

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY WINGATE



2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DE 19947  
(302) 855-7878 T  
(302) 854-5079 F  
sussexcountyde.gov

# Sussex County Planning & Zoning Commission

## AGENDA\*\*

December 10, 2020

5:00 P.M.

**PLEASE REVIEW MEETING INSTRUCTIONS AT THE BOTTOM OF THE AGENDA**

### Call to Order

### Approval of Agenda

Approval of Minutes – November 12, 2020 and November 19, 2020

### Other Business

Dagsboro Trace (2004-34) BM  
Revised Subdivision Plan

Bio Energy Development Group, LLC (CU 1962) HW  
Final Site Plan

Plover Point (F.K.A Oak Landing) (2018-9) BM  
Revised Preliminary Subdivision Plan

Cripple Creek Golf and Country Club (S-89-12) BM  
Revised Preliminary Site Plan

Seaglass at Rehoboth Beach (F.K.A Herola Property) (S-20-39) BM  
Preliminary Site Plan

Jerry Ann McLamb Medical Pavilion (S-20-46) KS  
Preliminary Site Plan

Quality Care Homes (S-20-48) KS  
Preliminary Site Plan

### Old Business

C/U 2243 Keith Twardowski BM  
An Ordinance to grant a Conditional Use of land in an AR-1 Agricultural Residential



**District and GR General Residential District for a landscaping business to be located on a certain parcel of land lying and being in Indian River Hundred, Sussex County, containing 3.18 acres, more or less.** The property is lying on the north side of Friendship Road (S.C.R. 306A), approximately 0.36 mile southwest of Indian Mission Road (Rt. 5). 911 Address: 33602 Samantha Drive, Millsboro. Tax Parcel: 234-23.00-51.00

**C/Z 1927 Preston Lynch Dyer and Mason Dyer**

KS

**An Ordinance to amend the Comprehensive Zoning Map of Sussex County from an AR-1 Agricultural Residential District to a C-2 Medium Commercial District for a certain parcel of land lying and being in Lewes and Rehoboth Hundred, Sussex County, containing 2.5 acres, more or less.** The property is lying on the north side of Lewes-Georgetown Hwy. (Rt. 9) approximately 0.12 mile west of Josephs Rd. (S.C.R. 281). 911 Address: N/A. Tax Parcel: 334-4.00-34.02 & 34.03

**Public Hearings**

**2020-12 – Carsyljan Acres**

KS

A standard subdivision to divide 0.58 acre +/- into 2 lots to be located on a certain parcel of land lying and being in Broadkill Hundred, Sussex County. The property is lying on the northeast side of Brohawn Ave., approximately 0.11-mile northeast of Sweetbriar Rd. (S.C.R. 261). Tax Parcel: 235-27.00-94.00. Zoning District: GR (General Residential District).

**2020-18 – The Woodlands II**

HW

A coastal area/cluster subdivision to divide 16.52 acres +/- into 33 single family lots to be located on a certain parcel of land lying and being in Baltimore Hundred, Sussex County. The property is lying on the southeast corner of Central Ave. (Rt. 84) and Bayard Rd. (Rt. 84), approximately 0.28-mile northwest of Double Bridges Rd. (S.C.R. 363) Tax Parcel: 134-19.00-23.00. Zoning District: AR-1 (Agricultural Residential District).

**In accordance with 29 Del. C. §10004(e)(2), this Agenda was posted on December 3, 2020 at 4:15 p.m., and at least seven (7) days in advance of the meeting.**

**This Agenda is subject to change to include the addition or deletion of items, including Executive Sessions, which arise at the time of the Meeting.**

**Agenda items listed may be considered out of sequence.**

-MEETING INSTRUCTIONS-

\*\* The Sussex Planning & Zoning Commission is holding this meeting under the authority issued by Governor John C. Carney through Proclamation No. 17-3292.

The public is encouraged to view the meeting on-line. Any person attending in-person will be required to go through a wellness and security screening, including a no-touch temperature check. The public will be required to wear a facial mask.

Chamber seating capacity is limited and seating assignments will be enforced.

The meeting will be streamed live at <https://sussexcountyde.gov/council-chamber-broadcast>

The County is required to provide a dial-in telephone number for the public to comment during the appropriate time of the meeting. **Note, the on-line stream experiences a 30-second delay.** Any person who dials in by telephone should listen to the teleconference audio to avoid the on-line stream delay.

To join the meeting via telephone, please dial:

**Conference Number: 1 302-394-5036**

**Conference Code: 570176**

Members of the public joining the meeting on the telephone will be provided an opportunity to make comments for those items listed under public hearings on this agenda.

The Planning & Zoning Commission meeting materials, including the “packet”, are electronically accessible on the County’s website at: <https://sussexcountyde.gov/>

If any member of the public would like to submit comments electronically, these may be sent to [pandz@sussexcountyde.gov](mailto:pandz@sussexcountyde.gov). All comments shall be submitted by 5:00 P.M on Wednesday, December 9, 2020

###



## Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager, Lauren DeVore, Planner III, Christin Headley, Planner I, Nicholas Torrance, Planner I, and Chase Phillips, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: December 1, 2020

RE: Other Business for the December 10, 2020 Planning Commission Meeting

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This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the December 10, 2020 Planning Commission meeting.

### **Dagsboro Trace (2004-34)**

BM

Revised Subdivision Plan

This Revised Subdivision Plan proposes to remove the sidewalks from the subdivision. The Planning and Zoning Commission previously reviewed this request at their meeting of Thursday, September 24, 2020, where they had requested additional information be provided from the applicant prior to a final decision being rendered. The sidewalks have not been installed and the proposed location of the sidewalks would require the relocation of street lighting and transformers already installed throughout the development. The Planning and Zoning Office has received documentation that 51% of existing property owners within the subdivision consent to this proposed change. Tax Parcel: 233-11.00-194.01 & 233-11.00-194.05. Zoning: AR-1 (Agricultural Residential Zoning District).

### **Bioenergy Development Group, LLC (CU 1962)**

HW

Final Site Plan

This is a Final Site Plan for the addition of seven (7) storage tanks and other associated works to be located in the already improved area located between Building 1 and Building 3. The site plan also shows a proposed 3,500 square foot maintenance building, along with new landscaping and fencing along Enviro Way. There are no proposed changes to the existing parking numbers and the plans propose the relocation of the scales near the entrance to the site. The parcel is located on Enviro Way, on the west side of Seaford Rd. (Rt. 13A). The use of this site as a composting facility as an addition/extension to the previously approved micro-nutrient plant for the processing and handling of poultry litter was approved by County Council on June 25, 2013 under Conditional Use No. 1962, and this change was adopted through Ordinance No. 2311. The Final Site Plan complies with the Sussex County Zoning Code and all Conditions of Approval. Further Final Site Plan approval will be required for any other future improvements. Tax Parcel: 132-11.00-41.00. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are in receipt of all agency approvals.

### **Plover Point (F.K.A. Oak Landing) (2018-9)**

BM

Revised Preliminary Subdivision Plan

This is a Revised Preliminary Subdivision plan for the creation of a cluster subdivision to consist of one-hundred and forty-seven (147) single-family lots with private roads, open space and associated amenities on a 60.199-acre parcel of land. The proposed subdivision is located on the east side of



Route 5 (Oak Orchard Road). At their meeting of Thursday, September 13, 2018, the Planning and Zoning Commission approved the Preliminary Subdivision Plan for what was previously known as the Oak Landing subdivision subject to 16 conditions. The proposed changes to the plan include the removal of Scarlett Oak Drive, adding cul-de-sacs on both ends of Chestnut Oak Drive, the addition of stormwater management ponds along the project's frontage, and a decrease of 92 lots. The Revised Preliminary Subdivision Plan complies with the Sussex County Zoning and Subdivision Code and all Conditions of Approval. Tax Parcel: 234-34.00-97.00. Zoning: GR (General Residential Zoning District). Staff are awaiting agency approvals.

**Cripple Creek Golf and Country Club (S-89-12)**

BM

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for a 5,000 square foot proposed pool house, three different building additions, parking modifications, fencing, and pickleball and bocce courts. The property is located off Cripple Creek Drive which is a private lane that has access from Irons Lane (S.C.R. 348). While an overall reduction in parking is proposed, staff note the plan complies with the Sussex County Zoning Code. Tax Parcel: 134-3.00-2.00. Zoning: HR-2 (High Density Residential Zoning District). Staff are awaiting agency approvals.

**Seaglass at Rehoboth Beach (F.K.A. Herola Property) (S-20-39)**

BM

Preliminary Site Plan

This is a Preliminary Site Plan for a proposed 224-unit multi-family apartment complex to consist of a clubhouse, pool, dog park, tot lot, 448 parking spaces and other site improvements located on 18.759 acres +/- . The property is located directly east of John J. Williams Hwy (Route 24) just south of Coastal Highway (Route 1). The applicant is seeking relief for 74 parking spaces to be located within the front setback of a private right of way. The Preliminary Site Plan otherwise complies with the Sussex County Zoning Code. Tax Parcel: 334-12.00-127.01 & 127.10. Zoning: CR-1 (Commercial Residential Zoning District). Staff are awaiting agency approvals.

**Jerry Ann McLamb Medical Pavilion (S-20-46)**

KS

Preliminary Site Plan

This is a Preliminary Site Plan for a proposed 40,000 square foot medical facility to be located off Milton Ellendale Highway (Route 16) in Milton. The plan includes 209 parking spaces, a stormwater management basin, and other site improvements on a parcel of land that is approximately 142 acres. Staff note the potential subdivision of this site is considered, and it was requested the site plan process be pursued while Minor Subdivision Plans are generated. The Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 235-14.00-77.00. Zoning: C-1 (General Commercial Zoning District) & HR-2 (High Density Residential Zoning District). Staff are awaiting agency approvals.

**Quality Care Homes (S-20-48)**

KS

Preliminary Site Plan

This is a Preliminary Site Plan for a proposed home construction service, offices, and light material storage to be located at 20366 Hopkins Road in Lewes. This plan also includes a proposed infiltration basin and relevant parking. The proposed use is part of Conditional Use No. 2216 which was approved by the Sussex County Council on August 25, 2020 and adopted through Ordinance No. 2735. The Preliminary Site Plan complies with the Sussex County Zoning Code and all Conditions of Approval. Tax Parcel: 234-5.00-46.04. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are awaiting agency approvals.

30792 Alyssa Dr. *LYNDA WUNDERKIND*

I am (For \ Against) the bike path in Dagsboro Trace development.

*HARRIS GARDNER*

31918 Chelsea Ct. *DEBBIE COSTELLO*

I am (For \ Against) the bike path in Dagsboro Trace development.

*Deborah Letell*

31924 Chelsea Ct. *AMY KOTULAK & BRUCE RECHT*

I am (For \ Against) the bike path in Dagsboro Trace development.

*Amy Kotulak & Bruce Rech*

31920 Chelsea Ct. *DANNY GOLDSMITH*

I am (For \ Against) the bike path in Dagsboro Trace development.

*D. Gold*

31923 Chelsea Ct. *Robert Ingles*

I am (For \ Against) the bike path in Dagsboro Trace development.

*Robert Ingles*

31919 Chelsea Ct.

*Richard Biski*

I am (For \ Against) the bike path in Dagsboro Trace development.

I am (For \ Against) the bike path in Dagsboro Trace development.

Address Name

Circle your choice print and sign your name.

31922 Chelsea Ct.

Calvin Brown

I am (For)  Against) the bike path in Dagsboro Trace development.

30764 Alyssa Dr.

DOMINIC TRINIS  
DANNA M. SLOMA

I am (For)  Against) the bike path in Dagsboro Trace development.

30768 Alyssa Dr.

Susan Kay White  
Susan Kay White

I am (For)  Against) the bike path in Dagsboro Trace development.

30772 Alyssa Dr.

Shirley M. Sanford  
Karene Reynolds  
Shirley Taylor

I am (For)  Against) the bike path in Dagsboro Trace development.

30780 Alyssa Dr.

Robert Tankles  
Robert Tankles

I am (For)  Against) the bike path in Dagsboro Trace development.

30784 Alyssa Dr.

Walter  
Nicole Warren

I am (For)  Against) the bike path in Dagsboro Trace development.

30785 Alyssa Dr.

Shore Miller

I am (For)  Against) the bike path in Dagsboro Trace development.

30787 Alyssa Dr.

Lori OH  
Jon OH

I am (For)  Against) the bike path in Dagsboro Trace development.

30788 Alyssa Dr.

FRED AND JOY HOOD  
Fred Hood

I am (For)  Against) the bike path in Dagsboro Trace development.



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. Box 778  
DOVER, DELAWARE 19903

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DEC 01 2020

SUSSEX COUNTY  
PLANNING & ZONING

JENNIFER COHAN  
SECRETARY

October 01, 2020

Peter Ettinger  
Bioenergy Development Group LLC  
6751 Columbia Gateway Dr. STE 300  
Columbia, Maryland 21046

**SUBJECT: Authorization to Apply** for a Permit for Entrance Construction  
Bioenergy Development Blades  
Tax Parcel # 132-11.00-41.00, 132-6.00-95.00  
SCR013-SEAFORD ROAD  
**Broad Creek Hundred, Sussex**

Dear Peter Ettinger:

The Delaware Department of Transportation (DelDOT) has reviewed your request, dated September 3, 2020, to obtain a Letter of No Contention (LONC) to use an existing commercial building and site entrance for the above referenced project. In coordination with the South District Public Works Office we have determined that your project will require some modifications or enhancements to meet current regulatory requirements. We have therefore determined that this project is eligible to obtain a Permit for Entrance Construction (PEC) to make these modifications. The PEC will include a list of items that must be addressed, as well as requirements for bonding to perform work, where needed, within the State of Delaware right-of-way (ROW). This approval shall be valid for a period of **one (1) year**.

**Please note: Your Permit for Entrance Construction must be obtained from the South District Public Works Office, before you can start any construction.**

The following conditions are provided with this response letter:

- 1) Site shall have access from the existing entrance located on Seaford Road (SCR 013).
- 2) Only the modifications/construction or traffic pattern changes that are itemized and authorized under the PEC will be permitted. Please coordinate with the DelDOT Public Works Office regarding the scope, location and limits of the following items, as well any other items listed in the PEC:
  - a) Replace existing stop sign with a new 36"x36" R1-1 stop sign and install a new 16" wide thermo stop bar
- 3) DelDOT reserves the right to review, modify or revoke this authorization letter and PEC and require additional entrance upgrades in the future if proposed activities create traffic conflicts, safety concerns or operational issues.





- 4) The property owner is responsible to:
  - a. Submit information to DeIDOT, regarding any future operational or site changes, (including but not limited to: rezoning, site layout changes, changes in use, entrance modifications, expanded/additional uses, new uses, etc.). Changes of this nature may alter the flow and/or volume of traffic and could require a new PEC, LONC or formal review for Approvals and/or Permits.
  - b. Establish and maintain clear sight lines at the entrance. There shall be no placement of structures, signs, objects, items for sale or parking of vehicles within State ROW or entrance limits. Shrubbery, Plantings, trees and/or other visual barriers that could obstruct the sight distance of a driver preparing to enter the roadway are prohibited.
- 5) The property owner and applicant are responsible to coordinate with DeIDOT Outdoor Advertising & Roadside Control at (302) 853-1327, for information on obtaining specific permits for sign installation on private property. Permits for Utilities construction within State right-of-way require separate permit applications please contact DeIDOT's South District at (302) 853-1345.

The Department would like to thank you for your submittal.

**Please contact the South District Public Works Office at (302) 853-1340, for their assistance in obtaining the PEC. No construction or modification listed under Item 2 is allowed in advance of the DeIDOT Public Works Office issuance of the Permit for Entrance Construction.**

Sincerely,



Susanne K. Laws  
Sussex County Review Coordinator,  
Development Coordination

cc: Stephen Gorski, Duffield Associates, Inc.  
Jamie Whitehouse, Sussex County Planning & Zoning Commission  
Rusty Warrington, Sussex County Planning & Zoning  
Jessica L. Watson, Sussex Conservation District  
Gemez Norwood, South District Public Works manager  
William Kirsch, South District Entrance Permit Supervisor  
James Argo, South District Project Reviewer  
Wendy L. Polasko, Subdivision Engineer  
John Andrescavage, Sussex County Reviewer



STATE OF DELAWARE  
DEPARTMENT OF NATURAL RESOURCES  
AND ENVIRONMENTAL CONTROL  
DIVISION OF WATERSHED STEWARDSHIP  
21309 BERLIN ROAD, UNIT #6  
GEORGETOWN, DELAWARE 19947

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DEC 01 2020

SUSSEX COUNTY  
PLANNING & ZONING

DRAINAGE PROGRAM

PHONE: (302) 855-1930  
FAX: (302) 677-7059

11/17/2020

Stephen Gorski  
Duffield Associates  
5400 Limestone Rd.  
Wilmington, DE 19808

RE: Parcel #132-6.00-88.01, 132-6.00-95.00, 132-11.00-41.00, 132-11.00-41.02, BioEnergy Development

The Delaware Department of Natural Resources and Environmental Control (DNREC), Drainage Program has reviewed the plans submitted by Duffield Associates for the above noted property within the Mt. Zion Tax Ditch Watershed.

My office has **no objection** to the works of improvement to these parcels with the following recommendations and comments:

- Maintenance of any private crossings located within the tax ditch channel and/or right-of-ways are the responsibility of the landowner, **not** the tax ditch organization.
- Maintenance of any stormwater management facilities and/or associated infrastructure located within the tax ditch channel(s) and/or right-of-ways are the responsibility of the landowner, **not** the tax ditch organization.
- It is highly recommended that the landowner evaluates and cleans out the tax ditch channel to design grade, if needed, prior to construction of this project. The DNREC Drainage Program can provide technical assistance on this matter.

If you are a consultant working on behalf of a landowner, it is your responsibility to pass on this information to the landowner(s).

If you have any questions or concerns, please contact the Drainage Program at (302) 855-1930.

Sincerely,

*Melissa Hubert*

Melissa Hubert  
Tax Ditch Program Manager II

cc: John Justice, Sussex Conservation District



November 17, 2020

Steve Gorski  
Duffield Associates  
[sgorski@duffnet.com](mailto:sgorski@duffnet.com)

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DEC 01 2020  
SUSSEX COUNTY  
PLANNING & ZONING

RE: **Bio-Energy Development – Blades, DE**

Mr. Gorski,

Sussex Conservation District has reviewed the sediment and stormwater management plans submitted for the above referenced project. The District has found the submittal to be acceptable, please provide the District with the following:

- Submit 5 sets of plans for approval. **(Received)**
- Submit 1 set scaled 12 x 18 for approval.
- Submit an electronic copy (PDF) of the project's complete construction set. **(Received)**
- Submit a paper and electronic copy (PDF) of the Stormwater Report (and all exhibits). **(Received)**
- Provide a check for inspection fee for \$4,250 and maintenance fee for \$750. (These fees can be combined on one check.)

*Please note:*

- Every plan sheet is to be signed and sealed by a qualified design professional. **(Received)**
- The SCD Owners Certification Statement is to be signed in ink on each set of plans. **(Received)**

If plans are submitted with any of the above items missing, they will **not** be approved. Be advised if there are any deficiencies which cannot be addressed within 72 hours the plans will be considered withdrawn and therefore, you will need to entirely resubmit. We appreciate your cooperation in this matter as we are trying to maintain a professional and structured office to better serve you.

If ownership is going to change, the District will require a new application and two sets of plans with the new owner's information and signed certification statement. In addition, the authorization to discharge stormwater under the regulations *Part 2 Special Conditions for Storm Water Discharges Associated with Construction Activities*, must be transferred by the original owner to the new owner, please contact DNREC at 302-739-9921 for assistance.

If you have any questions or concerns regarding the aforementioned, please do not hesitate to contact the District at 302-856-2105.

Sincerely,

**John Justice**

Plan Reviewer

Cc:



**OFFICE OF THE STATE FIRE MARSHAL  
Technical Services**

22705 Park Avenue  
Georgetown, DE 19947



**SFMO PERMIT**

**Plan Review Number:** 2020-04-204445-MJS-01

**Tax Parcel Number:** 1-32-6-95&88.01

**Status:** Approved as Submitted

**Date:** 08/04/2020

**Project**

Tank Farm

28339 Enviro Way - BioEnergy Innovation Center

Enviro Way

Seaford DE 19973

**Scope of Project**

**Number of Stories:**

**Square Footage:**

**Construction Class:**

**Fire District:** 71 - Blades Volunteer Fire Company

**Occupant Load Inside:**

**Occupancy Code:**

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DEC 01 2020

SUSSEX COUNTY  
PLANNING & ZONING

**Applicant**

Steve Gorski

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:

Desiree McCall

## FIRE PROTECTION PLAN REVIEW COMMENTS

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Plan Review Number: 2020-04-204445-MJS-01

Tax Parcel Number: 1-32-6-95&88.01

Status: Approved as Submitted

Date: 08/04/2020

### PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at [www.statefiremarshal.delaware.gov](http://www.statefiremarshal.delaware.gov). These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1031 A** Where the structure being considered is protected throughout by an automatic sprinkler system, the required fire flow shall be modified to meet the designed sprinkler demand where hydraulically calculated plus outside hose streams as specified in NFPA13, Table 11.2.3.1.1 (2002 ed.) (DSFPR Part II, Section 6 3.2.1).
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1190 A** Separate plan submittal is required for the building(s) proposed for this project.
- 9999**
- \* PLANS FOR THE GENERATOR SHALL BE SUBMITTED FOR REVIEW
- 1299 A** The required Fire Lane Access and Perimeter Access and all fire lane markings shall be in accordance with the site plan as approved by this Agency. This will be field verified at the final inspection. Noncompliance may cause a delay in approval for Certificate of Occupancy.
- 1415 A** Fire Department access shall be provided to all otherwise inaccessible gated communities, subdivisions, developments, gated commercial properties or property by any other name through the use of a system or device as required by the Delaware State Fire Prevention Regulations and approved by the Office of the State Fire Marshal after consultation with the local Fire Chief. (DSFPR

**Regulation 705, Chapter 2, Section 2.6.2).Please provide specifications for the device. Include how the system works, where the device will be located, and a letter from the Fire Chief accepting the layout.**

**\* PROVIDE A LETTER SIGNED BY THE PROPERTY OWNER AND FIRE CHIEF AGREEING TO HOW THE FIRE DEPARTMENT WILL ACCESS THE PROPERTY.**

**1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.**





Date: 11/30/2020  
Reference: Will Serve Letter  
Site: Bioenergy Devco; TP# 132-6.00-95.00  
Address: 28192 Enviro Way, Seaford, DE 19973

To Whom It May Concern -

Chesapeake Utilities has existing utility infrastructure in place, ready and capable to serve the aforementioned project with natural gas, once all necessary company permitting, processes, and procedures have been completed. This project may include a cost for construction.

Currently, our distribution main sits along Seaford Road with an existing service line into the subject parcel.

Sincerely,  
/Dean Holden/

Dean Holden, PE  
Chesapeake Utilities  
500 Energy Lane  
Suite 100  
Dover, DE 19901  
[dholden@chpk.com](mailto:dholden@chpk.com)

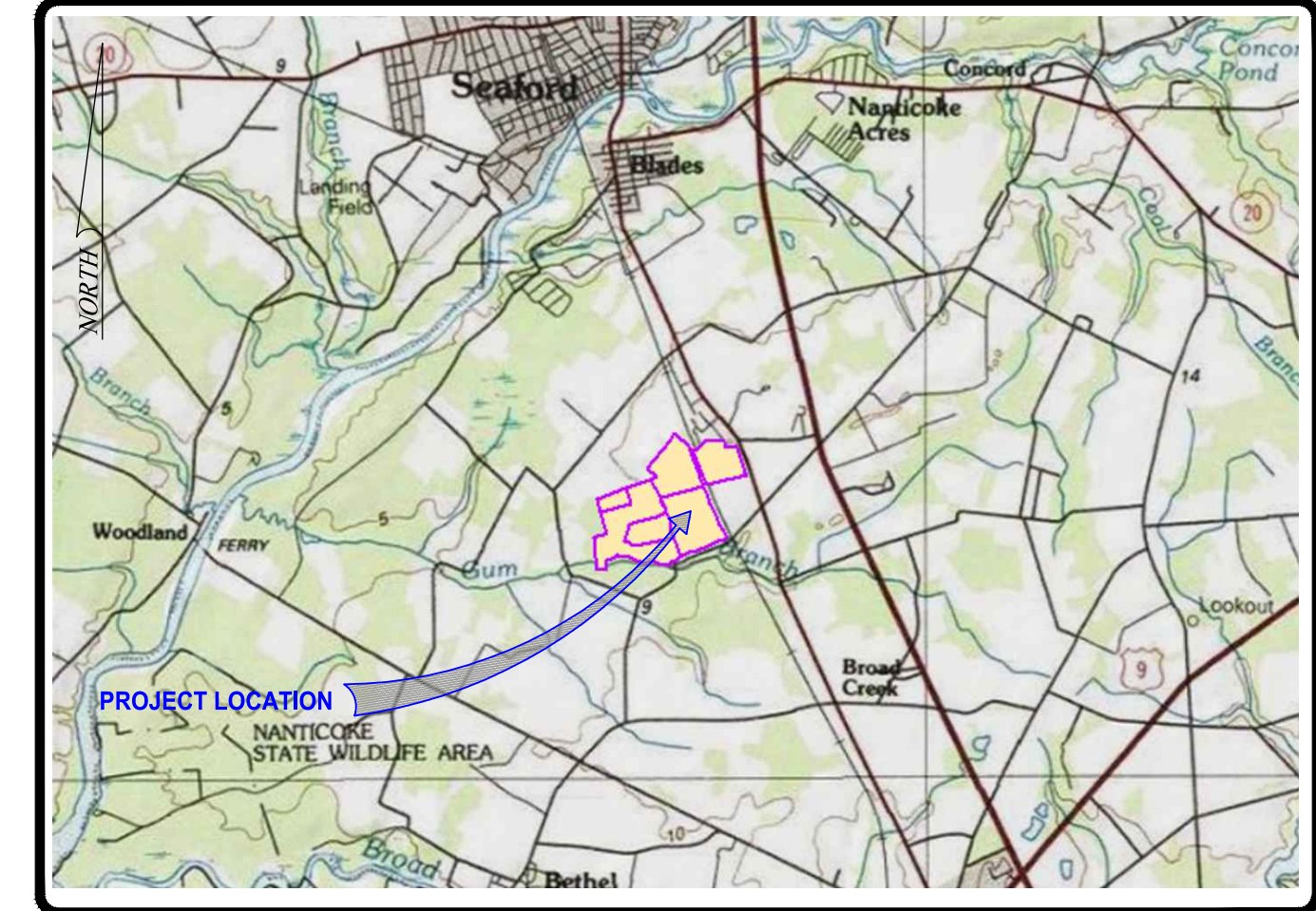
# BIOENERGY DEVELOPMENT GROUP, LLC

# FINAL SITE PLANS

## BLADES, SUSSEX COUNTY, DELAWARE

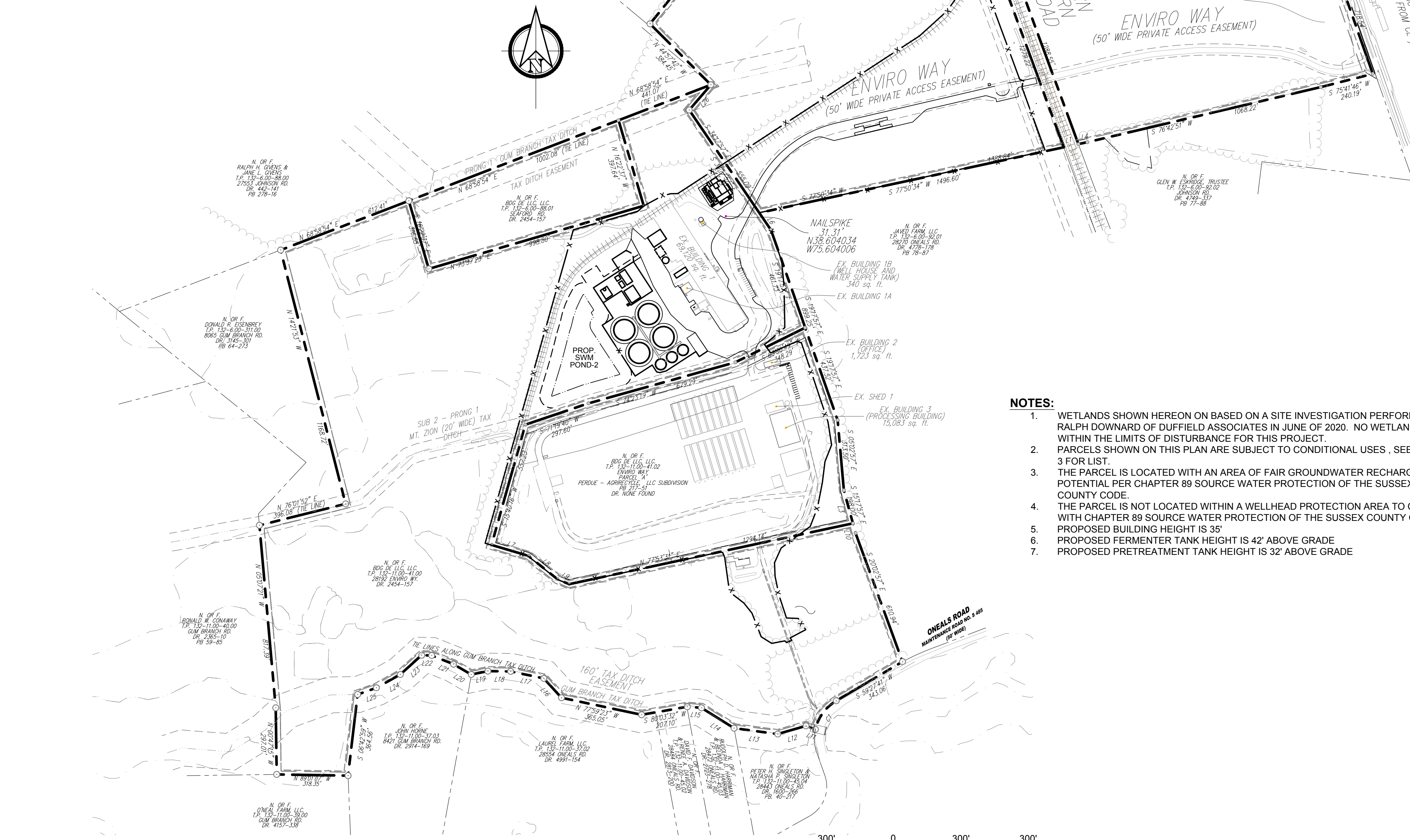
### SITE CONSTRUCTION NOTES:

- TAX MAP: 132-6.00-88.01, 132-6.00-95.00, 132-11.00-41.00, 132-11.00-41.02
- ZONING: AR-1
- WATER SERVICE: EXISTING PRIVATE WELL
- TOPOGRAPHIC AND BOUNDARY SURVEY PERFORMED BY THE PLSA COMPANY, DATED JUNE 26, 2020.
- FLOOD ZONE DESIGNATION: SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X AND HAS BEEN DETERMINED TO BE OUTSIDE OF THE 100 YEAR FLOODPLAIN PER FIRM MAP NO. 10005C0401 K, PANEL NO. 401 OF 660, DATED MARCH 18, 2015.
- PROTECTION OF BURIED UTILITIES: ONCE PERMITTED CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY MISS UTILITY NO LESS THAN 48 HOURS PRIOR TO STARTING WORK (1-800-282-8555).
- FIELD ADJUSTMENTS MAY BE NECESSARY FOR THE PROPOSED WORK WITH ANY SIGNIFICANT DISCREPANCY (IES), CONTACT ENGINEER FOR APPROPRIATE ACTION.
- ALL SANITARY SEWER MAIN(S) CONSTRUCTION SHALL CONFORM WITH SUSSEX COUNTY SEWER SPECIFICATIONS.
- EXISTING UTILITIES AND OTHER PHYSICAL FEATURES ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR AND ARE NOT WARRANTED COMPLETE OR ACCURATE. CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF THE SAME TO HIS OWN SATISFACTION.
- ALL ROAD AND BACKFILL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM WITH DELDOT STANDARD SPECIFICATIONS AND DETAILS EXCEPT WHERE OTHERWISE NOTED OR SPECIFIED.
- CONTRACTOR SHALL EXERCISE EVERY PRECAUTION TO AVOID DAMAGE TO EXISTING UTILITIES. COST OF REPAIRS TO ANY UTILITY DAMAGE AS A RESULT OF CONTRACTOR'S OPERATIONS SHALL BE ASSUMED ENTIRELY BY THE CONTRACTOR.
- ALL EXISTING PAVING, RUBBLE, OTHER DEMOLITION DEBRIS AND UNSUITABLE MATERIAL WITHIN THE LIMITS OF CONSTRUCTION SHALL BE COMPLETELY REMOVED AND DISPOSED OF OFF SITE. EXISTING PAVING SHALL BE SAWCUT TO FULL DEPTH AND TACK COAT APPLIED PRIOR TO NEW PAVING CONSTRUCTION.
- IT WILL BE THE RESPONSIBILITY OF THE DEVELOPER TO OBTAIN A GRADING PERMIT PRIOR TO ANY GRADING OPERATION ON THIS PROJECT.
- WHERE REQUIRED BY ENCOUNTERED SPRINGS OR OTHER SEEPAGE CONDITIONS, UNDERDRAIN LINES SHALL BE INSTALLED USING 6-INCH DIAMETER PERFORATED UNDERDRAIN PIPE MEETING STATE AND LOCAL STANDARD SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ALL CURBS, PAVING, SIDEWALK, UTILITIES AND LAWN DISTURBED DURING CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANIES TO SCHEDULE POLE/UTILITY RELOCATIONS AND INSTALLATIONS OF UTILITIES.
- THE CONTRACTOR SHALL APPLY FOR AND OBTAIN A DEWATERING PERMIT FROM THE DNREC WELL PERMITS BRANCH OF THE WATER SUPPLY SECTION (302-739-9944).



MAP: USGS LOCATION MAP SCALE: 1" = 600'

GENERAL NOTE			
1. Tax Parcel No.	132-6.00-88.01	132-6.00-95.00	132-11.00-41.00
2. Source of Tax	DR. 2454-157	DR. 2454-163	DR. 2454-157
3. Supporting Documents			SEPARATE DEED NOT RECORDED REFER TO PG. 220-49
4. Parcel Address	OFF ENVIRO WAY SEAFORD, DE 19973	SEAFORD ROAD SEAFORD, DE 19973	28335 ENVIRO WAY SEAFORD, DE 19973 ENVIRO WAY SEAFORD, DE 19973
5. Zoning	SUSSEX COUNTY DELAWARE Zoned AR-1 Lot Area (Squid) 32,670 SQ. FT. Lot Width (Squid) 100 (100' FRONTING ROAD) Lot Depth (Squid) 100 Front Yard 40' Side Yard 15' Rear Yard 20' Lot Width Minimum 100 (100' FRONTING ROAD) Height Maximum 42' Landscape Buffer 20'	AR-1 32,670 SQ. FT. 100 (100' FRONTING ROAD) 100 40' 15' 20' 100 (100' FRONTING ROAD) 42' 20'	AR-1 32,670 SQ. FT. 100 (100' FRONTING ROAD) 100 40' 15' 20' 100 (100' FRONTING ROAD) 42' 20'
A ZONING CERTIFICATION LETTER OR REPORT WAS NOT RECEIVED FOR THIS SURVEY. THE ZONING SHOWN HEREON IS FROM A CURSORY REVIEW OF THE ZONING CODE OF SUSSEX COUNTY, DELAWARE, CHAPTER 114, ARTICLE 11, SECTION 115.25(a) OF JULY 28, 2018. NOTE: IT IS STRONGLY ADVISED TO CONTACT THE JURISDICTIONAL CONTROLLING AUTHORITIES FOR UP TO DATE INFORMATION, INTERPRETATIONS AND VERIFICATION OF THE MOST RECENT ZONING CODE, ASSOCIATED REGULATIONS AND RECENTLY PROPOSED ORDINANCES.			
6. Areas	Site	433,600+/- SF (10.00+/- AC)	3,956,960+/- SF (90.84+/- AC)
	Existing Buildings		BLDG 1, 69,120+/- SF BLDG 2, 1,723+/- SF BLDG 3, 15,000+/- SF 72,543+/- SF (1.67+/- AC)
	Stormwater Mgmt		182,513+/- SF (4.18+/- AC)
	Open Space	433,600+/- SF (10.00+/- AC)	3,956,960+/- SF (90.84+/- AC)
	Other Impervious	87,805.25+/- SF (2.00+/- AC)	4,402,864+/- SF (101.9+/- AC)
	Proposed		596,552.75+/- SF (13.69+/- AC)
	Buildings		3,670 SF (0.08+/- AC)
	Stormwater Mgmt		242,649+/- SF (5.57+/- AC)
	Open Space	433,600+/- SF (10.00+/- AC)	3,956,960+/- SF (90.84+/- AC)
	Other Impervious	87,805.25+/- SF (2.00+/- AC)	4,402,864+/- SF (101.9+/- AC)
	Proposed Spaces	3,670+/- SF GFA @ 1 PARKING SPACE / 200 SF GFA	18 (INC. 1 ADA SP.) 33 SPACES TOTAL
7. Parking Data			
	Existing Spaces		
	Proposed Spaces		
8. Total Disturbed Area		384,722.12+/- SF (8.69+/- AC)	
9. Flood Zone Designations			
10. Record Plans			
11. Utilities			
12. Vertical Datum			
13. Elevation Reference			
14. Owner Data			
15. Water Service			
16. Sewer Service			



- ### NOTES:
- WETLANDS SHOWN HEREON ON BASED ON A SITE INVESTIGATION PERFORMED BY RALPH DOWARD OF DUFFIELD ASSOCIATES IN JUNE OF 2020. NO WETLANDS EXIST WITHIN THE LIMITS OF DISTURBANCE FOR THIS PROJECT.
  - PARCELS SHOWN ON THIS PLAN ARE SUBJECT TO CONDITIONAL USES. SEE SHEET 3 FOR LIST.
  - THE PARCEL IS LOCATED WITH AN AREA OF FAIR GROUNDWATER RECHARGE POTENTIAL PER CHAPTER 89 SOURCE WATER PROTECTION OF THE SUSSEX COUNTY CODE.
  - THE PARCEL IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA TO COMPLY WITH CHAPTER 89 SOURCE WATER PROTECTION OF THE SUSSEX COUNTY CODE.
  - PROPOSED BUILDING HEIGHT IS 35'
  - PROPOSED FERMENTER TANK HEIGHT IS 42' ABOVE GRADE
  - PROPOSED PRETREATMENT TANK HEIGHT IS 32' ABOVE GRADE

### SHEET LIST

SHEET C1	INDEX SHEET	
SHEET C2	EXISTING CONDITIONS/DEMOLITION PLAN	
SHEET C3	OVERALL SITE PLAN	
SHEET C4	SITE PLAN	
SHEET C5	SITE PLAN	
SHEET C6	SITE PLAN	
SHEET C7	GRADING PLAN	
SHEET C8	GRADING PLAN	
SHEET C9	GRADING PLAN	
SHEET C10	UTILITY PLAN	
SHEET C11	STORM DRAIN TABLES AND PROFILES	
SHEET C12	SITE DETAILS	
SHEET C13	FIRE MARSHAL PLAN - OVERALL SITE PLAN	
SHEET C14	FIRE MARSHAL PLAN - SITE PLAN	
SHEET C15	FIRE MARSHAL PLAN - SITE PLAN	
SHEET L1	LANDSCAPE PLAN	
SHEET L2	LANDSCAPE DETAILS AND NOTES	

### ABBREVIATIONS:

ADJ	ADJOINER
BLDG	BUILDING
C.L.F.	CHAIN LINK FENCE
COH	CHIMNEY OVERHANG
CONC	CONCRETE
DH	DRILLHOLE
FOH	FLOOR OVERHANG
IP	IRON PIPE/PIP
MCN	MONUMENT
PL	PROPERTY LINE
POB	POINT OF BEGINNING
RHW	ROOF OVERHANG
ROW	RIGHT-OF-WAY
WOH	WINDOW OVERHANG
MEG	MATCH EXISTING GRADE

### EXISTING LEGEND

---	PROPERTY LINE
---	ADJOINER PROPERTY LINE
- - -	CONTOUR
•	SPOT ELEVATION
- - -	EASEMENT
---	GAS LINE
---	FORCE MAIN
---	WATER LINE
---	ASPHALT
---	CONCRETE
---	RAIL ROAD
---	TREELINE

### PROPOSED LEGEND

X X	PROPOSED FENCE
---	PROPOSED EASEMENT
- - -	PROPOSED CONTOUR
FM	PROPOSED FORCE MAIN
---	PROPOSED WATER
---	PROPOSED GAS
---	PROPOSED SANITARY SEWER
---	PROPOSED STORM DRAIN
---	PROPOSED ELECTRIC
---	4" HEAVY DUTY ASPHALT OVERLAY
---	FULL DEPTH HEAVY DUTY ASPHALT
---	PROPOSED GABC
---	PROPOSED CONCRETE
---	LIMIT OF DISTURBANCE
---	PROPOSED SPOT ELEVATION
---	MATCH EXISTING GRADE

**OWNER'S CERTIFICATION:**  
I, BIOENERGY DEVELOPMENT GROUP, LLC, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

PROPERTY OWNER \_\_\_\_\_ DATE \_\_\_\_\_ 2020

**ENGINEER'S CERTIFICATION:**  
I, STEPHEN J. GORSKI, HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

30 NOVEMBER, 2020 \_\_\_\_\_  
DATE STEPHEN J. GORSKI, P.E.  
REGISTRATION # 12625

**SUSSEX COUNTY CONSERVATION DISTRICT**  
APPROVED: SUSSEX COUNTY CONSERVATION DISTRICT.

NAME \_\_\_\_\_ DATE \_\_\_\_\_

**SUSSEX COUNTY CERTIFICATION**  
APPROVED: THE COUNTY PLANNING AND ZONING COMMISSION OF SUSSEX COUNTY.

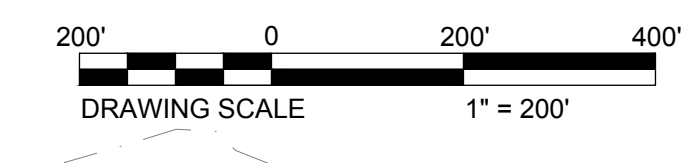
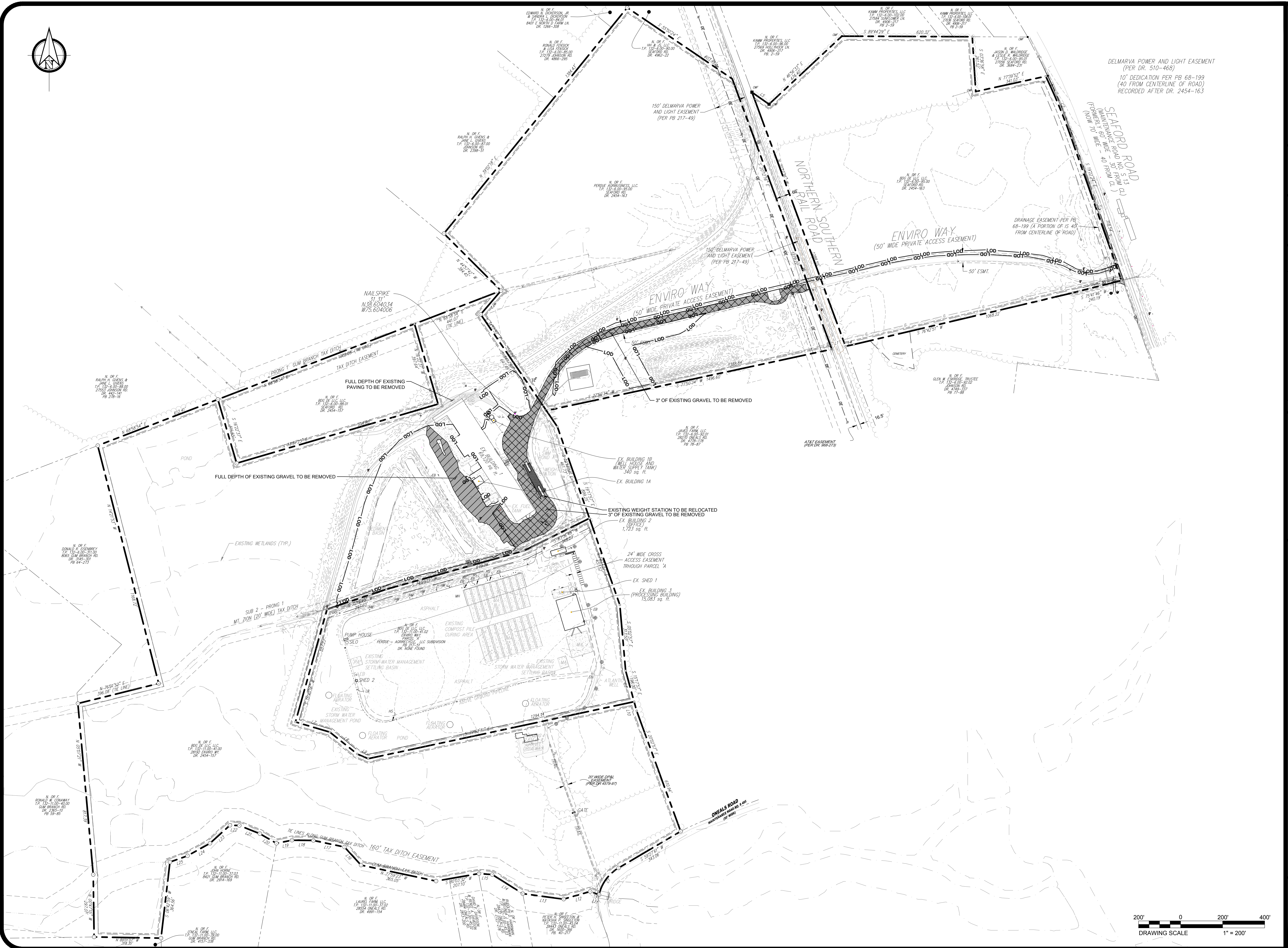
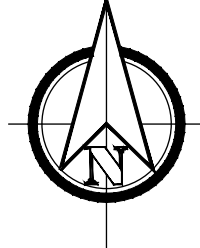
NAME \_\_\_\_\_ DATE \_\_\_\_\_

**DUFFIELD ASSOCIATES**  
Soil, Water & the Environment  
5400 LIMESTONE ROAD  
WILMINGTON, DE 19808-1232  
TEL: 302.239.6634  
FAX: 302.239.6485  
OFFICES IN DELAWARE, MARYLAND, PENNSYLVANIA AND NEW JERSEY  
WEB: HTTP://DUFFIELD.COM  
E-MAIL: DUFFIELD@DUFFIELD.COM

CHECKED BY: \_\_\_\_\_  
DESIGNED BY: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
SCALE: 1" = 600'  
FILE NAME: 01-LG1239CF-1.mxd  
SMCJUL  
STEPHEN J. GORSKI, P.E.  
STATE DELAWARE P.E.#: 12625

**INDEX SHEET**  
**FINAL SITE PLAN**  
**BIOENERGY DEVELOPMENT GROUP, LLC**  
**SUSSEX COUNTY ~ DELAWARE**

DATE: 30 NOVEMBER 2020  
SCALE: AS SHOWN  
PROJECT NO. 12393.CF  
SHEET: C1 OF 17



**DUFFIELD ASSOCIATES**  
Soil, Water & the Environment

5600 LIMESTONE ROAD  
WILMINGTON, DE 19808-1232  
TEL: 302.239.6634  
FAX: 302.239.8485

OFFICES IN DELAWARE, MARYLAND,  
PENNSYLVANIA AND NEW JERSEY  
WEB: HTTP://DUFFIELD.COM  
E-MAIL: DUFFIELD@DUFFIELD.COM

CHECKED BY:	SG
DESIGNED BY:	SMC/JIL
DRAWN BY:	SMC/JIL
FILE NAME:	02-LG12393CF-Fv
STEPHEN J. GORSKI, P.E.	
STATE DELAWARE	P.E.#: 12625

NO.	REVISION

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC  
25 LINDSEY ROAD  
COLUMBIA, MD 21045

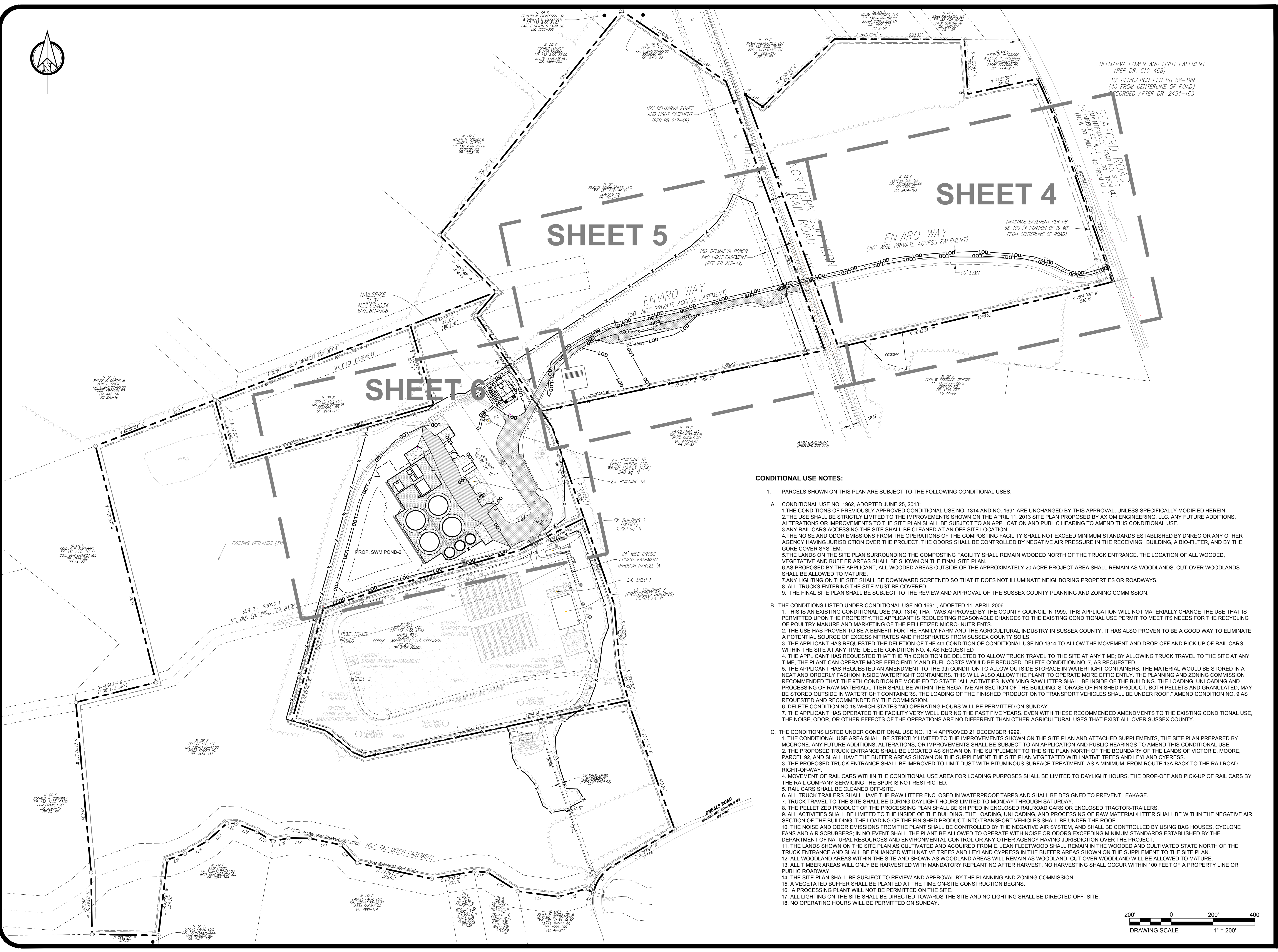
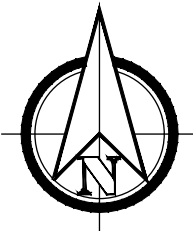
**EXISTING CONDITIONS / DEMOLITION PLAN**

**FINAL SITE PLAN**

**BIOENERGY DEVELOPMENT GROUP, LLC**

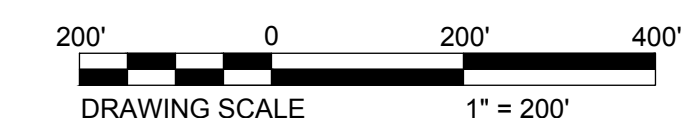
**SUSSEX COUNTY - DELAWARE**

DATE: 30 NOVEMBER 2020  
SCALE: 1" = 200'  
PROJECT NO. 12393.CF  
SHEET: C2 OF 17



**CONDITIONAL USE NOTES:**

1. PARCELS SHOWN ON THIS PLAN ARE SUBJECT TO THE FOLLOWING CONDITIONAL USES:
  - A. CONDITIONAL USE NO. 1962, ADOPTED JUNE 25, 2013:
    1. THE CONDITIONS OF PREVIOUSLY APPROVED CONDITIONAL USE NO. 1314 AND NO. 1691 ARE UNCHANGED BY THIS APPROVAL, UNLESS SPECIFICALLY MODIFIED HEREIN.
    2. THE USE SHALL BE STRICTLY LIMITED TO THE IMPROVEMENTS SHOWN ON THE APRIL 11, 2013 SITE PLAN PROPOSED BY AXIOM ENGINEERING, LLC. ANY FUTURE ADDITIONS, ALTERATIONS OR IMPROVEMENTS TO THE SITE PLAN SHALL BE SUBJECT TO AN APPLICATION AND PUBLIC HEARING TO AMEND THIS CONDITIONAL USE.
    3. ANY RAIL CARS ACCESSING THE SITE SHALL BE CLEANED AT AN OFF-SITE LOCATION.
    4. THE NOISE AND ODOR EMISSIONS FROM THE OPERATIONS OF THE COMPOSTING FACILITY SHALL NOT EXCEED MINIMUM STANDARDS ESTABLISHED BY DNREC OR ANY OTHER AGENCY HAVING JURISDICTION OVER THE PROJECT. THE ODORS SHALL BE CONTROLLED BY NEGATIVE AIR PRESSURE IN THE RECEIVING BUILDING, A BIO-FILTER, AND BY THE GORE COVER SYSTEM.
    5. THE LANDS ON THE SITE PLAN SURROUNDING THE COMPOSTING FACILITY SHALL REMAIN WOODED NORTH OF THE TRUCK ENTRANCE. THE LOCATION OF ALL WOODED, VEGETATIVE AND BUFFER AREAS SHALL BE SHOWN ON THE FINAL SITE PLAN.
    6. AS PROPOSED BY THE APPLICANT, ALL WOODED AREAS OUTSIDE OF THE APPROXIMATELY 20 ACRE PROJECT AREA SHALL REMAIN AS WOODLANDS. CUT-OVER WOODLANDS SHALL BE ALLOWED TO MATURE.
    7. ANY LIGHTING ON THE SITE SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT ILLUMINATE NEIGHBORING PROPERTIES OR ROADWAYS.
    8. ALL TRUCKS ENTERING THE SITE MUST BE COVERED.
    9. THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.
  - B. THE CONDITIONS LISTED UNDER CONDITIONAL USE NO. 1691, ADOPTED 11 APRIL 2006.
    1. THIS IS AN EXISTING CONDITIONAL USE (NO. 1314) THAT WAS APPROVED BY THE COUNTY COUNCIL IN 1999. THIS APPLICATION WILL NOT MATERIALLY CHANGE THE USE THAT IS PERMITTED UPON THE PROPERTY. THE APPLICANT IS REQUESTING REASONABLE CHANGES TO THE EXISTING CONDITIONAL USE PERMIT TO MEET ITS NEEDS FOR THE RECYCLING OF POULTRY MANURE AND MARKETING OF THE PELLETIZED MICRO-NUTRIENTS.
    2. THE USE HAS PROVEN TO BE A BENEFIT FOR THE FAMILY FARM AND THE AGRICULTURAL INDUSTRY IN SUSSEX COUNTY. IT HAS ALSO PROVEN TO BE A GOOD WAY TO ELIMINATE A POTENTIAL SOURCE OF EXCESS NITRATES AND PHOSPHATES FROM SUSSEX COUNTY SOILS.
    3. THE APPLICANT HAS REQUESTED THE DELETION OF THE 4th CONDITION OF CONDITIONAL USE NO. 1314 TO ALLOW THE MOVEMENT AND DROP-OFF AND PICK-UP OF RAIL CARS WITHIN THE SITE AT ANY TIME. DELETE CONDITION NO. 4, AS REQUESTED.
    4. THE APPLICANT HAS REQUESTED THAT THE 7th CONDITION BE DELETED TO ALLOW TRUCK TRAVEL TO THE SITE AT ANY TIME; BY ALLOWING TRUCK TRAVEL TO THE SITE AT ANY TIME, THE PLANT CAN OPERATE MORE EFFICIENTLY AND FUEL COSTS WOULD BE REDUCED. DELETE CONDITION NO. 7, AS REQUESTED.
    5. THE APPLICANT HAS REQUESTED AN AMENDMENT TO THE 9th CONDITION TO ALLOW OUTSIDE STORAGE IN WATERTIGHT CONTAINERS; THE MATERIAL WOULD BE STORED IN A NEAT AND ORDERLY FASHION INSIDE WATERTIGHT CONTAINERS. THIS WILL ALSO ALLOW THE PLANT TO OPERATE MORE EFFICIENTLY. THE PLANNING AND ZONING COMMISSION RECOMMENDED THAT THE 9TH CONDITION BE MODIFIED TO STATE "ALL ACTIVITIES INVOLVING RAW LITTER SHALL BE INSIDE OF THE BUILDING. THE LOADING, UNLOADING AND PROCESSING OF RAW MATERIAL LITTER SHALL BE WITHIN THE NEGATIVE AIR SECTION OF THE BUILDING. STORAGE OF FINISHED PRODUCT, BOTH PELLETS AND GRANULATED, MAY BE STORED OUTSIDE IN WATERTIGHT CONTAINERS. THE LOADING OF THE FINISHED PRODUCT ONTO TRANSPORT VEHICLES SHALL BE UNDER ROOF." AMEND CONDITION NO. 9 AS REQUESTED AND RECOMMENDED BY THE COMMISSION.
    6. DELETE CONDITION NO. 18 WHICH STATES "NO OPERATING HOURS WILL BE PERMITTED ON SUNDAY."
    7. THE APPLICANT HAS OPERATED THE FACILITY VERY WELL DURING THE PAST FIVE YEARS. EVEN WITH THESE RECOMMENDED AMENDMENTS TO THE EXISTING CONDITIONAL USE, THE NOISE, ODOR, OR OTHER EFFECTS OF THE OPERATIONS ARE NO DIFFERENT THAN OTHER AGRICULTURAL USES THAT EXIST ALL OVER SUSSEX COUNTY.
  - C. THE CONDITIONS LISTED UNDER CONDITIONAL USE NO. 1314 APPROVED 21 DECEMBER 1999.
    1. THE CONDITIONAL USE AREA SHALL BE STRICTLY LIMITED TO THE IMPROVEMENTS SHOWN ON THE SITE PLAN AND ATTACHED SUPPLEMENTS, THE SITE PLAN PREPARED BY MCCRONE. ANY FUTURE ADDITIONS, ALTERATIONS, OR IMPROVEMENTS SHALL BE SUBJECT TO AN APPLICATION AND PUBLIC HEARINGS TO AMEND THIS CONDITIONAL USE.
    2. THE PROPOSED TRUCK ENTRANCE AS SHOWN ON THE SUPPLEMENT TO THE SITE PLAN NORTH OF THE BOUNDARY OF THE LANDS OF VICTOR E. MOORE, PARCEL 92, AND SHALL HAVE THE BUFFER AREAS SHOWN ON THE SUPPLEMENT TO THE SITE PLAN VEGETATED WITH NATIVE TREES AND LEYLAND CYPRISS.
    3. THE PROPOSED TRUCK ENTRANCE SHALL BE IMPROVED TO LIMIT DUST WITH BITUMINOUS SURFACE TREATMENT, AS A MINIMUM, FROM ROUTE 13A BACK TO THE RAILROAD RIGHT-OF-WAY.
    4. MOVEMENT OF RAIL CARS WITHIN THE CONDITIONAL USE AREA FOR LOADING PURPOSES SHALL BE LIMITED TO DAYLIGHT HOURS. THE DROP-OFF AND PICK-UP OF RAIL CARS BY THE RAIL COMPANY SERVICING THE SPUR IS NOT RESTRICTED.
    5. RAIL CARS SHALL BE CLEANED OFF-SITE.
    6. ALL TRUCK TRAILERS SHALL HAVE THE RAW LITTER ENCLOSED IN WATERPROOF TARPES AND SHALL BE DESIGNED TO PREVENT LEAKAGE.
    7. TRUCK TRAVEL TO THE SITE SHALL BE DURING DAYLIGHT HOURS LIMITED TO MONDAY THROUGH SATURDAY.
    8. THE PELLETIZED PRODUCT OF THE PROCESSING PLANT SHALL BE SHIPPED IN ENCLOSED RAILROAD CARS OR ENCLOSED TRACTOR-TRAILERS.
    9. ALL ACTIVITIES SHALL BE LIMITED TO THE INSIDE OF THE BUILDING. THE LOADING, UNLOADING, AND PROCESSING OF RAW MATERIAL LITTER SHALL BE WITHIN THE NEGATIVE AIR SECTION OF THE BUILDING. THE LOADING OF THE FINISHED PRODUCT INTO TRANSPORT VEHICLES SHALL BE UNDER THE ROOF.
    10. THE NOISE AND ODOR EMISSIONS FROM THE PLANT SHALL BE CONTROLLED BY THE NEGATIVE AIR SYSTEM, AND SHALL BE CONTROLLED BY USING BAG HOUSES, CYCLONE FANS AND AIR SCRUBBERS; IN NO EVENT SHALL THE PLANT BE ALLOWED TO OPERATE WITH NOISE OR ODORS EXCEEDING MINIMUM STANDARDS ESTABLISHED BY THE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL OR ANY OTHER AGENCY HAVING JURISDICTION OVER THE PROJECT.
    11. THE LANDS SHOWN ON THE SITE PLAN AS CULTIVATED AND ACQUIRED FROM E. JEAN FLEETWOOD SHALL REMAIN IN THE WOODED AND CULTIVATED STATE NORTH OF THE TRUCK ENTRANCE AND SHALL BE ENHANCED WITH NATIVE TREES AND LEYLAND CYPRISS IN THE BUFFER AREAS SHOWN ON THE SUPPLEMENT TO THE SITE PLAN.
    12. ALL WOODLAND AREAS WITHIN THE SITE AND SHOWN AS WOODLAND AREAS WILL REMAIN AS WOODLAND, CUT-OVER WOODLAND WILL BE ALLOWED TO MATURE.
    13. ALL TIMBER AREAS WILL ONLY BE HARVESTED WITH MANDATORY REPLANTING AFTER HARVEST. NO HARVESTING SHALL OCCUR WITHIN 100 FEET OF A PROPERTY LINE OR PUBLIC ROADWAY.
    14. THE SITE PLAN SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING AND ZONING COMMISSION.
    15. A VEGETATED BUFFER SHALL BE PLANTED AT THE TIME ON-SITE CONSTRUCTION BEGINS.
    16. A PROCESSING PLANT WILL NOT BE PERMITTED ON THE SITE.
    17. ALL LIGHTING ON THE SITE SHALL BE DIRECTED TOWARDS THE SITE AND NO LIGHTING SHALL BE DIRECTED OFF-SITE.
    18. NO OPERATING HOURS WILL BE PERMITTED ON SUNDAY.



**DUFFIELD ASSOCIATES**  
Soil, Water & the Environment

5400 LIMESTONE ROAD  
WILMINGTON, DE 19808-1232  
TEL: 302.239.6634  
FAX: 302.239.8485

OFFICES IN DELAWARE, MARYLAND, PENNSYLVANIA AND NEW JERSEY  
WEB: HTTP://DUFFIELD.COM  
E-MAIL: DUFFIELD@DUFFIELD.COM

CHECKED BY:		FILE NAME:	
SG	STEPHEN J. GORSKI, P.E.	03-06-LG12393CF-30	
DESIGNED BY:		DRAWN BY:	
SMC/JUL	SMC/JUL		
DATE:			
REVISION			
No.			

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC 25 BRUNNEN ROAD COLUMBIA, MD 21045			
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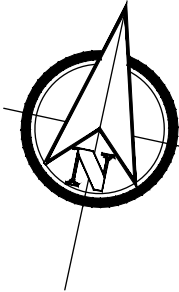
**OVERALL SITE PLAN**

**FINAL SITE PLAN**

**BIOENERGY DEVELOPMENT GROUP, LLC**

**SUSSEX COUNTY - DELAWARE**

DATE: 30 NOVEMBER 2020  
SCALE: 1" = 200'  
PROJECT NO. 12393.CF  
SHEET: C3 OF 17



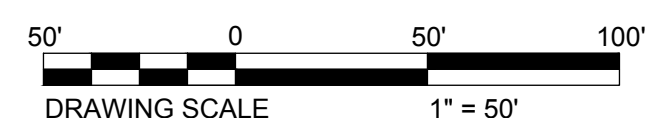
MATCHLINE - SEE SHEET 5

N. DR. F.  
DR. J.B. HILL, LLC  
15' 48.00' 30.00'  
549.00' N.  
DR. 2454-163

N. DR. F.  
GLYNN ENGINEERING, INC.  
15' 00' 00.00'  
109.00' N.  
DR. 2454-163  
PG. 17-08

**SEAFORD ROAD**  
(MAINTENANCE ROAD NO. 3001 C4)  
(POSTED 60' WIDE - 50' FROM C4)  
(NOV 17' WIDE - 40' FROM C4)

CEMETERY



DATE: 30 NOVEMBER 2020  
SCALE: 1" = 50'  
PROJECT NO. 12393.CF  
SHEET: C4 OF 17

**SITE PLAN**  
**FINAL SITE PLAN**  
**BIOENERGY DEVELOPMENT**  
**GROUP, LLC**  
SUSSEX COUNTY ~ DELAWARE

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC  
824 BURENDA ROAD  
COLUMBIA, MD 21045

CHK BY:	DATE:	REVISION:	No.

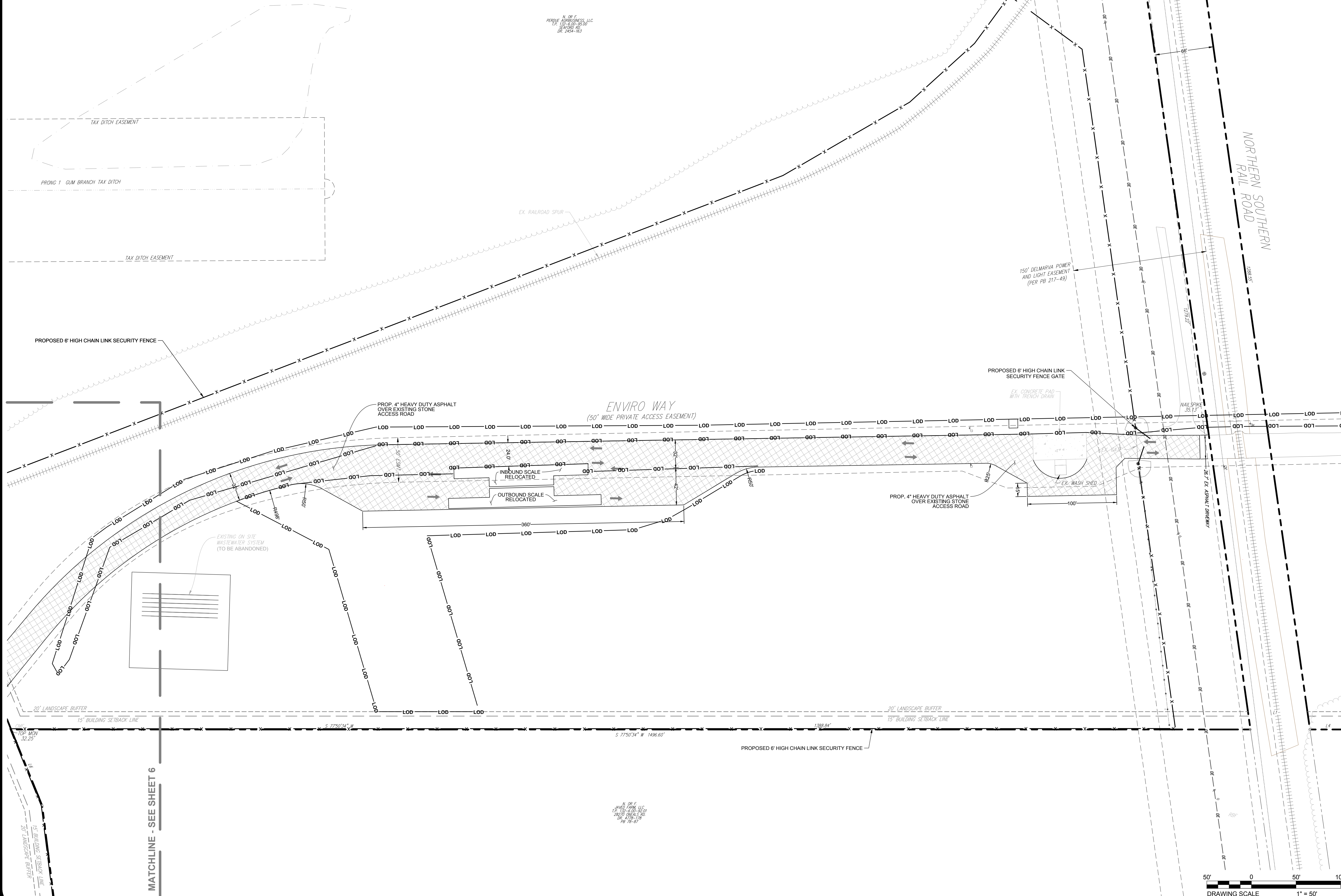
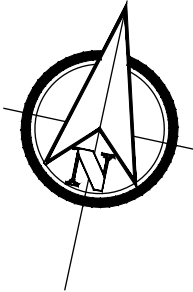
CHECKED BY:	SG
DESIGNED BY:	SCHJL
DRAWN BY:	SMC/JUL
FILE NAME:	03-06-LG12393CF
	STEPHEN J. GORSKI, P.E.

**DUFFIELD ASSOCIATES**  
Soil, Water & the Environment

5400 LIMESTONE ROAD  
WILMINGTON, DE 19808-1232  
TEL: 302.239.6634  
FAX: 302.239.8485

OFFICES IN DELAWARE, MARYLAND,  
PENNSYLVANIA AND NEW JERSEY  
WEB: [HTTP://DUFFNET.COM](http://DUFFNET.COM)  
E-MAIL: [DUFFIELD@DUFFNET.COM](mailto:DUFFIELD@DUFFNET.COM)

STATE DELAWARE      P.E.#: 12625



N. OR F.  
PERMITS ADMINISTRATION, LLC  
101 15th Street  
SANDWICH, MD  
20688

N. OR F.  
PERMITS ADMINISTRATION, LLC  
101 15th Street  
SANDWICH, MD  
20688

MATCHLINE - SEE SHEET 4

DESIGNED BY:  
SCLJ/LJ

CHECKED BY:  
SG

DRAWN BY:  
SMC/JL

FILE NAME:  
03-06-LG12393CF-000

STEPHEN J. GORSKI, P.E.

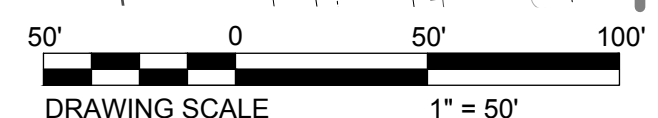
STATE DELAWARE

P.E.#: 12625

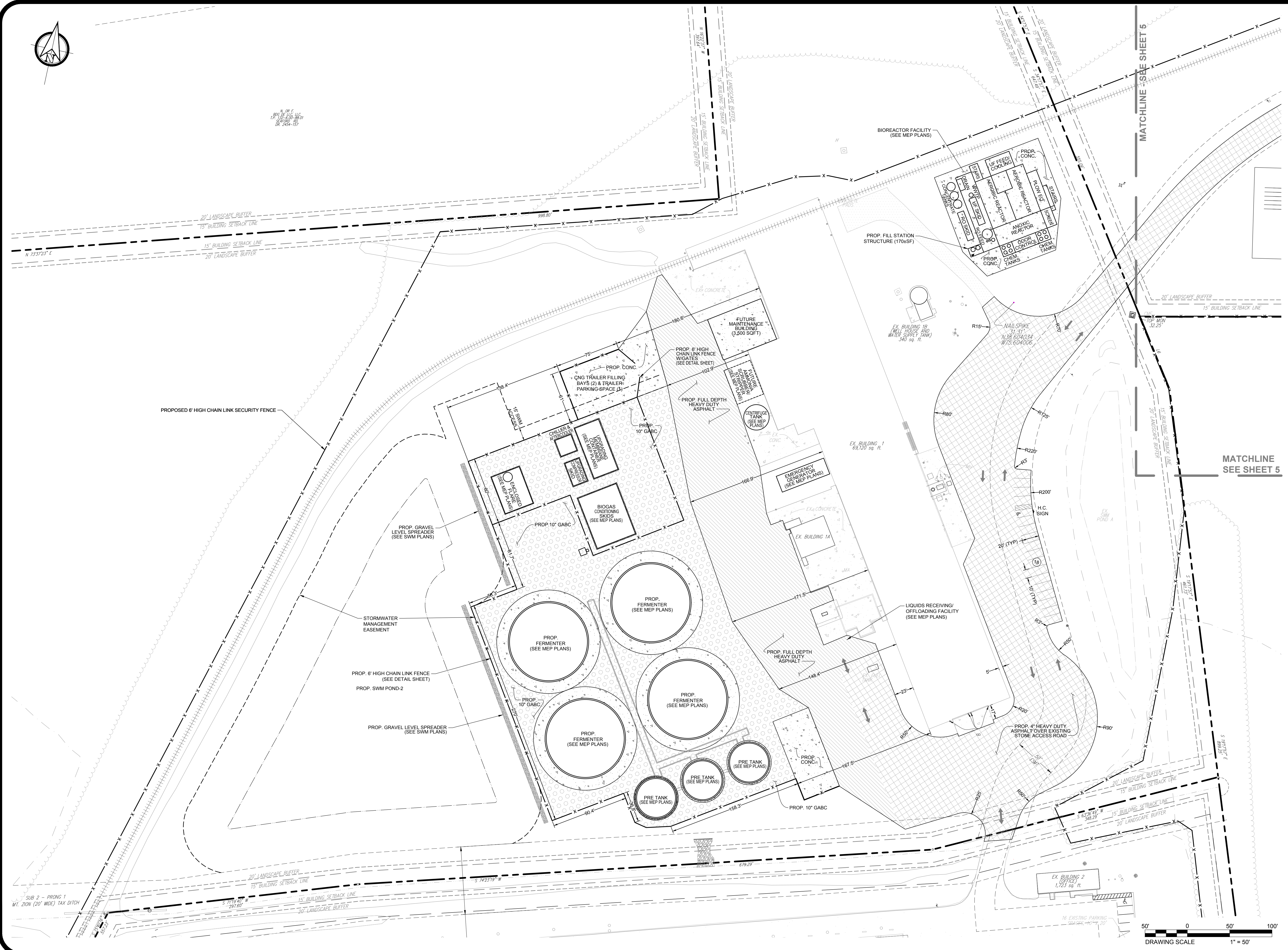
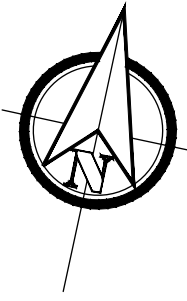
OWNER: BIOENERGY DEVELOPMENT GROUP, LLC  
124 BURENDA ROAD  
COLUMBIA, MD 21045

# SITE PLAN FINAL SITE PLAN BIOENERGY DEVELOPMENT GROUP, LLC SUSSEX COUNTY ~ DELAWARE

DATE: 30 NOVEMBER 2020  
SCALE: 1" = 50'  
PROJECT NO. 12393.CF  
SHEET: C5 OF 17



MATCHLINE - SEE SHEET 6



**DUFFIELD ASSOCIATES**  
Soil, Water & the Environment

5400 LIMESTONE ROAD  
WILMINGTON, DE 19808-1232  
TEL: 302.239.6634  
FAX: 302.239.8485

OFFICES IN DELAWARE, MARYLAND, PENNSYLVANIA AND NEW JERSEY  
WEB: [HTTP://DUFFIELD.COM](http://duffield.com)  
E-MAIL: [DUFFIELD@DUFFIELD.COM](mailto:duffield@duffield.com)

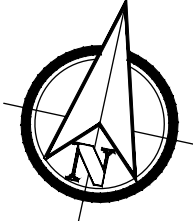
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DESIGNED BY:	SMC/JL
DRAWN BY:	SMC/JL
FILE NAME:	03-06-LG1239CF-00
DESIGNER:	STEPHEN J. GORSKI, P.E.

