

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY WINGATE



2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DE 19947  
(302) 855-7878 T  
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sussexcountyde.gov

# Sussex County Planning & Zoning Commission

AGENDA\*\*

October 8, 2020

5:00 P.M.

**PLEASE REVIEW MEETING INSTRUCTIONS AT THE BOTTOM OF THE AGENDA**

## Call to Order

## Approval of Agenda

## Other Business

Ocean Meadows Subdivision (2018-28) KS  
Request to Revise Forested/Landscape Buffer

Welches Pond Subdivision (2017-20) (FKA Fieldstone, The Grove at Love Creek) KS  
Request to Revise Conditions of Approval and Forested/Landscape Buffer

Dagsboro Trace Subdivision (2004-34) HW  
Revised Subdivision Plan

Lighthouse Annex Self-Storage (S-17-40) HW  
Revised Site Plan

Marsh Island Subdivision (2005-52 & 2008-25) BM  
Amenities Plan

Lands of Stoney Creek Realty HW  
Minor subdivision off a 30-ft easement

## Old Business

C/U 2237 Samuel C. Warrington II KS  
An Ordinance to grant a Conditional Use of land in an AR-1 Agricultural Residential District for outdoor RV and boat storage to be located on a certain parcel of land lying and being in Lewes and Rehoboth Hundred, Sussex County, containing 2.5 acres more or less. The property is lying on the southeast side of Postal Lane, approximately 0.38 mile southwest of Coastal Highway (Route 1). 911 Address: 34378 Postal Lane, Lewes. Tax Parcel: 334-12.00-55.01 (portion of).



**2019-32 – Lands of Coroc/Rehoboth, III, LLC**

BM

A standard subdivision to divide 10.00 acres +/- into 3 lots to be located on a certain parcel of land lying and being in Lewes and Rehoboth, Hundred, Sussex County. The property is lying on the west side of Holland Glade Road (S.C.R. 271), approximately 0.11-mile northeast of Coastal Highway (Route 1). Tax Parcel: 334-13.00-325.36. Zoning District: C-3 (Heavy Commercial District).

**2020-06 – Lands of James & Denise Taylor**

KH

A standard subdivision to divide 8.925 acres +/- into 4 single family lots to be located on a certain parcel of land lying and being in Dagsboro Hundred, Sussex County. The property is lying on the south side of Asketum Branch Road (S.C.R. 442), approximately 0.21 mile south west of Bryans Store Road (S.C.R. 435) Tax Parcel: 133-14.00-3.05 Zoning District: AR-1 (Agricultural Residential District).

**C/Z 1906 Eliud Ramirez-Mejia**

HW

**An Ordinance to amend the Comprehensive Zoning Map of Sussex County from an AR-1 Agricultural Residential District to a C-2 Medium Commercial District for a certain parcel of land lying and being in Dagsboro Hundred, Sussex County, containing 2.53 acres, more or less.** The property is lying on the west side of Dagsboro Road, approximately 0.24 mile south of Crickett Street. 911 Address: 27436 Dagsboro Road, Dagsboro. Tax Parcel: 233-5.00-172.00.

**C/U 2239 Coastal Services, LLC**

BM

**An Ordinance to grant a Conditional Use of land in a B-1 Neighborhood Business District and a GR General Residential District for a General Contracting Business to be located on a certain parcel of land lying and being in Baltimore Hundred, Sussex County, containing 1.08 acres, more or less.** The property is lying on the west side of Cedar Neck Rd. (Rt. 357) approximately 0.64 mile north of Fred Hudson Rd. (S.C.R. 360). 911 Address: 30430 & 30432 Cedar Neck Rd., Ocean View. Tax Parcel: 134-9.00-67.00.

**5:30 P.M. Public Hearings**

**C/U 2234 James Jones**

BM

**An Ordinance to grant a Conditional Use of land in an AR-1 Agricultural Residential District for a fiberglass swimming pool and spa display and landscaping business to be located on a certain parcel of land lying and being in Indian River Hundred, Sussex County, containing 2.70 acres, more or less.** The property is lying on the south side of Cordrey Rd (S.C.R. 308), approximately 0.12 miles east of William Street Rd (S.C.R. 309). 911 Address: 28984 Cordrey Road, Millsboro. Tax Parcel: 234-28.00-67.00.

**C/U 2240 Tidewater Utilities, Inc.**

BM

**An Ordinance to grant a Conditional Use of land in an AR-1 Agricultural Residential District for a public utility elevated storage tank to be located on a certain parcel of land lying and being in Lewes and Rehoboth Hundred, Sussex County, containing 0.32 acres more or less.** The property is lying on the southeast side of John J. Williams Highway (Rt. 24) approximately 1.52 miles southwest of Coastal Highway (S.R. 1). 911 Address: 19483 John J. Williams Highway, Lewes. Tax Parcel: 334-12.00-107.00 (portion of).

**C/U 2241 Jonathan J. Bowman**

HW

**An Ordinance to grant a Conditional Use of land in an AR-1 Agricultural Residential District for a truck and trailer repair business to be located on a certain parcel of land lying and being in Gumboro Hundred, Sussex County, containing 2.69 acres, more or less.** The property is lying on the east side of Millsboro Highway (S.C.R. 26/30) approximately 120 ft. north of Bradford Road (S.C.R. 426). 911 Address: 34647 Millsboro Highway, Millsboro. Tax Parcel: 333-7.00-32.00

**C/Z 1925 Lemuel H. Hickman GST Exempt Trust fbo Brenton Archut**

HW

**An Ordinance to amend the Comprehensive Zoning Map of Sussex County from an AR-1 Agricultural Residential District to a B-2 Business Community District for a certain parcel of land lying and being in Baltimore Hundred, Sussex County, containing 25.63 acres, more or less.** The property is lying on the northeast corner of Bayard Road (S.C.R. 84) and Double Bridges Road (S.C.R. 363). 911 Address: N/A. Tax Parcel: 134-19.00-22.00 (portion of).

**Additional Business**

- Discussion in relation to the Memorandum of Understanding with Delaware Department of Transportation

**In accordance with 29 Del. C. §10004(e)(2), this Agenda was posted on October 1, 2020 at 5:15 p.m., and at least seven (7) days in advance of the meeting.**

**This Agenda is subject to change to include the addition or deletion of items, including Executive Sessions, which arise at the time of the Meeting.**

**Agenda items listed may be considered out of sequence.**

-MEETING INSTRUCTIONS-

\*\* The Sussex Planning & Zoning Commission is holding this meeting under the authority issued by Governor John C. Carney through Proclamation No. 17-3292.

The public is encouraged to view the meeting on-line. Any person attending in-person will be required to go through a wellness and security screening, including a no-touch temperature check. The public will be required to wear a facial mask.

Chamber seating capacity is limited and seating assignments will be enforced.

The meeting will be streamed live at <https://sussexcountyde.gov/council-chamber-broadcast>

The County is required to provide a dial-in telephone number for the public to comment during the appropriate time of the meeting. **Note, the on-line stream experiences a 30-second delay.** Any person who dials in by telephone should listen to the teleconference audio to avoid the on-line stream delay.

To join the meeting via telephone, please dial:

**Conference Number: 1 302-394-5036**

**Conference Code: 570176**

Members of the public joining the meeting on the telephone will be provided an opportunity to make comments for those items listed under public hearings on this agenda.

The Planning & Zoning Commission meeting materials, including the “packet”, are electronically accessible on the County’s website at: <https://sussexcountyde.gov/>

If any member of the public would like to submit comments electronically, these may be sent to [pandz@sussexcountyde.gov](mailto:pandz@sussexcountyde.gov). All comments shall be submitted by 5:00 P.M on Wednesday, October 7, 2020

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## Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, Director, Department of Planning & Zoning; Lauren DeVore, Planner III, Jenny Norwood, Planner I, Christin Headley, Planner I, Nicholas Torrance, Planner I, and Chase Phillips, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: September 30, 2020

RE: Other Business for the September 24, 2020 Planning Commission Meeting

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This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the October 8, 2020 Planning Commission meeting.

### **Ocean Meadows (2018-28)**

KS

Request to Amend Forested/Landscape Buffer

This is a request to amend the ratio of deciduous trees and evergreen trees provided in the proposed forested/landscape buffer from the 70% deciduous trees and 30% evergreen requirement to 60% evergreen and 40% deciduous trees. The applicant has indicated that the proposed ratio will provide additional year-round screening between this subdivision and the adjacent Ridings of Rehoboth Subdivision. At their meeting of Thursday, January 9, 2020, the Planning and Zoning Commission approved the Final Subdivision Plan. Tax Parcels: 234-2.00-2.00 & 2.02. Zoning: AR-1 (Agricultural Residential Zoning District).

### **Welches Pond (2017-20) (F.K.A. Fieldstone, The Grove at Love Creek)**

KS

Request to Amend Forested/Landscape Buffer & Conditions of Approval

This is a request to remove the 50-ft landscape buffer located along the eastern side of the proposed subdivision which separates the subdivision from the residual lands. This buffer is currently required under Condition "E" of the Conditions of Approval. Condition "E" currently reads, "As stated by the applicant, a forested or landscaped buffer of at least 50 feet in depth shall be installed along the entire perimeter of the project. The Final Site Plan shall contain a landscaped plan for all of these areas, with the exception of areas that are currently forested and will not be disturbed." The applicant intends to submit an additional application for the residual lands for a second phase of the subdivision. The applicant is requesting that Condition "E" be amended to exclude the buffer from the eastern portion of the property. The applicant has provided a Revised Landscape Plan reflecting these proposed changes for the Commission's consideration. Tax Parcel: 334-12.00-16.00 (part of). Zoning: AR-1 (Agricultural Residential Zoning District) & GR (General Residential Zoning District).

### **Dagsboro Trace (2004-34)**

HW

Revised Subdivision Plan

This Revised Subdivision Plan proposes to remove the sidewalks from the subdivision. The Planning and Zoning Commission previously reviewed this request at their meeting of Thursday, September 24, 2020 where they had requested additional information be provided from the applicant prior to a final decision being rendered. The sidewalks have not been installed and the proposed location of the sidewalks would require the relocation of street lighting and transformers already installed throughout



the development. The Planning and Zoning Office has received documentation that 51% of existing property owners within the subdivision consent to this proposed change. Tax Parcel: 233-11.00-194.01. Zoning: AR-1 (Agricultural Residential Zoning District).

**Lighthouse Annex Self-Storage**

HW

Revised Site Plan

This is a Revised Final Site Plan for a three story, 34,500 square foot self-storage facility to be located on 1.76-acre parcel. This Revised Site Plan proposes changes to the self-storage building (phase 2) that was previously approved on December 21, 2017 (S-17-40). A 600+/- square foot office space is utilized within an existing building on site. The Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 533-17.00-83.00. Zoning: C-1 (General Commercial Zoning District). Staff are awaiting agency approvals.

**Marsh Island (2005-52 & 2008-25)**

BM

Amenities Plan

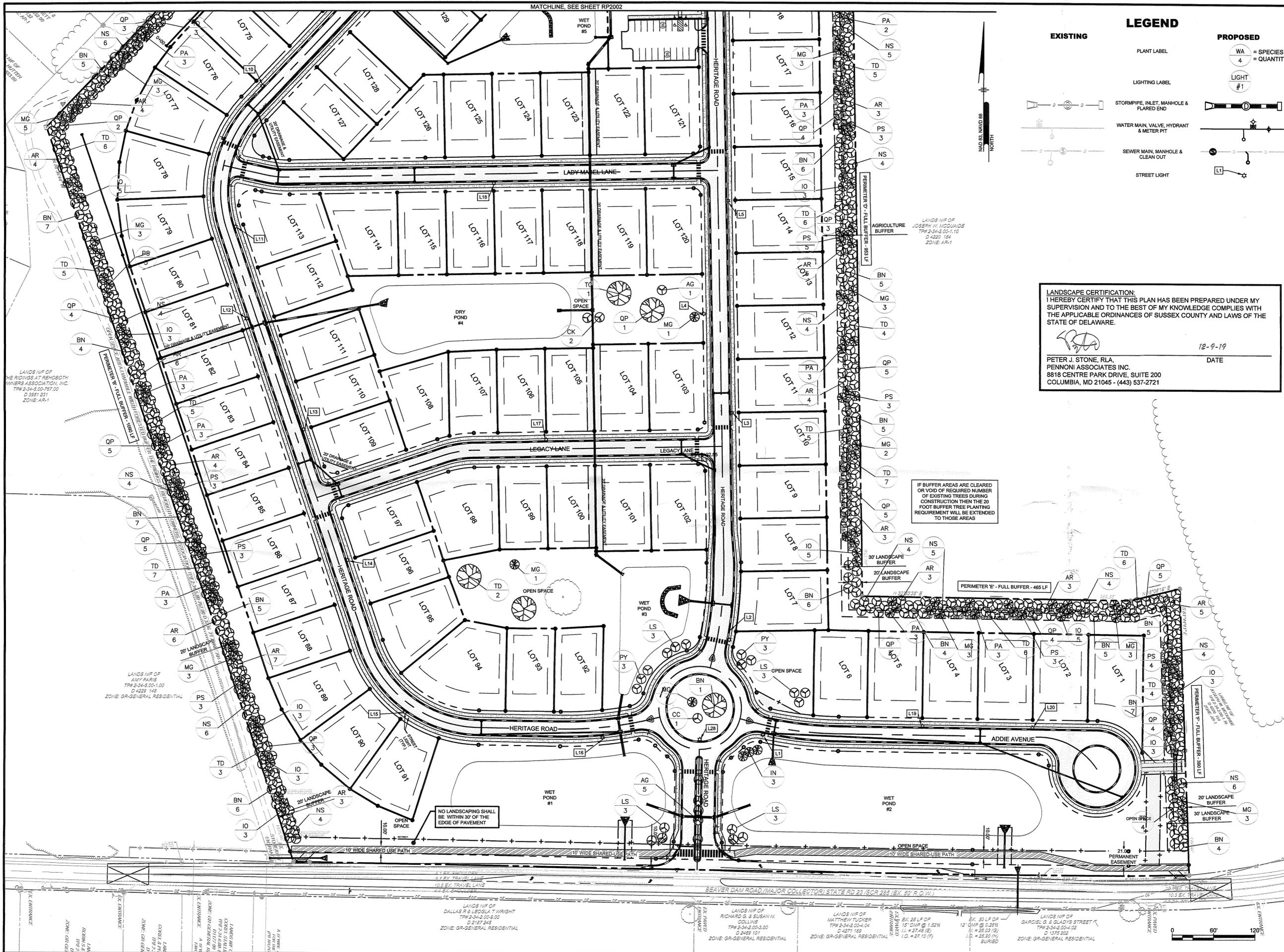
This is an Amenities Plan for a proposed 1,918 square foot clubhouse, 4,308 square foot in-ground pool, playground, covered seating area, boardwalk and 18 associated parking spaces to be located within the existing Marsh Island (2005-52 & 2008-25) cluster subdivision. At their meeting of Thursday, December 13, 2012, the Planning and Zoning Commission approved the Final Subdivision Plan for the development. The Amenities Plan complies with the Sussex County Zoning and Subdivision Code and all conditions of approval. Tax Parcels: 234-7.00-132.00 & 234-12.00-22.00 (portion of). Zoning: AR-1 (Agricultural Residential Zoning District). Staff are awaiting agency approvals.

**Lands of Stoney Creek Realty**

HW

Minor Subdivision off a 30-ft easement

This is a Preliminary Subdivision Plan for a minor subdivision off a 30-ft easement over an existing driveway to create three (3) lots with a residual lot located off of Scott Land Road (S.C.R. 434). Lot 1 will measure 0.91 acre +/-, Lot 2 will measure 1.16 acre +/-, Lot 3 will measure 1.00 acres +/- and the residual lot will measure 1.91 acres +/- . Tax Parcel: 232-15.00-67.00. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are in receipt of all agency approvals.



**Pennoni**  
 PENNONI ASSOCIATES INC.  
 18072 Davidson Drive  
 Milton, DE 19868  
 T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

12-9-19

**OCEAN MEADOWS**  
 SUSSEX COUNTY - INDIAN RIVER HUNDRED  
 BEAVER DAM ROADS (SCR 285), LEWES, DE  
 TAX MAP: 234-2-00-2-00

**LANDSCAPE AND LIGHTING PLAN**

STONEMARK VENTURES, LLC.  
 12154 HAYLAND FARM WAY  
 ELLICOTT CITY, MARYLAND 21044

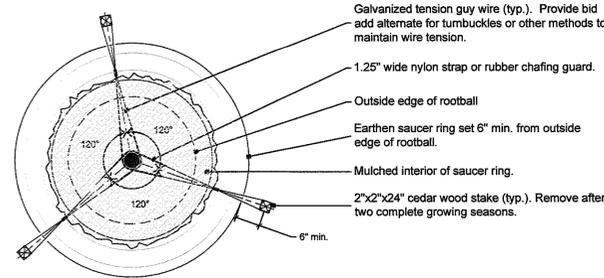
NO.	DATE	REVISIONS	BY
1	08-29-2019	REVISED PER DELOIT COMMENTS	LFS
2	08-21-2019	REVISED PER DELOIT COMMENTS	TPM
3	07-29-2019	REVISED PER DELOIT COMMENTS	LFS
4	07-09-2019	REVISED PER SCID COMMENTS	LFS

PROJECT: SMVSX19001  
 DATE: 2019-04-01  
 DRAWING SCALE: 1"=60'  
 DRAWN BY: TPM/MP  
 APPROVED BY: AMD

**CS2001**  
 SHEET 10 OF 13

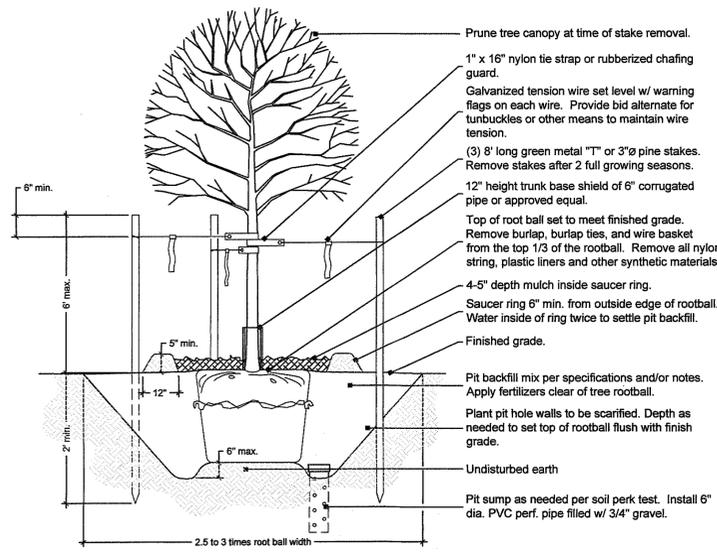






PLAN

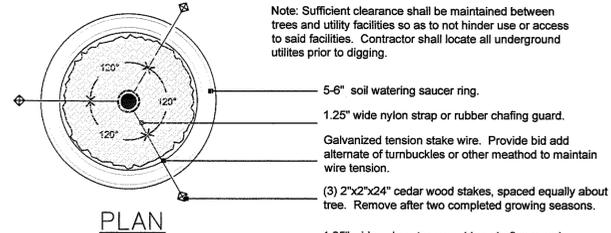
Note: Sufficient clearance shall be maintained between trees and utility facilities so as to not hinder use or access to said facilities. Contractor shall locate all underground utilities prior to digging.



SECTION

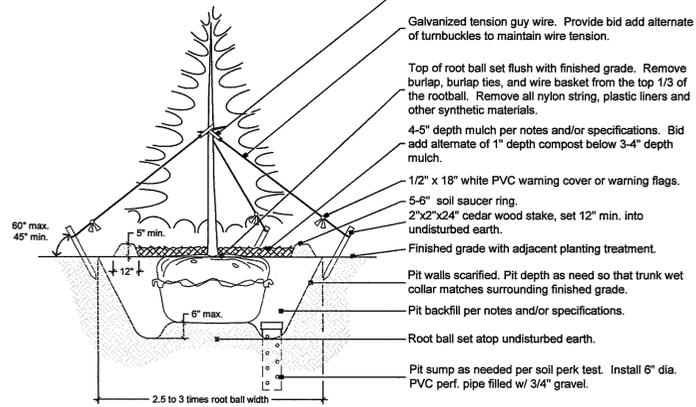
**A Canopy Tree Planting & Guying**

N.T.S.



PLAN

Note: Sufficient clearance shall be maintained between trees and utility facilities so as to not hinder use or access to said facilities. Contractor shall locate all underground utilities prior to digging.

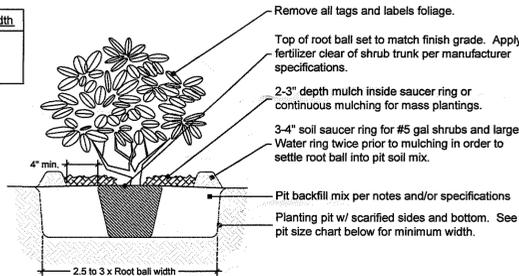


SECTION

**B Evergreen Tree Planting & Staking**

N.T.S.

Shrub Size	Min. Pit Width
#1 gallon	18"
#3 gallon	30"
#5 gallon	42"



**C Shrub Planting**

N.T.S.

Buffer	Requirements	No. Required	No. Provided
<b>PROPOSED LANDSCAPE BUFFER AREAS</b>			
B	LANDSCAPE STRIP 'B' - 1,090 LF		
	Deciduous Tree	11 per 100 LF	120
	Evergreen Tree	4 per 100 LF	44
C	LANDSCAPE STRIP 'C' - 465 LF		
	Deciduous Tree	11 per 100 LF	52
	Evergreen Tree	4 per 100 LF	20
D	LANDSCAPE STRIP 'D' - 953 LF		
	Deciduous Tree	11 per 100 LF	105
	Evergreen Tree	4 per 100 LF	39
E	LANDSCAPE STRIP 'E' - 465 LF		
	Deciduous Tree	11 per 100 LF	52
	Evergreen Tree	4 per 100 LF	20
F	LANDSCAPE STRIP 'F' - 390 LF		
	Deciduous Tree	11 per 100 LF	43
	Evergreen Tree	4 per 100 LF	16
Total Deciduous Trees Provided			372
Total Coniferous Trees Provided			139
Total Provided Trees			511

PLANT LIST					
SYMBOL	QTY.	SCIENTIFIC/COMMON NAME	SIZE	ROOT	REMARKS
<b>SHADE TREES</b>					
AR	69	ACER RUBRUM 'OCTOBER GLORY'	1.5\"/>		

\* PLANT SPECIES SHOWN ARE A REPRESENTATION OF THE TYPE OF SPECIES NEEDED TO MEET REQUIREMENTS. THE DEVELOPER MAY SUBSTITUTE THE PLANTING TYPES PROVIDED THAT THE REPLACEMENT MEETS THE INTENT OF THE ORIGINAL PLANS AND SATISFIES SUSSEX COUNTY REQUIREMENTS REGARDING THE FORESTED/LANDSCAPED BUFFER.

**LANDSCAPING NOTES**

- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK".
- CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR AFTER INSTALLATION IS COMPLETE AND FINAL ACCEPTANCE OF PHASE I SITE WORK HAS BEEN GIVEN. AT THE END OF ONE YEAR ALL PLANT MATERIAL WHICH IS DEAD OR DYING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AS ORIGINALLY SPECIFIED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER.
- ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN.)
- EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
- ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 12'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STAKING DETAIL SHOWN.
- THE FULL EXTENT OF ALL PLANTING BEDS SHALL RECEIVE 4" OF TOPSOIL AND 3" OF BARK MULCH PER SPECIFICATIONS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS' ORIGINAL GRADE BEFORE DIGGING.
- THE CONTRACTOR IS EXPECTED TO MAINTAIN PLANTINGS, INCLUDING WATERING ALL PLANTS ANY TIME FROM APRIL TO DECEMBER WHEN NATURAL RAINFALL IS LESS THAN ONE INCH PER WEEK.
- THE DEVELOPER OR HOME OWNERS ASSOCIATION SHALL BEAR THE RESPONSIBILITY OF REPLACING ANY LANDSCAPING WITHIN SUSSEX COUNTY SEWER EASEMENTS THAT IS DESTROYED OR DAMAGED DUE TO SEWER SYSTEM MAINTENANCE, REPLACEMENT, OR EXTENSION.
- THE ACTUAL STREET TREE LOCATION SHALL BE COORDINATED DURING LOT CONSTRUCTION. STREET TREES SHALL BE LOCATED WITHIN A 20 FEET OF THE LOCATION SHOWN ON THE PLANS. A 10-FOOT HORIZONTAL CLEARANCE SHALL BE MAINTAINED FROM ALL WATER AND SEWER LATERALS.
- THE SUBDIVISION SIDES AND REAR REQUIRE A 30' LANDSCAPE BUFFER MEETING THE FOLLOWING: A PLANTING STRIP AT LEAST 30 FEET WIDE NEAR THE PROPERTY LINE WHICH SHALL INCLUDE TWO CANOPY TREES, FOUR UNDERSTORY TREES AND 10 SHRUBS PER 100 LINEAR FEET OF BUFFER.
- ALL DECIDUOUS TREES THAT ARE PLANTED TO ESTABLISH THE BUFFER PLANTINGS SHALL HAVE A MINIMUM CALIPER OF 1.5 INCHES AND A MINIMUM HEIGHT OF SIX FEET ABOVE GROUND WHEN PLANTED IN ORDER TO INSURE THAT THE TREES WILL BE CAPABLE OF OBTAINING A MINIMUM HEIGHT OF 10 FEET ABOVE GROUND WITHIN FIVE YEARS OF BEING PLANTED.
- ALL EVERGREEN TREES THAT ARE PLANTED TO ESTABLISH THE BUFFER PLANTINGS SHALL HAVE A MINIMUM HEIGHT OF FIVE FEET ABOVE GROUND WHEN PLANTED IN ORDER TO INSURE THAT THEY ARE REASONABLY CAPABLE OF ATTAINING A MINIMUM HEIGHT OF 10 FEET ABOVE GROUND WITHIN FIVE YEARS OF BEING PLANTED.
- THE BUFFER AREA SHALL HAVE A FINAL GRADE THAT CONTAINS A MINIMUM OF FOUR INCHES OF TOPSOIL AND A SUITABLE GRASS MIX PLANTED AS SACRIFICIAL COVER BETWEEN THE BUFFER TREES FOR SOIL STABILIZATION UNTIL THE NEWLY PLANTED TREES BECOME LARGER. THE PLAN MAY SUBSTITUTE WOODCHIPS FOR PLANTED GRASS BETWEEN THE BUFFER TREES IN RESPECT TO BOTH NEWLY PLANTED AND EXISTING TREES, AS DETERMINED BY THE LANDSCAPE ARCHITECT.
- THE FORESTED AND/OR LANDSCAPE BUFFER SHALL BE INSTALLED WITHIN 18 MONTHS FROM THE DATE SITE WORK IS AUTHORIZED TO COMMENCE, AS DOCUMENTED BY A NOTICE TO PROCEED LETTER FROM THE COMMISSION.
- THE LAND DEVELOPER SHALL BE HELD RESPONSIBLE FOR THE HEALTH AND SURVIVAL OF THE TREES, INCLUDING REGULAR NECESSARY WATERING FOR A MINIMUM OF TWO YEARS OR UNTIL SUCH LATER DATE AS THE MAINTENANCE RESPONSIBILITIES ARE TRANSFERRED TO A HOMEOWNERS ASSOCIATION; PROVIDED, HOWEVER, THAT THE DEVELOPER SHALL REPLACE ANY TREES THAT DIE DURING THE MINIMUM TWO-YEAR DEVELOPER MAINTENANCE PRIOR TO TRANSFERRING MAINTENANCE RESPONSIBILITIES TO A HOMEOWNERS ASSOCIATION.
- THE PERPETUAL MAINTENANCE OF THE BUFFER PLANTINGS BY A HOMEOWNERS ASSOCIATION SHALL BE ASSURED THROUGH THE RESTRICTIVE COVENANTS AND/OR HOMEOWNERS ASSOCIATION DOCUMENTS WHICH ARE OBLIGATORY UPON THE PURCHASERS THROUGH ASSESSMENTS BY THE HOMEOWNERS ASSOCIATION.
- PER 99-5 FORESTED AND/OR LANDSCAPE BUFFER STRIP.
  - 15 TREES EVERY 100 FEET ALONG LENGTH OF BUFFER.
    - 70% DECIDUOUS
    - 30% EVERGREEN

**Pennoni**

**PENNONI ASSOCIATES INC.**  
18072 Davidson Drive  
Milton, DE 19968  
T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND CHANGES BEFORE PROCEEDING WITH WORK

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT  
PETER J. STONE  
No. 0007  
12-9-19

**OCEAN MEADOWS**  
SUSSEX COUNTY, INDIAN RIVER HUNDRED  
BEAVER DAM ROADS (SCS 285) LEVES, DE  
TAX MAP: 234-2.00-2.00

**LANDSCAPING AND LIGHTING NOTES AND DETAILS**

**STONEMARK VENTURES, LLC.**  
12154 HAYLAND FARM WAY  
ELLCOTT CITY, MARYLAND 21044

REVISED PER DELDOT COMMENTS	REVISED PER DELDOT COMMENTS	REVISED PER SCD COMMENTS	NO. REVISIONS	DATE	BY
8/30/2019	10/26/2019	07/09/2018	1		

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNERS OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN PERMISSION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL ASSURANCE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	SMVXS19001
DATE	2019-04-01
DRAWING SCALE	N/A
DRAWN BY	TPM/MP
APPROVED BY	AMD

W:\00000000\00000000\00000000 - Ocean Meadows - E:\mchick\020000 - SHEET 13 OF 13.dwg  
 PLOTED: 11/19/2019 10:52 AM BY: Logan 10/16/2019  
 PLOTFILE: Pennoni\CS2004.dwg  
 PROJECT: 5710125



*Blue Heron*

Landscape & Design

A BHCC Company

PO Box 148 Parsonsburg MD 21849

[www.blueheronlandscape.com](http://www.blueheronlandscape.com)

410.341.9500

Sussex County Planning & Zoning  
22215 Dupont Blvd.  
Georgetown, DE 19947  
Attn. Jennifer Norwood

RE: Ocean Meadows Tree Buffer  
Beaver Dam Rd, Lewes, DE 19958

23 September 2020

To whom it may concern,

We are requesting a change in tree buffer species for the above referenced community. This request is based on the need for additional year-round screening between communities. This change will increase the value and privacy of this community plus the other communities adjacent to the buffer. Currently we have a mixture of 70% deciduous trees and 30% evergreen. The density of deciduous trees that lose their foliage means 70% of the screening is gone for at least 50% of the year. We are requesting the ratio be changed to a 60/40 mixture with 60% evergreen and 40% deciduous trees. The value of the trees we have chosen is equivalent to our current approved buffer tree value. Therefore, this change would not affect the bond value.

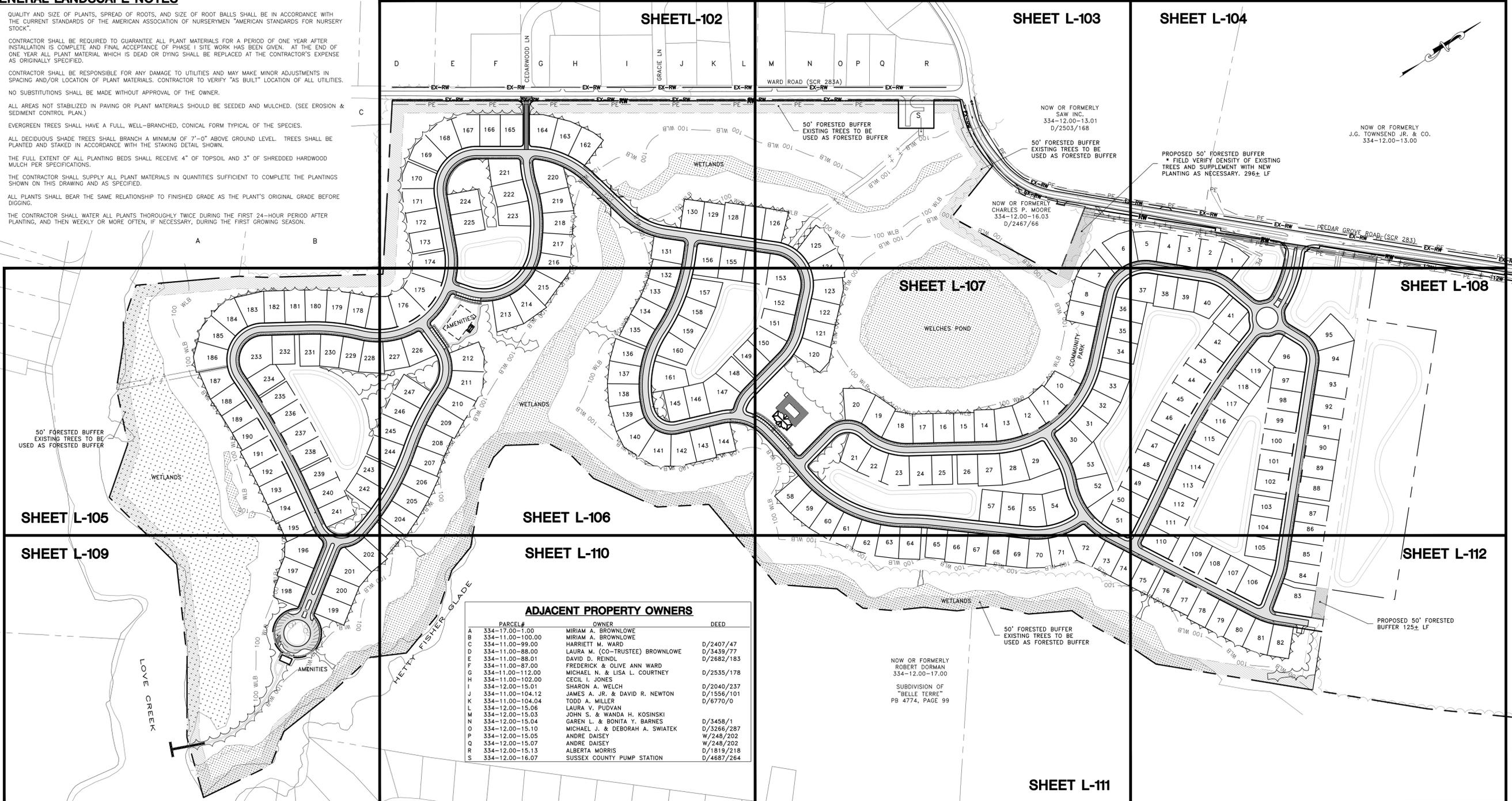
We would like to add the following species for consideration: Eastern Red Cedar , Wax Myrtle Tree, Green Giant Arborvitae, Nellie Stevens Holly.

Thank you for your kind consideration.

Jason Hearn  
Vice President  
Blue Heron Landscape & Design  
A BHCC Company

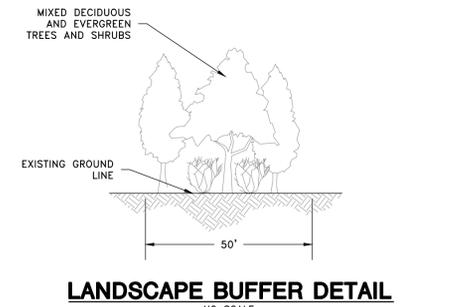
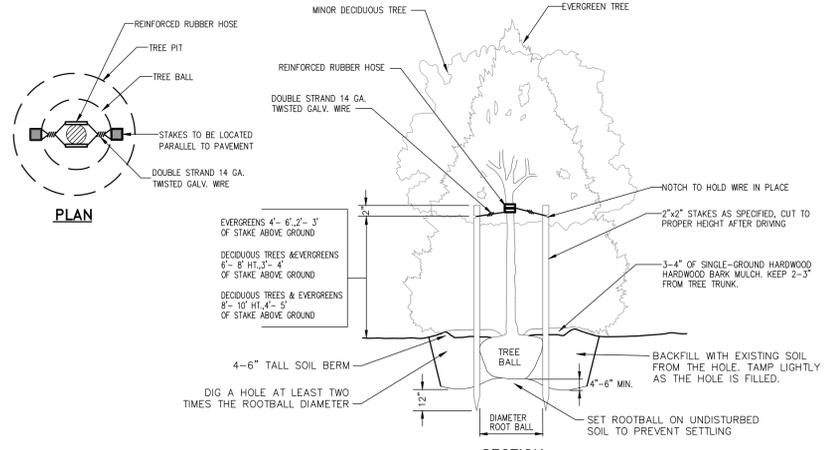
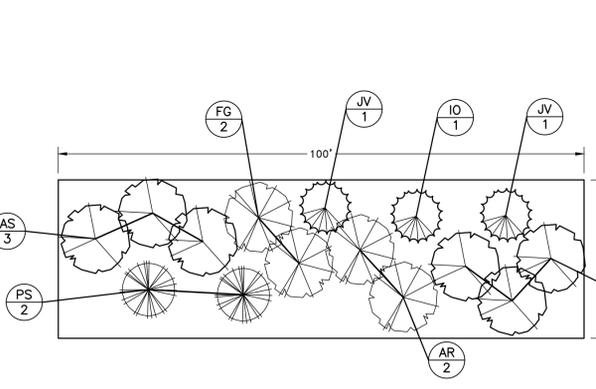
**GENERAL LANDSCAPE NOTES**

1. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF ROOT BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK".
2. CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR AFTER INSTALLATION IS COMPLETE AND FINAL ACCEPTANCE OF PHASE I SITE WORK HAS BEEN GIVEN. AT THE END OF ONE YEAR ALL PLANT MATERIAL WHICH IS DEAD OR DYING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AS ORIGINALLY SPECIFIED.
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4. NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER.
5. ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN.)
6. EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
7. ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 7'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STAKING DETAIL SHOWN.
8. THE FULL EXTENT OF ALL PLANTING BEDS SHALL RECEIVE 4" OF TOPSOIL AND 3" OF SHREDDED HARDWOOD MULCH PER SPECIFICATIONS.
9. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
10. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
11. THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.



**ADJACENT PROPERTY OWNERS**

PARCEL #	OWNER	DEED
A	334-12.00-1.00 MIRIAM A. BROWNLOWE	
B	334-11.00-100.00 MIRIAM A. BROWNLOWE	
C	334-11.00-99.00 HARRIETT M. WARD	D/2407/47
D	334-11.00-88.00 LAURA M. (CO-TRUSTEE) BROWNLOWE	D/3439/77
E	334-11.00-88.01 DAVID D. REINDL	D/2682/183
F	334-11.00-87.00 FREDERICK & OLIVE ANN WARD	
G	334-11.00-112.00 MICHAEL N. & LISA L. COURTNEY	D/2535/178
H	334-11.00-102.00 CECIL I. JONES	D/2040/237
I	334-12.00-15.01 SHARON A. WELCH	D/1556/101
J	334-11.00-104.12 JAMES A. JR. & DAVID R. NEWTON	D/6770/0
K	334-11.00-104.04 TODD A. MILLER	
L	334-12.00-15.06 LAURA V. PUDVAN	
M	334-12.00-15.03 JOHN S. & WANDA H. KOSINSKI	
N	334-12.00-15.04 GAREN L. & BONITA Y. BARNES	D/3458/1
O	334-12.00-15.10 MICHAEL J. & DEBORAH A. SWIATEK	D/3266/287
P	334-12.00-15.05 ANDRE DAISEY	W/248/202
Q	334-12.00-15.07 ANDRE DAISEY	W/248/202
R	334-12.00-15.13 ALBERTA MORRIS	D/1819/218
S	334-12.00-16.07 SUSSEX COUNTY PUMP STATION	D/4687/264



EXISTING FORESTED BUFFER (hatched pattern) PROPOSED FORESTED BUFFER (dotted pattern)

**FORESTED BUFFER PLANT SCHEDULE**

SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
<b>DECIDUOUS TREE</b>					
AR	ACER rubrum	RED MAPLE	1 3/4 - 2" Cal., B&B	TBD	
AS	ACER saccharum	SUGAR MAPLE	1 3/4 - 2" Cal., B&B	TBD	
QM	QUERCUS phellos	WILLOW OAK	1 3/4 - 2" Cal., B&B	TBD	
FG	FAGUS grandifolia	AMERICAN BEECH	1 3/4 - 2" Cal., B&B	TBD	
					TOTAL
<b>EVERGREEN TREE</b>					
PS	PINUS strobus	EASTERN WHITE PINE	5'-6" Ht., B&B	TBD	
JV	JUNIPERUS virginiana	EASTERN RED CEDAR	5'-6" Ht., B&B	TBD	
IO	ILEX opaca	AMERICAN HOLLY	5'-6" Ht., B&B	TBD	
					TOTAL

NOTE:  
296± L.F. OF PROPOSED FORESTED BUFFER EXISTING TREE DENSITY TO BE FIELD VERIFIED AND SUPPLEMENTED WITH NEW PLANTING AS NECESSARY.  
12,855± L.F. OF FORESTED BUFFER PROVIDED BY EXISTING TREES

**TYPICAL FORESTED BUFFER 100' X 20'**  
NOT TO SCALE

**STAKING DETAIL**  
NO SCALE

**LANDSCAPE BUFFER DETAIL**  
NO SCALE

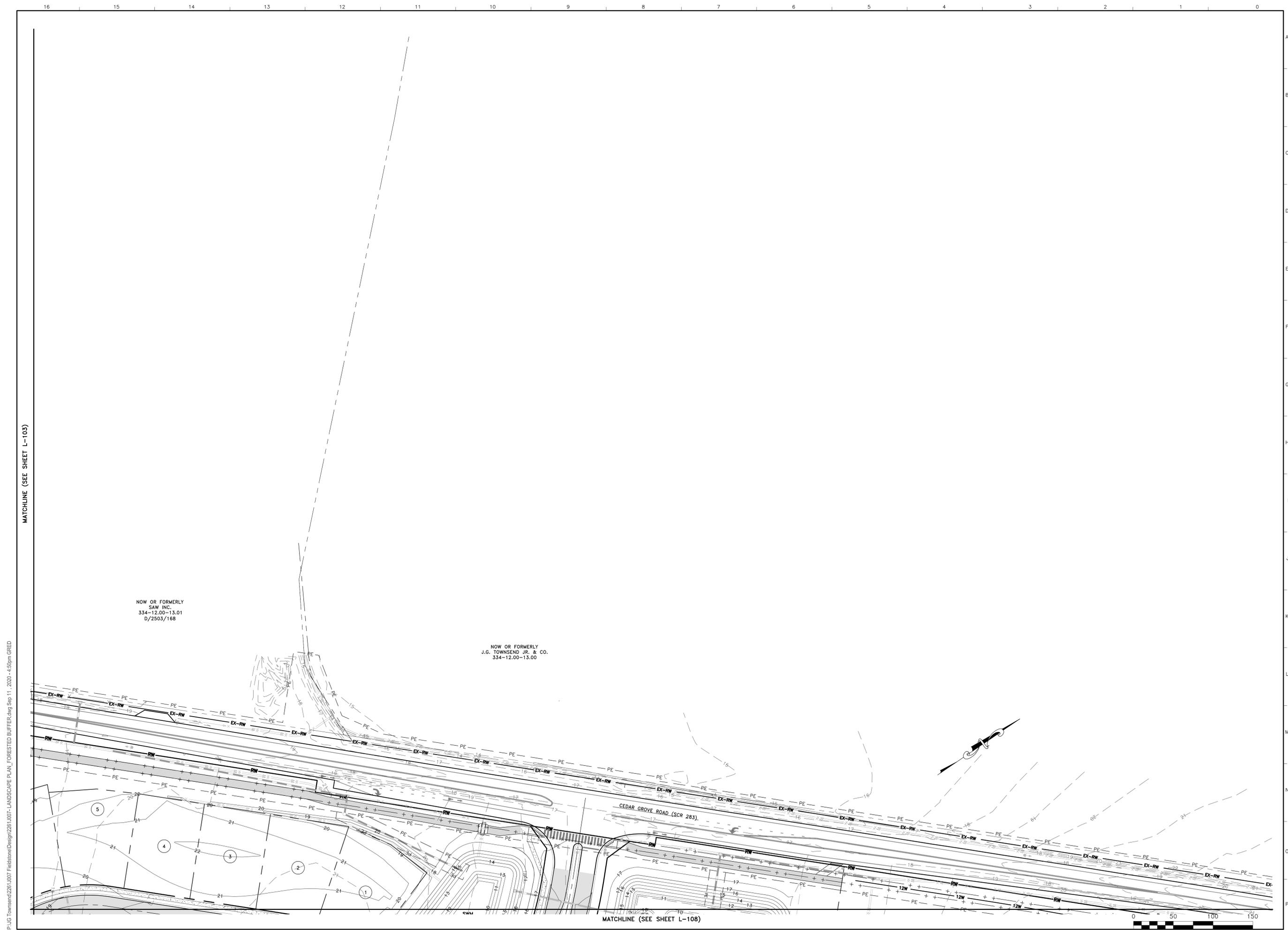


DAVIS, BOWEN & FRIEDEL, INC.  
ARCHITECTS ENGINEERS SURVEYORS  
LANDSCAPE / FORESTED BUFFER PLAN OVERVIEW

**WELCHES POND**  
**LEWES AND REHOBOTH HUNDRED**  
**SUSSEX COUNTY, DELAWARE**

Revisions:  
2020-02-21: CLIENT DELDOT  
2020-05-15: TUI DHSS  
2020-06-08: SCE  
2020-06-15: TUI SCE  
2020-07-29: TUI SCE  
2020-09-11: BUFFER REV.  
Date: **JULY, 2019**  
Scale: 1" = 200'  
Dwn. By: **BJM**  
Proj. No.: **2261H004**  
Dwg. No.:

**L-101**



P:\J.G. Townsend\2261\007 Fieldstone\Design\2261-007-LANDSCAPE PLAN\_FORESTED BUFFER.dwg, Sep 11, 2020 - 4:50pm, GRED

**dbf** DAVIS, BOWEN & FRIEDEL, INC. ARCHITECTS ENGINEERS SURVEYORS  
 1000 MARKET STREET, SUITE 200  
 WILMINGTON, DELAWARE 19801  
 (302) 424-1441  
 (302) 424-1441  
 (410) 770-4744

LANDSCAPE / FORESTED BUFFER PLAN

**WELCHES POND  
 LEWES AND REHOBOTH HUNDRED  
 SUSSEX COUNTY, DELAWARE**

Revisions:

2020-02-21:	CLIENT
	DELDOT
	SCD
	SCE
	TUI
2020-05-15	TUI
	DHSS
	SCD
	SCE
2020-06-08	SCE
2020-06-15	TUI
	SCE
2020-07-29	TUI
2020-09-11	BUFFER REV.

Date: JULY, 2019  
 Scale: 1" = 50'  
 Dwn. By: BJM  
 Proj. No.: 2261H004  
 Dwg. No.:

**L-104**



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**DAVIS, BOWEN & FRIEDEL, INC.**  
 ARCHITECTS ENGINEERS SURVEYORS  
 1000 MARKET STREET  
 WILMINGTON, DELAWARE 19801  
 (302) 424-1411  
 (410) 770-4744

**WELCHES POND  
 LEWES AND REHOBOTH HUNDRED  
 SUSSEX COUNTY, DELAWARE**

**Revisions:**

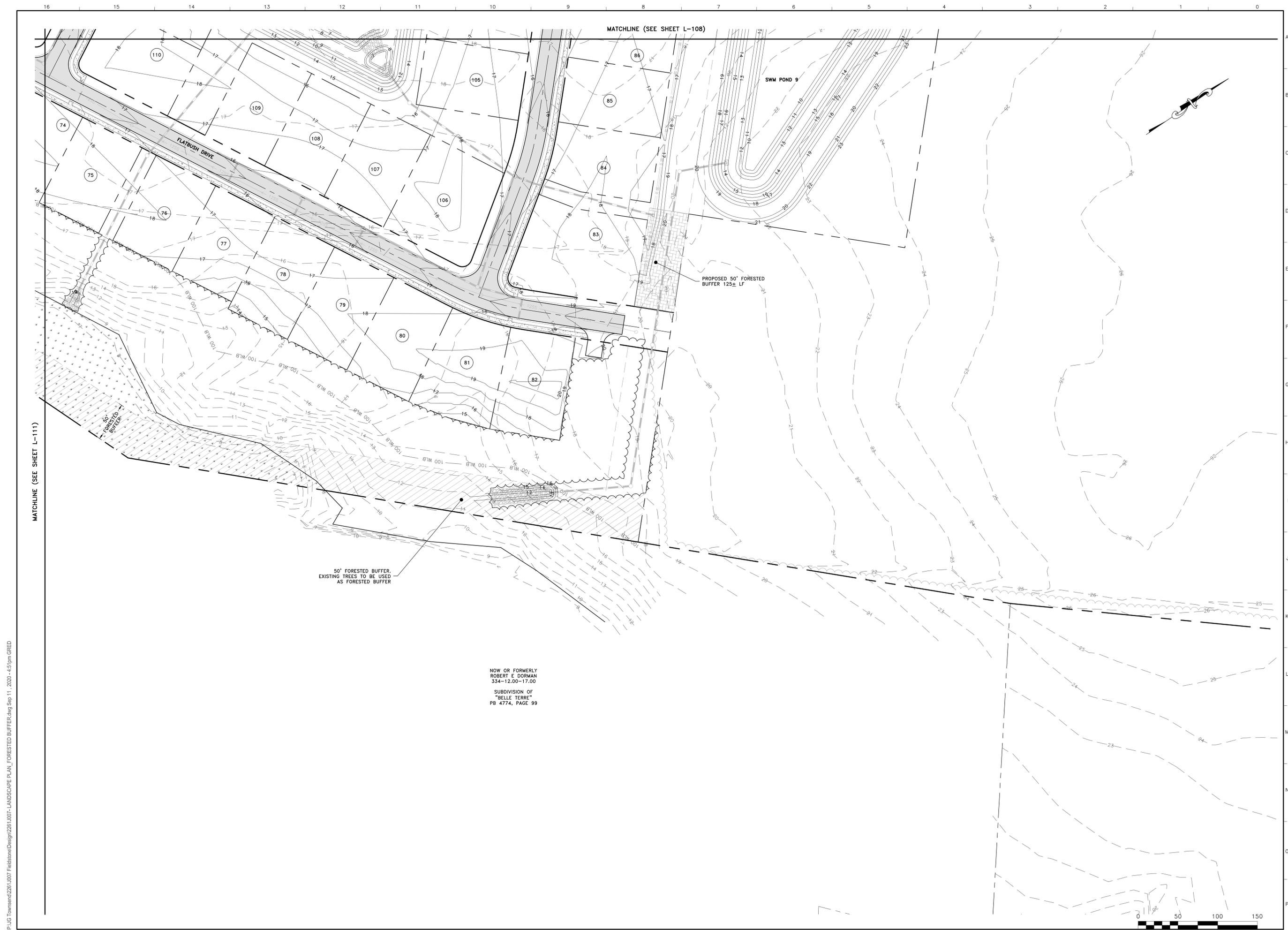
2020-02-21:	CLIENT
	DELDOT
	SCD
	SCE
	TUI
	TUI
2020-05-15:	DHSS
	SCD
	SCE
2020-06-08:	SCE
2020-06-15:	TUI
2020-07-29:	SCE
2020-09-11:	BUFFER REV.

Date: **JULY, 2019**  
 Scale: **1" = 50'**  
 Dwn. By: **BJM**  
 Proj. No.: **2261H004**  
 Dwg. No.:

**L-108**

LANDSCAPE / FORESTED BUFFER PLAN

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MATCHLINE (SEE SHEET L-108)

FLATBUSH DRIVE

SWM POND 9

PROPOSED 50' FORESTED BUFFER 125± LF

50' FORESTED BUFFER. EXISTING TREES TO BE USED AS FORESTED BUFFER

NOW OR FORMERLY  
ROBERT E DORMAN  
354-12.00-17.00  
SUBDIVISION OF  
"BELLE TERRE"  
PB 4774, PAGE 99

MATCHLINE (SEE SHEET L-111)

**DAVIS, BOWEN & FRIEDEL, INC.**  
ARCHITECTS ENGINEERS SURVEYORS  
SUSSEX COUNTY, DELAWARE  
1000 MARKET STREET, SUITE 200  
DELMAR, DELAWARE 19741  
(302) 424-1441  
(302) 424-1441  
(410) 770-4744

**WELCHES POND  
LEWES AND REHOBOTH HUNDRED  
SUSSEX COUNTY, DELAWARE**

Revisions:

2020-02-21:	CLIENT
	DELDOT
	SCD
	SCE
	TUI
	TUI
2020-05-15	DHSS
	SCD
	SCE
2020-06-08	SCE
2020-06-15	TUI
	SCE
2020-07-29	TUI
2020-09-11	BUFFER REV.

Date: JULY, 2019  
Scale: 1" = 50'  
Dwn. By: BJM  
Proj. No.: 2261H004  
Dwg. No.:

**L-112**

*Michael R. Wigley, AIA, LEED AP  
W. Zachary Crouch, P.E.  
Michael E. Wheedleton, AIA  
Jason P. Loar, P.E.  
Ring W. Lardner, P.E.  
Jamie L. Sechler, P.E.*

September 14, 2020

Sussex County Planning and Zoning  
2 The Circle  
Georgetown, DE 19947

Attn: Lauren DeVore  
Planner III

RE: **Welches Pond (fka Fieldstone)**  
Subdivision Buffer Waiver  
Tax Map No.: 3-34-12.00-16.00  
DBF #: 2261H004

Dear Ms. DeVore:

On behalf of our client, JLAM, LLC, we are requesting a waiver from the required Subdivision buffer (20') on the eastern property line separating the Subdivision from the Residual Land where there are ponds that act as a buffer. A large pond behind lots 84-95 will separate most of the homes from the residual lands and will act as a buffer. A buffer remains behind lot 83. The purpose of this request is formally seeking a buffer waiver that was intended to be requested during the preliminary plan stage. Included with this request are the following:

- One (1) set of revised Landscape Plans, sheets: L-101, L-104, L-108, & L-112
- PDF set of revised Landscape plans (via email)

If you have any questions or require additional information, please do not hesitate to contact me at (302) 424-1441 or via email at [cdm@dbfinc.com](mailto:cdm@dbfinc.com).

Sincerely,  
*DAVIS, BOWEN & FRIEDEL, INC.*



Cliff Mumford, P.E.  
Associate

P:\JG Townsend\2261J007 Fieldstone\Documents\SC P&Z\2020-08-14 Buffer Waiver\Cover Letter.docx

cc: Nick Hammonds, JLAM, LLC

**SITE DATA**

TAX MAP 2-31-11 PARCEL 191.01  
 EXISTING ZONING: R-1 RESIDENTIAL  
 PROPOSED USE: RESIDENTIAL SUBDIVISION  
 PROPOSED SEWER: INDIVIDUAL ON-SITE  
 PROPOSED WATER: INDIVIDUAL ON-SITE

TOTAL NUMBER OF LOTS = 25  
 TOTAL AREA OF LOTS = 18.83 ACRES  
 TOTAL AREA OF STREETS = 8.18 ACRES  
 TOTAL AREA OF OPEN SPACE = 0.49 ACRES  
 TOTAL SITE AREA = 27.50 ACRES  
 DENSITY = 1.151 UNITS/ACRE

MAX. LOT SIZE = 24,415 SF  
 MIN. LOT SIZE = 21,765 SF  
 AVE. LOT SIZE = 23,360 SF

MINIMUM LOT SIZE ALLOWED: 0.50 AC (21,760 SF)  
 MINIMUM ROAD FRONTAGE: 100'  
 MINIMUM LOT WIDTH: 100'  
 FRONT YARD SETBACK: 30'  
 SIDE YARD SETBACK: 15'  
 MAXIMUM BUILDING HEIGHT: 42'

SITE IS NOT IMPACTED BY 100-YR FLOOD PLAIN  
 (PER FEMA FLOOD MAP #1900004037,  
 DATED 5/16/1995)

VERTICAL DATUM: NAVD 1989

OWNER/DEVELOPER:  
 DAGSBORO TRACE, L.L.C.  
 P.O. BOX 429  
 BEAUFORT BEACH, DE 19930  
 402-381-1932

**LEGEND**

- SUBDIVISION BOUNDARY
- RIGHT OF WAY LINE
- PROPERTY LINE
- BUILDING RESTRICTION LINE
- EXISTING CONTOUR LINE
- EASEMENT LINE
- WOODS LINE
- LOT DESIGNATION
- FOUND CONCRETE MONUMENT
- SET CONCRETE MONUMENT

**GENERAL NOTES**

- 1) ALL TREE LOTS, EXISTING, STAMPEDE AND SPREADER CONSTRUCTION SHALL BE MAINTAINED IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. BUILDING CONNECTIONS TO BE MAINTAINED AND WOOD.
- 2) THE SUSSEX COUNTY DISTRICT PRESENTS THE RIGHT TO ADD, REMOVE OR DELETE ANY LOT OR BUILDING CONSTRUCTION AS THEY DEEM NECESSARY.
- 3) ALL EXISTING UTILITIES AND IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND ANY APPLICABLE STATE AND FEDERAL REGULATIONS.
- 4) ALL DISTURBED AREAS WITHIN THE STATE RIGHT-OF-WAY, BUT NOT IN PAYMENTS, SHALL BE REVEGETATED (W/ SOYBEANS), FERTILIZED AND SEEDED.
- 5) A 72 HOUR (MINIMUM) NOTICE SHALL BE GIVEN TO THE DISTRICT PERMIT SUPERVISOR PRIOR TO BEGAINING CONSTRUCTION.
- 6) WORK SHALL BE MOVED DURING (1) CONSECUTIVE WORKING DAYS PRIOR TO BEGAINING CONSTRUCTION.
- 7) ALL WORK FOR MAINTENANCE OF TRAFFIC IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL FOLLOW THE GUIDELINES SHOWN BY DELAWARE ROAD TRAFFIC CONTROL'S (PART 1) EDITION.
- 8) ALL TRAFFIC CONTROL DEVICES SHALL BE IN NEW OR RECONDITIONED CONDITION, SHALL COMPLY WITH THE TRAFFIC CONTROL MANUAL, SHALL BE INSP-300 APPROVED, AND SHALL BE APPROVED BY THE DISTRICT PRIOR TO INSTALLATION. TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED IN GOOD CONDITION FOR DURATION OF USE.
- 9) DESIGN, FABRICATION AND INSTALLATION OF ALL PERMANENT SIGNALING SHALL BE AS OUTLINED IN THE "GUIDE FOR FABRICATION AND INSTALLATION OF TRAFFIC CONTROL SIGNALS" (PART 1) EDITION.
- 10) ALL SUBDIVISION STREETS ARE PRIVATE STREETS, AND SHALL BE MAINTAINED IN PERPETUITY BY THE HOMEOWNERS ASSOCIATION.
- 11) FOR SMALL PERMANENT PAVEMENT MAINTENANCE, STREETS SHALL BE MAINTAINED FOR LONG TERM STRENGTH, AND THEREAS WILL BE REQUIRED FOR SHORT TERM STRENGTH, I.E. SHOULDER/PAVEMENT.
- 12) ALL STEEL USED IN GUTTER BASKETS SHALL BE 304 SS.
- 13) ALL ENTRANCES SHALL CONFORM TO THE STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION AND SHALL BE SUBJECT TO ITS APPROVAL.
- 14) ALL LOTS SHALL HAVE ACCESS FROM INTERNAL SUBDIVISION STREETS ONLY. LOT 1 WILL NOT BE PERMITTED DIRECT ACCESS TO ROUTE 26.
- 15) THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES. IT CAN BE RECLASSIFIED TO A RESIDENTIAL ZONE AND OTHER ZONES, THE USE OF AGRICULTURAL, FORESTRY, AND WOODLAND PRESERVATION, AND WOODLAND PRESERVATION.
- 16) NO BUILDING PERMIT WILL BE ISSUED UNLESS EITHER ALL REQUIRED APPROVALS HAVE BEEN OBTAINED, OR PLANS FOR THE LOT FOR WHICH THE BUILDING PERMIT IS TO BE ISSUED IS A SHARED ACCESSIBLE TO THE COUNTY AND STATE OF DELAWARE, THE DEVELOPER OR A PROFESSIONAL ENGINEER OR ARCHITECT WITH THE COUNTY FOR ANY UNAPPROPRIATE USE OF PRIVATE STREET OR OTHER ADJACENT IMPROVEMENTS.
- 17) THIS SITE LIES WITHIN ZONE 3, WHICH IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN AS PER FEMA MAP 1900004037, DATED, JUNE 16, 1994.
- 18) AFTER THE CREATION OF THE HOMEOWNERS ASSOCIATION, ALL OPEN SPACE, INCLUDING THE STORMWATER MANAGEMENT AREA, THE MULTI-USE PATH AND PROPOSED SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. THE DEVELOPER SHALL MAINTAIN THESE AREAS UNTIL THE HOMEOWNERS ASSOCIATION IS ESTABLISHED. MAINTENANCE OF THE MULTI-USE PATH AND SERVICES SHALL NOT BE THE RESPONSIBILITY OF DELAWARE.
- 19) TOPOGRAPHIC SURVEY PERFORMED JANUARY 2004 BY DAVIS, BOWEN & FRIEDEL, INC. VERTICAL DATUM IS NAVD 1989.
- 20) ALL LOTS SHALL HAVE ONLY ONE ACCESS POINT TO SERVE THE ENTIRE PARCEL.
- 21) A 10' (10) FOOT STRIP IN MEMORY RESERVED AS AN EASEMENT FOR DAMAGE AND TRAFFIC ALONG ALL FRONT LOT LINES AND ALL SIDE LOT LINES BOUNDING ON A STREET RIGHT-OF-WAY.
- 22) THE SITE IS NOT IMPACTED BY STATE OR FEDERAL WETLANDS.
- 23) PARKING SHALL BE PROVIDED IN ALL O.A.-C.S.A.C.S.

**WETLANDS CERTIFICATION**

I, LAF P. ERICKSON, HEREBY STATE THAT THIS SITE DOES NOT CONTAIN ANY FEDERALLY REGULATED OR STATE REGULATED WETLANDS, AS DETERMINED BY ATLANTIC RESOURCE MANAGEMENT, INC. AND VERIFIED BY THE NATURAL RESOURCES CONSERVATION SERVICE.

SIGNATURE: *L.P. Erickson* DATE: 10/15/07

LAF P. ERICKSON  
 ATLANTIC RESOURCE MANAGEMENT, INC.  
 P.O. BOX 429  
 OCEAN VIEW, DE 19970

**OWNER CERTIFICATION**

WE, DAGSBORO TRACE, L.L.C., HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY DESCRIBED ON THIS PLAN, THAT THE PLAN WAS MADE OUR DESIGN, AND THAT WE ACKNOWLEDGE THE STATE OF DELAWARE HAS BEEN ADVISED OF THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE: *Patrick Montague* DATE: 10/15/07

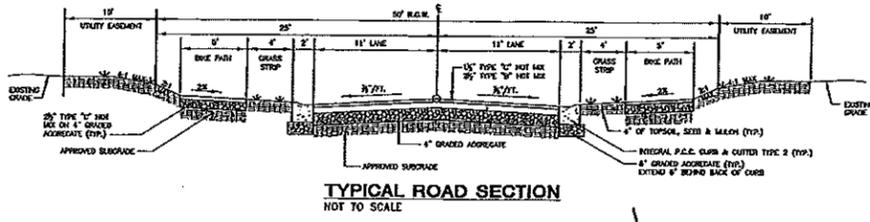
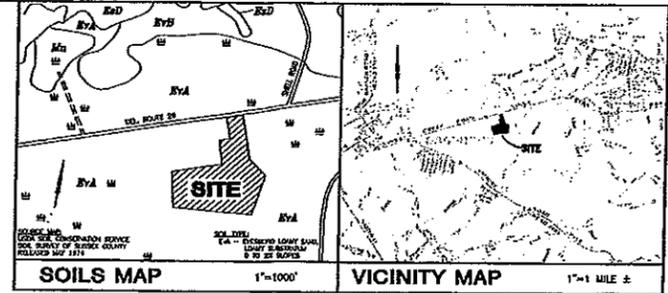
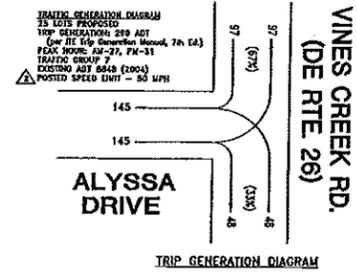
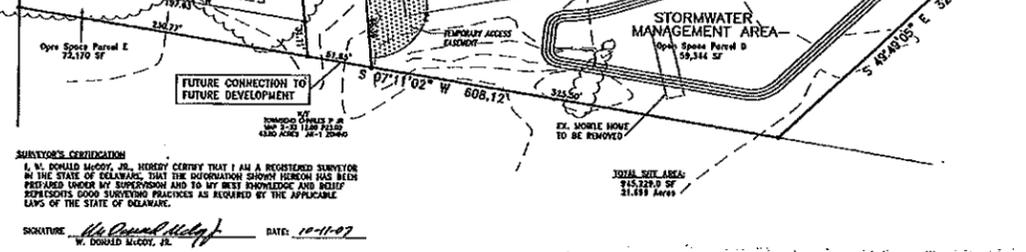
PATRICK MONTAGUE, LEGAL

**SURVEYOR CERTIFICATION**

I, W. DOUGLAS MCCOY, JR., HEREBY CERTIFY THAT I AM A REGISTERED SURVEYOR IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

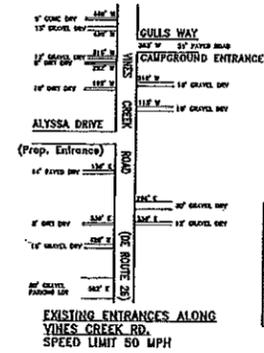
SIGNATURE: *W. Douglas McCoy, Jr.* DATE: 10-11-07

W. DOUGLAS MCCOY, JR.



**CURVE DATA**

CURVE	MARK	ASC	CHORD	CHORD BEARING	DELTA
C1	13.000	29.27	13.53	S 87°17'11" E	97.0000
C2	13.000	21.24	13.53	S 26°02'49" W	33.1931
C3	13.000	21.24	13.53	N 63°57'11" E	97.0000
C4	13.000	18.15	11.43	N 77°19'11" E	61.4819
C5	20.000	20.00	20.00	N 90°00'00" E	90.0000
C6	20.000	20.00	20.00	S 90°00'00" W	90.0000
C7	20.000	20.00	20.00	N 90°00'00" E	90.0000
C8	20.000	20.00	20.00	S 90°00'00" W	90.0000
C9	20.000	20.00	20.00	N 90°00'00" E	90.0000
C10	20.000	20.00	20.00	S 90°00'00" W	90.0000
C11	20.000	20.00	20.00	N 90°00'00" E	90.0000
C12	20.000	20.00	20.00	S 90°00'00" W	90.0000
C13	11.000	11.00	11.00	N 90°00'00" E	90.0000
C14	11.000	20.00	20.00	S 90°00'00" W	90.0000
C15	11.000	11.00	11.00	N 90°00'00" E	90.0000
C16	11.000	11.00	11.00	S 90°00'00" W	90.0000
C17	11.000	11.00	11.00	N 90°00'00" E	90.0000
C18	11.000	11.00	11.00	S 90°00'00" W	90.0000
C19	11.000	11.00	11.00	N 90°00'00" E	90.0000
C20	11.000	11.00	11.00	S 90°00'00" W	90.0000
C21	11.000	11.00	11.00	N 90°00'00" E	90.0000
C22	11.000	11.00	11.00	S 90°00'00" W	90.0000
C23	11.000	11.00	11.00	N 90°00'00" E	90.0000
C24	11.000	11.00	11.00	S 90°00'00" W	90.0000
C25	11.000	11.00	11.00	N 90°00'00" E	90.0000
C26	11.000	11.00	11.00	S 90°00'00" W	90.0000
C27	11.000	11.00	11.00	N 90°00'00" E	90.0000
C28	11.000	11.00	11.00	S 90°00'00" W	90.0000
C29	11.000	11.00	11.00	N 90°00'00" E	90.0000
C30	11.000	11.00	11.00	S 90°00'00" W	90.0000



**APPROVED BY:**  
*Lawrence B. Powell, Legat* 12-3-07  
 CHAIRMAN OF THE COMMISSION DATE  
*Indira B. Singh, v.p.* 11/27/07  
 PRESIDENT, SUSSEX COUNTY COUNCIL DATE

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117-151

**DAVIS, BOWEN & FRIEDEL, INC.**

ARCHITECTS ENGINEERS SURVEYORS  
 1000 MARKET AVENUE, SUITE 100  
 WILMINGTON, DELAWARE 19801-3000  
 (302) 426-1000 FAX (302) 426-1001

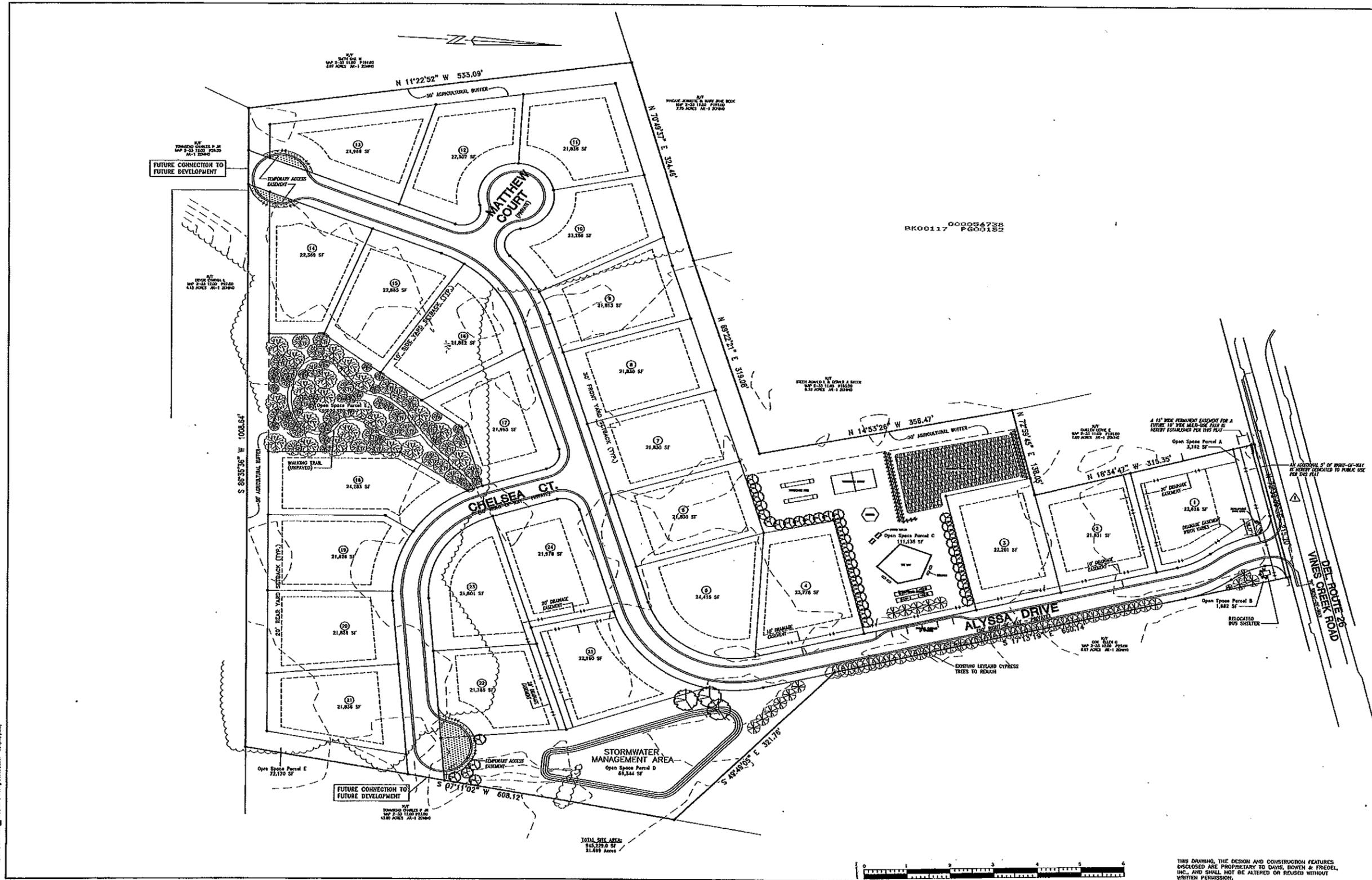
**SUBDIVISION PLAN**

**DAGSBORO TRACE**  
**DAGSBORO HUNDRED**  
**SUSSEX COUNTY, DELAWARE**

Revisions:  
 1. 03D COMMENTS 10-08-04  
 2. 03D COMMENTS 03-18-07

Date: MARCH, 2005  
 Scale: 1"=60'  
 Drawn By: WDM  
 Proj. No.: 1271A001  
 Draw. No.: 1 OF 2

648



**DAGSBORO TRACE**  
**DAGSBORO HUNDRED**  
**SUSSEX COUNTY, DELAWARE**

**DAVIS BOWEN & FRIEDEL, INC.**  
 ARCHITECTS ENGINEERS SURVEYORS  
 SALESURF, WARRAND (410) 243-0091  
 HUNTERS, DELMAR (302) 424-1441

SITE DETAILS - OPEN SPACE AREAS

Date: MARCH, 2005  
 Scale: 1"=80'  
 Drawn By: WDM  
 Proj. No.: 1271A001  
 Draw. No.: 2 OF 2

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**GENERAL NOTES:**

- 1) CLASS "B", SUBURBAN SURVEY
- 2) SOURCE OF TITLE: DEED BOOK 1990, PAGE 258
- 3) THIS BOUNDARY SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMPLETE TITLE REPORT AND IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS AND/OR RIGHTS OF WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH
- 4) THIS PROPERTY FALLS WITHIN THE LIMITS OF ZONE "X" AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP 10005C0260 K, EFFECTIVE DATE 3/16/2015
- 5) AS PER THE NATIONAL WETLANDS INVENTORY MAPS AVAILABLE ONLINE, THIS PROPERTY IS NOT IMPACTED BY WETLANDS
- 6) SETBACKS:  
 FRONT: 30' OFF OF EASEMENT  
 SIDE: 15'  
 REAR: 20'
- 7) SEE MINUTES OF THE PLANNING AND ZONING COMMISSION FROM OCTOBER 10, 2019 FOR PRELIMINARY APPROVAL

**DATA COLUMN:**

- 1) OWNER: CHERYL B. RUSSELL  
 14210 RUSSELL ROAD  
 BRIDGEVILLE, DE 19933
- 2) TAX MAP NO. 4-30-21.00, PARCEL 7.01
- 3) OTHER THAN SHOWN HEREON, THIS SURVEY PLOT DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHTS-OF-WAY OR EASEMENTS ON THIS PROPERTY. NO TITLE SEARCH WAS REQUESTED OR PERFORMED.
- 4) TOTAL NUMBER OF LOTS: 2
- 5) TOTAL FRONTAGE: 208.71'
- 6) GROSS ACREAGE: 10.000 ACRES± (TOTAL)
- 7) RESIDUAL AREA: 6.408± ACRES
- 8) ZONING: AR 1
- 9) PRESENT USE: AGRICULTURAL/RESIDENTIAL
- 10) PROPOSED USE: AGRICULTURAL/RESIDENTIAL
- 11) WATER: ON SITE WELL
- 12) SEPTIC: ON SITE SEPTIC
- 13) POSTED SPEED LIMIT: 50 MPH
- 14) THIS PROPERTY DOES NOT FALL WITHIN A TRANSPORTATION IMPROVEMENT DISTRICT

**DELDOT NOTES:**

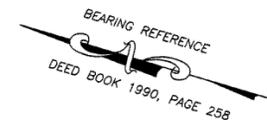
- 1) ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- 2) SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- 3) IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
- 4) LOT 2 & LOT 3 SHALL HAVE ACCESS TO SCR 592 VIA THE 50' WIDE INGRESS/EGRESS EASEMENT AS SHOWN HEREON.
- 5) REVISED PARCEL "A" SHALL USE EXISTING ACCESS TO SCR 592.

