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DIRECTOR OF PLANNING & ZONING
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Sussex County

DELAWARE
sussexcountyde.gov

PLEASE NOTE

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COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE



Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager; Lauren DeVore, Planner III; Christin Scott, Planner I; and Elliott Young, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: October 26th, 2021

RE: Other Business for the November 4, 2021 Planning Commission Meeting

This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the November 4, 2021 Special Meeting of the Planning & Zoning Commission.

(2004-38) Wetherby

KS

Revised Final Subdivision Plan

This is a Revised Final Subdivision Plan for Wetherby, a cluster subdivision consisting of one-hundred and twenty-six (126) single-family lots located on the south side of Harmons Hill Road (Rd. 302). The Planning Commission at their October 13, 2021 meeting deemed the subdivision substantially underway, under the stipulation that site work shall continue on the site in order to maintain this status. The Revised Subdivision Plan submitted on August 2, 2021 reflects a change in the previously approved plans to relocate the proposed entrance to the western end of the site, instead of the eastern end to accord with DelDOT requirements. The Revised Final Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes and all Conditions of Approval. Tax Parcel: 234-16.00-27.00. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are in receipt of all updated agency approvals.

Patriots Glen RPC (Phase 1)

BM

Preliminary Site Plan

This is a Preliminary Site Plan for Patriots Glen RPC consisting of a one-hundred and sixty-one (161) residential unit residential planned community located on the southeast side of John J. Williams Hwy. (Rt. 24). The Planning Commission at their July 16, 2019 meeting approved CZ 1877 for the MR-RPC (Medium Density Residential Zoning District, Residential Planned Community). The applicant has submitted a written request to reduce right-of-way throughout portions of Patriots Glen (Phase 1) and provided an exhibit. The Preliminary Site Plan otherwise complies with the Sussex County Zoning Code. Tax Parcel: 234-29.00-66.00, 66.01, & 66.02. Zoning: MR-RPC (Medium Density Residential Zoning District-Residential Planned Community). Staff are awaiting agency approvals.

2018-01 Acadia Landing

KS

Preliminary Amenities Plan

This is a Preliminary Amenities Plan for the Acadia Subdivision. This plan proposes a 4,000 +/- square foot clubhouse, in-ground pool, tennis court, associated parking, landscaping and other site improvements. The site is located on the south side of Frenchman Bay Drive within Acadia Landing Subdivision. The Preliminary Amenities Plan complies with the Sussex County Zoning Code. Tax Parcel: 234-11.00-60.00. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are in receipt



of all required agency approvals for this proposal, and therefore, both Preliminary and Final approvals may be granted at the will of the Commission.

2018-13 Anchors Run

KS

Preliminary Amenities Plan

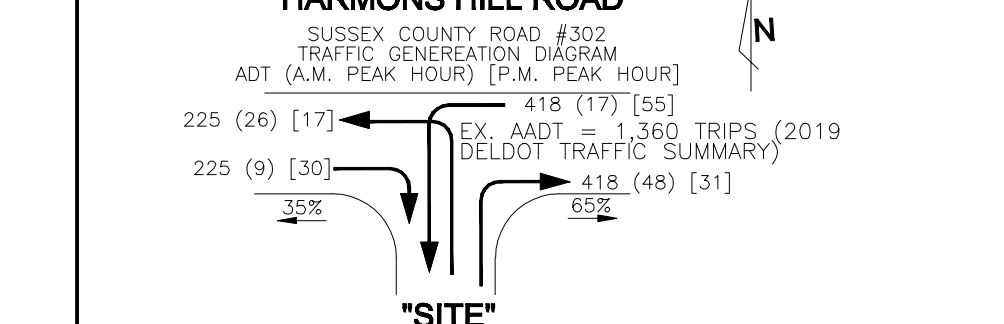
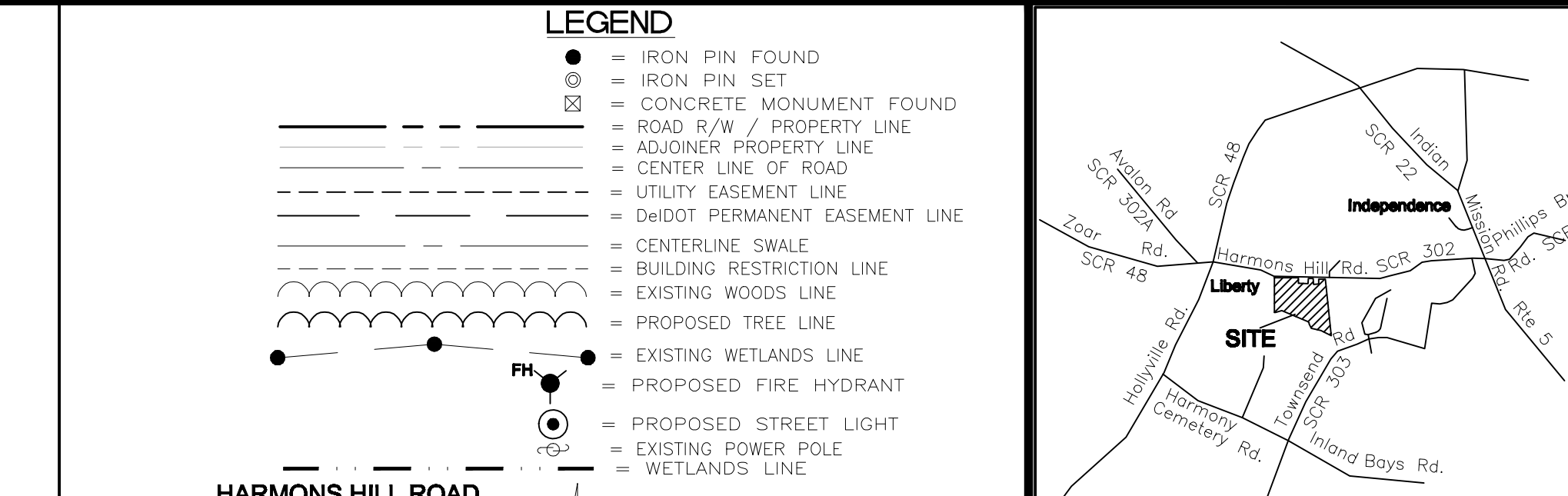
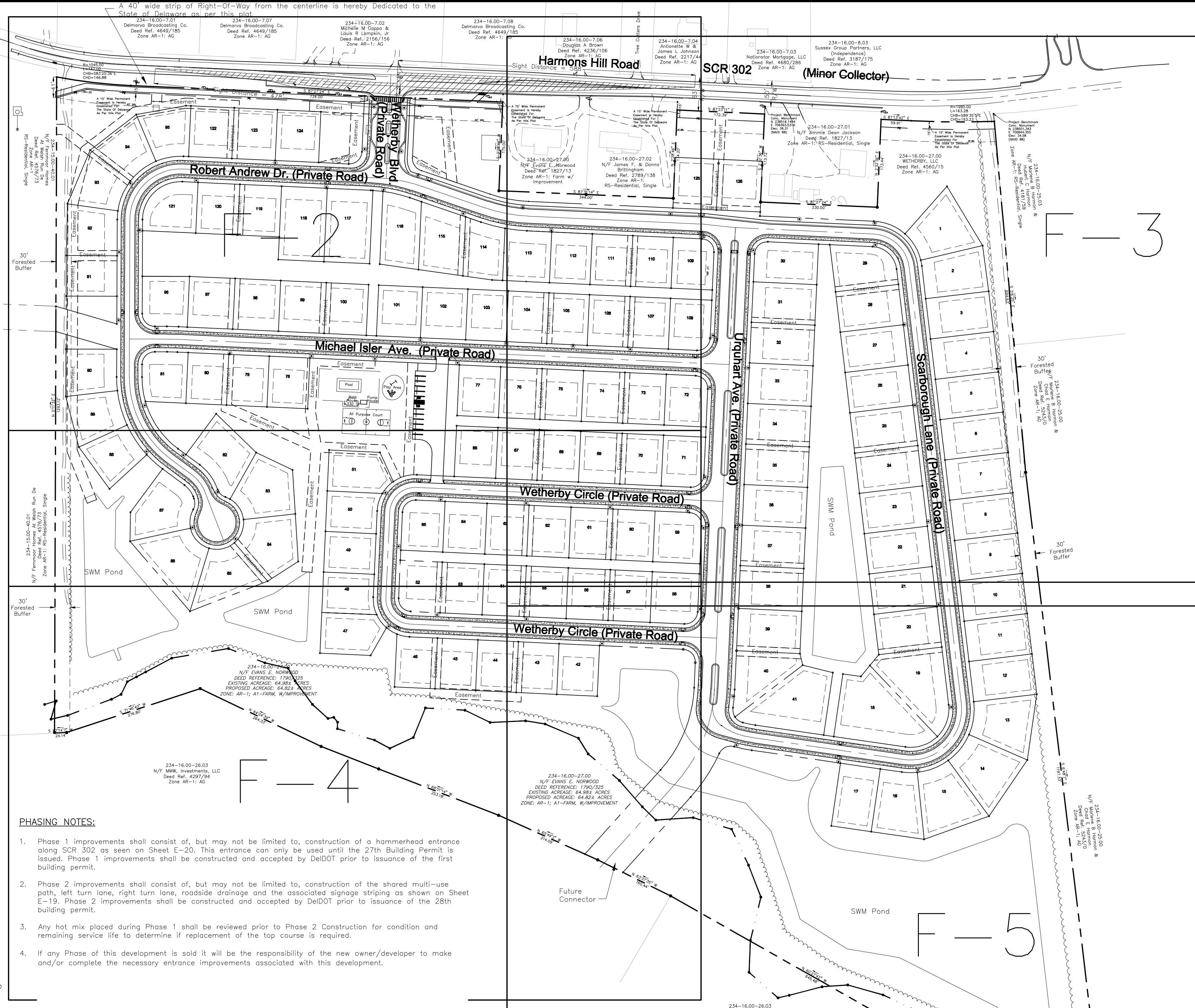
This is a Preliminary Amenities Plan for the Anchors Run Subdivision. This plan proposes a 4,100 +/- square foot clubhouse, in-ground pool, central mailbox, associated parking and other site improvements. The site is located on the end of Snug Berth Drive within the Anchors Run Subdivision. The Preliminary Amenities Plan complies with the Sussex County Zoning Code. Tax Parcels: 234-6.00-19.00 & 234-6.00-20.01. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are in receipt of all required agency approvals for this proposal, and therefore, both Preliminary and Final approvals may be granted at the will of the Commission.

APD 2021-01 – Webb Family Farms, LLC

KH

Consideration of Agricultural Preservation District

This is an application to consider an Agricultural Preservation District in an Agricultural Residential Zoning District in Cedar Creek Hundred for one (1) parcel of land totaling 250.51 acres more or less, located along the north and south sides of Beach Highway (Rt. 16) and the south west corner of Beach Highway (Rt. 26) and Truitt Road (S.C.R. 604) for the purpose of a recommendation to the Delaware Agricultural Lands Preservation Foundation. Tax Parcel: 230-25.00-29.00. Zoning: AR-1 (Agricultural Residential Zoning District).



SITE TRAFFIC DATA:
 SOURCE: ITE TRIP GENERATION MANUAL 10TH EDITION
 126 SINGLE FAMILY DETACHED DWELLINGS (210)
 176 SINGLE FAMILY DETACHED DWELLINGS X 10.21/UNIT = 1,286
 10% TRIPS
 65% TO AND FROM THE EAST = 836 ADT (65 AM PK) [86 PM PK]
 35% TRUCKS & BUSES X 1,286 = 39

SITE TRAFFIC GENERATION DIAGRAM AND GENERAL INFORMATION

Ref: 10th edition of ITE TRIP GENERATION & Site ADT data per Troy Brestel

SITE DATA

CURRENT RECORDED PLAN PLOT BOOK 139 PAGE 1 11/12/2009

- CURRENT ZONING: AR-1 Ag
- Tax Parcel Number: 234-16.00-27.00 (INVESTMENT LEVEL 4)
- USE: Ag/VACANT
- CURRENT: AR-1 SUBDIVISION
- PROPOSED: 45 MPH
- FRONTAGE ROAD SPEED LIMIT: 45 MPH
- TOTAL AREA: 2,830,167.4 SF 64.97± Acres
- STORMWATER AREA: 362,348.4 SF 8.3± Acres
- LOT AREA: 1,187,002.8 SF 27.25± Acres
- MINIMUM LOT SIZE: 8,000 SF 0.18± Acres
- ROAD R/W AREA: 425,592.4 SF 9.8± Acres
- ROAD/CURB AREA: 226,632.4 SF 5.2± Acres
- WALK: 98,466.4 SF 2.3± Acres
- AMMENITIES: 16,937.4 SF 0.4± Acres
- AMMENITIES PARKING: 11,203.4 SF 0.3± Acres
- IMPERVIOUS AREA: 810,353.4 SF 18.6± Acres (±28.1%)
- OPEN SPACE REQUIRED: 849,051.4 SF 19.5± Acres (30%)
- FOREST AREA: 1,242,406.4 SF 28.5± Acres (±43.1%)
- FOREST TO BE REMOVED: 821,146.4 SF 19.9± Acres
- FOREST TO BE ADDED (BUFFER): 491,489.4 SF 11.3± Acres (±59.9%)
3. TOTAL UNITS: 126 SINGLE FAMILY LOTS
4. STREETS: TO REMAIN PRIVATE
5. ACCESS: PRIVATE
6. MAINTENANCE: STREETS TO BE MAINTAINED BY OWNER AND/OR HOMEOWNERS ASSOCIATION
7. SETBACKS: FRONT: 25', SIDE: 10', REAR: 10'
8. FLOOD PLAN: REF: FIRM MAP 10005C0340K (3/16/2015)
9. WATER: ARTESIAN WASTEWATER MANAGEMENT INC.
10. SANITARY SEWER: ARTESIAN WASTEWATER MANAGEMENT INC.
11. STORMWATER MANAGEMENT: QUANTITY/QUALITY TREATMENT ON-SITE
12. Survey Control: Horiz. NAD 83
Vert. NAVD 88
13. TRANSPORTATION IMPROV. DIST. HENLOPEN TID (UNDER DEVELOPMENT) IS OUTSIDE THE LIMITS OF THIS PROJECT

Record/Site Plans GENERAL NOTES (*Last revised March 21, 2019)

- All entrances shall conform to the Delaware Department of Transportation's (DelDOT's) current Development Coordination Manual and shall be subject to its approval.
- No landscaping shall be allowed within R/W unless the plans are compliant with Section 3.7 of the Development Coordination Manual (DCM).
- Shrubbery, plantings, signs and/or other visual barriers that could obstruct the sight distance of a driver preparing to enter the roadway are prohibited within the defined departure sight triangle area established on this plan. If the established departure sight triangle area is outside the right-of-way or projects onto an adjacent property owner's land, a sight easement should be established and recorded with all affected property owners to maintain the required sight distance.
- Upon completion of the construction of the sidewalk or shared-use path across this project's frontage and physical connection to adjacent existing facilities, the developer, the property owners or both associated with this project, shall be responsible to remove any physical connection to adjacent existing facilities. The Developer, the property owners or both associated with this project, shall be responsible to remove any existing road tie-in connections located along adjacent properties and restore the area to grass. Such actions shall be completed at DelDOT's discretion, and in conformance with DelDOT's Development Coordination Manual.
- Private streets constructed within subdivision shall be maintained by the Developer, the property owners or both (Title 17, 131). DelDOT assumes no responsibilities for the future maintenance of these streets.
- The sidewalk and shared-use path shall be the responsibility of the Developer, the property owners or both within this subdivision. The State of Delaware assumes no responsibility for the future maintenance of the shared-use path.
- All lots shall have access from the internal subdivision street.
- To minimize rutting and erosion of the roadside due to on-street parking, driveway and building layouts must be configured to allow for vehicles to be stored in the driveway beyond the right-of-way, without interfering with sidewalk access and clearance.
- The Developer shall be required to furnish and place right-of-way markers to provide a permanent reference for re-establishing the right-of-way and property corners on local and higher order frontage roads. Right-of-way markers shall be set and/or placed along the frontage road right-of-way at property corners and at each change of right-of-way alignment in accordance with Section 3.2.4.2 of the Development Coordination Manual.

GENERAL PROJECT

- Developer: WETHERBY LLC
C/O MR. SCOTT DAILEY
PO BOX 605
LEWES, DE 19958
PHONE: 302-313-9949
FAX: 302-313-9959
- Civil/Site Engineer: COTTEN ENGINEERING LLC
10087 CONCORD RD
SEAFORD, DELAWARE 19973
Phone/Fax: (302) 628-9164
c/o: Michael S. Cotten, P.E.
- Surveyor: COTTEN ENGINEERING LLC
10087 CONCORD RD
SEAFORD, DELAWARE 19973
Phone/Fax: (302) 628-9164
c/o: Michael S. Cotten, P.E.

The project is located on the Southeasterly Side of Rd. SCR 302 A.K.A. Harmos Hill Road, Indian River Hundred, Sussex County, Delaware.

Based upon Flood Insurance Rate Map (FIRM) Number 10005C0340K dated March 16, 2015, the site is located in an area designated as Zone "X" (Unshaded) which is in an area determined to be outside the 500-year flood plain.

Prior to any construction activities, permits and/or approvals are required from:

- Sussex Conservation District.....(302) 856-7219
- Fire Marshal.....(302) 856-5298
- Sussex County Utility Construction Division.....(302) 855-7717
- Delaware Health & Social Services-Division of Health.....(302) 739-7431
- Sussex County Assessment Office.....(302) 855-7824
- Sussex County Planning and Zoning.....(302) 855-7878
- DelDOT.....(302) 856-1340
- Artesian Resources.....(302) 453-6900
- DNREC Sewer Division.....(302) 739-5931

The topography shown on these documents is at one foot contour intervals. Topographic data was provided by wings aerial mapping co., inc. dated Oct. 7, 2004 and in the field by Cotten Engineering, LLC during 2016. Topographic information is subject to change due to ongoing construction activities.

Class "C" Survey

This survey does not certify to the location and/or existence of easements and Right-of-Ways crossing subject property as no Title Search was provided.

This property is located within the vicinity of land used primarily for agricultural purposes on which normal agricultural uses and activities have been afforded the highest priority use status. It can be anticipated that such agricultural uses and activities may involve noise, dust, manure and other odors. The use of agricultural chemicals and nighttime farm operations. The use and enjoyment of this property is expressly conditioned on acceptance of any annoyance or inconvenience which may result from such normal agricultural uses and activities.

Access to all lots must be from internal subdivision streets only.

All interior lot lines are reserved for a twenty (20) foot drainage and/or utility easement. All exterior/perimeter lot lines and property boundary lines are reserved for a ten (10) foot drainage and/or utility easement.

All entrances shall conform to the State of Delaware Department of Transportation (DelDOT) standards and regulations for subdivision streets and State Highway Access and will be subject to its approval.

Shrubbery, plantings, signs and/or other visual barriers that could obstruct the sight distance of a driver preparing to enter the roadway are prohibited within the defined departure sight triangle established on this plan. If the established departure sight triangle area is outside the Right-of-Way or projects onto an adjacent property owner's land, a Sight Easement shall be established and recorded with all affected property owners in order to maintain the required sight distance.

This plan is an addendum to the previous Final Site Plan recorded in Sussex County in PB 143 page P3.

All Utility Companies servicing this subdivision have permission to maintain and/or repair their respective utility in a Common Right Of Way and Open Space HDA area, 10 feet on each side of the utility, without the need for a utility easement.

DEVELOPER'S CERTIFICATION

I HEREBY CERTIFY THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THIS PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SCOTT DAILEY DATE 5/24/2021
PO BOX 605
LEWES, DE 19958
PHONE: 302-313-9949

OWNER'S CERTIFICATION

I HEREBY CERTIFY THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THIS PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

WETHERBY, LLC DATE 5/24/2021
MR. GLEN URQUHART
PO BOX 605
LEWES, DE 19958
PHONE: 302-313-9949
FAX: 302-313-9959

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT I AM A REGISTERED SURVEYOR IN THE STATE OF DELAWARE, AND THE INFORMATION HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF AND REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

5/24/2021 DATE

MICHAEL S. COTTEN, P.E. DATE 5/24/2021
COTTEN ENGINEERING LLC
10087 CONCORD ROAD
SEAFORD, DELAWARE 19973
PHONE/FAX: (302) 628-9164

I, Edward M. Lamb, P.E. STATE THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED FROM THEIR ANNUAL BENTHIC SURVEILLANCE REPORTS AND THE BENTHIC SURVEILLANCE REPORTS WERE DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE FEDERAL REGULATIONS AND THE NATIONAL FIELD OFFICE MANUAL AND THE SUPPLEMENTAL GUIDANCE FOR THE ATLANTIC AND GULF COAST REGIONAL SUPPLEMENT VERSION 7.0 AND THE 303 NAVIGABLE WATERS PROTECTION REGULATION. THIS REGULATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES.

IN ACCORDANCE WITH FEDERAL WETLAND MAPS, THERE ARE NO STATE REGULATED WETLANDS ON THIS SITE.

5/24/2021 DATE

EDWARD M. LAMB, P.E. DATE 5/24/2021
EDWARD M. LAMB, P.E.
SOCIETY OF PROFESSIONAL ENGINEERS
CORPS OF ENGINEERS CERTIFIED BY AND
IDENTIFICATION NUMBER 0000000000

REVISIONS

#	DATE	DESCRIPTION
1.	10/30/20	RESPOND TO ARTESIAN COMMENTS 10-30-20
2.	3/23/21	RESPOND TO DNREC COMMENTS 13-12-21
3.	2/1/21	RESPOND TO DNREC COMMENTS 2-1-21
4.	4/19/21	RESPOND TO DNREC COMMENTS 4-19-21
5.		
6.		

REVISED SUBDIVISION PLAN INDEX

COTTEN ENGINEERING, SURVEYING, ENVIRONMENTAL PLANNING CONSULTANTS

10087 CONCORD RD
SEAFORD, DE 19973
PH: (302) 628-9164
FAX: (302) 628-9164



WETHERBY

HARMOS HILL ROAD SCR 302
(PRIVATE RIVER HUNDRED)
INDIAN RIVER HUNDRED
TH# 234-16.00-27.00
SUSSEX COUNTY
MILLSBORO, DELAWARE

SCALE: AS SHOWN

DESIGNED: CE

PLANNED: CE

DRAWN: KAK

APPROVED: MC

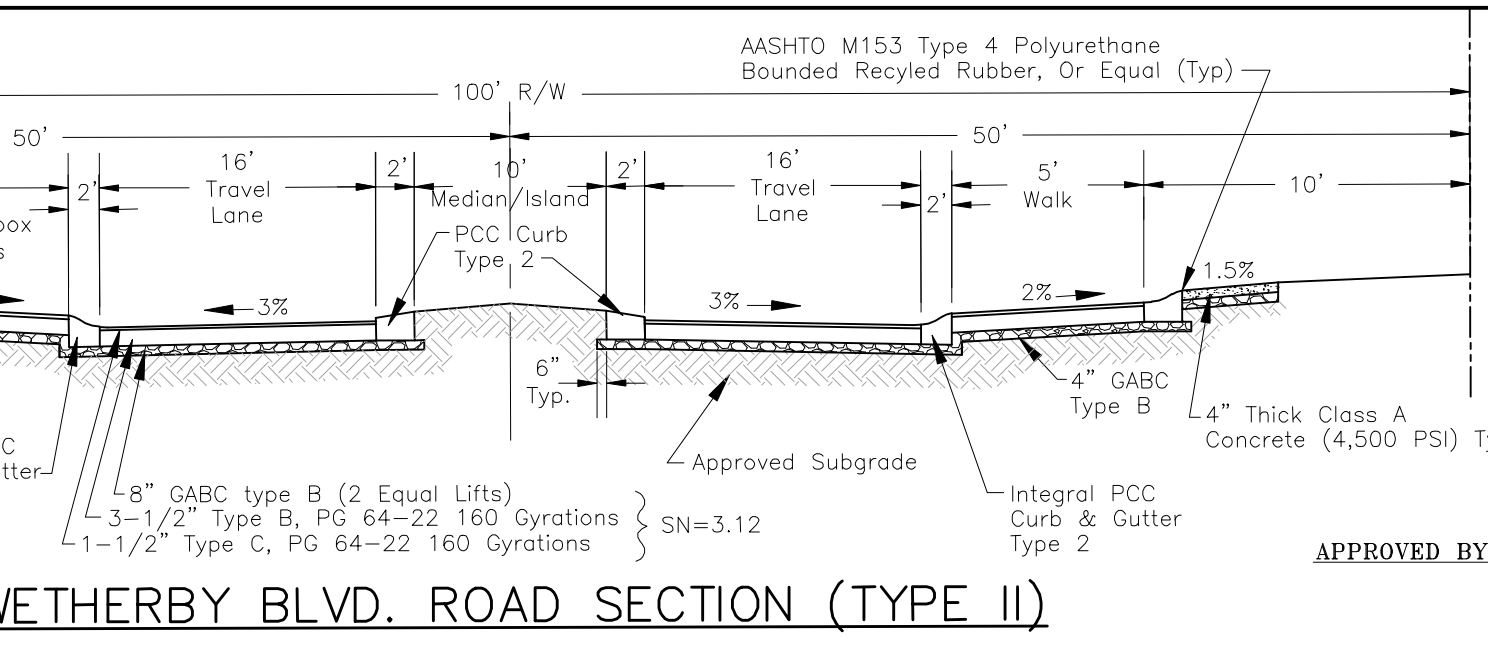
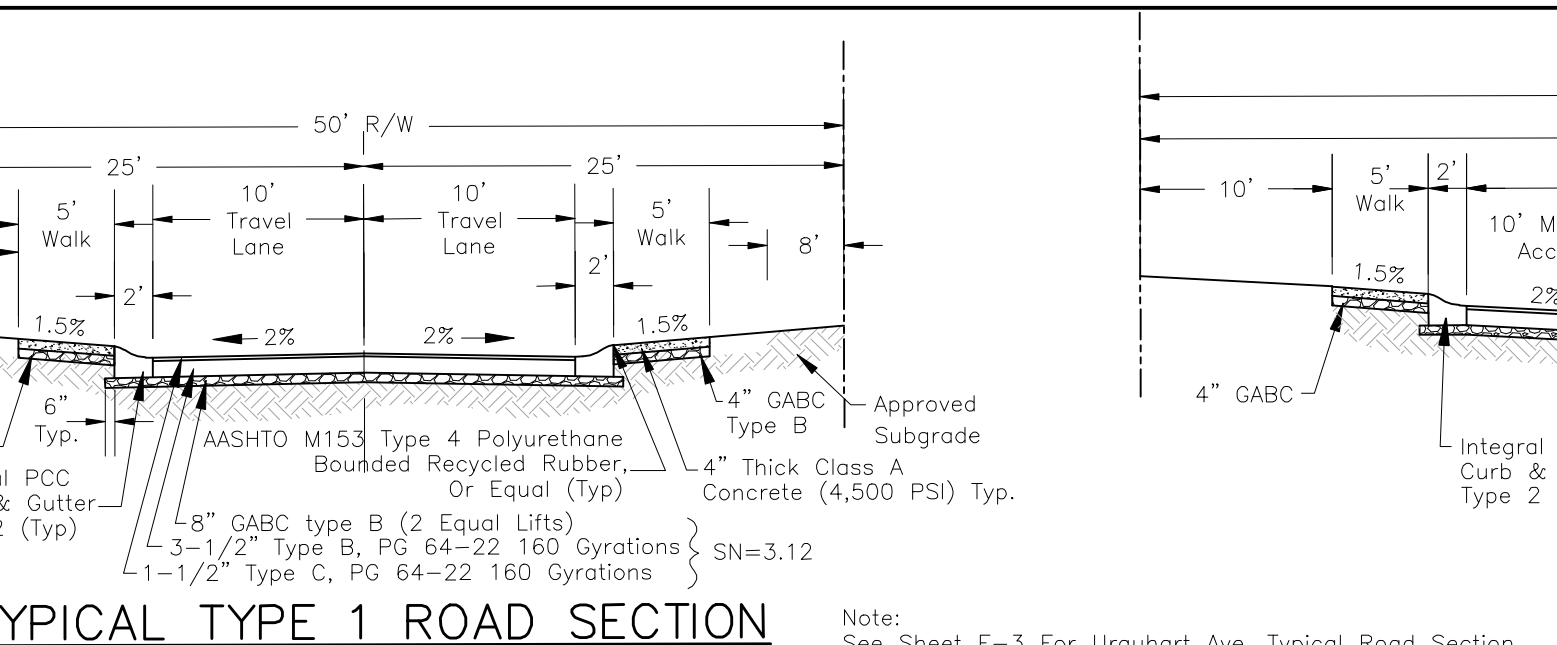
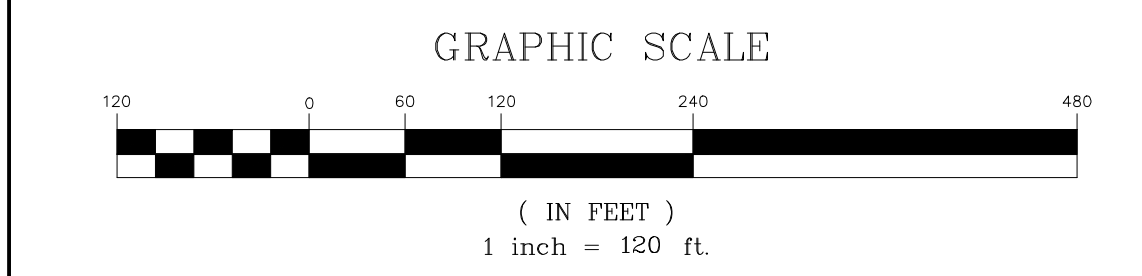
JOB: 16-005 5/24/2021

SHEET NO. F-1

- PHASING NOTES:**
- Phase 1 improvements shall consist of, but may not be limited to, construction of a hammerhead entrance along SCR 302 as seen on Sheet E-20. This entrance can only be used until the 27th Building Permit is issued. Phase 1 improvements shall be constructed and accepted by DelDOT prior to issuance of the first building permit.
 - Phase 2 improvements shall consist of, but may not be limited to, construction of the shared multi-use path, left turn lane, right turn lane, roadside drainage and the associated signage striping as shown on Sheet E-19. Phase 2 improvements shall be constructed and accepted by DelDOT prior to issuance of the 28th building permit.
 - Any hot mix placed during Phase 1 shall be reviewed prior to Phase 2 Construction for condition and remaining service life to determine if replacement of the top course is required.
 - If any Phase of this development is sold it will be the responsibility of the new owner/developer to make and/or complete the necessary entrance improvements associated with this development.

DelDOT Area Wide Study Fee and Offsite Improvements Letter Requirements:

- This memorandum letter, Dated: June 18, 2019, to Susanne Laws, Sussex Review Coordinator, from Troy Brestel, Project Engineer, is to address the amount of the Area Wide Study Fee in lieu of doing a TIS.
- The subject development, consisting of 126 residential lots, would generate 1,286 ADT per the 10th Edition of the Transportation Engineer's Trip Generation Manual. The fee is calculated at \$10 per trip, thus the required Area Wide Study Fee would be \$12,860 and must be paid prior to the Entrance Plan approval.
- The Developer shall enter into a signed agreement with DelDOT for the intersection of Harmos Hill Road and Indian Mission Road (Delaware Rte 5/23). The details of this agreement should be discussed with DelDOT's Development Coordination Section.
- The developer shall enter into an agreement with DelDOT to fund an equitable portion of the installation of a roundabout at the intersection of Harmos Hill Road and Zoor Road. Per DelDOT's calculations the Developer's Equitable Portion is \$37,100. The details of this agreement should be discussed with DelDOT's Development Coordination Section.



