



Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, Director, Department of Planning & Zoning; Lauren DeVore, Planner III, Jenny Norwood, Planner I, Christin Headley, Planner I, Nicholas Torrance, Planner I, and Chase Phillips, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: September 30, 2020

RE: Other Business for the September 24, 2020 Planning Commission Meeting

This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the October 8, 2020 Planning Commission meeting.

Ocean Meadows (2018-28)

KS

Request to Amend Forested/Landscape Buffer

This is a request to amend the ratio of deciduous trees and evergreen trees provided in the proposed forested/landscape buffer from the 70% deciduous trees and 30% evergreen requirement to 60% evergreen and 40% deciduous trees. The applicant has indicated that the proposed ratio will provide additional year-round screening between this subdivision and the adjacent Ridings of Rehoboth Subdivision. At their meeting of Thursday, January 9, 2020, the Planning and Zoning Commission approved the Final Subdivision Plan. Tax Parcels: 234-2.00-2.00 & 2.02. Zoning: AR-1 (Agricultural Residential Zoning District).

Welches Pond (2017-20) (F.K.A. Fieldstone, The Grove at Love Creek)

KS

Request to Amend Forested/Landscape Buffer & Conditions of Approval

This is a request to remove the 50-ft landscape buffer located along the eastern side of the proposed subdivision which separates the subdivision from the residual lands. This buffer is currently required under Condition "E" of the Conditions of Approval. Condition "E" currently reads, "As stated by the applicant, a forested or landscaped buffer of at least 50 feet in depth shall be installed along the entire perimeter of the project. The Final Site Plan shall contain a landscaped plan for all of these areas, with the exception of areas that are currently forested and will not be disturbed." The applicant intends to submit an additional application for the residual lands for a second phase of the subdivision. The applicant is requesting that Condition "E" be amended to exclude the buffer from the eastern portion of the property. The applicant has provided a Revised Landscape Plan reflecting these proposed changes for the Commission's consideration. Tax Parcel: 334-12.00-16.00 (part of). Zoning: AR-1 (Agricultural Residential Zoning District) & GR (General Residential Zoning District).

Dagsboro Trace (2004-34)

HW

Revised Subdivision Plan

This Revised Subdivision Plan proposes to remove the sidewalks from the subdivision. The Planning and Zoning Commission previously reviewed this request at their meeting of Thursday, September 24, 2020 where they had requested additional information be provided from the applicant prior to a final decision being rendered. The sidewalks have not been installed and the proposed location of the sidewalks would require the relocation of street lighting and transformers already installed throughout



the development. The Planning and Zoning Office has received documentation that 51% of existing property owners within the subdivision consent to this proposed change. Tax Parcel: 233-11.00-194.01. Zoning: AR-1 (Agricultural Residential Zoning District).

Lighthouse Annex Self-Storage

HW

Revised Site Plan

This is a Revised Final Site Plan for a three story, 34,500 square foot self-storage facility to be located on 1.76-acre parcel. This Revised Site Plan proposes changes to the self-storage building (phase 2) that was previously approved on December 21, 2017 (S-17-40). A 600+/- square foot office space is utilized within an existing building on site. The Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 533-17.00-83.00. Zoning: C-1 (General Commercial Zoning District). Staff are awaiting agency approvals.

Marsh Island (2005-52 & 2008-25)

BM

Amenities Plan

This is an Amenities Plan for a proposed 1,918 square foot clubhouse, 4,308 square foot in-ground pool, playground, covered seating area, boardwalk and 18 associated parking spaces to be located within the existing Marsh Island (2005-52 & 2008-25) cluster subdivision. At their meeting of Thursday, December 13, 2012, the Planning and Zoning Commission approved the Final Subdivision Plan for the development. The Amenities Plan complies with the Sussex County Zoning and Subdivision Code and all conditions of approval. Tax Parcels: 234-7.00-132.00 & 234-12.00-22.00 (portion of). Zoning: AR-1 (Agricultural Residential Zoning District). Staff are awaiting agency approvals.


Lands of Stoney Creek Realty

HW

Minor Subdivision off a 30-ft easement

This is a Preliminary Subdivision Plan for a minor subdivision off a 30-ft easement over an existing driveway to create three (3) lots with a residual lot located off of Scott Land Road (S.C.R. 434). Lot 1 will measure 0.91 acre +/-, Lot 2 will measure 1.16 acre +/-, Lot 3 will measure 1.00 acres +/- and the residual lot will measure 1.91 acres +/- . Tax Parcel: 232-15.00-67.00. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are in receipt of all agency approvals.

LANDSCAPE CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY
SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH
THE APPLICABLE ORDINANCES OF SUSSEX COUNTY AND LAWS OF THE
STATE OF DELAWARE.

 12-9-19
DATE

PETER J. STONE, RLA,
PENNONI ASSOCIATES INC.
8818 CENTRE PARK DRIVE, SUITE 200
COLUMBIA, MD 21045 - (443) 537-2721

LEGEND

EXISTING

PLANT LABEL

LIGHTING LABEL

STORMPIPE, INLET, MANHOLE & FLARED END

WATER MAIN, VALVE, HYDRANT & METER PIT

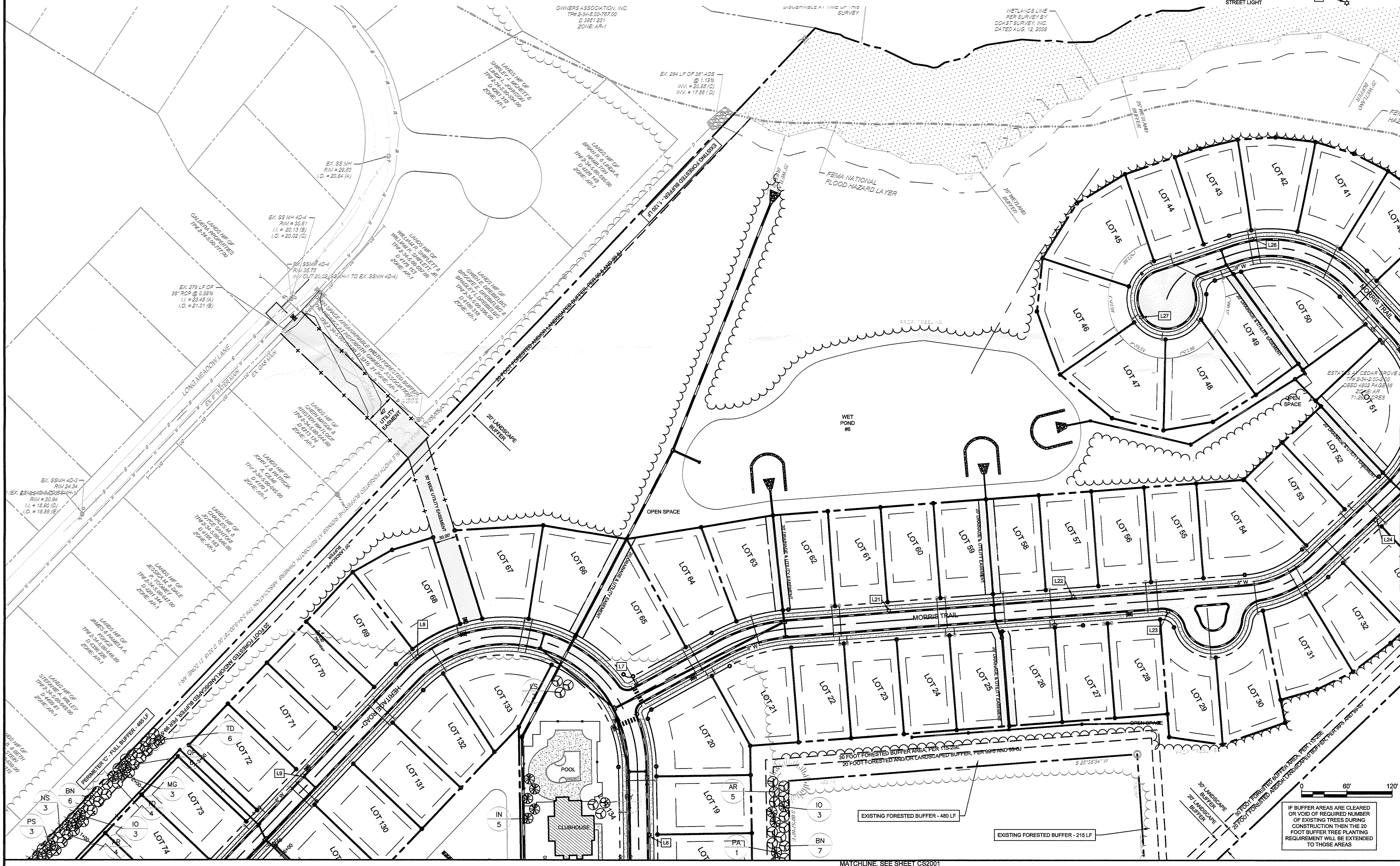
SEWER MAIN, MANHOLE & CLEAN OUT

STREET LIGHT

PROPOSED

WA = SPECIES
4 = QUANTITY

LIGHT #1



Pennonni

PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR
ON SITE. ANY DISCREPANCIES MUST BE NOTED ON
DISCREPANCIES BEFORE PROCEEDING WITH WORK

OCEAN MEADOWS
SUSSEX COUNTY, INDIAN RIVER HUNDRED
BEAVER DAM ROADS (SCR 295) LEWES, DE
TAX MAP: 234-2.00-2.00

LANDSCAPE AND LIGHTING PLAN

STONEMARK VENTURES, LLC.
12154 HAYLAND FARM WAY
ELLCOTT CITY, MARYLAND 21044


NO.	DATE	REVISIONS	BY
1	08-30-2019	REVISED PER DELOIT COMMENTS	LFS
2	07-26-2019	REVISED PER DELOIT COMMENTS	LFS
3	07-09-2019	REVISED PER SCD COMMENTS	LFS

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES
ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE
PROJECT. THEY ARE NOT INTENDED OR REPRESENTED
TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON
THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER
PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION
OR ADAPTATION BY PENNONI ASSOCIATES FOR THE
SPECIFIC PURPOSE INTENDED SHALL BE AT OWNER'S
SOLE RISK AND WITHOUT LIABILITY OR LEGAL
EXPOSURE TO PENNONI ASSOCIATES AND OWNERS.
PENNONI ASSOCIATES SHALL BE RESPONSIBLE FOR
EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: SM/SX190001
DATE: 2019-04-01
DRAWING SCALE: 1"=60'
DRAWN BY: TPM/MMP
APPROVED BY: AMD

CS2002
SHEET 11 OF 13

LANDSCAPE CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY
SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH
THE APPLICABLE ORDINANCES OF SUSSEX COUNTY AND LAWS OF THE
STATE OF DE AND AWARE.

 12-9-19
DATE

PETER J. STONE, RLA,
PENNONI ASSOCIATES INC.
8818 CENTRE PARK DRIVE, SUITE 200
COLUMBIA, MD 21045 - (443) 537-2721

EXISTING

PLANT LABEL

LIGHTING LABEL

STORMPIPE, INLET, MANHOLE & FLARED END

WATER MAIN, VALVE, HYDRANT & METER PIT


SEWER MAIN, MANHOLE & CLEAN OUT


STREET LIGHT


PROPOSED

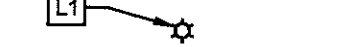
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4 = QUANTITY

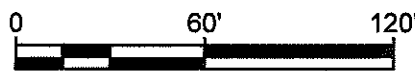
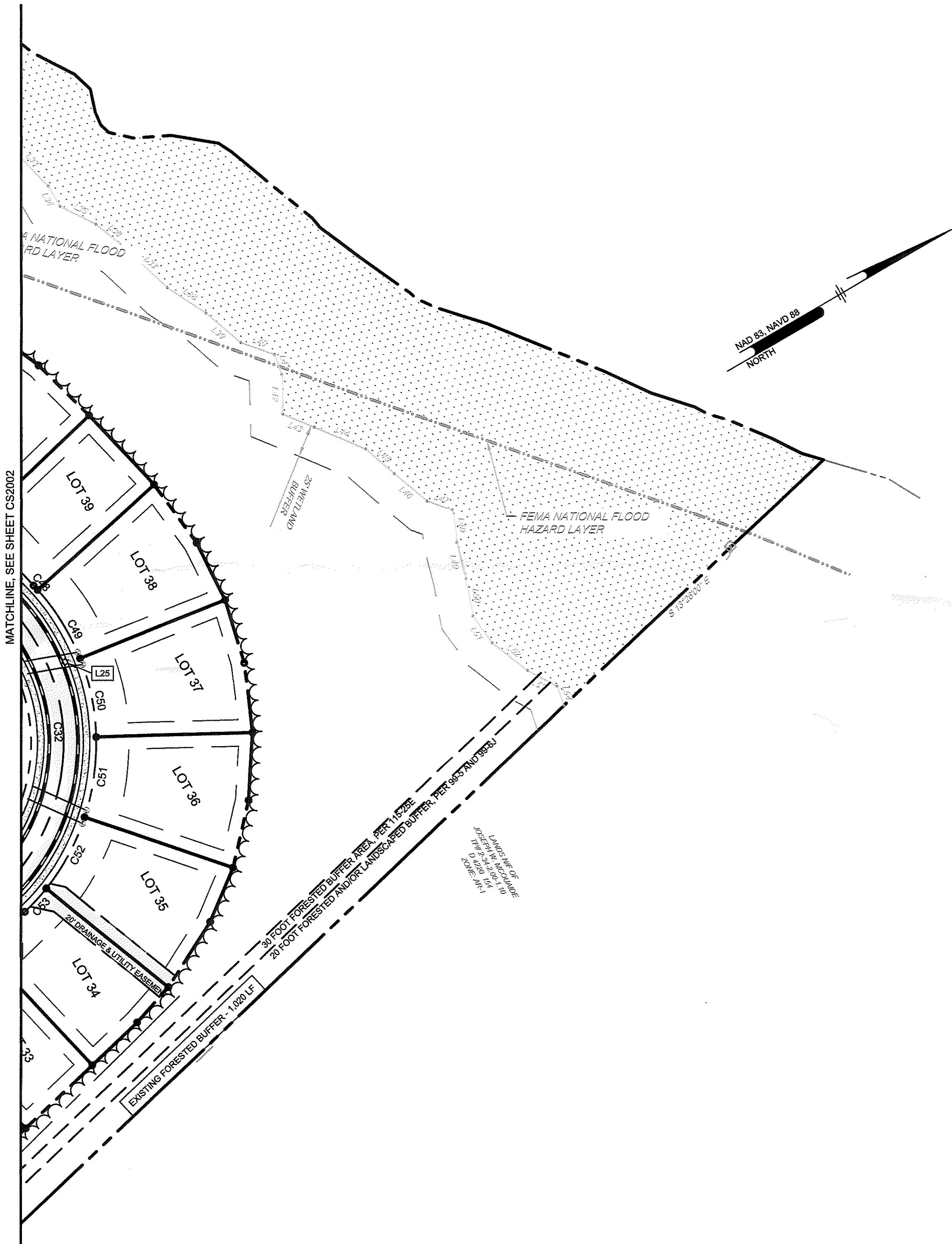
LIGHT #1











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Milton, DE 19868
T 302.684.8030 F 302.684.8054

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12-9-19

OCEAN MEADOWS
SUSSEX COUNTY - INDIAN RIVER HUNDRED
BEAVER DAM ROADS (SCR 285), LEWES, DE
TAX MAP: 234-2.00-2.00

LANDSCAPE AND LIGHTING PLAN
STONEMARK VENTURES, LLC.
12164 HAYLAND FARM WAY
ELLCOTT CITY, MARYLAND 21044

DATE	NO.	REVISIONS	BY
06-30-2019	3	REVISED PER DELOOT COMMENTS	LFS
07-26-2019	2	REVISED PER DELOOT COMMENTS	LFS
07-08-2019	1	REVISED PER SCD COMMENTS	LFS

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	SMVSX19001
DATE	2019-04-01
DRAWING SCALE	1"=60'
DRAWN BY	TPM/MMP
APPROVED BY	AMD

CS2003
SHEET 12 OF 13



Remove all tags and labels foliage.

Top of root ball set to match finish grade. Apply fertilizer clear of shrub trunk per manufacturer specifications.

2-3" depth mulch inside saucer ring or continuous mulching for mass plantings.

3-4" soil saucer ring for #5 gal shrubs and larger. Water ring twice prior to mulching in order to settle root ball into pit soil mix.

4" min.

Pit backfill mix per notes and/or specifications

Planting pit w/ scarified sides and bottom. See pit size chart below for minimum width.

2.5 to 3 x Root ball width

C Shrub Planting
N.T.S.

PROPOSED LANDSCAPE BUFFER AREAS				
Buffer		Requirements	No. Required	No. Provided
B	LANDSCAPE STRIP "B" - 1,090 LF			
	Deciduous Tree	11 per 100 LF	120	120
	Evergreen Tree	4 per 100 LF	44	44
C	LANDSCAPE STRIP "C" - 465 LF			
	Deciduous Tree	11 per 100 LF	52	52
	Evergreen Tree	4 per 100 LF	20	20
D	LANDSCAPE STRIP "D" - 953' LF			
	Deciduous Tree	11 per 100 LF	105	105
	Evergreen Tree	4 per 100 LF	39	39
E	LANDSCAPE STRIP "E" - 465 LF			
	Deciduous Tree	11 per 100 LF	52	52
	Evergreen Tree	4 per 100 LF	20	20
F	LANDSCAPE STRIP "F" - 390 LF			
	Deciduous Tree	11 per 100 LF	43	43
	Evergreen Tree	4 per 100 LF	16	16
Total Deciduous Trees Provided				372
Total Coniferous Trees Provided				139
Total Provided Trees				511

PLANT LIST					
SYMBOL	QTY.	SCIENTIFIC/ COMMON NAME	SIZE	ROOT	REMARKS
SHADE TREES					
AR	69	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE	1.5" CAL.	B&B	PLANT AS SHOWN
BN	95	BETULA NIGRA 'HERITAGE' HERITAGE RIVER BIRCH	7-8' HT.	B&B	MULTI-STEM, PLANT AS SHOWN
NS	61	NYSSA SYLVATICA BLACK GUM	1.5" CAL.	B&B	PLANT AS SHOWN
QP	62	QUERCUS PALUSTRIS PIN OAK	1.5" CAL.	B&B	PLANT AS SHOWN
TC	1	TILIA CORDATA 'GREENSPIRE' GREENSPIRE LINDEN	1.5" CAL.	B&B	PLANT AS SHOWN
TD	88	TAXODIUM DISTICHUM BALD CYPRESS	1.5" CAL.	B&B	PLANT AS SHOWN
FLOWERING TREES					
AG	6	AMELANCHIER x GRANDIFLORA 'AUTUMN BRILLIANCE' AUTUMN BRILLIANCE SERVICE BERRY	6'-8' HT.	B&B	MULTI-STEM, PLANT AS SHOWN
CC	1	CERCIS CANADENSIS REDBUD	6'-8' HT.	B&B	SINGLE STEM, PLANT AS SHOWN
CK	2	CORNUS KOLSA KOLSA DOGWOOD	6'-8' HT.	B&B	PLANT AS SHOWN
LS	15	LAGERSTROEMIA x 'SIOUX' SIOUX CRAPEMYRTLE	6'-8' HT.	B&B	MULTI-STEM, PLANT AS SHOWN
PY	9	PRUNUS x YEDOENSIS YOSHINO CHERRY	6'-8' HT.	B&B	PLANT AS SHOWN
EVERGREEN TREES					
IN	8	ILEX 'NELLIE R. STEVENS' NELLIE R STEVENS HOLLY	5-6' HT.	B&B	PLANT AS SHOWN
JO	42	ILEX OPACA AMERICAN HOLLY	5-6' HT.	B&B	PLANT AS SHOWN
MG	37	MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA	5-6' HT.	B&B	PLANT AS SHOWN
PA	27	PICEA ABIES NORWAY SPRUCE	5-6' HT.	B&B	PLANT AS SHOWN
PS	33	PINUS STROBUS WHITE PINE	5-6' HT.	B&B	PLANT AS SHOWN

* PLANT SPECIES SHOWN ARE A REPRESENTATION OF THE TYPE OF SPECIES NEEDED TO MEET REQUIREMENTS. THE DEVELOPER MAY SUBSTITUTE THE PLANTING TYPES PROVIDED THAT THE REPLACEMENT MEETS THE INTENT OF THE ORIGINAL PLANS AND SATISFIES SUSSEX COUNTY REQUIREMENTS REGARDING THE FORESTED/LANDSCAPED BUFFER.

1. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK".
2. CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR AFTER INSTALLATION IS COMPLETE AND FINAL ACCEPTANCE OF PHASE I SITE WORK HAS BEEN GIVEN. AT THE END OF ONE YEAR ALL PLANT MATERIAL WHICH IS DEAD OR DYING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AS ORIGINALLY SPECIFIED.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
4. NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER.
5. ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN).
6. EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
7. ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 12'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STAKING DETAIL SHOWN.
8. THE FULL EXTENT OF ALL PLANTING BEDS SHALL RECEIVE 4" OF TOPSOIL AND 3" OF BARK MULCH PER SPECIFICATIONS.
9. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
10. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
11. THE CONTRACTOR IS EXPECTED TO MAINTAIN PLANTINGS, INCLUDING WATERING ALL PLANTS ANY TIME FROM APRIL TO DECEMBER WHEN NATURAL RAINFALL IS LESS THAN ONE INCH PER WEEK.
12. THE DEVELOPER OR HOME OWNERS ASSOCIATION SHALL BEAR THE RESPONSIBILITY OF REPLACING ANY LANDSCAPING WITHIN SUSSEX COUNTY SEWER EASEMENTS THAT IS DESTROYED OR DAMAGED DUE TO SEWER SYSTEM MAINTENANCE, REPLACEMENT, OR EXTENSION.
13. THE ACTUAL STREET TREE LOCATION SHALL BE COORDINATED DURING LOT CONSTRUCTION. STREET TREES SHALL BE LOCATED WITHIN A 20 FEET OF THE LOCATION SHOWN ON THE PLANS. A 10-FOOT HORIZONTAL CLEARANCE SHALL BE MAINTAINED FROM ALL WATER AND SEWER LATERALS.
14. THE SUBDIVISION SIDES AND REAR REQUIRE A 30' LANDSCAPE BUFFER MEETING THE FOLLOWING: A PLANTING STRIP AT LEAST 30 FEET WIDE NEAR THE PROPERTY LINE WHICH SHALL INCLUDE TWO CANOPY TREES, FOUR UNDERSTORY TREES AND 10 SHRUBS PER 100 LINEAR FEET OF BUFFER.
15. ALL DECIDUOUS TREES THAT ARE PLANTED TO ESTABLISH THE BUFFER PLANTINGS SHALL HAVE A MINIMUM CANOPY OF 1.5 INCHES AND A MINIMUM HEIGHT OF SIX FEET ABOVE GROUND WHEN PLANTED IN ORDER TO INSURE THAT THE TREES WILL BE CAPABLE OF OBTAINING A MINIMUM HEIGHT OF 10 FEET ABOVE GROUND WITHIN FIVE YEARS OF BEING PLANTED.
16. ALL EVERGREEN TREES THAT ARE PLANTED TO ESTABLISH THE BUFFER PLANTINGS SHALL HAVE A MINIMUM HEIGHT OF FIVE FEET ABOVE GROUND WHEN PLANTED IN ORDER TO INSURE THAT THEY ARE REASONABLY CAPABLE OF ATTAINING A MINIMUM HEIGHT OF 10 FEET ABOVE GROUND WITHIN FIVE YEARS OF BEING PLANTED.
17. THE BUFFER AREA SHALL HAVE A FINAL GRADE THAT CONTAINS A MINIMUM OF FOUR INCHES OF TOPSOIL AND A SUITABLE GRASS MIX PLANTED AS SACRIFICIAL COVER BETWEEN THE BUFFER TREES FOR SOIL STABILIZATION UNTIL THE NEWLY PLANTED TREES BECOME LARGER. THE PLAN MAY SUBSTITUTE WOODCHIPS FOR PLANTED GRASS BETWEEN THE BUFFER TREES IN RESPECT TO BOTH NEWLY PLANTED AND EXISTING TREES, AS DETERMINED BY THE LANDSCAPE ARCHITECT.
18. THE FORESTED AND/OR LANDSCAPE BUFFER SHALL BE INSTALLED WITHIN 18 MONTHS FROM THE DATE SITE WORK IS AUTHORIZED TO COMMENCE, AS DOCUMENTED BY A NOTICE TO PROCEED LETTER FROM THE COMMISSION.
19. THE LAND DEVELOPER SHALL BE HELD RESPONSIBLE FOR THE HEALTH AND SURVIVAL OF THE TREES. UNTIL REGULAR NECESSARY WATERING FOR A MINIMUM OF TWO YEARS OR UNTIL SUCH LATER DATE AS THE MAINTENANCE RESPONSIBILITIES ARE TRANSFERRED TO A HOMEOWNERS' ASSOCIATION, PROVIDED, HOWEVER, THAT THE DEVELOPER SHALL REPLACE ANY TREES THAT DIE DURING THE MINIMUM TWO-YEAR DESIGNATED MAINTENANCE PRIOR TO TRANSFERRING MAINTENANCE RESPONSIBILITIES TO A HOMEOWNERS' ASSOCIATION.
20. THE PERPETUAL MAINTENANCE OF THE BUFFER PLANTINGS BY A HOMEOWNERS' ASSOCIATION SHALL BE ASSURED THROUGH THE RESTRICTIVE COVENANTS AND/OR HOMEOWNERS' ASSOCIATION DOCUMENTS WHICH ARE OBLIGATORY UPON THE PURCHASERS THROUGH ASSESSMENTS BY THE HOMEOWNERS' ASSOCIATION.
21. PER 99-5 FORESTED AND/OR LANDSCAPE BUFFER STRIP.
 - a. 15 TREES EVERY 100 FEET ALONG LENGTH OF BUFFER.
 - 70% DECIDUOUS
 - 30% EVERGREEN



Blue Heron

Landscape & Design

A BHCC Company

PO Box 148 Parsonsburg MD 21849

www.blueheronlandscape.com

410.341.9500

Sussex County Planning & Zoning
22215 Dupont Blvd.
Georgetown, DE 19947
Attn. Jennifer Norwood

RE: Ocean Meadows Tree Buffer
Beaver Dam Rd, Lewes, DE 19958

23 September 2020

To whom it may concern,

We are requesting a change in tree buffer species for the above referenced community. This request is based on the need for additional year-round screening between communities. This change will increase the value and privacy of this community plus the other communities adjacent to the buffer. Currently we have a mixture of 70% deciduous trees and 30% evergreen. The density of deciduous trees that lose their foliage means 70% of the screening is gone for at least 50% of the year. We are requesting the ratio be changed to a 60/40 mixture with 60% evergreen and 40% deciduous trees. The value of the trees we have chosen is equivalent to our current approved buffer tree value. Therefore, this change would not affect the bond value.

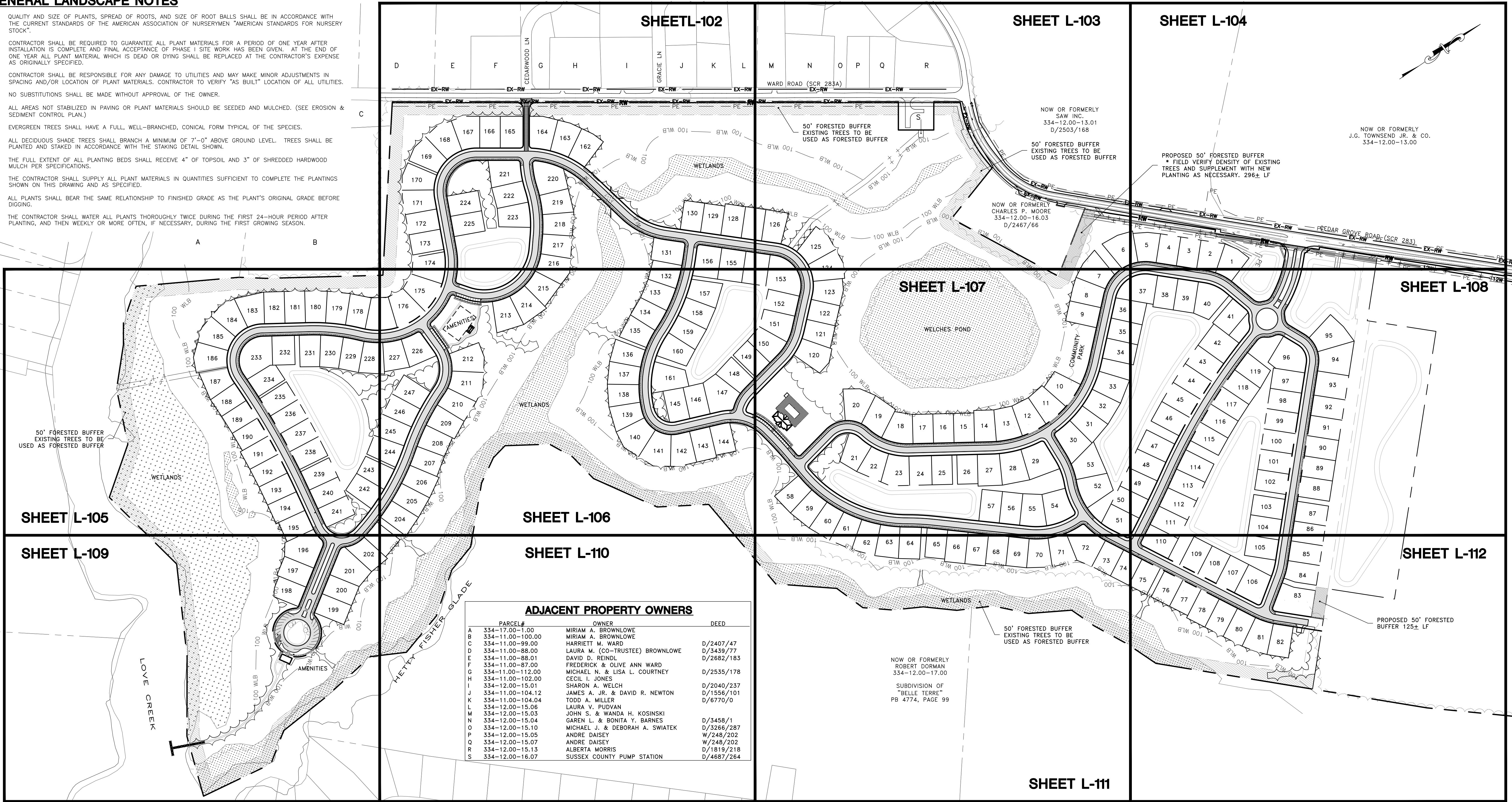
We would like to add the following species for consideration: Eastern Red Cedar , Wax Myrtle Tree, Green Giant Arborvitae, Nellie Stevens Holly.

Thank you for your kind consideration.

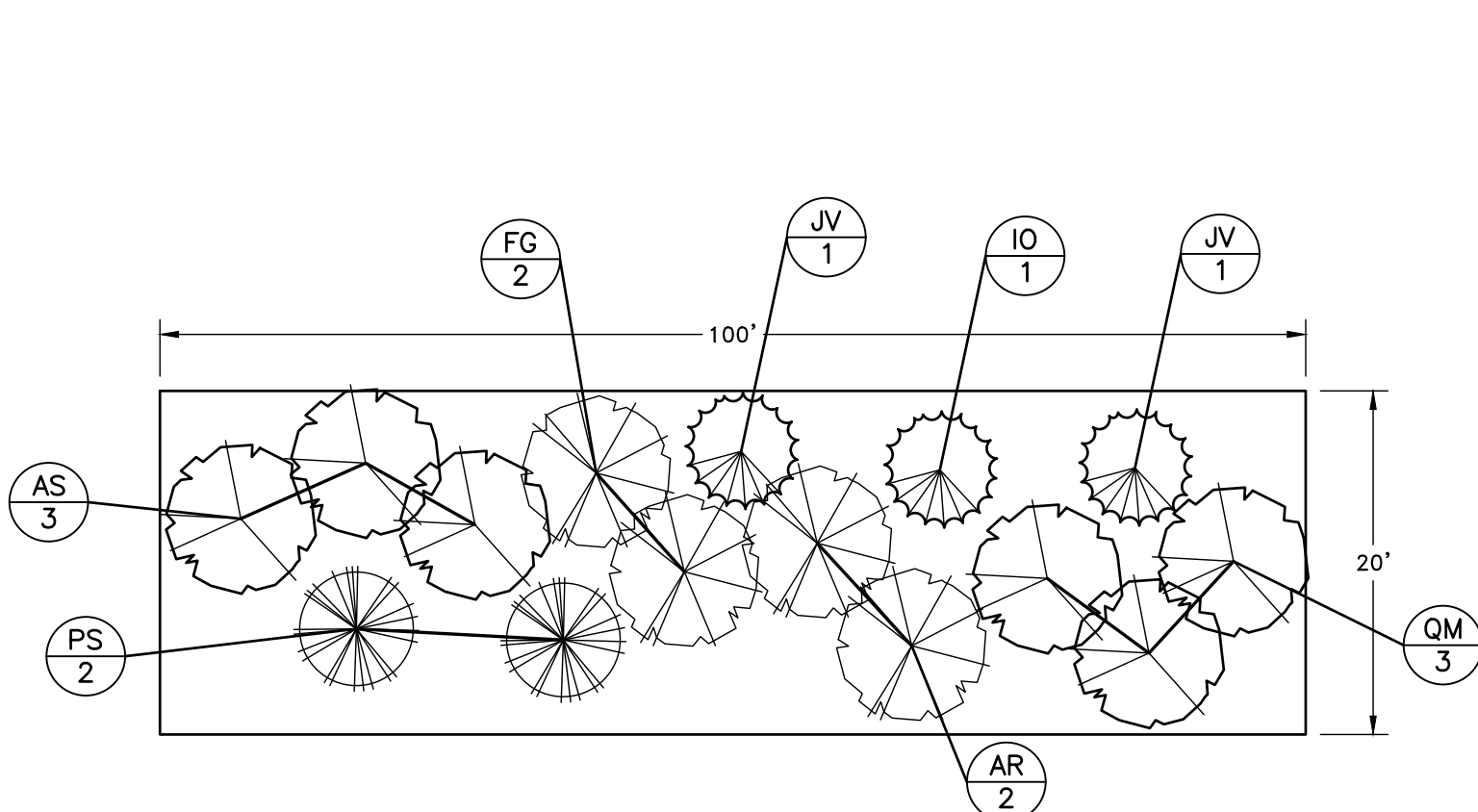
Jason Hearn
Vice President
Blue Heron Landscape & Design
A BHCC Company

GENERAL LANDSCAPE NOTES

- 1 QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF ROOT BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSEYMEN "AMERICAN STANDARDS FOR NURSERY STOCK".
- 2 CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR AFTER INSTALLATION IS COMPLETE AND FINAL ACCEPTANCE OF PHASE I SITE WORK HAS BEEN GIVEN. AT THE END OF ONE YEAR ALL PLANT MATERIAL WHICH IS DEAD OR DYING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AS ORIGINALLY SPECIFIED.
- 3 CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
- 4 NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER.
- 5 ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN.)
- 6 EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
- 7 ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 7'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STAKING DETAIL SHOWN.
- 8 THE FULL EXTENT OF ALL PLANTING BEDS SHALL RECEIVE 4" OF TOPSOIL AND 3" OF SHREDDED HARDWOOD MULCH PER SPECIFICATIONS.
- 9 THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
- 10 ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
- 11 THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.

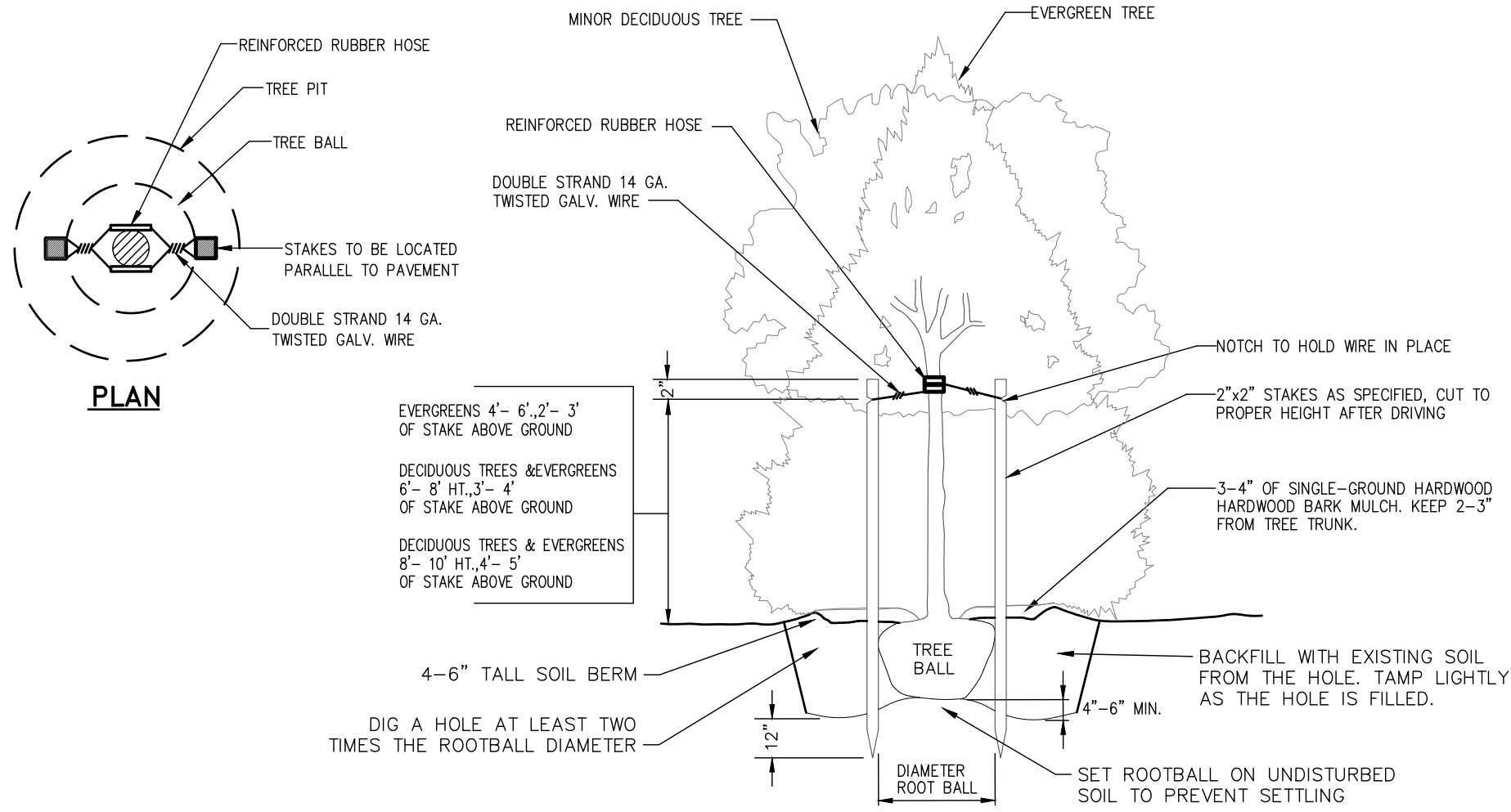


ADJACENT PROPERTY OWNERS			
PARCEL#	OWNER	DEED	
A 334-17.00-1.00	MIRIAM A. BROWNLOWE		
B 334-11.00-100.00	MIRIAM A. BROWNLOWE		
C 334-11.00-99.00	HARRIETT M. WARD	D/2407/47	
D 334-11.00-88.00	LAURA M. (CO-TRUSTEE) BROWNLOWE	D/3439/77	
E 334-11.00-88.01	DAVID D. REINDL	D/2682/183	
F 334-11.00-87.00	FREDERICK & OLIVE ANN WARD		
G 334-11.00-112.00	MICHAEL N. & LISA L. COURTNEY	D/2535/178	
H 334-11.00-102.00	CECIL I. JONES	D/2040/237	
I 334-12.00-15.01	SHARON A. WELCH	D/1556/101	
J 334-11.00-104.12	JAMES A. JR. & DAVID R. NEWTON	D/6770/0	
K 334-11.00-104.04	TODD A. MILLER		
L 334-12.00-15.06	LAURA V. PUDVAN		
M 334-12.00-15.03	JOHN S. & WANDA H. KOSINSKI	D/3458/1	
N 334-12.00-15.04	GAREN L. & BONITA Y. BARNES	D/3266/287	
O 334-12.00-15.10	MICHAEL J. & DEBORAH A. SWIATEK	W/248/202	
P 334-12.00-15.05	ANDRE DAISEY	W/248/202	
Q 334-12.00-15.07	ANDRE DAISEY	D/1819/218	
R 334-12.00-15.13	ALBERTA MORRIS	D/4687/264	
S 334-12.00-16.07	SUSSEX COUNTY PUMP STATION		



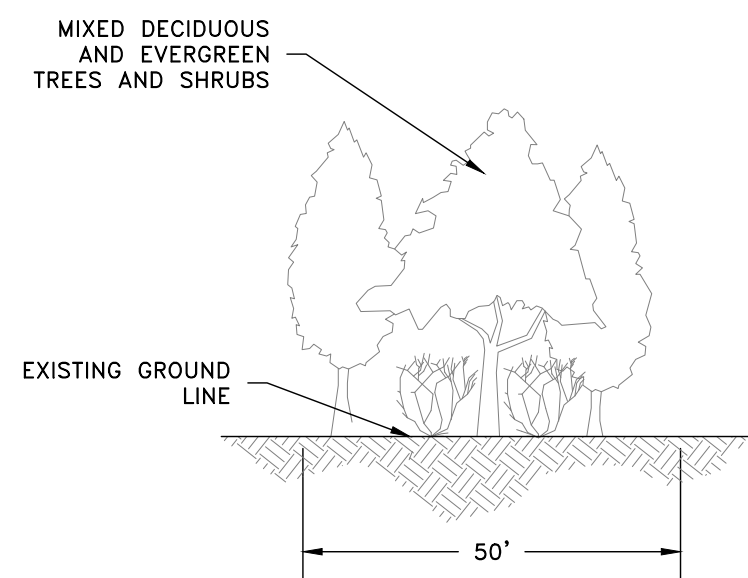
TYPICAL FORESTED BUFFER 100' X 20'

NOT TO SCALE



STAKING DETAIL








NO SCALE



LANDSCAPE BUFFER DETAIL

NO SCALE

EXISTING FORESTED BUFFER PROPOSED FORESTED BUFFER

FORESTED BUFFER PLANT SCHEDULE						
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	
DECIDUOUS TREE						
	AR	ACER rubrum	RED MAPLE	1 3/4 – 2" Cal., B&B	TBD	
	AS	ACER saccharum	SUGAR MAPLE	1 3/4 – 2" Cal., B&B	TBD	
	QM	QUERCUS phellos	WILLOW OAK	1 3/4 – 2" Cal., B&B	TBD	
	FG	FAGUS grandifolia	AMERICAN BEECH	1 3/4 – 2" Cal., B&B	TBD	
					TOTAL	TBD
EVERGREEN TREE						
	PS	PINUS strobus	EASTERN WHITE PINE	5'-6" Ht., B&B	TBD	
	JV	JUNIPERUS virginiana	EASTERN RED CEDAR	5'-6" Ht., B&B	TBD	
	IO	ILEX opaca	AMERICAN HOLLY	5'-6" Ht., B&B	TBD	
					TOTAL	TBD

NOTE:

296± L.F. OF PROPOSED FORESTED BUFFER EXISTING TREE DENSITY TO BE FIELD VERIFIED AND SUPPLEMENTED WITH NEW PLANTING AS NECESSARY.

