

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY WINGATE



2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DE 19947  
(302) 855-7878 T  
(302) 854-5079 F  
sussexcountyde.gov

# Sussex County Planning & Zoning Commission

## AGENDA

October 17, 2019

6:00 P.M

### Call to Order

### Approval of Agenda

### Approval of Minutes – N/A

### Old Business

#### C/Z 1890 W&B Hudson Family Ltd

KS

An Ordinance to amend the Comprehensive Zoning Map of Sussex County from an AR-1 Agricultural Residential District and a MR Medium Density Residential District to a C-3 Heavy Commercial District for a certain parcel of land lying and being in Broadkill Hundred, Sussex County, containing 37.08 acres, more or less. The property is lying on the south side of Lewes-Georgetown Hwy. (Rt. 9), approximately 340 ft. east of Harbeson Rd (Rt. 5) and on the east side of Harbeson Rd. (Rt. 5), approximately 456 ft. south of Lewes-Georgetown Hwy. (Rt. 9). 911 Address: N/A. Tax Parcels: 235-30.00-62.00, 64.00, 66.00, 67.00, 70.00, & 72.00.

### Public Hearings

#### 2019-17 Iris Cove – David S. Elechko and Margaret O. Elechko

BM

A standard subdivision to divide 9.10 acres +/- into 2 single-family lots to be located on a certain parcel of land lying and being in Baltimore Hundred, Sussex County. The property is located on the east side of Ajewell Rd., (a 50 ft. private access Rd.) approximately 205 ft. northeast of Vines Creek Rd. (Rt. 26). Tax Parcel: 134-11.00-148.00. Zoning District. AR-1 (Agricultural Residential District).

#### 2019-18 Merrill J. & Betty L. Parker

BM

A standard subdivision to divide 49.80 acres +/- into 8 single-family lots to be located on a certain parcel of land lying and being in Dagsboro Hundred, Sussex County. The property is located on the northeast side of Lakeview Rd. approximately 3,850 ft. southeast of Country Living Rd. Tax Parcel: 133-15.00-19.00. Zoning District: AR-1 (Agricultural Residential District).

#### C/U 2194 Imagination-Renovation, LLC

KS

An Ordinance to grant a Conditional Use of land in an AR-1 Agricultural Residential



**District for a furniture making and repair business to be located on a certain parcel of land lying and being in Indian River Hundred, Sussex County, containing 5.0 acres, more or less.** The property is lying on the east side of Rust Rd. approximately 0.25 mile south of Harbeson Rd. (Rt. 5). 911 Address: 20601 Rust Rd., Harbeson. Tax Parcel: 234-4.00-10.32.

**C/Z 1893 Lisa Horsey**

HW

**An Ordinance to amend the Comprehensive Zoning Map of Sussex County from an AR-1 Agricultural Residential District to a C-2 Medium Commercial District for a certain parcel of land lying and being in Broad Creek Hundred, Sussex County, containing 0.474 acre, more or less.** The property is lying at the northeast corner of Sussex Hwy. (Rt. 13) and Boyce Rd. 911 Address: 28537 Sussex Hwy., Laurel. Tax Parcel: 132-12.00-113.00.

**C/Z 1894 Howard Pepper, Jr**

HW

**An Ordinance to amend the Comprehensive Zoning Map of Sussex County from an AR-1 Agricultural Residential District to a C-3 Heavy Commercial District for a certain parcel of land lying and being in Baltimore Hundred, Sussex County, containing 2.368 acres, more or less.** The property is lying on the east side of DuPont Blvd. (Rt. 113), approximately 0.38 mile south of Lazy Lagoon Rd. 911 Address: 35029 DuPont Blvd., Frankford. Tax Parcel: 533-4.00-61.00.

**Other Business**

**S-17-33 Arbor-Lyn**

BM

Final Site Plan

**Hocker’s Supercenter – Car Wash**

BM

Revised Amenities Site Plan

**S-19-38 Cellco Partnership – DOV Springfield Hollis**

KS

Preliminary Site Plan

**Lands of Ann J. Banks**

BM

Minor off a 50-ft. easement

\*\*\*\*\*

Planning and Zoning Commission meetings can be monitored on the internet at

[www.sussexcountyde.gov](http://www.sussexcountyde.gov).

\*\*\*\*\*

In accordance with 29 Del. C. §10004(e)(2), this Agenda was posted on October 10, 2019, at 3:00 p.m., and at least seven (7) days in advance of the meeting.

This Agenda is subject to change to include the addition or deletion of items, including Executive Sessions, which arise at the time of the Meeting.

Agenda items listed may be considered out of sequence.

####

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE CHAIRMAN  
R. KELLER HOPKINS  
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J. BRUCE MEARS



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# Sussex County Planning & Zoning Commission

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET  
Planning Commission Public Hearing Date October 17, 2019.

Application: 2019-17 Iris Cove

Applicant: David S. Elechko  
34281 Vines Creek Road  
Dagsboro, DE 19939

Owner: David S. & Margaret O. Elechko  
34281 Vines Creek Road  
Dagsboro, DE 19939

Site Location: On the east side of Vines Creek Road (Route 26), bisected by Ajewell Road.

Zoning: AR-1 (Agricultural Residential Zoning District)

Current Use: Agricultural Land

Proposed Use: 2 Single Family Dwellings (Lots)

Comprehensive Land Use Plan Reference: Coastal Area

Councilmatic District: Mr. Hudson

School District: Indian River School District

Fire District: Millville Fire District

Sewer: Private

Water: Private

Site Area: 9.10 acres +/-

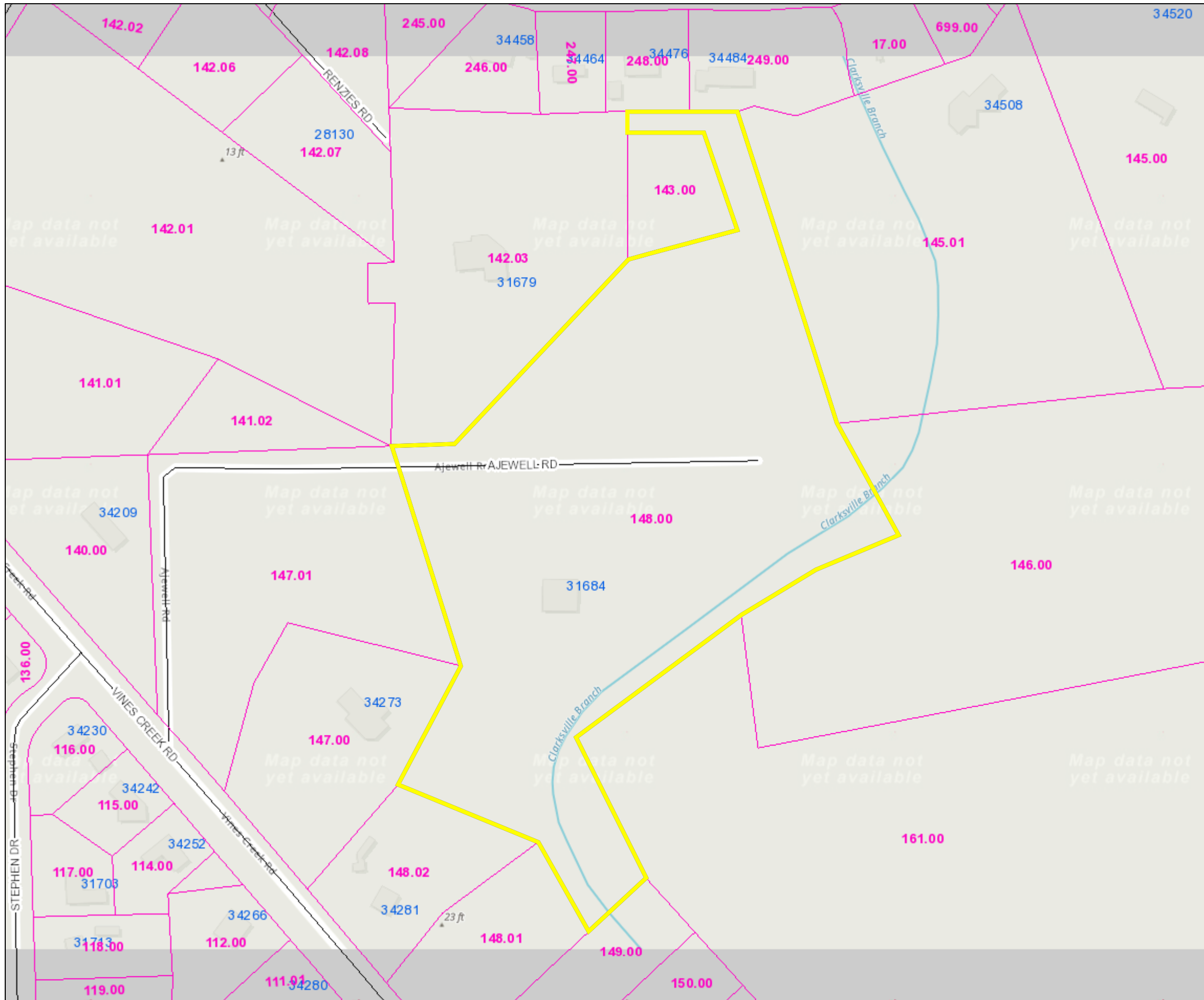
Tax Map ID.: 134-11.00-148.00



COUNTY ADMINISTRATIVE OFFICES  
2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DELAWARE 19947



# Sussex County



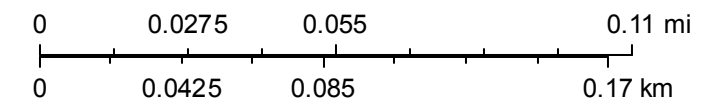
<b>PIN:</b>	134-11.00-148.00
<b>Owner Name</b>	ELECHKO DAVID S
<b>Book</b>	4250
<b>Mailing Address</b>	31684 AJEWELL ROAD
<b>City</b>	DAGSBORO
<b>State</b>	DE
<b>Description</b>	205'NE/RT26
<b>Description 2</b>	E/50'ACCESS EASE
<b>Description 3</b>	LOT 4
<b>Land Code</b>	

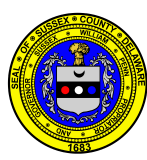
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  - Override 1
- polygonLayer**

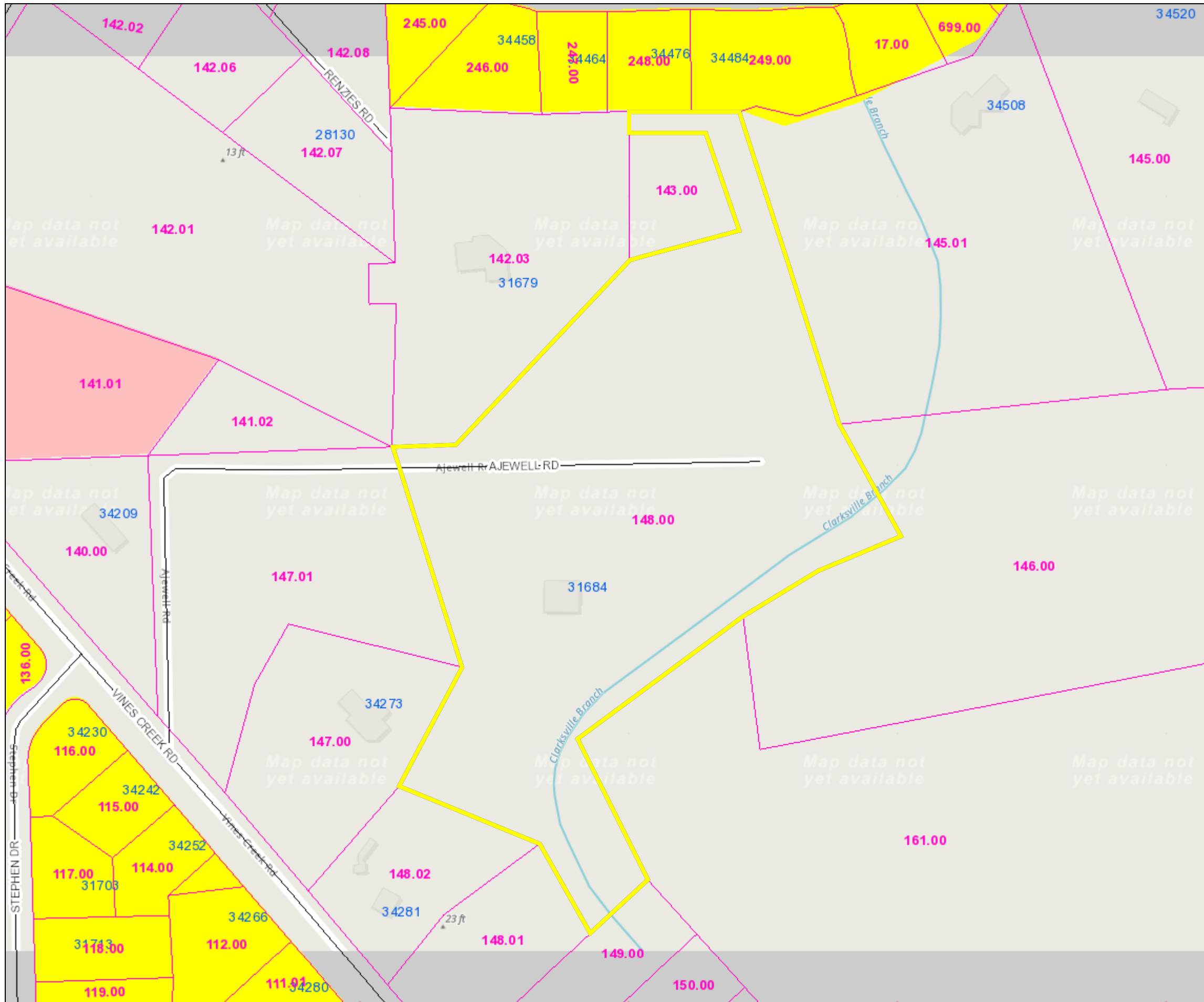
  - Override 1
  - Tax Parcels
  - 911 Address
  - Streets
  - County Boundaries
  - Municipalities

1:2,257





# Sussex County



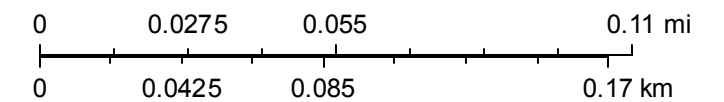
<b>PIN:</b>	134-11.00-148.00
<b>Owner Name</b>	ELECHKO DAVID S
<b>Book</b>	4250
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<b>City</b>	DAGSBORO
<b>State</b>	DE
<b>Description</b>	205'NE/RT26
<b>Description 2</b>	E/50'ACCESS EASE
<b>Description 3</b>	LOT 4
<b>Land Code</b>	

- polygonLayer

  - Override 1
- polygonLayer

  - Override 1
  - Tax Parcels
  - 911 Address
  - Streets

1:2,257

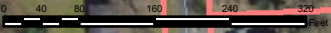


Mailing List Exhibit Map  
Planning Commission  
2019-17 Iris Cove  
134-11.00-148.00  
David S. Elechko  
34281 Vines Creek Road  
Dagsboro, DE 19939

On the east side of Vines Creek Road (Route 26), bisected by Ajewell Road.



7-26-2018



Delaware Office of State Planning Coordination, Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community, Sussex County, Sussex County Government, Sussex County Mapping and Addressing, DelDOT 2017

559906

I/A RESIDENTIAL OWTDS SITE EVALUATION  
BY ATLANTIC RESOURCE MANAGEMENT, INC.  
APPROVAL PAGE 1 OF 2

RECEIVED  
JAN 09 2019  
DELAWARE COUNTY

The soils on this site are approved when the following is completed in full and signed by the approving authority. Groundwater contained in this Site Evaluation reflects Delaware Department of Natural Resources and Environmental Control (DNREC) sampling procedures at the time of the review. Exhibits and Regulations cited in this report refer to DNREC "Regulations Governing the Design, Installation, and Operation of On-Site Wastewater Treatment and Disposal Systems" (OWTDS). Isolation distance requirements, limited area of suitable soils, filling, removal, and/or compaction of the soil may negate construction permit approval or modify the type of system that can be permitted. All information should be verified by interested parties prior to design and installation of the septic system. This is not a construction permit. Approval of this Site Evaluation is limited to five years. Upon expiration, a new Site Evaluation will be required in compliance with Regulations in effect at the time. There are no guarantees supplemental approvals will be for the same system type(s) prescribed herein.

**Property Ownership:** David S. and Margaret O. Elechko **Tax Map #:** 1-34-11.00-148.00 (P/O - Lot 6 Septic Area)

**Initial OWTDS\*\*:** Options are provided Exhibit C isolation distances (especially watercourse, Shellfish Waters) are maintained.  
- **\*Innovative and Alternative (I/A) Elevated Sand Mound (36 inch separation distance optimal) with an Advanced Treatment Unit (PSN3 Required) OR other applicable \*Innovative and Alternative (I/A) OWTDS** (i.e. Micro-Irrigation Drip, Peat Biofilter. In the absence of a **\*\*Formal Waiver or \*\*Additional Site Work** (cut area re-graded to an ephemeral drainage feature with a **1 foot** maximum invert beneath top of bank within affected portion of OWTDS design area; **Required** Regulatory and adjacent Ownership approvals are the subject property ownership's responsibility), a **\*\*100 feet** setback is required to the private, man-made borrow type pit/ cut area with **no** outlet that runs with the rear (western) property line (DNREC designated Shellfish Waters with proposed plat date after 1984; see *Shellfish Waters Guidelines and Map*).

**\*Drainfield/ Pad/ Absorption Facility Recommendations:** For any absorption facility - **a) Maximize the separation distance to a minimum of 18 to 24 to 36 (optimal) inches** due to the degree/ persistence of saturation and potential for mounding; **b) Maximize the drainfield based on the available area to a minimum of 1,500 square feet (12 inch gravel thickness) per 480 gallons per day;** **c) In the case of a Peat Fiber Biofilter with multiple modules, a setback of 6 to 10 feet is recommended between the modules.** The Site Evaluator would support a **24 inch** separation distance with the use of an Elevated Sand Mound utilizing a PSN3 Advanced Treatment Unit and *Operation and Maintenance* plan. A PSN3 Advanced Treatment Unit is required for Micro-Irrigation "Drip". Collaboration with the Site Evaluator is welcome at all stages of design and installation. ARM, Inc. accepts no/ limited professional liability for an OWTDS sited that is **not** in strict adherence with these *recommendations (atypical conditions present)*.

**\*USER NOTES/ CAUTIONS: Please add the pertinent Notes prominently to the Permit Construction Plan and Conditions Page-s.** Consider making the Site Evaluation *Approval Pages* an addendum to the Permit – ownership's responsibility to ensure.  
**1) An 18-24 to 36 (optimal) inch separation distance** (drainfield invert - limiting zone) is *strongly recommended* due to the potential degree of saturation between the surface and limiting zone. **2) Please add this Note prominently to the Permit Construction Plan/ Conditions Pages:** During proper soil moisture conditions, experienced professionals should **remove the vegetative mat and chisel/ subsoil/ moldboard plow** within the drainfield and berm footprint *in accordance with the Regulations*.  
**3) \*\*Maintain a 100 feet setback to the adjacent private, man-made borrow type pit/ cut area with no outlet (Shellfish Waters with proposed plat date after 1984),** in the absence of a Formal Waiver or re-grading the hydrologic feature to an ephemeral basin above the seasonal high water table. **4) No vehicular traffic (non-tracked or high ground pressure) is to enter the drainfield area for the purposes of dumping engineered sandy fill/ construction.** **5) It is strongly recommended that all site work on this property be during proper soil moisture conditions with zones of saturation and a groundwater level greater than 3.5 feet bgs, which would limit the time of year for system installation. A watertight septic tank and dosing chamber, as required by Regulation, are important.** **6) There are no other options for OWTDS on this parcel in the absence of a Formal Waiver (Shellfish Waters encroachment).** Wet season testing via observation wells was recommended to the client to prove a deeper limiting zone. **7) It was reported that Planning and Zoning required this Site Evaluation as part of the subdivision approval (DNREC Soil Feasibility Study not required per the client).** Data has been collected on this property since an August, 2017 soils reconnaissance. Interior property lines are proposed per a client plan by Russell T. Hammond Surveying, LLC (06/14/2018). This work scope is to site an OWTDS-Septic for Proposed Lot 6. A Utility Easement/ Declaration of Covenants and Restrictions (DCR) will be required for the OWTDS to cross property lines. It is *strongly* recommended that an OWTDS-Septic Concept Plan/ Permit be completed to determine the legal description requirements for the Easement/ DCR prior to additional site planning or financial transactions/ property transfer. If the *proposed property lines change*, the approved Site Evaluation will be negated. A new plot drawing showing the locations of the Soil Borings, new lot dimensions, etc. will be *required* in order for the Site Evaluation to be re-approved.

**Location of System:** As shaded (cross-hatched) on the plot drawing in the vicinity of Soil Borings L-1, L-2, L-3, L-4, and R-3  
**Depth(s) to Limiting Zone:** 12 (variable with increasing elevation to 18) inches to prolonged indications (soil morphology/ interpreted hydrology) of the seasonal high water table/ zones of saturation. See *\*Drainfield Recommendations*.

- Continued on Approval Page 2 of 2 -

01 0109'19 10'45 06129 PLU SITE EVAL. \$75.00

01/08/2019  
Date

Atlantic Resource Management, Inc. Job # 063-DS18-AE

*[Signature]*  
Evaluator's Signature

**INNOVATIVE AND ALTERNATIVE RESIDENTIAL OWTDS**  
**SITE EVALUATION - APPROVAL PAGE 2 OF 2**

**Property Ownership:** David S. and Margaret O. Elechko

**Tax Map #:** 1-34-11.00-148.00 (P/O - Lot 6 Septic Area)

- Continued from Approval Page 1 of 2 -


**Design Considerations and Comments:** See Exhibit Q (Elevated Sand Mound –gravel placed at 24” above grade at average design elevations; 36” separation distance optimal) / Section 5.3.31. **Nitrogen Reducing Technologies** meeting **PSN3 standards** must be incorporated in the design due to limiting zone depth (< 20” Conventional; < 18” Micro-Irrigation Drip, where applicable) and/ or site location within the Inland Bays Watershed (non-sewer district; PCS Regulations). **Operation and Maintenance required.** A 100’ isolation distance is generally required from all non-public wells. Future development (well/ OWTDS placement) on adjacent parcels may modify or negate this Evaluation.

This evaluation is to site one, new On-site Wastewater Treatment and Disposal System (OWTDS-septic) for new single-family residential construction (factor potential occupancy) or comparable land-use/ development with a wastewater volume not to exceed 600 gallons per day (loading rate given site and soil conditions for authorized work scope). **An OWTDS-Septic Permit is recommended prior to additional planning/ financial transactions.** See the **\*User Notes/ Cautions, which are imperative for this property.** Slopes are 0 to 1.5 % and significant to OWTDS design/ installation. All pertinent features were located by differential GPS and are depicted on a drawing adapted from the Record Plot and client provided Survey (Russell T. Hammond Surveying, LLC, 06/14/2018). Pertinent features were located with respect to the found, tract-project property corners (concrete monument, iron pipe) noted on the plot drawing and **Utility Box 59699 99950. The drawing is not and should not be construed as a survey. No construction traffic or grading and filling activities are to occur in the OWTDS area.** The ownership/ developer is responsible for placing a substantial barrier (see *Regulatory Guideline*) around the OWTDS area prior to beginning any development. **System installation and all site work should occur during proper soil moisture conditions and final grading must insure that no surface water (including impervious area/ sump discharge) be directed towards the OWTDS area. Irrigation use, water/ sump discharge, system over-trafficking, and tree plantings in the drainfield area are prohibited activities by the Evaluator. The designer is to field-verify all isolation distances and measurements prior to permitting.** Conditions between borings are, in fact, unknown. This is an important consideration given the 1950’s era borrow pit activities within the evaluated area. Five soil borings were conducted to confirm the soil conditions over the proposed OWTDS area.

**Future Replacement Disposal System Type:** Same as above or sand-lined upgrade in area of initial system(s)

**Instructions to Property Owner(s) – Clientele**

- 1) Contact a Class C System Designer.
- 2) A percolation rate of **50 (maximize in design area with noted \*Drainfield Recommendations)** minutes per inch have been assigned to these soils based upon rates as provided in Section 5.0 and Exhibit Y of the Regulations and other soil and site factors. You may use the assigned percolation rate or, at your expense, have a percolation test conducted. If you do not choose to use the assigned percolation rate, contact a Licensed Class A Percolation Tester and, *if different*, the Site Evaluator (testing specifications – methodology, depth, number of tests).
- 3) For questions, call the evaluator at (302) 539-2029 or DNREC at (302) 856-4561 (Sussex County, Georgetown Office) / (302) 739-9947 (Kent/ New Castle County, Dover Office).

This report has been prepared by or under the supervision of: , License # A/D-2460  
Laf P. Erickson, CPSS/SC


**Disclaimer:** Approval of this Site Evaluation indicates only that the Site Evaluation, **based on information presented to us**, was conducted in compliance with these Regulations. It is not an indication of the correctness or quality of the evaluation nor does it guarantee the evaluation is free of omissions.

Field Checked \_\_\_\_\_

**For office use only**

Expiration Date 1/16/24

Date 1/16/19

  
DNREC Reviewing Soil Scientist

**If there are questions regarding this report, contact Laf Erickson.**

Departmental Review Comments/ Suggestions: \_\_\_\_\_



**INNOVATIVE AND ALTERNATIVE RESIDENTIAL OWTDS  
SITE EVALUATION - APPROVAL PAGE 2 OF 2**

**Property Ownership:** David S. and Margaret O. Elechko

**Tax Map #:** 1-34-11.00-148.00 (P/O - Lot 6 Septic Area)

- Continued from Approval Page 1 of 2 -

**Design Considerations and Comments:** See Exhibit Q (Elevated Sand Mound –gravel placed at 24” above grade at average design elevations; 36” separation distance optimal) / Section 5.3.31. **Nitrogen Reducing Technologies** meeting **PSN3 standards** must be incorporated in the design due to limiting zone depth (< 20” Conventional; < 18” Micro-Irrigation Drip, where applicable) and/ or site location within the Inland Bays Watershed (non-sewer district; PCS Regulations). **Operation and Maintenance required.** A 100’ isolation distance is generally required from all non-public wells. Future development (well/ OWTDS placement) on adjacent parcels may modify or negate this Evaluation.

This evaluation is to site one, new On-site Wastewater Treatment and Disposal System (OWTDS-septic) for new single-family residential construction (factor potential occupancy) or comparable land-use/ development with a wastewater volume not to exceed 600 gallons per day (loading rate given site and soil conditions for authorized work scope). **An OWTDS-Septic Permit is recommended prior to additional planning/ financial transactions.** See the *\*User Notes/ Cautions, which are imperative for this property.* Slopes are 0 to 1.5 % and significant to OWTDS design/ installation. All pertinent features were located by differential GPS and are depicted on a drawing adapted from the Record Plot and client provided Survey (Russell T. Hammond Surveying, LLC, 06/14/2018). Pertinent features were located with respect to the found, tract-project property corners (concrete monument, iron pipe) noted on the plot drawing and **Utility Box 59699 99950. The drawing is not and should not be construed as a survey. No construction traffic or grading and filling activities are to occur in the OWTDS area.** The ownership/ developer is responsible for placing a substantial barrier (see *Regulatory Guideline*) around the OWTDS area prior to beginning any development. **System installation and all site work should occur during proper soil moisture conditions and final grading must insure that no surface water (including impervious area/ sump discharge) be directed towards the OWTDS area. Irrigation use, water/ sump discharge, system over-trafficking, and tree plantings in the drainfield area are prohibited activities by the Evaluator. The designer is to field-verify all isolation distances and measurements prior to permitting.** Conditions between borings are, in fact, unknown. This is an important consideration given the 1950’s era borrow pit activities within the evaluated area. Five soil borings were conducted to confirm the soil conditions over the proposed OWTDS area.

**Future Replacement Disposal System Type:** Same as above or sand-lined upgrade in area of initial system(s)

**Instructions to Property Owner(s) – Clientele**

- 1) Contact a Class C System Designer.
- 2) A percolation rate of 50 (maximize in design area with noted *\*Drainfield Recommendations*) minutes per inch have been assigned to these soils based upon rates as provided in Section 5.0 and Exhibit Y of the Regulations and other soil and site factors. You may use the assigned percolation rate or, at your expense, have a percolation test conducted. If you do not choose to use the assigned percolation rate, contact a Licensed Class A Percolation Tester and, *if different*, the Site Evaluator (testing specifications – methodology, depth, number of tests).
- 3) For questions, call the evaluator at (302) 539-2029 or DNREC at (302) 856-4561 (Sussex County, Georgetown Office) / (302) 739-9947 (Kent/ New Castle County, Dover Office).

**This report has been prepared by or under the supervision of:** \_\_\_\_\_, License # A/D-2460  
Lāf P. Erickson, CPSS/SC

**Disclaimer:** Approval of this Site Evaluation indicates only that the Site Evaluation, based on information presented to us, was conducted in compliance with these Regulations. It is not an indication of the correctness or quality of the evaluation nor does it guarantee the evaluation is free of omissions.

Field Checked \_\_\_\_\_ **For office use only** Expiration Date \_\_\_\_\_

\_\_\_\_\_ Date \_\_\_\_\_  
DNREC Reviewing Soil Scientist

Departmental Review Comments/ Suggestions: \_\_\_\_\_



**INNOVATIVE AND ALTERNATIVE RESIDENTIAL OWTDS SITE EVALUATION REPORT****Property Ownership:** David S. and Margaret O. Elechko**Tax Map #:** 1-34-11.00-148.00 (P/O - Lot 6 Septic Area)**Owner's Address:** 34281 Vines Creek Road - Dagsboro, DE 19939**Phone:** (302) 228-5685**Property Location:** S/ off Ajewell DR (ADJ. 911: 31684), 645' NE/ SR 26 (Vines Creek RD); Dagsboro, Sussex County, Delaware**Prop. Size:** 1.6 ± acs. (Lot 6)/ 7.3 acs. (**Revised Lot 4**) per Survey dated 06/2018; Reference: PB 110, PG 146; 2019 proposed plat date**Evaluator's Name:** Lāf P. Erickson, CPSS/SC**License Number:** A/D-2460**Evaluation Dates:** 12/16/2018 (recent) and 09/13/2017, 02/24/2018, & 03/23/2018 (Soils Reconnaissance)**Central Water:** N/A - **Central Sewer:** N/A, *Vines Creek Planning Area*; Determining Future sewer availability beyond scope.**Watershed:** **Inland Bays**; Indian River Bay (HUC 020403030206); **OWTDS:** > 50' Watercourse-s/ **No** Tax Ditch R.O.W. **Impacts****Depth to and Type of Limiting Zones Encountered** – all measurements are depths beneath ground surface (bgs.):**Soil Boring L-1:** 18 inches to indications of the seasonal high water table based on soil morphology/ interpreted hydrology60 (12/16) inches to free water; Aquic Hapludult—Glassboro Series, Area *Disturbed* by Former Land-Use**Soil Boring L-2:** 15 inches to indications of the seasonal high water table based on soil morphology/ interpreted hydrology57 (12/16) inches to free water; Aquic Hapludult— Glassboro Series, *Disturbed* (201845'± N, 732235'± E)**Soil Boring L-3:** 13 inches to indications of the seasonal high water table based on soil morphology/ interpreted hydrology63 (12/16) inches to free water; Aquic Hapludult—Glassboro Series, Area *Disturbed* by Former Land-Use**Soil Boring L-4:** 13 inches to indications of the seasonal high water table based on soil morphology/ interpreted hydrology61 (12/16) inches to free water; Aquic Hapludult—Glassboro Series, *Disturbed* (201889'± N, 732304'± E)**Soil Boring R-3:** 12" limiting zone; 61" (9/13/17), 74" (2/24/18), 67" (3/23/18), 62" (12/16/18) free water; Aquic Hapludult—Glassboro

**Summary of Evaluation:** Soils in the OWTDS area are somewhat poorly drained (agricultural drainage class) based on soil morphology with moderately rapidly to slowly (50 MPI for design purposes with noted *\*Drainfield Recommendations*) permeable stratum/ substratum/ saturated hydrology (interpreted mounding potential within recommended separation distances for specified loading rate). Site conditions are suited for an *\*Innovative and Alternative Elevated Sand Mound (recommended)* OWTDS with an **Advanced Treatment Unit** (PSN3 standard) Or other applicable *\*I/A* (Peat Fiber Biofilter, Micro-Irrigation Drip) OWTDS in the vicinity of Borings **L-1, L-2, L-3, L-4, and R-3** (as *cross-hatched* on drawing); *provided isolation distances (especially watercourse – Shellfish Waters; see Approval Page 1 of 2 for information regarding a Formal Waiver or re-grading of hydrologic feature to mitigate watercourse setbacks) are maintained per Exhibit C.* The approval of this site for an *Innovative and Alternative* system is based solely on DNREC policy and Section 5.3.31 of the Regulations Governing the Design, Installation and Operation of OWTDS. There are **no** other areas of suitability for OWTDS within the project area (Lots 4 and 6) due to Shellfish Waters setbacks or soil conditions (Boring R-5, significant cuts and poor quality fills) in the absence of wet season testing (i.e. observation wells) and/ or a *Formal Waiver – Contact Evaluator for options.* Slopes are **0 to 1.5** percent in the OWTDS design area and are significant to OWTDS design and installation. The **OWTDS area** is impacted by Watercourse setbacks (< 100 feet, borrow pit/ cut area), Tax ditch rights-of-way (impacts project area, but not OWTDS area; see DNREC Inquiry # 26064), Federal Emergency Management Agency (FEMA) Floodzone AE 7 (impacts project area, but not OWTDS area), and DNREC 2007 Statewide Wetland Mapping Project (SWMP) Wetlands (impacts project area, but not OWTDS area). The parcel is **not** impacted by a DNREC mapped Wellhead Protection area. See *\*User Notes/ Cautions (esp. moisture conditions, mitigation of root-vegetative mat, Clearing Guidelines, subdivision with required easement)* and comments regarding property information and OWTDS design/ installation on the *Approval Page—Design Considerations and Comments.* Determining future sewer availability was beyond this work scope.

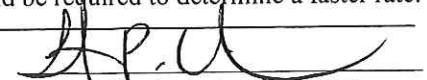
Soils in the OWTDS area are positioned on the convex limits of an undulating flat (disturbed area – no compaction) that was truncated by excavation during 1950's era borrow type activities (cuts, surface mining). There is a high degree of uneven terrain as a result of the former land-uses. Elevations were measured and tied to an assumed datum (see attached *spreadsheet*) to characterize limiting zones with respect to changes in elevation and evaluated hydrologic conditions. A greater than typical number of borings were conducted and hydrology measured over a significant period (4 dates including hydrologically significant periods) due to site and soil conditions.

The limiting zone was assigned at **12** inches based on: 1) The most restrictive depth allowed by DNREC for siting Peat Biofilter and Micro-Irrigation Drip *I/A* drainfield methodologies for new construction and 2) The most restrictive (shallowest) depth to observed, low and (in concert *with*) high chroma redoximorphic features (depletions - concentrations). Interpreted and observed hydrology suggests a deeper limiting zone, and wet season testing via observation wells was recommended to the owner. There are multiple, significant, effective drainage features in the project area (i.e. large pond and tax ditch). Limiting zones are interpreted as the peak of the seasonal high water table and zones of saturation (7 to 14 continuous days) with a frequency of at least 50 percent of the years ( $\geq 5$ ) out of a 10 year cycle. Free water (groundwater) levels in the *OWTDS design area* ranged in depth from 57 to 74 inches bgs. over the dates of investigation.

The slow percolation rate was assigned at **50** minutes per inch (with noted *\*Drainfield Recommendations*) for the most hydraulically restrictive subsoil(s) observed from 0- 60" bgs. and other site and soil factors. The most restrictive soil textures/ materials were topsoil organics with potential for former surficial disturbances (no compaction encountered); heavy, loamy fine sand/ loamy sand; and/ or sandy loam/ fine sandy loam. These materials were observed in the topsoil/ solum/ stratum/ substratum at varying depths ranging from the surface (0) to 60"+ bgs. Subsoil clay, fine sand, and organic content; structure/ consistence; contrasting textural classes/ depositional strata/ particle-size distribution; depth to (shallow) and thickness of hydraulically limiting horizons; site development factors (i.e. impervious area, changes in hydrology); materials/ workmanship variability; landform/ landscape position; disturbances from former land-use/ clearing/ system installation; and degree of saturation (wet season/ extended periods of above-average precipitation – saturated, soil water flow) were determining factors in the assigned percolation rate. Percolation testing would be required to determine a faster rate.

01/08/2019  
Date

Atlantic Resource Management, Inc. Job # 063-DS18-AE/SE

  
Evaluator's Signature

SOIL PROFILE NOTES

Atlantic Resource Management, Inc.

Post Office Box 869

Ocean View, DE 19970

(302) 539-2029 Office / (302) 539-4601 Fax

Profile: L-1 & L-2 & R-3

ARM Job #: 063-DS18-SE

Date(s) of Test(s): 12/16/2018 ETM Soil Boring X

or Test Pit

Property Owner(s): David S. Elechko and Margaret O. Elechko

Property Location: Lot 4, 31684 Ajewell Rd, Dagsboro, DE 19939

Site Evaluator: Laf Erickson, CPSS/SC

License #: A/D-2460

LOT 6 SEPTIC AREA

Slope: 0-1.5%

Relief: UNDULATING - CONVEX - DIST.

Estimated Permeability:

MODERATELY RAPID TO SLOW (SOMPI)

Depth to Limiting Zone:

15 INCHES TO A LIMITING ZONE FOR THE INTENDED PURPOSE

Soil Classification / Series:

AQUIC HAPUDOL - GLASSBORO  
DISTRIBUTION

MPI	Horizon	Depth	Colors		Redox. Desc.		Texture	Structure	Consistence
			Matrix	Redox.	Ab.	S. Con.			
	A <sub>p</sub>	0 to 6	10YR4/2 10YR3/2	10YR5/3	M3F		LSt	1M5B1C	F <sub>2</sub>
	B <sub>A</sub>	6 to 10	2.5Y5/6	10YR5/3 10YR5/3	M3F F2D		LSt	1F, M5B1C	F <sub>2</sub>
	B <sub>t1</sub>	10 to 15	10YR5/6	10YR5/4 10YR5/4	F2D F2.3Fb		SL-dLSt	1M, C5B1C	F <sub>2</sub> dV <sub>2</sub> F <sub>2</sub>
	B <sub>t2</sub>	15 to 24	10YR5/6	10YR5/8 7.5Y5/8	M2D M2F		FScdLS	1M, C5B1C	F <sub>2</sub> dV <sub>2</sub> F <sub>2</sub>
	B <sub>cd</sub> B <sub>t3</sub>	24 to 34	2.5Y6/4	2.5Y4/3 10YR5/8	7/2 C3P C2dF3P		LFSdFSL	1C, M5B1C	V <sub>2</sub> F <sub>2</sub> d <sub>2</sub> F <sub>2</sub>
	C <sub>B</sub>	34 to 46	2.5Y6/3 2.5Y6/4	10YR7/4 2.5Y7/2	M3F M3F/10YR5/8 M2F		LFSdLFS	1M	V <sub>2</sub> F <sub>2</sub>
	C <sub>→</sub> C <sub>g</sub>	46 to 65	2.5Y6/3	10YR7/2 10YR7/8	M3F C2dF3P		LS	M	V <sub>2</sub> F <sub>2</sub>
		to 57"	10YR7/2 @ 57"						

Laminar 30-40% 10YR5/6

Precipitation:

Free Water:

57" (12/18)

Land Cover:

WOODS

Comments:

DISTRIBUTION AREA ASSOCIATED W/ OLD BARRON

PIT ACTIVITIES

Plowing - Resurfacing of Barron Pit in front

SOIL BORING L-1: 18" L2; SIMILAR IN DOX. & CLASS. TO SB L-2; SOMPI; FW: 60" (12/18)

PIEDMONT BORING R-3: 12" L2; SOMPI; FW = 62" (12/16/18); FW = 67" (3/23/18); 74" (2/24/18); 61" (9/13/17); SIMILAR TO L-2

Coordinates:

201845' N+ 732235' E+

SB L-4 IN DOX. & CLASS.

R-3 62" 12/16/18

Site Evaluator's Signature:



Property Owner / Property Location: Elechko/ TM # 1-34-11.00-148.00 (P/O) LOT 6 SUPTR

Profile: SBL3 Date(s): 12/16/2018 ETAL Soil Boring X or Test Pit ANWA

Slope: 0-1.5% Relief: DISTURBED ANWA - NO COMPACT

Estimated Permeability: SLOW (SOMPA - DESIGN)

Depth to Limiting Zone: 13 INCHES TO A LIMITING ZONE FOR THE INTENDED PURPOSE

Soil Classification / Series: AQUIC HAPLUDOL - GLASSBORO, DISTURBED

MPI	Horizon	Depth	Colors		Redox. Desc.	Texture	Structure	Consistence
			Matrix	Redox.				
	A <sub>p</sub>	0 to 4	10YR3/2	10YR4/2	M3F	LFS+	M	F <sub>in</sub>
	B <sub>t1</sub>	4 to 13	10YR5/6	10YR5/8	M3F	FSL-CLFS	1MSS	F <sub>in</sub>
	B <sub>t2</sub>	13 to 20	2.5Y5/6	2.5Y5/8	M2D	FSL	1MSS	F <sub>in</sub>
	B <sub>t3</sub>	20 to 38	2.5Y5/6	10YR5/8	M3D	SL4L5+	1M, CSS	F <sub>in</sub> U <sub>in</sub>
	C <sub>g1</sub>	38 to 54	10YR7/2	10YR6/6	M3D	LFS-	M	U <sub>in</sub>
	C <sub>g2</sub>	54 to 65	10YR6/1	10YR7/3	C3D	LFS	M	U <sub>in</sub>
		to						
		to						

Free Water: 63" Comments: \_\_\_\_\_

Coordinates: N+ \_\_\_\_\_ E+ \_\_\_\_\_

Profile: SBL-4 Slope: SAME Relief: SHOULDER ABOVE CUT ANWA

Estimated Permeability: SAME

Depth to Limiting Zone: 13 INCHES TO A LIMITING ZONE FOR THE INTENDED PURPOSE

Soil Classification / Series: SAME

MPI	Horizon	Depth	Colors		Redox. Desc.	Texture	Structure	Consistence
			Matrix	Redox.				
	A	0 to 3	10YR3/2	10YR5/2	C3F	FSL	1FSS	F <sub>in</sub>
	B <sub>t</sub>	3 to 13	10YR5/6	10YR5/8	M3F	FSL	1F, MSS	F <sub>in</sub>
	B <sub>c</sub>	13 to 21	2.5Y5/6	2.5Y5/8	M2D	LFS+	1CSS	U <sub>in</sub>
	C <sub>B</sub>	21 to 31	10YR7/4	10YR7/3	C3F	LFS	1FSS	U <sub>in</sub>
	C	31 to 45	2.5Y5/6	10YR5/6	M3D	LFS, US	(60-70-20%)	U <sub>in</sub>
	C <sub>g</sub>	45 to 65	2.5Y7/2	10YR7/1	M3F	LFS	M	U <sub>in</sub>
		to						
		to						

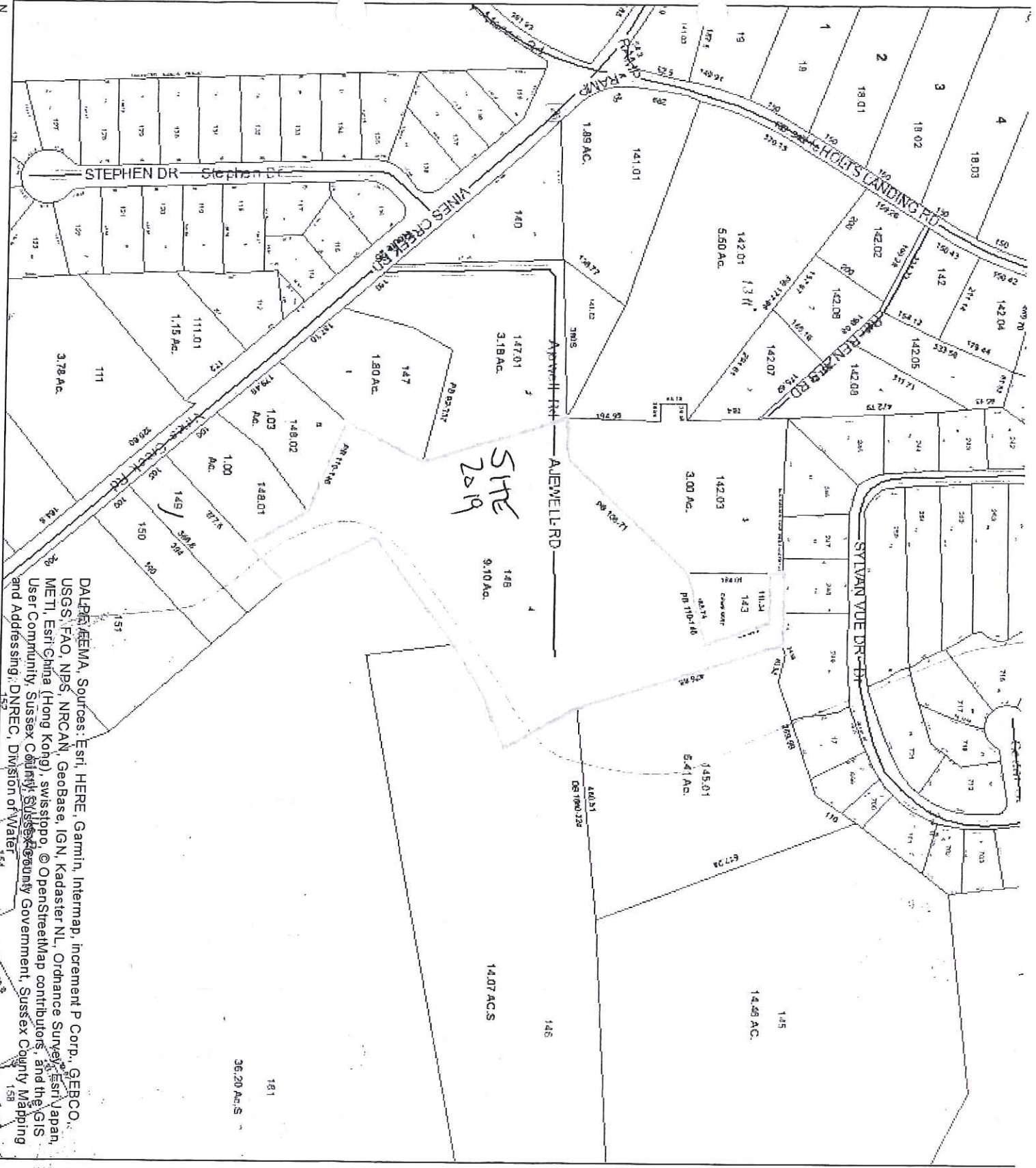
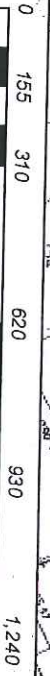
Free Water: 61" Comments: \_\_\_\_\_

Coordinates: 201889' N+ 732304' E+ L-4

Site Evaluator's Signature: 



# Sussex County Map



DALPER, FEMA, Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, © OpenStreetMap contributors, and the GIS User Community, Sussex County, Sussex County Government, Sussex County Mapping and Addressing, DNREC, Division of Water



### Addresses / Parcels

Tax Parcels

### Council Districts

- Fire Districts
- County District 01
- County District 02
- County District 03
- County District 04
- County District 05

County Boundaries

### Schools/Libraries

- School Buildings (Various)
- School Library
- Public Library
- Special Library
- DOE School Districts
- DOE VoTech School Districts

### Hydrology

- Streams / Rivers
- Lakes, Ponds, Bays

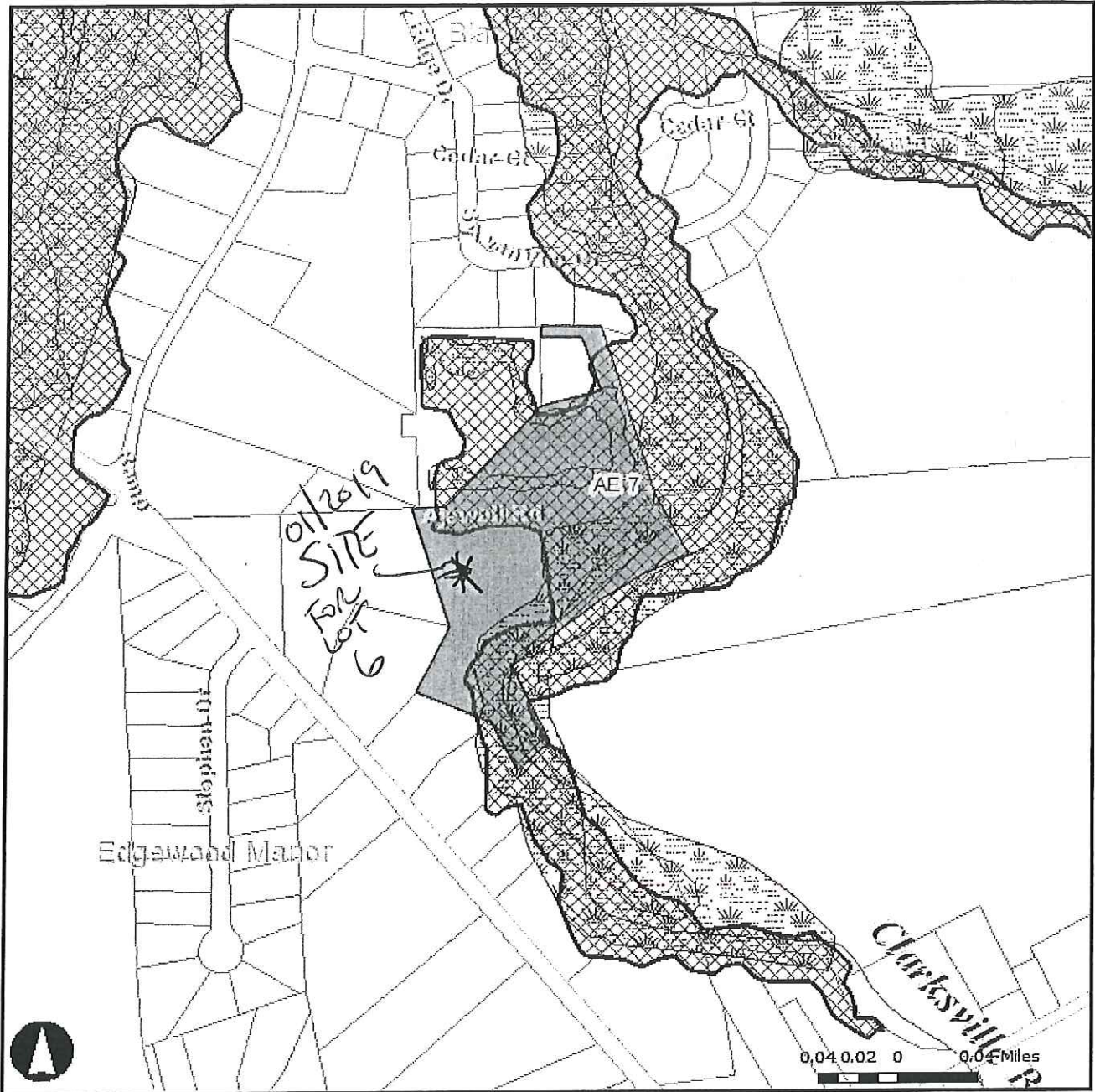
### Flood Zones

- 0.2% Annual Chance Flood Hazard
- A
- AE
- AO
- Open Water
- VE

### Public Protected Lands

- Municipalities
- Communities
- Boundaries State County

# Map



- Parcels Sussex
  -
- Watersheds
  -
- Tax Ditch Segments
  - ▶ 1 - 989
  - 990
  - 991 - 993
  - 994 - 999

- Tax Ditch Maximum ROWs
  - Extent of Right-of-Way
- Tax Ditch Areas
  - Approx. Watershed Boundary

Copyright DNREC 2009

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State of Delaware

**Department of Natural Resources  
And Environmental Control  
Division of Watershed Stewardship**

DRAINAGE PROGRAM

21309 BERLIN ROAD, UNIT #6  
GEORGETOWN, DE 19947

PHONE: (302) 855-1930  
FAX: (302) 677-7059

December 28, 2018

Gundula Erickson

ARM, Inc

P.O. Box 869, Ocean View, DE 19970

**RE: Parcel # 134-11.00-148.00**

**Inquiry # 26064**

Dear Ms. Erickson

Per your right-of-way request we have researched the Tax Ditch rights-of-ways for the parcel above. The information is as follows:

- This parcel is located in the ST. GEORGES Tax Ditch and is affected by the following Tax Ditch rights-of-way:

ST. GEORGES Tax Ditch

Main

80 ft CL

Channel

Please note that the above rights-of-way are measured from either the centerline of the ditch(CL) or top of bank (TOB). In some cases a special access right-of-way (SAR) may be noted.

Please feel free to contact our office with any questions or concerns.

Sincerely,

Brooks Cahall  
Section Manager



# General Information

**District-Map-Parcel:**

1-34 11.00 148.00

(P10) SEPTIC AREA FOR LOT #6

**Owner(s) Names:**

ELECHKO, DAVID S MARGARET O ELECHKO

**Property Legal Description:**

205'NE/RT26

E/50'ACCESS EASE

**Billing Address:**

31684 AJEWELL ROAD

DAGSBORO, DE 19939

**Land Use:**

Residential, Single dwelling & lot

**Zoning:**

Agricultural/Residential

**Town/Municipality:**

-No Town or Municipality Specified-

**Fire District(s):**

Millville Fire District

**Tax Ditch(es):**

St. Georges

**Sewer/Water District:**

-No Sewer Records-

**Watershed:**

CHINCOTEAGUE



# Delaware Tax Ditch Program



December 28, 2018

- Area of Interest
- Tax Ditch Channel
- Extent of Right-of-Way
- Approx. Watershed Boundary
- Public State Parcels
- Pond Feature
- Special Access ROW

1:4,514  
 0 0.0375 0.075 0.15 mi  
 0 0.05 0.1 0.2 km  
 DNREC, Division of Watershed Stewardship, Drainage Program,  
 john.inkster@state.de.us

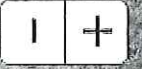
Measured Rod and Level Elevations (z) Tied to Assumed Datum from LiDAR Topography:

8"=0.67' INSTRUMENT @ ID= R-1 =

15.3 (Z) BENCHMARK

D Elechko Lot 6 063-DS18

ID	INSTRUMENT	TENTHS	FACTOR	MEASURED, ASSUMED ELEVATIONS (Z)
SB L-1	73	6.08	5.41	9.9
SB L-2	74	6.17	5.50	9.8
SB L-3	68	5.67	5.00	10.3
SB L-4	72	6.00	5.33	10.0
SB R-3	69	5.75	5.08	10.2
<b>SB R-1 Using Old Datum 043-DS18</b>	<b>8</b>	<b>0.67</b>	<b>0.00</b>	<b>15.3</b>
Top of Bank of Cut-Borrow Area spot shot	108	9.00	8.33	7.0
Pond 1 Ordinary High Water Line	134	11.17	10.50	4.8
Pond 2 Ordinary High Water Line	144	12.00	11.33	4.0
Center Driveway spot shot	43	3.58	2.91	12.4
Northwestern Property Corner	11	0.92	0.25	15.1
Free Water SB R-1 (09 13 2017) Old Datum	186	15.50	12.83	5.2
Free Water SB R-1 (02 24 2018) Old Datum	190	15.83	13.16	4.8
Free Water SB R-1 (03 23 2018) Spike SHWT	130	10.83	10.16	5.1
Free Water SB R-1 (12 16 2018)	124	10.33	9.66	5.6
Free Water SB R-3 (09 13 2017)	130	10.83	10.16	5.1
Free Water SB R-3 (02 24 2018)	143	11.92	11.25	4.1
Free Water SB R-3 (03 23 2018) Spike SHWT	136	11.33	10.66	4.6
Free Water SB R-3 (12 16 2018)	131	10.92	10.25	5.1



SUSSEX COUNTY  
100022

AREA OF MINIMAL FLOOD HAZARD  
Zone X  
eff. 3/16/2015

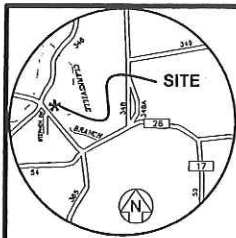
Zone A5  
100-7 Feet



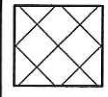
Esri, USDA Farm Service Agency







- ▲ SB 1 SOIL BORING
- SLOPE ARROW
- ▬ DELAWARE SWMP AREAS

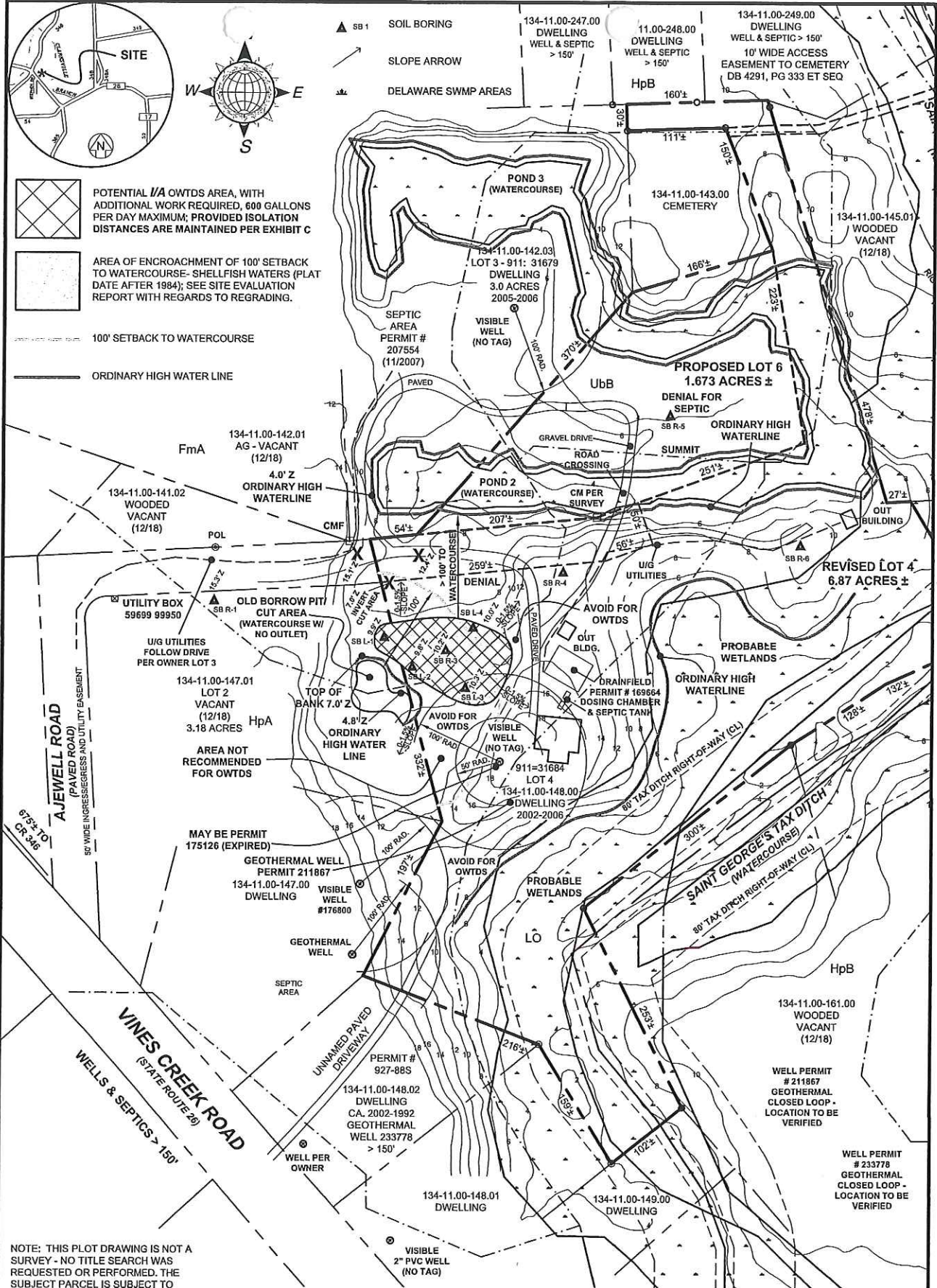


POTENTIAL I/A OWTDS AREA, WITH ADDITIONAL WORK REQUIRED, 600 GALLONS PER DAY MAXIMUM; PROVIDED ISOLATION DISTANCES ARE MAINTAINED PER EXHIBIT C



AREA OF ENCROACHMENT OF 100' SETBACK TO WATERCOURSE - SHELLFISH WATERS (PLAT DATE AFTER 1984); SEE SITE EVALUATION REPORT WITH REGARDS TO REGRADING.

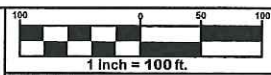
- - - 100' SETBACK TO WATERCOURSE
- ORDINARY HIGH WATER LINE



NOTE: THIS PLOT DRAWING IS NOT A SURVEY - NO TITLE SEARCH WAS REQUESTED OR PERFORMED. THE SUBJECT PARCEL IS SUBJECT TO EASEMENTS OF RECORD. THE MOST RECENT DEED AND/OR PLOT WERE RESEARCHED FOR PROPERTY LINE PLACEMENT AND EASEMENTS.

**TAX MAP # 1-34-11.00, PARCEL 148.00 (P/O); PROPOSED LOT 6 IRIS COVE SUB., SUSSEX COUNTY, DELAWARE**

**ATLANTIC RESOURCE MANAGEMENT, INC.**  
 P.O. Box 869 (302) 539-2029  
 Ocean View, DE 19970 Fax: (302) 539-4601  
 DE@atlanticresource.net  
 ENVIRONMENTAL CONSULTANTS



PROJECT: DAVID S. ELECHKO & MARGARET O. ELECHKO  
 TITLE: SITE EVALUATION PLOT DRAWING

LOT SIZE: 1.5 (LOT 6) / 5.8 (LOT 4) ACS. ±  
 PG 110, PG 146 (12/2006)  
 REF: CLIENT SURVEY  
 DRAWN BY: ARJ, INC.  
 CHECKED BY: L. ERICKSON  
 JOB #: 083-0918-SE  
 TAX MAP: 1-34-11.00, P. 148.00 P/O  
 DATE: JANUARY 8, 2019  
 SHEET NO: 1 OF 1



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

June 19, 2019

Ms. Janelle Cornwell, Director  
Sussex County Planning & Zoning Commission  
Sussex County Administration Building  
P.O. Box 417  
Georgetown, Delaware 19947

**SUBJECT: Minor Subdivision - Letter of No Objection to Recordation  
Lands of David S. & Margaret O. Elechko  
Tax Parcel # 134-11.00-148.00  
(SCR026) Vine Creek Road  
Baltimore Hundred, Sussex County**

Dear Ms. Cornwell:

The Department of Transportation has reviewed the Minor Subdivision Plan dated June 14, 2018 (last revised May 13, 2019), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawing. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Minor Subdivision Plan is not recorded and/or an entrance permit is not issued for the lot(s) prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

Entrances(s) must be installed prior to the sale of the lot(s). All entrances shall conform to DelDOT's Development Coordination Manual and shall be subject to its approval. **This letter does not authorize the commencement of entrance construction.**

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel



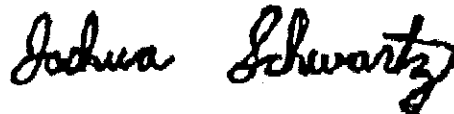


Lands of David S. & Margaret O. Elechko  
Ms. Janelle Cornwell  
Page 2  
June 19, 2019

that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

The owner shall be responsible to submit a copy of the **recorded Minor Subdivision Plan** showing all appropriate signatures, seals, plot book and page number to the South District Public Works office (302) 853-1341 in order to obtain the entrance permit(s) for the proposed minor subdivision.

Sincerely,

A handwritten signature in black ink that reads "Joshua Schwartz". The signature is written in a cursive, slightly slanted style.

Joshua Schwartz  
Kent County Reviewer  
Development Coordination

cc: Russell Hammond, Russell T. Hammond Surveying, LLC  
Rusty Warrington, Sussex County Planning & Zoning  
Jessica L. Watson, Sussex Conservation District  
William Kirsch, South District Entrance Permit Supervisor  
Shannon Anderson, South District Public Work Admin Specialist  
Todd Sammons, Subdivision Engineer  
Susanne Laws, Sussex County Review Coordinator  
Nana Y. Nyarko-Appiah, Sussex County Reviewer



# OFFICE OF STATE FIRE MARSHAL

Technical Services

22705 Park Avenue  
Georgetown, DE 19947



## SFMO PERMIT

**Plan Review Number:** 2019-04-199378-MIS-02  
**Status:** Approved as Submitted

**Tax Parcel Number:** 134-11.00-148.00  
**Date:** 04/02/2019

### Project

2 Lot Subdivision  
, Unit #: Lot 6 & 4  
Iris Cove

31684 A Jewell Road  
Dagsboro DE 19939

### Scope of Project

**Number of Stories:**  
**Square Footage:**  
**Construction Class:**  
**Fire District:** 84 - Millville Volunteer Fire Co

**Occupant Load Inside:**  
**Occupancy Code:** 9601

### Applicant

David Elechko  
34281 Vines Creek Road  
Dagsboro, DE 19939

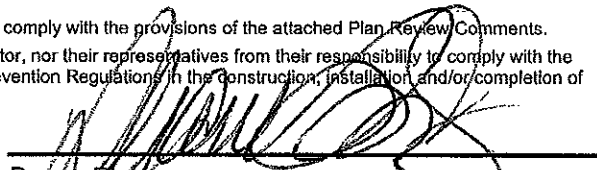
This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:

  
Duane Fox  
Fire Protection Specialist III

## FIRE PROTECTION PLAN REVIEW COMMENTS

**Plan Review Number:** 2019-04-199378-MIS-02

**Tax Parcel Number:** 134-11.00-148.00

**Status:** Approved as Submitted

**Date:** 04/02/2019

### PROJECT COMMENTS

**1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at [www.statefiremarshal.delaware.gov](http://www.statefiremarshal.delaware.gov). These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.

**1010 A** Per Fire Flow Table 1, the following occupancies: One and Two Family Detached Dwellings, Multi Family & Other Residential, Rowhouses & Townhouses Shall not exceed 10,000 aggregate gross square footage; shall not exceed 35' or three stories; and Shall have a minimum setback of 15' from all property lines and 10' setback from exposure hazards on the same property. Additionally, Rowhouses & Townhouses shall have an internal fire separation of two hour fire rated walls per SFPR Part II, Chapter 2.

**1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.

**1501 A** If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.

**SUSSEX COUNTY ENGINEERING DEPARTMENT**  
**UTILITY PLANNING DIVISION**  
**C/U & C/Z COMMENTS**

TO: **Janelle Cornwell**

REVIEWER: **Chris Calio**

DATE: **10/4/2019**

APPLICATION: **2019-17 Iris Cove**

APPLICANT: **David S. Elechko**

FILE NO: **S.P.S.-5.04**

TAX MAP &  
PARCEL(S): **134-11.00-148.00**

LOCATION: **On the east side of Vines Creek Road (SR 26), bisected by  
Ajewell Road.**

NO. OF UNITS: **2 Single-family lots**

GROSS  
ACREAGE: **9.10 ac. +/-**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

**SEWER:**

(1). Is the project in a County operated and maintained sanitary sewer and/or water district?

Yes

No

a. If yes, see question (2).

b. If no, see question (7).

(2). Which County Tier Area is project in? **Tier 2**

(3). Is wastewater capacity available for the project? **N/A** If not, what capacity is available? **N/A**.

(4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.

(5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **N/A** If yes, the current System Connection Charge Rate is **Click or tap to enter a fee** per EDU. Please contact **N/A** at **302-855-7719** for additional information on charges.

- (6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **Yes**
- Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.
- (7). Is project adjacent to the Unified Sewer District? **Yes**
- (8). Comments: **The proposed subdivision of land is contiguous to the existing Sussex County Unified Sanitary Sewer District Boundary but the Sussex County Engineering Department does not currently have a schedule to provide sanitary sewer service.**
- (9). Is a Sewer System Concept Evaluation required? **No**
- (10). Is a Use of Existing Infrastructure Agreement Required? **No**

UTILITY PLANNING APPROVAL:



John J. Ashman  
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.  
Jayne Dickerson  
No Permit Tech Assigned

## Policy for Extending District Boundaries

1. Property owner (developer) and/or his representative shall make a request to the Utility Planning Division for a Sewer System Concept Evaluation.
2. Property owner (developer) and/or his representative shall meet with the applicable planning and zoning agency to determine if zoning is appropriate for the development being planned.
3. With appropriate zoning, property owner (developer) and/or his representative shall send a letter (with appropriate application fee as listed below) requesting the Sussex County Council to consider extending the water and/or sanitary sewer district boundaries. (Sussex County Code)

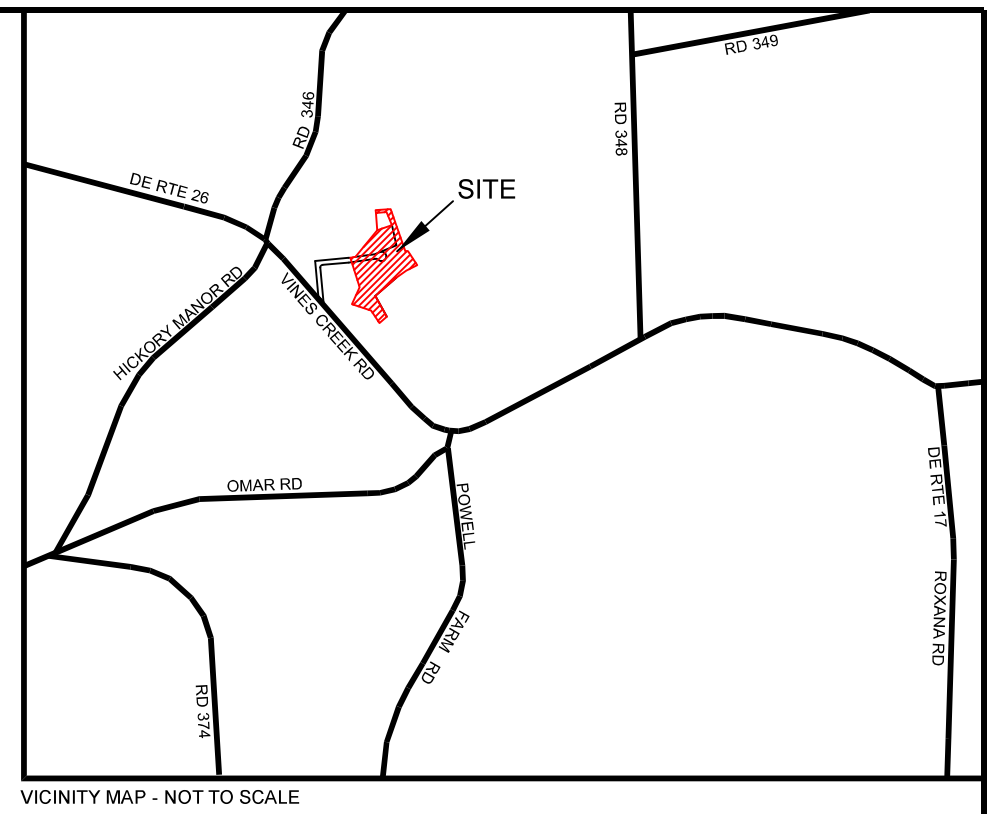
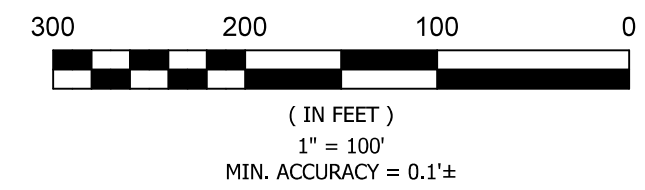
Application Fees	
Less than 2 acres	\$500.00
2.1 - 9.99 acres	\$750.00
10 - 150.00 acres	\$1,500.00
Greater than 150.00 acres	\$2,500.00

4. The Sussex County Engineering Department shall present, for Sussex County Council's consideration, posting of notices for the proposed extension of the district boundaries.
5. The Sussex County Council approves posting notices for the proposed extension of the boundaries. (If approval to post the notices is not given, the appropriate fee is refunded.)
6. Within ninety days of the posting of the notices, the Sussex County Council approves/disapproves extending the boundaries.
7. The Sussex County Council approves/disapproves of the extension of the water and/or sanitary sewer pipelines under the appropriate Sussex County Ordinance.

RUSSELL T. HAMMOND SURVEYING L.L.C. RESERVES ITS COMMON LAW COPYRIGHT IN THESE PLANS, PLATS, OR OTHER DOCUMENTS, ANY AMENDMENTS, COPYING OR DISTRIBUTION, INCLUDING COMPUTER GENERATED AMENDMENTS, IS PROHIBITED UNLESS PERMITTED IN WRITING BY RUSSELL T. HAMMOND SURVEYING L.L.C.



- LEGEND:**
- DENOTES IRON PIPE FOUND
  - DENOTES CONCRETE MONUMENT FOUND
  - DENOTES IRON AXLE FOUND
  - △ DENOTES UNMARKED POINT
  - DENOTES ADJOINER LINE & EXISTING R.O.W. LINE
  - DENOTES BOUNDARY LINE
  - DENOTES EXISTING EASEMENT LINE
  - DENOTES BUILDING RESTRICTION LINE (B.R.L.)
  - - - DENOTES WETLANDS LINE AS PROTRACTED FROM DNREC 2009 (NOT FIELD VERIFIED)



**OWNER'S CERTIFICATION:**  
 I/WE THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY/OUR PLAN DIRECTION, AND THAT I/WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT I/WE DESIRE THE PLAN TO BE RECORDED ACCORDING TO DELAWARE STATE LAW.

OWNER: DAVID S. ELECHKO  
 31684 AJEWELL ROAD  
 DAGSBORO, DE 19939  
 PHONE (302) 228-5685

DATE

OWNER: MARGARET O. ELECHKO  
 31684 AJEWELL ROAD  
 DAGSBORO, DE 19939

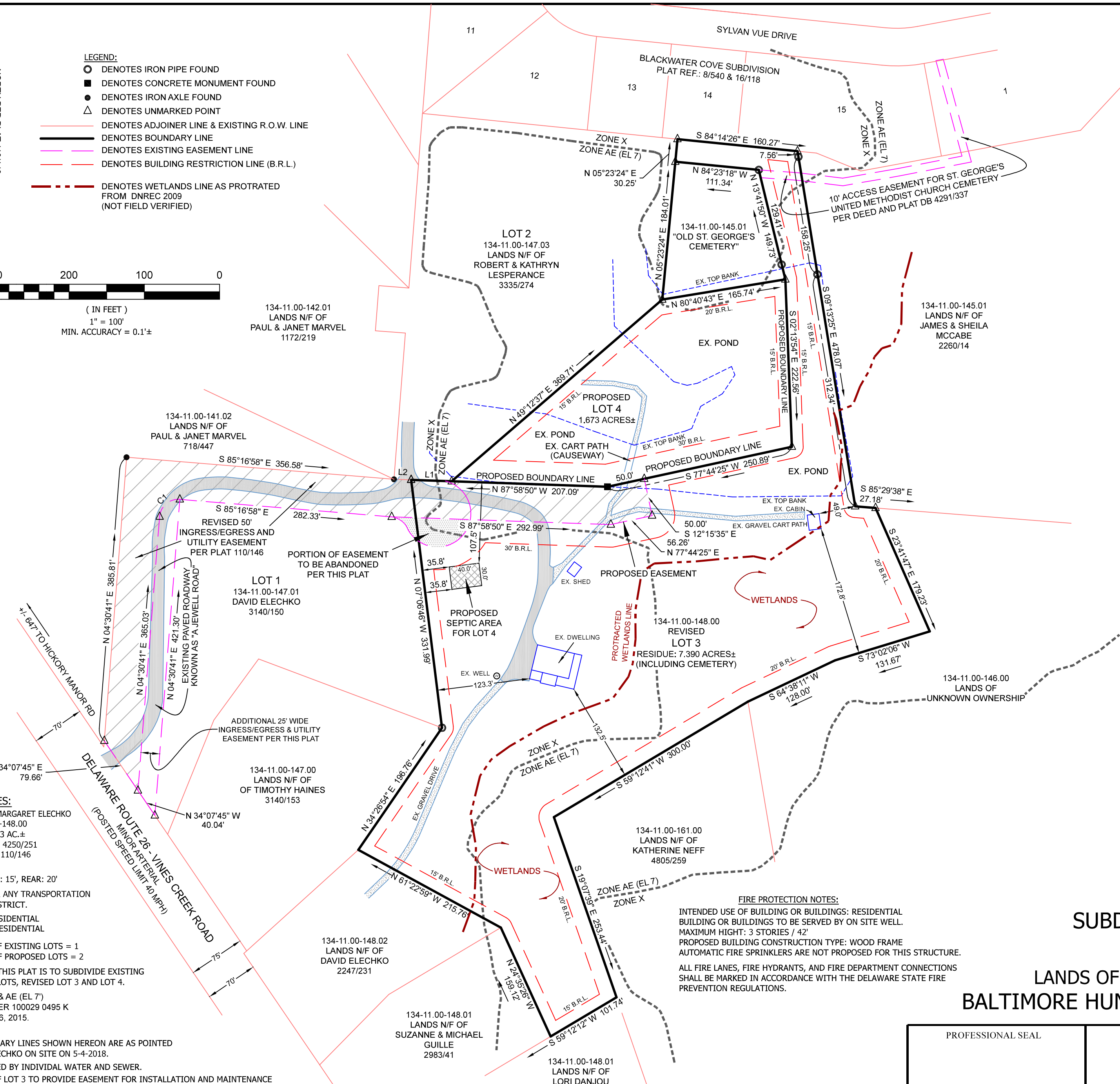
DATE

**SURVEYOR'S CERTIFICATION:**  
 I, RUSSELL T. HAMMOND, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

RUSSELL T. HAMMOND, DELAWARE PROFESSIONAL LAND SURVEYOR,  
 LICENSE NO. 06 0000781, EXPIRATION 06/30/2019

DATE

**GENERAL NOTES:**  
 OWNER: DAVID & MARGARET ELECHKO  
 TAX ID: 134-11.00-148.00  
 GROSS AREA: 9.063 AC.±  
 DEED REFERENCE: 4250/251  
 PLAT REFERENCE: 110/146  
 ZONING: AR-1  
 FRONT: 30', SIDES: 15', REAR: 20'  
 SITE IN NOT NEAR ANY TRANSPORTATION IMPROVEMENT DISTRICT.  
 CURRENT USE: RESIDENTIAL  
 PROPOSED USE: RESIDENTIAL  
 TOTAL NUMBER OF EXISTING LOTS = 1  
 TOTAL NUMBER OF PROPOSED LOTS = 2  
 THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE EXISTING LOT 3 INTO TWO LOTS, REVISED LOT 3 AND LOT 4.  
 FLOOD ZONE: X & AE (EL 7)  
 PER FIRM NUMBER 100029 0495 K  
 DATED MARCH 16, 2015.  
 CLASS "B" SURVEY  
 PROPOSED BOUNDARY LINES SHOWN HEREON ARE AS POINTED OUT BY DAVID ELECHKO ON SITE ON 5-4-2018.  
 LOTS TO BE SERVED BY INDIVIDUAL WATER AND SEWER.  
 NOTE: OWNERS OF LOT 3 TO PROVIDE EASEMENT FOR INSTALLATION AND MAINTENANCE OF SEWER UTILITIES SERVING LOT 4 WHICH ARE TO BE LOCATED ON LOT C, UNTIL PUBLIC SEWER BECOMES AVAILABLE.  
 NOTE: LOT 4 SUBJECT TO AN ACCURATE WETLANDS DELINEATION AND FIELD LOCATION.  
 ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.  
 SHRUBBERY, PLANTINGS, SIGNS, AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.  
 LOTS 1, 2, 3, & 4 SHALL HAVE ACCESS TO DE ROUTE 26 VIA THE 50' WIDE INGRESS/EGRESS EASEMENT AND ADDITIONAL 25' INGRESS/EGRESS EASEMENT SHOWN HEREON.



**FIRE PROTECTION NOTES:**  
 INTENDED USE OF BUILDING OR BUILDINGS: RESIDENTIAL  
 BUILDING OR BUILDINGS TO BE SERVED BY ON SITE WELL.  
 MAXIMUM HEIGHT: 3 STORIES / 42'  
 PROPOSED BUILDING CONSTRUCTION TYPE: WOOD FRAME  
 AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.  
 ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.

LINE	BEARING	DISTANCE
L1	S 87°59'10" E	53.86'
L2	S 87°59'10" E	22.80'

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	25.00'	39.36'	90°12'21"	S 49°36'52" W	35.42'
C2	25.00'	24.67'	56°32'51"	S 59°42'25" E	23.68'
C3	50.00'	218.89'	250°49'36"	S 23°09'13" W	81.50'

**SUBDIVISION TO CREATE LOT 4  
 IRIS COVE  
 LANDS OF DAVID S. & MARGARET O. ELECHKO  
 BALTIMORE HUNDRED - SUSSEX COUNTY - DELAWARE**

<p align="center">PROFESSIONAL SEAL</p> <p align="center"><b>RUSSELL T. HAMMOND</b>  <i>Surveying, LLC</i></p> <p align="center">SURVEYING - LAND PLANNING          10310 Hotel Road Bishopville, MD 21813          (410) 352-5674 - (410) 726-8076</p>		DESIGNED BY	N/A	SURVEYED BY	BO/JR	FILE #	2018-2050
		DRAWN BY	B. OVERHOLT	DATE	6-14-2018	REV.	5-13-2019
CHECKED BY	R.T.Hammond	SCALE	1" = 100'				

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF DELAWARE LICENSE NO. 06 0000781, EXPIRATION DATE 6/30/2019.

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE CHAIRMAN  
R. KELLER HOPKINS  
HOLLY WINGATE  
J. BRUCE MEARS



2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DE 19947  
(302) 855-7878 T  
(302) 854-5079 F

sussexcountyde.gov

# Sussex County Planning & Zoning Commission

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET  
Planning Commission Public Hearing Date October 17, 2019.

Application: 2019-18 Lands of Merrill J. & Betty L. Parker

Applicant: Don Miller  
1560 Middleford Road  
Seaford, DE 19966

Owner: Merrill Parker  
29501 Racons Point  
Millsboro, DE 19966

Site Location: On the east side of Lakeview Road (S.C.R. 412).