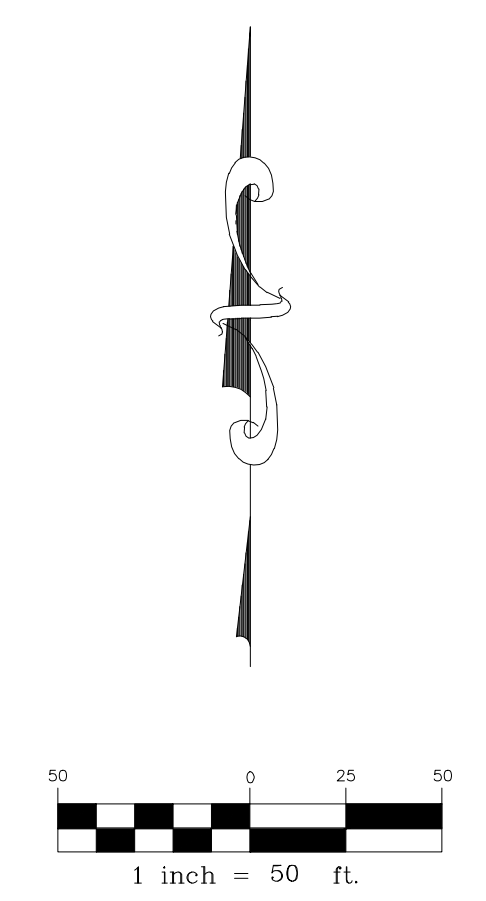
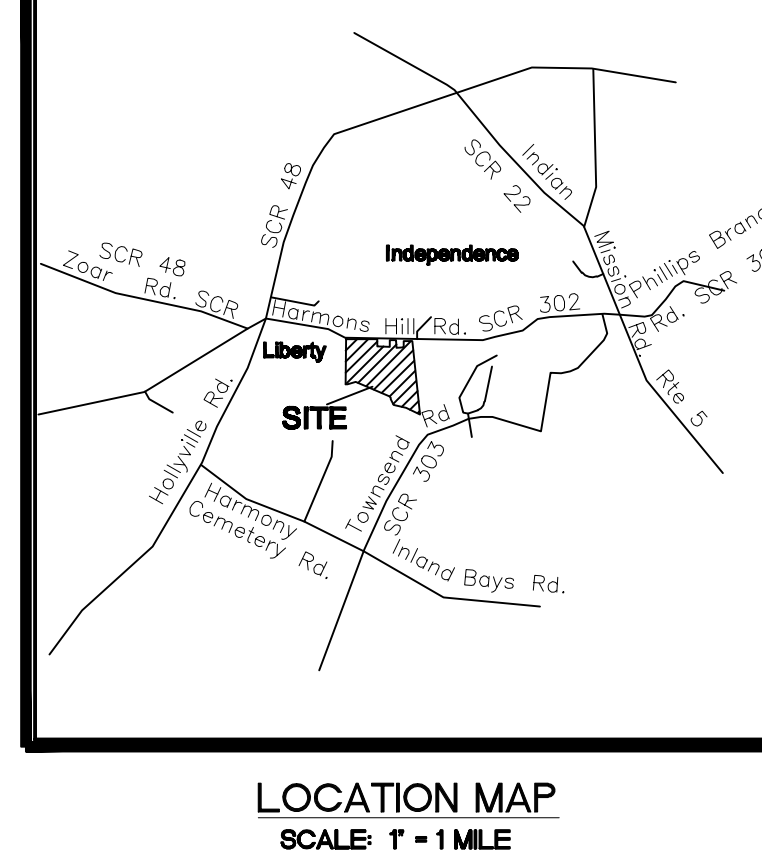
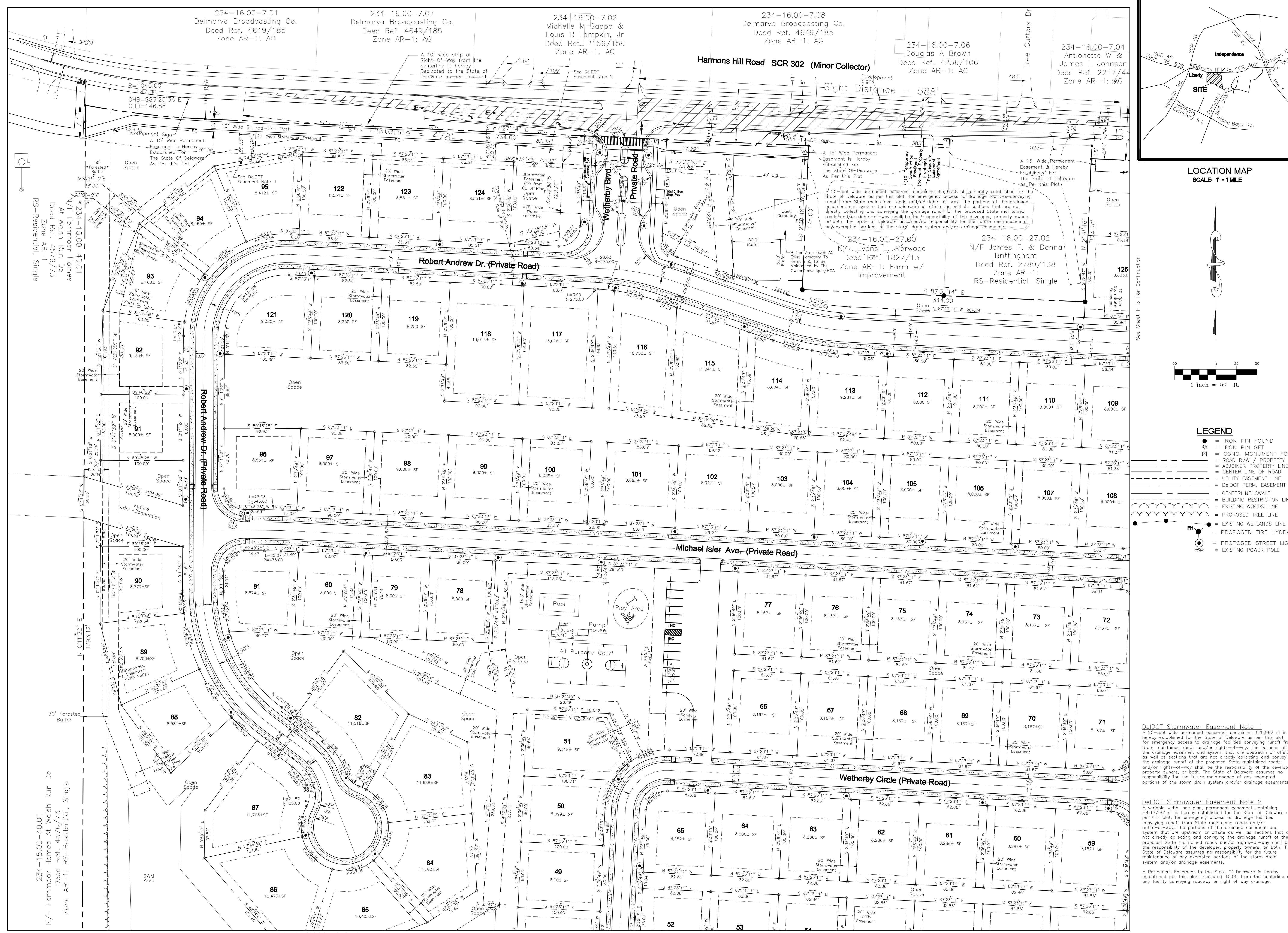
IMPERVIOUS AREA CALCULATION

Roads/Walks	226,632.4 SF
Lots (126x2,500SF/Ea)	315,000.4 SF
Ammenities	16,937.4 SF
Ammenities Parking	11,203.4 SF
Ponds (From 1' Above Bench Down)	240,581.4 SF
Total	810,353.4 SF

NOTE: NO RESIDENTIAL BUILDING PERMITS SHALL BE ISSUED UNTIL OFF-SITE SEWER TRANSMISSION AND TREATMENT INFRASTRUCTURE SUITABLE FOR SERVICE OF THE ENTIRE APPROVED PHASE OF THE SUBDIVISION WHERE THE RESIDENTIAL BUILDING PERMIT IS SOUGHT IS AVAILABLE.

APPROVED BY SUSSEX COUNTY PLANNING AND ZONING

CHAIRMAN, PLANNING AND ZONING COMMISSION DATE



- LEGEND**
- IRON PIN FOUND
 - ⊗ IRON PIN SET
 - ⊠ CONC. MONUMENT FOUND
 - ROAD R/W / PROPERTY LINE
 - - - ADJOINER PROPERTY LINE
 - - - CENTER LINE OF ROAD
 - - - UTILITY EASEMENT LINE
 - - - DeDOT PERM. EASEMENT LINE
 - - - CENTERLINE SWALE
 - - - BUILDING RESTRICTION LINE
 - - - EXISTING WOODS LINE
 - - - PROPOSED TREE LINE
 - EXISTING WETLANDS LINE
 - PROPOSED FIRE HYDRANT
 - PROPOSED STREET LIGHT
 - EXISTING POWER POLE

DeDOT Stormwater Easement Note 1
 A 20-foot wide permanent easement containing ±20,992 sf is hereby established for the State of Delaware as per this plot, for emergency access to drainage facilities conveying runoff from State maintained roads and/or rights-of-way. The portions of the drainage easement and system that are upstream or offsite as well as sections that are not directly collecting and conveying the drainage runoff of the proposed State maintained roads and/or rights-of-way shall be the responsibility of the developer, property owners, or both. The State of Delaware assumes no responsibility for the future maintenance of any exempted portions of the storm drain system and/or drainage easements.

DeDOT Stormwater Easement Note 2
 A variable width, see plan, permanent easement containing ±4,177.82 sf is hereby established for the State of Delaware as per this plot, for emergency access to drainage facilities conveying runoff from State maintained roads and/or rights-of-way. The portions of the drainage easement and system that are upstream or offsite as well as sections that are not directly collecting and conveying the drainage runoff of the proposed State maintained roads and/or rights-of-way shall be the responsibility of the developer, property owners, or both. The State of Delaware assumes no responsibility for the future maintenance of any exempted portions of the storm drain system and/or drainage easements.

A Permanent Easement to the State of Delaware is hereby established by this plan measured 10.0ft from the centerline of any facility conveying roadway or right of way drainage.

#	RESPOND TO	DATE
1.	RESPOND TO SCE COMMENTS 10-29-20	10/30/20
2.	RESPOND TO DNREC COMMENTS 13-13-21	3/31/21
3.	RESPOND TO DNREC COMMENTS 13-12-21	3/31/21
4.	RESPOND TO DNREC COMMENTS 2-1-21	2/1/21
5.	RESPOND TO DNREC COMMENTS 4-19-21	4/19/21

REVISED SUBDIVISION PLAN
COTTEN ENGINEERING LLC
 CIVIL ENGINEERING, SURVEYING, ENVIRONMENTAL PLANNING
 CONSULTANTS
 10477 CONCORD RD
 SEAFORD DE 19755
 PH: (302) 658-9164
 FAX: (302) 658-9164



WETHERBY
 HARMONS HILL ROAD SCR 302
 (PRIVATE SUBDIVISION ROADS)
 INDIAN RIVER HUNDRED
 TWP 234-16-00-27.00
 SUSSEX COUNTY
 MILLSBORO, DELAWARE

SCALE: AS SHOWN
 DESIGNED: CE
 DRAWN: CE
 CHECKED: KMK
 APPROVED: MC
 JOB: 16-005 5/24/2021
 SHEET NO. F-2

234-15.00-40.01
 N/F Fernmoor Homes At Welsh Run De
 Deed Ref. 4576/73
 Zone AR-1: RS-Residential, Single

234-16.00-7.01
 Delmarva Broadcasting Co.
 Deed Ref. 4649/185
 Zone AR-1: AG

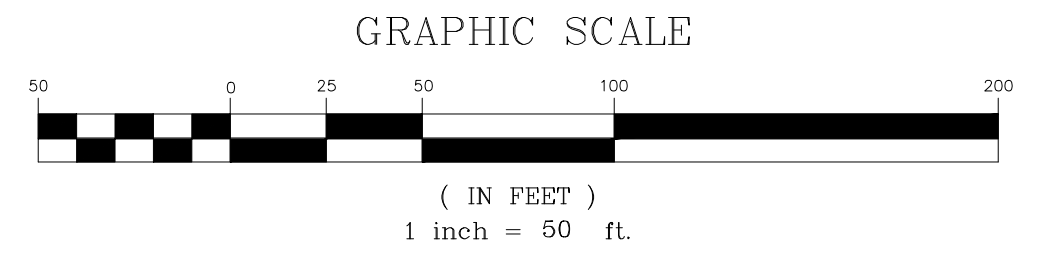
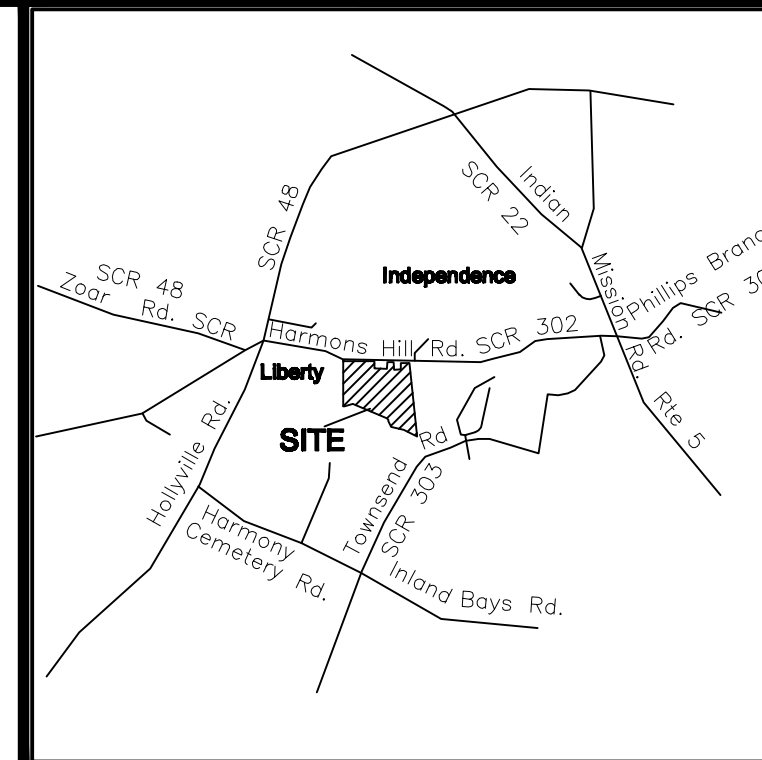
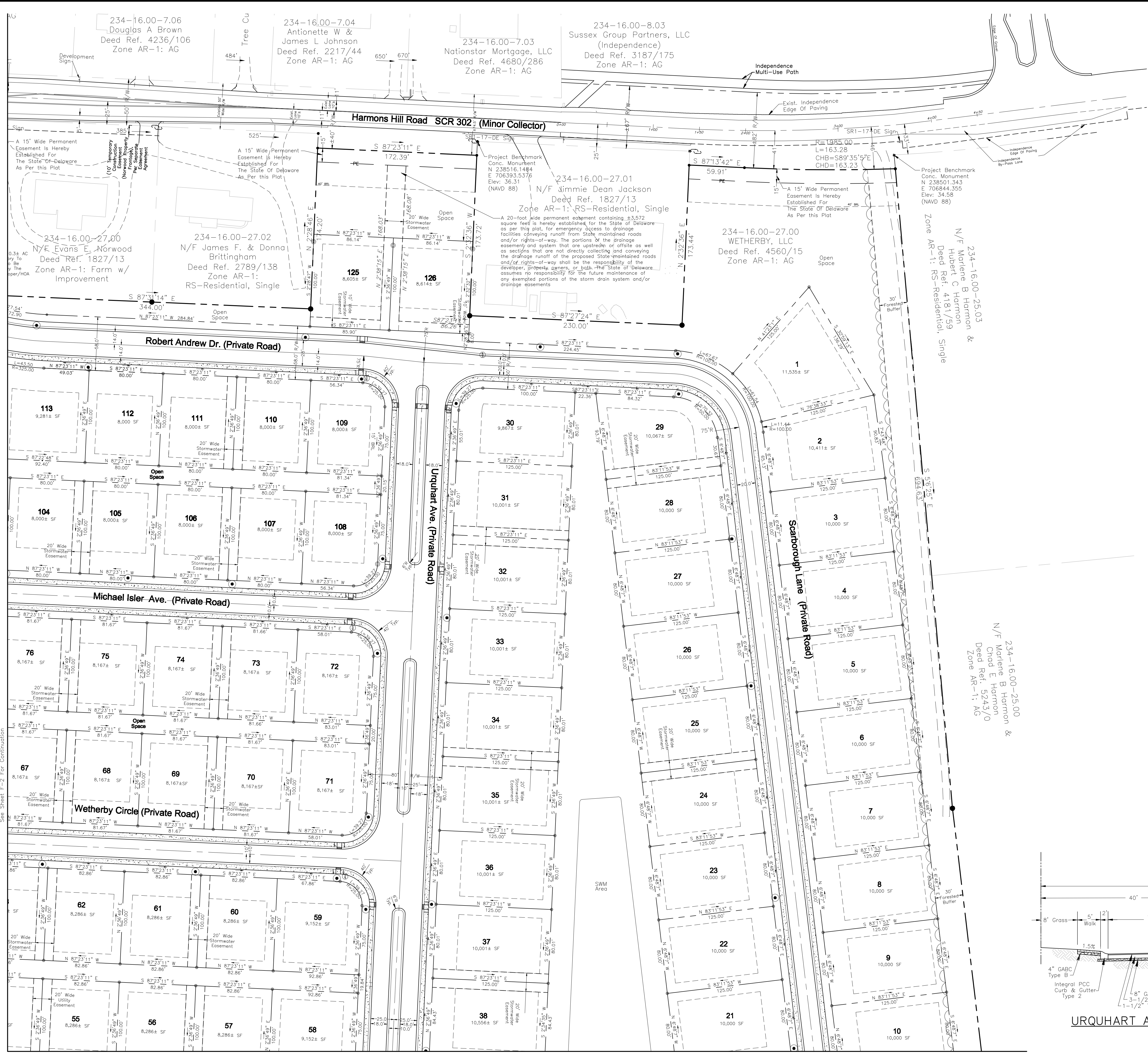
234-16.00-7.02
 Michelle M Gappa &
 Louis R Lampkin, Jr
 Deed Ref. 2156/156
 Zone AR-1: AG

234-16.00-7.08
 Delmarva Broadcasting Co.
 Deed Ref. 4649/185
 Zone AR-1: AG

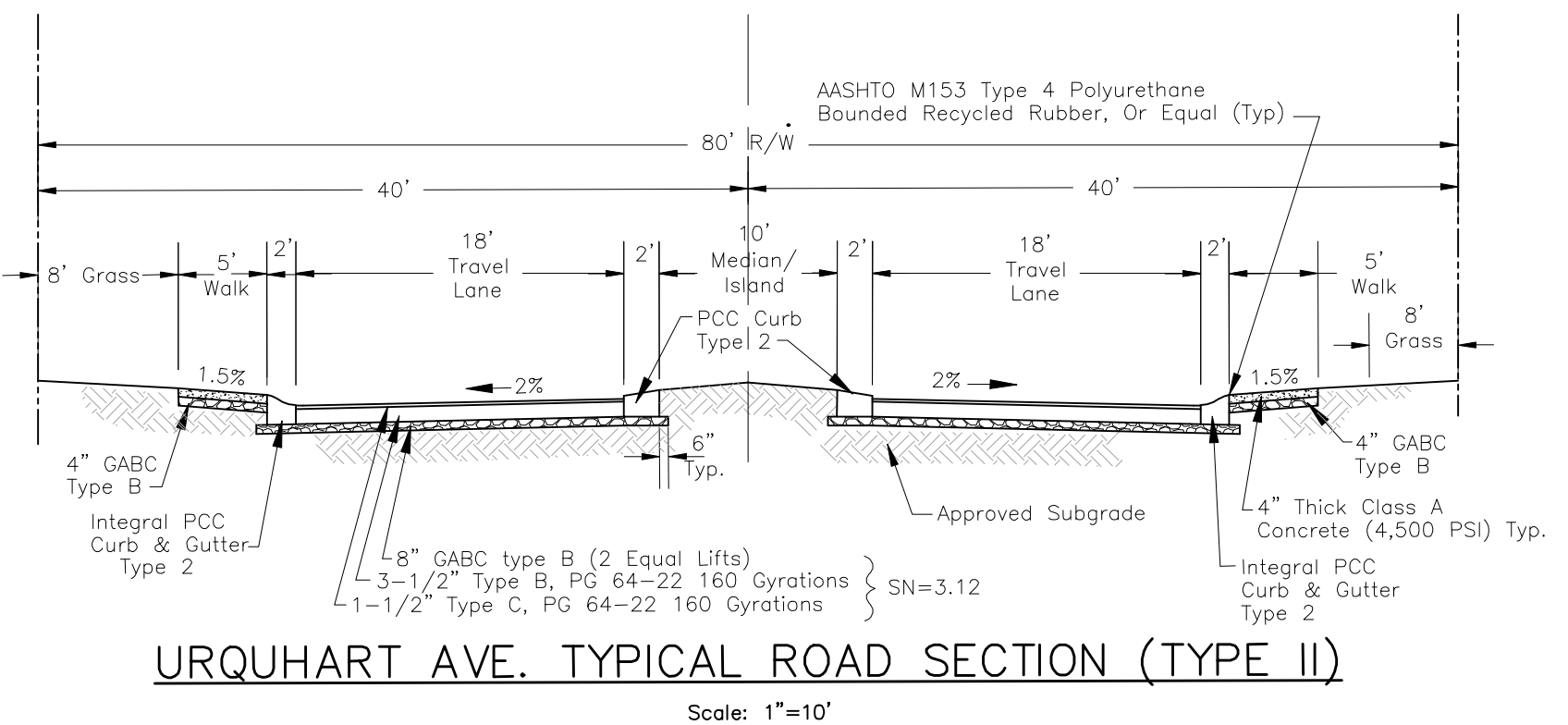
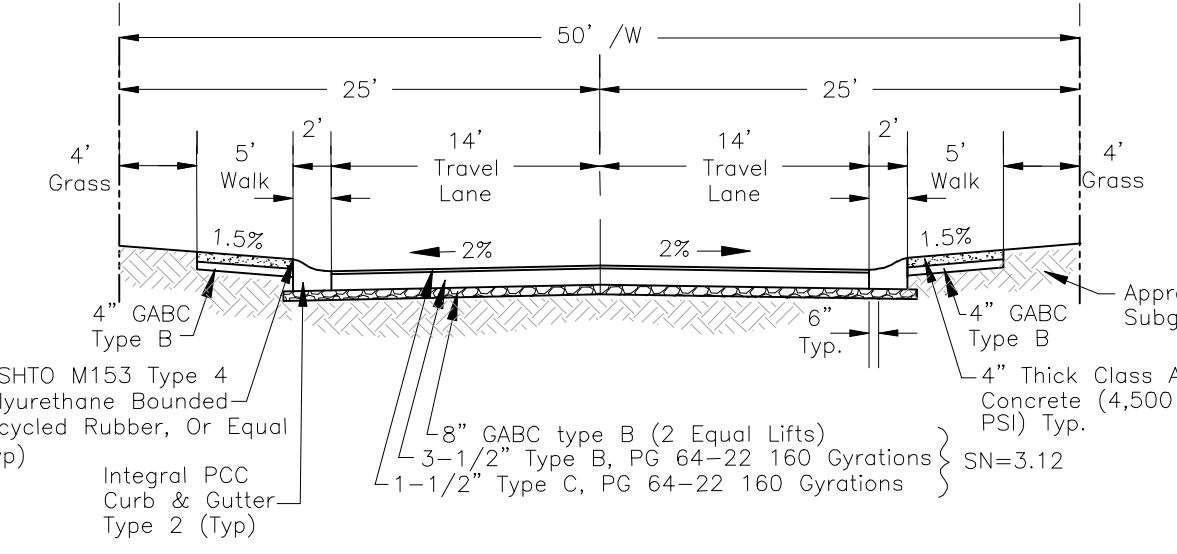
234-16.00-7.06
 Douglas A Brown
 Deed Ref. 4236/106
 Zone AR-1: AG

234-16.00-27.00
 N/E Evans E. Norwood
 Deed Ref. 1827/13
 Zone AR-1: Farm w/
 Improvement

234-16.00-27.02
 N/F James F. & Donna
 Brittingham
 Deed Ref. 2789/138
 Zone AR-1:
 RS-Residential, Single



- LEGEND**
- = IRON PIN FOUND
 - ⊙ = IRON PIN SET
 - ⊕ = CONC. MONUMENT FOUND
 - = ROAD R/W / PROPERTY LINE
 - - - = ADJOINER PROPERTY LINE
 - = CENTER LINE OF ROAD
 - - - = UTILITY EASEMENT LINE
 - - - = DEED/PERM. EASEMENT LINE
 - - - = CENTERLINE SWALE
 - - - = BUILDING RESTRICTION LINE
 - - - = EXISTING WOODS LINE
 - - - = PROPOSED TREE LINE
 - = EXISTING WETLANDS LINE
 - ⊙ = PROPOSED FIRE HYDRANT
 - ⊙ = PROPOSED STREET LIGHT
 - ⊙ = EXISTING POWER POLE

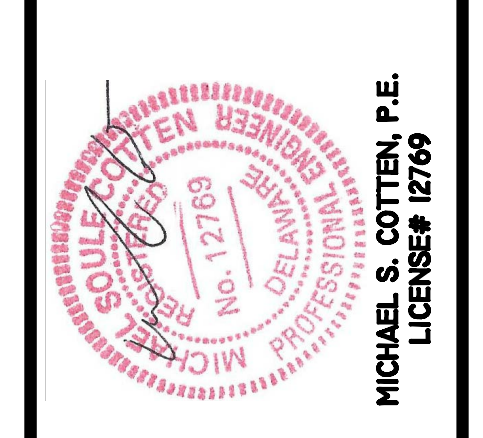


Date	Added Road Sections
9/24/21	1.
3/31/21	2.
	3.
	4.
	5.

REVISED SUBDIVISION PLAN

COTTEN ENGINEERING LLC
CIVIL ENGINEERING, SURVEYING, ENVIRONMENTAL PLANNING
CONSULTANTS

10007 CONCORD RD
SEAFORD DE, 19753
PH: (302) 658-9964
FAX: (302) 658-9964



WETHERBY

HARMONS HILL ROAD SCR 302
(PRIVATE SUBDIVISION ROADS)
INDIAN RIVER HUNDRED
T/M# 234-16.00-27.00
SUSSEX COUNTY
MILLSBORO, DELAWARE

SCALE: AS SHOWN

DESIGNED: CE

DRAWN: KAK

APPROVED: MC

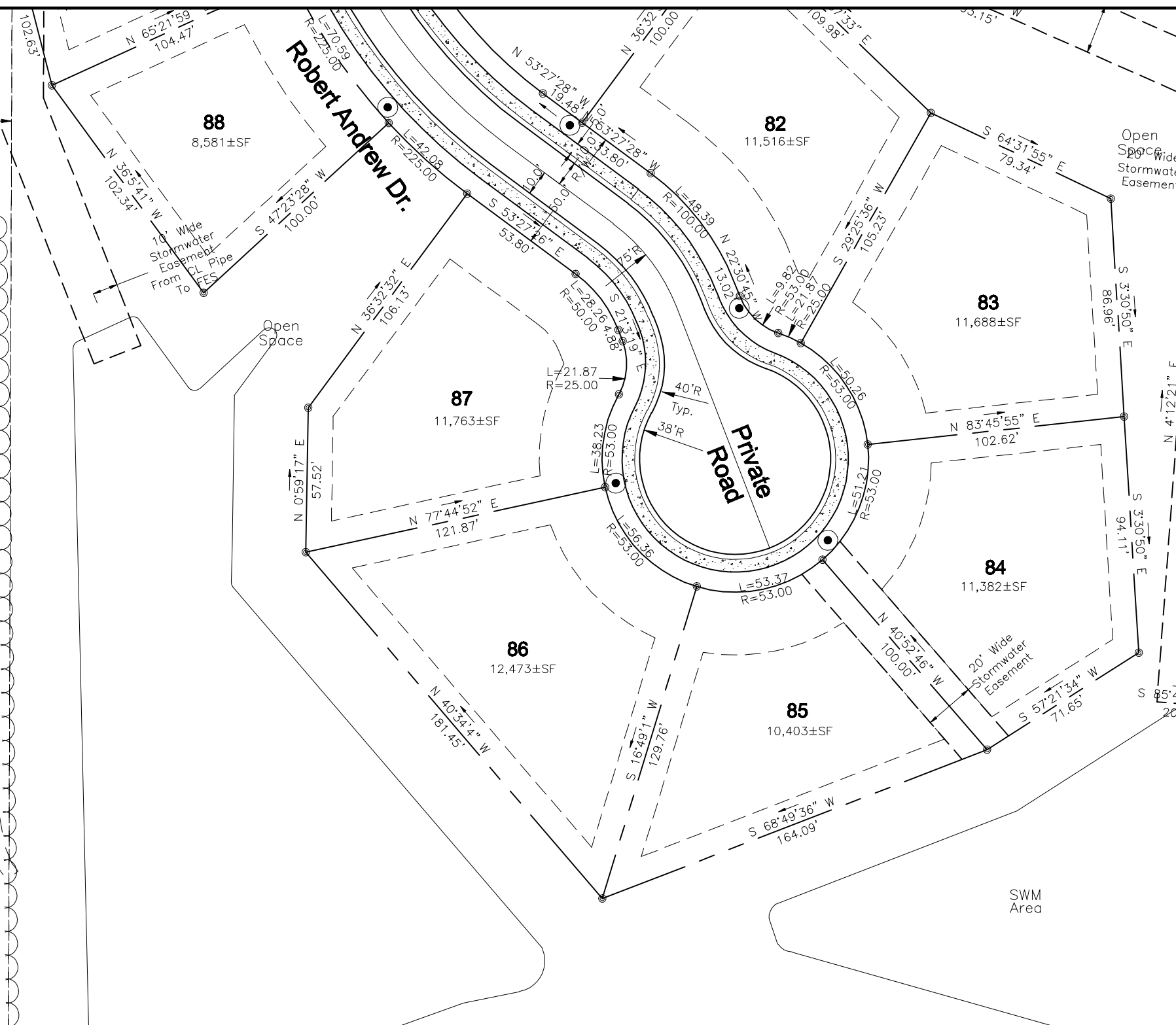
JOB: 16-005 **5/24/2021**

SHEET NO. F-3

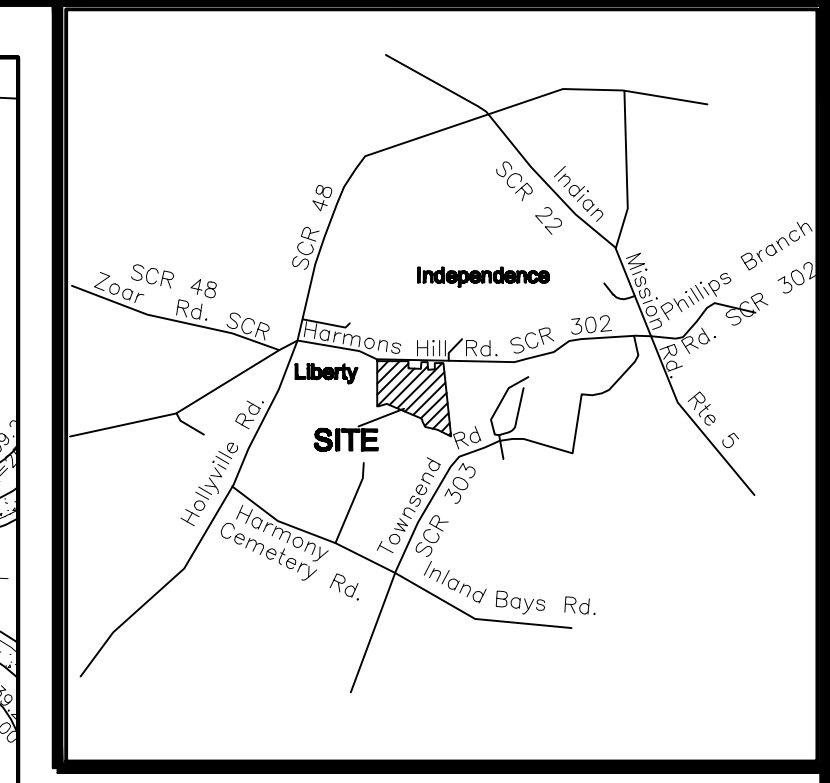
See Sheet F-2 For Continuation

234-15.00-40.01
N/F Fernmoor Homes At Welsh Run De
Deed Ref. 4576/73
Zone AR-1: RS-Residential, Single

30' Forested
Buffer



See Sheet F-5 For Continuation



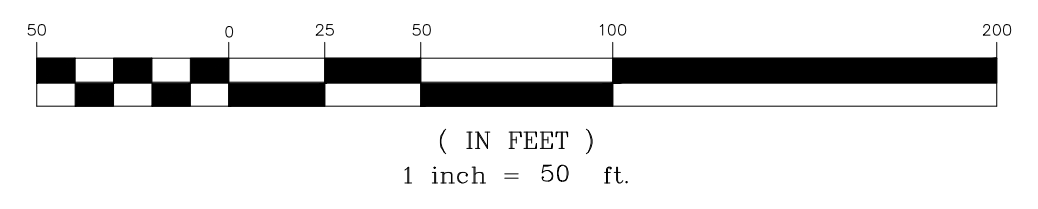
LOCATION MAP
SCALE: 1" = 1 MILE

234-16.00-26.03
N/F MMW, Investments, LLC
Deed Ref. 4297/94
Zone AR-1: AG

234-16.00-27.00
N/F EVANS E. NORWOOD
DEED REFERENCE: 1790/05
EXISTING ACRES: 64.98± ACRES
PROPOSED ACRES: 64.98± ACRES
ZONE: AR-1: A1-FARM, W/IMPROVEMENT

234-16.00-37.00
N/F EVANS E. NORWOOD
DEED REFERENCE: 1790/05
EXISTING ACRES: 64.98± ACRES
PROPOSED ACRES: 64.98± ACRES
ZONE: AR-1: A1-FARM, W/IMPROVEMENT

GRAPHIC SCALE



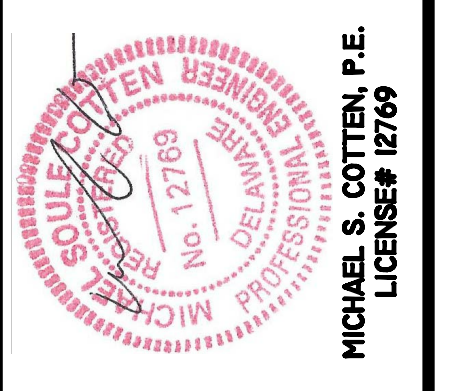
LEGEND

- = IRON PIN FOUND
- = IRON PIN SET
- ⊠ = CONC. MONUMENT FOUND
- = ROAD R/W / PROPERTY LINE
- = ADJOINER PROPERTY LINE
- = CENTER LINE OF ROAD
- = UTILITY EASEMENT LINE
- = DeIDOT PERM. EASEMENT LINE
- = CENTERLINE SWALE
- = BUILDING RESTRICTION LINE
- = EXISTING WOODS LINE
- = PROPOSED TREE LINE
- = EXISTING WETLANDS LINE
- = PROPOSED STREET LIGHT
- = EXISTING POWER POLE