**AGRICULTURE USE PROTECTIONS:**

- 1) THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES
- 2) NO IMPROVEMENT REQUIRING OCCUPANCY APPROVAL FOR A RESIDENTIAL TYPE USE SHALL BE CONSTRUCTED WITHIN 50 FEET OF THE BOUNDARY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES.

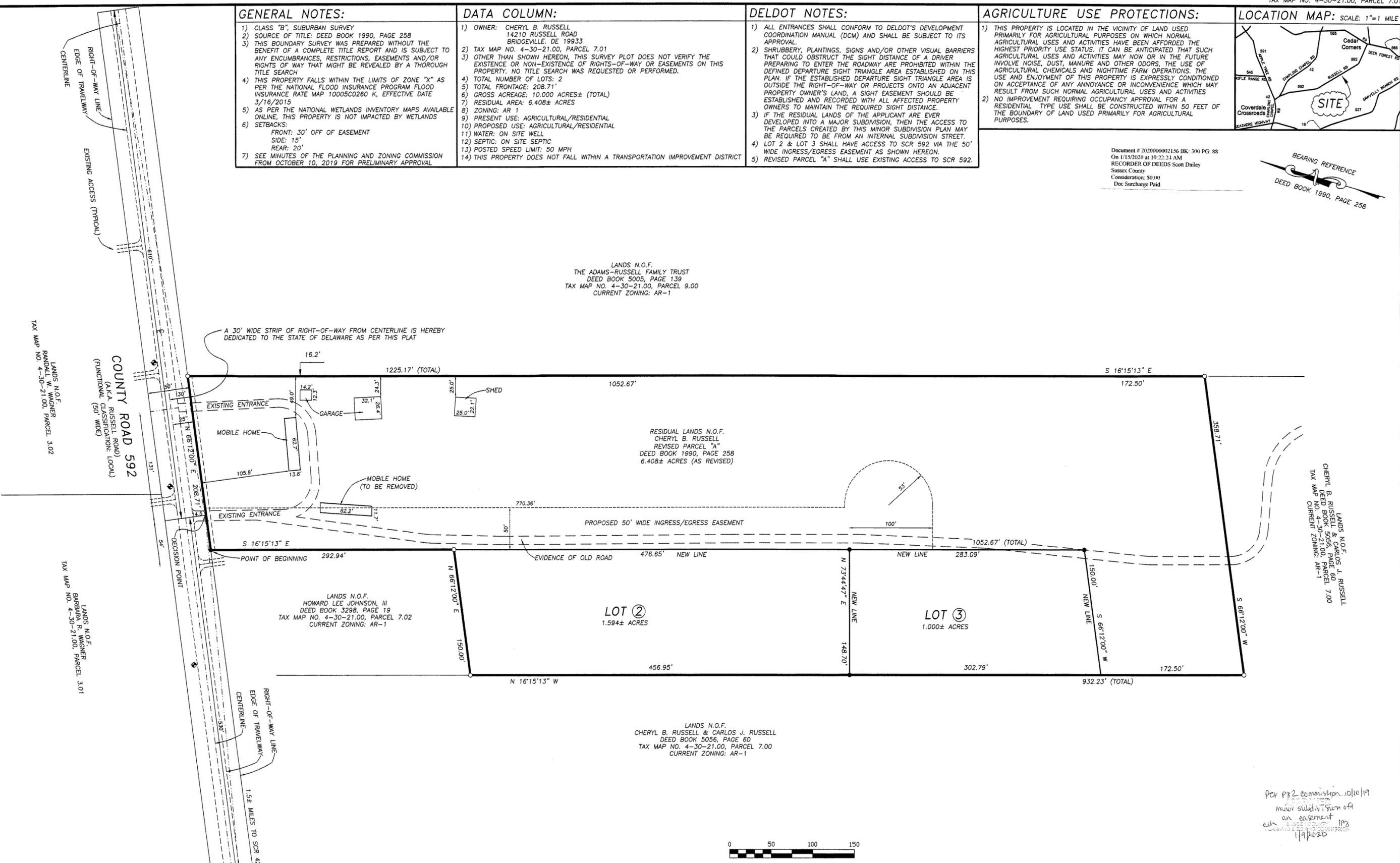


Document # 202000002156 BK: 300 PG: 88  
 On 1/15/2020 at 10:22:24 AM  
 RECORDER OF DEEDS Scott Dailey  
 Sussex County  
 Consideration: \$0.00  
 Doc Surcharge Paid



LANDS N.O.F.  
 THE ADAMS-RUSSELL FAMILY TRUST  
 DEED BOOK 5005, PAGE 139  
 TAX MAP NO. 4-30-21.00, PARCEL 9.00  
 CURRENT ZONING: AR-1

A 30' WIDE STRIP OF RIGHT-OF-WAY FROM CENTERLINE IS HEREBY DEDICATED TO THE STATE OF DELAWARE AS PER THIS PLAT



**FIRE MARSHAL NOTES:**

- 1) MAXIMUM BUILDING HEIGHT: 42' (PER ZONING CODE)
- 2) ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.

**OWNER'S CERTIFICATION:**

I, CHERYL B. RUSSELL, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND THAT I DESIRE THE PLAN TO BE RECORDED ACCORDING TO THE LAW.

*Cheryl B. Russell*  
 CHERYL B. RUSSELL  
 DATE: 12-23-2019

**SURVEYOR'S STATEMENT:**

I, R.B. KEMP, III, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

*R.B. Kemp, III*  
 R.B. KEMP, III, PLS, 541

**LEGEND:**

- FOUND IRON PIPE
- SET IRON BAR
- ◆ UTILITY POLE
- PROPOSED PROPERTY LINE
- - - EXISTING PROPERTY LINE
- · - · - CENTERLINE ROAD
- · - · - DEDICATION LINE
- · - · - SIGHT TRIANGLE

PREPARED BY  
 ADAMS-KEMP ASSOCIATES, INC.  
 PROFESSIONAL LAND SURVEYORS  
 AND PLANNERS  
 217 SOUTH RACE STREET  
 GEORGETOWN, DELAWARE 19947  
 WWW.ADAMSKEMP.COM

**SUBDIVISION SURVEY PLAN**

PREPARED FOR  
**CHERYL B. RUSSELL**  
 (A.K.A. CHERYL R. PROCTOR)

SITUATED IN  
 NANTICOKE HUNDRED, SUSSEX COUNTY, STATE OF DELAWARE  
 AREA: 9.002 ACRES± (TOTAL)  
 SCALE: 1" = 50'  
 DATE: OCTOBER 28, 2019; REVISED: DECEMBER 11, 2019

Per P32 Commission 10/10/19  
 minor subdivision off  
 an easement  
 with 100' easement  
 1/19/20



Planning and Zoning Commission  
PO Box 417  
Georgetown, DE 19947

To whom it may concern,

I own LOTS 8 THRU 17 in the Dagsboro Trace community near Dagsboro, Delaware. The original site plan for Dagsboro Trace includes an asphalt sidewalk.

I support installing the sidewalk as per the original site plan.

I do not support installing the sidewalk. Please consider an amended site plan that excludes the sidewalk.

Thank you for your consideration,

PR BUILDERS WC  


April 11, 2020

Planning and Zoning Commission  
PO Box 417  
Georgetown, DE 19947

RECEIVED

APR 22 2020

SUSSEX COUNTY  
PLANNING & ZONING

To whom it may concern,

I own a home located at 31919 Chelsea Court in the Dagsboro Trace community near Dagsboro, Delaware. The original site plan for Dagsboro Trace includes an asphalt sidewalk.

I support installing the sidewalk as per the original site plan.

I do not support installing the sidewalk. Please consider an amended site plan that excludes the sidewalk.

Thank you for your consideration,

Richard & Diane Bilski

*Richard Bilski*  
*Diane Bilski*

April 11, 2020

Planning and Zoning Commission  
PO Box 417  
Georgetown, DE 19947

RECEIVED

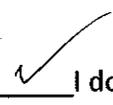
JUL 15 2020

SUSSEX COUNTY  
PLANNING & ZONING

To whom it may concern,

I own a home located at 30784 Alyssa Drive in the Dagsboro Trace community near Dagsboro, Delaware. The original site plan for Dagsboro Trace includes an asphalt sidewalk.

       I support installing the sidewalk as per the original site plan.

        I do not support installing the sidewalk. Please consider an amended site plan that excludes the sidewalk.

Thank you for your consideration,

Royce Alexander & Nicole Hatcher

RECEIVED

MAY 11 2020

SUSSEX COUNTY  
PLANNING & ZONING

April 11, 2020

Planning and Zoning Commission  
PO Box 417  
Georgetown, DE 19947

To whom it may concern,

I own a home located at 30787 Alyssa Drive in the Dagsboro Trace community near Dagsboro, Delaware. The original site plan for Dagsboro Trace includes an asphalt sidewalk.

I support installing the sidewalk as per the original site plan.

I do not support installing the sidewalk. Please consider an amended site plan that excludes the sidewalk.

Thank you for your consideration,

Lori Ott

April 11, 2020

Planning and Zoning Commission  
PO Box 417  
Georgetown, DE 19947

To whom it may concern,

I own a home located at 31918 Chelsea Court in the Dagsboro Trace community near Dagsboro, Delaware. The original site plan for Dagsboro Trace includes an asphalt sidewalk.

       I support installing the sidewalk as per the original site plan.

  ✓   I do not support installing the sidewalk. Please consider an amended site plan that excludes the sidewalk.

Thank you for your consideration,

James & Deborah Costello

RECEIVED  
APR 17 2020  
SUSSEX COUNTY  
PLANNING & ZONING

April 11, 2020

Planning and Zoning Commission  
PO Box 417  
Georgetown, DE 19947

To whom it may concern,

I own a home in the Dagsboro Trace community near Dagsboro, Delaware. The original site plan for Dagsboro Trace includes an asphalt sidewalk.

I support installing the sidewalk as per the original site plan.

I do not support installing the sidewalk. Please consider an amended site plan that excludes the sidewalk.

Thank you for your consideration,

Danny & Susan Goldsmith

*Susan Goldsmith*  
*Danny Goldsmith*

RECEIVED

APR 17 2020

SUSSEX COUNTY  
PLANNING & ZONING

April 11, 2020

Planning and Zoning Commission  
PO Box 417  
Georgetown, DE 19947

RECEIVED

APR 22 2020  
SUSSEX COUNTY  
PLANNING & ZONING

To whom it may concern,

I own a home located at 30772 Alyssa Drive in the Dagsboro Trace community near Dagsboro, Delaware. The original site plan for Dagsboro Trace includes an asphalt sidewalk.

I support installing the sidewalk as per the original site plan.

I do not support installing the sidewalk. Please consider an amended site plan that excludes the sidewalk.

Thank you for your consideration,

Karen Carroll & Shirley Taylor

## Jennifer Norwood

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**From:** PR Builders Inc BUILDERS INC <sandl50@comcast.net>  
**Sent:** Monday, August 31, 2020 2:59 PM  
**To:** Jennifer Norwood  
**Subject:** Re: Dagsboro Trace  
**Attachments:** 200831143021.pdf

In addition to the residences not wanting the bike path there are transformers and street lights in the way.

On 08/31/2020 2:25 PM PR Builders Inc BUILDERS INC <sandl50@comcast.net> wrote:

Will this work?

On 08/27/2020 2:13 PM Jennifer Norwood <jnorwood@sussexcountyde.gov> wrote:

Bart,

I have attached copies of the letters we have received requesting to no install the asphalt sidewalk.

Jenny

*Jennifer Norwood*

Planner 1

Planning & Zoning Dept.

Sussex County Government

PO Box 417

2 The Circle

Georgetown, DE 19947

302-858-5501

[jnorwood@sussexcountyde.gov](mailto:jnorwood@sussexcountyde.gov)

October 30, 2020

To whom it may concern,

We are formally requesting a modification of the original site plan for Dagsboro Trace eliminating the sidewalk.

Dagsboro Trace subdivision was originally developed by Dagsboro Trace, LLC. We were not involved with Dagsboro Trace, LLC. Dagsboro Trace, LLC contracted with Paul's Paving to install the DELDOT entrance and infrastructure elements in the first two (2) phases of infrastructure in the community with The Wayland Company providing construction management services on behalf of Dagsboro Trace, LLC.

We acquired individual building lots from Dagsboro Trace, LLC, at fair market values and built many of the single-family homes in the community.

At some point in approximately 2016-2017, Dagsboro Trace, LLC defaulted on the loan and M&T Bank took possession of the property. During this time, the homeowner's association dissolved and the community foundered. During the time M&T foreclosed on the property, the roads were not complete, the sidewalks were not installed, the landscaping was not complete, nor were the amenities installed.

In December 2019, we acquired the remaining ten (10) building lots in the Dagsboro Trace, and in doing so, took responsibility for completing the development. As such, we have provided letters of credit as required by Sussex County Planning and Zoning Commission. Our obligations include installing phase three (3) of the infrastructure as well as installing the final roadway surface in all three phases, installing amenities, installing landscaping, and installing a sidewalk.

As work has begun on phase three (3), we have been contacted by many of the homeowners expressing their opinion that they do not want the sidewalk. We believe that you have received numerous letters from the Dagsboro Trace homeowners requesting the elimination of the sidewalk. Further, it appears that some of the original utilities were installed in the area designated for the sidewalks. We hereby request a modification of the original site plan to eliminate the sidewalk.

Thank you for your consideration,

Bart Phillips  
PR Builders, Inc.

TAX MAP AND PARCEL #: 4-30 21.00  
7.01 p/o  
PREPARED BY & RETURN TO:  
Haller & Hudson  
101 S. Bedford St.  
P.O. Box 533  
Georgetown, DE 19947  
File No. HWH-1502/

**NO LIEN OR TITLE SEARCH PREPARED OR REQUESTED**

**THIS DEED**, made this 27 day of May, 2020,

- BETWEEN -

**CHERYL B. RUSSELL**, of 14210 Russell Road, Bridgeville, DE 19933, party of the first part,

- AND -

**DAVID WAYNE MILLMAN** and **JORDYN TAYLOR MILLMAN**, of 25834 Charles Scott Lane, Milton, DE 19968, as tenants by the entirety unto the survivor of them, his or her heirs and assigns, parties of the second part.

**WITNESSETH:** That the said party of the first part, for and in consideration of the sum of **One and 00/100 Dollar (\$1.00)**, lawful money of the United States of America, and other good and valuable consideration, the receipt whereof is hereby acknowledged, hereby grants and conveys unto the parties of the second part, and their heirs and assigns, in fee simple, the following described lands, situate, lying and being in Sussex County, State of Delaware:

ALL that certain lot, piece and parcel of land, lying and being situated in Nanticoke Hundred, Sussex County, State of Delaware, being designated as Lot 3, "Subdivision Survey Plan Prepared for Cheryl B. Russell", prepared by Adams-Kemp Associates, Inc., Professional Land Surveyors as per survey plan no. 040336-D, dated October 28, 2019 and revised December 11, 2019 and recorded in Plot Book 300, Page 88 in the Office of the Recorder of Deeds in and for Sussex County in the County Administration Building in Georgetown, Delaware, more particularly described as follows to wit:

BEGINNING at a set iron bar along Parcel "A", said set iron bar being located the following two (2) courses and distances from the intersection of County Road 42 and County Road 592.

1. Along County Road 592 in an Easterly direction 1.5 miles more or less;
2. Along the line of Parcel "A", South 16° 15' 13" East 769.59 feet;

Thence along Parcel "A" the following two (2) courses and distances:

1. South 16° 15' 13" East a distance of 283.09 feet to a set iron bar;
2. South 66° 12' 00" West a distance of 150.00 feet to a set iron bar along the line of lands now or formerly of Cheryl B. Russell and Carlos J. Russell;

Thence along the line of lands now or formerly of Cheryl B. Russell and Carlos J. Russell, North 16° 15' 13" West a distance of 302.79 feet to a set iron bar at a corner of this lot and lot 2; thence along lot 2, North 73° 44' 47" East a distance of 148.70 feet to the point of beginning.

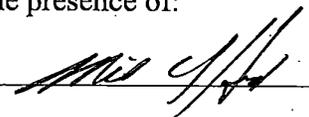
Containing within described metes and bounds 1.000 acres of land be the same more or less.

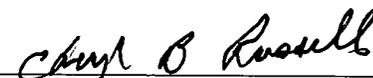
BEING part of the same lands conveyed unto Cheryl R. Proctor (also known as Cheryl B. Russell) by Deed of Clifford C. Russell and Edna Russell, dated June 30, 1994 and of record in the Office of the Recorder of Deeds in and for Sussex County, State of Delaware in Deed Book 1990 Page 258.

**SUBJECT** to any and all restrictions, reservations, conditions, easements and agreements of record in the Office of the Recorder of Deeds in and for Sussex County, Delaware.

**IN WITNESS WHEREOF**, the party of the first part has hereunto set her hand and seal the day and year first above written.

Signed, Sealed and Delivered  
in the presence of:

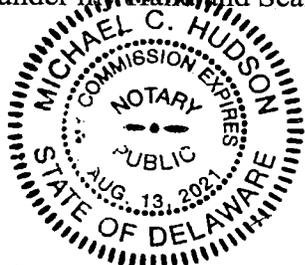
  
\_\_\_\_\_

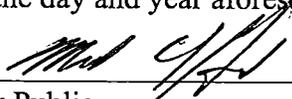
  
\_\_\_\_\_ (SEAL)  
Cheryl B. Russell

STATE OF DELAWARE, COUNTY OF SUSSEX: to-wit

**BE IT REMEMBERED**, that on May 27, 2020 personally came before me, the subscriber, Cheryl B. Russell, party of the first part to this Indenture, known to me personally to be such, and acknowledged this Indenture to be her act and deed.

GIVEN under my hand and Seal of Office the day and year aforesaid.



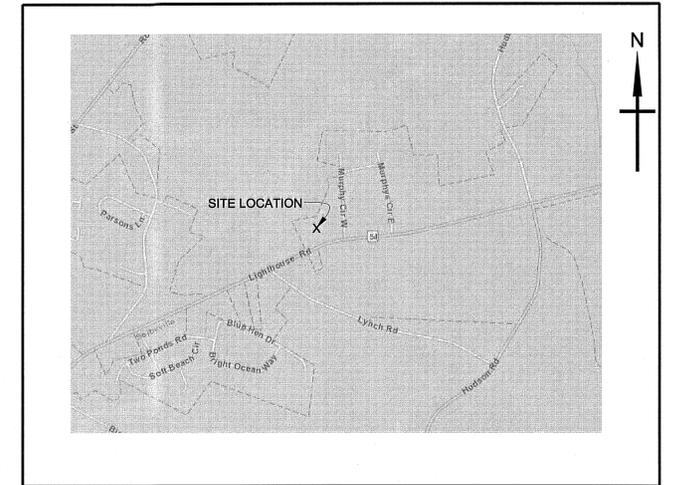
  
\_\_\_\_\_  
Notary Public  
My Commission Expires: 8/13/21

# LIGHTHOUSE ANNEX

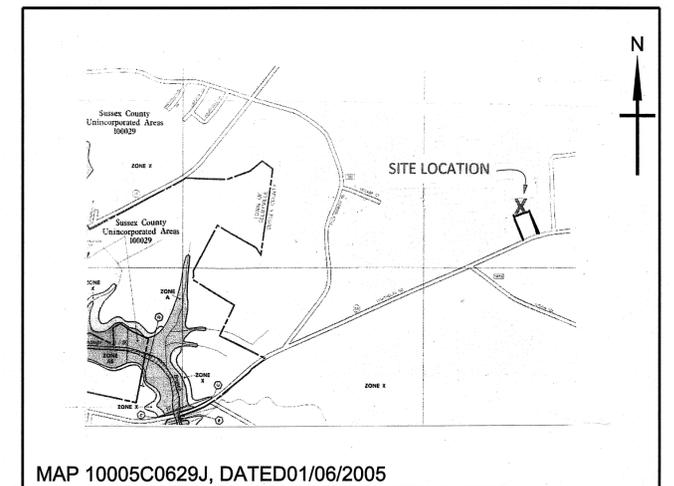
## SELF STORAGE AND OFFICE BUILDINGS

LIGHTHOUSE ROAD, SELBYVILLE, SUSSEX COUNTY, DELAWARE

TAX MAP 533-17.0-83.00



VICINITY MAP  
NOT TO SCALE



MAP 10005C0629J, DATED 01/06/2005

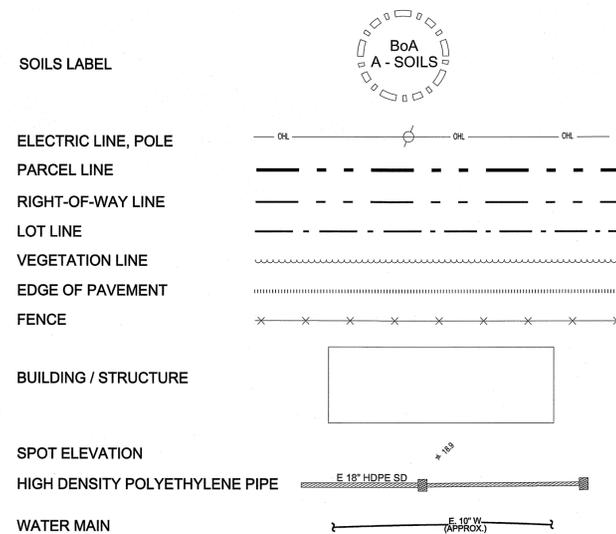
FIRM MAP  
NOT TO SCALE

**STANDARD SEDIMENT STORMWATER CONSTRUCTION NOTES:**

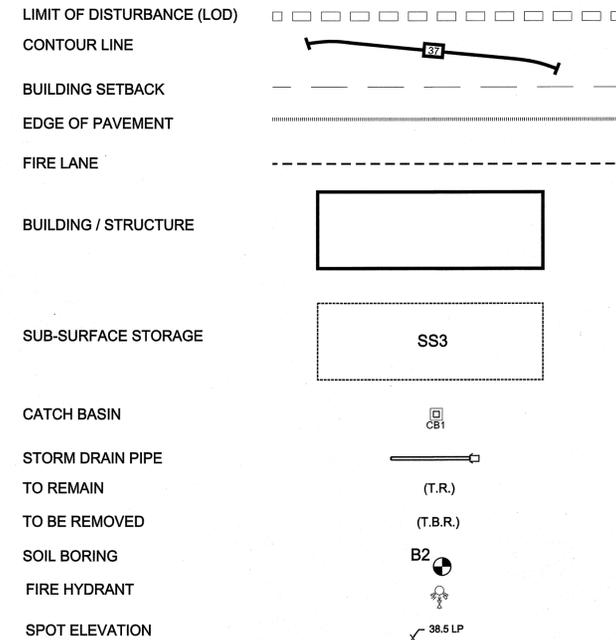
- A) THE DNREC SEDIMENT AND STORMWATER PROGRAM MUST BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- B) REVIEW AND OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- C) IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY DNREC OR THE DELEGATED AGENCY.
- D) FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER SEDIMENT CONTROLS, SOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
- E) ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- F) AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PERIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT DISCHARGE, AND A DEWATERING PERMIT SHALL BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
- G) APPROVED PLANS REMAIN VALID FOR 3 YEARS FROM THE DATE OF APPROVAL.
- H) POST CONSTRUCTION VERIFICATION DOCUMENTS ARE TO BE SUBMITTED TO THE DNREC SEDIMENT AND STORMWATER PROGRAM [OR, THE RELEVANT DELEGATED AGENCY] WITHIN 60-DAYS OF STORMWATER MANAGEMENT FACILITY COMPLETION.
- I) APPROVAL OF A SEDIMENT AND STORMWATER MANAGEMENT PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
- J) THE NOTICE OF INTENT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER A NPDES GENERAL PERMIT FOR THIS PROJECT IS NOI5669 . AT ANY TIME THE OWNERSHIP FOR THIS PROJECT CHANGES, A TRANSFER OF AUTHORIZATION OR A CO-PERMITTEE APPLICATION MUST BE SUBMITTED TO DNREC. THE PERMITTEE OF RECORD SHALL NOT BE RELIEVED OF THEIR RESPONSIBILITIES UNTIL A NOTICE OF TERMINATION HAS BEEN PROCESSED BY DNREC.
- K) THE OWNER SHALL BE FAMILIAR WITH AND COMPLY WITH ALL ASPECTS OF THE NPDES CONSTRUCTION GENERAL PERMIT ASSOCIATED WITH THE PROJECT, INCLUDING, BUT NOT LIMITED TO, PERFORMING WEEKLY SITE INSPECTIONS DURING CONSTRUCTION AND AFTER RAIN EVENTS, AND MAINTAINING WRITTEN LOGS OF THESE INSPECTIONS.
- L) BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CALL MISS UTILITY AT 811 OR 1.800.282.8555 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, TO HAVE ALL EXISTING UTILITIES MARKED ONSITE.
- M) THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
- N) BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7. DEL. C. CH 60, REGULATIONS GOVERNING THE CONTROL OF WATER POLLUTION, SECTION 9.1.02, KNOWN AS SPECIAL CONDITIONS FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, AND DEPARTMENT POLICIES, PROCEDURES, AND GUIDANCE.
- O) DOCUMENTATION OF SOIL TESTING AND MATERIALS USED FOR TEMPORARY OR PERMANENT STABILIZATION INCLUDING BUT NOT LIMITED TO SOIL TEST RESULTS, SEED TAGS, SOIL AMENDMENT TAGS, ETC. SHALL BE PROVIDED TO THE DEPARTMENT OR DELEGATED AGENCY TO VERIFY THAT THE PERMANENT OR TEMPORARY STABILIZATION HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLAN. THE DEPARTMENT OR DELEGATED AGENCY MAY REQUIRE ADDITIONAL SOIL TESTING AND REAPPLICATION OF PERMANENT OR TEMPORARY STABILIZATION IN ACCORDANCE WITH SPECIFICATIONS PROVIDED IN THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, OR ALTERNATIVE MEASURES THAT PROVIDE FUNCTIONAL EQUIVALENCY.

**LEGEND:**

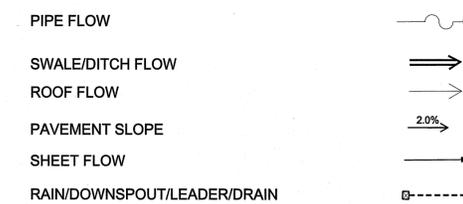
**EXISTING FEATURES**



**PROPOSED FEATURES**



**FLOW DIRECTION ARROWS**



**SITE DATA:**

**OWNER / APPLICANT / DEVELOPER**  
DOUGLAS AND TAMMARA CLARK  
32113 LIGHTHOUSE ROAD  
SELBYVILLE, DE 19975  
PHONE: (443) 497-0000

**SITE PLAN DESIGN:**

**J. W. SALM ENGINEERING, INC.**  
9842 MAIN STREET, SUITE 3, P.O. BOX 397  
BERLIN, MD 21811  
PHONE: 410-641-0126

**PARCEL DESCRIPTION:**

TAX MAP 533-17.00-83.00  
SUSSEX COUNTY, DELAWARE  
PROJECT AREA: 1.79 +/- AC.  
LAT./LONG.: 38.462913, -75.19002  
WATERSHED: ASSAWOMAN  
PRONG 10 BUNTING TAX DITCH

**ZONING:**

EXISTING ZONING: COMMERCIAL, C-1  
EXISTING USE: SELF STORAGE WITH  
800 S.F. OFFICE  
PROPOSED ZONING: COMMERCIAL, C-1  
PROPOSED USE: WAREHOUSE

**SETBACKS**

FRONT YARD: 60 FEET  
SIDE YARD: 5 FEET  
ABUTTING RESIDENTIAL: 20 FEET  
REAR YARD: 30 FEET

**BUILDING HEIGHT**

HEIGHT PERMITTED (MAX.): 42 FEET  
MAX. HEIGHT PROPOSED: 40 FEET

PROPOSED SITE AREA: 3.79/- ACRES  
LIMIT OF DISTURBANCE: 1.79 +/- ACRES

**BUILDING AREA**

TOTAL GROSS FLOOR AREA: 29,675 +/- S.F.  
EXISTING BUILDING A-G: 15,125 +/- S.F.  
BUILDING H: 14,550 +/- S.F.  
BUILDING J: 34,500 +/- S.F.

**\* PARKING:**

PER CODE SECTION 115-166 C, PARKING IS SHOWN IN THE FRONT YARD SETBACK AND IS SUBJECT TO SITE PLAN REVIEW AND A WAIVER IS REQUESTED

**REQUIRED**

600 S.F. OFFICE BUILDING C: 3 SPACES  
STORAGE: 2 SPACES  
TOTAL REQUIRED: 5 SPACES

**PROVIDED**

ADA SPACES: 2 SPACES IN FRONT OF BUILDING H  
REGULAR 9' X 18' SPACES: 40 SPACES  
TOTAL REQUIRED: 42 SPACES

**\*\* LOADING:**

PER CODE SECTION 115-167  
REQUIRED: 3 SPACES  
\*\* PROVIDED: 2 SPACES (14' X 40') \*\*

\*\* A WAIVER FOR A REDUCTION OF THE REQUIRED LOADING SPACES PROVIDED IS REQUESTED, IN ACCORDANCE WITH SECTION 115-168 C.

**WATER & SEWER:**

PUBLIC WATER & SEWER SERVICE SHALL BE PROVIDED BY THE TOWN OF SELBYVILLE, DE.

**OWNER/DEVELOPER:**  
**DOUG CLARK**  
32113 LIGHTHOUSE ROAD  
SELBYVILLE, DE 19975  
PHONE : 443.497.0000

**ENGINEER:**  
**J. W. SALM ENGINEERING, INC.**  
9842 MAIN STREET, SUITE 3  
BERLIN, MD 21811  
PHONE : 410.641.0126

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES.  
*JWS* 9/9/20  
DATE  
J.W. SALM ENGINEERING, INC. JOHN W. SALM, III, P.E.  
9842 MAIN STREET, SUITE 3  
BERLIN, MD 21811 410-641-0126

**DEVELOPER CERTIFICATION**  
I HEREBY CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION, AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN.  
DOUG CLARK  
32113 LIGHTHOUSE ROAD  
SELBYVILLE, DE 19975 (443) 497-0000  
DATE

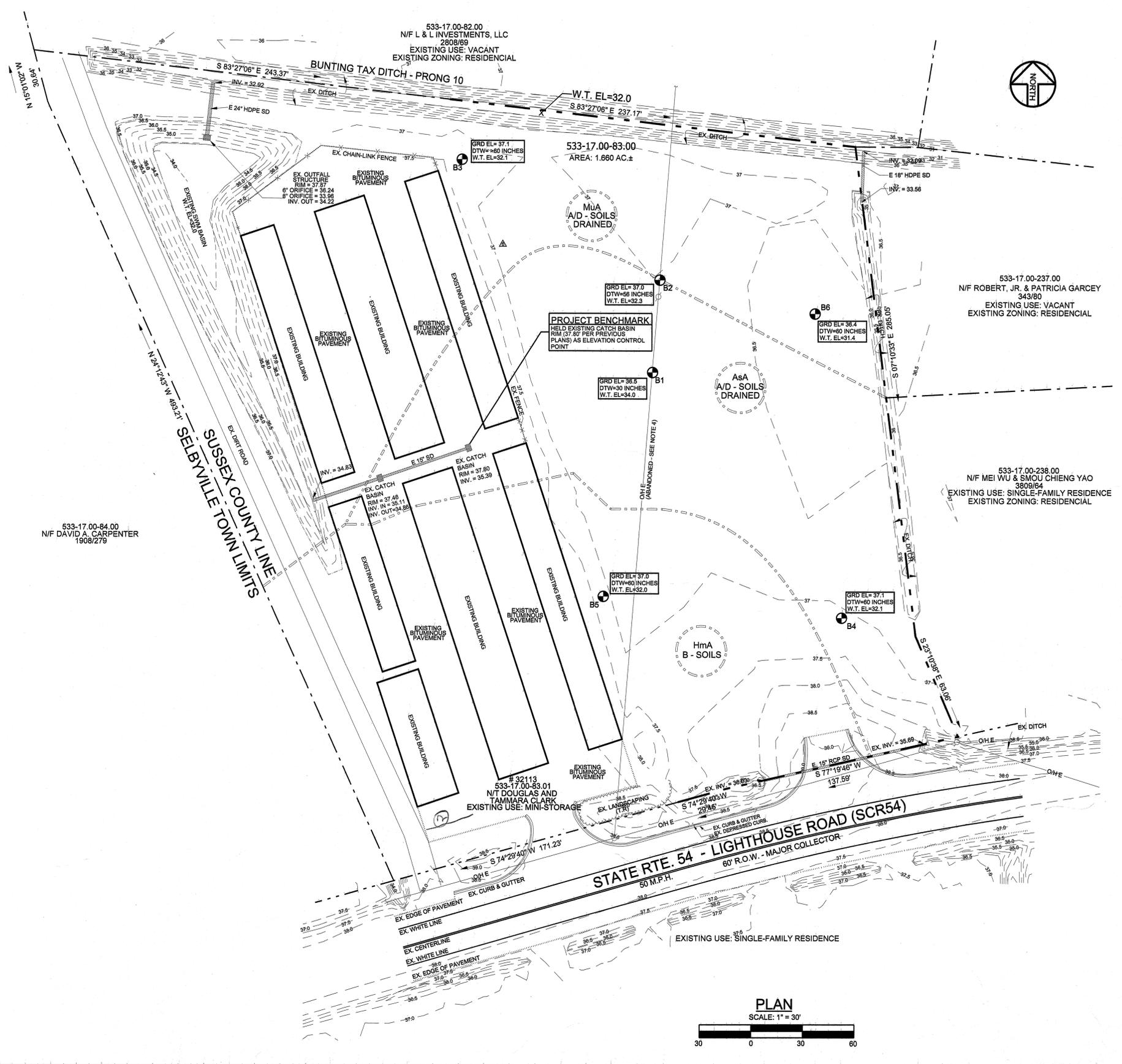
**OWNER CERTIFICATION**  
I, THE UNDERSIGNED, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E., BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS, AND I UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT, AS REFERENCED ON THIS COVERSHEET.  
DOUG CLARK  
32113 LIGHTHOUSE ROAD  
SELBYVILLE, DE 19975 (443) 497-0000  
DATE

DESIGNED BY: JWS3	DRAWN BY: SEL	CHECKED BY: JWS3	COVER SHEET, NOTES, VICINITY MAP LEGEND AND INDEX
JOHN W. SALM, III 			
REVISIONS 8/12/20 09/09/20			SELF STORAGE AND OFFICE BUILDINGS LIGHTHOUSE ANNEX TAX MAP 533-17.00-83.00 BALTIMORE HUNDRED SUSSEX COUNTY DELAWARE <b>J. W. SALM ENGINEERING, INC.</b> P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD
SCALE: AS SHOWN	DATE: FEB 2017	DRAWING No.: 278-02-001	

**BUNTINGS BRANCH WATERSHED**

**INDEX OF DRAWINGS:**

DRAWING NO.:	SHEET NO.:	TITLE:
278-02-001	1 of 8	COVER SHEET, NOTES, VICINITY MAP LEGEND AND INDEX
278-02-002	2 of 8	EXISTING CONDITIONS PLAN
278-02-003	3 of 8	REVISED FINAL SITE PLAN
278-02-004	4 of 8	STORMWATER MANAGEMENT (SWM) PLAN
278-02-005	5 of 8	EROSION AND SEDIMENT CONTROL (ESC) PLAN
278-02-005A	5A of 8	TEMPORARY AND PERMANENT COVER PLAN
278-02-006	6 of 8	SWM DETAILS AND NOTES
278-02-007	7 of 8	SWM DETAILS AND NOTES
278-02-008	8 of 8	EROSION AND SEDIMENT CONTROL (ESC) DETAILS
278-02-008A	8A of 8	EROSION AND SEDIMENT CONTROL (ESC) DETAILS
278-02-008B	8B of 8	TOWN DETAILS
278-02-008C	8C of 8	TOWN DETAILS



- ### GENERAL NOTES:
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  2. ALL ELEVATIONS, TOPOGRAPHY AND ALIGNMENTS SHOWN ARE BASED UPON THE SURVEY PREPARED BY RUSSELL T. HAMMOND SURVEYING, LLC, DATED 12-18-2016. THE ENGINEER DOES NOT WARRANT THAT THIS INFORMATION IS ENTIRELY CORRECT. THE CONTRACTOR SHALL EXAMINE A COPY OF SAID SURVEY AND VISIT THE SITE IN ORDER TO DETERMINE, TO HIS SATISFACTION, THE QUANTITIES OF WORK REQUIRED TO BE PERFORMED. THE VERTICAL DATUM IS NAVD '88. THE HORIZONTAL DATUM IS ASSUMED TO MATCH PLAT 68/308.
  3. UNLESS OTHERWISE NOTED, ALL ELEVATIONS FOR GRAVITY STORM DRAIN & SANITARY SEWER PIPES ARE INVERTS AND ALL ELEVATIONS FOR PRESSURE WATER MAINS ARE TOP OF PIPE ELEVATIONS.
  4. THESE DRAWINGS SHOW INFORMATION REGARDING UNDERGROUND UTILITIES WHICH EXIST ALONG THE LINES OF WORK. THE LOCATION OF UTILITIES SHOWN HAS BEEN PROVIDED FROM THE BEST AVAILABLE RECORDS AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS SATISFACTION PRIOR TO CONSTRUCTION. THE OWNER SHALL BE GIVEN NOTIFICATION BY THE CONTRACTOR PRIOR TO TEST PITTING. THE OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION. IF THE CONTRACTOR RELIES ON SAID INFORMATION HE DOES SO AT HIS OWN RISK. THE GIVING OF THE INFORMATION ON THESE DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO SUPPORT AND PROTECT ALL EXISTING UTILITIES AND APPURTENANCES. SHOULD ANY EXISTING UTILITIES BE DAMAGED BY THE CONTRACTOR, THE CONTRACTOR SHALL REPAIR THE DAMAGE CAUSED, TO THE UTILITY OWNERS SATISFACTION, AT THE CONTRACTORS EXPENSE.
  5. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THESE DRAWINGS AND SPECIFICATIONS, AND TO ALL APPLICABLE REQUIREMENTS OF SUSSEX COUNTY, DEL DOT & DNREC.
  6. ALL DISTURBED AREAS SHALL BE SMOOTHLY GRADED TO PROVIDE POSITIVE DRAINAGE, AWAY FROM PROPOSED STRUCTURES, AND SHALL BE STABILIZED, EXCEPT IN AREAS CALLING FOR PAVING. IF SETTLEMENT OCCURS, THE AREA OF SETTLEMENT SHALL BE RESTORED TO GRADE. TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER.
  7. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEVIATIONS FROM THESE DRAWINGS AND SPECIFICATIONS.
  8. THE CONTRACTOR SHALL PROVIDE NECESSARY STAKE OUT OF LINE AND GRADE FOR CONSTRUCTION.
  9. THE OWNER RESERVES THE RIGHT TO AWARD OTHER CONTRACTS OR PERFORM OTHER WORK IN THE VICINITY OF WORK DESIGNATED ON THESE DRAWINGS. THE CONTRACTOR SHALL COOPERATE WITH AND COORDINATE HIS OPERATIONS WITH OTHER CONTRACTORS OR WORKMEN EMPLOYED BY THE OWNER.
  10. NO INFORMATION REGARDING DEPTH TO ANY TEMPORARY OR PERMANENT GROUND WATER TABLE IS PROVIDED ON THESE DRAWINGS AS IT RELATES TO THE EXCAVATION OR INSTALLATION OF UTILITIES IN TRENCHES. THE CONTRACTOR SHALL INVESTIGATE TO HIS SATISFACTION THE SITE CONDITIONS REGARDING THE DEPTH TO GROUND WATER. GENERALLY, PIPING, TRENCH CONSTRUCTION SHALL BE PROSECUTED IN A DEWATERED STATE, CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ALL EXCAVATIONS FOR MANHOLES AND OTHER CHAMBERS SHALL BE CONTINUALLY DEWATERED UNTIL THE BACKFILL OPERATION HAS BEEN COMPLETED. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR TEST PITTING.
  11. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
  12. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING, TWO (2) DAYS PRIOR TO BEGINNING ANY WORK SHOWN ON THESE DRAWINGS.
 

A) DEL DOT	(302) 739-4843
B) DOUG CLARK	(443) 497-0000
C) J.W. SALM ENGINEERING, INC	(410) 841-0129
D) SUSSEX CO. CONSERVATION DISTRICT	(302) 856-7219
E) MISS UTILITY	(800) 282-8555
  13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS RESULTING FROM ANY EARTH MOVING AND/OR TEMPORARY STOCKPILING OF EARTH OR OTHER MATERIALS ON SITE.
  14. THESE DRAWINGS, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO J. W. SALM ENGINEERING, INC. AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION. COPYRIGHT, LATEST DATE HEREON. ANY DRAWING, REPRODUCTION, PLOT, ETC., WITHOUT A WET INK SIGNATURE AND SEAL IS NOT CERTIFIED BY J. W. SALM ENGINEERING AS TO ACCURACY AND AUTHENTICITY.
  15. COMPACTION SHALL BE AS FOLLOWS:
 

A. FOR ROAD OR PARKING AREAS: 95% OF MODIFIED PROCTOR DENSITY AT +/- 2% OF OPTIMUM MOISTURE CONTENT.
B. FOR AREAS OUTSIDE OF ROAD OR PARKING AREAS: 90% OF MODIFIED PROCTOR DENSITY AT +/- 3% OF OPTIMUM MOISTURE CONTENT

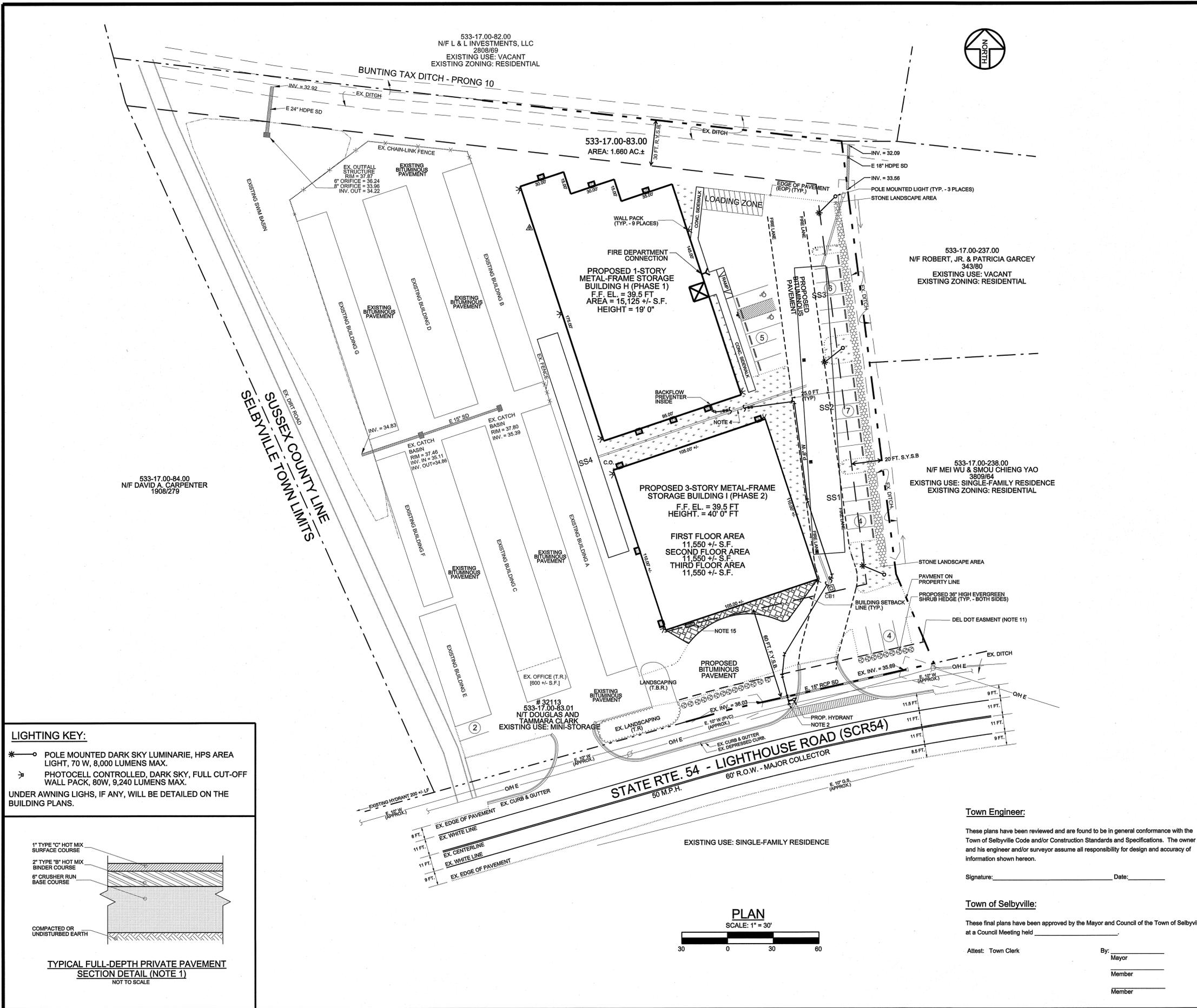
**DATUM NOTE:**

1. TO CONVERT THE ELEVATIONS SHOWN TO NAVD 1988 DATUM, YOU MUST SUBTRACT 1.25 FEET.

- ### EXISTING CONDITIONS PLAN NOTES:
- 1) SEE COMPLETE LEGEND ON SHEET 1.
  - 2) PREDOMINANT SOIL TYPES:  
 MUA - MULLICA-BERRYLAND  
 ASA - ASKECHKY LOAMY SAND  
 HMA - HAMMONTON SANDY LOAM
  - 3) THIS EXISTING CONDITION PLAN WAS DEVELOPED FROM THE FIELD SURVEY PERFORMED BY RUSSELL T. HAMMOND SURVEYING, LLC, DATED: DECEMBER 16, 2016
  - 4) OVERHEAD ELECTRIC LINE HAS BEEN PREVIOUSLY ABANDONED. IT WILL BE REMOVED BY THE OWNER PRIOR TO THE START OF CONSTRUCTION.

DESIGNED BY: JWS3	DRAWN BY: SEL	CHECKED BY: JWS3	EXISTING CONDITIONS PLAN	
JOHN W. SALM, III PROFESSIONAL ENGINEER DELAWARE ENGINEER LICENSE NO. 8971			REVISIONS 11/02/17 07/12/18	SELF STORAGE & OFFICE BUILDINGS LIGHTHOUSE ANNEX TAX MAP 533-17.00-83.00 BALTIMORE HUNDRED SUSSEX COUNTY DELAWARE
			<b>J. W. SALM ENGINEERING, INC.</b> P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811	
SCALE: 1" = 30'	DATE: FEB 2017	DRAWING No.: 278-02-002	SHEET No.: 2 OF 8	





**SITE DATA:**

**OWNER / APPLICANT / DEVELOPER**  
DOUGLAS AND TAMMARA CLARK  
32113 LIGHTHOUSE ROAD  
SELBYVILLE, DE 19975  
PHONE: (443) 497-0000

**BUILDING AREA**  
TOTAL GROSS FLOOR AREA: 23,675 +/- S.F.  
EXISTING BUILDING A-G: 15,125 +/- S.F.  
BUILDING H: 15,125 +/- S.F.  
BUILDING J: 34,500 +/- S.F.

**SITE PLAN DESIGN:**  
J.W. SALM ENGINEERING, INC.  
9842 MAIN STREET, SUITE 3, P.O. BOX 397  
BERLIN, MD 21811  
PHONE: 410-641-6128

**PARCEL DESCRIPTION:**  
TAX MAP 533-17.00-83.00  
SUSSEX COUNTY, DELAWARE  
PROJECT AREA: 1.79 +/- AC.  
LAT./LONG.: 38.462913, -75.19002  
WATERSHED: ASSAWOMAN  
PRONG 10 BUNTING TAX DITCH

**ZONING:**  
EXISTING ZONING: COMMERCIAL, C-1  
EXISTING USE: SELF STORAGE WITH 600 S.F. OFFICE  
PROPOSED ZONING: COMMERCIAL, C-1  
PROPOSED USE: WAREHOUSE

**SETBACKS**  
FRONT YARD: 60 FEET  
SIDE YARD: 5 FEET  
ABUTTING RESIDENTIAL: 20 FEET  
REAR YARD: 30 FEET

**BUILDING HEIGHT**  
HEIGHT PERMITTED (MAX.): 42 FEET  
MAX. HEIGHT PROPOSED: 40 FEET

**PROPOSED SITE AREA: 3.79+/- ACRES  
LIMIT OF DISTURBANCE: 1.79 +/- ACRES**

**PARKING:**  
PER CODE SECTION 115-166 C, PARKING IS SHOWN IN THE FRONT YARD SETBACK AND IS SUBJECT TO SITE PLAN REVIEW AND A WAIVER IS REQUESTED

**REQUIRED**  
600 S.F. OFFICE BUILDING C: 3 SPACES  
STORAGE: 2 SPACES  
TOTAL REQUIRED: 5 SPACES

**PROVIDED**  
ADA SPACES: 2 SPACES IN FRONT OF BUILDING H  
REGULAR 9' X 18' SPACES: 40 SPACES  
TOTAL REQUIRED: 42 SPACES

**LOADING:**  
PER CODE SECTION 115-167  
REQUIRED: 3 SPACES  
\*\* PROVIDED: 2 SPACES (14' x 40') \*\*

**WATER & SEWER:**  
PUBLIC WATER & SEWER SERVICE SHALL BE PROVIDED BY THE TOWN OF SELBYVILLE, DE.

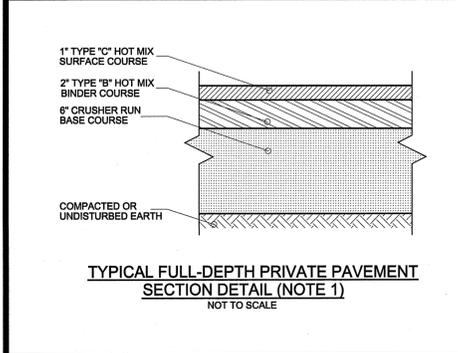
- TOWN UTILITY NOTES:**
- PHASE 2 BUILDING IS NOT BEING BUILT WITH THE INITIAL SITE CONSTRUCTION. OWNER WILL PROVIDE TOWN WITH WRITTEN CLARIFICATION OF WORK AND THAT THE TOWN WILL BE PROVIDED MINIMUM 60 DAY NOTICE PRIOR TO THE BEGINNING OF ANY FUTURE PHASE CONSTRUCTION.
  - A BACKFLOW PREVENTOR SHALL BE PROVIDED IN BUILDING "H"
  - WATER METER LOCATIONS FOR PHASE 2 SHALL BE PROVIDED PRIOR TO CONSTRUCTION OF PHASE 2
  - CONTRACTOR SHALL NOTIFY MISS UTILITIES AT LEAST SEVEN (7) WORKING DAYS PRIOR TO EXCAVATION TO HAVE EXISTING UNDERGROUND UTILITIES LOCATED AND MARKED.
  - THE CONTRACTOR SHALL NOTIFY THE TOWN OF SELBYVILLE, (302) 436-8314, TWO (2) WEEKS PRIOR TO START OF CONSTRUCTION AND SHALL APPRISE AND COORDINATE WITH THE TOWN DURING ALL PHASES OF CONSTRUCTION.
  - ALL MATERIALS AND WORKMANSHIP SHALL MEET THE TOWN OF SELBYVILLE AND THE STATE OF DELAWARE STANDARDS AND SPECIFICATIONS, AS APPLICABLE.
  - CONTRACTOR SHALL ADJUST TO FINISH GRADE AS NECESSARY ANY NEW OR EXISTING VALVE BOXES.
  - CONTRACTOR SHALL MAINTAIN A MINIMUM 3.5 FEET OF COVER OVER ALL NEW WATERLINES AS MEASURED FROM THE TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
  - MINIMUM HORIZONTAL SEPARATION BETWEEN WATER AND SANITARY SEWER SHALL BE 10'-0".
  - PROVIDE CONCRETE BUTTRESSES FOR ALL BENDS, TEES, WYES, AND PLUGS ON ALL PROPOSED WATERLINES PER DETAIL.
  - WATER METERS SHALL NOT BE PLACED LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC.
  - FIRE HYDRANTS SHALL BE TOWN STANDARD - MUELLER MODEL A-442 MODERN CENTRUM.
  - ALL WATERMANS SHALL BE AWWA C900 PVC DR18.
  - THE CONTRACTOR SHALL PREPARE RECORD DRAWINGS FOR THE TOWN OF SELBYVILLE.
  - CONTRACTOR SHALL PERFORM HYDROSTATIC TESTING AND FLUSHING OF UNDERGROUND PIPING TO THE FIRE HYDRANTS PER TOWN STANDARDS. ALL TESTING MUST BE WITNESSED BY THE TOWN OR TOWN REPRESENTATIVE.
  - ALL FIRE HYDRANTS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
  - CONTRACTOR TO MAINTAIN 3 FEET OF COVER OVER ALL NEW SANITARY SEWER MAINS AND LATERALS AS MEASURED FROM THE TOP OF PIPE TO THE FINISHED GRADE, UNLESS OTHERWISE NOTED.
  - LATERALS SHALL BE 6-INCH IN DIAMETER, WITH VERTICAL CLEANOUTS OF 6-INCHES IN DIAMETER WITH MINIMUM 3 FOOT COVER FROM CLEANOUT TO MAIN.
  - TOWN OR TOWN REPRESENTATIVE SHALL BE PRESENT DURING WATER/SANITARY SEWER CONNECTIONS TO REVIEW AND APPROVE.

- SITE PLAN NOTES:**
- SEE COMPLETE LEGEND ON SHEET 1.
  - CONNECT P. 6" WATER MAIN TO EXISTING WATER MAIN WITH TAPPING SLEEVE AND VALVE OR CUT IN TAP. CONTRACTOR SHALL TEST PIT PRIOR TO ORDERING TAPPING SLEEVE. GATE VALVE SHALL BE PLACED ON PROPERTY LINE.
  - 3/4" WATER SERVICE WITH 6/8" METER (TYPICAL OF 5).
  - ROUTE WATER MAIN UNDER STORM DRAIN PIPE WITH VERTICAL BENDS.
  - CONNECT 6-INCH SEWER LATERAL TO GRAVITY SEWER MAIN.
  - THE PROPOSED USE OF THE STORAGE BUILDING IS FOR WAREHOUSING WITHIN A COMPLETELY ENCLOSED BUILDING, PROVIDED THAT SUCH USE IS NOT OBJECTIONABLE BY REASON OF ODOR, DUST, NOISE OR OTHER SIMILAR FACTORS.
  - REFER TO THE DEL DOT ENTRANCE PLAN, PROVIDED UNDER SEPERATE COVER, FOR THE LOCATION OF ADJACENT AND OPPOSED ENTRANCES, FOR THE DEL DOT INTERSECTION WORKSHEET, AND FOR INTERSECTION SITE DISTANCES.
  - THE ENTRANCE IS EXISTING. THE DESIGN VEHICLE IS AN SU-30. TURNING MOVEMENTS ARE SHOWN ON THE DEL DOT ENTRANCE PLAN, PROVIDED UNDER SEPERATE COVER.
  - PROPOSED CONCRETE SIDEWALK SHALL BE 6 FEET WIDE, CONFORM TO ADA REQUIREMENTS AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH DEL DOT DETAIL N.S. LATEST REVISION.
  - NO MODIFICATIONS ARE PROPOSED TO THE EXISTING ENTRANCE CULVERT PIPE.
  - A 15-FOOT PERMANENT EASEMENT IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT. PARCELS 83.00 AND 83.01 HAVE PREVIOUSLY DEDICATED 10-FEET OF RIGHT-OF-WAY TO THE STATE OF DELAWARE AT THE TIME OF CONSTRUCTION OF THE EXISTING ENTRANCES.
  - NO STATE AND/OR FEDERAL WETLANDS ARE LOCATED IN THE DEVELOPMENT PORTION OF THIS SITE BASED UPON A REVIEW OF NATIONAL WETLANDS INVENTORY MAPPING RESOURCES.
  - PARKING STALLS SHALL BE MARKED BY PAINTED LINES. CONCRETE PARKING BUMPERS SHALL BE PROVIDED FOR THE STALLS ALONG THE EAST PROPERTY LINE.
  - PROVIDE AN AT GRADE CONCRETE PAD FOR EACH EXIT DOOR.
  - 6 SLOT BIKE RACK.
  - A SINGLE LARGE DUMPSTER IS NOT BEING PROVIDED FOR THIS SITE DUE TO THIS SITE DUE TO THE MINI-STORAGE USE. REFUSE WILL BE HANDLED BY WASTE WHEELERS.
  - NO FENCING IS PROPOSED FOR THIS PROJECT.
  - MAINTAIN A MINIMUM 10-FOOT HORIZONTAL SEPARATION AND 18-INCH VERTICAL SEPARATION BETWEEN WATER AND SEWER MAINS.

**LIGHTING KEY:**

- POLE MOUNTED DARK SKY LUMINAIRE, HPS AREA LIGHT, 70 W, 8,000 LUMENS MAX.
- PHOTOCELL CONTROLLED, DARK SKY, FULL CUT-OFF WALL PACK, 80W, 9,240 LUMENS MAX.

UNDER AWNING LIGHS, IF ANY, WILL BE DETAILED ON THE BUILDING PLANS.



**Town Engineer:**

These plans have been reviewed and are found to be in general conformance with the Town of Selbyville Code and/or Construction Standards and Specifications. The owner and his engineer and/or surveyor assume all responsibility for design and accuracy of information shown hereon.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**Town of Selbyville:**

These final plans have been approved by the Mayor and Council of the Town of Selbyville at a Council Meeting held \_\_\_\_\_

Attest: Town Clerk \_\_\_\_\_ By: \_\_\_\_\_  
Mayor  
Member  
Member

DESIGNED BY:	DRAWN BY:	CHECKED BY:	REVISED FINAL SITE PLAN			
JWS3	SEL	JWS3	SELF STORAGE & OFFICE BUILDINGS LIGHTHOUSE ANNEX TAX MAP 533-17.00-83.00 SUSSEX COUNTY DELAWARE			
JOHN W. SALM, III REVISIONS			J.W. SALM ENGINEERING, INC. P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811			
<ul style="list-style-type: none"> <li>11/29/17</li> <li>11/10/18</li> <li>07/12/18</li> <li>08/14/18</li> <li>05/14/19</li> <li>11/05/19</li> <li>11/20/19</li> <li>03/12/20</li> <li>05/09/20</li> </ul>			SCALE:	DATE:	DRAWING No.:	SHEET No.:
DELAWARE PROFESSIONAL ENGINEER LICENSE No.: 8971			1" = 30'	FEB 2017	278-02-003	3 OF 8

**GENERAL NOTES:**

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A) DEL DOT	(302) 739-4643
B) DOUG CLARK	(443) 497-0000
C) J.W. SALM ENGINEERING, INC	(410) 641-0126
D) SUSSEX CO. CONSERVATION DISTRICT	(302) 866-7219
E) MISS UTILITY	(800) 282-8555
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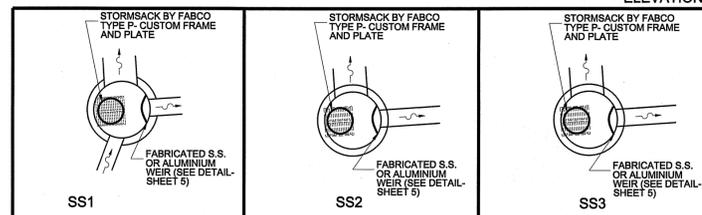
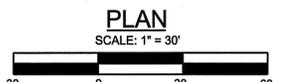
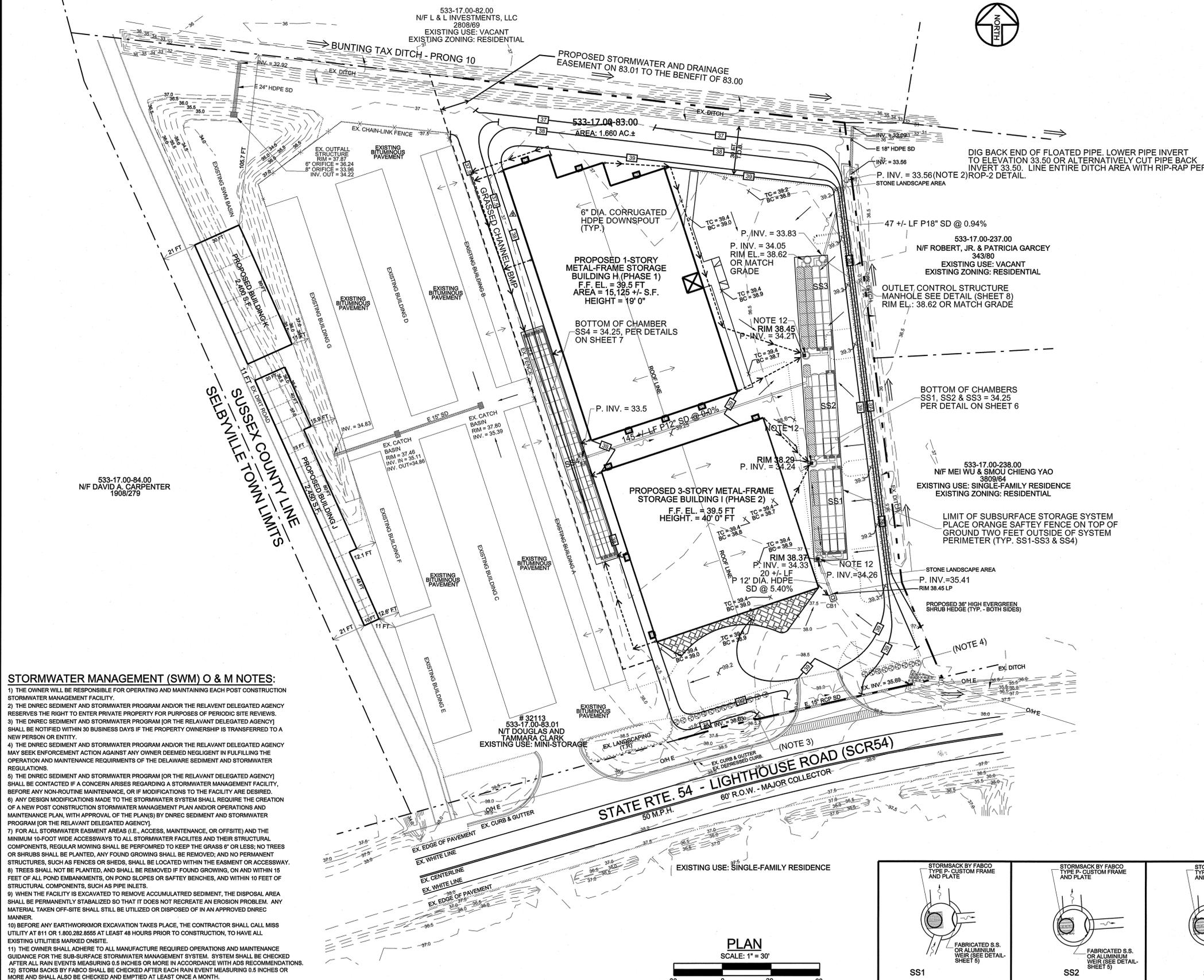
A. FOR ROAD OR PARKING AREAS: 95% OF MODIFIED PROCTOR DENSITY AT +2% OF OPTIMUM MOISTURE CONTENT.
B. FOR AREAS OUTSIDE OF ROAD OR PARKING AREAS: 90% OF MODIFIED PROCTOR DENSITY AT +1-3% OF OPTIMUM MOISTURE CONTENT

**STORMWATER MANAGEMENT (SWM) PLAN NOTES:**

- 1) UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE SHALL BE SMOOTH BORE, HDPE SI (SMOOTH INTERIOR), ADS N-12 OR EQUAL, UNLESS OTHERWISE SPECIFIED TRANSITIONING BETWEEN DIFFERING PIPE MATERIALS SHALL BE MADE AT INLET STRUCTURES OR JUNCTION BOXES.  
RCP: REINFORCED CONCRETE PIPE  
BCMP: BITUMINOUS COATED CORRUGATED METAL PIPE  
HDPE-SI: HIGH DENSITY POLYETHYLENE PIPE (SMOOTH INTERIOR)  
HDPE: CORRUGATED HIGH DENSITY POLYETHYLENE PIPE
- 2) PROVIDE FLARED END SECTION AND RIPRAP APRON, 14" THICK, D50 = 7" ON MIRAFI 700X FILTER FABRIC, APRON SIZE AS SHOWN ON PLANS, 2.0 SQ. YD. MIN. (SEE ROP DETAIL)
- 3) REMOVE FLARED END SECTION AND INSTALL YARD INLET, RIM EL. = 38.0, FILL DITCH, SLOPE TO DRAIN.
- 4) INSTALL 8 +/- S.Y. RIP RAP BANK STABILIZATION.
- 5) REFER TO SUBSEQUENT SHEETS FOR THE DETAILS OF THE ADS SUBSURFACE SWM SYSTEM.
- 6) REFER TO SHEET NO.1 FOR COMPLETE PLAN LEGEND.
- 7) THERE WERE NO WETLANDS FOUND WITHIN THE SUBJECT PROPERTY
- 8) SWM INLET: PROTECTION, TYPE 2 IS PREFERRED, SILT SACK OR EQUAL AS RECOMMENDED BY ADS.
- 9) APPROXIMATELY 4,850 C.Y. OF BORROW WILL BE REQUIRED FOR THIS PROJECT.
- 10) THE SWM FACILITIES SHALL BE PRIVATELY MAINTAINED BY THE PROPERTY OWNER.
- 11) ANY MATERIAL REMOVED FROM THE SUBSURFACE SWM SYSTEM SHALL BE IMMEDIATELY REMOVED TO AN APPROVED OFFSITE LOCATION BY THE OWNER OR THE OWNER'S CONTRACTOR.
- 12) PROVIDE A DIVERSIONARY WEIR WITHIN THE SUBSURFACE SYSTEM INLET MANHOLES TO COMPLETELY DIVERT THE RVP EVENT TO ISOLATOR ROWS. SEE DETAILS BELOW. WEIR ELEVATION = 35.54 FT.