12,855± L.F. OF FORESTED BUFFER PROVIDED BY EXISTING TREES



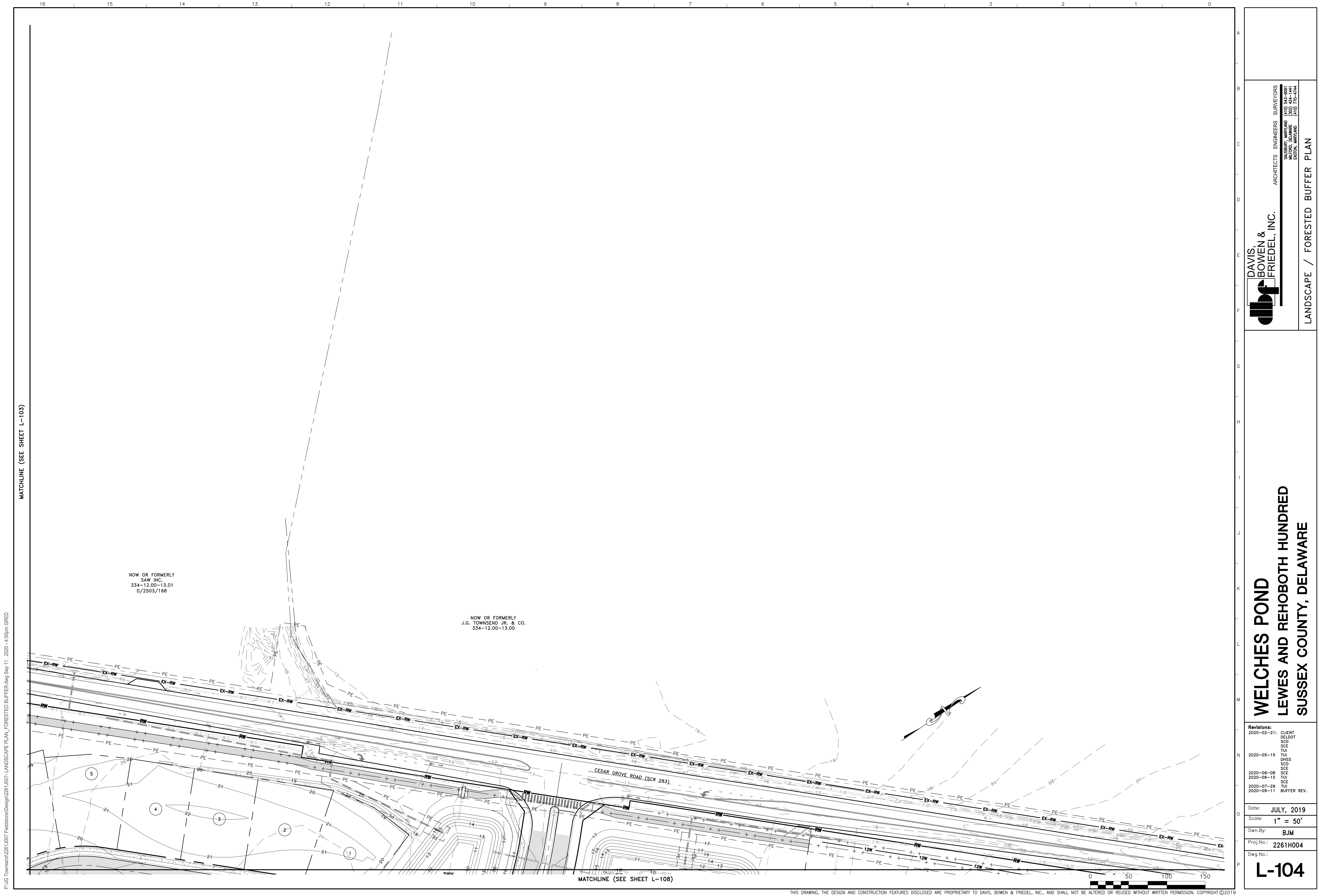
WELCHES POND
LEWES AND REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

Revisions:
2020-02-21: CLIENT DELDOT
2020-05-15: SCE
2020-06-08: SCE
2020-06-15: TUI
2020-07-29: TUI
2020-09-11: BUFFER REV.

Date: JULY, 2019
Scale: 1" = 200'
Dwn.By: BJM
Proj.No.: 2261H004
Dwg.No.:

L-101

DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
SUSSEX COUNTY, DELAWARE
LANDSCAPE / FORESTED BUFFER PLAN OVERVIEW



MATCHLINE (SEE SHEET L-103)

NOW OR FORMERLY
SAW INC.
334-12.00-13.01
0/2503/168

NOW OR FORMERLY
J.G. TOWNSEND JR. & CO.
334-12.00-13.00

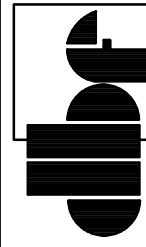
MATCHLINE (SEE SHEET L-108)



WELCHES POND LEWES AND REHOBOTH HUNDRED SUSSEX COUNTY, DELAWARE

Revisions:	
2020-02-21:	CLIENT DELDOT SCE TUI
2020-05-15	TUI DHSS SCE SCE
2020-06-08	SCE
2020-06-15	TUI
2020-07-29	TUI
2020-09-11	BUFFER REV.

Date:	JULY, 2019
Scale:	1" = 50'
Dwn.By:	BJM
Proj.No.:	2261H004
Dwg.No.:	L-104



**DAVIS,
BOWEN &
FRIEDEL, INC.**

ARCHITECTS ENGINEERS SURVEYORS

DELAWARE MARYLAND VIRGINIA
SUSSEX COUNTY, DELAWARE
MILFORD, DELAWARE
EASTON, MARYLAND

(410) 424-2800
(302) 424-1441
(410) 770-4744

LANDSCAPE / FORESTED BUFFER PLAN

*Michael R. Wigley, AIA, LEED AP
W. Zachary Crouch, P.E.
Michael E. Wheedleton, AIA
Jason P. Loar, P.E.
Ring W. Lardner, P.E.
Jamie L. Sechler, P.E.*

September 14, 2020

Sussex County Planning and Zoning
2 The Circle
Georgetown, DE 19947

Attn: Lauren DeVore
Planner III

RE: **Welches Pond (fka Fieldstone)**
Subdivision Buffer Waiver
Tax Map No.: 3-34-12.00-16.00
DBF #: 2261H004

Dear Ms. DeVore:

On behalf of our client, JLAM, LLC, we are requesting a waiver from the required Subdivision buffer (20') on the eastern property line separating the Subdivision from the Residual Land where there are ponds that act as a buffer. A large pond behind lots 84-95 will separate most of the homes from the residual lands and will act as a buffer. A buffer remains behind lot 83. The purpose of this request is formally seeking a buffer waiver that was intended to be requested during the preliminary plan stage. Included with this request are the following:

- One (1) set of revised Landscape Plans, sheets: L-101, L-104, L-108, & L-112
- PDF set of revised Landscape plans (via email)

If you have any questions or require additional information, please do not hesitate to contact me at (302) 424-1441 or via email at cdm@dbfinc.com.

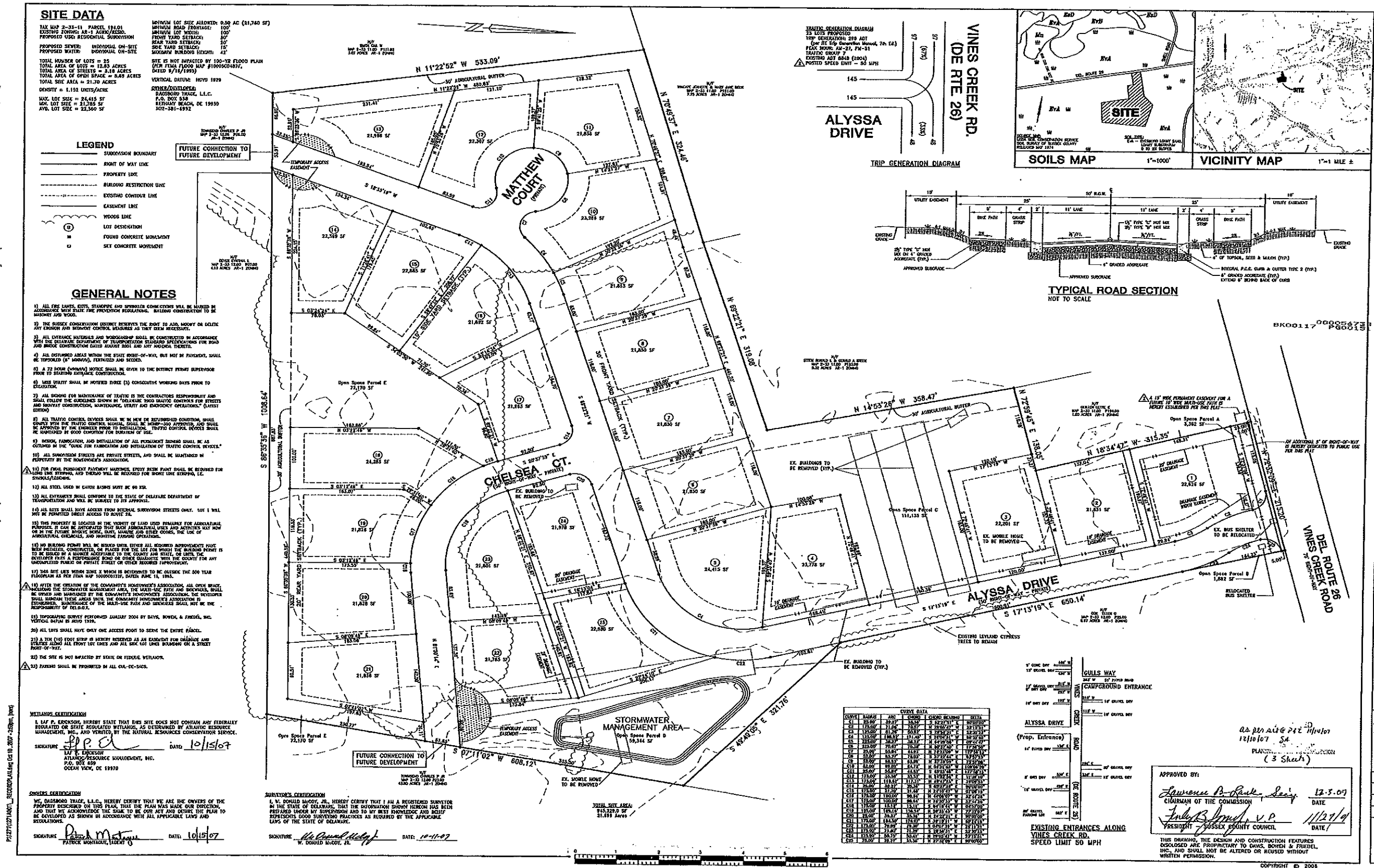
Sincerely,
DAVIS, BOWEN & FRIEDEL, INC.



Cliff Mumford, P.E.
Associate

P:\JG Townsend\2261J007 Fieldstone\Documents\SC P&Z\2020-08-14 Buffer Waiver\Cover Letter.docx

cc: Nick Hammonds, JLAM, LLC



117-151

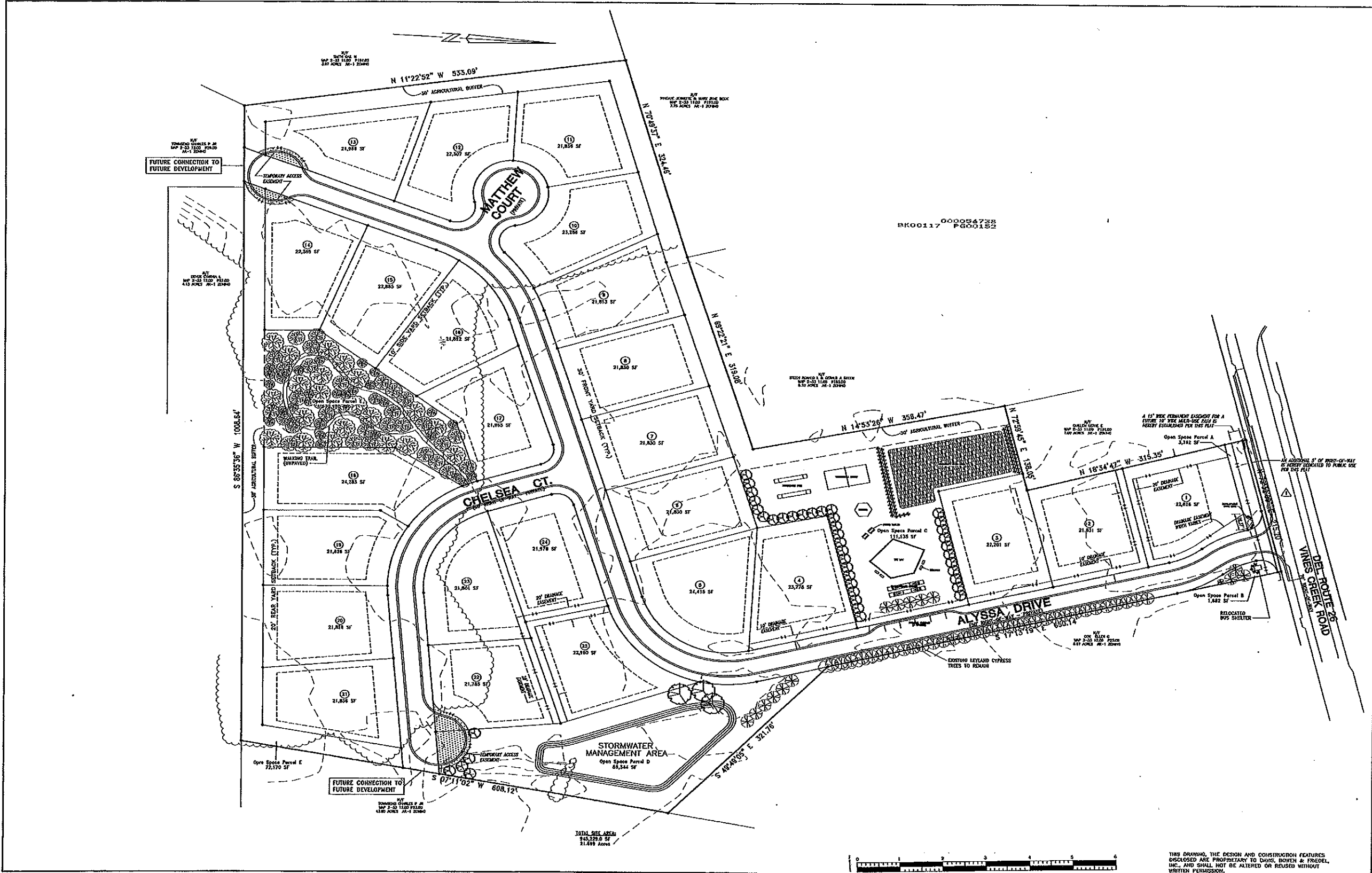
DAVIS, BOWEN & FRIEDEL, INC.
 ARCHITECTS, ENGINEERS, SURVEYORS
 1000 MARKET STREET, SUITE 200
 DELEWARE, DE 19701
 PHONE: (302) 441-1111
 FAX: (302) 441-1112

SUBDIVISION PLAN

DAGSBORO TRACE
 DAGSBORO HUNDRED
 SUSSEX COUNTY, DELAWARE

Revisions:
 1. SCD COMMENTS 12-08-04
 2. AGENCY COMMENTS 03-10-07

DATE: MARCH, 2005
 Scale: 1"=60'
 Drawn By: WDM
 Proj. No.: 1271A001
 1 OF 2



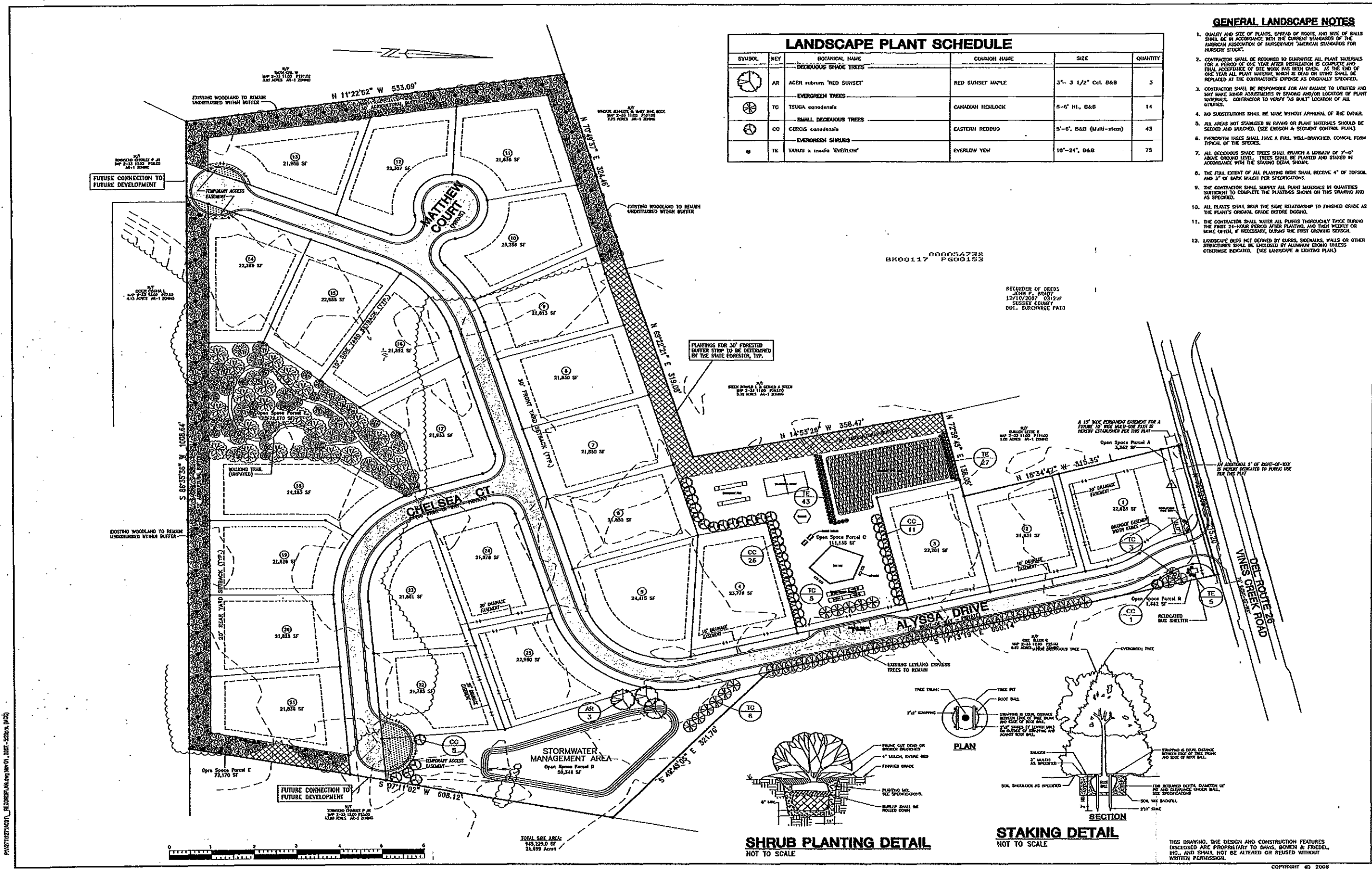
DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
SUSSEX COUNTY, DELAWARE
1100 N. MARKET STREET, SUITE 200
MILFORD, DE 19968
(302) 424-1441

DAGSBORO TRACE
DAGSBORO HUNDRED
SUSSEX COUNTY, DELAWARE

Revisions:
1. LAYOUT REVISED 10-31-05
2. REVISIONS 11-08-06

Date: MARCH, 2005
Scale: 1"=60'
Drawn: WDM
Proj. No.: 1271A001
Desig. No.: 2 OF 2

SITE DETAILS - OPEN SPACE AREAS



DAGSBORO TRACE
DAGSBORO HUNDRED
SUSSEX COUNTY, DELAWARE

Revised: 10-31-05
12-08-04

Date: MARCH, 2005
Scale: 1"=60'
Dwg. No.: WDM
Proj. No.: 1271A001
Dwg. No.: 2 OF 2

2 OF 2

GENERAL NOTES:

- 1) CLASS "B", SUBURBAN SURVEY
- 2) SOURCE OF TITLE: DEED BOOK 1990, PAGE 258
- 3) THIS BOUNDARY SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMPLETE TITLE REPORT AND IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS AND/OR RIGHTS OF WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH
- 4) THIS PROPERTY FALLS WITHIN THE LIMITS OF ZONE "X" AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP 10005C0260 K, EFFECTIVE DATE 3/16/2015
- 5) AS PER THE NATIONAL WETLANDS INVENTORY MAPS AVAILABLE ONLINE, THIS PROPERTY IS NOT IMPACTED BY WETLANDS
- 6) SETBACKS:
FRONT: 30' OFF OF EASEMENT
SIDE: 15'
REAR: 20'
- 7) SEE MINUTES OF THE PLANNING AND ZONING COMMISSION FROM OCTOBER 10, 2019 FOR PRELIMINARY APPROVAL

DATA COLUMN:

- 1) OWNER: CHERYL B. RUSSELL
14210 RUSSELL ROAD
BRIDGEVILLE, DE 19933
- 2) TAX MAP NO. 4-30-21.00, PARCEL 7.01
- 3) OTHER THAN SHOWN HEREON, THIS SURVEY PLOT DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHTS-OF-WAY OR EASEMENTS ON THIS PROPERTY. NO TITLE SEARCH WAS REQUESTED OR PERFORMED.
- 4) TOTAL NUMBER OF LOTS: 2
- 5) TOTAL FRONTAGE: 208.71'
- 6) GROSS ACREAGE: 10.000 ACRES± (TOTAL)
- 7) RESIDUAL AREA: 6.408± ACRES
- 8) ZONING: AR 1
- 9) PRESENT USE: AGRICULTURAL/RESIDENTIAL
- 10) PROPOSED USE: AGRICULTURAL/RESIDENTIAL
- 11) WATER: ON SITE WELL
- 12) SEPTIC: ON SITE SEPTIC
- 13) POSTED SPEED LIMIT: 50 MPH
- 14) THIS PROPERTY DOES NOT FALL WITHIN A TRANSPORTATION IMPROVEMENT DISTRICT

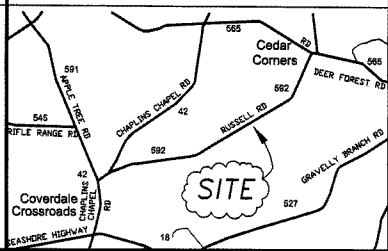
DELDOT NOTES:

- 1) ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- 2) SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- 3) IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
- 4) LOT 2 & LOT 3 SHALL HAVE ACCESS TO SCR 592 VIA THE 50' WIDE INGRESS/EGRESS EASEMENT AS SHOWN HEREON.
- 5) REVISED PARCEL "A" SHALL USE EXISTING ACCESS TO SCR 592.

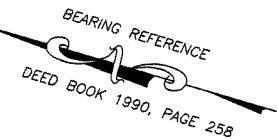
AGRICULTURE USE PROTECTIONS:

- 1) THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES
- 2) NO IMPROVEMENT REQUIRING OCCUPANCY APPROVAL FOR A RESIDENTIAL TYPE USE SHALL BE CONSTRUCTED WITHIN 50 FEET OF THE BOUNDARY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES.

LOCATION MAP: SCALE: 1"=1 MILE



Document # 202000002156 BK: 300 PG: 88
On 1/15/2020 at 10:22:24 AM
RECORDER OF DEEDS Scott Dailey
Sussex County
Consideration: \$0.00
Doc Surcharge Paid



LANDS N.O.F.
THE ADAMS-RUSSELL FAMILY TRUST
DEED BOOK 5005, PAGE 139
TAX MAP NO. 4-30-21.00, PARCEL 9.00
CURRENT ZONING: AR-1

A 30' WIDE STRIP OF RIGHT-OF-WAY FROM CENTERLINE IS HEREBY DEDICATED TO THE STATE OF DELAWARE AS PER THIS PLAN

RESIDUAL LANDS N.O.F.
CHERYL B. RUSSELL
REVISED PARCEL "A"
DEED BOOK 1990, PAGE 258
6.408± ACRES (AS REVISED)

LANDS N.O.F.
CHERYL B. RUSSELL & CARLOS J. RUSSELL
DEED BOOK 5056, PAGE 60
TAX MAP NO. 4-30-21.00, PARCEL 7.00
CURRENT ZONING: AR-1

LANDS N.O.F.
HOWARD LEE JOHNSON, III
DEED BOOK 3298, PAGE 19
TAX MAP NO. 4-30-21.00, PARCEL 7.02
CURRENT ZONING: AR-1

LANDS N.O.F.
CHERYL B. RUSSELL & CARLOS J. RUSSELL
DEED BOOK 5056, PAGE 60
TAX MAP NO. 4-30-21.00, PARCEL 7.00
CURRENT ZONING: AR-1

FIRE MARSHAL NOTES:

- 1) MAXIMUM BUILDING HEIGHT: 42' (PER ZONING CODE)
- 2) ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.

OWNER'S CERTIFICATION:

I, CHERYL B. RUSSELL, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND THAT I DESIRE THE PLAN TO BE RECORDED ACCORDING TO THE LAW.

Cheryl B. Russell 12-28-2019
CHERYL B. RUSSELL DATE

SURVEYOR'S STATEMENT:

I, R.B. KEMP, III, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

R.B. KEMP, III, P.L.S. 541

LEGEND:

- FOUND IRON PIPE
- SET IRON BAR
- ◆ UTILITY POLE
- PROPOSED PROPERTY LINE
- - - EXISTING PROPERTY LINE
- - - CENTERLINE ROAD
- - - DEDICATION LINE
- - - SIGHT TRIANGLE

PREPARED BY
ADAMS-KEMP ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
AND PLANNERS
217 SOUTH RACE STREET
GEORGETOWN, DELAWARE 19947
WWW.ADAMSKEMP.COM

SUBDIVISION SURVEY PLAN

PREPARED FOR
CHERYL B. RUSSELL
(A.K.A. CHERYL R. PROCTOR)
SITUATED IN
NANTICOKE HUNDRED, SUSSEX COUNTY, STATE OF DELAWARE
AREA: 9.002 ACRES± (TOTAL)
SCALE: 1" = 50'
DATE: OCTOBER 28, 2019; REVISED: DECEMBER 11, 2019

Planning and Zoning Commission
PO Box 417
Georgetown, DE 19947


To whom it may concern,

I own LOTS 8 THRU 17 in the Dagsboro Trace community near Dagsboro, Delaware. The original site plan for Dagsboro Trace includes an asphalt sidewalk.

☐ I support installing the sidewalk as per the original site plan.

☒ I do not support installing the sidewalk. Please consider an amended site plan that excludes the sidewalk.

Thank you for your consideration,

PR BUILDERS WC


April 11, 2020

Planning and Zoning Commission
PO Box 417
Georgetown, DE 19947

RECEIVED

APR 22 2020

SUSSEX COUNTY
PLANNING & ZONING

To whom it may concern,

I own a home located at 31919 Chelsea Court in the Dagsboro Trace community near Dagsboro, Delaware. The original site plan for Dagsboro Trace includes an asphalt sidewalk.

 I support installing the sidewalk as per the original site plan.

 X I do not support installing the sidewalk. Please consider an amended site plan that excludes the sidewalk.

Thank you for your consideration,

Richard & Diane Bilski

Richard Bilski

Diane Bilski

April 11, 2020

Planning and Zoning Commission
PO Box 417
Georgetown, DE 19947

RECEIVED

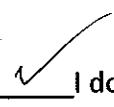
JUL 15 2020

SUSSEX COUNTY
PLANNING & ZONING

To whom it may concern,

I own a home located at 30784 Alyssa Drive in the Dagsboro Trace community near Dagsboro, Delaware. The original site plan for Dagsboro Trace includes an asphalt sidewalk.

_____ I support installing the sidewalk as per the original site plan.

 _____ I do not support installing the sidewalk. Please consider an amended site plan that excludes the sidewalk.

Thank you for your consideration,

Royce Alexander & Nicole Hatcher

April 11, 2020

Planning and Zoning Commission
PO Box 417
Georgetown, DE 19947

RECEIVED

MAY 11 2020

SUSSEX COUNTY
PLANNING & ZONING

To whom it may concern,

I own a home located at 30787 Alyssa Drive in the Dagsboro Trace community near Dagsboro, Delaware. The original site plan for Dagsboro Trace includes an asphalt sidewalk.

_____ I support installing the sidewalk as per the original site plan.

~~_____~~ I do not support installing the sidewalk. Please consider an amended site plan that excludes the sidewalk.

Thank you for your consideration,

Lori Ott

April 11, 2020

Planning and Zoning Commission
PO Box 417
Georgetown, DE 19947

To whom it may concern,

I own a home located at 31918 Chelsea Court in the Dagsboro Trace community near Dagsboro, Delaware. The original site plan for Dagsboro Trace includes an asphalt sidewalk.

_____ I support installing the sidewalk as per the original site plan.

☒ I do not support installing the sidewalk. Please consider an amended site plan that excludes the sidewalk.

Thank you for your consideration,

James & Deborah Costello

RECEIVED

APR 17 2020

SUSSEX COUNTY
PLANNING & ZONING

April 11, 2020

Planning and Zoning Commission
PO Box 417
Georgetown, DE 19947

To whom it may concern,

I own a home in the Dagsboro Trace community near Dagsboro, Delaware. The original site plan for Dagsboro Trace includes an asphalt sidewalk.

 I support installing the sidewalk as per the original site plan.

X I do not support installing the sidewalk. Please consider an amended site plan that excludes the sidewalk.

Thank you for your consideration,

Danny & Susan Goldsmith

Susan Goldsmith
Danny Goldsmith

RECEIVED

APR 17 2020

SUSSEX COUNTY
PLANNING & ZONING

April 11, 2020

Planning and Zoning Commission
PO Box 417
Georgetown, DE 19947

RECEIVED

APR 22 2020
SUSSEX COUNTY
PLANNING & ZONING

To whom it may concern,

I own a home located at 30772 Alyssa Drive in the Dagsboro Trace community near Dagsboro, Delaware. The original site plan for Dagsboro Trace includes an asphalt sidewalk.

_____ I support installing the sidewalk as per the original site plan.

✓ I do not support installing the sidewalk. Please consider an amended site plan that excludes the sidewalk.

Thank you for your consideration,

Karen Carroll & Shirley Taylor

Jennifer Norwood

From: PR Builders Inc BUILDERS INC <sandl50@comcast.net>
Sent: Monday, August 31, 2020 2:59 PM
To: Jennifer Norwood
Subject: Re: Dagsboro Trace
Attachments: 200831143021.pdf

In addition to the residences not wanting the bike path there are transformers and street lights in the way.

On 08/31/2020 2:25 PM PR Builders Inc BUILDERS INC <sandl50@comcast.net> wrote:

Will this work?

On 08/27/2020 2:13 PM Jennifer Norwood <jnorwood@sussexcountyde.gov> wrote:

Bart,

I have attached copies of the letters we have received requesting to no install the asphalt sidewalk.

Jenny

Jennifer Norwood

Planner 1

Planning & Zoning Dept.

Sussex County Government

PO Box 417

2 The Circle

Georgetown, DE 19947

302-858-5501

jnorwood@sussexcountyde.gov

October 30, 2020

To whom it may concern,

We are formally requesting a modification of the original site plan for Dagsboro Trace eliminating the sidewalk.

Dagsboro Trace subdivision was originally developed by Dagsboro Trace, LLC. We were not involved with Dagsboro Trace, LLC. Dagsboro Trace, LLC contracted with Paul's Paving to install the DELDOT entrance and infrastructure elements in the first two (2) phases of infrastructure in the community with The Wayland Company providing construction management services on behalf of Dagsboro Trace, LLC.

We acquired individual building lots from Dagsboro Trace, LLC, at fair market values and built many of the single-family homes in the community.

At some point in approximately 2016-2017, Dagsboro Trace, LLC defaulted on the loan and M&T Bank took possession of the property. During this time, the homeowner's association dissolved and the community foundered. During the time M&T foreclosed on the property, the roads were not complete, the sidewalks were not installed, the landscaping was not complete, nor were the amenities installed.

In December 2019, we acquired the remaining ten (10) building lots in the Dagsboro Trace, and in doing so, took responsibility for completing the development. As such, we have provided letters of credit as required by Sussex County Planning and Zoning Commission. Our obligations include installing phase three (3) of the infrastructure as well as installing the final roadway surface in all three phases, installing amenities, installing landscaping, and installing a sidewalk.

As work has begun on phase three (3), we have been contacted by many of the homeowners expressing their opinion that they do not want the sidewalk. We believe that you have received numerous letters from the Dagsboro Trace homeowners requesting the elimination of the sidewalk. Further, it appears that some of the original utilities were installed in the area designated for the sidewalks. We hereby request a modification of the original site plan to eliminate the sidewalk.

Thank you for your consideration,

Bart Phillips
PR Builders, Inc.

TAX MAP AND PARCEL #: 4-30 21.00
7.01 p/o
PREPARED BY & RETURN TO:
Haller & Hudson
101 S. Bedford St.
P.O. Box 533
Georgetown, DE 19947
File No. HWH-1502/

NO LIEN OR TITLE SEARCH PREPARED OR REQUESTED

THIS DEED, made this 27 day of May, 2020,

- BETWEEN -

CHERYL B. RUSSELL, of 14210 Russell Road, Bridgeville, DE 19933, party of the first part,

- AND -

DAVID WAYNE MILLMAN and **JORDYN TAYLOR MILLMAN**, of 25834 Charles Scott Lane, Milton, DE 19968, as tenants by the entirety unto the survivor of them, his or her heirs and assigns, parties of the second part.

WITNESSETH: That the said party of the first part, for and in consideration of the sum of **One and 00/100 Dollar (\$1.00)**, lawful money of the United States of America, and other good and valuable consideration, the receipt whereof is hereby acknowledged, hereby grants and conveys unto the parties of the second part, and their heirs and assigns, in fee simple, the following described lands, situate, lying and being in Sussex County, State of Delaware:

ALL that certain lot, piece and parcel of land, lying and being situated in Nanticoke Hundred, Sussex County, State of Delaware, being designated as Lot 3, "Subdivision Survey Plan Prepared for Cheryl B. Russell", prepared by Adams-Kemp Associates, Inc., Professional Land Surveyors as per survey plan no. 040336-D, dated October 28, 2019 and revised December 11, 2019 and recorded in Plot Book 300, Page 88 in the Office of the Recorder of Deeds in and for Sussex County in the County Administration Building in Georgetown, Delaware, more particularly described as follows to wit:

BEGINNING at a set iron bar along Parcel "A", said set iron bar being located the following two (2) courses and distances from the intersection of County Road 42 and County Road 592.

1. Along County Road 592 in an Easterly direction 1.5 miles more or less;
2. Along the line of Parcel "A", South 16° 15' 13" East 769.59 feet;

Thence along Parcel "A" the following two (2) courses and distances:

1. South 16° 15' 13" East a distance of 283.09 feet to a set iron bar;
2. South 66° 12' 00" West a distance of 150.00 feet to a set iron bar along the line of lands now or formerly of Cheryl B. Russell and Carlos J. Russell;

Thence along the line of lands now or formerly of Cheryl B. Russell and Carlos J. Russell, North 16° 15' 13" West a distance of 302.79 feet to a set iron bar at a corner of this lot and lot 2; thence along lot 2, North 73° 44' 47" East a distance of 148.70 feet to the point of beginning.

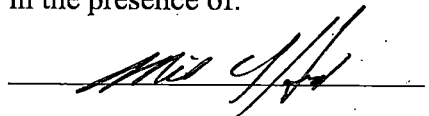
Containing within described metes and bounds 1.000 acres of land be the same more or less.

BEING part of the same lands conveyed unto Cheryl R. Proctor (also known as Cheryl B. Russell) by Deed of Clifford C. Russell and Edna Russell, dated June 30, 1994 and of record in the Office of the Recorder of Deeds in and for Sussex County, State of Delaware in Deed Book 1990 Page 258.

SUBJECT to any and all restrictions, reservations, conditions, easements and agreements of record in the Office of the Recorder of Deeds in and for Sussex County, Delaware.

IN WITNESS WHEREOF, the party of the first part has hereunto set her hand and seal the day and year first above written.

Signed, Sealed and Delivered
in the presence of:

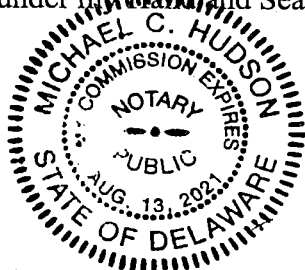



Cheryl B. Russell (SEAL)

STATE OF DELAWARE, COUNTY OF SUSSEX: to-wit

BE IT REMEMBERED, that on May 27, 2020 personally came before me, the subscriber, Cheryl B. Russell, party of the first part to this Indenture, known to me personally to be such, and acknowledged this Indenture to be her act and deed.

GIVEN under my Hand and Seal of Office the day and year aforesaid.




Notary Public

My Commission Expires: 8/13/21

LIGHTHOUSE ANNEX

SELF STORAGE AND OFFICE BUILDINGS

LIGHTHOUSE ROAD, SELBYVILLE, SUSSEX COUNTY, DELAWARE

TAX MAP 533-17.0-83.00

LEGEND:

STANDARD SEDIMENT STORMWATER CONSTRUCTION NOTES:

A) THE DNREC SEDIMENT AND STORMWATER PROGRAM MUST BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.

B) REVIEW AND OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.

C) IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY DNREC OR THE DELEGATED AGENCY.

D) FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER SEDIMENT CONTROLS, SOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.

E) ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.

F) AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PERIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT DISCHARGE, AND A DEWATERING PERMIT SHALL BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.

G) APPROVED PLANS REMAIN VALID FOR 3 YEARS FROM THE DATE OF APPROVAL.

H) POST CONSTRUCTION VERIFICATION DOCUMENTS ARE TO BE SUBMITTED TO THE DNREC SEDIMENT AND STORMWATER PROGRAM [OR, THE RELEVANT DELEGATED AGENCY] WITHIN 60-DAYS OF STORMWATER MANAGEMENT FACILITY COMPLETION.

I) APPROVAL OF A SEDIMENT AND STORMWATER MANAGEMENT PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.

J) THE NOTICE OF INTENT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER A NPDES GENERAL PERMIT FOR THIS PROJECT IS NOI5669. AT ANY TIME THE OWNERSHIP FOR THIS PROJECT CHANGES, A TRANSFER OF AUTHORIZATION OR A CO-PERMITTEE APPLICATION MUST BE SUBMITTED TO DNREC. THE PERMITTEE OF RECORD SHALL NOT BE RELIEVED OF THEIR RESPONSIBILITIES UNTIL A NOTICE OF TERMINATION HAS BEEN PROCESSED BY DNREC.

K) THE OWNER SHALL BE FAMILIAR WITH AND COMPLY WITH ALL ASPECTS OF THE NPDES CONSTRUCTION GENERAL PERMIT ASSOCIATED WITH THE PROJECT, INCLUDING, BUT NOT LIMITED TO, PERFORMING WEEKLY SITE INSPECTIONS DURING CONSTRUCTION AND AFTER RAIN EVENTS, AND MAINTAINING WRITTEN LOGS OF THESE INSPECTIONS.

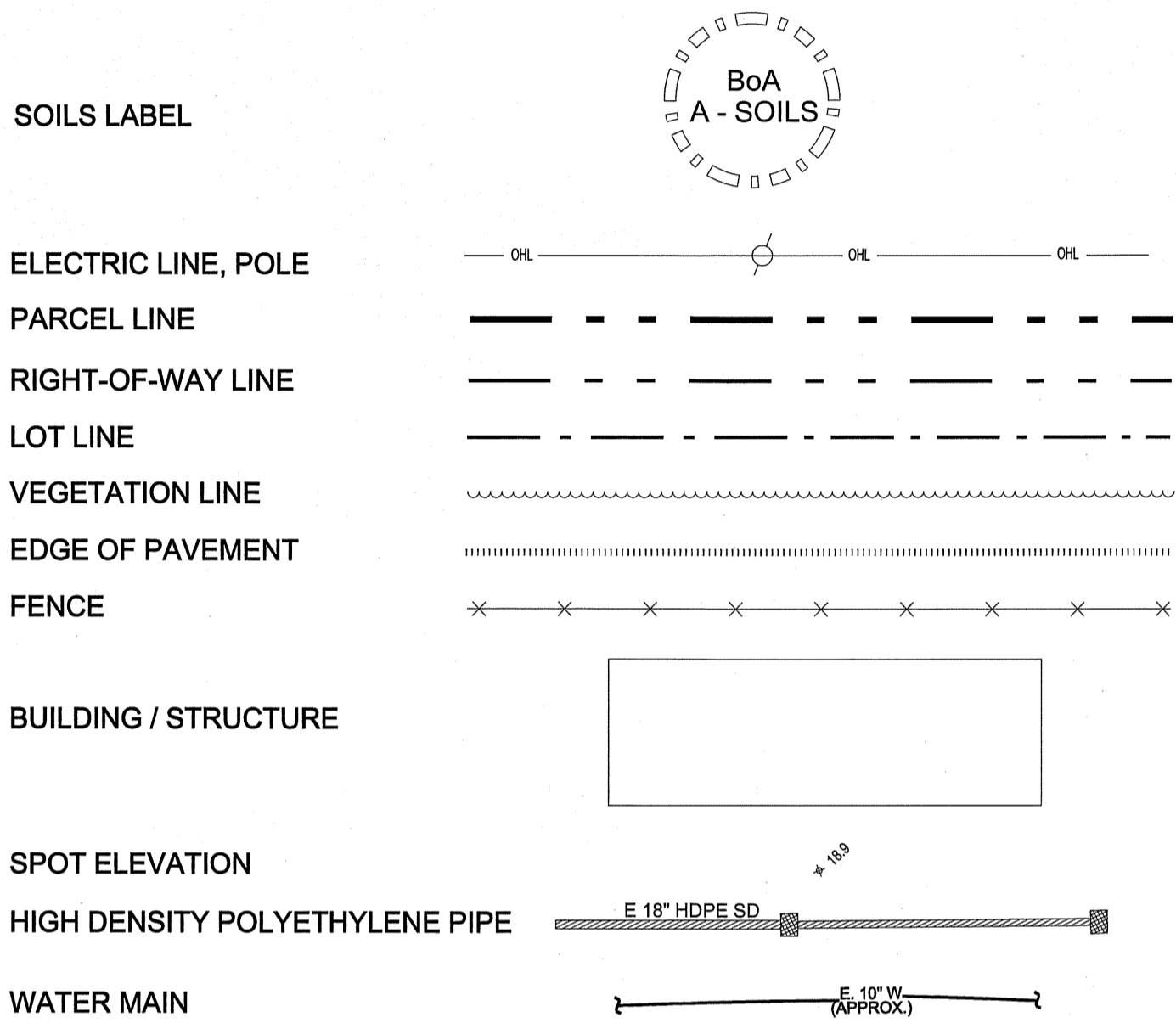
L) BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CALL MISS UTILITY AT 811 OR 1.800.282.8555 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, TO HAVE ALL EXISTING UTILITIES MARKED ONSITE.

M) THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.

N) BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7. DEL. C. CH 60, REGULATIONS GOVERNING THE CONTROL OF WATER POLLUTION. SECTION 9.1.02, KNOWN AS SPECIAL CONDITIONS FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, AND DEPARTMENT POLICIES, PROCEDURES, AND GUIDANCE.

O) DOCUMENTATION OF SOIL TESTING AND MATERIALS USED FOR TEMPORARY OR PERMANENT STABILIZATION INCLUDING BUT NOT LIMITED TO SOIL TEST RESULTS, SEED TAGS, SOIL AMENDMENT TAGS, ETC. SHALL BE PROVIDED TO THE DEPARTMENT OR DELEGATED AGENCY TO VERIFY THAT THE PERMANENT OR TEMPORARY STABILIZATION HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLAN. THE DEPARTMENT OR DELEGATED AGENCY MAY REQUIRE ADDITIONAL SOIL TESTING AND REAPPLICATION OF PERMANENT OR TEMPORARY STABILIZATION IN ACCORDANCE WITH SPECIFICATIONS PROVIDED IN THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, OR ALTERNATIVE MEASURES THAT PROVIDE FUNCTIONAL EQUIVALENCY.

EXISTING FEATURES



SITE DATA:

OWNER / APPLICANT / DEVELOPER

DOUGLAS AND TAMMARA CLARK
32113 LIGHTHOUSE ROAD
SELBYVILLE, DE 19975
PHONE: (443) 497-0000

SITE PLAN DESIGN:

J. W. SALM ENGINEERING, INC.
9842 MAIN STREET, SUITE 3, P.O. BOX 397
BERLIN, MD 21811
PHONE: 410-641-0126

PARCEL DESCRIPTION:

TAX MAP 533-17.00-83.00
SUSSEX COUNTY, DELAWARE
PROJECT AREA: 1.79 +/- AC.
LAT./LONG.: 38.462913, -75.19002
WATERSHED: ASSAWOMAN
PRONG 10 BUNTING TAX DITCH

ZONING:

EXISTING ZONING: COMMERCIAL, C-1
EXISTING USE: SELF STORAGE WITH
600 S.F. OFFICE

PROPOSED ZONING: COMMERCIAL, C-1
PROPOSED USE: WAREHOUSE

SETBACKS

FRONT YARD: 60 FEET
SIDE YARD: 5 FEET
ABUTTING RESIDENTIAL: 20 FEET
REAR YARD: 30 FEET

BUILDING HEIGHT

HEIGHT PERMITTED (MAX.): 42 FEET
MAX. HEIGHT PROPOSED: 40 FEET

PROPOSED SITE AREA: 3.79/- ACRES
LIMIT OF DISTURBANCE: 1.79 +/- ACRES

BUILDING AREA

TOTAL GROSS FLOOR AREA:
EXISTING BUILDING A-G: 23,675 +/- S.F.
BUILDING H: 18,125 +/- S.F.
BUILDING J: 34,500 +/- S.F.

* PARKING:

PER CODE SECTION 115-166 C, PARKING IS SHOWN IN THE FRONT YARD SETBACK AND IS SUBJECT TO SITE PLAN REVIEW AND A WAIVER IS REQUESTED

REQUIRED

600 S.F. OFFICE BUILDING C: 3 SPACES
STORAGE: 2 SPACES
TOTAL REQUIRED: 5 SPACES

PROVIDED

ADA SPACES: 2 SPACES IN FRONT
OF BUILDING H
REGULAR 9' X 18' SPACES: 40 SPACES
TOTAL REQUIRED: 42 SPACES

** LOADING:

PER CODE SECTION 115-167

REQUIRED: 3 SPACES

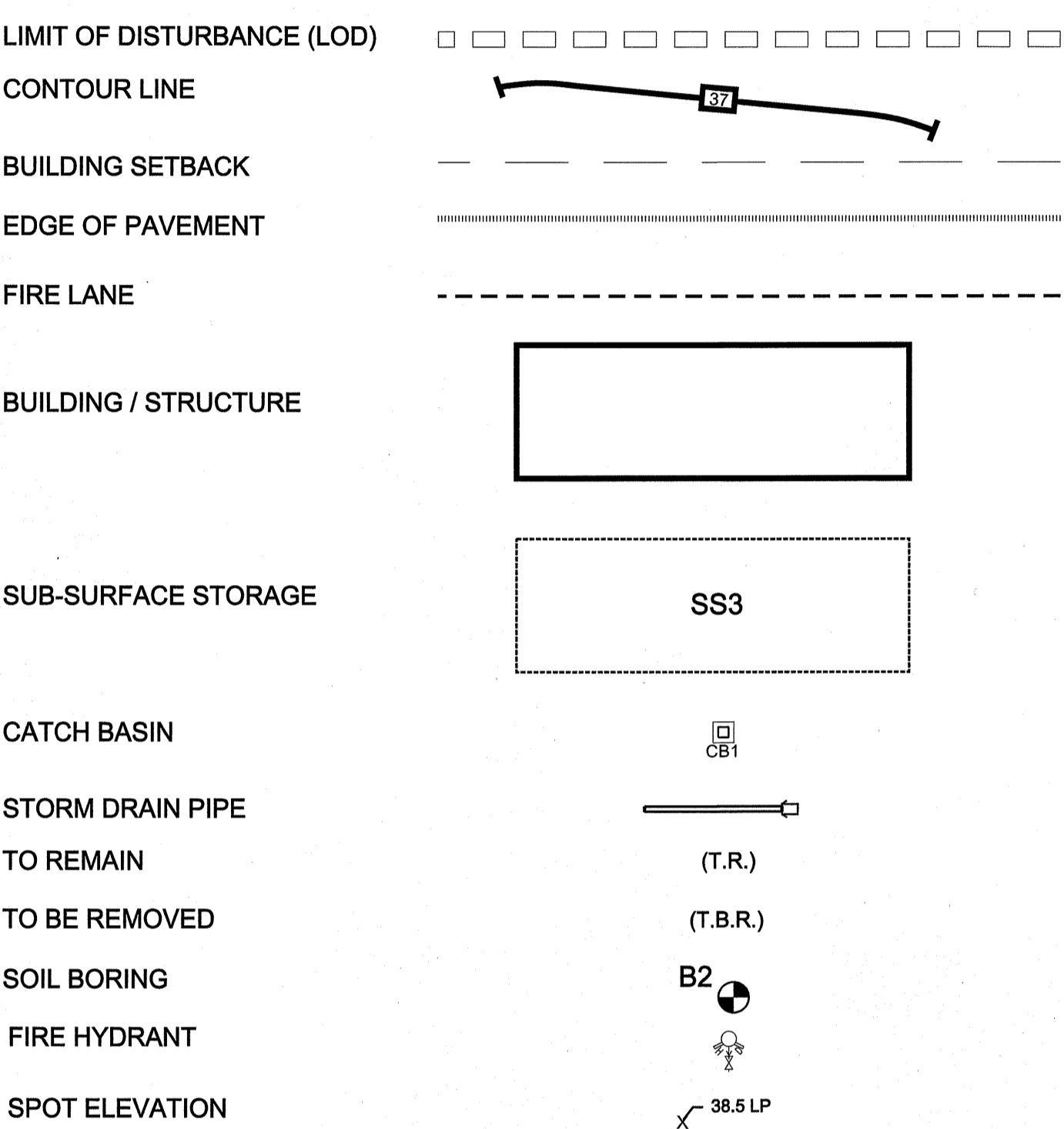
** PROVIDED: 2 SPACES (14' X 40') **

** A WAIVER FOR A REDUCTION OF THE REQUIRED LOADING SPACES PROVIDED IS REQUESTED, IN ACCORDANCE WITH SECTION 115-168 C.

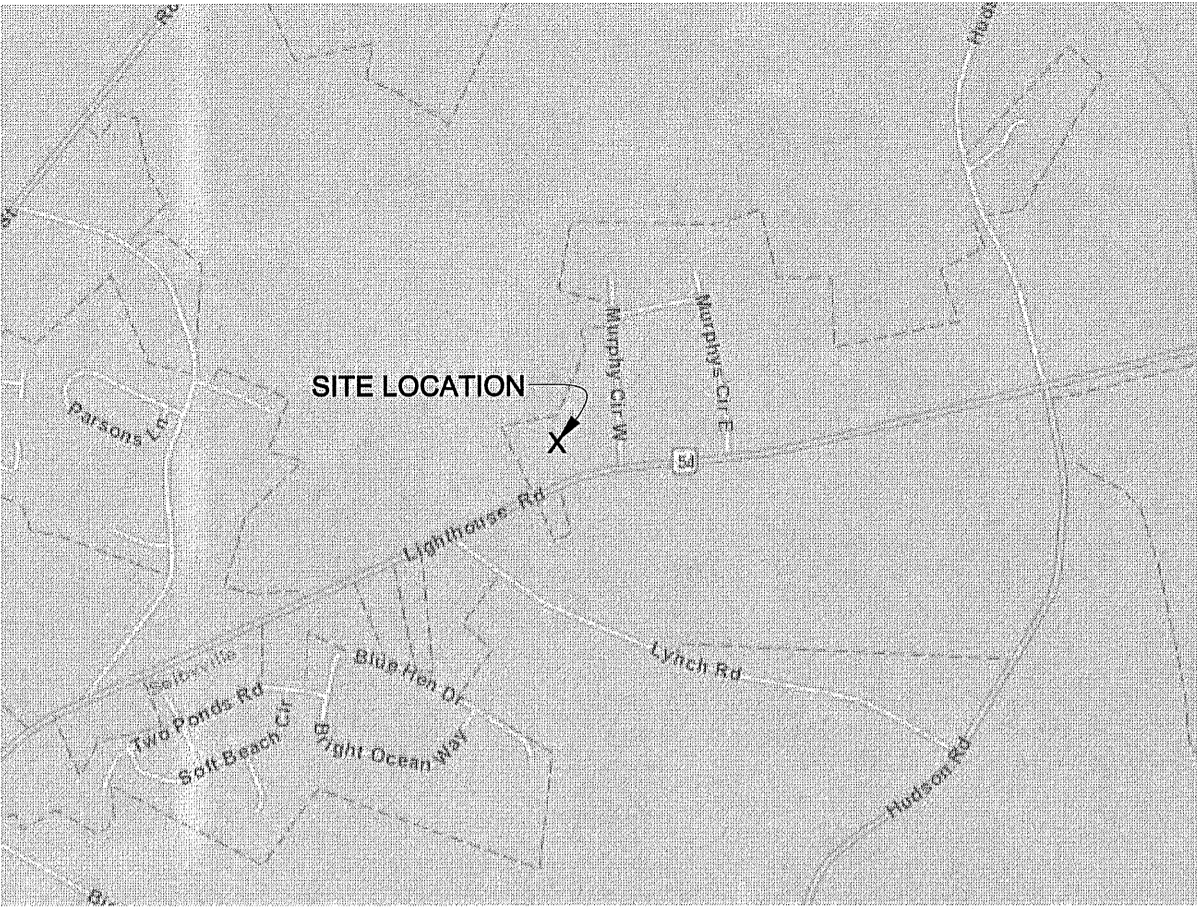
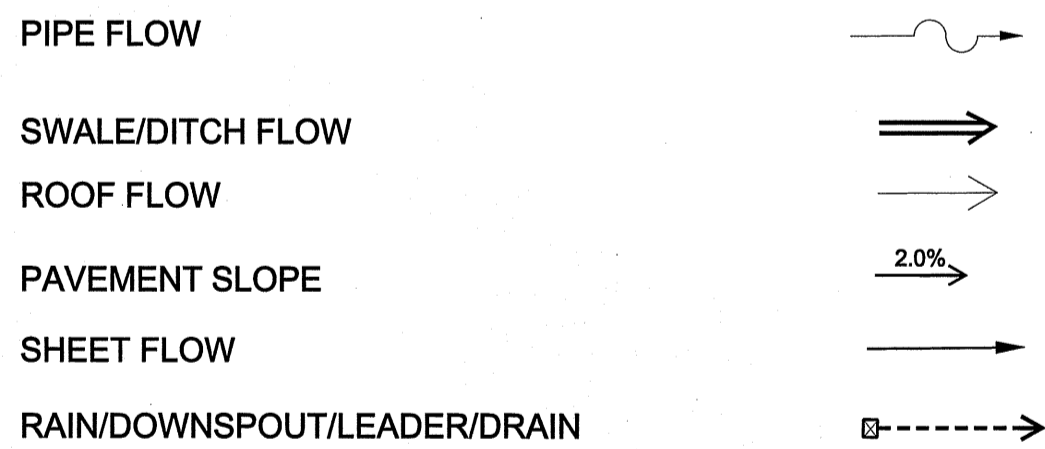
WATER & SEWER:

PUBLIC WATER & SEWER SERVICE SHALL BE PROVIDED BY THE TOWN OF SELBYVILLE, DE.

PROPOSED FEATURES

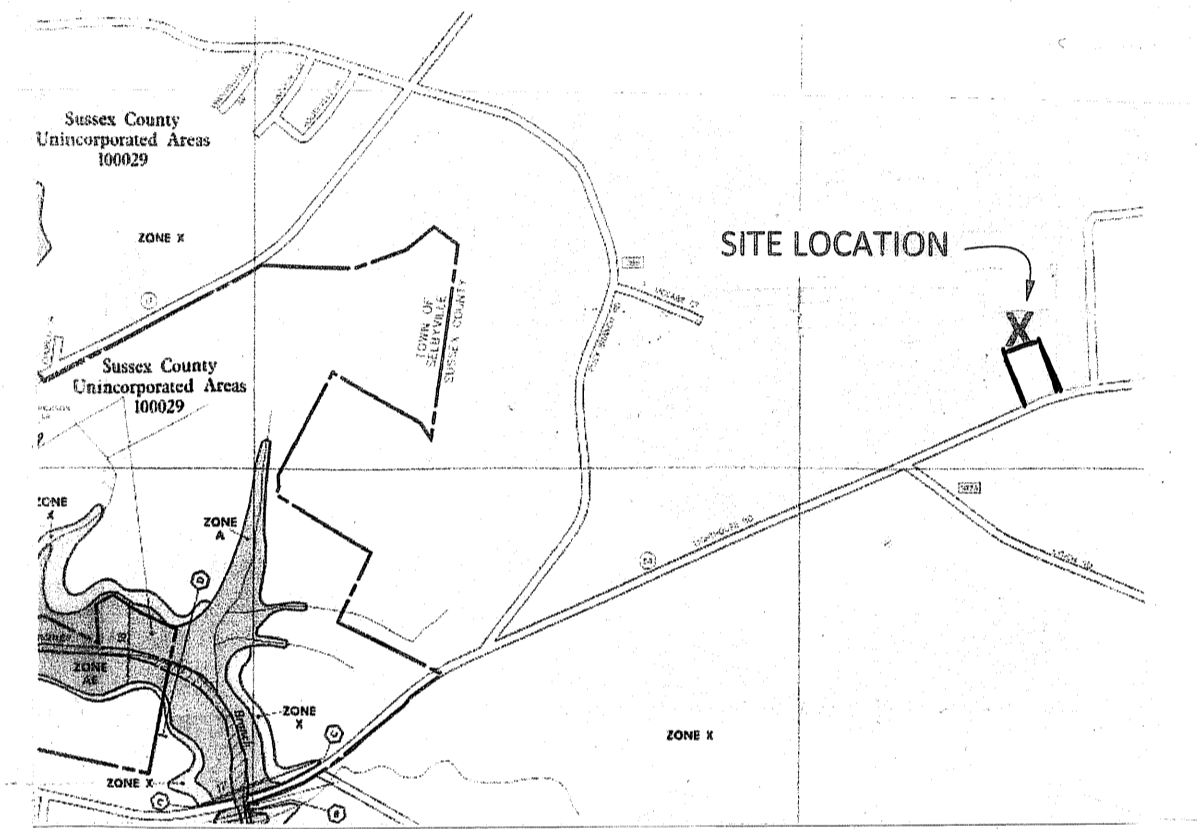


FLOW DIRECTION ARROWS



VICINITY MAP

NOT TO SCALE



MAP 10005C0629J, DATED 01/06/2005

FIRM MAP

NOT TO SCALE

INDEX OF DRAWINGS:

DRAWING NO.:	SHEET NO.:	TITLE:
278-02-001	1 of 8	COVER SHEET, NOTES, VICINITY MAP LEGEND AND INDEX
278-02-002	2 of 8	EXISTING CONDITIONS PLAN
278-02-003	3 of 8	REVISED FINAL SITE PLAN
278-02-004	4 of 8	STORMWATER MANAGEMENT (SWM) PLAN
278-02-005	5 of 8	EROSION AND SEDIMENT CONTROL (ESC) PLAN
278-02-005A	5A of 8	TEMPORARY AND PERMANENT COVER PLAN
278-02-006	6 of 8	SWM DETAILS AND NOTES
278-02-007	7 of 8	SWM DETAILS AND NOTES
278-02-008	8 of 8	EROSION AND SEDIMENT CONTROL (ESC) DETAILS
278-02-008A	8A of 8	EROSION AND SEDIMENT CONTROL (ESC) DETAILS
278-02-008B	8B of 8	TOWN DETAILS
278-02-008C	8C of 8	TOWN DETAILS

BUNTINGS BRANCH WATERSHED

OWNER CERTIFICATION

I, THE UNDERSIGNED, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E., BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS, AND I UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT, AS REFERENCED ON THIS COVERSHEET.

DOUG CLARK
32113 LIGHTHOUSE ROAD
SELBYVILLE, DE 19975 (443) 497-0000

DESIGNED BY: JWS3	DRAWN BY: SEL	CHECKED BY: JWS3	COVER SHEET, NOTES, VICINITY MAP LEGEND AND INDEX
JOHN W. SALM, III		REVISIONS	SELF STORAGE AND OFFICE BUILDINGS LIGHTHOUSE ANNEX TAX MAP 533-17.00-83.00
		8/12/20	BALTIMORE HUNDRED SUSSEX COUNTY DELAWARE
		09/09/20	J. W. SALM ENGINEERING, INC.
			P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD
			SCALE: DATE: DRAWING No.: SHEET No.:
			AS SHOWN FEB 2017 278-02-001 1 of 8

OWNER/DEVELOPER:

DOUG CLARK
32113 LIGHTHOUSE ROAD
SELBYVILLE, DE 19975
PHONE : 443.497.0000

ENGINEER:

J. W. SALM ENGINEERING, INC.
9842 MAIN STREET, SUITE 3
BERLIN, MD 21811
PHONE : 410.641.0126

PROFESSIONAL CERTIFICATION

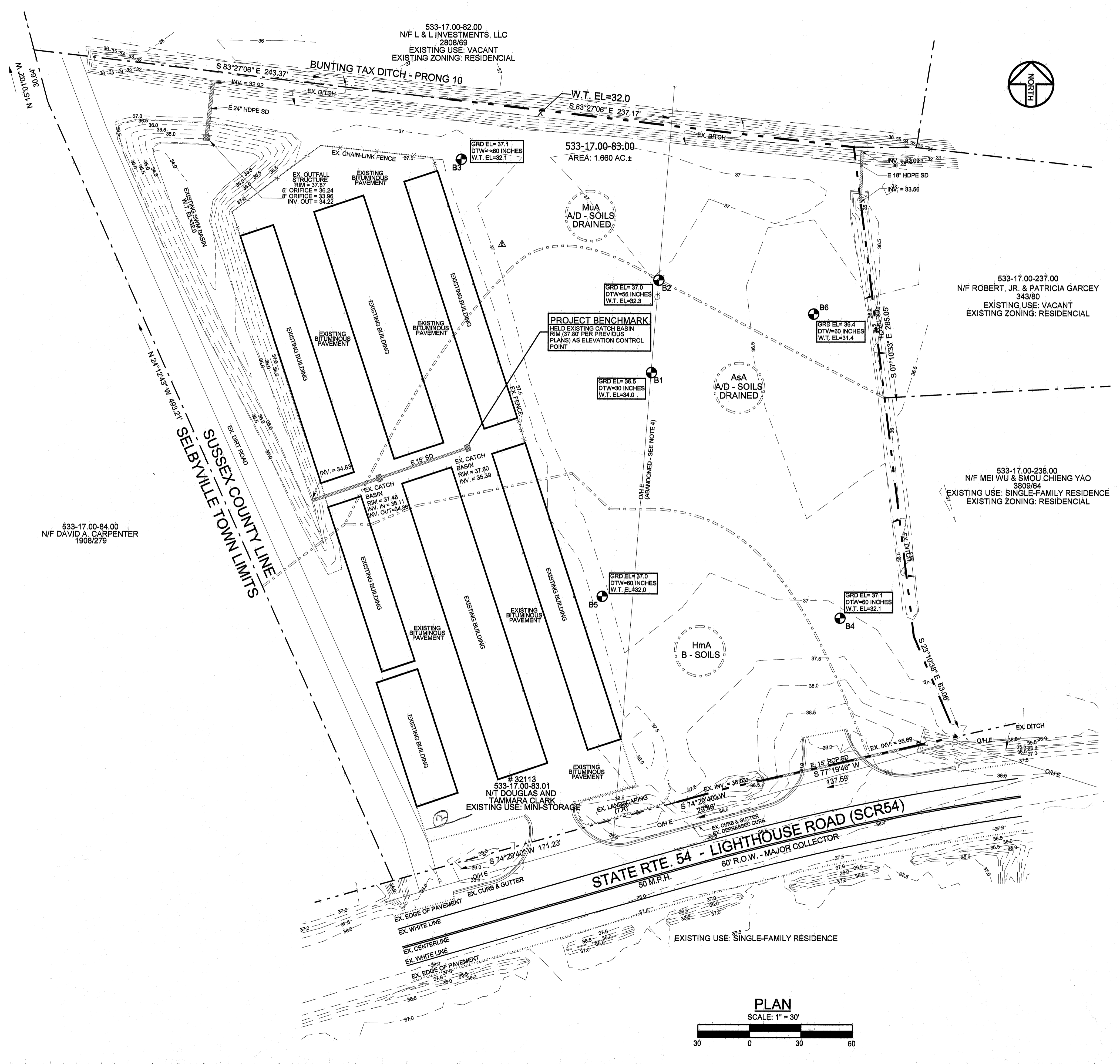
I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES.

J.W. SALM ENGINEERING, INC. JOHN W. SALM, III, P.E.
9842 MAIN STREET, SUITE 3
BERLIN, MD 21811 410-641-0126

DEVELOPER CERTIFICATION

I HEREBY CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION, AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN.

DOUG CLARK
32113 LIGHTHOUSE ROAD
SELBYVILLE, DE 19975 (443) 497-0000



GENERAL NOTES:

1. ALL WORK REQUIRED BY THESE DOCUMENTS (DRAWINGS AND SPECIFICATIONS) SHALL BE NEW. WHEREVER THE WORD "PROPOSED" IS USED IT IS CONSIDERED INTERCHANGEABLE WITH THE WORD "NEW" AND IS INCLUDED IN THE REQUIRED WORK.
2. ALL ELEVATIONS, TOPOGRAPHY AND ALIGNMENTS SHOWN ARE BASED UPON THE SURVEY PREPARED BY RUSSELL T. HAMMOND SURVEYING, LLC, DATED 12-18-2016. THE ENGINEER DOES NOT WARRANT THAT THIS INFORMATION IS ENTIRELY CORRECT. THE CONTRACTOR SHALL EXAMINE A COPY OF SAID SURVEY AND VISIT THE SITE IN ORDER TO DETERMINE, TO HIS SATISFACTION, THE QUANTITIES OF WORK REQUIRED TO BE PERFORMED. THE VERTICAL DATUM IS NAVD '88. THE HORIZONTAL DATUM IS ASSUMED TO MATCH PLAT 68/308.
3. UNLESS OTHERWISE NOTED, ALL ELEVATIONS FOR GRAVITY STORM DRAIN & SANITARY SEWER PIPES ARE INVERTS AND ALL ELEVATIONS FOR PRESSURE WATER MAINS ARE TOP OF PIPE ELEVATIONS.
4. THESE DRAWINGS SHOW INFORMATION REGARDING UNDERGROUND UTILITIES WHICH EXIST ALONG THE LINES OF WORK. THE LOCATION OF UTILITIES SHOWN HAS BEEN PROVIDED FROM THE BEST AVAILABLE RECORDS AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS SATISFACTION PRIOR TO CONSTRUCTION. THE OWNER SHALL BE GIVEN NOTIFICATION BY THE CONTRACTOR PRIOR TO TEST PITTING. THE OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION. IF THE CONTRACTOR RELIES ON SAID INFORMATION HE DOES SO AT HIS OWN RISK. THE GIVING OF THE INFORMATION ON THESE DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO SUPPORT AND PROTECT ALL EXISTING UTILITIES AND APPURTENANCES. SHOULD ANY EXISTING UTILITIES BE DAMAGED BY THE CONTRACTOR, THE CONTRACTOR SHALL REPAIR THE DAMAGE CAUSED, TO THE UTILITY OWNERS SATISFACTION, AT THE CONTRACTORS EXPENSE.
5. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THESE DRAWINGS AND SPECIFICATIONS, AND TO ALL APPLICABLE REQUIREMENTS OF SUSSEX COUNTY, DEL. DOT & DNREC.
6. ALL DISTURBED AREAS SHALL BE SMOOTHLY GRADED TO PROVIDE POSITIVE DRAINAGE, AWAY FROM PROPOSED STRUCTURES, AND SHALL BE STABILIZED, EXCEPT IN AREAS CALLING FOR PAVING. IF SETTLEMENT OCCURS, THE AREA OF SETTLEMENT SHALL BE RESTORED TO GRADE. TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER.
7. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEVIATIONS FROM THESE DRAWINGS AND SPECIFICATIONS.
8. THE CONTRACTOR SHALL PROVIDE NECESSARY STAKE OUT OF LINE AND GRADE FOR CONSTRUCTION.
9. THE OWNER RESERVES THE RIGHT TO AWARD OTHER CONTRACTS OR PERFORM OTHER WORK IN THE VICINITY OF WORK DESIGNATED ON THESE DRAWINGS. THE CONTRACTOR SHALL COOPERATE WITH AND COORDINATE HIS OPERATIONS WITH OTHER CONTRACTORS OR WORKMEN EMPLOYED BY THE OWNER.
10. NO INFORMATION REGARDING DEPTH TO ANY TEMPORARY OR PERMANENT GROUND WATER TABLE IS PROVIDED ON THESE DRAWINGS AS IT RELATES TO THE EXCAVATION OR INSTALLATION OF UTILITIES IN TRENCHES. THE CONTRACTOR SHALL INVESTIGATE TO HIS SATISFACTION THE SITE CONDITIONS REGARDING THE DEPTH TO GROUND WATER. GENERALLY, PIPING, TRENCH CONSTRUCTION SHALL BE PROSECUTED IN A DEWATERED STATE, CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ALL EXCAVATIONS FOR MANHOLES AND OTHER CHAMBERS SHALL BE CONTINUALLY DEWATERED UNTIL THE BACKFILL OPERATION HAS BEEN COMPLETED. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR TEST PITTING.
11. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
12. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING, TWO (2) DAYS PRIOR TO BEGINNING ANY WORK SHOWN ON THESE DRAWINGS.

A) DEL DOT	(302) 739-4643
B) DOUG CLARK	(443) 497-0000
C) J.W. SALM ENGINEERING, INC	(410) 841-0129
D) SUSSEX CO. CONSERVATION DISTRICT	(302) 956-7219
E) MISS UTILITY	(800) 282-8555
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS RESULTING FROM ANY EARTH MOVING AND/OR TEMPORARY STOCKPILING OF EARTH OR OTHER MATERIALS ON SITE.
14. THESE DRAWINGS, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO J. W. SALM ENGINEERING, INC. AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION. COPYRIGHT, LATEST DATE HEREON. ANY DRAWING, REPRODUCTION, PLOT, ETC., WITHOUT A WET INK SIGNATURE AND SEAL IS NOT CERTIFIED BY J. W. SALM ENGINEERING AS TO ACCURACY AND AUTHENTICITY.
15. COMPACTION SHALL BE AS FOLLOWS:

A. FOR ROAD OR PARKING AREAS: 95% OF MODIFIED PROCTOR DENSITY AT +/- 2 % OF OPTIMUM MOISTURE CONTENT.
B. FOR AREAS OUTSIDE OF ROAD OR PARKING AREAS: 90% OF MODIFIED PROCTOR DENSITY AT +/- 3% OF OPTIMUM MOISTURE CONTENT

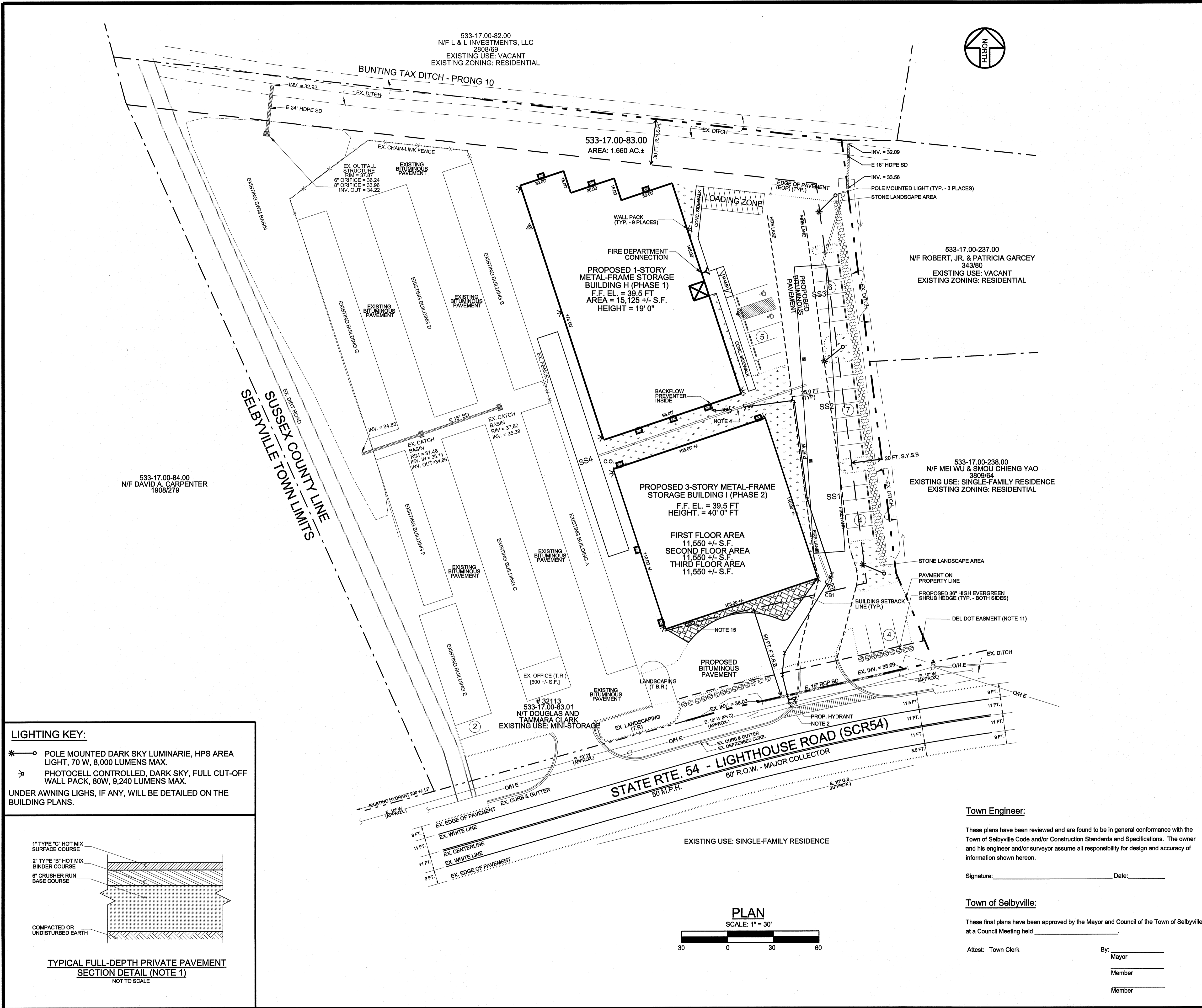
DATUM NOTE:

1. TO CONVERT THE ELEVATIONS SHOWN TO NAVD 1988 DATUM, YOU MUST SUBTRACT 1.25 FEET.

EXISTING CONDITIONS PLAN NOTES:

- 1) SEE COMPLETE LEGEND ON SHEET 1.
- 2) PREDOMINANT SOIL TYPES:
MUA - MULICA-BERRYLAND
ASA - ASKECKY LOAMY SAND
HMA - HAMMONTON SANDY LOAM
- 3) THIS EXISTING CONDITION PLAN WAS DEVELOPED FROM THE FIELD SURVEY PERFORMED BY RUSSELL T. HAMMOND SURVEYING, LLC, DATED: DECEMBER 16, 2016
- 4) OVERHEAD ELECTRIC LINE HAS BEEN PREVIOUSLY ABBANDONED. IT WILL BE REMOVED BY THE OWNER PRIOR TO THE START OF CONSTRUCTION.

DESIGNED BY: JWS3	DRAWN BY: SEL	CHECKED BY: JWS3	EXISTING CONDITIONS PLAN	
JOHN W. SALM, III			SELF STORAGE & OFFICE BUILDINGS LIGHTHOUSE ANNEX TAX MAP 533-17.00-83.00	
REVISIONS			BALTIMORE HUNDRED SUSSEX COUNTY DELAWARE	
11/02/17			J. W. SALM ENGINEERING, INC.	
07/12/18			P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811	
SCALE:			DATE:	DRAWING No.:
1" = 30'			FEB 2017	278-02-002
				SHEET No.:
				2 OF 8



SITE DATA:

OWNER / APPLICANT / DEVELOPER
DOUGLAS AND TAMMARA CLARK
32113 LIGHTHOUSE ROAD
SELBYVILLE, DE 19975
PHONE: (443) 497-0000

BUILDING AREA
TOTAL GROSS FLOOR AREA: 23,675 +/- S.F.
EXISTING BUILDING A-C: 15,125 +/- S.F.
BUILDING H: 15,125 +/- S.F.
BUILDING J: 34,500 +/- S.F.

SITE PLAN DESIGN:
J.W. SALM ENGINEERING, INC.
9842 MAIN STREET, SUITE 3, P.O. BOX 397
BERLIN, MD 21811
PHONE: 410-641-1268

PARCEL DESCRIPTION:
TAX MAP 533-17.00-83.00
SUSSEX COUNTY, DELAWARE
PROJECT AREA: 1.79 +/- AC.
LAT./LONG.: 38.462913, -75.19002
WATERSHED: ASSAWOMAN
PRONG 10 BUNTING TAX DITCH

ZONING:
EXISTING ZONING: COMMERCIAL, C-1
EXISTING USE: SELF STORAGE WITH 600 S.F. OFFICE
PROPOSED ZONING: COMMERCIAL, C-1
PROPOSED USE: WAREHOUSE

SETBACKS
FRONT YARD: 60 FEET
SIDE YARD: 5 FEET
ABUTTING RESIDENTIAL: 20 FEET
REAR YARD: 30 FEET

BUILDING HEIGHT
HEIGHT PERMITTED (MAX.): 42 FEET
MAX. HEIGHT PROPOSED: 40 FEET

**PROPOSED SITE AREA: 3.79+/- ACRES
LIMIT OF DISTURBANCE: 1.79 +/- ACRES**

REQUIRED
600 S.F. OFFICE BUILDING C: 3 SPACES
STORAGE: 2 SPACES
TOTAL REQUIRED: 5 SPACES

PROVIDED
ADA SPACES: 2 SPACES IN FRONT OF BUILDING H
REGULAR 9' X 18' SPACES: 40 SPACES
TOTAL REQUIRED: 42 SPACES

**** LOADING:**
PER CODE SECTION 115-167
REQUIRED: 3 SPACES
** PROVIDED: 2 SPACES (14' x 40') **

**** A WAIVER FOR A REDUCTION OF THE REQUIRED LOADING SPACES PROVIDED IS REQUESTED, IN ACCORDANCE WITH SECTION 115-168 C.**

WATER & SEWER:
PUBLIC WATER & SEWER SERVICE SHALL BE PROVIDED BY THE TOWN OF SELBYVILLE, DE.

TOWN UTILITY NOTES:

A) PHASE 2 BUILDING IS NOT BEING BUILT WITH THE INITIAL SITE CONSTRUCTION. OWNER WILL PROVIDE TOWN WITH WRITTEN CLARIFICATION OF WORK AND THAT THE TOWN WILL BE PROVIDED MINIMUM 60 DAY NOTICE PRIOR TO THE BEGINNING OF ANY FUTURE PHASE CONSTRUCTION.
B) A BACKFLOW PREVENTOR SHALL BE PROVIDED IN BUILDING "H"
C) WATER METER LOCATIONS FOR PHASE 2 SHALL BE PROVIDED PRIOR TO CONSTRUCTION OF PHASE 2
D) CONTRACTOR SHALL NOTIFY MISS UTILITIES AT LEAST SEVEN (7) WORKING DAYS PRIOR TO EXCAVATION TO HAVE EXISTING UNDERGROUND UTILITIES LOCATED AND MARKED.
E) THE CONTRACTOR SHALL NOTIFY THE TOWN OF SELBYVILLE, (302) 436-8314, TWO (2) WEEKS PRIOR TO START OF CONSTRUCTION AND SHALL APPRISE AND COORDINATE WITH THE TOWN DURING ALL PHASES OF CONSTRUCTION.
F) ALL MATERIALS AND WORKMANSHIP SHALL MEET THE TOWN OF SELBYVILLE AND THE STATE OF DELAWARE STANDARDS AND SPECIFICATIONS, AS APPLICABLE.
G) CONTRACTOR SHALL ADJUST TO FINISH GRADE AS NECESSARY ANY NEW OR EXISTING VALVE BOXES.
H) CONTRACTOR SHALL MAINTAIN A MINIMUM 3.5 FEET OF COVER OVER ALL NEW WATERLINES AS MEASURED FROM THE TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
I) MINIMUM HORIZONTAL SEPARATION BETWEEN WATER AND SANITARY SEWER SHALL BE 10'-0".
J) PROVIDE CONCRETE BUTTRESSES FOR ALL BENDS, TEES, WYES, AND PLUGS ON ALL PROPOSED WATERLINES PER DETAIL.
K) WATER METERS SHALL NOT BE PLACED LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC.
L) FIRE HYDRANTS SHALL BE TOWN STANDARD - MUELLER MODEL A-442 MODERN CENTRION.
M) ALL WATERMANS SHALL BE AWWA C900 PVC DR18.
N) THE CONTRACTOR SHALL PREPARE RECORD DRAWINGS FOR THE TOWN OF SELBYVILLE.
O) CONTRACTOR SHALL PERFORM HYDROSTATIC TESTING AND FLUSHING OF UNDERGROUND PIPING TO THE FIRE HYDRANTS PER TOWN STANDARDS. ALL TESTING MUST BE WITNESSED BY THE TOWN OR TOWN REPRESENTATIVE.
P) ALL FIRE HYDRANTS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
Q) CONTRACTOR TO MAINTAIN 3 FEET OF COVER OVER ALL NEW SANITARY SEWER MAINS AND LATERALS AS MEASURED FROM THE TOP OF PIPE TO THE FINISHED GRADE, UNLESS OTHERWISE NOTED.
R) LATERALS SHALL BE 6 INCH IN DIAMETER, WITH VERTICAL CLEANOUTS OF 6 INCHES IN DIAMETER, WITH MINIMUM 2 FOOT COVER FROM CLEANOUT TO MAIN.
S) TOWN OR TOWN REPRESENTATIVE SHALL BE PRESENT DURING WATER/SANITARY SEWER CONNECTIONS TO REVIEW AND APPROVE.

