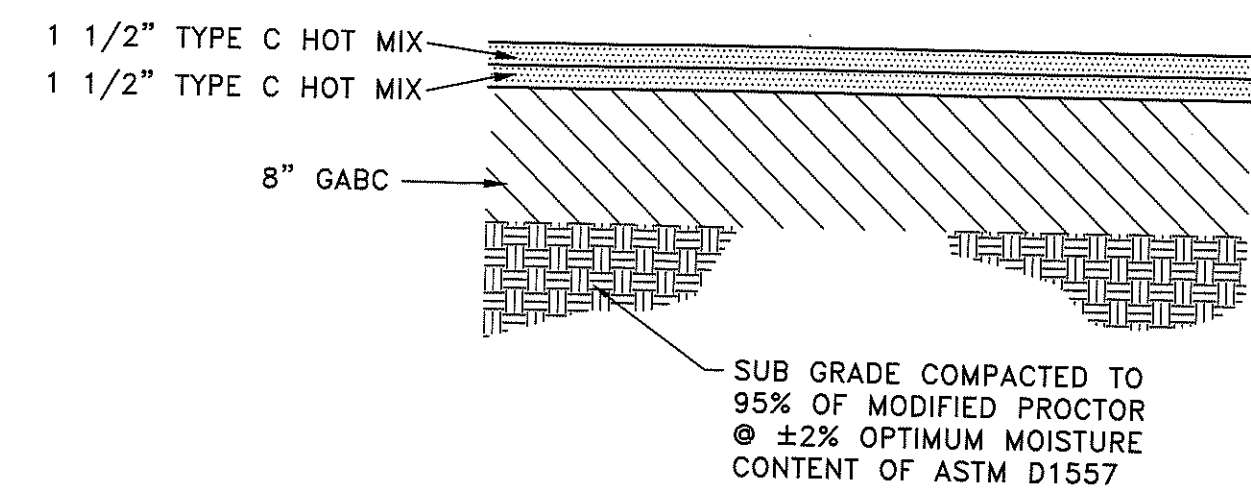
HANDICAP PARKING DETAIL
NO SCALE



CONCRETE TO ASPHALT PAVEMENT TIE-IN DETAIL
NOT TO SCALE

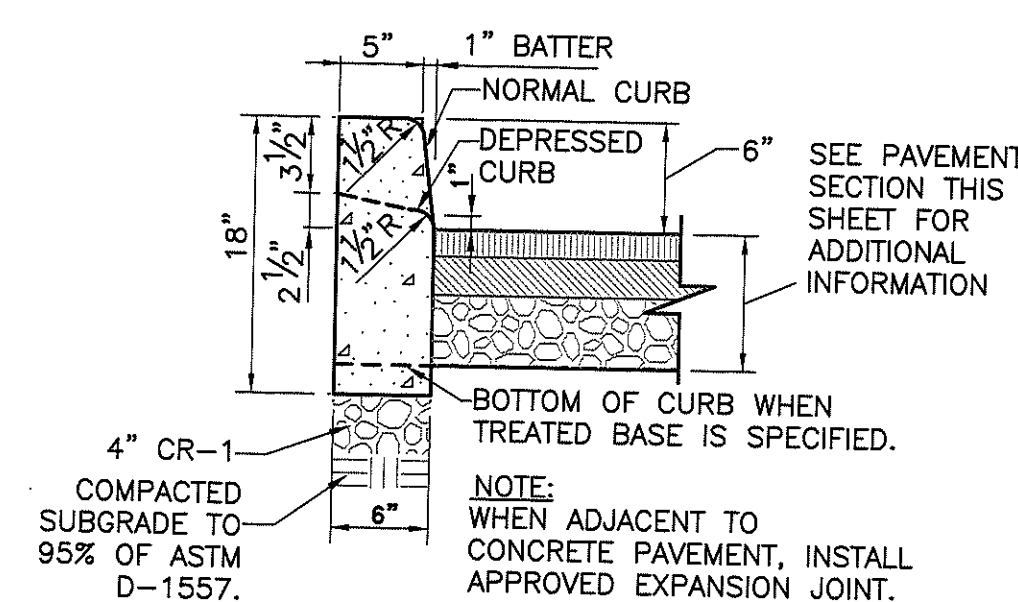


CONCRETE PAVEMENT SECTION
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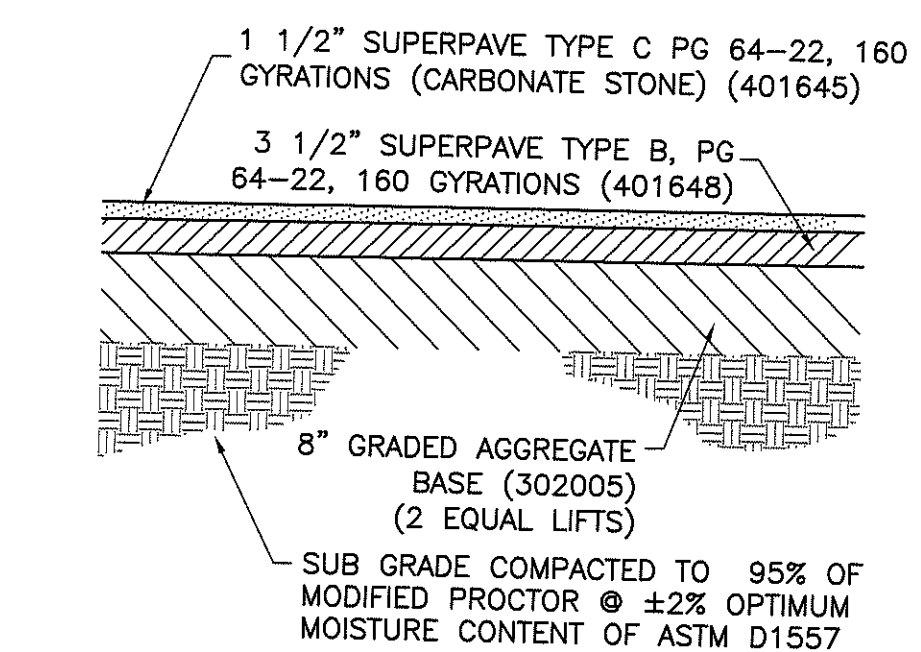


LIGHT DUTY PAVEMENT SECTION
NO SCALE

PROPOSED STRUCTURAL NUMBER = 2.32



MODIFIED P.C.C. CURB TYPE 1-6
NOT TO SCALE



HEAVY DUTY PAVEMENT SECTION
NOT TO SCALE

PROPOSED STRUCTURAL NUMBER = 3.12

| DETAIL INFORMATION TABLE | | | | | | |
|--------------------------|---|------|----------------------------|---|---|--------------------|
| ITEM | LOCATION OF DETAIL | YEAR | SECTION | NAME | DESCRIPTION | SHEET NUMBER(S) |
| CURB | DelDOT - STANDARD CONSTRUCTION DETAILS | 2017 | SECTION II - CURB & GUTTER | P.C.C. CURB AND INTEGRAL P.C.C. CURB & GUTTER | P.C.C. CURB (TYPE 2) | C-1 (2017) - 1 |
| CURB | DelDOT - STANDARD CONSTRUCTION DETAILS | 2017 | SECTION II - CURB & GUTTER | P.C.C. CURB AND INTEGRAL P.C.C. CURB & GUTTER | INTEGRAL P.C.C. CURB & GUTTER (TYPE 1-4) | C-1 (2017) - 1 |
| CURB | DelDOT - STANDARD CONSTRUCTION DETAILS | 2017 | SECTION II - CURB & GUTTER | P.C.C. CURB AND INTEGRAL P.C.C. CURB & GUTTER | P.C.C. CURB (TYPE 1-6) | C-1 (2017) - 1 |
| CURB | DelDOT - STANDARD CONSTRUCTION DETAILS | 2017 | SECTION II - CURB & GUTTER | P.C.C. CURB AND INTEGRAL P.C.C. CURB & GUTTER | INTEGRAL P.C.C. CURB & GUTTER (TYPE 1-8) | C-1 (2017) - 2 |
| CURB RAMP | DelDOT - STANDARD CONSTRUCTION DETAILS | 2017 | SECTION II - CURB & GUTTER | P.C.C. CURB AND INTEGRAL P.C.C. CURB & GUTTER | CURB RAMP, TYPE 1 | C-2 (2013) - 1 |
| BREAKAWAY POST | DelDOT - STANDARD CONSTRUCTION DETAILS | 2017 | SECTION VII - TRAFFIC | BREAKAWAY SIGN POST AND PIN ASSEMBLY DETAILS | BREAKAWAY SIGN POST AND PIN ASSEMBLY DETAILS | T-15 (2013) |
| SIGN(S) | DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES - DE MUTCD | 2011 | PART 2, CHAPTER 2B | STOP SIGN | STOP SIGN (R1-1), 36"x36" | 2B-2, 2B-9 & 2B-10 |
| SIDEWALK | DelDOT - STANDARD CONSTRUCTION DETAILS | 2017 | SECTION VI - MISCELLANEOUS | SHARED-USE PATH & SIDEWALK DETAILS | SHARED USE PATH | M-3 (2018) |
| DRAINAGE INLETS | DelDOT - STANDARD CONSTRUCTION DETAILS | 2017 | SECTION III - DRAINAGE | INLET BOX DETAILS | INLET BOX DETAIL | D-4 (2009) |
| DRAINAGE INLETS | DelDOT - STANDARD CONSTRUCTION DETAILS | 2017 | SECTION III - DRAINAGE | DRAINAGE INLET DETAILS | DRAINAGE INLET ASSEMBLY | D-5 (2010) - 1 |
| | | | | | DRAINAGE INLET FRAME AND GRATES | D-5 (2014) - 2 |
| | | | | | DRAINAGE INLET TOP UNITS | D-5 (2012) - 3 |
| | | | | | DRAINAGE INLET COVER SLAB DETAILS | D-5 (2010) - 4 |
| | | | | | DOUBLE INLET COVER SLAB DETAILS | D-5 (2010) - 5 |
| | | | | | 34" X 24" DRAINAGE INLET AND COVER SLAB DETAILS | D-5 (2012) - 6 |
| ROUND MANHOLE | DelDOT - STANDARD CONSTRUCTION DETAILS | 2001 | SECTION III - DRAINAGE | MANHOLE DETAILS | ROUND MANHOLE ASSEMBLY | D-6 (2001) - 2 |
| | | | | | ROUND MANHOLE COVER SLAB | D-6 (2001) - 3 |

December 22, 2020

Michael R. Wigley, AIA, LEED AP
W. Zachary Crouch, P.E.
Michael E. Wheedleton, AIA
Jason P. Loar, P.E.
Ring W. Lardner, P.E.
Jamie L. Sechler, P.E.

Sussex County Planning & Zoning
Sussex County Administration Building
2 The Circle, Room 147
P.O. Box 417
Georgetown, DE 19947

Attn: Nick Torrance
Planner I

RE: Plantation Square (S-18-54)
Revised Preliminary Plan
Tax Map # 334-12.00-57.01
DBF# 2261S001

Dear Mr. Torrance:

RECEIVED
DEC 28 2020
SUSSEX COUNTY
PLANNING & ZONING

On behalf of our client, LMHT LLC, we are pleased to submit revised preliminary site plans per your comments dated December 18, 2020. We offer the following item-by-item response:

- Please make a general note this parcel IS located within the Henlopen TID.*
A note was added to the data column on title sheet.
- Staff notes that there are currently only 6 handicap parking spaces. With 251 proposed parking spaces, a minimum of 7 handicap spaces would be required.*
We added 2 extra spaces in front of Building A. There is now a total of 267 proposed spots with 8 being handicap.
- Please show topographical contours. If you would like to seek relief from this requirement a waiver will have to be submitted to the Commission.*
Added the existing contours to the site plans.
- Please add the zoning of all neighboring parcels.*
Existing zoning has been added to all the parcel labels that surround the project.
- Please add on the plans the location of any proposed lighting for the project.*
Light poles have been added throughout the parking lots.
- Please add the proposed height of both buildings for the project.*
The proposed heights have been added to the data column on the title sheet.

7. *Please add or clearly label any signs that will be located within the property.*

We added some stop signs to the site plan and labeled them.

8. *Prior to approval of the Final Site Plan, approval letters or letters of no objection from the following agencies shall be submitted to the Sussex County Planning and Zoning Office:*

- a. Sussex Conservation District*
- b. Office of State Fire Marshal*
- c. Delaware Department of Transportation (DelDOT)*
- d. Sussex County Engineering Department*
- e. Tidewater Utilities (Stating they are providing water)*

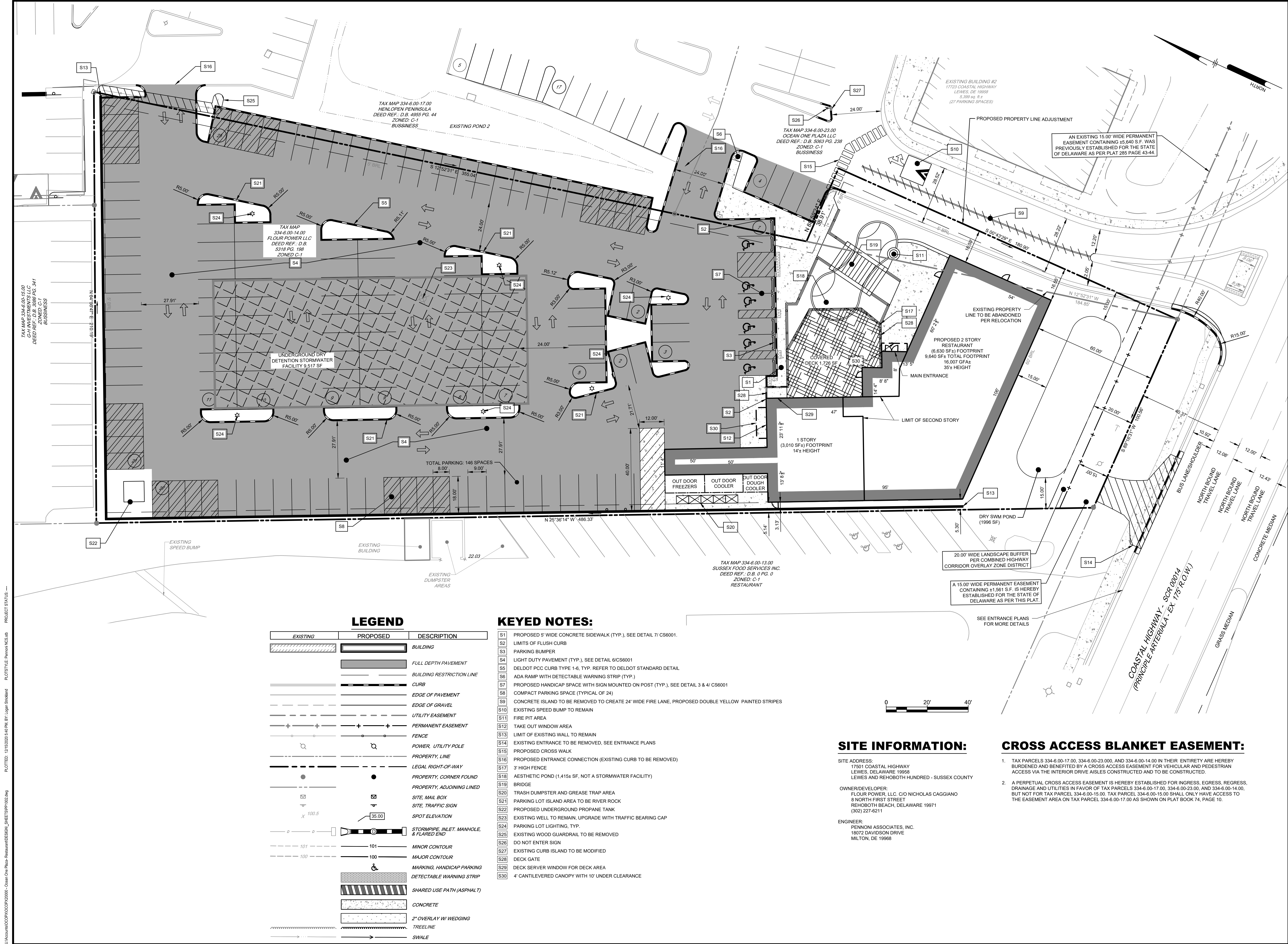
We will send copies of all of the above approvals once we receive them.

If you have any questions or need additional information, please contact me at (302) 424-1441 or via email at rwf@dbfinc.com.

Sincerely,
Davis, Bowen & Friedel, Inc.



Ring Lardner, P.E.
Principal



Pennoni

PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

NICOLA PIZZA FAMILY RESTURANT
17501 COASTAL HIGHWAY
LEWES, DE 19958

PRELIMINARY SITE PLAN

FLOUR POWER, LLC C/O NICHOLAS CAGGIANO
8 NORTH FIRST STREET
REHOBOTH BEACH, DE 19971

| NO. | DATE | REVISIONS | BY |
|-----|------------|--|-----|
| 1 | 2020-12-15 | REVISED PER PLANNING AND ZONING COMMENTS | LFS |

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: OCOPX20000

DATE: 2020-10-30

DRAWING SCALE: 1"=20'

DRAWN BY: LFS

APPROVED BY: AMD

PP1002

SHEET 2 OF 3

1. ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY OWNER. THE CONTRACTOR SHALL ERECT AND MAINTAIN ALL REQUIRED SAFETY DEVICES REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK. ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.

2. THIS PLAN DOES NOT VERIFY THE EXISTENCE, OR NONEXISTENCE, OF EASEMENT OR RIGHT OF WAY CROSSING THE SUBJECT PROPERTY. THE CONTRACTOR SHALL BE FULLY INFORMED THE ENGINEER OF ANY DISCREPANCIES OR ERRORS WHICH HE DISCOVERS IN THE PLAN. ALL CORRECTED APPROVED CONSTRUCTION PLANS AND CONSTRUCTION PLACEMENTS SHALL BE MAINTAINED ON THE JOB SITE AT ALL TIMES. FAILURE TO COMPLY WITH THIS PROVISION SHALL BE CONSIDERED CAUSE TO STOP THE WORK.

3. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER SHALL BE AT THE CONTRACTOR'S RISK.

4. ALL MATERIALS SHALL BE NEW AND SHALL BE ASBESTOS AND VERMICULITE FREE. ALL MATERIALS SHALL BE STORED SO AS TO ASSURE THE PRESERVATION OF THEIR QUALITY AND FITNESS FOR THE INTENDED WORK.

5. DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO BE PERFORMED. IT MUST BE IN CONFORMANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.

6. PRIOR TO CONSTRUCTION, CONTRACTOR TO FIELD LOCATE AND RECORD ANY DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REMOVED OR RELOCATED. ENGINEER TO VERIFY LOCATION AND EXISTENCE OF DAMAGE.

7. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND EGRESS. THE CONTRACTOR SHALL, IN RED, THE ALIGNMENTS AND INVERTS OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK. ALL DISCREPANCIES BETWEEN THE PLAN LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE PLAN.

8. THE CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH OR ACCESS PITS WHICH CAN BE BACKFILLED AND STABILIZED AT THE END OF EACH WORKING DAY. STEEL PLATES SHALL BE USED ON ANY TRENCH OR ACCESS PITS WHICH MUST REMAIN OPEN OVERNIGHT. THIS REQUIREMENT DOES NOT APPLY TO AREAS COMPLETELY CLOSED AND SECURE FROM VEHICULAR OR PEDESTRIAN TRAFFIC.

9. DUE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REPLACED OR REMOVED DURING CONSTRUCTION SHALL BE IMMEDIATELY REPORTED TO ENGINEER, CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED WORK WITHOUT CHARGE TO THE OWNER.

10. BASED UPON THE FEDERAL, ENGINEERING MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 100050333X, EFFECTIVE DATE MARCH 16, 2015, THE ENTIRE PROPERTY IS LOCATED IN AN AREA DESIGNATED AS FLOOD ZONE "X" (UNSHADED), WHICH IS AN AREA THAT HAS BEEN DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.

11. SUBJECT PROPERTY IS CURRENTLY "C-1" (GENERAL COMMERCIAL).

12. SUBJECT SITE SHALL BE CONSTRUCTED AS A SINGLE PHASE.

13. TOTAL AREA FOR SUBJECT SITE IS 1.86 ACRES.

14. THE BOUNDARY INFORMATION & TOPOGRAPHY SHOWN ON THIS PLAN WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD AND IS ALSO THE RESULT OF AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES, INC. DATED MARCH 20, 2020.

15. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND EGRESS. THE CONTRACTOR SHALL, IN RED, REFER TO SITE LIGHTING PLAN.

16. ALL SECURITY LIGHTING (IF NECESSARY) SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.

17. SUBJECT FEDERAL LANDS CONVEYED DO NOT EXIST ON THE SITE.

18. STORMWATER IS WETLANDS THROUGH PIPE SYSTEM TO PROPOSED DRY DETENTION BASINS.

19. ALL FIRE LINES, FIRE HYDRANTS, EXITS, STANDPIPE, FIRE DEPARTMENT CONNECTIONS AND SPRINKLER CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS. BUILDING CONSTRUCTION TO BE WOOD, STEEL, AND CONCRETE, AND VERTICAL CURBS.

20. LOCK BOX REQUIRED - CONTACT LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF BOX ON THE BUILDING.

21. MISS UTILITY SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO EXCAVATION.

22. ALL DISTURBED AREAS WITHIN THE LIMIT OF DISTURBANCE, BUT NOT IN PAVEMENT, SHALL BE TOP-SOILED (6" MINIMUM), SEEDED AND MULCHED TO RE-ESTABLISHING A SATISFACTORY STAND OF GRASS. SEED OR GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION. ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.

23. A 72 HOUR (MINIMUM) NOTICE SHALL BE GIVEN TO THE DISTRICT PERMIT SUPERVISOR PRIOR TO STARTING ROADWAY CONSTRUCTION.

24. THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE OR MODIFY ANY EROSION AND SEDIMENT CONTROL MEASURES.

25. THE ENTRANCES / EXITS ARE PROPOSED ONLY, AND ARE SUBJECT TO REVIEW AND APPROVAL BY THE DELAWARE DEPARTMENT OF TRANSPORTATION BEFORE A CONSTRUCTION PERMIT IS ISSUED.

26. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO WEEKS PRIOR TO THE START OF CONSTRUCTION:

THE OWNER, SUSSEX CONSERVATION DISTRICT, & DELDOT

27. THE CONTRACTOR SHALL MAINTAIN PUBLIC ROADS AND STREETS IN A BROOM SWEEP CONDITION AT ALL TIMES.

28. ROUTINE PERIODIC INSPECTIONS DURING CONSTRUCTION WILL BE PROVIDED BY THE OWNER. THESE INSPECTIONS DO NOT RELIEVE THE CONTRACTOR FROM HIS OBLIGATION AND RESPONSIBILITY FOR CONSTRUCTING ALL WORK IN STRICT ACCORDANCE WITH ALL STANDARDS AND SPECIFICATIONS AND CONSTRUCTION DOCUMENTS.

29. THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL MEASURES TO PROTECT STOCKPILE AREAS AND STORAGE AREAS. ALL AREAS EXPOSED BY THE CONTRACTOR SHALL BE FULLY RESTORED BY THE CONTRACTOR FOR STAGING OPERATIONS. SHALL BE FULLY RESTORED BY THE CONTRACTOR UPON COMPLETION OF THE PROJECT. IF THE STAGING AREA IS PAVED, IT SHALL BE RESTORED TO ITS ORIGINAL CONDITION. IF THE STAGING AREA IS UNPAVED, IT SHALL BE RE-GRADED, TOPSOILED, SEEDED AND MULCHED TO RE-ESTABLISHING A SATISFACTORY STAND OF GRASS. SEED OR GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION. ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.

30. DELAWARE REGULATIONS PROHIBIT BURNING OF CONSTRUCTION DEBRIS, INCLUDING TREES AND STUMPS.

31. CONSTRUCTION SITES ARE SOLID WASTE DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR.

32. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO LOCATE PROPERTY LINES AND RIGHT OF WAY LINES PRIOR TO CONSTRUCTION AND AVOID CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY AND / OR RIGHTS OF WAY WHERE SAID CONSTRUCTION IS PROHIBITED. THE CONTRACTOR MAY CONDUCT SUCH ACTIVITIES ON PRIVATE PROPERTY PROVIDED IF HE HAS OBTAINED PRIOR WRITTEN PERMISSION FROM THE PROPERTY OWNER AND HAS SUBMITTED A COPY OF SAID WRITTEN PERMISSION TO THE OWNER.

33. THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY RELOCATE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE WORK AREA, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL, OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL, REGULATORY, WARNING AND ADVISORY SIGNS SHALL BE MAINTAINED, AND VISIBLE TO THE APPROPRIATE LINES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE.

34. DELAWARE DEPARTMENT OF TRANSPORTATION HAS IDENTIFIED IN (A) AREA-WIDE STUDY IN A LETTER DATED SEPTEMBER 11, 2020, AND REVISED NOVEMBER 18, 2020 THE FOLLOWING AREA-WIDE RECOMMENDATIONS ARE:

35.1. THE PROPOSED DEVELOPMENT CONSISTS OF 16,007 SQUARE FEET OF HIGH-TURNOVER SIT-DOWN RESTAURANT SPACE, AND WILL BE REFERRED TO AS "WESCOATS CORNER PROJECT" BY THE INSTITUTE OF TRAFFIC ENGINEERS' TRAFFIC ENGINEERING TRAFFIC GENERATION MANUAL. WE FIND THAT THE PROPOSED DEVELOPMENT WOULD GENERATE A NET INCREASE OF 1.795 AVERAGE DAILY TRIPS AND 159 VEHICLE TRIPS DURING THE A.M. PEAK HOUR. THE FEE IS CALCULATED AT TEN DOLLARS PER DAILY TRIP. FOR THE PROPOSED DEVELOPMENT, THE FEE WOULD BE \$17,950.00.

35.2. THE PROPOSED DEVELOPMENT IS LOCATED ON THE ROAD(S) ON WHICH THEY FRONT, WITHIN THE LIMITS OF THEIR FRONTAGE. TO MEET DELDOT'S STANDARDS FOR THEIR FUNCTIONAL CLASSIFICATION AS FOUND IN SECTION 1.1 OF THE DEVELOPMENT COORDINATION MANUAL AND ELSEWHERE THEREIN, THE IMPROVEMENTS SHALL INCLUDE BOTH DIRECTIONS OF TRAVEL, REGARDLESS OF WHETHER THE DEVELOPERS' LANDS ARE ON ONE OR BOTH SIDES OF THE ROAD. FRONTAGE IS DEFINED IN SECTION 1.1 OF THE DEVELOPMENT COORDINATION MANUAL. THE IMPROVEMENTS SHALL BE PERPENDICULAR TO LINES CREATED BY THE PROJECTION OF THE OUTSIDE PARCEL CORNERS TO THE ROADWAY. QUESTIONS ON OR APPEALS OF THIS REQUIREMENT SHOULD BE DIRECTED TO THE DELDOT SUBDIVISION REVIEW COORDINATOR IN WHOSE AREA THE DEVELOPMENT IS LOCATED.

35.3. THE DEVELOPERS SHALL ENTER INTO AN AGREEMENT WITH DELDOT TO MAKE AN EQUITABLE CONTRIBUTION TOWARDS DELDOT'S REALIGNMENT OF OLD ORCHARD ROAD AT WESCOATS CORNER PROJECT. THE DEVELOPER SHOULD COORDINATE WITH DELDOT'S DEVELOPMENT COORDINATION SECTION ON THE DETAILS OF THIS AGREEMENT.

1. NO LANDSCAPING SHALL BE ALLOWED WITHIN RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL (DCM).
2. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
3. SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
4. UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
5. THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE FOR THE SIDEWALK.
6. ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION ENTRANCE.
7. DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
8. TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
9. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
10. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
11. A PERPETUAL CROSS ACCESS INGRESS/EGRESS EASEMENT IS HEREBY ESTABLISHED PER PREVIOUS PLAT.
12. THIS COMMERCIAL PARCEL HAS DIRECT FRONTAGE ALONG COASTAL HIGHWAY, SCR 00014 WHICH HAS A FUNCTIONAL CLASSIFICATION OF PRINCIPLE ARTERIAL AS DEFINED BY THE STATE OF DELAWARE'S DEPARTMENT OF TRANSPORTATION. PER SECTION 3.6.1 OF THE DELDOT DEVELOPMENT COORDINATION MANUAL (DCM), IT IS THE DEVELOPER'S RESPONSIBILITY TO EVALUATE NOISE LEVELS AND THEIR IMPACTS ON PROPOSED DEVELOPMENT. FOR PROJECTS ADJACENT TO EXISTING TRANSPORTATION FACILITIES WITH THIS FUNCTIONAL CLASSIFICATION, ROADWAYS WITH THIS CLASSIFICATION CAN BE EXPECTED TO GENERATE ELEVATED LEVELS OF ROAD AND TRAFFIC RELATED NOISE, SIMILAR TO WHAT CAN BE EXPECTED IN URBAN AREAS. A DETAILED NOISE ANALYSIS PER DCM 3.6 IS TYPICALLY RECOMMENDED TO HELP GAUGE THE ACTUAL IMPACTS THAT ROADWAY RELATED NOISE MAY HAVE ON VARIOUS POTENTIAL LAND-USES (SUCH AS THOSE DESCRIBED IN DCM FIGURE 3.6.3-A, NOISE ABATEMENT CRITERIA). WITH THE INCLUSION OF THIS NOTE, THE DEVELOPER IS ACKNOWLEDGING THAT THE PROPOSED SITE AND/OR BUILDING LOCATION CAN BE EXPECTED TO EXCEED THE SPECIFIC MAXIMUM NOISE LEVELS FOR CERTAIN COMMERCIAL, AND NON-RESIDENTIAL USES AS SHOWN IN DCM FIGURE 3.6.3-A. THE DEVELOPER'S WAIVER OF THE NOISE ANALYSIS AND REVIEW OF POTENTIAL NOISE MITIGATION MEASURES ARE SUPPORTED BY THE INFEASIBILITY OF APPLYING NOISE MITIGATION MEASURES, BASED ON ENGINEERING CONSIDERATIONS AND FACTORS THAT WOULD LIMIT THE ABILITY TO ACHIEVE SUBSTANTIAL NOISE REDUCTION, RELATED TO THE COMMERCIAL USE OF THE SITE AND/OR BUILDINGS. THIS WAIVER ACKNOWLEDGES THAT THE DECIBEL LEVEL FOR THIS PARCEL MAY EXCEED THE APPLICABLE LIMITS FOR SOME CURRENT OR FUTURE PROPOSED USES. THE USE OF THIS NOTE SIGNIFIES THE SUBDIVISION ENGINEER'S CONCURRENCE WITH WAIVING THE DEVELOPER'S COMPLETION OF A DETAILED NOISE STUDY AND SUBSEQUENT REVIEW OF RESULTING NOISE ABATEMENT FINDINGS OR MITIGATION MEASURES. ANY FUTURE COMPLAINTS RELATING TO EXISTING OR FUTURE NOISE LEVELS IMPACTING PROPOSED USES ON THIS SITE AND ALONG THIS EXISTING TRANSPORTATION FACILITY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OR LAND OWNER OR BOTH.

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| <p>1. TAX MAP NUMBER: 334-6.00-14.00 DEED BOOK: D 5318, PG 189</p> <p>2. OWNER/DEVELOPER: OWNER/DEVELOPER ADDRESS: FLOUR POWER, LLC, C/O NICHOLAS CAGGIANO 8 NORTH FIRST STREET REHOBOTH BEACH, DE 19971</p> <p>3. ADDRESS LOCATION: 17501 COASTAL HIGHWAY LEWES, DE 19958 LEWES AND REHOBOTH SUSSEX</p> <p>4. CURRENT ZONING: C-1 (GENERAL COMMERCIAL)</p> <p>5. PRESENT USE: MINI STORAGE CENTER</p> <p>6. PROPOSED USE: RESTAURANT AND PARKING</p> <p>7. REQUIRED SETBACKS (B.R.L.): FRONT: (PER 115-82 B) SIDE: 60 FT REAR: 5 FT 5 FT</p> <p>8. BUILDING HEIGHT: (PER 115-82 C) 42' MAX ALLOWED 1ST STORY 14'+ 2ND STORY 35'+</p> <p>9. REQUIRED LOT SIZE (MIN.): DEPTH: 100 FT (PER 115-82A) WIDTH: 75 FT AREA: 10,000 FT (PER 115-82A)</p> <p>10. PARKING <u>REQUIRED PARKING:</u> <u>RESTAURANT:</u> (ARTICLE XXII: OFF-STREET PARKING, CODE SECTION 115-162) (1 SPACE FOR EACH 50 SF FOR PATRON USE AND 1 SPACE PER 2 EMPLOYEES) PATRON USE: AREA 8629 SF/ 50 = 133 SPACES 22 EMPLOYEES = 11 SPACES</p> <p><u>TOTAL REQUIRED SPACES:</u> 146 SPACES <u>PROVIDED SPACES:</u> 146 SPACES <u>HANDICAP SPACES:</u> 6 SPACES INCLUDED <u>COMPACT SPACES:</u> 24 SPACES INCLUDED</p> <p>11. LOADING SPACE REQUIRED: 1 SPACE LOADING SPACE PROVIDED: 1 SPACE</p> <p>12. TAX MAP AREA: 334-6.00-23.00: EX = 2.15 AC. PR = 2.07 AC. 334-6.00-14.00: EX = 1.78 AC. PR = 1.86 AC.</p> <p>13. SITE CALCULATIONS BUILDING AREA: EX = 0.76 AC. PR = 0.26 AC. OPEN SPACE AREA: EX = 0.19 AC. PR = 0.29 AC. PAVEMENT/STONE AREA: EX = 0.83 AC. PR = 1.26 AC. STORMWATER AREA: EX = 0.00 AC. PR = 0.05 AC. TOTAL: EX = 1.78 AC. PR = 1.86 AC.</p> <p>PERCENTAGE OF IMPERVIOUS COVER: 1.51 AC. (81.18%) NUMBER OF FORESTED ACRES TO ME REMOVED: 0.00 AC. (0.00%)</p> <p>14. UTILITY SERVICES: SANITARY SEWER SUPPLIER: SUSSEX COUNTY UNIFIED SANITARY SEWER DISTRICT</p> <p>WATER SUPPLIER: TIDEWATER UTILITIES INC.</p> <p>15. SECTION 89 - SOURCE WATER PROPERTY: A. SUBJECT PROPERTY IS WITHIN AN AREA OF "FAIR" GROUNDWATER RECHARGE; B. SUBJECT PROPERTY IS NOT LOCATED IN WELLHEAD PROTECTION AREA.</p> <p>16. STATE INVESTMENT AREA: LEVEL 1 FIRE DISTRICT: LEWES FIRE CO. (STATION 82) SUSSEX COUNTY: COMBINED HIGHWAY CORRIDOR OVERLAY ZONE DISTRICT : (CHCOZ) DISTRICT.</p> <p>17. LATITUDE AND LONGITUDE STATE PLANE COORDINATES: LONGITUDE: W 75° 09' 59.08" LATITUDE: N 38° 44' 58.63"</p> <p>18. WETLAND AREA: 0.00 ACRES</p> <p>19. PROPOSED DISCHARGE LOCATION: DRY BASIN/ DELDOT DRAINAGE SYSTEM</p> <p>20. LIMIT OF DISTURBANCE: 1.86 AC.</p> <p>21. FLOOD ZONE: FIRM NUMBER 10005C0331K, DATED MARCH 16, 2015</p> <p>22. TRANSPORTATION IMPROVEMENT DISTRICT (T10): NONE</p> <p>23. DATUM: HORIZONTAL = NAD83 VERTICAL = NAVD88</p> <p>24. WATER SHED: BROADKILL RIVER</p> <p>25. LOCAL GOVERNMENT RESPONSIBLE FOR LAND USE APPROVAL: SUSSEX COUNTY</p> | | <p>Pennoni</p> <p>PENNONI ASSOCIATES INC. 18072 Davidson Drive Milton, DE 19968 T 302.684.8030 F 302.684.8051</p> | |
| <p>ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK</p> | | <p>NICOLA PIZZA FAMILY RESTAURANT 17501 COASTAL HIGHWAY LEWES, DE 19958</p> <p>PRELIMINARY PLAN NOTES AND DETAILS</p> <p>FLOUR POWER, LLC C/O NICHOLAS CAGGIANO 8 NORTH FIRST STREET REHOBOTH BEACH, DE 19971</p> | |

[illegible]

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| <p>FUNCTIONAL CLASSIFICATION - US RTE 19 (SCR 14) LEWES-GEORGETOWN HWY. RD - MAJOR COLLECTOR</p> <p>POSTED SPEED LIMIT - 35 MPH</p> <p>AADT = 17,200 TRIPS (FROM 2019 DELDOT TRAFFIC SUMMARY)</p> <p>10 YEAR PROJECTED AADT = 116 x 17,200 = 19,952 TRIPS</p> <p>10 YEAR PROJECTED AADT + SITE AADT = 21,839 TRIPS</p> <p>TRAFFIC PATTERN GROUP = 8 (FROM 2019 DELDOT TRAFFIC SUMMARY)</p> <p>PEAK HOUR - 11.77% X 21,839 TRIPS = 2,570 TRIPS</p> <p>TRUCK VOLUME - 10.55% X 21,839 = 2,304 TRUCKS</p> |
| <p>FUNCTIONAL CLASSIFICATION - DEL RTE. 1 (SCR 14) COASTAL HIGHWAY - PRINCIPAL ARTERIAL</p> <p>POSTED SPEED LIMIT - 45 MPH</p> <p>AADT = 51,330 TRIPS (FROM 2019 DELDOT TRAFFIC SUMMARY)</p> <p>10 YEAR PROJECTED AADT = 116 x 51,330 = 59,543 TRIPS</p> <p>10 YEAR PROJECTED AADT + SITE AADT = 61,429 TRIPS</p> <p>TRAFFIC PATTERN GROUP = 8 (FROM 2019 DELDOT TRAFFIC SUMMARY)</p> <p>PEAK HOUR - 11.77% X 61,429 TRIPS = 7,230 TRIPS</p> <p>TRUCK VOLUME - 10.55% X 61,429 = 6,481 TRUCKS</p> |
| <p>EXISTING SITE TRAFFIC DATA:</p> <p>SOURCE: ITE TRIP GENERATION MANUAL 10TH EDITION</p> <p>EX. BUILDING 1 - PNC BANK (9,996 SF) - (DRIVE-IN BANK, ITE 912)</p> <p>9.99 KSF = $T = 82.87(X)^{.44} \times 117.10 = 945$ TRIPS (WEEKDAY)</p> <p>PEAK HOUR OF ADJACENT STREET TRAFFIC:</p> <p>AM PH: 9.50 X 9.99 = 95 TRIPS (58% / 42%) (5 / 1)</p> <p>PM PH: 20.45 X 9.99 = 204 TRIPS (50% / 50%) (102 / 102)</p> <p>EX. BUILDING 2 - GENERAL OFFICE BUILDING (5,399 SF) - (ITE 710)</p> <p>WEEKDAY = 5.39 X 9.74 (AVG. RATE) = 53 TRIPS</p> <p>PEAK HOUR OF ADJACENT STREET TRAFFIC:</p> <p>AM PH: 5.39 X 1.16 = 6 TRIPS (86% / 14%) (5 / 1)</p> <p>PM PH: 5.39 X 1.16 = 6 TRIPS (16% / 84%) (1 / 5)</p> |

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| <p>ADT PEAK HOUR (A.M.) [P.M.]</p> <p>¹ DIRECTIONAL DISTRIBUTIONS PROVIDED BY DELDOT</p> <p>² DIRECTIONAL DISTRIBUTIONS PROVIDED BY ITS MANUAL</p> <p>DESIGN VEHICLE - N/A (EXISTING ENTRANCES)</p> | <p>PR. BUILDING 5 - RESTAURANT (16,007 GFA) - (ITE 932)</p> <p>16 KSF/ AVG. RATE = 112 18 = 1 795 TRIPS</p> <p>PEAK HOUR OF ADJACENT STREET TRAFFIC</p> <p>AM PH: 9:4 X 16 = 159 TRIPS, (55% /45%) (87 / 72)</p> <p>PM PH: 9:7 X 16 = 186 TRIPS, (62% /38%) (97 /59)</p> |
| | <p>OVERALL SITE TRAFFIC DATA:</p> <p>OCEAN ONE PLAZA</p> <p>TOTAL EXISTING SITE WEEKDAY PEAK = 1,378 TRIPS</p> <p>TOTAL SITE AM PEAK HOUR = 177 TRIPS (111) [86]</p> <p>TOTAL SITE PM PEAK HOUR = 305 TRIPS (143) [162]</p> <p>VOLUME DISTRIBUTION</p> <p>50% TO COASTAL HWY. = 989 TRIPS (56)(33) AM & [72](81)</p> <p>50% TO SAVANNAH RD = 989 TRIPS (55)(33) AM & [71](81)</p> <p>[WRIGHTS MINI STORAGE = 42 TRIPS (SEP. ENTRANCE)]</p> <p>TOTAL PROPOSED SITE WEEKDAY TRIPS = 3,773 TRIPS</p> <p>TOTAL SITE AM PEAK HOUR = 336 TRIPS (198) [138]</p> <p>TOTAL SITE PM PEAK HOUR = 461 TRIPS (240) [221]</p> <p>VOLUME DISTRIBUTION</p> <p>50% TO COASTAL HWY. = 1,886 TRIPS (99)(89) AM & [120](111)</p> <p>50% TO SAVANNAH RD = 1,887 TRIPS (99)(89) AM & [120](111)</p> <p>SITE TRUCK TRAFFIC = 189 TRIPS (5%)</p> |

16 BUILDING 5 - RESTAURANT (16,007 GFA) - (ITE 932)
 PM KSF: AVG. RATE = 112 18 = 1,795 TRIPS
 PEAK HOUR OF ADJACENT STREET TRAFFIC
 AM PH: 9.94 X 16 = 159 TRIPS (50% / 45%) (87 / 72)
 PM PH: 9.77 X 16 = 156 TRIPS (62% / 38%) (97 / 59)

OVERALL SITE TRAFFIC DATA:
 OCEAN ONE PLAZA
 TOTAL EXISTING SITE WEEKDAY PEAK = 1,978 TRIPS
 TOTAL SITE AM PEAK HOUR = 177 TRIPS (111) [66]
 TOTAL SITE PM PEAK HOUR = 305 TRIPS (143) [162]
 VOLUME DISTRIBUTION
 50% TO COASTAL HWY. = 989 TRIPS (56) [33] AM & [72] [81] PM
 50% TO SAVANNAH RD. = 989 TRIPS (50) [33] AM & [71] [81] PM
[WRIGHTS MINI STORAGE = 42 TRIPS (SEP. ENTRANCE)]
 TOTAL PROPOSED SITE WEEKDAY TRIPS = 3,773 TRIPS
 TOTAL SITE AM PEAK HOUR = 336 TRIPS (198) [138]
 TOTAL SITE PM PEAK HOUR = 461 TRIPS (240) [221]
 VOLUME DISTRIBUTION
 50% TO COASTAL HWY. = 1,886 TRIPS (99) [69] AM & [120] [110] PM
 50% TO SAVANNAH RD. = 1,887 TRIPS (99) [69] AM & [120] [111] PM
 SITE TRUCK TRAFFIC = 189 TRIPS (5%)

