



Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager, Lauren DeVore, Planner III, Christin Headley, Planner I, Nicholas Torrance, Planner I, and Chase Phillips, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: January 14th, 2021

RE: Other Business for the February 11, 2021 Planning Commission Meeting

This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the February 11, 2021 Planning Commission meeting.

Anchors Run (2018-13)

KS

Revised Final Subdivision Plan

This is a Revised Final Subdivision Plan for the creation of a major cluster subdivision to consist of 265 single-family lots and other ancillary works on a 132.71-acre parcel of land accessed from Beaver Dam Road (S.C.R. 23). The property is located on the east side of Beaver Dam Road (S.C.R. 23). Final Subdivision Plan approval was granted by the Commission at its meeting of December 19, 2019. The changes include minor revisions to lot widths to better fit proposed house models, changes to the size of the formerly proposed stormwater management ponds and adding Open Space between Lots 167 and 168. The density remains unchanged. The Final Subdivision Plan complies with the Sussex County Zoning and Subdivision Code and all Conditions of Approval. Staff are in receipt of all agency approvals. Tax Parcel: 234-6.00-19.00 & 20.01. Zoning: AR-1 (Agricultural Residential District).

Ocean Meadows Amenities Plan

KS

Amenities Plan

This is a Preliminary Amenities Plan for the Ocean Meadows subdivision (2018-28) which proposes a 2,518 square foot clubhouse, a pool, fencing, and twenty (20) parking spaces to be located off Heritage Road. Additionally, a landscaping plan for the property is included. This Preliminary Amenities Plan complies with the Sussex County Zoning Code and the Approved Conditions for the Subdivision. is eligible for preliminary and final approvals. Tax Parcel: 234-2.00-2.03. Zoning: AR-1 (Agricultural Residential District). Staff are in receipt of all agency approvals.

Roxana Apartments (S-20-32)

BM

Preliminary Site Plan

This is a Preliminary Site Plan for 125 multi-family apartment community. The community will consist of 6, 14,101 square foot buildings, a 4,750 square foot community center, a community pool, dog park, 274 parking spaces and other site improvements to be located on Roxana Road. Roxana Apartments attended PLUS on June 24th, 2020 and all comments dated July 23rd, 2020 have been addressed. Additionally, an Environmental Assessment and Public Facility Evaluation Report dated September 15th, 2020 has been supplied and all documents are provided with the electronic packet. The Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 134-12.00-330.00. Zoning: C-1 (General Commercial). Staff at awaiting agency approvals.



Mission Gospel Family of God Inc (S-19-43)

KH

Preliminary Site Plan

This is a Preliminary Site Plan to convert an existing one-story building with a 950 square ft addition to a church with 35 parking spaces and other site improvements to be located off Cokesbury Rd (S.C.R. 529). This Preliminary Site Plan complies with the Sussex County Zoning Code and is eligible for Final Site Plan approval. Tax Parcel: 231-10.00-17.00. Zoning: GR (General Residential). Staff are in receipt of all agency approvals.

Camp Arrowhead – Dining Hall Addition

BM

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for the construction of a 1-story 10,328 square foot Dining Hall and Kitchen. The site is located off Camp Arrowhead Road, within the Camp Arrowhead Campground on Teamwork Trail. Camp Arrowhead Campground is an existing non-conforming use of the property. The Revised Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 234-18.00-42.00. Zoning: AR-1 (Agricultural Residential District). Staff are awaiting agency approvals.

Americana Bayside MR-RPC – Freeman Arts Pavilion

BM

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for the construction of a 1,010-seat arts pavilion, including 876 parking spaces, and other related uses on a parcel consisting of 8.98 acres. The site is located on the south side of Signature Boulevard within the existing Americana Bayside development. At their meeting of Thursday, March 12, 2020, the Planning and Zoning Commission approved the Preliminary Subdivision Plan for the performing arts pavilion. Due to the current COVID-19 pandemic, the Freeman Stage had to significantly alter their plans for the 2020 season. Seats were previously sold in “pods” of four, with each pod maintaining the required 6-ft of separation distance. However, this option can only accommodate 400 patrons total and for this reason is unsustainable in the long term. To both address the need to accommodate additional patrons under the current Governor’s Orders and CDC guidelines and ensure the success of the Freeman Stage, GMB has proposed a phasing plan which would allow for maintaining the same number of patrons as the existing stage could accommodate while the new stage is being constructed. The plan is called “Phase 1A” and has been added to the plans as “Phase 1A Temporary Site Plan.” The Final Site Plan complies with the Sussex County Zoning and Subdivision Code and all Conditions of Approval. Tax Parcels: 533-19.00-36.01, 864.00, 866.00, 881.00 and 990.00. Zoning: MR-RPC (Medium Density Residential, Residential Planned Community.) Staff are in receipt of all approvals and the Site Plan is therefore eligible for consideration as a Final Site Plan.

Lands of Richard K. & Joan E. Wilson

KS

Minor Subdivision off a 50-ft Easement

This is a Minor Subdivision Plan for the creation of one (1) lot off a proposed 50-foot wide access easement. Lot 1 shall measure 6.930 acre +/- and the residual lands shall measure 32.73 acres +/- . The property is located on the north west side of Bethel Concord Rd. (S.C.R. 485) and it does not exist within any County Transportation Improvement District. This Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. 911 Address: 26826 Bethel Concord Rd., Seaford. Tax Parcel: 132-7.00-54.00. Zoning: AR-1 (Agricultural Residential District) & C-1 (General Commercial District). Staff are awaiting agency approvals.

Lands of CNSEE, LLC & Charles G. & Patricia A. Wagner

KH

Minor Subdivision off a 50-ft Easement

This is a Minor Subdivision Plan for the creation of one (1) lot off an existing 50-foot wide access easement. Lot 1 shall measure 0.75 acre +/-, Lot 2 shall measure 1.054 acres +/- and the residual lands shall measure 7.40 acres +/- . The property is located on the eastern side of Cedar Neck Road (Rd. 206), and it does not exist within any County Transportation Improvement District. This Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. 911 Address: 6903 & 6509 Cedar Neck Road, Milford. Tax Parcels: 330-11.00-73.01 & 73.03. Zoning: AR-1 (Agricultural Residential District). Staff are awaiting agency approvals.

Lands of Mitchell

HW

Minor Subdivision off a 14-ft Easement

This is a Minor Subdivision Plan for the creation of one (1) lot off a proposed 14-foot wide access easement that is sixty (60) feet in length. The proposed lot will measure 1.51 acres +/-, and the residual land will measure 2.80 acres, +/- . The property is located on the western side of Whaley's Road (S.C.R. 62), and it does not exist within any County Transportation Improvement District. This Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes and is eligible for preliminary and final approvals. 911 Address: 34894 Whaley's Road, Laurel. Tax Parcel: 332-10.00-11.00. Zoning: AR-1 (Agricultural Residential District). Staff are in receipt of all agency approvals and therefore the plan is eligible for approval as a Final Subdivision Plan.

STANDARD DRAWING LEGEND		
FOR ENTIRE PLAN SET (NOT TO SCALE)		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	ON-SITE PROPERTY LINE / R.O.W. LINE	---
---	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
	CONCRETE CURB & GUTTER	<div><div>CURB AND GUTTER</div><div>SPILL CURB TRANSITION CURB</div><div>DEPRESSED CURB AND GUTTER</div></div>
	UTILITY POLE WITH LIGHT	
	POLE LIGHT	
	TRAFFIC LIGHT	
	UTILITY POLE	
	TYPICAL LIGHT	
	ACORN LIGHT	
	TYPICAL SIGN	
	PARKING COUNTS	
120	CONTOUR LINE	120
125		125
125.00	SPOT ELEVATIONS	125.00
125.00		125.00
SAN #	SANITARY LABEL	SAN #
STM #	STORM LABEL	STM #
SL	SANITARY SEWER LATERAL	SL
W	UNDERGROUND WATER LINE	W
E	UNDERGROUND ELECTRIC LINE	E
G	UNDERGROUND GAS LINE	G
OH	OVERHEAD WIRE	OH
T	UNDERGROUND TELEPHONE LINE	T
C	UNDERGROUND CABLE LINE	C
	STORM SEWER	
S	SANITARY SEWER MAIN	S
	HYDRANT	
S	SANITARY MANHOLE	S
D	STORM MANHOLE	D
WM	WATER METER	WM
WV	WATER VALVE	WV
	GAS VALVE	
	GAS METER	
	TYPICAL END SECTION	
	HEADWALL OR ENDWALL	
	YARD INLET	
	CURB INLET	
	CLEAN OUT	
	ELECTRIC MANHOLE	
	TELEPHONE MANHOLE	
	ELECTRIC BOX	
	ELECTRIC PEDESTAL	
	MONITORING WELL	
	TEST PIT	
	BENCHMARK	

- NOTES**
- ALL ON-SITE STREETS ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER UNTIL DEDICATION TO THE HOMEOWNERS ASSOCIATION. THE PERPETUAL MAINTENANCE OF THE STREETS SHALL BE BY THE RESPECTIVE ORGANIZATION.
 - STORMWATER MANAGEMENT AND STORM DRAINAGE SHALL BE IN ACCORDANCE WITH THE SUSSEX COUNTY CONSERVATION DISTRICT AND SUSSEX COUNTY ENGINEERING REQUIREMENTS. THE SITE IS TO BE TREATED BY MULTIPLE WET PONDS. MAINTENANCE OF THE ON-SITE STORMWATER MANAGEMENT FACILITIES AND STORM DRAINAGE SYSTEM SHALL BE BY THE OWNER UNTIL DEDICATION TO THE HOMEOWNERS ASSOCIATION. THE PERPETUAL MAINTENANCE OF THE ABOVE PROACTIVE SHALL BE BY THE RESPECTIVE ORGANIZATION.
 - ALL OPEN SPACE SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. FOR ANY NEW DEVELOPMENT LOCATED IN WHOLE OR IN PART WITH 20 FEET OF THE BOUNDARY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES, NO IMPROVEMENT REQUIRING AN OCCUPANCY APPROVAL FOR A RESIDENTIAL TYPE USE SHALL BE CONSTRUCTED WITHIN 20 FEET OF THE BOUNDARY OF THE LANDS USED PRIMARILY FOR AGRICULTURAL PURPOSES.
 - CONSTRUCTION TO COMMENCE IMMEDIATELY UPON APPROVAL. STORM DRAIN AND WATER LINES WILL BE PLACED FIRST, FOLLOWED BY UTILITIES AND STREETS. A 15 FOOT WIDE PERMANENT EASEMENT IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE, AS PER THIS PLAN.
 - THE HOMEOWNERS ASSOCIATION WILL BE REQUIRED TO MAINTAIN THE FORESTED BUFFER AND OPEN SPACE AND THE SPECIFICS WILL BE SPELLED OUT IN THE HOMEOWNERS ASSOCIATION DOCUMENTS.
 - WETLANDS WERE FOUND ON SITE.
 - NO LANDSCAPING SHALL BE ALLOWED WITHIN RW UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL (DCM).
 - ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
 - SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
 - UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S "SHARED-USE PATH AND/OR SIDEWALK TERMINATION POLICY".
 - SUBDIVISION STREETS CONSTRUCTION WITHIN THE LIMITS OF THE RIGHT-OF-WAY ARE PRIVATE AS SHOWN ON THIS PLAN AND ARE TO BE MAINTAINED BY THE DEVELOPER, PROPERTY OWNERS OR BOTH. THE STATE OF DELAWARE ASSUMES NO MAINTENANCE RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
 - THE SIDEWALK AND SHARED-USE PATH SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SIDEWALK AND/OR SHARED-USE PATH.
 - ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION STREET.
 - DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
 - LOTS WILL BE PERMITTED TO HAVE ACCESS POINTS THAT COMPLY WITH THE DEVELOPMENT COORDINATION MANUAL (DCM) SPACING REQUIREMENTS OF CHAPTER 1 AND LIMITATIONS ON NUMBER OF ACCESS POINTS ESTABLISHED IN DCM CHAPTER 7. HORSESHOE DRIVEWAYS AND SECONDARY ENTRANCES REQUIRE ADDITIONAL DELDOT REVIEW AND SEPARATE PERMITTING. RESTRICTIONS AS DESCRIBED IN THE DCM CHAPTER 7 MAY PROHIBIT SOME SECONDARY ENTRANCE REQUESTS FROM BEING GRANTED.
 - TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
 - THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
 - THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS ON THE DEDICATED SUBDIVISION STREET RIGHT-OF-WAY IN ACCORDANCE WITH SECTION 3.2.4.1 OF THE DEVELOPMENT COORDINATION MANUAL, AND THE REQUIREMENTS OF THE LAND USE AGENCY. RIGHT-OF-WAY MONUMENTS SHALL BE PLACED ALONG THE RIGHT-OF-WAY LINES, AT A MINIMUM ON ONE SIDE OF THE STREET AT EVERY CHANGE IN HORIZONTAL ALIGNMENT TO PROVIDE A PERMANENT REFERENCE FOR THE RE-ESTABLISHING THE CENTERLINE AND RIGHT-OF-WAY LINE.
 - A 20' FORESTED BUFFER TO BE PLANTED WITH A RATIO OF 70% DECIDUOUS AND 30% EVERGREEN TREES.
 - ALL UTILITY EASEMENTS SHOWN ARE TO BE DEDICATED TO THE HOMEOWNERS ASSOCIATION, UNLESS OTHERWISE NOTED.

CONDITIONS OF APPROVAL

- THERE SHALL BE NO MORE THAN 265 LOTS WITHIN THE SUBDIVISION.
- THE DEVELOPER SHALL ESTABLISH A HOMEOWNER'S ASSOCIATION TO BE RESPONSIBLE FOR MAINTENANCE OF STREETS, ROADS, BUFFERS, STORMWATER MANAGEMENT FACILITIES AND OTHER COMMON AREAS.
- THE STORMWATER MANAGEMENT SYSTEM SHALL MEET OR EXCEED THE REQUIREMENTS OF THE STATE AND COUNTY. AS STATED BY THE APPLICANT, THIS SYSTEM SHALL BE DESIGNED TO IMPROVE THE OVERALL STORMWATER AND DRAINAGE CONDITIONS IN THIS AREA, AND SIGNIFICANTLY REDUCE EXISTING RUNOFF FROM THIS PARCEL ONTO ADJACENT SUBDIVISIONS. THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT FOR THE DESIGN AND LOCATION OF ALL STORMWATER MANAGEMENT AREAS AND EROSION AND SEDIMENTATION CONTROL FACILITIES.
- A FORESTED OR LANDSCAPED BUFFER OF AT LEAST 20 FEET IN DEPTH SHALL BE INSTALLED ALONG THE ENTIRE PERIMETER OF THE PROJECT. AS STATED BY THE APPLICANT, THERE SHALL BE AN ADDITIONAL LANDSCAPED BUFFER OF AT LEAST 20 FEET ON THE INTERIOR OF THE FORESTED BUFFER. THIS ADDITIONAL LANDSCAPED BUFFER SHALL NOT BE REQUIRED ALONG THE BOUNDARY WITH BEAVER DAM ROAD. THE FINAL SITE PLAN SHALL CONTAIN A LANDSCAPE PLAN FOR ALL OF THESE AREAS.
- AS STATED BY THE APPLICANT, THE LARGE FORESTED AREA IN THE SOUTHEAST CORNER OF THE SITE SHALL BE PRESERVED. THIS PRESERVATION REQUIREMENT SHALL BE CLEARLY NOTED ON THE FINAL SITE PLAN. THE RECORDING RESTRICTIVE COVENANTS FOR THIS COMMUNITY SHALL ALSO REQUIRE THAT THIS AREA SHALL REMAIN FORESTED IN PERPETUITY.
- THE DEVELOPMENT SHALL COMPLY WITH ALL DELDOT ENTRANCE AND ROADWAY IMPROVEMENT REQUIREMENTS.
- THE SUBDIVISION SHALL BE SERVED BY CENTRAL SEWER PROVIDED BY SUSSEX COUNTY.
- THE SUBDIVISION SHALL BE SERVED BY A PUBLICLY REGULATED CENTRAL WATER SYSTEM PROVIDING DRINKING WATER AND FIRE PROTECTION.
- NO LOTS SHALL CONTAIN ANY WETLANDS AND THE FINAL SITE PLAN AND THE RESTRICTIVE COVENANTS SHALL CONTAIN THE REQUIRED "WETLANDS NOTICE".
- THE DEVELOPMENT SHALL BE SERVED BY ITS OWN ON-SITE ACTIVE AMENITIES SUCH AS A POOL AND CLUBHOUSE. AS STATED BY THE APPLICANT, THE CLUBHOUSE SHALL BE AT LEAST 3,500 SQUARE FEET IN SIZE, AND THE POOL SHALL BE AT LEAST 1,500 SQUARE FEET IN SIZE.
- THE DEVELOPER SHALL COMPLETE ALL AMENITIES PRIOR TO THE ISSUANCE OF THE 100TH RESIDENTIAL BUILDING PERMIT.
- ROAD NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY MAPPING AND ADDRESSING DEPARTMENT.
- SIDEWALKS SHALL BE INSTALLED ON BOTH SIDES OF ALL INTERNAL STREETS IN THE DEVELOPMENT.
- DELIVERIES OF DIRT, FILL, OR OTHER SIMILAR MATERIALS SHALL ONLY BE MADE TO OR FROM THE SITE BETWEEN THE HOURS OF 8:00 A.M. THROUGH 6:00 P.M., MONDAY THROUGH FRIDAY. CONSTRUCTION ACTIVITIES ON THE SITE SHALL ONLY OCCUR BETWEEN THE HOURS OF 7 A.M. AND 6 P.M., MONDAY THROUGH FRIDAY, AND BETWEEN THE HOURS OF 8 A.M. AND 4 P.M. ON SATURDAY. THERE SHALL NOT BE ANY CONSTRUCTION ACTIVITIES ON SUNDAYS. A REVISED PRELIMINARY SITE PLAN EITHER DEPICTING OR NOTING THESE CONDITIONS MUST BE SUBMITTED TO THE OFFICE OF PLANNING AND ZONING.
- THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.

APPROVED BY SUSSEX COUNTY PLANNING AND ZONING

PLANNING AND ZONING COMMISSION

APPROVED BY SUSSEX COUNTY COUNCIL

PRESIDENT OF THE SUSSEX COUNTY COUNCIL

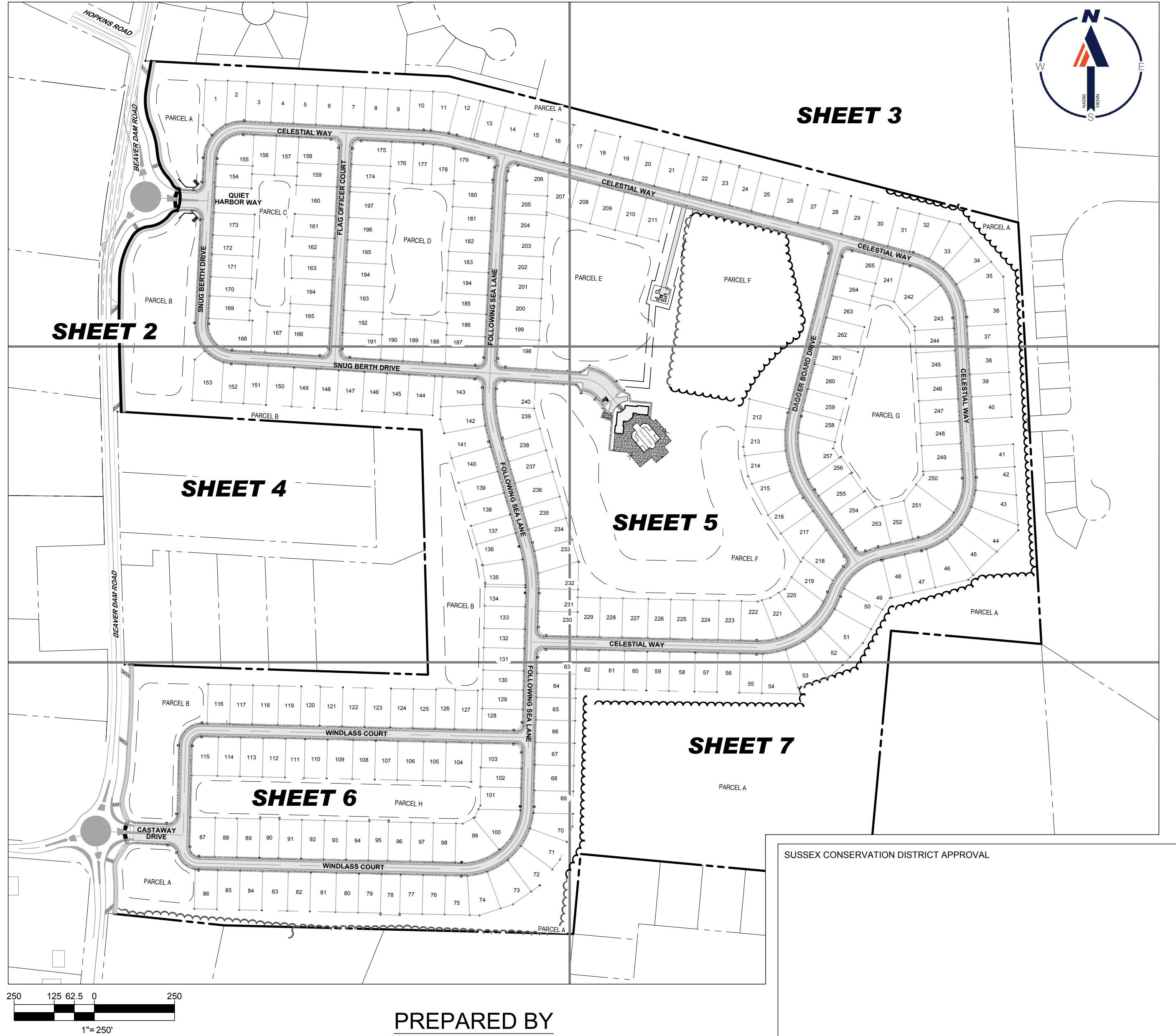
RECORD PLAN

ANCHORS RUN

PROPOSED

RESIDENTIAL SUBDIVISION

LOCATION OF SITE
BEAVER DAM RD
SUSSEX COUNTY, DELAWARE
INDIAN RIVER HUNDRED
TAX MAP 234-6.00-19.00 AND 234-6.00-20.01



PREPARED BY

BOHLER

CONTACT: STEVEN T. FORTUNATO, P.E.