SITE PLAN NOTES:

1) SEE COMPLETE LEGEND ON SHEET 1.
2) CONNECT P. 6" WATER MAIN TO EXISTING WATER MAIN WITH TAPPING SLEEVE AND VALVE OR CUT IN TAP. CONTRACTOR SHALL TEST PIT PRIOR TO ORDERING TAPPING SLEEVE. GATE VALVE SHALL BE PLACED ON PROPERTY LINE.
3) 3/4" WATER SERVICE WITH 6" METER (TYPICAL OF 5).
4) ROUTE WATER MAIN UNDER STORM DRAIN PIPE WITH VERTICAL BENDS.
5) CONNECT 6 INCH SEWER LATERAL TO GRAVITY SEWER MAIN.
6) THE PROPOSED USE OF THE STORAGE BUILDING IS FOR WAREHOUSING WITHIN A COMPLETELY ENCLOSED BUILDING, PROVIDED THAT SUCH USE IS NOT OBJECTIONABLE BY REASON OF ODOR, DUST, NOISE OR OTHER SIMILAR FACTORS.
7) REFER TO THE DEL DOT ENTRANCE PLAN, PROVIDED UNDER SEPERATE COVER, FOR THE LOCATION OF ADJACENT AND OPPOSED ENTRANCES, FOR THE DEL DOT INTERSECTION WORKSHEET, AND FOR INTERSECTION SITE DISTANCES.
8) THE ENTRANCE IS EXISTING. THE DESIGN VEHICLE IS AN SU-30. TURNING MOVEMENTS ARE SHOWN ON THE DEL DOT ENTRANCE PLAN, PROVIDED UNDER SEPERATE COVER.
9) PROPOSED CONCRETE SIDEWALK SHALL BE 6 FEET WIDE, CONFORM TO ADA REQUIREMENTS AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH DEL DOT DETAIL M-9, LATEST REVISION.
10) NO MODIFICATIONS ARE PROPOSED TO THE EXISTING ENTRANCE CULVERT PIPE.
11) A 15-FOOT PERMANANT EASEMENT IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT. PARCELS 83.00 AND 83.01 HAVE PREVIOUSLY DEDICATED 10-FOET OF RIGHT-OF-WAY TO THE STATE OF DELAWARE AT THE TIME OF CONSTRUCTION OF THE EXISTING ENTRANCES.
12) NO STATE AND/OR FEDERAL WETLANDS ARE LOCATED IN THE DEVELOPMENT PORTION OF THIS SITE BASED UPON A REVIEW OF NATIONAL WETLANDS INVENTORY MAPPING RESOURCES.
13) PARKING STALLS SHALL BE MARKED BY PAINTED LINES. CONCRETE PARKING BUMPERS SHALL BE PROVIDED FOR THE STALLS ALONG THE EAST PROPERTY LINE.
14) PROVIDE AN AT GRADE CONCRETE PAD FOR EACH EXIT DOOR.
15) 6 SLOT BIKE RACK.
16) A SINGLE LARGE DUMPSTER IS NOT BEING PROVIDED FOR THIS SITE DUE TO THIS SITE DUE TO THE MINI-STORAGE USE. REFUSE WILL BE HANDLED BY WASTE WHEELERS.
17) NO FENCING IS PROPOSED FOR THIS PROJECT.
18) MAINTAIN A MINIMUM 10-FOOT HORIZONTAL SEPARATION AND 18-INCH VERTICAL SEPARATION BETWEEN WATER AND SEWER MAINS.

Town Engineer:

These plans have been reviewed and are found to be in general conformance with the Town of Selbyville Code and/or Construction Standards and Specifications. The owner and his engineer and/or surveyor assume all responsibility for design and accuracy of information shown hereon.

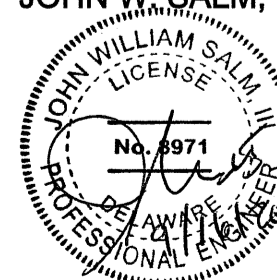
Signature: _____ Date: _____

Town of Selbyville:

These final plans have been approved by the Mayor and Council of the Town of Selbyville at a Council Meeting held _____.

Attest: Town Clerk _____ By: _____
Mayor
Member
Member

DESIGNED BY:	DRAWN BY:	CHECKED BY:
JWS3	SEL	JWS3

JOHN W. SALM, III	REVISIONS
	11/29/17
	11/10/18
	07/12/18
	08/14/18
	05/14/19
	11/05/19
	11/20/19
	08/12/20
	09/09/20
	DEL AWARE PROFESSIONAL ENGINEER LICENSE No.: 8971

REVISED FINAL SITE PLAN			
SELF STORAGE & OFFICE BUILDINGS LIGHTHOUSE ANNEX TAX MAP 533-17.00-83.00			
BALTIMORE HUNDRED DELAWARE			
J. W. SALM ENGINEERING, INC.			
P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811			
SCALE:	DATE:	DRAWING No.:	SHEET No.:
1" = 30'	FEB 2017	278-02-003	3 OF 8

GENERAL NOTES:

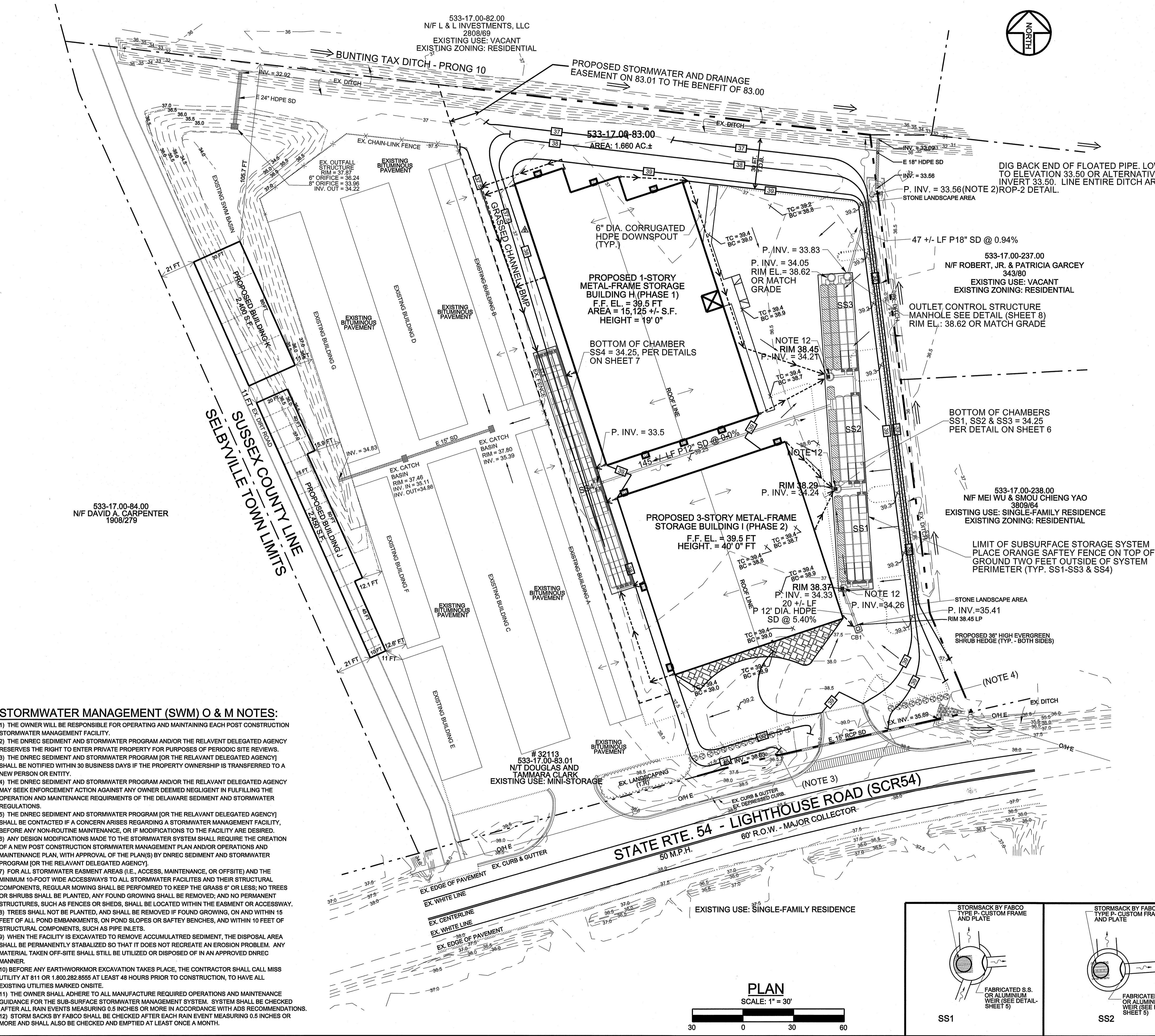
1. ALL WORK REQUIRED BY THESE DOCUMENTS (DRAWINGS AND SPECIFICATIONS) SHALL BE NEW. WHEREVER THE WORD "PROPOSED" IS USED IT IS CONSIDERED INTERCHANGEABLE WITH THE WORD "NEW" AND IS INCLUDED IN THE REQUIRED WORK.
2. ALL ELEVATIONS, TOPOGRAPHY AND ALIGNMENTS SHOWN ARE BASED UPON THE SURVEY PREPARED BY RUSSELL T. HAMMOND SURVEYING, LLC, DATED 12-16-2016. THE ENGINEER DOES NOT WARRANT THAT THIS INFORMATION IS ENTIRELY CORRECT. THE CONTRACTOR SHALL EXAMINE A COPY OF SAID SURVEY AND VISIT THE SITE IN ORDER TO DETERMINE, TO HIS SATISFACTION, THE QUANTITIES OF WORK REQUIRED TO BE PERFORMED. THE VERTICAL DATUM IS NAVD '88. THE HORIZONTAL DATUM IS ASSUMED TO MATCH PLAT 68/308.
3. UNLESS OTHERWISE NOTED, ALL ELEVATIONS FOR GRAVITY STORM DRAIN & SANITARY SEWER PIPES ARE INVERTS AND ALL ELEVATIONS FOR PRESSURE WATER MAINS ARE TOP OF PIPE ELEVATIONS.
4. THESE DRAWINGS SHOW INFORMATION REGARDING UNDERGROUND UTILITIES WHICH EXIST ALONG THE LINES OF WORK. THE LOCATION OF UTILITIES SHOWN HAS BEEN PROVIDED FROM THE BEST AVAILABLE RECORDS AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS SATISFACTION PRIOR TO CONSTRUCTION. THE OWNER SHALL BE GIVEN NOTIFICATION BY THE CONTRACTOR PRIOR TO TEST PITTING. THE OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION. IF THE CONTRACTOR RELIES ON SAID INFORMATION HE DOES SO AT HIS OWN RISK. THE GIVING OF THE INFORMATION ON THESE DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO SUPPORT AND PROTECT ALL EXISTING UTILITIES AND APPURTENANCES. SHOULD ANY EXISTING UTILITIES BE DAMAGED BY THE CONTRACTOR, THE CONTRACTOR SHALL REPAIR THE DAMAGE CAUSED, TO THE UTILITY OWNERS SATISFACTION, AT THE CONTRACTORS EXPENSE.
5. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THESE DRAWINGS AND SPECIFICATIONS, AND TO ALL APPLICABLE REQUIREMENTS OF SUSSEX COUNTY, DEL DOT & DNRDC.
6. ALL DISTURBED AREAS SHALL BE SMOOTHLY GRADED TO PROVIDE POSITIVE DRAINAGE, AWAY FROM PROPOSED STRUCTURES, AND SHALL BE STABILIZED, EXCEPT IN AREAS CALLING FOR PAVING. IF SETTLEMENT OCCURS, THE AREA OF SETTLEMENT SHALL BE RESTORED TO GRADE. TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER.
7. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEVIATIONS FROM THESE DRAWINGS AND SPECIFICATIONS.
8. THE CONTRACTOR SHALL PROVIDE NECESSARY STAKE OUT OF LINE AND GRADE FOR CONSTRUCTION.
9. THE OWNER RESERVES THE RIGHT TO AWARD OTHER CONTRACTS OR PERFORM OTHER WORK IN THE VICINITY OF WORK DESIGNATED ON THESE DRAWINGS. THE CONTRACTOR SHALL COOPERATE WITH AND COORDINATE HIS OPERATIONS WITH OTHER CONTRACTORS OR WORKMEN EMPLOYED BY THE OWNER.
10. NO INFORMATION REGARDING DEPTH TO ANY TEMPORARY OR PERMANENT GROUND WATER TABLE IS PROVIDED ON THESE DRAWINGS AS IT RELATES TO THE EXCAVATION OR INSTALLATION OF UTILITIES IN TRENCHES. THE CONTRACTOR SHALL INVESTIGATE TO HIS SATISFACTION THE SITE CONDITIONS REGARDING THE DEPTH TO GROUND WATER. GENERALLY, PIPING, TRENCH AND STRUCTURE CONSTRUCTION SHALL BE PROSECUTED IN A DEWATERED STATE, CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ALL EXCAVATIONS FOR MANHOLES AND OTHER CHAMBERS SHALL BE CONTINUALLY DEWATERED UNTIL THE BACKFILL OPERATION HAS BEEN COMPLETED. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR TEST PITTING.
11. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
12. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING, TWO (2) DAYS PRIOR TO BEGINNING ANY WORK SHOWN ON THESE DRAWINGS.
A) DEL DOT (302) 739-4643
B) DOUG CLARK (443) 497-0000
C) J.W. SALM ENGINEERING, INC (410) 641-0126
D) SUSSEX CO. CONSERVATION DISTRICT (302) 856-7219
E) MISS UTILITY (800) 282-8555
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS RESULTING FROM ANY EARTH MOVING AND/OR TEMPORARY STOCKPILING OF EARTH OR OTHER MATERIALS ON SITE.
14. THESE DRAWINGS, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO J. W. SALM ENGINEERING, INC. AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION. COPYRIGHT, LATEST DATE HEREON. ANY DRAWING, REPRODUCTION, PLOT, ETC., WITHOUT A WET INK SIGNATURE AND SEAL IS NOT CERTIFIED BY J. W. SALM ENGINEERING AS TO ACCURACY AND AUTHENTICITY.
15. COMPACTION SHALL BE AS FOLLOWS:
A. FOR ROAD OR PARKING AREAS: 95% OF MODIFIED PROCTOR DENSITY AT +/- 2 % OF OPTIMUM MOISTURE CONTENT.
B. FOR AREAS OUTSIDE OF ROAD OR PARKING AREAS: 90% OF MODIFIED PROCTOR DENSITY AT +/- 3% OF OPTIMUM MOISTURE CONTENT

STORMWATER MANAGEMENT (SWM) PLAN NOTES:

- 1) UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE SHALL BE SMOOTH BORE, HDPE SI (SMOOTH INTERIOR), ADS N-12 OR EQUAL. UNLESS OTHERWISE SPECIFIED TRANSITIONING BETWEEN DIFFERING PIPE MATERIALS SHALL BE MADE AT INLET STRUCTURES OR JUNCTION BOXES.
RCP: REINFORCED CONCRETE PIPE
BCMP: BITUMINOUS COATED CORRUGATED METAL PIPE
HDPE-SI: HIGH DENSITY POLYETHYLENE PIPE (SMOOTH INTERIOR)
HDPE: CORRUGATED HIGH DENSITY POLYETHYLENE PIPE
- 2) PROVIDE FLARED END SECTION AND RIPRAP APRON, 14" THICK, D50 = 7" ON MIRAFI 700X FILTER FABRIC, APRON SIZE AS SHOWN ON PLANS, 2.0 SQ. YD. MIN. (SEE ROP DETAIL)
- 3) REMOVE FLARED END SECTION AND INSTALL YARD INLET, RIM EL = 38.0, FILL DITCH, SLOPE TO DRAIN.
- 4) INSTALL 8 +/- S.Y. RIP RAP BANK STABILIZATION.
- 5) REFER TO SUBSEQUENT SHEETS FOR THE DETAILS OF THE ADS SUBSURFACE SWM SYSTEM.
- 6) REFER TO SHEET NO.1 FOR COMPLETE PLAN LEGEND.
- 7) THERE WERE NO WETLANDS FOUND WITHIN THE SUBJECT PROPERTY
- 8) SWM INLET: PROTECTION, TYPE 2 IS PREFERRED, SILT SACK OR EQUAL AS RECOMMENDED BY ADS.
- 9) APPROXIMATELY 4,850 C.Y. OF BORROW WILL BE REQUIRED FOR THIS PROJECT.
- 10) THE SWM FACILITIES SHALL BE PRIVATELY MAINTAINED BY THE PROPERTY OWNER.
- 11) ANY MATERIAL REMOVED FROM THE SUBSURFACE SWM SYSTEM SHALL BE IMMEDIATELY REMOVED TO AN APPROVED OFFSITE LOCATION BY THE OWNER OR THE OWNER'S CONTRACTOR.
- 12) PROVIDE A DIVERSIONARY WEIR WITHIN THE SUBSURFACE SYSTEM INLET MANHOLES TO COMPLETELY DIVERT THE RVP EVENT TO ISOLATOR ROWS. SEE DETAILS BELOW. WEIR ELEVATION = 35.54 FT.

STORMWATER MANAGEMENT (SWM) O & M NOTES:

- 1) THE OWNER WILL BE RESPONSIBLE FOR OPERATING AND MAINTAINING EACH POST CONSTRUCTION STORMWATER MANAGEMENT FACILITY.
- 2) THE DNRDC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELAVANT DELEGATED AGENCY RESERVES THE RIGHT TO ENTER PRIVATE PROPERTY FOR PURPOSES OF PERIODIC SITE REVIEWS.
- 3) THE DNRDC SEDIMENT AND STORMWATER PROGRAM (OR THE RELAVANT DELEGATED AGENCY) SHALL BE NOTIFIED WITHIN 30 BUSINESS DAYS IF THE PROPERTY OWNERSHIP IS TRANSFERRED TO A NEW PERSON OR ENTITY.
- 4) THE DNRDC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELAVANT DELEGATED AGENCY MAY SEEK ENFORCEMENT ACTION AGAINST ANY OWNER DEEMED NEGLIGENT IN FULFILLING THE OPERATION AND MAINTENANCE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS.
- 5) THE DNRDC SEDIMENT AND STORMWATER PROGRAM (OR THE RELAVANT DELEGATED AGENCY) SHALL BE CONTACTED IF A CONCERN ARISES REGARDING A STORMWATER MANAGEMENT FACILITY, BEFORE ANY NON-ROUTINE MAINTENANCE, OR IF MODIFICATIONS TO THE FACILITY ARE DESIRED.
- 6) ANY DESIGN MODIFICATIONS MADE TO THE STORMWATER SYSTEM SHALL REQUIRE THE CREATION OF A NEW POST CONSTRUCTION STORMWATER MANAGEMENT PLAN AND/OR OPERATIONS AND MAINTENANCE PLAN, WITH APPROVAL OF THE PLANS) BY DNRDC SEDIMENT AND STORMWATER PROGRAM (OR THE RELAVANT DELEGATED AGENCY).
- 7) FOR ALL STORMWATER EASMENT AREAS (I.E. ACCESS, MAINTENANCE, OR OFFSITE) AND THE MINIMUM 10-FOOT WIDE ACCESSWAYS TO ALL STORMWATER FACILITIES AND THEIR STRUCTURAL COMPONENTS, REGULAR MOWING SHALL BE PERFORMED TO KEEP THE GRASS 6" OR LESS; NO TREES OR SHRUBS SHALL BE PLANTED, ANY FOUND GROWING SHALL BE REMOVED; AND NO PERMANENT STRUCTURES, SUCH AS FENCES OR SHEDS, SHALL BE LOCATED WITHIN THE EASMENT OR ACCESSWAY.
- 8) TREES SHALL NOT BE PLANTED, AND SHALL BE REMOVED IF FOUND GROWING, ON AND WITHIN 15 FEET OF ALL POND EMBANKMENTS, ON POND SLOPES OR SAFETY BENCHES, AND WITHIN 10 FEET OF STRUCTURAL COMPONENTS, SUCH AS PIPE INLETS.
- 9) WHEN THE FACILITY IS EXCAVATED TO REMOVE ACCUMULATED SEDIMENT, THE DISPOSAL AREA SHALL BE PERMANENTLY STABILIZED SO THAT IT DOES NOT RECREATE AN EROSION PROBLEM. ANY MATERIAL TAKEN OFF-SITE SHALL STILL BE UTILIZED OR DISPOSED OF IN AN APPROVED DNRDC MANNER.
- 10) BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CALL MISS UTILITY AT 811 OR 1.800.282.8555 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, TO HAVE ALL EXISTING UTILITIES MARKED ONSITE.
- 11) THE OWNER SHALL ADHERE TO ALL MANUFACTURE REQUIRED OPERATIONS AND MAINTENANCE GUIDANCE FOR THE SUB-SURFACE STORMWATER MANAGEMENT SYSTEM. SYSTEM SHALL BE CHECKED AFTER ALL RAIN EVENTS MEASURING 0.5 INCHES OR MORE IN ACCORDANCE WITH ADS RECOMMENDATIONS.
- 12) STORM SACKS BY FABCO SHALL BE CHECKED AFTER EACH RAIN EVENT MEASURING 0.5 INCHES OR MORE AND SHALL ALSO BE CHECKED AND EMPTIED AT LEAST ONCE A MONTH.



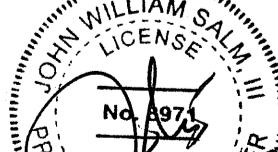
<p>STORMSACK BY FABCO TYPE P, CUSTOM FRAME AND PLATE</p> <p>FABRICATED S.S. OR ALUMINUM WEIR (SEE DETAIL- SHEET 5)</p> <p>SS1</p>	<p>STORMSACK BY FABCO TYPE P, CUSTOM FRAME AND PLATE</p> <p>FABRICATED S.S. OR ALUMINUM WEIR (SEE DETAIL- SHEET 5)</p> <p>SS2</p>	<p>STORMSACK BY FABCO TYPE P, CUSTOM FRAME AND PLATE</p> <p>FABRICATED S.S. OR ALUMINUM WEIR (SEE DETAIL- SHEET 5)</p> <p>SS3</p>	<table><tr><td>DESIGNED BY:</td><td>DRAWN BY:</td><td>CHECKED BY:</td></tr><tr><td>JWS3</td><td>SEL</td><td>JWS3</td></tr></table> <div><p>JOHN W. SALM, III</p><p>DELAWARE PROFESSIONAL ENGINEER LICENSE No.: 6971</p></div>	DESIGNED BY:	DRAWN BY:	CHECKED BY:	JWS3	SEL	JWS3	<table><tr><td colspan="4">STORMWATER MANAGEMENT (SWM) PLAN</td></tr><tr><td colspan="4">SELF STORAGE & OFFICE BUILDINGS</td></tr><tr><td colspan="4">LIGHTHOUSE ANNEX</td></tr><tr><td colspan="4">TAX MAP 533-17.00-83.00</td></tr><tr><td>BALTIMORE HUNDRED</td><td>SUSSEX COUNTY</td><td colspan="2">DELAWARE</td></tr><tr><td colspan="4">J. W. SALM ENGINEERING, INC.</td></tr><tr><td colspan="4">P.O. BOX 379, 9842 MAIN STREET, SUITE 3</td></tr><tr><td colspan="4">BERLIN, MD 21811</td></tr><tr><td>SCALE:</td><td>DATE:</td><td>DRAWING No.:</td><td>SHEET No.:</td></tr><tr><td>1" = 30'</td><td>FEB 2017</td><td>278-02-004</td><td>4 OF 8</td></tr></table>	STORMWATER MANAGEMENT (SWM) PLAN				SELF STORAGE & OFFICE BUILDINGS				LIGHTHOUSE ANNEX				TAX MAP 533-17.00-83.00				BALTIMORE HUNDRED	SUSSEX COUNTY	DELAWARE		J. W. SALM ENGINEERING, INC.				P.O. BOX 379, 9842 MAIN STREET, SUITE 3				BERLIN, MD 21811				SCALE:	DATE:	DRAWING No.:	SHEET No.:	1" = 30'	FEB 2017	278-02-004	4 OF 8
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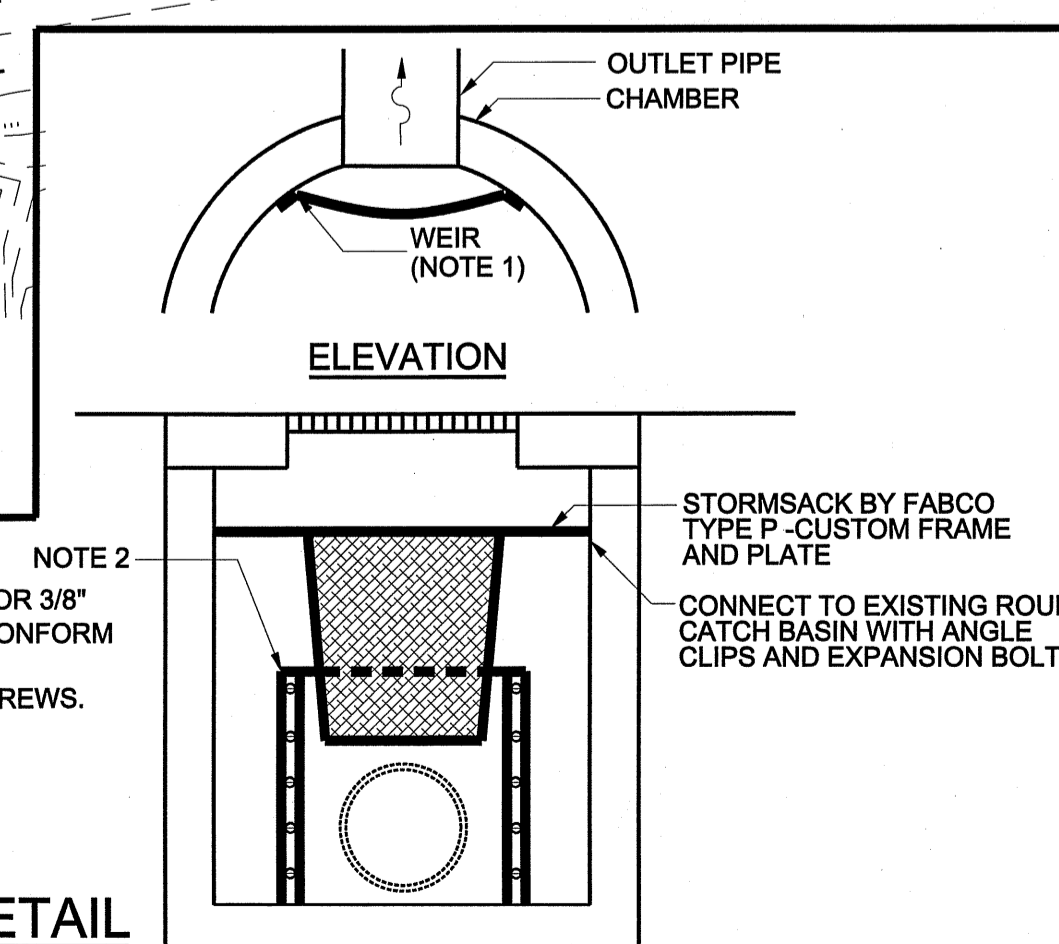
<p>RIP RAP OUTLET PROTECTION SEE DETAIL: DE-ESC-3.3.10</p>		<p>INLET PROTECTION SEE DETAIL: DE-ESC-3.1.5.2</p>	
		<p>CONCRETE WASHOUT SEE DETAIL: DE-ESC-3.6.2</p>	
<p>CULVERT INLET PROTECT SEE DETAIL: DE-ESC-3.1.6</p>		<p>STABILIZED CONSTRUCTION ENTRANCE SEE DETAIL: DE-ESC-3.4.7</p>	
<p>LIMIT OF DISTURBANCE (LOD)</p>		<p>SILT FENCE/SF=LOD SEE DETAIL: DE-ESC-3.1.2</p>	

- 1) NOTIFY THE DNREC SEDIMENT AND STORMWATER MANAGEMENT PROGRAM (OR RELEVANT DELEGATED AGENCY) IN WRITING AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO COMMENCING ANY SITE WORK. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- 2) PRIOR TO ANY CLEARING, INSTALLATION OF SEDIMENT CONTROL MEASURES OR GRADING, A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED AND CONDUCTED WITH THE AGENCY CONSTRUCTION SITE REVIEWER, THE LANDOWNER/DEVELOPER, CONTRACTOR, AND CERTIFIED CONSTRUCTION REVIEWER ARE REQUIRED TO BE IN ATTENDANCE AT THE PRE-CONSTRUCTION MEETING; THE DESIGNER IS RECOMMENDED TO ATTEND.
- 3) CLEAR AND GRUB FOR PERIMETER CONTROL ONLY.
- 4) INSTALL PERIMETER CONTROLS; SILT FENCE, SUPER SILT FENCE AND STABILIZED CONSTRUCTION.
- 5) ALL PERIMETER CONTROLS ARE TO BE REVIEWED BY THE AGENCY CONSTRUCTION SITE REVIEWER AND APPROVED PRIOR TO PROCEEDING WITH FURTHER SITE DISTURBANCE OR CONSTRUCTION.
- 6) CLEAR AND GRUB THE SITE. REMOVE ANY TOPSOIL.
- 7) MASS GRADE AND FILL THE SITE. INSTALL SITE CONCRETE WASHOUT STATION PER POLLUTION PREVENTION PLAN.
- 8) PLACE BUILDING FOR BUILDING I.
- 9) CONSTRUCT THE BUILDINGS.
- 10) PROTECT THE SUB SURFACE SWM SYSTEM WITH TEMPORARY SILT-SACKS. REMOVE THE NON-WOVEN GEOTEXTILE FABRIC IN THE STORM TECH CHAMBER ISOLATOR ROW.
- 11) REPAIR THE PARKING LOT.
- 12) FINE GRADE THE SITE AROUND BUILDING I, INCLUDING REGRADING OF SWALE BETWEEN BUILDINGS B AND H IN ACCORDANCE WITH THE APPROVED PLAN.
- 13) PATCH PAVE THE SITE.
- 14) LANDSCAPE THE SITE AND RE-STRIPE THE PARKING LOT.
- 15) STABILIZE THE SITE IN ACCORDANCE WITH THE TEMPORARY AND PERMANENT COVER PLAN.
- 16) INSTALL PERMANENT STORM SACKS IN FOR INLET STRUCTURES.
- 17) THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHOULD BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENTATION ON THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR REPAIR MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
- 18) NOTIFY THE PERSON RESPONSIBLE FOR STORMWATER SYSTEM CONSTRUCTION REVIEW AT LEAST THREE (3) DAYS PRIOR TO THE START OF THE STORMWATER SYSTEM CONSTRUCTION; STORMWATER FACILITIES MUST BE REVIEWED THROUGHOUT THEIR CONSTRUCTION.
- 19) EROSION AND SEDIMENT CONTROL DEVICES SHOULD BE REMOVED ONLY AFTER WORK IN AN AREA HAS BEEN COMPLETED AND STABILIZED, WITH WRITTEN APPROVAL FROM THE AGENCY CONSTRUCTION SITE REVIEWER.
- 20) THE TERMINATION OF THE CONSTRUCTION GENERAL PERMIT WILL REQUIRE SUBMISSION AND ACCEPTANCE OF THE POST CONSTRUCTION VERIFICATION DOCUMENTS, INCLUDING FINAL STABILIZATION THROUGHOUT THE SITE, ALL ELEMENTS OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN IMPLEMENTED, AND ACCEPTANCE OF THE FINAL OPERATION AND MAINTENANCE PLAN.

ESC PLAN NOTES:

- 1) REFER TO SHEET NO. 1 FOR COMPLETE PLAN LEGEND.
- 2) ALL STRIPPED TOPSOIL WILL BE REMOVED FROM THE SITE.
- 3) THE OWNER WILL BE RESPONSIBLE FOR MAINTAINING ALL ESC DEVICES.
- 4) ALL STONE MUST BE UNDERLAIN WITH AN APPROVED GEOTEXTILE FABRIC.
- 5) DUST CONTROL MEASURES ARE SPECIFIED ON SHEET_. THEY SHALL BE USED, IF AND AS, NECESSARY.

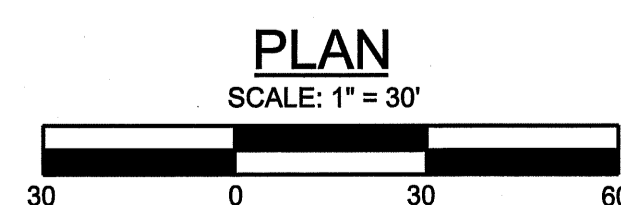
DESIGNED BY:	DRAWN BY:	CHECKED BY:	EROSION AND SEDIMENT CONTROL (ESC) PLAN			
JWS3	SEL	JWS3	SELF STORAGE & OFFICE BUILDINGS			
JOHN W. SALM, III			LIGHTHOUSE ANNEE			
			TAX MAP 533-17.00-83.00			
REVISIONS			BALTIMORE HUNDRED	SUSSEX COUNTY	DELAWARE	
			J. W. SALM ENGINEERING, INC.			
			P.O. BOX 379, 9842 MAIN STREET, SUITE 3			
			BERLIN, MD 21811			
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			1" = 30'	FEB 2017	278-02-005	5 OF 8



NOTES: NOTE

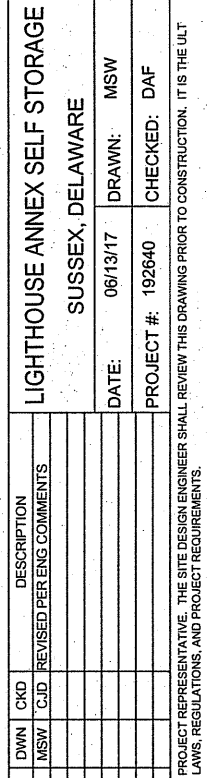
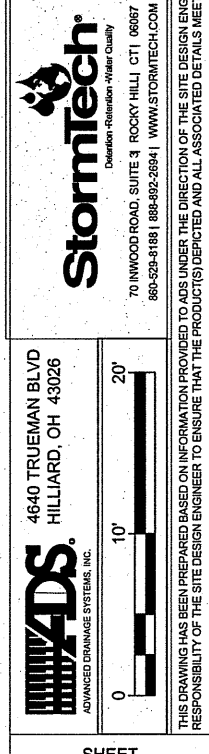
- 1) WEIR MAY BE 1/4" THICK STAINLESS STEEL OR 3/8" THICK ALUMINIUM PLATE, CUT AND BENT TO CONFORM TO THE CHAMBER WALLS.
- 2) ATTACH WITH S.S. OR THICK ALUMINIUM SCREWS. SEAL WITH MASTIC.

DIVERSIONARY WEIR DETAIL



DESCRIPTION	LIGHTHOUSE ANNEX SELF STORAGE	
SUPER ENCL COMMENTS		
	DATE:	08/13/17
	DRAWN:	MSW
	PROJECT #:	192640
	CHECKED:	DAF

THE SITE DESIGN ENGINEER SHALL REVIEW THIS DRAWING PRIOR TO CONSTRUCTION. IT IS THE A/E'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND TO COMPLY WITH ALL APPLICABLE REGULATORY REQUIREMENTS.



WADS®
2 SHAWNEE PIKEWAY, INC.
4640 TRUEMAN BLVD
HILLIARD, OH 43026

StormTech®
Diversified - Affordable - Quality
70 INWOOD ROAD, SUITE 3 ROCKY HALL, CT 06067
860-524-1181 860-852-3294 | WWW.STORMTECH.COM

DESCRIPTION PER ENG COMMENTS	LIGHTHOUSE ANNEX SELF STORAGE	
	SUSSEX, DELAWARE	
	DATE:	06/13/17
	DRAWN:	MSW
	PROJECT #:	192840
	CHECKED:	DAF


4640 TRUEMAN BLVD
HILLIARD, OH 43026

4DS
ADVANCED DAMAGE SYSTEM, INC.


THIS DRAWING HAS BEEN PREPARED BASED ON INFORMATION PROVIDED BY THE CLIENT. 4DS ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.

4 SHEET OF 8

4 SHEET OF 8

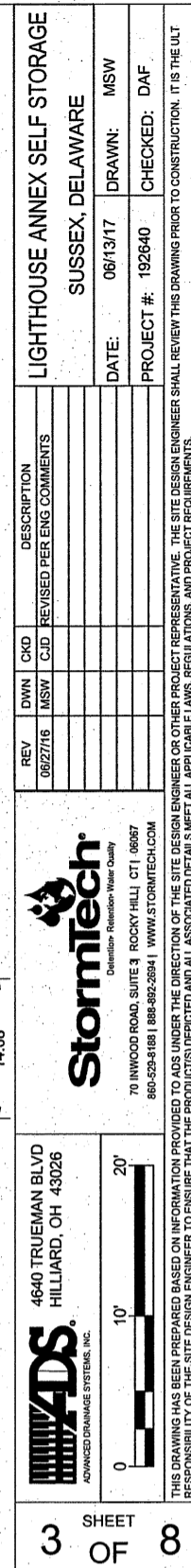


1. STORMTSECH SC-310 & SC-740 Chambers SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTSECH SC-310SC-740DC-740DC CONSTRUCTION GUIDE".
2. THE USE OF CONSTRUCTION EQUIPMENT OVER SC-310 & SC-740 Chambers IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON CHAMBERS.
 - RUBBER TIRE LOADERS (EQUIPPED WITH STEEL TIRE TRACKS) ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTSECH SC-310SC-740DC-740DC CONSTRUCTION GUIDE".
 - WHEEL LOADS FOR ALL OTHER EQUIPMENT CAN BE DETERMINED BY THE "STORMTSECH SC-310SC-740DC-740DC CONSTRUCTION GUIDE".
3. FILL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL, OR DUMPING.
4. USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP" AND "PUSH" METHOD ARE NOT COVERED UNDER THE STORMTSECH WARRANTY.
5. CONTACT STORMTSECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

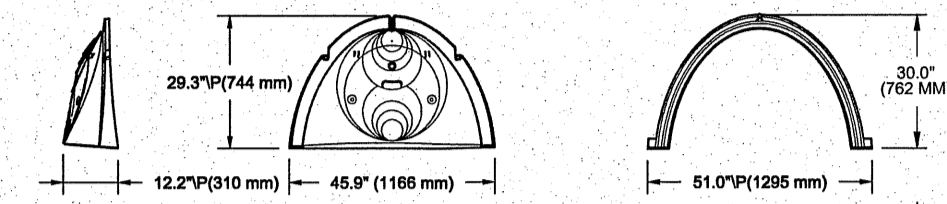
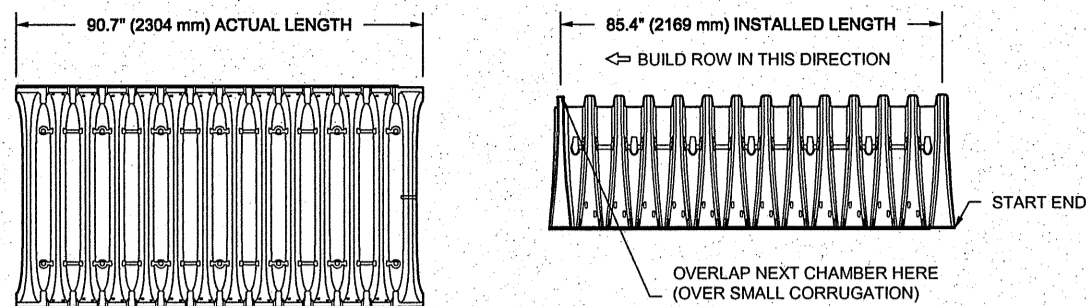
DESIGNED BY:		DRAWN BY:		CHECKED BY:		SWM SYSTEM DETAILS AND NOTES							
JWS3		SEL		JWS3									
JOHN W. SALM, III						SELF STORAGE & OFFICE BUILDINGS LIGHTHOUSE ANNEX TAX MAP 533-17.00-83.00							
REVISIONS													
						▲ 11/02/17		BALTIMORE HUNDRED		SUSSEX COUNTY		DELAWARE	
						▲ 12/05/17		J. W. SALM ENGINEERING, INC. P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811					
						▲ 01/31/18							

NOTES

1. MANHOLE SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH SHEET #7 FOR MANHOLE SIZING GUIDANCE. DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANHOLE COMPONENTS IN THE FIELD.
2. THE SITE DESIGN ENGINEER MUST REVIEW THE PROXIMITY OF THE CHAMBERS TO THE BUILDING/STRUCTURE. NO FOUNDATION LOADS SHALL BE TRANSMITTED TO THE CHAMBERS. THE SITE DESIGN ENGINEER MUST CONSIDER EFFECTS OF POSSIBLE SATURATED SOIL ON BEARING CAPACITY OF SOILS AND SEEPAGE INTO BASEMENTS.
3. THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.

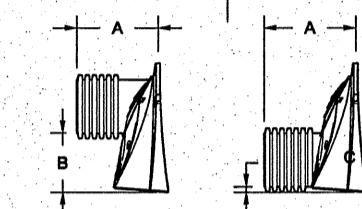


TECHNICAL SPECIFICATIONS



NOMINAL CHAMBER SPECIFICATIONS		
SIZE (W X H X INSTALLED LENGTH)	51.0" X 30.0" X 85.4"	(1295 mm X 762 mm X 2188 mm)
CHAMBER STORAGE	45.9 CUBIC FEET	(1.30 m ³)
MINIMUM INSTALLED STORAGE*	74.9 CUBIC FEET	(2.12 m ³)
WEIGHT	75.0 lbs.	(33.6 kg)

*ASSUMES 6" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS



PRE-FAB STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
PRE-FAB STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"
PRE-CORED END CAPS END WITH "DC"

PART #		A	B	C
SC74MEPE061	SC74MEPE010TC	6" (150 mm)	10.9" (277 mm)	18.5" (470 mm)
SC74MEPE068	SC74MEPE083C	6" (150 mm)	12.2" (310 mm)	0.5" (13 mm)
SC74MEPE069	SC74MEPE083C	6" (150 mm)	12.2" (310 mm)	10.5" (267 mm)
SC74MEPE088	SC74MEPE083C	6" (150 mm)	12.2" (310 mm)	0.6" (15 mm)
SC74MEPE101	SC74MEPE010TC	10" (250 mm)	13.4" (340 mm)	14.6" (368 mm)
SC74MEPE109	SC74MEPE109C	10" (250 mm)	13.4" (340 mm)	0.7" (18 mm)
SC74MEPE121	SC74MEPE121TC	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)
SC74MEPE126	SC74MEPE126C	12" (300 mm)	14.7" (373 mm)	1.2" (30 mm)
SC74MEPE151	SC74MEPE151C	15" (375 mm)	18.4" (467 mm)	0.6" (15 mm)
SC74MEPE159	SC74MEPE159C	15" (375 mm)	18.4" (467 mm)	1.3" (33 mm)
SC74MEPE181	SC74MEPE181C	18" (450 mm)	19.7" (500 mm)	0.5" (12 mm)
SC74MEPE186	SC74MEPE186C	18" (450 mm)	19.7" (500 mm)	1.6" (41 mm)
SC74MEPE401		24" (600 mm)	48.5" (1230 mm)	0.5" (13 mm)

ALL STUBS, EXCEPT FOR THE SC740EPE24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-692-2694.