NO.	REVISION

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC  
25 BURENDA ROAD  
COLUMBIA, MD 21045

**SITE PLAN**  
**FINAL SITE PLAN**  
**BIOENERGY DEVELOPMENT**  
**GROUP, LLC**  
**SUSSEX COUNTY ~ DELAWARE**

DATE: 30 NOVEMBER 2020  
SCALE: 1" = 50'  
PROJECT NO. 12393.CF  
SHEET: C6 OF 17

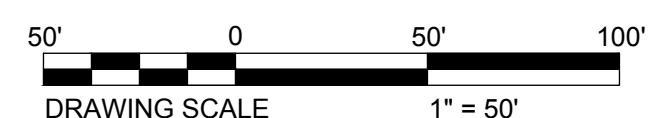


MATCHLINE - SEE SHEET 8



N. OF E.  
 89'18" W. OF N. OF E. LLC.  
 12' 14" W. OF 38' 50"  
 20' 00" N. OF E.  
 DR. 2454-181

N. OF E.  
 61'18" W. OF ENVIRO DRIVE  
 11' 00" S. OF 38' 50"  
 10' 00" S. OF E.  
 DR. 2454-181  
 PG. 17-88



**DUFFIELD ASSOCIATES**  
 Soil, Water & the Environment  
 5400 LIMESTONE ROAD  
 WILMINGTON, DE 19808-1232  
 TEL: 302.239.6634  
 FAX: 302.239.8485

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 WEB: [HTTP://DUFFIELD.COM](http://DUFFIELD.COM)  
 E-MAIL: [DUFFIELD@DUFFIELD.COM](mailto:DUFFIELD@DUFFIELD.COM)

CHECKED BY: SIG  
 DESIGNED BY: SCLJUL  
 DRAWN BY: SMCJUL  
 FILE NAME: 07-09-LG12393CF.dwg  
 STEPHEN J. GORSKI, P.E.

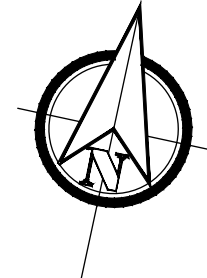
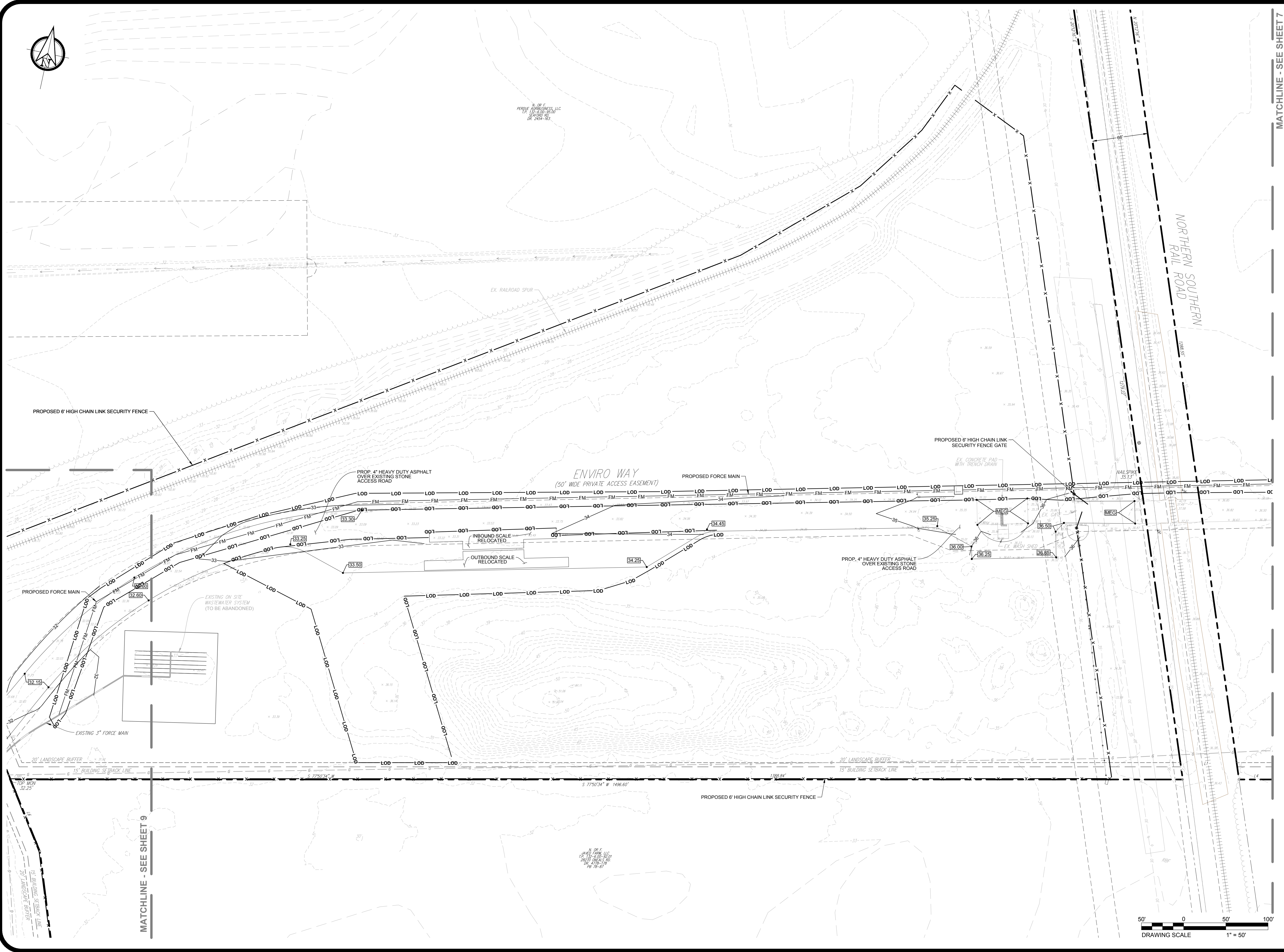
NO.	REVISION	DATE

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC  
 22 BRENDIX ROAD  
 COLUMBIA, MD 21045

**GRADING PLAN  
 FINAL SITE PLAN  
 BIOENERGY DEVELOPMENT  
 GROUP, LLC  
 SUSSEX COUNTY ~ DELAWARE**

DATE: 30 NOVEMBER 2020  
 SCALE: 1" = 50'  
 PROJECT NO. 12393.CF  
 SHEET: C7 OF 17





MATCHLINE - SEE SHEET 7

**DUFFIELD ASSOCIATES**  
Soil, Water & the Environment

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WILMINGTON, DE 19808-1232  
TEL: 302.239.6634  
FAX: 302.239.8485

OFFICES IN DELAWARE, MARYLAND,  
PENNSYLVANIA AND NEW JERSEY  
WEB: HTTP://DUFFNET.COM  
E-MAIL: DUFFIELD@DUFFNET.COM

DESIGNED BY: SCHLUD  
DRAWN BY: SMC/JUL  
CHECKED BY: SJC  
FILE NAME: 07-09-1012393CF-1.dwg  
STEPHEN J. GORSKI, P.E.

STATE DELAWARE P.E.#: 12625

NO.	REVISION	DATE

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC  
28 BURENIX ROAD  
COLUMBIA, MD 21045

# GRADING PLAN

## FINAL SITE PLAN

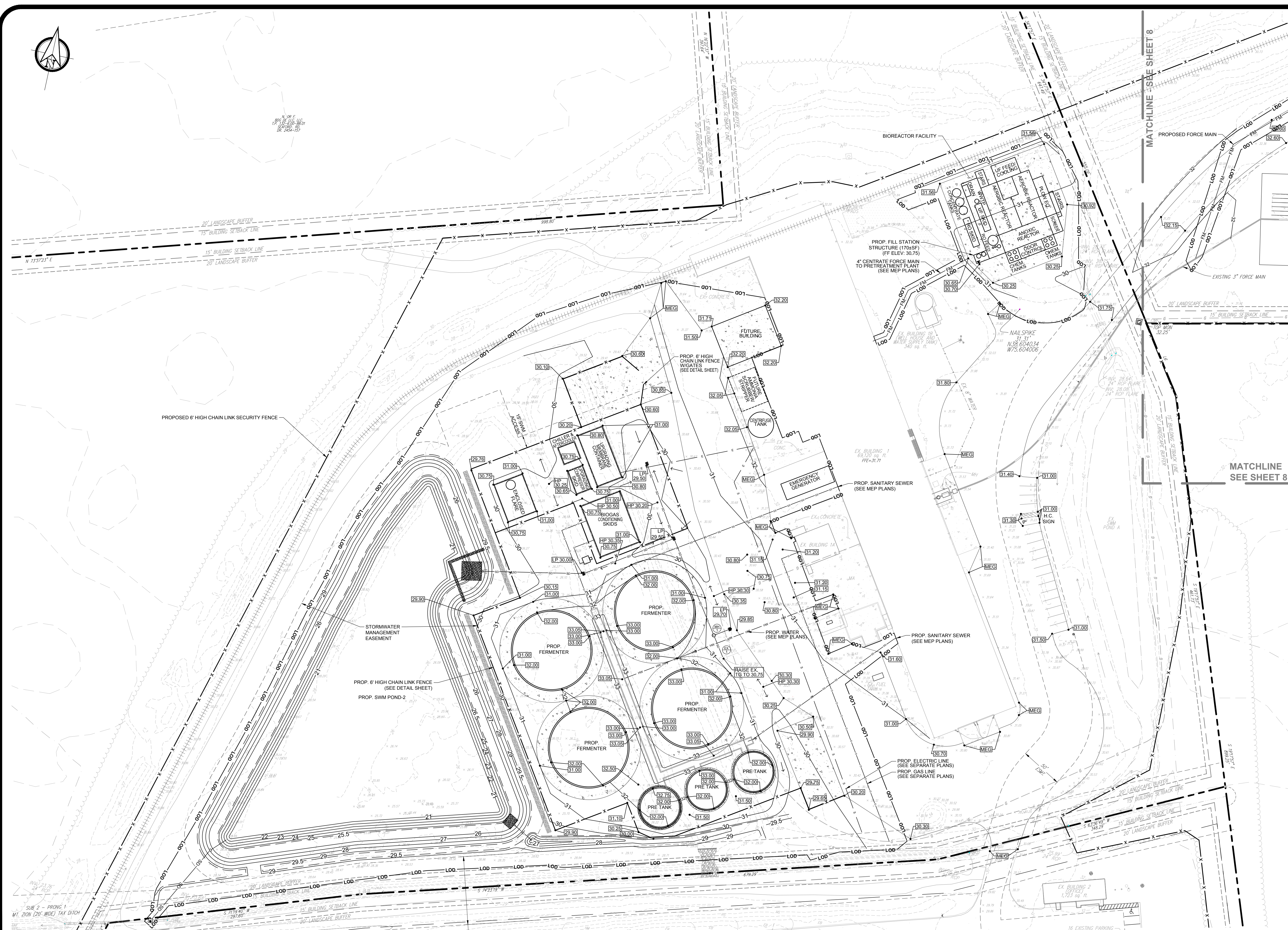
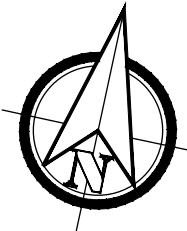
### BIOENERGY DEVELOPMENT GROUP, LLC

SUSSEX COUNTY ~ DELAWARE

DATE: 30 NOVEMBER 2020  
SCALE: 1" = 50'  
PROJECT NO. 12393.CF  
SHEET: C8 OF 17

50' 0 50' 100'  
DRAWING SCALE 1" = 50'

MATCHLINE - SEE SHEET 9



**NOTE:**  
ALL FILL AND BACKFILL SHALL BE COMPACTED TO 95% OF MAX. DRY DENSITY PER ASTM D-698



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Soil, Water & the Environment

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TEL: 302.239.6634  
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WEB: [HTTP://DUFFIELD.COM](http://duffield.com)  
E-MAIL: [DUFFIELD@DUFFIELD.COM](mailto:DUFFIELD@DUFFIELD.COM)

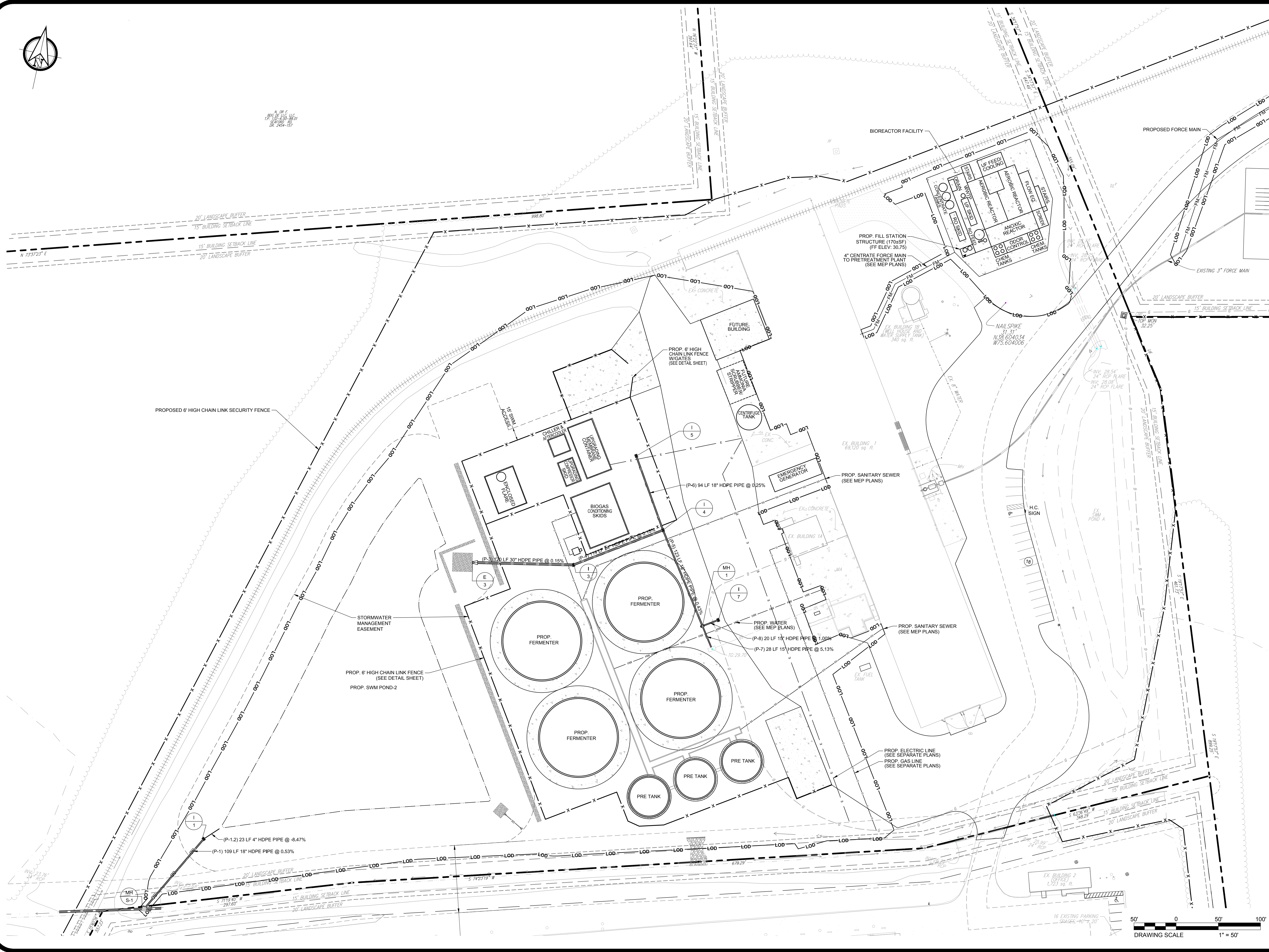
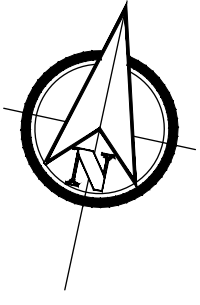
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DESIGNED BY:	SMC/JUL	DRAWN BY:	STEPHEN J. GORSKI, P.E.

NO.	REVISION

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC  
420 BRENDA ROAD  
COLUMBIA, MD 21045

**GRADING PLAN  
FINAL SITE PLAN  
BIOENERGY DEVELOPMENT  
GROUP, LLC  
SUSSEX COUNTY ~ DELAWARE**

DATE: 30 NOVEMBER 2020  
SCALE: 1" = 50'  
PROJECT NO. 12393.CF  
SHEET: C9 OF 17



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Soil, Water & the Environment

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WILMINGTON, DE 19808-1232  
TEL: 302.239.6634  
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DRAWN BY: SMCJL

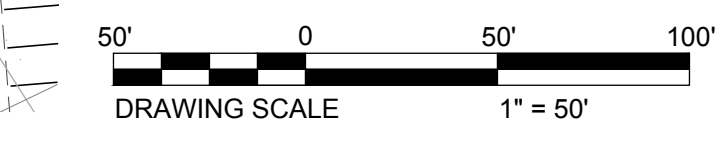
STEPHEN J. GORSKI, P.E.

NO.	REVISION	DATE

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC  
200 BURNING ROAD  
COLUMBIA, MD 21045

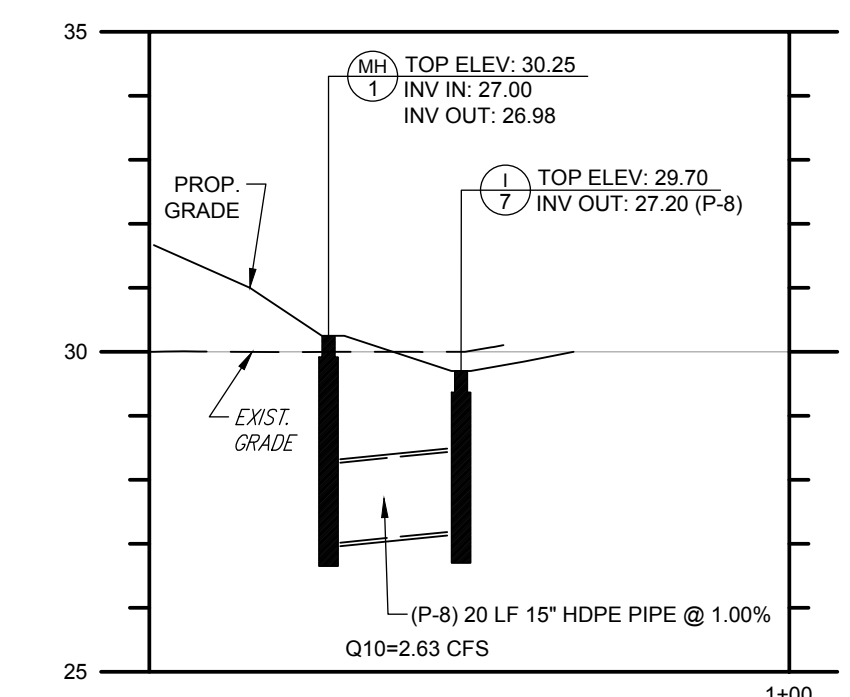
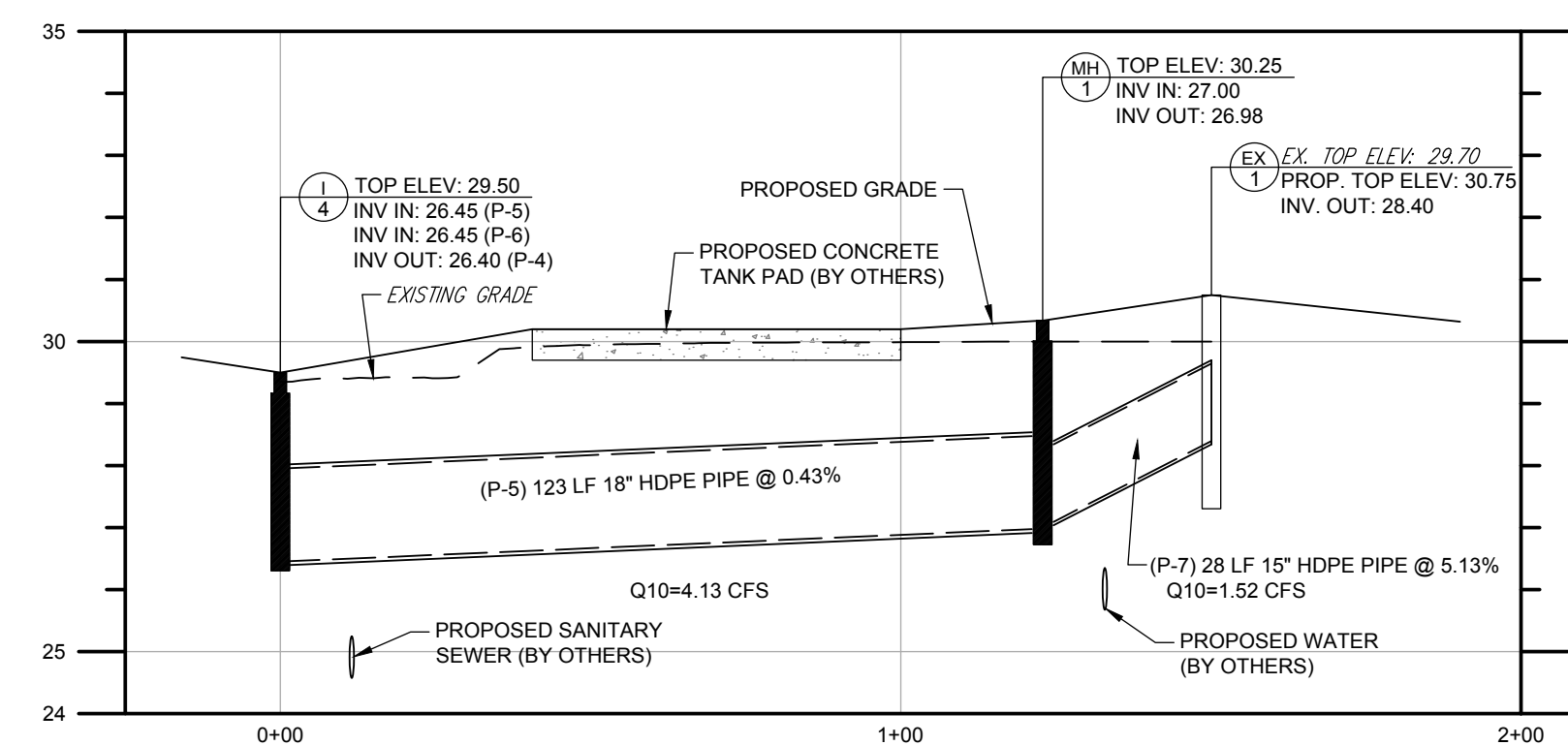
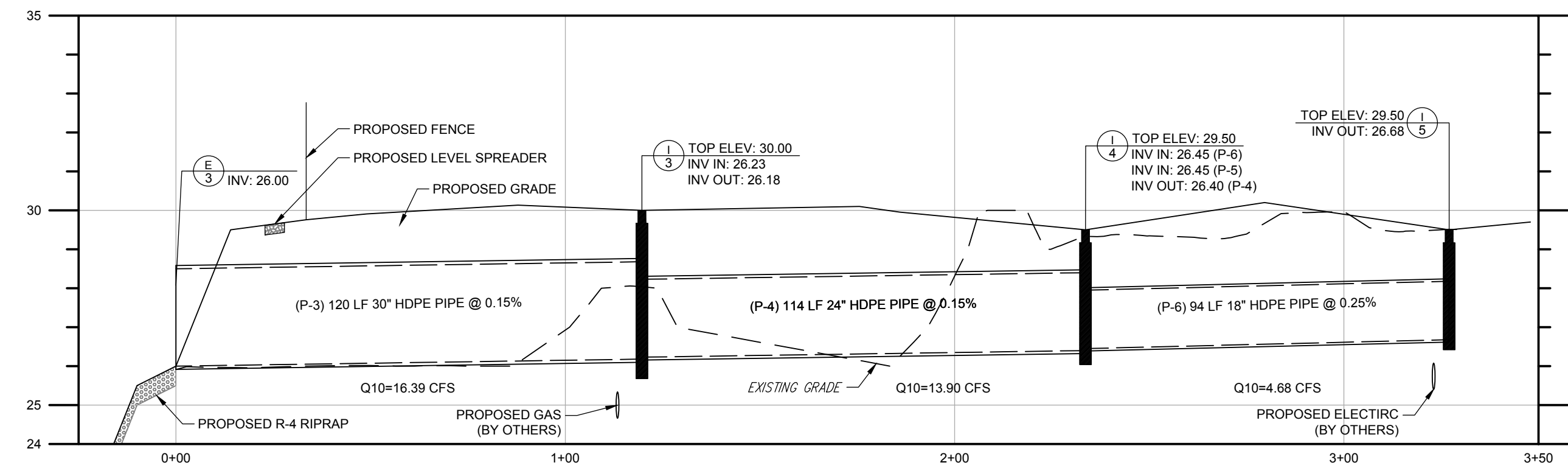
**UTILITY PLAN  
FINAL SITE PLAN  
BIOENERGY DEVELOPMENT  
GROUP, LLC  
SUSSEX COUNTY ~ DELAWARE**

DATE: 30 NOVEMBER 2020  
SCALE: 1" = 50'  
PROJECT NO. 12393.CF  
SHEET: C10 OF 17



STORM DRAINAGE STRUCTURE SCHEDULE						
NAME	BOX DESCRIPTION	TOP UNIT	GRATE	T.G. ELEV.	INVERT(S) IN	INVERT(S) OUT
E-3	30 IN FLARED END SECTION				26.00 (P-3 - 30")	
I-3	34 X 24 INLET	TYPE C	SINGLE - TYPE 1	30.00	26.23 (P-4 - 24")	26.18 (P-3 - 30")
I-4	34 X 24 INLET	TYPE C	SINGLE - TYPE 1	29.50	26.45 (P-5 - 18") 26.45 (P-6 - 18")	26.40 (P-4 - 24")
I-5	34 X 24 INLET	TYPE C	SINGLE - TYPE 1	29.50		26.68 (P-6 - 18")
I-7	34 X 24 INLET	TYPE C	SINGLE - TYPE 1	29.70		27.20 (P-8 - 15")
MH-1	48 X 30 BOX MH	MH	SINGLE - MH	30.25	27.00 (P-7 - 15") 27.00 (P-8 - 15")	26.98 (P-5 - 18")
EX-1				30.75		28.40 (P-7 - 15")

STORM DRAINAGE PIPE SCHEDULE								
PIPE	FROM	TO	SIZE	TYPE	LENGTH	SLOPE	INVERT ELEVATION IN	INVERT ELEVATION OUT
P3	3	E-3	30"	HDPE PIPE	120 LF	0.15%	26.18	26.00
P4	4	3	24"	HDPE PIPE	114 LF	0.15%	26.40	26.23
P5	MH1	4	18"	HDPE PIPE	123 LF	0.43%	26.98	26.45
P6	5	4	18"	HDPE PIPE	93 LF	0.25%	26.68	26.45
P7		MH1	15"	HDPE PIPE	27 LF	5.13%	28.40	27.00
P8	7	MH1	15"	HDPE PIPE	20 LF	1.00%	27.20	27.00



**STORM DRAIN TABLES AND PROFILES**  
**FINAL SITE PLAN**  
**BIOENERGY DEVELOPMENT**  
**GROUP, LLC**  
SUSSEX COUNTY ~ DELAWARE

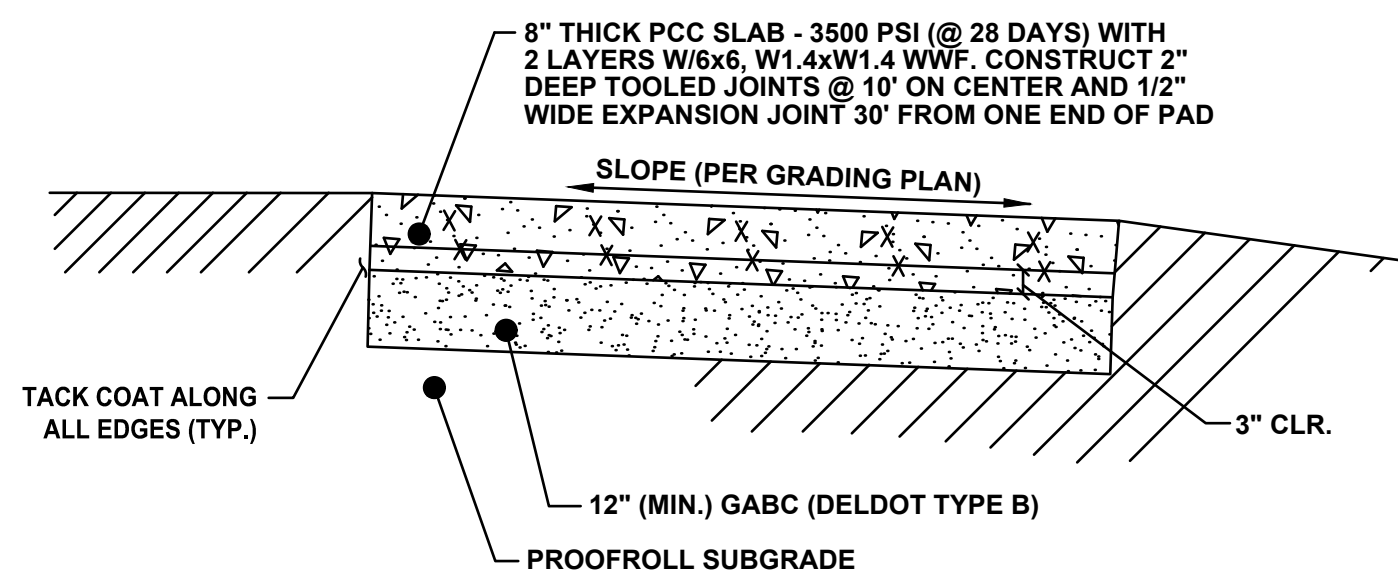
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SCALE: AS SHOWN  
PROJECT NO. 12393.CF  
SHEET: C11 OF 17

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC  
22 BURENDAK ROAD  
COLUMBIA, MD 21045

DESIGNED BY:  
JTO/JLL  
DRAWN BY:  
JTO/JLL  
CHECKED BY:  
SG  
FILE NAME:  
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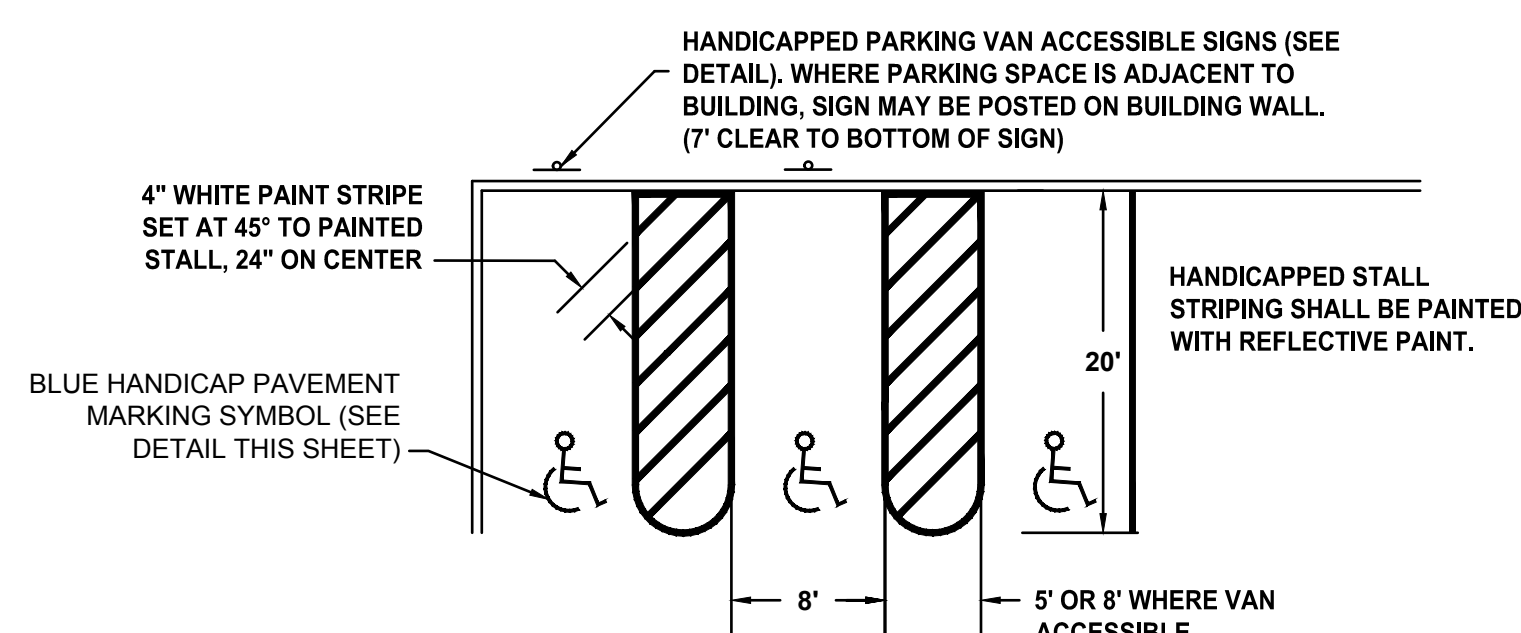
STEPHEN J. GORSKI, P.E.  
STATE DELAWARE  
P.E.#: 12625

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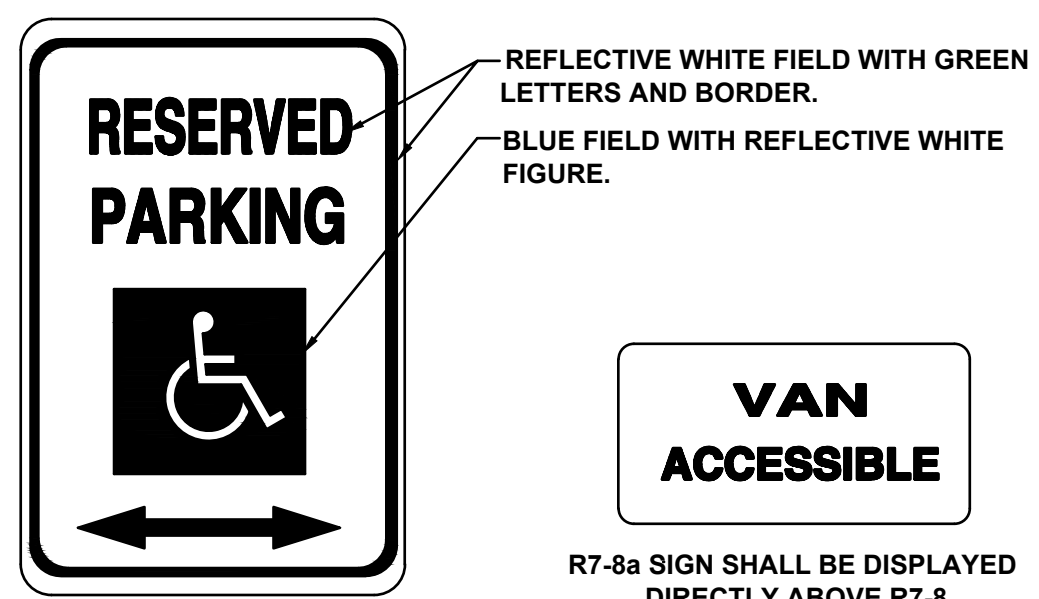
**DETAIL: CONCRETE PAVEMENT**

SCALE: NOT TO SCALE



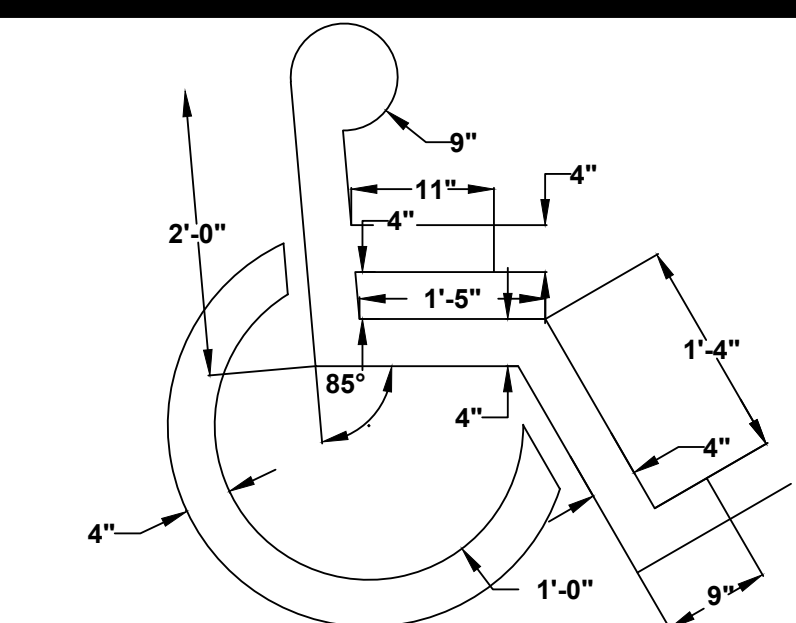
**DETAIL: HANDICAPPED PARKING STALL**

SCALE: NOT TO SCALE



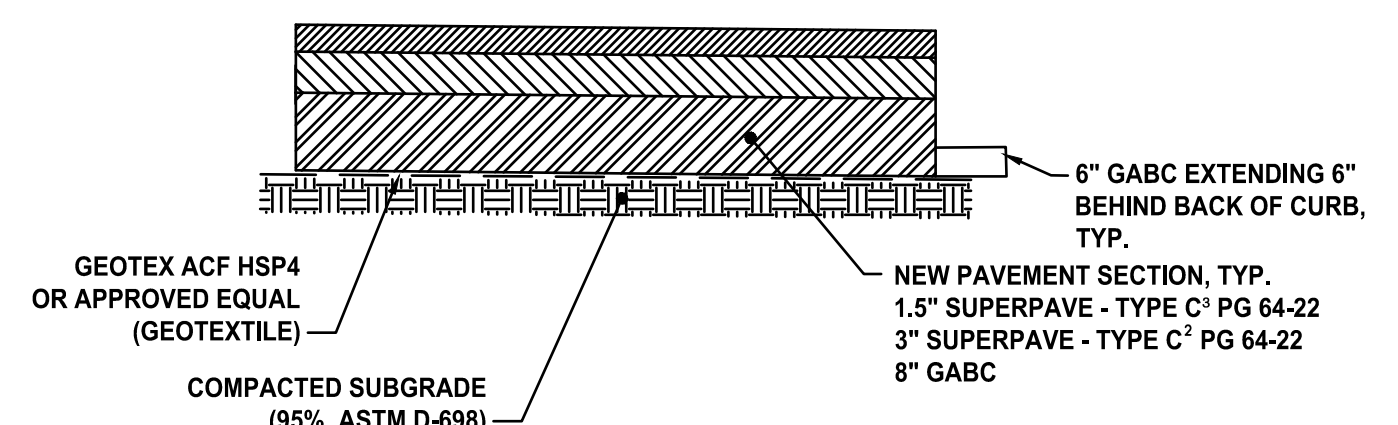
**DETAIL: ACCESSIBLE PARKING SIGN (R7-8)**

SCALE: NOT TO SCALE



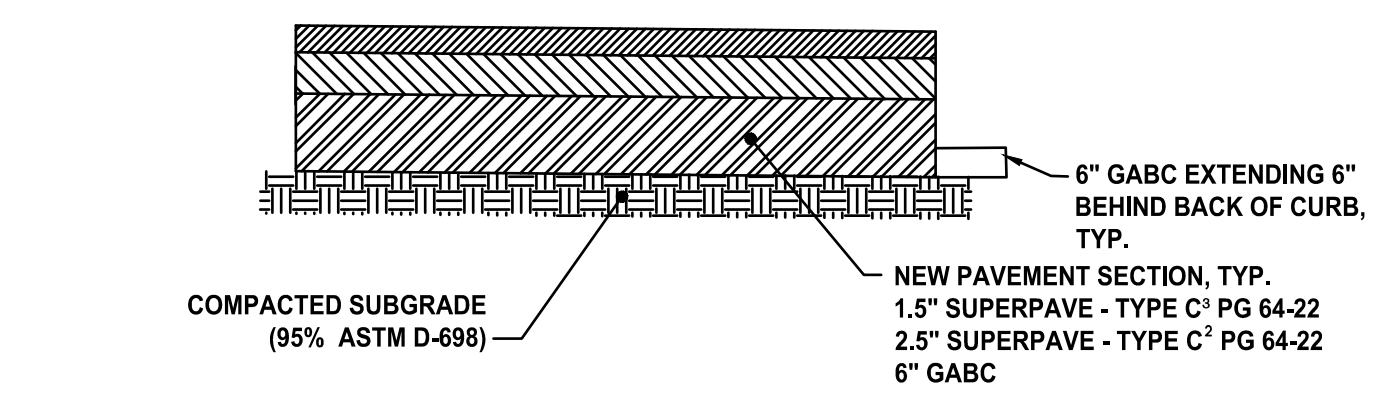
**DETAIL: HANDICAP PVMT MARKING SYMBOL**

SCALE: NONE



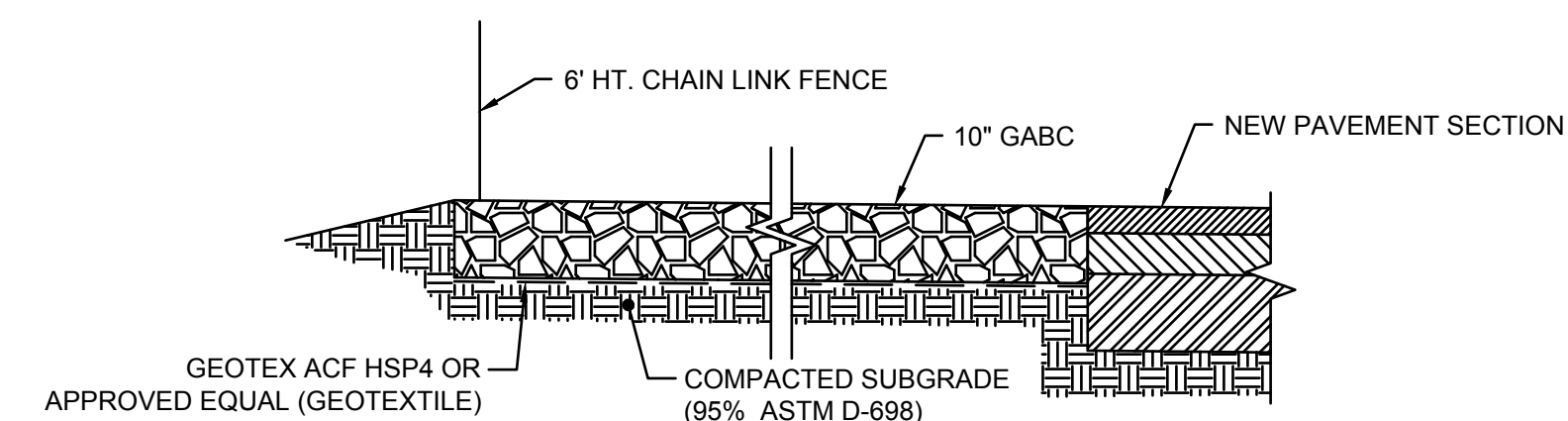
**DETAIL: HEAVY DUTY ASPHALT PAVEMENT**

SCALE: NOT TO SCALE



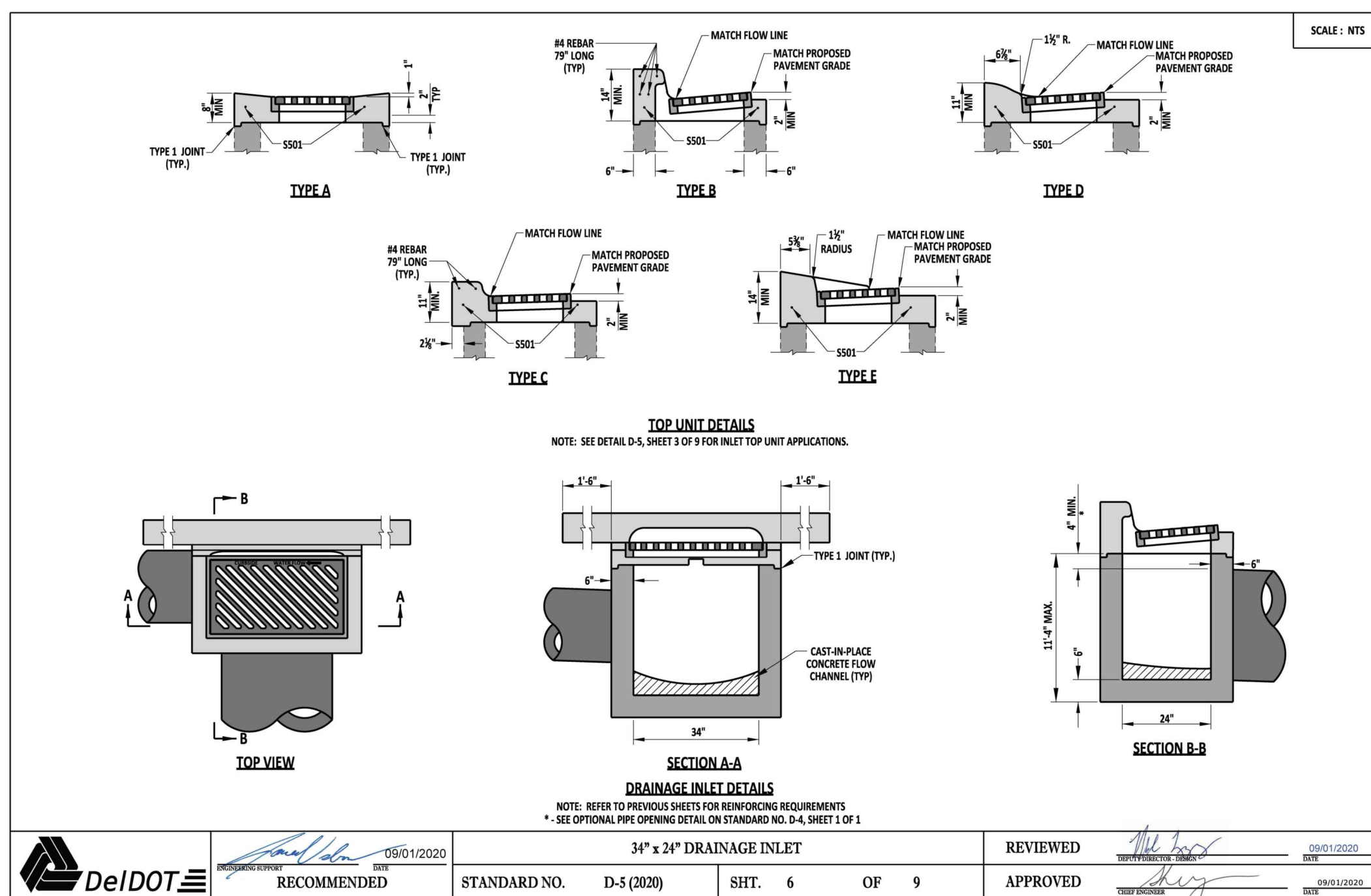
**DETAIL: LIGHT DUTY ASPHALT PAVEMENT**

SCALE: NOT TO SCALE



**DETAIL: 10" GABC**

SCALE: NOT TO SCALE



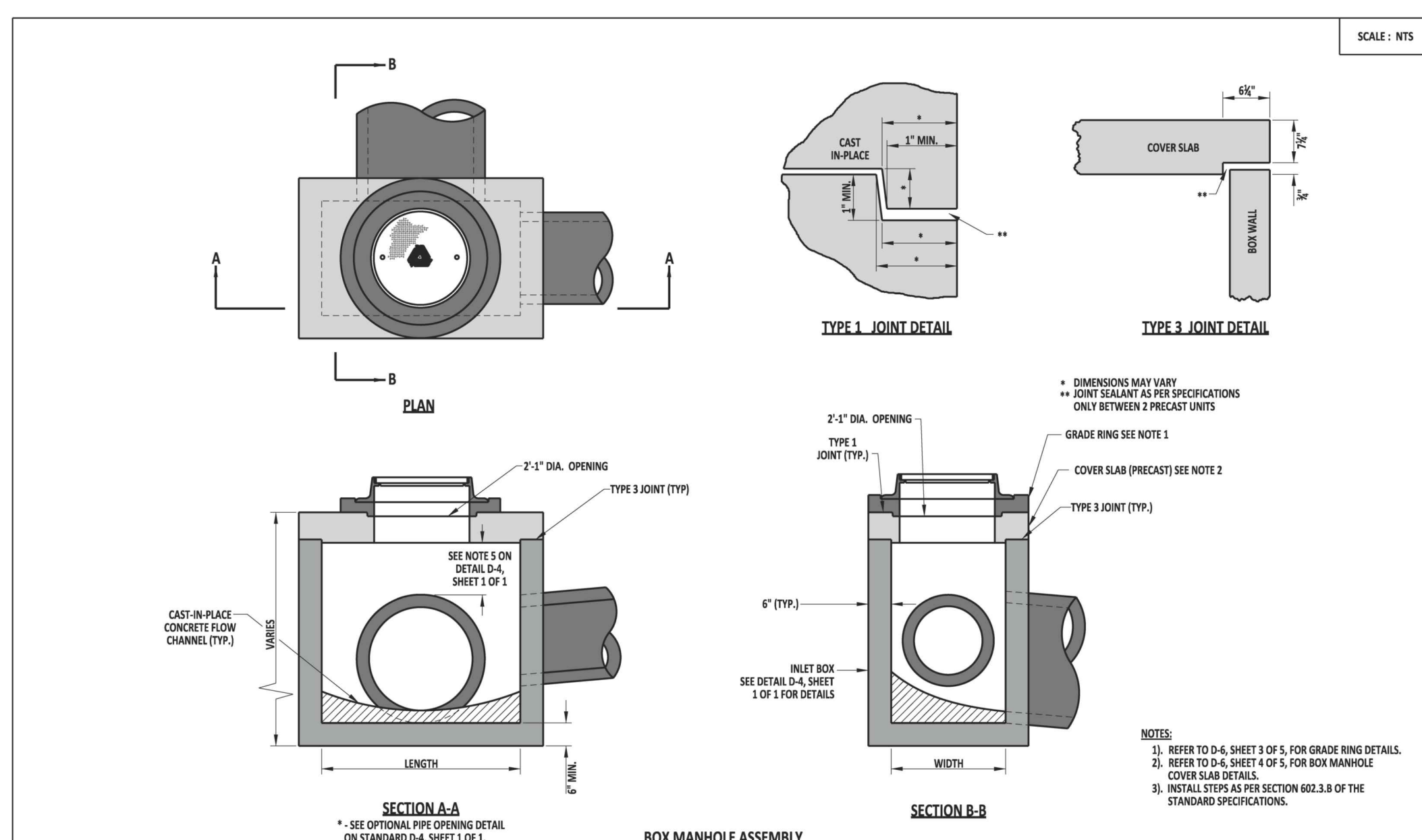
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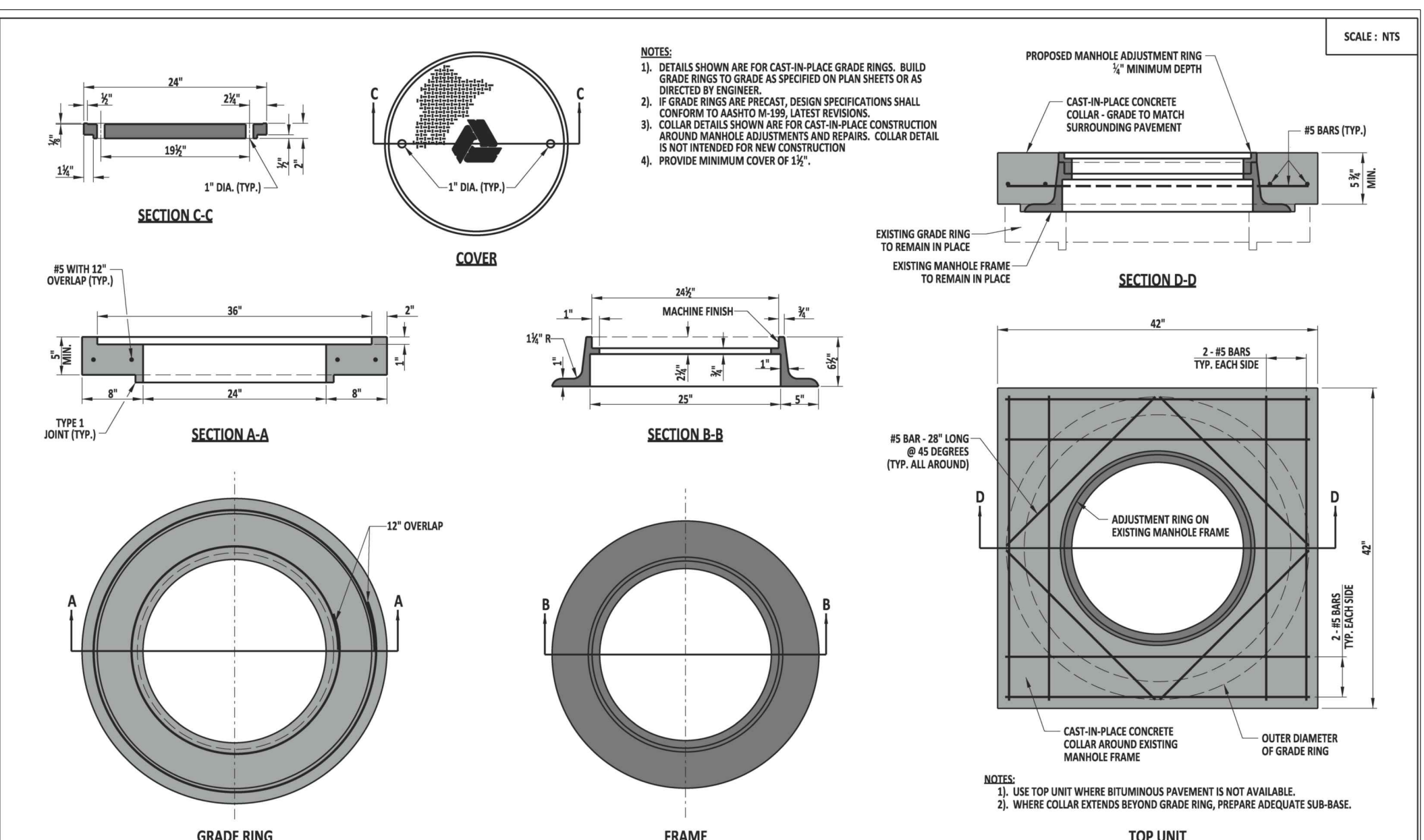
SIGN SIZE: 36" X 36"  
 COLOR: LEGEND AND BORDER WHITE (REFLECTORIZED)  
 BACKGROUND RED (REFLECTORIZED)

**DETAIL: STOP SIGN (R1-1)**

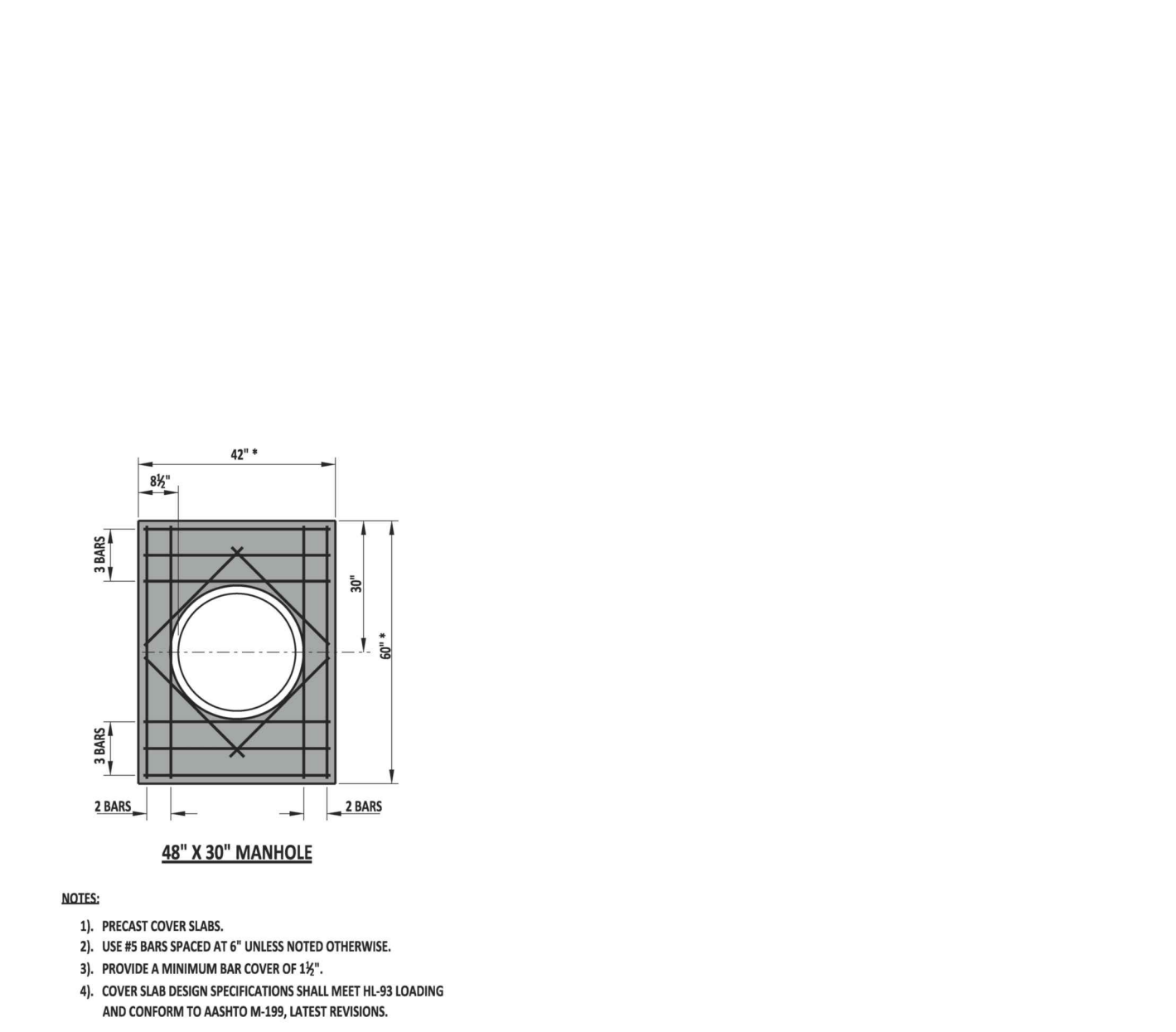
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DeDOT	RECOMMENDED	09/01/2020	STANDARD NO. D-4 (2020)	SHT. 3 OF 5	REVIEWED	09/01/2020	APPROVED	09/01/2020
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DeDOT	RECOMMENDED	09/01/2020	STANDARD NO. D-4 (2020)	SHT. 3 OF 5	REVIEWED	09/01/2020	APPROVED	09/01/2020
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 Soil, Water & the Environment  
 5400 LIMESTONE ROAD  
 WILMINGTON, DE 19808-1232  
 TEL: 302.239.6634  
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 WEB: HTTP://DUFFIELD.COM  
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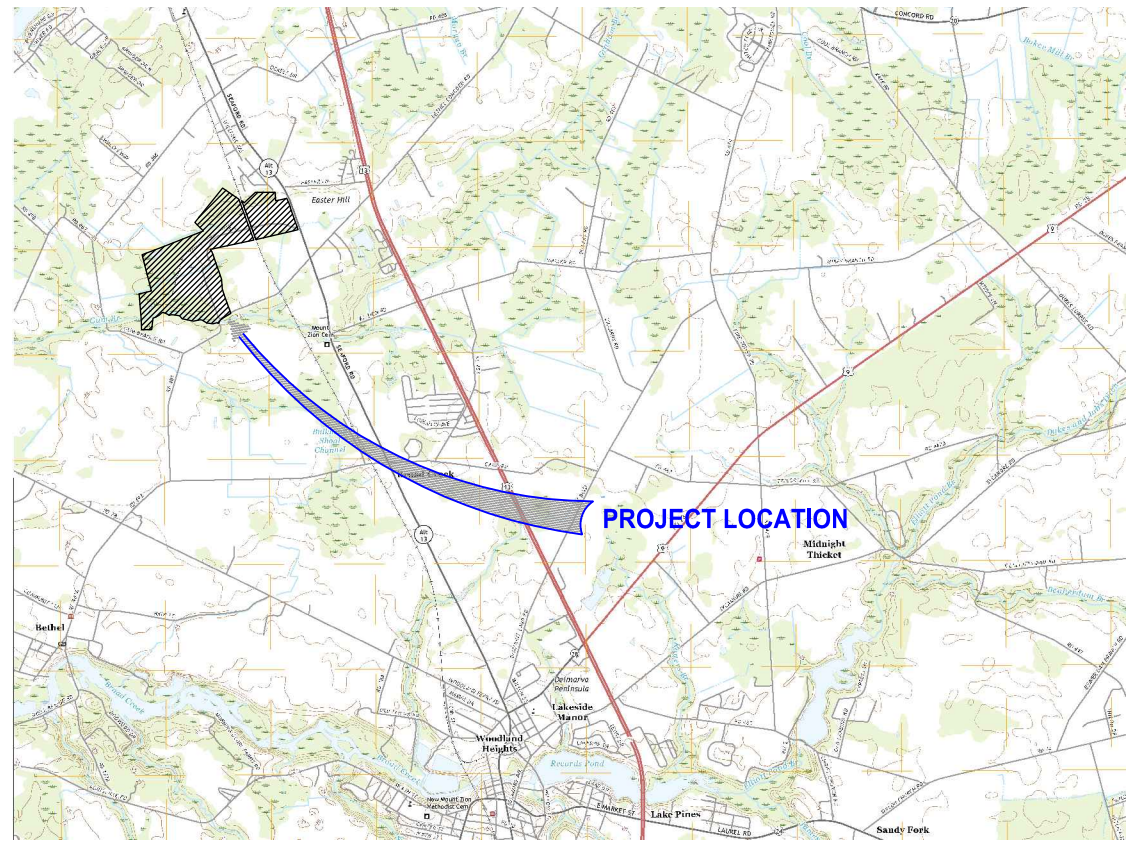
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		STEPHEN J. GORSKI, P.E.	

NO.	REVISION	DATE	BY

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC  
 420 BURENDS ROAD  
 COLUMBIA, MD 21045

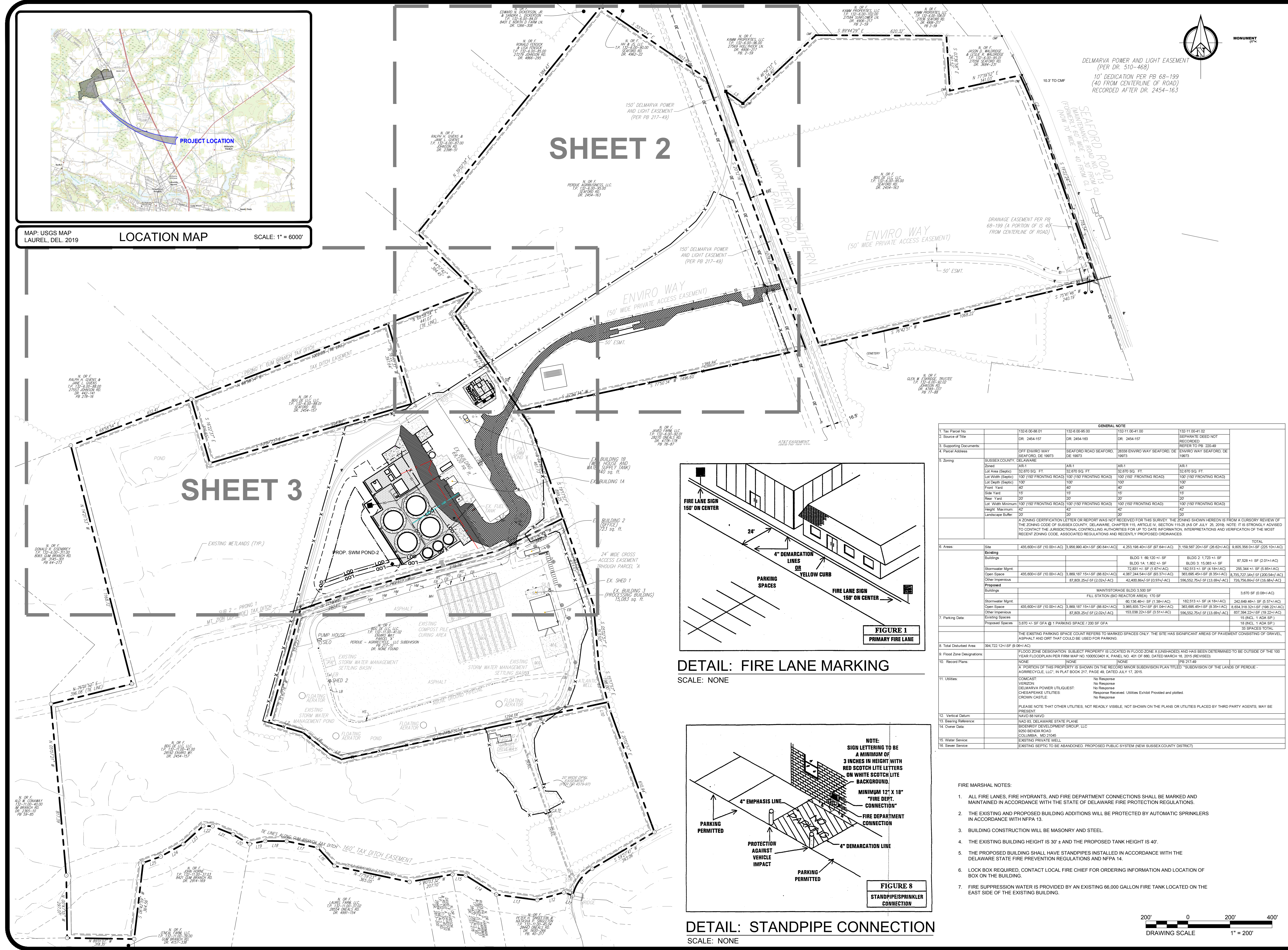
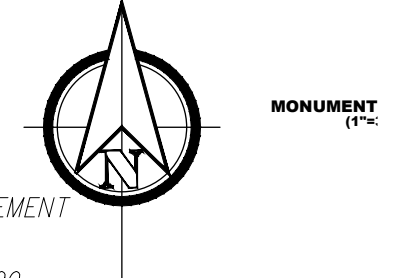
**SITE DETAILS**  
**FINAL SITE PLAN**  
**BIOENERGY DEVELOPMENT GROUP, LLC**  
 SUSSEX COUNTY ~ DELAWARE

DATE: 30 NOVEMBER 2020  
 SCALE: AS SHOWN  
 PROJECT NO. 12393.CF  
 SHEET: C12 OF 17

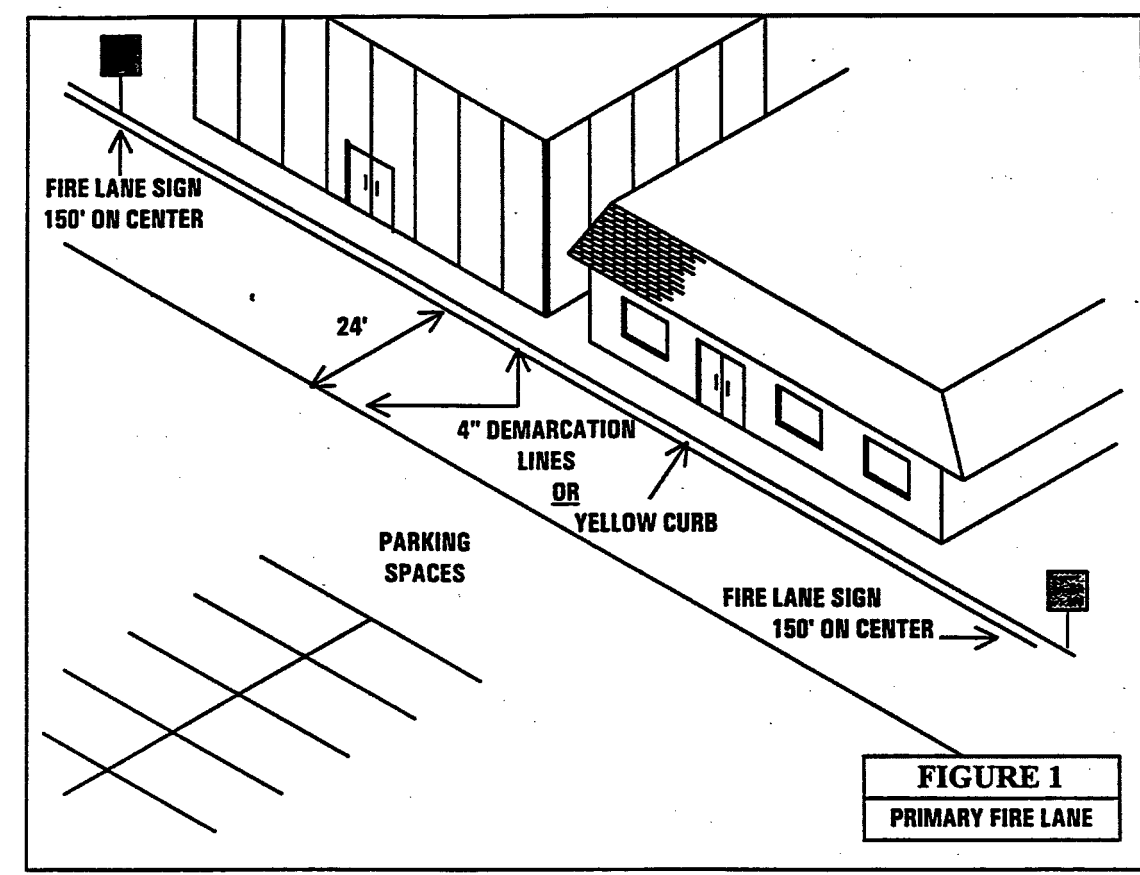


MAP: USGS MAP LAUREL, DEL. 2019 **LOCATION MAP** SCALE: 1" = 6000'

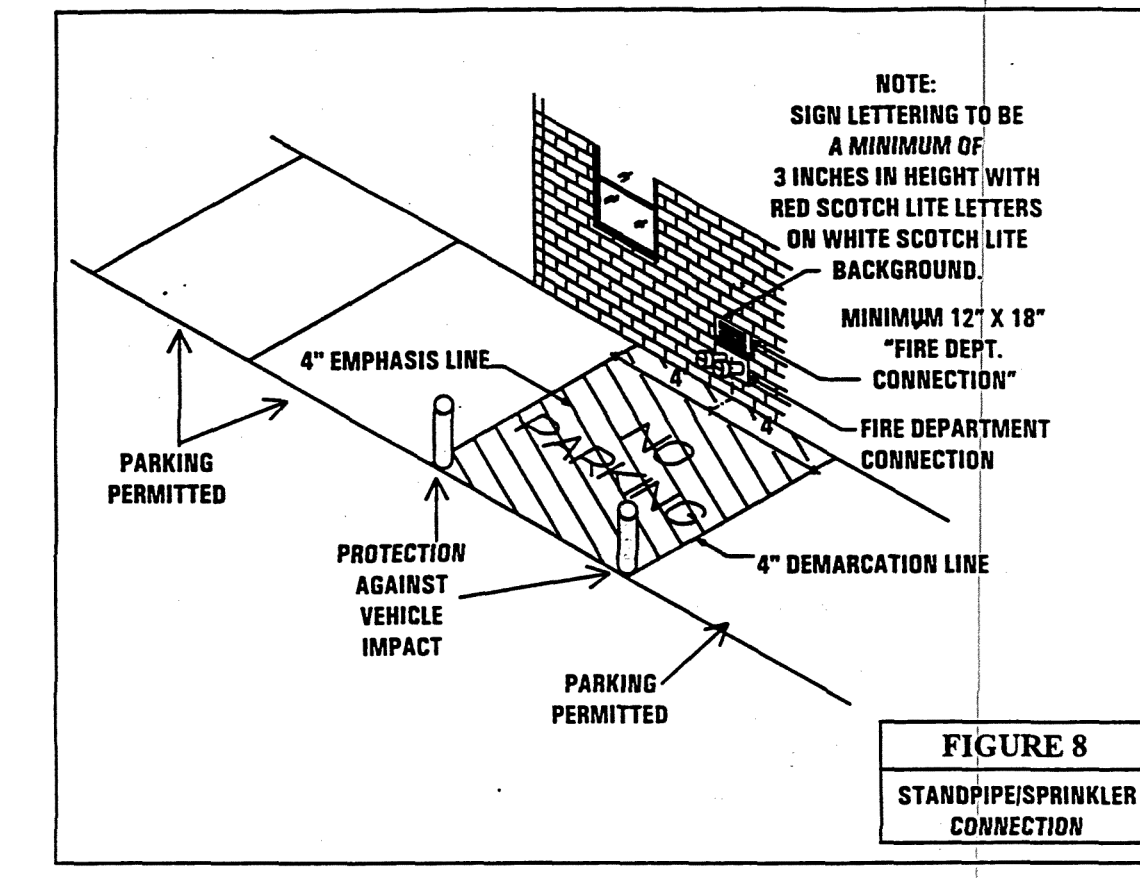
**SHEET 2**



**SHEET 3**



**FIGURE 1**  
PRIMARY FIRE LANE  
SCALE: NONE



**FIGURE 8**  
STANDPIPE/SPRINKLER CONNECTION  
SCALE: NONE

GENERAL NOTE	
1. Tax Parcel No.	132-8-00-88.01 132-8-00-88.00 132-11-00-41.00 132-11-00-41.02
2. Source of Title	DR. 2454-157 DR. 2454-163 DR. 2454-163
3. Supporting Documents:	OFF ENVIRO WAY SEAFORD, DE 19073 SEAFORD ROAD SEAFORD, DE 19073 38338 ENVIRO WAY SEAFORD, DE 19073
4. Parcel Address:	SUSSEX COUNTY, DELAWARE
5. Zoning:	AR-1 AR-1 AR-1 AR-1
6. Acreage:	435,600+/- SF (10.00+/- AC) 3,955,990.40+/- SF (90.64+/- AC) 4,253,186.40+/- SF (97.64+/- AC) 1,159,567.20+/- SF (26.62+/- AC) 9,805,356.00+/- SF (225.12+/- AC)
7. Parking Data:	EXISTING: 3,970+/- SF OF A @ 1 PARKING SPACE / 200 SF OF A PROPOSED SPACES: 33 SPACES TOTAL
8. Total Disturbed Area:	384,722.12+/- SF (8.80+/- AC)
9. Flood Zone Designations:	FLOOD ZONE DESIGNATION: SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X (UNSHADED) AND HAS BEEN DETERMINED TO BE OUTSIDE OF THE 100 YEAR FLOODPLAIN PER FEMA MAP NO. 10000C0401, PANEL NO. 407 OF 460, DATED MARCH 16, 2015 (REVISED).
10. Record Plans:	NONE [PB 217-48]
11. Utilities:	COMCAST: No Response VERIZON: No Response DELMARVA POWER UTILITIES: Response Received CHESAPEAKE UTILITIES: Response Received CROWN CASTLE: No Response
12. Vertical Datum:	NAVD 88 NAVD
13. Bearing Reference:	NAD 83 DELAWARE STATE PLANE
14. Owner Data:	BIOENERGY DEVELOPMENT GROUP, LLC 2200 BENDIX ROAD COLUMBIA, MD 21045
15. Water Service:	EXISTING PRIVATE WELL
16. Sewer Service:	EXISTING SEPTIC TO BE ABANDONED. PROPOSED PUBLIC SYSTEM (NEW SUSSEX COUNTY DISTRICT)

**FIRE MARSHAL NOTES:**

- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED AND MAINTAINED IN ACCORDANCE WITH THE STATE OF DELAWARE FIRE PROTECTION REGULATIONS.
- THE EXISTING AND PROPOSED BUILDING ADDITIONS WILL BE PROTECTED BY AUTOMATIC SPRINKLERS IN ACCORDANCE WITH NFPA 13.
- BUILDING CONSTRUCTION WILL BE MASONRY AND STEEL.
- THE EXISTING BUILDING HEIGHT IS 30' ± AND THE PROPOSED TANK HEIGHT IS 40'.
- THE PROPOSED BUILDING SHALL HAVE STANDPIPES INSTALLED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS AND NFPA 14.
- LOCK BOX REQUIRED. CONTACT LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF BOX ON THE BUILDING.
- FIRE SUPPRESSION WATER IS PROVIDED BY AN EXISTING 66,000 GALLON FIRE TANK LOCATED ON THE EAST SIDE OF THE EXISTING BUILDING.