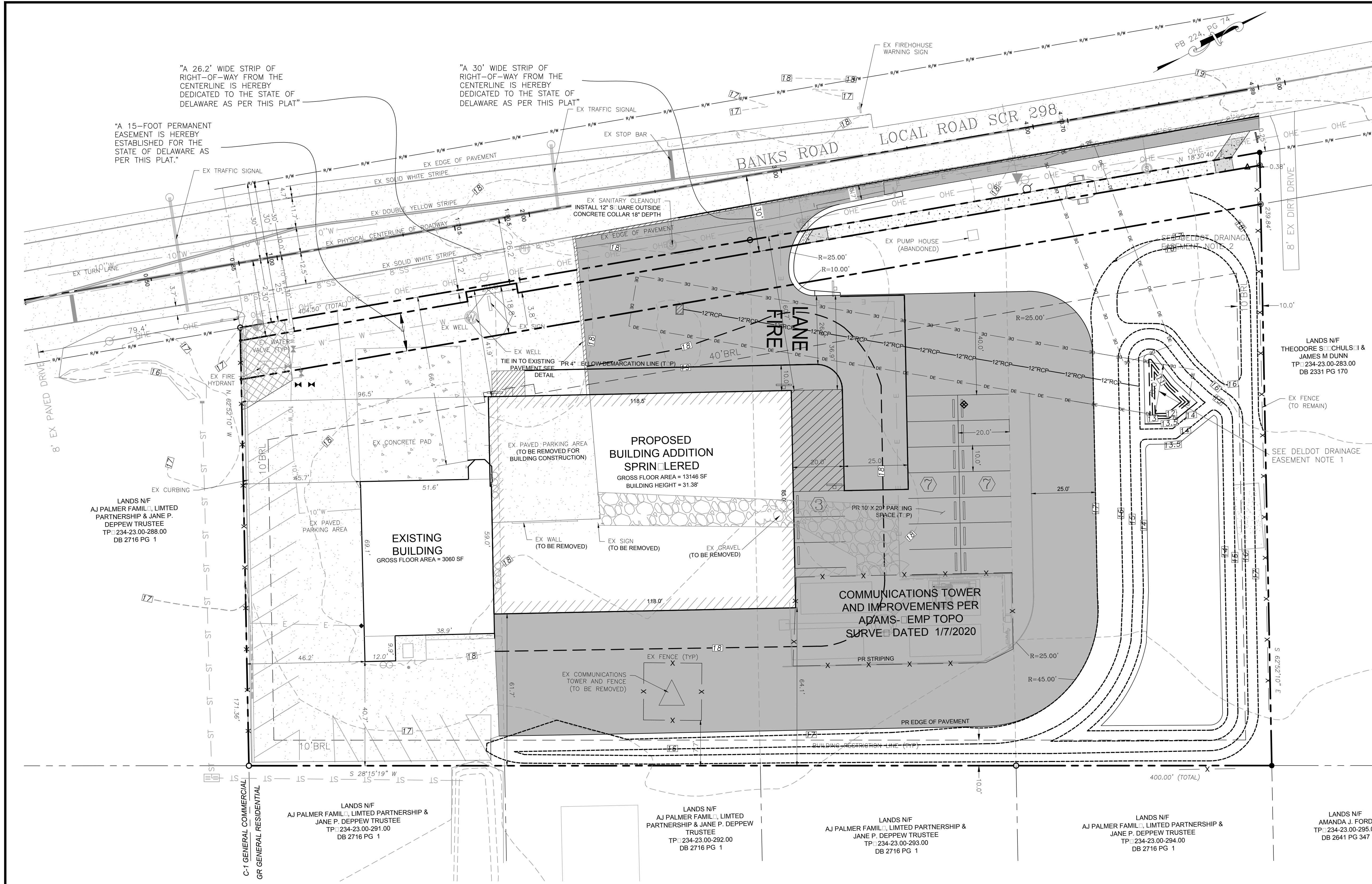
PEAK HOUR OF ADJACENT STREET TRAFFIC:
 AM PH: 110 X 0.48 = 53 TRIPS (67% / 33%) (35) / 18
 PM PH: 110 X 0.52 = 57 TRIPS (43% / 57%) (24) / 33

EX. BUILDING 4 - HEALTH AND FITNESS CLUB (5,399 SF) - (ITE 492)
 PEAK HOUR (19 X 10) = 190 TRIPS
 PEAK HOUR OF ADJACENT STREET TRAFFIC:
 AM PH: 5.39 X 1.31 = 7 TRIPS (51% / 49%) (4) / 3
 PM PH: 5.39 X 3.45 = 19 TRIPS (57% / 43%) (11) / 8

EX. ADJACENT MEDICAL-DENTAL OFFICE BUILDING (5,000+/- SF) - (ITE 720)
 5.0 KSF = T=38.42(X)-87.62 = 104 TRIPS (WEEKDAY)
 PEAK HOUR OF ADJACENT STREET TRAFFIC:
 AM PH: 10.17(X)-58.9(X)+1.31 = 16 TRIPS (78% / 22%) (12) / 4
 PM PH: 7.35(X)+2.02 = 19 TRIPS (28% / 72%) (5) / 14

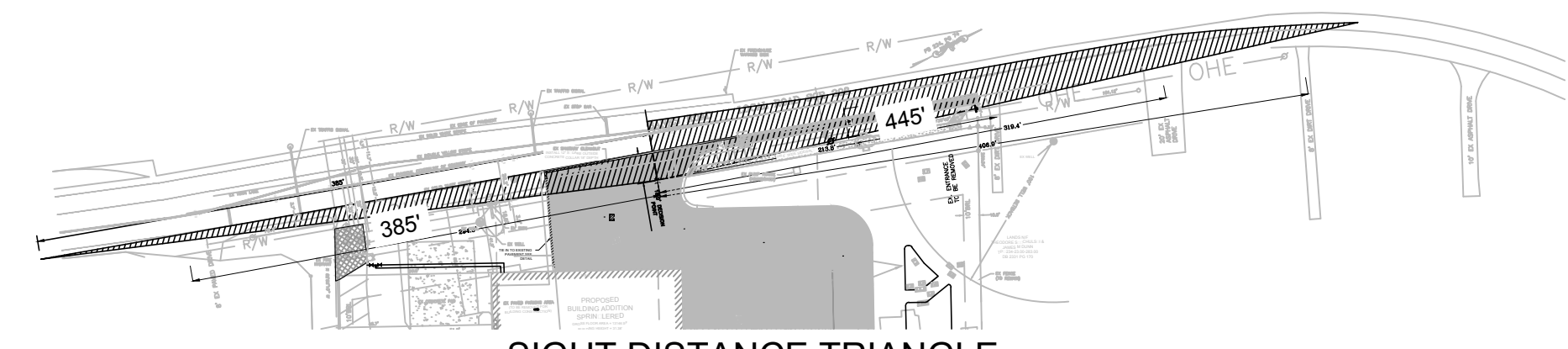
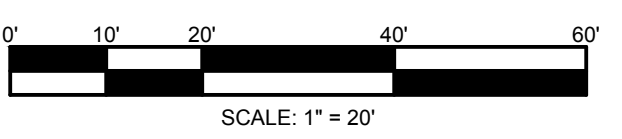
28,000 SF - EXISTING MINI WAREHOUSE (ITE 151)
 28 KSF: AVG. RATE = 1.51 = 42 TRIPS
 PEAK HOUR OF ADJACENT STREET TRAFFIC:
 AM PH: 0.10 X 28 = 3 TRIPS, (60% / 40%) (2) / 1
 PM PH: 0.17 X 28 = 5 TRIPS, (47% / 53%) (2) / 3

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| | | | LFS | BY |
| | | | REVISED PER PLANNING AND ZONING COMMENTS | REVISIONS |
| | | 1 | NO. | |
| | | 2020-12-15 | DATE | |
| <p>ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OWNER SHALL INDemnIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.</p> | | | | |
| PROJECT | OCOPX20000 | | | |
| DATE | 2020-10-30 | | | |
| DRAWING SCALE | AS SHOWN | | | |
| DRAWN BY | | | | LFS |
| APPROVED BY | | | | AMD |
| PP1003 | | | | |
| SHEET | 3 | OF | 3 | |



- LEGEND**
- IRON BAR FOUND
 - EX UTILITY POLE
 - EX TREE
 - EX SANITARY CLEANOUT
 - EX SANITARY MANHOLE
 - EX STORMWATER INLET
 - EX FIRE HYDRANT
 - EX WATER METER
 - EX BOLLARD
 - EX WATER VALVE
 - FOUND IRON BAR
 - EX IRON PIPE FOUND
 - CAPPED REBAR SET
 - EX SPOT GRADE
 - EX SPOT GRADE
 - PR SPOT GRADE
 - PR SWALE CENTERLINE
 - EX ADJOINER BOUNDARY
 - EX BOUNDARY
 - EX BUILDING RESTRICTION LINE
 - EX ELECTRIC
 - EX FENCE
 - EX OVERHEAD ELECTRIC
 - EX SANITARY PIPE
 - EX STORM PIPE
 - EX TELEPHONE LINE
 - EX CONTOUR
 - PR CONTOUR
 - DELDOT DRAINAGE EASEMENT
 - PR STORMWATER AREA
 - PR FULL DEPTH PAVING
 - ROTMILL AND OVERLAY
 - EX PAVING

OVERALL SITE PLAN
1" = 20'



SIGHT DISTANCE TRIANGLE
1" = 100'

OWNER'S CERTIFICATION

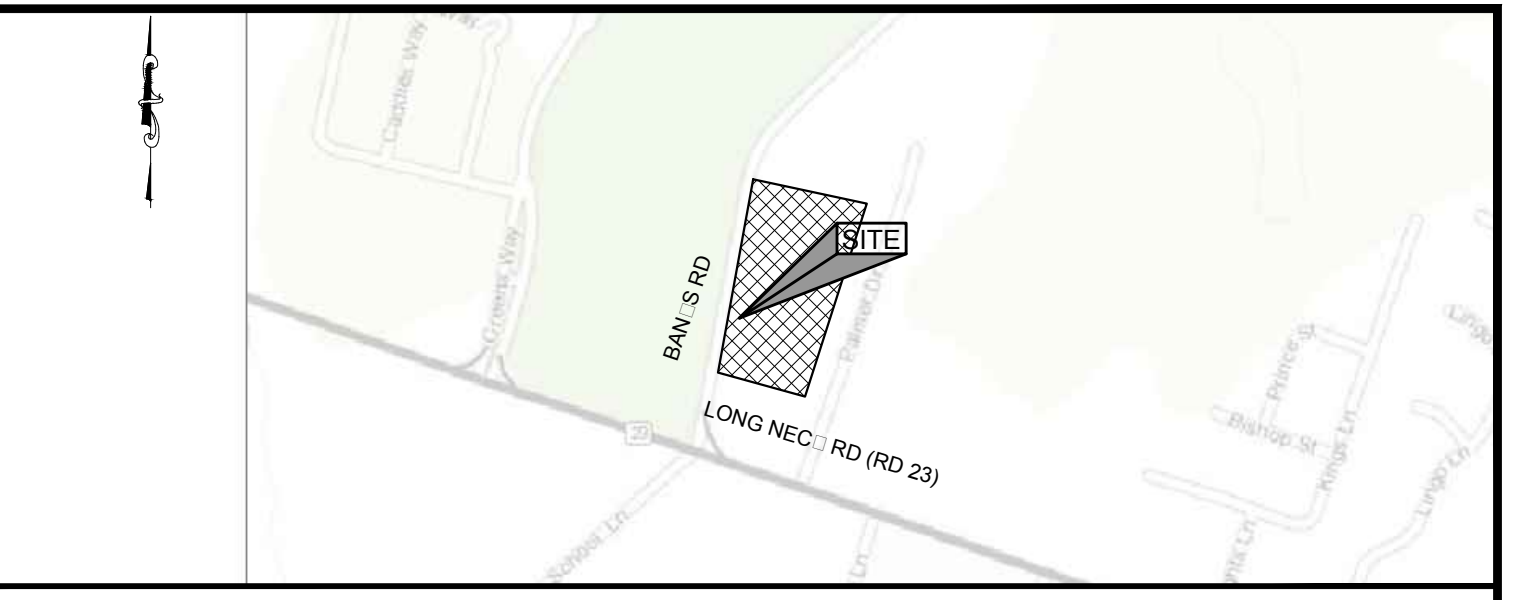
I HEREBY CERTIFY THAT I AM THE LEGAL OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I AM KNOWLEDGEABLE OF THE SAME, AND DESIRE THE PLAN TO BE RECORDED IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

INDIAN RIVER VOLUNTEER FIRE COMPANY
36328 OAK ORCHARD ROAD
MILLSBORO, DE 19966

ENGINEER'S CERTIFICATION

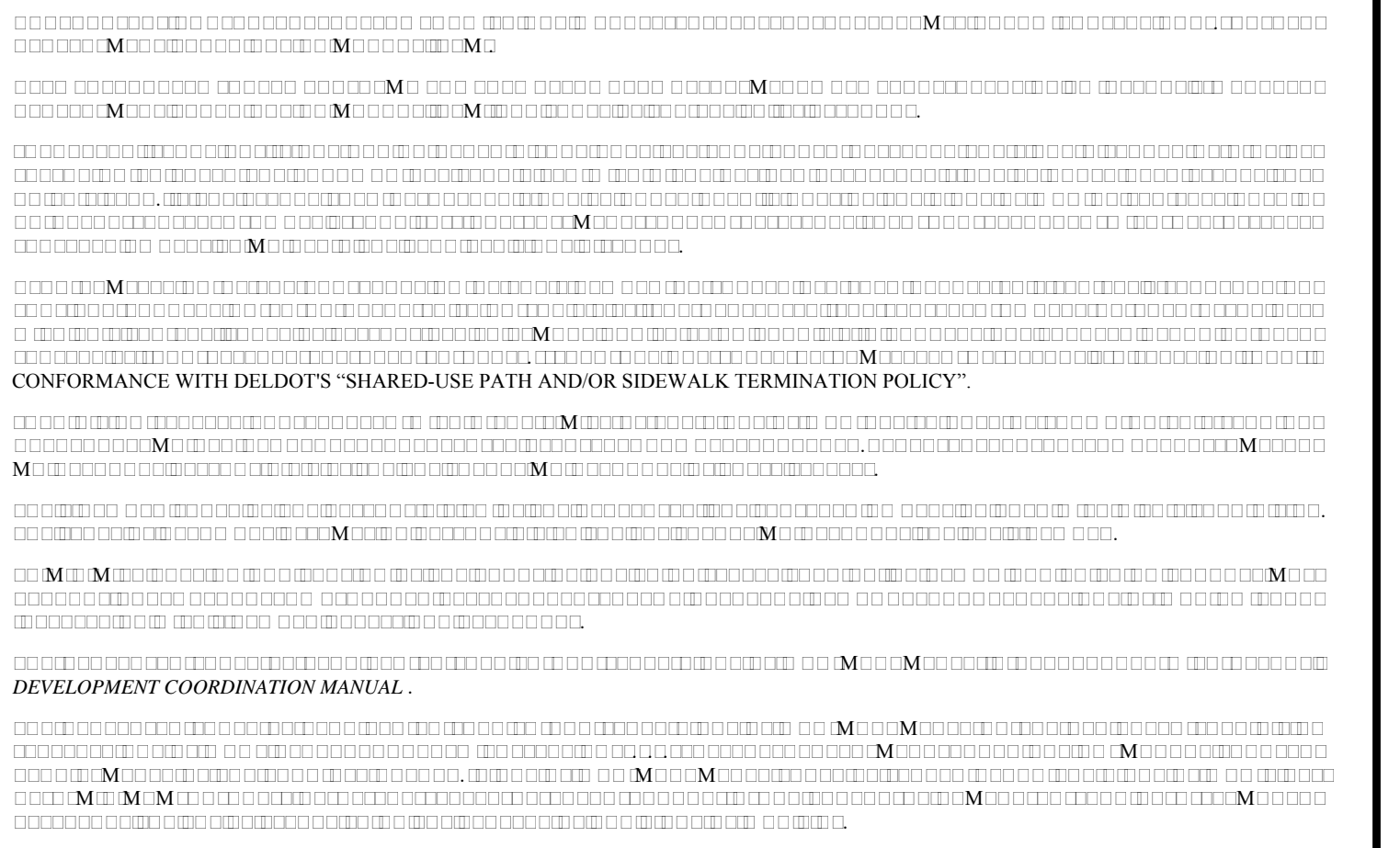
I, JOHN B. ROACH, P.E., DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, AND THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

JOHN B. ROACH, P.E.
JOHN B. ROACH ENGINEERING LLC
22184 MELSON RD
GEORGETOWN, DE 19947
302-249-1134
jbroachengr@netscape.net



VICINITY MAP SCALE: 1 INCH = 200'

| PLAN DATA | |
|------------------------|--|
| PARCEL I.D. No. | 2-34-23.00-287.00 |
| PLAT REFERENCE | D.B. 4586, PAGE 31, PB 224 PAGE 74 |
| ZONING DISTRICT | GR, GENERAL RESIDENTIAL |
| ROADWAY CLASSIFICATION | SCR 298 BANKS ROAD (LOCAL ROAD) POSTED SPEED LIMIT, 35 MPH |
| PRESENT USE | FIRE DEPARTMENT |
| PROPOSED USE | FIRE DEPARTMENT |
| SEWAGE DISPOSAL | CENTRAL SEWER WASTEWATER DISPOSAL SYSTEMS (SUSSEX COUNTY) |
| WATER SUPPLY | INDIVIDUAL ON-SITE WELLS (PRIVATE) |
| OWNER | INDIAN RIVER VOLUNTEER FIRE COMPANY 32628 OAK ORCHARD ROAD MILLSBORO, DE 19966 |
| LOT AREA | 1.888 ACRES (PER PB 224, PAGE 74) |
| TOTAL No. OF LOTS | 1 LOT |
| PARKING | EXISTING PARKING SPACES= 18 PROPOSED PARKING SPACES= 20 TOTAL PARKING SPACES= 38 |
| FEMA FLOOD INFO | ENTIRE PROPERTY IS LOCATED IN ZONE X, AS INDICATED ON FIRM NO. 10005C0343 |
| INVESTMENT LEVEL | AREA 2, AS DEFINED BY 2015 STATE STRATEGIES FOR POLICIES AND SPENDING MAP |



| TRAFFIC GENERATION - BANKS ROAD SCR 298 (FULL MOVEMENT) | ROAD TRAFFIC DATA |
|---|--|
| TOTAL ADT: 3921 VPD | FUNCTIONAL CLASSIFICATION: SCR 298 LOCAL ROAD POSTED SPEED LIMIT: 35 MPH AADT: 3921 TRIPS FROM 2018 DELDOT TRAFFIC SUMMARY 10+R PROJECTED AADT: 1,161 X 3921 = 4199 TRIPS TRAFFIC PATTERN GROUP: 4 FROM 2018 DELDOT TRAFFIC SUMMARY DESIGN HOUR VOLUME: 15.97 X 4243 = 677 TRIPS |
| TRIPS PER DAY (AM PEAK) / PM PEAK | SITE TRAFFIC DATA SOURCE: HISTORICAL DATA PROVIDED BY IRVFD AND DELDOT ENTRANCE - FULL MOVEMENT DESIGN VEHICLE: WB-40 EXISTING ENTRANCE ADT = 44 TRIPS PROPOSED FIRE STATION EXPANSION = 0 TRIPS TOTAL ADT FOR FIRE STATION EXPANSION: 44 TRIPS DIRECTIONAL DISTRIBUTION: 20% TO THE NORTH = 9 ADT 80% TO THE SOUTH = 35 ADT EXISTING TRUCK PERCENTAGE 6% ADT = 3 TRIPS PROPOSED TRUCK PERCENTAGE 6% ADT = 3 TRIPS TOTAL TRUCK PERCENTAGE 6% ADT = 3 TRIPS |

REVISED 10/14/2019 PER DELDOT RECORD PLAN COMMENTS DATED 9/16/2019
REVISED 08/08/2019 PER SCOPE CHANGES AND DELDOT LONG SUBMITTAL
REVISED 01/15/2019 PER DELDOT "CRITICAL ACCEPTANCE" COMMENTS DATED 11/05/2018

FINAL SITE PLAN
STATION 80-2 - BUILDING ADDITION AND IMPROVEMENTS
FOR PROPERTY KNOWN AS:
LANDS OF "INDIAN RIVER VOLUNTEER FIRE COMPANY"
ALSO KNOWN AS:
25375 BANKS ROAD
ROADWAY:
BANKS ROAD - SCR 298
SITUATE IN:
INDIAN RIVER HUNDRED
MILLSBORO
SUSSEX COUNTY
STATE OF DELAWARE
TAX MAP: 2-34-23- 287.00

JOHN B. ROACH
Engineering LLC

22184 MELSON ROAD
GEORGETOWN, DELAWARE 19947
PHONE NO. 302-856-1565

Drawn By: JBR
Scale: 1"=20'

Date: 08-27-2017
Sheet 1/1



February 25, 2020

Mrs. Leolga Wright
c/o John B. Roach Engineering, LLC
22184 Melson Road
Georgetown, DE 19947

RE: Indian River VFD Expansion

Dear Mrs. Wright:

A Sediment and Stormwater Management Plan has been reviewed for compliance with the Sediment and Stormwater Regulations and is approved with conditions (see attached). Enclosed herein please find a copy of the approved application form and approved plan sets. Please retain a copy for your use and provide the contractor with a copy to be retained onsite at all times. Failure to keep an approved plan onsite is a violation of the approved plan.

Approval of a Sediment and Stormwater Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.

This plan approval pertains to compliance with the *Delaware Sediment and Stormwater Regulations*. Please understand that the approval of this plan does not relieve you from complying with any and all federal, state, county, or municipal laws and regulations.

As of January 1, 2014, the Sussex Conservation District began collecting financial guarantees to ensure the construction of stormwater management practices is accomplished in accordance with the approved sediment and stormwater plan. Please refer to the SCD Policy on Bonds located on our website at Sussexconservation.org. If you have any questions concerning the aforementioned, please do not hesitate to call 302 856-7219.

Sincerely,
Jessica Watson
Jessica Watson
Program Manager

JW/jmg

cc: Janelle Cornwell

CONDITIONS OF APPROVAL

NOTIFICATION

1. This approved plan will remain valid for 5 years from the date of this approval. If construction does not begin within five years, the approved plan will be considered to have expired, and must be resubmitted to the District for a new review. In addition, if work is not completed within the five-year timeframe, the District must be contacted and a request for an extension submitted. Depending on regulation changes, a new plan may need to be submitted to ensure that all stormwater management facilities are constructed to the most recent standards.
2. Submittal of the Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activities together with this approval of the detailed Sediment and Stormwater Plan provide this project with Federal permit coverage to be authorized to discharge storm water associated with construction activities. It is the owner's responsibility to ensure that permit coverage remains valid throughout construction by submitting the NOI fee annually as requested. The developer is responsible for weekly self-inspection reporting to be retained onsite.
3. Notify the Sussex Conservation District Sediment and Stormwater Management Section of your intent to begin construction in writing five (5) days prior to commencing. Failure to do so constitutes a violation of the approved plan.

CHANGES

4. This project is to be undertaken in accordance with the plans submitted and as approved. If changes are necessary at any time during the completion of the project, submit revised plans, prior to further construction, to the Sussex Conservation District Sediment and Stormwater Program for review and approval of the revision.
5. Should ownership change during the construction period, a revised plan must be submitted for approval showing the new owner's signature on the owner's certification. In addition, a Transfer of Authorization form must be submitted to DNREC to transfer Federal permit coverage to the new owner.

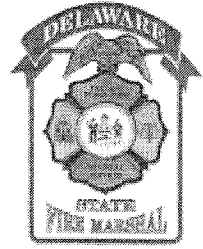
CONSTRUCTION AND CLOSEOUT

6. A pre-construction meeting must take place before any land disturbing activity begins. The meeting may take place on site and be attended by the owner, contractor, design consultant, Certified Construction Reviewer and Sussex Conservation District Sediment and Stormwater Program Construction Reviewer. The owner or the owner's designee shall contact the Sussex Conservation Construction Reviewer to schedule the pre-construction meeting.
7. Keep available onsite, during all phases of construction, a copy of the approved Sediment and Stormwater Management Plan.
8. Keep available onsite, during all phases of construction, copies of the Developers weekly self-inspection reports and/or the CCR Reports.
9. Any sediment transported off-site to roads or road rights-of-way including ditches shall be removed. Any damage to ditches shall be repaired and stabilized to original condition.
10. Grading shall not impair surface drainage, create an erosion hazard, or create a source of sediment to any adjacent watercourse or property owner.
11. Failure to implement the permanent stormwater management practices as mentioned herein constitutes a violation of the conditions of this plan approval; it may result in the suspension or revocation of building permits or grading permits issued by the local jurisdiction; and it may result in legal action by the DNREC to bring the site into compliance with the approved Sediment and Stormwater Management Plan and the *Delaware Sediment and Stormwater Regulations*.
12. The permanent stormwater management facility or facilities must be constructed and accepted by the Sussex Conservation District Sediment and Stormwater Program prior to final closeout of the project site. Post construction verification documentation of the stormwater management facility or facilities must be completed as soon as construction of the facility or facilities is complete so that any necessary modifications may be made during the construction period.



OFFICE OF THE STATE FIRE MARSHAL
Technical Services

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2019-04-200864-MJS-03

Tax Parcel Number: 234-23.00-287.00

Status: Approved as Submitted

Date: 12/09/2020

Project

Indian River Volunteer Fire Company Station 2 (MJS)

25375 Banks Road
Millsboro DE 19966

Indian River Volunteer Fire Company Station 2

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 80 - Indian River Volunteer Fire Co.,
Inc.

Occupant Load Inside:

Occupancy Code: 9790

Applicant

John Roach
22184 Melson Road
Georgetown, DE 19947

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:

Jefferson Cerri
Fire Protection Specialist II

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2019-04-200864-MJS-03

Tax Parcel Number: 234-23.00-287.00

Status: Approved as Submitted

Date: 12/09/2020

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1040 A** This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 1,000 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 800' on center.
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1190 A** Separate plan submittal is required for the building(s) proposed for this project.
- 1132 A** Fire hydrants shall be color coded in accordance with the DSFPR, Part III, Section 3 4. This includes both color coding the bonnet and 2" reflective tape around the barrel under the top flange.
- 1198 A** All standpipe and sprinkler connections shall be marked and identified in accordance with DSFPR Regulation 705, Chapter 6, Section 3.0). NOTE: No objects, stands, displays, or other impediments (such as parking) shall be located within the demarcation area. This will be field verified at the final inspection. Noncompliance may cause a delay in approval for Certificate of Occupancy.
- 1299 A** The required Fire Lane Access and Perimeter Access and all fire lane markings shall be in accordance with the site plan as approved by this Agency. This will be field verified at the final inspection. Noncompliance may cause a delay in approval for Certificate of Occupancy.

1151 A A lock box containing keys for fire department access shall be provided for any occupancy that contains an automatic sprinkler system. (DSFPR Regulation 705, Chapter 1, Section 2)

1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.





STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

November 22, 2019

Ms. Janelle Cornwell, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

**SUBJECT: Letter of No Objection to Recordation
Indian River Volunteer Fire Company**
Tax Parcel # 234-23.00-287.00
Banks Road (SCR 298)
Indian River Hundred, Sussex County

Dear Ms. Cornwell:

The Department of Transportation has reviewed the Site Plan, dated August 27, 2017 (last revised October 14, 2019), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawings. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Site Plan is not recorded prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. Entrance plans shall be developed in accordance with DelDOT's [Development Coordination Manual](#) and submitted to the Development Coordination Section for review and approval.

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel

Indian River Volunteer Fire Company
Ms. Janelle Cornwell
Page 2
November 22, 2019

that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

If I can be of any further assistance, please call me at (302) 760-2266.

Very truly yours,



Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

cc: Leolga Wright, Leolga Wright
John Roach, John B. Roach Engineering, LLC
William Kirsch, South District Entrance Permit Supervisor
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Gemez W. Norwood, South District Public Work Manager
Jennifer Pinkerton, Chief Materials & Research Engineer
Peter Haag, Chief of Traffic Engineering
Linda Osiecki, Consistency Control Engineer
John Fiori, Bicycle Coordinator
Maria Andaya, Pedestrian Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Joseph Ellis, Contech Manager
Jared Kaufman, DTC Planner
James Kelley, JMT
Todd Sammons, Subdivision Engineer
Brian Yates, Sussex County Reviewer



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. Box 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

February 20, 2020

Mr. John Roach
John B. Roach Engineering, LLC
22184 Melson Road
Georgetown, Delaware 19947

SUBJECT: Entrance Plan Approval Letter
Indian River Volunteer Fire Company
Tax Parcel #234-23.00-287.00
SCR298-BANKS ROAD
Indian River Hundred, Sussex County

Dear Mr. Roach:

The Department of Transportation has reviewed the Commercial Entrance Plans dated August 27, 2018 (last revised January 6, 2020) for the referenced project and determined that they are in general conformance with the Department's current regulations, specifications and standard details. By signing and sealing the plan set, the developer's engineer is responsible for accuracy of content. Any errors, omissions or required field changes will be the responsibility of the developer. This plan approval shall be valid a period of **three (3) years**. If an entrance permit has not been obtained within three years, then the plans must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. The following items will be required prior to the permit being issued. A pre-construction meeting may be required as determined by the South District Public Works office.

1. A copy of the recorded Site Plan which is consistent with the DeIDOT "No Objection to Recordation" stamped plan and all appropriate signatures, seals, plot book and page number.
2. Three (3) copies of the approved entrance plans.
3. Completed permit application.
4. Executed agreements (i.e. construction, signal, letter).
5. An itemized construction cost estimate.
6. A 150% security based upon an approved itemized construction cost estimate and W-9 form (if providing escrow).
7. A letter of source of materials, work schedule, list of subcontractors, emergency telephone numbers and names of contact persons.

Indian River Volunteer Fire Company
Mr. Roach
Page 2
February 20, 2020

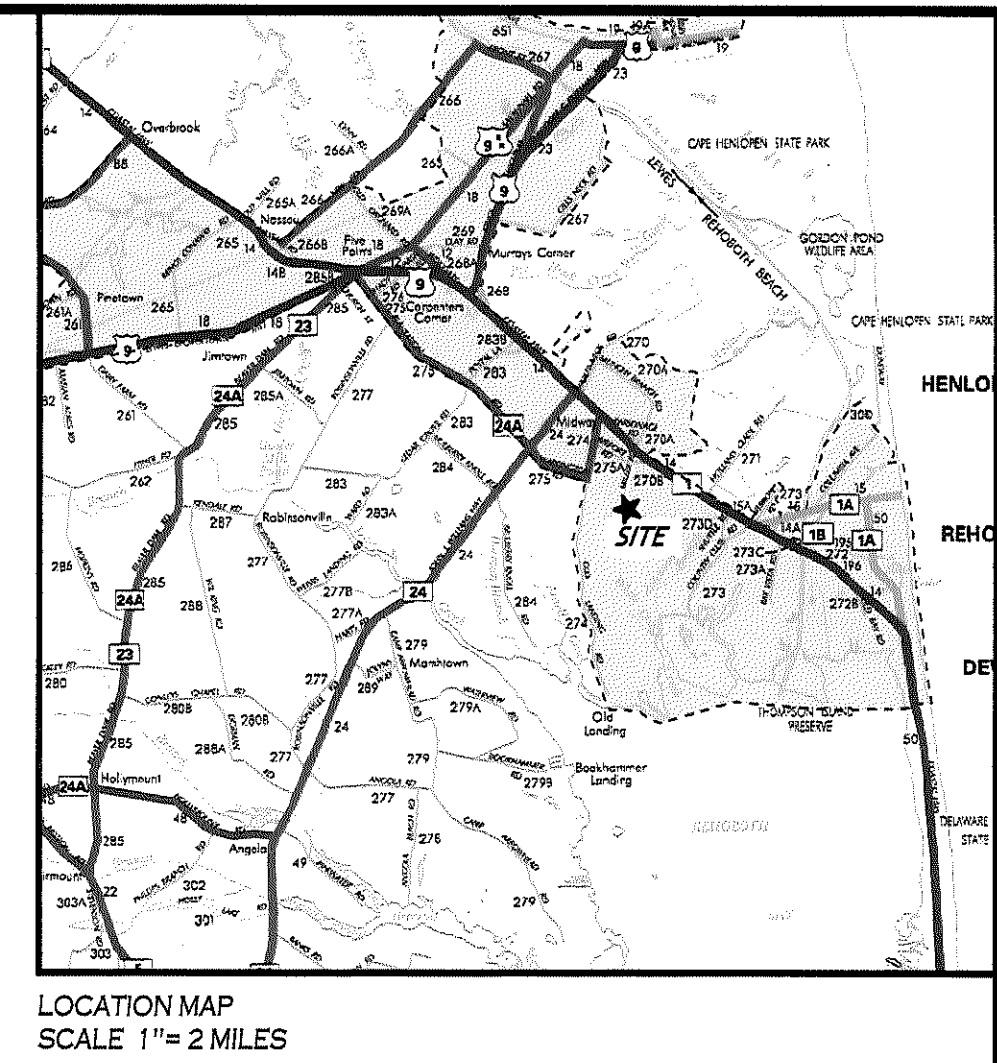
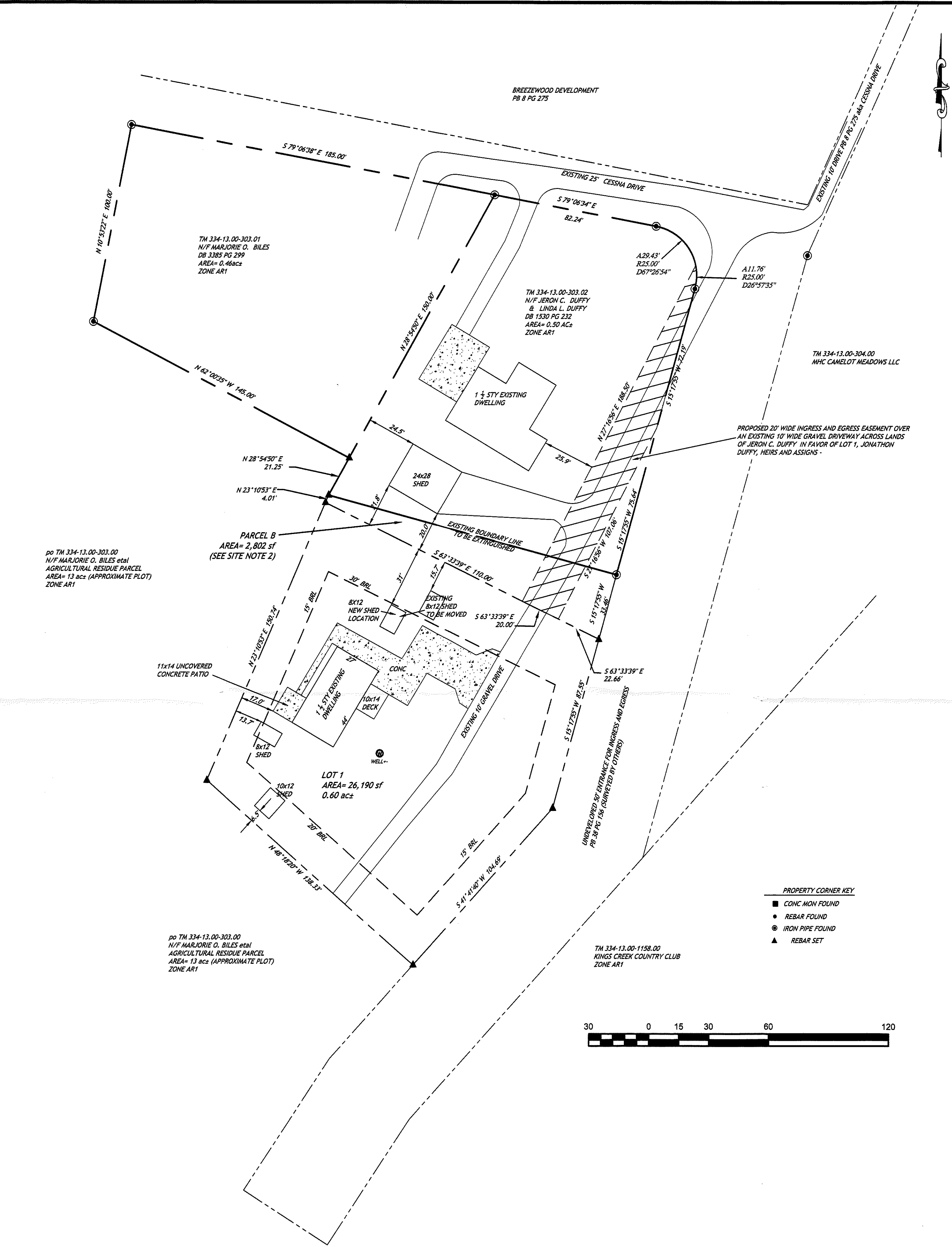
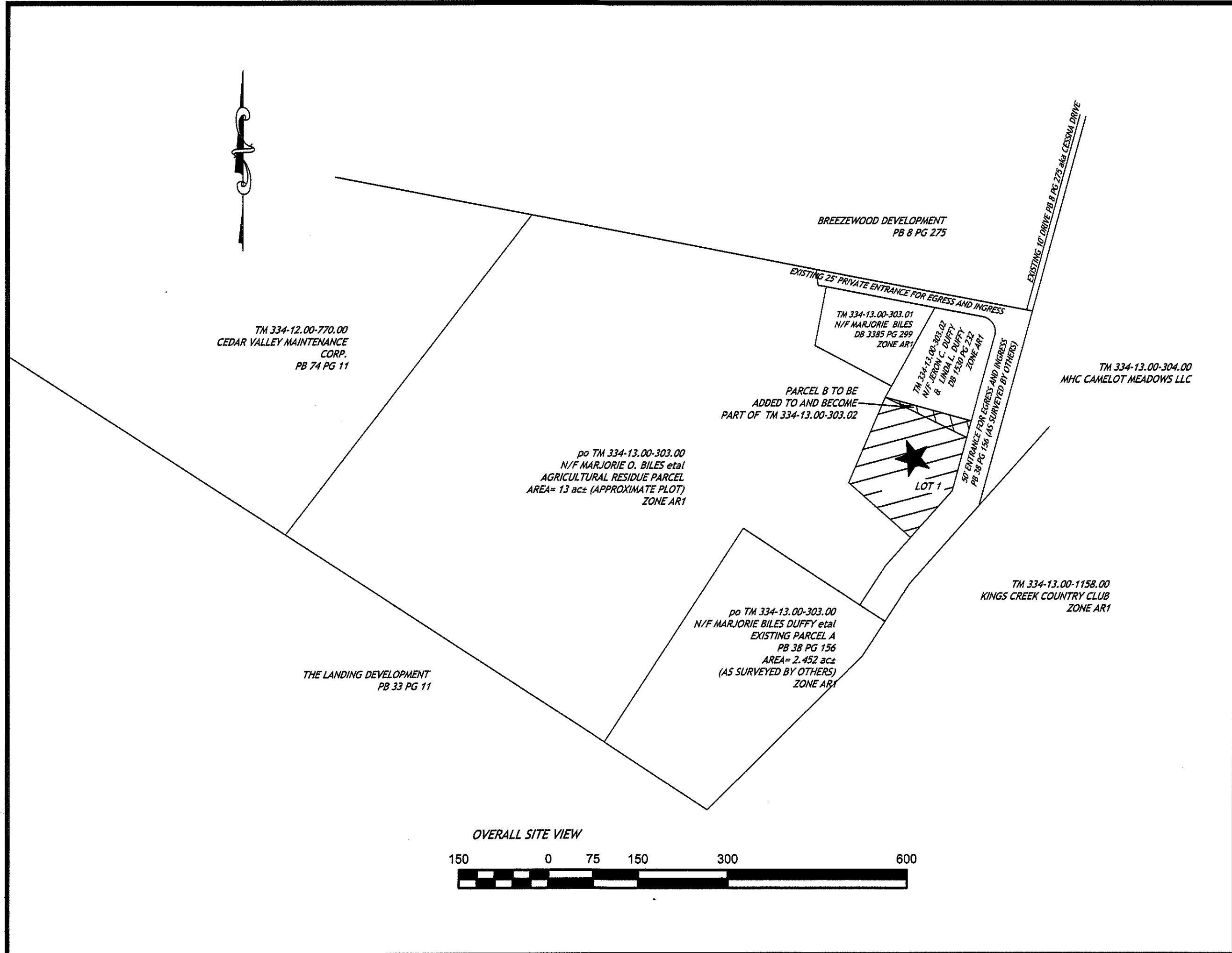
Please contact the South District Public Works office (302) 853-1340 concerning any questions you may have relative to the aforementioned required items.

Sincerely,

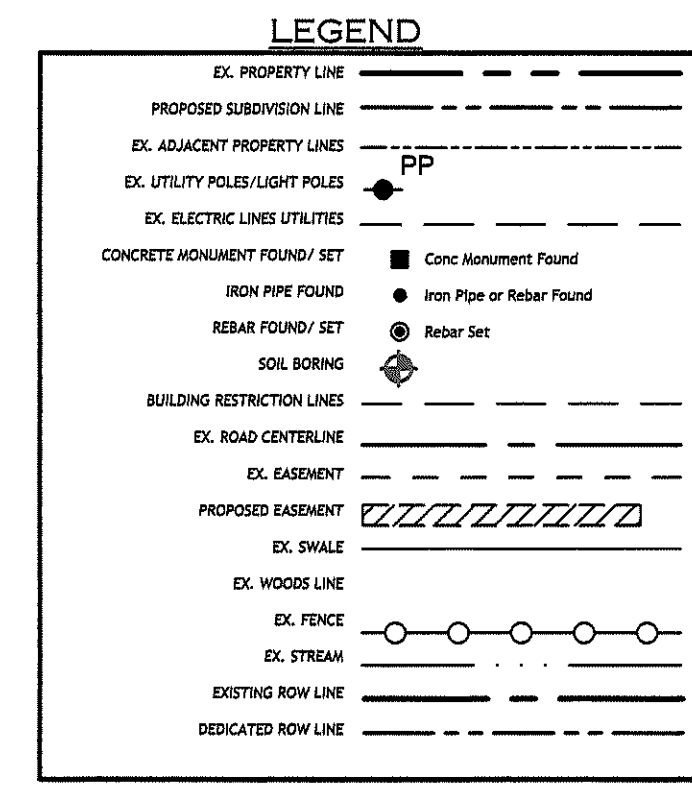


Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

cc: Leolga Wright, Indian River Volunteer Fire Company
Sheldon Hudson, Millsboro Town Manager
Jessica L. Watson, Sussex Conservation District
Gemez Norwood, South District Public Work Manager
James Argo, South District Project Reviewer
William Kirsch, South District Entrance Permit Supervisor
Robert Bragg, South District Subdivision Supervisor
Jerry Nagyiski, Safety Officer Supervisor
Chris Sylvester, Traffic Studies Manager
Jennifer Pinkerton, Chief Materials & Research Engineer
Linda Osiecki, Pedestrian Coordinator
John Fiori, Bicycle Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kaufman, DTC Planner
James Kelley, JMT
Todd Sammons, Subdivision Engineer
Kevin Hickman, Sussex County Reviewer



- SITE DATA AND NOTES:
- 1) THE EXISTING DWELLING CURRENTLY LOCATED ON THE PROPOSED LOT 1 IS OWNED BY JONATHAN DUFFY AND IT IS THE INTENT OF THE CURRENT ESTATE TO TRANSFER THE AREA AS SHOWN AS LOT 1 TO SAID JONATHAN DUFFY AND HIS HEIRS AND ASSIGNS, ALONG WITH A 20' WIDE ACCESS EASEMENT ACROSS LANDS OF JERON DUFFY.
 - 2) PARCEL B IS TO BE DEEDED TO AND BECOME A PART OF TM 334-13.00-303.02 IN ORDER TO ALLEVIATE A CURRENT SIDE YARD SETBACK DEFICIENCY.
 - 3) THERE IS NO DIRECT ACCESS TO ANY DELDOT ROADS, THEREFORE A LONO IS NOT NECESSARY.
 - 4) ZONING-AR1
 - 5) MINIMUM BRL
FRONT 30'
SIDES 15'
REAR 20'
 - 6) SEWER-PUBLIC
 - 7) WATER-PRIVATE WELL



OWNER'S CERTIFICATION:
WE HEREBY CERTIFY THAT WE ARE THE OWNERS OR (TRUSTEES) OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT, AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

MARJORIE O. BILES (TRUSTEE) DATE
19633 CESSNA DRIVE
REHOBOTH BEACH, DE 19971
(302) 328-5330

JERON C. DUFFY DATE
19633 CESSNA DRIVE
REHOBOTH BEACH, DE 19971

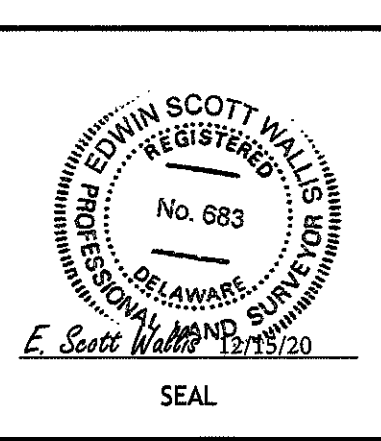
| REV | DESCRIPTION OF REVISION | REVISED BY/DATE | CHECKED BY/DATE |
|-----|--|-----------------|-----------------|
| 1 | REVISED AS PER PLANNING AND ZONING STAFF REVIEW COMMENTS RECEIVED 12/10/20 | 12/14/20 | |
| 2 | REVISED AS PER PLANNING AND ZONING STAFF REVIEW COMMENTS RECEIVED 11/19/20 | 11/30/20 | |

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF AND APPURTENANT.