Zoning: AR-1 (Agricultural Residential Zoning District)

Current Use: Vacant Land

Proposed Use: 8 Single Family Dwellings (Lots)

Comprehensive Land  
Use Plan Reference: Low Density Area

Councilmatic  
District: Mr. Rieley

School District: Indian River School District

Fire District: Millsboro Fire District

Sewer: Private

Water: Private

Site Area: 49.80 acres +/-

Tax Map ID.: 133-15.00-19.00

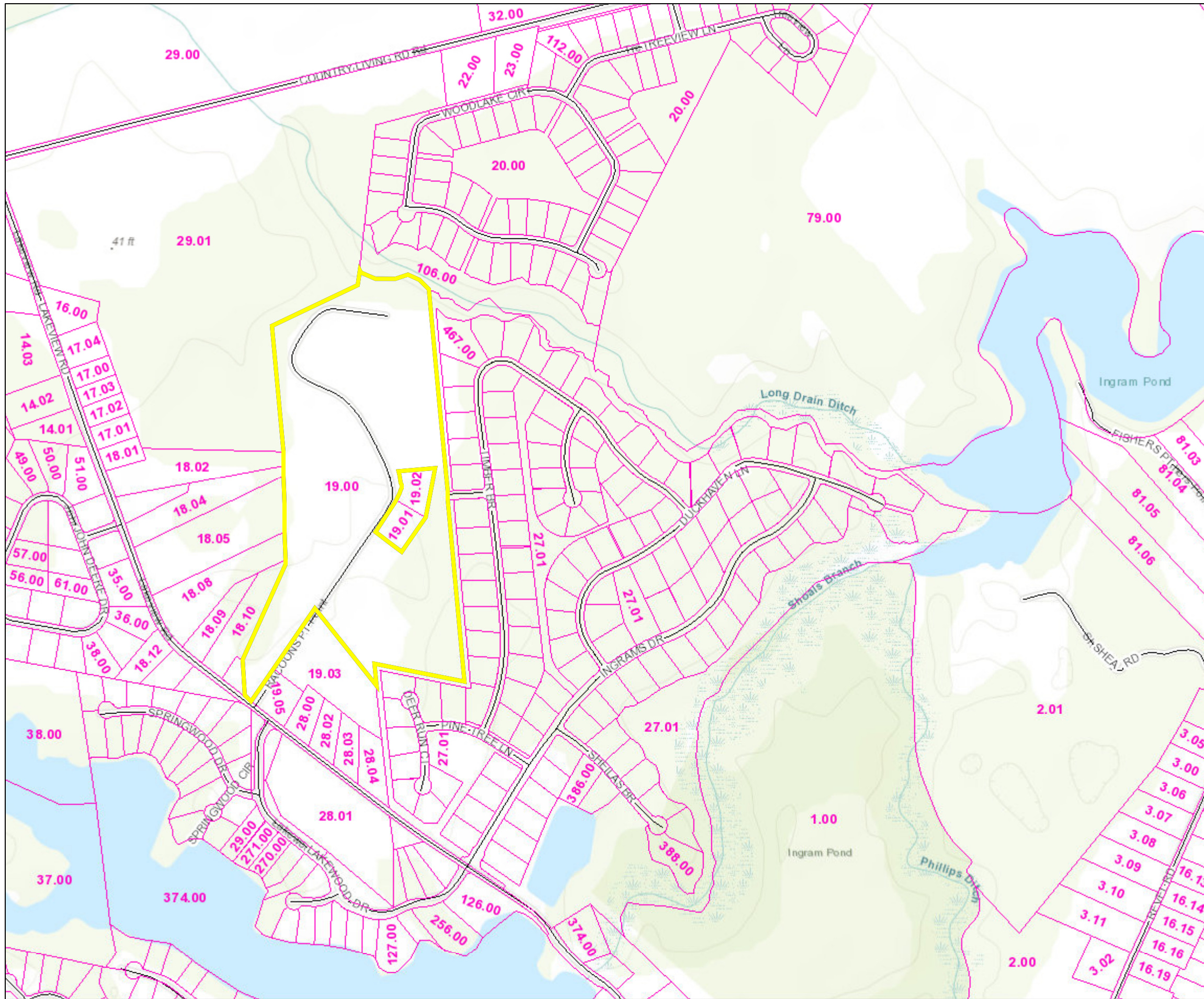


COUNTY ADMINISTRATIVE OFFICES  
2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DELAWARE 19947



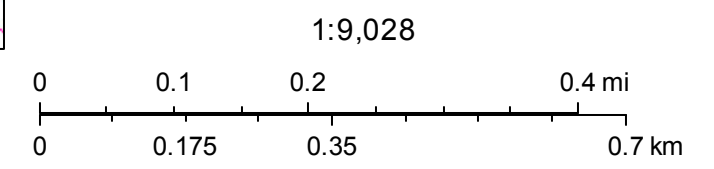


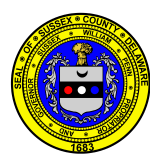
# Sussex County



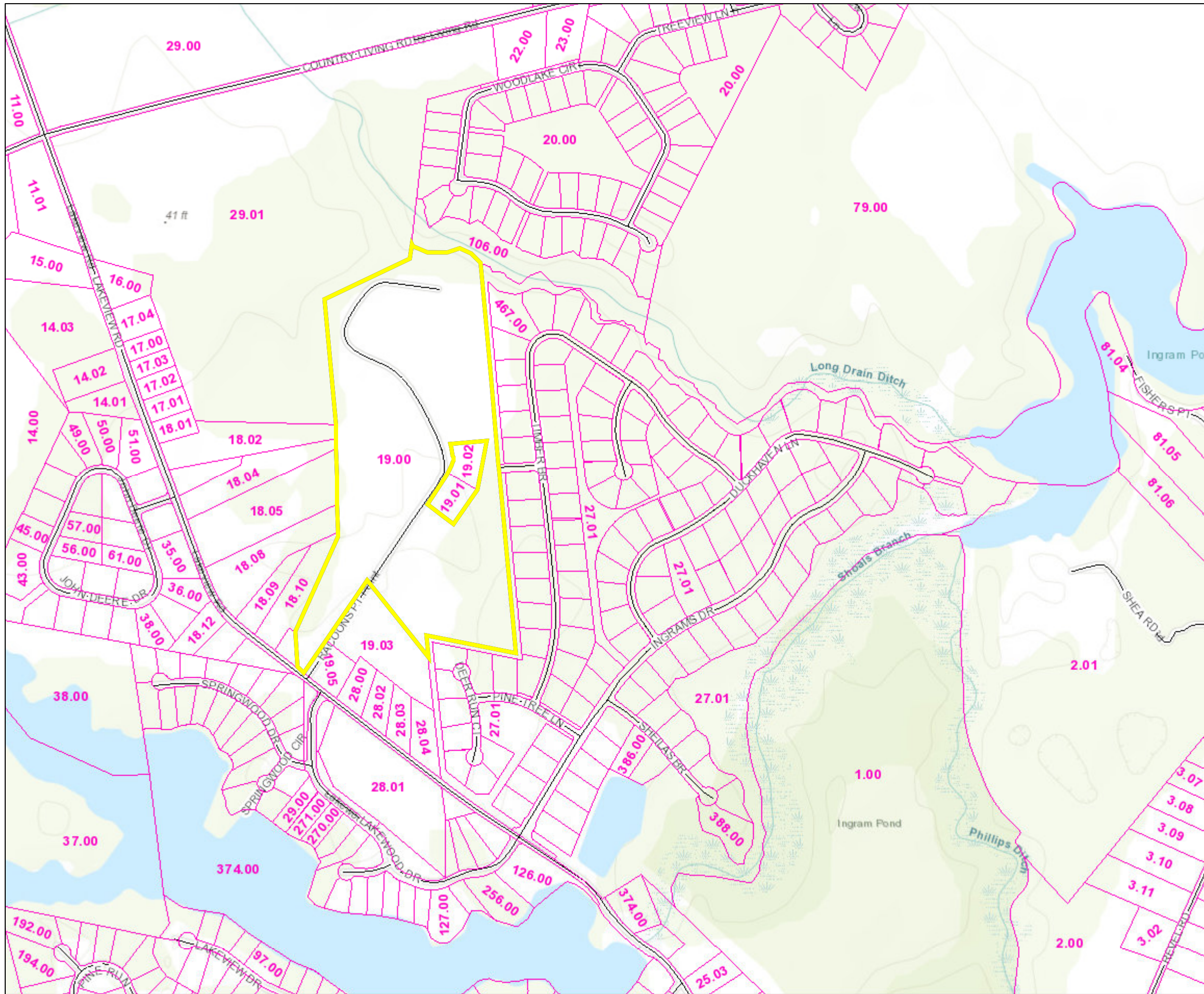
<b>PIN:</b>	133-15.00-19.00
<b>Owner Name</b>	PARKER MERRILL J BETTY L
<b>Book</b>	822
<b>Mailing Address</b>	29501 RACCOONS PT
<b>City</b>	MILLSBORO
<b>State</b>	DE
<b>Description</b>	NE/OF RD 412
<b>Description 2</b>	APPROX 3850' SE OF
<b>Description 3</b>	RD 433
<b>Land Code</b>	

- polygonLayer**
- Override 1
- polygonLayer**
- Override 1
- Tax Parcels
- Streets





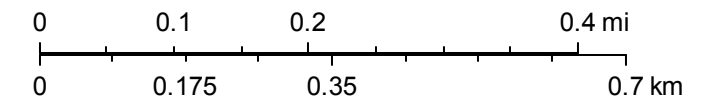
# Sussex County



<b>PIN:</b>	<b>133-15.00-19.00</b>
<b>Owner Name</b>	PARKER MERRILL J BETTY L
<b>Book</b>	822
<b>Mailing Address</b>	29501 RACCOONS PT
<b>City</b>	MILLSBORO
<b>State</b>	DE
<b>Description</b>	NE/OF RD 412
<b>Description 2</b>	APPROX 3850' SE OF
<b>Description 3</b>	RD 433
<b>Land Code</b>	

- polygonLayer**  
Override 1
- polygonLayer**  
Override 1
- Tax Parcels
- Streets

1:9,028



Mailing List Exhibit Map  
Planning Commission  
2019-18 Lands of Merrill J. & Betty L. Parker  
133-15.00-19.00  
Don Miller  
1560 Middleford Road  
Seaford, DE 19973  
On the east side of Lakeview Road (S.C.R. 412).



Delaware Office of State Planning Coordination, Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community, Sussex County, Sussex County Government, Sussex County Mapping and Addressing, DelDOT, 2017



Natural Resources  
Conservation  
Service

September 6, 2019

Georgetown  
Service Center

Janelle M. Cornwell, Director  
Sussex County Planning & Zoning  
Sussex County Courthouse  
Georgetown, DE 19947

21315 Berlin Road  
Unit 3  
Georgetown, DE  
19947

**RE: Lands of Merrill J. & Betty L. Parker  
Dagsboro Hundred  
8 single family lots**

Voice 302.856.3990  
Fax 855.306.8272

RECEIVED

SEP 06 2019

SUSSEX COUNTY  
PLANNING & ZONING

Dear Ms. Cornwell:

Soils within the delineated area on the enclosed map are:

- EvD Evesboro loamy sand, 5 to 15 percent slopes
- LO Longmarsh and Indiantown soils, frequently flooded
- PsA Pepperbox-Rosedale complex, 0 to 2 percent slopes
- PsB Pepperbox-Rosedale complex, 2 to 5 percent slopes

Soil Interpretation Guide

Soil Limitation Class

Buildings

Map Symbol	Urbanizing Subclass	With Basement	Without Basement	Septic Filter Fields
EvD	Y3	Somewhat limited	Somewhat limited	Very limited
LO	R3	Very limited	Very limited	Very limited
PsA	Y2	Very limited/Somewhat limited	Somewhat limited/Not limited	Very limited
PsB	Y2	Very limited/Somewhat limited	Somewhat limited/Not limited	Very limited

Definition of soil limitation ratings classes:

Rating class terms indicate the extent to which the soils are limited by all of the soil features that affect building site development.

**"Not limited"** indicates that the soil has features that are very favorable for the specified use. Good performance and very low maintenance can be expected.

**"Somewhat limited"** indicates that the soil has features that are moderately favorable for the specified use. The limitations can be overcome or minimized by special planning, design, or installation. Fair performance and moderate maintenance can be expected.

**"Very limited"** indicates that the soil has one or more features that are unfavorable for the specified use. The limitations generally cannot be overcome without major soil reclamation, special design, or expensive installation procedures. Poor performance and high maintenance can be expected.

**R3:**

These soils are alluvial soils that have a history of flooding. The hazard of potential flood damage and seasonal or fluctuating high water tables severely limits these soils for building use. The soil limitations are 1) soil is highly susceptible to frost action, 2) excavations are likely to fill with water in late winter or early spring, 3) delayed construction in spring - slow to dry out, 4) wet foundations or basements probable, and 5) potential flood damage.

**Y2:**

The soils in this classification are nearly level or gently sloping, moderately well drained or well drained with ground water between four to six feet from the surface, and are subject to seasonal high water tables. Seasonal wetness and seepage around foundations moderately limits these soils for residential use. The principal soil limitations are: 1) lateral seepage in subsoil causes concentration of water around foundations, 2) soil is highly susceptible to frost action, 3) excavations are likely to fill with water in late winter or early spring, and 4) wet basements or foundations are probable.

**Y3:**

Strongly sloping to steep (5-15% slopes) excessively drained, very sandy, rapidly permeable soils. These are the same kind of soils as in subclass G2 but are more sloping. Slopes moderately limit their use for residential developments, but available moisture for lawns, trees, shrubs, and gardens is severely limited, especially if the soil has been graded.

The soil interpretations above do not eliminate the need for detailed investigations at each proposed construction site. However, the interpretations can serve as a guide to planning more detailed investigations. No consideration was given in these interpretations regarding the size and shape of the soil area; nor to the pattern they form with other soils in the landscape. Also, because of the scale of the maps used, small areas of other kinds of soils may be included within some delineations of the soil map. Thus, an individual lot or building site could occupy a small area that would not fit the interpretations given for the soils symbol representing the entire delineation of the map. Interpretations apply to the soils in their natural state and not for areas that may have been altered through grading, compacting, and the like.

Sincerely,

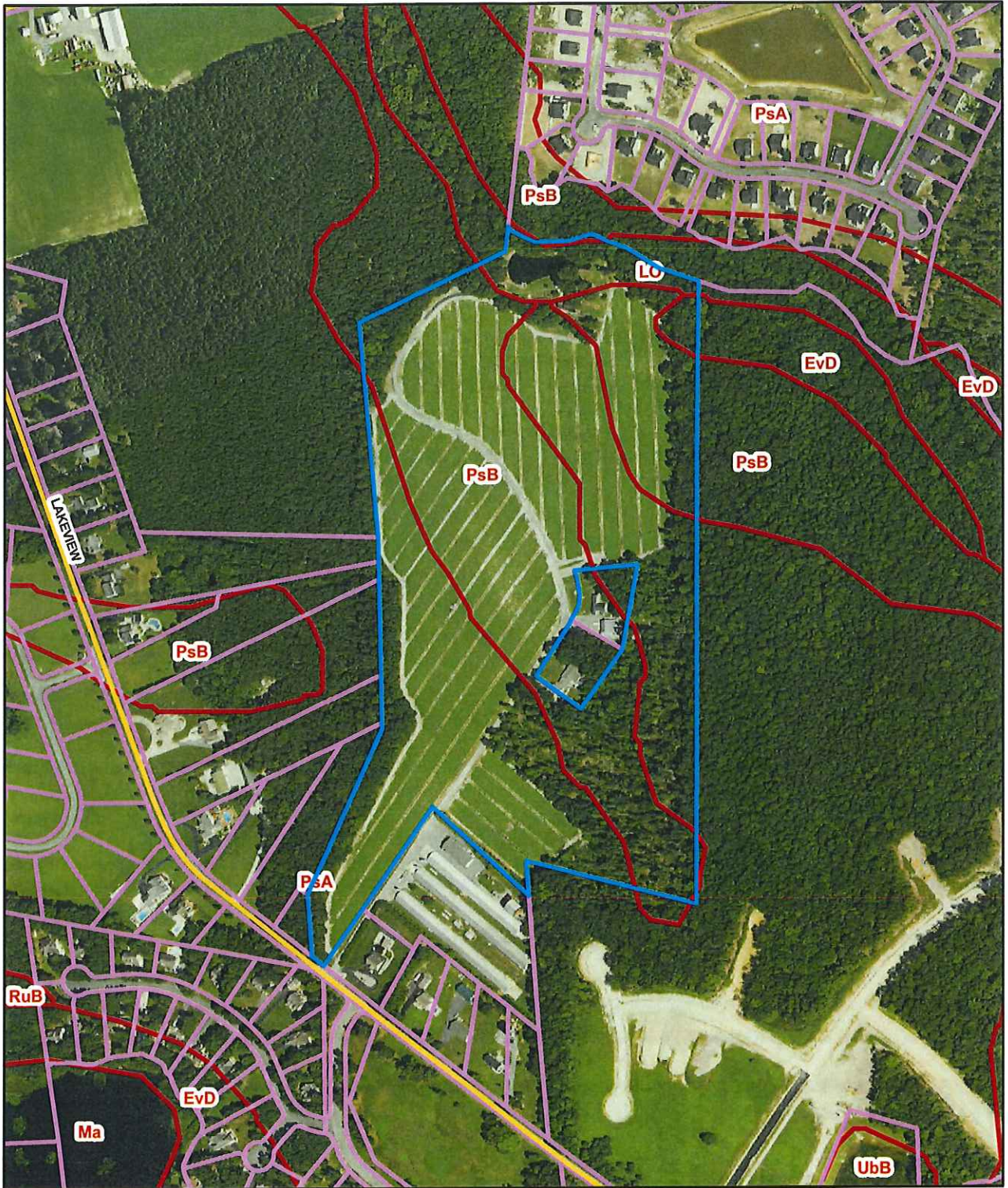


Thelton D. Savage  
District Conservationist  
USDA, Natural Resources Conservation Service

TDS/bh



**2019-18**  
**TM #133-15.00-19.00**  
**Lands of Merrill J. & Betty L. Parker**



2019-18  
TM #133-15.00-19.00  
Lands of Merrill J. & Betty L. Parker



DELAWARE DEPARTMENT OF  
**AGRICULTURE**

2320 SOUTH DUPONT HIGHWAY  
DOVER, DELAWARE 19901  
AGRICULTURE.DELAWARE.GOV

TELEPHONE: (302) 698-4500  
TOLL FREE: (800) 282-8685  
FAX: (302) 697-6287

September 10, 2019

Christin Headley  
Planning and Zoning Manager  
Planning and Zoning Commission  
2 The Circle PO Box 417  
Georgetown, Delaware 19947

Subject: **2019-18-Lands of Merrill J. & Betty L. Parker**

Dear Mr. Headley,

Thank you for submitting the site plan for Lands of Merrill J. & Betty L. Parker submitted by Miller, Lewes Inc. The Sussex County Planning and Zoning Forested Buffer Ordinance Number 1984 Section 99-5 requires a forested buffer of 20 feet near adjacent agriculture lands, Lands of Merrill J. & Betty L. Parker does not reflect that in the plans.

Sussex County Planning and Zoning Forested Buffer Ordinance Number 1984 Section 99-5 also requires a planting list which is to follow 70% deciduous and 30% evergreens to be planted in the buffer strip which was not provided in the plans. A comprehensive display of plantings in the buffers should be included with species being used for review. We recommend a planting list and planting specifications be submitted once the project has advance to that stage.

If you have any more questions please feel free to contact me 302.659.6704 or email me at [Michael.Martini@delaware.gov](mailto:Michael.Martini@delaware.gov).

Sincerely,

Michael Martini  
Urban Forestry Program  
Delaware Forest Service



## ENGINEERING DEPARTMENT

ADMINISTRATION (302) 855-7718  
AIRPORT & INDUSTRIAL PARK (302) 855-7774  
ENVIRONMENTAL SERVICES (302) 855-7730  
PUBLIC WORKS (302) 855-7703  
RECORDS MANAGEMENT (302) 854-5033  
UTILITY ENGINEERING (302) 855-7717  
UTILITY PERMITS (302) 855-7719  
UTILITY PLANNING (302) 855-1299  
FAX (302) 855-7799



# Sussex County

DELAWARE  
sussexcountyde.gov  
HANS M. MEDLARZ, P.E.  
COUNTY ENGINEER  
MICHAEL E. BRADY  
DIRECTOR OF PUBLIC WORKS

September 18, 2019

REF: **T. A. C. COMMENTS**  
**LANDS OF MERRILL J. & BETTY L. PARKER**  
**SEWER TIER 3**  
**SUSSEX COUNTY ENGINEERING DEPARTMENT**  
**SUSSEX COUNTY TAX MAP NUMBER**  
**133-15.00 PARCEL 19.00**  
**PROJECT CLASS-5**  
**AGREEMENT NO. 1137**

The following comments are the result of the Sussex County Engineering Department's review of the preliminary site plan for the above referenced project:

### **PUBLIC WORKS DIVISION COMMENTS**

1. Proposed developments with private roads or projects required by the County to conform to the County street design requirements shall be regulated by and conform to Sussex County Code and the comments here listed.
2. This project is not located within the limits of a Ground Water Management Zone (GMZ). (Projects located within a GMZ must be forwarded to the County Engineer for review and comment.)
3. Project Construction Drawings shall show, in detail, the proposed improvements. The work required includes preparation and delivery of an AutoCAD 2012 digitized plan showing existing and proposed lines, grades, topography and features in a given area, which was utilized in preparing plans for construction. The individual sheet types will be in a separate design to show plan views on sheets separate from profile views. In addition, each sheet of the plans shall be submitted in a PDF format.
4. All work shall be geo-referenced to the Delaware State Grid System NAD-83 (HARN) and provided in an AutoCAD 2012 format. North will always be shown in an up direction on all plans.
5. Topographic contours at one-foot intervals shall be shown and referenced to United States Geological Survey Mean Sea Level Datum NAVD 1988 Datum.
6. The plans shall be provided on 24" x 36" drawing sheets at a scale of 1" = 50'.

The plans shall show and address the following items at minimum:

7. The project requires professional land surveying services to accurately delineate, and show the following items but is not limited to the following: all property and right-of-



way lines, established at a minimum, two (2) horizontal and vertical control concrete project benchmarks, survey monuments, easements, existing and proposed topographic contours at 1-foot vertical intervals and spot elevations as necessary to establish grades, the locations of all existing structures, highway and roadway pavements, shoulders, curbs, driveways, sidewalks, lighting structures, traffic control signs, and all public and private utilities, including, but not limited to, electric power and telephone lines, poles and boxes, underground electric, telephone, and communication lines, potable water lines, fire hydrants and valve boxes, gas lines, wells, sanitary sewers including septic systems, rim and invert elevations of manholes and cleanouts, and the rims and invert elevations and type of storm water structures, drainage ditches, ponds, streams and waterways, flood zones and flood zone boundaries and elevations, and State and Federal wetlands, trees, cemeteries and historic features, and the finished floor elevations of buildings.

8. Plans shall show the seal and signature of a registered Delaware land surveyor or registered Delaware professional engineer.
9. The plan requires a Certification Signature and/or a Certification Block for the Delaware Professional Engineer or Delaware Land Surveyor.
10. The plan requires a Certification Signature and/or a Certification Block for the Owner or Representative of the Owner.
11. The plan requires a Certification Signature and/or a Certification Block for the Professional Wetlands Delineator.
12. The name, address, phone number and contact person's name of the Owner of Record, the Developer and the Engineer or Surveyor preparing the plan.
13. Indicate the location of all wetlands (both state and federal), to facilitate compliance with County, State and Federal requirements.
14. Define the courses and distances of the property perimeter and the approximate acreage contained therein. Establish and set in the field two (2) CONCRETE MONUMENT project bench marks, preferably at property perimeter corners, geo-referenced to the Delaware State Plane Coordinate system NAD 83 and show the location including the North and East coordinates of the marks on the plans.
15. Indicate the development construction phases proposed showing the boundaries of each phase. Phasing boundaries shall include buildings, residential units, amenities, roads, storm water management facilities, wastewater systems and all other improvements and utilities required to service each phase.
16. Show the layout, width and names of all streets, alleys, crosswalks and easements proposed to be dedicated for private or public use. Street names shall not duplicate nor closely resemble existing street names in the same hundred or postal district, except for extensions of existing streets.
17. When on site individual septic tank systems are to be used and the lot topography is to be modified by cuts and fills it is required that the Design Engineer contact the Delaware Department of Natural Resources and Environmental Control, Division of Groundwater Water Discharge Section, 20653 DuPont Boulevard, Unit 5,

Georgetown, DE 19947, phone number 302-856-4561 subject to mass grading operations for documented approval.

18. Provide the limits and elevations of the one-hundred (100) year flood. This may require the design engineer to complete an analysis and provide a report including the depiction of the subject watershed(s), calculations and other technical data necessary to determine the limits and elevations base flood. The design engineer must resolve discrepancies, if any, between surveyed topography and the FEMA Flood Insurance Rate Maps.
19. The road shall meet or exceed the requirements of Sussex County Code, Chapter 99, Section 99-18, Street Design Standards.
20. "Dead end" or "stub" roads greater than three-hundred (300) feet in length shall have a vehicular turn-around meeting or exceeding the requirements of State Fire Marshall and Sussex County.
21. False berms shall not be utilized to create roadside drainage swale back slopes.
22. For parking lots and drives, provide spot elevations at the edge of pavement, right-of-way or travel way centerline, at changes in grade, and high points and low points, to the nearest drainage facilities. Show the limits of the various surface materials and provide construction sections.
23. Provide and show the locations and details of all ADA compliant accessible walks and ramp features.
24. If the site has a cemetery located on it the Developer shall contact the Delaware State Historic Preservation Office and satisfy the requirements of that Office prior to beginning any construction activity. This area shall not be disturbed by this project. Adequate access to the site and buffers to protect the site, shall be provided.
25. Private rights-of-way adjacent to and abutting parcels not part of the project shall be located and designed to provide adequate buffer so that construction activities do not encroach onto adjacent properties.
26. Provide statements explaining how and when the developer proposes to provide and install the required water supply, sewers or other means of sewage disposal, street pavement, drainage structures and any other required improvements.
27. Provide statements concerning any proposed deed restrictions to be imposed by the owner.
28. Where special physical conditions exist, which may act as constraints on normal development or may preclude development, the developer may be required to submit special technical data, studies or investigations. This information must be prepared by individuals technically qualified to perform such work. Additional information may include but is not limited to the following: on-site sanitary sewage disposal feasibility, water supply surveys, such as test well drilling, storm water runoff computations and identification of areas subject to periodic flooding.
29. If special conditions are found to exist, the Engineering Department may elect to withhold approval of a construction plan until it is determined that it is technically

feasible to overcome such conditions. The Engineering Department may then require the developer to incorporate specific improvement design criteria into the plat as a condition to its approval.

30. When special studies or investigations pertain to a regulatory program of another public agency, the developer shall submit the results of these studies or investigations to said public agencies for technical review and approval. Approvals and/or written comments from these agencies shall be supplied to Sussex County by the developer.

**UTILITY PLANNING DIVISION COMMENTS**

REVIEWER: **Rob Davis**

APPLICATION: **2019-18 – Lands of Merrill J. & Betty L. Parker**

APPLICANT: **Merrill J. & Betty L. Parker**

FILE NO: NCPA-5.03

TAX MAP &  
PARCEL(S): **133-15.00 Parcel 19.00**

LOCATION: **Racoons Point, the east side of Lakeview Road**

NO. OF UNITS: 8 Single family lots

GROSS  
ACREAGE: 49.8 acres

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: 0

**SEWER:**

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?  
Yes  No
- a. If yes, see question (2).  
b. If no, see question (7).
- (2). Which County Tier Area is project in? Tier 3
- (3). Is wastewater capacity available for the project? N/A If not, what capacity is available? N/A.
- (4). Is a Construction Agreement required? No If yes, contact Utility Engineering at (302) 855-7717.

- (5). Are there any System Connection Charge (SCC) credits for the project? No If yes, how many? N/A. Is it likely that additional SCCs will be required? **No** If yes, the current System Connection Charge Rate is **Choose an item.** per EDU. Please contact **Choose an item.** at **302-855-7719** for additional information on charges.
- (6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **No**
- Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.
- (7). Is project adjacent to the Unified Sewer District? **No**
- (8). Comments: The parcels are not in an area where Sussex County expects to provide sanitary sewer service. Individual on-site systems on individual lots are proposed for wastewater treatment.
- (9). Is a Sewer System Concept Evaluation required? **No**
- (10). Is a Use of Existing Infrastructure Agreement Required? **No**

If the above items, as applicable, are incorporated into the development plans, then preliminary approval is recommended. However, final plan approval should be withheld pending the approval of the construction plans by the Sussex County Engineering Department.

Headley

---

**From:** Dickerson, Troy <TDickerson@delaware.coop>  
**Sent:** Monday, July 29, 2019 4:23 PM  
**To:** Christin Headley  
**Subject:** RE: TAC Review 2019-16 Estates at Milton Crossing & 2019-18 Lands of Parker

**Categories:** TAC Comments

Good Afternoon Christin,

Both of the proposed subdivisions are located within DEC's service territory and we have facilities in the area to serve the proposed dwelling units.

Thanks!

**Troy W. Dickerson, P.E.**  
Assistant V.P. of Engineering  
Voice: (302) 349-3125  
Cell: (302) 535-9048  
Fax: (302) 349-5891  
tdickerson@delaware.coop



DELAWARE ELECTRIC CO-OP  
*"We Keep the Lights On"*

This e-mail message, including any attachments, is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, copy, use, disclosure, or distribution is prohibited. If you are not the intended recipient, please contact the sender by reply e-mail and destroy all copies of the original message.

**From:** Christin Headley <christin.headley@sussexcountye.gov>  
**Sent:** Monday, July 22, 2019 1:43 PM  
**To:** Brad Hawkes <bhawkes@sussexcountye.gov>; C. Daniel Parsons <dparsons@sussexcountye.gov>; Dean Holden - Chesapeake Electric <dholden@chpk.com>; Duane T. Fox <Duane.Fox@state.de.us>; Eileen M. Butler <Eileen.Butler@state.de.us>; Jennifer Cinelli <jennifer.cinelli@state.de.us>; Jessica Watson - Sussex Conservation <Jessica.watson@state.de.us>; John J. Ashman <jashman@sussexcountye.gov>; John Hayes - Groundwater Discharge <john.hayes@state.de.us>; John Kennel - DE Coastal Programs <john.kennel@state.de.us>; John Martin <jmartin@chpk.com>; John Martin - Watershed Stewardship <john.martin@state.de.us>; Kate Fleming - DNREC Fish & Wildlife <kate.fleming@state.de.us>; Kelley Gabbard <kgabbard@chpk.com>; Meghan Crystall - DNREC <Meghan.Crystall@state.de.us>; Michael Tholstrup - Energy & Climate <Michael.Tholstrup@state.de.us>; Mike Brady <MBRADY@sussexcountye.gov>; Milton Melendez - Dept. of Ag <Milton.melendez@state.de.us>; Rob Davis <rdavis@sussexcountye.gov>; Subdivision mailbox email - DelDOT <Subdivision@state.de.us>; Susan Isaacs <sisaacs@sussexcountye.gov>; Susanne Laws - DelDOT <Susanne.Laws@state.de.us>; Terri Dukes <tdukes@sussexcountye.gov>; Tiffany Giroux <tgiroux@chpk.com>; Dickerson, Troy <TDickerson@delaware.coop>; Vince Robertson <vrobertson@pgslegal.com>  
**Subject:** TAC Review 2019-16 Estates at Milton Crossing & 2019-18 Lands of Parker

All,



July 31, 2019

Ms. Christin Headley  
Sussex County Planning & Zoning Commission  
PO Box 417  
Georgetown, DE 19947

**Re:** Sussex County Technical Advisory Committee

Dear Ms. Headley:

The Division of Public Health Office of Engineering is in receipt of the following applications:

1. **Application:**      *2019-16 Estates at Milton Crossing*  
  
                                 *2019-18 Lands of Merrill J. & Betty L. Parker*

*These applications indicate water will be supplied by individual on-site wells. Only routine plumbing permits will be required.*

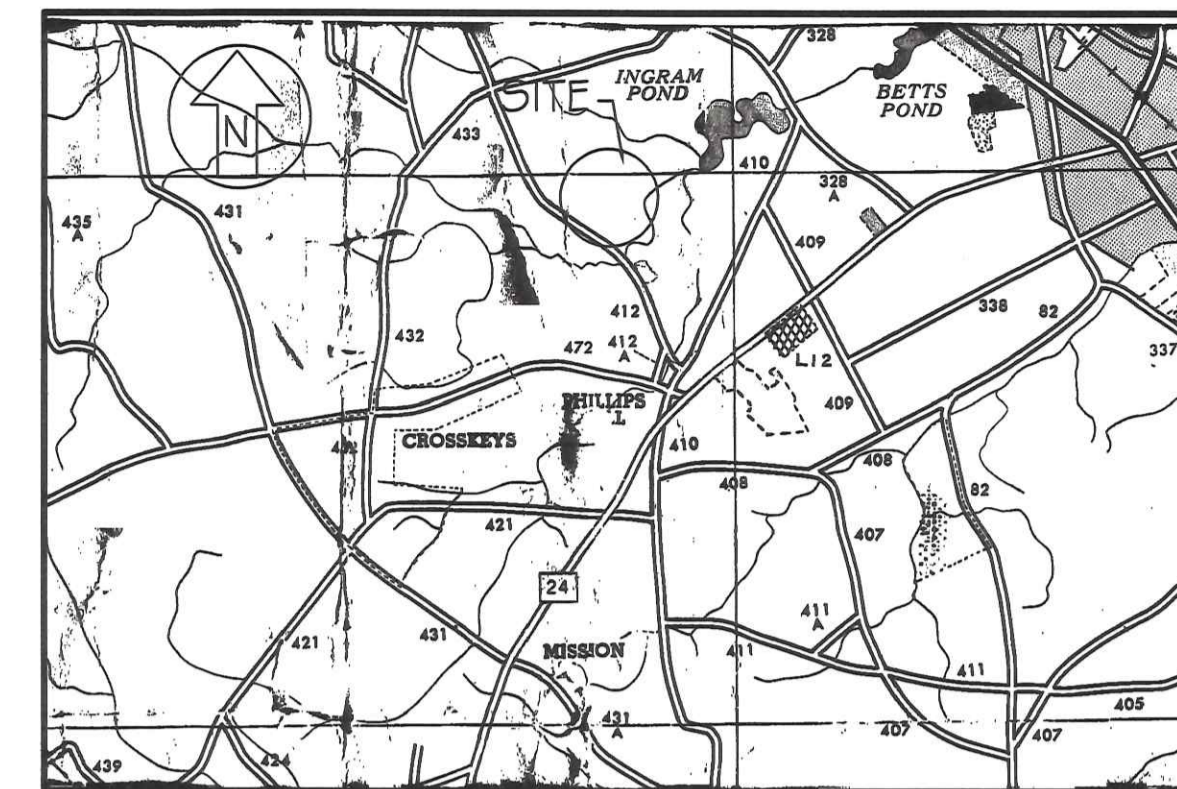
Please do not hesitate to contact me at 302-741-8646 with questions or comments.

Sincerely,

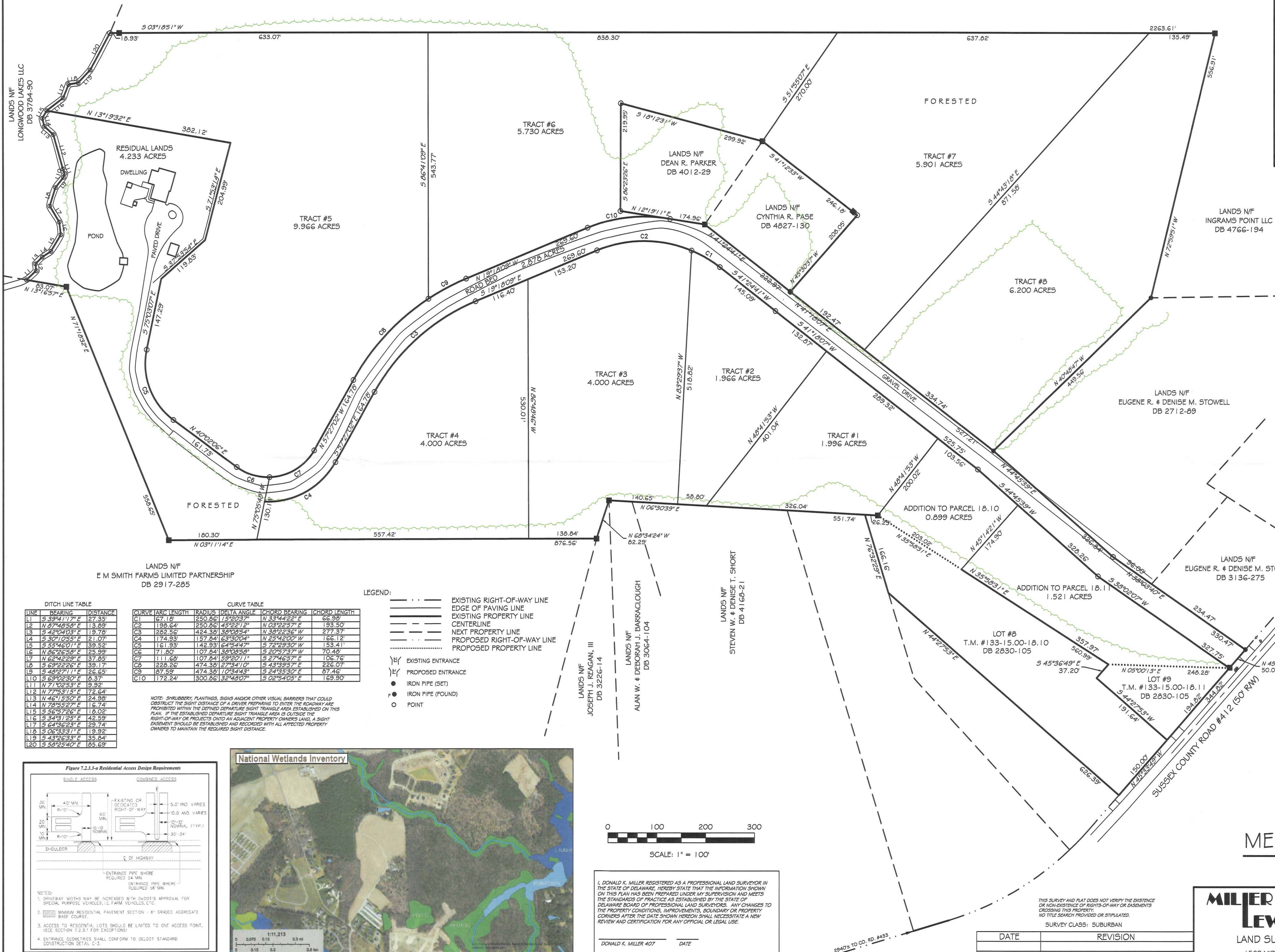
A handwritten signature in black ink, appearing to read "William J. Milliken, Jr." with a stylized flourish at the end.

William J. Milliken, Jr.  
Engineer III  
Office of Engineering

LANDS N/F  
INGRAMS POINT LLC  
DB 4766-194



VICINITY MAP SCALE 1"=2,000'



**DATA COLUMN:**  
T.M. #133-15.00-19.00  
ZONING: AR  
TRACT AREA: 49.80 ACRES  
TOTAL # OF LOTS: 9 (INCLUDES RESIDUAL LANDS)  
PRESENT USE: AGRICULTURAL  
PROPOSED USE: RESIDENTIAL  
ACCESS: S.C.R. #412 (LAKEVIEW ROAD) LOCAL ROADWAY  
WATER AND SEWER: INDIVIDUAL ON-SITE  
100 YEAR FLOODPLAIN: SITE IS NOT IMPACTED AS PER FIRM #10005C0453J DATED 1/6/05  
SPEED LIMIT ON LAKEVIEW RD. IS 50 MPH.  
BUILDING SETBACK REQUIREMENTS:  
FRONT: 40'  
SIDES: 15'  
REAR: 20'  
IMPACT ON "COUNTY VIEW" SUBDIVISION, LOTS 8 & 9:  
LOT #8 T.M. #133-15.00-18.10 EXISTING AREA: 2.420 ACRES  
ADDITION FROM #133-15.00-19.00: 0.899 ACRES  
NEW TOTAL AREA: 3.319 ACRES  
LOT #9 T.M. #133-15.00-18.11 EXISTING AREA: 0.510 ACRE  
ADDITION FROM #133-15.00-19.00: 1.521 ACRES  
NEW TOTAL AREA: 2.031 ACRES  
STREET IS TO REMAIN PRIVATE AND MAINTAINED BY THE OWNER

**OWNERSHIP CERTIFICATE:**  
WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

MERRILL J. PARKER \_\_\_\_\_ DATE \_\_\_\_\_  
BETTY L. PARKER \_\_\_\_\_ DATE \_\_\_\_\_  
SUSSEX COUNTY APPROVAL:  
PLANNING & ZONING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
SUSSEX COUNTY COUNCIL \_\_\_\_\_ DATE \_\_\_\_\_

MAJOR SUBDIVISION PLAN FOR  
**MERRILL J. & BETTY L. PARKER**  
29501 RACOONS POINT, MILLSBORO, DE 19966

**DITCH LINE TABLE**

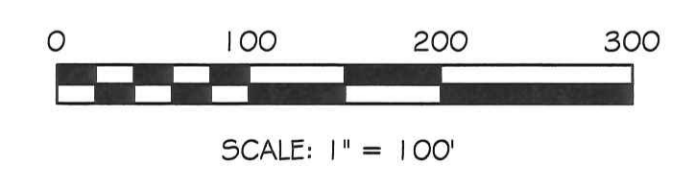
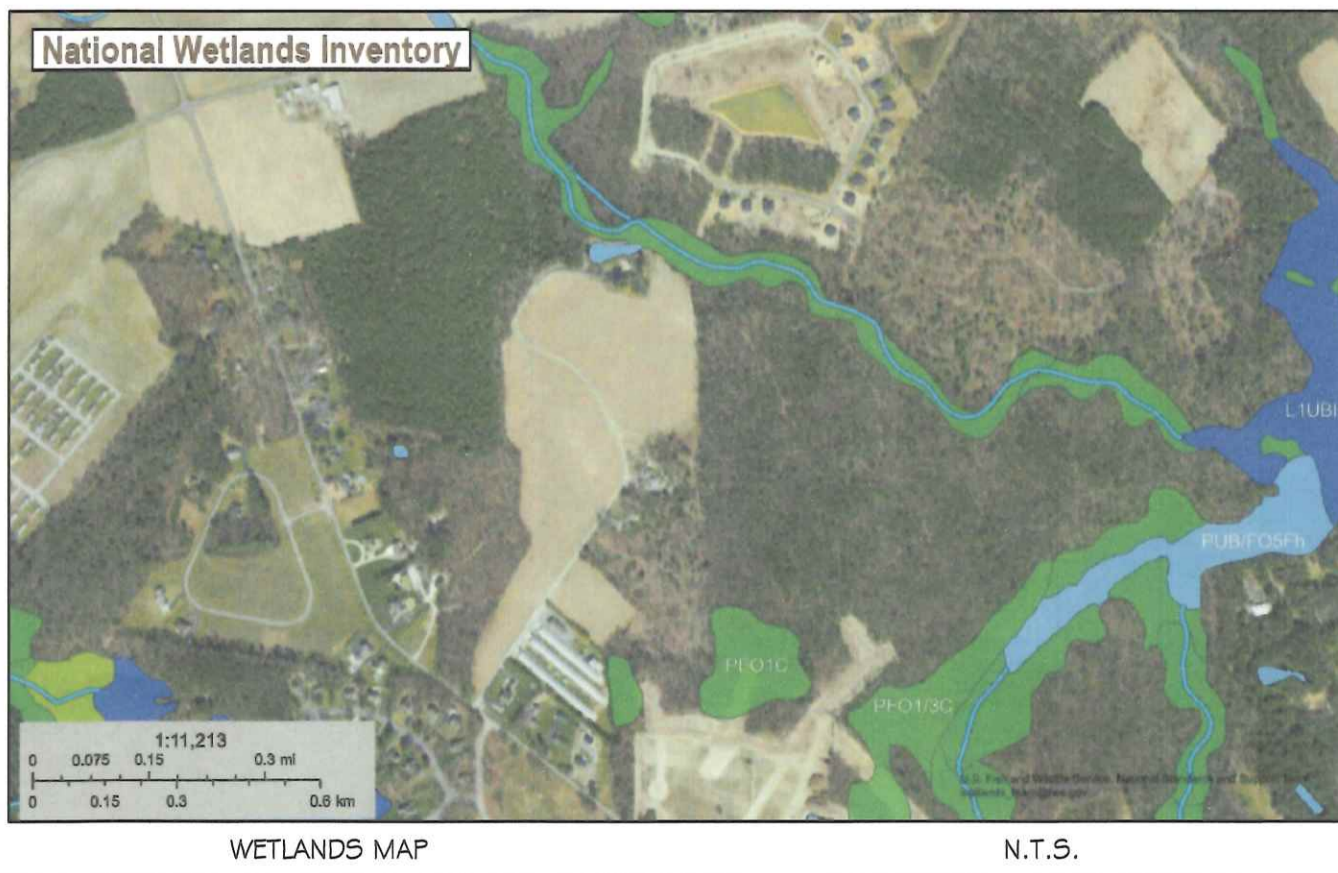
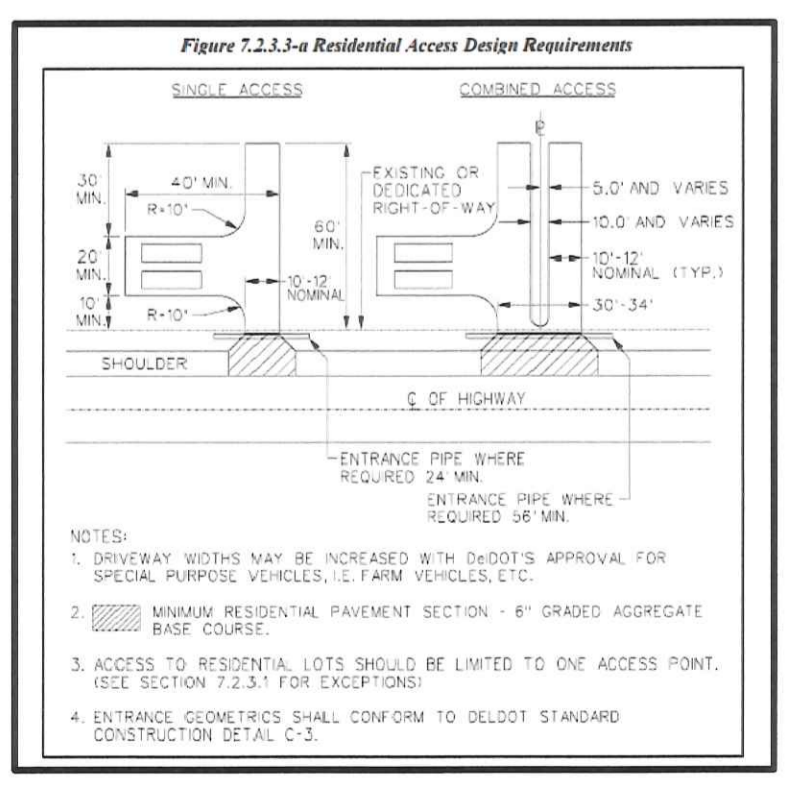
LINE	BEARING	DISTANCE
L1	S 39°41'17" E	27.55'
L2	N 87°44'55" E	18.89'
L3	S 42°04'03" E	19.78'
L4	S 30°10'55" E	21.07'
L5	S 55°46'01" E	39.52'
L6	N 66°22'55" E	25.99'
L7	N 62°42'29" E	37.85'
L8	S 69°22'26" E	39.17'
L9	S 48°57'11" E	26.65'
L10	S 68°02'30" E	18.37'
L11	N 71°02'53" E	9.92'
L12	N 77°53'15" E	72.64'
L13	N 46°15'50" E	24.59'
L14	N 78°55'27" E	15.74'
L15	S 56°57'22" E	18.02'
L16	S 34°19'12" E	42.59'
L17	S 64°36'23" E	29.74'
L18	S 26°33'37" E	13.92'
L19	S 43°22'33" E	33.04'
L20	S 58°25'40" E	85.59'

**CURVE TABLE**

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	67.18'	250.86'	15°20'37"	N 33°44'22" E	66.98'
C2	198.64'	250.86'	45°22'12"	N 03°22'57" E	193.50'
C3	282.56'	424.30'	36°08'54"	N 38°22'36" W	277.37'
C4	174.93'	157.84'	63°30'04"	N 25°42'00" W	166.12'
C5	161.93'	142.93'	64°54'14"	S 72°29'30" W	153.41'
C6	71.80'	107.84'	35°02'58"	S 20°57'37" W	70.48'
C7	111.68'	107.84'	59°20'11"	S 27°46'37" E	106.76'
C8	226.26'	474.30'	27°34'10"	S 43°39'57" E	226.07'
C9	87.99'	474.30'	109°34'43"	S 24°35'30" E	87.46'
C10	112.24'	300.86'	32°48'07"	S 02°54'03" E	169.90'

NOTE: SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT TRIANGLE SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.

- LEGEND:**
- EXISTING RIGHT-OF-WAY LINE
  - EDGE OF PAVING LINE
  - EXISTING PROPERTY LINE
  - - - CENTERLINE
  - - - NEXT PROPERTY LINE
  - - - PROPOSED RIGHT-OF-WAY LINE
  - - - PROPOSED PROPERTY LINE
  - Y/ EXISTING ENTRANCE
  - Y/ PROPOSED ENTRANCE
  - IRON PIPE (SET)
  - IRON PIPE (FOUND)
  - POINT



I, DONALD K. MILLER, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

\_\_\_\_\_  
DONALD K. MILLER 407 \_\_\_\_\_ DATE \_\_\_\_\_

THIS SURVEY AND PLAN DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHTS-OF-WAY OR EASEMENTS CROSSING THIS PROPERTY. NO TITLE SEARCH PROVIDED OR STIPULATED.

SURVEY CLASS: SUBURBAN

DATE	REVISION

**MILNER LEWIS, INC.**  
LAND SURVEYING  
1560 MIDDLEFORD RD.  
SEAFOORD, DELAWARE 19973  
PH: 302-629-9695 FAX: 302-629-2391

HUNDRED	COUNTY
DAGSBORO	SUSSEX
STATE	DRAWN BY
DELAWARE	D.K. MILLER
REF.	FILE NO.
DB 822-308	STOWELL 1-33-15-19

JULY 18, 2019



Sussex County, Delaware  
Technical Advisory Committee

Comment Sheet

\*\*\*\*\*



DATE OF REVIEW: July 24, 2019

REVIEWING AGENCY: Delaware State Fire Marshals Office, Sussex Office

INDIVIDUAL REVIEWERS: Duane T. Fox, CFPS, CFPE, CFI, Asst. Chief Technical Services  
Dennett E. Pridgeon, CFPS, CFPE, CFI, Sr. Fire Protection Specialist  
Jefferson L. Cerri, CFI, Sr. Fire Protection Specialist  
Joseph Moran, CFI, Sr. Fire Protection Specialist  
Desiree B. McCall, CFI, Sr. Fire Protection Specialist

AGENCY PHONE NUMBERS: 302-856-5298, Fax: 302-856-5800

RE: LANDS OF PARKER (2019-18)

*The reasons and conditions applied to this project and their sources are itemized below:*

\*\*\*\*\*

At the time of formal submittal, the applicant shall provide; completed application, fee, and three sets of plans depicting the following in accordance with the Delaware State Fire Prevention Regulation:

a. **Fire Protection Water Requirements:**

- Since the dwellings of the subdivision are proposed to be served by individual on-site wells (No Central or Public Water System within 1000' of property), set back and separation requirements will apply.

b. **Fire Protection Features:**



c. **Accessibility:**

- All premises, which the fire department may be called upon to protect in case of fire, and which are not readily accessible from public roads, shall be provided with suitable gates and access roads, and fire lanes so that all buildings on the premises are accessible to fire apparatus. This means that the access road (entrance) to the subdivision from Lakeview Rd must be constructed so all fire department apparatus may negotiate it. If a median or boulevard is to be used it must be designed so that fire apparatus can make left and right hand turns into the subdivision.

- Fire department access shall be provided in such a manner so that fire apparatus will be able to locate within 100 ft. of the front door.
- Any dead end road more than 300 feet in length shall be provided with a turn-around or cul-de-sac arranged such that fire apparatus will be able to turn around by making not more than one backing maneuver. The minimum paved radius of the cul-de-sac shall be 38 feet. The dimensions of the cul-de-sac or turn-around shall be shown on the final plans. Also, please be advised that parking is prohibited in the cul-de-sac or turn around.
- The use of speed bumps or other methods of traffic speed reduction must be in accordance with Department of Transportation requirements.
- The local Fire Chief, prior to any submission to our Agency, shall approve in writing the use of gates that limit fire department access into and out of the development or property.

d. **Gas Piping and System Information:**

- Provide type of fuel proposed, and show locations of bulk containers on plan.

e. **Required Notes:**

- Provide a note on the final plans submitted for review to read “ All fire lanes, fire hydrants, and fire department connections shall be marked in accordance with the Delaware State Fire Prevention Regulations”
- Proposed Use
- National Fire Protection Association (NFPA) Construction Type
- Maximum Height of Buildings (including number of stories)
- Provide Road Names, even for County Roads

Preliminary meetings with fire protection specialists are encouraged prior to formal submittal. Please call for appointment. Applications and brochures can be downloaded from our website:

[www.statefiremarshal.delaware.gov](http://www.statefiremarshal.delaware.gov), technical services link, plan review, applications or brochures.

***THIS DOCUMENT IS INFORMATIONAL ONLY, AND DOES NOT CONSTITUTE ANY TYPE OF APPROVAL FROM THE DELAWARE STATE FIRE MARSHAL'S OFFICE***

**SUSSEX COUNTY ENGINEERING DEPARTMENT**  
**UTILITY PLANNING DIVISION**  
**C/U & C/Z COMMENTS**

TO: **Janelle Cornwell**

REVIEWER: **Chris Calio**

DATE: **10/4/2019**

APPLICATION: **2019-18 Lands of Merrill J. & Betty L. Parker**

APPLICANT: **Don Miller**

FILE NO: **WSPA-5.02**

TAX MAP &  
PARCEL(S): **133-15.00-19.00**

LOCATION: **On the east side of Lakeview Road (SCR 412)**

NO. OF UNITS: **8 single-family lots**

GROSS  
ACREAGE: **49.80 acres +/-**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

**SEWER:**

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?  
Yes  No
- a. If yes, see question (2).  
b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 3**
- (3). Is wastewater capacity available for the project? **N/A** If not, what capacity is available? **N/A**.
- (4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **No** If yes, the current System Connection Charge Rate is **Click or tap to enter a fee** per EDU. Please contact **N/A** at **302-855-7719** for additional information on charges.

- (6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **No**
- Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.
- (7). Is project adjacent to the Unified Sewer District? **No**
- (8). Comments: **The proposed subdivision of land is in an area where the Sussex County Engineering Department does not currently have a schedule to provide sanitary sewer service.**
- (9). Is a Sewer System Concept Evaluation required? **No**
- (10). Is a Use of Existing Infrastructure Agreement Required? **No**

UTILITY PLANNING APPROVAL:

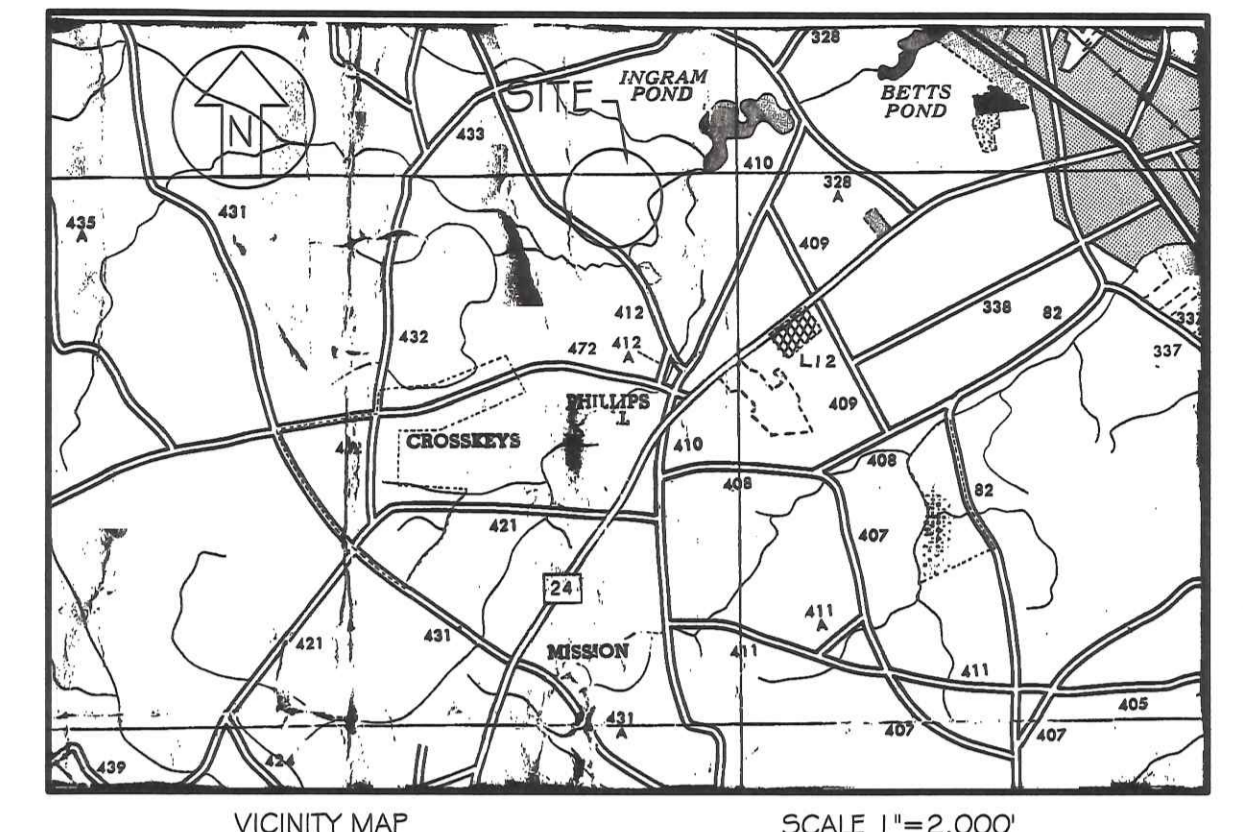


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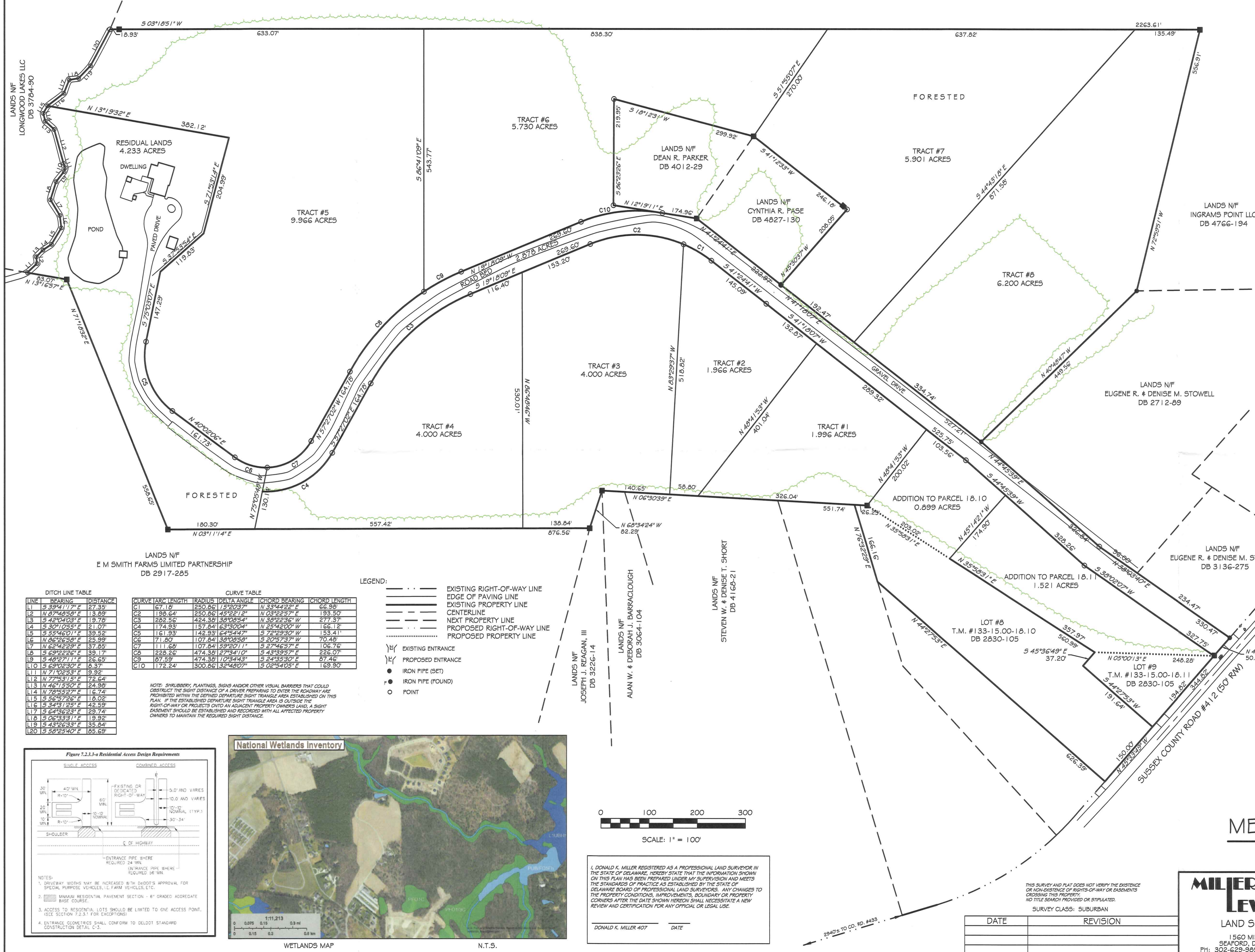
John J. Ashman  
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.  
Jayne Dickerson  
No Permit Tech Assigned

LANDS N/F  
INGRAMS POINT LLC  
DB 4766-194



VICINITY MAP SCALE 1"=2,000'



**DATA COLUMN:**  
T.M. #133-15.00-19.00  
ZONING: AR  
TRACT AREA: 49.80 ACRES  
TOTAL # OF LOTS: 9 (INCLUDES RESIDUAL LANDS)  
PRESENT USE: AGRICULTURAL  
PROPOSED USE: RESIDENTIAL  
ACCESS: S.C.R. #412 (LAKEVIEW ROAD) LOCAL ROADWAY  
WATER AND SEWER: INDIVIDUAL ON-SITE  
100 YEAR FLOODPLAIN: SITE IS NOT IMPACTED AS PER FIRM #10005C0453J DATED 1/6/05  
SPEED LIMIT ON LAKEVIEW RD. IS 50 MPH.  
BUILDING SETBACK REQUIREMENTS:  
FRONT: 40'  
SIDES: 15'  
REAR: 20'  
IMPACT ON 'COUNTY VIEW' SUBDIVISION, LOTS 8 & 9:  
LOT #8 T.M. #133-15.00-18.10 EXISTING AREA: 2.420 ACRES  
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NEW TOTAL AREA: 2.031 ACRES  
STREET IS TO REMAIN PRIVATE AND MAINTAINED BY THE OWNER

**OWNERSHIP CERTIFICATE:**  
WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.  
  
MERRILL J. PARKER \_\_\_\_\_ DATE \_\_\_\_\_  
BETTY L. PARKER \_\_\_\_\_ DATE \_\_\_\_\_  
  
SUSSEX COUNTY APPROVAL:  
PLANNING & ZONING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
SUSSEX COUNTY COUNCIL \_\_\_\_\_ DATE \_\_\_\_\_

**DITCH LINE TABLE**

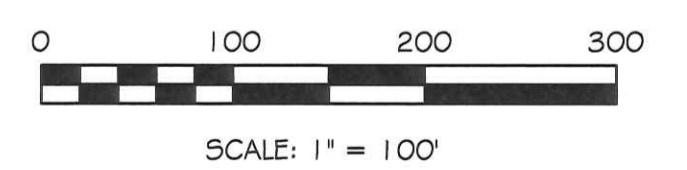
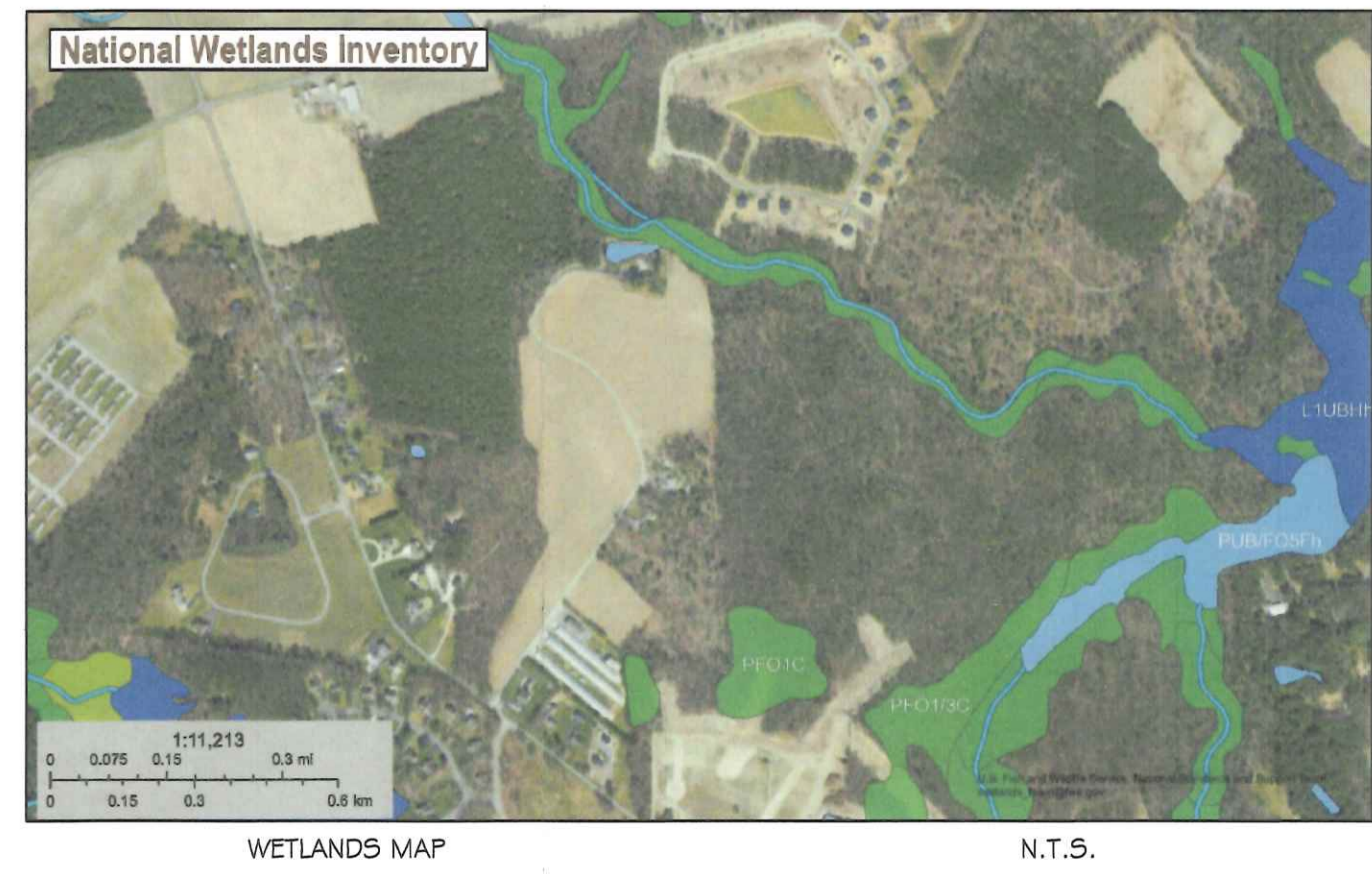
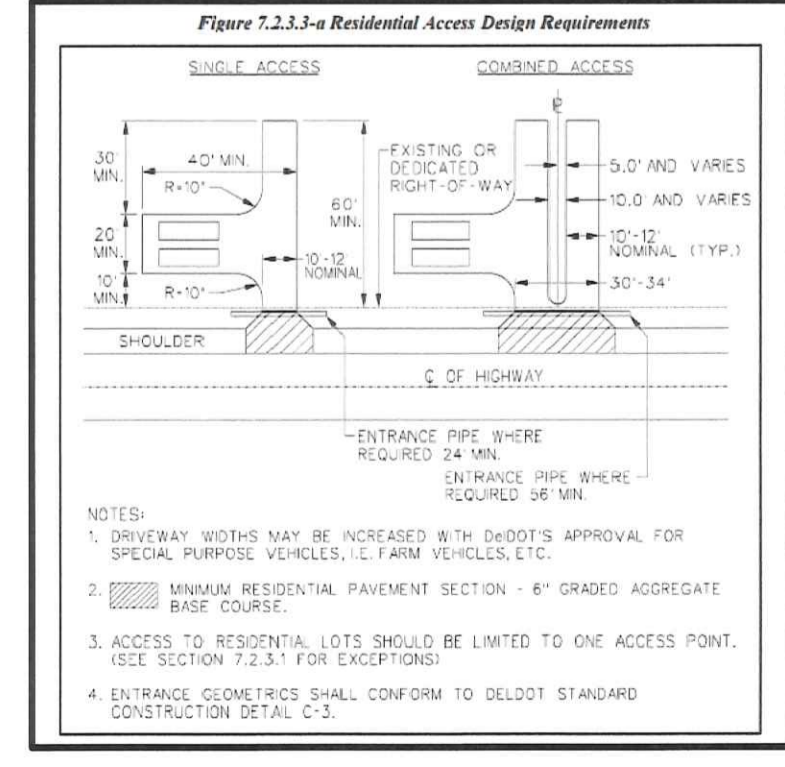
LINE#	BEARING	DISTANCE
L1	S 89°41'17" E	27.39
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L4	S 30°10'51" E	21.07
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L16	S 34°31'25" E	42.59
L17	S 64°36'23" E	29.74
L18	S 06°33'11" E	19.32
L19	S 43°26'23" E	35.84
L20	S 58°25'40" E	85.69

**CURVE TABLE**

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
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C4	174.93	157.84	63°30'04" E	N 25°42'00" W	166.12
C5	161.93	142.93	64°54'47" E	S 72°29'30" W	153.41
C6	71.80	107.84	34°08'54" E	S 20°57'37" W	70.48
C7	111.68	107.84	59°20'11" E	S 27°46'57" E	106.76
C8	228.26	474.38	27°34'10" E	S 43°39'57" E	226.07
C9	87.59	474.38	10°34'43" E	S 24°33'30" E	87.46
C10	172.24	300.86	32°48'07" E	S 02°54'05" E	163.90

NOTE: SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.

**LEGEND:**  
--- EXISTING RIGHT-OF-WAY LINE  
--- EDGE OF PAVING LINE  
--- EXISTING PROPERTY LINE  
--- CENTERLINE  
--- NEXT PROPERTY LINE  
--- PROPOSED RIGHT-OF-WAY LINE  
--- PROPOSED PROPERTY LINE  
  
--- EXISTING ENTRANCE  
--- PROPOSED ENTRANCE  
● IRON PIPE (SET)  
● IRON PIPE (FOUND)  
○ POINT



I, DONALD K. MILLER REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.  
  
DONALD K. MILLER 407 \_\_\_\_\_ DATE \_\_\_\_\_

DATE	REVISION

**MILLER LEWIS, INC.**  
LAND SURVEYING  
1560 MIDDLEFORD RD.  
SEAFORD, DELAWARE 19973  
PH: 302-629-8895 FAX: 302-629-2391

HUNDRED	COUNTY
DAGSBORO	SUSSEX
STATE	DRAWN BY
DELAWARE	D.K. MILLER
REF.	FILE NO.
DB 822-308	STOWELL 1-33-15-19

FILE COPY

**PLANNING & ZONING COMMISSION**

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE-CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY J. WINGATE



**Sussex County**

DELAWARE  
sussexcountyde.gov  
302-855-7878 T  
302-854-5079 F  
JANELLE CORNWELL, AICP  
DIRECTOR

**PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET**  
Planning Commission Public Hearing Date October 17, 2019

Application: CU 2194 Imagination-Renovation, LLC

Applicant: Imagination-Renovation, LLC  
20601 Rust Road  
Harbeson, DE 19966

Owner: Marsell R. Smith & Phillip G. Bortz  
20601 Rust Road  
Harbeson, DE 19966

Site Location: 20601 Rust Road. East side of Rust Rd., approximately 0.25 mile south of Harbeson Road.

Current Zoning: AR-1 (Agricultural Residential District)

Proposed Use: Furniture Making and Repair Business

Comprehensive Land Use Plan Reference: Low Density Area

Councilmatic District: Mr. Burton

School District: Indian River School District

Fire District: Milton Fire District

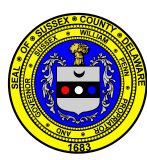
Sewer: Private, On Site

Water: Private, On Site

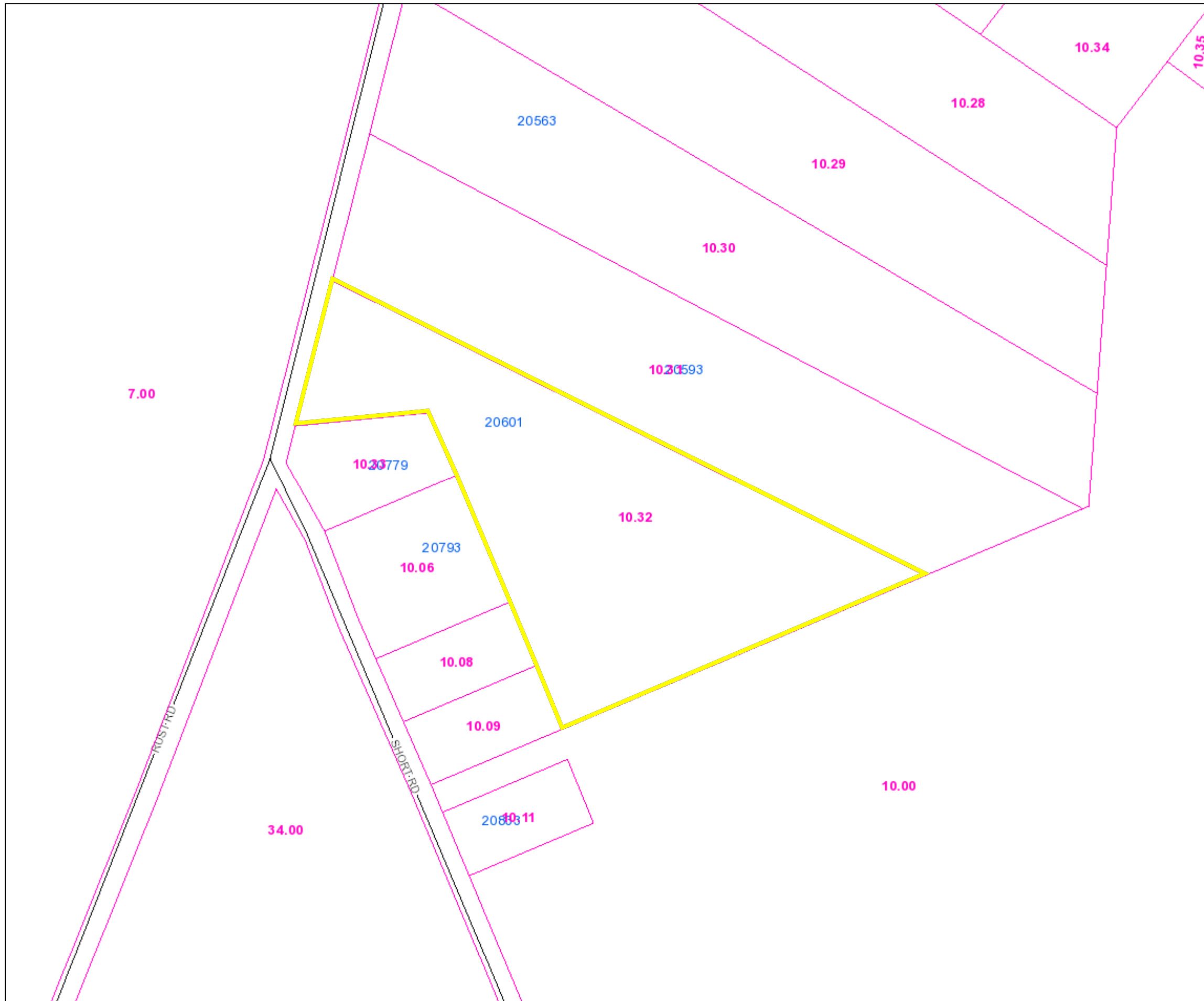
Site Area: 5.00 ac. +/-

Tax Map ID.: 234-4.00-10.32





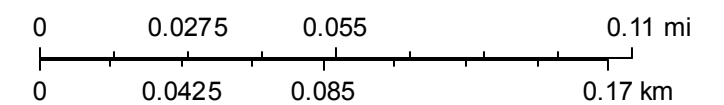
# Sussex County



<b>PIN:</b>	234-4.00-10.32	
<b>Owner Name</b>	SMITH RENEE	MARSELL
<b>Book</b>	5019	
<b>Mailing Address</b>	20601 RUST RD	
<b>City</b>	HARBESON	
<b>State</b>	DE	
<b>Description</b>	N S/RT 5	
<b>Description 2</b>	E/RT 296A	
<b>Description 3</b>	LOT 8	
<b>Land Code</b>		

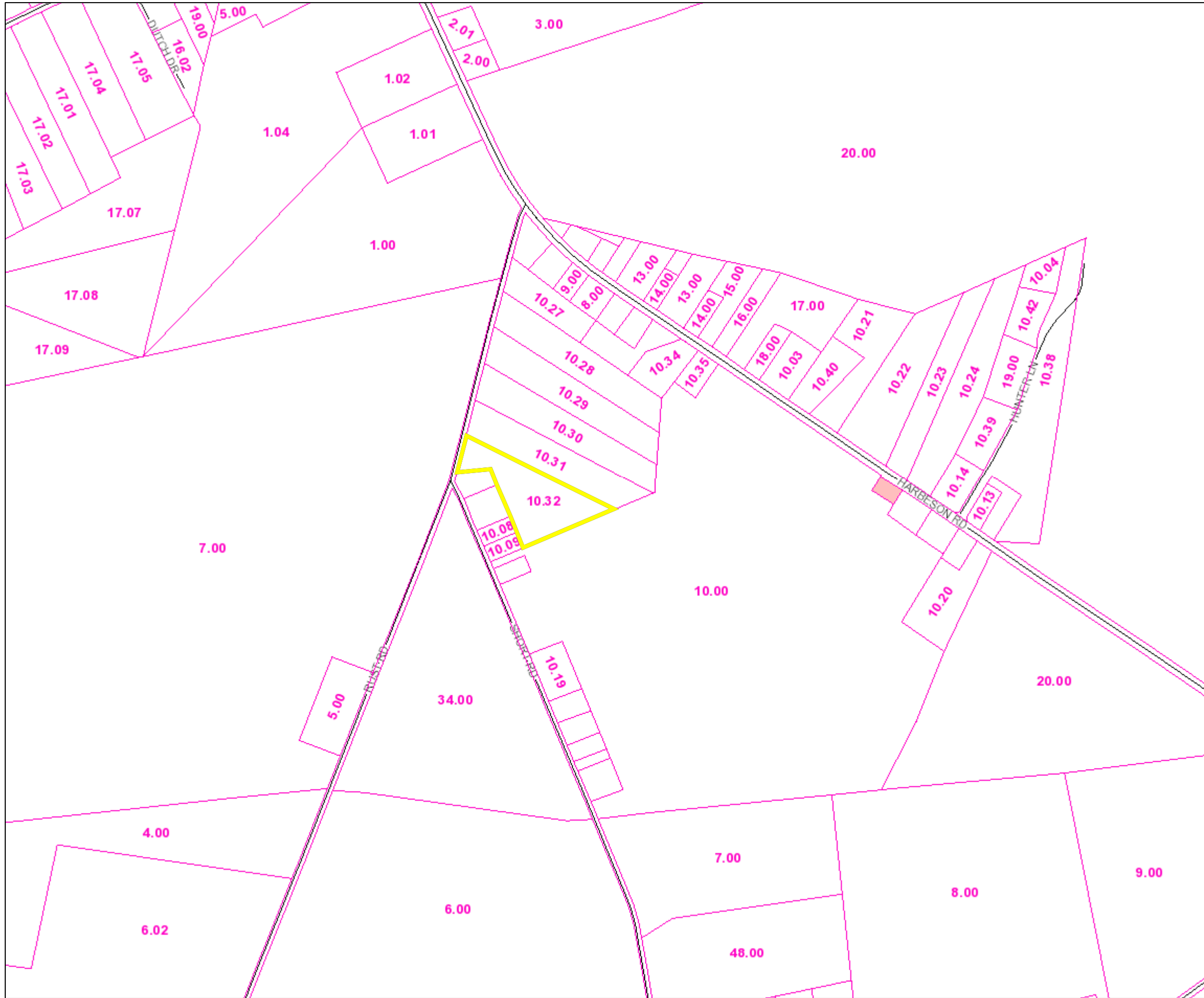
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- polygonLayer**
- Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries

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# Sussex County



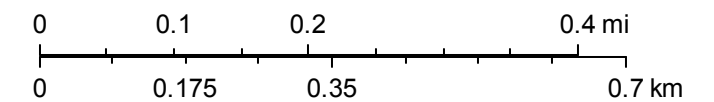
<b>PIN:</b>	234-4.00-10.32	
<b>Owner Name</b>	SMITH RENEE	MARSELL
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<b>Description 2</b>	E/RT 296A	
<b>Description 3</b>	LOT 8	
<b>Land Code</b>		

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- Streets

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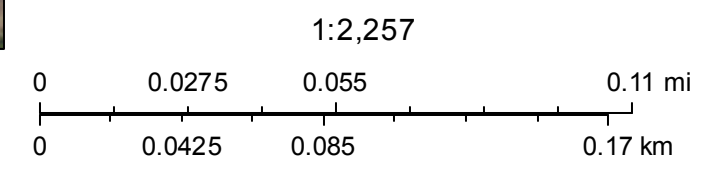


# Sussex County



<b>PIN:</b>	234-4.00-10.32	
<b>Owner Name</b>	SMITH RENEE	MARSELL
<b>Book</b>	5019	
<b>Mailing Address</b>	20601 RUST RD	
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<b>Description</b>	N S/RT 5	
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- polygonLayer**  
Override 1
- polygonLayer**  
Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries



## PLANNING & ZONING

JANELLE M. CORNWELL, AICP  
DIRECTOR

(302) 855-7878 T  
(302) 854-5079 F



# Sussex County

DELAWARE  
sussexcountype.gov

## Memorandum

To: Sussex County Planning Commission Members  
From: Lauren DeVore, Planner III  
CC: Vince Robertson, Assistant County Attorney and applicant  
Date: October 9, 2019  
RE: Staff Analysis for CU 2194 Imagination-Renovation, LLC

---

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CU 2194 Imagination-Renovation, LLC. to be reviewed during the October 17, 2019 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Condition Use for parcel 234-4.00-10.32 to allow for a furniture making and repair business to be located at 20601 Rust Road in Harbeson, Delaware. The size of the property is 5.0 acres +/-.

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the property has the land use designation of Commercial Areas.

The surrounding land use to the north, south, east and west are designated on the Future Land Use Map as "Low Density Areas" (with the exception of a single, small parcel to the east which is designated "Commercial Area." Low Density Areas primarily recognize businesses that support agricultural activities and the development of single-family homes. The focus of retail and office uses in Low Density Areas should be for providing convenience goods and services to nearby residents.

The property is zoned AR-1 (Agricultural Residential District.) The adjoining and surrounding parcels to the north, south, east and west (on the opposite side of Rust Road) are all zoned Agricultural Residential (AR-1) (except for a single parcel to the east, zoned Neighborhood Business (B-1).

Since 2011, there have been four (4) Conditional Use applications submitted in the area of the application site. CU 1980 to the east, for a used car sales facility on a parcel zoned (B-1) Neighborhood Business District which was approved, CU 2185 for multi-family (2-units) which is currently pending, CU 1915 to the north, for a manufacture home installation business and related equipment storage which was approved, and CU 2105 to the north, for a commercial landscaping business with outdoor parking, storage of vehicles, equipment and other ancillary storage related to the business which was also approved.

Based on the analysis of the land use, surrounding zoning and uses, the Conditional Use for a furniture making and repair business could be considered consistent with the land use, area zoning and surrounding uses.





STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

April 5, 2019

Ms. Janelle Cornwell, Director  
Sussex County Planning & Zoning  
P.O. Box 417  
Georgetown, DE 19947

Dear Ms. Cornwell:

The Department has completed its review of a Service Level Evaluation Request for the **Imagination – Renovation, LLC** conditional use application, which we received on March 8, 2019. This application is for a 5.00-acre parcel (Tax Parcel: 234-4.00-10.32). The subject land is located on the east side of Rust Road (Sussex Road 292A), approximately 80 feet northeast of the intersection of Rust Road and Short Road (Sussex Road 296A). The subject land is currently zoned AR-1 (Agricultural Residential), and the applicant is seeking a conditional use approval to operate approximately 4,500 feet of pole building space.

Per the 2017 Delaware Vehicle Volume Summary, the annual average daily traffic volume along the segment of Rust Road where the subject land is located, which is from Anderson Corner Road (Sussex Road 292) to Delaware Route 5, is 400 vehicles per day.

Based on our review, we estimate that the above land uses will generate fewer than 50 vehicle trips in any hour and fewer than 500 vehicle trips per day. These numbers of trips are DelDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. Because the proposed land use would not meet these warrants, we consider the development's traffic impact to be negligible in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DelDOT's description of this application as negligible with regard to warranting a TIS does not mean that it is negligible in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.

Ms. Janelle M. Cornwell  
Page 2 of 2  
April 5, 2019

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,

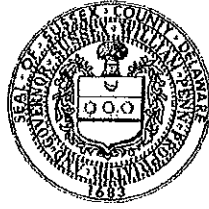


T. William Brockenbrough, Jr.  
County Coordinator  
Development Coordination

TWB:ejm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues  
Imagination – Renovation, LLC, Applicant  
J. Marc Coté, Assistant Director, Development Coordination  
Gemez Norwood, South District Public Works Manager, Maintenance and Operations  
Susanne Laws, Sussex County Subdivision Coordinator, Development Coordination  
Derek Sapp, Subdivision Manager, Development Coordination  
Kevin Hickman, Subdivision Manager, Development Coordination  
Brian Yates, Subdivision Manager, Development Coordination  
John Andrescavage, Subdivision Manager, Development Coordination  
Troy Brestel, Project Engineer, Development Coordination  
Claudy Joinville, Project Engineer, Development Coordination

**PLANNING & ZONING**  
JANELLE M. CORNWELL, AICP  
DIRECTOR  
(302) 855-7878 T  
(302) 854-5079 F



**Sussex County**  
DELAWARE  
sussexcountyde.gov

### Service Level Evaluation Request Form

This form shall be submitted to the Planning and Zoning Office and a response shall be received back from DeIDOT prior to the applicant being able to submit an application to the Planning and Zoning Office.

Date: 3/8/19

**Site Information:**

Site Address/Location: 20601 Rust Road, Harbeson, DE

Tax Parcel Number: 234-4.00-10.32

Current Zoning: AR-1

Proposed Zoning: CU

Land Use Classification: Low Density Area

Proposed Use(s): Conditional Use for a Furniture Making & Repair Business

Square footage of any proposed buildings or number of units: Pole buildings total approx. 4500 s.f.;  
Lot is 5 acres. See attached survey.