OWNER/DEVELOPER

ANCHOR'S RUN INVESTMENTS, INC.
16255 SUSSEX HIGHWAY
BRIDGEVILLE, DE 19933
CONTACT: ROBERT LISLE
(302) 337-6967



LOCATION MAP

SCALE: 1" = 2000'
PLAN REFERENCE:
DELOME STREET ATLAS 2009
COPYRIGHT 2008

PROJECT NOTES

- THE PURPOSE OF THIS PLAN IS TO SHOW THE DEVELOPMENT OF A 265 LOT RESIDENTIAL SUBDIVISION, A CLUBHOUSE, AND ASSOCIATED SURROUNDING SITE IMPROVEMENTS AND UTILITY SERVICES. THIS IS A REVISION TO A PREVIOUSLY RECORDED RECORD PLAN. THIS PLAN IS INTENDED TO SHOW REVISED INTERIOR LOT LINES, DIMENSIONS, AND SIZES.
- THIS PLAN SUPERSEDES, IN PART, THE FINAL SUBDIVISION PLAN FOR ANCHORS RUN, DATED 8/18/2019 AND RECORDED ON 12/8/2020 IN THE RECORDER OF DEEDS IN AND FOR SUSSEX COUNTY, STATE OF DELAWARE, DOCUMENT # 2020000004162.
- TAX MAP PARCEL NO.: 234-6.00-19.00 AND 234-6.00-20.01
- EXISTING ZONING: AR-1 (AGRICULTURAL RESIDENTIAL COASTAL OVERLAY ZONE)
- PROPOSED ZONING: AR-1 (AGRICULTURAL RESIDENTIAL COASTAL OVERLAY ZONE)
- EXISTING USE: VACANT/WOODED
- PROPOSED USE: RESIDENTIAL SUBDIVISION
- TOTAL SITE AREA: 132.71± AC
- DENSITY:
PROVIDED: 265 SINGLE FAMILY UNITS/132.71 A.C = 1.99
MAXIMUM ALLOWABLE DENSITY: 2.00
- SITE AREA:
R.O.W.: 14.58± AC
LOTS: 85.69± AC
DELDOT DEDICATION: 2.20± AC
PARCEL/OPEN AREA: 60.24± AC
TOTAL: 132.71± AC
- SWM POND/OPEN SPACE AREAS:
PARCEL A: 24.12± AC
PARCEL B: 9.05± AC
PARCEL C: 1.46± AC
PARCEL D: 1.97± AC
PARCEL E: 3.61± AC
PARCEL F: 14.43± AC
PARCEL G: 2.89± AC
PARCEL H: 2.71± AC
TOTAL: 60.24± AC
- INVESTMENT LEVEL: 4
- OWNER/DEVELOPER:
ANCHORS RUN INVESTMENT, INC.
ROBERT LISLE
16255 SUSSEX HIGHWAY
BRIDGEVILLE, DE 19933
(302) 337-6967
- ENGINEER:
BOHLER
18958 COASTAL HWY, SUITE D
REHOBOTH BEACH, DE 19971
(302) 644-1155
- DATUM:
HORIZONTAL: NAD 83 (DELAWARE STATE PLANE GRID)
VERTICAL: NAVD 88
- EXISTING GROSS ACREAGE: ±5,780,848 SF (132.71 AC)
PROPOSED GROSS ACREAGE: ±5,780,848 SF (132.71 AC)
- THIS PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE .02% CHANCE ANNUAL FLOODPLAIN) PER FIRM MAP NUMBER 1005C0330J, LAST REVISED: MARCH 16, 2015.
- REFERENCE PREVIOUSLY APPROVED FINAL SUBDIVISION PLAN BY PARKER & ASSOCIATES, DATED 06/18/19.
- TOTAL AREA OF WETLANDS ON SITE: ±0.21 AC.
- TOTAL FORESTED AREA TO BE PRESERVED: ±17.54 AC.
- TOTAL FORESTED AREA TO BE REMOVED: ±13.04 AC.
- THIS PROPERTY IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA.
- THIS PROPERTY IS LOCATED WITHIN AN AREA OF "POOR" AND "FAIR" GROUNDWATER RECHARGE POTENTIAL.

CERTIFICATION OF OWNERSHIP

I HEREBY CERTIFY THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THIS PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

ROB LISLE / KEVIN BROZNYA
ANCHOR'S RUN INVESTMENT, INC.
16255 SUSSEX HIGHWAY
BRIDGEVILLE, DE 19933
P: (302) 337-6967

CERTIFICATION OF ACCURACY (ENGINEER)

I, STEVEN T. FORTUNATO, P.E., HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

STEVEN T. FORTUNATO, P.E.
BOHLER
18958 COASTAL HWY, SUITE D
REHOBOTH BEACH, DE 19971
P: (302) 644-1155 / F: (302) 703-3173

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	1/29/21	PER PLANNING AND ZONING COMMENTS	JRA STF



NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: DE190040
DRAWN BY: JRA
CHECKED BY: STF
DATE: 12/08/20
CAD ID: RP-1

RECORD PLAN

FOR

ANCHORS RUN

PROPOSED
RESIDENTIAL SUBDIVISION

INDIAN RIVER HUNDRED
BEAVER DAM ROAD,
SUSSEX COUNTY, DE
TAX MAP: 234-6.00-19.00
AND 234-6.00-20.01

BOHLER

18958 COASTAL HWY, SUITE D
REHOBOTH BEACH, DE 19971
Phone: (302) 644-1155
Fax: (302) 703-3173
BohlerEngineering.com

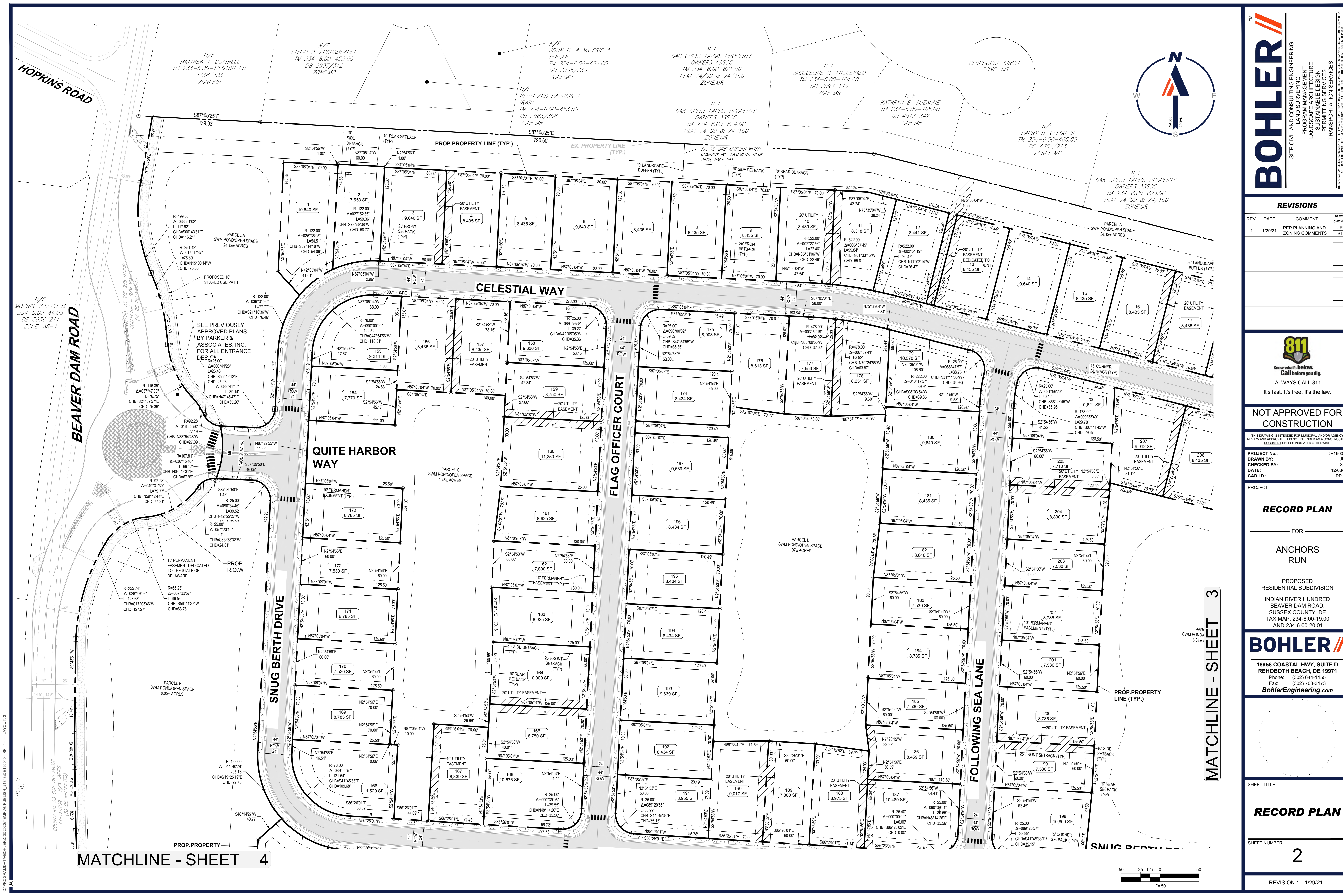
SHEET TITLE:

RECORD COVER SHEET

SHEET NUMBER:

1

REVISION 1 - 1/29/21



BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM ARCHITECTURE
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	BY	CHKD
1	1/29/21	PER PLANNING AND ZONING COMMENTS	JRA	STF

811

Know what's below.
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

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PROJECT No.: DE190040
DRAWN BY: JRA
CHECKED BY: STF
DATE: 12/20/20
CAD ID: RP - 1

PROJECT:

RECORD PLAN

FOR

ANCHORS RUN

PROPOSED RESIDENTIAL SUBDIVISION
INDIAN RIVER HUNDRED
BEAVER DAM ROAD,
SUSSEX COUNTY, DE
TAX MAP: 234-6.00-19.00
AND 234-6.00-20.01

BOHLER

18958 COASTAL HWY, SUITE D
REHOBOTH BEACH, DE 19971
Phone: (302) 644-1155
Fax: (302) 703-3173
BohlerEngineering.com

SHEET TITLE:

RECORD PLAN

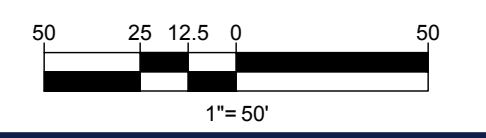
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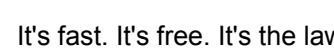
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REVISION 1 - 1/29/21

MATCHLINE - SHEET 3

MATCHLINE - SHEET 4



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PROJECT

— FOR —

PROPOSED
RESIDENTIAL SUBDIVISION**BOHLER //**

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SHEET NUMBER:

3

REVISION 1 - 1/29/20





DAGGER BOARD DRIVE

CELESTIAL WAY

FUTURE STREET
CONNECTOR



BOHLER

REVISIONS

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Call before you dig.**
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CONSTRUCTION

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PROJECT No.:	DE190040
DRAWN BY:	JRA
CHECKED BY:	STF
DATE:	12/08/20
CAD I.D.:	RP - 1

RECORD PLAN

— FOR

ANCHORS RUN

PROPOSED
RESIDENTIAL SUBDIVISION
INDIAN RIVER HUNDRED
BEAVER DAM ROAD,
SUSSEX COUNTY, DE
TAX MAP: 234-6.00-19.00
AND 234-6.00-20.01

BOHLER //

**18958 COASTAL HWY, SUITE D
REHOBOTH BEACH, DE 19971**
Phone: (302) 644-1155
Fax: (302) 703-3173
BohlerEngineering.com

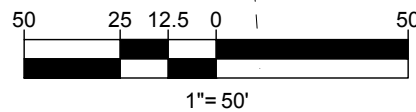
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RECORD PLAN

SHEET NUMBER:

5

REVISION 1 - 1/29/21



MATCHLINE - SHEET 7

N/F
LEE & MARY ROBINSON
TM 234-11.00-40.01
DB 1364/101
ZONE:AR-1

CELESTIAL WAY

an 29, 2021
c:\PROGRAMDATA\BOHLER\3D2020\TEMP\AC\PUBLISH_21848\DE190040 - RP - 1----->LAYOUT: 5



MATCHLINE - SHEET 4

BEAVER DAM ROAD

CASTAWAY DRIVE

WINDLASS COURT

WINDLASS COURT

FOLLOWING SEA LANE

MATCHLINE - SHEET 7

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	1/29/21	PER PLANNING AND ZONING COMMENTS	JRA STF



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PROJECT No.: DE190040
DRAWN BY: JRA
CHECKED BY: JRA
DATE: 12/08/20
CAD ID: RP-1

RECORD PLAN

FOR

ANCHORS RUN

PROPOSED
RESIDENTIAL SUBDIVISION
INDIAN RIVER HUNDRED
BEAVER DAM ROAD,
SUSSEX COUNTY, DE
TAX MAP: 234-6.00-19.00
AND 234-6.00-20.01

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REHOBOTH BEACH, DE 19971
Phone: (302) 644-1155
Fax: (302) 703-3173
BohlerEngineering.com

SHEET TITLE:

RECORD PLAN

SHEET NUMBER:

6

REVISION 1 - 1/29/21

N/F
LIGE THOMAS & DEBORAH J. HARMON
TM 234-6.00-20.02
DB 2429/88
ZONE:AR-1

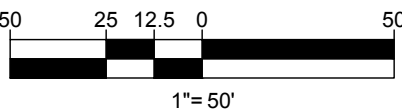
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GREGORY W. BUNTING
TM 234-6.00-20.07
PLAT 20/27
ZONE:AR-1

N/F
GREGORY W. BUNTING
TM 234-5.00-52.00
PLAT 57/117
ZONE:AR-1

N/F
NULL
TM 234-5.00-44.08
DB 3418/292
ZONE:AR-1

N/F
BMM & MLP
TM 234-5.00-44.09
ZONE:AR-1

N/F
BUSH JEFFERY
TM 234-5.00-53.08
DB 4803/298
ZONE:AR-1



CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
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PROJECT:

- FOR

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RESIDENTIAL SUBDIVISION

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Fax: (302) 703-3173
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SHEET NUMBER

REVISION 1 - 1/29/21

SITE DATA:

1. TAX MAP NUMBER:

2-34-2.00-2.03
2. OWNER NAME:

ESTATES AT CEDAR GROVE, LLC
5950 SYMPHONY WOODS RD, SUITE 408
COLUMBIA, MD 21044
3. DEVELOPER NAME:

STONEMARK VENTURES LLC
12154 HAYLAND FARM WAY
ELLICOTT CITY, MD 21044
4. PARKING REQUIREMENTS:

REQUIRED:
PROPOSED: 20 SPACES WITH 2 HANDICAPPED SPACES INCLUDED
5. TOWN/HUNDRED/COUNTY:

LEWES / INDIAN RIVER / SUSSEX
6. CURRENT ZONING:

AR-1 AGRICULTURAL RESIDENTIAL
7. PROPOSED ZONING:

AR-1 (CLUSTER)
8. PRESENT USE:

SINGLE-FAMILY RESIDENTIAL SUBDIVISION/POOL AND CLUBHOUSE
9. PROPOSED USE:

SINGLE-FAMILY RESIDENTIAL SUBDIVISION/POOL AND CLUBHOUSE
10. REQUIRED SETBACKS (B.R.L.):

25'
DEPTH OF FRONT YARD (FEET)
15'
DEPTH OF CORNER FRONT YARD
10'
WIDTH OF SIDE YARD (FEET)
10'
DEPTH OF REAR YARD (FEET)
11. WATER SUPPLIER:

PUBLIC - TIDEWATER ENVIRONMENTAL SERVICES, INC.
(115-25 E.(7))
12. SANITARY SEWER PROVIDER:

PUBLIC - TIDEWATER ENVIRONMENTAL SERVICES, INC.
(115-25 E.(7))
13. SECTION 89 - SOURCE WATER PROPERTY:

A. SUBJECT PROPERTY IS WITHIN AN AREA OF "POOR" GROUND WATER RECHARGE
B. SUBJECT PROPERTY IS NOT LOCATED IN WELLHEAD PROTECTION AREA.
14. STREETS:

PRIVATE (99-18 E.)
15. POSTED SPEED LIMIT (BEAVER DAM RD):

50 MPH
16. STATE INVESTMENT AREA:

LEVEL 4
17. PROPOSED BUILDING HEIGHT:

LESS THAN 42 FEET
18. SITE AREA AND ACREAGE:

STORMWATER MANAGEMENT AREA 0.00 AC
IMPERVIOUS: 0.39 AC
GRASS: 0.69 AC
EX FORESTED ACREAGE 0.00 AC
TOTAL 0.91 AC
19. NET DEVELOPMENT:

0.91 AC (AMENITIES AREA ONLY)
20. LATITUDE AND LONGITUDE STATE PLAN COORDINATES:

LONGITUDE: W075.123134 LATITUDE: N038.424601
21. WETLAND AREA:

0.00 AC, ±
22. PROPOSED DISCHARGE LOCATION:

BUNDICKS BRANCH/
REHOBOTH BAY
23. WATERSHED:

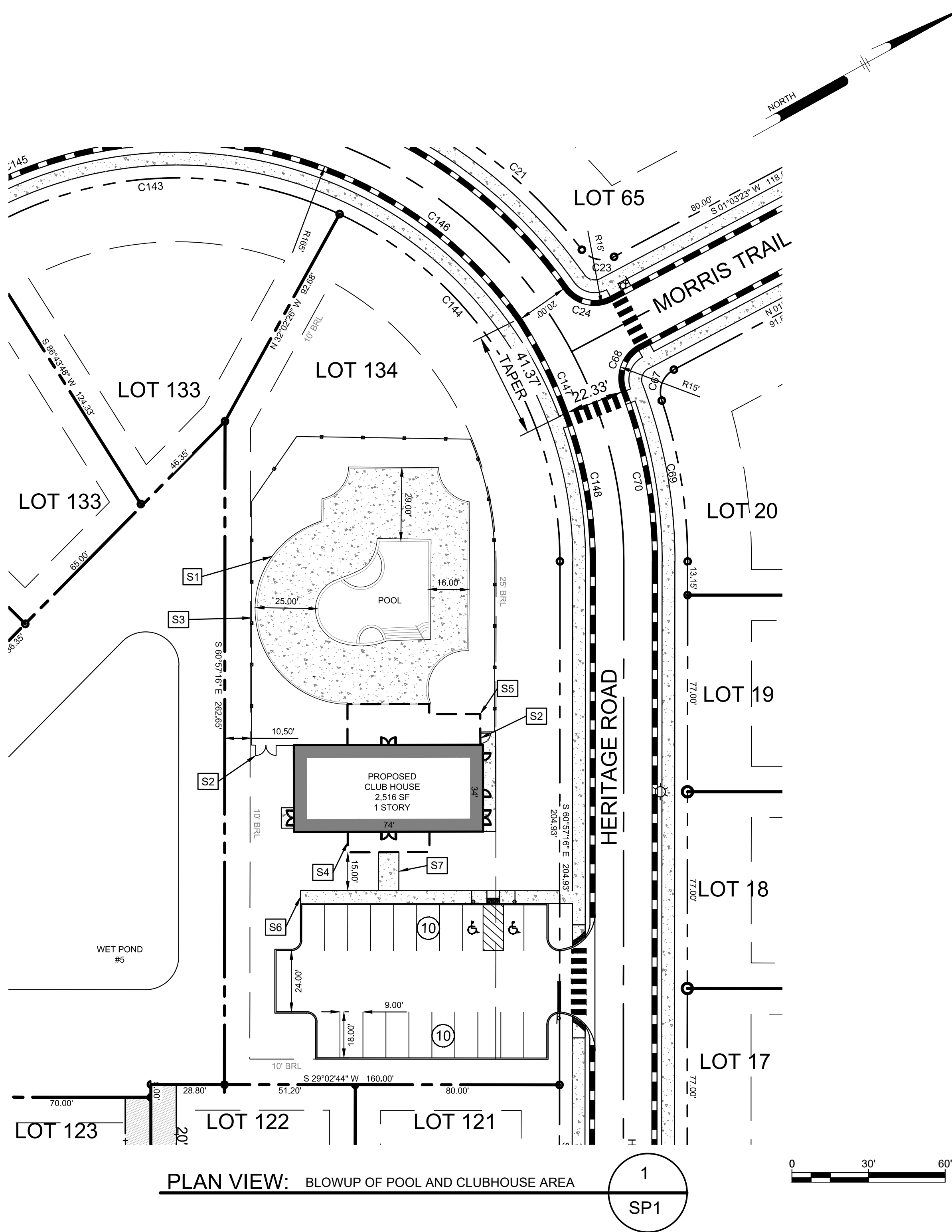
REHOBOTH BAY
24. DATUM:

HORIZONTAL = NAD 83
VERTICAL = NAVD 88
25. FLOOD ZONE, BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) 100050330 J, EFFECTIVE DATE JANUARY 6, 2005, THE SUBJECT PROPERTY IS LOCATED ENTIRELY WITHIN ZONE X (UNSHADED), WHICH IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN.

GENERAL NOTES

1. PROPOSED BUILDING CONSTRUCTION TYPE, (NFPA TYPE V (000) WOOD FRAME).
2. AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.
3. LOCK BOX REQUIRED, CONTACT LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF BOX ON THE BUILDING.
4. WATER SUPPLY: PUBLIC-TIDEWATER ENVIRONMENTAL SERVICES, INC.
5. SANITARY SEWER PROVIDER: PUBLIC-TIDEWATER ENVIRONMENTAL SERVICES, INC.
6. POOL HOUSE DETAILS.
- 6.1. BUILDING SQUARE FOOTAGE = 2,516.00'
- 6.2. TOTAL STORIES = 1 STORY BUILDING
- 6.3. TOTAL HEIGHT = 42 FEET MAX
7. ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
8. ALL PROPOSED SIGNAGE WILL REQUIRE A SEPARATE PERMIT FROM THE COUNTY.