**STORMWATER MANAGEMENT (SWM) O & M NOTES:**

- 1) THE OWNER WILL BE RESPONSIBLE FOR OPERATING AND MAINTAINING EACH POST CONSTRUCTION STORMWATER MANAGEMENT FACILITY.
- 2) THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELAVANT DELEGATED AGENCY RESERVES THE RIGHT TO ENTER PRIVATE PROPERTY FOR PURPOSES OF PERIODIC SITE REVIEWS.
- 3) THE DNREC SEDIMENT AND STORMWATER PROGRAM (OR THE RELAVANT DELEGATED AGENCY) SHALL BE NOTIFIED WITHIN 30 BUSINESS DAYS IF THE PROPERTY OWNERSHIP IS TRANSFERRED TO A NEW PERSON OR ENTITY.
- 4) THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELAVANT DELEGATED AGENCY MAY SEEK ENFORCEMENT ACTION AGAINST ANY OWNER DEEMED NEGLIGENT IN FULFILLING THE OPERATION AND MAINTENANCE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS.
- 5) THE DNREC SEDIMENT AND STORMWATER PROGRAM (OR THE RELAVANT DELEGATED AGENCY) SHALL BE CONTACTED IF A CONCERN ARISES REGARDING A STORMWATER MANAGEMENT FACILITY, BEFORE ANY NON-ROUTINE MAINTENANCE, OR IF MODIFICATIONS TO THE FACILITY ARE DESIRED.
- 6) ANY DESIGN MODIFICATIONS MADE TO THE STORMWATER SYSTEM SHALL REQUIRE THE CREATION OF A NEW POST CONSTRUCTION STORMWATER MANAGEMENT PLAN AND/OR OPERATIONS AND MAINTENANCE PLAN, WITH APPROVAL OF THE PLANS BY DNREC SEDIMENT AND STORMWATER PROGRAM (OR THE RELAVANT DELEGATED AGENCY).
- 7) FOR ALL STORMWATER EASMENT AREAS (I.E. ACCESS, MAINTENANCE, OR OFFSITE) AND THE MINIMUM 10-FOOT WIDE ACCESSWAYS TO ALL STORMWATER FACILITIES AND THEIR STRUCTURAL COMPONENTS, REGULAR MOWING SHALL BE PERFORMED TO KEEP THE GRASS 6" OR LESS; NO TREES OR SHRUBS SHALL BE PLANTED, ANY FOUND GROWING SHALL BE REMOVED; AND NO PERMANENT STRUCTURES, SUCH AS FENCES OR SHEDS, SHALL BE LOCATED WITHIN THE EASMENT OR ACCESSWAY.
- 8) TREES SHALL NOT BE PLANTED, AND SHALL BE REMOVED IF FOUND GROWING, ON AND WITHIN 15 FEET OF ALL POND EMBANKMENTS, ON POND SLOPES OR SAFETY BENCHES, AND WITHIN 10 FEET OF STRUCTURAL COMPONENTS, SUCH AS PIPE INLETS.
- 9) WHEN THE FACILITY IS EXCAVATED TO REMOVE ACCUMULATED SEDIMENT, THE DISPOSAL AREA SHALL BE PERMANENTLY STABILIZED SO THAT IT DOES NOT RECREATE AN EROSION PROBLEM. ANY MATERIAL TAKEN OFF-SITE SHALL STILL BE UTILIZED OR DISPOSED OF IN AN APPROVED DNREC MANNER.
- 10) BEFORE ANY EARTHWORKER EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CALL MISS UTILITY AT 811 OR 1.800.282.8555 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, TO HAVE ALL EXISTING UTILITIES MARKED ONSITE.
- 11) THE OWNER SHALL ADHERE TO ALL MANUFACTURE REQUIRED OPERATIONS AND MAINTENANCE GUIDANCE FOR THE SUB-SURFACE STORMWATER MANAGEMENT SYSTEM. SYSTEM SHALL BE CHECKED AFTER ALL RAIN EVENTS MEASURING 0.5 INCHES OR MORE IN ACCORDANCE WITH ADS RECOMMENDATIONS.
- 12) STORM SACKS BY FABCO SHALL BE CHECKED AFTER EACH RAIN EVENT MEASURING 0.5 INCHES OR MORE AND SHALL ALSO BE CHECKED AND EMPTIED AT LEAST ONCE A MONTH.



STORMWATER MANAGEMENT (SWM) PLAN		
SELF STORAGE & OFFICE BUILDINGS LIGHTHOUSE ANNEX TAX MAP 533-17.00-83.00		
BALTIMORE HUNDRED	SUSSEX COUNTY	DELAWARE
<b>J. W. SALM ENGINEERING, INC.</b>		
P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811		
DESIGNED BY: JWS3	DRAWN BY: SEL	CHECKED BY: JWS3
REVISIONS		
1	11/29/17	
2	12/05/17	
3	1/10/18	
4	07/12/18	
5	8/12/20	
6	09/09/20	
SCALE: 1" = 30'	DATE: FEB 2017	DRAWING No.: 278-02-004
		SHEET No.: 4 OF 8

STANDARD SESC SYMBOLS / LEGEND

RIP RAP OUTLET PROTECTION SEE DETAIL: DE-ESC-3.3.10		INLET PROTECTION SEE DETAIL: DE-ESC-3.1.5.2	
CULVERT INLET PROTECT SEE DETAIL: DE-ESC-3.1.8		CONCRETE WASHOUT SEE DETAIL: DE-ESC-3.6.2	
LIMIT OF DISTURBANCE (LOD)		STABILIZED CONSTRUCTION ENTRANCE SEE DETAIL: DE-ESC-3.4.7	
		SILT FENCE/SF-LOD SEE DETAIL: DE-ESC-3.1.2	

SEQUENCE OF CONSTRUCTION (SOC):

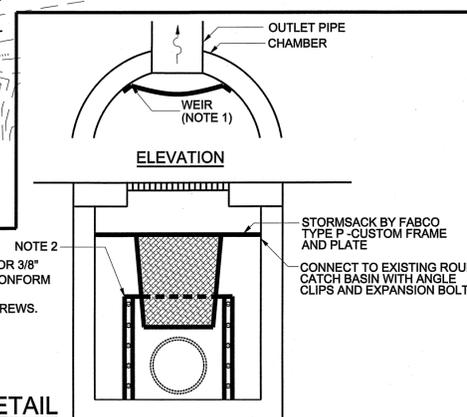
- 1) NOTIFY THE DNREC SEDIMENT AND STORMWATER PROGRAM [OR RELEVANT DELEGATED AGENCY] IN WRITING AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION. PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO COMMENCING ANY SITE WORK. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- 2) PRIOR TO ANY CLEARING, INSTALLATION OF SEDIMENT CONTROL MEASURES OR GRADING, A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED AND CONDUCTED WITH THE AGENCY CONSTRUCTION SITE REVIEWER. THE LANDOWNER/DEVELOPER, CONTRACTOR, AND CERTIFIED CONSTRUCTION REVIEWER ARE REQUIRED TO BE IN ATTENDANCE AT THE PRE-CONSTRUCTION MEETING; THE DESIGNER IS RECOMMENDED TO ATTEND.
- 3) CLEAR AND GRUB FOR PERIMETER CONTROL ONLY.
- 4) INSTALL PERIMETER CONTROLS; SILT FENCE, SUPER SILT FENCE AND STABILIZED CONSTRUCTION.
- 5) ALL PERIMETER CONTROLS ARE TO BE REVIEWED BY THE AGENCY CONSTRUCTION SITE REVIEWER AND APPROVED PRIOR TO PROCEEDING WITH FURTHER SITE DISTURBANCE OR CONSTRUCTION.
- 6) CLEAR AND GRUB THE SITE. REMOVE ANY TOPSOIL.
- 7) MASS GRADE AND FILL THE SITE. INSTALL SITE CONCRETE WASHOUT STATION PER POLLUTION PREVENTION PLAN.
- 8) PLACE BUILDING FOR BUILDING I.
- 9) CONSTRUCT THE BUILDINGS.
- 10) PROTECT THE SUB SURFACE SWM SYSTEM WITH TEMPORARY SILT-SACKS. REMOVE THE NON-WOVEN GEOTEXTILE FABRIC IN THE STORM TECH CHAMBER ISOLATOR ROW.
- 11) REPAIR THE PARKING LOT.
- 12) FINE GRADE THE SITE AROUND BUILDING I, INCLUDING REGRADING OF SWALE BETWEEN BUILDINGS B AND H IN ACCORDANCE WITH THE APPROVED PLAN.
- 13) PATCH PAVE THE SITE.
- 14) LANDSCAPE THE SITE AND RE-STRIPE THE PARKING LOT.
- 15) STABILIZE THE SITE IN ACCORDANCE WITH THE TEMPORARY AND PERMANENT COVER PLAN.
- 16) INSTALL PERMANENT STORM SACKS IN FOR INLET STRUCTURES.
- 17) THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHOULD BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENTATION ON THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR REPAIR MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
- 18) NOTIFY THE PERSON RESPONSIBLE FOR STORMWATER SYSTEM CONSTRUCTION REVIEW AT LEAST THREE (3) DAYS PRIOR TO THE START OF THE STORMWATER SYSTEM CONSTRUCTION; STORMWATER FACILITIES MUST BE REVIEWED THROUGHOUT THEIR CONSTRUCTION.
- 19) EROSION AND SEDIMENT CONTROL DEVICES SHOULD BE REMOVED ONLY AFTER WORK IN AN AREA HAS BEEN COMPLETED AND STABILIZED, WITH WRITTEN APPROVAL FROM THE AGENCY CONSTRUCTION SITE REVIEWER.
- 20) THE TERMINATION OF THE CONSTRUCTION GENERAL PERMIT WILL REQUIRE SUBMISSION AND ACCEPTANCE OF THE POST CONSTRUCTION VERIFICATION DOCUMENTS, INCLUDING FINAL STABILIZATION THROUGHOUT THE SITE, ALL ELEMENTS OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN IMPLEMENTED, AND ACCEPTANCE OF THE FINAL OPERATION AND MAINTENANCE PLAN.

LOD=1.78 AC+/-

ESC PLAN NOTES:

- 1) REFER TO SHEET NO. 1 FOR COMPLETE PLAN LEGEND.
- 2) ALL STRIPPED TOPSOIL WILL BE REMOVED FROM THE SITE.
- 3) THE OWNER WILL BE RESPONSIBLE FOR MAINTAINING ALL ESC DEVICES.
- 4) ALL STONE MUST BE UNDERLAIN WITH AN APPROVED GEOTEXTILE FABRIC.
- 5) DUST CONTROL MEASURES ARE SPECIFIED ON SHEET... THEY SHALL BE USED, IF AND AS NECESSARY.

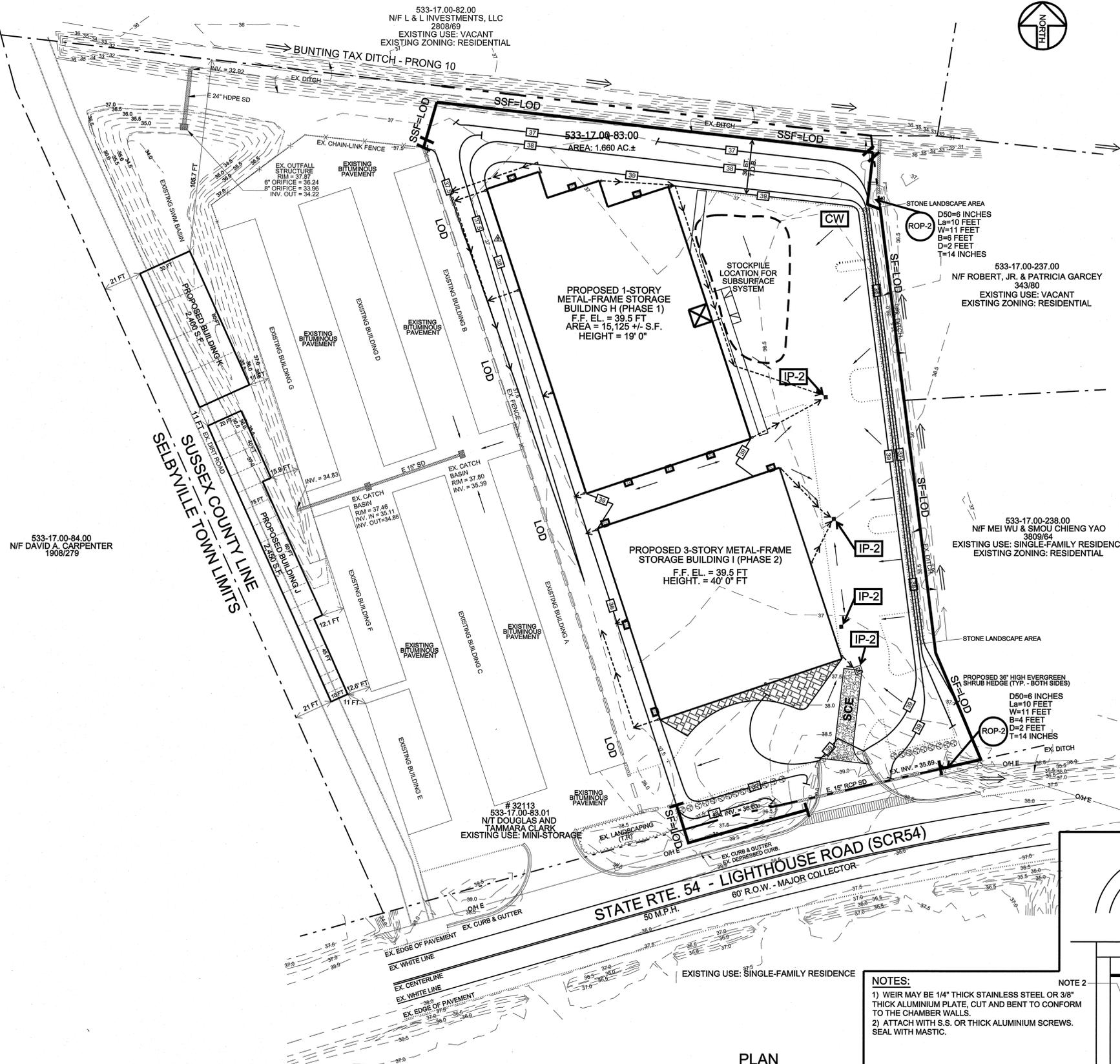
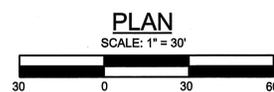
DESIGNED BY: JWS3	DRAWN BY: SEL	CHECKED BY: JWS3	EROSION AND SEDIMENT CONTROL (ESC) PLAN					
JOHN W. SALM, III			SELF STORAGE & OFFICE BUILDINGS LIGHTHOUSE ANNEX TAX MAP 533-17.00-83.00					
REVISIONS			BALTIMORE HUNDRED SUSSEX COUNTY DELAWARE					
<table border="1"> <tr> <td>11/28/17</td> <td>1/10/18</td> <td>07/12/18</td> <td>8/12/20</td> </tr> </table>			11/28/17	1/10/18	07/12/18	8/12/20	<b>J. W. SALM ENGINEERING, INC.</b> P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811	
11/28/17	1/10/18	07/12/18	8/12/20					
SCALE: 1" = 30'			DATE: FEB 2017	DRAWING No.: 278-02-005				
				SHEET No.: 5 OF 8				



NOTES:

- 1) WEIR MAY BE 1/4" THICK STAINLESS STEEL OR 3/8" THICK ALUMINIUM PLATE, CUT AND BENT TO CONFORM TO THE CHAMBER WALLS.
- 2) ATTACH WITH S.S. OR THICK ALUMINIUM SCREWS. SEAL WITH MASTIC.

DIVERSIONARY WEIR DETAIL  
NOT TO SCALE



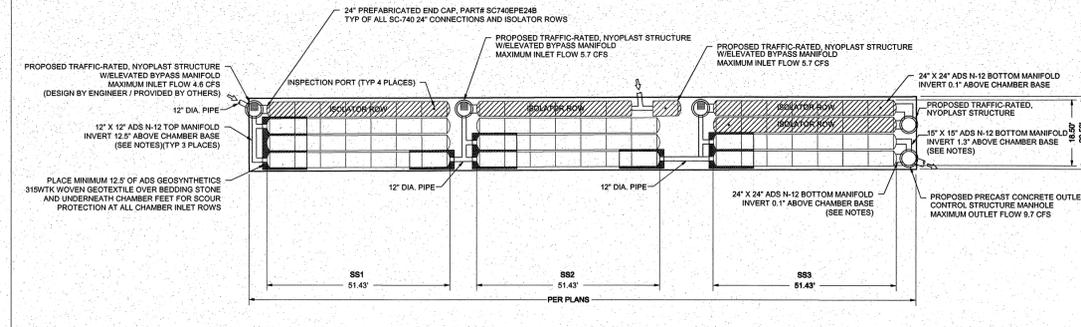


PROPOSED LAYOUT - SS1-3	
84	STORMTECH SC-740 CHAMBERS
24	STORMTECH SC-740 END CAPS
8	STONE ABOVE (D)
9	STONE BELOW (H)
40	% STONE VOID
7,849	INSTALLED SYSTEM VOLUME (CF)
2.1	VOID ISOLATOR ROW FLOW (CFS)
3,889	SYSTEM AREA (SQ)
401	SYSTEM PERIMETER (FT)

PROPOSED ELEVATIONS SS1-3	
MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED)	44.75
MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC)	38.15
MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC)	35.25
MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT)	38.25
MINIMUM ALLOWABLE GRADE (TOP OF RIGID PAVEMENT)	35.25
TOP OF STONE	37.25
TOP OF SC-740 CHAMBER	36.75
12" TOP MANHOLE INVERT	35.25
15" BOTTOM CONNECTION INVERT	34.36
24" BOTTOM CONNECTION INVERT	34.26
24" ISOLATOR ROW INVERT	34.26
BOTTOM OF SC-740 CHAMBER	34.25
BOTTOM OF STONE	33.50

**NOTES**  
 MANHOLE SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH SHEET #7 FOR MANHOLE SIZING GUIDANCE. DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANHOLE COMPONENTS IN THE FIELD.

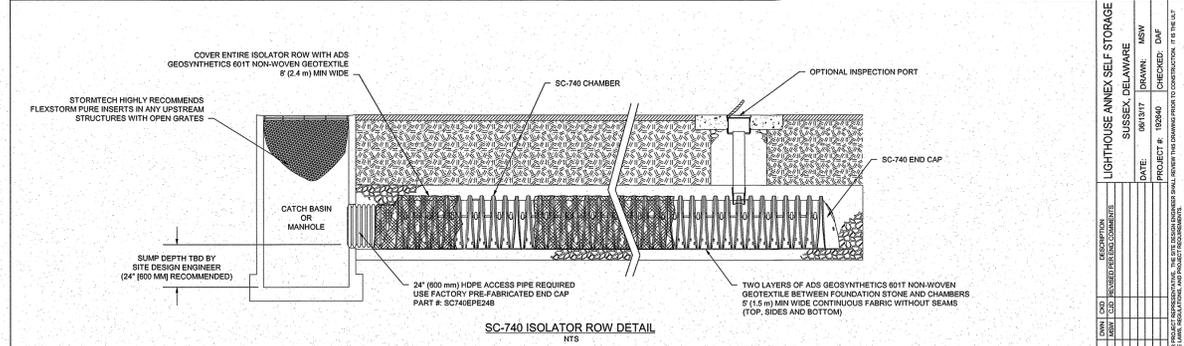


**LIGHTHOUSE ANNEX SELF STORAGE**  
 SUSSEX, DELAWARE  
 DATE: 09/13/17 DRAWN: MSW  
 PROJECT #: 182640 CHECKED: DAF

**Stormtech**  
 4640 TREHMAN BLVD  
 HILLARIO, OH 43026

**ADS**  
 4640 TREHMAN BLVD  
 HILLARIO, OH 43026

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**INSPECTION & MAINTENANCE**

**STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT**

A. INSPECTION PORTS (IF PRESENT)

A.1. REMOVE/OPEN ID OR/NO PLAST INLINE DRAIN

A.2. REMOVE AND CLEAN FLEXTORM FILTER IF INSTALLED

A.3. USING A FLASHLIGHT AND STADI ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG

A.4. LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)

A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

B. ALL ISOLATOR ROWS

B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW

B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE

B.3. IF MIRRORS OR POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY

B.4. FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE

B.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

**STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS**

A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED

B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLOW WATER IS CLEAR

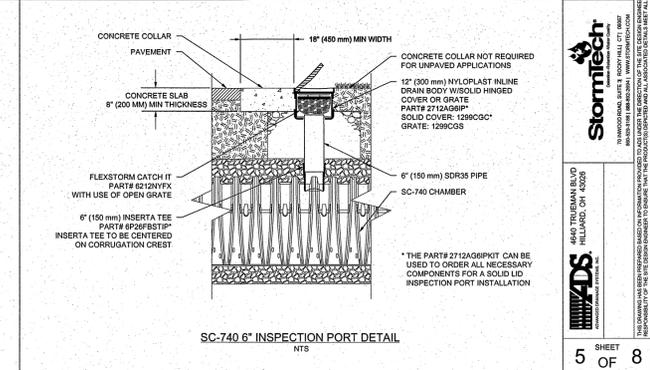
C. VACUUM STRUCTURE SUMP AS REQUIRED

**STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS. RECORD OBSERVATIONS AND ACTIONS.**

**STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.**

**NOTES**

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



**LIGHTHOUSE ANNEX SELF STORAGE**  
 SUSSEX, DELAWARE  
 DATE: 09/13/17 DRAWN: MSW  
 PROJECT #: 182640 CHECKED: DAF

**Stormtech**  
 4640 TREHMAN BLVD  
 HILLARIO, OH 43026

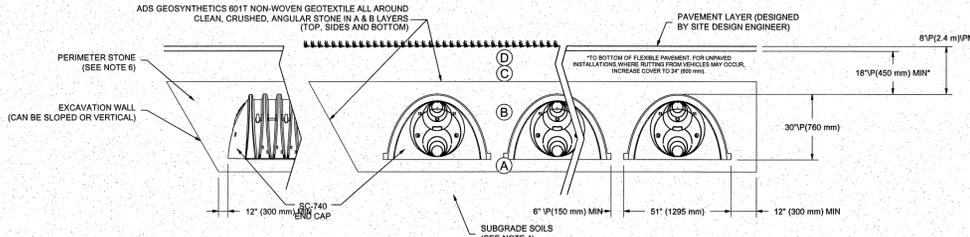
**ADS**  
 4640 TREHMAN BLVD  
 HILLARIO, OH 43026

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**ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS**

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('C' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <3% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M451 A-1, A-2-4, A-3 OR AASHTO M431 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 96% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 98% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (55 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M431 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M431 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. 1

- PLEASE NOTE:**
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE."
  - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO FULL COVERSAGES WITH A VIBRATORY COMPACTOR.
  - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



**LIGHTHOUSE ANNEX SELF STORAGE SS1-3 CROSS SECTION**

**NOTES:**

- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 'STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS', OR ASTM F2922 'STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS'.
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 'STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS'.
- 'ACCEPTABLE FILL MATERIALS' TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

**LIGHTHOUSE ANNEX SELF STORAGE**  
 SUSSEX, DELAWARE  
 DATE: 09/13/17 DRAWN: MSW  
 PROJECT #: 182640 CHECKED: DAF

**Stormtech**  
 4640 TREHMAN BLVD  
 HILLARIO, OH 43026

**ADS**  
 4640 TREHMAN BLVD  
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4 SHEET OF 8

**PROJECT INFORMATION**

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PRODUCT MANAGER	391-871-8455 CHUCK.LACEY@ADS-PIPE.COM
ADS SALES REP	ROSS FORTNER 810-353-5660 ROSS.FORTNER@ADS-PIPE.COM
PROJECT NO.	182640



**LIGHTHOUSE ANNEX SELF STORAGE**  
 SUSSEX, DELAWARE

**STORMTECH CHAMBER SPECIFICATIONS**

- CHAMBERS SHALL BE STORMTECH SC-740 OR SC-310.
- CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN POLYPROPYLENE OR POLYETHYLENE RESINS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO STANDARD TRUCK, WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL MEET ASTM F2922 (POLYETHYLENE) OR ASTM F2418-16 (POLYPROPYLENE), 'STANDARD SPECIFICATION FOR THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS'.
- CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOADS DETERMINED IN ACCORDANCE WITH ASTM F2787 'STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS'.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE.
  - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY AASHTO FOR THERMOPLASTIC PIPE.
  - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET; THE 50-YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2418 OR ASTM F2922 MUST BE USED AS PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
  - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL EVALUATION IS BASED.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

**IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-310/SC-740 SYSTEM**

- STORMTECH SC-310 & SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
  - STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE 'STORMTECH SC-310/SC-740/SC-780 CONSTRUCTION GUIDE'.
  - CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
    - STONES/ROCK LOCATED OFF THE CHAMBER BED.
    - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
    - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
  - THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
  - JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
  - MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
  - EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4" (20-25 mm).
  - THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
  - ADS RECOMMENDS THE USE OF 'FLEXTORM CATCH IT' INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.
- NOTES FOR CONSTRUCTION EQUIPMENT**
- STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE 'STORMTECH SC-310/SC-740/SC-780 CONSTRUCTION GUIDE'.
  - THE USE OF CONSTRUCTION EQUIPMENT OVER SC-310 & SC-740 CHAMBERS IS LIMITED:
    - NO EQUIPMENT IS ALLOWED ON BASE CHAMBERS.
    - NO RUBBER TIRE LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE 'STORMTECH SC-310/SC-740/SC-780 CONSTRUCTION GUIDE'.
    - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE 'STORMTECH SC-310/SC-740/SC-780 CONSTRUCTION GUIDE'.
  - FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.
- USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE 'DUMP AND PUSH' METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.
- CONTACT STORMTECH AT 1-888-882-2884 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

DESIGNED BY: JWS3	DRAWN BY: SEL	CHECKED BY: JWS3	<b>SWM SYSTEM DETAILS AND NOTES</b>
<b>SELF STORAGE &amp; OFFICE BUILDINGS</b> LIGHTHOUSE ANNEX TAX MAP 533-17-00-83.00 SUSSEX COUNTY DELAWARE			
JOHN W. SALM, III REVISIONS 11/02/17 12/05/17 01/31/18			<b>J. W. SALM ENGINEERING, INC.</b> P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811
SCALE: NO SCALE	DATE: FEB 2017	DRAWING No.:	
		278-02-006	6 OF 8

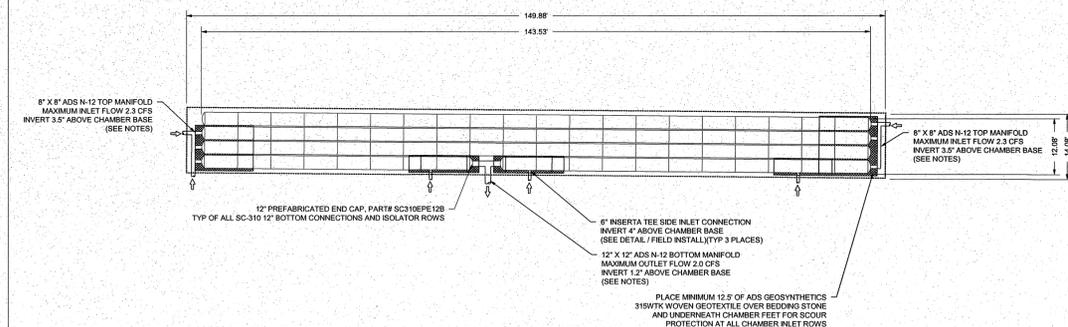
**PROPOSED LAYOUT - SS4**

79	STORMTECH SC-310 CHAMBERS
10	STORMTECH SC-310 END CAPS
6	STONE ABOVE (B)
9	STONE BELOW (B)
42	1/2" STONE VOID
2,881	INSTALLED SYSTEM VOLUME (CF) (PERMETER STONE INCLUDED)
2,111	SYSTEM AREA (SF)
328	SYSTEM PERIMETER (ft)

**PROPOSED ELEVATIONS - SS4**

MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED)	43.08
MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC)	37.58
MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC)	37.08
MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT)	37.08
MINIMUM ALLOWABLE GRADE (TOP OF RIGID PAVEMENT)	37.08
TOP OF SC-310 CHAMBER	36.08
8" TOP MANIFOLD INVERT	34.54
INSERTA TEE SIDE INLET CONNECTION INVERT	34.56
12" BOTTOM MANIFOLD INVERT	34.33
BOTTOM OF SC-310 CHAMBER	34.25
BOTTOM OF STONE	33.50

**NOTES**  
 MANIFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH SHEET #7 FOR MANIFOLD SIZING GUIDANCE. DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD. THE SITE DESIGN ENGINEER MUST REVIEW THE PROXIMITY OF THE CHAMBERS TO THE BUILDING/STRUCTURE. NO FOUNDATION LOADS SHALL BE TRANSMITTED TO THE CHAMBERS. THE SITE DESIGN ENGINEER MUST CONSIDER EFFECTS OF POSSIBLE SATURATED SOILS ON BEARING CAPACITY OF SOILS AND SEEPAGE INTO BASEMENTS. THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.



**LIGHTHOUSE ANNEX SELF STORAGE**  
 SUSSEX, DELAWARE  
 DATE: 06/13/17 DRAWN: MSW  
 CHECKED: DAF  
 PROJECT #: 102640

4640 TRUBMAN BLVD  
 HILLIARD, OH 43026

**ADS**  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 102640

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**SC-310 TECHNICAL SPECIFICATION**  
 NTS

ACCEPTS 4\" (100 mm) SCH 40 PVC PIPE FOR INSPECTION PORT. FOR PIPE SIZES LARGER THAN 4\" (100 mm) UP TO 10\" (250 mm) USE INSERTA TEE CONNECTION CENTERED ON A CHAMBER CREST CORRUIGATION.

NOMINAL CHAMBER SPECIFICATIONS  
 SIZE (W X H X INSTALLED LENGTH) 34.0\" X 16.0\" X 85.4\" (864 mm X 406 mm X 2169 mm)  
 CHAMBER STORAGE 14.7 CUBIC FEET (0.42 m³)  
 MINIMUM INSTALLED STORAGE\* 31.0 CUBIC FEET (0.88 m³)  
 WEIGHT 35.0 lbs. (16.8 kg)

\*ASSUMES 6\" (152 mm) ABOVE, BELOW, AND BETWEEN CHAMBERS

PART #	STUB	A	B	C
SC310EP001 / SC310EP06TPC	6\" (150 mm)	9.6\" (244 mm)	5.8\" (147 mm)	0.5\" (13 mm)
SC310EP008 / SC310EP08TPC	8\" (200 mm)	11.9\" (302 mm)	3.5\" (89 mm)	0.6\" (15 mm)
SC310EP101 / SC310EP10TPC	10\" (250 mm)	12.7\" (323 mm)	1.4\" (36 mm)	0.7\" (18 mm)
SC310EP121 / SC310EP12TPC	12\" (300 mm)	12.7\" (323 mm)	13.5\" (343 mm)	0.7\" (18 mm)

PRE-FAB STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH 'B'  
 PRE-FAB STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH 'T'  
 PRE-CORED END CAPS END WITH 'TC'

ALL STUBS, EXCEPT FOR THE SC310EP12B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-862-2684.

\*FOR THE SC310EP12B THE 12\" (300 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 0.25\" (6 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL.

**SC-740 TECHNICAL SPECIFICATION**  
 NTS

NOMINAL CHAMBER SPECIFICATIONS  
 SIZE (W X H X INSTALLED LENGTH) 51.0\" X 30.0\" X 85.4\" (1295 mm X 762 mm X 2169 mm)  
 CHAMBER STORAGE 45.9 CUBIC FEET (1.30 m³)  
 MINIMUM INSTALLED STORAGE\* 74.9 CUBIC FEET (2.12 m³)  
 WEIGHT 75.0 lbs. (33.6 kg)

\*ASSUMES 6\" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS

PART #	STUB	A	B	C
SC740EP001 / SC740EP06TPC	6\" (150 mm)	10.9\" (277 mm)	18.5\" (470 mm)	0.5\" (13 mm)
SC740EP008 / SC740EP08TPC	8\" (200 mm)	12.2\" (310 mm)	16.5\" (419 mm)	0.6\" (15 mm)
SC740EP101 / SC740EP10TPC	10\" (250 mm)	13.4\" (340 mm)	14.5\" (368 mm)	0.7\" (18 mm)
SC740EP121 / SC740EP12TPC	12\" (300 mm)	14.7\" (373 mm)	12.5\" (318 mm)	1.2\" (30 mm)
SC740EP151 / SC740EP15TPC	15\" (375 mm)	18.4\" (467 mm)	9.0\" (229 mm)	1.3\" (33 mm)
SC740EP181 / SC740EP18TPC	18\" (450 mm)	19.7\" (500 mm)	5.0\" (127 mm)	1.6\" (41 mm)
SC740EP248*	24\" (600 mm)	18.5\" (470 mm)	---	0.1\" (3 mm)

PRE-FAB STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH 'B'  
 PRE-FAB STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH 'T'  
 PRE-CORED END CAPS END WITH 'TC'

ALL STUBS, EXCEPT FOR THE SC740EP248 ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-862-2684.

\*FOR THE SC740EP248 THE 24\" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75\" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL.

**LIGHTHOUSE ANNEX SELF STORAGE**  
 SUSSEX, DELAWARE  
 DATE: 06/13/17 DRAWN: MSW  
 CHECKED: DAF  
 PROJECT #: 102640

4640 TRUBMAN BLVD  
 HILLIARD, OH 43026

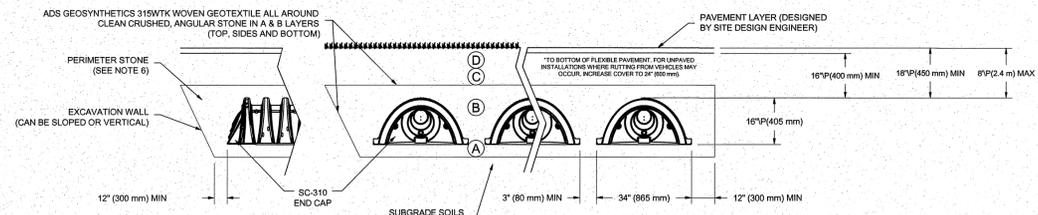
**ADS**  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 102640

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**ACCEPTABLE FILL MATERIALS: STORMTECH SC-310 CHAMBER SYSTEMS**

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18\" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M14E1 A-1, A-2.4, A-3 OR AASHTO M431 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12\" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6\" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO 18\" (450 mm) ABOVE THE TOP OF THE CHAMBER.	AASHTO M431 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M431 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. **

PLEASE NOTE:  
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE."  
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6\" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.  
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



**LIGHTHOUSE ANNEX SS-4 CROSS SECTION**

- NOTES:**
- SC-310 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2522 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
  - SC-310 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
  - "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
  - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
  - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
  - ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

**LIGHTHOUSE ANNEX SELF STORAGE**  
 SUSSEX, DELAWARE  
 DATE: 06/13/17 DRAWN: MSW  
 CHECKED: DAF  
 PROJECT #: 102640

4640 TRUBMAN BLVD  
 HILLIARD, OH 43026

**ADS**  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 102640

6 SHEET OF 8



July 5, 2017  
 John W. Salm, III, P.E.  
 J.W. Salm Engineering, Inc.  
 12432 Collins Road 62 N DuPont Hwy  
 Bishopville MD 21813

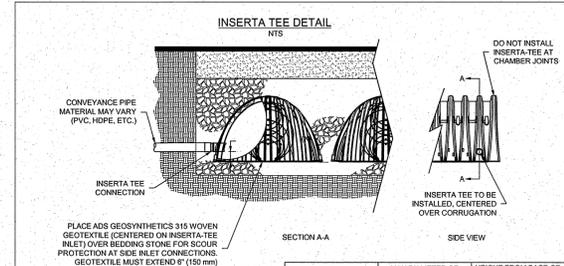
SUBJECT: Lighthouse Annex Self Storage  
 Modified Installation Technique for Infiltration Systems

John,

This memorandum outlines a modified installation technique for installing StormTech systems where infiltration is the primary method for draining the system. These modified techniques are provided to help ensure that the base soil is not compacted thus maintaining the design infiltration rate used in your hydraulic computations. This modified installation technique may result in some minor settlement of the chambers as the soils naturally consolidate.

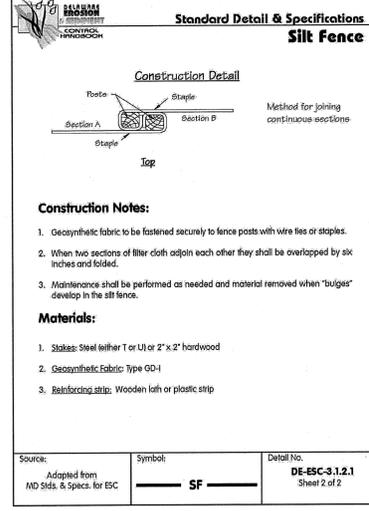
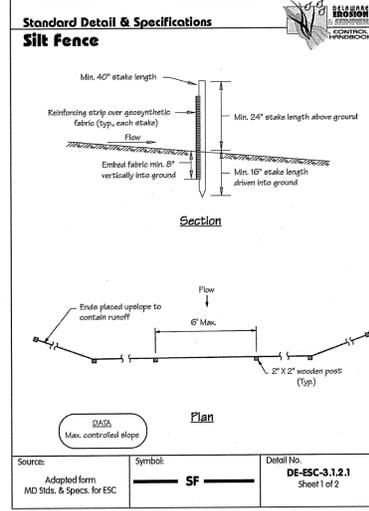
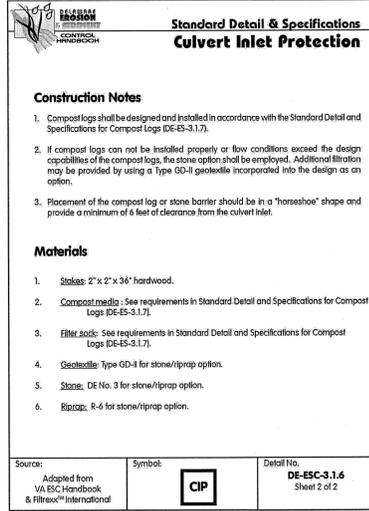
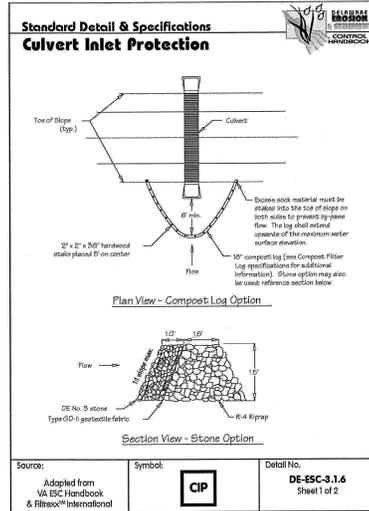
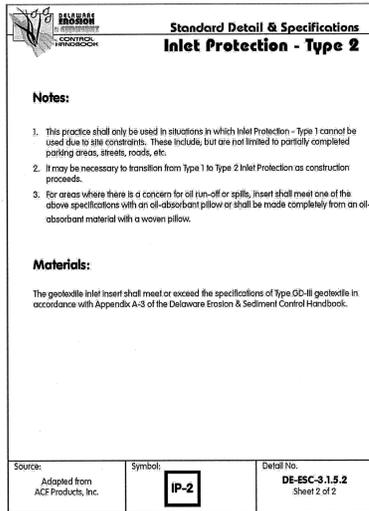
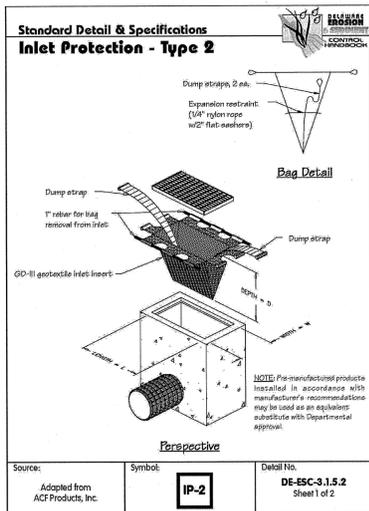
- To safeguard against over-compacting the base soil, excavating equipment should not be operating directly on the base soil. A dig as you go method should be employed with the excavator sitting above the excavation. The bottom of the infiltration basin may be scaffolded if desired.
- Excavate and level the designated area. Be sure to excavate at least one extra foot around the perimeter to allow for proper fit and installation of perimeter stone.
- Excavation must be free of standing water. Positive drainage of the excavation (dewatering) shall be maintained during installation.
- A drainage net shall be placed over the subgrade soils before the base stone is applied to assist in separation of the subgrade and system aggregate. (Tech Note #5).
- AASHTO M292 Class 2 nonwoven filter fabric should be placed and up the sides of the excavated walls and above the final layer of embedment stone per StormTech Construction Guide.
- Place acceptable clean, crushed, angular stone foundation material over the entire bottom surface of the bed. Stone gradation shall be in accordance with the applicable StormTech Construction Guide.
- Based upon an assumed bearing capacity of 2.5 ksf and the proposed grades having an approximate cover height of 1.5 feet above the top of the chamber, a foundation stone thickness of 9 inches has been recommended.
- The use of a vibratory roller to compact the foundation stone may be waived. However, the use of a vibratory roller to compact the initial fill above the chambers shall be in accordance with the StormTech Construction Guide.
- Based on this modified installation practice, it is recommended that final paving not commence until at least 45 days after installation of the system to allow for possible consolidation of the soils beneath the foundation stone.

*Chuck Lacey, PE*  
 Engineering Product Manager, StormTech/ADS



CHAMBER	MAX DIAMETER OF INSERTA TEE	HEIGHT FROM BASE OF CHAMBER (D)
SC-310	6\" (150 mm)	4\" (100 mm)
SC-740	12\" (300 mm)	4\" (100 mm)
DC-780	10\" (250 mm)	4\" (100 mm)
MC-3500	12\" (300 mm)	6\" (150 mm)
MC-4500	12\" (300 mm)	8\" (200 mm)

NOTE: INSERTA TEE FITTINGS AVAILABLE FOR SCH 20, SCH 30, SCH 40, SCH 80, SCH 100, SCH 120, SCH 140, SCH 160, SCH 180, SCH 200, SCH 240, SCH 280, SCH 300, SCH 360, SCH 40, SCH 48, SCH 60, SCH 72, SCH 84, SCH 96, SCH 108, SCH 120, SCH 144, SCH 168, SCH 192, SCH 216, SCH 240, SCH 288, SCH 324, SCH 360, SCH 408, SCH 456, SCH 504, SCH 576, SCH 648, SCH 720, SCH 800, SCH 864, SCH 936, SCH 1008, SCH 1080, SCH 1152, SCH 1224, SCH 1296, SCH 1368, SCH 1440, SCH 1512, SCH 1584, SCH 1656, SCH 1728, SCH 1800, SCH 1872, SCH 1944, SCH 2016, SCH 2088, SCH 2160, SCH 2232, SCH 2304, SCH 2376, SCH 2448, SCH 2520, SCH 2592, SCH 2664, SCH 2736, SCH 2808, SCH 2880, SCH 2952, SCH 3024, SCH 3096, SCH 3168, SCH 3240, SCH 3312, SCH 3384, SCH 3456, SCH 3528, SCH 3600, SCH 3672, SCH 3744, SCH 3816, SCH 3888, SCH 3960, SCH 4032, SCH 4104, SCH 4176, SCH 4248, SCH 4320, SCH 4392, SCH 4464, SCH 4536, SCH 4608, SCH 4680, SCH 4752, SCH 4824, SCH 4896, SCH 4968, SCH 5040, SCH 5112, SCH 5184, SCH 5256, SCH 5328, SCH 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### Standard Detail & Specifications Vegetative Stabilization

Mix #	Species*	Seeding Rate	Optimum Seeding Dates*	Planting Depth*
1	Grass	1.5	April 15 - May 15	1/2 inch
2	Grass	1.5	April 15 - May 15	1/2 inch
3	Grass	1.5	April 15 - May 15	1/2 inch
4	Grass	1.5	April 15 - May 15	1/2 inch
5	Grass	1.5	April 15 - May 15	1/2 inch
6	Grass	1.5	April 15 - May 15	1/2 inch
7	Grass	1.5	April 15 - May 15	1/2 inch
8	Grass	1.5	April 15 - May 15	1/2 inch

Source: Delaware ESC Handbook Symbol: **DE-ESC-3.4.3** Sheet 1 of 4

### Standard Detail & Specifications Vegetative Stabilization

Seeding Method	Seeding Rate	Optimum Seeding Dates*	Remarks
Hand Seeding	1.5	April 15 - May 15	Use on slopes less than 1:1
Machine Seeding	1.5	April 15 - May 15	Use on slopes less than 1:1
Machine Seeding	1.5	April 15 - May 15	Use on slopes less than 1:1
Machine Seeding	1.5	April 15 - May 15	Use on slopes less than 1:1
Machine Seeding	1.5	April 15 - May 15	Use on slopes less than 1:1
Machine Seeding	1.5	April 15 - May 15	Use on slopes less than 1:1
Machine Seeding	1.5	April 15 - May 15	Use on slopes less than 1:1
Machine Seeding	1.5	April 15 - May 15	Use on slopes less than 1:1

Source: Delaware ESC Handbook Symbol: **DE-ESC-3.4.3** Sheet 2 of 4

### Standard Detail & Specifications Vegetative Stabilization

Seeding Method	Seeding Rate	Optimum Seeding Dates*	Remarks
Hand Seeding	1.5	April 15 - May 15	Use on slopes less than 1:1
Machine Seeding	1.5	April 15 - May 15	Use on slopes less than 1:1
Machine Seeding	1.5	April 15 - May 15	Use on slopes less than 1:1
Machine Seeding	1.5	April 15 - May 15	Use on slopes less than 1:1
Machine Seeding	1.5	April 15 - May 15	Use on slopes less than 1:1
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Machine Seeding	1.5	April 15 - May 15	Use on slopes less than 1:1

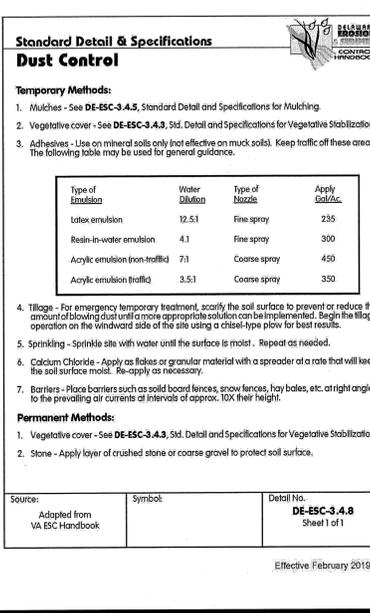
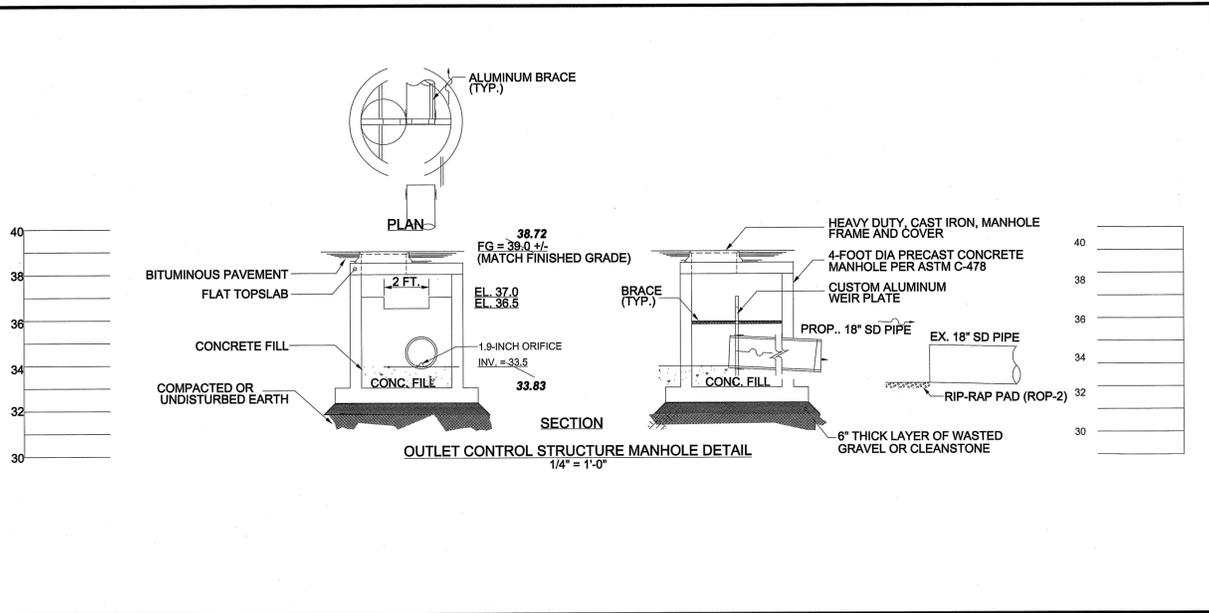
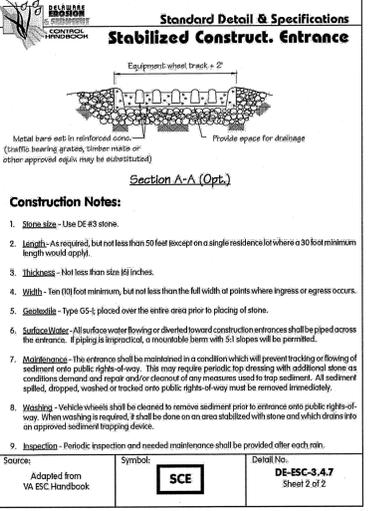
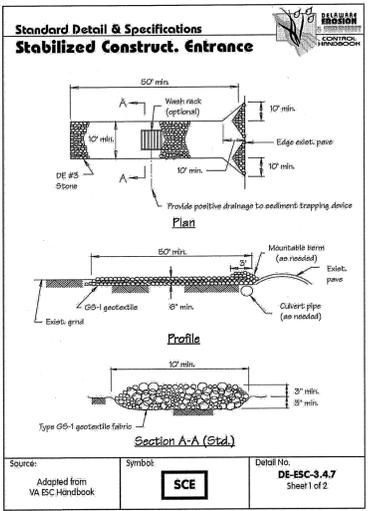
Source: Delaware ESC Handbook Symbol: **DE-ESC-3.4.3** Sheet 3 of 4

### Standard Detail & Specifications Vegetative Stabilization

**Construction Notes:**

- Site Preparation
  - Prior to seeding, install needed erosion and sediment control practices such as diversions, grade stabilization structures, berms, dikes, grassed waterways, and sediment basins.
  - Final grading and shaping is not necessary for temporary seedings.
- Seedbed Preparation
  - It is important to prepare a good seedbed to insure the success of establishing vegetation. The seedbed should be well prepared, loose, uniform, and free of large clods, rocks, and other objectionable material. The soil surface should not be compacted or crusted.
- Soil Amendments
  - Apply liming materials based on the recommendations of a soil test in accordance with the approved nutrient management plan. If a nutrient management plan is not required, apply dolomitic limestone at the rate of 1 to 2 tons per acre. Apply limestone uniformly and incorporate into the top 4 to 6 inches of soil.
  - Fertilizer - Apply fertilizer based on the recommendations of a soil test in accordance with the approved nutrient management plan. If a nutrient management plan is not required, apply a formulation of 10-10-10 at the rate of 600 pounds per acre. Apply fertilizer uniformly and incorporate into the top 4 to 6 inches of soil.
- Seeding
  - For temporary stabilization, select a mixture from Sheet 1. For permanent stabilization, select a mixture from Sheet 2 or Sheet 3 depending on the conditions. Alternative seed mixes may be used with prior approval from the Department or Delegated Agency.
  - Apply seed uniformly with a broadcast seeder, drill, catcutter seeder or hydroseeder. All seed will be applied at the recommended rate and planting depth.
  - Seed that has been broadcast should be covered by raking or dragging and then lightly tamped into place using a roller or catcutter. Hydroseeding is used and the seed and fertilizer is mixed, they will be mixed on site and the seeding shall be done immediately and without interruption.
- Mulching
  - All mulching shall be done in accordance with detail DE-ESC-3.4.5.

Source: Delaware ESC Handbook Symbol: **DE-ESC-3.4.3** Sheet 4 of 4



DESIGNED BY: JWS3	DRAWN BY: SEL	CHECKED BY: JWS3	<b>EROSION AND SEDIMENT CONTROL (ESC) DETAILS &amp; NOTES</b>	
JOHN W. SALM, III LICENSED PROFESSIONAL ENGINEER STATE OF DELAWARE LICENSE NO. 8971			<b>SELF STORAGE &amp; OFFICE BUILDINGS LIGHTHOUSE ANNEX TAX MAP 533-17-00-83.00</b>	
REVISIONS 11/02/17 1/10/18 08/12/20			BALTIMORE HUNDRED SUSSEX COUNTY	DELAWARE
<b>J. W. SALM ENGINEERING, INC.</b> P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811			SCALE: N.T.S.	DATE: FEB 2017
			DRAWING No.: 278-02-008	SHEET No.: 8 OF 8

### Standard Detail & Specifications Concrete Washout

**DATA TO BE PROVIDED:**  
Length (L)  
Width (W)  
Depth (D)

**Plan View**  
Forms required on all sides (including access drive location)  
Concrete Washout Sign  
Access drive to be paved on most material specifications of a Standard Construction Contract (DE-ESC-3.6.2)

**Section A-A**  
10' x 10' Area of Compacted Earth  
2' Slope  
10' x 10' Area of Compacted Earth  
10' x 10' Area of Compacted Earth  
Sandbag or concrete block  
Alternative Liner Option

**Source:** Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3  
**Symbol:** CW  
**Detail No.:** DE-ESC-3.6.2 Sheet 1 of 2  
Effective February 2019

### Standard Detail & Specifications Concrete Washout

**Construction Notes:**

1. Locate washout area a minimum of 50 feet from open channels, storm drain inlets, wetlands or waterbodies.
2. Locate washout area so that it is accessible to concrete equipment service with a minimum 10 foot wide gravel accessway, but so it is not in a highly active construction area causing accidental damage.
3. Minimum dimensions for prefabricated units are 4 feet by 4 feet by 1 foot deep with a minimum and polyethylene plastic liner. Minimum dimensions for constructed concrete washout areas are 6 feet by 6 feet by 3 feet deep, with a minimum 10' x 10' polyethylene liner, 2:1 side slopes, and a 1 foot high by 1 foot wide compacted fill berm.
4. The liner must be free of tears or holes and placed over smooth surfaces to prevent puncturing. For excavated washouts, anchor the liner underneath the berm or overlap with sandbags or concrete blocks to hold in place.
5. Provide a sign designating the washout area, and for large construction sites, provide signs throughout directing traffic to its location.
6. Allow washout area concrete mixture to harden through evaporation of the wastewater. Once the facility has reached 75 percent of its capacity remove the hardened concrete by reusing the broken aggregate onsite, recycling, or disposing of offsite. The hardened material can be buried on site with a minimum of 1 foot of clean, compacted fill.
7. Apply a new liner before reusing the station for additional washouts after maintenance has occurred.

**Source:** Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3  
**Symbol:** CW  
**Detail No.:** DE-ESC-3.6.2 Sheet 2 of 2  
Effective February 2019

### Standard Detail & Specifications Riprap Outlet Protection - 1

**Plan**  
NOTE: Depress centerline of apron slightly to prevent edge-outflow.

**Section A-A**  
NOTE: Key into embankment.

**DATA**  
Pipe diameter (D<sub>p</sub>)  
Apron length (L<sub>a</sub>)  
Apron width (W)  
Riprap size (R No.)  
Riprap thickness (T)

**Source:** Adapted from MD Sds. & Specs. for ESC  
**Symbol:** ROP-1  
**Detail No.:** DE-ESC-3.3.10.1 Sheet 1 of 2  
Effective February 2019

### Standard Detail & Specifications Riprap Outlet Protection - 1

**Construction Notes:**

1. The subgrade for the riprap shall be prepared to the required lines and grades as shown on the plan. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
2. The riprap shall conform to the grading limits as shown on the plan.
3. Filter cloth shall be protected from puncturing, cutting or tearing. Any damage other than an occasional small hole shall be repaired by placing another piece of cloth over the damaged area. All connecting joints should overlap a minimum of 1 ft. If the damage is extensive, replace the entire filter cloth.
4. Stone for the riprap or gabion outlets may be placed by equipment. Riprap shall be placed in a manner to prevent damage to the filter cloth. Hand placement will be required to the extent necessary to prevent damage to the conduits, structures, etc.

**Source:** Adapted from MD Sds. & Specs. for ESC  
**Symbol:** ROP-1  
**Detail No.:** DE-ESC-3.3.10.1 Sheet 2 of 2  
Effective February 2019

### Standard Detail & Specifications Riprap Outlet Protection - 2

**Plan**  
NOTE: Key into embankment.

**Section A-A**  
NOTE: Slope of bottom (S) to vary from pipe diameter or end section width to existing channel bottom at end of apron apron.

**Section B-B**  
NOTE: Slope of bottom (S) to vary from pipe diameter or end section width to existing channel bottom at end of apron apron.

**DATA**  
Pipe diameter (D<sub>p</sub>)  
Apron length (L<sub>a</sub>)  
Apron width (W)  
Bottom width (B)  
Riprap depth (D)  
Riprap size (R No.)  
Riprap thickness (T)

**Source:** Adapted from MD E&S Manual  
**Symbol:** ROP-2  
**Detail No.:** DE-ESC-3.3.10.2 Sheet 1 of 2  
Effective February 2019

### Standard Detail & Specifications Riprap Outlet Protection - 2

**Construction Notes:**

1. The subgrade for the riprap shall be prepared to the required lines and grades as shown on the plan. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
2. The riprap shall conform to the grading limits as shown on the plan.
3. Filter cloth shall be protected from puncturing, cutting or tearing. Any damage other than an occasional small hole shall be repaired by placing another piece of cloth over the damaged area. All connecting joints should overlap a minimum of 1 ft. If the damage is extensive, replace the entire filter cloth.
4. Stone for the riprap or gabion outlets may be placed by equipment. Riprap shall be placed in a manner to prevent damage to the filter cloth. Hand placement will be required to the extent necessary to prevent damage to the conduits, structures, etc.

**Source:** Adapted from MD E&S Manual  
**Symbol:** ROP-2  
**Detail No.:** DE-ESC-3.3.10.2 Sheet 2 of 2  
Effective February 2019

### Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

**DATA TO BE PROVIDED:**  
Volume of Potential Pollution  
Height of containment  
Head of containment  
Volume of containment

**Plan View**  
Fuel Tank  
Double layer plastic sheeting or approved equivalent  
Min. 6\"/>

**Section A-A**  
Fuel Tank  
Double layer plastic sheeting  
Spill containment Area  
Stake as required per manufacturer guidelines

**Source:** Delaware ESC Handbook  
**Symbol:** DE-ESC-3.6.1  
**Detail No.:** DE-ESC-3.6.1 Sheet 1 of 5  
Effective February 2019

### Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

**Pollution Prevention - Spill Prevention**

1. Fueling should only take place in signed designated areas, away from downstream drainage facilities and watercourses.
2. Fueling must be with nozzles equipped with automatic shut-off to control drips. Do not top off.
3. Protect the areas where equipment or vehicles are being repaired, maintained, fueled or parked from storm water run-on and runoff.
4. Use barriers such as berms to prevent storm water run-on and runoff, and to contain spills.
5. Place a "Fueling Area" sign next to each fueling area.
6. Store hazardous materials such as fuel, solvents, oil and chemicals in secondary containment.
7. Inspect vehicles and equipment for leaks on each day of use. Repair fluid and oil leaks immediately.
8. Absorbent spill clean-up materials and spill kits must be available in fueling areas and on fuel trucks.
9. If fueling is to take place at night, make sure the fueling area is sufficiently illuminated.
10. Properly dispose of used oil, fluids, lubricants and spill clean-up materials.

**CLEAN UP SPILLS**

1. If it is safe to do so, immediately contain and clean up any chemical and/or hazardous material spills.
2. Properly dispose of used oil, fluids, lubricants and spill clean-up materials.
3. Do not bury spills or wash them down with water.

**LEAKS AND DRIPS**

1. Use drip pans or absorbent pads at all times. Place under and around leaky equipment.
2. Do not allow oil, grease, fuel or chemicals to drip onto the ground.
3. Have spill kits and clean up material on-site.
4. Repair leaky equipment promptly or remove problem vehicles and equipment from the site. Clean up contaminated soil immediately.
5. Store contaminated waste in sealed containers constructed of suitable material. Label these containers properly.
6. Clean up all spills and leaks. Promptly dispose of waste and spent clean up materials.

**Source:** Delaware ESC Handbook  
**Symbol:** DE-ESC-3.6.1  
**Detail No.:** DE-ESC-3.6.1 Sheet 2 of 5  
Effective February 2019

### Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

**Notes:**  
The Construction Site Pollution Prevention Plan should include the following elements:

1. **Material Inventory**  
Document the storage and use of the following materials:  
a. Concrete  
b. Deletants  
c. Paints (aerial and latex)  
d. Cleaning solvents  
e. Pesticides  
f. Wood scraps  
g. Fertilizers  
h. Petroleum based products.
2. **Good housekeeping practices**  
a. Store only enough product required to do the job.  
b. All materials shall be stored in a neat, orderly manner in their original labeled containers and covered.  
c. Substances shall not be mixed.  
d. When possible, all of a product shall be used prior to disposal of the container.  
e. Manufacturers' instructions for disposal shall be strictly adhered to.  
f. The site foreman shall designate someone to inspect all BMPs daily.
3. **Waste management practices**  
a. All waste materials shall be collected and stored in securely lidded dumpsters in a location that does not drain to a waterbody.  
b. Waste materials shall be salvaged and/or recycled whenever possible.  
c. The dumpster shall be emptied a minimum of twice per week, or more if necessary. The licensed trash hauler is responsible for cleaning out dumpsters.

**Source:** Adapted from USEPA Pub. 840-B-92-002  
**Symbol:** DE-ESC-3.6.1  
**Detail No.:** DE-ESC-3.6.1 Sheet 3 of 5  
Effective February 2019

### Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

**Notes (cont.)**

4. **Equipment maintenance practices**  
a. If possible, equipment should be taken to off-site commercial facilities for washing and maintenance.  
b. If performed on-site, vehicles shall be washed with high-pressure water spray without detergents in an area contained by an impervious berm.  
c. Drip pans shall be used for all equipment maintenance.  
d. Equipment shall be inspected for leaks on a daily basis.  
e. Washout from concrete trucks shall be disposed of in a temporary pit for hardening and proper disposal.  
f. Fuel nozzles shall be equipped with automatic shut-off valves.  
g. All used products such as oil, antifreeze, solvents and tires shall be disposed of in accordance with manufacturers' recommendations and local, state and federal laws and regulations.
5. **Spill prevention practices**  
a. Potential spill areas shall be identified and contained in covered areas with no connection to the storm drain system.  
b. Warning signs shall be posted in hazardous material storage areas.  
c. Preventive maintenance shall be performed on all tanks, valves, pumps, pipes and other equipment as necessary.  
d. Low or non-toxic substances shall be prioritized for use.

**Source:** Adapted from USEPA Pub. 840-B-92-002  
**Symbol:** DE-ESC-3.6.1  
**Detail No.:** DE-ESC-3.6.1 Sheet 4 of 5  
Effective February 2019

### Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

**Notes (cont.)**

- e. Contact information for reporting spills through the DNREC 24-hour Toll Free Number shall be prominently posted.
6. **Education**  
a. Best management practices for construction site pollution control shall be a part of regular progress meetings.  
b. Information regarding waste management, equipment maintenance and spill prevention shall be prominently posted in the construction trailer.

**CONTACT INFORMATION**

DNREC 24-Hour Toll Free Number	800-462-8802
DNREC Solid & Hazardous Waste Management Section	302-739-9403

**Source:** Adapted from USEPA Pub. 840-B-92-002  
**Symbol:** DE-ESC-3.6.1  
**Detail No.:** DE-ESC-3.6.1 Sheet 5 of 5  
Effective February 2019

### Standard Detail & Specifications Super Silt Fence

**Perspective**  
12\"/>

**Section**  
30\"/>

**DATA**  
Max. concentrated slope

**Source:** Adapted from MD Sds. & Specs. for ESC  
**Symbol:** SSF  
**Detail No.:** DE-ESC-3.1.2.3 Sheet 1 of 2  
Effective February 2019

### Standard Detail & Specifications Super Silt Fence

**Construction Notes:**

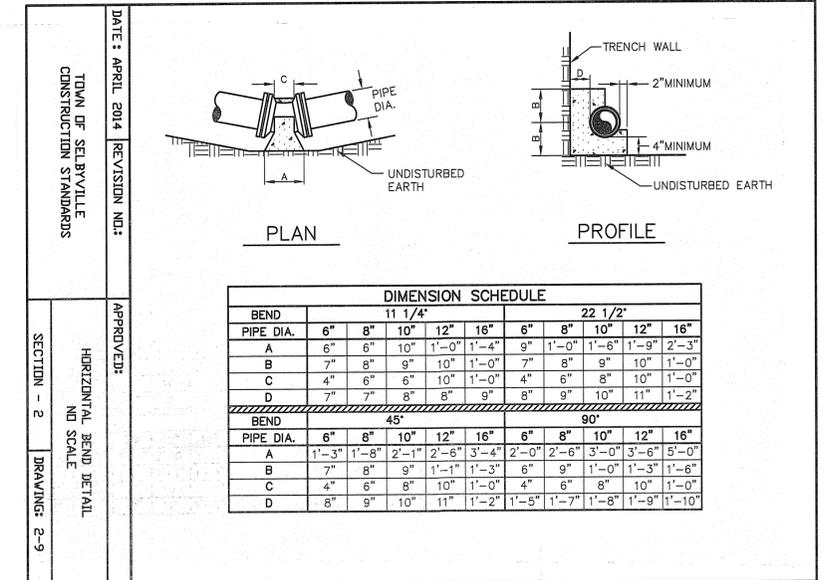
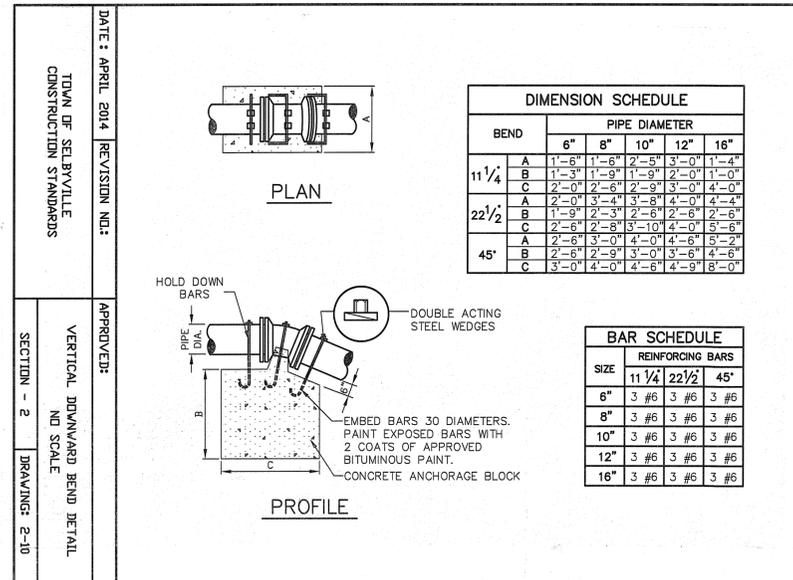
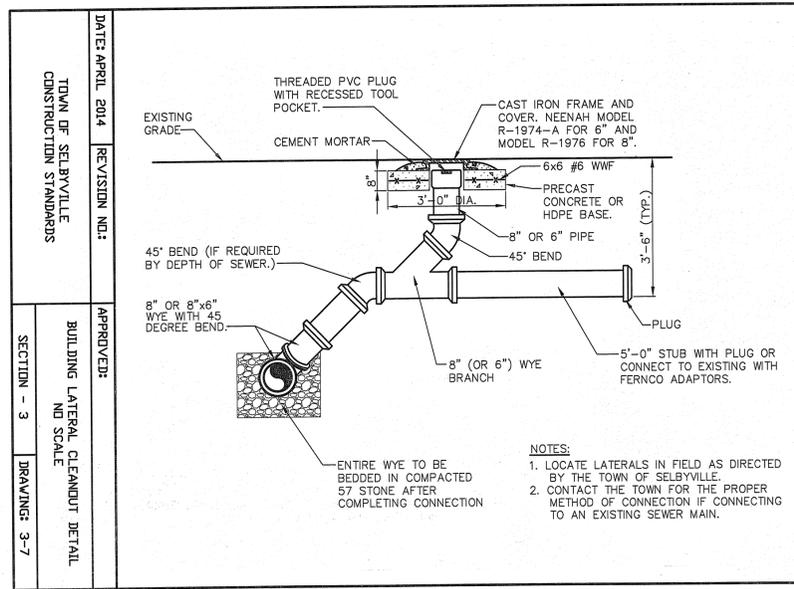
1. The poles do not need to be set in concrete.
2. Chain link fence shall be fastened securely to the fence posts with wire ties or staples.
3. Geotextile fabric shall be fastened securely to the chain link fence with ties spaced every 24\"/>
- 4. Geotextile fabric shall be embedded a minimum of 6\"/>
- 5. When two sections of geotextile fabric adjoin each other, they shall be overlapped by 6\"/>
- 6. Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence.