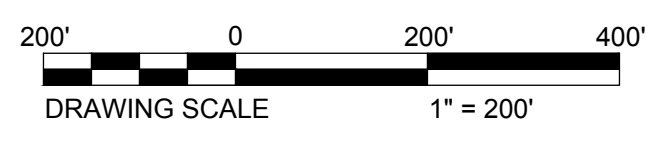
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OFFICES IN DELAWARE, MARYLAND, PENNSYLVANIA AND NEW JERSEY  
WEB: HTTP://DUFFIELD.COM  
E-MAIL: DUFFIELD@DUFFIELD.COM

CHECKED BY:	SIG	FILE NAME:	13_151239CF-SF 40
DESIGNED BY:	BRK	DRAWN BY:	BRK
DATE:			

OWNER:	BIOENERGY DEVELOPMENT GROUP, LLC 2200 BENDIX ROAD COLUMBIA, MD 21045
DESIGNED BY:	STEPHEN J. GORSKI, P.E.

**OVERALL SITE PLAN**  
**STATE FIRE MARSHAL PLAN**  
**BIOENERGY DEVELOPMENT GROUP, LLC**  
SUSSEX COUNTY ~ DELAWARE

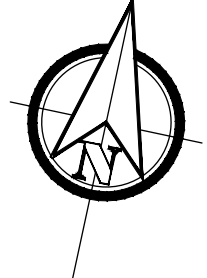
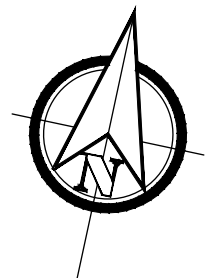
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SHEET: C13 OF 17



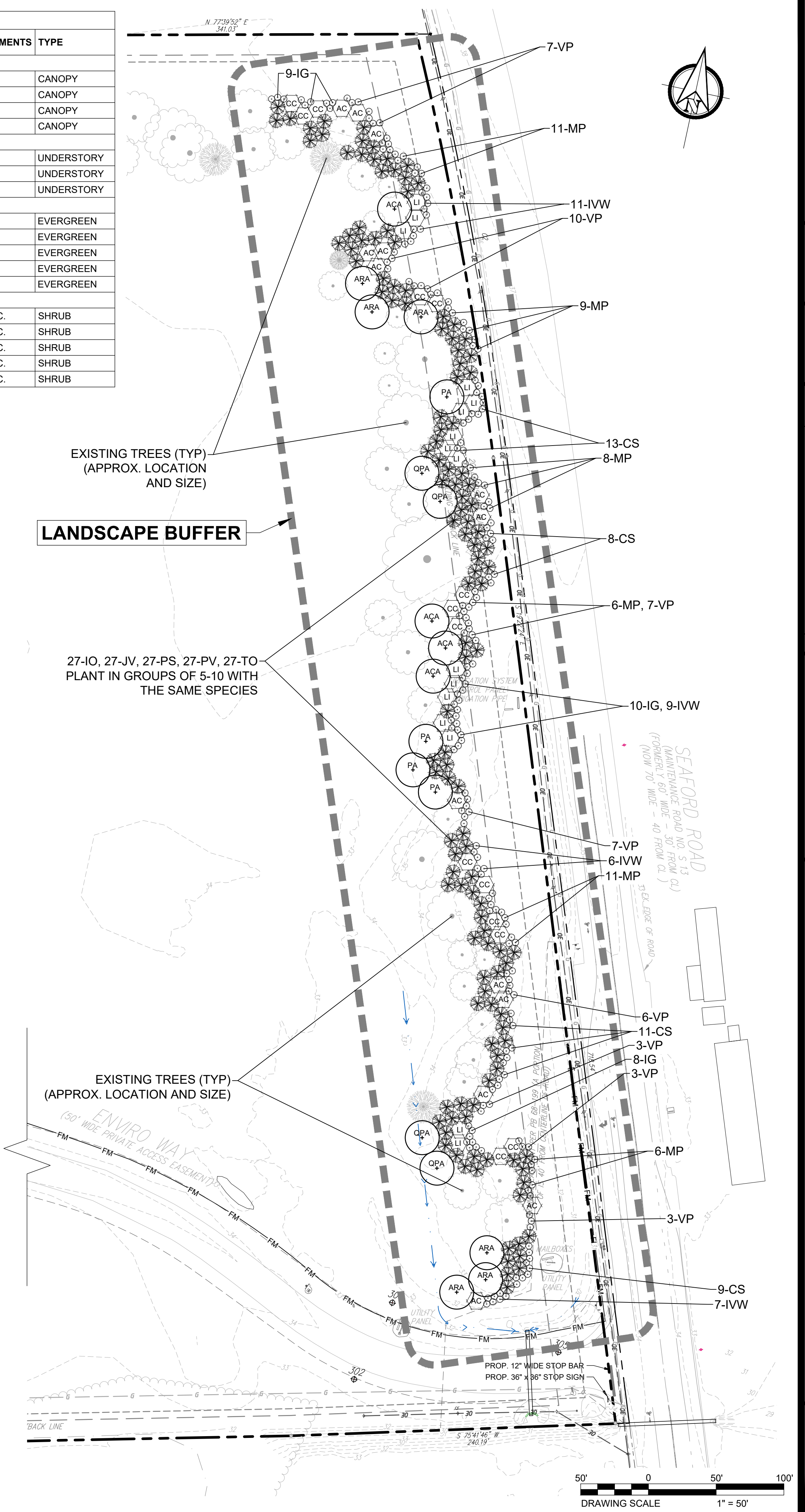
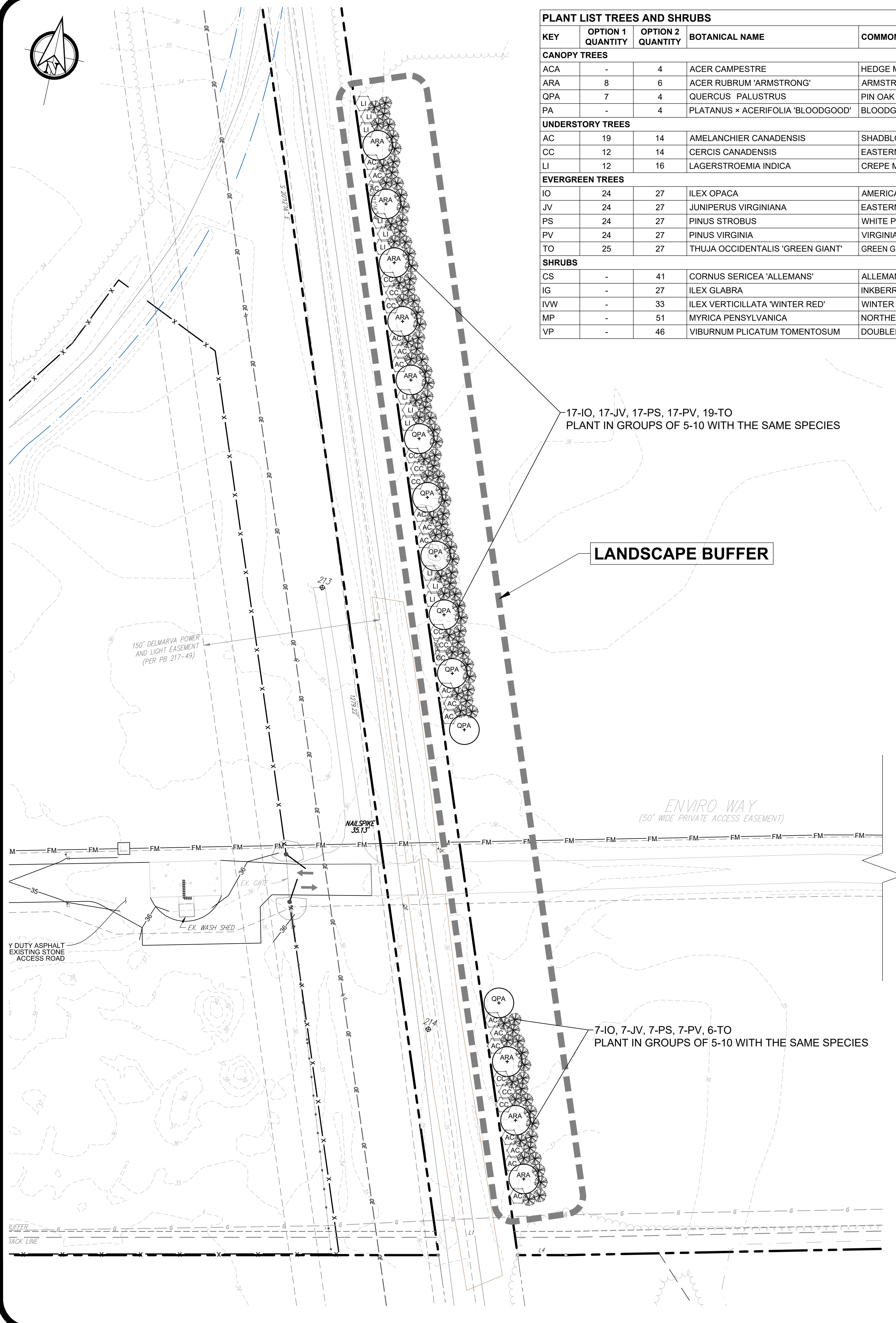








PLANT LIST TREES AND SHRUBS							
KEY	OPTION 1 QUANTITY	OPTION 2 QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS TYPE
<b>CANOPY TREES</b>							
ACA	-	4	ACER CAMPESTRE	HEDGE MAPLE	2.5-3" CAL.	B&B	CANOPY
ARA	8	6	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	2.5-3" CAL.	B&B	CANOPY
QPA	7	4	QUERCUS PALUSTRIS	PIN OAK	2.5-3" CAL.	B&B	CANOPY
PA	-	4	PLATANUS x ACERIFOLIA 'BLOODGOOD'	BLOODGOOD PLANETREE	2.5-3" CAL.	B&B	CANOPY
<b>UNDERSTORY TREES</b>							
AC	19	14	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	6-7 HT.	B&B	UNDERSTORY
CC	12	14	CERCIS CANADENSIS	EASTERN REDBUD	6-7 HT.	B&B	UNDERSTORY
LI	12	16	LAGERSTROEMIA INDICA	CREPE MYRTLE	6-7 HT.	B&B	UNDERSTORY
<b>EVERGREEN TREES</b>							
IO	24	27	ILEX OPACA	AMERICAN HOLLY	5-6' HT.	B&B	EVERGREEN
JV	24	27	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	5-6' HT.	B&B	EVERGREEN
PS	24	27	PINUS STROBUS	WHITE PINE	5-6' HT.	B&B	EVERGREEN
PV	24	27	PINUS VIRGINIA	VIRGINIA PINE	5-6' HT.	B&B	EVERGREEN
TO	25	27	THUJA OCCIDENTALIS 'GREEN GIANT'	GREEN GIANT ARBORVITAE	5-6' HT.	B&B	EVERGREEN
<b>SHRUBS</b>							
CS	-	41	CORNUS SERICEA 'ALLEMANS'	ALLEMANS REDOSIER DOGWOOD	30-36" HT.	5 GAL.	5' O.C. SHRUB
IG	-	27	ILEX GLABRA	INKBERRY	30-36" HT.	5 GAL.	5' O.C. SHRUB
IVW	-	33	ILEX VERTICILLATA 'WINTER RED'	WINTER RED WINTERBERRY	30-36" HT.	5 GAL.	5' O.C. SHRUB
MP	-	51	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	30-36" HT.	5 GAL.	5' O.C. SHRUB
VP	-	46	VIBURNUM PLICATUM TOMENTOSUM	DOUBLEFILE VIBURNUM	30-36" HT.	5 GAL.	5' O.C. SHRUB



**DUFFIELD ASSOCIATES**  
Soil, Water & the Environment

5400 LIMESTONE ROAD  
WILMINGTON, DE 19808-1232  
TEL: 302.239.6634  
FAX: 302.239.8485

OFFICES IN DELAWARE, MARYLAND, PENNSYLVANIA AND NEW JERSEY  
WEB: HTTP://DUFFNET.COM  
E-MAIL: DUFFIELD@DUFFNET.COM

CHECKED BY: JGF  
DESIGNED BY: JIL  
DRAWN BY: JIL  
FILE NAME: LND12393.EA  
LND12393.CF

JOHN G. FELLOWS, R.L.A.

STATE DELAWARE R.L.A.#: 194

---

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC  
25 BURENDIX ROAD  
COLUMBIA, MD 21045

**LANDSCAPE PLAN**

**BIOENERGY DEVELOPMENT GROUP, LLC**

**SUSSEX COUNTY ~ DELAWARE**

---

DATE: 15 OCTOBER 2020

SCALE: 1" = 50'

PROJECT NO. 12393.EA

SHEET: L1 OF 2

DRAWING SCALE 1" = 50'

**LANDSCAPE NOTES**

- MULCH ALL TREE PITS, PLANT BEDS, AND GROUND COVER AREAS WITH A MINIMUM 3" DEPTH (AFTER SETTLEMENT) OF MULCH OR AS NOTED. SHREDDED HARDWOOD MULCH SHALL BE USED FOR ALL TREE PITS AND SHRUB BEDS.
- THIS DRAWING TO BE USED FOR LANDSCAPE DEVELOPMENT PURPOSES ONLY.
- ALL TREE STAKING, GUYING, AND WRAPPING SHALL BE REMOVED AFTER ONE YEAR.
- ALL SHRUB, FLOWER, AND GROUND COVER BEDS SHALL BE PITCHED OR CROWNED TO ASSURE A MINIMUM SURFACE PITCH OF 3% FOR POSITIVE SURFACE DRAINAGE.
- ALL PROPOSED LANDSCAPE PLANT MATERIAL TO BE GUARANTEED FOR A PERIOD OF THREE YEARS FROM THE DATE OF ACCEPTANCE, AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLIGENCE BY OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND LANDSCAPE INSTALLER CONTROL. CONTRACTOR, IF NOT MAINTAINING THE PROPERTY DURING THE GUARANTEE PERIOD, SHALL BE RESPONSIBLE FOR MAKING MONTHLY INSPECTIONS AND ISSUING WRITTEN REPORTS DETAILING ANY MAINTENANCE PRACTICES HE OBSERVES WHICH WOULD IN ANYWAY NEGATE HIS GUARANTEE OBLIGATION.
- ALL AREAS BEYOND THE LIMIT OF LAWN/GROUND COVER THAT ARE DISTURBED BY CONSTRUCTION OPERATIONS SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITION AND/OR TO COMPLY WITH STANDARDS INDICATED ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
- ALL TREES ADJACENT TO CURBS (OR EDGE OF PAVEMENT) SHALL BE PLACED 5'-0" AWAY FROM THE CURB FACE MEASURED TO THE CENTERLINE OF THE TREE TRUNK. IF PLACED IN THE MEDIAN ISLAND, THEY SHALL BE CENTERED IN THE SPACE BETWEEN THE CURBS OR AS NOTED ON THE LANDSCAPE PLAN. ALL TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS SHALL BE BRANCHED AT 7' INITIALLY.
- NO PLANT MATERIAL ABOVE 24" WILL BE INSTALLED WITHIN ANY APPROVED SIGHT TRIANGLE.
- PLANT BACKFILL MIX SHALL CONTAIN THE FOLLOWING:
  - PART AMENDED TOPSOIL (SCREENED) WITH FERTILIZATION AS REQUIRED BELOW:

AMENDED TOPSOIL: SHALL BE WITHOUT ADMIXTURE OF SUBSOIL OF SLAG AND SHALL BE FREE OF STONES, LUMPS, PLANTS OR THEIR ROOTS, STICKS AND EXTRANEUS MATTER, AND SHALL NOT BE MOVED, PLACED OR USED WHILE IN FROZEN OR MUDDY CONDITION. TOPSOIL SHALL HAVE AN ACIDITY RANGE OF pH 5.0 TO 7.0 AND SHALL CONTAIN NOT LESS THAN 5% ORGANIC MATTER AS DETERMINED BY THE "WALKLEY-BLACK METHOD" (COLORIMETRIC VERSION). SUFFICIENT LIMESTONE SHALL BE ADDED TO TOPSOIL USED TO BRING SOIL TO RANGE OF pH 6.0 TO pH 6.5. THERE SHALL BE A MINIMUM OF 12" OF TOPSOIL (AFTER SETTLEMENT) IN ALL PLANT BEDS, OR GROUND COVER AREAS AND 3" IN ALL FINE LAWN, SEEDED AREAS OR AS CALLED FOR. AREAS WHERE PAVING HAS BEEN REMOVED TO PROVIDE LAWN OR PLANTING BED AREA SHALL BE ROTOTILLED TO A DEPTH OF AT LEAST 12 INCHES PRIOR TO PLACING TOPSOIL.

FERTILIZATION: 1. FOR TREES, SHRUBS AND ALL GROUND COVER (HERBACEOUS AND CONIFEROUS): "TERRA-SORB" AG AT THE RATE OF 32 OZ PER CUBIC YARD OF SOIL MIX.  
 2. FOR TREES AND SHRUBS (EXCLUDING CONIFEROUS GROUND COVER): PHC HEALTHY START 3-4-3 ORGANIC FERTILIZER/SOIL CONDITIONER, SHALL BE APPLIED AT 1/2 LB. PER TRUNK DIAMETER (CAL. INCH) FOR TREES. FOR SHRUBS USE THE FOLLOWING TABLE:

PLANT SIZE	RATE CUPS	LBS.	#PLANT BAG
1 GALLON	1/2	1/4	100
5 GALLON	1	1/2	50
15 GALLON	2	1	25
24" BALL/BOX	3	1 1/2	16
36" BALL/BOX	5	2 1/2	10
42" BALL/BOX	6	3	8
54" BALL/BOX	8	4	6
72" BALL/BOX	10	5	5

FOR HERBACEOUS AND CONIFEROUS GROUND COVER: DRY ROOTS 2 SHALL BE APPLIED AT THE FOLLOWING RATES:

CONIFEROUS GROUND COVER:	PLANT SIZE	RATE CUPS	LBS.	#PLANT BAG
15-18" B&B	1 1/2	3/4	37	

HERBACEOUS GROUND COVER: 20LBS./1000 SQUARE FEET.

FOR LAWN AND SEEDED AREAS: 10-6-4 50% ORGANIC FERTILIZER AT THE RATE OF 20LBS. PER 1,000 SQUARE FEET (OR AS REQUIRED BY TOPSOIL ANALYSIS REPORT).

- ALL PLANT MATERIAL MUST COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "STANDARD FOR NURSERY STOCK".
- PLANT QUANTITIES ARE GIVEN FOR COMPARISON PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING PLANT COUNTS AND SHALL BE RESPONSIBLE FOR PROVIDING ALL PLANT MATERIAL SHOWN ON THE DRAWING. ANY DISCREPANCIES BETWEEN PLANT SCHEDULE QUANTITIES AND PLANS SHALL IMMEDIATELY BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION PRIOR TO SUBMISSION OF BID. NO SUBSTITUTIONS OF TYPE OF PLANT MATERIAL OR SIZES OF PLANT MATERIAL WILL BE ACCEPTABLE UNLESS APPROVED BY THE LANDSCAPE ARCHITECT. ANY CHANGES TO AN APPROVED LANDSCAPE PLAN MUST BE AUTHORIZED BY THE LANDSCAPE ARCHITECT.
- APPLY ANTI-DESICCANT PRIOR TO THE ONSET OF WINTER AND AGAIN IN MID-WINTER, USING POWER SPRAY TO PROVIDE AN ADEQUATE FILM OVER TRUNKS, BRANCHES, STEMS, TWIGS, AND FOLIAGE. IF DECIDUOUS TREES OR SHRUBS ARE MOVED IN FULL-LEAF, SPRAY WITH ANTI-DESICCANT AT NURSERY BEFORE MOVING AND AGAIN TWO WEEKS AFTER INSTALLATION.
- ALL PLANTED TREES, SHRUBS, GROUND COVERS AND ANNUAL FLOWERS, SHALL BE MAINTAINED UNTIL FINAL ACCEPTANCE OF THE COMPLETED CONTRACT, OR WHEN INSTALLATION IS ACCEPTED AND MAINTENANCE IS TRANSFERRED TO OWNER. MAINTENANCE SHALL INCLUDE WATERING, CULTIVATING, CONTROL OF INSECTS, FUNGUS, AND OTHER HORTICULTURAL OPERATIONS NECESSARY FOR THE PROPER GROWTH OF ALL PLANT MATERIAL.
- PLANT LOCATIONS SHOWN ON THE PLAN ARE APPROXIMATE AND SUBJECT TO FIELD AND UTILITY LOCATIONS.
- PERMANENT SEEDING MIX PER DNREC STANDARD DETAIL DE-ESC 3.4.3. REFER TO SEDIMENT AND STORMWATER PLANS, SHEET 6 OF 9. ALL PVIOUS AREAS THAT DO NOT RECEIVE SHREDDED HARDWOOD MULCH SHALL BE SEEDED ACCORDING TO THE TABLE BELOW.

PERMANENT SEEDING AND SEEDING DATES (cont.)									
Mx No.	Certified Seed <sup>2</sup>	Seeding Rate <sup>1</sup>	Optimum Seeding Dates <sup>2</sup>						Remarks
			Coastal Plain		Piedmont		Alt <sup>1</sup>		
14	Creeping Red Fescue Rough Bluegrass or Chewings Fescue	50 90	1/15 2.1	O A	O O	O O	O O	O O	Shade tolerant, moisture tolerant. *

- When hydroseeding is the chosen method of application, the total rate of seed should be increased by 25%.
- Winter seeding requires 3 tons per acre of straw mulch. Planting dates listed above are average for Delaware. These dates may require adjustment to reflect local conditions.
- All seed shall meet the minimum purity and maximum germination percentages recommended by the Delaware Department of Agriculture. The maximum % of weed seeds shall be in accordance with Section 1, Chapter 24, Title 3 of the Delaware Code.
- Cool season species may be planted throughout summer if soil moisture is adequate or seeded area can be irrigated.
- All leguminous seed must be inoculated.
- Warm season grass mix and Reed Canary Grass cannot be mowed more than 4 times per year.
- Warm season grasses require a soil temperature of at least 50 degrees in order to germinate, and will remain dormant until then.

**TREE PROTECTION NOTES**

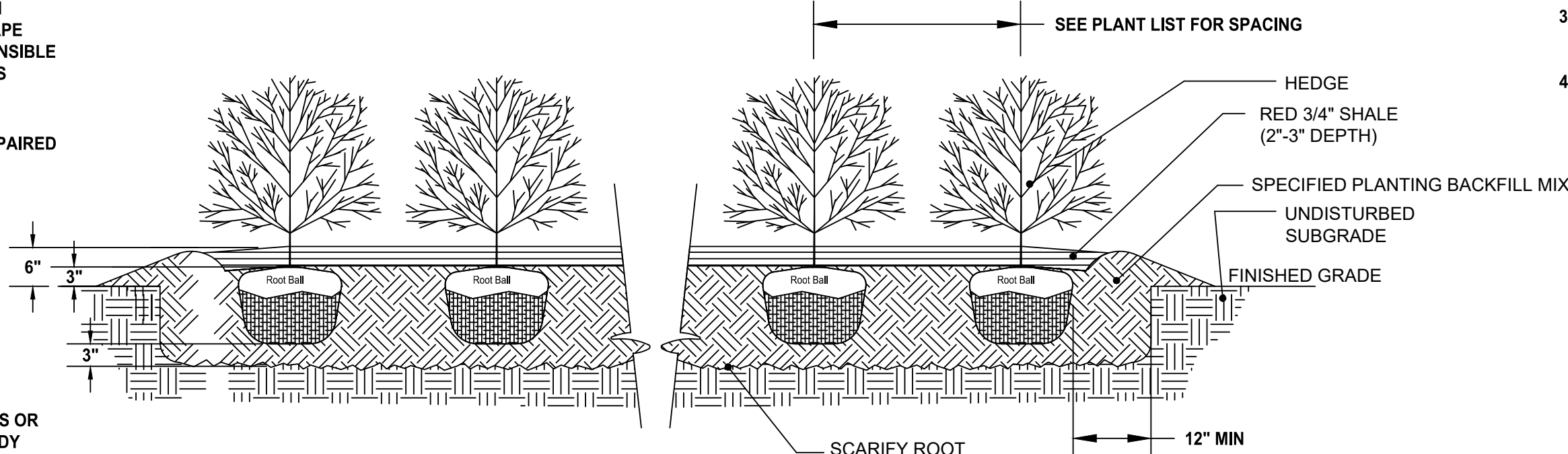
- LIMIT OF WORK LINE TO BE DELINEATED BY SNOW FENCING OR APPROVED EQUAL. ALL TREES IDENTIFIED AS BEING PRESERVED FOR CREDIT SHALL BE FENCED ALONG OR BEYOND THEIR DRIP LINE. SEE TREE PROTECTION DETAIL ON THIS SHEET.
- PROTECTIVE FENCING TO BE SNOW FENCING OR EQUIVALENT TO PROTECT VEGETATION FROM HEAVY MACHINERY OR CONSTRUCTION OPERATIONS.
- PROTECTIVE FENCING TO BE ERRECTED BEFORE EXCAVATION AND REMOVED UPON COMPLETION OF GRADING.

**RECOMMENDED SEASONAL COLOR VARIETIES:**

- |                             |                             |
|-----------------------------|-----------------------------|
| <b>ANNUALS</b>              | <b>PERENNIALS</b>           |
| • SPRING                    | - SUMMER PHLOY              |
| - PANSIES                   | - COMMON THRIFT             |
| - SNAPDRAGON                | - SHASTA DAISY              |
| - DUSTY MILLER              | - THREAD - LEAVED COREOPSIS |
| • SUMMER                    | - ENGLISH LAVENDER          |
| - GERANIUMS                 | - PERENNIAL SALVIA          |
| - MARGOLDS                  | - AUTUMN STONE CROP         |
| - IMPATIENS                 |                             |
| • FALL / WINTER             |                             |
| - PANSIES                   |                             |
| - CHRYSANTHEMUMS            |                             |
| - ORNAMENTAL KALE / CABBAGE |                             |

**CONTRACTOR NOTES**

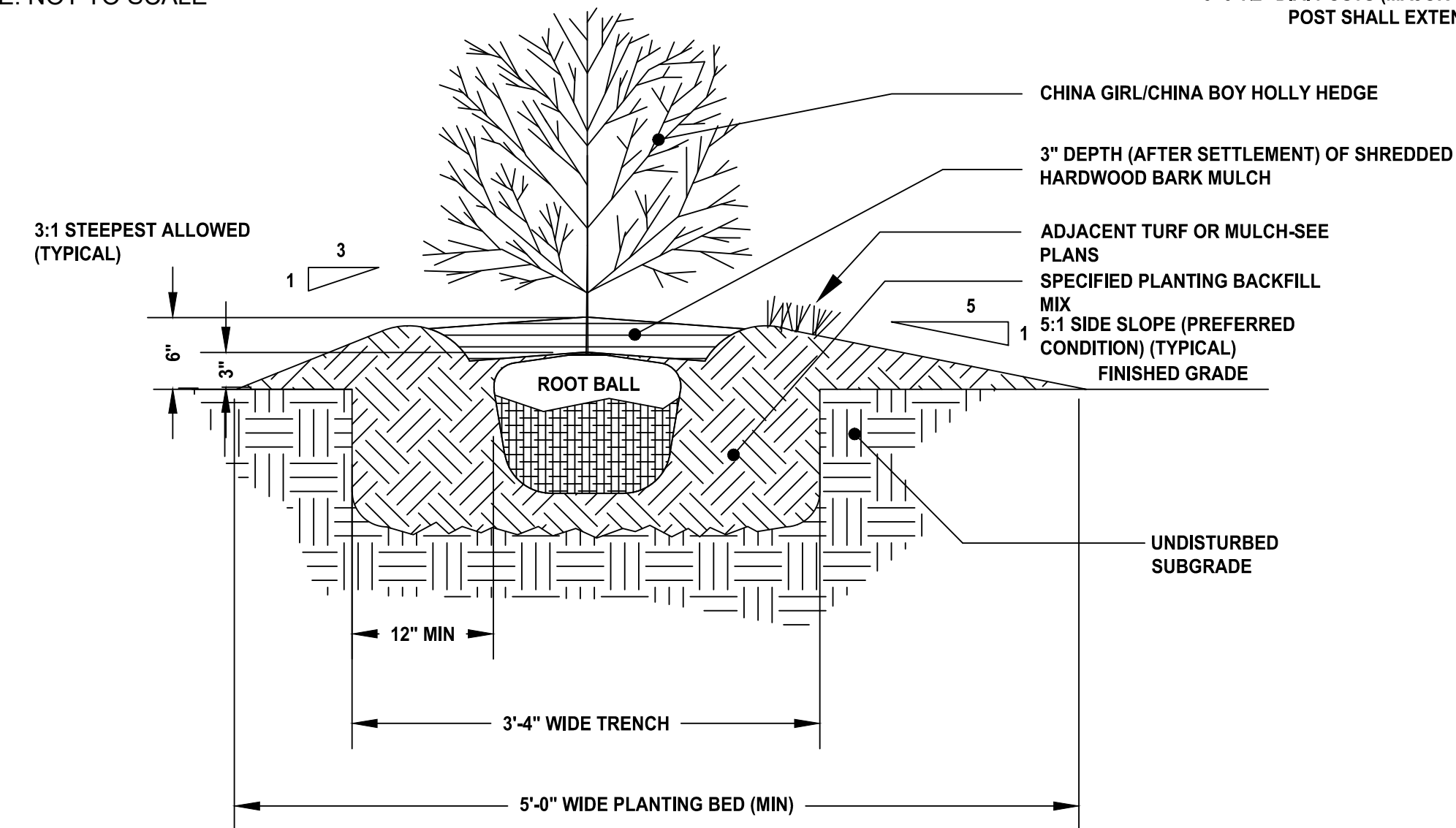
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES REGARDING LANDSCAPING.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A HEALTHY STAND OF GRASS ON ALL SEEDED AREAS.
- GENERAL CONTRACTOR IS TO CLEAN ENTIRE SITE OF ALL CONSTRUCTION DEBRIS AND RAKE ENTIRE SITE.



- NOTE:
- CROWN OF ROOT BALL TO BE APPROXIMATELY 3" ABOVE EXISTING GRADE.
  - REMOVE COLLAR ROPES AND BURLAP FROM TOP 1/3 OF ROOT BALL.
  - HEDGE PLANTING TRENCH SHALL BE CONTINUOUS FOR ENTIRE LENGTH OF HEDGE.

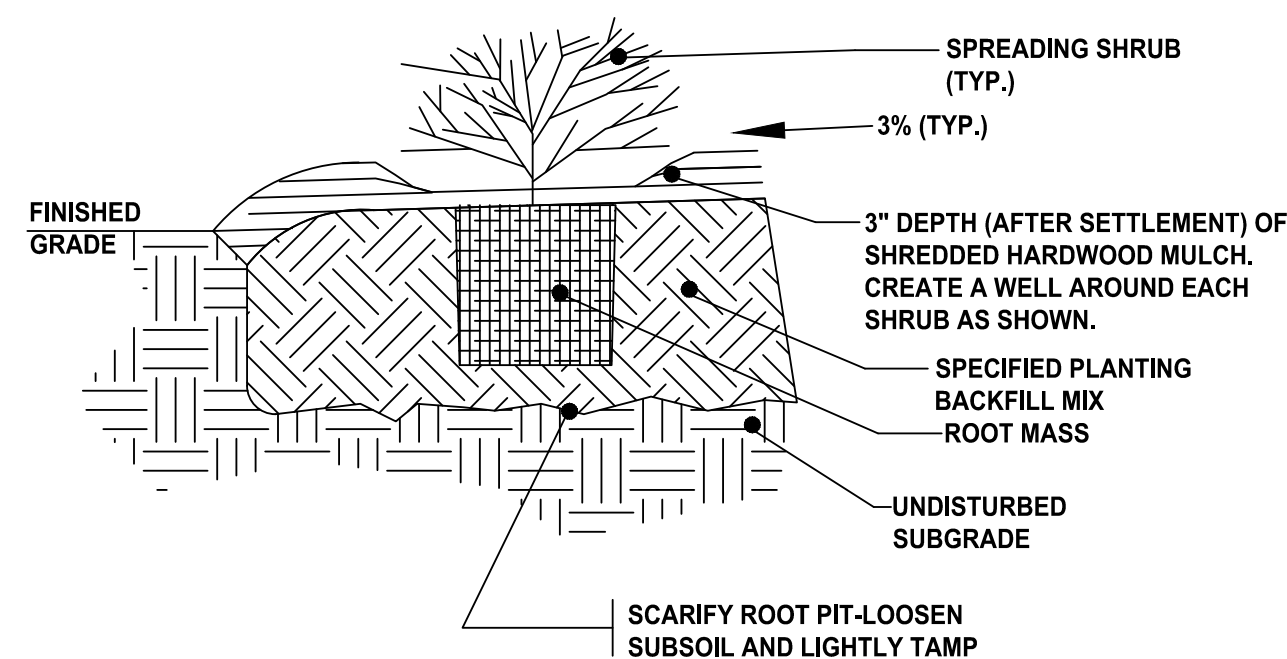
**DETAIL: HEDGE PLANTING**

SCALE: NOT TO SCALE



**DETAIL: HEDGE PLANTING CROSS SECTION**

SCALE: NOT TO SCALE



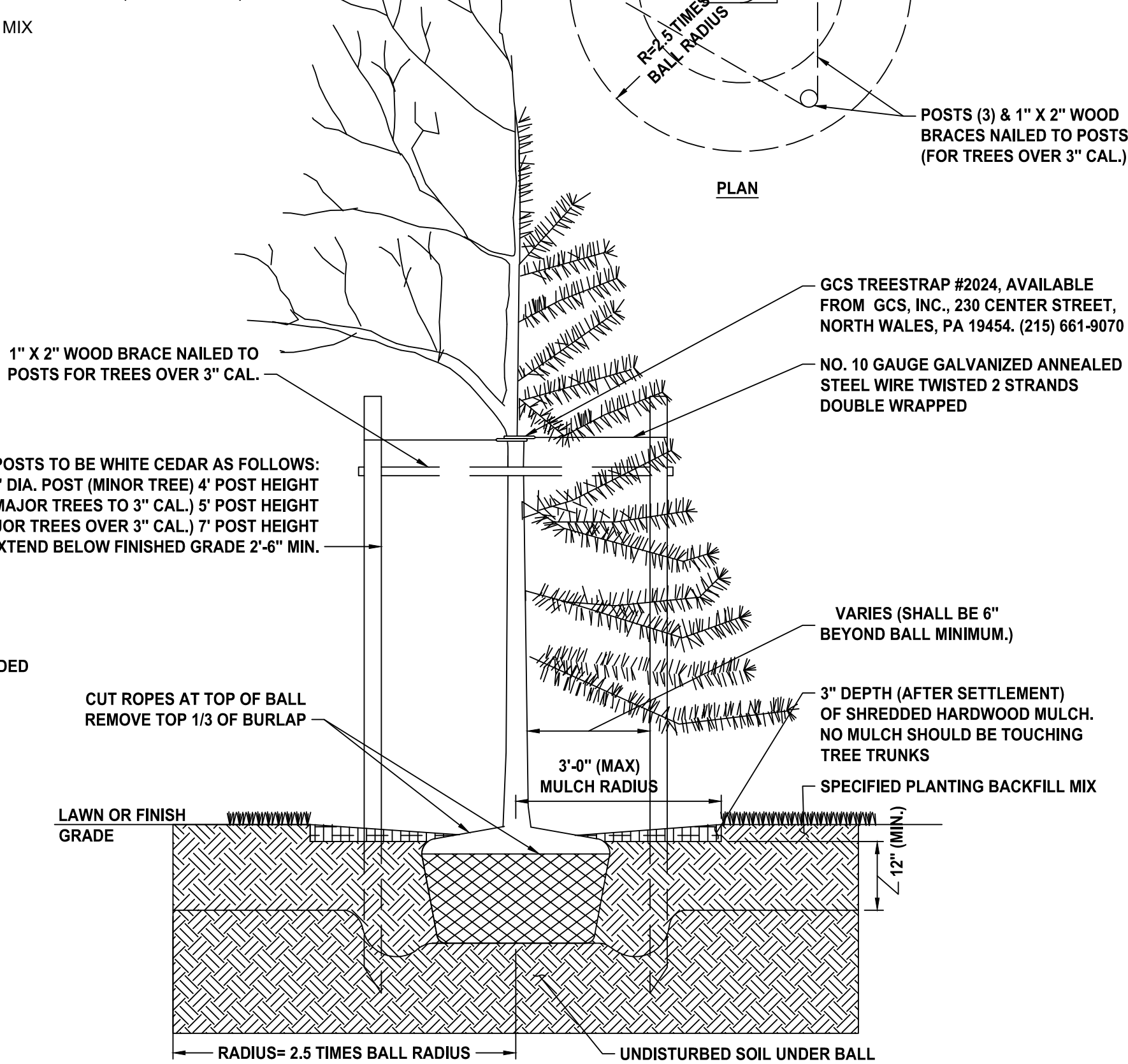
- CROWN OF ROOT MASS TO BE SLIGHTLY ABOVE EXISTING GRADE. IF DRAINAGE IS QUESTIONABLE NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DECISION.
- FOR BARE ROOT SHRUBS: THIN BRANCHES AND FOLIAGE (NOT ALL END TIPS) BY 1/3 RETAINING NORMAL PLANT SHAPE. (BARE ROOT PLANTS ONLY).
- FOR CONTAINER SHRUBS: REMOVE POT, CHECK ROOT SYSTEM. IF THERE ARE ANY SIGNS OF BEING ROOT BOUND, SLASH ROOT MASS (WITH A SHARP KNIFE) VERTICALLY IN 4 EQUIDISTANT LOCATIONS.
- FOR BALLED AND BURLAPPED SHRUBS: REMOVE COLLAR ROPES AND TOP 1/3 OF BURLAP. 5. CROWN OR SLOPE ALL SHRUB BEDS TO ASSURE A MIN. PITCH OF 3%.

**SHRUB PLANTING DETAIL**

NOT TO SCALE

**PLANTING NOTES:**

- CROWN OF ROOT BALL SHALL BEAR SAME RELATION (OR SLIGHTLY ABOVE) TO FINISHED GRADE AS IT BORE TO PREVIOUS GRADE.
- DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE SUPPORT POSTS.
- REMOVE HOSE AND POST AT END OF GUARANTEE PERIOD (OR NO LONGER THAN 12 MONTHS)
- CONTRACTOR TO PROVIDE PROTECTION AGAINST DEER RUB/RUT WHICH IS NOT DIRECTLY ATTACHED TO TRUNK. (AS APPROVED)



**DETAIL: TREE PLANTING**

SCALE: NOT TO SCALE

**STORM DRAIN INSPECTION AND MAINTENANCE**

**CATCH BASINS AND ROOF DRAIN CLEANOUTS:**

CATCH BASINS AND ROOF DRAIN CLEANOUTS SHOULD BE INSPECTED SEMI-ANNUALLY. ROOF DRAINS SHOULD BE CLEARED OF ANY OBSERVED DEBRIS. CATCH BASIN INSERTS SHOULD BE INSPECTED AT LEAST SEMI-ANNUALLY OR AFTER LARGE STORM EVENTS. SEDIMENT SHALL BE REMOVED DURING THE SEMI-ANNUAL INSPECTION. FILTER STRIPS SHOULD BE REPLACED WHEN THEIR CAPACITY IS REACHED.

**TRENCH DRAINS:**

TRENCH DRAINS SHALL BE INSPECTED SEMI-ANNUALLY, ACCUMULATED SEDIMENT AND DEBRIS MUST BE REMOVED BY PRESSURE WASHING OR OTHER APPROPRIATE MEANS TO ALLOW RUNOFF TO FREELY ENTER THE TRENCH DRAIN AT ALL TIMES.

**BIORETENTION AREA INSPECTION AND MAINTENANCE:**

- THERE SHOULD BE SEMI-ANNUAL REGULAR INSPECTIONS OF THE FACILITY. ONCE BEFORE GROWTH EMERGES IN THE SPRING, AND ONCE AT SEED DISPERSAL IN THE FALL. JUST BEFORE NEW GROWTH EMERGES IN THE SPRING, CUT DOWN STANDING STALKS OF HERBACEOUS MATERIAL TO 12 INCHES. TO ELIMINATE COMPETITION FROM INVASIVE PLANTS AND UNDESIRABLE WOODY VEGETATION, SELECTIVELY APPLY APPROPRIATE HERBICIDE WITH A CUT STUMP APPLICATOR OR DIRECTED FOLIAR SPRAYS. PRUNE TREES AND SHRUBS AS NEEDED EVERY FALL.
- THE FACILITY SHOULD BE INSPECTED AFTER STORM EVENTS GREATER THAN 2 INCHES. RESEED AND/OR REPLANT AS REQUIRED BASED UPON INSPECTION FINDINGS. FOR WOODY MATERIAL, INSPECT FOR PESTS AND ICE DAMAGE.
- WHERE SEDIMENT FOREBAYS ARE PROVIDED, REMOVE SEDIMENTS ACCUMULATED IN THE FOREBAY ONCE IT IS HALF FILLED.
- REMOVE ALL VISIBLE ACCUMULATIONS OF SEDIMENT ON TOP OF THE MULCH LAYER WITH A FLAT SHOVEL. RAKE TO PROMOTE INFILTRATION. ADD MULCH IN SPRING AS NEEDED TO MAINTAIN 3 INCH MULCH LAYER.
- STABILIZE ERODED AREAS AND REPLANT AS NECESSARY.
- THE SOIL SHOULD BE TESTED ANNUALLY TO ENSURE PROPER PH, AND ADJUSTED WITH LIMESTONE IF IT IS DETERMINED TO BE TOO ACIDIC. IF REQUIRED, FERTILIZER SHOULD ONLY BE APPLIED IN THE FALL.

**DUFFIELD ASSOCIATES**  
 Soil, Water & the Environment  
 5400 LIMESTONE ROAD  
 WILMINGTON, DE 19808-1232  
 TEL: 302.239.6634  
 FAX: 302.239.8485  
 OFFICES IN DELAWARE, MARYLAND, PENNSYLVANIA AND NEW JERSEY  
 WEB: HTTP://DUFFNET.COM  
 E-MAIL: DUFFIELD@DUFFNET.COM

CHECKED BY: JGF	DESIGNED BY: JIL	FILE NAME: LND12393 CF	DATE: 10/15/2020
DATE: 10/15/2020	DRAWN BY: JIL	JOHN G. FELLOWS, R.L.A.	STATE: DELAWARE

REVISION	DATE	DESCRIPTION
No.		

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC 424 BURENDAK ROAD COLUMBIA, MD 21045
--

**LANDSCAPE DETAILS AND NOTES**

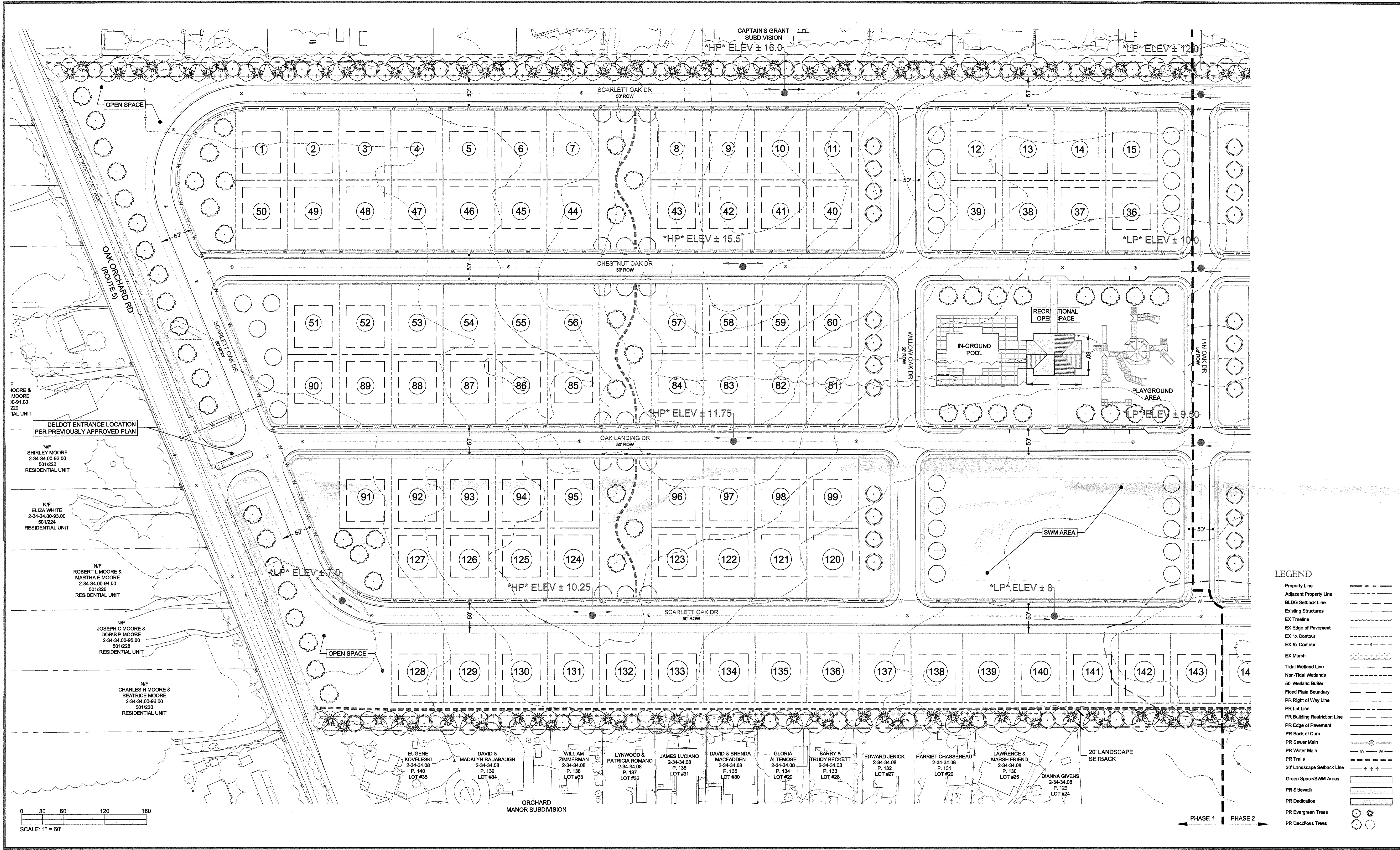
**BIOENERGY DEVELOPMENT GROUP, LLC**

**GROUP, LLC**

SUSSEX COUNTY ~ DELAWARE

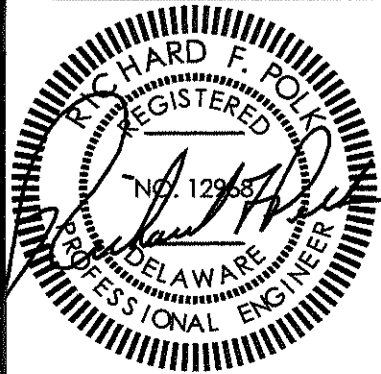
DATE:	15 OCTOBER 2020
SCALE:	
PROJECT NO.	12393.EA
SHEET:	L2 OF 2





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**NOTE:**  
This Drawing does not include necessary components for construction safety. All construction must be done in compliance with the occupational safety and health act of 1970 and all rules and regulations thereto appurtenant.



**VISTA DESIGN, INC.**  
Engineers, Surveyors, Landscape Architects, Land Planning Consultants, GIS Specialists

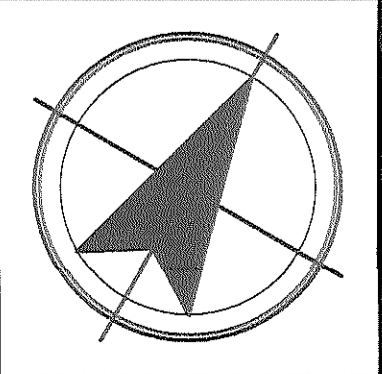
11634 Worcester Hwy., Snowell, MD 21862  
ph. 410-352-3874 fax 410-352-3875 email vista@vistadesigninc.com

**OAK LANDING**  
INDIAN RIVER HUNDRED  
SUSSEX COUNTY, DELAWARE

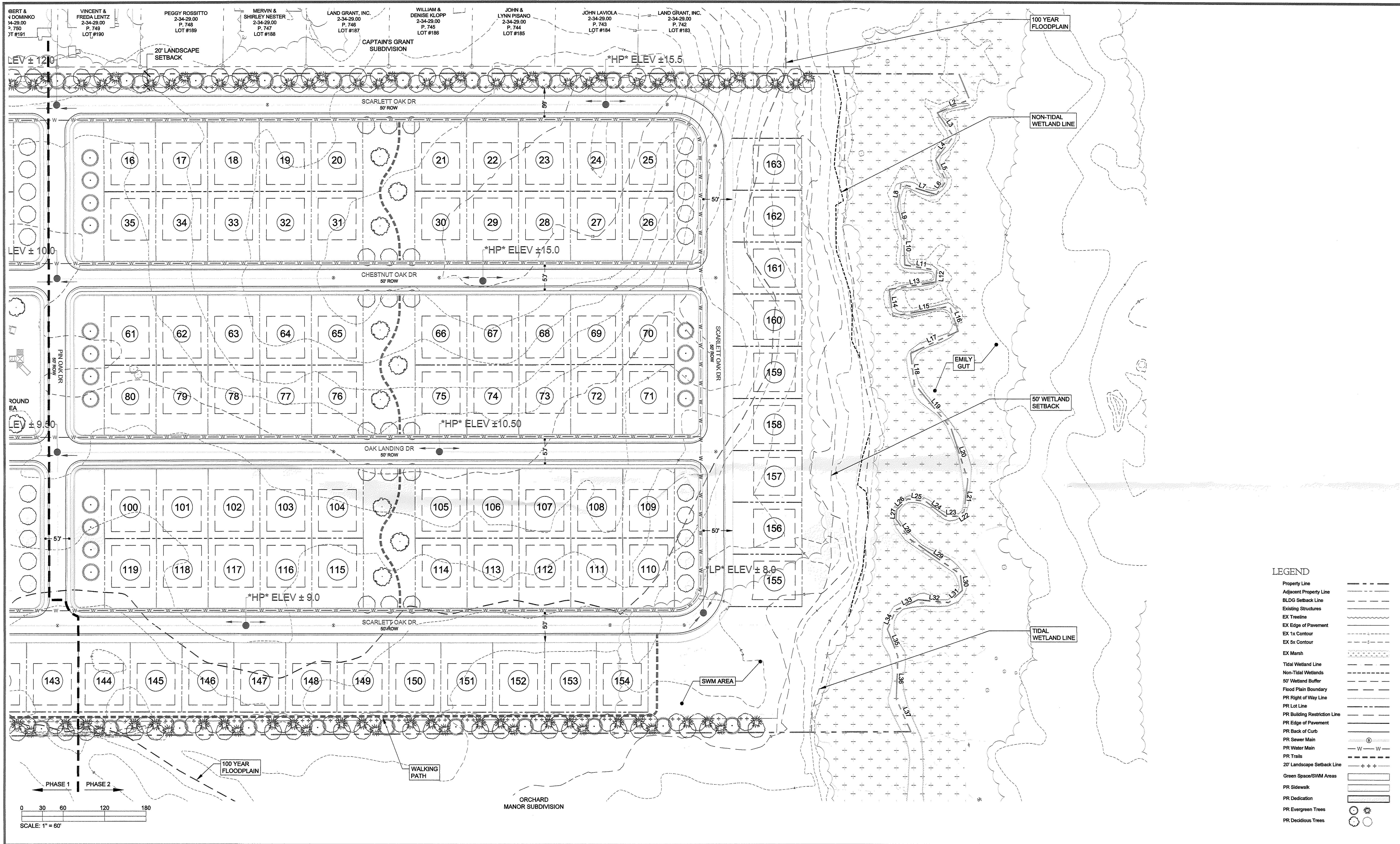
PRELIMINARY SITE PLAN

PROJECT DATA	
Tax Map: 2-34-34	Parcel: 97
INDIAN CREEK HUNDRED	
SUSSEX COUNTY, DELAWARE	
Drawn By: RC	Checked By: SUE
Date: FEBRUARY 16, 2018	
Scale:	1" = 60'

REVISIONS	



Project No: 17-014  
File Name: PSP 051917.dwg  
Sheet No: C 101

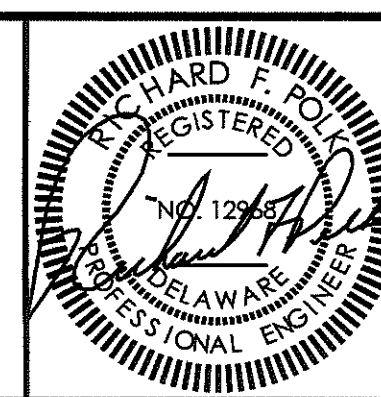


**LEGEND**

- Property Line
- Adjacent Property Line
- BLDG Setback Line
- Existing Structures
- EX Treeline
- EX Edge of Pavement
- EX 1x Contour
- EX 5x Contour
- EX Marsh
- Tidal Wetland Line
- Non-Tidal Wetlands
- 50' Wetland Buffer
- Flood Plain Boundary
- PR Right of Way Line
- PR Lot Line
- PR Building Restriction Line
- PR Edge of Pavement
- PR Back of Curb
- PR Sewer Main
- PR Water Main
- PR Trails
- 20' Landscape Setback Line
- Green Space/SWM Areas
- PR Sidewalk
- PR Dedication
- PR Evergreen Trees
- PR Deciduous Trees

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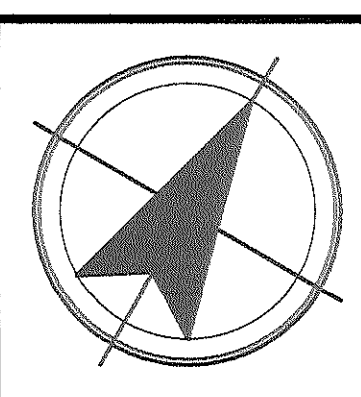
**VISTA DESIGN, INC.**  
Engineers, Surveyors, Landscape Architects, Land Planning Consultants, GIS Specialists  
11634 Worcester Hwy, Shrewell, MD 21862  
ph. 410-352-3874 fax 410-352-3875 email vista@vistadesigninc.com

**OAK LANDING**  
INDIAN RIVER HUNDRED  
SUSSEX COUNTY, DELAWARE

PRELIMINARY SITE PLAN

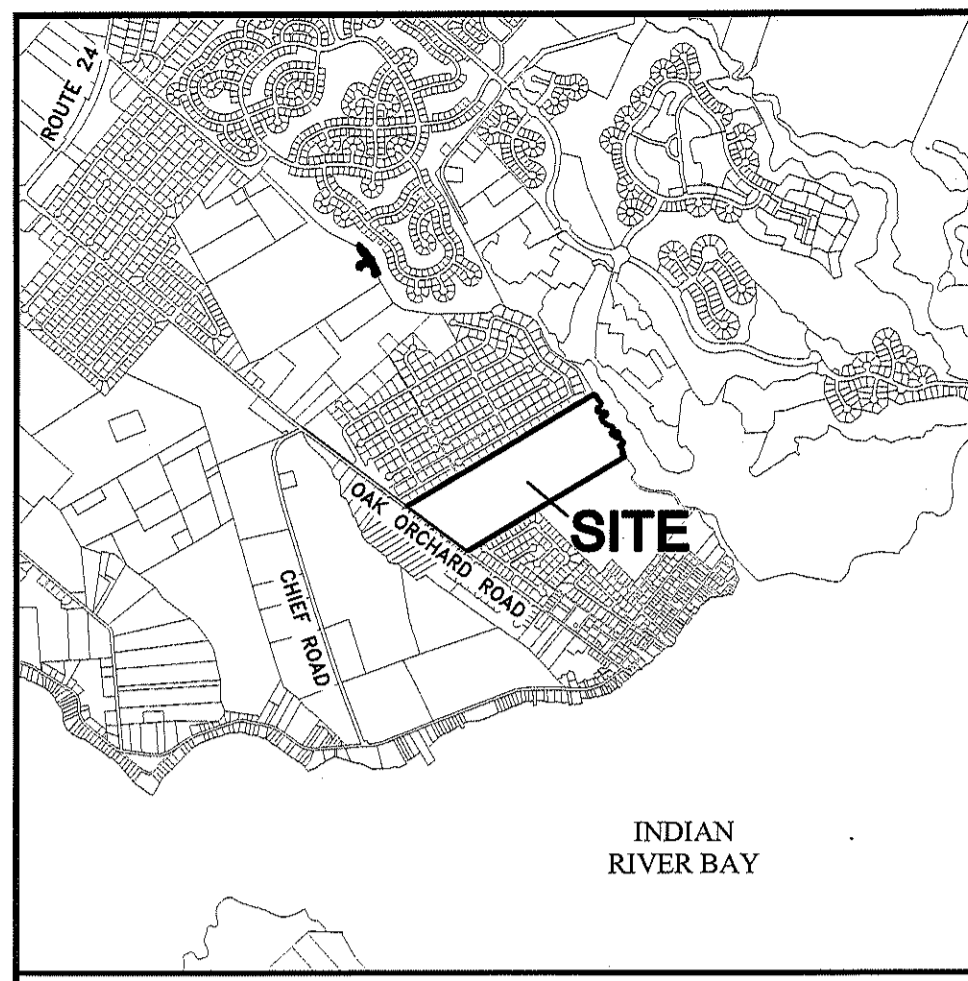
PROJECT DATA	
Tax Map: 2-34-34	Parcel: 97
INDIAN CREEK HUNDRED	
SUSSEX COUNTY, DELAWARE	
Drawn By: RC	Checked By: SDE
Date: FEBRUARY 16, 2018	
Scale: 1" = 60'	

REVISIONS	

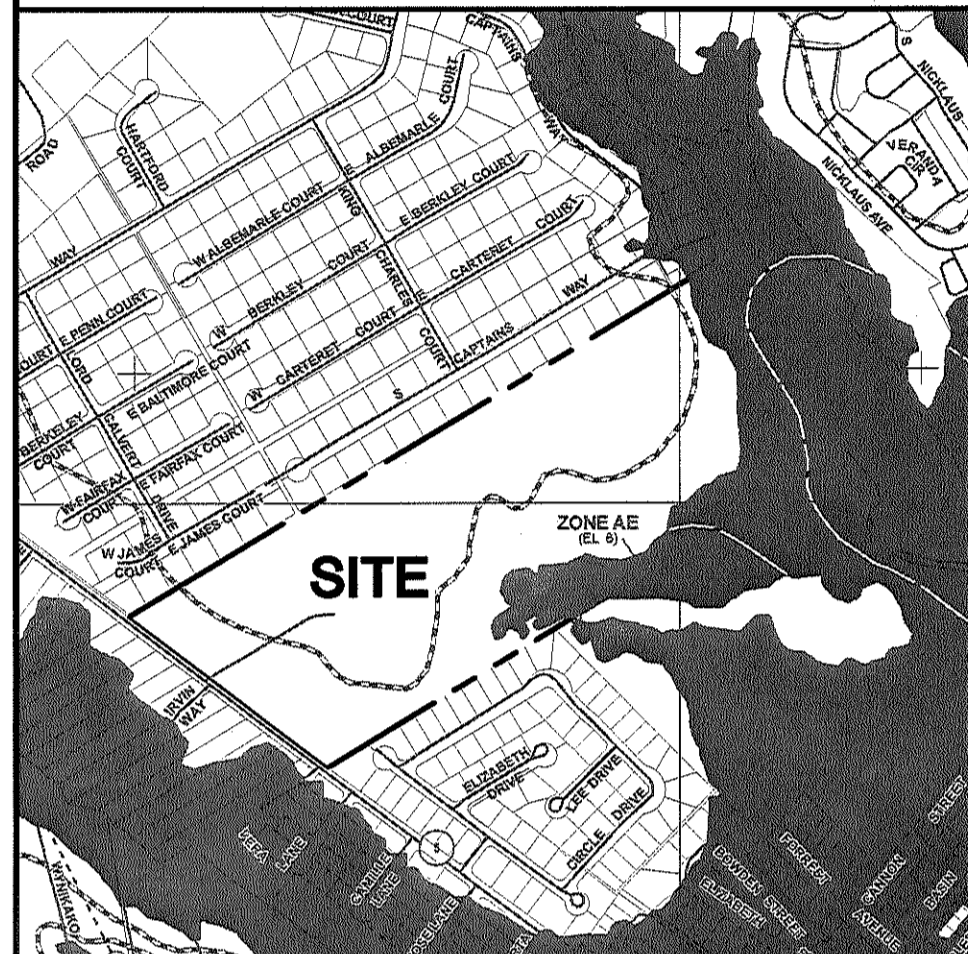


Project No: 17-014  
File Name: PSP 051917.dwg  
Sheet No: C 102

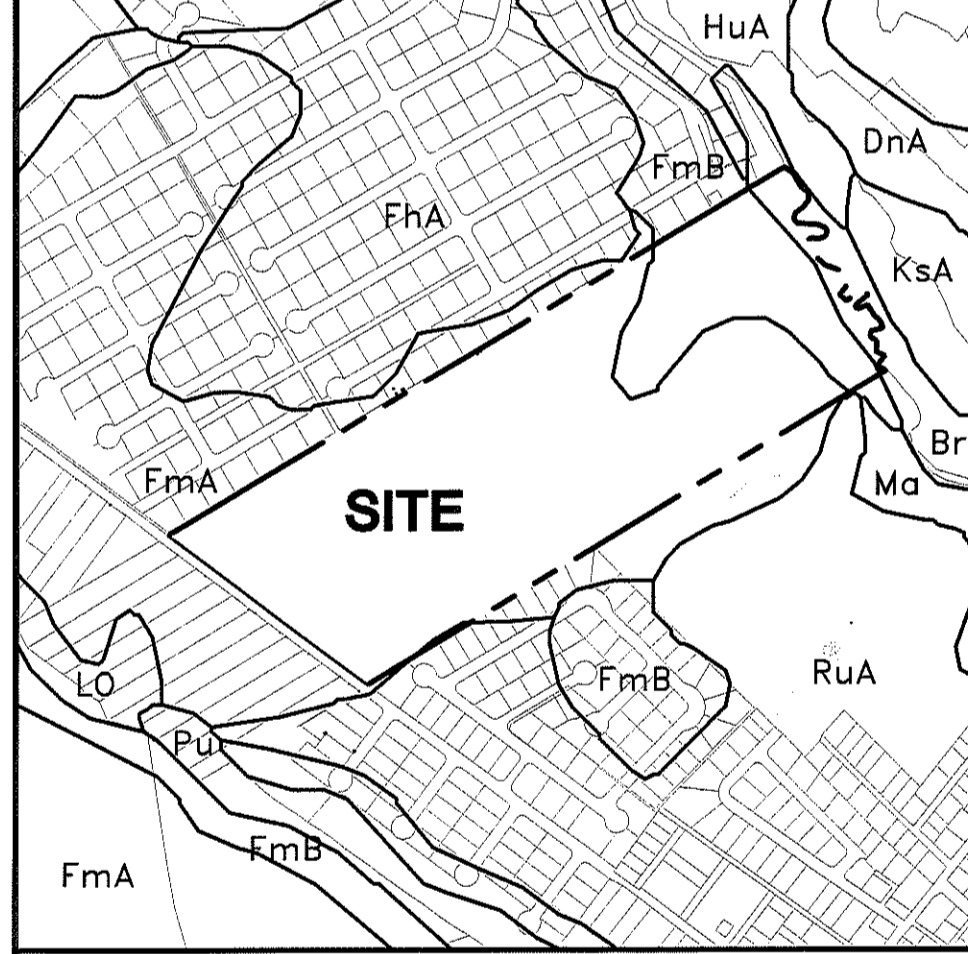
# PLOVER POINT (FORMERLY KNOWN AS OAK LANDING) SUBDIVISION 2018-9 PRELIMINARY PLAN INDIAN RIVER HUNDRED SUSSEX COUNTY, DELAWARE JULY, 2020 DBF PROJECT # 0700C001



**LOCATION MAP** SCALE: 1" = 1/2 MILE



**FLOODPLAIN MAP** SCALE: 1" = 800'  
FEMA PANEL 10001C0481K DATE: MARCH, 16 2015



**SOILS MAP** SCALE: 1" = 800'

**OWNERS STATEMENT**  
I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED ON THIS PLAN, THAT THE PLAN WAS MADE BY MY DIRECTION AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

**ENGINEER'S STATEMENT**  
I, RING W. LARDNER, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

**WETLAND STATEMENT**  
I, EDWARD M. LAUNAY, PWS, STATE THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED UPON THIS PLAN HAVE BEEN DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, REGULATIONS AND SUPPLEMENTAL GUIDANCE (33 CFR 328.3(A)(8), WATERS OF THE U.S. DEFINITION/CECW-OR, 10-7-1991, QUESTIONS AND ANSWERS ON THE 1987 COE MANUAL/CECW-OR, 9-26-1990, RGL 90-7/CECW-OR, 3-6-1992, CLARIFICATION AND INTERPRETATION OF THE 1987 MANUAL). THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES.

**DATA COLUMN**

TAX MAP ID: 2-34-34.00-97.00

DATUM: NAVD 88  
VERTICAL: NAD 83 (DE STATE PLANE)  
HORIZONTAL: 2017-06-04  
PLUS #:

LAND USE:  
EXISTING: AGRICULTURAL  
PROPOSED: RESIDENTIAL

ZONING:  
EXISTING: GR-GENERAL RESIDENTIAL

UNITS:  
SINGLE FAMILY LOTS: 147  
TYPICAL LOT SIZE: 75' X 125' (9,375 S.F.)  
AVERAGE LOT SIZE: 0.216 AC. (9,409 S.F.)

DENSITY:  
MAXIMUM: 4.36 UNITS PER AC.  
PROPOSED: 2.422 UNITS PER AC.

GR ZONING REQUIREMENTS:  
LOT AREA: (REQUIRED) 10,000 S.F. (0.23 AC)  
LOT AREA: (PROPOSED) 7,500 S.F. (0.17AC)  
LOT DEPTH: 100 FT.  
LOT WIDTH: 75 FT.  
FRONT SETBACK: 30 FT.  
SIDE SETBACK: 10 FT.  
REAR SETBACK: 10 FT.  
CORNER SETBACK: 15 FT.  
OPEN SPACE: 29.88% (PROPOSED)

MAXIMUM REQUIREMENTS:  
BUILDING HEIGHT: 42 FT.  
PROPOSED: 36 FT. (2 STORIES)

AREAS:  
EXISTING SITE: 60.675 AC.  
SITE AREA: 3,225 AC.  
WETLANDS (INCLUDED IN SITE AREA): -0.476 AC.  
LAND DEDICATED TO PUBLIC RIGHT-OF-WAY: -0.476 AC.  
TOTAL SITE AREA: 60.199 AC.

PROPOSED SITE:  
LOT AREA: 31,805 AC.  
RIGHT-OF-WAY: 7,182 AC.  
OPEN SPACE (TOTAL): 17,988 AC. (29.88%)  
OPEN SPACE A: 12,058 AC.  
OPEN SPACE B: 3,004 AC.  
OPEN SPACE C: 2,926 AC.  
WETLANDS: 3,225 AC. (5.36%)  
TOTAL SITE AREA: 60.199 AC.

IMPERVIOUS AREAS:  
PAVEMENT (STREETS): 4,586 AC.  
SIDEWALKS: 1,813 AC.  
SHARED-USE-PATH: 0,234 AC.  
LOTS (50% IMPERVIOUS): 15,903 AC.  
TOTAL IMPERVIOUS AREAS: 22,536 AC.

FORESTED AREAS:  
EXISTING: 9,057 AC.  
REMOVED: 1,057 AC.  
TOTAL PRESERVED: 7,970 AC.

UTILITIES:  
SEWER PROVIDER: PUBLIC (SUSSEX COUNTY)  
WATER PROVIDER: PUBLIC (TIDEWATER UTILITIES, INC.)

PROPOSED BUILDING CONSTRUCTION: WOOD/CONCRETE BLOCK

WETLANDS - THIS PROPERTY IS IMPACTED BY WETLANDS.

FLOODPLAIN - THE PROPERTY IS IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA PANEL 10001C0481K DATED MARCH 16, 2015.

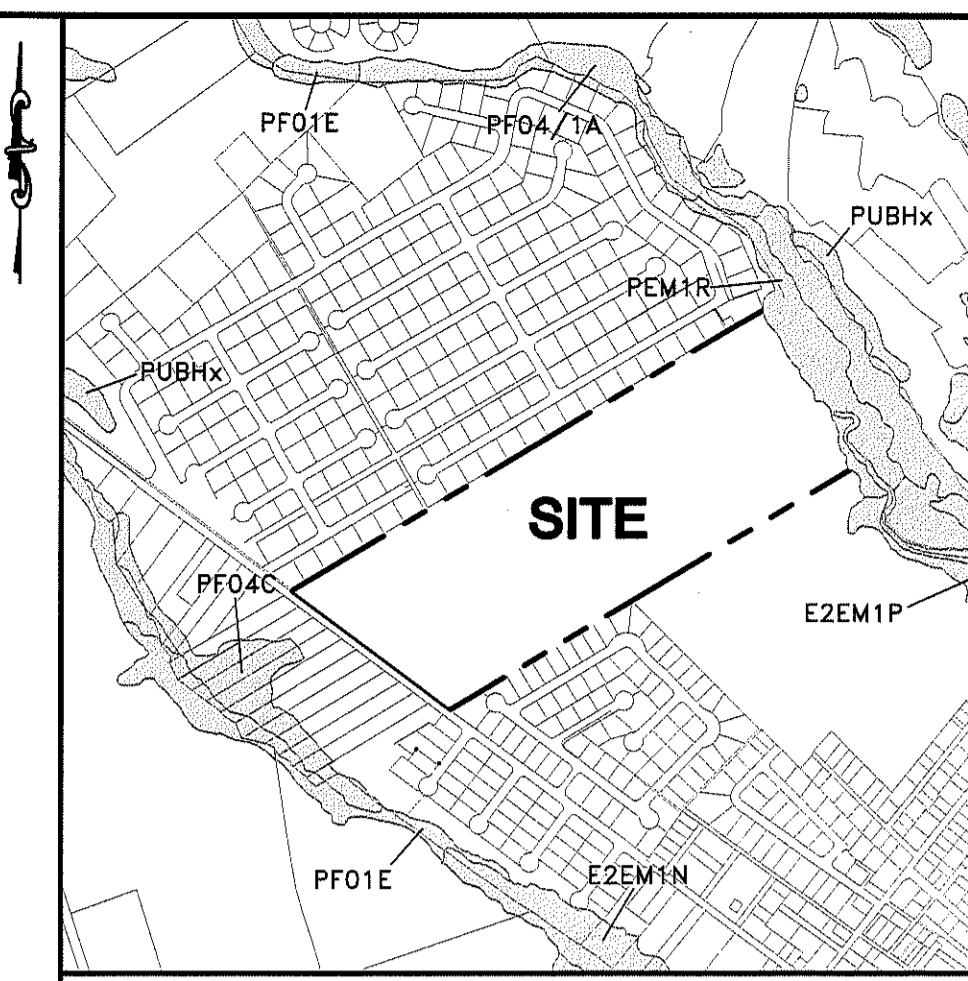
STATE STRATEGIES MAP: INVESTMENT LEVEL 3

THIS PROPERTY IS LOCATED 1,594'± TO THE SOUTHEAST OF THE INTERSECTION OF CAPTAINS WAY AND OAK ORCHARD ROAD (SCR 297).

