

BOARD OF ADJUSTMENT

JOHN WILLIAMSON, CHAIRMAN
KEVIN E. CARSON
JEFF CHORMAN
JOHN T. HASTINGS
JORDAN WARFEL



Sussex County

DELAWARE
sussexcountyde.gov

(302) 855-7878 T

AGENDA

October 18, 2021

6:00 P.M.

PLEASE REVIEW MEETING INSTRUCTIONS AT THE BOTTOM OF THE AGENDA**

Call to Order

Pledge of Allegiance

Approval of Agenda

Approval of Minutes for August 2, 2021

Approval of Finding of Facts for August 2, 2021

Approval of Minutes for August 16, 2021

Approval of Finding of Facts for August 16, 2021

Old Business

Case No. 12599 – Matthew & Jacquelyn Rhinehart seek variances from the front yard, corner front yard, side yard, and rear yard setback requirements for proposed and existing structures (Sections 115-82, 115-182, 115-183 and 115-185 of the Sussex County Zoning Code). The property is located on the northeast side of Hebron Road at the intersection of Hebron Road and Harmon Street. 911 Address: 19875 Hebron Road, Rehoboth Beach. Zoning District: C-1. Tax Parcel: 334-13.19-77.00

Public Hearings

Case No. 12613 – Lowell F. Scott, Jr. seeks a variance from the side yard setback requirement for an existing structure (Sections 115-34, 115-183 and 115-185 of the Sussex County Zoning Code). The property is located on the east side of Josephine Street within the Silver Lake Manor Subdivision. 911 Address: 38398 Josephine Street, Rehoboth Beach. Zoning District: MR. Tax Parcel: 334-20.09-137.00



Case No. 12614 – Robert Brant seeks variances from the front yard setback requirements for proposed and existing structures (Sections 115-25, 115-182, and 115-185 of the Sussex County Zoning Code). The property is located on the west side of Kent Road within the Indian River Acres Subdivision. 911 Address: 30187 Kent Road, Dagsboro. Zoning District: AR-1. Tax Parcel: 134-7.00-21.00

Case No. 12615 – Michelle & William Flowers seek a variance from the rear yard setback requirement for a proposed structure (Sections 115-25 and 115-183 of the Sussex County Zoning Code). The property is located on the northeast side of Mulberry Knoll Road at the intersection of Mulberry Knoll Road and East Sands Street. 911 Address: 20667 Mulberry Knoll Road, Lewes. Zoning District: AR-1. Tax Parcel: 334-18.00-56.00

Case No. 12616 – Victor N. & Peggy Morgan seek a variance from the side yard setback requirement for a proposed structure (Sections 115-34 and 115-183 of the Sussex County Zoning Code). The property is located at the intersection of Sand Dollar Lane and Salty Way Drive within the Keenwick West Subdivision. 911 Address: N/A. Zoning District: MR. Tax Parcel: 533-12.19-14.00

Case No. 12617 – James C. Van Wagoner seeks a variance from the side yard setback requirement for a proposed structure (Sections 115-34, 115-183, and 115-185 of the Sussex County Zoning Code). The property is located on the east side of Salty Way East within the Keenwick West Subdivision. 911 Address: 37792 Salty Way East, Selbyville. Zoning District: MR. Tax Parcel: 533-19.07-41.00

Case No. 12618 – John Dewey seeks variances from the side yard setback and rear yard setback requirements for a proposed swimming pool and pool equipment (Sections 115-34, 115-181, 115-183, and 115-185 of the Sussex County Zoning Code). The property is located on the north side of Salisbury Street at the intersection of Salisbury Street and Dodd Avenue within the Seabreeze Subdivision. 911 Address: 301 Salisbury Street, Rehoboth Beach. Zoning District: MR. Tax Parcel: 334-20.13-168.00

Additional Business



-MEETING DETAILS-

In accordance with 29 Del. C. §10004(e)(2), this Agenda was posted on October 7, 2021 at 7:30 p.m. and at least seven (7) days in advance of the meeting.

The Agenda was prepared by the Director of Planning and Zoning and is subject to change to include the additional or deletion of items, including Executive Sessions, which arise at the time of the meeting.

Agenda items may be considered out of sequence.

The meeting will be streamed live at <https://sussexcountyde.gov/council-chamber-broadcast>

The County is required to provide a dial-in number for the public to comment during the appropriate time of the meeting. **Note, the on-line stream experiences a 30-second delay.** Any person who dials in should listen to the teleconference audio to avoid the on-line stream delay.

To join the meeting via telephone, please dial:

Conference Number: 1 302 394 5036
Conference Code: 570176

Members of the public joining the meeting on the telephone will be provided an opportunity to make comments for those items under public hearings on this agenda.

The Board of Adjustment meeting materials, including the “packet” are electronically accessible on the County’s website at: <https://sussexcountyde.gov/agendas-minutes/board-of-adjustment>

If any member of the public would like to submit comments electronically, these may be sent to pandz@sussexcountyde.gov. All comments are encouraged to be submitted by 4:30 P.M. on Thursday, October 14, 2021

#####



**Board of Adjustment Application
Sussex County, Delaware**

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Case # 12599
Hearing Date 8/16
202109926

Type of Application: (please check all applicable)

Variance
Special Use Exception
Administrative Variance
Appeal

Existing Condition
Proposed
Code Reference (office use only)
115-82 115-183
115-185

Site Address of Variance/Special Use Exception:

19875 Hebron Road, Rehoboth Beach, DE 19971

Variance/Special Use Exception/Appeal Requested:

We are requesting a variance to construct a second floor within the footprint of an existing residence that is entirely outside of the existing front and side setbacks.

We are also requesting a variance to construct a shower enclosure at the side of the property on top of the existing deck which is already encroaching the setbacks. The width of the shower enclosure will not exceed the width of existing deck.

Tax Map #: 334-13.19-77.00

Property Zoning: C-1

Applicant Information

Applicant Name: Moonlight Architecture, Inc.

Applicant Address: 29003 Lewes Georgetown Hwy

City Lewes State DE Zip: 19958

Applicant Phone #: (302) 645-9361 Applicant e-mail: Alex@moonlightarch.com

Owner Information

Owner Name: Matthew and Jacquelyn Rhinehart

Owner Address: 20 Oakmont Circle

City New Freedom State PA Zip: 17349 Purchase Date: _____

Owner Phone #: (717) 858-3316 Owner e-mail: Mprhinehart@gmail.com

Agent/Attorney Information

Agent/Attorney Name: _____

Agent/Attorney Address: _____

City _____ State _____ Zip: _____

Agent/Attorney Phone #: _____ Agent/Attorney e-mail: _____

Signature of Owner/Agent/Attorney

A Hallam

Date: 6/30/20



Criteria for a Variance: (Please provide a written statement regarding each criteria).

*You shall demonstrate to the Board of Adjustment that the property meets **all** of the following criteria for a Variance to be granted.*

In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.

1. Uniqueness of property:

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

The property was developed number of years ago prior to current zoning regulations and as a result in the current setbacks regulations, the house now sits entirely over the setbacks. And to complicate the issue, the house resides on a corner lot.

2. Cannot otherwise be developed:

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

For the reasons mentioned above no further work can be performed to the house since the entire house lays over the setbacks.

3. Not created by the applicant:

That such exceptional practical difficulty has not been created by the appellant.

The Owner purchased this house with the existing conditions already in place. And the changes in setback were based on the County changing the regulations.

4. Will not alter the essential character of the neighborhood:

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

Most of the surrounding structures are residential and the proposed addition and renovation to the house will conform and stay in character with the existing neighborhood. The proposed addition will remain within the existing footprint to the current house.

5. Minimum variance:

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

We are requesting a variance to construct a second floor over the existing footprint and we are requesting a variance to construct this second story entirely outside of the existing front and side setbacks but not outside of the existing footprint.

We are also requesting a variance to construct a shower enclosure at the side of the property on top of the existing deck which is already encroaching the setbacks.



Moonlight
Architecture, Inc.
Architecture • Interior Design
Site Planning

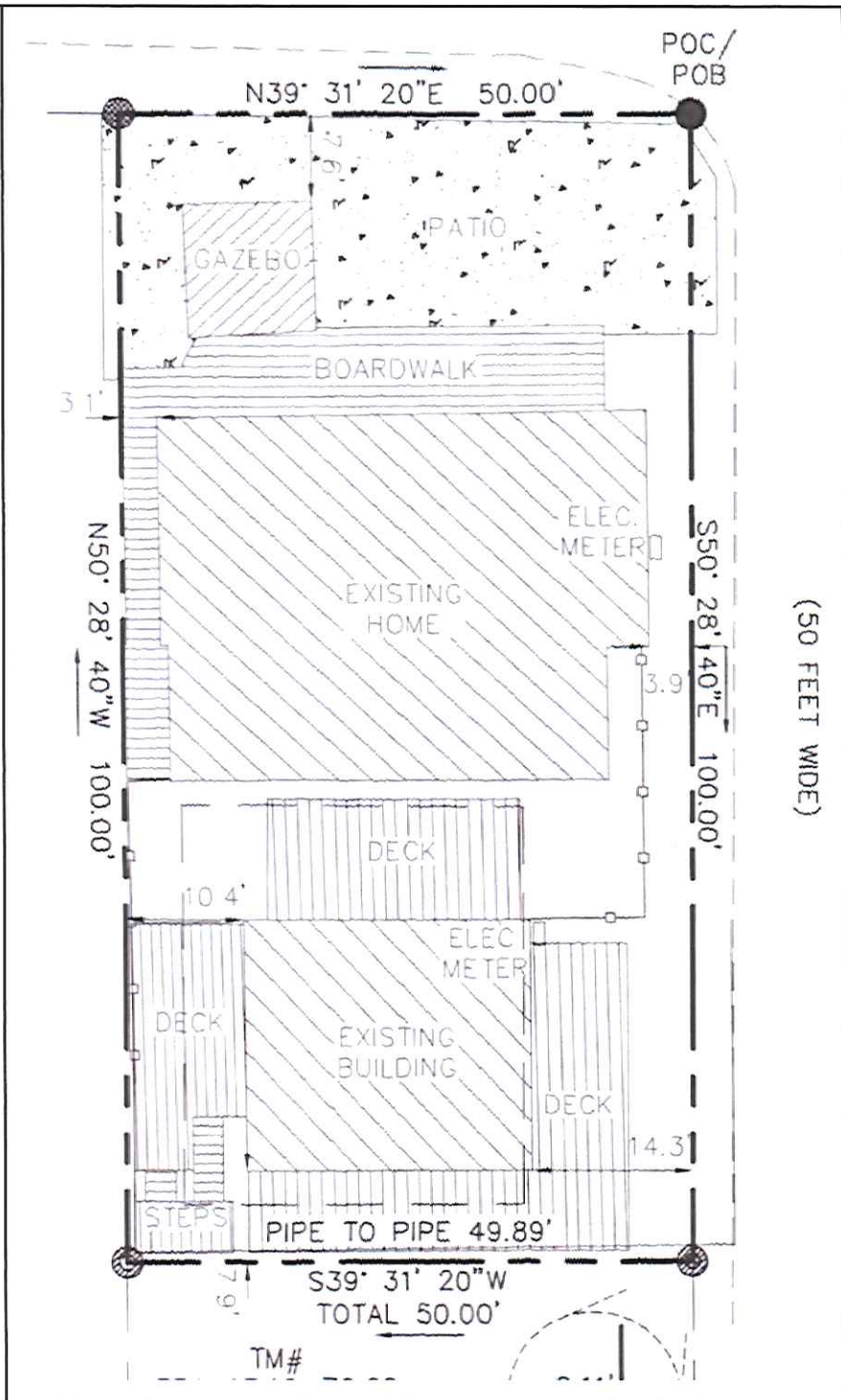
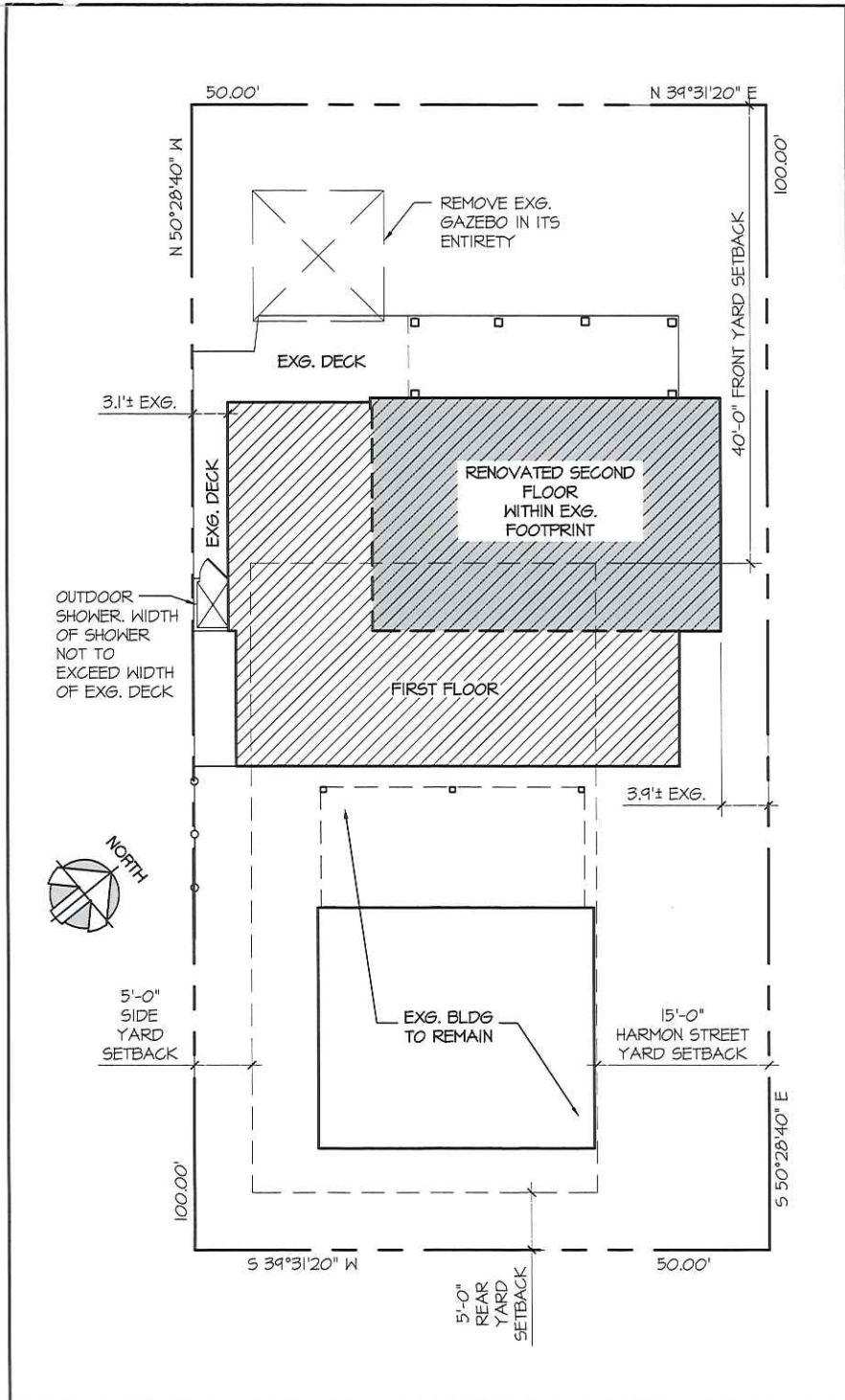
DE (302) 645-9361
MD (410) 677-4747
www.moonlightarch.com

CONSTRUCTION DOCUMENTS FOR THE:
RHINEHART RESIDENCE
RENOVATIONS,
19875 HEBRON ROAD,
REHOBOTH BEACH,
SUSSEX COUNTY,
DELAWARE

SCALE:
AS NOTED
DRAWING DATE:
00/00/2021
SHEET TITLE:
PROPOSED ADDITION SITI
PLAN AND EXISTING
CONDITIONS SITE PLAN

© COPYRIGHT 2021 MOONLIGHT ARCHITECTURE, INC.
PROJECT NUMBER:
21054

SHEET #:
ED0.01



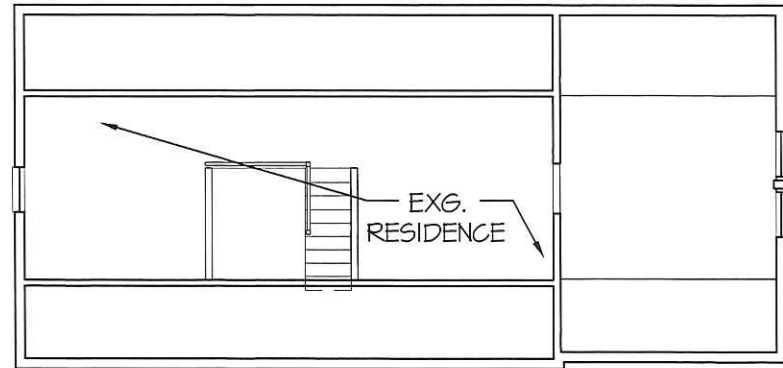
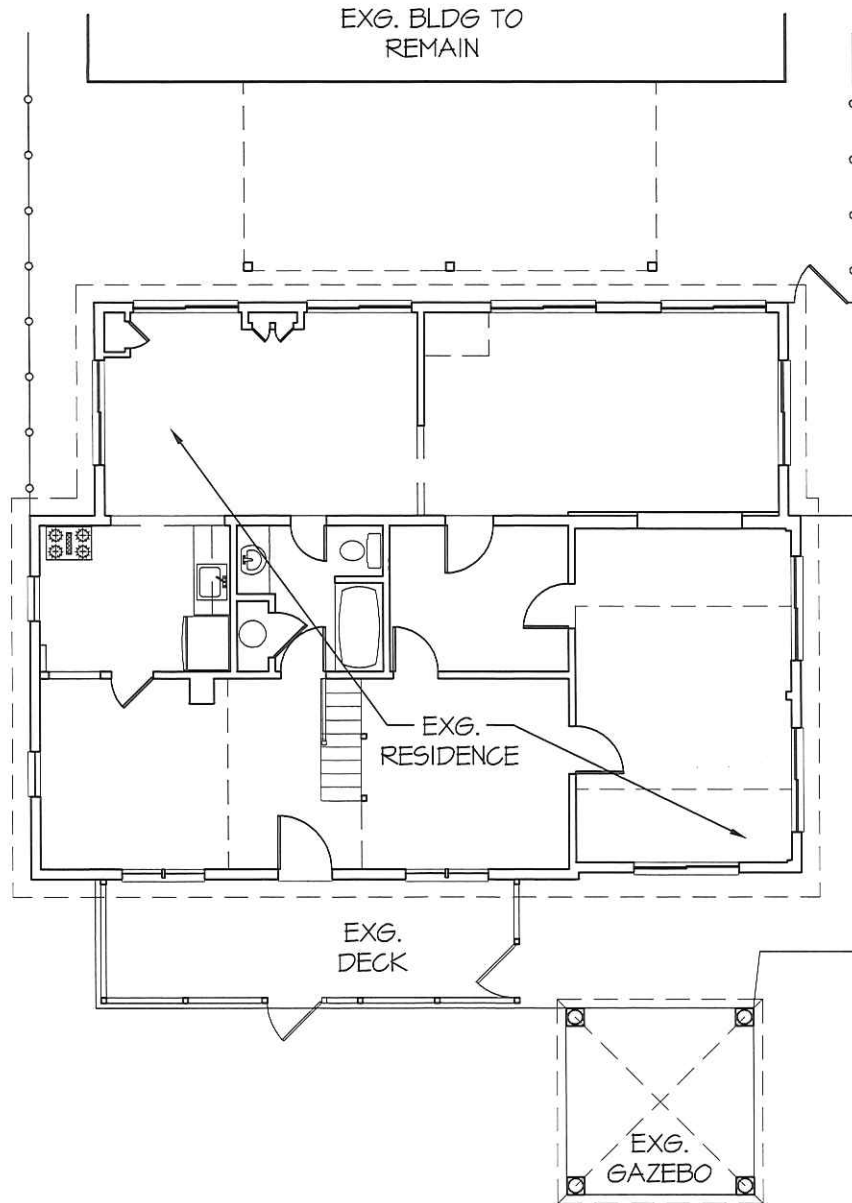
(50 FEET WIDE)



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www.moonlightarch.com

CONSTRUCTION DOCUMENTS FOR THE:
**RHINEHART
RESIDENCE
RENOVATIONS,
19875 HEBRON
ROAD,
REHOBOTH
BEACH, SUSSEX
COUNTY,
DELAWARE**



| | |
|---------------|----------------------------------|
| A1 | EXISTING FIRST FLOOR PLAN |
| 3/32" = 1'-0" | KEY |

| | |
|---------------|-----------------------------------|
| B1 | EXISTING SECOND FLOOR PLAN |
| 3/32" = 1'-0" | KEY |

SCALE:
3/32" = 1'-0"
DRAWING DATE:
06/30/2021

SHEET TITLE:
**EXISTING FIRST FLOOR
PLAN AND EXISTING
SECOND FLOOR PLAN**

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PROJECT NUMBER:
21054

SHEET #:
ED1.01






Moonlight
Architecture, Inc.

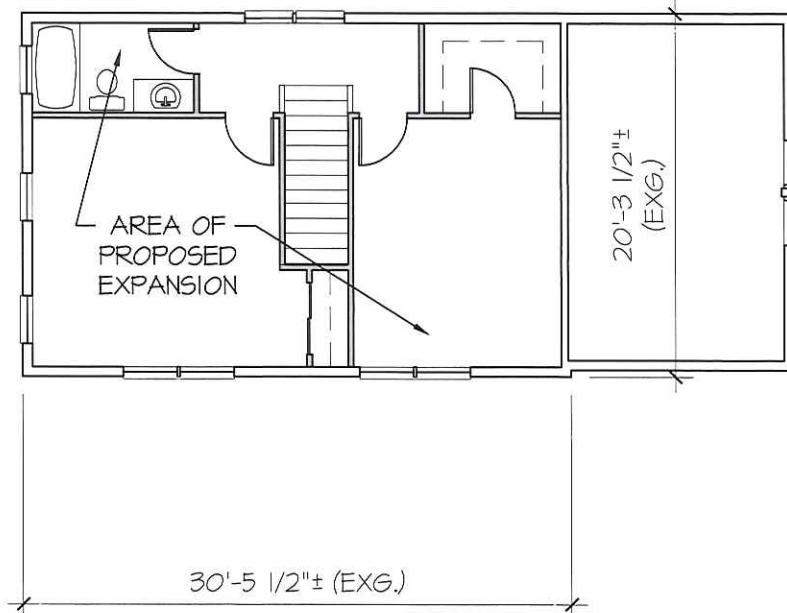
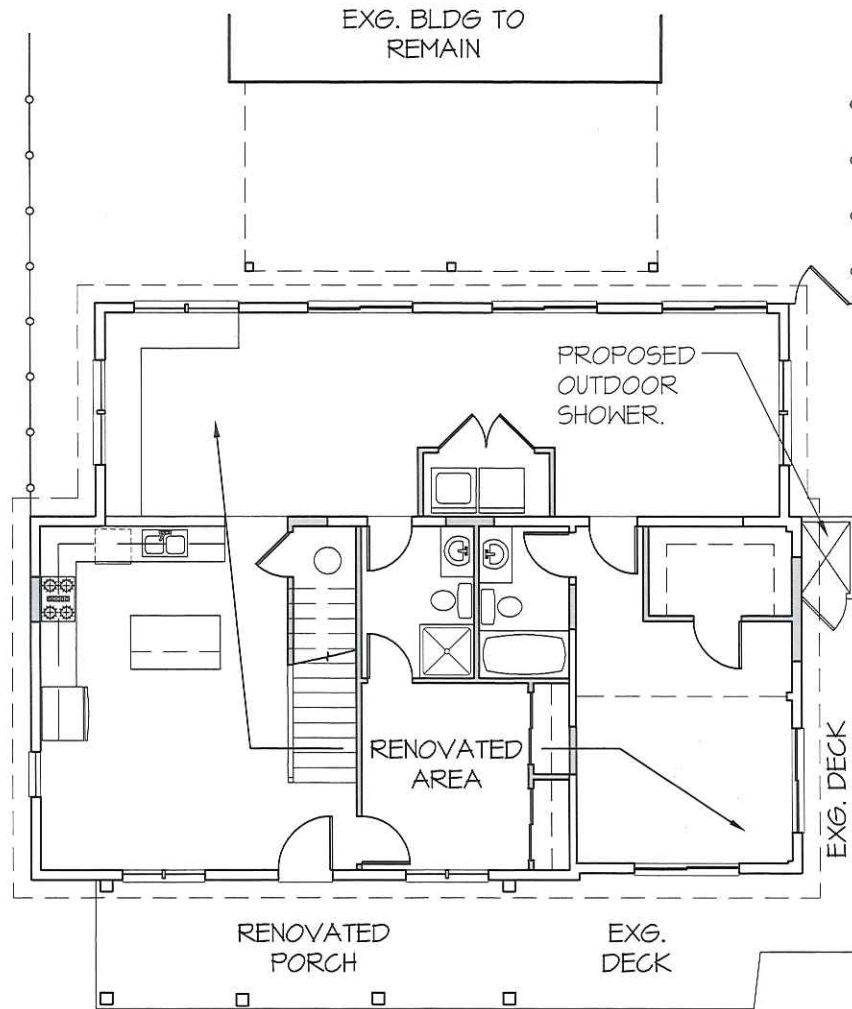
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Site Planning

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MD (410) 677-4747
www.moonlightarch.com

CONSTRUCTION DOCUMENTS FOR THE:
RHINEHART
RESIDENCE
RENOVATIONS,
19875 HEBRON
ROAD,
REHOBOTH
BEACH, SUSSEX
COUNTY,
DELAWARE

WALL LEGEND

-  EXG. WALL TO REMAIN.
-  EXG. WALL TO BE REMOVED.
-  NEW WALL



SCALE:
3/32" = 1'-0"
DRAWING DATE:
06/30/2021

SHEET TITLE:
PROPOSED FIRST FLOOR
PLAN AND PROPOSED
SECOND FLOOR PLAN

© COPYRIGHT 2021 MOONLIGHT ARCHITECTURE, INC.
PROJECT NUMBER:
21054

SHEET #:
ED1.02

A1 PROPOSED FIRST FLOOR PLAN

3/32" = 1'-0"

KEY

B1 PROPOSED SECOND FLOOR PLAN

3/32" = 1'-0"

KEY



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CONSTRUCTION DOCUMENTS FOR THE:
**RHINEHART
RESIDENCE
RENOVATIONS,
19875 HEBRON
ROAD,
REHOBOTH
BEACH, SUSSEX
COUNTY,
DELAWARE**



EXG. LEFT SIDE ELEVATION



EXG. RIGHT SIDE ELEVATION



EXG. FRONT ELEVATION

SCALE:
3/32" = 1'-0"

DRAWING DATE:
06/30/2021

SHEET TITLE:
**EXISTING EXTERIOR
ELEVATIONS**

© COPYRIGHT 2021 MOONLIGHT ARCHITECTURE, INC.
PROJECT NUMBER:
21054

SHEET #:
ED2.01

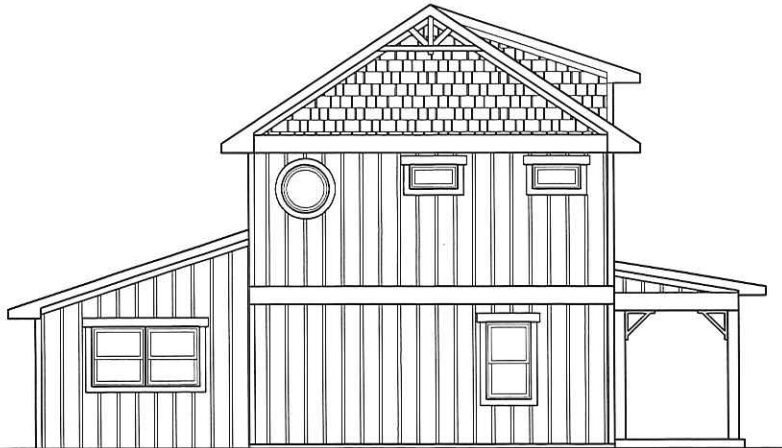
| | |
|---------------|------------------------------|
| A1 | EXISTING EXTERIOR ELEVATIONS |
| 3/32" = 1'-0" | KEY |



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CONSTRUCTION DOCUMENTS FOR THE:
**RHINEHART
RESIDENCE
RENOVATIONS,**
19875 HEBRON
ROAD,
REHOBOTH
BEACH, SUSSEX
COUNTY,
DELAWARE



PROPOSED LEFT SIDE ELEVATION



3D VISUALIZATION OF PROPOSED ADDITION



PROPOSED FRONT ELEVATION

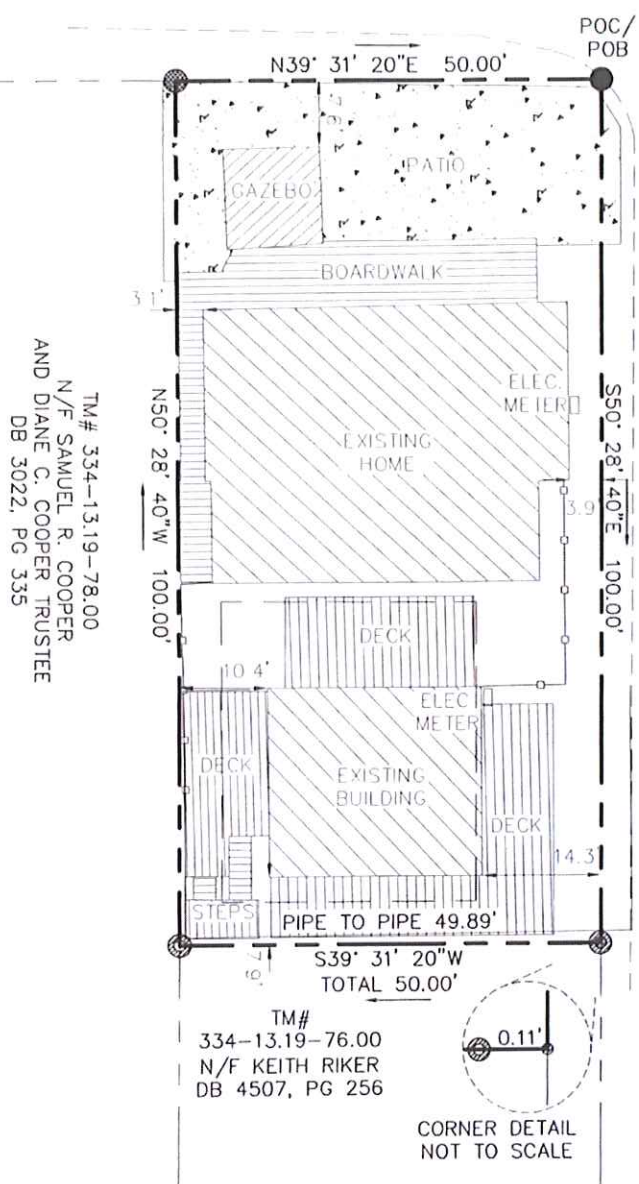
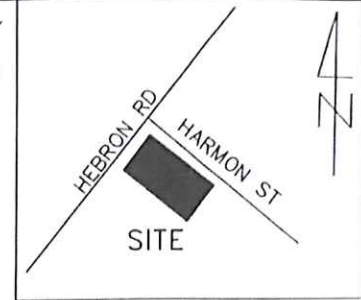
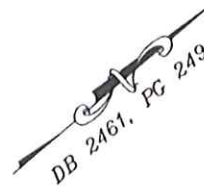
SCALE:
3/32" = 1'-0"
DRAWING DATE:
06/30/2021
SHEET TITLE:
**PROPOSED EXTERIOR
ELEVATIONS**

© COPYRIGHT 2021 MOONLIGHT ARCHITECTURE, INC.
PROJECT NUMBER:
21054

SHEET #:
ED2.02

| | |
|---------------|------------------------------|
| A1 | PROPOSED EXTERIOR ELEVATIONS |
| 3/32" = 1'-0" | KEY |

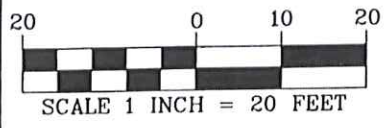
HEBRON ROAD
(50 FEET WIDE)



TM# 334-13.19-78.00
N/F SAMUEL R. COOPER
AND DIANE C. COOPER TRUSTEE
DB 3022, PG 335

TM# 334-13.19-76.00
N/F KEITH RIKER
DB 4507, PG 256

CORNER DETAIL
NOT TO SCALE



- LEGEND:**
- STAKE
 - ⊙ DRILL HOLE SET
 - ⊙ IRON PIPE FOUND
 - ⊙ CORNER NOT MARKED
 - PROPERTY LINE
 - - - ADJOINING PROPERTY LINE
 - BUILDING RESTRICTION LINE
 - CENTERLINE OF ROAD