**Materials:**

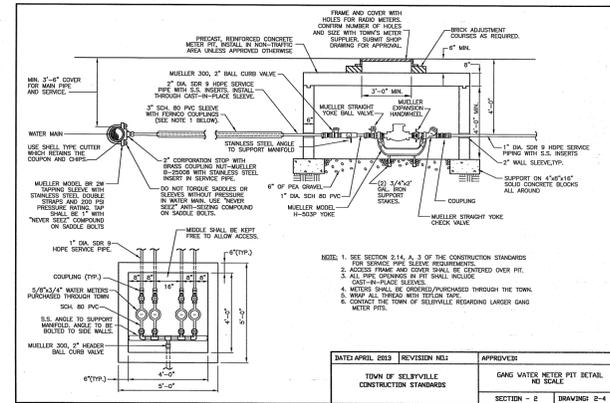
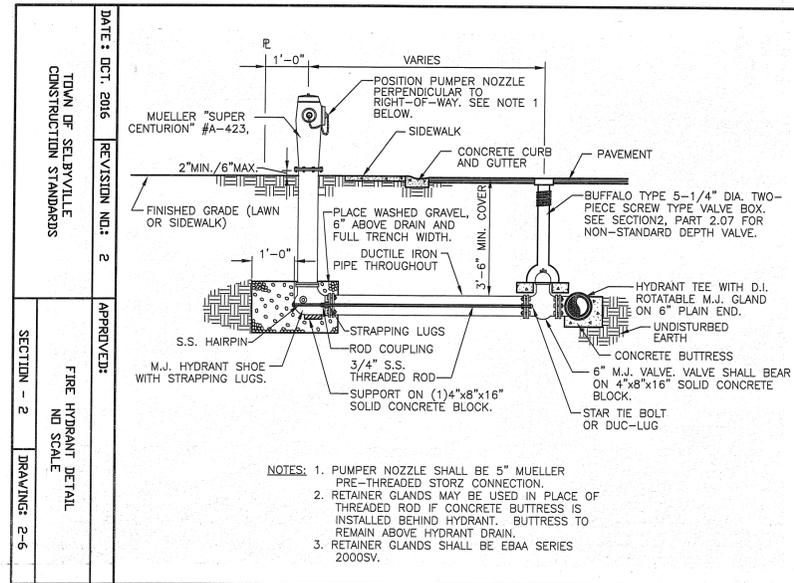
1. **Fencing:** Fencing shall be 42 inches in height and constructed in accordance with the latest Delaware Department of Transportation (DelDOT) Specifications for Chain Link Fencing Section 727. The DelDOT specification for a 6 foot fence shall be used, substituting 42 inch fabric and 6 foot length posts.
2. **Geotextile Fabric:** Type OD-1

**Source:** Adapted from MD Sds. & Specs. for ESC  
**Symbol:** SSF  
**Detail No.:** DE-ESC-3.1.2.3 Sheet 2 of 2  
Effective February 2019

DESIGNED BY: JWS3	DRAWN BY: SEL	CHECKED BY: JWS3	EROSION AND SEDIMENT CONTROL (ESC) DETAILS
JOHN W. Salm, III Professional Engineer License No. 8971			
REVISIONS 08/12/20			SELF STORAGE & OFFICE BUILDINGS LIGHTHOUSE ANNEX TAX MAP 533-17.00-83.00 SUSSEX COUNTY DELAWARE
SCALE:			J. W. Salm Engineering, Inc. P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811
DATE: N.T.S.		DRAWING No.:	SHEET No.:
FEB 2017		278-02-008A	8A OF 8

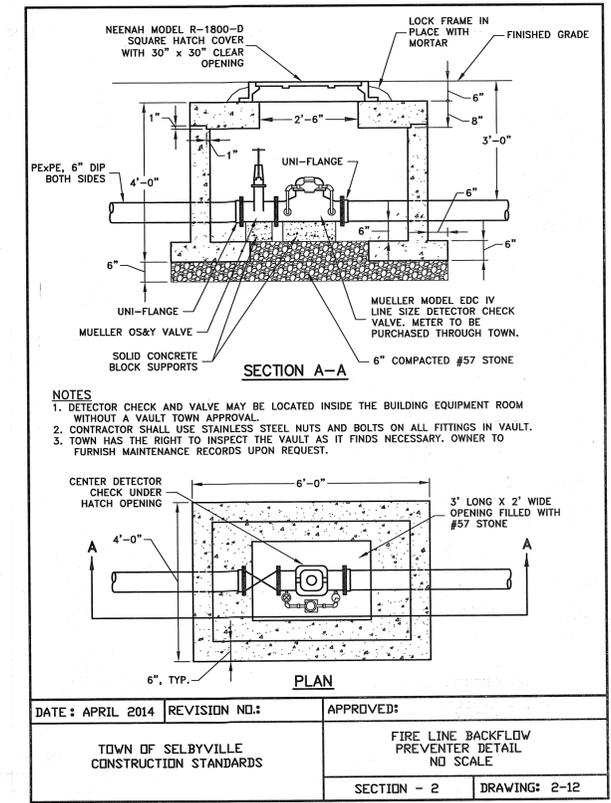
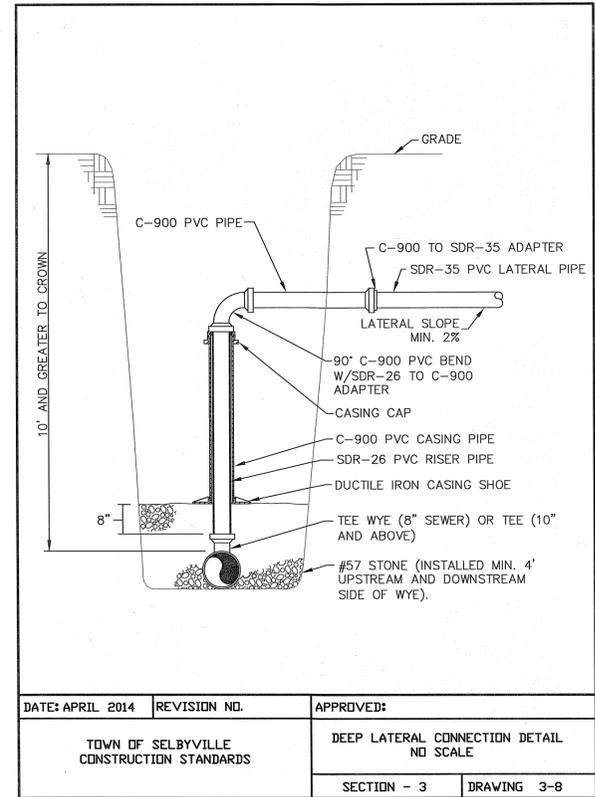
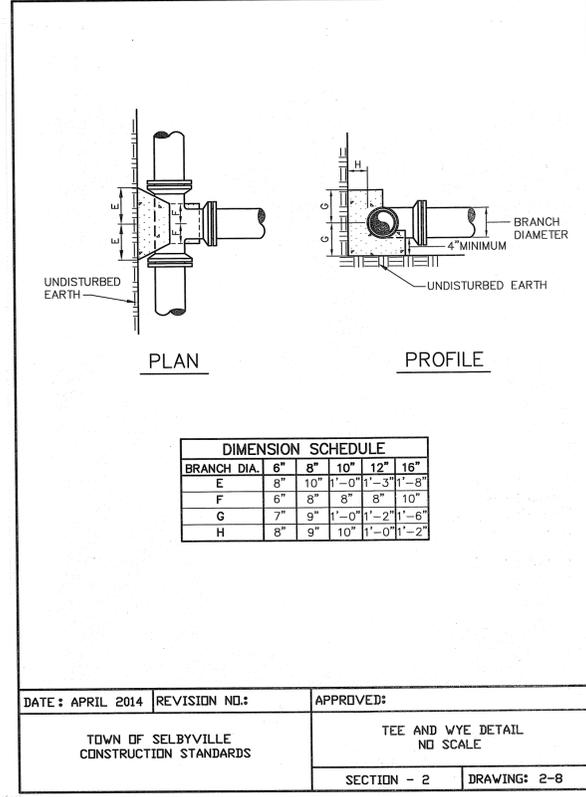
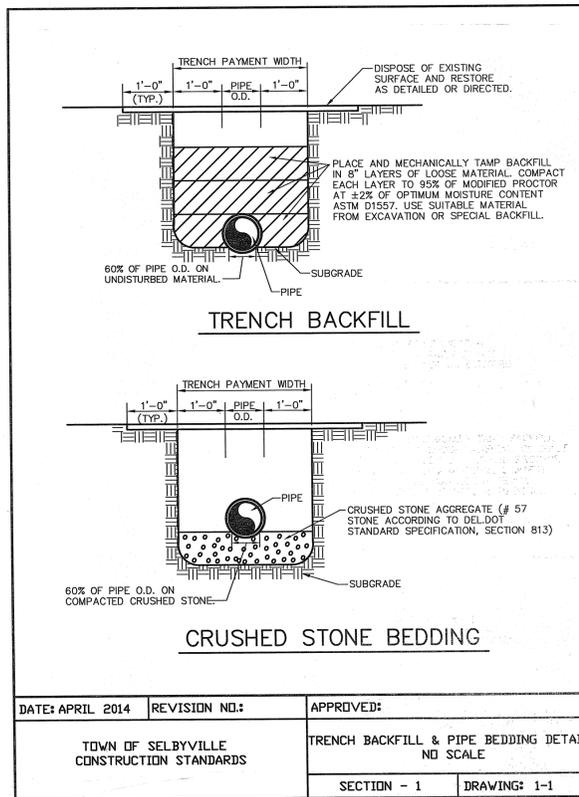


PHASE 2 ONLY



PHASE 2 ONLY

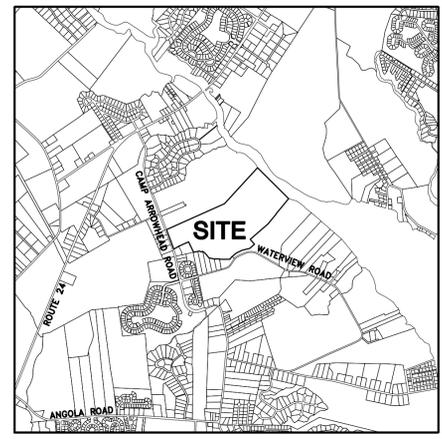
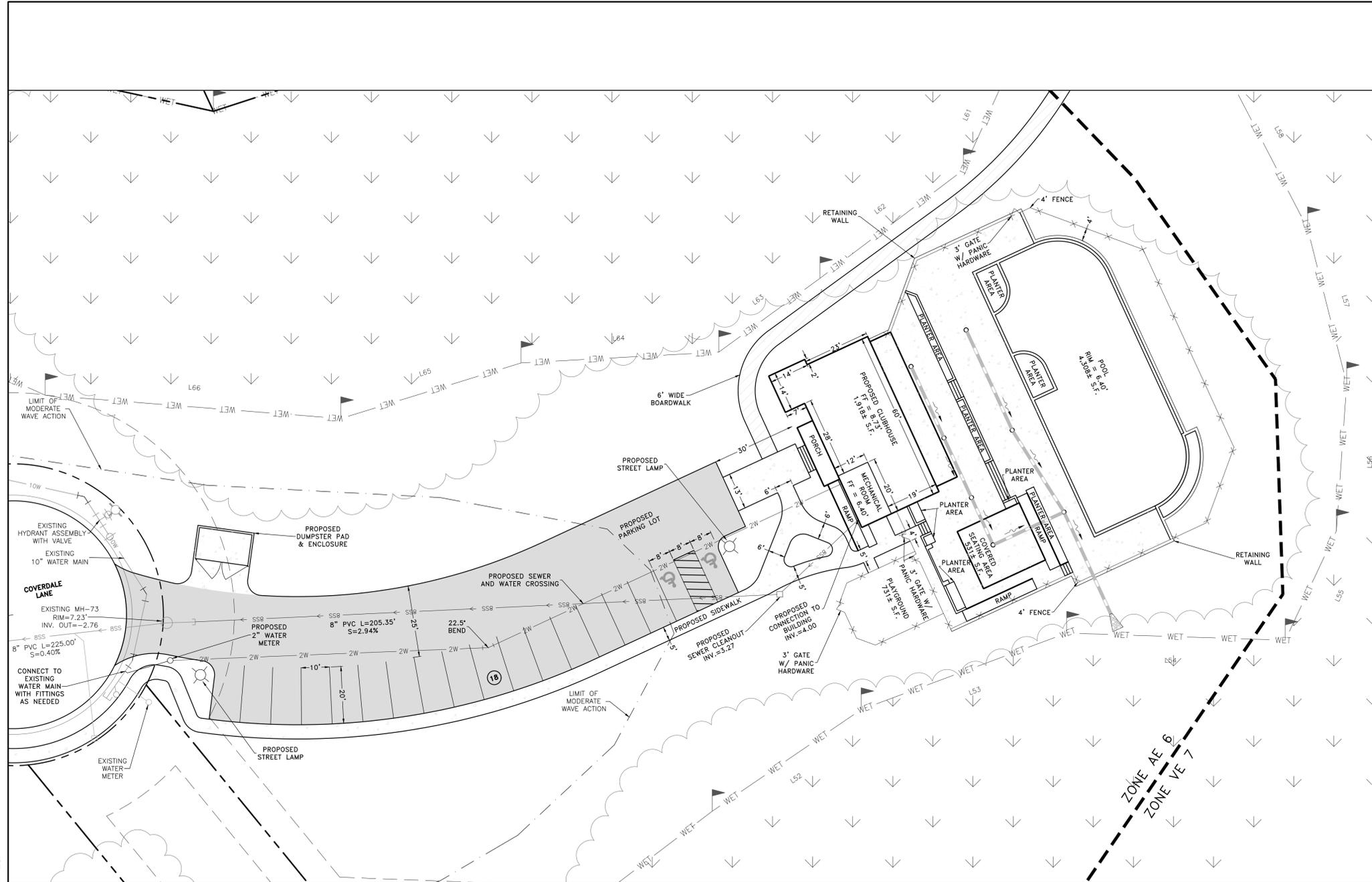
DESIGNED BY: JWS3	DRAWN BY: DAD	CHECKED BY: JWS3	TOWN DETAILS	
JOHN W. SALM, III			SELF STORAGE & OFFICE BULDINGS LIGHTHOUSE ANNEX TAX MAP 533-17.00-63.00	
REVISIONS			BALTIMORE HUNDRED SUBSEX COUNTY DELAWARE	
			<b>J. W. SALM ENGINEERING, INC.</b> P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811	
SCALE:	DATE:	DRAWING No.:	SHEET No.:	
N.T.S.	MAY 2019	278-02-008B	8B OF 8	



PHASE 2 ONLY

DESIGNED BY: JWS3	DRAWN BY: DAD	CHECKED BY: JWS3	TOWN DETAILS	
JOHN W. SALM, III			SELF STORAGE & OFFICE BLDINGS LIGHTHOUSE ANNEX TAX MAP 533-17.00-83.00	
REVISIONS			BALTIMORE HUNDRED 8385X COUNTY DELAWARE	
			<b>J. W. SALM ENGINEERING, INC.</b> P.O. BOX 379, 9842 MAIN STREET, SUITE 3 BERLIN, MD 21811	
SCALE:	DATE:	DRAWING No.:	SHEET No.:	
N.T.S.	MAY 2019	278-02-008C	8C OF 8	

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LOCATION MAP SCALE: 1" = 1/2 MILE

**DATA COLUMN**

TAX MAP NUMBER: 234-7.00-132.00  
 LOCATION: SCR 279 (CAMP ARROWHEAD ROAD), APPROX. 1/2 MILE SOUTH OF DE ROUTE 24

SUBDIVISION NUMBER: 2005-52 & 2008-25

DATUM: VERTICAL NAVD 88 HORIZONTAL NAD 83 (DE STATE PLANE)

EXISTING ZONING: AR-1  
 PROPOSED ZONING: AR-1

LOCAL LAND USE AGENCY: SUSSEX COUNTY GOLF COURSE CLUBHOUSE, SWIMMING POOL, PARKING LOT

PROPOSED SITE AREA: 4,308± S.F.  
 CLUBHOUSE: 1,918± S.F.  
 PARKING LOT: 9,458± S.F.  
 COVERED SEATING AREA: 531± S.F.  
 CONCRETE / SIDEWALK AREA: 9,062± S.F.  
 TOTAL IMPERVIOUS AREA: 25,257± S.F.

NET DEVELOPMENT AREA: 90,343.44± S.F. OR 2.074 AC

\*NOTE: ENTRANCE AND DRIVEWAYS TO BE PRIVATE AND MAINTAINED BY THE HOME OWNER'S ASSOCIATION.

PARKING DATA:  
 ONE SPACE IS REQUIRED FOR EVERY 50 S.F. OF FLOOR AREA FOR ROOMS HAVING MOVABLE SEATING.  
 PARKING SPACES REQUIRED: 750 S.F. / 50 S.F. = 15  
 PARKING SPACES PROVIDED: 18  
 HANDICAP SPACES PROVIDED: 2 WITH ONE VAN SPACE

SETBACKS  
 TOTAL: 25 FEET  
 SIDE: 10 FEET  
 REAR: 10 FEET

UTILITIES  
 WATER PROVIDER: TIDEWATER UTILITIES  
 SEWER PROVIDER: SUSSEX COUNTY COUNCIL

FLOOD HAZARD MAP: THE SITE IS LOCATED ON THE FEMA FLOOD INSURANCE RATE MAP #10001C0334K AND IN THE FLOOD ZONE AE 6

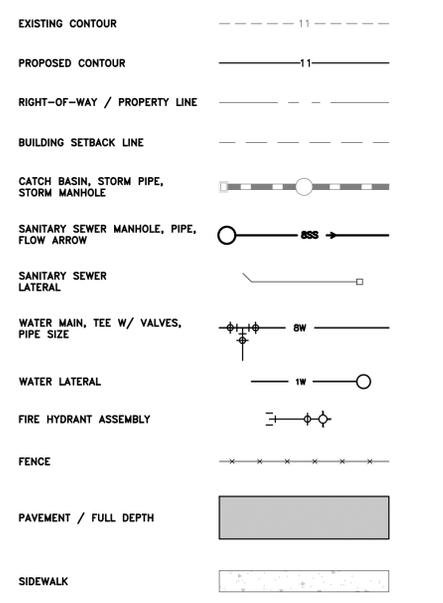
WETLANDS: SEE WETLANDS AREA MAP

LOD AREA: 55,929± S.F. OR

OWNER/DEVELOPER: SCHELL SPE, LLC, 20184 PHILLIPS ST, REHOBOTH BEACH, DE 19971

PREPARED BY: DAVIS, BOWEN, AND FRIEDEL, INC., RING W. LARDNER, P.E., 1 PARK AVENUE, MILFORD, DE 19963, 302-424-1441

**LEGEND**



**FIRE PROTECTION NOTES**

1. ALL FIRE LANES, HYDRANTS, EXITS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS (DSFPR, 705, CHAPTER 5).
2. WATER PROVIDER: TIDEWATER UTILITIES
3. PROPOSED BUILDING CONSTRUCTION: TYPE V (000)
4. INTENDED USE: CLUB HOUSE, POOL AND POOL DECK - ASSEMBLY
5. PROPOSED BUILDING HEIGHT: <42 FEET
6. PROPOSED BUILDING SQUARE FOOTAGE: 1,918 ± S.F.
7. SITE WILL BE SERVED BY AN UNDERGROUND CLOSED PIPE NATURAL GAS OR PROPANE SYSTEM.
8. AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.

**NOTES:**  
 -FIRE HYDRANTS, WATER VALVES, TEES, CROSSES, REDUCERS, WATER METERS AND BLOW-OFF SYMBOLS ON THE SITE PLAN ARE FOR GENERAL LOCATIONS. FOR PROPER LOCATION OF INSTALLATION OF THE ABOVE ITEMS, REFER TO DETAIL SHEET 03.  
 -ALL WATER MAINS MUST BE PLACED AT 2' BEHIND BACK OF CURB, UNLESS SHOWN DIFFERENTLY ON PLAN.  
 -POOL BACKWASH WILL NOT BE ACCEPTED INTO THE SANITARY SEWER SYSTEM.  
 -PRIOR TO THE CONSTRUCTION OF THE 6' WIDE BOARDWALK A PERMIT FROM DNREC SHALL BE ACQUIRED.

**ENGINEER'S STATEMENT**

I, JAMIE L. SECHLER, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVIS, BOWEN & FRIEDEL, INC.  
 by JAMIE L. SECHLER, P.E.

**DEVELOPER'S STATEMENT**

"I, THE UNDERSIGNED, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E., BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS.

SCHELL SPE, LLC, 20184 PHILLIPS ST, REHOBOTH BEACH, DE 19971  
 DATE

NOI# 6116

SCD APPROVAL BOX

ARCHITECTS ENGINEERS SURVEYORS  
 DAVIS, BOWEN & FRIEDEL, INC.  
 1319 PARK AVENUE  
 MILFORD, DELAWARE 19963  
 (302) 424-1441  
 EASTON, MARYLAND (410) 770-4744

**MARSH ISLAND CLUBHOUSE  
 CAMP ARROWHEAD ROAD  
 SUSSEX COUNTY, DELAWARE**

Revisions:

2020-09-29	TIDEWATER COMMENTS
2020-08-31	TIDEWATER COMMENTS
2020-09-09	PLANNING & ZONING COMMENTS

Date: AUGUST 2020  
 Scale: 1"=20'  
 Dwn.By: RPK  
 Proj.No.: 1319AQ26  
 Dwg.No.: 1



NOTE:  
SEE SHEET 3 FOR ADDITIONAL INFORMATION



**LEGEND**

SPOT GRADES



PIPE SCHEDULE											
LABEL	DESCRIPTION									INVERT ELEVATION	
	FROM	TO	SIZE (")	TYPE	LENGTH	CLASS	SLOPE (%)	UP	DOWN	UP	DOWN
P-2001	DI-2001	FE-2000	12	HDPE	41	*	4.61	4.37	2.50		
P-2002	DI-2002	DI-2001	6	HDPE	34	*	0.15	4.42	4.37		
P-2003	DI-2003	DI-2002	6	HDPE	39	*	0.15	4.48	4.42		
P-2004	DI-2004	DI-2001	6	HDPE	28	*	0.18	4.42	4.37		
P-2005	DI-2005	DI-2004	6	HDPE	18	*	0.16	6.75	6.72		
P-2006	DI-2006	DI-2005	6	HDPE	23	*	0.17	6.79	6.75		
P-2007	DI-2007	DI-2006	6	HDPE	28	*	0.14	6.83	6.79		

\* = HDPE PIPE SHALL COMPLY WITH AASHTO M252, M294, MP7, AND ASTM 3350. PIPE SHALL BE INSTALLED PER ASTM D2321 AND AS RECOMMENDED BY THE MANUFACTURER. ALL HDPE SHALL HAVE WATERTIGHT CONNECTIONS.

DRAINAGE INLET & MANHOLE SCHEDULE							
LABEL	DESCRIPTION			T.G. ELEV.	INVERT IN	INVERT IN	INVERT OUT
	BOX	TOP UNIT	GRATE				
DI-2001	18"	*	*	6.23		4.37	4.37
DI-2002	18"	*	*	6.23			4.42
DI-2003	18"	*	*	8.58			4.48
DI-2004	18"	*	*	8.58		6.72	4.42
DI-2005	18"	*	*	8.58		6.75	6.75
DI-2006	18"	*	*	8.58		6.79	6.79
DI-2007	18"	*	*	8.58			6.83

\* = SEE YARD INLET BASIN DETAIL

FLARED END SCHEDULE		
LABEL	SIZE/TYPE	INVERT
FE-2001	12" HDPE	2.50

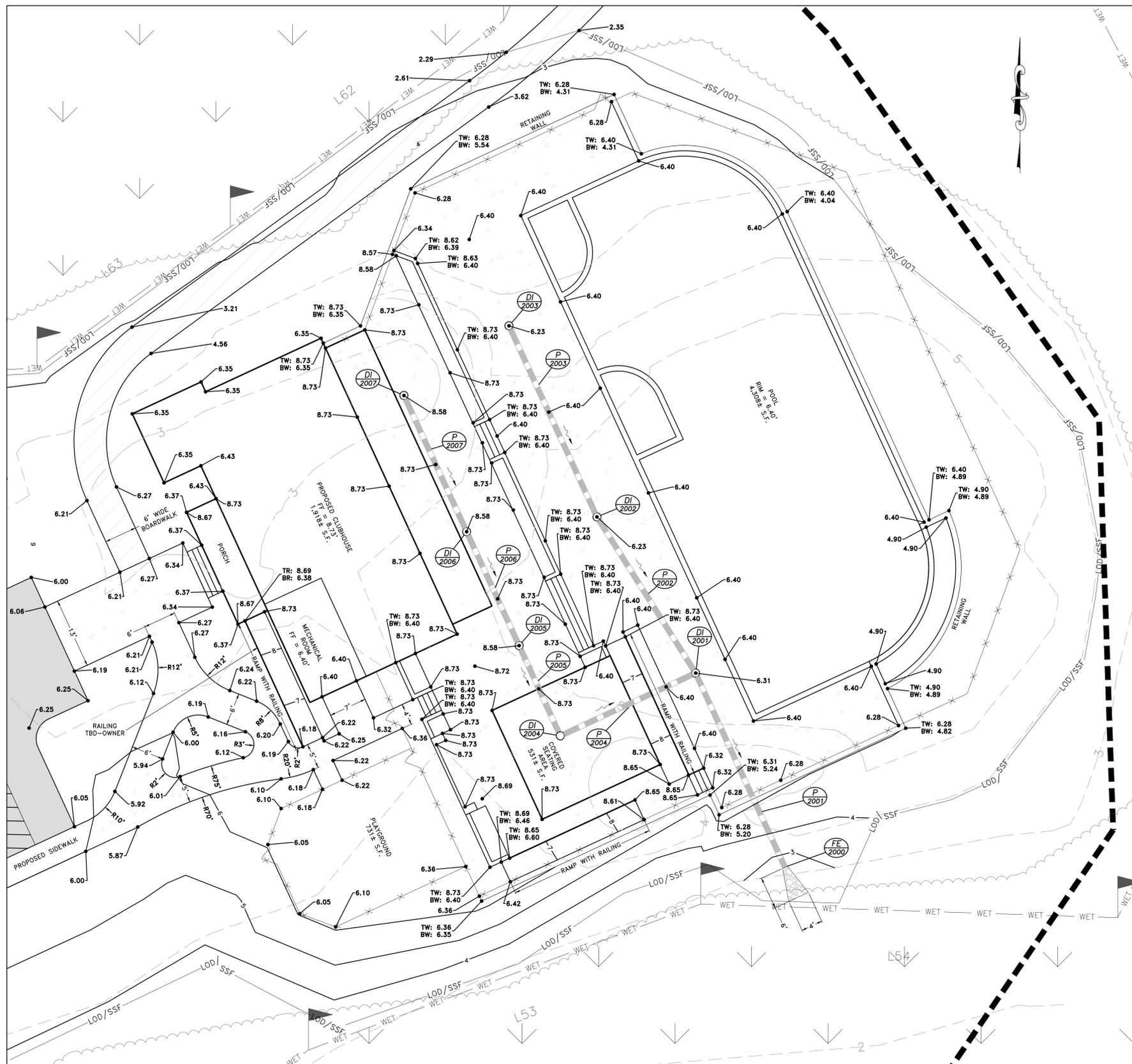
**MARSH ISLAND CLUBHOUSE  
CAMP ARROWHEAD ROAD  
SUSSEX COUNTY, DELAWARE**

Revisions:  
2020-09-29  
TIDEWATER COMMENTS  
2020-08-31  
TIDEWATER COMMENTS  
2020-08-09  
PLANNING & ZONING  
COMMENTS

Date: **AUGUST 2020**  
Scale: **1"=20'**  
Dwn.By: **RPK**  
Proj.No.: **1319A026**  
Dwg.No.:

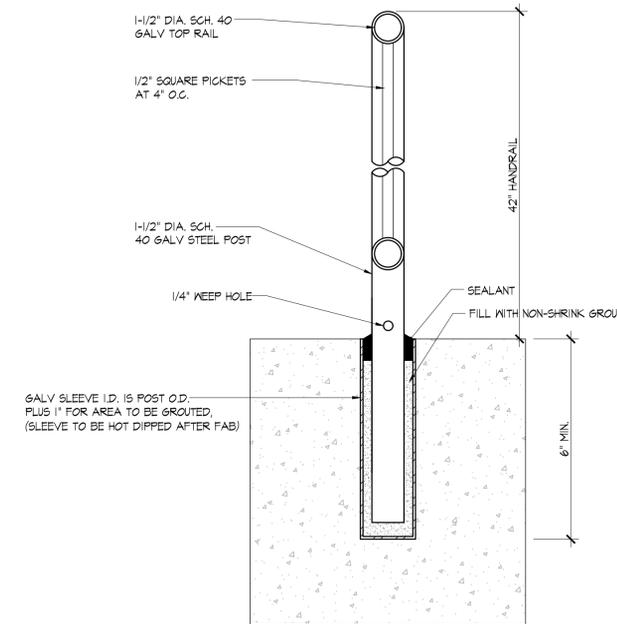
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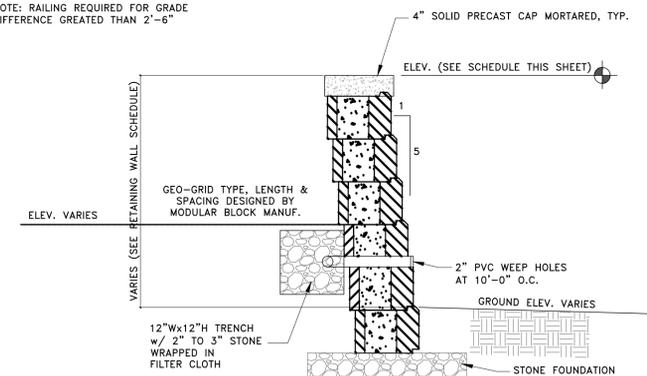
SPOT GRADES



**RAILING DETAIL**

SCALE: 3" = 1'-0"

NOTE: RAILING REQUIRED FOR GRADE DIFFERENCE GREATER THAN 2'-6"



**TYPICAL RETAINING WALL DETAIL**

NOT TO SCALE

**STRUCTURAL NOTES FOR RETAINING WALLS**

- EARTHWORK**  
ON SITE MATERIALS USED FOR STRUCTURAL FILL SHALL BE FREE OF DELETERIOUS MATTER AND CLASSIFIED AS GW, GP, GM, SM, SW, AND SP PER ASTM D-2487. PRIOR TO THE PLACEMENT OF FILL, THE SITE SHALL BE STRIPPED OF TOPSOIL, DEBRIS, VEGETATION AND ORGANIC MATERIALS. THE EXPOSED SUBGRADE OF ANY EXCAVATED AREA SHALL BE COMPACTED IN PLACE TO A DENSITY OF 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY.  
  
FILL MATERIAL SHALL BE PLACED IN 8" MAXIMUM LOOSE LIFTS AND COMPACTED BY MECHANICAL EQUIPMENT TO A DENSITY OF 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY. THE CONTRACTOR SHALL PROVIDE MEANS OF FREE DRAINAGE OF THE SITE AND SHALL MAINTAIN NECESSARY SEDIMENT CONTROLS. PLACEMENT OF FILL WITH A MOISTURE CONTENT TOO HIGH FOR PROPER COMPACTION IS NOT ACCEPTABLE. PLACEMENT OF FILL IN STANDING WATER OR ON FROZEN MATERIAL IS NOT ACCEPTABLE.
- MODULAR WALL UNITS & RETAINING WALL**  
WALL UNITS SHALL BE ALLAN BLOCK RETAINING WALL UNITS, OR KEYSTONE WALL UNITS, OR APPROVED EQUAL, PRODUCED BY A LICENSED MANUFACTURER.  
  
WALL UNITS SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI (20.7 MPA) IN ACCORDANCE WITH ASTM C1372. THE CONCRETE UNITS SHALL HAVE ADEQUATE FREEZE-THAW PROTECTION WITH AN AVERAGE ABSORPTION RATE IN ACCORDANCE WITH ASTM C1372 OR AN AVERAGE ABSORPTION RATE OF 7.5 LB/FT<sup>3</sup> (120 KG/M<sup>3</sup>) FOR NORTHERN CLIMATES AND 10 LB/FT<sup>3</sup> (160 KG/M<sup>3</sup>) FOR SOUTHERN CLIMATES.  
  
EXTERIOR DIMENSIONS SHALL BE UNIFORM AND CONSISTENT. MAXIMUM DIMENSIONAL DEVIATIONS ON THE HEIGHT OF ANY TWO UNITS SHALL BE 0.125 IN. (3 MM).  
  
WALL UNITS SHALL PROVIDE A MINIMUM OF 110 LBS TOTAL WEIGHT PER SQUARE FOOT OF WALL FACE AREA (555 KG/M<sup>2</sup>). FILL CONTAINED WITHIN THE UNITS MAY BE CONSIDERED 80% EFFECTIVE WEIGHT.  
  
EXTERIOR FACE SHALL BE TEXTURED. COLOR AS SPECIFIED BY OWNER.  
  
RETAINING WALL UNITS AND INSTALLATION SHALL CONFORM TO THE ALLAN BLOCK MODULAR RETAINING WALL SYSTEMS SPECIFICATION GUIDELINES, OR KEYSTONE DESIGN GUIDELINES, OR APPROVED EQUAL.  
  
WALL SHALL BE DESIGNED BY MANUFACTURER. SUBMIT CALCULATIONS AND SHOP DRAWINGS FOR APPROVAL. WALL SHALL BE CONSTRUCTED IN ACCORD WITH MANUFACTURER'S SHOP DRAWINGS & SPECIFICATIONS.

**DAVIS, BOWEN & FRIEDEL, INC.**  
ARCHITECTS ENGINEERS SURVEYORS  
OFFICE: WILMINGTON, DELAWARE  
PH: 302-426-8800  
FAX: 302-426-1441  
EASTON, MARYLAND  
PH: 410-770-4714

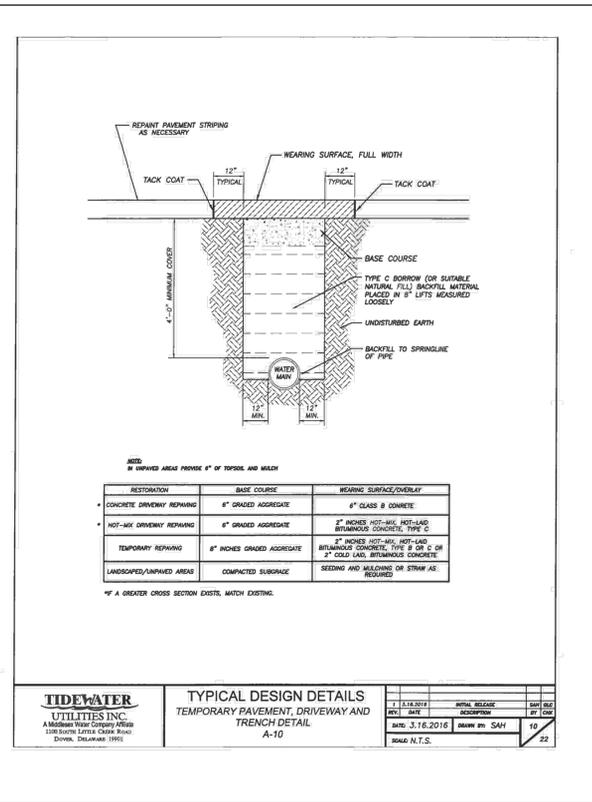
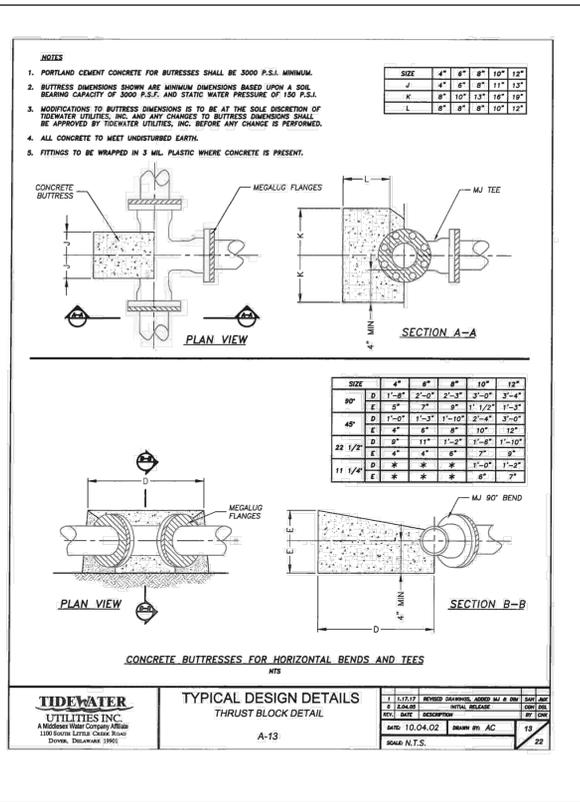
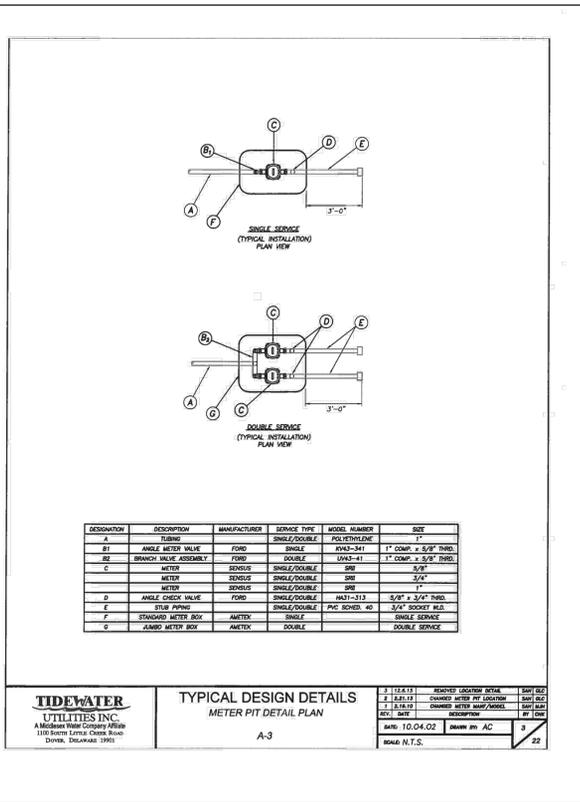
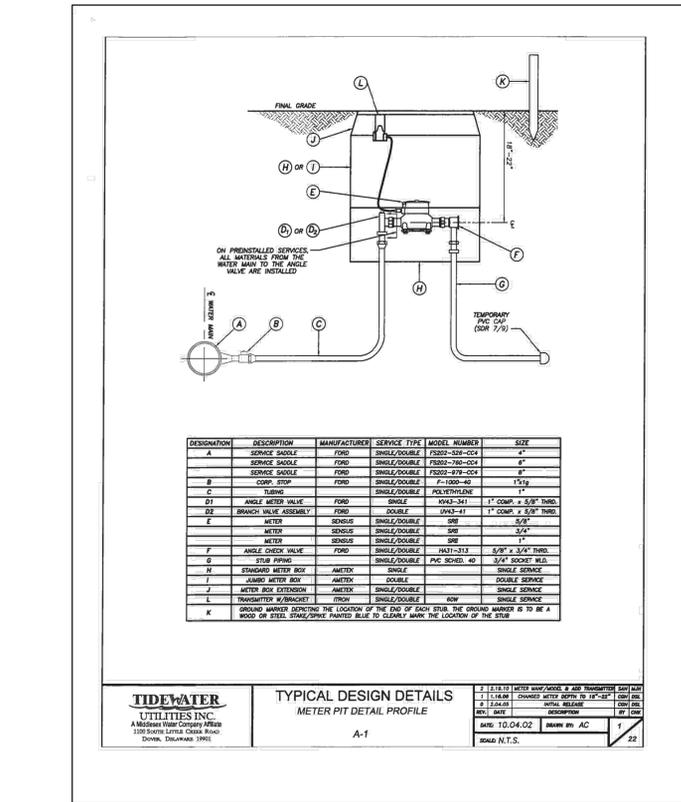
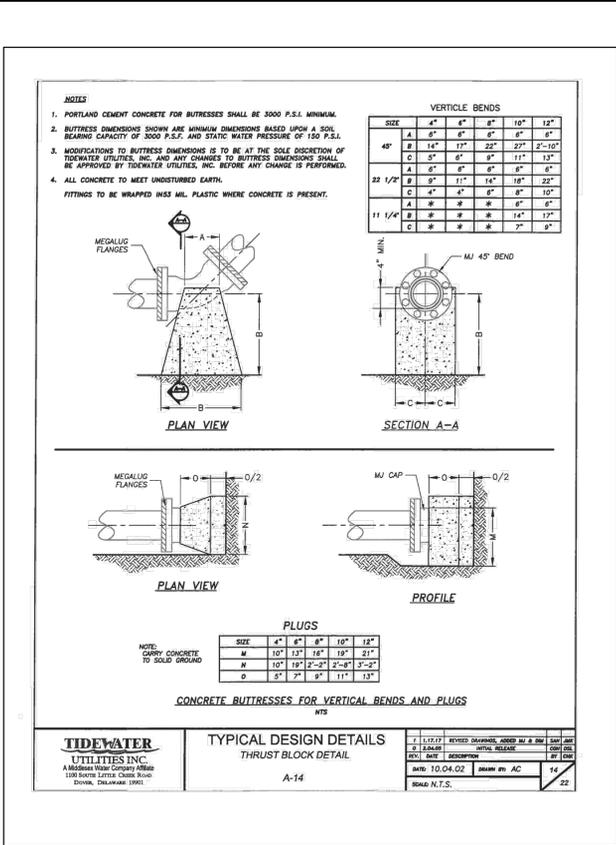
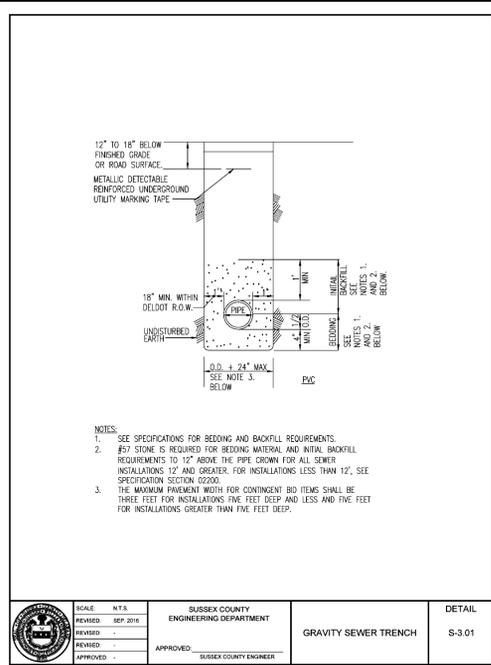
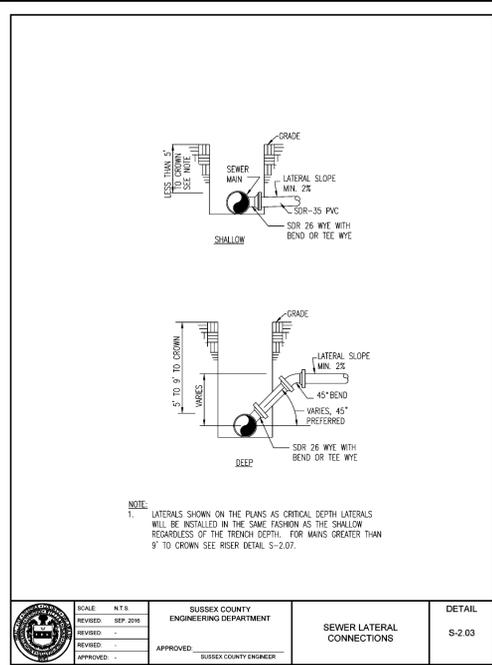
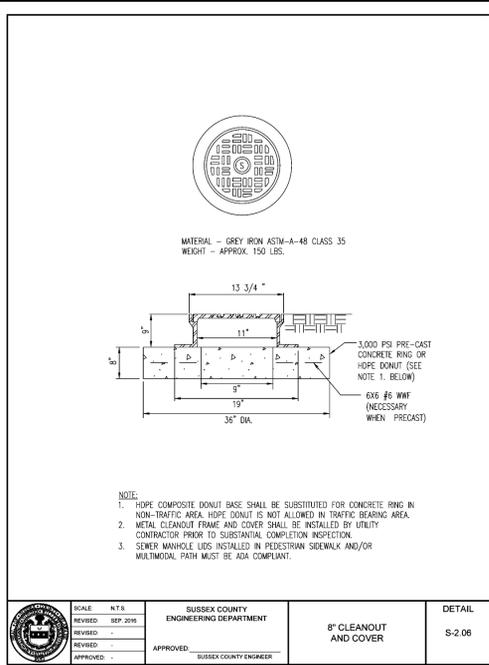
**DETAILED GRADING PLAN**

**MARSH ISLAND CLUBHOUSE  
CAMP ARROWHEAD ROAD  
SUSSEX COUNTY, DELAWARE**

Revisions:  
2020-09-29  
TIDEWATER COMMENTS  
2020-08-31  
TIDEWATER COMMENTS  
2020-09-09  
PLANNING & ZONING  
COMMENTS

Date: **AUGUST 2020**  
Scale: **1"=10'**  
Dwn.By: **RPK**  
Proj.No.: **1319A026**  
Dwg.No.:





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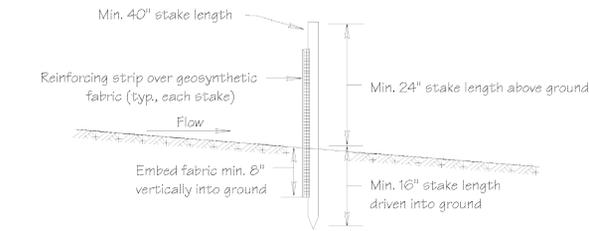
MARSH ISLAND CLUBHOUSE  
CAMP ARROWHEAD ROAD  
SUSSEX COUNTY, DELAWARE

ARCHITECTS ENGINEERS SURVEYORS  
DAVIS, BOWEN & FRIEDEL, INC.  
1300 SOUTH LEXINGTON ROAD  
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(302) 424-1441  
EASTON, MARYLAND (410) 770-4744

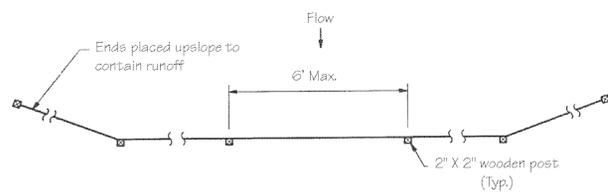
Date: AUGUST 2020  
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Dwn.By: RPK  
Proj.No.: 1319A026  
Dwg.No.: 5

Standard Detail & Specifications

Silt Fence



Section

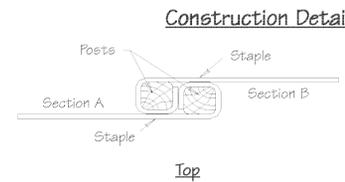


Plan

Source:	Symbol:	Detail No.
Adapted from MD Stds. & Specs. for ESC	<b>SF</b>	<b>DE-ESC-3.1.2.1</b> Sheet 1 of 2 Effective FEB 2019

Standard Detail & Specifications

Silt Fence



Method for joining continuous sections

Construction Notes:

- Geosynthetic fabric to be fastened securely to fence posts with wire ties or staples.
- When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
- Maintenance shall be performed as needed and material removed when "bulges" develop in the silt fence.

Materials:

- Stakes: Steel (either T or U) or 2" x 2" hardwood
- Geosynthetic Fabric: Type GD-1
- Reinforcing strip: Wooden lath or plastic strip

Source:	Symbol:	Detail No.
Adapted from MD Stds. & Specs. for ESC	<b>SF</b>	<b>DE-ESC-3.1.2.1</b> Sheet 2 of 2 Effective FEB 2019

Standard Detail & Specifications

Vegetative Stabilization

Mix #	Species <sup>1</sup>	Seeding Rate	Optimum Seeding Dates <sup>1</sup>						Planting Depth <sup>3</sup>
			Coastal Plain		Piedmont		All <sup>1</sup>		
1	Barley	125 4	O	A	O	O	O	O	1-2 inches 2-3" sandy soils
2	Oats	125 4	O	A	A	O	A	A	1-2 inches 2-3" sandy soils
3	Rye	125 4	O	A	O	O	A	O	1-2 inches 2-3" sandy soils
4	Perennial Ryegrass	125 4	O	A	O	O	A	O	0.5 inches 1-2" sandy soils
5	Annual Ryegrass	125 4	O	A	O	O	A	O	0.5 inches 1-2" sandy soils
6	Winter Wheat	125 4	O	A	O	O	A	A	1-2 inches 2-3" sandy soils
7	Foxtail Millet	30 PLS 0.7	O				O		0.5 inches 1-2" sandy soils
8	Pearl Millet	20 PLS 0.5	O				O		0.5 inches 1-2" sandy soils

- Winter seeding requires 3 tons per acre of straw mulch for proper stabilization.
- May be planted throughout summer if soil moisture is adequate or seeded area can be irrigated.
- Applicable on slopes 3:1 or less.
- Fourty pounds per acre of Annual Lespedeza may be added to 1/2 the seeding rate of any of the above species.
- Use varieties currently recommended for Delaware. Contact a County Extension Office for information.
- Warm season grasses such as Millet or Weeping Lovegrass may be used between 5/1 and 9/1 if desired. Seed at 3-5 lbs. per acre. Good on low fertility and acid areas. Seed after frost through summer at a depth of 0.5".

NOTE: Alternative seed mixes may be used with prior approval from the Department or Delegated Agency.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		<b>DE-ESC-3.4.3</b> Sheet 1 of 4 Effective FEB 2019

Standard Detail & Specifications

Vegetative Stabilization

Mix No.	Certified Seed <sup>1</sup>	Seeding Rate <sup>1</sup>	Optimum Seeding Dates <sup>2</sup>						Remarks
			Coastal Plain		Piedmont		All <sup>1</sup>		
1	Well Drained Soils	140 3.2	A	O	A	O	A	O	Add 100 lbs./ac. Winter Rye
2	Creeping Red Fescue Sheep Fescue Common Lespedeza <sup>3</sup> Insulated	30 0.69 30 0.69 15 0.35	A	O	A	A	O	A	Good erosion control mix. Tolerant of low fertility soils. Lowgrass very difficult to mow. Germinates only in hot weather.
3	Tall Fescue (Turf-type) or Strong Creeping Red Fescue or Perennial Ryegrass plus Flatpea <sup>3</sup>	50 1.15 50 1.15 50 1.15 15 0.34	O	A	O	O	A	O	Good erosion control mix. Tolerant of low fertility soils. Good wildlife cover and food.
4	Strong Creeping Red Fescue Kentucky Bluegrass Perennial Ryegrass or Redtop plus White Clover <sup>3</sup>	100 2.3 70 1.61 15 0.35 5 0.11 3 0.07	O	A	O	O	A	O	Suitable waterway mix. Canada Bluegrass more drought tolerant. Use Redtop for increased drought tolerance.
5	Switchgrass <sup>3</sup> or Coastal Panicgrass Big Bluestem Little Bluestem Indian Grass	10 0.23 10 0.23 5 0.11 5 0.11 5 0.11	O				O		Native warm-season mixture. Tolerant of low fertility soils. Drought tolerant. Poor shade tolerance. N fertilizer discouraged - weeds.
6	Tall Fescue (Turf-type) (Blend of 3 cultivars)	150 3.5	O	A	O	O	A	O	Managed filter strip for nutrient uptake.
7	Tall Fescue Ky. Bluegrass (Blend) Perennial Ryegrass	150 3.5 20 0.45 20 0.45	O	A	O	O	A	O	Three cultivars of Kentucky Bluegrass. Traffic tolerant.
8	Big Bluestem <sup>3</sup> Indian Grass <sup>3</sup> Little Bluestem <sup>3</sup> Creeping Red Fescue plus one of: Partridge Pea Bush Clover Wild Indigo Showy Tick-Trefoil	10 0.23 10 0.23 8 0.19 30 0.69 3 0.07 3 0.07 3 0.07 2 0.05	O	A	O	O	A	O	All species are native. Indian Grass and Bluestem have fluffy seeds. Plant with a specialized native seed drill. Creeping Red Fescue will provide erosion protection while the warm season grasses get established.

NOTE: Alternative seed mixes may be used with prior approval from the Department or Delegated Agency.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		<b>DE-ESC-3.4.3</b> Sheet 2 of 4 Effective FEB 2019

Standard Detail & Specifications

Topsoiling

Construction Notes:

- Site Preparation (Where Topsoil is to be added)

Note: When topsoiling, maintain needed erosion and sediment control practices such as diversions, grade stabilization structures, berms, dikes, waterways and sediment basins.

- Grading - Grades on the areas to be topsoiled which have been previously established shall be maintained.
- Liming - Where the topsoil is either highly acid or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet). Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
- Tilling - After the areas to be topsoiled have been brought to grade, and immediately prior to dumping and spreading the topsoil, the subgrade shall be loosened by discing or by scarifying to a depth of at least 3 inches to permit bonding of the topsoil to the subsoil. Pack by passing a bulldozer up and down over the entire surface area of the slope to create horizontal erosion check slots to prevent topsoil from sliding down the slope.

- Topsoil Material and Application

Note: Topsoil salvaged from the existing site may often be used but it should meet the same standards as set forth in these specifications. The depth of topsoil to be salvaged shall be no more than the depth described as a representative profile for that particular soil type as described in the soil survey published by USDA-SCS in cooperation with Delaware Agricultural Experimental Station.

Source:	Symbol:	Detail No.
USDA - NRCS		<b>DE-ESC-3.4.1</b> Sheet 1 of 2 Effective FEB 2019

Standard Detail & Specifications

Topsoiling

Construction Notes (cont.)

- Materials - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand or other soil as approved by an agronomist or soil scientist. It shall not have a mixture of contrasting textured subsoil and contain no more than 5 percent by volume of cinders, stones, slag, coarse fragment, gravel, sticks, roots, trash or other extraneous materials larger than 1-1/2 inches in diameter. Topsoil must be free of plants or plant parts of bermudagrass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistles, or others as specified. All topsoil shall be tested by a reputable laboratory for organic matter content, pH and soluble salts. A pH of 6.0 to 7.5 and an organic content of not less than 1.5 percent by weight is required. If pH value is less than 6.0 lime shall be applied and incorporated with the topsoil to adjust the pH to 6.5 or higher. Topsoil containing soluble salts greater than 500 parts per million shall not be used.

Note: No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed to permit dissipation of toxic materials.

- Grading - The topsoil shall be uniformly distributed and compacted to a minimum of four (4) inches. Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets. Topsoil shall not be placed while in a frozen or muddy condition, when the subgrade is excessively wet, or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

Note: Topsoil substitutes or amendments as approved by a qualified agronomist or soil scientist, may be used in lieu of natural topsoil. Compost material used to improve the percentage of organic matter shall be provided by a certified supplier.

Compost amendments that are intended to meet specific post-construction stormwater management goals shall further meet the requirements of Appendix 3.06.2 Post Construction Stormwater Management BMP Standards and Specifications, Section 14.0 Soil Amendments.

Source:	Symbol:	Detail No.
USDA - NRCS		<b>DE-ESC-3.4.1</b> Sheet 2 of 2 Effective FEB 2019

Standard Detail & Specifications

Vegetative Stabilization

Mix No.	Certified Seed <sup>1</sup>	Seeding Rate <sup>1</sup>	Optimum Seeding Dates <sup>2</sup>						Remarks
			Coastal Plain		Piedmont		All <sup>1</sup>		
9	Poorly Drained Soils	140 3.2	A	O	A	O	A	O	Add 100 lbs./ac. Winter Rye
9	Redtop Creeping Bentgrass Sheep Fescue Rough Bluegrass	75 1.72 35 0.86 30 0.69 45 1	O	A	O	O	A	O	Quick stabilization of disturbed sites and waterways
10	Reed Canarygrass <sup>3</sup>	10 0.23	A		O	A	O	O	Good erosion control, wildlife cover and wetland revegetation
11	Residential Lawns	100 2.3	O	A	O	O	A	O	High value, high maintenance, light traffic, irrigation necessary. Well drained soils, full sun.
12	Tall Fescue Perennial Ryegrass Sheep Fescue	100 2.3 25 0.57 25 0.57	O	A	O	O	A	O	Moderate value, low maintenance, traffic tolerant.
13	Creeping Red Fescue Chewings Fescue Rough Bluegrass Kentucky Bluegrass	50 1.15 50 1.15 20 0.4 20 0.4	O	A	O	O	A	O	Shade tolerant, moderate traffic tolerance, moderate maintenance.
14	Creeping Red Fescue Rough Bluegrass or Chewings Fescue	50 1.15 60 2.1	O	A	O	O	A	O	Shade tolerant, moisture tolerant.
15	K-31 Tall Fescue	150 3.5	O	A	O	O	A	O	Monoculture, but performs well alone in lawns. Discouraged.

- When hydroseeding is the chosen method of application, the total rate of seed should be increased by 25%.
- Winter seeding requires 3 tons per acre of straw mulch. Planting dates listed above are average for Delaware. These dates may require adjustment to reflect local conditions.
- All seed shall meet the minimum purity and minimum germination percentages recommended by the Delaware Department of Agriculture. The maximum % of weed seeds shall be in accordance with Section 1, Chapter 24, Title 3 of the Delaware Code.
- Cool season species may be planted throughout summer if soil moisture is adequate or seeded area can be irrigated.
- All leguminous seed must be inoculated.
- Warm season grass mix and Reed Canary Grass cannot be mowed more than 4 times per year.
- Warm season grasses require a soil temperature of at least 50 degrees in order to germinate, and will remain dormant until then.

NOTE: Alternative seed mixes may be used with prior approval from the Department or Delegated Agency.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		<b>DE-ESC-3.4.3</b> Sheet 3 of 4 Effective FEB 2019

Standard Detail & Specifications

Vegetative Stabilization

Construction Notes:

- Site Preparation
  - Prior to seeding, install needed erosion and sediment control practices such as diversions, grade stabilization structures, berms, dikes, grassed waterways, and sediment basins.
  - Final grading and shaping is not necessary for temporary seedings.

It is important to prepare a good seedbed to insure the success of establishing vegetation. The seedbed should be well prepared, loose, uniform, and free of large clods, rocks, and other objectionable material. The soil surface should not be compacted or crusted.

- Soil Amendments
  - Lime - Apply liming materials based on the recommendations of a soil test in accordance with the approved nutrient management plan. If a nutrient management plan is not required, apply dolomitic limestone at the rate of 1 to 2 tons per acre. Apply limestone uniformly and incorporate into the top 4 to 6 inches of soil.
  - Fertilizer - Apply fertilizer based on the recommendations of a soil test in accordance with the approved nutrient management plan. If a nutrient management plan is not required, apply a formulation of 10-10-10 at the rate of 600 pounds per acre. Apply fertilizer uniformly and incorporate into the top 4 to 6 inches of soils.

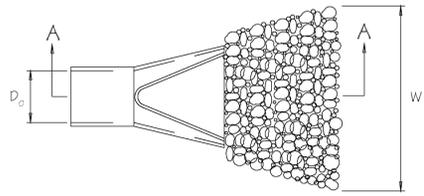
- Seeding
  - For temporary stabilization, select a mixture from Sheet 1. For a permanent stabilization, select a mixture from Sheet 2 or Sheet 3 depending on the conditions. Alternative seed mixes may be used with prior approval from the Department or Delegated Agency.
  - Apply seed uniformly with a broadcast seeder, drill, cultipacker seeder or hydroseeder. All seed will be applied at the recommended rate and planting depth.
  - Seed that has been broadcast should be covered by raking or dragging and then lightly tamped into place using a roller or cultipacker. If hydroseeding is used and the seed and fertilizer is mixed, they will be mixed on site and the seeding shall be done immediately and without interruption.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		<b>DE-ESC-3.4.3</b> Sheet 4 of 4 Effective FEB 2019

Revisions:

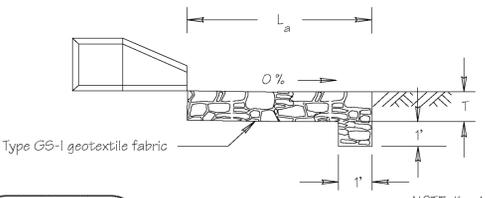
Date:	AUGUST 2020
Scale:	NTS
Dwn. By:	RPK
Proj. No.:	1319A026
Dwg. No.:	6

**Standard Detail & Specifications**  
**Riprap Outlet Protection - 1**



Plan

NOTE: Depress centerline of apron slightly to prevent edge-cutting



Section A-A

NOTE: Key into exist. gnd

**DATA**

- Pipe diameter ( $D_p$ )
- Apron length ( $L_a$ )
- Apron width ( $W$ )
- Riprap size (R No.)
- Riprap thickness ( $T$ )

$$T_w < 0.5 D_p$$

Source:	Symbol:	Detail No.
Adapted from MD Sds. & Specs. for ESC	<b>ROP-1</b>	<b>DE-ESC-3.3.10.1</b> Sheet 1 of 2 Effective FEB 2019

**Standard Detail & Specifications**  
**Riprap Outlet Protection - 1**

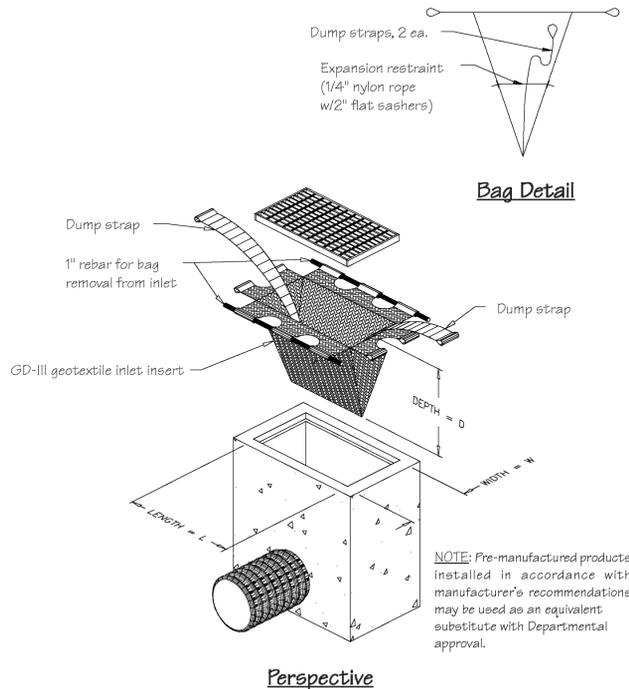


**Construction Notes:**

- The subgrade for the riprap shall be prepared to the required lines and grades as shown on the plan. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
- The riprap shall conform to the grading limits as shown on the plan.
- Filter cloth shall be protected from punching, cutting or tearing. Any damage other than an occasional small hole shall be repaired by placing another piece of cloth over the damaged area. All connecting joints should overlap a minimum of 1 ft. If the damage is extensive, replace the entire filter cloth.
- Stone for the riprap or gabion outlets may be placed by equipment. Riprap shall be placed in a manner to prevent damage to the filter cloth. Hand placement will be required to the extent necessary to prevent damage to the conduits, structures, etc.

Source:	Symbol:	Detail No.
Adapted from MD Sds. & Specs. for ESC	<b>ROP-1</b>	<b>DE-ESC-3.3.10.1</b> Sheet 2 of 2 Effective FEB 2019

**Standard Detail & Specifications**  
**Inlet Protection - Type 2**



Source:	Symbol:	Detail No.
Adapted from ACF Products, Inc.	<b>IP-2</b>	<b>DE-ESC-3.1.5.2</b> Sheet 1 of 2 Effective FEB 2019

**Standard Detail & Specifications**  
**Inlet Protection - Type 2**



**Notes:**

- This practice shall only be used in situations in which Inlet Protection - Type 1 cannot be used due to site constraints. These include, but are not limited to partially completed parking areas, streets, roads, etc.
- It may be necessary to transition from Type 1 to Type 2 Inlet Protection as construction proceeds.
- For areas where there is a concern for oil run-off or spills, insert shall meet one of the above specifications with an oil-absorbant pillow or shall be made completely from an oil-absorbant material with a woven pillow.

**Materials:**

The geotextile inlet insert shall meet or exceed the specifications of Type GD-III geotextile in accordance with Appendix A-3 of the Delaware Erosion & Sediment Control Handbook.

Source:	Symbol:	Detail No.
Adapted from ACF Products, Inc.	<b>IP-2</b>	<b>DE-ESC-3.1.5.2</b> Sheet 2 of 2 Effective FEB 2019

**Standard Detail & Specifications**  
**Mulching**



**1. Materials and Amounts**

- Straw** - Straw shall be unrotted small grain straw applied at the rate of 1-1/2 to 2 tons per acre, or 70 to 90 pounds (two bales) per 1,000 square feet. Mulch materials shall be relatively free of weeds and shall be free of noxious weeds such as; thistles, Johnsongrass, and quackgrass. Spread mulch uniformly by hand or mechanically. For uniform distribution of hand spread mulch, divide area into approximately 1,000 square foot sections and place 70-90 pounds (two bales) of mulch in each section.
- Wood chips** - Apply at the rate of approximately 6 tons per acre or 275 pounds per 1,000 square feet when available and when feasible. These are particularly well suited for utility and road rights-of-way. If wood chips are used, increase the application rate of nitrogen fertilizer by 20 pounds of N per acre (200 pounds of 10-10-10 or 66 pounds of 30-0-0 per acre).
- Hydraulically applied mulch** - The following conditions apply to hydraulically applied mulch:
  - Definitions:
    - Wood fiber mulch shall consist of specially prepared wood that has been processed to a uniform state, is packaged for sale as a hydraulic mulch for use with hydraulic seeding equipment, and consists of a minimum of 70% virgin or recycled wood fiber combined with 30% paper fiber and additives.
    - Blended fiber mulch shall consist of any hydraulic mulch that contains greater than 30% paper fiber. The paper component must consist of specially prepared paper that has been processed to a uniform fibrous state and is packaged for sale as a hydraulic mulch for use with hydraulic seeding equipment.
    - A bonded fiber matrix (BFM) consists of long strand, specially prepared wood fibers that have been processed to a uniform state held together by a water resistant bonding agent. BFMs shall contain no paper (cellulose) mulch but may contain small percentages of synthetic fibers to enhance performance.
    - Refer to **Figure 3.4.5a** for conditions and limitations of use for each of the above categories of hydraulic mulch.
  - All components of the hydraulically applied mulches shall be pre-packaged by the manufacturer to assure material performance. Field mixing of the mulch components is acceptable, but must be done per manufacturers recommendations to ensure the proper results.
  - Hydraulic mulches shall be applied with a viable seed and at manufacturer's recommended rates. Increased rates may be necessary based on site conditions.
  - Hydraulically applied mulches and additives shall be mixed according to manufacturers recommendations.
  - Materials within this category shall only be used when hydraulically applied mulch has been specified for use on the approved Sediment and Stormwater Plan, or supplemental approval from the plan approval agency has been obtained in writing for a specific area.