**Applicant Information:**

Applicant's Name: Imagination-Renovation, LLC

Applicant's Address: 20601 Rust Road

City: Harbeson State: DE Zip Code: 19966

Applicant's Phone Number: (302) 934-9547

Applicant's e-mail address: renees@prestonmotors.com

Please Copy Response To:  
David C. Hutt, Esq.  
Morris James, LLP  
107 West Market Street  
Georgetown, DE 19947  
dhutt@morrisjames.com  
(302) 856-0018

RECEIVED

MAR 08 2019

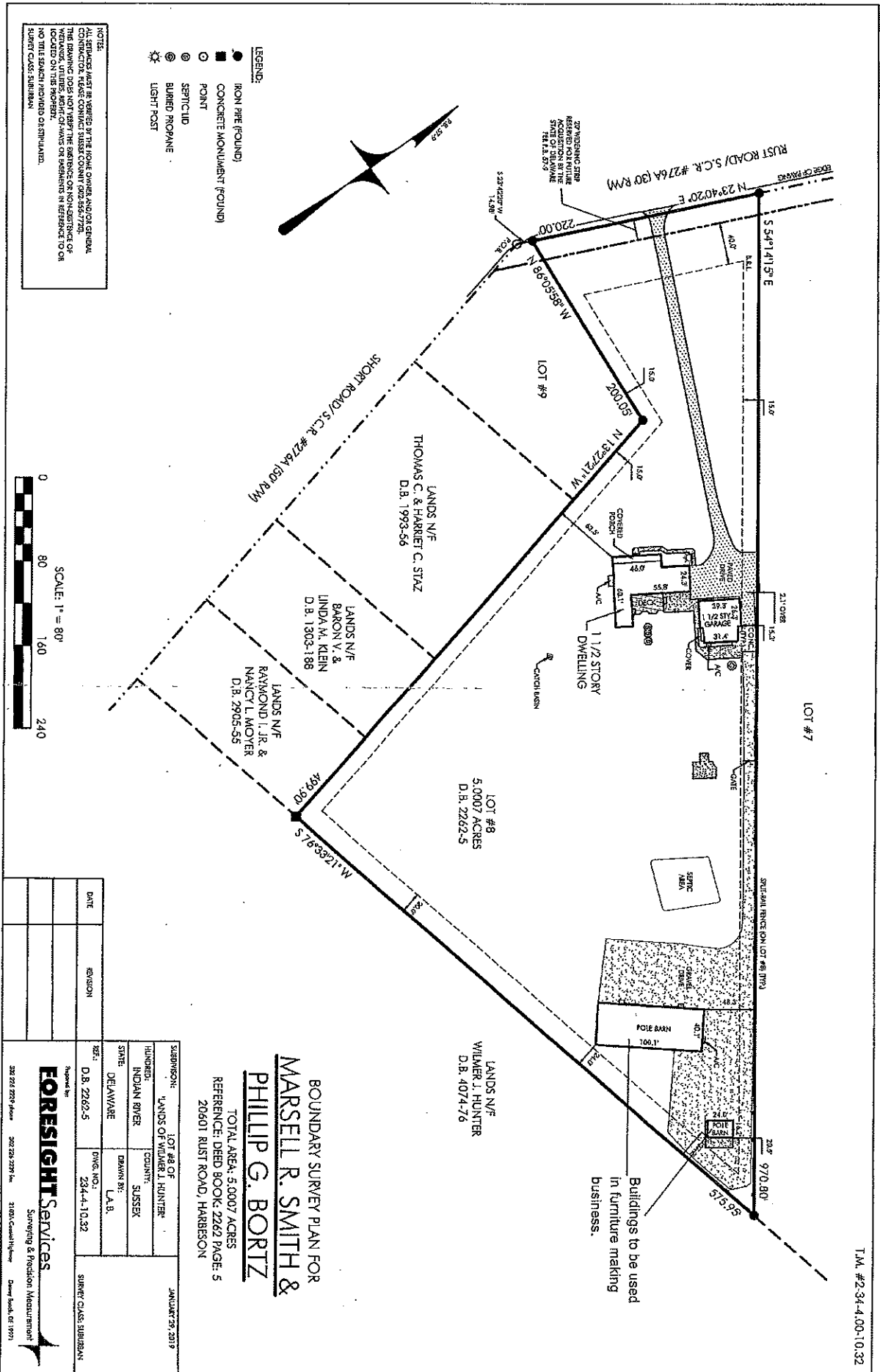


SUSSEX COUNTY  
PLANNING & ZONING

COUNTY ADMINISTRATIVE OFFICES  
2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DELAWARE 19947

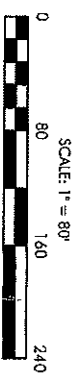
Last updated 7-27-18

T.M. #2-34-4.00-10.32



- LEGEND:**
- IRON PIPE (FOUND)
  - CONCRETE MONUMENT (FOUND)
  - POINT
  - ⊙ SEPTIC TID
  - ⊗ BURIED PROPANE
  - ⊛ LIGHT POST

**NOTES:**  
 ALL SETBACKS MUST BE VERIFIED BY THE HOME OWNER AND/OR GENERAL CONTRACTOR. PLEASE CONTACT SUSEX COUNTY (602.555.7700). THE DRAWING DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF LOCATIONS ON THIS PROPERTY.  
 NO TITLE SEARCH PROVIDED OR OBTAINED.  
 SURVEY CLASS: SUBURBAN



DATE	REVISION

SUBDIVISION: LOT #8 OF LANDS OF WILMER J. HUNTER		DATE: JANUARY 29, 2019
COUNTY: INDIAN RIVER	COUNTY: SUSSEX	
STATE: DELAWARE	CITY/TOWNSHIP: DEWITT, L.A.B.	
DEED NO.: D.B. 2262-5	DWG. NO.: 2344-10.32	SURVEY CLASS: SUBURBAN

**BOUNDARY SURVEY PLAN FOR  
 MARSELL R. SMITH &  
 PHILLIP G. BORTZ**

TOTAL AREA: 5.0007 ACRES  
 REFERENCE: DEED BOOK: 2262 PAGE: 5  
 20601 RUST ROAD, HARBERSON

Prepared by  
**FORESIGHT Services**  
 Surveying & Precision Measurement  
 302 228 2287 phone 302 228 2287 fax 21001 Coastal Hwy. Dover, Del. DE 19911

**SUSSEX COUNTY ENGINEERING DEPARTMENT**  
**UTILITY PLANNING DIVISION**  
**C/U & C/Z COMMENTS**

TO: **Janelle Cornwell**

REVIEWER: **Chris Calio**

DATE: **10/4/2019**

APPLICATION: **CU 2194 Imagination-Renovations, LLC**

APPLICANT: **Imagination-Renovations, LLC**

FILE NO: **NCPA-5.03**

TAX MAP &  
PARCEL(S): **234-4.00-10.32**

LOCATION: **20601 Rust Road. East side of Rust Road, approximately 0.25  
mile south of Harbeson Road.**

NO. OF UNITS: **Furniture making and repair business**

GROSS  
ACREAGE: **5.00 acres +/-**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

**SEWER:**

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?  
Yes  No
- a. If yes, see question (2).  
b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 3**
- (3). Is wastewater capacity available for the project? **N/A** If not, what capacity is available? **N/A**.
- (4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **N/A** If yes, the current System Connection Charge Rate is **Click or tap to enter a fee** per EDU. Please contact **N/A** at **302-855-7719** for additional information on charges.

(6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **No**

Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.

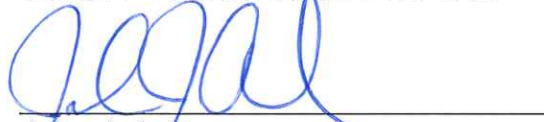
(7). Is project adjacent to the Unified Sewer District? **No**

(8). Comments: **The proposed Conditional Use is in an area where the Sussex County Engineering Department does not currently have a schedule to provide sanitary sewer service.**

(9). Is a Sewer System Concept Evaluation required? **No**

(10). Is a Use of Existing Infrastructure Agreement Required? **No**

UTILITY PLANNING APPROVAL:



John J. Ashman  
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.  
Jayne Dickerson  
No Permit Tech Assigned



CONDITIONAL USE APPLICATION  
Case No. 2194

# Imagination-Renovation, LLC



*You Imagine –  
We Create!  
Unique Furniture &  
Built-ins found only in  
your house Imagined by  
you and created  
by us*

David C. Hutt, Esquire  
Morris James LLP

Public Hearings:  
Planning Commission  
October 17, 2019  
County Council  
November 19, 2019

## **Table of Contents**

1. Application for Conditional Use
2. Title to Property:  
Deed: February 22, 2019, Deed Book 5019, Page 235
3. Sussex County Tax Maps (Parcels, Zoning and Aerial Overlay)
4. Imagination Renovation – Summary/Photos
5. Boundary Survey Plan
6. DelDOT Service Level Evaluation Letter

**TAB “1”**

# Planning & Zoning Commission Application Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

**Type of Application: (please check applicable)**

Conditional Use   
Zoning Map Amendment \_\_\_\_\_

**Site Address of Conditional Use/Zoning Map Amendment**

20601 Rust Road, Harbeson, DE 19966

**Type of Conditional Use Requested:**

Conditional Use for a Furniture Making and Repair Business

Tax Map #: 234-4.00-10.32 Size of Parcel(s): 5 acres

Current Zoning: AR-1 Proposed Zoning: CU Size of Building: 4500s.f.

Land Use Classification: Low Density Area

Water Provider: \_\_\_\_\_ Sewer Provider: \_\_\_\_\_

**Applicant Information**

Applicant Name: Imagination-Renovation, LLC

Applicant Address: 20601 Rust Road

City: Harbeson State: DE Zip Code: 19966

Phone #: (302) 934-9547 E-mail: renees@prestonmotors.com

**Owner Information**

Owner Name: Marsell R. Smith & Phillip G. Bortz

Owner Address: 20601 Rust Road

City: Harbeson State: DE Zip Code: 19966

Phone #: (302) 934-9547 E-mail: renees@prestonmotors.com

**Agent/Attorney/Engineer Information**

Agent/Attorney/Engineer Name: David C. Hutt, Esq.

Agent/Attorney/Engineer Address: 107 W. Market Street

City: Georgetown State: DE Zip Code: 19947

Phone #: (302) 856-0018 E-mail: dhutt@morrisjames.com



# Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

- Completed Application**
- Provide eight (8) copies of the Site Plan or Survey of the property**
  - Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
  - Provide a PDF of Plans (may be e-mailed to a staff member)
  - Deed or Legal description
- Provide Fee \$500.00**
- Optional - Additional information for the Commission/Council to consider** (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.
- Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.**
- DelDOT Service Level Evaluation Request Response**
- PLUS Response Letter** (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney



Date: 6/21/2019

Signature of Owner



Date: 6-13-19

For office use only:

Date Submitted: \_\_\_\_\_

Fee: \$500.00 Check #: \_\_\_\_\_

Staff accepting application: \_\_\_\_\_

Application & Case #: \_\_\_\_\_

Location of property: \_\_\_\_\_

Subdivision: \_\_\_\_\_

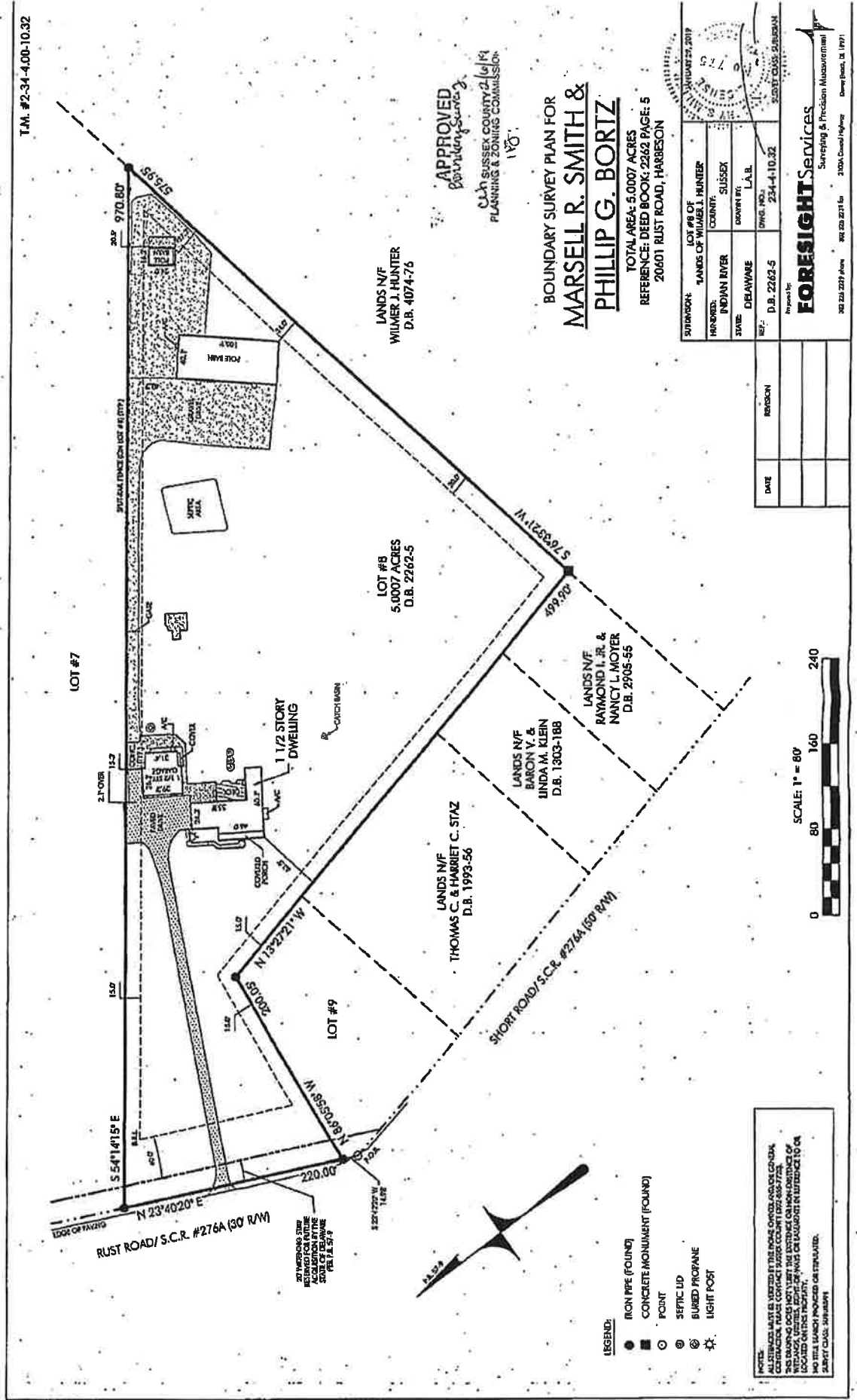
Date of PC Hearing: \_\_\_\_\_

Recommendation of PC Commission: \_\_\_\_\_

Date of CC Hearing: \_\_\_\_\_

Decision of CC: \_\_\_\_\_

T.M. #2-31-400-10.32



APPROVED  
 Planning & Zoning Commission  
 1/10/19

BOUNDARY SURVEY PLAN FOR  
**MARSELL R. SMITH &  
 PHILLIP G. BORTZ**

TOTAL AREA: 5.0007 ACRES  
 REFERENCE: DEED BOOK: 2262 PAGE: 5  
 20601 RUST ROAD, HARRISON

SUBJECT: LANDS OF WILMER J. HUNTER	LOT #8 OF
TOWNSHIP: INDIAN RIVER	COUNTY: SUSSEX
STATE: DELAWARE	DEPARTMENT: L.A.B.
DATE: D.B. 2262-5	OFFICE NO.: 234-4-10.32
Prepared by: <b>FORESIGHT Services</b> Surveying & Precision Measurement 303 237 2377 Ave 303 237 2371 Ex 2000 Coastal Hwy Dewey Beach, DE 19917	

NOTES:  
 ALL DIMENSIONS ARE LISTED BY THE POLAR COORDINATE METHOD UNLESS OTHERWISE SPECIFIED.  
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**TAB “2”**

TAX MAP #: 2-34 4.00 10.32  
PREPARED BY:  
Hudson Jones Jaywork & Fisher  
309 Rehoboth Avenue  
Rehoboth Beach, DE 19971  
File No. SMITH-P-19/CCM

RETURN TO:  
Marsell Renee Smith  
Phillip Bortz  
20601 Rust Road  
Harbeson, DE 19951

**THIS DEED**, made this 22nd day of February, 2019,

- BETWEEN -

**BRYAN A. WARE**, of 20601 Rust Road, Harbeson, DE 19951, party of the first part,

- AND -

**MARSELL RENEE SMITH** and **PHILLIP BORTZ**, of 20601 Rust Road, Harbeson, DE 19951, as tenants by the entirety, parties of the second part.

**WITNESSETH:** That the said party of the first part, for and in consideration of the sum of **TEN DOLLARS (\$10.00)**, lawful money of the United States of America and other good and valuable consideration, the receipt whereof is hereby acknowledged, hereby grants and conveys unto the parties of the second part, and their heirs and assigns, in fee simple, the following described lands, situate, lying and being in Sussex County, State of Delaware:

**ALL** that certain lot, piece and parcel of land lying and being on the Easterly side of #212A, in Indian River Hundred, Sussex County, Delaware, State of Delaware, and being all of Lot 8 identified on plot of lands of Wilmer J. Hunter, prepared by Miller Lewes, Inc, dated December 21, 1995, said plot being of record in the Office of the Recorder of Deeds, in and for Sussex County, Delaware in Plot Book 57, Page 9.

**BEING** the same property conveyed to Bryan A. Ware from Wilmer J. Hunter and Lucy M. Hunter, by Deed dated January 20, 1998, and recorded in the Office of the Recorder of Deeds in and for Sussex County, Delaware on January 23, 1998, in Deed Book 2262, Page 5.

**SUBJECT** to any and all restrictions, reservations, conditions, easements and agreements of record in the Office of the Recorder of Deeds in and for Sussex County, Delaware.



IN WITNESS WHEREOF, the party of the first part has hereunto set his hand and seal the day and year first above written.

Signed, Sealed and Delivered  
in the presence of:

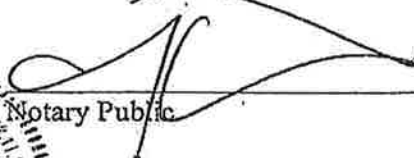
 (SEAL)  
Bryan A. Ware

STATE OF DELAWARE, COUNTY OF SUSSEX: to-wit

BE IT REMEMBERED, that on February 22, 2019, personally came before me, the subscriber, Bryan A. Ware, party of the first part to this Indenture, known to me personally to be such, and acknowledged this Indenture to be his act and deed.

GIVEN under my Hand and Seal of Office the day and year aforesaid.



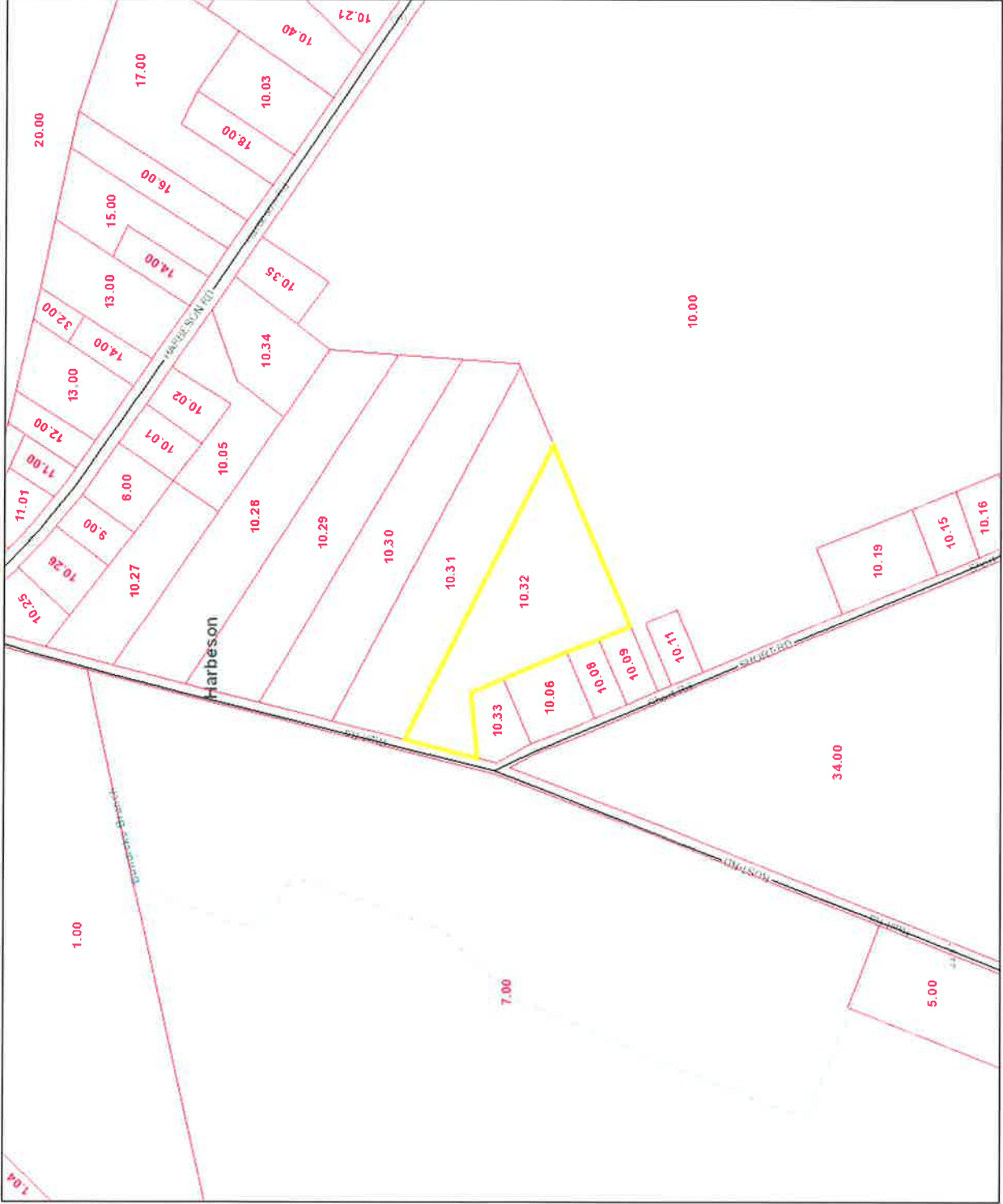
  
Notary Public

My Commission Expires: N/A

**TAB “3”**

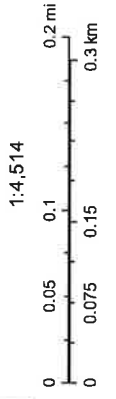


# Sussex County



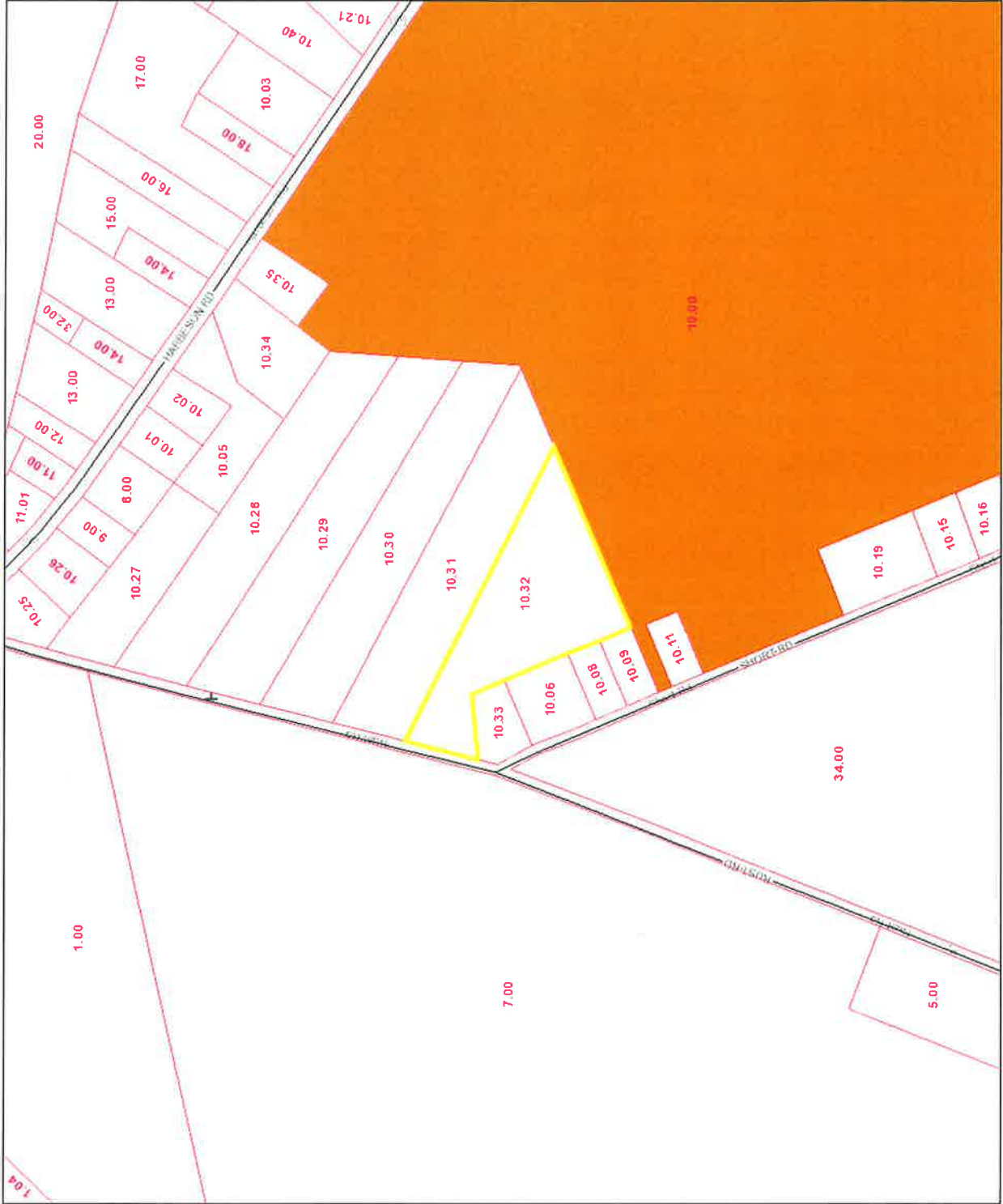
PIN:	234-4.00-10.32
Owner Name	SMITH RENEE
Owner Name	MARSELL
Book	5019
Mailing Address	20601 RUST RD
City	HARBESON
State	DE
Description	N S/RT 5
Description 2	E/RT 296A
Description 3	LOT 8
Land Code	

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Override 1
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- County Boundaries



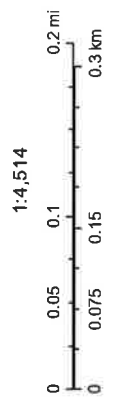


# Sussex County



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<b>Owner Name</b>	SMITH MARSELL RENEE
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<b>Description 1</b>	N S/RT 5
<b>Description 2</b>	ERT 296A
<b>Description 3</b>	LOT 8
<b>Land Code</b>	

- polygonLayer**
  - Override 1
- polygonLayer**
  - Override 1
- Zoning**
  - Agricultural Residential - AR-1
  - Agricultural Residential - AR-2
  - Medium Residential - MR
  - General Residential - GR
  - High Density Residential - HR-1
  - High Density Residential - HR-2
  - Vacation, Relns, Resident - VRP
  - Neighborhood Business - B-1
  - General Commercial - C-1
  - Commercial Residential - CR-1
  - Mairie - M
  - Limited Industrial - LI-1
  - Limited Industrial - LI-2
  - Heavy Industrial - HI-1
- Other Symbols**
  - Tax Parcels
  - Streets



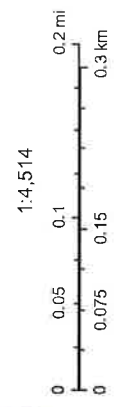


# Sussex County



<b>PIN:</b>	234-4.00-10.32
<b>Owner Name</b>	SMITH MARSELL RENEE
<b>Book</b>	5019
<b>Mailing Address</b>	20601 RUST RD
<b>City</b>	HARBESON
<b>State</b>	DE
<b>Description 1</b>	N S/RT 5
<b>Description 2</b>	E/RT 296A
<b>Description 3</b>	LOT 8
<b>Land Code</b>	

- polygonLayer  
Override 1
- polygonLayer  
Override 1
- Tax Parcels
- Subdivisions



**TAB “4”**

## ***About Imagination-Renovation, LLC***

**Imagination Renovation began as a dream 20 years ago in a one car garage in Oceanport, NJ. The dream took form in 2002 when then known as Imagination Furniture moved from NJ, to Dagsboro, DE in 2004. It all began with an 800 sq. ft. shop. In 2013 "IF" moved to a 1250 sq.ft shop at 30980 Country Gardens, Unit Q1, Dagsboro. In less than 6 months so many others dreams and imaginative ideas caused a crisis we ran out of room. Imagination Furniture moved next door to unit Q2 September 2014 where it currently operates. Its new location has almost 3000 sq. ft of usable space, a state of the art spray booth for finishing and a 1500 sq.ft. production area. "IF" continued to grow. We continued to grow mid- 2018 with the addition of Phillip Bortz and his expertise "IF" became Imagination Renovation the name has changed, The company has changed but the dedication to meet the need that mass produced cannot deliver. Each and every project is created one at a time.**

**As stated the movie "Field of Dreams" if you build it they will come. Imagination Furniture's fame for building Unique, superior products has led to phenomenal growth. If you have been looking for a truly "custom," and "One of a kind," piece you will eventually come to Imagination Furniture. You will not see a Catalog or a Showroom you will simply get exactly what you want that is not available anywhere else.**

**"Made at the Shore - Not Offshore!"**









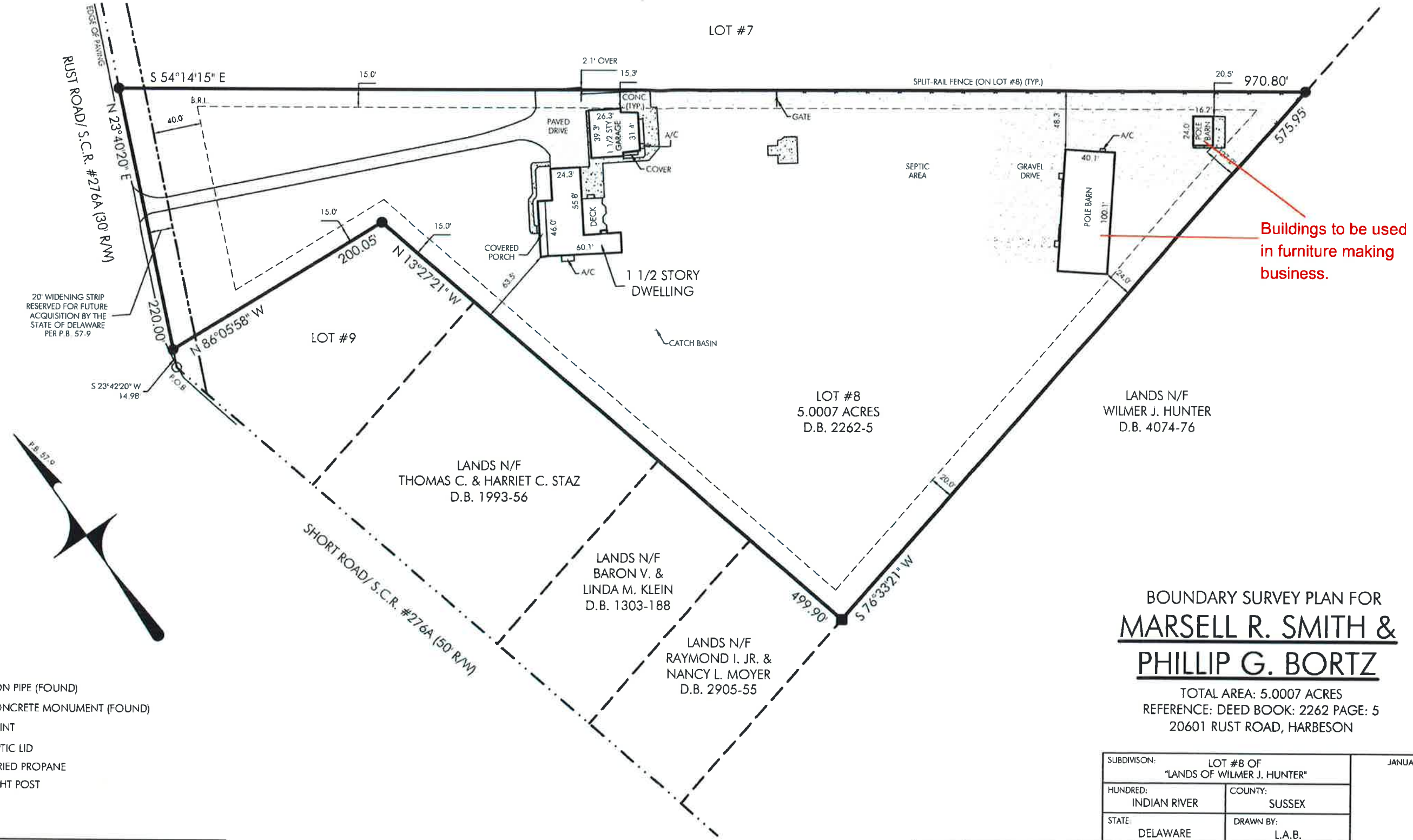




02/11/2015



**TAB “5”**



Buildings to be used in furniture making business.

BOUNDARY SURVEY PLAN FOR  
**MARSELL R. SMITH &  
 PHILLIP G. BORTZ**

TOTAL AREA: 5.0007 ACRES  
 REFERENCE: DEED BOOK: 2262 PAGE: 5  
 20601 RUST ROAD, HARBESON

SUBDIVISION: LOT #8 OF "LANDS OF WILMER J. HUNTER"		JANUARY 29, 2019
HUNDRED: INDIAN RIVER	COUNTY: SUSSEX	
STATE: DELAWARE	DRAWN BY: L.A.B.	
REF.: D.B. 2262-5	DWG. NO.: 234-4-10.32	
		SURVEY CLASS: SUBURBAN

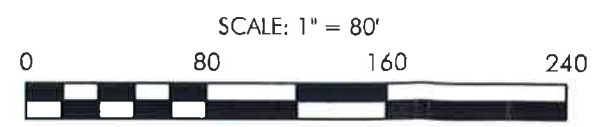
DATE	REVISION

Prepared by  
**FORESIGHT Services**  
 Surveying & Precision Measurement

302 226 2229 phone 302 226 2239 fax 2103A Coastal Highway Dewey Beach, DE 19971

- LEGEND:
- IRON PIPE (FOUND)
  - CONCRETE MONUMENT (FOUND)
  - POINT
  - SEPTIC LID
  - ⊗ BURIED PROPANE
  - ⊙ LIGHT POST

NOTES:  
 ALL SETBACKS MUST BE VERIFIED BY THE HOME OWNER AND/OR GENERAL CONTRACTOR. PLEASE CONTACT SUSSEX COUNTY (302-855-7720)  
 THIS DRAWING DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF WETLANDS, UTILITIES, RIGHT-OF-WAYS OR EASEMENTS IN REFERENCE TO OR LOCATED ON THIS PROPERTY.  
 NO TITLE SEARCH PROVIDED OR STIPULATED  
 SURVEY CLASS: SUBURBAN



**TAB “6”**





STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. Box 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

April 5, 2019

Ms. Janelle Cornwell, Director  
Sussex County Planning & Zoning  
P.O. Box 417  
Georgetown, DE 19947

Dear Ms. Cornwell:

The Department has completed its review of a Service Level Evaluation Request for the **Imagination – Renovation, LLC** conditional use application, which we received on March 8, 2019. This application is for a 5.00-acre parcel (Tax Parcel: 234-4.00-10.32). The subject land is located on the east side of Rust Road (Sussex Road 292A), approximately 80 feet northeast of the intersection of Rust Road and Short Road (Sussex Road 296A). The subject land is currently zoned AR-1 (Agricultural Residential), and the applicant is seeking a conditional use approval to operate approximately 4,500 feet of pole building space.

Per the 2017 Delaware Vehicle Volume Summary, the annual average daily traffic volume along the segment of Rust Road where the subject land is located, which is from Anderson Corner Road (Sussex Road 292) to Delaware Route 5, is 400 vehicles per day.

Based on our review, we estimate that the above land uses will generate fewer than 50 vehicle trips in any hour and fewer than 500 vehicle trips per day. These numbers of trips are DelDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. Because the proposed land use would not meet these warrants, we consider the development's traffic impact to be negligible in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DelDOT's description of this application as negligible with regard to warranting a TIS does not mean that it is negligible in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.



Ms. Janelle M. Cornwell  
Page 2 of 2  
April 5, 2019

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.  
County Coordinator  
Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues  
Imagination – Renovation, LLC, Applicant  
J. Marc Coté, Assistant Director, Development Coordination  
Gemez Norwood, South District Public Works Manager, Maintenance and  
Operations  
Susanne Laws, Sussex County Subdivision Coordinator, Development Coordination  
Derek Sapp, Subdivision Manager, Development Coordination  
Kevin Hickman, Subdivision Manager, Development Coordination  
Brian Yates, Subdivision Manager, Development Coordination  
John Andrescavage, Subdivision Manager, Development Coordination  
Troy Brestel, Project Engineer, Development Coordination  
Claudy Joinville, Project Engineer, Development Coordination

**PLANNING & ZONING COMMISSION**

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE-CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY J. WINGATE



**Sussex County**

DELAWARE  
sussexcountyde.gov  
302-855-7878 T  
302-854-5079 F  
JANELLE CORNWELL, AICP  
DIRECTOR

**PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET**  
Planning Commission Public Hearing Date: October 17, 2019

Application: CZ 1893 Lisa Horsey

Applicant: Lisa Horsey  
14819 Sycamore Rd.  
Laurel, DE 19956

Owner: LBG Homes, LLC  
14819 Sycamore Rd.  
Laurel, DE 19956

Site Location: 28537 Sussex Hwy. Northeast corner of Sussex Hwy. and Boyce Rd.

Current Zoning: AR-1 (Agricultural Residential District)

Proposed Zoning: C-2 (Medium Commercial District)

Comprehensive Land Use Plan Reference: Commercial Area

Councilmatic District: Mr. Vincent

School District: Laurel School District

Fire District: Laurel Fire District

Sewer: Private, On-Site

Water: Private, On-Site

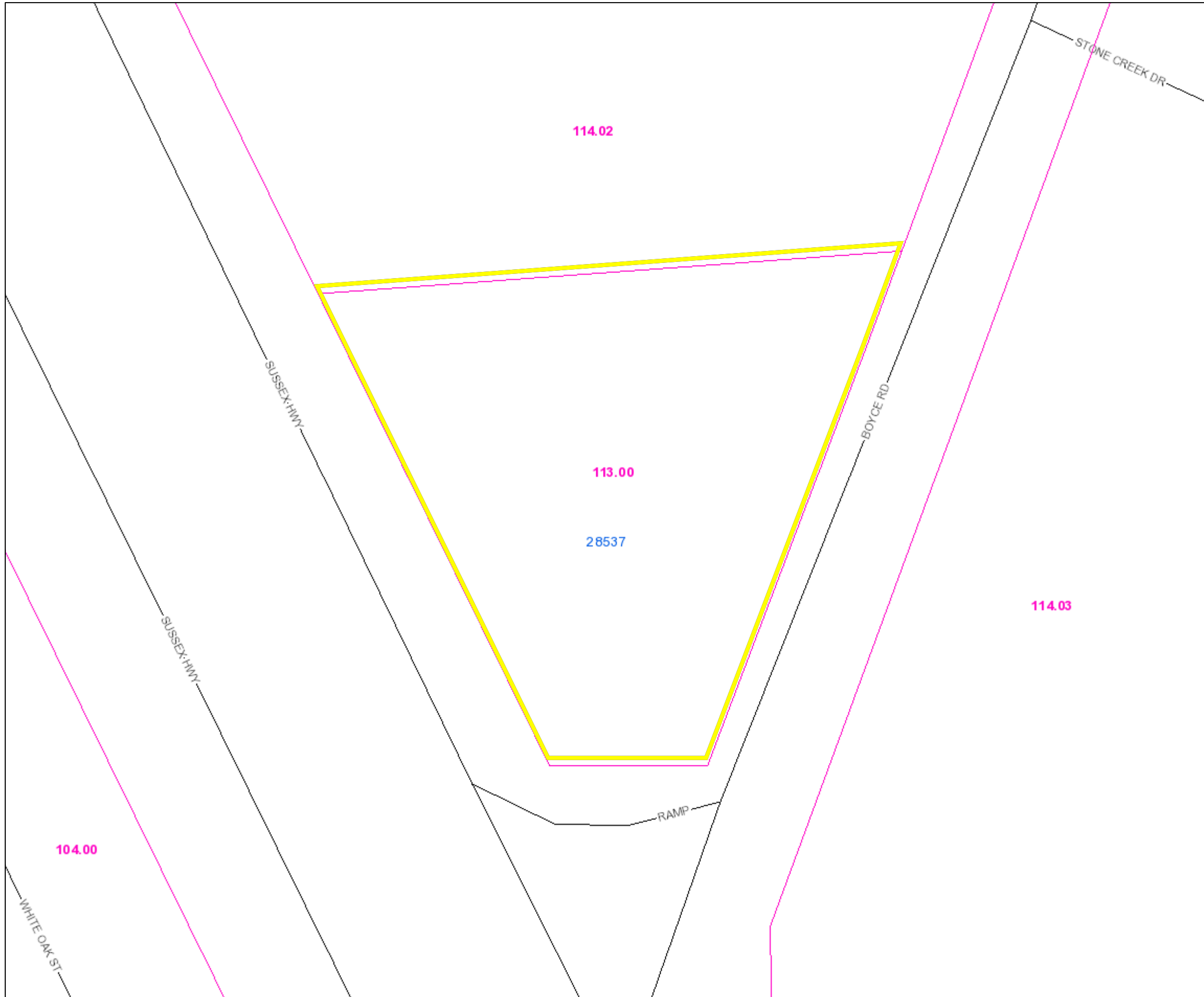
Site Area: 0.474 acres +/-

Tax Map ID.: 132-12.00-113.00





# Sussex County



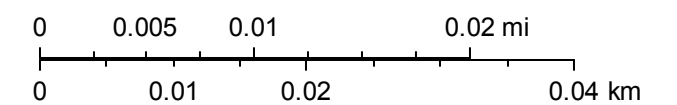
<b>PIN:</b>	132-12.00-113.00
<b>Owner Name</b>	LBG HOMES LLC
<b>Book</b>	5047
<b>Mailing Address</b>	14819 SYCAMORE RD
<b>City</b>	LAUREL
<b>State</b>	DE
<b>Description</b>	E/S RT 13
<b>Description 2</b>	W/S RD 482
<b>Description 3</b>	N/A
<b>Land Code</b>	

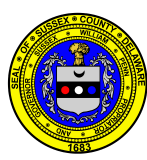
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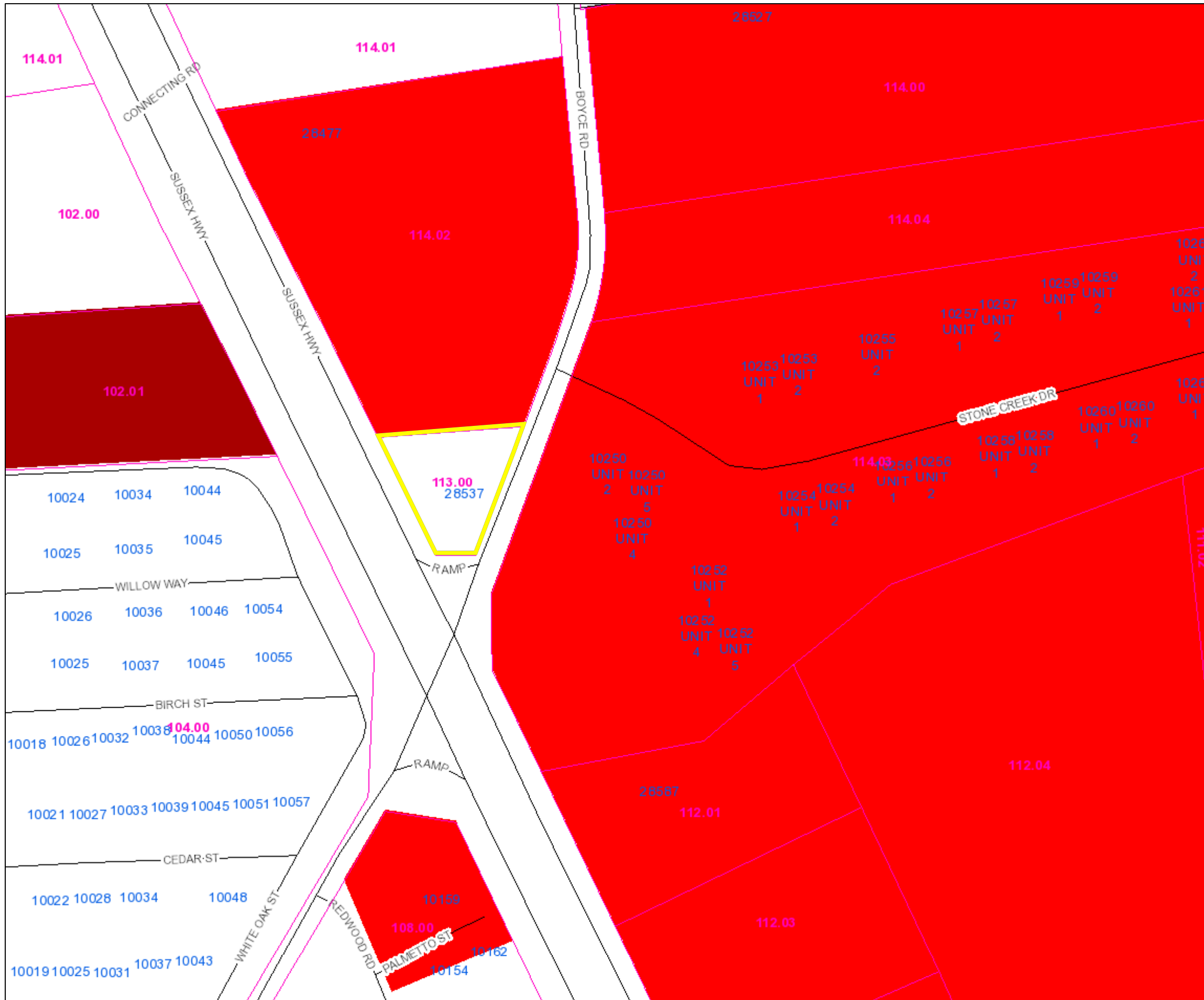
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- Tax Parcels
- 911 Address
- Streets
- County Boundaries

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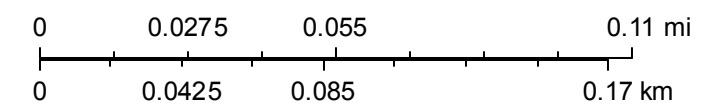
# Sussex County

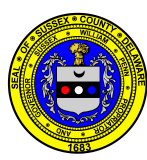


<b>PIN:</b>	132-12.00-113.00
<b>Owner Name</b>	LBG HOMES LLC
<b>Book</b>	5047
<b>Mailing Address</b>	14819 SYCAMORE RD
<b>City</b>	LAUREL
<b>State</b>	DE
<b>Description</b>	E/S RT 13
<b>Description 2</b>	W/S RD 482
<b>Description 3</b>	N/A
<b>Land Code</b>	

- |                     |             |
|---------------------|-------------|
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| <b>polygonLayer</b> | Override 1  |
|                     | Tax Parcels |
|                     | 911 Address |
|                     | Streets     |

1:2,257









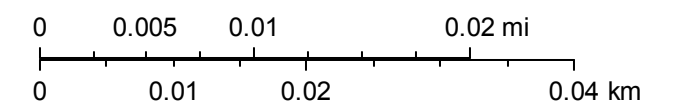
# Sussex County



<b>PIN:</b>	132-12.00-113.00
<b>Owner Name</b>	LBG HOMES LLC
<b>Book</b>	5047
<b>Mailing Address</b>	14819 SYCAMORE RD
<b>City</b>	LAUREL
<b>State</b>	DE
<b>Description</b>	E/S RT 13
<b>Description 2</b>	W/S RD 482
<b>Description 3</b>	N/A
<b>Land Code</b>	

- polygonLayer**
- Override 1
- polygonLayer**
- Override 1
-  Tax Parcels
-  911 Address
-  Streets
-  County Boundaries

1:564



## PLANNING & ZONING

JANELLE M. CORNWELL, AICP  
DIRECTOR

(302) 855-7878 T  
(302) 854-5079 F



# Sussex County

DELAWARE  
sussexcountype.gov

## Memorandum

To: Sussex County Planning Commission Members  
From: Lauren DeVore, Planner III  
CC: Vince Robertson, Assistant County Attorney and applicant  
Date: September 13, 2019  
RE: Staff Analysis for CZ 1893 Lisa Horsey

---

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CZ 1893 Lisa Horsey to be reviewed during the October 17, 2019 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Change of Zone for parcel 132-12.00-113.00 to facilitate a change from the Agricultural Residential (AR-1) Zoning District to a Medium Commercial (C-2) District to be located at 28537 Sussex Highway in Laurel, Delaware. The size of the property is 0.474 acres +/-.

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the property has the land use designation of Commercial Areas.

The surrounding land uses to the north and east (across from Boyce Road) are designated on the Future Land Use Map as "Commercial Areas." The adjacent parcels to the west and south of the subject parcel are designated "Commercial Areas" and "Low Density Areas." Low Density Areas primarily recognize businesses that support agricultural activities and the development of single-family homes. The focus of retail and office uses in Low Density Areas should be providing convenience goods and services to nearby residents.

Commercial Areas include concentrations of retail and service uses, commercial corridors, shopping centers, hotels, motels, car washes and auto dealers. This includes other medium and larger scale commercial uses as well as mixed-use buildings.

Table 4.5-2 "Zoning Districts Applicable to Future Land Use Categories" of the 2018 Sussex County Comprehensive Plan states that the Medium Commercial District (C-2) may be appropriate in "Low Density" Areas. Additionally, the Medium Commercial District (C-2) Zoning is appropriate in Commercial Areas.

The property is zoned AR-1 (Agricultural Residential District.) The property directly to the north of the subject parcel is zoned General Commercial (C-1). Properties to the east along Boyce Road are also zoned General Commercial (C-1). The properties across Route 13 (Sussex Highway) to the west are largely zoned Agricultural Residential (AR-1) with one parcel being zoned Commercial Residential (CR-1).

There are two Change of Zone applications in the vicinity. To the west, C/Z 1847 which was approved for a change from Agricultural Residential (AR-1) Zoning to Commercial Residential (CR-1) Zoning



on April 17, 2018, and to the south, C/Z 1772 to was approved for a change from Agricultural Residential (AR-1) Zoning to Commercial Residential (CR-1) Zoning on June 30, 2015.

Based on the analysis of the land use, surrounding zoning and uses, the change of zone to allow for a property zoned Medium Commercial (C-2) in this location could be considered consistent with the surrounding land use, area zoning, and uses.





STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

May 22, 2019

Ms. Janelle Cornwell, Director  
Sussex County Planning & Zoning  
P.O. Box 417  
Georgetown, DE 19947

Dear Ms. Cornwell:

The Department has completed its review of a Service Level Evaluation Request for the **LBG Homes, LLC** rezoning application, which we received on April 25, 2019. This application is for a 0.55-acre parcel (Tax Parcel: 132-12.00-113.00). The subject land is located on the northeast corner of the intersection of US Route 13 and Boyce Road (Sussex Road 482), northeast of the Town of Laurel. The subject land is currently zoned AR-1 (Agricultural Residential), and the applicant is seeking to rezone the land to C-2 (Medium Commercial) to continue operating the existing facility.

Per the 2018 Delaware Vehicle Volume Summary, the annual average daily traffic volume along the segment of US Route 13 where the subject land is located, which is from US Route 9 to Delaware Route 20, is 23,871 vehicles per day. As the subject land also has frontage along Boyce Road, the annual average daily traffic volume along that road segment, which is from Camp Road (Sussex Road 470) to US Route 13, is 1,368 vehicles per day.

Our volume-based criteria for requiring a traffic impact study (TIS), addressed in Section 2.2.2.1 of the Development Coordination Manual, are that a development generates more than 500 trips per day or 50 trips during a weekly peak hour. While it seems that the above criteria could be met if the use were to change under the new zoning, we presently cannot predict the site's trip generation with enough accuracy to make a TIS useful. Thus, we recommend that this rezoning application be considered without a TIS and that the need for a TIS be evaluated when a subdivision or land development plan is proposed.

The subject property is adjacent to US Route 13, thereby is subject to the Department's Corridor Capacity Preservation Program. The main goal of the Program is to maintain the capacity of the existing highway by minimizing the number of direct driveway access points on the arterial highway. The Program was established in accordance with the provisions of Title 17, Section 145 of the Delaware Code. According to the Office of State Planning, *Strategies for State Policies and Spending document*, the property is located



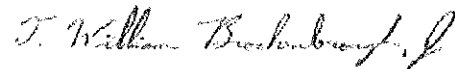
Ms. Janelle M. Cornwell  
Page 2 of 2  
May 22, 2019

within a Level 4 Investment Area. In this Investment Area, State policies encourage the preservation of a rural lifestyle and discourage new development. According to Program policy, no new or expanded direct access to the corridor will be permitted in a Level 4 Investment Area. Therefore, the property owner can retain access for a development that produces a similar vehicular trip generation as compared to the site's current use. If the property owner exceeds the site's existing vehicular trip generation, then all site access will be routed to the secondary road and direct access to the corridor will not be permitted. Additionally, a roadway interconnection with the adjacent parcel would be desirable for the site's traffic circulation. The Corridor Capacity Preservation Program policy can be viewed on Department's website at [www.deldot.gov](http://www.deldot.gov).

If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence or Mr. Thomas Felice, at (302) 760-2338, if you have questions concerning the Corridor Capacity Preservation Program.

Sincerely,



T. William Brockenbrough, Jr.  
County Coordinator  
Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues  
LBG Homes, Applicant  
J. Marc Coté, Assistant Director, Development Coordination  
Thomas Felice, Corridor Capacity Preservation Program Manager, Development  
Coordination  
Gemez Norwood, South District Public Works Manager, Maintenance & Operations  
Susanne K. Laws, Sussex County Review Coordinator, Development Coordination  
Derek Sapp, Subdivision Manager, Development Coordination  
Brian Yates, Subdivision Manager, Development Coordination  
John Andrescavage, Subdivision Manager, Development Coordination  
Kevin Hickman, Subdivision Manager, Development Coordination  
Troy Brestel, Project Engineer, Development Coordination  
Claudy Joinville, Project Engineer, Development Coordination



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

May 22, 2019

Ms. Janelle Cornwell, Director  
Sussex County Planning & Zoning  
P.O. Box 417  
Georgetown, DE 19947

Dear Ms. Cornwell:

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Per the 2018 Delaware Vehicle Volume Summary, the annual average daily traffic volume along the segment of US Route 13 where the subject land is located, which is from US Route 9 to Delaware Route 20, is 23,871 vehicles per day. As the subject land also has frontage along Boyce Road, the annual average daily traffic volume along that road segment, which is from Camp Road (Sussex Road 470) to US Route 13, is 1,368 vehicles per day.

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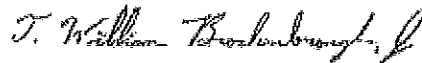
Ms. Janelle M. Cornwell  
Page 2 of 2  
May 22, 2019

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If the County approves this application, the applicant should be reminded that DeIDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.

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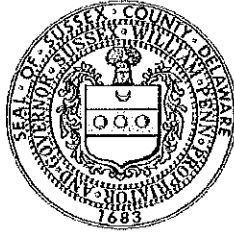


T. William Brockenbrough, Jr.  
County Coordinator  
Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues  
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Troy Brestel, Project Engineer, Development Coordination  
Claudy Joinville, Project Engineer, Development Coordination

**PLANNING & ZONING**  
JANELLE M. CORNWELL, AICP  
DIRECTOR  
(302) 855-7878 T  
(302) 854-5079 F



**Sussex County**  
DELAWARE  
sussexcountyde.gov

## Service Level Evaluation Request Form

This form **shall** be submitted to the Planning and Zoning Office and a response **shall** be received back from DelDOT prior to the applicant being able to submit an application to the Planning and Zoning Office.

Date: 4/11/19

### Site Information:

Site Address/Location: 28537 Sussex Hwy, Laurel, DE 19956

Tax Parcel Number: 132-12.00-113.00

Current Zoning: AR-1

Proposed Zoning: C-2

Land Use Classification: Highway Commercial

Proposed Use(s): Commercial

Square footage of any proposed buildings or number of units: Existing

### Applicant Information:

Applicant's Name: LBG Homes, LLC

Applicant's Address: 26750 John J. Williams Hwy

City: Millsboro State: DE Zip Code: 19966

Applicant's Phone Number: (302) 841-9765

Applicant's e-mail address: delawaredemolition@gmail.com

LEFT MESSAGE  
2:09 pm  
5/23/2019



COUNTY ADMINISTRATIVE OFFICES  
2 THE CIRCLE I PO BOX 417  
GEORGETOWN, DELAWARE 19947

Last updated 7-27-18

**SUSSEX COUNTY ENGINEERING DEPARTMENT**  
**UTILITY PLANNING DIVISION**  
**C/U & C/Z COMMENTS**

TO: **Janelle Cornwell**

REVIEWER: **Chris Calio**

DATE: **10/4/2019**

APPLICATION: **CZ 1893 Lisa Horsey**

APPLICANT: **Lisa Horsey**

FILE NO: **WSPA-5.02**

TAX MAP &  
PARCEL(S): **132-12.00-113.00**

LOCATION: **28537 Sussex Hw. (US 13). Northwest corner of Sussex Hwy.  
and Boyce Road.**

NO. OF UNITS: **Upzone from AR-1 to C-2**

GROSS  
ACREAGE: **0.474 acres.**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

**SEWER:**

(1). Is the project in a County operated and maintained sanitary sewer and/or water district?

Yes

No

a. If yes, see question (2).

b. If no, see question (7).

(2). Which County Tier Area is project in? **Tier 3**

(3). Is wastewater capacity available for the project? **N/A** If not, what capacity is available? **N/A**.

(4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.

(5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **No** If yes, the current System Connection Charge Rate is **Click or tap to enter a fee** per EDU. Please contact **N/A** at **302-855-7719** for additional information on charges.

(6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **No**

Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.

(7). Is project adjacent to the Unified Sewer District? **No**

(8). Comments: **The proposed Change of Zone is in an area where the Sussex County Engineering Department does not currently have a schedule to provide sanitary sewer service.**

(9). Is a Sewer System Concept Evaluation required? **No**

(10). Is a Use of Existing Infrastructure Agreement Required? **No**

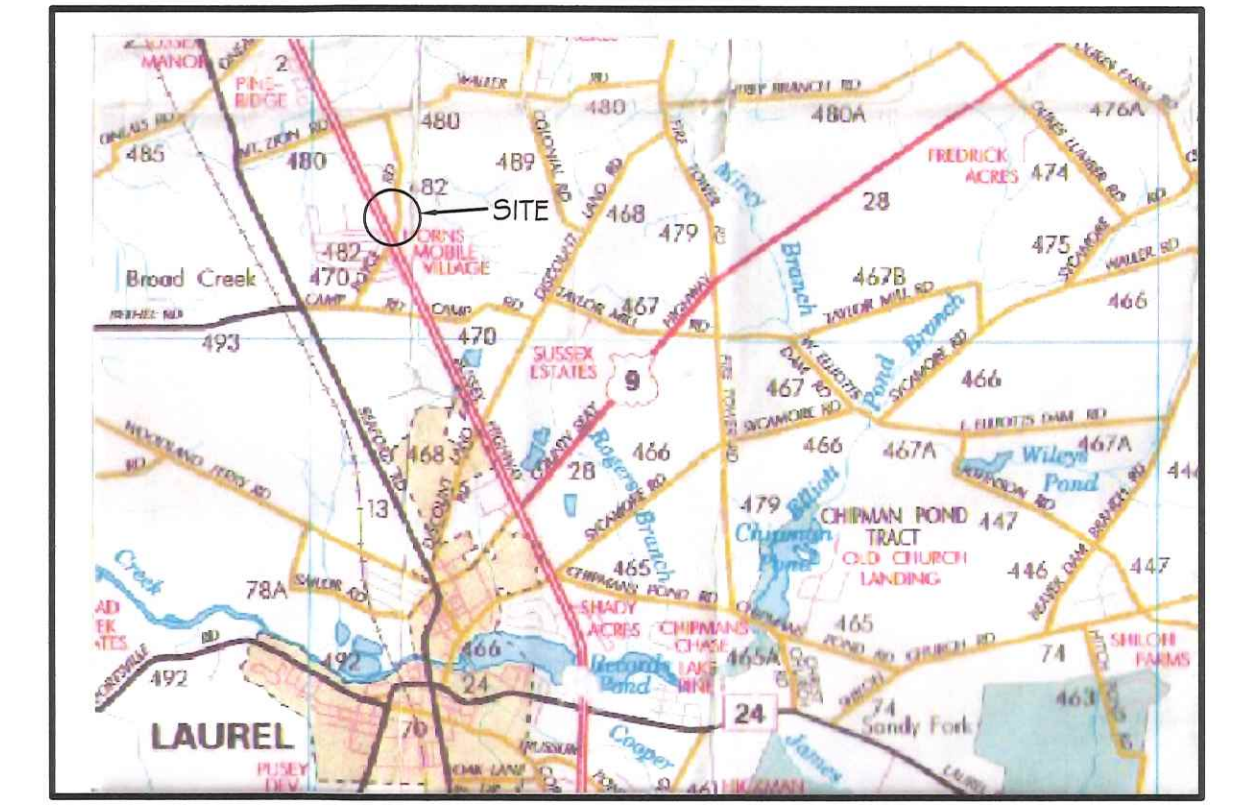
UTILITY PLANNING APPROVAL:



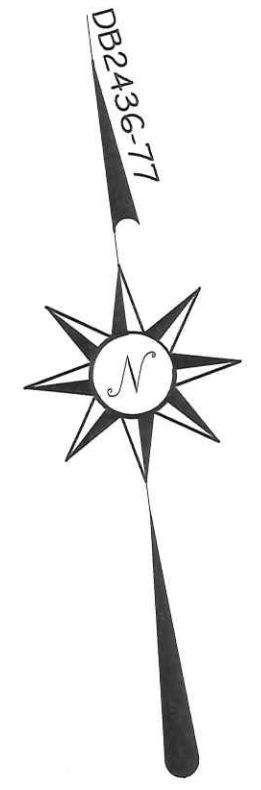
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John J. Ashman  
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.  
Jayne Dickerson  
No Permit Tech Assigned



VICINITY MAP  
SCALE 1" = 1 MILE



LANDS N/F  
S.C.S. HW LLC.  
DB 2390-169  
ZONING: C-1

LANDS N/F  
STONE CREEK PROPERTIES  
DB 3588-14  
ZONING: C-1

LEGEND:

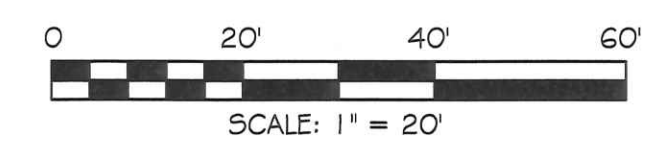
- △ P.K. NAIL (FOUND)
- IRON PIPE (FOUND)
- UTILITY POLE
- EXISTING RIGHT-OF-WAY LINE
- ==== PROPOSED RIGHT-OF-WAY LINE
- ==== PROPERTY LINE
- CENTERLINE
- NEXT PROPERTY LINE
- - - DITCH LINE

**OWNERS CERTIFICATION:**  
I, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

OWNER NAME \_\_\_\_\_ DATE \_\_\_\_\_

I, DONALD K. MILLER REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

*Donald K. Miller*  
DONALD K. MILLER, PLS 407  
5/15/19  
DATE



DATE	REVISION

**MILLER LEWIS, INC.**  
LAND SURVEYING  
1560 MIDDLEFORD RD.  
SEAFORD, DELAWARE 19973  
PH: 302-629-9895 FAX: 302-629-2391



HUNDRED	COUNTY
BROAD CREEK	SUSSEX
STATE	DRAWN BY
DELAWARE	D.K. MILLER
REF.	FILE
D.B. 5047-193	BAYSIDE 1-32-12-113

CHANGE OF ZONING REQUEST FOR  
**LBG HOMES LLC**

28537 SUSSEX HWY., LAUREL, DE 19956

DATA COLUMN:

T.M.# 132-12.00-113.00  
ZONING: AR-1  
TRACT AREA: 0.474 ACRE  
PRESENT USE: RETAIL SEAFOOD STORE  
PROPOSED USE: RETAIL BUSINESS  
ACCESS: S.C.R. 402 (BOYCE ROAD)  
U.S. 13 (SUSSEX HIGHWAY)  
ROADWAY CLASSIFICATION: 402 - LOCAL ROADWAY  
13 - PRINCIPLE ARTERIAL  
WATER AND SEWER: INDIVIDUAL ON-SITE  
100 YEAR FLOODPLAIN: SITE IS NOT IMPACTED  
AS PER FIRM #10005C0404L DATED 6/20/18  
THIS PROJECT IS NOT IN THE PROXIMITY OF A TID  
SPEED LIMIT: U.S. 13 - 55 MPH, 402 - 50 MPH

THIS SURVEY AND PLAN DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHTS-OF-WAY OR EASEMENTS CROSSING THIS PROPERTY.  
NO TITLE SEARCH PROVIDED OR STIPULATED.  
SURVEY CLASS: SUBURBAN



**PLANNING & ZONING COMMISSION**

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE-CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY J. WINGATE



**Sussex County**

DELAWARE  
sussexcountyde.gov  
302-855-7878 T  
302-854-5079 F  
JANELLE CORNWELL, AICP  
DIRECTOR

**PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET**

Planning Commission Public Hearing Date: October 17, 2019

Application: CZ 1894 Howard Pepper Jr.

Applicant: Howard Pepper Jr.  
36337 DuPont Blvd.  
Selbyville, DE 19975

Owner: Pepper Family Farm, LLC  
P.O. Box 102  
Selbyville, DE 19975

Site Location: 35029 DuPont Blvd. East side of DuPont Blvd., approximately 0.38  
mile south of Lazy Lagoon Rd.

Current Zoning: AR-1 (Agricultural Residential District)

Proposed Zoning: C-3 (Heavy Commercial District)

Comprehensive Land  
Use Plan Reference: Commercial Area

Councilmatic  
District: Mr. Rieley

School District: Indian River School District

Fire District: Frankford Fire District

Sewer: Private, On-Site

Water: Private, On-Site

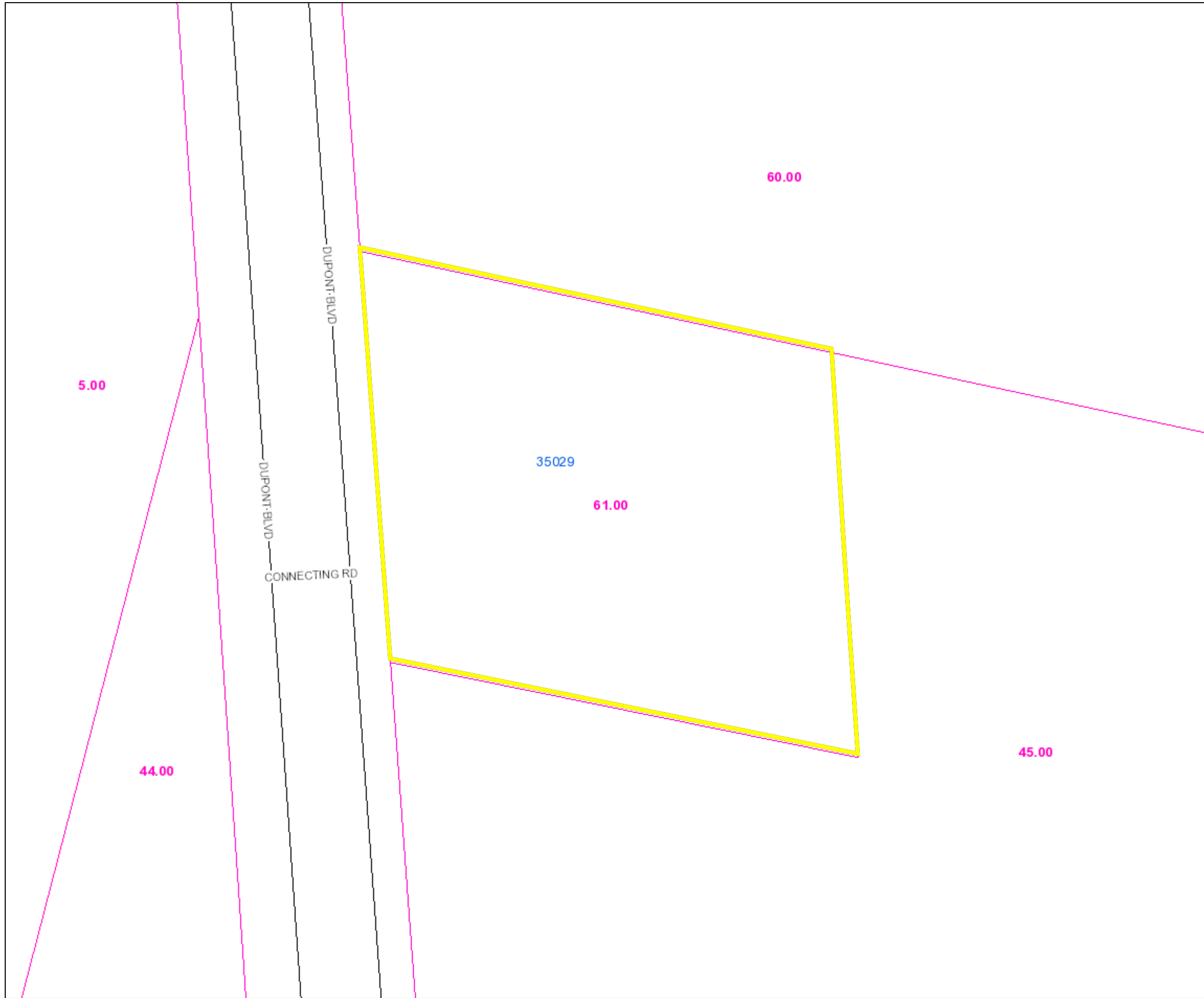
Site Area: 2.368 acres +/-

Tax Map ID.: 533-4.00-61.00





# Sussex County



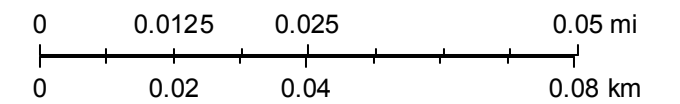
<b>PIN:</b>	533-4.00-61.00	
<b>Owner Name</b>	PEPPER FARM LLC	FAMILY
<b>Book</b>	3993	
<b>Mailing Address</b>	PO BOX 102	
<b>City</b>	SELBYVILLE	
<b>State</b>	DE	
<b>Description</b>	E/RT 113	
<b>Description 2</b>	W/PENN CENTRAL	
<b>Description 3</b>	OUTLOT 1	
<b>Land Code</b>		

- polygonLayer**

  - Override 1
- polygonLayer**

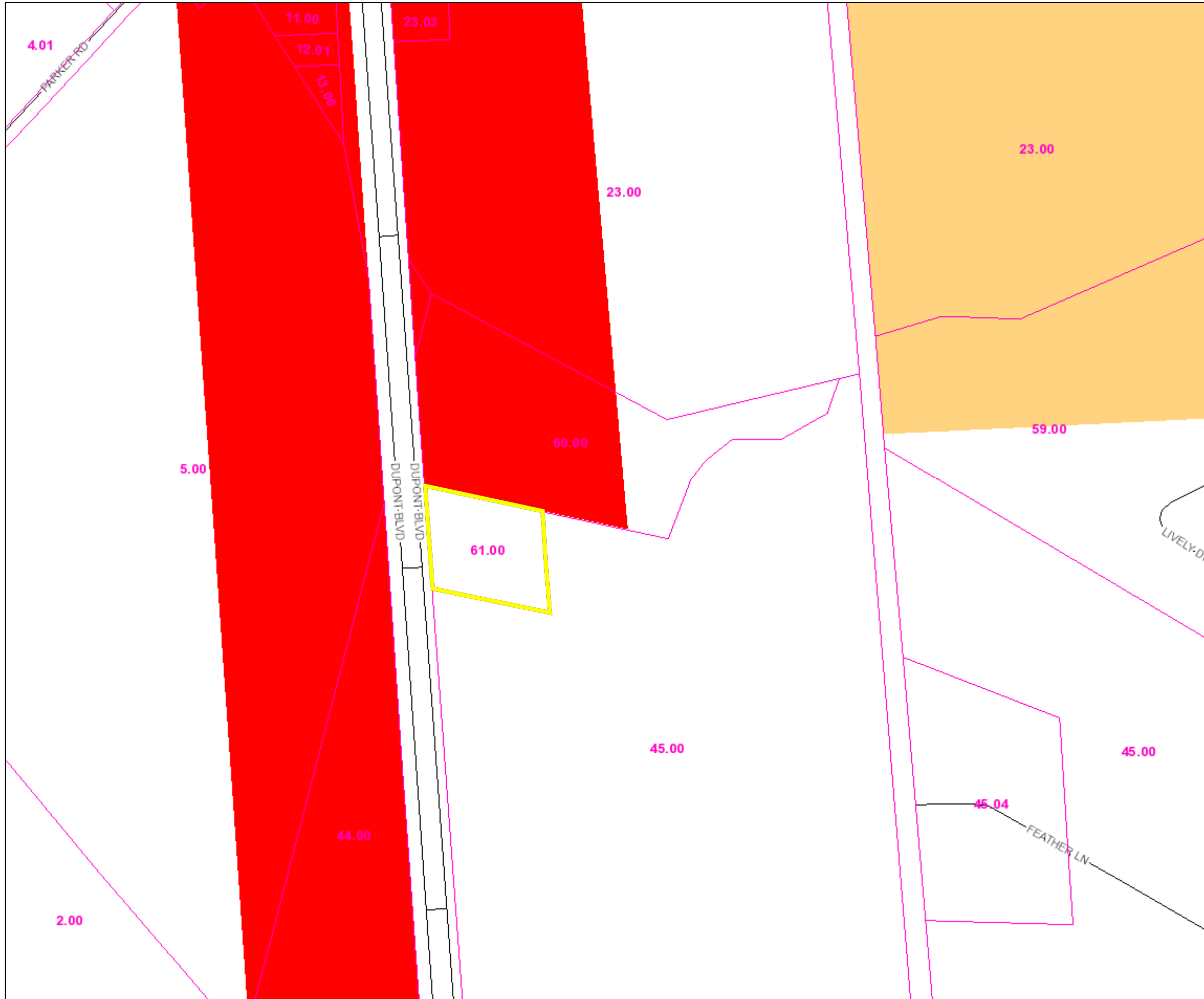
  - Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries

1:1,128





# Sussex County



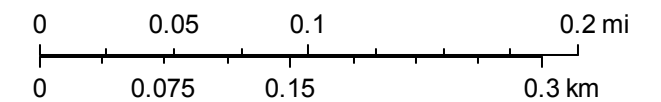
<b>PIN:</b>	533-4.00-61.00	
<b>Owner Name</b>	PEPPER FARM LLC	FAMILY
<b>Book</b>	3993	
<b>Mailing Address</b>	PO BOX 102	
<b>City</b>	SELBYVILLE	
<b>State</b>	DE	
<b>Description</b>	E/RT 113	
<b>Description 2</b>	W/PENN CENTRAL	
<b>Description 3</b>	OUTLOT 1	
<b>Land Code</b>		

- polygonLayer**

  - Override 1
- polygonLayer**

  - Override 1
- Tax Parcels
- Streets

1:4,514









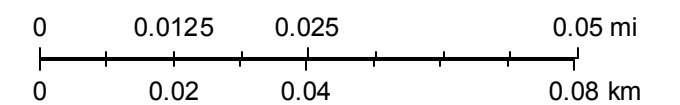
# Sussex County



<b>PIN:</b>	533-4.00-61.00	
<b>Owner Name</b>	PEPPER FARM LLC	FAMILY
<b>Book</b>	3993	
<b>Mailing Address</b>	PO BOX 102	
<b>City</b>	SELBYVILLE	
<b>State</b>	DE	
<b>Description</b>	E/RT 113	
<b>Description 2</b>	W/PENN CENTRAL	
<b>Description 3</b>	OUTLOT 1	
<b>Land Code</b>		

- polygonLayer**
  - Override 1
- polygonLayer**
  - Override 1
-  Tax Parcels
-  911 Address
-  Streets
-  County Boundaries

1:1,128



## PLANNING & ZONING

JANELLE M. CORNWELL, AICP  
DIRECTOR

(302) 855-7878 T  
(302) 854-5079 F



# Sussex County

DELAWARE  
sussexcountyde.gov

## Memorandum

To: Sussex County Planning Commission Members  
From: Lauren DeVore, Planner III  
CC: Vince Robertson, Assistant County Attorney and applicant  
Date: October 9, 2019  
RE: Staff Analysis for CZ 1894 Howard Pepper Jr.

---

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CZ 1894 Howard Pepper Jr. to be reviewed during the October 17, 2019 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Change of Zone for parcel 533-4.00-61.00 to facilitate a change from the Agricultural Residential (AR-1) Zoning District to a Heavy Commercial (C-3) District to be located at 35029 DuPont Boulevard in Frankford, Delaware. The size of the property is 2.368 acres +/-.

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the property has the land use designation of Commercial Areas.

The surrounding land use to the north is designated on the Future Land Use Map as "Commercial Areas." The adjacent parcels to the east and south of the subject parcel are designated "Developing Areas." The parcels to the west, on the opposite side of Route 13 (DuPont Boulevard,) are designated "Developing Areas." Developing Areas recognize a range of housing types, including single family homes, townhomes and multi-family units. A variety of office uses would also be appropriate in many areas as would mixed-use development or a careful mixture of homes with light commercial and institutional uses.

Commercial Areas include concentrations of retail and service uses, commercial corridors, shopping centers, hotels, motels, car washes and auto dealers. This includes other medium and larger scale commercial uses as well as mixed-use buildings.

Table 4.5-2 "Zoning Districts Applicable to Future Land Use Categories" of the 2018 Sussex County Comprehensive Plan states that Heavy Commercial (C-3) Zoning District may be appropriate within the Developing Area land use designation. Additionally, the Heavy-Commercial (C-3) Zoning is appropriate in Commercial Areas.

The property is zoned AR-1 (Agricultural Residential District.) The property directly to the north of the subject parcel is zoned General Commercial (C-1). Properties to the east and south are zoned Agricultural Residential (AR-1) with some General Residential (GR) Zoning to the east. Existing properties across Route 13 (DuPont Boulevard) are zoned General Commercial (C-1) and Agricultural Residential (AR-1) Zoning District.

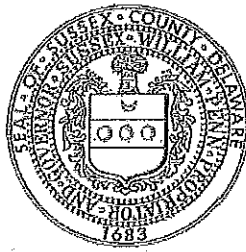
Since 2011, there have not been any other Change of Zone applications considered within a 1 mile radius of the application side.



Based on the analysis of the land use, surrounding zoning and uses, a change of zone to allow for a property zoned Heavy Commercial (C-3) in this location could be considered as being consistent with the surrounding land use, area zoning, and uses.

**PLANNING & ZONING COMMISSION**

ROBERT C. WHEATLEY, CHAIRMAN  
MARTIN L. ROSS, VICE CHAIRMAN  
R. KELLER HOPKINS  
DOUGLAS B. HUDSON  
KIM HOEY STEVENSON



**Sussex County**

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302-855-7878 T  
302-845-5079 F  
JANELLE M. CORNWELL, AICP  
DIRECTOR

**Service Level Evaluation Request Form**

This form shall be submitted to the Planning and Zoning Office and a response shall be received back from DelDOT prior to the applicant being able to submit an application to the Planning and Zoning Office.

Date: 10/4/19

**Site Information:**

Site Address/Location: 35029 Dupont Blvd Selbyville, DE 19975

Tax Parcel Number: 533-4.00-61.00

Current Zoning: AR-1

Proposed Zoning: CU

Land Use Classification: \_\_\_\_\_

Proposed Use(s):

Landscaping sales/business

Square footage of any proposed buildings or number of units: \_\_\_\_\_

**Applicant Information:**

Applicant's Name: Ronald H. Pepper

Applicant's Address: 36334 Dupont Blvd  
City: Selbyville State: DE Zip Code: 19975

Applicant's Phone Number: (302) 542-0944

Applicant's e-mail address: Ron@abovegradeinc.com



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

July 2, 2018

Ms. Janelle Cornwell, Director  
Sussex County Planning & Zoning  
P.O. Box 417  
Georgetown, DE 19947

Dear Ms. Cornwell:

The Department has completed its review of a Service Level Evaluation Request for the **Ronald H. Pepper** conditional use application, which we received on June 4, 2018. This application is for a 2.37-acre parcel (Tax Parcel: 533-4.00-61.00). The subject land is located on the east side of US Route 113, approximately 2,000 feet southeast of the intersection of US Route 113 and Parker Road / Lazy Lagoon Road (Sussex Road 380). The subject land is currently zoned AR-1 (Agricultural Residential), and the applicant is seeking a conditional use approval to operate a hardscaping sales business.

Per the 2017 Delaware Vehicle Volume Summary, the annual average and summer average daily traffic volumes along the segment of US Route 113 where the subject land is located, which is from Delaware Route 54 to Blueberry Lane (Sussex Road 402), are 19,711 and 25,271 vehicles per day, respectively.

Based on our review, we estimate that the above land use will generate fewer than 50 vehicle trips in any hour and fewer than 500 vehicle trips per day. These numbers of trips are DelDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. Because the proposed land use would not meet these warrants, we consider the development's traffic impact to be negligible in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DelDOT's description of this application as negligible with regard to warranting a TIS does not mean that it is negligible in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.





Ms. Janelle M. Cornwell  
Page 2 of 2  
July 2, 2018

The subject property is adjacent to US Route 113, thereby is subject to the Department's Corridor Capacity Preservation Program. The Program was established in accordance with the provisions of Title 17, Section 145 of the Delaware Code. The main goal of the Program is to maintain the capacity of the existing highway by minimizing and consolidating the amount of high density, direct access points on the arterial highway. According to the Office of State Planning Coordination's Strategies for State Policies and Spending document, the property is located within a Level 3 Investment Area. In this area, State policies will promote efficient, orderly development. The property owner can have access along US Route 113 for a site generating an average of 100 vehicle trips per day as determined by the latest edition of the Institute of Transportation Engineer's (ITE) Trip Generation Manual. The Corridor Capacity Preservation Program policy can be viewed on Department's website at [www.deldot.gov](http://www.deldot.gov). The manual is located under the publication link.

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence or Mr. Thomas Felice, at (302) 760-2338, if you have questions concerning the Corridor Capacity Preservation Program.

Sincerely,

*Tom Felice, for*

T. William Brockenbrough, Jr.  
County Coordinator  
Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues  
Ronald H. Pepper, Applicant  
J. Marc Coté, Assistant Director, Development Coordination  
Thomas Felice, Corridor Capacity Preservation Program Manager, Development Coordination  
Gemez Norwood, South District Public Works Manager, Maintenance and Operations  
Steven Sisson, Sussex County Subdivision Coordinator, Development Coordination  
Derek Sapp, Subdivision Manager, Development Coordination  
Brian Yates, Subdivision Manager, Development Coordination  
Susanne Laws, Subdivision Manager, Development Coordination  
Troy Brestel, Project Engineer, Development Coordination  
Claudy Joinville, Project Engineer, Development Coordination



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

December 26, 2018

Ms. Janelle Cornwell, Director  
Sussex County Planning & Zoning  
P.O. Box 417  
Georgetown, DE 19947

Dear Ms. Cornwell:

The Department has completed its review of a Service Level Evaluation Request for the **Ronald H. Pepper** rezoning application, which we received on November 27, 2018. This application is for a 2.37-acre parcel (Tax Parcel: 533-4.00-61.00). The subject land is located on the east side of US Route 113, approximately 2,000 feet south of the intersection of US Route 113 and Parker Road/Lazy Lagoon Road (both Sussex Road 380), south of Frankford. The subject land is currently zoned AR-1 (Agricultural Residential), and the applicant is seeking to rezone the land to C-3 (Heavy Commercial) to develop a landscaping/hardscaping business.

Per the 2017 Delaware Vehicle Volume Summary, the annual average daily traffic volume along the segment of US Route 113 where the subject land is located, which is from Cemetery Road (Delaware Route 54) to Blueberry Lane (Sussex Road 402), is 19,711 vehicles per day.

Our volume-based criteria for requiring a traffic impact study (TIS), addressed in Section 2.2.2.1 of the Development Coordination Manual, are that a development generates more than 500 trips per day or 50 trips during a weekly peak hour. While it seems that the above criteria could be met, we presently cannot predict the site's trip generation with enough accuracy to make a TIS useful. Thus, we recommend that this rezoning application be considered without a TIS and that the need for a TIS be evaluated when a subdivision or land development plan is proposed.

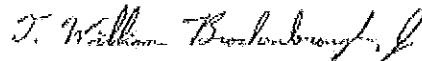
Ms. Janelle M. Cornwell  
Page 2 of 2  
December 26, 2018

The subject property is adjacent to US Route 113, thereby is subject to the Department's Corridor Capacity Preservation Program. The main goal of the Program is to maintain the capacity of the existing highway by minimizing and consolidating the number of direct driveway access points along the arterial highway. The Program was established in accordance with the provisions of Title 17, Section 145 of the Delaware Code.

According to the Office of State Planning, *Strategies for State Policies and Spending document*, the property is located within a Level 3 Investment Area. In a Level 3 Investment Area, State policies will promote efficient, orderly development and the coordinated phasing of infrastructure investment. Per Program policy, the property owner can develop a rights-in/rights-out access to US Route 113 for a site generating an average of 200 vehicle trips per day as determined using the latest edition of the Institute of Transportation Engineers' Trip Generation Manual. The Corridor Capacity Preservation Program policy can be viewed on Department's website at [www.deldot.gov](http://www.deldot.gov).

Please contact me, at (302) 760-2109, if you have questions concerning this correspondence or Mr. Thomas Felice, at (302) 760-2338, if you have questions concerning the Corridor Capacity Preservation Program.

incerely,

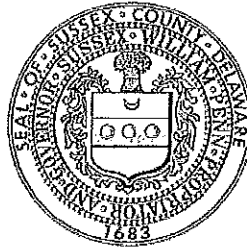


T. William Brockenbrough, Jr.  
County Coordinator  
Development Coordination

TWB:km

- cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues
- Ronald H. Pepper, Applicant
- J. Marc Coté, Assistant Director, Development Coordination
- Thomas Felice, Corridor Capacity Preservation Program Manager, Development Coordination
- Gemez Norwood, South District Public Works Manager, Maintenance and Operations
- Steven Sisson, Sussex County Subdivision Coordinator, Development Coordination
- Derek Sapp, Subdivision Manager, Development Coordination
- Brian Yates, Subdivision Manager, Development Coordination
- Troy Brestel, Project Engineer, Development Coordination
- Claudy Joinville, Project Engineer, Development Coordination

**PLANNING & ZONING**  
JANELLE M. CORNWELL, AICP  
DIRECTOR  
(302) 855-7878 T  
(302) 854-6079 F



**Sussex County**  
DELAWARE  
sussexcountyde.gov

## Service Level Evaluation Request Form

This form **shall** be submitted to the Planning and Zoning Office and a response **shall** be received back from DeDOT prior to the applicant being able to submit an application to the Planning and Zoning Office.