PRELIMINARY / FINAL AMENITIES PLAN
WITHIN THE EXISTING OCEAN MEADOWS



KEYED NOTES

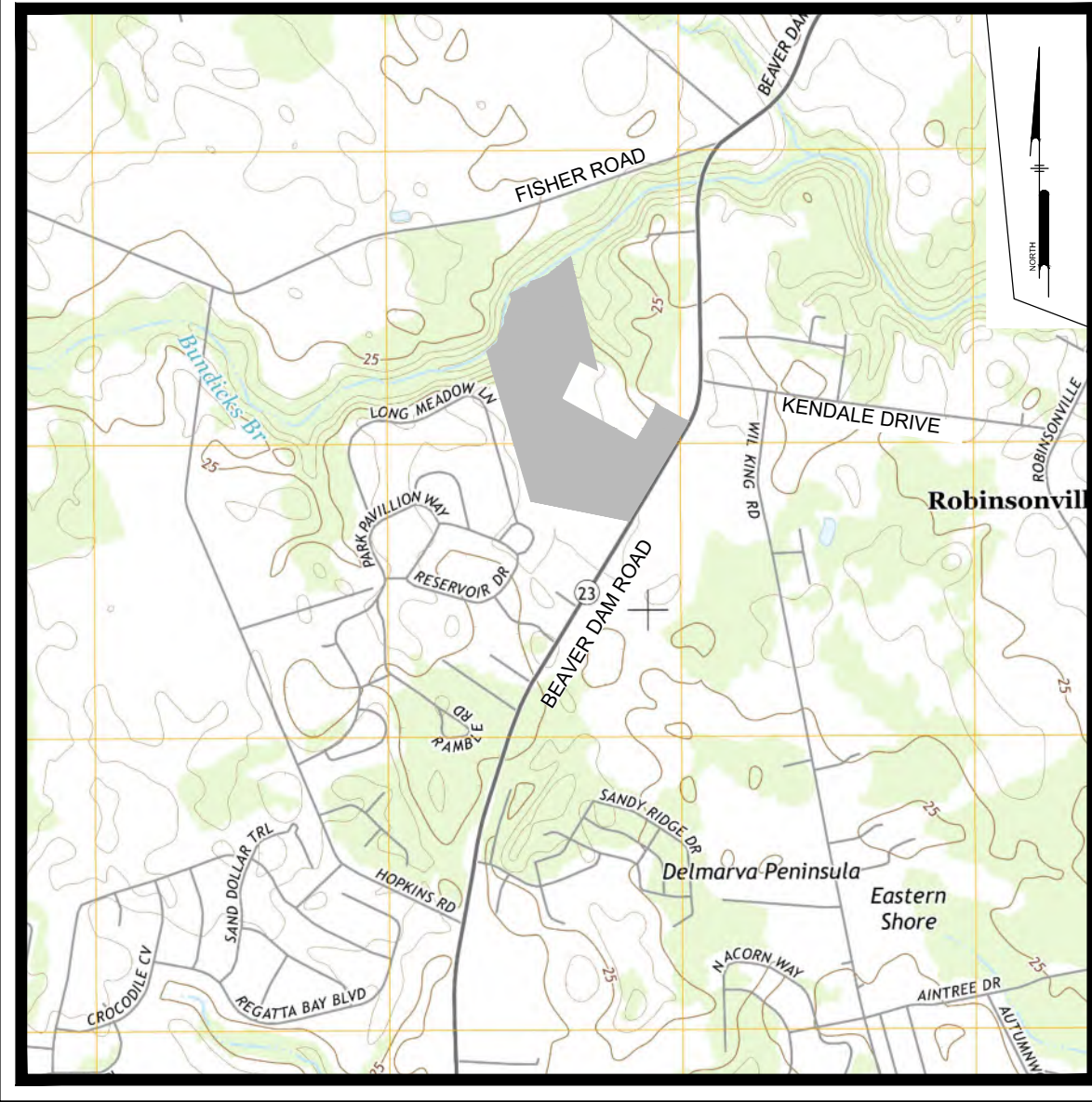
- S1 POOL AND CONCRETE DECK
- S2 4" HIGH POOL GATE TO HAVE PANIC GATE DEVICE.
- S3 4" HIGH PERIMETER BLACK ALUMINUM FENCE.
- S4 COVERED PATIO (256 SF)
- S5 COVERED PATIO (752 SF)
- S6 5' WIDE CONCRETE SIDEWALK
- S7 8' WIDE CONCRETE SIDEWALK

DEVELOPER CERTIFICATION:
I HEREBY CERTIFY THAT I AM THE LEGAL OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

STONEMARK VENTURES, LLC.
12154 HAYLAND FARM WAY
ELLICOTT CITY, MARYLAND 21044
(410) 861-7159

ENGINEER CERTIFICATION:
IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE COMPLIES WITH APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SIGNATURE _____ DATE _____
ALAN DECKTOR, PE (DE PE#17771)
PENNONI ASSOCIATES, INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968
OFFICE (302) 684-8030 - FAX (302) 684-8054



LOCATION MAP
Scale: 1" = 2000'

LEGEND

-
- PROPOSED CLUBHOUSE
-
- PROPOSED CONCRETE PATIO
DECKING AND SIDEWALK
-
- PROPOSED POOL FENCING
-
- R.O.W. LINE
-
- CENTERLINE OF ROAD
-
- BUILDING RESTRICTION LINE
-
- PROPOSED EDGE OF PAVEMENT

OCEAN MEADOWS
SUSSEX COUNTY - INDIAN RIVER HUNDRED
BEAVER DAM ROADS (SCR 285), LEWES, DE

AMENITIES SITE PLAN
STONEMARK VENTURES, LLC.
12154 HAYLAND FARM WAY
ELLICOTT CITY, MARYLAND 21044

PROJECT	SMVSX19001
DATE	2021-01-14
DRAWING SCALE	1"=30'
DRAWN BY	TPM
APPROVED BY	AMD

CS-1801
SHEET 1 OF 2

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

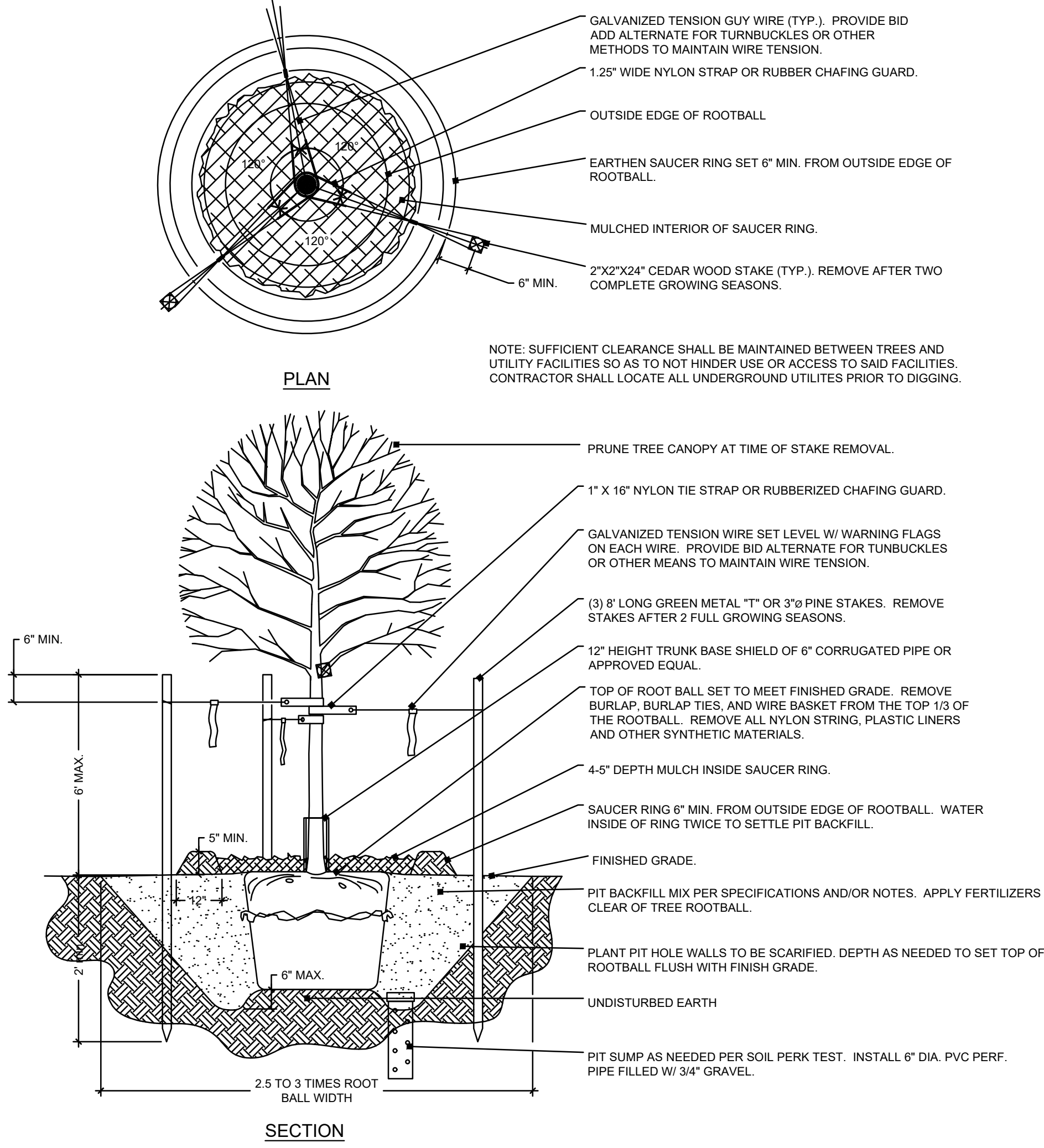
ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

SOURCE: USGS, LEWES QUADRANGLE, DELAWARE-SUSSEX CO., 7.5-MINUTE SERIES, 1982

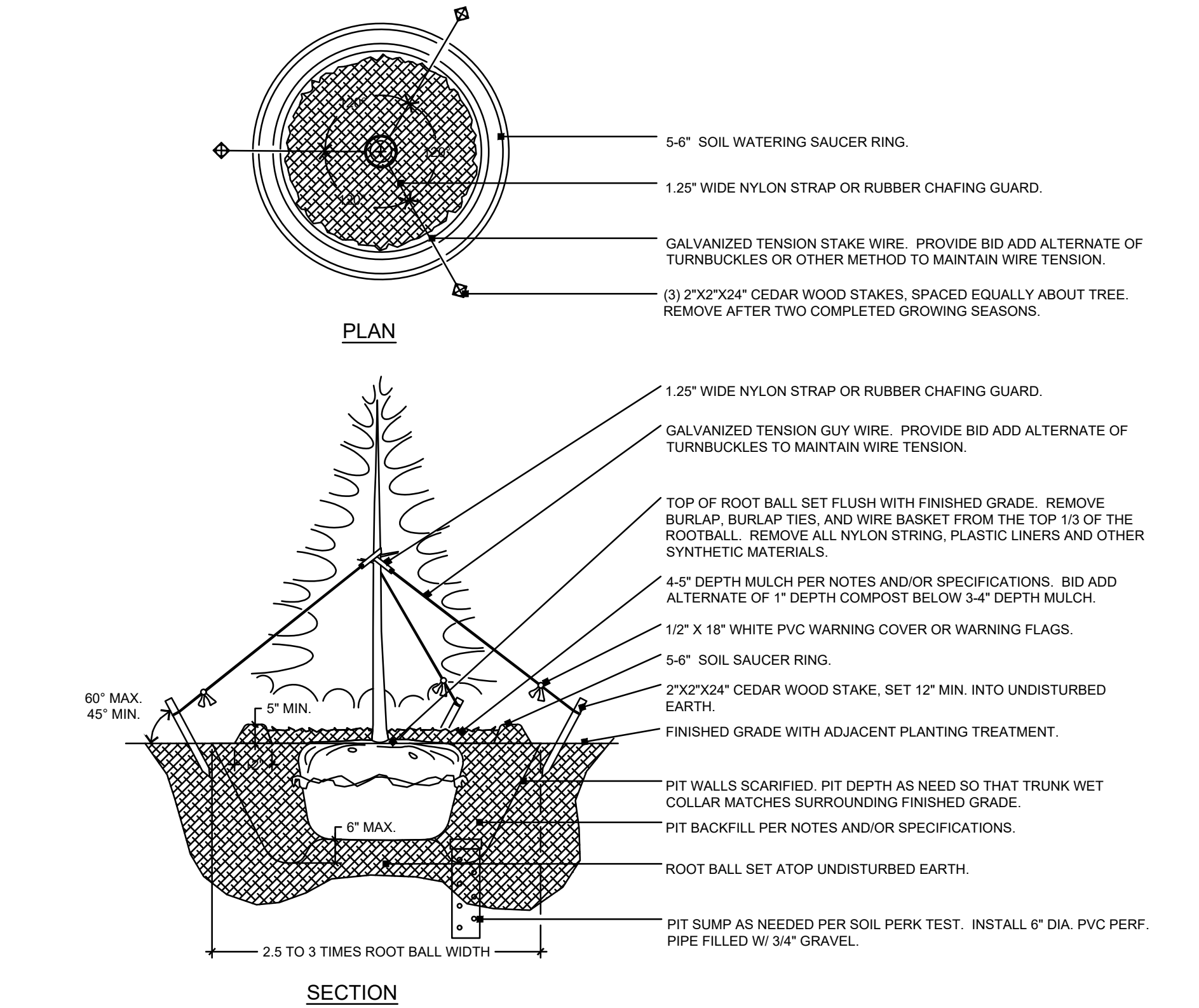


PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.8030 F 302.684.8054

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A CANOPY TREE PLANTING AND GUYING
N.T.S.



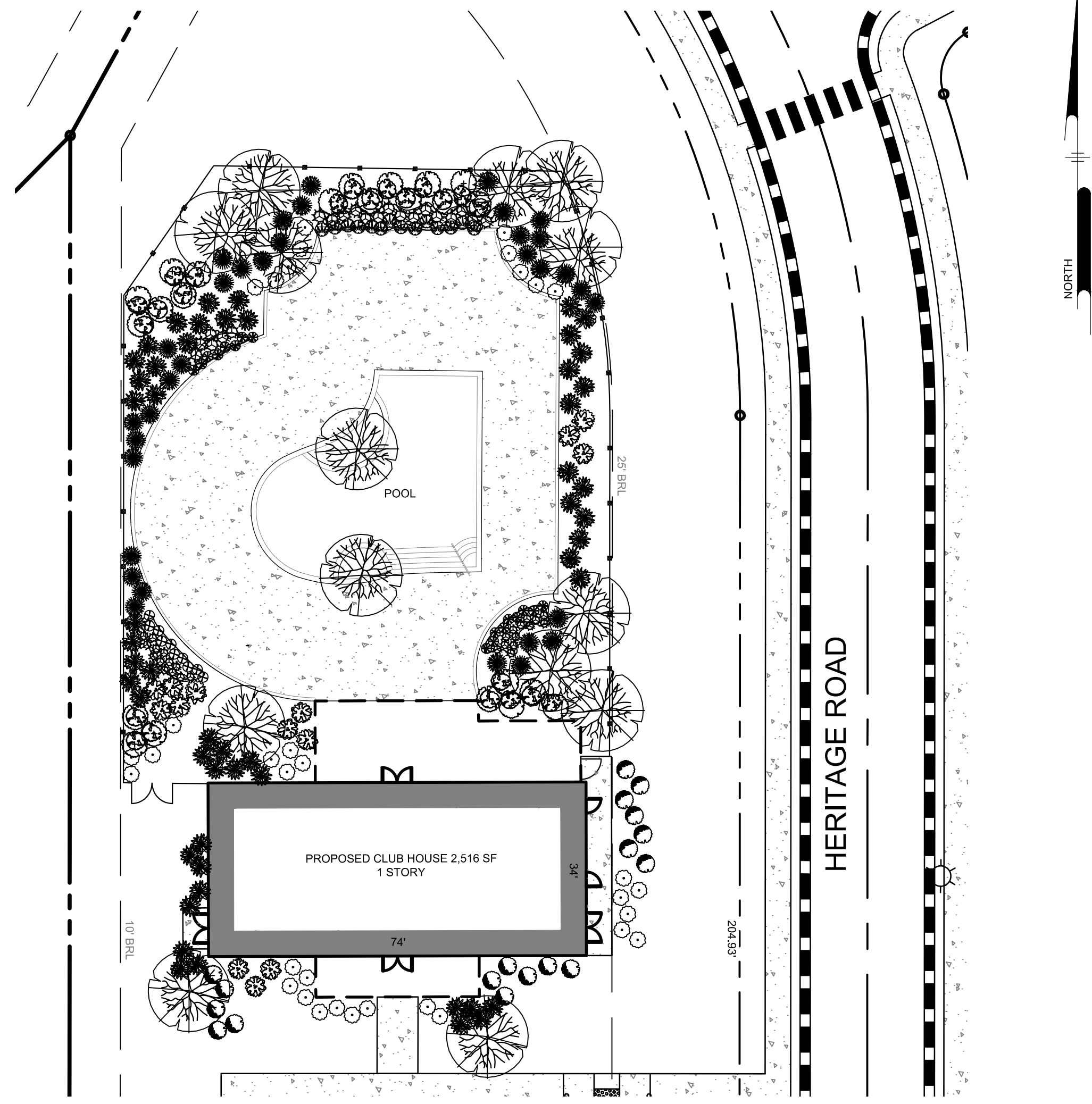
B EVERGREEN TREE PLANTING AND STAKING
N.T.S.

SHRUB SIZE	MIN. PIT WIDTH
#1 GALLON	18"
#3 GALLON	30"
#5 GALLON	42"

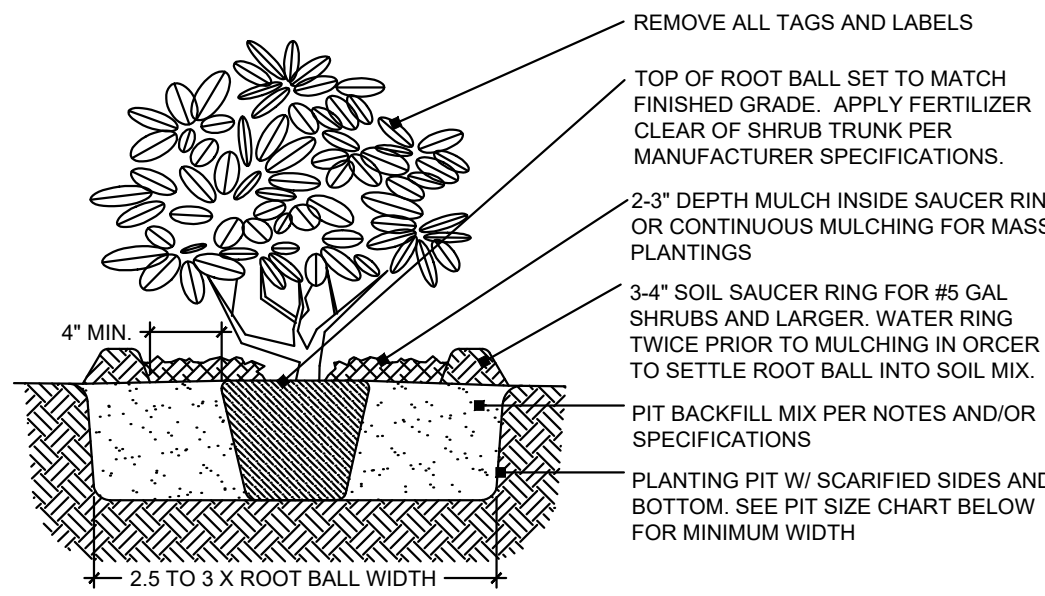
C SHRUB PLANTING
N.T.S.

LANDSCAPE CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE REGULATIONS AND LAWS OF THE STATE OF DELAWARE.

ERIC W. WAHL, RLA (DE# S1-0000409) DATE
PENNONI ASSOCIATES INC.
18072 DAVIDSON DR
MILTON, DE 19068



PLAN VIEW: LANDSCAPE PLAN FOR POOL AND CLUBHOUSE AREA



Landscape

Quantity	Symbol	Description	Part Number
Annuals-Perennials			
10	☼	Bee Balm 1 Gallon	
17	☼	Black-Eyed Susan 1 Gallon	
47	☼	Caryopteris 'Longwood Blue' 1 gal.	
14	☼	Coneflower, White Swan Each	

Ornamental Grasses

34	☼	Maiden Grass 2 gal	
----	---	--------------------	--

Shrubs Over 4 Feet

26	☼	American Cranberry, Dwarf 5 gal.	
----	---	----------------------------------	--

Shrubs Under 4 Feet

53	☼	Abelia, Kaleidoscope 3 gal.	
18	☼	Azalea, 'Delaware Valley' 3 Gallon	
34	☼	Boxwood, 'Korean Green Gem' 1 Gallon	
14	☼	Weigela 3 Gallon	

Trees

14	☼	Crape Myrtle 5 gallon	
----	---	-----------------------	--

LANDSCAPE NOTES:

- ALL PLANTS TO BE TRUE TO SPECIES, IN A RIGOROUS STATE OF GROWTH, MEET WITH THE LATEST STANDARDS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, AND BE FREE OF INSECTS, PESTS AND DISEASES. NO MATERIAL SUBSTITUTIONS ARE PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT
- CONTRACTOR SHALL OBTAIN A DIGITAL FILE FROM LANDSCAPE ARCHITECT AS NEEDED TO PROPERLY STAKE OUT PROPOSED TREE LOCATIONS
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE PLANS, NOTES, AND SPECIFICATIONS
- MULCH:
 - NATIVE SHREDDED HARDWOOD MIXED WITH NATIVE LEAF LITTER. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL
 - APPLY 1-2" DEPTH OF FINELY SHREDDED MULCH OVER GROUND COVER AND PERENNIAL BEDS.
 - APPLY 2-3" DEPTH MULCH OVER SHRUB BEDS AND INSIDE SHRUB SAUCER RINGS.
 - APPLY 4-6" DEPTH MULCH INSIDE TREE SAUCER RINGS.
- FINE GRADING:
 - FINE GRADE ALL GROUND COVER AND SHRUB BED PRIOR TO PLANTING. HAND GRADE ALL PROPOSED LAWN AREAS PRIOR TO HYDRO SEEDING OR LAYING SOD. REMOVE ALL ROCKS, CLUMPS, AND FOREIGN DEBRIS GREATER THAN 1" DIAMETER.
- TOP SOIL:
 - CONTRACTOR SHALL OBTAIN SOILS TESTS FROM THE DELAWARE DEPARTMENT OF AGRICULTURE EXTENSION OFFICE (OR EQUAL) AND FURNISH A COPY OF SAID REPORT TO LANDSCAPE ARCHITECT. PRE COUNTY REQUIREMENTS. 6" MINIMUM TOPSOIL SHALL BE PROVIDED THROUGHOUT THE SITE. PROVIDE 12" DEPTH TOP SOIL FOR ALL GROUND COVER PERENNIAL AND SEASONAL PLANTING BEDS. PROVIDE 18" DEPTH TOP SOIL FOR ALL TREE AND SHRUB BEDS.
- PLANT PITS AND BACKFILL:
 - ALL TREE PITS TO BE A MINIMUM OF 2.5 TIMES THE WIDTH OF THE ROOT BALL AND SHRUB PITS TO BE A MINIMUM OF 2 TIMES THE WIDTH OF THE CONTAINER OR ROOT BALL
 - CONTRACTOR SHALL PERFORM A 24 HOUR PERK TEST ON TREE PITS. WATER SHOULD DRAIN FREELY FROM THE HOLE WITHIN A 24 HOUR PERIOD.
 - SET TREE AND PIT DEPTH SUCH THAT THE TRUNK COLLAR OR WET LINE MATCHES THAT OF THE PROPOSED FINISH GRADE. IN POOR DRAINING SOILS CONDITIONS, SET TOPS OF ROOT BALLS APPROXIMATELY 2" ABOVE PROPOSED FINISH GRADE.
 - FOR BALLED AND BURLAPPED TREES, REMOVE THE TOP 1/4" OF THE ROOT BALL CAGE PRIOR TO BACKFILL. REMOVE ALL TWINE AND TIES FROM THE TRUNK OF THE TREE.
 - STANDARD PIT BACKFILL SHALL CONSIST OF 1/2 NATIVE SOIL, 1/2 COMPOST, AND 1/2 SPHAGNUM PEAT MOSS MIXED LIBERALLY TOGETHER. FOR POORLY DRAINING NATIVE SOIL CONDITIONS, PIT BACKFILL SHALL CONSIST OF 1/2 NATIVE SOIL, 1/2 COMPOST, AND 1/2 SAND MIXED LIBERALLY. ADJUST STANDARD FILL MATERIAL MIX WHERE STRUCTURAL SOILS ARE REQUIRED.
 - AROUND EACH TREE SHAPE A 5-6" TALL SOIL SAUCER RING WITH THE INSIDE RING DIAMETER 12" WIDER THAN THE ROOT BALL. AROUND EACH SHRUB, SHAPE A 3-4" TALL SOIL SAUCER RING WITH AN INSIDE DIAMETER OF 8" WIDER THAN THE ROOT BALL.
 - SETTLE TREE AND SHRUB PIT BACKFILL BY WATERING THE INTERIOR OF SAUCER RING TWICE BEFORE MULCHING.
- TREE STAKING AND GUYING:
 - ALL TREES GREATER THAN 1.75" IN CALIPER OR 6' IN HEIGHT SHALL BE STAKED OR GUYED AS SHOWN IN DETAILS. LASSO TIES SHALL BE OF 1-1/4" WIDE NYLON STRAPS OR OF FLEXIBLE PLASTIC THAT WILL NOT CHAFE. SCAR OR DAMAGE TREE LIMBS. STAKE AND GUY CHORDS SHALL BE FLAGGED OR COVERED WITH APPROPRIATE MATERIALS SO THAT THEY ARE READILY VISIBLE. PROVIDE THREE (3) STAKES OR GUYS MINIMUM PER TREE, SPACED EQUALLY ABOUT THE TRUNK BASE. TWO (2) STAKES MINIMUM MAY BE USED IN NARROW, WIND-SHELTERED AREAS WHERE STANDARD STAKING OR GUYING WILL CANNOT FIT. CONTRACTOR SHALL REMOVE ALL STAKING AND GUYING MATERIALS AFTER ONE COMPLETE GROWING SEASON. ALTERNATIVE STAKING METHODS PROPOSED MUST BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL.
- FERTILIZERS:
 - FERTILIZERS FOR LAWNS, BEDS, AND TREE & SHRUB PITS SHALL BE DETERMINED THOUGH THIRD PARTY SOILS TESTING FURNISHED BY THE CONTRACTOR. CONTRACTOR SHALL SUBMIT SOILS TEST RESULTS AND PROPOSED FERTILIZER PRODUCT(S) SPECIFICATIONS TO LANDSCAPE ARCHITECT FOR APPROVAL.
- LANDSCAPE DRAINAGE:
 - THE LANDSCAPE PLAN HAS BEEN PREPARED WITH EXISTING AND PROPOSED GRADIENT DATA PER THE CIVIL ENGINEER. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN EXISTING CONDITIONS OR PROPOSED GRADING THAT WOULD COMPROMISE THE PROPER INSTALLATION AND POSITIVE DRAINAGE OF PROPOSED LANDSCAPE PLANTINGS AND/OR SITE ELEMENTS.
- SEEDED AREAS:
 - THE LIMIT OF SEEDING SHALL EXTEND TO ALL NON SODDED AREAS DISTURBED BY CONSTRUCTION. CONTRACTOR SHALL SUBMIT APPROPRIATE NATIVE GRASS SEED MIXES) SPECIFICATIONS TO LANDSCAPE ARCHITECT FOR APPROVAL. AREA OF SEEDING SHALL BE AT A RATE OF APPROXIMATELY 1 LBS PER 2000 SF OR PER SEED MIX RECOMMENDATIONS TO ACHIEVE THE DESIRABLE PLS APPLICATION RATE. ALL SEED AREA SHALL APPLIED WITH HYDROMULCH OR WITH OTHER TACKIFYING METHODS TO ENSURE SOIL STABILITY THROUGH TO GERMINATION AND ESTABLISHMENT OF THE SEEDED AREA.
- MAINTENANCE PERIOD AND GUARANTEE:
 - CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS THROUGH ONE COMPLETE GROWING SEASON AFTER INITIAL PLANTING. NURSERY PLANT SELECTION MAY BE COORDINATED WITH LANDSCAPE ARCHITECT, BUT SHALL NOT EXEMPT CONTRACTOR FROM MAINTENANCE PERIOD RESPONSIBILITIES AND GUARANTEES. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 2 WEEKS IN ADVANCE TO SCHEDULE AN APPOINTMENT FOR FIELD SELECTION OF PLANT MATERIALS.
- QUALIFICATIONS, INSPECTIONS, AND APPROVALS:
 - A STATEMENT OF QUALIFICATION SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT AND OWNER AT BID SUBMISSION. BONDING, AT OWNER'S DISCRETION, BONDING MAY BE REQUIRED BY THE CONTRACTOR, OR PROOF OF BONDABLE STATUS. REFER TO SPECIFICATIONS FOR LANDSCAPE INSPECTIONS SCHEDULE AND MATERIALS TESTING NOT COVERED IN THESE NOTES. RESULTS FROM ALL REQUIRED MATERIALS TESTING TO BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL. A NOTICE OF FINAL ACCEPTANCE SHALL BE ISSUED TO CONTRACTOR BY THE LANDSCAPE ARCHITECT UPON LANDSCAPE ARCHITECT AND OWNER APPROVAL OF ALL REQUIRED TESTING, MOCK-UPS AND SAMPLES. AND THE SATISFACTORY COMPLETION OF ALL LANDSCAPE CONSTRUCTION PUNCH-LIST ITEMS AND SUBMISSION OF WRITTEN GUARANTEES. A NOTICE OF CONDITIONAL ACCEPTANCE MAY BE ISSUED IN LIEU OF A FINAL ACCEPTANCE NOTICE BY LANDSCAPE ARCHITECT AT THE OWNER'S DISCRETION AND UNDER THE OWNER'S TERMS.
- PER SUSSEX COUNTY ZONING ORDINANCE NO. 1984 SECTION 99-5 - FORESTED AND/OR LANDSCAPE BUFFER STRIP
 - A. A MINIMUM TOTAL OF 15 TREES PER EVERY 100' OF STRIP
 - 70% DECIDUOUS SPECIES
 - 30% EVERGREEN SPECIES
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN 'AMERICAN STANDARDS FOR NURSERY STOCK'
- CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR AFTER INSTALLATION IS COMPLETE AND FINAL ACCEPTANCE OF PHASE 1 SITE WORK HAS BEEN GIVEN. AT THE END OF ONE YEAR ALL PLANT MATERIAL WHICH IS DEAD OR DYING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AS ORIGINALLY SPECIFIED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY 'AS BUILT' LOCATION OF ALL UTILITIES.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER.
- ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN)
- EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
- ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 12-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STAKING DETAIL SHOWN.
- THE FULL EXTENT OF ALL PLANTING BEDS SHALL RECEIVE 4" OF TOPSOIL AND 3" OF BARK MULCH PER SPECIFICATIONS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
- THE CONTRACTOR IS EXPECTED TO MAINTAIN PLANTINGS, INCLUDING WATERING ALL PLANTS ANY TIME FROM APRIL TO DECEMBER WHEN NATURAL RAINFALL IS LESS THAN ONE INCH PER WEEK.
- THE DEVELOPER OR HOME OWNERS ASSOCIATION SHALL BEAR THE RESPONSIBILITY OF REPLACING ANY LANDSCAPING WITHIN SUSSEX COUNTY SEWER EASEMENTS THAT IS DESTROYED OR DAMAGED DUE TO SEWER SYSTEM MAINTENANCE, REPLACEMENT, OR EXTENSION.



PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19068
T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR
AND OWNER MUST BE NOTIFIED OF ANY
DISCREPANCIES BEFORE PROCEEDING WITH WORK

OCEAN MEADOWS

SUSSEX COUNTY - INDIAN RIVER HUNDRED
BEAVER DAM ROADS (SCR 285), LEWES, DE
TAX MAP: 234-2.00-2.00

LANDSCAPE PLAN NOTES AND DETAILS

STONEWARK VENTURES, LLC.
12154 HAYLAND FARM WAY
ELLIOTT CITY, MARYLAND 21044

NO.	DATE	BY	REVISIONS

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT **SMVSX19001**

DATE 2019-04-01

DRAWING SCALE 1"=

DRAWN BY TPM/MP

APPROVED BY AMD

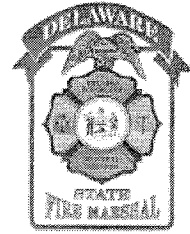
CS2001

SHEET 2 OF 2



OFFICE OF THE STATE FIRE MARSHAL
Technical Services

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2021-04-205938-MJS-01

Status: Approved as Submitted

Tax Parcel Number: 234-2.00-2.00

Date: 01/29/2021

Project

Clubhouse and Pool

Ocean Meadows (was Dellwood Estates)

Beaver Dam Road
Lewes DE 19958

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 82 - Lewes Fire Dept Inc

Occupant Load Inside:

Occupancy Code:

Applicant

Alan Decktor
18072 Davidson Drive
Milton, DE 19968

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:

Desiree McCall

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2021-04-205938-MJS-01

Tax Parcel Number: 234-2.00-2.00

Status: Approved as Submitted

Date: 01/29/2021

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1040 A** This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 1,000 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 800' on center.
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1190 A** Separate plan submittal is required for the building(s) proposed for this project.
- 1130 A** Provide a water flow test on the subdivision hydrant(s) once they have been installed, and before they are placed into service (DSFPR Part I, Section 4 4.2 and Part III, Chapter 3). Results are to be forwarded to this Agency for review.
- 1501 A** If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.

PEAK MANAGEMENT ROXANA APARTMENTS

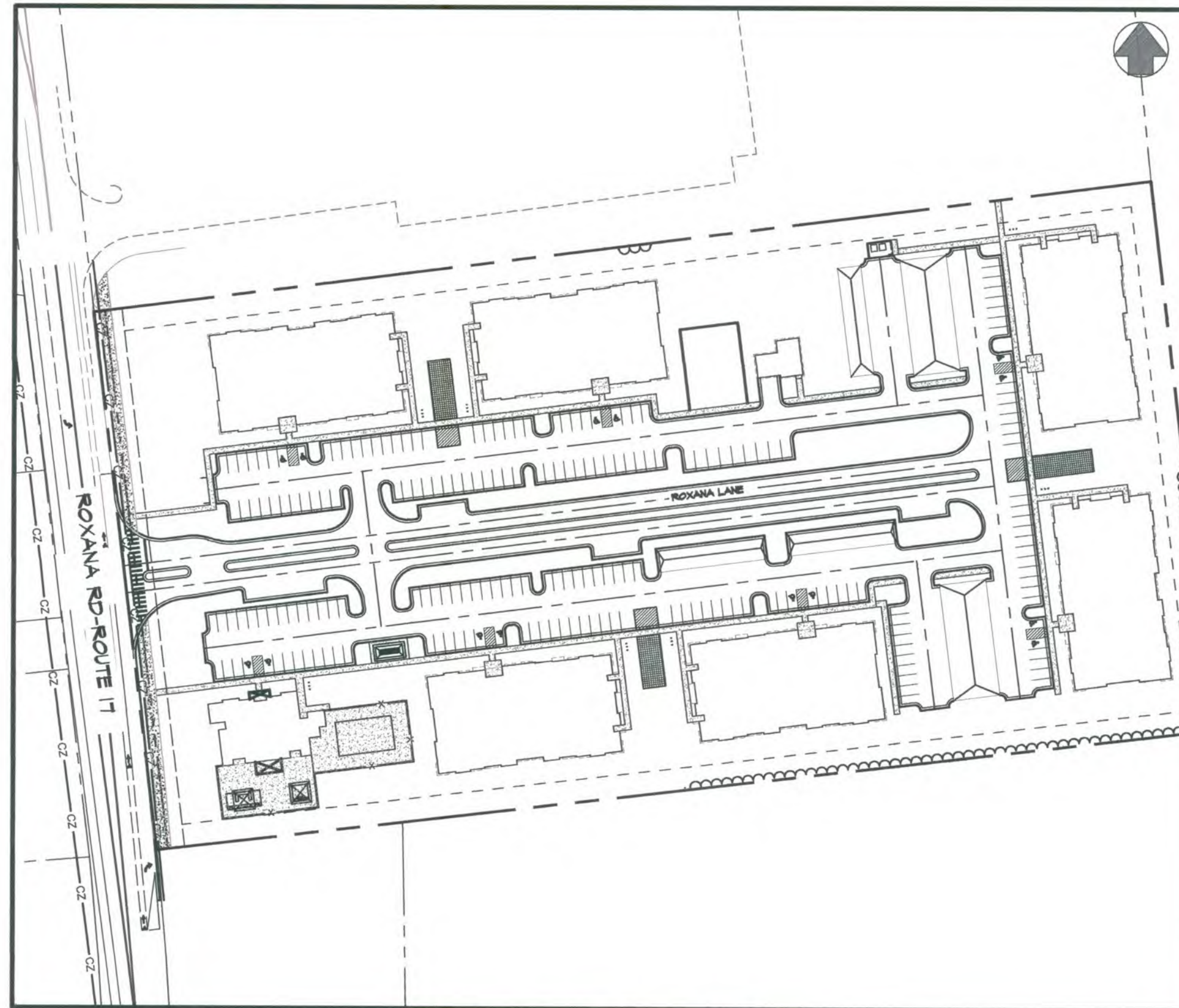
SUSSEX COUNTY, DELAWARE

PRELIMINARY PLAN

SUSSEX COUNTY PLANNING #S-20-32

SITE DATA

- PROJECT TITLE/NAME: ROXANA APARTMENTS
ADDRESS: ROXANA RD
OCEAN VIEW, DE 19970
- TAX PARCEL: 134-12.00-330.00
- DEVELOPER: PEAK MANAGEMENT, LLC.
4869 MERCANTILE RD, SUITE K
NOTTINGHAM, MARYLAND 21236
ATTN: TERESA ROSIER - VICE PRESIDENT
PHONE: (410) 248-5100
- ZONING INFORMATION: EXISTING ZONING: C-1
PROPOSED ZONING: C-1
- LAND USE INFORMATION: EXISTING USE: AGRICULTURE
PROPOSED USE: MULTIFAMILY RESIDENTIAL
- NET DEVELOPMENT COMPUTATIONS: TOTAL SITE AREA = 10.464 AC.±
TOTAL ROAD R/W = 0.110 AC.± (DELDOT)
SITE AREA - (STATE WETLANDS + COMM. + STREET R/W)
10.464 AC.± - (0 AC.± + 0 AC. + 0.110 AC.±) = 10.354 AC.±
GROSS DENSITY: 125 UNITS/10.464 AC.± = 11.95 UNITS/AC.±
NET DENSITY: 125 UNITS/10.354 AC.± = 12.07 UNITS/AC.±
- OPEN SPACE: REQUIRED [SECTION 99.21(D)]:
25% X 10.354 AC.± = 2.58 AC.±
PROPOSED = 5.02 AC.±
PASSIVE = 4.80 AC.±
ACTIVE* = 0.22 AC.±
*ACTIVE SPACE INCLUDES COMMUNITY CENTER POOL AREA
- PARKING ANALYSIS: PARKING REQUIRED: 125 UNITS X 2 SP/DU = 250 SP
PARKING PROVIDED: 125 UNITS X 2 SP/DU + 24 = 274 SP
LOADING SPACES PROVIDED: 4 LOADING SPACES
- PROPOSED UNITS: 125 APARTMENTS
- BULK AREA REQUIREMENTS: SINGLE FAMILY ATTACHED CONDOMINIUMS (TOWNHOMES)
FRONT SETBACK: 40'
REAR SETBACK: 10'
SIDE YARD SETBACK: 10'
DISTANCE BETWEEN BLDGS.: 40'
MAX. BLDG. HT: 42'
PARKING SPACE REQUIRED: 2 SP PER UNIT
- FOREST COVER: EXIST. FOREST: 1.84 AC. ± (17.59% OF TOTAL PARCEL)
FOREST CLEARED: 1.84 AC. ± (17.59%)
FOREST REMAINING: 0 AC. ± (0%)
AFFORESTATION: 0 AC. ± (0%)
PROPOSED TOTAL: 0 AC. ±
- WATER SERVICE: TIDEWATER UTILITIES, INC. - PUBLIC
- SANITARY SEWER: SUSSEX COUNTY - PUBLIC
- NO PORTIONS OF THIS SITE LIE WITHIN FLOOD ZONE A AND ZONE AE, PER FEMA No. 10005C04 EFFECTIVE MARCH 16, 2015
- ALTA/ACSM LAND TITLE SURVEY PROVIDED BY MRA ASSOCIATES, INC. (05/01/2020) AND TOPOGRAPHIC SURVEY PROVIDED BY MRA ASSOCIATES, INC. (05/05/2020). HORIZONTAL AND VERTICAL DATUM IS DELAWARE STATE PLANE NAD83/88.
- PROPOSED BUILDING CONSTRUCTION: WOOD CONSTRUCTION
- 50 MPH SPEED LIMIT ALONG ROXANA RD. (RTE. 17)

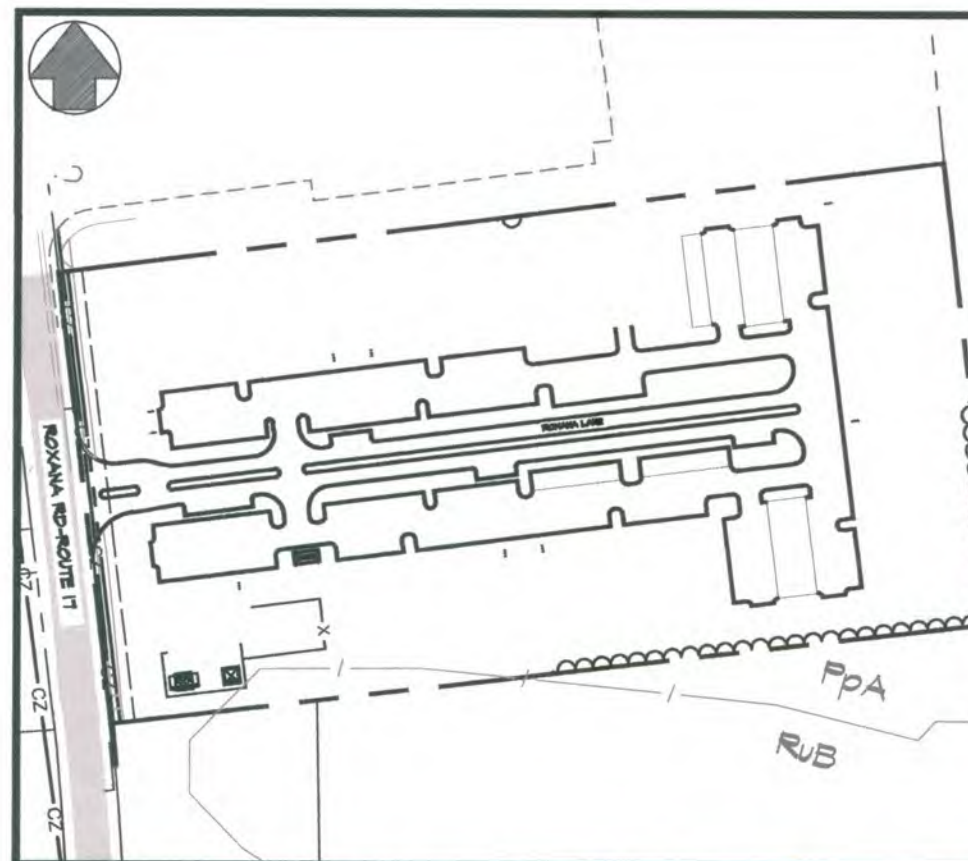


SITE OVERVIEW

SCALE: 1" = 100'

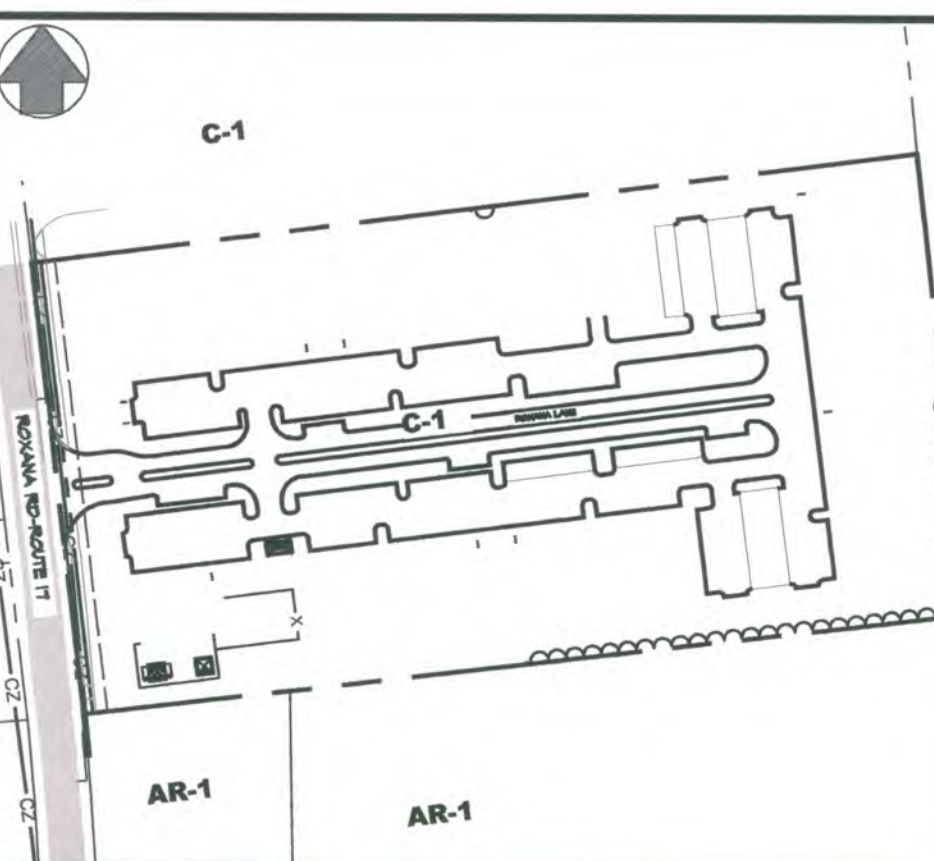
LEGEND

---	EXISTING PROPERTY LINE
---	PROPOSED RM LINE
---	PROPOSED LOT LINE
---	PROPOSED BUILDING SETBACK LINE
---	EXTERIOR PROPERTY LINE
---	INTERIOR PROPERTY LINE
---	PROPOSED EASEMENT
---	EXISTING SOILS LINE



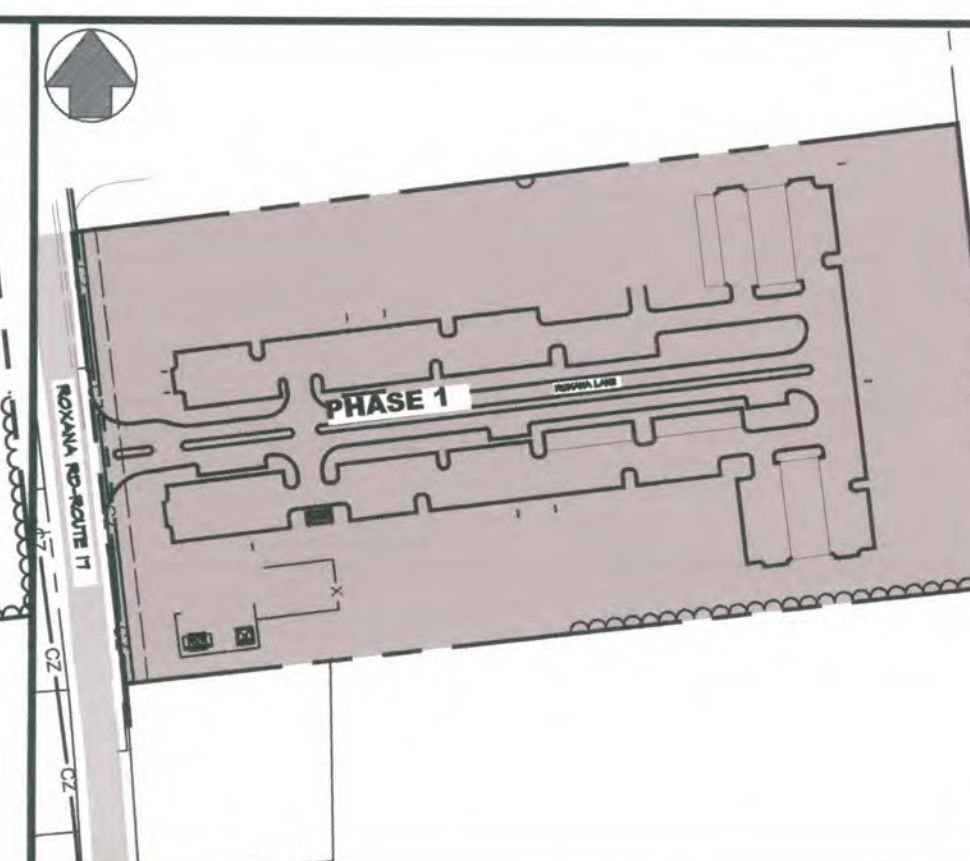
SOILS MAP

SCALE: 1" = 200'



ZONING MAP

SCALE: 1" = 200'



PHASING MAP

SCALE: 1" = 200'

THE PROJECT WILL BE APPROVED AS A SINGLE PHASE PROJECT.