Source:	Symbol:	Detail No.
Delaware ESC Handbook & Filtrex <sup>TM</sup> International		<b>DE-ESC-3.4.5</b> Sheet 1 of 3 Effective FEB 2019

**Standard Detail & Specifications**  
**Mulching**



- Application:
  - Apply product to geotechnically stable slopes that have been designed and constructed to divert runoff away from the face of the slope.
  - Do not apply to saturated soils, or if precipitation is anticipated within 24-48 hours.
  - During the spring (March 1 to May 31) and fall (September 1 to November 30) seasons, hydraulic mulches may be applied in a one-step process where all components are mixed together in single-tank loads. It is recommended that the product be applied from opposing directions to achieve optimum soil coverage.
  - During the summer (June 1 to August 31) and winter (December 1 to February 28) seasons, the following two-step process is required:
    - Step One** - Mix and apply seed and soil amendments with a small amount of mulch for visual metering.
    - Step Two** - Mix and apply mulch at manufacturers recommended rates over freshly seeded surfaces. Apply from opposing directions to achieve optimum soil coverage.
  - Minimum curing temperature is 40°F (4°C). The best results and more rapid curing are achieved at temperatures exceeding 60°F (15°C). Curing times may be accelerated in high temperature, low humidity conditions on dry soils.
- Recommended application rates are for informational purposes only. Conformance with this standard and specification shall be performance-based and requires **100% soil coverage**. Any areas with bare soil showing shall be top dressed until full coverage is achieved.
- Compost blanket (CB)** - Loosely applied with a pneumatic blower so that a 1" compost blanket uniformly covers the soil with **100% coverage**. This application can be used with seed to promote germination by applying the approved seed mix directly into the loosely blown compost. The compost blanket performs best on slopes less than 2:1 and requires no mulch anchoring.
- Anchoring mulch** - Mulch must be anchored immediately to minimize loss by wind or water. This may be done by one of the following methods, depending upon size of area, erosion hazard, and cost.
  - Crimping** - A crimper is a tractor drawn implement designed to punch and anchor mulch into the top two (2) inches of soil. This practice affords maximum erosion control but is limited to flatter slopes where equipment can operate safely. On sloping land, crimping should be done on the contour whenever possible.
  - Tracking** - Tracking is the process of cutting mulch (usually straw) into the soil using a bulldozer or other equipment that runs on cleated tracks. Tracking is used primarily on slopes 3:1 or steeper and should be done up and down the slope with cleat marks running across the slope.
  - Liquid mulch binders** - Applications of liquid mulch binders should be heavier at edges, in valleys, and at crests of banks and other areas where the mulch will be moved by wind or water. All other areas should have a uniform application of binder. The use of synthetic binders is the preferred method of mulch binding and should be applied at the rates recommended by the manufacturer.
  - Paper fiber** - The fiber binder shall be applied at a net dry weight of 750 lbs./ac. The wood cellulose fiber shall be mixed with water, and the mixture shall contain a maximum of 50 lbs. of wood cellulose fiber per 100 gallons.
  - Nettings** - Synthetic or organic nettings may be used to secure straw mulch. Install and secure according to the manufacturers recommendations.

Source:	Symbol:	Detail No.
Delaware ESC Handbook & Filtrex <sup>TM</sup> International		<b>DE-ESC-3.4.5</b> Sheet 2 of 3 Effective FEB 2019

**Standard Detail & Specifications**  
**Mulching**



Percent Slope	Type of Mulch / App. Rate*	MULCHING MATERIAL SELECTION GUIDE				
		Dec. 1 to Feb. 28(29)	March 1 to May 31	June 1 to Aug. 31	Sept. 1 to Nov. 30	Oct. 1 to Dec. 31
Less than 2%	Wood Fiber @ 2000 lbs/ac. min. Wool Fiber @ 2000 lbs/ac. min. BPM @ 2 Tons/ac. min. Straw @ 2 Tons/ac. min. Stabilization Matting (CB)	OK OK OK OK OK	OK OK OK OK OK	OK OK OK OK OK	OK OK OK OK OK	OK OK OK OK OK
2% to 5.5%	Wood Fiber @ 2000 lbs/ac. min. Wool Fiber @ 2000 lbs/ac. min. BPM @ 2 Tons/ac. min. Straw @ 2 Tons/ac. min. Stabilization Matting (CB)	OK OK OK OK OK	OK OK OK OK OK	OK OK OK OK OK	OK OK OK OK OK	OK OK OK OK OK
6% to 10.9%	Wool Fiber @ 2000-2500 lbs/ac. min. BPM @ 2 Tons/ac. min. Straw @ 2 Tons/ac. min. Stabilization Matting (CB)	OK OK OK OK OK	OK OK OK OK OK	OK OK OK OK OK	OK OK OK OK OK	OK OK OK OK OK
11% to 24.5%	Wool Fiber @ 2500-3000 lbs/ac. min. BPM @ 2 Tons/ac. min. Straw @ 2 Tons/ac. min. Stabilization Matting (CB)	OK OK OK OK OK	OK OK OK OK OK	OK OK OK OK OK	OK OK OK OK OK	OK OK OK OK OK
25% to 33%	Wool Fiber @ 2500-3000 lbs/ac. min. BPM @ 2 Tons/ac. min. Straw @ 2 Tons/ac. min. Stabilization Matting (CB)	OK OK OK OK OK	OK OK OK OK OK	OK OK OK OK OK	OK OK OK OK OK	OK OK OK OK OK
33% and up	BPM @ 2 Tons/ac. min. Straw @ 2 Tons/ac. min. Stabilization Matting (CB)	OK OK OK OK OK	OK OK OK OK OK	OK OK OK OK OK	OK OK OK OK OK	OK OK OK OK OK

Source:	Symbol:	Detail No.
Delaware ESC Handbook & Filtrex <sup>TM</sup> International		<b>DE-ESC-3.4.5</b> Sheet 3 of 3 Effective FEB 2019

**Standard Detail & Specifications**  
**Dust Control**



**Temporary Methods:**

- Mulches - See **DE-ESC-3.4.5**, Standard Detail and Specifications for Mulching.
- Vegetative cover - See **DE-ESC-3.4.3**, Std. Detail and Specifications for Vegetative Stabilization.
- Adhesives - Use on mineral soils only (not effective on muck soils). Keep traffic off these areas. The following table may be used for general guidance.

Type of Emulsion	Water Dilution	Type of Nozzle	Apply Gal./Ac.
Latex emulsion	12.5:1	Fine spray	235
Resin-in-water emulsion	4:1	Fine spray	300
Acrylic emulsion (non-traffic)	7:1	Coarse spray	450
Acrylic emulsion (traffic)	3.5:1	Coarse spray	350

- Tillage - For emergency temporary treatment, scarify the soil surface to prevent or reduce the amount of blowing dust until a more appropriate solution can be implemented. Begin the tillage operation on the windward side of the site using a chisel-type plow for best results.
- Sprinkling - Sprinkle site with water until the surface is moist. Repeat as needed.
- Calcium Chloride - Apply as flakes or granular material with a spreader at a rate that will keep the soil surface moist. Re-apply as necessary.
- Barriers - Place barriers such as soil board fences, snow fences, hay bales, etc. at right angles to the prevailing air currents at intervals of approx. 10X their height.

**Permanent Methods:**

- Vegetative cover - See **DE-ESC-3.4.3**, Std. Detail and Specifications for Vegetative Stabilization.
- Stone - Apply layer of crushed stone or coarse gravel to protect soil surface.

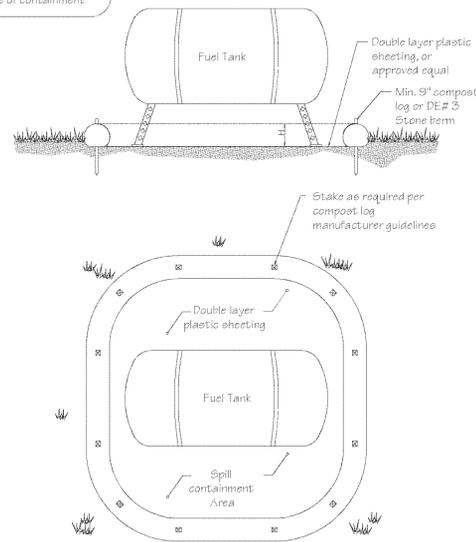
Source:	Symbol:	Detail No.
Adapted from VA ESC Handbook		<b>DE-ESC-3.4.8</b> Sheet 1 of 1 Effective FEB 2019

**Standard Detail & Specifications**  
**Construction Site Waste Mgt & Spill Control**



**DATA TO BE PROVIDED**

- Volume of Potential Pollution
- Heights of containment
- Area of containment
- Volume of containment



Source:	Symbol:	Detail No.
Delaware ESC Handbook		<b>DE-ESC-3.6.1</b> Sheet 1 of 5 Effective FEB 2019

**Standard Detail & Specifications**  
**Construction Site Waste Mgt & Spill Control**



**Pollution Prevention – Spill Prevention**

- Fueling should only take place in signed designated areas, away from downstream drainage facilities and watercourses.
- Fueling must be with nozzles equipped with automatic shut-off to control drips. Do not top off.
- Protect the areas where equipment or vehicles are being repaired, maintained, fueled or parked from storm water run-on and runoff.
- Use barriers such as berms to prevent storm water run-on and runoff, and to contain spills.
- Place a "Fueling Area" sign next to each fueling area.
- Store hazardous materials such as fuel, solvents, oil and chemicals in secondary containment.
- Inspect vehicles and equipment for leaks on each day of use. Repair fluid and oil leaks immediately.
- Absorbent spill clean-up materials and spill kits must be available in fueling areas and on fuel trucks.
- If fueling is to take place at night, make sure the fueling area is sufficiently illuminated.
- Properly dispose of used oil, fluids, lubricants and spill clean-up materials.

**CLEAN UP SPILLS**

- If it is safe to do so, immediately contain and clean up any chemical and/or hazardous material spills.
- Properly dispose of used oil, fluids, lubricants and spill clean-up materials.
- Do not bury spills or wash them down with water.

**LEAKS AND DRIPS**

- Use drip pans or absorbent pads at all times. Place under and around leaky equipment.
- Do not allow oil, grease, fuel or chemicals to drip onto the ground.
- Have spill kits and clean up material on-site.
- Repair leaky equipment promptly or remove problem vehicles and equipment from the site. Clean up contaminated soil immediately.
- Store contaminated waste in sealed containers constructed of suitable material. Label these containers properly.
- Clean up all spills and leaks. Promptly dispose of waste and spent clean up materials.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		<b>DE-ESC-3.6.1</b> Sheet 2 of 5 Effective FEB 2019

**Standard Detail & Specifications**  
**Construction Site Waste Mgt & Spill Control**



**Notes:**

The Construction Site Pollution Prevention Plan should include the following elements:

**1. Material Inventory**

Document the storage and use of the following materials:

- Concrete
- Detergents
- Paints (enamel and latex)
- Cleaning solvents
- Pesticides
- Wood scraps
- Fertilizers
- Petroleum based products

**2. Good housekeeping practices**

- Store only enough product required to do the job.
- All materials shall be stored in a neat, orderly manner in their original labeled containers and covered.
- Substances shall not be mixed.
- When possible, all of a product shall be used up prior to disposal of the container.
- Manufacturers' instructions for disposal shall be strictly adhered to.
- The site foreman shall designate someone to inspect all BMPs daily.

**3. Waste management practices**

- All waste materials shall be collected and stored in securely lidded dumpsters in a location that does not drain to a waterbody.
- Waste materials shall be salvaged and/or recycled whenever possible.
- The dumpsters shall be emptied a minimum of twice per week, or more if necessary. The licensed trash hauler is responsible for cleaning out dumpsters.

Source:	Symbol:	Detail No.
Adapted from USEPA Pub. 840-B-92-002		<b>DE-ESC-3.6.1</b> Sheet 3 of 5 Effective FEB 2019

**Standard Detail & Specifications**  
**Construction Site Waste Mgt & Spill Control**



**Notes (cont.)**

- Trash shall be disposed of in accordance with all applicable Delaware laws.
- Trash cans shall be placed at all lunch spots and littering is strictly prohibited. Recycle bins shall be placed near the construction trailer.
- If fertilizer bags can not be stored in a weather-proof location, they shall be kept on a pallet and covered with plastic sheeting which is overlapped and anchored.

**4. Equipment maintenance practices**

- If possible, equipment should be taken to off-site commercial facilities for washing and maintenance.
- If performed on-site, vehicles shall be washed with high-pressure water spray without detergents in an area contained by an impervious berm.
- Drip pans shall be used for all equipment maintenance.
- Equipment shall be inspected for leaks on a daily basis.
- Washout from concrete trucks shall be disposed of in a temporary pit for hardening and proper disposal.
- Fuel nozzles shall be equipped with automatic shut-off valves.
- All used products such as oil, antifreeze, solvents and tires shall be disposed of in accordance with manufacturers' recommendations and local, state and federal laws and regulations.

**5. Spill prevention practices**

- Potential spill areas shall be identified and contained in covered areas with no connection to the storm drain system.
- Warning signs shall be posted in hazardous material storage areas.
- Preventive maintenance shall be performed on all tanks, valves, pumps, pipes and other equipment as necessary.
- Low or non-toxic substances shall be prioritized for use.

Source:	Symbol:	Detail No.
Adapted from USEPA Pub. 840-B-92-002		<b>DE-ESC-3.6.1</b> Sheet 4 of 5 Effective FEB 2019

**Standard Detail & Specifications**  
**Construction Site Waste Mgt & Spill Control**



**Notes (cont.)**

- Contact information for reporting spills through the DNREC 24-Hour Toll Free Number shall be prominently posted.

**6. Education**

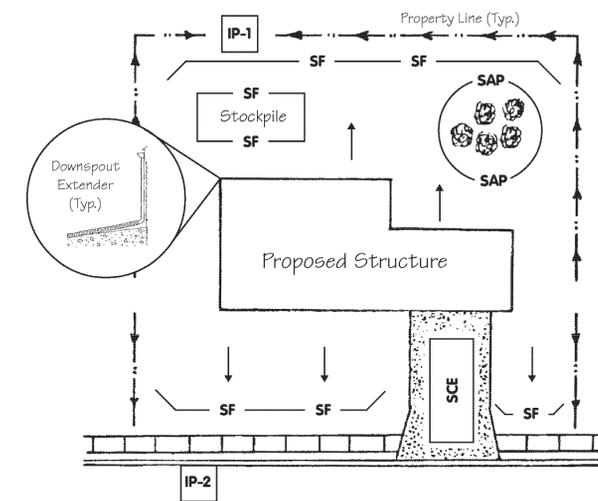
- Best management practices for construction site pollution control shall be a part of regular progress meetings.
- Information regarding waste management, equipment maintenance and spill prevention shall be prominently posted in the construction trailer.

**CONTACT INFORMATION**

<b>DNREC 24-Hour Toll Free Number</b>	<b>800-662-8802</b>
<b>DNREC Solid &amp; Hazardous Waste Management Section</b>	<b>302-739-9403</b>

Source:	Symbol:	Detail No.
Adapted from USEPA Pub. 840-B-92-002		<b>DE-ESC-3.6.1</b> Sheet 5 of 5 Effective FEB 2019

**Standard Detail & Specifications**  
**ESC for Minor Development**



**LEGEND**

- |                                  |         |                           |             |
|----------------------------------|---------|---------------------------|-------------|
| Flow                             | →       | Inlet protection - Type 1 | <b>IP-1</b> |
| Silt Fence                       | — SF —  | Inlet Protection - Type 2 | <b>IP-2</b> |
| Sensitive Area Protection        | — SAP — |                           |             |
| Stabilized Construction Entrance | — SCE — |                           |             |

Source:	Symbol:	Detail No.
Adapted from IN DNR, "Erosion Control for the Home Builder"		<b>DE-ESC-3.7.1</b> Sheet 1 of 2 Effective FEB 2019

**Standard Detail & Specifications**  
**ESC for Minor Development**



**Construction Notes:**

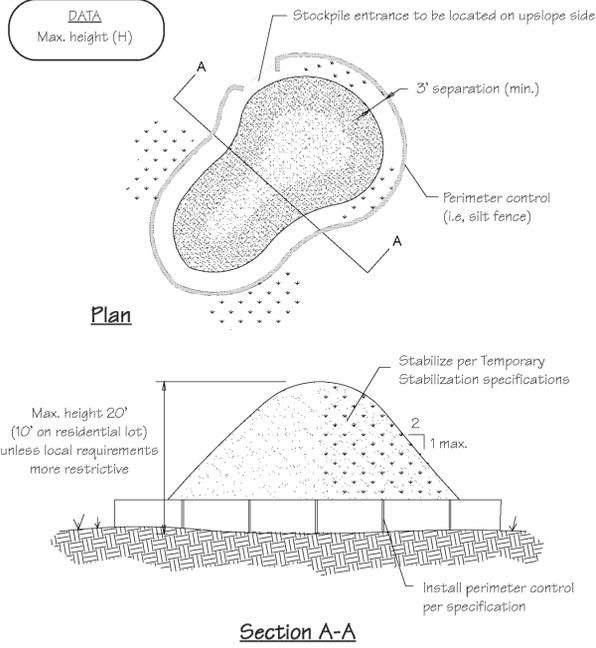
- Evaluate the Site.
  - Identify Vegetation To Be Saved
  - Protect Trees and Sensitive Areas
- Install Perimeter Erosion And Sediment Controls.
  - Protect down-slope areas with vegetative filter strips.
  - Protect down-slope areas with silt fence.
  - Restrict all lot access to stabilized construction entrance to prevent vehicles from tracking mud onto roadways.
  - Install inlet protection on nearby storm drain inlets.
- Prepare the Site for Construction.
- Salvage and Stockpile the Topsoil/Subsoil
- Build the Structure(s) and Install the Utilities.
- Install Downspout Extenders
- Maintain the Control Practices.
  - Maintain all erosion and sediment control practices until construction is completed and the lot is stabilized.
  - Inspect the control practices a minimum of twice a week and after each storm event, making any needed repairs immediately.
- Revegetate the Building Site.
  - Redistribute the stockpiled subsoil and topsoil.
  - Seed or sod bare areas.
  - Mulch newly seeded areas.
- Remove Remaining Temporary Control Measures.

Source:	Symbol:	Detail No.
Adapted from IN DNR, "Erosion Control for the Home Builder"		<b>DE-ESC-3.7.1</b> Sheet 2 of 2 Effective FEB 2019

Revisions:

Date:	<b>AUGUST 2020</b>
Scale:	<b>NTS</b>
Dwn. By:	<b>RPK</b>
Proj. No.:	<b>1319A026</b>
Dwg. No.:	<b>08</b>

**Standard Detail & Specifications**  
**Soil Stockpile**



**Standard Detail & Specifications**  
**Soil Stockpile**



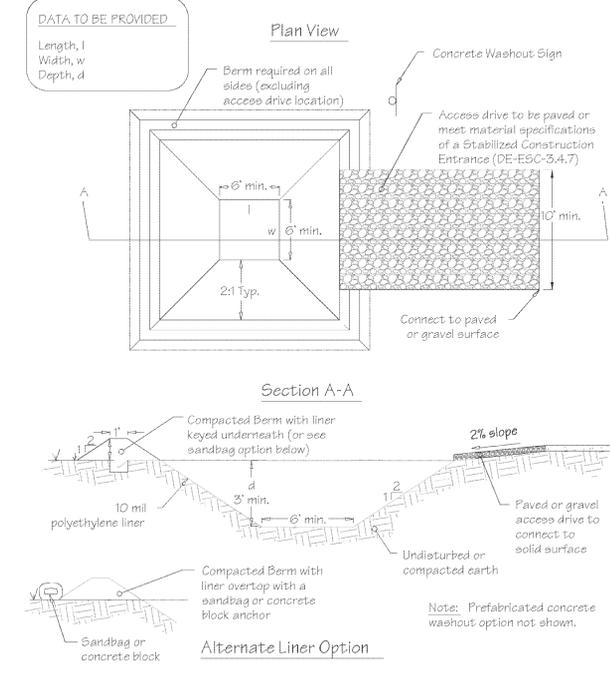
**Construction Notes:**

1. Locate stockpiles so that they are 50 feet from any storm drain inlet, open channel, wetland or waterbody. Redirect any concentrated flow around the stockpile using an approved erosion and sediment control measure.
2. Secure the perimeter of the stockpile with an approved erosion and sediment control perimeter device.
3. If stockpile is to remain inactive for more than 14 calendar days, the stockpile must be vegetated. Follow the temporary vegetation specifications. The vegetation chosen shall last the duration of the stockpile; the stockpile shall be restabilized if the temporary vegetation dies or erosion results.

Source: Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3	Symbol: <b>SP</b>	Detail No. <b>DE-ESC-3.7.3</b> Sheet 1 of 2 Effective FEB 2019
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Source: Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3	Symbol: <b>SP</b>	Detail No. <b>DE-ESC-3.7.3</b> Sheet 2 of 2 Effective FEB 2019
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**Standard Detail & Specifications**  
**Concrete Washout**



Source: Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3	Symbol: <b>CW</b>	Detail No. <b>DE-ESC-3.6.2</b> Sheet 1 of 2 Effective FEB 2019
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**Standard Detail & Specifications**  
**Concrete Washout**

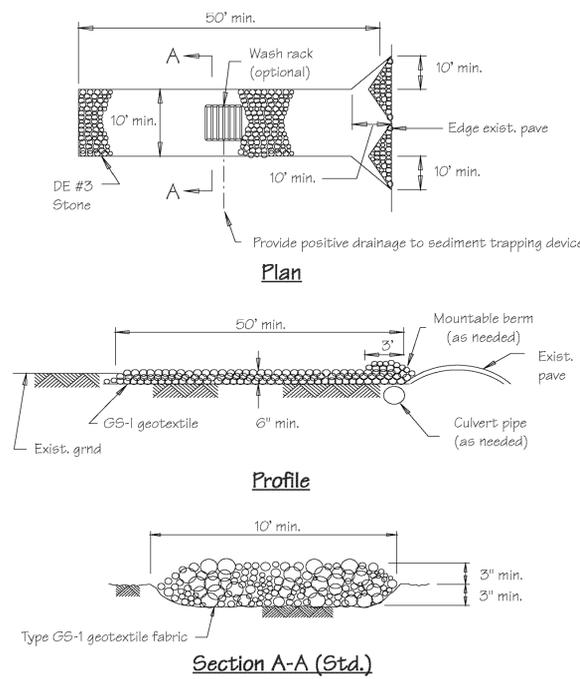


**Construction Notes:**

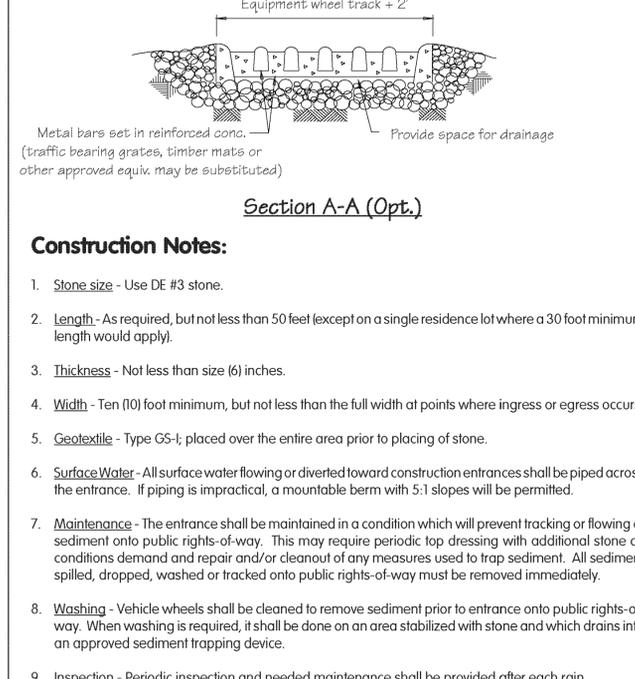
1. Locate washout area a minimum of 50 feet from open channels, stormdrain inlets, wetlands or waterbodies.
2. Locate washout area so that it is accessible to concrete equipment (service with a minimum 10 foot wide gravel accessway), but so it is not in a highly active construction area causing accidental damage.
3. Minimum dimensions for prefabricated units are 4 feet by 4 feet by 1 foot deep with a minimum 4mil polyethylene plastic liner. Minimum dimensions for constructed concrete washout areas are 6 feet by 6 feet by 3 feet deep, with a minimum 10mil polyethylene liner, 2:1 side slopes, and a 1 foot high by 1 foot wide compacted fill berm.
4. The liner must be free of tears or holes and placed over smooth surfaces to prevent puncturing. For excavated washouts, anchor the liner underneath the berm or overlap with sandbags or concrete blocks to hold in place.
5. Provide a sign designating the washout area, and for large construction sites, provide signs throughout directing traffic to its location.
6. Allow washed out concrete mixture to harden through evaporation of the wastewater. Once the facility has reached 75 percent of its capacity, remove the hardened concrete by reusing the broken aggregate onsite, recycling, or disposing of offsite. The hardened material can be buried on site with minimum of 1 foot of clean, compacted fill.
7. Apply a new liner before reusing the station for additional washouts after maintenance has occurred.

Source: Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3	Symbol: <b>CW</b>	Detail No. <b>DE-ESC-3.6.2</b> Sheet 2 of 2 Effective FEB 2019
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**Standard Detail & Specifications**  
**Stabilized Construct. Entrance**



**Standard Detail & Specifications**  
**Stabilized Construct. Entrance**



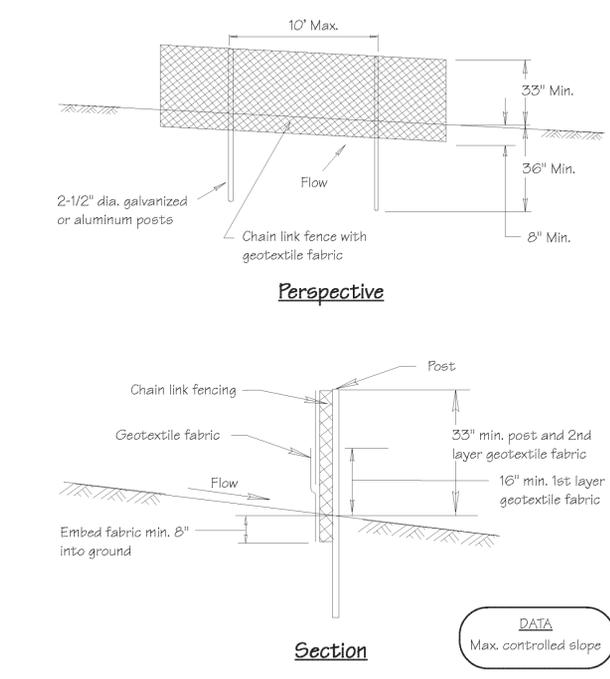
**Construction Notes:**

1. **Stone size** - Use DE #3 stone.
2. **Length** - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
3. **Thickness** - Not less than size (6) inches.
4. **Width** - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
5. **Geotextile** - Type GS-1; placed over the entire area prior to placing of stone.
6. **Surface Water** - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
7. **Maintenance** - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
8. **Washing** - Vehicle wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. **Inspection** - Periodic inspection and needed maintenance shall be provided after each rain.

Source: Adapted from VA ESC Handbook	Symbol: <b>SCE</b>	Detail No. <b>DE-ESC-3.4.7</b> Sheet 1 of 2 Effective FEB 2019
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Source: Adapted from VA ESC Handbook	Symbol: <b>SCE</b>	Detail No. <b>DE-ESC-3.4.7</b> Sheet 2 of 2 Effective FEB 2019
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**Standard Detail & Specifications**  
**Super Silt Fence**



Source: Adapted from MD Stds. & Specs. for ESC	Symbol: <b>SSF</b>	Detail No. <b>DE-ESC-3.1.2.3</b> Sheet 1 of 2 Effective FEB 2019
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**Standard Detail & Specifications**  
**Super Silt Fence**



**Construction Notes:**

1. The poles do not need to be set in concrete.
2. Chain link fence shall be fastened securely to the fence posts with wire ties or staples.
3. Geotextile fabric shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
4. Geotextile fabric shall be embedded a minimum of 8" into the ground.
5. When two sections of geotextile fabric adjoin each other, they shall be overlapped by 6" and folded.
6. Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence.

**Materials:**

1. **Fencing**: Fencing shall be 42 inches in height and constructed in accordance with the latest Delaware Department of Transportation (Del-DOT) Specifications for Chain Link Fencing (Section 727). The Del-DOT specification for a 6 foot fence shall be used, substituting 42 inch fabric and 6 foot length posts.
2. **Geosynthetic Fabric**: Type GD-1

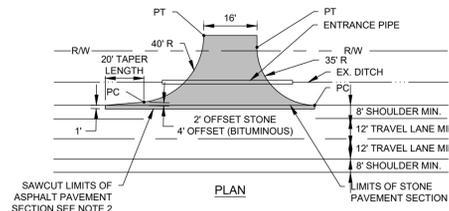
Source: Adapted from MD Stds. & Specs. for ESC	Symbol: <b>SSF</b>	Detail No. <b>DE-ESC-3.1.2.3</b> Sheet 2 of 2 Effective FEB 2019
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P:\Ocean Atlantic\1319A026 Marsh Island\Design\Clubhouse\1319A026 CLUBHOUSE PLANS.dwg Aug 18, 2020 - 10:48am KESR

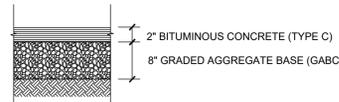
DAVIS, BOWEN & FRIEDEL, INC.  
ARCHITECTS ENGINEERS SURVEYORS  
1319 ARROWHEAD ROAD  
MILLSBORO, DELAWARE 19966  
(302) 424-1441  
EASTON, MARYLAND (410) 770-4744

**MARSH ISLAND CLUBHOUSE**  
**CAMP ARROWHEAD ROAD**  
**SUSSEX COUNTY, DELAWARE**

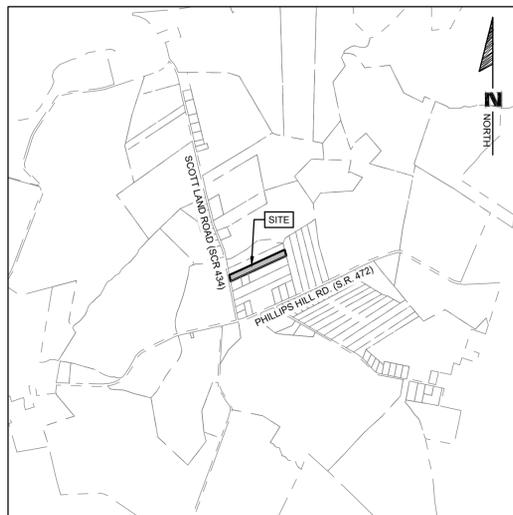
Revisions:
Date: <b>AUGUST 2020</b>
Scale: <b>NTS</b>
Dwn. By: <b>RPK</b>
Proj. No.: <b>1319A026</b>
Dwg. No.: <b>9</b>



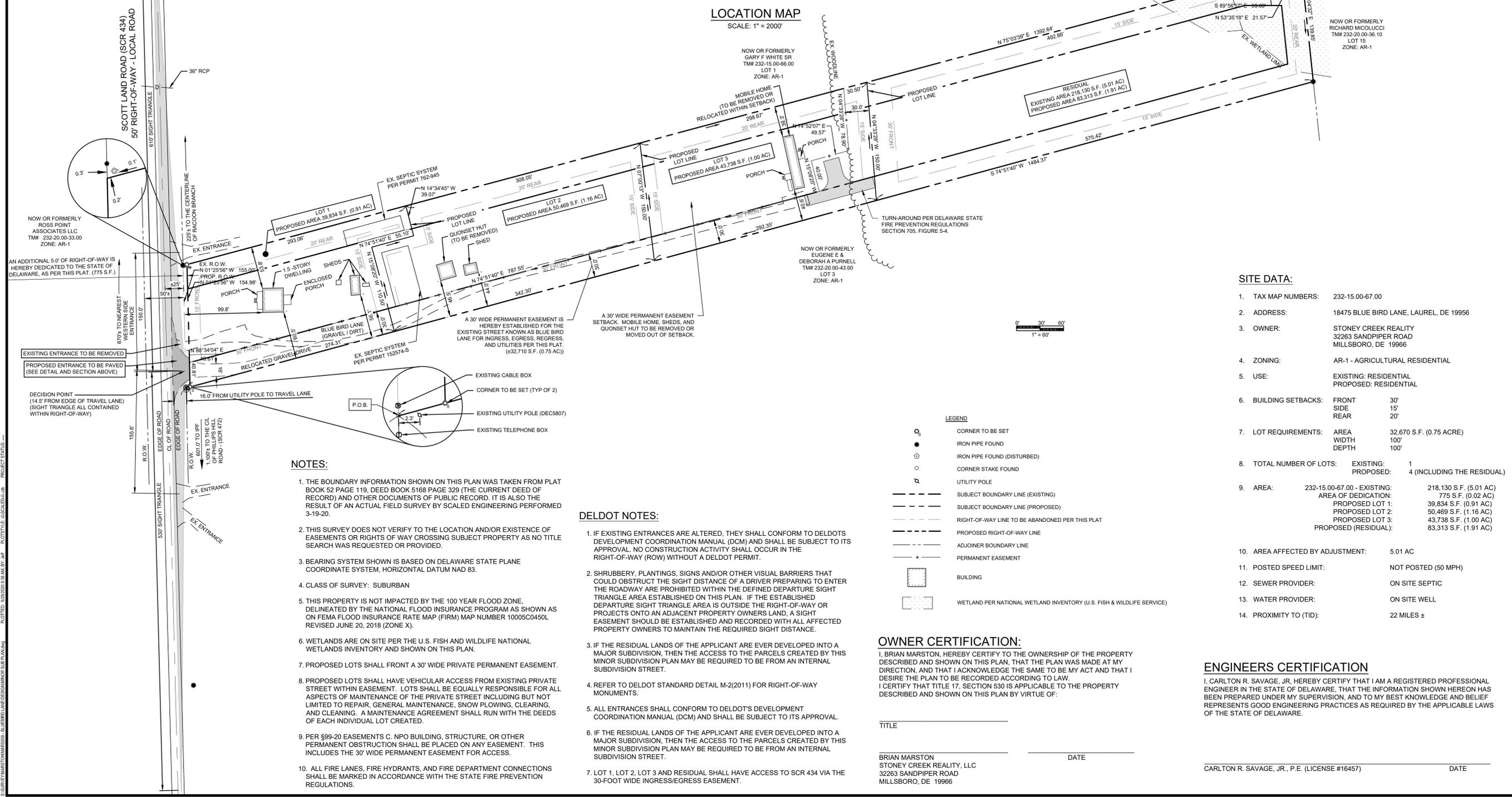
**ENTRANCE DETAIL**  
NOT TO SCALE



**ENTRANCE PAVEMENT SECTION**  
NOT TO SCALE



**LOCATION MAP**  
SCALE: 1" = 200'



**SITE DATA:**

1. TAX MAP NUMBERS:	232-15-00-67.00
2. ADDRESS:	18475 BLUE BIRD LANE, LAUREL, DE 19956
3. OWNER:	STONE CREEK REALTY 32263 SANDPIPER ROAD MILLSBORO, DE 19966
4. ZONING:	AR-1 - AGRICULTURAL RESIDENTIAL
5. USE:	EXISTING: RESIDENTIAL PROPOSED: RESIDENTIAL
6. BUILDING SETBACKS:	FRONT 30' SIDE 15' REAR 20'
7. LOT REQUIREMENTS:	AREA 32,670 S.F. (0.75 ACRE) WIDTH 100' DEPTH 100'
8. TOTAL NUMBER OF LOTS:	EXISTING: 1 PROPOSED: 4 (INCLUDING THE RESIDUAL)
9. AREA:	232-15-00-67.00 - EXISTING: 218,130 S.F. (5.01 AC) AREA OF DEDICATION: 775 S.F. (0.02 AC) PROPOSED LOT 1: 39,834 S.F. (0.91 AC) PROPOSED LOT 2: 50,469 S.F. (1.16 AC) PROPOSED LOT 3: 43,738 S.F. (1.00 AC) PROPOSED (RESIDUAL): 83,313 S.F. (1.91 AC)
10. AREA AFFECTED BY ADJUSTMENT:	5.01 AC
11. POSTED SPEED LIMIT:	NOT POSTED (50 MPH)
12. SEWER PROVIDER:	ON SITE SEPTIC
13. WATER PROVIDER:	ON SITE WELL
14. PROXIMITY TO (TID):	22 MILES ±

**LEGEND**

○	CORNER TO BE SET
●	IRON PIPE FOUND
⊙	IRON PIPE FOUND (DISTURBED)
○	CORNER STAKE FOUND
⊙	UTILITY POLE
---	SUBJECT BOUNDARY LINE (EXISTING)
---	SUBJECT BOUNDARY LINE (PROPOSED)
---	RIGHT-OF-WAY LINE TO BE ABANDONED PER THIS PLAT
---	PROPOSED RIGHT-OF-WAY LINE
---	ADJOINER BOUNDARY LINE
---	PERMANENT EASEMENT
▭	BUILDING
▨	WETLAND PER NATIONAL WETLAND INVENTORY (U.S. FISH & WILDLIFE SERVICE)

**OWNER CERTIFICATION:**  
I, BRIAN MARSTON, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND THAT I DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW. I CERTIFY THAT TITLE 17, SECTION 530 IS APPLICABLE TO THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN BY VIRTUE OF:

**ENGINEERS CERTIFICATION**  
I, CARLTON R. SAVAGE, JR. HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

TITLE \_\_\_\_\_ DATE \_\_\_\_\_  
BRIAN MARSTON  
STONE CREEK REALTY, LLC  
32263 SANDPIPER ROAD  
MILLSBORO, DE 19966  
CARLTON R. SAVAGE, JR., P.E. (LICENSE #16457) \_\_\_\_\_ DATE \_\_\_\_\_

- NOTES:**
- THE BOUNDARY INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM PLAT BOOK 52 PAGE 119, DEED BOOK 5168 PAGE 329 (THE CURRENT DEED OF RECORD) AND OTHER DOCUMENTS OF PUBLIC RECORD. IT IS ALSO THE RESULT OF AN ACTUAL FIELD SURVEY BY SCALED ENGINEERING PERFORMED 3-19-20.
  - THIS SURVEY DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHTS OF WAY CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS REQUESTED OR PROVIDED.
  - BEARING SYSTEM SHOWN IS BASED ON DELAWARE STATE PLANE COORDINATE SYSTEM, HORIZONTAL DATUM NAD 83.
  - CLASS OF SURVEY: SUBURBAN
  - THIS PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOOD ZONE, DELINEATED BY THE NATIONAL FLOOD INSURANCE PROGRAM AS SHOWN AS ON FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 10005C0450L REVISED JUNE 20, 2018 (ZONE X).
  - WETLANDS ARE ON SITE PER THE U.S. FISH AND WILDLIFE NATIONAL WETLANDS INVENTORY AND SHOWN ON THIS PLAN.
  - PROPOSED LOTS SHALL FRONT A 30' WIDE PRIVATE PERMANENT EASEMENT.
  - PROPOSED LOTS SHALL HAVE VEHICULAR ACCESS FROM EXISTING PRIVATE STREET WITHIN EASEMENT. LOTS SHALL BE EQUALLY RESPONSIBLE FOR ALL ASPECTS OF MAINTENANCE OF THE PRIVATE STREET INCLUDING BUT NOT LIMITED TO REPAIR, GENERAL MAINTENANCE, SNOW PLOWING, CLEARING, AND CLEANING. A MAINTENANCE AGREEMENT SHALL RUN WITH THE DEEDS OF EACH INDIVIDUAL LOT CREATED.
  - PER §99-20 EASEMENTS C, NPO BUILDING, STRUCTURE, OR OTHER PERMANENT OBSTRUCTION SHALL BE PLACED ON ANY EASEMENT. THIS INCLUDES THE 30' WIDE PERMANENT EASEMENT FOR ACCESS.
  - ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.

- DELDOT NOTES:**
- IF EXISTING ENTRANCES ARE ALTERED, THEY SHALL CONFORM TO DELDOTS DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL. NO CONSTRUCTION ACTIVITY SHALL OCCUR IN THE RIGHT-OF-WAY (ROW) WITHOUT A DELDOT PERMIT.
  - SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
  - IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
  - REFER TO DELDOT STANDARD DETAIL M-2(2011) FOR RIGHT-OF-WAY MONUMENTS.
  - ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
  - IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
  - LOT 1, LOT 2, LOT 3 AND RESIDUAL SHALL HAVE ACCESS TO SCR 434 VIA THE 30-FOOT WIDE INGRESS/EGRESS EASEMENT.

**BLUE BIRD LANE MINOR SUBDIVISION**  
TM: 232-15-00-67.00  
**BROAD CREEK HUNDRED, SUSSEX COUNTY, DELAWARE**

**SCALED ENGINEERING**  
Scaled Engineering Inc.  
10000 Rockwell Road  
Rockwell Beach, DE 19871  
Phone: (302) 238-3600

Date: 09-01-20  
Scale: 1" = 60'  
Dwn.By: JRE  
Proj.No.: MARS009  
Dwg.No.:  
Sheet 1 of 1

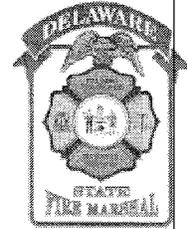
S:\B\C\AMARSTON\2019-09-01\BLUEBIRD\SCALED-06-19-20\PROJECT STATUS -

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**OFFICE OF THE STATE FIRE MARSHAL  
Technical Services**

22705 Park Avenue  
Georgetown, DE 19947



**SFMO PERMIT**

**Plan Review Number:** 2020-04-204731-MIS-01

**Tax Parcel Number:** 232-15.00-67.00

**Status:** Approved as Submitted

**Date:** 09/28/2020

**Project**

Blue Bird Lane Subdivision

18475 Blue Bird Lane

Stoney Creek Realty Property

Laurel DE 19956

**Scope of Project**

**Number of Stories:**

**Square Footage:**

**Construction Class:**

**Fire District:** 83 - Millsboro Fire Co Inc

**Occupant Load Inside:**

**Occupancy Code:** 9601

**Applicant**

Carlton Savage  
20246 Coastal Hwy  
Rehoboth, DE 19971

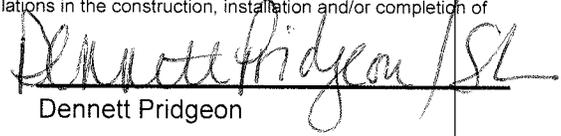
This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:

  
Dennett Pridgeon

## FIRE PROTECTION PLAN REVIEW COMMENTS

**Plan Review Number:** 2020-04-204731-MIS-01

**Tax Parcel Number:** 232-15.00-67.00

**Status:** Approved as Submitted

**Date:** 09/28/2020

### PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at [www.statefiremarshal.delaware.gov](http://www.statefiremarshal.delaware.gov). These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1000** The site plans have been approved as submitted. The Office of DE State Fire Marshal has no objection to recordation.
- 1010 A** The following water for fire protection requirements apply: NONE. On-Site Wells Proposed. this site meets Water Flow Table 1. therefore the provisions of NFPA 1142 shall apply to this site (DSFPR Regulation 702, Chapter 6, Section 3). Since wells are proposed for this site, no additional requirements will be made by this Agency for water for fire protection.
- 1011 A** Per Fire Flow Table 1, the following occupancies: One and Two Family Detached Dwellings, Multi Family & Other Residential, Rowhouses & Townhouses Shall not exceed 10,000 aggregate gross square footage; shall not exceed 35' or three stories; and Shall have a minimum setback of 15' from all property lines and 10' setback from exposure hazards on the same property. Additionally, Rowhouses & Townhouses shall have an internal fire separation of two hour fire rated walls per SFPR Part II, Chapter 2.
- 1408 A** All premises where emergency personnel may be called upon to provide emergency services, which are not readily accessible from streets, shall be provided with suitable gates, access roads, and fire lanes so that all buildings on the premises are accessible to emergency apparatus. (DSFPR Regulation 705, Chapter 5, Section 2).
- 1171 A** Any dead end road more than 300 feet in length shall be provided with a turn around or cul-de-sac arranged such that emergency apparatus will be able to

turn around by making not more than one backing maneuver. Any turn-arounds and cul-de-sacs shall be designed in accordance with DSFPR Regulation 705, Chapter 2, Sections 2.3, 2.3.1, and 2.3.

**1093 A** In the case of one and two-family dwellings emergency service access shall be provided in such a manner so that emergency apparatus will be able to locate within 100 feet from the street to the primary entrance. Where alleys are provided, pumpers shall be able to access all portions of the alley without strict restrictions for entrance radii. (DSFPR Regulation 705, Chapter 5, Sections 2.2 and 2.2.1).

**2500 A** A final inspection is required for this project prior to occupancy (DSFPR Part I, Section 4-7). Contact this Agency to schedule this inspection. Please have the plan review number available. **A MINIMUM OF FIVE (5) WORKING DAYS NOTICE IS REQUIRED.**



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

August 27, 2020

Mr. Jamie Whitehouse, Director  
Sussex County Planning & Zoning Commission  
Sussex County Administration Building  
P.O. Box 417  
Georgetown, Delaware 19947

**SUBJECT: Minor Subdivision - Letter of No Objection to Recordation  
Blue Bird Lane (Minor Subdivision)**  
Tax Parcel # 232-15.00-67.00  
SCR434-SCOTT LAND ROAD  
Broad Creek Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Minor Subdivision Plan dated June 17, 2020 (signed and sealed August 24, 2020), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawing. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Minor Subdivision Plan is not recorded and/or an entrance permit is not issued for the lot(s) prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

Entrances(s) must be installed prior to the sale of the lot(s). All entrances shall conform to DelDOT's [Development Coordination Manual](#) and shall be subject to its approval. **This letter does not authorize the commencement of entrance construction.**

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction

Blue Bird Lane (Minor Subdivision)

Mr. Jamie Whitehouse

Page 2

August 27, 2020

to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

The owner shall be responsible to submit a copy of the **recorded Minor Subdivision Plan** showing all appropriate signatures, seals, plot book and page number to the South District Public Works office (302) 853-1341 in order to obtain the entrance permit(s) for the proposed minor subdivision.

Sincerely,



Susanne K. Laws  
Sussex County Review Coordinator  
Development Coordination

cc: Carlton Savage, Scaled Engineering, Inc.  
Rusty Warrington, Sussex County Planning & Zoning  
Jessica L. Watson, Sussex Conservation District  
James Argo, South District Project Reviewer  
William Kirsch, South District Entrance Permit Supervisor  
Shannon Anderson, South District Public Work Admin Specialist  
Wendy L. Polasko, Subdivision Engineer  
John Andrescavage, Sussex County Reviewer

**PLANNING & ZONING COMMISSION**

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE-CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY J. WINGATE



**Sussex County**

DELAWARE  
sussexcountyde.gov  
302-855-7878 T  
302-854-5079 F  
JAMIE WHITEHOUSE, MRTPI, AICP  
DIRECTOR

**PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET**  
Planning Commission Public Hearing Date October 8th, 2020

Application: CU 2234 James Jones

Applicant/Owner: James Jones  
28984 Cordrey Rd  
Millsboro, DE 19966

Site Location: 28984 Cordrey Rd. On the south side of Cordrey Rd (S.C.R. 308),  
approximately 0.12 miles east of William Street Rd (S.C.R. 309)

Current Zoning: AR-1 (Agricultural Residential District)

Proposed Use: Fiberglass Swimming Pool & Spa Display/ Landscaping Business

Comprehensive Land  
Use Plan Reference: Low Density

Councilmatic  
District: Mr. Hudson

School District: Indian River School District

Fire District: Indian River Volunteer Fire Company

Sewer: Septic

Water: Private

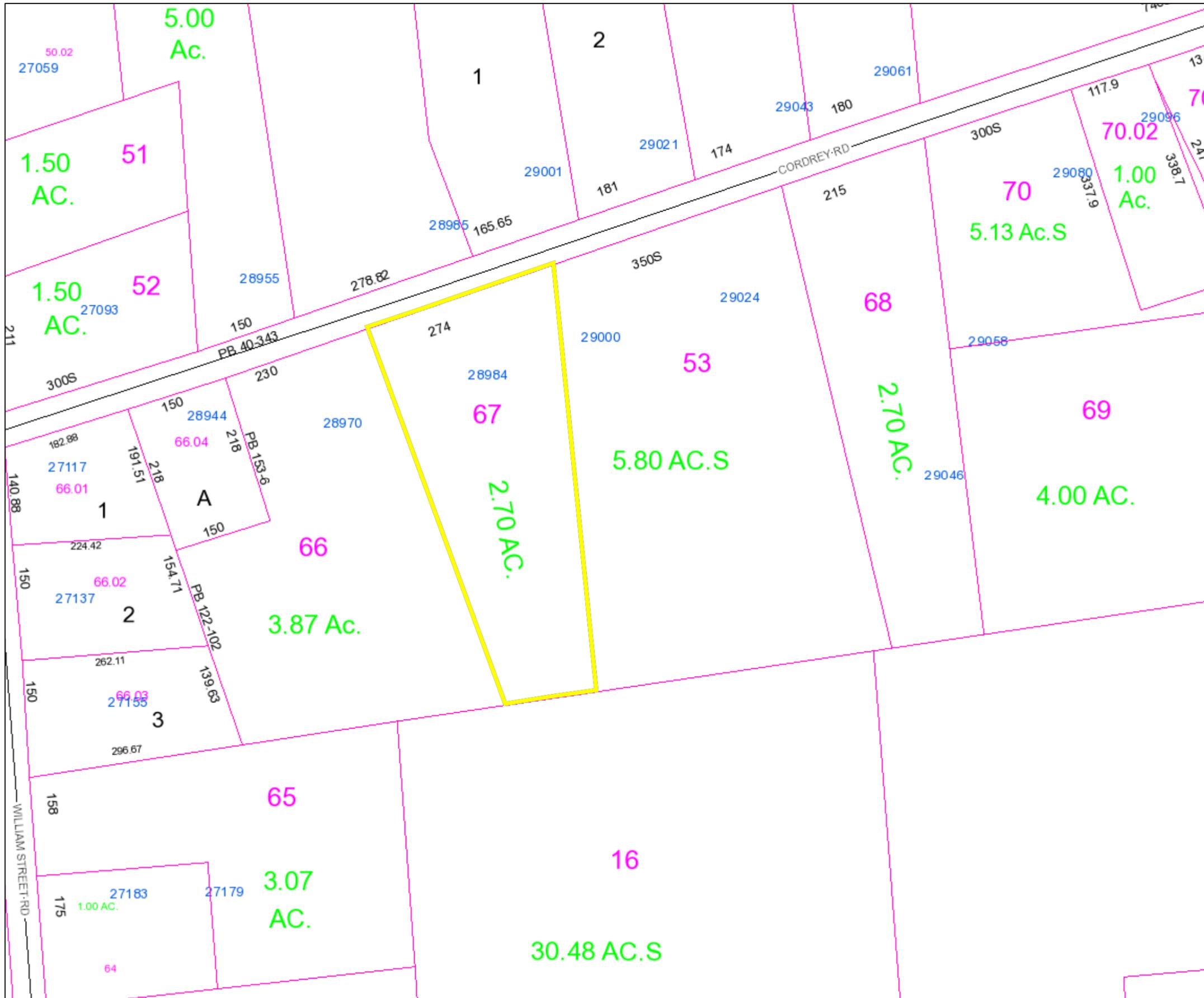
Site Area: 2.70 Acres +/-

Tax Map ID.: 234-28.00-67.00





# Sussex County

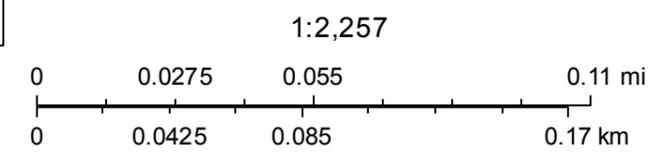


<b>PIN:</b>	234-28.00-67.00
<b>Owner Name</b>	JONES YVONNE R
<b>Book</b>	4459
<b>Mailing Address</b>	10A CEDAR LANE
<b>City</b>	FRANKFORD
<b>State</b>	DE
<b>Description</b>	S SD CO RD
<b>Description 2</b>	WAPLES MILL TO O OR
<b>Description 3</b>	2.70 ACRES
<b>Land Code</b>	

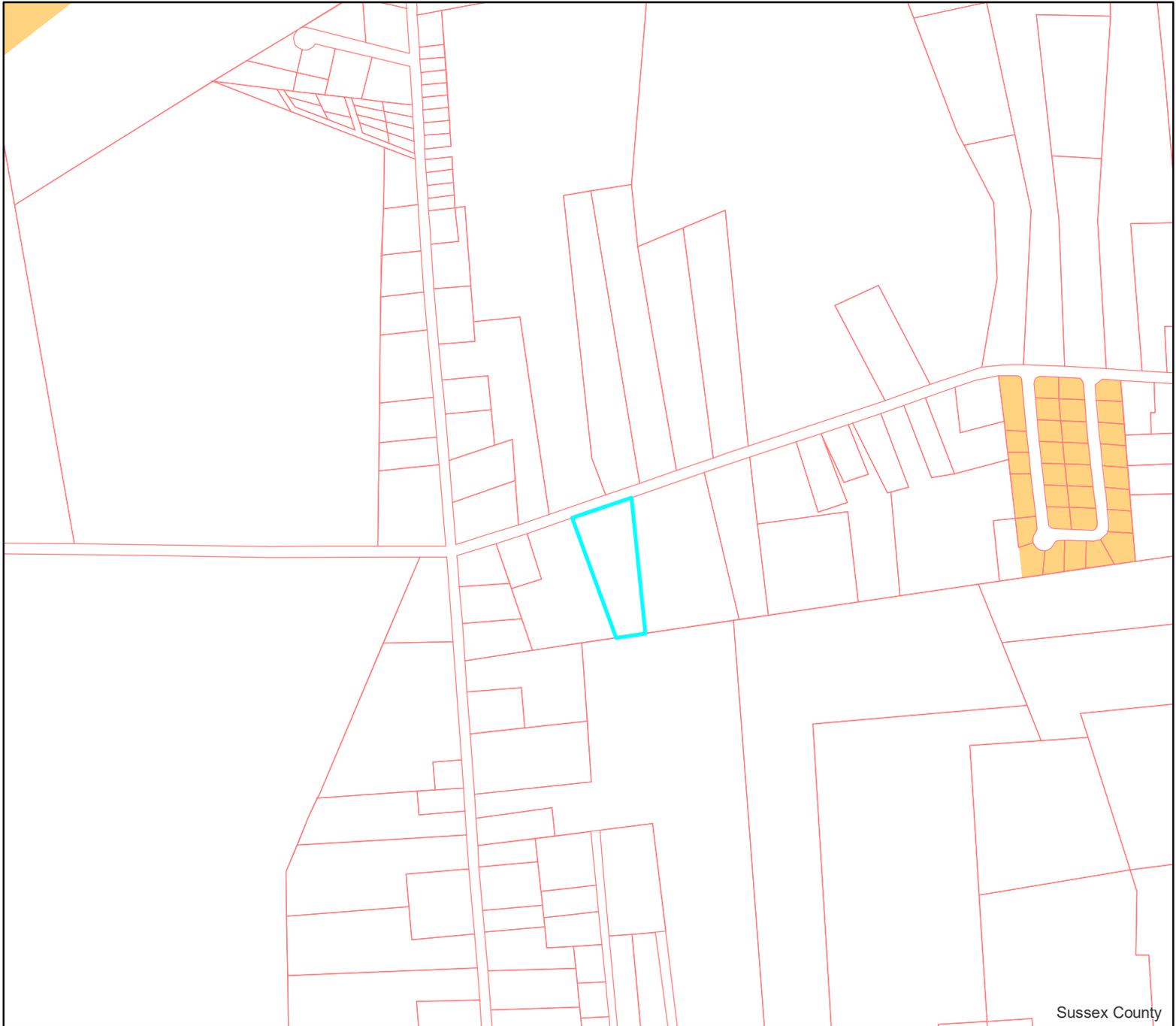
- polygonLayer**

  - Override 1
- polygonLayer**

  - Override 1
  - Tax Parcels
  - 911 Address
  - Streets
  - County Boundaries
  - Subdivisions
  - Municipal Boundaries



# CU 2234 James Jones



Sussex County

## Legend

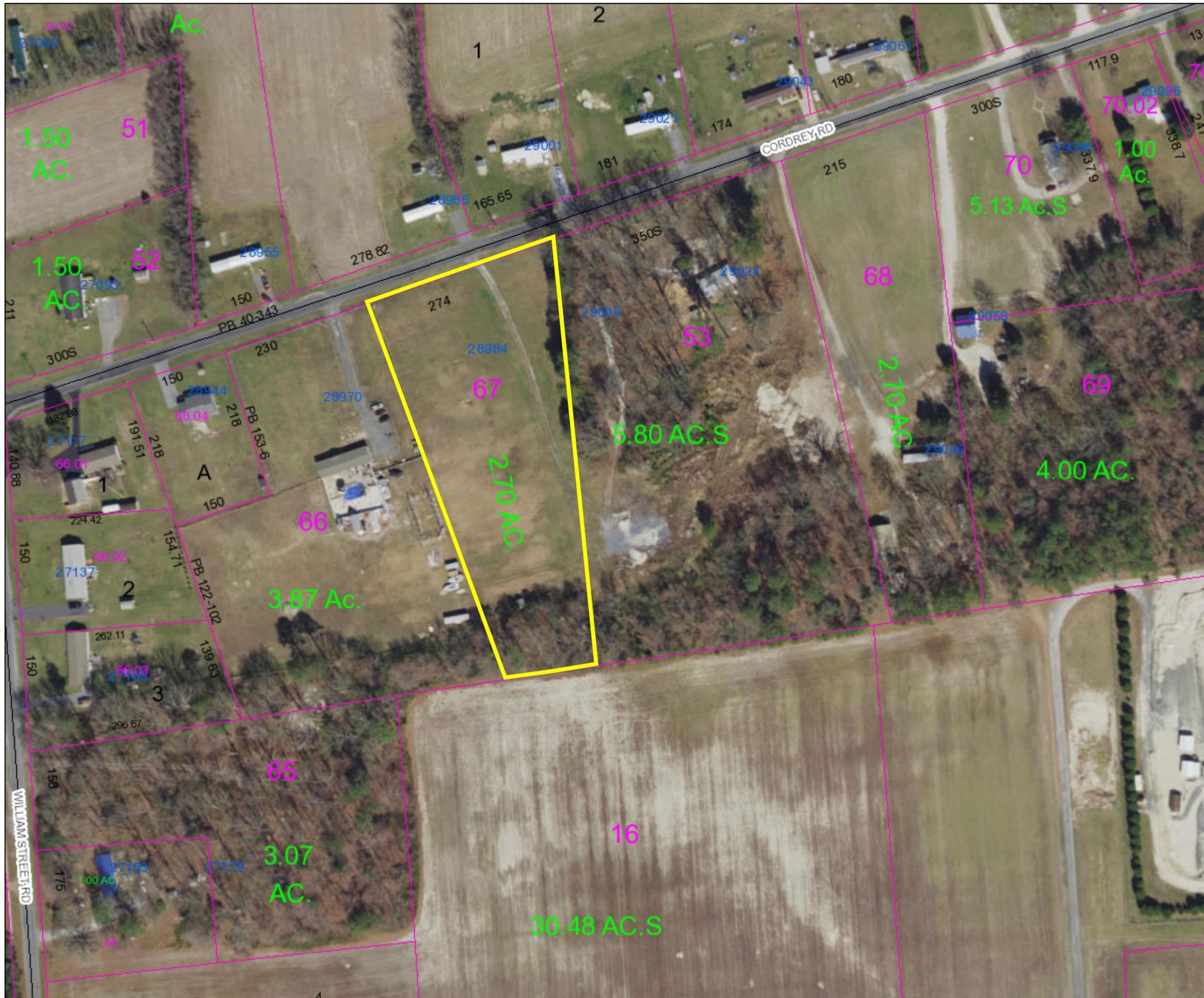
### Zoning

### District

 Agricultural Residential - AR-1	 High Density Residential - HR-2	 General Commercial - C-5
 Agricultural Residential - AR-2	 Vacation, Retire, Resident - VRP	 Commercial Residential - CR-1
 Medium Residential - MR	 Neighborhood Business - B-1	 Institutional - I-1
 General Residential - GR	 Neighborhood Business - B-2	 Marine - M
 High Density Residential - HR-1	 General Commercial - C-1	 Limited Industrial - LI-1
	 General Commercial - C-2	 Limited Industrial - LI-2
	 General Commercial - C-3	 Heavy Industrial - HI-1
	 General Commercial - C-4	

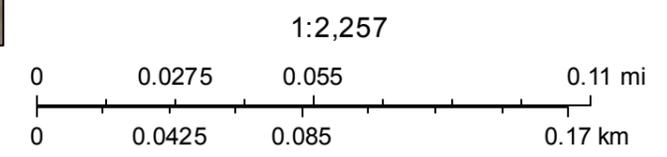


# Sussex County



<b>PIN:</b>	234-28.00-67.00
<b>Owner Name</b>	JONES YVONNE R
<b>Book</b>	4459
<b>Mailing Address</b>	10A CEDAR LANE
<b>City</b>	FRANKFORD
<b>State</b>	DE
<b>Description</b>	S SD CO RD
<b>Description 2</b>	WAPLES MILL TO O OR
<b>Description 3</b>	2.70 ACRES
<b>Land Code</b>	

- polygonLayer**
  - Override 1
- polygonLayer**
  - Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- Subdivisions
- Municipal Boundaries



JAMIE WHITEHOUSE, AICP, MRTPI  
DIRECTOR OF PLANNING & ZONING  
(302) 855-7878 T  
(302) 854-5079 F  
jamie.whitehouse@sussexcountyde.gov



Sussex County

DELAWARE  
sussexcountyde.gov

## Memorandum

To: Sussex County Planning Commission Members  
From: Nick Torrance, Planner I  
CC: Vince Robertson, Assistant County Attorney and applicant  
Date: October 1, 2020  
RE: Staff Analysis for CU 2234 James Jones

---

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CU 2234 James Jones to be reviewed during the October 8, 2020 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for Tax Parcel 234-28.00-67.00 to allow for a Conditional Use of land in an Agricultural Residential (AR-1) Zoning District for a fiberglass swimming pool and spa display and landscaping business. The parcel is located on the south side of Cordrey Rd. (S.C.R. 308) in Millsboro, Delaware. The size of the property is approximately 2.70 acres +/-.

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework for how land is to be developed. As part of the Comprehensive Plan a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the property has the land use designation of Low-Density Area.

The surrounding parcels to the southwest, west, and northwest are all designated on the Future Land Use Map as "Low Density". The uses that the Low-Density Area land use designation recognizes are primarily agricultural activities and homes. Business development should be largely confined to businesses addressing the needs of these two uses. Industrial and agribusiness uses that support or depend on agriculture should be permitted. The focus of retail and office uses in Low Density should be providing convenience goods and services to nearby residents. Commercial uses in these residential areas should be limited in their location, size and hours of operation. More intense commercial uses should be avoided in these areas.

The property is zoned AR-1 (Agricultural Residential Zoning District). The adjoining and surrounding properties located within the county jurisdiction to the southwest, west, and northwest are all zoned AR-1 (Agricultural Residential Zoning District).

Since 2011, there have been no Conditional Use approvals within a 1-mile radius of the application site.

Based on the analysis of the land use, surrounding zoning and uses, the Conditional Use to allow for a public utility elevated storage tank, subject to considerations of scale and impact, could be considered as being consistent with the land use, area zoning and surrounding uses.



# Planning & Zoning Commission Application

## Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

**Type of Application: (please check applicable)**

Conditional Use   
Zoning Map Amendment

**Site Address of Conditional Use/Zoning Map Amendment**

28984 Cordrey Rd. Millsboro, DE 19966

**Type of Conditional Use Requested:**

Fiberglass swimming pool + spa display

Tax Map #: 234-28.00-67.00 Size of Parcel(s): 2.70 Ac

Current Zoning: AR-1 Proposed Zoning: \_\_\_\_\_ Size of Building: \_\_\_\_\_

Land Use Classification: Conditional

Water Provider: \_\_\_\_\_ Sewer Provider: \_\_\_\_\_

**Applicant Information**

Applicant Name: James Jones  
Applicant Address: 28984 Cordrey Rd  
City: Millsboro State: DE Zip Code: 19966  
Phone #: 302-752-6233 E-mail: cordwatercleanlawn@gmail.com

**Owner Information**

Owner Name: James Jones  
Owner Address: 28984 Cordrey Rd.  
City: Millsboro State: DE Zip Code: 19966  
Phone #: 302-752-6233 E-mail: cordwatercleanlawn@gmail.com

**Agent/Attorney/Engineer Information**

Agent/Attorney/Engineer Name: \_\_\_\_\_  
Agent/Attorney/Engineer Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_



# Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

\_\_\_ Completed Application

\_\_\_ Provide eight (8) copies of the Site Plan or Survey of the property

- o Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
- o Provide a PDF of Plans (may be e-mailed to a staff member)
- o Deed or Legal description

\_\_\_ Provide Fee \$500.00

\_\_\_ Optional - Additional information for the Commission/Council to consider (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.

\_\_\_ Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.

\_\_\_ DeIDOT Service Level Evaluation Request Response

\_\_\_ PLUS Response Letter (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

### Signature of Applicant/Agent/Attorney

\_\_\_\_\_

Date: \_\_\_\_\_

### Signature of Owner

  
\_\_\_\_\_

Date: 2-21-2020

### For office use only:

Date Submitted: \_\_\_\_\_

Fee: \$500.00 Check #: \_\_\_\_\_

Staff accepting application: \_\_\_\_\_

Application & Case #: \_\_\_\_\_

Location of property: \_\_\_\_\_

Subdivision: \_\_\_\_\_

Date of PC Hearing: \_\_\_\_\_

Recommendation of PC Commission: \_\_\_\_\_

Date of CC Hearing: \_\_\_\_\_

Decision of CC: \_\_\_\_\_



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

March 16, 2020

Mr. Jamie Whitehouse, Acting Director  
Sussex County Planning & Zoning  
P.O. Box 417  
Georgetown, DE 19947

Dear Mr. Jamie:

The Department has completed its review of a Service Level Evaluation Request for the **James Jones** conditional use application, which we received on February 21, 2020. This application is for an approximately 2.70-acre parcel (Tax Parcel: 234-28.00-67.00). The subject land is located on the south side of Cordrey Road (Sussex Road 308), approximately 600 feet east of the intersection of Cordrey Road and William Street Road (Sussex Road 309). The subject land is currently zoned AR-1 (Agricultural Residential), and the applicant is seeking a conditional use approval to use the existing 1,200 square-foot pole building for a fiberglass pool and spa display / landscaping business.

Per the 2018 Delaware Vehicle Volume Summary, the annual average daily traffic volume along the segment of Cordrey Road where the subject land is located, which is from William Street Road to Streets Road (Sussex Road 310), is 729 vehicles per day.

Based on our review, we estimate that the above land uses will generate fewer than 50 vehicle trips in any hour and fewer than 500 vehicle trips per day. These numbers of trips are DelDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. Because the proposed land use would not meet these warrants, we consider the development's traffic impact to be negligible in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DelDOT's description of this application as negligible with regard to warranting a TIS does not mean that it is negligible in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.

If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.



Mr. Jamie Whitehouse  
Page 2 of 2  
March 16, 2020

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.  
County Coordinator  
Development Coordination

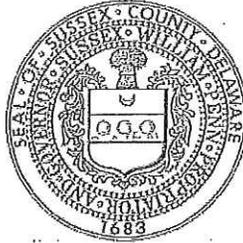
TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues  
James Jones, Applicant  
J. Marc Coté, Assistant Director, Development Coordination  
Gemez Norwood, South District Public Works Manager, Maintenance & Operations  
Susanne K. Laws, Sussex County Review Coordinator, Development Coordination  
Derek Sapp, Subdivision Manager, Development Coordination  
Kevin Hickman, Subdivision Manager, Development Coordination  
Brian Yates, Subdivision Manager, Development Coordination  
John Andrescavage, Subdivision Manager, Development Coordination  
James Argo, South District Project Reviewer, Maintenance & Operations  
Troy Brestel, Project Engineer, Development Coordination  
Claudy Joinville, Project Engineer, Development Coordination

**PLANNING & ZONING**

JANELLE M. CORNWELL, AICP  
DIRECTOR

(302) 855-7878 T  
(302) 854-5079 F



**Sussex County**

DELAWARE  
sussexcountyde.gov

**Service Level Evaluation Request Form**

This form shall be submitted to the Planning and Zoning Office and a response shall be received back from DeDOT prior to the applicant being able to submit an application to the Planning and Zoning Office.

Date: 2-21-2020

**Site Information:**

Site Address/Location: 28984 Cordrey RD Millsboro DE 19966

Tax Parcel Number: 234-28.00-67.00

Current Zoning: AR-1

Proposed Zoning: CU

Land Use Classification: Conditional

Proposed Use(s):

Fiberglass pool and SPA Display / Landscaping business

Square footage of any proposed buildings or number of units: 30x50 existing pole building

**Applicant Information:**

Applicant's Name: James Jones

Applicant's Address: 28984 Cordrey RD  
City: Millsboro State: DE Zip Code: 19966

Applicant's Phone Number: 302-752-6233

Applicant's e-mail address: Coolwater Cleanlawn@gmail.com



**SUSSEX COUNTY ENGINEERING DEPARTMENT**  
**UTILITY PLANNING DIVISION**  
**C/U & C/Z COMMENTS**

TO: **Jamie Whitehouse**

REVIEWER: **Chris Calio**

DATE: **9/21/2020**

APPLICATION: **CU 2234**

APPLICANT: **James Jones**

FILE NO: **NCPA-5.03**

TAX MAP &  
PARCEL(S): **234-28.00-67.00**

LOCATION: **28984 Cordrey Road. On the east side of Cordrey Road (SCR 308), approximately 0.12 miles east of William Street Road (SCR 309)**

NO. OF UNITS: **Fiberglass Swimming Pool & Spa Display/ Landscaping Business.**

GROSS  
ACREAGE: **2.70**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

**SEWER:**

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?  
Yes  No 
  - a. If yes, see question (2).
  - b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 3**
- (3). Is wastewater capacity available for the project? **N/A** If not, what capacity is available? **N/A**.
- (4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **N/A** If yes, the current System Connection Charge Rate is **Unified \$6,360.00** per EDU. Please contact **N/A** at **302-855-7719** for additional information on charges.