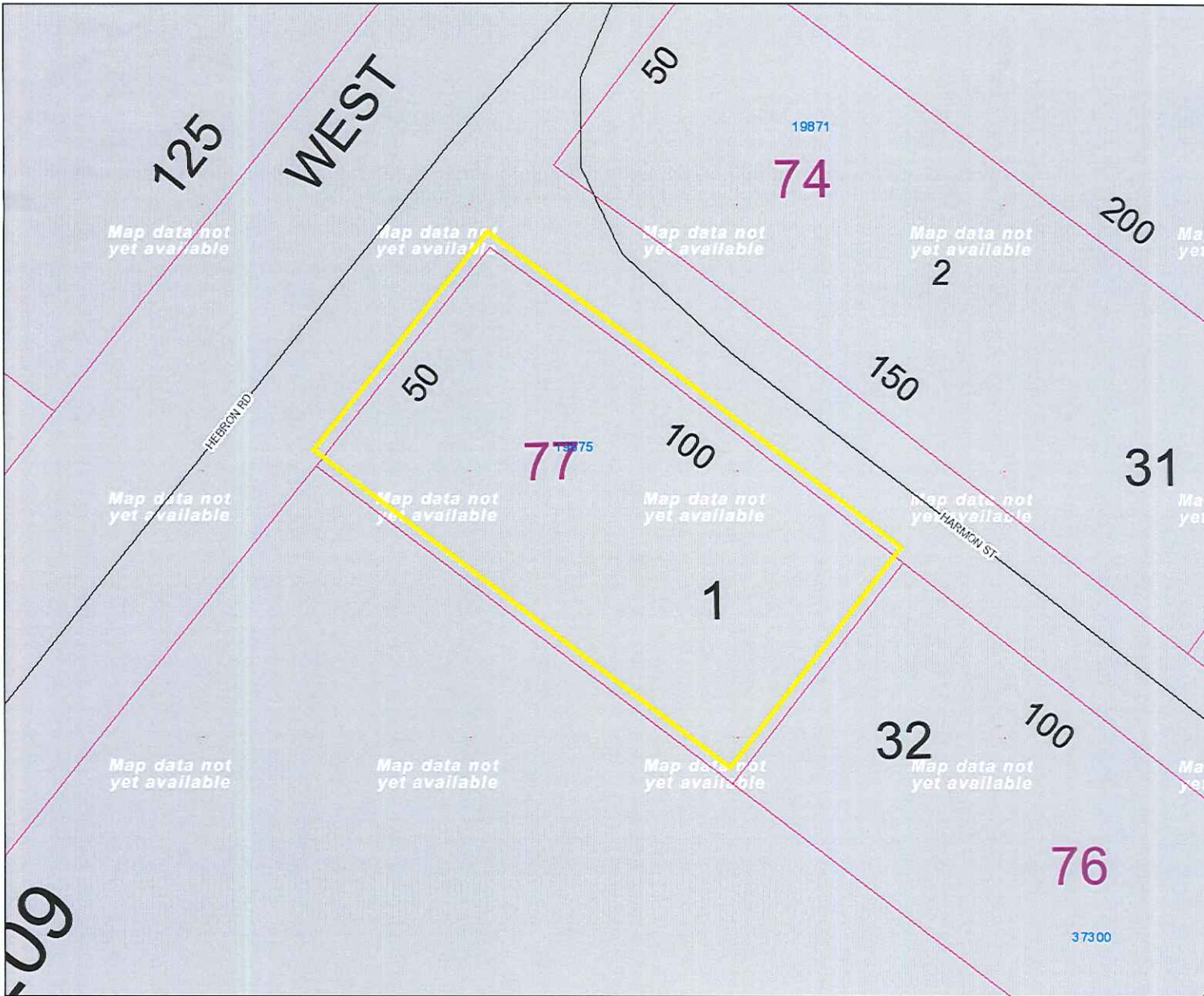
- PLAN DATA:**
- TITLE REFERENCED TO: LOCATION MAP NOT TO SCALE
TM# 334-13.19-77.00
DB 2461, PG 249
19875 HEBRON ROAD
REHOBOTH BEACH, DE 19971
LEWES AND REHOBOTH HUNDRED
SUSSEX COUNTY, STATE OF DELAWARE
 - NO TITLE REPORT PERFORMED OR FURNISHED IN PREPARATION OF THIS PLAT.
 - THIS PLAN DOES NOT CERTIFY THE EXISTENCE OR NON-EXISTENCE OF EASEMENTS OR RIGHTS OF WAY AS A FULL AND COMPLETE SEARCH MAY REVEAL IN THE SUSSEX COUNTY RECORDER OF DEEDS.
 - ACCORDING TO SUSSEX COUNTY PLANNING AND ZONING THE ZONING IS C1 AND THE SETBACKS ARE: FRONT-60', SIDE- 5', REAR- 5', AND HARMON STREET-15'.
 - AREA: 5,000±SQ.FT. OR 0.114±ACRE

I, ALAN O'DALE KENT, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

26 JAN 2021

ALAN O'DALE KENT, PLS#738, DATE

| | |
|--|---|
| JOB #2021027 | THIS IS A SUBURBAN SURVEY |
| DATE OF PLAN 26 JAN 2021 | BOUNDARY SURVEY PLAN FOR MATTHEW P. RHINEHART AND JACQUELYN R. RHINEHART OF THE LANDS NOW OR FORMERLY OF KEITH D. RIKER PREPARED BY ALAN O KENT LAND SURVEYING, LLC SEAFORD, DE 19975 (302) 745-1725 |
| DATE OF LAST FIELD WORK 25 JAN 2021 | |

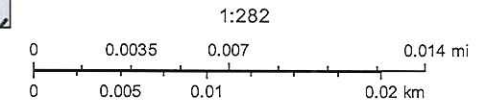


| | |
|------------------------|------------------------|
| PIN: | 334-13.19-77.00 |
| Owner Name | RHINEHART MATTHEW P |
| Book | 5414 |
| Mailing Address | 20 OAKMONT CIR |
| City | NEW FREEDOM |
| State | PA |
| Description | PINE RD LOT |
| Description 2 | N/A |
| Description 3 | N/A |
| Land Code | |

- polygonLayer**

 - Override 1
- polygonLayer**

 - Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- Municipal Boundaries



BEFORE THE BOARD OF ADJUSTMENT OF SUSSEX COUNTY

IN RE: KEITH D. RIKER

(Case No. 11357)

A hearing was held after due notice on April 14, 2014. The Board members present were: Mr. Dale Callaway, Mr. Jeff Hudson, Mr. John Mills, Mr. Norman Rickard, and Mr. Brent Workman.

Nature of the Proceedings

This is an application for variances from the rear yard, side yard, front yard, and corner side yard setback requirements.

Findings of Fact

The Board found that the Applicant was seeking a variance of 9.1 feet from the ten (10) feet rear yard setback requirement for and existing second-floor landing, a variance of 9.6 feet from the ten (10) feet side yard setback requirement for an existing second-floor deck, a variance of twenty-two (22) feet from the thirty (30) feet front yard setback requirement for an existing well and pump house, and a variance of 9.2 feet from the fifteen (15) feet corner side yard setback requirement for an existing second-floor deck. The Applicant has requested that the aforementioned requested variances be granted as they pertain to certain real property located southeast of Hebron Road (Road 273) and southwest of Harmon Road, a subdivision street, and 75 feet southwest of Burton Avenue in West Rehoboth Subdivision and being Lot 1 in George H. Shockley Subdivision; said property being identified as Sussex County Tax Map Parcel Number 3-34-13.19-77.00. After a hearing, the Board made the following findings of fact:

1. The Board found that the Office of Planning and Zoning received one (1) letter in support, fourteen (14) letters of no objection to the Application, and one (1) letter in opposition to the Application.
2. Keith Riker was sworn in to testify on behalf of the Application.
3. The Board found that Mr. Riker submitted exhibits to the Board to review.
4. The Board found that Mr. Riker testified that the Property is located in West Rehoboth.
5. The Board found that Mr. Riker testified that he retained Delmarva Pole Building to construct a detached pole building which would have two floors but that, due to expenses, he removed the second floor, decks, and stairs from the plans.
6. The Board found that Mr. Riker testified that his contract with Delmarva Pole Building states it is not responsible for encroachments.
7. The Board found that Mr. Riker testified that he later built the second floor, decks, and stairs himself.
8. The Board found that Mr. Riker testified that the second floor is not accessible without the exterior steps and decks and that there are no interior steps within the pole building.
9. The Board found that Mr. Riker testified about the history of the pump house on the Property.
10. The Board found that Martin Joseph Miller, Jr. was sworn in and testified in opposition to the Application.
11. The Board found that Mr. Miller testified that his family owns the property behind the Applicant's property and that he was born and raised in the neighborhood.
12. The Board found that Mr. Miller testified that an existing shed, fence and mailbox were removed from his aunt's property without her consent prior to the construction of the pole building on the Applicant's property.

13. The Board found that Mr. Miller testified that the shed has since been rebuilt in the same location and that his aunt's mailbox has been relocated further from her property.
14. The Board found that Mr. Miller testified that the Applicant is responsible for making sure that his contractor complies with the setback requirements.
15. The Board found that Mr. Miller testified that the Applicant's structures are inches from the property line and that the structures are so close to the Property line that they would prohibit fire equipment from gaining access in case of emergency.
16. The Board found that Mr. Miller testified that he is concerned about fire spreading from the Applicant's property to his aunt's property.
17. The Board found that Mr. Miller testified that the Applicant does not have the right to encroach so close to his aunt's property.
18. The Board found that Mr. Miller testified that he does not understand how the Applicant could be so negligent in making sure the structures were being built in compliance with the zoning code.
19. The Board found that Mr. Miller testified that the Applicant's property once belonged to his sister and that he is not aware of a well or pump house existing on that property at the location shown on the survey.
20. The Board found that Mr. Miller testified that he believes the Applicant placed the pump house on the Property.
21. The Board found that Mr. Miller testified that he used to pump water on the Property between the house and the pole building.
22. The Board found that Mr. Miller testified that he does not recall anything being in the location of the current pump house.
23. The Board found that Mr. Miller testified that his mother lives in the neighborhood and he visits regularly.
24. The Board found that Mr. Miller testified that he spoke to the Applicant during construction of the building about his concern for the Applicant storing lumber on his aunt's property.
25. The Board found that Mr. Miller testified that he believes a set of steps can be built between the building and the existing dwelling to gain access to the second floor storage area.
26. The Board found that Mr. Miller testified that there is sufficient room between the house and the pole building for stairs.
27. The Board found that Mr. Miller testified that he has no objection to the location of the pole building as long as the decks are removed but that he opposes the pump house, the decks, and the stairs.
28. The Board found that Mr. Miller testified that there was never a covered gazebo type structure on the front of the dwelling.
29. The Board found that Mr. Riker testified that the pump house on the Property is under the ground in a cinder block basement type room.
30. The Board found that Mr. Riker testified that he put beams around the pump house to make it look like a gazebo.
31. The Board found that Mr. Riker testified about concerns raised by Mr. Miller.
32. The Board found that two (2) parties appeared in support of the Application.
33. The Board found that one (1) party appeared in opposition to the Application.
34. At the conclusion of the public hearings, the Board voted to leave the record open for the limited purpose of allowing the Office of Planning & Zoning to research the existence of the pump house and to report back to the Board regarding its investigation and with pictures of the pump house.
35. At its meeting on May 19, 2014, the Board reviewed pictures of the Property taken by the Office of Planning & Zoning and the Board discussed the Application.
36. Based on the findings above and the testimony presented at the public hearing and the public record, the Board determined that the Application failed to meet the standards for granting a variance. The Applicant has created his own hardship. The pole building was constructed with a building permit and the permit references that the pole building was to have an open ceiling with no second floor. After the pole building was constructed the Applicant himself built, without a permit, stairs and decking to reach the second floor. The Applicant also testified that he created the gazebo-like structure over the existing below

ground well. The Applicant has clearly created his own hardship. Furthermore, the Property is not unique in any way. The Property was also already developed prior to the construction of the pole building and the gazebo-like structure so the Property can be developed in strict conformity with the Sussex County Zoning Code. The pole building decking and stairs impair the uses of neighboring and adjacent properties due to its close proximity thereto. It would be nearly impossible for the Applicant to maintain or repair the decking and stairs without encroaching onto neighboring property. The variances are not necessary to enable reasonable use of the Property. The Board is not convinced that a second floor of the pole building cannot be accessed either internally or through other means which would not encroach into the setback areas.

The Board approved the variance application finding that it failed to meet the standards for granting a variance.

Decision of the Board

Upon motion duly made and seconded, the Application was denied. The Board Members voting to deny the Application were Mr. Dale Callaway, Mr. Jeff Hudson, Mr. John Mills, Mr. Norman Rickard, and Mr. Brent Workman. No Member voted against the Motion to Deny the Application.

BOARD OF ADJUSTMENT
OF SUSSEX COUNTY

Dale Callaway
Chairman

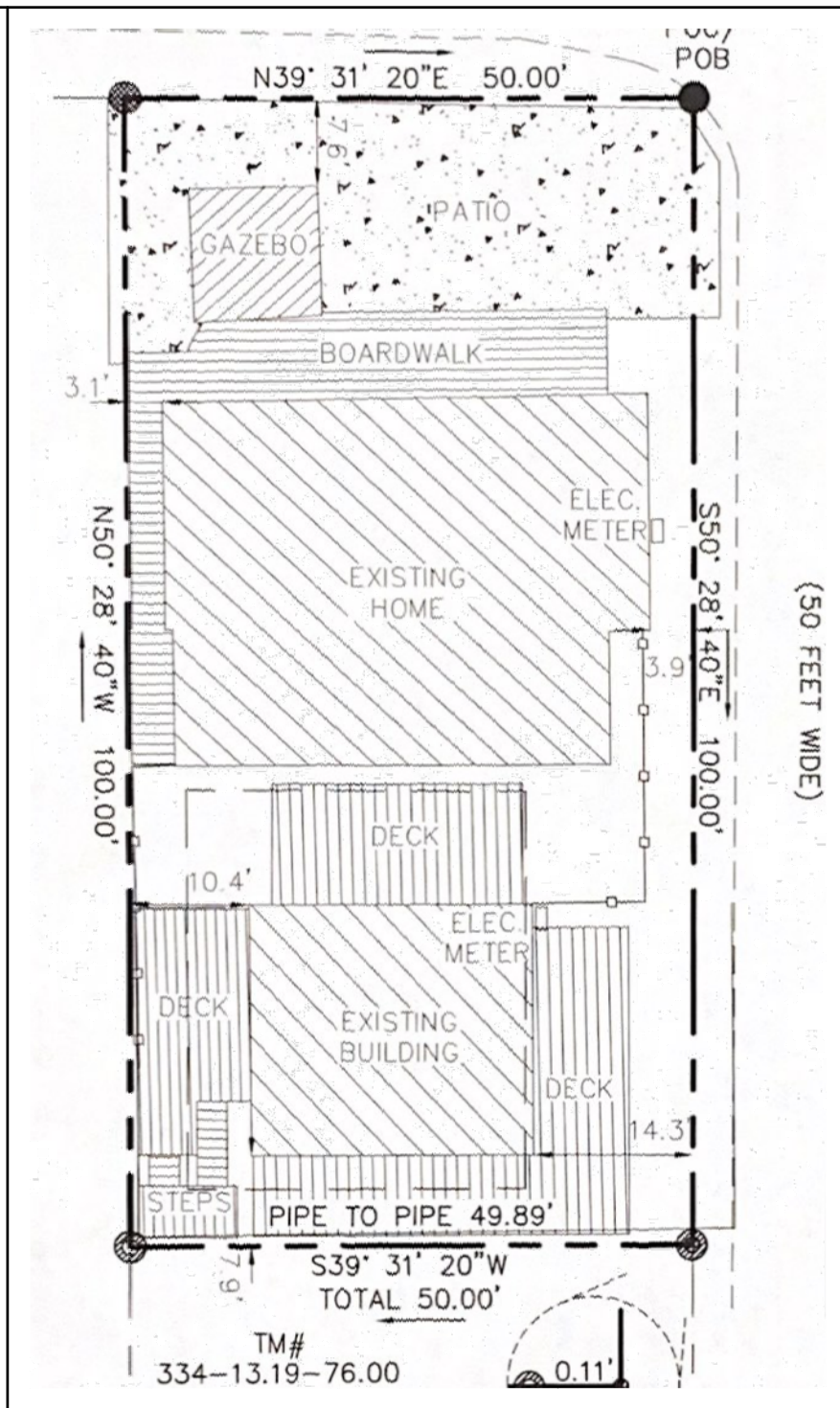
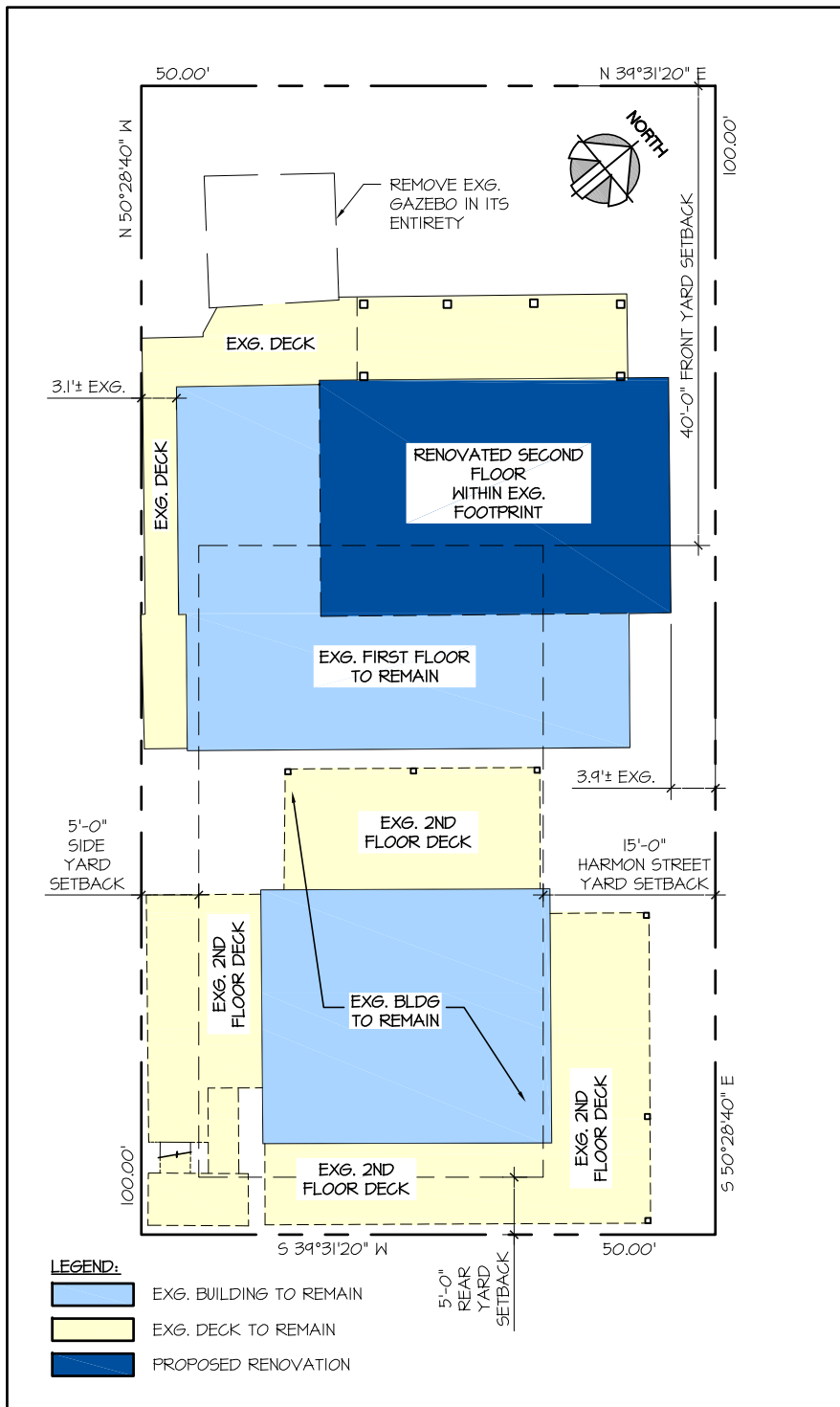
Date _____.



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CONSTRUCTION DOCUMENTS FOR THE:
RHINEHART
RESIDENCE
RENOVATIONS,
19875 HEBRON ROAD,
REHOBOTH BEACH,
SUSSEX COUNTY,
DELAWARE



SCALE:
AS NOTED
DRAWING DATE:
08/27/2021
SHEET TITLE:
PROPOSED ADDITION
SITE PLAN AND EXISTING
CONDITIONS SITE PLAN

© COPYRIGHT 2021 MOONLIGHT ARCHITECTURE, INC.
PROJECT NUMBER:
21054

A1 PROPOSED ADDITION SITE PLAN
1/16" = 1'-0" KEY

B1 EXISTING CONDITIONS SITE PLAN
1/16" = 1'-0" KEY

SHEET #:
ED0.01

Non-conforming dwelling – built in 1957

Previous BOA 11357 Variances

- 1 – 9.2-ft var from 15-cor front for existing deck
- 2 – 9.6-ft var from 10-ft side for existing deck
- 3 – 9.1-ft var from 10-ft rear for existing deck
- 4 – 22-ft var from 30-ft front for existing gazebo

Applicant appealed Board’s decision and was to re-apply – no record of another application – no action on County’s part – Assessment records show in 2017 the existing garage was re-assessed as living quarters

Variances for BOA 12599

I have included the all existing and proposed structures to bring the property into compliance

- 1 – 1.9-ft var from 5-ft side for existing dwelling
 - ~~2 – 5-ft var from 5-ft side for existing boardwalk & proposed outside shower~~
 - 3 – 4.6-ft var from 5-ft side for existing 2nd story deck and steps 4.4 Based on the Survey we have
 - 4 – 4.1-ft var from 5-ft rear for existing 2nd story deck and steps 4.2 Based on the Survey we have
 - 5 – 3.8-ft var from 5-ft rear for existing 2nd story deck 4.0 Based on the Survey we have
 - 6 – 0.7-ft var from 15-ft corner front for existing dwelling
 - 7 – 9.2-ft var from 15-ft corner front for existing second story deck 9.3 Based on the Survey we have
 - 8 – 9.1-ft var from 15-ft corner front for existing second story deck I couldn't find the location of this variance
 - 9 – 11.1-ft var from 15-ft corner front for existing dwelling and proposed 2nd floor addition
 - 10 – 7.1-ft var from 15-ft corner front for existing boardwalk/front porch 7.3 Based on the Survey we have
 - 11 – 21.4-ft var from 40-ft front for existing and proposed structures 14.6 Based on the Survey we have and 40 feet Front Yard Setback
- Existing non-conforming dwelling w/front porch/boardwalk is 18.6-ft from property line 18.1 Based on the Survey we have

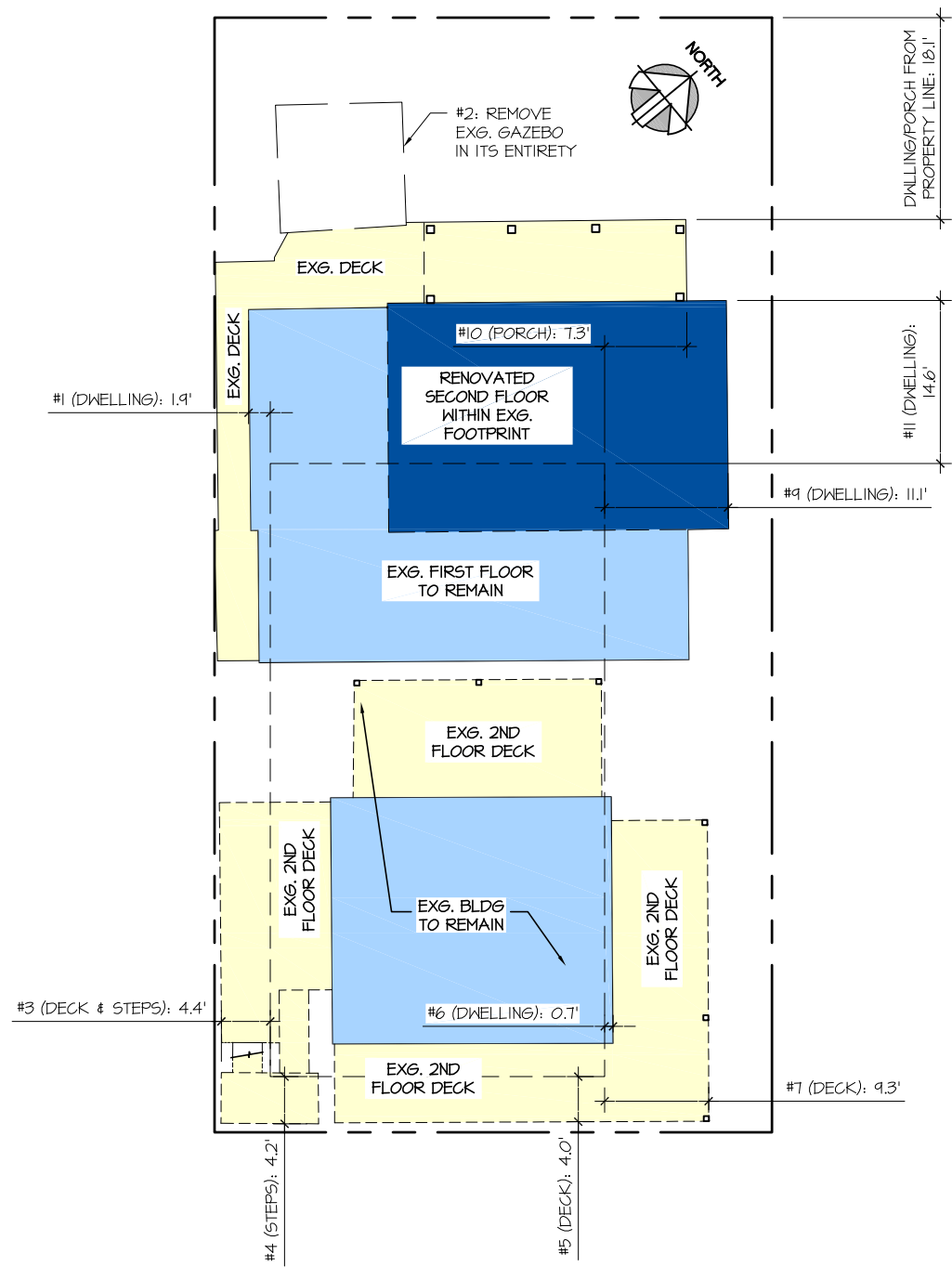


Moonlight
Architecture, Inc.

Architecture • Interior Design
Site Planning

DE (302) 645-9361
MD (410) 677-4747
www.moonlightarch.com

CONSTRUCTION DOCUMENTS FOR THE:
**RHINEHART
RESIDENCE
RENOVATIONS,**
19875 HEBRON ROAD,
REHOBOTH BEACH,
SUSSEX COUNTY,
DELAWARE



SCALE:
AS NOTED
DRAWING DATE:
09/07/2021
SHEET TITLE:
**SITE PLAN WITH
VARIANCES FOR BOA
12599A**

© COPYRIGHT 2021 MOONLIGHT ARCHITECTURE, INC.
PROJECT NUMBER:
21054

SHEET #:
ED0.02

| | |
|---------------|---|
| A1 | SITE PLAN WITH VARIANCES FOR BOA 12599A |
| 1/16" = 1'-0" | KEY |

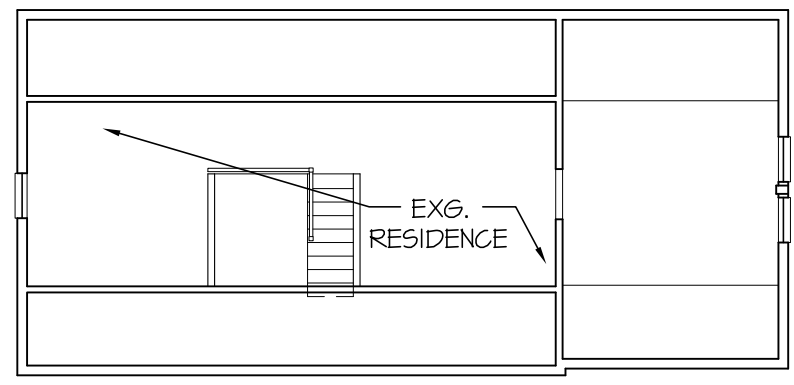
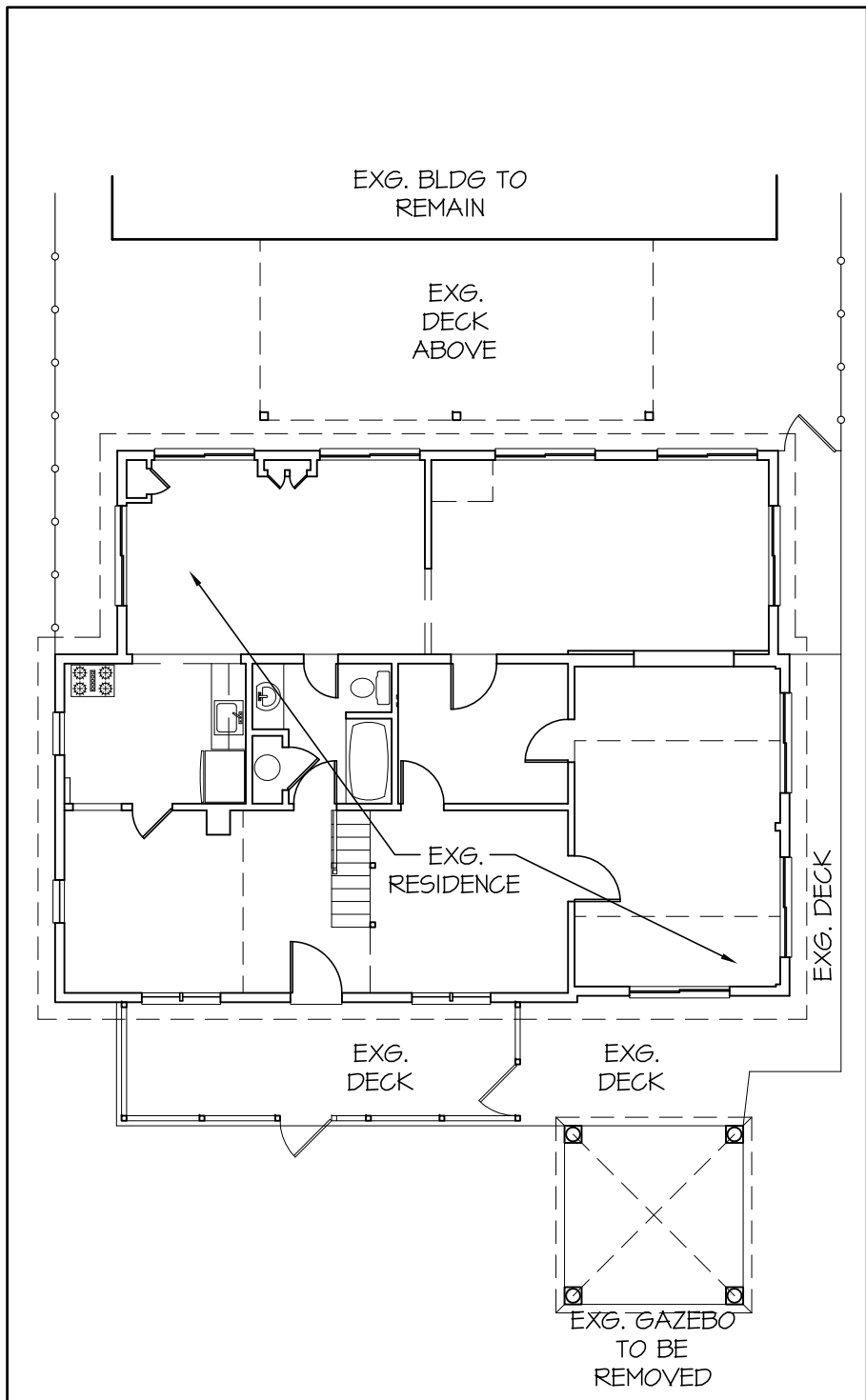


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CONSTRUCTION DOCUMENTS FOR THE:
**RHINEHART
RESIDENCE
RENOVATIONS,**
19875 HEBRON ROAD,
REHOBOTH BEACH,
SUSSEX COUNTY,
DELAWARE



A1 EXISTING FIRST FLOOR PLAN
3/32" = 1'-0" KEY

B1 EXISTING SECOND FLOOR PLAN
3/32" = 1'-0" KEY

SCALE:
3/32" = 1'-0"
DRAWING DATE:
08/27/2021
SHEET TITLE:
**EXISTING FIRST FLOOR
PLAN AND EXISTING
SECOND FLOOR PLAN**

© COPYRIGHT 2021 MOONLIGHT ARCHITECTURE, INC.
PROJECT NUMBER:
21054

SHEET #:
ED1.01






Moonlight
Architecture, Inc.