* FOR THE SC740EPE24B THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm) BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL

NOTE: ALL DIMENSIONS ARE NOMINAL

	MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS, CHANGED PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (B' LAYER) TO 16" (400 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M343 ² 3, 357, 4, 467, 5, 56, 57, 6, 67, 66, 7, 8, 69, 8, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 16" (400 mm) MAX LIFTS TO A MIN. 98% PROCTOR DENSITY FOR WELL-GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE TOP OF THE EMBEDMENT STONE (A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M343 ² 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M343 ² 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. **

Technical drawing of a drainage ditch cross-section. The drawing includes the following components and dimensions:

- PERIMETER STONE (SEE NOTE 6)**: Located at the top of the ditch walls.
- EXCAVATION WALL (B SHOULD BE SLOPED OR VERTICAL)**: The side walls of the ditch.
- SC-310 END CAP**: A semi-circular cap at the end of the ditch.
- SUBGRADE SOILS**: The ground beneath the ditch.
- PAVEMENT LAYER (DESIGNED BY SITE DESIGN ENGINEER)**: The layer above the ditch.
- Dimensions**:
 - 12" (300 mm) MIN: Minimum width of the ditch at the bottom.
 - 16" (405 mm) MIN: Minimum depth of the ditch.
 - 18" (450 mm) MIN: Minimum depth of the ditch for unpaved areas.
 - 6" (150 mm) MAX: Maximum depth of the ditch for unpaved areas.
 - 3" (80 mm) MIN: Minimum depth of the ditch for unpaved areas.
 - 34" (865 mm): Total width of the ditch at the bottom.
 - 12" (300 mm) MIN: Minimum width of the ditch at the bottom.
- Notes**:
 - "1" TO BOTTOM OF FLEXIBLE PAVEMENT FOR UNPAVED INSTALLATIONS WHERE FILTERING FROM VEHICLES MAY OCCUR, INCREASE COVER TO 24" (600 mm).


NOTES:

LIGHTHOUSE ANNEX SS-4 CROSS SECTION

- SC-310 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-310 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' TO ALL THE SITE DESIGN ENGINEER'S DISCRETION.

6 SHEET OF 8

4640 TRUEMAN BLVD
HILLIARD, OH 43026



ADS
ADVANCED DESIGN SYSTEMS, INC.

THIS DRAWING HAS BEEN PREPARED BASED ON INFORMATION PROVIDED BY THE CLIENT. THE FIRM ASSUMES NO LIABILITY FOR THE ACCURACY OR RESPONSIBILITY OF THE SITE DESIGN ENGINEER TO ENSURE THAT THE INFORMATION PROVIDED IS CORRECT.

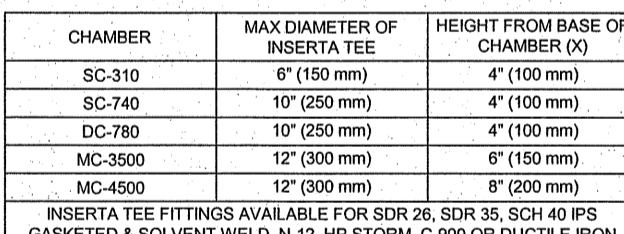


John W. Salm, III, P.E.
J. W. Salm Engineering, Inc.
12432 Collins Road 62 N DuPont Hwy
Bishopville MD 21813

John.

1. To safeguard against over-compacting the base soil, excavating equipment should not be operating directly on the base soil. A dig as you go method should be employed with the excavator lifting above the excavation. The bottom of the infiltration basin may be scarified if needed.
2. Excavate and level the designated area. Be sure to excavate to least one extra foot around the perimeter to allow for proper fill and installation of perimeter stone.
3. Excavation must be free of standing water. Positive drainage of the excavation (dewatering) shall be maintained during installation.
4. A drainage net shall be placed over the subgrade soils below the base stone is applied to assist in separation of the subgrade and system aggregate [Tech Note #5].
5. ASTM#1928 Class 2 non-woven filter fabric should be placed and up the sides of the excavated area and above the final layer of embankment to prevent construction Gumbo.
6. Place acceptable clean, graded, angular stone foundation material over the entire bottom surface of the bed. Stone gradation shall be in accordance with the applicable StormTech Construction Guide.
7. Based upon an assumed bearing capacity of 2.5 ksf and the proposed grades having an approximate cover height of 1.5 feet above the top of the chamber, a foundation stone thickness of 9 inches was recommended.
8. The use a vibratory roller to compact the foundation stone may be waived. However, the use of a vibratory roller to compact the fill fill above the chambers shall be in accordance with the StormTech Construction Guide.
9. In the field installation practice, it is recommended that final project acceptance until at least 45 days after installation of the system to allow for possible consolidation of the soils beneath the foundation stone.

Chuck Lacey, PE
Engineering Product Manager, StormTech/ADS



NOTE:
PART NUMBERS WILL VARY BASED ON INLET PIPE MATERIALS
CONTACT STORMTECH FOR MORE INFORMATION

CHAMBER	MAX DIAMETER OF INSERTA TEE	HEIGHT FROM BASE OF CHAMBER (X)
SC-310	6" (150 mm)	4" (100 mm)
SC-740	10" (250 mm)	4" (100 mm)
DC-780	10" (250 mm)	4" (100 mm)
MC-3500	12" (300 mm)	6" (150 mm)
MC-4500	12" (300 mm)	8" (200 mm)

INSERTA TEE FITTINGS AVAILABLE FOR SDR 26, SDR 35, SCH 40 IPS

NOTE:	MC-4500	12" (300 mm)	8" (200 mm)
PART NUMBERS WILL VARY BASED ON INLET PIPE MATERIALS.	INSERTA TEE FITTINGS AVAILABLE FOR SDR 26, SDR 35, SCH 40 IPS		
CONTACT STORMTECH FOR MORE INFORMATION	GASKETED & SOLVENT WELD, N-12 HP STORM, C-900 OR DUCTILE IRON		

4640 FREEMAN BLVD
INLAND, OH 43026

ADVANCED DESIGN SYSTEMS, INC.

8 SHEET

OF

8

PROJECT: 4640 FREEMAN BLVD

DATE: 05/17/17

DRAWN BY: MSW

CHECKED BY: DAF

PROJECT #: 102640

DATE: 05/17/17

DRAWN BY: MSW


CHECKED BY: DAF

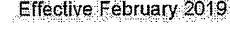
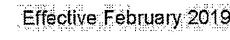
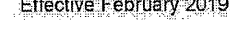
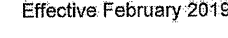
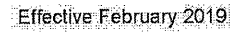
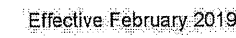
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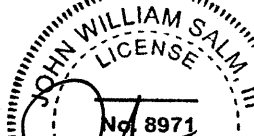
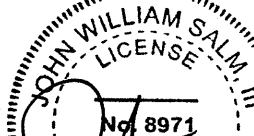
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REVISIONS:

REV	DATE	CHD	DESCRIPTION
0001	05/17/17		ISSUED FOR PERMITS COMMENTS

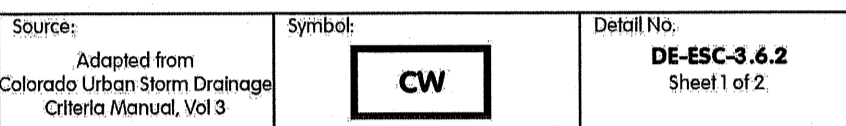
DESIGNED BY:	DRAWN BY:	CHECKED BY:	SWM DETAILS AND NOTES			
JWS3	SEL	JWS3	SELF STORAGE & OFFICE BUILDINGS LIGHTHOUSE ANNEX TAX MAP 533-17.00-83.00			
 JOHN W. SALM, III DELAWARE PROFESSIONAL ENGINEER LICENSE NO. 9971	REVISIONS	BALTIMORE HUNDRED SUSSEX COUNTY DELAWARE				
		A 12/05/17				
		A 1/10/18				
		A 1/31/18				
DELAWARE PROFESSIONAL ENGINEER LICENSE NO. 9971			J. W. SALM ENGINEERING, INC. P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811			
SCALE:		DATE:	DRAWING No.:		SHEET No.:	
NO SCALE		FEB 2017	278-02-007		7 OF 8	



DESIGNED BY:	DRAWN BY:	CHECKED BY:	EROSION AND SEDIMENT CONTROL (ESC) DETAILS & NOTES			
JWS3	SEL	JWS3	SELF STORAGE & OFFICE BUILDINGS LIGHTHOUSE ANNEX TAX MAP 533-17-00-83.00			
	JOHN W. SALM, III	REVISIONS	BALTIMORE HUNDRED		SUSSEX COUNTY	DELAWARE
			A	11/02/17		
			A	11/01/18		
			A	08/12/20		
			J. W. SALM ENGINEERING, INC. P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811			
 DELAWARE PROFESSIONAL ENGINEER LICENSE NO. 9871			SCALE:	DATE:	DRAWING No.:	SHEET No.:
			N.T.S.	FEB 2017	278-02-008	8 OF 8



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EROSION
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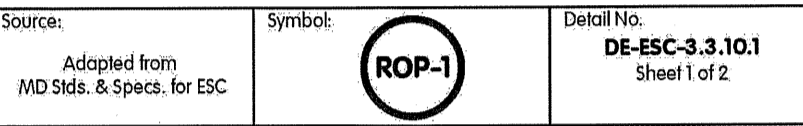
**DELAWARE
EROSION
CONTROL
HANDBOOK**

- Locate wastewater area a minimum of 50 feet from open channels, stormwater inlets, wetlands or waterbodies.
- Locate wastewater area that is accessible to construction equipment with a minimum 10 foot wide gravel access road, but it should be in a highly active construction area causing potential erosion.
- Minimum dimensions for prefabricated units are 4 feet by 4 feet by 1 foot deep with a minimum 4 mil polyethylene plastic liner. Minimum dimensions for constructed concrete wastewater units are 4 feet by 4 feet by 3 feet deep, with a minimum 1 mil polyethylene liner, 2:1 side slopes, and a 1 foot depth of 1/2" gravel bedding beneath them.
- The liner must be free of tears and holes and placed over smooth surface to prevent puncturing. For excavated wastewater, anchor the liner underneath the berm or overtop with sandbags or concrete blocks to hold the liner in place.
- Provide a sign designating the wastewater area, and for large construction sites, provide signs throughout directing traffic to the location.
- Wastewater under concrete liner to harden through evaporation of the wastewater. Once the facility has reached 75 percent of its capacity, remove the hardened concrete by breaking the broken aggregate into pieces, removing or disposing of it. The hardened material can be buried on site within 10 feet of the closed, completed fill.
- Apply a new liner below the existing liner for additional wastewater after maintenance has been completed.

Source: Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3	Symbol: 	Detail No: DE-ESC-3.6.2 Sheet 2 of 2
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Standard Detail
Riprap Out




Effective February 2019



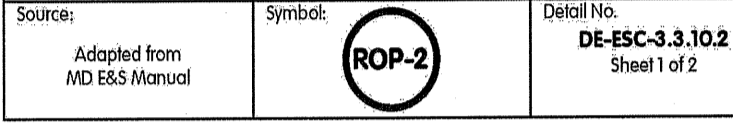
**DELAWARE
EROSION
& SEDIMENT
CONTROL
HANDBOOK**

1. The subgrade for the riprap shall be prepared to the required limits and grades as shown on the plan. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
2. The riprap shall conform to the grading limits as shown on the plan.
3. Filter cloth shall be protected from punching, cutting or tearing. Any damage other than an occasional small hole shall be repaired by placing another piece of cloth over the damaged area. All connecting joints should overlap a minimum of 1 ft. If the damage is extensive, replace the entire filter cloth.
4. Stone for the riprap or gabion outlets may be placed by equipment. Riprap shall be placed in a manner to prevent damage to the filter cloth. Hand placement will be required to the extent necessary to prevent damage to the conduits, structures, etc.

Source: Adapted from MID Stds. & Specs. for ESC	Symbol: 	Detail No. DE-ESC-3.3.10.1 Sheet 2 of 2
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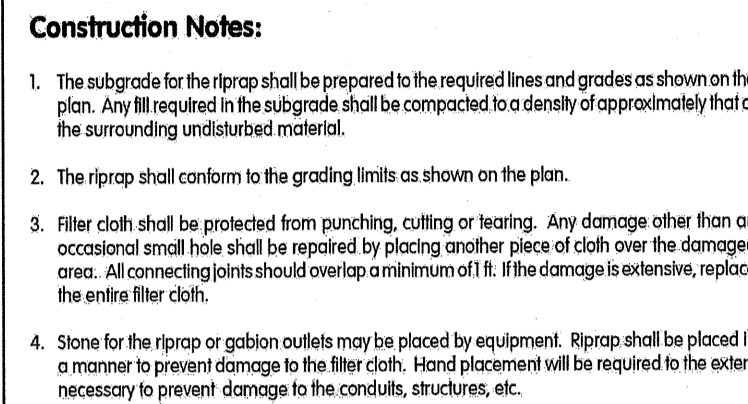
Standard Detail
Riprap Out




Effective February 20



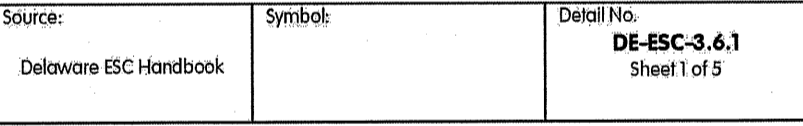
**DELAWARE
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Source: Adapted from MD E&S Manual	Symbol: 	Detail No. DE-ESC-3.3.10.2 Sheet 2 of 2
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Effective February 2019

Standard Detail & Specifications
Construction Site Waste Mgt &



Effective February 2019



**DELAWARE
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HANDBOOK**

- facilities and watercourses.
2. Fueling must be with nozzles equipped with automatic shut-off to control drips. Do not top off.
3. Protect the areas where equipment or vehicles are being repaired, maintained, fueled or parked from storm water runoff and runoff.
4. Use berms with a design to prevent storm water runoff and runoff, and to contain spills.
5. Place a "Fueling Area" sign next to each fueling area.
6. Store hazardous materials such as fuels, solvents, oil and chemicals in secondary containment.
7. Inspect vehicles and equipment for leaks on each day of use. Repair fluid and oil leaks immediately.
8. Absorbent spill clean-up materials and spill kits must be available in fueling areas and on fuel trucks.
9. If fueling is to take place at night, make sure the fueling area is sufficiently illuminated.
10. Properly dispose of used oil, fluids, lubricants and spill clean-up materials.

Source: Delaware ESC Handbook	Symbol:	Detail No. DE-ESC-3.6.1 Sheet 2 of 5
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Effective February 2019

Standard Detail & Specifications
Construction Site Waste Mgt &

1. Material Inventory

Document the storage and use of the following materials:

- Concrete
- Detergents
- Paints (enamel and latex)
- Cleaning solvents
- Pesticides
- Wood scraps
- Fertilizers
- Petroleum based products

2. Good housekeeping practices

- Store only enough product required to do the job.
- All materials shall be stored in a neat, orderly manner in their original labelled container and covered.
- Substances shall not be mixed.
- When possible, all of a product shall be used up prior to disposal of the container.
- Manufacturers' instructions for disposal shall be strictly followed.
- The site foreman shall designate someone to inspect all BWRs daily.

Source: Adapted from USEPA Pub. 840-B-92-002	Symbol:	Detail No. DE-ESC-3.6.1 Sheet 3 of 5
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**DELAWARE
EROSION
& SEDIMENT
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HANDBOOK**

- d. Trash cans shall be disposed of in accordance with all applicable Delaware laws.
- e. Trench mats shall be placed at all lunch spots and littering is strictly prohibited. Recycle bins shall be placed at all construction locations.
- f. Haze/fog banks shall be placed in a weather-proof location, they shall be kept on a pallet and covered with plastic sheathing which is transported and anchored.

4. Equipment maintenance practices

- a. If possible, equipment practices should be taken to off-site commercial facilities for washing and maintenance.
- b. If performance on-site, vehicles shall be washed with high-pressure water spray without deleterious in-area created by an impervious berm.
- c. Dump pans shall be used for all equipment maintenance.
- d. Equipment shall be inspected for leaks on a daily basis.
- e. Washouts from concrete trucks shall be disposed of in a temporary pit for hardening and proper disposal.
- f. Fuel nozzles shall be equipped with automatic shut-off valves.
- g. Use all products such as air, antifreeze, solvents and fuels shall be disposed of in accordance with manufacturer's recommendations and local, state and federal laws and regulations.

5. Spill prevention practices

- a. Potential spill areas shall be identified and contained in covered areas with no connection to the storm drain system.
- b. Warning signs shall be posted in hazardous material storage areas.
- c. Preventative maintenance shall be performed on all tanks, valves, pumps, pipes and other equipment as it is necessary.
- d. Low or non-toxic substances shall be prioritized for use.

Source: Adapted from USEPA Pub. 840-B-92-002	Symbol:	Detail No. DE-ESC-3.6.1 Sheet 4 of 5
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Standard Detail & Specifications
Construction Site Waste Mgt &

e. Contact Information for reporting spills through the DNREC 24-Hour Toll Free Number shall be prominently posted.

6. Education

a. Best management practices for construction site pollution control shall be a part of regular progress meetings.

b. Information regarding waste management, equipment maintenance and spill prevention shall be prominently posted in the construction trailer.

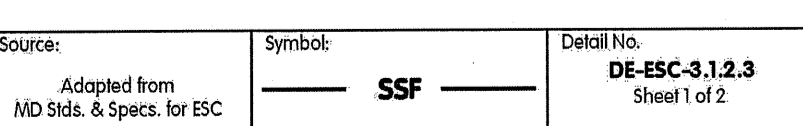
CONTACT INFORMATION

DNREC 24-Hour Toll Free Number	800-662-8802
DNREC Solid & Hazardous Waste Management Section	302-739-9403

Source: Adapted from USEPA Pub. 840-B-92-002	Symbol:	Printed by: DE-ESC-3.6.1 Sheet 5 of 5
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Effective February 2019

Standard Detail & Specifications
Super Silt Fence



Effective February 2019



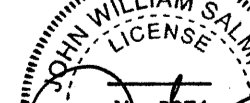
**DELAWARE
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1. The poles do not need to be set in concrete.
2. Chain link fence shall be fastened securely to the fence posts with wire ties or staples.
3. Geotextile fabric shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
4. Geotextile fabric shall be embedded a minimum of 8" into the ground.
5. When two sections of geotextile fabric adjoin each other, they shall be overlapped by 6" and folded.
6. Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence.

1. **Fencing:** Fencing shall be 42 inches in height and constructed in accordance with the latest Delaware Department of Transportation (Del-DOT) Specifications for Chain Link Fencing (Section 727). The Del-DOT specification for a 6 foot fence shall be used, substituting 42 inch fabric and 6 foot length posts.
2. **Geosynthetic Fabric:** Type GD-I

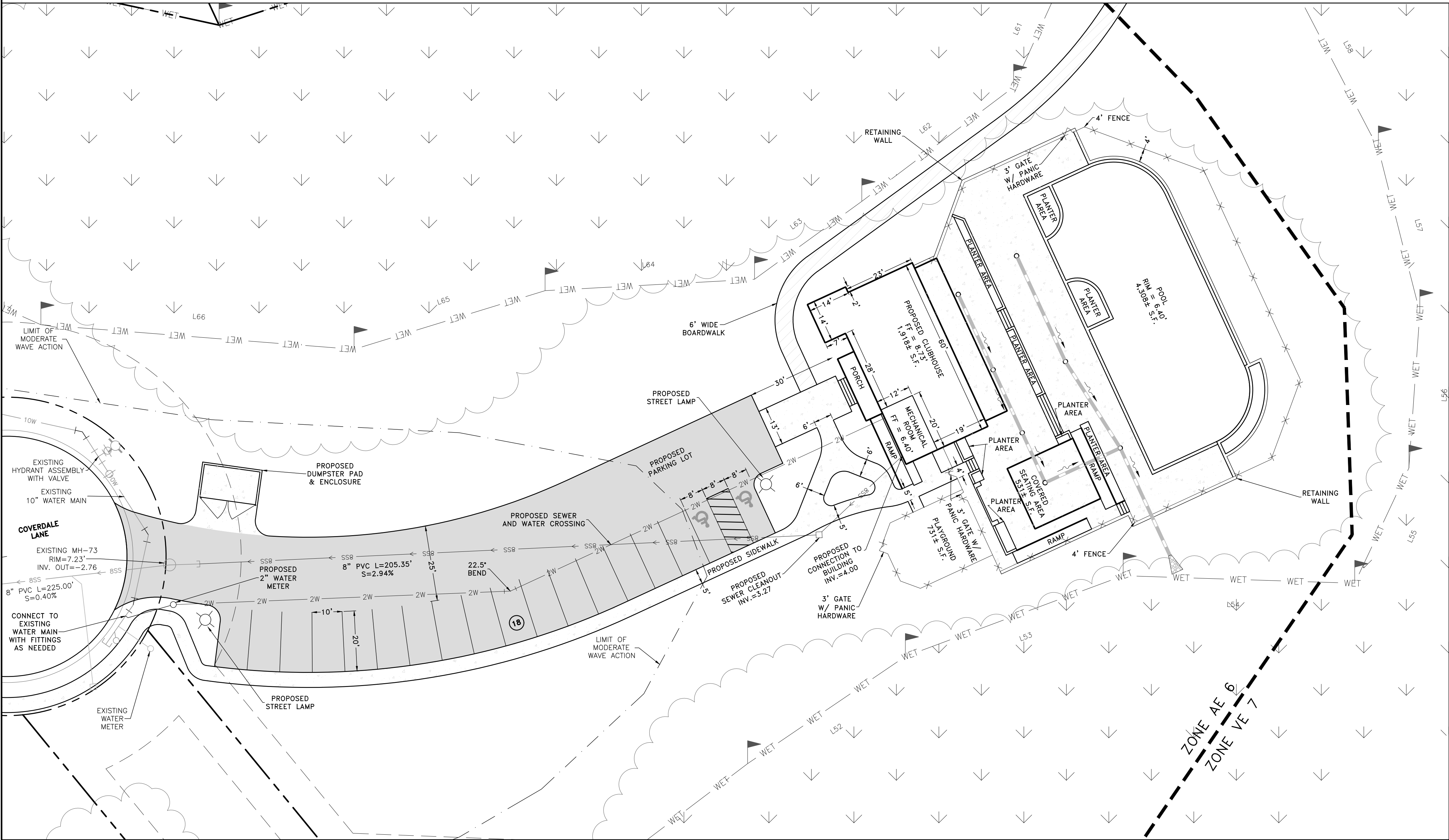
Source: Adapted from MD Sids. & Specs. for ESC	Symbol: _____ SSF _____	Detail No. DE-ESC-3.1.2.3 Sheet 2 of 2
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Effective February 2019

DESIGNED BY: JWS3		DRAWN BY: SEL		CHECKED BY: JWS3		EROSION AND SEDIMENT CONTROL (ESC) DETAILS							
<div>JOHN W. SALM, III</div> <div></div> <div>DELAWARE PROFESSIONAL ENGINEER LICENSE No. 3871</div>						SELF STORAGE & OFFICE BUILDINGS							
						LIGHTHOUSE ANNEX							
						TAX MAP 533-17-03.00							
						REVISIONS		BALTIMORE HUNDRED		SUSSEX COUNTY		DELAWARE	
						J. W. SALM ENGINEERING, INC.							
						P.O. BOX 379, 9842 MAIN STREET, SUITE 3							
						BERLIN, MD 21811							
						SCALE:		DATE:		DRAWING No.:		SHEET No.:	
						N.T.S.		FEB 2017		278-02-008A		8A OF 8	

DESIGNED BY: JWS3	DRAWN BY: DAD	CHECKED BY: JWS3	TOWN DETAILS	
JOHN W. SALM, III 			SELF STORAGE & OFFICE BUILDINGS LIGHTHOUSE ANNEX TAX MAP 379-17.00-83.00 BALTIMORE HUNDRED SUSSEX COUNTY DELAWARE	
			J. W. SALM ENGINEERING, INC. P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811	
REVISIONS 1. 05/14/19 2. 11/05/19			SCALE:	DATE:
			N.T.S.	MAY 2019
			DRAWING No.:	SHEET No.:
			278-02-008C	8C OF 8

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NOI# 6116

ENGINEER'S STATEMENT

I, JAMIE L. SECHLER, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVIS, BOWEN & FRIEDEL, INC.
by JAMIE L. SECHLER, P.E.

DEVELOPER'S STATEMENT

"I, THE UNDERSIGNED, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E., BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS.

SCHILL SPE, LLC.
20184 PHILLIPS ST.
REHOBOTH BEACH, DE 19971

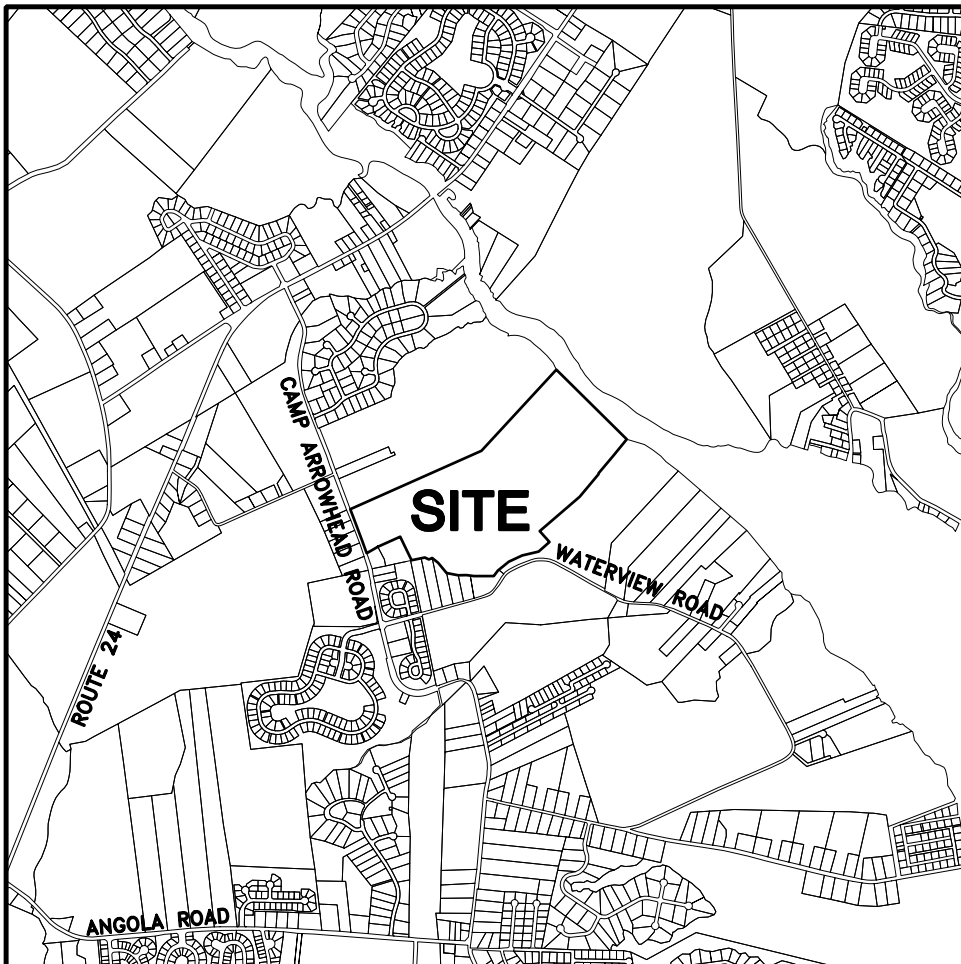
DATE

FIRE PROTECTION NOTES

1. ALL FIRE LANES, HYDRANTS, EXITS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS (DSFPR, 705, CHAPTER 5).
2. WATER PROVIDER: TIDEWATER UTILITIES
3. PROPOSED BUILDING CONSTRUCTION: TYPE V (000)
4. INTENDED USE: CLUB HOUSE, POOL AND POOL DECK - ASSEMBLY
5. PROPOSED BUILDING HEIGHT: <42 FEET
6. PROPOSED BUILDING SQUARE FOOTAGE: 1,918 ± S.F.
7. SITE WILL BE SERVED BY AN UNDERGROUND CLOSED PIPE NATURAL GAS OR PROPANE SYSTEM.
8. AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.

NOTES:

- FIRE HYDRANTS, WATER VALVES, TEES, CROSSES, REDUCERS, WATER METERS AND BLOW-OFF SYMBOLS ON THE SITE PLAN ARE FOR GENERAL LOCATIONS. FOR PROPER LOCATION OF INSTALLATION OF THE ABOVE ITEMS, REFER TO DETAIL SHEET 03.
- ALL WATER MAINS MUST BE PLACED AT 2' BEHIND BACK OF CURB, UNLESS SHOWN DIFFERENTLY ON PLAN.
- POOL BACKWASH WILL NOT BE ACCEPTED INTO THE SANITARY SEWER SYSTEM.
- PRIOR TO THE CONSTRUCTION OF THE 6' WIDE BOARDWALK A PERMIT FROM DNREC SHALL BE ACQUIRED.



LOCATION MAP

SCALE: 1" = 1/2 MILE

DATA COLUMN

TAX MAP NUMBER: 234-7.00-132.00
LOCATION: SCR 279 (CAMP ARROWHEAD ROAD), APPROX. 1/2 MILE SOUTH OF DE ROUTE 24

SUBDIVISION NUMBER: 2005-52 & 2008-25

DATUM: NAVD 88
VERTICAL: NAD 83 (DE STATE PLANE)

EXISTING ZONING: AR-1
PROPOSED ZONING: AR-1

LOCAL LAND USE AGENCY: SUSSEX COUNTY
EXISTING USE: GOLF COURSE
PROPOSED USE: CLUBHOUSE, SWIMMING POOL, PARKING LOT

PROPOSED SITE AREA
POOL: 4,308± S.F.
CLUBHOUSE: 1,918± S.F.
PARKING LOT: 9,438± S.F.
COVERED SEATING AREA: 531± S.F.
CONCRETE / SIDEWALK AREA: 9,062± S.F.
TOTAL IMPERVIOUS AREA: 25,257± S.F.

NET DEVELOPMENT AREA: 90,343.44± S.F. OR 2.074 AC

*NOTE: ENTRANCE AND DRIVEWAYS TO BE PRIVATE AND MAINTAINED BY THE HOME OWNER'S ASSOCIATION.

PARKING DATA:
ONE SPACE IS REQUIRED FOR EVERY 50 S.F. OF FLOOR AREA FOR ROOMS HAVING MOVABLE SEATING.
PARKING SPACES REQUIRED: 750 S.F. / 50 S.F. = 15
PARKING SPACES PROVIDED: 18
HANDICAP SPACES PROVIDED: 2 WITH ONE VAN SPACE

SETBACKS
TOTAL: 25 FEET
SIDE: 10 FEET
REAR: 10 FEET

UTILITIES
WATER PROVIDER: TIDEWATER UTILITIES
SEWER PROVIDER: SUSSEX COUNTY COUNCIL

FLOOD HAZARD MAP: THE SITE IS LOCATED ON THE FEMA FLOOD INSURANCE RATE MAP #10001C0334K AND IN THE FLOOD ZONE AE 6

WETLANDS: SEE WETLANDS AREA MAP

LOD AREA: 55,929± S.F. OR

OWNER/DEVELOPER: SCHILL SPE, LLC.
20184 PHILLIPS ST.
REHOBOTH BEACH, DE 19971

PREPARED BY: DAVIS, BOWEN, AND FRIEDEL, INC.
RING W. LARDNER, P.E.
1 PARK AVENUE
MILFORD, DE 19963
302-424-1441

LEGEND

EXISTING CONTOUR --- 11 ---

PROPOSED CONTOUR ——— 11 ———

RIGHT-OF-WAY / PROPERTY LINE - - - - -

BUILDING SETBACK LINE - - - - -

CATCH BASIN, STORM PIPE, STORM MANHOLE

SANITARY SEWER MANHOLE, PIPE, FLOW ARROW

SANITARY SEWER LATERAL

WATER MAIN, TEE W/ VALVES, PIPE SIZE

WATER LATERAL

FIRE HYDRANT ASSEMBLY

FENCE

PAVEMENT / FULL DEPTH

SIDEWALK

MARSH ISLAND CLUBHOUSE CAMP ARROWHEAD ROAD SUSSEX COUNTY, DELAWARE

Revisions:
2020-09-29
TIDEWATER COMMENTS
2020-08-31
TIDEWATER COMMENTS
2020-09-09
PLANNING & ZONING
COMMENTS

Date: AUGUST 2020

Scale: 1"=20'

Dwn.By: RPK

Proj.No.: 1319A026

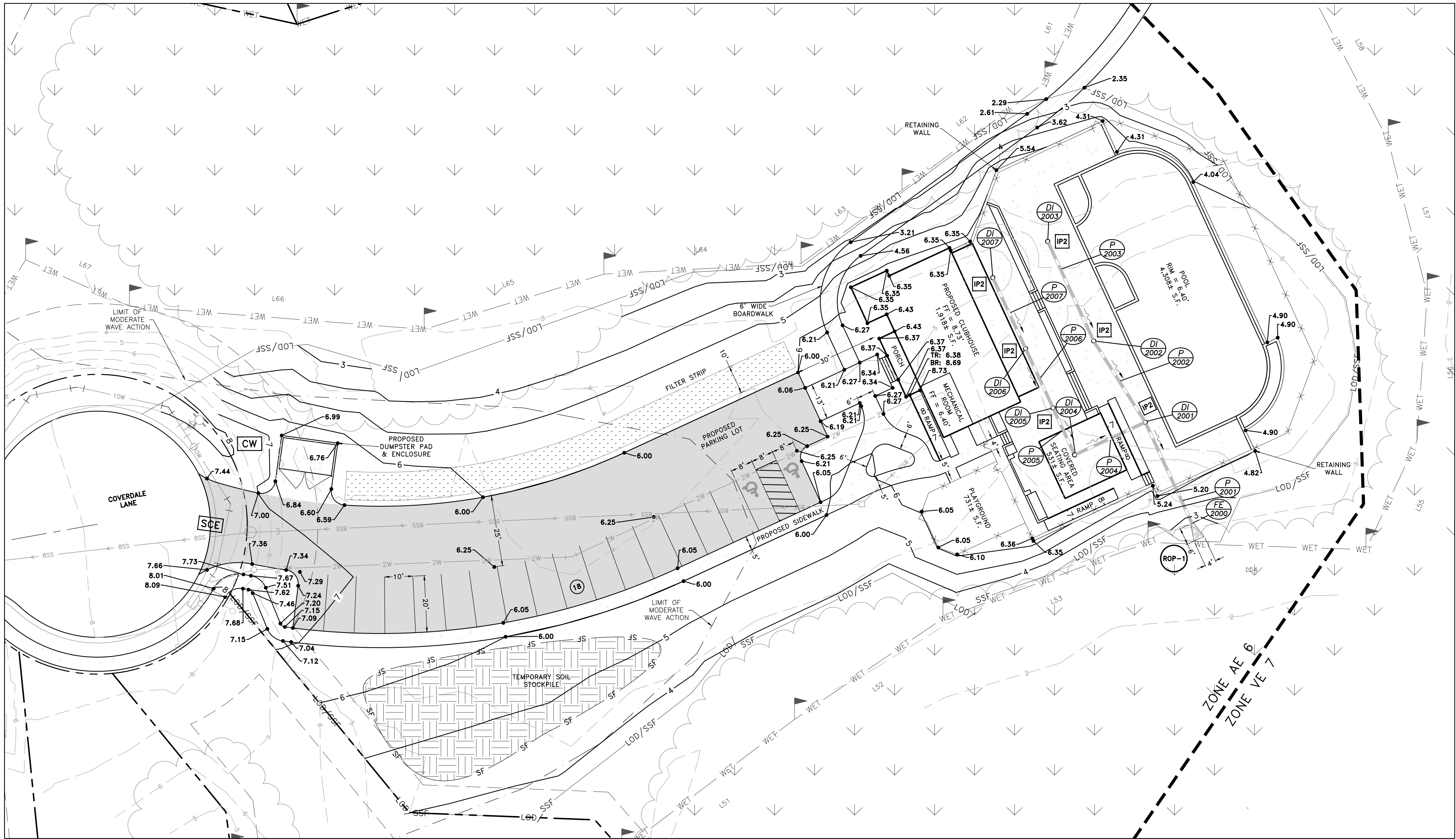
Dwg.No.:

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DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
SUSSEX COUNTY, DELAWARE
MILFORD, DE 19963
EASTON, MARYLAND
(410) 424-2800
(302) 424-1441
(410) 770-4744

SITE PLAN

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NOTE:
SEE SHEET 3 FOR ADDITIONAL INFORMATION



LEGEND

SPOT GRADES



PIPE SCHEDULE								
LABEL	DESCRIPTION							INVERT ELEVATION
	FROM	TO	SIZE (")	TYPE	LENGTH	CLASS	SLOPE (%)	
P-2001	DI-2001	FE-2000	12	HDPE	41	*	4.61	4.37 2.50
P-2002	DI-2002	DI-2001	6	HDPE	34	*	0.15	4.42 4.37
P-2003	DI-2003	DI-2002	6	HDPE	39	*	0.15	4.48 4.42
P-2004	DI-2004	DI-2001	6	HDPE	28	*	0.18	4.42 4.37
P-2005	DI-2005	DI-2004	6	HDPE	18	*	0.16	6.75 6.72
P-2006	DI-2006	DI-2005	6	HDPE	23	*	0.17	6.79 6.75
P-2007	DI-2007	DI-2006	6	HDPE	28	*	0.14	6.83 6.79
* = HDPE PIPE SHALL COMPLY WITH AASHTO M252, M294, MP7, AND ASTM 3350. PIPE SHALL BE INSTALLED PER ASTM D2321 AND AS RECOMMENDED BY THE MANUFACTURER. ALL HDPE SHALL HAVE WATERTIGHT CONNECTIONS.								