TAX MAP: 334-13.00-303.00

ENGINEER:
DESIGNER: ESW
DRAFTER: ESW
CHECKED BY:
DATE: 10-8-20
SCALE: as shown

WARNING
0 1/2 1 IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE



AXIOM
ENGINEERING
18 CHESTNUT STREET
GEORGETOWN, DE 19947
(302) 855-0810
FAX: 855-0812
E-MAIL: AXIOM@AXENG.COM
WEB: WWW.AXENG.COM

| | |
|---|--------------------------|
| MINOR SUBDIVISION PLAN | PROJECT NO: 0519-2001 |
| LANDS OF MARJORIE O. BILES ETAL | DRAWING: MS |
| 19633 CESSNA DRIVE | SHEET: 1 OF 1 |
| LEWES REHOBOTH HUNDRED, SUSSEX COUNTY, DELAWARE | |

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878 T
302-854-5079 F
JAMIE WHITEHOUSE, AICP
DIRECTOR

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET

Planning Commission Public Hearing Date January 7, 2021

Application: Doe Run (2021-01)

Applicant: David Miller and Claudia Miller
15625 Quail Hollow Road
Greenwood, DE 19950

Owner: David Miller and Claudia Miller

Site Location: Southern side of Tuckers Road (S.C.R. 597)

Current Zoning: Agricultural Residential (AR-1) Zoning District

Proposed Use: Addition of a 4.192 +/- acre portion of adjacent land to Lot 15

Comprehensive Land
Use Plan Reference: Low Density Area

Councilmanic
District: Mrs. Green

School District: Woodbridge School District

Fire District: Bridgeville Fire Co. – Station No. 72

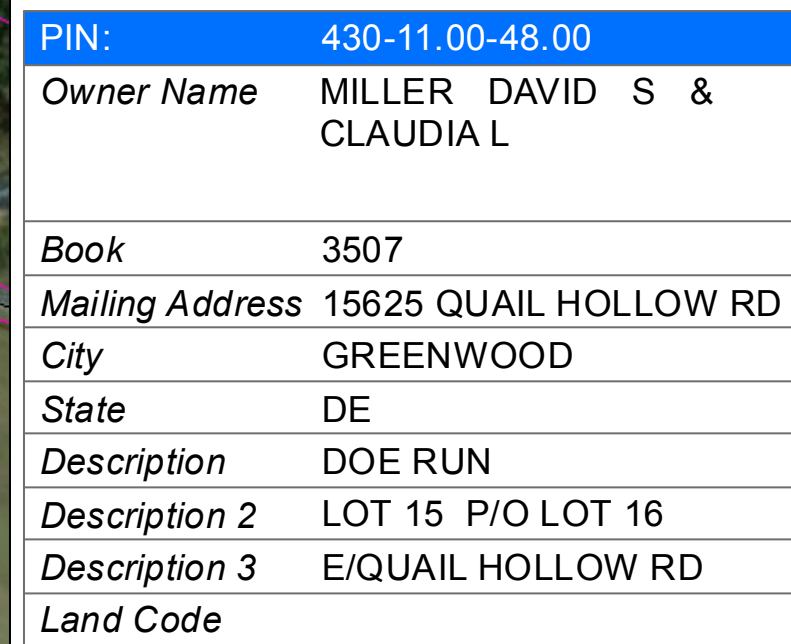
Sewer: Private

Water: Private

Site Area: Current extent of subdivision - 20.22 acres +/- ; current density – 0.69
Proposed: 24.42 acres +/- ; proposed density – 0.57

Tax Map I.D.: Lot 15: 430-11.00-48.00
P/O Parcel A “to be conveyed”: 430-11.00-24.02





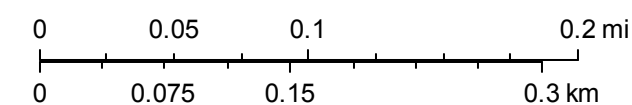
Override 1

Override 1

— Streets

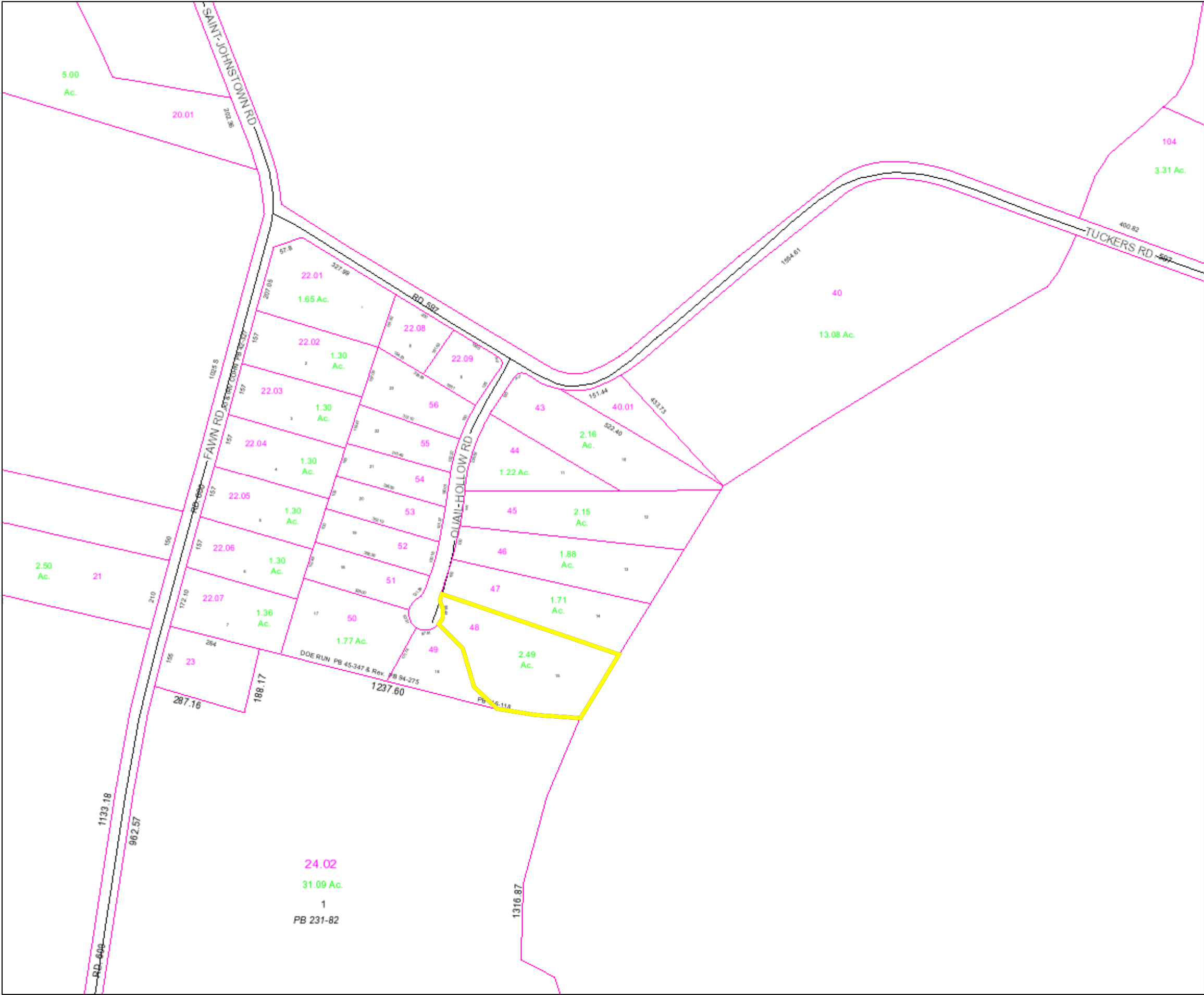
Subdivisions

1:4,514





Sussex County

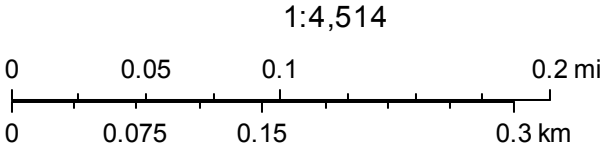


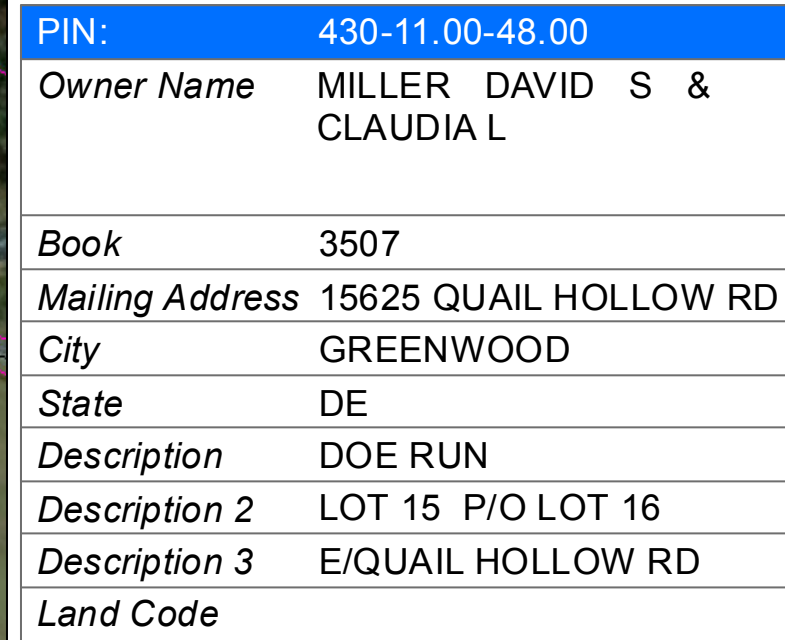
| | |
|-----------------|----------------------------|
| PIN: | 430-11.00-48.00 |
| Owner Name | MILLER DAVID S & CLAUDIA L |
| Book | 3507 |
| Mailing Address | 15625 QUAIL HOLLOW RD |
| City | GREENWOOD |
| State | DE |
| Description | DOE RUN |
| Description 2 | LOT 15 P/O LOT 16 |
| Description 3 | E/QUAIL HOLLOW RD |
| Land Code | |

- polygonLayer

Override 1
- polygonLayer

Override 1
- Tax Parcels
- Streets





— Streets

File #: 2021-01

2020 15405

Sussex County Major Subdivision Application

Sussex County, Delaware

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check applicable)

Standard: ☒ Amendment to Existing Subdivision

Cluster: ☐

ESDDOZ: ☐

Location of Subdivision:

Doe Run PB 45-347 & Rev PB94-275

Proposed Name of Subdivision:

Doe Run

Tax Map #: 430-11.00-48.00

Total Acreage: Add +/- 4.192 Ac. to Lot 15

Zoning: AR Density: Minimum Lot Size: .74 Ac Number of Lots: 14 1

Open Space Acres:

Water Provider: Private Wells Sewer Provider: Private Septic Systems

Applicant Information

Applicant Name: David Miller & Claudia Miller

Applicant Address: 15625 Quail Hollow Road

City: Greenwood State: DE Zip Code: 19950

Phone #: (302) 542-6330 E-mail: dmiller@allspaninc.com

Owner Information

Owner Name: David Miller & Claudia Miller

Owner Address: 15625 Quail Hollow Road

City: Greenwood State: DE Zip Code: 19950

Phone #: (302) 542-6330 E-mail: dmiller@allspaninc.com

Agent/Attorney/Engineer Information

Agent/Attorney/Engineer Name: Walter G. Feindt

Agent/Attorney/Engineer Address: 4 Lakelawn Drive

City: Milford State: DE Zip Code: 19963

Phone #: (302) 422-4811 E-mail: wgfeindt@netscape.net



Check List for Sussex County Major Subdivision Applications

The following shall be submitted with the application

- ☒ **Completed Application**
- ☐ **Provide fifteen (15) copies of the Site Plan or Survey of the property and a PDF (via e-mail)**
 - Plan shall show the existing conditions, setbacks, roads, floodplain, wetlands, topography, proposed lots, landscape plan, etc. **Per Subdivision Code 99-22, 99-23 & 99-24**
 - Provide compliance with Section 99-9.
 - Deed or Legal description, copy of proposed deed restrictions, soil feasibility study
- ☒ **Provide Fee \$500.00**
- ☐ **Optional - Additional information for the Commission to consider** (ex. photos, exhibit books, etc.) If provided submit seven (7) copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.
- ☒ **Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.**
- ☐ **PLUS Response Letter** (if required)
- ☒ **51% of property owners consent if applicable**

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney



Date: 12/7/20

Signature of Owner



Date: 12/7/20

For office use only:

Date Submitted: 12/7/2020

Staff accepting application: CEA

Location of property: _____

Fee: \$500.00 Check #: 4318

Application & Case #: 202015405

Date of PC Hearing: 1/7/2021

Recommendation of PC Commission: _____

| AGRICULTURAL USE PROTECTIONS: | CURVE DATA: |
|--|-------------|
| 1) THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. | |
| 2) NO IMPROVEMENT REQUIRING AN OCCUPANCY APPROVAL FOR A RESIDENTIAL TYPE USE SHALL BE CONSTRUCTED WITHIN 50 FEET OF THE BOUNDARY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES. | |

| CURVE | RADIUS | DELTA ANGLE | ARC LENGTH | CHORD LENGTH | CHORD BEARING |
|-------|--------|-------------|------------|--------------|---------------|
| C1 | 228.02 | 27°18'18" | 108.67 | 107.64 | S 84°08'25" E |
| C2 | 25.00 | 90°00'00" | 39.27 | 35.36 | N 84°32'45" E |
| C3 | 450.00 | 30°00'00" | 335.62 | 232.94 | N 24°32'45" E |
| C4 | 970.00 | 5°54'24" | 100.00 | 99.96 | N 12°26'57" E |
| C5 | 970.00 | 5°54'24" | 100.00 | 99.96 | N 18°24'22" E |
| C6 | 970.00 | 5°54'24" | 100.00 | 99.96 | N 24°18'46" E |
| C7 | 970.00 | 0°47'47" | 13.48 | 13.48 | N 27°39'52" E |
| C8 | 25.00 | 48°11'23" | 21.03 | 20.41 | N 03°58'04" E |
| C9 | 50.00 | 69°51'53" | 60.97 | 57.26 | N 14°48'19" E |
| C10 | 50.00 | 77°21'52" | 67.51 | 62.50 | N 88°25'12" E |
| C11 | 50.00 | 77°21'52" | 67.51 | 62.50 | S 14°12'56" E |
| C12 | 50.00 | 51°47'08" | 45.19 | 43.67 | S 50°21'34" W |
| C13 | 25.00 | 49°11'23" | 21.03 | 20.41 | S 52°09'27" W |
| C14 | 920.00 | 3°26'09" | 55.17 | 55.16 | S 28°20'41" W |
| C15 | 920.00 | 6°14'21" | 100.18 | 100.13 | S 21°30'26" W |
| C16 | 920.00 | 6°18'46" | 101.36 | 101.31 | S 15°13'52" W |
| C17 | 920.00 | 2°31'44" | 40.51 | 40.60 | S 10°48'37" W |
| C18 | 500.00 | 6°48'24" | 59.40 | 59.37 | S 12°56'57" W |
| C19 | 500.00 | 11°44'03" | 102.40 | 102.22 | S 22°13'11" W |
| C20 | 500.00 | 11°27'33" | 100.00 | 99.83 | S 33°48'59" W |
| C21 | 25.00 | 53°07'49" | 23.18 | 22.36 | N 12°58'51" E |

| GENERAL NOTES: |
|--|
| 1) CLASS "B", SUBURBAN SURVEY |
| 2) THIS BOUNDARY SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMPLETE TITLE REPORT AND IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS AND/OR RIGHTS OF WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH |
| 3) SEE PLOT BOOK 45, PAGE 247 & PLOT BOOK 94, PAGE 275 FOR RECORD PLOTS OF DOE RUN |
| 4) THE BOUNDARY LINES AND LOT LINES SHOWN HEREON FOR LOTS 10-14 AND 16-23 OF DOE RUN SUBDIVISION ARE NOT THE RESULT OF ANY NEW SURVEY FIELD WORK. THOSE BOUNDARY LINES AND LOT LINES ARE PLOTTED AND SHOWN HEREON BASED SOLELY UPON THOSE AS SHOWN IN PLOT BOOK 45, PAGE 247, PLOT BOOK 94, PAGE 275 AND AS REVISED PER NOTES SHOWN HEREON. IMPROVEMENTS MAY EXIST ON THESE LOTS BUT ARE NOT SHOWN |
| 5) ALL SIDE LOT LINES ARE RESERVED FOR THE CENTERLINE OF A TEN FOOT WIDE DRAINAGE AND/OR UTILITY EASEMENT |
| 6) A TEN FOOT WIDE DRAINAGE AND/OR UTILITY EASEMENT SHALL ALSO BE RESERVED ALONG THE STREET RIGHT-OF-WAY LINE IN THE FRONT YARD OF ALL LOTS AND ALONG THE REAR LINE OF ALL LOTS |
| 7) OTHER THAN SHOWN HEREON, THIS SURVEY PLOT DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF EASEMENTS |
| 8) THE STREET WITHIN THIS SUBDIVISION IS DEDICATED TO PUBLIC USE |
| 9) THE 404 WETLANDS LINE PLOTTED HEREON IS BASED UPON THE LINES SHOWN IN PLOT BOOK 45, PAGE 247 AND PLOT BOOK 94, PAGE 275. NO NEW WETLANDS DELINEATION WAS PERFORMED |
| 10) SEE TYPICAL ROAD SECTION AS SHOWN IN PLOT BOOK 45, PAGE 247 AND PLOT BOOK 94, PAGE 275 |

| DATA COLUMN: |
|---------------------------------------|
| 1) TOTAL NUMBER OF LOTS: 14 |
| 2) GROSS ACREAGE: 24.42± ACRES |
| 3) DENSITY: 0.57 LOTS/ACRE |
| 4) ZONING: AR-1 |
| 5) WATER SUPPLY: ON-SITE WELLS |
| 6) SEPTIC: INDIVIDUAL ON-SITE SYSTEMS |

LINE TABLE:

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | S 50°27'15" E | 185.00' |
| L2 | S 50°27'15" E | 153.21' |
| L3 | S 37°31'56" W | 116.71' |
| L4 | N 69°47'27" W | 40.69' |
| L5 | N 75°28'04" W | 58.91' |
| L6 | N 63°21'13" W | 38.69' |
| L7 | S 68°00'25" E | 99.09' |

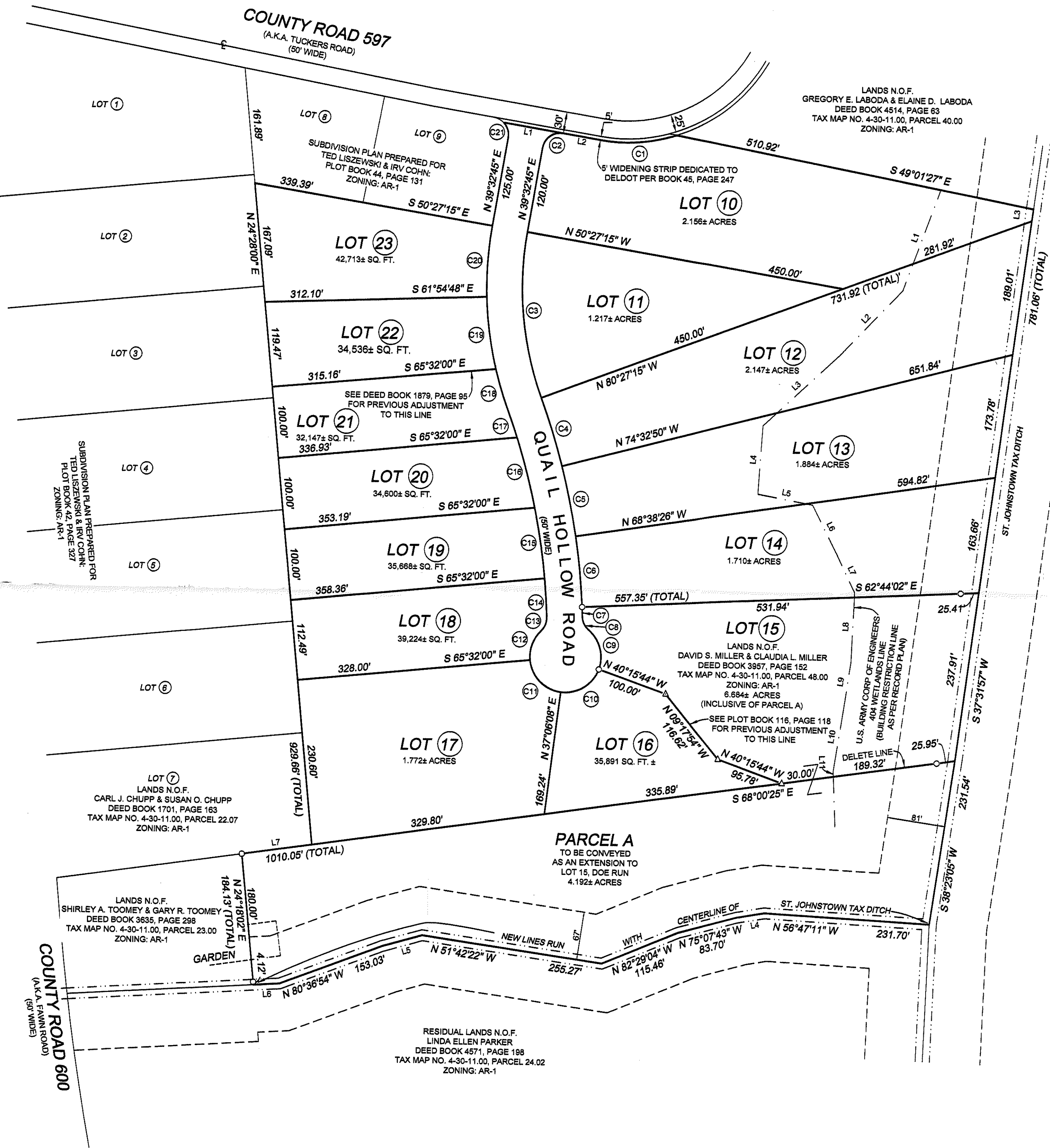
WETLANDS 404
(BUILDING
RESTRICTION
LINE)

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | S 50°01'33" W | 151.04' |
| L2 | S 73°40'14" W | 127.91' |
| L3 | S 77°05'33" W | 144.89' |
| L4 | S 33°45'29" W | 96.25' |
| L5 | S 49°20'52" E | 78.27' |
| L6 | S 03°13'18" W | 76.76' |
| L7 | S 04°18'18" W | 59.27' |
| L8 | S 32°28'04" W | 97.55' |
| L9 | S 38°18'51" W | 59.57' |
| L10 | S 38°57'50" W | 95.71' |
| L11 | S 27°31'14" W | 17.31' |

LEGEND:

| | |
|-----|--------------------|
| ○ | FOUND IRON PIPE |
| △ | FOUND IRON BAR |
| --- | TAX DITCH EASEMENT |

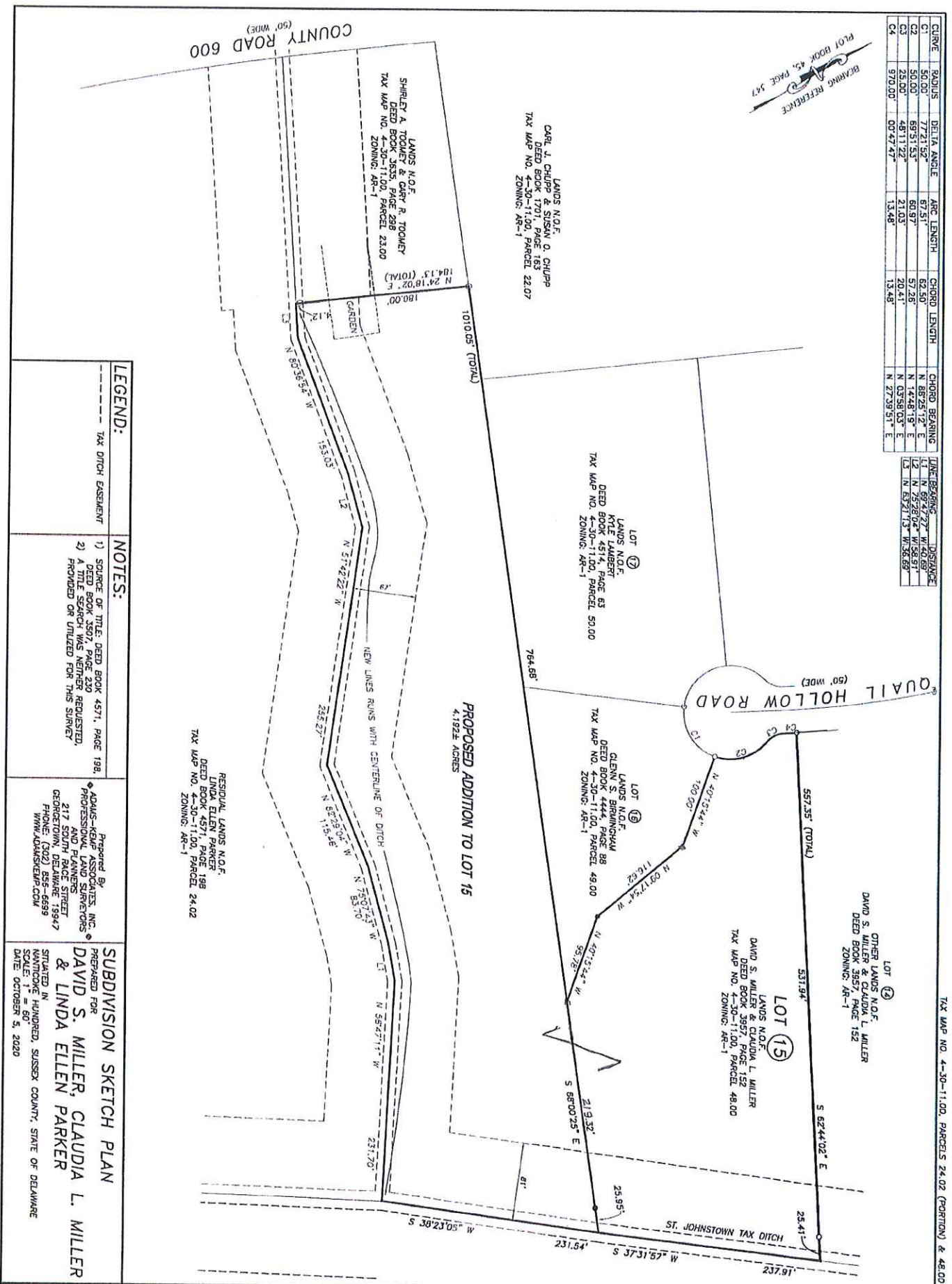
| OWNER'S CERTIFICATION: | OWNER'S CERTIFICATION: | PLAN APPROVAL | SURVEYOR'S STATEMENT: |
|--|---|-------------------------------------|----------------------------|
| I, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF TAX MAP NO. 4-30-11.00, PARCEL 24.02 AS SHOWN HEREON, THAT THE PLAN WAS MADE AT Y DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND THAT I DESIRE THE PLAN TO BE RECORDED ACCORDING TO THE LAW. | WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF TAX MAP NO. 4-30-11.00, PARCELS 47.00 & 48.00 AS SHOWN HEREON, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT WE DESIRE THE PLAN TO BE RECORDED ACCORDING TO THE LAW. | | |
| LINDA ELLEN PARKER | DAVID S. MILLER | COUNTY PLANNING & ZONING COMMISSION | R.B. KEMP, III, P.L.S. 541 |



LANDS N.O.F.
N. L. LINGO FAMILY LIMITED PARTNERSHIP
DEED BOOK 2631, PAGE 182
TAX MAP NO. 4-30-12.00, PARCEL 1.00
ZONING: AR-1

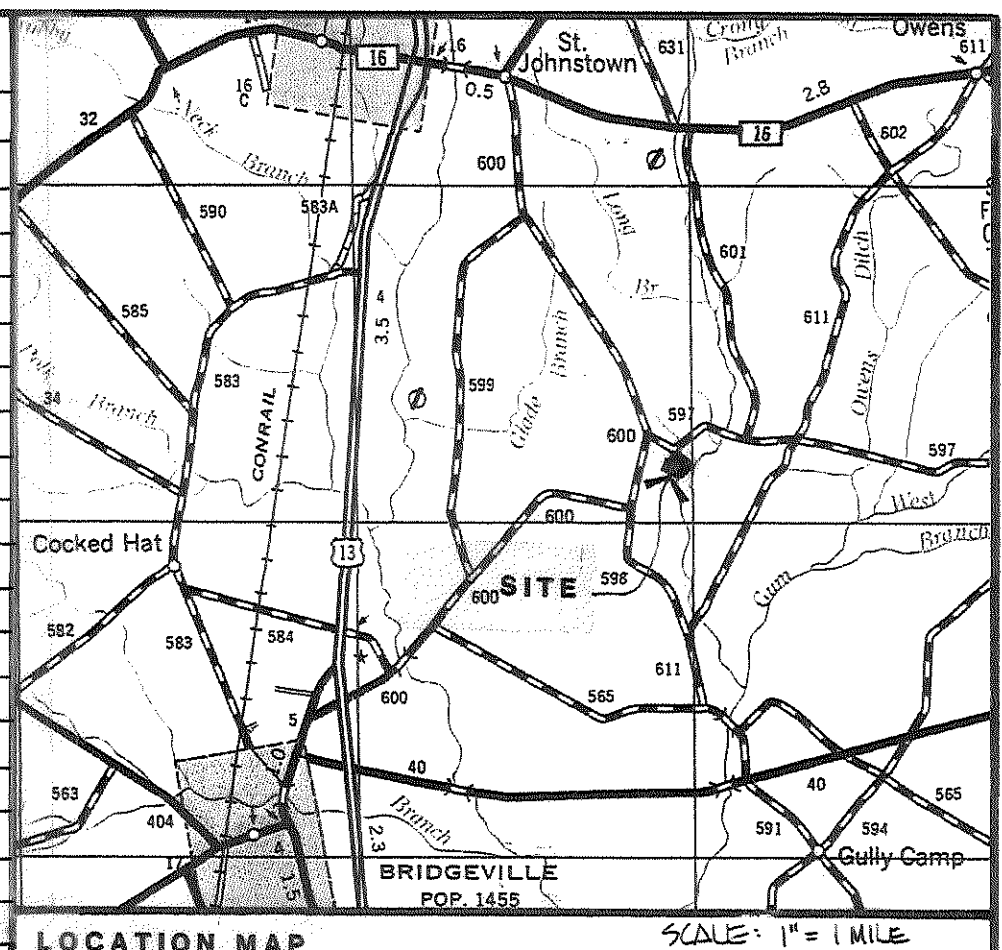
| | |
|--|--|
| EXPANSION OF SUBDIVISION SURVEY PLAN FOR | |
| DOE RUN | |
| SITUATE IN: NANTICOKE HUNDRED, SUSSEX COUNTY, STATE OF DELAWARE | |
| Karins and Associates ENGINEERS • PLANNERS • SURVEYORS NEWARK, DE • GEORGETOWN, DE www.karinsengineering.com 125 WEST MARKET STREET GEORGETOWN, DELAWARE 19947 PHONE: (302) 859-4331 FAX: (302) 699-3175 | |
| OWNERS: | TAX MAP NO. 4-30-11.00, PARCELS 47.00 & 48.00 DAVID S. MILLER & CLAUDIA L. MILLER |
| TAX MAP NO. 4-30-11.00, PARCEL 24.02 LINDA ELLEN PARKER | |
| SURVEY BY: SBK | SCALE: 1" = 100' |
| DESIGNED BY: RBK | 0 100 200 |
| DRAWN BY: RBK | DATE: 12-24-2020 SHEET 1 OF 1 |
| CHECKED BY: RBK | DRAWING NO. G 1174-D.dwg |

| CURVE | RADIUS | DELTA ANGLE | ARC LENGTH | CHORD LENGTH | CHORD BEARING | LINE BEARING | DISTANCE |
|-------|---------|-------------|------------|--------------|----------------|--------------|----------------|
| C1 | 50.00' | 77.1452° | 62.50' | 62.50' | N 86.25° 12' E | L1 | N 14.28° 19' E |
| C2 | 50.00' | 69.5153° | 60.00' | 57.26' | N 14.28° 19' E | L2 | N 25.28° 04' W |
| C3 | 25.00' | 48.1122° | 21.03' | 20.41' | N 03.58° 03' E | L3 | N 63.21° 13' W |
| C4 | 970.00' | 00° 47' 47" | 13.48' | 13.48' | N 27.39° 51' E | | |





| CURVE DATA: | | | | |
|-------------|-----------|---------|--------|---------------|
| RADIUS | DELTA | ARC | CHORD | BEARING |
| A 228.02 | 27°18'18" | 108.67 | 107.64 | S 64°06'27" E |
| B 25.00 | 90°00'00" | 39.27 | 35.355 | N 84°32'45" E |
| C 450.00 | 30°00'00" | 235.62 | 232.94 | N 24°32'45" E |
| D 970.00 | 05°54'24" | 100.00 | 99.96 | N 12°29'57" E |
| E 970.00 | 05°54'24" | 100.00 | 99.96 | N 18°24'22" E |
| F 970.00 | 05°54'24" | 100.00 | 99.96 | N 24°18'46" E |
| G 970.00 | 00°47'47" | 13.48 | 13.48 | N 27°39'52" E |
| H 25.00 | 48°11'23" | 21.03 | 20.41 | N 03°58'04" E |
| I 50.00 | 69°51'53" | 60.97 | 57.26 | N 14°48'19" E |
| J 50.00 | 77°21'52" | 67.51 | 62.50 | N 88°25'12" E |
| K 50.00 | 77°21'52" | 67.51 | 62.50 | S 14°12'56" E |
| L 50.00 | 51°47'08" | 45.19 | 43.67 | S 50°21'34" W |
| M 25.00 | 48°11'23" | 21.03 | 20.41 | S 52°09'27" W |
| N 920.00 | 03°26'09" | 55.17 | 55.16 | S 26°20'41" W |
| O 920.00 | 06°14'21" | 100.18 | 100.13 | S 21°30'26" W |
| P 920.00 | 06°18'46" | 101.365 | 101.31 | S 15°13'52" W |
| Q 920.00 | 02°31'44" | 40.605 | 40.60 | S 10°48'37" W |
| R 500.00 | 07°04'54" | 61.80 | 61.76 | S 13°05'12" W |
| S 500.00 | 11°27'32" | 100.00 | 99.83 | S 22°21'26" W |
| T 500.00 | 11°27'32" | 100.00 | 99.83 | S 33°48'59" W |
| U 25.00 | 53°07'48" | 23.18 | 22.36 | N 12°58'51" E |



LANDS N.O.F.
MADE PASSWATERS
T.M. NO. 4-30-12-5

- NOTES:**
- 1) ALL SIDE LOT LINES ARE RESERVED FOR THE CENTERLINE OF A TEN FOOT WIDE DRAINAGE AND/OR UTILITY EASEMENT.
 - 2) A TEN FOOT WIDE DRAINAGE AND/OR UTILITY EASEMENT SHALL ALSO BE RESERVED ALONG THE STREET R.O.W. LINE IN THE FRONT YARD OF ALL LOTS AND ALONG THE REAR LINE OF ALL LOTS.
 - 3) MAINTENANCE OF THE STREETS WITHIN THIS SUBDIVISION WILL BE THE RESPONSIBILITY OF THE DEVELOPER, THE LOT OWNERS WITHIN THE SUBDIVISION, OR BOTH. THE STATE AND COUNTY ASSUME NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE STREET.
 - 4) ALL LOTS ARE TO HAVE ACCESS TO INTERNAL STREET ONLY.
 - 5) THE STREET WITHIN THIS SUBDIVISION IS DEDICATED TO PUBLIC USE.
 - 6) THE REVISION DATE OF JULY 7, 2005 IS IN REGARDS TO NOTE 5 (ABOVE) ONLY. NO ADDITIONAL FIELD WORK OR RESEARCH WAS REQUESTED OR PERFORMED. ALTHOUGH THEY ARE KNOWN TO EXIST, NO IMPROVEMENTS ARE SHOWN. THE LOT LINES AND PROPERTY LINES ARE AS SHOWN UPON THE RECORD PLAN AS RECORDED IN PLOT BOOK 45, PAGE 347.

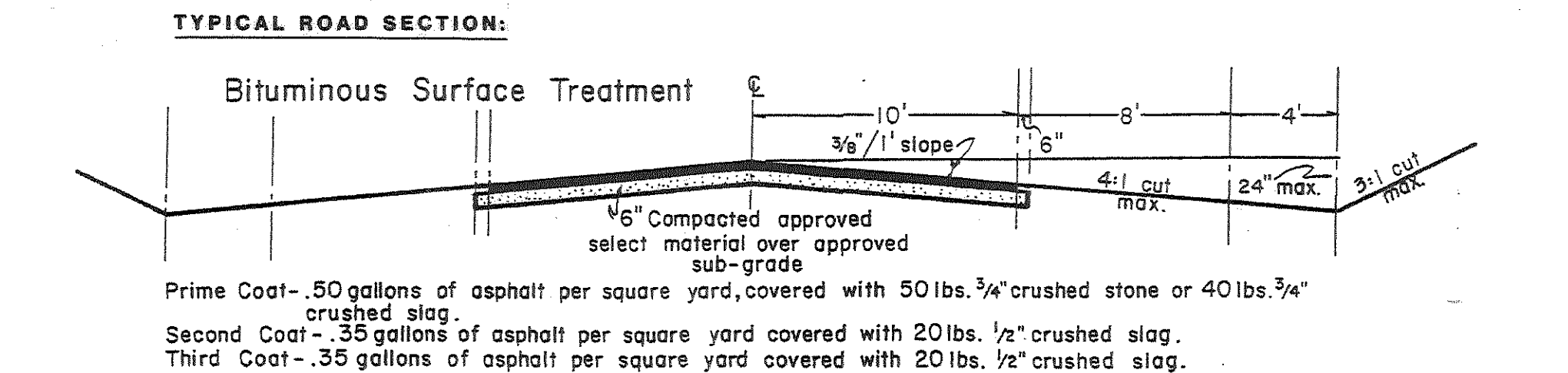
SITE DATA:

TAX MAP NO. 4-30-11 PARCEL 22
ZONING AREA - R-1
NUMBER OF LOTS = 14
MINIMUM LOT AREA = 21,780 SQUARE FEET
TOTAL AREA = 20.22 ± ACRES
DENSITY = 0.69 LOTS PER ACRE
WATER SUPPLY - INDIVIDUAL WELLS
SEWAGE DISPOSAL - INDIVIDUAL SEPTIC SYSTEMS

OWNER/DEVELOPER:

TED LISZEWSKI & IVY COHN
c/o TED LISZEWSKI
7 CLIFFWOOD DRIVE
QUARRYVILLE, PA 17566
(717) 299-2101

- DELAWARE STATE FIRE PREVENTION REGULATIONS:**
1. Since the dwellings of the development will be serviced by individual on-site wells, the requirements of Part II, Chapters 6 of the 1990 Delaware State Fire Prevention Regulations will apply.
 2. Exception #1 to the water supply requirements of Section 6-4.1 allows the use of fire department tank trucks in lieu of providing a fire hydrant system if the total floor area of a single family dwelling does not exceed 2,999 sq. ft. and no exposures exist within 30 feet of the dwelling.
 3. Exception #2 to the water supply requirements of Section 6-4.1 allows the use of fire department tank trucks in lieu of providing a fire hydrant system if the total floor area of a single family dwelling does not exceed 3,999 sq. ft. and the dwelling does not exceed 3 floors or 35 feet in height and no exposures exist within 50 feet of the dwelling.

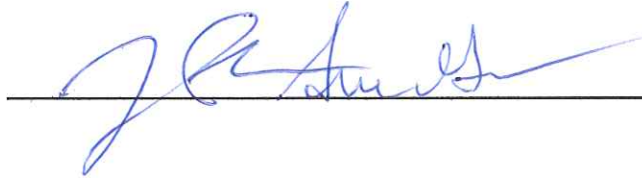


| LEGEND | WETLAND 404 (building restriction line) | PLAN APPROVAL | OWNER'S CERTIFICATION | SURVEYOR'S CERTIFICATION | PREPARED BY | RECORD SUBDIVISION PLAN |
|---|--|---|---|---|--|-------------------------|
| <div><div>○ IRON PIPE TO BE SET</div><div>● FOUND IRON PIPE</div><div>▲ POINT</div><div>--- 404 WETLANDS LINE (BUILDING RESTRICTION LINE)</div></div> <div><div><div></div><div>60</div></div><div><div></div><div>0</div></div><div><div></div><div>60</div></div><div><div></div><div>120</div></div></div> | <div><div>1</div><div>S 50° 01' 33" W</div><div>151.04'</div></div> <div><div>2</div><div>S 73° 40' 14" W</div><div>127.71'</div></div> <div><div>3</div><div>S 71° 05' 37" W</div><div>144.89'</div></div> <div><div>4</div><div>S 33° 45' 28" W</div><div>76.39'</div></div> <div><div>5</div><div>S 47° 20' 56" W</div><div>78.21'</div></div> <div><div>6</div><div>S 05° 15' 18" W</div><div>76.76'</div></div> <div><div>7</div><div>S 04° 16' 11" W</div><div>59.01'</div></div> <div><div>8</div><div>S 32° 26' 39" W</div><div>71.99'</div></div> <div><div>9</div><div>S 26° 10' 51" W</div><div>59.51'</div></div> <div><div>10</div><div>S 30° 51' 50" W</div><div>75.11'</div></div> <div><div>11</div><div>S 27° 51' 14" W</div><div>7.71'</div></div> <div><div>APPROVED _____ BY _____</div><div>COUNTY PLANNING & ZONING COMMISSION</div></div> <div><div>APPROVED _____ BY _____</div><div>PRESIDENT</div><div>SUSSEX COUNTY COUNCIL</div></div> | <div>I DO HEREBY AGREE TO THE BOUNDARY LINES AND SUBDIVISION LINES AS SHOWN ON THIS PLAN AS PREPARED BY CHARLES E. ADAMS, JR. & ASSOCIATES, INC.; THE PARCEL SUBDIVISION WAS PERFORMED WITH MY ADVICE AND FULL CONSENT; I DO HEREBY AGREE ALSO, THAT THIS PLAN AND NOTES HEREON WERE MADE WITH MY KNOWLEDGE AND FULL CONSENT.</div> <div>_____ DATE _____</div> <div>_____ DATE _____</div> | <div>I, CHARLES E. ADAMS, JR., DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE AND THAT THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED SURVEYING STANDARDS AND PRACTICES.</div> <div>_____ DATE _____</div> <div>_____ DATE _____</div> | <div>CHARLES E. ADAMS JR. & ASSOCIATES, INC.</div> <div>GEORGETOWN DELAWARE</div> | <div><div>DOE RUN</div><div>SITUATED IN NANTICUM RIVER, SUSSEX COUNTY, STATE OF DELAWARE</div><div>SCALE: 1"=60' DATE: NOVEMBER 27, 1990</div><div>REVISED: JULY 7, 2005</div></div> | |

Proposal to Adjust Property Line

David and Claudia Miller, owners of Lot 15 in Doe Run, and Linda E. Parker, adjacent land owner, have agreed to a sale of a portion of Linda E. Parker's property adjoining Lot 15. This transaction will add +/- 4 acres to Lot 15, which will basically change the plat of the subdivision known as Doe Run. By signature below, you, as property owners on Quail Hollow Road, agree to the proposed change.