Date: 11/27/18

### Site Information:

Site Address/Location: 35029 DuPont Blvd. Selbyville, De 19975

Tax Parcel Number: 533 - 4.00 - 61.00

Current Zoning: AR-1

Proposed Zoning: C-3

Land Use Classification: \_\_\_\_\_

Proposed Use(s):

landscaping/hardscaping sales, business

Square footage of any proposed buildings or number of units: \_\_\_\_\_

### Applicant Information:

Applicant's Name: Ronald H. Pepper

Applicant's Address: 36334 DuPont Blvd  
City: Selbyville State: De Zip Code: 19975

Applicant's Phone Number: (302) 542-0944

Applicant's e-mail address: Ron@abovegradeinc.com



**SUSSEX COUNTY ENGINEERING DEPARTMENT**  
**UTILITY PLANNING DIVISION**  
**C/U & C/Z COMMENTS**

TO: **Janelle Cornwell**

REVIEWER: **Chris Calio**

DATE: **10/4/2019**

APPLICATION: **CZ 1894 Howard Pepper Jr.**

APPLICANT: **Howard Pepper Jr.**

FILE NO: **SPS-5.04**

TAX MAP &  
PARCEL(S): **533-4.00-61.00**

LOCATION: **35029 DuPont Blvd. East side of DuPont Blvd., approximately  
0.38 mile south of Lazy Lagoon Road.**

NO. OF UNITS: **Upzone from AR-1 to C-3**

GROSS  
ACREAGE: **2.368 ac.**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

**SEWER:**

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?  
Yes  No
- a. If yes, see question (2).  
b. If no, see question (7).
- (2). Which County Tier Area is project in? **Municipal Growth & annexation Area**
- (3). Is wastewater capacity available for the project? **N/A** If not, what capacity is available? **N/A.**
- (4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **N/A** If yes, how many? **N/A.** Is it likely that additional SCCs will be required? **N/A** If yes, the current System Connection Charge Rate is **Click or tap to enter a fee** per EDU. Please contact **N/A** at **302-855-7719** for additional information on charges.

- (6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **N/A**
- Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.
- (7). Is project adjacent to the Unified Sewer District? **No**
- (8). Comments: **The proposed Change of Zone is within the Growth and Annexation Area of the Town of Selbyville. Please contact the Town of Selbyville concerning the availability of sanitary sewer and water.**
- (9). Is a Sewer System Concept Evaluation required? **No**
- (10). Is a Use of Existing Infrastructure Agreement Required? **No**

UTILITY PLANNING APPROVAL:

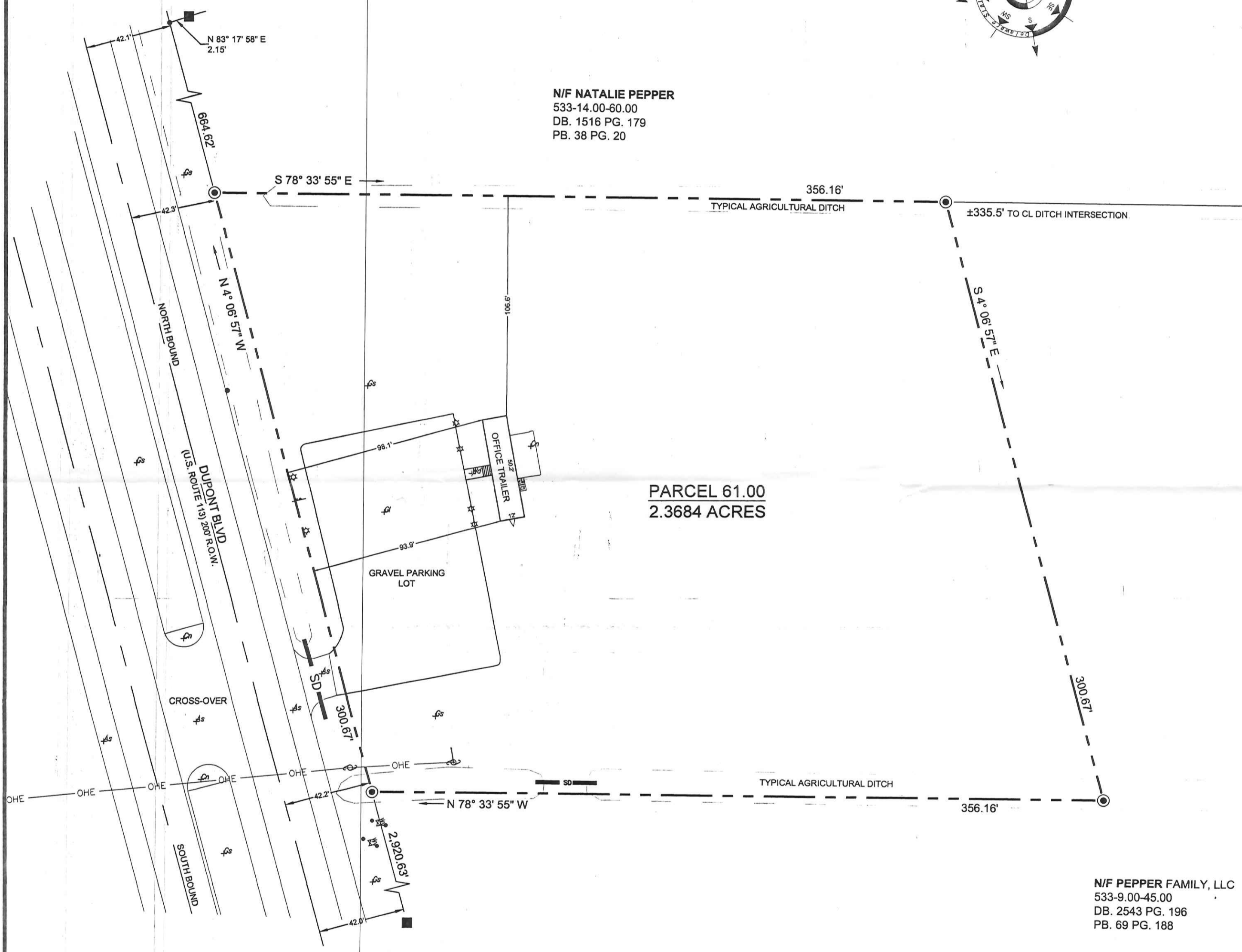
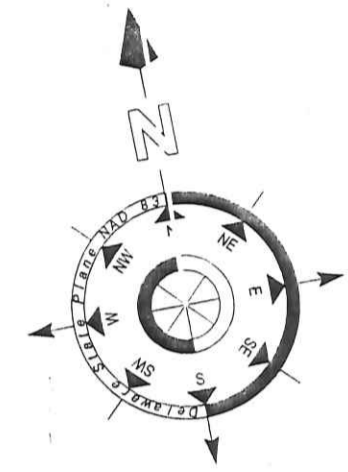
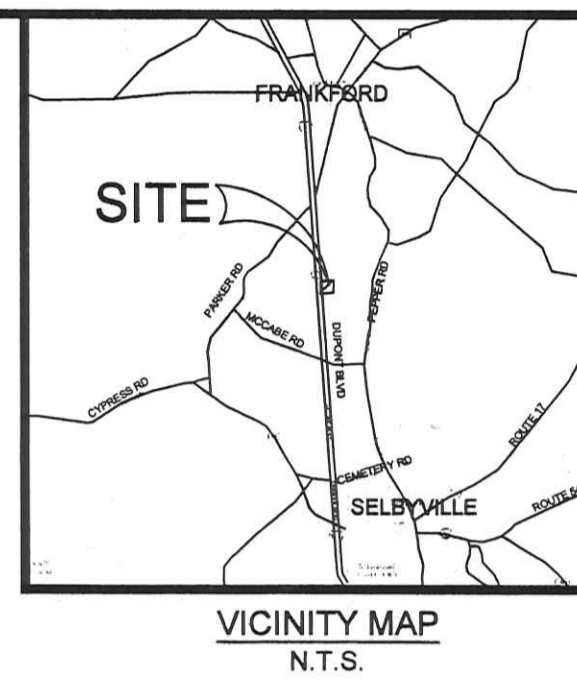


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John J. Ashman  
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.  
Jayne Dickerson  
No Permit Tech Assigned

SURVEY LEGEND		SURVEY LEGEND	
•	UNMARKED POINT	As	SPOT ASPHALT
■	CONCRETE MONUMENT FOUND	Cn	SPOT CONCRETE
⊙	IRON ROD WITH CAP SET	Cs	SPOT GRASS
W	WATER VALVE	Cg	SPOT GRAVEL
⊕	UTILITY POLE	Cw	SPOT WOOD
---	BOUNDARY LINE/ R.O.W.	— —	COBRA LIGHT
---	ADJOINING BOUNDARY LINE	☆	YARD LAMP
—O—	OVERHEAD ELECTRIC	— —	CULVERT CROSSING



N/F NATALIE PEPPER  
533-14.00-60.00  
DB. 1516 PG. 179  
PB. 38 PG. 20

PARCEL 61.00  
2.3684 ACRES

N/F PEPPER FAMILY, LLC  
533-9.00-45.00  
DB. 2543 PG. 196  
PB. 69 PG. 188

**SITE DATA:**

- SUBJECT PARCEL OWNER OF RECORD:  
PEPPER FAMILY FARM, LLC.  
MAILING ADDRESS: 36337 DUPONT HIGHWAY  
SELBYVILLE, DE 19975
- DEED REF: DB. 3993 PG. 161  
PB. 69 PG. 188  
PB. 70 PG. 34  
R.O.W. - DELDOT CONTRACT #65-03-033
- AREA: 2.3684 ACRES
- TAX MAP: 533-4.00-61.00
- THE PURPOSE OF THIS BOUNDARY SURVEY PLAN IS TO SHOW THE BOUNDARIES OF THE ABOVE PARCEL AND TO SHOW THE EXISTING ON SITE STRUCTURES FOUND AT THE TIME OF THE SURVEY.
- OTHER THAN SHOWN, THIS SURVEY DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHTS OF WAY OR EASEMENTS ON THIS PROPERTY. NO TITLE SEARCH WAS PROVIDED FOR OUR USE.
- SURVEY CLASS: SUBURBAN SURVEY.
- FLOOD ZONE "X": FIRM MAP #10005C0630 J, EFFECTIVE 01/06/2005.

**SURVEYOR'S STATEMENT:**

I, STEVEN P. TURNER REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

*[Signature]*

DE PLS 620 5/22/09 Date:

PLANS ISSUED FOR:  
Review

REVISIONS:		
No.	Revision/Issue:	Date

LANDS OF:  
PEPPER FAMILY FARM, LLC  
BALTIMORE HUNDRED  
SUSSEX COUNTY - DELAWARE

Civil Engineers  
Land Planners  
Landscape Architects  
Surveyors

**Atlantic Group & Associates, Inc.**

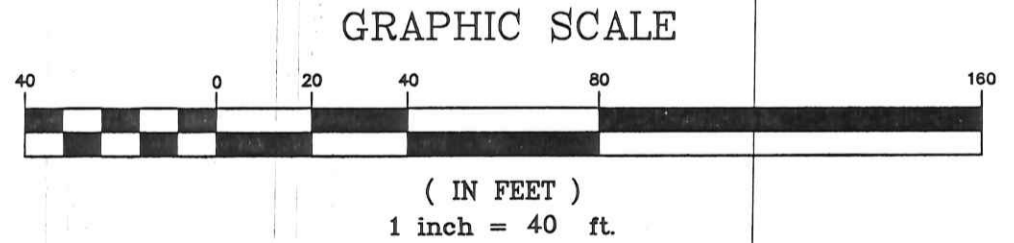
10044 Old Ocean City Boulevard  
Berlin, Maryland 21811  
Ph: (410) 629-1160  
Fax: (410) 629-1710  
www.the-atlanticgrp.com

*[Signature]*

**BOUNDARY SURVEY PLAN**

PROJECT: 19-108	DATE: 05/03/2019
DRAWN BY: SPT	SCALE: Noted

V-100



## PLANNING & ZONING

JAMIE WHITEHOUSE  
PLANNING & ZONING MANAGER

(302) 855-7878 T  
(302) 854-5079 F



# Sussex County

DELAWARE  
sussexcountyde.gov

## Memorandum

To: Sussex County Planning Commission Members  
From: Jamie Whitehouse, Planning and Zoning Manager; Lauren DeVore, Planner III; Samantha Bulkilvish, Planner I and Jenny Norwood, Planner I  
CC: Vince Robertson, Assistant County Attorney  
Date: October 10, 2019  
RE: Other Business for October 17, 2019 Planning Commission Meeting

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This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the October 17, 2019 Planning Commission meeting.

### **(S-17-33) & (CU 2046) Arbor-Lyn Final Site Plan**

BM

#### Final Site Plan

This is a Final Site Plan for the construction of 100 detached single-family units and 42 multi-family dwellings to be located off of Warrington Road. Conditional Use #2046 to allow for the multi-family development was approved by County Council at its meeting of December 13, 2016 (Ordinance #2479). The Planning and Zoning Commission approved the Preliminary Site Plan at their meeting on July 27, 2017. The Final Site Plan complies with the Sussex County Zoning Code and all conditions of approval. Tax Parcels: 334-12.00-127.02, 127.04 & 127.05. Zoning: MR (Medium Density Residential Zoning District). Staff are in receipt of all agency approvals.

### **Hocker's Supercenter – Car Wash**

BM

#### Revised Site Plan

This is a Revised Site Plan for the replacement and relocation of an existing car wash with a 3,911 sf. car wash and vacuum stations with associated parking. The site plan also shows proposed Right-of-Way dedication to the State of Delaware, and the provision of an easement along Rt. 26. Some of the existing car parking spaces would be within this permanent easement. The Applicant has indicated that DelDOT have indicated that they have no objection to this. The Revised Site Plan is in compliance with the Sussex County Zoning Code. Tax Parcels: 134-12.00-330.01, 331.00, 332.00, 333.00 & 334.00. Zoning: C-1 (General Commercial Zoning District). Staff are awaiting agency approvals for the revised Site Plan.

### **(S-19-38) Cellco Partnership – DOV Springfield Hollis**

KS

#### Preliminary Site Plan

This is a Preliminary Site Plan for telecommunications tower to measure 134 ft. in height and additional ground equipment. A Special Use Exception for the telecommunications tower was approved by the Board of Adjustment on April 16, 2018. The Preliminary Site Plan is in compliance with the Sussex County Zoning Code. Tax Parcel: 234-8.00-2.03. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are awaiting agency approvals.





**Lands of Ann J. Banks**

BM

Minor off a 50-ft Easement

This is a Preliminary Plan for a minor subdivision for the subdivision of one lot consisting of 1.50 acres into two lots each consisting of 0.75 acres off a proposed 50-ft access easement. The subdivision is located off of Banks Road in Ocean View, Delaware. Tax Parcel: 134-12.00-275.00. Zoning: MR (Medium Density Residential Zoning District). Staff are awaiting agency approvals.

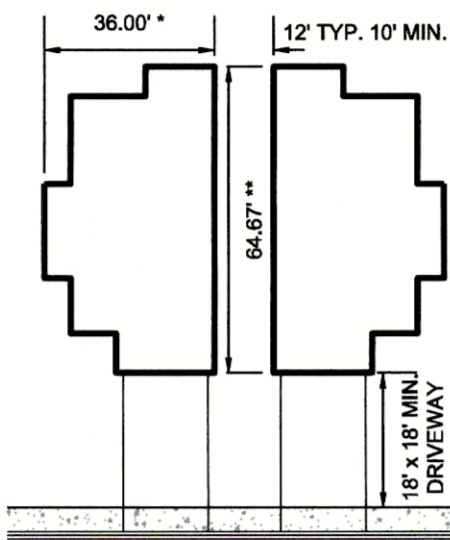
# FINAL SITE PLAN - MEDIUM DENSITY RESIDENTIAL DEVELOPMENT

## ARBOR-LYN

### LEWES AND REHOBOTH HUNDRED - SUSSEX COUNTY, DELAWARE

**PLAN DATA**

1. TAX PARCEL NUMBERS: 334-12.00-127.02, 334-12.00-127.04, & 334-12.00-127.05
2. DEED REFERENCE: DEED BOOK 4812, PAGE 66 (334-12.00-127.02)  
DEED BOOK 4812, PAGE 69 (334-12.00-127.04, & 334-12.00-127.05)
3. EXISTING ZONING: MR (MEDIUM DENSITY RESIDENTIAL DISTRICT)  
WITH CONDITIONAL USE FOR MULTI-FAMILY DWELLING STRUCTURES (CU 2046)
4. SUBDIVISION DATA:  
GROSS AREA: 35.45 AC.  
AREA DEDICATED TO SCR 275: 0.36 AC.  
NET DEVELOPMENT AREA: 35.09 AC.  
TOTAL IMPERVIOUS AREA: 13.94 AC. (39.7%)  
NET WELLHEAD PROTECTION AREA: 19.26 AC.  
NET IMPERVIOUS AREA WITHIN WELLHEAD PROTECTION AREA: 7.36 AC. (37.5%)  
OPEN SPACE: 21.15 AC. (60.3%)  
WOODLANDS TO BE PRESERVED: 3.2 AC.
5. PARKING:  
DETACHED SINGLE FAMILY DWELLINGS  
REQUIRED: 2 SPACES PER DWELLING  
PROVIDED: 200  
TOWNHOUSE DWELLINGS  
REQUIRED: 2 SPACES PER DWELLING  
PROVIDED: 84  
COMMUNITY BUILDING  
REQUIRED: NONE  
PROVIDED: 18
6. PROJECT DENSITY:  
GROSS DENSITY: 4 UNITS PER ACRE  
TOTAL DWELLINGS: 142  
DETACHED SINGLE FAMILY DWELLINGS: 100  
TOWNHOUSE DWELLINGS: 42
7. BUILDING SETBACK REQUIREMENTS:  
MIN. DEPTH OF FRONT YARD (FT.): 40  
MIN. WIDTH OF SIDE YARD (FT.): 10  
DEPTH OF REAR YARD (FT.): 10  
BUILDING HEIGHT (FT.): 42 MAXIMUM  
COMMUNITY BUILDING HEIGHT (FT.): 35 MAXIMUM  
a. MINIMUM DISTANCE PRIVATE ROW TO FACE OF UNIT = 16.75 FEET  
b. MINIMUM DISTANCE UNIT TO UNIT = 12.5 FEET
8. SEWAGE DISPOSAL: SUSSEX COUNTY SANITARY SEWER SYSTEM-WEST REHOBOTH EXPANSION AREA  
SUSSEX COUNTY SEWER SERVICE IS SUBJECT TO THE SITE BEING ANNEXED INTO THE WEST REHOBOTH EXPANSION OF THE DEWEY BEACH SANITARY SEWER DISTRICT.
9. WATER SUPPLY: TIDEWATER UTILITIES INC.  
WATER IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DIVISION OF PUBLIC HEALTH.
10. WETLANDS: THERE ARE NO FEDERAL OR STATE WETLANDS WITHIN THE BOUNDARY OF THIS SUBDIVISION.
11. FEMA FLOOD PLAIN:  
ACCORDING TO FEMA FIRM MAP#10005C0332K, DATED MARCH 16, 2015, THIS SITE DOES NOT CONTAIN A 100-YEAR FLOODPLAIN.
12. THIS PROPERTY MAY BE LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
13. THE BOUNDARY FOR THIS PROPERTY IS THE RESULT OF A SURVEY PREPARED BY MERESTONE CONSULTANTS, INC., DATED NOVEMBER 2016.
14. A PORTION OF THIS SITE LIES WITHIN A WELLHEAD PROTECTION AREA AS SHOWN ON THE WATER SUPPLY, WELLHEAD & EXCELLENT RECHARGE AREAS MAP FOR SUSSEX COUNTY AND THEREFORE THOSE AREAS SHALL BE SUBJECT TO THE REQUIREMENTS OF SECTION 89-6. SOURCE WATER PROTECTION STANDARDS - WELLHEAD PROTECTION AREAS.
15. SITE CONSTRUCTION IS TENTATIVELY DIVIDED INTO 5 PHASES.  
APPROXIMATE COMPLETION TIME: 12 MONTHS PER PHASE  
PHASE 1 25 DWELLING UNITS  
PHASE 2 39 DWELLING UNITS  
PHASE 3 26 DWELLING UNITS  
PHASE 4 15 DWELLING UNITS  
PHASE 5 37 DWELLING UNITS
16. GROUNDWATER RECHARGE POTENTIAL OF SITE:  
• TOTAL SITE AREA = 35.45 AC.  
• AREA OF "EXCELLENT RECHARGE" = 35.45 AC.  
• THE DEVELOPED SITE IS DESIGNED TO INFILTRATE 100% OF THE 100 YEAR STORM EVENT.



**TYPICAL LARGE SINGLE FAMILY**  
SCALE: 1" = 40'

**NOTES:**

1. MAXIMUM BUILDABLE AREA FOR EACH UNIT = 3,690 S.F.
2. ALL DECKS, PORCHES, AND OTHER STRUCTURES MUST BE CONTAINED WITHIN THE MAXIMUM BUILDABLE AREA.
3. AMENITY WILL REQUIRE SUITABLE SOFT AND HARD LANDSCAPING TO SHIELD AGAINST VEHICLE HEADLIGHTS SHINING ON ADJACENT UNITS.

**WETLANDS CERTIFICATION NOTE**

I, David Karins, CERTIFY THAT THIS PROPERTY HAS BEEN EXAMINED FOR WETLANDS/WATERS OF THE UNITED STATES IN ACCORDANCE WITH CRITERIA FOUND IN THE 1987 U.S. ARMY CORPS OF ENGINEERS' WETLAND DELINEATION MANUAL, "THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: ATLANTIC AND GULF COASTAL PLAIN REGION (VERSION 2.0, 2010)", AND ASSOCIATED GUIDANCE MEMORANDA. IN MY BEST PROFESSIONAL JUDGEMENT, NO STATE OR FEDERAL WETLANDS EXIST WITHIN THE SUBJECT PROPERTY.

BY: [Signature] DATE: 7/30/19

**ENGINEER'S CERTIFICATION**

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE. I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE ORDINANCES OF SUSSEX COUNTY AND LAWS OF THE STATE OF DELAWARE.

[Signature]  
DEV SITARAM  
DE. LICENSE No. 8799

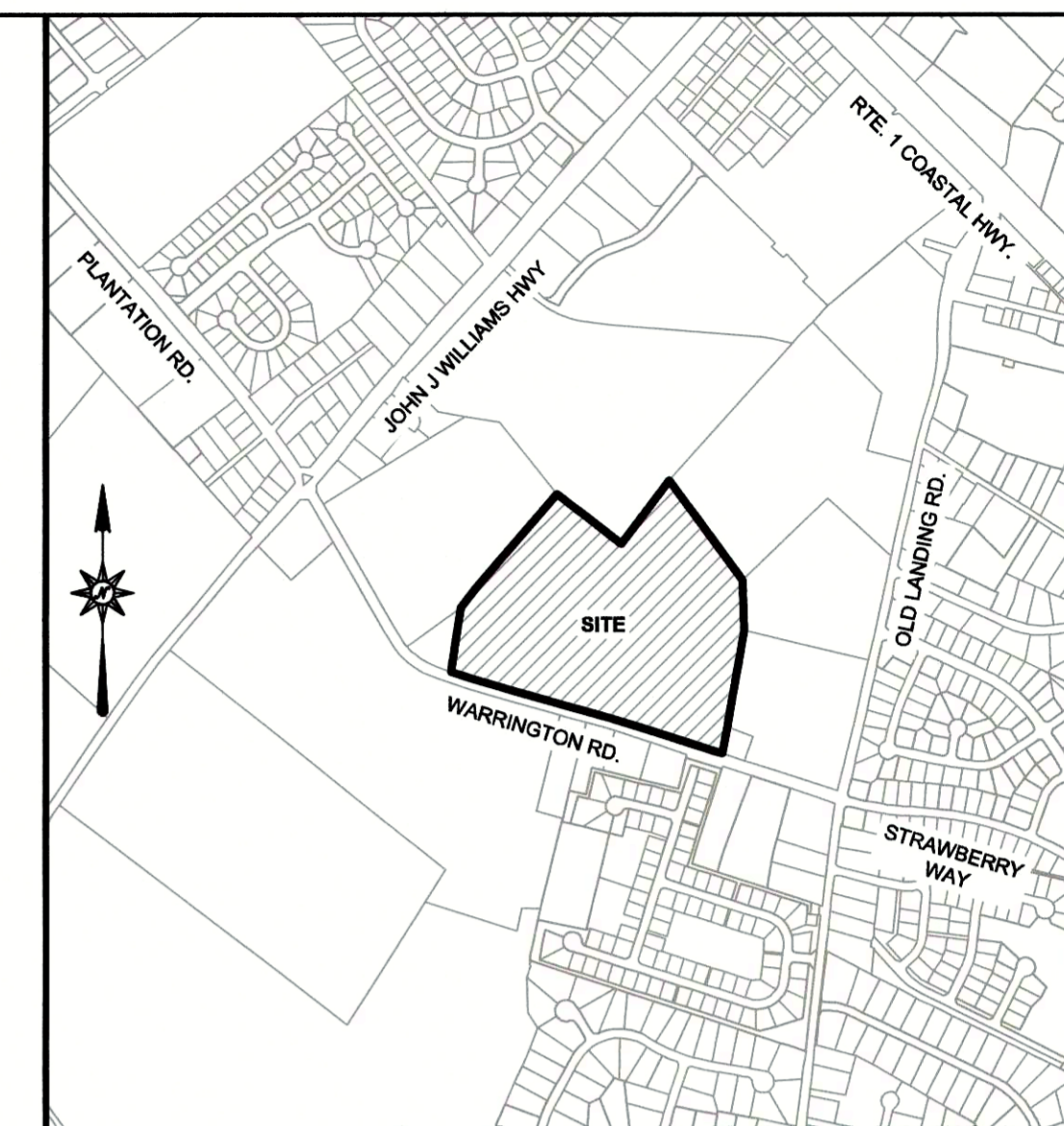
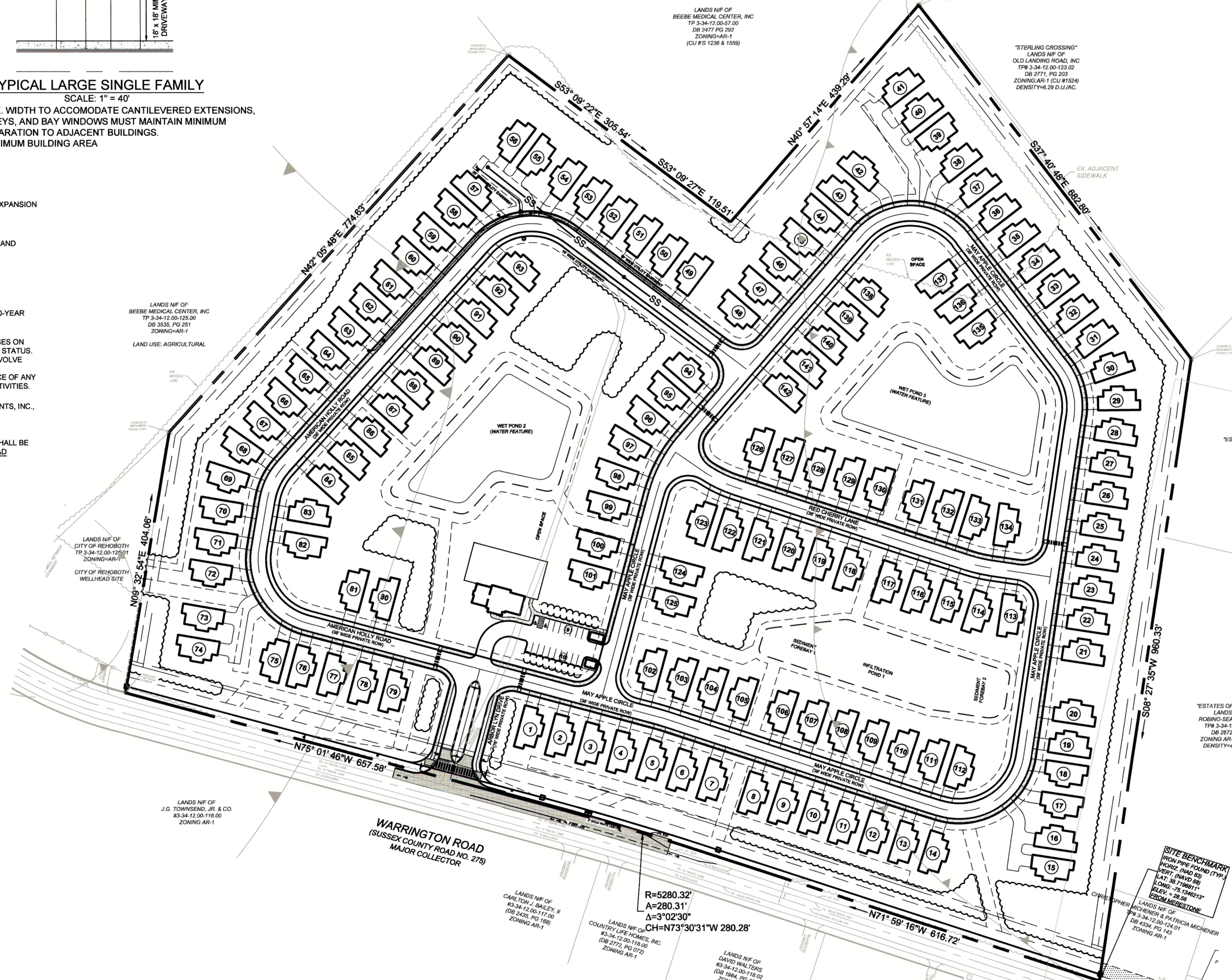
**OWNER'S CERTIFICATION:**

HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

[Signature]  
OWNER: ARBOR LYN REHOBOTH BEACH LLC  
ADDRESS: 26412 BROADKILL ROAD, MILTON, DE 19968  
PHONE: 302-684-3280  
E-MAIL: dal@lockwooddesigns.com

**INDEX OF SHEETS**

SHEET	TITLE
SHEET S1	TITLE SHEET
SHEET S2	OVERALL SITE PLAN SHEET TYPICAL STREET SECTION AND LEGEND
SHEET S3 - S6	FINAL SITE PLAN SHEETS
SHEET S7	PHASING PLAN



**LOCATION MAP** SCALE: 1" = 1000'

**ORDINANCE NO. 2479 (CU 2046, APPROVAL DATE 6-14-18)**

THIS ORDINANCE WAS ADOPTED SUBJECT TO THE FOLLOWING CONDITIONS:

- A. THERE SHALL BE NO MORE THAN 142 UNITS WITHIN THE DEVELOPMENT.
- B. THE APPLICANT SHALL FORM A HOMEOWNERS' OR CONDOMINIUM ASSOCIATION RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF STREETS, ROADS, ANY BUFFERS, STORMWATER MANAGEMENT FACILITIES, EROSION AND SEDIMENTATION CONTROL FACILITIES AND OTHER COMMON AREAS.
- C. THE STORMWATER MANAGEMENT SYSTEM SHALL MEET OR EXCEED THE REQUIREMENTS OF THE STATE AND COUNTY. IT SHALL BE CONSTRUCTED AND MAINTAINED USING BEST MANAGEMENT PRACTICES TO PROVIDE FOR POSITIVE GROUNDWATER RECHARGE.
- D. ALL ENTRANCES AND ROADWAY IMPROVEMENTS SHALL COMPLY WITH ALL OF DELOTT'S REQUIREMENTS, AND AN AREA FOR A SCHOOL BUS STOP SHALL BE ESTABLISHED. THE LOCATION OF THE SCHOOL BUS STOP SHALL BE COORDINATED WITH THE LOCAL SCHOOL DISTRICT.
- E. ROAD NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY MAPPING AND ADDRESSING DEPARTMENTS.
- F. THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX COUNTY DISTRICT FOR THE DESIGN AND LOCATION OF ALL STORMWATER MANAGEMENT AREAS AND EROSION AND SEDIMENTATION CONTROL FACILITIES.
- G. A 20 FOOT FORESTED AGRICULTURAL BUFFER SHALL BE SHOWN ALONG THE PERIMETER OF THE ENTIRE DEVELOPMENT. THE FINAL SITE PLAN SHALL ALSO CONTAIN A LANDSCAPE PLAN FOR ALL OF THE BUFFER AREAS, SHOWING ALL OF THE LANDSCAPING AND VEGETATION TO BE INCLUDED IN THE BUFFER AREA.
- H. THE PROJECT SHALL BE SERVED BY SUSSEX COUNTY SEWER.
- I. AS PROFFERED BY THE APPLICANT, THE DEVELOPER SHALL CONSTRUCT THE POOL AND COMMUNITY BUILDING NO LATER THAN THE ISSUANCE OF THE 75TH RESIDENTIAL BUILDING PERMIT FOR THE PROJECT.
- J. AS PROFFERED BY THE APPLICANT, THE INTERIOR STREET DESIGN SHALL COMPLY WITH OR EXCEED SUSSEX COUNTY MINIMUM STANDARDS AND SHALL INCLUDE SIDEWALKS ON AT LEAST ONE SIDE OF ALL STREETS IN THE DEVELOPMENT.
- K. CONSTRUCTION, SITE WORK, GRADING AND DELIVERIES OF CONSTRUCTION MATERIAL, LANDSCAPING MATERIAL AND FILL ON, OFF OR TO THE PROPERTY SHALL OCCUR FROM MONDAY THROUGH SATURDAY BETWEEN THE HOURS OF 8:00 A.M. AND 6:00 P.M. AND USE ROUTE 24 TO GET ACCESS TO THE SITE.
- L. THE APPLICANT SHALL CONSULT AND COORDINATE WITH THE LOCAL SCHOOL DISTRICT'S TRANSPORTATION MANAGER TO ESTABLISH APPROPRIATE SCHOOL BUS STOP LOCATIONS.
- M. THIS PRELIMINARY APPROVAL IS CONTINGENT UPON THE APPLICANT SUBMITTING A REVISED PRELIMINARY SITE PLAN EITHER DEPICTING OR NOTING THE CONDITIONS OF THIS APPROVAL ON IT. STAFF SHALL APPROVE THE REVISED PLAN UPON CONFIRMATION THAT THE CONDITIONS OF APPROVAL HAVE BEEN DEPICTED OR NOTED ON IT.
- N. THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.

**SUSSEX CONSERVATION DISTRICT APPROVAL**  
23818 SHORTLY ROAD - GEORGETOWN, DE 19947  
302-656-7219 FAX 856-0951

**FINAL SITE PLAN**  
**FOR**  
**ARBOR LYN REHOBOTH BEACH, L.L.C.**  
SITUATE IN: LEWES AND REHOBOTH HUNDRED, SUSSEX COUNTY, DELAWARE

ADDRESS SUSSEX COUNTY 2nd REVIEW COMMENTS ADDRESS SUSSEX COUNTY ENGINEERING COMMENTS ADDRESS SUSSEX COUNTY ENGINEERING COMMENTS 3-5-18 P. P. COMMENTS	02-25-19	date		
	02-09-19	checked		
	02-09-19			
	02-09-19			
PREPARED FOR: LIMITLESS DEVELOPMENT CONSULTING 26412 BROADKILL ROAD MILTON, DE 19968 PHONE: 302-684-3280 EMAIL: info@lockwooddesigns.com			OWNER(S): ARBOR LYN REHOBOTH BEACH, LLC 26412 BROADKILL ROAD MILTON, DE 19968 PHONE: 302-684-3280 EMAIL: dal@lockwooddesigns.com	
SURVEY BY: MCI				SCALE: 1" = 100' 
DESIGNED BY: JG, MV, BR				SHEET: S1 OF 7 DRAWING NO.: 2860ENGCASDITE PLANS01
DRAWN BY: JG, MV				
CHECKED BY: DS, BR				

**Karins and Associates**

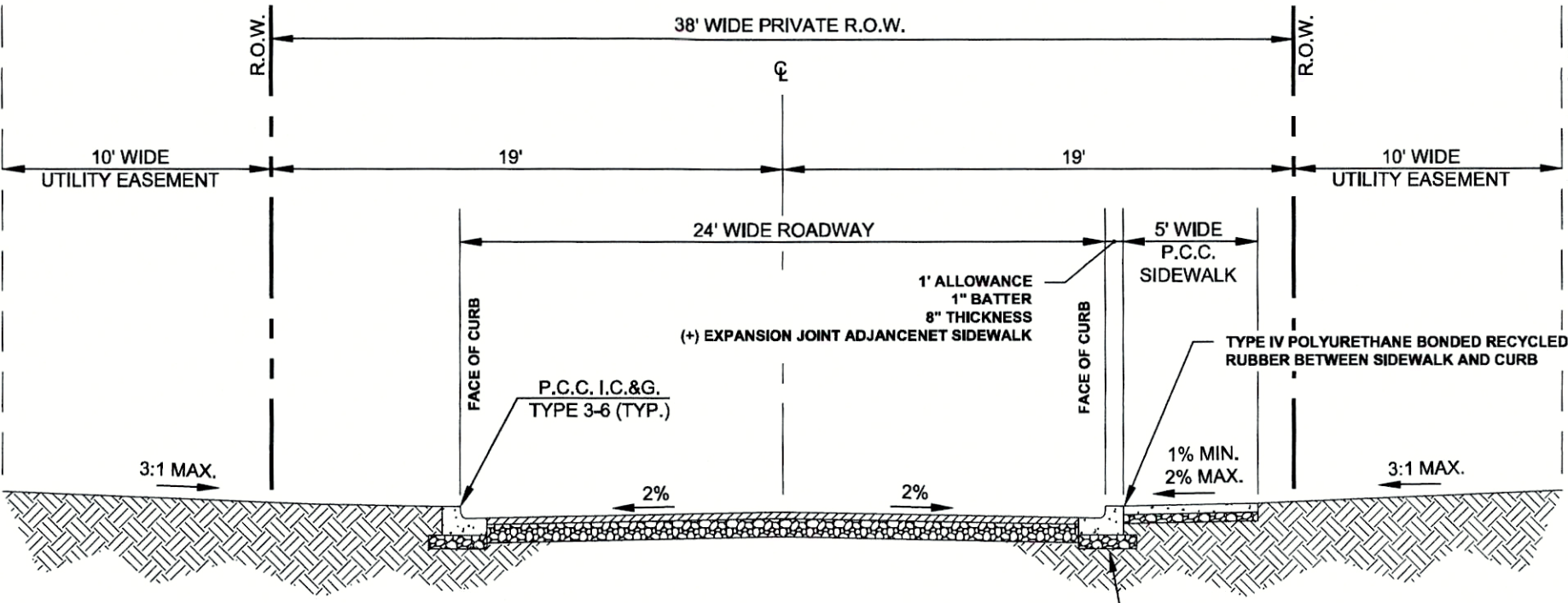
ENGINEERS • PLANNERS • SURVEYORS  
GEORGETOWN, DE & NEWARK, DE  
www.karinsengineering.com  
128 WEST MARKET STREET  
GEORGETOWN, DELAWARE 19947  
PHONE: (302) 858-4331 FAX: (302) 629-2175



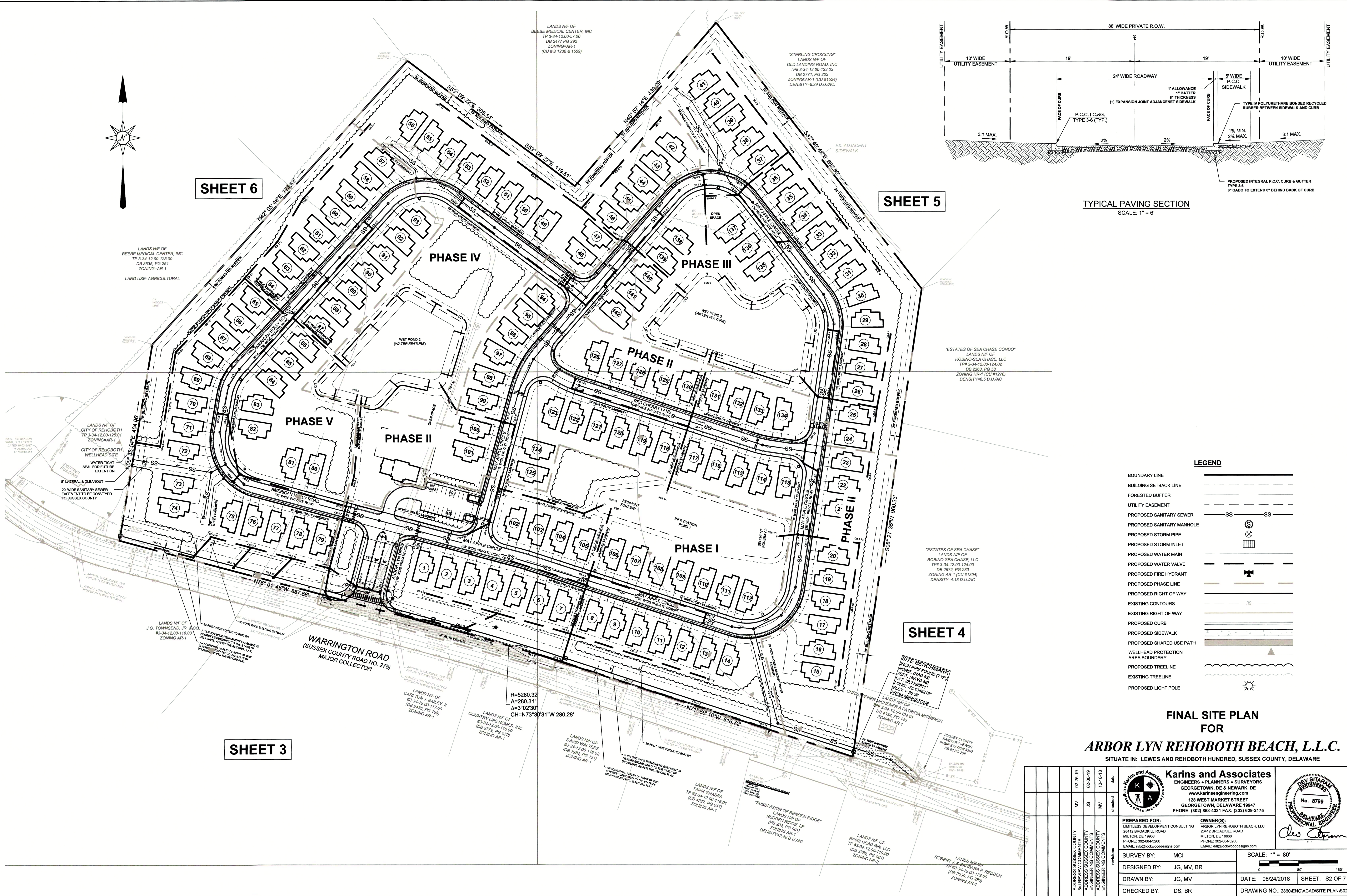


SHEET 6

SHEET 5



TYPICAL PAVING SECTION  
SCALE: 1" = 6'



LANDS N/F OF  
BEEBE MEDICAL CENTER, INC.  
TP 3-34-12.00-125.00  
DB 2033, PG 251  
ZONING-AR-1  
LAND USE: AGRICULTURAL

LANDS N/F OF  
CITY OF REHOBOTH  
TP 3-34-12.00-125.01  
ZONING-AR-1  
CITY OF REHOBOTH  
WELLHEAD SITE  
WATERFIGHT  
SEAL FOR FUTURE  
EXTENSION  
8" LATERAL & CLEANOUT  
20' WIDE SANITARY SEWER  
EASEMENT TO BE CONVEYED  
TO SUSSEX COUNTY

LANDS N/F OF  
J.G. TOWNSEND, JR. &  
83-34-12.00-118.00  
ZONING AR-1  
A 15-FOOT WIDE FORESTED BUFFER  
SHALL BE PERMANENTLY MAINTAINED  
AND REMAIN AS PART OF THE RECORD PLAT  
WHICH IS THE STATE OF  
DELAWARE. SHEET OF RECORD PLAT  
SHALL BE FILED WITH THE RECORD PLAT  
AND SHALL BE PERMANENTLY  
MAINTAINED AS PART OF THE RECORD PLAT.

SHEET 3

SHEET 4

LEGEND

BOUNDARY LINE	---
BUILDING SETBACK LINE	----
FORESTED BUFFER	~~~~~
UTILITY EASEMENT	---
PROPOSED SANITARY SEWER	SS
PROPOSED SANITARY MANHOLE	⊗
PROPOSED STORM PIPE	---
PROPOSED STORM INLET	⊕
PROPOSED WATER MAIN	---
PROPOSED WATER VALVE	⊕
PROPOSED FIRE HYDRANT	⊕
PROPOSED PHASE LINE	---
PROPOSED RIGHT OF WAY	---
EXISTING CONTOURS	---
EXISTING RIGHT OF WAY	---
PROPOSED CURB	---
PROPOSED SIDEWALK	---
PROPOSED SHARED USE PATH	---
WELLHEAD PROTECTION AREA BOUNDARY	---
PROPOSED TREELINE	---
EXISTING TREELINE	---
PROPOSED LIGHT POLE	⊕

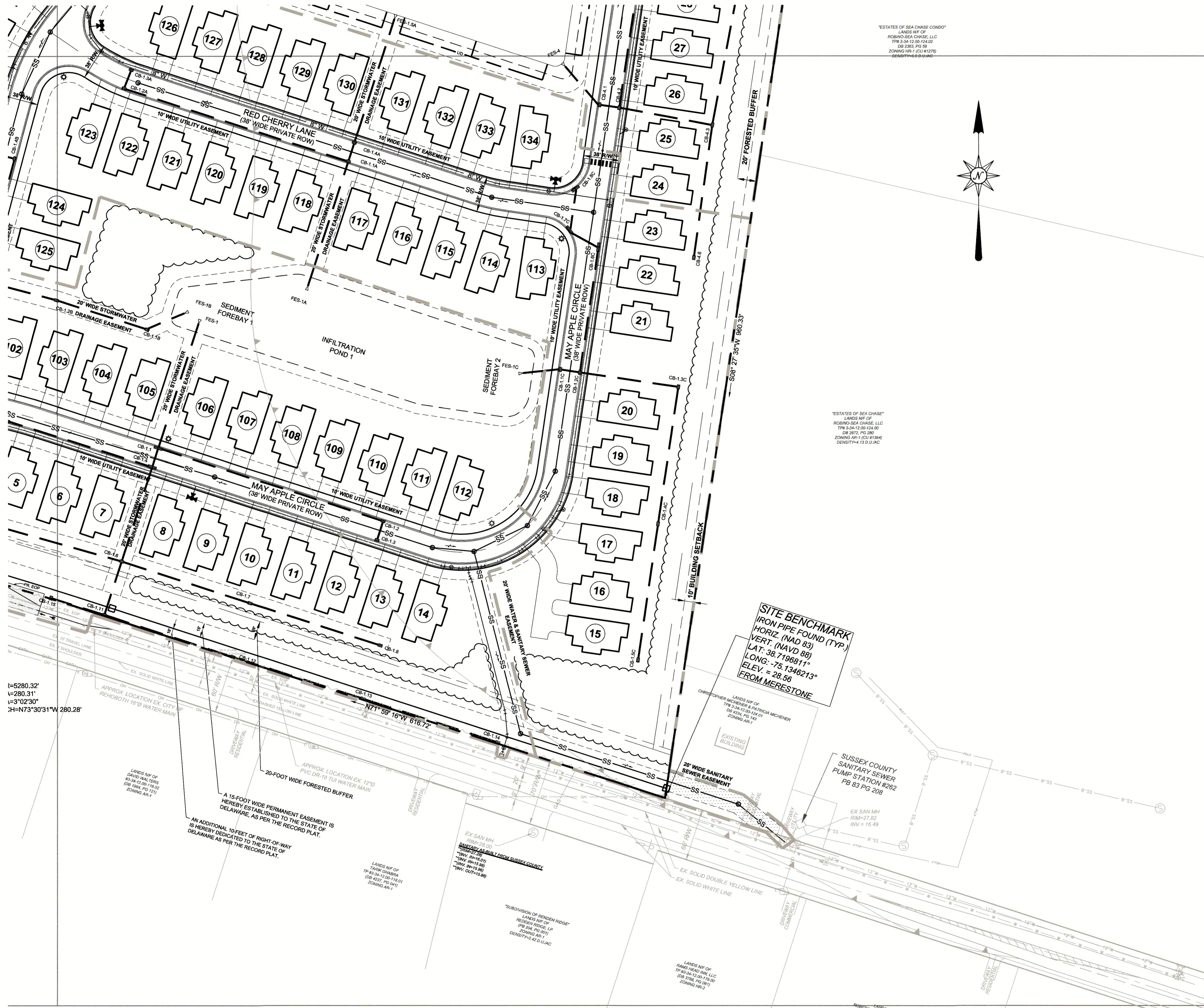
**FINAL SITE PLAN FOR**  
**ARBOR LYN REHOBOTH BEACH, L.L.C.**  
SITUATE IN: LEWES AND REHOBOTH HUNDRED, SUSSEX COUNTY, DELAWARE

ADDRESS SUSSEX COUNTY ADDRESS SUSSEX COUNTY ADDRESS SUSSEX COUNTY ADDRESS SUSSEX COUNTY ADDRESS SUSSEX COUNTY	02-24-19	date	 <b>Karins and Associates</b> ENGINEERS • PLANNERS • SURVEYORS GEORGETOWN, DE & NEWARK, DE www.karinsandassociates.com 128 WEST MARKET STREET GEORGETOWN, DELAWARE 19947 PHONE: (302) 858-4331 FAX: (302) 629-2175	 David A. Karins
	02-05-19	checked		
	10-18-18	checked		
	02-24-19	checked		
PREPARED FOR: LIMITLESS DEVELOPMENT CONSULTING 26412 BROADKILL ROAD MILTON, DE 19968 PHONE: 302-684-3260 EMAIL: mtd@limitlessdevelopment.com			OWNER(S): ARBOR LYN REHOBOTH BEACH, LLC 26412 BROADKILL ROAD MILTON, DE 19968 PHONE: 302-684-3260 EMAIL: ra@arborsigns.com	SCALE: 1" = 80' 
SURVEY BY: MCI DESIGNED BY: JG, MV, BR DRAWN BY: JG, MV CHECKED BY: DS, BR			DATE: 08/24/2018 SHEET: S2 OF 7 DRAWING NO.: 2860/ENGCAD/SITE PLANS02	



SEE SHEET 5 FOR CONTINUATION

SEE SHEET 3 FOR CONTINUATION



"STATES OF SEA CHASE CONDO"  
LANDS N/F OF  
ROBINO-SEA CHASE, LLC  
TP# 3-34-12-00-124.00  
DB 2003, PG 28  
ZONING RR-1 (CU #1276)  
DENRTP#6-0-0-0-0-0-0

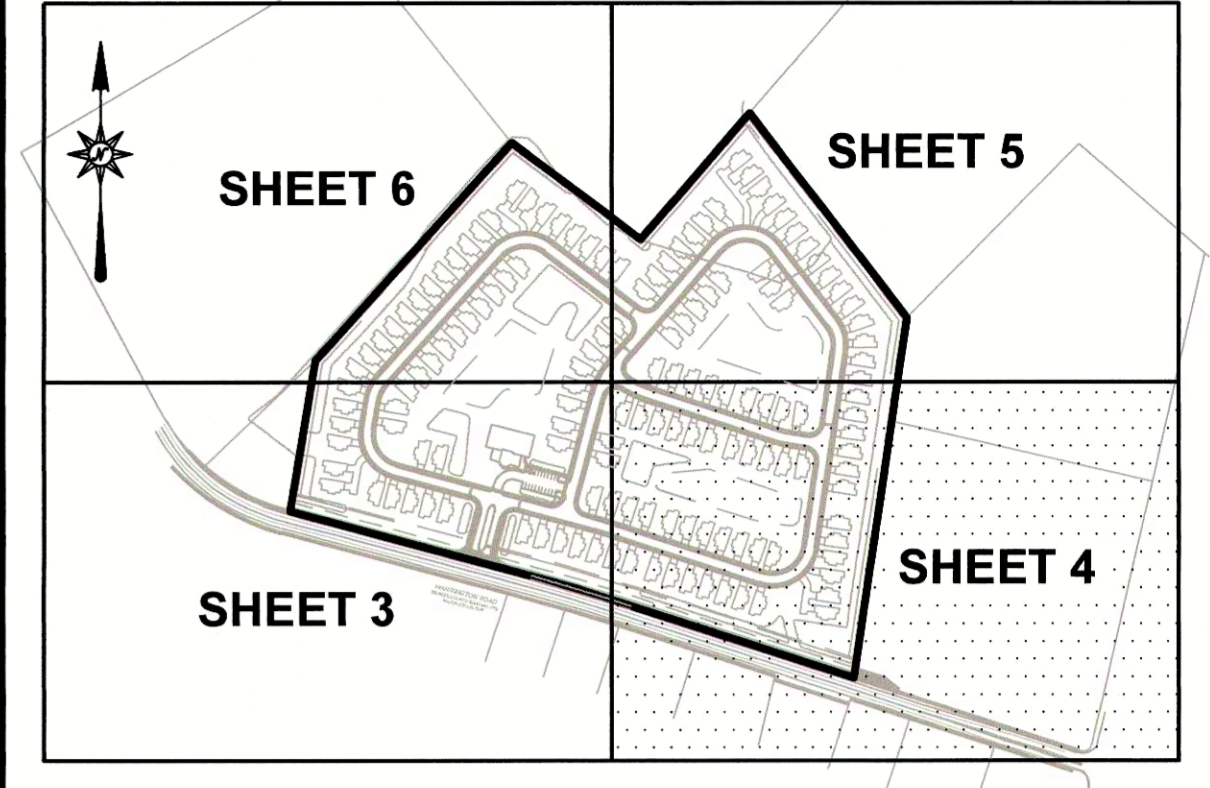
"STATES OF SEA CHASE"  
LANDS N/F OF  
ROBINO-SEA CHASE, LLC  
TP# 3-34-12-00-124.00  
DB 2003, PG 28  
ZONING RR-1 (CU #1276)  
DENRTP#6-0-0-0-0-0-0

SITE BENCHMARK  
IRON PIPE FOUND (TYP.)  
VERT. (NAVD 83)  
LAT: 38.7196811°  
LONG: -75.1346213°  
ELEV. = 28.56'  
FROM MERESTONE

E=5280.32'  
N=280.31'  
H=N73°30'31"W 280.28'

A 16-FOOT WIDE PERMANENT EASEMENT IS HEREBY ESTABLISHED TO THE STATE OF DELAWARE, AS PER THE RECORD PLAT.

AN ADDITIONAL 10 FEET OF RIGHT-OF-WAY IS HEREBY DEDICATED TO THE STATE OF DELAWARE AS PER THE RECORD PLAT.



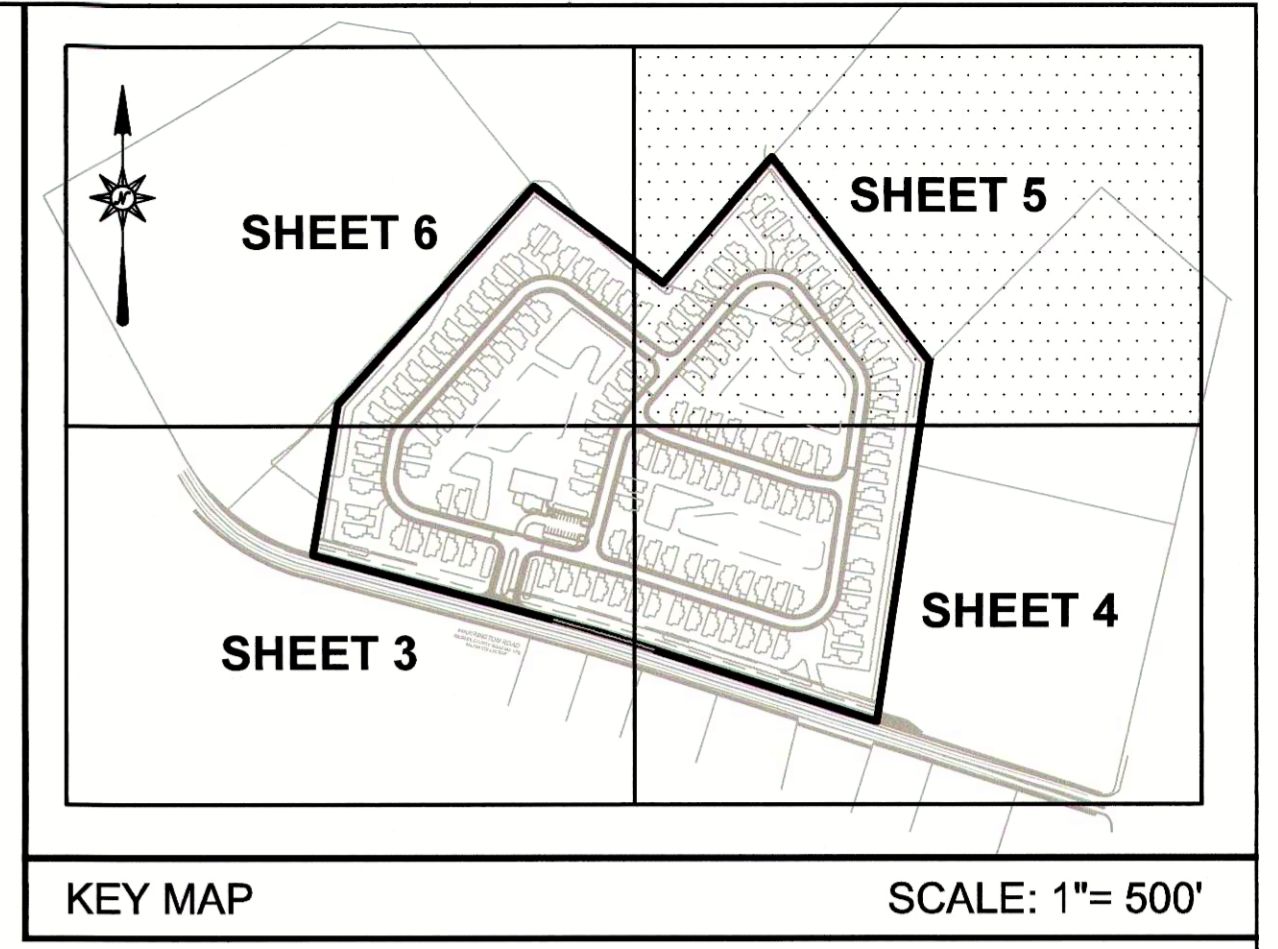
KEY MAP SCALE: 1" = 500'



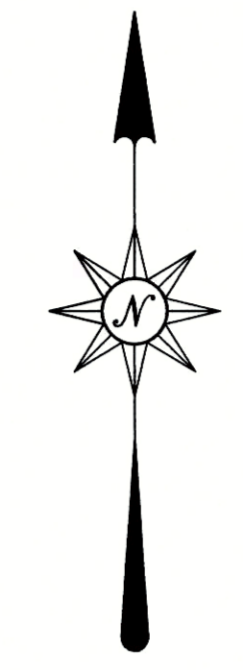
**FINAL SITE PLAN FOR**  
**ARBOR LYN REHOBOTH BEACH, L.L.C.**  
SITUATE IN: LEWES AND REHOBOTH HUNDRED, SUSSEX COUNTY, DELAWARE

02-25-19	02-06-19	10-18-18	date		
MV	JS	MV	checked		
ADDRESS SUSSEX COUNTY	2nd REVIEW COMMENTS	ADDRESS SUSSEX COUNTY	ENGINEERING COMMENTS		
ADDRESS SUSSEX COUNTY	ENGINEERING COMMENTS	ADDRESS SUSSEX COUNTY	ENGINEERING COMMENTS		
PREPARED FOR: LIMITLESS DEVELOPMENT CONSULTING 26412 BROADKILL ROAD MILTON, DE 19966 PHONE: 302-664-3200 EMAIL: info@ltdcwoodesigns.com				OWNERS(S): ARBOR LYN REHOBOTH BEACH, LLC 26412 BROADKILL ROAD MILTON, DE 19966 PHONE: 302-664-3200 EMAIL: dm@ltdcwoodesigns.com	
SURVEY BY: MCI					SCALE: 1" = 50'
DESIGNED BY: JG, MV, BR					
DRAWN BY: JG, MV					
CHECKED BY: DS, BR				DRAWING NO.: 2860/ENGIN/CAD/SITE PLANS/04	

PREPARED BY: MCI  
DESIGNED BY: JG, MV, BR  
DRAWN BY: JG, MV  
CHECKED BY: DS, BR

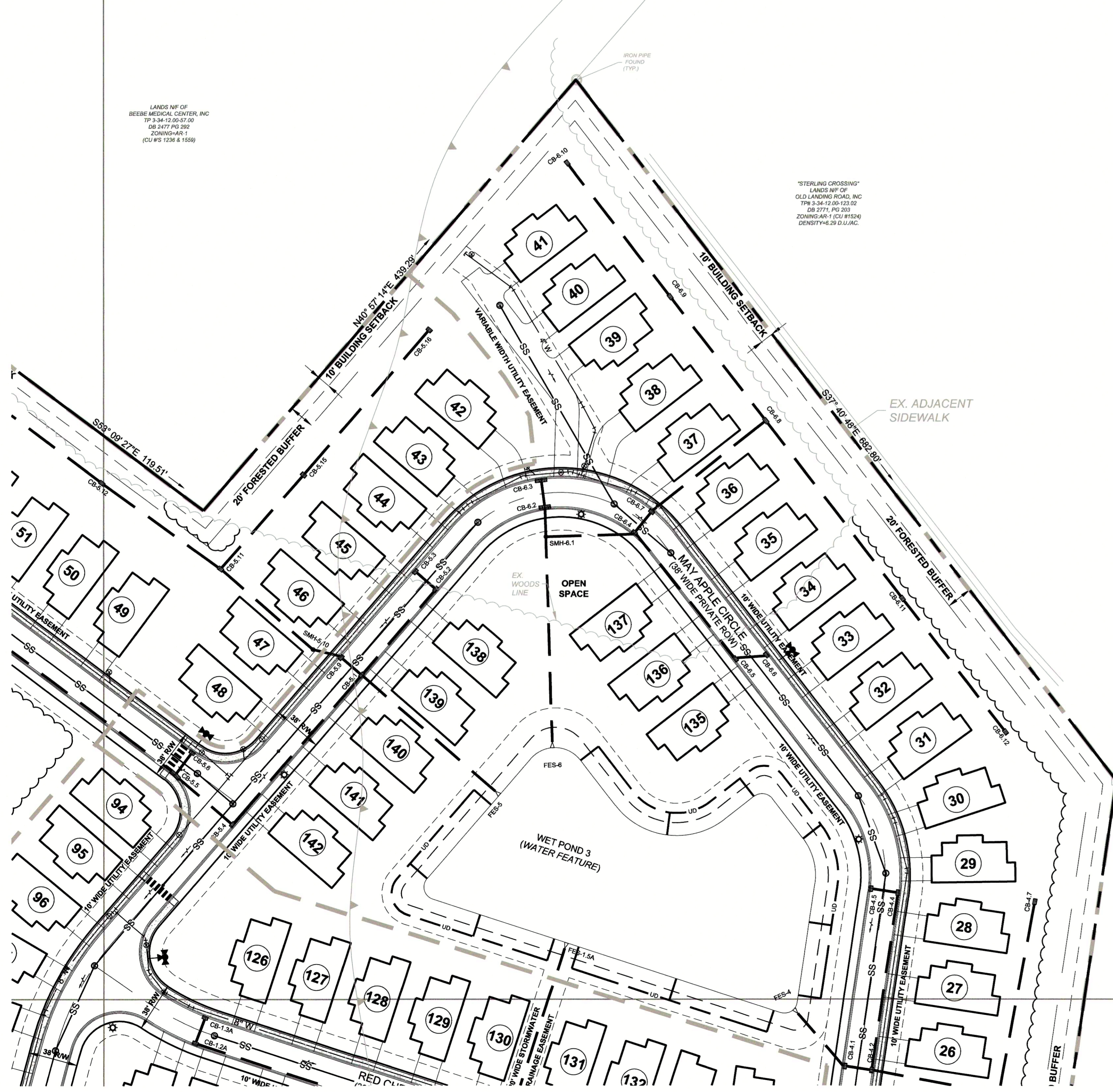


KEY MAP SCALE: 1"= 500'



SEE SHEET 6 FOR CONTINUATION

SEE SHEET 4 FOR CONTINUATION



LANDS NF OF  
BEERE MEDICAL CENTER, INC  
TP 3-34-12-00-123.02  
DB 3477 PG 292  
ZONING:AR-1  
(CU #S 1236 & 1558)

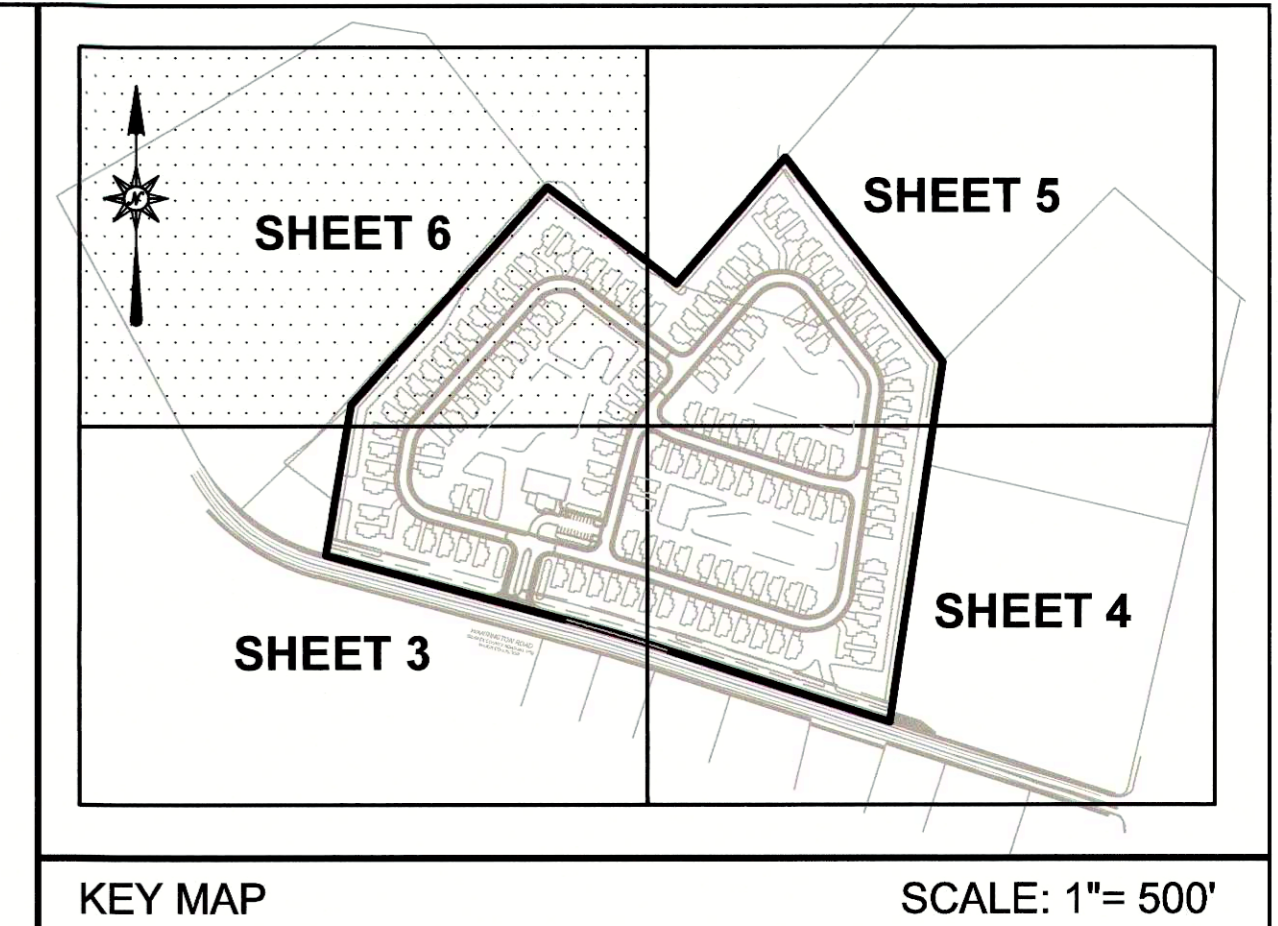
"STERLING CROSSING"  
LANDS NF OF  
OLD LANDING ROAD, INC  
TP 3-34-12-00-123.02  
DB 3771 PG 201  
ZONING:AR-1 (CU #1524)  
DENSITY:4.29 CU/LAC.

"STATES OF SEA CHASE CONDO"  
LANDS NF OF  
ROBNO-SEA CHASE, LLC  
TP 3-34-12-00-124.02  
DB 3863 PG 24  
ZONING:HR-1 (CU #1376)  
DENSITY:1.64 CU/LAC.

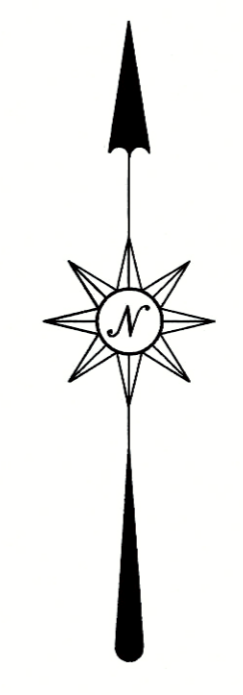
**FINAL SITE PLAN  
FOR  
ARBOR LYN REHOBOTH BEACH, L.L.C.**  
SITUATE IN: LEWES AND REHOBOTH HUNDRED, SUSSEX COUNTY, DELAWARE

02-25-19	02-06-19	10-16-18	date	
MV	JS	MV	checked	
ADDRESS SUSSEX COUNTY	ADDRESS SUSSEX COUNTY	ADDRESS SUSSEX COUNTY	revisions	
3rd REVIEW COMMENTS	2nd REVIEW COMMENTS	ENGINEERING COMMENTS		
<b>PREPARED FOR:</b> LIMITLESS DEVELOPMENT CONSULTING 26412 BROADKILL ROAD MILTON, DE 19968 PHONE: 302-684-3260 EMAIL: info@lockwooddesigns.com			<b>OWNER(S):</b> ARBOR LYN REHOBOTH BEACH, LLC 26412 BROADKILL ROAD MILTON, DE 19968 PHONE: 302-684-3260 EMAIL: ds@lockwooddesigns.com	
<b>SURVEY BY:</b> MCI			<b>SCALE:</b> 1" = 50' 0 50' 100'	
<b>DESIGNED BY:</b> JG, MV, BR			<b>DATE:</b> 08/24/2018	
<b>DRAWN BY:</b> JG, MV			<b>SHEET:</b> S5 OF 7	
<b>CHECKED BY:</b> DS, BR			<b>DRAWING NO.:</b> 2860/ENG/CAD/SITE PLANS/05	

*Chris Adams*

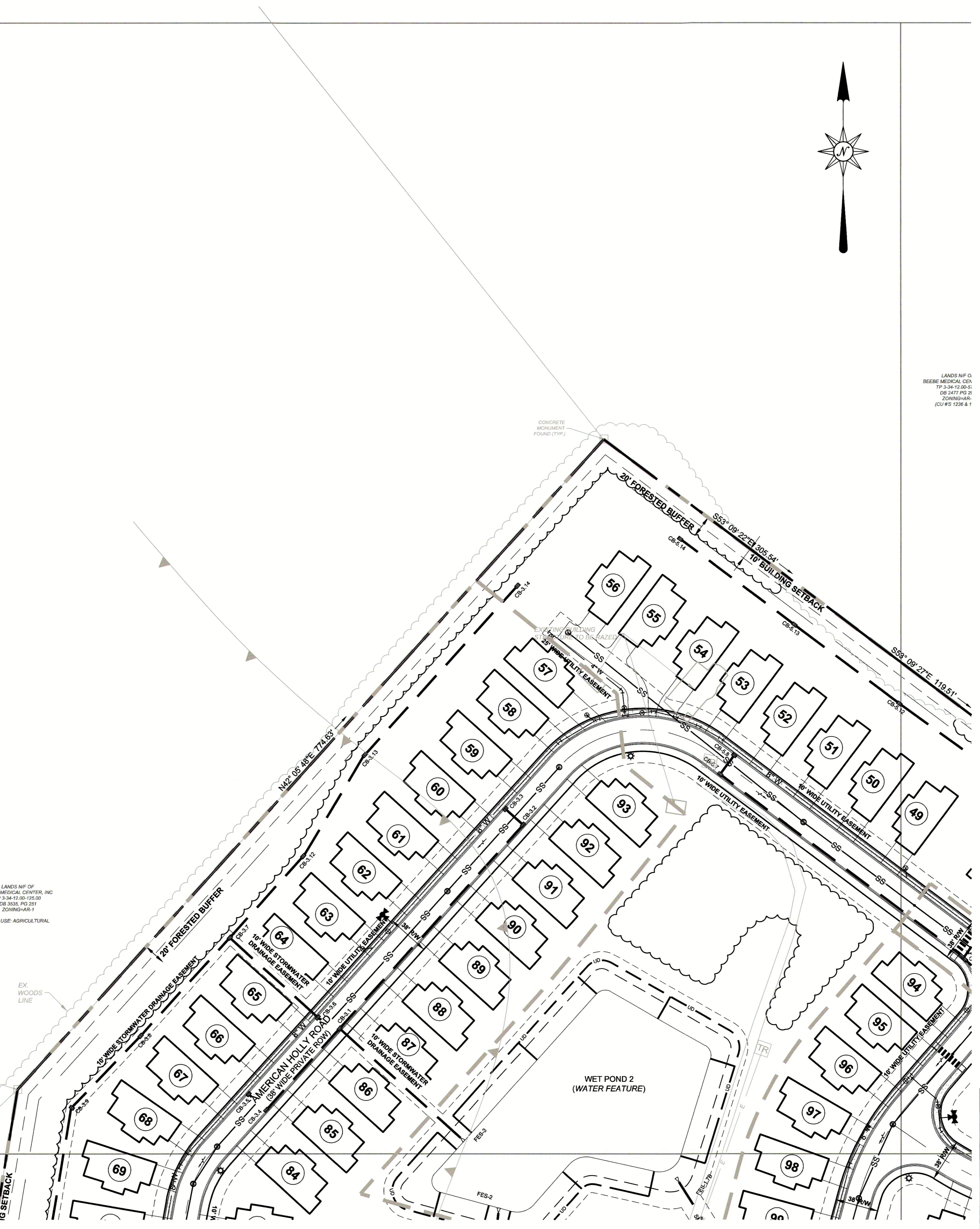


KEY MAP SCALE: 1" = 50'



LANDS MAP OF  
BEEBE MEDICAL CENTER  
TP 3-34-12 00-S  
DB 3417 PG 2  
ZONING: A-1  
(CU #S 1236 & 7)

LANDS MAP OF  
BEEBE MEDICAL CENTER, INC  
TP 3-34-12 00-S  
DB 3433 PG 251  
ZONING: A-1  
LAND USE: AGRICULTURAL

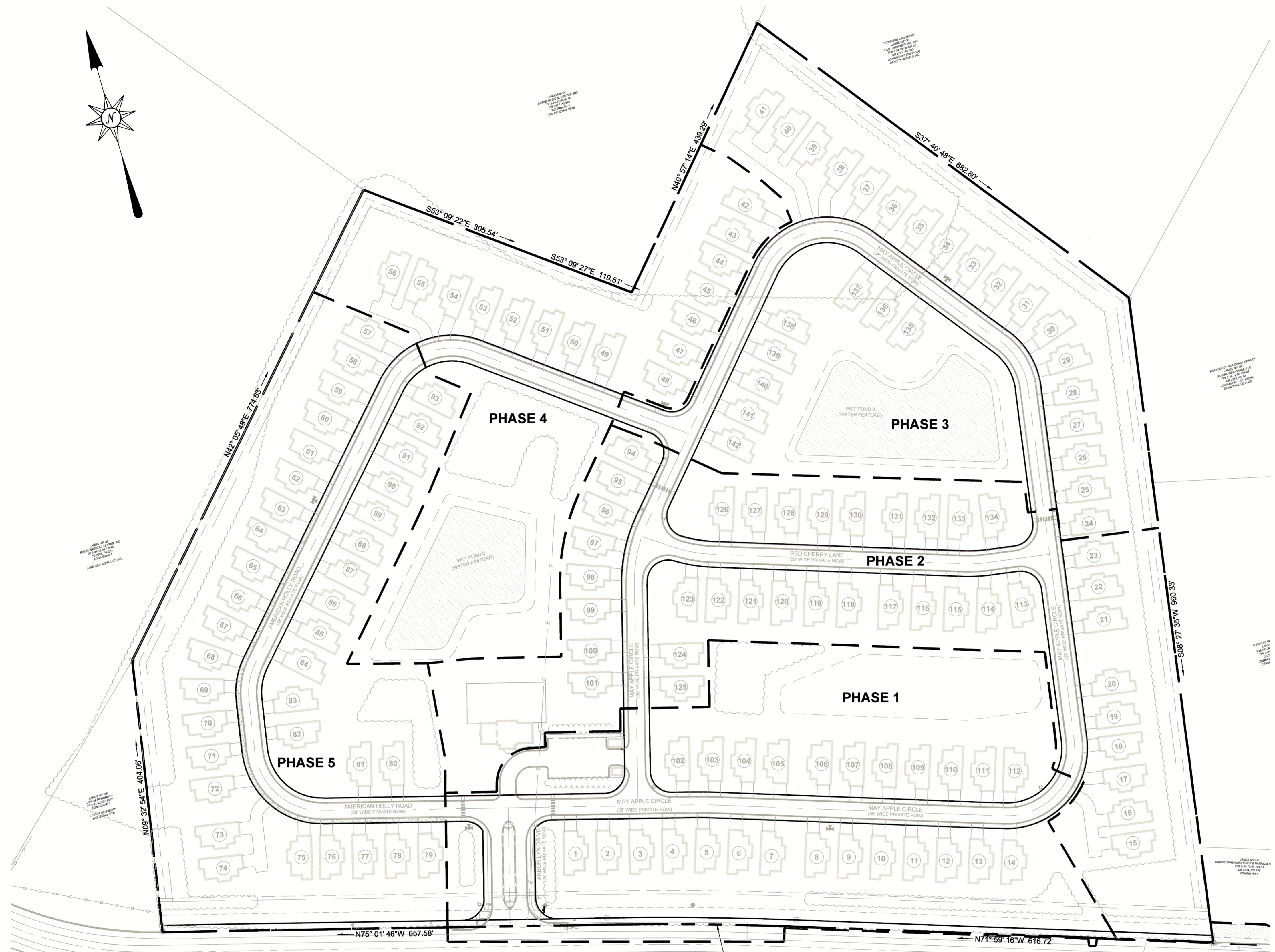
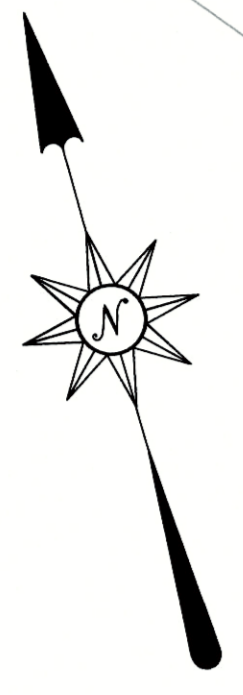


SEE SHEET 5 FOR CONTINUATION

SEE SHEET 3 FOR CONTINUATION

**FINAL SITE PLAN FOR**  
**ARBOR LYN REHOBOTH BEACH, L.L.C.**  
SITUATE IN: LEWES AND REHOBOTH HUNDRED, SUSSEX COUNTY, DELAWARE

02-25-19	02-25-19	date	
MV	JG	checked	
ADDRESS SUSSEX COUNTY RECAP COMMENTS	MV	10-18-18	
ADDRESS SUSSEX COUNTY ENGINEERING COMMENTS			
PREPARED FOR: LIMITLESS DEVELOPMENT CONSULTING 26412 BROADKILL ROAD MILTON, DE 19968 PHONE: 302-684-3260 EMAIL: info@lckwooddesigns.com			OWNER(S): ARBOR LYN REHOBOTH BEACH, LLC 26412 BROADKILL ROAD MILTON, DE 19968 PHONE: 302-684-3260 EMAIL: gail@lckwooddesigns.com
SURVEY BY: MCI		SCALE: 1" = 50'	
DESIGNED BY: JG, MV, BR		DATE: 08/24/2018 SHEET: S6 OF 7	
DRAWN BY: JG, MV		DRAWING NO.: 2880ENGCAD/SITE PLANS06	
CHECKED BY: DS, BR			



WARRINGTON ROAD  
(SUSSEX COUNTY ROAD NO. 275)  
MAJOR COLLECTOR

R=5280.32'  
A=280.31'  
Δ=3°02'30"  
CH=N73°30'31"W 280.28'

**PHASING PLAN  
FOR  
ARBOR LYN REHOBOTH BEACH, L.L.C.**  
SITUATE IN: LEWES AND REHOBOTH HUNDRED, SUSSEX COUNTY, DELAWARE

NO. OF REVISIONS	DATE	BY	DESCRIPTION
0	02-25-19	MV	PREPARED FOR
1	02-06-19	JG	DESIGNED BY
2	10-16-18	MV	DRAWN BY
3			CHECKED BY

<b>PREPARED FOR:</b> LIMITLESS DEVELOPMENT CONSULTING 26412 BROADKILL ROAD MILTON, DE 19968 PHONE: 302-684-3260 EMAIL: info@ltdesigns.com	<b>OWNER(S):</b> ARBOR LYN REHOBOTH BEACH, LLC 26412 BROADKILL ROAD MILTON, DE 19968 PHONE: 302-684-3260 EMAIL: dal@ltdesigns.com
<b>SURVEY BY:</b> MCI <b>DESIGNED BY:</b> JG, MV, BR <b>DRAWN BY:</b> JG, MV <b>CHECKED BY:</b> DS, BR	<b>SCALE:</b> 1" = 80' 
<b>DATE:</b> 02/27/2019 <b>SHEET:</b> S7 OF 7 <b>DRAWING NO.:</b> 2860ENGCAD/SITE PLANS/07	

**Karins and Associates**  
ENGINEERS • PLANNERS • SURVEYORS  
GEORGETOWN, DE & NEWARK, DE  
www.karinsengineering.com  
128 WEST MARKET STREET  
GEORGETOWN, DELAWARE 19947  
PHONE: (302) 858-4331 FAX: (302) 629-2175

*David A. Karins*



# PRELIMINARY SITE PLAN FOR HOCKER'S SUPER CENTER - CARWASH MILLVILLE INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**GENERAL NOTES**

- These drawings show information obtained from the best available records regarding pipes, conduits, telephone lines, and other structures and conditions which exist along the lines of the work at and below the surface of the ground. The owner and engineer disclaim any responsibilities for the accuracy or completeness of said information given. If the contractor relies on said information, he does so at his own risk. The giving of the information on the contract drawings will not relieve the contractor of his obligations to support and protect all pipes, conduit, telephone lines, and other structures/improvements.
- The contractor shall notify the following, two (2) weeks prior to the start of construction and shall coordinate construction and erosion control with the utility companies involved:
 

Miss Utility.....	1-800-282-8555
Sussex County Soil Conservation District.....	1-302-856-2105
Sussex County Department of Public Works.....	1-302-855-7703
Larson Engineering Group, Inc.....	1-302-731-7434
- All construction shall be marked for traffic and pedestrian safety.
- The contractor shall provide all equipment, labor, and materials for any miscellaneous or test pit excavations required by the engineer.
- The owner is responsible for the acquisition of all easements, both permanent and temporary.
- The contractor assumes all responsibility for any deviations from these plans unless said deviation is approved by the engineer. Contractor shall receive written permission from the engineer if a deviation of the plans is necessary.
- All sidewalks shall meet each door at finished floor elevation.
- All disturbed areas shall be smoothly graded to provide positive drainage in the direction of flow arrows herein and stabilized with topsoil, seed, and mulch. If settlement occurs, topsoil seed, and mulching shall be repeated until settlement subsides (see erosion and sediment control specifications).
- Trenches shall not remain open overnight. If it is necessary for trenches to remain open, steel plates capable of bearing traffic shall be used to completely cover the trench openings.
- All sediment and erosion control facilities shall conform to Delaware Erosion and Sediment Control Handbook February 2019, or newest edition.
- All fire lanes, fire hydrants, and Fire Department connections shall be marked in accordance with the State Fire Protection regulations.
- Topography was field generated by Larson Engineering Group, Inc. in July 2019.
- Boundary information was prepared by Larson Engineering Group, Inc..
- The Sussex Conservation District reserves the right to add, modify or delete any erosion and sediment control measures as it deems necessary.
- All construction/demolition debris shall be removed off-site to an approved solid waste facility.
- All construction shall be done in accordance with Delaware Department of Transportation Standard Specifications for Road and Bridge Construction, dated August 2016, and Standard Construction Details, dated 2018 or as updated.
- All sidewalk, handicap accessible features and parking spaces are to be constructed and signage placed in accordance with A.D.A. regulations.
- This site was inspected for wetlands by Watershed ECO in August 2019 and no wetlands were found.
- The site is not located in the 100 year flood plain per F.I.R.M # 10005C0495K and dated 3/16/2015.
- The Owner: Hocker's Super Center Properties, LLC assumes maintenance of the stormwater management facilities shown hereon, after project completion.



**SHEET INDEX**

- PRELIMINARY SITE PLAN - RP-1  
TITLE SHEET
- PRELIMINARY SITE PLAN RP-2

**DATA COLUMN**

Plan Purpose: Show Site Plan revisions to accommodate a new Car Wash facility. The existing Car Wash is to be demolished as part of this plan.