- (6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **No**
- Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.
- (7). Is project adjacent to the Unified Sewer District? **No**
- (8). Comments: **The proposed Conditional Use is not in an area where the Sussex County Engineering Department has a schedule to provide sanitary sewer service.**
- (9). Is a Sewer System Concept Evaluation required? **No**
- (10). Is a Use of Existing Infrastructure Agreement Required? **No**

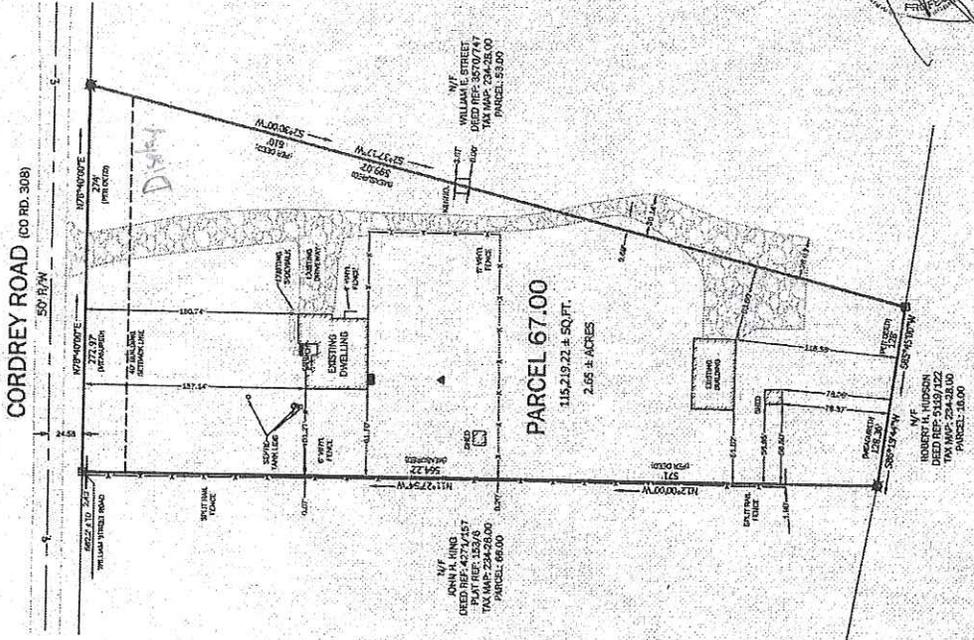
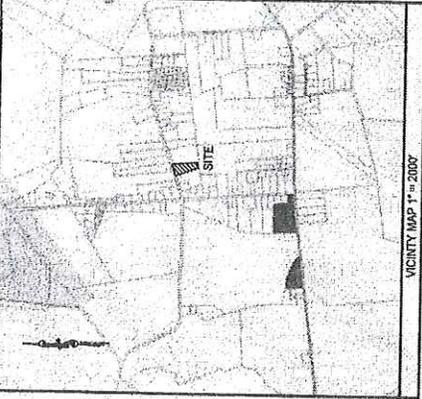
UTILITY PLANNING APPROVAL:



---

John J. Ashman  
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.  
Jayne Dickerson  
No Permit Tech Assigned



PER DEED REF: 459/118

**LEGEND**

- ▣ CONCRETE MONUMENT FOUND
- IRON ROD W/ CAP FOUND
- CLEAN CUT
- ▲ EXISTING WELL
- EDGE OF PAVING
- - - BUILDING SETBACK LINE (BSL)
- - - FENCE
- ▨ GRAVEL

**GENERAL NOTES**

- 1) THE PROPERTY SHOWN HEREON IS CURRENTLY OWNED BY: YONNE E. & JAMES EVERETTE JONES.
- 2) DEED REFERENCE: 459/118.
- 3) TOTAL NUMBER OF PARCELS = 1.
- 4) TOTAL AREA OF PARCELS = 2.65 ± ACRES / 115,219.22 ± SQ. FT.
- 5) THIS SURVEY IS A PARTIAL SURVEY OF PARCEL 67.00 OF 660.00 ACRES IN ZONE "R". AREAS DETERMINED TO BE OUTSIDE THE UTZM ANNUAL RESIDENTIAL (SUSSEX COUNTY).
- 6) THE PRESENT ZONING OF THIS PROPERTY IS: RES. (AGRICULTURAL).
- 7) NO TITLE REPORT HAS PROVIDED FOR OUR USE. THEREFORE THIS SURVEY IS CONDUCTED WITHOUT ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS AND/OR RIGHTS OF PARTY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH.



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A SURVEYOR LICENSED UNDER THE LAWS OF THE STATE OF DELAWARE. LICENSE NUMBER: 52327. EXPIRES: JUNE 30, 2024.

*BRUCE PARRER*  
BRUCE PARRER  
DATE: 2/18/20

STATE OF DELAWARE  
DEPARTMENT OF TRANSPORTATION

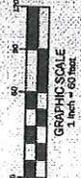
**BOUNDARY SURVEY PLAN**  
28984 CORDREY RD  
FOR JAMES JONES

INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

DATE: 02/07/2020  
DRAWN BY: AMH  
SCALE: 1" = 60'  
SHEET NO.: 52327  
SHEET TOTAL: 294-38.00  
PRICE: 87.00

SURVEYING  
**PARRER**  
G. ASSOCIATES  
INC.  
CIVIL ENGINEERING  
SITE PLANNING

ESTABLISHED 1977  
1000 W. MARKET ST.  
MILFORD, DE 19968



**PLANNING & ZONING COMMISSION**

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE-CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY J. WINGATE



**Sussex County**

DELAWARE  
sussexcountyde.gov  
302-855-7878 T  
302-854-5079 F  
JAMIE WHITEHOUSE, MRTPI, AICP  
DIRECTOR

**PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET**  
Planning Commission Public Hearing Date October 8th, 2020

Application: CU 2234 Tidewater Utilities, Inc

Applicant/Owner: Tidewater Utilities, Inc  
1100 South Little Creek Road  
Dover, DE 19901

Site Location: 1270 Kings Highway. Located on the southeast side of John J. Williams Highway (Rt. 24) approximately 1.52 miles southwest of Coastal Highway (Route 1)

Current Zoning: AR-1 (Agricultural Residential District)

Proposed Use: Elevated Storage Tank

Comprehensive Land Use Plan Reference: Commercial

Councilmatic District: Mr. Hudson

School District: Cape Henlopen School District

Fire District: Rehoboth Fire Company

Sewer: Tier 2 - Sussex County Planning Area

Water: Tidewater Utilities

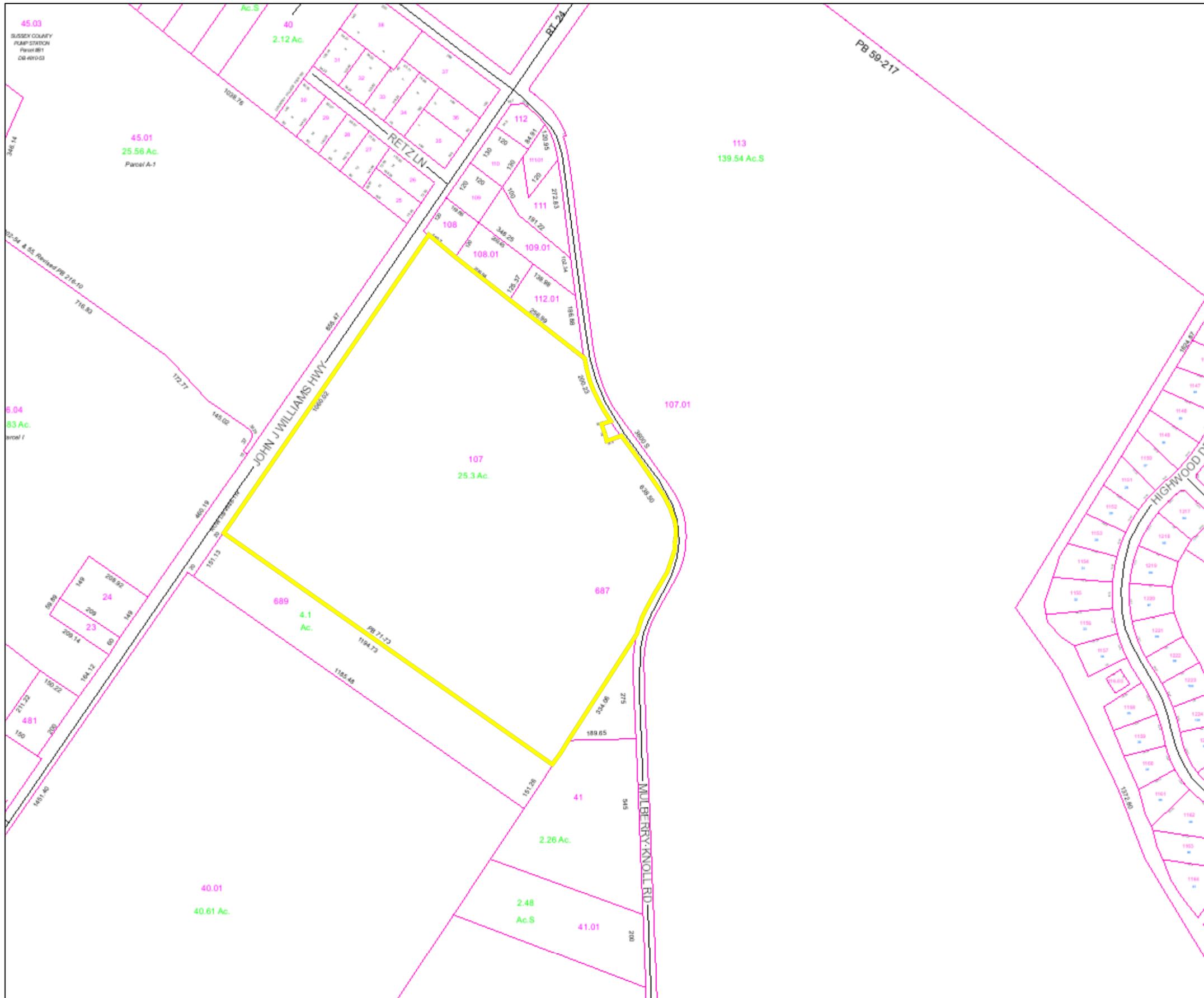
Site Area: 2124 Square Feet +/-

Tax Map ID.: 334-12.00-107.00 (Portion of)





# Sussex County



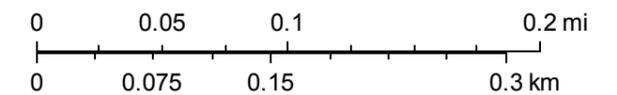
<b>PIN:</b>	334-12.00-107.00
<b>Owner Name</b>	CAPE HENLOPEN SCHOOL DISTRICT
<b>Book</b>	2549
<b>Mailing Address</b>	1270 KINGS HWY
<b>City</b>	LEWES
<b>State</b>	DE
<b>Description</b>	ON RD 24
<b>Description 2</b>	CAPE HENLOPEN MIDDLE
<b>Description 3</b>	SCHOOL 2759700
<b>Land Code</b>	

- polygonLayer**

Override 1
- polygonLayer**

Override 1
- Tax Parcels
- Streets
- County Boundaries
- Municipal Boundaries

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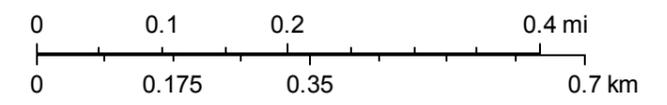
# Sussex County



<b>PIN:</b>	334-12.00-107.00
<b>Owner Name</b>	CAPE HENLOPEN SCHOOL DISTRICT
<b>Book</b>	2549
<b>Mailing Address</b>	1270 KINGS HWY
<b>City</b>	LEWES
<b>State</b>	DE
<b>Description</b>	ON RD 24
<b>Description 2</b>	CAPE HENLOPEN MIDDLE
<b>Description 3</b>	SCHOOL 2759700
<b>Land Code</b>	

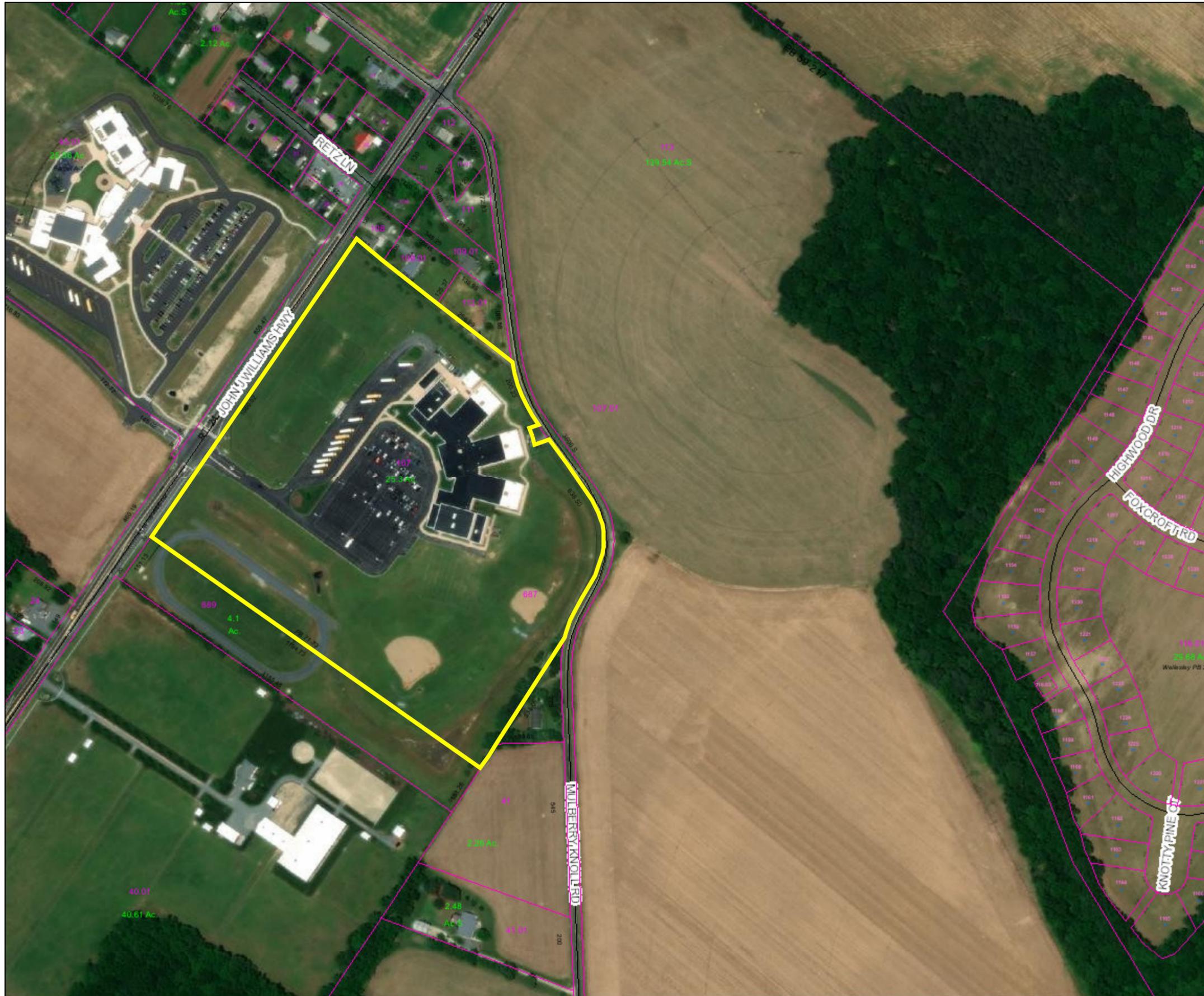
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Override 1
- Tax Parcels
- Streets

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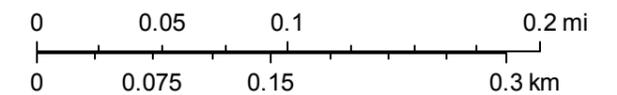
# Sussex County



<b>PIN:</b>	334-12.00-107.00
<b>Owner Name</b>	CAPE HENLOPEN SCHOOL DISTRICT
<b>Book</b>	2549
<b>Mailing Address</b>	1270 KINGS HWY
<b>City</b>	LEWES
<b>State</b>	DE
<b>Description</b>	ON RD 24
<b>Description 2</b>	CAPE HENLOPEN MIDDLE
<b>Description 3</b>	SCHOOL 2759700
<b>Land Code</b>	

- polygonLayer**  
Override 1
- polygonLayer**  
Override 1
- Tax Parcels
- Streets
- County Boundaries
- Municipal Boundaries

1:4,514



JAMIE WHITEHOUSE, AICP, MRTPI  
DIRECTOR OF PLANNING & ZONING  
(302) 855-7878 T  
(302) 854-5079 F  
jamie.whitehouse@sussexcountyde.gov



Sussex County

DELAWARE  
sussexcountyde.gov

## Memorandum

To: Sussex County Planning Commission Members  
From: Jennifer Norwood, Planner I  
CC: Vince Robertson, Assistant County Attorney and applicant  
Date: October 1, 2020  
RE: Staff Analysis for CU 2240 Tidewater Utilities LLC

---

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CU 2240 Tidewater Utilities, LLC to be reviewed during the October 8, 2020 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for Tax Parcel 334-12.00-107.00 to allow for a Conditional Use of land in an Agricultural Residential (AR-1) Zoning District for a public utility elevated storage tank. The parcel is located on the southeast side of John J. Williams Hwy (Rt.24) in Lewes, Delaware. The size of the property is approximately 2,124 SF +/-.

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the subject property has a Commercial designation. The adjacent properties in each direction are also a part of the Commercial and Coastal Area.

The Commercial Area is designated to encourage commercial corridors, shopping centers, and other medium and large commercial vicinities geared towards vehicular traffic. The Coastal Area is designated to encourage growth and development without diminishing ecological and environmental characteristics.

This parcel is zoned Agricultural Residential (AR-1) Zoning District. The adjacent parcels to the north, south, east and west of the parcel are zoned Agricultural Residential (AR-1) Zoning District.

Since 2011, there has been one (1) Conditional Use application in a one-mile radius. Conditional Use 2059, to allow for a beauty salon, was approved by County Council on October 25, 2016 and adopted through Ordinance No. 2478.

Based on the analysis of the land use, surrounding zoning and uses, the Conditional Use to allow for a public utility elevated storage tank, subject to considerations of scale and impact, could be considered as being consistent with the land use, area zoning and surrounding uses.



File #: CU 2240  
202008884

## Planning & Zoning Commission Application Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

RECEIVED

JUL 21 2020

SUSSEX COUNTY  
PLANNING & ZONING

**Type of Application: (please check applicable)**

Conditional Use

Zoning Map Amendment

**Site Address of Conditional Use/Zoning Map Amendment**

(Beacon Middle School) 19483 John J. Williams Highway, Lewes, Delaware 19958

**Type of Conditional Use Requested:**

Public utility; installation of an elevated storage tank

**Tax Map #:** 334-12.00-107.00 **Size of Parcel(s):** 29.23 AC

**Current Zoning:** AR-1 **Proposed Zoning:** AR-1 **Size of Building:** 2,124 SF (tank base)

**Land Use Classification:** Institutional/Governmental

**Water Provider:** Tidewater Utilities, Inc.

**Sewer Provider:** Sussex County

**Applicant Information**

**Applicant Name:** Tidewater Utilities, Inc.

**Applicant Address:** 1100 South Little Creek Road

**City:** Dover **State:** DE **Zip Code:** 19901

**Phone #:** (302) 747-1306 **E-mail:** gcoury@middlesexwater.com

**Owner Information**

**Owner Name:** Cape Henlopen School District

**Owner Address:** 1270 Kings Highway

**City:** Lewes **State:** DE **Zip Code:** 19958

**Phone #:** (302) 645-1442 **E-mail:** \_\_\_\_\_

**Agent/Attorney/Engineer Information**

**Agent/Attorney/Engineer Name:** Beacon Engineering, LLC

**Agent/Attorney/Engineer Address:** 23318 Cedar Lane

**City:** Georgetown **State:** DE **Zip Code:** 19947

**Phone #:** (302) 864-8825 **E-mail:** rpalmer@beaconengineeringllc.com



# Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

**Completed Application**

**Provide eight (8) copies of the Site Plan or Survey of the property**

- Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
- Provide a PDF of Plans (may be e-mailed to a staff member)
- Deed or Legal description

**Provide Fee \$500.00**

**Optional - Additional information for the Commission/Council to consider** (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.

**Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.**

**DelDOT Service Level Evaluation Request Response**

N/A **PLUS Response Letter** (if required)

SLER was applied for on July 2, 2020. We will provide the County with a response once we receive it from DelDOT.

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

**Signature of Applicant/Agent/Attorney**



Date: 7/17/2020

**Signature of Owner**



Date: 7/13/20

**For office use only:**

Date Submitted: 7/21/20

Fee: \$500.00 Check #: 10246133

Staff accepting application: NT

Application & Case #: CU2240

Location of property: \_\_\_\_\_

Subdivision: \_\_\_\_\_

Date of PC Hearing: \_\_\_\_\_

Recommendation of PC Commission: \_\_\_\_\_

Date of CC Hearing: \_\_\_\_\_

Decision of CC: \_\_\_\_\_



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

July 30, 2020

Mr. Jamie Whitehouse, Director  
Sussex County Planning & Zoning  
P.O. Box 417  
Georgetown, DE 19947

Dear Mr. Whitehouse:

The Department has completed its review of a Service Level Evaluation Request for the **Tidewater Utilities, Inc.** conditional use application, which we received on July 2, 2020. This application is for an approximately 25.3-acre parcel (Tax Parcel: 334-12.00-107.00). The subject land is located on the southeast side of Delaware Route 24, approximately 500 feet southwest of the intersection of Delaware Route 24 and Mulberry Knoll Road (Sussex Road 284). The subject land is currently zoned as AR-1 (Agricultural Residential), and the applicant is seeking a conditional use approval to install an elevated storage tank onsite at the Beacon Middle School to serve the south Rehoboth area.

Per the 2019 Delaware Vehicle Volume Summary, the annual average and summer average daily traffic volumes along the segment of Delaware Route 24 where the subject land is located, which is from Camp Arrowhead Road (Sussex Road 279) to Warrington Road / Plantations Road (Sussex Road 275), are 19,793 and 25,474 vehicles per day, respectively.

Based on our review, we estimate that the above land uses will generate fewer than 50 vehicle trips in any hour and fewer than 500 vehicle trips per day. These numbers of trips are DelDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. Because the proposed land use would not meet these warrants, we consider the development's traffic impact to be negligible in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DelDOT's description of this application as negligible with regard to warranting a TIS does not mean that it is negligible in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.

If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.



Mr. Jamie Whitehouse  
Page 2 of 2  
July 30, 2020

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.  
County Coordinator  
Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues  
Tidewater Utilities, Inc., Applicant  
Todd Sammons, Assistant Director, Development Coordination  
Gemez Norwood, South District Public Works Manager, Maintenance & Operations  
Susanne K. Laws, Sussex County Review Coordinator, Development Coordination  
Derek Sapp, Subdivision Manager, Development Coordination  
Kevin Hickman, Subdivision Manager, Development Coordination  
Brian Yates, Subdivision Manager, Development Coordination  
John Andrescavage, Subdivision Manager, Development Coordination  
James Argo, South District Project Reviewer, Maintenance & Operations  
Troy Brestel, Project Engineer, Development Coordination  
Claudy Joinville, Project Engineer, Development Coordination

**SUSSEX COUNTY ENGINEERING DEPARTMENT**  
**UTILITY PLANNING DIVISION**  
**C/U & C/Z COMMENTS**

TO: **Jamie Whitehouse**

REVIEWER: **Chris Calio**

DATE: **9/21/2020**

APPLICATION: **CU 2240 Tidewater Utilities, Inc**

RECEIVED

APPLICANT: **Tidewater Utilities, Inc**

OCT 01 2020

FILE NO: **NCPA-5.03**

SUSSEX COUNTY  
PLANNING & ZONING

TAX MAP &  
PARCEL(S): **334-12.00-107.00 (portion of)**

LOCATION: **Located on the southeast side of John J. Williams Highway (Rt. 24), approximately 1.52 miles southwest of Coastal Highway (SR 1)**

NO. OF UNITS: **Elevated Water Storage Tank**

GROSS  
ACREAGE: **2,124 sq. ft.**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

**SEWER:**

(1). Is the project in a County operated and maintained sanitary sewer and/or water district?

Yes

No

a. If yes, see question (2).

b. If no, see question (7).

(2). Which County Tier Area is project in? **Tier 2**

(3). Is wastewater capacity available for the project? **Yes** If not, what capacity is available? **N/A.**

(4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.

(5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A.** Is it likely that additional SCCs will be required? **No** If yes, the current System Connection Charge Rate is **Unified \$6,360.00** per EDU. Please contact **Christine Fletcher** at **302-855-7719** for additional information on charges.

- (6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **Yes**
- Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.
- (7). Is project adjacent to the Unified Sewer District? **Yes**
- (8). Comments: **Sussex County has a pumpstation and forcemain contract permitted by DNREC for construction of sewer improvements in the area. Construction is scheduled to begin early 2021 coordination of the project and utilities is required. The proposed project is on a parcel that is currently served with Sussex County sewer through a Memorandum of Understanding.**
- (9). Is a Sewer System Concept Evaluation required? **No**
- (10). Is a Use of Existing Infrastructure Agreement Required? **No**

UTILITY PLANNING APPROVAL:



---

John J. Ashman  
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.  
Jayne Dickerson  
Christine Fletcher



# Cape Henlopen School District

Lenny C. Richardson  
Supervisor of Facilities  
lenny.richardson@cape.k12.de.us

Cape Henlopen School District  
1270 Kings Highway, Lewes, DE 19958  
Phone 302.644.6314  
Fax 302.644.7915

To the Planning and Zoning Committee of Sussex County

This correspondence from the Cape Henlopen School District is to promise our continued cooperation for the water tower project being presented by Tidewater (TUI). Since the summer of 2019, when we were first approached to revive the agreement signed when Beacon Middle School was erected, we have been working with Tidewater to make this project happen.

We were able to locate the original agreements and two other attempts to move forward with this project in 2010 and 2012. We are not sure why they were not carried out, but we are prepared to make it work this time. Tidewater has made some edits to the plans and scheduling to be the least invasive to our school should this project be approved.

If there are any questions you may have, feel free to contact me by email ([lenny.richardson@cape.k12.de.us](mailto:lenny.richardson@cape.k12.de.us)) or on my cell phone (302-228-2530).

Thank you

Lenny C. Richardson

The Cape Henlopen School District is an equal opportunity employer and does not discriminate on the basis of race, color, creed, religion, gender (including pregnancy, childbirth and related medical conditions), national origin, citizenship or ancestry, age, disability, marital status, veteran status, genetic information, sexual orientation, or gender identity, against victims of domestic violence, sexual offenses, or stalking, or upon any other categories protected by federal, state, or local law. (El Distrito Escolar Cape Henlopen ofrece oportunidades iguales de empleo y sin discriminación de raza, color, credo, religión, género (incluyendo embarazo, parto y sus condiciones médicas), nacionalidad, ciudadanía o ascendencia, edad, discapacidad, estado civil, servicio military(veterano), información genética, orientación sexual, o identidad de género, en contra de víctimas de violencia doméstica, ofensas sexuales, acoso, o bajo cualquier otra categoría protegida por la ley local, estatal, y federal.) Edward I. Waples, Employee/Student Compliance Officer; OCR/Title IX/504 Office of Human Resources; LouAnn Hudson, Student 504 Compliance Officer, 1270 Kings Highway, Lewes, DE 19958.

**CONDITIONAL USE APPLICATION No. 2240**

**PROJECT NO. TUI01-02**

**Exhibit Booklet  
Proposed Elevated Storage Tank**

**On the site of Beacon Middle School  
19483 John J. Williams Highway  
Lewes & Rehoboth Hundred  
Sussex County, Delaware**

**Prepared by:**

Beacon Engineering, LLC  
23318 Cedar Lane  
Georgetown, Delaware 19947

Robert J. Palmer, P.E.  
302.864.8825

**Prepared for:**

Tidewater Utilities, Inc.  
1100 South Little Creek Road  
Dover, Delaware 19901

Mr. Gregory L. Coury  
302.734.7500



September 28, 2020

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  - a. Deed
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  - e. Preliminary Site Plan
  - f. Service Level Evaluation Request Response

**I. Introduction**

**II. Environmental Assessment and Public Facility Evaluation**

## I. Introduction

This request is for a Conditional Use to permit the construction of an elevated storage tank for Tidewater Utilities, Inc., a public utility, to be located between an existing middle school and Mulberry Knoll Road on the subject property. In particular, the elevated storage tank would be for the purpose of expanding the capacity of the existing Rehoboth District which will further improve the level of water service for the unincorporated areas surrounding Lewes and Rehoboth in Sussex County.

The 29.23 acre property, belonging to the Cape Henlopen School District, is the site of the Beacon Middle School, located approximately 1,400 feet southeast of the intersection of John J. Williams Highway (Route 24) and Mulberry Knoll Road (SCR #284). The location of the elevated storage tank would be defined by a permanent easement, totaling approximately 14,125 SF. The legal description is provided in Exhibit III. b. The parcel is bound by John J. Williams Highway, to the west, Mulberry Knoll road to the north and east, with agriculture and single family residential to the north, east, and south. The property is zoned AR-1 and is situated within the Coastal Area of Sussex County. The property is designated as Commercial based the 2019 Future Land Use layer of the Sussex County Mapping and Addressing online application, and is within a Commercial Area per the 2018 Sussex County Comprehensive Plan 2045 Future Land Use Map.

The setting of the region is primarily residential with intermittent agriculture and wooded lots. The tank location is approximately 1.5 miles south of the Route 1 corridor, which is primarily developed with various commercial uses. Exhibit III. c. depicts the site of the proposed elevated storage tank location from various surrounding viewpoints which demonstrates that granting of this conditional use will not be disruptive to the existing character of the surrounding area.

The proposed elevated storage tank will be accessed from Mulberry Knoll Road which is designated as a local road per DelDOT's Functional Classification Map. This site is an unmanned facility and will generate zero traffic impact to the existing road network. In the DelDOT Service Level Evaluation Request response that is presented in Exhibit III. f., DelDOT anticipates minimal increase in traffic associated with the project and determined the impact negligible. The property lies within a Level 2 Investment Area according to the 2020 Investment Level State Strategies Map. Refer to Exhibit III. d. According to the 2020 State Strategies for Policies and Spending, "Level 2 areas can be composed of less developed areas within municipalities, [and] rapidly growing areas in the counties that have or will have public water and wastewater services and utilities..." Areas designated as Level 2 are intended to promote a variety of uses, and enhance the existing, surrounding communities; therefore, Tidewater Utilities' desire to increase the water system capacity and further improve the level of water service through the construction of this proposed elevated storage tank is in harmony with the development goals for this property and region.

The property would be served by the following infrastructure:

- DelDOT – The SLER found in Exhibit III. f. indicates "...the development's traffic impact to be negligible in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application." A letter of no

contention/permit for entrance construction is being proposed for the approval mechanism which is in harmony with the existing Sussex County Pump station located 190 feet north of the proposed site driveway.

- DNREC Sediment and Stormwater Program. A non-residential standard plan for less than 1.0 acre disturbed is the proposed approval mechanism. The project is consistent with the following applicability criteria:
  1. The disturbed area for construction of the improvements will not exceed 1.0 acre.
  2. Within the disturbed area, the pre-development land use is not classified as forest.
  3. For project site locations within an area previously managed for stormwater quantity and quality under an approved Sediment and Stormwater Plan, the post construction condition meets the original stormwater design criteria.
- Water Service –Tidewater Utilities, Inc. No service is proposed.
- Wastewater Service – Sussex County. No service is proposed.

## II. Environmental Assessment and Public Facility Evaluation

- (a) Proposed drainage design and the effect on stormwater quality and quantity leaving the site, including methods for reducing the amount of phosphorous and nitrogen in the stormwater runoff and the control of any other pollutants such as petroleum hydrocarbons or metals.

**Narrative:** Minimal land disturbance is proposed, and the existing, approved sediment and stormwater design will remain unchanged. A culvert is proposed beneath the proposed driveway to allow the existing runoff patterns to match pre-construction conditions. The proposed elevated storage tank will add approximately 4,600 square feet of impervious area to the 29.23 acre parcel.

- (b) Proposed method of providing potable and, where appropriate, irrigation water and the effect on public or private water systems and groundwater, including an estimate of average and peak demands.

**Narrative:** The property and environs are served by Tidewater Utilities, Inc. No water service is proposed to this facility because it is an unmanned facility and will, therefore, not incur a water demand increase. The purpose of this property would be to expand the system capacity and further improve the existing level of water service.

- (c) Proposed means of wastewater treatment and disposal with an analysis of the effect on the quality of groundwater and surface waters, including alternative locations for on-site septic systems.

**Narrative:** The property is served by Sussex County; however, no service connection is proposed or required for the proposed elevated storage tank because the facility would be unmanned. No effect on quality of groundwater or surface waters is anticipated.

- (d) Analysis of the increase in traffic and the effect on the surrounding roadway system.

**Narrative:** The DelDOT planning staff estimated that the proposed elevated storage tank will increase the site average daily trips (ADT) by fewer than 50 trips per day. According to the Service Level Evaluation Request Response included in Exhibit III. f., DelDOT considers the increase "... to be negligible in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application." Because this facility would be unmanned, zero traffic will be generated.

- (e) The presence of any endangered or threatened species listed on federal or state registers and proposed habitat protection areas.

**Narrative:** According to the U.S. Fish & Wildlife Service Information for Planning and Consultation (iPaC) website, there are no federally listed threatened species. Of the 18 migratory bird species of conservation concern that are listed, 8 have been observed within the 10 km grid cell in which this project is located. No wildlife refuge lands, no fish hatcheries, and no wetland areas are present on the property, or within the 10 km grid cell in which this project is located. The parent property has been in continuous use as a middle school since approximately 2001.

While not ideal for operation and maintenance of the proposed elevated storage tank, bald eagles and osprey have been known to build nests on the roofs. Therefore, the tower could indirectly be a habitat improvement.

- (f) The preservation and protection from loss of any tidal or nontidal wetlands on the site.

**Narrative:** No tidal or nontidal wetlands are present on this property. Therefore, no tidal or nontidal wetlands will be affected by the requested Conditional Use.

- (g) Provisions for open space as defined in § 115-4.

**Narrative:** The main property is developed as a middle school and is surrounded by open turf areas. The portion of the property within the permanent easement totals 14,125 SF, (and will include 4,613 SF of impervious surface) which is approximately 1.1% of the total acreage.

- (h) A description of provisions for public and private infrastructure.

**Narrative:** The proposed conditional use would expand and improve the existing public water system infrastructure through the construction of the proposed elevated storage tank. Connection to the existing water main which runs along Mulberry Knoll Road and the addition of a fire hydrant are also proposed. No other public or private infrastructure is proposed.

- (i) Economic, recreational or other benefits.

**Narrative:** The proposed project will allow Tidewater Utilities, Inc. to increase the available system storage and provide an improved level of water service to existing customers, as well as, enable the expansion of service to new areas of the unincorporated area surrounding Lewes and Rehoboth.

- (j) The presence of any historic or cultural resources that are listed on the National Register of Historic Places.

**Narrative:** No historic or cultural resources are known to exist on the property. Should any historic or cultural resources be present, they would have been discovered and documented during the planning for the existing middle school.

- (k) An affirmation that the proposed application and proposed mitigation measures are in conformance with the current Sussex County Comprehensive Plan.

**Narrative:** The proposed application for a Conditional Use is consistent with the 2018 Comprehensive Plan for the following reasons:

- The property is located in a Coastal Area which has been defined as one of the 7 types of growth areas.
- Expanded infrastructure supports the Level 2 Investment Area goals to accommodate continued residential and commercial development in the Coastal Area.
- Tidewater Utilities, Inc. is sited as the largest provider of water service in Sussex County and has been granted a Certificate of Public Convenience and Necessity (CPCN). The Public Service Commission grants the CPCNs, and “encourages compact and contiguous service territories to provide efficient delivery of drinking water without redundancy in infrastructure.” Construction of an elevated storage tank at this location is in harmony with the Rehoboth District CPCN.

- (l) Actions to be taken by the applicant to mitigate the detrimental impacts identified relevant to Subsection B(2)(a) through (k) above and the manner by which they are consistent with the Comprehensive Plan.

**Narrative:** All mitigation measures, where required, have been discussed in their respective section. All mitigation measures as well as the application are consistent with the 2018 Comprehensive Plan.

### III. Support Documentation and Exhibits

a. Deed

40048

02549 268

Tax Parcel #3-34-12.00-107.00 and Part of  
#3-34-18.00-40.01

Prepared by and return to:  
Morris, James, Hitchens & Williams LLP  
222 Delaware Avenue  
10th Floor  
Wilmington, DE 19801  
File No. 200101-0101

THIS DEED, made this 14<sup>th</sup> day of December, 2000,

BETWEEN J.G. Townsend, Jr. & Co., a Delaware corporation, party of the first part,

AND

Cape Henlopen School District, party of the second part.

WITNESSETH: That the said party of the first part, for and in consideration of the sum of TEN DOLLARS And 00/100 (\$10.00), lawful money of the United States of America, the receipt whereof is hereby acknowledged, hereby grants and conveys unto the party of the second part, its Successors and Assigns, its Successors and Assigns, in fee simple the following described lands, situate, lying and being Sussex County, State of Delaware,

ALL that certain piece, parcel and tract of land, lying and being situate in Lewes and Rehoboth Hundred, Sussex County, and the State of Delaware, depicted on a survey prepared by Charles D Murphy Associates, Inc., dated December 11, 2000, fronting on the Southeasterly side of State Route 24 (at 50.00 feet wide), and on the Westerly side of County Road 284 (at fifty (50.00) feet wide), adjoining lands now or formerly of Thomas W. Bush et ux, lands now or formerly of Leroy O. Bush, lands now or formerly of Irene S. Murray, lands now or formerly of Albert G. Best, Trustee, and Parcel Two as shown on this Plan, and being more particularly bounded and described as follows, to-wit:

BEGINNING at a point on the Southeasterly right-of-way line of State Route 24, twenty-five (25.00) feet from the centerline thereof, and at the Northwesterly corner for lands now or formerly of Thomas W. Bush, et ux, said point being distant 469.00 feet, more or less, from the right-of-way line of County Road 284; thence running with said Bush lands, South 41 degrees 22 minutes 59 seconds East, passing over a found iron pipe at 1.43 feet, a total distance of 330.97 feet to a found iron pipe at a corner for lands now or formerly of Leroy O. Bush; thence running with said Leroy O. Bush lands, South 41 degrees 16 minutes 52 seconds East, passing over a found concrete monument 265.64 feet, a total distance of 271.56 feet to a set capped rebar on the Westerly right-of-way line of County Road 284; thence proceeding along said right-of-way line, the following five (5) courses and distances: (1) deflecting left along a 761.02 foot radius curve, the chord of which bears South 15 degrees 41 minutes 49 seconds East, 274.12 feet, an arc distance of 275.62 feet to a point of tangency; (2) South 26 degrees 04 minutes 20 seconds East, 52.90 feet to a point of curvature; (3) deflecting right along a 408.05 foot radius curve, the chord of which bears South 03 degrees 03 minutes 08 seconds West, 397.21 feet, an arc distance of 414.84 feet to a point of reverse curve; and (4) deflecting left along an 825.85 foot radius curve, the chord of which bears South 28 degrees 44 minutes 12 seconds West, 99.11 feet, an arc distance of 99.17 feet to a set capped rebar at a point on curve and a corner for lands now or formerly of Irene S. Murray; thence running with said Murray

County	State	Total
00	00	.00
Date: 12/14/2000		
Consideration: .00		

*Handwritten initials*

*Handwritten initials*

lands and in part with lands now or formerly of Alfred G. Best, Trustee, South 42 degrees 36 minutes 44 seconds West, 322.86 feet to a found iron pipe at a corner for Parcel Two (part of Tax Map Parcel 3-34-18-40.01 ); thence following said Parcel Two, North 45 degrees 01 minute 13 seconds West, 1,199.73 feet to a set capped rebar on the aforementioned Southeasterly right-of-way line of State Route 24; thence finally proceeding along said right-of-way line of Route 24, North 44 degrees 47 minutes 21 seconds East, 903.39 feet to the place of **BEGINNING**. Containing within said described metes and bounds, 25.6755 acres of land, be the same more or less.

**SUBJECT** to all matters of record, to the extent valid and enforceable.

**BEING** the same lands and premises which Ebe Roy Dorman and Arzie Dorman, by Deed dated November 16, 1945, of record in the Office of the Recorder of Deeds, in and for Sussex County and State of Delaware, in Deed Book 357, Page 356, did grant and convey unto J. G. Townsend, Jr. & Co., in fee.

**ALSO BEING** the same lands and premises which Mary Irma Ayers and Dudley A. Ayers, by Deed dated March 5, 1949, of record in the Office of the Recorder of Deeds aforesaid in Deed Book 387, Page 176, did grant and convey unto J. G. Townsend, Jr. & Co., in fee.

Parcel 2 (Part of Tax Map Parcel 3-34-18-40.01 )

**ALL** that certain piece, parcel and tract of land, lying and being situate in the Lewes and Rehoboth Hundred, Sussex County and the State of Delaware, depicted on a survey prepared by Charles D. Murphy Associates, Inc., dated December 11, 2000, lying on the Southeasterly line of State Route 24 (at fifty (50) feet wide), adjoining Parcel One above described and lands now or formerly of Alfred G. Best, Trustee, and being more particularly bounded and described as follows to-wit:

**BEGINNING** at a point on aforementioned Southeasterly right-of-way line of State Route 24, twenty-five (25.00) feet from the centerline thereof, and at the Southwesterly corner of aforementioned Parcel One; thence running with said Parcel One, South 45 degrees 01 minute 13 seconds East 1,199.73 feet to a found iron pipe at a point on line of lands now or formerly of Alfred G. Best, Trustee; thence following line of said Best lands, South 42 degrees 36 minutes 44 seconds West, 156.76 feet to a set capped rebar at a corner for residual lands of J.G. Townsend, Jr. & Co.; thence following said other lands of J.G. Townsend, Jr., & Co.; North 45 degrees 01 minute 13 seconds West, 1,205.69 feet to set capped rebar on aforementioned Southeasterly right-of way line of State Route 24; thence finally running with said Southeasterly right-of-way line of State Route 24, North 44 degrees 47 minutes 21 seconds East, 156.63 feet to the place of **BEGINNING**. Containing within said described metes and bounds, 4.3245 acres of lands, be the same more or less.

**SUBJECT** to all matters of record, to the extent valid and enforceable.

**BEING** a part of the same lands and premises which James B. Dorman and Elconore K. Dorman, by Deed dated January 7, 1999, of record in the Office of the Recorder of Deeds, in and for Sussex County and State of Delaware, in Deed Book 2354, Page 76, did grant and convey unto J. G. Townsend, Jr. & Co., in fee.

02549 270

IN WITNESS WHEREOF, the said J.G. Townsend, Jr. & Co. has caused its name by Steven C. Nett, its President, to be hereunto set, and the common and corporate seal of the said corporation to be hereunto affixed, duly attested by its Secretary, the day and year first above written.

J.G. TOWNSEND, JR. & CO.

By: Steven C. Nett, President (SEAL)

Attest: [Signature] (SEAL)

[Corporate Seal]

State of Delaware )  
County of Sussex ) S.S.

The foregoing Deed was acknowledged before me this 14<sup>th</sup> of December, 2000, by STEVEN C. NETT, President of J.G. Townsend, Jr. & Co., on behalf of the Corporation.

Given under my Hand and Seal of office the day and year aforesaid.

[Signature]  
Notary Public  
Printed Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

Received

DEC 19 2000

ASSESSMENT DIVISION  
OF SUSSEX CTY.

RECORDER OF DEEDS  
RICHARD M. BELL II  
90 DEC 18 PM 1:34  
SUSSEX COUNTY  
DOC. SURCHARGE PAID

EUGENE H. BAYARD, ESQ.  
NOTARIAL OFFICER PURSUANT TO  
29 DEL CODE SECT. 4323  
ATTORNEY AT LAW  
DELAWARE

Received

DEC 19 2000

ASSESSMENT DIVISION  
OF SUSSEX CTY.

**b. Legal Description and Exhibit of Conditional Use Request Area**

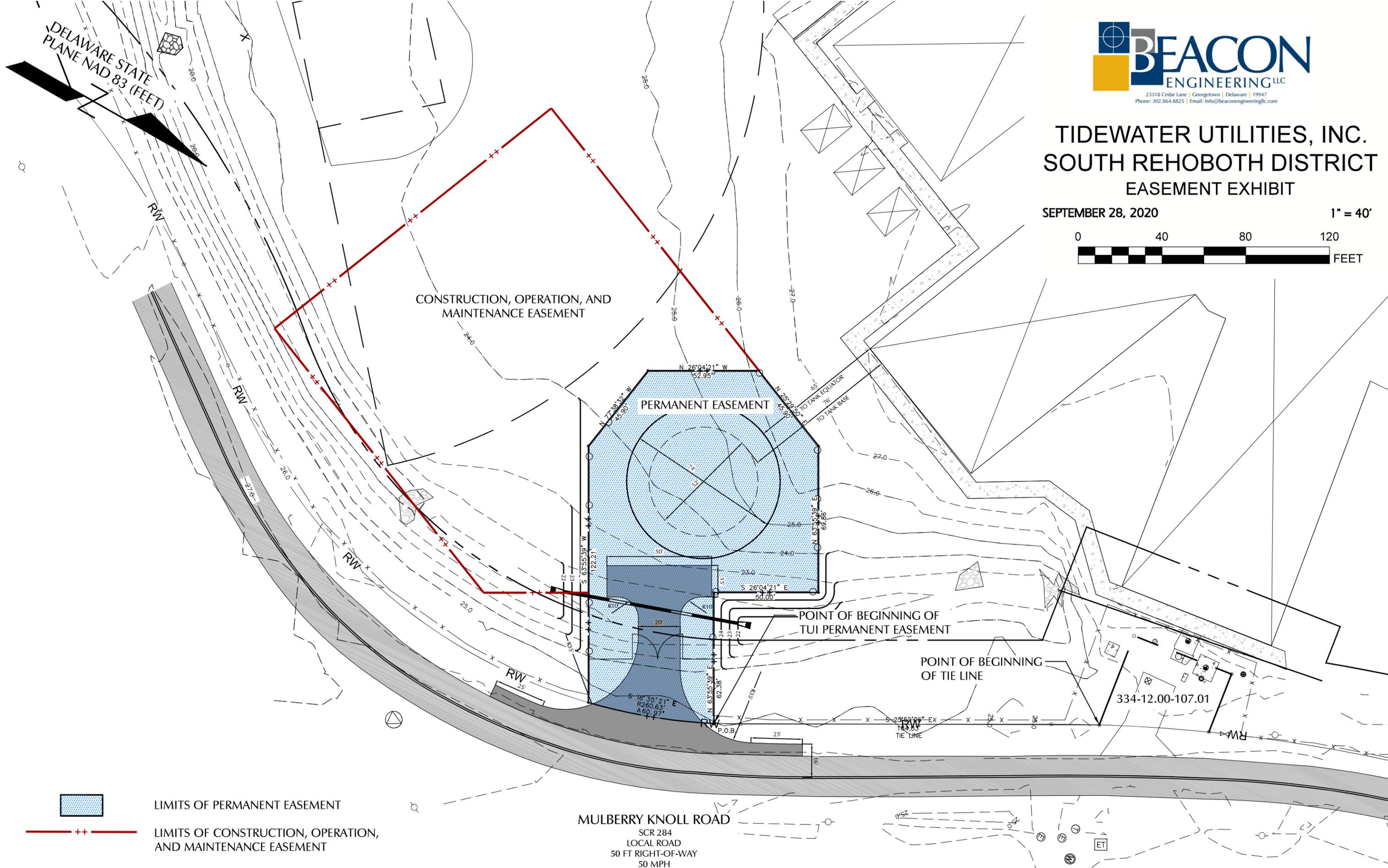
LEGAL DESCRIPTION  
TIDEWATER UTILITIES, INC., PERMANENT EASEMENT  
REFERENCE PARCEL: 334-12.00-107.00

BEGINNING AT A POINT found at the southeast corner of the lands of Sussex County, Tax Map No. 334-12.00 Parcel 107.01 (Sussex County Pump Station), and being a common marker between the lands of Sussex County and Cape Henlopen School District, the same corner lying on the northerly Right-of-Way of Mulberry Knoll Road (S.C.R. 286), along a tie line, running South 25 degrees 52 minutes 06 seconds East, 184.03 feet to a point, being along a curve deflecting to the right, having a chord bearing South 08 degrees 51 minutes 54 seconds West, a radius of 260.63 feet, and arc length of 317.86 feet, per the plat recorded in the Office of the Recorder of Deeds in and for Sussex County and the State of Delaware, in Plot Book 71, page 73, to a place and point of beginning; thence running by and with said curve, with a chord bearing South 16 degrees 35 minutes 21 seconds East, having a radius of 260.63 feet, and an arc length of 60.97 feet to a point along the aforementioned curve; thence turning into the lands of the Cape Henlopen School District South 63 degrees 55 minutes 39 seconds West, and running 122.21 feet to a point; thence turning North 77 degrees 38 minutes 32 seconds West, and running 45.90 feet to a point; thence turning North 26 degrees 04 minutes 21 seconds West, and running 52.95 feet to a point; thence turning North 25 degrees 29 minutes 50 seconds East, and running 45.90 feet to a point; thence turning North 63 degrees 55 minutes 39 seconds East, and running 69.86 feet to a point; thence turning South 26 degrees 04 minutes 21 seconds East, and running 50.00 feet to a point; thence turning North 63 degrees 55 minutes 39 seconds East, and running 62.38 feet to the place and point of beginning, containing 14,125 square feet of land, more or less.

# TIDEWATER UTILITIES, INC. SOUTH REHOBOTH DISTRICT EASEMENT EXHIBIT

SEPTEMBER 28, 2020

1" = 40'



 LIMITS OF PERMANENT EASEMENT

 LIMITS OF CONSTRUCTION, OPERATION, AND MAINTENANCE EASEMENT

**c. Site Photos**



1. Looking from existing ballfield, north towards proposed elevated storage tank location.



2. Looking northwest past the proposed elevated storage tank location, west of Mulberry Knoll Road.



3. Looking southeast toward the proposed elevated storage tank location from Beacon Middle School.



4. Looking northeast towards the proposed elevated storage tank location from Beacon Middle School.



5. Looking northwest toward the proposed elevated storage tank location from Mulberry Knoll Road.



6. Looking southwest towards the proposed elevated storage tank location from Mulberry Knoll Road.



7. Site example showing the elevated storage tank proximity to The Breakers Hotel and 2<sup>nd</sup> Street, in Rehoboth Beach.



8. Site example showing the elevated storage tank proximity to The Breakers Hotel, Sandcastle Motel, and the Rehoboth Beach City Hall parking lot.



9. Site example showing the water spheroid view from the entrance of Rehoboth Beach City Hall.



10. Site example looking west towards the water spheroid from the intersection of 1<sup>st</sup> Street and Baltimore Avenue, in Rehoboth Beach.



11. Site example looking west towards the water spheroid on Baltimore Avenue between the Admiral on Baltimore and the Sands Hotels, in Rehoboth Beach.



12. Site example looking north towards the water spheroid from Rehoboth Avenue, in Rehoboth Beach.



13. Example of existing Tidewater Utilities, Inc. elevated storage tank with approved DeIDOT entrance.

**d. Investment Level State Strategies Map**



**Legend**

Delaware State Strategies 2020

- 1
- 2
- 3
- 4
- Out of Play



**Tidewater Utilities, Inc.**  
**Elevated Storage Tank**  
*Lewes & Rehoboth Hundred*  
*Sussex County, Delaware*



This map is provided by Beacon Engineering, LLC solely for display and reference purposes and was prepared using publically available data. No guarantee, either real or assumed, as to the absolute accuracy or precision of any data contained herein is made.

September 25, 2020  
 TUI01-02

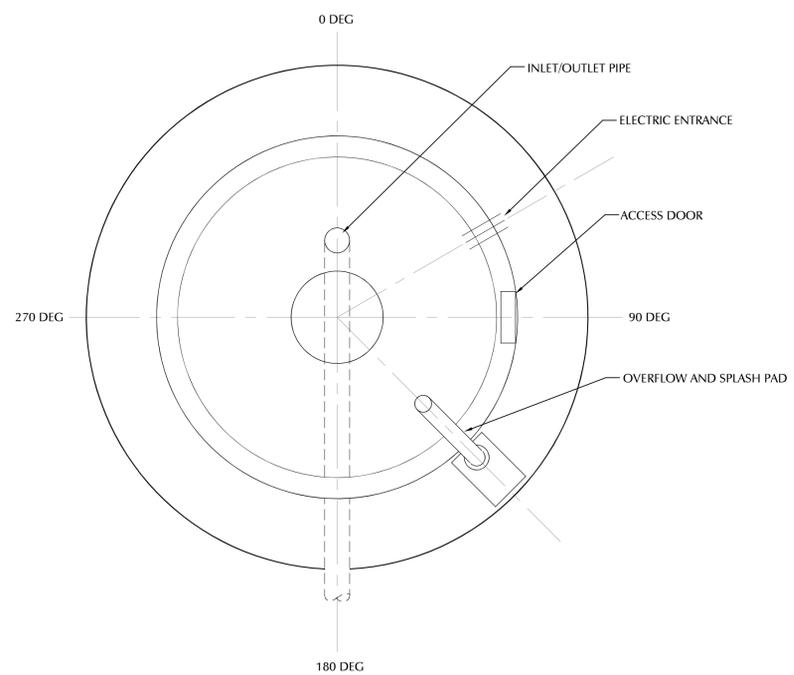
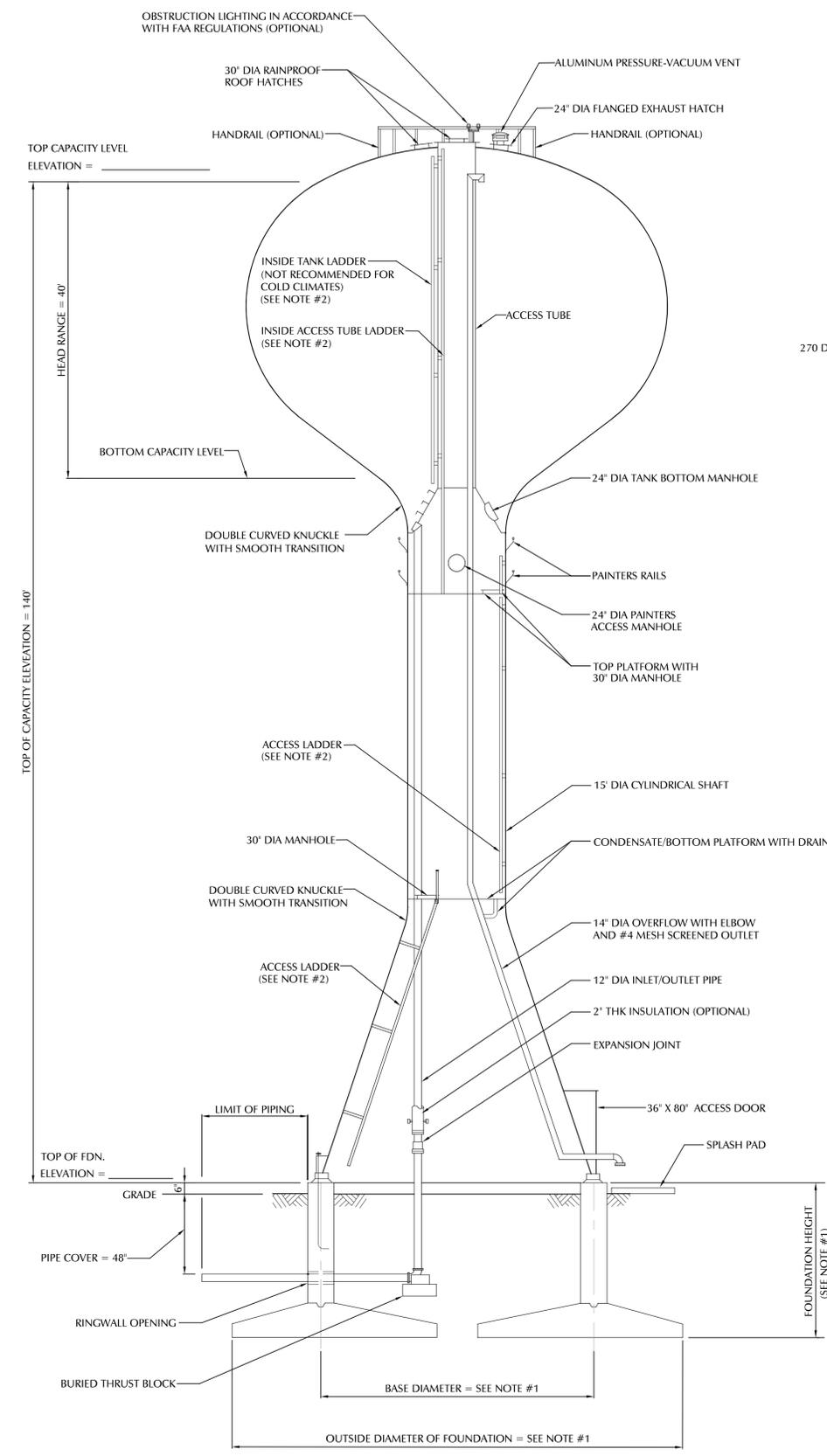
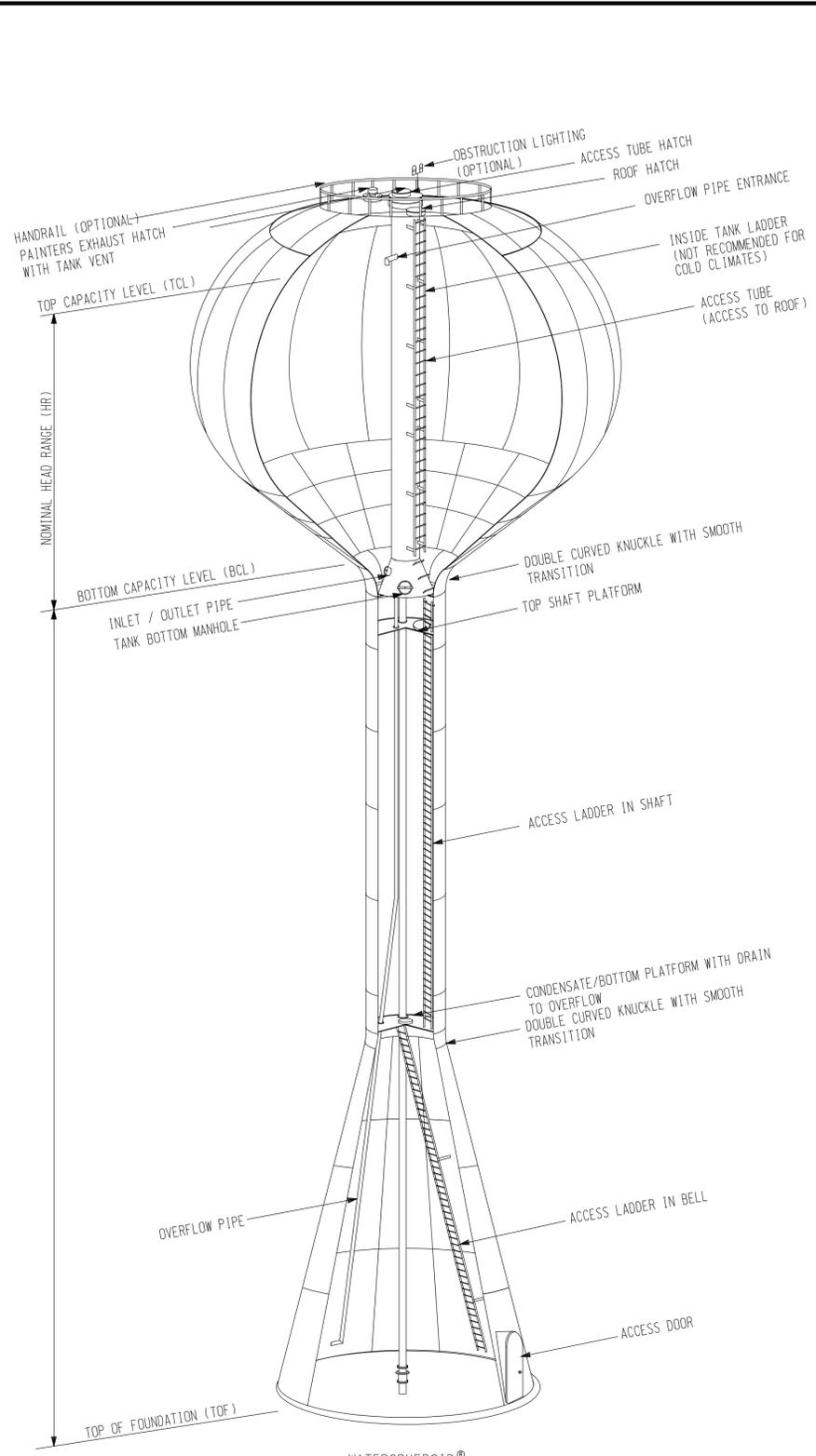


e. Preliminary Site Plan





**ELEVATED WATER STORAGE TANK - WATERSPHEROID  
1,000,000 GALLON CAPACITY**



**ORIENTATION PLAN**  
(N.T.S.)

**GENERAL NOTES:**

1. BASE DIAMETER AND DIMENSIONS OF FOUNDATION SHALL BE DETERMINED BY THE TANK CONTRACTOR BASED UPON THE INFORMATION IN THE GEOTECHNICAL REPORT.
2. A GALVANIZED LADDER SAFETY DEVICE MEETING OSHA STANDARDS SHALL BE PROVIDED WHEN REQUIRED.
3. SEE SPECIFICATIONS FOR OPTIONAL ACCESSORIES AND ALTERNATE ITEMS.

**ELEVATION**  
(N.T.S.)

Seal:
-------

**BEACON ENGINEERING LLC**  
23318 Cedar Lane | Georgetown | Delaware | 19947  
302.864.8825 | info@beaconengineeringllc.com

Date:	
By:	
Revision:	

**ELEVATED STORAGE TANK  
TIDEWATER UTILITIES - REHOBOTH DISTRICT  
HERRING CREEK-REHOBOTH BAY WATERSHED  
LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DELAWARE  
TAX MAP #334-1Z.00-107.00  
CONSTRUCTION DETAILS**

Date:	JUL 17, 2020
Scale:	NO SCALE
Dwn.By:	SKM
Proj.No.:	TUI01-02

Dwg. No.:  
**CD1.2**

**f. Service Level Evaluation Request Response**



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. Box 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

July 30, 2020

Mr. Jamie Whitehouse, Director  
Sussex County Planning & Zoning  
P.O. Box 417  
Georgetown, DE 19947

Dear Mr. Whitehouse:

The Department has completed its review of a Service Level Evaluation Request for the **Tidewater Utilities, Inc.** conditional use application, which we received on July 2, 2020. This application is for an approximately 25.3-acre parcel (Tax Parcel: 334-12.00-107.00). The subject land is located on the southeast side of Delaware Route 24, approximately 500 feet southwest of the intersection of Delaware Route 24 and Mulberry Knoll Road (Sussex Road 284). The subject land is currently zoned as AR-1 (Agricultural Residential), and the applicant is seeking a conditional use approval to install an elevated storage tank onsite at the Beacon Middle School to serve the south Rehoboth area.

Per the 2019 Delaware Vehicle Volume Summary, the annual average and summer average daily traffic volumes along the segment of Delaware Route 24 where the subject land is located, which is from Camp Arrowhead Road (Sussex Road 279) to Warrington Road / Plantations Road (Sussex Road 275), are 19,793 and 25,474 vehicles per day, respectively.

Based on our review, we estimate that the above land uses will generate fewer than 50 vehicle trips in any hour and fewer than 500 vehicle trips per day. These numbers of trips are DelDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. Because the proposed land use would not meet these warrants, we consider the development's traffic impact to be negligible in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DelDOT's description of this application as negligible with regard to warranting a TIS does not mean that it is negligible in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.

If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.



Mr. Jamie Whitehouse

Page 2 of 2

July 30, 2020

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.

County Coordinator

Development Coordination

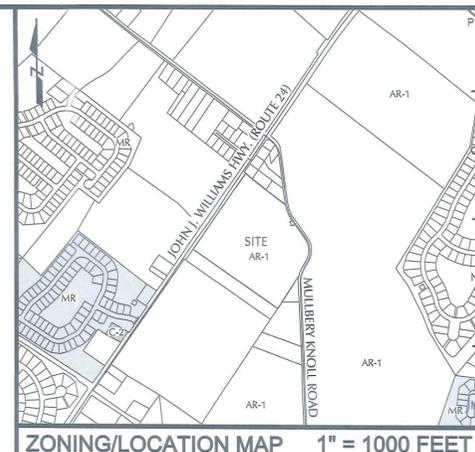
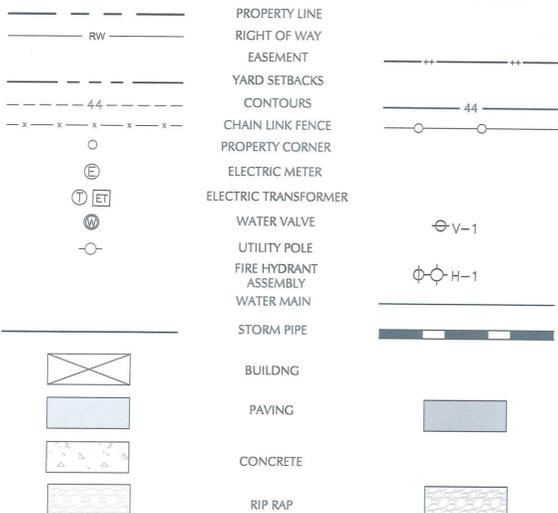
TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues  
Tidewater Utilities, Inc., Applicant  
Todd Sammons, Assistant Director, Development Coordination  
Gemez Norwood, South District Public Works Manager, Maintenance & Operations  
Susanne K. Laws, Sussex County Review Coordinator, Development Coordination  
Derek Sapp, Subdivision Manager, Development Coordination  
Kevin Hickman, Subdivision Manager, Development Coordination  
Brian Yates, Subdivision Manager, Development Coordination  
John Andrescavage, Subdivision Manager, Development Coordination  
James Argo, South District Project Reviewer, Maintenance & Operations  
Troy Brestel, Project Engineer, Development Coordination  
Claudy Joinville, Project Engineer, Development Coordination

**EXISTING**

**LEGEND**

**PROPOSED**



**SITE DATA**

**APPLICANT:**  
TIDEWATER UTILITIES, INC.  
MR. GREG COURY  
1100 SOUTH LITTLE CREEK ROAD  
DOVER, DELAWARE 19901  
PHONE: 302-747-1306

**OWNER:**  
CAPE HENLOPEN SCHOOL DISTRICT  
1270 KINGS HIGHWAY  
LEWES, DELAWARE 19958  
PHONE: 302-645-1442

**CONSULTANT:**  
BEACON ENGINEERING, LLC  
23318 CEDAR LANE  
GEORGETOWN, DELAWARE 19947  
PHONE: 302-864-8825  
RPALMER@BEACONENGINEERINGLLC.COM

**PROPERTY & ZONING DATA:**

TAX MAP: #334-12.00-107.00  
COUNTY SITE PLAN FILE NUMBER: \_\_\_\_\_  
COUNTY CONDITIONAL USE NUMBER: \_\_\_\_\_  
LATITUDE: 38.713512° N  
LONGITUDE: -75.148865° W  
EXISTING ZONING: AR-1  
EXISTING SITE AREA: 29.23 AC  
EXISTING USE: MIDDLE SCHOOL  
PROPOSED ZONING: AR-1  
NET DEVELOPMENT AREA: 26.97 AC (WITHIN SETBACKS)  
PROPOSED USE: MIDDLE SCHOOL WITH PUBLIC UTILITY (ELEVATED WATER STORAGE TANK)  
WATER: TIDEWATER UTILITIES, INC.  
SEWER: SUSSEX COUNTY

NUMBER OF EXISTING LOTS: 1  
NUMBER OF PROPOSED LOTS: 1

PROPOSED LIMIT OF DISTURBANCE: 1.0 AC  
SITE ACCESS: MULBERRY KNOLL ROAD  
VERTICAL DATUM: NAVD 88, FEET  
HORIZONTAL DATUM: DELAWARE STATE PLANE, NAD 83  
DEED REFERENCE: DEED BOOK 2549, PAGE 268  
BUILDING AREA: 2,124 SF (TANK BASE)  
PROPOSED BUILDING HEIGHT: 140 FT (TO TOP OF WATERSPHEROID ACCESS)

STATE STRATEGIES INVESTMENT LEVEL: 2  
POSTED SPEED LIMIT: 40 MPH  
NEAREST TOWN: LEWES  
SURVEYOR: JOHN B. ROACH ENGINEERING, LLC  
DATE OF SURVEY: APRIL 28, 2020

THIS SITE IS NOT WITHIN THE 100 YR FLOOD PLAIN PER FEMA MAP NUMBERED 10005C0334K DATED MARCH 16, 2015.

THIS PROJECT WILL BE CONSTRUCTED IN 1 PHASE.

**HEIGHT, AREA & BULK REQUIREMENTS AR-1:**

FRONT YARD SETBACK: 30 FT (40 FT (7)) THROUGH LOT  
SIDE YARD SETBACK: 15 FT  
REAR YARD SETBACK: 20 FT  
MAXIMUM BUILDING HEIGHT: 42 FT  
MINIMUM LOT AREA: 20,000 SF  
MINIMUM LOT WIDTH: 100 FT (150 FT (10))  
MINIMUM LOT DEPTH: 100 FT

(7) FOR LOTS FRONTING ON A NUMBERED ROAD SHOWN ON THE GENERAL HIGHWAY MAP FOR SUSSEX COUNTY OF 1964, AS REVISED.