Lot 11 James & Susan Gerdes

A handwritten signature in blue ink, appearing to read "J & S Gerdes", is written over a horizontal line.

7/25/20
Date

Proposal to Adjust Property Line

David and Claudia Miller, owners of Lot 15 in Doe Run, and Linda E. Parker, adjacent land owner, have agreed to a sale of a portion of Linda E. Parker's property adjoining Lot 15. This transaction will add +/- 4 acres to Lot 15, which will basically change the plat of the subdivision known as Doe Run. By signature below, you, as property owners on Quail Hollow Road, agree to the proposed change.

Lot 12 Lynn & Racheal Hamilton

Racheal K. Hamilton

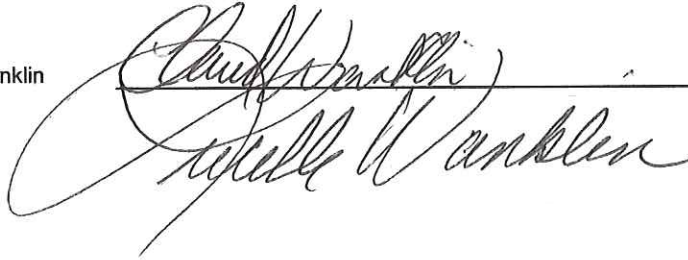
7/25/20

Date

Proposal to Adjust Property Line

David and Claudia Miller, owners of Lot 15 in Doe Run, and Linda E. Parker, adjacent land owner, have agreed to a sale of a portion of Linda E. Parker's property adjoining Lot 15. This transaction will add +/- 4 acres to Lot 15, which will basically change the plat of the subdivision known as Doe Run. By signature below, you, as property owners on Quail Hollow Road, agree to the proposed change.

Lot 13 Claud & Lucille Wanklin



12/7/20
Date

Proposal to Adjust Property Line

David and Claudia Miller, owners of Lot 15 in Doe Run, and Linda E. Parker, adjacent land owner, have agreed to a sale of a portion of Linda E. Parker's property adjoining Lot 15. This transaction will add +/- 4 acres to Lot 15, which will basically change the plat of the subdivision known as Doe Run. By signature below, you, as property owners on Quail Hollow Road, agree to the proposed change.

Lot 14 David & Claudia Miller



7/25/20
Date

Proposal to Adjust Property Line

David and Claudia Miller, owners of Lot 15 in Doe Run, and Linda E. Parker, adjacent land owner, have agreed to a sale of a portion of Linda E. Parker's property adjoining Lot 15. This transaction will add +/- 4 acres to Lot 15, which will basically change the plat of the subdivision known as Doe Run. By signature below, you, as property owners on Quail Hollow Road, agree to the proposed change.

Lot 16 Glenn Birmingham



Date

7/25/20

Proposal to Adjust Property Line

David and Claudia Miller, owners of Lot 15 in Doe Run, and Linda E. Parker, adjacent land owner, have agreed to a sale of a portion of Linda E. Parker's property adjoining Lot 15. This transaction will add +/- 4 acres to Lot 15, which will basically change the plat of the subdivision known as Doe Run. By signature below, you, as property owners on Quail Hollow Road, agree to the proposed change.

Lot 18 Carlos & Anna Ortiz



7/25/20
Date

Proposal to Adjust Property Line

David and Claudia Miller, owners of Lot 15 in Doe Run, and Linda E. Parker, adjacent land owner, have agreed to a sale of a portion of Linda E. Parker's property adjoining Lot 15. This transaction will add +/- 4 acres to Lot 15, which will basically change the plat of the subdivision known as Doe Run. By signature below, you, as property owners on Quail Hollow Road, agree to the proposed change.

Lot 19 Robert & Ellana Messick



7/5/20
Date

Proposal to Adjust Property Line

David and Claudia Miller, owners of Lot 15 in Doe Run, and Linda E. Parker, adjacent land owner, have agreed to a sale of a portion of Linda E. Parker's property adjoining Lot 15. This transaction will add +/- 4 acres to Lot 15, which will basically change the plat of the subdivision known as Doe Run. By signature below, you, as property owners on Quail Hollow Road, agree to the proposed change.

Lot 20 Lorraine King-Foley

Lorraine King-Foley

7-30-20

Date

Proposal to Adjust Property Line

David and Claudia Miller, owners of Lot 15 in Doe Run, and Linda E. Parker, adjacent land owner, have agreed to a sale of a portion of Linda E. Parker's property adjoining Lot 15. This transaction will add +/- 4 acres to Lot 15, which will basically change the plat of the subdivision known as Doe Run. By signature below, you, as property owners on Quail Hollow Road, agree to the proposed change.

Lot 21 Alan & Carolyn Tyson



7-25-20

Date

ORDINANCE NO. _____

AN ORDINANCE TO AMEND THE FUTURE LAND USE MAP OF THE COMPREHENSIVE PLAN IN RELATION TO TAX PARCEL NO. 132-2.00-264.00 (PORTION OF)

WHEREAS, on November 26th, 2019, the Sussex County Planning and Zoning Office received an application for Change of Zone No. 1910,

WHEREAS, the Sussex County Council will consider Change of Zone No. 1910 from an AR-1 Agricultural Residential District to a GR General Residential District for a certain parcel of land lying and being in Broad Creek Hundred, Sussex County, containing 5.03 acres, more or less (A portion of Tax Parcel No. 132-2.00-264.00) (the "Property"); and

WHEREAS, the Property is designated as being within the Low Density Area as set forth in the Future Land Use Map identified as Figure 4.5-1 in the Plan, and the Low Density Area does not permit such GR Zoning; and

WHEREAS, Sussex County Council desires to adopt this Ordinance amending the Future Land Use Map of the Plan with minor amendments; and

WHEREAS, in accordance with the required process for public hearings on ordinances such as this one, both Sussex County Council and the Sussex County Planning & Zoning Commission will hold public hearings on this Ordinance, but limited in scope to this specific proposed amendment to the Future Land Use Map contained in the Plan.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. The Future Land Use Map identified as Figure 4.5-1 of the Sussex County Comprehensive Plan is hereby amended to change the Area designation part of Sussex County Parcel. No. 132-2.00-264.00 from the Low Density Area to the Developing Area. The portion of Sussex County Parcel. No. 132-2.00-264.00 so changed is identified in Exhibit A, attached hereto and incorporated herein.

Section 2. This Ordinance shall also take effect following its adoption by majority vote of all members of the County Council of Sussex County, Delaware, and upon certification by the State of Delaware.



Sussex County



Exhibit A Brickyard Apartments Future Land Use Map Amendment 132-2.00-264.00

Sussex Highway (Route 13)

Brickyard Rd

132-2.00-263.00
132-2.00-596.00
132-2.00-264.00
132-2.00-527.00
132-2.00-526.00
132-2.00-525.00
132-2.00-524.00
132-2.00-523.00
132-2.00-522.00
132-2.00-272.01
132-2.00-272.02
132-2.00-272.03
132-2.00-272.04
132-2.00-272.05
132-2.00-272.06
132-2.00-272.00

Legend

- Subject Property
- Tax Parcels

0 250 500 1,000 Feet



Sussex County



Future Land Use Brickyard Apartments Future Land Use Map Amendment 132-2.00-264.00

Sussex Highway (Route 13)

Brickyard Rd

132-2.00-263.00

132-2.00-596.00

132-2.00-264.00

132-2.00-527.00

132-2.00-526.00

132-2.00-525.00

132-2.00-524.00

132-2.00-523.00

132-2.00-522.00

132-2.00-272.04

132-2.00-272.05

132-2.00-272.06

132-2.00-272.01

132-2.00-272.02

132-2.00-272.03

132-2.00-272.00

Legend

| | | | |
|---|------------------|---|---------------------------|
|  | Subject Property |  | Existing Development Area |
|  | Low Density |  | Industrial |
|  | Coastal Area |  | Municipalities |
|  | Commercial |  | Town Center |
|  | Developing Area | | |

0 250 500 1,000 Feet



Sussex County



Zoning Map Brickyard Apartments Future Land Use Map Amendment 132-2.00-264.00

Sussex Highway (Route 13)

Brickyard Rd

132-2.00-263.00

132-2.00-596.00

132-2.00-264.00

132-2.00-527.00

132-2.00-526.00

132-2.00-525.00

132-2.00-524.00

132-2.00-523.00

132-2.00-522.00

132-2.00-272.05

132-2.00-272.06

132-2.00-272.04

132-2.00-272.03

132-2.00-272.02

132-2.00-272.01

Subject Property

Zoning

District

Agricultural Residential - AR-1

Agricultural Residential - AR-2

Medium Residential - MR

General Residential - GR

High Density Residential - HR-1

High Density Residential - HR-2

Vacation, Retire, Resident - VRP

Neighborhood Business - B-1

Neighborhood Business - B-2

Legend

Business Research - B-3

General Commercial - C-1

General Commercial - C-2

General Commercial - C-3

General Commercial - C-4

General Commercial - C-5

Commercial Residential - CR-1

Institutional - I-1

Marine - M

Limited Industrial - LI-1

Light Industrial - LI-2

Heavy Industrial - HI-1

0 250 500 1,000 Feet

**Preliminary Land Use Service (PLUS) Application
Pre-Update Review Request
Municipal Comprehensive Plans
Comprehensive Plan Amendments
Municipal Ordinances
Delaware Office of State Planning Coordination**

122 Martin Luther King Jr. Blvd., South • Dover, DE 19901 • Phone: 302-739-3090 • Fax: 302-739-5661

All sections related to your project must be completed. Incomplete applications could lead to delays in scheduling your review. If you need assistance or clarification, please call the State Planning Office at (302) 739-3090.

REQUESTED REVIEW: Check one

Comprehensive Plan Pre-Update Review
Complete Sections 1 and 3 only

☐

Comprehensive Plan or Update
Complete Sections 1 and 3 only

☐

Comprehensive Plan Amendment
Complete Sections 1 and 2 only

☐

Municipal Ordinance Review
Complete Sections 1 and 2 only

☐

Date of most recently certified comprehensive plan:

Link to most recently certified comprehensive plan, if available:

If a link to the plan is not available, you must submit a copy of your plan with this application for a Pre-Update Review or a Comprehensive Plan Amendment.

**Preliminary Land Use Service (PLUS) Application
Pre-Update Review Request
Municipal Comprehensive Plans
Comprehensive Plan Amendments
Municipal Ordinances
Delaware Office of State Planning Coordination**

122 Martin Luther King Jr. Blvd., South • Dover, DE 19901 • Phone: 302-739-3090 • Fax: 302-739-5661

SECTION 1: MUNICIPAL INFORMATION

| | |
|------------------------------|------------------------|
| Name of Municipality: | |
| Address: | Contact Person: |
| | Phone Number: |
| | Fax Number: |
| | E-mail Address: |

| | |
|---------------------------------|------------------------|
| Application prepared by: | |
| Address: | Contact Person: |
| | Phone Number: |
| | Fax Number: |
| | E-mail Address: |

**Preliminary Land Use Service (PLUS) Application
Pre-Update Review Request
Municipal Comprehensive Plans
Comprehensive Plan Amendments
Municipal Ordinances
Delaware Office of State Planning Coordination**

122 Martin Luther King Jr. Blvd., South • Dover, DE 19901 • Phone: 302-739-3090 • Fax: 302-739-5661

**SECTION 2. COMPREHENSIVE PLAN AMENDMENT OR MUNICIPAL
ORDINANCE DESCRIPTION**

Please describe the submission.

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878 T
302-854-5079 F
JAMIE WHITEHOUSE, MRTPI, AICP
DIRECTOR OF PLANNING & ZONING

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET

Planning Commission Public Hearing Date: January 7th, 2021

Application: CZ 1910 Brickyard Apartments, LLC

Applicant: Brickyard Apartments, LLC
1080 Pittsford Victor Road
Suite 202
Pittsford, NY 14534

Owner: Brickyard Apartments, LLC
1080 Pittsford Victor Road
Suite 202
Pittsford, NY 14534

Site Location: 9329 Brickyard Road, Seaford, DE. The property is on the northwest side of Brickyard Road, approximately 0.3 mile southeast of Sussex Highway (Route 13).

Current Zoning: AR-1 - Agricultural Residential Zoning District & GR – General Residential Zoning District

Proposed Zoning: GR – General Residential Zoning District

Comprehensive Land
Use Plan Reference: Low Density & Existing Development Area

Councilmanic
District: Mr. Vincent

School District: Seaford School District

Fire District: Blades Fire Department

Sewer: Public – Mobile Gardens Public Water System

Water: Public – Mobile Gardens Wastewater Treatment Facility

Site Area: 3.093 acres +/-

Tax Map ID.: 132-2.00-264.00





Sussex County







| | | |
|------------------------|-------------------------|------|
| PIN: | 132-2.00-264.00 | |
| Owner Name | BRICKYARD LLC | APTS |
| Book | 5105 | |
| Mailing Address | 1080 PITTSFORD VICTOR P | |
| City | PITTSFORD | |
| State | NY | |
| Description | STATE RD 481 | |
| Description 2 | N/A | |
| Description 3 | N/A | |
| Land Code | | |

polygonLayer

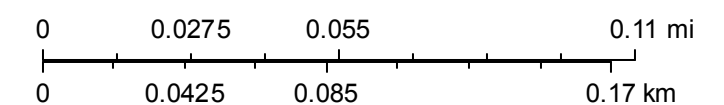
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polygonLayer

Override 1

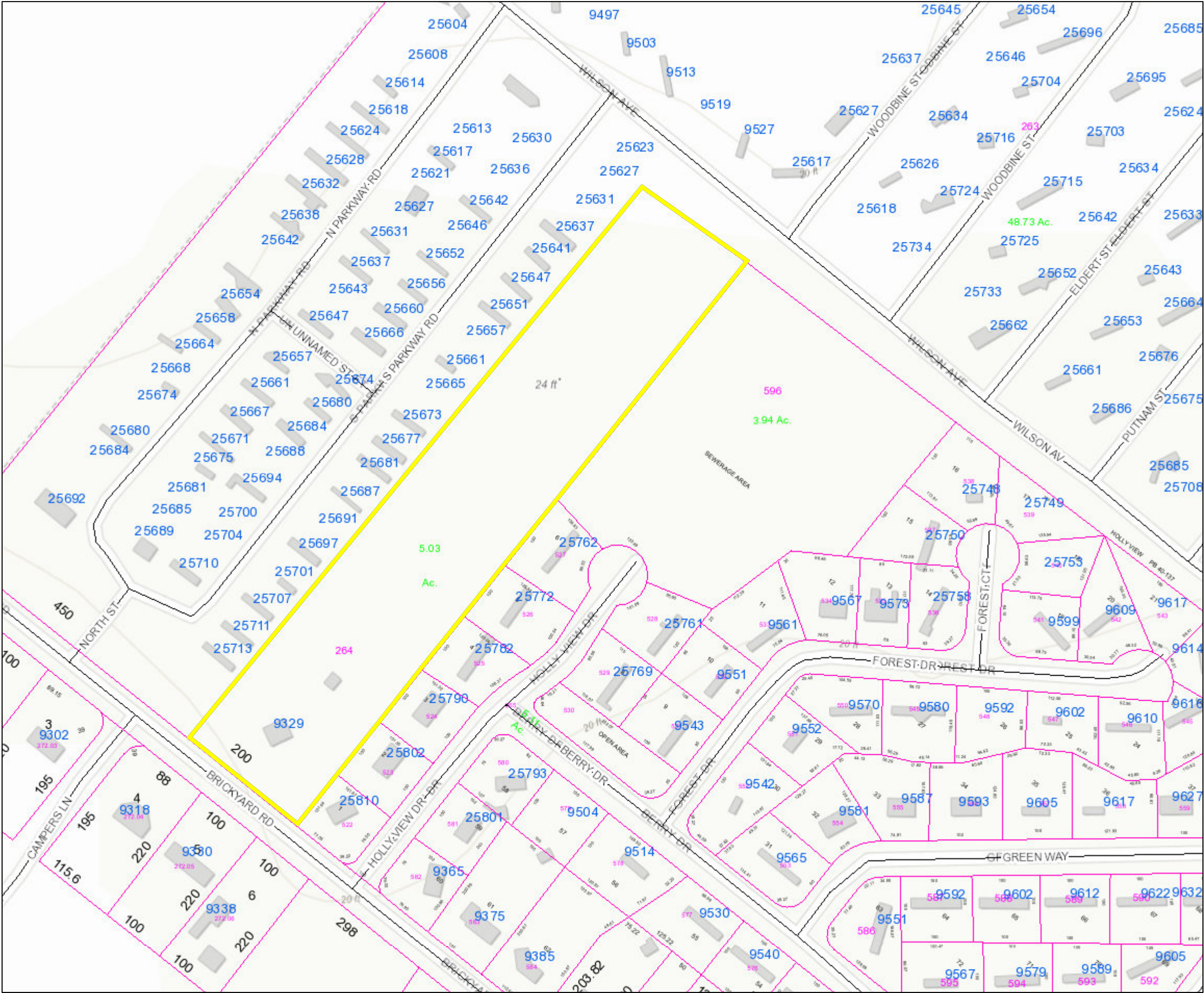
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-  911 Address
-  Streets
-  County Boundaries

1:2,257





Sussex County



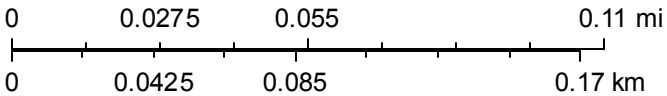
| | | |
|-----------------|-------------------------|----------|
| PIN: | 132-2.00-264.00 | |
| Owner Name | BRICKYARD | APTS LLC |
| Book | 5105 | |
| Mailing Address | 1080 PITTSFORD VICTOR P | |
| City | PITTSFORD | |
| State | NY | |
| Description | STATE RD 481 | |
| Description 2 | N/A | |
| Description 3 | N/A | |
| Land Code | | |

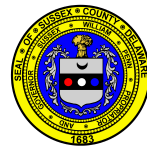
- polygonLayer

Override 1
- polygonLayer

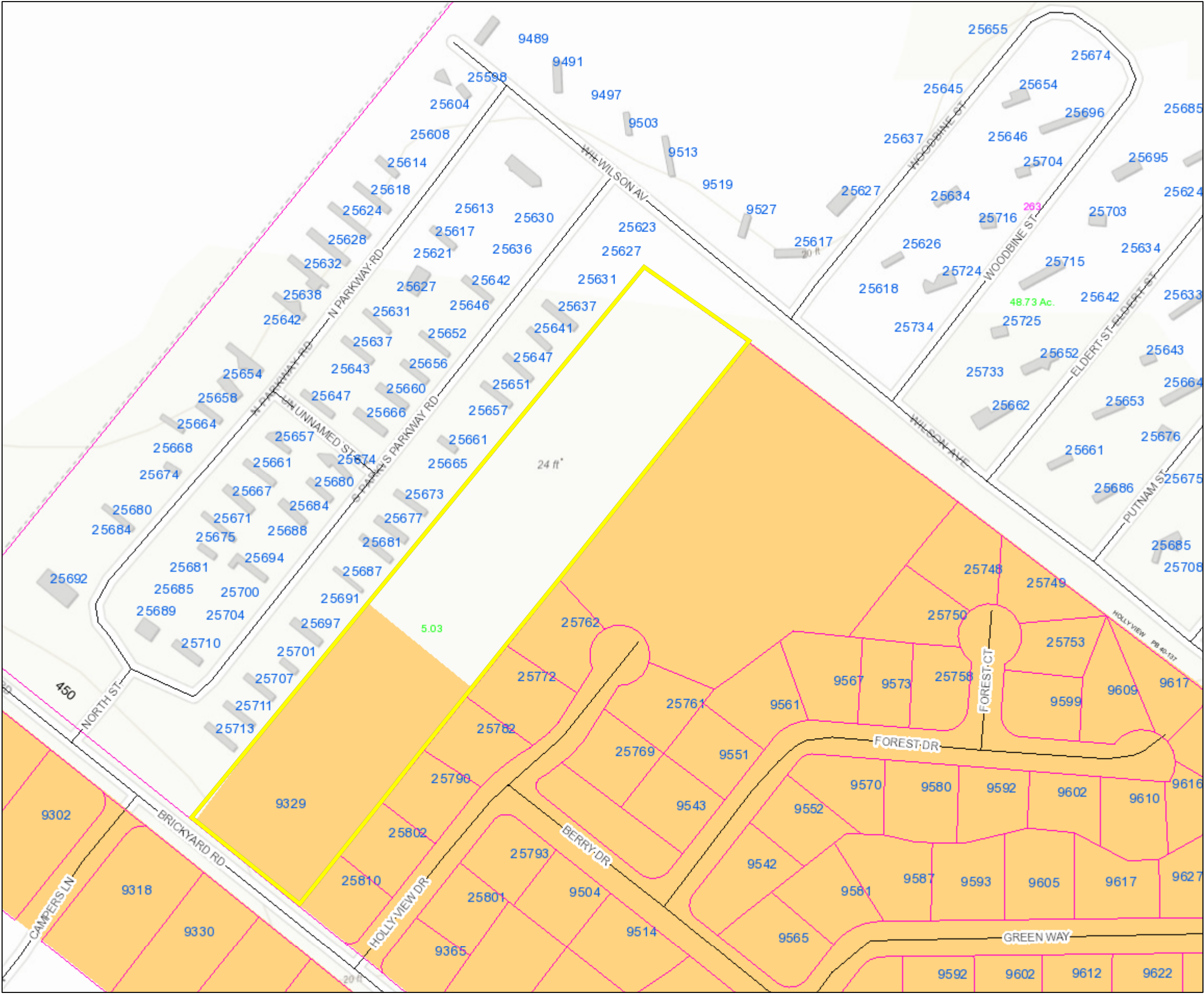
Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries

1:2,257





Sussex County

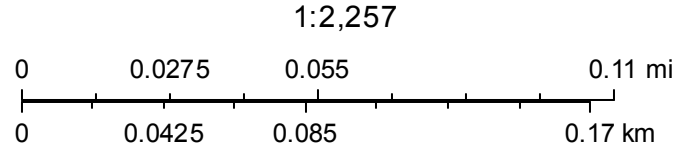


| | | |
|-----------------|-------------------------|------|
| PIN: | 132-2.00-264.00 | |
| Owner Name | BRICKYARD LLC | APTS |
| Book | 5105 | |
| Mailing Address | 1080 PITTSFORD VICTOR P | |
| City | PITTSFORD | |
| State | NY | |
| Description | STATE RD 481 | |
| Description 2 | N/A | |
| Description 3 | N/A | |
| Land Code | | |

- polygonLayer

Override 1
- polygonLayer

Override 1
- Tax Parcels
- 911 Address
- Streets



JAMIE WHITEHOUSE, AICP MRTPI
PLANNING & ZONING DIRECTOR
(302) 855-7878 T
(302) 854-5079 F
jamie.whitehouse@sussexcountype.gov



Sussex County

DELAWARE
sussexcountype.gov

Memorandum

To: Sussex County Planning Commission Members
From: Lauren DeVore, Planner III
CC: Vince Robertson, Assistant County Attorney and applicant
Date: December 21, 2020
RE: Staff Analysis for CZ 1910 Brickyard Apartments, LLC

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CZ 1910 Brickyard Apartments, LLC to be reviewed during the January 7, 2021 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Change of Zone for Tax Parcel 132-2.00-264.00 to allow for a change of zone from an Agricultural Residential (AR-1) Zoning District to a General Residential (GR) Zoning District. The parcel is located on the northwest side of Brickyard Road (Route 481) approximately 0.3 mile southeast of Sussex Highway (Route 13). The portion of the parcel to be rezoned contains 3.093 acres +/-.

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the subject property has a split land use designation of "Existing Development Area" and "Low Density Area." The properties to the south also have the land use designation of Existing Development Area.

Existing Development Areas consist primarily of existing residential development under the current General Residential and Medium Density Residential Zoning Districts, as well as some commercial uses. The Existing Development Area permits a full range of housing types which are appropriate in these residential areas, including single-family homes, townhouses, and multi-family units.

The primary uses envisioned in Low Density Areas are agricultural activities and homes. Business development should be largely confined to businesses addressing the needs of these two uses. More intense commercial uses should be avoided in these areas. The properties to the north and northwest of the subject property also have the land use designation of Low Density.

The 2018 Sussex County Comprehensive Plan outlines Zoning Districts by their applicability to each Future Land Use category. Under Table 4.5-2 "Zoning Districts Applicable to Future Land Use Categories," the General Residential (GR) Zoning District is listed as an applicable zoning district in the "Existing Development Area."



Additionally, the subject property is split-zoned with the northern half of the parcel being zoned Agricultural Residential (AR-1) and the southern half of the parcel being zoned General Residential (GR).

The property to the south as well as the properties on the opposite (western) side of Brickyard Road (Route 481) are zoned General Residential. The properties to the north and northwest of the subject site are zoned Agricultural Residential (AR-1).

Since 2011, there have been no Change of Zone applications within a 2-mile radius of the application site.

It is noted that there is a pending Ordinance to revise the Future Land Use Map to change a portion of the parcel's Future Land Use designation from the Low Density Area to the Developing Area. Based on the analysis of the land use, surrounding zoning and uses, the Change of Zone from an Agricultural Residential (AR-1) Zoning District to a General Residential (GR) Zoning District could be considered as being consistent with the land use, area zoning and surrounding uses.

File #: C21910
201913692

Planning & Zoning Commission Application

Sussex County, Delaware

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

RECEIVED

NOV 26 2019

SUSSEX COUNTY
PLANNING & ZONING

Type of Application: (please check applicable)

Conditional Use ☐

Zoning Map Amendment ☒

Site Address of Conditional Use/Zoning Map Amendment

9329 Brickyard Road, Seaford, DE

Type of Conditional Use Requested:

Change zoning of parcel to single designation. It is currently zoned AR-1 in the back half of the property and GR in the front half of the property. Applicant is seeking to have the entire parcel rezoned to GR.

Tax Map #: 132-2.00-264.00

Size of Parcel(s): 5.05± ac

Current Zoning: AR1/GR

Proposed Zoning: GR

Size of Building: 60,456± SF footprint

Land Use Classification: Residential, Single

Water Provider: Mobile Gardens Public Water System

Sewer Provider: Mobile Gardens WWTP

Applicant Information

Applicant Name: Brickyard Apartments, LLC

Applicant Address: 1080 Pittsford Victor Road, Suite 202

City: Pittsford

State: NY

Zip Code: 14534

Phone #: (585) 381-0570

E-mail: georged@kdmdevelopment.com

Owner Information

Owner Name: Brickyard Apartments, LLC

Owner Address: 1080 Pittsford Victor Road, Suite 202

City: Pittsford

State: NY

Zip Code: 14534

Phone #: (585) 381-0570

E-mail: georged@kdmdevelopment.com

Agent/Attorney/Engineer Information

Agent/Attorney/Engineer Name: Nicole Faries/ Baird Mandalas Brockstedt

Agent/Attorney/Engineer Address: 2711 Centerville Rd., Suite #401

City: Wilmington

State: DE

Zip Code: 19808

Phone #: (302) 327-1100

E-mail: nfaries@bmbde.com



Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

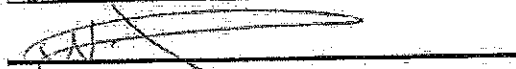
- ✓ Completed Application
- ✓ Provide eight (8) copies of the Site Plan or Survey of the property
 - Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
 - Provide a PDF of Plans (may be e-mailed to a staff member)
 - Deed or Legal description
- ✓ Provide Fee \$500.00
- ✓ Optional - Additional information for the Commission/Council to consider (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.
- ✓ Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.
- ✓ DeIDOT Service Level Evaluation Request Response

N/A PLUS Response Letter (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

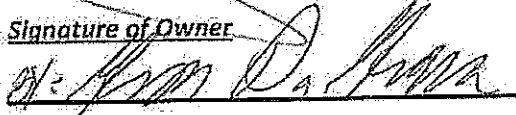
I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney



Date: 11/21/19

Signature of Owner



Date: 11/19/19

For office use only:

Date Submitted: 11-26-19

Staff accepting application: SR

Location of property: _____

Fee: \$500.00 Check #: 126

Application & Case #: 201913692

Subdivision: _____

Date of PC Hearing: _____

Date of CC Hearing: _____

Recommendation of PC Commission: _____

Decision of CC: _____



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

RECEIVED

NOV 26 2019

SUSSEX COUNTY
PLANNING & ZONING

JENNIFER COHAN
SECRETARY

April 15, 2019

Ms. Janelle Cornwell, Director
Sussex County Planning & Zoning
P.O. Box 417
Georgetown, DE 19947

Dear Ms. Cornwell:

The Department has completed its review of a Service Level Evaluation Request for the **KDM Development Corp. c/o Billy Betts** rezoning application, which we received on March 15, 2019. This application is for a 5.03-acre parcel (Tax Parcel: 132-2.00-264.00). The subject land is located on the northeast side of Brickyard Road (Sussex Road 481), approximately 1,600 feet southeast of the intersection of US Route 13 and Brickyard Road. The subject land is currently split-zoned as AR-1 (Agricultural Residential) and GR (General Residential), and the applicant is seeking to rezone the entire land to GR to develop 48 multi-family houses.

Per the 2017 Delaware Vehicle Volume Summary, the annual average daily traffic volume along the segment of Brickyard Road where the subject land is located, which is from Airport Road (Sussex Road 488) to Delaware Route 20, is 5,137 vehicles per day.

Based on our review, we estimate that the above land uses will generate fewer than 50 vehicle trips in any hour and fewer than 500 vehicle trips per day. These numbers of trips are DelDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. Because the proposed land use would not meet these warrants, we consider the development's traffic impact to be negligible in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DelDOT's description of this application as negligible with regard to warranting a TIS does not mean that it is negligible in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.

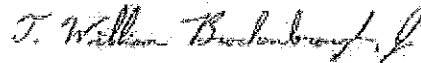


Ms. Janelle M. Cornwell
Page 2 of 2
April 15, 2019

Because proposed development would generate more than 200 vehicle trips per day, a Traffic Operational Analysis (TOA) may be required as part of the site plan review, in accordance with Chapter 2 of the Development Coordination Manual.

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.
County Coordinator
Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues
KDM Development Corp. c/o Billy Betts, Applicant
J. Marc Coté, Assistant Director, Development Coordination
Gomez Norwood, South District Public Works Manager, Maintenance and Operations
Susanne Laws, Sussex County Subdivision Coordinator, Development Coordination
Derek Sapp, Subdivision Manager, Development Coordination
Kevin Hickman, Subdivision Manager, Development Coordination
Brian Yates, Subdivision Manager, Development Coordination
John Andrescavage, Subdivision Manager, Development Coordination
Troy Brestel, Project Engineer, Development Coordination
Claudy Joinville, Project Engineer, Development Coordination

EASEMENTS

558-569 AFFECTS PROPERTY UTILITY POLES PLOTTED
558-570 AFFECTS PROPERTY UTILITY POLES PLOTTED
558-571 DOES NOT AFFECT PROPERTY, NOT PLOTTED
1635-266 DOES NOT AFFECT PROPERTY, NOT PLOTTED
2123-138 AFFECTS PROPERTY AS PLOTTED
3834-328 DOES NOT AFFECT PROPERTY, NOT PLOTTED
3835-192 DOES NOT AFFECT PROPERTY, NOT PLOTTED

GENERAL NOTES

- SOURCE OF TITLE: DEED BOOK 5105, PAGE 152, DATED AUGUST 15, 2019. MOBILE GARDENS MHP SALES TO LLC. THERE ARE NO GAPS OR OVERLAPS.
- THE 911 ADDRESS OF THE PROPERTY IS 9329 BRICKYARD ROAD, SEAFORD, DE 19973
- FLOOD ZONE CLASSIFICATION IS "X" BASED ON FEMA MAP #10005C0264L, DATED JUNE 20, 2018.
- GROSS LAND AREA: 5.061 ACRES, 220,441 SQ. FT.
- THE BUILDING SETBACK RESTRICTIONS ARE AS FOLLOWS:
GR ZONING: 42' DEPTH, FRONT 40', SIDES 10', REAR 10'
AR-1 ZONING: REMAINING, FRONT 40', SIDES 15', REAR 20'
(LOT FRONTS ON WILSON AVE.)
- SEWER AND WATER UTILITIES ARE PRIVATE.
- SUBJECT PARCEL HAS DIRECT ACCESS TO BRICKYARD ROAD, A PUBLIC DEDICATED STREET MAINTAINED BY THE STATE OF DELAWARE AND WILSON AVENUE A PRIVATELY MAINTAINED STREET.
- EXISTING STRUCTURES ON PROPERTY IN DISREPAIR AND NOT CONSIDERED IMPROVEMENTS.

LEGAL DESCRIPTION

DEED BOOK 5105, PAGE 152 AUGUST 15, 2019
PARCEL ID No. 132-2.00-264

PARCEL ONE

ALL that certain piece, or parcel of land, situate, lying and being in Broad Creek Hundred, Sussex County, Delaware, more particularly described as follows, to wit:

BEGINNING on the center of Brick Yard Road, State Route No. 481, a corner for this land and lands of R. E. Bowland; thence North 47 degrees East 750 feet along the Bowland line to a point which is a corner for this land and other lands now or formerly of John A. Moore, Jr. and Helen M. Moore and R. E. Bowland; thence North 43 1/2 degrees West 150 feet; thence South 47 degrees West 750 feet back to State Road 481; thence South 43 1/2 degrees East 150 feet back to the place of beginning.

PARCEL TWO

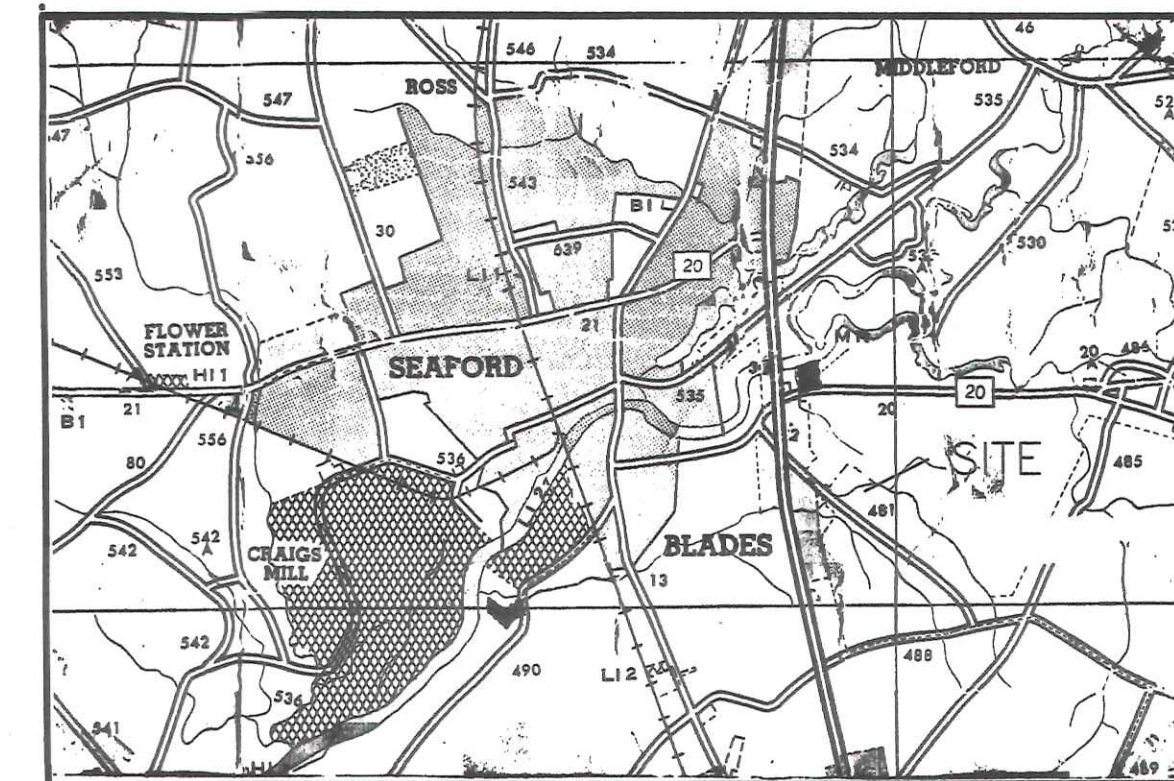
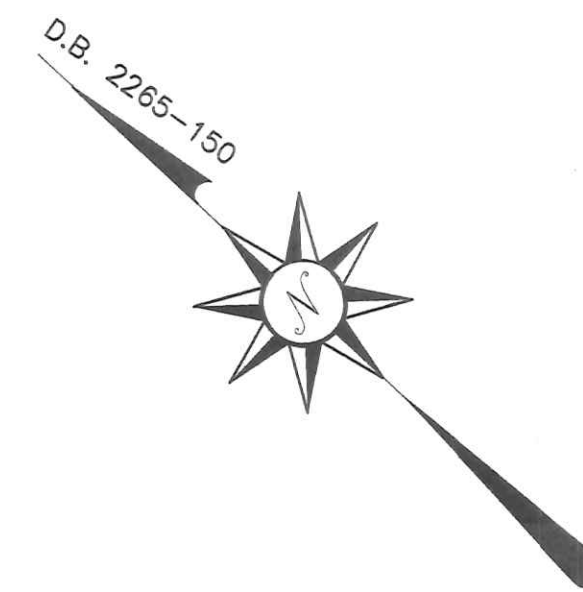
ALL that certain lot, piece, or parcel of land, situate, lying and being in Broad Creek Hundred, Sussex County, Delaware, adjoining other lands of Rufus E. Bowland, Jr. and Louise W. Bowland and more particularly described as follows, to wit:

BEGINNING on the eastern right of way line of the road leading to Route 13, a corner for this land and other lands now or formerly of Charles M. Walls and Virginia E. Walls; thence North 47 degrees East 1088 feet to Lot 67 and lands of John A. Moore, Jr.; thence South 43 1/2 degrees East along Lot 67, 50 feet; thence South 47 degrees West 1088 feet along other lands now or formerly of Rufus E. Bowland, Jr. and Louise W. Bowland to the aforementioned lot; thence North 43 1/2 degrees West 50 feet along the right of way to the place of beginning.

PARCEL THREE

ALL that certain lot, piece, or parcel of land, situate, lying and being in Broad Creek Hundred, Sussex County, Delaware, adjoining on the south other lands now or formerly of Charles M. Walls and Virginia E. Walls and adjoining on the east lands now or formerly conveyed to Charles M. Walls and Virginia E. Walls from Rufus Bowland and wife, more particularly described as follows, to wit:

BEGINNING at a point located at the northwest line of other lands now or formerly of Charles M. Walls and Virginia E. Walls; thence North 47 degrees East 338 feet to lot 69; thence South 43 1/2 degrees East 150 feet along the line of Lots 69, 68, and a portion of 67 to lands of Rufus E. Bowland and wife; thence South 47 degrees West 338 feet back to other lands now or formerly of Charles M. Walls and Virginia E. Walls; thence North 43 1/2 degrees West 150 feet back to the place of beginning.



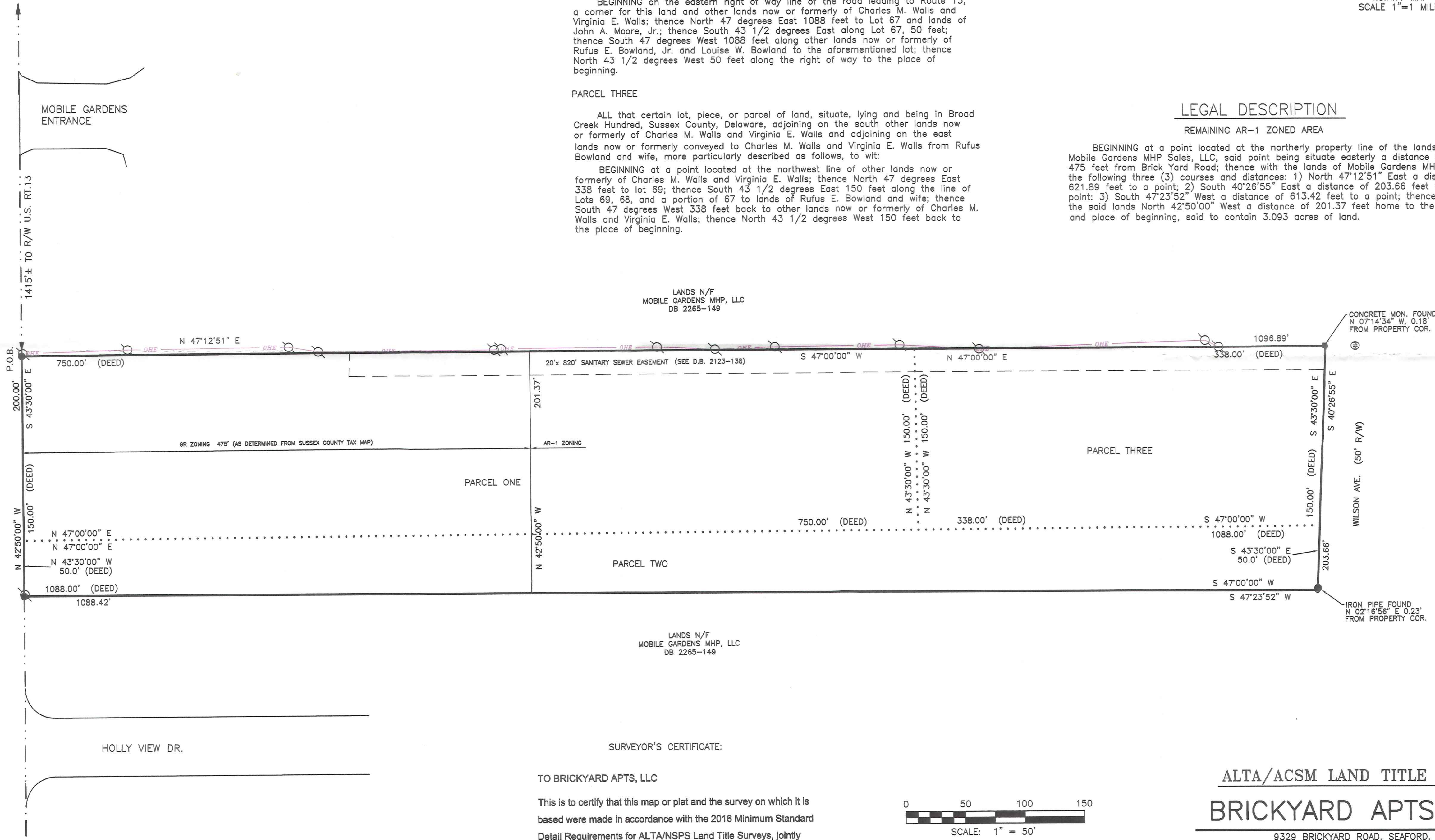
VICINITY MAP
SCALE 1"=1 MILE

LEGAL DESCRIPTION

REMAINING AR-1 ZONED AREA

BEGINNING at a point located at the northerly property line of the lands of Mobile Gardens MHP Sales, LLC, said point being situate easterly a distance of 475 feet from Brick Yard Road; thence with the lands of Mobile Gardens MHP, LLC the following three (3) courses and distances: 1) North 47°12'51" East a distance 621.89 feet to a point; 2) South 40°26'55" East a distance of 203.66 feet to a point; 3) South 47°23'52" West a distance of 613.42 feet to a point; thence through the said lands North 42°50'00" West a distance of 201.37 feet home to the point and place of beginning, said to contain 3.093 acres of land.