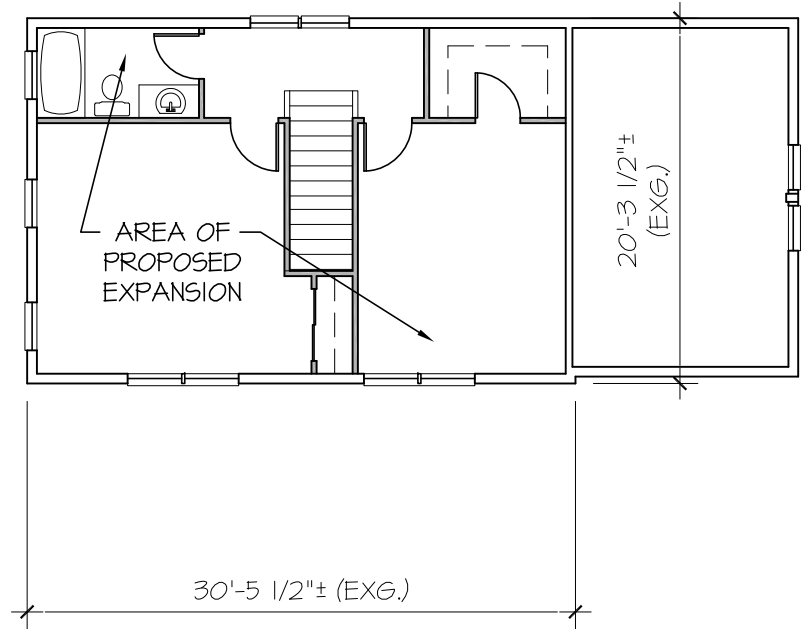
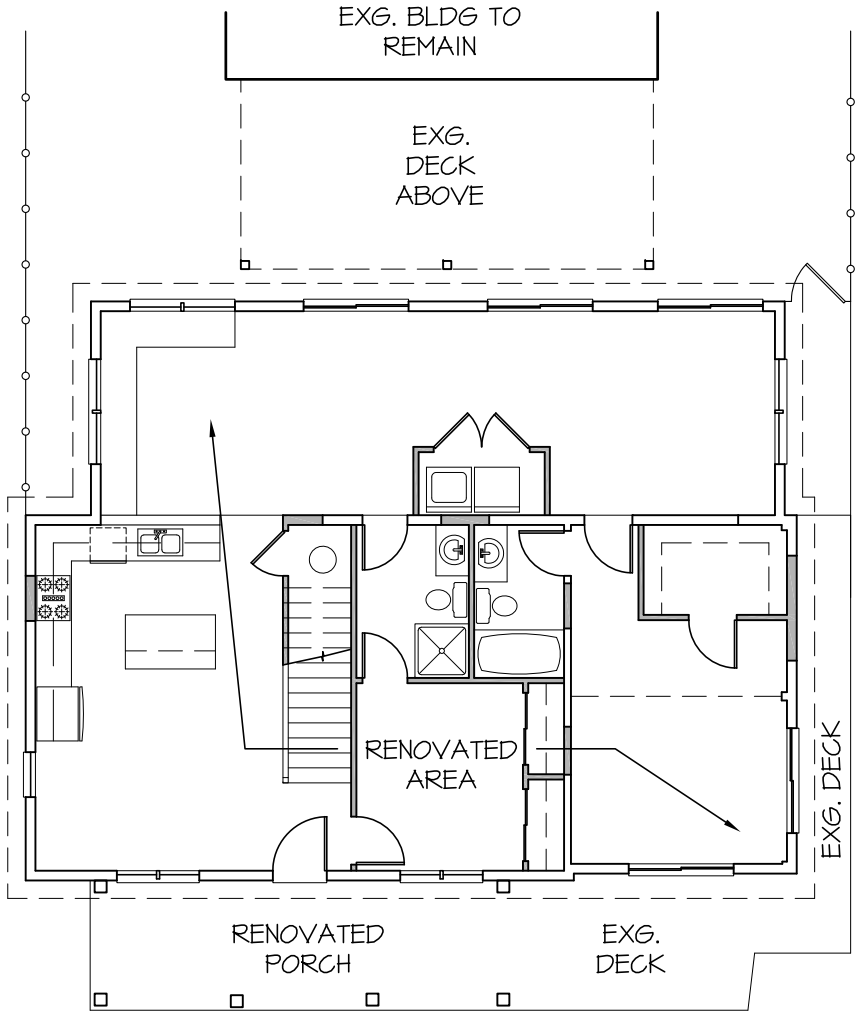
Architecture • Interior Design
Site Planning

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MD (410) 677-4747
www.moonlightarch.com

CONSTRUCTION DOCUMENTS FOR THE:
**RHINEHART
RESIDENCE
RENOVATIONS,**
19875 HEBRON
ROAD,
REHOBOTH
BEACH, SUSSEX
COUNTY,
DELAWARE

WALL LEGEND

-  EXG. WALL TO REMAIN.
-  EXG. WALL TO BE REMOVED.
-  NEW WALL



SCALE:
3/32" = 1'-0"
DRAWING DATE:
08/27/2021

SHEET TITLE:
**PROPOSED FIRST FLOOR
PLAN AND PROPOSED
SECOND FLOOR PLAN**

© COPYRIGHT 2021 MOONLIGHT ARCHITECTURE, INC.
PROJECT NUMBER:
21054

SHEET #:
ED1.02

| | |
|---------------|----------------------------------|
| A1 | PROPOSED FIRST FLOOR PLAN |
| 3/32" = 1'-0" | KEY |

| | |
|---------------|-----------------------------------|
| B1 | PROPOSED SECOND FLOOR PLAN |
| 3/32" = 1'-0" | KEY |



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CONSTRUCTION DOCUMENTS FOR THE:
**RHINEHART
RESIDENCE
RENOVATIONS,
19875 HEBRON
ROAD,
REHOBOTH
BEACH, SUSSEX
COUNTY,
DELAWARE**



EXG. LEFT SIDE ELEVATION



EXG. RIGHT SIDE ELEVATION



EXG. FRONT ELEVATION

SCALE:
3/32" = 1'-0"
DRAWING DATE:
08/27/2021
SHEET TITLE:
**EXISTING EXTERIOR
ELEVATIONS**

© COPYRIGHT 2021 MOONLIGHT ARCHITECTURE, INC.
PROJECT NUMBER:
21054

SHEET #:
ED2.01

| | |
|---------------|------------------------------|
| A1 | EXISTING EXTERIOR ELEVATIONS |
| 3/32" = 1'-0" | KEY |



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Site Planning

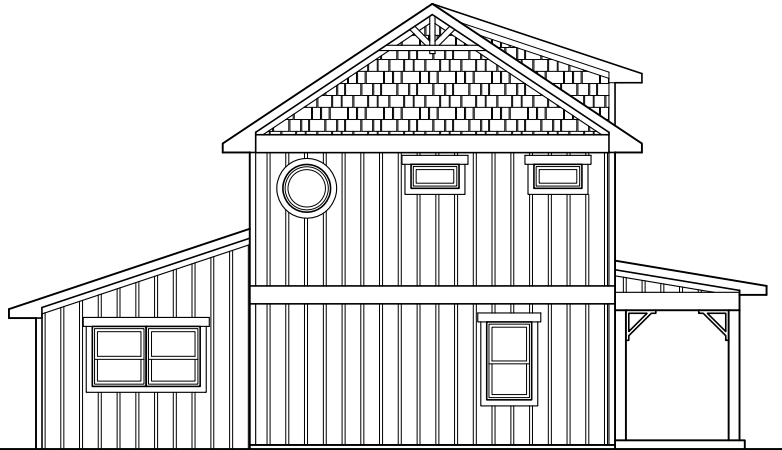
DE (302) 645-9361
MD (410) 677-4747
www.moonlightarch.com

CONSTRUCTION DOCUMENTS FOR THE:
**RHINEHART
RESIDENCE
RENOVATIONS,
19875 HEBRON
ROAD,
REHOBOTH
BEACH, SUSSEX
COUNTY,
DELAWARE**

SCALE:
3/32" = 1'-0"
DRAWING DATE:
08/27/2021
SHEET TITLE:
**PROPOSED EXTERIOR
ELEVATIONS**

© COPYRIGHT 2021 MOONLIGHT ARCHITECTURE, INC.
PROJECT NUMBER:
21054

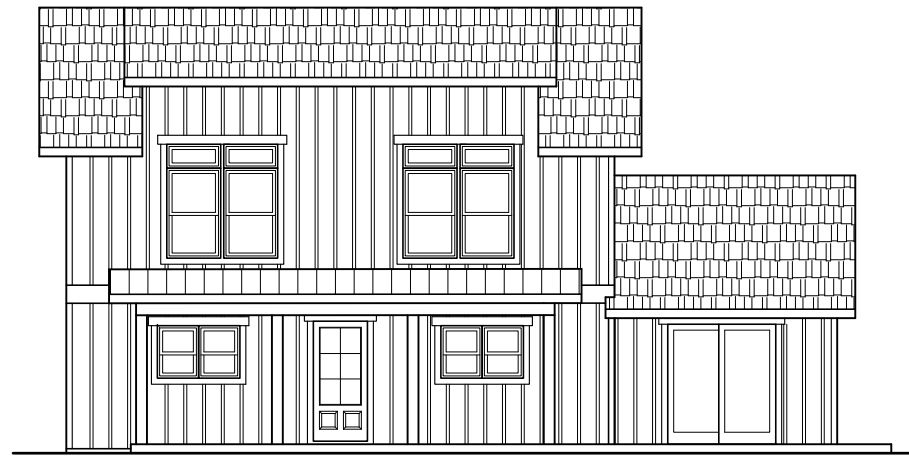
SHEET #:
ED2.02



PROPOSED LEFT SIDE ELEVATION



3D VISUALIZATION OF PROPOSED ADDITION



PROPOSED FRONT ELEVATION

| | |
|---------------|------------------------------|
| A1 | PROPOSED EXTERIOR ELEVATIONS |
| 3/32" = 1'-0" | KEY |

**Board of Adjustment Application
Sussex County, Delaware**

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Case # 12613

Hearing Date 10/4

202111347

Type of Application: (please check all applicable)

Variance
Special Use Exception
Administrative Variance
Appeal

Existing Condition
Proposed
Code Reference (office use only)
115-34 115-183
115-185

Site Address of Variance/Special Use Exception:

38398 Josephine Street Rehoboth DE 19971

Variance/Special Use Exception/Appeal Requested:

New improvement of backyard is a pool and might be close to property line but does not affect neighboring properties

Tax Map #: 3-34-20.09-137.00

Property Zoning: _____

Applicant Information

Applicant Name: Lowell, Scott MS
Applicant Address: 807 Hickory Lane
City Milford State DE Zip: 19963
Applicant Phone #: 302542-3995 Applicant e-mail: lscottmde.comcast.net

Owner Information

Owner Name: Lowell, Scott MS
Owner Address: 807 Hickory Lane
City Milford State DE Zip: 19963 Purchase Date: 05/2013
Owner Phone #: 302542-3995 Owner e-mail: lscottmde.comcast.net

Agent/Attorney Information

Agent/Attorney Name: _____
Agent/Attorney Address: _____
City _____ State _____ Zip: _____
Agent/Attorney Phone #: _____ Agent/Attorney e-mail: _____

Signature of Owner/Agent/Attorney

[Handwritten Signature]

Date: 7/21/21



Criteria for a Variance: (Please provide a written statement regarding each criteria).

You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.

In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.

1. Uniqueness of property:

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

The property has irregular and nonlinear boundaries making a placement of a rectangular pool difficult to keep away from the property line

2. Cannot otherwise be developed:

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

I cannot change the property line which angles in and then back out to another triangular point (see attached)

3. Not created by the applicant:

That such exceptional practical difficulty has not been created by the appellant.

The groundwater table necessitated the pool being half out of the ground and stabilized by concrete elevated all the way around it.

4. Will not alter the essential character of the neighborhood:

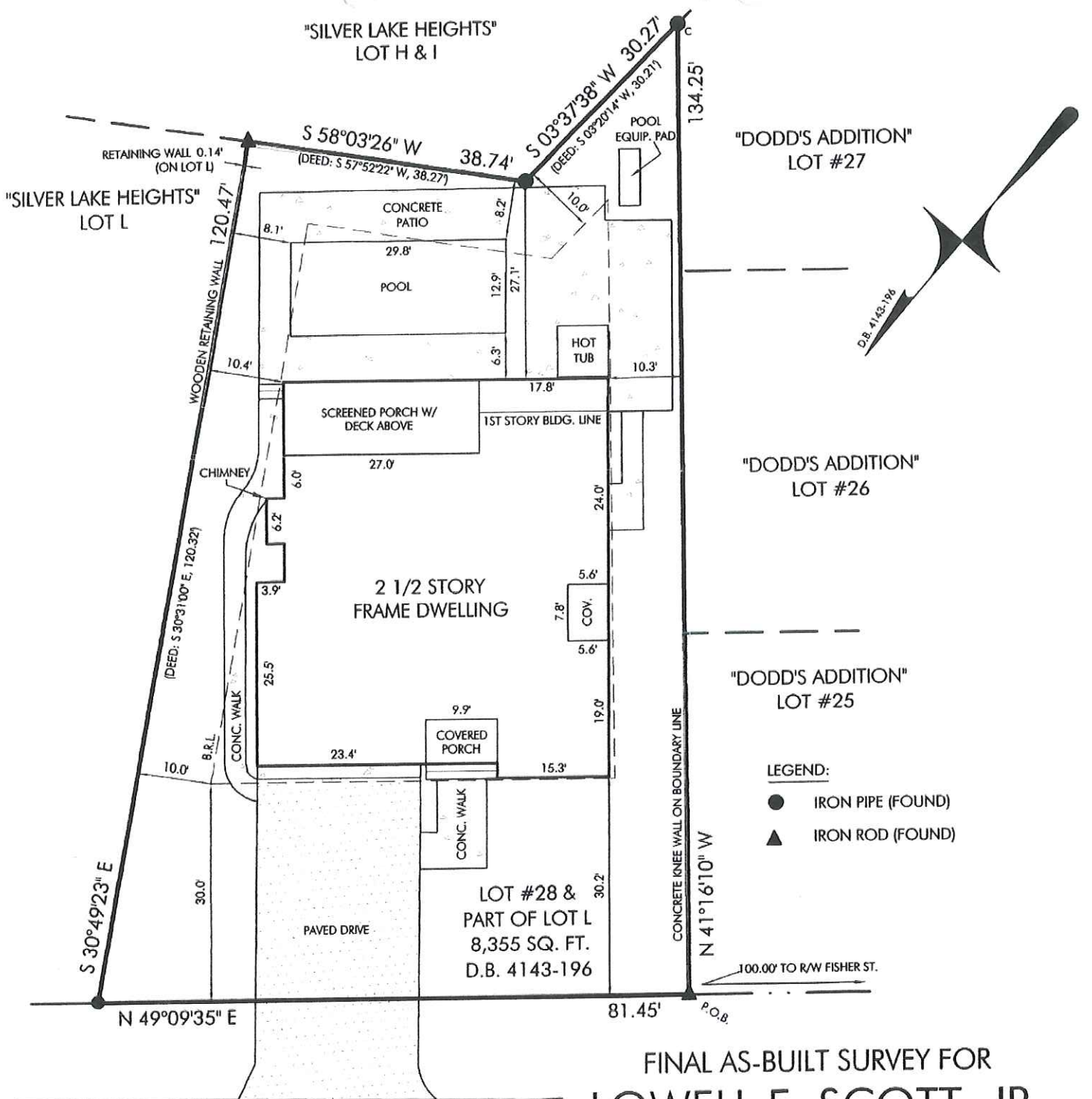
That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

With the fence in place, my neighbors will not see the pool or the yard. The fence is aesthetically pleasing

5. Minimum variance:

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

If a variance is granted, the actual overall plan of the backyard will not impact any neighbors' land



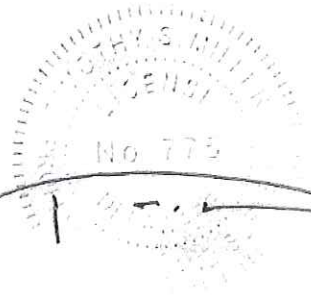
- LEGEND:**
- IRON PIPE (FOUND)
 - ▲ IRON ROD (FOUND)

FINAL AS-BUILT SURVEY FOR LOWELL F. SCOTT, JR.

LOT #28 BLOCK B OF "DODD'S ADDITION" &
PART OF LOT L OF "SILVER LAKE HEIGHTS" SUBDIVISION
LEWES & REHOBOTH HUNDRED SUSSEX COUNTY
STATE OF DELAWARE

JULY 8, 2021 SCALE: 1" = 20'

NOTES:
ALL SETBACKS ARE THE RESPONSIBILITY OF THE HOME OWNER AND/OR GENERAL CONTRACTOR.
THIS DRAWING DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF WETLANDS, UTILITIES, RIGHT-OF-WAYS OR EASEMENTS IN REFERENCE TO OR LOCATED ON THIS PROPERTY.
NO TITLE SEARCH PROVIDED OR STIPULATED.
SURVEY CLASS: SUBURBAN



Prepared by:

FORESIGHT Services

Surveying & Precision Measurement

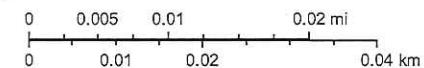
302 226 2229 phone 302 226 2239 fax 2103A Coastal Highway Dewey Beach, DE 19971

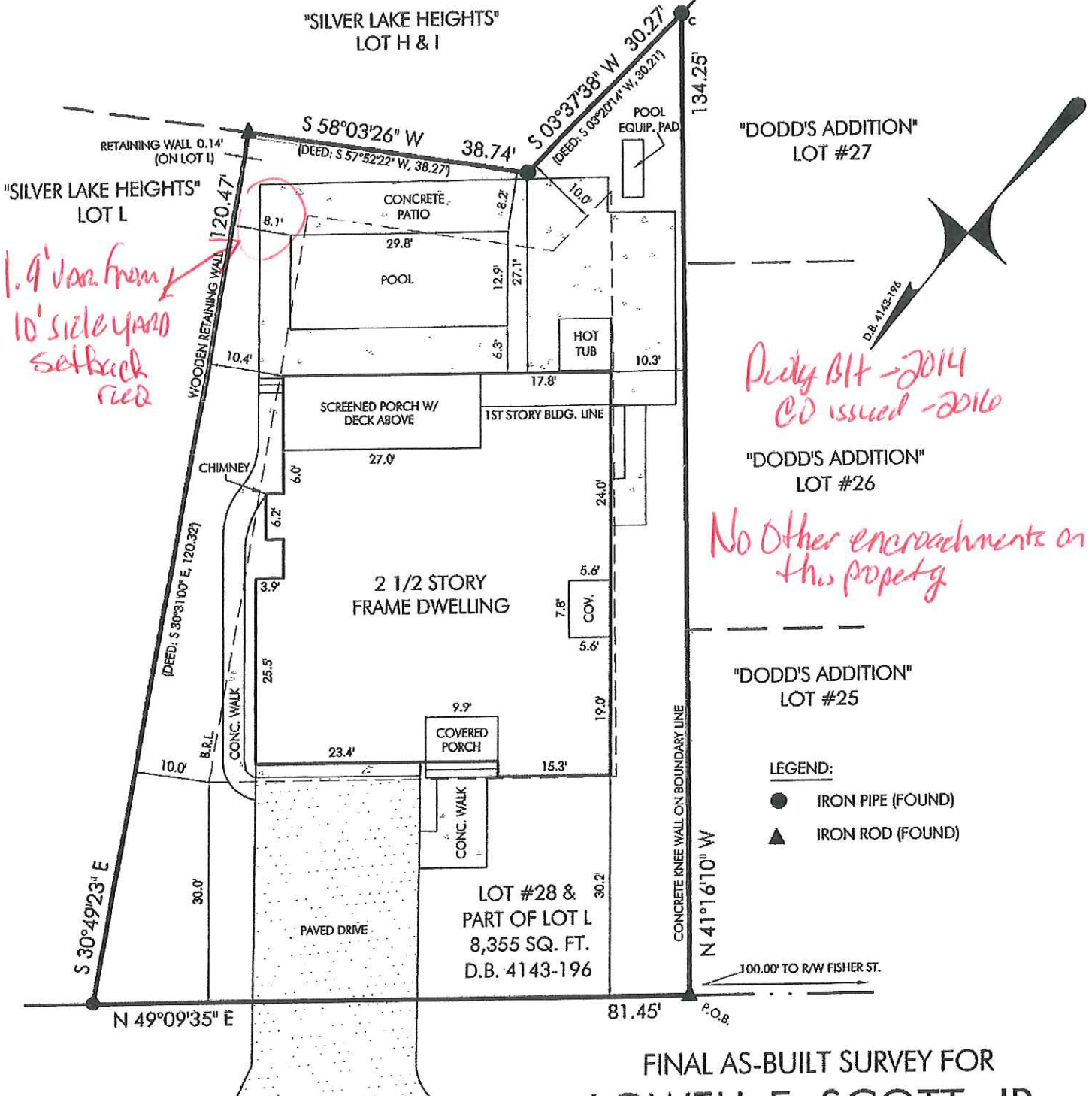


| | |
|------------------------|----------------------|
| PIN: | 334-20.09-137.00 |
| Owner Name | SCOTT LOWELL F JR |
| Book | 4448 |
| Mailing Address | 807 HICKORY LN |
| City | MILFORD |
| State | DE |
| Description | SILVER LAKE HGTS P/O |
| Description 2 | LOT L DODD'S ADDNT |
| Description 3 | BLK B P/O LOT 28 |
| Land Code | |

- polyonLayer
 - Override 1
- polyonLayer
 - Override 1
- ... Tax Parcels
- ... 911 Address
- Streets
- ... County Boundaries
- Flood Zones 2018
 - ... 0.2 PCT ANNUAL CHANCE FLOOD HAZARD
 - ... A
 - ... AE
 - ... AD
 - ... OPEN WATER
 - ... VE
- Tax Ditch Segments
 - Tax Ditch Channel
 - Pond Feature
 - + Special Access ROW
 - ... Extent of Right-of-Way
 - ... Approx. Watershed Boundary

1:564





1.9' var from 10' side yard setback req

Pdty Blt - 2014 CD issued - 2016

No other encroachments on this property

- LEGEND:**
- IRON PIPE (FOUND)
 - ▲ IRON ROD (FOUND)

EDGE OF PAVING

JOSEPHINE STREET (50' R/W)

FINAL AS-BUILT SURVEY FOR LOWELL F. SCOTT, JR.

LOT #28 BLOCK B OF "DODD'S ADDITION" &
PART OF LOT L OF "SILVER LAKE HEIGHTS" SUBDIVISION
LEWES & REHOBOTH HUNDRED SUSSEX COUNTY
STATE OF DELAWARE
JULY 8, 2021 SCALE: 1" = 20'

NOTES:
ALL SETBACKS ARE THE RESPONSIBILITY OF THE HOME OWNER AND/OR GENERAL CONTRACTOR.
THIS DRAWING DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF WETLANDS, UTILITIES, RIGHT-OF-WAYS OR EASEMENTS IN REFERENCE TO OR LOCATED ON THIS PROPERTY.
NO TITLE SEARCH PROVIDED OR STIPULATED.
SURVEY CLASS: SUBURBAN



Prepared by:
FORESIGHT Services
Surveying & Precision Measurement

302 226 2229 phone 302 226 2239 fax 2103A Coastal Highway Dewey Beach, DE 19921



*Pictures from Inspector
taken on 6/10/2021*

Open Violation on property due to pool not meeting setback req





Case # 12614
Hearing Date 10/4
202112248

Board of Adjustment Application Sussex County, Delaware

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check all applicable)

Variance Existing Condition
Special Use Exception _____ Proposed
Administrative Variance _____ Code Reference (office use only)
Appeal _____ 115-25 115-182
115-185

Site Address of Variance/Special Use Exception:
30187 KENT RD, DAGSBORO, DE

Variance/Special Use Exception/Appeal Requested: Lift existing house 1-story on the same location/footprint. Also add a front porch to allow access to a front entrance.

Tax Map #: 1-34 7 21 Property Zoning: AR-1

Applicant Information

Applicant Name: Robert Brant
Applicant Address: 10 Marshall Ct
City, State, Zip: Glen Mills PA 19342
Applicant Phone #: 610-425-8229 Applicant e-mail: rabrant@comcast.net

Owner Information

Owner Name: ROBERT BRANT
Owner Address: 10 Marshall Ct
City, State, Zip: Glen Mills, PA 19342 Purchase Date: _____
Owner Phone #: 610-425-8229 Owner e-mail: rabrant@comcast.net

Agent/Attorney Information

Agent/Attorney Name: N/A
Agent/Attorney Address: _____
City, State, Zip: _____
Agent/Attorney Phone #: _____ Agent/Attorney e-mail: _____

Signature of Owner/Agent/Attorney

[Signature] Date: 8/16/21



Criteria for a Variance: (Please provide a written statement regarding each criteria).

You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.

In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.

1. Uniqueness of property:

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

Location is waterfront property that is prone to flooding. This project will elevate the house to be on the same level as both adjacent neighbors.

2. Cannot otherwise be developed:

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

Not that I have been able to determine.

3. Not created by the applicant:

That such exceptional practical difficulty has not been created by the appellant.

No. The house is an existing non-conforming property.

4. Will not alter the essential character of the neighborhood:

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

The change will not alter the essential character of the neighborhood. Many of the houses have been lifted or built as 2-story buildings. Likewise many houses have similar setback from the front limit.

5. Minimum variance:

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

Yes, this is the minimum variance



LAGOON

N 04°50'33" E 100.00'

BULKHEAD LINE

WOOD PATIO

27.4' X 11'
SHED

WOOD WALK

LOTS 19 & 20
10,413 SQ.FT. ±

DECK

ENCLOSED PORCH

EXISTING DWELLING

CONCRETE DRIVE

LOT 21

N 85°15'00" W 104.21' TOTAL

93.69'

101.00'

S 85°15'00" E 104.05' TOTAL

LOTS 17 & 18

S 04°45'00" W 100.00'

KENT ROAD
30' RIGHT OF WAY

NOTES

1. CLASSIFICATION OF SURVEY: SUBURBAN
2. BUILDING RESTRICTION LINES (B.R.L.) (PER SUSSEX COUNTY)
 - FRONT = 40'
 - SIDES = 15'
 - REAR = 20'
3. SETBACKS SHOWN AS PER SUSSEX COUNTY & MAY DIFFER FROM THE HOME OWNERS ASSOCIATION (HOA) SETBACKS. ANY USER OF SAID INFORMATION IS URGED TO DIRECTLY CONTACT THE LOCAL AGENCY AND HOA, IF APPLICABLE, TO VERIFY IN WRITING ALL SETBACKS & REQUIREMENTS.
4. NO TITLE REPORT WAS PROVIDED FOR OUR USE, THEREFORE THIS BOUNDARY SURVEY IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS, AND/OR RIGHTS OF WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH.



LEGEND

- IRON PIPE FOUND
- IRON ROD FOUND
- IRON ROD W/ CAP SET

| | |
|-----------|---------------------|
| TAX MAP | 1-34 - 7.00 - 21.00 |
| STATE | DELAWARE |
| COUNTY | SUSSEX |
| HUNDRED | BALTIMORE |
| TOWN | --- |
| AREA | 10,413 ± SQ. FT. |
| DEED REF. | 666 / 971 |
| PLAT REF. | 3 / 27 |
| DRAWN BY | CJP |
| DATE | 10 / 17 / 17 |
| SCALE | 1" = 20' |
| SURVEY # | DE - 04090 |

BOUNDARY SURVEY PLAN

LOTS 19 & 20
INDIAN RIVER ACRES

FOR
ROBERT A. & JULIEANN STARR BRANT
30187 KENT ROAD, DAGSBORO, DE 19939

TRUE NORTH



LAND SURVEYING
118 ATLANTIC AVENUE, SUITE 202
OCEAN VIEW, DE 19970
DE: 302 - 539 - 2488
MD: 410 - 430 - 2092



LAGOON

N 04°50'33" E 100.00'

BULKHEAD LINE

WOOD PATIO

27.4' X 11' SHED

WOOD WALK

LOTS 19 & 20
10,413 SQ. FT. ±

DECK
ENCLOSED PORCH

EXISTING DWELLING

CONCRETE DRIVE

LOT 21

N 85°15'00" W 104.21' TOTAL

93.69'

101.00'

S 85°15'00" E 104.05' TOTAL

LOTS 17 & 18

44.4'

19.4'

15.5'

19.2'

19.4'

19.2'

S 04°45'00" W 100.00'

KENT ROAD
30' RIGHT OF WAY

NOTES

1. CLASSIFICATION OF SURVEY: SUBURBAN
2. BUILDING RESTRICTION LINES (B.R.L.) (PER SUSSEX COUNTY)
 - FRONT = 40'
 - SIDES = 15'
 - REAR = 20'
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| | |
|-----------|---------------------|
| TAX MAP | 1-34 - 7.00 - 21.00 |
| STATE | DELAWARE |
| COUNTY | SUSSEX |
| HUNDRED | BALTIMORE |
| TOWN | --- |
| AREA | 10,413 ± SQ. FT. |
| DEED REF. | 666 / 971 |
| PLAT REF. | 3 / 27 |
| DRAWN BY | CJP |
| DATE | 10 / 17 / 17 |
| SCALE | 1" = 20' |
| SURVEY # | DE - 04090 |

BOUNDARY SURVEY PLAN

LOTS 19 & 20
INDIAN RIVER ACRES

FOR
ROBERT A. & JULIEANN STARR BRANT

30187 KENT ROAD, DAGSBORO, DE 19939

LEGEND

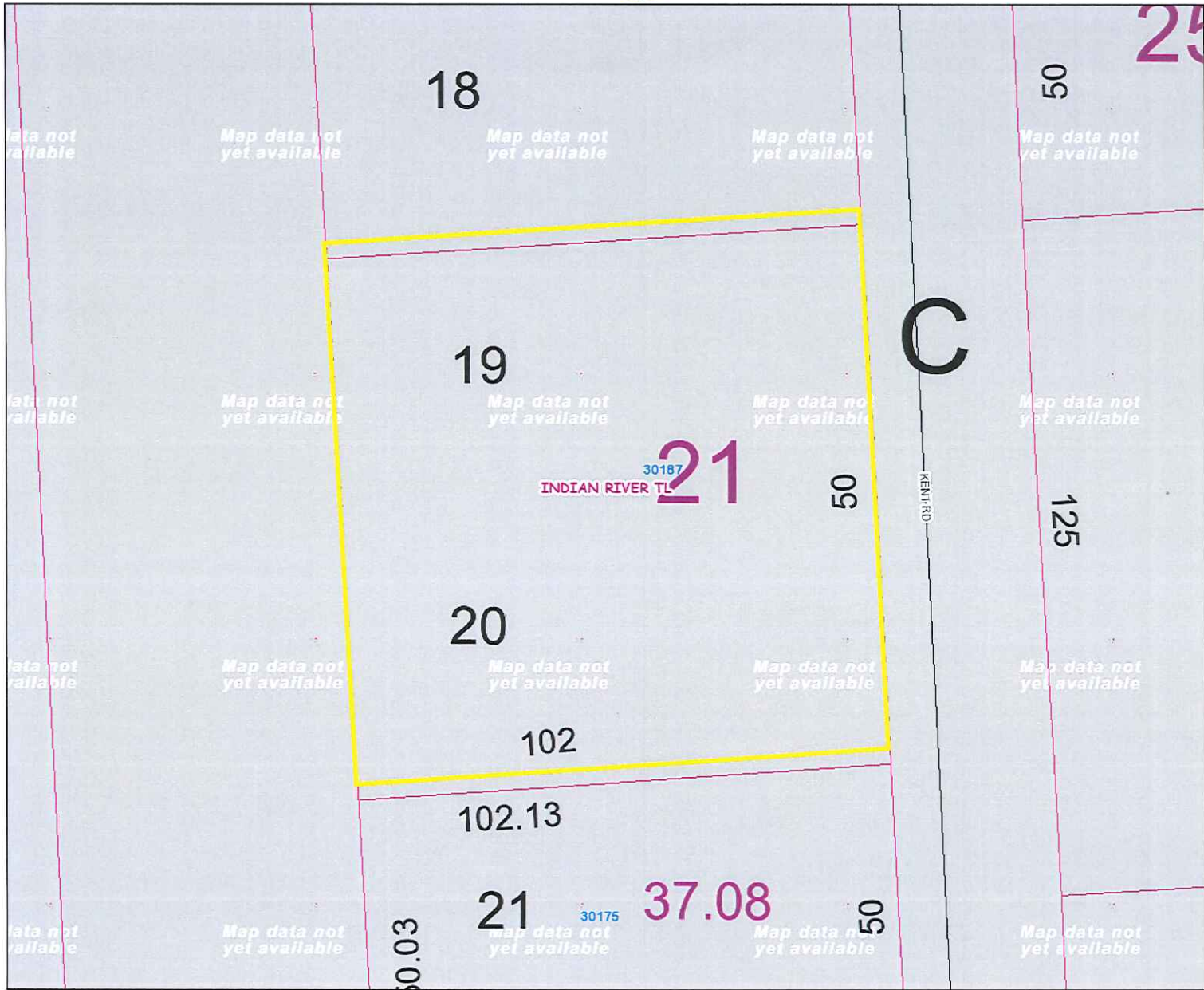
- ⊙ IRON PIPE FOUND
- IRON ROD FOUND
- ⦿ IRON ROD W/ CAP SET

TRUE NORTH



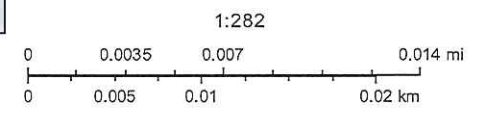
LAND SURVEYING

118 ATLANTIC AVENUE, SUITE 202
OCEAN VIEW, DE 19970
DE: 302-539-2488
MD: 410-430-2092



| | |
|------------------------|--------------------|
| PIN: | 134-7.00-21.00 |
| Owner Name | BRANT ROBERT A |
| Book | 4795 |
| Mailing Address | 10 MARSHALL CT |
| City | GLEN MILLS |
| State | PA |
| Description | INDIAN RIVER ACRES |
| Description 2 | KENT ROAD LT 1920 |
| Description 3 | SEC.C/I |
| Land Code | |