DRAINAGE INLET & MANHOLE SCHEDULE							
LABEL	DESCRIPTION			T.G. ELEV.	INVERT IN	INVERT IN	INVERT OUT
	BOX	TOP UNIT	GRATE				
DI-2001	18"	*	*	6.23		4.37	4.37
DI-2002	18"	*	*	6.23		4.42	4.42
DI-2003	18"	*	*	8.58			4.48
DI-2004	18"	*	*	8.58		6.72	4.42
DI-2005	18"	*	*	8.58		6.75	6.75
DI-2006	18"	*	*	8.58		6.79	6.79
DI-2007	18"	*	*	8.58			6.83
* = SEE YARD INLET BASIN DETAIL							

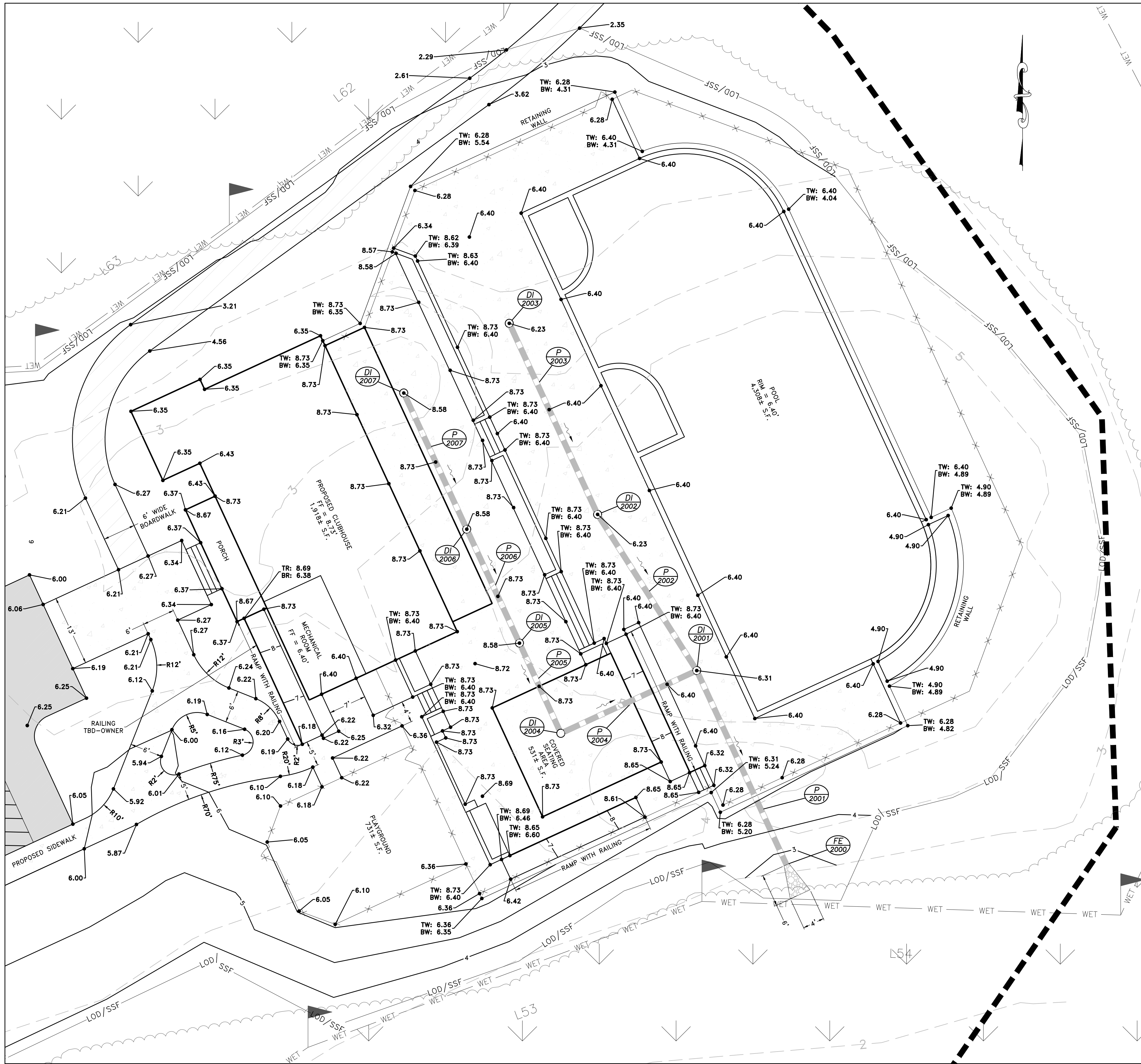
FLARED END SCHEDULE		
LABEL	SIZE/TYPE	INVERT
FE-2001	12" HDPE	2.50

MARSH ISLAND CLUBHOUSE CAMP ARROWHEAD ROAD SUSSEX COUNTY, DELAWARE

Revisions:
2020-09-29
TIDEWATER COMMENTS
2020-08-31
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2020-09-09
PLANNING & ZONING
COMMENTS

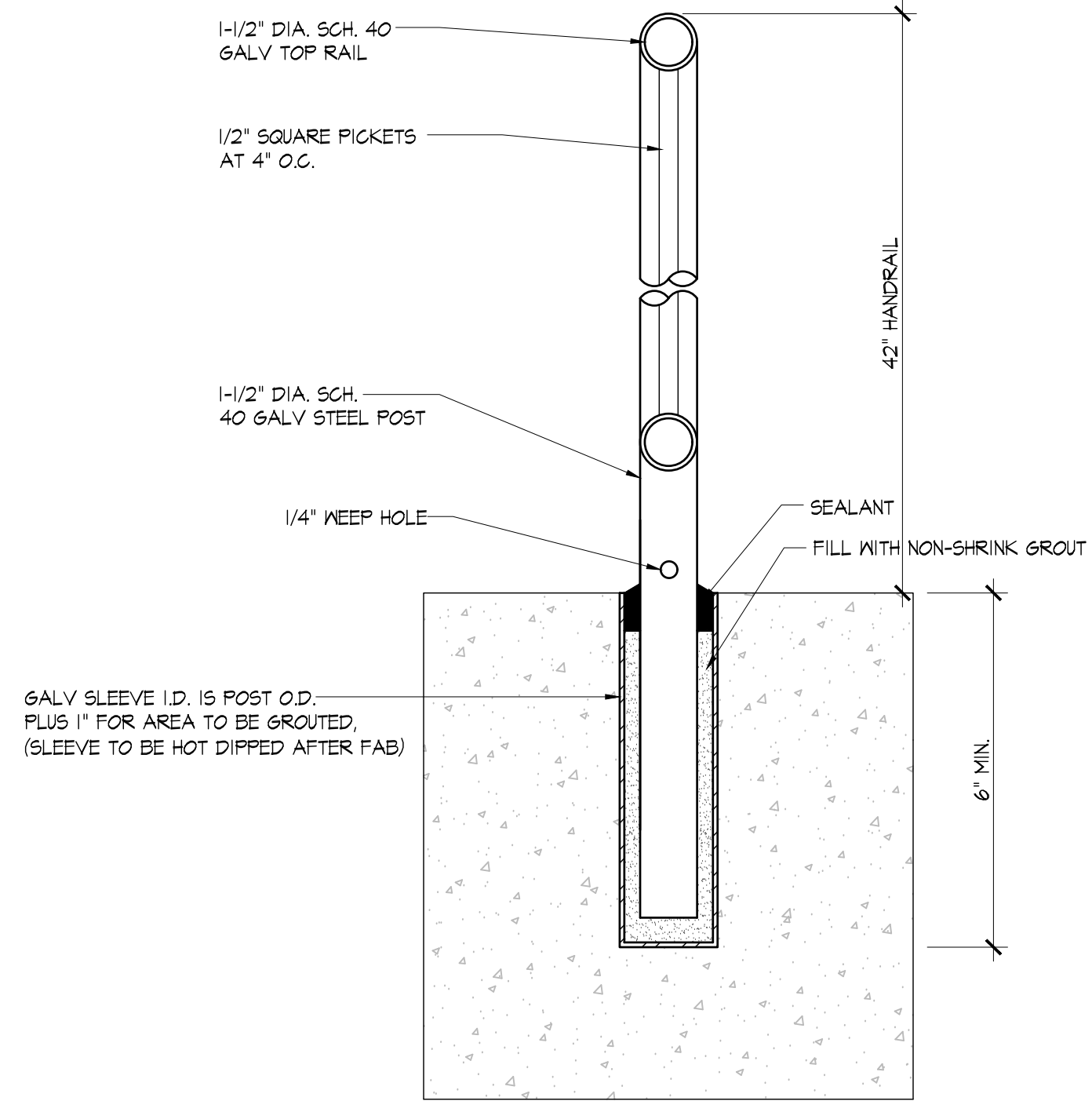
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Dwn.By: RPK
Proj.No.: 1319A026
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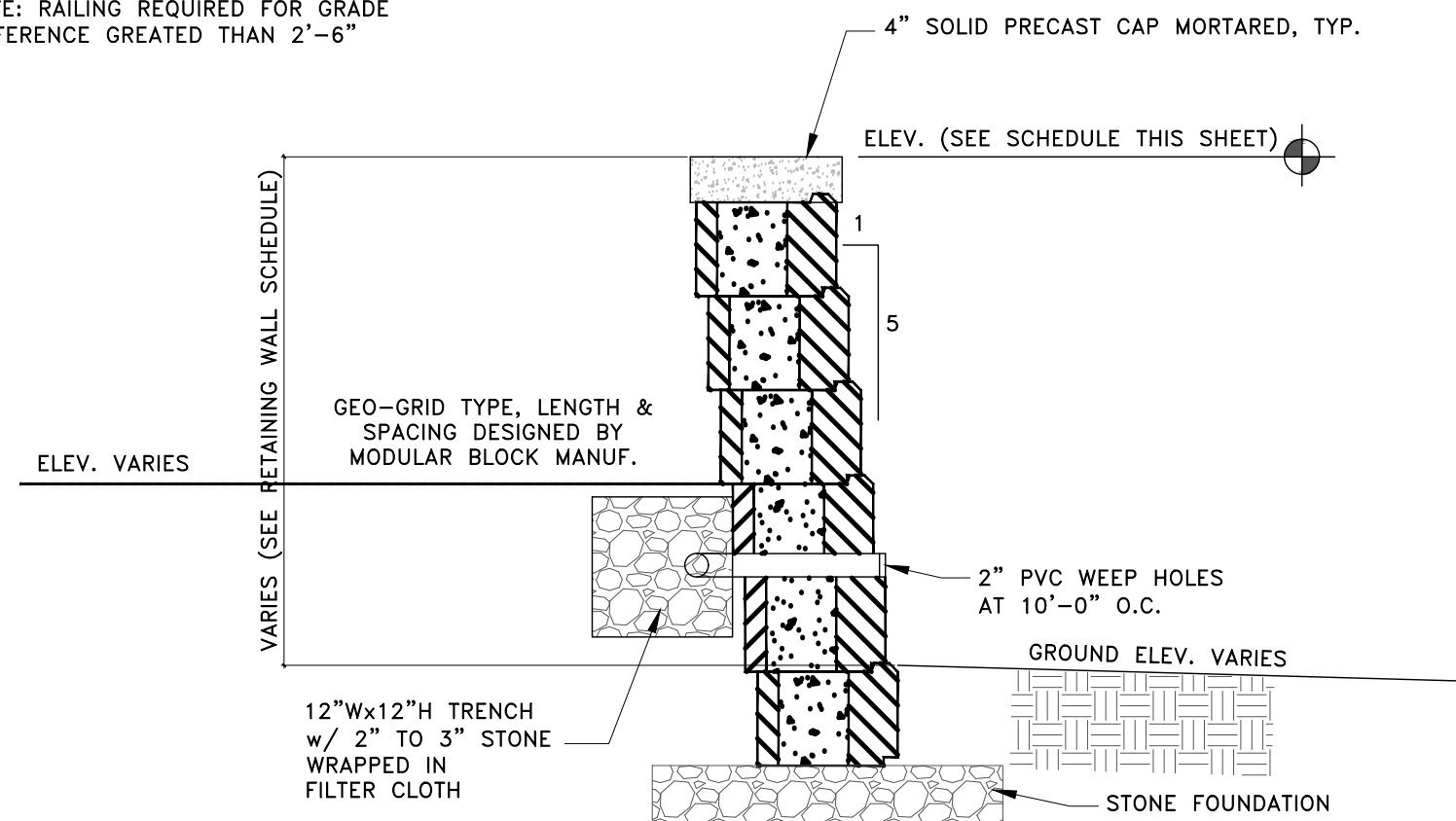
SPOT GRADES



RAILING DETAIL

SCALE: 3" = 1'-0"

NOTE: RAILING REQUIRED FOR GRADE DIFFERENCE GREATER THAN 2'-6"



TYPICAL RETAINING WALL DETAIL

NOT TO SCALE

STRUCTURAL NOTES FOR RETAINING WALLS

- EARTHWORK
ON SITE MATERIALS USED FOR STRUCTURAL FILL SHALL BE FREE OF DELETERIOUS MATTER AND CLASSIFIED AS GW, GP, GM, SM, SW, AND SP PER ASTM D-2487. PRIOR TO THE PLACEMENT OF FILL, THE SITE SHALL BE STRIPPED OF TOPSOIL, DEBRIS, VEGETATION AND ORGANIC MATERIALS. THE EXPOSED SUBGRADE OF ANY EXCAVATED AREA SHALL BE COMPACTED IN PLACE TO A DENSITY OF 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY.

FILL MATERIAL SHALL BE PLACED IN 8" MAXIMUM LOOSE LIFTS AND COMPACTED BY MECHANICAL EQUIPMENT TO A DENSITY OF 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY. THE CONTRACTOR SHALL PROVIDE MEANS OF FREE DRAINAGE OF THE SITE AND SHALL MAINTAIN NECESSARY SEDIMENT CONTROLS. PLACEMENT OF FILL WITH A MOISTURE CONTENT TOO HIGH FOR PROPER COMPACTION IS NOT ACCEPTABLE. PLACEMENT OF FILL IN STANDING WATER OR ON FROZEN MATERIAL IS NOT ACCEPTABLE.
- MODULAR WALL UNITS & RETAINING WALL
WALL UNITS SHALL BE ALLAN BLOCK RETAINING WALL UNITS, OR KEYSTONE WALL UNITS, OR APPROVED EQUAL, PRODUCED BY A LICENSED MANUFACTURER.

WALL UNITS SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI (20.7 MPA) IN ACCORDANCE WITH ASTM C1372. THE CONCRETE UNITS SHALL HAVE ADEQUATE FREEZE-THAW PROTECTION WITH AN AVERAGE ABSORPTION RATE IN ACCORDANCE WITH ASTM C1372 OR AN AVERAGE ABSORPTION RATE OF 7.5 LB/FT³ (120 KG/M³) FOR NORTHERN CLIMATES AND 10 LB/FT³ (160 KG/M³) FOR SOUTHERN CLIMATES.

EXTERIOR DIMENSIONS SHALL BE UNIFORM AND CONSISTENT. MAXIMUM DIMENSIONAL DEVIATIONS ON THE HEIGHT OF ANY TWO UNITS SHALL BE 0.125 IN. (3 MM).

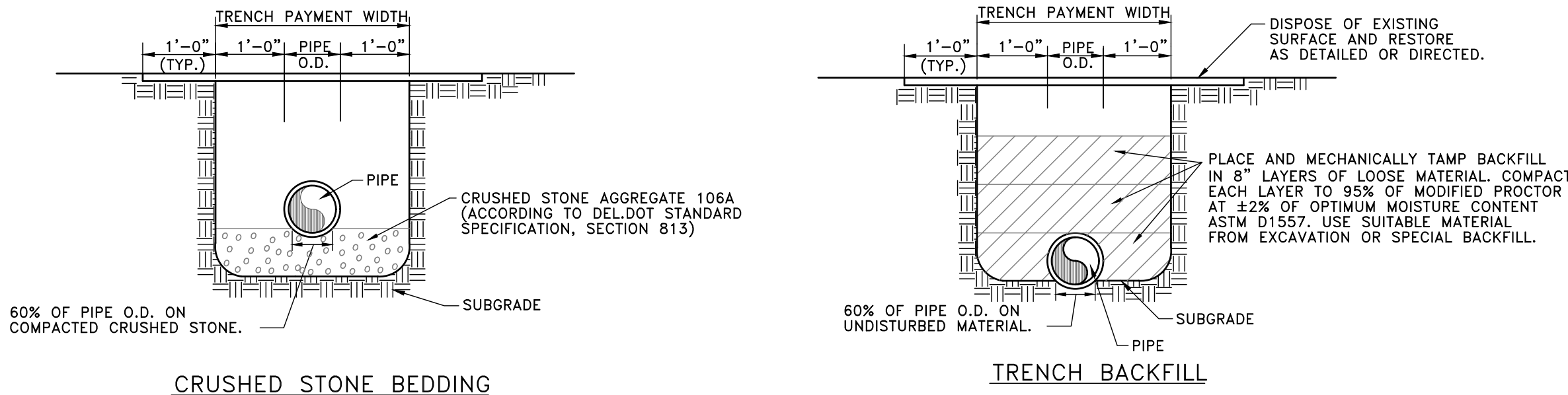
WALL UNITS SHALL PROVIDE A MINIMUM OF 110 LBS TOTAL WEIGHT PER SQUARE FOOT OF WALL FACE AREA (555 KG/M²). FILL CONTAINED WITHIN THE UNITS MAY BE CONSIDERED 80% EFFECTIVE WEIGHT.

EXTERIOR FACE SHALL BE TEXTURED. COLOR AS SPECIFIED BY OWNER.

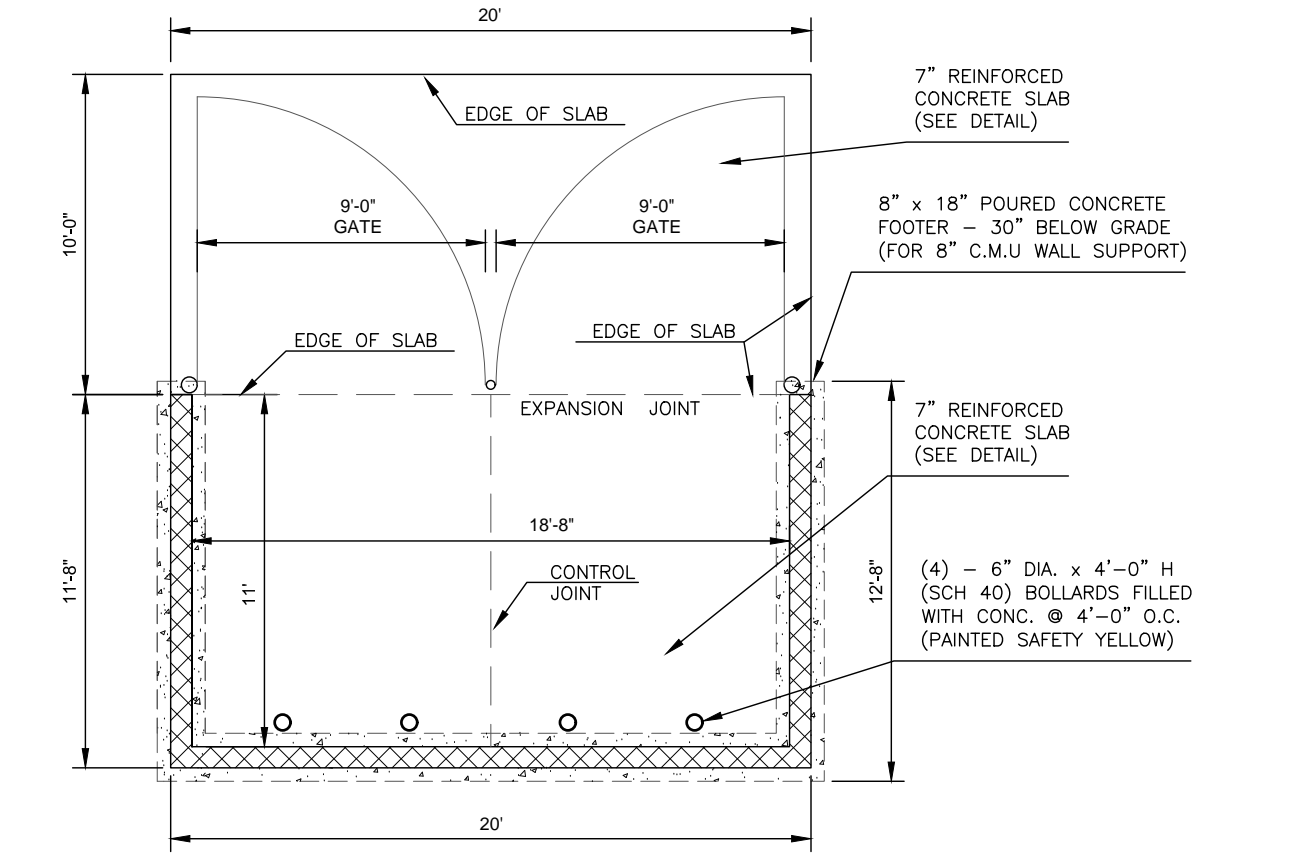
RETAINING WALL UNITS AND INSTALLATION SHALL CONFORM TO THE ALLAN BLOCK MODULAR RETAINING WALL SYSTEMS SPECIFICATION GUIDELINES, OR KEYSTONE DESIGN GUIDELINES, OR APPROVED EQUAL.

WALL SHALL BE DESIGNED BY MANUFACTURER. SUBMIT CALCULATIONS AND SHOP DRAWINGS FOR APPROVAL. WALL SHALL BE CONSTRUCTED IN ACCORD WITH MANUFACTURER'S SHOP DRAWINGS & SPECIFICATIONS.

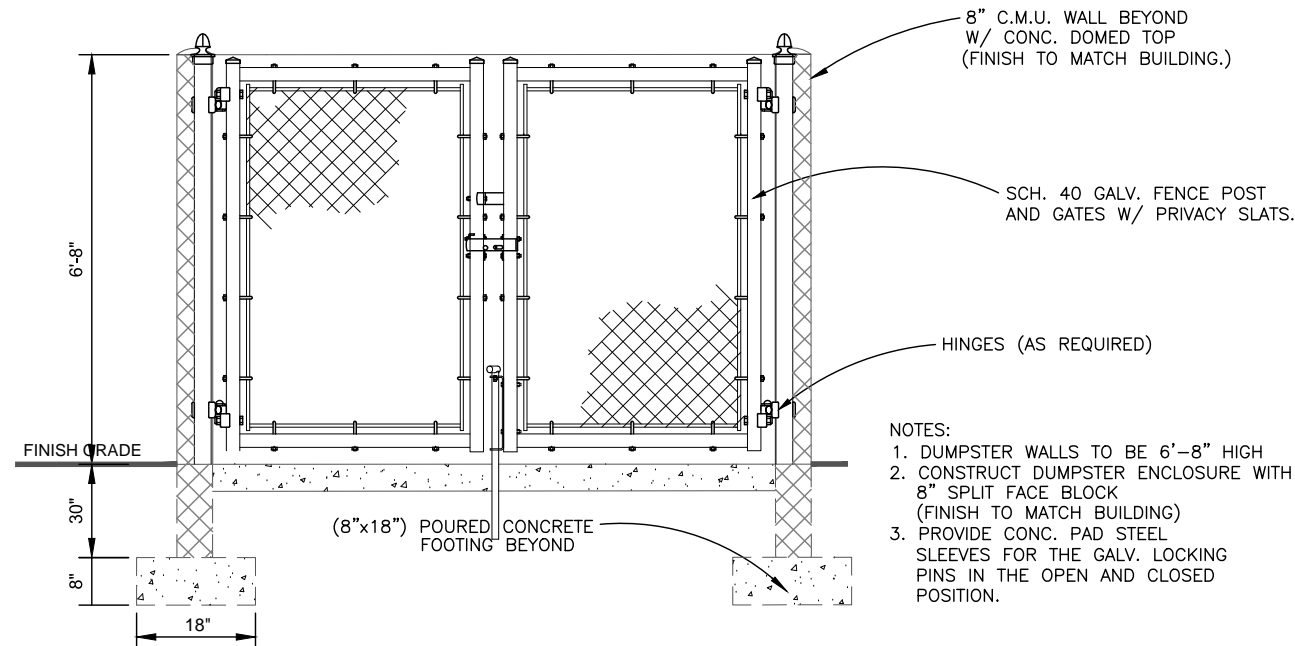
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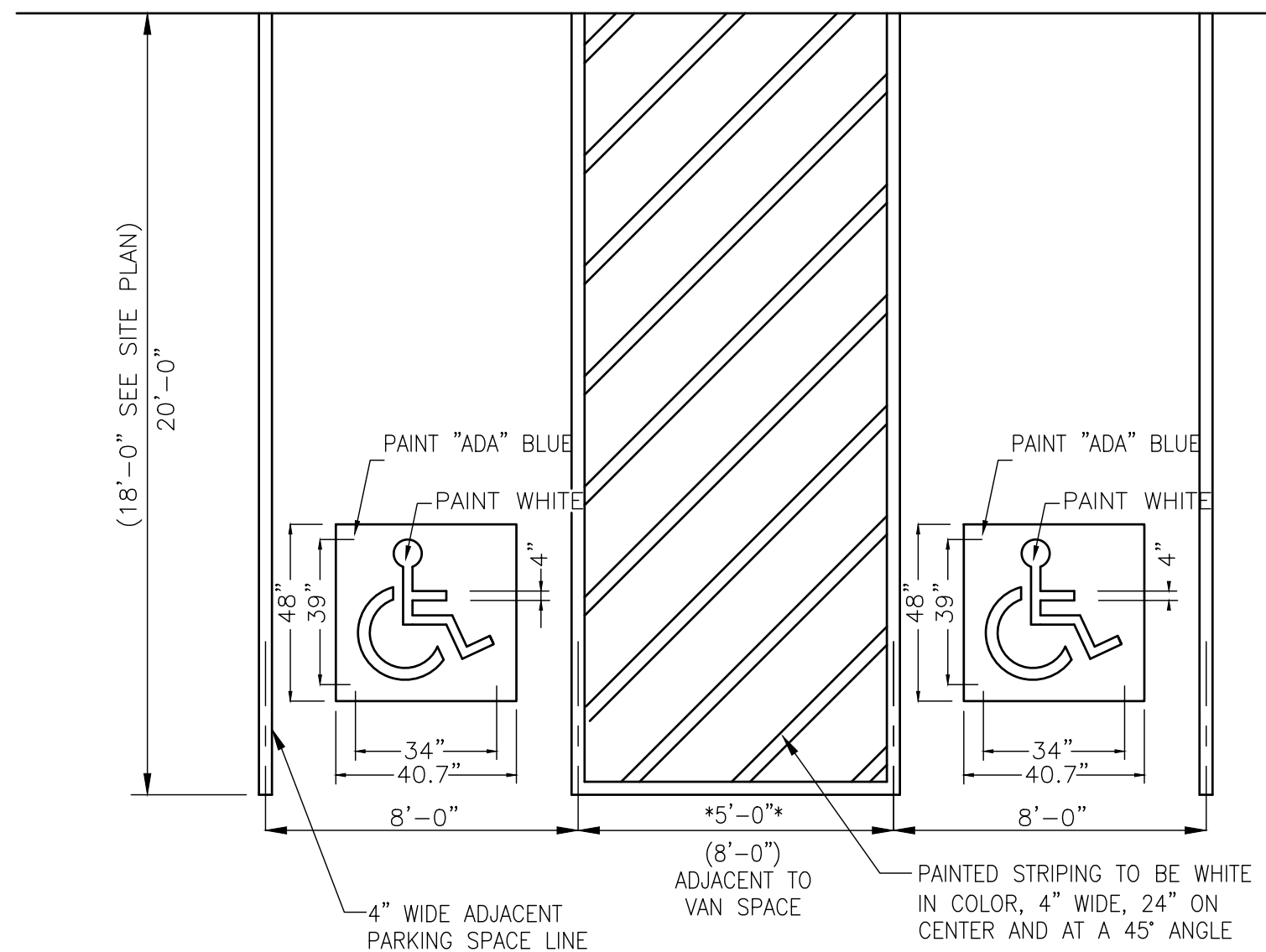
TRENCH BACKFILL AND PIPE BEDDING DETAIL
NOT TO SCALE



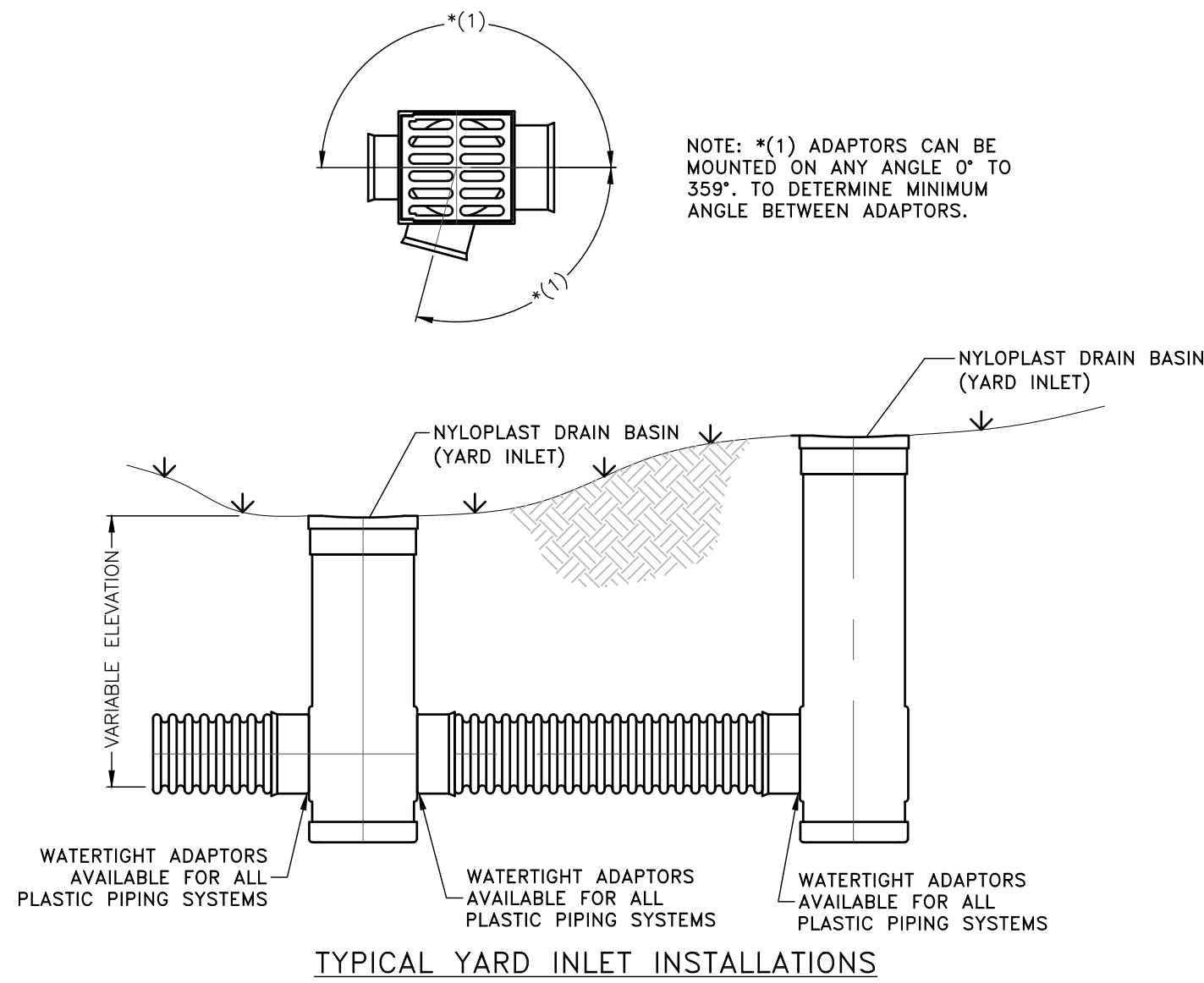
DUMPSTER ENCLOSURE PLAN
NOT TO SCALE



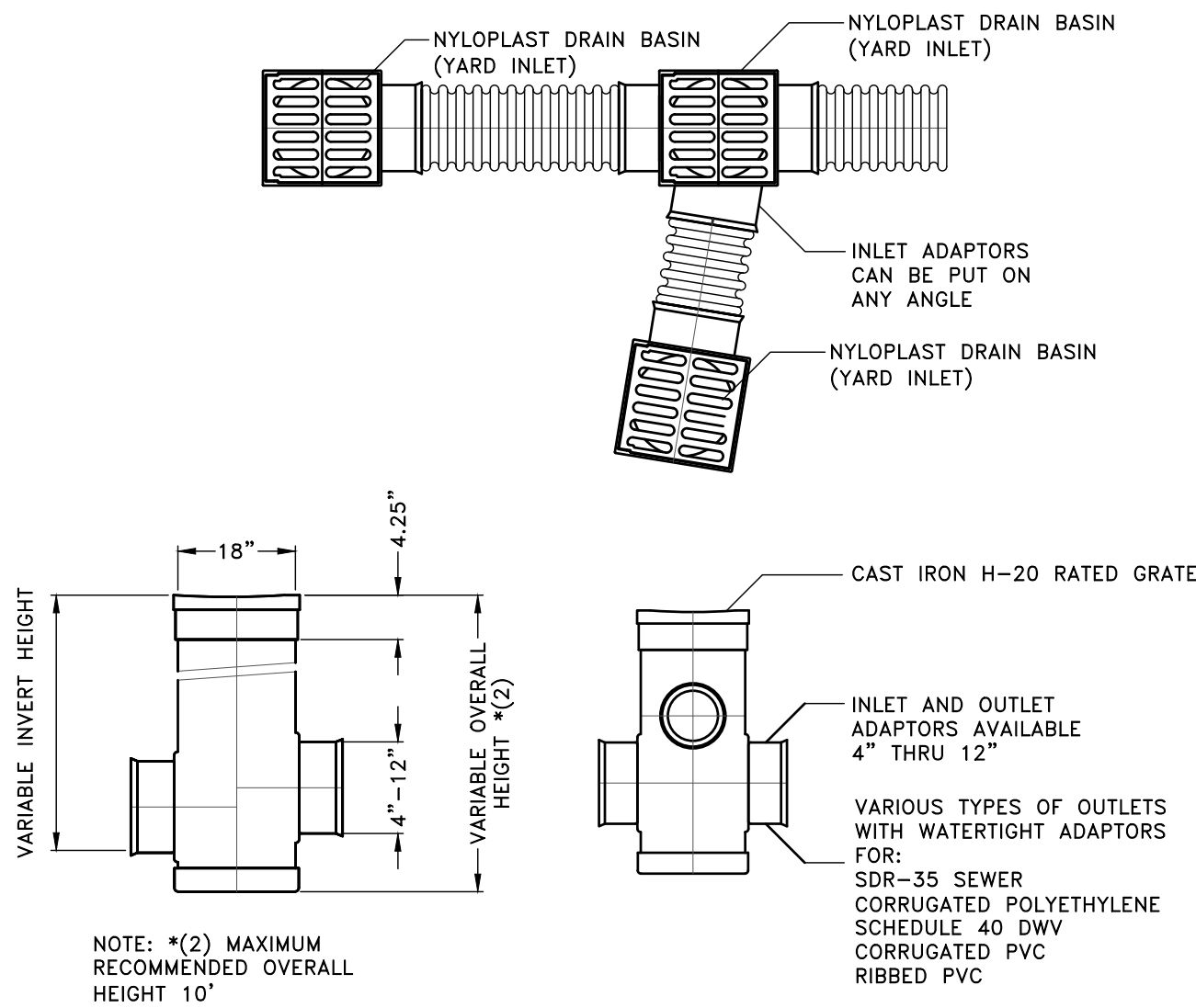
DUMPSTER ENCLOSURE ELEVATION
NOT TO SCALE



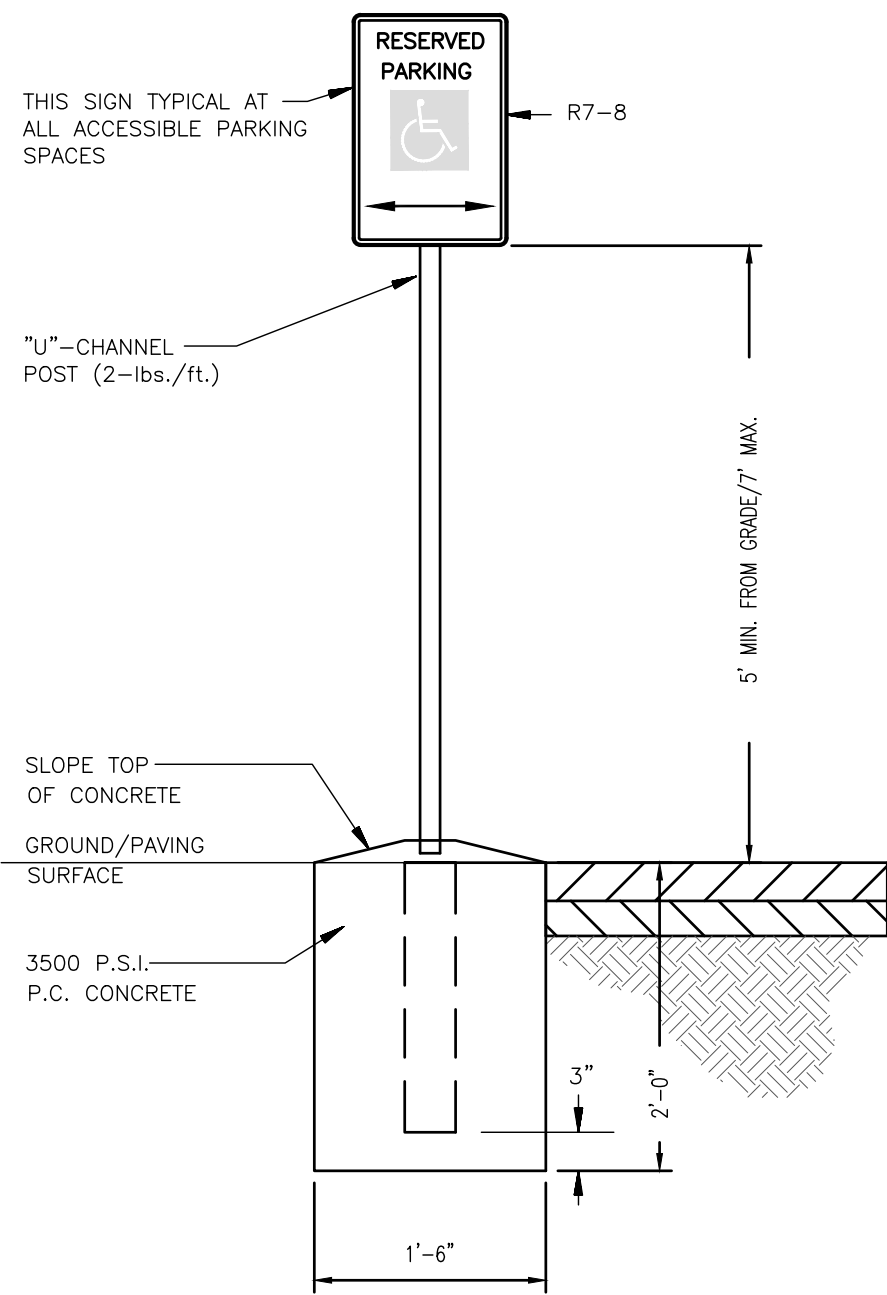
HANDICAP PARKING DETAIL
NOT TO SCALE



TYPICAL YARD INLET INSTALLATIONS



TYPICAL YARD INLET DETAILS
NOT TO SCALE



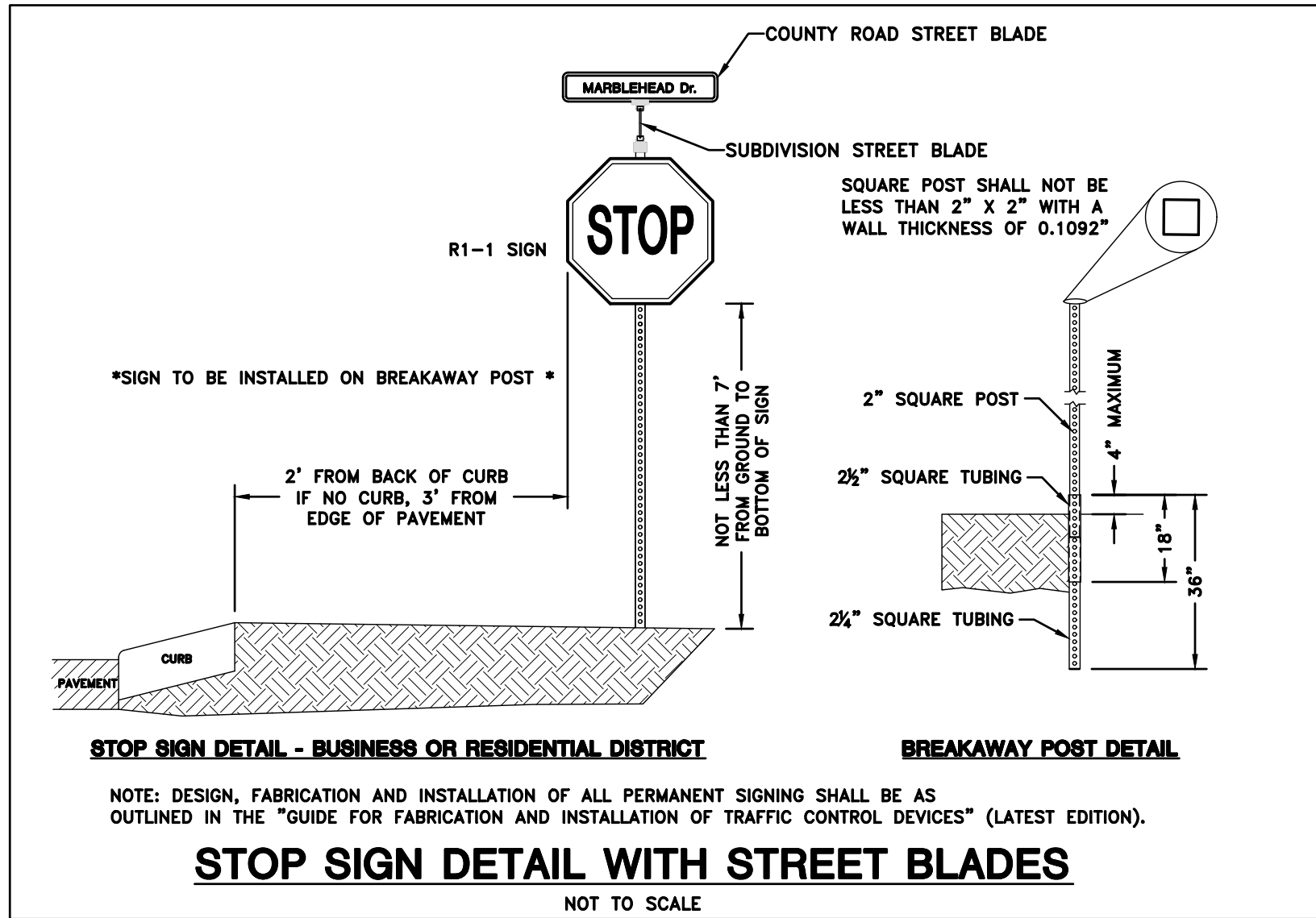
SIGNAGE FOR HANDICAPPED PARKING SPACE
NOT TO SCALE

GENERAL NOTES:

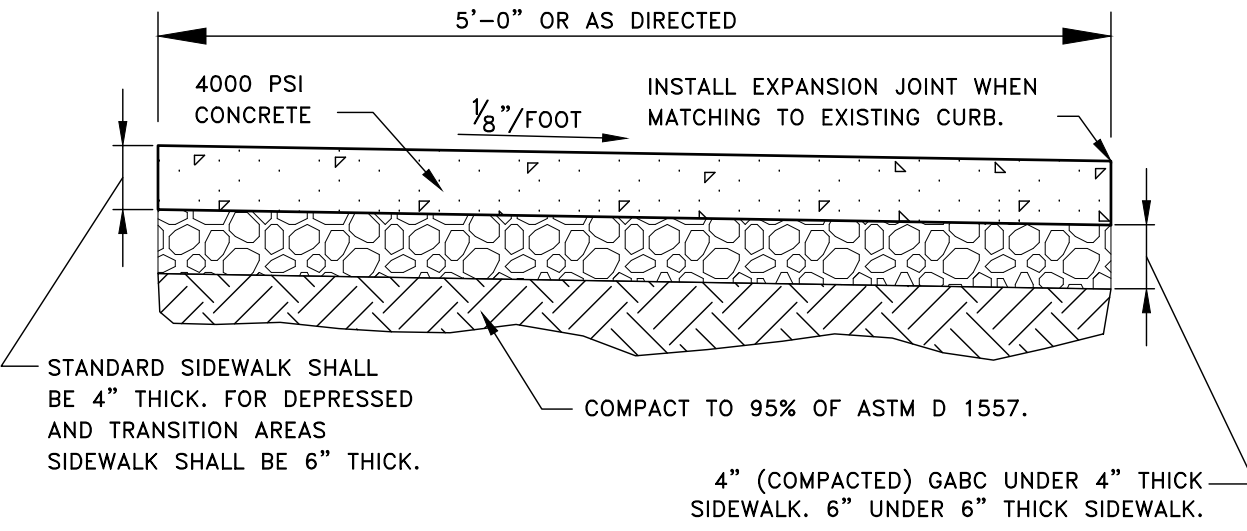
- REVIEW AND OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY DNREC OR THE DELEGATED AGENCY.
- FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER SEDIMENT CONTROLS, SOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHALL BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
- APPROVAL OF A SEDIMENT AND STORMWATER MANAGEMENT PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
- BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7. DEL C. CH 60, REGULATIONS GOVERNING THE CONTROL OF WATER POLLUTION, SECTION 9.1.02, KNOWN AS SPECIAL CONDITIONS FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, AND DEPARTMENT POLICIES, PROCEDURES, AND GUIDANCE.
- CONTRACTOR TO INSTALL TRACER WIRE ON SERVICE LINE FOR THE POOL HOUSE.
- THE DESIGNATED HOMEOWNERS ASSOCIATION ASSUMES RESPONSIBILITY FOR THE AMENITIES AT MARSH ISLAND.
- RECREATIONAL AMENITIES TO SERVE THE RESIDENTS OF MARSH ISLAND.
- HANDICAP CURB RAMPS SHALL CONFORM TO ADA STANDARDS AND SPECIFICATIONS.
- CLUBHOUSE, AMENITIES AND SWIMMING POOL ARE REQUIRED TO BE PROVIDED IN ORDER TO COMPLY WITH CONDITION 8 OF THE 13 CONDITIONS ASSOCIATED WITH THE PRELIMINARY SITE PLAN APPROVAL FOR LANDLOCK ACRES (2005-73)(FORMER SUBDIVISION NAME) "AMENITIES, INCLUDING A CLUBHOUSE AND SWIMMING POOL, SHALL BE CONSTRUCTED AND OPEN TO USE BY RESIDENTS OF THE DEVELOPMENT WITHIN 2 YEARS OF THE ISSUANCE OF THE FIRST RESIDENTIAL BUILDING PERMIT.
- THE RETAINING WALL SHALL REQUIRE A SEPARATE BUILDING PERMIT FROM THE COUNTY.