BRICKYARD ROAD SCR #481 (50' R/W)



MONUMENTATION

- IRON PIPE (FOUND)
- CONCRETE MONUMENT (FOUND)
- UTILITY POLE
- POINT

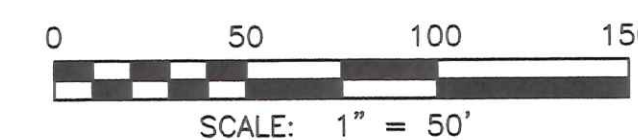
SURVEYOR'S CERTIFICATE:

TO BRICKYARD APTS, LLC

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1,2,3,4,6(a),11,12,18,19 of Table A thereof. The field work was completed on July 10, 2019.

Date of Plat or Map: July 10, 2019

Donald K. Miller, PLS 407



ALTA/ACSM LAND TITLE SURVEY

BRICKYARD APTS, LLC

9329 BRICKYARD ROAD, SEAFORD, DE 19973

| DATE | REVISION |
|------|----------|
| | |
| | |
| | |
| | |
| | |
| | |
| | |

MILLER
LEWIS, INC.
LAND SURVEYING
1560 MIDDLEFORD RD.
SEAFORD, DELAWARE 19973
PH: 302-629-9665 FAX: 302-629-2391



| | |
|-------------|----------------|
| HUNDRED | COUNTY |
| BROAD CREEK | SUSSEX |
| STATE | DRAWN BY |
| DELAWARE | D.K. MILLER |
| REF. | FILE NO. |
| DB 4579-293 | MOBILE GARDENS |



BRICKYARD APARTMENTS

Subdivision # _____
TAX MAP PARCEL 132-2.00-264.00

Proposed Re-zoning from AR-1 to GR Proposed Conditional use: Multi-Family Apartments in GR Zone

November 2019



GMB Project No. 170218



GEORGE, MILES & BUHR, LLC

ARCHITECTS/ENGINEERS

400 High Street
Seaford, DE 19971
302-628-1421

SALISBURY/BALTIMORE/SEAFORD



BRICKYARD APARTMENTS
TAX MAP PARCEL 132-2.00-264.00
Subdivision # _____

INFORMATION FOR PUBLIC RECORD
November 2019
Updated September 2020

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1. EXECUTIVE SUMMARY

2. PLANNING & ZONING REZONING AND CONDITIONAL USE APPLICATION

- *Sussex County Rezoning Application*
 - Planning and Zoning Commission Application.
 - Project Contact List
 - Mailing List Application Form
 - Service Level Evaluation Response from DelDOT, dated April 15, 2019
- *Sussex County Conditional Use Application*
 - Planning and Zoning Commission Application
 - Project Contact List
 - Mailing List Application Form
 - Service Level Evaluation Response from DelDOT, dated April 15, 2019

3. SITE SPECIFIC MAPS, PLANS AND DOCUMENTATION

- *Site Maps & Plans*
 - Zoning Map
 - Proximity Map
 - Site Plan Rendering
 - Conditional Use Site Plan
 - Tax Map
 - List of Adjoining Property Owners
 - Boundary & Topo ALTA Survey
 - Deed
 - FEMA Map – Map #10005C0264L
 - USGS Quad Map
 - Soils Map
 - Seaford School District Map

4. TRAFFIC AND SITE CIRCULATION

- DelDOT Letter of No Objection, dated January 13, 2020
- DelDOT Entrance Plan Approval Letter, dated February 11, 2020

5. UTILITY PROVIDERS

- Mobile Gardens Public Water System
 - Water Calculations
- Mobile Gardens Wastewater Treatment Facility

- Sewer Capacity Calculations

6. WETLANDS

- State Wetlands Map which shows no wetlands onsite

7. THREATENED AND ENDANGERED SPECIES

- US Fish and Wildlife Service Determination Letter, dated July 16, 2019

8. SUSSEX COUNTY COMPREHENSIVE MAPS

- Sussex County Comprehensive Plan – Existing Land Use Map
- Sussex County Comprehensive Plan – Future Land Use Map
- Sussex County Comprehensive Plan Strategies for State Policies and Spending Map
- Sussex County Comprehensive Plan Developed & Protected Lands
- Sussex County Comprehensive Plan County Water Service Areas
- Sussex County Comprehensive Plan Water Supply Wellhead & Excellent Recharge Areas
- Sussex County Comprehensive Plan County Wastewater Service Areas-2007
- Sussex County Comprehensive Plan Wastewater Service Areas that have Received Certificates of Public Convenience and Necessity
- Sussex County Comprehensive Plan – Floodplains & Wetlands Map
- Sussex County Comprehensive Plan – Woodlands & Natural Areas

9. FINDINGS OF FACT

- Rezoning
- Conditional Use

10. OTHER PLAN APPROVALS

- Notice of Intent for Storm Water Discharge - #6021, dated May 31, 2019
- Sussex Conservation District Approval, dated February 13, 2020

EXECUTIVE SUMMARY

Brickyard Apartments
Subdivision # _____

Executive Summary

It is the intention of Brickyard Apartments, LLC to develop the subject parcel (Tax Map Parcel 132-2.00-264.00) as a multi-family apartment development. Total project area is 5.05 acres.

The parcel is currently zoned AR-1 and GR. The project will be developed as 12 apartment buildings, 6 buildings will be 1-bedroom apartments with 4 apartments per building. The other 6 buildings will be 2-bedroom apartments with 4 apartments per building. The gross square footage for all 12 buildings (48 apartments) is 54,194±SF. Overall density is 9.5 units/acre.

The project is surrounded by existing developed areas along Brickyard Road, consisting of single-family residential development and manufactured home parks.

While no amenities are proposed onsite, the management office and playground within the adjacent Mobile Gardens manufactured home park is to be shared. The management office and playground are within walking distance of the proposed apartments.

Stormwater management will meet the requirements of the Sussex Conservation District.

The project will be accessed off Brickyard Road via a new entrance, which shall meet the requirements of DelDOT.

Central sewer will be provided by the Mobile Gardens Wastewater Treatment Facility. Central water will be provided via the Mobile Gardens Public Water System and a new well.

A Site Plan Rendering and Conditional Use Site Plan are included for reference.

**PLANNING & ZONING REZONING AND CONDITIONAL USE
APPLICATION**

File #: _____

Planning & Zoning Commission Application Sussex County, Delaware

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check applicable)

Conditional Use _____

Zoning Map Amendment ☒

Site Address of Conditional Use/Zoning Map Amendment

9329 Brickyard Road, Seaford, DE

Type of Conditional Use Requested:

Change zoning of parcel to single designation. It is currently zoned AR-1 in the back half of the property and GR in the front half of the property. Applicant is seeking to have the entire parcel rezoned to GR.

Tax Map #: 132-2.00-264.00

Size of Parcel(s): 5.05± ac

Current Zoning: AR1/GR

Proposed Zoning: GR

Size of Building: 60,456± SF footprint

Land Use Classification: Residential, Single

Water Provider: Mobile Gardens Public Water System

Sewer Provider: Mobile Gardens WWTF

Applicant Information

Applicant Name: Brickyard Apartments, LLC

Applicant Address: 1080 Pittsford Victor Road, Suite 202

City: Pittsford

State: NY

Zip Code: 14534

Phone #: (585) 381-0570

E-mail: georged@kdmdevelopment.com

Owner Information

Owner Name: Brickyard Apartments, LLC

Owner Address: 1080 Pittsford Victor Road, Suite 202

City: Pittsford

State: NY

Zip Code: 14534

Phone #: (585) 381-0570

E-mail: georged@kdmdevelopment.com

Agent/Attorney/Engineer Information

Agent/Attorney/Engineer Name: Nicole Faries/ Baird Mandalas Brockstedt

Agent/Attorney/Engineer Address: 2711 Centerville Rd., Suite #401

City: Wilmington

State: DE

Zip Code: 19808

Phone #: (302) 327-1100

E-mail: nfaries@bmbde.com



Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

- ✓ **Completed Application**
- ✓ **Provide eight (8) copies of the Site Plan or Survey of the property**
 - Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
 - Provide a PDF of Plans (may be e-mailed to a staff member)
 - Deed or Legal description
- ✓ **Provide Fee \$500.00**
- ✓ **Optional - Additional information for the Commission/Council to consider** (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.
- ✓ **Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.**
- ✓ **DeIDOT Service Level Evaluation Request Response**
- N/A **PLUS Response Letter** (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

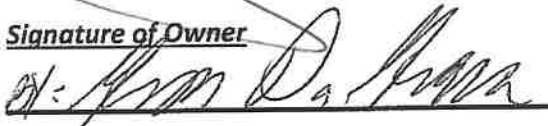
I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney



Date: 11/21/19

Signature of Owner



Date: 11/19/19

For office use only:

Date Submitted: _____

Fee: \$500.00 Check #: _____

Staff accepting application: _____

Application & Case #: _____

Location of property: _____

Subdivision: _____

Date of PC Hearing: _____

Recommendation of PC Commission: _____

Date of CC Hearing: _____

Decision of CC: _____

Planning & Zoning Project Contact List

Applicant Information

Applicant Name: _____

Applicant Address: _____

City: _____ State: _____ Zip: _____

Phone #: _____ E-mail: _____

Owner Information

Owner Name: _____

Owner Address: _____

City: _____ State: _____ Zip: _____

Phone #: _____ E-mail: _____

Engineer/Surveyor Information

Engineer/Surveyor Name: _____

Engineer/Surveyor Address: _____

City: _____ State: _____ Zip: _____

Phone #: _____ E-mail: _____

Agent/Attorney Information

Agent/Attorney Name: _____

Agent/Attorney Address: _____

City: _____ State: _____ Zip: _____

Phone #: _____ E-mail: _____

Other

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone #: _____ E-mail: _____



Mailing List Application Form

For Applications requiring a Public Hearing in Sussex County

Please fill out this form and return it with your application. As a part of your application a Public Hearing is required. The property owners within 200' of the site of the application will be notified. Staff will notify the property owners.

Application Information:

Site Address:

Parcel #:

Site Address:

Parcel #:

Applicant Name:

Owner Name:

Type of Application:

Conditional Use:

Change of Zone:

Subdivision:

Board of Adjustment:

Date Submitted:

For office use only:

Date of Public Hearing: _____

File #: _____

Date list created: _____ List created by: _____

Date letters mailed: _____ Letters sent by: _____



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. Box 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

April 15, 2019

Ms. Janelle Cornwell, Director
Sussex County Planning & Zoning
P.O. Box 417
Georgetown, DE 19947

Dear Ms. Cornwell:

The Department has completed its review of a Service Level Evaluation Request for the **KDM Development Corp. c/o Billy Betts** rezoning application, which we received on March 15, 2019. This application is for a 5.03-acre parcel (Tax Parcel: 132-2.00-264.00). The subject land is located on the northeast side of Brickyard Road (Sussex Road 481), approximately 1,600 feet southeast of the intersection of US Route 13 and Brickyard Road. The subject land is currently split-zoned as AR-1 (Agricultural Residential) and GR (General Residential), and the applicant is seeking to rezone the entire land to GR to develop 48 multi-family houses.

Per the 2017 Delaware Vehicle Volume Summary, the annual average daily traffic volume along the segment of Brickyard Road where the subject land is located, which is from Airport Road (Sussex Road 488) to Delaware Route 20, is 5,137 vehicles per day.

Based on our review, we estimate that the above land uses will generate fewer than 50 vehicle trips in any hour and fewer than 500 vehicle trips per day. These numbers of trips are DelDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. Because the proposed land use would not meet these warrants, we consider the development's traffic impact to be negligible in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DelDOT's description of this application as negligible with regard to warranting a TIS does not mean that it is negligible in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.



File #: _____

Planning & Zoning Commission Application

Sussex County, Delaware

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check applicable)

Conditional Use ☒

Zoning Map Amendment ☐

Site Address of Conditional Use/Zoning Map Amendment

9329 Brickyard Road, Seaford, DE

Type of Conditional Use Requested:

Multi-Family Residence in a GR zone for 12 apartment buildings consisting of 6 buildings with 1-bedroom apartments containing 4 apartments per building and consisting of 6 buildings with 2-bedroom apartments with 4 apartments per building.

Tax Map #: 132-2.00-264.00

Size of Parcel(s): 5.05± ac

Current Zoning: AR1/GR

Proposed Zoning: GR

Size of Building: 60,456± SF footprint

Land Use Classification: Residential, Single

Water Provider: Mobile Gardens Public Water System

Sewer Provider: Mobile Gardens WWTF

Applicant Information

Applicant Name: KDM Development, LLC

Applicant Address: 25713 South Parkway Rd.

City: Seaford

State: DE

Zip Code: 19973

Phone #: (302) 629-4959

E-mail: billyb@kdmdevelopment.com

Owner Information

Owner Name: Brickyard Apartments, LLC

Owner Address: 1080 Pittsford Victor Road, Suite 202

City: Pittsford

State: NY

Zip Code: 14534

Phone #: (585) 381-0570

E-mail: georged@kdmdevelopment.com

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Agent/Attorney/Engineer Name: Nicole Faries/ Baird Mandalas Brockstedt

Agent/Attorney/Engineer Address: 2711 Centerville Rd., Suite #401

City: Wilmington

State: DE

Zip Code: 19808

Phone #: (302) 327-1100

E-mail: nfaries@bmbde.com



Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

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- ✓ **Provide eight (8) copies of the Site Plan or Survey of the property**
 - Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
 - Provide a PDF of Plans (may be e-mailed to a staff member)
 - Deed or Legal description
- ✓ **Provide Fee \$500.00**
- ✓ **Optional - Additional information for the Commission/Council to consider** (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.
- ✓ **Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.**
- ✓ **DeIDOT Service Level Evaluation Request Response**
- N/A **PLUS Response Letter** (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

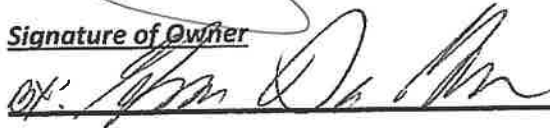
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Signature of Applicant/Agent/Attorney



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Staff accepting application: _____

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Subdivision: _____

Date of PC Hearing: _____

Recommendation of PC Commission: _____

Date of CC Hearing: _____

Decision of CC: _____

Ms. Janelle M. Cornwell

Page 2 of 2

April 15, 2019

Because proposed development would generate more than 200 vehicle trips per day, a Traffic Operational Analysis (TOA) may be required as part of the site plan review, in accordance with Chapter 2 of the Development Coordination Manual.

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.
County Coordinator
Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues
KDM Development Corp. c/o Billy Betts, Applicant
J. Marc Coté, Assistant Director, Development Coordination
Gemez Norwood, South District Public Works Manager, Maintenance and Operations
Susanne Laws, Sussex County Subdivision Coordinator, Development Coordination
Derek Sapp, Subdivision Manager, Development Coordination
Kevin Hickman, Subdivision Manager, Development Coordination
Brian Yates, Subdivision Manager, Development Coordination
John Andrescavage, Subdivision Manager, Development Coordination
Troy Brestel, Project Engineer, Development Coordination
Claudy Joinville, Project Engineer, Development Coordination

Planning & Zoning Project Contact List

Applicant Information

Applicant Name: _____

Applicant Address: _____

City: _____ State: _____ Zip: _____

Phone #: _____ E-mail: _____

Owner Information

Owner Name: _____

Owner Address: _____

City: _____ State: _____ Zip: _____

Phone #: _____ E-mail: _____

Engineer/Surveyor Information

Engineer/Surveyor Name: _____

Engineer/Surveyor Address: _____

City: _____ State: _____ Zip: _____

Phone #: _____ E-mail: _____

Agent/Attorney Information

Agent/Attorney Name: _____

Agent/Attorney Address: _____

City: _____ State: _____ Zip: _____

Phone #: _____ E-mail: _____

Other

Name: _____

Address: _____

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Owner Name:

Type of Application:

Conditional Use:

Change of Zone:

Subdivision:

Board of Adjustment:

Date Submitted:

For office use only:

Date of Public Hearing: _____

File #: _____

Date list created: _____ List created by: _____

Date letters mailed: _____ Letters sent by: _____



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. Box 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

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Ms. Janelle M. Cornwell

Page 2 of 2

April 15, 2019

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Sincerely,



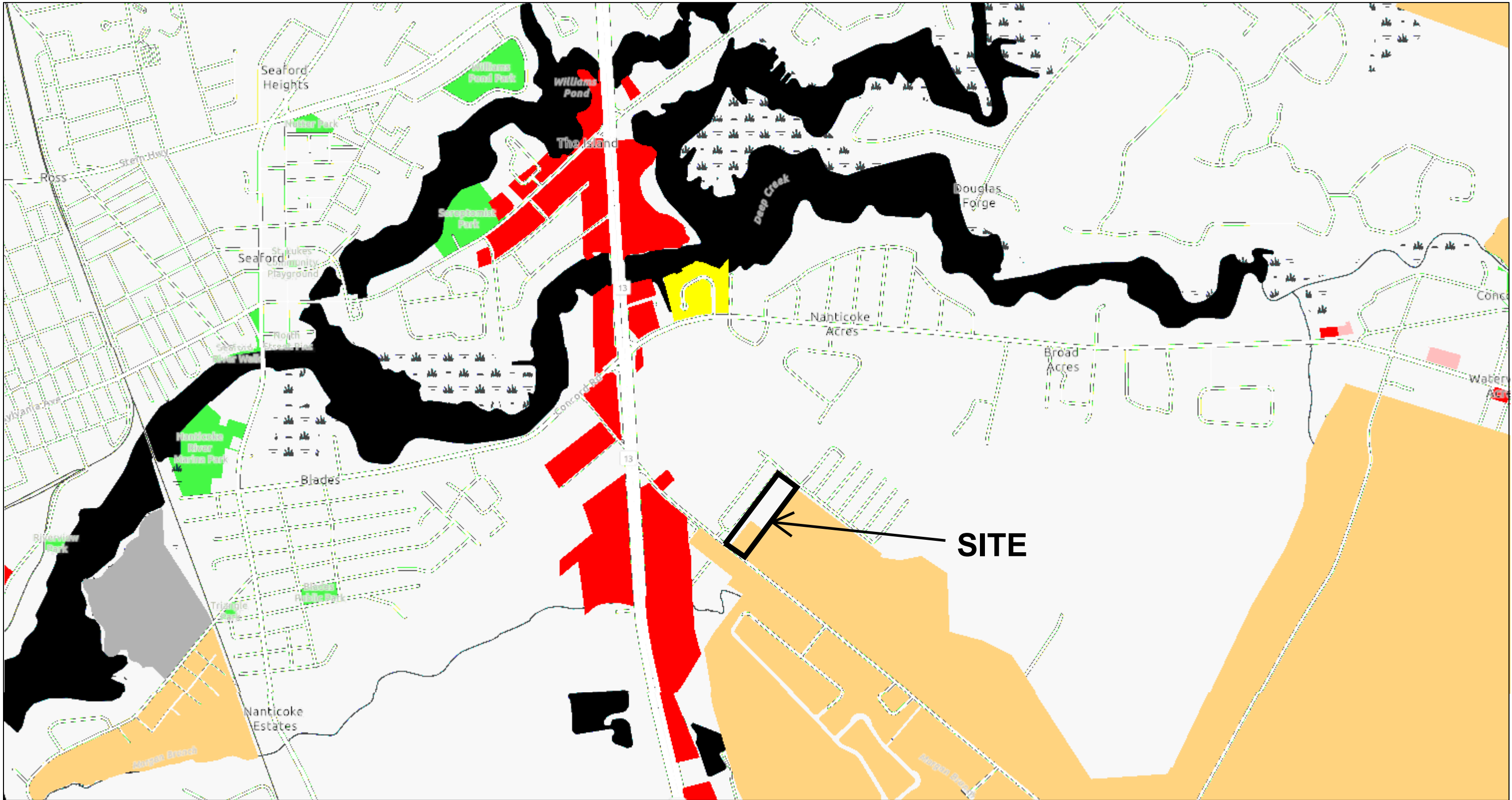
T. William Brockenbrough, Jr.
County Coordinator
Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues
KDM Development Corp. c/o Billy Betts, Applicant
J. Marc Coté, Assistant Director, Development Coordination
Gemez Norwood, South District Public Works Manager, Maintenance and Operations
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Kevin Hickman, Subdivision Manager, Development Coordination
Brian Yates, Subdivision Manager, Development Coordination
John Andrescavage, Subdivision Manager, Development Coordination
Troy Brestel, Project Engineer, Development Coordination
Claudy Joinville, Project Engineer, Development Coordination

SITE SPECIFIC MAPS, PLANS AND DOCUMENTATION

Sussex County - Zoning Map

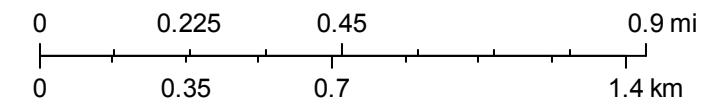


July 11, 2019

1:18,056

Zoning

- | | | | | | |
|--|---------------------------------|---|----------------------------------|---|---------------------------|
|  | Agricultural Residential - AR-1 |  | Vacation, Retire, Resident - VRP |  | Limited Industrial - LI-2 |
|  | Agricultural Residential - AR-2 |  | Neighborhood Business - B-1 |  | Heavy Industrial - HI-1 |
|  | Medium Residential - MR |  | General Commercial - C-1 | | |
|  | General Residential - GR |  | Commercial Residential - CR-1 | | |
|  | High Density Residential - HR-1 |  | Marine - M | | |



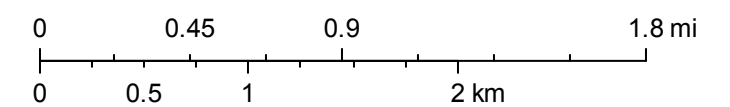
Sussex County

Sussex County Proximity Map



July 30, 2019

1:36,112



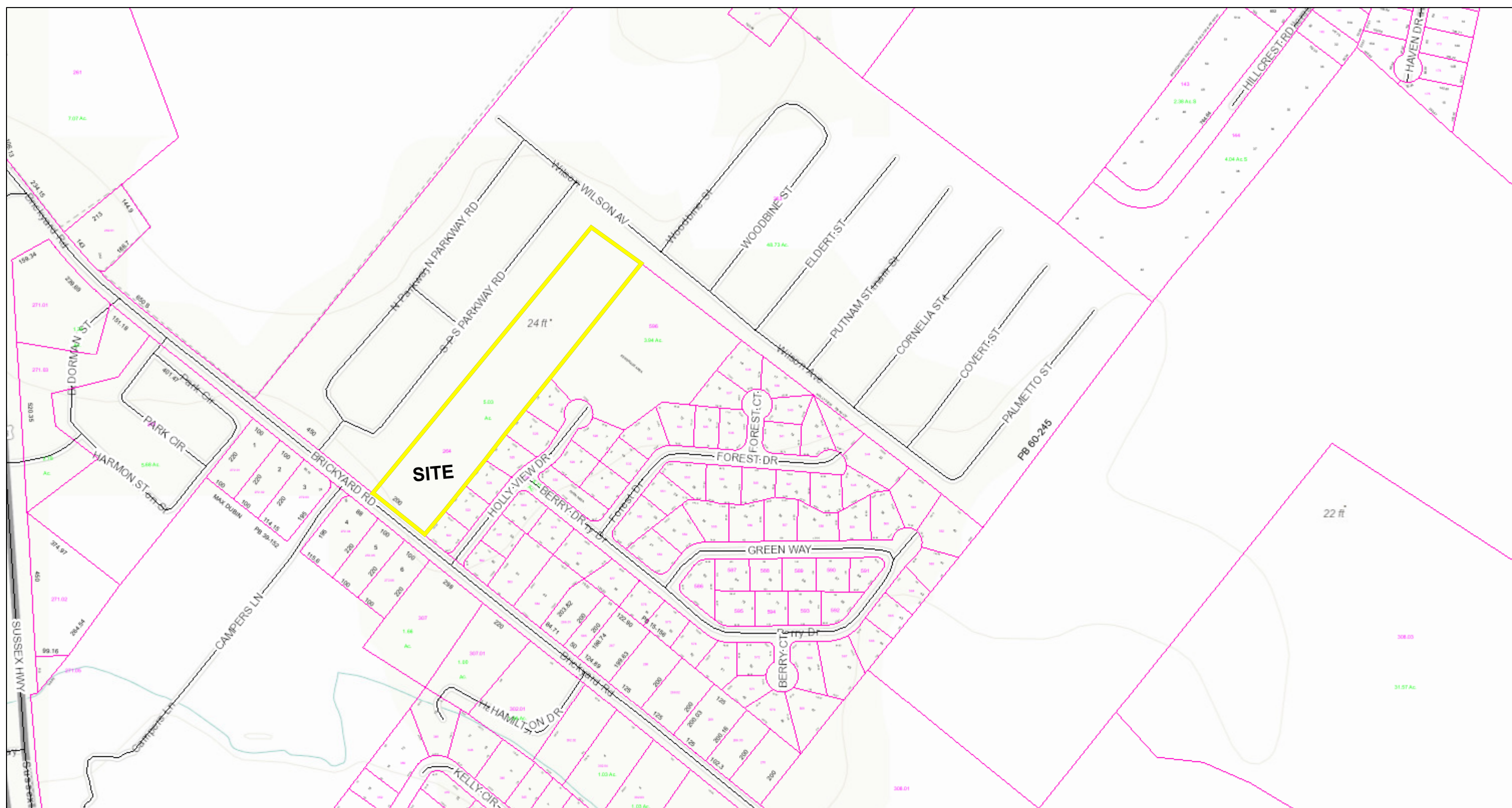
Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics,
CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User
Community
Sussex County Government
FirstMap



**BRICKYARD APARTMENTS
SUSSEX COUNTY, DELAWARE**



Sussex County - Tax Map



July 11, 2019

polygonLayer County Boundaries

Override 1

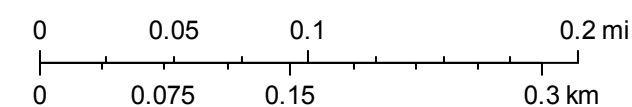
polygonLayer

Override 1

 Tax Parcels

— Streets

1:4,514



Delaware Department of Education
DNREC, Division of Watershed Stewardship, Drainage Program,
john.inkster@state.de.us
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO,
USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance

ADJOINING PROPERTY OWNERS

132-2.00-522.00

Mobile Gardens, MPH LLC
108 Pittsford Victor RD
Suite 202
Pittsford, NY 14534

132-2.00-532.00

Mobile Gardens, MPH LLC
108 Pittsford Victor RD
Suite 202
Pittsford, NY 14534

132-2.00-524.00

Mobile Gardens, MPH LLC
108 Pittsford Victor RD
Suite 202
Pittsford, NY 14534

132-2.00-525.00

Mobile Gardens, MPH LLC
108 Pittsford Victor RD
Suite 202
Pittsford, NY 14534

132-2.00-526.00

Mobile Gardens, MPH LLC
108 Pittsford Victor RD
Suite 202
Pittsford, NY 14534

132-2.00-527.00

Mobile Gardens, MPH LLC
108 Pittsford Victor RD
Suite 202
Pittsford, NY 14534

132-2.00-263.00

Mobile Gardens, MPH LLC
108 Pittsford Victor RD
Suite 202
Pittsford, NY 14534

132-2.00-596.00

Mobile Gardens, MPH LLC
108 Pittsford Victor RD
Suite 202
Pittsford, NY 14534

EASEMENTS

558-569 AFFECTS PROPERTY UTILITY POLES PLOTTED
558-570 AFFECTS PROPERTY UTILITY POLES PLOTTED
558-571 DOES NOT AFFECT PROPERTY, NOT PLOTTED
1635-266 DOES NOT AFFECT PROPERTY, NOT PLOTTED
2123-138 AFFECTS PROPERTY AS PLOTTED
3834-328 DOES NOT AFFECT PROPERTY, NOT PLOTTED
3835-192 DOES NOT AFFECT PROPERTY, NOT PLOTTED

GENERAL NOTES

- SOURCE OF TITLE: DEED BOOK 5105, PAGE 152, DATED AUGUST 15, 2019. MOBILE GARDENS MHP SALES TO LLC. THERE ARE NO GAPS OR OVERLAPS.
- THE 911 ADDRESS OF THE PROPERTY IS 9329 BRICKYARD ROAD, SEAFORD, DE 19973
- FLOOD ZONE CLASSIFICATION IS "X" BASED ON FEMA MAP #10005C0264L, DATED JUNE 20, 2018.
- GROSS LAND AREA: 5.061 ACRES, 220,441 SQ. FT.
- THE BUILDING SETBACK RESTRICTIONS ARE AS FOLLOWS:
GR ZONING: 427' DEPTH, FRONT 40', SIDES 10', REAR 10'
AR-1 ZONING: REMAINING, FRONT 40', SIDES 15', REAR 20' (LOT FRONTS ON WILSON AVE.)
- SEWER AND WATER UTILITIES ARE PRIVATE.
- SUBJECT PARCEL HAS DIRECT ACCESS TO BRICKYARD ROAD, A PUBLIC DEDICATED STREET MAINTAINED BY THE STATE OF DELAWARE AND WILSON AVENUE A PRIVATELY MAINTAINED STREET.
- EXISTING STRUCTURES ON PROPERTY IN DISREPAIR AND NOT CONSIDERED IMPROVEMENTS.

LEGAL DESCRIPTION

DEED BOOK 5105, PAGE 152 AUGUST 15, 2019
PARCEL ID No. 132-2.00-264

PARCEL ONE

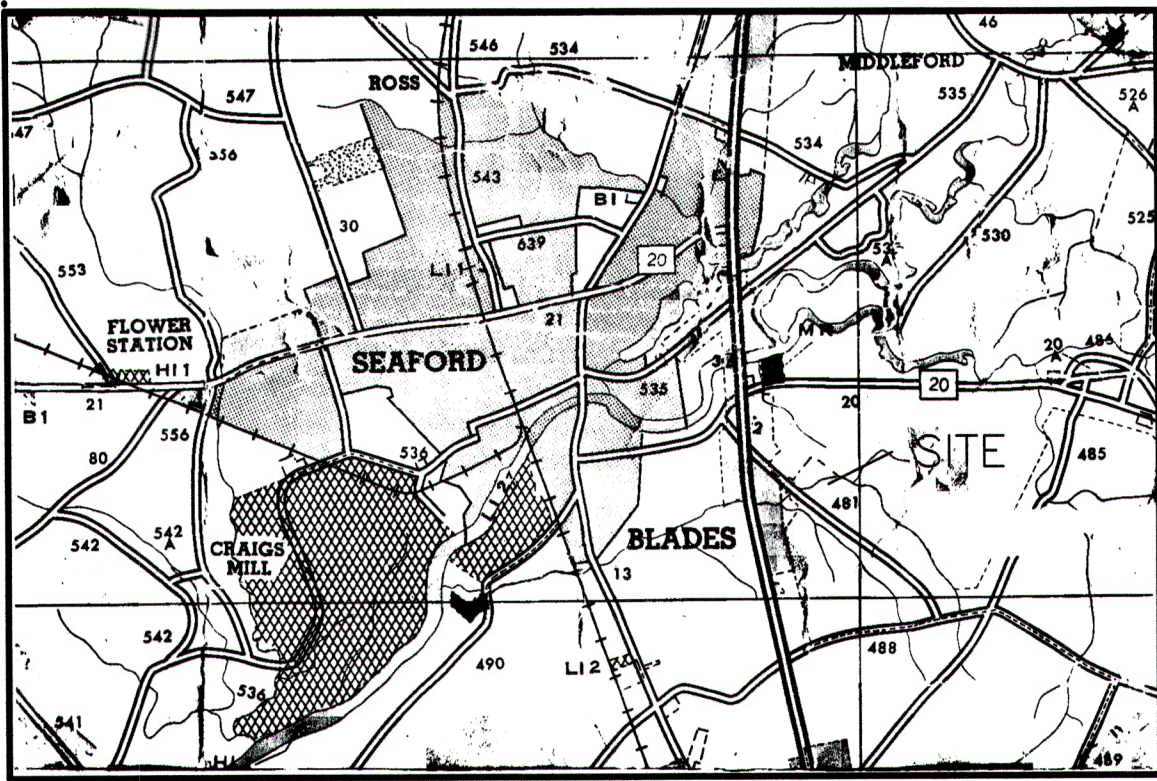
ALL that certain piece, or parcel of land, situate, lying and being in Broad Creek Hundred, Sussex County, Delaware, more particularly described as follows, to wit:
BEGINNING on the center of Brick Yard Road, State Route No. 481, a corner for this land and lands of R. E. Bowland; thence North 47 degrees East 750 feet along the Bowland line to a point which is a corner for this land and other lands now or formerly of John A. Moore, Jr. and Helen M. Moore and R. E. Bowland; thence North 43 1/2 degrees West 150 feet; thence South 47 degrees West 750 feet back to State Road 481; thence South 43 1/2 degrees East 150 feet back to the place of beginning.

PARCEL TWO

ALL that certain lot, piece, or parcel of land, situate, lying and being in Broad Creek Hundred, Sussex County, Delaware, adjoining other lands of Rufus E. Bowland, Jr. and Louise W. Bowland and more particularly described as follows, to wit:
BEGINNING on the eastern right of way line of the road leading to Route 13, a corner for this land and other lands now or formerly of Charles M. Walls and Virginia E. Walls; thence North 47 degrees East 1088 feet to Lot 67 and lands of John A. Moore, Jr.; thence South 43 1/2 degrees East along Lot 67, 50 feet; thence South 47 degrees West 1088 feet along other lands now or formerly of Rufus E. Bowland, Jr. and Louise W. Bowland to the aforementioned lot; thence North 43 1/2 degrees West 50 feet along the right of way to the place of beginning.

PARCEL THREE

ALL that certain lot, piece, or parcel of land, situate, lying and being in Broad Creek Hundred, Sussex County, Delaware, adjoining on the south other lands now or formerly of Charles M. Walls and Virginia E. Walls and adjoining on the east lands now or formerly conveyed to Charles M. Walls and Virginia E. Walls from Rufus Bowland and wife, more particularly described as follows, to wit:
BEGINNING at a point located at the northwest line of other lands now or formerly of Charles M. Walls and Virginia E. Walls; thence North 47 degrees East 338 feet to lot 69; thence South 43 1/2 degrees East 150 feet along the line of Lots 69, 68, and a portion of 67 to lands of Rufus E. Bowland and wife; thence South 47 degrees West 338 feet back to other lands now or formerly of Charles M. Walls and Virginia E. Walls; thence North 43 1/2 degrees West 150 feet back to the place of beginning.

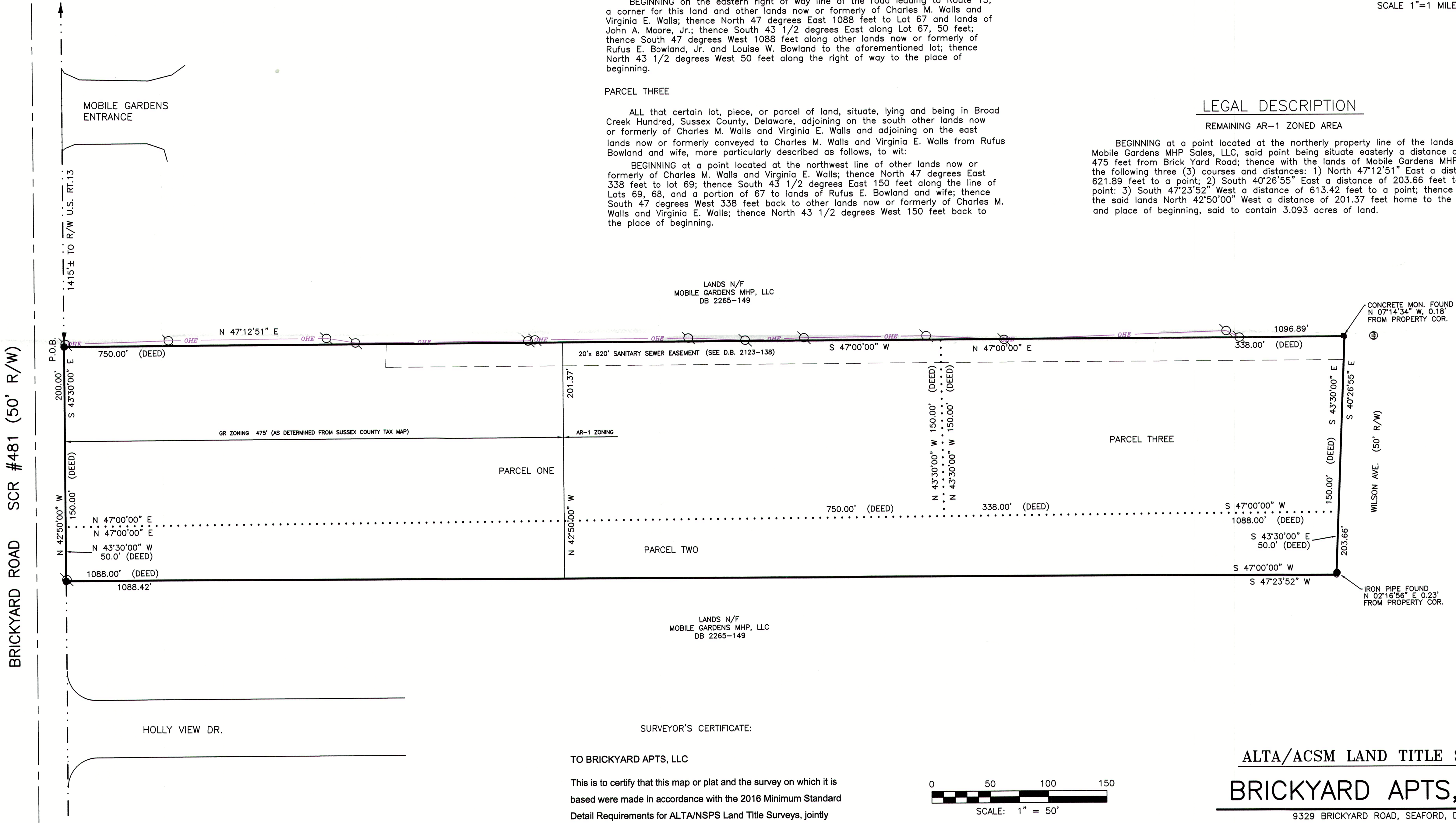


VICINITY MAP
SCALE 1"=1 MILE

LEGAL DESCRIPTION

REMAINING AR-1 ZONED AREA

BEGINNING at a point located at the northerly property line of the lands of Mobile Gardens MHP Sales, LLC, said point being situate easterly a distance of 475 feet from Brick Yard Road; thence with the lands of Mobile Gardens MHP, LLC the following three (3) courses and distances: 1) North 47°12'51" East a distance 621.89 feet to a point; 2) South 40°26'55" East a distance of 203.66 feet to a point; 3) South 47°23'52" West a distance of 613.42 feet to a point; thence through the said lands North 42°50'00" West a distance of 201.37 feet home to the point and place of beginning, said to contain 3.093 acres of land.



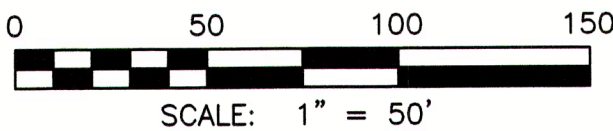
SURVEYOR'S CERTIFICATE:

TO BRICKYARD APTS, LLC

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1,2,3,4,6(a),11,12,18,19 of Table A thereof. The field work was completed on July 10, 2019.

Date of Plat or Map: July 10, 2019

Donald K. Miller
Donald K. Miller, PLS 407



ALTA/ACSM LAND TITLE SURVEY

BRICKYARD APTS, LLC

9329 BRICKYARD ROAD, SEAFORD, DE 19973

MONUMENTATION

- IRON PIPE (FOUND)
- CONCRETE MONUMENT (FOUND)
- UTILITY POLE
- POINT

| DATE | REVISION |
|------|----------|
| | |
| | |
| | |
| | |
| | |

MILLER
LEWIS, INC.
LAND SURVEYING
1560 MIDDLEFORD RD.
SEAFORD, DELAWARE 19973
PH: 302-629-9895 FAX: 302-629-2391



| | |
|-------------|----------------|
| HUNDRED | COUNTY |
| BROAD CREEK | SUSSEX |
| STATE | DRAWN BY |
| DELAWARE | D.K. MILLER |
| REF. | FILE NO. |
| DB 4579-293 | MOBILE GARDENS |

Return To/Prepared By:
Kristen L. Cavatassi, Esq.
Morgenstern DeVoesick PLLC
1080 Pittsford Victor Road
Pittsford, New York 14534

THIS DEED, made this 14th day of July, 2019,

- BETWEEN -

MOBILE GARDENS MHP SALES, LLC, a New York limited liability company having an address of 1080 Pittsford Victor Road, Suite 202, Pittsford, New York, party of the first part

- AND -

BRICKYARD APTS LLC, a Delaware limited liability company having an address of 1080 Pittsford Victor Road, Suite 202, Pittsford, New York, party of the second part

WITNESSETH: That the said party of the first part, for and in consideration of the sum of ONE DOLLAR (\$1.00) and other valuable consideration, lawful money of the United States of America, the receipt whereof is hereby acknowledged, hereby grants and conveys unto the party of the second part, and its heirs and assigns, in fee simple, the following described lands, situate, lying and being at 9329 Brickyard Road, Sussex County, State of Delaware:

PARCEL ONE

ALL THAT piece or parcel of land situate, lying and being in Broad Creek Hundred, Sussex County, Delaware, more particularly described as follows, to wit:

BEGINNING on the center line of Brick Yard Road, State Route No. 481, a corner for this land and lands of R. E. Bowland; thence North 47 degrees East 750 feet along the Bowland line to a point which is a corner for this land and other lands now or formerly of John A. Moore, Jr. and Helen M. Moore and R. E. Bowland; thence North 43 1/2 degrees West 150 feet; thence South 47 degrees West 750 feet back to State Road 481; thence South 43 1/2 degrees East 150 feet back to the place of beginning.