- polygonLayer
 - Override 1
- polygonLayer
 - Override 1
- Tax Parcels
- 911 Address
- Streets



LAGOON
100' →

P&Z Review Copy

104.21'
TOTAL

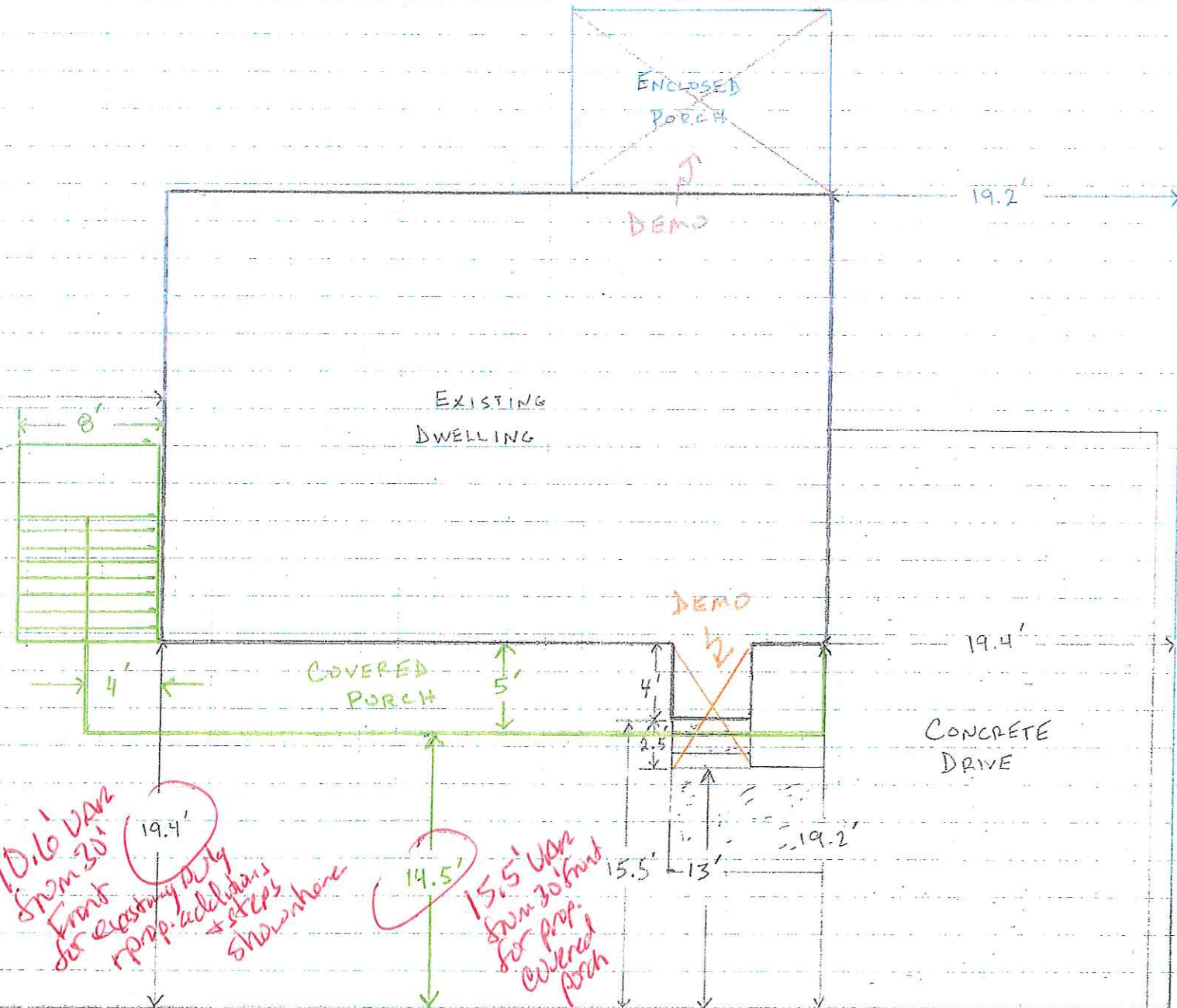
104.05'
TOTAL

44.4'

19.2'

19.4'

CONCRETE DRIVE



Existing Only Blt in 1967

Existing Front porch areas to be demolished

No other steps, decks, HVAC will encroach beyond what is shown here

Setbacks - 30' - Front
15' - Sides
20' - Rear

10.6' Van from 30' front for existing only prop. additions + steps shown here

15.5' Van from 30' front for prop. covered porch

30187 KENT RD
DAGSBORO, DE
AREA 10,413 ± SQFT
SCALE 1/8" = 1 FT

RECEIVED

SEP 07 2021

SUSSEX COUNTY
PLANNING & ZONING

SUPPORT EXHIBIT

Robert Brant
30187 Kent Road
Dagsboro, DE 19939

August 23, 2021

Department of Planning & Zoning
Sussex County
2 The Circle
P.O. Box 417
Georgetown, DE, 19947

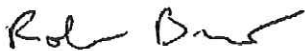
SUBJECT: Variance Request 30187 Kent Road

To Whom It May Concern:

Further to my variance request, I approached my adjacent neighbors to discuss my building plans. Specifically, the variance request to lift the existing structure 1 – story (approximately 10') and add a covered front porch across the elevated structure.

The undersigned have no objection to the request.

Sincerely,



Robert Brant

Don Bell Donald Bell
30191 Kent Rd. 19939

Joe Light
30175 Kent Rd, Dagsboro De 19939

**Board of Adjustment Application
Sussex County, Delaware**

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Case # 12615
Hearing Date 10/4
202112459

Type of Application: (please check all applicable)

Variance Reference Permit: 202101611
Special Use Exception
Administrative Variance
Appeal

Existing Condition
Proposed
Code Reference (office use only)

Site Address of Variance/Special Use Exception:

20667 MULBERRY KNOLL RD, LEWES, DE 19958

Variance/Special Use Exception/Appeal Requested:

Tax Map #: 334-18-00-56.00

Property Zoning: ~~RESIDENTIAL~~
AR-1

Applicant Information

Applicant Name: _____
Applicant Address: _____
City _____ State _____ Zip: _____
Applicant Phone #: _____ Applicant e-mail: _____

Owner Information

Owner Name: MICHELLE FLOWERS / WILLIAM FLOWERS
Owner Address: 20667 MULBERRY KNOLL RD
City LEWES State DE Zip: 19958 Purchase Date: 6/27/2019
Owner Phone #: 302-584-8962 Owner e-mail: michelleflowers930@gmail.com

Agent/Attorney Information

Agent/Attorney Name: _____
Agent/Attorney Address: _____
City _____ State _____ Zip: _____
Agent/Attorney Phone #: _____ Agent/Attorney e-mail: _____

Signature of Owner/Agent/Attorney

Michelle Flowers
William Flowers

Date: 8/19/21



Criteria for a Variance: (Please provide a written statement regarding each criteria).

You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.

In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.

1. Uniqueness of property:

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

2. Cannot otherwise be developed:

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

3. Not created by the applicant:

That such exceptional practical difficulty has not been created by the appellant.

4. Will not alter the essential character of the neighborhood:

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

5. Minimum variance:

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

See separate attached document

Criteria for Variance (attachment for Board of Adjustment Application)

Michelle / William Flowers

20667 Mulberry Knoll Road, Lewes, DE 19958

334-18-00-56.00

1 – Uniqueness of Property

The back, middle of our property is the only feasible location to add additional square footage or living space on our ~1200 square foot home for the following reasons:

- There is an existing sliding glass door off the kitchen that will provide direct access to the sunroom.
- We are limited on designing additional width in the room on both back-end sides of the home (looking at the house from the front) because our,
 - o Underground well system and crawl space access are located on the back right side of the home, and
 - o Septic hookup (and future sewer hookup) is located on the back left side.

I believe it is also important to mention our property backs to a significant wooded buffer between us and our neighbor directly behind us (Claire Wade).

2 – Cannot otherwise be developed:

With the design constraints relative to the well and septic systems being located on both back ends of our property, coupled with the setback guideline on the back side of the property, we would be limited to a 12-foot-deep room, which severely limits the livable space and does not allow us to meet our open concept design goal that includes ample space for couches, chairs, bar, crab-eating table, etc. While this home is currently a secondary property, all remodel initiatives have been and continue to be based off this being our forever home in 3 years' time.

3 – Not created by the applicant:

The property setback restriction is the only issue.

4 – Will not alter the essential character of the neighborhood:

While the sunroom will only be visible to 3 of our neighbors, it will only enhance the character of the neighborhood by increasing the value of our home and likewise increase the value of other homes in our small, private community.

5 – Minimum variance:

An authorized variance will allow us to move forward with our approved permit 202101611 sunroom design (16-foot deep with overhang; 4-foot encroachment on the 20-foot setback).

Additional Information:

Please know we are not attempting to make the size of the sunroom anything exceptional. Our goal is to simply increase the living space in our forever home and ultimately compliment the open floor plan inside. We purchased this major fixer upper house in 2019 and the upgrade initiatives to-date (windows, doors, siding, landscaping, bathroom remodels, kitchen remodel) have resulted in our neighbors stopping to introduce themselves and to say how incredibly happy they are with the improvements. Our surrounding neighbors have also said they are in full support of the requested setback variance for the sunroom/deck addition.

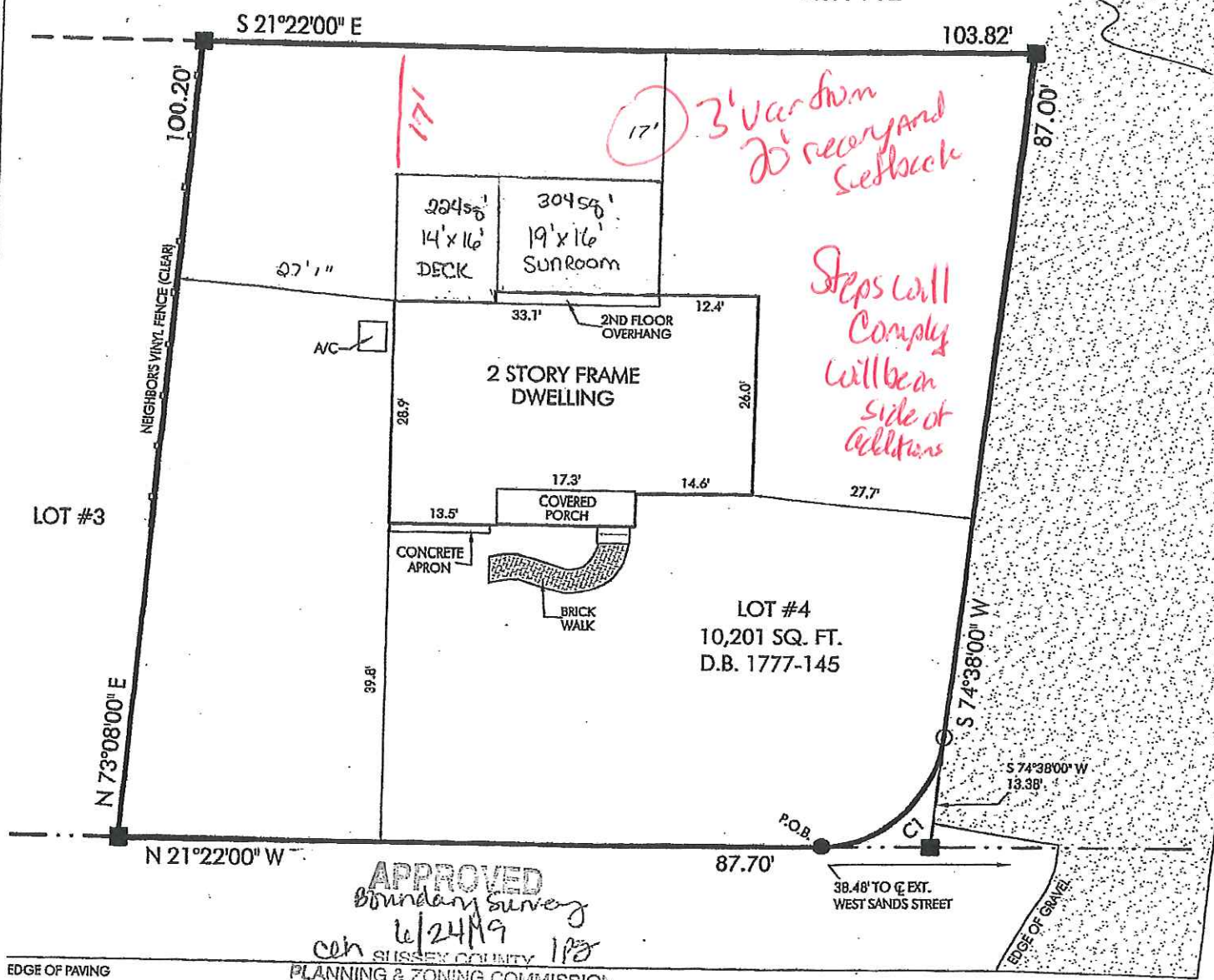


P+Z Review Copy

T.M. #3-34-18.00-56.00

PARCEL "C" OF
"MULBERRY KNOLL" SUBDIVISION
AMENDED RECORD PLAT
P.B. 74-92

| CURVE | RADIUS | ARC LENGTH | CHORD LENGTH | CHORD BEARING | DELTA ANGLE |
|-------|--------|------------|--------------|---------------|-------------|
| C1 | 15.00' | 21.90' | 20.01' | N 63°17'15" W | 83°39'50" |



APPROVED
Boundary Survey
6/24/19
ceh SUSSEX COUNTY
PLANNING & ZONING COMMISSION

BOUNDARY SURVEY PLAN FOR MICHELLE FLOWERS & WILLIAM R. FLOWERS, SR.

20667 MULBERRY KNOLL ROAD, LEWES
LOT #4, SECTION "A" OF "BAY SHORE HILLS" SUBDIVISION
LEWES & REHOBOTH HUNDRED SUSSEX COUNTY
STATE OF DELAWARE
JUNE 19, 2019 SCALE: 1" = 20'

- LEGEND:**
- IRON PIPE (FOUND)
 - CONCRETE MONUMENT (FOUND)
 - POINT

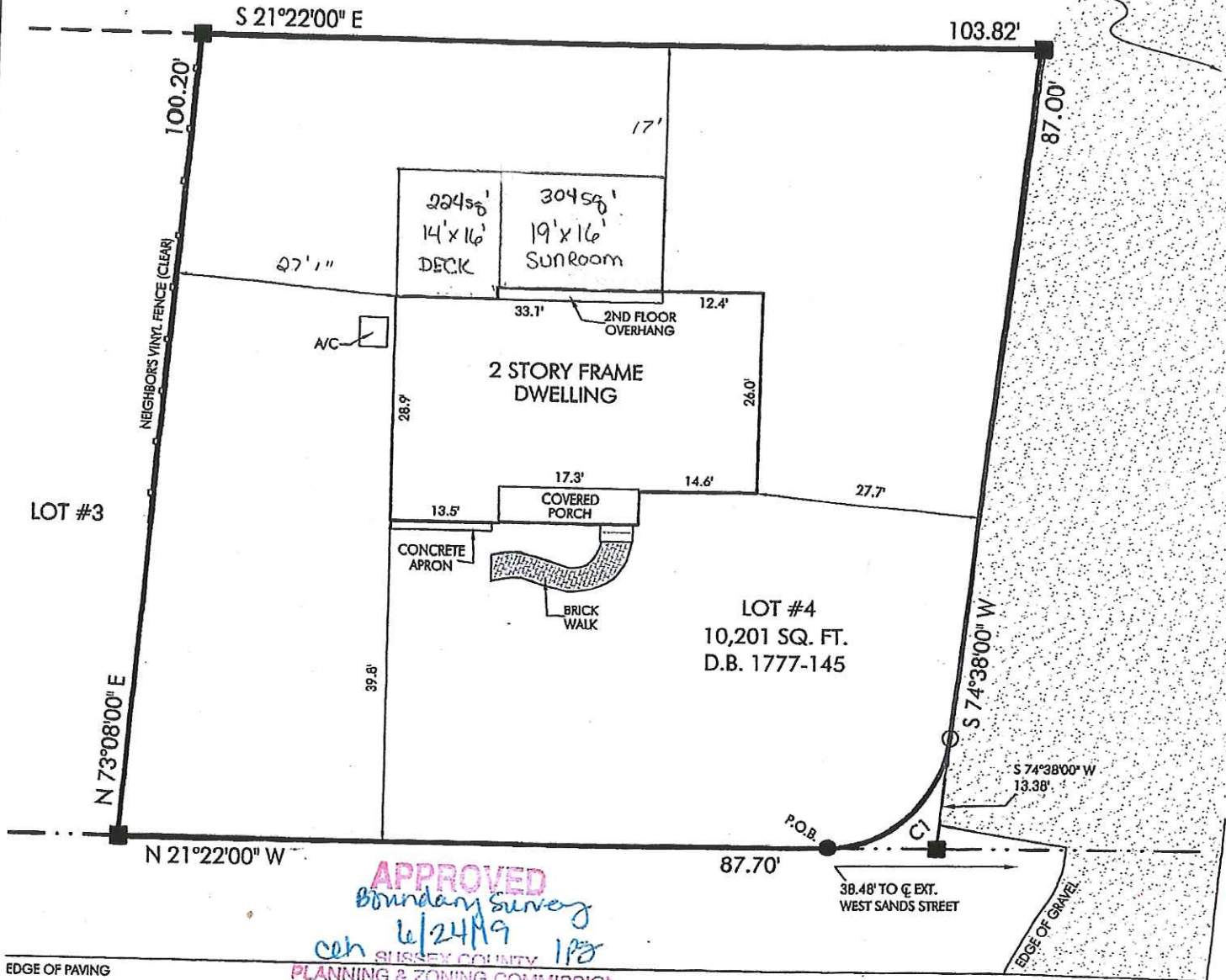
NOTES:
ALL RESTRICTIONS MUST BE VERIFIED BY THE HOME OWNER, GENERAL CONTRACTOR AND/OR THE DESIGNER. PLEASE CALL SUSSEX CO. (302-855-7878) AND THE H.O.A. (MORE RESTRICTIVE SUPERSEDES).
THIS DRAWING DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF WETLANDS, UTILITIES, RIGHT-OF-WAYS OR EASEMENTS IN REFERENCE TO OR LOCATED ON THIS PROPERTY.
NO TITLE SEARCH PROVIDED OR STIPULATED.
SURVEY CLASS: SUBURBAN

Prepared by:
FORESIGHT Services
Surveying & Precision Measurement

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T.M. #3-34-18.00-56.00

PARCEL "C" OF
"MULBERRY KNOLL" SUBDIVISION
AMENDED RECORD PLAT
P.B. 74-92



EDGE OF PAVING

MULBERRY KNOLL ROAD (50' R/W)
A.K.A. BAY SHORE DRIVE

BOUNDARY SURVEY PLAN FOR
**MICHELLE FLOWERS &
WILLIAM R. FLOWERS, SR.**

20667 MULBERRY KNOLL ROAD, LEWES
LOT #4, SECTION "A" OF "BAY SHORE HILLS" SUBDIVISION
LEWES & REHOBOTH HUNDRED SUSSEX COUNTY
STATE OF DELAWARE
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Prepared by:

FORESIGHT Services

Surveying & Precision Measurement

302 226 2229 phone

302 226 2239 fax

2103A Coastal Highway

Dewey Beach, DE 19971

PLEASE POST

A BUILDING PERMIT

Has Been Issued

To Erect Improvements
ON THESE PREMISES

IN ACCORDANCE WITH CONDITIONS OF PERMIT

In all cases where operation or work is being performed under a new building permit, this poster or sign shall be conspicuously displayed upon that part of the site of such operation or work which is closest to a street or public highway, so that such poster or sign shall be visible to the general public at all times.

A FINAL INSPECTION MUST BE MADE AND A CERTIFICATE OF OCCUPANCY ISSUED BY PLANNING & ZONING OFFICE PRIOR TO AN OCCUPANCY OR INTENDED USE OF BUILDING.

202101011

BOARD OF ASSESSMENT



Building Permit
P.O. Box 589
Georgetown, DE 19947
302-855-7720

| Application Number |
|-------------------------|
| 202101611 |
| Issue Date: 02/22/2021 |
| Expire Date: 02/22/2022 |

Permit Type: RES. ADDITION OUT OF TOWN

| Parcel ID | Address | Zone Code |
|-----------------|---------------------------|-----------|
| 334-18.00-56.00 | 20667 MULBERRY KNOLL ROAD | AR-2 |

| Owner Information | Applicant Information |
|----------------------------------|--|
| Name: FLOWERS MICHELLE Phone: | Name: UNLIMITED EXTERIORS LLC Phone: 302-367-4592 |

| Contractor Information | |
|---|---|
| Name: FLOWERS MICHELLE CID: 273185 Phone: | License Number: License Exp. Date: Insurance Exp. Date: |

| Building Information |
|---|
| Proposed Use: ADDITIONAL ROOMS Construction Type: Estimated Cost of Construction: \$ 16,496 Cannot Occupy More than _____ of Total Lot Area Distance from any Dwelling of other Ownership: _____ Distance from any other Mobile Home or Accessory Structure: _____ |

| Property Information |
|--|
| Measurements taken from Property Lines Front Setback: 40.00 /MULBERRY KNOLL RD Rear Setback: 20.00 / Side Setback: 15.00 / Corner Setback: /E SANDS ST Maximum Building Height: 42 Location Description: FLOOD ZONE BAY SHORE HILLS LOT 4 SEC A W/IMP EAST SANDS ST Flood Zone: XP334K _____ If Initialed, See Attached Flood Plan Construction Review Coastal and Flood-Prone Area Building Requirements. |

Project Description: RES ADD W/ BC


Scope of Work:

ADDING 19 X 16 FOUR SEASON ROOM
14 X 16 DECK UNDER 30"

Permit Details:



Signature of Approving Official



Signature of Owner/Contractor

I fully understand the Zoning Requirements of this permit.

Building Permit Acknowledgement:

I/we the undersigned, acknowledge I/we have read and accept the terms of this Building Permit and shall comply with the rules and restrictions related to this building activity. This permit shall expire one (1) year from the date of issue. This permit may be renewed prior to its expiration date if construction has begun and continued in a normal manner and not discontinued for reasons other than those beyond the permit-holder's control. Grading or surface-shaping of the site shall not be considered as actual construction.
I/we further acknowledge, ASSESSORS AND INSPECTORS HAVE A RIGHT TO ENTER AND ACCESS THE PREMISES TO ASSESS AND INSPECT PROPERTY. The owner or owners of these premises do hereby consent to Sussex County Officials' right to enter upon said premises during the construction of which this permit is granted, or within a reasonable time thereafter, for the purposes of assessing and inspecting said property.
THE APPROVAL OF THIS PERMIT APPLICATION PERTAINS ONLY TO COMPLIANCE WITH SUSSEX COUNTY ZONING ORDINANCES. IT IS NOT TO BE CONSTRUED AS AN APPROVAL FOR THE REQUIREMENTS OF ANY OTHER GOVERNMENTAL AGENCY, WHICH MAY PERTAIN TO THIS SITE. AND FURTHER, IT IS ACKNOWLEDGED AND UNDERSTOOD THAT THIS PERMIT MAY BE REVOKED BY SUSSEX COUNTY FOR ANY VIOLATION OF THE TERMS OF THIS PERMIT OR OF ANY COUNTY, STATE OR FEDERAL LAW APPLICABLE TO THIS PERMIT.

| | | | |
|----------------------|-----------|--------------------|----------|
| Permit Number | BP-150820 | TOTAL FEES: | \$ 96.74 |
|----------------------|-----------|--------------------|----------|



Building Description

Total Bedrooms:

Heat Type:

Full Baths:

Half Baths:

Roofing:

Total Rooms:

Exterior Walls:

Basement:

Foundation Type:

Interior Walls:

Fireplace Type:

Flooring:

Air Conditioning: N

Additional Requirement/Restrictions


_____ Accessory Building 900 Square Feet or Greater
No more than four (4) vehicles permitted in structure without a Planning & Zoning Hearing.

_____ Agricultural Storage Structures
Storage only. NO LIVESTOCK PERMITTED.

_____ Campgrounds
Must conform to the location approved by the park.

_____ Farm-Use Permits
Prior to issuance of the Certificate of Occupancy, it must be confirmed that the building will be used for farm use only. Otherwise, the permit will be voided and plans must be submitted to the Building Code Department.

_____ Fences
Fence may only be 3.5' tall along the front property line and from the road back to the mandated front yard setback. Thereafter, fence may be a maximum of 7' tall. On corner lots, the fence may only be 3' tall along the corner fronts and 25' from the intersection of property lines. Fence may be installed on property line.

 _____ Parcel Setbacks
All building structures and improvements shall comply with the parcel setback measurement requirements as mandated in the Sussex County Zoning Ordinance. Failure to comply with the parcel setback measurement requirements is a violation.

_____ Pools (Above-Ground)
Must have ladder up and locked at all times when not in use. Pool must be 4' high above grade. If not, a fence is required around perimeter of pool

_____ Pools (In-Ground)
A minimum 4' tall fence must be around the perimeter of the pool. A minimum 3' walkway must be between the pool and fence. Gate must be locked at all times when the pool is not in use.

_____ Pools or Guest Homes
No Cooking facilities of any kind are permitted in the structure. No separate electrical meters are permitted.

_____ Tax Ditch
Property records indicate a State regulated tax ditch appears on this property. All building activity shall comply with the rules and requirements related to State regulated tax ditches and the respective tax ditch easements.

BUILDING CODE

MAIN OFFICE (302) 855-7860
MAIN OFFICE (FAX) (302) 855-7821
INSPECTION SCHEDULING (302) 858-5500
INSPECTIONS (FAX) (302) 855-7821
PLAN REVIEW (302) 855-7860
PLAN REVIEW (FAX) (302) 855-7869



Sussex County

DELAWARE
sussexcountype.gov

ANDY WRIGHT
CHIEF OF BUILDING CODE

ADDITIONAL CODE REQUIREMENTS # 202101611 m

2012 International Residential Code & 2012 International Building Code PROVIDE ON-SITE ALL DELAWARE SEALED SPECIFICATIONS FOR ANY MANUFACTURED & ENGINEERED

STRUCTURAL BUILDING COMPONENTS INCLUDING BUT NOT LIMITED TO: WOOD TRUSSES, I-JOISTS, STRUCTURAL COMPOSITE LUMBER & STEEL BEAMS.

The approved set of prints shall be kept at the job site and open to inspection.

*** A separate Inspection for perimeter or under slab insulation board for "Pole Building" style Dwellings or Dwellings with a Monolithic turn down slab or slab on grade foundation is required.

- R302 FIRE-RESISTANT CONSTRUCTION: Construction, projections, openings & penetrations of exterior walls of dwellings & accessory buildings shall comply with Table R302.1(1).
- R302.2 TOWNHOUSES: Each townhouse shall be considered a separate building & shall be separated by fire-resistance-rated wall assemblies.
- R302.5 DWELLING/GARAGE OPENING/PENETRATION PROTECTION (garage door to house separation): self-closing, solid wood doors/steel doors $\geq 1\frac{3}{8}$ inches in thickness or 20-minute fire-rated doors. Openings into non-sleeping rooms only.
- R302.6 DWELLING/GARAGE FIRE SEPARATION: from the residence and attics: $\geq \frac{1}{2}$ -inch gypsum board applied to the garage side; habitable rooms above the garage: $\frac{5}{8}$ -inch Type X gypsum board; garages located less than 3 feet from a dwelling unit on the same lot: $\geq \frac{1}{2}$ -inch gypsum board applied to the interior side of exterior walls
- R302.7 UNDER-STAIR PROTECTION: Enclosed accessible space under stairs shall be protected with $\frac{1}{2}$ -inch gypsum board.
- R303.7 STAIRWAY ILLUMINATION: All interior & exterior stairways shall be provided with a means to illuminate the stairs, landings and treads; exterior stairways: artificial light source located in the immediate vicinity of the top landing; exterior stairways (access to a basement from the outside): artificial light source located in the immediate vicinity of the bottom stairway landing.
- R302.11 FIREBLOCK: fireblocking shall be provided to cut off all concealed draft openings (both vertical & horizontal) to form an effective fire barrier between stories & the roof space.
- R302.12 DRAFTSTOPPING: In combustible construction where there is usable space both above and below the concealed space of a floor/ceiling assembly, draftstops shall be installed.
- R303.3 BATHROOMS (fans): Bathrooms, water closet compartments and other similar rooms shall be provided with aggregate glazing area in windows of not less than 3 sf. one-half of which must be openable. **Exception:** The glazed areas shall not be required where artificial light and a local exhaust system are provided. Exhaust air from the space shall be exhausted directly to the outdoors.
- R303.4 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM (IECC: 403.5.1): air infiltration rate less than 5 air changes per hour: provide whole-house mechanical ventilation per M1507.3. **IECC R401.3 Certificate (Mandatory):** A permanent certificate shall be completed and posted on or in the electrical distribution panel by the builder or registered design professional.
- R305.1 CEILING HEIGHT: Minimum ceiling height of 7 feet. Rooms with sloped ceilings: minimum ceiling height of 7 feet for at least 50% of the floor area and no floor area with less than 5 feet. Bathrooms: minimum ceiling height of 6 feet 8 inches per Figure R307.1.
- R308.4 GLAZING HAZARDOUS LOCATIONS:
- IN DOORS: all fixed and operable panels of swinging, sliding and bifold doors.
 - ADJACENT TO DOORS: individual fixed or operable panel adjacent to a door where the nearest vertical edge of the glazing is within a 24" arc of either vertical edge of the door in a closed position and the bottom exposed edge of the glazing is less than 60" above the floor or walking surface. See exceptions.
 - IN WINDOWS: Glazing in an individual fixed or operable panel that meets **ALL** of the following: a: individual pane is larger than 9 square feet, b: bottom edge of the glazing is less than 18" above the floor, c: top edge of glazing is more than 36" above the floor, d: One or more walking surfaces are within 36", (a horizontal straight line) of the glazing.
 - IN GUARDS & RAILINGS: structural baluster panels and nonstructural in-fill panels.



R308.4 GLAZING HAZARDOUS LOCATIONS cont'd.

5. **WET SURFACES:** (applies to single glazing and all panes in multiple glazing) any walls, enclosures or fences containing or facing hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs, showers and indoor or outdoor swimming pools where the bottom exposed edge of the glazing is less than 60 inches above any standing or walking surface (Exception: Glazing that is more than 60" measured horizontally from the water's edge).

6. **ADJACENT STAIRS & RAMPS (& landings):** bottom exposed edge of the glazing is less than 36" above the adjacent walking surface. Exceptions: a. When a rail is installed on the accessible side(s) of the glazing 34" – 38" above the walking surface, be capable of withstanding a horizontal load of 50 pounds per linear foot without contacting the glass and be $\geq 1\frac{1}{2}$ " in cross sectional height. b. Glazing ≥ 36 " measured from the walking surface.

7. **ADJACENT TO BOTTOM STAIR LANDING:** glazing is less than 36" above the landing and within 60" of the bottom tread. Exception: The glazing is protected by a guard complying with Section R312 and the plane of the glass is more than 18" from the guard.

R308.6

SKYLIGHTS & SLOPED GLAZING: types of glazing may be used: 1. Laminated glass (per IRC requirements) 2. Fully tempered glass. 3. Heat-strengthened glass. 4. Wired glass. 5. Approved rigid plastics. Roof pitch less than 3/12 (25% slope): mount on a curb extending at least 4 inches above the plane of the roof or per manufacturer instructions.

R309.1

GARAGE (FLOOR SLOPE): sloped to move liquids to a drain or the garage door.

R310

EMERGENCY ESCAPE & RESCUE OPENINGS:

1. Basements, habitable attics and every sleeping room: at least one operable opening that opens directly into a public way, or yard opening to a public way; sill height: ≤ 44 "; clear opening: 5.7 sf (grade floor: 5 sf if within 44" of grade); clear opening height: minimum 24"; clear opening width: minimum 20". **Exception:** Basements used only to house mechanical equipment and not exceeding total floor area of 200 sf.

2. Basement window well: shall be 9 sf, a minimum of 36" X 36", & allow window to open fully.

3. Under decks and porches: allowed when window can be fully opened & provides a path ≥ 36 " in height to a yard or court.

4. Bars, grilles, covers, screens: are permitted, must provide the minimum net clear opening, and be releasable or removable from the inside without the use of a key, tool, etc.