SEQUENCE OF CONSTRUCTION

- NOTIFY THE SUSSEX CONSERVATION DISTRICT IN WRITING AT FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- INSTALL ALL PRE-BULK EROSION & SEDIMENT CONTROLS. CCR SHALL REVIEW INSTALLATION OF THE INSTALLATION OF THE EROSION & SEDIMENT CONTROLS.
 - ALL PERIMETER CONTROLS ARE TO BE REVIEWED BY THE AGENCY CONSTRUCTION SITE REVIEWER AND APPROVED PRIOR TO PROCEEDING WITH FURTHER SITE DISTURBANCE OR CONSTRUCTION.
 - THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHOULD BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENTATION ON THE SITE. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR REPAIR MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
 - MINIMIZE DEMOLITION, CLEARING AND GRADING OPERATIONS TO AREAS NECESSARY FOR IMMEDIATE CONSTRUCTION ACTIVITY.
 - PERFORM ANY REQUIRED DEMOLITION OF THE EXISTING SITE.
 - STRIP TOPSOIL AND PERFORM ROUGH GRADING FOR BUILDING AND AMENITY AREAS.
 - EXPORT FILL, GRADE FOR BUILDINGS. BEGIN BUILDING CONSTRUCTION.
 - FINE GRADE FOR PROPOSED AMENITY AREAS, PLACE STONE PER PAVEMENT SPECIFICATIONS AND PLANS.
 - UPON COMPLETION OF PAVING AND STABILIZATION OF ALL DISTURBED AREAS, A. REMOVE SEDIMENT FROM STORMDRAIN SYSTEM. B. STABILIZE DISTURBANCE IMMEDIATELY.
 - RESTORE ALL DISTURBED AREAS NOT TO BE COVERED BY PAVEMENT WITH PERMANENT STABILIZATION IN ACCORDANCE WITH ITEM 14 OF THE EROSION AND SEDIMENT CONTROL NOTES.
 - NOTIFY THE CCR AT LEAST THREE (3) DAYS PRIOR TO START OF THE STORMWATER SYSTEM CONSTRUCTION; STORMWATER FACILITIES MUST BE REVIEWED THROUGHOUT THEIR CONSTRUCTION.
 - EROSION AND SEDIMENT CONTROL DEVICES SHOULD BE REMOVED ONLY AFTER WORK IN AN AREA HAS BEEN COMPLETED AND STABILIZED, WITH WRITTEN APPROVAL FROM THE AGENCY CONSTRUCTION SITE REVIEWER.



STOP SIGN DETAIL WITH STREET BLADES
NOT TO SCALE

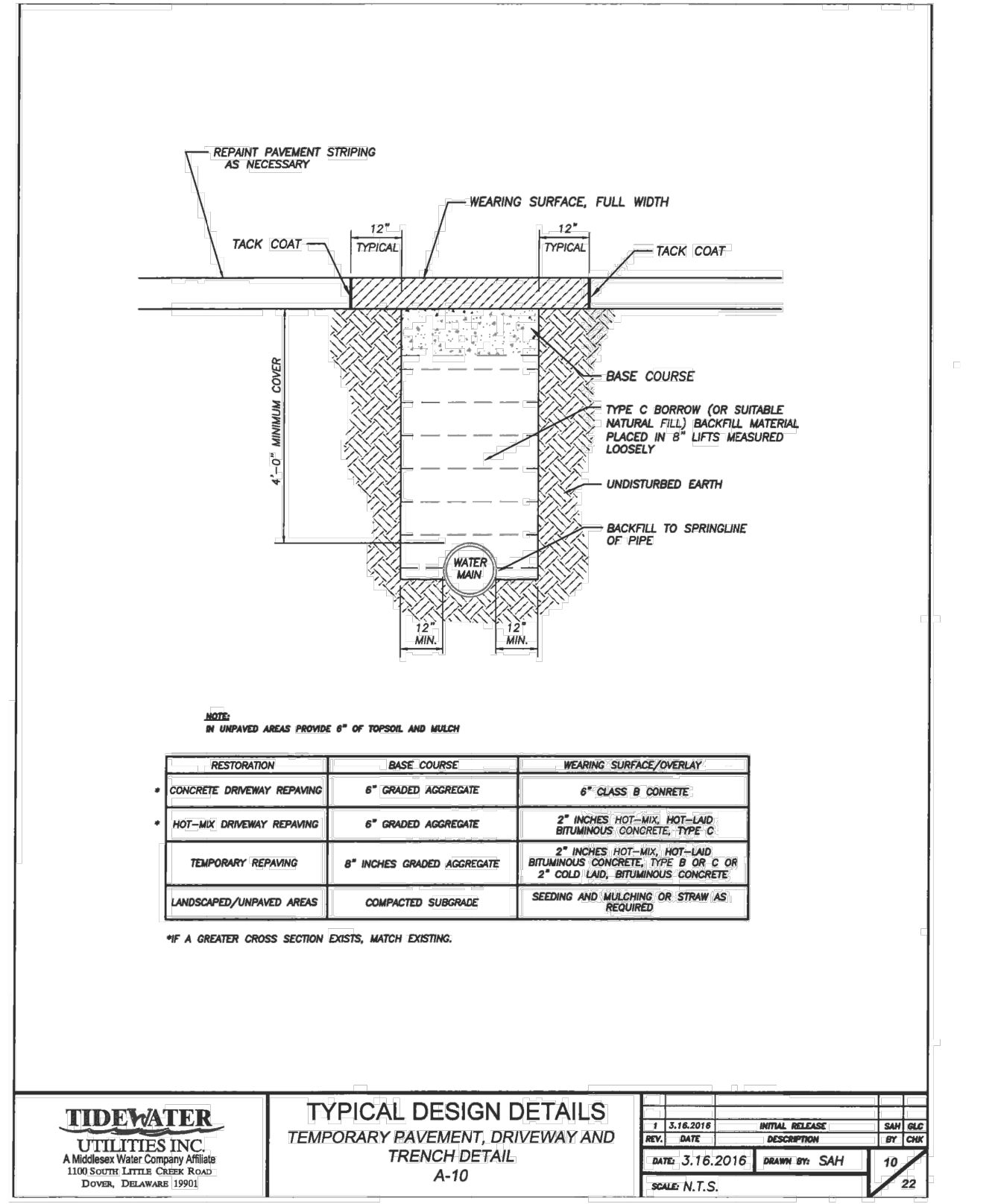
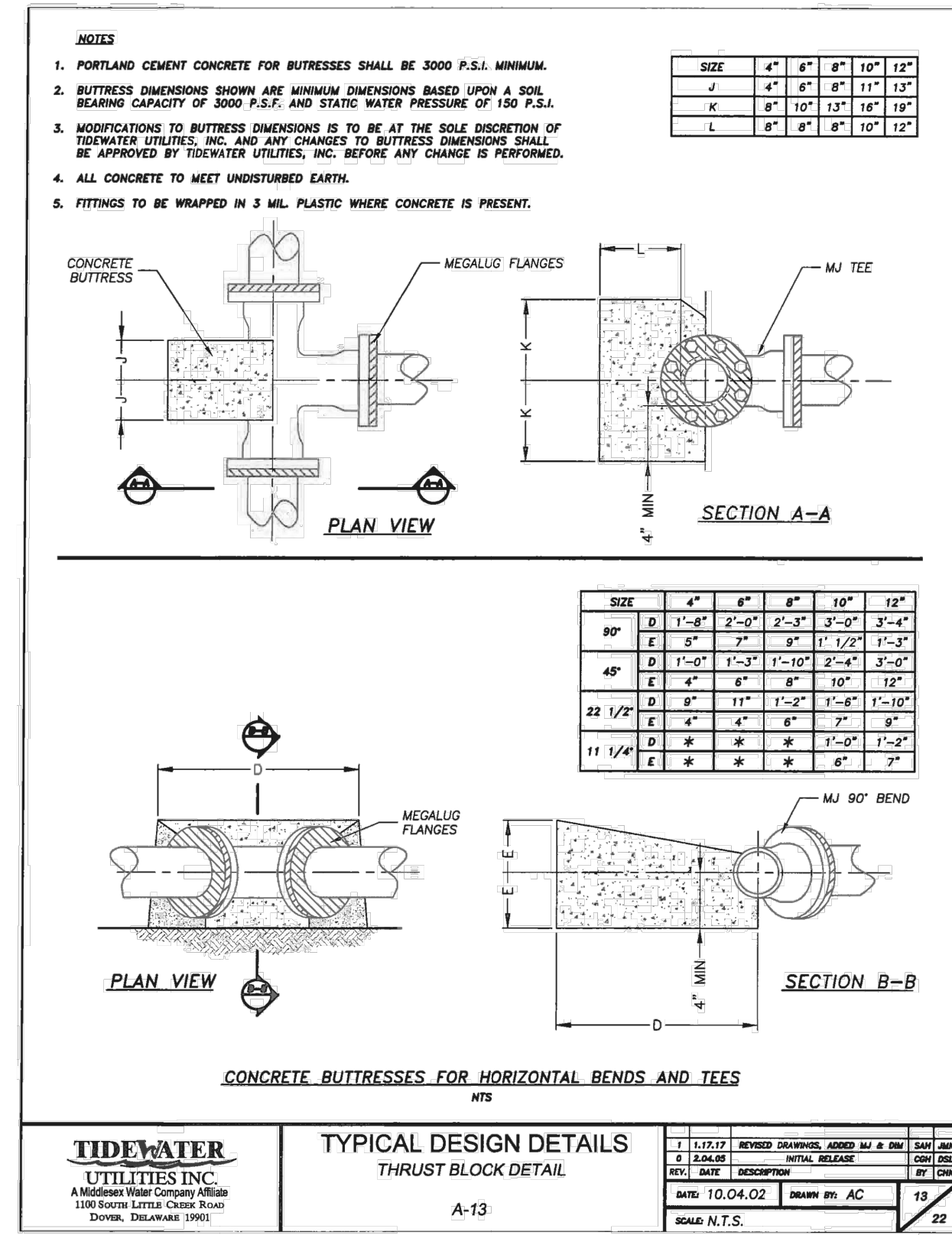
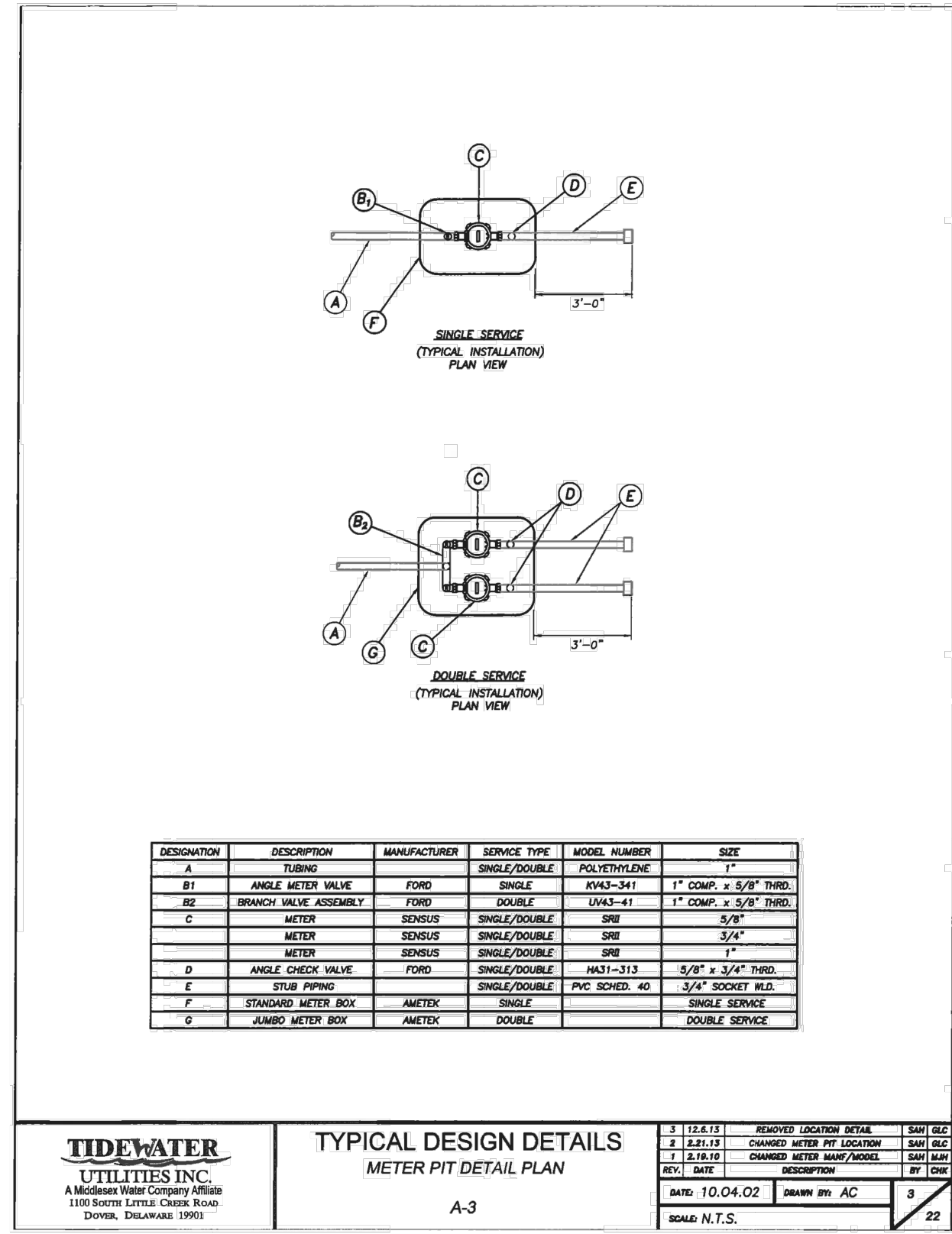
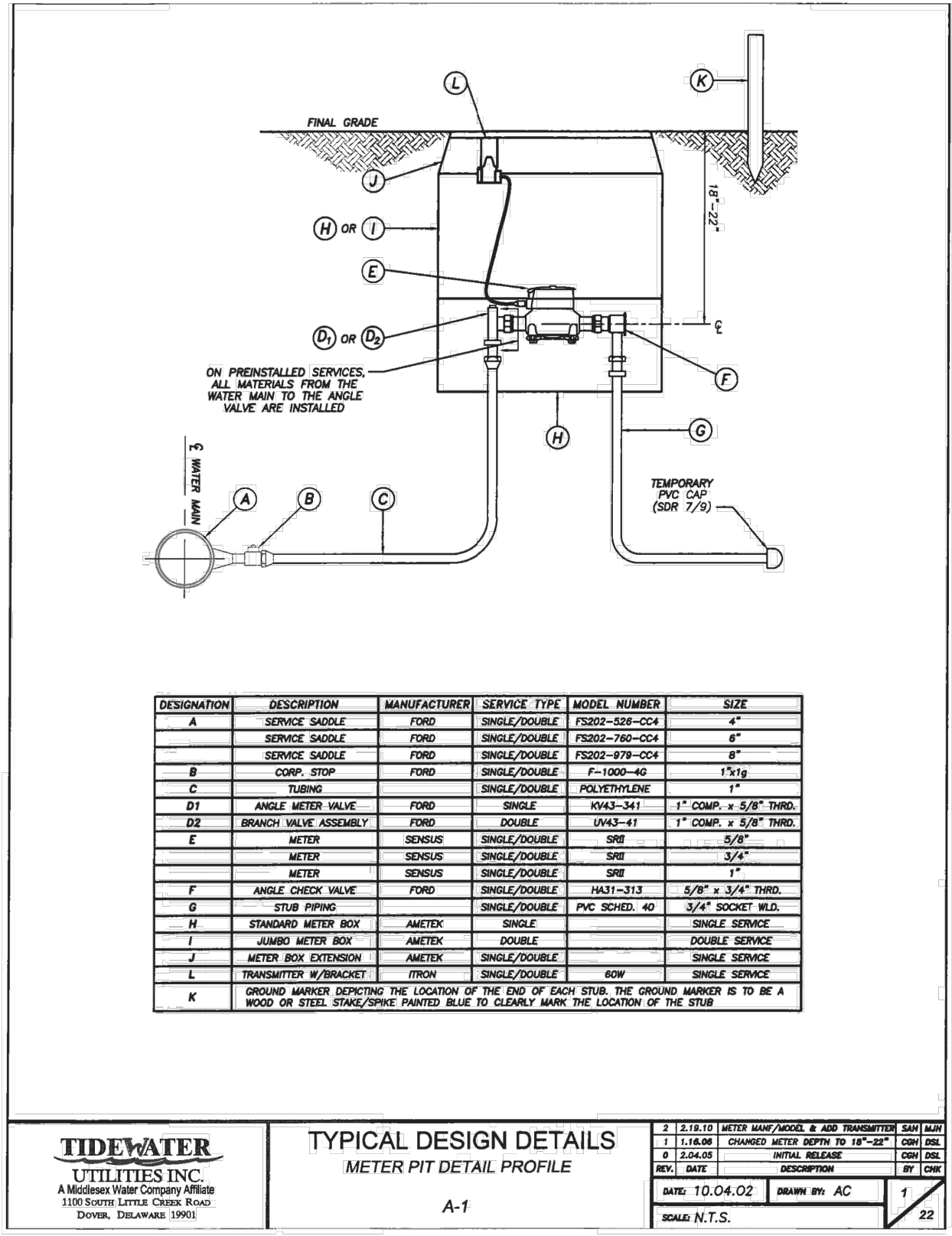
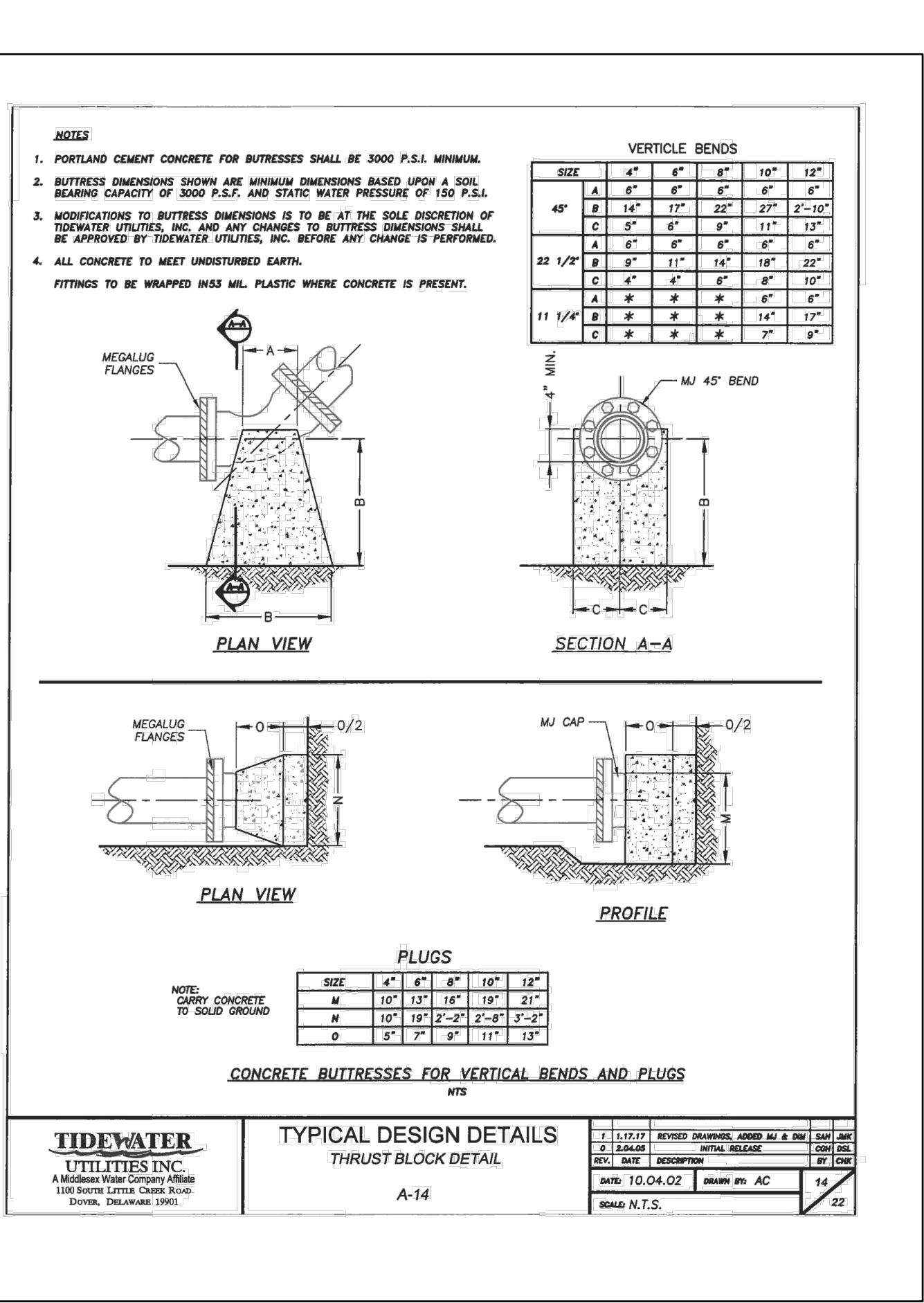
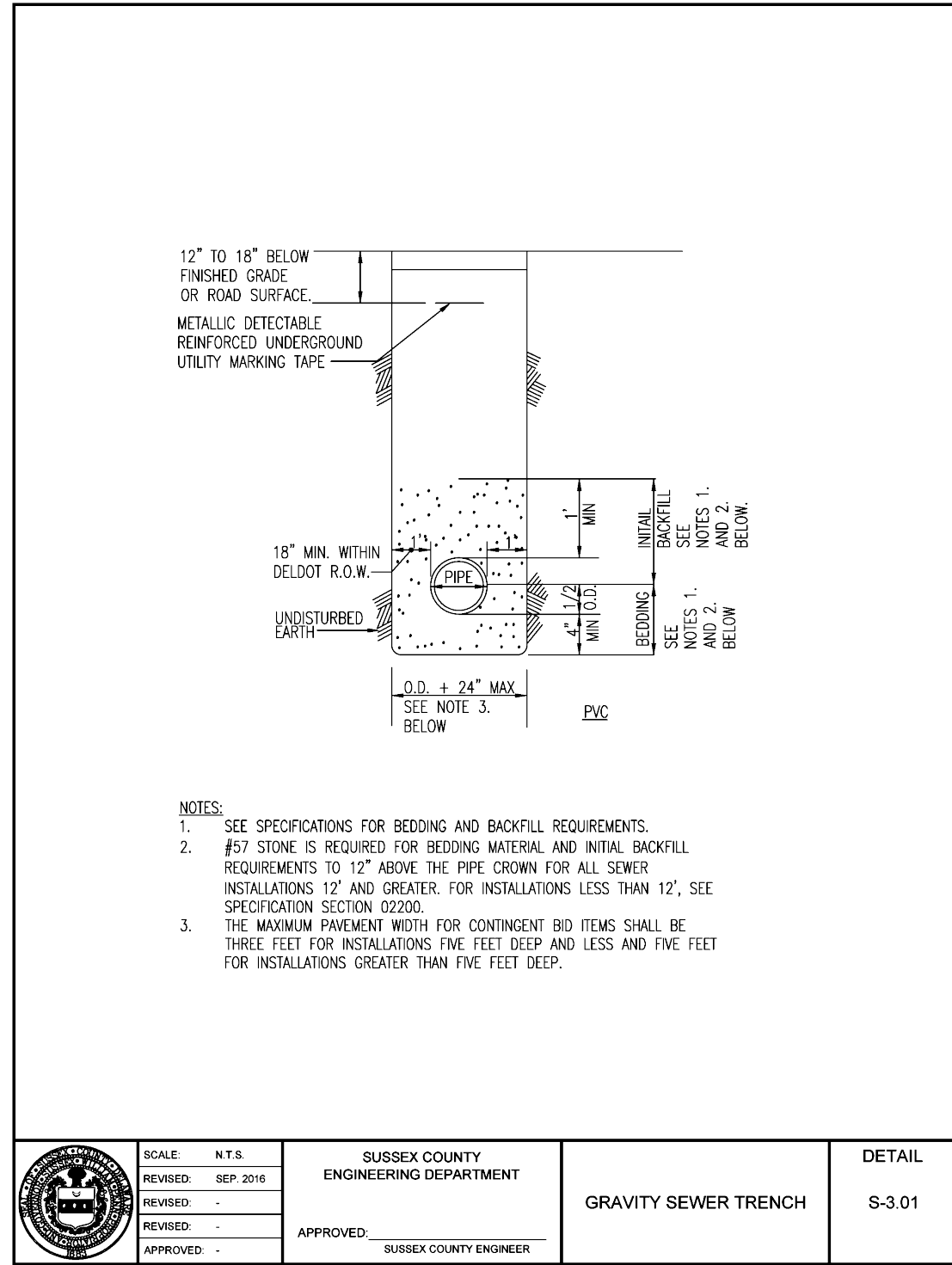
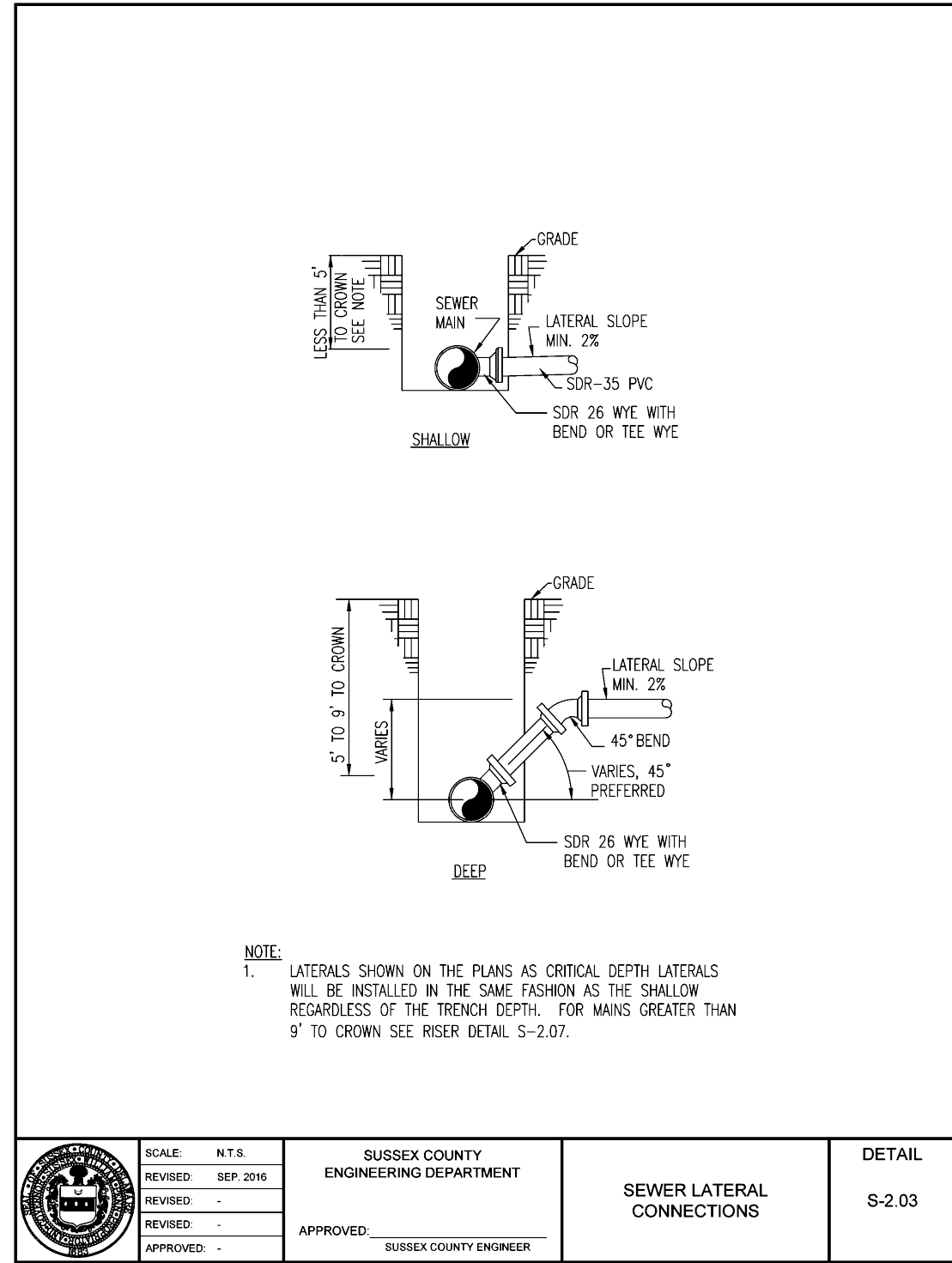
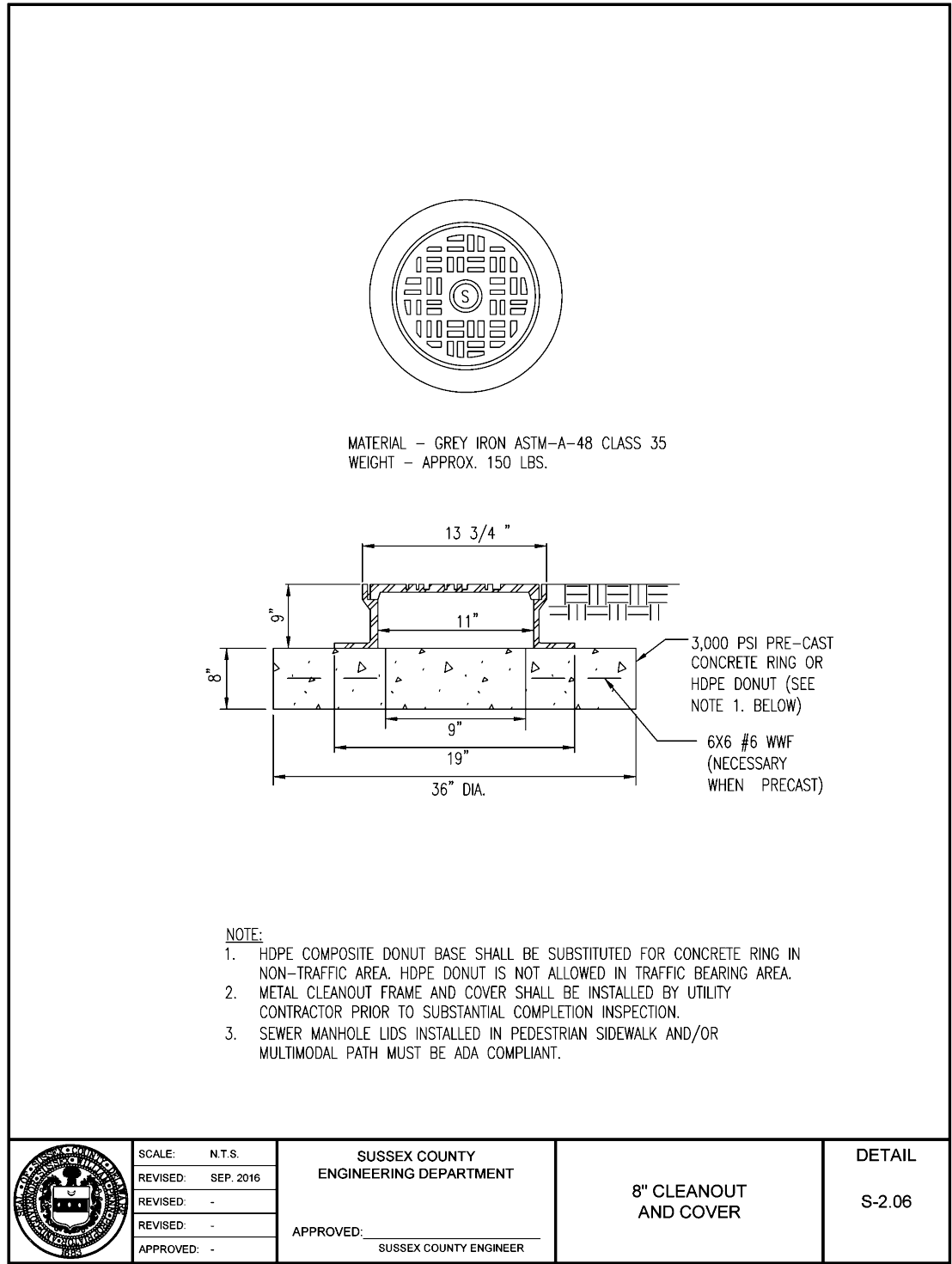