PARCEL TWO

ALL THAT certain lot, piece or parcel of land situate, lying and being in Broad Creek Hundred, Sussex County, Delaware, adjoining other lands now or formerly of Rufus E. Bowland, Jr. and Louise W. Bowland and more particularly described as follows, to wit:

BEGINNING on the eastern right of way line of the road leading to Route 13, a corner for this land and other lands now or formerly of Charles M. Walls and Virginia E. Walls; thence North 47 degrees East 1088 feet to Lot 67 and lands of John A. Moore, Jr.; thence South 43 1/2 degrees East along Lot 67, 50 feet; thence South 47 degrees West 1088 feet along other lands now or formerly of Rufus E. Bowland, Jr. and Louise W. Bowland to the aforementioned lot; thence North 43 1/2 degrees West 50 feet along the right of way line of said road back to the place of beginning.

PARCEL THREE

ALL THAT certain lot, piece or parcel of land situate, lying and being in Broad Creek Hundred, Sussex County, Delaware, adjoining on the south other lands now or formerly of Charles M. Walls and Virginia E. Walls and adjoining on the east lands now or formerly conveyed to Charles M. Walls and Virginia E. Walls from Rufus Bowland and wife, more particularly described as follows, to wit:

BEGINNING at a point located at the northwest line of other lands now or formerly of Charles M. Walls and Virginia E. Walls; thence North 47 degrees East 338 feet to Lot 69; thence South 43 1/2 degrees East 150 feet along the line of Lots 69, 68, and a portion of 67 to lands of Rufus E. Bowland and wife; thence South 47 degrees West 338 feet back to other lands now or formerly of Charles M. Walls and Virginia E. Walls; thence North 43 1/2 degrees West 150 feet back to the place of beginning.

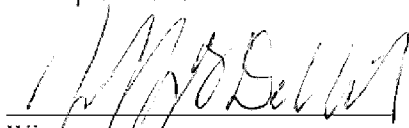
Parcels 1, 2, AND 3 - Being and intending to describe the same premises conveyed to party of the first part by deed dated July 21, 2016 and recorded in the Sussex County Clerk's Office on August 9, 2016 in Book 4579 at Page 293.


SUBJECT to any and all restrictions, reservations, conditions, easements and agreements of record in the Office of the Recorder of Deeds in and for Sussex County, Delaware.

In WITNESS WHEREOF, the party of the first part has hereunto set her hand and seal the day and year first above written.

Signed, Sealed and Delivered
in the presence of:

BRICKYARD APTS LLC


Witness
Name: Jeffrey F. DeVoerick

By: 
Name: Kenneth C. Burnham
Its: Member

STATE OF New York, COUNTY OF Monroe: to-wit:

BE IT REMEMBERED, that on July 17, 2019, personally came before me the subscriber Kenneth Burnham, party of the first part to this Indenture known to me personally to be such, and acknowledged this Indenture to be her act and deed.

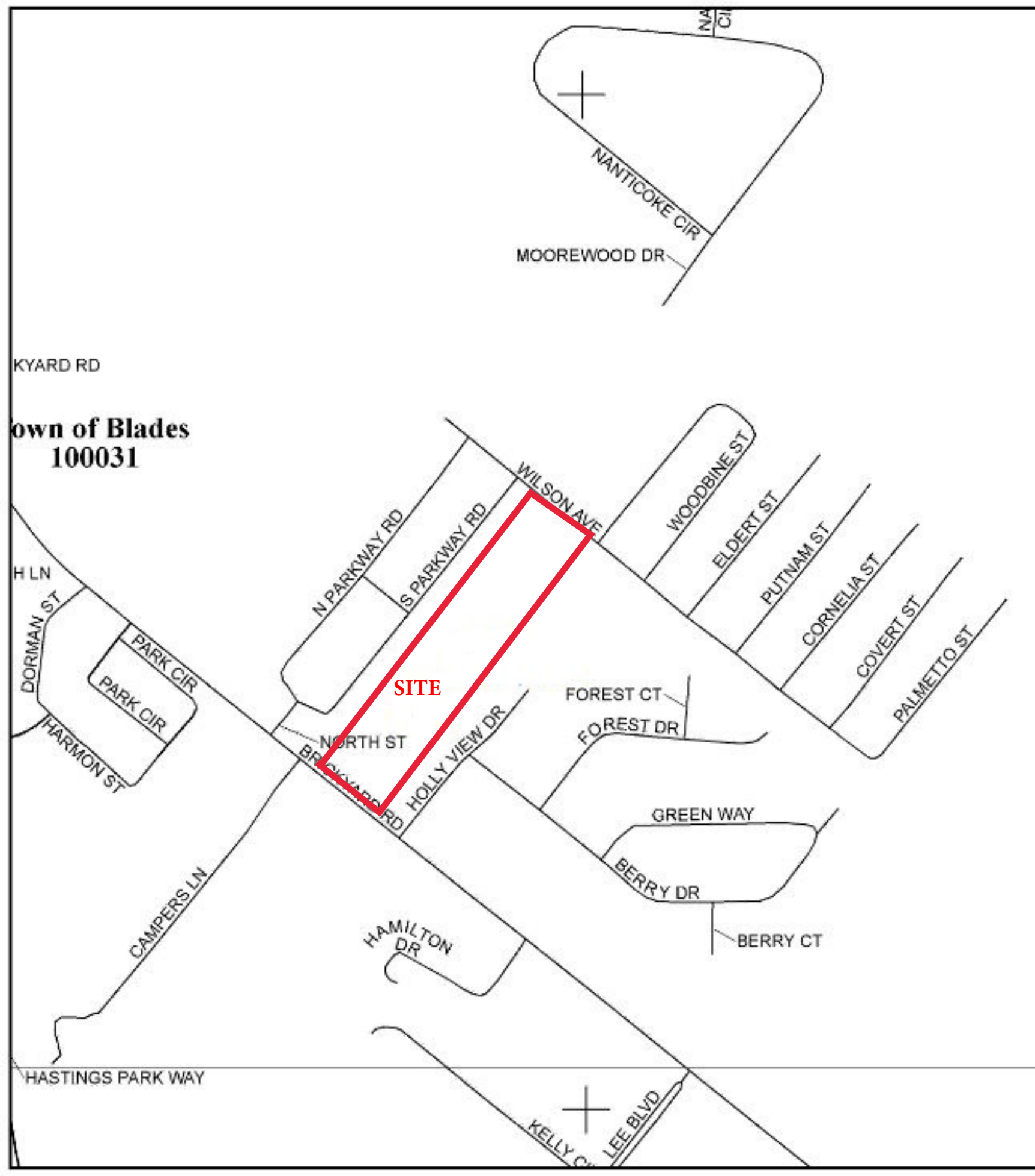
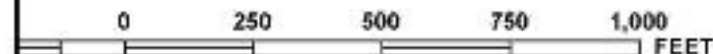
GIVEN under my Hand and Seal of Office the day and year aforesaid/


Notary Public
My Commission Expires: 7/29/21

KRISTEN L. CAVATASSI
NOTARY PUBLIC, State of New York
Reg. # 02CA6286766
Registered in Ontario County
Commission Expires July 29, 2021



MAP SCALE 1" = 500'



NFIP

PANEL 0264L

FIRM

FLOOD INSURANCE RATE MAP
SUSSEX COUNTY,
DELAWARE
AND INCORPORATED AREAS

PANEL 264 OF 660

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

| COMMUNITY | NUMBER | PANEL | SUFFIX |
|------------------|--------|-------|--------|
| BLADES, TOWN OF | 10005 | 0264 | L |
| SEAFORD, CITY OF | 100046 | 0264 | L |
| SUSSEX COUNTY | 100028 | 0264 | L |

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



MAP NUMBER
10005C0264L

MAP REVISED
JUNE 20, 2018

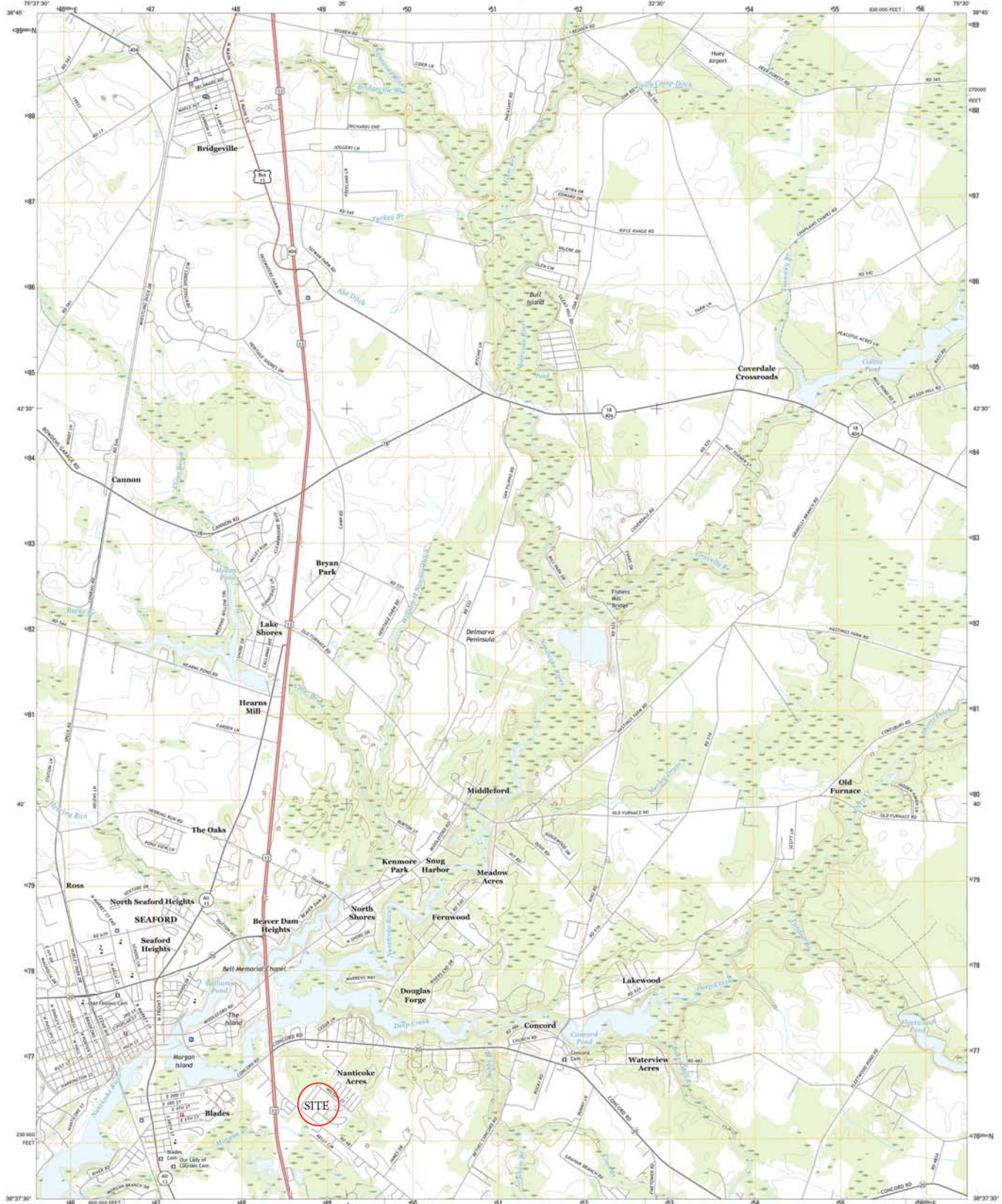
Federal Emergency Management Agency



U.S. DEPARTMENT OF THE INTERIOR
U.S. GEOLOGICAL SURVEY



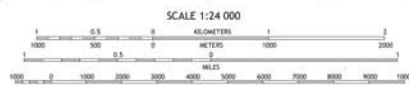
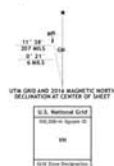
SEAFORD EAST QUADRANGLE
DELAWARE-SUSSEX CO.
7.5-MINUTE SERIES



Produced by the United States Geological Survey
North American Datum of 1983 (NAD83)
World Geodetic System of 1984 (WGS84). Projection and
1:500,000 scale Universal Transverse Mercator, Zone 18S
10 000-foot UTM (Universal Transverse Mercator) System of 1983

This map is not a legal document. Boundaries may be
generalized for this map scale. Private lands within government
reservations may not be shown. Obtain permission before
entering private lands.

Image: NAD83, September 2015
Roads: U.S. Census Bureau, 2015
Hydrography: National Hydrography Dataset, 2015
Contours: National Elevation Dataset, 2015
Boundaries: Multiple sources; see metadata file 1972-2014
Wetlands: FWS National Wetlands Inventory 1977-2014



SCALE 1:24 000
CONTOUR INTERVAL 5 FEET
NORTH AMERICAN VERTICAL DATUM OF 1988
This map was produced to conform with the
National Geospatial Program US Topo Product Standards, 2015.
A metadata file associated with this product is available at www.usgs.gov



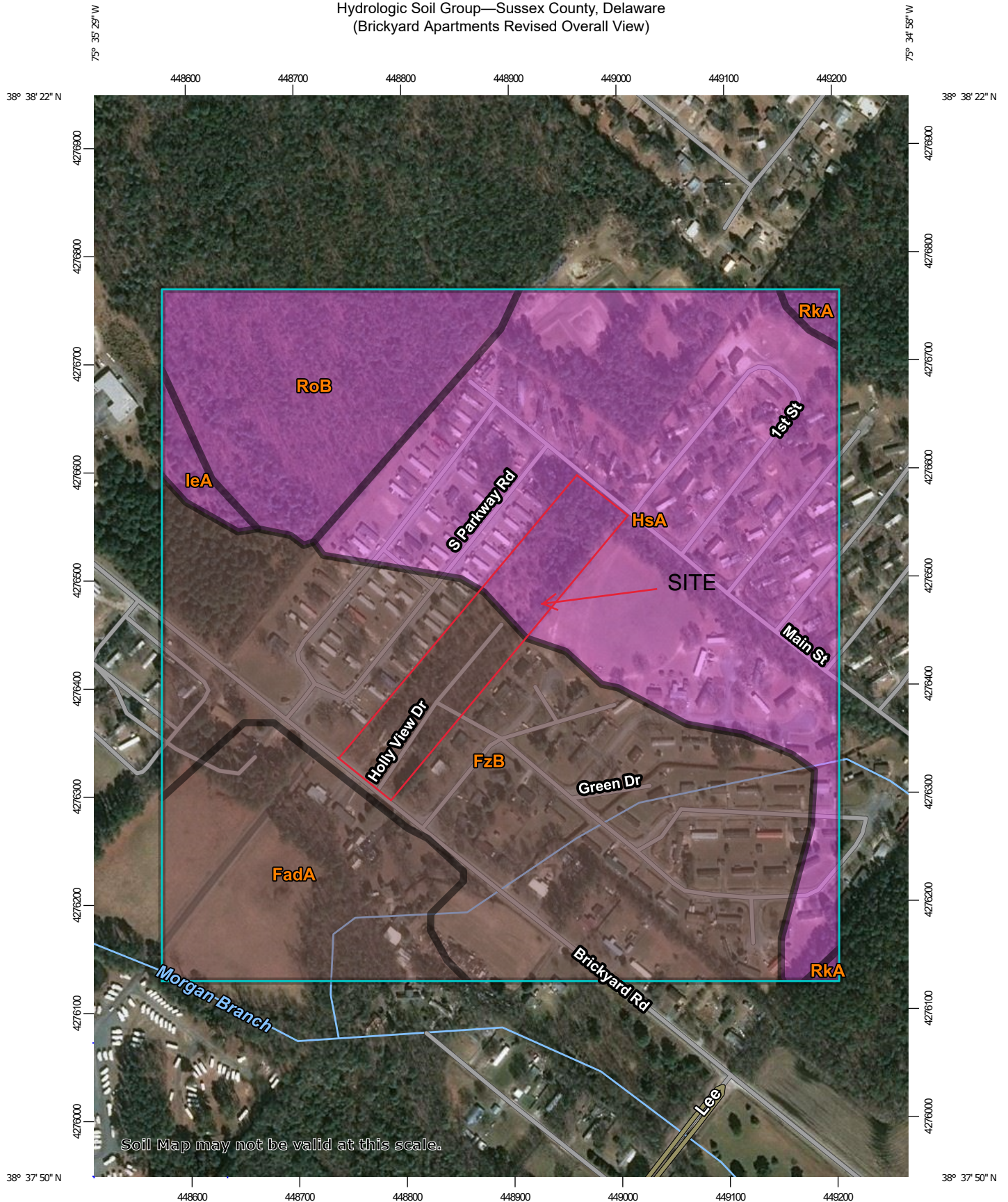
ROAD CLASSIFICATION
Expressway
Secondary
Ramp
Interstate Route
US Route
State Route
Local Road
dms
US Route
State Route

| | | | | | | | |
|-----------|-------------|----------|----------------|--------------|----------------|----------|--------------|
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 |
| 1 Hickman | 2 Greenwood | 3 Dismal | 4 Seaford West | 5 Georgetown | 6 Seaford East | 7 Laurel | 8 True Point |

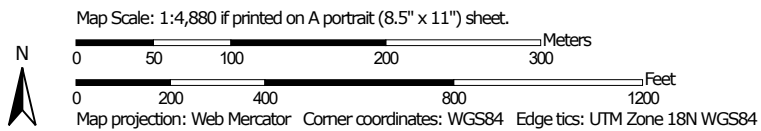
SEAFORD EAST, DE
2016



Hydrologic Soil Group—Sussex County, Delaware
(Brickyard Apartments Revised Overall View)



Soil Map may not be valid at this scale.



Natural Resources
Conservation Service

Web Soil Survey
National Cooperative Soil Survey

5/28/2019
Page 1 of 4

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

Soil Rating Polygons

 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Lines

 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Points

 A
 A/D
 B
 B/D

 C
 C/D
 D
 Not rated or not available

Water Features

 Streams and Canals

Transportation

 Rails
 Interstate Highways
 US Routes
 Major Roads
 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Sussex County, Delaware
 Survey Area Data: Version 19, Sep 14, 2018

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Nov 21, 2018—Mar 12, 2019

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

| Map unit symbol | Map unit name | Rating | Acres in AOI | Percent of AOI |
|------------------------------------|---|--------|--------------|----------------|
| FadA | Fallsington sandy loams, 0 to 2 percent slopes, Northern Tidewater Area | B/D | 12.6 | 12.6% |
| FzB | Fallsington-Urban land complex, 0 to 5 percent slopes | B/D | 36.7 | 36.7% |
| HsA | Henlopen-Rosedale-Urban land complex, 0 to 2 percent slopes | A | 36.7 | 36.7% |
| IeA | Ingleside loamy sand, 0 to 2 percent slopes | A | 1.0 | 1.0% |
| RkA | Rockawalkin loamy sand, 0 to 2 percent slopes | A | 0.6 | 0.6% |
| RoB | Rosedale loamy sand, 2 to 5 percent slopes | A | 12.4 | 12.4% |
| Totals for Area of Interest | | | 99.9 | 100.0% |

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

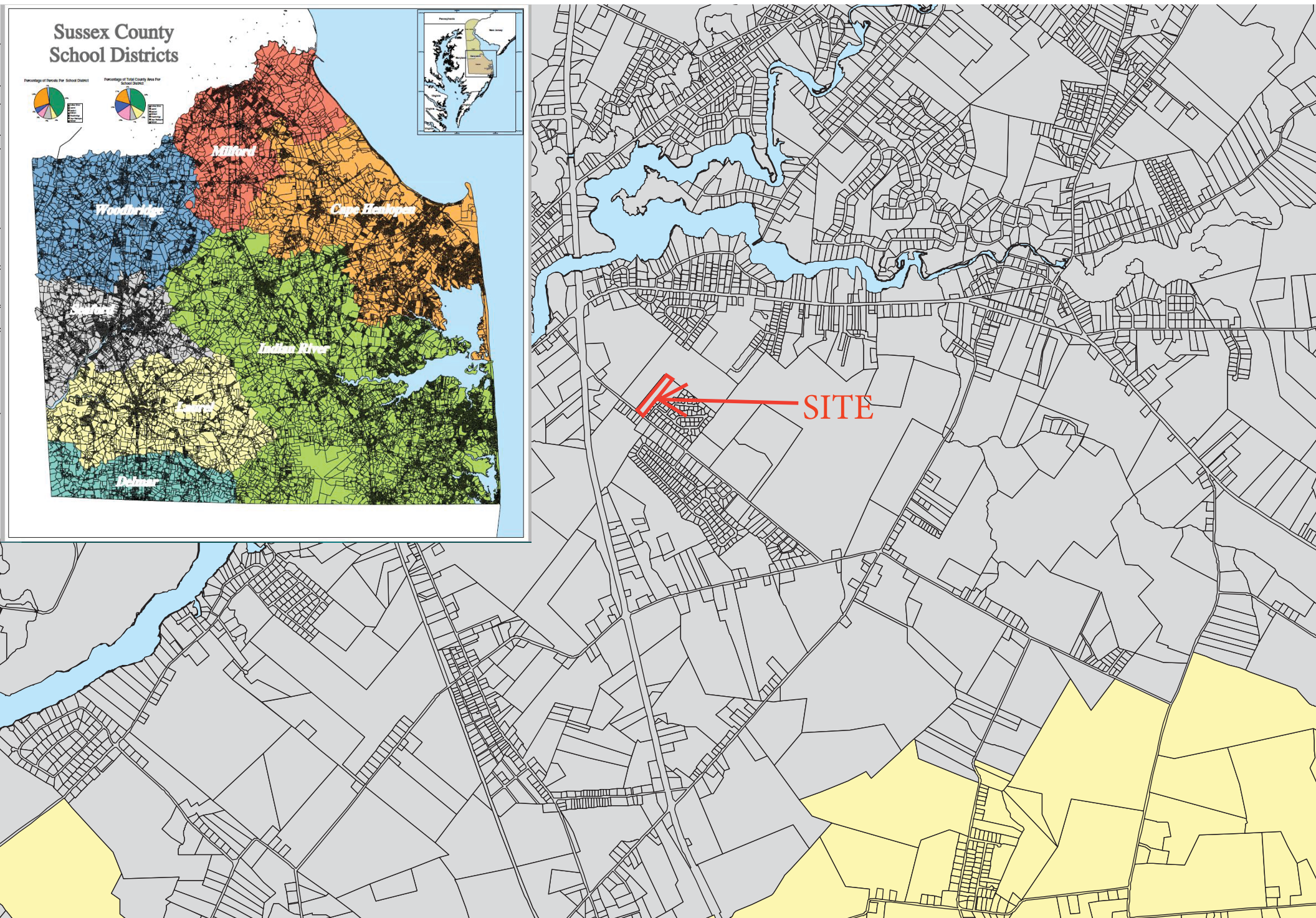
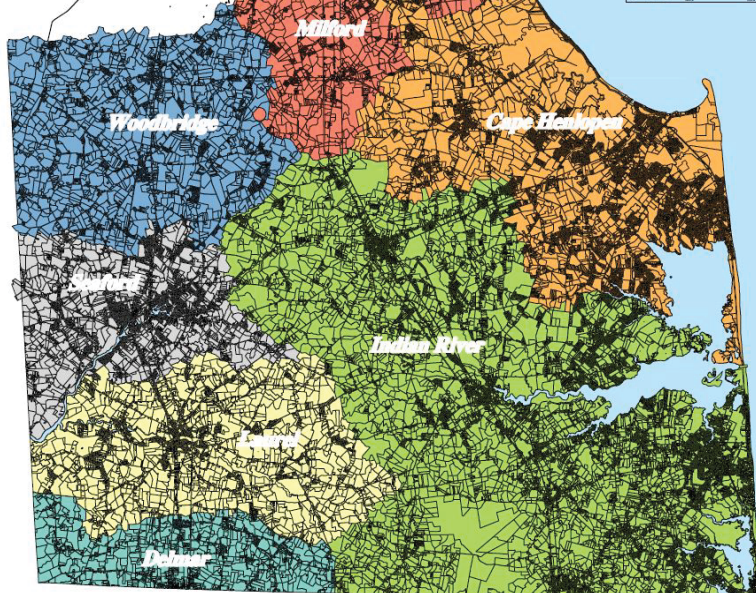
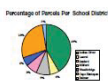
Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

Sussex County School Districts



Seaford School District Map

TRAFFIC AND SITE CIRCULATION



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

January 13, 2020

Ms. Janelle Cornwell, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

SUBJECT: Letter of No Objection to Recordation
Mobile Gardens Apartments
Tax Parcel # 132-2.00-264.00
SCR481-BRICKYARD ROAD
Broad Creek Hundred, Sussex County

Dear Ms. Cornwell:

The Department of Transportation has reviewed the Site Plan, dated March 2019 (last revised January 2020), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawings. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Site Plan is not recorded prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. Entrance plans shall be developed in accordance with DelDOT's [Development Coordination Manual](#) and submitted to the Development Coordination Section for review and approval.

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel

Mobile Gardens Apartments
Ms. Janelle Cornwell
Page 2
January 13, 2020

that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

If I can be of any further assistance, please call me at (302) 760-2266.

Very truly yours,



Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

cc: Billy Betts, KDM Development
Judy Schwartz, George, Miles & Buhr, LLC
William Kirsch, South District Entrance Permit Supervisor
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Gemez W. Norwood, South District Public Work Manager
Jennifer Pinkerton, Chief Materials & Research Engineer
Peter Haag, Chief of Traffic Engineering
Linda Osiecki, Consistency Control Engineer
John Fiori, Bicycle Coordinator
Maria Andaya, Pedestrian Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Joseph Ellis, Contech Manager
Jared Kaufman, DTC Planner
James Kelley, JMT
Todd Sammons, Subdivision Engineer
John Andrescavage, Sussex County Reviewer



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. Box 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

February 11, 2020

Ms. Judy Schwartz
George, Miles & Buhr, LLC
400 High St.
Seaford, Delaware 19973

SUBJECT: Entrance Plan Approval Letter
Mobile Gardens Apartments
Tax Parcel #132-2.00-264.00
SCR481-BRICKYARD ROAD
Broad Creek Hundred, Sussex County

Dear Ms. Schwartz:

The Department of Transportation has reviewed the Commercial Entrance Plans dated March 2019 (last revised February 2020) for the referenced project and determined that they are in general conformance with the Department's current regulations, specifications and standard details. By signing and sealing the plan set, the developer's engineer is responsible for accuracy of content. Any errors, omissions or required field changes will be the responsibility of the developer. This plan approval shall be valid a period of **three (3) years**. If an entrance permit has not been obtained within three years, then the plans must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. The following items will be required prior to the permit being issued. A pre-construction meeting may be required as determined by the South District Public Works office.

1. A copy of the recorded Site Plan which is consistent with the DeIDOT "No Objection to Recordation" stamped plan and all appropriate signatures, seals, plot book and page number.
2. Three (3) copies of the approved entrance plans.
3. Completed permit application.
4. Executed agreements (i.e. construction, signal, letter).
5. An itemized construction cost estimate.
6. A 150% security based upon an approved itemized construction cost estimate and W-9 form (if providing escrow).
7. A letter of source of materials, work schedule, list of subcontractors, emergency telephone numbers and names of contact persons.

Mobile Gardens Apartments
Ms. Schwartz
Page 2
February 11, 2020

Please contact the South District Public Works office (302) 853-1340 concerning any questions you may have relative to the aforementioned required items.

Sincerely,



Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

cc: Billy Betts, KDM Development
Jamie Whitehouse, Sussex County Planning & Zoning Commission
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Gemez Norwood, South District Public Work Manager
James Argo, South District Project Reviewer
William Kirsch, South District Entrance Permit Supervisor
Jerry Nagyiski, Safety Officer Supervisor
Chris Sylvester, Pedestrian Coordinator
Jennifer Pinkerton, Chief Materials & Research Engineer
Linda Osiecki, Consistency Control Engineer
John Fiori, Bicycle Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kaufman, DTC Planner
James Kelley, JMT
Todd Sammons, Subdivision Engineer
John Andrescavage, Sussex County Reviewer

UTILITY PROVIDERS

■ ■ ■ ■

ARCHITECTS
ENGINEERS

400 HIGH STREET
SEAFORD, DE 19973
PH: 302.628.1421
FAX: 302.628.8350

SALISBURY
BALTIMORE
SEAFORD

www.gmbnet.com

■ ■ ■ ■

Mobile Gardens Public Water System Water Calculations

Brickyard Apartments will be served by an extension of the central water system in the adjacent Mobile Gardens Mobile Home Park (MHP). The Mobile Gardens MHP water system is fed by a 6-inch well, 369 feet deep, pumping at 150 gpm. The well water is chlorinated to provide disinfection. A new well is proposed as part of the Brickyard Apts project, along with a ground level storage tank and fire pump. The existing well will remain as a backup.

Design Data:

No. of Existing Homes – 208 lots x 90% occupancy=187 (includes Mobile Gardens only)

Proposed Apartment Units – 48

Total No. of Units – 187 + 48 = 235 occupied units

Proposed Water Demand – 235 x 200 gpd/unit = 47,000 gpd = 33 gpm

Peak Water Demand = 198 gpm [Per Uniform Plumbing Code]

Fire Flow Requirement – 500 gpm for 1 hour [Per DE State Fire Marshal]

Proposed Well – 225 gpm

Proposed Storage Tank – 34,000 gallons

Storage Tank Fill Time – 2.6 hrs

■■■■
**ARCHITECTS
ENGINEERS**

400 HIGH STREET
SEAFORD, DE 19973
PH: 302.628.1421
FAX: 302.628.8350

SALISBURY
BALTIMORE
SEAFORD

www.gmbnet.com
■■■■

Mobile Gardens Public Water System Sewer Capability Calculations

Brickyard Apartments will be served by central sewer discharging to the adjacent Mobile Gardens Mobile Home Park (MHP). Mobile Gardens MHP operates a 60,000 gallons per day (GPD) Purestream Biologically Engineered Single Sludge Treatment (BESST) Plant in conjunction with Rapid Infiltration Beds (RIB's) to provide for wastewater treatment and disposal. The WWTF currently receives domestic wastewater via gravity sewer from the Mobile Gardens MHP and the Holly View MHP. The wastewater treatment process includes a bar screen, pre-equalization chamber, anoxic zone, aeration zone, clarifier, UV disinfection, and sand filtration. The WWTF discharges treated wastewater to an unnamed tributary of the Nanticoke River under NPDES Permit No. DE0050725 (State Number WPCC 3014G/77) via one (1) outfall. Waste sludge is stored in an on-site tank and hauled to the Seaford WWTP for disposal.

The Mobile Gardens WWTF is designated as a minor facility. Mobile Gardens MHP has filed application for reissuance of NPDES Permit No. DE0050725 (State Number WPCC 3014G/77). This permit is expired and administratively continued (i.e., still enforceable). The new permit is scheduled to be reissued in September 2019.

Design Data:

Existing WWTF Capacity – 60,000 gpd

Current Treated Flow – 40,000 gpd max day

No. of existing homes – 280 lots x 90% occupancy=252 (include Mobile Gardens and Hollyview)

Unit Flowrate – $40,000 / 252 = 159$ gpd/unit [Round to 160]

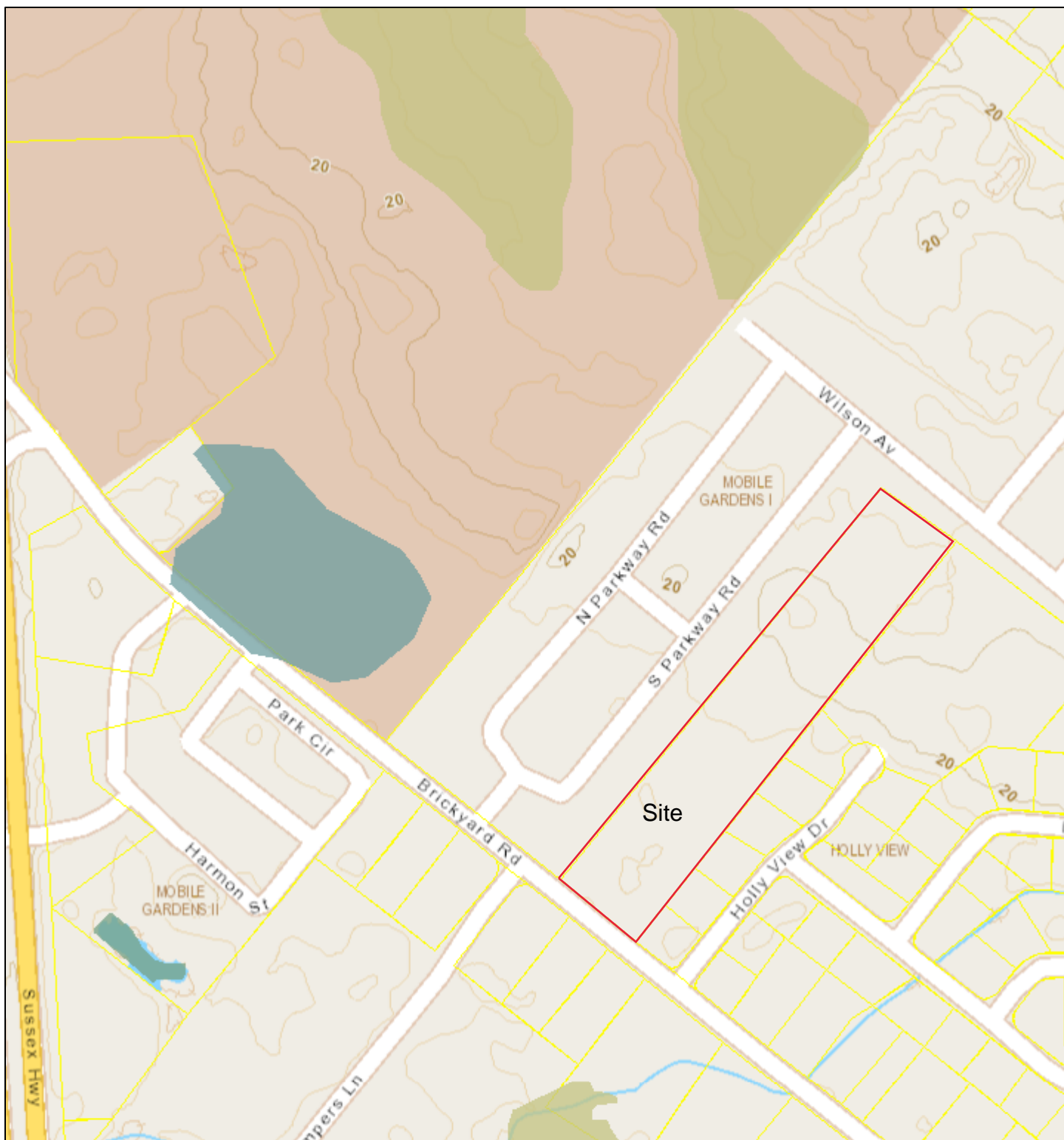
Proposed Additional Flow – $48 \text{ units} \times 160 \text{ gpd} = 7,680 \text{ gpd}$

Proposed WWTF Flow – $40,000 + 7,680 = 47,680 \text{ gpd}$

Proposed Connection Point – Intersection of South St and Wilson Ave, within Mobile Gardens





WETLANDS

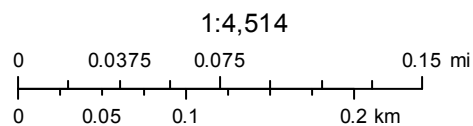
Wetlands



12/6/2018 9:16:34 AM

State Wetlands Mapping Project

-  Palustrine Forested Deciduous
-  Palustrine Forested Evergreen
-  Palustrine Open Water/ Flats
-  Parcels



FirstMap 2017

THREATENED AND ENDANGERED SPECIES



United States Department of the Interior



FISH AND WILDLIFE SERVICE
Chesapeake Bay Ecological Services Field Office
177 Admiral Cochrane Drive
Annapolis, MD 21401-7307
Phone: (410) 573-4599 Fax: (410) 266-9127

<http://www.fws.gov/chesapeakebay/>
<http://www.fws.gov/chesapeakebay/endsppweb/ProjectReview/Index.html>

In Reply Refer To:

July 16, 2019

Consultation Code: 05E2CB00-2019-SLI-1754

Event Code: 05E2CB00-2019-E-04385

Project Name: Brickyard Apartments

Subject: List of threatened and endangered species that may occur in your proposed project location, and/or may be affected by your proposed project

To Whom It May Concern:

The enclosed species list identifies threatened, endangered, proposed and candidate species, as well as proposed and final designated critical habitat, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. This species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (Act) of 1973, as amended (16 U.S.C. 1531 *et seq.*).

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat. Please note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the Act, the accuracy of this species list should be verified after 90 days. This verification can be completed formally or informally as desired. The Service recommends that verification be completed by visiting the ECOS-IPaC website at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested through the ECOS-IPaC system by completing the same process used to receive the enclosed list.

The purpose of the Act is to provide a means whereby threatened and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 CFR 402 *et seq.*), Federal agencies are required to utilize their authorities to carry out programs for the conservation of threatened and endangered species and to determine whether projects may affect threatened and endangered species and/or designated critical habitat.

A Biological Assessment is required for construction projects (or other undertakings having similar physical impacts) that are major Federal actions significantly affecting the quality of the human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2)(c)). For projects other than major construction activities, the Service suggests that a biological evaluation similar to a Biological Assessment be prepared to determine whether the project may affect listed or proposed species and/or designated or proposed critical habitat. Recommended contents of a Biological Assessment are described at 50 CFR 402.12.

If a Federal agency determines, based on the Biological Assessment or biological evaluation, that listed species and/or designated critical habitat may be affected by the proposed project, the agency is required to consult with the Service pursuant to 50 CFR 402. In addition, the Service recommends that candidate species, proposed species and proposed critical habitat be addressed within the consultation. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the "Endangered Species Consultation Handbook" at:

<http://www.fws.gov/endangered/esa-library/pdf/TOC-GLOS.PDF>

Please be aware that bald and golden eagles are protected under the Bald and Golden Eagle Protection Act (16 U.S.C. 668 *et seq.*), and projects affecting these species may require development of an eagle conservation plan (http://www.fws.gov/windenergy/eagle_guidance.html). Additionally, wind energy projects should follow the wind energy guidelines (<http://www.fws.gov/windenergy/>) for minimizing impacts to migratory birds and bats.

Guidance for minimizing impacts to migratory birds for projects including communications towers (e.g., cellular, digital television, radio, and emergency broadcast) can be found at: <http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/towers.htm>; <http://www.towerkill.com>; and <http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/comtow.html>.

We appreciate your concern for threatened and endangered species. The Service encourages Federal agencies to include conservation of threatened and endangered species into their project planning to further the purposes of the Act. Please include the Consultation Tracking Number in the header of this letter with any request for consultation or correspondence about your project that you submit to our office.

Attachment(s):

- Official Species List
 - USFWS National Wildlife Refuges and Fish Hatcheries
 - Wetlands
-

Official Species List

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

Chesapeake Bay Ecological Services Field Office

177 Admiral Cochrane Drive

Annapolis, MD 21401-7307

(410) 573-4599

Project Summary

Consultation Code: 05E2CB00-2019-SLI-1754

Event Code: 05E2CB00-2019-E-04385

Project Name: Brickyard Apartments

Project Type: DEVELOPMENT

Project Description: Multi-Family Apartments with Re-zoned GR Zone

Project Location:

Approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/place/38.635067637481015N75.58743878853006W>



Counties: Sussex, DE

Endangered Species Act Species

There is a total of 0 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries¹, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

-
1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

Critical habitats

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

USFWS National Wildlife Refuge Lands And Fish Hatcheries

Any activity proposed on lands managed by the [National Wildlife Refuge](#) system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

THERE ARE NO REFUGE LANDS OR FISH HATCHERIES WITHIN YOUR PROJECT AREA.

Wetlands

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

Please note that the NWI data being shown may be out of date. We are currently working to update our NWI data set. We recommend you verify these results with a site visit to determine the actual extent of wetlands on site.

THERE ARE NO WETLANDS WITHIN YOUR PROJECT AREA.