Tax Parcel Number: 134-12.00-330.01  
134-12.00-331.00  
134-12.00-332.00  
134-12.00-333.00  
134-12.00-334.00

Owner: Parcel 134-12.00-330.01/331.00  
Hocker's Super Center Properties, LLC  
P.O. Box 930  
Oceanview, DE 19970

Parcel 134-12.00-332.00/333.00/334.00  
Commercial Joint Venture, LLC  
38489 Hickman Road  
Oceanview, DE 19970

Site Area: -330.01.....9.1923 Acres  
-331.00.....0.5722 Acres  
-332.00.....0.4106 Acres  
-333.00.....0.9055 Acres  
-334.00.....0.9631 Acres  
-TOTAL.....12.0437 Acres

Zoning: C-1

Building Setback: Front = 60'  
Side = 5' (25' Adjoining a residential District)  
Rear = 5' (30' Adjoining a residential District)

Building Area: Existing Grocery Store/Retail - 62,000 Sq. Ft.  
Proposed Car Wash - 3,911 Sq. Ft.  
Total - 65,911 Sq. Ft.

Parking Required: Existing Grocery Store/Retail - 1 space per 200 Sq. Ft. = 310 Spaces  
Carwash - Coin-do-it yourself 2 at waiting area for each lane: 1 at exit area for each lane = 12 spaces  
Coin-operated automatic drive-thru, 4 at waiting area for each lane: 2 at exit area for each lane = 12 spaces  
Total = 322 Spaces

Parking Provided: 334 Spaces

Sewer Service: Sussex County (Gravity)

Water Service: Existing Private Well

**OWNER'S CERTIFICATION**  
(PARCELS: 134-12.00-332.00, 134-12.00-333.00 & 134-12.00-334.00)

I, \_\_\_\_\_, hereby certify that I am the owner of the property described and shown on this plan, that the plan was made at my direction, and that I acknowledge the same to be my act and desire the plan to be developed as shown all in accordance with applicable laws and regulations.

Signature \_\_\_\_\_ Date \_\_\_\_\_  
Owner: Commercial Joint Venture, LLC  
38489 Hickman Road  
Oceanview, DE 19970  
Phone: \_\_\_\_\_

**OWNER'S CERTIFICATION**  
(PARCELS: 134-12.00-330.01 & 134-12.00-331.00)

I, \_\_\_\_\_, hereby certify that I am the owner of the property described and shown on this plan, that the plan was made at my direction, and that I acknowledge the same to be my act and desire the plan to be developed as shown all in accordance with applicable laws and regulations.

Signature \_\_\_\_\_ Date \_\_\_\_\_  
Owner: Hocker's Super Center Properties, LLC  
P.O. Box 930  
Oceanview, DE 19970  
Phone: \_\_\_\_\_

**ENGINEER'S CERTIFICATION**

I, George H. Larson, Jr. PE, hereby certify that I am a Registered Engineer, Land Surveyor, or Architect in the State of Delaware, that the information shown hereon has been prepared under my supervision and to the best of my knowledge and belief represents good engineering, surveying, and/or architectural practices as required by the applicable laws of the State of Delaware.

Date \_\_\_\_\_ Signature \_\_\_\_\_  
George H. Larson Jr. Engineer

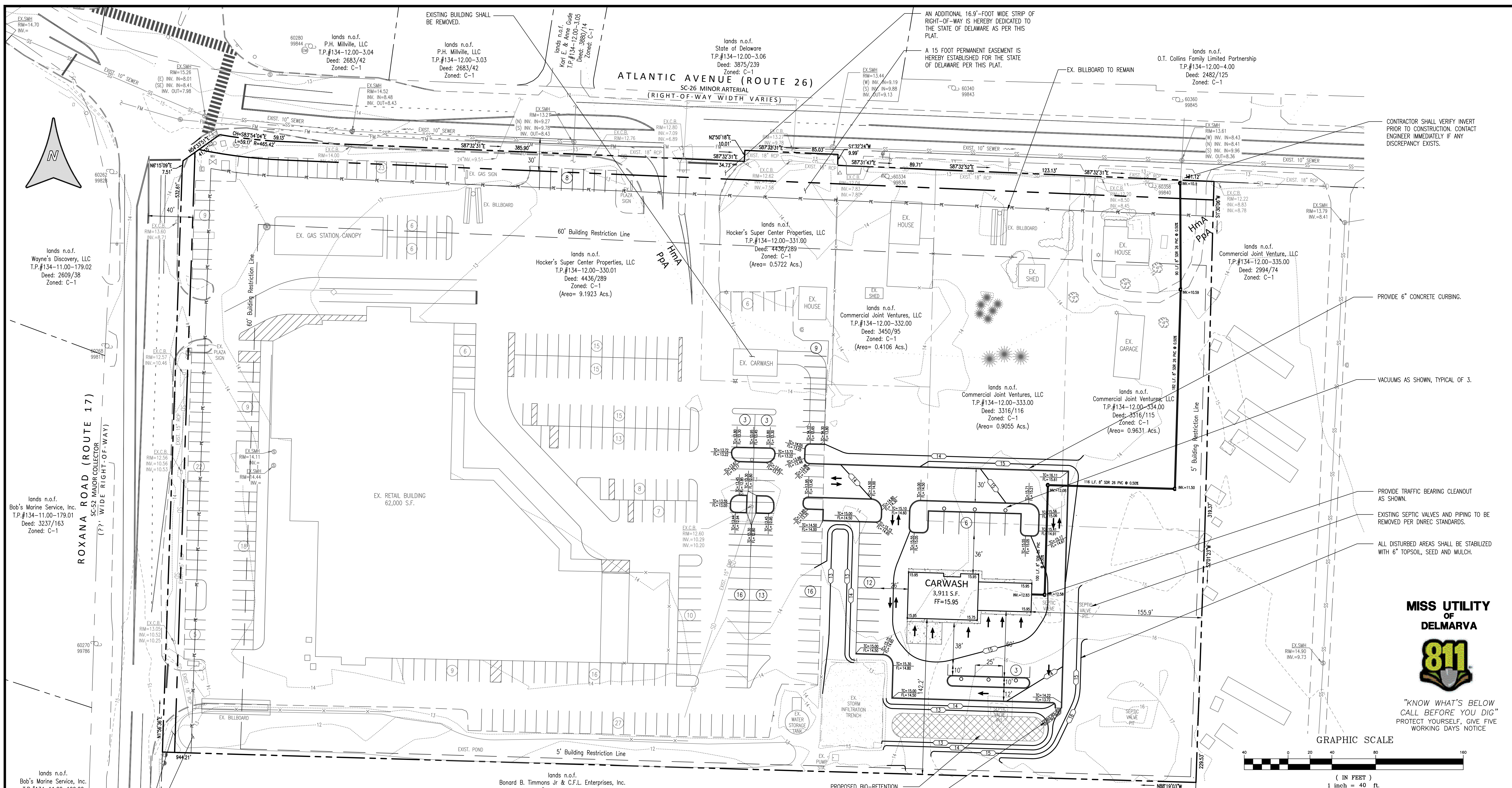
**SUSSEX COUNTY APPROVAL**

Sussex County \_\_\_\_\_ Date \_\_\_\_\_

Agreement No. \_\_\_\_\_

Notice: These drawings and design are the exclusive property of Larson Engineering Group, Inc., and shall not be used, altered or copied without written permission.

DATE 9/12/19	SCALE AS NOTED	PRELIMINARY SITE PLAN - TITLE SHEET  FOR  <b>HOCKER'S SUPER CENTER * MILLVILLE</b>  INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE PREPARED FOR: Hocker's Super Center Properties, LLC	CADD FILE: PrelimPhase1_Millville
JOB NO.	DRAWN BY YATuroczy		
APPLICATION NO.	DESIGNED BY: DULberman	<b>LARSON</b> <b>ENGINEERING GROUP INC.</b> CIVIL ENGINEERING & LAND PLANNING  910 SOUTH CHAPEL STREET • SUITE 200 NEWARK, DE 19713 Phone: (302) 731-7434 Fax: (302) 731-8211	SHEET NO. : RP - 1
APPROVED BY: DULberman	CHECKED BY: DULberman		
DATE 10/3/19	REVISION Per Sussex County Planning		
DATE	SEAL		



lands n.o.f. P.H. Millville, LLC  
T.P.#134-12.00-3.04  
Deed: 2683/42  
Zoned: C-1

lands n.o.f. State of Delaware  
T.P.#134-12.00-3.06  
Deed: 3875/239  
Zoned: C-1

lands n.o.f. Hocker's Super Center Properties, LLC  
T.P.#134-12.00-331.00  
Deed: 4436/289  
Zoned: C-1  
(Area= 0.5722 Ac.)

lands n.o.f. Hocker's Super Center Properties, LLC  
T.P.#134-12.00-330.01  
Deed: 4436/289  
Zoned: C-1  
(Area= 9.1923 Ac.)

lands n.o.f. Commercial Joint Ventures, LLC  
T.P.#134-12.00-332.00  
Deed: 3450/95  
Zoned: C-1  
(Area= 0.4106 Ac.)

lands n.o.f. Commercial Joint Ventures, LLC  
T.P.#134-12.00-333.00  
Deed: 3316/116  
Zoned: C-1  
(Area= 0.9055 Ac.)

lands n.o.f. Commercial Joint Ventures, LLC  
T.P.#134-12.00-334.00  
Deed: 3316/115  
Zoned: C-1  
(Area= 0.9631 Ac.)

lands n.o.f. Wayne's Discovery, LLC  
T.P.#134-11.00-179.02  
Deed: 2609/38  
Zoned: C-1

lands n.o.f. Bob's Marine Service, Inc.  
T.P.#134-11.00-179.01  
Deed: 3237/163  
Zoned: C-1

lands n.o.f. Bob's Marine Service, Inc.  
T.P.#134-11.00-199.00  
Deed: 3237/165  
Zoned: C-1

lands n.o.f. Bonard B. Timmons Jr & C.F.L. Enterprises, Inc.  
T.P.#134-12.00-330.00  
Deed: 2980/46  
Zoned: C-1  
AGRICULTURAL USE

AN ADDITIONAL 16.9'-FOOT WIDE STRIP OF RIGHT-OF-WAY IS HEREBY DEDICATED TO THE STATE OF DELAWARE AS PER THIS PLAT.

A 15 FOOT PERMANENT EASEMENT IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE PER THIS PLAT.

AN ADDITIONAL 17.9'-FOOT WIDE STRIP OF RIGHT-OF-WAY IS HEREBY DEDICATED TO THE STATE OF DELAWARE AS PER THIS PLAT.

A 15 FOOT PERMANENT EASEMENT IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE PER THIS PLAT.

CONTRACTOR SHALL VERIFY INVERT PRIOR TO CONSTRUCTION. CONTACT ENGINEER IMMEDIATELY IF ANY DISCREPANCY EXISTS.

PROVIDE 6" CONCRETE CURBING.

VACUUMS AS SHOWN, TYPICAL OF 3.

PROVIDE TRAFFIC BEARING CLEANOUT AS SHOWN.

EXISTING SEPTIC VALVES AND PIPING TO BE REMOVED PER DNREC STANDARDS.

ALL DISTURBED AREAS SHALL BE STABILIZED WITH 6" TOPSOIL, SEED AND MULCH.

MISS UTILITY OF DELMARVA 811

"KNOW WHAT'S BELOW. CALL BEFORE YOU DIG". PROTECT YOURSELF. GIVE FIVE WORKING DAYS NOTICE.

GRAPHIC SCALE  
( IN FEET )  
1 inch = 40 ft.

**SOILS LEGEND**

HmA - Hammonton loamy sand, 0 to 2 percent slopes

PpA - Pepperbox loamy sand, 0 to 2 percent slopes

**LEGEND**

EXISTING CONTOUR	---	EXISTING FIRE HYDRANT	⊕
PROPOSED CONTOUR	---33.3---	PROPOSED FIRE HYDRANT	⊕
PROPOSED SPOT ELEVATION	33x33	EXISTING WATER VALVE	⊕
CURB ELEVATION	TC=55.55 FL=55.55	PROPOSED WATER VALVE	⊕
EXISTING STORM DRAIN LINE	SD	EXISTING UTILITY POLE	⊕
EXISTING SAN. SEWER LINE	SS	EXISTING TELEPHONE PEDESTAL	⊕
PROPOSED SAN. SEWER LINE	---	SIGN	⊕
SANITARY SEWER MANHOLE	⊕	BOLLARD	⊕
EXISTING SEWER CLEANOUT	⊕	EXISTING DECIDUOUS TREE	⊕
PROPOSED SEWER CLEANOUT	⊕ C.O.		
EXISTING WATER LINE	W		
PROPOSED WATER LINE	---		

DATE: 9/12/19		SCALE: 1"=40'		PRELIMINARY SITE PLAN	
JOB NO.		DRAWN BY: YATuroczy		FOR:	
APPLICATION NO.		DESIGNED BY: DJLiberman		FOR:	
APPROVED BY: DJLiberman		CHECKED BY: DJLiberman		<b>HOCKER'S SUPER CENTER * MILLVILLE</b>	
DATE: 10/3/19		REVISION: Per Sussex County Planning		INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE	
				PREPARED FOR: Hocker's Super Center Properties, LLC	
				<p><b>LARSON</b> ENGINEERING GROUP INC. CIVIL ENGINEERING &amp; LAND PLANNING</p> <p>910 SOUTH CHAPEL STREET • SUITE 200 NEWARK, DE 19713 Phone: (302) 731-7434 Fax: (302) 731-8211</p>	
DATE		SEAL			

CADD FILE: PrelimPhase1\_Millville

SHEET NO.: RP-2

**PROJECT INFORMATION**

**SCOPE OF WORK:** THIS PROPOSAL IS FOR AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF THE PLACEMENT OF PANEL ANTENNAS ON A PROPOSED MONOPOLE, EQUIPMENT CABINETS ON A CONCRETE PAD WITH CANOPY, AN OUTDOOR STANDBY GENERATOR, AND ASSOCIATED APPURTENANCES WITHIN A PROPOSED FENCED COMPOUND.

**LATITUDE (TOWER):** N 38° 41' 21.7" (NAD 83)  
**LONGITUDE (TOWER):** W 75° 19' 59.0" (NAD 83)  
**GROUND ELEVATION (TOWER):** 42.3± (NAVD 88)  
**JURISDICTION:** SUSSEX COUNTY  
**ZONING DISTRICT CLASSIFICATION:** AR-1 - AGRICULTURAL RESIDENTIAL  
**TAX ID:** 234-08.00-2.03  
**SITE ADDRESS:** 24009 SPRINGFIELD ROAD  
 GEORGETOWN, DE 19947  
 SUSSEX COUNTY

**PARCEL SIZE:** 43.92± ACRES  
**EXISTING USE:** AGRICULTURAL  
**PROPOSED USE:** TELECOMMUNICATIONS FACILITY AND ALL CURRENTLY APPROVED USES  
**PROPERTY OWNER:** SPRINGFIELD HISTORIC PRESERVATION LLC  
 122 W MARKET ST  
 GEORGETOWN, DE 19947

**PROPERTY OWNER CONTACT:** JAMES EVERETT MOORE  
 302-856-6855

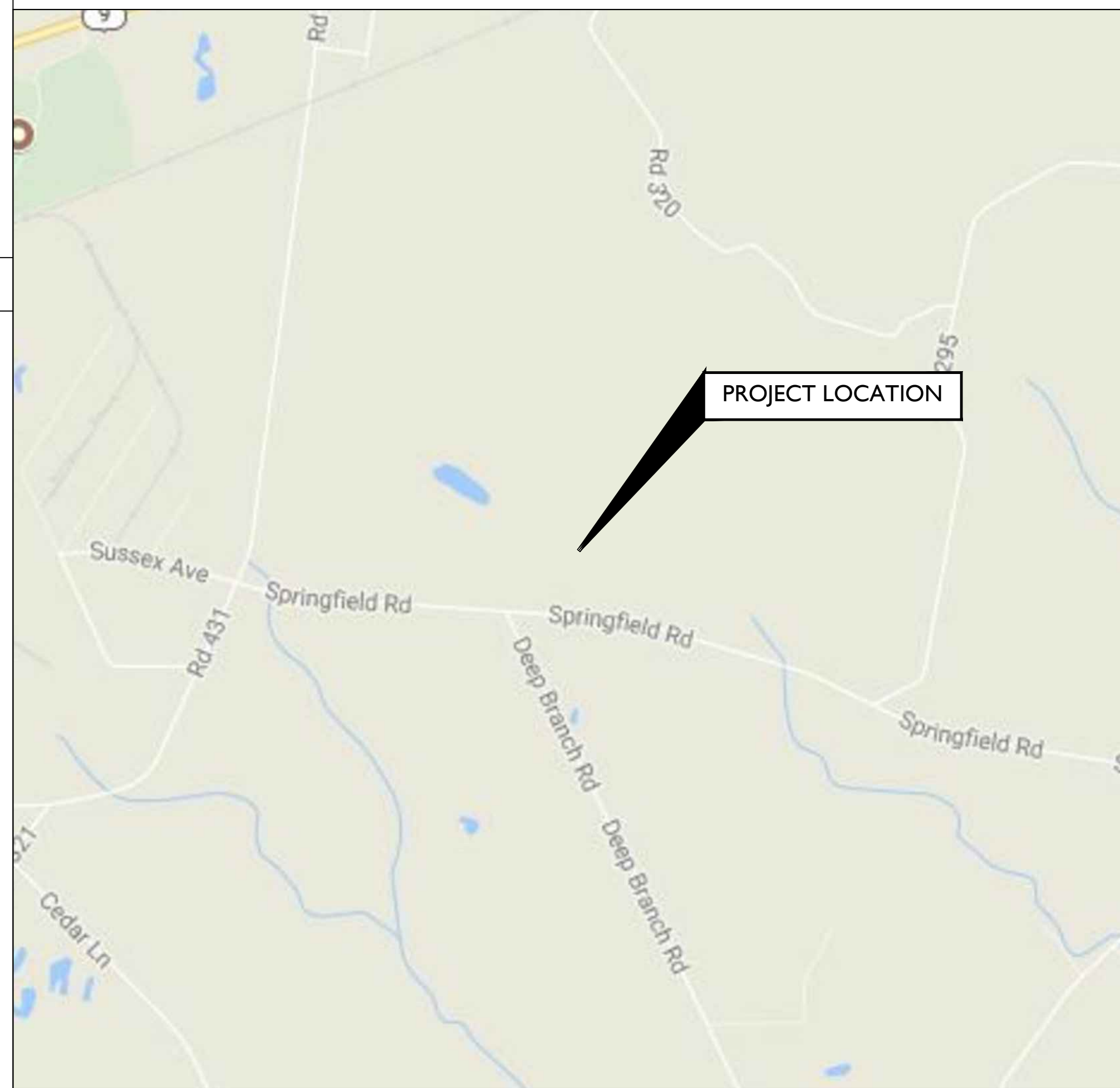
**NAME OF APPLICANT:** CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS  
 512 TOWNSHIP LINE ROAD BUILDING 2, FLOOR 3  
 BLUE BELL, PA 19422

**SPECIAL USE EXCEPTION CASE NUMBER:** 12128, DECISION DATED 04/16/18

# CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS

## SITE NAME: DOV SPRINGFIELD HOLLIS

**LOCATION MAP**



NOT TO SCALE

**APPLICABLE BUILDING CODES AND STANDARDS**

SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

**BUILDING CODE:** 2012 INTERNATIONAL BUILDING CODE  
**NATIONAL ELECTRICAL CODE:** NEC 2014  
**FIRE/LIFE SAFETY CODE:** DELAWARE STATE FIRE PREVENTION REGULATIONS 2015  
**CONSTRUCTION TYPE:** 11B NONCOMBUSTIBLE/UNPROTECTED  
**USE GROUP:** U - UTILITY AND MISCELLANEOUS

SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS.  
 AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE  
 AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD, NINTH EDITION  
 TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-G, STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES:  
 TIA 607, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS

INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM  
 IEEE 1100 (1999) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRONIC EQUIPMENT

IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE")

TELCORDIA GR-1275, GENERAL INSTALLATION REQUIREMENTS  
 TELCORDIA GR-1503, COAXIAL CABLE CONNECTIONS

ANSI T1.311, FOR TELECOM - DC POWER SYSTEMS - TELECOM, ENVIRONMENTAL PROTECTION

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

**DRAWING INDEX**

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**CONTACT INFORMATION**

	NAME	COMPANY	PHONE NUMBER
A&E	MICHAEL CLEARY	MASER CONSULTING P.A.	856-797-0412
SAC	SUE MANCHEL	WIRELESS ACCESS TECHNOLOGIES, INC	267-253-2762
CONST	TARRA GOSNELL	VERIZON WIRELESS	610-213-8382
UTILITIES			
POWER		DELAWARE ELECTRIC CO-OP	1-855-332-9090
TELCO		VERIZON	1-800-VERIZON
EMERGENCY	NAME	ADDRESS	PHONE NUMBER
POLICE	GEORGETOWN POLICE DEPARTMENT	335 N RACE ST GEORGETOWN, DE 19947	302-856-6613
FIRE	GEORGETOWN VOLUNTEER FIRE CO.	100 S BEDFORD ST GEORGETOWN, DE 19947	305-856-7700

IN CASE OF EMERGENCY, CALL 911

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State of D.E. Certificate of Authorization: 2840

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**811**  
 Know what's below.  
 Call before you dig.

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**CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS**

512 TOWNSHIP LINE ROAD  
 BUILDING 2, FLOOR 3  
 BLUE BELL, PA 19422

REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY	APPROVED BY
3	10/08/19	ISSUED FOR CONSTRUCTION	SLM	MEG	MPC
2	06/19/19	ISSUED FOR CONSTRUCTION	SLM	MEG	MPC
1	06/11/19	ISSUED FOR CONSTRUCTION	AN	MPC	MPC
0	09/14/18	ISSUED FOR CONSTRUCTION	MJB	MPC	MPC
B	08/08/18	ISSUED FOR CONSTRUCTION REVIEW	MEG	MEG	MPC
A	05/23/18	ISSUED FOR CONSTRUCTION REVIEW	MJB	MEG	MPC

**MICHAEL P. CLEARY**  
 No. 19205  
 DELETED PROFESSIONAL ENGINEER - LICENSE NUMBER: 19205  
 DATE: \_\_\_\_\_

**MASER CONSULTING P.A.**  
 2000 Melrose Drive  
 Suite 100  
 Mount Laurel, NJ 08054  
 Phone: 856.797.0412  
 Fax: 856.722.1120  
 email: solutions@maserconsulting.com

**CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS**

SCALE: AS SHOWN | JOB NUMBER: 15960053A

SHEET TITLE: TITLE SHEET

SHEET NUMBER: T-1 | REV: 0

**GENERAL NOTES:**

1. THE PLAN SHOWS SOME SUBSURFACE STRUCTURES, ABOVE-GROUND STRUCTURES AND/OR OTHER FEATURES FROM FIELD MEASUREMENTS AND RECORD MAPPING, EXACT LOCATION OF WHICH MAY VARY FROM THE LOCATION INDICATED. IN PARTICULAR THE CONTRACTOR IS WARNED THAT THE EXACT LOCATION OF SUCH EXISTING FEATURES IN THE AREA MAY BE DIFFERENT FROM THAT SHOWN OR MAY NOT BE SHOWN, AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROCEED WITH GREATEST CARE IN EXECUTING ANY WORK.
2. CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL VERIFY EXISTING UTILITY LOCATIONS BY TEST PIT AS NECESSARY. LOCATION OF UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND FOR PLANNING PURPOSES ONLY.
3. NOTIFY THE STATE SPECIFIC ONE CALL SYSTEM 72 HOURS PRIOR TO ANY EARTH MOVING ACTIVITIES.
4. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
5. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED APPROVAL OF THE ENGINEER.
6. WORK SHALL COMPLY WITH CURRENT ISSUES OF ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES, AND REGULATIONS, THE LATEST EDITION THEREOF.
7. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENTAL AGENCIES. THE BUILDING PERMIT HAS BEEN APPLIED FOR BY VERIZON AND WILL BE PICKED UP BY THE CONTRACTOR AT THE PERMITS OFFICE.
8. ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
9. THE ENGINEER HAS NOT CONDUCTED, NOR DOES IT INTEND TO CONDUCT ANY INVESTIGATION TO DETERMINE THE PRESENCE OF ANY HAZARDOUS MATERIAL INCLUDING BUT NOT LIMITED TO ASBESTOS, LEAD PAINT, AND PCB'S WITHIN THE CONFINES OF THIS PROJECT. THE ENGINEER WILL NOT ACCEPT ANY RESPONSIBILITY FOR THE ABATEMENT OR RESULTING CLAIMS FOR DAMAGES OR LOSSES AS A RESULT OF THE PRESENCE OF HAZARDOUS MATERIALS. IF EVIDENCE OF HAZARDOUS MATERIALS IS DISCOVERED, SUSPEND WORK AS REQUIRED BY GOVERNING STATUTES, AND NOTIFY VERIZON REPRESENTATIVE. DO NOT PROCEED WITH WORK UNTIL INSTRUCTED BY VERIZON REPRESENTATIVE.
10. ALL MATERIAL FURNISHED UNDER THIS CONTRACT SHALL BE NEW UNLESS NOTED OTHERWISE. ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF TWELVE MONTHS FOLLOWING SUBSTANTIAL COMPLETION OF PROJECT OR AS SPECIFIED. THE CONTRACTOR SHALL REPAIR OR REPLACE AT HIS EXPENSE ALL WORK THAT MAY DEVELOP DEFECTS IN MATERIALS OR WORKMANSHIP WITHIN THE WARRANTY PERIOD.
11. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR ARE TO BE RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS AND DIMENSIONS AND THE LOCATION OF BURIED UTILITIES AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF WORK. NOTIFICATION MARKING TO BE DONE BY THE STATE SPECIFIC ONE CALL SYSTEM. NO CLAIMS FOR EXTRA COMPENSATION FOR WORK RESULTING FROM CONFLICTS AND OMISSIONS WHICH COULD HAVE BEEN DISCOVERED BY FIELD VERIFICATION AND INSPECTION, WHETHER INDICATED ON THE CONTRACT DOCUMENTS OR NOT, WILL BE ENTERTAINED OR PAID.
12. FOLLOW MANUFACTURERS' PRINTED SPECIFICATION AND INSTRUCTIONS EXCEPT WHERE SPECIFIED OR INDICATED ON CONTRACT DOCUMENTS. COMPLY WITH THE MOST STRINGENT INSTRUCTIONS.
13. THE CONTRACTOR SHALL VERIFY AND COORDINATE SIZE AND LOCATION OF ALL OPENINGS FOR STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, CIVIL, AND/OR ARCHITECTURAL WORK.
14. THE CONTRACTOR SHALL VERIFY THAT THERE ARE NO CONFLICTS AMONG THE LOCATIONS OF ANY MECHANICAL, ELECTRICAL, PLUMBING, OR STRUCTURAL ELEMENTS, AND THAT ALL REQUIRED CLEARANCES AND CONSTRUCTION TOLERANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED. NOTIFY VERIZON REPRESENTATIVE OF ANY CONFLICTS. VERIZON REPRESENTATIVE RESERVES THE RIGHT TO MAKE MINOR MODIFICATIONS TO THE DESIGN WITHOUT ALTERING THE CONTRACT PRICE.
15. DO NOT SCALE DRAWINGS. DIMENSIONS ARE EITHER TO THE FACE OF FINISHED ELEMENTS OR TO THE CENTER LINE OF ELEMENTS, UNLESS NOTED OTHERWISE. CRITICAL DIMENSIONS SHALL BE CONFIRMED WITH SITE MEASUREMENTS. VERIFY WITH VERIZON REPRESENTATIVE AS APPLICABLE.
16. THE CONTRACTOR IS RESPONSIBLE FOR DAILY CLEAN UP OF SITE AND REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS. AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL THOROUGHLY CLEAN THE BUILDING SITE AND ANY OTHER SURROUNDING AREAS TO THE SATISFACTION OF VERIZON AND THE LANDLORD.
17. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE COLLAPSE, ETC., ACCORDING TO APPLICABLE CODES, STANDARDS, AND GOOD CONSTRUCTION PRACTICES.
18. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL (OSHA), STATE AND LOCAL CODES, STANDARDS, ORDINANCES, RULES AND REGULATIONS.
19. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR DAMAGES TO THE EXISTING FACILITY AND INSTALLATION RESULTING FROM CONSTRUCTION AND GENERAL NEGLIGENCE. REPAIR ALL DAMAGES AND RESTORE FACILITY AND INSTALLATIONS TO THE SATISFACTION OF VERIZON AND LANDLORD AT NO EXTRA CHARGE. NOTIFY VERIZON REPRESENTATIVE AND TOWER OWNER OF ANY SUCH DAMAGES PROMPTLY. REPAIR TO 100% SATISFACTION IMMEDIATELY.
20. WHERE ONE DETAIL IS SHOWN FOR ONE CONDITION, UNLESS NOTED OTHERWISE, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS, EVEN THOUGH NOT SPECIFICALLY MARKED ON THE DRAWINGS.
21. WHERE NEW PAVING, CONCRETE SIDEWALKS, OR PATHS MEET EXISTING CONSTRUCTION, THE CONTRACTOR SHALL MATCH THE EXISTING PITCH, GRADE, AND ELEVATION TO MAINTAIN CONTINUITY AND A SMOOTH TRANSITION.
22. VERIZON REPRESENTATIVE IS RESPONSIBLE FOR APPLYING FOR COMMERCIAL POWER CONNECTION. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF UTILITY INSPECTIONS AND POWER COMPANY INSTALLATION. THE GENERAL CONTRACTOR IS REQUIRED TO KEEP ALL DOCUMENTATION RECEIVED FROM THE POWER COMPANY, WRITTEN AND VERBAL DISCUSSIONS WITH THE POWER COMPANY, ETC.
23. VERIZON REPRESENTATIVE SHALL OBTAIN WRITTEN CONFIRMATION OF THE EXPECTED DATE OF COMPLETION OF THE POWER CONNECTION FROM THE POWER COMPANY. CONTRACTOR WILL PROVIDE TEMPORARY POWER FOR CONSTRUCTION. GENERAL CONTRACTOR AND HIS SUBCONTRACTORS ARE NOT ALLOWED TO CONNECT TO ANY EXISTING UTILITIES ON THE SITE.
24. DRAWINGS FORMING THIS SET ARE COMPLIMENTARY AND MUST BE READ AS ONE TOTAL DOCUMENT. DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF VERIZON. THESE DRAWINGS WERE PREPARED TO BE SUBMITTED TO GOVERNMENTAL BUILDING AUTHORITIES FOR REVIEW FOR COMPLIANCE WITH APPLICABLE CODES. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO EXECUTE CONSTRUCTION INDICATED HEREIN ACCORDING TO APPLICABLE BUILDING CODES.
25. IF THE CONTRACTOR OR SUBCONTRACTOR FINDS IT NECESSARY TO DEVIATE FROM ORIGINAL APPROVED PLANS, IT IS THE CONTRACTOR'S AND THE SUBCONTRACTOR'S RESPONSIBILITY TO PROVIDE VERIZON REPRESENTATIVE THE PROPOSED CHANGES FOR VERIZON REPRESENTATIVE TO REVIEW AND APPROVE PRIOR TO PROCEEDING WITH SUCH CHANGES. IN ADDITION, THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROCURING ALL NECESSARY APPROVALS FROM THE BUILDING AUTHORITIES FOR THE PROPOSED CHANGES PRIOR TO PROCEEDING WITH THE REVISED WORK. THE CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR PROCURING ALL NECESSARY INSPECTIONS AND APPROVALS FROM BUILDING AUTHORITIES DURING THE EXECUTION OF THE WORK.
26. THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS SHALL BE INTERPRETED TO BE A MINIMUM ACCEPTABLE STANDARD FOR CONSTRUCTION. THESE DOCUMENTS SHALL NOT RELIEVE THE CONTRACTOR, SUBCONTRACTOR, AND/OR SUPPLIER/MANUFACTURER FROM PROVIDING A COMPLETE AND CORRECT INSTALLATION SHOULD ADDITIONAL ITEMS AND DETAILS BE REQUIRED FOR PROPER AND SAFE INSTALLATION.
27. THESE CONTRACT DOCUMENTS AND SPECIFICATIONS DO NOT CREATE A CONTRACTUAL RELATIONSHIP OF ANY KIND BETWEEN VERIZON REPRESENTATIVE AND THE CONTRACTOR.
28. THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT DESCRIBED HEREIN.
29. THE CONTRACTOR SHALL OBTAIN AUTHORIZATION FROM VERIZON REPRESENTATIVE TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
30. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT.
31. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT AND MAINTAIN EXISTING CONDITIONS, EASEMENTS, PAVEMENTS, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
32. THE CONTRACTOR SHALL MAINTAIN ALL TRAFFIC IN ALL AREAS IN ACCORDANCE WITH THE STATE'S DOT STANDARDS FOR TRAFFIC CONTROL.
33. THE CONTRACTOR SHALL NOTIFY THE VERIZON REPRESENTATIVE WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL IT IS RESOLVED BY THE VERIZON REPRESENTATIVE.
34. CONTRACTOR TO PROVIDE TEMPORARY TOILET FACILITIES FOR DURATION OF PROJECT.
35. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY OWNERS.
36. IN ANY EXCAVATED AREA, BACKFILL WILL BE PLACED WITH DRY MATERIAL FREE OF ROCK OR STONES LARGER THAN 1", IN 12" LIFTS, COMPACTED TO 95% DRY DENSITY. ALL DISTURBED AREAS TO BE RESTORED TO MATCH SURROUNDING CONDITIONS.
37. THESE PLANS ARE NOT FOR RECORDATION OR CONVEYANCE.
38. EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY CONTRACTOR (WHICH ARE NOT TO BE REMOVED) SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS BY THE CONTRACTOR.
39. DAMAGE TO UTILITIES OR PROPERTY OF OTHERS BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS BY THE CONTRACTOR.
40. CONTRACTOR TO PROVIDE THREADED CAPS ON FUTURE CONDUIT.
41. CONTRACTOR TO PROVIDE RUBBER CAPS ON ALL KINDORF OR UNISTRUT.

MORRIS\_13722007\_Springfield Hollis\_C-1.dwg 11/20/13 10:58:11 AM




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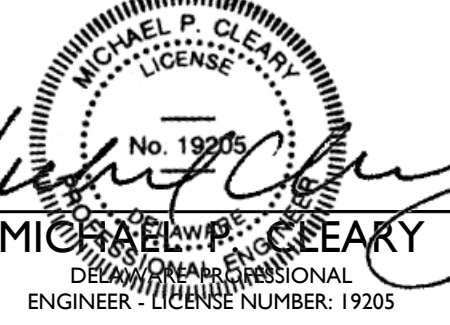
**SITE NAME:**  
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**MICHAEL P. CLEARY**  
Professional Engineer  
License Number: 19205  
DATE: \_\_\_\_\_



**MT. LAUREL OFFICE**  
2000 Midlantic Drive  
Suite 100  
Mount Laurel, NJ 08054  
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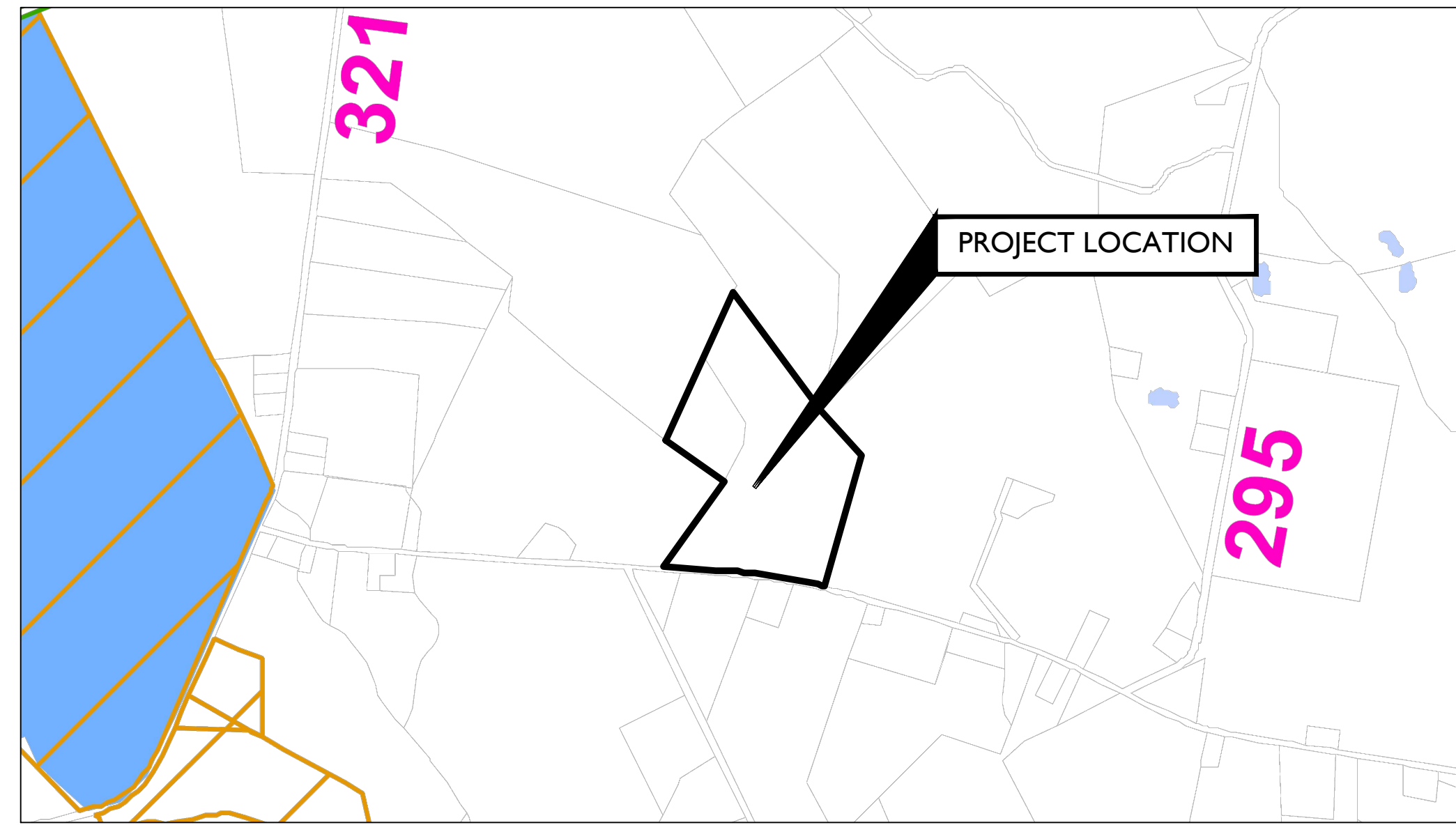
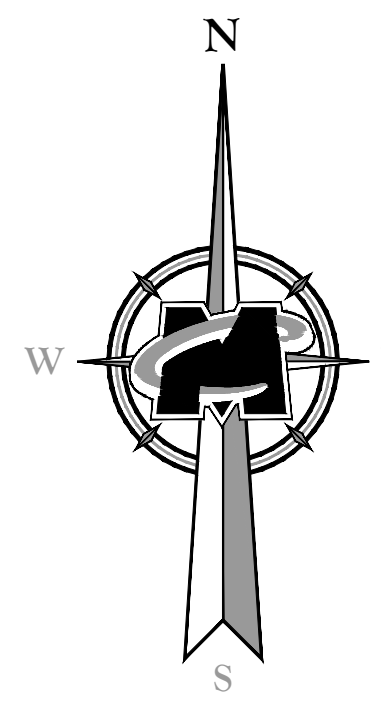
email: solutions@maserconsulting.com

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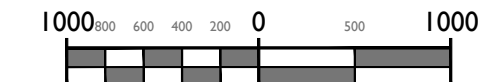
SCALE: AS SHOWN | JOB NUMBER: 15960053A

SHEET TITLE:  
**GENERAL NOTES**

SHEET NUMBER: C-1 | REV: 0

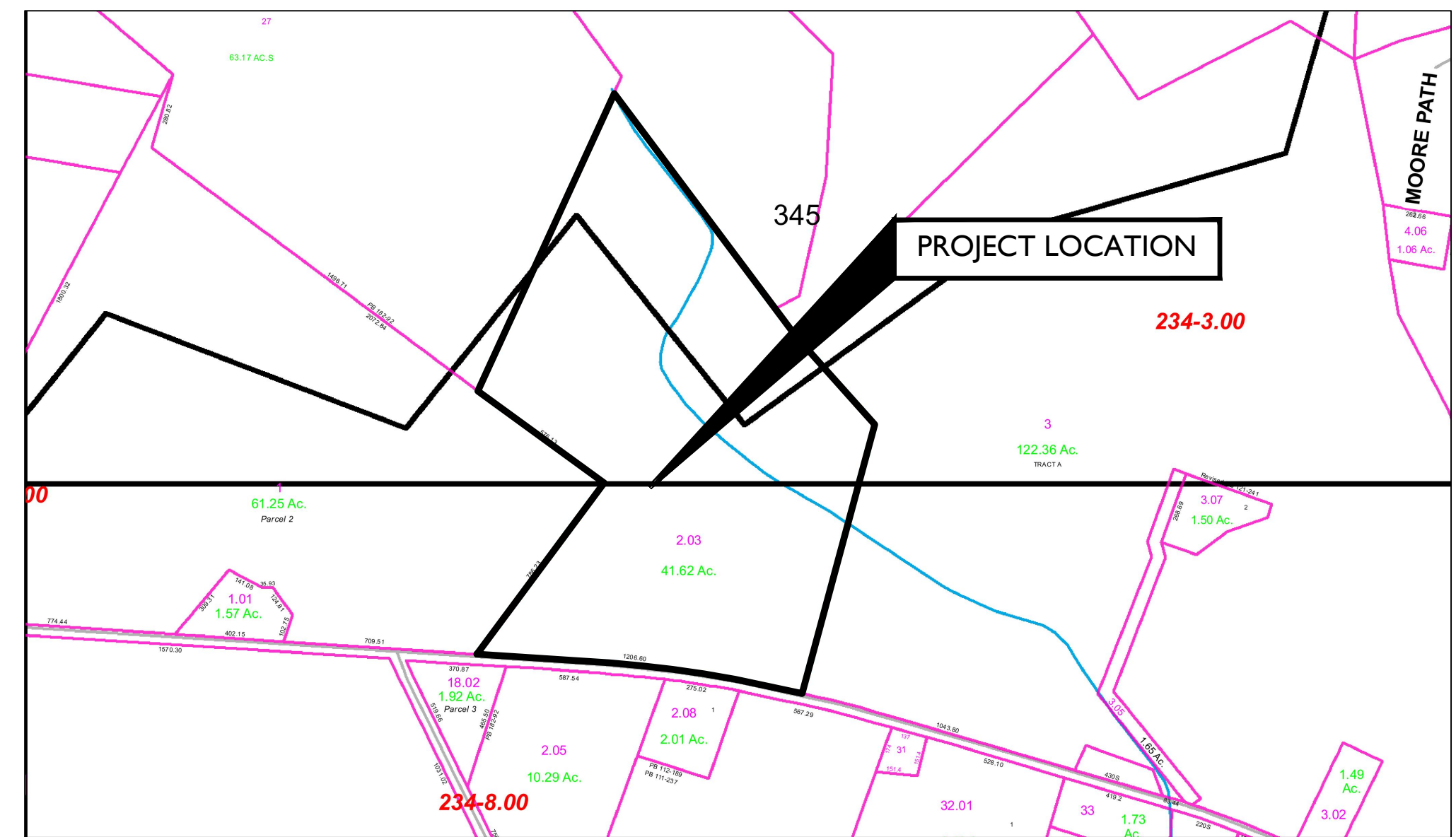
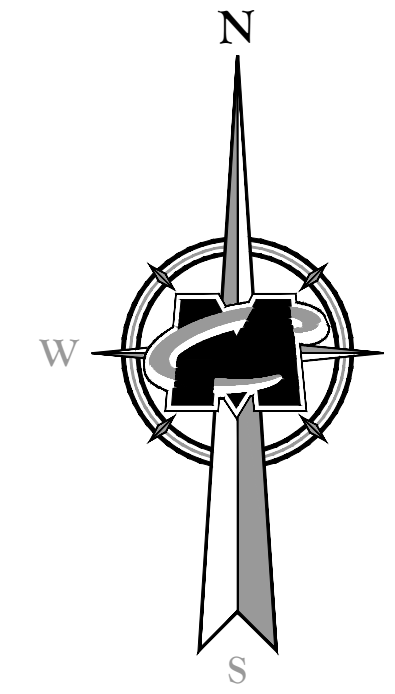


**ZONING MAP**

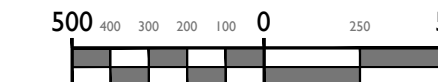


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11x17 DRAWINGS: DO NOT SCALE

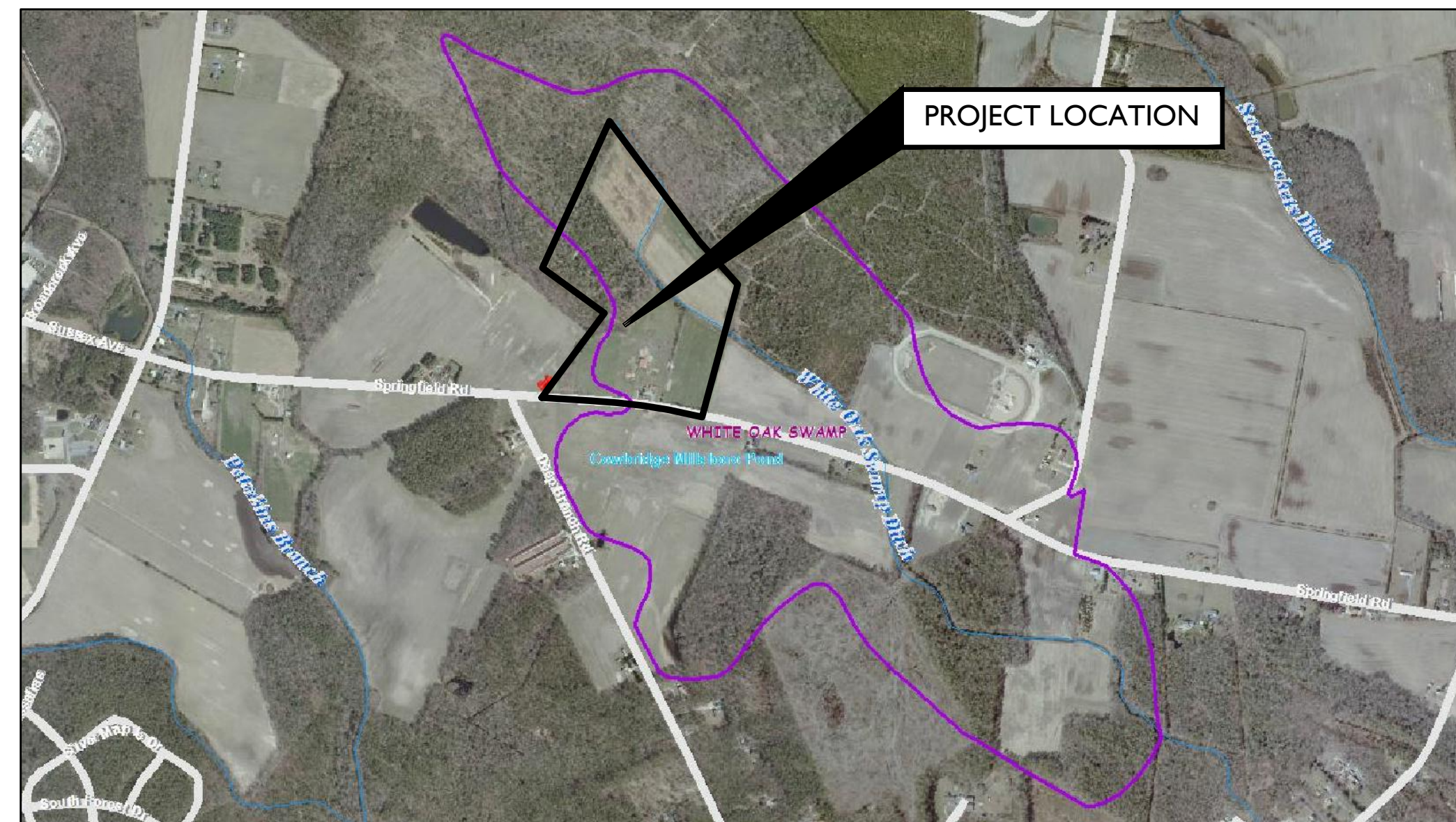
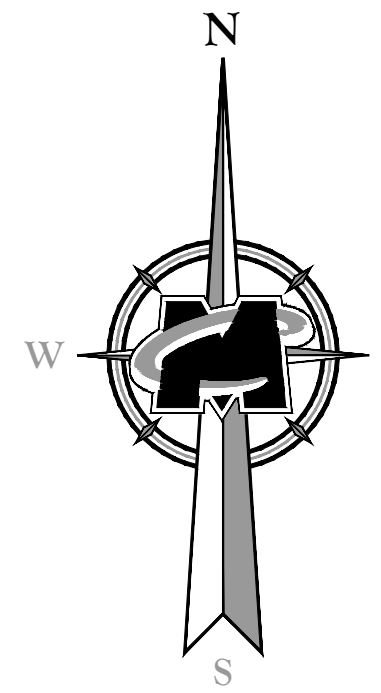
- Residential Planned Community
- State lands
- County lands
- Federal lands
- Town
- Water
- Environmentally Sensitive Developing Districts - ES-1
- Agricultural - AR-1
- Agricultural - AR-2
- Medium Residential - MR
- General Residential - GR
- High Density Residential
- Vacation, Retire, Resident - VRP
- Neighborhood Business - B-1
- General Commercial - C-1
- Commercial Residential - CR-1
- Marine - M
- Limited Industrial - LI-1
- Light Industrial - LI-2
- Heavy Industrial - HI-1



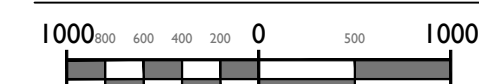
**TAX MAP**



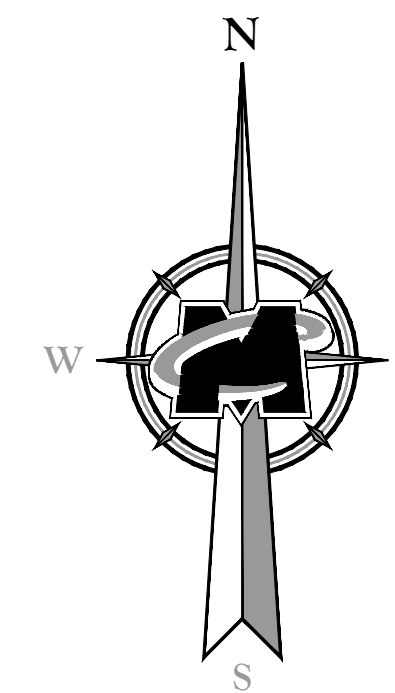
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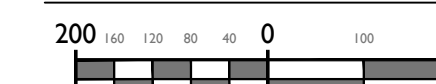
**TAX DITCH MAP**



SCALE : 1" = 1000'  
24"x36" DRAWINGS  
11x17 DRAWINGS: DO NOT SCALE



**WETLANDS MAP**



SCALE : 1" = 200'  
24"x36" DRAWINGS  
11x17 DRAWINGS: DO NOT SCALE

**Wetlands**

- Freshwater Emergent
- Freshwater Forested/Shrub
- Estuarine and Marine Deepwater
- Estuarine and Marine
- Freshwater Pond
- Lake
- Riverine
- Other

MASON 1372007 Springfield Hollis C-2 11x17 11/11/18

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**MICHAEL P. CLEARY**  
Professional Engineer  
License No. 19205  
DATE: \_\_\_\_\_

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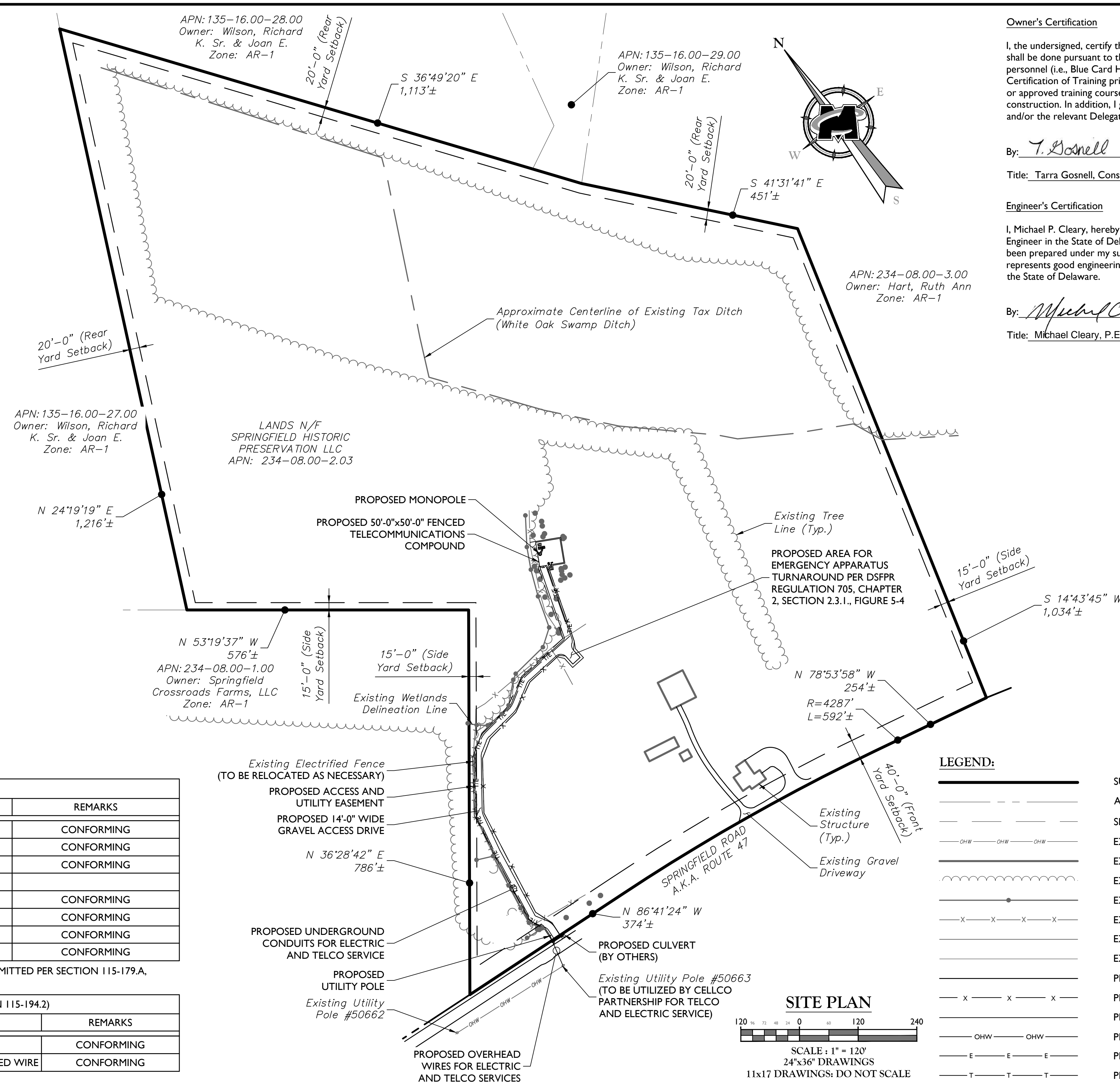
SCALE: AS SHOWN | JOB NUMBER: 15960053A

SHEET TITLE:  
**ZONING INFORMATION**

SHEET NUMBER: **C-2** | REV: **0**

**PROJECT NOTES:**

1. SITE AND BOUNDARY INFORMATION OBTAINED FROM THE FOLLOWING:
  - A. A TOPOGRAPHIC SURVEY ENTITLED "DOV SPRINGFIELD ROAD - CELL SITE SURVEY", PREPARED FOR CELCO PARTNERSHIP, BY MASER CONSULTING P.A. OF MT. LAUREL, NJ LAST DATED 11/25/15.
    - A.1. PROPERTY LINES DEPICTED HEREON ARE NOT THE RESULT OF A COMPREHENSIVE BOUNDARY SURVEY. THE LOCATION OF THE EXTERIOR BOUNDARY LINES OF THE PARENT TRACT AND ADJOINING PARCELS AS SHOWN HEREON ARE BASED UPON TAX MAP INFORMATION AND MONUMENTATION RECOVERED DURING THE COURSE OF THIS SURVEY.
  - B. LIMITED FIELD OBSERVATIONS PERFORMED BY MASER CONSULTING P.A. ON 08/17/15, 11/20/15 AND 07/28/17.
2. THIS PROPOSAL IS FOR AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF THE PLACEMENT OF PANEL ANTENNAS ON A PROPOSED MONOPOLE, EQUIPMENT CABINETS ON A CONCRETE PAD WITH CANOPY, AN OUTDOOR STANDBY GENERATOR, AND ASSOCIATED APPURTENANCES WITHIN A PROPOSED FENCED COMPOUND.
3. THE PROPOSED FACILITY IS UNMANNED AND IS NOT FOR HUMAN HABITATION. (NO HANDICAP ACCESS IS REQUIRED)
4. NO NOISE, SMOKE, DUST, VAPORS OR ODOR WILL RESULT FROM THIS PROPOSAL.
5. EXTERIOR SIGNS ARE NOT PROPOSED EXCEPT AS REQUIRED BY THE FCC.
6. TOTAL AREA OF DISTURBANCE UNDER THIS PROPOSAL: 22,000± S.F.
7. THE PROPOSED FACILITY WILL CAUSE ONLY AN INSIGNIFICANT ("DE MINIMUS") INCREASE IN STORM WATER RUNOFF, THEREFORE, NO DRAINAGE STRUCTURES ARE PROPOSED.
8. ALL CONSTRUCTION FOR SITE IMPROVEMENTS SHALL CONFORM TO APPLICABLE SPECIFICATIONS, STANDARDS, AND REQUIREMENTS OF THE GOVERNMENTAL OR UTILITY AUTHORITIES HAVING JURISDICTION.
9. RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
10. CONTRACTOR SHALL CONTACT STATE SPECIFIC ONE CALL SYSTEM THREE WORKING DAYS PRIOR TO ANY EARTH MOVING ACTIVITIES.
11. ALL CONSTRUCTION AND DESIGN FOR THE PROPOSED ANTENNA MOUNTS SHALL CONFORM IN ACCORDANCE WITH THE CURRENT STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES (TIA-222-G).
12. POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.
13. SUBCONTRACTOR TO VERIFY ANTENNA ELEVATION AND AZIMUTH WITH RF ENGINEERING PRIOR TO INSTALLATION.
14. SUBCONTRACTOR SHALL FIELD LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY PROPOSED EXCAVATION.
15. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS & INSPECTIONS REQUIRED FOR CONSTRUCTION.
16. SUBCONTRACTOR SHALL DETERMINE EXACT ROUTE OF ANY UNDERGROUND CONDUIT, IF REQUIRED.
17. THIS PROJECT WILL NOT REQUIRE STREETS OR PROPERTY TO BE DEDICATED FOR PUBLIC USE.
18. THIS PROJECT WILL NOT REQUIRE PERMANENT MONUMENTS.
19. ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP OF SUSSEX COUNTY, DE AND INCORPORATED AREAS, PANEL 325 OF 660, MAP 10005C0325K, DATED 03/16/15, ALL PROPOSED IMPROVEMENTS ARE LOCATED WITHIN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN.
20. THE PROPOSED INSTALLATION WILL GENERATE ONE (1) VEHICLE TRIP FOR ROUTINE MAINTENANCE EVERY FOUR (4) TO SIX (6) WEEKS.



**Owner's Certification**

I, the undersigned, certify that all land clearing, construction and development shall be done pursuant to the approved standard plan and that responsible personnel (i.e., Blue Card Holder) involved in the land disturbance will have a Certification of Training prior to initiation of the project, at a DNREC sponsored or approved training course for the control of erosion and sediment during construction. In addition, I grant the DNREC Sediment and Stormwater Program and/or the relevant Delegated Agency the right to conduct on-site reviews."

By: T. Gosnell Date: 10/8/19  
Title: Tarra Gosnell, Construction Engineer

**Engineer's Certification**

I, Michael P. Cleary, hereby certify that I am a registered Professional Engineer in the State of Delaware, that the information shown hereon has been prepared under my supervision and to my best knowledge and belief represents good engineering practices as required by the applicable laws of the State of Delaware.

By: Michael P. Cleary Date: 10/09/19  
Title: Michael Cleary, P.E., Department Manager

BULK STANDARDS FOR AR-1 - AGRICULTURAL RESIDENTIAL					
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	REMARKS	
MINIMUM LOT AREA	32,670 S.F.	1,913,276± S.F.	NO CHANGE	CONFORMING	
MINIMUM LOT WIDTH	100 FEET	1,123.5± FEET	NO CHANGE	CONFORMING	
MINIMUM LOT DEPTH	100 FEET	1034± FEET	NO CHANGE	CONFORMING	
			EQUIPMENT MONOPOLE		
MINIMUM FRONT YARD SETBACK	40 FEET	47± FEET	689± FEET	677± FEET	CONFORMING
MINIMUM SIDE YARD SETBACK	15 FEET	359± FEET	189± FEET	184± FEET	CONFORMING
MINIMUM REAR YARD SETBACK	20 FEET	932± FEET	731± FEET	757± FEET	CONFORMING
MAXIMUM BUILDING HEIGHT	42 FEET	<42 FEET	N/A	134± FEET*	CONFORMING

\* THE PROPOSED TOWER HEIGHT IS 130 FEET WITH A 4 FOOT HIGH LIGHTNING ROD. A TOWER HEIGHT OF 150 FEET IS PERMITTED PER SECTION 115-179.A, CHAPTER 15, SUSSEX COUNTY ZONING CODE.

BULK STANDARDS FOR COMMERCIAL COMMUNICATIONS TOWERS AND ANTENNAS (SECTION 115-194.2)				
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	REMARKS
SETBACK FROM PROPERTY LINE	44'-8"*	N/A	186± FEET	CONFORMING
MINIMUM FENCE HEIGHT	6 FEET	N/A	6 FEET W/ 1 FOOT BARBED WIRE	CONFORMING

\* TOWER SETBACK TO EQUAL 1/3 OF TOWER HEIGHT. (134/3 = 44'-8")

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0	09/14/18	ISSUED FOR CONSTRUCTION	MJB	MPC	MPC
0	08/08/18	ISSUED FOR CONSTRUCTION REVIEW	MEG	MEG	MPC
A	05/23/18	ISSUED FOR CONSTRUCTION REVIEW	MJB	MEG	MPC

**MICHAEL P. CLEARY**  
Professional Engineer  
License Number: 19205

DATE: \_\_\_\_\_

**MT. LAUREL OFFICE**  
2000 Midlantic Drive  
Suite 100  
Mount Laurel, NJ 08054  
Phone: 856.797.0412  
Fax: 856.722.1120

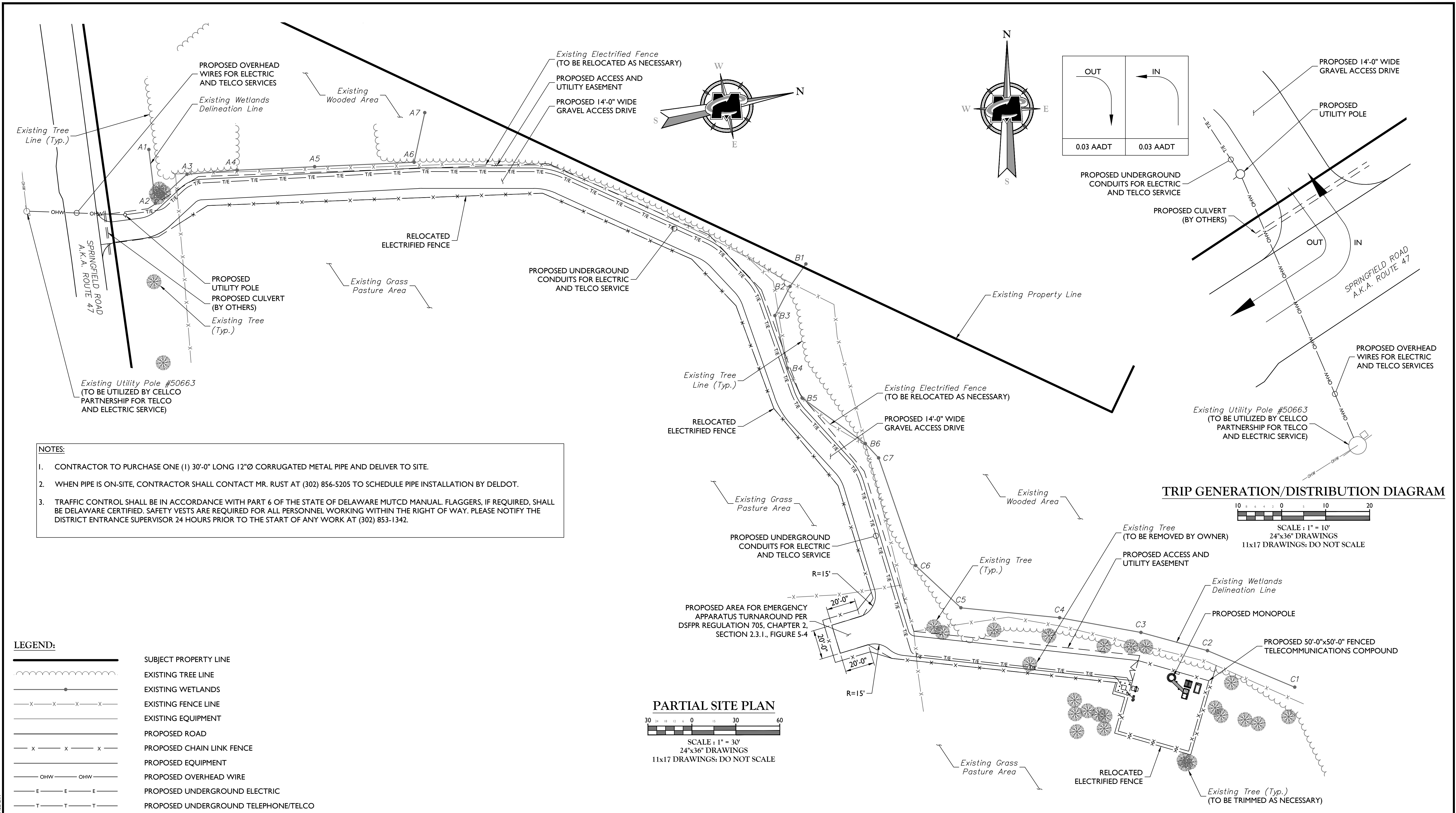
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SCALE: AS SHOWN FOR NUMBER: 15960053A

SHEET TITLE:  
**SITE PLAN AND PROJECT NOTES**

SHEET NUMBER: **C-3** REV: **0**



- NOTES:**
- CONTRACTOR TO PURCHASE ONE (1) 30'-0" LONG 12"Ø CORRUGATED METAL PIPE AND DELIVER TO SITE.
  - WHEN PIPE IS ON-SITE, CONTRACTOR SHALL CONTACT MR. RUST AT (302) 856-5205 TO SCHEDULE PIPE INSTALLATION BY DELDOT.
  - TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH PART 6 OF THE STATE OF DELAWARE MUTCD MANUAL. FLAGGERS, IF REQUIRED, SHALL BE DELAWARE CERTIFIED. SAFETY VESTS ARE REQUIRED FOR ALL PERSONNEL WORKING WITHIN THE RIGHT OF WAY. PLEASE NOTIFY THE DISTRICT ENTRANCE SUPERVISOR 24 HOURS PRIOR TO THE START OF ANY WORK AT (302) 853-1342.

**LEGEND:**

	SUBJECT PROPERTY LINE
	EXISTING TREE LINE
	EXISTING WETLANDS
	EXISTING FENCE LINE
	EXISTING EQUIPMENT
	PROPOSED ROAD
	PROPOSED CHAIN LINK FENCE
	PROPOSED EQUIPMENT
	PROPOSED OVERHEAD WIRE
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED UNDERGROUND TELEPHONE/TELCO

**PARTIAL SITE PLAN**  
 SCALE: 1" = 30'  
 24"x36" DRAWINGS  
 11x17 DRAWINGS: DO NOT SCALE

**TRIP GENERATION/DISTRIBUTION DIAGRAM**  
 SCALE: 1" = 10'  
 24"x36" DRAWINGS  
 11x17 DRAWINGS: DO NOT SCALE

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0	09/11/18	ISSUED FOR CONSTRUCTION	MJB	MPC	MPC
8	08/08/18	ISSUED FOR CONSTRUCTION REVIEW	MEG	MEG	MPC
A	05/23/18	ISSUED FOR CONSTRUCTION REVIEW	MJB	MEG	MPC

**MICHAEL P. O'LEARY**  
 No. 19205  
 DEPARTMENT OF PROFESSIONAL ENGINEERING & SURVEYING  
 LICENSE NUMBER: 19205  
 DATE: \_\_\_\_\_

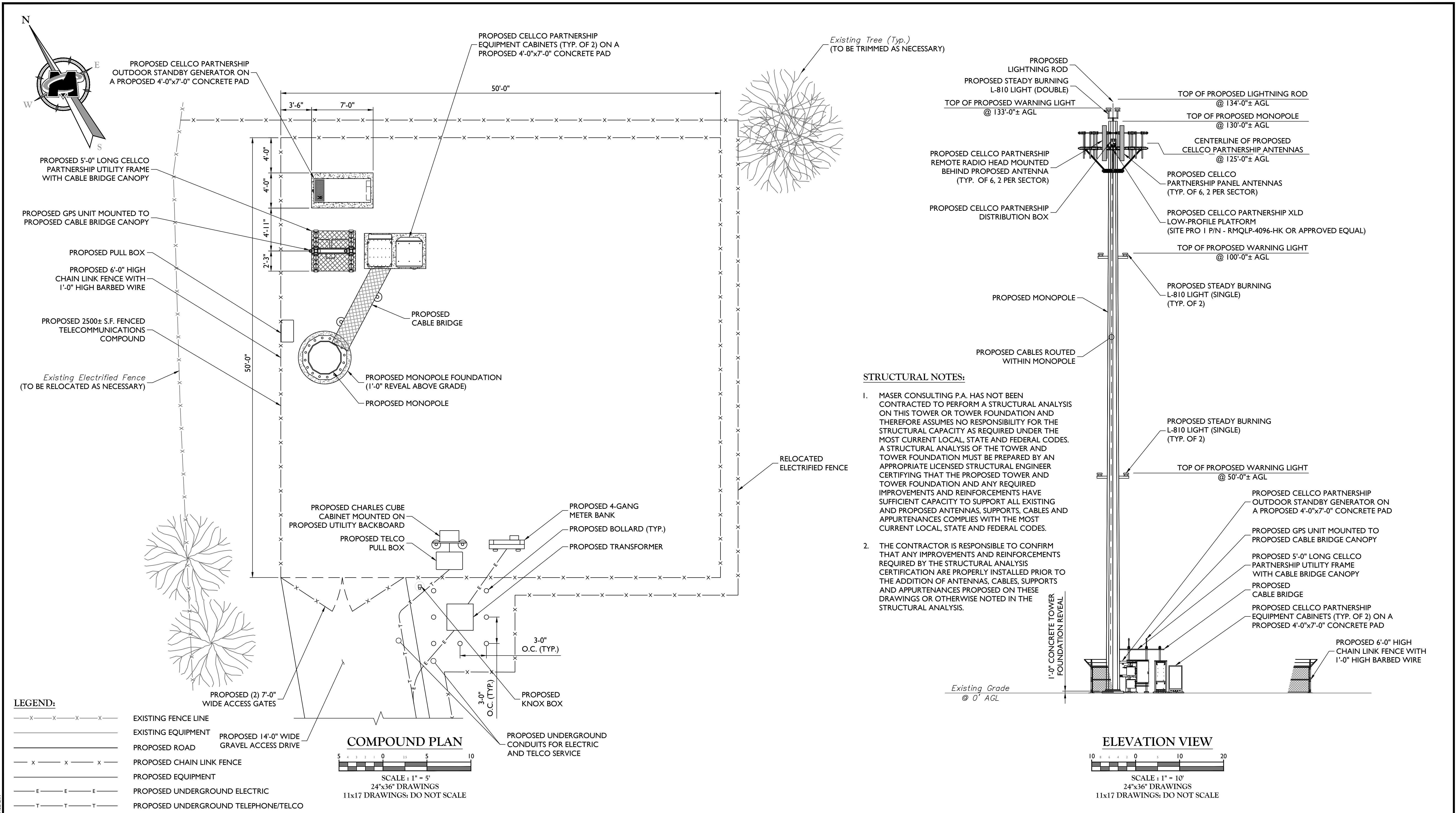
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SCALE: AS SHOWN | JOB NUMBER: 15960053A

SHEET TITLE:  
**PARTIAL SITE PLAN**

SHEET NUMBER: C-4 | REV: 0



**STRUCTURAL NOTES:**

- MASER CONSULTING P.A. HAS NOT BEEN CONTRACTED TO PERFORM A STRUCTURAL ANALYSIS ON THIS TOWER OR TOWER FOUNDATION AND THEREFORE ASSUMES NO RESPONSIBILITY FOR THE STRUCTURAL CAPACITY AS REQUIRED UNDER THE MOST CURRENT LOCAL, STATE AND FEDERAL CODES. A STRUCTURAL ANALYSIS OF THE TOWER AND TOWER FOUNDATION MUST BE PREPARED BY AN APPROPRIATE LICENSED STRUCTURAL ENGINEER CERTIFYING THAT THE PROPOSED TOWER AND TOWER FOUNDATION AND ANY REQUIRED IMPROVEMENTS AND REINFORCEMENTS HAVE SUFFICIENT CAPACITY TO SUPPORT ALL EXISTING AND PROPOSED ANTENNAS, SUPPORTS, CABLES AND APPURTENANCES COMPLIES WITH THE MOST CURRENT LOCAL, STATE AND FEDERAL CODES.
- THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ANY IMPROVEMENTS AND REINFORCEMENTS REQUIRED BY THE STRUCTURAL ANALYSIS CERTIFICATION ARE PROPERLY INSTALLED PRIOR TO THE ADDITION OF ANTENNAS, CABLES, SUPPORTS AND APPURTENANCES PROPOSED ON THESE DRAWINGS OR OTHERWISE NOTED IN THE STRUCTURAL ANALYSIS.

**LEGEND:**

— x — x — x — x —	EXISTING FENCE LINE
— — — — —	EXISTING EQUIPMENT
— — — — —	PROPOSED ROAD
— x — x — x — x —	PROPOSED CHAIN LINK FENCE
— — — — —	PROPOSED EQUIPMENT
— E — E — E —	PROPOSED UNDERGROUND ELECTRIC
— T — T — T —	PROPOSED UNDERGROUND TELEPHONE/TELCO

**COMPOUND PLAN**  
 SCALE: 1" = 5'  
 24"x36" DRAWINGS  
 11x17 DRAWINGS: DO NOT SCALE

**ELEVATION VIEW**  
 SCALE: 1" = 10'  
 24"x36" DRAWINGS  
 11x17 DRAWINGS: DO NOT SCALE

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B	08/08/18	ISSUED FOR CONSTRUCTION REVIEW	MEG	MEG	MPC
A	05/23/18	ISSUED FOR CONSTRUCTION REVIEW	MJB	MEG	MPC

**MICHAEL P. CLEARY**  
 No. 19205  
 PROFESSIONAL ENGINEER - LICENSE NUMBER: 19205  
 DATE: \_\_\_\_\_

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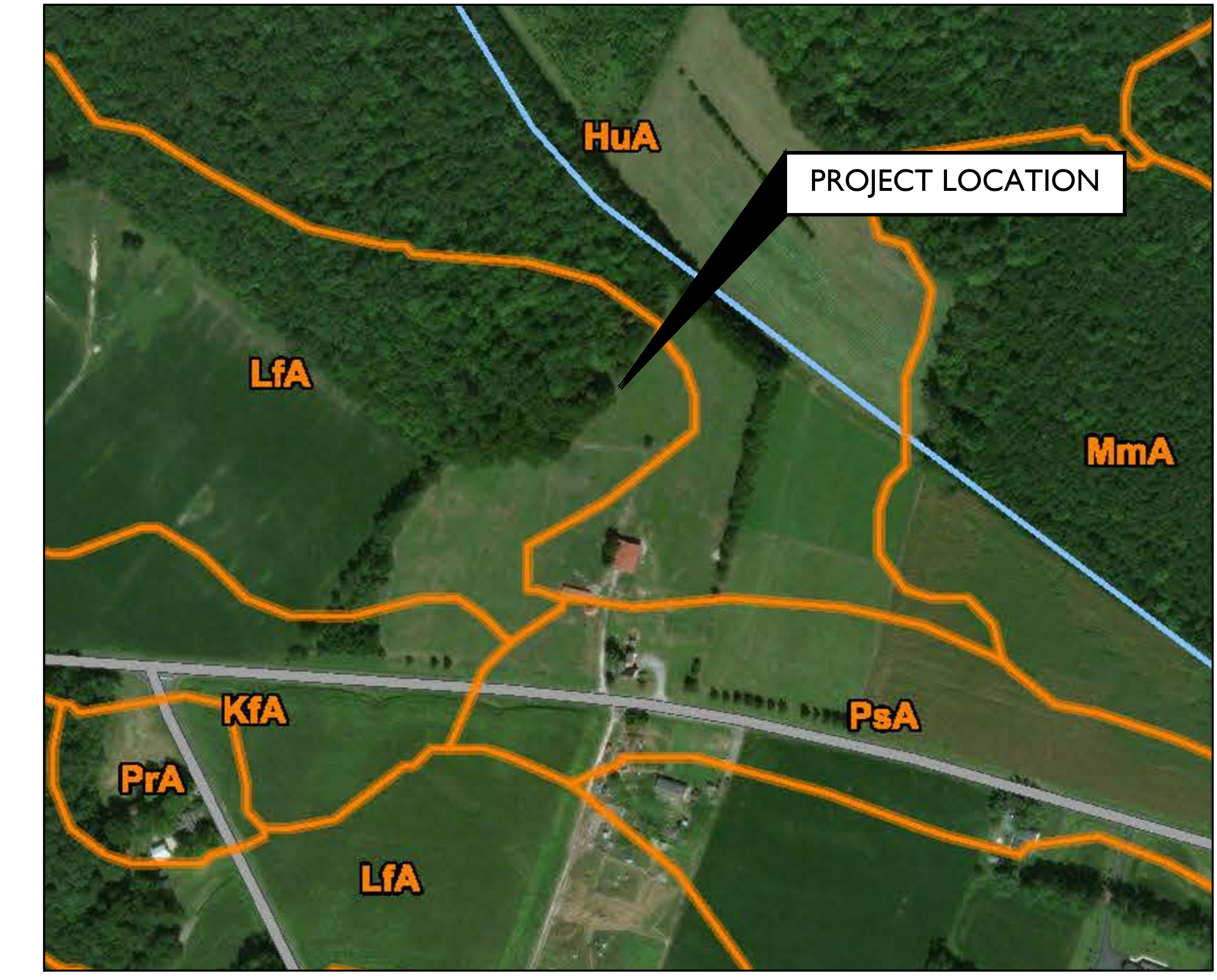
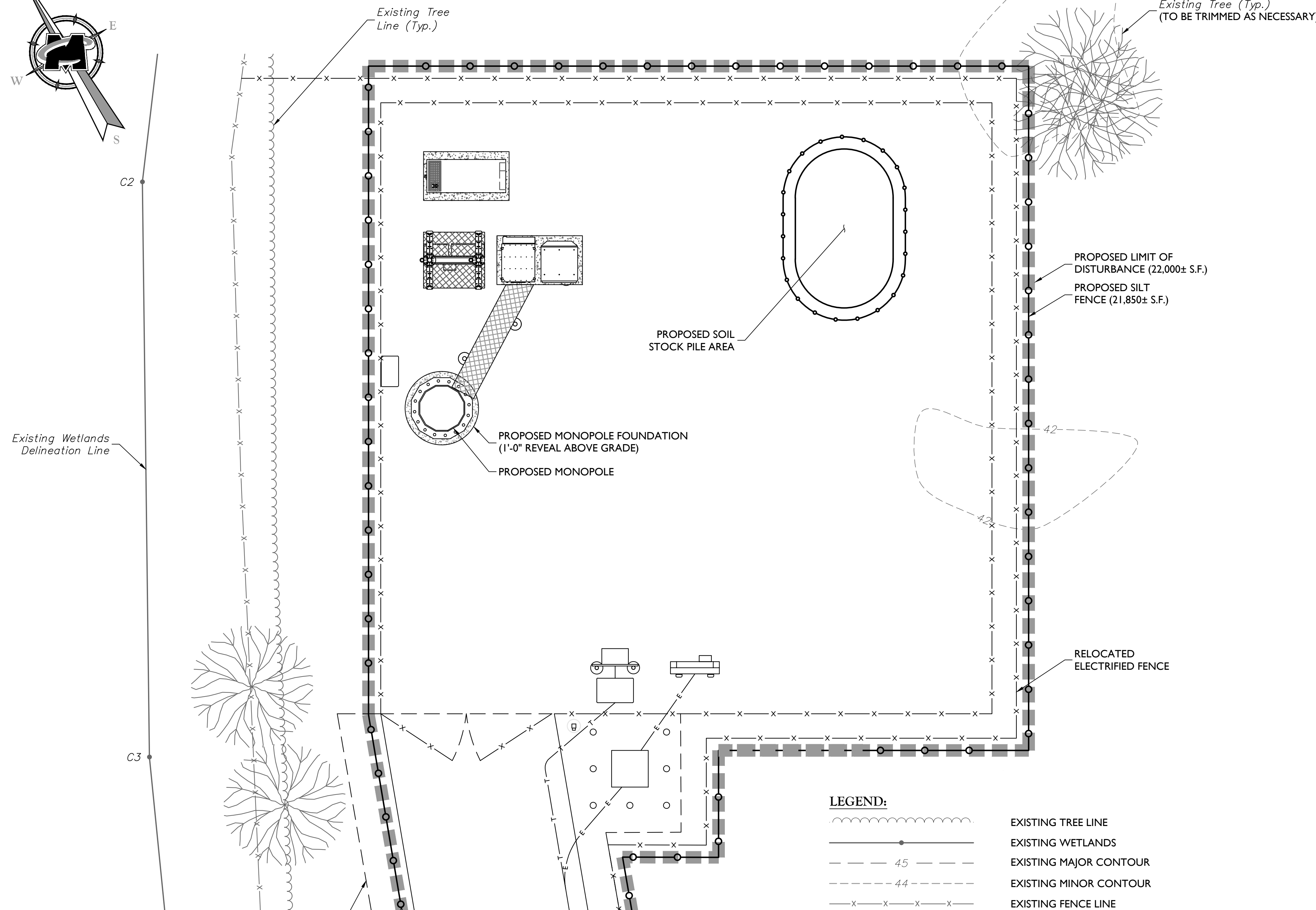
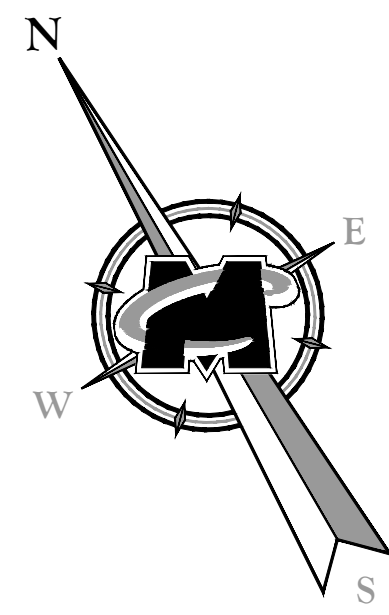
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SHEET TITLE:  
**COMPOUND PLAN AND ELEVATION VIEW**

SHEET NUMBER: C-5 | REV: 0





**SOIL MAP**

300 200 100 0 100 200

SCALE: 1" = 300'

24"x36" DRAWINGS

11x17 DRAWINGS: DO NOT SCALE

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
HmA	Hammonton loamy sand, 0 to 2 percent slopes	13.3	6.6%
HuA	Hurlock loamy sand, 0 to 2 percent slopes	74.3	36.6%
KfA	Keyport fine sandy loam, 0 to 2 percent slopes	8.2	4.1%
LfA	Lenni sandy loam, 0 to 2 percent slopes	51.7	25.5%
MmA	Mullica mucky sandy loam, 0 to 2 percent slopes	24.9	12.2%
PrA	Pepperbox-Rockawalkin complex, 0 to 2 percent slopes	7.2	3.5%
PsA	Pepperbox-Rosedale complex, 0 to 2 percent slopes	23.5	11.6%
<b>Totals for Area of Interest</b>		<b>203.2</b>	<b>100.0%</b>

- LEGEND:**
- EXISTING TREE LINE
  - EXISTING WETLANDS
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - EXISTING FENCE LINE
  - PROPOSED ROAD
  - PROPOSED EQUIPMENT
  - PROPOSED CHAIN LINK FENCE
  - PROPOSED UNDERGROUND ELECTRIC
  - PROPOSED UNDERGROUND TELEPHONE/TELCO
  - LIMIT OF DISTURBANCE
  - PROPOSED SILT FENCE

**SOIL EROSION AND SEDIMENT CONTROL PLAN-1**

5 4 3 2 1 0 1 2 3 4 5 10

SCALE: 1" = 5'

24"x36" DRAWINGS

11x17 DRAWINGS: DO NOT SCALE

**NOTE:**

PROPOSED GRAVEL SURFACE: 15,722 SF

NEW IMPERVIOUS SURFACE: 80 SF

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B	08/08/18	ISSUED FOR CONSTRUCTION REVIEW	MEG	MEG	MPC
A	05/23/18	ISSUED FOR CONSTRUCTION REVIEW	MJB	MEG	MPC

**MICHAEL P. CLEARY**

No. 19205

**MICHAEL P. CLEARY**

REGISTERED PROFESSIONAL ENGINEER - LICENSE NUMBER: 19205

DATE: \_\_\_\_\_

**MT. LAUREL OFFICE**

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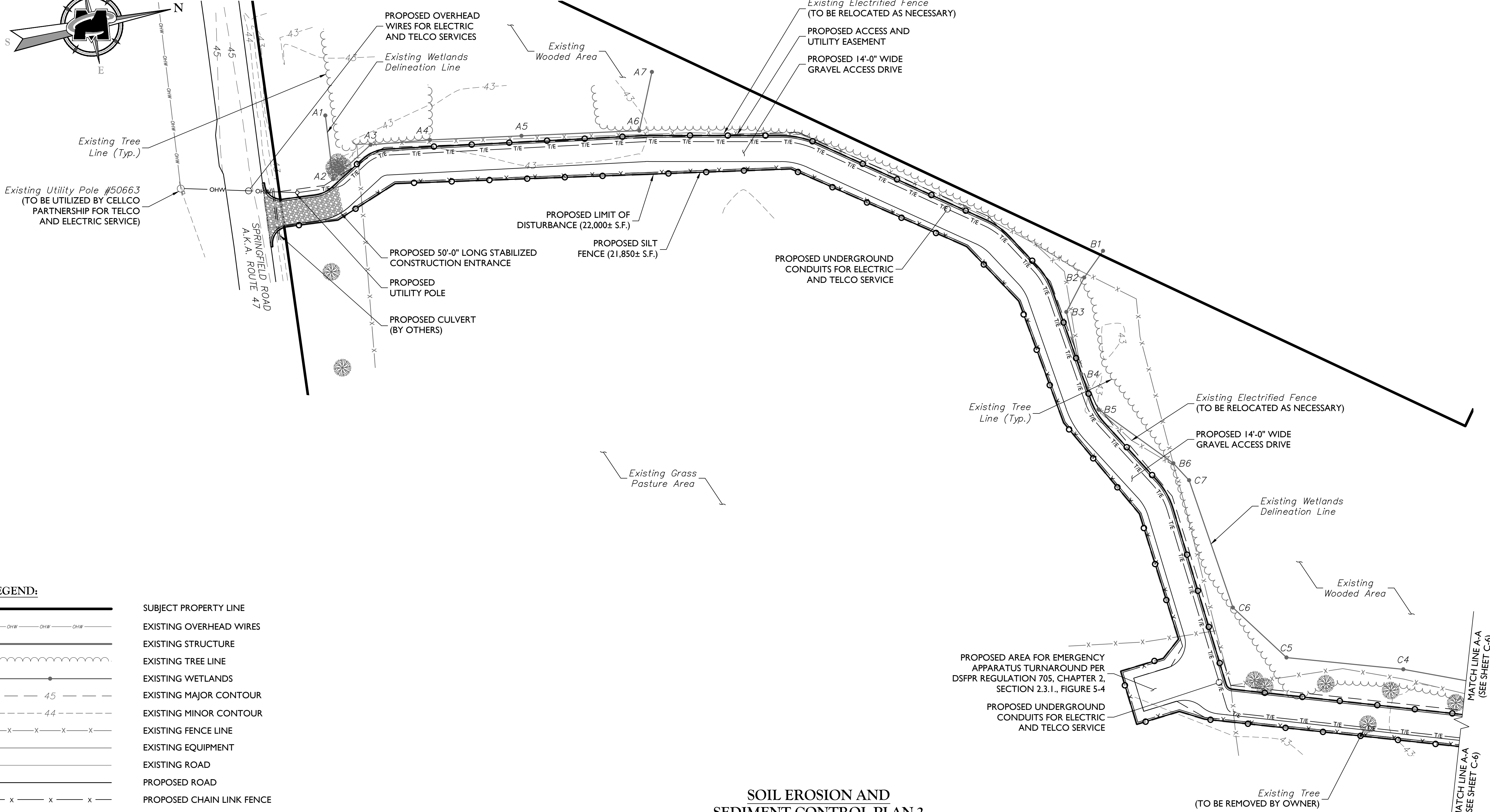
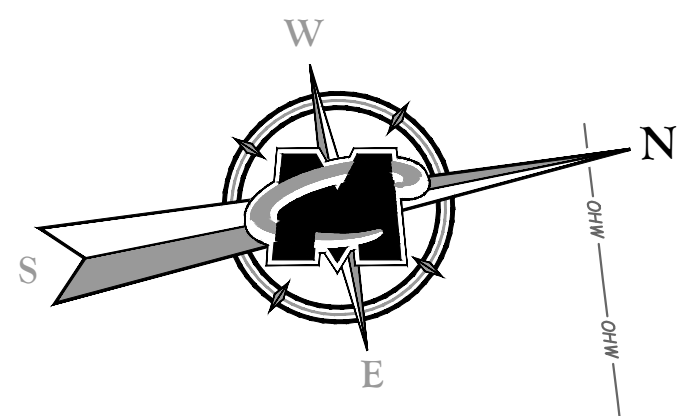
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**SOIL EROSION AND SEDIMENT CONTROL PLAN - I**

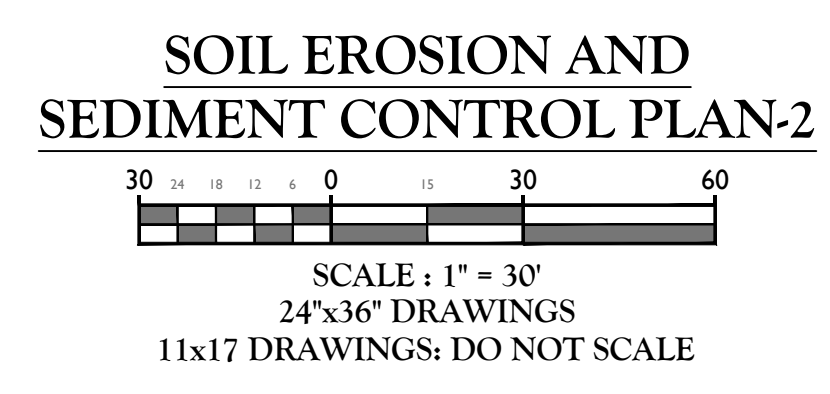
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**C-6**



**LEGEND:**

	SUBJECT PROPERTY LINE
	EXISTING OVERHEAD WIRES
	EXISTING STRUCTURE
	EXISTING TREE LINE
	EXISTING WETLANDS
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING FENCE LINE
	EXISTING EQUIPMENT
	EXISTING ROAD
	PROPOSED ROAD
	PROPOSED CHAIN LINK FENCE
	PROPOSED EQUIPMENT
	PROPOSED OVERHEAD WIRE
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED UNDERGROUND TELEPHONE/TELCO
	LIMIT OF DISTURBANCE
	PROPOSED SILT FENCE



**NOTE:**  
PROPOSED GRAVEL SURFACE: 15,722 SF  
NEW IMPERVIOUS SURFACE: 80 SF

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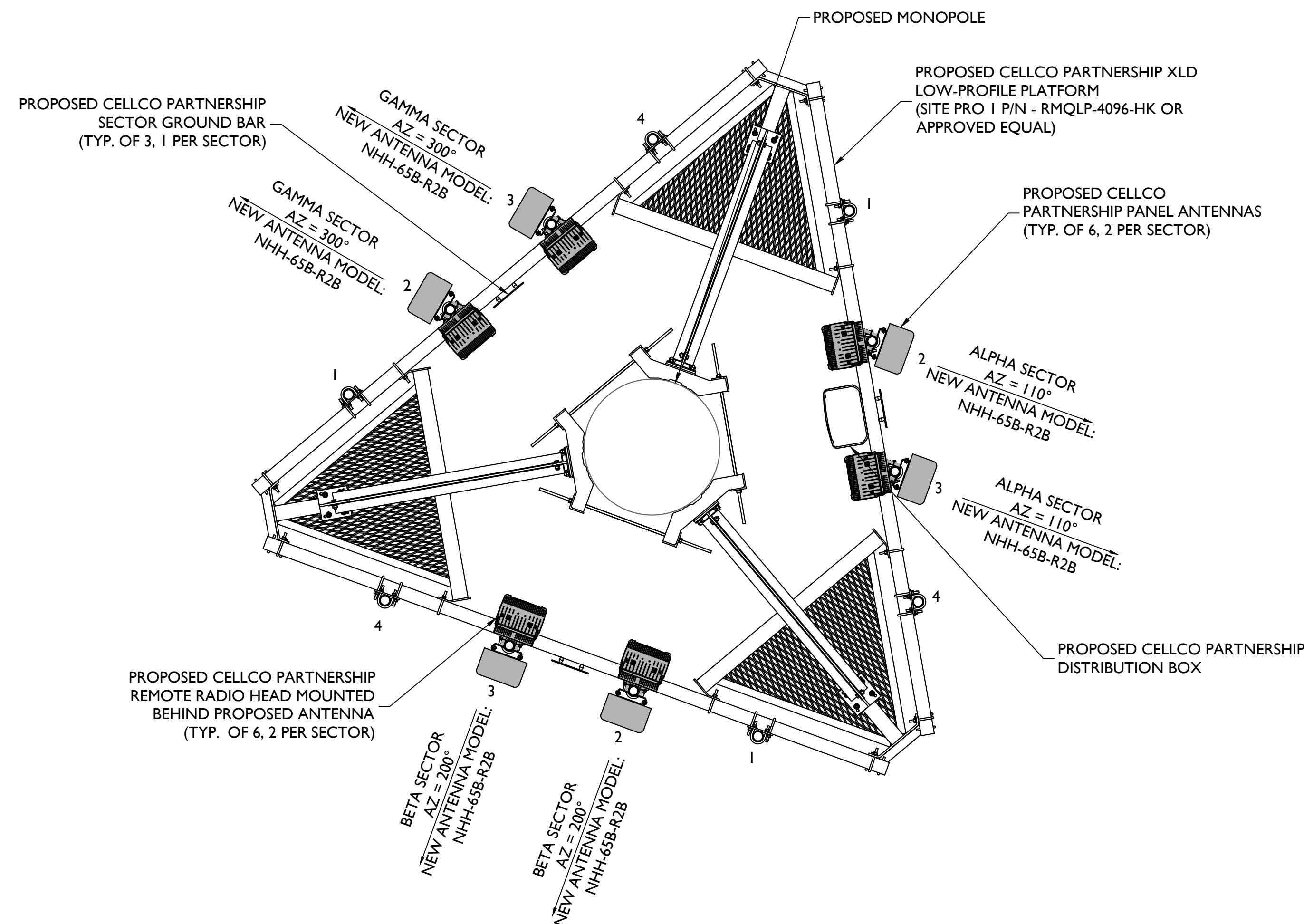
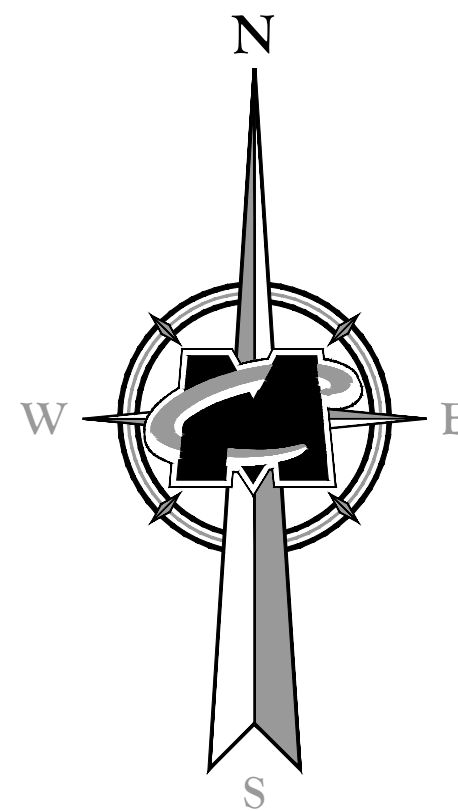
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d/b/a  
VERIZON WIRELESS

SCALE: AS SHOWN | JOB NUMBER: 15960053A

SHEET TITLE:  
**SOIL EROSION AND SEDIMENT CONTROL PLAN - 2**

SHEET NUMBER: C-7 | REV: 0



**ANTENNA PLAN**

SCALE: 1" = 2'  
24"x36" DRAWINGS  
11x17 DRAWINGS: DO NOT SCALE

**NOTES:**

1. ANTENNA ORIENTATION IS BASED ON TRUE NORTH BEARING, CONTRACTOR SHALL VERIFY TRUE NORTH PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO REFER TO FINAL RF CONFIGURATIONS SHEET FOR ANTENNA AZIMUTHS PRIOR TO CONSTRUCTION.