R311

EGRESS: provide a continuous and unobstructed path of vertical and horizontal egress travel without travel through a garage.

1. Egress Door: **At least one egress door**, be side-hinged, a minimum clear width of 32", clear height ≥ 78 " & openable from inside without the use of a key, special knowledge or effort.

2. Floors & landings at exterior doors: a landing or floor is required on each side of each exterior door; minimum landing: 3' x 3'. Other exterior doors other than the required egress door: **Exception:** A landing is not required where a stairway of two or fewer risers is located on the exterior side of the door, provided the door does not swing over the stairway.

3. Habitable levels, attics and basements without an egress door: provide egress by a ramp or a stairway.

4. Exterior landings, decks, balconies & stairs: positively anchored to the primary structure or be self-supporting; no toenailing.

5. Hallways: minimum width $\geq 3'$.

6. Stairways / steps:

a. Width: ≥ 36 " at all points; clear width at or below one installed handrail: $\geq 31\frac{1}{2}$ "; clear width at or below installed handrails on both sides: > 27 ".

b. Headroom: $\geq 6' 8$ ".

c. Vertical rise: $\leq 12'$ between floor levels or landings.

d. Risers: maximum $8\frac{1}{4}$ ".

e. Landings for stairways: a floor or landing is required at the top and bottom of each stairway. **Exception:** A floor or landing is not required at the top of an interior flight of stairs, including stairs in an enclosed garage, provided a door does not swing over the stairs.

f. Handrails: Handrails shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Maximum diameter: $3\frac{1}{4}$ ". Wood/plastic composites to be installed per manufacturer specs.

g. Spiral Stairways: ≥ 26 " clear width at & below the handrail; tread depth: $\geq 7\frac{1}{2}$ " at 12" from the narrow edge and treads are to be identical; riser: $\leq 9\frac{1}{2}$ "; headroom: $\geq 6' 6$ ".

7. Ramps: maximum slope of 1 in 12 (8.3% slope). **Exception:** Where it is technically infeasible to comply because of site constraints, ramps may have a maximum slope of 1 in 8 (12.5% slope). Ramp landings: minimum 3' x 3' at the following areas: 1. At the top and bottom of ramps. 2. Where doors open onto ramps. 3. Where ramps change direction. Ramp handrails: least one side of all ramps exceeding a slope of 1 in 12 (8.3 % slope) and on both sides of open-sided walking surfaces if over 30" from floor or grade below.

- R312** **GUARDS:** required along open-sided walking surfaces (including porches, balconies, stairs, ramps and landings) over 30" from floor or grade below; guard height: $\geq 36"$; Height Exceptions: 1. Guards on the open sides of stairs: $\geq 34"$; 2. top of guard also serves as a handrail on the open sides of stairs: guard shall be $34" - 38"$. Opening limitations: 4" sphere cannot pass through. See exceptions.
- R312.2** **WINDOW FALL PROTECTION:** Window fall protection shall be provided where the lowest clear opening of an operable window is a minimum of 24" from the finished floor and is over 72" from the exterior finished grade or surface below. The window opening control device must not allow a 4" diameter sphere to pass. After releasing the window opening control device, the window fully opens. Window fall prevention devices must comply with ASTM F 2090.
- R313** **AUTOMATIC FIRE SPRINKLER SYSTEM:** An automatic residential fire sprinkler system shall be installed in dwellings with 4 or more stories.
- R314** **SMOKE ALARMS:** hardwired to electric with battery backup & interconnected unless wireless alarms are installed and all alarms sound upon activation of one alarm. 1. Installation locations: 1. In each sleeping room. 2. Outside each separate sleeping area in the immediate vicinity of bedrooms. 3. On each additional story including basements & habitable attics (not in crawlspaces & uninhabitable attics). Split level dwellings have an exception. 2. Alterations, repairs or additions: be equipped with smoke alarms as required for new dwellings. Exceptions: 1. Work involving exterior work: (replacement of roofing / siding, addition / replacement of windows / doors, addition of a porch / deck). 2. Installation, alteration or repairs to the plumbing / mechanical systems. 3. Interconnection in existing areas are not required where alterations / repairs do not result in removal of interior wall or ceiling finishes exposing the structure, unless there is an attic, crawl space or basement available which could provide access for interconnection.
- R315** **CARBON MONOXIDE ALARMS:** New construction & existing dwellings requiring a building permit: carbon monoxide alarms shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms when the home has fuel-fired appliance and/or an attached garage. (Monitored carbon monoxide detection systems are permitted.)
- R318.1** **PROTECTION AGAINST SUBTERRANEAN TERMITES:** provide one or more methods of protection per R318.
- R319.1** **SITE ADDRESS (911 address):** Numbers 4" high X $\frac{1}{2}"$ wide (minimum).
- R401.3** **FOUNDATION GRADE (slope):** 6" minimum fall from foundation within 10' of foundation.
- R403.1** **FOOTINGS:** in undisturbed soil or engineered fill; 24" minimum to bottom of footer from final grade; rebar not required; continuous spread footer minimum size: 8" deep x 16" wide (turned-down footer with monolithic slab: 12" wide)
- R403.1.6** **FOUNDATION ANCHORAGE (anchor bolts):** $\geq \frac{1}{2}"$ anchor bolt (with washer & nut) spaced 6' O.C. and one bolt no more than 12" from each foundation corner.
- R406.2** **CONCRETE & MASONRY FOUNDATION WATERPROOFING:** exterior foundation walls below grade (basements) shall be waterproofed with code approved materials and coatings.
- R407.3** **COLUMNS (wood, steel attachment):** Wood columns size: $\geq 4" \times 4"$; Steel columns size: $\geq 3"$ diameter; protect from decay or corrosion; restrain from lateral displacement.
- R408.2** **VENTILATION (under floor):** openings shall be ≥ 1 sf for each 150 sf of under-floor space area unless ground is covered by Class 1 vapor retarder then openings shall be ≥ 1 sf for each 1,500 sf; one ventilation opening shall be within 3' of each corner of the building.
- R408.3** **UNVENTED CRAWLSPACE (conditioned):** Exposed earth is covered with a continuous Class I vapor retarder, taped & sealed joints, attached & sealed to stem wall or insulation AND a continuously operated mechanical exhaust ventilation, a conditioned air supply or a plenum (in existing structures) is installed.
- R408.4** **UNDER FLOOR ACCESS (foundation):** through floor: minimum size 18" X 24"; through perimeter wall: minimum size 16" X 24"
- R501.3** **FIRE PROTECTION OF FLOORS:** 1/2" drywall or 5/8" wood structural panel membrane, on the underside of the floor joists; Exceptions: 1. floor protected by an automatic sprinkler system, 2. floor over a crawl space not intended for storage or fuel-fired appliances, 3. Portions of floor assemblies can be unprotected when: total area of the unprotected portions ≤ 80 sf. or fire blocking installed along the perimeter of the unprotected portion or wood floors using dimension lumber or structural composite lumber $\geq 2" \times 10"$.
- R502** **CANTILEVERS:** in accordance with Table R502.3.3(1) or Table R502.3.3(2).
- R506** **SLAB-ON-GROUND:** min. 3.5" thick and all vegetation, top soil & foreign material removed.
- R507** **DECKS:** positively anchored to the primary structure or self-supporting; no toenailing; LEDGERS and BAND BOARDS: flashed, minimum p.t. 2" x 8" with $\frac{1}{2}"$ diameter lag screws and bolts—staggered pattern per Table R507.2.1; WOOD/PLASTIC COMPOSITES install per the manufacturer's instructions; CANTILEVERED DECKS: constructed to resist uplift.
- R703.1** **EXTERIOR COVERING (including housewrap):** exterior wall envelope shall be weather-resistant & include flashing.

| | |
|-------------|--|
| R703.7 | STONE & MASONRY: Stone / masonry veneer: installed per IRC chapter 7, Table R703.4 and Figure R703.7; height limitations above a noncombustible foundation: see Table R703.7(1). |
| R703.8 | FLASHING: Approved corrosion-resistant flashing shall be applied shingle-fashion in a manner to prevent entry of water into the wall cavity or penetration of water to the building structural framing components. sill wrap: flashings shall be installed per manufacturer instructions at all exterior window and door openings. |
| R703.10.1 | PANEL SIDING: Fiber-cement panels shall comply with the requirements of ASTM C 1186, Type A, minimum Grade II and manufacturer's installation instructions. |
| R703.11 | VINYL SIDING: install per manufacturer's installation instructions. |
| R801.3 | ROOF DRAINAGE: gutters & downspouts required for water drainage from foundations. |
| R802.3.1 | CEILING JOIST & RAFTER CONNECTIONS: <u>ceiling joists or rafter ties</u> are required at every rafter. <u>Collar ties or ridge straps</u> are required to be in the top third of the attic space, a minimum of 1"x4", & spaced not more than 48" on center. Cathedral ceilings (no ceiling joists or rafter ties) must have the wall or ridge beam carry the full roof load. Walls need to be supported by a continuous foundation and/or beams & girders. The ridge beam must be able to support the full load of the rafters. |
| R802.11 | ROOF TIE-DOWN (hurricane ties): rafters / trusses shall be attached to supporting walls & capable of resisting roof uplift. |
| R806.2 | ROOF VENTILATION: minimum: $1/150$ of the area of the vented space. Exception: minimum $1/300$ of the vented space providing at least one of the following: 1. Class I or II vapor retarder is installed on the warm-in-winter side of the ceiling 2. At least 40% and not more than 50% of the required ventilating area is provided with ventilators. |
| R807 | ATTIC ACCESS: minimum 22" X 30" attic access opening to attic areas that are more than 30 sf and a height of ≥ 30 ". |
| R905.2 | ASPHALT SHINGLES: slopes: $\geq 2:12$; install per manufacturer. |
| R905.4 | METAL ROOFING: <u>panels:</u> install per manufacturer specifications; <u>metal roof shingles:</u> install on $\geq 3:12$ pitch per IRC and manufacturer's installation instructions. |
| R905.5 | MINERAL-SURFACE ROLL ROOFING: install on $\geq 3:12$ pitch per IRC and manufacturer's installation instructions. |
| R905.10.1 | METAL ROOF PANELS: Metal roof panel roof coverings shall be applied to solid or spaced sheathing, except where the roof covering is specifically designed to be applied to space supports. The manufacturer's installation instructions govern. |
| R1001/R1003 | MASONRY FIREPLACES / CHIMNEYS: <ol style="list-style-type: none"> 1. <u>footings:</u> min. 12" thick by ≥ 6" beyond the face of the fireplace/foundation wall on all sides. 2. <u>clearance:</u> ≥ 2" from the front and sides; ≥ 4" from the back. 3. <u>fireblocking:</u> required to cut off all concealed draft openings (vertical and horizontal). 4. <u>hearth extensions:</u> extend ≥ 16" in front & ≥ 8" beyond each side of fireplace opening; 5. <u>fireplace opening</u> > 6 sf; hearth extension shall extend ≥ 20" in front & ≥ 12" beyond each side of fireplace opening. |
| R1004/R1005 | FACTORY-BUILT FIREPLACES / CHIMNEYS: per IRC and manufacturer's installation instructions. |
| M1305.1.3 | APPLIANCES IN ATTICS: attics containing appliances shall have a minimum clear opening of 20" by 30" and large enough to allow removal of the largest appliance. |
| M2005 | WATER HEATERS: installed per manufacturer's instructions <u>and</u> the IRC code. <u>Fuel-fired:</u> 1. not be installed in a storage closet. 2. in a bedroom or bathroom: must be installed in a sealed enclosure. Installation of direct-vent water heaters within an enclosure is not required. |

BUILDING CODE

MAIN OFFICE (302) 855-7860
MAIN OFFICE (FAX) (302) 855-7821

INSPECTION SCHEDULING (302) 858-5500
INSPECTIONS (FAX) (302) 855-7821

PLAN REVIEW (302) 855-7860
PLAN REVIEW (FAX) (302) 855-7869



Sussex County

DELAWARE
sussexcountyde.gov

ANDY WRIGHT
CHIEF OF BUILDING CODE

SINGLE FAMILY INSPECTION REQUIREMENTS

Application # 202101611

FOOTING INSPECTION-

- Prior to pouring concrete
- Minimum of 24" inches below finished grade
- Pole buildings must be a minimum 36" inches below grade
- Re-bar and reinforcement tied and in place (when required)
- Footings free of debris, organic material and water
- Concrete shall not be placed on frozen soil

FOUNDATION SET BACK INSPECTION-

- For projects utilizing an engineering company to perform footing inspections.
- Not required if a sealed foundation as-built survey is provided
- Foundation installed
- No framing started

PRE-SLAB INSPECTION-

- Required for conditioned areas on slab on grade for "Pole Building" style dwellings or dwellings with "turndown" slabs.
- Perimeter insulation installed prior to pouring slab
- Proof of DE State plumbing inspection MUST be on site

TRACK INSPECTION-

- Required for pre-engineered sunrooms
- Track installed for floor and/or roof panels

HOUSEWRAP/FRAMING INSPECTION-

- Housewrap inspection may be scheduled before the framing inspection as a separate inspection.
- Building is weather tight (roof covering & housewrap)
- Electrical and plumbing inspected with stickers on site
- Mechanical ducts and boots installed and sealed
- Draft stopping and fire blocking completed
- Basement waterproofing complete and certification provided
- Certifications for pre-engineered products on site
- Framing inspection before exterior covering is installed
- No insulation is to be installed before framing inspection

- Pole buildings require a header inspection prior to any exterior or interior wall covering is installed
- Plant built portions of modular homes do not require framing inspection but are required a "Close-In" inspection after the units are set and before mating wall have exterior covering installed.
- Site built portions of a modular home project are still required a framing inspection.

ENERGY INSPECTION (DWELLINGS, CONDITIONED ADDITIONS & ACCESSORY STRUCTURES)-

- 2018 Energy compliance ("Res-Check") must be on site.
- Building envelope sealed from all air drafts
- All insulation properly installed.
- Thermal stickers for doors and windows must be in place.
- Modular homes to have all air gaps in mating walls sealed and site-built portion such as: finished cape cods, rooms over garages, additional living spaces...etc.) certification and a permanent certificate must be completed and posted in or around the electric box before final inspection.

FINAL INSPECTION-

- The following items must be on file with Building Inspections BEFORE scheduling final inspection:
 - On-site wastewater/septic completion report (with red stamp) from DNREC
 - DelDOT entrance permit when required on new construction
 - Final elevation certificate (when in flood zone)
- Work is completed
- Electrical and plumbing have been inspected with stickers on site.
- Blower door/energy certification posted in or around electric panel
- Duct blaster certification ONLY if any of duct work is in unconditioned space
- Rough grade for proper drainage away from structure
- Gutters and downspouts installed
- 911 addresses must be posted
- Attic and crawlspace insulation installed
- Must provide access to attic areas



SETBACK INSPECTION-

- Automatically generated when you pass final inspection
- Not required if a Final Survey is provided

CERTIFICATE OF OCCUPANCY-

- Issued when the above documents are received, and Sussex County field inspections are completed.

County approved plans must be kept on job site for inspectors' review to receive an inspection.

Additional inspections after 5 inspections (Except Modular Home Projects without site-built additions) shall be charged \$40.00 per trip and to be paid before the issuance of the certificate of occupancy. Modular Home projects will be charged \$40.00 per trip after 4 inspections.

Before requesting any inspection, all "third party" reports such as; engineered footing reports, piling blow counts, water proofing certificates, stamped truss repairs, and energy certificate reports must be emailed to our Inspection Office at buildinginspections@sussexcountyde.gov. Application number must be included.

Any requested inspection failing to provide any of the above-mentioned reports, will not be scheduled.

TO SCHEDULE INSPECTIONS:


PLEASE CALL 24 HOURS IN ADVANCE AT 302-858-5500 BETWEEN 7:30 a.m. & 3:00 p.m.

OR USE THE "INSPECTION REQUEST" WEBFORM, FOUND AT THE BOTTOM OF:

www.sussexcountyde.gov

MUST HAVE APPLICATION NUMBER TO SCHEDULE INSPECTIONS.

All inspections can now be viewed on the County's website using the "Self Service Portal." To access this feature, please visit: www.sussexcountyde.gov and click on the "Self Service Portal" link at the bottom of the page. You will need to enter your Parcel ID or Application reference number to view all inspection results. Both numbers can be found on your building permit.

SIGNATURE  DATE Feb, 3 2021

PRINT NAME Theodore H McCarthy Jr OWNER or CONTRACTOR
Circle one:

PHONE # 302. 362-4591

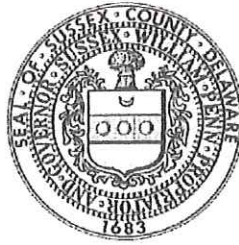
EMAIL unlimitedexteriorsnc@gmail.com

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Sussex County

DELAWARE
sussexcountype.gov

ANDY WRIGHT
CHIEF OF BUILDING CODE

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- 911 addresses must be posted
- Attic and crawlspace insulation installed
- Must provide access to attic areas



SCALE 1/4" = 1'

TO BE KEPT ON JOB SITE

SEE ADDITIONAL CODE REQUIREMENTS

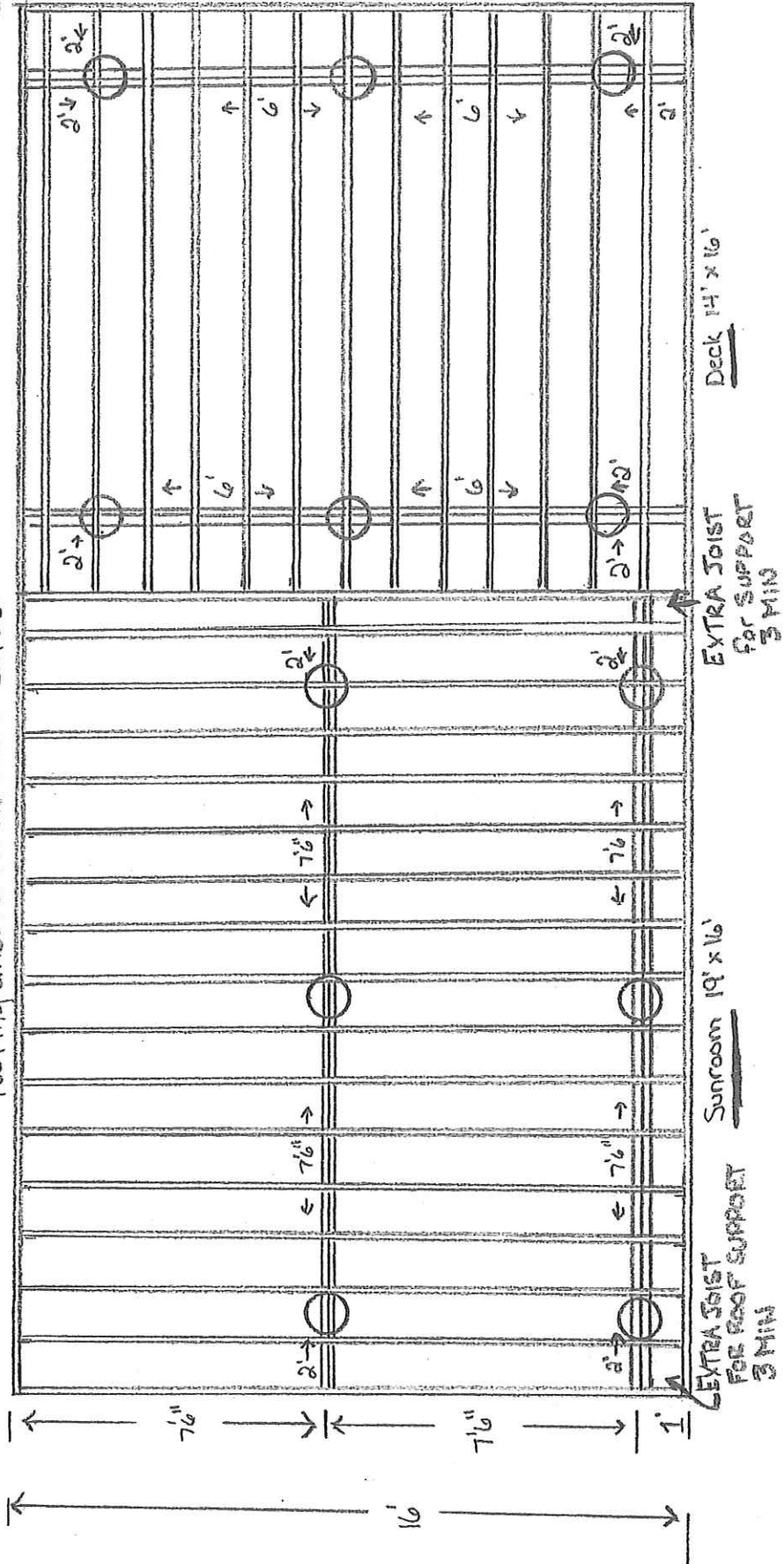
NOTES: ALL JOIST 2x8

BEAMS 2x10

16" O/C FRAMING

3-Ledger Locks per 16" o/c
3/8"

ENTRY
↓
Footings and Floor Framing Layout



OWNER:
Michelle + William Flowers
20667 Mulberry Knoll Road
Levies DE

REVIEWED FOR
CODE COMPLIANCE
DATE 2/19/2021
SIGNED

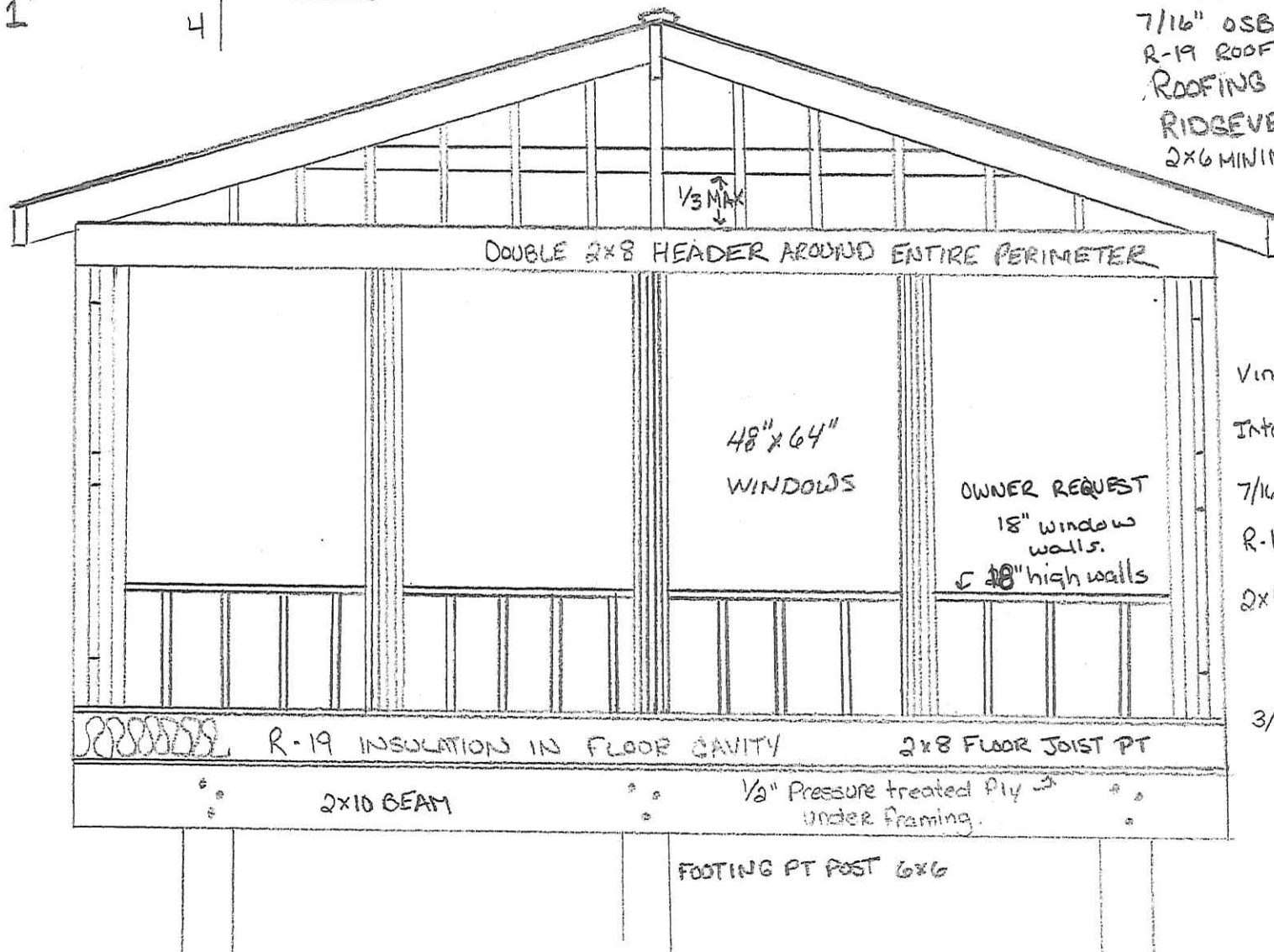
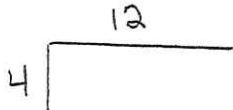
Contractor:
Unlimited Exteriors LLC.
1089 Wagoner Drive
Wilmington DE 19806
Ted McCarthy - 302-367-4591

OWNER: Michelle + William FLOWERS
20667 MULBERRY KNOLL ROAD
LEWES DE

CONTRACTOR: UNLIMITED EXTERIORS LLC.
Ted McCarthy 302-367-4591

FRONT VIEW

SCALE
3/8" = 1'



2x10 RIDGE BEAM
2x8 RAFTERS 16" O/C
ICE + WATER BOTTOM EDGE
DRIP EDGE
7/16" OSB SHEATHING
R-19 ROOF INSULATION
ROOFING SHINGLES
RIDGEVENT
2x6 MINIMUM COLLAR TIES
ON EVERY RAFTER
1/3 RD UP FROM BEAM

DOUBLE 2x8 HEADER AROUND ENTIRE PERIMETER

48" x 64"
WINDOWS

OWNER REQUEST
18" window
walls.
48" high walls

Vinyl SIDING w/TYVEC
Interior to be determined

7/16 OSB SHEATHING
R-13 INSULATION
2x4 WALL FRAMING
16" O/C

3/4" Advantech Ply
with LAMINATE
FLOORING

R-19 INSULATION IN FLOOR CAVITY

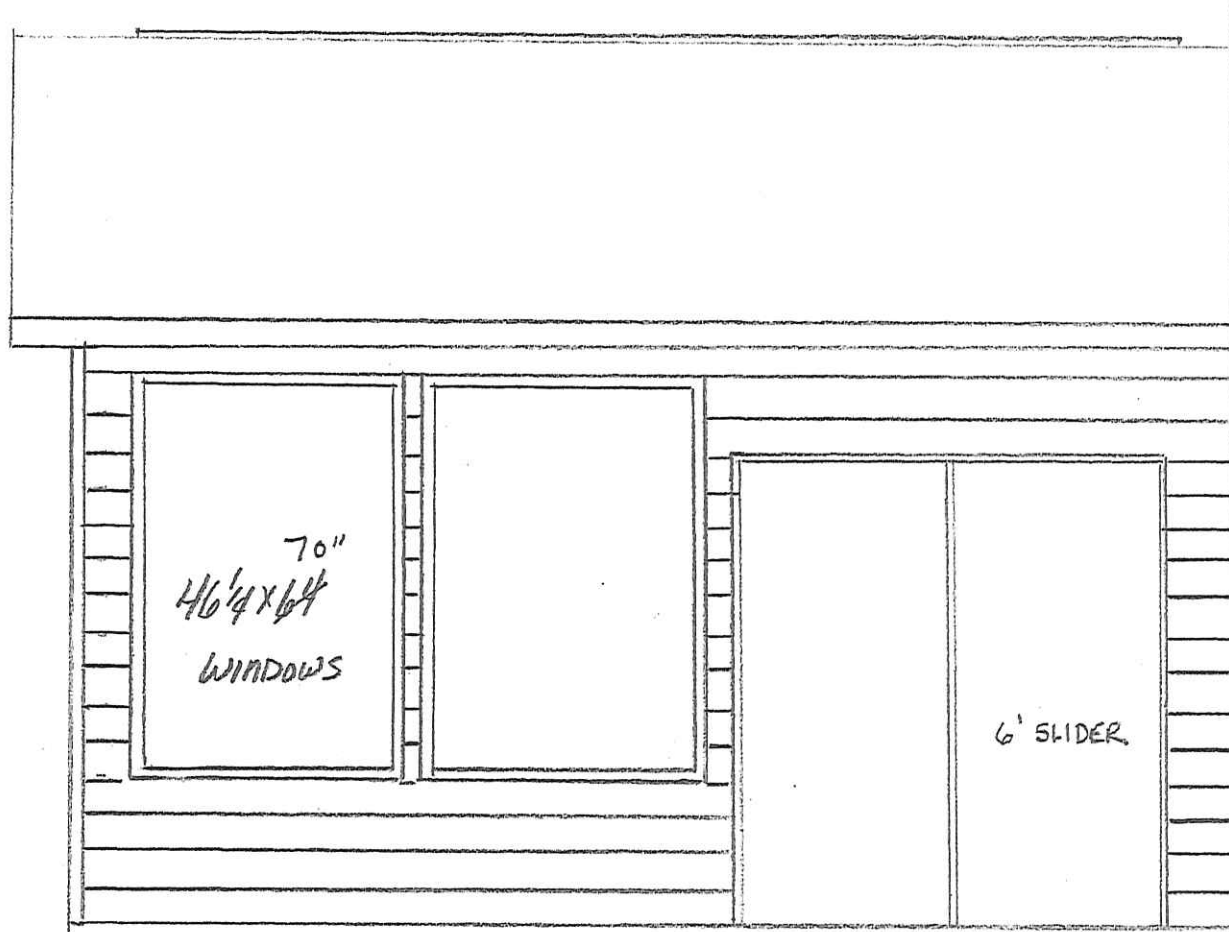
2x8 FLOOR JOIST PT

2x10 BEAM

1/8" Pressure treated Ply
Under framing.