REVISED SUBDIVISION PLAN

COTTEN ENGINEERING LLC
CIVIL ENGINEERING, SURVEYING, ENVIRONMENTAL PLANNING
CONSULTANTS

1007 CONCORD RD
SEAFORD DE. 19755
PH: (302) 655-9164
FAX: (302) 655-9164

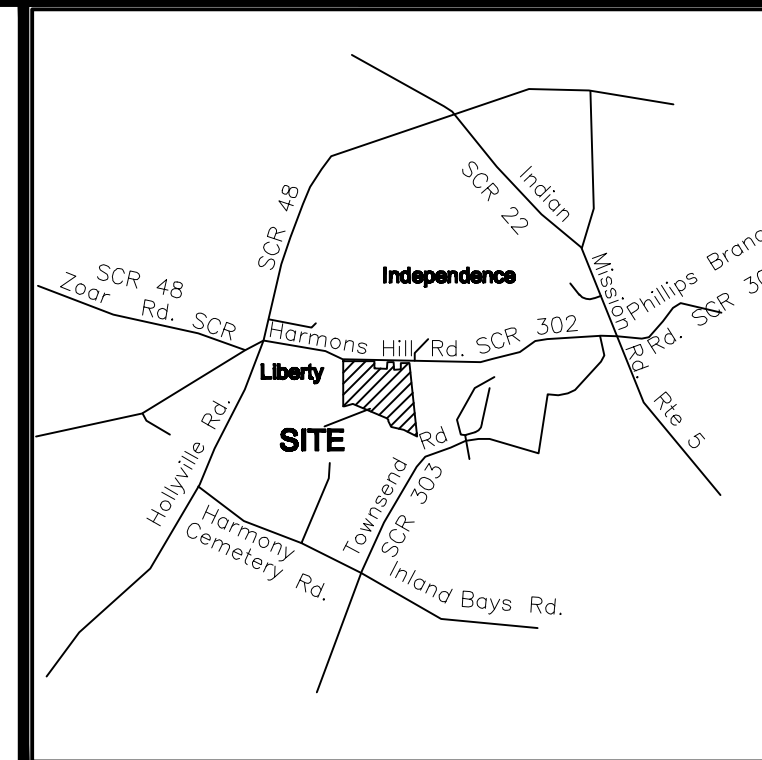
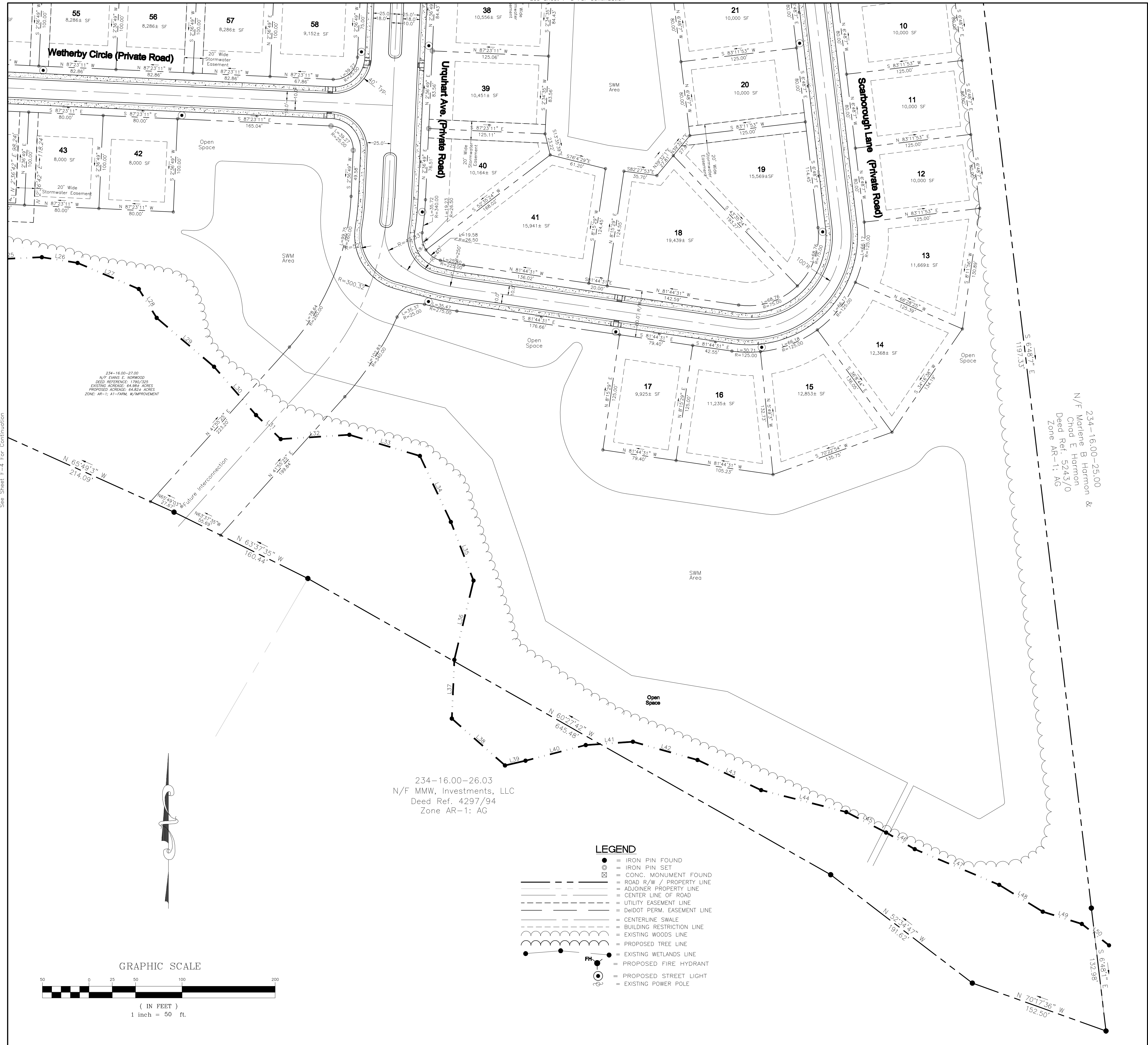


WETHERBY

HARMONS HILL ROAD SCR 302
(PRIVATE SUBDIVISION ROADS)
INDIAN RIVER HUNDRED
T/M# 234-16.00-27.00
SUSSEX COUNTY
MILLSBORO, DELAWARE

SCALE: As Shown
DESIGNED: CE
PLANNED: CE
DRAWN: KAK
APPROVED: MC
JOB: 16-005 5/24/2021

SHEET NO. F-4



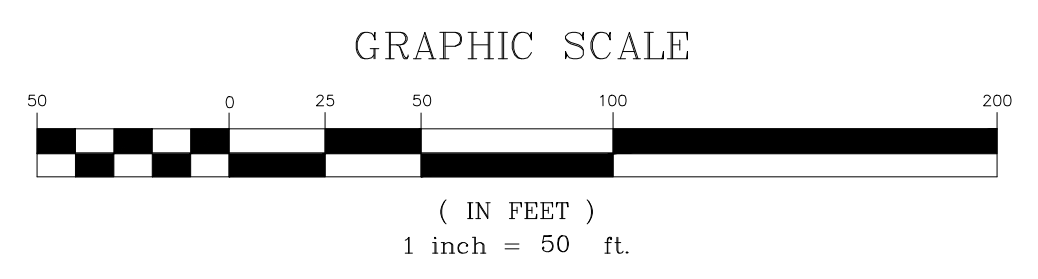
LOCATION MAP
SCALE: 1" = 1 MILE

LINE	WETLANDS LINE TABLE	LENGTH	BEARING
L1		23.85	N 73°10'32" E
L2		37.47	S 16°10'12" W
L3		33.77	N 77°33'2" E
L4		92.08	N 69°47'37" E
L5		21.16	N 63°3'56" E
L6		27.95	N 26°18'43" E
L7		20.53	N 62°7'15" E
L8		20.53	N 62°7'15" E
L9		57.99	N 62°23'51" E
L10		113.38	N 80°25'27" E
L11		77.10	S 28°23'31" E
L12		47.10	S 76°45'41" E
L13		28.63	S 28°23'31" E
L14		57.53	S 36°39'26" E
L15		41.06	S 47°43'43" E
L16		11.69	N 79°11'18" E
L17		12.18	S 38°44'40" E
L18		12.98	S 146°14' W
L19		76.48	S 72°53'10" E
L20		34.32	S 61°54'38" E
L21		50.88	N 65°12'47" E
L22		62.99	N 22°16'27" E
L23		78.03	S 86°45'52" E
L24		55.10	S 64°2'6" E
L25		70.08	N 67°27'30" E
L26		38.93	S 80°52'12" E
L27		71.46	S 66°55'50" E
L28		36.48	S 31°43'35" E
L29		80.94	S 49°35'2" E
L30		68.80	S 41°0'49" E
L31		37.01	S 45°44'18" E
L32		73.87	N 86°23'49" E
L33		79.06	S 73°18'55" E
L34		78.28	S 25°8'30" E
L35		67.59	S 21°7'26" E
L36		87.53	S 13°36'19" W
L37		63.26	S 22°7'34" W
L38		76.10	S 48°38'9" E
L39		22.64	N 77°53'4" E
L40		66.83	N 75°25'8" E
L41		50.83	N 85°58'55" E
L42		72.10	S 74°44'7" E
L43		75.63	S 64°38'0" E
L44		94.46	S 75°33'4" E
L45		48.13	S 62°47'31" E
L46		35.50	S 59°53'2" E
L47		98.46	S 67°3'49" E
L48		55.01	S 58°23'55" E
L49		43.94	S 72°33'48" E
L50		37.18	S 51°49'56" E

234-16.00-25.00
N/F Marlene B Harmon &
Chad E Harmon
Deed Ref. 5243/0
Zone AR-1: AG

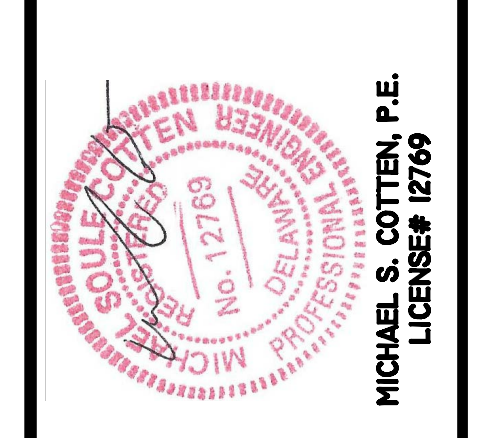
234-16.00-26.03
N/F MMW, Investments, LLC
Deed Ref. 4297/94
Zone AR-1: AG

- LEGEND**
- IRON PIN FOUND
 - IRON PIN SET
 - ⊠ CONC. MONUMENT FOUND
 - ROAD R/W / PROPERTY LINE
 - ADJOINER PROPERTY LINE
 - CENTER LINE OF ROAD
 - UTILITY EASEMENT LINE
 - Dotted PERM. EASEMENT LINE
 - CENTERLINE SWALE
 - BUILDING RESTRICTION LINE
 - EXISTING WOODS LINE
 - PROPOSED TREE LINE
 - EXISTING WETLANDS LINE
 - PROPOSED FIRE HYDRANT
 - PROPOSED STREET LIGHT
 - EXISTING POWER POLE



#	RESPOND TO SCE COMMENTS	DATE
1.	RESPOND TO SCE COMMENTS 10-29-20	10/30/20
2.	RESPOND TO DNREC COMMENTS 13-12-21	3/31/21
3.		
4.		
5.		
6.		

REVISED SUBDIVISION PLAN
COTTEN ENGINEERING LLC
CIVIL ENGINEERING, SURVEYING, ENVIRONMENTAL PLANNING
CONSULTANTS
1047 CONCORD RD
SAFORD DE, 19753
PH: (302) 655-9164
FAX: (302) 655-9164



WETHERBY
HARMONS HILL ROAD SCR 302
(PRIVATE SUBDIVISION ROADS)
INDIAN RIVER HUNDRED
T/M# 234-16.00-27.00
SUSSEX COUNTY
MILLSBORO, DELAWARE

SCALE: AS SHOWN
DESIGNED: CE
PLANNED: CE
DRAWN: KAK
APPROVED: MC
JOB: 16-005 5/24/2021

SHEET NO. F-5

MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS,
AND LANDSCAPE ARCHITECTS



October 25, 2021

Sussex County
Department of Planning & Zoning
2 The Circle
Georgetown, DE 19947

Attention: Mr. Jamie Whitehouse, Director

RE: Patriots Glen
(Parcels 234-29.00-66.00, -66.01, -66.02)
Reduced Right-of-Way Request

Dear Mr. Whitehouse:

On behalf of our client, Schiff Land Development Co., LLC, we hereby request the use of a reduced right-of-way throughout portions of the Patriots Glen (Phase 1) residential subdivision as shown on the enclosed Exhibit 1. Pursuant to our discussions with you and Mr. Hans Medlarz, Sussex County Engineer, the current right-of-way width is 50 feet and the proposed right-of-way is 28 feet with expanded drainage, utility, and access easements provided on both sides of the road. The total width of right of way plus the drainage, utility, and access easement will be 70 Feet.

The reason for this request is to allow for the open space area behind lots 13-64 and 110-152 to be widened. Doing so will allow for a much better storm water management feature and landscaping. The functionality of the road in the subject area will not be impacted. The road pavement width, curbing, and sidewalk will be designed in accordance with typical DelDOT standards. Furthermore the houses situated on the respective lots will NOT be moved forward as a result of the reduced right-of-way as the front setback line will be maintained at the same distance from centerline of road as the standard 50' right-of-way. Otherwise stated the "look and feel" of the community will not be impacted by the reduced right-of-way. Additionally the maintenance of the roadways and sidewalks will also remain unaffected. Again, the benefit to this effort is making the centrally located open space area wider which allows for a better storm water facility, improved landscaping opportunities and easier maintenance.

A Site Plan showing the configuration of the single-family lots, roadways (including these reduced right-of-way areas), and open space areas has been provided in response to the approval of the RPC and Change of Zone (CZ 1877) on the subject parcels. The proposed configuration of the Patriots Glen (Phase 1) area has been revised to accommodate access to the Patriots Glen - Phase 2 project as shown on the corresponding RPC Plan (CZ 1911) for that project.

If you should require additional information regarding this request, please contact me at your convenience at 302-326-2200.

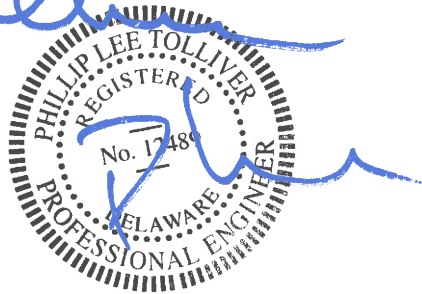
Truly Yours,
MORRIS & RITCHIE ASSOCIATES, INC.



Christopher J. Flathers, P.E.
Senior Project Manager



Phillip L. Tolliver, P.E.
Principal
Vice President



Encl. Exhibit 1 – Right-Of-Way Exhibit

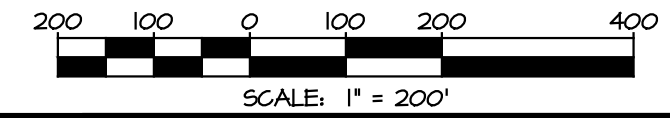
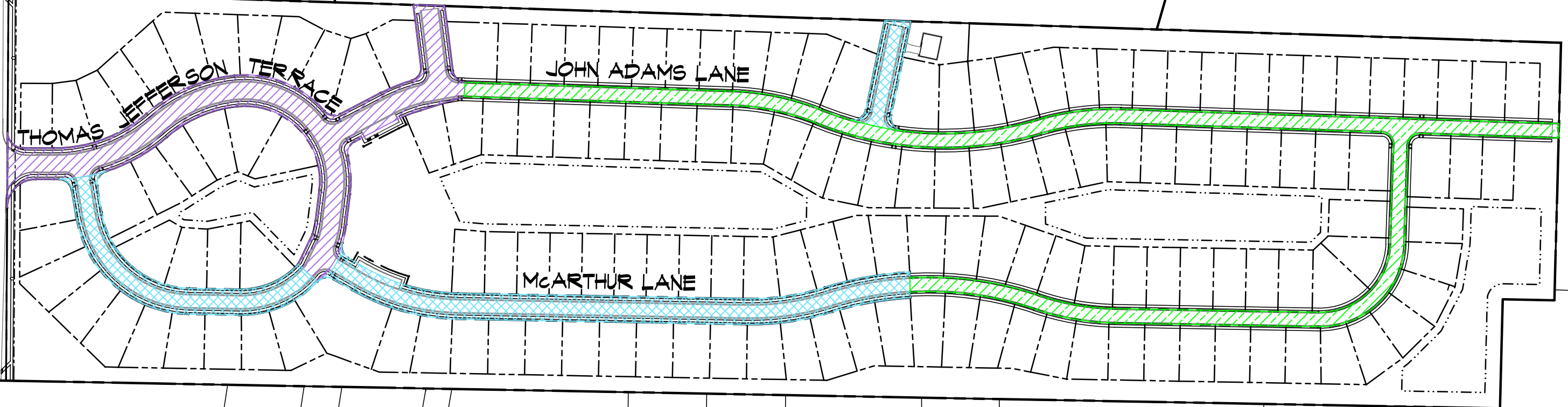
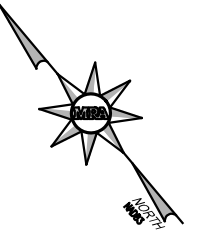
c.c. TJ Schiff, Schiff Land Development Co., LLC
P. Tolliver, MRA
MRA File 21005

JOHN J. WILLIAMS HWY.

LEGEND

-  60' STANDARD R/W
-  50' STANDARD R/W
-  28' REDUCED R/W*

* EXPANDED 21' WIDE DRAINAGE, UTILITY, & ACCESS EASEMENT PROVIDED ON EACH SIDE OF REDUCED RIGHT-OF-WAY FOR 70' TOTAL WIDTH



LAYTON DAVIS ROAD

MRA	MORRIS & RITCHIE ASSOCIATES, INC. ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS 18 BOULDEN CIRCLE, SUITE: 36 WILMINGTON, DE 19720 (302) 326-2200 FAX: (302) 326-2399 MRAGTA.COM © 2021 MORRIS & RITCHIE ASSOCIATES, INC.		EXHIBIT 1 FOR PATRIOTS GLEN RIGHT OF WAY EXHIBIT		
	SCALE: 1"=200'	DATE: 10/22/21	DRAWN BY: CJF	DESIGN BY: CJF	REVIEW BY: PLT

INDIAN RIVER HUNDRED SUSSEX COUNTY, DE

PATRIOTS GLEN

SUSSEX COUNTY, DELAWARE

SITE PLAN

SUSSEX COUNTY PLANNING # XXXX

LEGEND

	EXISTING PROPERTY LINE
	PROPOSED R/W LINE
	PROPOSED LOT LINE
	PROPOSED BUILDING SETBACK LINE
	EXISTING CONTOURS
	PROPOSED CONTOURS
	PROPOSED LOT NUMBER
	EXISTING WOODLANDS LINE
	WOODLAND PRESERVATION LINE

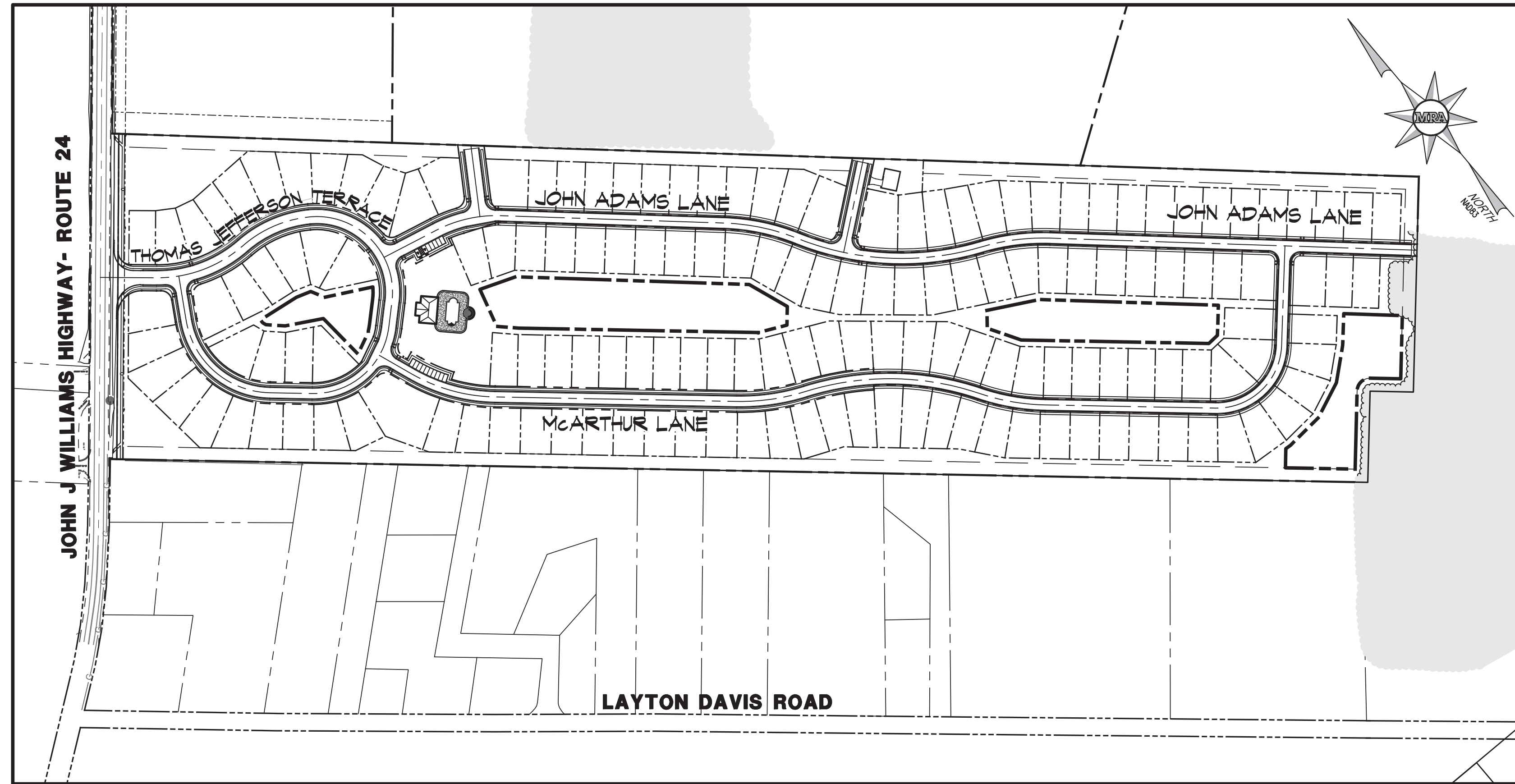


LOCATION MAP

SCALE: 1" = 2000'

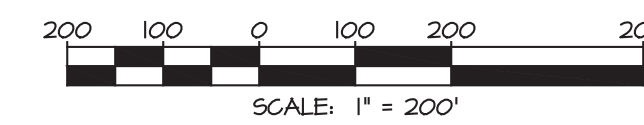
RPC C/Z #1877 CONDITIONS OF APPROVAL

- THERE SHALL BE NO MORE THAN 161 RESIDENTIAL UNITS WITH THE PROJECT.
- THE BULK AREA STANDARDS FOR THE 161 UNITS SHALL BE AS FOLLOWS:
 - FRONT YARD - 25 FT.
 - SIDE YARD - 10 FT.
 - REAR YARD - 10 FT.
 - CORNER YARD - 15 FT.
 - MINIMUM LOT WIDTH - 60 FT.
 - MINIMUM LOT AREA - 1500 SF.
- SITE PLAN REVIEW SHALL BE REQUIRED FOR EACH PHASE OF THE DEVELOPMENT.
- ALL ENTRANCES, INTERSECTION, INTERCONNECTION, ROADWAY AND MULTI-MODAL IMPROVEMENTS REQUIRED BY DELDOT SHALL BE COMPLETED BY THE APPLICANT IN ACCORDANCE WITH DELDOT'S REQUIREMENTS OR IN ACCORDANCE WITH ANY FURTHER MODIFICATIONS REQUIRED BY DELDOT.
- THE DEVELOPMENT SHALL BE SERVED AS PART OF A SUSSEX COUNTY SANITARY SEWER DISTRICT IN ACCORDANCE WITH THE SUSSEX COUNTY ENGINEERING DEPARTMENT'S SPECIFICATIONS AND REGULATIONS.
- THE MR-RPC SHALL BE SERVED BY A PUBLIC CENTRAL WATER SYSTEM PROVIDING ADEQUATE DRINKING WATER AND FIRE PROTECTION AS REQUIRED BY APPLICABLE REGULATIONS.
- STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE STATE AND COUNTY REQUIREMENTS. THESE FACILITIES SHALL BE OPERATED IN A MANNER THAT IS CONSISTENT WITH BEST MANAGEMENT PRACTICES (BMP'S). THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF SUSSEX COUNTY'S CONSERVATION DISTRICT.
- THE INTERIOR STREET DESIGN SHALL BE IN ACCORDANCE WITH OR EXCEED SUSSEX COUNTY'S STREET DESIGN REQUIREMENTS AND SPECIFICATION. THE STREET DESIGN SHALL INCLUDE SIDEWALKS ON BOTH SIDES OF THE STREET.
- THERE SHALL BE A 30-FOOT FORESTED OR LANDSCAPED BUFFER AROUND THE ENTIRE PERIMETER OF THE SITE.
- THE APPLICANT SHALL SUBMIT AS PART OF THE SITE PLAN REVIEW A LANDSCAPE PLAN SHOWING THE PROPOSED TREE AND SHRUB LANDSCAPE DESIGN, INCLUDING LANDSCAPING IN ALL OF THE BUFFER AREAS.
- CONSTRUCTION AND DELIVERIES SHALL ONLY OCCUR FROM MONDAY THROUGH FRIDAY AND ONLY BETWEEN THE HOURS OF 6:00 A.M. AND 6:00 P.M.
- THE APPLICANT SHALL FORM A HOMEOWNERS ASSOCIATION TO BE RESPONSIBLE FOR THE MAINTENANCE OF THE STREETS, ROADS, BUFFERS, OPEN SPACES, STORMWATER MANAGEMENT FACILITIES AND OTHER COMMON AREAS.
- THE RESTRICTIVE COVENANTS AND FINAL SITE PLAN SHALL STATE THAT AGRICULTURAL ACTIVITIES EXIST NEARBY, AND THEY SHALL INCLUDE THE AGRICULTURAL USE PROTECTION NOTICE.
- THE AMENITIES SHALL INCLUDE A CLUBHOUSE/MULTI-PURPOSE BUILDING, POOL AND PATIO AREA, WITH AT LEAST 24 OFF-STREET PARKING SPACE SET ASIDE FOR THESE AREAS. THESE AMENITIES SHALL BE COMPLETED AND OPEN TO USE BY THE RESIDENTS OF THE DEVELOPMENT PRIOR TO THE ISSUANCE OF THE DIST BUILDING PERMIT.
- IF REQUIRED BY THE INDIAN RIVER SCHOOL DISTRICT, A PROTECTED SCHOOL BUS SHELTER WITH RELATED PARKING SHALL BE INSTALLED AT THE ENTRANCE TO THE DEVELOPMENT. ALTERNATIVELY, THE DEVELOPER SHALL COORDINATE WITH THE SCHOOL DISTRICT FOR ANOTHER LOCATION, WITH A PREFERENCE FOR THE CLUBHOUSE BUILDING.
- THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.



SITE OVERVIEW

SCALE: 1" = 200'



PROJECT TEAM

DEVELOPER:	SCHIFF LAND DEVELOPMENT CO., LLC 16054 S. DUPONT HWY. HARRINGTON, DE 19452 ATTN: MR. T.J. SCHIFF
LAND PLANNERS, CIVIL ENGINEER:	MORRIS & RITCHIE ASSOCIATES, INC. 18 BOULDEN CIRCLE, SUITE 36 NEW CASTLE, DE 19720 ATTN: MR. PHILLIP L. TOLLIVER, P.E.
SURVEYOR:	MORRIS & RITCHIE ASSOCIATES, INC. 8 WEST MARKET STREET GEORGETOWN, DE 19441 ATTN: MR. GARY POWERS
ENVIRONMENTAL CONSULTANT:	GEO-TECHNOLOGY ASSOCIATES, INC. 3445 BOX HILL CORPORATE CENTER DRIVE, SUITE A ASBINGDON, MD 21009 ATTN: MR. ANDY STANSFIELD
GEOTECHNICAL ENGINEER:	GEO-TECHNOLOGY ASSOCIATES, INC. 2133 STERLING AVENUE, SUITE 7 GEORGETOWN, DE 19441 ATTN: MR. GREG SAUTER
TRAFFIC CONSULTANT:	THE TRAFFIC GROUP 4900 FRANKLIN SQUARE DR. - SUITE H BALTIMORE, MD 21236 ATTN: MR. JOE CALOGGERO, P.E.
ATTORNEY:	MORRIS JAMES WILSON HALBROOK & BAYARD LLP 107 W. MARKET STREET P.O. BOX 640 GEORGETOWN, DE 19441 ATTN: MR. DAVID C. HUTT

INDEX OF DRAWINGS

- SITE PLAN TITLE SHEET
- SITE PLAN GENERAL NOTES & DETAILS
- OVERALL SITE PLAN
- SITE PLAN
- SITE PLAN
- SITE PLAN

DEVELOPER'S CERTIFICATION

I, UNDERSIGNED, AS DEVELOPER OF THE PROPERTY SHOWN, HEREBY APPROVE THESE PLANS FOR DEVELOPMENT AS SHOWN OR OTHERWISE NOTED.

SCHIFF LAND DEVELOPMENT CO., LLC DATE

16054 S. DUPONT HWY.
HARRINGTON, DE 19452

OWNER'S CERTIFICATION

I, UNDERSIGNED, AS OWNER OF THE PROPERTY SHOWN, HEREBY APPROVE THESE PLANS FOR DEVELOPMENT AS SHOWN OR OTHERWISE NOTED.

TARA DOUGHTY AND MARK SAMMONS DATE

30756 MT. JOY ROAD
MILLSBORO, DE

WETLANDS STATEMENT

GEO-TECHNOLOGY ASSOCIATES, INC. (GTA) HAS CONDUCTED A FIELD REVIEW WITHIN THE BOUNDARIES OF THIS PLAT TO EVALUATE THE PRESENCE OR ABSENCE OF POTENTIAL STATE AND FEDERAL JURISDICTIONAL WETLANDS FOR THE PURPOSES OF DELAWARE WETLAND AND SUBAQUEOUS LAND REGULATIONS AND SECTION 404 OF THE CLEAN WATER ACT. GTA'S REVIEW WAS CONDUCTED IN GENERAL ACCORDANCE WITH THE TECHNIQUES AND CRITERIA PROVIDED IN THE 1981 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, ATLANTIC AND GULF COASTAL PLAN REGION (VERSION 2.0), DATED NOVEMBER 2010. THE LIMITS OF THE WETLANDS WERE EVALUATED IN THE FIELD BY GTA PERSONNEL USING BEST PROFESSIONAL JUDGEMENT. NO WETLANDS OR WATERWAYS WERE OBSERVED WITHIN THE BOUNDARIES OF THIS PLAT. NO STATE OR FEDERAL JURISDICTIONAL APPROVAL WAS OBTAINED FOR THIS PROPERTY.

ANDY STANSFIELD DATE

GEO-TECHNOLOGY ASSOCIATES, INC.

ENGINEER'S CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THE PLAN SHOWN AND DESCRIBED HEREON, IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED STANDARDS AND PRACTICES AND BY THE SUSSEX COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO THE EXTENT THAT IT DESCRIBES THE PROPOSED MANNER AND LAYOUT OF THE SUBDIVISION.

PHILLIP L. TOLLIVER, P.E. DATE

DE LICENSE NO. #12484

PLAN APPROVALS

SUSSEX COUNTY ENGINEERING DEPARTMENT
2 THE CIRCLE
GEORGETOWN, DE 19441

APPROVED DATE

APPROVED BY: CHAIRMAN OR SECRETARY DATE

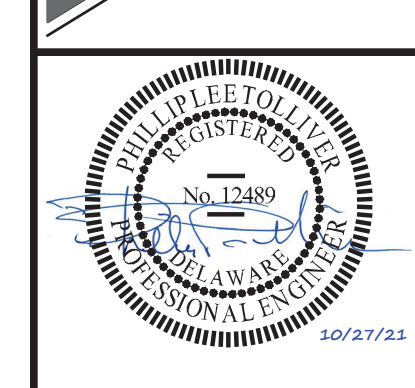
SUSSEX COUNTY PLANNING AND ZONING COMMISSION

APPROVED BY: PRESIDENT DATE

SUSSEX COUNTY PLANNING



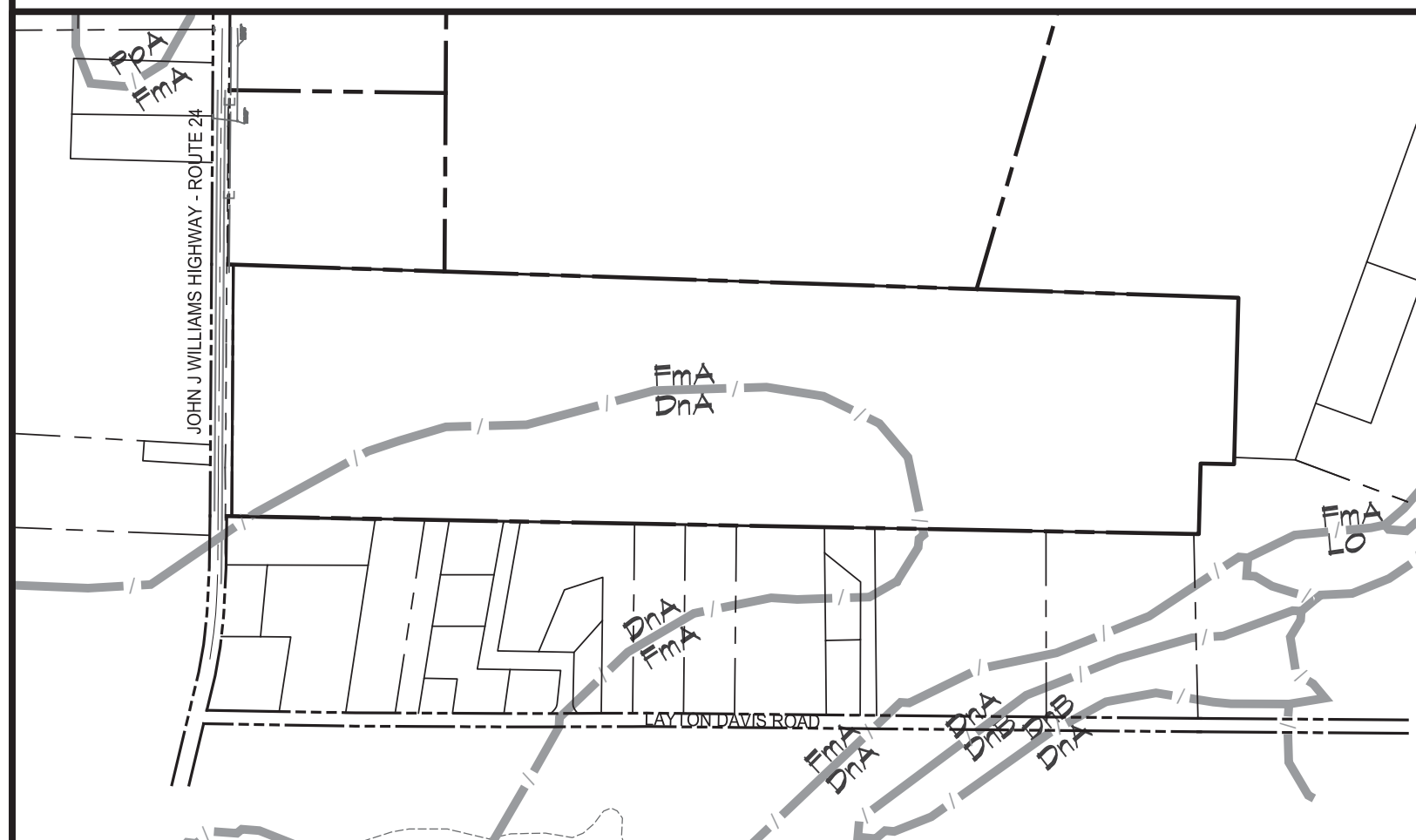
MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
18 BOULDEN CIRCLE, SUITE 36
NEW CASTLE, DELAWARE 19720
(302) 326-2200
FAX: (302) 326-2399
WWW.MRAGTA.COM