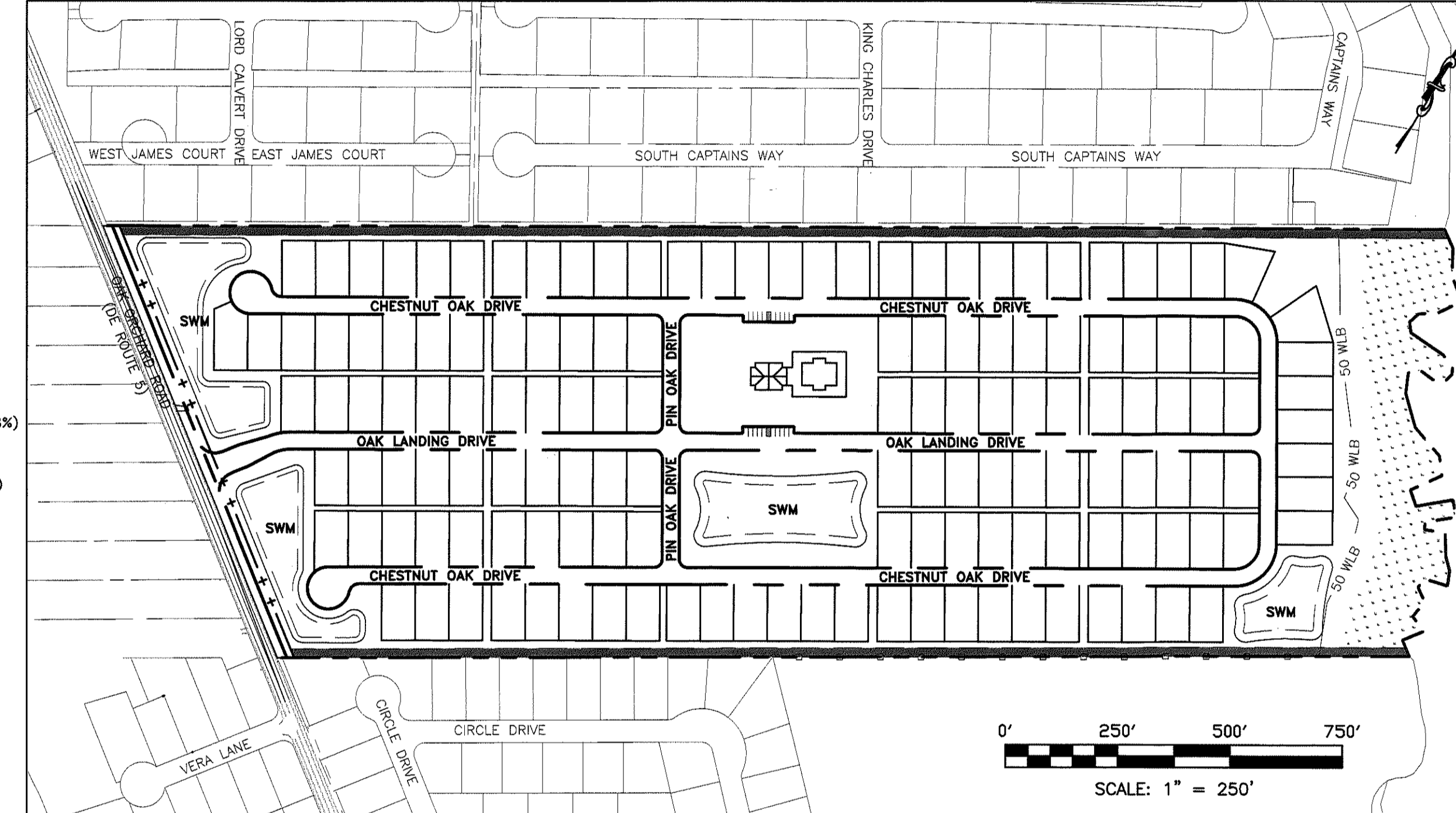
OAK ORCHARD ROAD POSTED SPEED LIMIT: 50/40 M.P.H.

PROPERTY OWNER/DEVELOPER:  
DOUBLE H DEVELOPMENT, LLC.  
28107 BEAVER DAM ROAD  
LAUREL, DE. 19956  
PHONE: 302-875-3033

ENGINEER:  
DAVIS, BOWEN, & FRIEDEL, INC.  
RING LARDNER, P.E.  
1 PARK AVENUE  
MILFORD, DE 19963  
PHONE: 302-424-1441  
FAX: 302-424-0430



**NWI WETLANDS MAP** SCALE: 1" = 1000'



**SHEET INDEX**

TITLE SHEET	PL-01
PRELIMINARY SITE PLAN - OVERVIEW	PL-02
PRELIMINARY SITE PLAN	PL-03 TO PL-04
TYPICAL SECTIONS AND DETAILS	PL-05

**LEGEND**

EXISTING	PROPOSED
BOUNDARY LINE	SANITARY SEWER MANHOLE, PIPE, FLOW ARROW, PIPE SIZE
ADJACENT PROPERTY OWNER	SANITARY SEWER LATERAL
EASEMENT	WATER MAIN, TEE W/ VALVES, PIPE SIZE
SETBACK	WATER LATERAL
ROAD CENTERLINE / BASELINE & STATIONING	CATCH BASIN, DRAINAGE PIPE, FLARED END SECTION, FLOW DIRECTION
CONTOUR ELEVATION AND LABEL	TREES
CATCH BASIN, STORM PIPE, STORM MANHOLE	FENCE
SANITARY SEWER MANHOLE, PIPE, FLOW ARROW, PIPE SIZE	SIDEWALK
SANITARY SEWER CLEANOUT	SHARED USE PATH
WATER MAIN, W/ VALVES	FIRE HYDRANT ASSEMBLY
UTILITY POLE	SIGN
FENCE	FENCE
SWALE	SWALE
LOT IDENTIFICATION NUMBER	LOT IDENTIFICATION NUMBER

**SUBDIVISION 2018-9 CONDITIONS OF APPROVAL:**

- A. THERE SHALL BE NO MORE THAN 163 LOTS WITHIN THE SUBDIVISION.
- B. THE APPLICANT SHALL FORM A HOMEOWNER'S ASSOCIATION TO BE RESPONSIBLE FOR THE MAINTENANCE OF STREETS, ROADS, BUFFERS, STORMWATER MANAGEMENT FACILITIES AND OTHER COMMON AREAS.
- C. THE STORMWATER MANAGEMENT SYSTEM AND EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET OR EXCEED THE REQUIREMENTS OF THE STATE AND COUNTY AND SHALL MAXIMIZE GROUNDWATER RECHARGE.
- D. ALL ENTRANCES SHALL COMPLY WITH ALL OF DELOT'S REQUIREMENTS.
- E. SIDEWALKS SHALL BE PROVIDED ON BOTH SIDES OF ALL STREETS.
- F. NO WETLANDS SHALL BE INCLUDED WITHIN ANY LOT LINES.
- G. THE DEVELOPMENT SHALL BE SERVED BY SUSSEX COUNTY SEWER IN ACCORDANCE WITH SUSSEX COUNTY ENGINEERING DEPARTMENT SPECIFICATIONS AND REGULATIONS.
- H. THE DEVELOPMENT SHALL BE SERVED BY CENTRAL WATER.
- I. THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT FOR THE DESIGN AND LOCATION OF ALL STORMWATER MANAGEMENT AREA AND EROSION AND SEDIMENTATION CONTROL FACILITIES.
- J. A MINIMUM 50-FOOT BUFFER SHALL BE PROVIDED BETWEEN THE STATE WETLANDS ASSOCIATED WITH EMILY'S GUT AND ANY LOT LINES.
- K. THE RECREATIONAL AMENITIES SHALL BE COMPLETED PRIOR TO ISSUANCE OF THE BOTH RESIDENTIAL BUILDING PERMIT. THE RECREATIONAL AMENITIES SHALL INCLUDE A POOL, POOL HOUSE/CLUBHOUSE AND PLAYGROUND.
- L. DELIVERIES OF DIRT, FILL OR OTHER SIMILAR MATERIALS SHALL ONLY BE MADE TO OR FROM THE SITE BETWEEN THE HOURS OF 8:00 A.M. THROUGH 5:00 P.M., MONDAY THROUGH FRIDAY.
- M. NO CONSTRUCTION ACTIVITIES SHALL OCCUR ON THE SITE BETWEEN 6:00 P.M. AND 8:00 A.M. ON THE WEEKDAYS AND AFTER 2:00 P.M. ON SATURDAYS. NO CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAYS.
- N. A SIX-FOOT BOARD-ON-BOARD FENCE SHALL BE INSTALLED ALONG THE ENTIRE SHARED PROPERTY BOUNDARY BETWEEN THIS PROJECT AND LANDS OF CHARLES CLARK. THIS FENCE SHALL NOT EXTEND INTO THE WETLANDS AREA. THIS FENCE SHALL BE INSTALLED PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
- O. THE PRELIMINARY APPROVAL IS CONTINGENT UPON THE APPLICANT SUBMITTING A REVISED PRELIMINARY SITE PLAN EITHER DEPICTING OR NOTING THE CONDITIONS OF APPROVAL ON IT. STAFF SHALL APPROVE THE REVISED PLAN UPON CONFIRMATION THAT THE CONDITIONS OF APPROVAL BEEN DEPICTED OR NOTE ON IT.
- P. THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.

**GENERAL NOTES:**

1. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DEDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
2. NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
3. SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
4. UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELOT'S DISCRETION, AND IN CONFORMANCE WITH DELOT'S DEVELOPMENT COORDINATION MANUAL.
5. PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 §131). DELOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
6. THE SIDEWALK AND SHARED-USE PATH SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SIDEWALK AND/OR SHARED-USE PATH.
7. ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION STREET.
8. TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
9. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
10. THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, MODIFY OR DELETE ANY EROSION AND SEDIMENT CONTROL MEASURES AS THEY DEEM NECESSARY.
11. NO BUILDING PERMIT WILL BE ISSUED UNTIL EITHER ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, CONSTRUCTED, OR PLACED FOR THE LOT FOR WHICH THE BUILDING PERMIT IS TO BE ISSUED IN A MANNER ACCEPTABLE TO THE COUNTY AND STATE, OR UNTIL THE DEVELOPER FILES A PERFORMANCE BOND OR OTHER GUARANTEE WITH THE COUNTY FOR ANY UNCOMPLETED PUBLIC OR PRIVATE STREET OR OTHER REQUIRED IMPROVEMENT.
12. AFTER THE CREATION OF THE COMMUNITY'S HOMEOWNER'S ASSOCIATION ALL BUFFER AREAS, AND THE STORMWATER MANAGEMENT AREA, SHALL BE OWNED AND MAINTAINED BY THE COMMUNITY'S HOMEOWNER'S ASSOCIATION. THE DEVELOPER SHALL MAINTAIN THESE AREAS UNTIL THE COMMUNITY HOMEOWNER'S ASSOCIATION IS ESTABLISHED.
13. THE FINAL OVERLAY OF HOT MIX - TYPE C FOR A STREET WITHIN THE DEVELOPMENT WILL NOT BE PERMITTED UNTIL 75% OF THE HOMES ON THAT STREET IS COMPLETELY CONSTRUCTED. IF FINAL OVERLAY IS CONDUCTED WITHOUT THE COUNTY KNOWLEDGE AND/OR APPROVAL, THEN THE COUNTY HAS THE RIGHT TO HAVE THE OWNER/DEVELOPER ROTOMILL AND OVERLAY, WITH ALL COSTS BEING PAID FOR BY THE DEVELOPER.
14. WATER SUPPLY, SEWER, PAVEMENT AND DRAINAGE MUST BE IN PLACE PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY FOR THE REQUESTED LOT.
15. ANY MONUMENT SIGNAGE MUST REQUIRE ADDITIONAL PERMITTING.
16. AN AMENITIES PLAN WILL BE SUBMITTED SEPARATELY.

**SUSSEX CONSERVATION DISTRICT APPROVAL BOX**

SUSSEX COUNTY PLANNING & ZONING STAFF \_\_\_\_\_ DATE \_\_\_\_\_

SUSSEX COUNTY COUNCIL PRESIDENT \_\_\_\_\_ DATE \_\_\_\_\_

**SUSSEX COUNTY PLANNING & ZONING APPROVAL**

SUSSEX COUNTY PLANNING & ZONING STAFF \_\_\_\_\_ DATE \_\_\_\_\_

SUSSEX COUNTY COUNCIL PRESIDENT \_\_\_\_\_ DATE \_\_\_\_\_

**dbf**

**DAVIS, BOWEN & FRIEDEL, INC.**  
ARCHITECTS, ENGINEERS & SURVEYORS

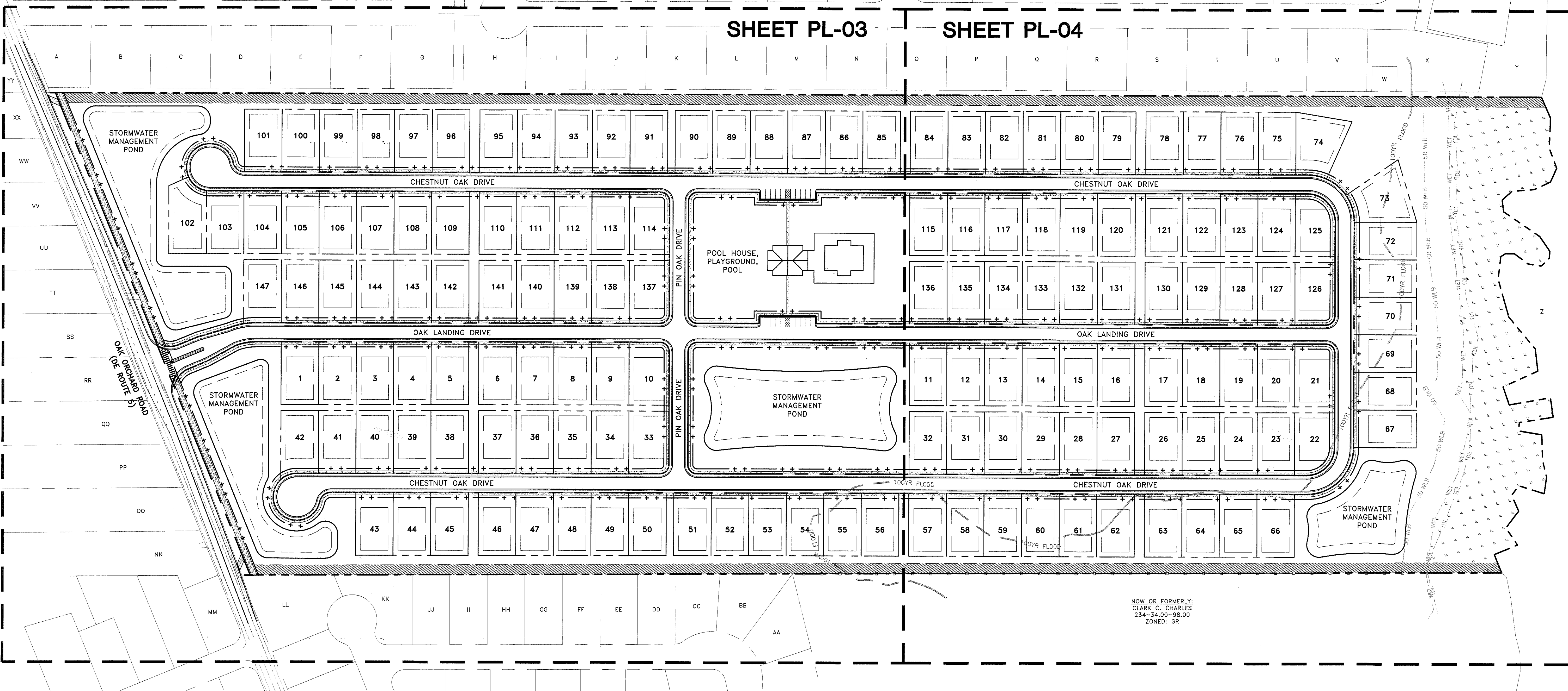
SAUSBURY, MARYLAND (410) 543-9091  
MILFORD, DELAWARE (302) 424-1441  
EASTON, MARYLAND (410) 770-4744

REVISIONS:

2020-04-09 P&Z  
2020-09-14 P&Z  
2020-10-29 P&Z COMMENTS

SHEET PL-03

SHEET PL-04



ADJACENT PROPERTY OWNERS

PARCEL#	OWNER	DEED	ZONED
A 234-29.00-636.00	MARION ONEILL	D/5226/286	GR
B 234-29.00-635.00	DANIEL M. & AMY MARCUS	D/4033/24	GR
C 234-29.00-634.00	ROBERT GRUVER DAVIS	D/3490/207	GR
D 234-29.00-633.00	JUDITH A. HILTON-HYDE	D/5206/195	GR
E 234-29.00-632.00	RICHARD B. & LORRAINE MCCrackEN	D/5157/88	GR
F 234-29.00-631.00	MICHAEL E. & BARBARA GROGAN	D/4029/167	GR
G 234-29.00-630.00	FRANK R. & VIOLA M. GRAY	D/2736/304	GR
H 234-29.00-756.00	DONNA C. IRVINE	D/2511/312	GR
I 234-29.00-755.00	MARY C. SMITH	D/2410/324	GR
J 234-29.00-754.00	ROBERT C. SR. & JULIE G. LEGATES	D/2440/333	GR
K 234-29.00-753.00	RICHARD C. & NANCY J. PANAGACOS	D/2424/345	GR
L 234-29.00-752.00	JOHN L. & JEAN C. SALOMONE	D/4116/44	GR
M 234-29.00-751.00	JOHN J. BENDER & BRENESA M. CHAVEZ	D/2486/123	GR
N 234-29.00-750.00	JAMES E. & MARY J. HEATLY	D/3919/53	GR
O 234-29.00-749.00	VINCENT & FREDA LENTZ	D/2787/119	GR
P 234-29.00-748.00	PEGGY L. ROSSITTO	D/3247/195	GR
Q 234-29.00-747.00	MERVIN D. & SHIRLEY E. NESTER	D/2936/250	GR
R 234-29.00-746.00	GEORGE W. & DONNA M. KLOSKE	D/4187/87	GR
S 234-29.00-745.00	WILLIAM H. & DENISE A. KLOPP	D/2751/287	GR
T 234-29.00-744.00	STEPHEN R. & BRENDA D. STAPPELLI	D/4483/25	GR
U 234-29.00-743.00	JOHN C. & MICHELLE MARIE VICKERS	D/4432/263	GR
V 234-29.00-742.00	EUGENE PAUL & MARY COLLEEN MCGREW	D/3927/125	GR
W 234-29.00-277.02	SUSSEX COUNTY (PUMP STATION)	D/3751/58	GR
X 234-29.00-277.00	CAPTAINS GRANT HOMEOWNER ASSOC.	D/331/327	GR
Y 234-28.00-277.00	CAPTAINS GRANT HOMEOWNER ASSOC.	D/331/327	GR
Z 234-30.00-1.03	THE PENINSULA COMMUNITY ASSOC., INC.	D/5021/293	MR

ADJACENT PROPERTY OWNERS

PARCEL#	OWNER	DEED	ZONED
AA 234-34.08-129.00	NAOMI F. MORRISON	D/3831/136	GR
BB 234-34.08-130.00	LAWRENCE M. & MASHA E. FRIEND	D/3040/260	GR
CC 234-34.08-131.00	GLEN E. SARGEANT	D/5028/233	GR
DD 234-34.08-132.00	MICHAEL J. & ANGELA D. WILLIAMS	D/4590/89	GR
EE 234-34.08-133.00	BUSH PLETCHER ENTERPRISES, LLP	D/4083/58	GR
FF 234-34.08-134.00	GLORIA M. ALTEMOSE		GR
GG 234-34.08-135.00	LONNIE RAY & PATRICIA LEE DIXON	D/4258/297	GR
HH 234-34.08-136.00	JAMES A. LUCIANO	D/3145/97	GR
II 234-34.08-137.00	NICOLE & JOE ROMANO	D/4411/307	GR
JJ 234-34.08-138.00	JOHN L. & KIMBERLY ANN BOONE	D/4424/111	GR
KK 234-34.08-139.00	DOMINIC H. RHOLEITER	D/4175/145	GR
LL 234-34.08-140.00	VICTOR & KENNILYN KOVELESKI	D/5181/80	GR
MM 234-34.08-141.00	JEFFREY D. SR. & LORRAINE A. SAREYKA	D/5181/80	GR
NN 234-34.00-92.00	NICHOLAS BELL	D/4215/165	GR
OO 234-34.00-93.00	JEFFREY STEVEN & JOANN REV NOVAK, TR	D/4755/170	GR
PP 234-34.00-94.00	ROBERT L. & MARTHA E. MOORE		GR
QQ 234-34.00-95.00	JANICE M. CHORMAN	D/4027/187	GR
RR 234-34.00-96.00	JAMES R. JR. & KIMBERLY D. FORD	D/3691/140	GR
SS 234-34.00-97.00	IRVIN W. MOORE	D/3691/142	GR
TT 234-34.00-98.00	JEAN MOORE		GR
UU 234-34.00-99.00	SUSAN P. MUMFORD & SANDRA MOORE	D/2289/345	GR
VV 234-34.00-88.00	RONALD W., BARBARA R., & RODNEY T. MCGEE	D/2159/266	GR
WW 234-34.00-87.00	A & E PROPERTY SOLUTIONS, LLC	D/5186/264	GR
XX 234-34.00-86.00	LEON & RAYMOND C. JOHNSON, TERESA H. SMITH	D/3892/304	GR
YY 234-29.00-234.00	ANGELA J. DUNMORE	D/3962/5	GR

BOUNDARY LINE TABLE

LINE	BEARING	DISTANCE
L1	N 54°28'28" W	45.56'
L2	N 28°47'36" W	60.90'
L3	S 51°28'20" E	22.21'
L4	N 06°33'35" W	30.00'
L5	N 34°07'32" E	135.45'
L6	N 54°30'14" E	444.55'
L7	N 17°36'57" E	26.49'
L8	S 38°29'08" E	23.77'
L9	N 86°28'40" W	87.18'
L10	N 65°58'19" W	35.37'
L11	N 26°11'29" W	113.81'
L12	S 14°18'24" W	226.33'
L13	S 67°26'28" W	258.84'
L14	S 84°08'37" E	34.62'
L15	N 70°55'32" W	82.52'
L16	N 25°47'52" E	114.42'
L17	N 59°37'17" E	177.56'
L18	N 24°13'18" E	45.42'
L19	N 48°42'34" W	78.88'
L20	N 37°37'44" W	44.54'
L21	N 34°36'59" W	76.29'
L22	S 49°55'59" E	138.04'
L23	S 49°10'12" W	83.53'
L24	S 39°12'52" W	38.95'
L25	S 50°10'57" W	68.47'
L26	S 26°59'15" W	116.79'
L27	S 86°33'44" W	46.71'
L28	S 32°23'12" W	50.57'
L29	S 45°15'28" E	34.97'
L30	N 22°26'30" W	53.54'
L31	N 76°17'44" E	53.43'
L32	N 04°57'52" E	23.47'
L33	S 55°02'27" E	34.69'
L34	N 06°35'16" E	42.20'
L35	S 65°09'29" W	41.38'
L36	N 36°27'46" E	50.29'
L37	N 53°16'22" W	39.50'

RIGHT-OF-WAY CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
RC-1	43.00'	50.39'	47.55'	S 03°22'56" W	67°08'28"
RC-2	105.99'	40.63'	40.38'	S 48°10'30" W	21°57'40"
RC-3	18.00'	28.27'	25.46'	N 75°50'41" W	90°00'00"
RC-4	18.00'	28.27'	25.46'	N 14°09'19" E	90°00'00"
RC-5	47.00'	212.02'	72.81'	S 70°04'32" E	258°27'52"
RC-6	23.00'	31.50'	29.09'	S 19°55'26" W	78°27'47"
RC-7	94.00'	147.65'	132.94'	N 14°09'19" E	90°00'00"
RC-8	94.00'	147.65'	132.94'	N 75°50'41" W	90°00'00"
RC-9	23.00'	31.50'	29.09'	S 81°36'47" E	78°27'47"
RC-10	47.00'	212.02'	72.81'	S 08°23'09" W	258°27'52"
RC-11	18.00'	28.27'	25.46'	N 75°50'41" W	90°00'00"
RC-12	18.00'	28.27'	25.46'	N 14°09'19" E	90°00'00"
RC-13	144.00'	55.34'	55.00'	S 48°08'47" W	22°01'04"
RC-14	43.00'	50.39'	47.72'	N 70°39'10" E	67°23'58"
RC-15	18.00'	28.27'	25.46'	S 75°50'41" E	90°00'00"
RC-16	56.00'	87.96'	79.20'	N 14°09'19" E	90°00'00"
RC-17	18.00'	28.27'	25.46'	N 75°50'41" W	90°00'00"
RC-18	18.00'	28.27'	25.46'	S 14°09'19" W	90°00'00"
RC-19	18.00'	28.27'	25.46'	S 75°50'41" E	90°00'00"
RC-20	18.00'	28.27'	25.46'	N 14°09'19" E	90°00'00"
RC-21	56.00'	87.96'	79.20'	N 75°50'41" W	90°00'00"
RC-22	18.00'	28.27'	25.46'	S 14°09'19" W	90°00'00"

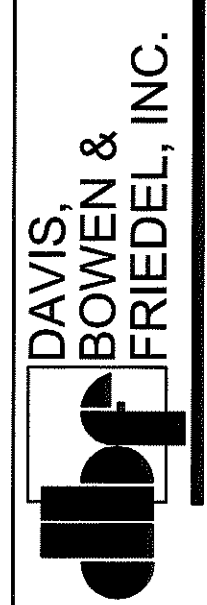
LOT CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
PC-5A	47.00'	35.21'	34.39'	S 37°41'44" W	42°55'21"
PC-5B	47.00'	176.81'	89.51'	N 88°27'48" E	215°32'31"
PC-8A	94.00'	56.85'	55.99'	N 48°10'19" W	34°39'17"
PC-8B	94.00'	51.62'	50.98'	N 81°13'55" W	31°27'56"
PC-8C	94.00'	39.18'	38.89'	S 71°05'43" W	23°52'47"
PC-10A	47.00'	157.97'	93.43'	S 41°19'49" W	192°34'36"
PC-10B	47.00'	46.92'	45.00'	S 83°33'36" E	57°12'14"
PC-10C	47.00'	7.12'	7.12'	N 63°29'44" E	8°41'05"
PC-13A	144.00'	24.11'	24.08'	S 54°21'50" W	9°33'39"
PC-13B	144.00'	31.22'	31.16'	S 43°20'58" W	12°25'26"

NOW OR FORMERLY:  
CLARK C. CHARLES  
234-34.00-98.00  
ZONED: GR



ARCHITECTS ENGINEERS SURVEYORS  
SUSSEX COUNTY, DELAWARE  
MILLSBORO, DELAWARE  
EASTON, MARYLAND



PRELIMINARY SITE PLAN - OVERVIEW

PLOVER POINT  
OAK ORCHARD ROAD  
MILLSBORO, SUSSEX COUNTY, DELAWARE

Revisions:  
2020-09-14: P&Z  
2020-10-29: P&Z COMMENTS

Date: JULY, 2020  
Scale: 1" = 100'  
Dwn.By: TAJ  
Proj.No.: 0700C001  
Dwg.No.: PL-02



P:\Horsely\0700C001 - Plover Point\Design\Pre\0700C001 - PL - PRELIMINARY SITE PLAN.dwg Oct 29, 2020 - 11:35am jent

DAVIS, BOWEN & FRIEDEL, INC.  
ARCHITECTS ENGINEERS SURVEYORS  
SALISBURY, MARYLAND  
1101 EAST WASHINGTON STREET  
SALISBURY, MARYLAND 21781-1744  
(410) 543-8001  
(410) 775-1744

**PRELIMINARY SITE PLAN**

**PLOVER POINT**  
**OAK ORCHARD ROAD**  
**MILLSBORO, SUSSEX COUNTY, DELAWARE**

Revisions:  
2020-09-14: P&Z  
2020-10-29: P&Z COMMENTS

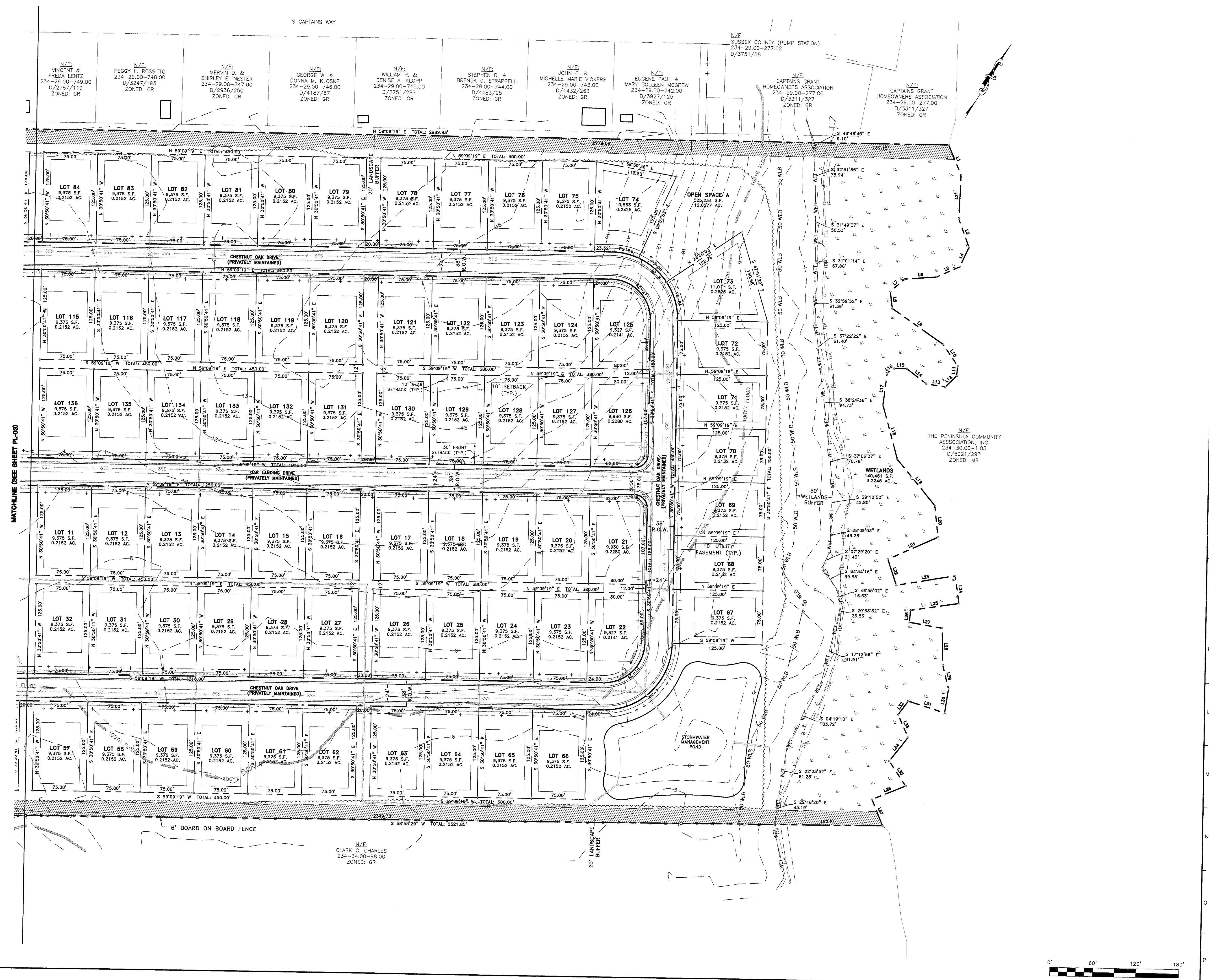
Date: JULY, 2020  
Scale: 1" = 60'  
Dwn.By: TAJ  
Proj.No.: 0700C001  
Dwg.No.:

**PL-03**

THIS DRAWING, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO DAVIS, BOWEN & FRIEDEL, INC., AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION. COPYRIGHT ©2020



P:\Homes\0700C001 - Plover Point\Design\Preliminary\0700C001 - PL - PRELIMINARY SITE PLAN.dwg Oct 29, 2020 - 11:35am jlw



**PLOVER POINT  
OAK ORCHARD ROAD  
MILLSBORO, SUSSEX COUNTY, DELAWARE**

**DAVIS, BOWEN & FRIEDEL, INC.**  
ARCHITECTS ENGINEERS SURVEYORS  
MILLSBORO, DELAWARE  
D/303-443-9001  
F/303-443-9002  
E/303-443-9003  
P/303-443-9004

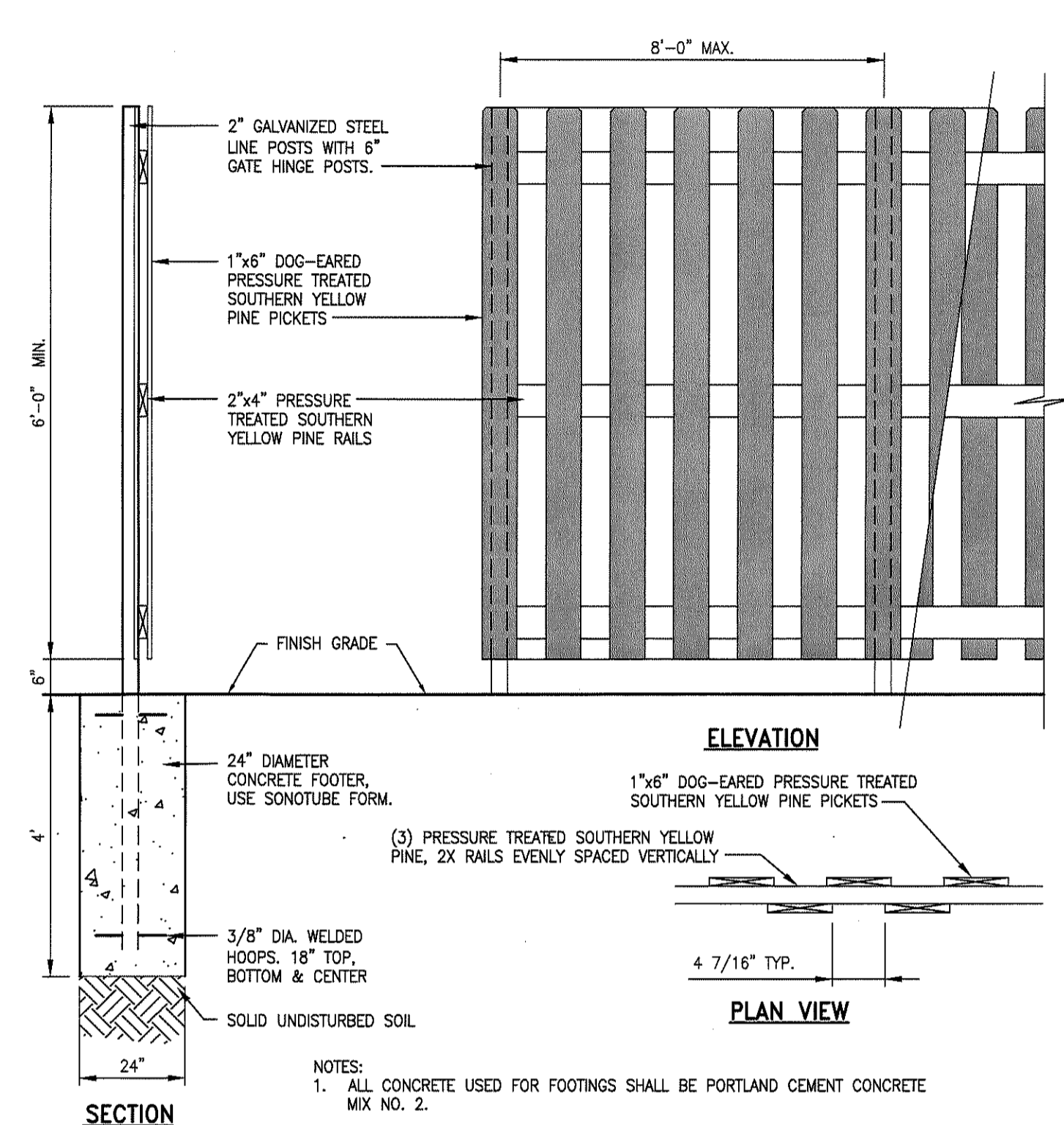
PRELIMINARY SITE PLAN

Revisions:  
2020-09-14: P&Z  
2020-10-29: P&Z COMMENTS

Date: JULY, 2020  
Scale: 1" = 60'  
Dwn.By: TAJ  
Proj.No.: 0700C001  
Dwg.No.: PL-04

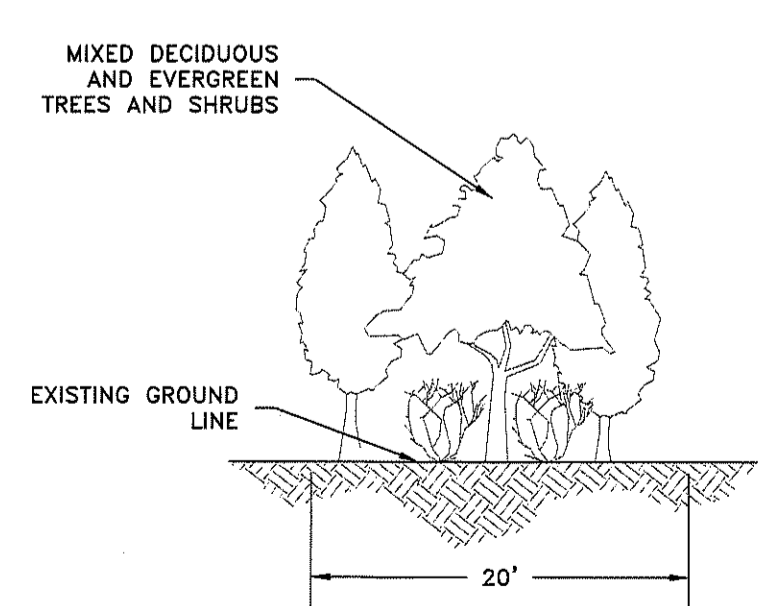


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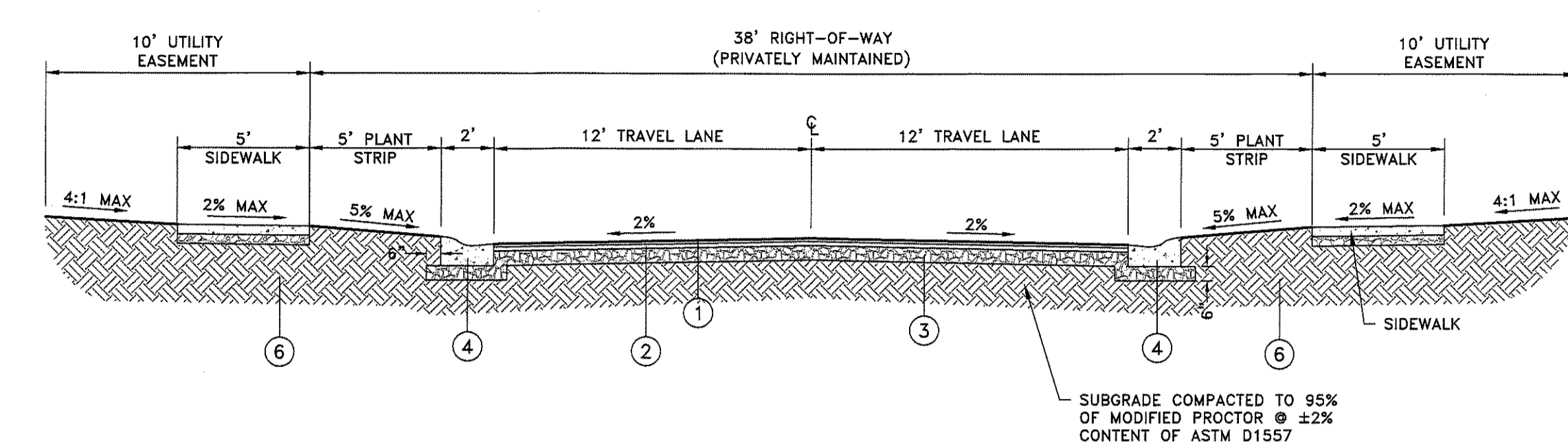


**PRESSURE TREATED SCREEN FENCE**  
NOT TO SCALE

- NOTES:
1. ALL CONCRETE USED FOR FOOTINGS SHALL BE PORTLAND CEMENT CONCRETE MIX NO. 2.
  2. ALL WOOD IS TO BE PRESSURE TREATED SOUTHERN YELLOW PINE.
  3. FINISH SHALL BE AS SELECTED BY OWNER.

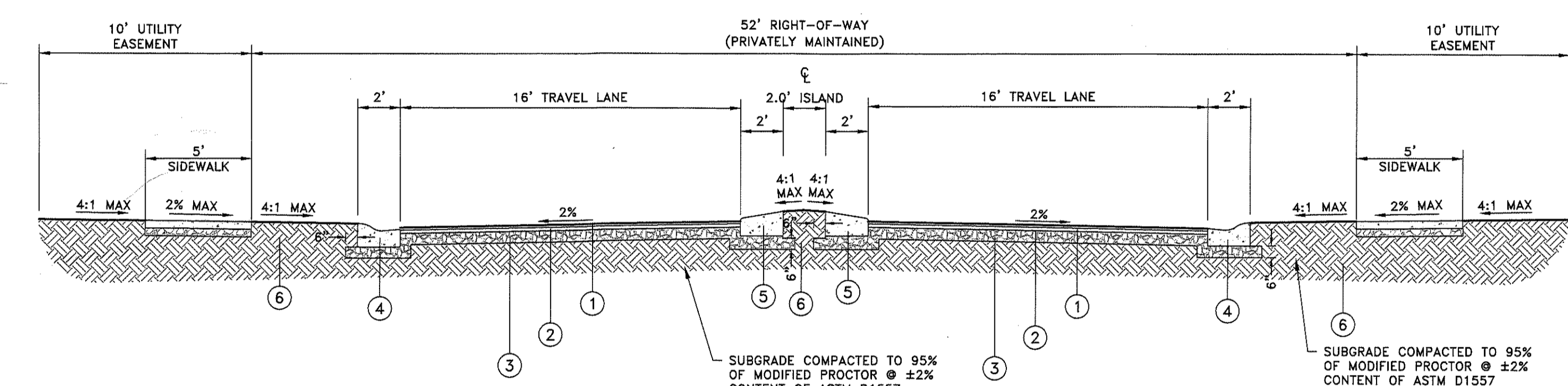


**LANDSCAPE BUFFER DETAIL**  
NO SCALE



**TYPE II RESIDENTIAL STREET SECTION**  
24' TYPICAL PAVEMENT SECTION

- NOT TO SCALE
- OAK LANDING DRIVE 2,388 FT (0.45 MILES)
  - SCARLETT OAK DRIVE 5,801 FT (1.10 MILES)
  - CHESTNUT OAK DRIVE 2,262 FT (0.43 MILES)
  - PIN OAK DRIVE 750 FT (0.14 MILES)



**ENTRANCE SECTION**  
32' TYPICAL PAVEMENT SECTION

- LEGEND
- ① BITUMINOUS CONCRETE, SUPERPAVE, TYPE 'C', PG 64-22, 160 GYRATIONS (CARBONATE STONE)
  - ② BITUMINOUS CONCRETE, SUPERPAVE, TYPE 'B', PG 64-22, 160 GYRATIONS
  - ③ GRADED AGGREGATE BASE COURSE, TYPE 'B', SHALL BE OVER APPROVED SUBGRADE
  - ④ INTEGRAL P.C.C. CURB & GUTTER TYPE 2
  - ⑤ P.C.C. CURB TYPE 2
  - ⑥ ITEM 908002 - TOPSOIL (6" DEPTH), ITEM 908014 - PERMANENT GRASS SEEDING, DRY GROUND

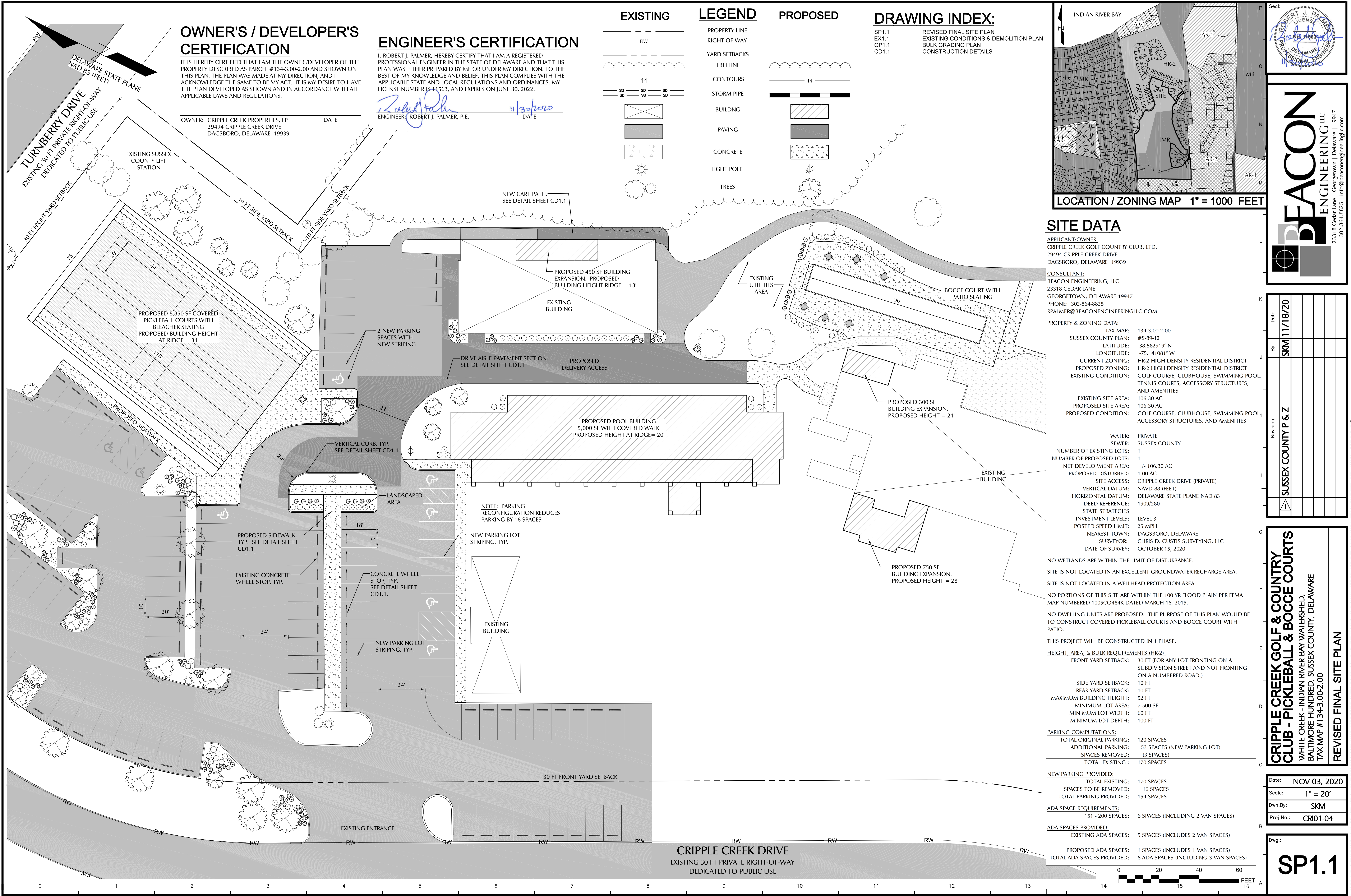
ARCHITECTS ENGINEERS SURVEYORS  
DAVIS, BOWEN & FRIEDEL, INC.  
SALISBURY, MARYLAND (410) 543-9000  
MILFORD, DELAWARE (302) 484-1441  
ESTON, MARYLAND (410) 770-7744

**PLOVER POINT**  
**OAK ORCHARD ROAD**  
**MILLSBORO, SUSSEX COUNTY, DELAWARE**

Revisions:  
2020-09-14: P&Z  
2020-10-29: P&Z COMMENTS

Date: JULY, 2020  
Scale: AS NOTED  
Dwn.By: TAJ  
Proj.No.: 0700C001  
Dwg.No.:

**PL-05**



### OWNER'S / DEVELOPER'S CERTIFICATION

IT IS HEREBY CERTIFIED THAT I AM THE OWNER / DEVELOPER OF THE PROPERTY DESCRIBED AS PARCEL #134-3.00-2.00 AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, AND I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN DEVELOPED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

OWNER: CRIPPLE CREEK PROPERTIES, LP  
29494 CRIPPLE CREEK DRIVE  
DAGSBORO, DELAWARE 19939

### ENGINEER'S CERTIFICATION

I, ROBERT J. PALMER, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THIS PLAN WAS EITHER PREPARED BY ME OR UNDER MY DIRECTION. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAN COMPLIES WITH THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. MY LICENSE NUMBER IS 44563, AND EXPIRES ON JUNE 30, 2022.

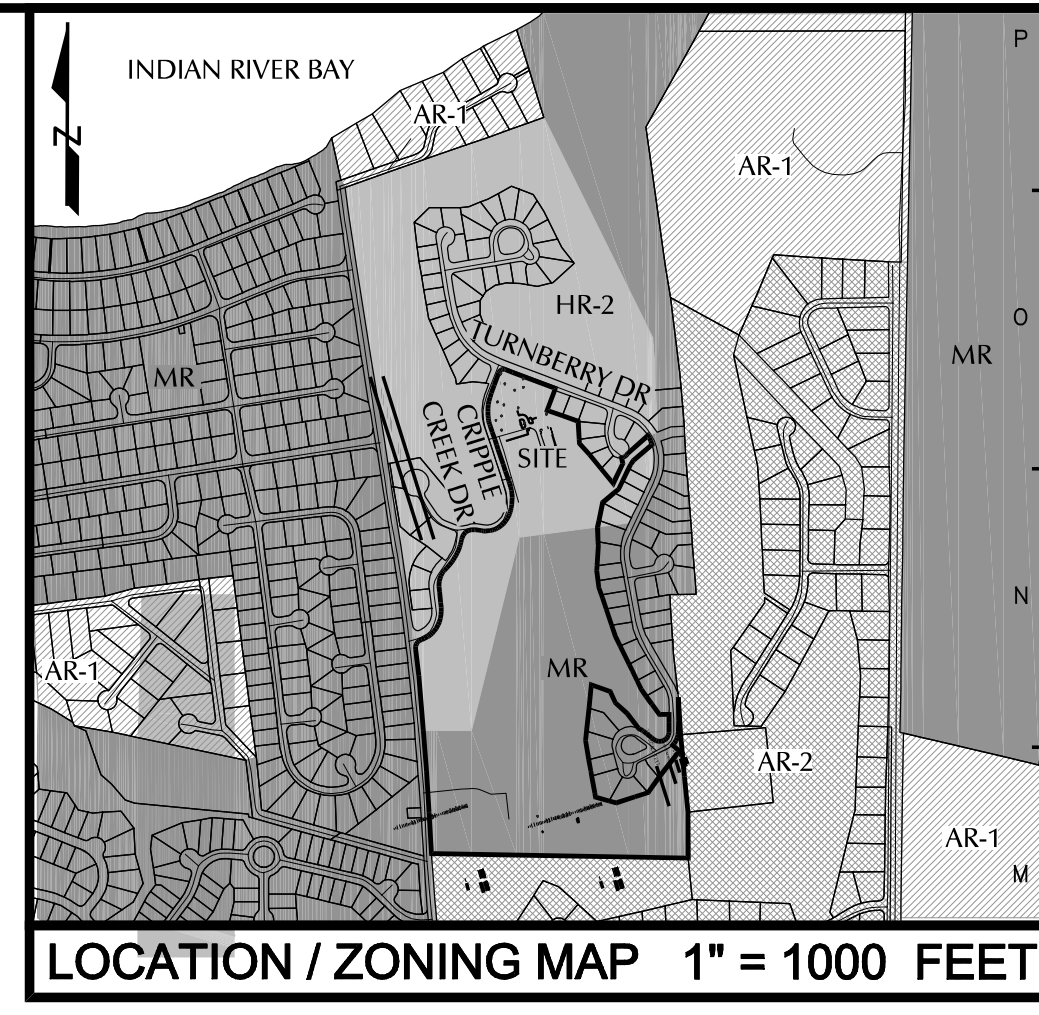
ENGINEER: ROBERT J. PALMER, P.E. DATE: 11/23/2020

#### EXISTING LEGEND PROPOSED

PROPERTY LINE	—	PROPERTY LINE	—
RIGHT OF WAY	---	RIGHT OF WAY	---
YARD SETBACKS	---	YARD SETBACKS	---
TREELINE	~~~~~	TREELINE	~~~~~
CONTOURS	---44---	CONTOURS	---44---
STORM PIPE	---S---	STORM PIPE	---S---
BUILDING	[Hatched Box]	BUILDING	[Hatched Box]
PAVING	[Dotted Box]	PAVING	[Dotted Box]
CONCRETE	[Stippled Box]	CONCRETE	[Stippled Box]
LIGHT POLE	[Sun Symbol]	LIGHT POLE	[Sun Symbol]
TREES	[Tree Symbol]	TREES	[Tree Symbol]

### DRAWING INDEX:

SP1.1 REVISED FINAL SITE PLAN  
EX1.1 EXISTING CONDITIONS & DEMOLITION PLAN  
GP1.1 BULK GRADING PLAN  
CD1.1 CONSTRUCTION DETAILS



### SITE DATA

**APPLICANT/OWNER:**  
CRIPPLE CREEK GOLF COUNTRY CLUB, LTD.  
29494 CRIPPLE CREEK DRIVE  
DAGSBORO, DELAWARE 19939

**CONSULTANT:**  
BEACON ENGINEERING, LLC  
23318 CEDAR LANE  
GEORGETOWN, DELAWARE 19947  
PHONE: 302-864-8825  
RJPALMER@BEACONENGINEERINGLLC.COM

**PROPERTY & ZONING DATA:**

TAX MAP:	134-3.00-2.00
SUSSEX COUNTY PLAN:	#5-89-12
LATITUDE:	38.582919° N
LONGITUDE:	-75.141081° W
CURRENT ZONING:	HR-2 HIGH DENSITY RESIDENTIAL DISTRICT
PROPOSED ZONING:	HR-2 HIGH DENSITY RESIDENTIAL DISTRICT
EXISTING CONDITION:	GOLF COURSE, CLUBHOUSE, SWIMMING POOL, TENNIS COURTS, ACCESSORY STRUCTURES, AND AMENITIES
EXISTING SITE AREA:	106.30 AC
PROPOSED SITE AREA:	106.30 AC
PROPOSED CONDITION:	GOLF COURSE, CLUBHOUSE, SWIMMING POOL, ACCESSORY STRUCTURES, AND AMENITIES

**WATER:** PRIVATE  
**SEWER:** SUSSEX COUNTY

**NUMBER OF EXISTING LOTS:** 1  
**NUMBER OF PROPOSED LOTS:** 1

**NET DEVELOPMENT AREA:** +/- 106.30 AC  
**PROPOSED DISTURBED:** 1.00 AC

**SITE ACCESS:** CRIPPLE CREEK DRIVE (PRIVATE)  
**VERTICAL DATUM:** NAVD 88 (FEET)  
**HORIZONTAL DATUM:** DELAWARE STATE PLANE NAD 83 1909/280

**STATE STRATEGIES:**  
**INVESTMENT LEVELS:** LEVEL 3  
**POSTED SPEED LIMIT:** 25 MPH  
**NEAREST TOWN:** DAGSBORO, DELAWARE  
**SURVEYOR:** CHRIS D. CLUSTIS SURVEYING, LLC  
**DATE OF SURVEY:** OCTOBER 15, 2020

NO WETLANDS ARE WITHIN THE LIMIT OF DISTURBANCE.  
SITE IS NOT LOCATED IN AN EXCELLENT GROUNDWATER RECHARGE AREA.  
SITE IS NOT LOCATED IN A WELLHEAD PROTECTION AREA

NO PORTIONS OF THIS SITE ARE WITHIN THE 100 YR FLOOD PLAIN PER FEMA MAP NUMBERED 1005CO484K DATED MARCH 16, 2015.

NO DWELLING UNITS ARE PROPOSED. THE PURPOSE OF THIS PLAN WOULD BE TO CONSTRUCT COVERED PICKLEBALL COURTS AND BOCCE COURT WITH PATIO.

THIS PROJECT WILL BE CONSTRUCTED IN 1 PHASE.

**HEIGHT, AREA, & BULK REQUIREMENTS (HR-2)**

FRONT YARD SETBACK:	30 FT (FOR ANY LOT FRONTING ON A SUBDIVISION STREET AND NOT FRONTING ON A NUMBERED ROAD.)
SIDE YARD SETBACK:	10 FT
REAR YARD SETBACK:	10 FT
MAXIMUM BUILDING HEIGHT:	52 FT
MINIMUM LOT AREA:	7,500 SF
MINIMUM LOT WIDTH:	60 FT
MINIMUM LOT DEPTH:	100 FT

**PARKING COMPUTATIONS:**

TOTAL ORIGINAL PARKING:	120 SPACES
ADDITIONAL PARKING:	53 SPACES (NEW PARKING LOT)
SPACES REMOVED:	(3 SPACES)
TOTAL EXISTING:	170 SPACES

**NEW PARKING PROVIDED:**

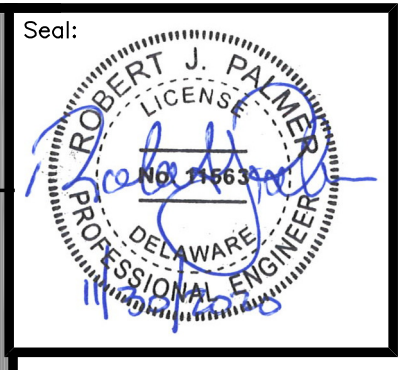
TOTAL EXISTING:	170 SPACES
SPACES TO BE REMOVED:	16 SPACES
TOTAL PARKING PROVIDED:	154 SPACES

**ADA SPACE REQUIREMENTS:**

151 - 200 SPACES:	6 SPACES (INCLUDING 2 VAN SPACES)
-------------------	-----------------------------------

**ADA SPACES PROVIDED:**

EXISTING ADA SPACES:	5 SPACES (INCLUDES 2 VAN SPACES)
PROPOSED ADA SPACES:	1 SPACES (INCLUDES 1 VAN SPACES)
TOTAL ADA SPACES PROVIDED:	6 ADA SPACES (INCLUDING 3 VAN SPACES)



## BEACON ENGINEERING LLC

23318 CEDAR LANE | Georgetown | Delaware | 19947  
302.864.8825 | info@beaconengineeringllc.com

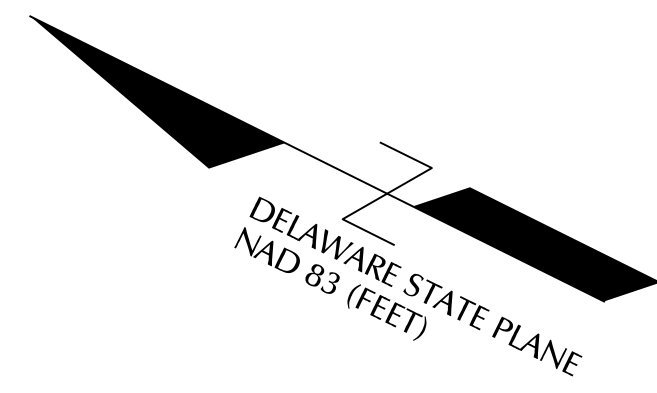
Date:	11/18/20
By:	SKM
Revision:	SUSSEX COUNTY P & Z

### CRIPPLE CREEK GOLF & COUNTRY CLUB - PICKLEBALL & BOCCE COURTS

WHITE CREEK - INDIAN RIVER BAY WATERSHED, BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE  
TAX MAP # 134-3.00-2.00

#### REVISED FINAL SITE PLAN

Date: NOV 03, 2020  
Scale: 1" = 20'  
Dwn.By: SKM  
Proj.No.: CR01-04  
Dwg.: SP1.1

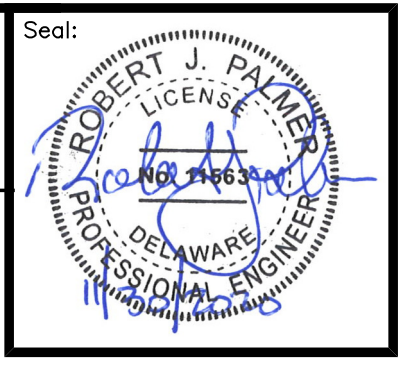
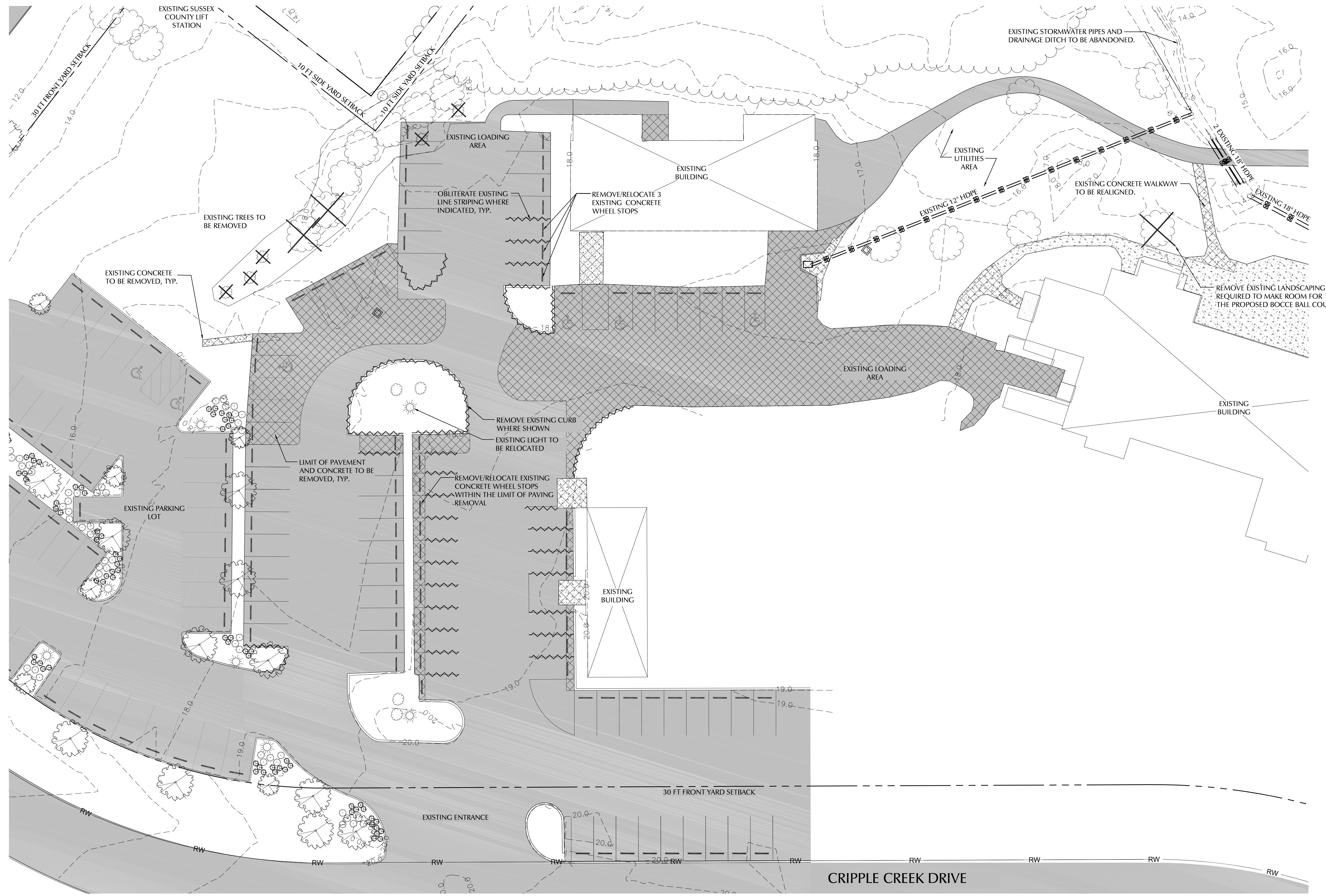


**EXISTING**

--- PROPERTY LINE  
 --- RW  
 --- TREELINE  
 --- 44 --- CONTOURS  
 --- STORM PIPE  
 [Symbol] BUILDING  
 [Symbol] PAVING  
 [Symbol] CONCRETE  
 [Symbol] TREES

**LEGEND**

PROPERTY LINE  
 RIGHT OF WAY  
 YARD SETBACKS  
 TREELINE  
 CONTOURS  
 STORM PIPE  
 BUILDING  
 PAVING  
 CONCRETE  
 TREES



**BEACON ENGINEERING LLC**  
 23319 Coastal Lane | Georgetown | Delaware | 19947  
 302.864.8825 | info@beaconengineeringllc.com

Date:	11/18/20
By:	SKM
Revision:	SUSSEX COUNTY P & Z

**CRIPPLE CREEK GOLF & COUNTRY CLUB - PICKLEBALL & BOCCIE COURTS**  
 WHITE CREEK - INDIAN RIVER BAY WATERSHED,  
 BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE  
 TAX MAP # 134-3.00-2.00

**EXISTING CONDITIONS AND DEMOLITION PLAN**

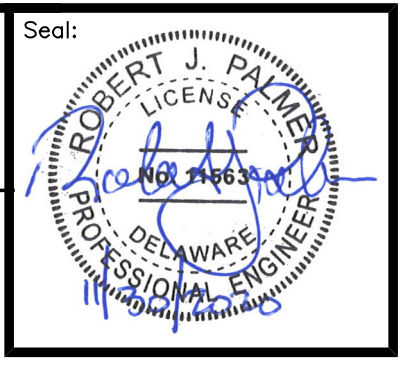
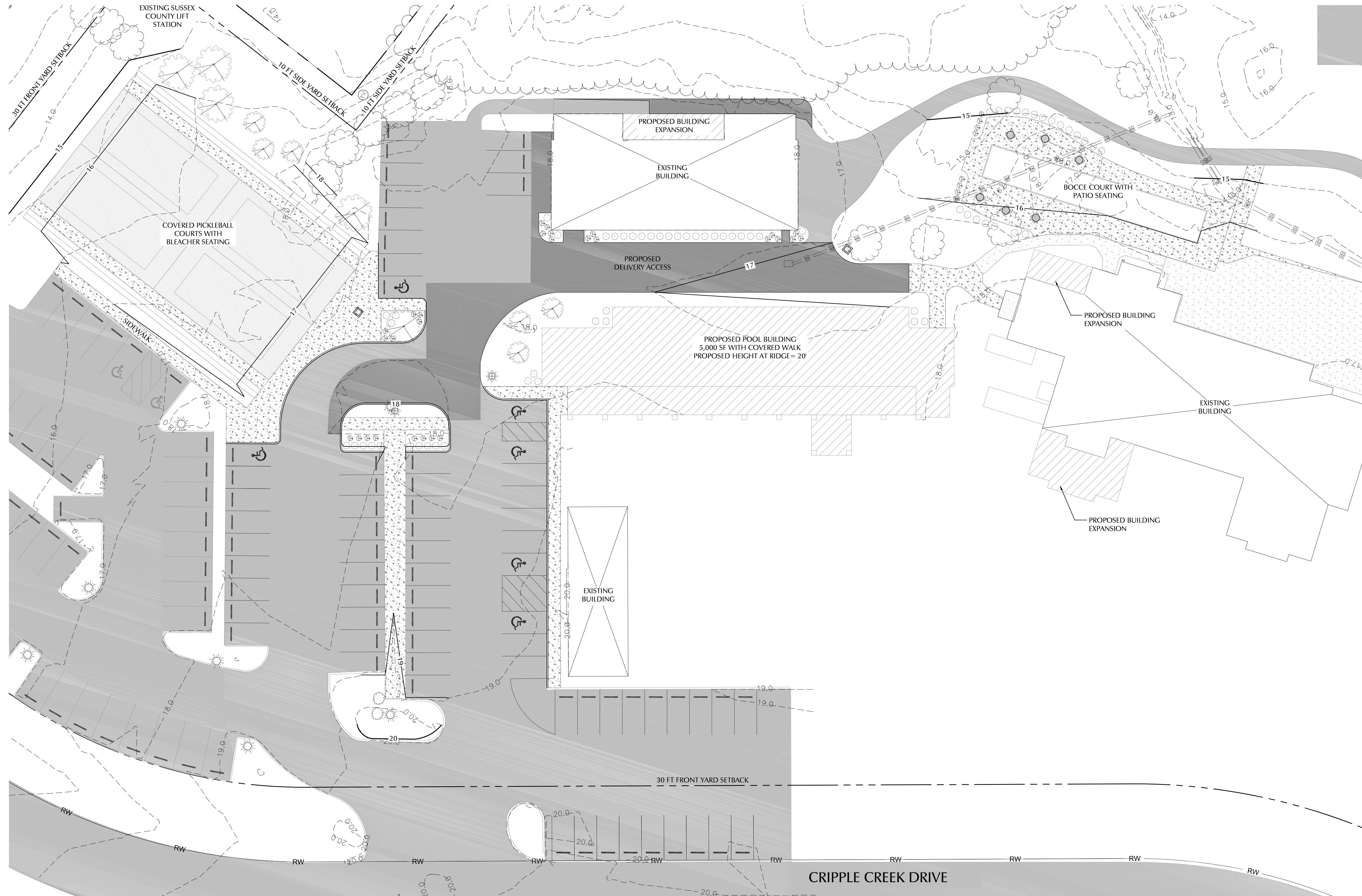
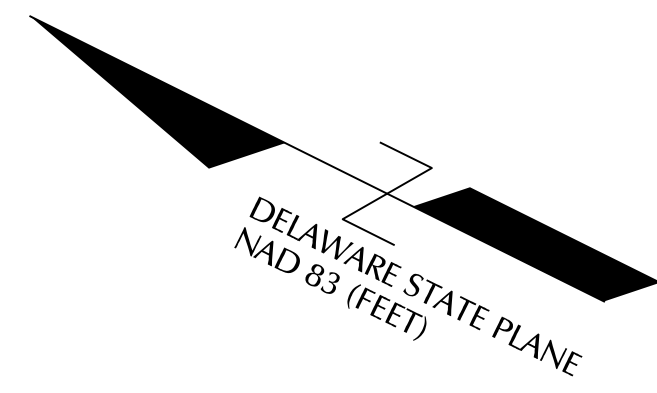
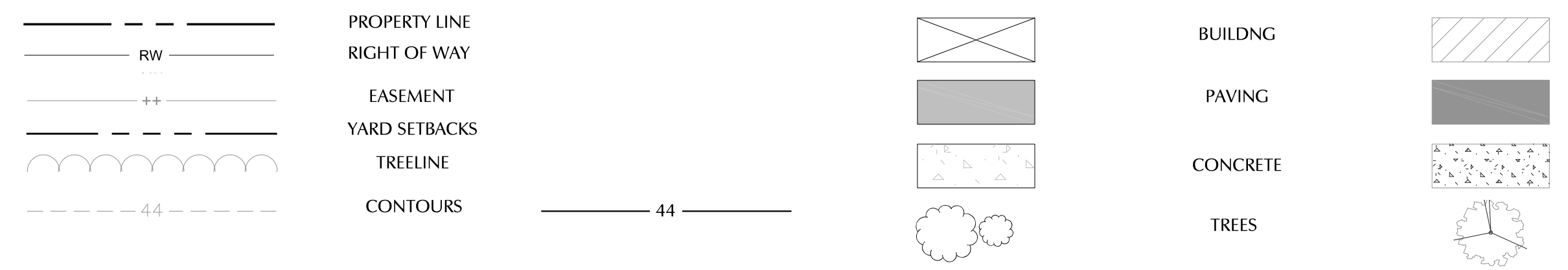
Date:	NOV 03, 2020
Scale:	1" = 20'
Dwn. By:	SKM
Proj. No.:	CR101-04

Dwg.: **EX1.1**



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**EXISTING LEGEND PROPOSED**



**BEACON ENGINEERING LLC**  
 23318 Coastal Lane | Georgetown | Delaware | 19947  
 302.864.8825 | info@beaconengineeringllc.com

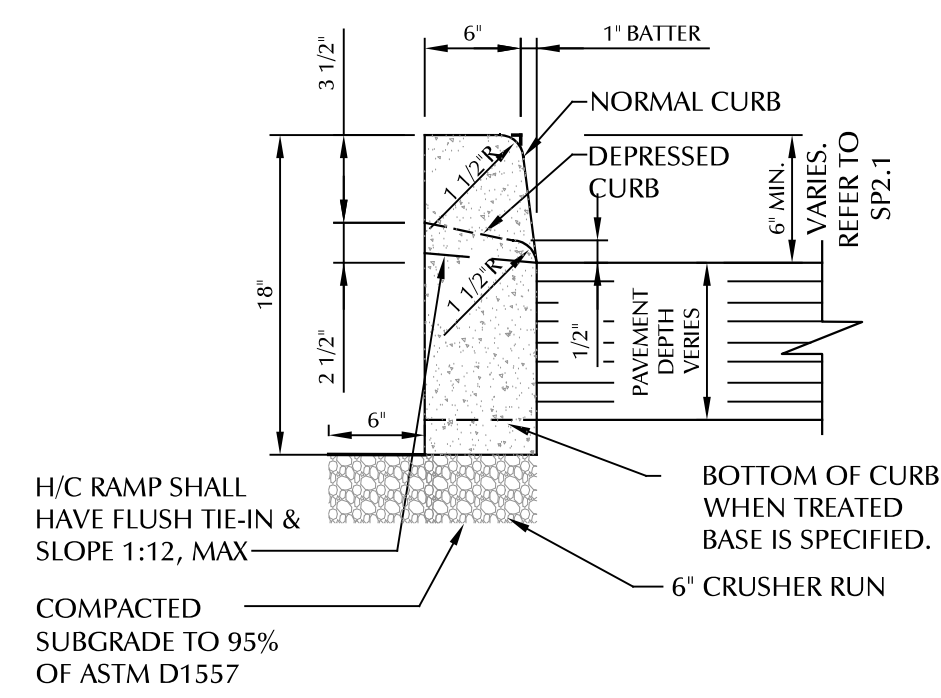
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By:	
Revision:	

**CRIPPLE CREEK GOLF & COUNTRY CLUB - PICKLEBALL & BOCCIE COURTS**  
 WHITE CREEK - INDIAN RIVER BAY WATERSHED,  
 BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE  
 TAX MAP # 134-3-00-2.00  
**BULK GRADING PLAN**

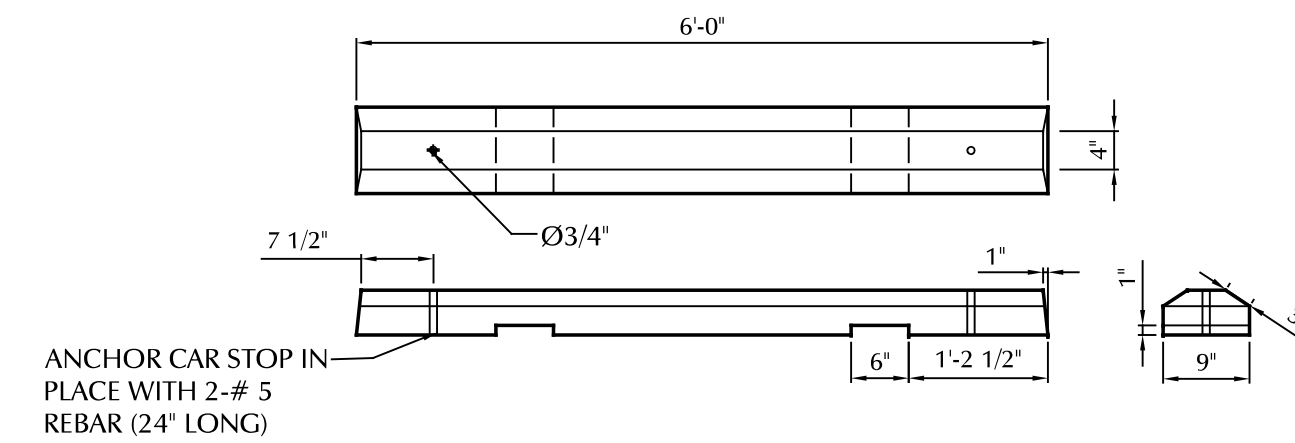
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Scale:	1" = 20'
Dwn.By:	SKM
Proj.No.:	CR101-04

Dwg.: **GP1.1**

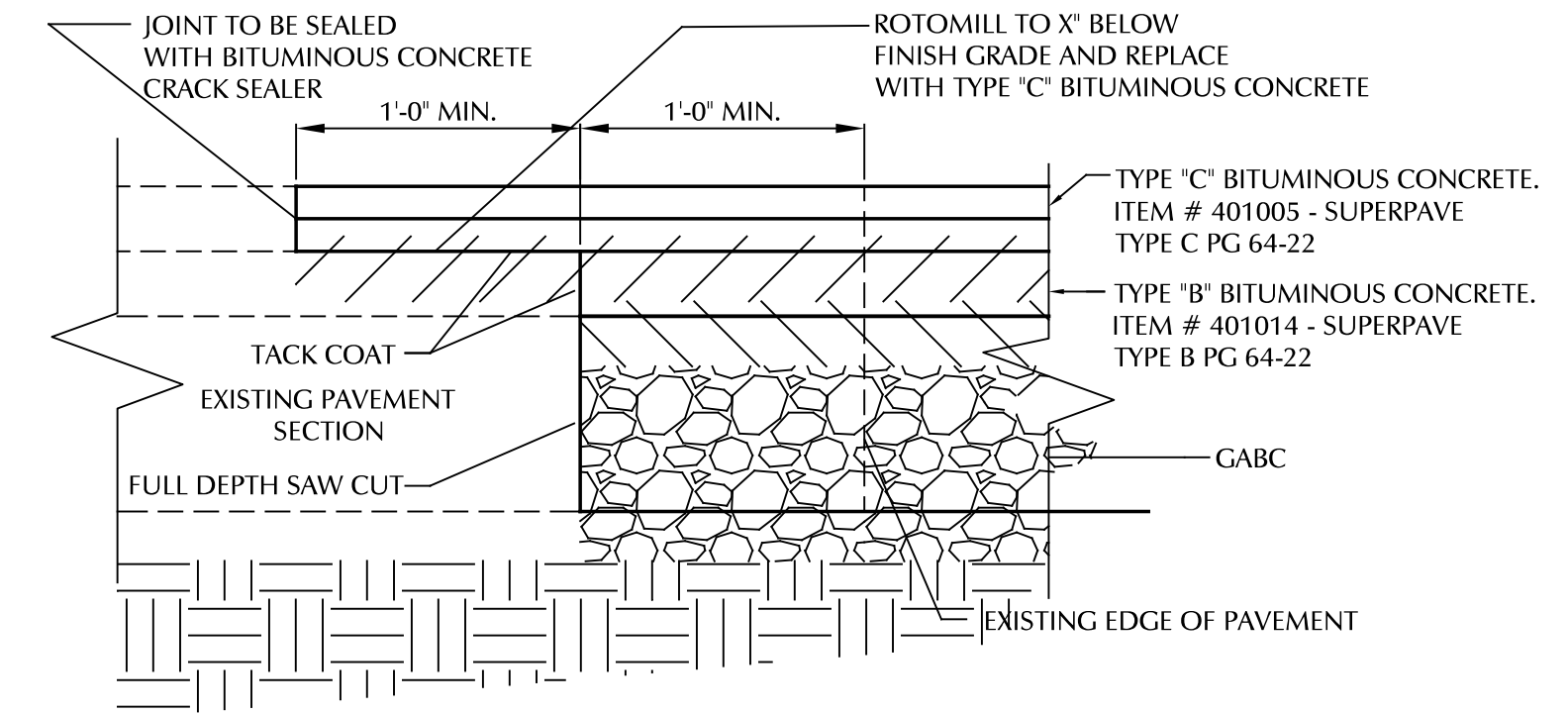




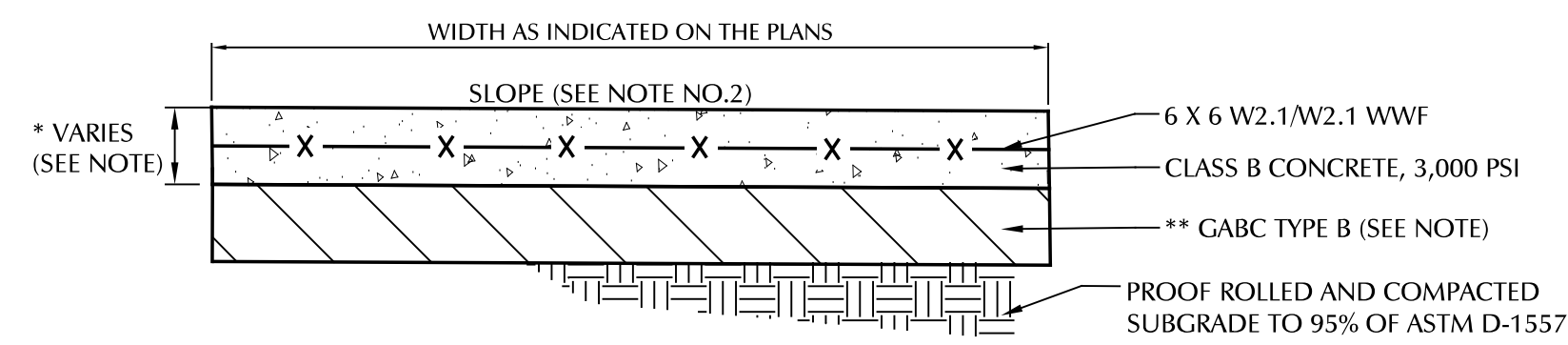
**VERTICAL CURB DETAIL**



**CONCRETE WHEEL STOP DETAIL**



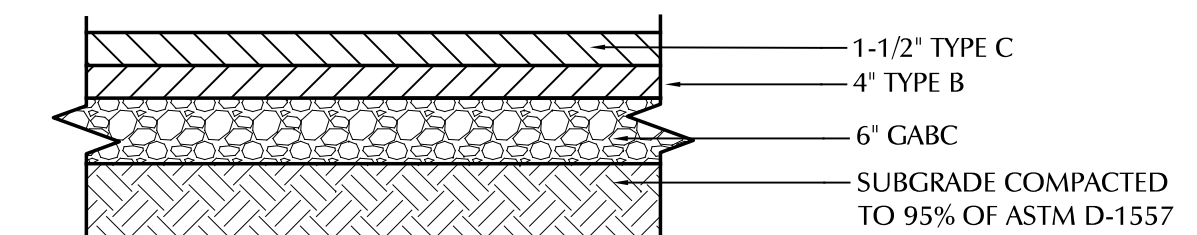
**TYPICAL PAVEMENT TIE-IN DETAIL**



\*-STANDARD SIDEWALK SHALL BE 5" THICK. FOR DEPRESSED AND TRANSITION AREA, THE SIDEWALK SHALL BE 6" THICK.  
 \*\*-STANDARD SIDEWALK OF 5" THICKNESS SHALL BE PLACED OVER 4" GABC-TYPE B. SIDEWALK FOR DEPRESSED AND TRANSITION AREAS OF 6" THICKNESS SHALL BE PLACED OVER 6" GABC-TYPE B.