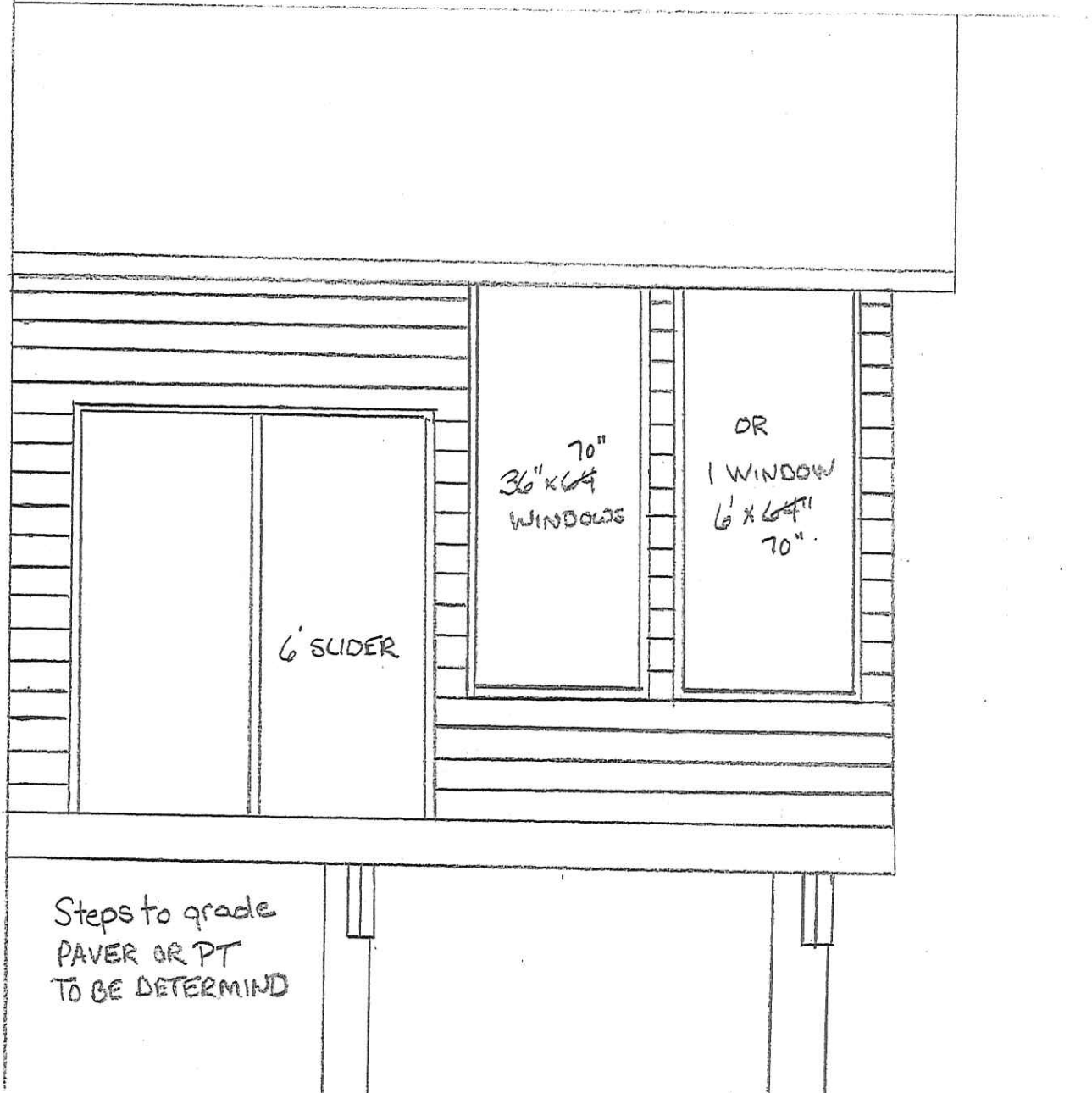
FOOTING PT POST 6x6

RIGHT SIDE VIEW



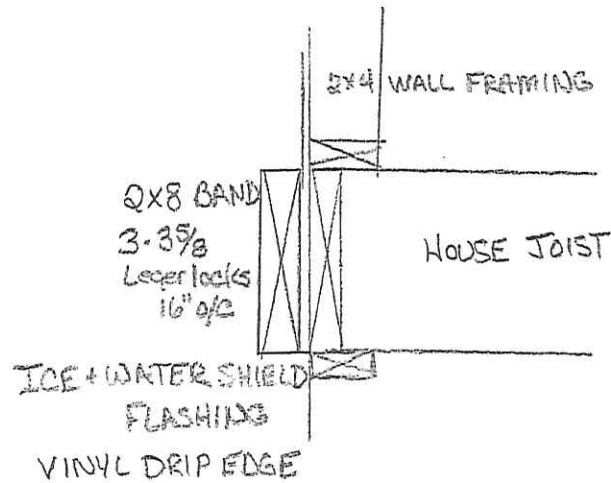
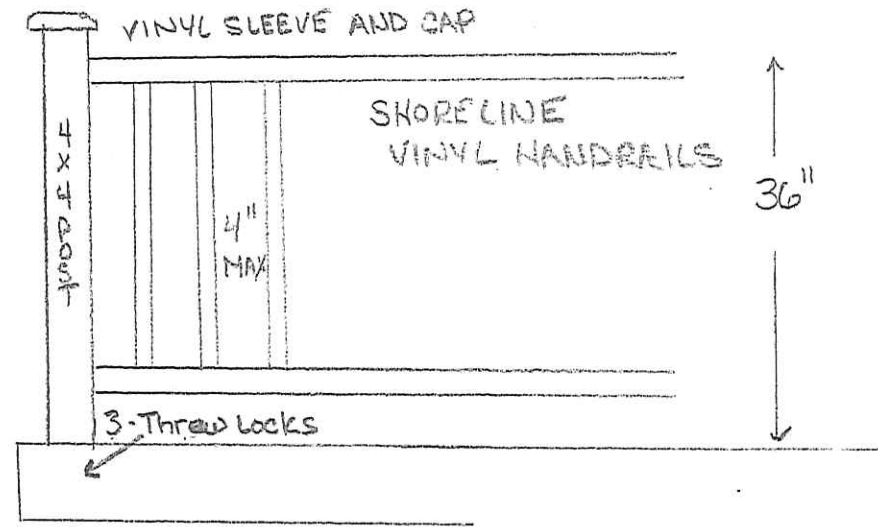
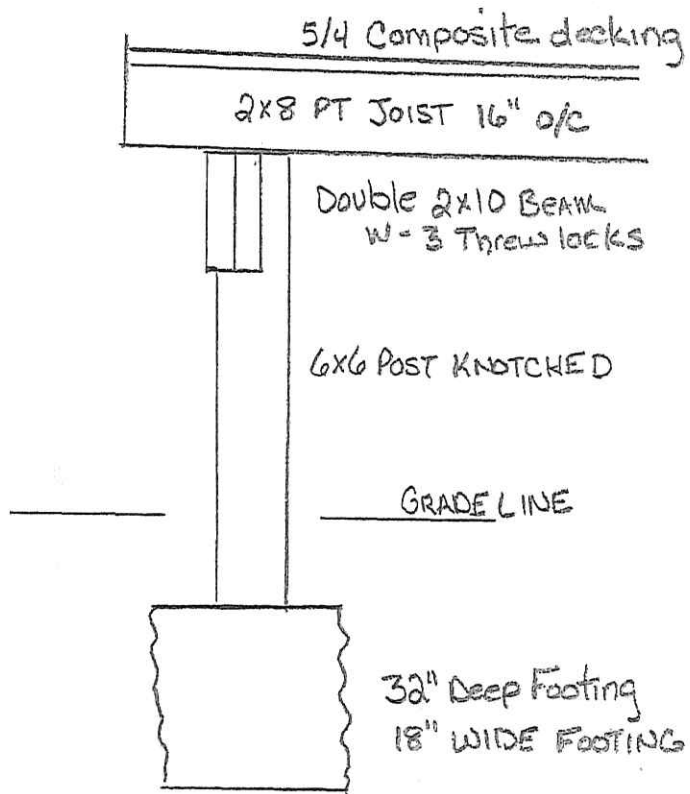
WALK IN FROM DECK

LEFT SIDE VIEW



Steps to grade
PAVER OR PT
TO BE DETERMIND

CROSS SECTIONS





Generated by REScheck-Web Software
Compliance Certificate

Project **Flowers Sunroom**

Energy Code: **2018 IECC**
 Location: **Lewes, Delaware**
 Construction Type: **Single-family**
 Project Type: **Addition**
 Climate Zone: **4 (4341 HDD)**
 Permit Date: **2021-02-11T05:00:00.000Z**
 Permit Number: **202101611**

TO BE KEPT
 IN THIS SITE

Construction Site:
 20667 Mulberry Knoll Road
 Lewes, DE 19958

Owner/Agent:

Designer/Contractor:
 Ted McCarthy
 Unlimited Exteriors LLC.
 1029 Wagoner Drive
 Wilmington, De 19805
 302-367-4591
 unlimitedexteriorsllc@gmail.com

Compliance: Passes using UA trade-off

Compliance: **0.0% Better Than Code** Maximum UA: **111** Your UA: **111** Maximum SHGC: **0.40** Your SHGC: **0.30**

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules.
 It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Envelope Assemblies

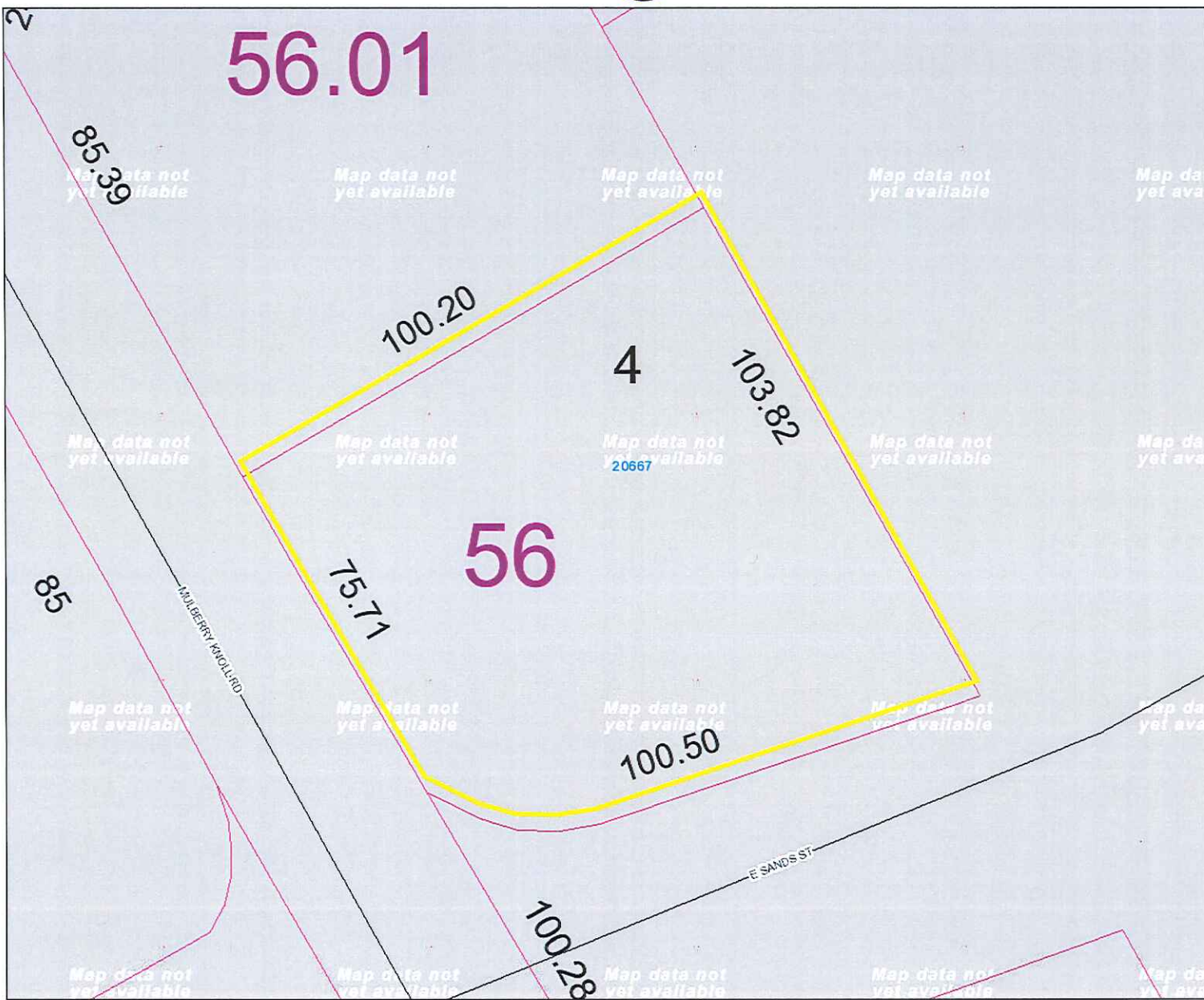
| Assembly | Gross Area or Perimeter | Cavity R-Value | Cont. R-Value | U-Factor | UA |
|---|-------------------------|----------------|---------------|----------|----|
| Ceiling: Raised or Energy Truss | 304 | 30.0 | 7.0 | 0.026 | 8 |
| North Wall: Wood Frame, 16" o.c. | 128 | 13.0 | 4.0 | 0.060 | 3 |
| Door: Glass Door (over 50% glazing) SHGC: 0.30 | 40 | | | 0.320 | 13 |
| Window 1: Vinyl Frame SHGC: 0.30 | 22 | | | 0.320 | 7 |
| Window 2: Vinyl Frame SHGC: 0.30 | 22 | | | 0.320 | 7 |
| East Wall: Wood Frame, 16" o.c. | 152 | 13.0 | 4.0 | 0.060 | 4 |
| Window 1: Vinyl Frame SHGC: 0.30 | 23 | | | 0.320 | 7 |
| Window 2: Vinyl Frame SHGC: 0.30 | 23 | | | 0.320 | 7 |
| Window 3: Vinyl Frame SHGC: 0.30 | 23 | | | 0.320 | 7 |
| Window 4: Vinyl Frame SHGC: 0.30 | 23 | | | 0.320 | 7 |
| South Wall: Wood Frame, 16" o.c. | 120 | 13.0 | 4.0 | 0.060 | 3 |
| Door: Glass Door (over 50% glazing) SHGC: 0.30 | 40 | | | 0.320 | 13 |
| Window 1: Vinyl Frame SHGC: 0.30 | 35 | | | 0.320 | 11 |

| Assembly | Gross Area or Perimeter | Cavity R-Value | Cont. R-Value | U-Factor | UA |
|-----------------------------|-------------------------------|-------------------|------------------|----------|----|
| Floor: All-Wood Joist/Truss | 304 | 19.0 | 0.0 | 0.047 | 14 |

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

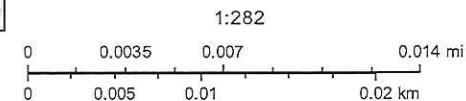
Ted McCarthy Contractor (owner)  2-18-2021
 Name - Title Signature Date

Project Notes:
 4 Seasons Sunroom with dedicated heat and a/c unit



| | |
|------------------------|------------------|
| PIN: | 334-18.00-56.00 |
| Owner Name | FLOWERS MICHELLE |
| Book | 5082 |
| Mailing Address | 114 FAIRHILL DR |
| City | WILMINGTON |
| State | DE |
| Description | BAY SHORE HILLS |
| Description 2 | LOT 4 |
| Description 3 | N/A |
| Land Code | |

- polygonLayer**
 - Override 1
- polygonLayer**
 - Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- Tax Ditch Segments**
 - Tax Ditch Channel
 - Pond Feature
 - Special Access ROW
 - Extent of Right-of-Way
 - Approx. Watershed Boundary
 - Municipal Boundaries



**Board of Adjustment Application
Sussex County, Delaware**

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Case # 12616
Hearing Date 10/4
202112528

Type of Application: (please check all applicable)

Variance

Special Use Exception

Administrative Variance

Appeal

Existing Condition

Proposed

Code Reference (office use only)

115-34 115-183

Site Address of Variance/Special Use Exception:

LOT NO. 13 KEENWICK WEST

Variance/Special Use Exception/Appeal Requested:

DECREASE SIDE LOT LINE BY 15" FROM 10' TO 8'7" IN FRONT PORTION OF LOT

Tax Map #: 5-33-12.19-14

Property Zoning: MR

Applicant Information

Applicant Name: VICTOR N MORGAN AND PEGGY MORGAN

Applicant Address: 32749 WATCHTOWER DR

City SELBYVILLE State DE Zip: 19975

Applicant Phone #: (443) 695-1816 Applicant e-mail: NEILMORGAN115@GMAIL.COM

Owner Information

Owner Name: VICTOR N MORGAN AND PEGGY MORGAN

Owner Address: 32749 WATCHTOWER DR

City SELBYVILLE State DE Zip: 19975 Purchase Date: 8/7/20

Owner Phone #: (443) 695-1816 Owner e-mail: NEILMORGAN115@GMAIL.COM

Agent/Attorney Information

Agent/Attorney Name: _____

Agent/Attorney Address: _____

City _____ State _____ Zip: _____

Agent/Attorney Phone #: _____ Agent/Attorney e-mail: _____

Signature of Owner/Agent/Attorney



Date: 8/20/20



Criteria for a Variance: (Please provide a written statement regarding each criteria).

You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.

In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.

1. Uniqueness of property:

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

IRREGULAR SHAPED CORNER LOT BOARDED BY SALTY WAY DRIVE AND SANDOLLAR LANE AND LAGOON

2. Cannot otherwise be developed:

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

SEE NOTE 3

3. Not created by the applicant:

That such exceptional practical difficulty has not been created by the appellant.

A LOT LINE AGREEMENT WAS MADE BETWEEN LOT 13 AND LOT 14 DUE TO A PREVIOUS SURVEY ERROR CAUSING THE LOT TO BE NARROW IN THE FRONT

4. Will not alter the essential character of the neighborhood:

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

WILL NOT

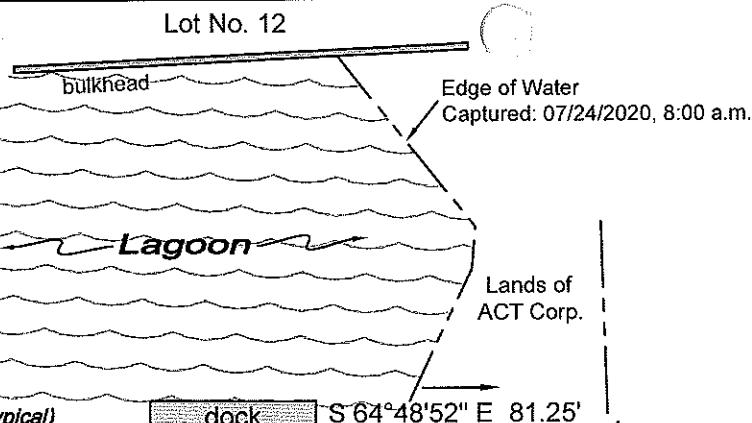
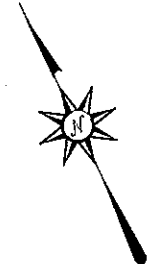
5. Minimum variance:

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

THIS WOULD BE MINIMUM FOR HOME

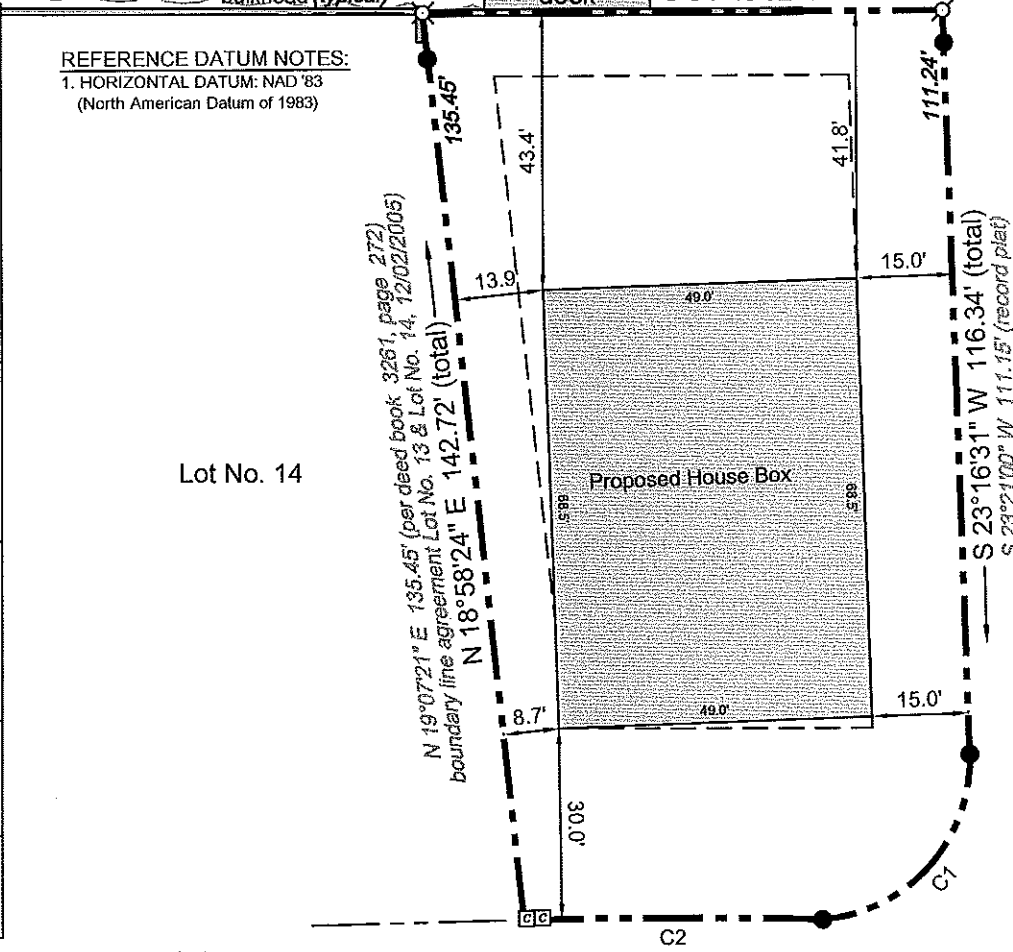
NOTES:

- Other than shown, this plat and survey does not verify the existence or nonexistence of right-of-ways and/or easements pertaining to this property. Including but not limited to Tax Ditch Easements.
- No title search provided or stipulated.



| PROPERTY LINE CURVE TABLE | | | |
|---------------------------|---------|------------|--------------|
| CURVE | RADIUS | ARC LENGTH | CHORD LENGTH |
| C1 | 25.00' | 38.09' | 34.51' |
| C2 | 930.00' | 46.72' | 46.71' |

REFERENCE DATUM NOTES:
 1. HORIZONTAL DATUM: NAD '83
 (North American Datum of 1983)



Lot No. 14

SALTY WAY DRIVE
 (50' r/w)

SAND DOLLAR LANE
 (50' r/w)

- ⊠ POINT IN CABLE BOX
- ⊕ 5/8" RE-BAR w/ CAP (SET)
- ⊗ PK NAIL (SET)
- 3/4" PIPE (FD)

SCALE: 1"=30'
 AREA: 10,623 SQ. FT.
 TAX MAP NO. 5-33-12.19-14

Lands of VIRGINIA SUSANNE HOWARD and JOHN J. HOWARD, JR., to be conveyed to VICTOR N. MORGAN and PEGGY MORGAN. Being known as LOT NO. 13, KEENWIK WEST. Ref: Plat Book 8, Page 181 & Deed Book 3261, Page 272.

Revised: 08-13-2021, Preliminary Site Plan

FIRM INFORMATION:
 100029 - 0351 - K
 MARCH 16, 2015
 ZONE: "AE", B.F.E.= 4'
 CLASS "B" SURVEY

HUNDRED: BALTIMORE
 COUNTY: SUSSEX
 STATE OF DELAWARE
 DATE OF ORIGINAL: 07/24/2020
 DRAWN BY: ALEX KANSAK

SIMPLER SURVEYING & ASSOCIATE, INC.
 32486 POWELL FARM ROAD, FRANKFORD, DE 19945
 www.delawaresurveyor.com
 PHONE: (302) 539-7873 FAX: (302) 539-4336

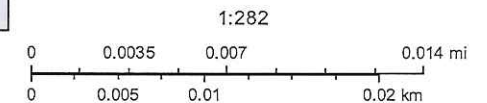


I, Gregory M. Hook, registered as a Professional Land Surveyor in the State of Delaware, hereby state that the information shown on this plan has been prepared under my supervision and meets the standards of practice as established by the State of Delaware Board of Professional Land Surveyors. Any changes to the property conditions, improvements, boundary or property corners after the date shown hereon shall necessitate a new review and certification for any official or legal use.



| | |
|------------------------|---------------------|
| PIN: | 533-12.19-14.00 |
| Owner Name | MORGAN VICTOR N JR |
| Book | 5290 |
| Mailing Address | 32749 WATCHTOWER DR |
| City | SELBYVILLE |
| State | DE |
| Description | KEENWIK WEST |
| Description 2 | LOT 13 |
| Description 3 | N/A |
| Land Code | |

- polygonLayer**
 - Override 1
- polylineLayer**
 - Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- Tax Ditch Segments**
 - Tax Ditch Channel
 - Pond Feature
 - ⊥ Special Access ROW
 - Extent of Right-of-Way
 - Approx. Watershed Boundary
 - Municipal Boundaries



**Board of Adjustment Application
Sussex County, Delaware**

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Case # 1267
Hearing Date 10/6
2021/2991

Type of Application: (please check all applicable)

Variance
Special Use Exception
Administrative Variance
Appeal

Existing Condition
Proposed
Code Reference (office use only)

Site Address of Variance/Special Use Exception:

37792 SALTY WAY E. SELBYVILLE, DE 19975

Variance/Special Use Exception/Appeal Requested:

Side yard variance of 5' for proposed garage

Tax Map #: 533-19.07-41.00

Property Zoning: AR-EMR

Applicant Information

Applicant Name: JAMES C. VAN WAGONER
Applicant Address: 13493 GOODHART LN LEESBURG, VA 20176
City _____ State _____ Zip: _____
Applicant Phone #: 703 415 6909 Applicant e-mail: JAMESCVW@GMAIL.COM

Owner Information

Owner Name: JAMES C. VAN WAGONER
Owner Address: 13493 GOODHART LN.
City LEESBURG State VA Zip: _____ Purchase Date: _____
Owner Phone #: 703-415-6909 Owner e-mail: JAMESCVW@GMAIL.COM

Agent/Attorney Information

Agent/Attorney Name: _____
Agent/Attorney Address: _____
City _____ State _____ Zip: _____
Agent/Attorney Phone #: _____ Agent/Attorney e-mail: _____

Signature of Owner/Agent/Attorney



Date: 8/31/21



Criteria for a Variance: (Please provide a written statement regarding each criteria).

You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.

In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.

1. Uniqueness of property:

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

SEE ATTACHED .

2. Cannot otherwise be developed:

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

3. Not created by the applicant:

That such exceptional practical difficulty has not been created by the appellant.

Purchased house without garage and did not create the small lot size.

4. Will not alter the essential character of the neighborhood:

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

5. Minimum variance:

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

It's the minimum to allow for 2 16.5' garage

Amendment to page 2, question 1:

We are requesting a 5' setback for an attached garage on the north property line to store our boat, kayak, beach toys as well as a small workshop. The distance between our home and our north property line is 21.5'. We would like a 16.5' wide garage to meet our needs. We have received approval from Keenwick West Property Owner's Association to allow the 5' setback. (See Attached) We have also received approval from our neighbor to our north Guy Sparr (443)506-1016. At 37789 Salty Way E. Selbyville, DE 19975.

Amendment to page 2, question 2:

An 11.5' garage would not be adequate to meet our storage needs and aesthetically would not enhance the front elevation characteristics.

Amendment to page 2, question 4:

Most of the homes in the Keenwick West Development currently have garages. There are currently other homes in the Keenwick West Development that have been granted the 5' setback from their property line.



KEENWICK WEST PROPERTY OWNER'S ASSOCIATION

37232 Lighthouse Rd., Suite #212

Selbyville, DE 19975

August 27, 2021

Jim & Donna Van Wagoner

37792 Salty Way E

Selbyville, DE 19975

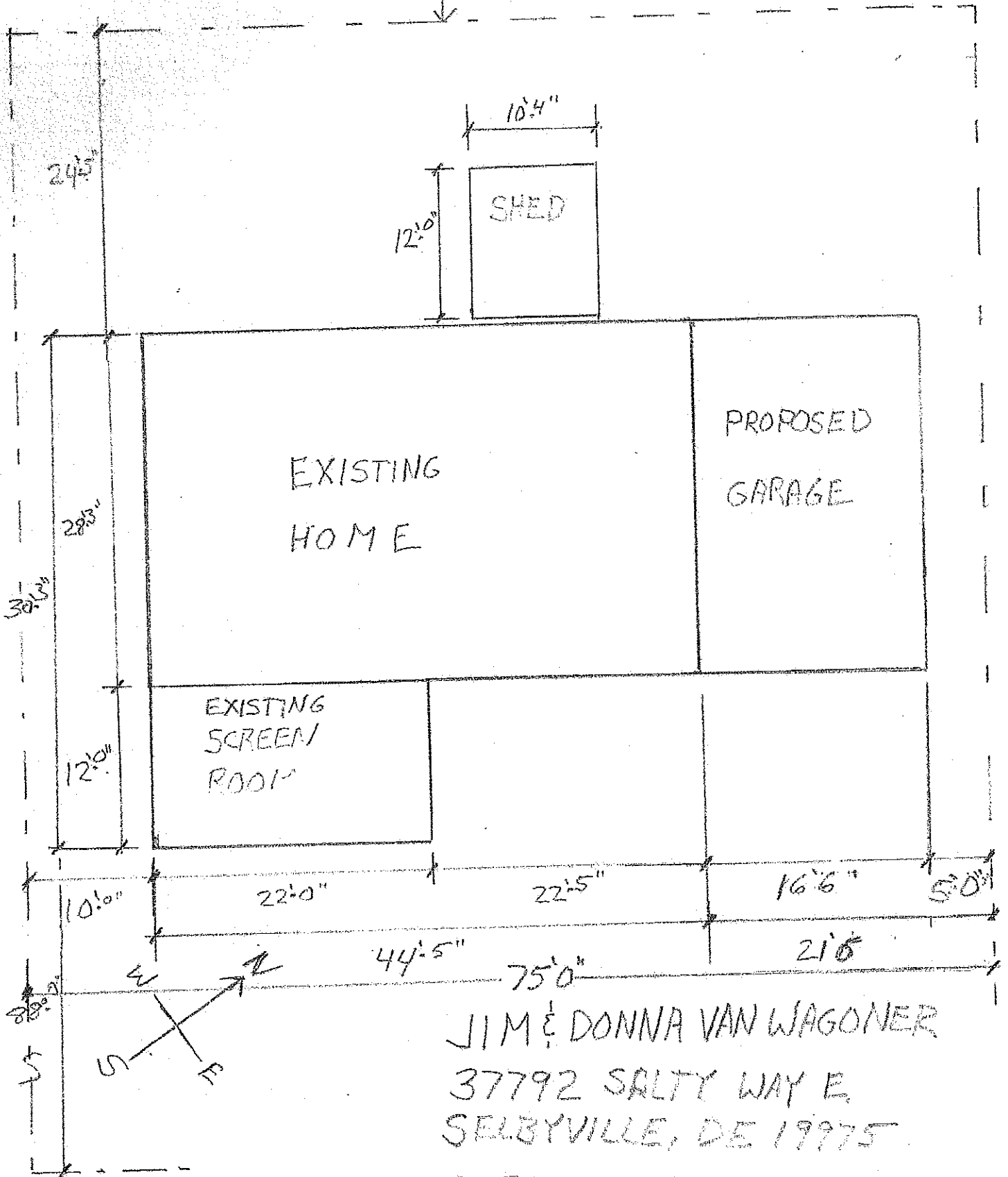
Dear Jim & Donna,

The Keenwick West Board of Directors met on Friday, August 13, 2021 and reviewed your request for a variance for the garage at 37792 Salty Way E. (Lot 74) The variance was approved as submitted.

Danette Small-Shultz

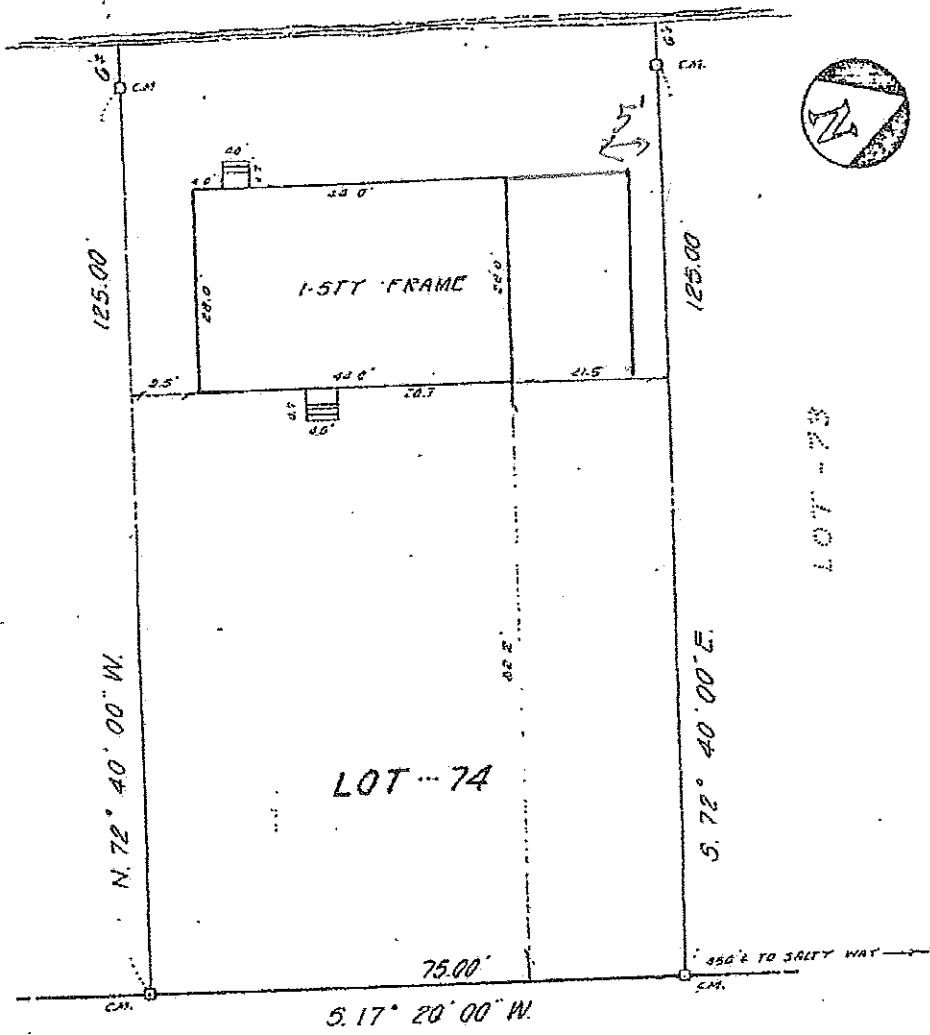
Secretary

CANAL
BULKHEAD



JIM & DONNA VAN WAGONER
37792 SALTY WAY E.
SELBYVILLE, DE 19975
702-415-6909
6/30/21

LAGOON



SALTY WAY EAST

50' R/W

House Location Survey

Lot - 74

KEEN - WIK WEST

Baltimore Hundred
Sussex County, Delaware

June 14, 1976 Scale 1" = 20'

I hereby certify the location survey, shown hereon, to be correct and that there are no encroachments on property lines.