SITE PLAN TITLE SHEET
FOR
PATRIOTS GLEN

INDIAN RIVER HUNDRED SUSSEX COUNTY, DELAWARE

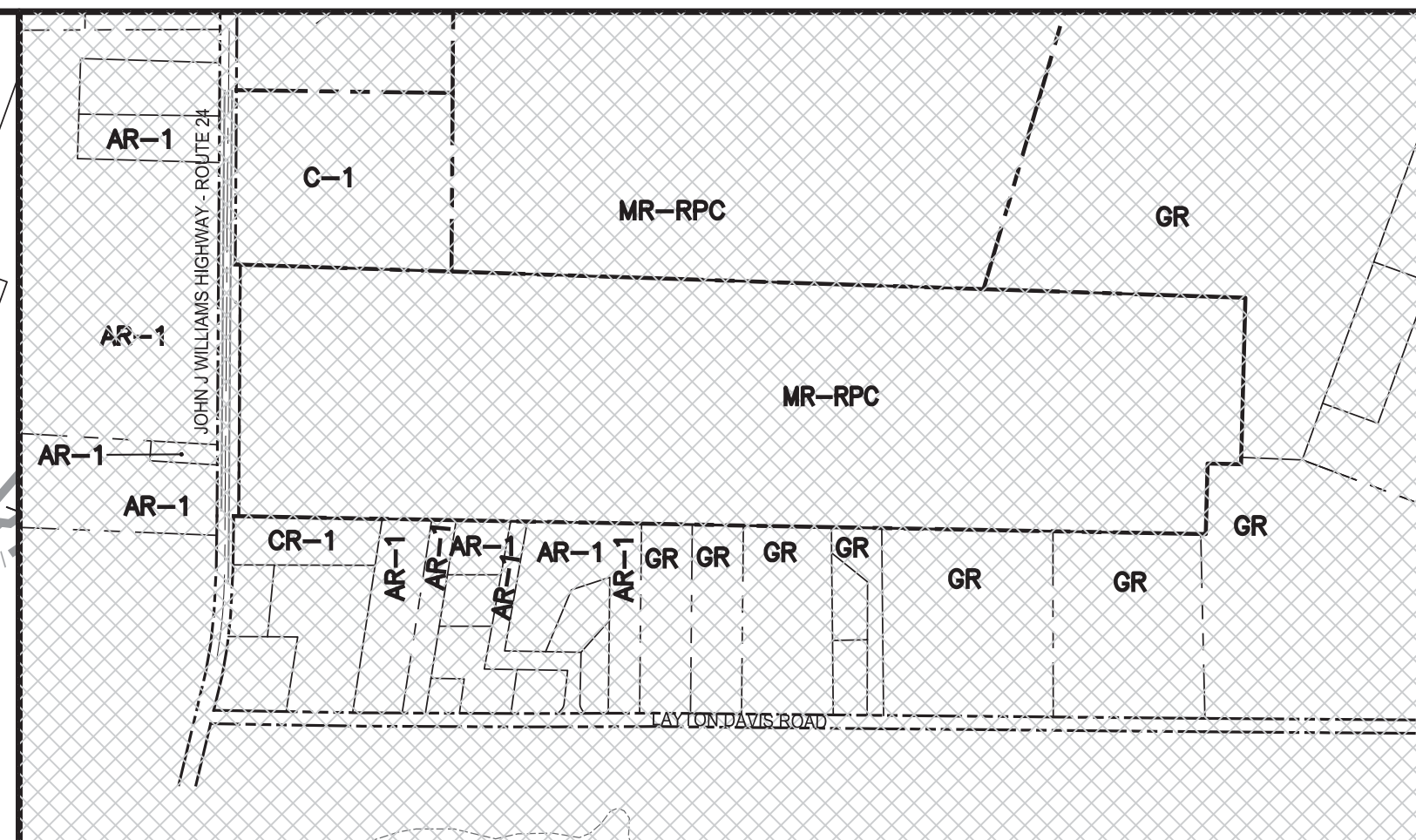
DATE	REVISIONS	JOB NO.:
		20296
		SCALE: AS NOTED
		DATE: 10/21/2021
		DRAWN BY: RDG
		DESIGN BY: CJF
		REVIEW BY: PLT
		SHEET: 1 OF 6



SOILS MAP

SCALE: 1" = 500'

DnA, DnB - DOWNER LOAMY SAND
FmA - FORT MOTT LOAMY SAND
LpA - LONGMARSH AND INDIANTOWN SOILS
PpA - PERFFERBOX LOAMY SAND

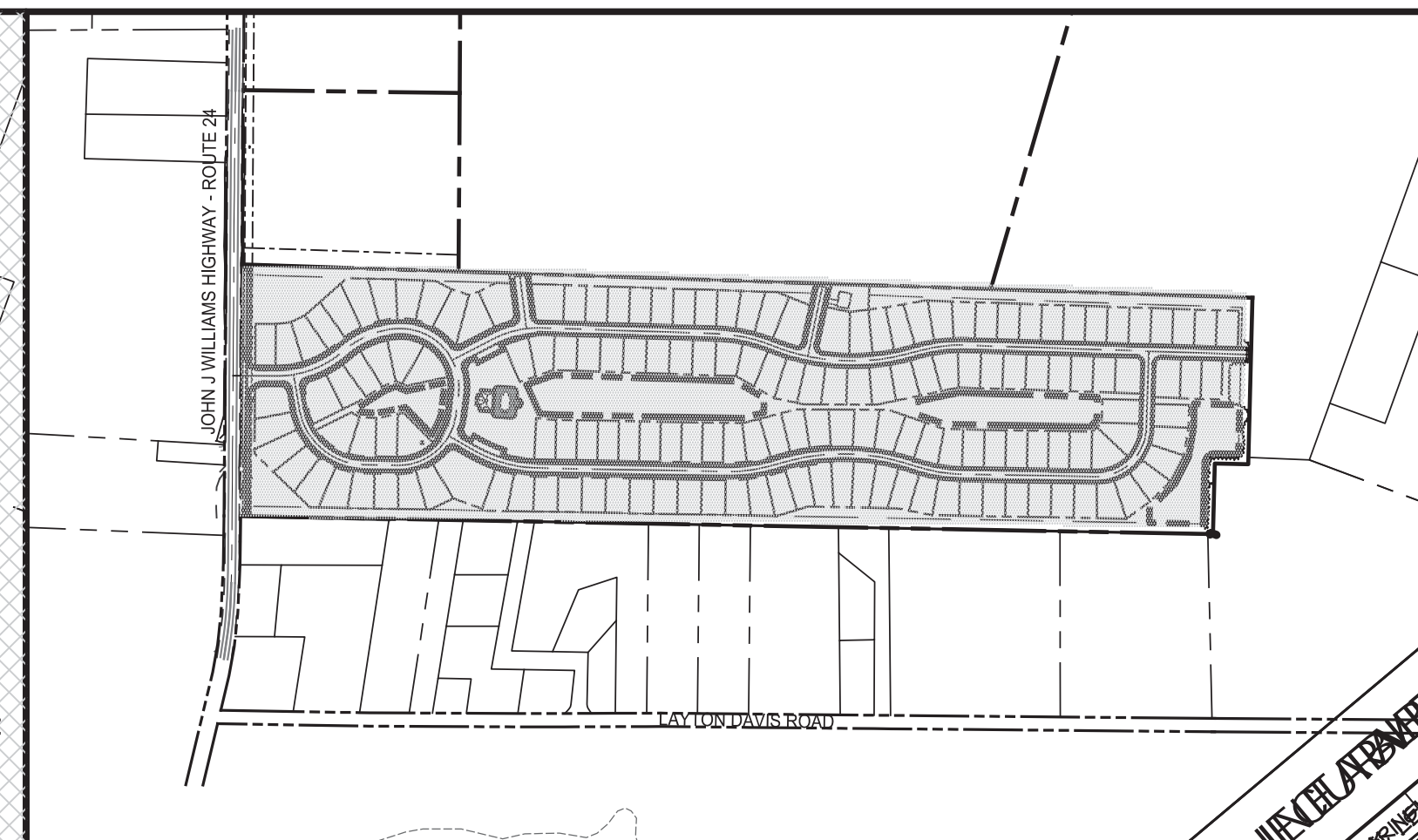


ZONING MAP

SCALE: 1" = 500'

ENVIRONMENTALLY SENSITIVE DEVELOPMENT DISTRICT

AR-1 - AGRICULTURAL RESIDENTIAL
C-1 - COMMERCIAL RESIDENTIAL
GR - GENERAL RESIDENTIAL
MR - MEDIUM RESIDENTIAL



PHASING MAP

SCALE: 1" = 500'

THE PROJECT WILL BE APPROVED AS A SINGLE PHASE PROJECT WITH THREE (3) OPERATIONAL BREAKS FOR PURPOSES OF BONDING, BENEFICIAL OCCUPANCY INSPECTION, RELEASE OF USE AND OCCUPANCY PERMITS.

CONSTRUCTION NOTES

- 1. CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT (1-800-282-8555) AT LEAST (3) WORKING DAYS PRIOR TO EXCAVATION... 2. ALL MATERIALS & WORKMANSHIP SHALL MEET THE STATE OF DELAWARE STANDARDS & SPECIFICATIONS... 3. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, AND PROJECT SPECIFICATIONS...

- 4. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND SHALL APPRISE AND COORDINATE DURING ALL PHASES OF CONSTRUCTION... 5. CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL RIGHT-OF-WAY LINES AND PROPERTY LINES TO HIS OWN SATISFACTION... 6. INFORMATION SHOWN HEREON IS BASED UPON GIS DATA OBTAINED THROUGH THE STATE OF DELAWARE GIS WEBSITE (FIRSTMAP-DELAWARE.OPENDATA.ARCGIS.COM) AND DOES NOT REPRESENT FIELD RUN TOPOGRAPHIC OR BOUNDARY SURVEY...

- 7. EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE BASED UPON THE BEST AVAILABLE INFORMATION AND ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR ONLY... 8. DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT...

SUSSEX COUNTY CONSTRUCTION NOTES:

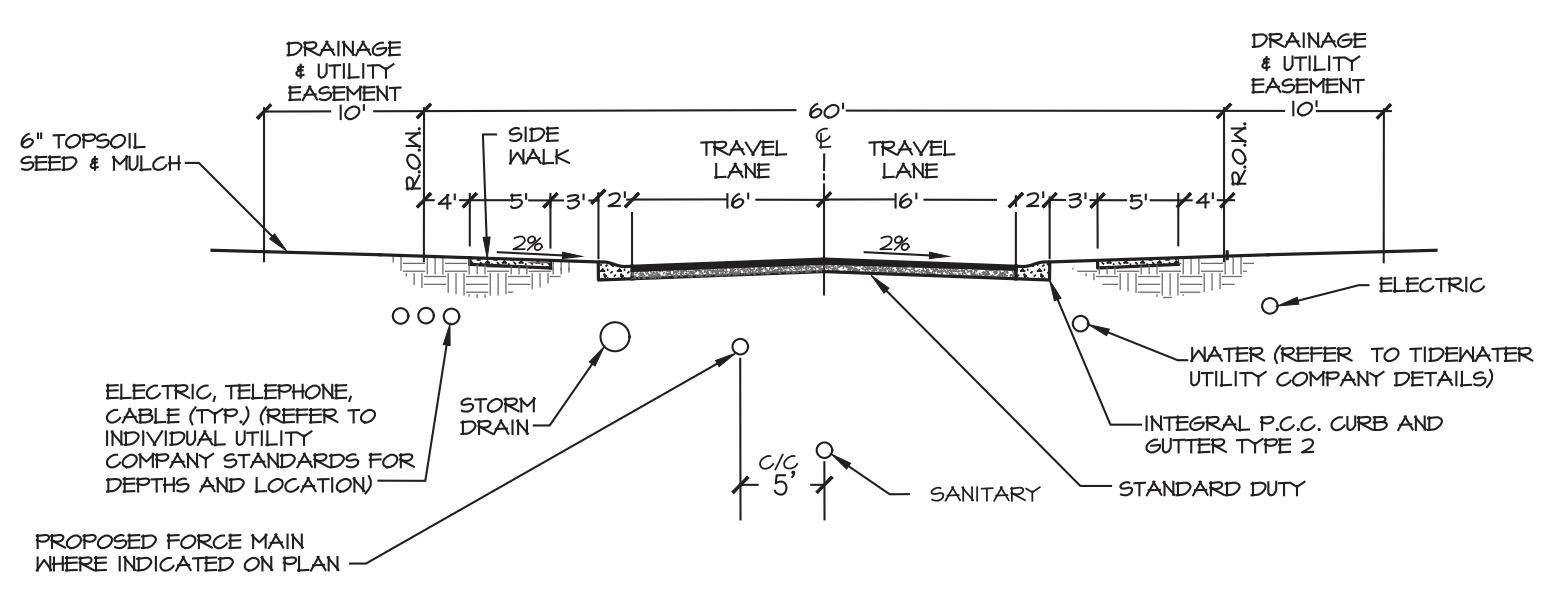
- 1. ROADWAY STAKEOUTS: A. RIGHT-OF-WAY STAKES SHALL BE OFFSET A MINIMUM OF FIVE (5) FEET OUTSIDE THE RIGHT-OF-WAY... B. STATION NUMBERS TO BE INDICATED ON EACH SIDE OF THE STAKE... C. THE CENTERLINE ROADWAY CUT AND CUT-LINE SHALL BE LOCATED ON THE SIDE OF THE STAKE WHICH FACES THE CENTERLINE...

DELDOT RECORD PLAN NOTES:

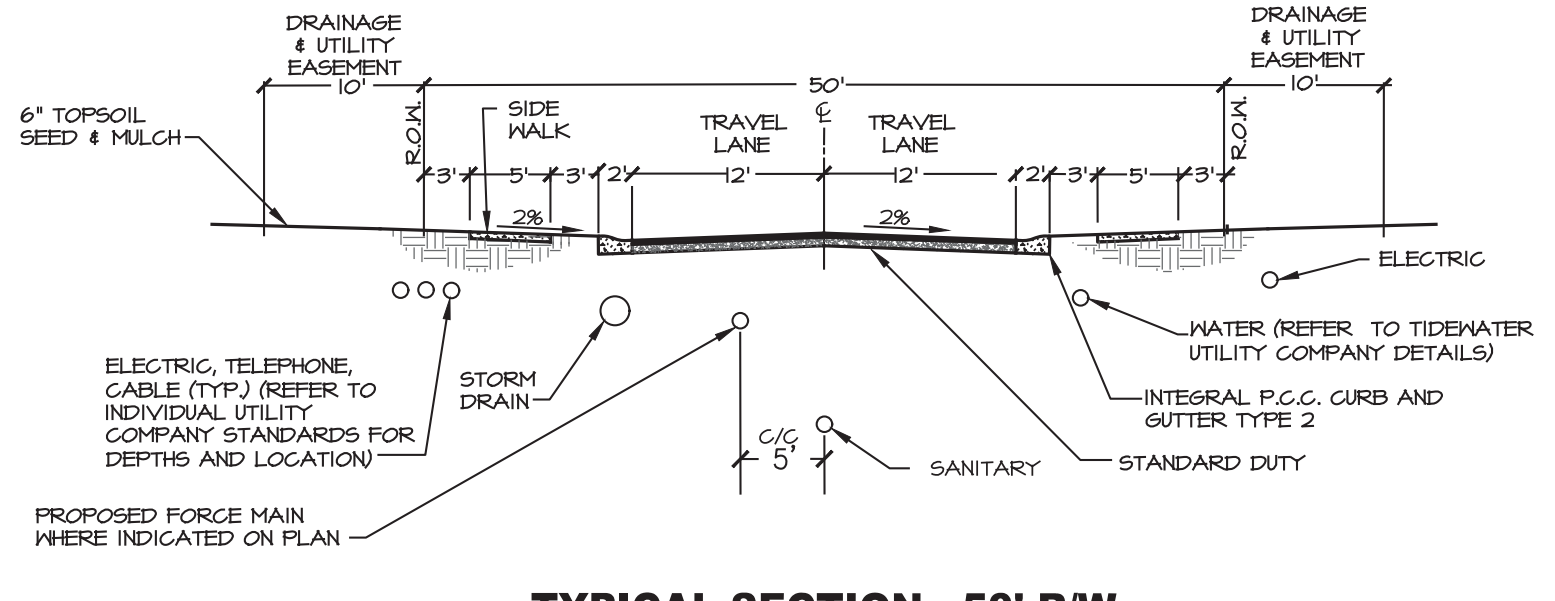
- 1. NO LANDSCAPING SHALL BE ALLOWED WITHIN DELDOT MAINTAINED R/W UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.1 OF THE DEVELOPMENT COORDINATION MANUAL (DCM)... 2. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL...

GENERAL NOTES:

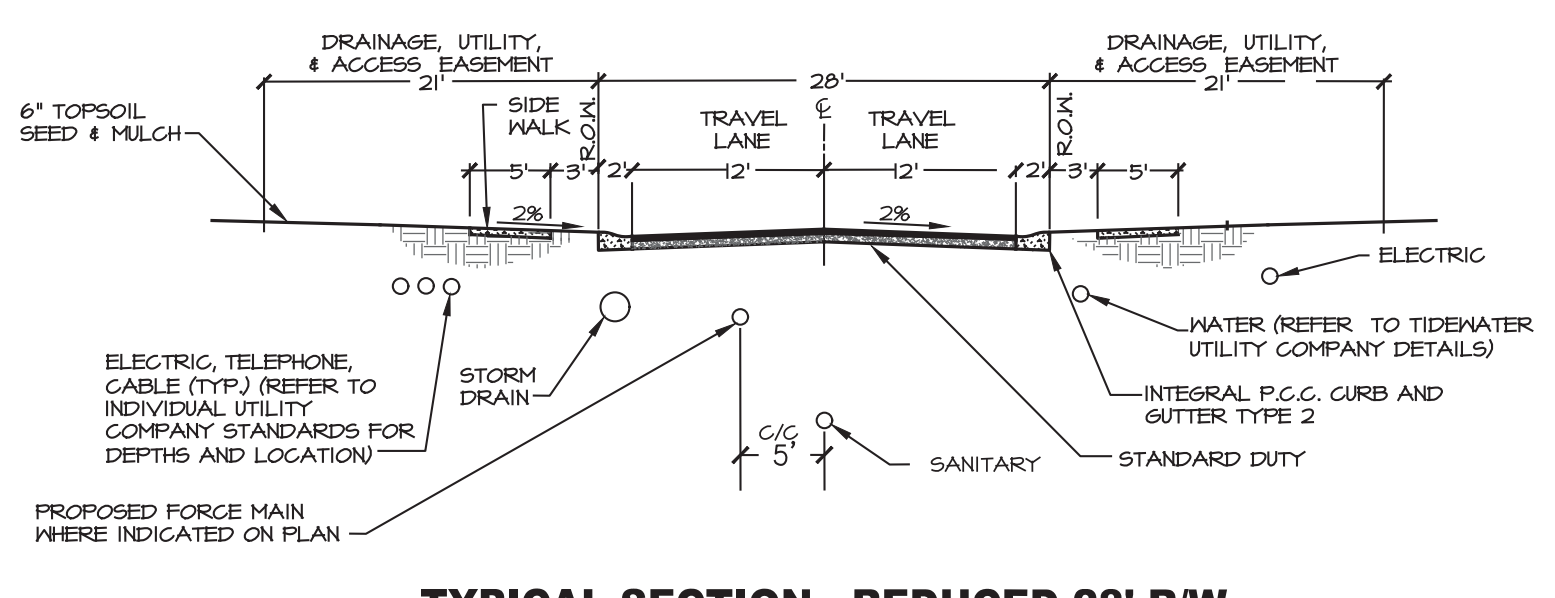
- 1. SUBDIVISION STREETS ARE TO REMAIN PRIVATE AND ARE TO BE CONSTRUCTED IN ACCORDANCE WITH SUSSEX COUNTY REGULATIONS... 2. MAINTENANCE OF THE STREET WITHIN THIS SUBDIVISION WILL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER AND OR HOME OWNER'S ASSOCIATION... 3. ACCESS TO ALL LOTS IS TO BE FROM SUBDIVISION STREETS OR DRIVE ACCESS LOOPS...



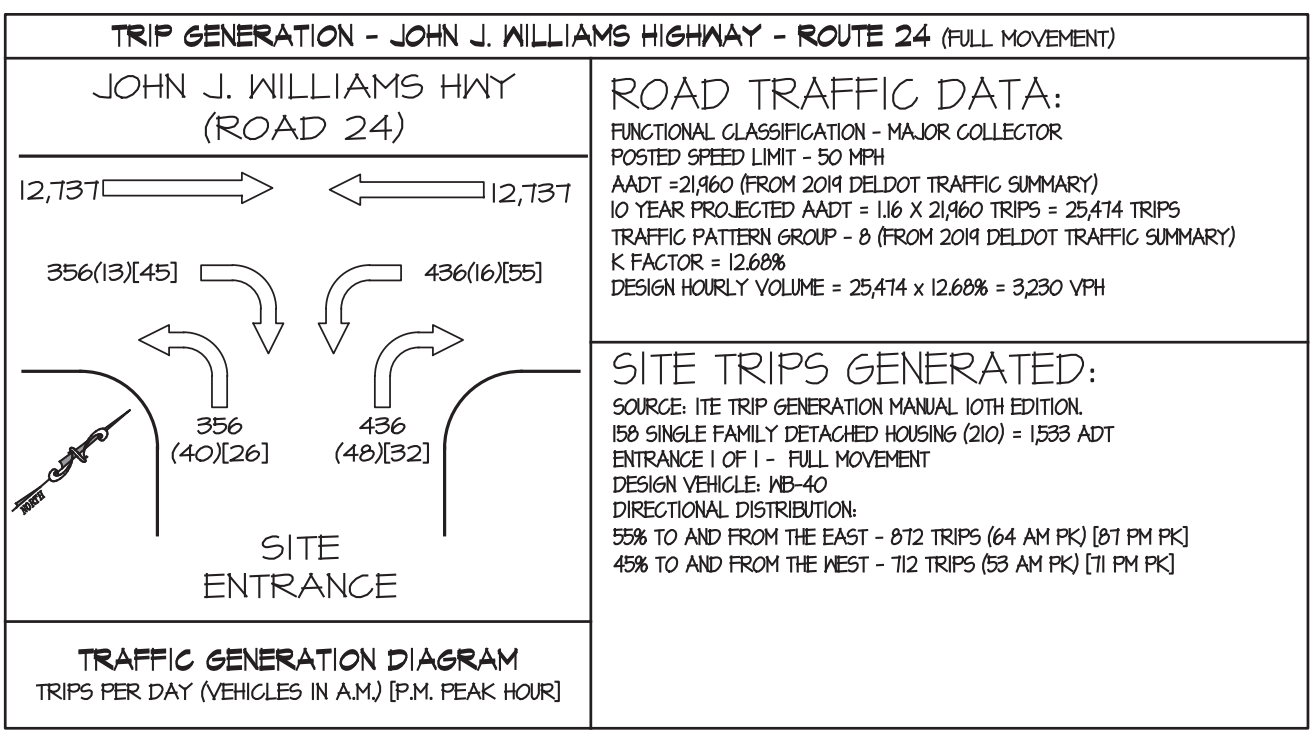
TYPICAL SECTION - 60' R/W NOT TO SCALE



TYPICAL SECTION - 50' R/W NOT TO SCALE



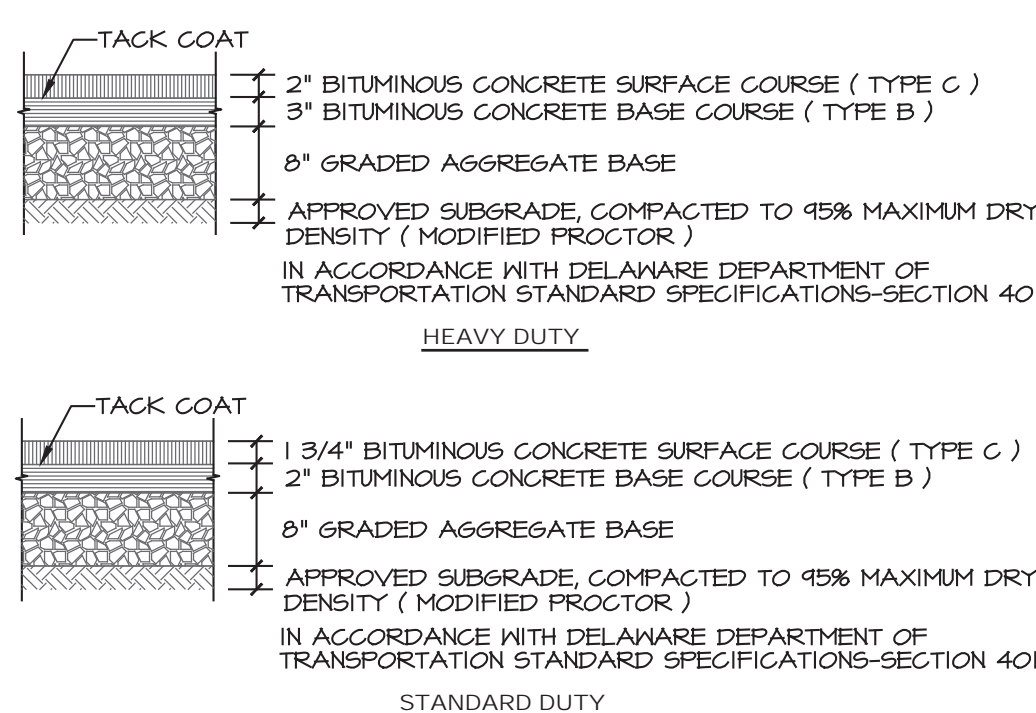
TYPICAL SECTION - REDUCED 28' R/W NOT TO SCALE



Road Traffic Data table: Functional Classification - Major Collector, Posted Speed Limit - 50 MPH, ADT - 21,960 FROM 2018 DELDOT TRAFFIC SUMMARY, 10 YEAR PROJECTED ADT = 116 X 21,960 TRIPS = 25,474 TRIPS...

PROJECT PHASING

PHASE I - 4 YEARS
TOTAL PROJECT BUILDOUT - 4 YEARS
ESTIMATED PROJECT COMPLETION DATE - JANUARY 2026
THE PROJECT IS BE APPROVED AS A SINGLE PHASE PROJECT, WITH THREE (3) OPERATIONAL BREAKS FOR PURPOSES OF BONDING, BENEFICIAL OCCUPANCY INSPECTION, RELEASE OF USE AND OCCUPANCY PERMITS.



PAVING SECTIONS NOT TO SCALE

SITE DATA

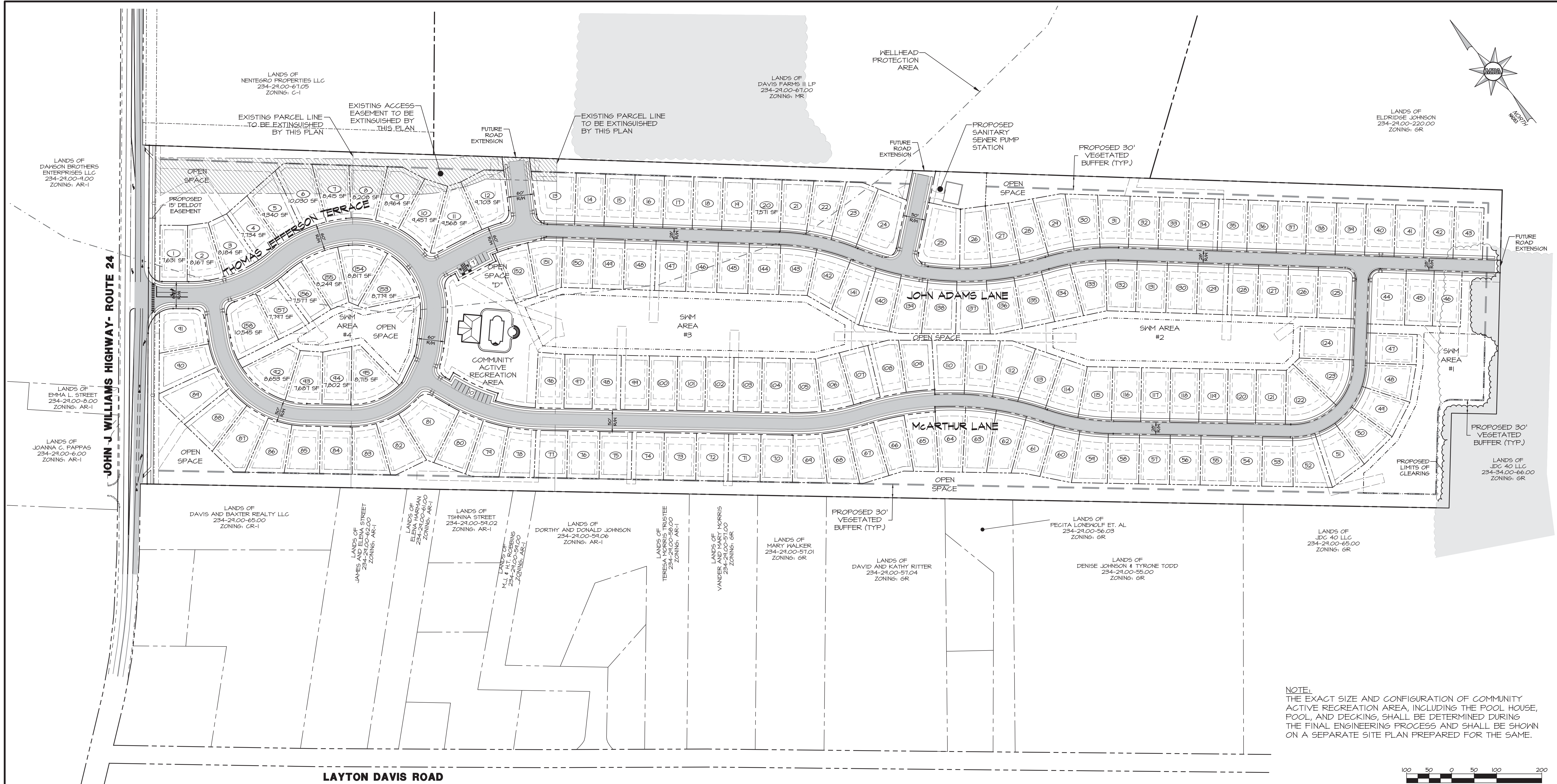
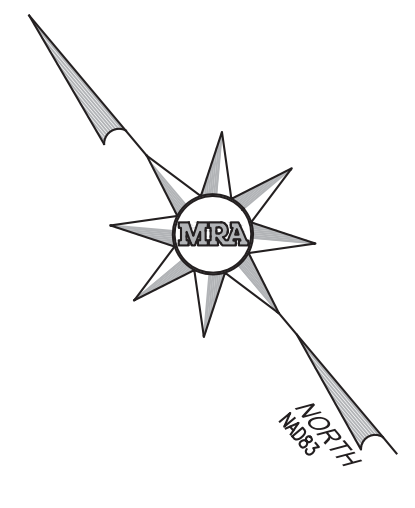
- 1. PROJECT TITLE/NAME: PATRIOTS GLEN
2. TAX PARCEL: 234-24-66.001 - 66.01 - 66.02
3. OWNER INFORMATION: TARA DOUGHTY AND MARK SAMMONS 30756 MT. JOY ROAD MILLSBORO, DE
4. DEVELOPER: SCHIFF LAND DEVELOPMENT CO., LLC 16054 S. DUPONT HWY. HARRINGTON, DE 19152

Site Area Breakdown table: LOT AREA = 29.15 AC. ±, OPEN SPACE = 14.01 AC. ±, DELDOT DEDICATION = 0.00 AC. ±, PRIVATE R.O.W. = 6.36 AC. ±, PUMP STATION = 0.21 AC. ±, TOTAL SITE = 44.73 AC. ±

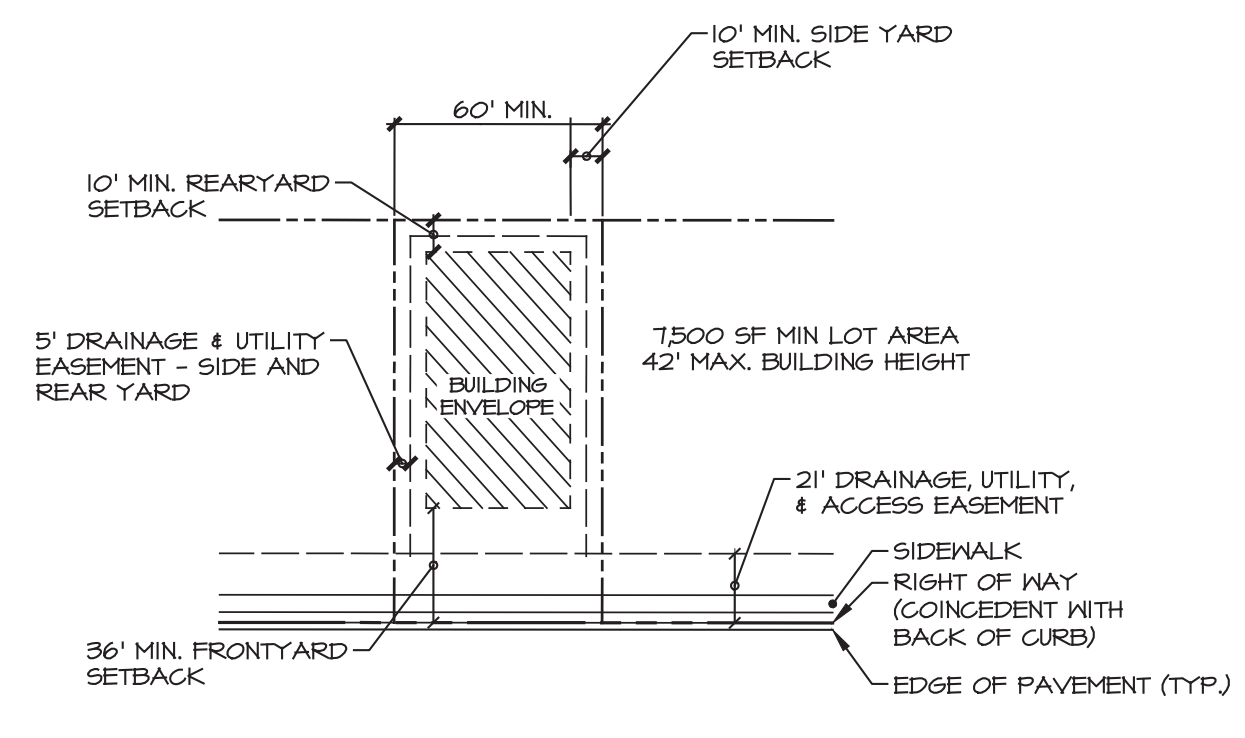
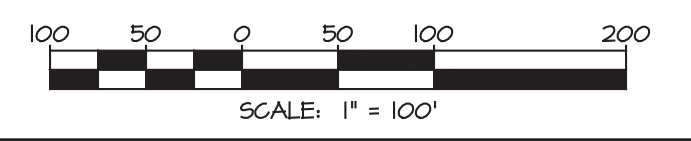
- 12. FOREST COVER: EXIST. FOREST: 1.74 AC. ±, FOREST CLEARED: 1.24 AC. ±, FOREST REMAINING: 0.50 AC. ±, REFORESTATION: 0.00 AC. ±, PROPOSED TOTAL: 0.50 AC. ±
13. WATER SERVICE: PUBLIC (TIDEWATER UTILITY COMPANY)
14. SANITARY SEWER: PUBLIC (SUSSEX COUNTY)
15. PROPOSED LOTS: 150 SINGLE FAMILY LOTS
16. PARKING ANALYSIS: PARKING REQUIRED: 150 SP/2 X 2 SP/DU = 316 SP, PARKING PROVIDED: 150 SP/2 X 2 SP/DU = 316 SP, COMMUNITY AREA: 24 SP, TOTAL: 340 SP

MORRIS & RITCHE ASSOCIATES, INC. ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS. 18 BOULDEN CIRCLE, SUITE 36 NEW CASTLE, DELAWARE 19720. (302) 326-2200 FAX: (302) 326-2399 WWW.MRAGTA.COM

Table with columns: DATE, REVISIONS, JOB NO.: 20296, SCALE: AS NOTED, DATE: 10/21/2021, DRAWN BY: CJF, DESIGN BY: CJF, REVIEW BY: PLT, SHEET: 2 OF 6

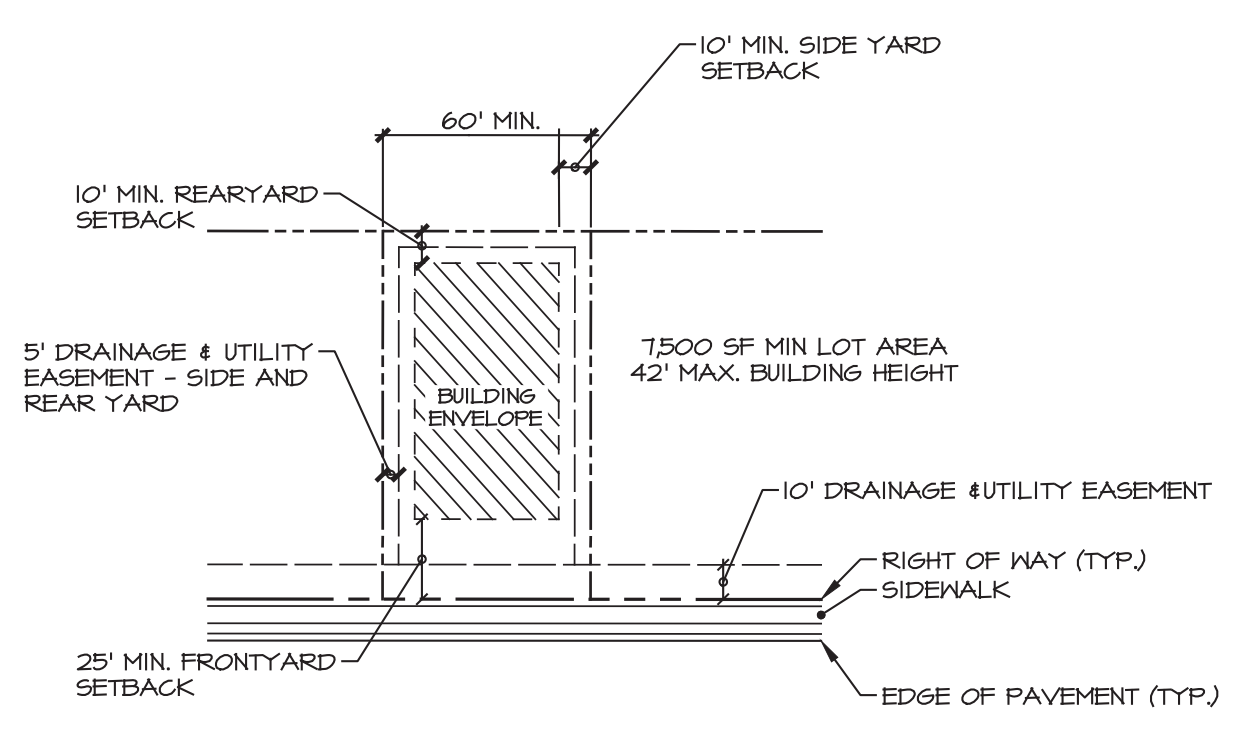


NOTE:
THE EXACT SIZE AND CONFIGURATION OF COMMUNITY ACTIVE RECREATION AREA, INCLUDING THE POOL HOUSE, POOL, AND DECKING, SHALL BE DETERMINED DURING THE FINAL ENGINEERING PROCESS AND SHALL BE SHOWN ON A SEPARATE SITE PLAN PREPARED FOR THE SAME.