LOCATION MAP

SCALE: 1" = 1,000'

INDEX OF DRAWINGS

Sheet Number	Sheet Title
PP-1	TITLE
PP-2	GENERAL NOTES AND DETAILS
PP-3	PRELIMINARY PLAN

OWNER'S PLAN DEVELOPMENT APPROVAL:

I, as owner of the properties shown, hereby approve these plans for development as shown or otherwise noted.

Loren E. Evans
CFL ENTERPRISES, INC.
16 WEST AVENUE
OCEAN VIEW, DELAWARE 19970
ATTN: LOREN E. EVANS - PRESIDENT
EMAIL: LOREN@CFLMGT.COM

1-21-21
Date

DEVELOPER'S PLAN DEVELOPMENT APPROVAL:

I, as developer of the properties shown, hereby approve these plans for development as shown or otherwise noted.

PEAK MANAGEMENT, LLC
4869 MERCANTILE ROAD, SUITE K
NOTTINGHAM, MARYLAND 21236
ATTN: MS. TERESA ROSIER - VP
EMAIL: TROSIER@HILLMGT.COM

Date

WETLANDS STATEMENT

Geo-Technology Associates, Inc. (GTA) has conducted a field review within the boundaries of this plot to evaluate the presence or absence of potential state and federal jurisdictional wetlands for the purposes of Delaware wetland and subaqueous land regulations and section 404 of the Clean Water Act. GTA's review was conducted in general accordance with the techniques and criteria provided in the 1987 Corps of Engineers Wetlands Delineation Manual and The Regional Supplement to the Corps of Engineers Wetlands Delineation Manual, Atlantic and Gulf Coastal Plain Region (Version 2.0), dated November 2010. The limits of the wetlands were evaluated in the field by GTA personnel using best professional judgement. No wetlands or waterways were observed within the boundaries of this plot. No state or federal jurisdictional approval was obtained for this property.

Andy Stansfield
Geo-Technology Associates, Inc.

Date

ENGINEER'S CERTIFICATION

I, the undersigned, hereby certify that I am a registered professional engineer in the state of Delaware and that the plan shown and described herein, other than the property boundary and topography, is true and correct to the accuracy required by accepted standards and practices and by the Sussex County Subdivision and Land Development regulations to the extent that it describes the proposed manner and layout of the subdivision.

KENNETH M. USAB, P.E.
DE LICENSE No. #10892

1/21/21
Date

MRA

MORRIS & RITCHIE
ASSOCIATES, INC.

ENGINEERS, PLANNERS,
SURVEYORS, AND LANDSCAPE
ARCHITECTS
8 WEST MARKET STREET
GEORGETOWN, DELAWARE 19947
302-855-5734

PROPERTY OWNER:

BONARD B. TIMMONS, JR. &
LOREN E. EVANS

C/O LOREN E. EVANS, PRESIDENT
CFL ENTERPRISES, INC.
76 WEST AVENUE
OCEAN VIEW, DELAWARE 19970
PHONE: (302) 542-0813

DEVELOPER:

PEAK MANAGEMENT, LLC.

4869 MERCANTILE RD, SUITE K
NOTTINGHAM, MARYLAND 21236
ATTN: TERESA ROSIER, VICE PRESIDENT
PHONE: (410) 248-5100

PEAK MANAGEMENT
ROXANA APARTMENTS

PRELIMINARY PLAN

OCEAN VIEW, DELAWARE

BALTIMORE HUNDRED

SUSSEX COUNTY, DE



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RITCHIE ASSOCIATES, INC.

NO.	REVISION	DATE
JOB NO. 20570	DRAWN BY KMR	ISSUED 1/11/21

SHEET TITLE

TITLE

SHEET NUMBER

PP-1

CONSTRUCTION NOTES

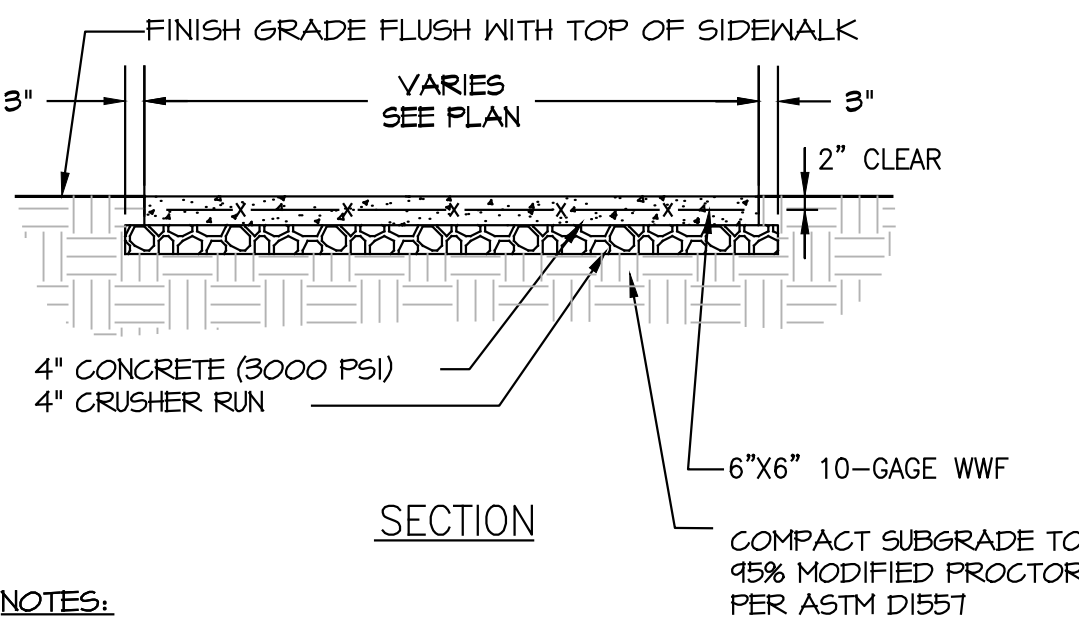
- CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT (811) AT LEAST (3) WORKING DAYS PRIOR TO EXCAVATION, TO HAVE EXISTING UNDERGROUND UTILITIES LOCATED AND MARKED.
- ALL MATERIALS & WORKMANSHIP SHALL MEET THE STATE OF DELAWARE STANDARDS & SPECIFICATIONS.
- ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, AND PROJECT SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND SHALL APPROPRIATELY MARK ALL PHASES OF CONSTRUCTION:
 - NATELLI COMMUNITIES, INC. 301-590-7320
 - SUSSEX COUNTY ENGINEERING DEPARTMENT 302-855-7718
 - TIDEWATER UTILITIES 302-945-8880
 - SUSSEX CONSERVATION DISTRICT 302-856-2105
 - DELAWARE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL 302-856-5488
- CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL RIGHT-OF-WAY LINES AND PROPERTY LINES TO HIS OWN SATISFACTION. ALL PROPOSED UTILITIES ARE TO BE CONSTRUCTED WITHIN THE ROADWAY OR EASEMENT RIGHT-OF-WAY. ANY DISTURBED AREAS BEYOND THE EASEMENT LINES SHALL BE RESTORED IMMEDIATELY TO THEIR ORIGINAL CONDITION.
- INFORMATION SHOWN HEREIN IS BASED UPON FIELD RUN TOPOGRAPHY DATED 05/05/20 BY MORRIS AND RITCHIE ASSOCIATES, INC. HORIZONTAL AND VERTICAL DATUM IS NAD83.
- EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE BASED UPON THE BEST AVAILABLE INFORMATION AND ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. NO GUARANTEE IS MADE OR IMPLIED REGARDING THE ACCURACY OR COMPLETENESS THEREOF. CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF DEPTH, SIZE AND MATERIAL OF ALL UNDERGROUND UTILITIES TO HIS OWN SATISFACTION BEFORE BEGINNING ANY EXCAVATION OR UTILITY INSTALLATION. THE OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION. IF THE CONTRACTOR RELIES ON SAID INFORMATION, HE DOES SO AT HIS OWN RISK. THE GIVING OF THE INFORMATION ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO SUPPORT AND PROTECT ALL SHOWN OR NOT SHOWN EXISTING UTILITIES AND APPURTENANCES. SHOULD ANY EXISTING UTILITIES BE DAMAGED BY THE CONTRACTOR, THE CONTRACTOR SHALL REPAIR THE DAMAGE CAUSED TO THE UTILITY OWNER'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE.
- DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE PERFORMED IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF TRAFFIC IN ALL WORK AREAS.
- ROUGH GRADING SHALL BE COMPLETE PRIOR TO THE CONSTRUCTION OF WATER & SEWER SYSTEMS.
- USE ONLY SUITABLE AND APPROVED GRANULAR MATERIAL FOR BACKFILLING TRENCHES.
- CONTRACTOR SHALL ADJUST TO FINISH GRADE AS NECESSARY ANY VALVE BOXES, MANHOLES, CATCH BASINS ETC., PRIOR TO PLACING PAVING.
- CONTRACTOR SHALL PROVIDE STAKEOUT NECESSARY FOR THE INSTALLATION OF UTILITIES, STORMDRAINS, PAVING AND ALL OTHER SITE WORK INCLUDED IN THESE PLANS. ALL STAKEOUT WORK IS TO BE PERFORMED UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF DELAWARE.
- CONTRACTOR TO MAINTAIN MINIMUM OF 3.5 FEET OF COVER OVER ALL NEW WATER LINES AS MEASURED FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
- SEWER LINES SHALL HAVE MINIMUM VERTICAL CLEARANCE OF 18 INCHES FROM WATER MAINS AT CROSSINGS. MAINTAIN A 10 FOOT MINIMUM PLAN SEPARATION BETWEEN SEWER AND WATER MAINS. SEWER LINES SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 6 INCHES FROM OTHER UTILITIES. IF THESE CLEARANCES CAN NOT BE MAINTAINED, THEN PROVISIONS FOR PROPERLY ENCASED THE PIPE IN CONCRETE MUST BE PROVIDED.
- LATERALS SHALL BE 6 INCHES IN DIAMETER, WITH VERTICAL CLEANOUTS OF 6 INCHES IN DIAMETER. AND TO HAVE A MINIMUM OF 3' OF COVER FROM SUSSEX COUNTY CLEANOUT TO MAIN LINE.
- ALL GRAVITY SEWER PIPES SHALL BE PVC SDR 35. FOR PIPE SLOPES SEE SANITARY SEWER PROFILES.
- FORCE MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PRESSURE PIPE CLASS DR 18 FOR SIZES 4" THROUGH 12" IN ACCORDANCE WITH AWWA C900, DR 18 FOR SIZES 14" THROUGH 24" IN ACCORDANCE WITH AWWA C905 AND 3" AND SMALLER SHALL BE PVC 1120 (SDR 21) IN ACCORDANCE WITH ASTM 2241. THE OUTSIDE DIAMETER OF SDR 18 SHALL BE EQUIVALENT TO CAST IRON PIPE. PVC PIPE SHALL HAVE AN INTEGRAL BELT WITH RUBBER GASKETED JOINT AS LISTED IN THE AWWA C900/C905 STANDARD. PIPE COUPLINGS SHALL BE MARKED AND FACTORY TESTED IN ACCORDANCE WITH AWWA C902/C905.

PIPE FITTINGS SHALL BE DUCTILE IRON COMPACT OR STANDARD MECHANICAL JOINT FITTINGS IN CONFORMANCE WITH THE APPLICABLE PORTIONS OF ANSI/AWWA C153/A21.5.3. ALL FITTINGS SHALL BE CEMENT-MORTAR-LINED IN ACCORDANCE WITH ANSI/AWWA C104/A21.4. LUG BOLTS SHALL BE HIGH STRENGTH, LOW ALLOY STEEL, MINIMUM YIELD STRENGTH OF 45,000 PSI.

- MATERIAL OF CONSTRUCTION FOR SEWER FORCE MAINS SHALL BE AS NOTED ON THE DRAWINGS. FORCE MAIN SHALL BE INSTALLED AS PROFILED TO PREVENT FORMATION OF UNANTICIPATED HIGH POINTS IN THE INSTALLATION.
- ALL SEWER LINES MUST BE SUCCESSFULLY TESTED, PRIOR TO FINAL ACCEPTANCE.
- ALL PUBLIC OR SUSSEX COUNTY SANITARY SEWER CONSTRUCTION PERFORMED SHALL BE IN ACCORDANCE WITH SUSSEX COUNTY ORDINANCE 38, THESE PLANS AND ALL APPLICABLE CONSTRUCTION PERMITS.
- ALL DROP MANHOLES TO BE 5'-0" IN DIAMETER.
- FITTINGS SHOWN ON THE PLANS ILLUSTRATE ANTICIPATED ANGLE OF DEFLECTION. THIS INFORMATION IS SHOWN FOR GENERAL INFORMATION AND IS NOT GUARANTEED. ACTUAL ANGLE MAY VARY DUE TO FIELD CONDITIONS. USE OF ADDITIONAL FITTINGS SHALL BE AUTHORIZED BY THE ENGINEER.
- THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEVIATION FROM THESE PLANS UNLESS WRITTEN APPROVAL HAS BEEN PROVIDED BY THE ENGINEER.
- ALL DISTURBED AREAS IN THE STATED RIGHT OF WAY, BUT NOT IN THE PAVEMENT SECTION MUST BE TOPSOILED (6" MINIMUM), FERTILIZED, MULCHED, AND SEED.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE PLACED IN ACCORDANCE WITH THE M.U.T.C.D. MANUAL, MOST CURRENT EDITION.
- ALL PROPOSED STORM DRAIN DESIGNATED AS "RCP" IS TO BE REINFORCED CONCRETE CIRCULAR PIPE, MEETING AASHTO M-170 SPECIFICATIONS. SEE PROFILES FOR SPECIFIC PIPE CLASS.
- ALL LENGTHS OF PIPE ARE MEASURED HORIZONTALLY FROM CENTER LINES OF INLETS, MANHOLES OR FITTINGS. ACTUAL TRUE LENGTHS OF PIPES ARE TO BE DETERMINED IN THE FIELD.
- WHERE SPECIFIED, HDPE STORM DRAIN PIPE SHALL BE ADS N-12 (SMOOTH INTERIOR) PIPE WITH ADS PRO-LINK WT (BELL/BELL COUPLER) FOR WATER TIGHT CONNECTIONS. REFER TO PLAN AND PROFILES FOR MATERIALS USED.
- ALL EMBEDEDMENT MATERIALS USED FOR BEDDING, HAUNCHING, AND INITIAL BACKFILL FOR HDPE PIPE SHALL CONFORM TO AASHTO SECTION 30 AND ASTM D-2321 AS PER MANUFACTURER INSTALLATION REQUIREMENTS. CONTRACTOR SHALL ENSURE THAT PROPER LINE AND GRADE IS ESTABLISHED WITHIN TRENCH BEDDING PRIOR TO PLACEMENT OF PIPE AND THAT PROPER MATERIALS ARE USED AND COMPACTION IS ACHIEVED DURING HAUNCHING AND INITIAL BACKFILL. A GEOTECHNICAL ENGINEER SHALL BE RETAINED TO VERIFY SUITABILITY OF MATERIALS USED AND PROPER COMPACTION. ANY DEVIATION IN LINE AND GRADE OR OBVIOUS JOINT SEPARATION SHALL BE CORRECTED PRIOR TO ESTABLISHMENT OF FINAL SUBGRADE AND PAVEMENT SURFACE. THE CONTRACTOR SHALL TAKE EVERY CARE TO ENSURE CORRECT PIPE INSTALLATION.
- UNLESS OTHERWISE SPECIFIED ALL ROADWAY INLETS SHALL HAVE A TYPE 1 INLET GRATE AND TYPE C TOP UNIT PER DELDOT STANDARDS, CURRENT REVISION.
- IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT PAVING IS INSTALLED TO THE ELEVATIONS SHOWN AND THAT NO PONDING OF WATER EXISTS AFTER PAVING IS COMPLETE.

GENERAL NOTES

- DEVELOPMENT ACCESS DRIVEWAYS ARE TO REMAIN PRIVATE AND ARE TO BE CONSTRUCTED IN ACCORDANCE WITH COUNTY REGULATIONS.
- MAINTENANCE OF THE ACCESS DRIVEWAYS WITHIN THIS DEVELOPMENT WILL BE THE RESPONSIBILITY OF THE DEVELOPER. THE STATE AND SUSSEX COUNTY ASSUMES NO RESPONSIBILITY FOR FUTURE MAINTENANCE OF THE ACCESS DRIVEWAYS.
- MAINTENANCE OF THE STORM WATER MANAGEMENT AREAS WILL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER.
- THE PROPOSED ENTRANCE/EXIT IS CONCEPTUAL ONLY AND IS SUBJECT TO REVIEW AND APPROVAL BY DELAWARE DEPARTMENT OF TRANSPORTATION BEFORE A CONSTRUCTION PERMIT IS ISSUED.

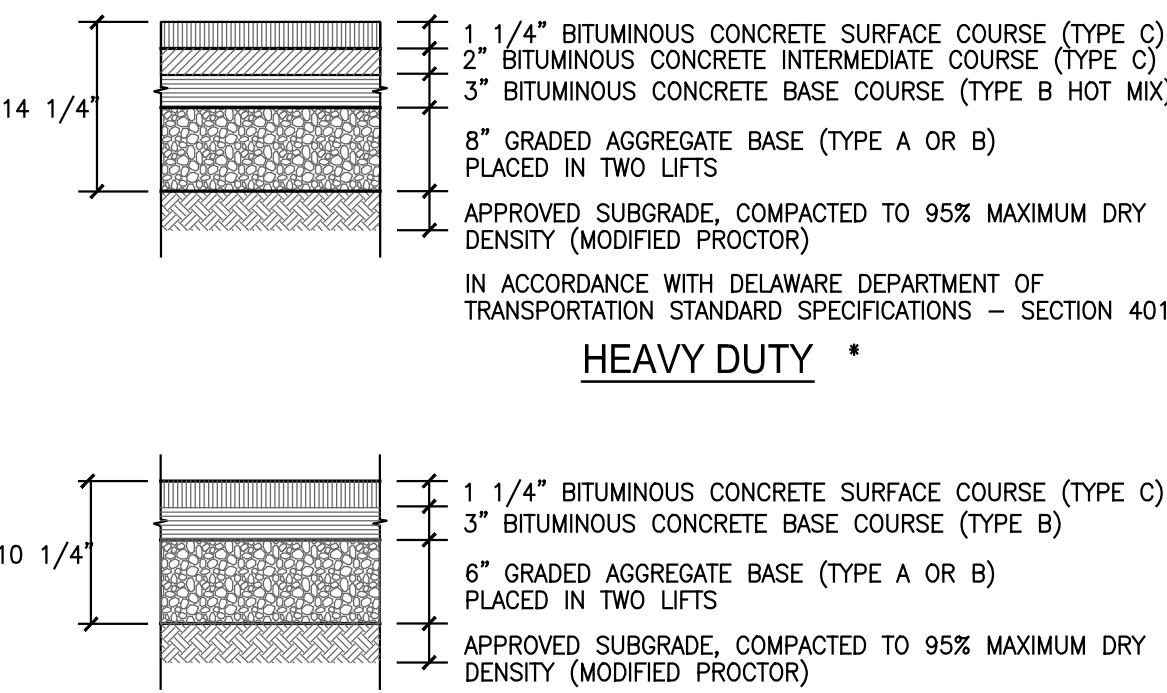


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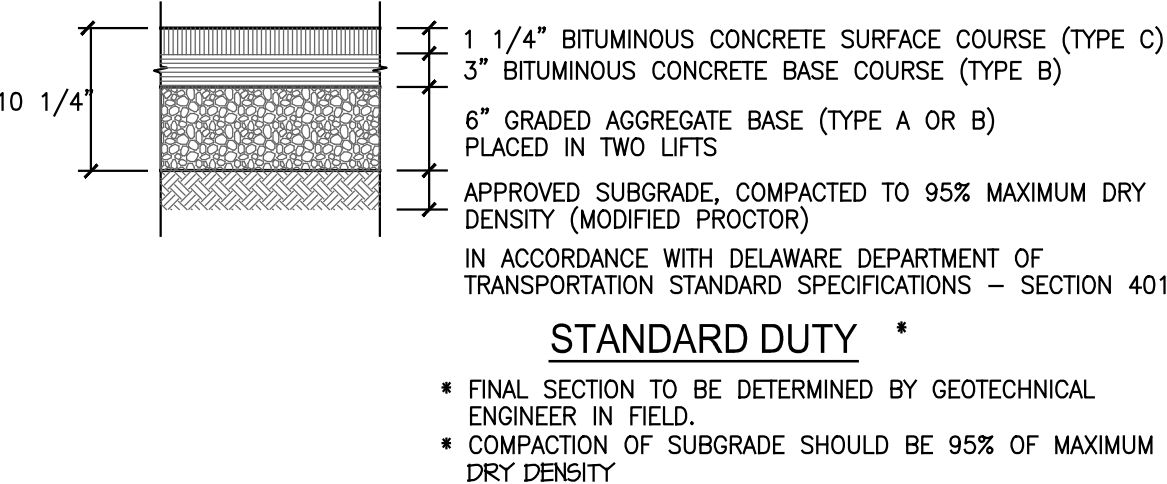
- MAXIMUM SIDEWALK SLOPE IS 5.0%.
- MAXIMUM CROSS SLOPE IS 2.0%.
- SIDEWALK TO BE SCRIBED IN 5' SQUARES (INCREMENTS).
- EXPANSION JOINTS ACROSS THE SIDEWALK NOT MORE THAN 15' APART.
- 1/2" PRE-FORMED BITUMINOUS EXPANSION JOINT MATERIAL IN EXPANSION JOINTS TO BE 1/4" BELOW SURFACE OF SIDEWALK.
- CONCRETE TO BE MIX 2. (3000 P.S.I.)
- TYPE IV POLYURETHANE BONDED RECYCLED RUBBER PREFORMED EXPANSION JOINT MATERIAL SHALL BE INSTALLED WHERE SIDEWALKS ARE ADJACENT TO CURBING.