S. Ruffin

MADDOX & ASSOCIATES, INC.
 ENGINEERS SURVEYORS PLANNERS
 1007 COLLEGE HAVENWAY
 DEWITT, DELAWARE
 PHONE: 361-329-1438

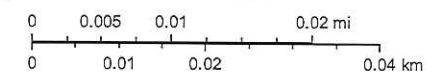
from Road
20 K8
81



| | | |
|------------------------|-------------------|---------|
| PIN: | 533-19.07-41.00 | |
| Owner Name | VAN | WAGONER |
| | JAMES C | |
| Book | 5480 | |
| Mailing Address | 13493 GOODHART LN | |
| City | LEESBURG | |
| State | VA | |
| Description | KEENWIK WEST | |
| Description 2 | LOT 74 | |
| Description 3 | SPEC COMM LIEN | |
| Land Code | | |

- polygonLayer
 - Override 1
 - polygonLayer
 - Override 1
 - Tax Parcels
 - 911 Address
 - Streets
 - County Boundaries
 - Tax Ditch Segments**
 - Tax Ditch Channel
 - Pond Feature
 - Special Access ROW
 - Extent of Right-of-Way
 - Approx. Watershed Boundary
 - Municipal Boundaries

1:564

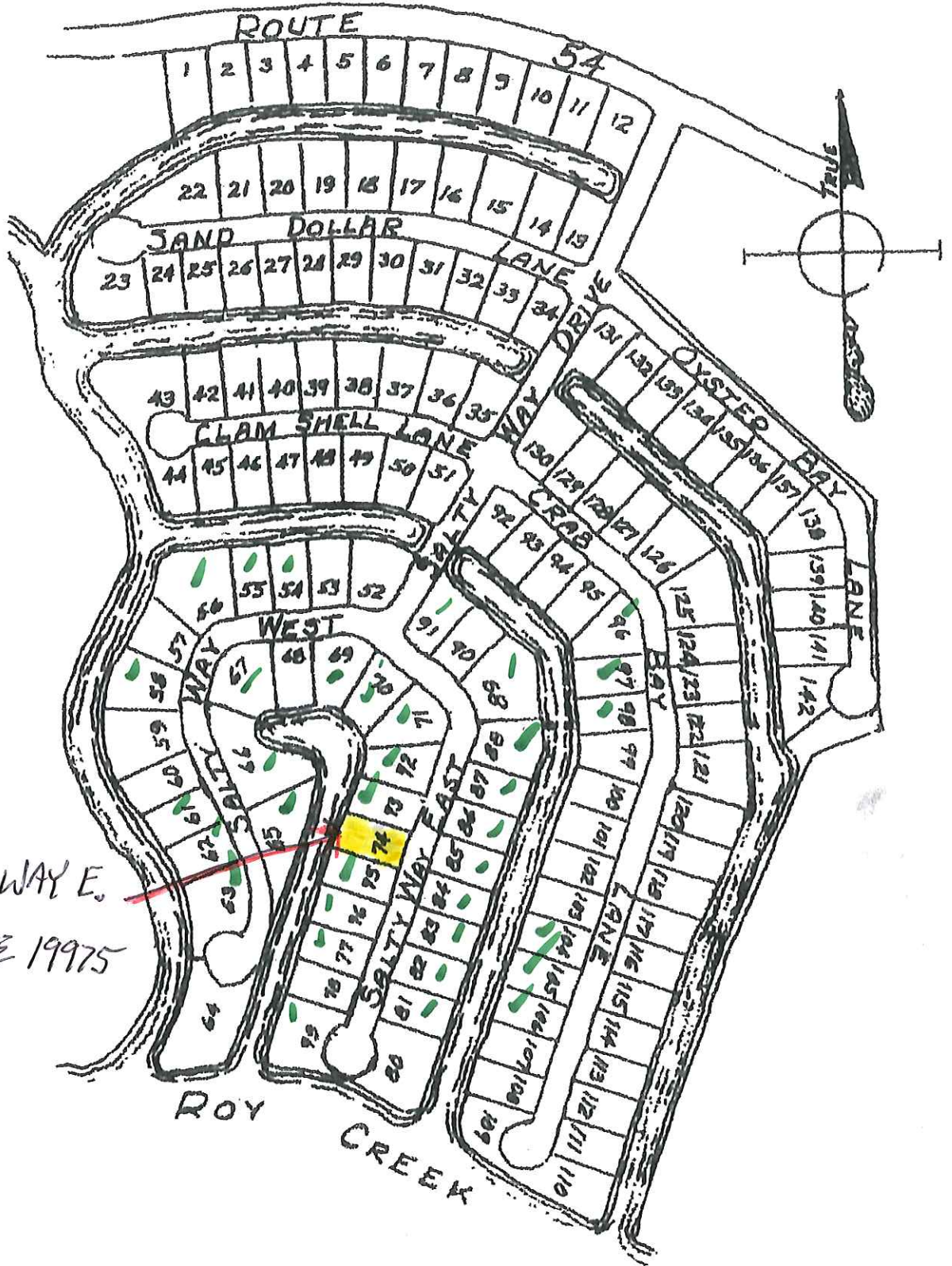


Google Maps Salty Way E



Map data ©2021 100 ft

- ✓ APPROVED
- DID NOT GET A RESPONSE



JIM & DONNA
 VAN WAGONER
 37792 SALTY WAY E.
 SELBYVILLE, DE 19975
 LOT 74

Keenwick West

Jim and Donna Van Wagoner

37792 Salty Way East

Selbyville, DE 19975

(703)415-6909

jamescvw@gmail.com

Dear Sussex Co. Board of Adjustment,

We have distributed 41 petitions to our neighbors within at least 200' from our home at the above referenced address. We asked our neighbors to see if they have any objections to us building a garage 5' from our northern property line. Out of these 41 petitions we received approval from 33 of our neighbors. (There are some neighbors that do not live there year-round.) Included are the approvals from Guy Sparr 37786 Salty Way E (lot 73) immediately to our north (right of our home). Then Lavonne Martin 37800 Salty Way E (lot 75) immediately to our south (left of our home). James Turner 37789 Salty Way E (lots 85 & 86) they are east or across the street from our home. Damon Cabanillas 37815 Salty Way W (lot 65) is to our west and across the canal from our home.

We also have approval from our HOA - Keenwick West Property Owner's Association for a variance to build our garage 5' from our northern property line. This was dated August 27, 2021.

We are also attaching photos from neighbors in the Keenwick West community that have gotten variances to build within the 10' setback.

Sincerely,

James Van Wagoner



Donna Van Wagoner



NEIGHBOR TO
OUR RIGHT (NORTH)

Jim and Donna Van Wagone

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: GUY SPARR

Address: 37786 SALTY WAY E

Lot Number: 73 Phone Number: 443-506-1016

Email: POPPIDILL@AOL.COM

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: ✓ Object: _____

Signature: [Signature]

Comments: _____

NEIGHBOR TO
OUR LEFT (SOUTH)

Jim and Donna Van Wagone

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: Ladonna Martin

Address: 37800 Salty Way E Selbyville DE 19977

Lot Number: 75 Phone Number: 302 4364788

Email: _____

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: X Object: _____

Signature: Duty L Martin

Comments: _____

NEIGHBOR IN FRONT
OF US (EAST)

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, and we are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: James Turner
Address: 85 Salty Way, East - Selbyville DE 19975
Lot Number: 85 & 86 Phone Number: 302-436-0923
Email: 301-801-0101

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: ✓ Object: _____

Signature: James A. Swanner - Madeline C. Swanner

Comments: _____

NEIGHBOR BEHIND
US (WEST)

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: Damon Cobarrillo
Address: 37815 Salty Way West Selbyville, DE 19975
Lot Number: 65 Phone Number: 703-629-5823
Email: dcobarrillo@yahoo.com

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: Yes - DGC Object: _____

Signature: Damon Cobarrillo

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: Harriet K Ritter
Address: 37822 Salty Way E.
Lot Number: 79 Phone Number: 302-542-2943
Email: truffyholly@aol.com

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: () Object: garage addition

Signature: Harriet K Ritter

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: Roxie Welch
Address: 37749 Salty Way West
Lot Number: 69 Phone Number: 240-298-9544
Email: Roxie.Welch@verizon.net

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: ✓ Object: _____

Signature: Roxie Welch

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: JOSEPH C FORAKER JR.
Address: 37779 SALTYWAY EAST
Lot Number: 87 Phone Number: 302-988-1102
Email: JCFORAKER@Yahoo.COM

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: YES Object: _____

Signature: J Foraker

Comments: NONE

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: ELMER + JEAN TRIESC.HMAN

Address: 37761 SALTY EAST

Lot Number: 89 Phone Number: 246-832-1142

Email: CLANDCIET@AOL.COM

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: ✓ Object: _____

Signature: *Elmer + Jean*

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: Glen & Tricia Hall
Address: 37792 Salty Way E
Lot Number: 88 ? Phone Number: 302-753-6566
Email: hallboys@comcast.net

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve:  Object: _____

Signature: Patricia Hall

Comments: No ~~objections~~ concerns or issues

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: BILL SUPER
Address: 37803 SALTY WAY EAST
Lot Number: 83 Phone Number: 410 365 1460
Email: billsuper@comcast.net

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: WRB Object: _____

Signature: W Super

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: Bonnie Morrison

Address: ~~12208~~ 37811 Salty W. E.

Lot Number: 82 Phone Number: _____

Email: Bonnie.morrison@comcast.net

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: ✓ Object: _____

Signature: Bonnie L. Morrison

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: Albert Faelli
Address: 37815 Salty Way East
Lot Number: 81 Phone Number: 301 526 3425
Email: faellsinc@aol.com

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve:  Object: _____

Signature: 

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: J. FEWICK CONNOR
Address: 37806 SALTY WAY E.
Lot Number: 76 Phone Number: 302-436-8054
Email: _____

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: YES Object: _____

Signature: J. Fewick Connor

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

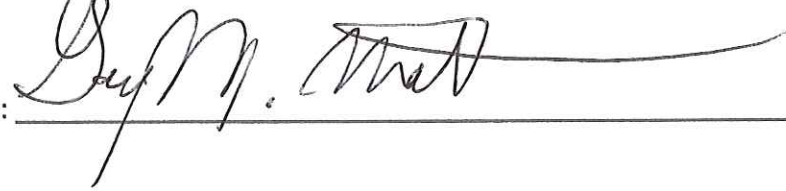
Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: GARY M. MATERA
Address: 37792 SALTY WAY EAST
Lot Number: 84 Phone Number: 302-310-0322
Email: GARY.MATERA SR @ YAHOO.COM

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: GARY M. MATERA Object: _____

Signature: 

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: Rosalie S. Burns
Address: 37814 Salty Way East
Lot Number: 77 Phone Number: cell # 302-542-1076
Email: _____

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: yes Object: _____

Signature: Rosalie S. Burns

Comments: Good luck!

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: DAVE PRIZIUSO
Address: 37747 Salty Way EAST
Lot Number: 91 Phone Number: 302-379-2038
Email: _____

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: Yes Object: _____

Signature: Dave Priziuso

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: Nancy Carey
Address: 37769 Salty Way West
Lot Number: 67 Phone Number: 302.542.2062
Email: nancy@keenwickisland.com

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: _____ Object: _____

Signature: Nancy Carey

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: WAYNE BORKMAN
Address: 37746 SALTY WAY EAST
Lot Number: 70 Phone Number: 302-396-7304
Email: WBORKMAN@MAIL.COM

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: OK Object: _____

Signature: Wayne Borkman

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: Rita C. Williams
Address: 37764 Salty Way W.
Lot Number: 55 Phone Number: 302-436-1562
Email: _____

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: _____ Object: _____

Signature: Rita C. Williams

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: 37784 W Salty Way
Address: Kim Matzer
Lot Number: 50 Phone Number: 301 943 2114
Email: Kimmatzer@aol.com

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: X Object: _____

Signature: Kim Matzer

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: 37803 Salty Way W

Address: _____

Lot Number: 66 Phone Number: 973-796-7330

Email: _____

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: X Object: _____

Signature: Paul Bancel

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: Bert Paalen Per. Bert Paalen
Address: 37790 Salty Way. West
Lot Number: 56 Phone Number: 302 436 5493
Email: _____

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: at. Object: Coarse

Signature: Bert Paalen Bert Paalen

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: William Staber, Jr. Marilyn Eaves

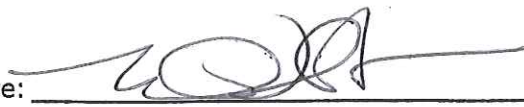
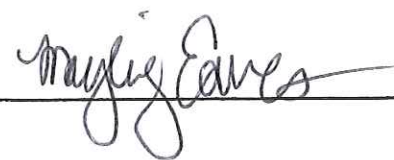
Address: 37724 Crab Bay Ln

Lot Number: 97 Phone Number: 856-266-3186

Email: wastaber@msn.com

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: _____ Object: _____

Signature:  

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

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Name: Janet Straub
Address: 37734 Crab Bay Lane
Lot Number: 98 Phone Number: 717 979 6974
Email: Janet53@Comcast.net

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: Object: _____

Signature: Janet Straub

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: NEIL V. FOOTE

Address: 37784 CRAIG BAY LND.

Lot Number: 104 Phone Number: 302-436-0128

Email: _____

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: APPROVE Object: _____

Signature: Neil V. Foote

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

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Name: Danie Hazara
Address: 37792 Crab Bay Lane
Lot Number: 105 Phone Number: 484-624-7424
Email: Hazara D @ AOL.COM

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: _____ Object: _____

Signature: _____

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

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Name: Bob Nowell
Address: 37800 CRAV BR LANE
Lot Number: 106 Phone Number: _____
Email: _____

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: OK to BUILD Object: _____

Signature: Alex B. Nowell

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

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Name: Dave Roester
Address: 37758 Salty Way West
Lot Number: 548 Phone Number: (443) 865-9389
Email: Roester11@MSN.COM

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve:  Object: _____

Signature: 

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

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Name: Ken & Donna Limpais
Address: 37808 Salty way w Selbyville, DE 19975
Lot Number: 61 Phone Number: 443-838-5447
Email: r.limpais@gmail.com

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: ✓ Object: _____

Signature: Ken & Donna Limpais

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

We are interested in constructing an attached garage addition, primarily to store our boat. We are requesting an exception for a 5' setback from our northern property line. On 8/13/21 Keenwick West Property Owner's Association approved our request for a 5' setback exception. Now, Sussex County wants input from our neighbors to see if there are any objections. Please complete the questions below and return this to Jim and Donna by 9/18/21. If you have questions or would like further details, please contact Jim Van Wagoner (703)-415-6909 or email: jamescvw@gmail.com. We appreciate your help.

Name: Dorothy Chesterson
Address: 3775 E Salty Way E
Lot Number: 71 Phone Number: _____
Email: _____

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: ✓ Object: _____

Signature: Dorothy Chesterson

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.


Selbyville, DE 19975

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Name: Robert Brusentise
Address: 37776 Salty Way E
Lot Number: 42 Phone Number: _____
Email: _____

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve:  Object: _____

Signature: 

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

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Name: JOSEPH J. O'HAGAN, SR

Address: 37718 CRAB BAY LANE SELBYVILLE, DE 19975

Lot Number: 96 Phone Number: 302-436-8532

Email: chieforah@comcast.net

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve:  Object: _____

Signature: Joseph J. O'Hagan, SR

Comments: _____

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

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Name: JEANNE ULRICH

Address: 37816 SALTY WAY WEST

Lot Number: 69 Phone Number: 443-910-0001

Email: _____

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

Approve: ✓ Object: _____

Signature: Jeanne Ulrich

Comments: - none -

Jim and Donna Van Wagoner

Garage Addition For:

37792 Salty Way E.

Selbyville, DE 19975

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Name: Goedon & Kathleen Clark

Address: 37830 Salty way W

Lot Number: # 63 Phone Number: 443 632-4307

Email: _____

Do you have any objections to us building a one story attached garage 5' from our north property line (the right elevation as you face the house)?

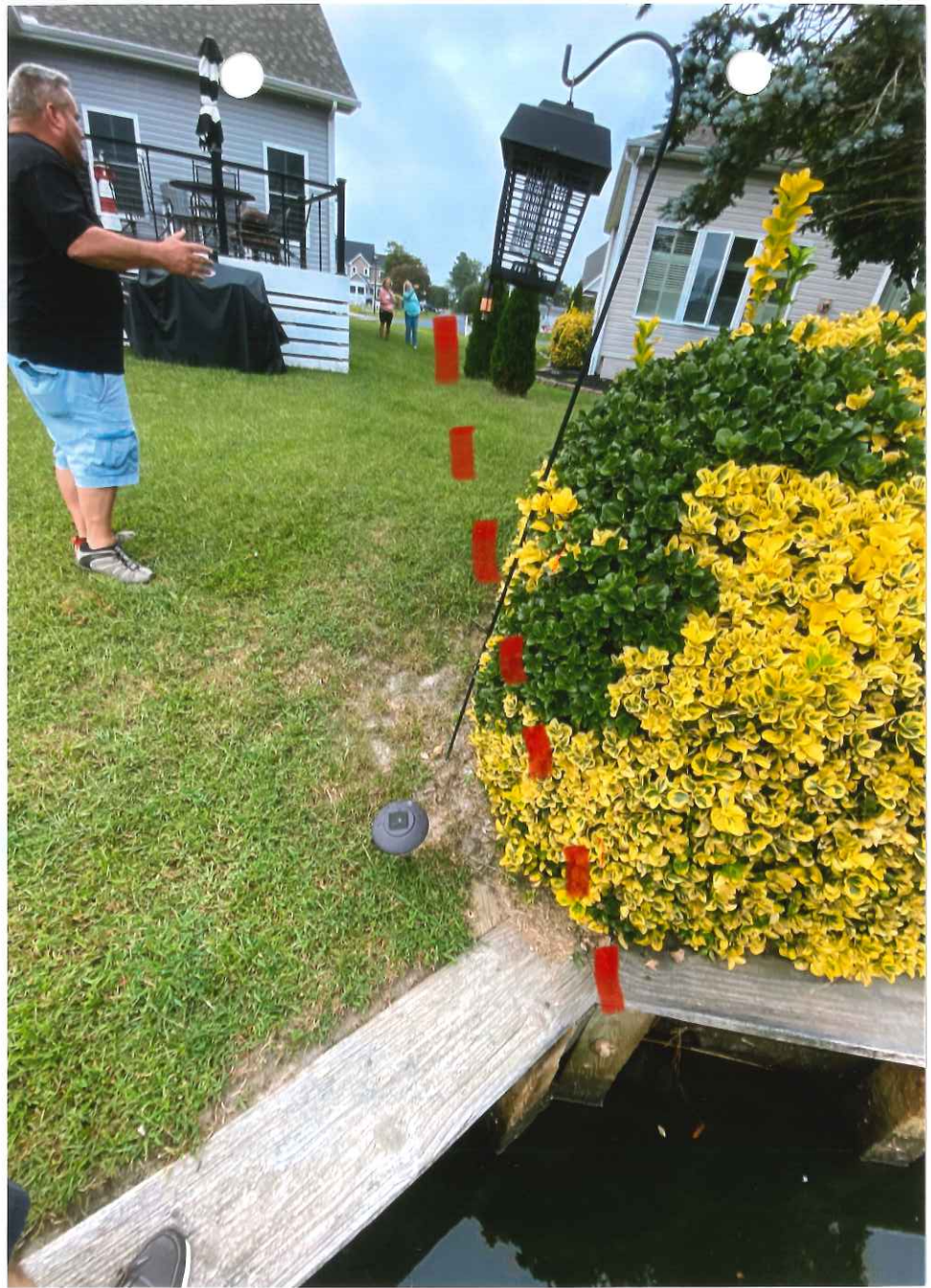
Approve: ✓ Object: Garage

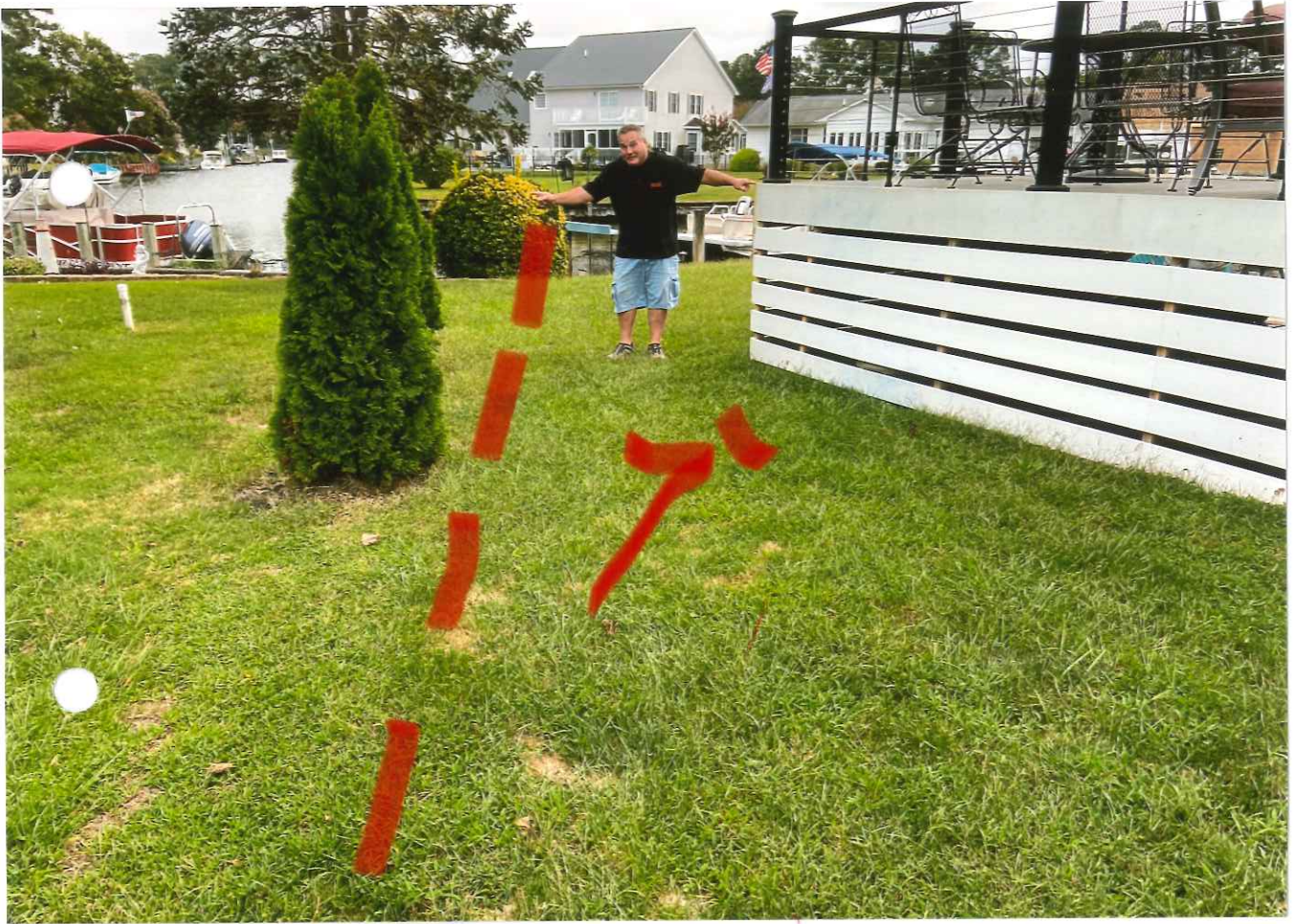
Signature: Kathleen L. Clark

Comments: _____









Board of Adjustment Application
Sussex County, Delaware

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Case # 12618
Hearing Date 10/18
202113136

Type of Application: (please check all applicable)

Variance
Special Use Exception
Administrative Variance
Appeal

Existing Condition
Proposed
Code Reference (office use only)
115-34 115-183
115-185

Site Address of Variance/Special Use Exception:

301 SALISBURY STREET, Rehoboth Beach DE 19971

Variance/Special Use Exception/Appeal Requested:

RELIEF OF 5 FEET FROM SIDE YARD SETBACK
FOR INSTALLATION OF IN GROUND POOL

Tax Map #: 334 - 20.13 - 168.00 Property Zoning: MR

Applicant Information

Applicant Name: John Dewey
Applicant Address: 301 SALISBURY STREET
City Rehoboth Beach State DE Zip: 19971
Applicant Phone #: 302-226-0543 Applicant e-mail: JWDewey59@gmail.com

Owner Information

Owner Name: SAME AS ABOVE
Owner Address: _____
City _____ State _____ Zip: _____ Purchase Date: _____
Owner Phone #: _____ Owner e-mail: _____

Agent/Attorney Information

Agent/Attorney Name: _____
Agent/Attorney Address: _____
City _____ State _____ Zip: _____
Agent/Attorney Phone #: _____ Agent/Attorney e-mail: _____

Signature of Owner/Agent/Attorney

[Handwritten Signature]

Date: 9/2/2021



Attachment:

1. Uniqueness of property:

Due to the location of the existing structure on the property, along with other zoning requirements and conditions the proposed pool will only work in the requested position on the lot. No other location on the property is suitable for the construction of a pool.

2. Cannot otherwise be developed:

The location of the proposed pool will only work if the requested relief from the 10 foot side yard setback is granted. The area is too narrow without the requested relief to make a viable pool fit.

3. Not created by the applicant:

The requested variance is for the only possible location for the construction of a pool on the property under existing rules and zoning regulations.

4. Will not alter the essential character of the neighborhood:

There are numerous pools in the Seabreeze neighborhood and the applicant is aware of several that were constructed or approved of after receiving zoning variances relating to side setback requirements.

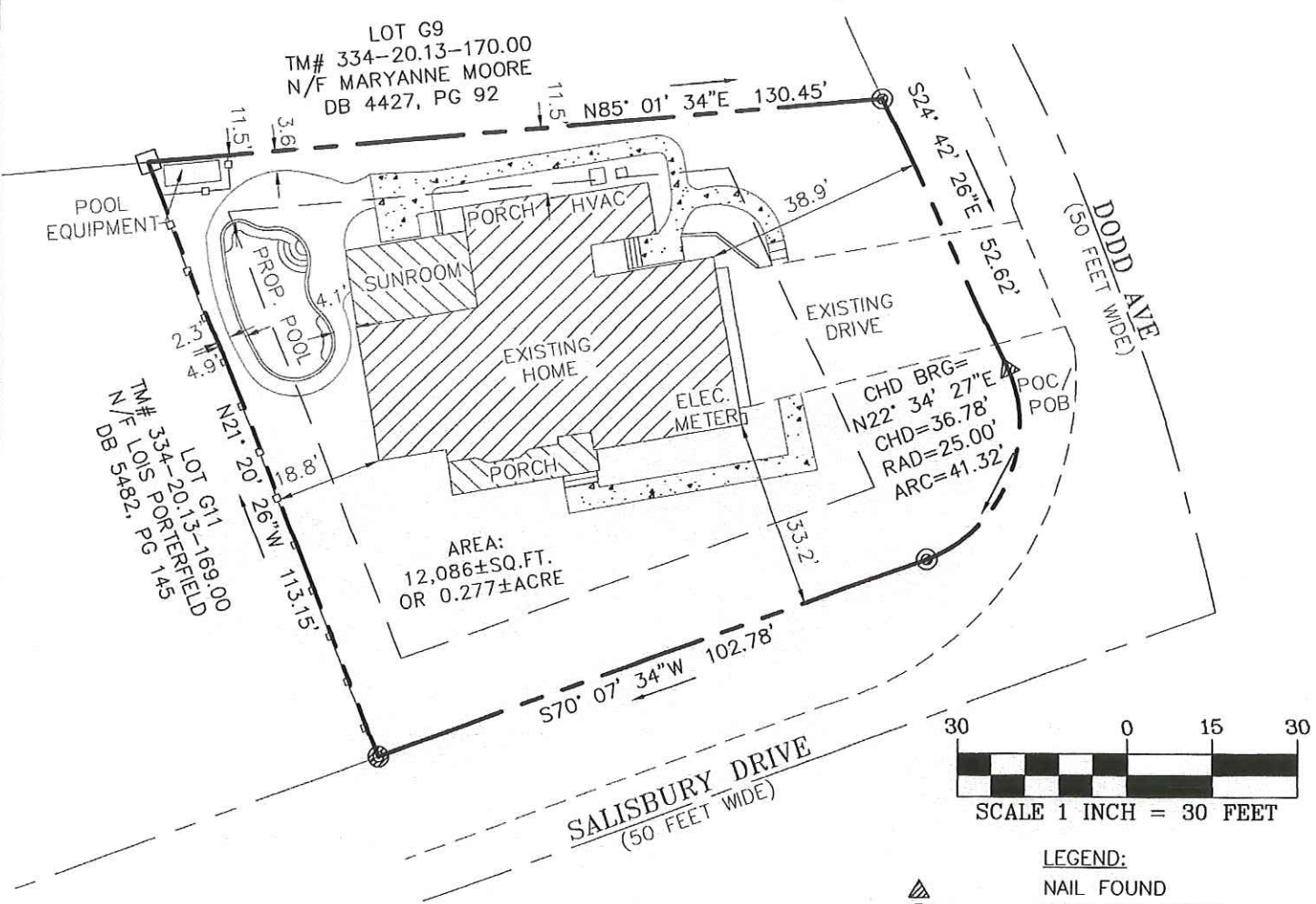
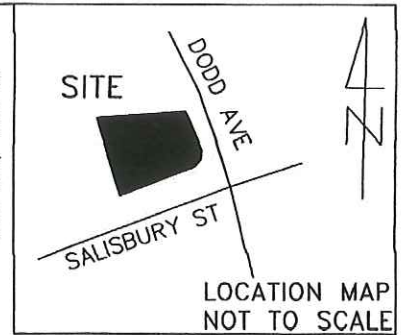
5. Minimum variance:

The applicant respectfully requests a relief of 5 feet from the side yard setback to enable the requested pool installation.

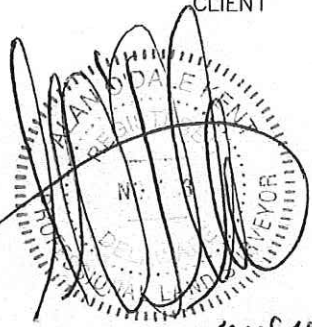
PLAN DATA:

1. TITLE REFERENCED TO: TM# 334-20.13-168.00, DB 4527, PG 341, PB 03, PG 05
301 SALISBURY STREET, DEWEY BEACH, DE 19971
LOT G10, SEABREEZE DEVELOPMENT
LEWES AND REHOBOTH HUNDRED, SUSSEX COUNTY, STATE OF DELAWARE
2. NO TITLE REPORT PERFORMED OR FURNISHED IN PREPARATION OF THIS PLAT.
3. THIS PLAN DOES NOT CERTIFY THE EXISTENCE OR NON-EXISTENCE OF EASEMENTS OR RIGHTS OF WAY AS A FULL AND COMPLETE SEARCH MAY REVEAL IN THE SUSSEX COUNTY RECORDER OF DEEDS.
4. ACCORDING TO SUSSEX COUNTY PLANNING AND ZONING THE ZONING IS MR AND THE SETBACKS ARE: FRONT(DODD AVE)-30', SIDE-10', REAR-10', AND CORNER LOT (SALISBURY ST)-15'.

PB 07, PG 17



I, ALAN O'DALE KENT, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.