**TYPICAL LAYOUT SINGLE FAMILY LOT
REDUCED R/W CONFIGURATION**

NOT TO SCALE!



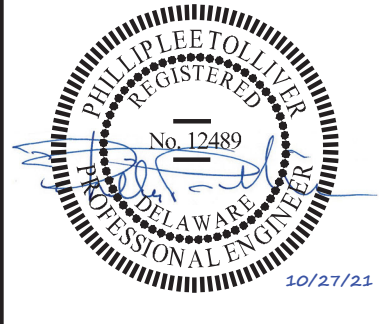
**TYPICAL LAYOUT SINGLE FAMILY LOT
STANDARD R/W CONFIGURATION**

NOT TO SCALE!



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**SITE PLAN
OVERALL PLAN
FOR
PATRIOTS GLEN**

ENGINEER'S SEAL INDIAN RIVER HUNDRED SUSSEX COUNTY, DELAWARE

DATE	REVISIONS	JOB NO.:
		20296
		SCALE: 1" = 100'
		DATE: 10/21/2021
		DRAWN BY: CJF
		DESIGN BY: CJF
		REVIEW BY: PLT
		SHEET: 3 OF 6

LEGEND

- EXISTING PROPERTY LINE
- LANDSCAPE BUFFER
- ADJACENT PROPERTY LINE
- PROPOSED LOT LINE
- PROPOSED RIGHT OF WAY LINE
- PROPOSED STORMWATER MANAGEMENT AREA
- LINE OF SIGHT
- PROPOSED SETBACK LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- UNDISTURBED FORESTED AREA
- PROPOSED CONCRETE SIDEWALK
- LOT LINE TO BE EXPUNGED*
- EASEMENT TO BE EXPUNGED*

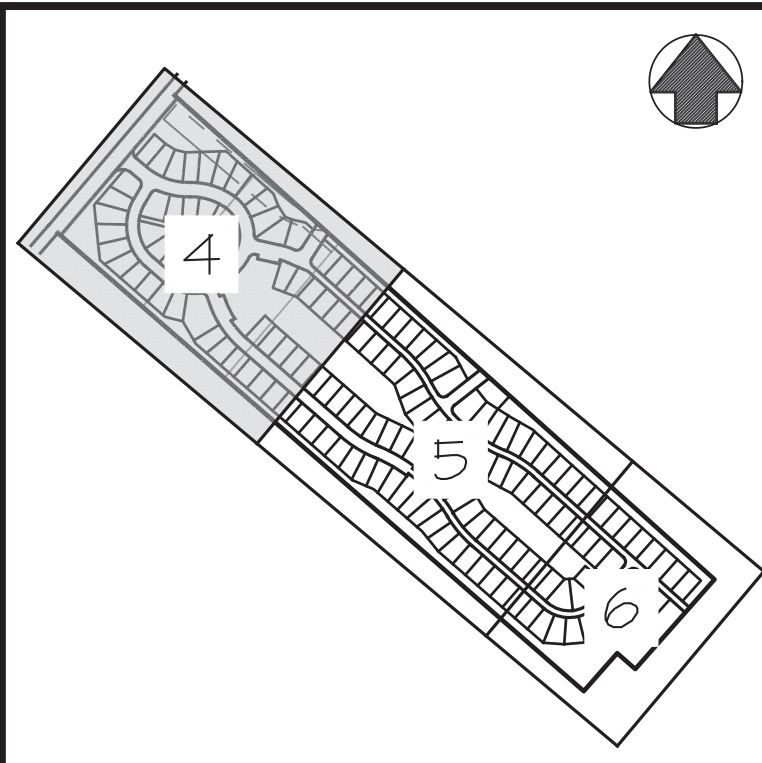
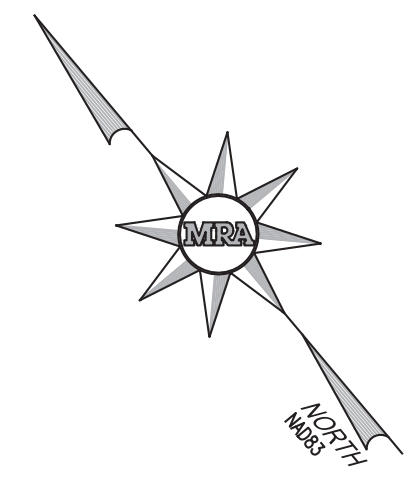
*LOT LINES AND EASEMENT (SEE PB 156 PG 16) TO BE EXPUNGED PER THIS PLAT

LINE TABLE

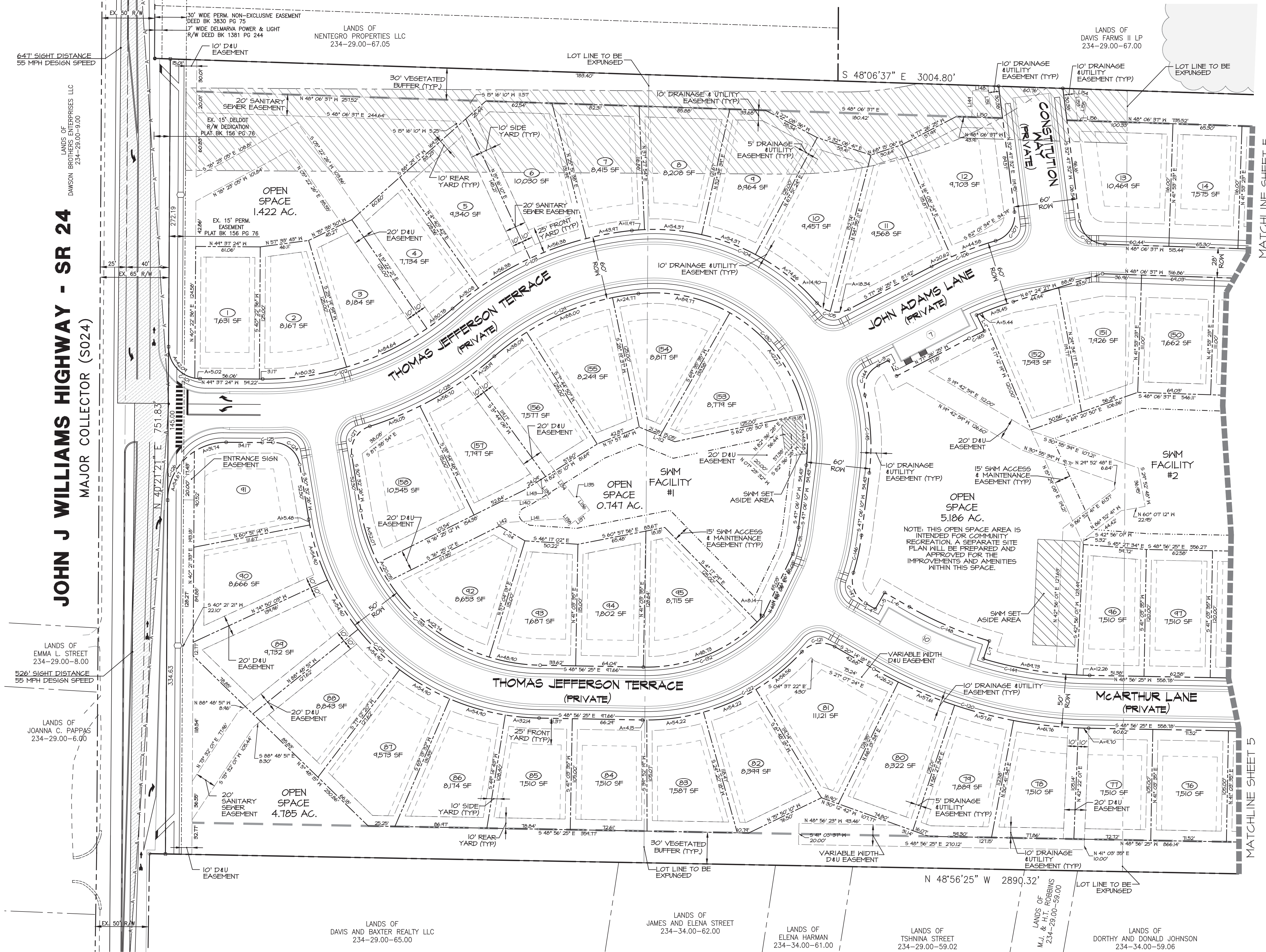
LINE	BEARING	DISTANCE
L-1	S 13° 46' 04" W	16.76'
L-2	N 12° 33' 35" E	16.75'
L-3	N 71° 26' 25" N	10.75'
L-4	S 20° 14' 18" E	10.51'
L-5	N 64° 45' 42" E	17.75'
L-6	S 20° 14' 18" E	27.04'
L-7	S 58° 17' 08" W	17.76'
L-112	N 27° 35' 12" W	36.84'
L-114	S 14° 32' 44" E	27.78'
L134	N 03° 44' 06" E	30.51'
L135	N 55° 42' 04" W	5.41'
L136	N 03° 44' 06" E	16.21'
L137	S 86° 15' 54" E	24.65'
L138	S 03° 44' 06" W	8.00'
L139	S 03° 44' 06" W	14.15'

LINE TABLE

LINE	BEARING	DISTANCE
L140	N 53° 42' 46" W	45.18'
L141	S 53° 42' 46" E	53.85'
L142	S 76° 10' 41" E	7.50'
L143	S 82° 15' 10" E	20.05'
L148	N 48° 06' 37" W	15.02'
L149	S 41° 53' 23" W	25.00'
L150	S 48° 06' 37" E	14.01'
L151	N 32° 44' 20" E	25.32'
L153	N 32° 41' 32" E	25.84'
L154	S 36° 34' 51" E	13.61'
L155	S 53° 20' 04" W	23.28'
L156	N 48° 06' 37" W	4.64'

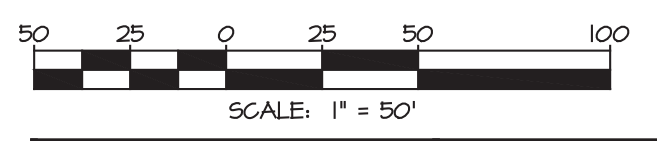


KEY MAP
SCALE: 1"=800'



CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C-101	30.00'	47.11'	S 04° 38' 01" E	42.42'
C-102	270.00'	145.74'	S 70° 23' 30" E	141.48'
C-103	305.00'	181.81'	S 73° 31' 11" E	184.85'
C-104	205.00'	145.37'	S 28° 34' 34" E	188.06'
C-105	25.00'	33.23'	S 34° 21' 24" E	30.84'
C-106	330.00'	65.20'	N 11° 46' 44" W	65.04'
C-107	25.00'	35.38'	N 73° 20' 04" E	32.50'
C-110	25.00'	35.30'	N 07° 34' 33" W	32.44'
C-120	425.00'	212.90'	S 34° 35' 21" E	210.68'
C-121	25.00'	33.67'	S 58° 44' 07" E	31.18'
C-122	200.00'	164.15'	S 73° 10' 10" E	164.16'
C-123	225.00'	312.12'	S 04° 12' 00" E	287.64'
C-124	25.00'	35.74'	S 10° 24' 40" E	32.77'
C-125	330.00'	10.02'	S 50° 24' 35" E	10.02'
C-126	55.00'	54.67'	S 68° 50' 01" W	52.45'
C-127	25.00'	35.74'	S 11° 24' 32" W	32.77'
C-128	330.00'	135.45'	N 74° 21' 24" W	134.44'
C-129	245.00'	150.86'	N 73° 31' 11" W	148.44'
C-130	145.00'	260.62'	S 04° 23' 18" E	226.43'
C-131	145.00'	25.57'	S 52° 04' 15" W	25.53'
C-132	150.00'	126.86'	S 73° 10' 10" E	123.12'
C-133	175.00'	242.76'	S 04° 12' 00" E	223.76'
C-144	25.00'	33.23'	S 64° 28' 38" W	30.84'
C-145	205.00'	74.04'	S 36° 44' 56" W	73.64'
C-146	205.00'	36.15'	S 52° 04' 15" W	36.10'
C-147	25.00'	33.79'	S 18° 24' 01" W	31.28'
C-148	351.25'	82.31'	S 26° 50' 14" E	82.12'
C-149	375.00'	101.44'	N 41° 08' 55" W	101.68'
C-165	253.25'	16.10'	N 75° 37' 04" W	16.10'

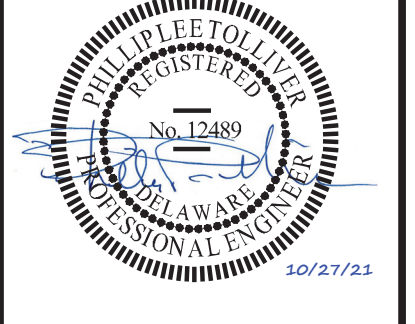


PLAT



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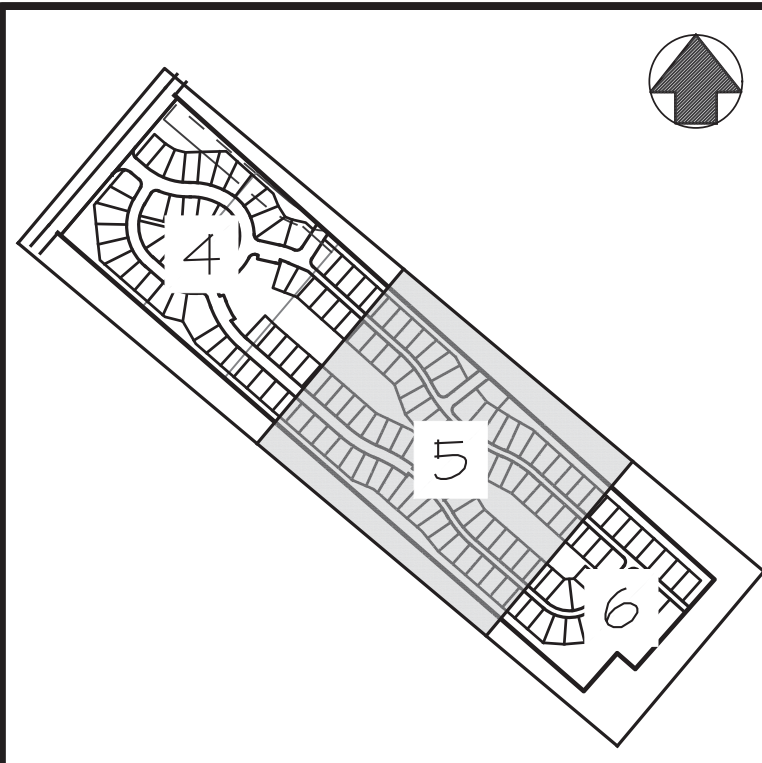


SITE PLAN FOR PATRIOTS GLEN

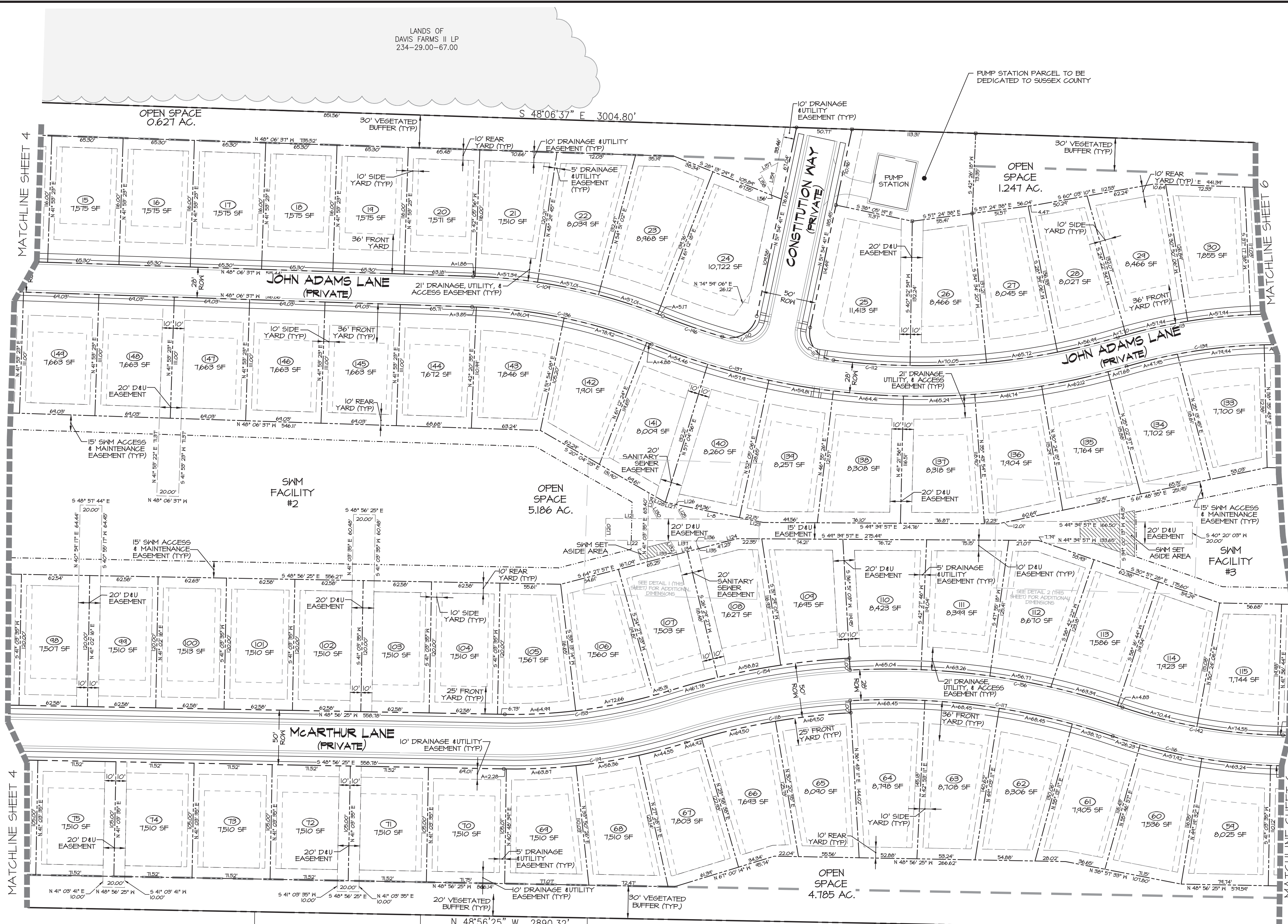
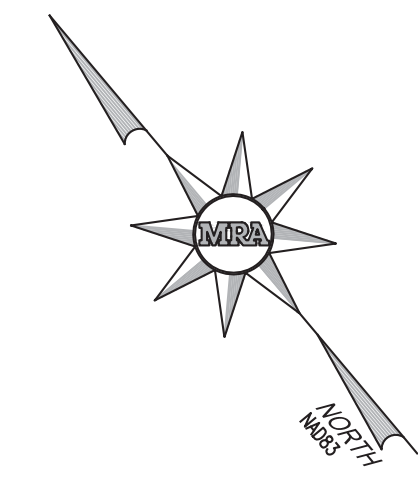
ENGINEER'S SEAL INDIAN RIVER HUNDRED SUSSEX COUNTY, DELAWARE

DATE	REVISIONS	JOB NO.:
		20296
		SCALE: 1"= 50'
		DATE: 10/21/2021
		DRAWN BY: CJF
		DESIGN BY: CJF
		REVIEW BY: PLT
		SHEET: 4 OF 6

G:\2020\Projects\Delaware\Glen Patriots\PRELIMINARY\Phase 1\PLAT\20296_SITE PLANS.DWG, 10/27/2021 10:09:20 AM, Copyright 2021, Morris & Ritchie Associates, Inc.



KEY MAP
SCALE: 1"=800'

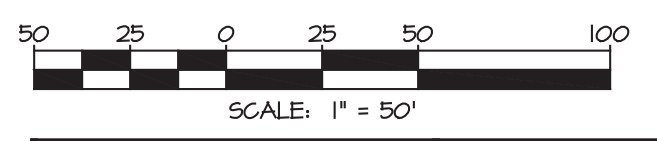


LINE TABLE

LINE	BEARING	DISTANCE
L-8	S 38° 21' 30" E	41.50'
L120	N 40° 26' 11" E	20.00'
L121	S 44° 33' 44" E	130.16'
L122	N 44° 33' 44" W	111.76'
L123	S 38° 21' 30" E	13.54'
L124	N 64° 23' 32" W	4.04'
L125	S 04° 51' 33" W	13.51'
L126	S 51° 04' 56" W	1.58'
L127	S 38° 21' 30" E	10.05'
L128	S 25° 16' 17" E	10.04'
L129	N 51° 04' 56" E	10.71'
L130	N 04° 51' 33" E	10.50'
L132	S 04° 51' 33" W	10.15'
L133	S 26° 21' 21" W	3.71'
L134	S 64° 21' 51" E	20.00'
L135	N 26° 24' 27" E	6.36'
L136	N 04° 51' 33" E	1.25'
L137	N 44° 33' 44" W	23.23'
L157	N 78° 51' 40" W	10.62'
L158	S 11° 08' 20" W	21.60'
L159	N 51° 54' 41" E	20.52'

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C-104	514.00'	178.45'	S 38° 04' 52" E	171.56'
C-110	24.98'	41.33'	S 80° 44' 30" E	36.71'
C-111	25.00'	41.32'	N 04° 33' 52" E	36.71'
C-112	636.00'	263.01'	N 54° 31' 56" W	261.20'
C-113	514.00'	164.81'	N 57° 11' 46" W	164.11'
C-116	514.00'	158.31'	S 40° 07' 01" E	157.68'
C-117	636.00'	244.06'	S 42° 11' 13" E	242.56'
C-118	625.00'	153.42'	S 60° 20' 08" E	153.53'
C-119	525.00'	164.06'	S 58° 04' 56" E	168.33'
C-136	486.00'	168.73'	N 38° 04' 52" W	167.88'
C-137	664.00'	443.44'	N 41° 21' 01" W	435.24'
C-139	486.00'	155.83'	N 57° 11' 46" W	155.17'
C-142	486.00'	144.68'	N 40° 07' 01" W	144.04'
C-153	475.00'	152.46'	N 58° 04' 56" W	152.30'
C-154	675.00'	167.78'	N 60° 16' 12" W	167.35'
C-156	664.00'	56.77'	N 34° 31' 44" W	56.75'
C-146	646.71'	57.46'	S 30° 48' 24" E	57.44'



PLAT

MIRA
REGISTERED PROFESSIONAL ENGINEER
No. 12489
10/27/21

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SITE PLAN FOR PATRIOTS GLEN PHASE 1

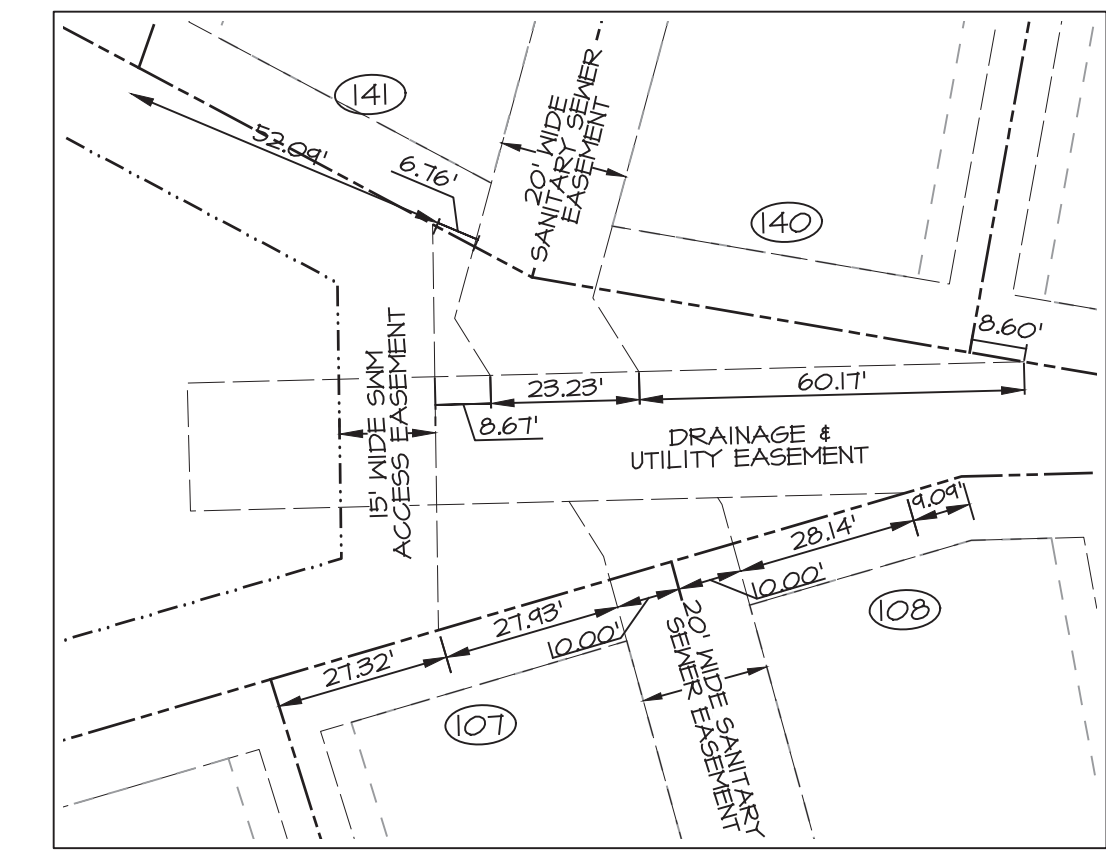
INDIAN RIVER HUNDRED

SUSSEX COUNTY, DELAWARE

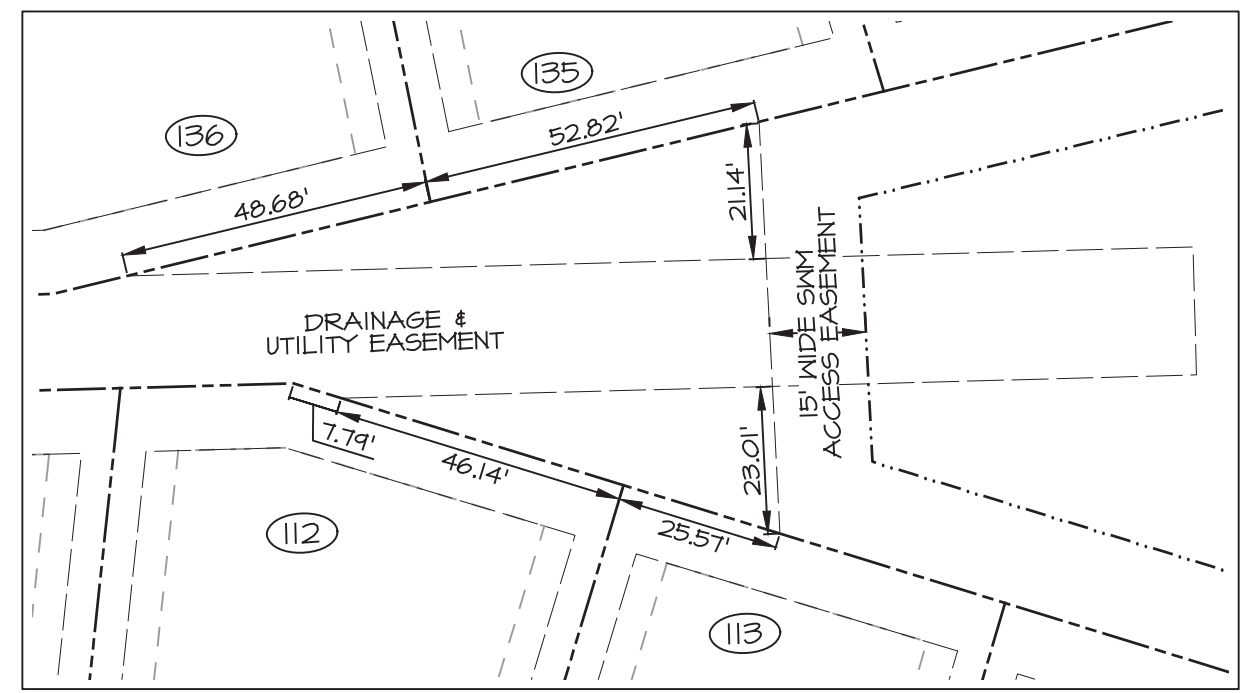
DATE	REVISIONS	JOB NO.:
		20296
		SCALE: 1"= 50'
		DATE: 10/21/2021
		DRAWN BY: CJF
		DESIGN BY: CJF
		REVIEW BY: PLT
		SHEET: 5 OF 6

- LEGEND**
- EXISTING PROPERTY LINE
 - LANDSCAPE BUFFER
 - ADJACENT PROPERTY LINE
 - PROPOSED LOT LINE
 - PROPOSED RIGHT OF WAY LINE
 - PROPOSED STORMWATER MANAGEMENT AREA
 - LINE OF SIGHT
 - PROPOSED SETBACK LINE
 - EXISTING EASEMENT LINE
 - PROPOSED EASEMENT LINE
 - UNDISTURBED FORESTED AREA
 - PROPOSED CONCRETE SIDEWALK
 - LOT LINE TO BE EXPUNGED*
 - EASEMENT TO BE EXPUNGED*
- *LOT LINES AND EASEMENT (SEE PB 156 PG 16) TO BE EXPUNGED PER THIS PLAT

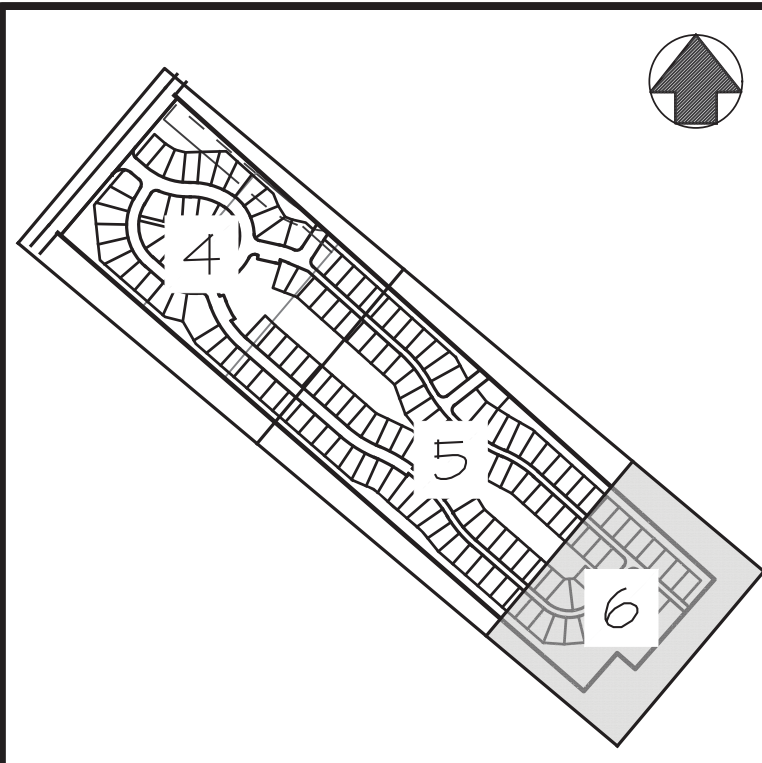
DETAIL 1
SCALE: 1"=30'



DETAIL 2
SCALE: 1"=30'



G:\20296-Patriots Glen\PLANNING\PRELIMINARY\Phase 1\PLAT\20296_Site Plans.DWG, 10/27/2021 10:09:33 AM, Copyright 2021, Morris & Ritchie Associates, Inc.