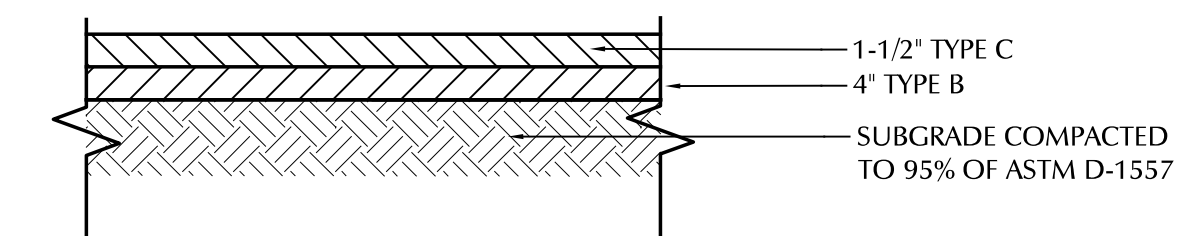
- NOTES:  
 1. MARK IN 5' SQUARES, USE CORK EXPANSION JOINTS AT INTERVALS NOT GREATER THEN 20'.  
 2. SIDEWALK TO BE CONSTRUCTED AT GRADES INDICATED. SLOPE OF SIDEWALK SHALL PROVIDE POSITIVE DRAINAGE WITH A 2% MAX/1% MIN. CROSS SLOPE.

**SIDEWALK DETAIL**



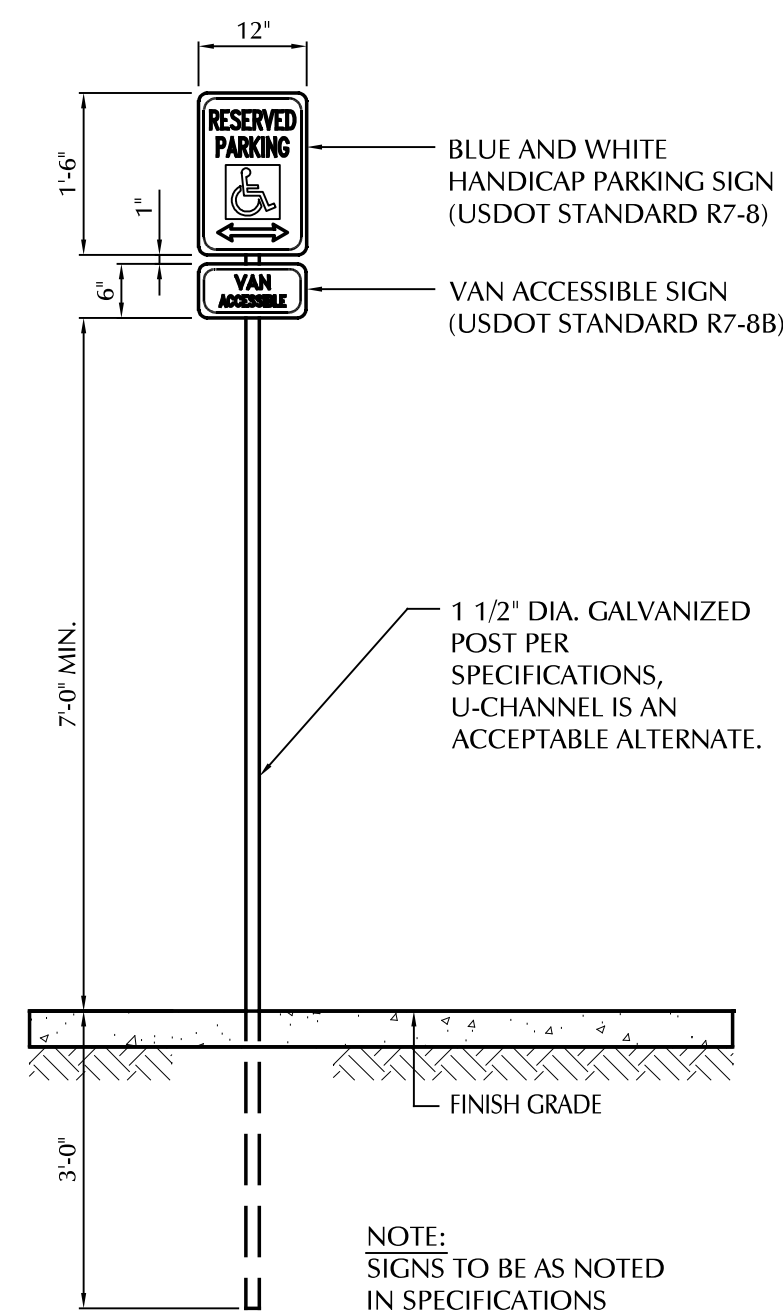
STRUCTURAL NUMBER = 1.5(0.4)+4(0.4)+6(0.14)=3.04

**DRIVE AISLE PAVEMENT SECTION**

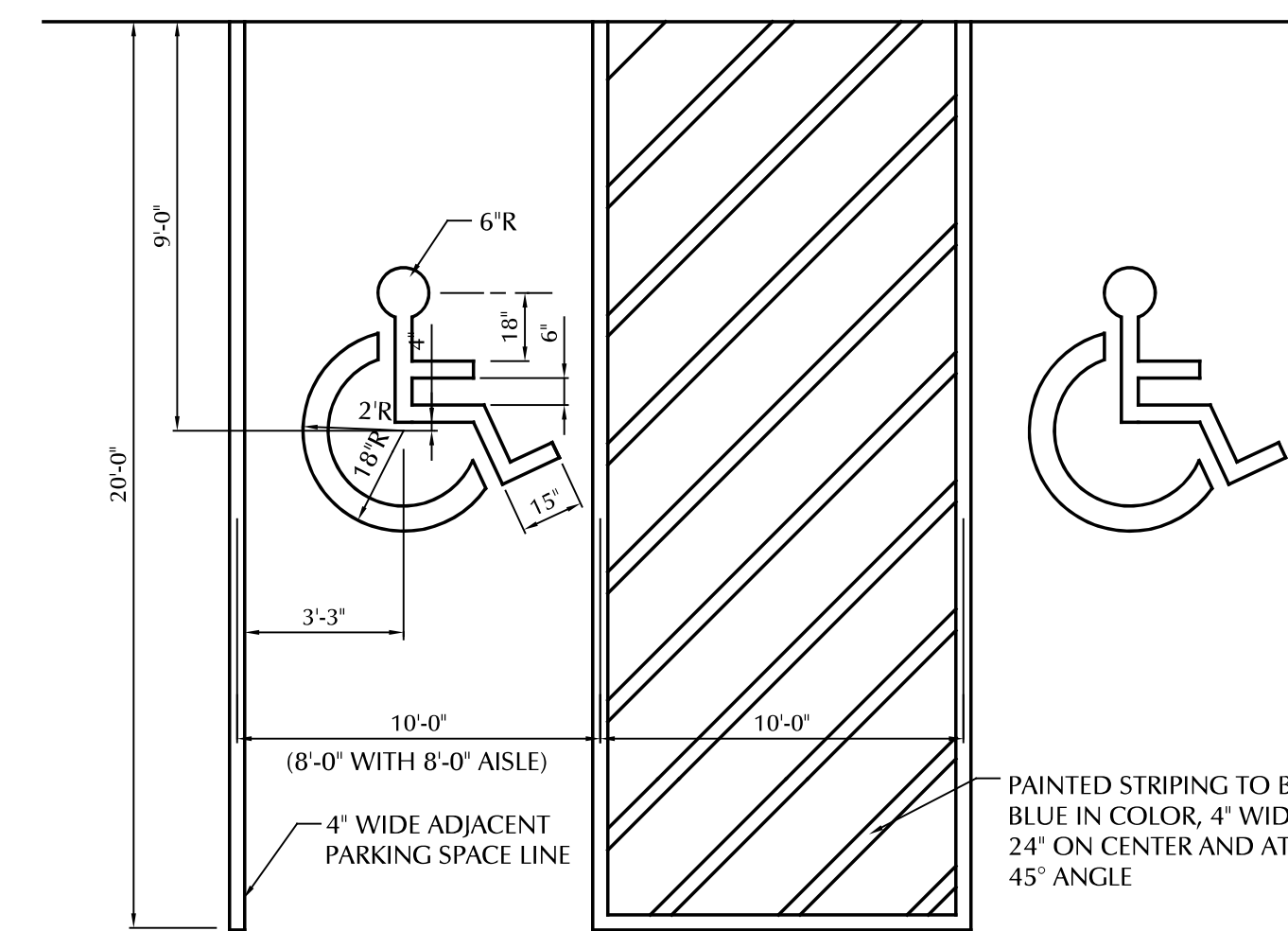


STRUCTURAL NUMBER = 1.5(0.4)+4(0.4)=2.2

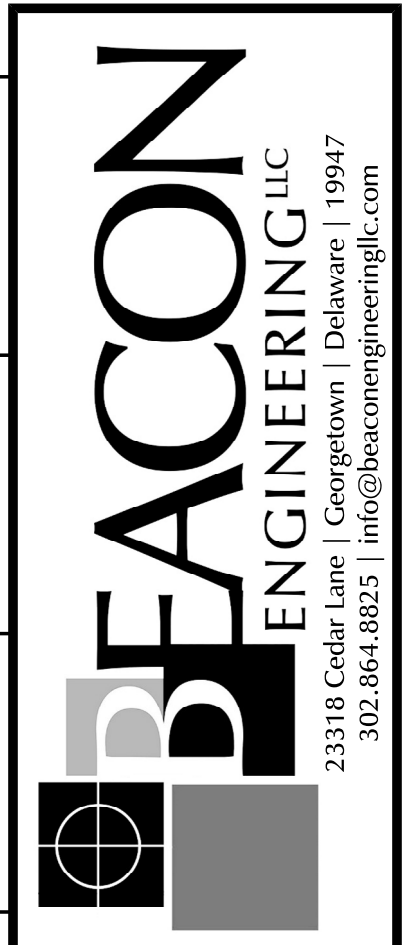
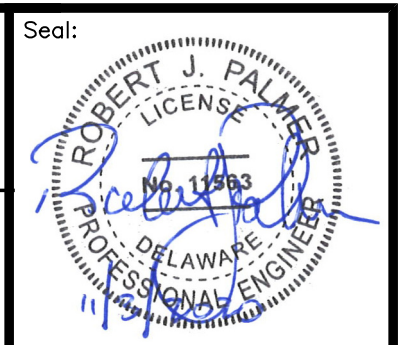
**PARKING SPACE PAVEMENT SECTION**



**PARKING SIGN DETAIL**



**HANDICAP PARKING DETAIL**



Date:	
By:	
Revision:	

**CRIPPLE CREEK GOLF & COUNTRY CLUB - PICKLEBALL & BOCCIE COURTS**  
 WHITE CREEK - INDIAN RIVER BAY WATERSHED,  
 BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE  
 TAX MAP # 134-3.00-2.00  
**CONSTRUCTION DETAILS**

Date: NOV 03, 2020  
 Scale: NO SCALE  
 Dwn.By: SKM  
 Proj.No.: CR101-04

Dwg.: **CD1.1**

November 25, 2020

Sussex County Administrative Building  
Planning & Zoning Commission  
2 The Circle, P.O. Box 417  
Georgetown, DE 19947

Attn: Nick Torrance  
Planner I

Re: **Seaglass** (fka Herola Property) – CU2199  
TM # 334-12.00-127.01  
DBF # 0818S001.J01

*Michael R. Wigley, AIA, LEED AP  
W. Zachary Crouch, P.E.  
Michael E. Wheedleton, AIA, LEED GA  
Jason P. Loar, P.E.  
Ring W. Lardner, P.E.  
Jamie L. Sechler, P.E.*

Dear Mr. Torrance,

On behalf of our client, OA Rehoboth, LLC, we are respectfully requesting a waiver to allow parking within the front setback for the parcel referenced above. This irregular shaped parcel, zoned CR-1, was assigned a 30 foot front setback along a reserved right-of-way dedication for the future Airport Road Extension. Adjacent to the reserved right-of-way, we are proposing 74 parking spaces that are included with the total required parking for the project. The 74 parking spaces are located within the 30 foot setback, and we are requesting a waiver to allow parking within this setback.

Should you have any questions or need additional information, please contact me at (302) 424-1441 or via e-mail at [kjk@dbfinc.com](mailto:kjk@dbfinc.com).

Sincerely,  
DAVIS, BOWEN AND FRIEDEL, INC.



Karl J. Kreppin  
Designer

Enclosures

P:\Ocean Atlantic\0818C032 Herola Property\DOCS\P&Z\2020-11-25\_P&Z Comment Response\Seaglass\_P&Z Front Setback Parking Waiver\_2020-11-25.docx

cc: Ben Gordy

# SEAGLASS

## MULTI-FAMILY COMMUNITY

(f.k.a. HEROLA PROPERTY)

### LEWES & REHOBOTH HUNDRED

### SUSSEX COUNTY, DELAWARE

DBF # 0818C032

## PRELIMINARY PLAN (S-20-39)

AUGUST, 2019

SHEET INDEX	
PRELIMINARY - TITLE SHEET	PL-01
PRELIMINARY - OVERVIEW	PL-02
PRELIMINARY - SITE PLAN	PL-03 TO PL-06

### GENERAL NOTES

- BOUNDARY AND EXISTING CONDITIONS SURVEY HAS BEEN PREPARED BY DAVIS, BOWEN, & FRIEDEL, INC.
- EXISTING UTILITIES AREA SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THROUGH TEST PITTING, THE LOCATIONS, SIZE, AND INVERT ELEVATIONS OF ALL UNDERGROUND UTILITIES AS REQUIRED TO GIVE TIMELY ADVANCE NOTICE TO ENGINEERS OF ANY CONFLICT BETWEEN EXISTING AND NEW WORK.
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY (1-800-282-8555) AND SUSSEX COUNTY 72 HOURS PRIOR TO EXCAVATION TO HAVE UNDERGROUND UTILITIES MARKED. THE CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL REPAIR OR REPLACE IN KIND ANY EXISTING FEATURES DAMAGED OR DESTROYED DURING CONSTRUCTION.
- ALL BACKFILLED AND DISTURBED AREAS TO BE SEED AND MULCHED WITH 4" OF TOPSOIL TO BE PLACED IN FILL AREAS.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY STAKE OUT OF LINE AND GRADE.
- ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT, LATEST EDITION, AND ALL RULES AND REGULATIONS THERETO.
- THE CONTRACTOR SHALL KEEP EXISTING UTILITIES IN OPERATION DURING CONSTRUCTION.
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF ALL PERMITS SECURED, WHICH TAKE PRECEDENCE OVER SPECIFICATIONS.
- THE CONTRACTOR SHALL EXERCISE EXTREME CARE AND CAUTION AND TAKE MEASURES NECESSARY TO PROTECT TREES DURING CONSTRUCTION ACTIVITY.
- THE CONTRACTOR IS RESPONSIBLE FOR SECURING AND PROTECTION UTILITY POLES BEFORE AND DURING CONSTRUCTION ACTIVITIES.
- ANY DISTURBED AREAS OUTSIDE THE RIGHT-OF-WAY SHALL BE RESTORED TO THEIR ORIGINAL CONDITION IMMEDIATELY.
- MAINTENANCE OF THE STREETS WITHIN THIS SUBDIVISION WILL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS WITHIN THE SUBDIVISION, OR BOTH. THE STATE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE INTERIOR STREET DESIGN SHALL INCLUDE STREET LIGHTING AND SIDEWALKS.
- INTERIOR STREET LIGHTING SHALL BE ARRANGED AND INSTALLED TO MINIMIZE GLARE ON NEIGHBORING PROPERTIES.
- ALL SIGNALS, ENTRANCES, INTERSECTIONS, ROADWAY IMPROVEMENTS AND MULTI-MODAL FACILITIES SHALL BE CONSTRUCTED AS REQUIRED BY DELDOT.
- NO SITE PREPARATION, SITE DISTURBANCE, SITE EXCAVATION OR OTHER SITE CONSTRUCTION SHALL BE COMMENCED UNTIL ALL PERMITS REQUIRED BY ALL OTHER LAWS, ORDINANCES, RULES AND REGULATIONS SHALL HAVE BEEN ISSUED AND THE APPROVED FINAL SITE PLAN IS RECORDED, EXCEPT SUCH SITE WORK FOR WHICH A PERMIT HAS BEEN ISSUED BY THE SUSSEX CONSERVATION DISTRICT.

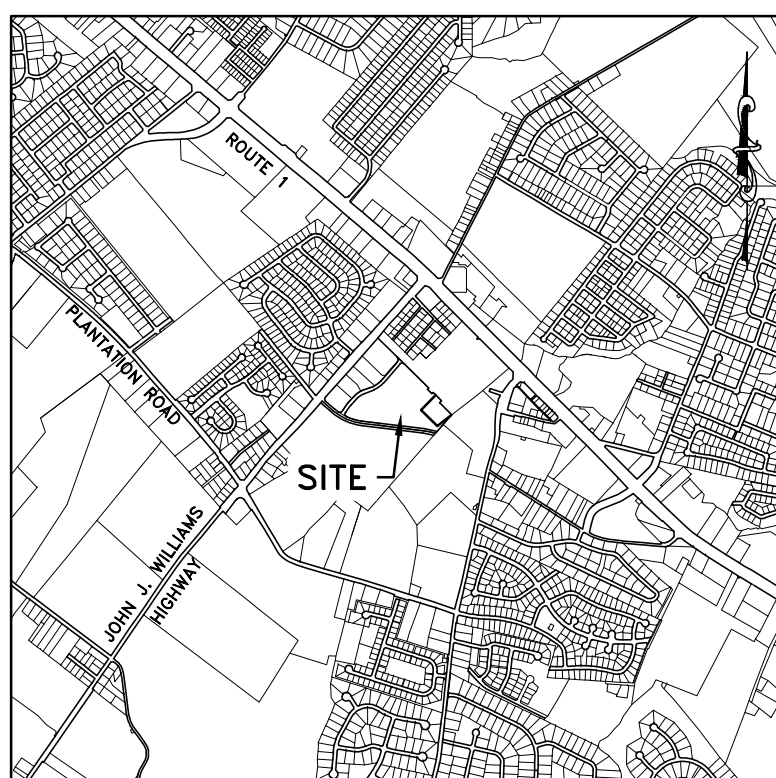
### CONDITIONAL USE (CU 2199)

### CONDITIONS OF APPROVAL:

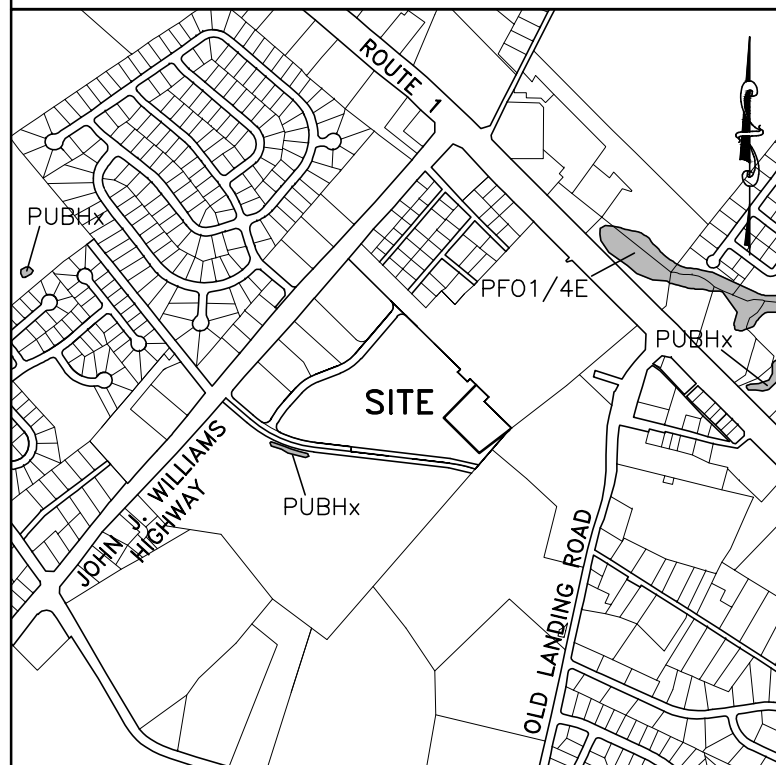
- The maximum number of residential apartment units shall not exceed 224 units located in no more than 7 buildings.
- All entrances, interconnections, roadways, and multi-modal improvements required by DelDOT shall be completed in accordance with DelDOT's requirements.
- The Applicant shall dedicate land and contribute to the cost of a DelDOT planned connector road from Route 24 to Old Landing Road.
- The development shall be served as part of a Sussex County Sanitary District. The developer shall comply with all requirements and specifications of the County Engineering Department.
- The development shall be served by central water.
- Stormwater management and erosion and sedimentation control facilities shall be constructed in accordance with all applicable State and County requirements. These facilities shall be operated in a manner which is consistent with Best Management Practices.
- Recreational amenities, including a community clubhouse, outdoor swimming pool, playground, and enclosed dog park shall be completed prior to the issuance of a Certificate of Occupancy for the third multi-family building.
- Road naming and addressing shall be subject to the review and approval of the Sussex County Mapping and Addressing Departments.
- If required by the school district, the location for a school bus shelter shall be coordinated with the local school district's transportation manager. The location of the bus stop shelter shall be shown on the Final Site Plan.
- No outdoor construction activities or deliveries of dirt, fill, or similar material shall occur at the site except between the hours of 7:30 am through 7:30 p.m. Monday through Friday and between 8:00 am through 5:00 pm on Saturdays. There shall be no construction, site work, grading, or deliveries at the site on Sundays.
- The design of interior drives shall meet or exceed Sussex County road design standards and requirements.
- The use shall comply with all Sussex County parking requirements.
- One lighted entrance sign, not to exceed 32 square feet per side, shall be permitted.
- Space in the community clubhouse or in 1 unit shall be permitted as an on-site management office.
- The Applicant or its assigns shall be responsible for the maintenance of interior drives, parking areas, buildings, buffers, stormwater management, recreational amenities, and all open space.
- A revised Preliminary Site Plan either depicting or noting these conditions must be submitted to the Sussex County Office of Planning and Zoning. The Staff shall approve the Revised Preliminary Site Plan upon confirmation that the Conditions of Approval have been depicted or noted on it.
- The Final Site Plan shall contain the approval of the Sussex Conservation District for the design and location of all stormwater management areas and erosion and sedimentation control facilities.
- The Final Site Plan shall include a landscape plan for all buffer areas showing all the landscaping and vegetation to be included in the buffer areas.
- The Final Site Plan shall be subject to the review and approval of the Planning & Zoning Commission.

### LEGEND

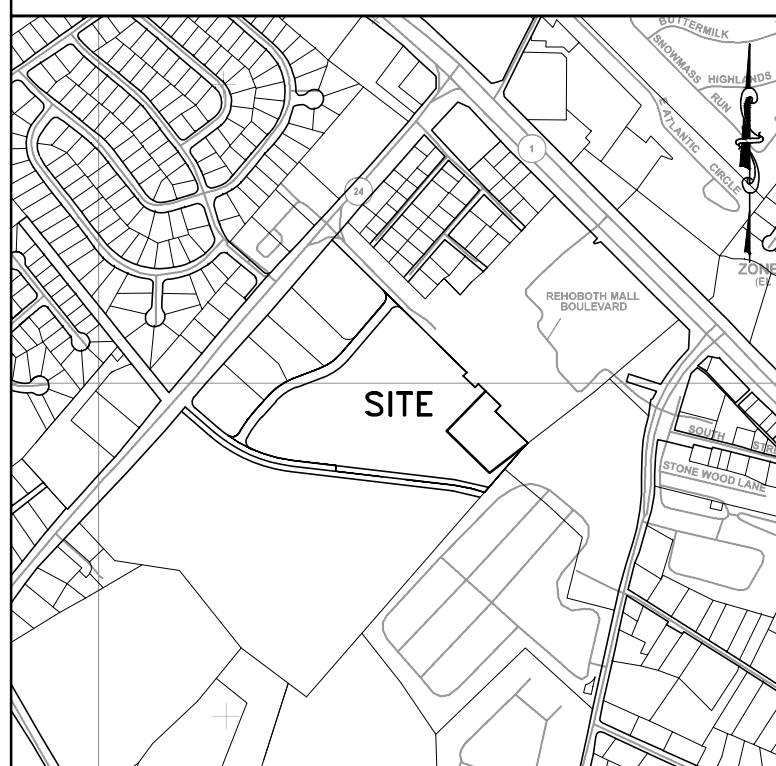
EXISTING	PROPOSED
BOUNDARY LINE	RIGHT-OF-WAY / BOUNDARY LINE
ADJACENT PROPERTY OWNER	PROPERTY LINE
EASEMENT	EASEMENT
CONTOUR ELEVATION AND LABEL	CONTOUR ELEVATION AND LABEL
CATCH BASIN, STORM PIPE, STORM MANHOLE	CATCH BASIN, STORM PIPE & STORM MANHOLE
SANITARY SEWER MANHOLE, PIPE, FLOW ARROW, PIPE SIZE	MANHOLE, PIPE, FLOW ARROW, PIPE SIZE
SANITARY SEWER CLEANOUT	SANITARY SEWER LATERAL
WATER MAIN, W/ VALVES	WATER MAIN, TEE W/ VALVES, PIPE SIZE
FIRE HYDRANT ASSEMBLY	FIRE HYDRANT ASSEMBLY
STREET LIGHT	STREET LIGHT
TELEPHONE	SIGN
SIGN	FENCE
TREE	SWALE
TREE LINE	TREE LINE
PAVEMENT	PAVEMENT
SIDEWALK	SIDEWALK
BUILDING	BUILDING
	WALKING TRAIL



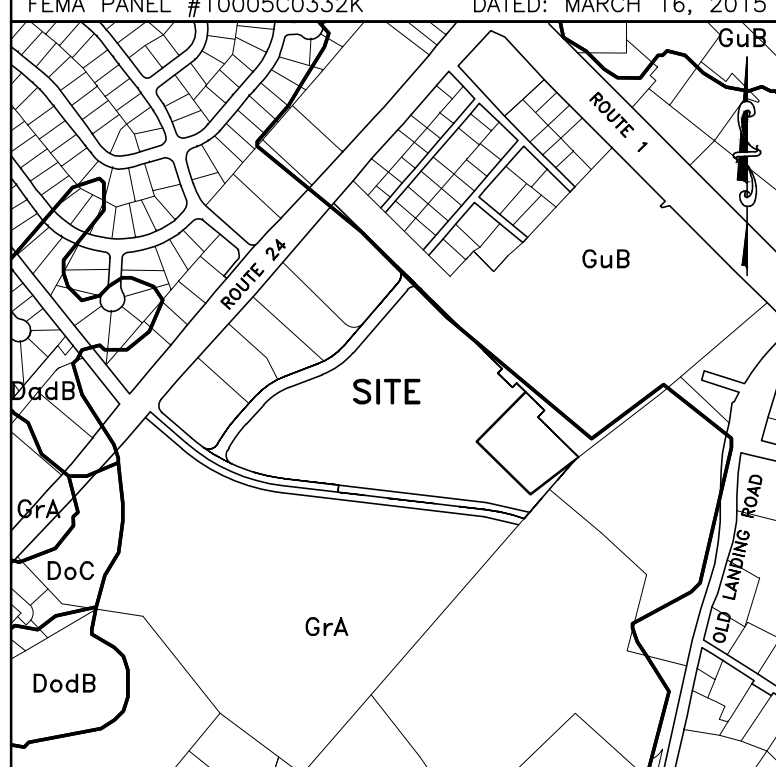
LOCATION MAP SCALE: 1" = 1/2 MILE



NWI WETLANDS SCALE: 1" = 1200'



FLOODPLAIN MAP SCALE: 1" = 1000'



SOILS MAP SCALE: 1" = 800'

### DATA COLUMN

PARCEL ID: 334-12.00-127.01 & 127.10  
 DATUM: NAVD 88  
 VERTICAL: NAD 83 (DE STATE PLANE)  
 HORIZONTAL:  
 LAND USE: VACANT/AGRICULTURE  
 EXISTING: 224 MULTI-FAMILY UNITS WITH CLUBHOUSE  
 PROPOSED:  
 DENSITY: 12 UNITS PER ACRE  
 MAXIMUM: 224 UNITS/18,759 AC. = 11.94 UNITS PER ACRE  
 PROPOSED:  
 ZONING: CR-1 (COMMERCIAL RESIDENTIAL DISTRICT)  
 EXISTING: CR-1 (COMMERCIAL RESIDENTIAL DISTRICT)  
 PROPOSED:

MINIMUM REQUIREMENTS  
 FRONT SETBACK: 30 FT.  
 SIDE SETBACK: 10 FT.  
 REAR SETBACK: 10 FT.  
 BUILDING SEPARATION: 40 FT.  
 PARKING: 224 UNITS x 2/UNIT = 448 SPACES (BEFORE REDUCTION)  
 PARKING REDUCTION: 1-50 UNITS 100 @ 100 SPACES  
 51-200 UNITS 300 REDUCED @ 15% TO 255 SPACES  
 201-224 UNITS 48 REDUCED @ 20% TO 39 SPACES REQUIRED 394 SPACES

MAXIMUM REQUIREMENTS  
 BUILDING HEIGHT: 42 FT.  
 PROPOSED BUILDING HEIGHT: 42 FT. (4 STORIES)  
 PARKING: 394 SPACES INCLUDING 18 HANDICAPPED ACCESSIBLE

AREAS  
 EXISTING SITE  
 PARCEL - 127.01 17,438 AC.  
 PARCEL - 127.10 1,321 AC.  
 TOTAL SITE AREA 18,759 AC.  
 PUBLIC CONNECTOR ROAD R.O.W. DEDICATION 0.605 AC.  
 PROPOSED SITE  
 PARCEL - A 12,183 AC. (INCLUDES 2.0 AC LAND LEASE EASEMENT)  
 RESIDUAL LANDS 4,289 AC.  
 R.O.W. DEDICATION 0.994 AC.  
 PARCEL - 127.10 1,283 AC.  
 TOTAL SITE AREA 18,759 AC.

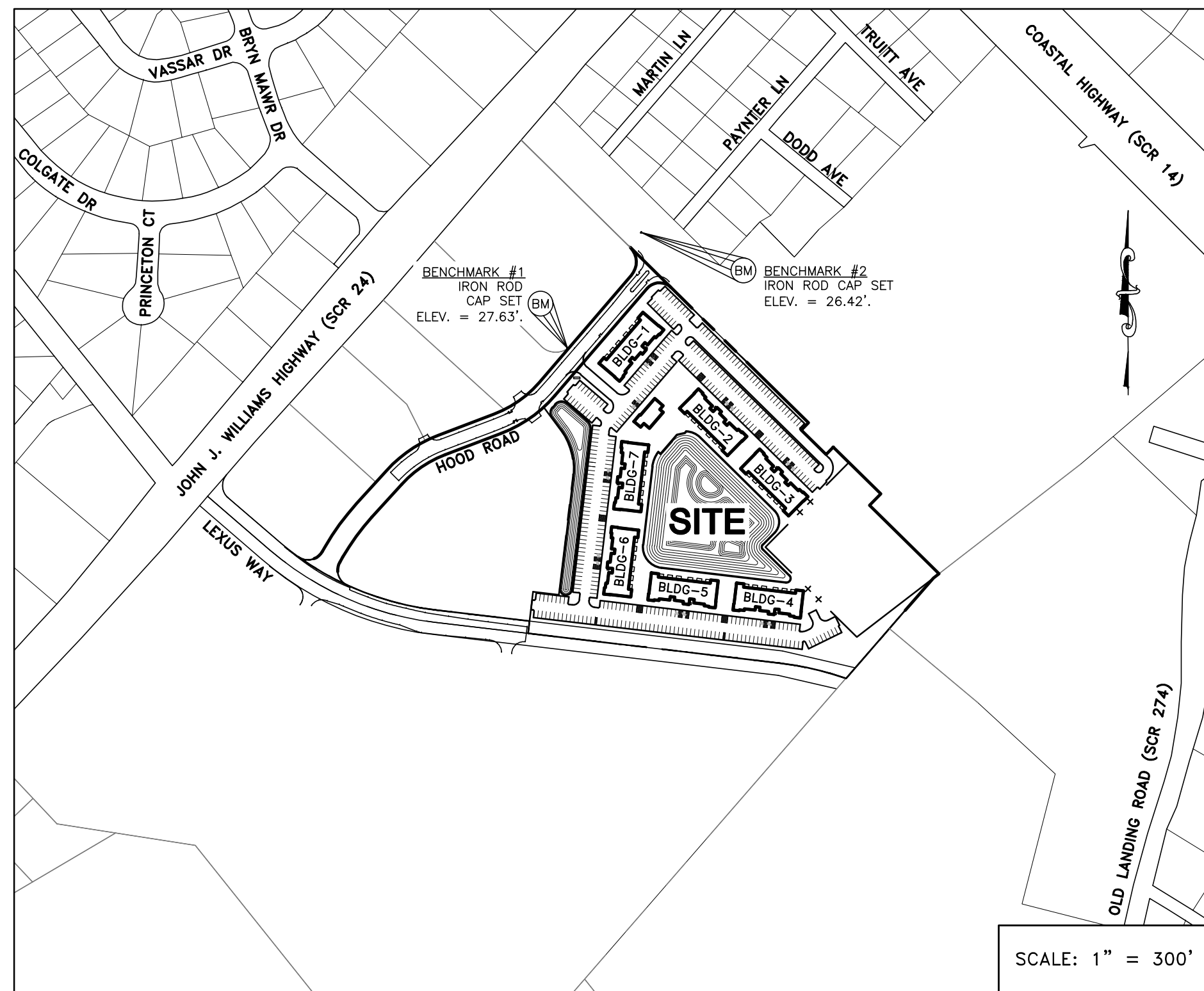
NET DEVELOPMENT AREA: 18,759 AC.  
 UTILITIES  
 SEWER: PUBLIC (SUSSEX COUNTY, WEST REHOBOTH SOUTH PLANNING AREA)  
 WATER: PUBLIC (TIDEWATER UTILITIES, INC.)  
 IMPERVIOUS COVERAGE: 6,316 ACRES/16,482 ACRES (WITHOUT R.O.W.) = 38%

PROPOSED BUILDING CONSTRUCTION: WOOD CONSTRUCTION  
 FLOODPLAIN: THIS PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA MAP 10005C0332K, DATED MARCH 16, 2015  
 WETLANDS: DO NOT EXIST ON SITE  
 STATE STRATEGIES MAP: LEVEL 2 (2015)  
 TRANSPORTATION IMPROVEMENT DISTRICT (TID): HENLOPEN TID (UNDER DEVELOPMENT FOR THIS AREA)  
 THIS PROPERTY IS LOCATED 416± TO THE EAST OF THE INTERSECTION OF JOHN J. WILLIAMS HWY. (SCR 024) AND LEXUS WAY.  
 POSTED SPEED LIMIT: HOOD ROAD 25 M.P.H.

OWNER:  
 HEROLA FAMILY, LLC.  
 4015 164th STREET  
 SUITE 106  
 LYNNWOOD, WA 98087

DEVELOPER:  
 OA REHOBOTH, LLC.  
 18949 COASTAL HIGHWAY  
 REHOBOTH BEACH, DE 19971  
 (302) 227-3573

ENGINEER:  
 DAVIS, BOWEN & FRIEDEL, INC.  
 W. ZACHARY CROUCH, P.E.  
 1 PARK AVENUE  
 MILFORD, DE 19963  
 (302) 424-1441



SCALE: 1" = 300'

### OWNER'S STATEMENT

WE, HEROLA FAMILY, LLC, HEREBY CERTIFY THAT WE ARE THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 TITLE \_\_\_\_\_

### ENGINEER'S STATEMENT

I, W. ZACHARY CROUCH, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVIS, BOWEN & FRIEDEL, INC.  
 by W. ZACHARY CROUCH, P.E. DATE \_\_\_\_\_

**dbf** DAVIS, BOWEN & FRIEDEL, INC.  
 ARCHITECTS, ENGINEERS & SURVEYORS

SALISBURY, MARYLAND (410) 543-0991  
 MILFORD, DELAWARE (302) 424-1441  
 EASTON, MARYLAND (410) 770-4744

REVISED:  
 2020-10-07: P&Z, CONDITIONS OF APPROVAL  
 2020-11-25: P&Z COMMENTS

**PL-01**



SHEET PL-03

SHEET PL-04

SHEET PL-05

SHEET PL-06

N/F  
DOUBLE J PROPERTIES  
334-12.00-127.03  
DEED: 2638/266  
ZONING: C-1

N/F  
HOOD FAMILY, LLC.  
334-12.00-127.00  
DEED: 2631/187  
ZONING: C-1

N/F  
HEROLA FAMILY, LLC.  
334-12.00-127.09  
DEED: 2894/281  
ZONING: CR-1

N/F  
HEROLA FAMILY, LLC.  
334-12.00-127.08  
DEED: 2894/281  
ZONING: CR-1

N/F  
HEROLA FAMILY, LLC.  
334-12.00-127.07  
DEED: 2894/281  
ZONING: CR-1

N/F  
ARTISANS BANK  
334-12.00-127.06  
DEED: 4638/271  
ZONING: CR-1

N/F  
HEROLA FAMILY, L.L.C.  
334-12.00-127.10  
DEED: 2894/281  
ZONING: CR-1

N/F  
TOWNSEND J.G. JR. CO.  
334-12.00-123.01  
DEED: 2402/244  
ZONING: CR-1

N/F  
BEEBE MEDICAL CENTER, INC.  
334-12.00-57.00  
DEED: 2477/292  
ZONING: AR-1

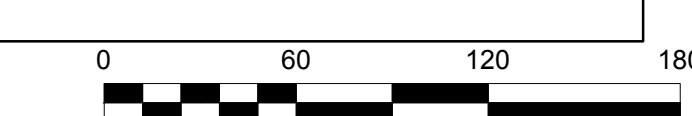
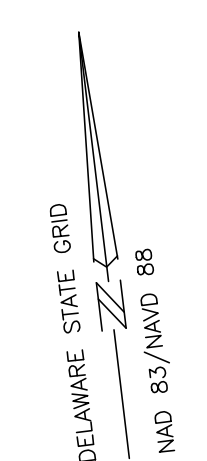
N/F  
OLD LANDING ROAD, INC.  
(STERLING CROSSING)  
334-12.00-123.02  
PLOT BOOK: 64 PAGE:282  
ZONING: AR-1

**CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	40.00	65.99	58.75	N 87°19'04" E	94°31'08"
C2	750.00	165.01	164.68	N 76°57'01" W	12°36'22"
C3	720.00	225.24	224.33	N 74°17'28" W	17°55'27"
C4	720.00	137.91	137.70	N 69°50'30" W	10°58'30"
C5	39.96	40.39	38.70	S 83°17'36" E	57°54'51"
C6	40.10	26.30	25.83	N 48°57'53" E	37°34'11"
C7	625.00	131.20	130.96	N 36°07'35" E	12°01'39"
C8	325.00	193.49	192.07	N 55°40'13" E	27°03'36"
C9	275.00	136.92	135.51	N 54°56'11" E	28°31'37"
C10	50.00	74.01	67.44	S 01°43'41" E	84°48'44"
C11	325.00	161.74	160.08	S 54°56'23" W	28°30'50"
C12	275.00	129.81	128.61	S 55°40'26" W	27°02'47"
C13	575.00	120.65	120.43	S 36°07'17" W	12°01'19"
C14	40.00	24.66	24.27	S 12°40'17" W	35°19'41"
C15	40.00	42.17	40.25	S 33°11'48" E	60°24'30"
C16	792.00	65.66	65.64	S 61°02'55" E	4°45'00"
C17	792.00	158.33	158.07	S 69°09'03" E	11°27'16"
C18	230.00	79.81	79.41	N 73°47'58" E	13°52'51"
C19	157.00	119.07	116.24	N 14°58'49" W	43°27'14"
C20	325.00	39.26	39.23	S 44°08'35" W	6°55'15"

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	S 44°31'26" W	25.00
L2	N 44°31'26" E	25.00
L3	S 44°31'26" W	39.00
L4	S 62°53'08" W	117.29
L5	N 06°44'48" E	30.00
L6	N 30°08'46" E	13.69
L7	S 30°08'19" W	113.67



DAVIS, BOWEN & FRIEDEL, INC.  
ARCHITECTS ENGINEERS SURVEYORS  
SUSSEX COUNTY, DELAWARE  
EASTON, MARYLAND  
(302) 432-8888  
(302) 432-1441  
(410) 770-4744

**SEAGLASS  
LEWES AND REHOBOTH HUNDRED  
SUSSEX COUNTY, DELAWARE**

REVISIONS:  
2020-10-07: P&Z, CONDITIONS OF APPROVAL  
2020-11-25: P&Z COMMENTS

Date: **OCTOBER, 2019**  
Scale: **1" = 60'**  
Dwn.By: **JWJ, KJK**  
Proj.No.: **0818C032**  
Dwg.No.:

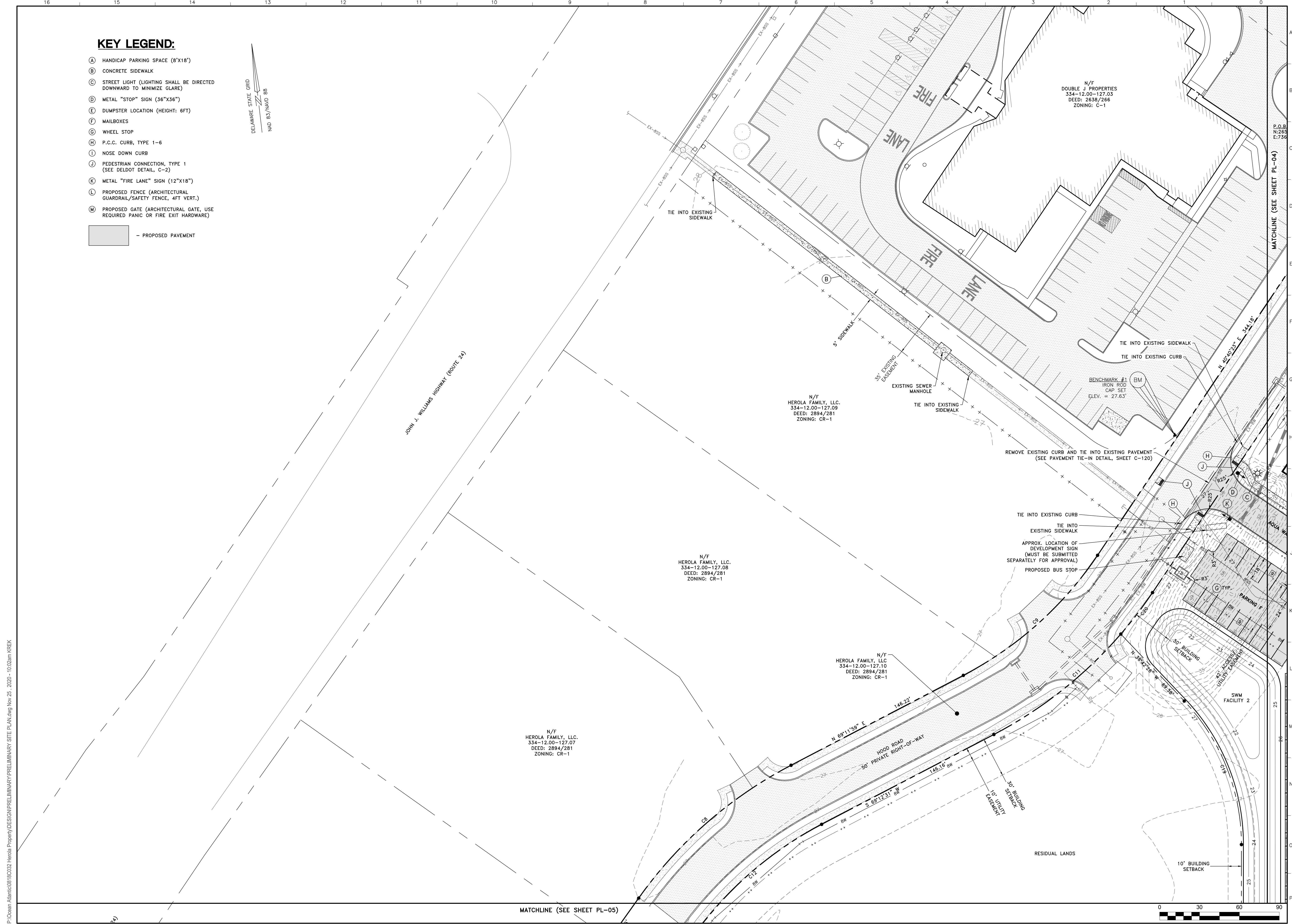
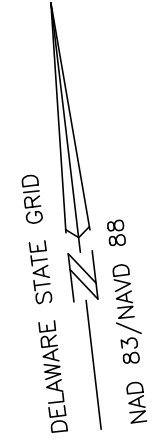
**PL-02**

P:\Ocean Atlantic\0818C032 Herola Property\DESIGN\PRELIMINARY\PRELIMINARY SITE PLAN.dwg Nov 25, 2020 - 10:00am KREK

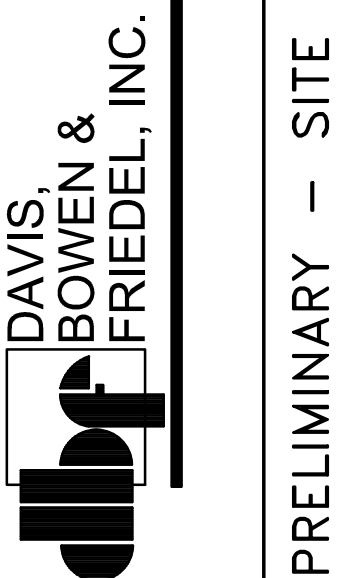
**KEY LEGEND:**

- (A) HANDICAP PARKING SPACE (8'X18')
- (B) CONCRETE SIDEWALK
- (C) STREET LIGHT (LIGHTING SHALL BE DIRECTED DOWNWARD TO MINIMIZE GLARE)
- (D) METAL "STOP" SIGN (36"X36")
- (E) DUMPSTER LOCATION (HEIGHT: 6FT)
- (F) MAILBOXES
- (G) WHEEL STOP
- (H) P.C.C. CURB, TYPE 1-6
- (I) NOSE DOWN CURB
- (J) PEDESTRIAN CONNECTION, TYPE 1 (SEE DELDOT DETAIL, C-2)
- (K) METAL "FIRE LANE" SIGN (12"X18")
- (L) PROPOSED FENCE (ARCHITECTURAL GUARDRAIL/SAFETY FENCE, 4FT VERT.)
- (M) PROPOSED GATE (ARCHITECTURAL GATE, USE REQUIRED PANIC OR FIRE EXIT HARDWARE)

— PROPOSED PAVEMENT



ARCHITECTS ENGINEERS SURVEYORS  
 DAVIS, BOWEN & FRIEDEL, INC.  
 1000 MARKET STREET  
 WILMINGTON, DELAWARE 19801  
 TEL: 302-426-1441  
 FAX: 302-426-1442  
 EASTON, MARYLAND  
 TEL: 410-770-4744



PRELIMINARY - SITE PLAN

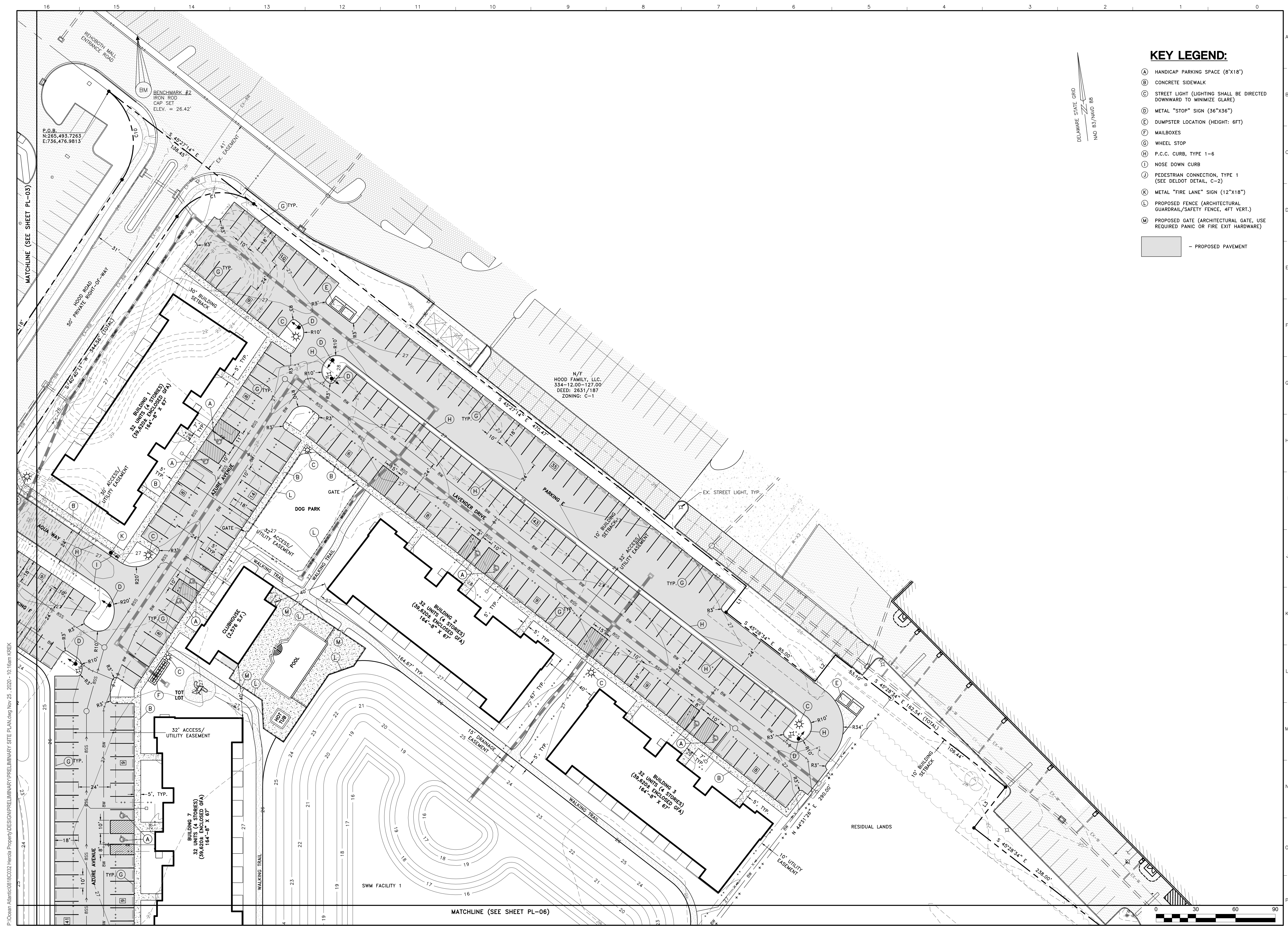
**SEAGLASS  
 LEWES AND REHOBOTH HUNDRED  
 SUSSEX COUNTY, DELAWARE**

REVISED:  
 2020-10-07: P&Z, CONDITIONS OF APPROVAL  
 2020-11-25: P&Z COMMENTS

Date: **OCTOBER, 2019**  
 Scale: **1" = 30'**  
 Dwn. By: **JWJ, KJK**  
 Proj. No.: **0818C032**  
 Dwg. No.:

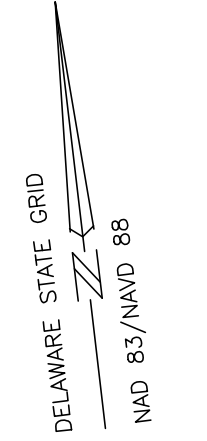
**PL-03**

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**KEY LEGEND:**

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  - (D) METAL "STOP" SIGN (36"X36")
  - (E) DUMPSTER LOCATION (HEIGHT: 6FT)
  - (F) MAILBOXES
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  - (H) P.C.C. CURB, TYPE 1-6
  - (I) NOSE DOWN CURB
  - (J) PEDESTRIAN CONNECTION, TYPE 1 (SEE DELDOT DETAIL, C-2)
  - (K) METAL "FIRE LANE" SIGN (12"X18")
  - (L) PROPOSED FENCE (ARCHITECTURAL GUARDRAIL/SAFETY FENCE, 4FT VERT.)
  - (M) PROPOSED GATE (ARCHITECTURAL GATE, USE REQUIRED PANIC OR FIRE EXIT HARDWARE)
- PROPOSED PAVEMENT



**DAVIS, BOWEN & FRIEDEL, INC.**  
 ARCHITECTS ENGINEERS SURVEYORS  
 1000 MARKET STREET, SUITE 200  
 WILMINGTON, DELAWARE 19801  
 (302) 424-1441  
 (302) 424-1441  
 (410) 770-4744

PRELIMINARY - SITE PLAN

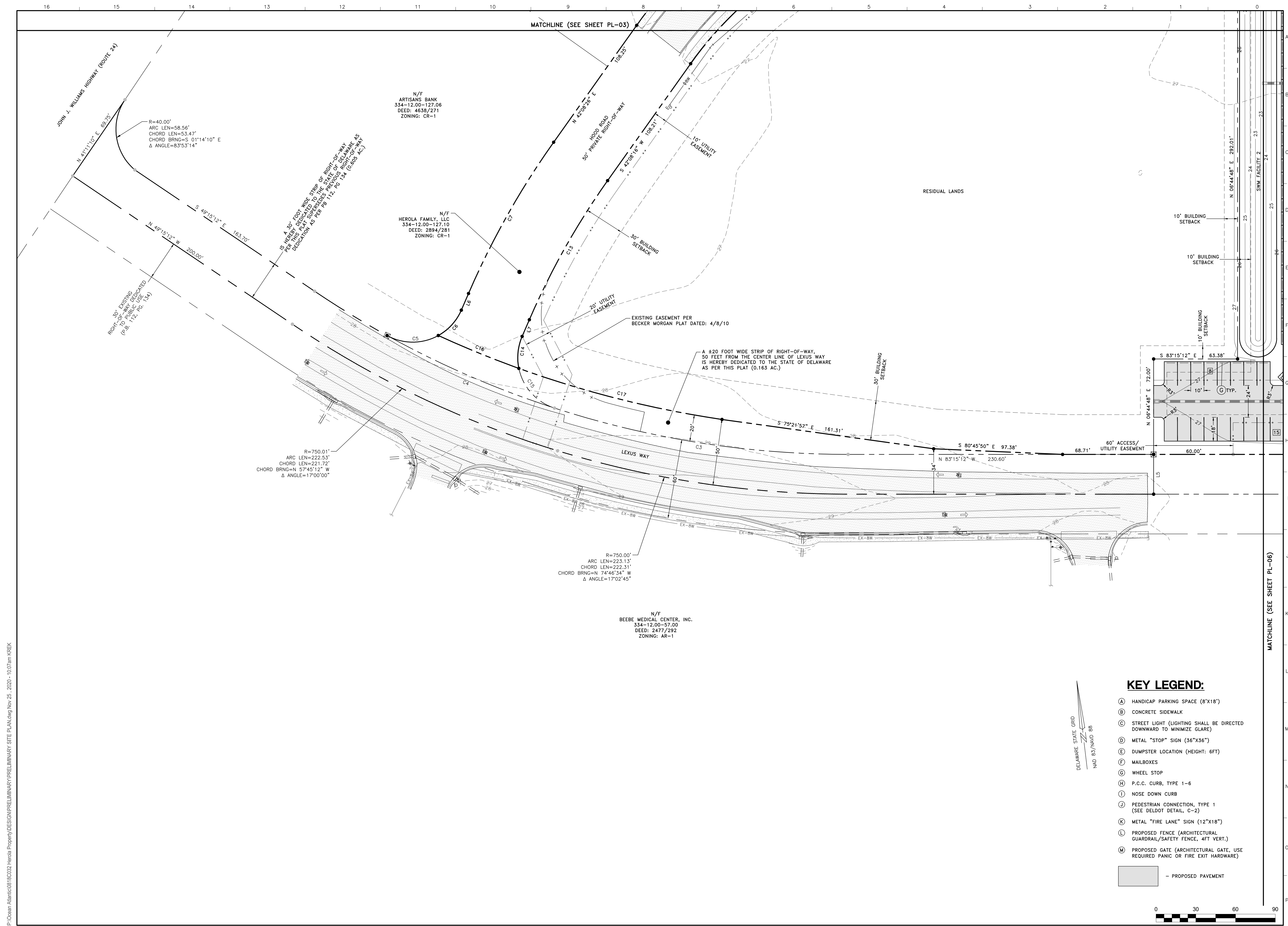
**SEAGLASS**  
**LEWES AND REHOBOTH HUNDRED**  
**SUSSEX COUNTY, DELAWARE**

REVISIONS:  
 2020-10-07: P&Z, CONDITIONS OF APPROVAL  
 2020-11-25: P&Z COMMENTS

Date: **OCTOBER, 2019**  
 Scale: **1" = 30'**  
 Dwn.By: **JWJ, KJK**  
 Proj.No.: **0818C032**  
 Dwg.No.:

**PL-04**

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**DAVIS, BOWEN & FRIEDEL, INC.**  
 ARCHITECTS ENGINEERS SURVEYORS  
 1000 W. MARKET ST., SUITE 200  
 MILFORD, DELAWARE 19967  
 (302) 424-1441  
 EASTON, MARYLAND (410) 770-4744

**SEAGLASS**  
**LEWES AND REHOBOTH HUNDRED**  
**SUSSEX COUNTY, DELAWARE**

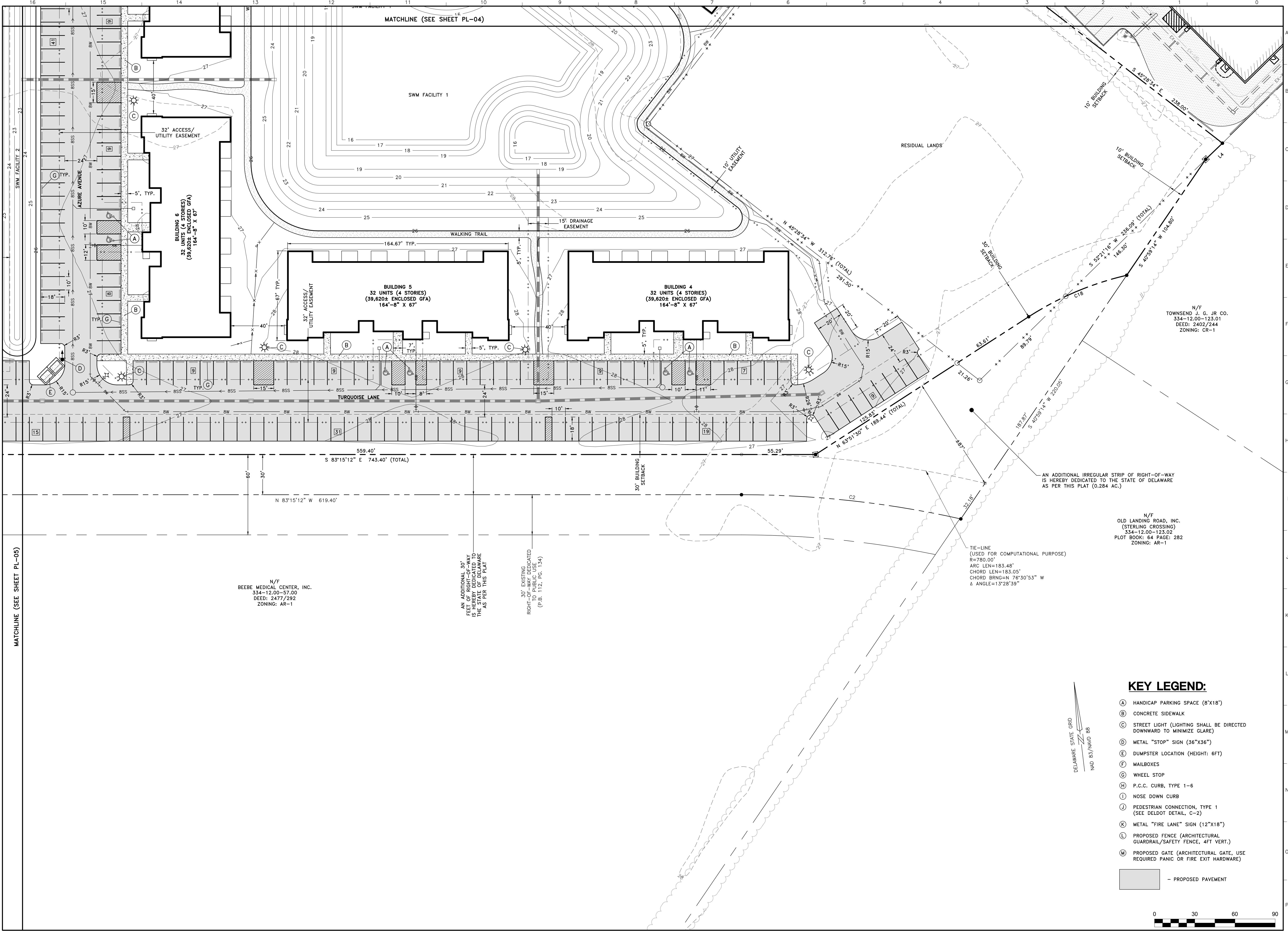
REVISIONS:  
 2020-10-07: P&Z, CONDITIONS OF APPROVAL  
 2020-11-25: P&Z COMMENTS

Date: **OCTOBER, 2019**  
 Scale: **1" = 30'**  
 Dwn.By: **JMJ, KJK**  
 Proj.No.: **0818C032**  
 Dwg.No.:

**PL-05**

PRELIMINARY - SITE PLAN

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MATCHLINE (SEE SHEET PL-05)

MATCHLINE (SEE SHEET PL-04)

N/F  
BEEBE MEDICAL CENTER, INC.  
334-12.00-57.00  
DEED: 2477/292  
ZONING: AR-1

AN ADDITIONAL 30'  
RIGHT-OF-WAY STRIP  
IS HEREBY DEDICATED TO  
THE STATE OF DELAWARE  
AS PER THIS PLAT

30' EXISTING  
RIGHT-OF-WAY STRIP  
TO PUBLIC USE  
(P.B. 112, PG. 134)

TIE-LINE  
(USED FOR COMPUTATIONAL PURPOSE)  
R=780.00'  
ARC LEN=183.48'  
CHORD LEN=183.05'  
CHORD BRNG=N 76°30'53" W  
Δ ANGLE=13°28'39"

AN ADDITIONAL IRREGULAR STRIP OF RIGHT-OF-WAY  
IS HEREBY DEDICATED TO THE STATE OF DELAWARE  
AS PER THIS PLAT (0.284 AC.)

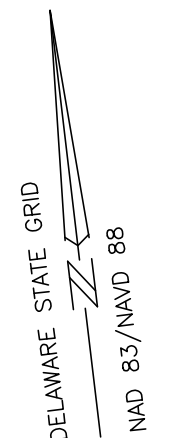
N/F  
OLD LANDING ROAD, INC.  
(STERLING CROSSING)  
334-12.00-123.02  
PLOT BOOK: 64 PAGE: 282  
ZONING: AR-1

N/F  
TOWNSEND J. G. JR. CO.  
334-12.00-123.01  
DEED: 2402/244  
ZONING: CR-1

**KEY LEGEND:**

- (A) HANDICAP PARKING SPACE (8'X18')
- (B) CONCRETE SIDEWALK
- (C) STREET LIGHT (LIGHTING SHALL BE DIRECTED DOWNWARD TO MINIMIZE GLARE)
- (D) METAL "STOP" SIGN (36"X36")
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— PROPOSED PAVEMENT



**DAVIS, BOWEN & FRIEDEL, INC.** ARCHITECTS ENGINEERS SURVEYORS  
 1000 MARKET STREET, SUITE 200  
 WILMINGTON, DELAWARE 19801  
 (302) 424-1441  
 EASTON, MARYLAND (410) 770-4744

**SEAGLASS LEWES AND REHOBOTH HUNDRED SUSSEX COUNTY, DELAWARE**

REVISIONS:  
2020-10-07: P&Z, CONDITIONS OF APPROVAL  
2020-11-25: P&Z COMMENTS

Date: **OCTOBER, 2019**  
Scale: **1" = 30'**  
Dwn.By: **JWJ, KJK**  
Proj.No.: **0818C032**  
Dwg.No.:

**PL-06**

PRELIMINARY - SITE PLAN

**GENERAL DATA**

- PIN: 235-14.00-77.00
- PLOT BOOK PAGE: 85 310/PB
- GROSS AREA: 142.60± ACRES  
PROPOSED SITE: 4.45± ACRES
- TAX DISTRICT: 235 - BROADKILL
- SCHOOL DISTRICT: 6 - CAPE HENLOPEN
- EXISTING ZONING: C-1 (GENERAL BUSINESS)  
RPC (RESIDENTIAL PLANNED COMMUNITY)

BULK AREA RESTRICTIONS  
 STREET YARD SETBACK: 60'  
 SIDE YARD: 5'/20'±  
 REAR YARD: 5'  
 BUILDING HEIGHT: 42'  
 PARKING SETBACK (STREET/OTHER): 60'/10'

\*\*ADJACENT TO RESIDENTIAL ZONING

7. TOPOGRAPHIC SURVEY:

- FIELD SURVEY BY
- DATUM: NAVD 1988
- PERIMETER PROPERTY CORNER MARKERS:

- ■ EXISTING (0)
- □ PROPOSED (0)

6. WATER SUPPLY: ARTESIAN WATER COMPANY

WATER SUPPLY IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DEPARTMENT OF PUBLIC HEALTH.

7. SANITARY SEWER: PROPOSED FORCE MAIN

SEWERAGE IS SUBJECT TO THE APPROVAL OF THE SUSSEX COUNTY DEPARTMENT OF PUBLIC WORKS.

8. PRIVATE WELLS AND SEPTIC SYSTEMS THAT EXIST WITHIN THIS DEVELOPMENT WILL BE ABANDONED IN ACCORDANCE WITH THE CURRENT STATE OF DELAWARE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL REGULATIONS.

9. DEBRIS DISPOSAL: NO DEBRIS WILL BE BURIED OR DISPOSED OF ON THIS SITE.

10. WATER RESOURCE PROTECTION: GIS INFORMATION WAS REFERENCED FOR THIS SITE. THIS PROPERTY IS NOT LOCATED WITHIN A WATER RESOURCE PROTECTION AREA(WRPA).

11. NO 100-YEAR FLOOD PLAIN EXISTS ON THIS PARCEL, IN ACCORDANCE WITH FLOOD INSURANCE RATE MAP: 10005C0164J AND 10005C0165J PANELS 164 & 165 OF 475, DATED FEBRUARY 4, 2015.

12. CRITICAL NATURAL AREAS: THE STATE INVENTORY OF CRITICAL NATURAL AREAS HAS BEEN EXAMINED AND NONE WHERE FOUND TO EXIST ON THE SITE.

13. WETLANDS: GIS MAPPING INFORMATION WAS REFERENCED FOR THIS SITE AND NO WETLANDS WERE FOUND TO EXIST ON THE SITE. ONCE THE SITE IS EVALUATED, A COMPLETE WETLANDS REPORT IN ACCORDANCE WITH FEDERAL REGULATIONS WILL BE PROVIDED FOR REVIEW.

14. TREE PRESERVATION: THE DEVELOPER SHALL PRESERVE ALL TREES ON THIS SITE EXCEPT WHERE NECESSARY TO CONSTRUCT BUILDINGS, ACCESSWAYS, AND UTILITIES, AND WHERE SELECTIVE THINNING OF EXISTING VEGETATION IS APPROVED. EXISTING PLANT MATERIALS DESIGNATED TO REMAIN ON THIS PLAN, OR THE LANDSCAPE PLAN, SHALL BE PRESERVED AND PROPERLY PROTECTED DURING CONSTRUCTION. IN THE CASE OF UTILITY RIGHTS-OF-WAY AND EASEMENTS, ANY DISTURBED AREAS SHALL BE REPLANTED SO AS TO ACHIEVE A RECURRENCE OF NATURAL VEGETATIVE COVER.