REV 27 AUG 2021
MOVED POOL PER CLIENT

ALAN O'DALE KENT, PLS#738, DATE

- LEGEND:**
- NAIL FOUND
 - IRON PIPE FOUND
 - CAPPED IRON PIN SET
 - FENCE POST IN CONCRETE
 - PROPERTY LINE
 - ADJOINING PROPERTY LINE
 - BUILDING RESTRICTION LINE
 - CENTERLINE OF ROAD

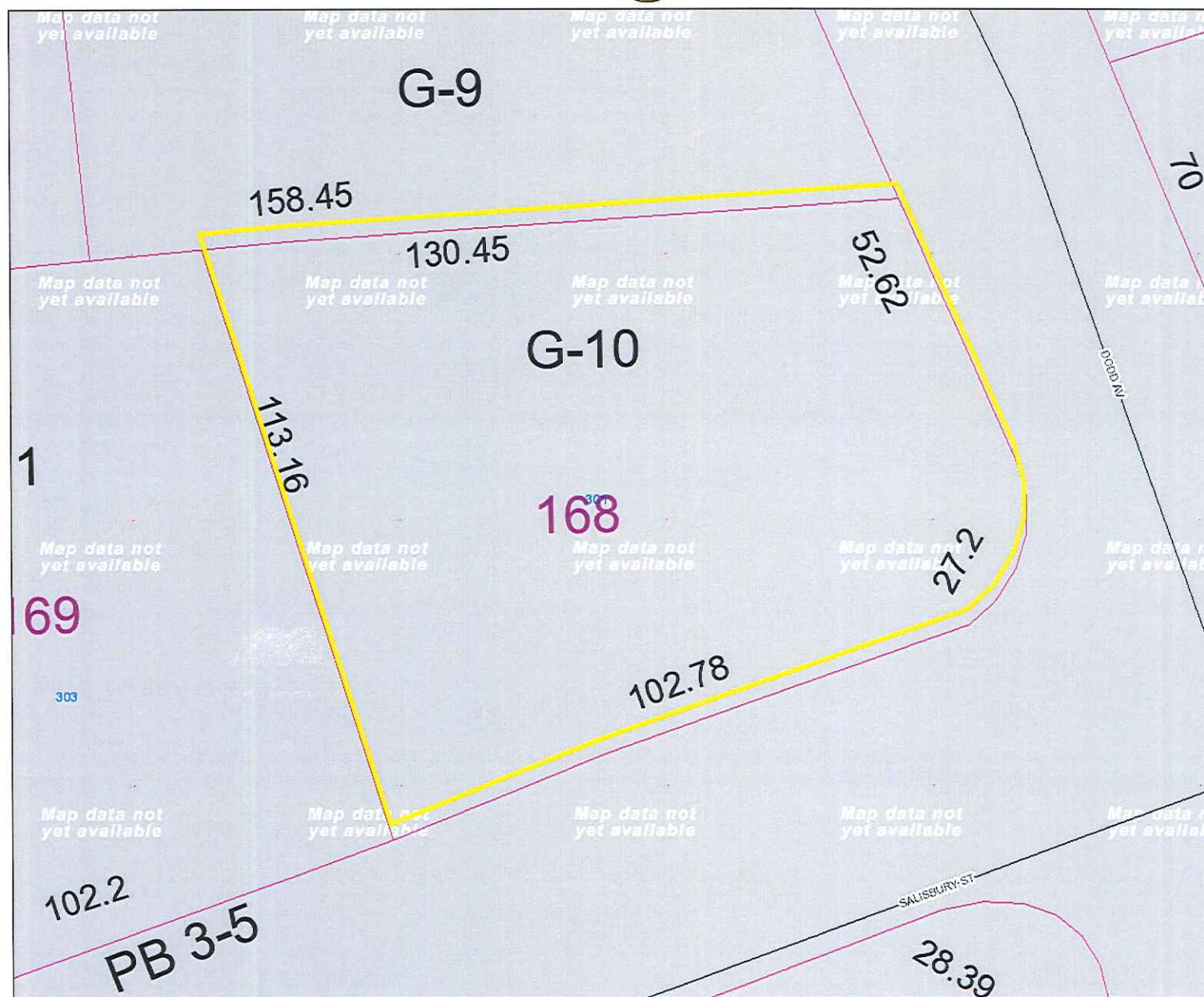
| | | | |
|-------------------------|-------------|--|--|
| JOB #2021301 | | THIS IS A SUBURBAN SURVEY | |
| DATE OF PLAN | 25 AUG 2021 | BOUNDARY SURVEY PLAN OF THE LANDS NOW OR FORMERLY OF KATHLEEN DEWEY AND JOHN DEWEY | |
| DATE OF LAST FIELD WORK | 09 AUG 2021 | | |
| | | PREPARED BY ALAN O KENT LAND SURVEYING, LLC SEAFORD, DE 19973 (302) 745-1735 | |



PROPOSED

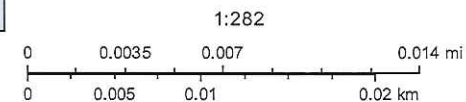


Sussex County



| | |
|------------------------|------------------|
| PIN: | 334-20.13-168.00 |
| Owner Name | DEWEY KATHLEEN A |
| Book | 4527 |
| Mailing Address | 301 SALISBURY ST |
| City | REHOBOTH BEACH |
| State | DE |
| Description | SEABREEZE |
| Description 2 | LOT G10 |
| Description 3 | N/A |
| Land Code | |

- polygonLayer
 - Override 1
 - polygonLayer
 - Override 1
 - Tax Parcels
 - 911 Address
 - Streets
 - County Boundaries
 - Tax Ditch Segments**
 - Tax Ditch Channel
 - Pond Feature
 - Special Access ROW
 - Extent of Right-of-Way
 - Approx. Watershed Boundary
 - Municipal Boundaries



Ashley Paugh

From: Andy Strine <astrine@i-realty.com>
Sent: Wednesday, October 6, 2021 3:56 PM
To: Planning and Zoning
Subject: support for the board of adjustment hearing case # 12618

CAUTION: This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

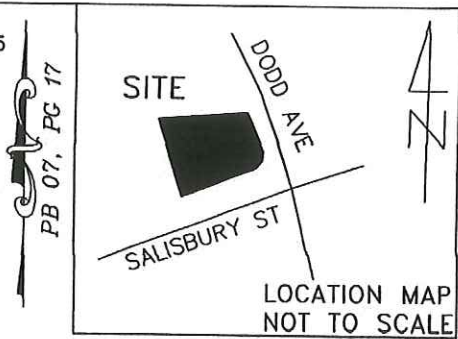
I'm writing in support of the side yard variance request, Case # 12618. I live diagonally across the street from this home. This house is on a corner lot, and has 2 "front yard " set backs, with limited back yard for the addition of a pool, so without a variance, they wouldn't be able to add this amenity. After Covid, and all the "stay at home" requirements, it's logical and desirable to make improvements and add livability to all our houses. The pool location will be tucked away in the rear corner, and not visible from the street, and will not impact the quiet enjoyment of this community. As a close neighbor, I'm in support for this variance request.

Thanks you

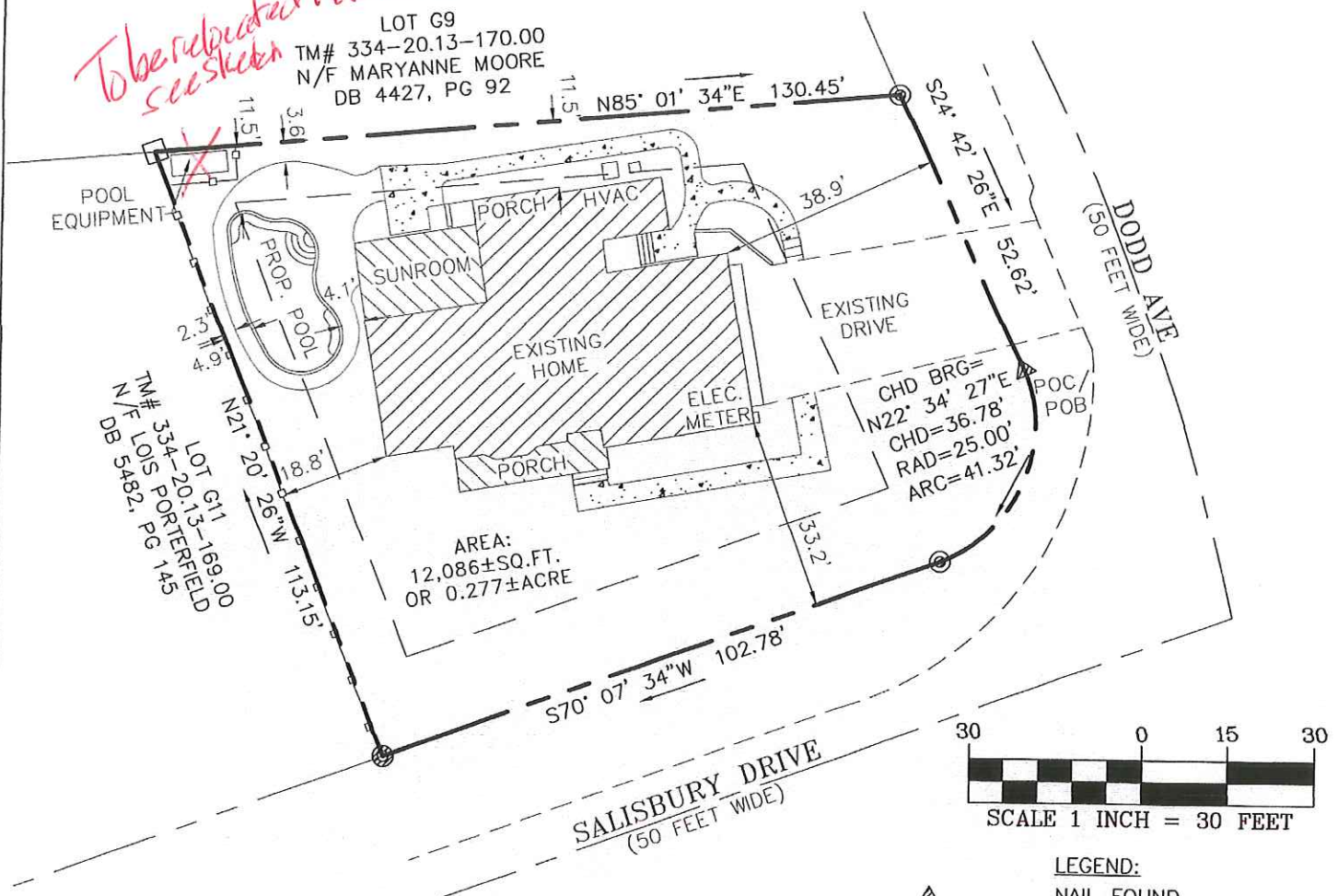
Andy Strine
308 Salisbury St
SeaBreeze.

PLAN DATA:

1. TITLE REFERENCED TO: TM# 334-20.13-168.00, DB 4527, PG 341, PB 03, PG 05
301 SALISBURY STREET, DEWEY BEACH, DE 19971
LOT G10, SEABREEZE DEVELOPMENT
LEWES AND REHOBOTH HUNDRED, SUSSEX COUNTY, STATE OF DELAWARE
2. NO TITLE REPORT PERFORMED OR FURNISHED IN PREPARATION OF THIS PLAT.
3. THIS PLAN DOES NOT CERTIFY THE EXISTENCE OR NON-EXISTENCE OF EASEMENTS OR RIGHTS OF WAY AS A FULL AND COMPLETE SEARCH MAY REVEAL IN THE SUSSEX COUNTY RECORDER OF DEEDS.
4. ACCORDING TO SUSSEX COUNTY PLANNING AND ZONING THE ZONING IS MR AND THE SETBACKS ARE: FRONT(DODD AVE)-30', SIDE-10', REAR-10', AND CORNER LOT (SALISBURY ST)-15'.



To be reflected into compliance see sketch



I, ALAN O'DALE KENT, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

[Handwritten signature of Alan O'Dale Kent]

REV 27 AUG 2021
MOVED POOL PER
CLIENT

- LEGEND:**
- NAIL FOUND
 - IRON PIPE FOUND
 - CAPPED IRON PIN SET
 - FENCE POST IN CONCRETE
 - PROPERTY LINE
 - ADJOINING PROPERTY LINE
 - BUILDING RESTRICTION LINE
 - CENTERLINE OF ROAD

JOB #2021301 THIS IS A SUBURBAN SURVEY

| | |
|--|--|
| DATE OF PLAN 25 AUG 2021 | BOUNDARY SURVEY PLAN OF THE LANDS NOW OR FORMERLY OF KATHLEEN DEWEY AND JOHN DEWEY |
| DATE OF LAST FIELD WORK 09 AUG 2021 | |
| PREPARED BY ALAN O KENT LAND SURVEYING, LLC SEAFORD, DE 199713 (302) 745-1735 | |

ALAN O'DALE KENT, PLS#738, DATE

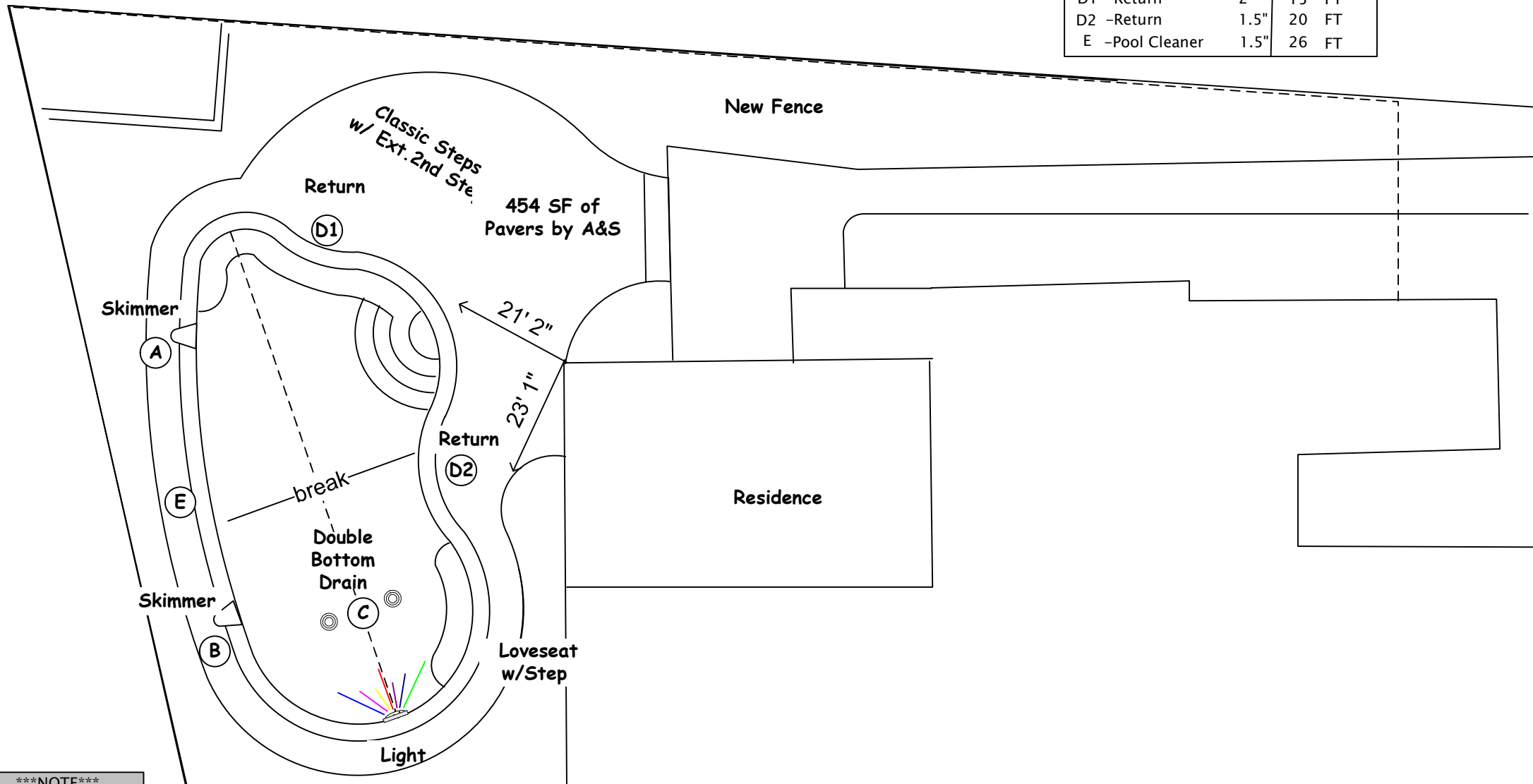
CABLE + UTILITY NUMBER #

*****CREWS*****
PLEASE KEEP SITE CLEAN & FREE OF TRASH

TOTAL WATER: 350sq. ft.
TOTAL PERIMETER: 76. ft.

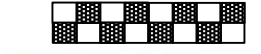
| Plumbing | Size | Run |
|-----------------|------|-------|
| A -Skimmer Line | 2" | 15 FT |
| B -Skimmer Line | 2" | 32 FT |
| C -Main Drain | 2" | 32 FT |
| D1 -Return | 2" | 15 FT |
| D2 -Return | 1.5" | 20 FT |
| E -Pool Cleaner | 1.5" | 26 FT |

| ANTHONY & SYLVAN POOLS LEGEND | | | | | | | |
|--------------------------------------|-----------------------------|------------------------|-------------------------------|--------------------------------|---------------|--------|-----|
| Dewey | | JOB NO: 2101110272 | | | | | |
| CUSTOMER INFORMATION | | | | | | | |
| CUSTOMER: | JOHN DEWEY | CUSTOMER: | KATIE DEWEY | | | | |
| ADDRESS: | 301 SALISBURY ST | SUBDIVISION: | SUSSEX | | | | |
| CITY: | REHOBOTH | STATE: | DE | | | | |
| ZIP: | 19971 | COUNTY: | SUSSEX | | | | |
| MR. CELL: | 302-226-0543 | MS. CELL: | 410-212-6880 | | | | |
| MR. EMAIL: | jwdewey59@gmail.com | MS. EMAIL: | katiedewey1@icloud.com | | | | |
| POOL INFORMATION | | | | | | | |
| MAX. WIDTH: | 14'8" | FT | POOL/NEB PERIMETER: | 76 | FT | | |
| MAX. LENGTH: | 30'4" | FT | POOL/NEB SQ. FT.: | 351 | SQFT | | |
| DEPTH: | 3 to 6 | | APPROX. VOLUME/T.O.: | 11,846 | GAL | | |
| DIVING POOL: | No | | INTERNAL AREA: | 693 | SQFT | | |
| EXCAVATION | | | | | | | |
| DIG TYPE: | STANDARD | LF | CONCRETE REMOVAL: | 0 | SF | | |
| STUMP REMOVAL: | 0 | QTY | GRADING: | 0 | LOADS | | |
| FENCE/WALL REMOVAL: | NONE | LF | SILT FENCE TYPE: | NONE | 0 | | |
| DIRT HAUL: | HAUL | | | | | | |
| POOL SPECIFICATIONS | | | | | | | |
| POOL COPING: | STANDARD TBD - ADD'M REQ'D | POOL COPING LF: | 76 | LF | | | |
| SPA/RBB COPING: | NONE | SPA/RBB COPING LF: | 28 | LF | | | |
| COPING COLOR CHOICE: | | NOTCH BEAM: | 0 | LF | | | |
| COPING GROUT COLOR: | | BROWN COAT: | 0 | SF | | | |
| EXT. 2ND STEP/BENCH: | 14 | LF | TILE CHOICE: | | | | |
| SWIM OUT: | 6 | LF | TILE GROUT COLOR: | | | | |
| SUN SHELF: | 0 | SF | TRIM TILE: | NONE | 0 | | |
| NONE | 0 | LF | INTERIOR FINISH TYPE: | ANSYLBRITE QUARTZ FINISH - TBD | | | |
| NONE | 0 | LF | INTERIOR FINISH COLOR: | | | | |
| NONE | 0 | LF | INTERIOR OPTIONS: | NONE | | | |
| NONE | 0 | LF | FITTINGS: | | | | |
| POOL EQUIPMENT | | | | | | | |
| FILTER TYPE: | 48 SF DE | BOOSTER PUMP: | NONE | | | | |
| FILTER RUN FT: | 31 | BOOSTER PUMP RUN: | 0 | SIZE: 2.0" | | | |
| POOL PUMP: | 2.7 HP VS | BOOSTER PUMP: | NONE | | | | |
| SKIMMERS: | 2 | BOOSTER PUMP RUN: | 0 | SIZE: 2.0" | | | |
| ADDL. SKIMMERS RUN: | 0 | AUTOMATION: | NONE | | | | |
| RETURNS: | 2 | AUTO MISC: | NONE | 0 | | | |
| FILL TYPE: | NONE | CHLORINATOR: | FUSION SOFT | | | | |
| FILL LINE DISTANCE: | 0 | SANITIZER: | NONE | | | | |
| HEATER: | SQ125 HEAT PUMP | SANITIZER: | NONE | | | | |
| POOL LIGHTS: | POOL COLOR LED | QTY | 1 | CLEANER: | POLARIS TR36P | | |
| OTHER POOL LIGHTS: | NONE | QTY | 0 | CLEANER: | NONE | | |
| ACCESSORIES: | SUMMER/WINTER HOOKUP | CLEANER: | NONE | | | | |
| ACCESSORIES: | NONE | VACUUM KIT: | YES | | | | |
| CUP ANCHORS: | Yes | POOL COVER: | SOLID COVER - ROYAL BLUE - SF | | | | |
| COVER PUMP: | 1 | AUTO COVER LID: | N/A | | | | |
| WATER FEATURES | | | | | | | |
| WATER FEATURE 1: | NONE | NEGATIVE EDGE: | NO | | | | |
| W/F 1 QTY/RUN: | 0 | LF | N/A | NEGATIVE EDGE RUN: | 0 | LF | |
| WATER FEATURE 2: | NONE | ACCESSORIES: | NONE | | | | |
| W/F 2 QTY/RUN: | 0 | LF | N/A | ACCESSORIES RUN: | 0 | LF | |
| WATER FEATURE 3: | NONE | ACCESSORIES: | NONE | | | | |
| W/F 3 QTY/RUN: | 0 | LF | N/A | ACCESSORIES RUN: | 0 | LF | |
| WATER FEATURE 4: | NONE | ACCESSORIES: | NONE | | | | |
| W/F 4 QTY/RUN: | 0 | LF | N/A | ACCESSORIES RUN: | 0 | LF | |
| SPA SPECIFICATIONS | | | | | | | |
| SPA SQ. FT.: | 0 | WIDTH/LENGTH | N/A | | | | |
| SPA PERIMETER: | 0 | LF | SPA PLBG RUN: | 0 | SIZE: 2" | | |
| SPA LIGHT(S) TYPE: | NONE | QTY | 0 | SPA RAISED HEIGHT: | NONE | INCHES | |
| AIR BLOWER: | NONE | SPA FACING (POOLSIDE): | N/A | | | | |
| JETS (QTY): | 0 | SPA FACING (DRYSIDE): | N/A | | | | |
| SPA ACCESSORIES: | NONE | QTY | 0 | SPA VENEER AREA: | N/A | SQFT | |
| SPA ACCESSORIES: | NONE | QTY | 0 | SPILLWAY TYPE/WIDTH: | NOTCH | LF | N/A |
| DECK - ELECTRIC - GAS SPECIFICATIONS | | | | | | | |
| POOL DECK AREA: | 0 | SF | POOL DECK DRAINAGE: | NONE | 6 | | |
| POOL DECK MATERIAL: | NONE | OTHER DECK DRAINAGE: | NONE | 0 | | | |
| POOL DECK COLOR: | | OTHER DECK DRAINAGE: | NONE | 0 | | | |
| EXISTING DECK TOPPING: | NONE | DOWNSPOUT CONNECTS: | N/A | | | | |
| EXISTING DECK AREA: | 0 | DECK OTHER: | NONE | 0 | | | |
| DECK CONTRACTOR: | A&S | DECK OTHER: | NONE | 0 | | | |
| ELECTRIC CONTRACTOR: | A&S | CONCRETE PUMP: | NO | | | | |
| SUB PANEL: | YES | STEP TREAD/RISER: | STEPS - PAVERS - ALL - LF | | | | |
| FENCE CONTRACTOR: | BY HOMEOWNER | POOL DECK STEPS: | 6 | LF | | | |
| DOOR / GATE ALARMS: | NONE | TURNDOWN: | 0 | SQFT | | | |
| HEATER GAS PLUMB: | 0 | LF | OTHER GAS PLUMB: | 0 | LF | | |
| GAS SIZE & TYPE: | N/A | GAS SIZE & TYPE: | N/A | | | | |
| HEATER GAS TRENCH: | HEATER GAS LINE TRENCHING - | 40 | OTHER GAS TRENCH: | NONE | 0 | | |



NOTE
Changes from the agreement are by addendum only, signed by both parties and paid in full at time of affixing signature. No changes will occur prior to signing addendum.

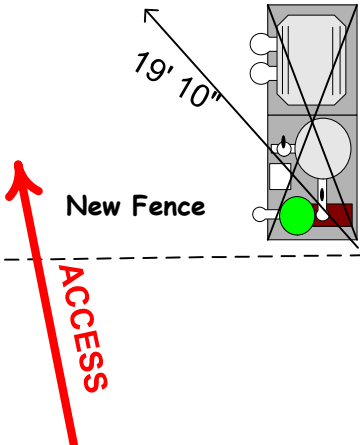
DRAWING SCALED AT 1/8" = 1' 1" = 8'



NOTE: TO BE NUMBERED AND REFERRED TO ON PLAN VIA SYMBOL

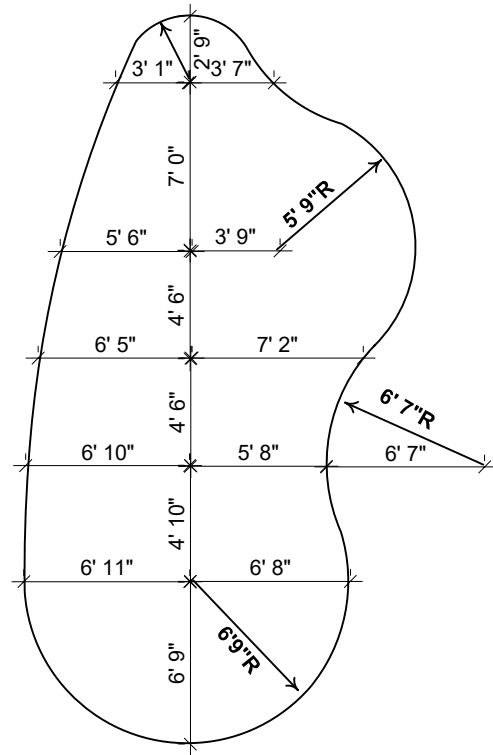
| | |
|---|----------|
| ⊕ | T.O.C. = |
| ⚠ | --- |
| ⚠ | --- |

| REVISIONS | |
|-----------|---------------|
| Date | Description |
| 03.11.20 | Initial Draft |
| ---- | ---- |

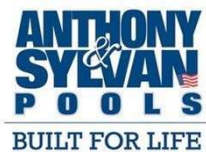
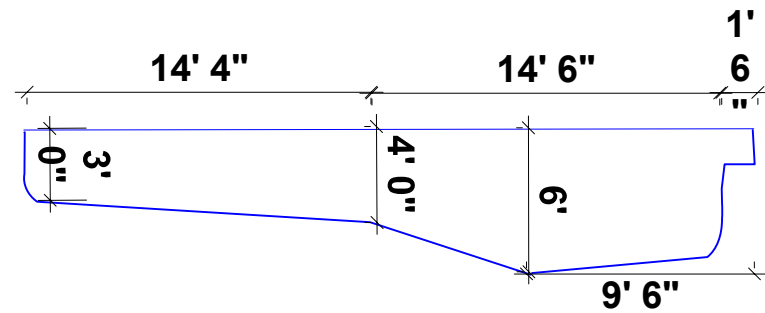


Electric

Pool Layout Detail



Cross Section Detail



DRAWING SCALED AT 1/8"
Unless otherwise noted

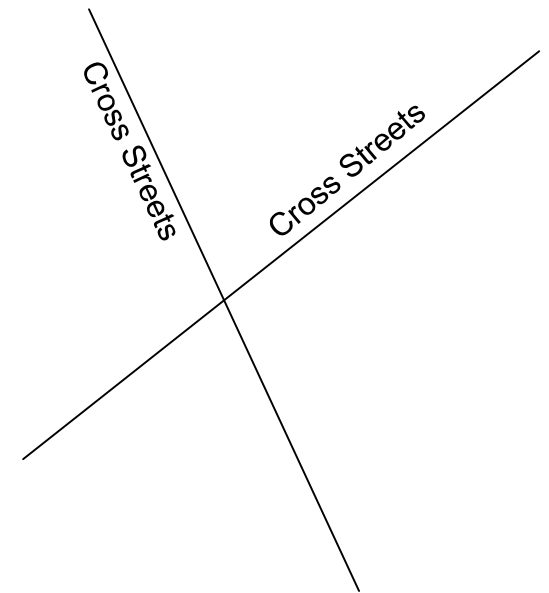
Survey Plan
Not to Scale

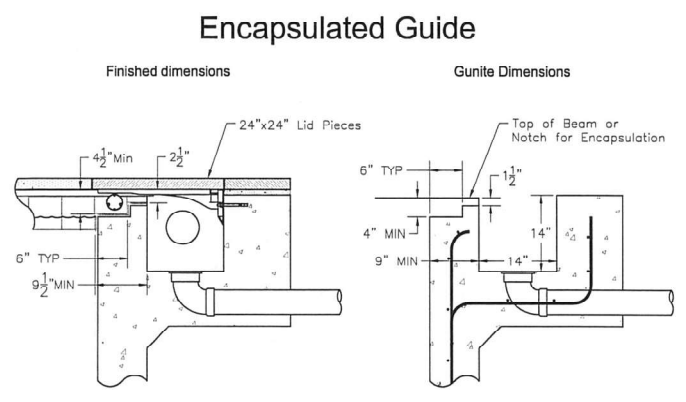
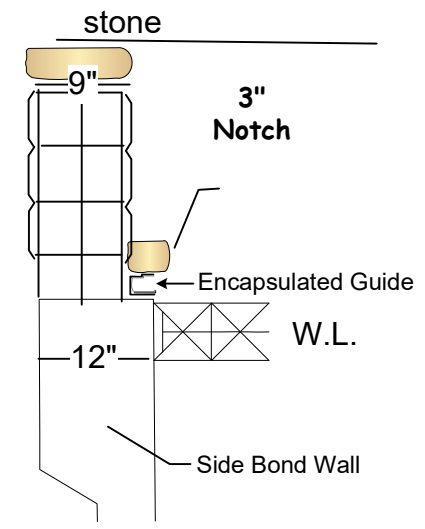
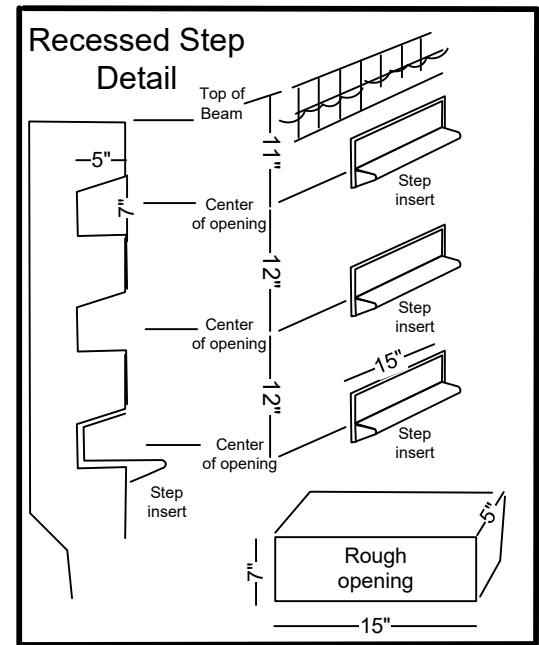
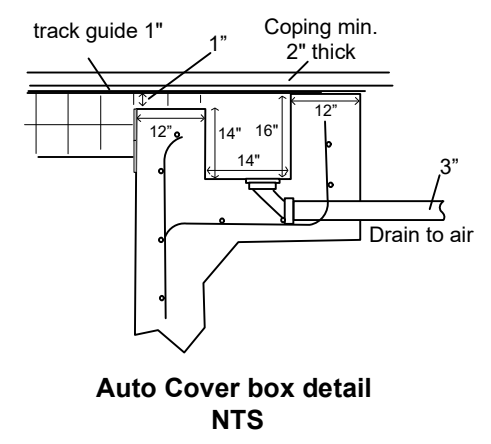
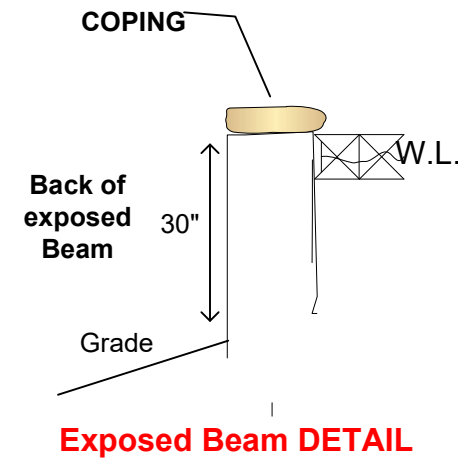
| BACKYARD FEATURES | | | | | | | |
|-------------------|------|---|------|-------------|------|---|------|
| WALLS: | NONE | 0 | SQFT | WALLS: | NONE | 0 | SQFT |
| WALL CAP: | NONE | 0 | LF | WALL CAP: | NONE | 0 | LF |
| WALL OPTIONS: | NONE | 0 | LF | FENCE GATE: | NONE | 0 | QTY |
| FENCE GATE: | NONE | 0 | QTY | FENCE TYPE: | NONE | 0 | LF |

| POOL SETBACKS | | | | | |
|---------------|--------------|-----|-----------------|---|-----|
| REAR: | 10' to Water | FT. | EQUIPMENT: | 0 | FT. |
| SIDES: | 6' to Water | FT. | FENCE: | 0 | FT. |
| HOUSE: | 0 | FT. | OTHER SETBACKS: | 0 | FT. |

| ANTHONY & SYLVAN CO | | | |
|---------------------|---|------------------|----------------|
| DESIGNER: | ROBERT MCCUBBIN | CELL PHONE NO: | 215-431-3404 |
| A&S OFFICE: | DELAWARE | OFFICE PHONE NO: | (267) 640-2359 |
| ADDRESS: | 1450 CAPITAL TRAIL, STE 113, NEWARK, DE | TOWNSHIP: | Sussex |
| GENERAL MANAGER: | NEIL COYNE | OFFICE PHONE NO: | (267) 640-2359 |
| PROJECT MANAGER: | Frank Ziccarreli | CELL PHONE NO: | 267-228-0403 |

Map





At Shoot make RBB ends clean and square. Back of beam to be even and smooth and consistent in width BOTH SIDES

Bottom of return pipes 12" down from beam

HEAT PUMPS REQUIRE AN "H" BYPASS

2 Different style notes for 1st page

Gunite/Shotcrete Crew see page 2 for Sunshelf detail

Excavator to place pin from C/L pin at form for SS detail see page 2