KEY MAP
SCALE: 1"=800'

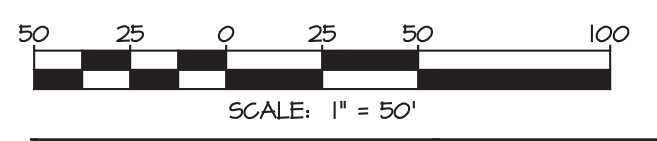
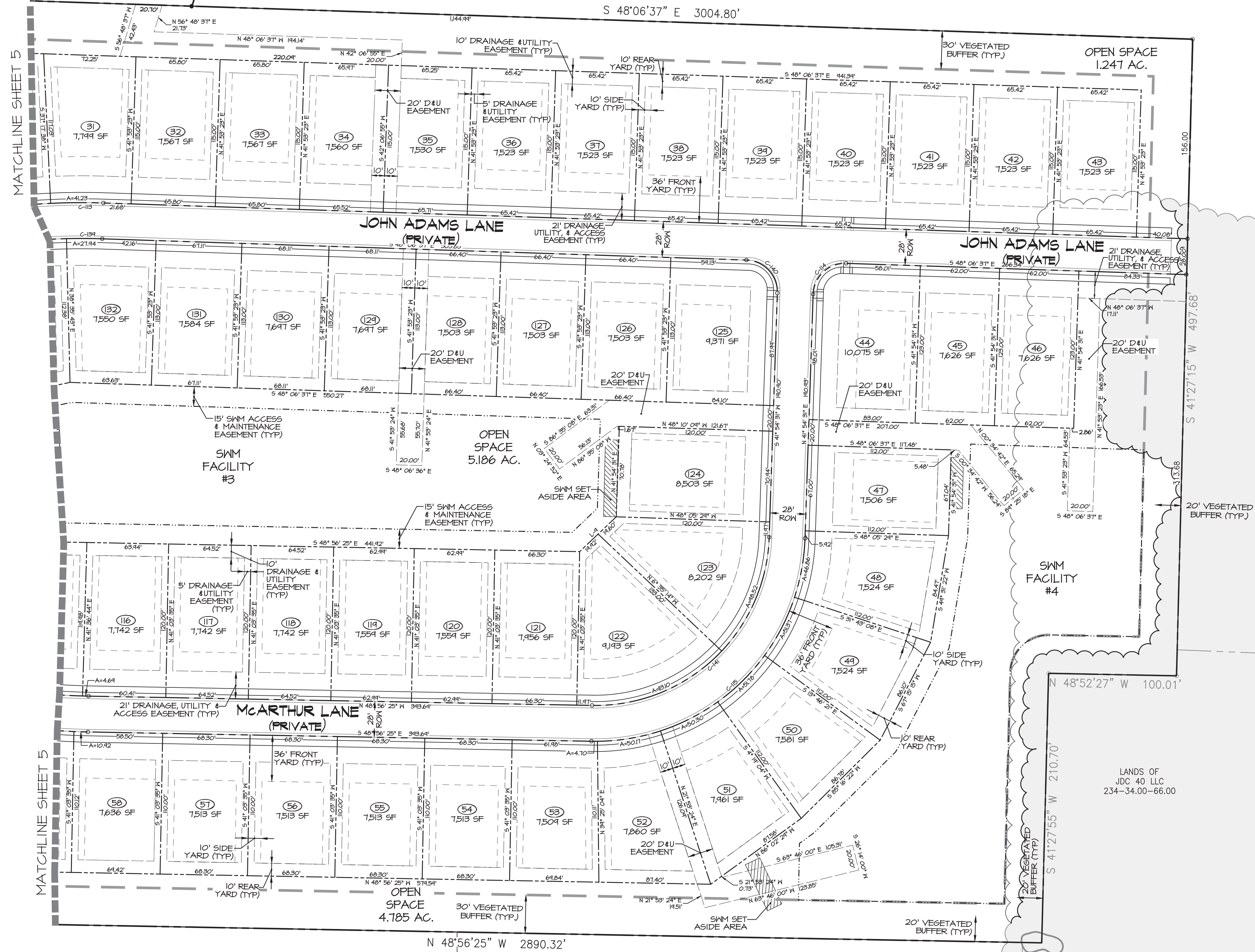
CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C-13	514.00'	164.81'	N 51° 17' 46" W	164.11'
C-14	25.00'	34.26'	N 86° 53' 51" E	35.35'
C-15	164.00'	250.48'	N 85° 34' 41" E	226.84'
C-16	514.00'	158.31'	S 40° 07' 01" E	157.68'
C-134	486.00'	155.83'	N 57° 17' 46" W	155.17'
C-140	25.00'	34.28'	S 03° 06' 03" E	35.36'
C-141	136.00'	211.61'	S 86° 24' 03" W	190.90'
C-142	486.00'	144.68'	N 40° 07' 01" W	144.04'

LEGEND

- EXISTING PROPERTY LINE
- LANDSCAPE BUFFER
- ADJACENT PROPERTY LINE
- PROPOSED LOT LINE
- PROPOSED RIGHT OF WAY LINE
- PROPOSED STORMWATER MANAGEMENT AREA
- LINE OF SIGHT
- PROPOSED SETBACK LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- UNDISTURBED FORESTED AREA
- PROPOSED CONCRETE SIDEWALK
- LOT LINE TO BE EXPUNGED*
- EASEMENT TO BE EXPUNGED*

*LOT LINES AND EASEMENT (SEE PB 156 PG 76) TO BE EXPUNGED PER THIS PLAT



PLAT



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SITE PLAN
FOR
PATRIOTS GLEN

DATE	REVISIONS	JOB NO.:
		20296
		SCALE: 1"= 50'
		DATE: 10/21/2021
		DRAWN BY: CJF
		DESIGN BY: CJF
		REVIEW BY: PLT
		SHEET: 6 OF 6

FINAL SITE PLAN

FOR

ACADIA LANDING CLUBHOUSE

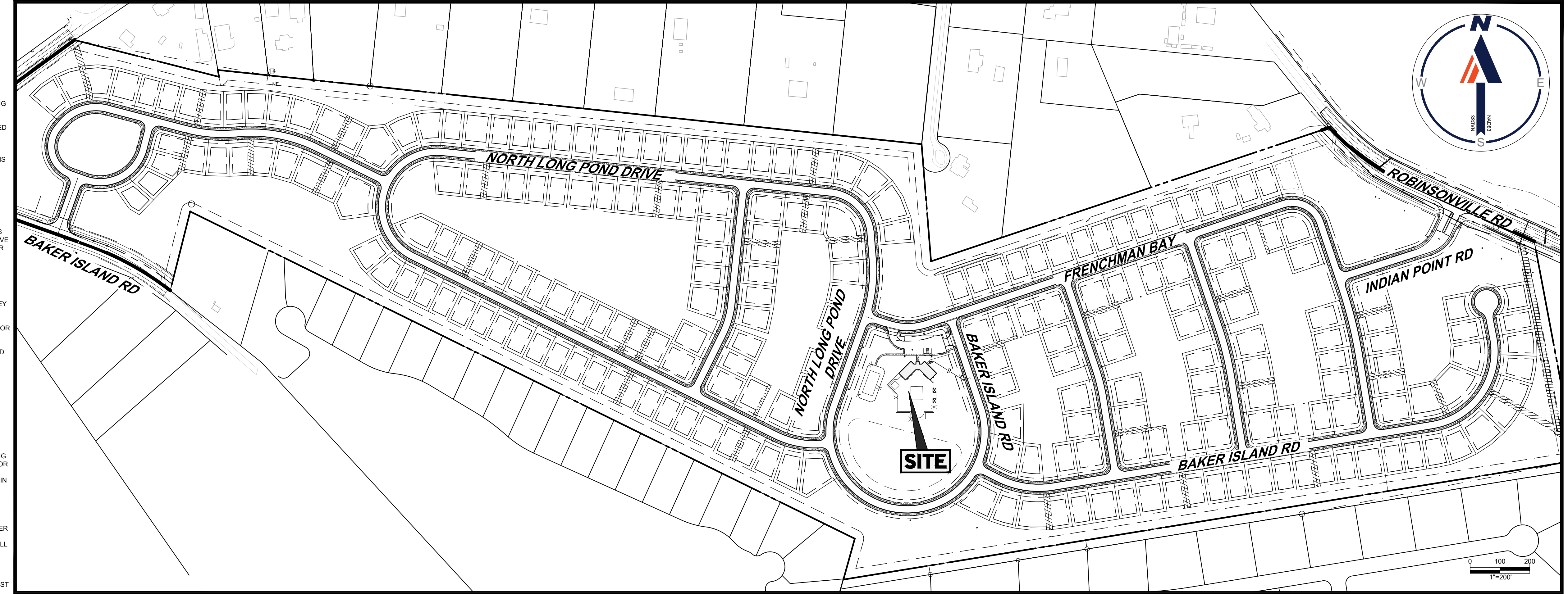
PROPOSED

RESIDENTIAL SUBDIVISION

INDIAN RIVER HUNDRED
 ROBINSONVILLE ROAD
 SUSSEX COUNTY, DE
 TAX MAP: 234-11.00-60.00
 COUNTY PROJECT REFERENCE NUMBER: 2018-01

SHEET INDEX	
SHEET TITLE	SHEET NUMBER
COVER SHEET	1
FINAL SITE PLAN	2
LANDSCAPE PLAN	3
LANDSCAPE NOTES AND DETAILS	4

DEVELOPMENT STANDARDS		
	SINGLE FAMILY (REQUIRED)	SINGLE FAMILY (PROVIDED)
TRACT AREA:	112.21 AC	112.21 AC
LOT AREA PER DWELLING UNIT:	7,500 SF	MIN 7,500 SF
STREET FRONTAGE:	30 FT	MIN 30 FT
LOT WIDTH AT FRONT BUILDING LINE:	60 FT	MIN 60 FT
MAX BUILDING HEIGHT:	42 FT	42 FT
SETBACKS		
FRONT YARD:	25 FT	25 FT
SIDE YARD (ONE / SUM OF BOTH):	10 FT	10 FT
REAR YARD:	10 FT	10 FT
CORNER YARD:	15 FT	15 FT



- GENERAL NOTES**
- THE OWNERS OF THE PROPERTY SHOWN HEREON IS:
 ACADIA DEVELOPMENT, LLC BY INSIGHT HOMES, INC
 16255 SUSSEX HIGHWAY
 BRIDGEVILLE, DE 19933
 (302)-337-0400
 ROBERT M. LISLE, CHIEF EXECUTIVE OFFICER
 ROBERT@INSIGHTDE.COM
 - DELAWARE PLUS NUMBER: 2017-11-02
 SUSSEX COUNTY PROJECT REFERENCE NUMBER: 2018-01
 - SITE ADDRESS: DORMAN & ROBINSONVILLE ROAD LEWES, DELAWARE 19958
 - VERTICAL DATUM USED - NAVD 88
 HORIZONTAL DATUM USED - DELAWARE STATE PLANE NAD 83
 (REFER TO PREVIOUSLY APPROVED PARKER & ASSOCIATES PLAN DATED 05/01/2020 FOR MORE INFORMATION)
 - SITE COORDINATES: 38.405326 N, 75.112571 W
 - TOTAL AREA: 117.21 +/- ACRES IN SUSSEX COUNTY.
 - ACCORDING TO THE NATIONAL WETLANDS INVENTORY MAPPING, THERE ARE 0 AC OF WETLANDS PRESENT ON THIS SITE.
 - SITE IS LOCATED WITHIN THE INLAND BAYS WATERSHED
 - ZONING: AR-1- AGRICULTURAL RESIDENTIAL.
 - TOTAL AREA OF DISTURBANCE: 120.73 ± ACRES FOR 234 LOT RESIDENTIAL.
 - OPEN SPACE CALCULATIONS:
 PASSIVE: 33.24 AC
 RECREATIONAL: 1.82 AC
 PONDS: 12.62 AC
 NET DEVELOPMENT AREA: 73.05 AC
 - CLUBHOUSE PARKING
 TYPE OF BUSINESS: COMMERCIAL
 PARKING SPACES REQUIRED: 1 SPACE / 200 SF FLOOR AREA
 4,100 SF / 200 SF = 21 SPACES
 PARKING SPACES PROVIDED: 28 SPACES (INCLUDING 2 ADA VAN ACCESSIBLE SPACE)
 - ALL RESIDENTIAL AND CLUBHOUSE BUILDING CONSTRUCTION IS TO BE WOOD FRAME WITH A MAXIMUM HEIGHT OF 2 STORIES.
 - CLUBHOUSE IS TO BE WOOD FRAME CONSTRUCTION. BUILDING WILL NOT BE SPRINKLERED, AND WILL HAVE A MAXIMUM HEIGHT OF 39'-0".
 - STORMWATER DISCHARGE IS TO OCCUR AT SOUTHERN MOST POINT, CROSSING ROBINSONVILLE RD, DISCHARGING INTO FEDERAL WETLANDS
 - THIS PROPERTY IS SHOWN ON F.I.R.M. COMMUNITY PANEL # 10006030340K DATED MARCH 16, 2015. LOCATED IN ZONE X, AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
 - ALL WATER SERVICE LINES, CURB BOX, VALVES AND INCIDENTAL CONNECTIONS ITEMS TO BUILDINGS SHALL CONFORM WITH SUSSEX COUNTY AND DNREC STANDARD SPECIFICATIONS AND DETAILS FOR UTILITIES DESIGN AND CONSTRUCTION.
 - IN THE EVENT THAT AN ERROR, OVERSIGHT, OR OMISSION BY BOHLER IS DISCOVERED OR SHOULD HAVE REASONABLY BEEN DISCOVERED DURING THE COURSE OF CONSTRUCTION, CLIENTS OR CONTRACTORS SHALL PROVIDE BOHLER AN IMMEDIATE NOTICE IN ORDER TO PROVIDE THE OPPORTUNITY TO IMPLEMENT AN ACCEPTABLE SOLUTION TO REMEDY OR MINIMIZE THE IMPACTS OF THE CONTRACTOR TO BOHLER. THE CLIENT OR CONTRACTOR SHALL RELIEVE BOHLER OF ANY LIABILITY THAT MAY ARISE FROM SAID ERROR, OVERSIGHT, OR OMISSION.
 - ALL FIRE LINES, EXITS, STANDPIPE AND SPRINKLER CONNECTIONS WILL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS.
 - THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, MODIFY OR DELETE ANY EROSION AND SEDIMENT CONTROL MEASURES AS THEY DEEM NECESSARY.
 - MISS UTILITY SHALL BE NOTIFIED THREE (3) CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION AT 1-800-282-8555
 - ALL FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
 - WATER SERVICE PROVIDED BY TIDEWATER UTILITIES INC. SEWER TO BE PROVIDED BY SUSSEX COUNTY.
 - CONTRACTOR IS TO VERIFY ALL ELEVATIONS LISTED ON THE PLAN WITH A MINIMUM OF THREE BENCHMARKS THAT ARE ON THIS PROJECT'S UTILIZED DATUM PRIOR TO COMMENCING ANY CONSTRUCTION. IF ANY LOCATIONS OR ELEVATIONS OF BENCHMARKS, EXISTING FACILITIES, OR STRUCTURES DIFFER FROM THAT SHOWN HERE ON, CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER AT 302-644-1155.
 - WATER MAINS SHALL BE LOCATED AT LEAST 10 FEET AWAY FROM ANY EXISTING OR PROPOSED SEWERS OR FORCEMAINS. WATER MAINS CROSSING SEWERS OR FORCEMAINS SHALL BE LOCATED AT LEAST 18 INCHES ABOVE THE SEWERS. CROSSINGS SHALL BE ARRANGED SO THAT THE JOINTS IN THE WATER MAIN WILL BE AS FAR AS POSSIBLE FROM THE SEWER JOINTS.
 - THIS SITE IS LOCATED WITHIN AN AREA OF "FAIR" GROUNDWATER RECHARGE POTENTIAL.
 - THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED BETWEEN THE DRAWINGS AND EXISTING CONDITIONS. ERRORS OR OMISSIONS IN DRAWINGS OR LAYOUT SHALL BE TREATED AS A DISCREPANCY. ALL DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONTINUATION OF WORK.
 - THIS PLAN IS BASED ON DESIGN ELEMENTS SHOWN ON A PREVIOUSLY APPROVED PLAN PREPARED BY PARKER AND ASSOCIATES, DATED 5/1/2020. LAST REVISED ON 7/10/2020, AND APPROVED BY DELDOT ON 7/23/2020. THIS PLAN IS FOR PERMITTING PURPOSE ONLY. SOME INFORMATION SHOWN ON THESE PLANS IS PROVIDED FOR REFERENCE ONLY. REFER TO THE PREVIOUSLY APPROVED PLANS FOR MORE INFORMATION.

BOHLER™
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	PER SUSSEX COUNTY COMMENTS	CHECKED BY
1	10/15/21			BLJ STF

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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: DE190039
 DRAWN BY: BJJ
 CHECKED BY: STF
 DATE: 07/23/21
 CAD ID: 0

PROJECT:
FINAL SITE PLAN
 FOR
ACADIA LANDING CLUBHOUSE
 PROPOSED RESIDENTIAL SUBDIVISION
 INDIAN RIVER HUNDRED ROBINSONVILLE ROAD
 SUSSEX COUNTY, DE
 TAX MAP: 234-11.00-60.00

BOHLER //
 18958 COASTAL HWY, SUITE D
 REHOBOTH BEACH, DE 19971
 Phone: (302) 644-1155
 Fax: (302) 703-3173
 BohlerEngineering.com

CERTIFICATION OF OWNERSHIP

I HEREBY CERTIFY THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THIS PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

ROB LISLE / KEVIN BROZYNA DATE
 BAYLIS ESTATES INVESTMENTS, LLC
 16255 SUSSEX HIGHWAY
 BRIDGEVILLE, DE 19933
 P: (443) 532-5222

LOCATION MAP

OWNER
 ACADIA DEVELOPMENT, LLC
 BY INSIGHT HOMES, INC
 16255 SUSSEX HIGHWAY
 BRIDGEVILLE, DE 19933
 (302) 337-0400

PREPARED BY

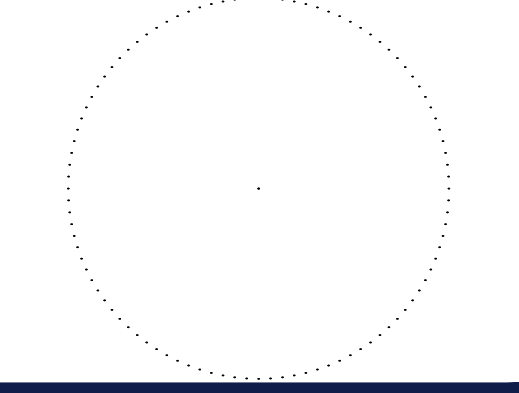
BOHLER //

CONTACT: STEVEN T. FORTUNATO, P.E.

CERTIFICATION OF ACCURACY (ENGINEER)

I, STEVEN T. FORTUNATO, P.E., HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

Steven Fortunato
 No. 19519
 10/15/2021
 DATE
 STEVEN T. FORTUNATO, P.E.
 BOHLER
 18958 COASTAL HWY, SUITE D
 REHOBOTH BEACH, DE 19971
 P: (302) 644-1155 / F: (302) 703-3173

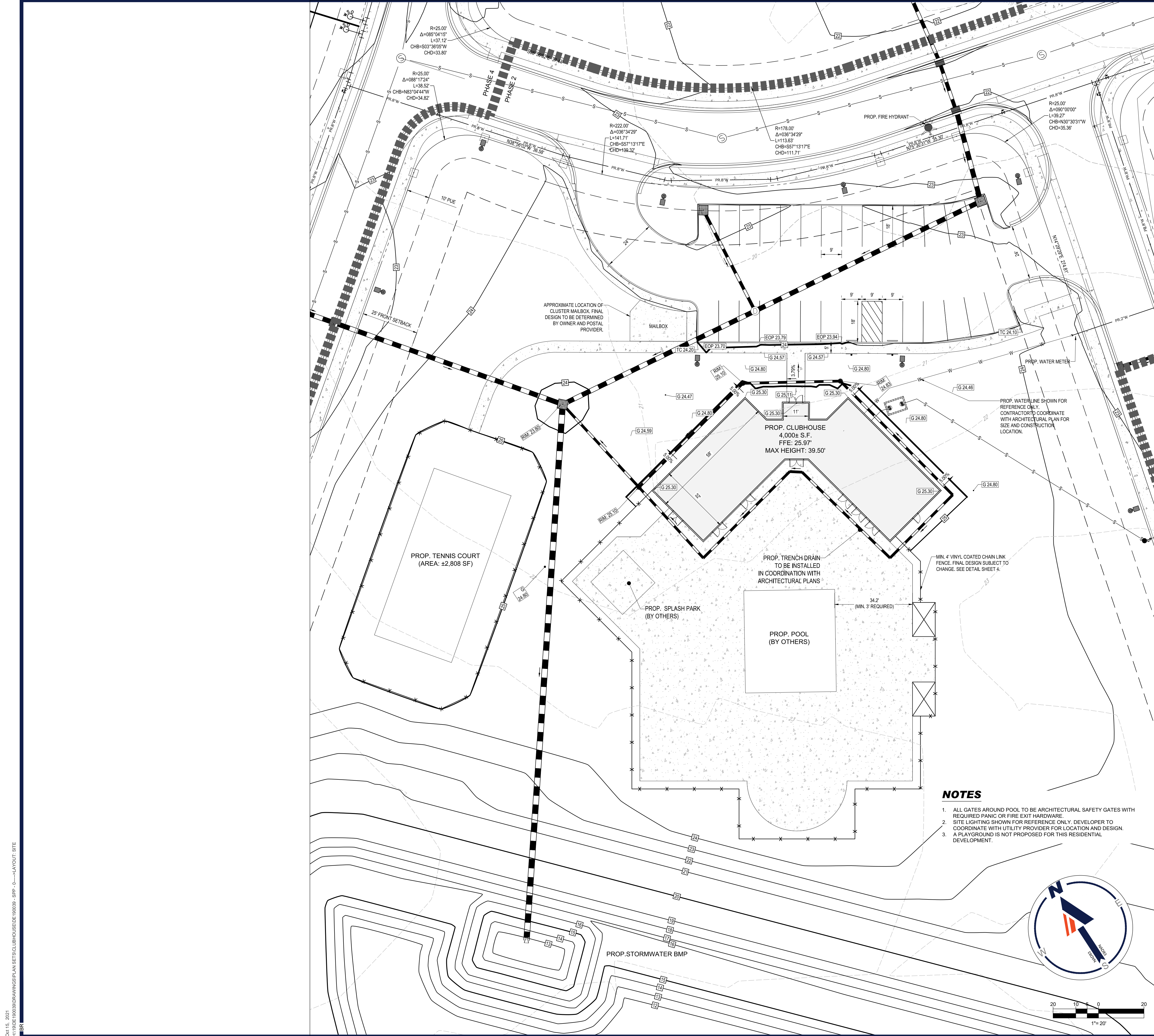


SHEET TITLE:
COVER SHEET

SHEET NUMBER:
1
 OF 2

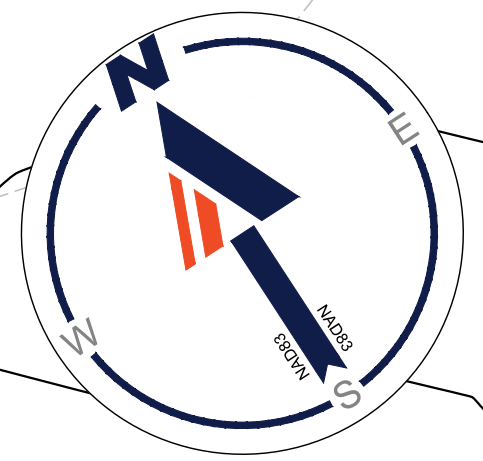
REVISION 1 - 11/12/2020

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL APPLICABLE LAWS, REGULATIONS AND ORDINANCES.



NOTES

1. ALL GATES AROUND POOL TO BE ARCHITECTURAL SAFETY GATES WITH REQUIRED PANIC OR FIRE EXIT HARDWARE.
2. SITE LIGHTING SHOWN FOR REFERENCE ONLY. DEVELOPER TO COORDINATE WITH UTILITY PROVIDER FOR LOCATION AND DESIGN.
3. A PLAYGROUND IS NOT PROPOSED FOR THIS RESIDENTIAL DEVELOPMENT.



STANDARD DRAWING LEGEND		
FOR ENTIRE PLAN SET (NOT TO SCALE)		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
	ONSITE PROPERTY LINE / R.O.W. LINE	
	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	
	EASEMENT LINE	
	SETBACK LINE	
		CURB AND GUTTER
		SPILL CURB TRANSITION CURB
		DEPRESSED CURB AND GUTTER
	UTILITY POLE WITH LIGHT	
	POLE LIGHT	
	TRAFFIC LIGHT	
	UTILITY POLE	
	TYPICAL LIGHT	
	ACORN LIGHT	
	TYPICAL SIGN	
	PARKING COUNTS	
	CONTOUR LINE	
	SPOT ELEVATIONS	
	SANITARY LABEL	
	STORM LABEL	
	SANITARY SEWER LATERAL	
	UNDERGROUND WATER LINE	
	UNDERGROUND ELECTRIC LINE	
	UNDERGROUND GAS LINE	
	OVERHEAD WIRE	
	UNDERGROUND TELEPHONE LINE	
	UNDERGROUND CABLE LINE	
	STORM SEWER	
	SANITARY SEWER MAIN	
	HYDRANT	
	SANITARY MANHOLE	
	STORM MANHOLE	
	WATER METER	
	WATER VALVE	
	GAS VALVE	
	GAS METER	
	TYPICAL END SECTION	
	HEADWALL OR ENDWALL	
	YARD INLET	
	CURB INLET	
	CLEAN OUT	
	ELECTRIC MANHOLE	
	TELEPHONE MANHOLE	
	ELECTRIC BOX	
	ELECTRIC PEDESTAL	
	MONITORING WELL	
	TEST PIT	
	BENCHMARK	
	BORING	

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
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TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	10/15/21	PER SUSSEX COUNTY COMMENTS	BJU STF

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PROJECT No.: DE190039
DRAWN BY: BJU
CHECKED BY: STF
DATE: 07/23/21
CAD ID: 0

FINAL SITE PLAN

FOR

ACADIA LANDING CLUBHOUSE

PROPOSED RESIDENTIAL SUBDIVISION

INDIAN RIVER HUNDRED
BEAVER DAM ROAD
SUSSEX COUNTY, DE
TAX MAP: 234-11.00-60.00

BOHLER

18958 COASTAL HWY, SUITE D
REHOBOTH BEACH, DE 19971
Phone: (302) 644-1155
Fax: (302) 703-3173
BohlerEngineering.com

S.T. FORTUNATO
Professional Engineer
No. 19519
18/2022
Professional Engineer

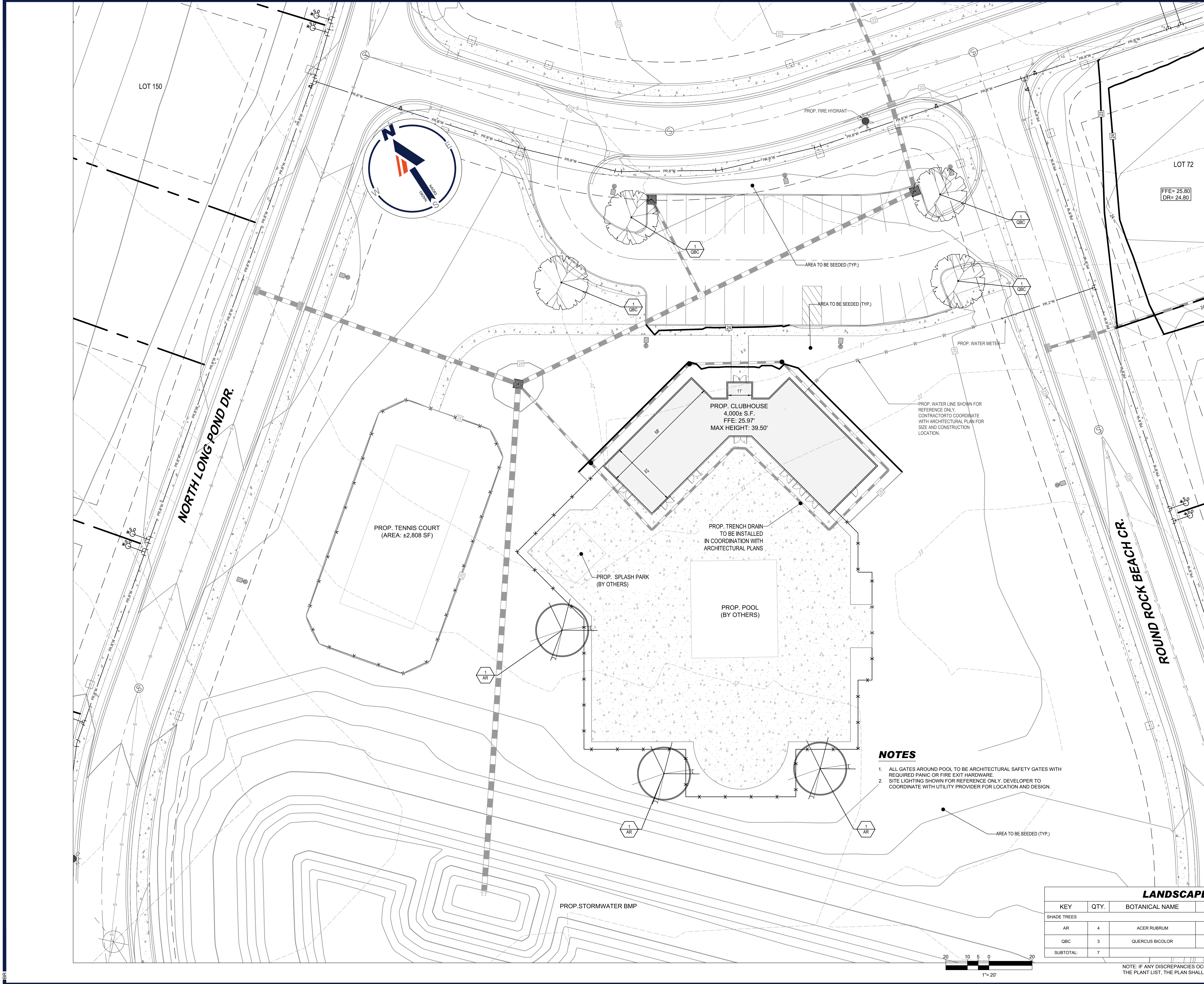
SHEET TITLE:

FINAL SITE PLAN

SHEET NUMBER:

2

REVISION 1 - 11/12/2020



REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	10/15/21	PER SUSSEX COUNTY COMMENTS	BIJ	STF

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PROJECT No.: DE190039
 DRAWN BY: BIJ
 CHECKED BY: STF
 DATE: 07/23/21
 CAD ID: 0

FINAL SITE PLAN

FOR

ACADIA LANDING CLUBHOUSE

PROPOSED RESIDENTIAL SUBDIVISION
 INDIAN RIVER HUNDRED
 BEAVER DAM ROAD
 SUSSEX COUNTY, DE
 TAX MAP: 234-11.00-60.00

BOHLER
 18958 COASTAL HWY, SUITE D
 REHOBOTH BEACH, DE 19971
 Phone: (302) 644-1155
 Fax: (302) 703-3173
 BohlerEngineering.com

E.R. McWILLIAMS
 REGISTERED LANDSCAPE ARCHITECT
DELAWARE LICENSE NO. 810000002

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
3

REVISION 1 - 11/12/2020

- NOTES**
- ALL GATES AROUND POOL TO BE ARCHITECTURAL SAFETY GATES WITH REQUIRED PANO OR FIRE EXIT HARDWARE
 - SITE LIGHTING SHOWN FOR REFERENCE ONLY. DEVELOPER TO COORDINATE WITH UTILITY PROVIDER FOR LOCATION AND DESIGN.