**Antenna Summary**

Added Antennas														
700 LTE	850 CDM A	850 LTE	1900 CDM A	1900 LTE	2100 LTE	Make	Model	Centerline	Tip Height	Azimuth	RET	4xRx	Inst. Type	QTY
YES		YES		YES	YES	COMMSCOPE	NHH-65B-R2B_PORT 1_45_02DT_0752 (1533353)	125	128	300(D3),200(D2),110(D1)	false	false	PHYSICAL	6

Removed Antennas														
700 LTE	850 CDM A	850 LTE	1900 CDM A	1900 LTE	2100 LTE	Make	Model	Centerline	Tip Height	Azimuth	RET	4xRx	Inst. Type	QTY

Retained Antennas														
700 LTE	850 CDM A	850 LTE	1900 CDM A	1900 LTE	2100 LTE	Make	Model	Centerline	Tip Height	Azimuth	RET	4xRx	Inst. Type	QTY

**Equipment Summary**

Added Non Antennas													
Equipment Type	700 LTE	850 CDMA	850 LTE	1900 CDMA	1900 LTE	2100 LTE	Location	Make	Model	Cable Length	Cable Size	Inst. Type	Quantity
RRU	YES		YES				Tower	NOKIA	AHBCC AirScale Dual RRH 4T4R B5/B13 320W			PHYSICAL	3
RRU					YES	YES	Tower	NOKIA	AHFIC AirScale Dual RRH 4T4R B2/B66a 320W			PHYSICAL	3
OVP Box							Tower	Raycap	3300			PHYSICAL	1
Hybrid Fiber							Tower		6x12		1-5/8	PHYSICAL	1

Removed Non Antennas													
Equipment Type	700 LTE	850 CDMA	850 LTE	1900 CDMA	1900 LTE	2100 LTE	Location	Make	Model	Cable Length	Cable Size	Inst. Type	Quantity

Retained Non Antennas													
Equipment Type	700 LTE	850 CDMA	850 LTE	1900 CDMA	1900 LTE	2100 LTE	Location	Make	Model	Cable Length	Cable Size	Inst. Type	Quantity

**ANTENNA SCHEDULE**  
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BLUE BELL, PA 19422

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2	06/19/19	ISSUED FOR CONSTRUCTION	SLM	MEG	MPC
1	06/11/19	ISSUED FOR CONSTRUCTION	AN	MPC	MPC
0	09/11/18	ISSUED FOR CONSTRUCTION	MJB	MPC	MPC
B	08/08/18	ISSUED FOR CONSTRUCTION REVIEW	MEG	MEG	MPC
A	05/23/18	ISSUED FOR CONSTRUCTION REVIEW	MJB	MEG	MPC

**MICHAEL P. CLEARY**  
LICENSE No. 19205  
DELETED PROFESSIONAL ENGINEER - LICENSE NUMBER: 19205

DATE: \_\_\_\_\_

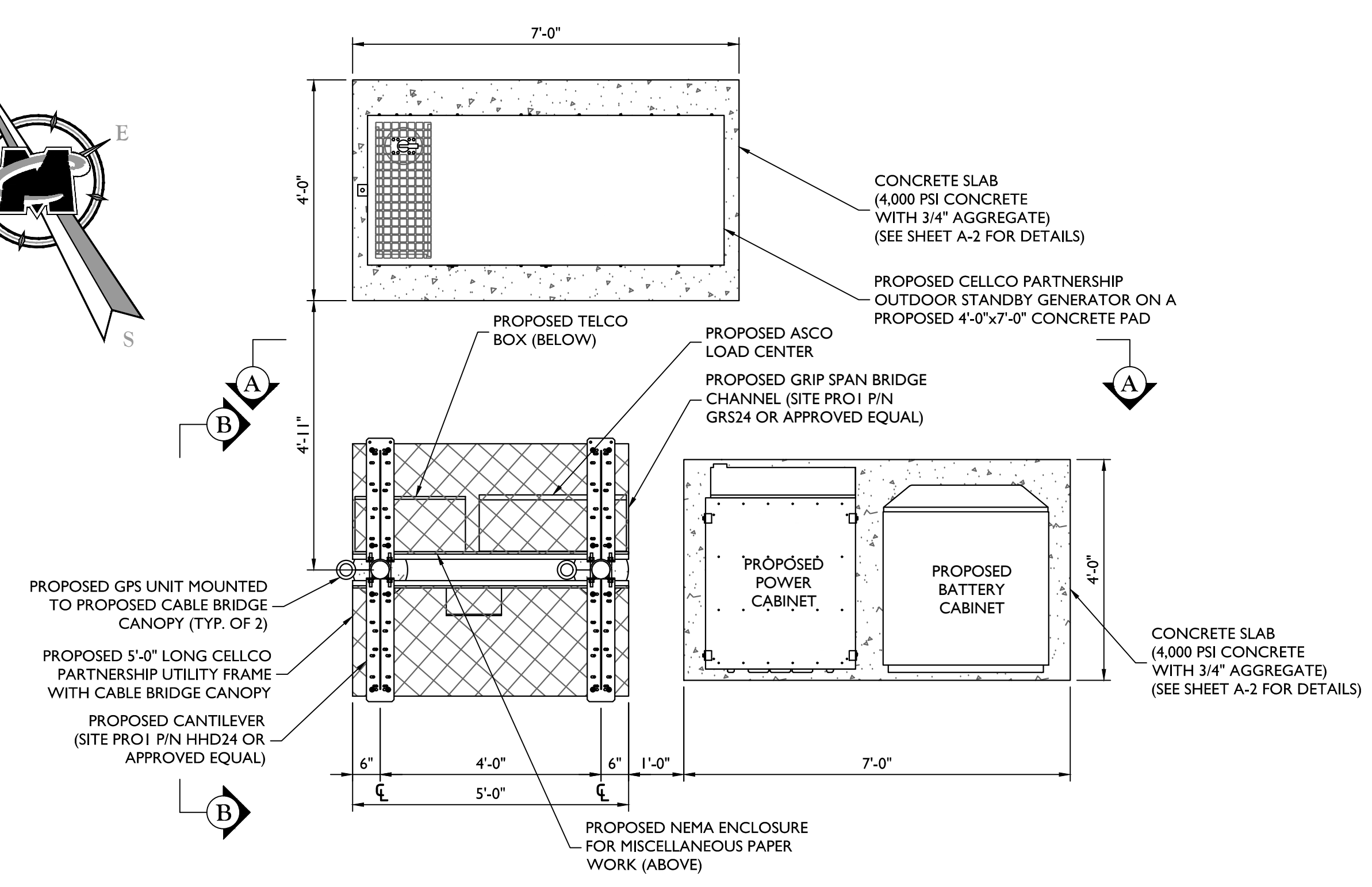
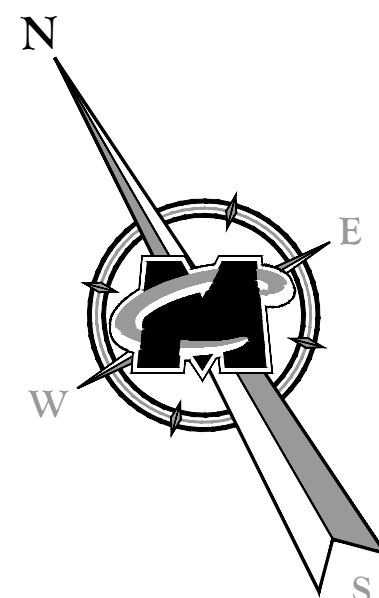
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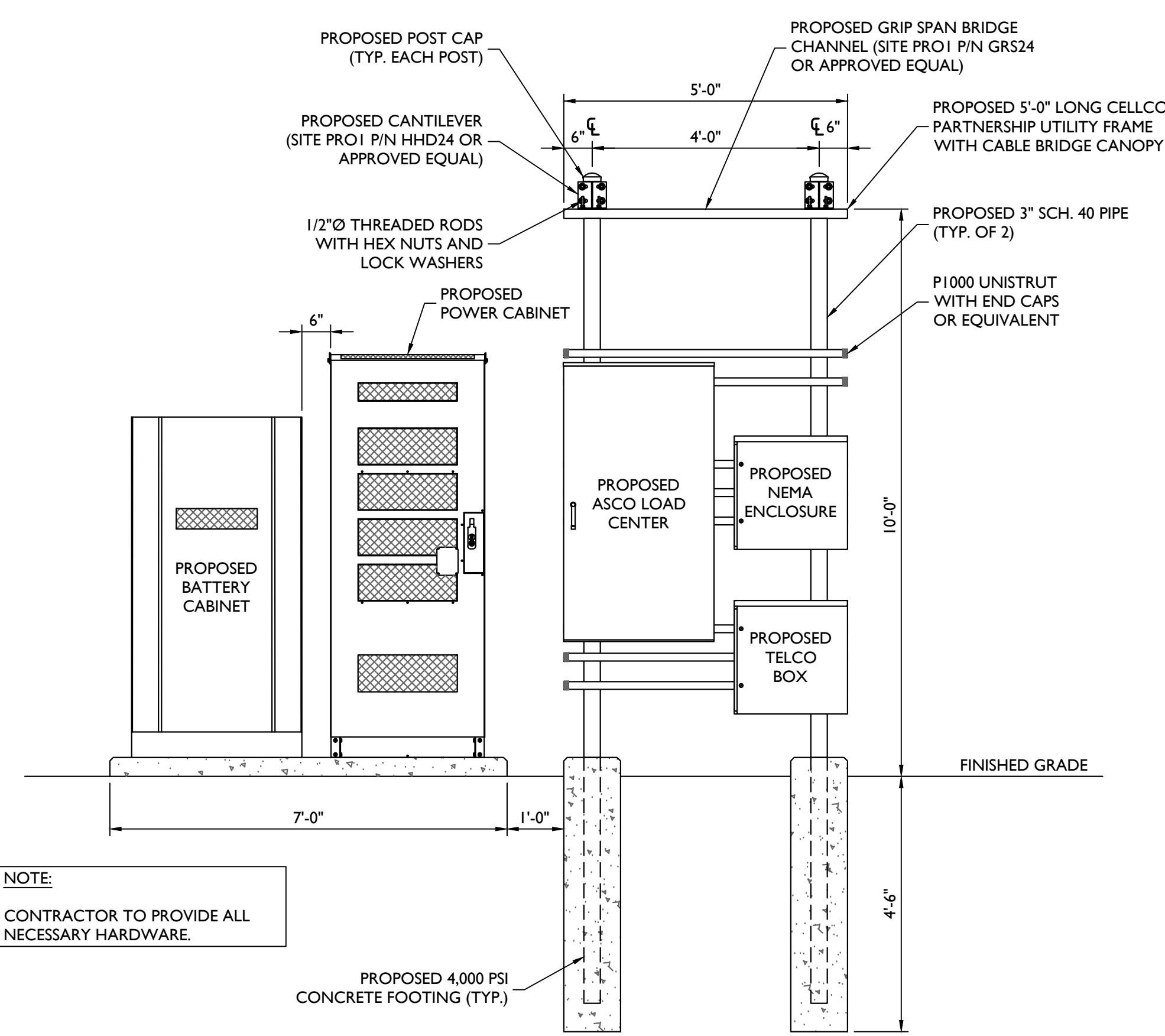
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SHEET TITLE:  
**ANTENNA PLAN**

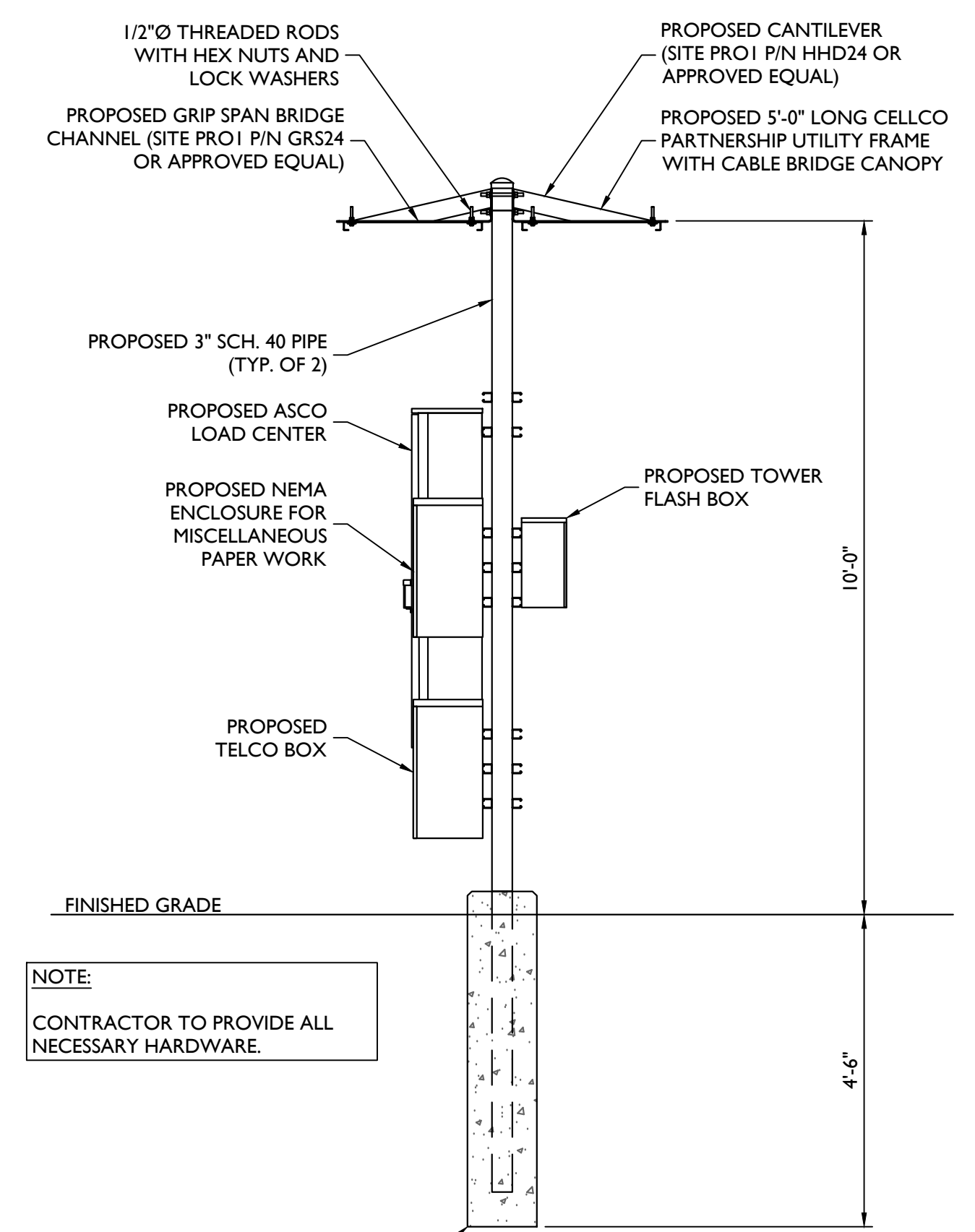
SHEET NUMBER: **C-8** | REV: **0**



**EQUIPMENT LAYOUT**  
 SCALE: 1" = 2'  
 24"x36" DRAWINGS  
 11x17 DRAWINGS: DO NOT SCALE



**SECTION A-A**  
**EQUIPMENT SECTION VIEW**  
 SCALE: 1" = 2'  
 24"x36" DRAWINGS  
 11x17 DRAWINGS: DO NOT SCALE



NOTE:  
 CONTRACTOR TO PROVIDE ALL NECESSARY HARDWARE.

**SECTION B-B**

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B	08/08/18	ISSUED FOR CONSTRUCTION REVIEW	MEG	MEG	MPC
A	05/23/18	ISSUED FOR CONSTRUCTION REVIEW	MJB	MEG	MPC

**MICHAEL P. CLEARY**  
 No. 19205  
 DEPARTMENT OF PROFESSIONAL AND VETERINARY BOARD  
 ENGINEER - LICENSE NUMBER: 19205  
 DATE: \_\_\_\_\_

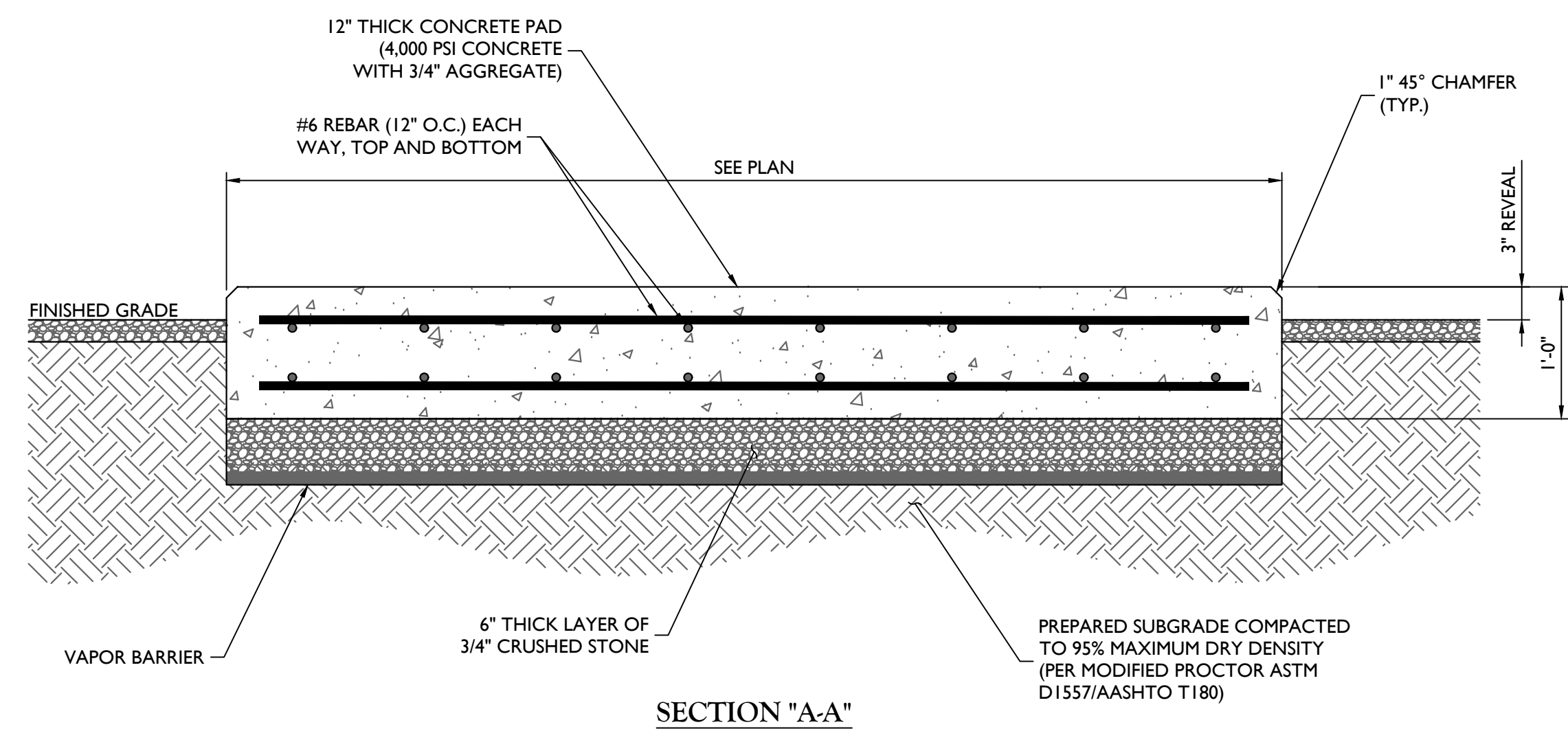
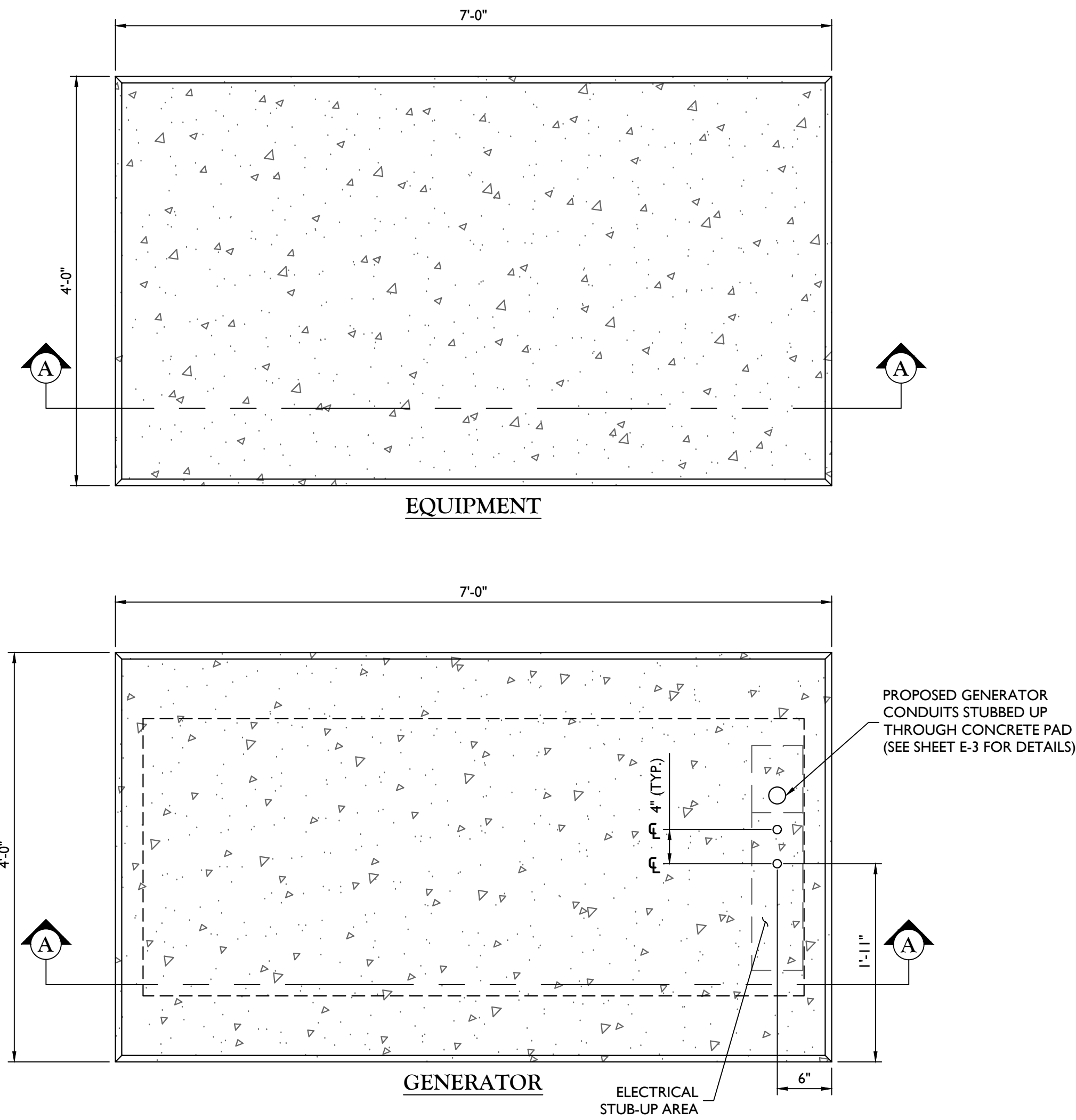
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SCALE: AS SHOWN JOB NUMBER: 15960053A

SHEET TITLE:  
**CONSTRUCTION DETAILS**

SHEET NUMBER: **A-1** REV: **0**



**CONCRETE EQUIPMENT PAD DETAILS**  
NOT TO SCALE

**CONCRETE NOTES:**

**DESIGN INFORMATION:**

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336A, ASTM A184, ASTM A185 AND THE DESIGN & CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. THE DESIGN SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE AS SHOWN ON SHEET T-1.

**EARTHWORK:**

1. FOUNDATIONS HAVE BEEN DESIGNED TO BEAR ON (UNDISTURBED RESIDUAL SOILS/COMPACTED STRUCTURAL FILL), CAPABLE OF SAFELY SUPPORTING AN ALLOWABLE BEARING PRESSURE OF 1,500 PSF. IF FOUNDATION CONDITIONS PROVE UNACCEPTABLE AT ELEVATIONS SHOWN, EXCAVATION SHALL BE CARRIED DEEPER AND SHALL BE BACKFILLED WITH LEAN CONCRETE TO PLAN FOOTING BOTTOM, OR REDISIGN OF FOUNDATIONS WILL BE REQUIRED AT THE DIRECTION OF THE ENGINEER.
2. DESIGN FURNISH AND INSTALL TEMPORARY SHEETING, SHORING, AND DRAINAGE TO MAINTAIN THE EXCAVATION AND PROTECT SURROUNDING STRUCTURES AND UTILITIES.
3. THOROUGHLY COMPACT ALL BOTTOM OF FOOTINGS PRIOR TO PLACING ANY CONCRETE.

**CONCRETE:**

**1. FORMWORK**

- 1.a. CONCRETE CONSTRUCTION SHALL CONFORM TO "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS," (ACI 301-89).
- 1.b. FORMWORK SHALL CONFORM TO ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"

**2. REINFORCEMENT**

- 2.a. REINFORCING STEEL ASTM A615, GRADE 60, WELDED WIRE ASTM A185 (FLAT SHEET), LAPS 40 BAR DIAMETERS UNLESS NOTED, BARS SHALL BE SECURELY HELD IN ACCURATE POSITION BY SUITABLE ACCESSORIES, TIE BARS, SUPPORT BARS, ETC. HOOK LENGTHS SHALL BE 12 BAR DIAMETERS.
- 2.b. CONCRETE COVER FOR REINFORCING BARS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED.
 

2.b.1. FOOTINGS AND SLABS CAST AGAINST GROUND	3"
2.b.2. CONCRETE TO BE IN CONTACT WITH GROUND OR WEATHER AT BARS GREATER THAN 5"	2"
2.b.3. AT BARS #5 OR LESS	1 1/2"
2.b.4. CONCRETE NOT TO BE EXPOSED TO GROUND OR WEATHER BEAMS, GIRDERS, AND COLUMNS	1 1/2"
2.b.5. SLABS AND WALLS	3/4"

**2.c. CAST IN PLACE CONCRETE**

- 2.c.1. MINIMUM 28 DAY CYLINDER STRENGTH AND MAXIMUM SLUMP, PRIOR TO ADDITION F SUPER PLASTICIZERS, AS FOLLOWS:
 

2.c.1.1. CLASS I FOOTINGS	3000 PSI	3"
2.c.1.2. CLASS III INTERIOR ELEVATED SLABS AND WALLS	4000 PSI	4"
2.c.1.3. CLASS V OTHER WORK	4000 PSI	4"
2.c.1.4. CLASS VI LEAN CONCRETE FOR OVEREXCAVATION OF FOUNDATIONS	2000 PSI	N/A
- 2.c.2. MIX DESIGN TO BE IN ACCORDANCE WITH ACI 318, CHAPTER 5. NO CALCIUM CHLORIDE ADMIXTURE CONTAINING CHLORIDES SHALL BE USED IN ANY CONCRETE
- 2.c.3. COARSE AGGREGATE FOR NORMAL WIEGHT CONCRETE SHALL CONFORM TO ASTM C33 SIZE #57. COARSE AGGREGATE FOR LIGHTWEIGHT CONCRETE SHALL CONFORM TO ASTM C330 GRADED 3/4" TO 1/4".
- 2.c.4. COLD WEATHER PLACEMENT SHALL COMPLY WITH ACI 306.1
- 2.c.5. HOT WEATHER PLACEMENT SHALL COMPLY WITH ACI 305 R.
- 2.c.6. CHAMFER ALL EXPOSED EDGES 3/4"
- 2.c.7. THE MAXIMUM TEMPERATURE OF ALL CONCRETE AT DELIVERY TO THE SITE SHALL BE 85°F
- 2.c.8. TOTAL DELIVERY TIME SHALL BE LESS THAN 75 MINUTES.

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0	09/14/18	ISSUED FOR CONSTRUCTION	MJB	MPC	MPC
8	08/08/18	ISSUED FOR CONSTRUCTION REVIEW	MEG	MEG	MPC
A	05/23/18	ISSUED FOR CONSTRUCTION REVIEW	MJB	MEG	MPC

**MICHAEL P. CLEARY**  
Professional Engineer  
License No. 19205

DATE: \_\_\_\_\_

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2000 Melburn Drive  
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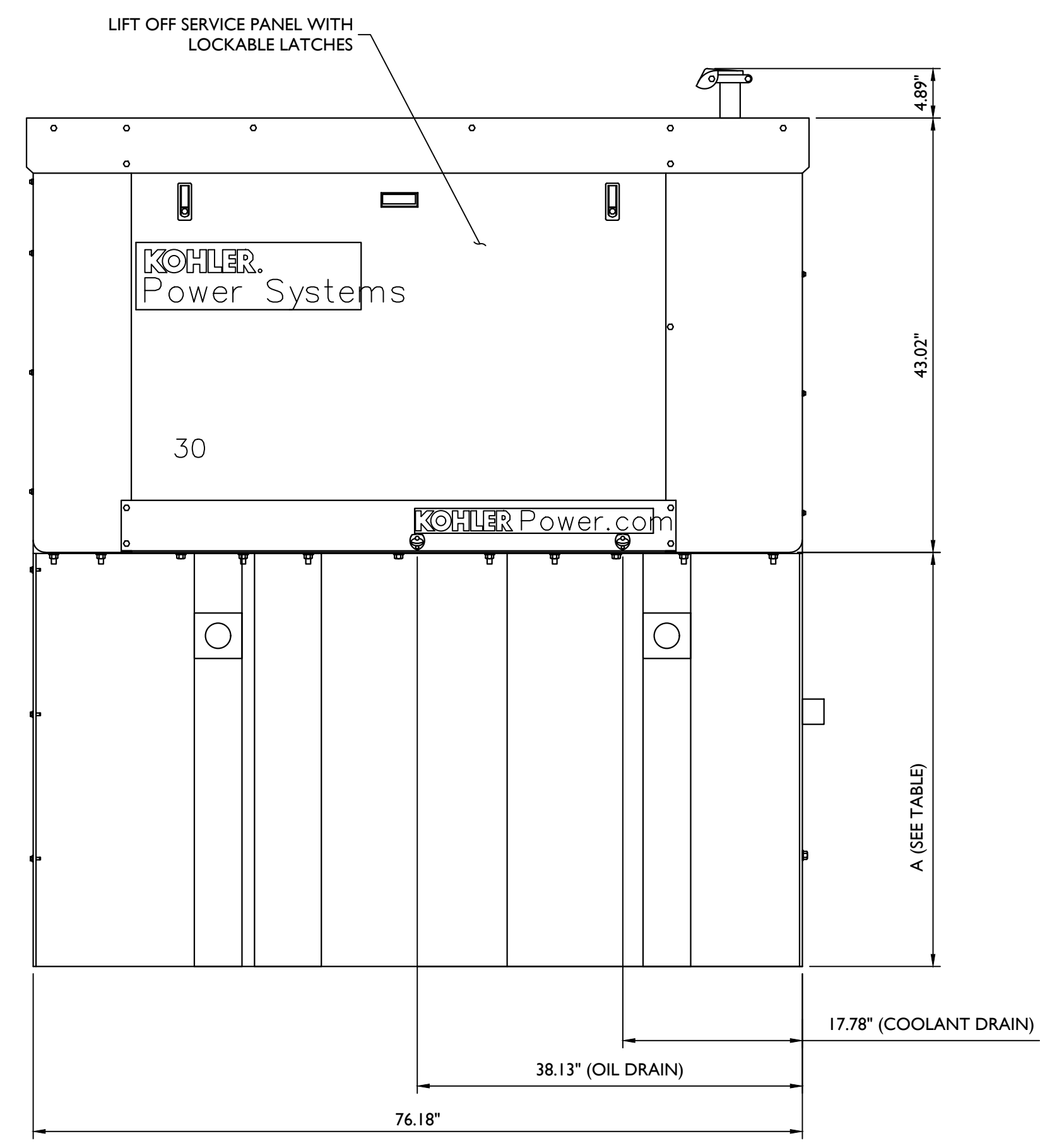
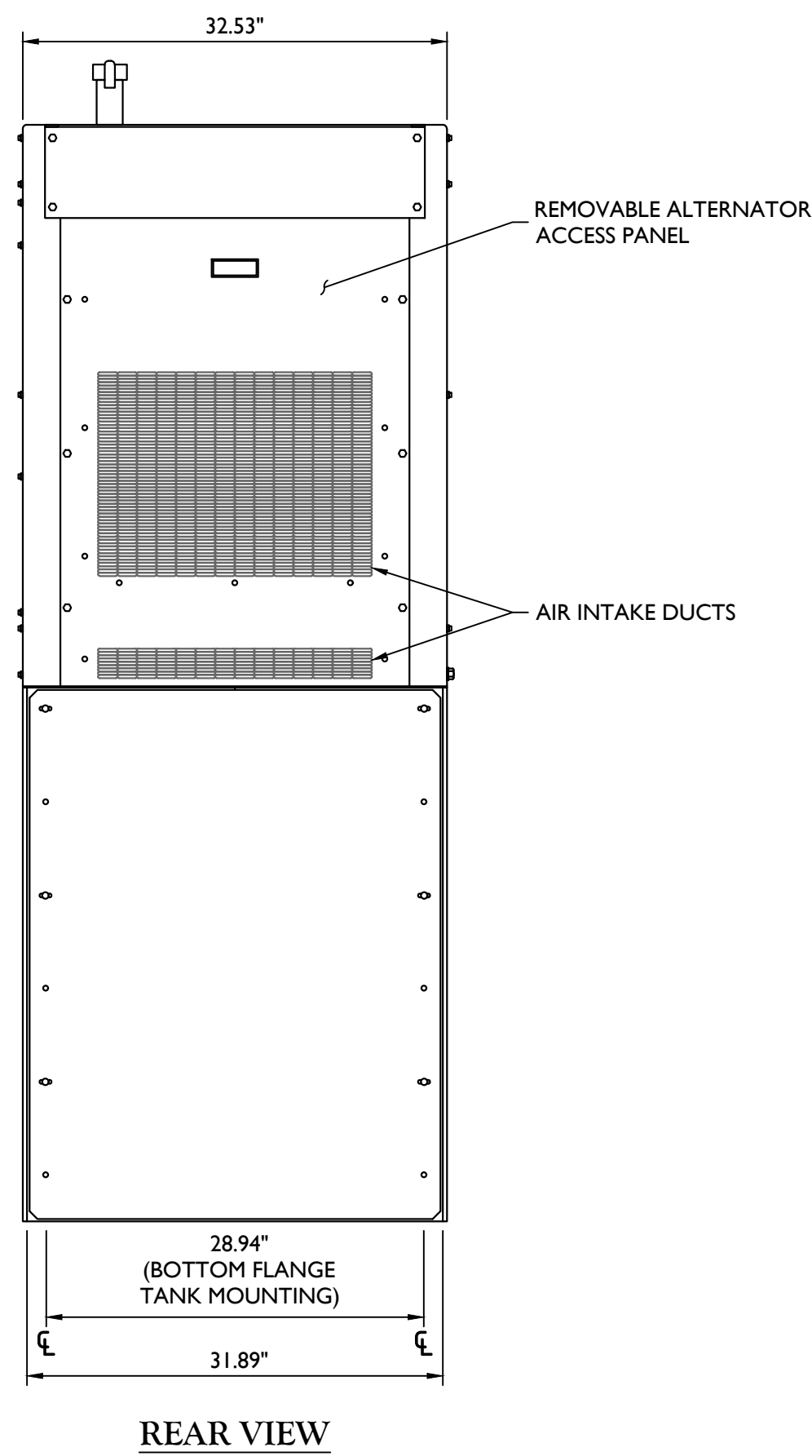
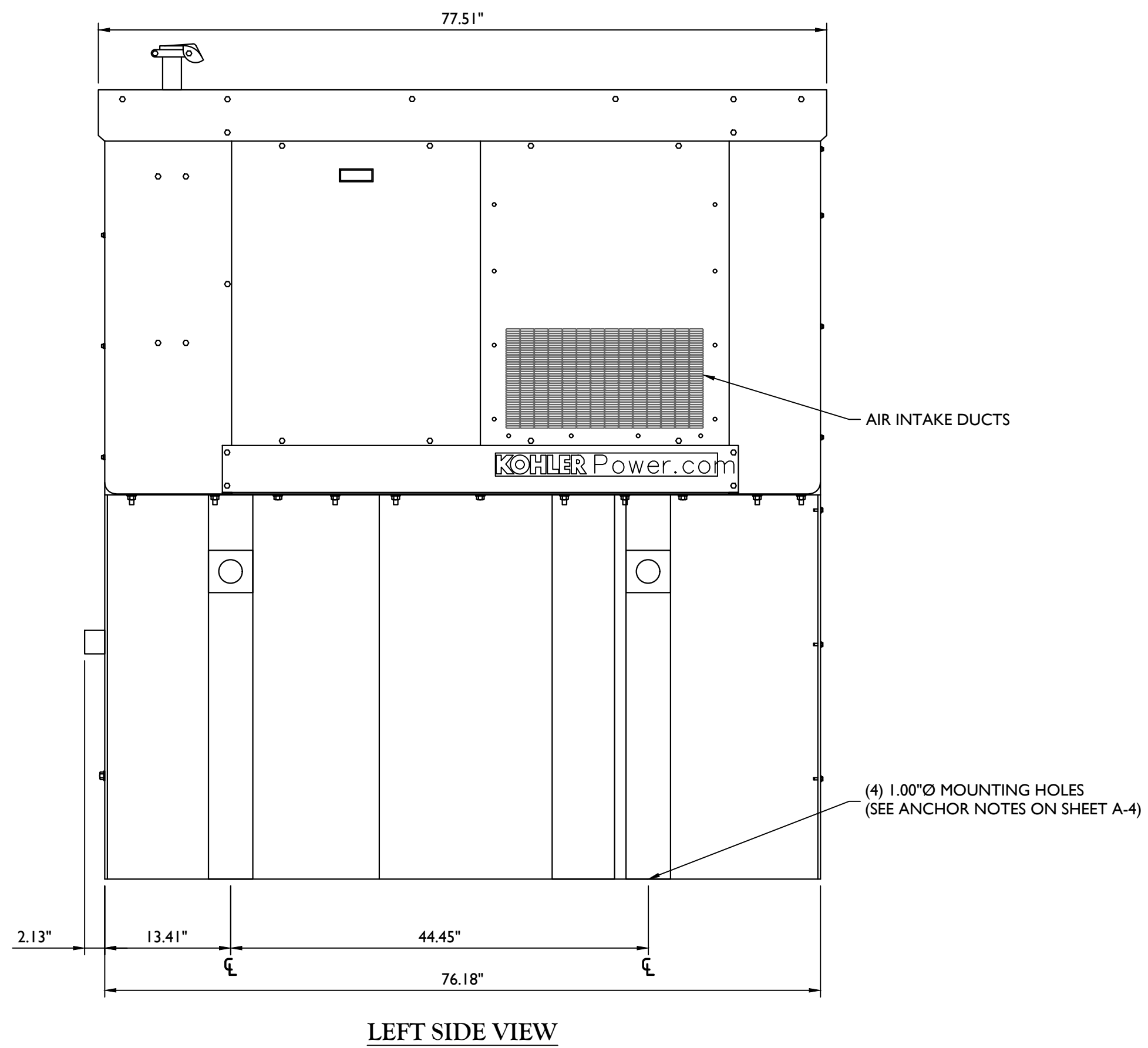
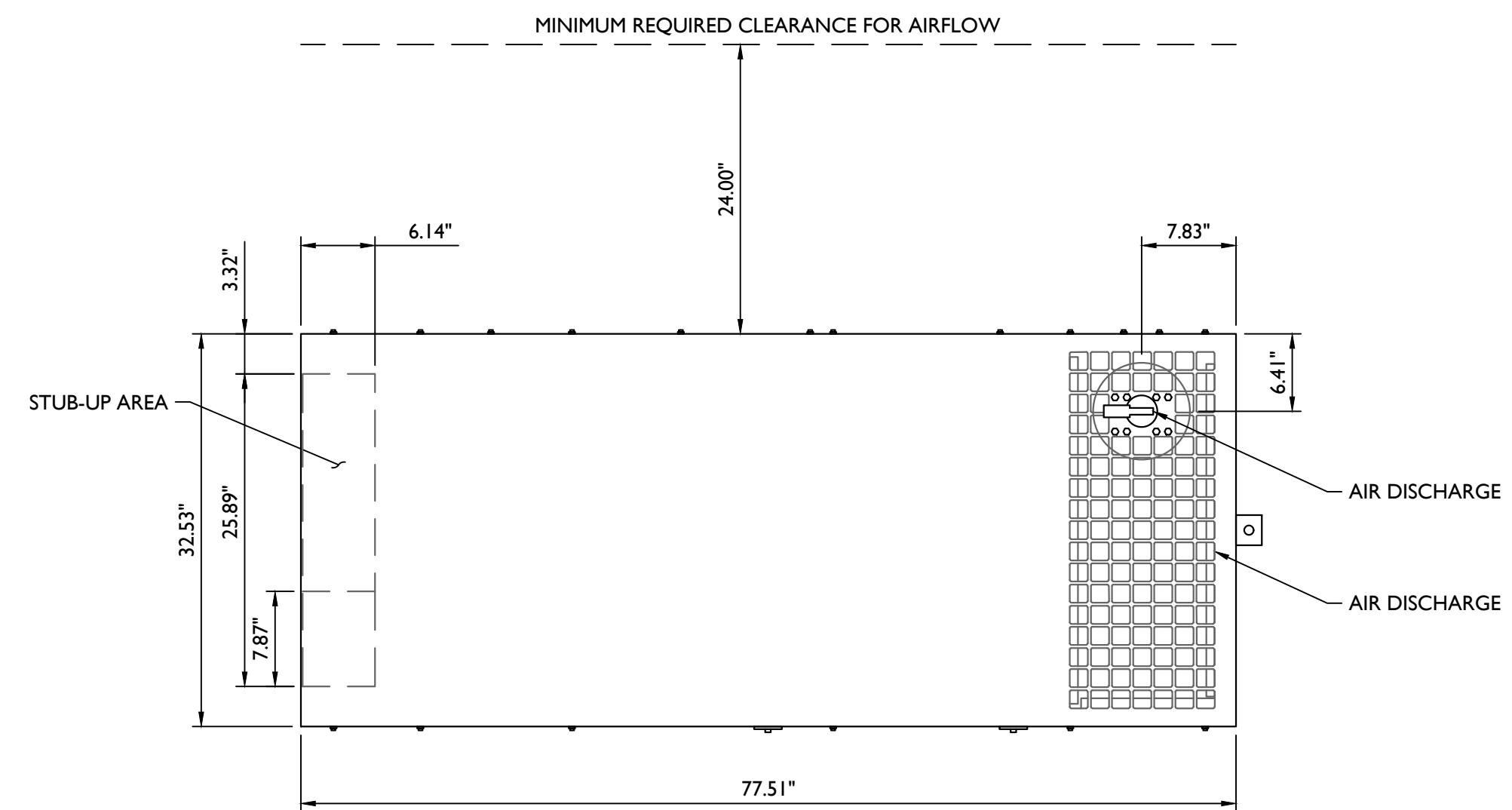
SHEET TITLE: **CONSTRUCTION DETAILS**

SHEET NUMBER: **A-2** | REV: **0**

NOTES:

1. THE RIGHT SIDE OF THE GENERATOR IS SERVICE ACCESSIBLE.
2. 6 AMP BATTERY CHARGER.
3. 120VAC ENGINE BLOCK HEATER.
4. GENERATOR MUST BE GROUNDED.
5. SOUND ATTENUATED ENCLOSURE STANDARD WITH GENERATOR.
6. MUST ALLOW FREE FLOW OF DISCHARGE AIR AND EXHAUST.
7. MUST ALLOW FREE FLOW OF AIR INTAKE.
8. EASY ACCESS SERVICE PANEL IS LOCATED ON THE RIGHT SIDE OF THE GENERATOR ONLY.
9. BASE TANK REQUIRES ALL STUB-UPS TO BE IN THE REAR TANK STUB-UP AREA.
10. SEE TABLE FOR SUB-BASE FUEL TANK CAPACITY.
11. TANK EQUIPPED WITH FIRE SAFETY VALVE ON FUEL SUPPLY LINE.
12. IT IS THE RESPONSIBILITY OF THE INSTALLATION TECHNICIAN TO ENSURE THAT THE GENERATOR INSTALLATION COMPLIES WITH ALL APPLICABLE CODES, STANDARDS AND REGULATIONS.
13. GENERATOR IS INSTALLED ON UL-142 RATE DOUBLE WALL SUB-BASE FUEL TANK.
14. 65.4 dBA @ 23 FT (7 M) @ 100% LOAD WITH SOUND ENCLOSURE.

GENSET	TANK P/N	TANK HEIGHT (A)	DESCRIPTION	ASSEMBLY WEIGHT
30REOZK	GM97093-MA2	41.0"	SKID/TANK, 203 GAL	2,114 LBS



**DIESEL SOUND ENCLOSURE WITH LIFT OFF PANEL**  
**30kW KOHLER DIESEL GENERATOR DETAIL**  
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**MICHAEL P. CLEARY**  
 No. 19205  
 PROFESSIONAL ENGINEER - LICENSE NUMBER: 19205  
 DATE: \_\_\_\_\_

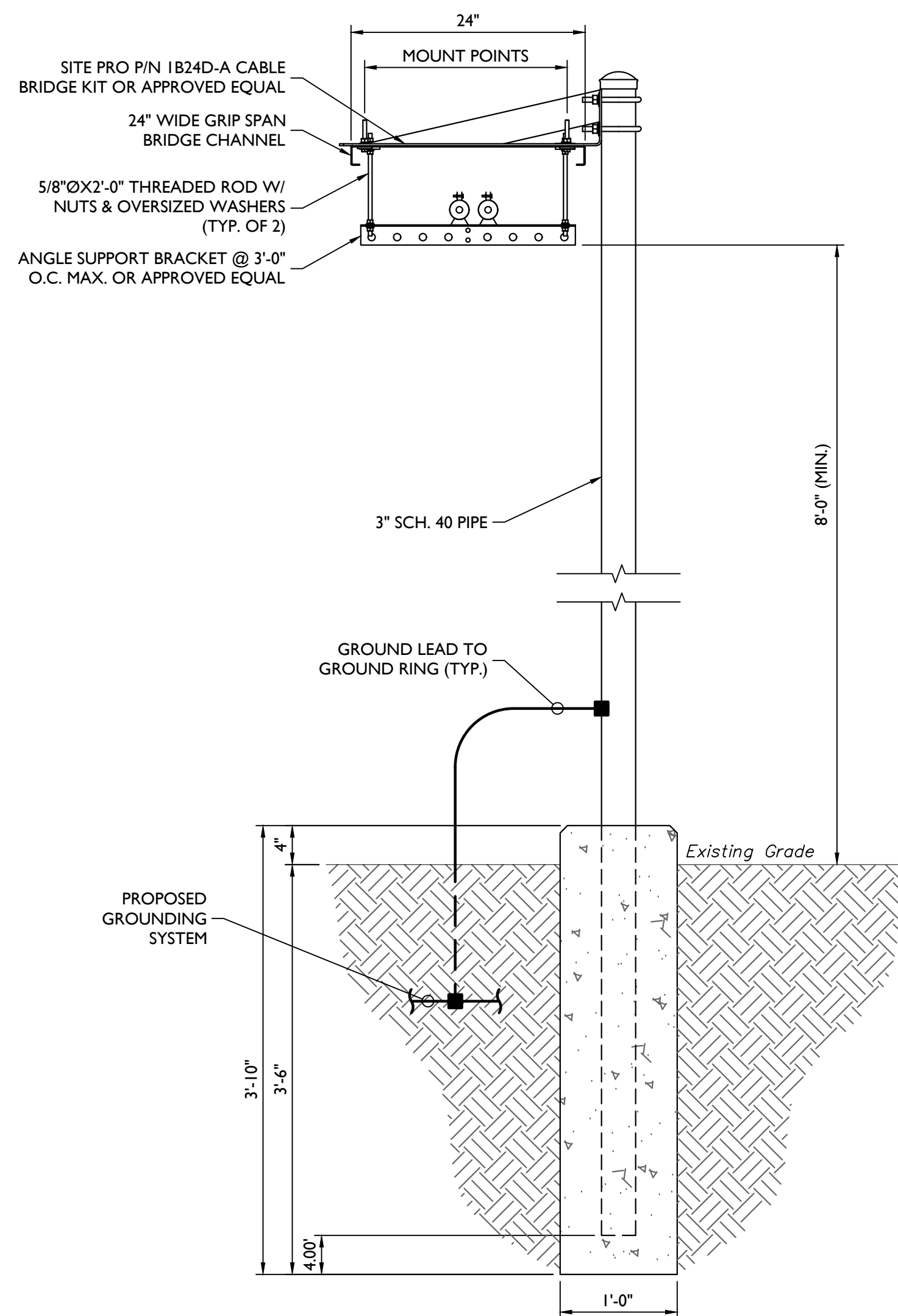
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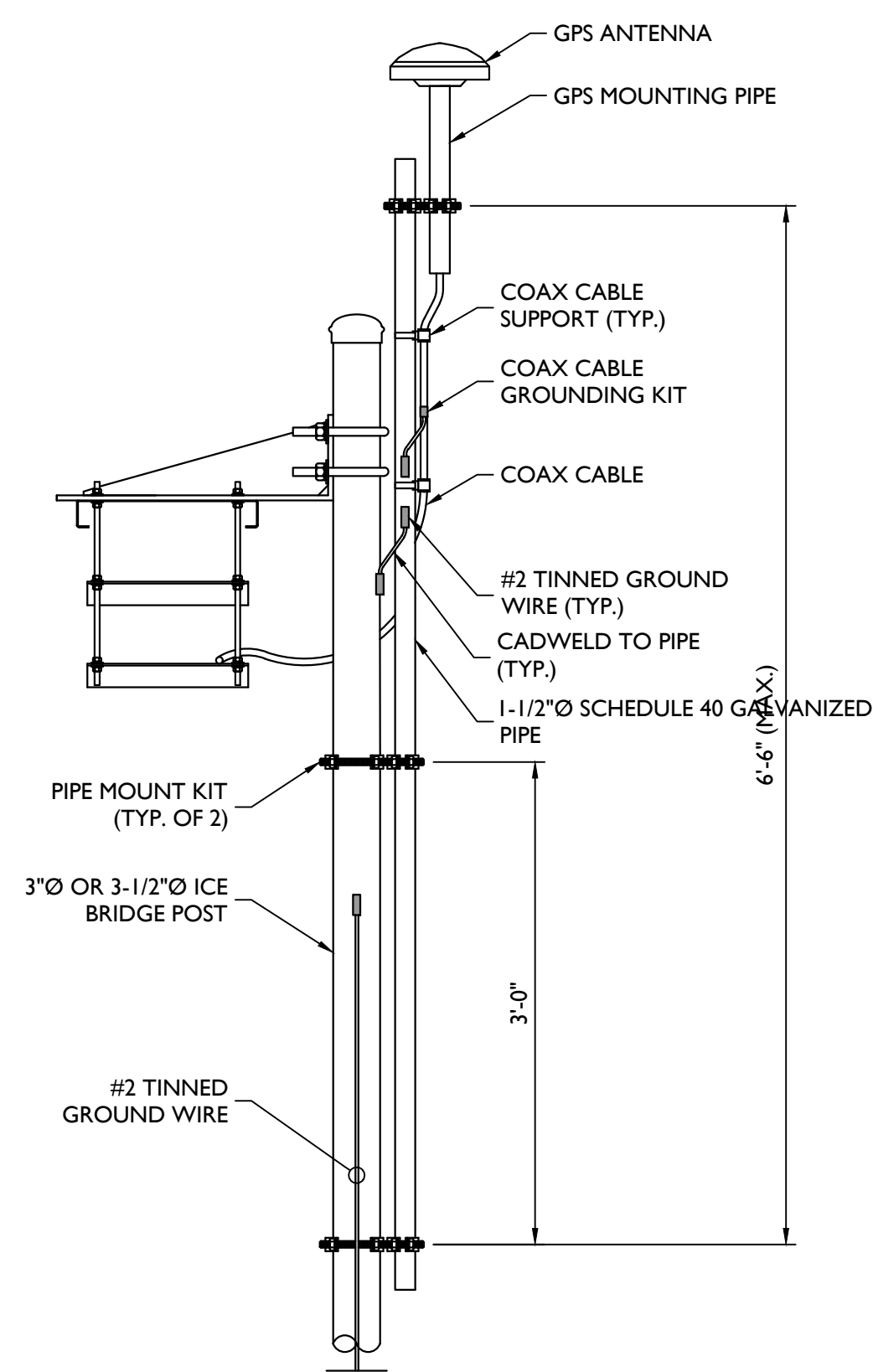
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SHEET TITLE:  
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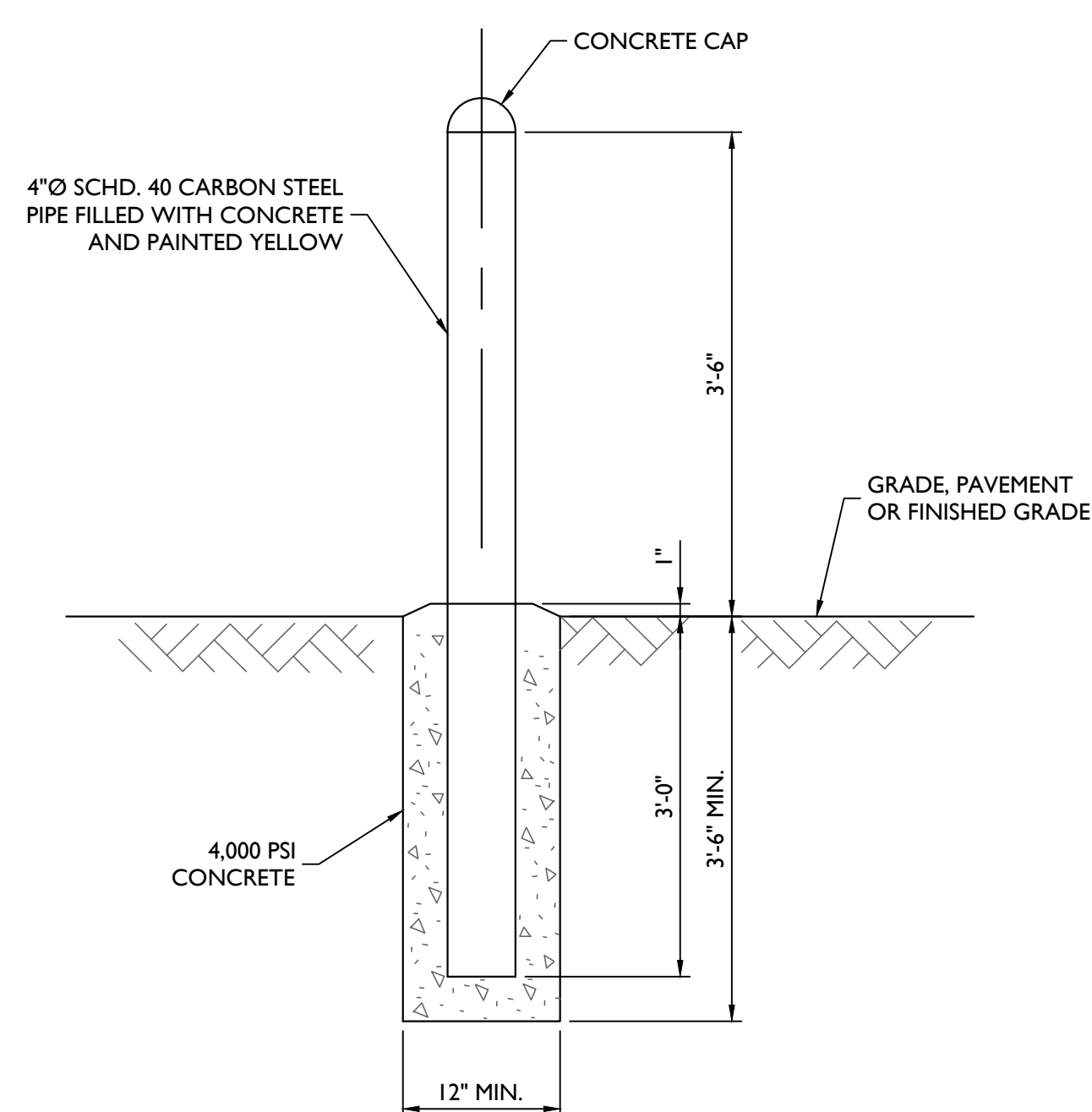
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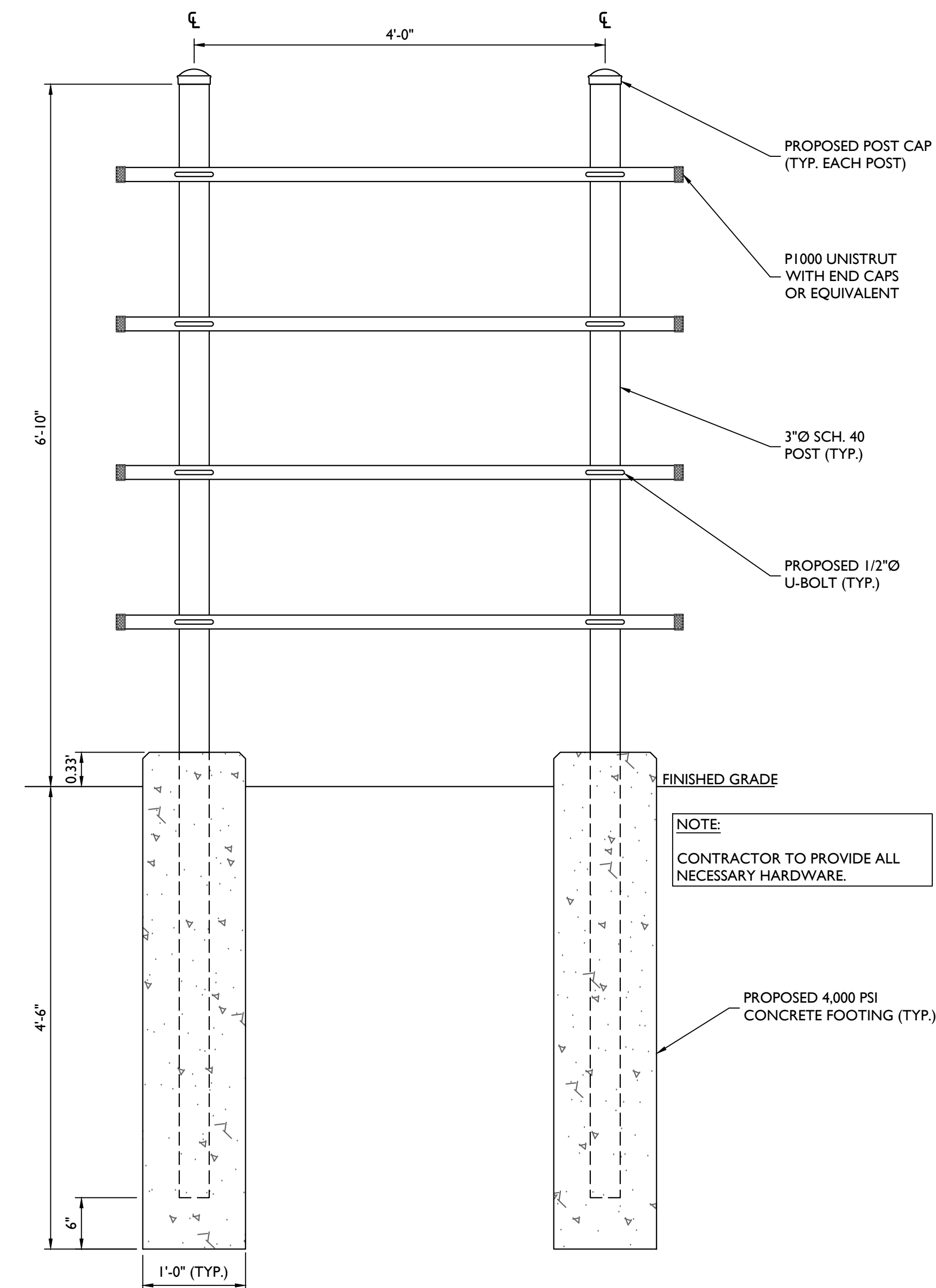
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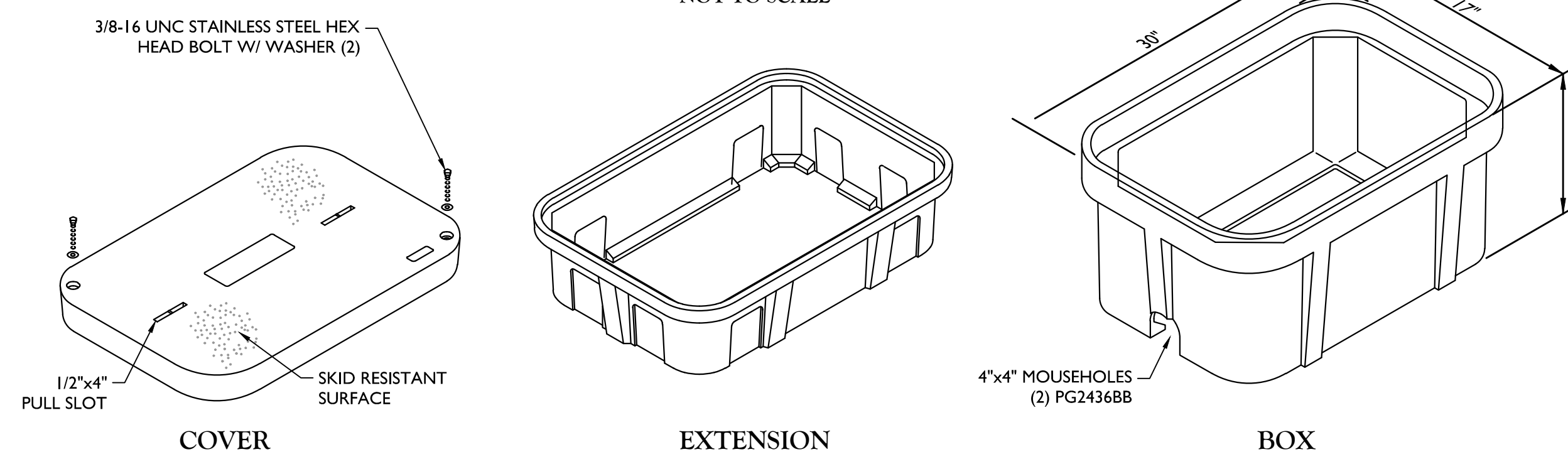
**GPS MOUNTING DETAIL**  
NOT TO SCALE



**BOLLARD DETAIL**  
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**BACKBOARD DETAIL**  
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**PULL BOX DETAIL**  
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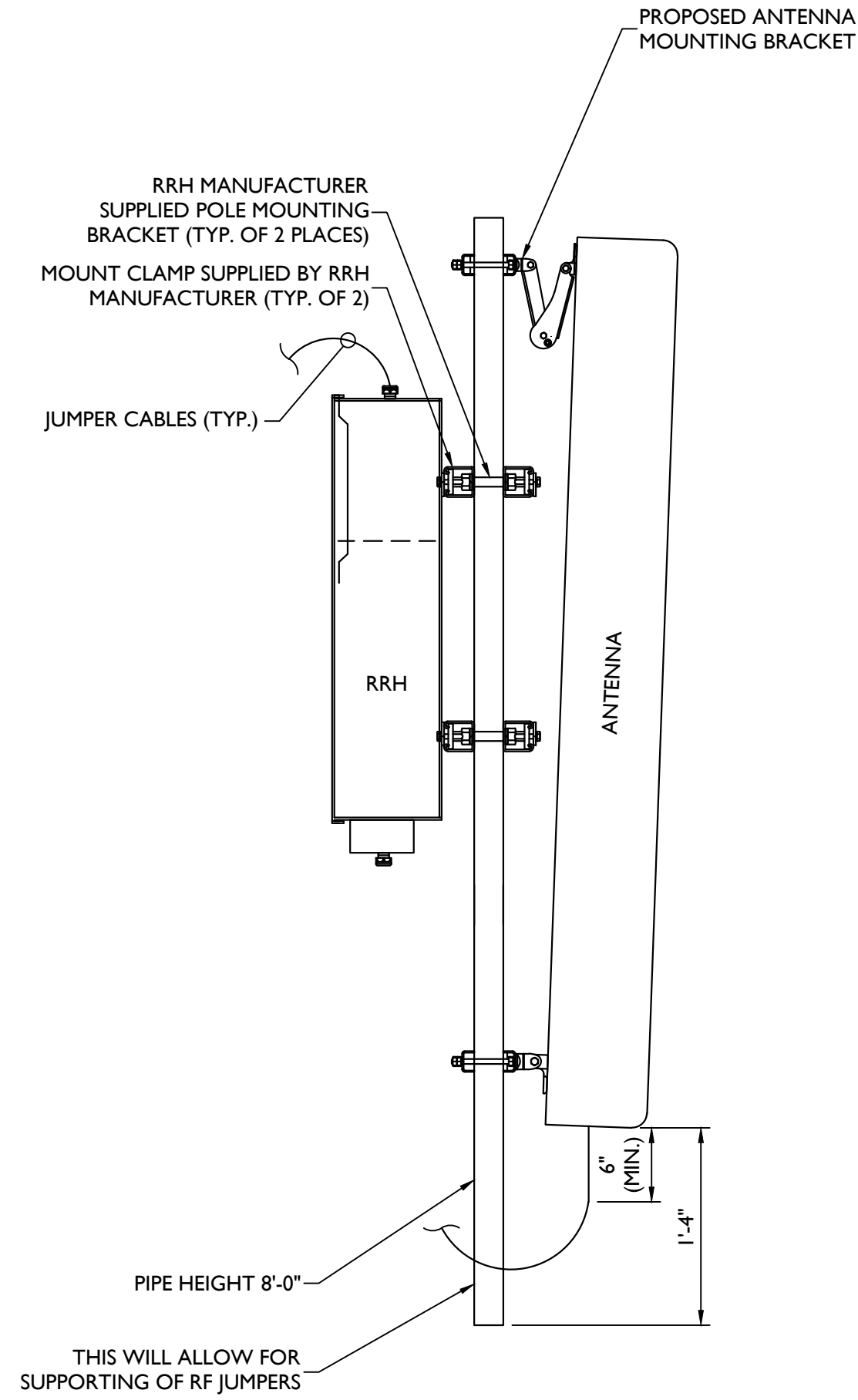
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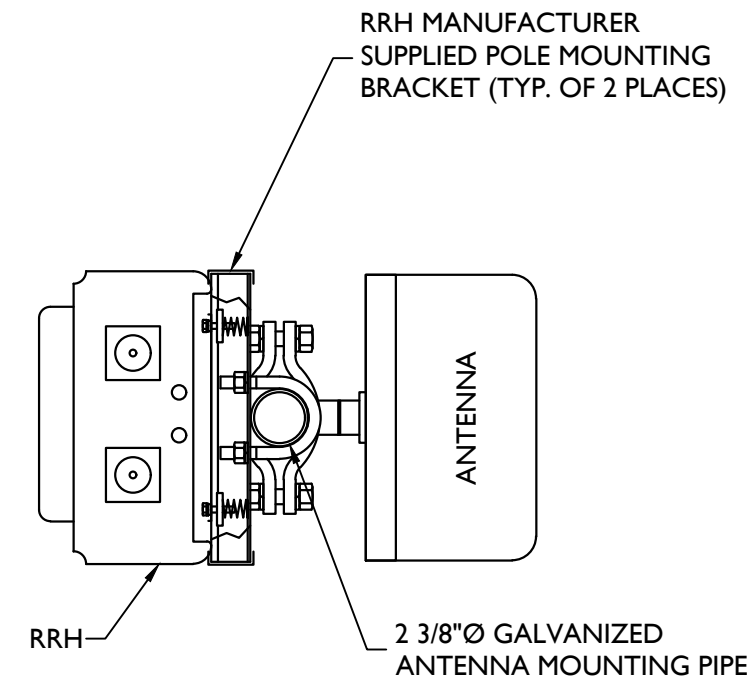
SCALE: AS SHOWN JOB NUMBER: 15960053A

SHEET TITLE:  
**CONSTRUCTION DETAILS**

SHEET NUMBER: **A-4** REV: **0**

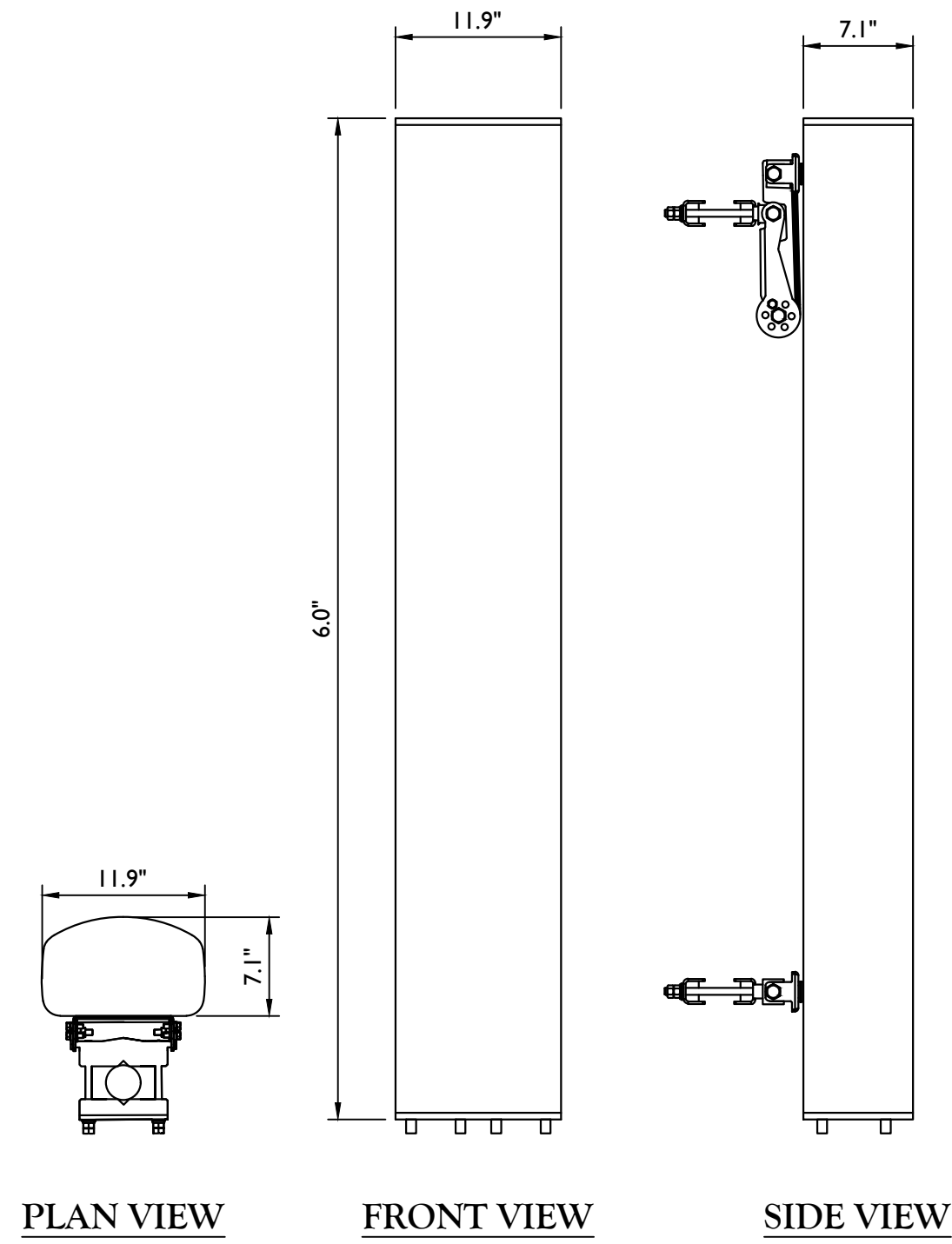


ELEVATION VIEW



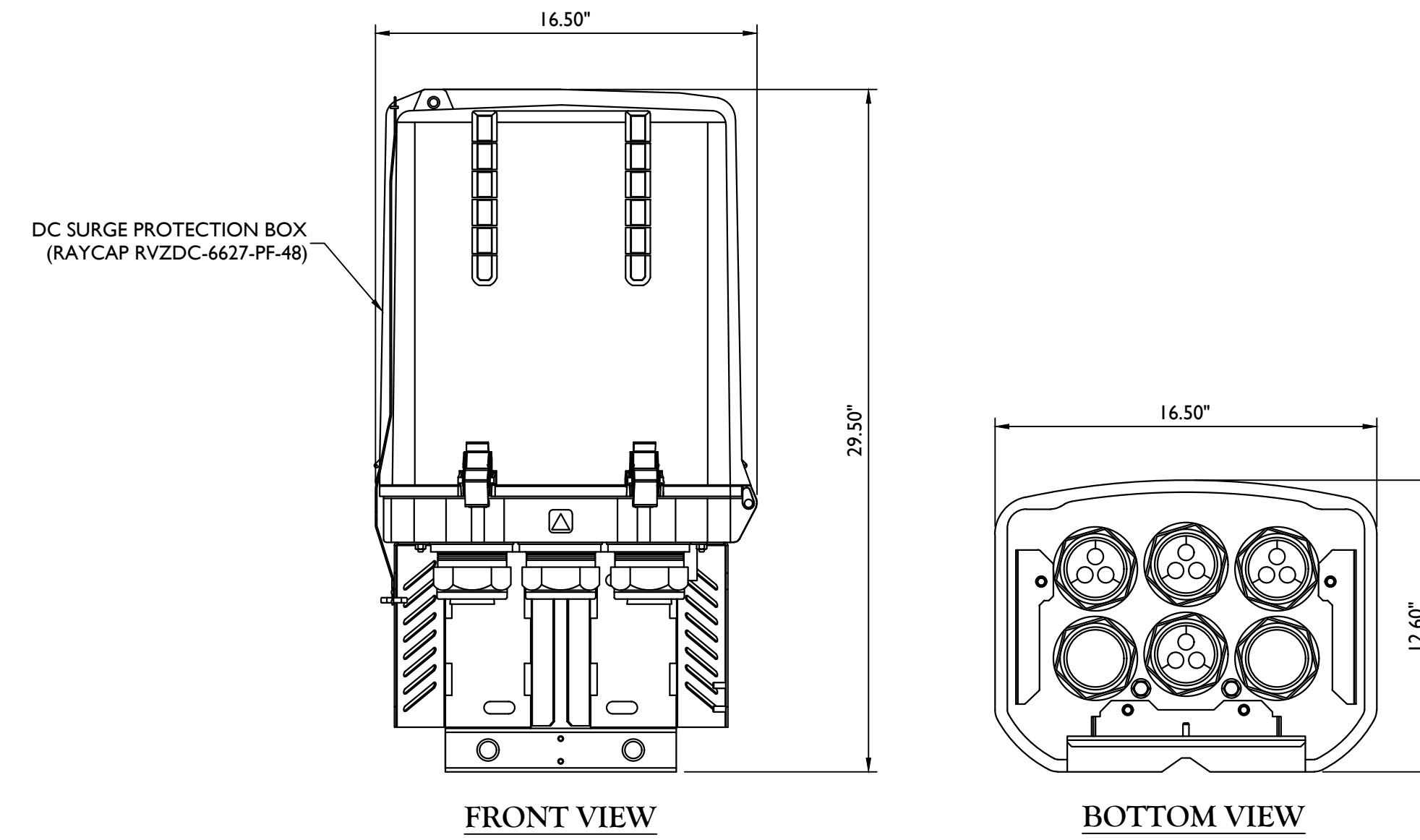
PLAN VIEW

ANTENNA MOUNTING DETAIL  
NOT TO SCALE



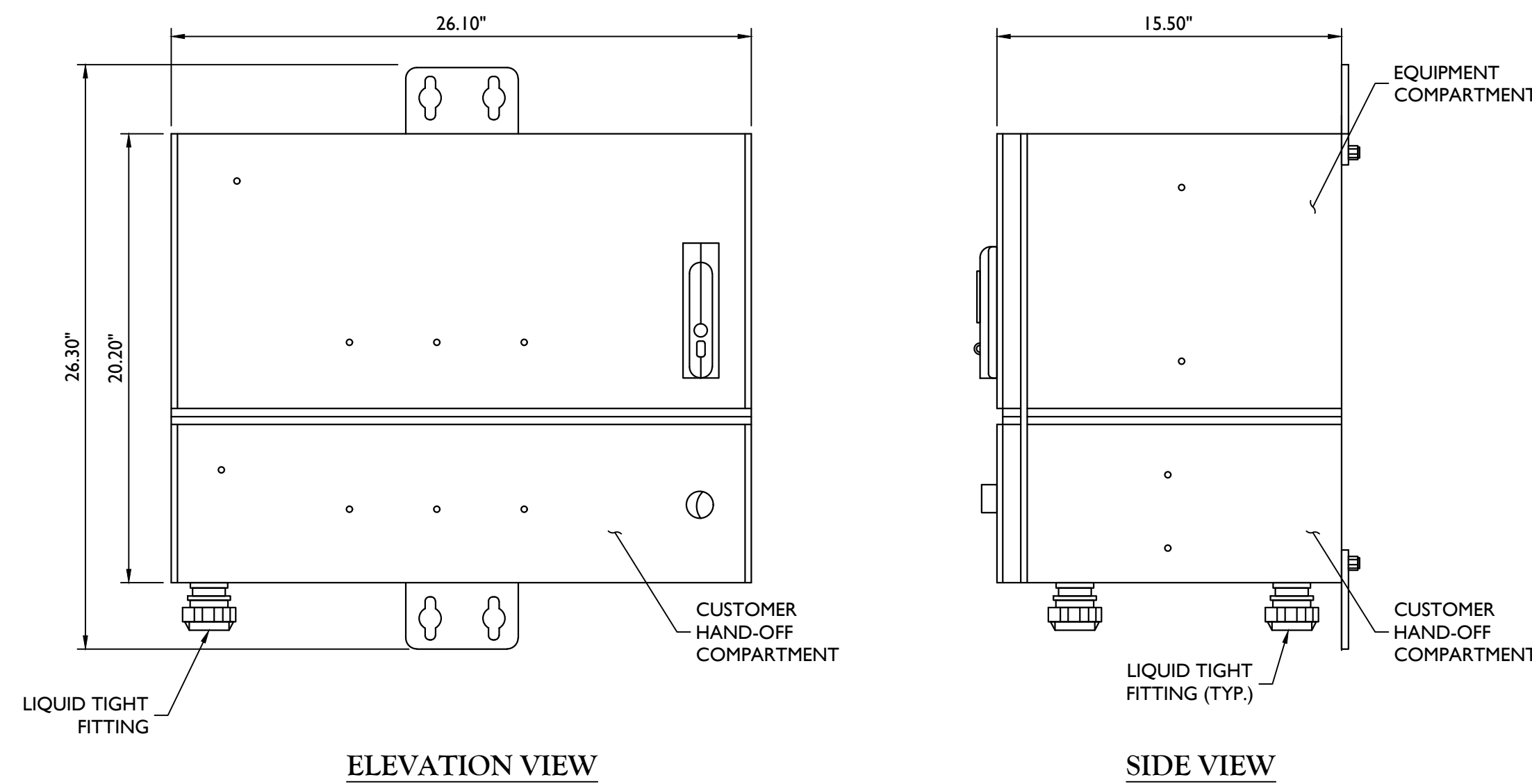
WEIGHT WITHOUT MOUNTING HARDWARE = 43.7 LBS  
WEIGHT WITH MOUNTING HARDWARE = 57.0 LBS