15. LAND DEVELOPMENT DATA:

PROPOSED BUILDING AREA: (20,000± SF FOOTPRINT)	0.46± ACRES = 10.97%
PROPOSED PAVED AREA:	2.27± ACRES = 54.08%
PROPOSED SWM AREA:	0.29± ACRES = 6.92%
PROPOSED LANDSCAPE SURFACE AREA:	1.17± ACRES = 27.93%
<b>TOTAL</b>	<b>4.19± ACRES = 100.0%</b>

16. PARKING DATA (PER ARTICLE XXII, SECTION 115-162)  
TYPICAL PARKING SPACES SHALL MEASURE 9' X 18'.

PROPOSED USE: **MEDICAL CLINIC AND OFFICE**

PARKING RATIONALE: 1 SPACE/2 EMPLOYEES + 4 SPACES/DOCTOR

REQUIRED:  
1 SPACE x 116 EMPLOYEES/2 + 4 SPACES x 36 DOCTORS = 202 SPACES

PROVIDED:  
(INCLUDING 14 HANDICAP PARKING SPACES) 209 SPACES

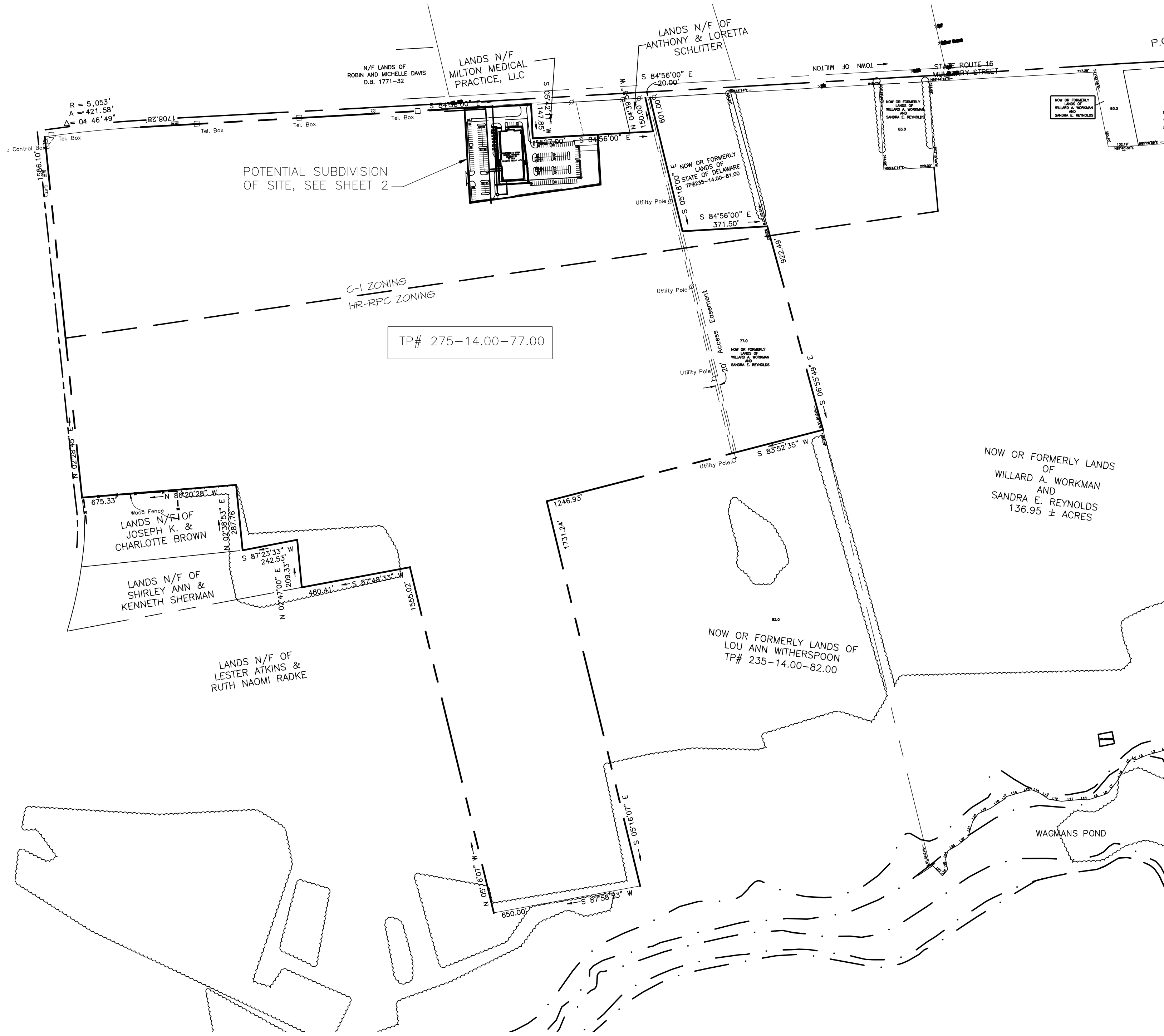
17. FIRE PROTECTION: ALL FIRE LANES, FIRE HYDRANTS, SPRINKLERS, STANDPIPE CONNECTIONS AND FIRE EXITS SHALL BE MARKED AND PROTECTED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.

FIRE HYDRANTS  
 FH (0) EXISTING  
 FH (1) PROPOSED

18. ALL ENTRANCES SHALL CONFORM TO DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL. THE DEVELOPER IS REQUIRED TO OBTAIN AN ENTRANCE PERMIT FROM THE PERTINENT DELDOT DISTRICT PERMIT OFFICE.

19. DRAINAGE, EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT SHALL COMPLY WITH THE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL'S DELAWARE SEDIMENT AND STORMWATER REGULATIONS AND THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK.

# PRELIMINARY MINOR LAND DEVELOPMENT PLAN FOR JERRY ANN MCLAMB MEDICAL PAVILION BROADKILL HUNDRED - TOWN OF MILTON DELAWARE



TP# 275-14.00-77.00

**PLAN VIEW**  
SCALE 1" = 300'

**CERTIFICATION OF PLAN ACCURACY**

I, TED C. WILLIAMS, P.E., HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER WITH A BACKGROUND IN CIVIL ENGINEERING IN THE STATE OF DELAWARE AND THAT ALL OF THE INFORMATION ON THIS PLAN IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED SURVEYING STANDARDS AND PRACTICES AND BY THE SUSSEX COUNTY ZONING CODE.

SIGNATURE \_\_\_\_\_

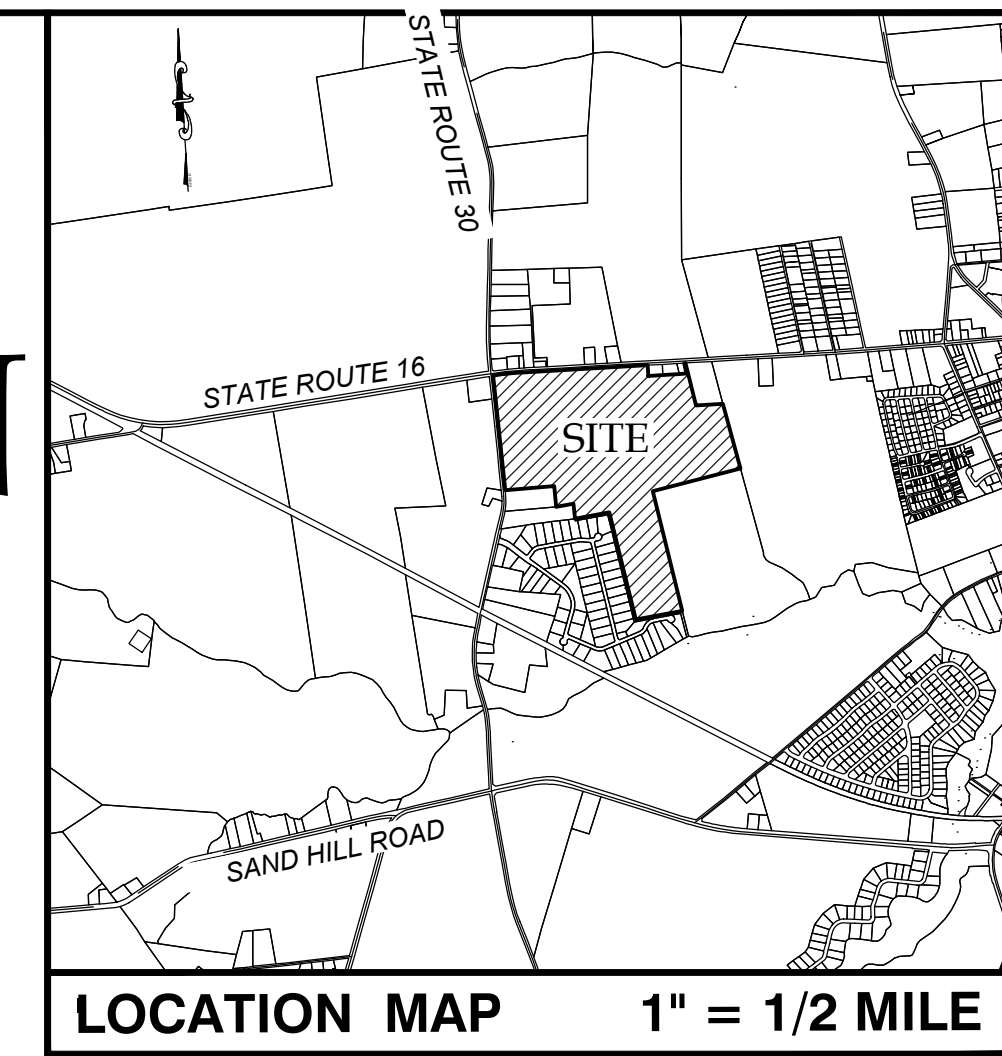
DATE \_\_\_\_\_

**CERTIFICATION OF OWNER**

I, \_\_\_\_\_ HEREBY CERTIFY THAT 1630 VENTURES, LLC IS THE OWNER OF THE PARCEL WHICH IS SUBJECT OF THIS PLAN AND THAT THE LAND USE ACTION PROPOSED BY THIS PLAN IS MADE AT ITS DIRECTION AND THAT IT AUTHORIZES THIS PLAN TO BE RECORDED IN ACCORDANCE WITH THE REGULATIONS OF THE SUSSEX COUNTY ZONING CODE.

SIGNATURE \_\_\_\_\_

DATE \_\_\_\_\_



**LOCATION MAP** 1" = 1/2 MILE



**LEGEND**

- 8" W — EXISTING WATER MAIN AND WATER VALVE
- 8" W — PROPOSED WATER MAIN AND WATER VALVE
- — — EXISTING VERTICAL P.C.C. CURB
- — — PROPOSED P.C.C. CURB TYPE 1-6
- — — EXISTING P.C.C. SIDEWALK
- — — PROPOSED P.C.C. SIDEWALK
- — — PROPOSED HANDICAP RAMP
- — — EXISTING BUILDING
- — — PROPOSED BUILDING
- — — EXISTING CONTOUR
- + 30.00 EXISTING SPOT ELEVATION
- + 30.00 PROPOSED SPOT ELEVATION
- SS — EXISTING SANITARY SEWER AND MANHOLE
- SS — PROPOSED SANITARY SEWER AND MANHOLE
- — — PROPOSED BUILDING SETBACK
- — — PROPOSED STORMWATER MANAGEMENT AREA
- — — EXISTING STORM DRAIN AND CATCH BASIN
- — — PROPOSED STORM DRAIN AND CATCH BASIN
- — — EXISTING FIRE HYDRANT
- — — PROPOSED FIRE HYDRANT
- — — EXISTING FENCE
- — — PROPOSED FENCE
- — — PROPOSED LIMITS OF DISTURBANCE

**PRELIMINARY MINOR LAND DEVELOPMENT PLAN**  
 FOR  
**JERRY ANN MCLAMB**  
**MEDICAL PAVILION**  
 BROADKILL HUNDRED - TOWN OF MILTON DELAWARE

DEVELOPER  
 PHOENIX RICE HOLDINGS, LLC  
 910 ANNE HUNTER DRIVE  
 WILMINGTON, DE 19803

OWNER  
 1630 VENTURES, LLC  
 1630 VENTURES, LLC  
 WILMINGTON, DE 19803

200 CONTINENTAL DRIVE  
 NEWARK, DE 19713  
 PHOENIX RICE HOLDINGS, LLC  
 910 ANNE HUNTER DRIVE  
 WILMINGTON, DE 19803  
 WWW.LANDMARK-SE.COM  
 INFO@LANDMARK-SE.COM

201 BRIDGEWAY BLVD., SUITE 140  
 ABERDEEN, MD 21001  
 LANDMARK SCIENCE & ENGINEERING  
 PAX 410.333.4411  
 FAX 410.333.4411  
 INFO@LANDMARK-SE.COM



THIS DRAWING AND THE DESIGN INFORMATION SHOWN ARE THE EXCLUSIVE PROPERTY OF LANDMARK SCIENCE AND ENGINEERING. NO PART OF THIS DRAWING OR DESIGN IS TO BE REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION.

THIS DRAWING DOES NOT INCLUDE CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT AND REGULATIONS AND THE RULES AND REGULATIONS THEREOF APPLICABLE.

DRAWN BY: MKB SCALE: 1" = 300'  
 DESIGN BY: MKB DATE: 10/30/2020  
 CHECK BY: XXX SHEET: CX-01 of 2

GRAPHIC SCALE  
 0 150 300 600

**CX-01**

COMMISSION: C2823-2  
 FILE NAME: PREL\_BASE2.dwg  
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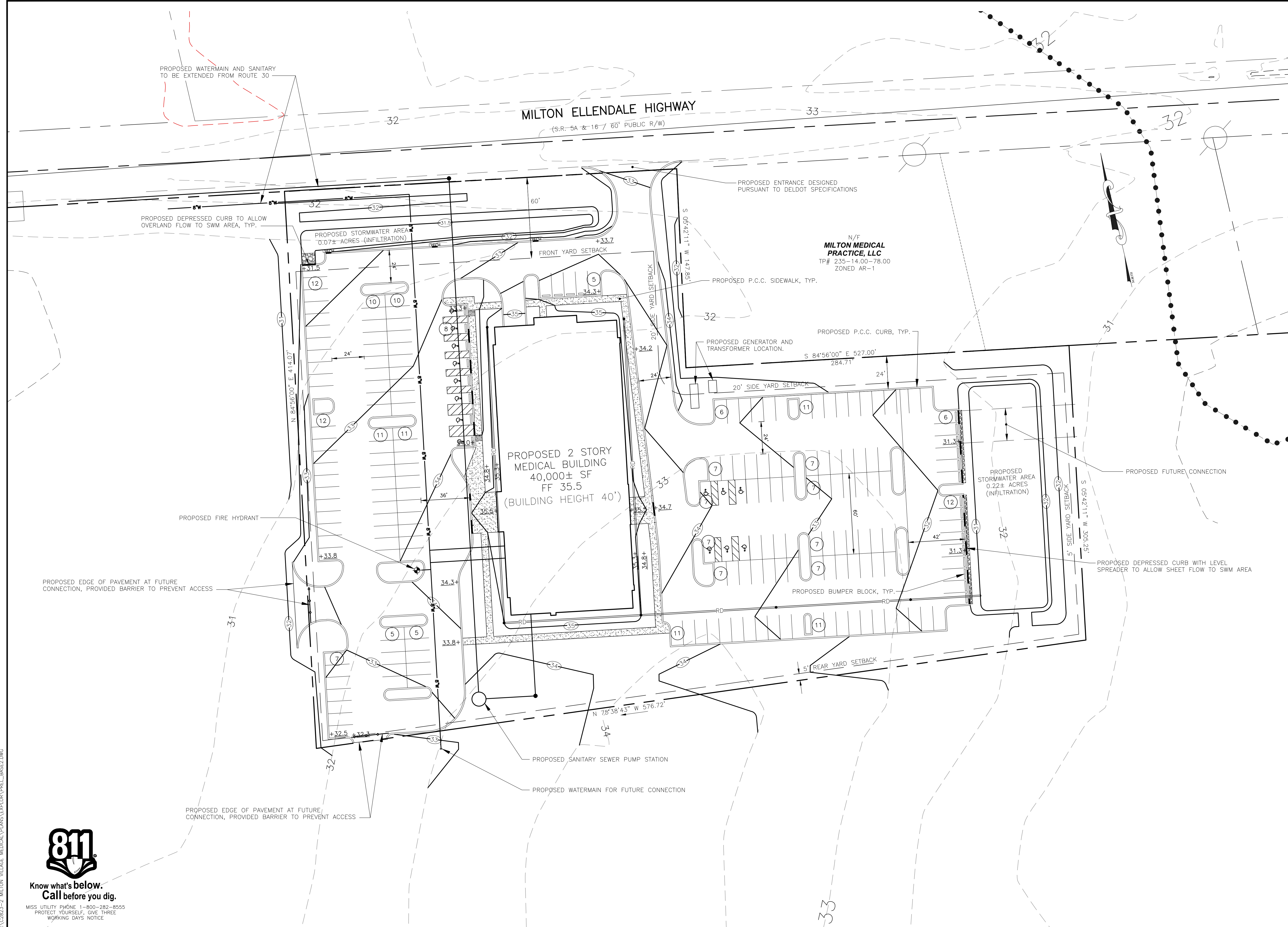
**THE PURPOSE OF THIS PLAN IS TO:**

- CONSTRUCT A 2 STORY 40,000± SF MEDICAL BUILDING WITH THE REQUIRED PARKING, ACCESS AND STORMWATER MANAGEMENT**

P:\C2823-2 MILTON VILLAGE MEDICAL\PLANS\EXPLOR\PREL\_BASE2.DWG



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WORKING DAYS NOTICE



<p>REVISIONS</p> <p>1. REV PER PLANNING &amp; ZONING 11-17-20</p> <p>12-1-2020</p> <p>MKB</p>	<p>PRELIMINARY MINOR LAND DEVELOPMENT PLAN</p> <p>FOR</p> <p><b>JERRY ANN MCLAMB</b> <b>MEDICAL PAVILION</b></p> <p>BROADKILL, HUNDRED - SUSSEX COUNTY, DELAWARE</p> <p>OWNER: 1630 VENTURES, LLC 1 SOUTH CLEVELAND AVE MILFORD, DE 19966 (XXX) XXX-XXXX</p> <p>DESIGNER: PHOENIX RICH HOLDINGS, LLC 910 FAULK ROAD, SUITE 201 MILFORD, DE 19966 (XXX) XXX-XXXX</p>	<p>200 CONTINENTAL DRIVE NEWARK, DE 19713 PHONE (302) 339-4477 FAX (302) 339-4477 WWW.LANDMARK-SE.COM INFO@LANDMARK-SE.COM</p> <p>201 RESEARCH BLVD., SUITE 100 ABERDEEN, MD 21001 PHONE (410) 339-4414 FAX (410) 339-4411 INFO@LANDMARK-SE.COM</p>	<p>THIS DRAWING AND THE DESIGN SHOWN ARE THE EXCLUSIVE PROPERTY OF LANDMARK SCIENCE &amp; ENGINEERING. NO PART OF THIS DRAWING IS TO BE COPIED OR REPRODUCED IN ANY MANNER WITHOUT WRITTEN PERMISSION.</p> <p>THIS DRAWING DOES NOT INCLUDE CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT AND REGULATIONS THEREOF. APPROVED:</p>
<p>DRAWN BY: MKB</p> <p>DESIGN BY: MKB</p> <p>CHECK BY: XXX</p>	<p>SCALE: 1"=30'</p> <p>DATE: 10/30/2020</p> <p>SHEET: CX-02 of 2</p>	<p>COMMISSION: C2823-2</p>	<p>GRAPHIC SCALE</p> <p>0 15 30 60</p>
<p>FILE NAME: PREL_BASE2.dwg</p>		<p>© 2020 LANDMARK SCIENCE &amp; ENGINEERING</p>	

**SITE DATA:**

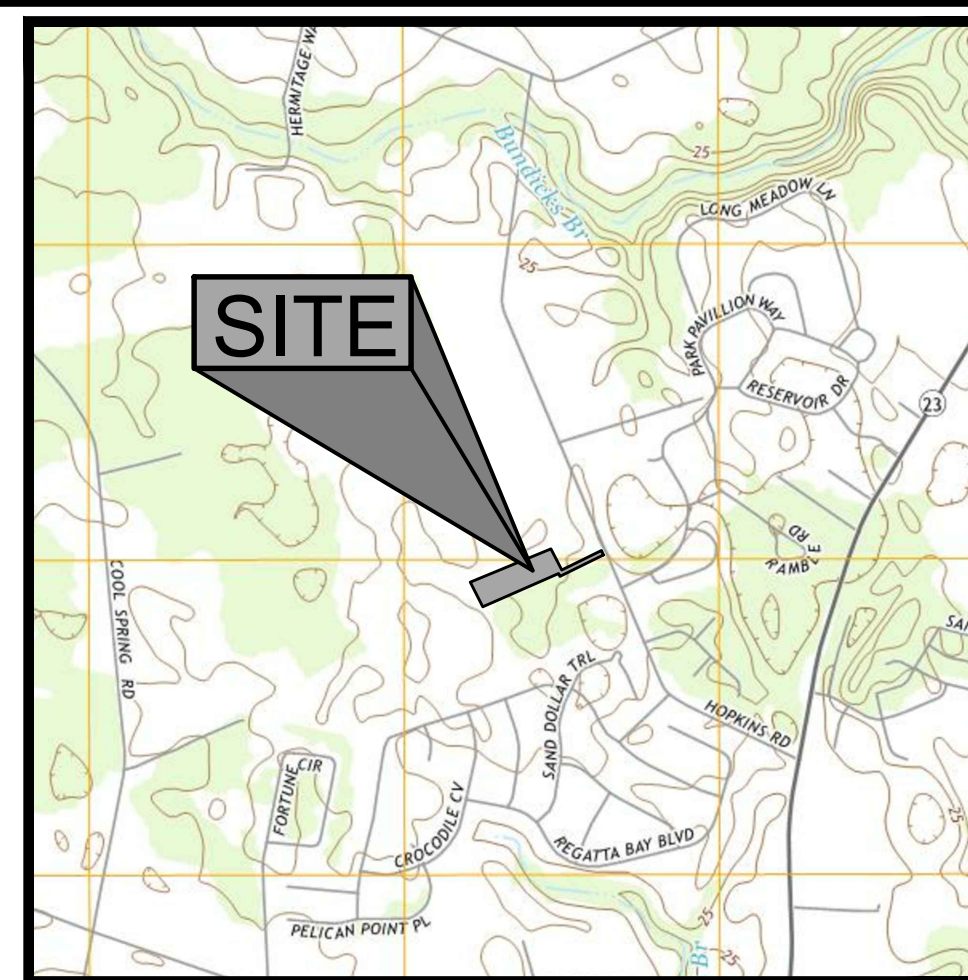
- TAX MAP NUMBER: 234-5.00-46.04 DEED BOOK 4848, PG 210
- DEVELOPER NAME: KENNETH DOMINIC ALTON DRUMMOND
- OWNER/DEVELOPER ADDRESS: 20366 HOPKINS ROAD LEWES, DE 19958
- SITE ADDRESS: 20366 HOPKINS ROAD LEWES, DE 19958
- CURRENT ZONING: AR-1(CONDITIONAL USE (ARTICLE V - 155-31) (APPROVED ORDINANCE NO. CU 2216, DATED AUGUST 25, 2020)
- PROPOSED ZONING: AR-1(CONDITIONAL USE
- PRESENT USE: RESIDENTIAL HOME REPAIR & IMPROVEMENTS
- PROPOSED USE: RESIDENTIAL HOME REPAIR & IMPROVEMENTS
- REQUIRED SETBACKS (PROVISIONS IN ACCORDANCE WITH 115-25):  
FRONT - 40 FEET  
SIDE - 15 FEET  
REAR - 20 FEET
- BUILDING HEIGHT: 42' ALLOWED
- PARKING (ARTICLE XXII: OFF-STREET PARKING, CODE SECTION 115-162):  
WHOLESALE OR MANUFACTURING: (1 FOR EVERY 2 EMPLOYEES ON THE MAJOR SHIFT ESTABLISHMENTS)  
MANAGER RESIDENCE:  
TOTAL REQUIRED SPACES: 2 + 4 SPACES(1 PER EVERY 2 EMPLOYEES MAX 8 EMPLOYEES)  
PROPOSED EMPLOYEE PARKING: 12 - ALLOWING FOR FUTURE GROWTH
- WATER SUPPLY: PROPOSED PRIVATE ON-SITE WELL  
WATER IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENTS OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DIVISION OF PUBLIC HEALTH  
A) SUBJECT PROPERTY IS WITHIN AN AREA OF "POOR" GROUND WATER RECHARGE.  
B) SUBJECT PROPERTY IS NOT LOCATED IN A WELLHEAD PROTECTION AREA
- SOURCE WATER PROTECTION:
- SEWER SUPPLY: PROPOSED PRIVATE ON-SITE SEPTIC
- LATITUDE AND LONGITUDE STATE PLAN COORDINATES:  
LONGITUDE: W075° 13' 21.65" LATITUDE: N038° 42' 16.39"
- TOTAL AREA (GROSS): 6.34± ACRES  
CONDITIONAL USE AREA: 3.57± ACRES  
REMAINING PARCEL 46.04 AREA: 2.77± ACRES
- NET DEVELOPMENT AREA: 6.34± AC.
- WETLAND AREA: 0.00± AC. (DNREC NAVMAP)
- PROPOSED DISCHARGE LOCATION: REHOBOTH BAY VIA HERRING CREEK & LOVE CREEK
- LIMIT OF DISTURBANCE: 2.05 AC.
- 2015 STATE STRATEGIES & INVESTMENT LEVELS: LEVEL 4
- SITE CALCULATIONS**  
BUILDING AREA EX. = 4,434 SF (0.10 AC.) PR. = 13,587 SF (0.31 AC.)  
GRASS AREA EX. = 218,332 SF (5.01 AC.) PR. = 165,377 SF (3.80 AC.)  
PAVEMENT/STONE AREA EX. = 30,036 SF (0.69 AC.) PR. = 59,421 SF (1.36 AC.)  
WOODED AREA EX. = 23,184 SF (0.53 AC.) PR. = 37,601 SF (0.86 AC.)  
TOTAL EX. = 275,986 SF (6.33 AC.) PR. = 275,986 SF (6.33 AC.)
- PERCENTAGE OF IMPERVIOUS COVER: 2.22 AC. (27.06%)  
NUMBER OF FORESTED ACRES TO BE REMOVED: 0.00 AC. (0.00%)
- LOCAL GOVERNMENT RESPONSIBLE FOR LAND USE APPROVAL: SUSSEX COUNTY
- DATUM: HORIZONTAL = NAD83  
VERTICAL = NAD83
- FLOOD MAP: ZONE X
- WATER SHED: REHOBOTH BAY
- FIRE DISTRICT: LEWES FIRE CO. (STATION 82)

**FIRE MARSHAL SITE DATA:**

- SUBDIVISION NAME/ADDRESS: BUSINESS SECURITIES, LLC 20366 HOPKINS ROAD LEWES, DE 19958 INDIAN RIVER HUNDRED SUSSEX COUNTY, DELAWARE
- OWNER INFORMATION:  
CURRENT OWNER: KENNETH DOMINIC ALTON DRUMMOND  
TAX MAP/PARCEL #: 234-5.00-46.04  
GROSS ACREAGE: 6.34± ACRES
- INTENDED USE: RESIDENTIAL / HOME REPAIR & IMPROVEMENT
- WATER SUPPLIER: EXISTING PRIVATE ON-SITE WELL
- MAXIMUM BUILDING HEIGHT: 42'
- AUTOMATIC SPRINKLERS: NO
- FIRE DISTRICT: LEWES FIRE CO. (STATION 82)

**NOTES:**

- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
- ALL ACCESS TO DWELLINGS SHALL BE CLEARED A MINIMUM OF 15' WIDE.
- ALL DWELLINGS TO BE WOOD FRAME CONSTRUCTION WITH A MAXIMUM BUILDING HEIGHT OF TWO STORY, NOT TO EXCEED 42'.
- DIRECT DOWNSPOUTS FROM THE REAR OF BUILDINGS 5, AND 6 TO POSITIVELY DRAIN TO THE INFILTRATION POND.



VICINITY MAP  
SCALE: 1" = 2000'

**SITE INFORMATION:**

SITE ADDRESS:  
20366 HOPKINS ROAD  
LEWES, DE 19958

OWNER/DEVELOPER:  
KENNETH DOMINIC ALTON DRUMMOND  
20366 HOPKINS ROAD  
LEWES, DE 19958

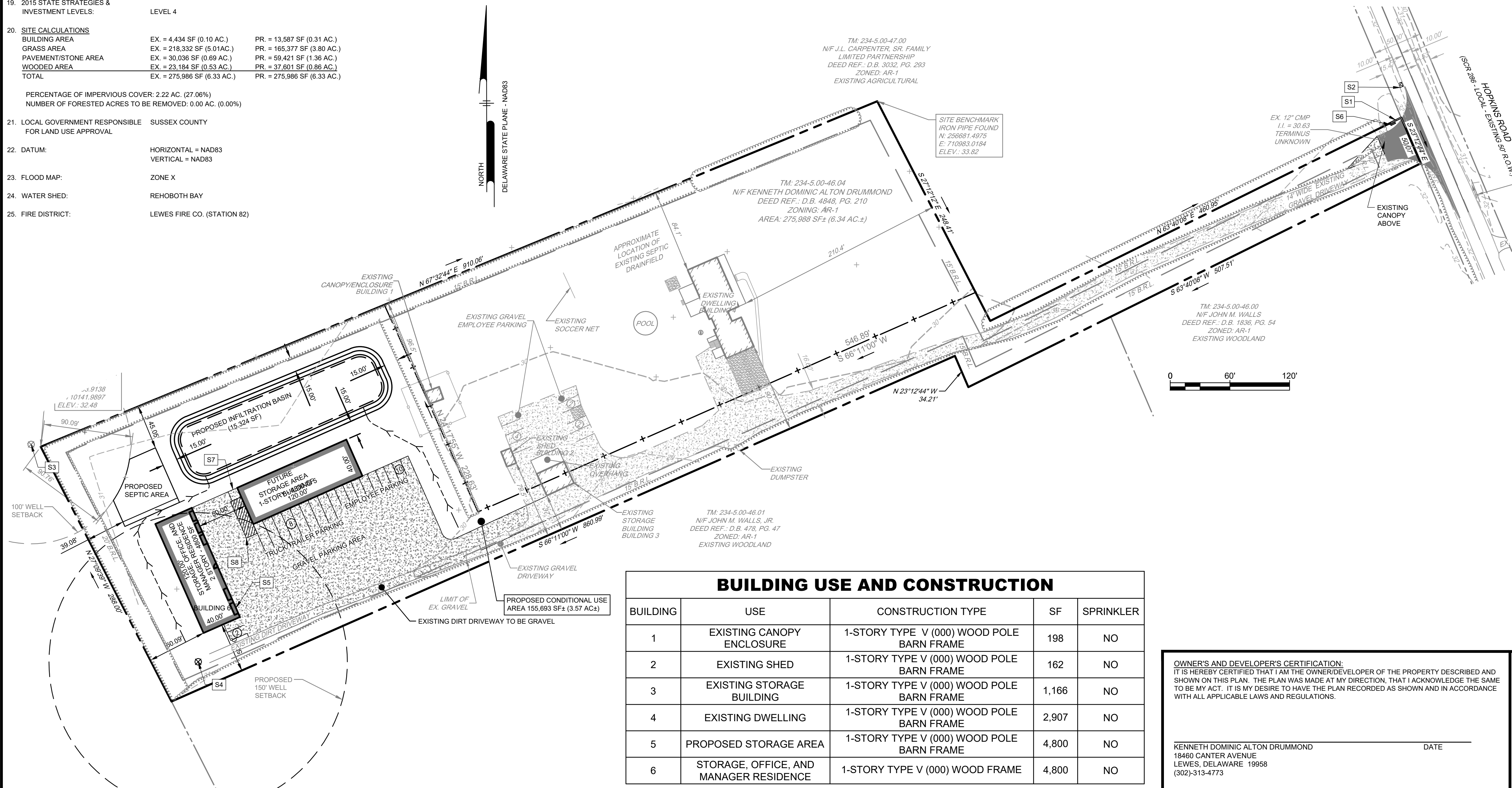
ENGINEER:  
PENNONI ASSOCIATES, INC.  
18072 DAVIDSON DRIVE  
MILTON, DE 19968

**KEY NOTES**

- S1 EXISTING FENCE TO BE REMOVED
- S2 RELOCATED MAILBOX
- S3 EXISTING WELL
- S4 PROPOSED WELL
- S5 OVERHEAD DOOR (TYP.)
- S6 PROPOSED BUSINESS SIGN
- S7 PROPOSED DUMPSTER AREA
- S8 PROPOSED LOADING AREA

**LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- BUILDING RESTRICTION LINE
- CONDITIONAL USE BOUNDARY LINE
- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING CONTOUR LINE
- EXISTING EDGE OF GRAVEL
- EXISTING EDGE OF CONCRETE
- EXISTING FENCE LINE
- EXISTING EDGE OF TREELINE/WOODS
- EXISTING CONCRETE
- PROPOSED GRAVEL PARKING AREA
- EXISTING GRAVEL AREA
- PROPOSED SWALE
- PROPOSED ENTRANCE
- EXISTING SPOT ELEVATION
- AXLE FOUND
- IRON ROD FOUND
- IRON PIPE FOUND
- CONCRETE MONUMENT FOUND



**BUILDING USE AND CONSTRUCTION**

BUILDING	USE	CONSTRUCTION TYPE	SF	SPRINKLER
1	EXISTING CANOPY ENCLOSURE	1-STORY TYPE V (000) WOOD POLE BARN FRAME	198	NO
2	EXISTING SHED	1-STORY TYPE V (000) WOOD POLE BARN FRAME	162	NO
3	EXISTING STORAGE BUILDING	1-STORY TYPE V (000) WOOD POLE BARN FRAME	1,166	NO
4	EXISTING DWELLING	1-STORY TYPE V (000) WOOD POLE BARN FRAME	2,907	NO
5	PROPOSED STORAGE AREA	1-STORY TYPE V (000) WOOD POLE BARN FRAME	4,800	NO
6	STORAGE, OFFICE, AND MANAGER RESIDENCE	1-STORY TYPE V (000) WOOD FRAME	4,800	NO

**OWNER'S AND DEVELOPER'S CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

KENNETH DOMINIC ALTON DRUMMOND DATE

**ENGINEER CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM A PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

ALAN M. DEKTOUR, PE (DE PE #17771) DATE  
PENNONI ASSOCIATES, INC (302) 684-8030  
18072 DAVIDSON DRIVE MILTON, DE 19968

**Pennonni**

PENNONI ASSOCIATES, INC.  
18072 Davidson Drive  
Milton, DE 19968  
T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

QUALITY CARE HOMES  
SUSSEX COUNTY, TWP# 234-5.00-46.04  
20366 HOPKINS ROAD  
LEWES, DELAWARE 19958

PRELIMINARY SITE PLAN

KENNETH DOMINIC ALTON DRUMMOND  
18460 CANTER AVENUE  
LEWES, DELAWARE 19958

NO.	DATE	REVISIONS	BY
1	1/24/2020	REVIS PER P&Z COMMENTS	AMD
2	12/17/2019	UPDATED LAYOUT PER CLIENT SPECIFICATION	LFS

PROJECT: DDRUM19001

DATE: YYYY-MM-DD

DRAWING SCALE: 1"=60'

DRAWN BY: FML

APPROVED BY: FML

**CS1001**

SHEET 1 OF 2



**NOTES:**

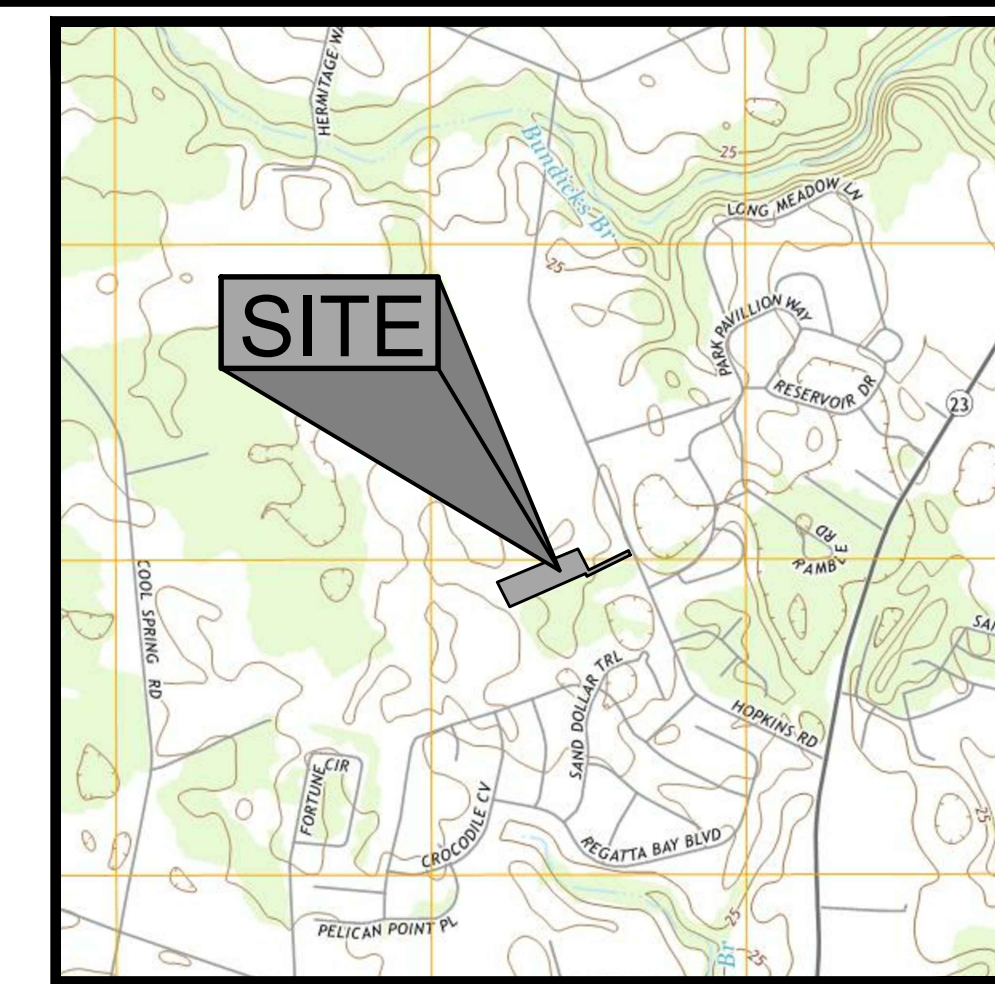
- THE BOUNDARY INFORMATION SHOWN ON THIS PLAT WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD AND IS THE RESULT OF AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES INC PERFORMED ON MAY 6, 2019.
- THE TOTAL AREA FOR THE SUBJECT PROPERTY IS 6.34 ACRES.
- THIS SURVEY DOES NOT VERIFY THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHTS-OF-WAY CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS REQUESTED OR PROVIDED.
- THIS PROPERTY APPEARS ON SUSSEX COUNTY TAX MAP 234-5.00 AS PARCEL 46.04, AND IS CURRENTLY ZONED AR-1 (AGRICULTURAL RESIDENTIAL).
- CLASS OF SURVEY: SUBURBAN
- DEED REFERENCE: DEED BOOK 4848, PAGE 210.  
PLAT REFERENCE: PLAT BOOK 66, PAGE 215.
- PROPERTY BOUNDARY BEARING SYSTEM IS BASED ON DELAWARE STATE PLANE COORDINATE SYSTEM. HORIZONTAL DATUM NAD83.
- THE PROPERTY IS LOCATED IN ZONE "X" (UNSHADED) ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 100050330K, LAST REVISED 1/05/05. ZONE "X" (UNSHADED) IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN.
- THERE ARE NO WETLANDS ON THE PROPERTY ACCORDING TO THE DNREC ENVIRONMENTAL NAVIGATOR WEBSITE.
- THE PROPERTY IS ZONED AR-1 (AGRICULTURAL RESIDENTIAL DISTRICT).
- BUILDING SETBACKS (CH. 115-25C):  
FRONT - 40'  
SIDE - 15'  
REAR - 20'
- THE SUBJECT SITE IS LOCATED IN THE LOVE CREEK AND THE HERRING CREEK AREAS OF THE REHOBOTH BAY WATERSHED, PER DELAWARE DEPARTMENT OF NATURAL RESOURCES & ENVIRONMENTAL CONTROL (DNREC) ENVIRONMENTAL NAVIGATOR WEBSITE. STORMWATER DISCHARGE WILL BE HANDLED VIA EXISTING DISCHARGE TO THESE WATERSHEDS.  
UNLESS SPECIFICALLY STATED OR SHOWN HEREON TO THE CONTRARY, THIS SURVEY IS MADE SUBJECT TO AND DOES NOT LOCATE OR DELINEATE:
- RIGHTS OR INTEREST OF THE UNITED STATES OF AMERICA OR STATE OF DELAWARE OVER LANDS NOW OR FORMERLY FLOWED BY TIDEWATER, BUT NO LONGER VISIBLE OR PHYSICALLY EVIDENT, OR LANDS CONTAINING ANY ANIMAL, MARINE OR BOTANICAL SPECIES REGULATED BY OR UNDER THE JURISDICTION OF ANY FEDERAL, STATE, OR LOCAL AGENCY.
- BUILDING SETBACK LINES, ZONING REGULATIONS OR LINES ESTABLISHED BY ANY FEDERAL, STATE OR LOCAL AGENCY WHICH MAY AFFECT THE BUILDING OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.
- ANY SUBSURFACE OR SUBTERRANEAN CONDITION, EASEMENTS OR RIGHTS, INCLUDING, BUT NOT LIMITED TO MINERAL OR MINING RIGHTS, OR THE LOCATION OF OR RIGHTS TO ANY SUBSURFACE STRUCTURES, CONTAINERS OR FACILITIES OR ANY OTHER NATURAL OR MAN-MADE SUBSURFACE CONDITION WHICH MAY OR MAY NOT AFFECT THE USE OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.
- NO UNDERGROUND UTILITY MARKING WAS PERFORMED FOR THIS SURVEY.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY OWNER.
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN THE PLAN.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE REJECTED.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO BE PERFORMED. IT MUST BE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO FIELD LOCATE AND RECORD ANY DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REMOVED OR REPLACED, ENGINEER TO VERIFY LOCATION AND EXTENT OF DAMAGE.
- DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REPLACED OR REMOVED DURING CONSTRUCTION SHALL BE IMMEDIATELY REPORTED TO ENGINEER. CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED WORK WITHOUT CHARGE TO THE OWNER.
- ALL SECURITY LIGHTING (IF NECESSARY) SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
- ALL FIRE LANES, EXITS, STANDPIPE AND SPRINKLER CONNECTIONS WILL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS.
- MISS UTILITY SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO EXCAVATION.
- MAINTENANCE OF THE STREETS WITHIN THE SITE WILL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR PROPERTY OWNERS WITHIN THE SITE. THE STATE AND COUNTY ASSUME NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE HEIGHT, LOCATION, AND MATERIAL OF ALL FENCES, WALLS, SCREEN PLANTING AND LANDSCAPING WILL BE SHOWN ON THE FINAL SITE PLAN.
- ANY PROPOSED SIGN DETAILS WILL BE SUBMITTED SEPARATELY.

**C/U 2216 - CONDITIONS OF APPROVAL (AUGUST 25, 2020):**

- THE USE SHALL BE LIMITED TO HOME REMODELING AND HOME CONSTRUCTION SERVICES WITH LIGHT MATERIAL STORAGE ASSOCIATED WITH THAT USE. MATERIAL AND REPAIR OF THE BUSINESSES' EQUIPMENT SHALL BE PERMITTED TO OCCUR ON THE SITE. AN OFFICE SHALL BE PERMITTED FOR ONLY THE BUSINESS; ADDITIONALLY, A RESIDENCE FOR THE BUSINESS MANAGER OR SENIOR EMPLOYEE SHALL ALSO BE PERMITTED. NO OTHER BUSINESS SHALL BE CONDUCTED FROM THE SITE, AND NO RETAIL SALES SHALL BE PERMITTED ON THE SITE.
- AS STATED BY THE APPLICANT, ALL CONSTRUCTION MATERIALS WILL BE STORED INDOORS.
- THE APPLICANT SHALL COMPLY WITH ALL DELDOT REQUIREMENTS, INCLUDING ENTRANCE AND ROADWAY IMPROVEMENTS THAT ARE DIRECTED BY DELDOT.
- NO OUTSIDE REPAIRS OF MAINTENANCE OF VEHICLES OR EQUIPMENT ASSOCIATED WITH THE USE SHALL OCCUR ON THE SITE.
- ALL DUMPSTERS, STORAGE BINS, AND STOCKPILE LOCATIONS SHALL BE SCREENED FROM VIEW OF NEIGHBORING PROPERTIES AND ROADWAYS.
- ONE INDIRECTLY LIGHTED SIGN, NOT TO EXCEED 32 SQUARE FEET PER SIDE, SHALL BE PERMITTED.
- ALL SECURITY LIGHTS SHALL BE FULLY SCREENED AND DOWNWARD FACED SO THEY DO NOT SHINE ON NEIGHBORING PROPERTIES OR ADJACENT ROADWAYS.
- THE HOURS OF OPERATIONS SHALL BE BETWEEN 6:00 A.M. AND 2:00 P.M., MONDAY THROUGH FRIDAY, AND 7:00 A.M. THROUGH 2:00 P.M. ON SATURDAYS. THERE SHALL NOT BE ANY SUNDAY HOURS OF OPERATION.
- THERE SHALL NOT BE ANY DUMPING ON THE SITE. ALL DUMPSTERS ASSOCIATED WITH THE USE SHALL BE SCREENED FROM VIEW OF NEIGHBORING PROPERTIES AND ROADWAYS AND SHALL BE LOCATED AT LEAST 50 FEET (50') FROM THE PROPERTY BOUNDARIES.
- THE FINAL SITE PLAN SHALL CLEARLY SHOW ALL LOADINGS AND STORAGE AREAS AND AREAS FOR VEHICLE PARKING AND EQUIPMENT STORAGE. THESE AREAS SHALL BE CLEARLY MARKED ON THE SITE ITSELF. THESE AREAS SHALL BE SCREENED AND SHALL BE AT LEAST 50 FEET (50') FROM THE PROPERTY BOUNDARIES.
- ALL REQUIRED SCREENING OR BUFFERING SHALL BE SHOWN ON THE FINAL SITE PLAN.
- FAILURE TO COMPLY WITH ANY OF THESE CONDITIONS SHALL BE GROUNDS FOR THE TERMINATION OF THIS CONDITIONAL USE.
- THE FINAL SITE PLAN SHALL BE SUBJECT TO REVIEW OF AND APPROVAL OF THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.

**DELDOT RECORD/SITE PLAN NOTES (REVISED 3-21-2019):**

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 §131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SIDEWALK.
- ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION STREET.
- DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
- LOTS WILL BE PERMITTED TO HAVE ACCESS POINTS THAT COMPLY WITH THE DEVELOPMENT COORDINATION MANUAL (DCM) SPACING REQUIREMENTS OF CHAPTER 1 AND LIMITATIONS ON NUMBER OF ACCESS POINTS ESTABLISHED IN DCM CHAPTER 7. HORSESHOE DRIVEWAYS AND SECONDARY ENTRANCES REQUIRE ADDITIONAL DELDOT REVIEW AND SEPARATE PERMITTING, RESTRICTIONS AS DESCRIBED IN THE DCM CHAPTER 7 MAY PROHIBIT SOME SECONDARY ENTRANCE REQUESTS FROM BEING GRANTED.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
- A PERPETUAL CROSS ACCESS INGRESS/EGRESS EASEMENT IS HEREBY ESTABLISHED AS SHOWN ON THIS PLAN.
- THIS COMMERCIAL PARCEL HAS DIRECT FRONTAGE ALONG HOPKINS ROAD SCR 286, WHICH HAS A FUNCTIONAL CLASSIFICATION OF LOCAL ROAD AS DEFINED BY THE STATE OF DELAWARE'S DEPARTMENT OF TRANSPORTATION. PER SECTION 3.6.1 OF THE DELDOT DEVELOPMENT COORDINATION MANUAL (DCM), IT IS THE DEVELOPER'S RESPONSIBILITY TO EVALUATE NOISE LEVELS AND THEIR IMPACTS ON PROPOSED DEVELOPMENT, FOR PROJECTS ADJACENT TO EXISTING TRANSPORTATION FACILITIES WITH THIS FUNCTIONAL CLASSIFICATION. ROADWAYS WITH THIS CLASSIFICATION CAN BE EXPECTED TO GENERATE ELEVATED LEVELS OF ROAD AND TRAFFIC RELATED NOISE, SIMILAR TO WHAT CAN BE EXPECTED IN URBAN AREAS. A DETAILED NOISE ANALYSIS PER DCM 3.6 IS TYPICALLY RECOMMENDED TO HELP GAUGE THE ACTUAL IMPACTS THAT ROADWAY RELATED NOISE MAY HAVE ON VARIOUS POTENTIAL LAND-USES (SUCH AS THOSE DESCRIBED IN DCM FIGURE 3.6.3.A; NOISE ABATEMENT CRITERIA) WITH THE INCLUSION OF THIS NOTE, THE DEVELOPER IS ACKNOWLEDGING THAT THE PROPOSED SITE AND/OR BUILDING LOCATION CAN BE EXPECTED TO EXCEED THE SPECIFIC MAXIMUM NOISE LEVELS FOR CERTAIN COMMERCIAL AND NON-RESIDENTIAL USES AS SHOWN IN DCM FIGURE 3.6.3.A. THE DEVELOPER'S WAIVER OF THE NOISE ANALYSIS AND REVIEW OF POTENTIAL NOISE MITIGATION MEASURES ARE SUPPORTED BY THE INFEASIBILITY OF APPLYING NOISE MITIGATION MEASURES, BASED ON ENGINEERING CONSIDERATIONS AND FACTORS THAT WOULD LIMIT THE ABILITY TO ACHIEVE SUBSTANTIAL NOISE REDUCTION, RELATED TO THE COMMERCIAL USE OF THE SITE AND/OR BUILDINGS. THIS WAIVER ACKNOWLEDGES THAT THE DECIBEL LEVEL FOR THIS PARCEL MAY EXCEED THE APPLICABLE LIMITS FOR SOME CURRENT OR FUTURE PROPOSED USES. THE USE OF THIS NOTE SIGNIFIES THE SUBDIVISION ENGINEER'S CONCURRENCE WITH WAIVING THE DEVELOPER'S COMPLETION OF A DETAILED NOISE STUDY AND SUBSEQUENT REVIEW OF RESULTING NOISE ABATEMENT FINDINGS OR MITIGATION MEASURES. ANY FUTURE COMPLAINTS RELATING TO EXISTING OR FUTURE NOISE LEVELS IMPACTING PROPOSED USES ON THIS SITE AND ALONG THIS EXISTING TRANSPORTATION FACILITY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OR LAND OWNER OR BOTH.



VICINITY MAP  
SCALE: 1" = 2000'

**Pennonni**  
PENNONI ASSOCIATES INC.  
18072 Davidson Drive  
Million, DE 19968  
T 302.684.9030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

QUALITY CARE HOMES  
SUSSEX COUNTY, TWP 234-5.00-46.04  
20386 HOPKINS ROAD  
LEWES, DELAWARE 19956

PRELIMINARY SITE PLAN

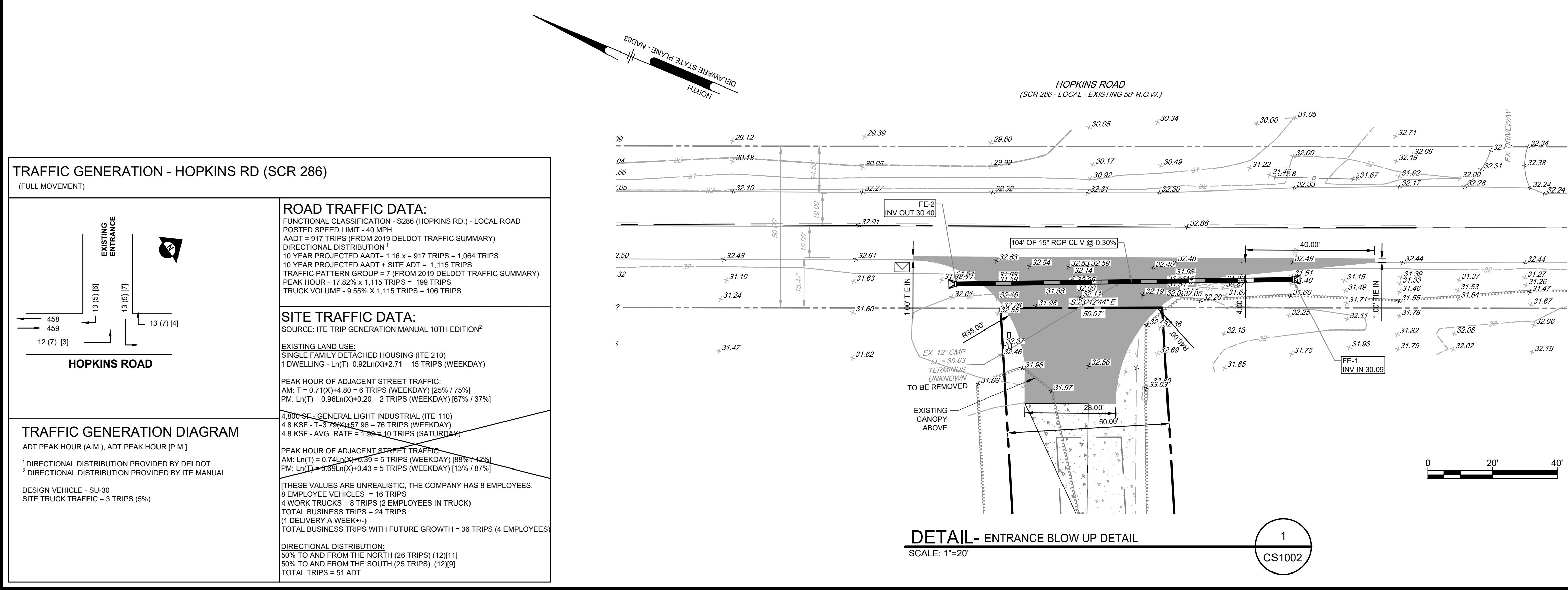
KENNETH DOMINIC ALTON DRUMMOND  
18460 CANTER AVENUE  
LEWES, DELAWARE 19958

NO.	DATE	REVISIONS	BY
1	11/24/2020	REVISED PER P&Z COMMENTS	AMD

PROJECT: DDRUM19001  
DATE: 2020-10-13  
DRAWN SCALE: 1"=20'  
DRAWN BY: LFS  
APPROVED BY: AMD

**CS1002**  
SHEET 2 OF 2

PLOTTED: 11/24/2020 10:42:04 AM BY: Admin, Daktor PROJECT STATUS: PLOTSTYLE: Penmonni.ctb



**PLANNING & ZONING COMMISSION**

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE-CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY J. WINGATE



**Sussex County**

DELAWARE  
sussexcountyde.gov  
302-855-7878 T  
302-854-5079 F  
JAMIE WHITEHOUSE, AICP, MRTPI  
DIRECTOR OF PLANNING & ZONING

**PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET**  
Planning Commission Public Hearing Date December 10<sup>th</sup>, 2020.

Application: (2020-12) Carsyljan Acres

Applicant: Jennifer Knighton  
4008 Hillcrest Road  
Baltimore, MD 21225

Owner: Jennifer Knighton  
4008 Hillcrest Road  
Baltimore, MD 21225

Site Location: Located on the east side of Brohawn Ave within the Carsyljan Acres subdivision

Current Zoning: General Residential (GR)

Proposed Use: 2 Single Family Lots

Comprehensive Land Use Plan Reference: Coastal Area

Councilmatic District: Mr. Burton

School District: Cape Henlopen School District

Fire District: Lewis Fire District

Sewer: Septic

Water: Well

Site Area: 0.5848 acres +/-

Tax Map ID.: 235-27.00-94.00





# Sussex County



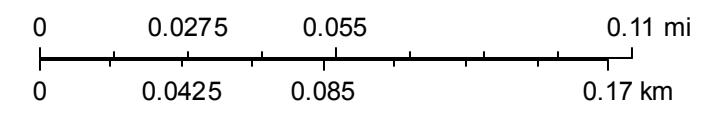
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<b>Owner Name</b>	NOLT JEFFREY F & JENNIFER K
<b>Book</b>	3361
<b>Mailing Address</b>	121 S. LINWOOD AVE
<b>City</b>	BALTIMORE
<b>State</b>	MD
<b>Description</b>	RD MILTON TO LEWES
<b>Description 2</b>	LOT 13B T#38027
<b>Description 3</b>	CARSYLJAN ACRES
<b>Land Code</b>	

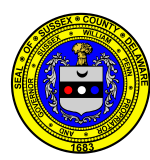
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- polygonLayer

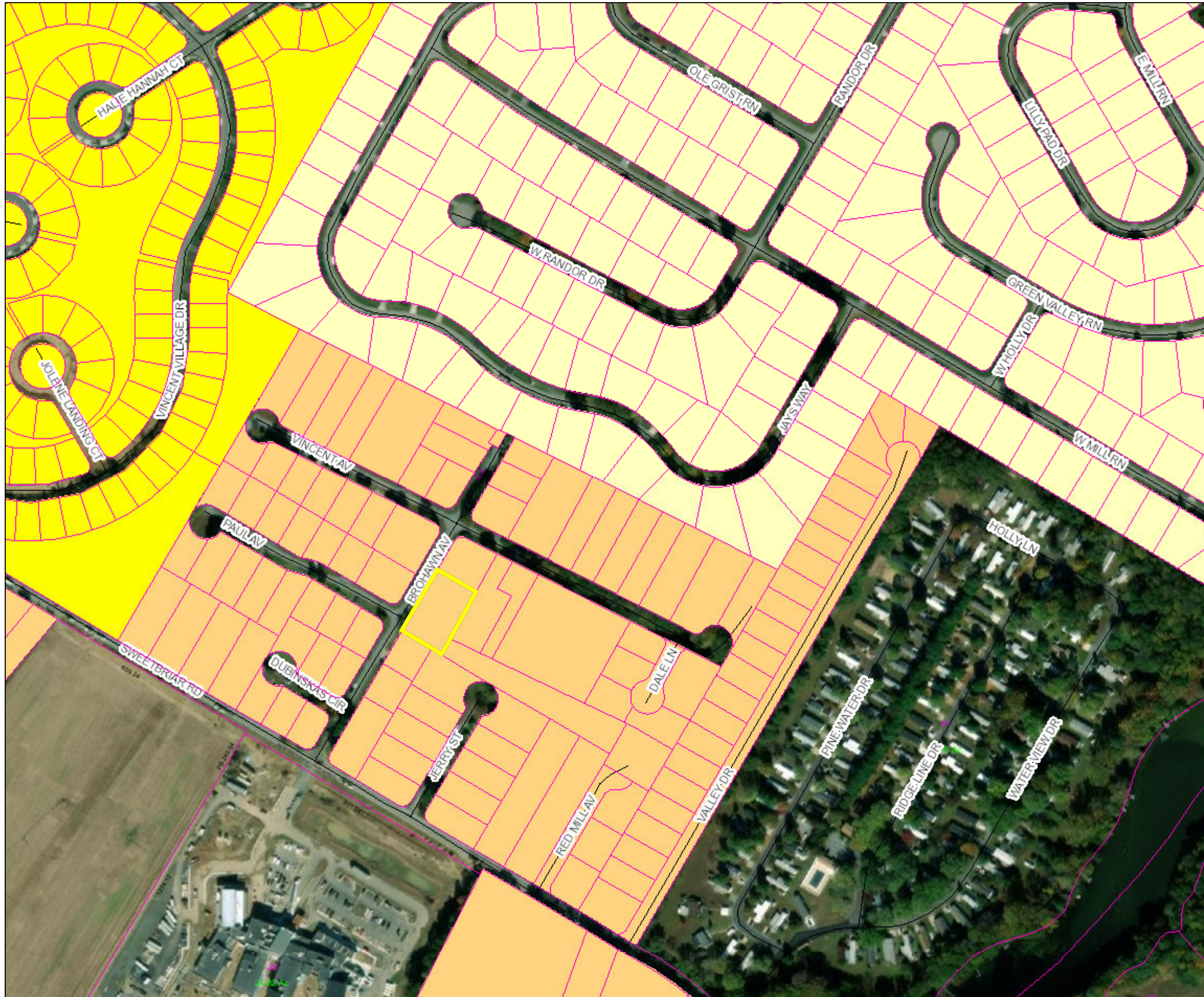
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  - Tax Parcels
  - 911 Address
  - Streets
  - County Boundaries
  - Municipal Boundaries

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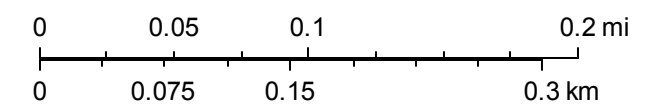
# Sussex County

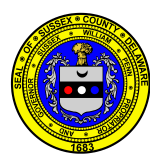


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<b>Land Code</b>	

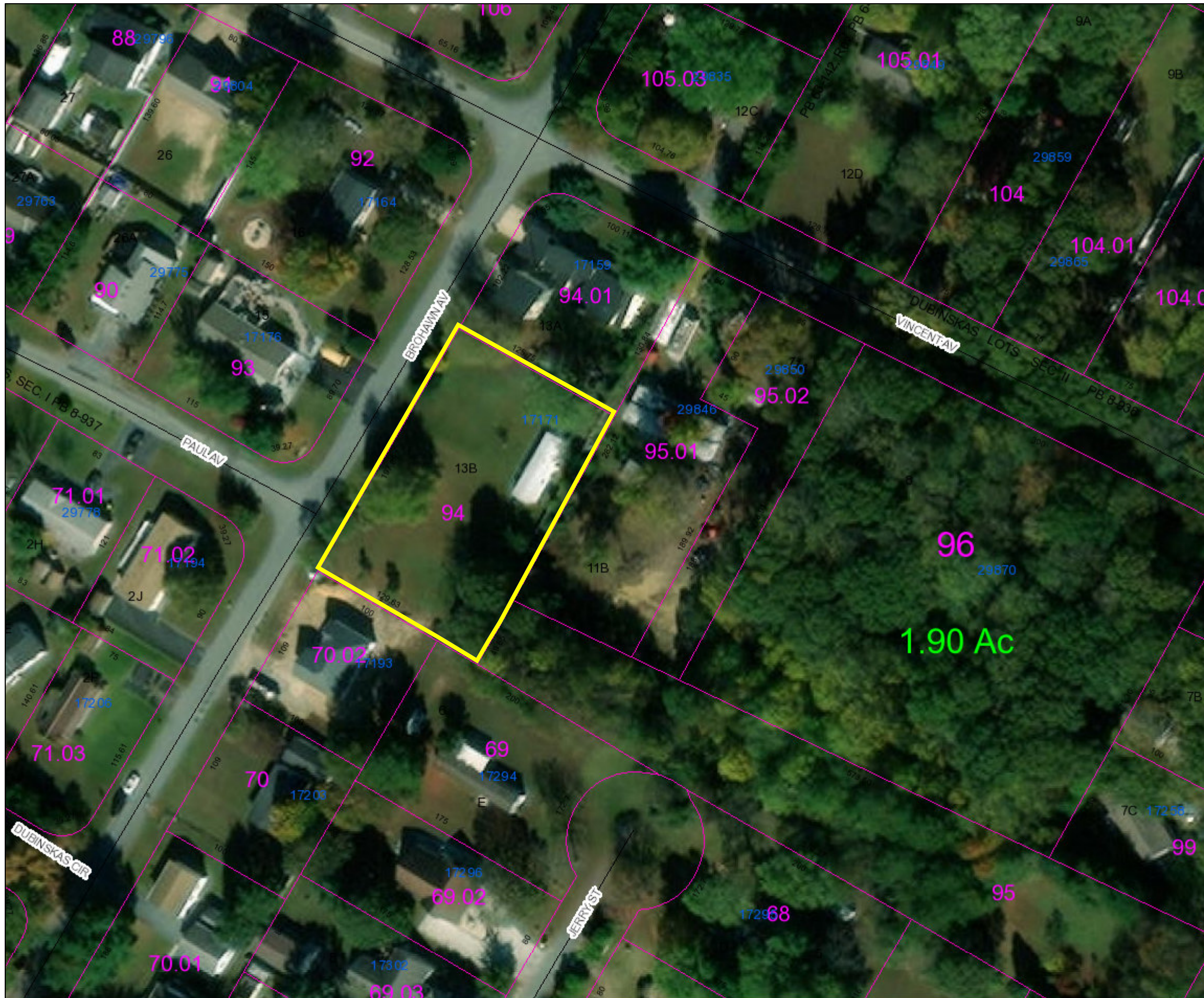
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Override 1
- polygonLayer**  
Override 1
- Tax Parcels
- Streets

1:4,514





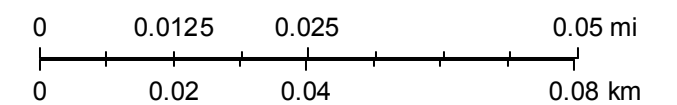
# Sussex County



<b>PIN:</b>	235-27.00-94.00
<b>Owner Name</b>	NOLT JEFFREY F & JENNIFER K
<b>Book</b>	3361
<b>Mailing Address</b>	121 S. LINWOOD AVE
<b>City</b>	BALTIMORE
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<b>Description</b>	RD MILTON TO LEWES
<b>Description 2</b>	LOT 13B T#38027
<b>Description 3</b>	CARSYLJAN ACRES
<b>Land Code</b>	

- polygonLayer**
- Override 1
- polygonLayer**
- Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- Municipal Boundaries

1:1,128



File #: 2020-12  
202010262

## Sussex County Major Subdivision Application

### Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

**Type of Application: (please check applicable)**

Standard:   
Cluster:   
ESDDOZ:

**Location of Subdivision:**

17171 Brohawn Avenue (part of Carsyljan Acres - Lot 13B)

**Proposed Name of Subdivision:**

Carsyljan Acres

Tax Map #: 2-35-27.00-94.00 Total Acreage: 0.5848

Zoning: GR Density:            Minimum Lot Size: 0.5848 Number of Lots: 1 plus residu

Open Space Acres: N/A

Water Provider: Individual on site Sewer Provider: Individual on site

**Applicant Information**

Applicant Name: Jennifer Knighton  
Applicant Address: 4008 Hillcrest Road  
City: Baltimore State: MD Zip Code: 21225  
Phone #: 410-627-3830 E-mail: keiserwiser@aol.com

**Owner Information**

Owner Name: Jennifer Knighton  
Owner Address: 4008 Hillcrest Road  
City: Baltimore State: MD Zip Code: 21225  
Phone #: 410-627-3830 E-mail: keiserwiser@aol.com

**Agent/Attorney/Engineer Information**

Agent/Attorney/Engineer Name: Merestone Consultants, Inc.  
Agent/Attorney/Engineer Address: 33516 Crossing Avenue Suite 1 Five Points Square  
City: Lewes State: DE Zip Code: 19958  
Phone #: 302-226-5880 E-mail: bob.nash@merestoneconsultants.com





# Check List for Sussex County Major Subdivision Applications

The following shall be submitted with the application

- Completed Application**
- Provide fifteen (15) copies of the Site Plan or Survey of the property and a PDF (via e-mail)**
  - Plan shall show the existing conditions, setbacks, roads, floodplain, wetlands, topography, proposed lots, landscape plan, etc. **Per Subdivision Code 99-22, 99-23 & 99-24**
  - Provide compliance with Section 99-9.
  - Deed or Legal description, copy of proposed deed restrictions, soil feasibility study
- Provide Fee \$500.00**
- Optional - Additional information for the Commission to consider** (ex. photos, exhibit books, etc.) If provided submit seven (7) copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.
- Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.**
- PLUS Response Letter** (if required)
- 51% of property owners consent if applicable**

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney

Robert W. Neal

Date: 8/24/2020

Signature of Owner

\_\_\_\_\_

Date: \_\_\_\_\_

For office use only:

Date Submitted: \_\_\_\_\_

Fee: \$500.00 Check #: \_\_\_\_\_

Staff accepting application: \_\_\_\_\_

Application & Case #: \_\_\_\_\_

Location of property: \_\_\_\_\_

Date of PC Hearing: \_\_\_\_\_

Recommendation of PC Commission: \_\_\_\_\_





**SUSSEX COUNTY ENGINEERING DEPARTMENT  
UTILITY PLANNING DIVISION  
C/U & C/Z COMMENTS**

TO: **Jamie Whitehouse**

REVIEWER: **Chris Calio**

RECEIVED

DATE: **11/24/2020**

NOV 30 2020

APPLICATION: **2020-12 – Carsyljan Acres**

SUSSEX COUNTY  
PLANNING & ZONING

APPLICANT: **Jennifer Knighton**

FILE NO: **OM-9.04**

TAX MAP &  
PARCEL(S): **235-27.00-94.00**

LOCATION: **On the east side of Brohawn Ave within the Carsyljan Acres  
subdivision**

NO. OF UNITS: **2**

GROSS  
ACREAGE: **0.5848**


SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **4**

**SEWER:**

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?  
Yes  No
- a. If yes, see question (2).  
b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 1**
- (3). Is wastewater capacity available for the project? **Yes** If not, what capacity is available? **N/A.**
- (4). Is a Construction Agreement required? **Yes** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A.** Is it likely that additional SCCs will be required? **Yes** If yes, the current System Connection Charge Rate is **Unified \$6,360.00** per EDU. Please contact **Christine Fletcher** at **302-855-7719** for additional information on charges.

- (6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **N/A**
- Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.
- (7). Is project adjacent to the Unified Sewer District? **N/A**
- (8). Comments: **The current parcel has one 6-inch lateral. If the subdivision of the parcel is approved, another parcel will have to be installed at owner's expense. There is currently a structure on the parcel. A system connection charge will be due for the newly created parcel.**
- (9). Is a Sewer System Concept Evaluation required? **No**
- (10). Is a Use of Existing Infrastructure Agreement Required? **No**

UTILITY PLANNING APPROVAL:



John J. Ashman  
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.  
Lisa Walls  
Christine Fletcher

Property Subdivision  
7171 Brohawn Lane  
Lot 13B  
Lewes, DE 19958

~ January 10, 2020  
Jennifer Knighton & Jeffrey Nolt  
Residential Property

Planning and Zoning Department 2 The Circle  
PO Box 417  
Georgetown, DE 19947  
Phone: (302) 855-7878 Fax: (302) 854-5079  
sussexcountyde.gov

Purchased September 8, 2006

Due to life changes (marriage, etc) both parties are interested in dividing the property and creating homes on their part of the divided property. It will in no way affect any other property. Seeking 51% of Carsyljan Acres residence.

Name: Cindy Gromofsky (Alan) Phone: 914-216-2789  
Address: 17193 Brohawn  
Email: cingromo@gmail.com

Name: VICTOR MARTINEZ Phone: 302-218-3501  
Address: 29811 Vincent Ave Lewes DE 19958  
Email: Vmmustang@verizon.net (OWNS 3 PROPERTIES IN COMMUNITY)

Name: FRANCES DRENNAN Phone: 302 420-3277  
Address: 29809 Vincent Ave Lewes De 19958  
Email: drennan@gmail.com

Name: CAROL FRIEND Phone: 302-542-7826  
Address: 29796 Vincent Ave. Lewes DE 19958  
Email: CLFRIEND62@comcast.net (OWNS MULTIPLE PROPERTIES)



### Search results

Clear Selected

Selected Features:

Parcels (1)

1) 235-27.00-94.00

Zoom

Book	3361
Page	29
Owner Name	NOLT JEFFREY F & JENNIFER K
Second Owner Name	KNIGHTON
Mailing Address	<b>4008 Hillcrest Ave</b>
City	BALTIMORE
State	MD <b>21225</b>
Sewer Account	10-30-094
Description	RD MILTON TO LEWES
Description 2	LOT 13B T#38027
Description 3	CARSYLJAN ACRES
Land Code	RT
Town Code	00

Selected Features (1)

Name: OSCAR L BUNDICK Phone: 302-645-2095

Address: 29780 VINCENT AVE

Email: OSCAR17301@aol.com

Name: NANCY KERPER Phone: 610-750-4999

Address: 29779 Vincent Ave.

Email: NKERPER2330@COMCAST.NET

Name: Ernie Hopkins Phone: 302 584 5544

Address: 29787 Vincent Ave Lewes DE

Email: ernie

Name: LORRAINE COOK Phone: 302-727-8208

Address: 17125 Browns Ave Lewes, DE.

Email: \_\_\_\_\_

Name: ROBERT R LAYTON Phone: (2 Lots)

Address: 29850 VINCENT AVE

Email: \_\_\_\_\_

Name: Jeanie Argo Phone: 684-8646

Address: 29835 Vincent Ave. (3 lots)

Email: \_\_\_\_\_

Name: Linda LaManna Phone: 302-644-2918

Address: 29778 Paul Ave

Email: \_\_\_\_\_

Name: Anthony Dignard Phone: 302-645-8061  
Address: 29775 PAUL Ave Lewes, De 19958  
Email: \_\_\_\_\_

Name: Rose Spuebeck Phone: -  
Address: 29763 PAUL AVE Lewes 19958  
Email: -

Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
Address: \_\_\_\_\_  
Email: \_\_\_\_\_

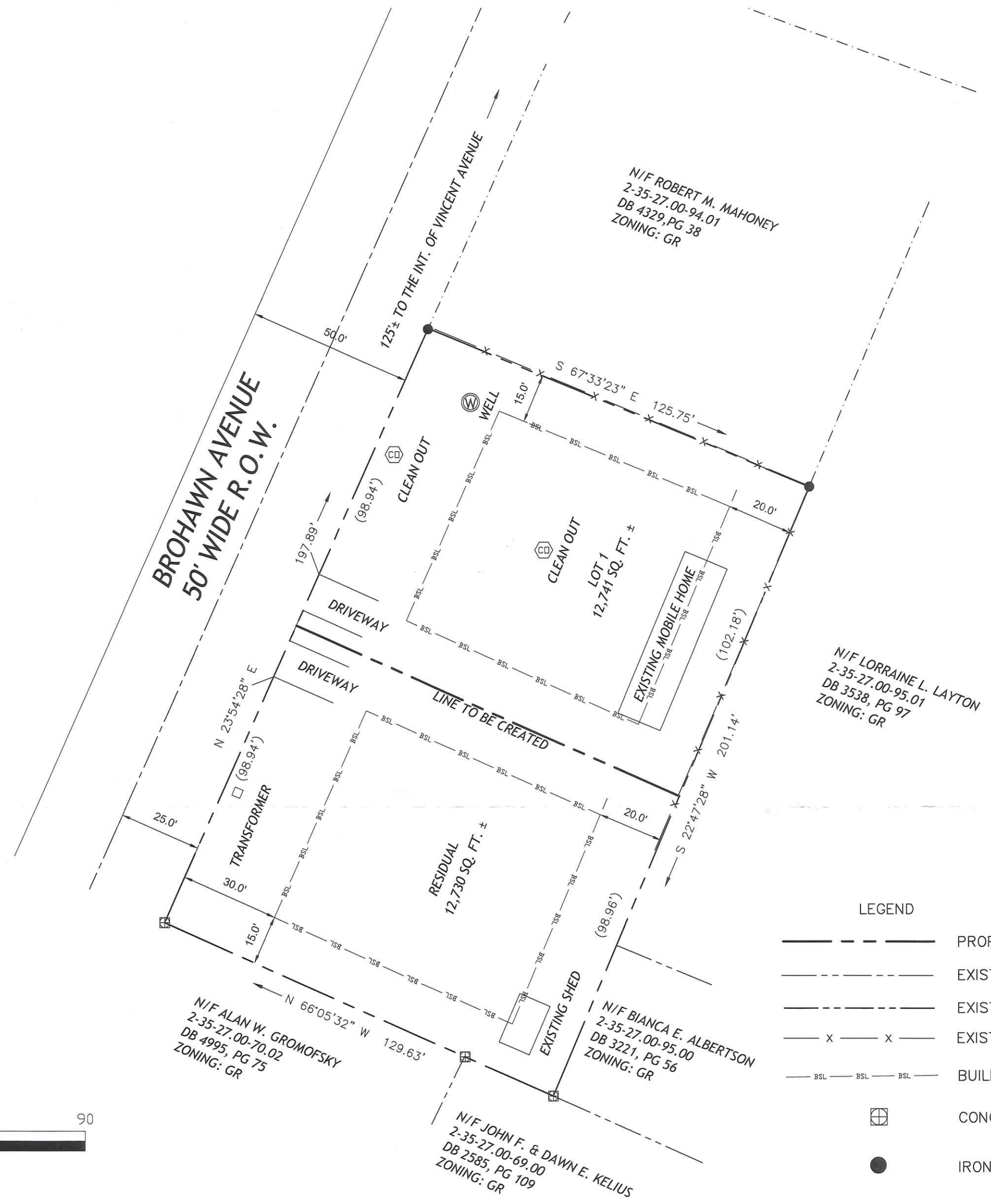
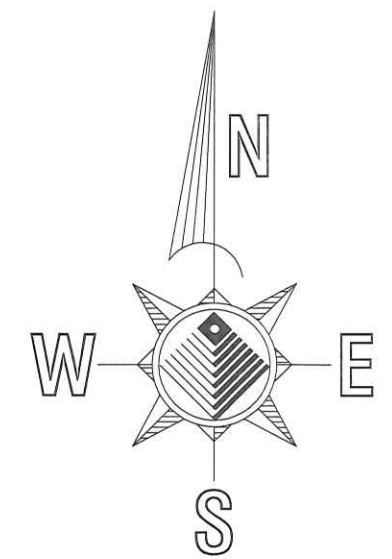
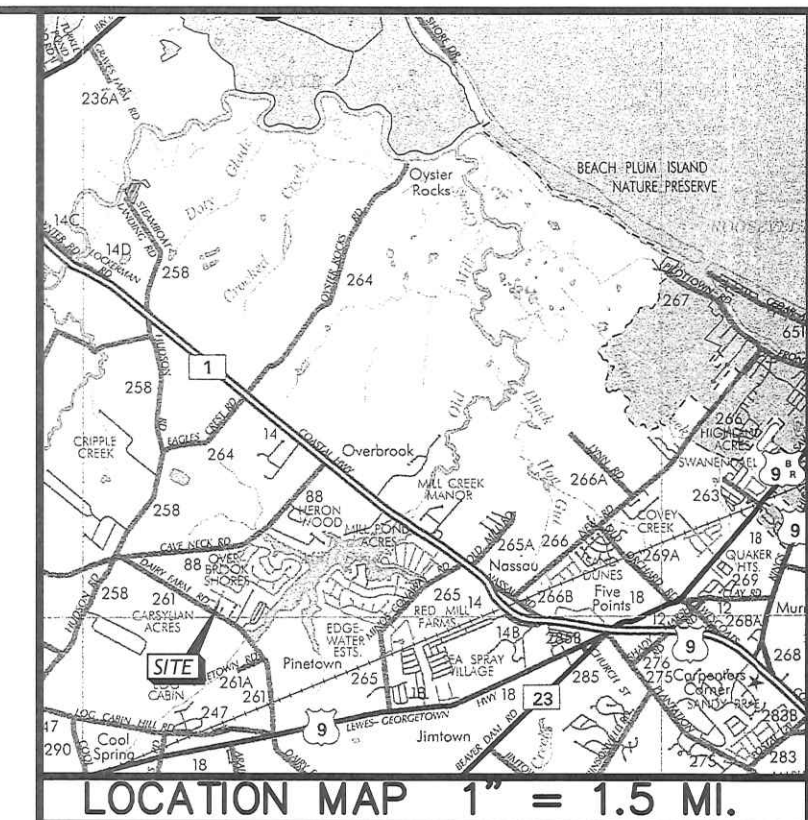
Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
Address: \_\_\_\_\_  
Email: \_\_\_\_\_

Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
Address: \_\_\_\_\_  
Email: \_\_\_\_\_

Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
Address: \_\_\_\_\_  
Email: \_\_\_\_\_

Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
Address: \_\_\_\_\_  
Email: \_\_\_\_\_

Warning: Original paper plans contain a red ink stamp of a professional seal. Original mylar plans contain a red ink stamp of a professional seal. Unauthorised copies may contain fraudulent, incorrect, erroneous, or misleading information or omit important and relevant information. Do not use or rely on unauthorised copies.