LANDSCAPE SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL. / HT.	CONT.
SHADE TREES					
AR	4	ACER RUBRUM	RED MAPLE	2 1/2-3" CAL / 12-14'	B+B
OBC	3	QUERCUS BICOLOR	SWAMP WHITE OAK	2 1/2-3" CAL / 12-14'	B+B
SUBTOTAL:	7				

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

STANDARD DRAWING LEGEND

FOR ENTIRE PLAN SET (NOT TO SCALE)		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	ONSITE PROPERTY LINE / R.O.W. LINE	---
---	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
CURB AND GUTTER		
---	CONCRETE CURB & GUTTER	---
---	UTILITY POLE WITH LIGHT	---
---	POLE LIGHT	---
---	TRAFFIC LIGHT	---
---	UTILITY POLE	---
---	TYPICAL LIGHT	---
---	ACORN LIGHT	---
---	TYPICAL SIGN	---
---	PARKING COUNTS	---
CONTOUR LINE		
120	120	120
125	125	125
SPOT ELEVATIONS		
TC 516.00	TC 516.00	TC 516.00
TC 516.55	TC 516.55	TC 516.55
SANITARY LABEL		
SAN #	SAN #	SAN #
STORM LABEL		
STM #	STM #	STM #
SL	SANITARY SEWER LATERAL	SL
W	UNDERGROUND WATER LINE	W
E	UNDERGROUND ELECTRIC LINE	E
G	UNDERGROUND GAS LINE	G
OH	OVERHEAD WIRE	OH
T	UNDERGROUND TELEPHONE LINE	T
C	UNDERGROUND CABLE LINE	C
---	STORM SEWER	---
S	SANITARY SEWER MAIN	S
H	HYDRANT	H
SM	SANITARY MANHOLE	SM
DM	STORM MANHOLE	DM
WM	WATER METER	WM
WV	WATER VALVE	WV
GV	GAS VALVE	GV
GM	GAS METER	GM
TE	TYPICAL END SECTION	TE
HE	HEADWALL OR ENDWALL	HE
YI	YARD INLET	YI
CI	CURB INLET	CI
CO	CLEAN OUT	CO
EE	ELECTRIC MANHOLE	EE
ET	TELEPHONE MANHOLE	ET
EB	ELECTRIC BOX	EB
EP	ELECTRIC PEDESTAL	EP
MONITORING WELL		
MW	MONITORING WELL	MW
TEST PIT		
TP	TEST PIT	TP
BENCHMARK		
B	BENCHMARK	B

PLAN REFERENCES AND CONTACTS

- REFERENCES**
- **BOUNDARY & TOPOGRAPHIC SURVEY:** PARKER & ASSOCIATES, INC. 528 RIVERSIDE DRIVE SAUSBURY, MD 21801 PHONE: (410) 748-1023
 - **PREVIOUSLY APPROVED ENGINEERING:** PARKER & ASSOCIATES, INC. 528 RIVERSIDE DRIVE SAUSBURY, MD 21801 PHONE: (410) 748-1023
 - **GOVERNING AGENCIES**
 - **SUSSEX COUNTY PLANNING AND ZONING:** 2 THE CIRCLE P.O. BOX 417 GEORGETOWN, DE 19947 PHONE: (302) 855-7878
 - **SUSSEX COUNTY ENGINEERING DEPARTMENT:** 2 THE CIRCLE P.O. BOX 589 GEORGETOWN, DE 19947 PHONE: (302) 855-7718
 - **STATE FIRE MARSHAL:** 22705 PARK AVENUE GEORGETOWN, DE 19947 PHONE: (302) 856-5298
 - **DELAWARE HEALTH AND SOCIAL SERVICES OFFICE OF DRINKING WATER:** 43 SOUTH DUPONT HIGHWAY DOVER, DE 19901 PHONE: (302) 741-8640
 - **UTILITIES**
 - **WATER:** TIDEWATER 1100 SOUTH LITTLE CREEK ROAD DOVER, DE 19901 PHONE: (302) 747-1349
 - **SANITARY SEWER:** ARTESIAN WASTEWATER MANAGEMENT, INC. 14701 COASTAL HIGHWAY MILTON, DE 19968 PHONE: (302) 463-9900
 - **ROW JURISDICTION**
 - **DELDOT:** 800 S BAY ROAD DOVER, DE 19901 PHONE: (302) 760-2090

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS. HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

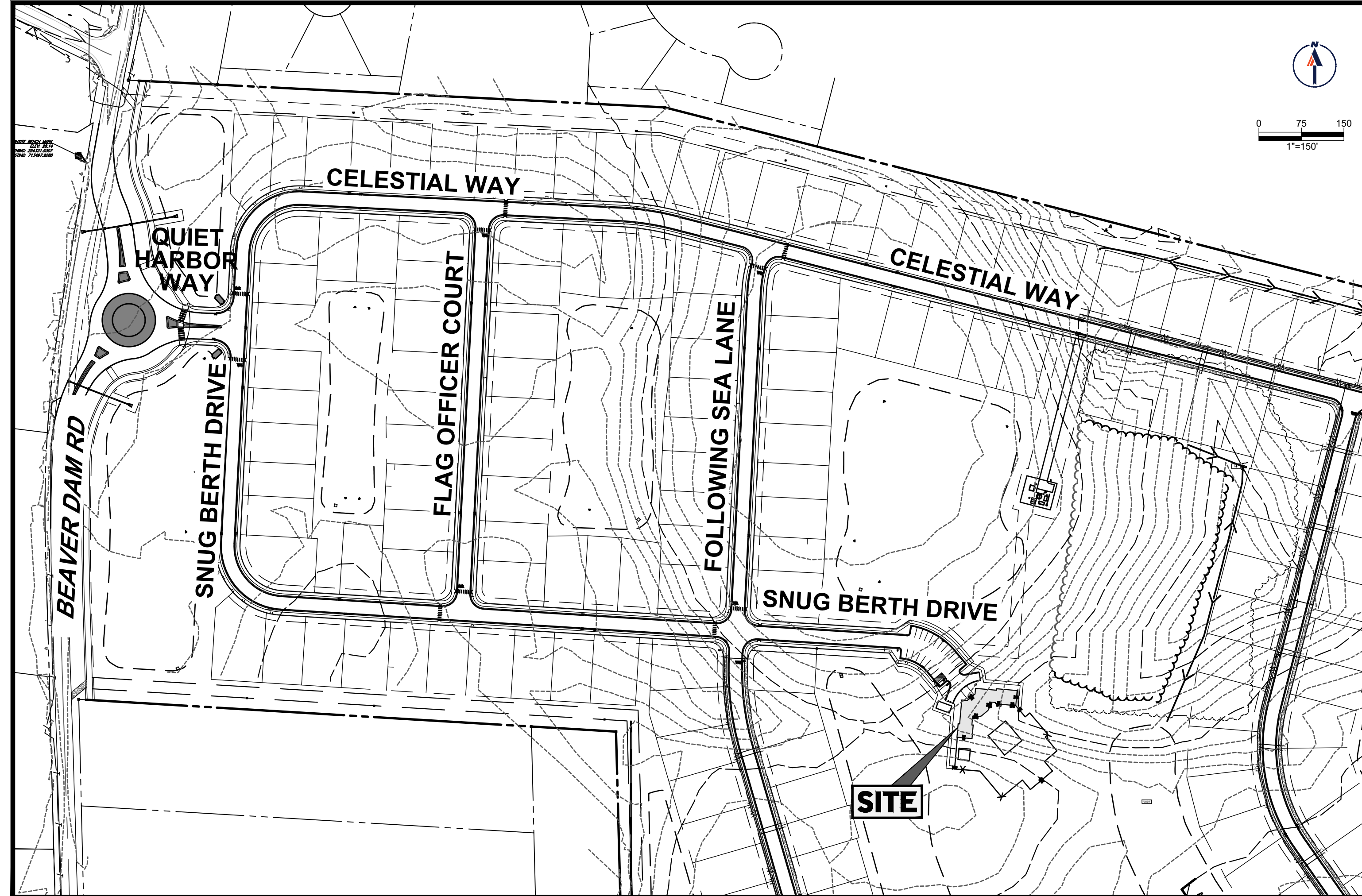
FINAL SITE PLAN

FOR ANCHORS RUN CLUBHOUSE

PROPOSED RESIDENTIAL SUBDIVISION

LOCATION OF SITE:
 BEAVER DAM ROAD
 SUSSEX COUNTY, DELAWARE
 INDIAN RIVER HUNDRED

TAX MAP 234-6.00-19.00 AND 234-6.00-20.01
 COUNTY PROJECT REFERENCE NUMBER: 2018-13



OWNER/DEVELOPER
 ANCHORS RUN INVESTMENTS, INC.
 16255 SUSSEX HIGHWAY
 BRIDGEVILLE, DE 19933
 CONTACT: ROBERT LISLE
 (302) 337-6967

APPLICANT
 BOHLER
 18958 COASTAL HWY, SUITE D
 REHOBOTH BEACH, DE 19971
 (302) 644-1155

PREPARED BY

BOHLER

CONTACT: STEVEN T. FORTUNATO, P.E.

CERTIFICATION OF ACCURACY (ENGINEER)

I, STEVEN T. FORTUNATO, P.E., HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

Steven T. Fortunato
 No. 19519
 DATE 10/15/2021

STEVEN T. FORTUNATO, P.E.
 BOHLER
 18958 COASTAL HWY, SUITE D
 REHOBOTH BEACH, DE 19971
 P: (302)644-1155 / F: (302)703-3173

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	1
FINAL SITE PLAN	2
LANDSCAPE PLAN	3
LANDSCAPE NOTES AND DETAILS	4

DEVELOPMENT STANDARDS

	SINGLE FAMILY (REQUIRED)	SINGLE FAMILY (PROVIDED)
TRACT AREA		132.71± AC
LOT AREA PER DWELLING UNIT	7,500 SF	MIN 7,500 SF
STREET FRONTAGE	30 FT	MIN 30 FT
LOT WIDTH AT FRONT BUILDING LINE	60 FT	MIN 60 FT
MAX BUILDING HEIGHT	42 FT	<42 FT
SETBACKS		
FRONT YARD	25 FT	25 FT
SIDE YARD (ONE / SUM OF BOTH)	10 FT	10 FT
REAR YARD	10 FT	10 FT
CORNER YARD	15 FT	15 FT

PROJECT NOTES

- OWNER/DEVELOPER:
 ANCHORS RUN INVESTMENT, INC.
 ROBERT LISLE
 16255 SUSSEX HIGHWAY
 BRIDGEVILLE, DE 19933
 (302) 337-6967
 ENGINEER:
 BOHLER
 18958 COASTAL HWY, SUITE D
 REHOBOTH BEACH, DE 19971
 (302) 644-1155
- TAX MAP PARCEL NO.: 234-6.00-19.00 AND 234-6.00-20.01.
- EXISTING ZONING: AR-1 (AGRICULTURAL RESIDENTIAL LOW-DENSITY AREA)
- PROPOSED ZONING: AR-1 (AGRICULTURAL RESIDENTIAL LOW-DENSITY AREA)
- EXISTING USE: VACANT/WOODED
- PROPOSED USE: RESIDENTIAL SUBDIVISION
 TOTAL PROPOSED LOTS: 265 SINGLE FAMILY
- DENSITY:
 PERMITTED: 5,780.848 SF/21,780 SF/LOT = 265 LOTS
 PROPOSED: TOTAL: 265 LOTS
- TOTAL SITE AREA: 132.71± AC
 OPEN SPACE CALCULATIONS:
 PASSIVE: 32.1 AC
 RECREATIONAL: 3.5 AC
 PONDS: 19.83 AC
 WOODS TO REMAIN: 16.80 AC
 NET DEVELOPMENT AREA: 60.68 AC
- INVESTMENT AREA: LEVEL 4
- DATUM:
 HORIZONTAL: NAD 83 (DELAWARE STATE PLANE GRID)
 VERTICAL: NAVD 88
 (REFER TO APPROVED PARKER & ASSOCIATE PLANS DATED 01/14/2020)
- EXISTING GROSS ACREAGE: ±5,780.848 SF (132.71AC)
 PROPOSED GROSS ACREAGE: ±5,780.848 SF (132.71AC)
- THIS PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE .02% CHANCE ANNUAL FLOODPLAIN) PER FIRM MAP NUMBER 1005C0330J, LAST REVISED: MARCH 16, 2015.
- ACCESS TO THE SITE SHALL BE FROM BEAVER DAM RD VIA TWO PROPOSED ROUND ABOUT ENTRANCES (DESIGN BY OTHERS).
- ALL FIRE LANES, FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS, SPRINKLERS, STANDPIPE CONNECTIONS, AND FIRE EXITS SHALL BE MARKED AND/OR PROTECTED IN ACCORDANCE WITH THE DELAWARE STATE FIRE REGULATION.
- WATER SUPPLY: TIDEWATER UTILITIES, INC. SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL, THE DELAWARE STATE DIVISION OF PUBLIC HEALTH AND TIDEWATER UTILITIES, INC.
- SANITARY SEWER: ARTESIAN WASTEWATER MANAGEMENT, INC. SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND SUSSEX COUNTY ENGINEERING DEPARTMENT.
- ACCORDING TO THE NATIONAL WETLANDS MAPPING, ±0.21 AC OF WETLANDS HAVE BEEN IDENTIFIED ON THIS SITE.
- THIS SITE IS LOCATED WITHIN AN AREA OF "POOR" AND "FAIR" GROUND WATER RECHARGE POTENTIAL.
- SUSSEX COUNTY AGREEMENT: 1095-2.
- S.C.E. SUBDIVISION NO.: 2018-13.
- CLUBHOUSE PARKING
 TYPE OF BUSINESS: COMMERCIAL
 PARKING SPACES REQUIRED: 1 SPACE / 200 SF FLOOR AREA
 4,100 SF / 200 SF = 21 SPACES
 PARKING SPACES PROVIDED: 21 SPACES (INCLUDING 1 ADA VAN ACCESSIBLE SPACE)
- THIS PLAN IS BASED ON DESIGN ELEMENTS SHOWN ON A PREVIOUSLY APPROVED PLAN PREPARED BY PARKER AND ASSOCIATES, DATED 01/14/2020 AND APPROVED BY DELDOT ON 12/26/2019. THIS PLAN IS FOR PERMITTING PURPOSE ONLY. SOME INFORMATION SHOWN ON THESE PLANS IS PROVIDED FOR REFERENCE ONLY. REFER TO THE PREVIOUSLY APPROVED PLANS FOR MORE INFORMATION.

CERTIFICATION OF OWNERSHIP

I HEREBY CERTIFY THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THIS PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

ROB LISLE / KEVIN BROZYNA
 BAYLIS ESTATES INVESTMENTS, LLC
 16255 SUSSEX HIGHWAY
 BRIDGEVILLE, DE 19933
 P: (443) 532-5222

DATE



REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	10/15/21	PER SUSSEX COUNTY COMMENTS	BJU	STF



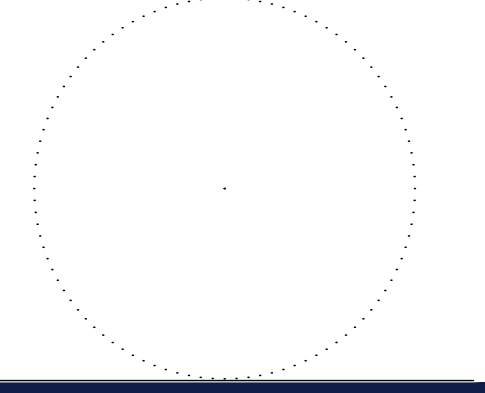
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PROJECT No.: DE190040
 DRAWN BY: BJU
 CHECKED BY: STF
 DATE: 07/23/21
 CAD ID: SDP - 0

FINAL SITE PLAN

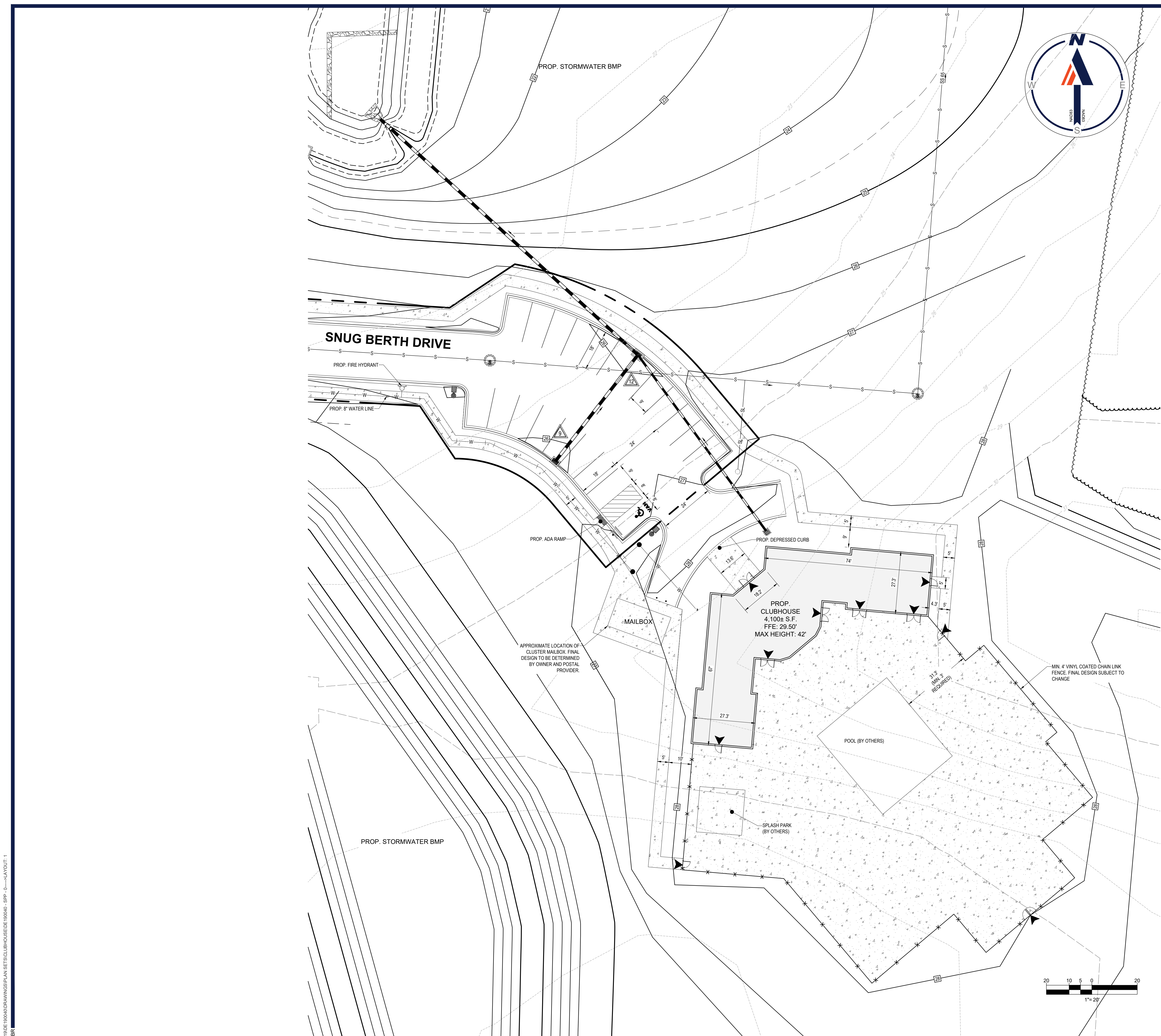
FOR
ANCHORS RUN CLUBHOUSE
 PROPOSED RESIDENTIAL SUBDIVISION
 INDIAN RIVER HUNDRED BEAVER DAM ROAD SUSSEX COUNTY, DE
 TAX MAP: 234-6.00-19.00 AND 234-6.00-20.01

BOHLER
 18958 COASTAL HWY, SUITE D
 REHOBOTH BEACH, DE 19971
 Phone: (302) 644-1155
 Fax: (302) 703-3173
 BohlerEngineering.com



COVER SHEET

SHEET NUMBER: 1 OF 2
 REVISION 1 - 11/12/2020



NOTES

1. ALL GATES AROUND POOL TO BE ARCHITECTURAL SAFETY GATES WITH REQUIRED PANIC OR FIRE EXIT HARDWARE.
2. SITE LIGHTING SHOWN FOR REFERENCE ONLY. ALL SITE LIGHTING SHALL BE DOWNWARD SCREENED. DEVELOPER TO COORDINATE WITH UTILITY PROVIDER FOR LOCATION AND DESIGN.
3. A PLAYGROUND IS NOT PROPOSED FOR THIS DEVELOPMENT.

BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

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 Know what's below.
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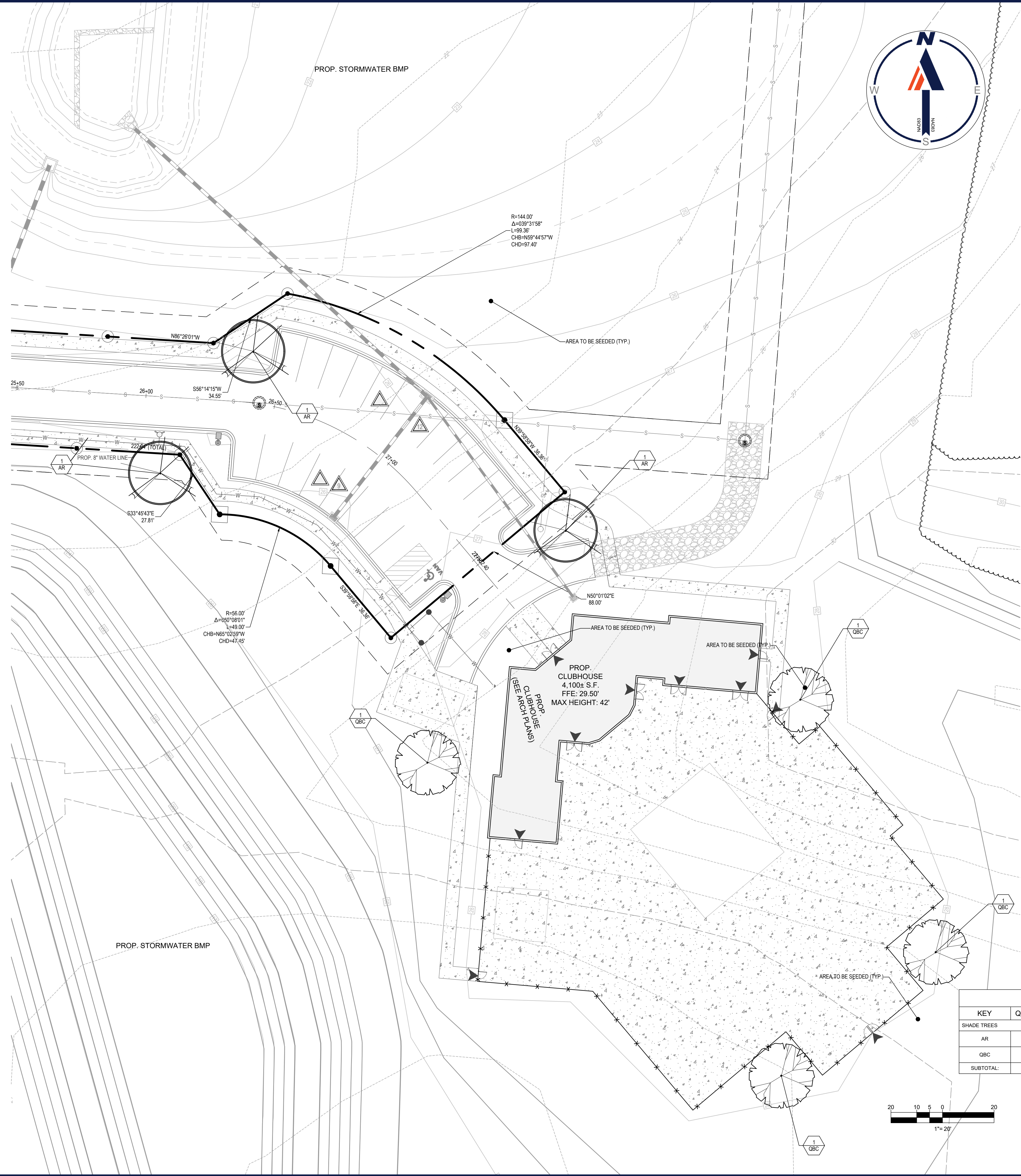
PROJECT:
FINAL SITE PLAN
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S.T. FORTUNATO
 No. 19519
 PROFESSIONAL ENGINEER
 DE & AWAKE
 PROFESSIONAL ENGINEER

SHEET TITLE:
FINAL SITE PLAN
 SHEET NUMBER:
2
 OF 2
 REVISION 1 - 11/12/2020

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REVISIONS

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PROJECT:
FINAL SITE PLAN
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E.R. McWILLIAMS
 REGISTERED LANDSCAPE ARCHITECT
DELAWARE LICENSE NO. 310000002

SHEET TITLE:
LANDSCAPE PLAN
 SHEET NUMBER:
3
 OF 4
 REVISION 1 - 11/12/2020

LANDSCAPE SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL. / HT.	CONT.
SHADE TREES					
AR	3	ACER RUBRUM	RED MAPLE	2 1/2-3" CAL. / 12-14'	B+B
QBC	4	QUERCUS BICOLOR	SWAMP WHITE OAK	2 1/2-3" CAL. / 12-14'	B+B
SUBTOTAL:	7				

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

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LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK:
THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS
A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.

B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.

C. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM SIX INCH (6") THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES.
1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
2. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS.
3. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.

D. MULCH - THE MULCH AROUND THE PERIMETER OF THE BUILDING SHALL BE A 3" LAYER OF DOUBLE SHREDDED BLACK CEDAR MULCH ONLY. ALL OTHER AREAS SHALL BE MULCHED WITH A 3" LAYER OF DOUBLE SHREDDED DARK BROWN HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.

E. FERTILIZER
1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
2. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.

F. PLANT MATERIAL
1. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
4. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4", WHICH HAVE NOT BEEN COMPLETELY CALLED, SHALL BE REJECTED. PLANTS SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH. WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
6. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
7. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
1.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

3. GENERAL WORK PROCEDURES
A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

4. SITE PREPARATIONS
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE REMAINDER OF THE REMAINDER OF THE REMAINDER ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.

C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.

5. TREE PROTECTION
A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY VISI-FENCE, OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

6. SOIL MODIFICATIONS
A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
1.1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
1.2. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
1.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

7. FINISHED GRADING
A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").
C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

8. TOPSOILING
A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
D. ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE FILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA).
1.1. 20 POUNDS GROW POWER OR APPROVED EQUAL
1.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP

E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

9. PLANTING
A. INsofar THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
D. ALL PLANTING CONTAINERS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
1.1. PLANTS: MARCH 15 TO DECEMBER 15
1.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
G. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.
H. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY. THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:
ACER RUBRUM PLATANUS X ACERIFOLIA
BETULA VARIETIES POPULUS VARIETIES
CARPINUS VARIETIES PRUNUS VARIETIES
CRATAEGUS VARIETIES PYRUS VARIETIES
KOELFUEERIA QUERCUS VARIETIES
LIQUIDAMBAR STYRACIFLUA TILIA TOMENTOSA
LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES

I. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL, MIXED THOROUGHLY:
• 1 PART PEAT MOSS
• 1 PART COMPOSTED COW MANURE BY VOLUME
• 3 PARTS TOPSOIL BY VOLUME
• 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
A) 2 TABLETS PER 1 GALLON PLANT
B) 3 TABLETS PER 5 GALLON PLANT
C) 4 TABLETS PER 15 GALLON PLANT
D) LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK

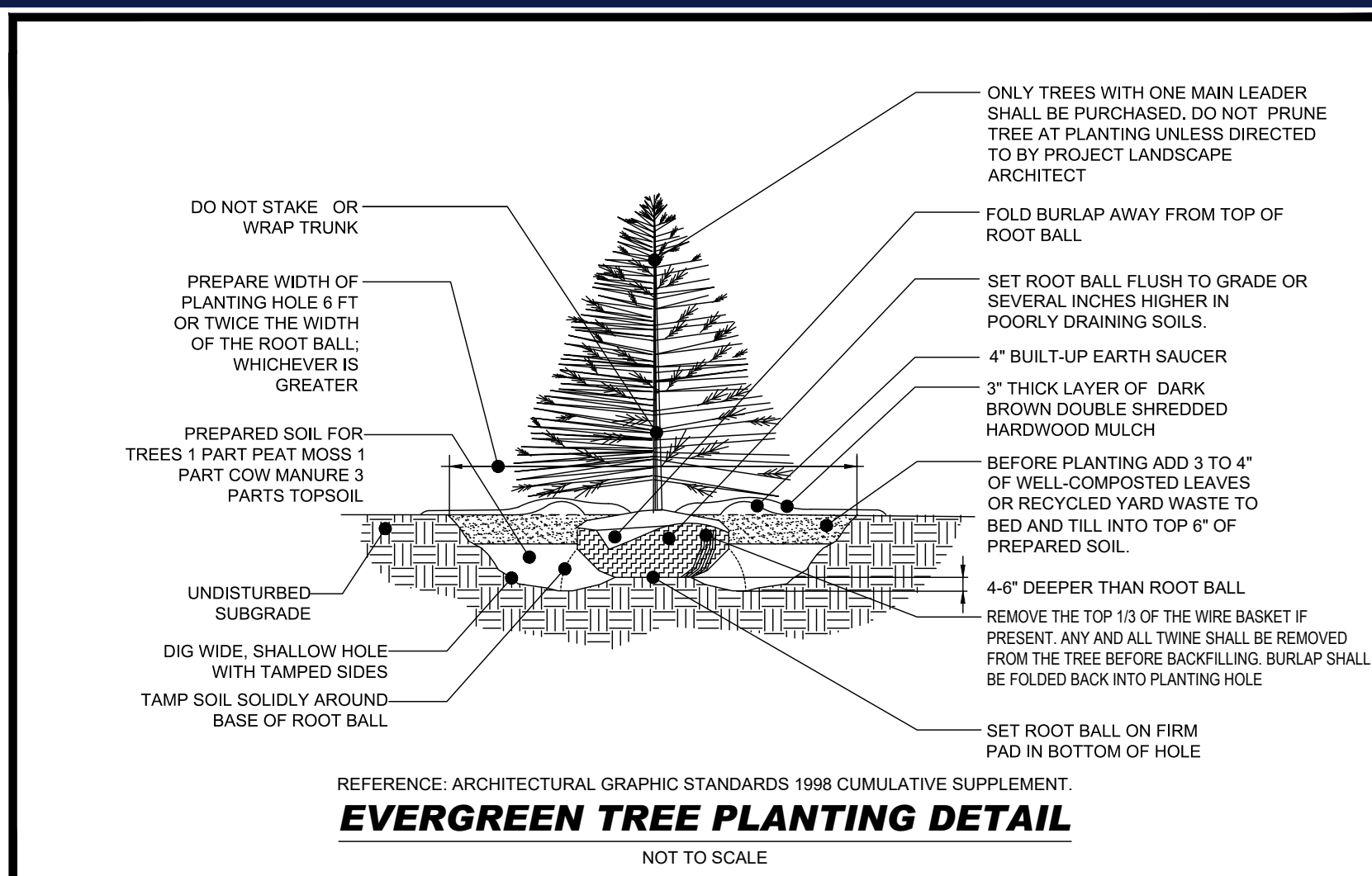
J. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.
K. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.
L. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.
M. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.
N. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.
O. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
P. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

10. TRANSPLANTING (WHEN REQUIRED)
A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

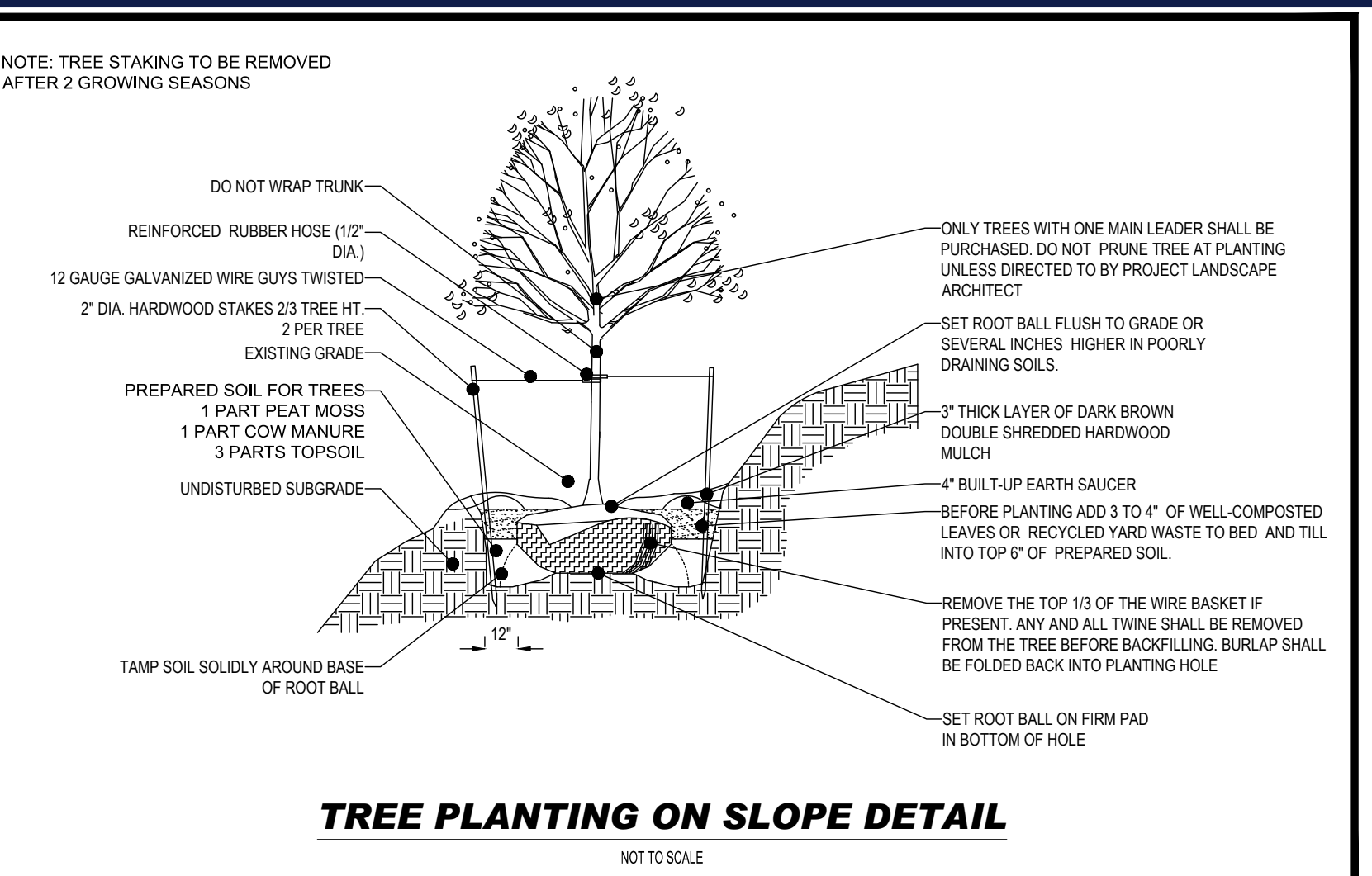
11. WATERING
A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

12. GUARANTEE
A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

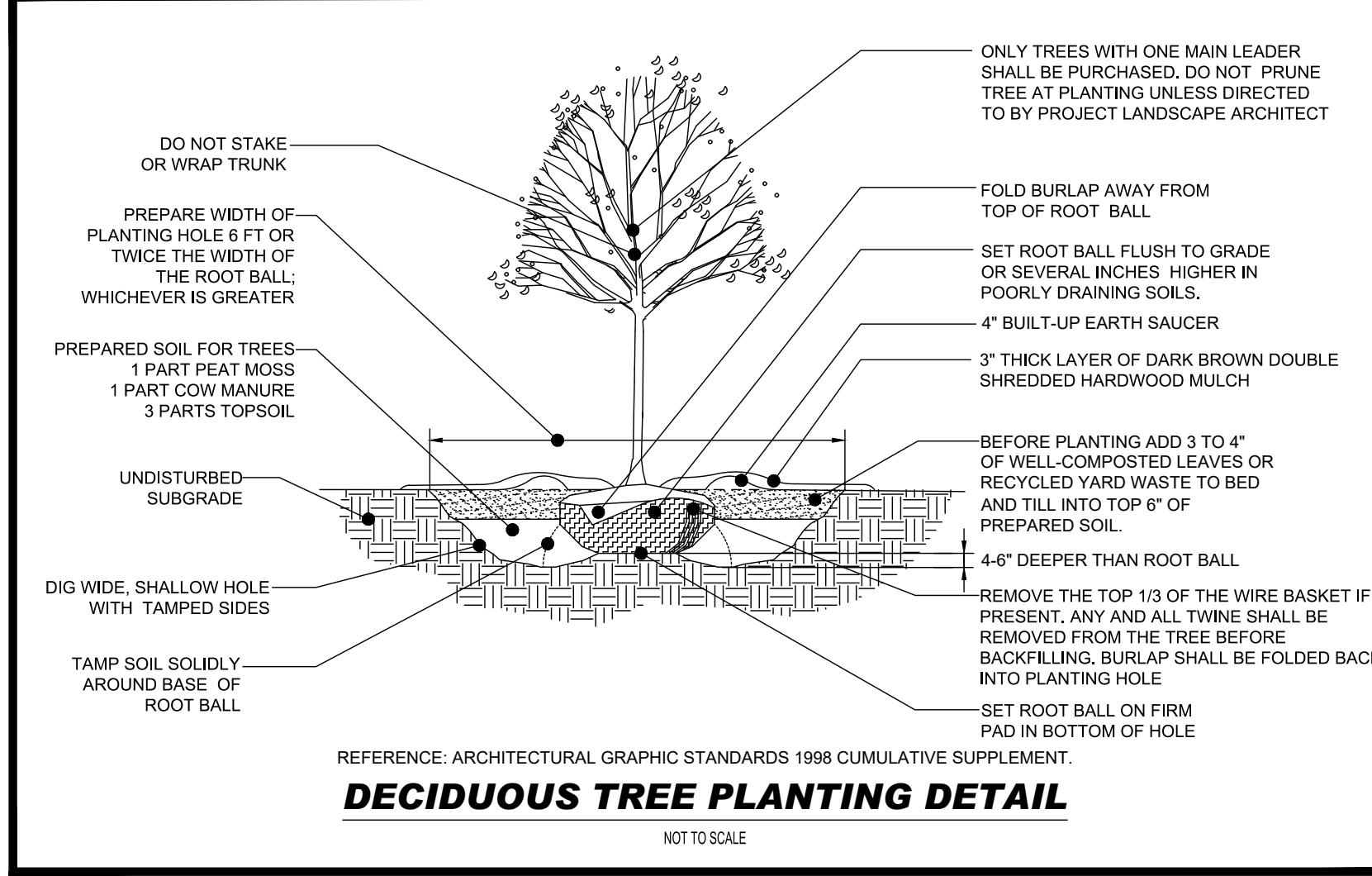
13. CLEANUP
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.
B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.