CONCRETE SIDEWALK

NOT TO SCALE



HEAVY DUTY

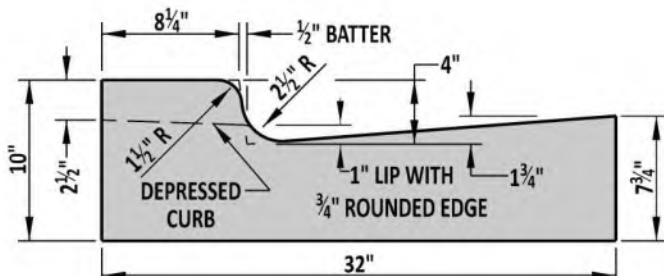


STANDARD DUTY

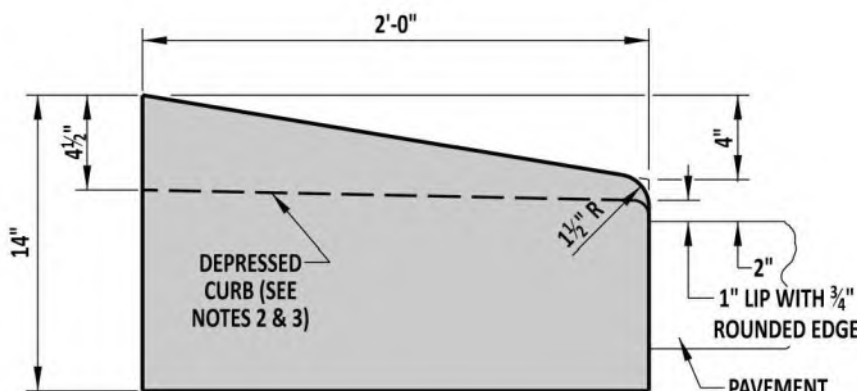
- FINAL SECTION TO BE DETERMINED BY GEOTECHNICAL ENGINEER IN FIELD.
- COMPACTION OF SUBGRADE SHOULD BE 95% OF MAXIMUM DRY DENSITY

PAVING SECTIONS

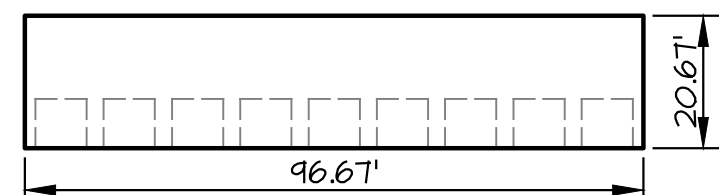
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INTEGRAL P.C.C. CURB AND GUTTER
TYPE 1-4

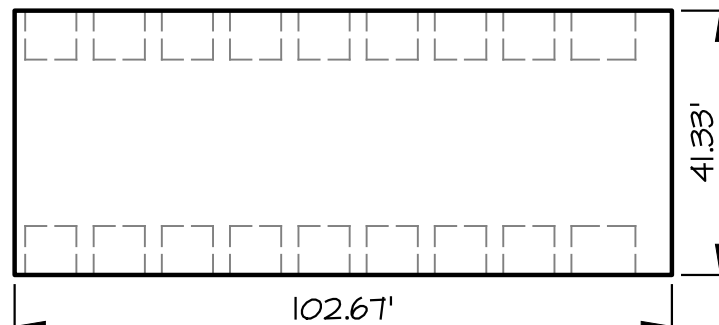


P.C.C. CURB
TYPE 2



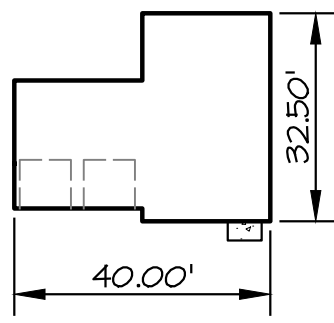
9 CAR GARAGE BUILDING

SCALE: 1"=30'



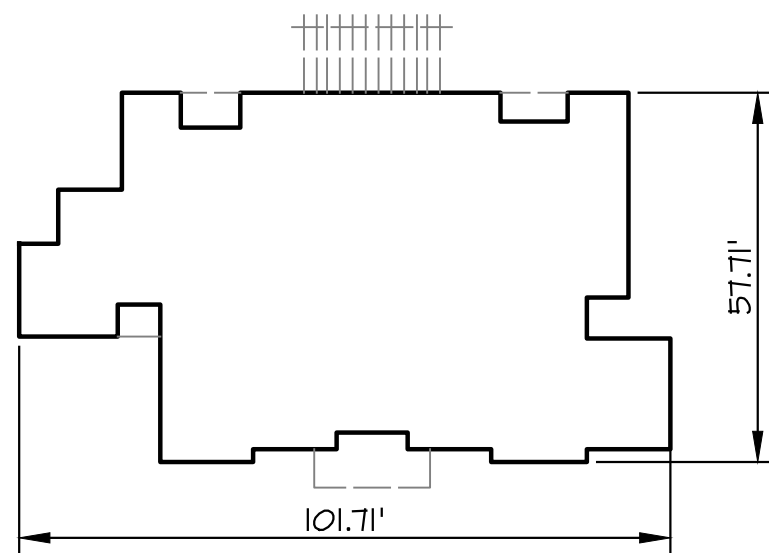
18 CAR GARAGE BUILDING

SCALE: 1"=30'



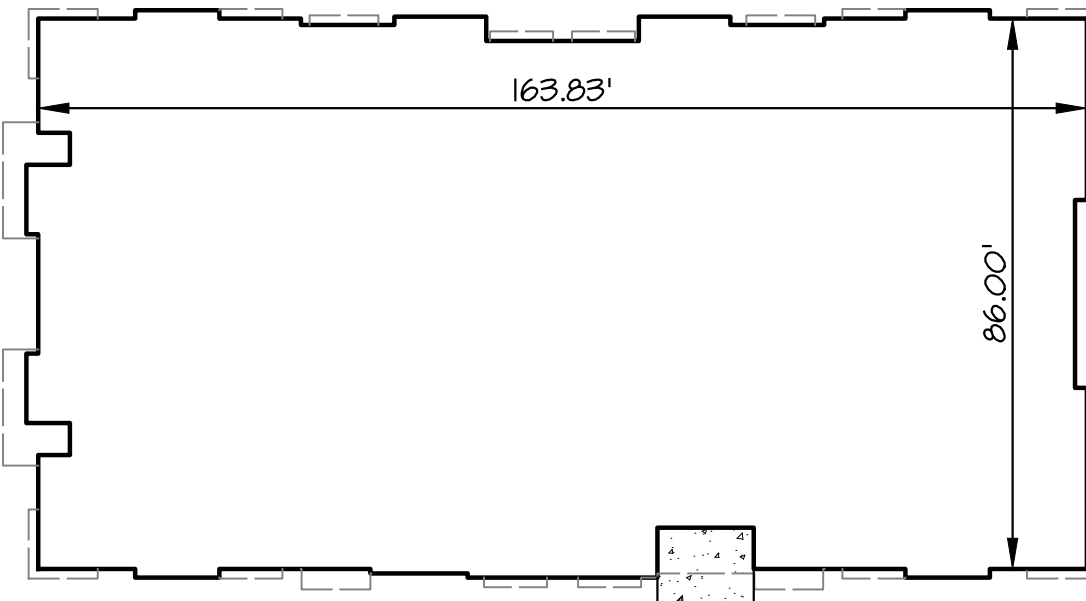
MAINTENANCE / OFFICE BUILDING

SCALE: 1"=30'



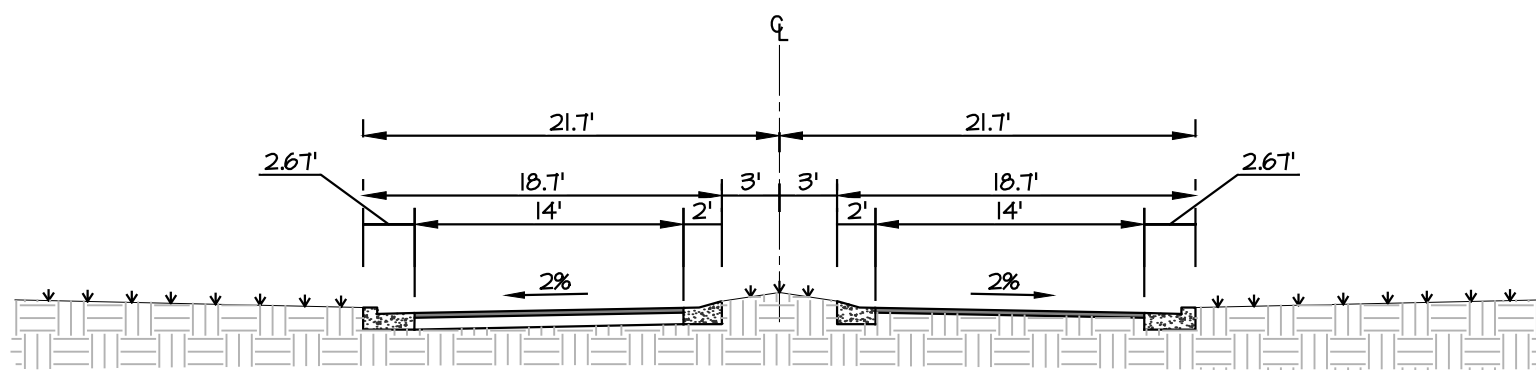
CLUBHSE BUILDING

SCALE: 1"=30'



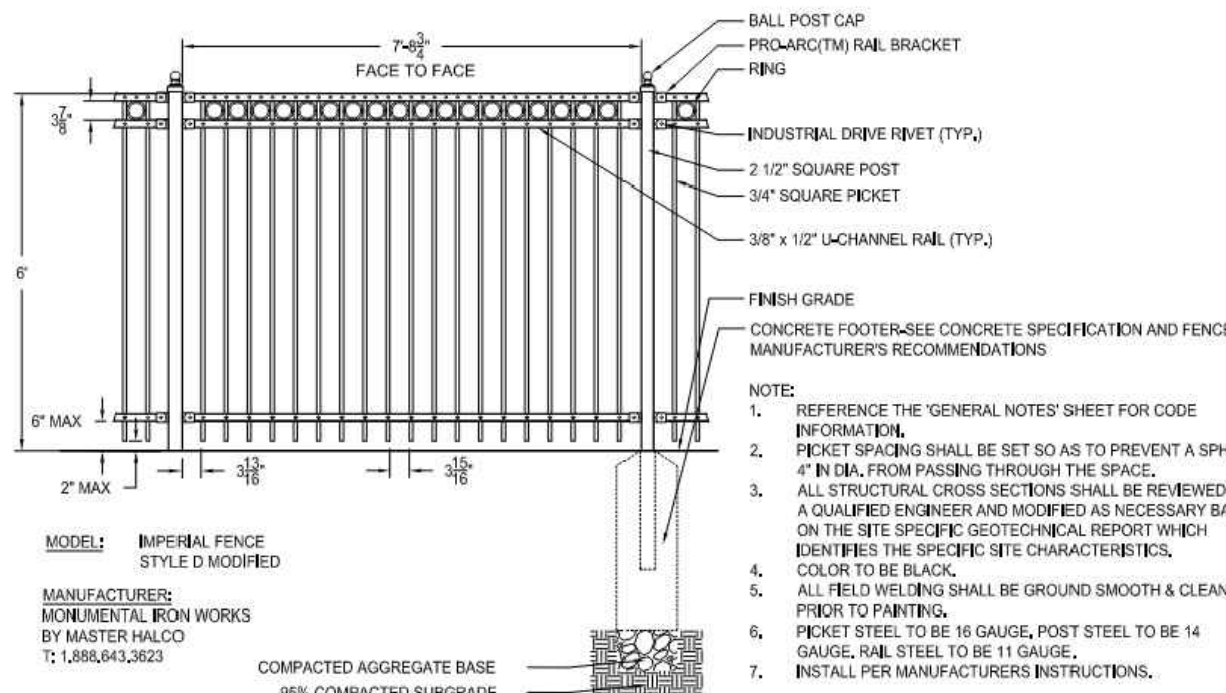
TYPICAL APARTMENT BUILDING

SCALE: 1"=30'



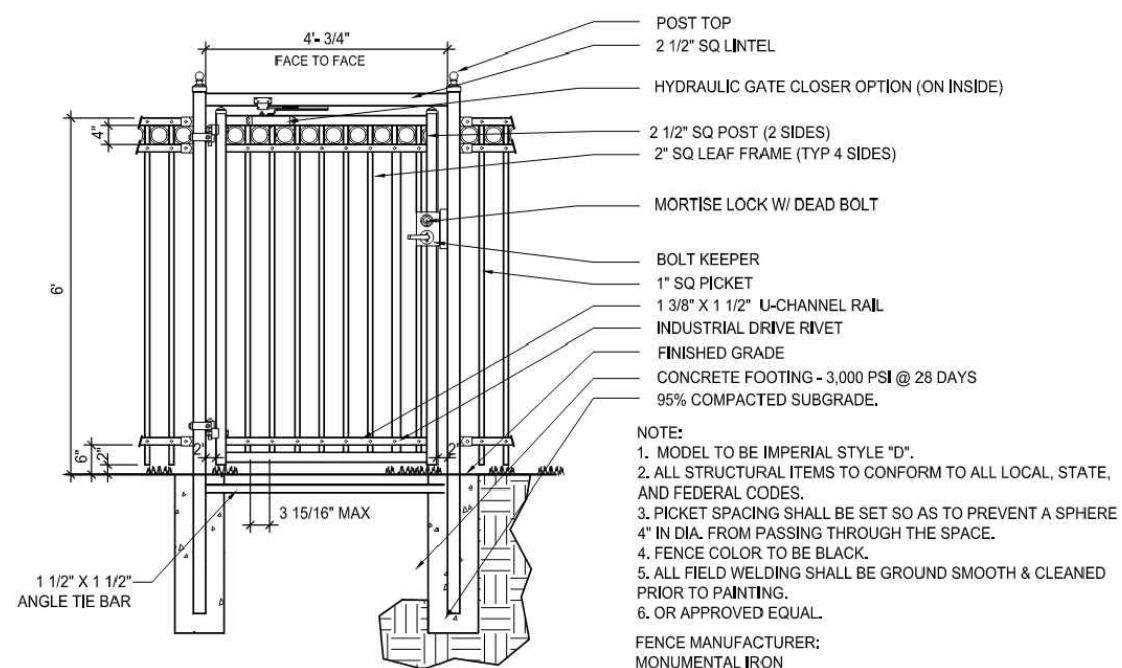
TYPICAL ROXANA LANE SECTION

SCALE: 1" = 10'



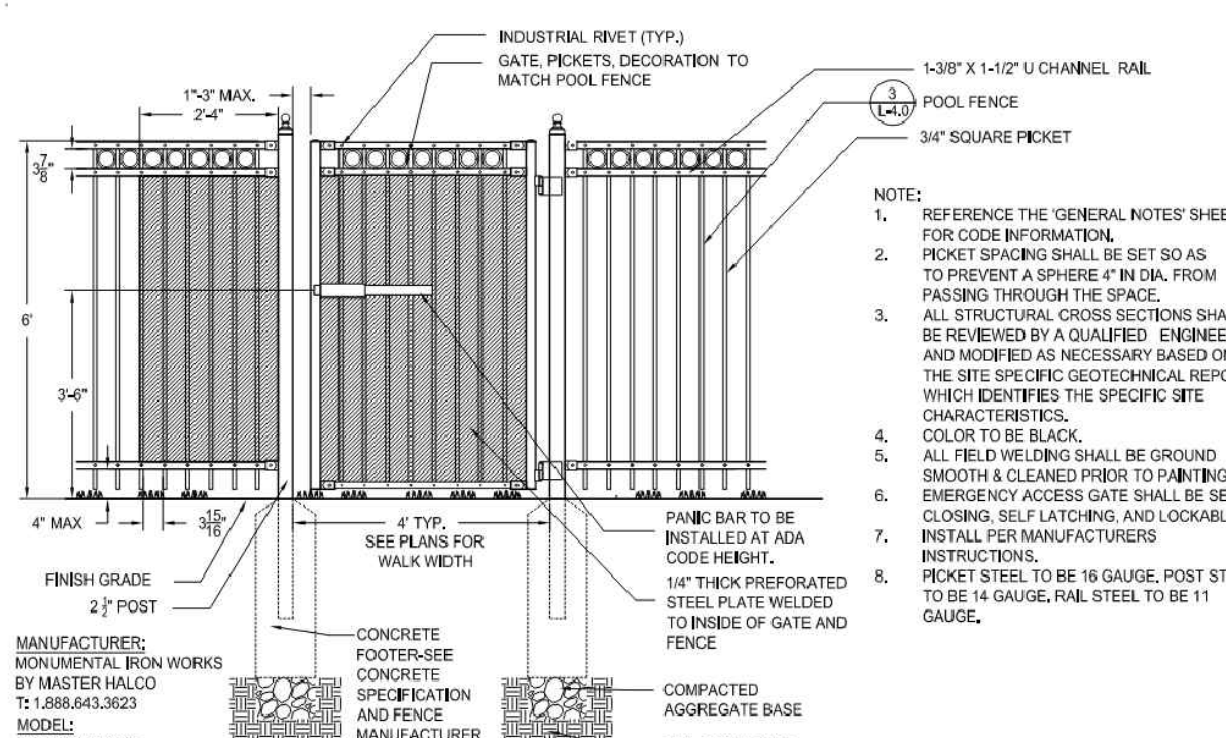
POOL FENCE
ELEVATION WITH SECTION

04B-242
1/2" = 1'-0"



6' PEDESTRIAN GATE
SECTION/ELEVATION

04B-243
1/2" = 1'-0"



EMERGENCY EGRESS GATE
ELEVATION WITH SECTION

04F-065
1/2" = 1'-0"

MRA

MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS, PLANNERS,
SURVEYORS, AND LANDSCAPE
ARCHITECTS
8 WEST MARKET STREET
GEORGETOWN, DELAWARE 19947
302-855-9734

PROPERTY OWNER:
BONARD B. TIMMONS, JR. &
LOREN E. EVANS

C/O LOREN E. EVANS, PRESIDENT
CFL ENTERPRISES, INC.
76 WEST AVENUE
OCEAN VIEW, DELAWARE 19970
PHONE: (302) 542-0813

DEVELOPER:
PEAK MANAGEMENT, LLC.
4869 MERCANTILE RD., SUITE K
NOTTINGHAM, MARYLAND 21236
ATTN: TERESA ROSIER, VICE PRESIDENT
PHONE: (410) 248-1510

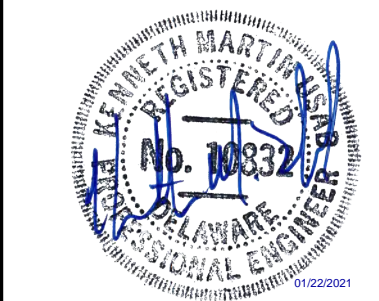
PEAK MANAGEMENT ROXANA APARTMENTS

PRELIMINARY PLAN

OCEAN VIEW, DELAWARE

SUSSEX COUNTY, DE

BALTIMORE HUNDRED



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NO.	REVISION	DATE
JOB NO.	DRAWN BY	ISSUED
20570	KMR	1/11/21

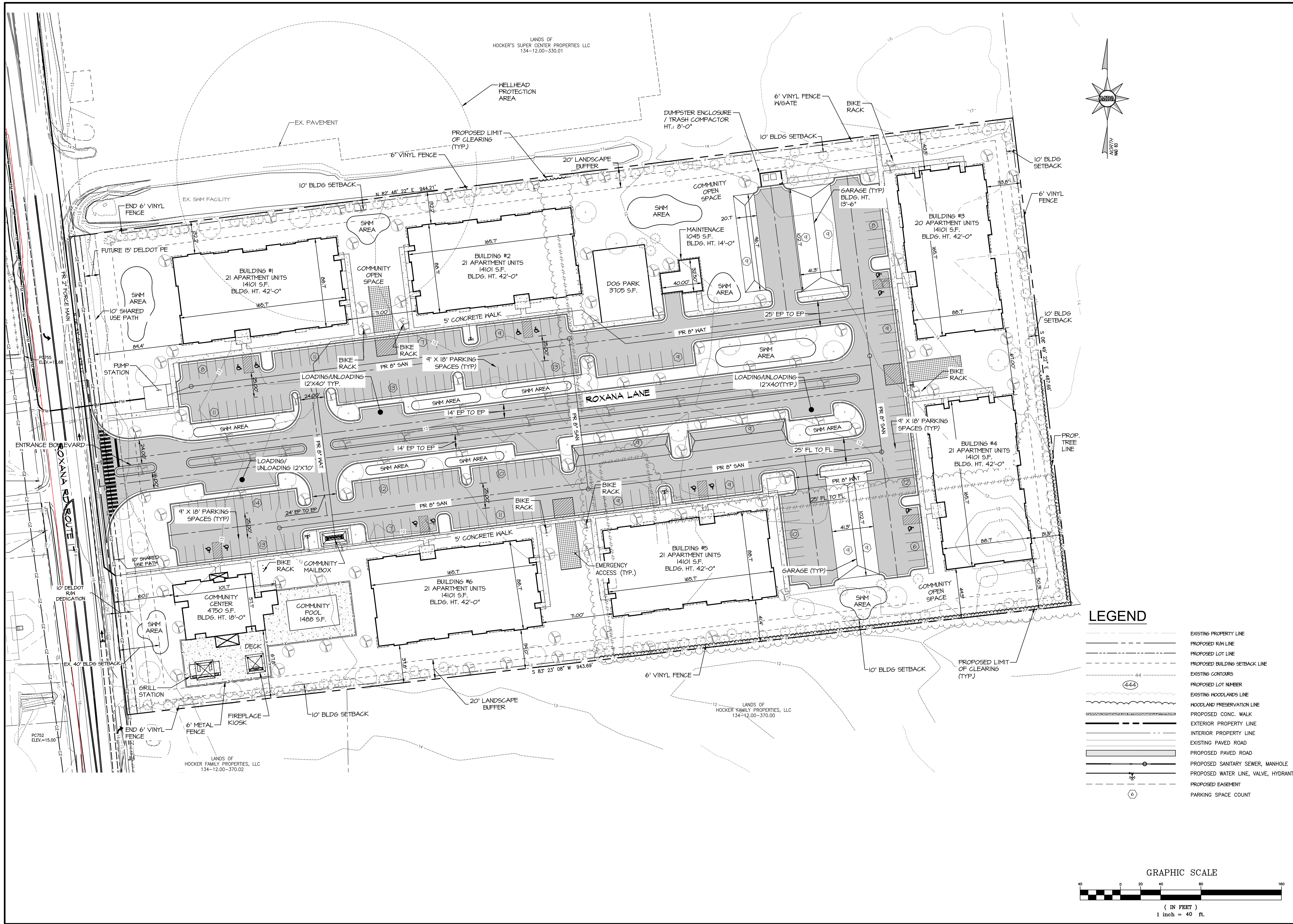
SHEET TITLE

GENERAL NOTES
AND DETAILS

SHEET NUMBER

PP-2

G:\20570-Peak Management\PLANNING\PLAT\ Preliminary Plan\20570-Preliminary Plan.dwg, 1/22/2021 3:12:42 PM, CBuzczewski, 1:1, Copyright 2021 Morris & Ritchie Associates, Inc.