SUSSEX COUNTY COMPREHENSIVE MAPS

Figure 4.2-1 Existing Land Use

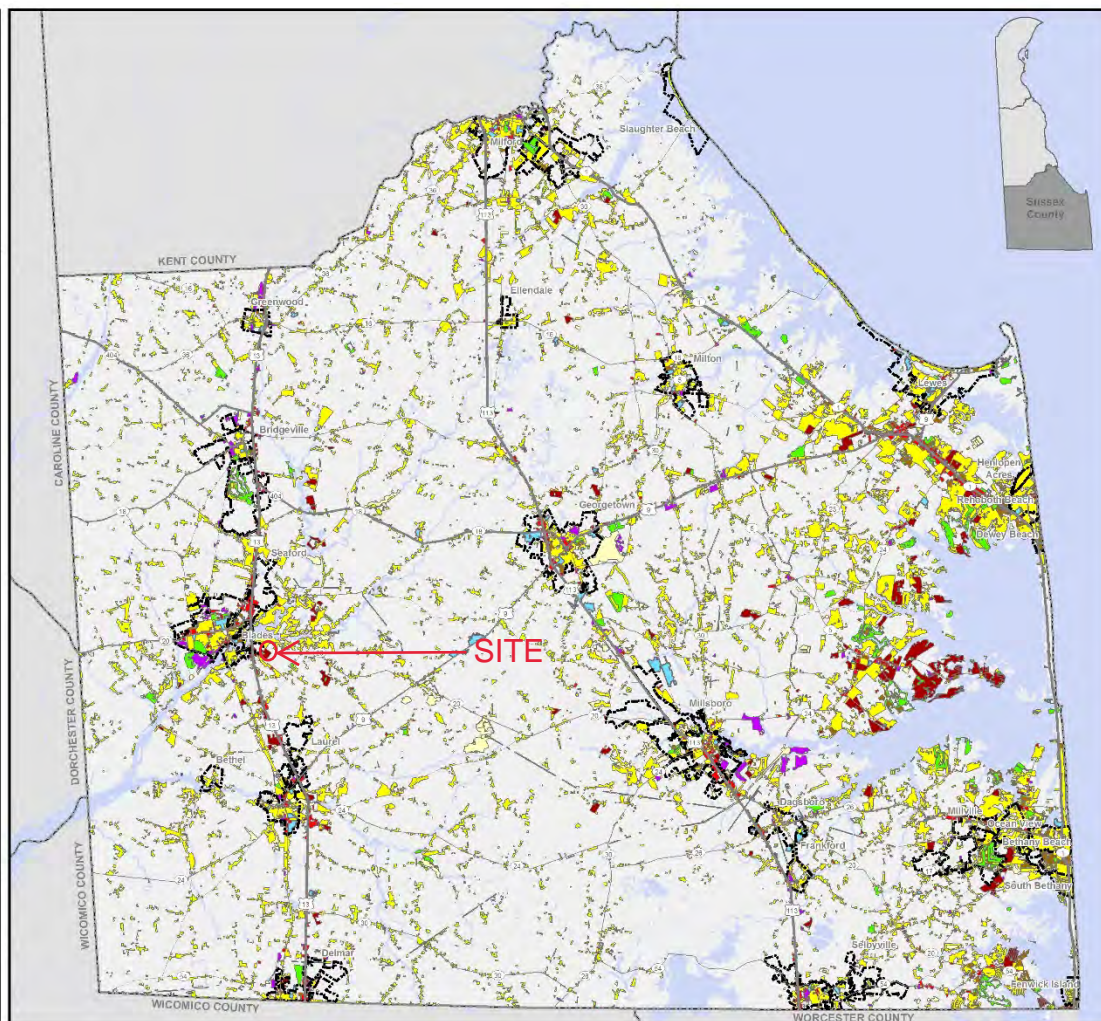


Figure 4.5-1 Sussex County 2045 Future Land Use

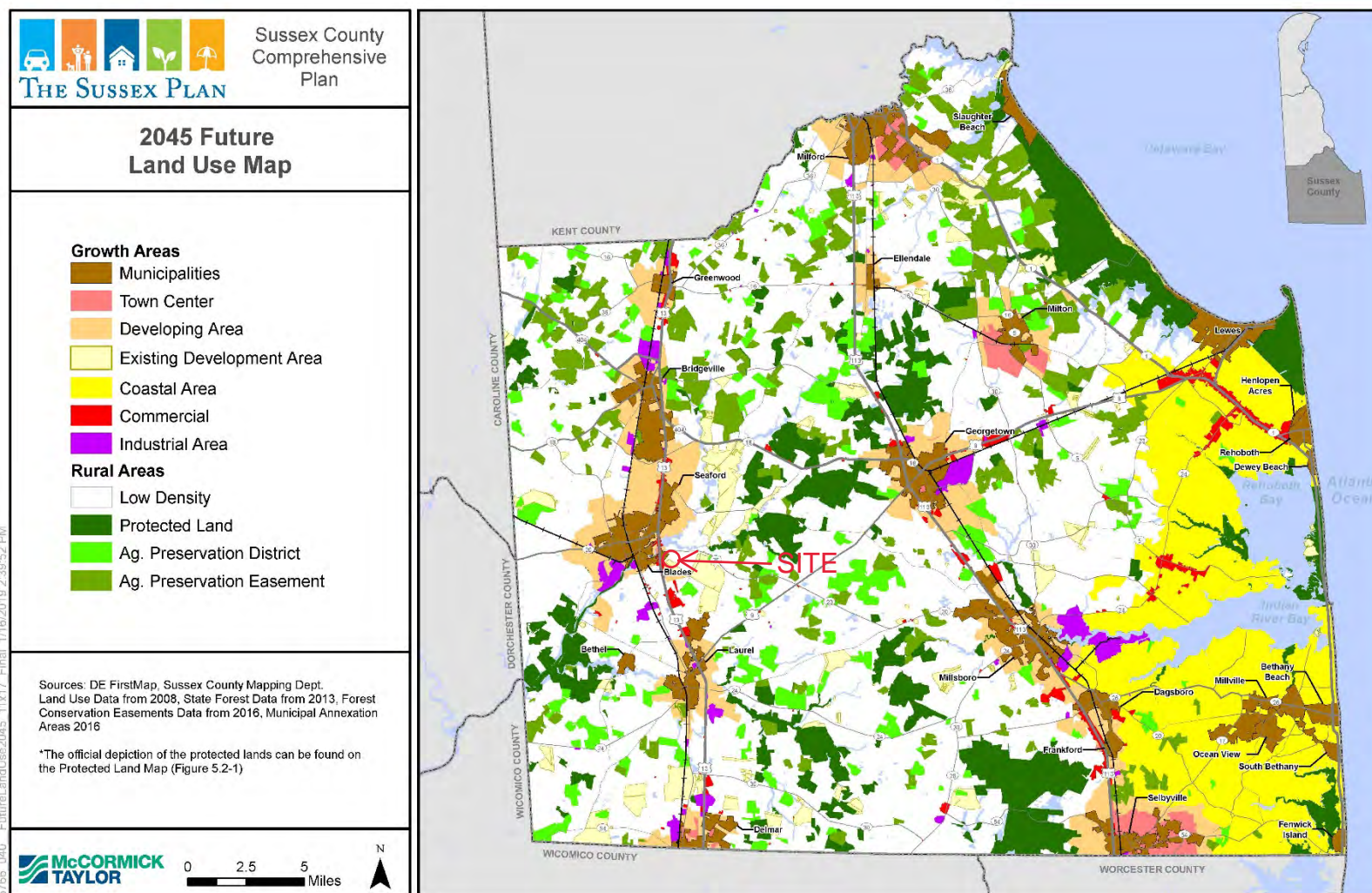


Figure 4.4-1 Strategies for State Policies and Spending

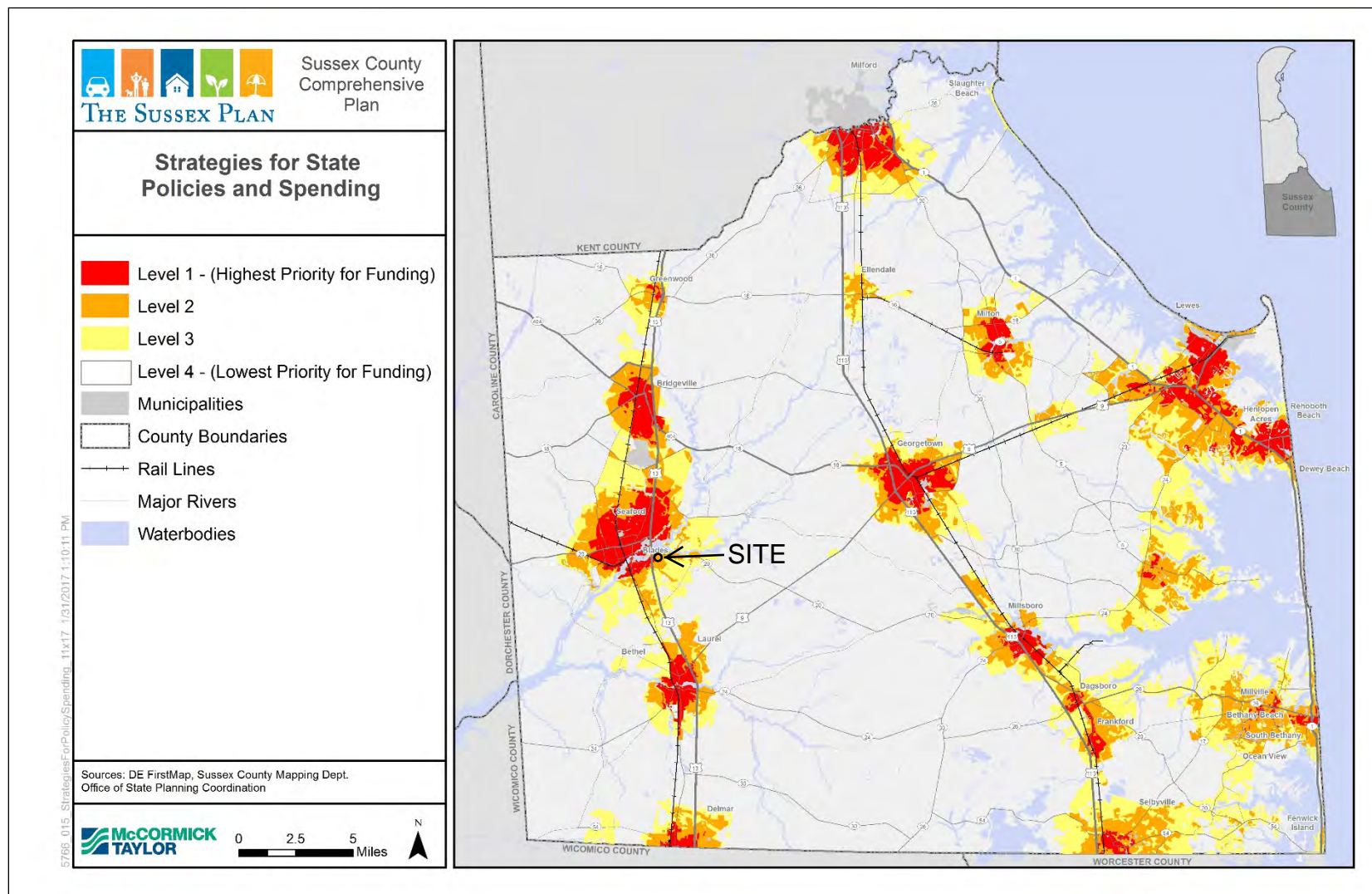
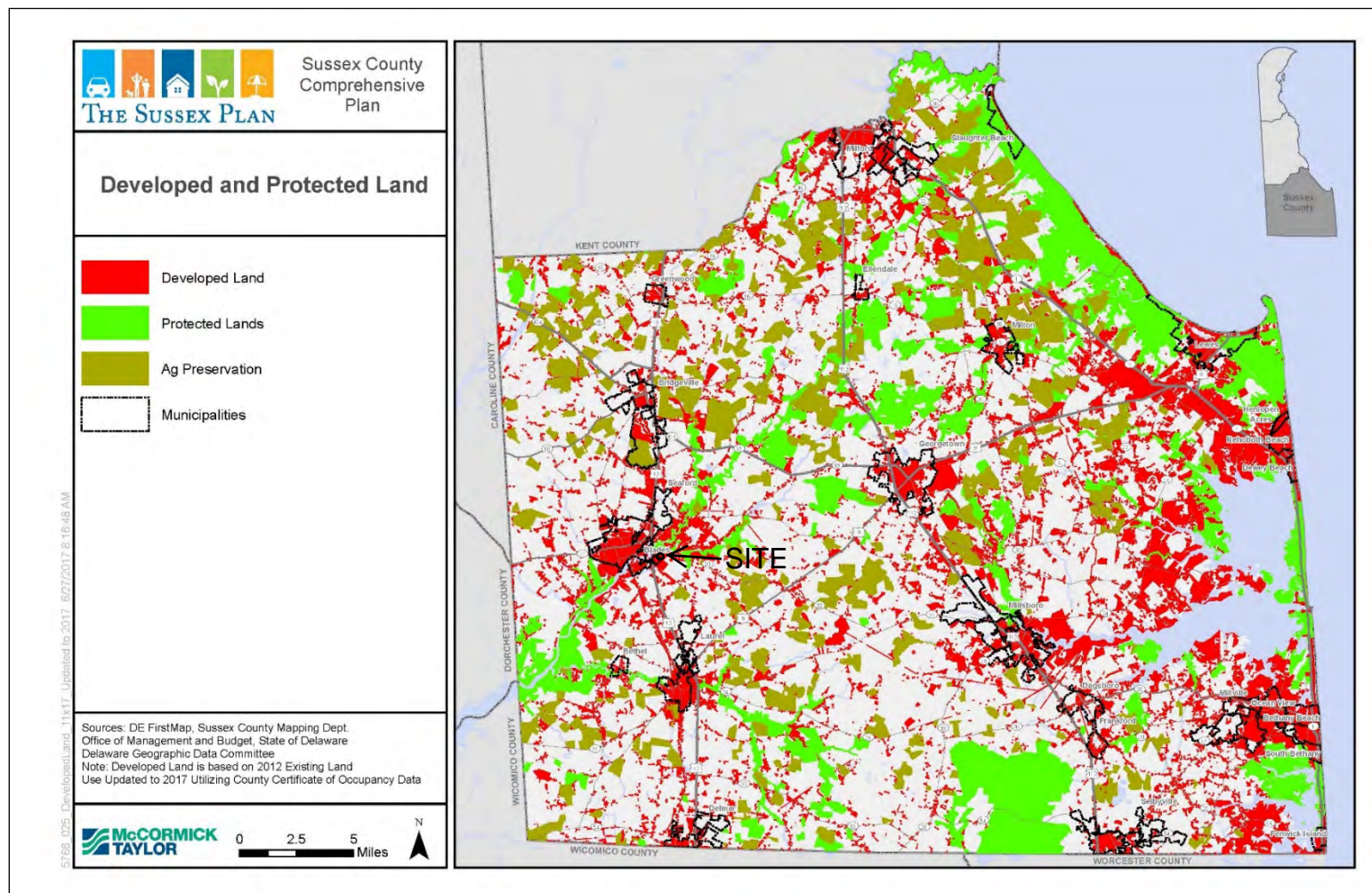


Figure 4.2-2 Developed and Protected Land *



* Parcels enrolled in the State's Agricultural Lands Preservation Program change frequently and that the Delaware Department of Agriculture can be contacted for latest update.

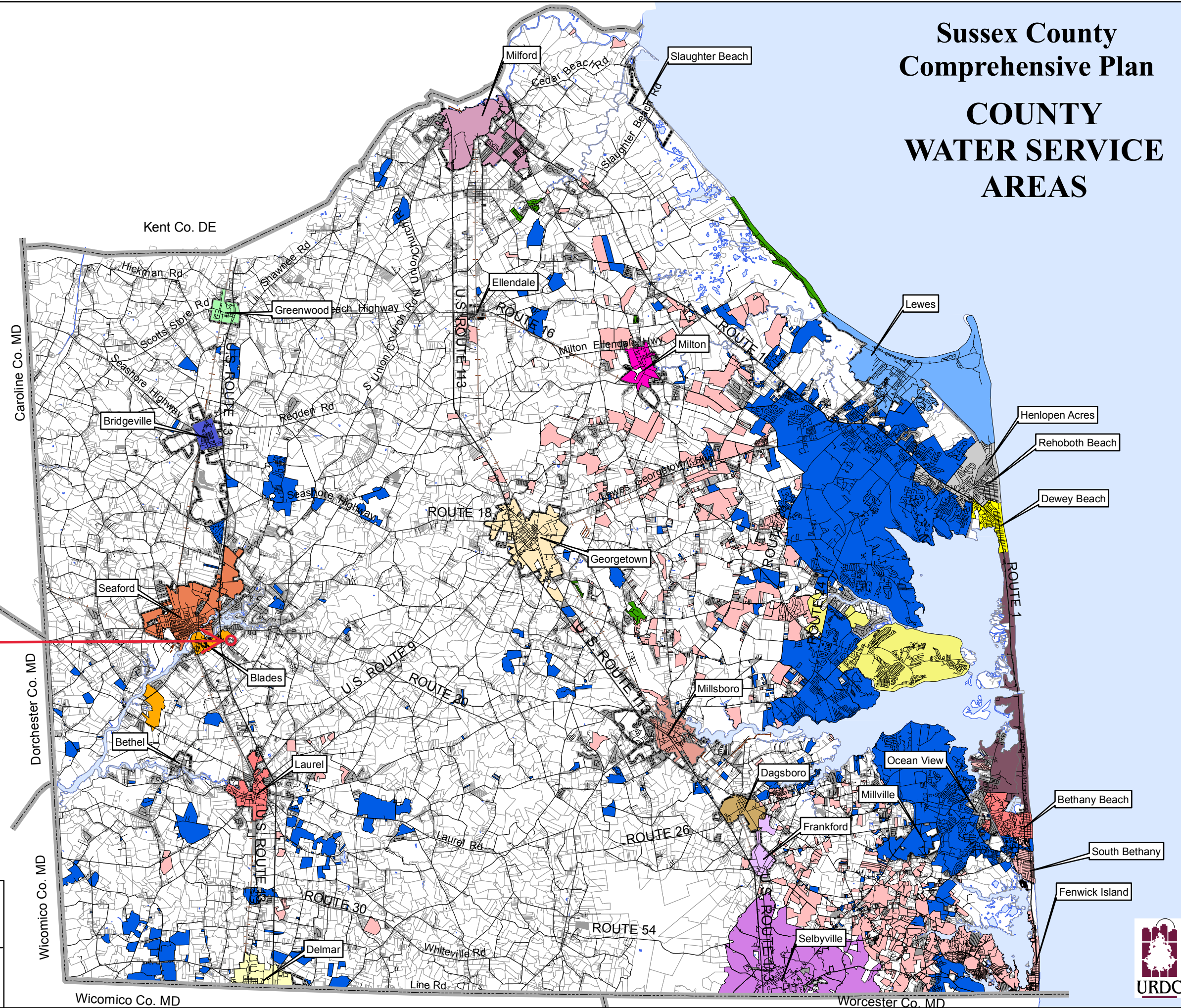
Sussex County Comprehensive Plan

COUNTY WATER SERVICE AREAS

Water Providers

- Unknown
- Artesian Water Company
- Bethany Beach
- Blades
- Bridgeville
- Dagsboro
- Delmar
- Frankford
- Georgetown
- Greenwood
- J.H. Wilkerson & Son
- Laurel
- Lewes
- Long Neck Water Co.
- Milford
- Millsboro
- Milton
- Rehoboth
- Seaford
- Selbyville
- Sussex County Council
- Sussex Shores Water Co.
- Tidewater Utilities

SITE



0 9,000 18,000 36,000

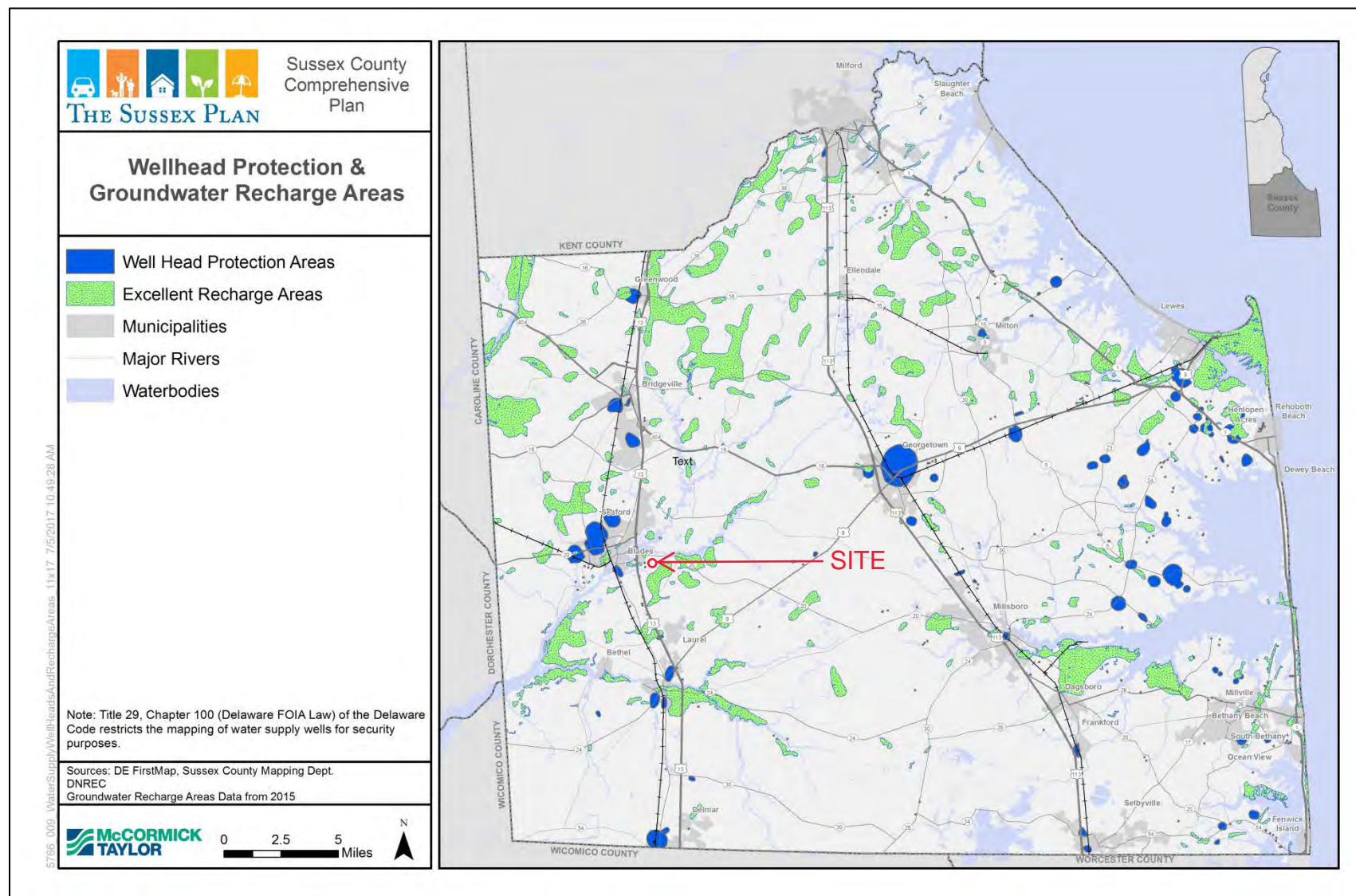
1 inch equals 18,000 feet

Base Map Provided By:
Sussex County
Mapping Department

Sources:
DNREC
Sussex County Mapping Department











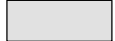
Figure 7.2-2 Wellhead Protection & Excellent Recharge Areas



Sussex County Comprehensive Plan



COUNTY WASTEWATER SERVICE AREAS

2007

-  Environmentally Sensitive Development Area (ESDA)
-  Roads
-  Boundaries of Sewer Planning Areas
-  Existing County Sewer Districts
-  Primary County Service Areas
-  Secondary County Service Areas
-  Unclassified Service Areas
-  Town/City Potential Annexation Areas (intended to be eventually served by Town/City in most cases.)
-  Municipal Boundaries

Please see text for planning area and service area definitions.

SITE —————

| | |
|---|---|
| <p>0 9,000 18,000 36,000</p>  <p>1 inch equals 18,000 feet</p> |  |
| <p>Base Map Provided By: Sources: Sussex County Engineering Department Mapping Department</p> | |

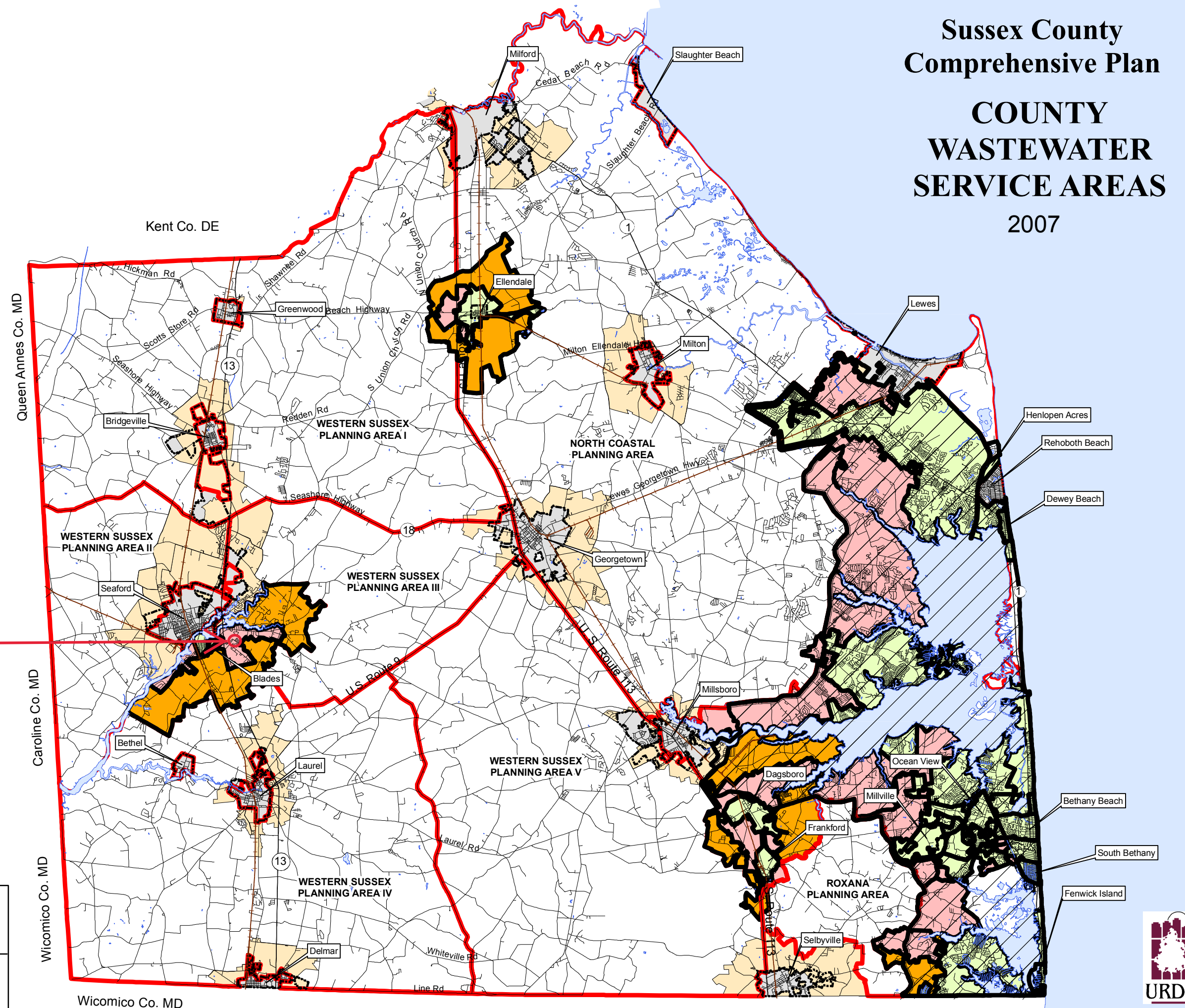


Figure 7.3-1 Wastewater Service Areas that have Received Certificates of Public Convenience and Necessity

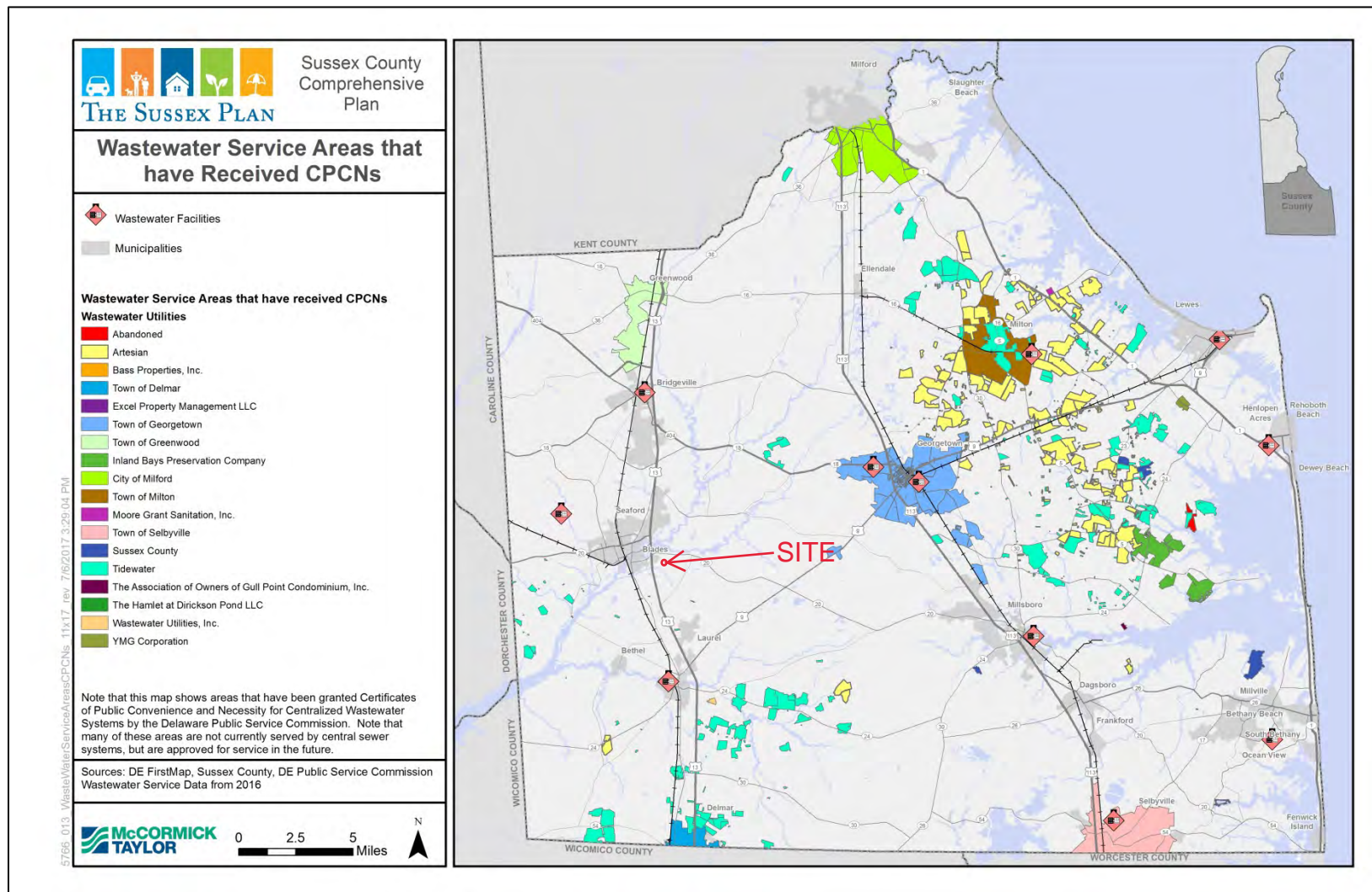
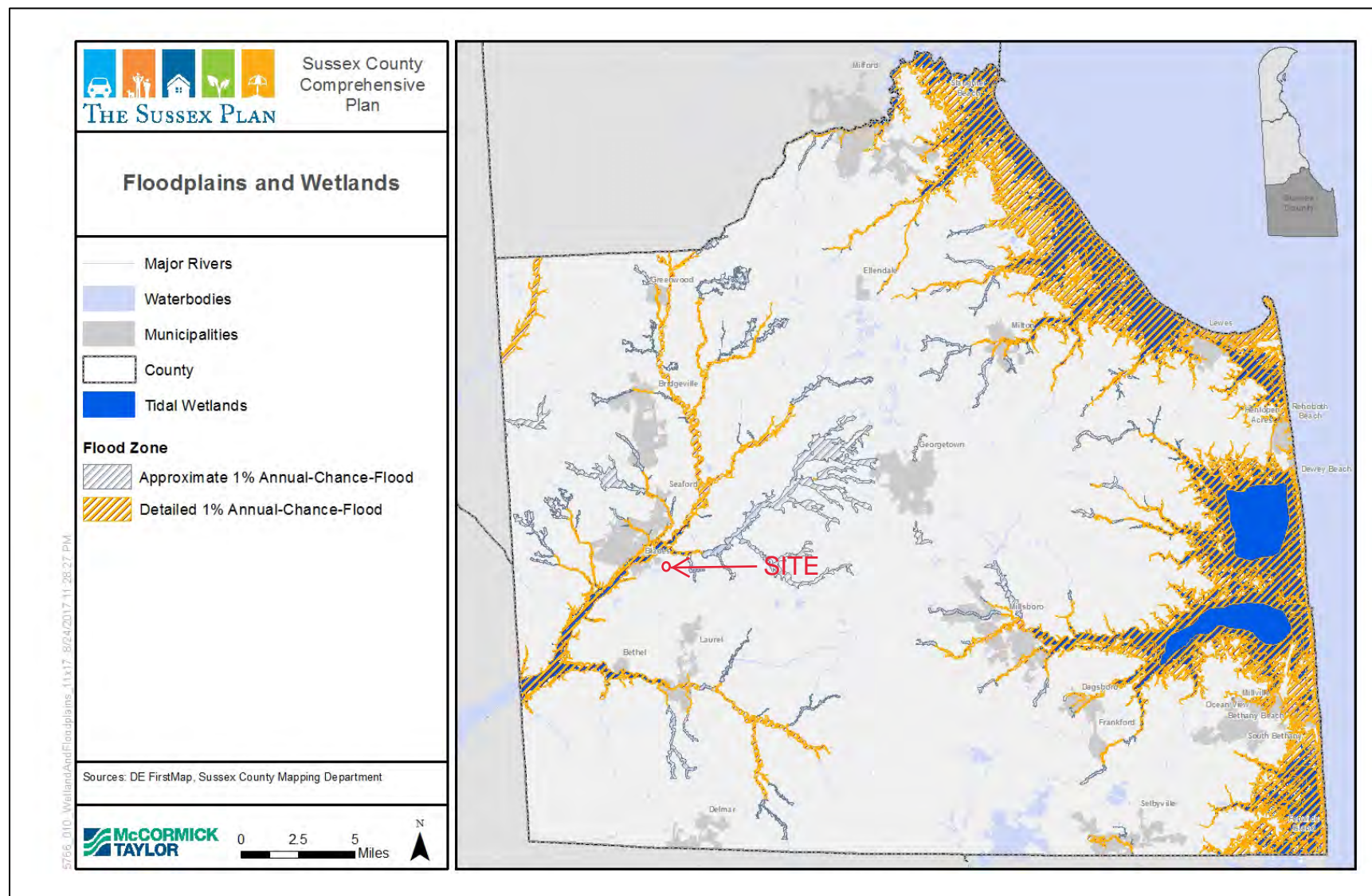


Figure 5.2-4 Wetlands and Floodplains

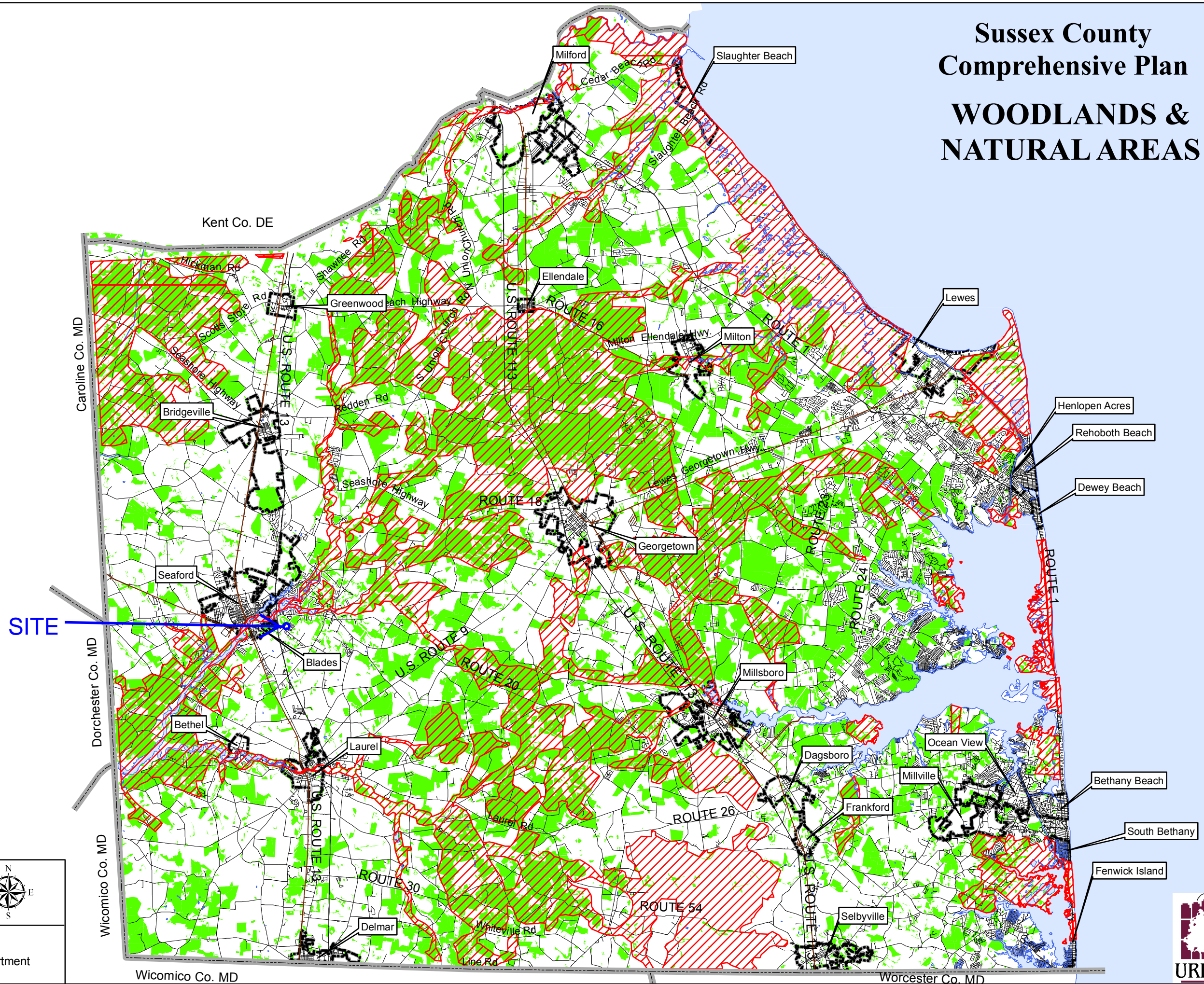



Sussex County Comprehensive Plan

WOODLANDS & NATURAL AREAS

 **Woodlands**

 **Natural Areas**



| | |
|---|---|
| <p>0 9,000 18,000 36,000</p> <p>1 inch equals 18,000 feet</p> |  |
| <p>Base Map Provided By: Sussex County Mapping Department</p> | <p>Sources: DNREC Sussex County Mapping Department</p> |



FINDINGS OF FACT

Sussex County Planning and Zoning Commission
PROPOSED FINDINGS & CONCLUSIONS

WHEREAS, Brickyard Apartments, LLC (the “Applicant”) has requested that the Board of Adjustment render an official determination, pursuant to Section 115-209 of the Sussex County Code, as to the rezoning of the property to be known as “Brickyard Apartments”, located on or adjacent to Brickyard Road in Sussex County, Delaware and more particularly identified as Tax Parcel #132-2.00-264.00 (the “Property”);

WHEREAS, based upon the undisputed evidence and testimony presented to the Board during hearings held on _____, the Applicant has demonstrated that the Property is currently a mixed zoned property consisting of AR-1 and GR; and

WHEREAS, applicant has shown that it proposes to erect an apartment complex consisting of 12 apartment buildings made up of 6 buildings with 1-bedroom apartments containing 4 apartments per building and 6 buildings with 2-bedroom apartments with 4 apartments per building on the Property.

NOW, THEREFORE, the Commission does hereby adopt the following findings of fact and conclusions of law:

1. The Applicant’s change of zoning request would harmonize the zoning on the property so that the Property would be singly zoned GR.
2. The Applicant proposes to use the Property for a single purpose to house multifamily dwelling facilities (the “Use”), which is a consistent use of the land in the surrounding area.
3. The proposed Use of the Property, in accordance with Section 115-39 of the Sussex County Code, is a conditional use permitted for a property zoned GR.
4. The GR zoning is consistent with and related to the uses in the immediate vicinity.
5. The Property should be change to single zoning classified as GR.

IT IS SO ORDERED this _____ day of _____, 2020.

Sussex County Planning and Zoning Commission:

BY: _____
Robert C. Wheatly, Chairman

BY: _____
Kim Hoey Stevenson, Vice-Chairman

BY: _____
R. Keller Hopkins

BY: _____
J. Bruce Mears

BY: _____
Holly Wingate

BY: _____
John Williamson

BY: _____
E. Brent Workman

Sussex County Planning and Zoning Commission
PROPOSED FINDINGS & CONCLUSIONS

WHEREAS, Brickyard Apartments, LLC (the “Applicant”) has requested that the Planning and Zoning Commission render an official determination, pursuant to Section 115-39 of the Sussex County Code, as to the permitted conditional use of the property to be known as “Brickyard Apartments”, located on or adjacent to Brickyard Road in Sussex County, Delaware and more particularly identified as Tax Parcel #132-2.00-264.00 (the “Property”); and

WHEREAS, the applicant has shown that it proposes to use the Property as an apartment complex consisting of 12 apartment buildings made up of 6 buildings with 1-bedroom apartments containing 4 apartments per building and 6 buildings with 2-bedroom apartments with 4 apartments per building is consistent with the use of the surrounding properties containing manufactured home communities;

WHEREAS, the applicant has agreed to erect a landscaping barrier along the property line to buffer the Property from the surrounding manufactured home communities;

WHEREAS, the applicant has coordinated with Seaford School District to add a school bus stop at the Property;

WHEREAS, the applicant has obtained easements for maintenance and drainage relating to the stormwater management of the Property and the adjacent properties;

WHEREAS, based upon the undisputed evidence and testimony presented to the Commission during hearings held on _____, the Applicant has demonstrated that multifamily dwelling structures are permitted conditional uses on lands zoned GR;

NOW, THEREFORE, the Commission does hereby adopt the following findings of fact and conclusions of law:

1. The Applicant proposes to use the Property for a single purpose to house multifamily dwelling facilities (the “Use”), which is a consistent use of the land in the surrounding area.

3. The proposed Use of the Property, in accordance with Section 115-39 of the Sussex County Code, is a conditional use permitted for a property zoned GR.

4. The Applicant's proposed Use has the same or similar density as the surrounding parcels.

5. The Applicant has agreed to the following conditions:
_____.

6. The proposed Use shall be permitted.

IT IS SO ORDERED this _____ day of _____, 2020.

Sussex County Planning and Zoning Commission:

BY: _____
Robert C. Wheatly, Chairman

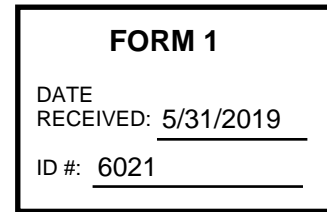
BY: _____
Kim Hoey Stevenson, Vice-Chairman

BY: _____
R. Keller Hopkins

BY: _____
J. Bruce Mears

BY: _____
Holly Wingate

OTHER PLAN
APPROVALS

☐ No



Notice of Intent (NOI) for Storm Water Discharges Associated With CONSTRUCTION ACTIVITY Under a NPDES General Permit

II. Project Information (continued)

Plan Approval Agency: Sussex Conservation District

Total Land Area of Site (tenths of acres): 5.05

Estimated Area to be Disturbed (tenths of acres): 6.70

Estimated Construction Start Date: 4/1/2020

Estimated Construction Completion Date: 4/1/2021



February 13, 2020

Mr. George Dragaca
c/o George, Miles, & Buhr, LLC
400 High Street
Seaford, DE 19973

RE: Brickyard Apartments

Dear Mr. Dragaca:

A Sediment and Stormwater Management Plan has been reviewed for compliance with the Sediment and Stormwater Regulations and is approved with conditions (see attached). Enclosed herein please find a copy of the approved application form and approved plan sets. Please retain a copy for your use, and provide the contractor with a copy to be retained onsite at all times. Failure to keep an approved plan onsite is a violation of the approved plan.

Approval of a Sediment and Stormwater Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.

This plan approval pertains to compliance with the *Delaware Sediment and Stormwater Regulations*. Please understand that the approval of this plan does not relieve you from complying with any and all federal, state, county, or municipal laws and regulations.

As of January 1, 2014, the Sussex Conservation District began collecting financial guarantees to ensure the construction of stormwater management practices is accomplished in accordance with the approved sediment and stormwater plan. Please refer to the SCD Policy on Bonds located on our website at Sussexconservation.org. If you have any questions concerning the aforementioned, please do not hesitate to call 302 856-7219.

Sincerely,
Jessica Watson
Jessica Watson
Program Manager

JW/jmg

cc: Janelle Cornwell

CONDITIONS OF APPROVAL

NOTIFICATION

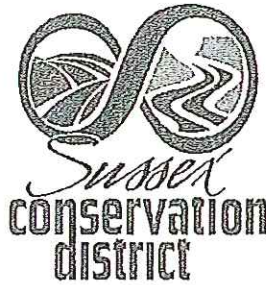
1. This approved plan will remain valid for 5 years from the date of this approval. If construction does not begin within five years, the approved plan will be considered to have expired, and must be resubmitted to the District for a new review. In addition, if work is not completed within the five-year timeframe, the District must be contacted and a request for an extension submitted. Depending on regulation changes, a new plan may need to be submitted to ensure that all stormwater management facilities are constructed to the most recent standards.
2. Submittal of the Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activities together with this approval of the detailed Sediment and Stormwater Plan provide this project with Federal permit coverage to be authorized to discharge storm water associated with construction activities. It is the owner's responsibility to ensure that permit coverage remains valid throughout construction by submitting the NOI fee annually as requested. The developer is responsible for weekly self-inspection reporting to be retained onsite.
3. Notify the Sussex Conservation District Sediment and Stormwater Management Section of your intent to begin construction in writing five (5) days prior to commencing. Failure to do so constitutes a violation of the approved plan.

CHANGES

4. This project is to be undertaken in accordance with the plans submitted and as approved. If changes are necessary at any time during the completion of the project, submit revised plans, prior to further construction, to the Sussex Conservation District Sediment and Stormwater Program for review and approval of the revision.
5. Should ownership change during the construction period, a revised plan must be submitted for approval showing the new owner's signature on the owner's certification. In addition, a Transfer of Authorization form must be submitted to DNREC to transfer Federal permit coverage to the new owner.