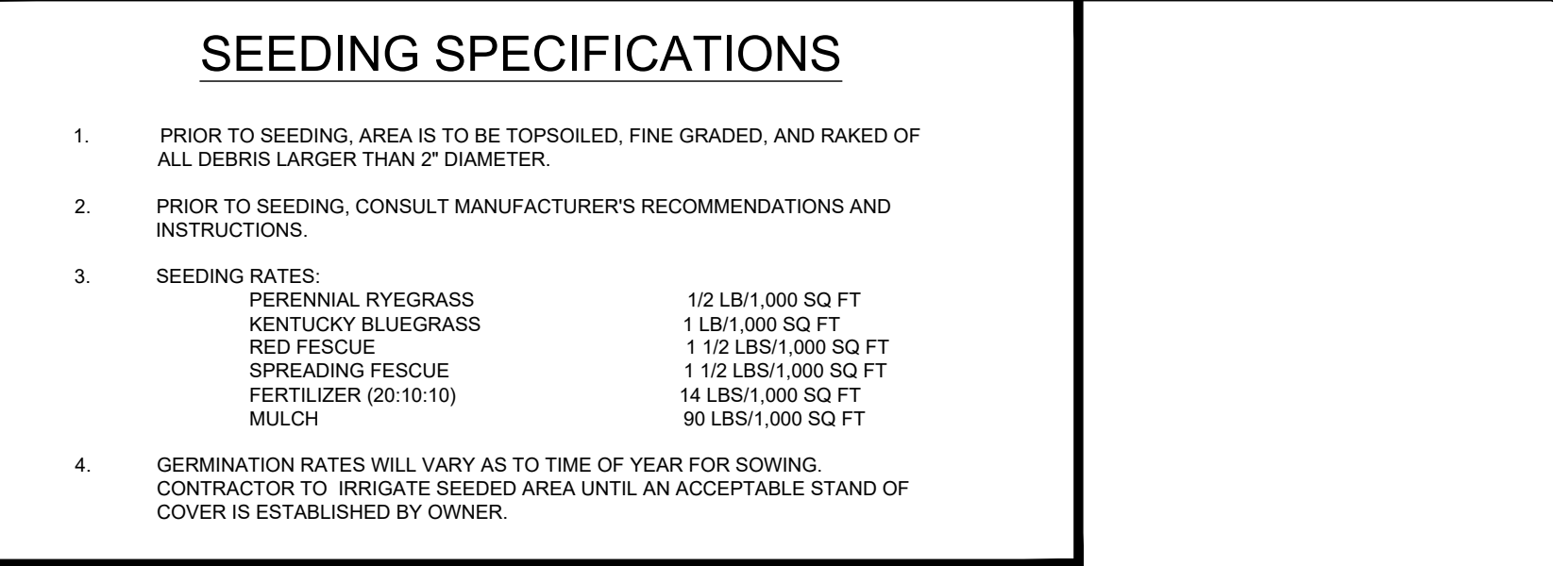
REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.
EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.
TREE PLANTING ON SLOPE DETAIL
NOT TO SCALE



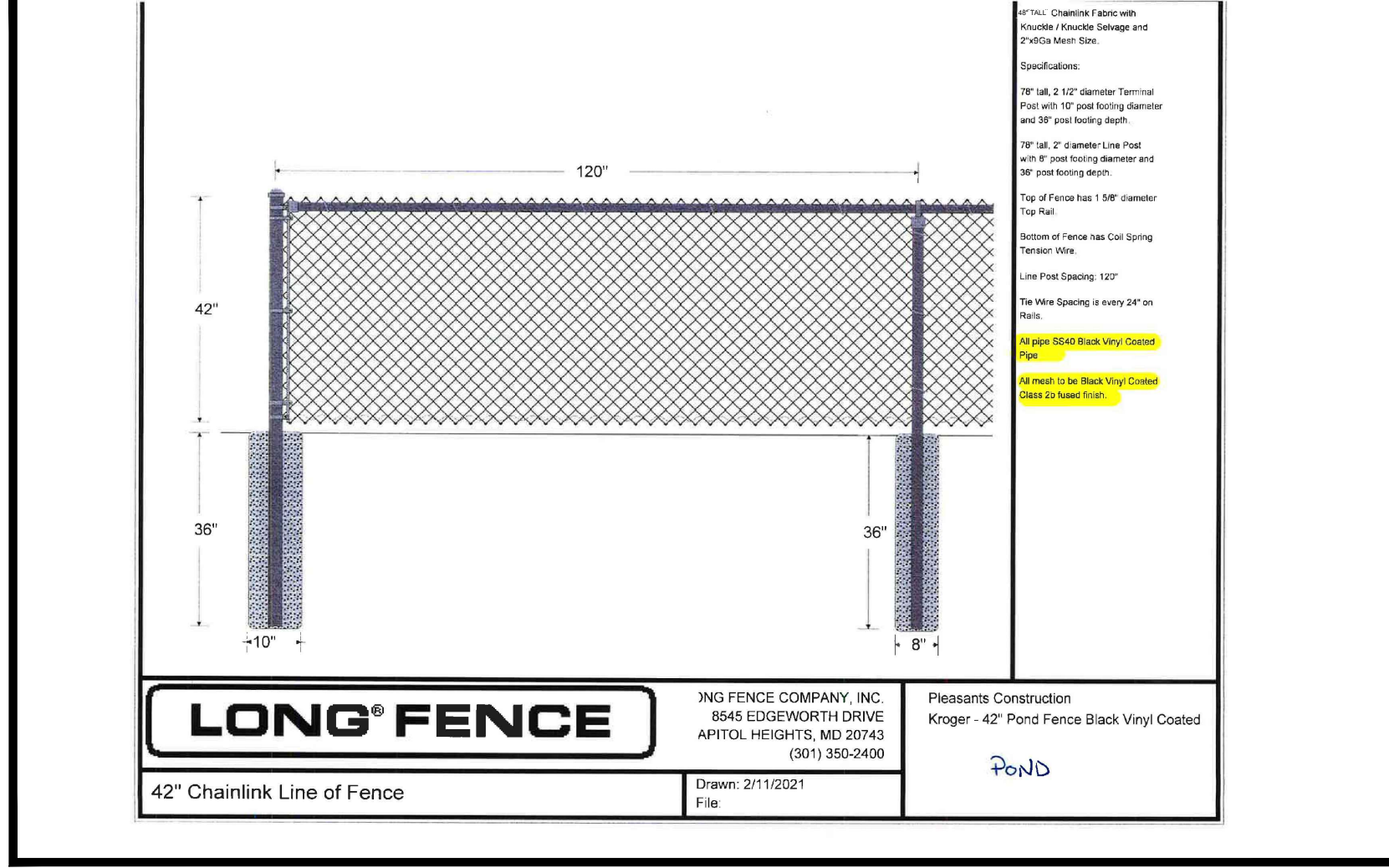
REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.
DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



SEEDING SPECIFICATIONS

1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
3. SEEDING RATES:

PERENNIAL RYEGRASS	1/2 LBS/1,000 SQ FT
KENTUCKY BLUEGRASS	1 LBS/1,000 SQ FT
RED FESCUE	1 1/2 LBS/1,000 SQ FT
SPREADING FESCUE	1 1/2 LBS/1,000 SQ FT
FERTILIZER (20-10-10)	14 LBS/1,000 SQ FT
MULCH	90 LBS/1,000 SQ FT
4. GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.



LONG FENCE
42" Chainlink Line of Fence
XNG FENCE COMPANY, INC.
3845 EDGEWORTH DRIVE
APRIL, HEIGHTS, MD 20743
(301) 350-2400
Prestations Construction
Kroger - 42" Pond Fence Black Vinyl Coated
POND
Drawn: 2/11/2021
File

OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	BY	DRAWN BY
1	10/15/21	PER SUSSEX COUNTY COMMENTS	BJU STF	

811

Know what's below.
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

PROJECT:
FINAL SITE PLAN

FOR
ANCHORS RUN CLUBHOUSE
PROPOSED RESIDENTIAL SUBDIVISION
INDIAN RIVER HUNDRED
BEAVER DAM ROAD
SUSSEX COUNTY, DE
TAX MAP: 234-6.00-19.00
AND 234-6.00-20.01

BOHLER

18958 COASTAL HWY, SUITE D
REHOBOTH BEACH, DE 19971
Phone: (302) 644-1155
Fax: (302) 703-3173
BohlerEngineering.com

E.R. McWILLIAMS

REGISTERED LANDSCAPE ARCHITECT
DELAWARE LICENSE NO. 31-0000000

SHEET TITLE:
LANDSCAPE NOTES AND DETAILS

SHEET NUMBER:
4
OF 4
REVISION 1 - 11/12/2020

HYDRO: 09/04/2021 10:00 AM SITE CIVIL AND CONSULTING ENGINEERING ARCHITECTURE: 09/04/2021 10:00 AM LAYOUT: 4



AGRICULTURAL PRESERVATION DISTRICT APPLICATION

Return to: The Delaware Agricultural Lands Preservation Foundation

2320 S DuPont Highway, Dover, DE 19901

Phone (302)698-4530, or Toll Free in DE Only (800)282-8685

File# S-21-10-297

Date 10-11-21

Name of Petitioner(s) **WEBB FAMILY FARMS, LLC**

Email Address: **CKWMS14@GMAIL.COM**

Mailing Address **27559 MEDALLION AVENUE**

MILLSBORO, DE 19966

Primary Contact Person **KEVIN WILLIAMS** Preferred Contact Number: **302-841-0636**

Farm Location **SUSSEX**

Total Acreage of Farm **250.51**

Adjoining Roads **UNION CHURCH & TRUITT ROADS; BEACH HIGHWAY**

County Tax Parcel Number(s) **230-25.00-29.00 (250.51A)**

Zoning Designation **AR-1**

(call County Planning for zoning designation)

Type of Farm Operation: **AG**

Type of Land Use **Crop Land 125.51**

Acres Aquaculture Acres

Woodland 125

Acres Pasture Land Acres

Farmland Structures

Acres Tidal Wetlands Acres

Residence

Acres Other (specify) Acres

Of Dwelling Units:

Occupant's Name(s) & Relationship

Easements/Rights-of-Way (if any)

Does the farm have a certified nutrient management plan? Yes No

Is any portion of the proposed District/Expansion currently subject to subdivision? Yes No

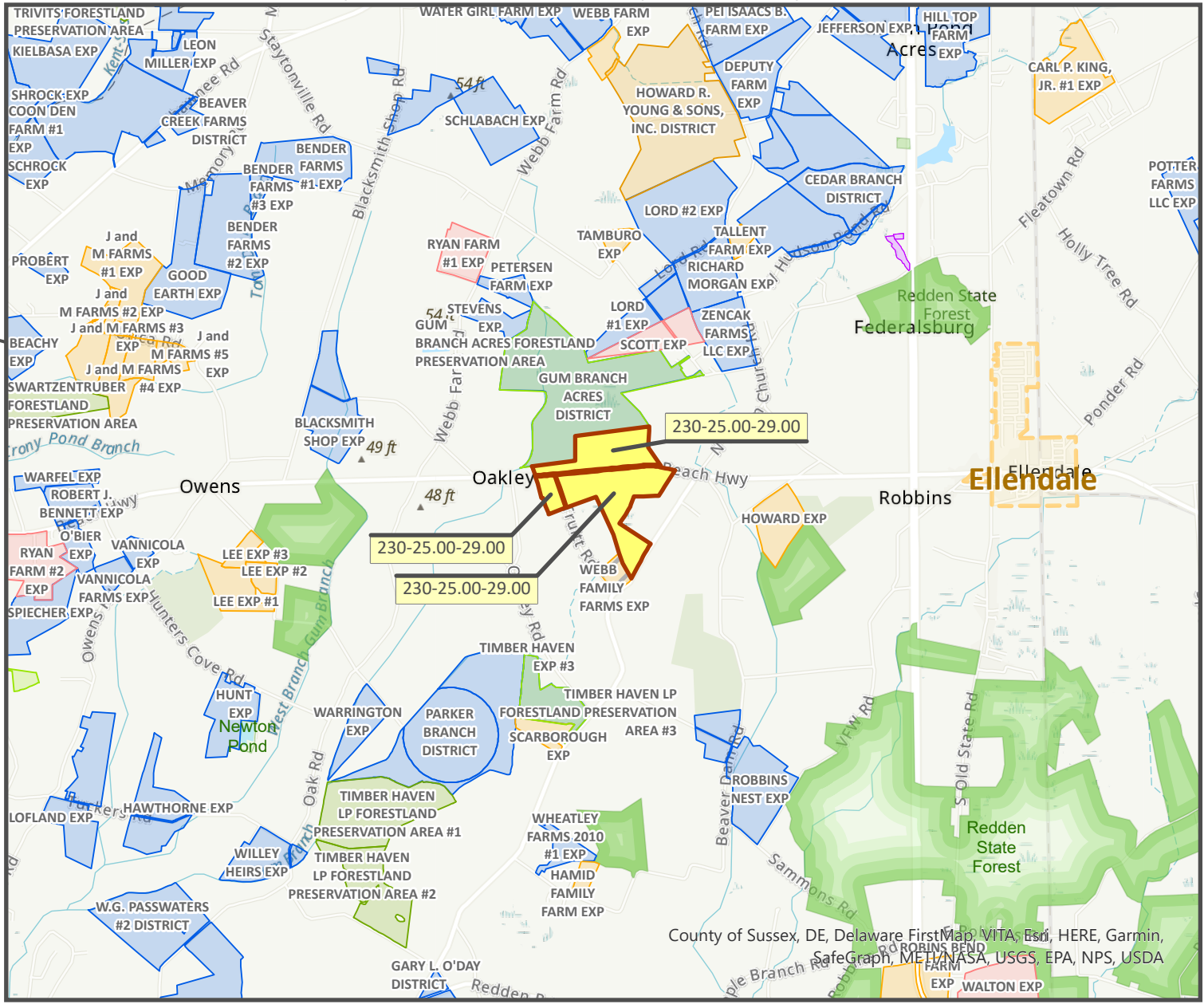
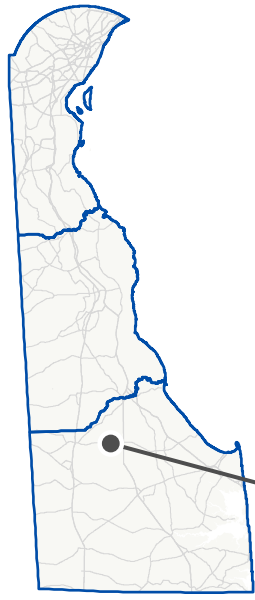
Is the property land locked? (no road frontage) Yes No If yes please provide access rights documentation

District Name You Would Prefer: **WEBB FAMILY FARMS DISTRICT**



Monitor Zone **11** Do you wish to have your farm appraised for the next round of Aglands easement selections? Yes No

WEBB FAMILY FARMS DISTRICT

| CEDAR CREEK HUNDRED | DELAWARE |



AGRICULTURAL PRESERVATION DISTRICT

-  Farm Parcel Boundary
-  Public Protected Lands

Project ID: S-21-10-297

Total Preserved Acres: 250.51




Program Status: Pending

Priority Zone: No

Parcel ID	County	Acres
230-25.00-29.00	Sussex	250.51

DELAWARE AGRICULTURAL LANDS PRESERVATION FOUNDATION

Lauren Frick - Planner III
 Delaware Dept of Agriculture
 2320 S. Dupont Hwy
 Dover, DE 19901

-  Pending / Contingent
-  Contingent
-  Pending

-  Agricultural Easement
-  Agricultural District
-  Agricultural Expansion
-  Forestland Area
-  Forestland Easement
-  Young Farmer



THIS PLAN IS A COMPILATION OF AVAILABLE INFORMATION OF RECORD AND IS NOT TO BE USED FOR ENGINEERING PURPOSES.

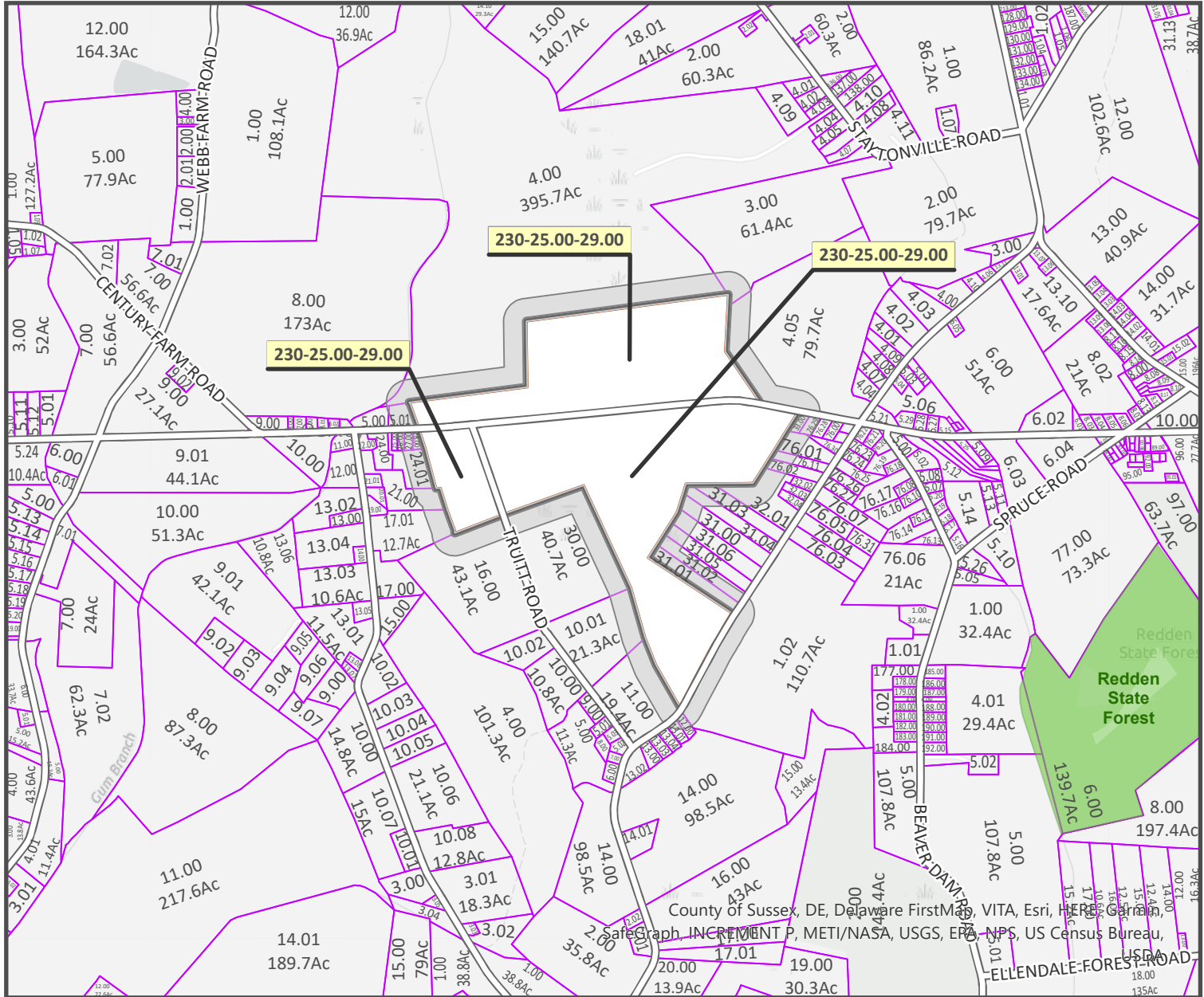
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EXHIBIT A

WEBB FAMILY FARMS DISTRICT

Project ID: S-21-10-297
 Total Preserved Acres: 250.51

Parcel ID	County Acres
230-25.00-29.00	Sussex 250.51



50 feet
 IS THE 50' BOUNDARY LINE FROM AG DISTRICT; NO BUILDINGS FOR NON-AG PURPOSES CAN BE CONSTRUCTED INSIDE THIS AREA. "FOR ANY NEW SUBDIVISION DEVELOPMENT LOCATED IN WHOLE OR IN PART WITHIN FIFTY (50) FEET OF THE BOUNDARY OF AN AGRICULTURAL PRESERVATION DISTRICT, NO IMPROVEMENT REQUIRING AN OCCUPANCY APPROVAL SHALL BE CONSTRUCTED WITHIN FIFTY (50) FEET OF THE BOUNDARY OF THE AGRICULTURAL PRESERVATION DISTRICT," PURSUANT TO 3 DEL. C. ss910 (a) (2)

300 feet
 IS THE 300' BOUNDARY LINE; NOTICE MUST BE GIVEN TO ALL NEW HOMEOWNERS IN NEW SUBDIVISIONS FILED AFTER THE APPROVAL DATE OF THIS DISTRICT. "FOR ANY NEW SUBDIVISION DEVELOPMENT LOCATED IN WHOLE OR IN PART WITHIN THREE HUNDRED (300) FEET OF THE BOUNDARY OF AN AGRICULTURAL PRESERVATION DISTRICT, THE OWNER SHALL PROVIDE IN THE DEED RESTRICTIONS AND ANY LEASES OR AGREEMENTS OF SALE FOR ANY RESIDENTIAL LOT OR DWELLING UNIT THE FOLLOWING NOTICE: 'AGRICULTURAL PRESERVATION DISTRICT: THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURAL PRESERVATION DISTRICT IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USE ACTIVITIES.'" PURSUANT TO 3 DEL. C. ss910 (a) (1)



Lauren Frick - Planner III
 Delaware Dept of Agriculture
 2320 S. Dupont Hwy
 Dover, DE 19901
 Exported: 10/20/2021



2

DELAWARE AGRICULTURAL LANDS PRESERVATION FOUNDATION HEREBY CERTIFIES THAT THE PROPERTIES SHOWN AND DESCRIBED ON THIS PLAN, AND SUBJECT TO AN AGRICULTURAL PRESERVATION DISTRICT AGREEMENT FILED AND RECORDED WITH THE RECORDER OF DEEDS IN AND FOR SUSSEX COUNTY, DELAWARE, CONSTITUTE AN AGRICULTURAL PRESERVATION DISTRICT AS PROVIDED IN LEGAL REF. 3 DEL. C. CHAP. 9. FURTHER, I WITNESS THAT THIS DISTRICT HAS BEEN PROPERLY APPROVED AND THAT THE FOUNDATION DESIRES THAT THIS PLAN BE RECORDED ACCORDING TO LAW.

CHAIRMAN OR AUTHORIZED DESIGNEE
 DELAWARE AGRICULTURAL LANDS PRESERVATION FOUNDATION

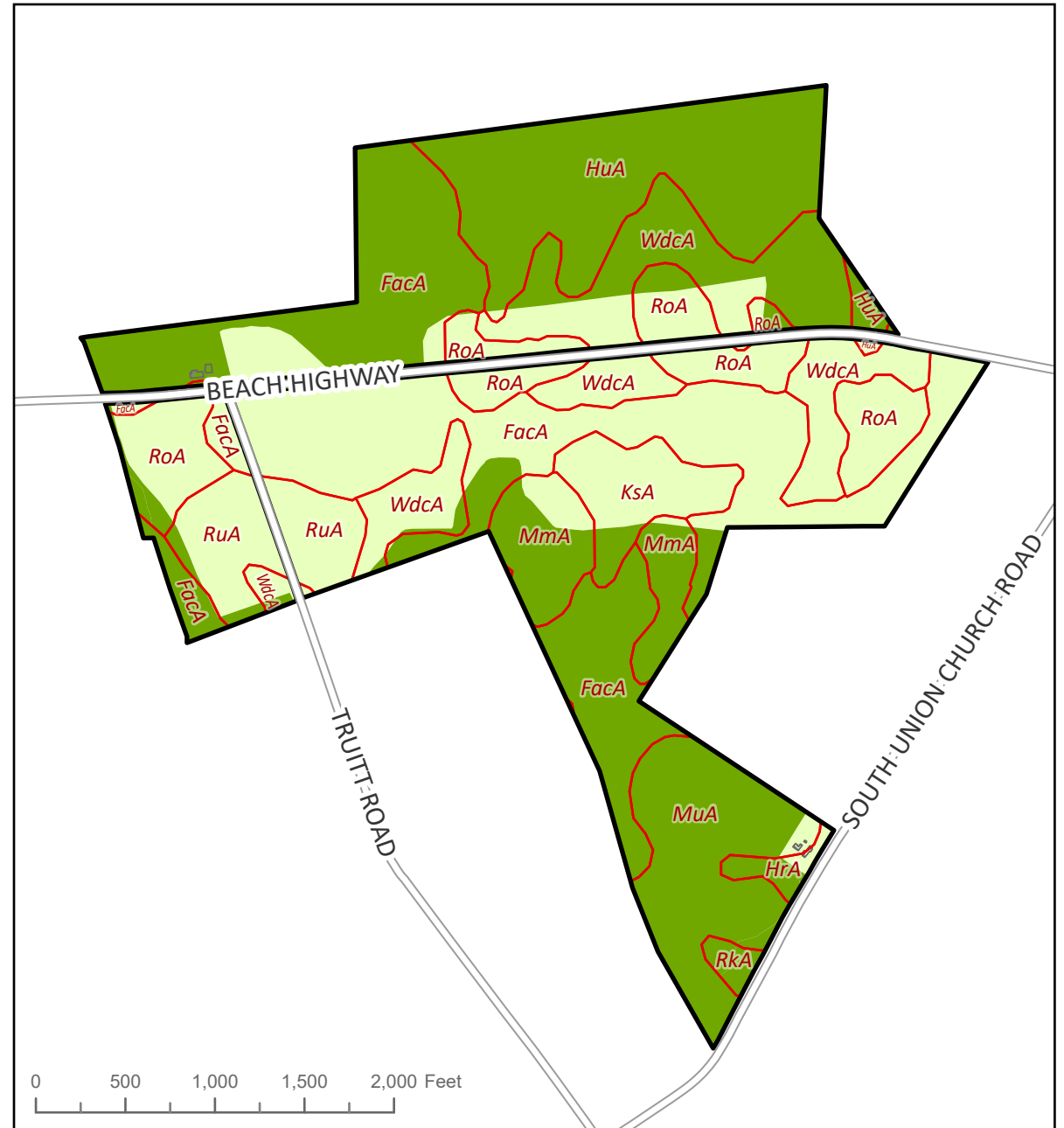
DATE

WEBB FAMILY FARMS DISTRICT

NRCS Soils Present

- FacA, Fallsington sandy loams, 0 to 2 percent slopes, Mid-Atlantic Coastal Plain
- HrA, Henlopen-Rosedale complex, 0 to 2 percent slopes
- HuA, Hurlock loamy sand, 0 to 2 percent slopes
- KsA, Klej loamy sand, 0 to 2 percent slopes
- MmA, Mullica mucky sandy loam, 0 to 2 percent slopes
- MuA, Mullica-Berryland complex, 0 to 2 percent slopes
- RkA, Rockawalkin loamy sand, 0 to 2 percent slopes
- RoA, Rosedale loamy sand, 0 to 2 percent slopes
- RuA, Runclint loamy sand, 0 to 2 percent slopes
- WdcA, Woodstown sandy loam, 0 to 2 percent slopes, Mid-Atlantic Coastal Plain

Parcel ID	Class	Soil	Rating	Acres
230-25.00-29.00	Agriculture	FacA	Farmland of statewide importance	43.720
230-25.00-29.00	Agriculture	HrA	Prime farmland if irrigated	0.575
230-25.00-29.00	Agriculture	HuA	Farmland of statewide importance	0.308
230-25.00-29.00	Agriculture	KsA	Farmland of statewide importance	8.305
230-25.00-29.00	Agriculture	MmA	Prime farmland if drained	2.039
230-25.00-29.00	Agriculture	MuA	Prime farmland if drained	0.664
230-25.00-29.00	Agriculture	RoA	Prime farmland if irrigated	22.857
230-25.00-29.00	Agriculture	RuA	Not prime farmland	12.460
230-25.00-29.00	Agriculture	WdcA	All areas are prime farmland	23.050
230-25.00-29.00	Forest	FacA	Farmland of statewide importance	44.983
230-25.00-29.00	Forest	HrA	Prime farmland if irrigated	1.463
230-25.00-29.00	Forest	HuA	Farmland of statewide importance	37.047
230-25.00-29.00	Forest	KsA	Farmland of statewide importance	1.384
230-25.00-29.00	Forest	MmA	Prime farmland if drained	10.651
230-25.00-29.00	Forest	MuA	Prime farmland if drained	21.268
230-25.00-29.00	Forest	RkA	Prime farmland if irrigated	1.442
230-25.00-29.00	Forest	RoA	Prime farmland if irrigated	2.572
230-25.00-29.00	Forest	RuA	Not prime farmland	0.795
230-25.00-29.00	Forest	WdcA	All areas are prime farmland	14.927



Total: 250.51 Ac
 Cropland: 113.98 Ac
 Forest: 136.53 Ac

Prime Soil: 237.25 Ac
 Impervious Cover: 0.15 Ac
 Road Frontage: 9,408 Ft

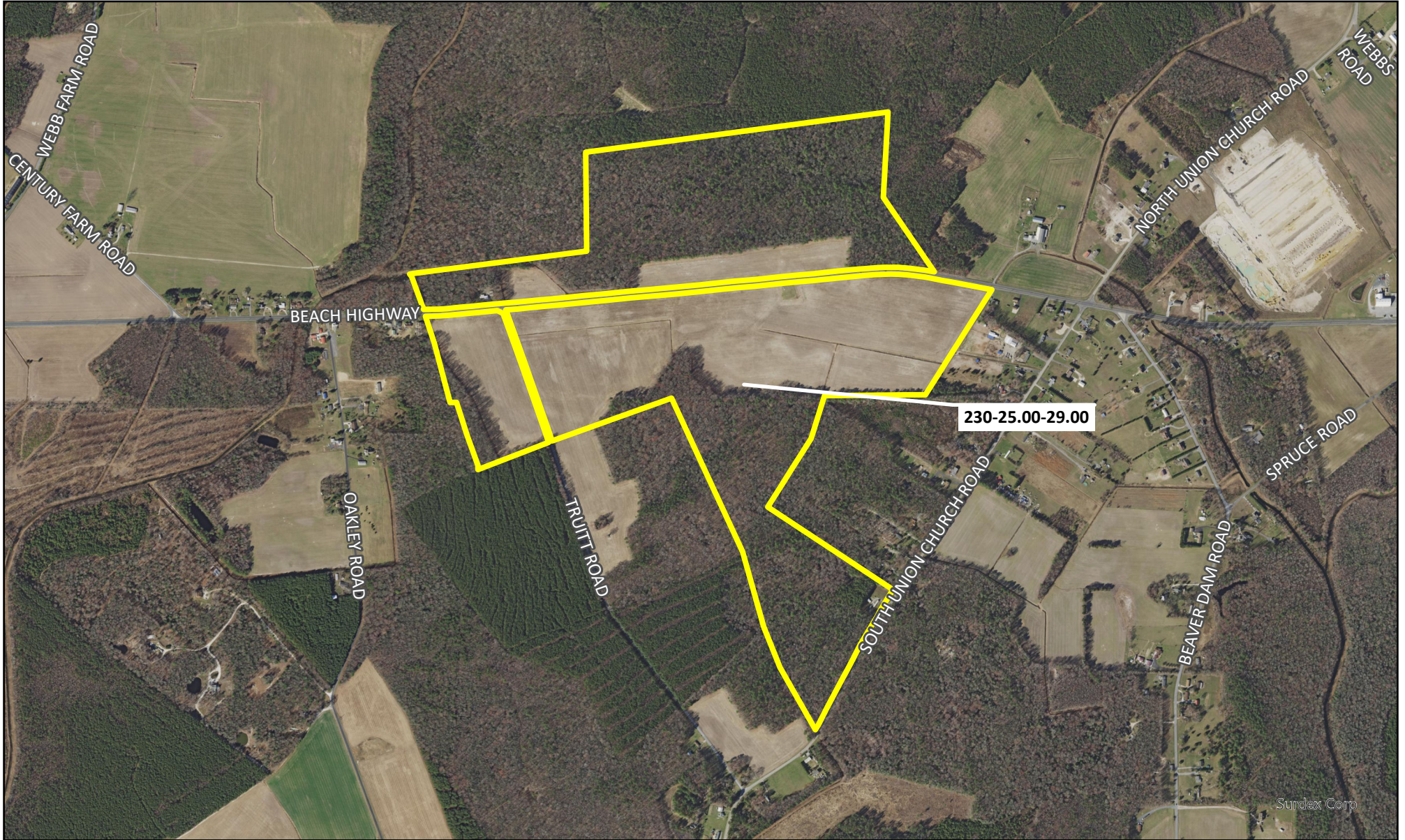
- Agriculture
- Forest
- Urban
- Wetland
- Other
- Impervious



EXHIBIT B

S-21-10-297

WEBB FAMILY FARMS DISTRICT



Lauren Frick - Planner III
Delaware Dept of Agriculture
2320 S. Dupont Hwy
Dover, DE 19901
Aerial Photo: April 2017
Exported: 10/20/2021

Parcel ID	Dwellings	Residential Acres	Road Frontage	Acres
230-25.00-29.00	0	0	9,408 ft	250.51

Farms in Agricultural Preservation are allowed 1 acre of residential land use for every 20 total acres, with a minimum of 1 and maximum of 10 acres. Up to 3 dwellings may be placed on the residential acres. Allowances may be further assigned to parcels by subsequent acknowledgements. Refer to the district agreement, easement, and any recorded acknowledgments for current allowances.