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MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS, PLANNERS, SURVEYORS, AND LANDSCAPE ARCHITECTS

8 WEST MARKET STREET
GEORGETOWN, DELAWARE 19947
302-855-0734

PROPERTY OWNER:
BONARD B. TIMMONS, JR. &
LOREN E. EVANS

CLIENT:
LOREN E. EVANS, PRESIDENT
CFL ENTERPRISES, INC.
75 WEST AVENUE
OCEAN VIEW, DELAWARE 19970
PHONE: (302) 542-0813

DEVELOPER:
PEAK MANAGEMENT, LLC.
4869 MERCANTILE RD., SUITE K
NOTTINGHAM, MARYLAND 21228
ATTN: TERESA ROSIER, VICE PRESIDENT
PHONE: (410) 248-5100

PRELIMINARY PLAN

PRELIMINARY PLAN

OCEAN VIEW, DELAWARE

BALTIMORE HUNDRED

SUSSEX COUNTY, DE

LEWIS & CLARK
REGISTERED
PROFESSIONAL ENGINEER
No. 10332
19920001

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RITCHIE ASSOCIATES, INC.

NO.	REVISION	DATE
JOB NO.	DRAWN BY	ISSUED
20570	KMR	1/11/21

SHEET TITLE

PRELIMINARY PLAN

SHEET NUMBER

PP-3

**ENVIRONMENTAL ASSESSMENT AND
PUBLIC FACILITY EVALUATION REPORT
FOR ROXANA APARTMENTS**

(TAX PARCEL 134-12.00-330.00)



MORRIS & RITCHIE ASSOCIATES, INC.
ARCHITECTS, ENGINEERS, PLANNERS, SURVEYORS, & LANDSCAPE ARCHITECTS

8 West Market Street
Georgetown, Delaware 19947
(302) 855-5734 • (302) 855-0157 (FAX)
www.mragta.com
MRA 20570

September 15, 2020

ENVIRONMENTAL ASSESSMENT AND PUBLIC FACILITY EVALUATION REPORT

Roxana Apartments

September 15, 2020

Page 1 of 4

INTRODUCTION

This Environmental Assessment and Public Facility Evaluation Report was prepared for Peak Management, LLC, pursuant to County Code § 115-194.3 requirements for the Roxana Apartments Project, Near Millville, Delaware. The project site (Tax Parcel 134-12.00-330.00) is located on Roxana Road (SR 17), approximately 600 feet south of the intersection of Roxana Road with Atlantic Avenue (SR 26). Hocker's Super Center and Walgreens are both located on the parcel adjacent to the North. The parcel's proposed access will be via a single entrance on Roxana Road. Refer to the proposed site plan attached as Exhibit 1.

The project is located in the Coastal Area. The Sussex County Comprehensive Plan states "While Coastal Areas are considered Growth Areas, the County encourages only appropriate forms of concentrated new development in these areas, especially when environmental features are in play." There are no significant environmental concerns specific to the existing site that will be compounded by proposed development. The development will meet or exceed all State and County regulations.

The project site is presently zoned C-1 and is in a Level 2 Service Area according to the DE Office of State Planning State Strategies Map. The proposed project will connect to existing nearby public utility services, and is close to Atlantic Avenue, all of which satisfy the County's growth guidelines.

The project has recently been reviewed through the Delaware Office of State Planning (DEOSP) PLUS review process. Responses to the PLUS comments are included with this report as Exhibit 2.

CRITERIA EVALUATION

Each item in the County Code § 115-194.3 is listed in ***bold italicized text*** followed by a summary addressing each item as follows:

(a) Proposed drainage design and the effect on stormwater quality and quantity leaving the site, including methods for reducing the amount of phosphorous and nitrogen in the stormwater runoff and the control of any other pollutants such as petroleum hydrocarbons or metals.

The effect on overall stormwater quality and quantity will be greatly improved by the development of this property as an apartment complex when compared to the former agricultural and livestock uses.

The existing conditions of the site are primarily characterized by agricultural operations. Approximately 1/6th of the site is wooded, containing fence indicating a previous livestock pen. Access to the existing site is via Roxana Road. The existing site is not currently served by any utilities (public or private). An existing stormwater management facility is located north of the site on the adjacent parcel. The wet pond manages runoff from a significant portion of the adjacent commercial center site. The site is relatively flat, allowing runoff to sheet flow to the existing wet pond on the adjacent property to the North. The wet pond was constructed prior to the February 2019 Delaware Sediment and Stormwater Regulations and discharges into the Garner Tax Ditch through a series of open and closed drainage systems and across the DelDOT right-of-way along Atlantic Avenue.

Redevelopment of this parcel is anticipated to substantially improve water quality by emphasizing infiltration practices in the final design. These infiltration practices are considered to be the most effective means for nutrient reduction and promote groundwater recharge.

The proposed stormwater quality facilities will provide for treatment related to petroleum hydrocarbons and other pollutants as indicated in the Delaware Post Construction Stormwater BMP Standards & Specifications (February 2019).

Immediately connecting the proposed development to the County wastewater treatment facilities will also substantially reduce the discharge of nutrients and other pollutants to the wellhead protection area on the existing site.

The Roxana Apartments project will utilize a variety of BMP facilities to include, but not limited to, infiltration basin, infiltration trenches, underground storage, and bioretention. The feasibility of each type of facility is currently being evaluated and will be coordinated with the Sussex Conservation District.

Additionally, pre-treatment measures (as required by the February 2019 Delaware Sediment and Stormwater Regulations) such as filter strips and sheet flow through buffer areas are being considered for implementation in the design. The result will be a reduction in nitrogen and phosphorous significantly greater than the minimum 40 percent reductions for the Inland Bays Watershed.

(b) Proposed method of providing potable and, where appropriate, irrigation water and the effect on public or private water systems and groundwater, including an estimate of average and peak demands.

The Roxana Apartments will be served by a potable water system supplied by the Tidewater Utilities Water Company (TUI), a franchised water purveyor in the State of Delaware. All water service infrastructure design will be in accordance with the Department of Natural Resources and Environmental Control standards and specifications for public water providers. Private irrigation wells, approved by DNREC, may be used for landscape irrigation for the Community open space areas, where irrigation systems are provided.

(c) Proposed means of wastewater treatment and disposal with an analysis of the effect on the quality of groundwater and surface waters, including alternative locations for on-site septic systems.

The Roxana Apartments will be served by Sussex County Wastewater Facilities. A Sewer Concept Evaluation request was submitted to Sussex County Engineering. County Engineering has indicated there are several options for connecting to the existing County System and that adequate capacity is available for the proposed project. It is expected a County force main and on-site pump station will be required.

(d) Analysis of the increase in traffic and the effect on the surrounding roadway system.

The proposed project has direct access to Roxanna Road which has adequate capacity for the proposed project, consistent with the current zoning and the Level 2 designation on the State Strategies Map. The Applicant has been coordinating with DelDOT on the required frontage and entrance improvement. The Applicant will pay the Area Wide Study Fee to DelDOT and make contributions to off-site improvements specified by DelDOT as applicable.

The presence of any endangered or threatened species listed on federal or state registers and proposed habitat protection areas.

No State listed resources were identified by DNREC during the PLUS review process. It is our opinion that the highly disturbed / developed condition of the existing conditions and surrounding development makes it unlikely that State or Federally listed resources will be impacted.

(f) The preservation and protection from loss of any tidal or non-tidal wetlands on the site.

A jurisdictional wetland evaluation was completed by Geo-Technology Associates, Inc. (GTA) on January 6, 2020 indicating the absence of jurisdictional waters of the US, including wetlands on the existing site. This determination is included with this report as Exhibit 3.

(g) Provisions for open space as defined in § 115-4.

While the Zoning code for C-1 zoned parcels does not address open space requirements, County Code § 99-21 does require open space for residential land development. Per the Code reference, the site is required to provide open space at a minimum rate of 25 percent. The current preliminary design for the subject parcel provides more than 40 (+/-) percent open space. Open space areas are shown on the enclosed site plan included as Exhibit 1. A sidewalk network will connect to the required Shared Use Path along Roxana Road and a private connection to the adjacent property to the North as requested by DelDOT and Sussex County Planning Staff. The project also proposes a dog park and courtyard areas between each pair of apartment buildings. The clubhouse/leasing office will also include a pool area.

(h) A description of provisions for public and private infrastructure.

The Roxana Apartments will be connected to the existing Sussex County wastewater treatment collection and treatment infrastructure facilities. The on-site facilities will be designed and constructed according to County design and construction standards.

The proposed parcels will be served by a potable water system supplied by Tidewater Utilities Water Company (TUI), a franchised water purveyor in the State of Delaware. Private irrigation wells, approved by DNREC, may be used for landscape irrigation for the Community open space areas where irrigation systems are provided.

The road system within the community will be private, designed and constructed and maintained by the private property owner.

(i) Economic, recreational or other benefits.

Residents of the Roxana Apartments will have access to the Community amenities that include outdoor active and passive as well as indoor active and passive recreational opportunities. Outdoor active spaces currently include, but will not necessarily be limited to a recreational pool and dog park. Outdoor passive spaces will include courtyard areas between each pair of apartment buildings. The clubhouse/leasing office will include fitness equipment.

Substantial environmental benefits result from the connection of proposed site to the public water and sewer infrastructure as previously described.

(j) The presence of any historic or cultural resources that are listed on the National Register of Historic Places.

There are no known historic or cultural resources, such as an archeological site or National Register listed property, on this parcel as confirmed by the State Historic Preservation Office during the PLUS review.

(k) An affirmation that the proposed application and proposed mitigation measures are in conformance with the current Sussex County Comprehensive Plan.

The Application as proposed for the Roxana Apartments endeavors to comply in every way with the spirit and intent of the Sussex County Comprehensive Plan.

(l) Actions to be taken by the applicant to mitigate the detrimental impacts identified relevant to Subsection B(2)(a) through (k) above and the manner by which they are consistent with the Comprehensive Plan.

Significant research has been completed to identify possible impacts, which have guided preliminary design efforts that account for mitigation. Agency processes such as DNREC's Stormwater Assessment Study and DelDOT's pre-submittal and scoping meetings help to identify potential issues, such as those described above, prior to any significant design work. By virtue of complying with agency regulations, such as the February 2019 Delaware Sediment and Stormwater Regulations, the Applicant will meet or exceed all standards for required mitigation. No further impacts are anticipated as the project will comply with all local and state regulations.

EXHIBIT 1

PRELIMINARY SITE PLAN

PEAK MANAGEMENT ROXANA APARTMENTS

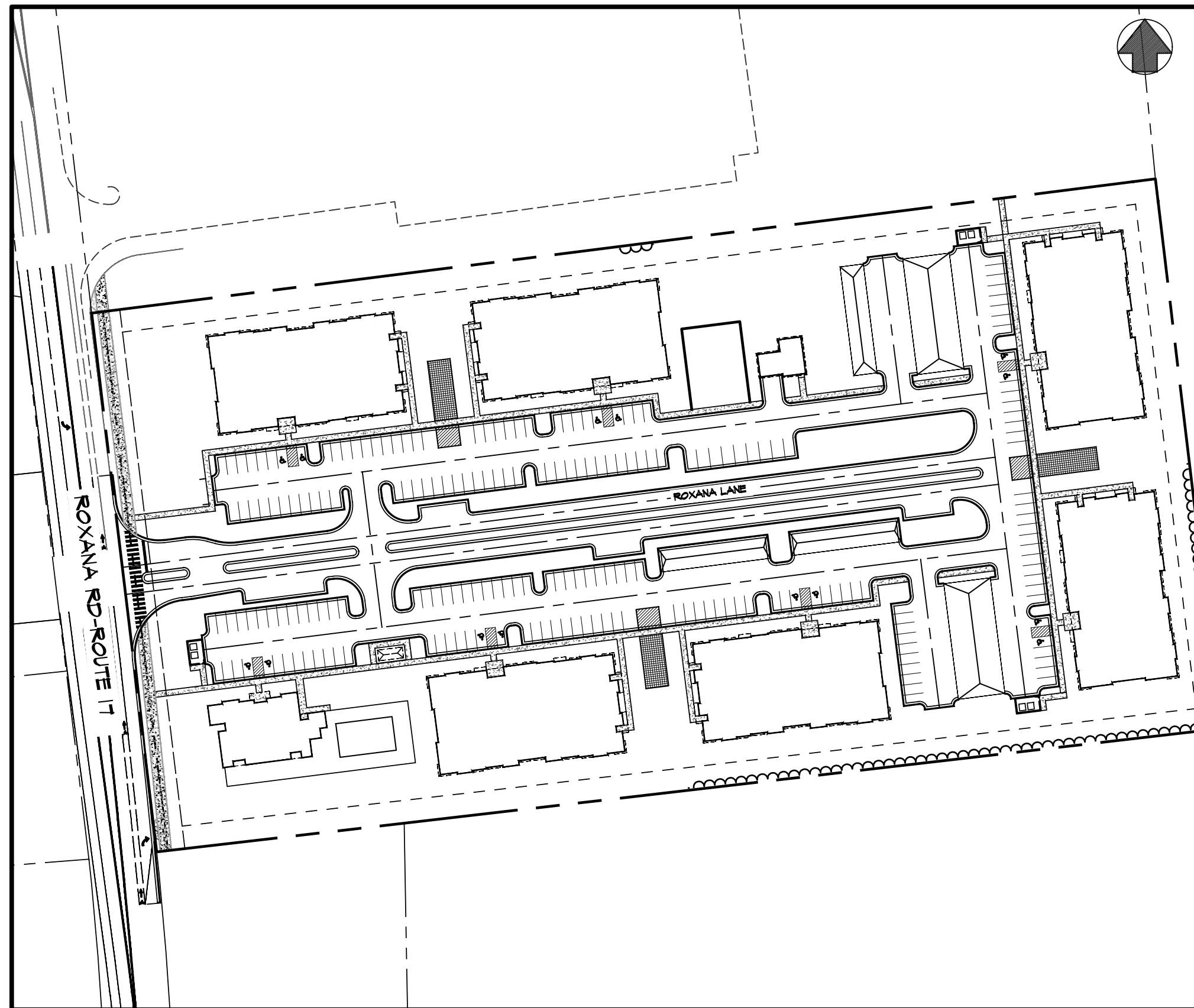
SUSSEX COUNTY, DELAWARE

PRELIMINARY PLAN

SUSSEX COUNTY PLANNING #XXXX

SITE DATA

- PROJECT TITLE/NAME:
ADDRESS: ROXANA APARTMENTS
ROXANA RD
OCEAN VIEW, DE 19970
- TAX PARCEL: 134-12.00-330.00
- DEVELOPER: PEAK MANAGEMENT, LLC.
4969 MERCANTILE RD, SUITE K
NOTTINGHAM, MARYLAND 21236
ATTN: TERESA ROSIER - VICE PRESIDENT
PHONE: (410) 248-5100
- ZONING INFORMATION: EXISTING ZONING: C-1
PROPOSED ZONING: C-1
- LAND USE INFORMATION: EXISTING USE: AGRICULTURE
PROPOSED USE: MULTIFAMILY RESIDENTIAL
- NET DEVELOPMENT COMPUTATIONS: TOTAL SITE AREA = 10.464 AC.±
TOTAL ROAD R/W = 0.110 AC.± (DELDOT)
SITE AREA - (STATE WETLANDS + COMM. + STREET R/W)
10.464 AC.± - (0 AC.± + 0 AC + 0.110 AC.±) = 10.354 AC.±
GROSS DENSITY: 125 UNITS/10.464 AC.± = 11.95 UNITS/AC.±
NET DENSITY: 125 UNITS/10.464 AC.± = 11.95 UNITS/AC.±
- OPEN SPACE: REQUIRED [SECTION 99.21(D)]:
25% X 10.464 AC.± = 2.61 AC.±
PROPOSED = 5.02 AC.±
PASSIVE = 4.80 AC.±
ACTIVE* = 0.22 AC.±
*ACTIVE SPACE INCLUDES COMMUNITY CENTER POOL AREA
- PARKING ANALYSIS: PARKING REQUIRED: 125 UNITS X 2 SP/DU = 250 SP
PARKING PROVIDED: 125 UNITS X 2 SP/DU + 24 = 274 SP
LOADING SPACES PROVIDED: 4 LOADING SPACES
- PROPOSED UNITS: 125 APARTMENTS
- BULK AREA REQUIREMENTS: SINGLE FAMILY ATTACHED CONDOMINIUMS (TOWNHOMES)
FRONT SETBACK: 40'
REAR SETBACK: 10'
SIDE YARD SETBACK: 10'
DISTANCE BETWEEN BLDGS.: 40'
MAX. BLDG. HT: 42'
PARKING SPACE REQUIRED: 2 SP PER UNIT
- FOREST COVER: EXIST. FOREST: 1.84 AC. ± (17.59% OF TOTAL PARCEL)
FOREST CLEARED: 1.84 AC. ± (17.59%)
FOREST REMAINING: 0 AC. ± (0%)
AFFORESTATION: 0 AC. ± (0%)
PROPOSED TOTAL: 0 AC. ±
- WATER SERVICE: TIDEWATER UTILITIES, INC. - PUBLIC
- SANITARY SEWER: SUSSEX COUNTY - PUBLIC
- THIS SITE LIES WITHIN FLOOD ZONE A AND ZONE AE, PER FEMA No. 10005C0495K, EFFECTIVE MARCH 16, 2015
- ALTA/ACSM LAND TITLE SURVEY PROVIDED BY MRA ASSOCIATES, INC. (05/01/2020) AND TOPOGRAPHIC SURVEY PROVIDED BY MRA ASSOCIATES, INC. (05/05/2020). HORIZONTAL AND VERTICAL DATUM IS DELAWARE STATE PLANE NAD83/88.
- PROPOSED BUILDING CONSTRUCTION: WOOD CONSTRUCTION
- 50 MPH SPEED LIMIT ALONG ROXANA RD. (RTE. 17)

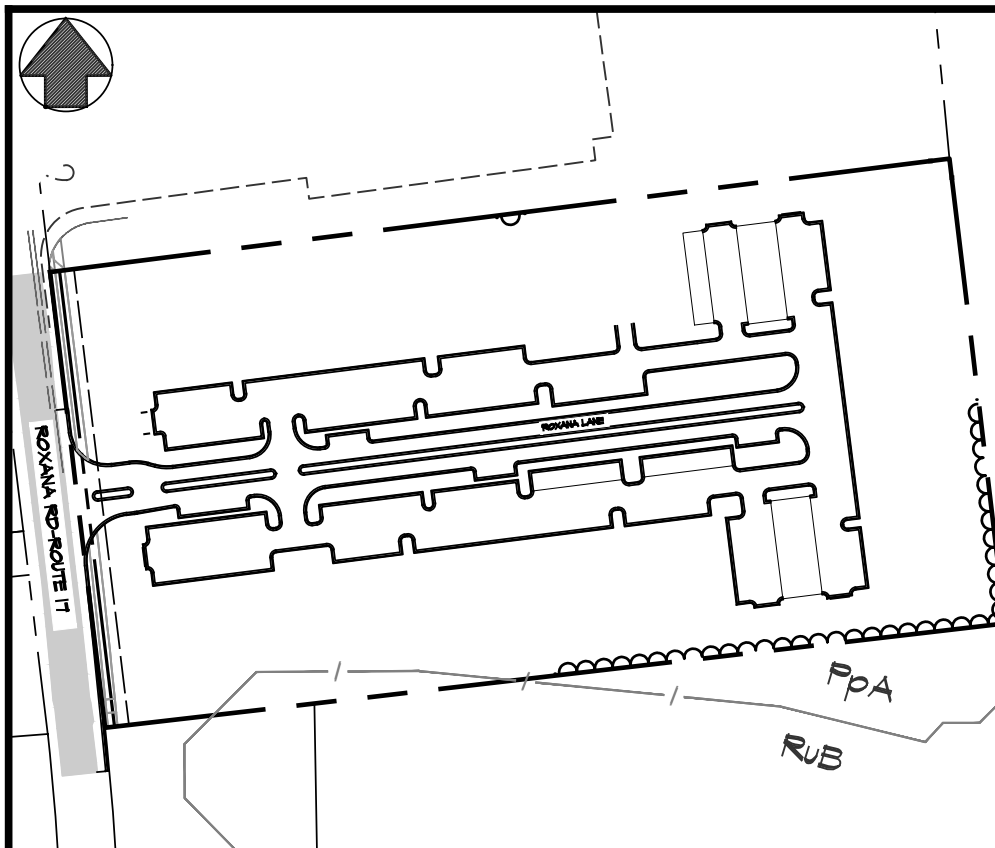


SITE OVERVIEW

SCALE: 1" = 100'

LEGEND

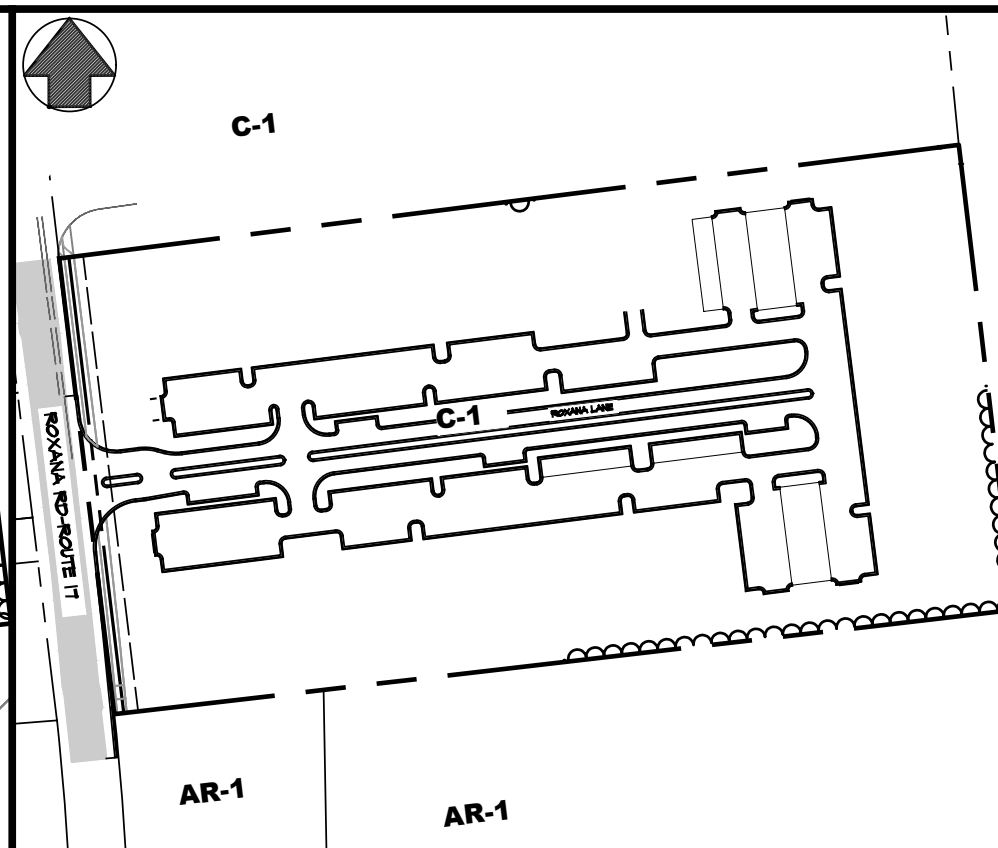
---	EXISTING PROPERTY LINE
- - - -	PROPOSED R/W LINE
- . - . -	PROPOSED LOT LINE
- - - - -	PROPOSED BUILDING SETBACK LINE
---	EXTERIOR PROPERTY LINE
- - - - -	INTERIOR PROPERTY LINE
- . - . -	PROPOSED EASEMENT
---	EXISTING SOILS LINE