**DEVELOPER'S CERTIFICATION**

DEVELOPER: GREG COURY  
TIDEWATER UTILITIES, INC.  
1100 SOUTH LITTLE CREEK ROAD  
DOVER, DELAWARE 19901

**ENGINEER'S CERTIFICATION**

I, ROBERT J. PALMER, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THIS PLAN WAS EITHER PREPARED BY ME OR UNDER MY DIRECTION. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAN COMPLIES WITH THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. MY LICENSE NUMBER IS 11563, AND EXPIRES ON JUNE 30, 2022.

ENGINEER: ROBERT J. PALMER, P.E. DATE: 7/17/2020

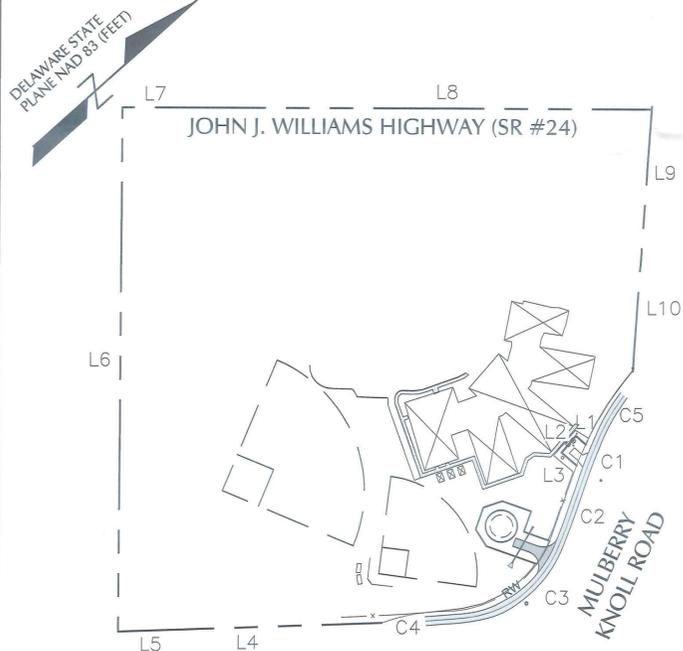
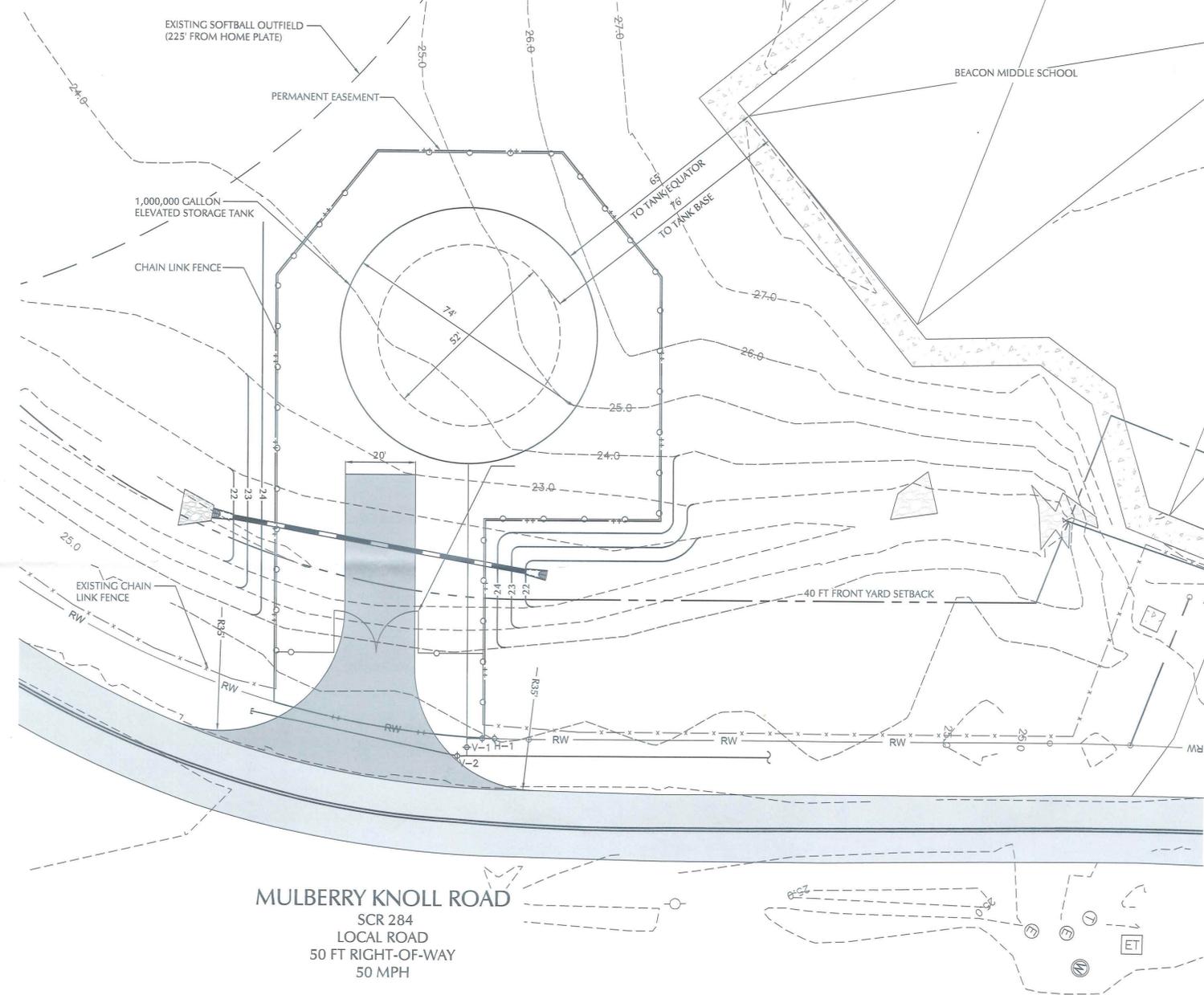


Date:	
By:	
Revision:	

ELEVATED STORAGE TANK  
TIDEWATER UTILITIES - REHOBOTH DISTRICT  
HERRING CREEK-REHOBOTH BAY WATERSHED,  
LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DELAWARE  
TAX MAP #334-12.00-107.00

Date: JUL 17,  
Scale: AS SH  
Dwn. By: SK  
Proj. No.: TUJ01

Dwg. No.: SP1



LINE	BEARING	DISTANCE
L1	S 85°19'48" W	29.84'
L2	S 04°40'20" E	50.00'
L3	N 85°19'48" E	45.60'
L4	S 42°36'44" W	452.26'
L5	S 42°36'44" W	151.26'
L6	N 45°01'13" W	1205.48'
L7	N 44°47'20" E	151.13'
L8	N 44°47'20" E	1060.02'
L9	S 41°22'59" E	330.97'
L10	S 41°16'20" E	271.56'

CURVE	CHORD	LENGTH	ARC LENGTH	RADIUS	CHORD BEARING
C1	52.49'	52.50'	761.02'	S 22°22'17" E	
C2	22.90'	22.90'	761.02'	S 25°12'35" E	
C3	298.53'	317.86'	260.89'	N 08°51'27" E	
C4	148.48'	149.19'	442.07'	N 34°07'10" E	
C5	199.64'	200.21'	761.02'	S 12°51'30" E	

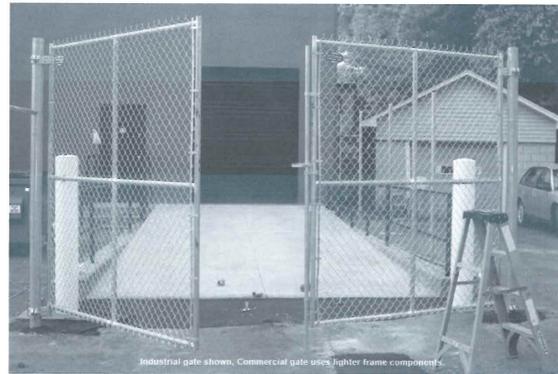
**PROPERTY BOUNDARY SURVEY**



**SITE PLAN**

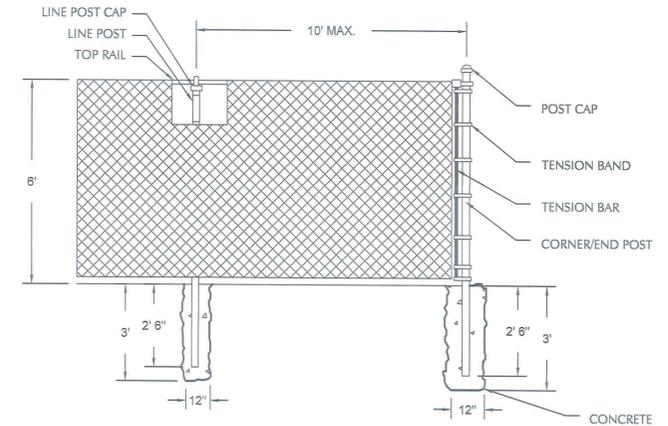
1" = 20'



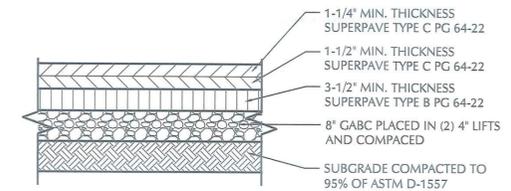


6 FT HIGH CHAIN LINK DOUBLE GATE BY HOOVER FENCE COMPANY (1-800-355-2335) OR APPROVED EQUAL

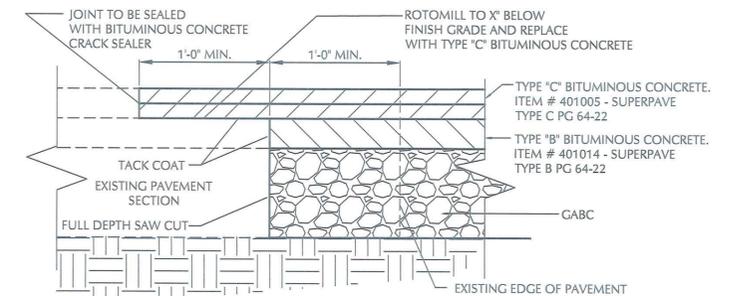
**24 FT WIDE DOUBLE LEAF SWING GATE**



**CHAIN LINK FENCE ENCLOSURE**



**ON SITE HEAVY PAVING SECTION (ON SITE ROADS AND PARKING AREA DRIVE AISLES)**



X = 2-3/4" DEPTH OF TYPE 'C' BITUMINOUS CONCRETE

**TYPICAL PAVEMENT TIE-IN DETAIL**



Date:	
By:	
Revision:	

ELEVATED STORAGE TANK  
 TIDEWATER UTILITIES - REHOBOTH DISTRICT  
 HERRING CREEK-REHOBOTH BAY WATERSHED,  
 LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DELAWARE  
 TAX MAP #324-12-00-107.00

Date: JUL 17,  
 Scale: NO SC  
 Dwn.By: SK  
 Proj.No.: TUJ01

Dwg. No.:

**CD1**

**PLANNING & ZONING COMMISSION**

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE-CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY J. WINGATE



**Sussex County**

DELAWARE  
sussexcountyde.gov  
302-855-7878 T  
302-854-5079 F  
JAMIE WHITEHOUSE, AICP, MRTPI

**PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET**  
Planning Commission Public Hearing Date October 8, 2020.

Application: (CU 2241) Jonathan J. Bowman

Applicant: Jonathan J. Bowman  
34647 Millsboro Highway  
Millsboro, DE 19966

Owner: Jonathan J. Bowman  
34647 Millsboro Highway  
Millsboro, DE 19966

Site Location: 34647 Millsboro Highway  
Millsboro, DE 19966

Current Zoning: Agricultural Residential (AR-1)

Type of Conditional  
Use Requested: Truck and Trailer Repair Business

Comprehensive Land  
Use Plan Reference: Low Density

Councilmanic  
District: Mr. Riley

School District: Indian River School District

Fire District: Gumboro Fire District

Sewer: Septic

Water: Well

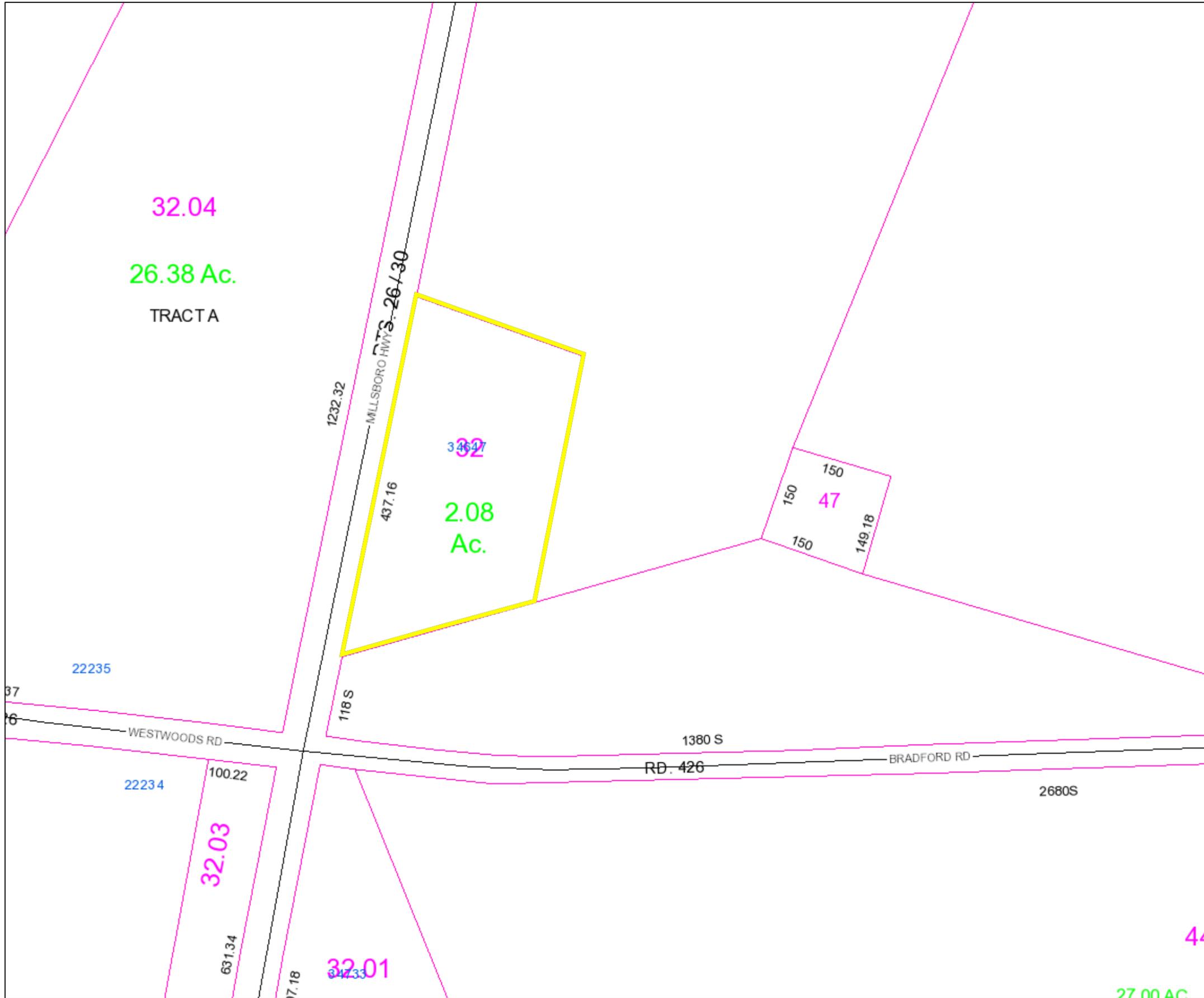
Site Area: 2.69 acres +/-

Tax Map ID.: 333-7.00-32.00





# Sussex County

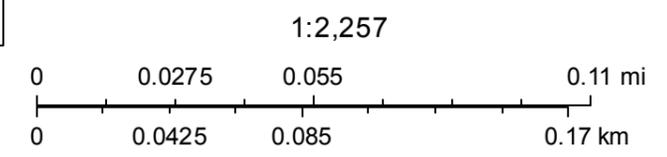


<b>PIN:</b>	333-7.00-32.00
<b>Owner Name</b>	BOWMAN JONATHAN J
<b>Book</b>	4500
<b>Mailing Address</b>	34647 MILLSBORO HIGHWAY
<b>City</b>	MILLSBORO
<b>State</b>	DE
<b>Description</b>	E/RT 26 110'
<b>Description 2</b>	N/RT 426
<b>Description 3</b>	N/A
<b>Land Code</b>	

- polygonLayer

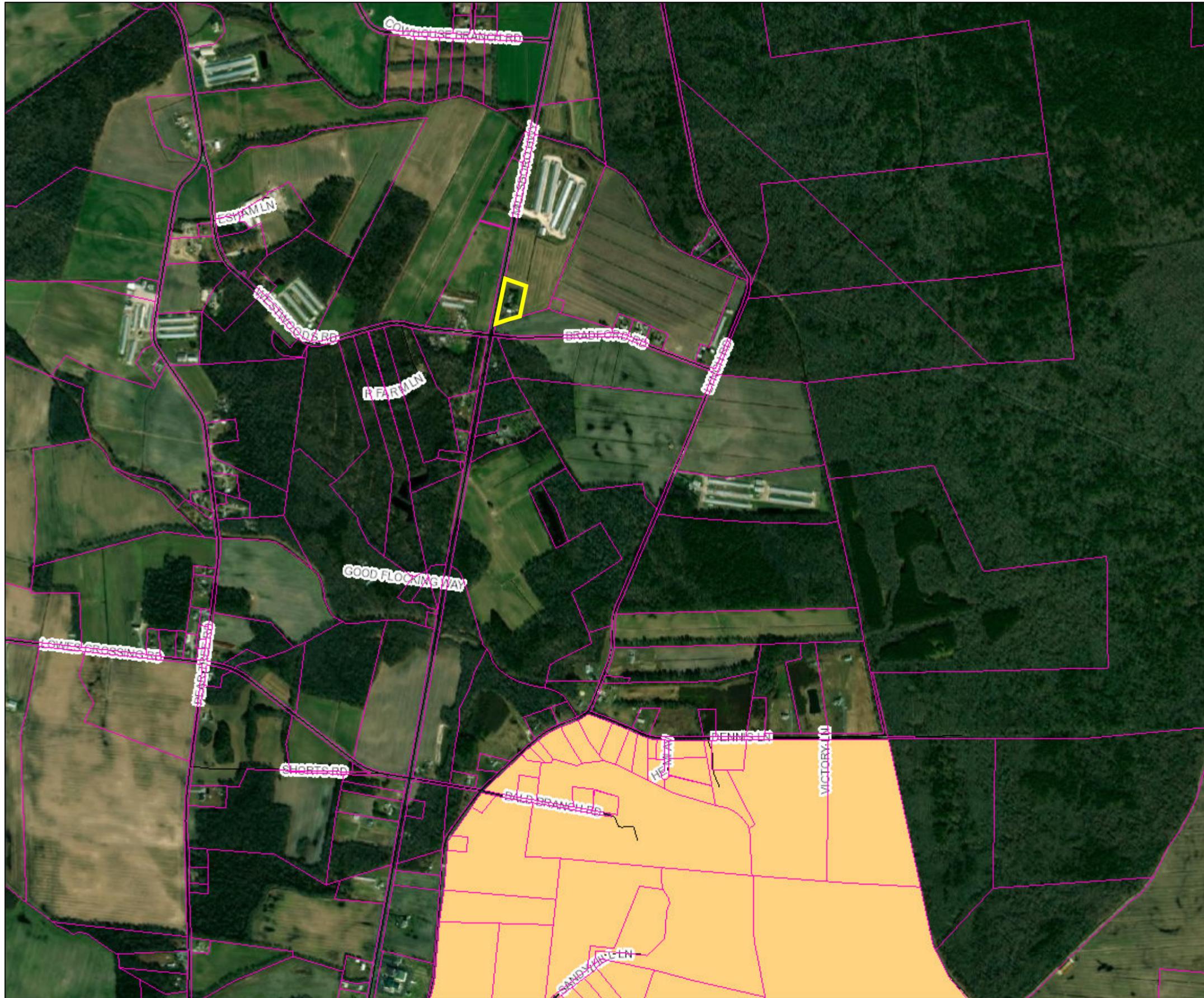
  - Override 1
- polygonLayer

  - Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- Municipal Boundaries





# Sussex County



<b>PIN:</b>	333-7.00-32.00
<b>Owner Name</b>	BOWMAN JONATHAN J
<b>Book</b>	4500
<b>Mailing Address</b>	34647 MILLSBORO HIGHWAY
<b>City</b>	MILLSBORO
<b>State</b>	DE
<b>Description</b>	E/RT 26 110'
<b>Description 2</b>	N/RT 426
<b>Description 3</b>	N/A
<b>Land Code</b>	

**polygonLayer**

Override 1

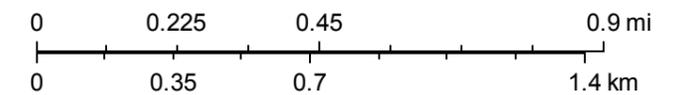
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Override 1

Tax Parcels

Streets

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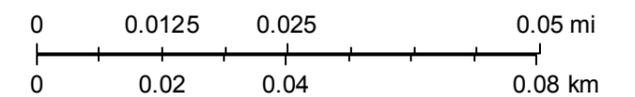




<b>PIN:</b>	333-7.00-32.00
<b>Owner Name</b>	BOWMAN JONATHAN J
<b>Book</b>	4500
<b>Mailing Address</b>	34647 MILLSBORO HIGHWAY
<b>City</b>	MILLSBORO
<b>State</b>	DE
<b>Description</b>	E/RT 26 110'
<b>Description 2</b>	N/RT 426
<b>Description 3</b>	N/A
<b>Land Code</b>	

- polygonLayer**
- Override 1
- polygonLayer**
- Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- Municipal Boundaries

1:1,128



JAMIE WHITEHOUSE, AICP, MRTPI  
DIRECTOR OF PLANNING & ZONING  
(302) 855-7878 T  
(302) 854-5079 F  
jamie.whitehouse@sussexcountyde.gov



Sussex County

DELAWARE  
sussexcountyde.gov

## Memorandum

To: Sussex County Planning Commission Members  
From: Nick Torrance, Planner I  
CC: Vince Robertson, Assistant County Attorney and applicant  
Date: October 1, 2020  
RE: Staff Analysis for CU 2241 Jonathan J. Bowman

---

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CU 2241 Jonathan J. Bowman to be reviewed during the October 8, 2020 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for Tax Parcel 333-7.00-32.00 to allow for a Conditional Use of land in an Agricultural Residential (AR-1) Zoning District for a truck and trailer repair business. The parcel is located on the east side of Millsboro Hwy. (Rts. 26/30) in Millsboro, Delaware. The size of the property is approximately 2.69 acres +/-.

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework for how land is to be developed. As part of the Comprehensive Plan a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the property has the land use designation of Low-Density Area.

The surrounding parcels to the southwest, west, and northwest are all designated on the Future Land Use Map as "Low Density". The uses that the Low-Density Area land use designation recognizes are primarily agricultural activities and homes. Business development should be largely confined to businesses addressing the needs of these two uses. Industrial and agribusiness uses that support or depend on agriculture should be permitted. The focus of retail and office uses in Low Density should be providing convenience goods and services to nearby residents. Commercial uses in these residential areas should be limited in their location, size and hours of operation. More intense commercial uses should be avoided in these areas.

The property is zoned AR-1 (Agricultural Residential Zoning District). The adjoining and surrounding properties located within the county jurisdiction to the north, south and west are all zoned AR-1 (Agricultural Residential Zoning District).

Since 2011, there have been no Conditional Use approvals within a 1-mile radius of the application site.

Based on the analysis of the land use, surrounding zoning and uses, the Conditional Use to allow for a truck and trailer repair business, subject to considerations of scale and impact, could be considered as being consistent with the land use, area zoning and surrounding uses.



File #: CU 2241  
20201011

## Planning & Zoning Commission Application Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check applicable)

Conditional Use

Zoning Map Amendment

Site Address of Conditional Use/Zoning Map Amendment

34647 Millsboro Highway, Millsboro, DE 19966

Type of Conditional Use Requested:

Conditional use requested for the operation of a truck and trailer repair business on approximately 2.69 acres, consisting of a dwelling, paved driveway, pole building, and gravel driveway. Approval requested in accordance with Section 115-22.

Tax Map #: 333-7.00-32.00

Size of Parcel(s): 2.69 +/- acres

Current Zoning: AR-1

Proposed Zoning: N/A

Size of Building: 1,350 square feet

Land Use Classification: \_\_\_\_\_

Water Provider: Well

Sewer Provider: Septic

### Applicant Information

Applicant Name: Jonathan J. Bowman

Applicant Address: 34647 Millsboro Highway

City: Millsboro

State: DE

Zip Code: 19966

Phone #: (302) 841-7350

E-mail: mackenzie@tunnellraysor.com

### Owner Information

Owner Name: Jonathan J. & Veronica L. Bowman

Owner Address: 34647 Millsboro Highway

City: Millsboro

State: DE

Zip Code: 19966

Phone #: (302) 841-7350

E-mail: wcubowman78@aol.com

### Agent/Attorney/Engineer Information

Agent/Attorney/Engineer Name: Mackenzie Peet, Esq

Agent/Attorney/Engineer Address: 323E Rehoboth Avenue

City: Rehoboth Beach

State: DE

Zip Code: 19971

Phone #: (302) 227-1314

E-mail: mackenzie@tunnellraysor.com



## Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

- Completed Application
- Provide eight (8) copies of the Site Plan or Survey of the property
  - Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
  - Provide a PDF of Plans (may be e-mailed to a staff member)
  - Deed or Legal description
- Provide Fee \$500.00
- Optional - Additional information for the Commission/Council to consider (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.
- Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.
- DeIDOT Service Level Evaluation Request Response
- PLUS Response Letter (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney

*Markus M. Peet*

Date: 07/27/2020

Signature of Owner

*Vanessa R. Bohner*

Date: 8/20/2020

For office use only:

Date Submitted: \_\_\_\_\_

Fee: \$500.00 Check #: \_\_\_\_\_

Staff accepting application: \_\_\_\_\_

Application & Case #: \_\_\_\_\_

Location of property: \_\_\_\_\_

Subdivision: \_\_\_\_\_

Date of PC Hearing: \_\_\_\_\_

Recommendation of PC Commission: \_\_\_\_\_

Date of CC Hearing: \_\_\_\_\_

Decision of CC: \_\_\_\_\_

## Planning & Zoning Project Contact List

### Applicant Information

Applicant Name: Jonathan J. Bowman  
Applicant Address: 34647 Millsboro Highway  
City: Millsboro State: DE Zip: 19966  
Phone #: (302) 841-7350 E-mail: mackenzie@tunnellraysor.com

### Owner Information

Owner Name: Jonathan J. & Veronica L. Bowman  
Owner Address: 34647 Millsboro Highway  
City: Millsboro State: DE Zip: 19966  
Phone #: (302) 841-7350 E-mail: wcubowman78@aol.com

### Engineer/Surveyor Information

Engineer/Surveyor Name: Cotten Engineering, LLC  
Engineer/Surveyor Address: 10087 Concord Road  
City: Seaford State: DE Zip: 19973  
Phone #: (302) 628-9164 E-mail: \_\_\_\_\_

### Agent/Attorney Information

Agent/Attorney/Name: Mackenzie Peet, Esq  
Agent/Attorney/Address: 323E Rehoboth Avenue  
City: Rehoboth Beach State: DE Zip: 19971  
Phone #: (302) 227-1314 E-mail: mackenzie@tunnellraysor.com

### Other

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_



# Mailing List Application Form

For Applications requiring a Public Hearing in Sussex County

Please fill out this form and return it with your application. As a part of your application a Public Hearing is required. The property owners within 200' of the site of the application will be notified. Staff will notify the property owners.

## Application Information:

Site Address: 34647 Millsboro Highway  
Millsboro, DE 19966  
Parcel #: 333-7.00-32.00

Site Address: \_\_\_\_\_  
\_\_\_\_\_  
Parcel #: \_\_\_\_\_

Applicant Name: Jonathan J. Bowman  
Owner Name: Jonathan J. Bowman

## Type of Application:

Conditional Use:   
Change of Zone:   
Subdivision:   
Board of Adjustment:

Date Submitted: \_\_\_\_\_

### For office use only:

Date of Public Hearing: \_\_\_\_\_  
File #: \_\_\_\_\_  
Date list created: \_\_\_\_\_ List created by: \_\_\_\_\_  
Date letters mailed: \_\_\_\_\_ Letters sent by: \_\_\_\_\_



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

August 4, 2020

Mr. Jamie Whitehouse, Director  
Sussex County Planning & Zoning  
P.O. Box 417  
Georgetown, DE 19947

Dear Mr. Whitehouse:

The Department has completed its review of a Service Level Evaluation Request for the **Jonathan J. Bowman** conditional use application, which we received on May 19, 2020. This application is for an approximately 2.06-acre parcel (Tax Parcel: 333-7.00-32.00). The subject land is located on the east side of the Millsboro Highway (Sussex Road 26), approximately 150 northeast of the intersection of Millsboro Highway and Bradford Road / Westwoods Road (Sussex Road 426), in Millsboro. The subject land is currently zoned as AR-1 (Agricultural Residential), and the applicant is seeking a conditional use approval to utilize the facility to operate a truck and trailer repair business.

Per the 2019 Delaware Vehicle Volume Summary, the annual average and summer average daily traffic volumes along the segment of Millsboro Highway where the subject land is located, which is from Cypress Road (Sussex Road 60) to Nine Foot Road (Sussex Road 26), are 4,606 and 5,928 vehicles per day, respectively.

Based on our review, we estimate that the above land uses will generate fewer than 50 vehicle trips in any hour and fewer than 500 vehicle trips per day. These numbers of trips are DelDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. Because the proposed land use would not meet these warrants, we consider the development's traffic impact to be negligible in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DelDOT's description of this application as negligible with regard to warranting a TIS does not mean that it is negligible in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.

If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.



Mr. Jamie Whitehouse  
Page 2 of 2  
August 4, 2020

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.  
County Coordinator  
Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues  
Jonathan J. Bowman, Applicant  
Todd Sammons, Assistant Director, Development Coordination  
Gemez Norwood, South District Public Works Manager, Maintenance & Operations  
Susanne K. Laws, Sussex County Review Coordinator, Development Coordination  
Derek Sapp, Subdivision Manager, Development Coordination  
Kevin Hickman, Subdivision Manager, Development Coordination  
Brian Yates, Subdivision Manager, Development Coordination  
John Andrescavage, Subdivision Manager, Development Coordination  
James Argo, South District Project Reviewer, Maintenance & Operations  
Troy Brestel, Project Engineer, Development Coordination  
Claudy Joinville, Project Engineer, Development Coordination

**SUSSEX COUNTY ENGINEERING DEPARTMENT**  
**UTILITY PLANNING DIVISION**  
**C/U & C/Z COMMENTS**

TO: **Jamie Whitehouse**

REVIEWER: **Chris Calio**

DATE: **9/21/2020**

APPLICATION: **CU 2241 Jonathan J. Bowman**

APPLICANT: **Jonathan J. Bowman**

FILE NO: **WSPA-5.01**

TAX MAP &  
PARCEL(S): **333-7.00-32.00**

LOCATION: **34647 Millsboro Highway. On the east side of Millsboro Highway, 120 feet north of Bradford Road.**

NO. OF UNITS: **Truck and Trailer Repair Business**

GROSS  
ACREAGE: **2.69 +/-**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

**SEWER:**

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?  
Yes  No
- a. If yes, see question (2).
- b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 5**
- (3). Is wastewater capacity available for the project? **N/A** If not, what capacity is available? **N/A**.
- (4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **No** If yes, the current System Connection Charge Rate is **Unified \$6,360.00** per EDU. Please contact **N/A** at **302-855-7719** for additional information on charges.

(6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **No**

Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.

(7). Is project adjacent to the Unified Sewer District? **No**

(8). Comments: **The proposed Conditional Use is not in an area where the Sussex County Engineering Department has a schedule to provide sanitary sewer service.**

(9). Is a Sewer System Concept Evaluation required? **No**

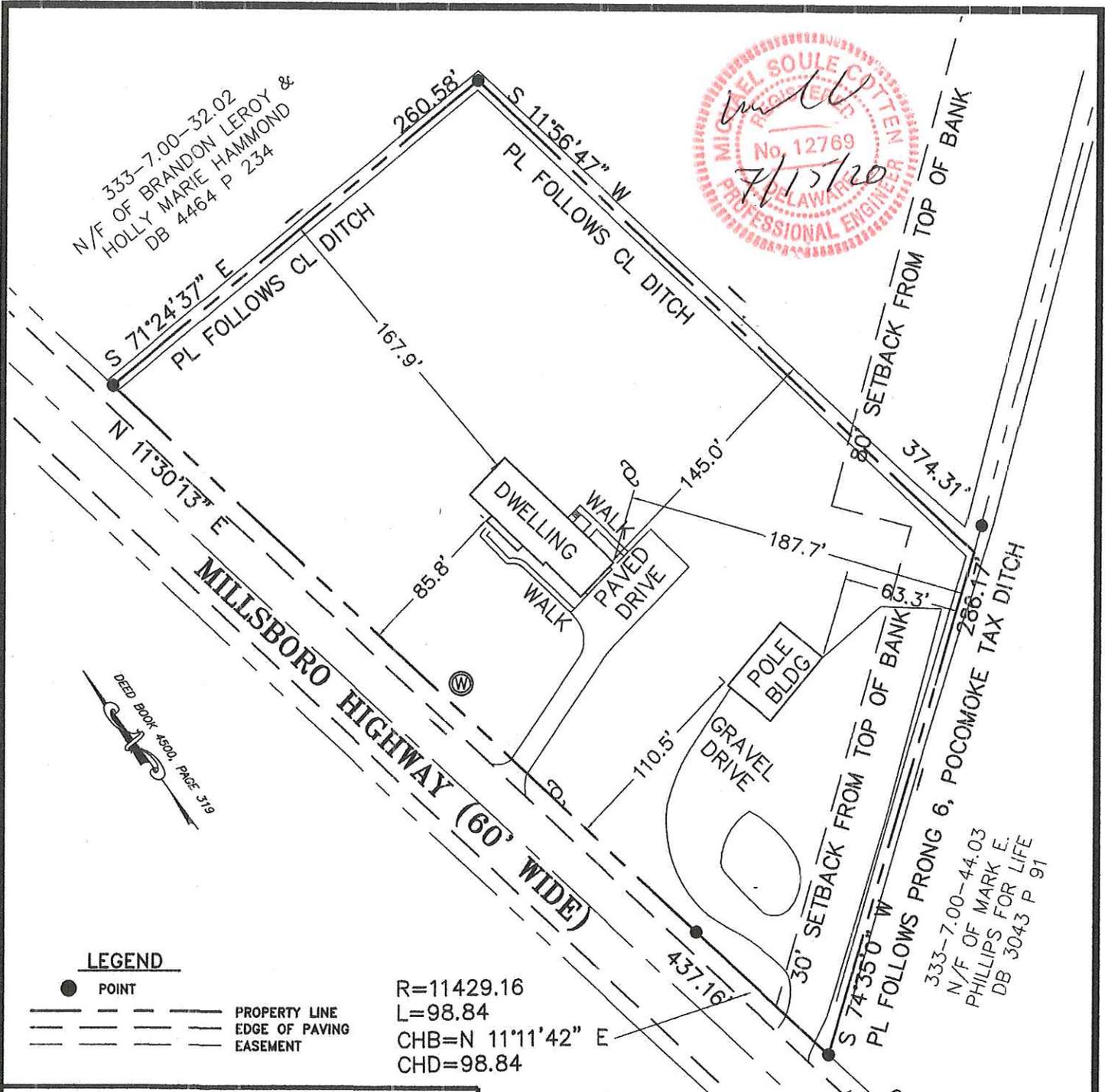
(10). Is a Use of Existing Infrastructure Agreement Required? **No**

UTILITY PLANNING APPROVAL:



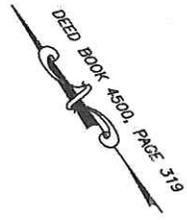
John J. Ashman  
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.  
Jayne Dickerson  
No Permit Tech Assigned



333-7.00-32.02  
N/F OF BRANDON LEROY &  
HOLLY MARIE HAMMOND  
DB 4464 P 234

333-7.00-44.03  
N/F OF MARK E.  
PHILLIPS FOR LIFE  
DB 3043 P 91



**LEGEND**

- POINT
- PROPERTY LINE
- - - EDGE OF PAVING
- - - EASEMENT

R=11429.16  
L=98.84  
CHB=N 11°11'42" E  
CHD=98.84

**NOTES**

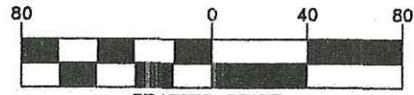
1. TITLE REFERENCED TO DEED BOOK 4500, PAGE 319.
2. "SUBURBAN" SURVEY.
3. SUBJECT TO ANY AND ALL RESTRICTIONS, RESERVATIONS, CONDITIONS, EASEMENTS & AGREEMENTS OF RECORD IN THE OFFICE OF RECORDER OF DEEDS, SUSSEX COUNTY, DE. NO TITLE SEARCH PROVIDED.

**BOUNDARY SURVEY**  
FOR JONATHAN & VERONICA BOWMAN  
34647 MILLSBORO HIGHWAY  
MILLSBORO, DE 19966  
GUMBORO HUNDRED  
SUSSEX COUNTY, DELAWARE  
TAX MAP #333-7.00-32.00  
AREA: 116,978±SF OR 2.69±ACRES

**COTTEN ENGINEERING LLC**

CIVIL ENGINEERS  
10087 CONCORD RD.  
SEAFORD DE 19973  
PHONE/FAX (302) 628-9164

THIS DRAWING, SPECIFICATIONS, AND WORK PRODUCED BY COTTEN ENGINEERING LLC FOR THIS PROJECT ARE INSTRUMENTS OF SERVICE FOR THIS PROJECT ONLY, AND REMAINS THE COPYRIGHTED PROPERTY OF COTTEN ENGINEERING LLC. FEUSE OR REPRODUCTION OF ANY OF THE INSTRUMENTS OF SERVICE OF COTTEN ENGINEERING LLC BY THE CLIENT OR ASSIGNEES WITHOUT THE WRITTEN PERMISSION OF COTTEN ENGINEERING LLC WILL BE AT THE CLIENTS RISK AND BE A VIOLATION OF THE COPYRIGHT LAWS OF THE UNITED STATES OF AMERICA AND THE RESPECTIVE STATE WITHIN WHICH THE WORK WAS COMPLETED.



GRAPHIC SCALE  
1 INCH EQUALS 80 FEET

DESIGNED BY: CE	REV:	JOB # 20-290
DRAWN BY: JCD	DATE: 07/15/2020	SHEET 1 OF 1
CHECKED BY: MSC	SCALE: AS-SHOWN	

**PLANNING & ZONING COMMISSION**

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE-CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY J. WINGATE



**Sussex County**

DELAWARE  
sussexcountyde.gov  
302-855-7878 T  
302-854-5079 F  
JAMIE WHITEHOUSE, MRTPI, AICP  
DIRECTOR OF PLANNING & ZONING

**PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET**  
Planning Commission Public Hearing Date: October 8<sup>th</sup>, 2020

Application: CZ 1925 Lemuel H. Hickman GST Exempt Trust fbo Brenton Archut

Applicant/Owner: Lemuel H. Hickman GST Exempt Trust fbo Brenton Archut

Site Location: Northeast corner of Bayard Road (S.C.R. 84) and Double Bridges Road (S.C.R. 363)

Current Zoning: AR-1 (Agricultural Residential District)

Proposed Zoning: B-2 (Business Community District)

Comprehensive Land Use Plan Reference: Coastal Area

Councilmanic District: Mr. Rieley

School District: Indian River School District

Fire District: This parcel is split between Millville Fire Company and Roxana Fire Company, with the subject portion of the site falling within the jurisdiction of the Millville Fire Company

Sewer: Currently on private septic with proposed connection to the Sussex County Central Sewer System in the future

Water: Private (On-site)

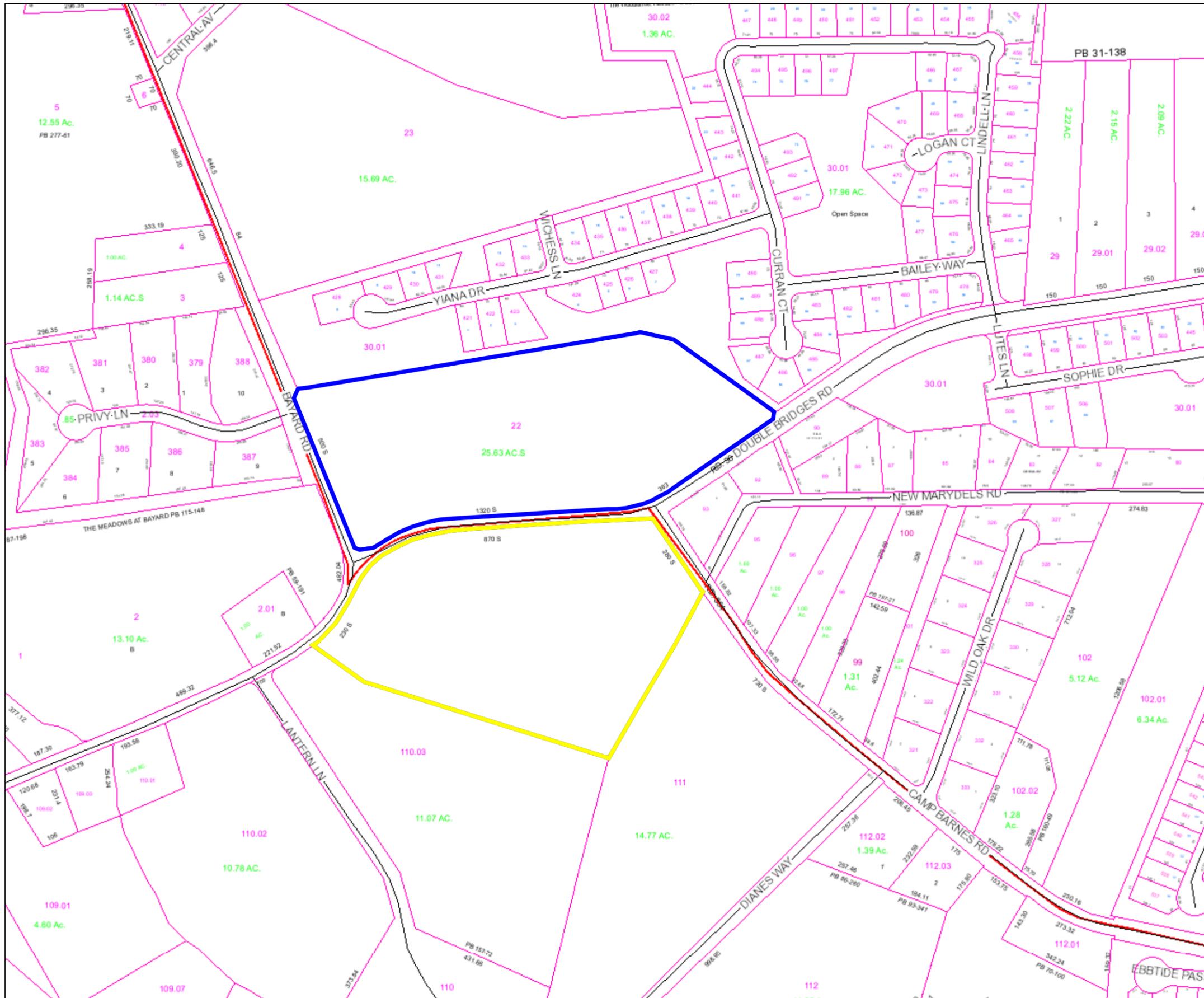
Site Area: 25.63 acres +/-

Tax Map ID.: 134-19.00-22.00





# Sussex County



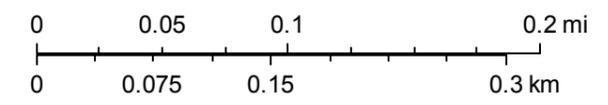
<b>PIN:</b>	134-19.00-22.00
<b>Owner Name</b>	ARCHUT DIANNE H TRUSTEE
<b>Book</b>	3648
<b>Mailing Address</b>	36219 OLD CHURCH CEME
<b>City</b>	FRANKFORD
<b>State</b>	DE
<b>Description</b>	RD HALL SCH HSE
<b>Description 2</b>	TO DOUBEL BR
<b>Description 3</b>	T#55018
<b>Land Code</b>	

- polygonLayer**

  - Override 1
- polygonLayer**

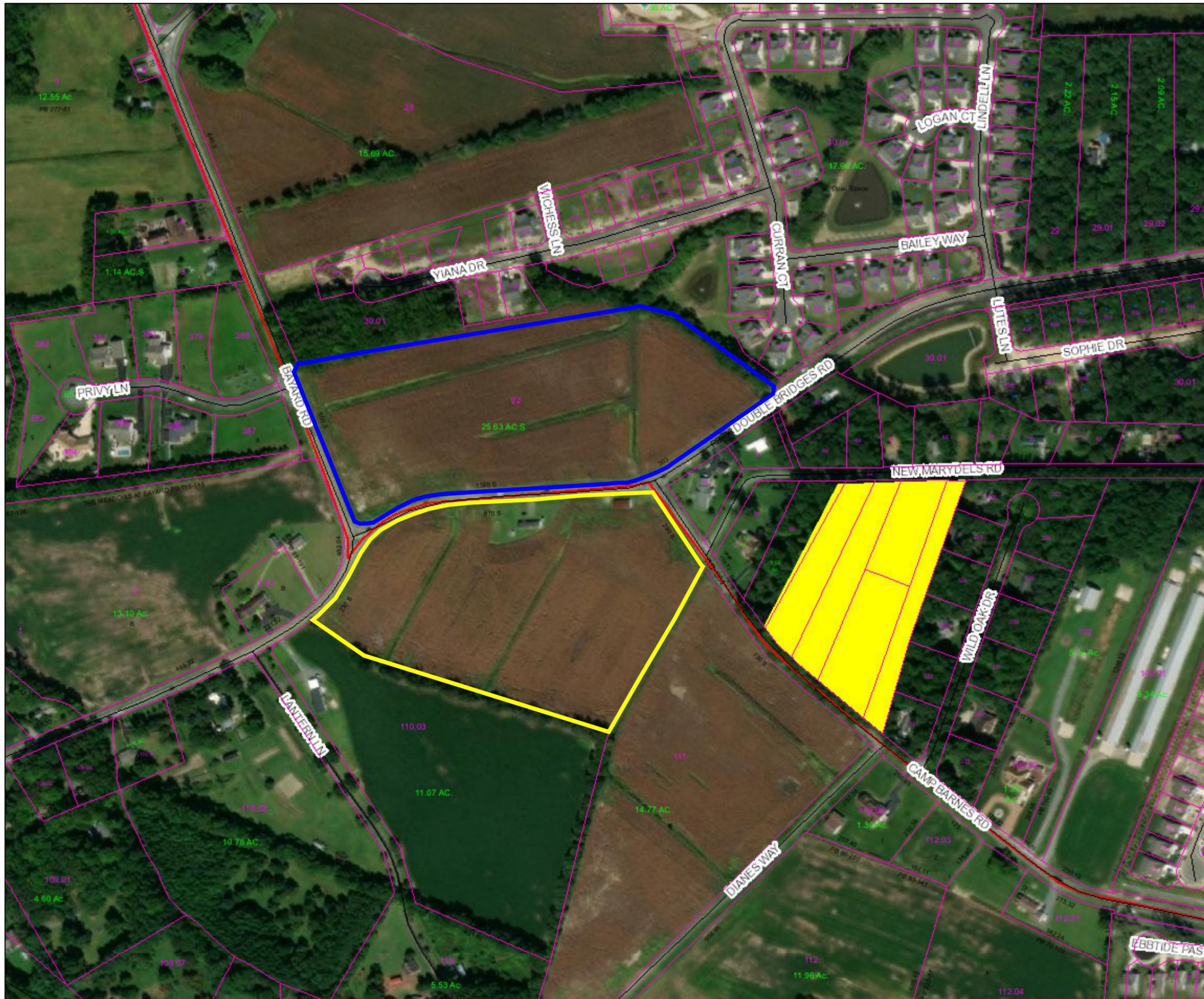
  - Override 1
- Tax Parcels
- Streets
- Fire Districts
- County Boundaries

1:4,514





# Sussex County



<b>PIN:</b>	134-19.00-22.00
<b>Owner Name</b>	ARCHUT DIANNE H TRUSTEE
<b>Book</b>	3648
<b>Mailing Address</b>	36219 OLD CHURCH CEME
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<b>Land Code</b>	

**polygonLayer**

Override 1

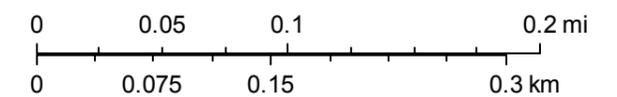
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Override 1

Tax Parcels

Streets

1:4,514





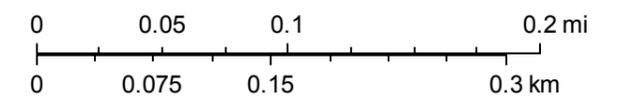
# Sussex County



<b>PIN:</b>	134-19.00-22.00
<b>Owner Name</b>	ARCHUT DIANNE H TRUSTEE
<b>Book</b>	3648
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<b>Description</b>	RD HALL SCH HSE
<b>Description 2</b>	TO DOUBEL BR
<b>Description 3</b>	T#55018
<b>Land Code</b>	

- polygonLayer**
- Override 1
- polygonLayer**
- Override 1
- Tax Parcels
- Streets
- Fire Districts
- County Boundaries

1:4,514





## Memorandum

To: Sussex County Planning Commission Members  
From: Chase Phillips, Planner I  
CC: Vince Robertson, Assistant County Attorney and applicant  
Date: September 15, 2020  
RE: Staff Analysis for CZ 1925 Lemuel H. Hickman GST Exempt Trust fbo Brenton Archut

---

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CZ 1925 Lemuel H. Hickman GST Exempt Trust fbo Brenton Archut to be reviewed during the October 8, 2020 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Change of Zone for Tax Parcel 134-19.00-22.00 to allow for a change of zone from an Agricultural Residential (AR-1) Zoning District to a Business Community (B-2) District. The parcel is located on the northeast corner of Bayard Road (S.C.R. 84) and Double Bridges Road (S.C.R. 363). The parcel is divided by Double Bridges Road and is located at 35910 Double Bridges Road. The size of the property is approximately 25.63 acres +/-.

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the subject property has the land use designation of "Coastal Area." Each property to the north, south, east, and west also have the "Coastal Area" designation. The Coastal Area is designated to encourage growth and development provided that environmental concerns are addressed. The Coastal Area may include various types of housing, small-scale retail and office, light commercial, and institutional land uses. Sussex County's base density of two (2) units per acre is standard. Medium and higher densities (4-12 units per acre) may be appropriate in select locations.

The 2018 Sussex County Comprehensive Plan outlines Zoning Districts by their applicability to each Future Land Use category. Under Table 4.5-2 "Zoning Districts Applicable to Future Land Use Categories", the Community Business (B-2) Zoning District is listed as an applicable zoning district in the "Coastal Area."

Additionally, the subject property is currently within an Agricultural Residential (AR-1) Zoning District. Each parcel to the north, south, east, and west is also within the Agricultural Residential Zoning District.

Since 2011, there have been two Change of Zone applications within a one-mile radius of the subject property. Change of Zone No. 1841 was a previous Change of Zone application for the subject site (i.e. this same tax parcel). It was denied by the Sussex County Council on January 30, 2018. Change of Zone No. 1761, which proposed a change from a General Commercial (C-1)



District to an Agricultural Residential (AR-1) District, was approved by the Sussex County Council on November 18, 2014. It was adopted through Ordinance No. 2373.

Based on the analysis of the surrounding zoning and uses, a Change of Zone to a Community Business (B-2) Zoning District could be considered as being consistent with the land use, area zoning and surrounding uses.

# Sussex County

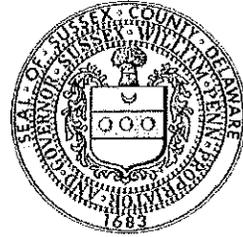
DELAWARE  
PLANNING & ZONING DEPARTMENT

[sussexcountyde.gov](http://sussexcountyde.gov)

302-855-7878 T

302-854-5079 F

JAMIE WHITEHOUSE, AICP, MRTPI  
DIRECTOR



## SETBACK INFORMATION REQUEST

Date of Request 07/23/2020 Zoning District GR

Customer Name Mr. Willis Miller

Customer Contact wrmillerllc@gmail.com 302-272-8084

Tax Parcel ID 234-12.18-41.00 Lot/Unit Number 20

Parcel Address 22928 Pine Road, Lewes

Front Yard Setback / See Notes

Side Yard Setback / See Notes

Rear Yard Setback / See Notes

Corner Front Yard Setback -

Maximum Height 42'



The Customer was provided general zoning setbacks, as a specific parcel was not identified. Therefore, the setbacks provided may not be for a specific parcel. The setbacks could be different based on the specific nature of the property.

### Additional Notes:

\*\*\*Revised setbacks (see Chase)

This request is for setbacks for an an accessory structure that is proposed to be 24X25 which is to equal 600 square feet precisely.

151-185(F) states that "accessory buildings and structures which are not a part of the main buildings may be constructed in a rear yard provided that such accessory building does not contain more than 600 square feet of area, and may be located five feet from a side lot line and five feet from a rear lot line."

Subject to any potential HOA regulations (Angola Neck Park; Lot 20)

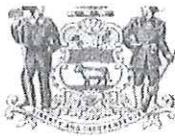
Name of Staff Member Chase Phillips, Planner I

Checked By Chase P Phillips

This proposed accessory structure is suggested to be in compliance with setbacks as long as it does not encroach the five (5) foot setbacks.

Revised 11/8/2019

CP



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

April 21, 2020

Mr. Jamie Whitehouse, Director  
Sussex County Planning & Zoning  
P.O. Box 417  
Georgetown, DE 19947

Dear Mr. Whitehouse:

This letter is to revise and replace my letter earlier today regarding the **Brenton Archut** rezoning application, which we received on March 23, 2020. While the letter referenced the correct parcel number, the information describing the location and acreage of the parcel incorrectly referred to another parcel. The letter is being revised to correctly describe the location and acreage of parcel 134-19.00-22.00. A copy of our previous letter is attached.

This revised application is for a 3.00-acre portion of a 25.63-acre parcel (Tax Parcel 134-19.00-22.00). The subject land is located on the northeast and southeast corners of the intersection of Bayard Road (Sussex Road 84) and Double Bridges Road (Sussex Road 363). The subject land is currently zoned AR-1 (Agricultural Residential), and the applicant is seeking to rezone the land to B-2 (Neighborhood Business) to develop a 7,500 square-foot office / retail complex.

Per the 2019 Delaware Vehicle Volume Summary, the annual average daily traffic volume along the segment of Bayard Road where the subject land is located, which is from Double Bridges Road (Sussex Road 363) to South Ocean View Limits, is 3,060 vehicles per day. As the subject land also has frontage along Double Bridges Road, the annual average daily traffic volume on that road segment, which is from Bayard Road to Camp Barnes Road (Sussex Road 364), is 3,645 vehicles per day.

Our volume-based criteria for requiring a traffic impact study (TIS), addressed in Section 2.2.2.1 of the Development Coordination Manual, are that a development generates more than 500 trips per day or 50 trips during a weekly peak hour. While it seems that the above criteria could be met, we presently cannot predict the site's trip generation with enough accuracy to make a TIS useful. Thus, we recommend that this rezoning application be considered without a TIS and that the need for a TIS be evaluated when a subdivision or land development plan is proposed.



Mr. Jamie Whitehouse

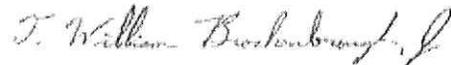
Page 2 of 2

April 21, 2020

If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.  
County Coordinator  
Development Coordination

TWB:cjm

Enclosure

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues  
Brenton Archut, Applicant  
J. Marc Coté, Director, DelDOT Planning  
Gemez Norwood, South District Public Works Manager, Maintenance & Operations  
Susanne K. Laws, Sussex County Review Coordinator, Development Coordination  
Derek Sapp, Subdivision Manager, Development Coordination  
Kevin Hickman, Subdivision Manager, Development Coordination  
Brian Yates, Subdivision Manager, Development Coordination  
John Andrescavage, Subdivision Manager, Development Coordination  
James Argo, South District Project Reviewer, Maintenance & Operations  
Troy Brestel, Project Engineer, Development Coordination  
Claudy Joinville, Project Engineer, Development Coordination

**SUSSEX COUNTY ENGINEERING DEPARTMENT**  
**UTILITY PLANNING DIVISION**  
**C/U & C/Z COMMENTS**

TO: **Jamie Whitehouse**

REVIEWER: **Chris Calio**

DATE: **9/21/2020**

APPLICATION: **CZ 1925 Lemuel H. Hickman GST Exempt Trust fbo Brenton Archut.**

APPLICANT: **Lemuel H. Hickman GST Exempt Trust fbo Brenton Archut**

FILE NO: **SPS-5.04**

TAX MAP & PARCEL(S): **134-19.00-22.00**

LOCATION: **Northeast corner of Bayard Road (SCR 84), and Double Bridges Road (SCR 363).**

NO. OF UNITS: **Upzone from AR-1 to B-2**

GROSS ACREAGE: **25.63 +/-**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

**SEWER:**

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?  
Yes  No 
  - a. If yes, see question (2).
  - b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 2**
- (3). Is wastewater capacity available for the project? **Yes** If not, what capacity is available? **N/A.**
- (4). Is a Construction Agreement required? **Yes** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A.** Is it likely that additional SCCs will be required? **Yes** If yes, the current System Connection Charge Rate is **Unified \$6,360.00** per EDU. Please contact **Choose an item.** at **302-855-7719** for additional information on charges.

(6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **Yes**

Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.

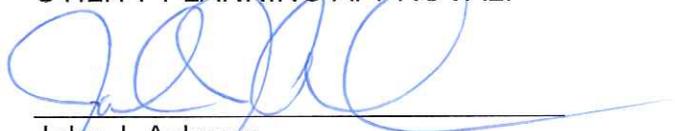
(7). Is project adjacent to the Unified Sewer District? **Yes**

(8). Comments: **The proposed Change of Zone is contiguous to the Sussex County Unified Sanitary Sewer District and shall connect to said sewer system.**

(9). Is a Sewer System Concept Evaluation required? **Yes, Contact Utility Planning at 302-855-1299 to apply**

(10). Is a Use of Existing Infrastructure Agreement Required? **Yes**

UTILITY PLANNING APPROVAL:



John J. Ashman  
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.  
Jayne Dickerson  
Noell Warren

## Policy for Extending District Boundaries

1. Property owner (developer) and/or his representative shall make a request to the Utility Planning Division for a Sewer System Concept Evaluation.
2. Property owner (developer) and/or his representative shall meet with the applicable planning and zoning agency to determine if zoning is appropriate for the development being planned.
3. With appropriate zoning, property owner (developer) and/or his representative shall send a letter (with appropriate application fee as listed below) requesting the Sussex County Council to consider extending the water and/or sanitary sewer district boundaries. (Sussex County Code)

Application Fees	
Less than 2 acres	\$500.00
2.1 - 9.99 acres	\$750.00
10 - 150.00 acres	\$1,500.00
Greater than 150.00 acres	\$2,500.00

4. The Sussex County Engineering Department shall present, for Sussex County Council's consideration, posting of notices for the proposed extension of the district boundaries.
5. The Sussex County Council approves posting notices for the proposed extension of the boundaries. (If approval to post the notices is not given, the appropriate fee is refunded.)
6. Within ninety days of the posting of the notices, the Sussex County Council approves/disapproves extending the boundaries.
7. The Sussex County Council approves/disapproves of the extension of the water and/or sanitary sewer pipelines under the appropriate Sussex County Ordinance.

RUSSELL & MICHELLE HALL

33363 Hall Way  
Frankford, DE 19945

September 28, 2020

Mr. Jamie Whitehouse, Planning Director  
Sussex County Planning and Zoning Commission  
2 The Circle  
P.O. Box 417  
Georgetown, DE 19947  
302-855-7878

Re: C/Z 1925 - Brenton Archut  
Change of Zone  
Tax Parcel 134-19.00-22.00

Dear Mr. Whitehouse,

As nearby property owners, we are writing to express our support of the above referenced application. Our primary residence is located just over a mile from the parcel in question and we travel past the site on a daily basis.

Watching our area grow over the last 30+ years we have seen thousands upon thousands of new single family homes being developed with limited corresponding commercial development. The inland area between Bethany Beach and Fenwick Island is in need of sensibly limited commercial development to support the continued residential growth. The site in question lies at what is currently a significant crossroad along the most direct inland route between Bethany Beach and Fenwick Island, making it ideal for supporting a commercial parcel.

In addition to the suitability of the parcel for commercial use, the owner's intent should be taken into account. We have known Mr. Archut for 20 years. He and his family have owned several agricultural and commercial parcels in coastal Sussex County for generations. While many of the old farming families have sold their land to developers and walked away from the area, Mr. Archut and his family have retained their land, and developed it sensibly with care for the local community while continuing to farm the majority of it. They are the type of landowners Sussex County needs behind development like this.

Sincerely yours,



Russell & Michelle Hall

**SUPPORT EXHIBIT**

RECEIVED

OCT 01 2020

SUSSEX COUNTY  
PLANNING & ZONING

**Hickman Trust f/b/o Brenton Archut  
CZ #1925**

Jamie Whitehouse  
Director of Planning and Zoning  
2 The Circle  
P.O. 417  
Georgetown, DE 19947

Date: September 25, 2020

Re: CZ #1925

Dear Mr. Whitehouse,

Attached is a booklet to support the application to amend the Comprehensive Zoning Map from AR-1 Agricultural Residential District to B-2 Business Community District for 2.99 Acres, more or less in Baltimore Hundred.

We believe the request will:

1. Provide a convenient location for services needed by our growing area;
2. Reduce congestion on area roads and streets by providing nearby services;
3. Provide opportunities for local businesses and local business owners; and
4. Meet the goals outlined in the Sussex County Land Use Plan.

We look forward to presenting this application for public consideration.

Respectfully Submitted,

Brenton H. Archut



**Hickman Trust**  
CZ #1925

Table of Contents

1. Application
2. Aerial Photo of the site (about 2017)
3. Survey and Concept Plan
4. Copy of Deed to the Property
5. SCED (sewer) service letter
6. Sewer easement
7. Tidewater Utilities (water) service letter
8. DeIDOT Service Level Evaluation Request Response letter
9. Sussex County Future Land Use map
10. Current zoning and non-residential uses in the area
11. Map showing historical provision of general services to the  
area
12. Examples of Light Commercial Service Centers
13. Is Selling the only option?
14. Planning and Zoning Staff Analysis Report
15. CZ #1925 application informational summary



File #: 021925  
202007855

# Planning & Zoning Commission Application Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

**Type of Application: (please check applicable)**

Conditional Use   
Zoning Map Amendment

**Site Address of Conditional Use/Zoning Map Amendment**

Northeast Corner at the Intersection of Bayard Rd and Double Bridges Rd

**Type of Conditional Use Requested:**

RECEIVED  
JUL 10 2020  
SUSSEX COUNTY  
PLANNING & ZONING

Tax Map #: 134-19.00-22.00(p/o)      Size of Parcel(s): 2.99 a +/-

Current Zoning: AR-1      Proposed Zoning: B-2      Size of Building: Total 7,056 +/-

Land Use Classification: \_\_\_\_\_

Water Provider: On-Site      Sewer Provider: SCED

**Applicant Information**

Applicant Name: Lemuel H. Hickman GST Exempt Trust fbo Brenton Archut  
Applicant Address: 36219 Old Church Cemetery Rd  
City: Frankford      State: DE      Zip Code: 19945  
Phone #: (302)-245-3056      E-mail: barehut@hbplaza.com

**Owner Information**

Owner Name: same  
Owner Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Agent/Attorney/Engineer Information**

Agent/Attorney/Engineer Name: Tom Ford  
Agent/Attorney/Engineer Address: 53 Atlantic Ave Oak Square Suite 3  
City: Ocean View      State: DE      Zip Code: 19970  
Phone #: (302)-537-1919      E-mail: tford51@aol.com





# Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

- Completed Application**
- Provide eight (8) copies of the Site Plan or Survey of the property**
  - Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
  - Provide a PDF of Plans (may be e-mailed to a staff member)
  - Deed or Legal description
- Provide Fee \$500.00**
- Optional - Additional information for the Commission/Council to consider** (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.
- Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.**
- DeIDOT Service Level Evaluation Request Response**
- PLUS Response Letter** (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney

Brenton H. Archut Date: 7/10/2020

Signature of Owner (Trustee)

Dianne H. Archut Date: 7/10/2020

For office use only:

Date Submitted: 7/10/2020 Fee: \$500.00 Check #: 115  
Staff accepting application: CEH Application & Case #: 202007885 / 02 1925  
Location of property: \_\_\_\_\_

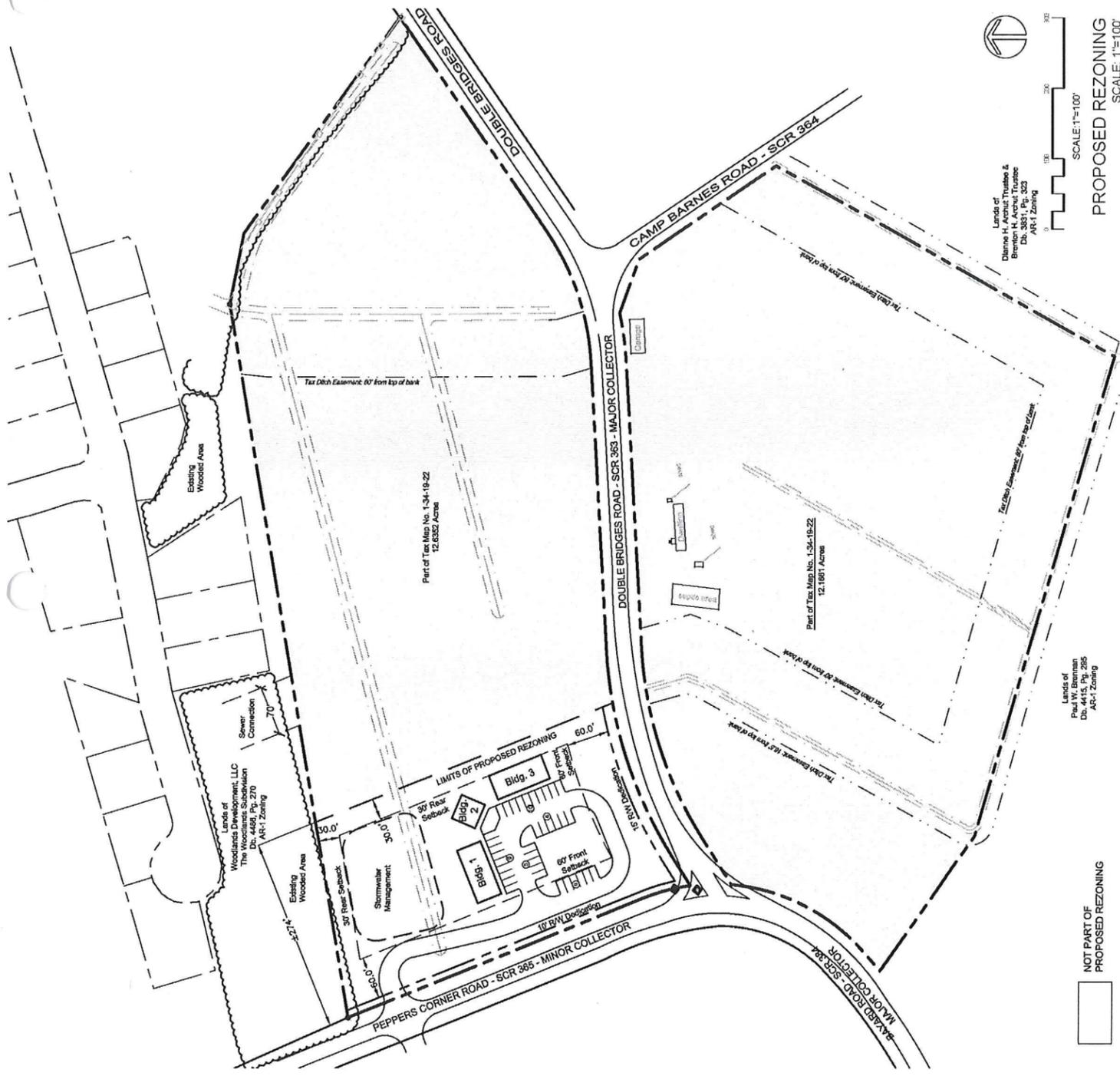
Subdivision: \_\_\_\_\_  
Date of PC Hearing: \_\_\_\_\_ Recommendation of PC Commission: \_\_\_\_\_  
Date of CC Hearing: \_\_\_\_\_ Decision of CC: \_\_\_\_\_



**Aerial Photograph (about 2017)  
showing project site and nearby area**







Lands of  
Dianne H. Archut Trustee &  
Brenton H. Archut Trustee  
Db. 3851, Pg. 303  
AR-1 Zoning



SCALE: 1"=100'  
PROPOSED REZONING

Lands of  
Paul W. Brennan  
Db. 415, Pg. 285  
AR-1 Zoning

NOT PART OF  
PROPOSED REZONING





827

BK: 3648 PG: 165

Tax Parcel No: 1-34-19.00-22.00

Prepared by and Return to:  
Mark D. Olson, Esquire  
Morris James LLP  
500 Delaware Avenue, Suite 1500  
P.O. Box 2306  
Wilmington, DE 19899

NO TITLE SEARCH OR SURVEY WAS REQUESTED OR PERFORMED

THIS CORRECTIVE DEED, made this 24 day of December, 2008 by and between:

LEMUEL H. HICKMAN MARITAL TRUST URTA dated APRIL 6, 1992, DIANNE H. ARCHUT, TRUSTEE, DIANNE H. ARCHUT, individually, and DIANNE H. ARCHUT REVOCABLE TRUST u/a dated MAY 3, 2006, DIANNE H. ARCHUT, TRUSTEE, hereinafter referred to as the "Grantors",

and

LEMUEL H. HICKMAN GST EXEMPT TRUST f/b/o BRENTON ARCHUT URTA dtd APRIL 6, 1992, DIANNE H. ARCHUT, TRUSTEE, of 36219 Old Church Cemetery Road, Frankford, Delaware 19945, hereinafter referred to as the "Grantee",

WITNESSETH

That for and in consideration of the sum of One Dollar (\$1.00), current lawful money of the United States of America, and other good and valuable consideration, the receipt of which is hereby acknowledged, Lemuel H. Hickman Marital Trust hereby grants and conveys unto Grantee, its successors and assigns, and Dianne H. Archut, individually and as Trustee of the Dianne H. Archut Revocable Trust, hereby quitclaims unto the Grantee, its successors and assigns:

ALL THAT parcel, piece or tract of land being and lying on the East side of the County Road leading from Hall School House to the Double Bridges adjoining lands now or formerly of Eustice Murray, Harry Evans and Charles Holloway in Baltimore Hundred, County of Sussex and State of Delaware, described as follows to wit:

BEGINNING at a Holly Tree a corner for this land and the lands of Charles Holloway, thence running Northerly until it comes to a County Road thence running Easterly to a Red Oak;

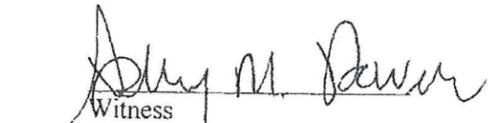


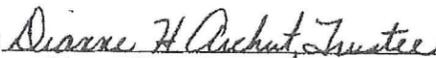
thence commencing and running in a Westerly direction to the center of the County Road leading from Hall School House to the house of John D. Furnaus; thence running Southerly with said road to the lands of Charles Holloway then with the lands of Charles Holloway to the place of beginning, and is said to contain thirty acres be the same more or less.