COMMSCOPE NHH-65B-R2B  
NOT TO SCALE

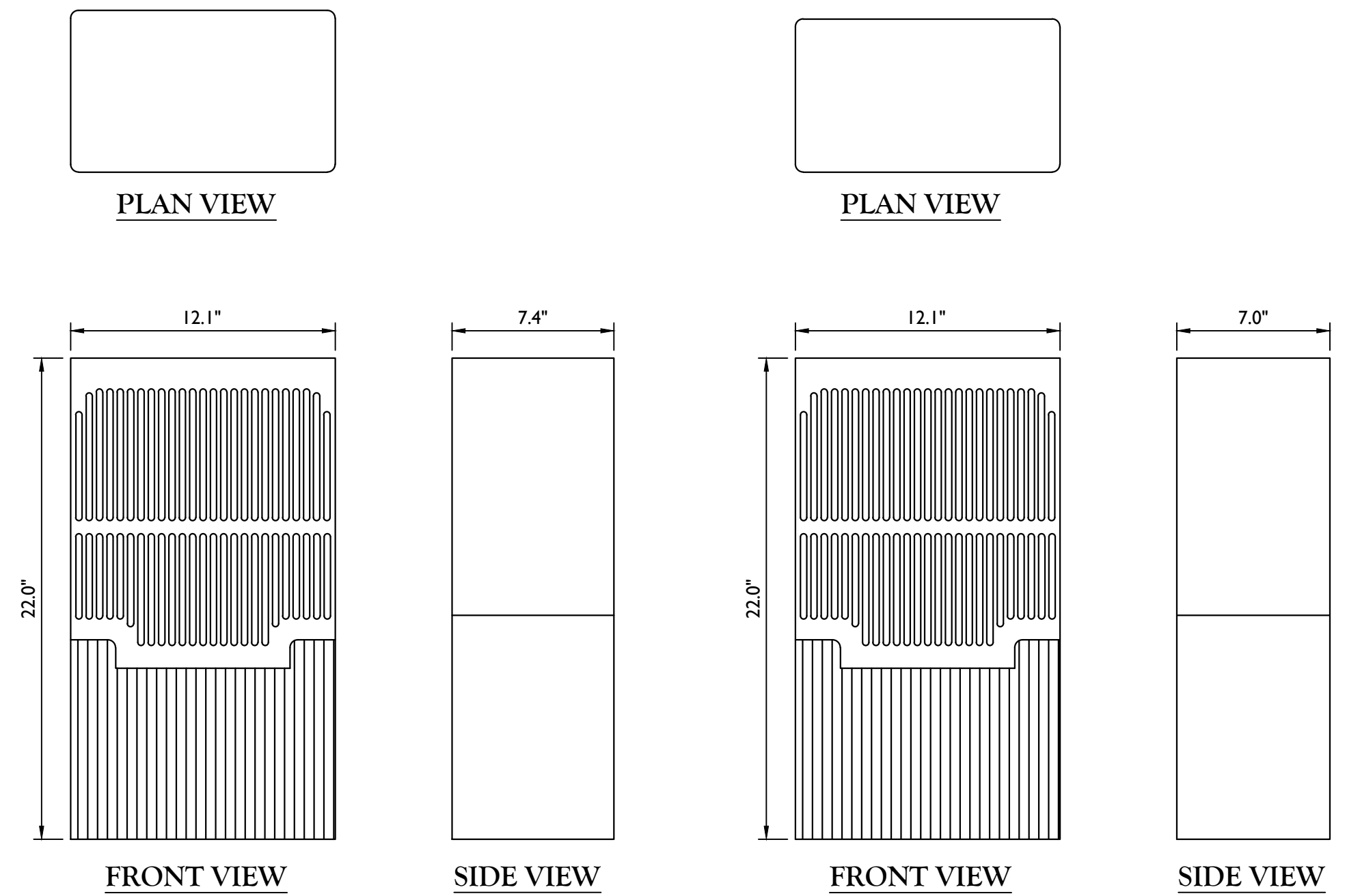


WEIGHT = 32.0 LBS

RAYCAP RVZDC-6627-PF-48  
SURGE PROTECTION  
NOT TO SCALE



CHARLES INDUSTRIES RL2000A CUBE  
NOT TO SCALE



WEIGHT = 83.8 LB  
4T4R B5/13 320W  
AIRSCALE DUAL RRH  
NOT TO SCALE

WEIGHT = 79.4 LB  
4T4R B2/66A 320W  
AIRSCALE DUAL RRH  
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1	06/11/19	ISSUED FOR CONSTRUCTION	AN	MPC	MPC
0	09/11/18	ISSUED FOR CONSTRUCTION	MJB	MPC	MPC
8	08/08/18	ISSUED FOR CONSTRUCTION REVIEW	MEG	MEG	MPC
A	05/23/18	ISSUED FOR CONSTRUCTION REVIEW	MJB	MEG	MPC

**MICHAEL P. O'LEARY**  
Professional Engineer  
License No. 19205  
DATE: \_\_\_\_\_

**MT. LAUREL OFFICE**  
2000 Melodic Drive  
Suite 100  
Mount Laurel, NJ 08054  
Phone: 856.797.0412  
Fax: 856.722.1120  
email: solutions@maserconsulting.com

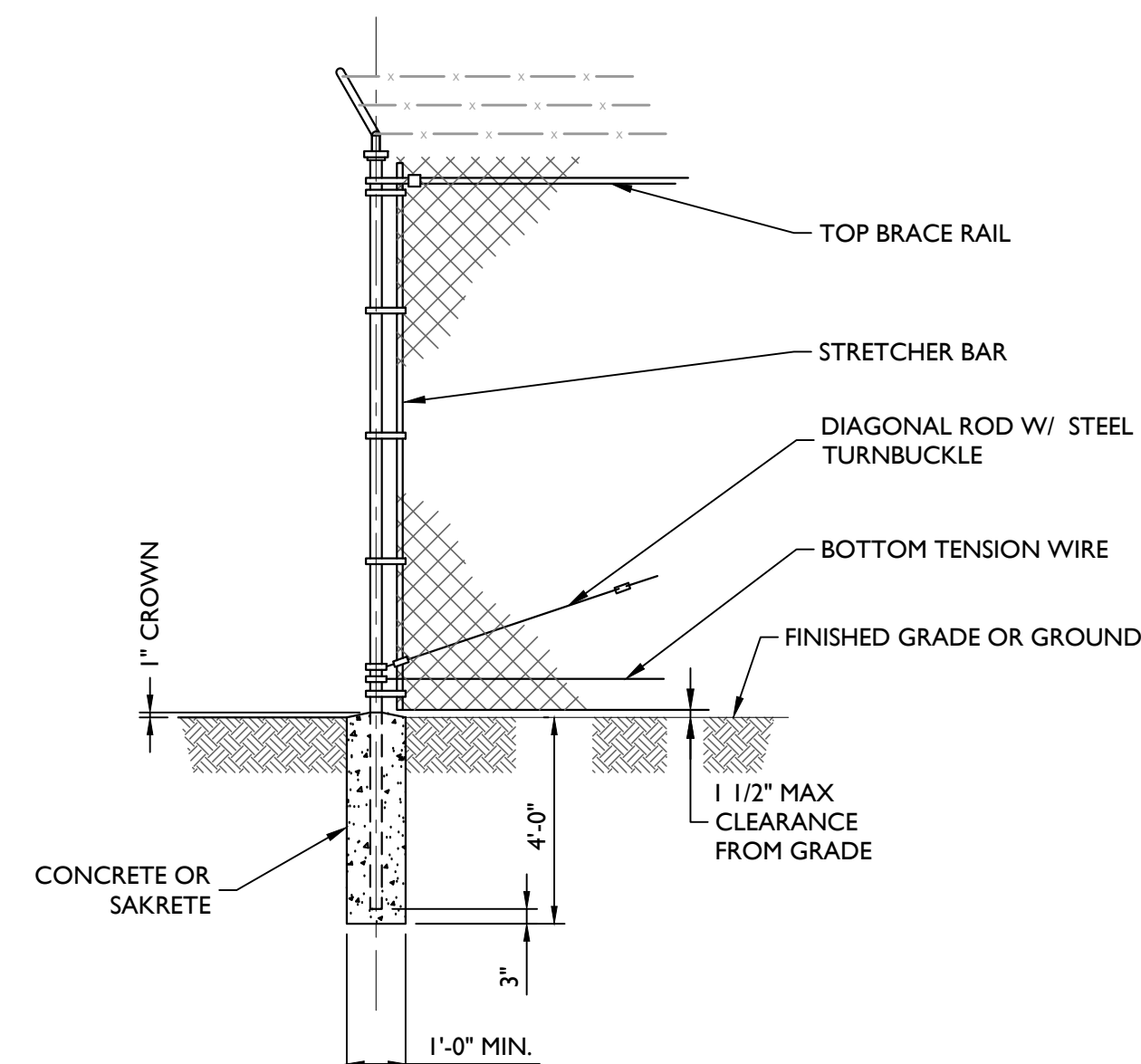
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SHEET TITLE:  
**CONSTRUCTION DETAILS**

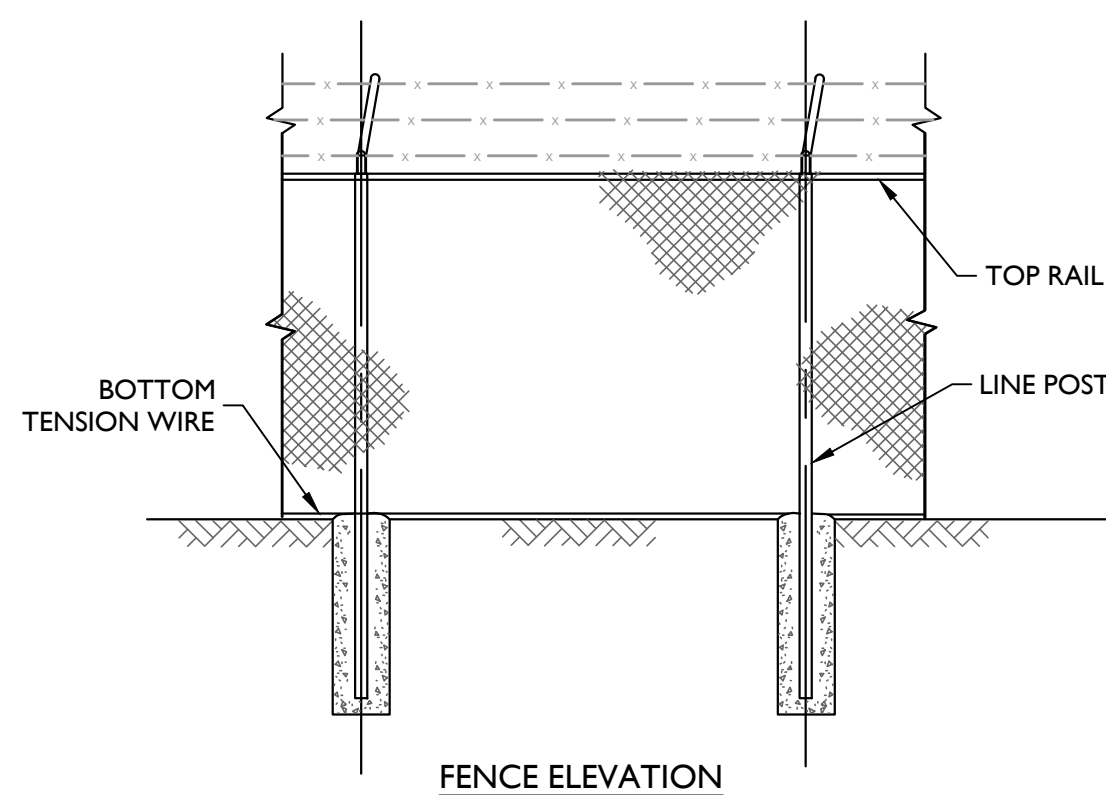
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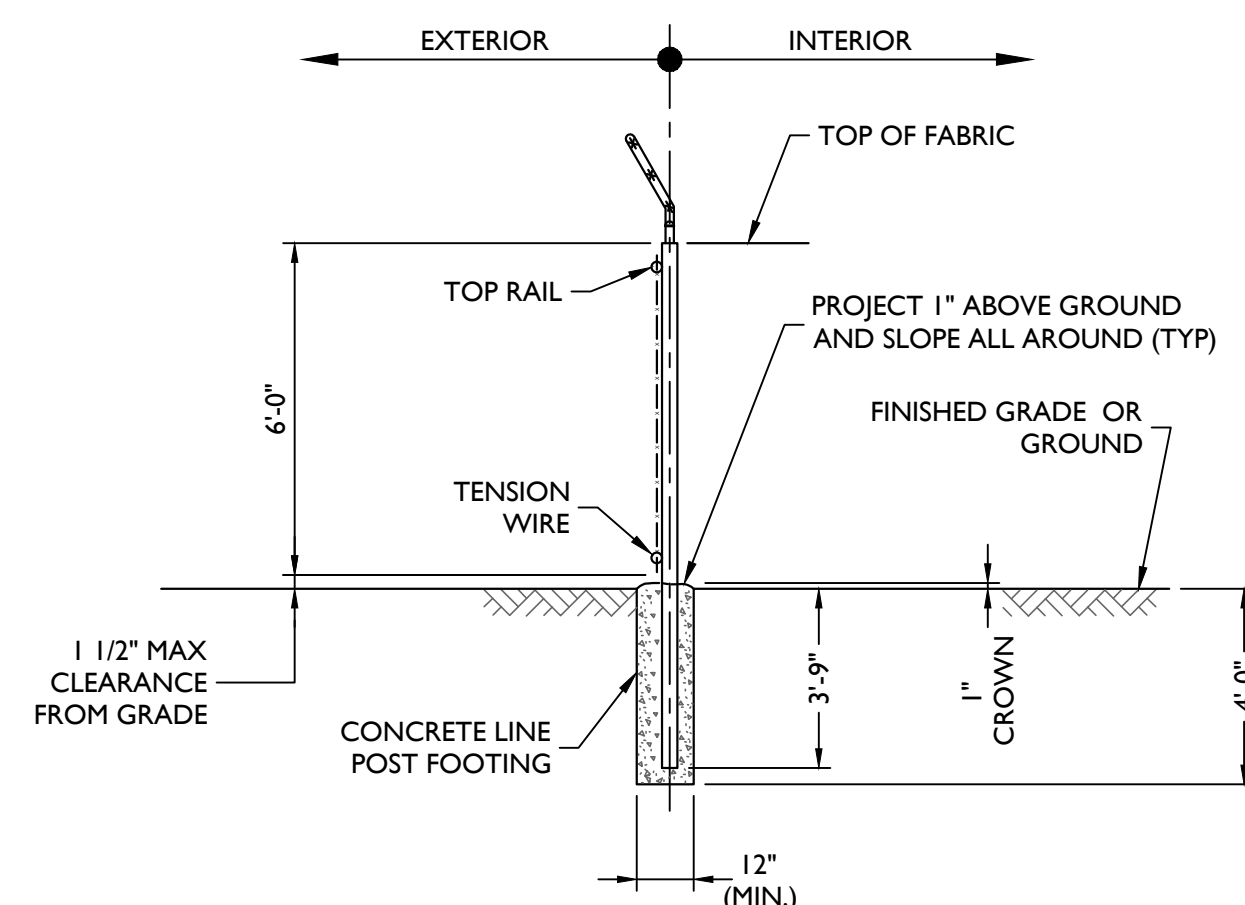


**WOVEN WIRE CORNER, GATE, END, OR PULL POST**  
NOT TO SCALE

1. GATE POST, CORNER, TERMINAL OR PULL POST SHALL BE 3"Ø SCHEDULE 40 FOR GATE WIDTHS UP THROUGH 7 FEET OR 14 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.
2. LINE POST: 2-3/8"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
3. GATE FRAME: 1 1/2"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
4. TOP RAIL & BRACE RAIL: 1 1/4"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
5. FABRIC: 9 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392 CLASS 1.
6. TIE WIRE: MINIMUM 11 GA GALVANIZED STEEL INSTALL A SINGLE WRAP TIE WIRE AT POSTS AND RAILS AT MAX. 24" INTERVALS. INSTALL HOG RINGS ON TENSION WIRE AT 24" INTERVALS.
7. TENSION WIRE: 7 GA. GALVANIZED STEEL.
8. BARBED WIRE: 3 STRANDS OF DOUBLE STRANDED 12-1/2 GAUGE TWISTED WIRE, 4 PT. BARBS SPACED ON APPROXIMATELY 5" CENTERS.
9. GATE LATCH: 1-3/8" O.D. PLUNGER ROD W/ MUSHROOM TYPE CATCH AND LOCK.
10. LOCAL ORDINANCE FOR BARBED WIRE PERMIT SHALL GOVERN INSTALLATION.
11. HEIGHT = 6'-0" VERTICAL DIMENSION WITH 1'-0" BARBED WIRE.
12. ALL WORK SHALL CONFORM WITH THE PROJECT SPECIFICATIONS.

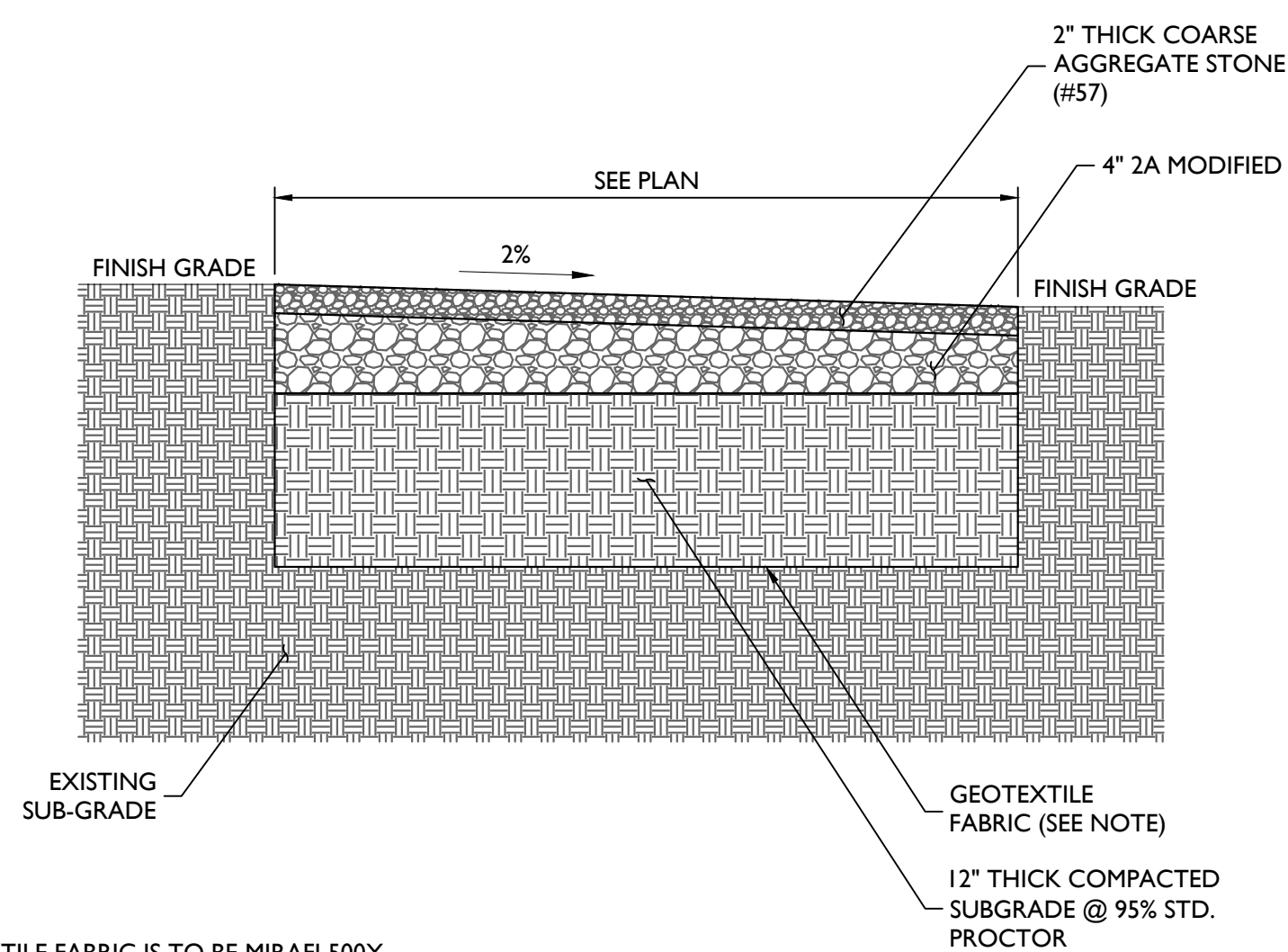


FENCE ELEVATION



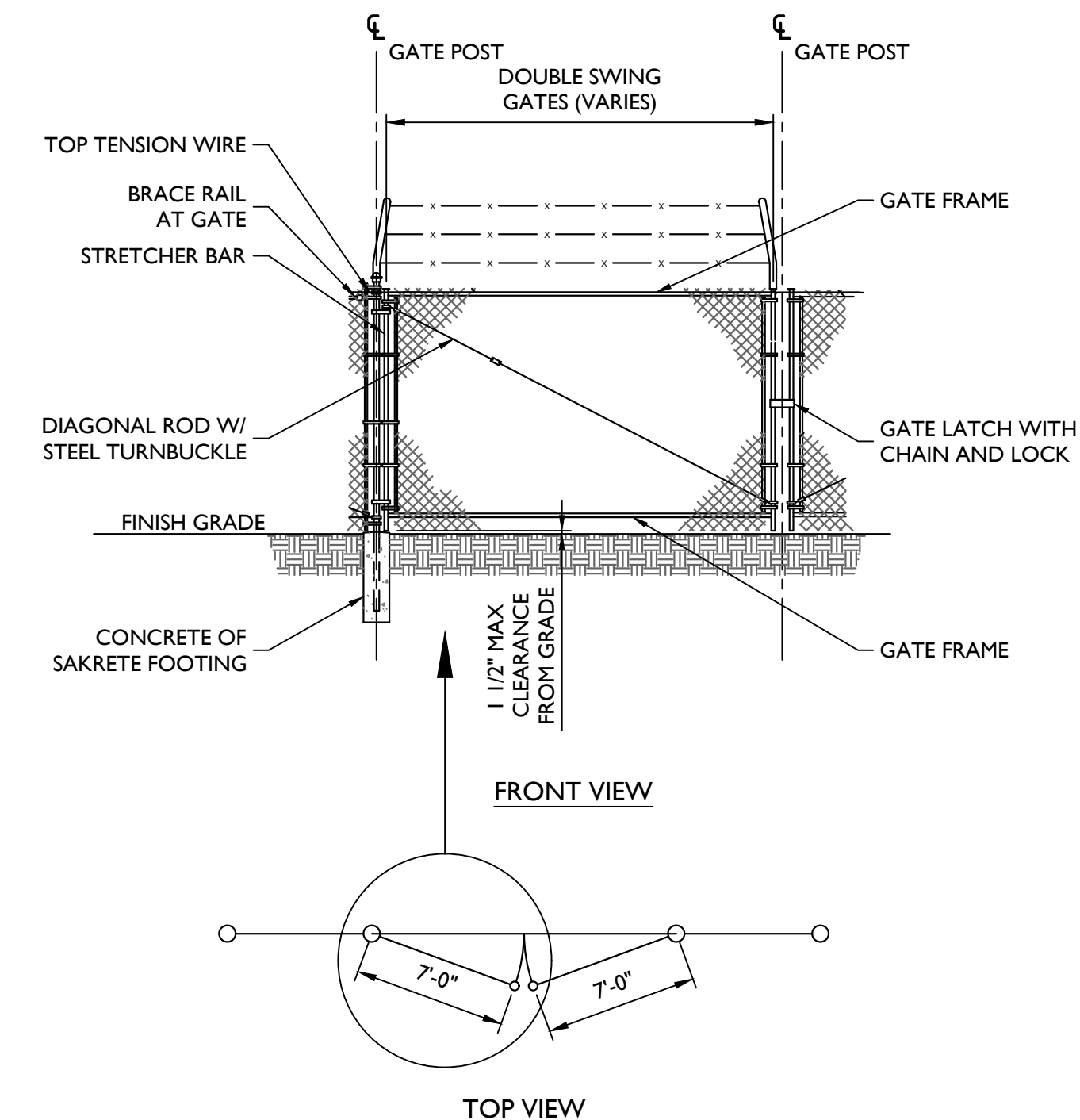
FENCE SECTION

**WOVEN WIRE FENCE DETAIL**  
NOT TO SCALE

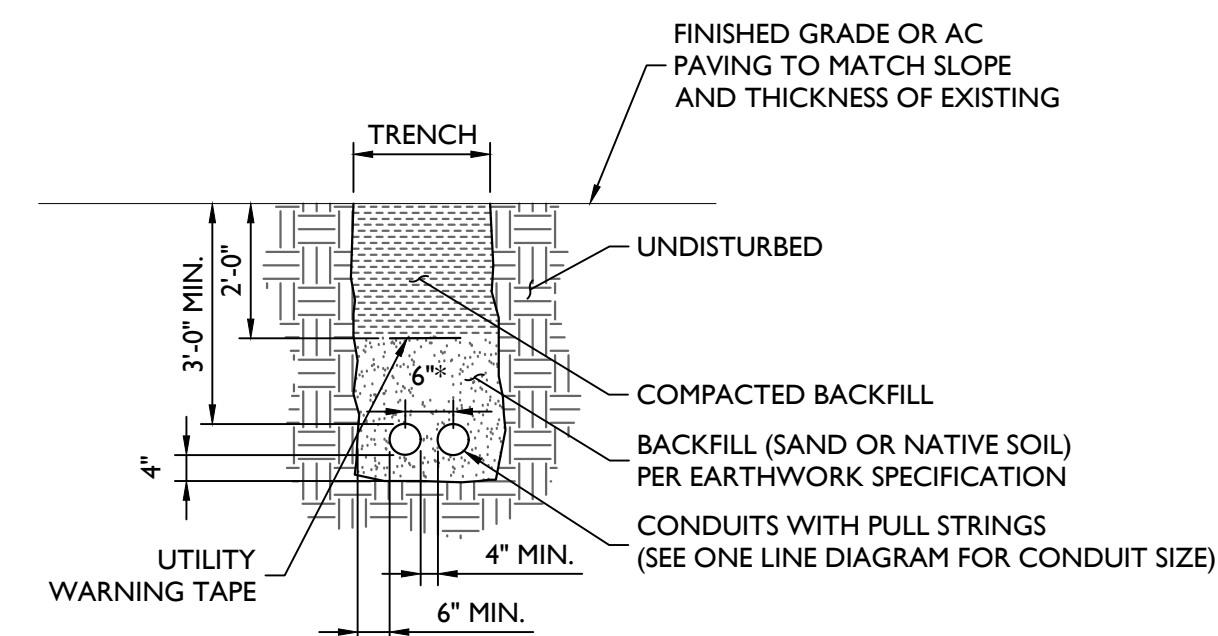


NOTE: GEOTEXTILE FABRIC IS TO BE MIRAFI 500X WOVEN WIRE FABRIC OR APPROVED EQUAL.

**GRAVEL DRIVEWAY SURFACING**  
NOT TO SCALE

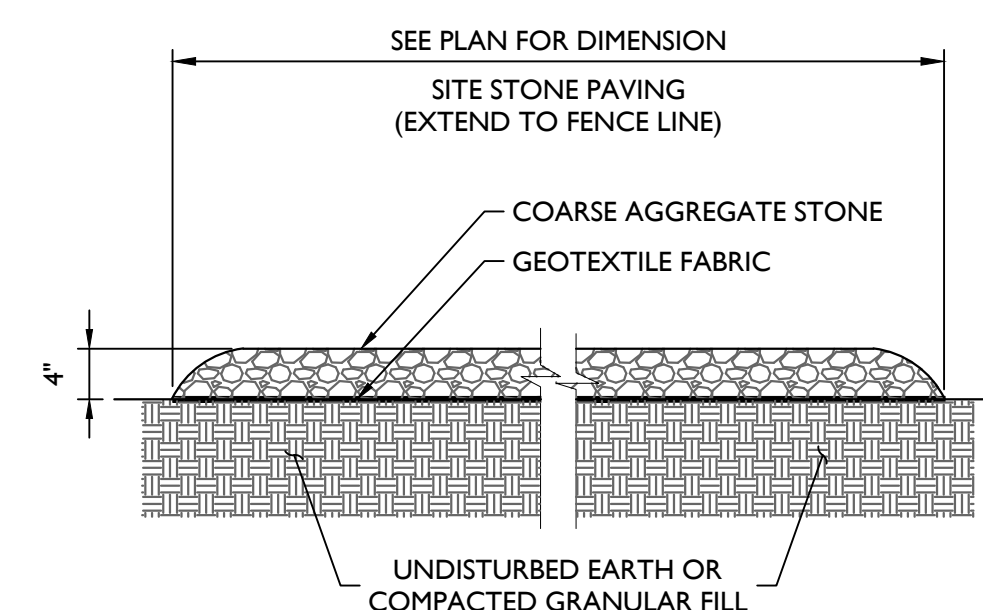


**WOVEN WIRE SWING GATE, DOUBLE**  
NOT TO SCALE



\* SEPARATION DIMENSION TO BE VERIFIED WITH LOCAL UTILITY COMPANY REQUIREMENTS.

**UTILITY CONDUIT RUN**  
NOT TO SCALE



**GRAVEL SURFACING**  
NOT TO SCALE

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**MICHAEL P. CLEARY**  
Professional Engineer  
License No. 19205

DATE: \_\_\_\_\_

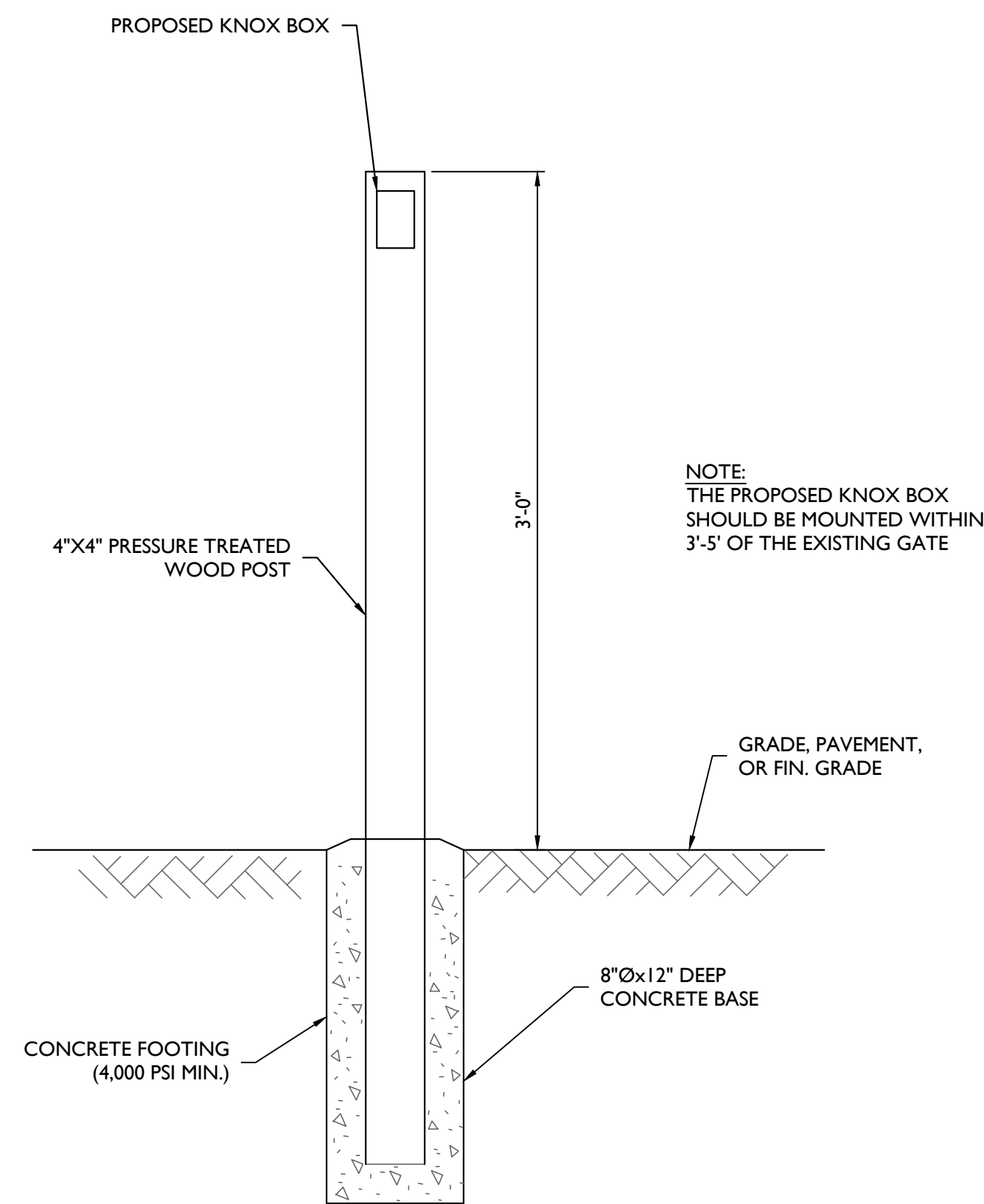
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SHEET TITLE:  
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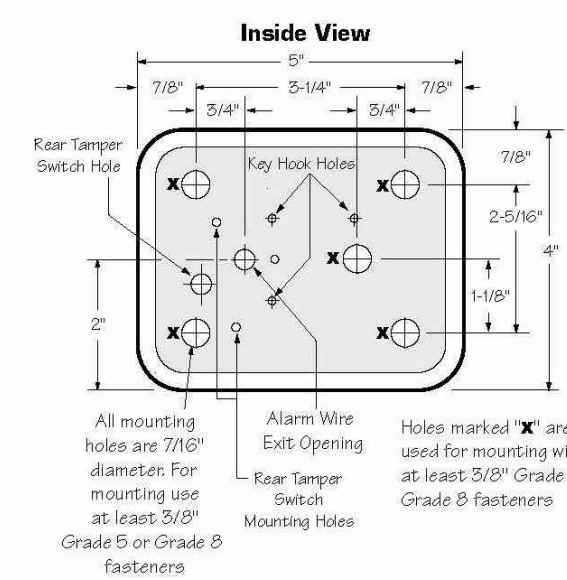
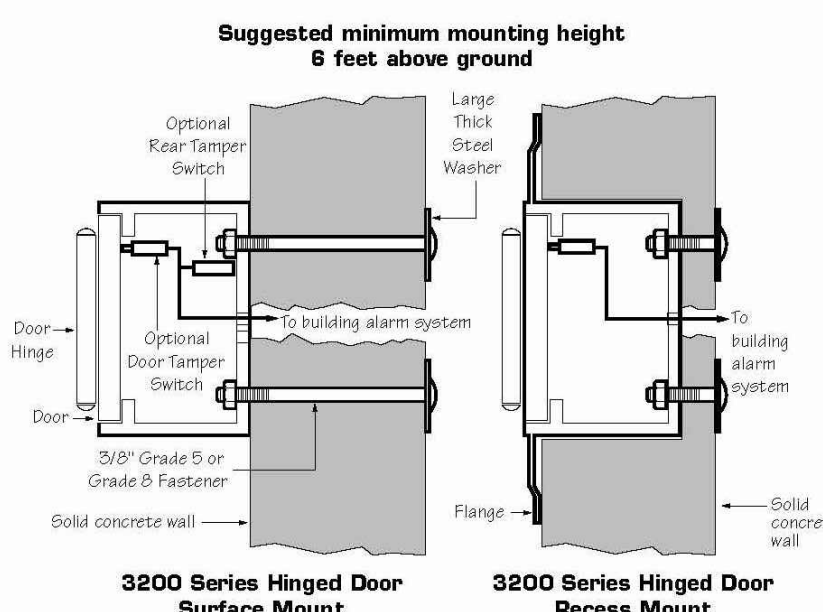
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**KNOX BOX MOUNTING DETAIL**  
NOT TO SCALE



**Knox-Box® 3200 Series**  
HINGED DOOR MODEL - MOUNTING DIAGRAM



**Attention: KNOX-BOX® is a very strong device that MUST be mounted properly to ensure maximum security and resist physical attack.**

**Knox® Rapid Entry System**  
The Knox Company manufactures a complete line of high security products including Knox-Box key boxes, key vaults, cabinets, key switches, padlocks, locking FDC caps, plugs and electronic master key security systems. For more information or technical assistance, please call Customer Service at 1-800-552-5669.

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**Recessed Mounting Kit**

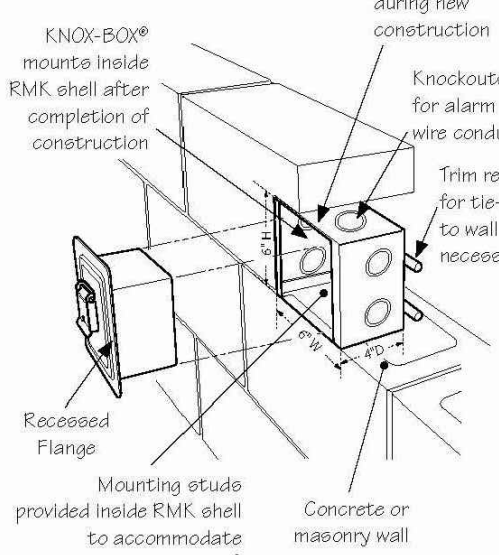
The 3200 Recessed Mounting Kit (RMK) is used for recessed models only. It contains a shell housing and mounting hardware to be cast-in-place in new concrete or masonry construction. After construction is completed, the KNOX-BOX mounts inside the RMK. The RMK may only be used in new concrete or masonry construction.

**Installation In Cast Concrete**  
The optional Recessed Mounting Kit is for use in new concrete or masonry construction only. The kit includes a shell housing and mounting hardware to be cast-in-place. The KNOX-BOX is mounted into the shell housing after construction is completed.

**Dimensions**  
Rough-in Dimensions: 6-1/2"H x 6-1/2"W x 5"D

**IMPORTANT: Care should be taken to insure that the front of the RMK shell housing, including the cover plate and screw heads, is flush with the finish wall. The RMK must be plumbed to insure vertical alignment of the vault.**

**Recessed Mounting Using Recessed Mounting Kit (RMK)**



**Knox-Box® 3200 Series**  
HINGED DOOR MODEL



The number one high-security KNOX-BOX® is used for most commercial applications including businesses, schools, government and public buildings, community associations and apartment complexes. The 3200 Series KNOX-BOX holds keys, access cards and other small items necessary for emergency access.

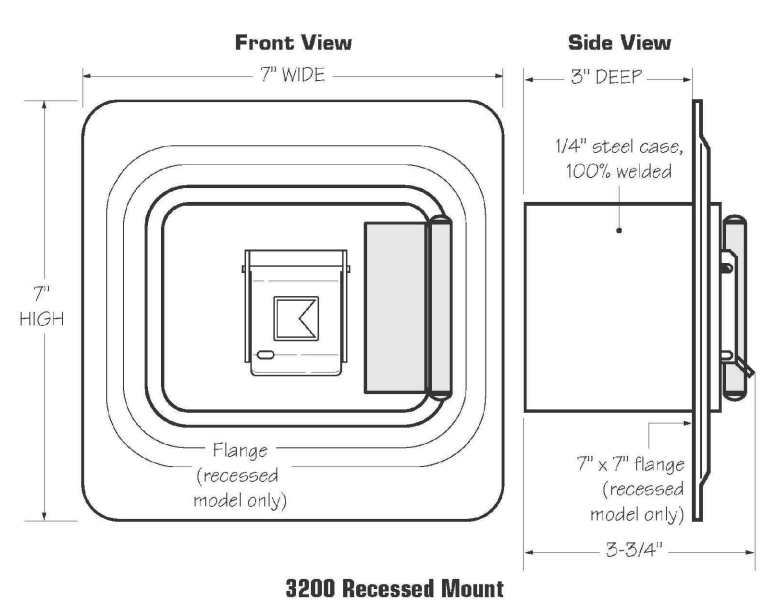
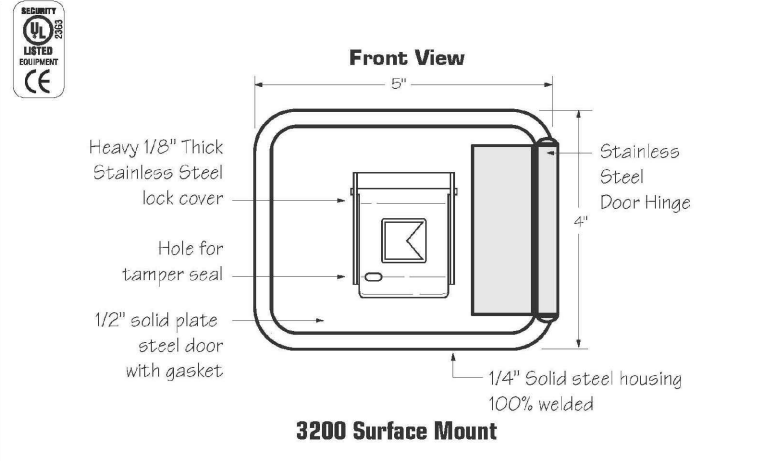
The hinged-door 3200 Series KNOX-BOX is more convenient than the lift-off door version because it allows single-handed operation and opened or closed, it's all one unit.

**Features and Benefits**

- Holds up to 10 keys and access cards in interior compartment
- Ensures high security. Box and lock are UL® Listed
- Includes a Knox-Coat® proprietary finishing process that protects Knox products up to four times better than standard powder coat
- Resists moist conditions with a weather resistant door gasket
- Hinged door allows single-handed operation
- Colors: Black, Dark Bronze or Aluminum
- Weight: Surface mount - 8 lbs. Recessed mount - 9 lbs.

**Options**

- Alarm tamper switches (UL Listed)
- Recessed Mounting Kit (RMK) for recessed models only
- Inside switch for use on electrical doors, gates and other electrical equipment



**Ordering Specifications**

To insure procurement and delivery of the 3200 Series KNOX-BOX, it is suggested that the following specification paragraph be used:  
**KNOX-BOX** surface/recessed mount with hinged door, with/without UL Listed tamper switches, 1/4" plate steel housing, 1/2" thick steel door with interior gasket seal and stainless steel door hinge. Box and lock UL Listed. Lock has 1/8" thick stainless steel dust cover with tamper seal mounting capability.  
Exterior Dimensions: Surface mount body- 4 1/4" x 5" W x 3-3/4" D  
Recessed mount flange- 7" H x 7" W  
UL Listed. Double-action rotating tumblers and hardened steel pins accessed by a braided cut key  
Knox-Coat® proprietary finishing process  
Colors: Black, Dark Bronze or Aluminum  
3200 Series KNOX-BOX (mfrs cat. ID)  
Finish: Black, Dark Bronze or Aluminum  
P/N: KNOX COMPANY  
Mfr's Name: KNOX COMPANY

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**KNOX-BOX DETAIL**  
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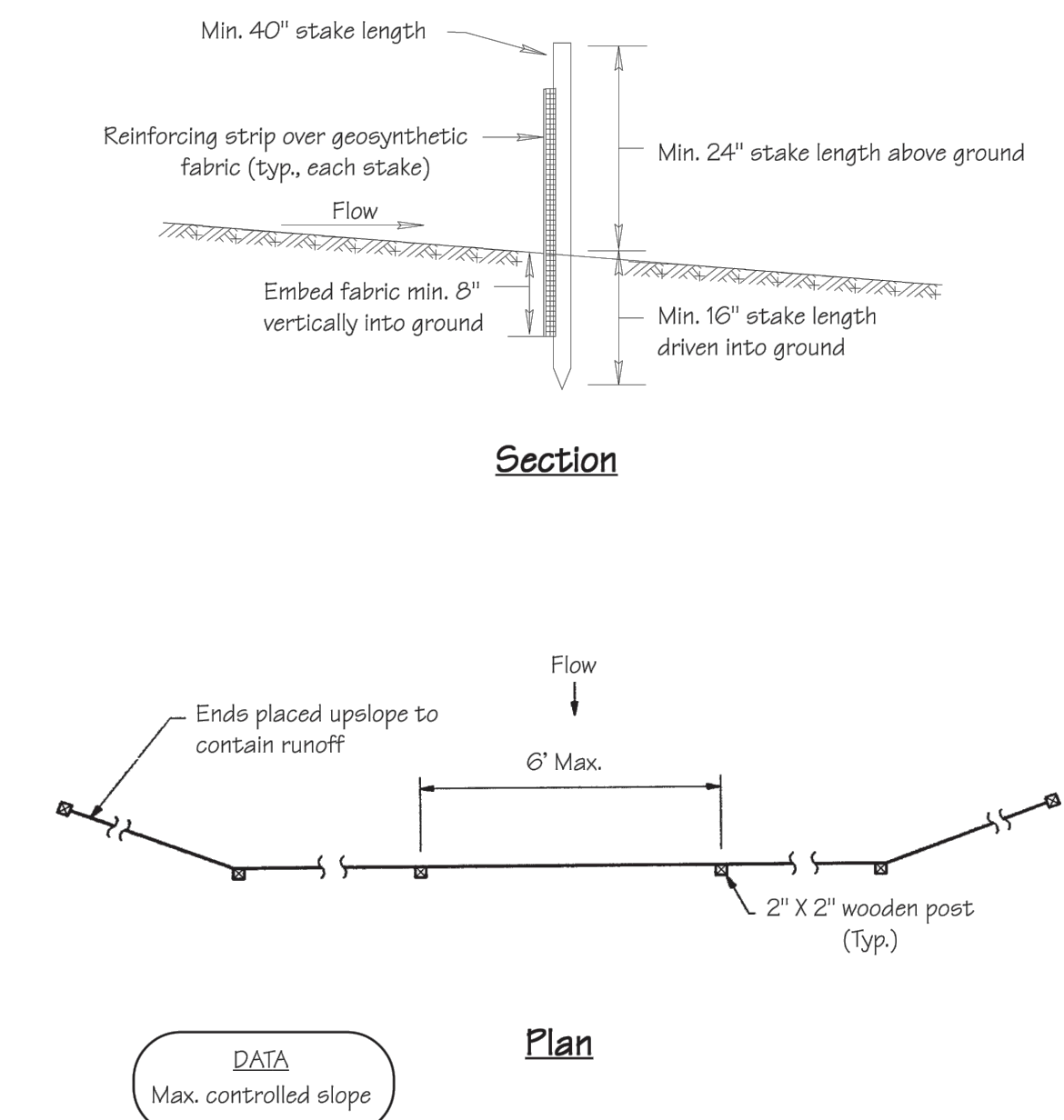
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**CONSTRUCTION DETAILS**

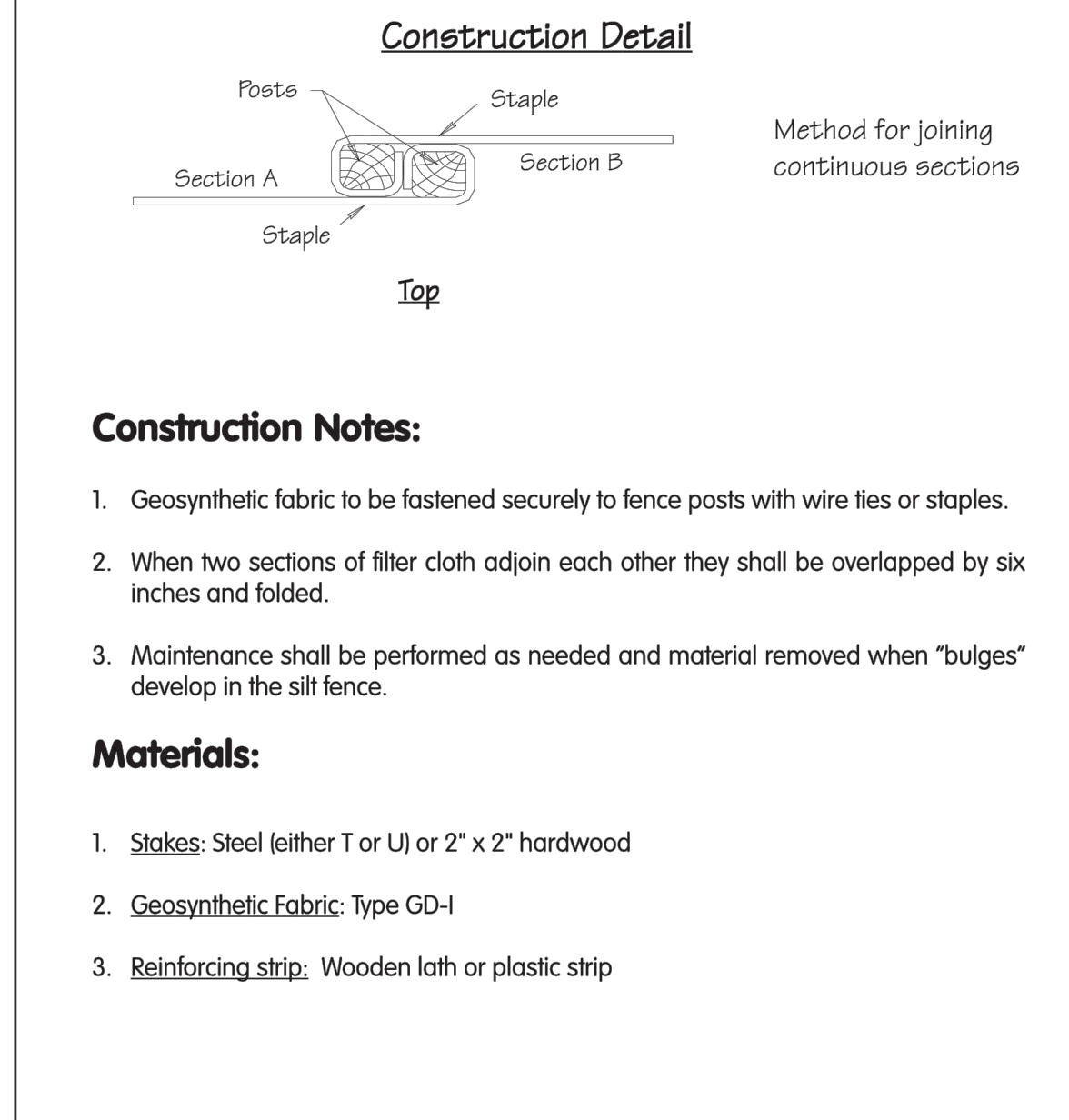
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**Standard Detail & Specifications**  
**Silt Fence**



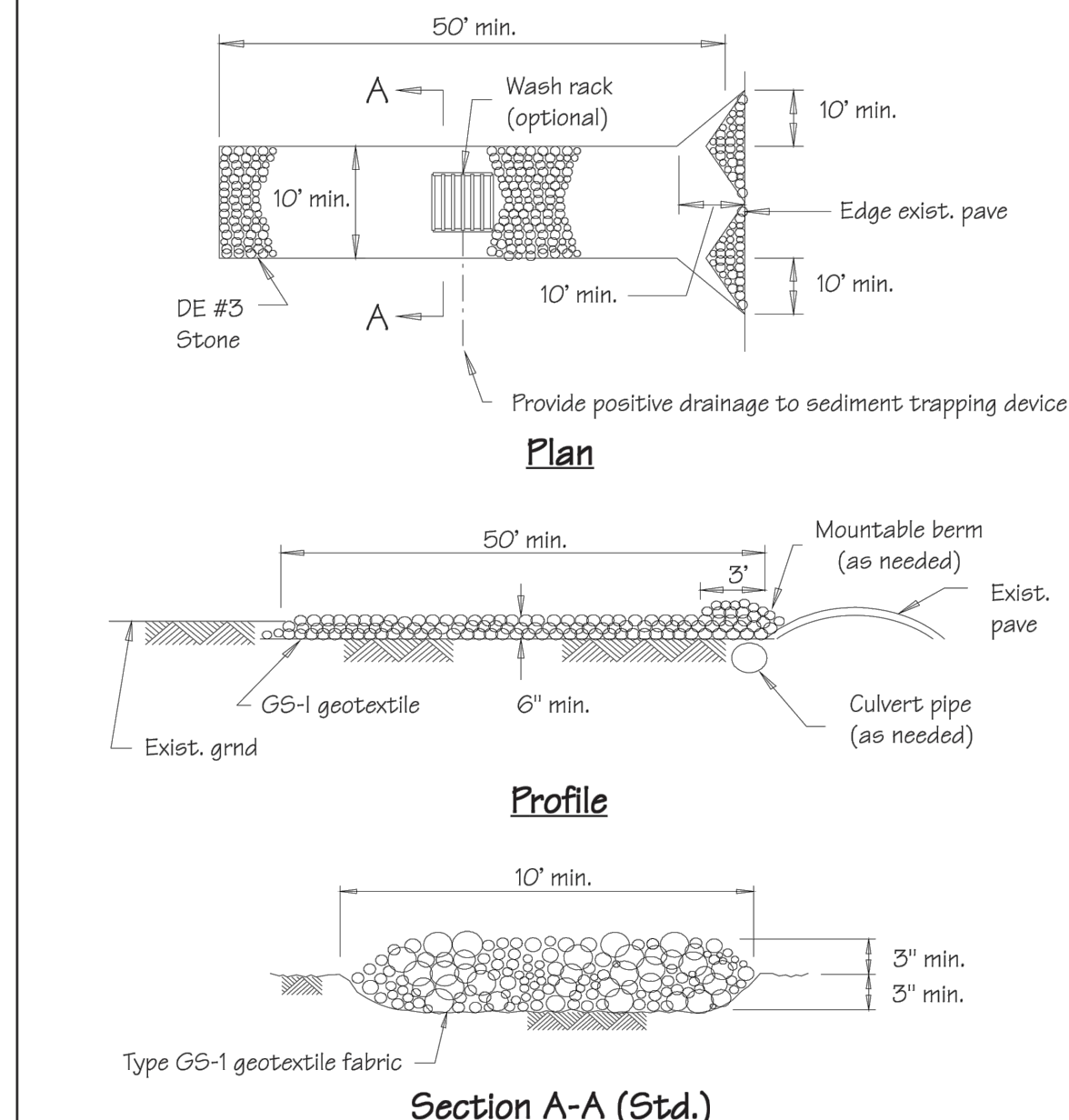
Source: Adapted from MD Sids. & Specs. for ESC  
Symbol: **SF**  
Detail No. **DE-ESC-3.1.2.1** Sheet 1 of 2 Effective FEB 2019

**Standard Detail & Specifications**  
**Silt Fence**



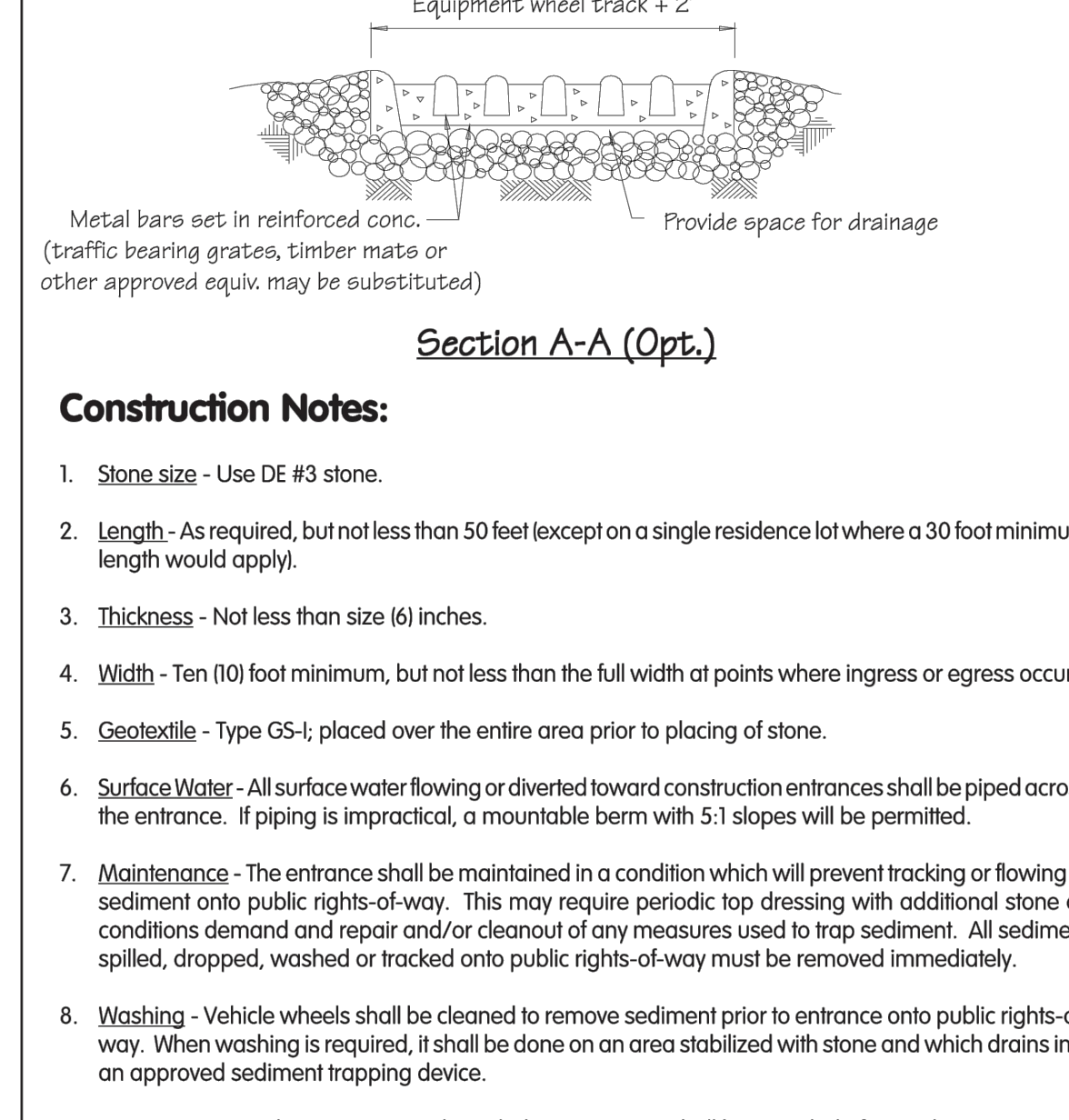
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Symbol: **SF**  
Detail No. **DE-ESC-3.1.2.1** Sheet 2 of 2 Effective FEB 2019

**Standard Detail & Specifications**  
**Stabilized Construct. Entrance**



Source: Adapted from VA ESC Handbook  
Symbol: **SCE**  
Detail No. **DE-ESC-3.4.7** Sheet 1 of 2 Effective FEB 2019

**Standard Detail & Specifications**  
**Stabilized Construct. Entrance**

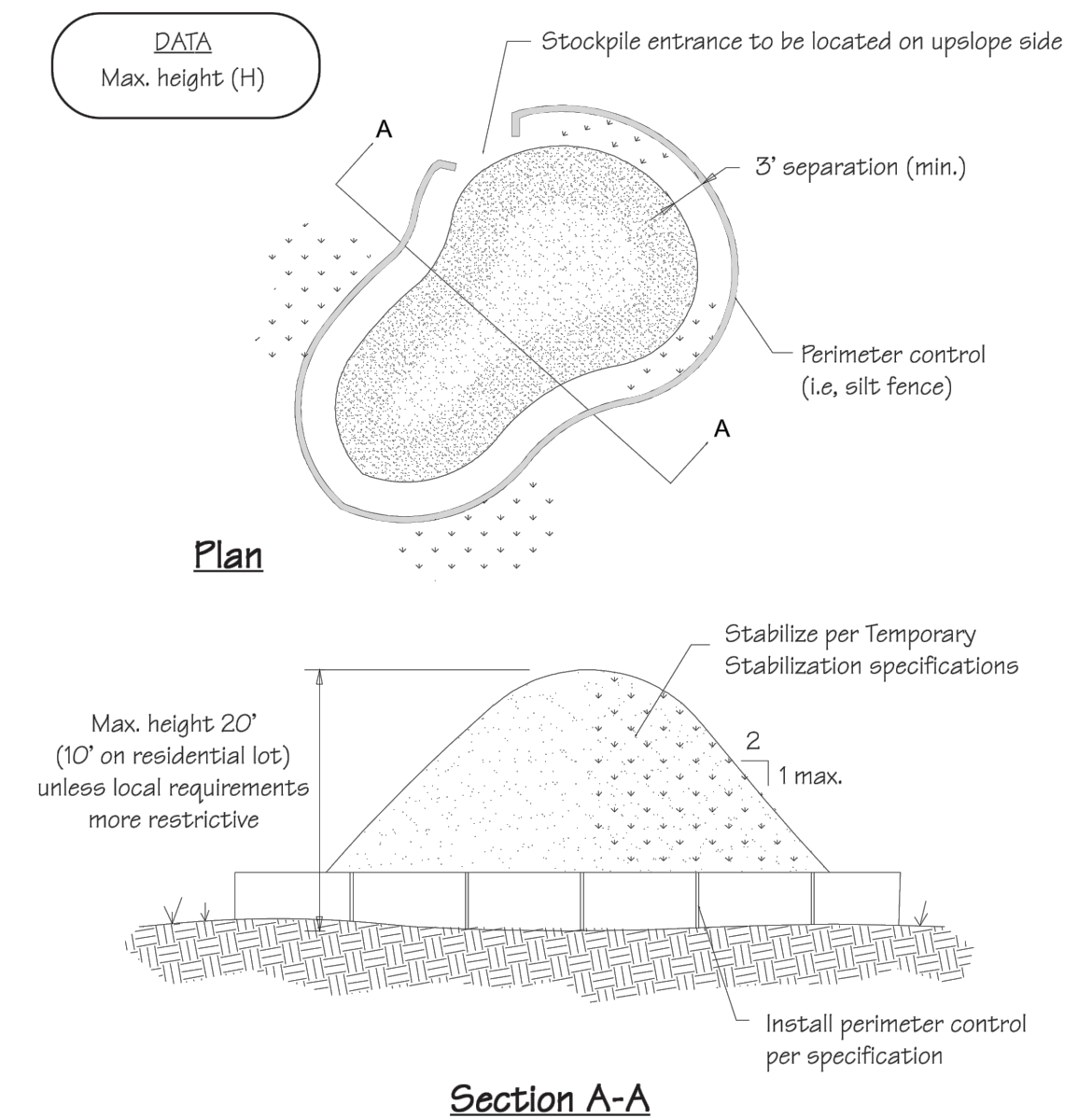


Source: Adapted from VA ESC Handbook  
Symbol: **SCE**  
Detail No. **DE-ESC-3.4.7** Sheet 2 of 2 Effective FEB 2019

**STANDARD PLAN GENERAL NOTES:**

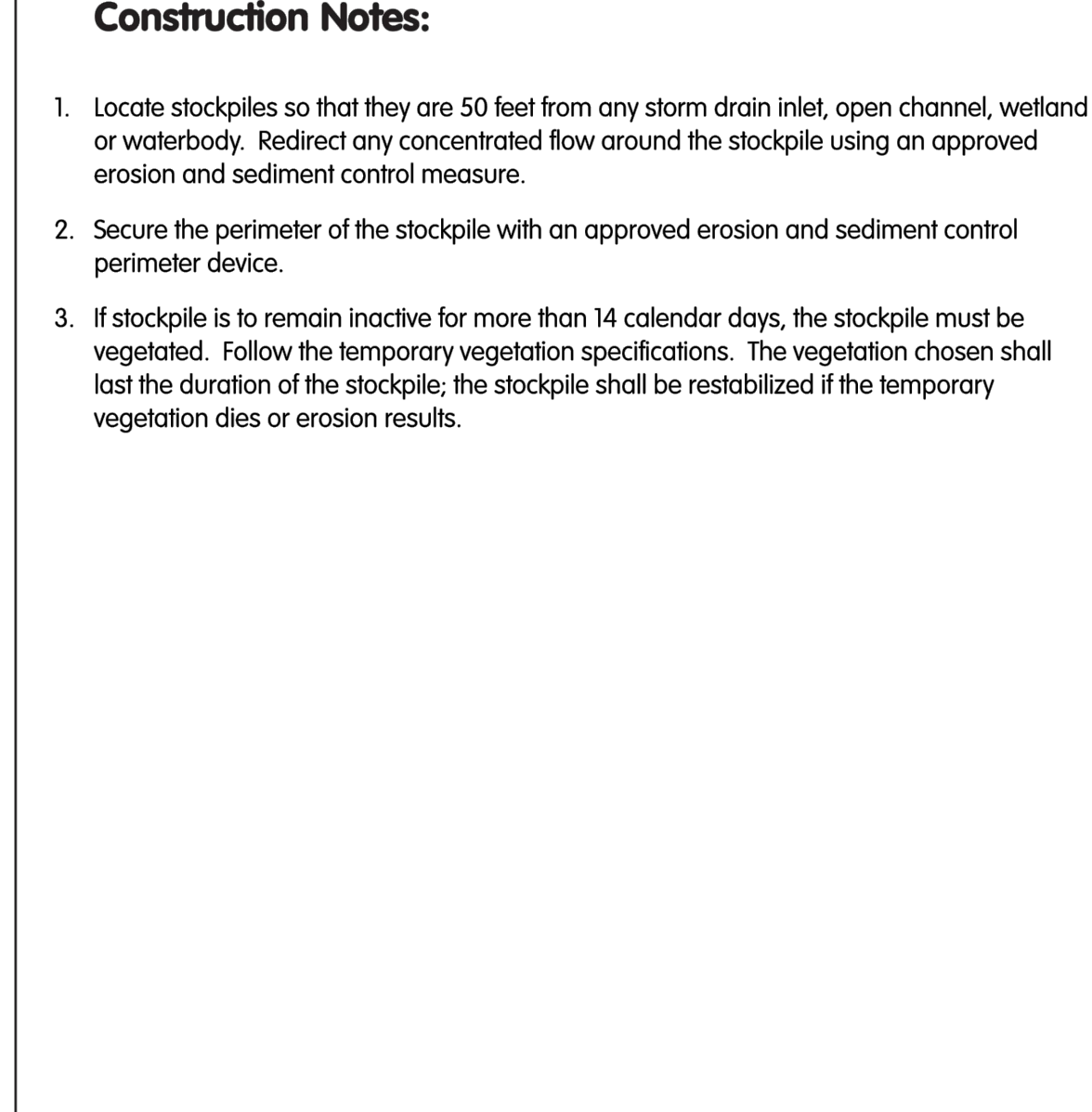
- THE DNREC SEDIMENT AND STORMWATER PROGRAM (OR DELEGATED AGENCY) SHALL BE NOTIFIED IN WRITING 5 DAYS PRIOR TO COMMENCING WITH CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- REVIEW AND/OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY DNREC OR THE DELEGATED AGENCY.
- FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER SEDIMENT CONTROLS, SOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHOULD BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
- APPROVAL OF A SEDIMENT AND STORMWATER MANAGEMENT PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
- THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
- BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7 DEL. C. CH 60, REGULATIONS GOVERNING THE CONTROL OF WATER POLLUTION, SECTION 9.1.02, KNOWN AS SPECIAL CONDITIONS FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, AND DNREC POLICIES, PROCEDURES, AND GUIDANCE.

**Standard Detail & Specifications**  
**Soil Stockpile**

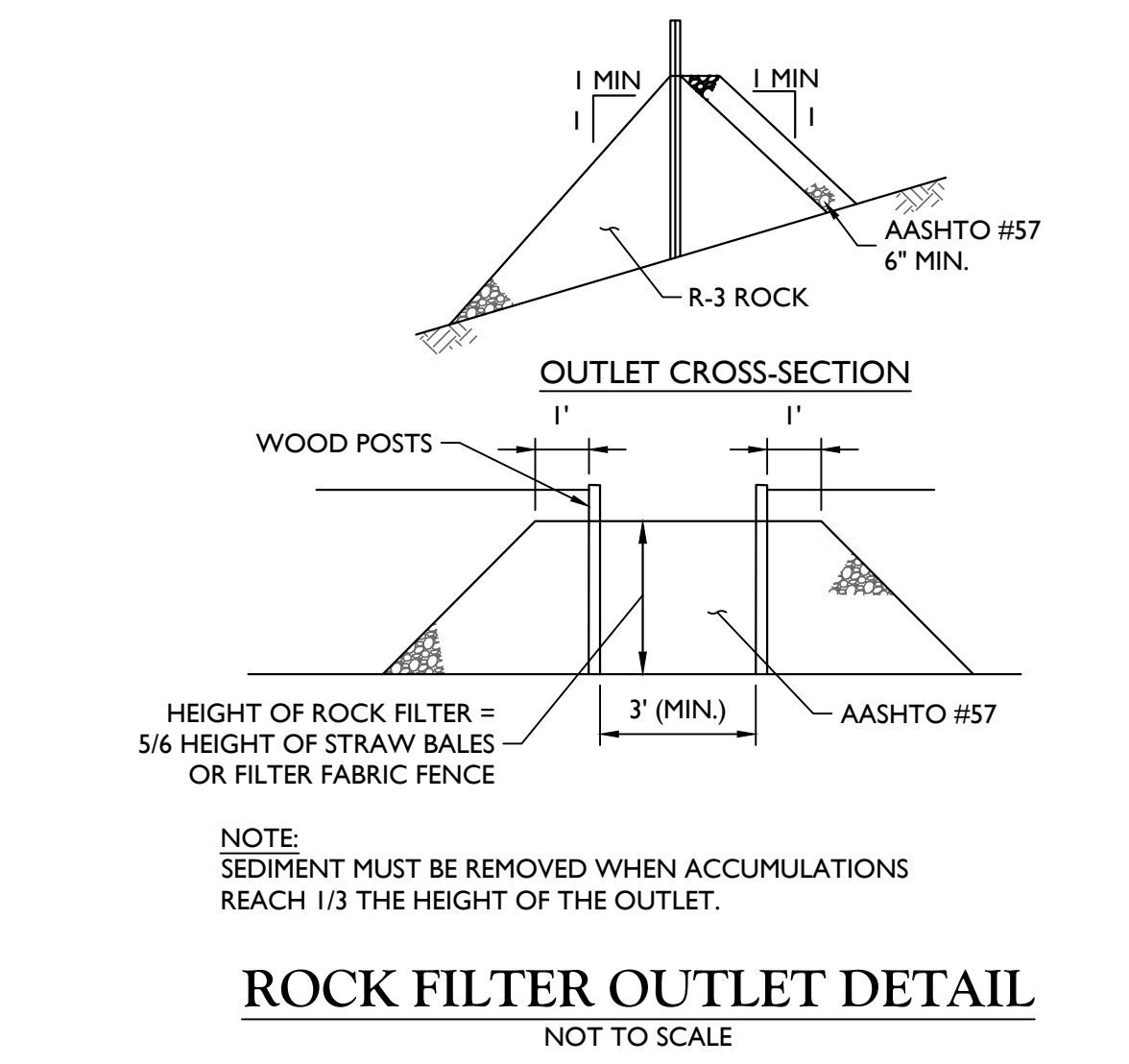


Source: Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3  
Symbol: **SP**  
Detail No. **DE-ESC-3.7.3** Sheet 1 of 2 Effective FEB 2019

**Standard Detail & Specifications**  
**Soil Stockpile**



Source: Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3  
Symbol: **SP**  
Detail No. **DE-ESC-3.7.3** Sheet 2 of 2 Effective FEB 2019



NOTE: SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.

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CELLCO PARTNERSHIP  
d/b/a  
**VERIZON WIRELESS**

SCALE: AS SHOWN | JOB NUMBER: 15960053A

SHEET TITLE:  
**CONSTRUCTION DETAILS**

SHEET NUMBER: **A-8** | REV: **0**

**SOIL EROSION AND SEDIMENT CONTROL PLAN**

**TEMPORARY SEEDING (3.4.3-5):**

- 1. SITE PREPARATION
  - A. PRIOR TO SEEDING, INSTALL NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, BERMS, DIKES, GRASSSED WATERWAYS, AND SEDIMENT BASINS.
  - B. FINAL GRADING AND SHAPING IS NOT NECESSARY FOR TEMPORARY SEEDINGS.
- 2. SEEDBED PREPARATION
 

IT IS IMPORTANT TO PREPARE A GOOD SEEDBED TO INSURE THE SUCCESS OF ESTABLISHING VEGETATION. THE SEEDBED SHOULD BE WELL OTHER OBJECTIONABLE MATERIAL. THE SOIL SURFACE SHOULD NOT BE COMPACTED OR CRUSTED.

  - A. SOIL AMENDMENTS-SOIL AMENDMENTS ARE NOT TYPICALLY REQUIRED FOR TEMPORARY STABILIZATION. HOWEVER, IN SOME CASES SOILS CONDITIONS MAY BE SO POOR THAT AMENDMENTS ARE NEEDED TO ESTABLISH EVEN A TEMPORARY VEGETATIVE COVER. UNDER THESE EXTREME CONDITIONS, THE FOLLOWING GUIDELINES SHOULD BE USED:
    - A. LIME - APPLY LIMING MATERIALS BASED ON THE RECOMMENDATIONS OF A SOIL TEST IN ACCORDANCE WITH THE APPROVED NUTRIENT MANAGEMENT PLAN. IF A NUTRIENT MANAGEMENT PLAN IS NOT REQUIRED, APPLY DOLOMITIC LIMESTONE AT THE RATE OF 1 TO 2 TONS PER ACRE. APPLY LIMESTONE UNIFORMLY AND INCORPORATE INTO THE TOP 4 TO 6 INCHES OF SOIL.
    - B. FERTILIZER - APPLY FERTILIZER BASED ON THE RECOMMENDATIONS OF A SOIL TEST IN ACCORDANCE WITH APPROVED NUTRIENT MANAGEMENT PLAN. IF A NUTRIENT MANAGEMENT PLAN IS NOT REQUIRED, APPLY A FORMULATION OF 10-10-10 AT THE RATE OF 600 POUNDS PER ACRE. APPLY FERTILIZER UNIFORMLY AND INCORPORATE INTO THE TOP 4 TO 6 INCHES OF SOILS.
- 4. SEEDING
  - A. SELECT A MIXTURE FROM FIGURE 3.4.3.2a
  - B. APPLY SEED UNIFORMLY WITH A BROADCAST SEEDER, DRILL, CULTIPACKER SEEDER OR HYDROSEEDER. ALL WILL BE APPLIED AT THE RECOMMENDED RATE AND PLANTING DEPTH.
    - C. SEED THAT HAS BEEN BROADCAST SHOULD BE COVERED BY RAKING OR DRAGGING AND THEN LIGHTLY TAMPED INTO PLACE USING A ROLLER OR CULTIPACKER. IF HYDROSEEDING IS USED AND THE SEED AND FERTILIZER IS MIXED, THE WILL BE MIXED ON SITE AND THE SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION.
- 5. MULCHING
 

ALL MULCHING SHALL BE DONE IN ACCORDANCE WITH SECTION 3.4.5

**PERMANENT SEEDING (3.4.3-9):**

- 1. SITE PREPARATION
  - A. PRIOR TO SEEDING, INSTALL NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, BERMS, DIKES, GRASSSED WATERWAYS AND SEDIMENT BASINS.
  - B. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, ANCHORING AND MAINTENANCE. ALL IRREGULARITIES IN THE SURFACE MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- 2. SEEDBED PREPARATION
  - A. IT IS IMPORTANT TO PREPARE A GOOD SEEDBED TO INSURE THE SUCCESS OF ESTABLISHING VEGETATION. THE SEEDBED SHALL BE WELL PULVERIZED, LOOSE, UNIFORM, AND FREE OF LARGE CLOUDS, ROCKS AND OTHER OBJECTIONABLE MATERIAL
  - B. FLAT AREAS AND SLOPES UP TO 3:1 GRADE SHALL BE LOOSE AND FRIABLE TO A DEPTH OF AT LEAST 4 INCHES. THE TOP LAYER OF SOIL SHALL BE LOOSENEED BY RAKING, DISKING OR OTHER APPROPRIATE MEANS BEFORE SEEDING.
  - C. SLOPES STEEPER THAN 3:1 SHALL HAVE THE TOP 1-3 INCHES OF SOIL LOOSE AND FRIABLE BEFORE SEEDING.
- 3. SOIL AMENDMENTS:
  - A. LIME - APPLY LIMING MATERIALS BASED ON THE RECOMMENDATIONS OF A SOIL TEST IN ACCORDANCE WITH THE APPROVED NUTRIENT MANAGEMENT PLAN. IF A NUTRIENT MANAGEMENT PLAN IS NOT REQUIRED, APPLY DOLOMITIC LIMESTONE AT THE RATE OF 1 TO 2 TONS PER ACRE. APPLY LIMESTONE UNIFORMLY AND INCORPORATE INTO THE TOP 4 TO 6 INCHES OF SOIL.
  - B. FERTILIZER - APPLY FERTILIZER BASED ON THE RECOMMENDATIONS OF A SOIL TEST IN ACCORDANCE WITH APPROVED NUTRIENT MANAGEMENT PLAN. IF A NUTRIENT MANAGEMENT PLAN IS NOT REQUIRED, APPLY A FORMULATION OF 10-10-10 AT THE RATE OF 600 POUNDS PER ACRE. APPLY FERTILIZER UNIFORMLY AND INCORPORATE INTO THE TOP 4 TO 6 INCHES OF SOILS.
  - C. INCORPORATION - ON SLOPING LAND, THE FINAL DISKING AND HARROWING OPERATION SHOULD BE ON THE CONTOUR WHEREVER FEASIBLE. ON SLOPES STEEPER THAN 3:1, THE LIME AND FERTILIZER SHALL WORKED IN THE BEST WAY POSSIBLE.
- 4. SEEDING
  - A. SELECT A MIXTURE FROM FIGURE 3.4.3.3a
  - B. EVERY BAG OF SEED IS REQUIRED BY LAW TO HAVE AN ANALYSIS TAG ATTACHED TO IT. THIS TAG CONTAINS ESSENTIAL INFORMATION ABOUT THE CONTENT AND QUALITY OF THE TURF SEED THEREIN. ALL OF THE DATA ON THE TAG RELATES IN SOME WAY TO THE SEED IN THE BAG. FOLLOWING IS A LIST OF ITEM AND INFORMATION THAT THE REPRESENT:
    - "PRODUCT" IS THE SPECIES OR TYPE OF SEED THAT WAS TESTED.
    - "LOT" REFERS TO THE SPECIFIC LOT OF SEED TESTED, PROVIDING A TRACKING OF THE VARIETIES, PRODUCTION FIELD AND COMPONENTS IN THE BAG.
    - "% PURITY" IS THE NUMBER OF SEEDS OF A SPECIES/VARIETY, EXPRESS AS PERCENTAGES OF THE WHOLE, FOUND IN THE MIX. "VNS" MEANS "VARIETY NOT STATED" INDICATING UNCERTAINTY ABOUT THE QUALITY AND CHARACTERISTICS OF THE SEED.
    - "% GERMINATION" REFERS TO THE PERCENTAGE OF SEED THAT GERMINATED DURING TESTING.
    - "OTHER CROP SEEDS" IS THE PERCENTAGE OF CROP SEEDS OF THE TESTED SAMPLE THAT BEEN FOUND DURING PHYSICAL SEPARATION OF THE SAMPLE.
- 5. MULCHING
  - A. ADEQUATE MOISTURE IS ESSENTIAL FOR SEED GERMINATION AND PLANT GROWTH. DAILY IRRIGATION CAN BE CRITICAL IN ESTABLISHING PERMANENT VEGETATION DURING DRY OR HOT WEATHER OR ON ADVERSE SITE CONDITIONS.
  - B. IRRIGATION MUST BE CAREFULLY CONTROLLED TO PREVENT RUNOFF AND SUBSEQUENT EROSION. INADEQUATE OR EXCESSIVE IRRIGATION CAN BE MORE HARM THAN GOOD.
- 7. MAINTENANCE
  - A. IT TAKES ON FULL YEAR TO ESTABLISH PERMANENT VEGETATION FROM THE TIME OF PLANTING. INSPECT SEEDED AREAS FOR FAILURE AND REESTABLISH VEGETATION AS SOON AS POSSIBLE. DEPENDING ON SITE CONDITIONS, IT MAY BE NECESSARY TO IRRIGATE, FERTILIZE, OVERSEED, OR RE-ESTABLISH PLANTINGS IN ORDER TO PROVIDE PERMANENT VEGETATION FOR ADEQUATE EROSION CONTROL.
  - B. MAINTENANCE FERTILIZATION RATES SHOULD BE ESTABLISHED BY SOIL TEST RECOMMENDATIONS IN ACCORDANCE WITH AN APPROVED NUTRIENT MANAGEMENT PLAN. SPRING SEEDINGS MAY REQUIRE AN APPLICATION OF FERTILIZER BETWEEN SEPTEMBER 1 AND OCTOBER 15, AT LEAST EVERY TWO YEARS. FALL SEEDINGS MAY REQUIRE THE SAME BETWEEN MARCH 15 AND MAY 1 OF THE FOLLOWING YEAR. IF SLOW RELEASE FERTILIZER IS USED, FOLLOW-UP FERTILIZATIONS MAY NOT BE NECESSARY FOR SEVERAL YEARS. LIME ACCORDING TO SOIL TEST RECOMMENDATIONS AT LEAST ONCE EVERY FIVE YEARS.
  - 8. SPECIAL CONDITIONS
 

UNDER CERTAIN SITE CONDITIONS, ALTERNATIVE VEGETATIVE STABILIZATION TECHNIQUES ARE NECESSARY. EXAMPLES INCLUDE STEEPLY SLOPED AREAS, EXTREMELY LOW FERTILITY SOILS, ACIDIC SOILS, (PH LESS THAN 4.0) AND DUNE STABILIZATION, WHEN ANY OF THESE OR OTHER UNUSUAL SITE CONDITIONS ARE ENCOUNTERED, DNREC AND/OR THE APPROPRIATE DELEGATED AGENCY MAY REQUIRE PRODUCTS, SEED SPECIES MIXTURES AND RATES OTHER THAN THOSE LISTED IN THE FOLLOWING TABLES IN ORDER TO ACHIEVE SUCCESSFUL STABILIZATION.