**SITE DATA**

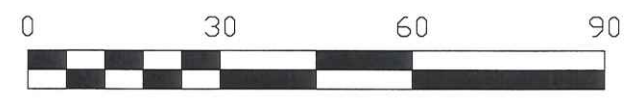
- TAX MAP PARCEL.....2-35-27.00-94.00
- GROSS AREA.....25,471 SQ.FT.±
- LOT AREA.....12,741 SQ.FT.±
- RESIDUAL AREA.....12,730 SQ.FT.±
- ZONING.....GR
- PRESENT USE.....RESIDENTIAL
- PROPOSED USE.....RESIDENTIAL
- POSTED SPEED LIMIT.....25 MPH
- FUNCTIONAL CLASSIFICATION.....LOCAL ROAD
- SEWER.....INDIVIDUAL ON SITE
- WATER.....INDIVIDUAL ON SITE
- NUMBER OF LOTS.....1 PROPOSED PLUS RESIDUE
- PROXIMITY TO TID.....NO

OWNER OF RECORD  
 JOHN WHALES  
 121 SOUTH LINWOOD AVENUE  
 BALTIMORE, MD 21224  
 443-858-8529

LOT 1 AND RESIDUE SHALL HAVE ACCESS TO BROHAWN AVENUE WITH COMBINED ENTRANCES AS DEPICTED ON THIS PLAT.

THIS SITE IS NOT IMPACTED BY A FLOOD HAZARD AREA PER F.I.R.M. 10005C0188K EFFECTIVE 3/16/2015.

- LEGEND**
- — — — — PROPOSED PROPERTY LINE
  - — — — — EXISTING ADJOINER PROPERTY LINE
  - — — — — EXISTING BOUNDARY LINE
  - x — x — EXISTING FENCE
  - BSL — BSL — BSL — BUILDING SETBACK LINE
  - ⊕ CONCRETE MONUMENT FOUND
  - IRON PIPE FOUND



**SURVEYOR'S CERTIFICATION**

I, ROBERT W. NASH, P.L.S. #551, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

ROBERT W. NASH, PLS 551 \_\_\_\_\_ DATE \_\_\_\_\_

**OWNERS CERTIFICATION**

I, JOHN WHALES, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

AUTHORIZED SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

<b>JOHN WHALES</b>	
<b>SUBDIVISION</b>	
 <b>MERESTONE</b> CONSULTANTS, INC. ENGINEERS - PLANNERS - SURVEYORS	BROADKILL HUNDRED SUSSEX COUNTY, DELAWARE
	DATE: 15 JULY 2020
5215 WEST WOODMILL DRIVE WILMINGTON, DE 19808 PH: 302-992-7900 FAX: 302-992-7911	W.O.: 24683L
	SCALE: 1"=30'
33516 CROSSING AVE. FIVE POINTS SQUARE UNIT 1 LEWES, DE 19958 PH: 302-226-5880 FAX: 302-226-5883	F.B.: 24683L
T.M.: 2-35-27.00-94.00	DISK: _____ DRAWN BY: TML



**PLANNING & ZONING COMMISSION**

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE-CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY J. WINGATE



**Sussex County**

DELAWARE  
sussexcountyde.gov  
302-855-7878 T  
302-854-5079 F  
JAMIE WHITEHOUSE, AICP, MRTPI  
DIRECTOR OF PLANNING & ZONING

**PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET**  
Planning Commission Public Hearing Date December 10<sup>th</sup>, 2020.

Application: (2020-18) The Woodlands II

Applicant: Gulf-Stream Development  
27 Atlantic Ave  
Ocean View, DE

Owner: Paul D. Jankovic  
P.O. Box 3605  
Ocean City, MD 21843

Site Location: Located on the east side of Brohawn Ave within the Carsyljan Acres subdivision

Current Zoning: Agricultural Residential (AR-1)

Proposed Use: 33 Single Family Lots

Comprehensive Land Use Plan Reference: Coastal Area

Councilmatic District: Mr. Rieley

School District: Indian River School District

Fire District: Milville Volunteer Fire District

Sewer: Sussex County

Water: Tidewater Utilities

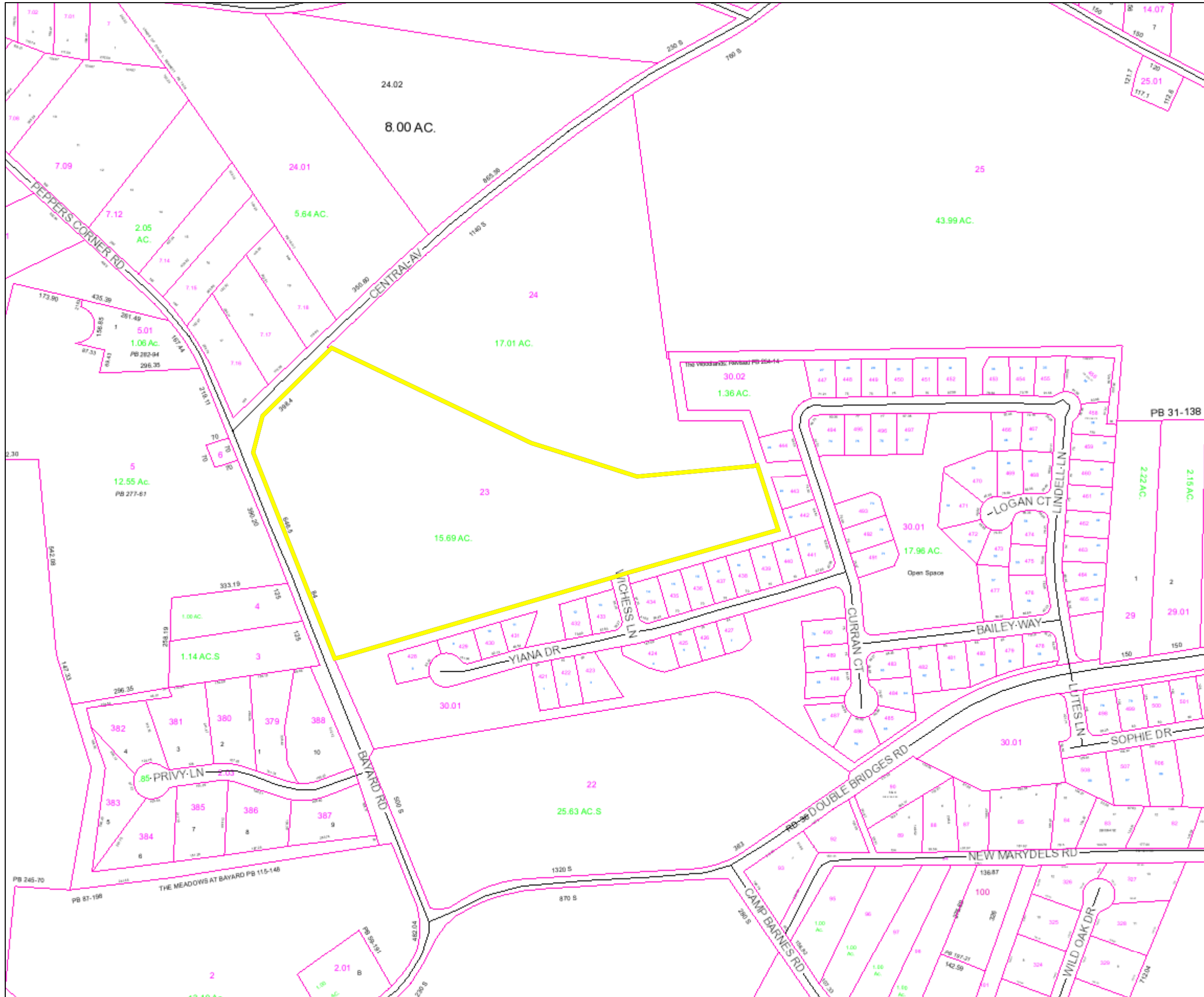
Site Area: 16.52 acres +/-

Tax Map ID.: 134-19.00-23.00





# Sussex County



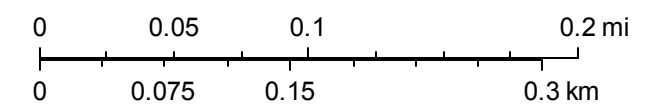
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<b>Owner Name</b>	JANKOVIC PAUL D
<b>Book</b>	1831
<b>Mailing Address</b>	PO BOX 3605
<b>City</b>	OCEAN CITY
<b>State</b>	MD
<b>Description</b>	E.SIDE ROUTE 84
<b>Description 2</b>	15.69 ACRES
<b>Description 3</b>	WITH IMP.
<b>Land Code</b>	

- polygonLayer**

  - Override 1
- polygonLayer**

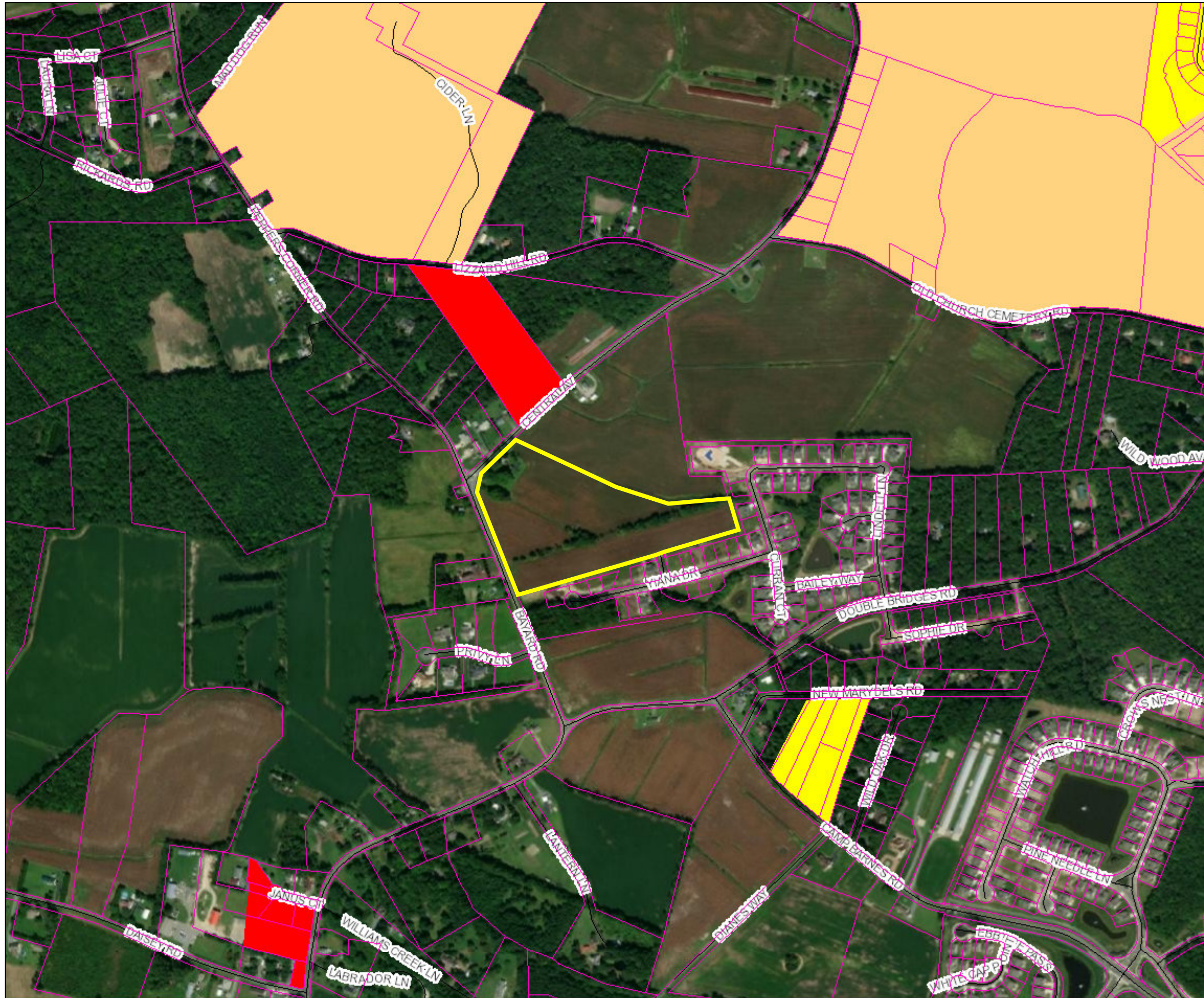
  - Override 1
- Tax Parcels
- Streets
- County Boundaries
- Municipal Boundaries

1:4,514





# Sussex County



<b>PIN:</b>	134-19.00-23.00
<b>Owner Name</b>	JANKOVIC PAUL D
<b>Book</b>	1831
<b>Mailing Address</b>	PO BOX 3605
<b>City</b>	OCEAN CITY
<b>State</b>	MD
<b>Description</b>	E.SIDE ROUTE 84
<b>Description 2</b>	15.69 ACRES
<b>Description 3</b>	WITH IMP.
<b>Land Code</b>	

**polygonLayer**

Override 1

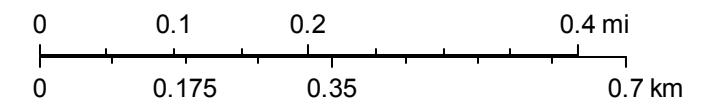
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Override 1

Tax Parcels

Streets

1:9,028



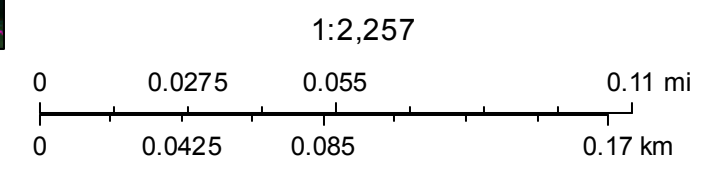


# Sussex County



<b>PIN:</b>	134-19.00-23.00
<b>Owner Name</b>	JANKOVIC PAUL D
<b>Book</b>	1831
<b>Mailing Address</b>	PO BOX 3605
<b>City</b>	OCEAN CITY
<b>State</b>	MD
<b>Description</b>	E.SIDE ROUTE 84
<b>Description 2</b>	15.69 ACRES
<b>Description 3</b>	WITH IMP.
<b>Land Code</b>	

- polygonLayer**
- Override 1
- polygonLayer**
- Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- Municipal Boundaries



# Sussex County Major Subdivision Application

## Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

**Type of Application: (please check applicable)**

Standard:

Cluster:

ESDDOZ:

**Location of Subdivision:**

Intersection of Bayard Ave. & Central Ave.

**Proposed Name of Subdivision:**

The Woodlands II

**Tax Map #:** 1-34-19.00-23.00 **Total Acreage:** 16.52

**Zoning:** AR-1 **Density:** 1.997 **Minimum Lot Size:** 7500SF **Number of Lots:** 33

**Open Space Acres:** 6.23

**Water Provider:** Tidewater Utilities **Sewer Provider:** Sussex County

**Applicant Information**

Applicant Name: Gulf-stream Development

Applicant Address: 27 Atlantic Ave.

City: Ocean View State: DE Zip Code: 19970

Phone #: (302) 539-6178 E-mail: \_\_\_\_\_

**Owner Information**

Owner Name: Paul D. Jankovic

Owner Address: P.O. Box 3605

City: Ocean City State: MD Zip Code: 21843

Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Agent/Attorney/Engineer Information**

Agent/Attorney/Engineer Name: Ron Sutton

Agent/Attorney/Engineer Address: 55 West Main Street

City: Middletown State: DE Zip Code: 19709

Phone #: (302) 547-2444 E-mail: ron@cea-de.com



# Check List for Sussex County Major Subdivision Applications

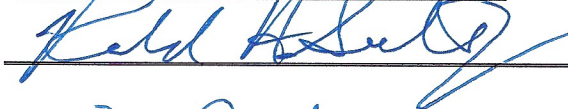
The following shall be submitted with the application

- Completed Application**
- Provide fifteen (15) copies of the Site Plan or Survey of the property and a PDF (via e-mail)**
  - Plan shall show the existing conditions, setbacks, roads, floodplain, wetlands, topography, proposed lots, landscape plan, etc. **Per Subdivision Code 99-22, 99-23 & 99-24**
  - Provide compliance with Section 99-9.
  - Deed or Legal description, copy of proposed deed restrictions, soil feasibility study
- Provide Fee \$500.00**
- Optional - Additional information for the Commission to consider** (ex. photos, exhibit books, etc.) If provided submit seven (7) copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.
- Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.**
- PLUS Response Letter** (if required)
- 51% of property owners consent if applicable**

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

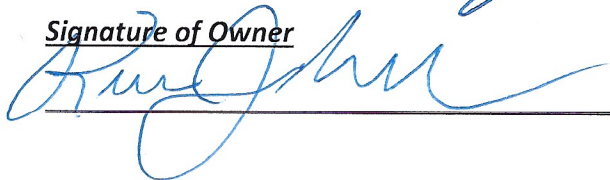
I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney



Date: 9-22-20

Signature of Owner



Date: 9/22/20

*For office use only:*

Date Submitted: \_\_\_\_\_

Fee: \$500.00 Check #: \_\_\_\_\_

Staff accepting application: \_\_\_\_\_

Application & Case #: \_\_\_\_\_

Location of property: \_\_\_\_\_

Date of PC Hearing: \_\_\_\_\_

Recommendation of PC Commission: \_\_\_\_\_

**SUSSEX COUNTY ENGINEERING DEPARTMENT**  
**UTILITY PLANNING DIVISION**  
**C/U & C/Z COMMENTS**

TO: **Jamie Whitehouse**

REVIEWER: **Chris Calio**

RECEIVED

DATE: **11/24/2020**

NOV 30 2020

APPLICATION: **2020-18 – The Woodlands II**

SUSSEX COUNTY  
PLANNING & ZONING

APPLICANT: **Gulf-Stream Development**

FILE NO: **SPS-5.04**

TAX MAP &  
PARCEL(S): **134-19.00-23.00**

LOCATION: **Located on the northeast side of Bayard Road and the southeast side of Central Avenue.**

NO. OF UNITS: **33**

GROSS  
ACREAGE: **16.52**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

**SEWER:**

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?  
Yes  No
- a. If yes, see question (2).  
b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 2**
- (3). Is wastewater capacity available for the project? **Yes** If not, what capacity is available? **N/A.**
- (4). Is a Construction Agreement required? **Yes** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A.** Is it likely that additional SCCs will be required? **Yes** If yes, the current System Connection Charge Rate is **Unified \$6,360.00** per EDU. Please contact **Noell Warren** at **302-855-7719** for additional information on charges.

- (6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **Yes**
- Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.
- (7). Is project adjacent to the Unified Sewer District? **Yes**
- (8). Comments: **Click or tap here to enter text.**
- (9). Is a Sewer System Concept Evaluation required? **Yes, Contact Utility Planning at 302-855-1299 to apply**
- (10). Is a Use of Existing Infrastructure Agreement Required? **Yes**

UTILITY PLANNING APPROVAL:



---

John J. Ashman  
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.  
Lisa Walls  
Noell Warren



## ENGINEERING DEPARTMENT

ADMINISTRATION (302) 855-7718  
AIRPORT & INDUSTRIAL PARK (302) 855-7774  
ENVIRONMENTAL SERVICES (302) 855-7730  
PUBLIC WORKS (302) 855-7703  
RECORDS MANAGEMENT (302) 854-5033  
UTILITY ENGINEERING (302) 855-7717  
UTILITY PERMITS (302) 855-7719  
UTILITY PLANNING (302) 855-1299  
FAX (302) 855-7799



# Sussex County

DELAWARE  
sussexcountype.gov  
HANS M. MEDLARZ, P.E.  
COUNTY ENGINEER  
MICHAEL E. BRADY  
DIRECTOR OF PUBLIC WORKS

October 12, 2020

REF: **T. A. C. COMMENTS**  
**WOODLANDS II**  
**SEWER TIER 2**  
**SUSSEX COUNTY ENGINEERING DEPARTMENT**  
**SUSSEX COUNTY TAX MAP NUMBER**  
**134-19.00 PARCEL 23.00**  
**PROJECT CLASS – 1**  
**AGREEMENT NO. 1154**

The following comments are the result of the Sussex County Engineering Department's review of the preliminary site plan for the above referenced project:

### **PUBLIC WORKS DIVISION COMMENTS**

1. Proposed developments with private roads or projects required by the County to meet or exceed the County street design requirements shall be regulated by and conform to Sussex County Code and the comments here listed.
2. This project is not located within the limits of a Ground Water Management Zone (GMZ). Projects located within a GMZ must be forwarded to the County Engineer for review and comment.
3. Project Construction Drawings shall show, in detail, the proposed improvements. The work required includes preparation and delivery of an AutoCAD 2012 digitized plan showing existing and proposed lines, grades, topography and features in a given area, which was utilized in preparing plans for construction. The individual sheet types will be in a separate design to show plan views on sheets separate from profile views. In addition, each sheet of the plans shall be submitted in a PDF format.
4. All work shall be geo-referenced to the Delaware State Grid System NAD-83 (HARN) and provided in an AutoCAD 2012 format. North will always be shown in an up direction on all plans.
5. Topographic contours at one-foot intervals shall be shown and referenced to United States Geological Survey Mean Sea Level Datum NAVD 1988 Datum.
6. The plans shall be provided on 24" x 36" drawing sheets at a scale of 1" = 50'.

The plans shall show and address the following items at minimum:



7. The project requires professional land surveying services to accurately delineate, and show the following items but is not limited to the following: all property and right-of-way lines, established at a minimum, two (2) horizontal and vertical control concrete project benchmarks, survey monuments, easements, existing and proposed topographic contours at 1-foot vertical intervals and spot elevations as necessary to establish grades, the locations of all existing structures, highway and roadway pavements, shoulders, curbs, driveways, sidewalks, lighting structures, traffic control signs, and all public and private utilities, including, but not limited to, electric power and telephone lines, poles and boxes, underground electric, telephone, and communication lines, potable water lines, fire hydrants and valve boxes, gas lines, wells, sanitary sewers including septic systems, rim and invert elevations of manholes and cleanouts, and the rims and invert elevations and type of storm water structures, drainage ditches, ponds, streams and waterways, flood zones and flood zone boundaries and elevations, and State and Federal wetlands, trees, cemeteries and historic features, and the finished floor elevations of buildings.
8. Plans shall show the seal and signature of a registered Delaware land surveyor or registered Delaware professional engineer.
9. The plan requires a Certification Signature and/or a Certification Block for the Delaware Professional Engineer or Delaware Land Surveyor.
10. The plan requires a Certification Signature and/or a Certification Block for the Owner or Representative of the Owner.
11. The plan requires a Certification Signature and/or a Certification Block for the Professional Wetlands Delineator.
12. The name, address, phone number and contact person's name of the Owner of Record, the Developer and the Engineer or Surveyor preparing the plan.
13. Indicate the location of all wetlands (both state and federal), in order to facilitate compliance with County, State and Federal requirements.
14. Define the courses and distances of the property perimeter and the approximate acreage contained therein. Establish and set in the field two (2) CONCRETE MONUMENT project benchmarks, preferably at property perimeter corners, geo-referenced to the Delaware State Plane Coordinate system NAD 83 and show the location including the North and East coordinates of the marks on the plans.
15. Indicate the development construction phases proposed showing the boundaries of each phase. Phasing boundaries shall include buildings, residential units, amenities, roads, storm water management facilities, wastewater systems and all other improvements and utilities required to service each phase.
16. Show the layout, width and names of all streets, alleys, crosswalks and easements proposed to be dedicated for private or public use. Street names shall not duplicate nor closely resemble existing street names in the same hundred or postal district, except for extensions of existing streets.
17. Provide the limits and elevations of the one hundred (100) year flood. This may require the design engineer to complete an analysis and provide a report including the depiction of the subject watershed(s), calculations and other technical data necessary

to determine the limits and elevations base flood. The design engineer must resolve discrepancies, if any, between surveyed topography and the FEMA Flood Insurance Rate Maps.

18. The pavement radius for all cul-de-sacs shall be no less than 38 feet in diameter or as otherwise required by the State Fire Marshall's office or the County Engineering Department.
19. The right-of-way of all cul-de-sacs shall be no less than 106 feet in diameter.
20. False berms shall not be utilized to create roadside drainage swale back slopes.
21. For parking lots and drives, provide spot elevations at the edge of pavement, right-of-way or travel way centerline, at changes in grade, and high points and low points, to the nearest drainage facilities. Show the limits of the various surface materials and provide construction sections.
22. Provide and show the locations and details of all ADA compliant accessible walks and ramp features.
23. If the site has a cemetery located on it the Developer shall contact the Delaware State Historic Preservation Office and satisfy the requirements of that Office prior to beginning any construction activity. This area shall not be disturbed by this project. Adequate access to the site and buffers to protect the site, shall be provided.
24. Private rights-of-way adjacent to and abutting parcels not part of the project shall be located and designed to provide adequate buffer so that construction activities do not encroach onto adjacent properties.
25. Provide statements explaining how and when the developer proposes to provide and install the required water supply, sewers or other means of sewage disposal, street pavement, drainage structures and any other required improvements.
26. Provide statements concerning any proposed deed restrictions to be imposed by the owner.
27. Where special physical conditions exist, which may act as constraints on normal development or may preclude development, the developer may be required to submit special technical data, studies or investigations. This information must be prepared by individuals technically qualified to perform such work. Additional information may include but is not limited to the following: on-site sanitary sewage disposal feasibility, water supply surveys, such as test well drilling, storm water runoff computations and identification of areas subject to periodic flooding.
28. If special conditions are found to exist, the Engineering Department may elect to withhold approval of a construction plan until it is determined that it is technically feasible to overcome such conditions. The Engineering Department may then require the developer to incorporate specific improvement design criteria into the plat as a condition to its approval.
29. When special studies or investigations pertain to a regulatory program of another public agency, the developer shall submit the results of these studies or investigations to said public agencies for technical review and approval. Approvals and/or written comments

from these agencies shall be supplied to Sussex County by the developer.

**UTILITY PLANNING DIVISION COMMENTS**

REVIEWER: **Chris Calio**

APPLICATION: **2020-18 – Woodlands II**

APPLICANT: **Paul D. Jankovic**

FILE NO: MC-1.02

TAX MAP &  
PARCEL(S): **134-19.00-23.00**

LOCATION: **Southeast corner of Bayard Road (SCR 384) and Central Avenue (Rt. 84).**

NO. OF UNITS: 33

GROSS  
ACREAGE: 15.69

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: 4

**SEWER:**

(1). Is the project in a County operated and maintained sanitary sewer and/or water district?

Yes

No

a. If yes, see question (2).

b. If no, see question (7).

(2). Which County Tier Area is project in? Tier 2

(3). Is wastewater capacity available for the project? Yes If not, what capacity is available? N/A.

(4). Is a Construction Agreement required? Yes If yes, contact Utility Engineering at (302) 855-7717.

(5). Are there any System Connection Charge (SCC) credits for the project? No If yes, how many? N/A. Is it likely that additional SCCs will be required? **Yes**

If yes, the current System Connection Charge Rate is \$6,360.00 per EDU. Please contact **Choose an item.** at **302-855-7719** for additional information on charges.

- (6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **Yes**

Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.

- (7). Is project adjacent to the Unified Sewer District? **Yes**

- (8). Comments: **The proposed Subdivision is in a Tier 2 area for sewer service. It is contiguous to the existing Sussex County Unified Sanitary Sewer District (Miller Creek Area) and must annex into the district.**

- (9). Is a Sewer System Concept Evaluation required? **Yes, Contact Utility Planning at 302-855-1299 to apply**

- (10). Is a Use of Existing Infrastructure Agreement Required? **Yes**

If the above items, as applicable, are incorporated into the development plans, then preliminary approval is recommended. However, final plan approval should be withheld pending the approval of the construction plans by the Sussex County Engineering Department.

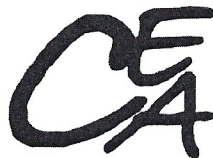
**ENVIRONMENTAL ASSESSMENT  
&  
PUBLIC FACILITY EVALUATION  
REPORT**

FOR

**JANKOVIC PROPERTY  
(WOODLANDS II)**

BALTIMORE HUNDRED  
SUSSEX COUNTY  
DELAWARE

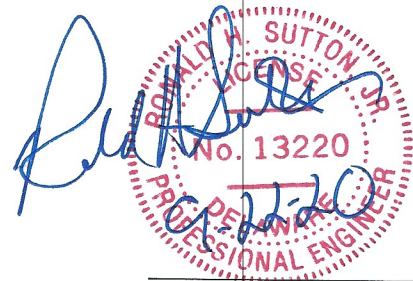
PREPARED BY:



**CIVIL ENGINEERING ASSOCIATES, LLC**

55 West Main Street  
Middletown, DE 19709  
(302) 376-8833

DATE:  
September 2020



Seal

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## **A. EXECUTIVE SUMMARY**

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### **Introduction**

This Report has been prepared in accordance with Chapter 115 – Zoning: Article XXV Supplementary Regulations, 194.3 Coastal Area of the Sussex County Code. This Report provides a summary of site specific information and accompanies the Preliminary Plans submittal, dated September 18, 2020.

### **Scope of Project:**

The proposed project will include thirty-three (33) single family lots on the property known as the Jankovic Property located on Central Avenue in Frankford, Delaware. The existing zoning designation is AR-1. We are proposing to utilize the Cluster Development Option of the AR-1 Zoning District.

The project will involve typical construction activities associated with new roads, stormwater management facilities, home construction, and utility installation. The utilities for the site will consist of electric, telecommunications, sewer, and water services to each home. Stormwater management for the site will be provided by one (1) stormwater management area (Wet detention pond).



## **B. ENGINEER'S REPORT**

---

### **Drainage and Stormwater Runoff**

Stormwater quality will be met by managing the Resource Protection Event (RPv) and quantity management will be met by managing the Conveyance Event and the Flooding Event (Cv and Fv) this will be achieved through the proposed stormwater management area and will be denoted on the plans as Stormwater Management Area. The proposed Stormwater Management Area will be a wet detention pond that will collect all of the runoff from the site. It will discharge into an existing ditch that is in good working condition.

The runoff from the areas that are being developed will be collected by several methods. Road runoff will be collected by the proposed storm drain system which outlets into the proposed stormwater management area. The runoff from the proposed lots will also be collected and directed to the proposed stormwater management areas by downspouts or by grass lined swales.

### **Potable Water**

A connection to the adjacent subdivision's (Woodlands I) Tidewater Utilities facilities is expected. During the Sussex County approval process Water Plans will be submitted to Tidewater Utilities for approval as well. Once the Tidewater Utilities approves the connection, both domestic and fire flows will be provided.

Since 33 single family lots are being proposed an estimated consumption of 8,250 GPD is anticipated. (33 lots \* 250 GPD = 8,250 GPD)

As it is expected to be served by the extension of the existing Tidewater Utilities facilities, no private wells are expected to be impacted.

### **Wastewater Treatment and Disposal**

The proposed site lies within an existing Sussex County Sanitary Sewer District, it is anticipated to connect and be served by an existing gravity sewer line situated at the adjacent subdivision (Woodlands I). Ordinance No. 38 Plans will be submitted to the County for approval.

As it is anticipated to be served by the extension of the existing gravity sewer line situated at the adjacent subdivision, no impacts to the surrounding surface or ground waters are expected.

### **Impacts to Surrounding Roadways**

The Woodlands II development is proposed to contain 33 single family detached homes. Based upon the latest Institute of Transportation Engineers Traffic Generation Manual, a single family home is anticipated to generate approximately 9.44 vehicle trips per day (1/2 entering the site, 1/2 leaving the site), and the site is anticipated to generate approximately 375 vehicle trips per day (187 entering, 188 leaving).

Based upon the 2018 DeIDOT Traffic Counts, Central Avenue currently carries 2,484 average annual daily vehicles. Therefore, it is anticipated that the Woodlands II development will not cause any adverse impacts to the surrounding road network.

### **Endangered or Threatened Species**

Based upon a field investigation performed by consultant, Environmental Resources, Inc., the existence of any endangered or threatened species is not expected.

### **Preservation and Protection of Tidal and Non-Tidal Wetlands**

A wetland delineation was performed by Edward M. Launay, Environmental Resources, Inc. in September 2018. Based on the delineation it was determined that no wetland exists on the site.

### **Open Space and Buffers**

Under the designed layout of the proposed Woodlands II development approximately 6.23 acres are provided as open space. The total area of the site is 16.52 acres, which produces 37.7% of provided open space. This fulfills the required minimum open space of 30%.

In addition, forested buffer strips are being proposed north, south and east of the project site. These forested buffers strips will be composed of a mix of 70% deciduous shade trees and 30% evergreen trees. They will also follow the Sussex County code requirement of having a minimum total of 15 trees for every one-hundred foot length of buffer.

### **Proposed Public and Private Infrastructure**

The proposed development will extend public water facilities to the site. Similarly, sewer facilities will also be extended to the site.

### **Economic & Recreational Benefits**

The proposed development is anticipated to provide several economic benefits including:

- By extending the public water and sewer to the site will result in a possible expansion into adjacent properties and therefore possibly more developments.
- The proposed development is also anticipated to increase the tax base of Sussex County.

The proposed development is anticipated to provide several recreational benefits including:

- Large areas for recreational uses.
- An aesthetic wet pond with vast area around to sit.

### **Historic and Cultural Resources**

There is no presence of any historic or cultural resources listed on the National register of Historic Places at the site.

**Affirmation of Conformance with Sussex County Comprehensive Plan**

The proposed development has been designed in accordance to the current Sussex County Comprehensive Plan.

**Actions Taken to Mitigate Proposed Impacts of the Development**

No negative impact to the environment and its surrounding community is projected to originate from the proposed development.

September 19, 2018

ERI Project No. 806#0753

Mr. Jamie Whitehouse, Manager  
Department of Planning and Zoning, Sussex County  
2 The Circle, P.O. Box 417  
Georgetown, DE 19947

RE: Woodlands II, Jankovic Property  
Conceptual Site Plan

Dear Mr. Whitehouse,

I am writing you as the environmental consultant and professional wetland scientist working on the Woodlands II project for which a Conceptual Site Plan has been filed with your office. In your September 13 email to Mr. Jack Haese you requested some clarification in regard to a Jurisdictional Determination (No. JD – 066/18) letter dated June 21, 2018 from DNREC's Wetlands & Subaqueous Lands Section (WSLS). I wanted to respond to your request by providing this report about the WSLS letter as I worked with WSLS to obtain the letter and was present during their May 7, 2018 site visit. In addition, I have been working with DNREC's Drainage Sections to abandon the tax ditch right of way on the property, as well as prepare a report and plan to obtain a Jurisdictional Determination Letter from the Corps of Engineers as to the extent of federally regulated waters or wetlands on the site, if any.

To aid in my discussion of the site, I have enclosed the figure prepared by the WSLS illustrating their determination as to the extent of state regulated subaqueous lands (waters) provided as part of their June 21<sup>st</sup> letter (enclosed) upon which I have provided some additional labeling discussed herein. I have highlighted sections of the WSLS letter as they apply to particular ditches on the site as well. I have also provided a copy of the DNREC's Drainage Section Tax Ditch Map. As shown on that map the drainage ditch along the northeast Woodlands II property line is designated as Sub Prong 1 of the Beaver Dam Tax Ditch. As an aside I would let you know that ERI has filed a request with the Drainage Section to abandon the portion of this tax ditch within the Woodlands II site. The physical ditch does not extend to Central Ave (see WSLS Map) and provides little drainage benefit as it's function will be replaced by the future stormwater management plan within the Woodlands II project.

ERI agrees with the conclusions and observations of the WSLs Jurisdictional Determination Letter. On their plan the ditches designated in red which include two small ditches connecting into Sub Prong 1 were determined to be ephemeral features, which only exhibit flow during precipitation events (see yellow highlighting in letter). ERI notes that based upon study of historic aerial photography these ditches are man made channels excavated in uplands for agricultural purposes, draining only upland. DNREC determined these areas were not regulated subaqueous land. As such, these are not streams. For similar reasons, these features are not "Waters of the U.S." subject to regulation under the Corps of Engineers Regulatory Program. I would let you know that ERI is currently preparing and submitting a Jurisdictional Determination Request to the Corps of Engineers for this property which will provide confirmation of that fact.

In the WSLs Jurisdictional Determination, the easterly portion of the Sub Prong 1 Tax Ditch was designated in green. As stated in the WSLs letter (see green highlighting) this part of Sub Prong 1 was determined to be a state regulated subaqueous land, However, it was determined to have only intermittent flow.

In accordance with current Sussex County Code, a 50' buffer is required for streams with perennial (year-round) flow. Review of the current Woodlands II Conceptual Plan by Civil Engineering Associates, LLC. (CEA) shows that while not required, a 50-foot buffer to this designated subaqueous land has been provided exceeding code requirements.

In so far as possible federal regulation of the portion of Sub Prong 1 determined to be subaqueous land, since the WSLs has determined it to be state regulated subaqueous land with intermittent (seasonal) flow, the jurisdictional determination request ERI is submitting to the Corps will identify this portion of Sub Prong 1 as "Water of the U.S." However, it is possible that since Sub Prong 1 is a man-made feature excavated in upland, draining only uplands, the Corps may defer taking jurisdiction under current policies of that program.

In conclusion, the USGS Topographic Survey of the Woodlands II site shows three blue line features all of which are man made agriculture ditches based upon review of historic maps and photographs. Agricultural ditches in Sussex County are routinely illustrated as blue line features. Careful on-site evaluation is needed to determine if such features are streams.

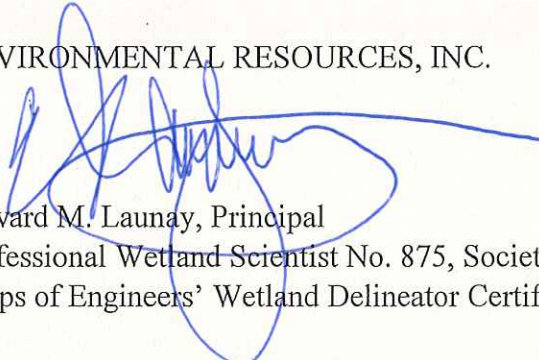
ERI and DNREC's WSLs have carefully evaluated these features. It has been determined that only the easterly portion of the Sub Prong 1 tax ditch is a state regulated subaqueous land (stream) exhibiting only intermittent flow. Potential regulation of "Waters of the U.S." by the Corps of Engineers may be similar or less than that of the WSLs determination.

Under current Sussex County Code, only streams with perennial flow require a 50-foot buffer. The current Woodlands II Conceptual Plan proposes a buffer from the WSLs designated intermittent stream which exceeds Code requirements.

I trust this discussion has clarified the circumstance of existing conditions on this site and the findings of the WSLs. Upon your review, if you have any additional questions, I am available at your convenience.

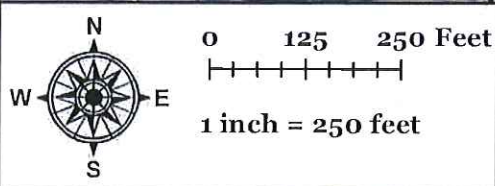
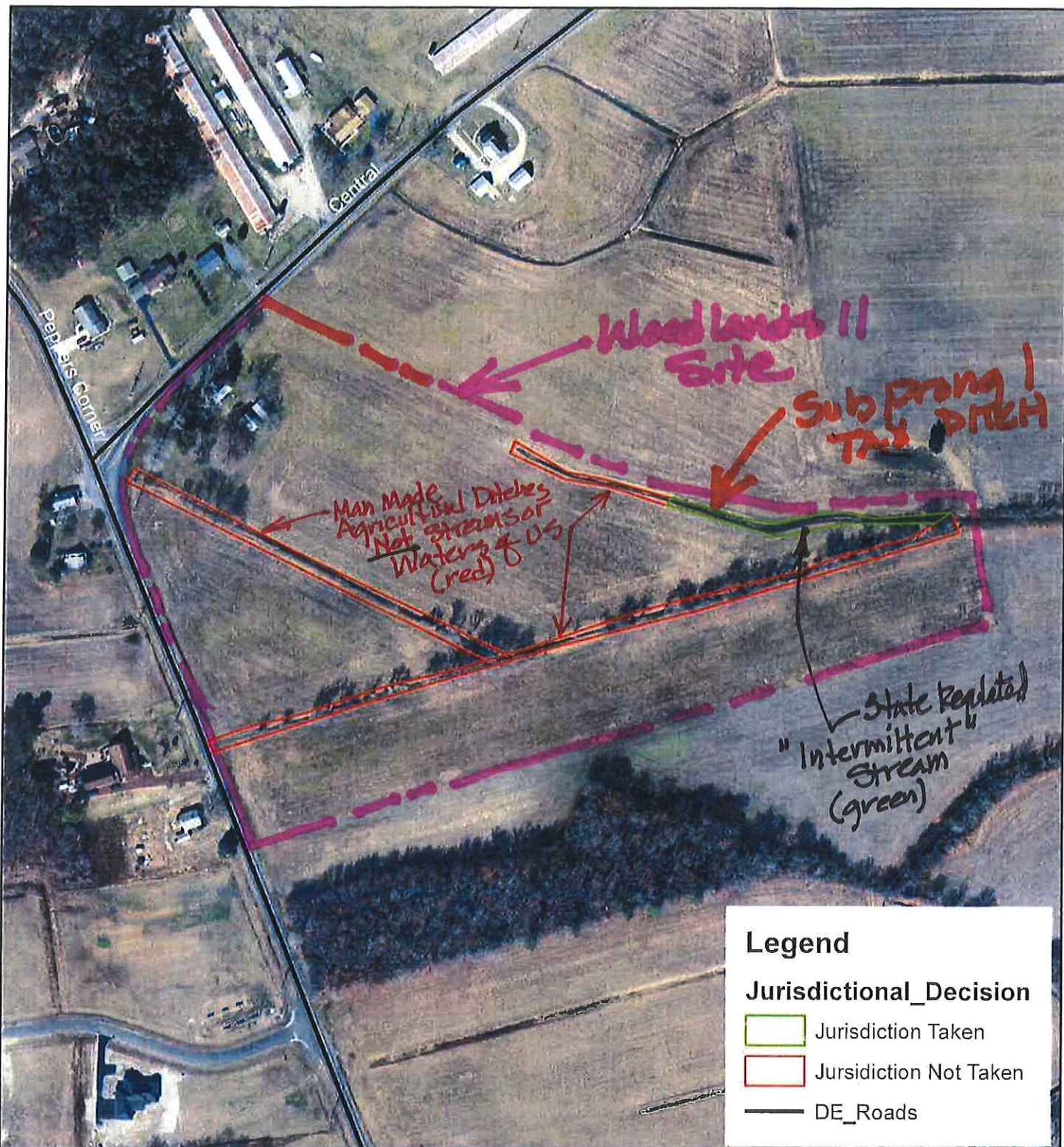
Sincerely,

ENVIRONMENTAL RESOURCES, INC.



Edward M. Launay, Principal  
Professional Wetland Scientist No. 875, Society of Wetland Scientists  
Corps of Engineers' Wetland Delineator Certification No. WDCP93MD0510036B

Cc: Mr. Jack Haese, Insight Homes  
Mr. Ron Sutton, CEA, LLC.



Paul Jankovic  
 PO Box 3605  
 Ocean City, MD 21843  
 Tax Parcel #: 1-34-19.00-23.00

2017 Aerial Photography



Division of Water:  
 Wetlands &  
 Subaqueous  
 Lands Section

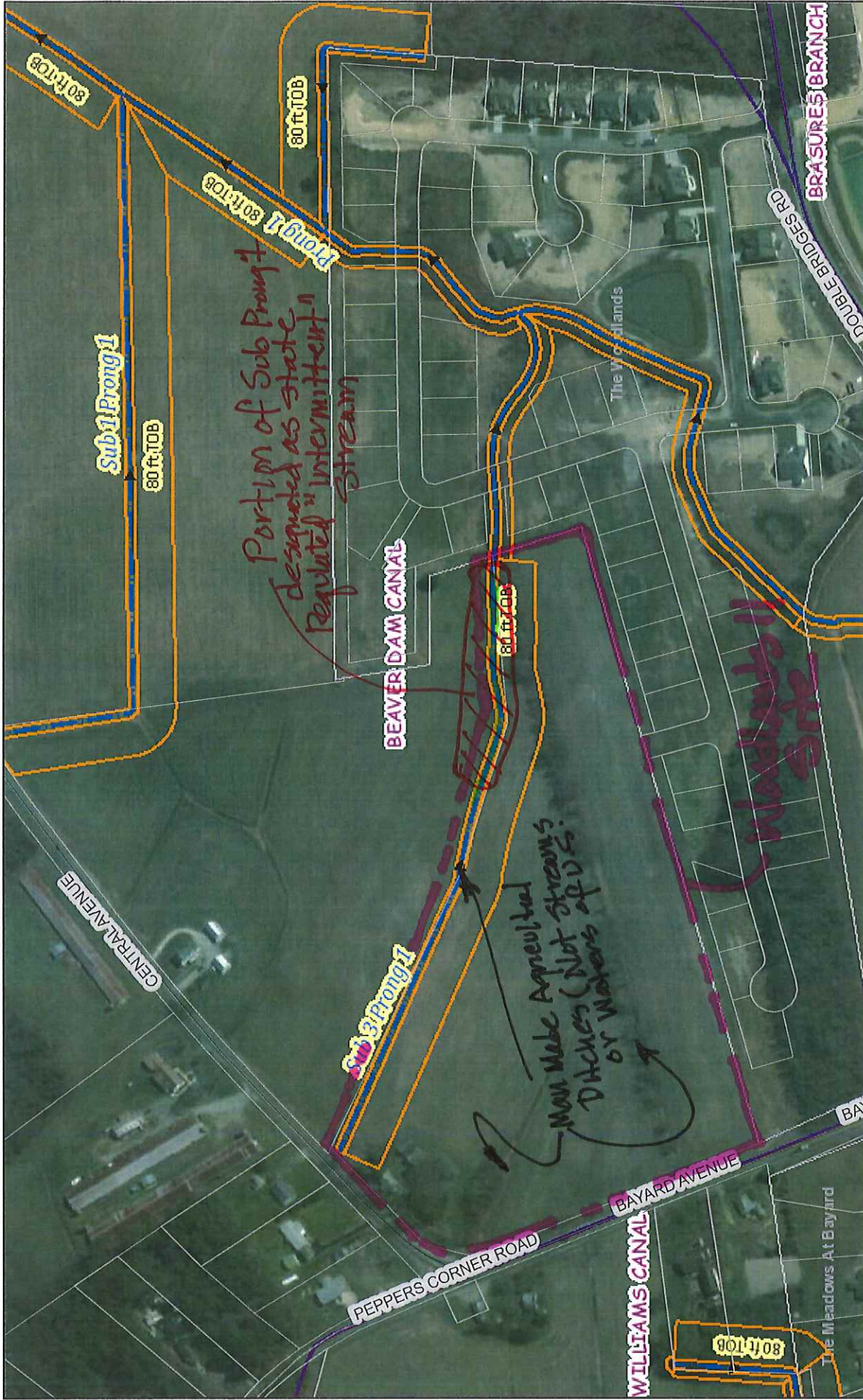
Date: 5/7/2018

Scientist: Matthew Jones

Project No.: JD-066/18

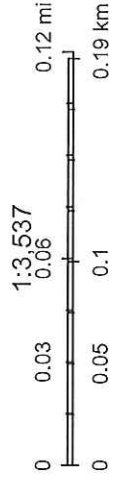
Map: 1

ERI FIGURE 1



April 25, 2018

1:3,537



- Tax Ditch Segments
- DE\_State\_Parcels - Sussex Parcels
- Approx. Watershed Boundary
- Extent of Right-of-Way
- Tax Ditch Channel
- Municipalities
- Communities
- Pond Feature
- Special Access ROW

Delaware Office of State Planning Coordination, Counties, DNREC, Division of Watershed Stewardship, Drainage Program, john.inkster@state.de.us, DNREC, Division of Watershed Stewardship, Drainage Program

These maps do not replace the official documents on file in the Prothonotary's Office, and are not to be used for engineering purposes.





STATE OF DELAWARE  
DEPARTMENT OF NATURAL RESOURCES &  
ENVIRONMENTAL CONTROL  
**DIVISION OF WATER**  
89 KINGS HIGHWAY  
DOVER, DELAWARE 19901

WETLANDS & SUBAQUEOUS  
LANDS SECTION

TELEPHONE (302) 739-9943  
FACSIMILE (302) 739-6304

June 21, 2018

Paul Jankovic  
PO Box 3605  
Ocean City, MD 21843

Jurisdictional Determination No.: JD-066/18  
RE: Subaqueous Lands Jurisdictional Determination  
At the northeast corner of Central Avenue & Bayard Road  
Tax Parcel #: 1-34-19.00-23.00

Dear Mr. Jankovic:

At your request, an evaluation has been conducted regarding the above-referenced property to determine if features are subject to State jurisdiction pursuant to 7 Del. C., Chapter 72, The Subaqueous Lands Act and the "Regulations Governing the Use of Subaqueous Lands".

The jurisdictional determination included a review of 1937, 1954, 1961, 1968, 1992, 2007, 2012 and 2017 aerial photography and 1992 and 2014 USGS topographic quadrangle maps and the 1931 War Department Topographic Map. In addition to the desktop review, a site visit was performed on May 7, 2018.

The property is drained by a southeast flowing channel which is part of the Beaver Dam Canal Tax ditch complex that connects downstream to Prong 1 of the Beaver Dam Canal complex. Additionally, there are two lateral ditches connected to this drainage feature as depicted on the plan. Soils on the site are predominantly comprised of the very poorly drained Mullica-Berryland soil complex. There is also a small inclusion of the poorly drained Hammonton soil series. Very poorly drained soils such as the Mullica-Berryland complex exhibit a water table at or near the soil surface during most of the growing season. Moderately well drained soils such as the Hammonton series exhibit a shallow water table periodically during the growing season. The Delaware Environmental Observing System recorded rainfall totaling .02 inches at the Bethany Beach-DE-NGTS monitoring station for the month of May 2018 and the site received 0.02 inches of rain 2 days prior to the site visit.

Drainage features are evident on this site on the earliest available aerial photography (produced in 1926), although most are not in the same configuration as currently exists. The drainage features on this site appear to have been altered by agricultural practices over the years resulting in the current configuration.

Jurisdiction was evaluated in the field by Matthew Jones of the WSLs. The methodology used was from the Delaware Stream Jurisdictional Determination Field Form Version 1.0, an adopted version of the North Carolina Division of Water Quality "Methodology for Identification of Intermittent and Perennial Streams and Their Origins, Version 4.11". The accompanying field form uses a scoring system

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to award points based upon the observation of geomorphic, hydrologic and biological stream features. Utilizing this form, the drainage feature scored a 23.00, which indicates an intermittent feature. A score of 19 or higher would be needed to provide evidence of a jurisdictional feature. During the site visit WSLs representatives noticed that a portion of the southeast flowing channel on the above referenced parcel depicted in green was holding water. WSLs inspected the feature at several locations in close proximity of the above parcel and determined there was observable flow, presence of a continuous channel and bank, a thalweg indicative of sustained water flow, and wetland vegetation indicative of a low gradient, low velocity intermittent or perennial stream. The channel also flows through very poorly drained soils providing evidence that the channel receives groundwater discharge that sustains an annual extended period of baseflow.

Additionally, jurisdiction of the two (2) lateral channels was also evaluated in the field by Matthew Jones of the WSLs. The methodology used was from the Delaware Stream Jurisdictional Determination Field Form Version 1.0, an adopted version of the North Carolina Division of Water Quality "Methodology for Identification of Intermittent and Perennial Streams and Their Origins, Version 4.11". The accompanying field form uses a scoring system to award points based upon the observation of geomorphic, hydrologic and biological stream features. Utilizing this form, the drainage feature scored a 16.00, which indicates an ephemeral feature. A score of 19 or higher would be needed to provide evidence of a jurisdictional feature. During the site visit WSLs representatives noticed that the laterals channels on the above referenced parcel depicted in red were holding water. There was a substantial amount of litter and brush within the ditch of the above referenced property; therefore, the WSLs inspected the feature at several locations in close proximity of the above parcel and determined there was little to no water movement, lacking a definable thalweg, substantial leaf litter in the bed of the ditch, recent rain fall, the observation of woody shrubs within the feature, the presence of algae along the entire feature and the review of soil survey maps help designate the feature as a non-jurisdictional ditch.

Based on this review, the WSLs determined that a portion of the southeast flowing channel along the eastern boundary depicted in green to be jurisdictional and, consequently, subject to the Subaqueous Lands Act, 7 Del.C. Chapter 72 or the "Regulations Governing the Use of Subaqueous Lands" and jurisdiction over the above referenced feature will be taken by the Wetlands and Subaqueous Lands Section. This decision was based, in-part, on the presence of a continuous channel and bank, observable flow, a thalweg indicative of sustained water flow, and wetland vegetation indicative of a low gradient, low velocity intermittent or perennial stream. The channel also flows through very poorly drained soils providing evidence that the channel receives groundwater discharge that sustains an annual extended period of baseflow.

Consequently, the lateral channels depicted in red on the subject property are not subject to the Subaqueous Lands Act, 7 Del.C. Chapter 72 or the "Regulations Governing the Use of Subaqueous Lands". This decision was base, in-part, on the lack of a definable thalweg, substantial leaf litter in the bed of the ditch, recent rain fall, the observation of woody shrubs within the feature and the presence of algae.

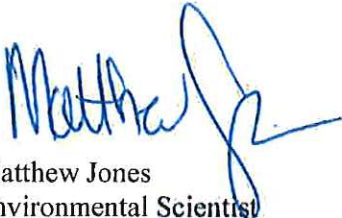
This determination applies only to the feature (s) described above and as highlighted on the attached map and should not be construed as applying to any other water or wetland feature on or adjacent to the subject property. The jurisdictional feature is highlighted in red and the non-jurisdictional feature is highlighted in green on the attached map. This jurisdictional determination is valid and can be relied upon for a period of three (3) years from the date of this letter.

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This letter does not exempt you from obtaining proper permits through the U.S. Army Corps of Engineers and other State or Government Agencies, if/as appropriate.

If you have any questions or need more information please feel free to call me at (302) 739-9943.

Sincerely,



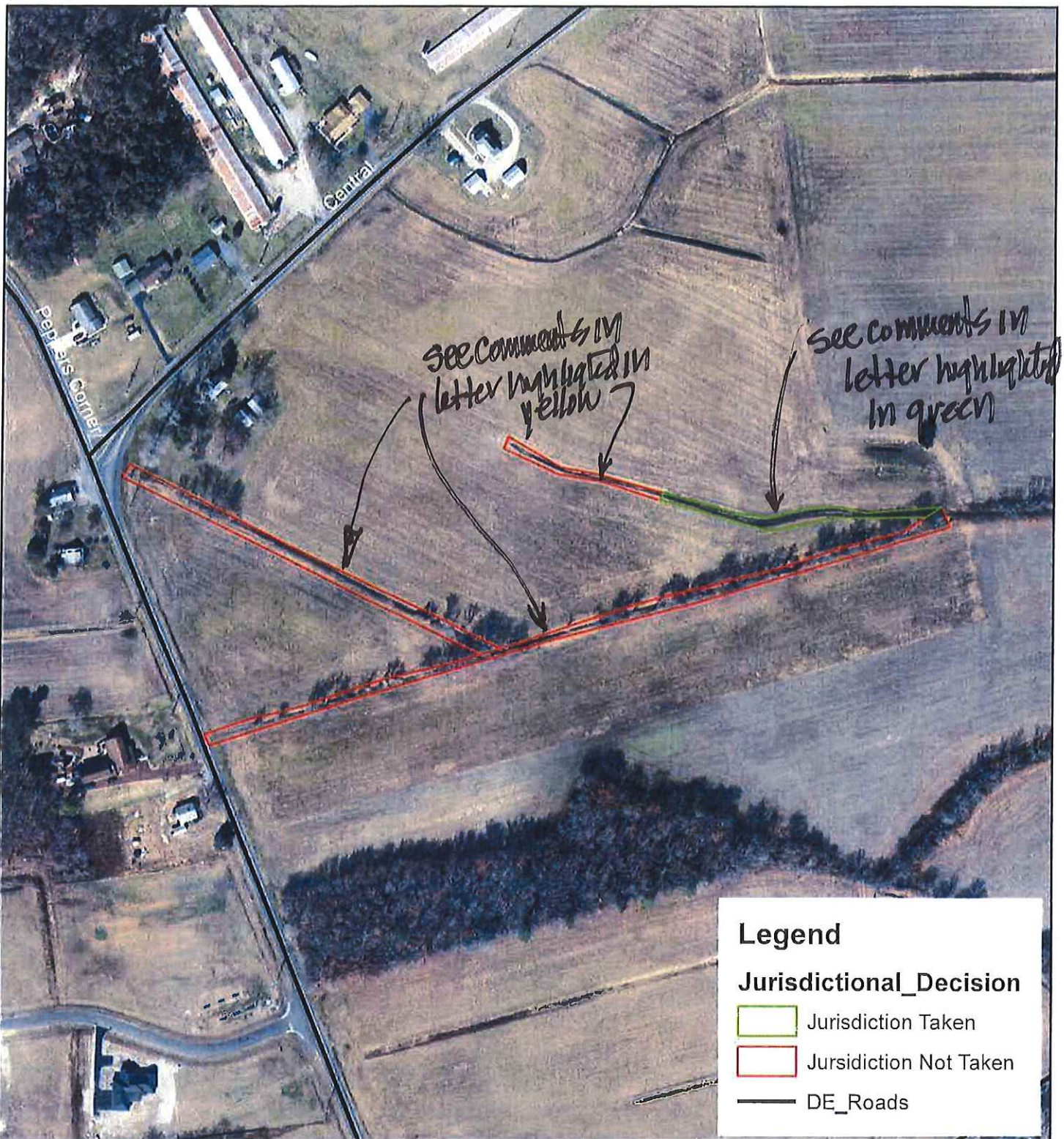
Matthew Jones  
Environmental Scientist  
Wetlands and Subaqueous Lands Section

CC: Tyler Brown, Section Manager, WSLS

Enclosures: Map 1

Literature Cited: NC Division of Water Quality. 2010. *Methodology for Identification of Intermittent and Perennial Streams and their Origins, Version 4.11*. North Carolina Department of Environment and Natural Resources, Division of Water Quality. Raleigh, NC.

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**Legend**

**Jurisdictional\_Decision**

- Jurisdiction Taken
- Jurisdiction Not Taken
- DE\_Roads

0 125 250 Feet

1 inch = 250 feet

Paul Jankovic  
 PO Box 3605  
 Ocean City, MD 21843  
 Tax Parcel #: 1-34-19.00-23.00

**2017 Aerial Photography**

Division of Water:  
 Wetlands &  
 Subaqueous  
 Lands Section

**Date: 5/7/2018**

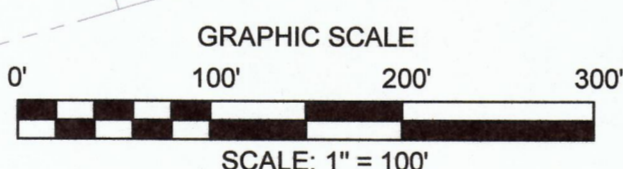
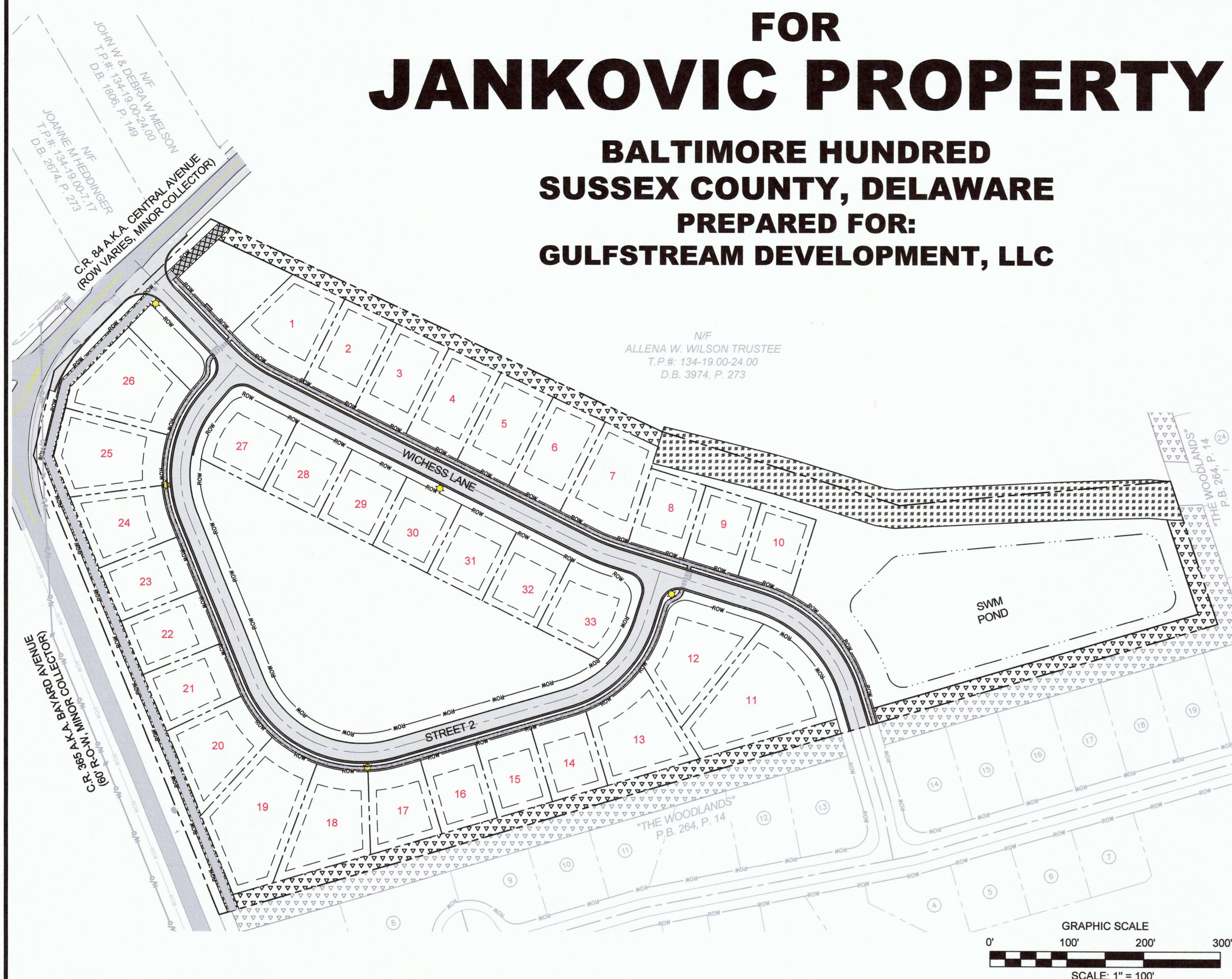
**Scientist: Matthew Jones**

**Project No.: JD-066/18**

**Map: 1**

# PRELIMINARY PLANS FOR JANKOVIC PROPERTY

BALTIMORE HUNDRED  
SUSSEX COUNTY, DELAWARE  
PREPARED FOR:  
GULFSTREAM DEVELOPMENT, LLC



F.E.M.A. FIRM MAP 10005C0495K & 10005C0513K SCALE: 1" = 1000'  
VICINITY MAP SCALE: 1" = 500'

### LEGEND

DESCRIPTION	EXISTING	PROPOSED
PAVEMENT	[Pattern]	[Pattern]
ROAD CENTERLINE	[Line]	[Line]
RIGHT-OF-WAY	[Line]	[Line]
PROPERTY LINE	[Line]	[Line]
SANITARY SEWER	8SS	8SS
SANITARY SEWER MANHOLE	(S)	(S)
FLOW DIRECTION ARROW	[Arrow]	[Arrow]
10' WIDE MULTI-MODAL PATH	N/A	[Line]
WATER LINE	8W	8W
FIRE HYDRANT	[Symbol]	[Symbol]
STORMDRAIN PIPE	SD	SD
CATCH BASIN	[Symbol]	[Symbol]
STREET LIGHTS	N/A	[Symbol]
STREET SIGNS	N/A	[Symbol]
FORESTED BUFFER	[Pattern]	[Pattern]
BUILDING RESTRICTION LINE	[Line]	[Line]
TREE LINE	[Pattern]	[Pattern]
TAX DITCH RIGHT OF WAY	[Line]	[Line]
TAX DITCH BUFFER	[Pattern]	[Pattern]

### SITE DATA:

- PROPERTY INFORMATION / OWNER: PAUL D. JANKOVIC, P.O. BOX 3605, OCEAN CITY, MD 21843, TAX PARCEL ID: 134-19-00-23.00, DEED REFERENCE: D.B. 1831, P. 21, PROJECT AREA: 719771.72 S.F. ±, 16.52 AC ±
- DEVELOPER/APPLICANT: GULFSTREAM DEVELOPMENT LLC, 27 ATLANTIC AVE., OCEAN VIEW, DELAWARE 19970, (302) 539-6178
- ENGINEER: CIVIL ENGINEERING ASSOCIATES, 55 WEST MAIN STREET, MIDDLETOWN, DE 19709, P(302) 376-8833, CONTACT: RONALD H. SUTTON, JR.
- AGENCY: SUSSEX CONSERVATION DISTRICT, 23818 SHORTLY ROAD, GEORGETOWN, DE 19947, (302) 856-2105
- EXISTING ZONING: AR-1
- PROPOSED ZONING: AR-1 (CLUSTER DEVELOPMENT)  
SETBACKS: FRONT YARD - 25 FEET, SIDE YARD - 10 FEET, REAR YARD - 10 FEET, CORNER FRONT SETBACK - 15 FEET, MIN. LOT AREA - 7,500 S.F., MIN. LOT WIDTH - 60 FEET, MIN. BUILDING HEIGHT - 42 FEET, MAX. LOT COVERAGE - 35%, REQUIRED OPEN SPACE - 30%
- AREAS: TOTAL AREA 719,771.72 S.F. +/- = 16.52 AC +/-, LOT AREA 326,780.80 S.F. +/- = 7.50 AC +/-, SWM AREA 54,625.27 S.F. +/- = 1.25 AC +/-, ROW/STREET AREA 121,609.86 S.F. +/- = 2.79 AC +/-, OPEN SPACE 271,381.05 S.F. +/- = 6.23 AC +/-
- MIN. REQUIRED OPEN SPACE = 30%, OPEN SPACE PROVIDED = 37.7% (6.23 AC/16.52 AC = 0.377)
- LOTS: MAX. LOTS PERMITTED = 33, PERMITTED LOTS = 719,771.72 S.F. / 21,780 = 33
- DENSITY: 33 LOTS/16.52 AC = 1.997
- PARKING: OFF-STREET PARKING REQUIRED: 2 PER LOT, OFF-STREET PARKING PROVIDED: 66+ PARKING SPACES
- UTILITIES: WATER: TIDEWATER UTILITIES, SANITARY SEWER: SUSSEX COUNTY
- FIRE LANES: ALL FIRE LANES, FIRE HYDRANTS AND FIRE CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH DELAWARE FIRE PREVENTION REGULATIONS.
- WETLANDS: A WETLAND DELINEATION WAS PERFORMED BY EDWARD M. LAUNAY ENVIRONMENTAL RESOURCES, INC. IN SEPTEMBER 2018. NO WETLAND EXIST ON THE SITE.
- FLOODPLAIN: PER F.E.M.A FIRM MAPS 10005C0495K & 10005C0513K, EFFECTIVE MARCH 16, 2015, THE PARCEL IS NOT AFFECTED BY THE 100 YEAR FLOODPLAIN.
- BOUNDARY AND TOPOGRAPHY: BOUNDARY & TOPOGRAPHY WAS PERFORMED BY CIVIL ENGINEERING ASSOCIATES IN APRIL 2020.

### CONSTRUCTION NOTES:

- THESE DRAWINGS SHOW INFORMATION OBTAINED FROM THE AVAILABLE RECORDS REGARDING PIPES, CONDUITS, TELEPHONE LINES, AND OTHER STRUCTURES AND CONDITIONS WHICH EXIST ALONG THE LINES OF WORK AT AND BELOW THE SURFACE OF THE GROUND. THE OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITIES FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION BEING SHOWN ONLY FOR THE CONVENIENCE OF THE CONTRACTOR WHO MUST VERIFY THE INFORMATION TO HIS OWN SATISFACTION. IF THE CONTRACTOR RELIES ON SAID INFORMATION, HE DOES SO AT HIS OWN RISK. THE GIVING OF THE INFORMATION ON THE CONTRACT DRAWINGS WILL NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO SUPPORT AND PROTECT ALL PIPES, CONDUITS, TELEPHONE LINES AND OTHER STRUCTURES.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, TIDEWATER UTILITIES INCORPORATED (TUI) SPECIFICATIONS, LOCAL BUILDING CODES, AND THE STANDARD SPECIFICATIONS.
- WATER LINES WILL BE INSTALLED AT A DEPTH THAT WILL PROVIDE 48" COVER OVER THE PIPES BELOW PROPOSED GRADE UNLESS SHOWN OTHERWISE ON THESE PLANS OR DIRECTED OTHERWISE BY THE ENGINEER IN THE FIELD.
- ALL DISTURBED AREAS SHALL BE SMOOTHLY GRADED TO PROMOTE POSITIVE DRAINAGE AND STABILIZED WITH TOPSOIL, SEED AND MULCH. IF SETTLEMENT OCCURS, TOPSOIL, SEEDING AND MULCH SHALL BE REPEATED UNTIL SETTLEMENT SUBSIDES. (SEE EROSION AND SEDIMENT CONTROL DETAILS AND SPECIFICATIONS.)
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION AND SHALL COORDINATE ALL CONSTRUCTION PHASES WITH THEM:  
TOWN OF MILLVILLE ..... 1-302-539-0449  
CEA, LLC ..... 1-302-376-8833  
MISS UTILITIES ..... 1-800-282-8555
- SHOULD ANY DAMAGE OCCUR TO EXISTING UTILITIES, IT SHALL BE REPAIRED SOLELY AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL CONTACT DELAWARE ELECTRIC COOPERATIVE AT 1-302-349-9090 PRIOR TO COMMENCING WORK WITHIN THE PROXIMITY OF OVERHEAD HIGH-VOLTAGE POWER LINES.
- ALL DRAINAGE STRUCTURES AND TRENCHES SHALL REMAIN FUNCTIONAL DURING CONSTRUCTION.
- THE OWNER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENT, BOTH TEMPORARY AND PERMANENT.