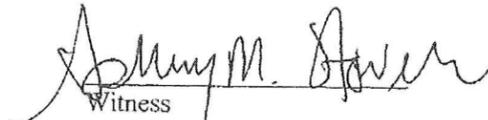
BEING the same lands conveyed to Dianne H. Archut by deed of Lemuel H. Hickman Marital Trust u/a dtd April 6, 1992, Dianne H. Archut, Trustee, dated January 1, 2008 and of record in the Office of the Recorder of Deeds, in and for Sussex County, at Georgetown, Delaware, in Deed Book 3551, Page 80, *et seq.*

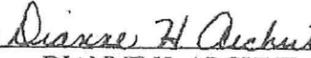
ALSO BEING the same lands conveyed to Dianne H. Archut Revocable Trust u/a dated May 3, 2006, Dianne H. Archut, Trustee, by deed of Dianne H. Archut dated January 1, 2008 and of record in the Office of the Recorder of Deeds, in and for Sussex County, at Georgetown, Delaware, in Deed Book 3551, Page 82, *et seq.*

LEMUEL H. HICKMAN MARITAL TRUST  
URTA DATED APRIL 6, 1992

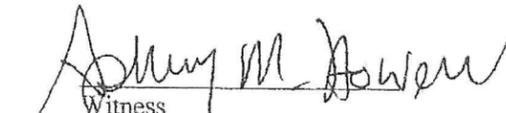
  
Witness

By:  (SEAL)  
Dianne H. Archut, Trustee

  
Witness

By:  (SEAL)  
DIANNE H. ARCHUT

DIANNE H. ARCHUT REVOCABLE TRUST  
U/A DATED MAY 3, 2006

  
Witness

By:  (SEAL)  
Dianne H. Archut, Trustee

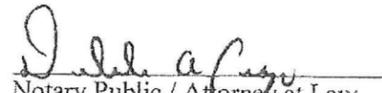


BK: 3648 PG: 167

STATE OF DELAWARE }  
                                  } SS.  
SUSSEX COUNTY }

BE IT REMEMBERED, That on this 24 day of 12, 2008, personally appeared before me, the Subscriber, a Notary Public for the State and County aforesaid, DIANNE H. ARCHUT, Trustee of the Lemuel H. Hickman Marital Trust URTA dated April 6, 1992, party to this Indenture, known to me personally to be such, and acknowledged this Indenture to be her act and deed.

GIVEN under my Hand and Seal of Office, the day and year aforesaid.

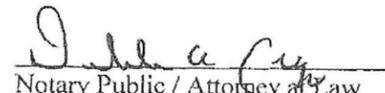
  
Notary Public / Attorney at Law  
State of Delaware

STATE OF DELAWARE }  
                                  } SS.  
SUSSEX COUNTY }

**DEBBIE A. CRAGO**  
Notary Public - State of Delaware  
My Comm. Expires Feb. 23, 2010

BE IT REMEMBERED, That on this 24 day of 12, 2008, personally appeared before me, the Subscriber, a Notary Public for the State and County aforesaid, DIANNE H. ARCHUT, party to this Indenture, known to me personally to be such, and acknowledged this Indenture to be her act and deed.

GIVEN under my Hand and Seal of Office, the day and year aforesaid.

  
Notary Public / Attorney at Law  
State of Delaware

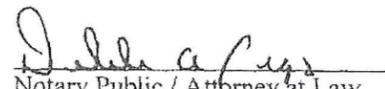
**DEBBIE A. CRAGO**  
Notary Public - State of Delaware  
My Comm. Expires Feb. 23, 2010



STATE OF DELAWARE }  
                                  } SS.  
SUSSEX COUNTY }

BE IT REMEMBERED, That on this 24 day of 12, 2008, personally appeared before me, the Subscriber, a Notary Public for the State and County aforesaid, DIANNE H. ARCHUT, Trustee of the Dianne H. Archut Revocable Trust UA dated May 3, 2006, party to this Indenture, known to me personally to be such, and acknowledged this Indenture to be her act and deed.

GIVEN under my Hand and Seal of Office, the day and year aforesaid.

  
Notary Public / Attorney at Law  
State of Delaware

DEBBIE A. CRAGO  
Notary Public - State of Delaware  
My Comm. Expires Feb. 23, 2010

**RECEIVED**

JAN 09 2009

**ASSESSMENT DIVISION  
OF SUSSEX COUNTY**

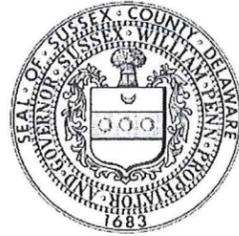
Recorder of Deeds  
John F. Brady  
Jan 09, 2009 10:48A  
Sussex County  
Doc. Surcharge Paid

Consideration: .00  
-----  
County .00  
State .00  
Town Total .00  
Received: Kara S Jan 09, 2009



## ENGINEERING DEPARTMENT

ADMINISTRATION (302) 855-7718  
AIRPORT & INDUSTRIAL PARK (302) 855-7774  
ENVIRONMENTAL SERVICES (302) 855-7730  
PUBLIC WORKS (302) 855-7703  
RECORDS MANAGEMENT (302) 854-5033  
UTILITY ENGINEERING (302) 855-7717  
UTILITY PERMITS (302) 855-7719  
UTILITY PLANNING (302) 855-1299  
FAX (302) 855-7799



# Sussex County

DELAWARE  
sussexcountyde.gov

HANS M. MEDLARZ, P.E.  
COUNTY ENGINEER

JOHN J. ASHMAN  
DIRECTOR OF UTILITY PLANNING

September 21, 2020

Mr. Russell Archut  
36219 Old Church Cemetery Road  
Frankford, Delaware 19945

REF: SUSSEX COUNTY UNIFIED SANITARY SEWER DISTRICT (BAYARD  
PLANNING AREA)  
TAX MAP 134-19.00-22.00  
ABILITY TO SERVE  
FILE: SPS-5.03BK

Dear Mr. Archut:

This is response to your request for a letter confirming Sussex County's ability to provide wastewater service for a project on the above-mentioned parcel. The parcel is in a Tier 2 service area for Sussex County and is contiguous to the existing sewer district boundary.

Sussex County does have the ability and is willing to provide sewer service for parcel 22.00 noted above. In order for the parcel to receive sewer service certain administrative procedures must be completed. First, the developer must receive preliminary site plan approval, then submit a written request for annexation along with the appropriate fee based on the acreage of the parcel. The Engineering Department will then establish a date and time for a Public Hearing before County Council. If County Council approves the annexation the developer would then need to install the necessary pipelines to the approved connection point. System connection charges will apply to the parcel after annexation, the current rate is \$6,360.00 per equivalent dwelling unit.

Should you have additional needs or questions, please call (302) 855-1299.

Sincerely,

SUSSEX COUNTY ENGINEERING DEPARTMENT

John J. Ashman  
Director of Utility Planning





T.M. No. 1-34-19.00-22.00  
PREPARED BY & RETURN TO:  
MORRIS JAMES, LLP  
P.O. Box 690  
Georgetown DE 19947

**DEED OF EASEMENT**

**THIS DEED OF EASEMENT**, Made this 12<sup>th</sup> day of March, A.D. 2019

**B E T W E E N**

**ACTA, LLC**, of 11001 Huntover Drive Rockville, Maryland 20852 party of the first part, hereinafter referred to as Grantor,

- A N D -

**LEMUEL H. HICKMAN GST EXEMPT TRUST f/b/o BRENTON ARCHUT urta DATED April 6, 1992**, of 36219 Old Church Cemetery Road, Frankford DE 19945, party of the second part, hereinafter referred to as the Grantee.

*WITNESSETH:*

**FOR AND IN CONSIDERATION** of the sum of ONE DOLLAR (\$1.00), cash in hand paid, the receipt of which is hereby acknowledged, and other good and valuable consideration, the Grantor has this day bargained and sold, and by these presents does bargain, sell, convey, transfer, and deliver unto the Grantee a permanent easement and right-of-way, including the perpetual right to enter upon the real estate herein after described, at any time that it may seem fit and construct, maintain and repair underground pipelines and/or mains for the purpose of conveying sewage and/or water over, across, through and under the lands of the Grantor, together with the right to excavate and the duty to refill ditches and/or trenches for the location of said pipelines and/or mains; the right to remove trees, bushes, undergrowth, and other obstructions interfering with the location, construction, and maintenance of said pipelines and/or mains; and to keep the area within permanent easement perpetually free and clear of all construction including garages, storage sheds, fences, etc., that would obstruct in any way the repair or replacement of said pipeline.

A permanent easement is hereby granted, more particularly described as follows:

ALL those certain tract, piece or parcel of land, lying and being situate in Baltimore Hundred,



Sussex County, State of Delaware, more particularly designated and described as follows, to wit: a 20' wide proposed utility easement for a proposed force main to the lands of Grantee beginning at MH 15 in Yianna Drive and running in a southerly direction to the lands of the Grantee (TM No. 1-34-19.00-22.00) as more particularly shown on Utility Easement Plan for Sussex County File S.P.S.-5.03bj The Woodlands Subdivision Phase 3, prepared by Civil Engineering Associates, LLC, dated March 24, 2017, and last revised August 6, 2019, at attached hereto as Exhibit A and made a part hereof.

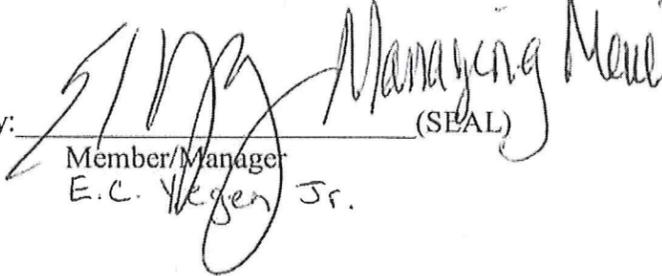
BEING a portion of those lands conveyed unto the above named Grantors by deed of ACTA, LLC, dated December 17, 2015, and of record in the Office of the Recorder of Deeds, in and for Sussex County, Delaware, in Deed Book 4486, at page 270.

At the termination of any construction, repair, or restoration, the Grantee agrees to restore said areas of construction to its present condition and otherwise agrees to pay reasonable costs of restoration.

IN WITNESS WHEREOF, the parties of the first of the first part have hereunto set their hands and seals the day and year aforesaid.

ACTA, LLC

Nancy E Smith  
Witness

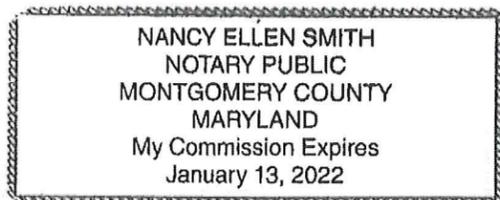
By:  (SEAL)  
Member/Manager  
E.C. Yegen Sr.



STATE OF DELAWARE :  
: ss.  
COUNTY OF SUSSEX :

BE IT REMEMBERED, That on the 12<sup>th</sup> day of March, A.D. 2019,  
personally appeared before me, the Subscriber, a Notary Public for the State and County aforesaid,  
E.C. Yegen Jr., Member/Manager of ACTA, LLC, party to this indenture,  
known to me personally to be such, and acknowledged this Indenture to be his act and deed and the  
act and deed of he company.

GIVEN under my Hand and Seal of Office, the day and year aforesaid.

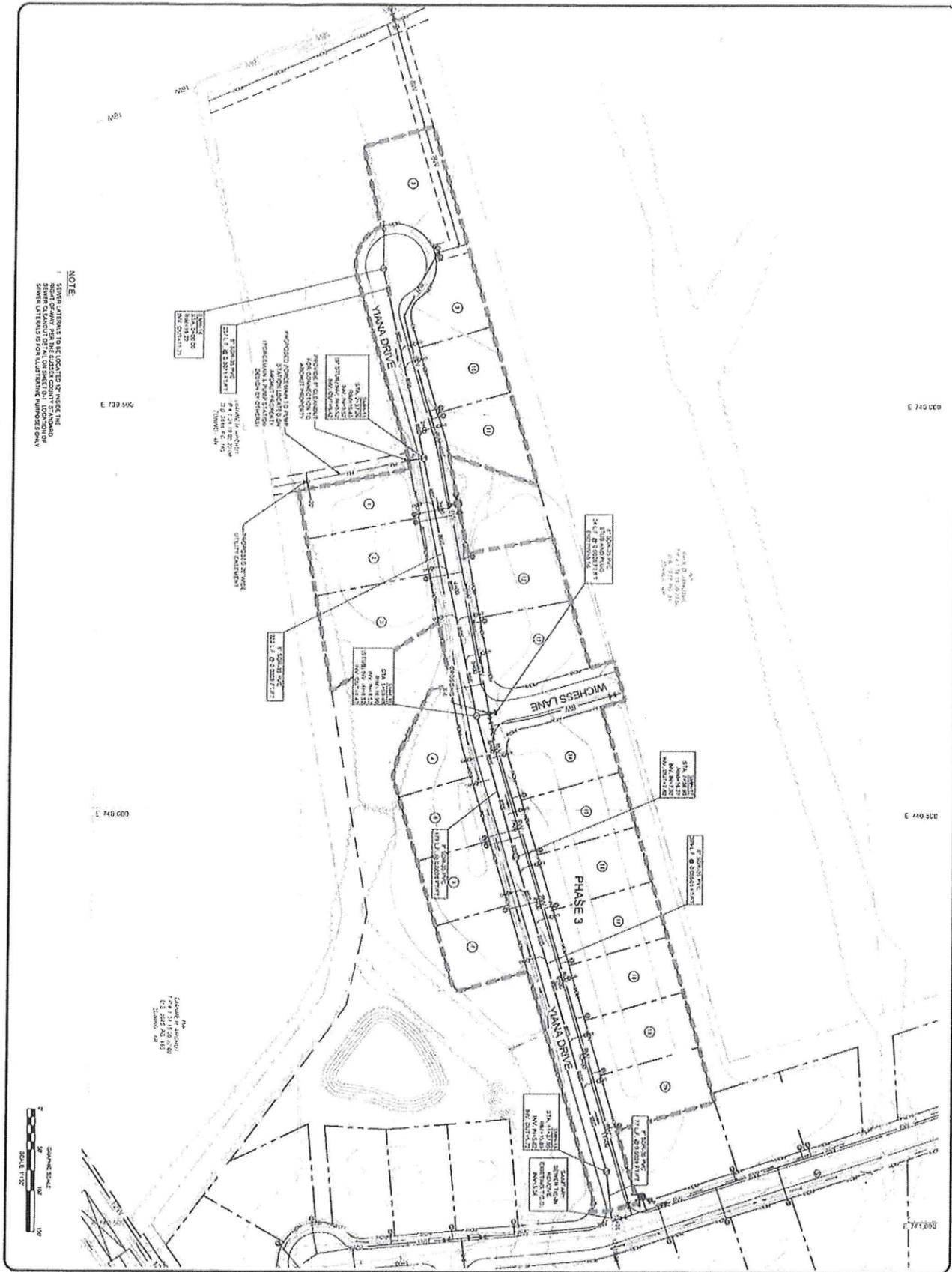


Nancy Ellen Smith  
Notary Public  
Nancy Ellen Smith  
(Printed or typewritten name)

My Commission Expires: January 13, 2022



# Exhibit A



SHEET NO. <b>U-2</b>	UTILITY PLANS FOR: SUSSEX COUNTY FILE S P S - S 030j <b>THE WOODLANDS SUBDIVISION</b> PHASE 3 BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE	<b>CEA</b> CIVIL ENGINEERING ASSOCIATES, LLC ENGINEERS SURVEYORS REGISTERED SERVICES	REVISIONS <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td>ISSUED FOR PERMITS</td> </tr> <tr> <td>2</td> <td></td> <td>REVISED PER SUSSEX COUNTY STANDARD SPECIFICATIONS FOR ALTERNATIVE NUMBERED ONLY</td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	1		ISSUED FOR PERMITS	2		REVISED PER SUSSEX COUNTY STANDARD SPECIFICATIONS FOR ALTERNATIVE NUMBERED ONLY	DATE
	NO.	DATE	DESCRIPTION										
1		ISSUED FOR PERMITS											
2		REVISED PER SUSSEX COUNTY STANDARD SPECIFICATIONS FOR ALTERNATIVE NUMBERED ONLY											
PROJECT NO. 1000000000 DATE: MARCH 24, 2011 DRAWN BY: JMS CHECKED BY: JMS TITLE: PHASING AND UTILITIES	101 N BRAD STREET HODDGETOWN, DE 19709 PHONE (302) 376-8833 FAX (302) 376-8834 WWW.CEA-DE.COM												



# TIDEWATER

UTILITIES, INC.

A Middlesex Water Company Affiliate

September 16, 2020

Sent Via E-Mail

Dianne H. Archut Trustee  
c/o Brenton Archut  
Assistant Manager  
Hickman Beach Plaza

**RE: Willing & Able Letter – Parcel 134-19.00-22.00**

Dear Mr. Archut:

Tidewater Utilities, Inc. (Tidewater) is willing and able to serve public water to the following parcel, identified as Tax Map & Parcel 134-19.00-22.00 based on the terms and conditions of a water service agreement to be negotiated and agreed upon by Tidewater and the owner(s) of these parcels. This parcel is located outside of Tidewater's Certificate of Public Convenience and Necessity (CPCN) franchised area. Thus, in order to serve water to this parcel, TUI must apply for and receive a CPCN from the Public Service Commission. Once the CPCN is granted and a water service agreement is finalized, TUI is legally able to provide water service to this parcel.

Enclosed please find a sheet entitled "Petition for Inclusion in Tidewater Utilities, Inc. Water Service Territory". Please have the current owner(s) of parcels 134-19.00-22.00 sign the petition and return the original to Tidewater, Attn: Joe Cuccinello. The signed petition from the landowner is an important and necessary first step in the CPCN application submittal process.

Please feel free to contact me at 302-747-1308 if you should have any questions.

Sincerely,



Joseph C. Cuccinello  
CPCN Coordinator





STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

April 21, 2020

Mr. Jamie Whitehouse, Director  
Sussex County Planning & Zoning  
P.O. Box 417  
Georgetown, DE 19947

Dear Mr. Whitehouse:

This letter is to revise and replace my letter earlier today regarding the **Brenton Archut** rezoning application, which we received on March 23, 2020. While the letter referenced the correct parcel number, the information describing the location and acreage of the parcel incorrectly referred to another parcel. The letter is being revised to correctly describe the location and acreage of parcel 134-19.00-22.00. A copy of our previous letter is attached.

This revised application is for a 3.00-acre portion of a 25.63-acre parcel (Tax Parcel 134-19.00-22.00). The subject land is located on the northeast and southeast corners of the intersection of Bayard Road (Sussex Road 84) and Double Bridges Road (Sussex Road 363). The subject land is currently zoned AR-1 (Agricultural Residential), and the applicant is seeking to rezone the land to B-2 (Neighborhood Business) to develop a 7,500 square-foot office / retail complex.

Per the 2019 Delaware Vehicle Volume Summary, the annual average daily traffic volume along the segment of Bayard Road where the subject land is located, which is from Double Bridges Road (Sussex Road 363) to South Ocean View Limits, is 3,060 vehicles per day. As the subject land also has frontage along Double Bridges Road, the annual average daily traffic volume on that road segment, which is from Bayard Road to Camp Barnes Road (Sussex Road 364), is 3,645 vehicles per day.

Our volume-based criteria for requiring a traffic impact study (TIS), addressed in Section 2.2.2.1 of the Development Coordination Manual, are that a development generates more than 500 trips per day or 50 trips during a weekly peak hour. While it seems that the above criteria could be met, we presently cannot predict the site's trip generation with enough accuracy to make a TIS useful. Thus, we recommend that this rezoning application be considered without a TIS and that the need for a TIS be evaluated when a subdivision or land development plan is proposed.





Mr. Jamie Whitehouse  
Page 2 of 2  
April 21, 2020

If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.  
County Coordinator  
Development Coordination

TWB:cjm  
Enclosure

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues  
Brenton Archut, Applicant  
J. Marc Coté, Director, DelDOT Planning  
Gemez Norwood, South District Public Works Manager, Maintenance & Operations  
Susanne K. Laws, Sussex County Review Coordinator, Development Coordination  
Derek Sapp, Subdivision Manager, Development Coordination  
Kevin Hickman, Subdivision Manager, Development Coordination  
Brian Yates, Subdivision Manager, Development Coordination  
John Andrescavage, Subdivision Manager, Development Coordination  
James Argo, South District Project Reviewer, Maintenance & Operations  
Troy Brestel, Project Engineer, Development Coordination  
Claudy Joinville, Project Engineer, Development Coordination





# THE SUSSEX PLAN

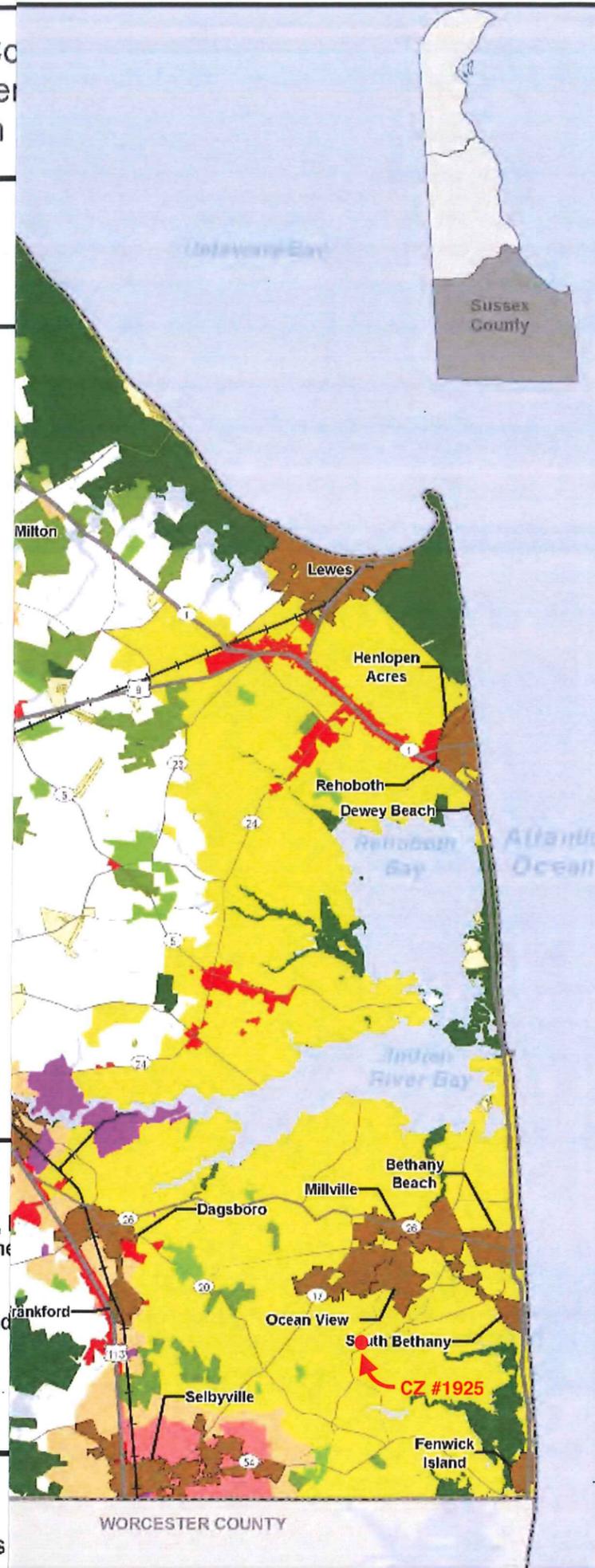
## 2045 Future Land Use Map

### Growth Areas

- Municipalities
- Town Center
- Developing Area
- Existing Development Area
- Coastal Area
- Commercial
- Industrial Area

### Rural Areas

- Low Density
- Protected Land
- Ag. Preservation District
- Ag. Preservation Easement

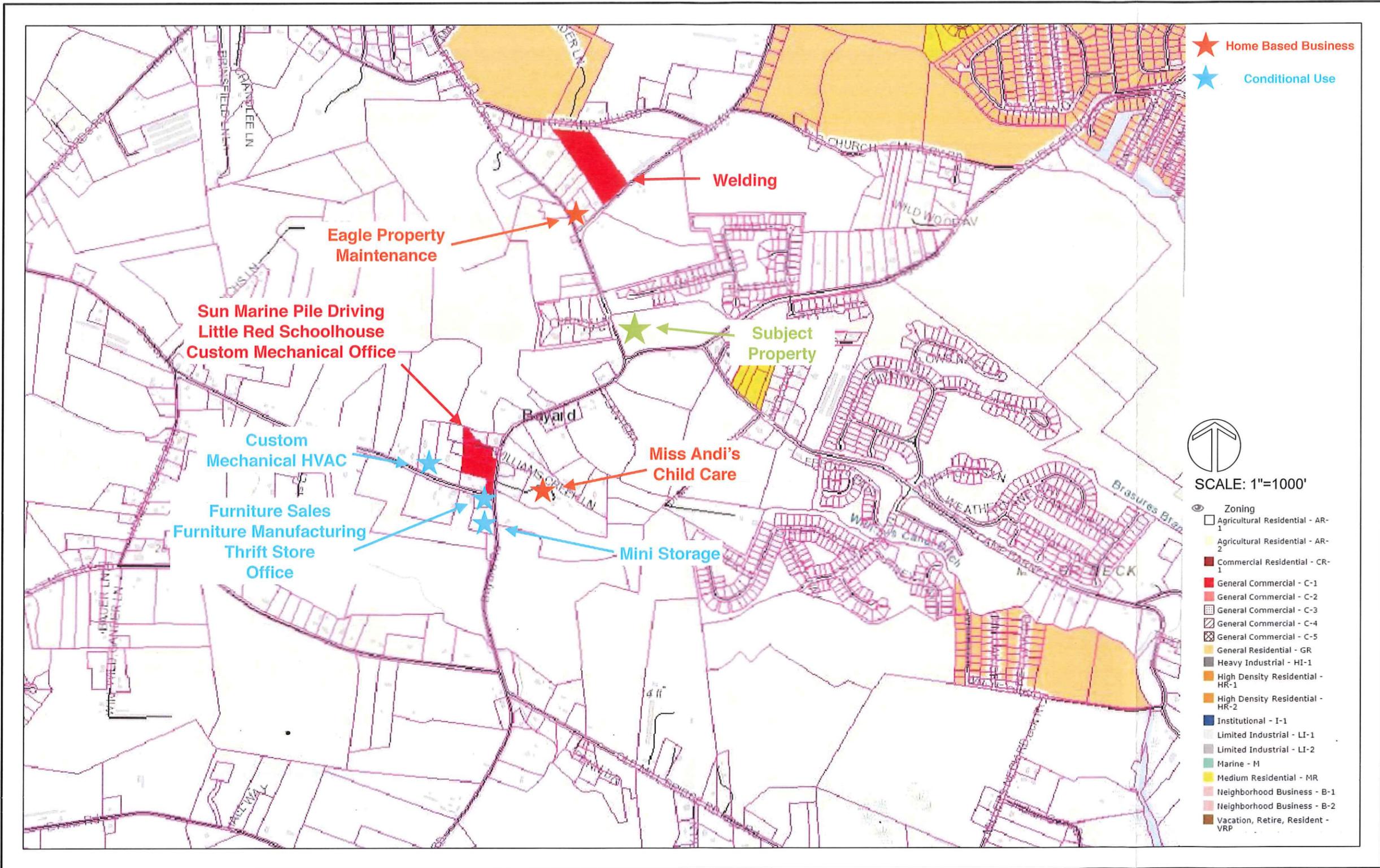


Sources: DE FirstMap, Sussex County Mapping Dept.  
Land Use Data from 2008, State Forest Data from 2013,  
Conservation Easements Data from 2016, Municipal Annexation  
Areas 2016

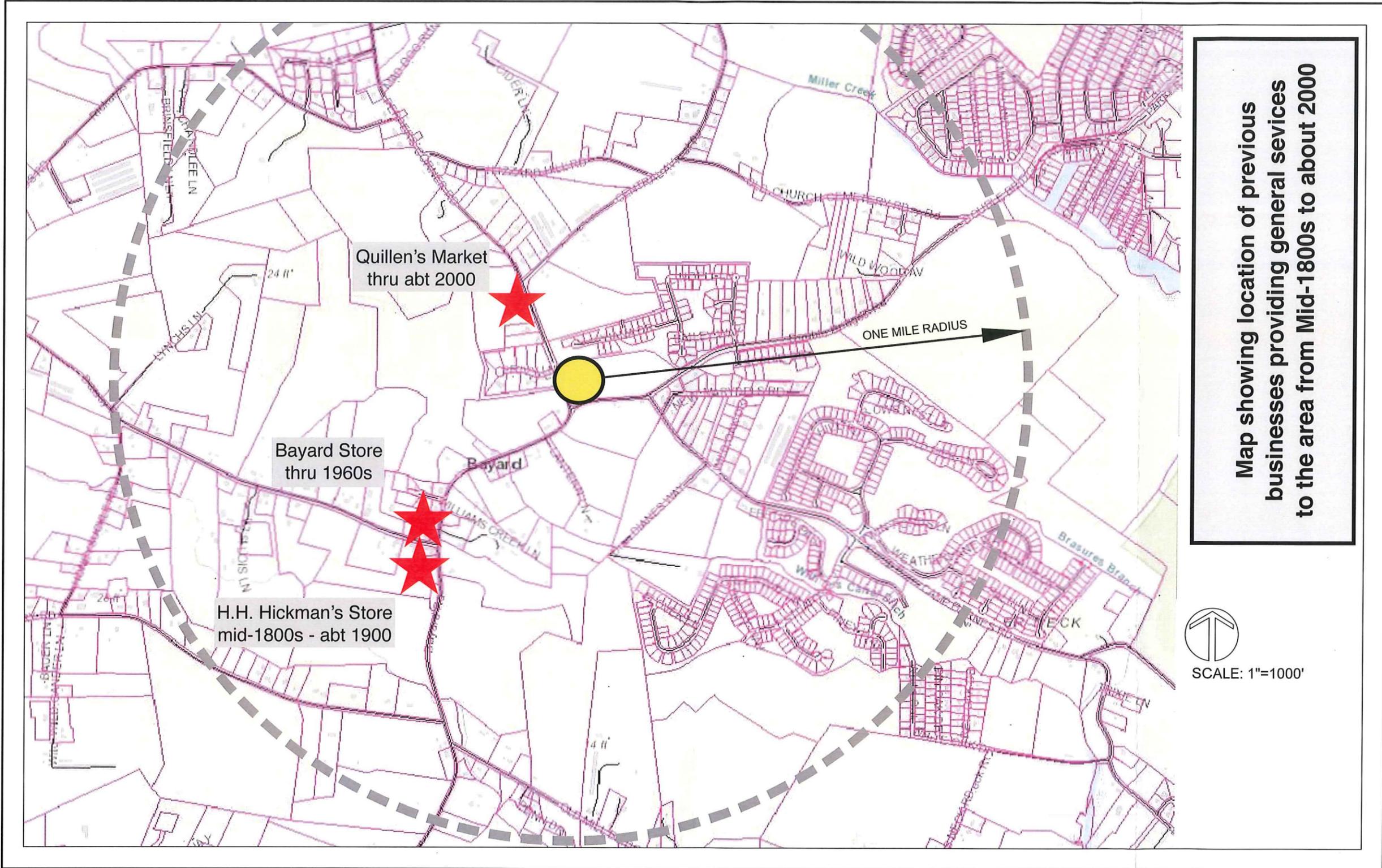
\*The official depiction of the protected lands can be found on  
the Protected Land Map (Figure 5.2-1)

5/16/2019 2:39:52 PM









**Map showing location of previous businesses providing general services to the area from Mid-1800s to about 2000**

SCALE: 1"=1000'



Examples of Light Commercial  
Service Centers



Williamsville Country Plaza Shopping Center



Derrickson Plaza Shopping Center



# The Trend in Our Area





JAMIE WHITEHOUSE, AICP, MRTPI  
DIRECTOR OF PLANNING & ZONING  
(302) 855-7878 T  
(302) 854-5079 F  
jamie.whitehouse@sussexcountyde.gov



# Sussex County

DELAWARE  
sussexcountyde.gov

## Memorandum

To: Sussex County Planning Commission Members  
From: Chase Phillips, Planner I  
CC: Vince Robertson, Assistant County Attorney and applicant  
Date: September 15, 2020  
RE: Staff Analysis for CZ 1925 Lemuel H. Hickman GST Exempt Trust fbo Brenton Archut

---

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CZ 1925 Lemuel H. Hickman GST Exempt Trust fbo Brenton Archut to be reviewed during the October 8, 2020 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Change of Zone for Tax Parcel 134-19.00-22.00 to allow for a change of zone from an Agricultural Residential (AR-1) Zoning District to a Business Community (B-2) District. The parcel is located on the northeast corner of Bayard Road (S.C.R. 84) and Double Bridges Road (S.C.R. 363). The parcel is divided by Double Bridges Road and is located at 35910 Double Bridges Road. The size of the property is approximately 25.63 acres +/-.

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the subject property has the land use designation of "Coastal Area." Each property to the north, south, east, and west also have the "Coastal Area" designation. The Coastal Area is designated to encourage growth and development provided that environmental concerns are addressed. The Coastal Area may include various types of housing, small-scale retail and office, light commercial, and institutional land uses. Sussex County's base density of two (2) units per acre is standard. Medium and higher densities (4-12 units per acre) may be appropriate in select locations.

The 2018 Sussex County Comprehensive Plan outlines Zoning Districts by their applicability to each Future Land Use category. Under Table 4.5-2 "Zoning Districts Applicable to Future Land Use Categories", the Community Business (B-2) Zoning District is listed as an applicable zoning district in the "Coastal Area."

Additionally, the subject property is currently within an Agricultural Residential (AR-1) Zoning District. Each parcel to the north, south, east, and west is also within the Agricultural Residential Zoning District.

Since 2011, there have been two Change of Zone applications within a one-mile radius of the subject property. Change of Zone No. 1841 was a previous Change of Zone application for the subject site (i.e. this same tax parcel). It was denied by the Sussex County Council on January 30, 2018. Change of Zone No. 1761, which proposed a change from a General Commercial (C-1)





District to an Agricultural Residential (AR-1) District, was approved by the Sussex County Council on November 18, 2014. It was adopted through Ordinance No. 2373.

Based on the analysis of the surrounding zoning and uses, a Change of Zone to a Community Business (B-2) Zoning District could be considered as being consistent with the land use, area zoning and surrounding uses.



## Change of Zone #1925 Summary

**Ownership:** Lemuel H. Hickman GST Exempt Trust f/b/o Brenton H. Archut. It is a third generation locally owned property.

**Property description and location:** 24.8 acres located at the intersection of Double Bridges Road (County Road 363) and Bayard Road (County Road 84), near Bayard, Delaware.

**Current Zoning:** Agricultural Residential (AR-1)

**Current Use:** Farmland with an existing single family dwelling

**Proposed Zoning Request:** Business Community District (B-2) for a portion of the parcel.

**Purpose of B-2 Zoning:** To provide primarily for office, retail shopping, and personal service uses, to be developed either as a unit or on an individual parcel, to serve the needs of a relatively small area, primarily nearby rural, low-density, or medium density residential neighborhoods.

**Amount of land to be rezoned:** 2.99 acres, or 12% of the parcel.

**Proposed Use:** Light retail and office to provide convenience goods and services to nearby residents and business opportunities for local business owners. Less than 7,500 square feet of rentable space is proposed.

**Land Use Plan designation:** Coastal Area, which is considered a "Growth Area" where where additional considerations should be taken into account.

**Comprehensive Plan criteria (Future Land Use):**

- Coastal Area section
  - states "Retail and office uses are appropriate."
  - states "careful mixtures of homes with light commercial office and institutional uses can be appropriate to provide for convenient services and to allow people to work close to home."
- Low Density Rural Areas section
  - encourages maintaining the rural landscape and sustaining reasonable development rights
  - emphasizes that retail and office uses in Low Density Areas should be providing convenience goods and services to nearby residents

**Sewer availability:** Per the Sussex County Engineering Department, it is in a sewer planning area and contiguous to an existing sanitary sewer district boundary.

**Water availability:** Tidewater Utilities has provided an Ability to Serve letter. Water lines are currently located along the property frontage.

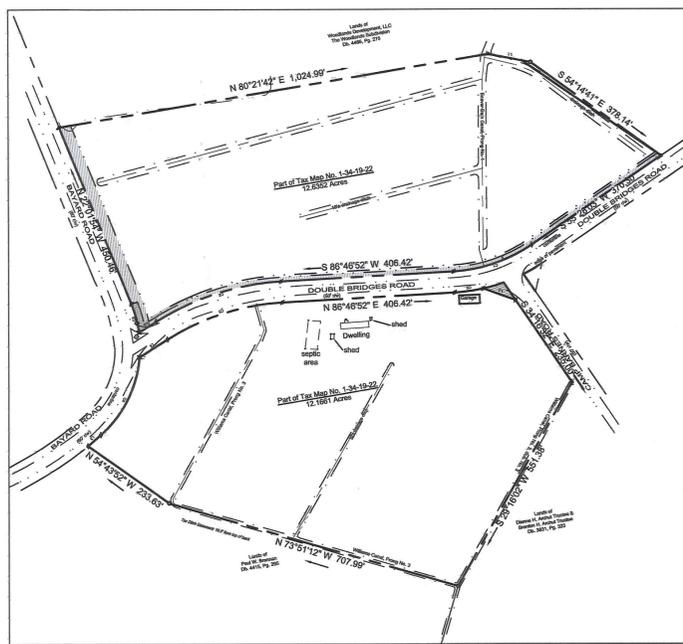
**Approved Development within a 1 mile radius:**

- Number of new and approved homes since 2008 - 1000+
- Number of potential homes in near future - 135

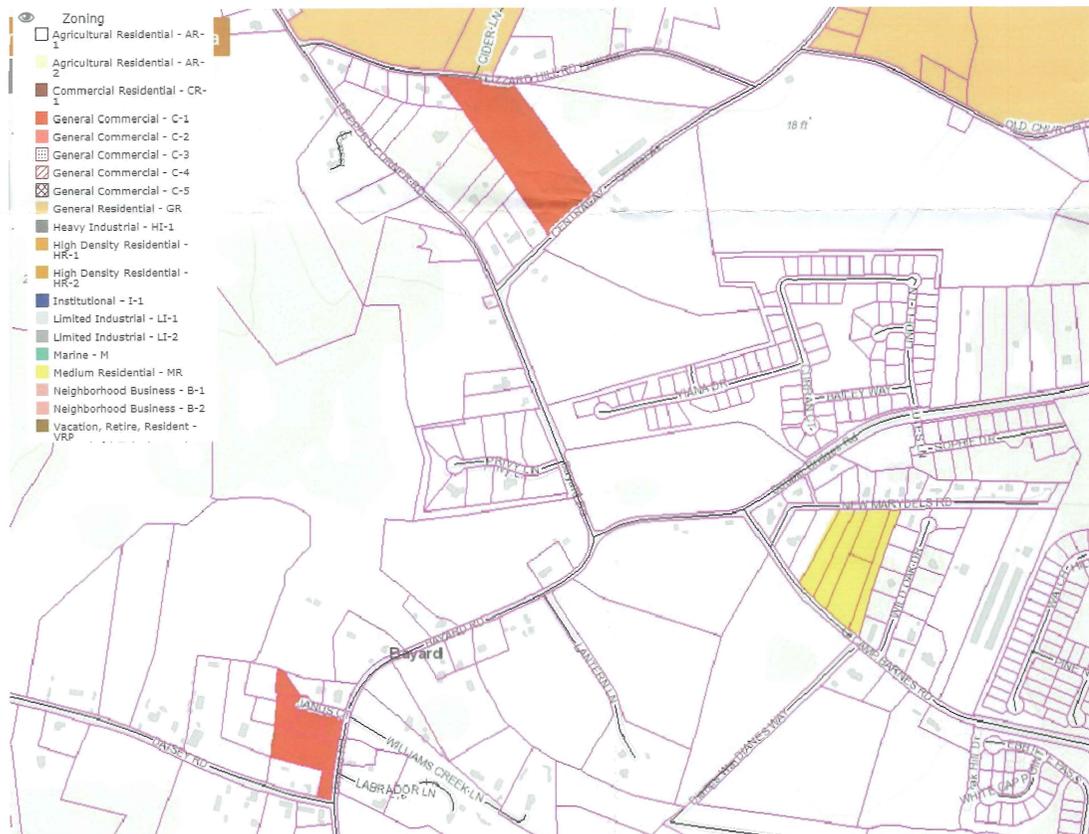




BAYARD, SUSSEX COUNTY DELAWARE  
VICINITY MAP  
NOT TO SCALE



EXISTING CONDITIONS  
SCALE: 1"=200'



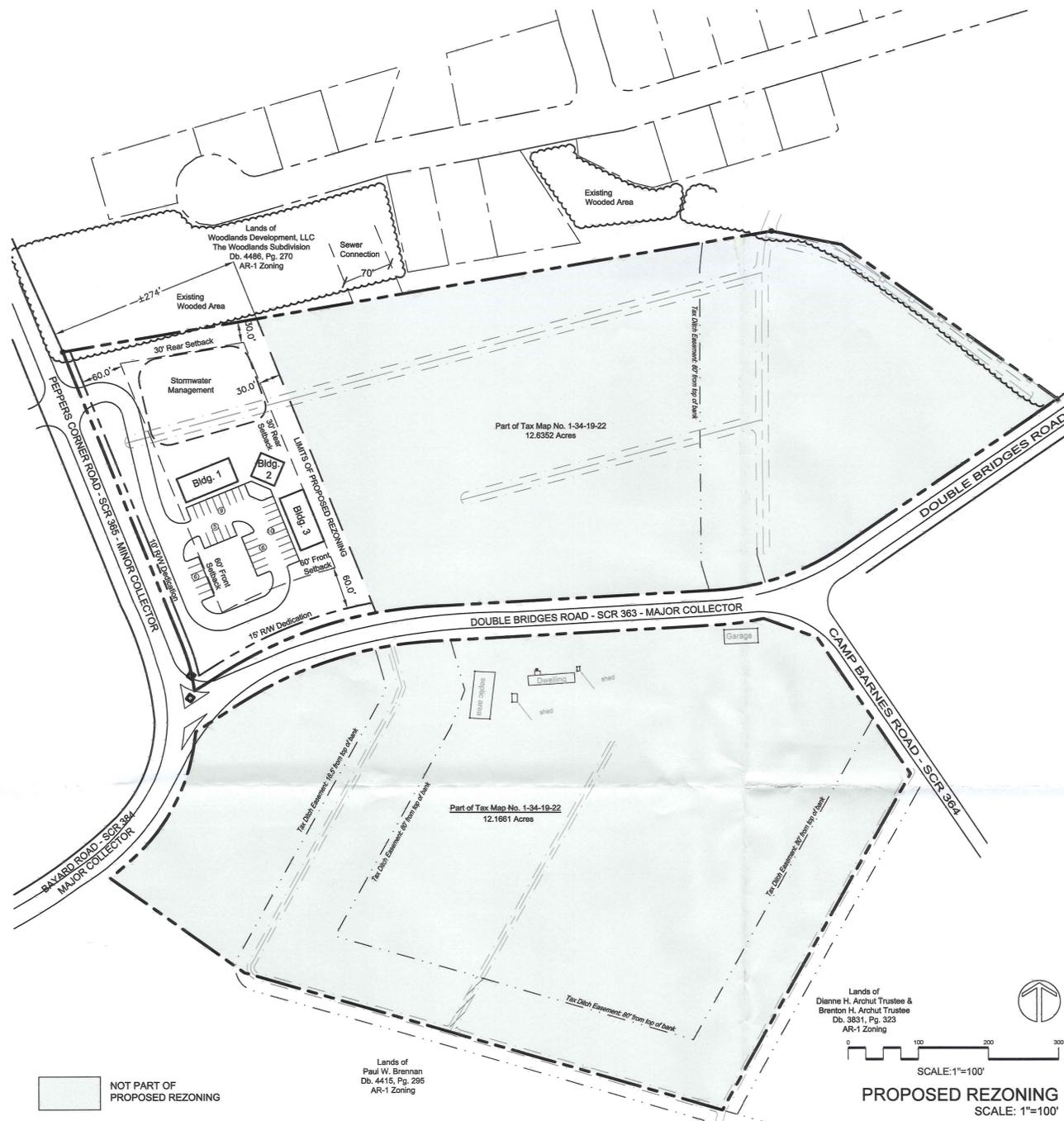
EXISTING ZONING

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	R=380.00	L=118.72	CH=104.31	BRG. = S 71°07'28" W	= 31°11'46"
C2	R=615.72	L=433.81	CH=310.42	BRG. = S 72°10'50" W	= 29°12'05"
C3	R=275.00	L=169.85	CH=89.84	BRG. = N 14°49'28" W	= 14°49'28"
C4	R=275.00	L=120.40	CH=65.31	BRG. = N 29°28'52" E	= 63°30'13"
C5	R=685.72	L=288.39	CH=285.22	BRG. = N 72°10'50" E	= 29°12'05"
C6	R=410.00	L=67.83	CH=67.56	BRG. = N 82°03'20" E	= 9°27'05"

LEGEND:

- POINT
- 3/4" PIPE (FD)
- ⊕ 5/8" REBAR (SET)
- ⊗ PK NAIL (SET)
- PROPERTY LINE
- RIGHT-OF-WAY DEDICATION
- LIMITS OF PROPOSED REZONING
- DRAINAGE DITCH
- EXISTING TREES

LINE	BEARING	DISTANCE
L1	S 78°58'36" E	101.83
L2	S 70°18'15" E	80.82
L3	N 48°32'02" E	39.82
L4	N 87°34'47" E	77.71
L5	S 07°34'47" W	47.62



NOT PART OF PROPOSED REZONING

PROPOSED REZONING  
SCALE: 1"=100'

I. SITE DATA:

- TAX PARCEL: 1-34-19-22  
OWNER/DEVELOPER: LEMUEL H. HICKMAN GST EXEMPT TRUST  
DIANNE H ARCHUT TRUSTEE  
36219 OLD CEMETERY ROAD  
FRANKFORD, DE 19945
- PRESENT ZONING: AR-1  
PRESENT LAND USE: AGRICULTURAL
- SITE AREA: ±24.80 AC.
- STATE STRATEGIES CLASSIFICATION: INVESTMENT LEVEL 3

NOTES:

- SITE IS IN FLOOD ZONE X AS SHOWN PER FEMA MAPS #10005C0495K & 10005C0513K DATED MARCH 16, 2015.
- SCR 363 AND SCR 384 CLASSIFIED AS MAJOR COLLECTORS (80' R/W REQUIRED), SCR 365 CLASSIFIED AS MINOR COLLECTOR (80' R/W REQUIRED) PER DELDOT FUNCTIONAL CLASSIFICATION INTERACTIVE MAP.
- BOUNDARY SURVEY AND EXISTING SITE CONDITIONS PROVIDED BY SIMPLER SURVEYING AND ASSOCIATE, INC. FROM SURVEY DATED 8/18/16, ENTITLED "LANDS OF DIANNE H ARCHUT TRUSTEE".

II. PROPOSED LAND PLAN DATA:

- PROPOSED REZONING AREA: 2.99 AC.  
PROPOSED ZONING: B-2  
PROPOSED LAND USE: ±7056 SqFt. RETAIL/ OFFICE
- PARKING: REQUIRED: 36 PARKING SPACES REQUIRED (7200 S.F. MAX. RETAIL/ OFFICE)  
1 LOADING SPACE  
PROPOSED: 36 PARKING SPACES INCLUDING 3 HC SPACES  
1 LOADING SPACE
- INFRASTRUCTURE:  
SEWER: SUSSEX COUNTY SEWER  
WATER: TIDEWATER UTILITIES
- SETBACKS & BULK AREA CRITERIA:  
FRONT: 60'  
SIDE: 5'  
REAR: 30"  
MAX. BLDG. HEIGHT: 42'  
\* DUE TO NUMBERED ROAD

Wetlands Certification:  
I, Edward M. Launay, PWS, STATE THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED UPON THIS PLAN IN THE AREA OF PROPOSED REZONING, HAVE BEEN DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLAND MANUAL, ATLANTIC GULF COAST REGIONAL SUPPLEMENT, REGULATIONS AND SUPPLEMENTAL GUIDANCE (33 CFR 328.3(a)(6)), WATERS OF THE U.S. DEFINITION/CECW-OR, 10-7-1991. QUESTIONS AND ANSWERS ON THE 1987 COE MANUAL/CECW-OR 9-26-1990, RGL 90-71/CECW-OR, 3-5-1992, CLARIFICATION AND INTERPRETATION OF THE 1987 MANUAL. THIS DELINEATION HAS NOT BEEN CONDUCTED FOR THE USDA PROGRAM OR AGRICULTURAL PURPOSES. NO STATE REGULATED WETLANDS HAVE BEEN IDENTIFIED IN ACCORDANCE WITH THE DNRREC TIDAL WETLANDS MAPS.

EDWARD M. LAUNAY  
PROFESSIONAL WETLAND SCIENTIST No. 875  
SOCIETY OF WETLAND SCIENTISTS  
CORPS OF ENGINEERS, CERTIFIED WETLAND  
DELINEATOR WDCP93MD05100368

OWNER CERTIFICATION:  
I, AS OWNER OF THE PROPERTY SHOWN, HEREBY CERTIFY THAT I AM IN AGREEMENT WITH THE IMPROVEMENTS AS DEPICTED ON THIS PLAN.  
DIANNE H. ARCHUT  
DATE

LANDSCAPE ARCHITECT'S STATEMENT:  
I certify that the proposed site plan was compiled under my supervision.  
THOMAS J. FORD  
LANDSCAPE ARCHITECT  
DATE: 7-08-20

REVISIONS

NO.	DATE	DESCRIPTION

**LAND DESIGN**  
Surveying / Landscape Architecture  
53 Atlantic Ave.  
Oak Square, Suite #3  
30253 York Rd.  
30253 York Rd.  
30253 York Rd.  
lanz@landdesigninc.com

REZONING PLAN  
**ARCHUT PROPERTY**  
DOUBLE BRIDGES RD. AT BAYARD RD.  
BALTIMORE HUNDRED SUSSEX COUNTY DELAWARE

SITE PLAN: TJF	DATE
DRAWING: RWB	7/6/20
REVIEW: SLF	
SHEET	
1	
OF 1 SHEETS	

REZONING PLAN

2020  
SUSSEX COUNTY/DELAWARE DEPARTMENT OF TRANSPORTATION  
MEMORANDUM OF UNDERSTANDING  
FOR LAND DEVELOPMENT COORDINATION

WHEREAS, Title 9, Section 6962 of the *Delaware Code* “Highway Capacity” obligates Sussex County to “establish an agreement with the Department of Transportation to provide a procedure for analysis by the Department of Transportation (“DelDOT”) of the effects on traffic of each rezoning application; and

WHEREAS, This Memorandum of Understanding is intended to comply with the foregoing requirements of Title 9, Section 6962 of the Delaware Code; and

WHEREAS, Land development has the potential to impact adjacent highways and Sussex County and DelDOT recognize that an analysis of the effects upon traffic is important in all types of land use decisions (Residential Planned Communities, Major Subdivisions, Conditional Uses) and not just rezoning applications; and

WHEREAS, The 2018 Sussex County Comprehensive Plan promotes greater coordination between DelDOT and Sussex County in land use decisions; and

WHEREAS, Sussex County is solely responsible for land use decisions in Sussex County; and

WHEREAS, DelDOT is responsible for the operation, maintenance, and construction of State-maintained roads as well as the regulation of all entrance and roadway improvements required as part of new development; and

WHEREAS, it is the desire of Sussex County and DelDOT to coordinate land development with transportation needs.

NOW, THEREFORE,

BE IT RESOLVED that Sussex County Council and DelDOT hereby adopt the following Memorandum of Understanding:

**DEFINITIONS**

COMMITTED OFF-SITE IMPROVEMENTS – Road improvements for the benefit of safety and/or capacity that are generally beyond the limits of the site entrance and frontage that are required to be built by an approved land development project. Such improvements do not include auxiliary lanes that serve the site entrance, but may include roadway widening along the frontage of the site.

AREA WIDE STUDY FEE (AWSF)– DeIDOT regulations define an Area Wide Study Fee that, under certain conditions, DeIDOT may accept when it would otherwise require a TIS. The fees accepted are used by DeIDOT to subsidize the preparation of studies of larger areas than a TIS would normally address; they are not used to build improvements. Payment of the fee does not relieve a developer of responsibility to build or contribute toward transportation improvements.

LEVEL OF SERVICE (LOS) - A quantitative stratification of a performance measure or measures representing how well a transportation facility or service operates from a traveler’s perspective. For each type of facility or service there are six levels of service, ranging from A to F, with A representing the best operating condition and F the worst operating conditions. Except as may be specified by DeIDOT, LOS shall be determined in accordance with the current edition of the Highway Capacity Manual, a publication of the Transportation Research Board.

PRELIMINARY TRAFFIC ANALYSIS – A request made by Sussex County Planning and Zoning Department for an evaluation by DeIDOT, in terms of the proposed trip generation, to determine the Traffic Impact with regard to a proposed land use approval.

#### TRAFFIC IMPACTS:

DIMINUTIVE - The proposed land use is expected to increase the trip generation of the subject land by fewer than 50 vehicle trips per day.

NEGLIGIBLE - The proposed land use is expected to increase the trip generation of the subject land by fewer than 50 vehicle trips in any hour and fewer than 500 vehicle trips per day.

MINOR - The proposed land use is expected to increase the trip generation of the subject land by at least 50 vehicle trips in any hour but fewer than 200 vehicle trips in any hour or at least 500 vehicle trips per day, but fewer than 2,000 vehicle trips per day.

MAJOR - The proposed land use is expected to increase the trip generation of the subject land by more than 200 vehicle trips in any hour or more than 2,000 vehicle trips per day.

TRAFFIC IMPACT STUDY (TIS) – A study conducted during the development approval process, in accordance with applicable DeIDOT regulations, to determine the impacts that traffic generated by the proposed development will have on the surrounding street network and the improvements needed to the transportation system in order to mitigate those impacts.

TRAFFIC OPERATIONAL ANALYSIS (TOA) – An evaluation, or series of evaluations, conducted during the review of subdivision, land development and entrance plans, in accordance with applicable DeIDOT regulations, primarily intended to determine site entrance location and movements to be allowed at the site entrance. These evaluations may include; Queuing Analysis, Highway Capacity Manual Analysis, and Crash Analysis.

## **LAND USE COORDINATION**

1. Sussex County will make the final decisions on all matters of land use.
2. Preliminary Traffic Analysis:
  - a. The Sussex County Planning and Zoning Department will request a Preliminary Traffic Analysis from DelDOT for each land use application to determine if the resulting traffic impact will be diminutive, negligible, minor, or major. This shall not be required where the County Planning and Zoning staff, in concurrence with DelDOT staff, finds that the proposed change in land use will have a diminutive impact upon the road system.
  - b. DelDOT shall provide a Preliminary Traffic Analysis within twenty (20) working days after receiving the Analysis request. If more time is needed, a written request explaining the reason for the additional time will be required.
  - c. Unless waived as set forth in Paragraph 2.a. above, Sussex County will not consider an application until DelDOT supplies Sussex County with the above information.
3. Diminutive Impact:
  - a. When it is determined that the impact would be diminutive, no further traffic analysis will be necessary.
4. Negligible Impact:
  - a. When DelDOT determines the traffic impact to be negligible it will provide projected traffic volumes in support and no further traffic analysis will be necessary.
  - b. DelDOT may still identify the need for a TOA in a subsequent plan review process.
5. Minor Impact:
  - a. When DelDOT determines the traffic impact to be minor, the Preliminary Traffic Analysis shall include the feasibility of providing safe access and the condition, pavement, and the geometry of the nearby roadways and intersections relative to the traffic the subject property could generate. Where any of these are deemed potentially inadequate, DelDOT shall comment to this effect, and identify roadway improvements that shall be required by the Developer.
  - b. When DelDOT determines that the traffic impact will be minor, the developer will be required to pay an Area Wide Study Fee (AWSF). An AWSF letter will be generated to document the developer's obligations to construct identified roadway improvements or fund road improvements as required by DelDOT.

- Alternative to an Area Wide Study Fee, the developer may elect to conduct an in-depth Traffic Impact Study (TIS) (at the developer's expense) to DelDOT standards.
  - Payment of the fee does not exempt the developer from the responsibility to make off-site improvements or from preparing a Traffic Operational Analysis (TOA) if DelDOT identifies a need for a TOA in the plan review process.
- c. DelDOT may require a TIS if necessary, given the particular circumstances of a land use application.

6. Major Impact:

- a. When DelDOT determines that the traffic impact will be major, the developer will be required to conduct an in-depth Traffic Impact Study (TIS) (at the developer's expense) to DelDOT standards. In addition, Sussex County, at its own initiative, may require a developer to conduct a TIS.
- b. Additionally, DelDOT may ask for a Traffic Operational Analysis (TOA) to supplement an existing TIS.
- c. As an alternative to the TIS or TOA process set forth above, when DelDOT has determined that the area in question has already been the subject of sufficient study, a new TIS or TOA may not be required. Instead, DelDOT may require an AWSF to be paid by the developer to DelDOT to recoup all or a portion of the cost of the prior studies relied upon by DelDOT in lieu of a new TIS or TOA. The AWSF is unrelated to the developer's subsequent obligations to construct or fund road improvements as required by DelDOT and the AWSF is not a waiver of those requirements. A TISRL or AWSF letter will be generated to document the developer's obligations.

7. Elements of the Traffic Impact Study:

- a. The TIS will consider the effects of active or proposed transportation improvements in the adopted Six (6) Year Capital Transportation Program, Current Transportation Plans, and Committed Off-Site Improvements, committed developments approved by Sussex County and the current Sussex County Comprehensive Plan and establish staging for development as needed.
- b. DelDOT will provide a technical evaluation of the TIS in the form of written comments in a Traffic Impact Study Review Letter (TISRL).

8. Level of Service Standards:

- a. Sussex County and DelDOT shall endeavor, where possible, to maintain a Level of Service of D on roads and intersections affected by a land use application. However, Sussex County and DelDOT recognize that:
  - Level of Service of D is not always attainable;
  - That this threshold may create an undue burden on a property owner looking to develop a property given the prior development that has occurred in an area contributing to the existing Level of Service;
  - Other relevant factors (such as the size of the property, type or importance of the development) may mitigate against maintaining a Level of Service D.
- b. If the existing Level of Service is below D prior to the impact of the proposed land use, in no event shall the existing Level of Service be degraded. .
- c. When DelDOT determines that the traffic impact of the proposed land use causes the threshold level of service to be exceeded, the County will not approve the land use application unless:
  - The developer takes appropriate measures to maintain operations at the threshold level of service; or,
  - Sussex County finds that there are sufficient reasons why the threshold level of service should not be maintained. Sussex County, in this case, shall set forth in writing their reasons for approving the land use application.

9. Coordination:

- a. The Sussex County Planning and Zoning Department is responsible for coordinating all required information with Sussex County Council and the Planning and Zoning Commission.
- b. No public hearing on the land use application shall occur until one of the following conditions are met:
  - It is determined that the application will have a diminutive impact as described above; or,  
It is determined that the application will have a negligible impact as described above; or,
  - Sussex County receives the AWSF Letter from DelDOT; or,
  - Sussex County receives the TISRL from DelDOT.

- c. If, in DelDOT's opinion, there are appropriate conditions of approval that should be imposed upon a land use decision, DelDOT shall offer those conditions as part of its TISRL, AWSF Letter or as part of its Technical Advisory Committee review for consideration by Sussex County. Any such proposed conditions shall be clearly summarized by DelDOT prior to the Preliminary Site Plan hearing. Sussex County shall consider the proposed conditions but shall not be obligated to include them as part of any approval.
- d. Phasing of land development with highway capacity and safety improvements to restore and maintain a level of service "D" may be recommended by DelDOT. Such phasing may refer to sections or areas of the development or to a specific number of building permits. To accomplish this, DelDOT should clearly and concisely state what phasing is appropriate for the proposed land use application so that Sussex County may impose all or part of those recommendations into its various approvals as appropriate. DelDOT's recommended phasing of the project may include (but is not limited to) consideration of the following:
- A delay of all or part of the development until specific roadway improvements are made by DelDOT or others;
  - Whether the required roadway improvements are being funded, designed and/or constructed at the developer's own expense;
  - Whether the developer is participating in, and/or funding, transit or traffic mitigation strategies.

The phasing requirements shall be included as part of the Final Site Plan. Phasing tied to other types of site plan approval is addressed in a following Section of this MOU regarding Site Plan Coordination.

- e. When Sussex County believes that expert testimony regarding transportation issues is required to make a land use decision (such as a rezoning, major subdivision, conditional use or Residential Planned Community), DelDOT will provide a suitable representative to attend meetings of the Planning and Zoning Commission and/or County Council. The representative should be someone with specific technical knowledge of the project in particular and ongoing projects in the area of Sussex County where the project is to occur.

- f. In addition to the project-specific information referenced in the preceding paragraph, DelDOT shall provide regular updates to Sussex County about the status of ongoing and future roadway and transportation projects in the County, so that County Council and the Planning & Zoning Commission have an up-to-date understanding of their status. This shall include both developer-funded and DelDOT-initiated and -funded projects. During these updates, Sussex County will also have an opportunity to discuss other transportation improvements that may be needed in the future.
- g. Whenever possible during the implementation of the foregoing items, Sussex County and DelDOT should encourage master planning for large scale developments on large parcels or groups of parcels in the Town Center, Coastal Area, Developing Area and commercial areas as set forth in the Comprehensive Land Use Plan to provide greater flexibility in design and/or the installation of additional roadways and interconnectivity.
- h. Sussex County shall be invited to participate in the scoping meetings and the conversations leading to the issuance of the TISRL, the AWSF Letter or TOA as to roadway improvements associated with a project. Sussex County may provide input into those negotiations, but DelDOT shall be entitled to make the final determination as to all required roadway improvements and negotiated agreements with a developer. Any agreement reached between a developer and DelDOT as to roadway improvements, phasing of a development and funding of roadway improvements shall be timely forwarded to Sussex County for its records with regard to the development. Any subsequent changes or amendments to a DelDOT and developer agreement shall likewise be timely forwarded to Sussex County. Provided, however, that DelDOT acknowledges that if a specific requirement (such as phasing) is incorporated into a land use decision (such as a major subdivision, conditional use or Residential Planned Community), this may not be enforceable by Sussex County without an amendment to the subdivision approval or the ordinance that approved a Residential Planned Community, Conditional Use or certain other rezonings where conditions can be imposed.

## **REZONINGS (WITHOUT SITE PLANS OR CONDITIONS OF APPROVAL)**

1. Sussex County and DeIDOT acknowledge that on a rezoning to a new zoning district where a specific site plan is not under consideration, and where the County cannot impose conditions as part of the rezoning approval, a TIS may not be possible (with the exception of rezoning's to Residential Planned Communities and C-4, where specific site plans are considered and conditions can be imposed). This is because the various zoning districts have several permitted uses that are allowed once a rezoning occurs; as a result DeIDOT cannot determine, at the time of rezoning, what the actual use will be nor what the traffic and possible roadway improvements will be as a result of it. This requires greater coordination on the part of both Sussex County and DeIDOT.
2. Whenever possible, DeIDOT shall endeavor to provide as much information as possible about the general impacts of the rezoning upon area traffic and roadways as required in the preceding section prior to the public hearing before Sussex County Council and the Planning & Zoning Commission. This shall include, but is not limited to, recent studies performed on roadways in the immediate area, including any TIS's that may exist; information about the existing LOS in the immediate area based on prior studies; planned roadway improvements in the immediate area; the impacts and required improvements of approved, but not yet completed developments in the immediate area; and any other relevant information in DeIDOT's possession that can assist Sussex County in making a rezoning decision.
3. Whenever DeIDOT is approached by a developer with a specific project in mind, DeIDOT and that developer may enter into an agreement to obtain a TIS for the project as part of the rezoning process so that the information required as part of the TIS may be included in the record of the public hearings of the rezoning application. Because other possible uses of the property may be permitted under the proposed new zoning, Sussex County is not bound by this information in making its decision on the rezoning. However, if the use that the TIS is based upon changes after the rezoning occurs, another TIS may be required and if so, Sussex County shall not approve any Preliminary or Final Site Plan for the property until the new TIS is completed with all necessary traffic and roadway improvements determined by DeIDOT. Alternatively, if no TIS is performed on a specific project, DeIDOT or Sussex County shall have the ability to request a TIS based upon the most impactful permitted use available under the new zoning classification that is sought.

## **SITE PLAN COORDINATION**

1. Sections 115-220C and 221C of the Sussex County Zoning Code allow Sussex County to approve certain site plans “subject to conditions”. In any site plan reviewed pursuant to Section 115-220 of the Sussex Zoning Code, Sussex County, with the assistance of DeIDOT, may impose conditions regarding phasing and the timing of building permits in conjunction with completion of necessary roadway improvements.
2. In all site plan reviews, DeIDOT will review the site plans in accordance with its rules and regulations for access and roadway improvements. Sussex County will withhold any site plan approval until DeIDOT has provided a Letter of No Contention (LONC) or a Letter of No Objection to Recordation (LONOR). Provided, however, that this requirement may be waived by Sussex County for minor amendments to existing site plans that changes the trip generation by less than 50 trips per day.
3. Sussex County shall withhold the issuance of any building permit until DeIDOT has issued the entrance permit associated with the project.
4. Unless bonded in accordance with DeIDOT’s requirements, DeIDOT will withhold an entrance permit until the developer has agreed to construct the access point(s) to Department standards and to provide off-site improvements as may be required to maintain acceptable traffic operation on roadways.
5. Sussex County will withhold issuance of the Certificate of Compliance until DeIDOT has received appropriate bonding or accepted the entrance construction as substantially completed.
6. The coordination described in this section shall take into consideration any phasing of the land use project.

**TRANSPORTATION IMPROVEMENT DISTRICTS**

1. In the event that a land use application falls within an approved Transportation Improvement District (“TID”), the requirements of the TID, as set forth in the TID Agreement, shall supersede the requirements set forth in this MOU.

IT IS FURTHER RESOLVED that the Secretary of the Delaware Department of Transportation and The County Administrator will affirm this agreement by affixing their signature to the Resolution.

Adopted by the County Council of Sussex County on September 22, 2020.

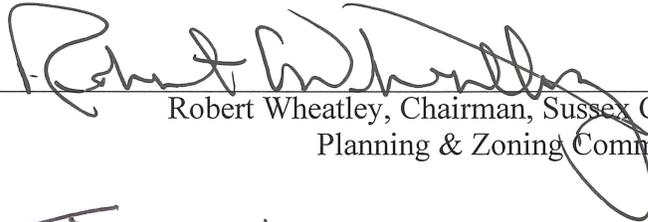
  
\_\_\_\_\_  
President of the County Council of Sussex County

The following signatures concurring herein:

**For Sussex County:**



\_\_\_\_\_  
Todd F. Lawson, Sussex County Administrator



\_\_\_\_\_  
Robert Wheatley, Chairman, Sussex County  
Planning & Zoning Commission



\_\_\_\_\_  
Jamie Whitehouse, Director of Planning & Zoning

**For the Department of  
Transportation:**



\_\_\_\_\_  
Jennifer Cohan, Secretary