CONSTRUCTION AND CLOSEOUT

6. A pre-construction meeting must take place before any land disturbing activity begins. The meeting may take place on site and be attended by the owner, contractor, design consultant, Certified Construction Reviewer and Sussex Conservation District Sediment and Stormwater Program Construction Reviewer. The owner or the owner's designee shall contact the Sussex Conservation Construction Reviewer to schedule the pre-construction meeting.
7. Keep available onsite, during all phases of construction, a copy of the approved Sediment and Stormwater Management Plan.
8. Keep available onsite, during all phases of construction, copies of the Developers weekly self-inspection reports and/or the CCR Reports.
9. Any sediment transported off-site to roads or road rights-of-way including ditches shall be removed. Any damage to ditches shall be repaired and stabilized to original condition.
10. Grading shall not impair surface drainage, create an erosion hazard, or create a source of sediment to any adjacent watercourse or property owner.
11. Failure to implement the permanent stormwater management practices as mentioned herein constitutes a violation of the conditions of this plan approval; it may result in the suspension or revocation of building permits or grading permits issued by the local jurisdiction; and it may result in legal action by the DNREC to bring the site into compliance with the approved Sediment and Stormwater Management Plan and the *Delaware Sediment and Stormwater Regulations*.
12. The permanent stormwater management facility or facilities must be constructed and accepted by the Sussex Conservation District Sediment and Stormwater Program prior to final closeout of the project site. Post construction verification documentation of the stormwater management facility or facilities must be completed as soon as construction of the facility or facilities is complete so that any necessary modifications may be made during the construction period.



DETAILED SEDIMENT AND STORMWATER MANAGEMENT PLAN APPLICATION

NAME OF PROJECT: Brickyard Apartments
PROJECT DESCRIPTION: Proposed 24 units (2-br apartments) and 24 units (1-br apartments), associated utilities, access, and stormwater management
LOCATION OF PROJECT: 9329 Brickyard Rd., Seaford, DE 19973
PROJECT TAX MAP NUMBER: 132-2.00-264.00
PROJECT COORDINATES (center of site-decimal degrees) LAT: 38.6353773° LONG: -075.5871631°
TYPE OF PROJECT: Residential WATERSHED: Nanticoke River
NUMBER OF LOTS: 1 TOTAL ACRES: 5.05± ac DISTURBED ACRES: 6.70± ac

APPLICANT'S CONTACT INFORMATION

FIRST NAME: George LAST NAME: Dagraca
COMPANY NAME: Brickyard Apts, LLC
ADDRESS: 1080 Pittsford Victor Road, Suite 202
CITY: Pittsford STATE: NY ZIP: 14534
PHONE NUMBER: (585)381-0570 FAX NUMBER: N/A
EMAIL ADDRESS: georged@kdmdevelopment.com

CONSULTANT CONTACT INFORMATION

CONSULTANT/ENGINEER NAME: George, Miles, & Buhr, LLC
CONTACT PERSON/PROJECT MANAGER: Judy Schwartz, P.E.
PHONE #: (302) 628-1421 FAX #: (302) 628-8350
EMAIL ADDRESS: JSchwartz@gmbnet.com

SUSSEX CONSERVATION DISTRICT APPROVAL

REVIEWER: *John J. Buhr* DATE: 2-13-20
APPROVAL: *Judy Schwartz* DATE: 2/13/20

If ownership of this project changes during the construction period, Sussex Conservation District will require a new signed owner's certification statement.... In addition, the authorization to discharge stormwater under the regulations Part 2 Special Conditions for Storm Water Discharges Associated with Construction Activities, must be transferred by the original owner to the new owner, please contact DNREC for assistance at 302-739-9921.

OWNER/DEVELOPER CERTIFICATION

- I/We certify that the information on this form and the attached plans are true and accurate to the best of my/our knowledge.
- I/We understand that DNREC/Delegated Agency may request information in addition to that set forth herein as may be deemed appropriate in considering this application.
- I/We will abide by the conditions of this approval as issued.
- I/We hereby certify that all clearing, grading, construction and/or development will be done pursuant to the approved plan, and that all responsible personnel involved in the land disturbing activities will have a Sediment and Stormwater Management Certification from DNREC/Delegated Agency.
- I/We hereby authorize the right of entry for periodic on site inspection by DNREC/Delegated Agency personnel and/or authorized agents.

OWNER/DEVELOPER SIGNATURE: BY: George D. Dagraca DATE: 10/14/19
OWNER/DEVELOPER PRINTED NAME: George Dagraca

AGENT AUTHORIZATION

(If this authorization form is completed with the application, all future correspondence may be signed by the duly authorized agent.)

I, _____, hereby designate and authorize the following identified agent to act on my behalf in the processing of this application and to furnish any information that is requested.

AGENT NAME: _____

AGENT ADDRESS: _____

CITY: _____ STATE: _____ ZIP: _____

AGENT PHONE #: () _____ FAX #: _____

EMAIL ADDRESS: _____

OWNER/DEVELOPER SIGNATURE: _____ DATE: _____

AGENT SIGNATURE: _____ DATE: _____

Please attach project Supplemental BMP Data Sheet to the Detailed Sediment and Stormwater Management Plan Application.

PROJECT BMP DATA SHEET

List the BMP(s) utilized in the project stormwater management quantity and water quality strategy.

| BMP NAME | BMP TYPE | ACRES TREATED | BMP LOCATION COORDINATES (@ BMP release point - decimal degrees) | |
|-------------|-----------------|------------------|---|---------------|
| | | | LATITUDE | LONGITUDE |
| ED-2 | Wet pond | 10.113 | 38.6359116° | -075.5861445° |
| | No BMP selected | | | |
| | No BMP selected | | | |
| | No BMP selected | | | |
| | No BMP selected | | | |
| | No BMP selected | | | |
| | No BMP selected | | | |
| | No BMP selected | | | |

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878 T
302-854-5079 F
JAMIE WHITEHOUSE, MRTPI, AICP
DIRECTOR OF PLANNING & ZONING

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET

Planning Commission Public Hearing Date: January 7th, 2021

Application: CU 2212 Brickyard Apartments, LLC

Applicant: KDM Development, LLC
25713 South Parkway Road
Seaford, DE 19973

Owner: Brickyard Apartments, LLC
1080 Pittsford Victor Road
Suite 202
Pittsford, NY 14534

Site Location: 9329 Brickyard Road, Seaford, DE. The property is on the northwest side of Brickyard Road, approximately 0.3 mile southeast of Sussex Highway (Route 13).

Current Zoning: AR-1 - Agricultural Residential Zoning District & GR – General Residential Zoning District

Proposed Use: 48 Apartments (Multi-family units)

Comprehensive Land
Use Plan Reference: Low Density & Existing Development Area

Councilmanic
District: Mr. Vincent

School District: Seaford School District

Fire District: Blades Fire Department

Sewer: Public – Mobile Gardens Public Water System

Water: Public – Mobile Gardens Wastewater Treatment Facility

Site Area: 5.03 acres +/-

Tax Map ID.: 132-2.00-264.00





Sussex County



| | | |
|------------------------|-------------------------|------|
| PIN: | 132-2.00-264.00 | |
| Owner Name | BRICKYARD LLC | APTS |
| Book | 5105 | |
| Mailing Address | 1080 PITTSFORD VICTOR P | |
| City | PITTSFORD | |
| State | NY | |
| Description | STATE RD 481 | |
| Description 2 | N/A | |
| Description 3 | N/A | |
| Land Code | | |

polygonLayer

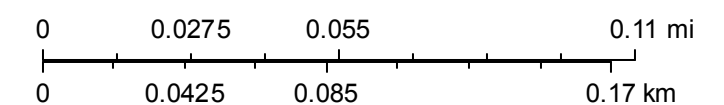
Override 1

polygonLayer

Override 1

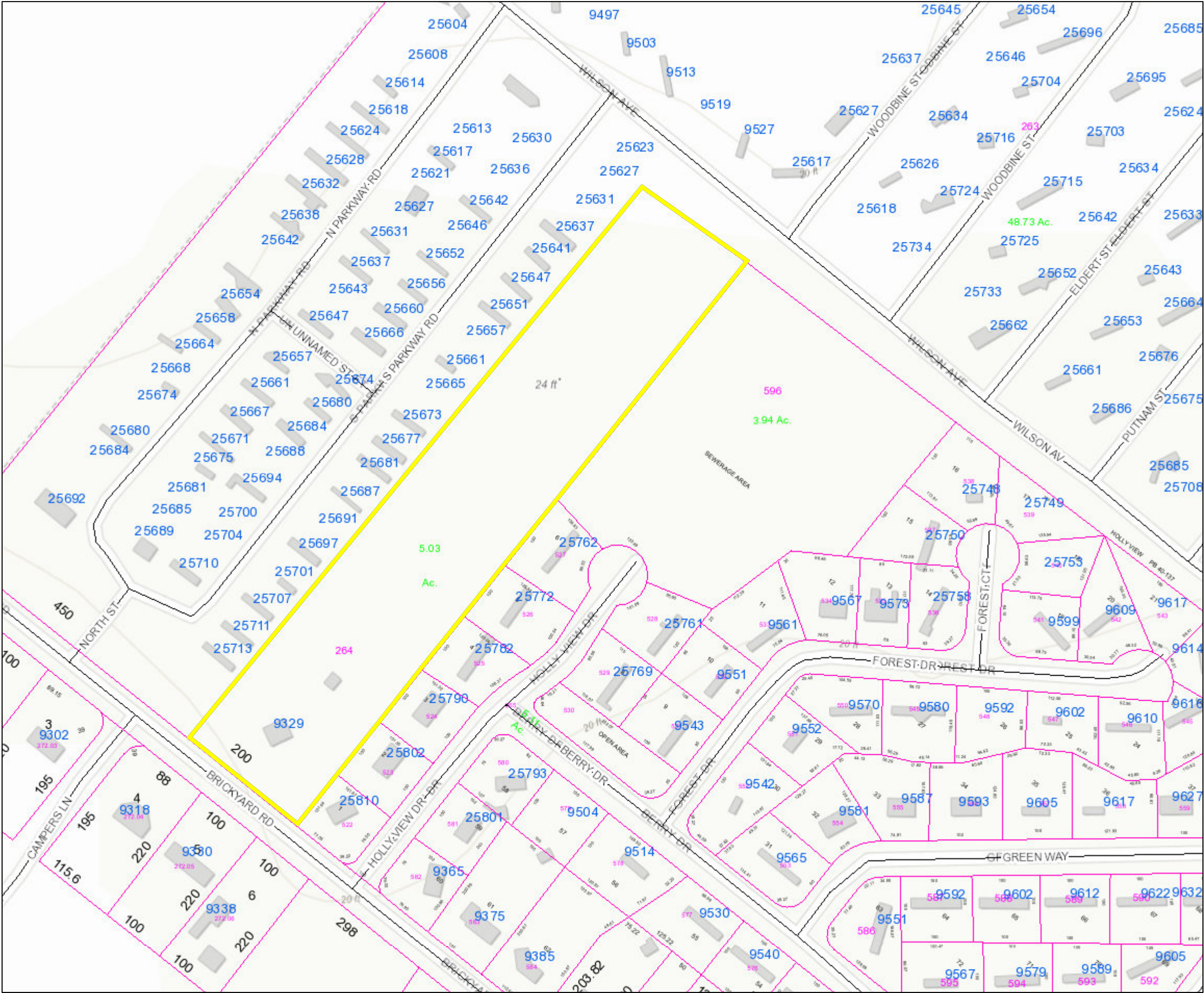
- Tax Parcels
- 911 Address
- Streets
- County Boundaries

1:2,257





Sussex County



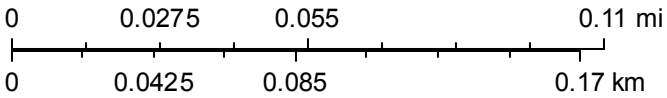
| | | |
|-----------------|-------------------------|----------|
| PIN: | 132-2.00-264.00 | |
| Owner Name | BRICKYARD | APTS LLC |
| Book | 5105 | |
| Mailing Address | 1080 PITTSFORD VICTOR P | |
| City | PITTSFORD | |
| State | NY | |
| Description | STATE RD 481 | |
| Description 2 | N/A | |
| Description 3 | N/A | |
| Land Code | | |

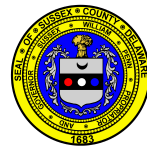
- polygonLayer

Override 1
- polygonLayer

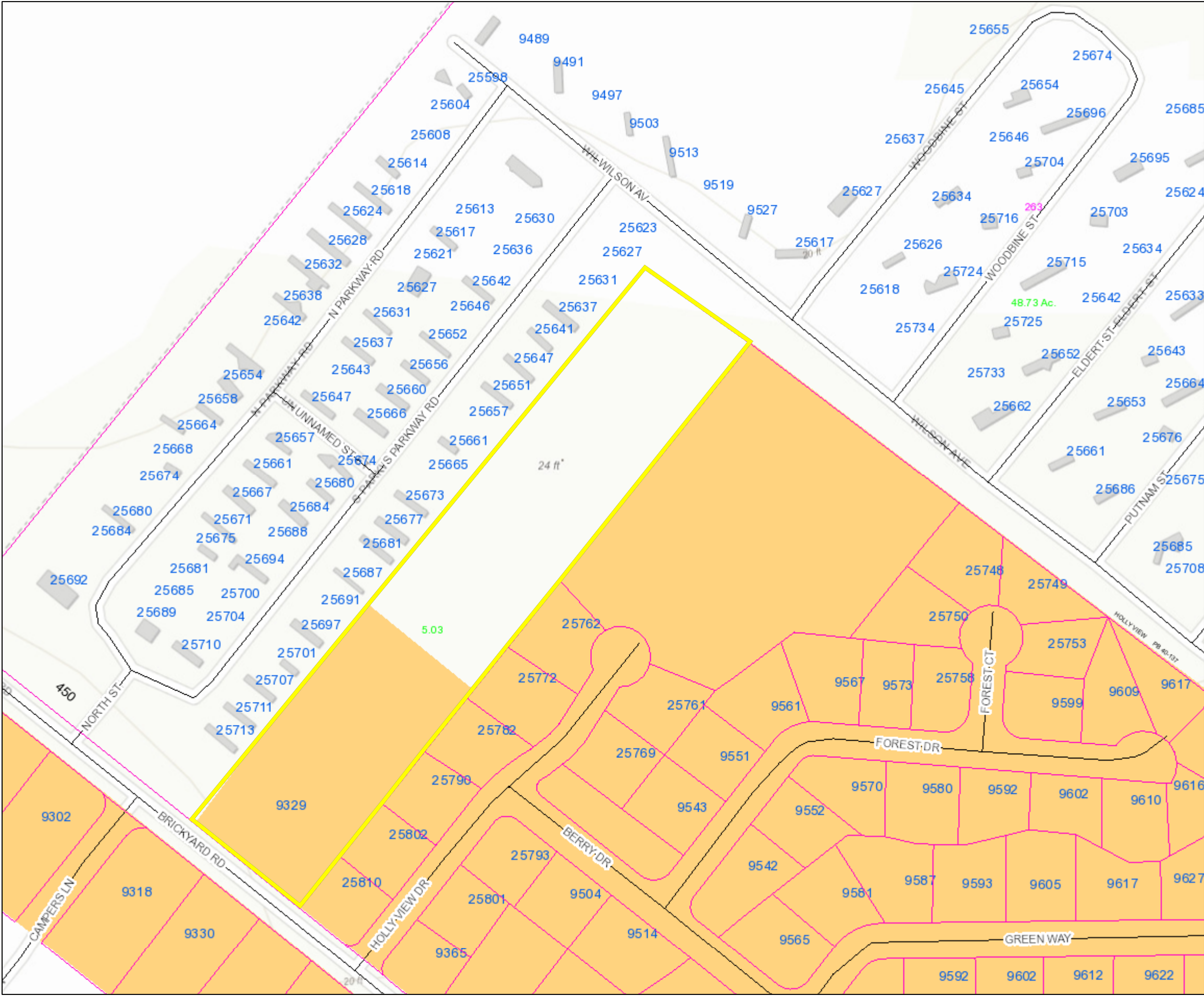
Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries

1:2,257





Sussex County

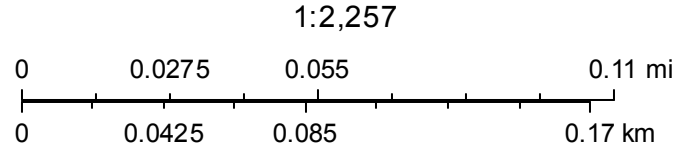


| | | |
|-----------------|-------------------------|------|
| PIN: | 132-2.00-264.00 | |
| Owner Name | BRICKYARD LLC | APTS |
| Book | 5105 | |
| Mailing Address | 1080 PITTSFORD VICTOR P | |
| City | PITTSFORD | |
| State | NY | |
| Description | STATE RD 481 | |
| Description 2 | N/A | |
| Description 3 | N/A | |
| Land Code | | |

- polygonLayer

Override 1
- polygonLayer

Override 1
- Tax Parcels
- 911 Address
- Streets



JAMIE WHITEHOUSE, AICP MRTPI
PLANNING & ZONING DIRECTOR
(302) 855-7878 T
(302) 854-5079 F
jamie.whitehouse@sussexcountye.gov



Sussex County

DELAWARE
sussexcountye.gov

Memorandum

To: Sussex County Planning Commission Members
From: Lauren DeVore, Planner III
CC: Vince Robertson, Assistant County Attorney and applicant
Date: December 21, 2020
RE: Staff Analysis for CU 2212 Brickyard Apartments, LLC

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CU 2212 Brickyard Apartments, LLC to be reviewed during the January 7, 2021 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for Tax Parcel 132-2.00-264.00 to allow for multifamily (48 apartments). The parcel is located on the northwest side of Brickyard Road (Route 481) approximately 0.3 mile southeast of Sussex Highway (Route 13). The parcel contains 5.05 acres +/-.

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the subject property has a split land use designation of "Existing Development Area" and "Low Density Area." The properties to the south also have the land use designation of Existing Development Areas.

Existing Development Areas consist primarily of existing residential development under the current General Residential and Medium Density Residential Zoning Districts, as well as some commercial uses. The Existing Development Area permits a full range of housing types which are appropriate in these residential areas, including single-family homes, townhouses, and multi-family units.

The primary uses envisioned in Low Density Areas are agricultural activities and homes. Business development should be largely confined to businesses addressing the needs of these two uses. More intense commercial uses should be avoided in these areas. The properties to the north and northwest of the subject property also have the land use designation of Low Density.

The subject property is split-zoned Agricultural Residential (AR-1) and General Residential (GR). The property to the south as well as the properties on the opposite (western) side of Brickyard Road (Route 481) are zoned General Residential. The properties to the north and northwest of the subject site are zoned Agricultural Residential (AR-1).

Since 2011, there has been one Conditional Use application within a 2-mile radius of the application site. This application was Conditional Use No. 1945 to allow for a small storage facility to be located



in an AR-1 Zoning District. The application was approved by the Sussex County Council on January 15, 2013 and adopted through Ordinance No. 2287.

It is noted that there is a pending Ordinance to revise the Future Land Use Map to change a portion of the parcel's Future Land Use designation from the Low Density Area to the Developing Area. Based on the analysis of the land use, surrounding zoning and uses, the Conditional use to allow for a multifamily apartment community, subject to considerations of scale and impact, could be considered as being consistent with the land use, area zoning and surrounding uses.

File #: CU 2012
201913695

Planning & Zoning Commission Application

Sussex County, Delaware

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

RECEIVED

NOV 26 2019

SUSSEX COUNTY
PLANNING & ZONING

Type of Application: (please check applicable)

Conditional Use ☒

Zoning Map Amendment ☐

Site Address of Conditional Use/Zoning Map Amendment

9329 Brickyard Road, Seaford, DE

Type of Conditional Use Requested:

Multi-Family Residence in a GR zone for 12 apartment buildings consisting of 6 buildings with 1-bedroom apartments containing 4 apartments per building and consisting of 6 buildings with 2-bedroom apartments with 4 apartments per building.

Tax Map #: 132-2.00-264.00

Size of Parcel(s): 5.05± ac

Current Zoning: ARI/GR

Proposed Zoning: GR

Size of Building: 60,456± SF footprint

Land Use Classification: Residential, Single

Water Provider: Mobile Gardens Public Water System

Sewer Provider: Mobile Gardens WWTF

Applicant Information

Applicant Name: KDM Development, LLC

Applicant Address: 25713 South Parkway Rd.

City: Seaford

State: DE

Zip Code: 19973

Phone #: (302) 629-4959

E-mail: billyb@kdmdevelopment.com

Owner Information

Owner Name: Brickyard Apartments, LLC

Owner Address: 1080 Pittsford Victor Road, Suite 202

City: Pittsford

State: NY

Zip Code: 14534

Phone #: (585) 381-0570

E-mail: georged@kdmdevelopment.com

Agent/Attorney/Engineer Information

Agent/Attorney/Engineer Name: Nicole Faries/ Baird Mandalas Brockstedt

Agent/Attorney/Engineer Address: 2711 Centerville Rd., Suite #401

City: Wilmington

State: DE

Zip Code: 19808

Phone #: (302) 327-1100

E-mail: nfaries@bmbde.com



Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

- ☒ Completed Application
- ☒ Provide eight (8) copies of the Site Plan or Survey of the property
 - o Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
 - o Provide a PDF of Plans (may be e-mailed to a staff member)
 - o Deed or Legal description
- ☒ Provide Fee \$500.00
- ☒ Optional - Additional information for the Commission/Council to consider (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.
- ☒ Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.
- ☒ DeIDOT Service Level Evaluation Request Response
- N/A PLUS Response Letter (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

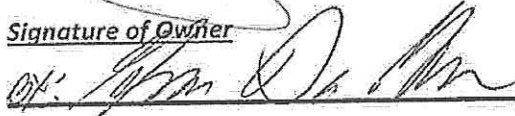
I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney



Date: 11/21/19

Signature of Owner



Date: 11/19/19

For office use only:

Date Submitted: 11-26-19

Staff accepting application: SR

Location of property: _____

Fee: \$500.00 Check #: 933

Application & Case #: 2019/3695

Subdivision: _____

Date of PC Hearing: _____

Date of CC Hearing: _____

Recommendation of PC Commission: _____

Decision of CC: _____



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

RECEIVED

NOV 26 2019

SUSSEX COUNTY
PLANNING & ZONING

JENNIFER COHAN
SECRETARY

April 15, 2019

Ms. Janelle Cornwell, Director
Sussex County Planning & Zoning
P.O. Box 417
Georgetown, DE 19947

Dear Ms. Cornwell:

The Department has completed its review of a Service Level Evaluation Request for the **KDM Development Corp. c/o Billy Betts** rezoning application, which we received on March 15, 2019. This application is for a 5.03-acre parcel (Tax Parcel: 132-2.00-264.00). The subject land is located on the northeast side of Brickyard Road (Sussex Road 481), approximately 1,600 feet southeast of the intersection of US Route 13 and Brickyard Road. The subject land is currently split-zoned as AR-1 (Agricultural Residential) and GR (General Residential), and the applicant is seeking to rezone the entire land to GR to develop 48 multi-family houses.

Per the 2017 Delaware Vehicle Volume Summary, the annual average daily traffic volume along the segment of Brickyard Road where the subject land is located, which is from Airport Road (Sussex Road 488) to Delaware Route 20, is 5,137 vehicles per day.

Based on our review, we estimate that the above land uses will generate fewer than 50 vehicle trips in any hour and fewer than 500 vehicle trips per day. These numbers of trips are DelDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. Because the proposed land use would not meet these warrants, we consider the development's traffic impact to be negligible in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DelDOT's description of this application as negligible with regard to warranting a TIS does not mean that it is negligible in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.

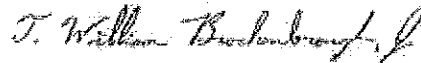


Ms. Janelle M. Cornwell
Page 2 of 2
April 15, 2019

Because proposed development would generate more than 200 vehicle trips per day, a Traffic Operational Analysis (TOA) may be required as part of the site plan review, in accordance with Chapter 2 of the Development Coordination Manual.

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.
County Coordinator
Development Coordination

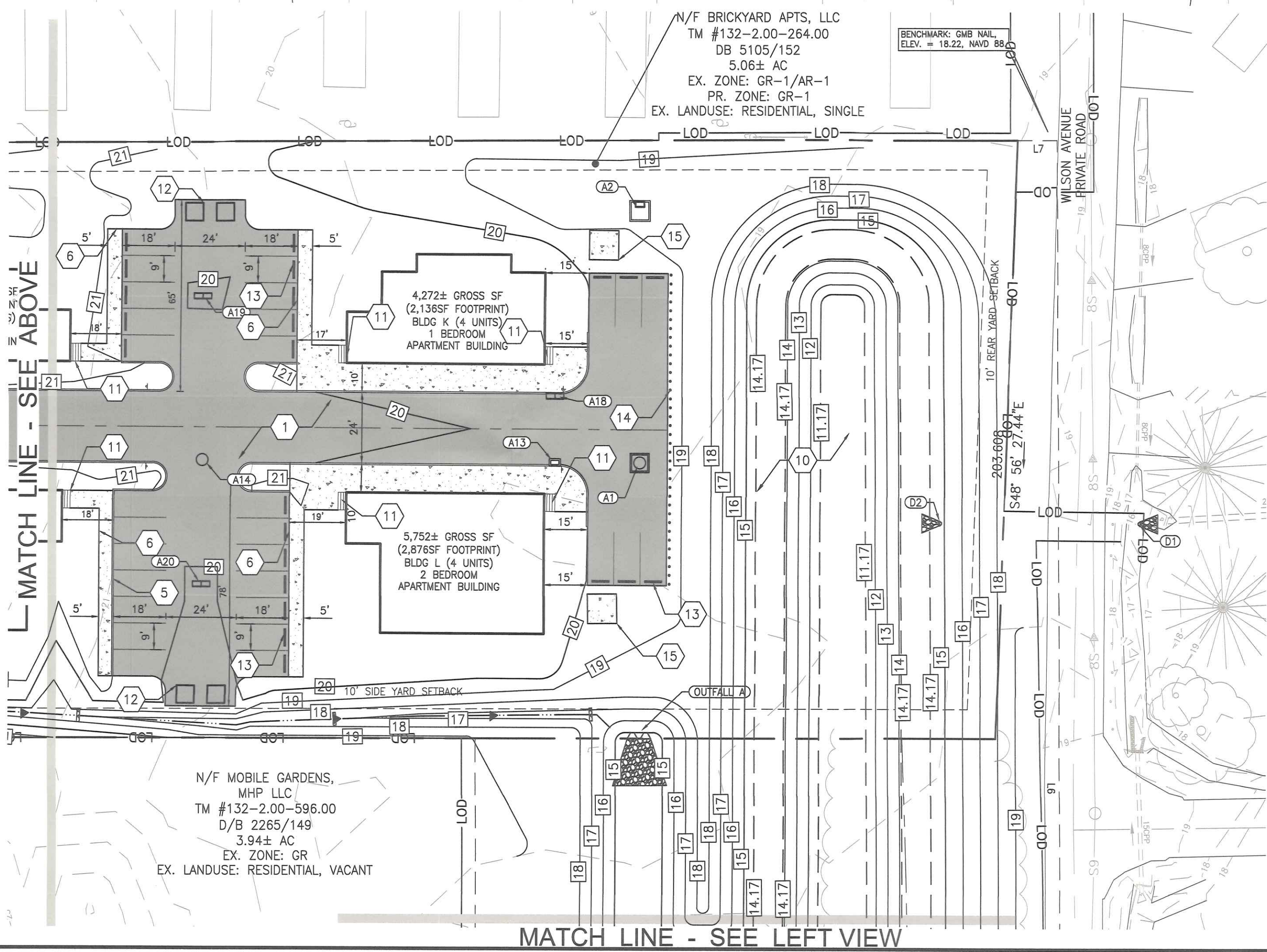
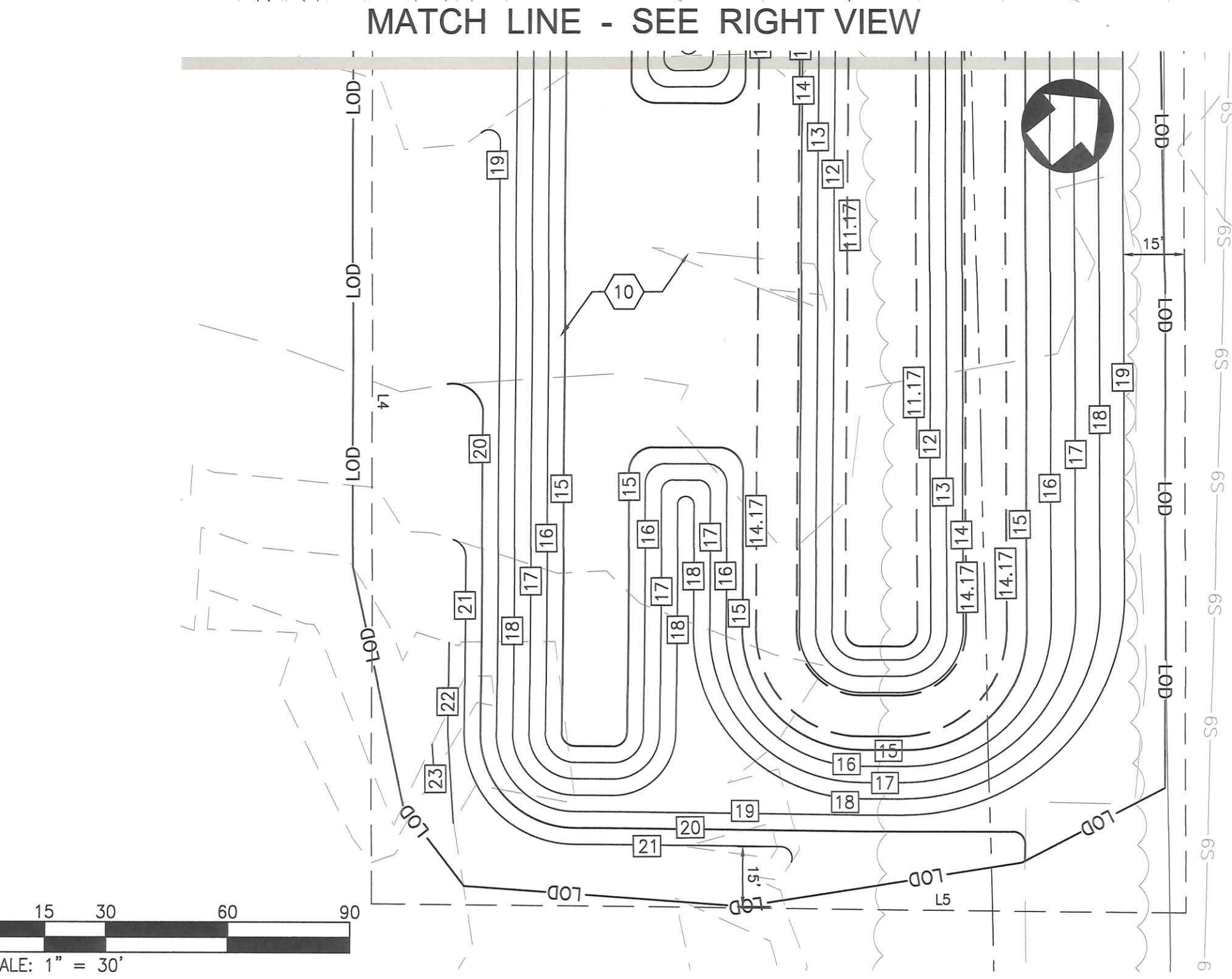
TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues
KDM Development Corp. c/o Billy Betts, Applicant
J. Marc Coté, Assistant Director, Development Coordination
Gemez Norwood, South District Public Works Manager, Maintenance and Operations
Susanne Laws, Sussex County Subdivision Coordinator, Development Coordination
Derek Sapp, Subdivision Manager, Development Coordination
Kevin Hickman, Subdivision Manager, Development Coordination
Brian Yates, Subdivision Manager, Development Coordination
John Andrescavage, Subdivision Manager, Development Coordination
Troy Brestel, Project Engineer, Development Coordination
Claudy Joinville, Project Engineer, Development Coordination

H:\Projects\2017\170218 Mobile Gardens Apartments\Drawings\Working\Site Plan\CD.0 Site Plan.dwg, 11/7/2019 9:40 AM, Cheri Hoshalder
PLOT CODE
PLOT DATE
PLOT USER
PLOT SCALE
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| STORMWATER EASEMENT 1 LINE TABLE | | |
|----------------------------------|--------|-------------|
| LINE | LENGTH | DIRECTION |
| L1 | 84.59' | N51°15'15"W |
| L2 | 85.85' | N38°44'04"E |
| L3 | 84.76' | S51°16'24"E |

| STORMWATER EASEMENT 2 LINE TABLE | | |
|----------------------------------|---------|-------------|
| LINE | LENGTH | DIRECTION |
| L4 | 267.35' | N51°05'19"W |
| L5 | 200.39' | N39°27'00"E |
| L6 | 472.74' | N51°16'19"W |
| L7 | 13.47' | S38°43'41"W |



- ### CONSTRUCTION NOTES
- 1 NEW ASPHALT PAVEMENT SECTION PER GEO-TECHNICAL ENGINEER'S RECOMMENDATIONS.
 - 2 PAVEMENT TIE-IN TO EXISTING ASPHALT PAVEMENT SECTION.
 - 3 PROPOSED SHARED-USE PATH PER DELDOT STANDARDS.
 - 4 PROPOSED ADA COMPLIANT PEDESTRIAN CROSSWALK PER DELDOT STANDARDS.
 - 5 PROPOSED 6" CURB AND GUTTER.
 - 6 PROPOSED CONCRETE SIDEWALK.
 - 7 PROPOSED ADA COMPLIANT RAMP PER DELDOT STANDARDS.
 - 8 PROPOSED WOODEN ADA COMPLIANT RAMP.
 - 9 PROPOSED ADA COMPLIANT PARKING SPACE.
 - 10 PROPOSED STORMWATER MANAGEMENT FACILITY, PER DNREC STANDARDS.
 - 11 PROPOSED STAIRS, SEE ARCHITECTURAL PLANS FOR DETAIL.
 - 12 PROPOSED TRASH RECEPTACLE, 12 TYPICAL.
 - 13 PROPOSED WHEELSTOP, 72 TYPICAL.
 - 14 PROPOSED BOLLARDS FOR STANDARD FIRE MARSHAL BARRICADE.
 - 15 PROPOSED CONCRETE PAD AND CENTRAL MAILBOX LOCATION.

GMB
GEORGE, MILES & BUHR, LLC
ARCHITECTS & ENGINEERS
SALESBURY · BALTIMORE · SEAFORD
www.gmbnet.com

BRICKYARD APARTMENTS
FOR
BRICKYARD APTS, LLC
SEAFORD
SUSSEX COUNTY, DELAWARE



CONDITIONAL USE
SITE PLAN

SCALE : 1" = 30'
DESIGN BY : JAS
DRAWN BY : CRH
CHECKED BY : JAS
GMB FILE : 170218
DATE : FEB 2019
SHEET NO.
C2.0
© COPYRIGHT 2019 GEORGE, MILES & BUHR, LLC

| PRELIMINARY PLANS PRINTS ISSUED FOR: REVIEW | | |
|---|----------------------------|--------|
| NO. | REVISIONS PER SCD & DELDOT | DATE |
| 1 | | 7/2019 |

(Adopted_____)

ORDINANCE NO. ____

AN ORDINANCE TO AMEND CHAPTER 115, ARTICLE XXV, SECTION 115-194.3 OF THE CODE OF SUSSEX COUNTY REGARDING THE COASTAL AREA.

WHEREAS, pursuant to the provisions of Title 9, Chapter 68 and 69, Delaware Code, the Sussex County government has the power and the authority to regulate the use of land and to adopt a Comprehensive Plan; and

WHEREAS, pursuant to Chapter 115 of the Code of Sussex County, as amended, the Sussex County government has undertaken to regulate the use of land; and

WHEREAS, the Sussex County Council adopted a Sussex County Comprehensive Plan Update on September 2, 2002, which established an “Environmentally Sensitive Developing Area” with “special environmental design and protection requirements”; and

WHEREAS, Sussex County Council adopted a Sussex County Comprehensive Plan that was certified by the Governor on March 19, 2019, and this Plan expanded what was formerly identified as the “Environmentally Sensitive Developing Area” and renamed that Area as the Coastal Area in the Future Land Use Map contained therein; and

WHEREAS, it is the intent of the Sussex County Council to balance the need to protect land equity with the need to reasonably protect the County’s environment and to protect and enhance the water quality of the County’s “Inland Bays”; and

WHEREAS, Goal 4.6 and Strategy 4.6.2 of the Sussex County Comprehensive Plan states that Sussex County should “Recognize the importance of the Inland Bays” and “Recognize the Inland Bays, their tributaries and other waterbodies as valuable open space areas of ecological importance”; and

WHEREAS, Goal 4.3 of the Sussex County Comprehensive Plan states that Sussex County should “Identify and designate future development areas in a manner that protects the County’s natural and cultural resources from the adverse impacts of development as outlined in the Conservation” Element of the Plan; and

WHEREAS, Goal 4.3 of the Sussex County Comprehensive Plan includes Objective 4.3.2 which states that Sussex County should “Promote new development that incorporates preserved usable open space and mitigates for the protection or replacement of environmental resources in subdivision design” and Strategy 4.3.2.3 and 4.3.2.4 which state that Sussex County should “Strengthen County development regulations to ensure that open space dedicated by developers contains contiguous open space” and “Revisit County Code to determine if modifications are needed to open space requirements to promote less fragmentation of open space”; and

WHEREAS, it has been determined that in order to promote and protect the health, safety, convenience, orderly growth and welfare of the inhabitants of Sussex County, and to assist in the proper development of land.

NOW, THEREFORE, THE COUNTY OF SUSSEX ORDAINS:

Section 1. The Code of Sussex County, Chapter 115, Article xxv §115-194.3 “Coastal Area” is hereby amended by deleting the language in brackets and adding the italicized and underlined language:

§ 115-194.3. Coastal Area.

A. Delineation of the zoning district.

(1) The Coastal Area shall include all lands designated as the "Coastal Area" in the adopted Sussex County Comprehensive Plan dated March 19, 2019, or as subsequently amended.

(2) Where the boundary of the Coastal Area is formed by a roadway, the overlay zone shall be deemed to include the contiguous property on the far side of the roadway, provided that depth of the Coastal Area on contiguous property shall not exceed 600 feet.

B. Application process.

(1) All rezoning, subdivision, business and industrial site plans and conditional use applications involving one or a combination of the following shall be subject to the process and performance requirements as described hereinafter:

(a) Any residential planned community application.

(b) Any development containing 50 or more dwelling units.

(c) Any development containing 75,000 square feet or more of floor area used for commercial or industrial uses.

(d) Any use or activity that requires a permit in the Coastal Zone.

(2) The applicant shall submit an environmental assessment and public facility evaluation report and sketch plan (report) to the Director of Planning and Zoning, a copy of which will be forwarded to the Office of State Planning Coordination and members of the Technical Advisory Committee for review and comment. The sketch plan shall address the following issues for the property to be developed and, where appropriate to the context, for the contiguous property. Information submitted by the applicant shall at a minimum contain the following:

(a) Proposed drainage design and the effect on stormwater quality and quantity leaving the site, including methods for reducing the amount of phosphorous and nitrogen in the stormwater runoff and the control of any other pollutants such as petroleum hydrocarbons or metals.

(b) Proposed method of providing potable and, where appropriate, irrigation water and the effect on public or private water systems and groundwater, including an estimate of average and peak demands.

(c) Proposed means of wastewater treatment and disposal with an analysis of the effect on the quality of groundwater and surface waters, including alternative locations for on-site septic systems.

(d) Analysis of the increase in traffic and the effect on the surrounding roadway system.

(e) The presence of any endangered or threatened species listed on federal or state registers and proposed habitat protection areas.

(f) The preservation and protection from loss of any tidal or nontidal wetlands on the site.

(g) Provisions for open space as defined in § 115-4.

(h) A description of provisions for public and private infrastructure.

(i) Economic, recreational or other benefits.

(j) The presence of any historic or cultural resources that are listed on the National Register of Historic Places.

(k) [An affirmation that] A description of how the proposed application and proposed mitigation measures are in conformance with the current Sussex County Comprehensive Plan.

(l) Actions to be taken by the applicant to mitigate the detrimental impacts identified relevant to Subsection B(2)(a) through (k) above and the manner by which they are consistent with the Comprehensive Plan.

(3) The Director of Planning and Zoning shall prepare (with input from the County Administrator) guidelines describing the application process and the form and content of information to be submitted by the applicant and shall review all applications, plans, assessments and other information submitted and prepare a written report summarizing his findings and the comments of state agencies and other County offices. The Planning and Zoning Commission shall make a determination as to whether adequate information has been presented for the project to proceed. A completed report shall be required prior to any preliminary plan approval for a development subject to this section. Approval of the report does not constitute final approval of the commenting agencies.

C. Permitted uses and densities.

(1) Uses permitted in the Coastal Area will be those uses permitted in the underlying zoning category as established by the Sussex County Zoning Ordinance.

(2) Uses prohibited in the underlying zone are also prohibited in the overlay zone.

(3) The maximum density shall be the allowable density of the underlying zoning district for developments using a central water and wastewater collection and treatment system. "Central sewer system" means centralized treatment and disposal facilities as defined in § 115-194A. Within [this Overlay District] the Coastal Area, clustering of single-family detached lots to a minimum lot size of 7,500 square feet is permitted in all residential zoning districts using a central water and sewer system. For dwelling units using on-site individual wastewater disposal systems, the

allowable density shall be based upon a minimum lot size of 3/4 of an acre. The applicant has the option of clustering the lots to a minimum lot size of 1/2 of an acre where soil conditions are suitable as determined by DNREC, provided, however, that the number of lots or dwelling units permitted shall not exceed the number permitted in the underlying district. For purposes of this subsection, the "allowable density" shall be determined by calculating the lot area and the area of land set aside for common open space or recreational use but shall exclude any area designated as a tidal tributary stream or tidal wetlands by § 115-193.

(4) For areas within the Conservation Zone, as currently defined in the Sussex County Zoning Ordinance, the minimum lot size and dimension requirements in the Conservation Zone shall apply.

(5) Residential developments utilizing the cluster option of Subsection C.3 above within the AR-1 and AR-2 Residential Zoning Districts shall comply with the design requirements set forth in §115-25F of the Sussex County Zoning Code.

D. Exemptions from the Coastal Area. The following are exempted from the requirement of this section:

(1) Single-family residential lots of record as of the date of this section.

(2) Existing developments and developments which have filed for approval as of the date of this section.

E. Design consideration should be given by the applicant toward the establishment of a greenways system which utilizes schools, parks, wildlife habitat areas, river and stream corridors, wetlands, floodplains, historic sites, business parks, urban sidewalks, abandoned rail lines, roads, beach areas and vacant land. Greenways should provide benefits like safe pedestrian, bicycling and equestrian routes for recreationists and commuters; and natural wildlife corridors and biological reserves.]



Sussex County
Comprehensive
Plan

2045 Future Land Use Map

Growth Areas

- Municipalities
- Town Center
- Developing Area
- Existing Development Area
- Coastal Area
- Commercial
- Industrial Area

Rural Areas

- Low Density
- Protected Land
- Ag. Preservation District
- Ag. Preservation Easement

Sources: DE FirstMap, Sussex County Mapping Dept.
Land Use Data from 2008, State Forest Data from 2013, Forest
Conservation Easements Data from 2016, Municipal Annexation
Areas 2016

*The official depiction of the protected lands can be found on
the Protected Land Map (Figure 5.2-1)