- "INERT MATTER" IS THE PERCENTAGE OF DUST, STEMS, SOIL, CHAFF, ETC. OF THE TOTAL WEIGHT OF THE TESTED SAMPLE.  
 - "WEED SEED" REFERS TO THE PERCENTAGE OF WEED SEEDS IN A SAMPLE  
 - "NOXIOUS WEEDS" ARE THE WEED SEEDS CONSIDERED BY LOCAL LAW TO BE NOXIOUS. THIS NUMBER MUST ALWAYS BE ZERO.  
 - "ORIGIN", "NET WEIGHT" AND "DATE TESTED" ARE SELF-EXPLANATORY.

**SEDIMENT CONTROL NOTES:**

- 1. A COPY OF THE APPROVED SOIL EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE AVAILABLE AT ALL ALL TIMES.
- 2. TEMPORARY STABILIZATION (SEEDING AND MULCHING) OF THE SITE SHALL BE PERFORMED IMMEDIATELY AFTER COMPLETION OF ROUGH GRADING.
- 3. THE CONTRACTOR SHALL INSPECT THE SITE AT THE END OF EACH DAY TO ENSURE THAT NO DISTURBED SOIL EXISTS ON THE SITE AND THAT NO SOILMUD IS BEING TRACKED OFF THE SITE AND ONTO ANY ADJACENT ROADWAY.
- 4. REFER TO DELAWARE EROSION & SEDIMENT CONTROL HANDBOOK REGARDING APPLICABLE DESIGN GUIDELINES SOIL EROSION AND SEDIMENTATION CONTROL.
- 5. ANY MAJOR VARIATION FROM THE SEQUENCE OF CONSTRUCTION STATED IN THE NARRATIVE REPORT REQUIRES THE APPROVAL OF THE SUSSEX COUNTY CONSERVATION DISTRICT PRIOR TO THE INITIATION OF THE CHANGE.
- 6. THE SUSSEX COUNTY CONSERVATION DISTRICT WILL BE NOTIFIED THREE DAYS PRIOR TO CONSTRUCTION.
- 7. ALL TEMPORARY CONTROLS SHALL REMAIN IN PLACE UNTIL THE SITE IS COMPLETELY STABILIZED.
- 8. ANY SOIL REQUIRED TO BE STOCKPILED ON THE SITE SHALL BE STABILIZED AND PROTECTED WITH SILT FENCING.
- 9. EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED AND FUNCTIONAL BEFORE SITE DISTURBANCE WITHIN THE TRIBUTARY AREAS OF THOSE CONTROLS.
- 10. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED. AREA DISTURBED DURING REMOVAL OF THE CONTROLS MUST BE STABILIZED IMMEDIATELY.
- 11. STOCKPILED HEIGHTS MUST NOT EXCEED 35 FT. STOCKPILE SLOPES MUST BE 3:1 OR FLATTER. STOCKPILES MUST BE STABILIZED UPON COMPLETION.
- 12. ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED AND WHICH WILL REMAIN EXPOSED MUST BE STABILIZED IMMEDIATELY. DURING ON-GERMINATION PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH TEMPORARY SEEDING SPECIFICATIONS. DISTURBED AREAS WHICH ARE EITHER AT FINISHED GRADE OR WILL NOT BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT SEEDING SPECIFICATIONS.
- 13. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION CONTROLS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL CONTROLS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRAIDING, RESEEDING AND REMULCHING MUST BE PERFORMED IMMEDIATELY.

**GENERAL NOTES:**

- 1. THE DNREC, SEDIMENT AND STORMWATER PROGRAM (OR DELEGATED AGENCY) MUST BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- 2. REVIEW AND OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- 3. IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY DNREC OR THE DELEGATED AGENCY.
- 4. FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER SEDIMENT CONTROLS, SOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
- 5. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- 6. AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHALL BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
- 7. APPROVAL OF A SEDIMENT AND STORMWATER MANAGEMENT PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
- 8. THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
- 9. BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7. DEL. C. CH 60. REGULATIONS GOVERNING THE CONTROL OF WATER POLLUTION, SECTION 9.1.02. KNOWN AS SPECIAL CONDITIONS FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, AND DEPARTMENT POLICIES, PROCEDURES, AND GUIDANCE.

TEMPORARY SEEDING BY RATES, DEPTHS AND DATES												
Mix #	Species*	Seeding Rate	Optimum Seeding Dates <sup>1</sup>									Planting Depth <sup>2</sup>
			Coastal Plain			Piedmont			All			
1	Barley	125	4	0	A	O	O	A	O	0	1-2 inches 2-3" sandy soils	
2	Oats	125	4	0	A	A	O	A	A	0	1-2 inches 2-3" sandy soils	
3	Rye	125	4	0	A	O	O	A	O	0	1-2 inches 2-3" sandy soils	
4	Perennial Ryegrass	125	4	0	A	O	O	A	O	0	0.5 inches 1-2" sandy soils	
5	Annual Ryegrass	125	4	0	A	O	O	A	O	0	0.5 inches 1-2" sandy soils	
6	Winter Wheat	125	4	0	A	O	O	A	O	0	1-2 inches 2-3" sandy soils	
7	Foxtail Millet	30 PLS	0.7	0							0.5 inches 1-2" sandy soils	
8	Pearl Millet	20 PLS	0.5	0							0.5 inches 1-2" sandy soils	

1. Winter seeding requires 3 tons per acre of straw mulch for proper stabilization.  
 2. May be planted throughout summer if soil moisture is adequate or seeded area can be irrigated.  
 3. Applicable on slopes 3:1 or less.  
 4. Filly pounds per acre of Annual Lespedeza may be added to 1/2 the seeding rate of any of the above species.  
 5. Use varieties currently recommended for Delaware. Contact a County Extension Office for information.  
 6. Warm season grasses such as Millet or Weeping Lovegrass may be used between 5/1 and 9/1 if desired. Seed at 3-5 lbs. per acre. Good on low fertility and acid areas. Seed after frost through summer at a depth of 0.5".

**Figure 3.4.3.2a Temporary seeding guidelines**

PERMANENT SEEDING AND SEEDING DATES												
Mix No.	Certified Seed <sup>1</sup>	Seeding Rate <sup>2</sup>	Optimum Seeding Dates <sup>2</sup>									Remarks
			Coastal Plain			Piedmont			All <sup>3</sup>			
1	Wet Drained Soils Tall Fescue Weeping Lovegrass	140 3.2	2/1-4/30	5/1-8/14	8/15-10/31	3/1-4/30	5/1-7/31	8/1-10/31	10/31-2/1	0	Good erosion control mix. Tolerant of low fertility soils. Weeping Lovegrass very difficult to mow. Germinates only in hot weather.	
2	Dormant Ryegrass Sheep Fescue Common Lespedeza	30 0.69 15	0.69 0.36	0	A	O	A	O	A	0	Good erosion control mix. Tolerant of low fertility soils. Good wildlife cover and food source.	
3	Tall Fescue (Turf-type) or Strong Creeping Red Fescue or Perennial Ryegrass	50 1.15	1.15	0	A	O	A	O	A	0	Good erosion control mix. Tolerant of low fertility soils. Fescue for heavy shade. Flat-top to suppress woody vegetation.	
4	Strong Creeping Red Fescue Kentucky Bluegrass Perennial Ryegrass or Rye Bluegrass	100 2.31 15 0.36 0.11	2.31 0.36 0.11	0	A	O	A	O	A	0	Canada Bluegrass more drought tolerant. Use Rye for increased drought tolerance.	
5	Bluegrass Kentucky Bluegrass Coastal Panicgrass Big Bluestem Little Bluestem Indian Grass	10 0.23 0.23 5 0.11 5	0.23 0.23 0.11	0						0	Native warm-season mixture. Tolerant of low fertility soils. Drought tolerant. Poor shade tolerance. N fertilizer discouraged - weeds.	
6	Tall Fescue (Turf-type) (Blend of Scott's®)	150	3.5	0	A	O	A	O	A	0	Managed filter strip for nutrient uptake.	
7	Tall Fescue Ryegrass (Blend) Perennial Ryegrass	150 20 0.46 30	3.5 0.46	0	A	O	A	O	A	0	Three cultivars of Kentucky Bluegrass. Traffic tolerant.	
8	Big Bluestem Indian Grass Little Bluestem	10 0.23 0.18	0.23 0.18	0						0	All species are native. Indian Grass and Bluestem have fluffy seeds. Plant with a specialized native seed drill.	
	Creeping Red Fescue plus one of: Partridge Pea Bush Clover Wild Indigo Snowy Tule-Tree	5 0.11 3 0.07 2	0.11 0.07	0						0	Creeping Red Fescue will provide erosion protection while the warm season grasses get established.	

Mix No.	Certified Seed <sup>1</sup>	Seeding Rate <sup>2</sup>	Optimum Seeding Dates <sup>2</sup>									Remarks
			Coastal Plain			Piedmont			All <sup>3</sup>			
9	Poorly Drained Soils Redtop Creeping Bentgrass Sheep Fescue Rough Bluegrass	75 1.72 35 0.69 45	1.72 0.69	0	A	O	O	A	O	0	Add 100 lbs./ac. Winter Rye. Quick establishment of disturbed sites and wetlands.	
10	Red Canarygrass	100	0.23	0	A	O	A	O	0	0	Good erosion control, wildlife cover and wetland revegetation.	
11	Residential Lawns Tall Fescue Perennial Ryegrass Kentucky Bluegrass Blend	100 2.3 25 0.57 30 0.69	2.3 0.57	0	A	O	O	A	O	0	High value, high maintenance, light traffic, irrigation necessary. Well drained soils, full sun.	
12	Tall Fescue Perennial Ryegrass Sheep Fescue	100 2.3 25 0.57	2.3 0.57	0	A	O	O	A	O	0	Moderate value, low maintenance, traffic tolerant.	
13	Creeping Red Fescue Kentucky Bluegrass Rough Bluegrass	50 1.15 20 0.4	1.15 0.4	0	A	O	A	O	A	0	Shade tolerant, moderate traffic tolerance, moderate maintenance.	
14	Creeping Red Fescue Rough Bluegrass or Kentucky Bluegrass	50 1.15 90 2.1	1.15 2.1	0	A	O	A	O	A	0	Shade tolerant, moisture tolerant.	
15	K-31 Tall Fescue	150	3.5	0	A	O	O	A	O	0	Monoculture, but performs well alone or in blends. Discouraged.	

1. When hydroseeding is the chosen method of application, the total rate of seed should be increased by 25%.  
 2. Winter seeding requires 3 tons per acre of straw mulch. Planting dates listed above are average for Delaware. These dates may require adjustment to reflect local conditions.  
 3. All seed shall meet the minimum purity and minimum germination percentages recommended by the Delaware Department of Agriculture. The maximum % of weed seeds shall be in accordance with Section 1, Title 3 of the Delaware Code.  
 4. Cool season species may be planted throughout summer if soil moisture is adequate or seeded area can be irrigated.  
 5. All leguminous seed must be inoculated.  
 6. Warm season grass mix and Red Canary Grass cannot be mowed more than 4 times per year.  
 7. Warm season grasses require a soil temperature of at least 50 degrees in order to germinate, and will remain dormant until then.

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**SITE NAME:**  
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**CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS**

24009 SPRINGFIELD ROAD  
 GEORGETOWN, DE 19947  
 SUSSEX COUNTY

512 TOWNSHIP LINE ROAD  
 BUILDING 2, FLOOR 3  
 BLUE BELL, PA 19422

REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY	APPROVED BY
3	10/08/19	ISSUED FOR CONSTRUCTION	SLM	MEG	MPC
2	06/19/19	ISSUED FOR CONSTRUCTION	SLM	MEG	MPC
1	06/11/19	ISSUED FOR CONSTRUCTION	AN	MEG	MPC
0	09/14/18	ISSUED FOR CONSTRUCTION	MJB	MPC	MPC
B	08/08/18	ISSUED FOR CONSTRUCTION REVIEW	MEG	MEG	MPC
A	05/23/18	ISSUED FOR CONSTRUCTION REVIEW	MJB	MEG	MPC

**MICHAEL P. O'LEARY**  
 No. 19205  
 MICHAEL P. O'LEARY  
 PROFESSIONAL ENGINEER  
 LICENSE NUMBER: 19205

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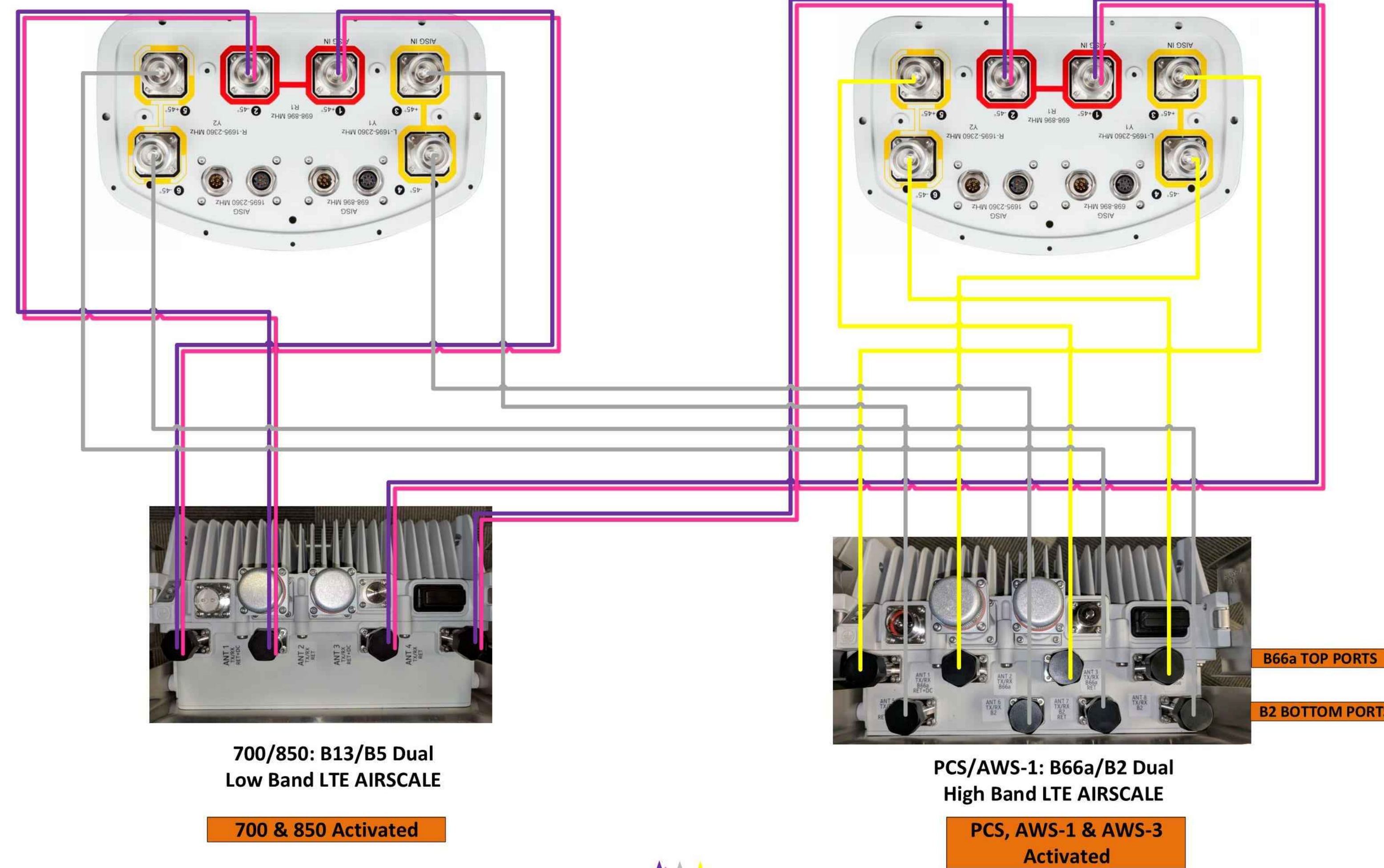
email: solutions@maserconsulting.com

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 SCALE: AS SHOWN | JOB NUMBER: 15960053A  
 SHEET TITLE: **CONSTRUCTION DETAILS**  
 SHEET NUMBER: **A-9** | REV: **0**

**Position 1**

**Position 2**  
NHH-65B-R2B

**Position 3**  
NHH-65B-R2B



**PLUMBING DIAGRAM**  
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**MICHAEL P. CLEARY**  
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**CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS**

SCALE: AS SHOWN | JOB NUMBER: 15960053A

**CONSTRUCTION DETAILS**

SHEET NUMBER: A-10 | REV: 0

### verizon VZW – 6X12 Fiber Color Code

Power Pair	Identification color	-48V	RTN
X1	Blue	Black	Red
X2	Violet	Black	Red
X3	Green	Black	Red
X4	Brown	Black	Red
X5	Yellow	Black	Red
X6	White	Black	Red

Power CC      6-Primary Fiber Pairs CC      6-Spare Fiber Pairs CC

Note- ME has worked with all of our approved hybrid partners to migrate all products to the above color code. As you can see from the above we have matching power and fiber color codes. This will help ease of installation and troubleshooting.

### verizon RVZDC-6627-PF-48

Power Pair	Identification color	RTN	-48V
X1	Blue	Black	Red
X2	Violet	Black	Red
X3	Green	Black	Red
X4	Brown	Black	Red
X5	Yellow	Black	Red
X6	White	Black	Red

OVP - 1	700/850 Alpha
OVP - 2	700/850 Beta
OVP - 3	700/850 Gamma
OVP - 4	AWS/PCS Alpha
OVP - 5	AWS/PCS Beta
OVP - 6	AWS/PCS Gamma
OVP - 7	
OVP - 8	
OVP - 9	
OVP - 10	
OVP - 11	
OVP - 12	

Power Pair	Identification color	RTN	-48V
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X3	Green	Black	Red
X4	Brown	Black	Red
X5	Yellow	Black	Red
X6	White	Black	Red

### verizon VZW – 6X12 Alarming Color Code

Conductor Pair	Main Color	Identification Stripe Color
Pair 1	Black	White
Pair 2	Black	Black
Pair 3	Black	Black
Pair 4	Black	Green
Pair 5	Black	Black
Pair 6	Black	Black
Pair 7	Black	Black
Pair 8	Black	Black
Pair 9	White	Black

Alarming Order      Alarming Color Code

Note- ME has worked with all of our approved hybrid partners to migrate all products to the above color code. This will help ease of installation and troubleshooting.

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CELLCO PARTNERSHIP d/b/a  
VERIZON WIRELESS

512 TOWNSHIP LINE ROAD  
BUILDING 2, FLOOR 3  
BLUE BELL, PA 19422

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License Number: 19205

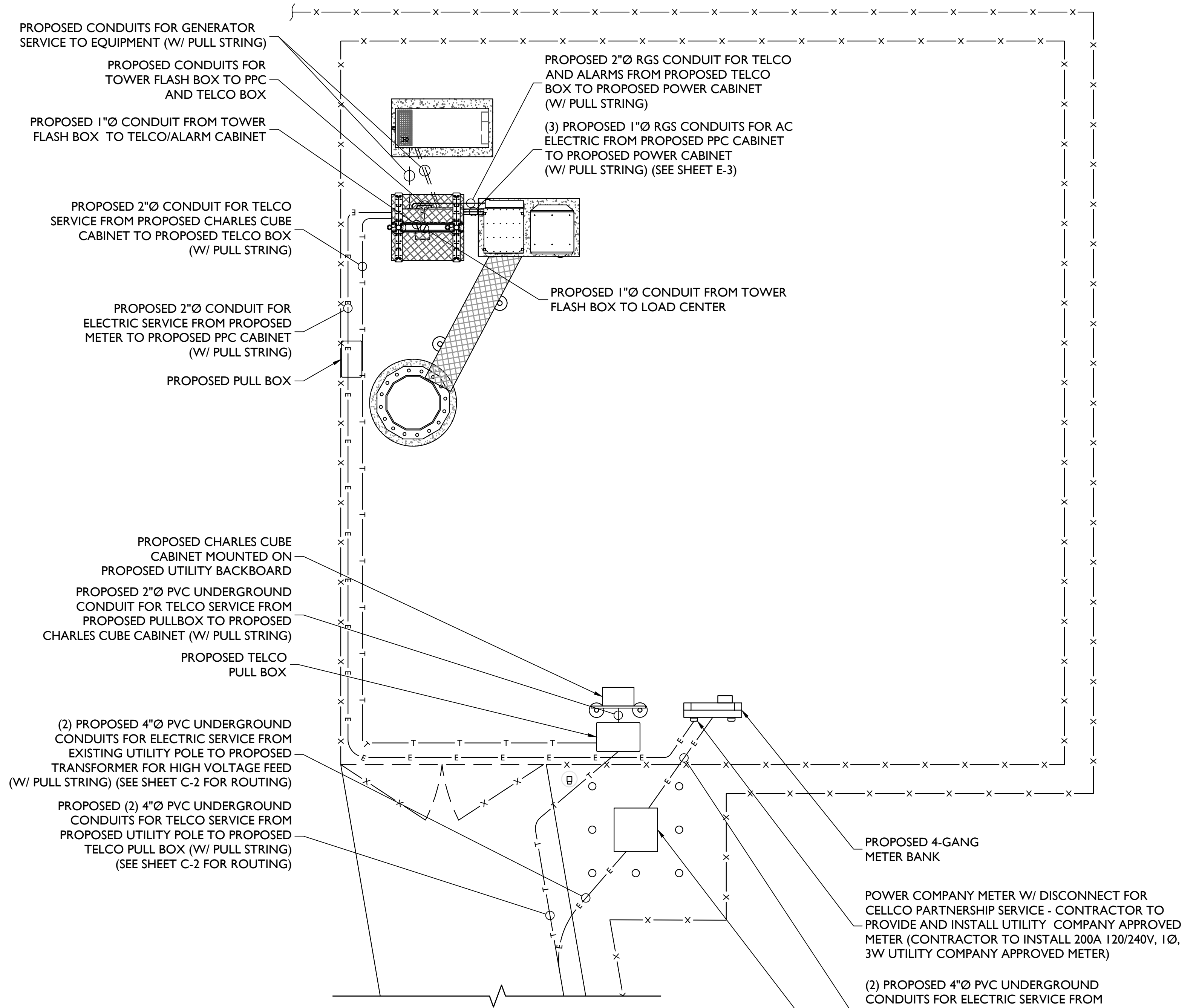
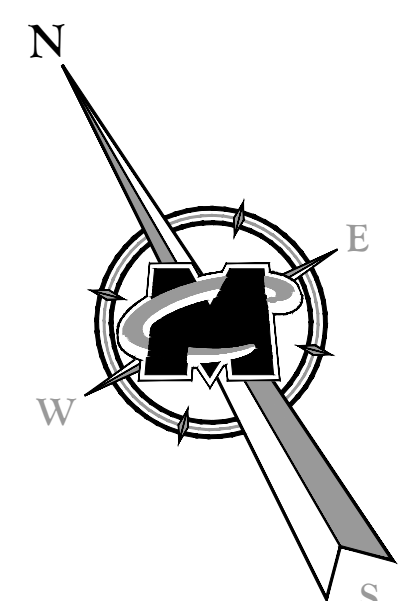
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d/b/a  
VERIZON WIRELESS

SCALE: AS SHOWN      JOB NUMBER: 15960053A

SHEET TITLE:  
CONSTRUCTION DETAILS

SHEET NUMBER: A-11      REV: 0



**UTILITY PLAN**  
 SCALE: 1" = 5'  
 24"x36" DRAWINGS  
 11x17 DRAWINGS: DO NOT SCALE

- LEGEND:**
- X — X — X — PROPOSED EQUIPMENT
  - E — E — E — PROPOSED CHAIN LINK FENCE
  - T — T — T — PROPOSED UNDERGROUND ELECTRIC
  - T — T — T — PROPOSED UNDERGROUND TELEPHONE/TELCO
  - — — — — PROPOSED UNDERGROUND UTILITIES

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**CELLCO PARTNERSHIP  
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SCALE: AS SHOWN | JOB NUMBER: 15960053A

SHEET TITLE:  
**UTILITY PLAN**

SHEET NUMBER: **E-1** | REV: **0**

ELECTRICAL GENERAL NOTES

A. GENERAL

- A.1. EXAMINE THE SITE CONDITIONS VERY CAREFULLY AND THE SCOPE OF PROPOSED WORK TOGETHER WITH THE WORK OF ALL OTHER TRADES AND INCLUDE IN THE BID ALL COSTS FOR WORK SUCH AS EQUIPMENT AND WIRING MADE NECESSARY TO ACCOMMODATE THE ELECTRICAL SYSTEMS SHOWN AND SYSTEMS OF OTHER TRADES.
A.2. SUBMITTAL OF BID INDICATES CONTRACTOR IS AWARE OF ALL JOB SITE CONDITIONS AND WORK TO BE PREPARED UNDER THIS CONTRACT.
A.3. PERFORM DETAILED VERIFICATION OF WORK PRIOR TO ORDERING THE ELECTRICAL EQUIPMENT AND COMMENCING CONSTRUCTION. ISSUE A WRITTEN NOTICE TO THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES.
A.4. THE CONTRACTOR IS TO SCHEDULE ALL INSPECTIONS AND OBTAIN ALL NECESSARY PERMITS TO PERFORM THE WORK.
A.5. PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, INSURANCE AND SERVICES TO COMPLETE THIS PROJECT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND PRESENT IT AS FULLY OPERATIONAL TO THE SATISFACTION OF THE OWNER.
A.6. CARRY OUT ALL WORK IN ACCORDANCE WITH ALL GOVERNING LOCAL, COUNTY, STATE, AND NATIONAL CODES AND O.S.H.A.
A.7. THE CONSTRUCTION MANAGER WILL COORDINATE POWER AND TELCO WORK WITH THE LOCAL UTILITY COMPANY AS IT MAY APPLY TO THIS SITE. ALL WORK IS TO COMPLY WITH THE RULES AND REGULATIONS OF THE UTILITIES INVOLVED.
A.8. FABRICATION AND INSTALLATION OF THE COMPLETE ELECTRICAL SYSTEM SHALL BE DONE WITH FIRST CLASS WORKMANSHIP PER NECA STANDARD 1-2000 BY QUALIFIED PERSONNEL, LICENSED AND EXPERIENCED IN SUCH WORK AND SHALL SCHEDULE THE WORK IN AN ORDERLY MANNER SO AS TO NOT IMPEDE THE PROGRESS OF THE PROJECT.
A.9. DURING PROGRESS OF THE WORK, MAINTAIN AN ACCURATE RECORD OF THE INSTALLATION OF THE ELECTRIC SYSTEMS, LOCATING EACH CIRCUIT PRECISELY AND DIMENSIONING EQUIPMENT, CONDUIT AND CABLE LOCATIONS. UPON COMPLETION OF THE INSTALLATION, TRANSFER ALL RECORD DATA TO RED LINE PRINTS OF THE ORIGINAL DRAWINGS AND SUBMIT THESE DRAWINGS AS RECORD DRAWINGS TO THE CONSTRUCTION MANAGER.
A.10. THE COMPLETE JOB SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF JOB ACCEPTANCE BY OWNER. ANY WORK, MATERIAL OR EQUIPMENT FOUND TO BE FAULTY DURING THAT PERIOD SHALL BE CORRECTED AT ONCE, UPON WRITTEN NOTIFICATION, AT THE EXPENSE OF THE CONTRACTOR.
A.11. THE CONSTRUCTION MANAGER IS RESPONSIBLE FOR REQUESTING CONNECTION OF COMMERCIAL POWER FROM THE POWER COMPANY.
A.12. THE CONTRACTOR SHALL NOTIFY THE STATE SPECIFIC ONE CALL SYSTEM A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO ANY CONSTRUCTION OR EXCAVATION. THE CONTRACTOR SHALL ALSO NOTIFY A PRIVATE UTILITY CONTRACTOR FOR ALL ON-SITE UTILITY LOCATIONS.

B. BASIC MATERIALS AND METHODS

- B.1. ALL ELECTRICAL WORK SHALL CONFORM TO THE EDITION OF THE NEC ACCEPTED BY THE LOCAL JURISDICTION AND TO THE APPLICABLE LOCAL CODES AND REGULATIONS.
B.2. ALL MATERIALS AND EQUIPMENT SHALL BE NEW. MATERIALS AND EQUIPMENT SHALL BE THE STANDARD PRODUCTS OF MANUFACTURER'S CURRENT DESIGN. ANY FIRST-CLASS PRODUCT MADE BY A REPUTABLE MANUFACTURER MAY BE USED PROVIDING IT CONFORMS TO THE CONTRACT REQUIREMENTS AND MEET THE APPROVAL OF THE CONSULTANT AND OWNER.
B.3. ARRANGE CONDUIT, WIRING, EQUIPMENT, AND OTHER WORK GENERALLY AS SHOWN, PROVIDING ALL APPROPRIATE CLEARANCE AND ACCESS. CAREFULLY EXAMINE ALL CONTRACT DRAWINGS AND FIT THE WORK IN EACH LOCATION WITHOUT SUBSTANTIAL ALTERATION. WHERE DEPARTURES ARE PROPOSED BECAUSE OF FIELD CONDITIONS OR OTHER CAUSES PREPARE AND SUBMIT DETAILED DRAWINGS FOR ACCEPTANCE.
B.4. THE CONTRACT DRAWINGS ARE GENERALLY DIAGRAMMATIC AND ALL OFFSETS, BENDS, FITTINGS, AND ACCESSORIES ARE NOT SHOWN. PROVIDE ALL SUCH ITEMS AS MAY BE REQUIRED TO FIT THE WORK TO THE CONDITIONS.
B.5. MAINTAIN ALL CLEARANCES AS REQUIRED BY THE NATIONAL ELECTRICAL CODE (NEC).

C. CONDUCTORS AND CONNECTORS

- C.1. UNLESS NOTED OTHERWISE, ALL CONDUCTORS SHALL BE COPPER, MINIMUM SIZE #12 AWG WITH THERMOPLASTIC INSULATION CONFORMING TO NEMA WC5 OR CROSS-LINKED POLYETHYLENE INSULATION CONFORMING TO NEMA WC7 (TYPES THHN OR THWN). INSULATION SHALL BE RATED FOR 90°C. CONDUCTORS SHALL BE COLOR CODED IN ACCORDANCE WITH THE NEC.
C.2. ALL CONDUCTORS USED FOR CIRCUIT GROUNDING SHALL BE COPPER AND SHALL HAVE GREEN INSULATION.
C.3. FOR COPPER CONDUCTORS #6 AWG AND SMALLER, USE 3M SCOTCH LOK OR T&B STA-KON COMPRESSION TYPE CONNECTORS WITH INTEGRAL OR SEPARATE INSULATION CAPS. FOR COPPER CONDUCTORS LARGER THAN #6 AWG, USE SOLDERLESS IDENT HEX SCREW OR BOLT TYPE PRESSURE CONNECTORS OR DOUBLE COMPRESSION C-CLAMP CONNECTORS, UNLESS NOTED OTHERWISE ON DRAWINGS.
C.4. UNLESS NOTED OTHERWISE ALL LUGS SHALL BE TIN PLATED COPPER, TWO-HOLE LONG BARREL COMPRESSION TYPE.
C.5. CONDUCTOR LENGTHS SHALL BE CONTINUOUS FROM TERMINATION TO TERMINATION WITHOUT SPLICES. SPLICES ARE NOT ACCEPTABLE. IF SPLICES ARE UNAVOIDABLE, PRIOR APPROVAL FROM VERIZONS REPRESENTATIVE MUST BE OBTAINED.

D. RACEWAYS AND BOXES

- D.1. ALL CONDUIT SHALL BE UL LABELED.
D.2. ALL EMPTY CONDUITS INSTALLED FOR FUTURE USE SHALL HAVE A PULL CORD.
D.3. SHEET METAL BOXES SHALL BE NEMA 3R AND CONFORM TO NEMA QSI. CAST-METAL BOXES SHALL BE NEMA 3R AND CONFORM TO NEMA 81 AND SHALL BE SIZED IN ACCORDANCE WITH NEC UNLESS OTHERWISE NOTED.

E. GROUNDING

- E.1. ALL SAFETY GROUNDING OF THE ELECTRICAL EQUIPMENT SHALL BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT EDITION OF THE NEC.
E.2. ALL CELLULAR SITE GROUNDING SHALL BE CARRIED OUT IN ACCORDANCE WITH VERIZON WIRELESS GROUNDING STANDARD DATED OCTOBER 2001.
E.3. GROUND LUGS ARE SPECIFIED UNDER SECTION "C. CONDUCTORS AND CONNECTORS"
E.4. ALL GROUND LUG AND COMPRESSION CONNECTIONS SHALL BE COATED WITH AN ANTI-OXIDENT AGENT SUCH AS NO-OX, NOAL0Z, PENETROZ, OR KOPRSIELD.
E.5. PROVIDE LOCK WASHERS FOR ALL MECHANICAL CONNECTIONS FOR GROUND CONDUCTORS. USE STAINLESS STEEL HARDWARE THROUGHOUT.
E.6. DO NOT INSTALL GROUND RING (IF REQUIRED) OUTSIDE OF PROPERTY LINE.
E.7. REMOVE ALL PAINT AND CLEAN ALL DIRT FROM SURFACES REQUIRING GROUND CONNECTIONS. REPAIR TO MATCH AFTER CONNECTIONS ARE MADE TO MAINTAIN CORROSION RESISTANCE.
E.8. ALL EXTERIOR GROUNDING CONDUCTORS INCLUDING EXTERIOR GROUND RING (IF REQUIRED) SHALL BE #2 AWG SOLID BARE TINNED COPPER. MAKE ALL GROUND CONNECTIONS AS SHORT AND DIRECT AS POSSIBLE. AVOID ANY SHARP BENDS. THE RADIUS OF ANY BEND SHALL NOT BE LESS THAN 8" AND THE ANGLE OF ANY BEND SHALL BE EXCEED 90°. GROUNDING CONDUCTORS SHALL BE ROUTED DOWNWARD TOWARD THE BURIED GROUND RING.
E.9. ALL GROUND CONNECTIONS SHALL BE APPROVED FOR THE METALS BEING CONNECTED.
E.10. ALL EXTERNAL GROUND CONNECTIONS SHALL BE EXOTHERMICALLY WELDED. ALL EXOTHERMIC WELDS TO THE EXTERIOR GROUND RING SHALL BE TEE TYPE LOCATED ON TOP OF GROUND RODS. REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY EXOTHERMIC WELDING USING SPRAY CONTAINING 95% ZINC (Z.R.C. "GALVANITE OR EQUIVALENT).
E.11. IF A NEW GROUND RING IS REQUIRED, CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER WHEN THE BURIED RING IS INSTALLED SO THE MANAGER CAN INSPECT THE GROUND RING BEFORE IT IS BACKFILLED WITH SOIL.
E.12. FOR METAL FENCE POST GROUNDING, USE AN EXOTHERMIC WELD CONNECTION TO POST.
E.13. WHERE MECHANICAL CONNECTORS (TWO-HOLE OR CLAMP) ARE USED, APPLY A LIBERAL PROTECTIVE COATING OF AN ANTI-OXIDANT COMPOUND SUCH AS "NO OXIDE A" BY DEARBORN CHEMICAL COMPANY ON ALL CONNECTORS.
E.14. BOND ALL EXTERIOR CONDUITS, PIPES AND CYLINDRICAL METALLIC OBJECTS WITH A PENN-UNION GT SERIES CLAMP, BLACKBURN GUV SERIES CLAMP OR A BURNDY GAR 3900BU SERIES CLAMP ONLY, NO SUBSTITUTES ACCEPTED.
E.15. PERFORM A GROUND RESISTANCE MEASUREMENT OF THE GROUNDING SYSTEM USING THE "FALL OF POTENTIAL METHOD." THE RESISTANCE BETWEEN ANY POINT ON THE GROUND SYSTEM AND THE REFERENCE GROUND SHALL BE 5 OHMS OR LESS. ENSURE THAT THE ELECTRIC UTILITY AND TELCO GROUNDS ARE REMOVED FROM THE CELLULAR SYSTEM GROUNDING.
E.16. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY REPRESENTATIVE AT THE SITE TO DISCONNECT THE UTILITY NEUTRAL FROM GROUNDING SYSTEM DURING FINAL INSPECTION SO THE REQUIRED TESTING ON THE GROUND SYSTEM CAN BE PERFORMED. IF THE CONTRACTOR FAILS TO HAVE THE UTILITY REPRESENTATIVE PRESENT DURING FINAL RESISTANCE TESTING, THE CONTRACTOR SHALL PAY THE COST FOR AN INDEPENDENT GROUNDING CONSULTANT TO PERFORM THE GROUND RESISTANCE TEST. GROUNDING CONSULTANT TO BE SELECTED BY THE CONSTRUCTION MANAGER. IF THE UTILITY REPRESENTATIVE FAILS TO APPEAR AT NO FAULT OF THE CONTRACTOR, NO PENALTY SHALL APPLY.
E.17. A THIRD PARTY SHOULD BE HIRED TO OBTAIN MEGGER AND SWEEP TEST RESULTS INCLUSIVE OF WHAT RESULTS THE CONTRACTOR SUBMITS TO INSURE PROPER QUALITY CONTROL ON ALL SITES. SCHEDULE FINAL MEGGER TEST SUCH THAT THE CONSTRUCTION MANAGER CAN BE PRESENT FOR FIELD VERIFICATION. REFER TO THE VERIZON MASTER SPECIFICATION FOR MEGGER TESTING PROCEDURES.
E.18. ALL METAL WORK WITHIN 10 FEET OF GROUND RING SHALL BE BONDED DIRECTLY TO THE GROUND SYSTEM, WITHOUT USING SERIES OR DAISY CHAIN CONNECTION ARRANGEMENTS.
E.19. PAINT, ENAMEL, LACQUER AND OTHER ELECTRICALLY NON-CONDUCTIVE COATINGS SHALL BE REMOVED FROM THREADS AND SURFACE AREAS WHERE CONNECTIONS ARE MADE TO ENSURE GOOD ELECTRICAL CONTINUITY.
E.20. CONNECTIONS BETWEEN DISSIMILAR METALS SHALL NOT BE MADE UNLESS THE CONDUCTORS ARE SEPARATED BY A SUITABLE MATERIAL THAT IS PART OF THE ATTACHMENT DEVICE. ONLY ATTACHMENT DEVICES LISTED AND APPROVED FOR DISSIMILAR METALS MAY BE USED.

ELECTRICAL ABBREVIATIONS

Table with 3 columns: Abbreviation, Description, and Description. Includes entries for AMPERE, ABOVE FINISHED GRADE, AMPERE INTERRUPTING CAPACITY, AMERICAN WIRE GAUGE, AIR CONDITIONING, BELOW FINISHED GRADE, BARE COPPER WIRE, BREAKER, CONDUIT, CIRCUIT, CURRENT TRANSFORMER, CELL REFERENCE GROUND BAR, COPPER, COMPLETE WITH, DRY TYPE TRANSFORMER, INDICATES EXISTING EQUIPMENT, EMPTY CONDUIT, EQUIPMENT GROUND BAR, ELECTRICAL METALLIC TUBING, FUSED, GROUND, GROUNDING ELECTRODE, GROUNDING ELECTRODE CONDUCTOR, GROUND, GALVANIZED RIGID CONDUIT, LIQUIDTIGHT FLEXIBLE METALLIC CONDUIT, MANUAL TRANSFER SWITCH, MAIN CIRCUIT BREAKER, MAIN GROUND BAR, MAIN INSULATED GROUND BAR, NEUTRAL, NATIONAL ELECTRICAL CODE, NOT TO SCALE, POLE, POWER PROTECTION CENTER, POLYVINYL CHLORIDE CONDUIT, RIGID NON METALLIC CONDUIT (SCHEDULE 80 PVC), SERVICE DISCONNECT, SERVICE ENTRANCE, SOLID NEUTRAL, TELCO GROUND BAR, TOWER EXISTING GROUND BAR, TRANSFORMER, TRANSIENT VOLTAGE SURGE SUPPRESSER, TYPICAL, WEATHERPROOF - NEMA 3R, UNDERGROUND, VOLT, WIRE, PHASE.

ELECTRICAL LEGEND

Table of electrical symbols and their descriptions: SAFETY DISCONNECT SWITCH, PANELBOARD, KILOWATT HOUR METER, TRANSFORMER, CIRCUIT BREAKER, MANUAL TRANSFER SWITCH, LIGHT FIXTURE, LIGHT SWITCH, AC GENERATOR CONNECTOR, GFI DUPLEX RECEPTACLE, COPPER GROUND BAR, EXOTHERMIC WELD CONNECTION, COMPRESSION FITTING GROUND CONNECTION, COAXIAL CABLE SHIELD GROUND KIT CONNECTION, GROUND ROD, GROUND ROD WITH TEST WELL, GROUND WIRING.

MAIN PANEL SCHEDULE table with columns: Type, DESCRIPTION, VA, BKR, POSN, L1, L2, POSN, BKR, VA, DESCRIPTION, Type. Includes sub-totals for PHASE TOTALS (VA), CURRENT PER PHASE (A), PANEL TOTAL (A), PANEL TOTAL (VA), PANEL CAPACITY (kVA), PANEL LOADING (TOTAL) (kVA), SPARE CAPACITY (kVA).

PANEL SCHEDULE

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Revision table with columns: REV, DATE, DESCRIPTION, DRAWN BY, CHECKED BY, APPROVED BY.

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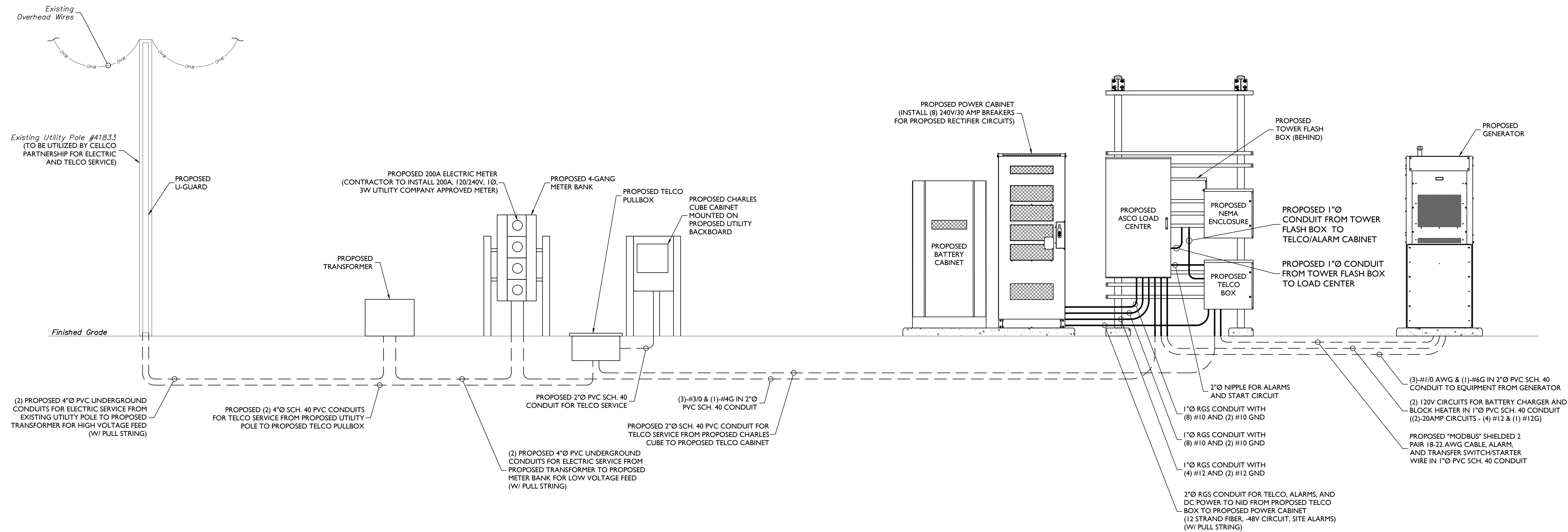
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Vertical text on the far left edge of the page.



NOTE:  
 ALL ABOVE GROUND CONDUITS TO BE RGS. ALL BELOW GROUND CONDUITS TO BE SCH. 40 PVC. CONTRACTOR TO DETERMINE PROPER TRANSITION BETWEEN SCH. 40 PVC AND RGS CONDUIT.



UTILITY RISER DIAGRAM  
 NOT TO SCALE

**LEGEND:**  
 ——— EXISTING EQUIPMENT  
 — CHW — CHW — CHW — EXISTING OVERHEAD WIRE  
 ——— PROPOSED EQUIPMENT  
 - - - - - PROPOSED UNDERGROUND UTILITIES

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 email: solutions@maserconsulting.com

CELLCO PARTNERSHIP  
 d/b/a  
**VERIZON WIRELESS**

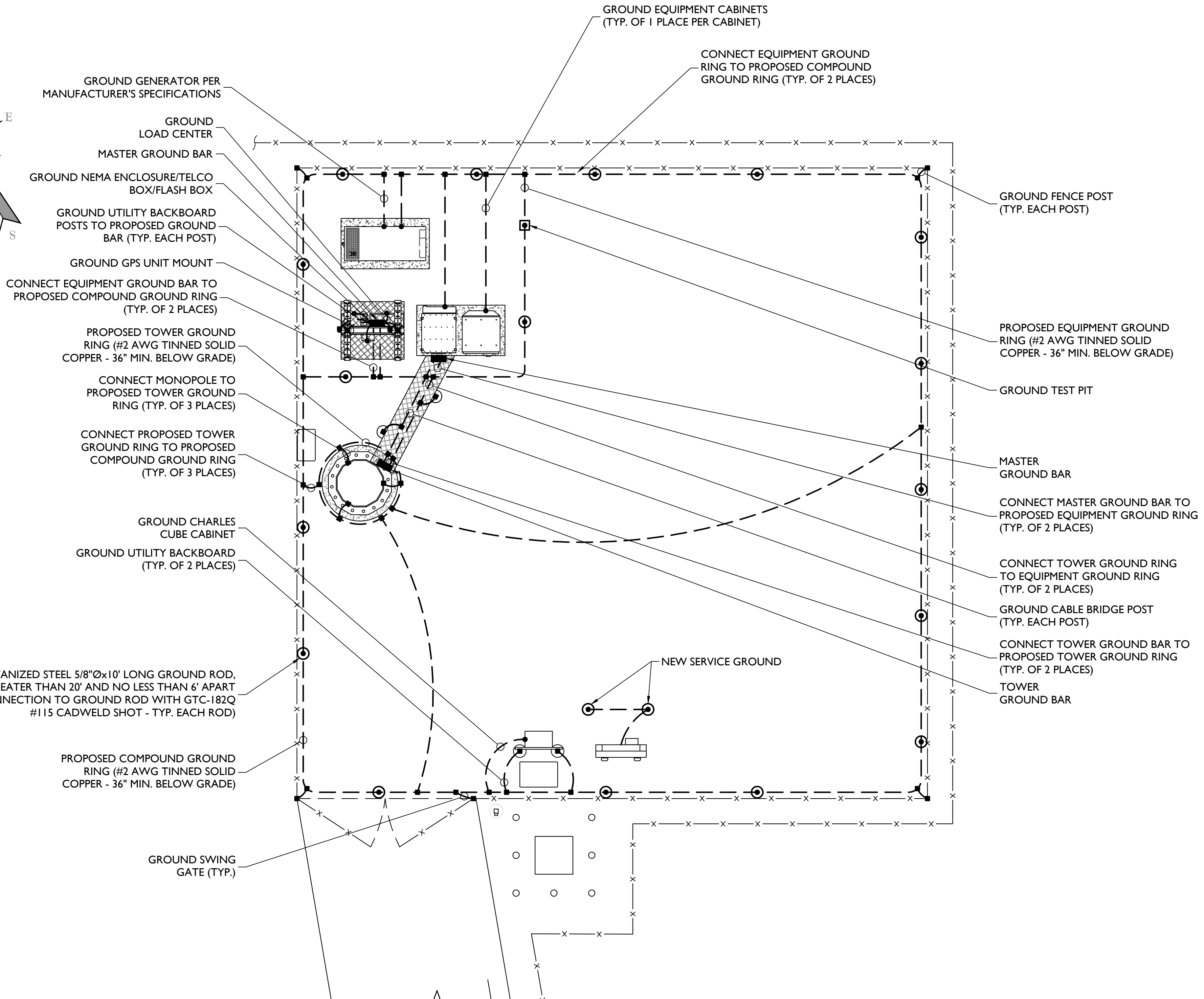
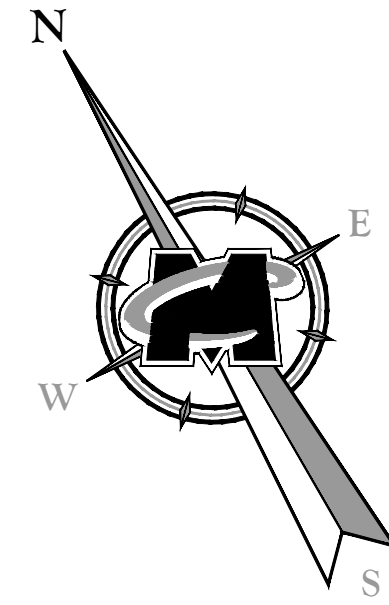
SCALE: AS SHOWN | JOB NUMBER: 15960053A

SHEET TITLE:  
**UTILITY RISER DIAGRAM**

SHEET NUMBER: E-3 | REV: 0

**GROUNDING NOTES:**

- ALL DOWN CONDUCTORS AND GROUND RING CONDUCTOR SHALL BE #2 AWG. SOLID, BARE, TINNED COPPER, UNLESS OTHERWISE NOTED. ALL CONNECTIONS TO GROUND RING SHALL BE EXOTHERMICALLY WELDED. CONDUCTOR SHALL BE AT A MINIMUM DEPTH BELOW GRADE OF 36 INCHES OR TO LEDGE. MINIMUM BEND RADIUS SHALL BE 8 INCHES. CONDUCTOR SHALL BE AT LEAST 24 INCHES FROM ANY FOUNDATION, UNLESS OTHERWISE NOTED.
- GROUND RODS SHALL BE 5/8" DIAMETER GALVANIZED STEEL, HARGER, T&B, ERICO, OR EQUIVALENT. TOP OF ROD SHALL BE A MINIMUM OF 36" BELOW GRADE.
- WHERE MECHANICAL CONNECTIONS ARE SPECIFIED, BOLTED, COMPRESSION-TYPE, CLAMPS OR SPLIT-BOLT TYPE CONNECTORS SHALL BE USED.
- INSTALL GROUNDING KITS AT ANTENNA CENTERLINE. GROUND COAX LINES. EXOTHERMICALLY WELD #2 DOWN CONDUCTOR TO PLATES, RUN DOWN BUILDING AND TIE INTO GROUNDING SYSTEM.
- ALL GROUNDING WORK SHALL COMPLY WITH VERIZON WIRELESS SPECIFICATIONS AND STANDARDS. FOLLOWING COMPLETION OF WORK, GROUND SYSTEM MUST BE TESTED AND SHALL HAVE A RESISTANCE OF 5 OHMS OR LESS (SUBMIT AN INDEPENDENT "FALL POTENTIAL" TESTING REPORT).
- CONTRACTOR SHALL HAND-DIG IN AREAS AROUND EXISTING UTILITIES.
- NOTIFY CONSTRUCTION MANAGER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.
- GROUNDING RING IS SHOWN AS SCHEMATIC ONLY. IT IS DESIGNED WITHOUT BENEFIT OF RESISTIVITY TESTING AND DOES NOT NECESSARILY REPRESENT A GROUNDING SYSTEM TO MEET ANY SPECIFIC GROUND RESISTANCE.



**LEGEND:**

- EXISTING EQUIPMENT
- - - PROPOSED EQUIPMENT

**GROUNDING LEGEND**

- COPPER GROUND BAR
- EXOTHERMIC WELD CONNECTION
- COMPRESSION FITTING GROUND CONNECTION
- ⊙ GROUND ROD WITH TEST WELL
- GROUND ROD
- - - PROPOSED GROUNDING

**GROUNDING PLAN**  
 SCALE: 1" = 5'  
 24"x36" DRAWINGS  
 11x17 DRAWINGS: DO NOT SCALE

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3	10/08/19	ISSUED FOR CONSTRUCTION	SLM	MEG	MPC
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B	08/08/18	ISSUED FOR CONSTRUCTION REVIEW	MEG	MEG	MPC
A	05/23/18	ISSUED FOR CONSTRUCTION REVIEW	MJB	MEG	MPC

**MICHAEL P. O'LEARY**  
 No. 19205  
 PROFESSIONAL ENGINEER - LICENSE NUMBER: 19205  
 DATE: \_\_\_\_\_

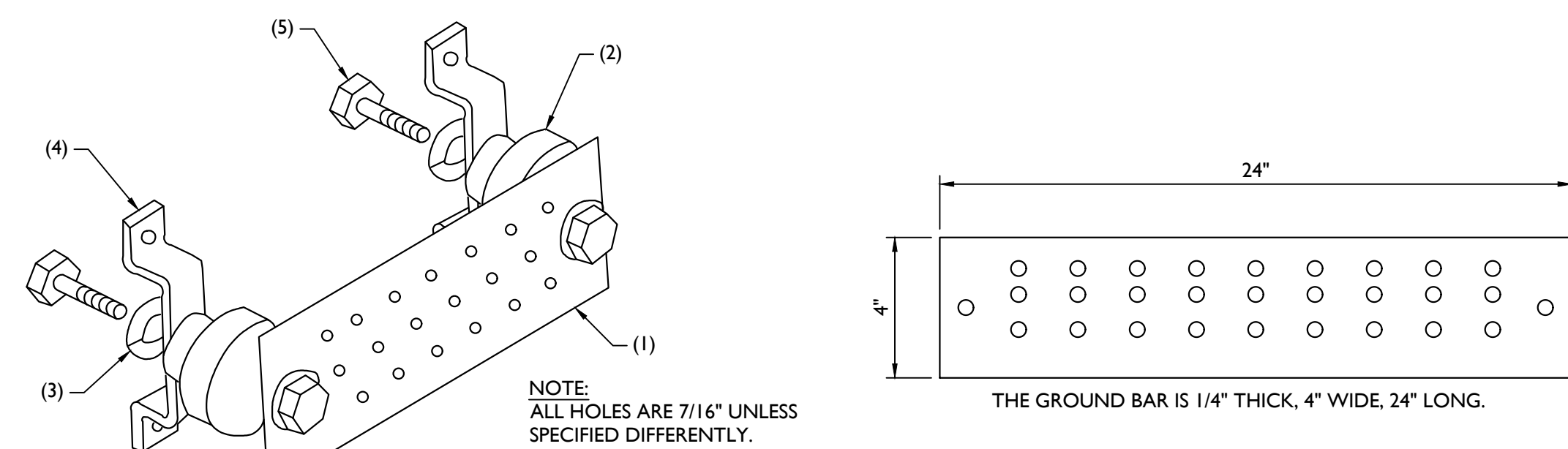
**MT. LAUREL OFFICE**  
 2000 Melrose Drive  
 Suite 100  
 Mount Laurel, NJ 08054  
 Phone: 856.797.0412  
 Fax: 856.722.1120  
 email: solutions@maserconsulting.com

CELLCO PARTNERSHIP  
 d/b/a  
 VERIZON WIRELESS

SCALE: AS SHOWN | JOB NUMBER: 15960053A

SHEET TITLE:  
**GROUNDING PLAN**

SHEET NUMBER: **G-1** | REV: **0**



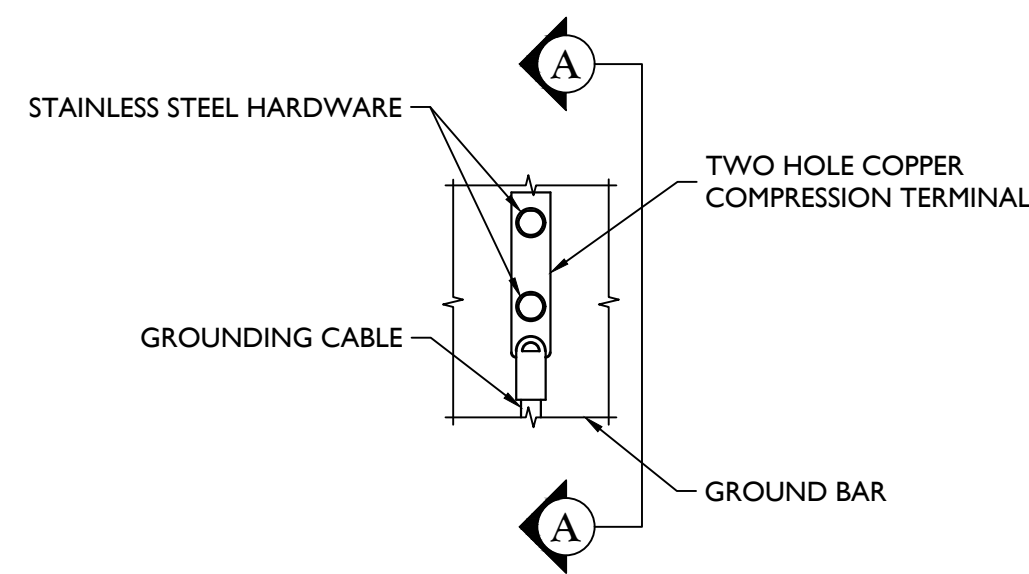
NOTE:  
ALL HOLES ARE 7/16" UNLESS SPECIFIED DIFFERENTLY.

**LEGEND:**

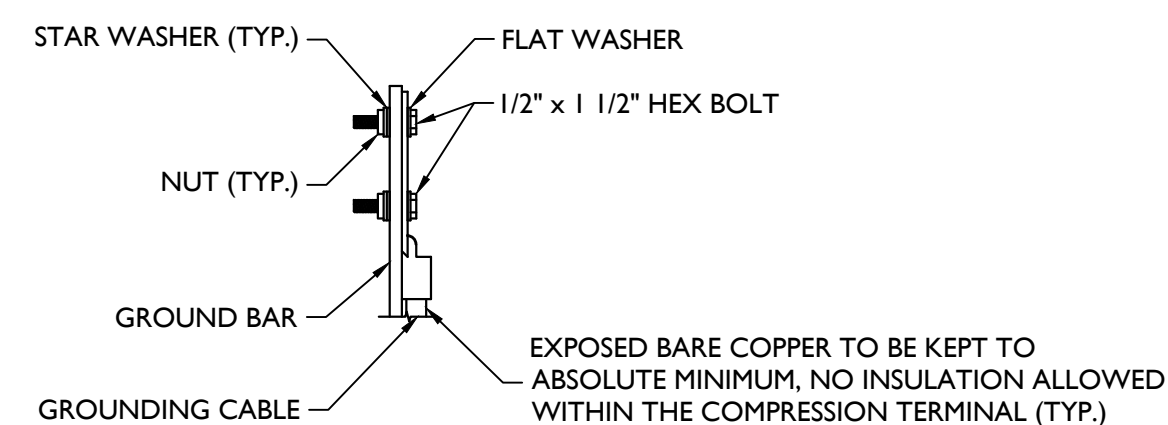
1. GALVANIZED STEEL GROUND BAR, 1/4"x4"x24", TESCO P/N GSLBC-0424-NH. HOLE CENTERS TO MATCH NEMA DOUBLE LUG CONFIGURATION.
2. STANDOFF INSULATORS, HARGER LIGHTNING PROTECTION, INC. CAT. NO. 5263-A8
3. 1/2" LOCKWASHERS, HARGO CO. CAT. NO. LWBS.
4. WALL MOUNTING STAINLESS STEEL, MOUNTING BRACKET, HARGER CAT. NO. WBKT-1.
5. 1/2-13 x 1" HEX HEAD CAP SCREW, HARGER, CAT. NO. CS885.

**GROUND BAR DETAIL**

NOT TO SCALE

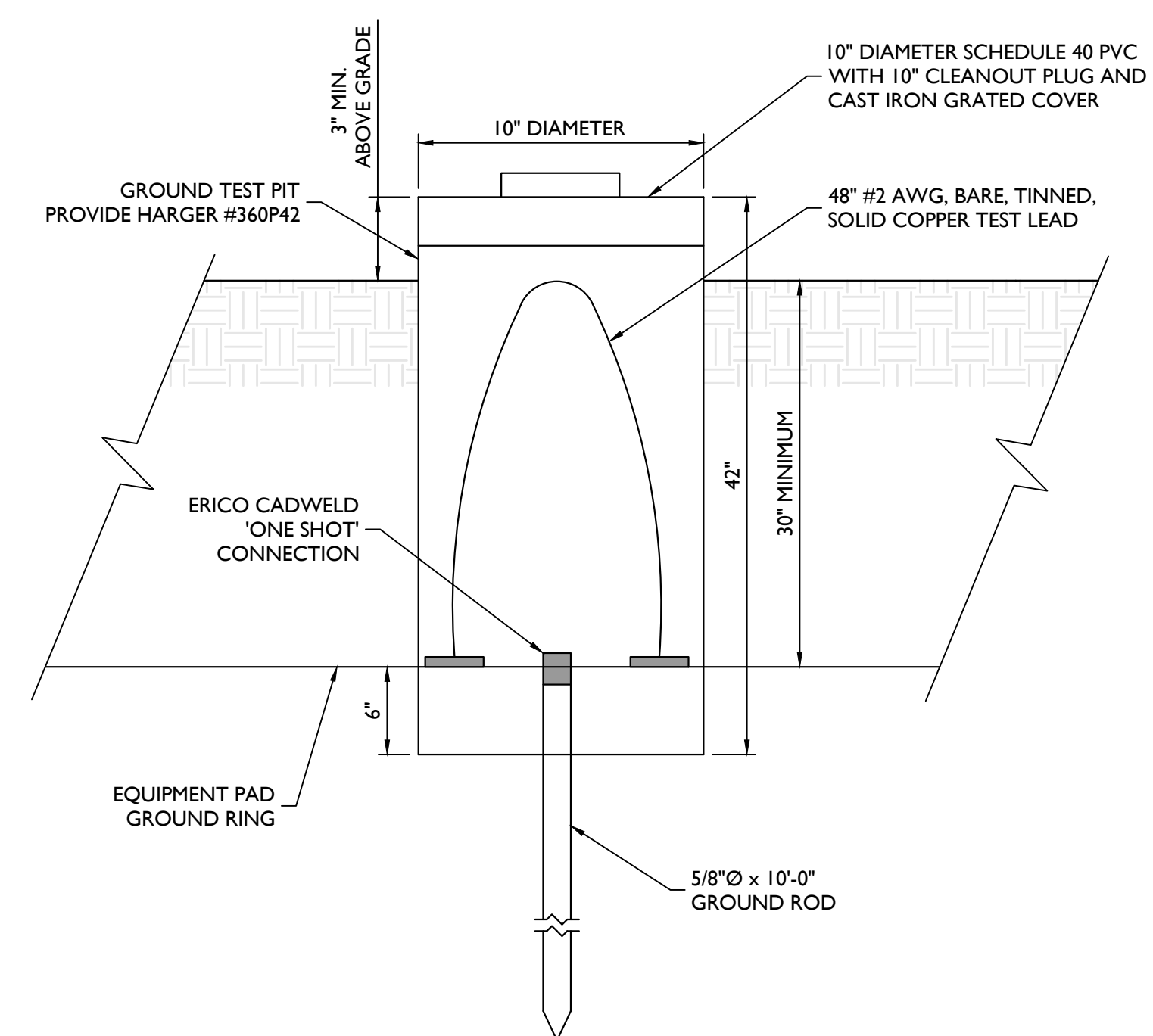


**ELEVATION VIEW**



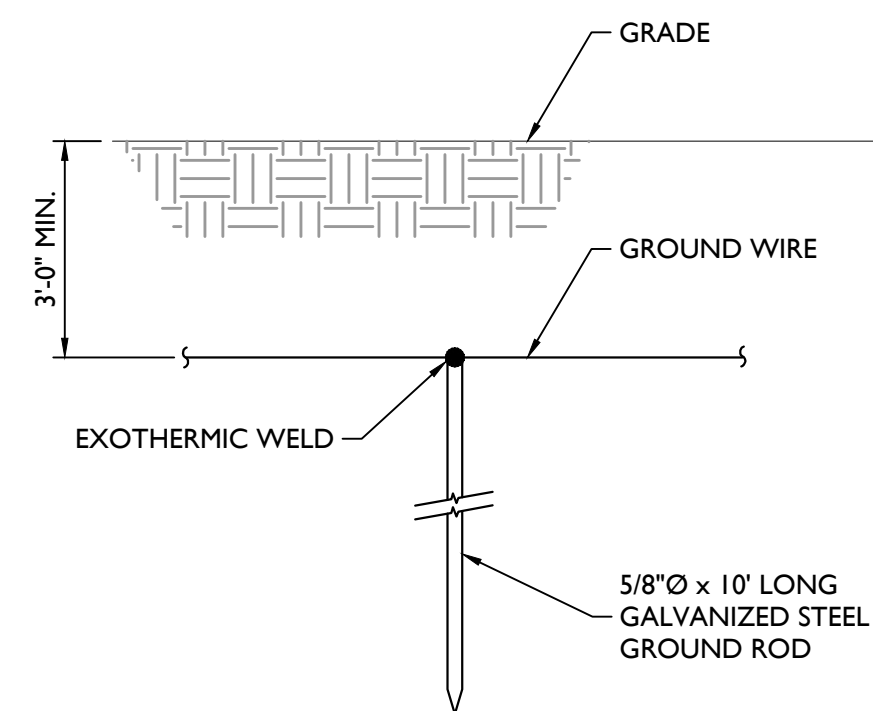
**SECTION "A-A"  
TYPICAL GROUND BAR  
MECHANICAL CONNECTION DETAIL**

NOT TO SCALE



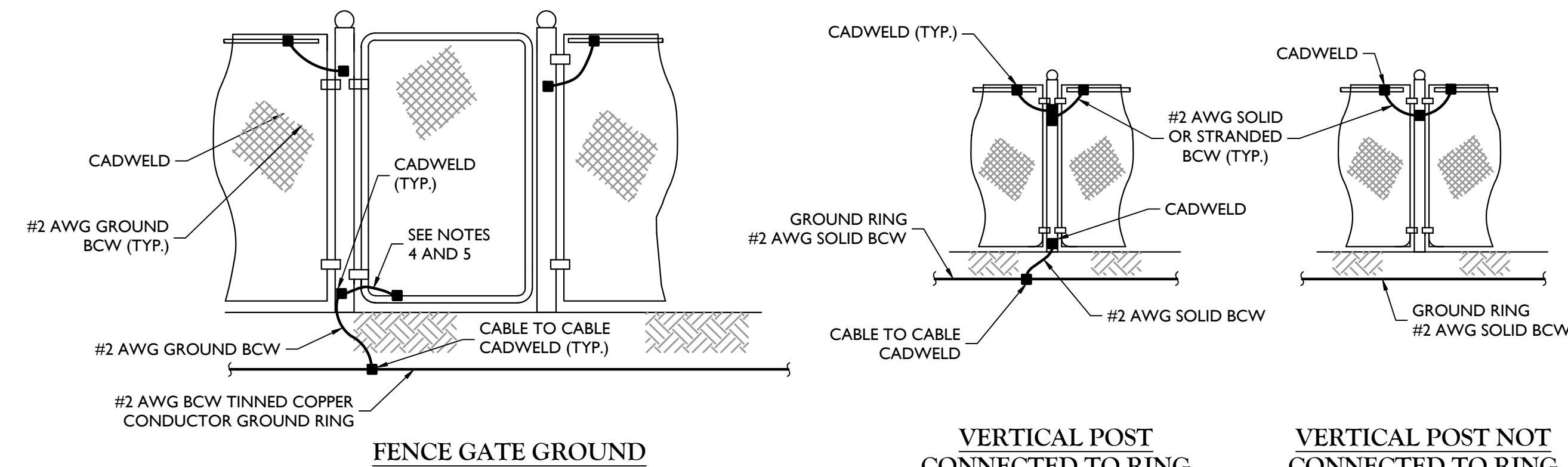
**GROUND TEST PIT DETAIL**

NOT TO SCALE



**GROUND ROD DETAIL**

NOT TO SCALE



**NOTES:**

1. VERTICAL POSTS SHALL BE BONDED TO THE RING AT EACH CORNER AND AT EACH GATE POST. AS A MINIMUM ONE VERTICAL POST SHALL BE BONDED TO THE GROUND RING IN EVERY 100 FOOT STRAIGHT RUN OF FENCE.
2. HORIZONTAL POLES SHALL BE BONDED TO EACH OTHER.
3. BOND EACH HORIZONTAL POLE/BRAVE TO EACH OTHER AND TO EACH VERTICAL POST THAT IS BONDED TO THE EXTERIOR GROUND RING.
4. GATE JUMPER SHALL BE #4/0 AWG WELDING CABLE OR FLEXIBLE COPPER BRAID BURNDY TYPE B WITH SLEEVES ON EACH END DESIGNED FOR EXOTHERMIC WELDING.
5. GATE JUMPER SHALL BE INSTALLED SO THAT IT WILL NOT BE SUBJECTED TO DAMAGING STRAIN WHEN GATE IS FULLY OPEN IN EITHER DIRECTION.

**FENCE GROUNDING DETAIL**

NOT TO SCALE

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BUILDING 2, FLOOR 3  
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**MICHAEL P. O'LEARY**  
Professional Engineer  
License Number: 19205

DATE: \_\_\_\_\_

**MT. LAUREL OFFICE**  
2000 Melodic Drive  
Suite 100  
Mount Laurel, NJ 08054  
Phone: 856.797.0412  
Fax: 856.722.1120

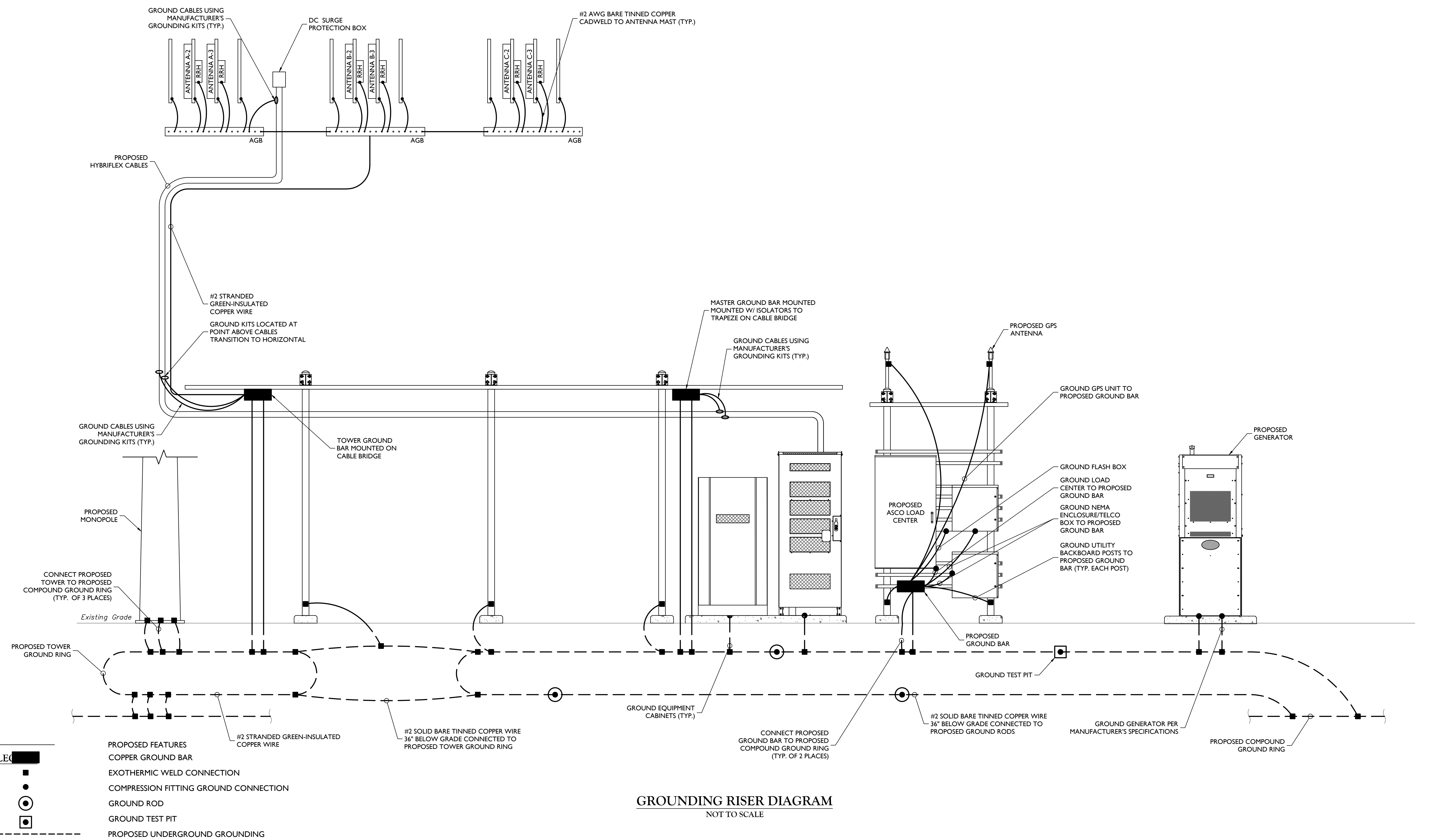
email: solutions@maserconsulting.com

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**GROUNDING DETAILS**

SHEET NUMBER: G-2 | REV: 0



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**MICHAEL P. O'LEARY**  
Professional Engineer  
License No. 19205  
DATE: \_\_\_\_\_

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SCALE: AS SHOWN | JOB NUMBER: 15960053A

**GROUNDING RISER DIAGRAM**

SHEET NUMBER: \_\_\_\_\_ | REV: 0

**G-3**

- NOTES**
1. THE PROPERTY SHOWN HEREON IS CURRENTLY OWNED BY ANN J. BANKS, 31501 BANKS ROAD, OCEAN VIEW, DE. 19970. PH 302.236.9164
  2. DEED BOOK REF: 629/836, 506/135
  3. PLAT REF: N/A
  4. TAX MAP: 134 - 12.00 - 275.00  
NUMBER OF LOTS: 2 TOTAL  
AREAS: LOT 1 0.75 ACRES±  
LOT 2 0.75 ACRES±  
TOTAL 1.50 ACRES±
  5. ZONING: MR  
SETBACKS: FRONT = 30'  
SIDE = 10'  
REAR = 20'
  6. PRESENT USE: RESIDENTIAL  
PROPOSED USE: RESIDENTIAL
  7. PRIVATE WATER WILL BE REQUIRED FOR PROPOSED LOTS. SEWER WILL PROVIDED BY SUSSEX COUNTY.
  8. CLASSIFICATION OF SURVEY: SUBURBAN
  9. IF EXISTING ENTRANCES ARE ALTERED, THEY SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL. NO CONSTRUCTION ACTIVITY SHALL OCCUR IN THE RIGHT-OF-WAY (ROW) WITHOUT A DELDOT PERMIT.
  10. OTHER THAN SHOWN, THIS SURVEY PLAT DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHTS-OF-WAY OR EASEMENTS ON THIS PROPERTY. NO TITLE SEARCH WAS REQUESTED OR PERFORMED.

**OWNER CERTIFICATION**

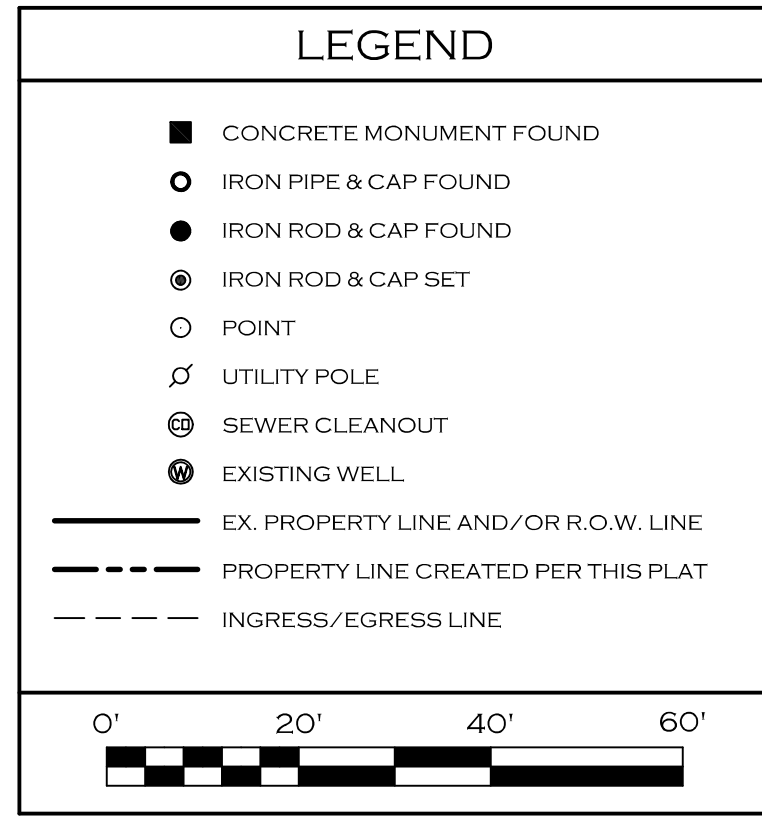
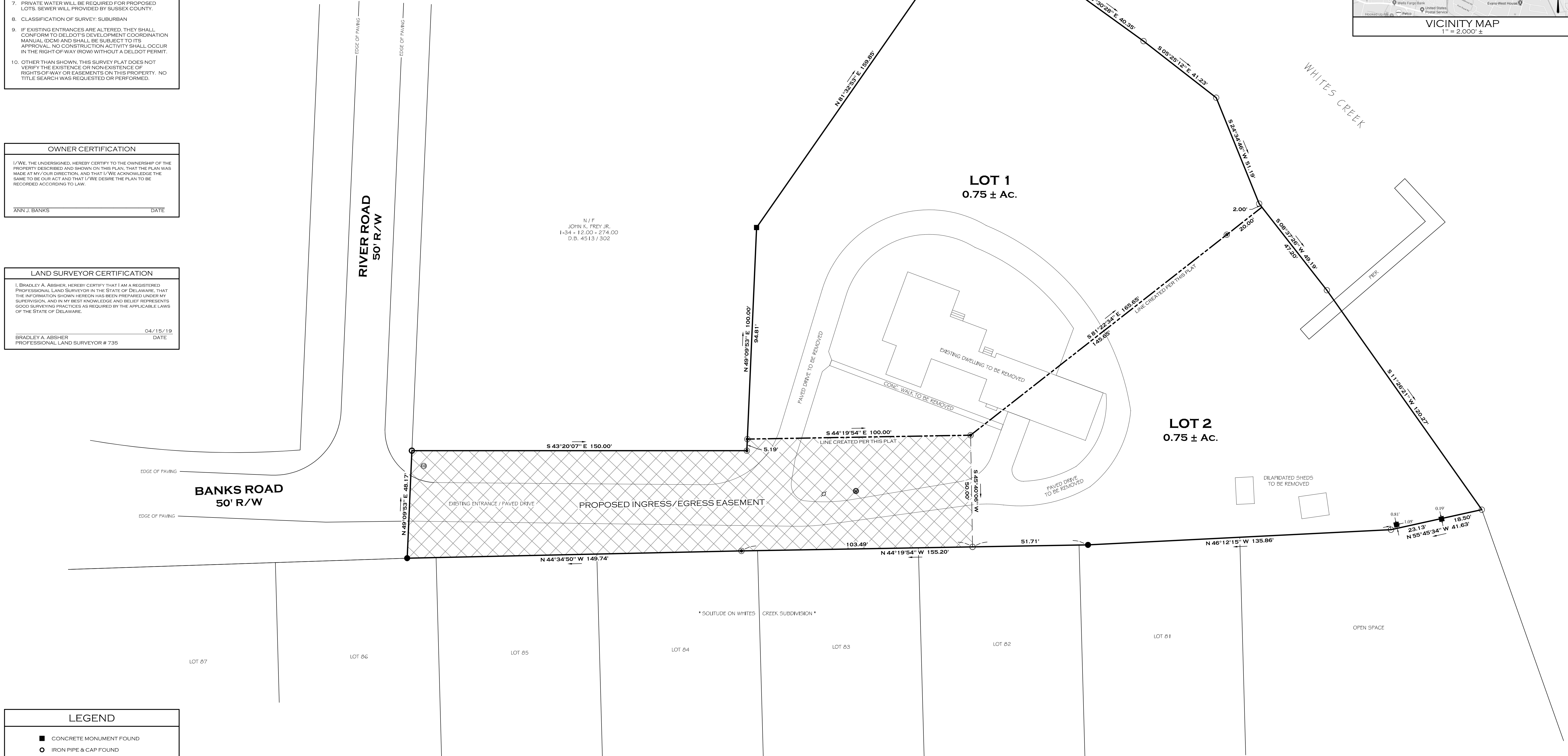
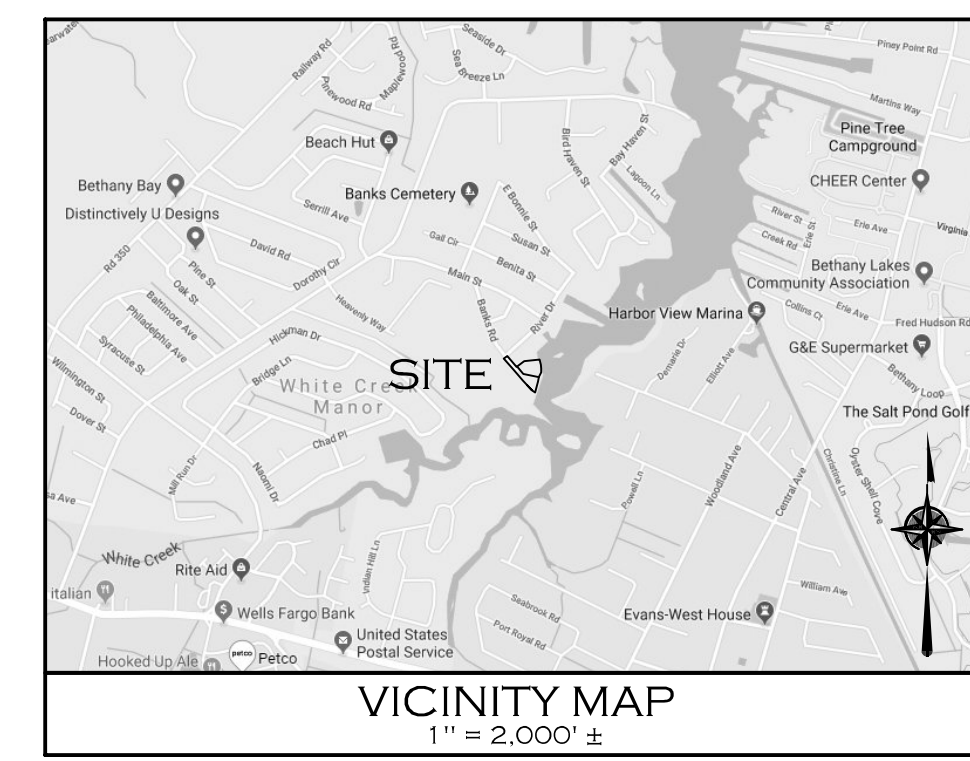
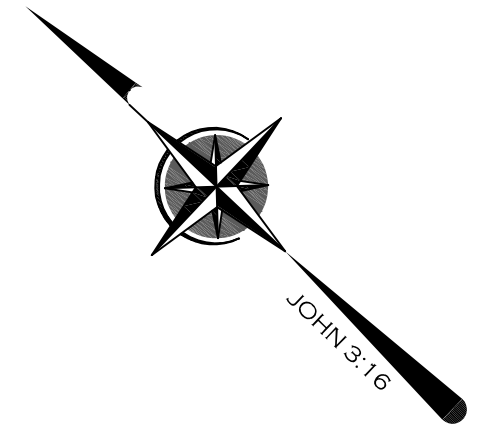
I/WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY/OUR DIRECTION, AND THAT I/WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT I/WE DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

ANN J. BANKS \_\_\_\_\_ DATE \_\_\_\_\_

**LAND SURVEYOR CERTIFICATION**

I, BRADLEY A. ABSHER, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND IN MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

BRADLEY A. ABSHER \_\_\_\_\_ 04/15/19 DATE  
PROFESSIONAL LAND SURVEYOR # 735



TAX MAP #	134 - 12.00 - 275.00
STATE	DELAWARE
COUNTY	SUSSEX
HUNDRED	BALTIMORE
TOWN	- - -
SUBDIVISION	- - -
LOT	- - -
DEED REF.	506 / 135, 629 / 836
PLAT REF.	-
DRAWN BY	CJP
DATE	05 / 17 / 19
REVISED	-
SCALE	1" = 20'
SURVEY #	DE - 05507

**MINOR SUBDIVISION**

OF THE LANDS OF

**ANN J. BANKS**

31501 BANKS ROAD, OCEAN VIEW, DE. 19970

**TRUE NORTH**  
LAND SURVEYING  
118 ATLANTIC AVENUE, SUITE 202  
OCEAN VIEW, DE. 19970  
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FX 302-539-2499  
WEB: TRUENORTHLS.COM