### GENERAL NOTES:

- MULTI-MODAL PATH SHALL BE MAINTAINED BY THE DEVELOPER. THE STATE ASSUMES NO MAINTENANCE RESPONSIBILITY OF THE MULTI-MODAL PATH.
- MAINTENANCE OF THE STREETS WILL BE THE RESPONSIBILITY OF THE DEVELOPER. THE STATE NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, MODIFY OR DELETE ANY EROSION AND SEDIMENT CONTROL MEASURES AT IT DEEMS NECESSARY.
- THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ENTER PRIVATE PROPERTY FOR PURPOSES OF PERIODIC INSPECTION.
- PUBLIC OPEN SPACE, GREEN SPACE, STORMWATER MANAGEMENT AREAS, SIDEWALKS, MULTI USE PATH AND STREETS NOT DEDICATED SHALL BE MAINTAINED BY THE DEVELOPER.
- THE DEVELOPER HEREBY GRANTS A SEWER EASEMENT IN FAVOR OF SUSSEX COUNTY WHICH INCLUDES ALL ROADWAYS, STREETS, ALLEYS FOR THE PURPOSE TO CONSTRUCT, MAINTAIN AND REPAIR UNDERGROUND PIPE, LINES AND MAINS FOR THE PURPOSE OF CONVEYING SEWER THROUGH THE LANDS. ADDITIONAL RIGHTS AND RESPONSIBILITIES OF SUSSEX COUNTY WILL BE MORE FULLY DETAILED IN A SEPARATE DEED OF EASEMENT TO BE RECORDED.
- THE DEVELOPER HEREBY GRANTS A WATER EASEMENT IN FAVOR OF TIDEWATER UTILITIES, INC., WHICH INCLUDES ALL ROADWAYS, STREETS, ALLEYS FOR THE PURPOSE TO CONSTRUCT, MAINTAIN AND REPAIR UNDERGROUND PIPE, LINES AND MAINS FOR THE PURPOSE OF CONVEYING WATER SERVICE TO THE RESIDENTIAL AREAS SHOWN. ADDITIONAL RIGHTS AND RESPONSIBILITIES OF TIDEWATER UTILITIES, INC. WILL BE MORE FULLY DETAILED IN A SEPARATE DEED OF EASEMENT TO BE RECORDED.
- ALL LOTS SHALL BE CONNECTED TO THE COMMUNITY-WIDE OPEN SPACE NETWORK VIA SIDEWALKS, PATHWAYS, AND/OR PUBLIC STREETS. A PLANNED OPEN SPACE OF ONE QUARTER ACRE OR LARGER - INCLUDING OPEN GREENS, POCKET PARKS, SEATING AREAS AND TRAILS - MUST BE WITHIN 1,500 FEET OF EVERY SINGLE-FAMILY DETACHED LOT MEASURED FROM THE CENTER OF THE LOT TO THE CENTER OF THE OPEN SPACE.
- STREET LIGHTING DESIGN AND LAYOUT WILL BE PROVIDED BY DELAWARE ELECTRIC COOPERATIVE (DEC).
- THE NEIGHBORING LANDS ARE MAINLY USED FOR AGRICULTURAL PURPOSES.
- ANY FORM OF ACCESS FROM LOTS 19-26 TO BAYARD ROAD (S.C.R. 84) IS PROHIBITED.

### CERTIFICATION OF OWNERSHIP:

I HEREBY CERTIFY THAT I AM THE CONTRACT OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT ALL STREETS HEREON AND NOT HERETOFORE DEDICATED ARE TO BE DEDICATED TO THE PUBLIC USE AND OWNERSHIP TRANSFERRED TO THE HOMEOWNERS ASSOCIATIONS VIA SEPARATE SUBSEQUENT DEED OF DEDICATION AND TRANSFER

SIGNATURE: DATE: 9/22/20

### CERTIFICATION OF PLAN ACCURACY:

I, RONALD H. SUTTON, JR. HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY APPLICABLE LAWS OF THE STATE OF DELAWARE.

DATE: 9-22-20

### INDEX OF DRAWINGS

SHEET NUMBER	SHEET TITLE
T-1	COVER SHEET, CONSTRUCTION & GENERAL NOTES
EX-1	EXISTING CONDITIONS PLAN
C-1	SITE PLAN
G-1	GRADING PLAN
U-1	UTILITY PLAN
D-1 & D-2	CONSTRUCTION DETAILS
RP-1	RECORD PLAN
L-1	LANDSCAPE PLAN

DATE: \_\_\_\_\_

REVISIONS	DESCRIPTION

Copyright © 2020  
**CIVIL ENGINEERING ASSOCIATES, LLC**  
 ENGINEERING • SURVEYING • CONSTRUCTION SERVICES

55 W. MAIN STREET  
 MIDDLETOWN, DE 19709  
 PHONE (302) 376-8833  
 FAX (302) 376-8834  
 WWW.CEA-DE.COM

COVER SHEET FOR

## WOODLANDS II

### JANKOVIC PROPERTY

BALTIMORE HUNDRED  
SUSSEX COUNTY, DELAWARE

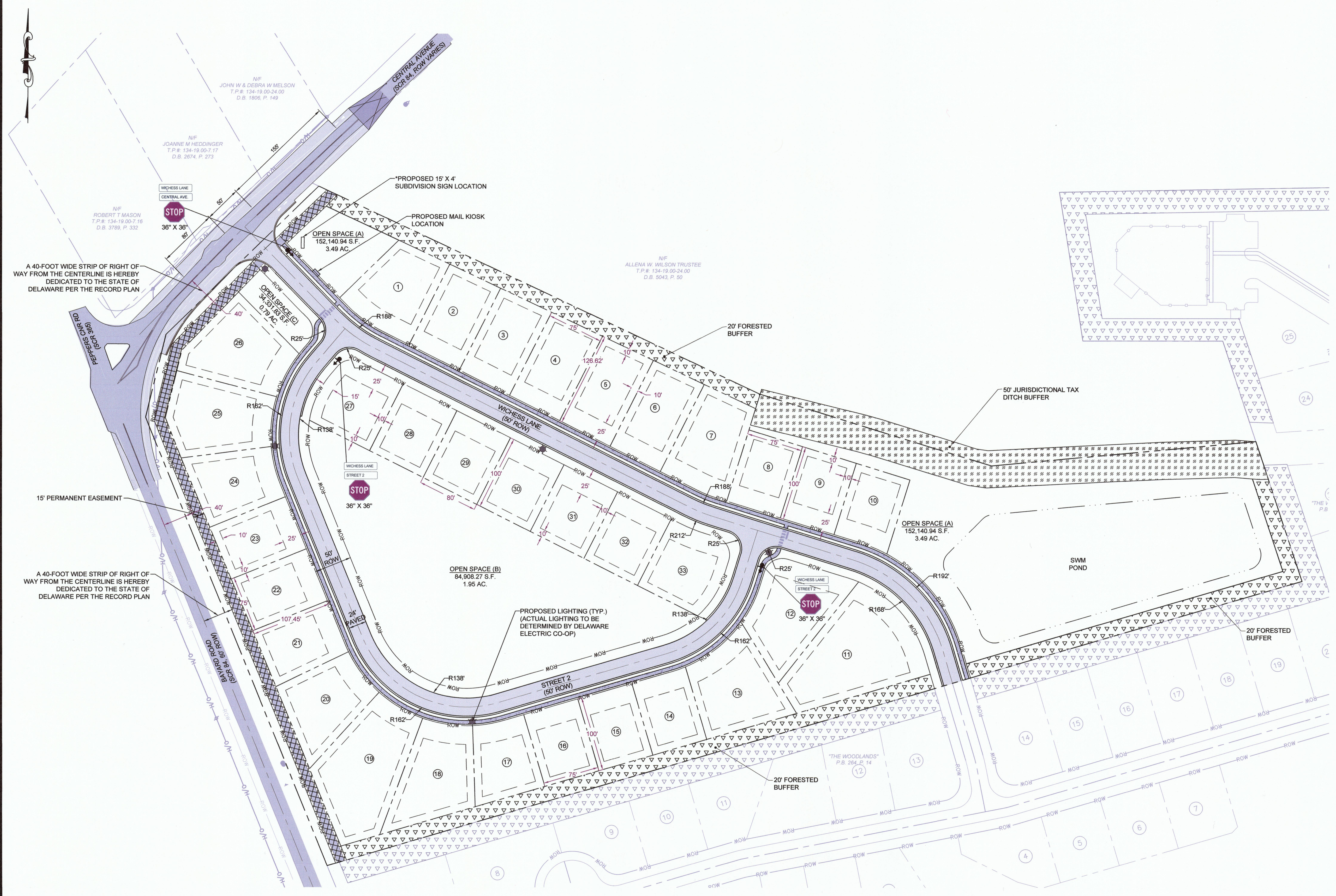
DATE: SEPTEMBER 18, 2020

DESIGNED BY: YMR APPROVED BY: RHS

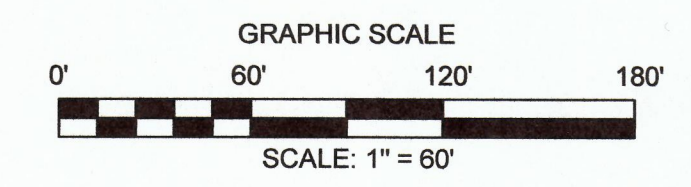
FILE: COVER SHEET.DWG

SHEET NO.: **T-1**





NOTE:  
 \* SUBDIVISION SIGN LOCATION AND SIZE  
 MIGHT CHANGE PER CLIENT GUIDANCE.



DATE

REVISION	DATE	DESCRIPTION

**CIVIL ENGINEERING ASSOCIATES, LLC**

• ENGINEERING • SURVEYING • CONSTRUCTION SERVICES

55 W. MAIN STREET  
 MIDDLETOWN, DE 19709  
 WWW.CEA-DE.COM  
 PHONE (302) 376-8833  
 FAX (302) 376-8834

**SITE PLAN FOR**

## WOODLANDS II

**JANKOVIC PROPERTY**

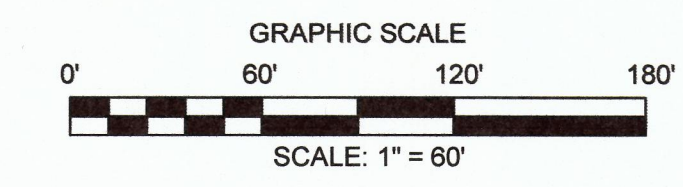
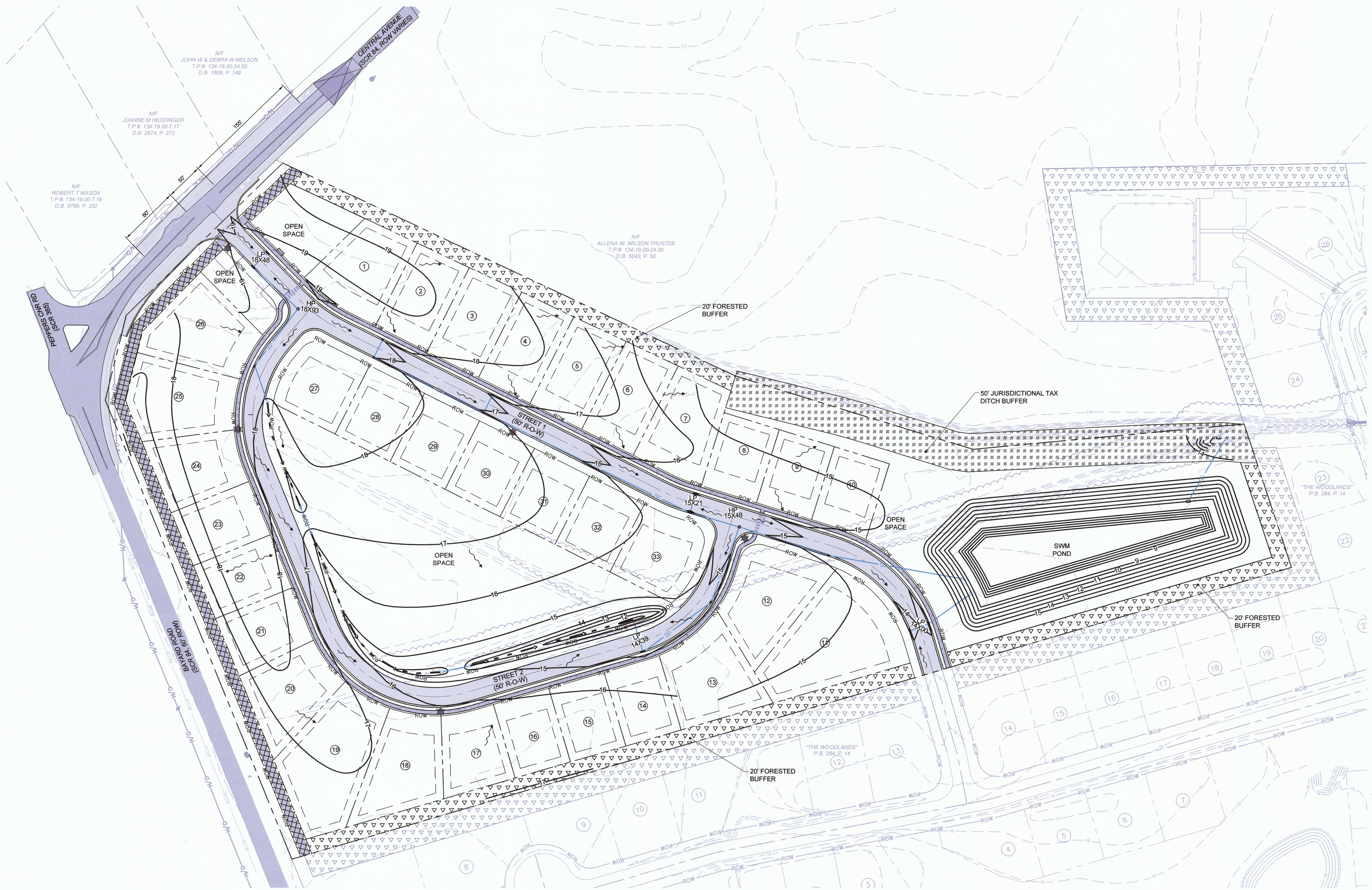
BALTIMORE HUNDRED  
 SUSSEX COUNTY, DELAWARE

DATE: AUGUST 04, 2020

DESIGNED BY: YMR      APPROVED BY: RHS

FILE: SITE PLAN.DWG

SHEET NO.: **C-1**



DATE

REVISION	DATE	DESCRIPTION

**CEA CIVIL ENGINEERING ASSOCIATES, LLC**

• ENGINEERING • SURVEYING • CONSTRUCTION SERVICES

55 W. MAIN STREET  
MIDDLETOWN, DE 19709

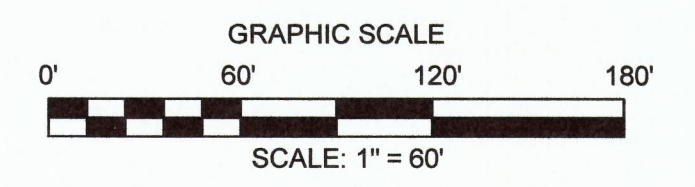
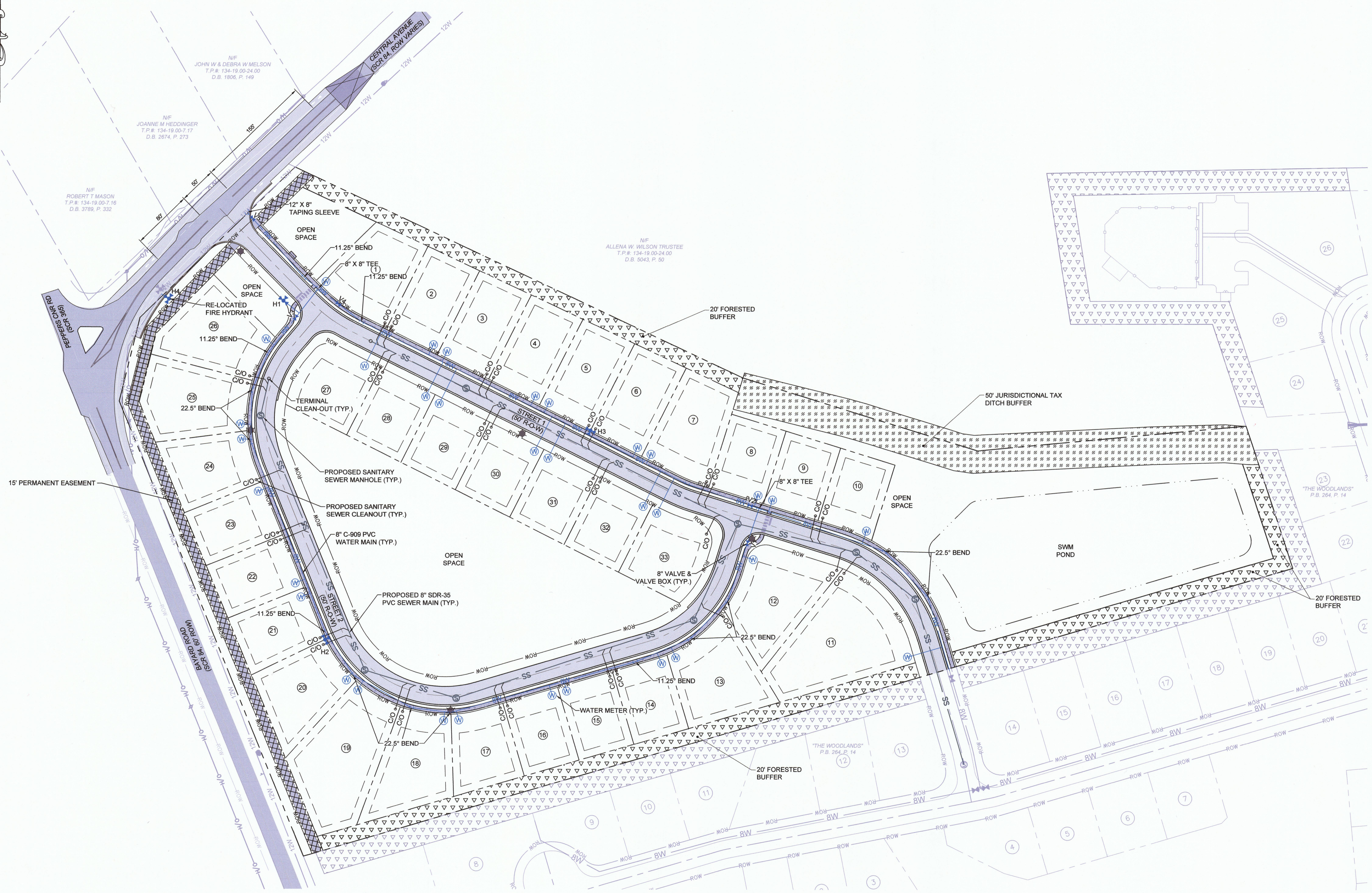
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**GRADING PLAN**  
FOR  
**WOODLANDS II**  
**JANKOVIC PROPERTY**  
BALTIMORE HUNDRED  
SUSSEX COUNTY, DELAWARE

DATE:	SEPTEMBER 18, 2020
DESIGNED BY:	YMR
APPROVED BY:	RHS
FILE:	GRADING PLAN.DWG
SHEET NO.:	<b>G-1</b>





REVISIONS

REVISION	DATE	DESCRIPTION

**Civil Engineering**  
**ASSOCIATES, LLC**

ENGINEERING • SURVEYING • CONSTRUCTION SERVICES

55 W. MAIN STREET  
 MIDDLETOWN, DE 19709

PHONE (302) 376-8833  
 FAX (302) 376-8834

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**UTILITY PLAN**  
 FOR  
**WOODLANDS II**  
**JANKOVIC PROPERTY**  
 BALTIMORE HUNDRED  
 SUSSEX COUNTY, DELAWARE

DATE: SEPTEMBER 18, 2020

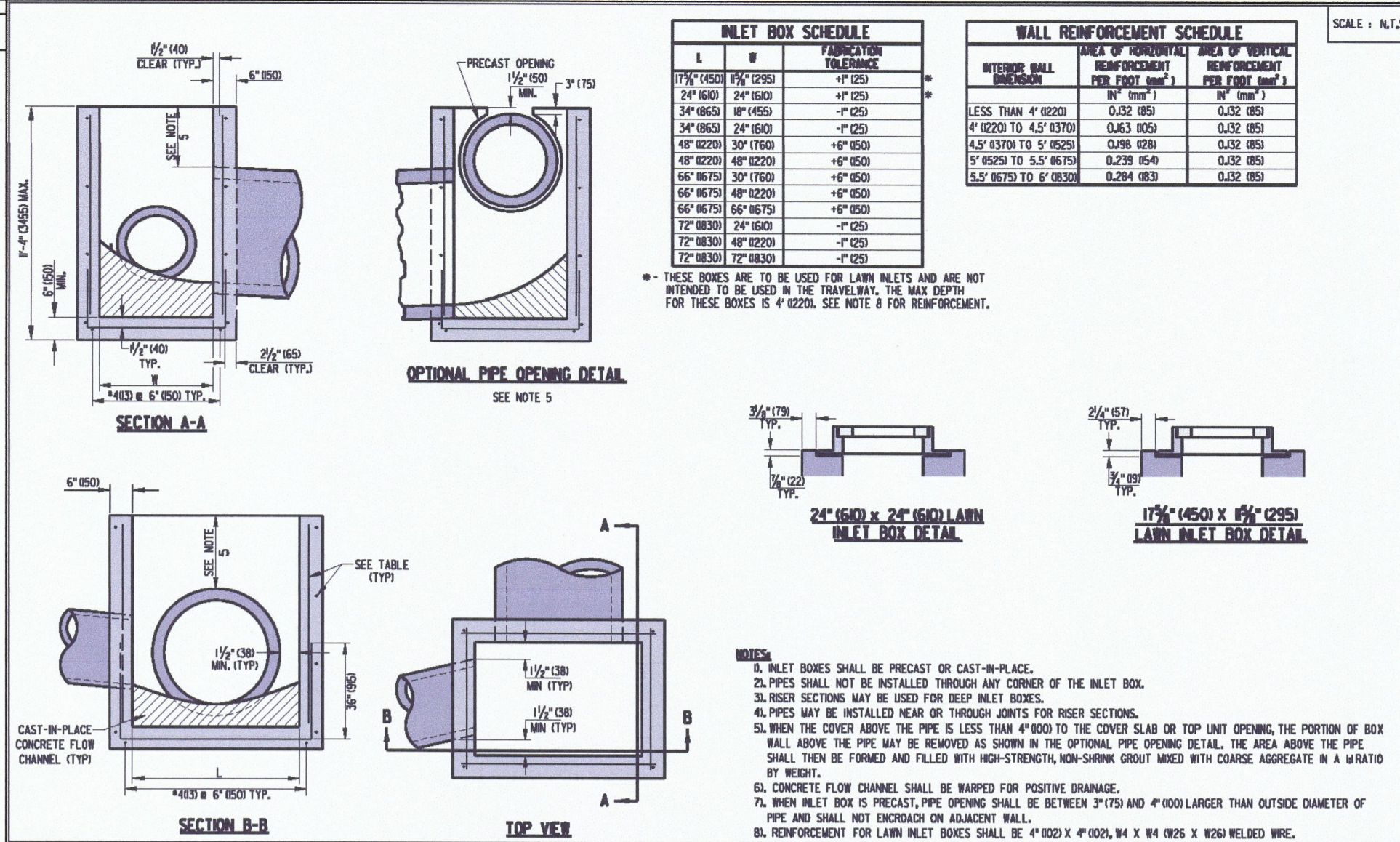
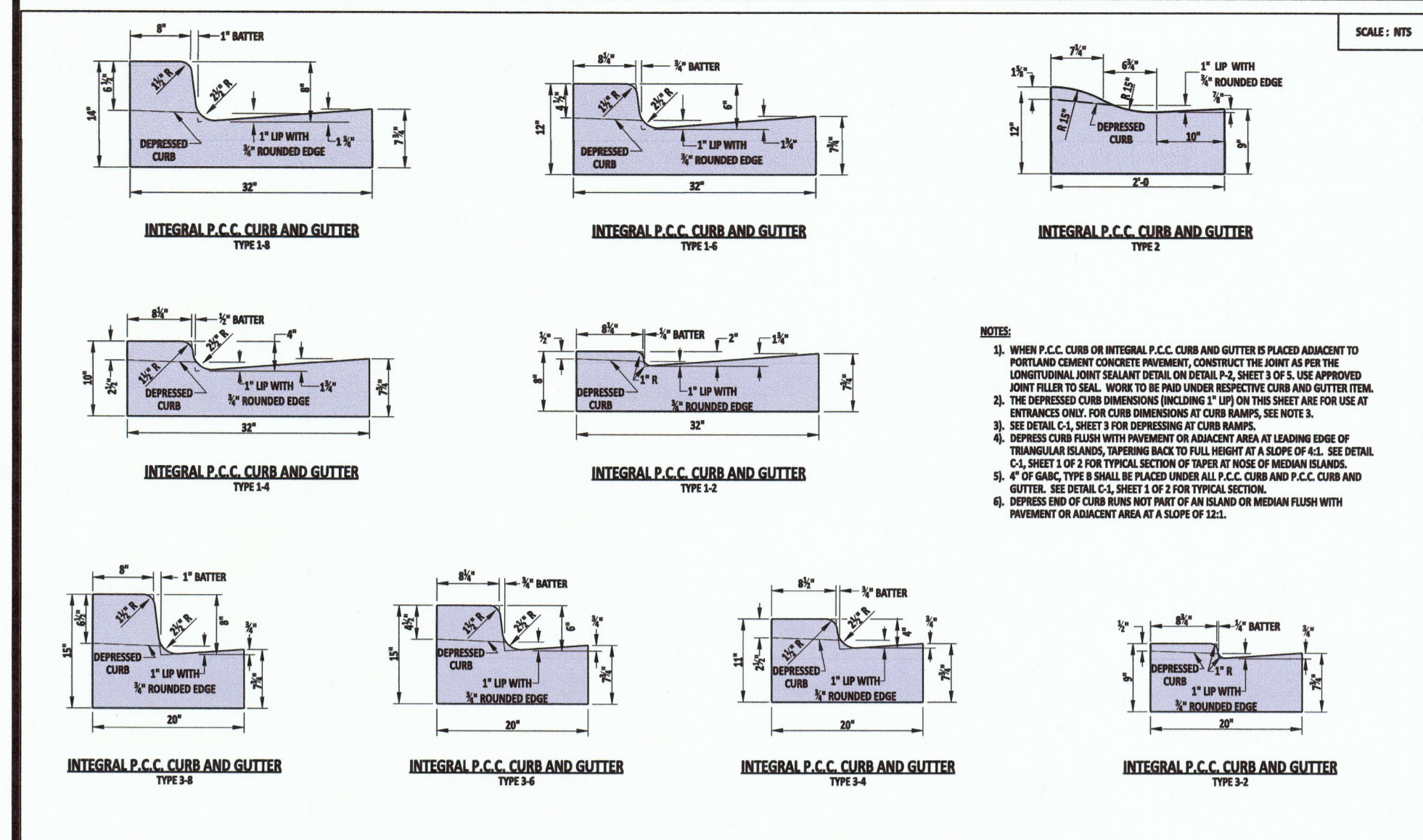
DESIGNED BY: YMR      APPROVED BY: RHS

FILE: UTILITY PLAN.DWG

SHEET NO.: **U-1**

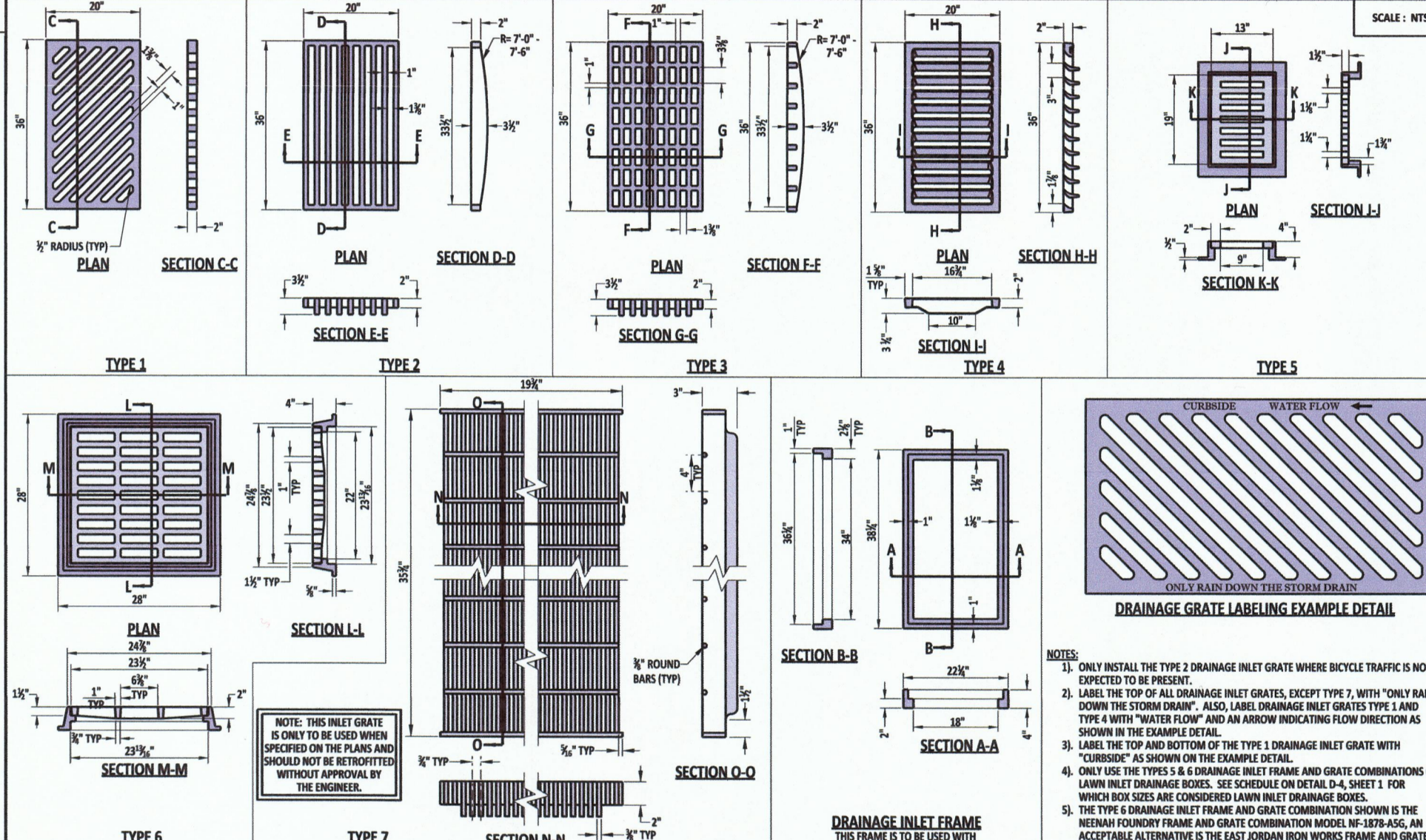
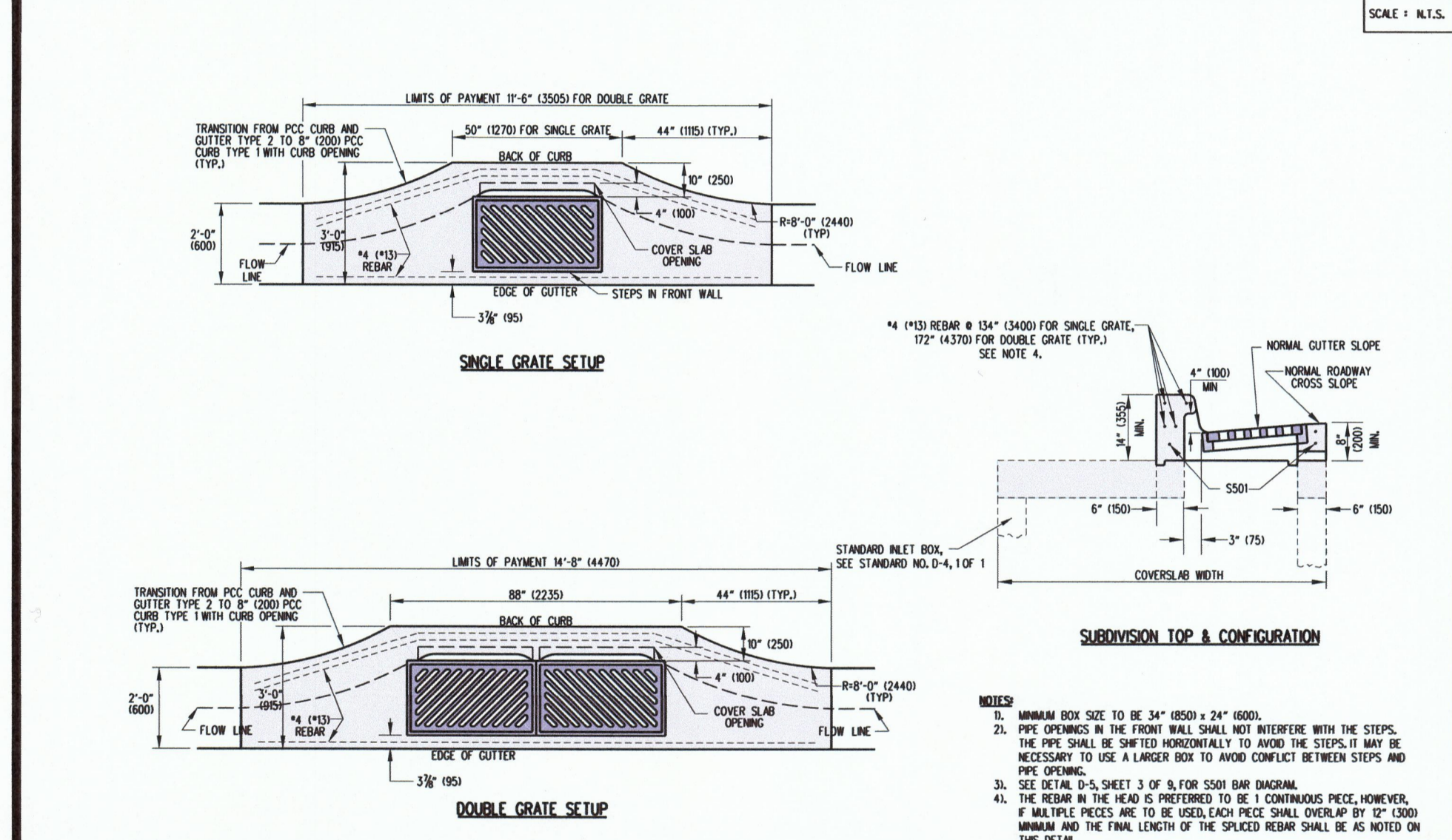
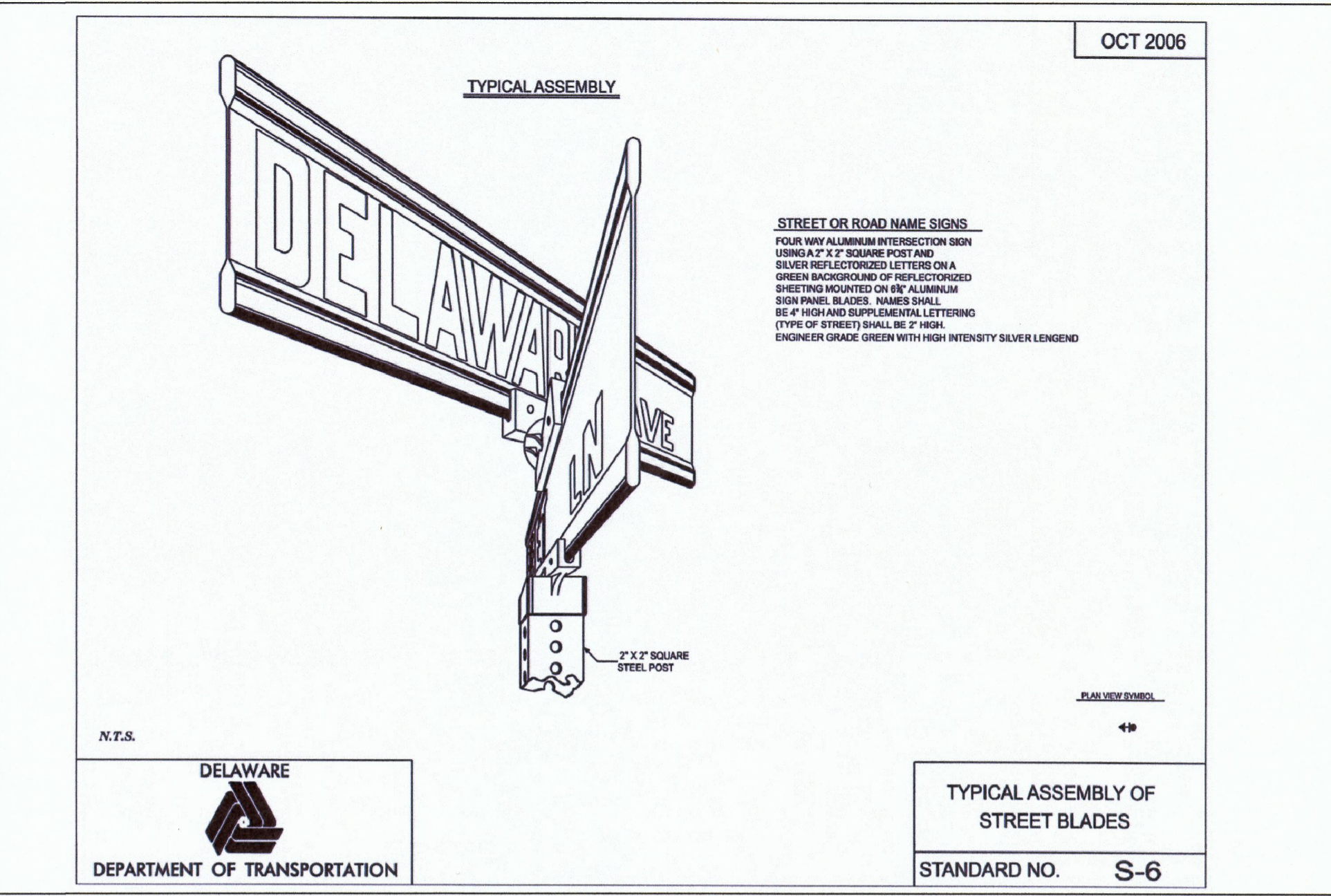
DATE

*(Signature)*



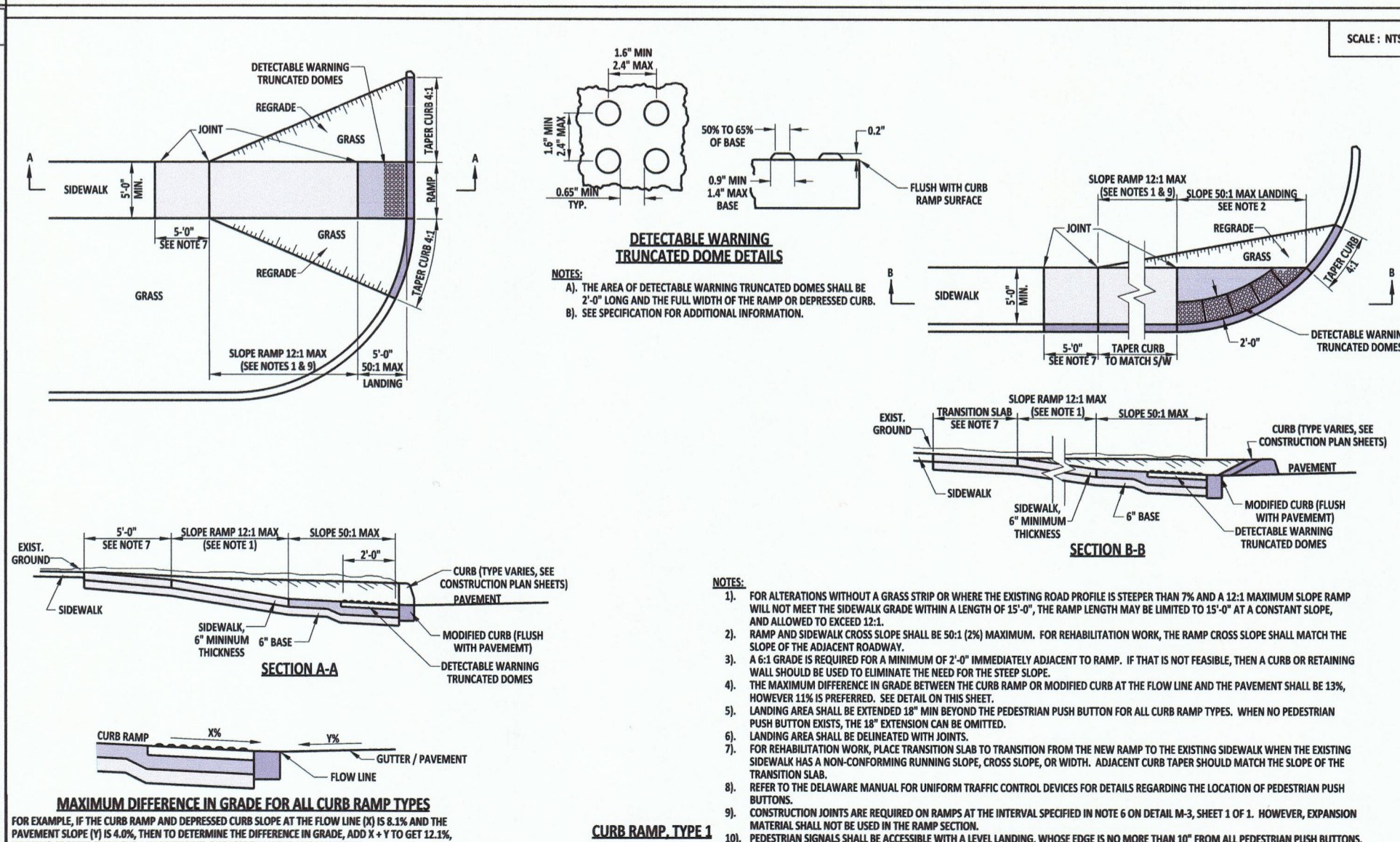
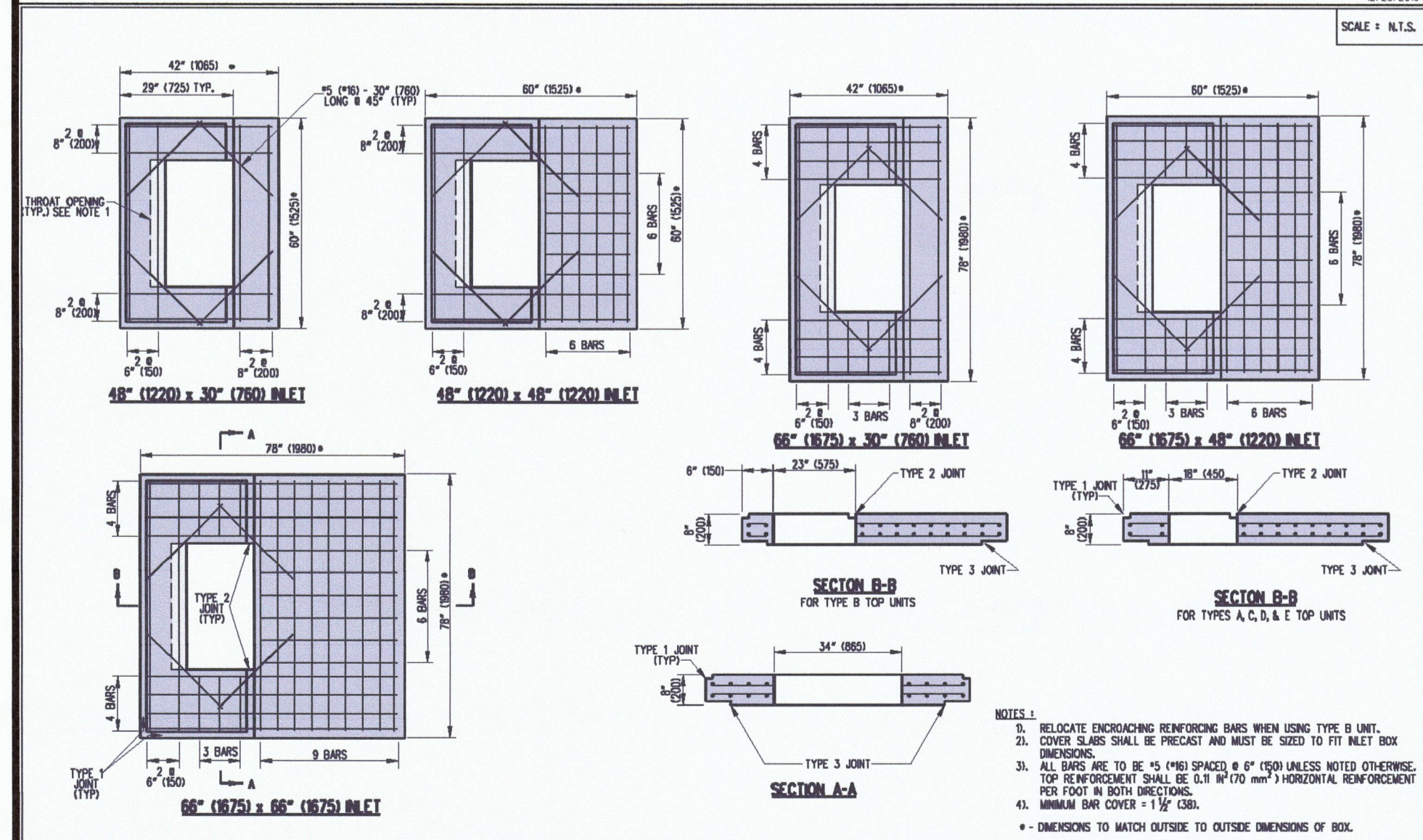
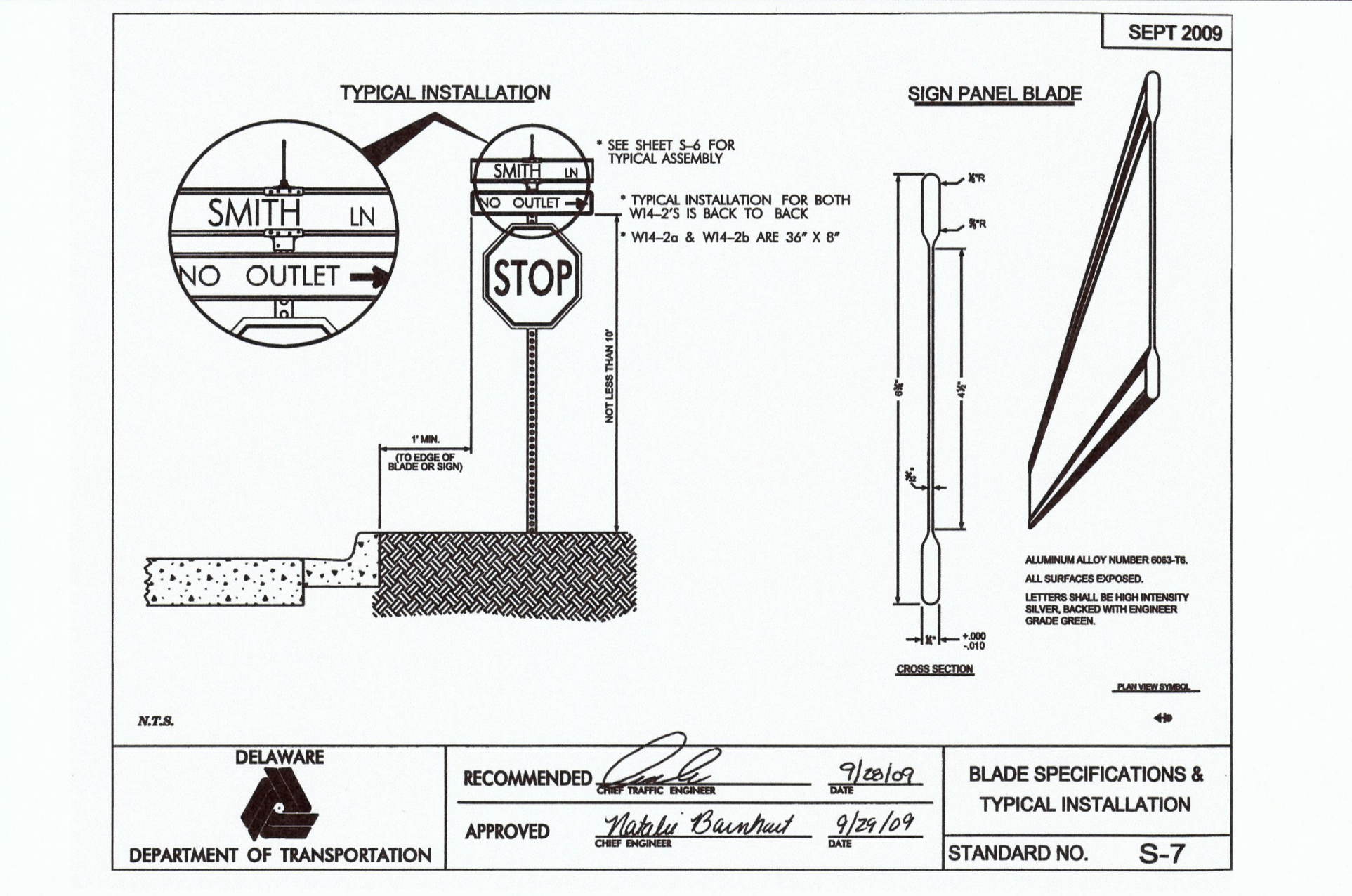
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 STANDARD NO. C-1 (2017)  
 SHEET 2 OF 3  
 APPROVED SIGNATURE ON FILE DATE 01/18/2017  
 RECOMMENDED SIGNATURE ON FILE DATE 01/18/2017

DELAWARE DEPARTMENT OF TRANSPORTATION  
 STANDARD NO. D-4 (2009)  
 SHEET 1 OF 1  
 APPROVED SIGNATURE ON FILE DATE 08/29/2009  
 RECOMMENDED SIGNATURE ON FILE DATE 08/29/2009



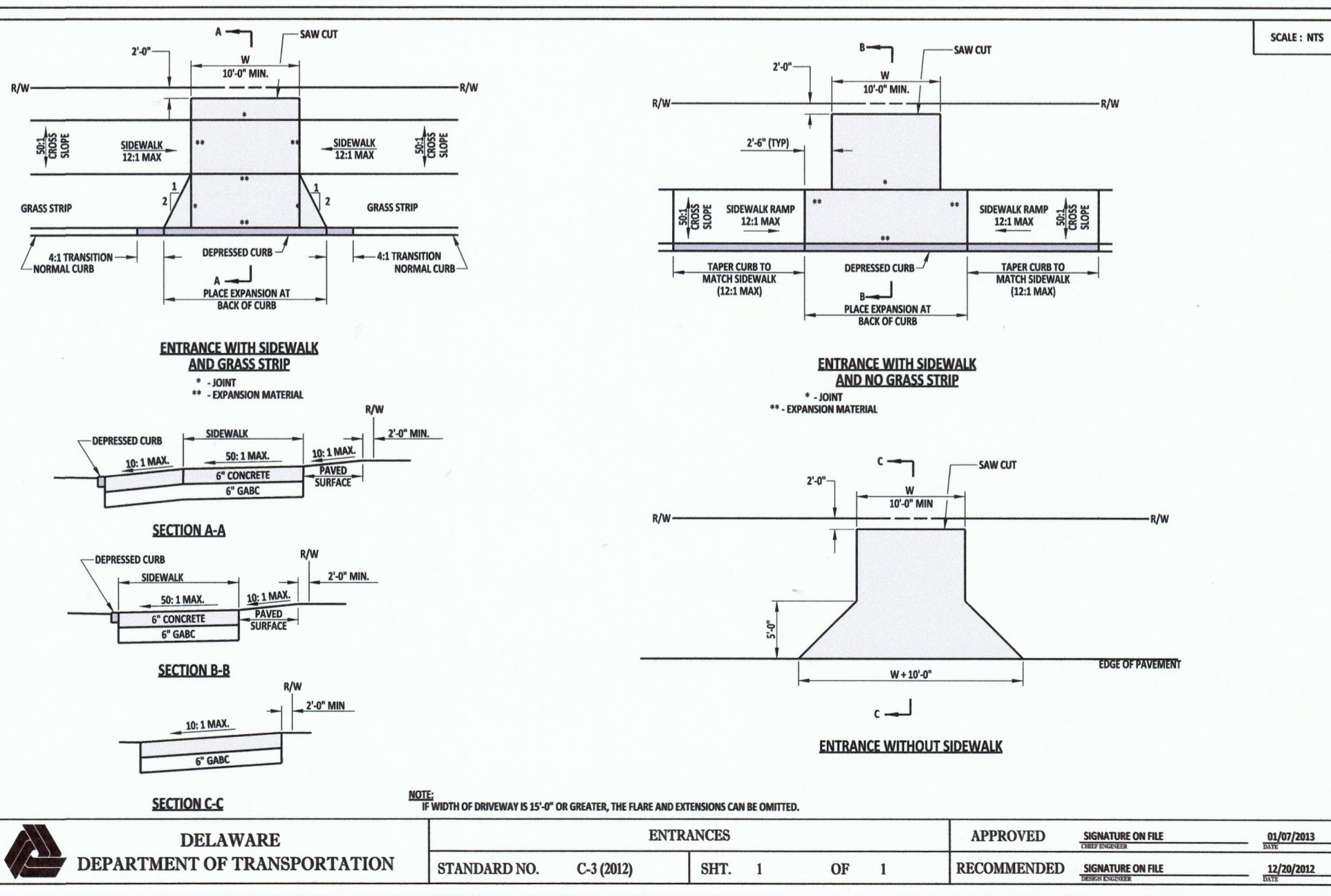
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 STANDARD NO. D-4 (2010)  
 SHEET 8 OF 9  
 APPROVED SIGNATURE ON FILE DATE 12/28/2010  
 RECOMMENDED SIGNATURE ON FILE DATE 12/27/2010

DELAWARE DEPARTMENT OF TRANSPORTATION  
 STANDARD NO. D-5 (2014)  
 SHEET 2 OF 9  
 APPROVED SIGNATURE ON FILE DATE 12/29/2014  
 RECOMMENDED SIGNATURE ON FILE DATE 12/21/2014



DELAWARE DEPARTMENT OF TRANSPORTATION  
 STANDARD NO. D-4 (2010)  
 SHEET 4 OF 9  
 APPROVED SIGNATURE ON FILE DATE 12/28/2010  
 RECOMMENDED SIGNATURE ON FILE DATE 12/27/2010

DELAWARE DEPARTMENT OF TRANSPORTATION  
 STANDARD NO. C-2 (2013)  
 SHEET 1 OF 3  
 APPROVED SIGNATURE ON FILE DATE 03/24/2014  
 RECOMMENDED SIGNATURE ON FILE DATE 03/24/2014



DELAWARE DEPARTMENT OF TRANSPORTATION  
 STANDARD NO. C-3 (2012)  
 SHEET 1 OF 1  
 APPROVED SIGNATURE ON FILE DATE 03/29/2012  
 RECOMMENDED SIGNATURE ON FILE DATE 12/26/2012

REVISIONS

REVISION	DATE	DESCRIPTION

DATE

SEPTEMBER 18, 2020

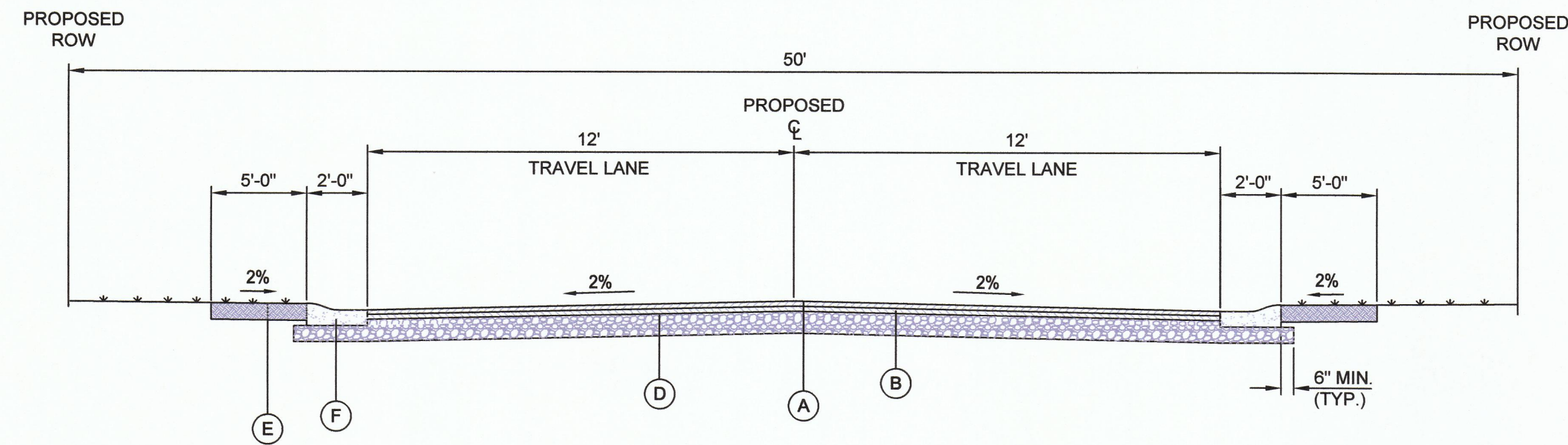
DESIGNED BY: YMR APPROVED BY: RHS

FILE: DETAILS.dwg

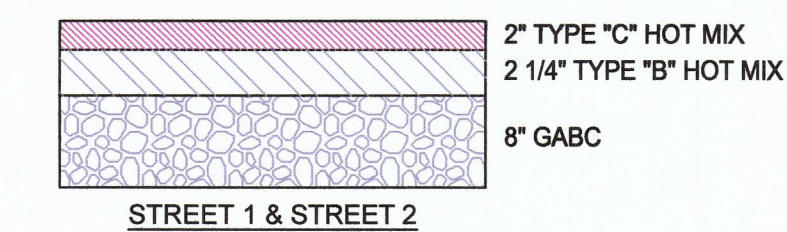
SHEET NO.: D-1

WOODLANDS II  
 JANKOVIC PROPERTY  
 BALTIMORE HUNDRED  
 SUSSEX COUNTY, DELAWARE

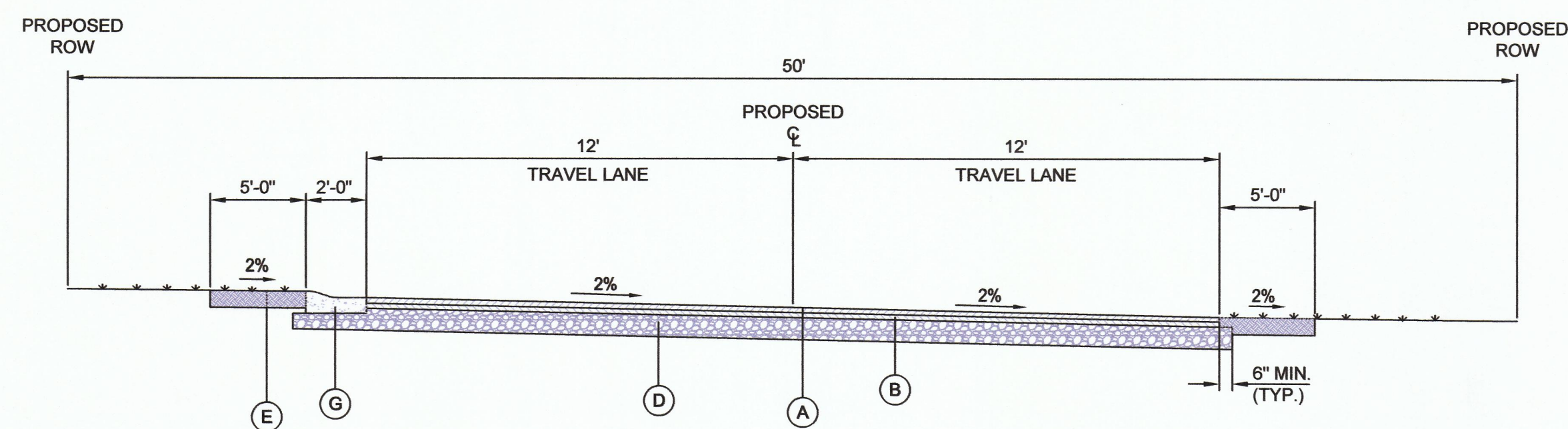
CEA CIVIL ENGINEERING ASSOCIATES, LLC  
 ENGINEERING SURVEYING CONSTRUCTION SERVICES  
 55 W. MAIN STREET MIDDLETOWN, DE 19709  
 PHONE (302) 376-8833 FAX (302) 376-8834  
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WICHESS LANE SECTION  
NTS



TYPICAL PAVEMENT SECTION  
NTS



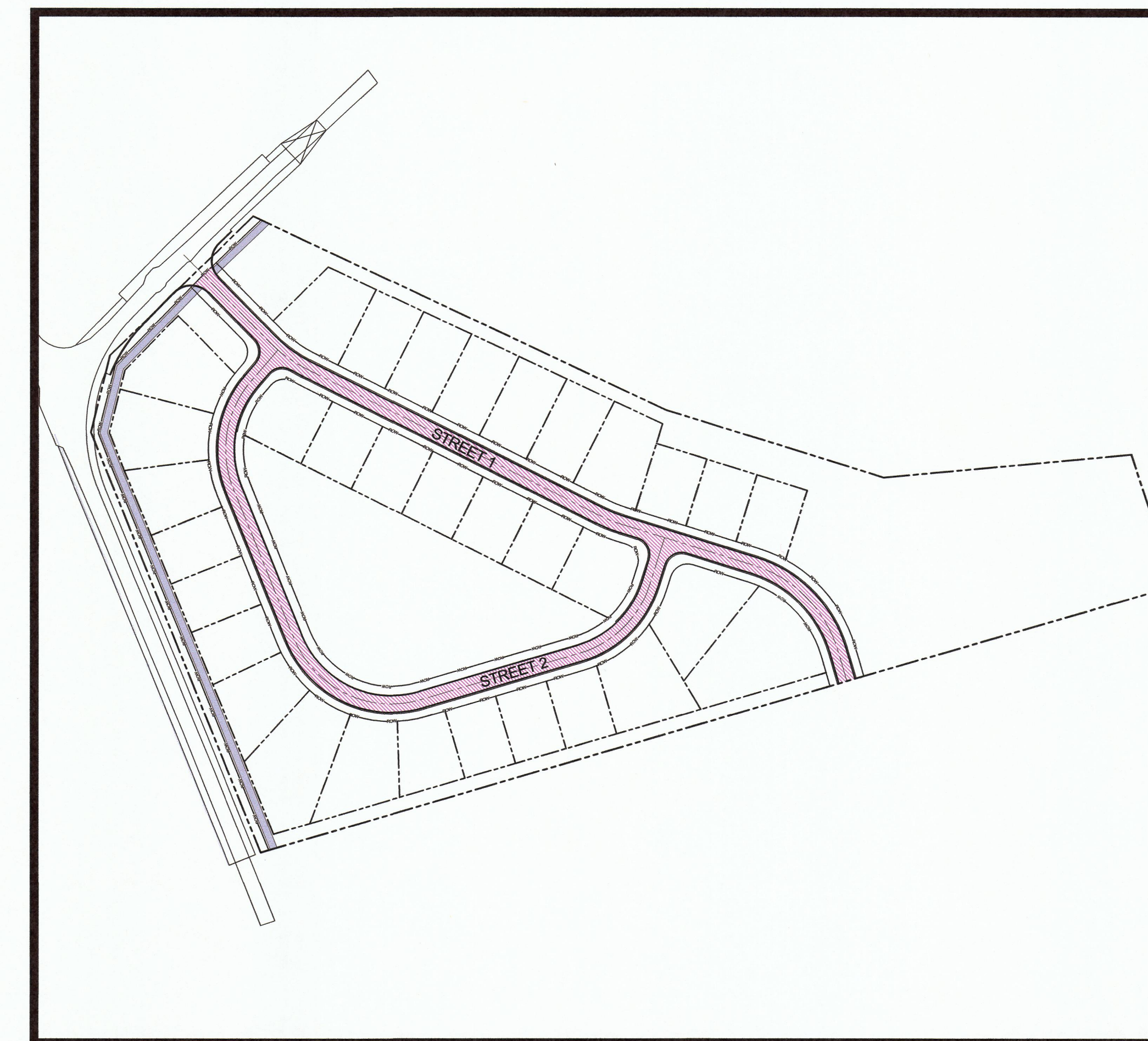
STREET 2 SUPER ELEVATED ROAD SECTION  
NTS

LEGEND:

- (A) ITEM 401651 - SUPERPAVE TYPE C, 160 GYRATION, PG 70-22
- (B) ITEM 401654 - SUPERPAVE TYPE B, 160 GYRATION, PG 70-22
- (D) ITEM 302007 - GRADED AGGREGATE BASE COURSE, TYPE B
- (E) GRASS STRIP (WIDTH AS NOTED)  
ITEM 733002 - TOPSOILING, 6" DEPTH  
ITEM 734013 - PERMANENT GRASS SEEDING, DRY GROUND  
ITEM - 735006 - MULCHING, STRAW
- (F) ITEM 701011 - INTEGRAL P.C.C. CURB AND GUTTER, TYPE 2
- (G) ITEM 701011 - INTEGRAL P.C.C. CURB AND GUTTER, TYPE 2 (MODIFIED)  
(GUTTER PAN TO SLOPE TOWARDS ROAD)

NOTES:

1. THE DEVELOPER IS RESPONSIBLE FOR CORRECTIVE MEASURES ASSOCIATED WITH SLOPES LESS THAN 0.5%.
2. ALL FILL MATERIAL WITHIN THE PROPOSED RIGHT OF WAY SHALL MEET TYPE F MATERIAL SPECIFICATIONS AS REQUIRED BY DELDOT. MATERIAL SHALL BE PLACED IN SUCCESSIVE LAYERS, AND EACH LAYER SHALL BE PLACED IN A LEVEL, UNIFORM CROSS-SECTION, NOT TO EXCEED 8" IN DEPTH, LOOSE MEASUREMENT, UNLESS OTHERWISE APPROVED BY THE ENGINEER. EACH LAYER SHALL BE PROPERLY COMPACTED, AS HEREINAFTER SPECIFIED, BEFORE STARTING THE NEXT LAYER.
3. COMPACTION SHALL CONTINUE UNTIL EACH LAYER IS THOROUGHLY AND UNIFORMLY COMPACTED TO THE FULL WIDTH OF THE EMBANKMENT AND TO 95% OR MORE OF THE MAXIMUM DENSITY OF THE SAME SOILS AS DETERMINED BY AASHTO T99 METHOD C, MODIFIED. THE DETERMINATION OF COMPLIANCE WITH FIELD COMPACTION REQUIREMENTS, AS SPECIFIED HEREIN, SHALL BE IN ACCORDANCE WITH THE FOLLOWING AASHTO TEST METHODS:  
 (1) AASHTO T191, T238 AND T239, MODIFIED. FIELD DENSITY TESTS SHALL BE EXPRESSED AS A PERCENTAGE OF THE MAXIMUM DENSITY MADE ON THE SAME SOILS.  
 (2) AASHTO T99 METHOD C, MODIFIED, DETERMINATION OF MAXIMUM DENSITY AND OPTIMUM MOISTURE CONTENT.  
 (3) AASHTO T224, MODIFIED, BY COARSE PARTICLE CORRECTION METHOD.
4. COMPACTION TESTING SHALL BE PERFORMED BY A QUALIFIED GEOTECHNICAL TESTING FIRM. ALL TESTING SHALL BE COMPLIANCE WITH CURRENT DELDOT REGULATIONS.



PAVEMENT SECTION KEY MAP  
SCALE: 1" = 150'

DATE

REVISIONS	DESCRIPTION
REVISION DATE	

**CIVIL ENGINEERING  
ASSOCIATES, LLC**  
CONSTRUCTION SERVICES  
• ENGINEERING • SURVEYING •

55 W. MAIN STREET  
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**WOODLANDS II**  
**JANKOVIC PROPERTY**  
 BALTIMORE HUNDRED  
 SUSSEX COUNTY, DELAWARE

DATE: SEPTEMBER 18, 2020

DESIGNED BY: YMR      APPROVED BY: RHS

FILE: DETAILS.dwg

SHEET NO.: **D-2**

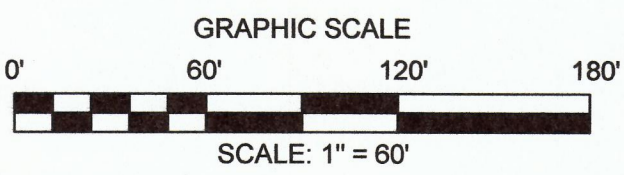


ROW & LOT CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD DIRECTION
C1	175.00'	5.91'	5.91'	S39° 20' 59"W
C2	175.00'	65.17'	64.80'	S27° 42' 46"W
C3	175.00'	67.02'	66.61'	S06° 04' 18"W
C4	175.00'	52.19'	52.00'	S13° 26' 39"E
C5	175.00'	11.67'	11.67'	S23° 53' 56"E
C6	175.00'	68.25'	67.82'	S36° 58' 58"E
C7	175.00'	68.05'	67.62'	S59° 17' 48"E
C8	175.00'	67.74'	67.32'	S81° 31' 36"E
C9	175.00'	41.91'	41.81'	N80° 31' 21"E
C10	175.00'	19.10'	19.09'	N70° 32' 06"E
C11	175.00'	96.76'	95.54'	N51° 34' 05"E
C12	175.00'	56.40'	56.16'	N26° 29' 40"E
C13	25.00'	39.27'	35.36'	N62° 15' 42"E
C14	155.00'	15.39'	15.38'	S69° 53' 39"E
C15	155.00'	137.19'	132.75'	S41° 41' 39"E
C16	205.00'	161.29'	157.16'	S38° 52' 39"E
C17	175.00'	28.91'	28.88'	S68° 00' 22"E
C18	175.00'	58.04'	57.77'	S53° 46' 22"E
C19	225.00'	37.17'	37.13'	S68° 00' 22"E
C20	25.00'	39.27'	35.36'	S27° 44' 18"E
C21	125.00'	123.05'	118.14'	N45° 27' 42"E
C22	125.00'	184.02'	167.85'	S64° 09' 48"E
C23	125.00'	135.93'	129.33'	N09° 09' 53"E
C24	25.00'	34.24'	31.62'	N79° 32' 57"E
C25	25.00'	36.91'	33.65'	S01° 58' 37"E

LINE TABLE

LINE #	LENGTH	DIRECTION
L1	203.81	N22° 01' 33.39"W
L2	375.80	N22° 26' 56.19"W
L3	62.66	N21° 30' 43.95"W
L4	101.46	N13° 48' 41.59"E
L5	177.03	N44° 08' 49.40"E
L6	104.54	N46° 16' 15.46"E
L7	12.94	S40° 19' 03.87"W
L8	19.16	N17° 15' 41.59"E
L9	25.74	N16° 20' 18.41"W
L10	20.00	N16° 20' 18.41"W
L11	45.74	S16° 20' 18.41"E
L12	45.74	S16° 20' 18.41"E
L13	19.16	S17° 15' 41.59"W
L14	14.82	S72° 44' 18.41"E
L15	14.38	N40° 19' 03.87"E
L16	11.34	N45° 38' 19.15"E



REVISIONS

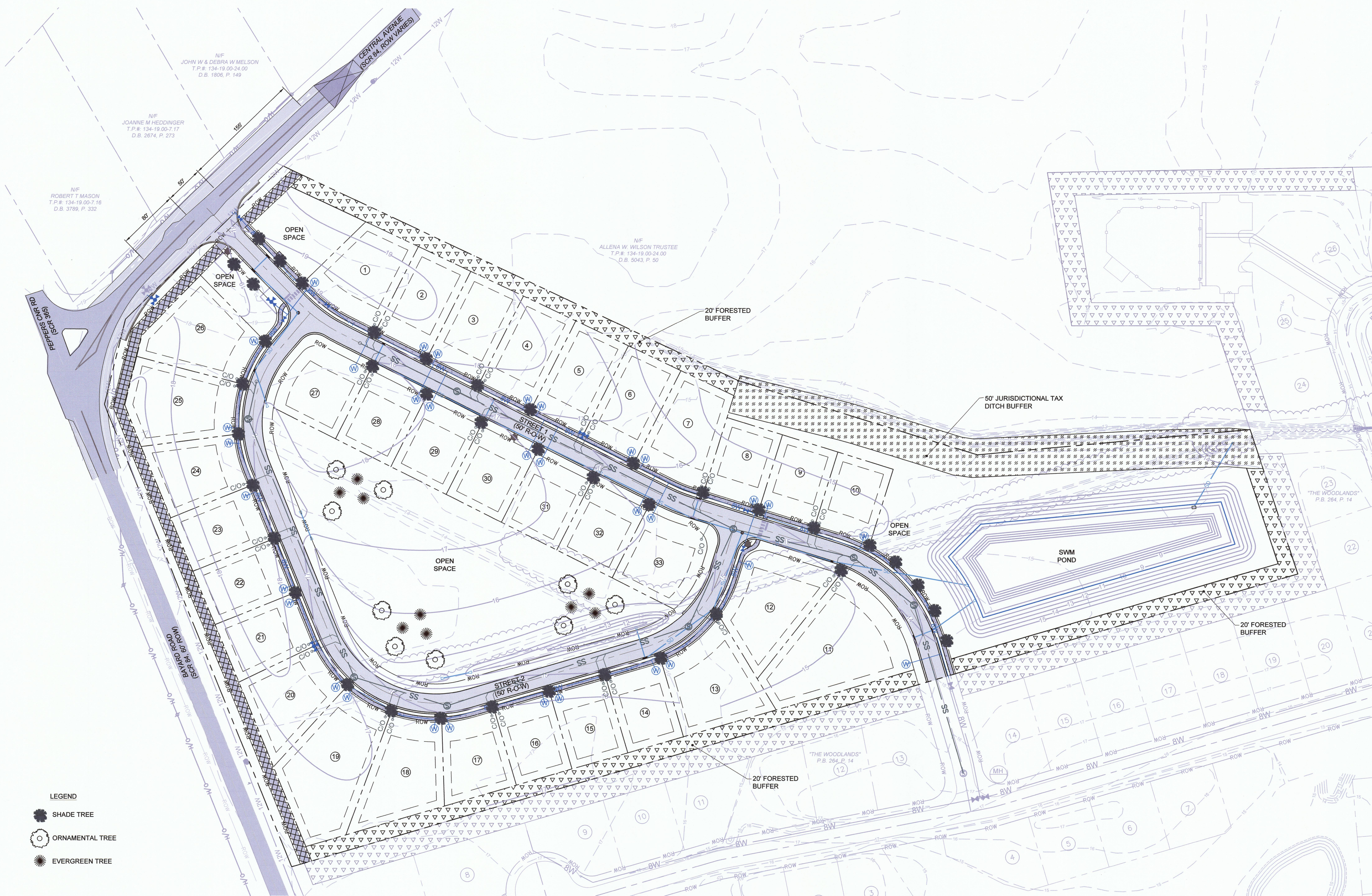
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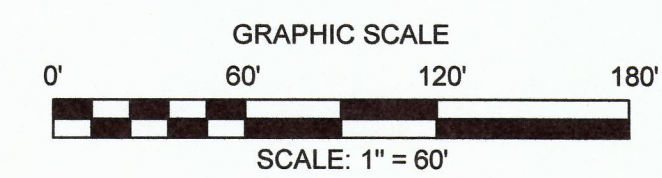
**RECORD PLAN FOR WOODLANDS II JANKOVIC PROPERTY**  
BALTIMORE HUNDRED  
SUSSEX COUNTY, DELAWARE

DATE: SEPTEMBER 18, 2020  
DESIGNED BY: YMR APPROVED BY: RHS  
FILE: RECORD PLAN.DWG  
SHEET NO.: **RP-1**



LEGEND

- SHADE TREE
- ORNAMENTAL TREE
- EVERGREEN TREE



LANDSCAPE PLAN  
FOR  
**WOODLANDS II**  
**JANKOVIC PROPERTY**  
BALTIMORE HUNDRED  
SUSSEX COUNTY, DELAWARE

**CEA CIVIL ENGINEERING ASSOCIATES, LLC**  
ENGINEERING • SURVEYING • CONSTRUCTION SERVICES  
55 W. MAIN STREET  
MIDDLETOWN, DE 19709  
WWW.CEA-DE.COM  
PHONE (302) 376-8833  
FAX (302) 376-8834

REVISION	DATE	DESCRIPTION

DATE: SEPTEMBER 18, 2020  
DESIGNED BY: YMR APPROVED BY: RHS  
FILE: LANDSCAPE PLAN.DWG  
SHEET NO.: **L-1**



DATE