CONCRETE SIDEWALK DETAIL
NOT TO SCALE

MARSH ISLAND CLUBHOUSE CAMP ARROWHEAD ROAD SUSSEX COUNTY, DELAWARE

Revisions:
2020-08-31
TIDEWATER COMMENTS
2020-09-09
PLANNING & ZONING
COMMENTS

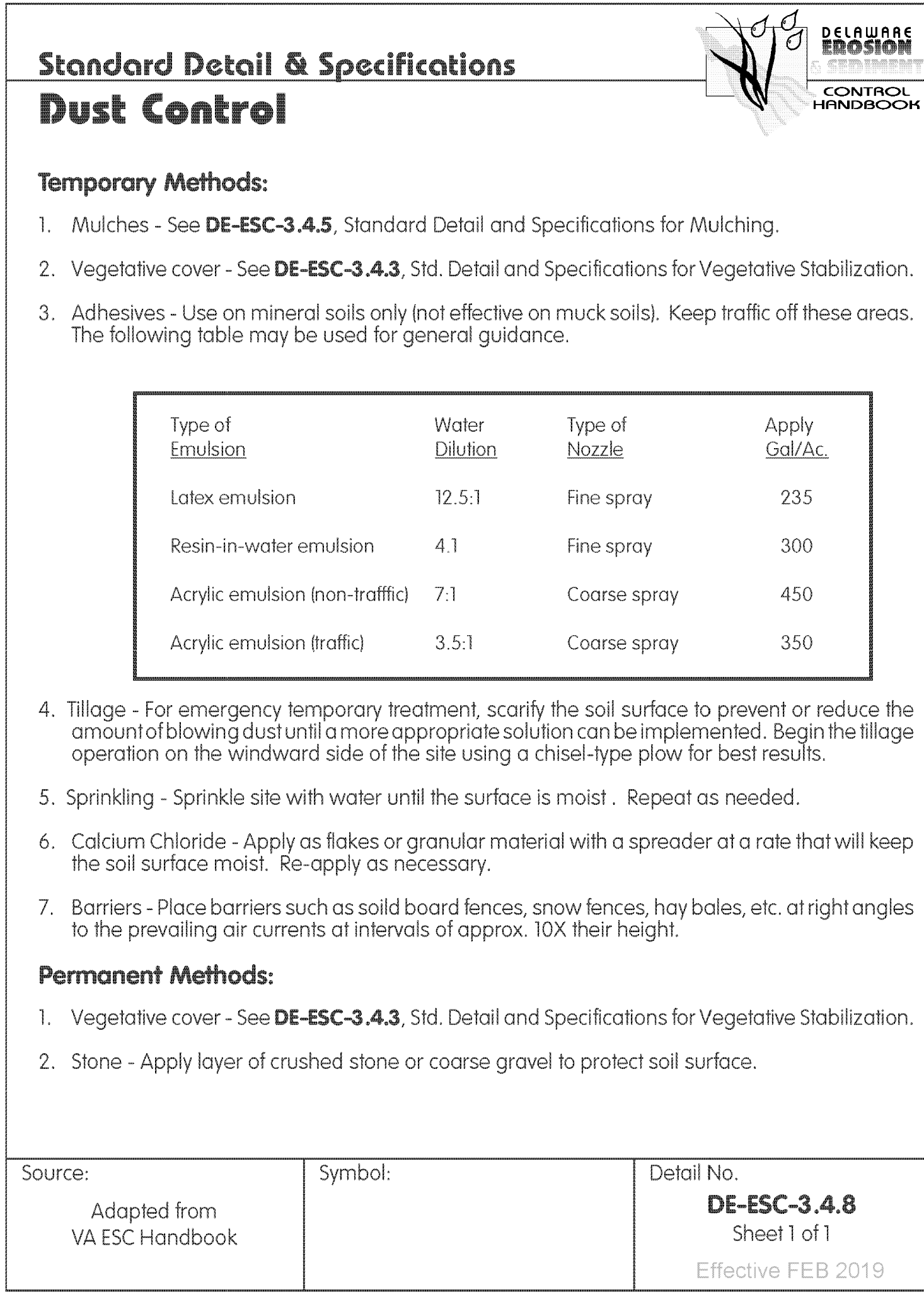
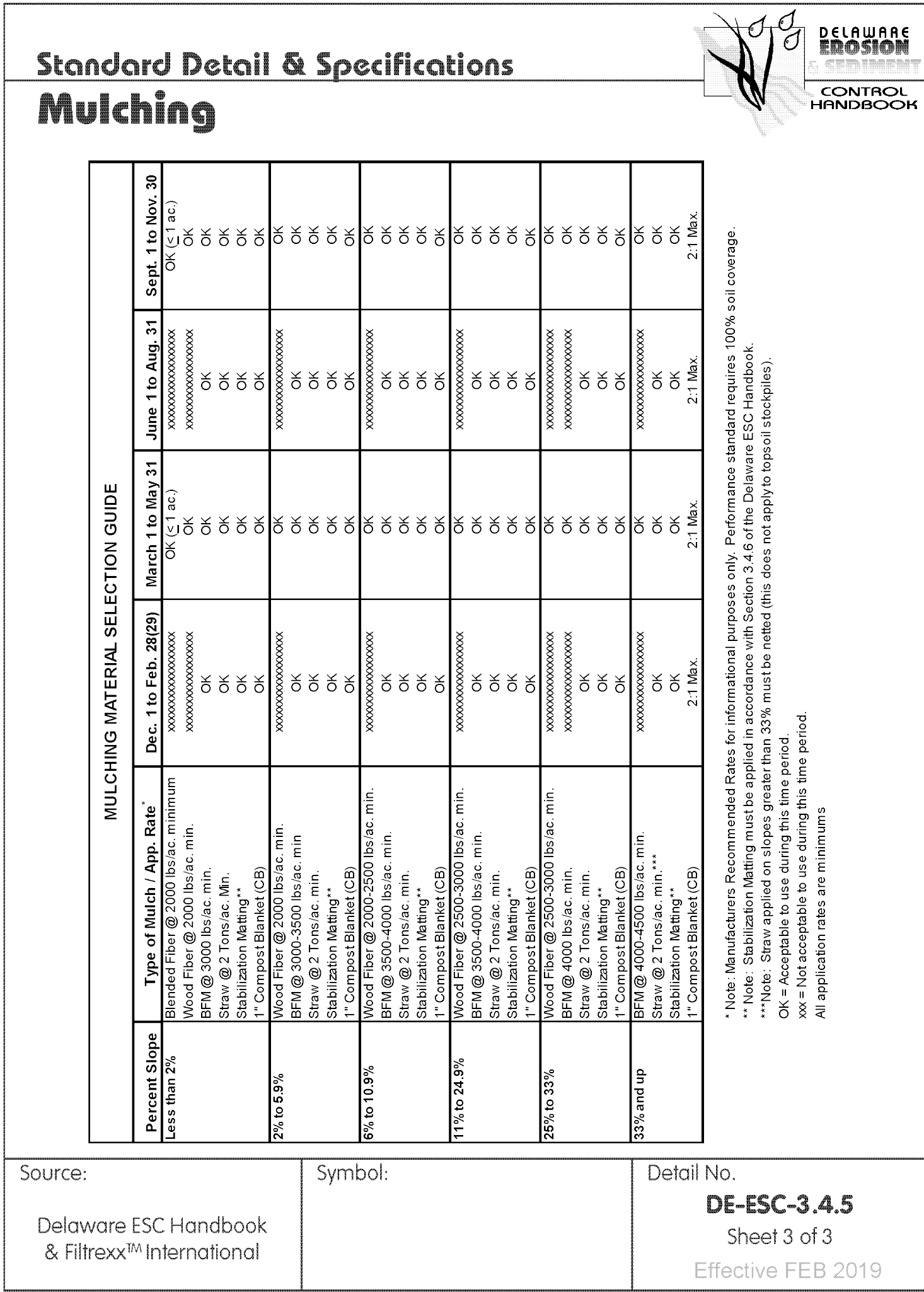
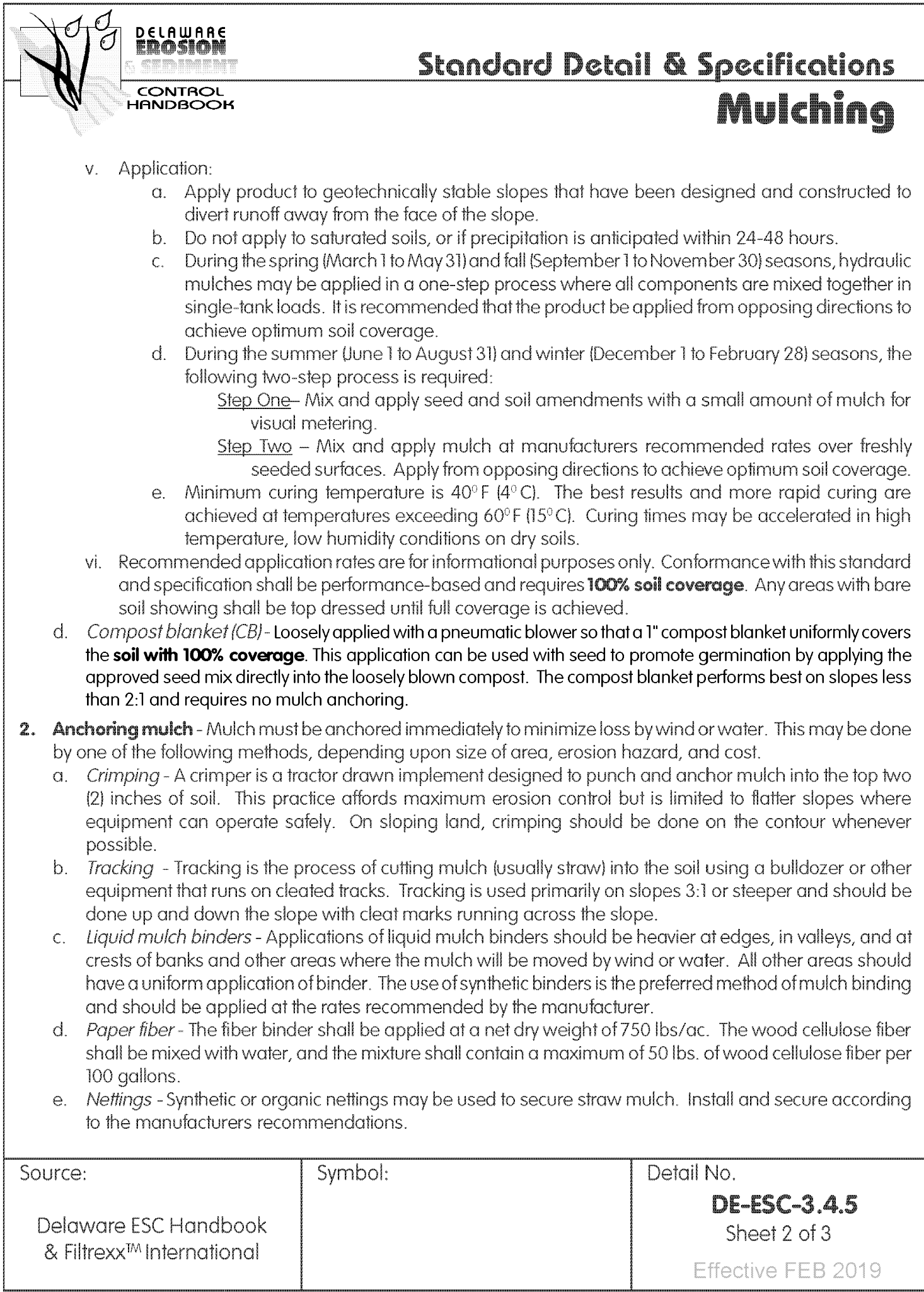
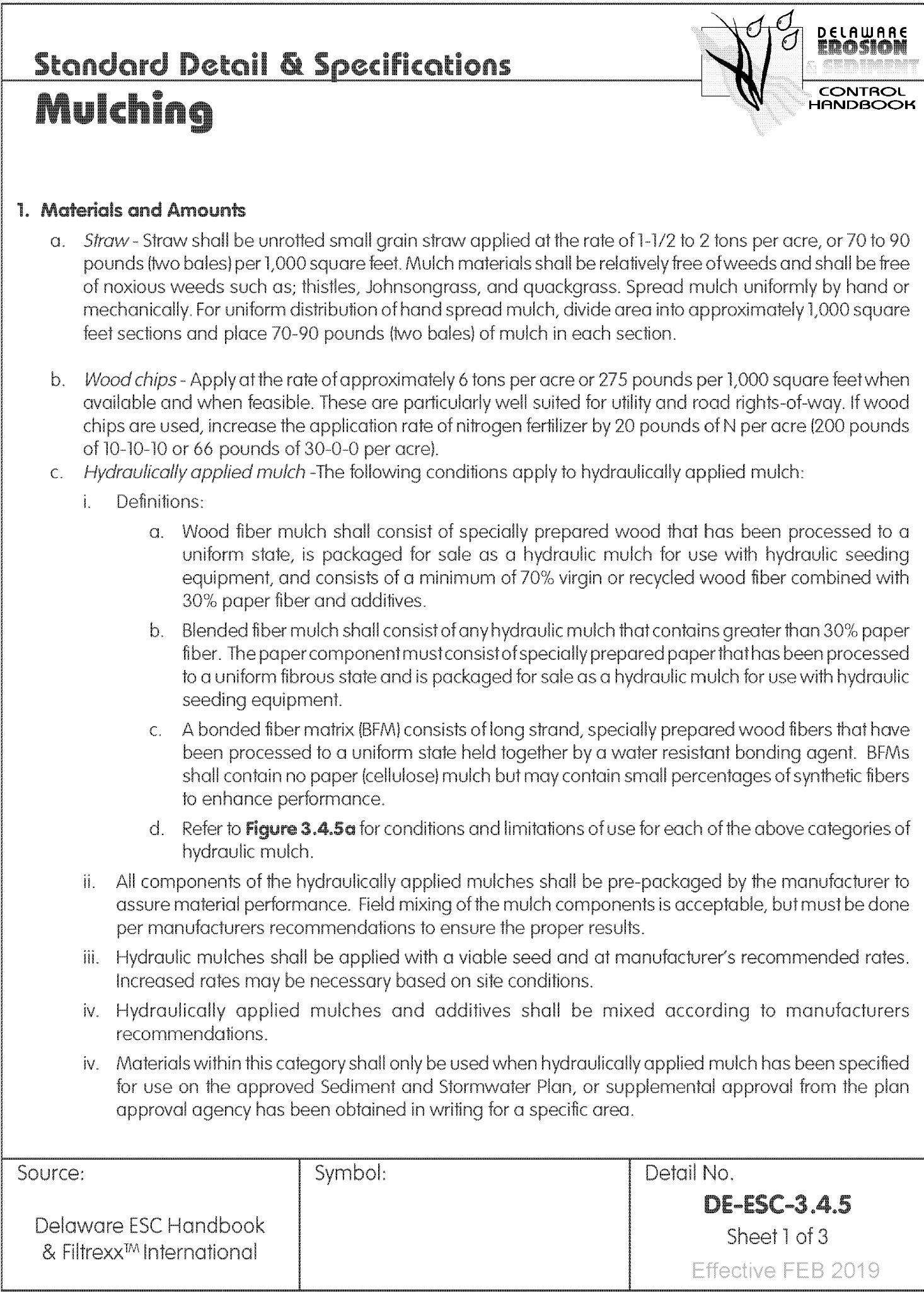
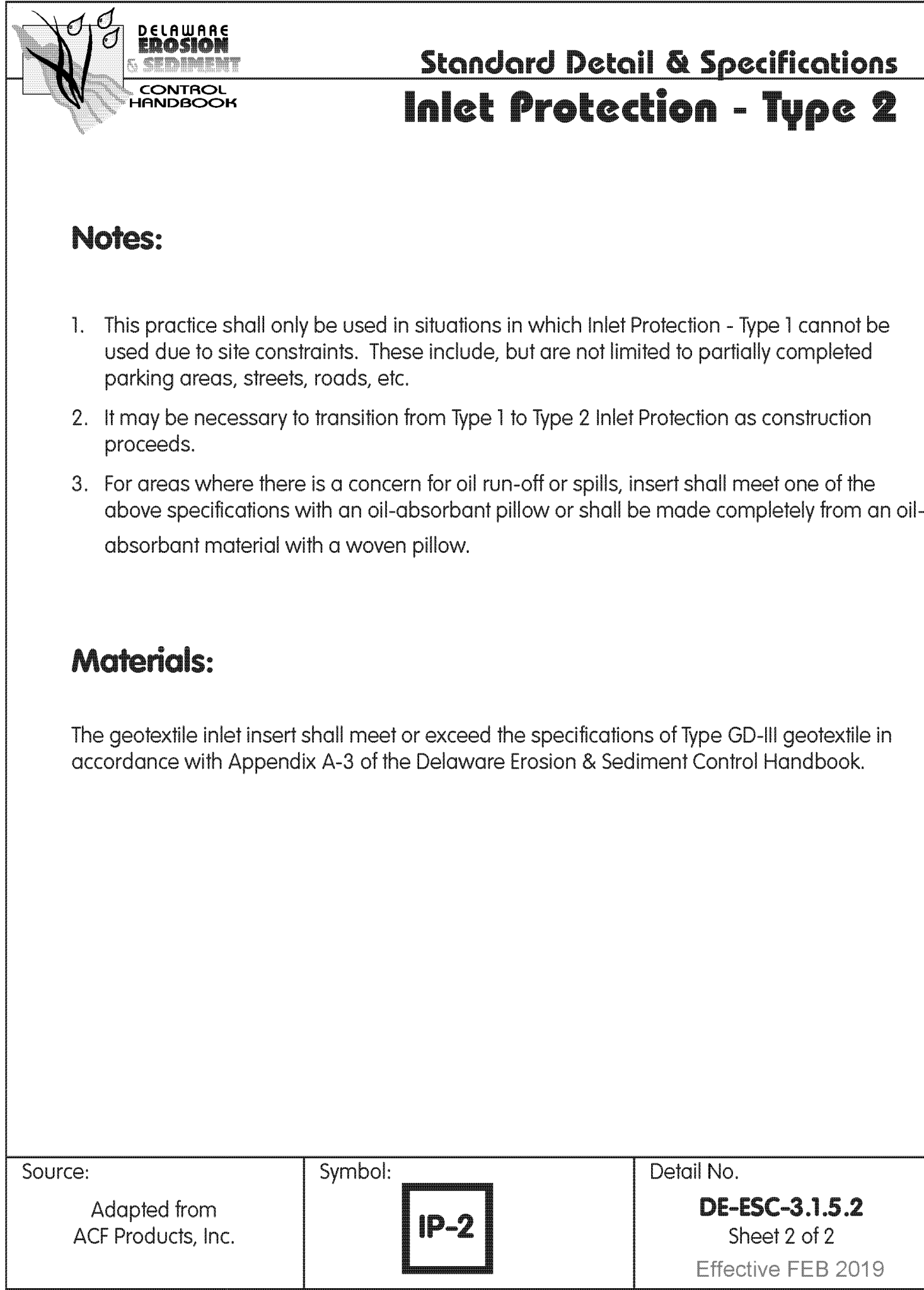
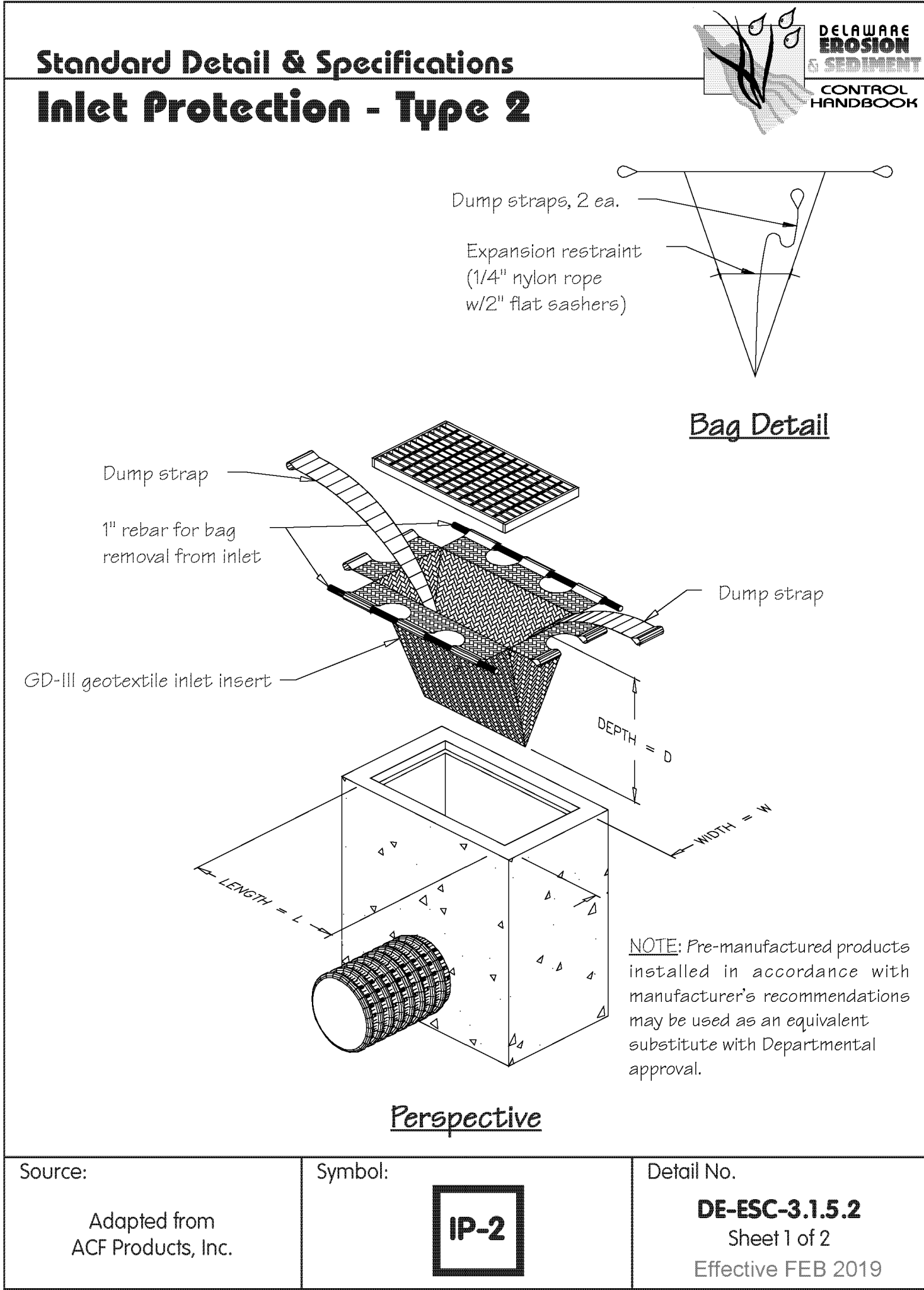
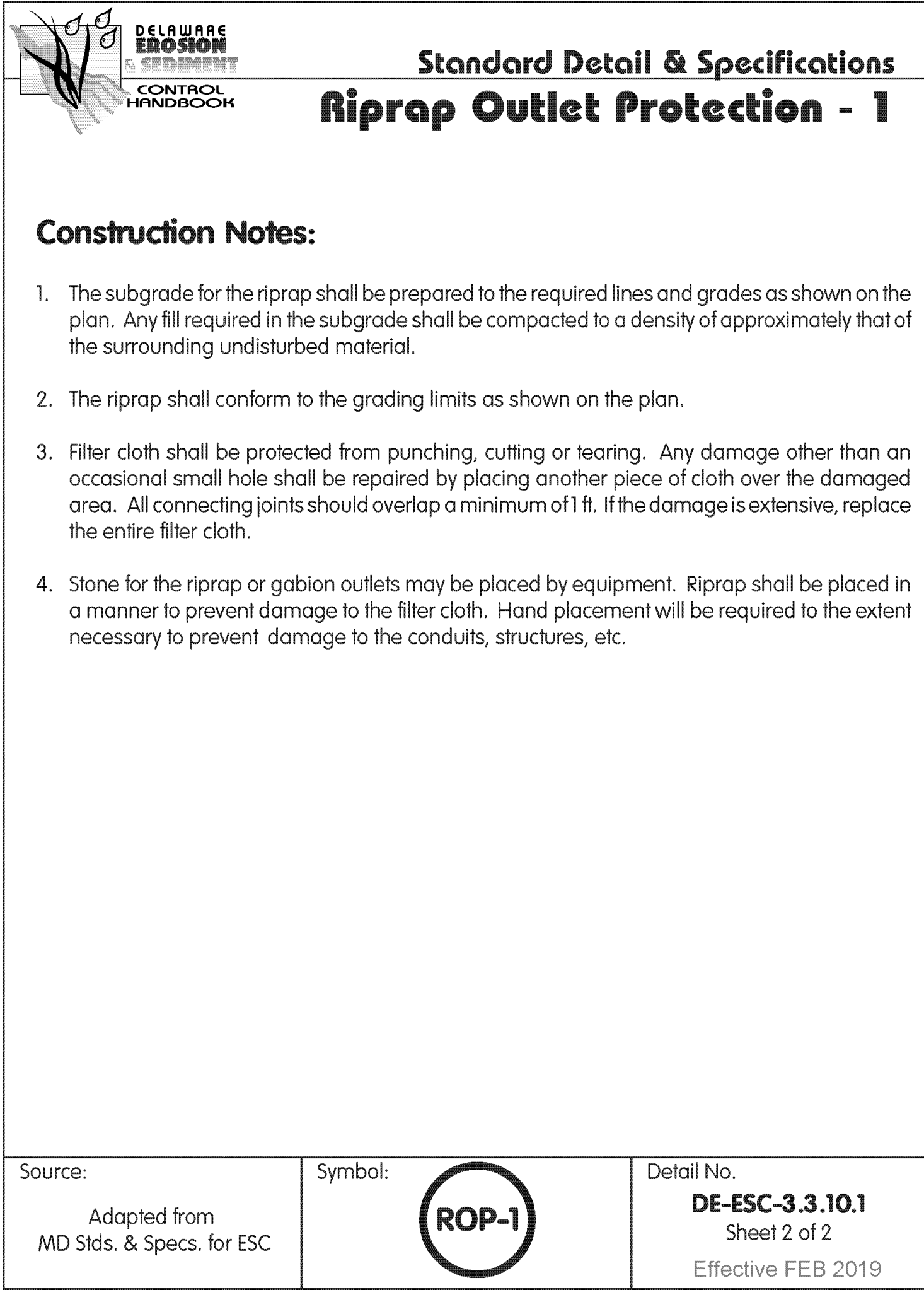
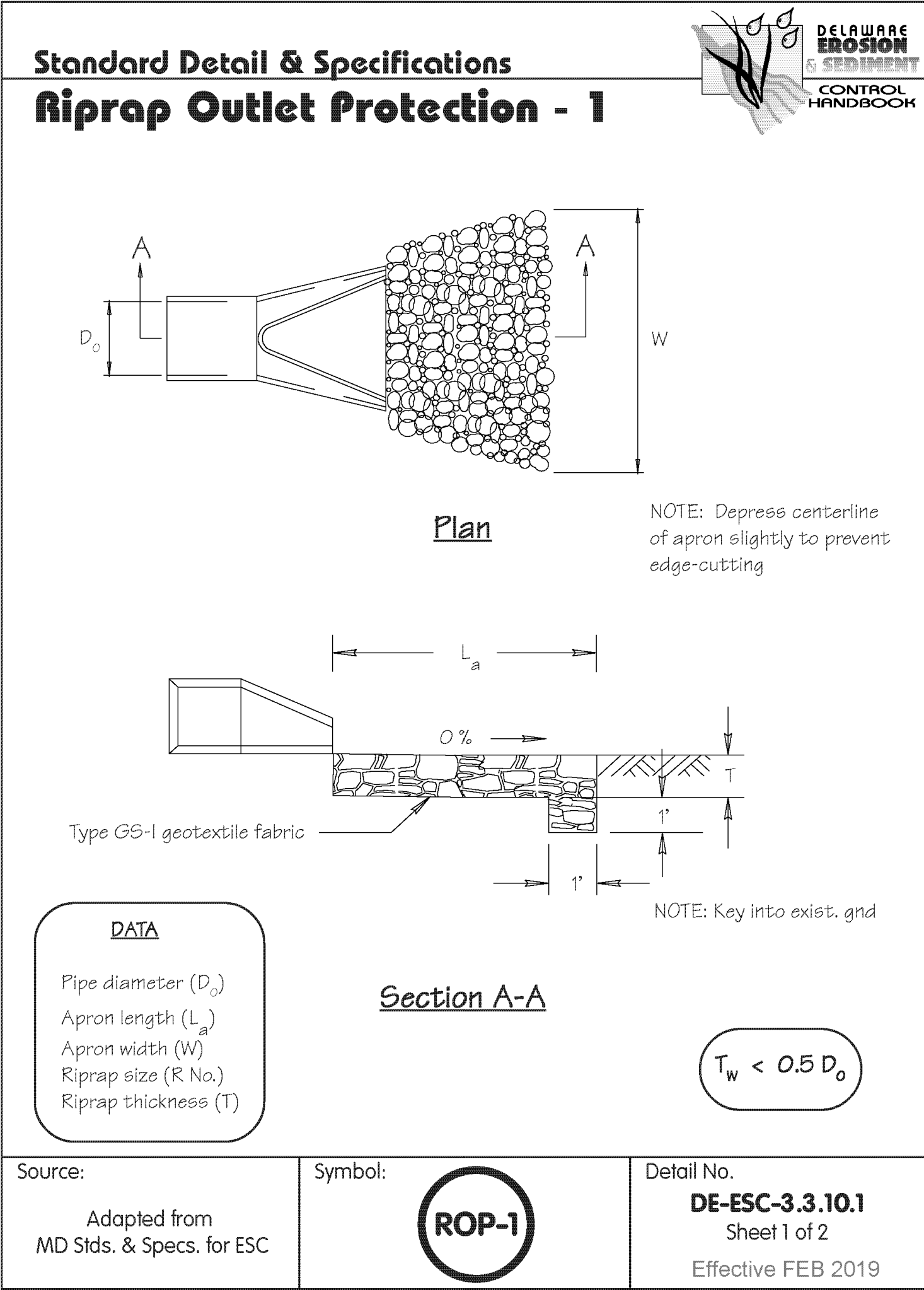
Date: AUGUST 2020
Scale: AS NOTED
Dwn.By: RPK
Proj.No.: 1319A026
Dwg.No.:



MARSH ISLAND CLUBHOUSE CAMP ARROWHEAD ROAD SUSSEX COUNTY, DELAWARE

DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
SUSSEX COUNTY, DELAWARE
1300 SOUTH LANTZ CREEK ROAD
DOVER, DELAWARE 19901
(302) 424-2800
(302) 424-1441
(302) 424-1441
(410) 770-4744

Date: AUGUST 2020
Scale: NTS
Dwn.By: RPK
Proj.No.: 1319A026
Dwg.No.: 5



P:\Ocean Atlantic\1319A026 Marsh Island\Design\Clubhouse\1319A026 CLUBHOUSE PLANS.dwg Aug 18, 2020 - 10:48am KESR

Standard Detail & Specifications

Construction Site Waste Mgt & Spill Control

DATA TO BE PROVIDED

Volume of Potential Pollution
Height of containment
Area of containment
Volume of containment

Fuel Tank

Double layer plastic sheeting, or approved equal

Min. 9" compost log or DE # 3 Stone berm

Stake as required per compost log manufacturer guidelines

Double layer plastic sheeting

Fuel Tank

Spill containment Area

Source:	Symbol:	Detail No.
Delaware ESC Handbook		DE-ESC-3.6.1 Sheet 1 of 5 Effective FEB 2019

Standard Detail & Specifications

Construction Site Waste Mgt & Spill Control

Pollution Prevention – Spill Prevention

1. Fueling should only take place in signed designated areas, away from downstream drainage facilities and watercourses.

2. Fueling must be with nozzles equipped with automatic shut-off to control drips. Do not top off.

3. Protect the areas where equipment or vehicles are being repaired, maintained, fueled or parked from storm water run-on and runoff.

4. Use barriers such as berms to prevent storm water run-on and runoff, and to contain spills.

5. Place a "Fueling Area" sign next to each fueling area.

6. Store hazardous materials such as fuel, solvents, oil and chemicals in secondary containment.

7. Inspect vehicles and equipment for leaks on each day of use. Repair fluid and oil leaks immediately.

8. Absorbent spill clean-up materials and spill kits must be available in fueling areas and on fuel trucks.

9. If fueling is to take place at night, make sure the fueling area is sufficiently illuminated.

10. Properly dispose of used oil, fluids, lubricants and spill clean-up materials.

CLEAN UP SPILLS

1. If it is safe to do so, immediately contain and clean up any chemical and/or hazardous material spills.

2. Properly dispose of used oil, fluids, lubricants and spill clean-up materials.

3. Do not bury spills or wash them down with water.

LEAKS AND DRIPS

1. Use drip pans or absorbent pads at all times. Place under and around leaky equipment.

2. Do not allow oil, grease, fuel or chemicals to drip onto the ground.

3. Have spill kits and clean up material on-site.

4. Repair leaky equipment promptly or remove problem vehicles and equipment from the site. Clean up contaminated soil immediately.

5. Store contaminated waste in sealed containers constructed of suitable material. Label these containers properly.

6. Clean up all spills and leaks. Promptly dispose of waste and spent clean up materials.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		DE-ESC-3.6.1 Sheet 2 of 5 Effective FEB 2019

Standard Detail & Specifications

Construction Site Waste Mgt & Spill Control

Notes:

The Construction Site Pollution Prevention Plan should include the following elements:

1. Material Inventory

Document the storage and use of the following materials:

a. Concrete

b. Detergents

c. Paints (enamel and latex)

d. Cleaning solvents

e. Pesticides

f. Wood scraps

g. Fertilizers

h. Petroleum based products

2. Good housekeeping practices

a. Store only enough product required to do the job.

b. All materials shall be stored in a neat, orderly manner in their original labeled containers and covered.

c. Substances shall not be mixed.

d. When possible, all of a product shall be used up prior to disposal of the container.

e. Manufacturers' instructions for disposal shall be strictly adhered to.

f. The site foreman shall designate someone to inspect all BMPs daily.

3. Waste management practices

a. All waste materials shall be collected and stored in securely lidded dumpsters in a location that does not drain to a waterbody.

b. Waste materials shall be salvaged and/or recycled whenever possible.

c. The dumpsters shall be emptied a minimum of twice per week, or more if necessary. The licensed trash hauler is responsible for cleaning out dumpsters.

Source:	Symbol:	Detail No.
Adapted from USEPA Pub. 840-B-92-002		DE-ESC-3.6.1 Sheet 3 of 5 Effective FEB 2019

Standard Detail & Specifications

Construction Site Waste Mgt & Spill Control

Notes (cont.)

d. Trash shall be disposed of in accordance with all applicable Delaware laws.

e. Trash cans shall be placed at all lunch spots and littering is strictly prohibited. Recycle bins shall be placed near the construction trailer.

f. If fertilizer bags can not be stored in a weather-proof location, they shall be kept on a pallet and covered with plastic sheeting which is overlapped and anchored.

4. Equipment maintenance practices

a. If possible, equipment should be taken to off-site commercial facilities for washing and maintenance.

b. If performed on-site, vehicles shall be washed with high-pressure water spray without detergents in an area contained by an impervious berm.

c. Drip pans shall be used for all equipment maintenance.

d. Equipment shall be inspected for leaks on a daily basis.

e. Washout from concrete trucks shall be disposed of in a temporary pit for hardening and proper disposal.

f. Fuel nozzles shall be equipped with automatic shut-off valves.

g. All used products such as oil, antifreeze, solvents and tires shall be disposed of in accordance with manufacturers' recommendations and local, state and federal laws and regulations.

5. Spill prevention practices

a. Potential spill areas shall be identified and contained in covered areas with no connection to the storm drain system.

b. Warning signs shall be posted in hazardous material storage areas.

c. Preventive maintenance shall be performed on all tanks, valves, pumps, pipes and other equipment as necessary.

d. Low or non-toxic substances shall be prioritized for use.

Source:	Symbol:	Detail No.
Adapted from USEPA Pub. 840-B-92-002		DE-ESC-3.6.1 Sheet 4 of 5 Effective FEB 2019

Standard Detail & Specifications

Construction Site Waste Mgt & Spill Control

Notes (cont.)

e. Contact information for reporting spills through the DNREC 24-Hour Toll Free Number shall be prominently posted.

6. Education

a. Best management practices for construction site pollution control shall be a part of regular progress meetings.

b. Information regarding waste management, equipment maintenance and spill prevention shall be prominently posted in the construction trailer.

CONTACT INFORMATION

DNREC 24-Hour Toll Free Number

800-662-8802

DNREC Solid & Hazardous Waste Management Section

302-739-9403

Source:	Symbol:	Detail No.
Adapted from USEPA Pub. 840-B-92-002		DE-ESC-3.6.1 Sheet 5 of 5 Effective FEB 2019

Standard Detail & Specifications

ESC for Minor Development

IP-1

SF

SF

SF

Stockpile

SF

SF

Property Line (Typ.)

SAP

SAP

Proposed Structure

SCE

SF

SF

IP-2

Downspout Extender (Typ.)

LEGEND

Flow

Silt Fence

Sensitive Area Protection

Stabilized Construction Entrance

Inlet protection - Type 1

Inlet Protection - Type 2

IP-1

IP-2

Source:	Symbol:	Detail No.
Adapted from IN DNR, "Erosion Control for the Home Builder"		DE-ESC-3.7.1 Sheet 1 of 2 Effective FEB 2019

Standard Detail & Specifications

ESC for Minor Development

Construction Notes:

1. Evaluate the Site.

a. Identify Vegetation To Be Saved

b. Protect Trees and Sensitive Areas

2. Install Perimeter Erosion And Sediment Controls.

a. Protect down-slope areas with vegetative filter strips.

b. Protect down-slope areas with silt fence.

c. Restrict all lot access to stabilized construction entrance to prevent vehicles from tracking mud onto roadways.

d. Install inlet protection on nearby storm drain inlets.

3. Prepare the Site for Construction.

4. Salvage and Stockpile the Topsoil/Subsoil

5. Build the Structure(s) and Install the Utilities.

6. Install Downspout Extenders

7. Maintain the Control Practices.

a. Maintain all erosion and sediment control practices until construction is completed and the lot is stabilized.

b. Inspect the control practices a minimum of twice a week and after each storm event, making any needed repairs immediately.

8. Revegetate the Building Site.

a. Redistribute the stockpiled subsoil and topsoil.

b. Seed or sod bare areas.

c. Mulch newly seeded areas.

9. Remove Remaining Temporary Control Measures.

Source:	Symbol:	Detail No.
Adapted from IN DNR, "Erosion Control for the Home Builder"		DE-ESC-3.7.1 Sheet 2 of 2 Effective FEB 2019

MARSH ISLAND CLUBHOUSE
CAMP ARROWHEAD ROAD
SUSSEX COUNTY, DELAWARE

Revisions:

Date: **AUGUST 2020**
Scale: **NTS**
Dwn.By: **RPK**
Proj.No.: **1319A026**

Dwg.No.:

8

DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
SUSSEX COUNTY, DELAWARE
EASTON, MARYLAND

(302) 424-2800
(302) 424-1441
(410) 770-4744

EROSION & SEDIMENT CONTROL DETAILS



**DELAWARE
EROSION
& SEDIMENT
CONTROL
HANDBOOK**

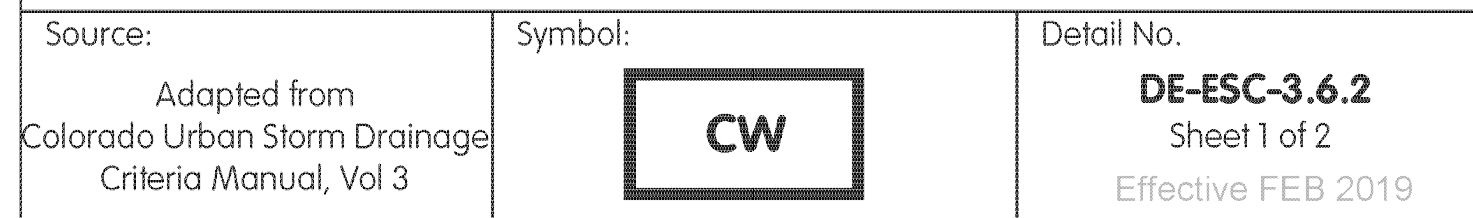


**DELAWARE
EROSION
& SEDIMENT
CONTROL
HANDBOOK**

Source: Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3	Symbol: _____ SP _____	Detail No. DE-ESC-3.7.3 Sheet 2 of 2 Effective FEB 2019
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**DELAWARE
EROSION
& SEDIMENT
CONTROL
HANDBOOK**

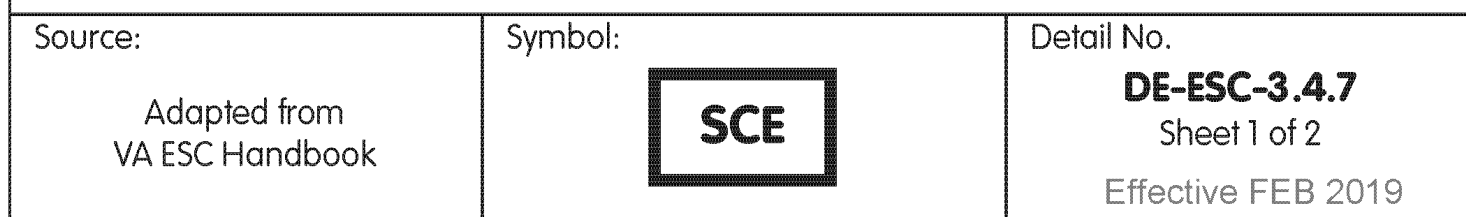


**DELAWARE
EROSION
& SEDIMENT
CONTROL
HANDBOOK**

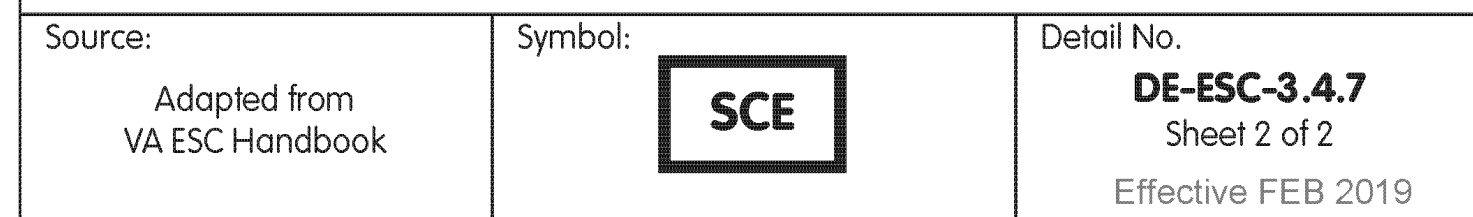
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**DELAWARE
EROSION
& SEDIMENT
CONTROL
HANDBOOK**



**DELAWARE
EROSION
& SEDIMENT
CONTROL
HANDBOOK**

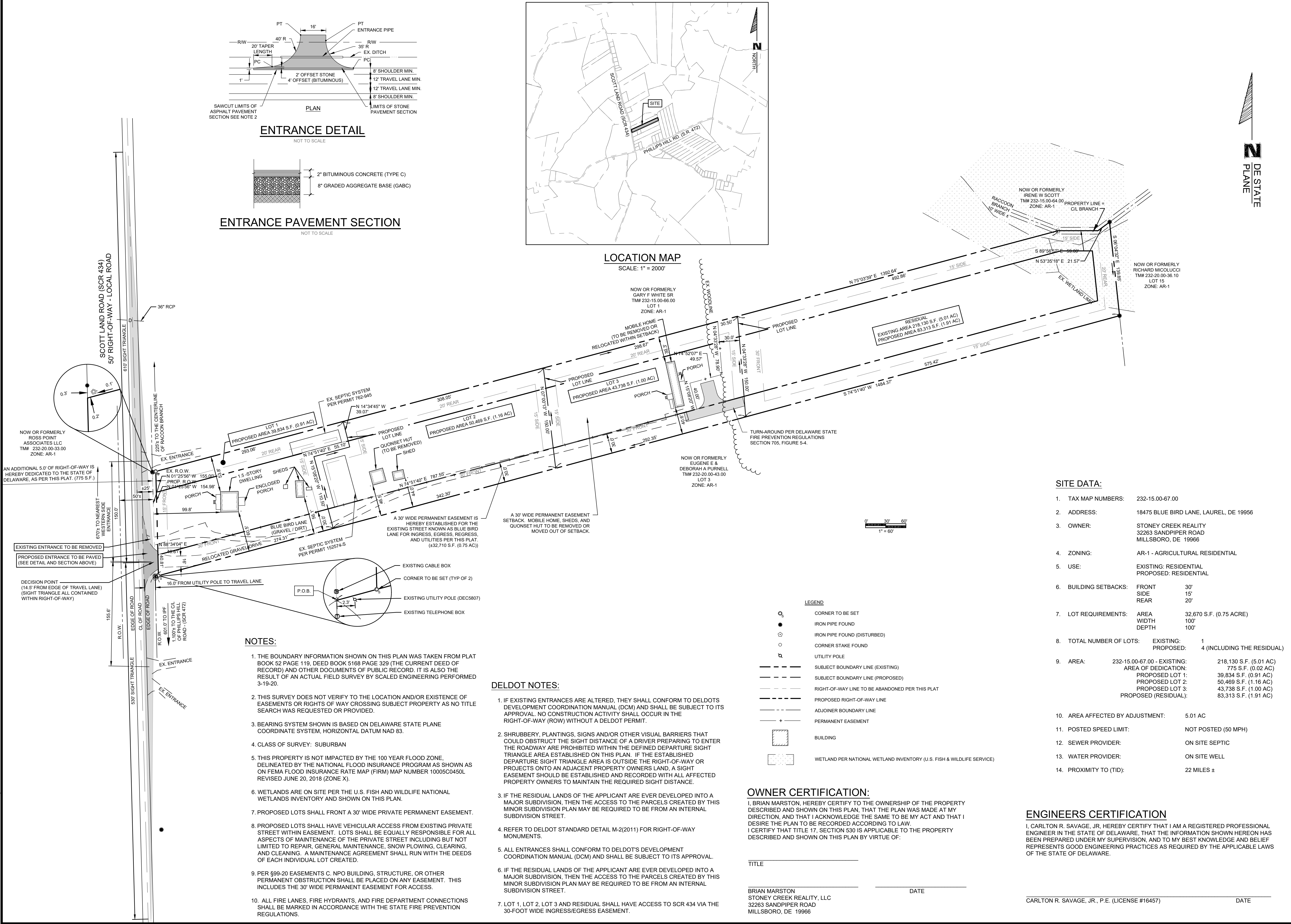


DELAWARE
EROSION
& **SEDIMENT**
CONTROL
HANDBOOK



DELAWARE
EROSION
& **SEDIMENT**
CONTROL
HANDBOOK

Source: Adapted from MD Stds. & Specs. for ESC	Symbol: _____ SSF _____	Detail No. DE-ESC-3.1.2.3 Sheet 2 of 2 Effective FEB 2019
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BLUE BIRD LANE MINOR SUBDIVISION

TM: 232-15.00-67.00

BROAD CREEK HUNDRED, SUSSEX COUNTY, DELAWARE

REVISIONS

Date: 09-01-20
Scale: 1" = 60'
Dwn.By: JRE
Proj.No.: MARS009
Dwg.No.:

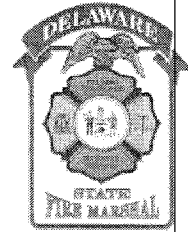
Sheet 1 of 1

MINOR SUBDIVISION PLAN



OFFICE OF THE STATE FIRE MARSHAL
Technical Services

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2020-04-204731-MIS-01

Tax Parcel Number: 232-15.00-67.00

Status: Approved as Submitted

Date: 09/28/2020

Project

Blue Bird Lane Subdivision

18475 Blue Bird Lane

Stoney Creek Realty Property

Laurel DE 19956

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 83 - Millsboro Fire Co Inc

Occupant Load Inside:

Occupancy Code: 9601

Applicant

Carlton Savage
20246 Coastal Hwy
Rehoboth, DE 19971

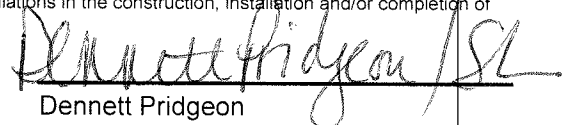
This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:


Dennett Pridgeon

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2020-04-204731-MIS-01

Tax Parcel Number: 232-15.00-67.00

Status: Approved as Submitted

Date: 09/28/2020

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1000** The site plans have been approved as submitted. The Office of DE State Fire Marshal has no objection to recordation.
- 1010 A** The following water for fire protection requirements apply: **NONE**. On-Site Wells Proposed. this site meets Water Flow Table 1. therefore the provisions of NFPA 1142 shall apply to this site (DSFPR Regulation 702, Chapter 6, Section 3). Since wells are proposed for this site, no additional requirements will be made by this Agency for water for fire protection.
- 1011 A** Per Fire Flow Table 1, the following occupancies: One and Two Family Detached Dwellings, Multi Family & Other Residential, Rowhouses & Townhouses Shall not exceed 10,000 aggregate gross square footage; shall not exceed 35' or three stories; and Shall have a minimum setback of 15' from all property lines and 10' setback from exposure hazards on the same property. Additionally, Rowhouses & Townhouses shall have an internal fire separation of two hour fire rated walls per SFPR Part II, Chapter 2.
- 1408 A** All premises where emergency personnel may be called upon to provide emergency services, which are not readily accessible from streets, shall be provided with suitable gates, access roads, and fire lanes so that all buildings on the premises are accessible to emergency apparatus. (DSFPR Regulation 705, Chapter 5, Section 2).
- 1171 A** Any dead end road more than 300 feet in length shall be provided with a turn around or cul-de-sac arranged such that emergency apparatus will be able to

turn around by making not more than one backing maneuver. Any turn-arounds and cul-de-sacs shall be designed in accordance with DSFPR Regulation 705, Chapter 2, Sections 2.3, 2.3.1, and 2.3.

1093 A In the case of one and two-family dwellings emergency service access shall be provided in such a manner so that emergency apparatus will be able to locate within 100 feet from the street to the primary entrance. Where alleys are provided, pumpers shall be able to access all portions of the alley without strict restrictions for entrance radii. (DSFPR Regulation 705, Chapter 5, Sections 2.2 and 2.2.1).

2500 A A final inspection is required for this project prior to occupancy (DSFPR Part I, Section 4-7). Contact this Agency to schedule this inspection. Please have the plan review number available. A MINIMUM OF FIVE (5) WORKING DAYS NOTICE IS REQUIRED.



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. Box 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

August 27, 2020

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

SUBJECT: Minor Subdivision - Letter of No Objection to Recordation
Blue Bird Lane (Minor Subdivision)
Tax Parcel # 232-15.00-67.00
SCR434-SCOTT LAND ROAD
Broad Creek Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Minor Subdivision Plan dated June 17, 2020 (signed and sealed August 24, 2020), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawing. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Minor Subdivision Plan is not recorded and/or an entrance permit is not issued for the lot(s) prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

Entrances(s) must be installed prior to the sale of the lot(s). All entrances shall conform to DelDOT's [Development Coordination Manual](#) and shall be subject to its approval. **This letter does not authorize the commencement of entrance construction.**

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction

Blue Bird Lane (Minor Subdivision)

Mr. Jamie Whitehouse

Page 2

August 27, 2020

to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

The owner shall be responsible to submit a copy of the **recorded Minor Subdivision Plan** showing all appropriate signatures, seals, plot book and page number to the South District Public Works office (302) 853-1341 in order to obtain the entrance permit(s) for the proposed minor subdivision.

Sincerely,



Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

cc: Carlton Savage, Scaled Engineering, Inc.
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
James Argo, South District Project Reviewer
William Kirsch, South District Entrance Permit Supervisor
Shannon Anderson, South District Public Work Admin Specialist
Wendy L. Polasko, Subdivision Engineer
John Andrescavage, Sussex County Reviewer