SOILS MAP

SCALE: 1" = 200'

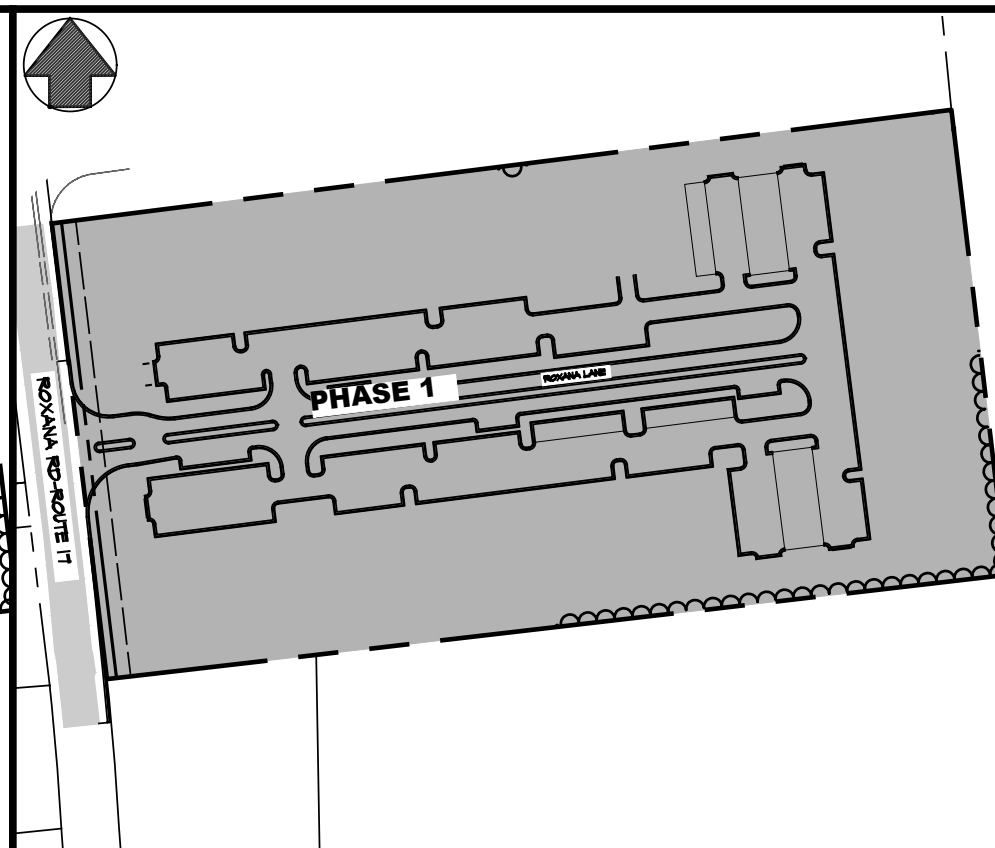
PpA PEPPERBOX LOAMY SAND, 2-5% SLOPES
RuB RUNGLINT LOAMY SAND, 2-5% SLOPES



ZONING MAP

SCALE: 1" = 200'

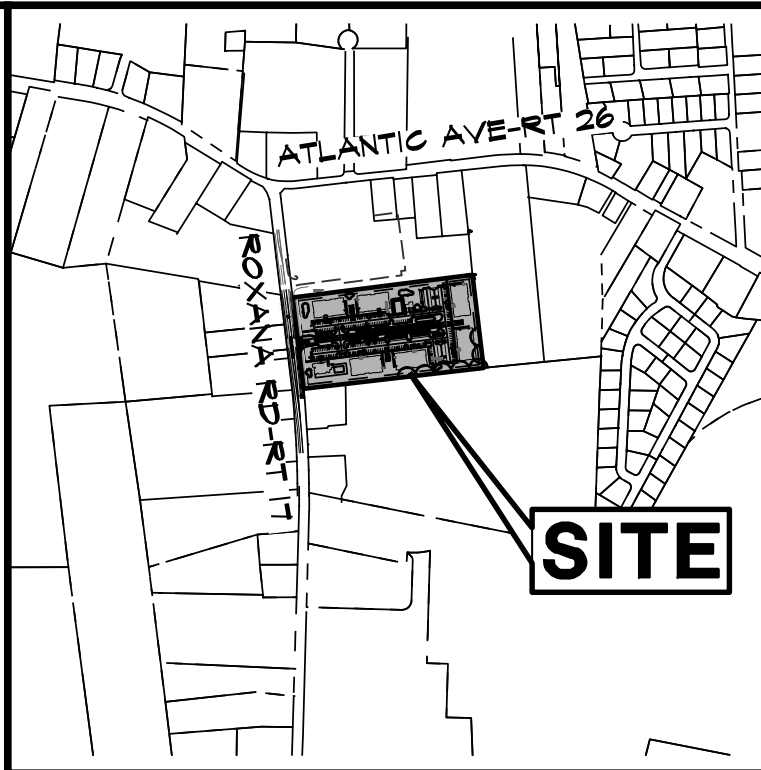
C-1 GENERAL COMMERCIAL
AR-1 AGRICULTURE RESIDENTIAL



PHASING MAP

SCALE: 1" = 200'

THE PROJECT WILL BE APPROVED AS A SINGLE PHASE PROJECT.



LOCATION MAP

SCALE: 1" = 1,000'

INDEX OF DRAWINGS

Sheet Number	Sheet Title
PP-1	TITLE
PP-2	GENERAL NOTES AND DETAILS
PP-3	PRELIMINARY PLAN

OWNER'S PLAN DEVELOPMENT APPROVAL:

I, as owner of the properties shown, hereby approve these plans for development as shown or otherwise noted.

CFL ENTERPRISES, INC.
76 WEST AVENUE
OCEAN VIEW, DELAWARE 19810
ATTN: LOREN E. EVANS - PRESIDENT
EMAIL: LORAEB@GMAIL.COM

Date

DEVELOPER'S PLAN DEVELOPMENT APPROVAL:

I, as developer of the properties shown, hereby approve these plans for development as shown or otherwise noted.

PEAK MANAGEMENT, LLC
4969 MERCANTILE ROAD, SUITE K
NOTTINGHAM, MARYLAND 21236
ATTN: MS. TERESA ROSIER - VP
EMAIL: TROSIER@HILLMGT.COM

Date

WETLANDS STATEMENT

Geo-Technology Associates, Inc. (GTA) has conducted a field review within the boundaries of this plot to evaluate the presence or absence of potential state and federal jurisdictional wetlands for the purposes of Delaware wetland and subaqueous land regulations and section 404 of the Clean Water Act. GTA's review was conducted in general accordance with the techniques and criteria provided in the 1987 Corps of Engineers Wetlands Delineation Manual and The Regional Supplement to the Corps of Engineers Wetlands Delineation Manual: Atlantic and Gulf Coastal Plain Region (Version 2.0), dated November 2000. The limits of the wetlands were evaluated in the field by GTA personnel using best professional judgement. No wetlands or waterways were observed within the boundaries of this plot. No state or federal jurisdictional approval was obtained for this property.

Andy Stanfield
Geo-Technology Associates, Inc.

Date

ENGINEER'S CERTIFICATION

I, the undersigned, hereby certify that I am a registered professional engineer in the state of Delaware and that the plan shown and described hereon, other than the property boundary and topography, is true and correct to the accuracy required by accepted standards and practices and by the Sussex County Subdivision and Land Development regulations to the extent that it describes the proposed manner and layout of the subdivision.

KENNETH M. USAB, P.E.
DE LICENSE No. #10832

Date

MRA

MORRIS & RITCHIE
ASSOCIATES, INC.

ENGINEERS, PLANNERS,
SURVEYORS, AND LANDSCAPE
ARCHITECTS
8 WEST MARKET STREET
GEORGETOWN, DELAWARE 19047
302-855-9734

PROPERTY OWNER:
BONARD B. TIMMONS, JR. &
LOREN E. EVANS

C/O LOREN E. EVANS, PRESIDENT
CFL ENTERPRISES, INC.
76 WEST AVENUE
OCEAN VIEW, DELAWARE 19970
PHONE: (302) 542-0813

DEVELOPER:
PEAK MANAGEMENT, LLC.
4969 MERCANTILE RD, SUITE K
NOTTINGHAM, MARYLAND 21236
ATTN: TERESA ROSIER, VICE PRESIDENT
PHONE: (410) 248 - 5100

PEAK MANAGEMENT
ROXANA APARTMENTS

PRELIMINARY PLAN
OCEAN VIEW, DELAWARE

SUSSEX COUNTY, DE

BALTIMORE HUNDRED

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RITCHIE ASSOCIATES, INC.

NO. REVISION DATE

JOB NO. 20570 DRAWN BY KMR ISSUED 09/15/20

SHEET TITLE

TITLE

SHEET NUMBER

PP-1

CONSTRUCTION NOTES

1.

CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT (811) AT LEAST (3) WORKING DAYS PRIOR TO EXCAVATION, TO HAVE EXISTING UNDERGROUND UTILITIES LOCATED AND MARKED.
2.

ALL MATERIALS & WORKMANSHIP SHALL MEET THE STATE OF DELAWARE STANDARDS & SPECIFICATIONS.
3.

ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, AND PROJECT SPECIFICATIONS.
4.

THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND SHALL APPRISE AND COORDINATE DURING ALL PHASES OF CONSTRUCTION:

A. NATELLI COMMUNITIES, INC. 301-590-7320

B. SUSSEX COUNTY ENGINEERING DEPARTMENT 302-855-7718

C. TOWATER UTILITIES 302-845-8880

D. SUSSEX CONSERVATION DISTRICT 302-856-2105

E. DELAWARE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL 302-856-5488
5.

CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL RIGHT-OF-WAY LINES AND PROPERTY LINES TO HIS OWN SATISFACTION. ALL PROPOSED UTILITIES ARE TO BE CONSTRUCTED WITHIN THE ROADWAY OR EASEMENT RIGHT-OF-WAY; ANY DISTURBED AREAS BEYOND THE EASEMENT LINES SHALL BE RESTORED IMMEDIATELY TO THEIR ORIGINAL CONDITION.
6.

INFORMATION SHOWN HEREIN IS BASED UPON FIELD RUN TOPOGRAPHY DATED 05/05/20 BY MORRIS AND RITCHIE ASSOCIATES, INC. HORIZONTAL AND VERTICAL DATUM IS NAD83.
7.

EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE BASED UPON THE BEST AVAILABLE INFORMATION AND ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. NO GUARANTEE IS MADE OR IMPLIED REGARDING THE ACCURACY OR COMPLETENESS THEREOF. CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF DEPTH, SIZE AND MATERIAL OF ALL UNDERGROUND UTILITIES TO HIS OWN SATISFACTION BEFORE BEGINNING ANY EXCAVATION OR UTILITY INSTALLATION. THE OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION. IF THE CONTRACTOR RELIES ON SAID INFORMATION, HE DOES SO AT HIS OWN RISK. THE GIVING OF THE INFORMATION ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO SUPPORT AND PROTECT ALL SHOWN OR NOT SHOWN EXISTING UTILITIES AND APPURTENANCES. SHOULD ANY EXISTING UTILITIES BE DAMAGED BY THE CONTRACTOR, THE CONTRACTOR SHALL REPAIR THE DAMAGE CAUSED TO THE UTILITY OWNER'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE.
8.

DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE PERFORMED IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
9.

CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF TRAFFIC IN ALL WORK AREAS.
10.

ROUGH GRADING SHALL BE COMPLETE PRIOR TO THE CONSTRUCTION OF WATER & SEWER SYSTEMS.
11.

USE ONLY SUITABLE AND APPROVED GRANULAR MATERIAL FOR BACKFILLING TRENCHES.
12.

CONTRACTOR SHALL ADJUST TO FINISH GRADE AS NECESSARY ANY VALVE BOXES, MANHOLES, CATCH BASINS ETC., PRIOR TO PLACING PAVING.
13.

CONTRACTOR SHALL PROVIDE STAKEOUT NECESSARY FOR THE INSTALLATION OF UTILITIES, STORMDRAINS, PAVING AND ALL OTHER SITE WORK INCLUDED IN THESE PLANS. ALL STAKEOUT WORK IS TO BE PERFORMED UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF DELAWARE.
14.

CONTRACTOR TO MAINTAIN MINIMUM OF 3.5 FEET OF COVER OVER ALL NEW WATER LINES AS MEASURED FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
15.

SEWER LINES SHALL HAVE MINIMUM VERTICAL CLEARANCE OF 18 INCHES FROM WATER MAINS AT CROSSINGS. MAINTAIN A 10 FOOT MINIMUM PLAN SEPARATION BETWEEN SEWER AND WATER MAINS. SEWER LINES SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 6 INCHES FROM OTHER UTILITIES. IF THESE CLEARANCES CAN NOT BE MAINTAINED, THEN PROVISIONS FOR PROPERLY ENCASEING THE PIPE IN CONCRETE MUST BE PROVIDED.
16.

LATERALS SHALL BE 6 INCHES IN DIAMETER, WITH VERTICAL CLEANOUTS OF 6 INCHES IN DIAMETER, AND TO HAVE A MINIMUM OF 3' OF COVER FROM SUSSEX COUNTY CLEANOUT TO MAIN LINE.
17.

ALL GRAVITY SEWER PIPES SHALL BE PVC SDR 35. FOR PIPE SLOPES SEE SANITARY SEWER PROFILES.
18.

FORCE MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PRESSURE PIPE CLASS DR 18 FOR SIZES 4" THROUGH 12" IN ACCORDANCE WITH AWWA C900, DR 18 FOR SIZES 14" THROUGH 24" IN ACCORDANCE WITH AWWA C900 AND 3" AND SMALLER SHALL BE PIPE 1120 (SDR 21) IN ACCORDANCE WITH ASTM 2241. THE OUTSIDE DIAMETER OF SDR 18 SHALL BE EQUIVALENT TO CAST IRON PIPE. PVC PIPE SHALL HAVE AN INTEGRAL BEL WITH RUBBER GASKETED JOINT AS LISTED IN THE AWWA C900/C905 STANDARD. PIPE COUPLINGS SHALL BE MARKED AND FACTOR TESTED IN ACCORDANCE WITH AWWA C900/C905.
- PIPE FITTINGS SHALL BE DUCTILE IRON COMPACT OR STANDARD MECHANICAL JOINT FITTINGS IN CONFORMANCE WITH THE APPLICABLE PORTIONS OF ANSI/AWWA C153/A21.5.3. ALL FITTINGS SHALL BE CEMENT-MORTAR-LINED IN ACCORDANCE WITH ANSI/AWWA C104/A21.4. LUG BOLTS SHALL BE HIGH STRENGTH, LOW ALLOY STEEL, MINIMUM YIELD STRENGTH OF 45,000 PSI.
19.

MATERIAL OF CONSTRUCTION FOR SEWER FORCE MAINS SHALL BE AS NOTED ON THE DRAWINGS. FORCE MAIN SHALL BE INSTALLED AS PROFILED TO PREVENT FORMATION OF UNANTICIPATED HIGH POINTS IN THE INSTALLATION.
20.

ALL SEWER LINES MUST BE SUCCESSFULLY TESTED, PRIOR TO FINAL ACCEPTANCE.
21.

ALL PUBLIC OR SUSSEX COUNTY SANITARY SEWER CONSTRUCTION PERFORMED SHALL BE IN ACCORDANCE WITH SUSSEX COUNTY ORDINANCE 38, THESE PLANS AND ALL APPLICABLE CONSTRUCTION PERMITS.
22.

ALL DROP MANHOLES TO BE 5'-0" IN DIAMETER.
23.

FITTINGS SHOWN ON THE PLANS ILLUSTRATE ANTICIPATED ANGLE OF DEFLECTION. THIS INFORMATION IS SHOWN FOR GENERAL INFORMATION AND IS NOT GUARANTEED. ACTUAL ANGLE MAY VARY DUE TO FIELD CONDITIONS. USE OF ADDITIONAL FITTINGS SHALL BE AUTHORIZED BY THE ENGINEER.
24.

THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEVIATION FROM THESE PLANS UNLESS WRITTEN APPROVAL HAS BEEN PROVIDED BY THE ENGINEER.
25.

ALL DISTURBED AREAS IN THE STATED RIGHT OF WAY, BUT NOT IN THE PAVEMENT SECTION MUST BE TOPSOILED (6" MINIMUM), FERTILIZED, MULCHED, AND SEEDED.
26.

ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE PLACED IN ACCORDANCE WITH THE M.U.T.C.D. MANUAL, MOST CURRENT EDITION.
27.

ALL PROPOSED STORM DRAIN DESIGNATED AS "RCP" IS TO BE REINFORCED CONCRETE CIRCULAR PIPE, MEETING AASHTO M-170 SPECIFICATIONS. SEE PROFILES FOR SPECIFIC PIPE CLASS.
28.

ALL LENGTHS OF PIPE ARE MEASURED HORIZONTALLY FROM CENTER LINES OF INLETS, MANHOLES OR FITTINGS. ACTUAL TRUE LENGTHS OF PIPES ARE TO BE DETERMINED IN THE FIELD.
29.

WHERE SPECIFIED, HDPE STORM DRAIN PIPE SHALL BE ADS N-12 (SMOOTH INTERIOR) PIPE WITH ADS PRO-LINK WT (BELL/BELL COUPLER) FOR WATER TIGHT CONNECTIONS. REFER TO PLAN AND PROFILES FOR MATERIALS USED.
30.

ALL EMBEDMENT MATERIALS USED FOR BEDDING, HAUNCHING, AND INTIAL BACKFILL FOR HDPE PIPE SHALL CONFIRM TO AASHTO SECTION 30 AND ASTM D-2321 AS PER MANUFACTURER INSTALLATION REQUIREMENTS. CONTRACTOR SHALL ENSURE THAT PROPER LINE AND GRADE IS ESTABLISHED WITHIN TRENCH BEDDING PRIOR TO PLACEMENT OF PIPE AND THAT PROPER MATERIALS ARE USED AND COMPACTION IS ACHIEVED DURING HAUNCHING AND INTIAL BACKFILL. A GEOTECHNICAL ENGINEER SHALL BE RETAINED TO VERIFY SUITABILITY OF MATERIALS USED AND PROPER COMPACTION. ANY DEVIATION IN LINE AND GRADE OR OBVIOUS JOINT SEPARATION SHALL BE CORRECTED PRIOR TO ESTABLISHMENT OF FINAL SUBGRADE AND PAVEMENT SURFACE. THE CONTRACTOR SHALL TAKE EVERY CARE TO ENSURE CORRECT PIPE INSTALLATION.
31.

UNLESS OTHERWISE SPECIFIED ALL ROADWAY INLETS SHALL HAVE A TYPE 1 INLET GRATE AND TYPE C TOP UNIT PER DELDOT STANDARDS, CURRENT REVISION.
32.

IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT PAVING IS INSTALLED TO THE ELEVATIONS SHOWN AND THAT NO PONDING OF WATER EXISTS AFTER PAVING IS COMPLETE.

GENERAL NOTES

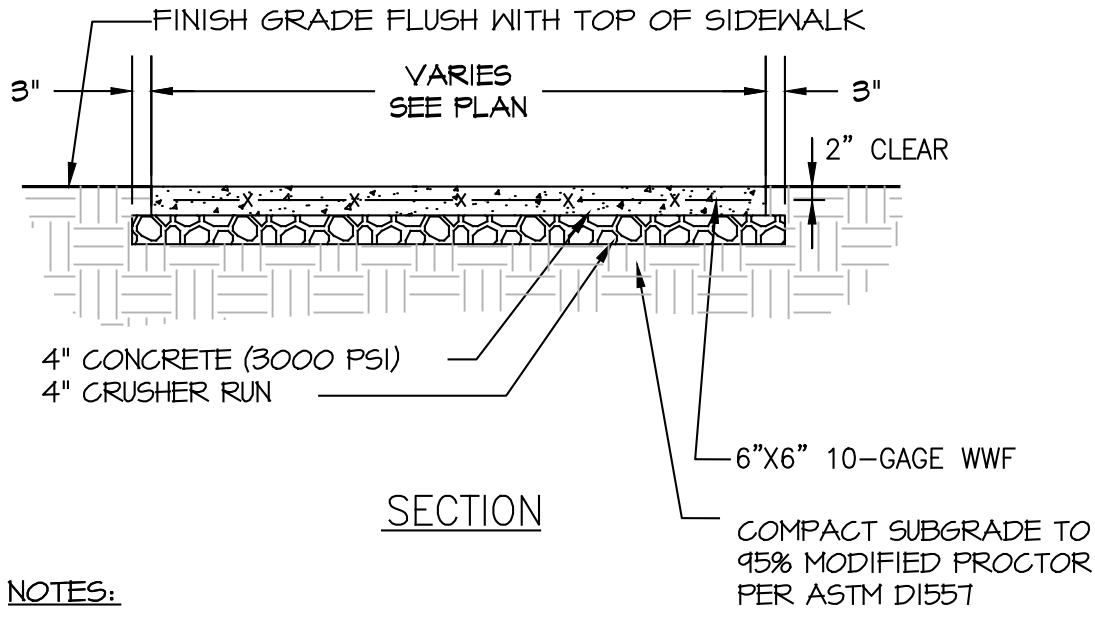
1.

DEVELOPMENT ACCESS DRIVEWAYS ARE TO REMAIN PRIVATE AND ARE TO BE CONSTRUCTED IN ACCORDANCE WITH COUNTY REGULATIONS.
2.

MAINTENANCE OF THE ACCESS DRIVEWAYS WITHIN THIS DEVELOPMENT WILL BE THE RESPONSIBILITY OF THE DEVELOPER. THE STATE AND SUSSEX COUNTY ASSUMES NO RESPONSIBILITY FOR FUTURE MAINTENANCE OF THE ACCESS DRIVEWAYS.
3.

MAINTENANCE OF THE STORM WATER MANAGEMENT AREAS WILL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER.
4.

THE PROPOSED ENTRANCE/EXIT IS CONCEPTUAL ONLY AND IS SUBJECT TO REVIEW AND APPROVAL BY DELAWARE DEPARTMENT OF TRANSPORTATION BEFORE A CONSTRUCTION PERMIT IS ISSUED.



NOTES:

1.

MAXIMUM SIDEWALK SLOPE IS 5.0%.
2.

MAXIMUM CROSS SLOPE IS 2.0%.
3.

SIDEWALK TO BE SCRIBED IN 5' SQUARES (INCREMENTS).
4.

EXPANSION JOINTS ACROSS THE SIDEWALK NOT MORE THAN 15' APART
5.

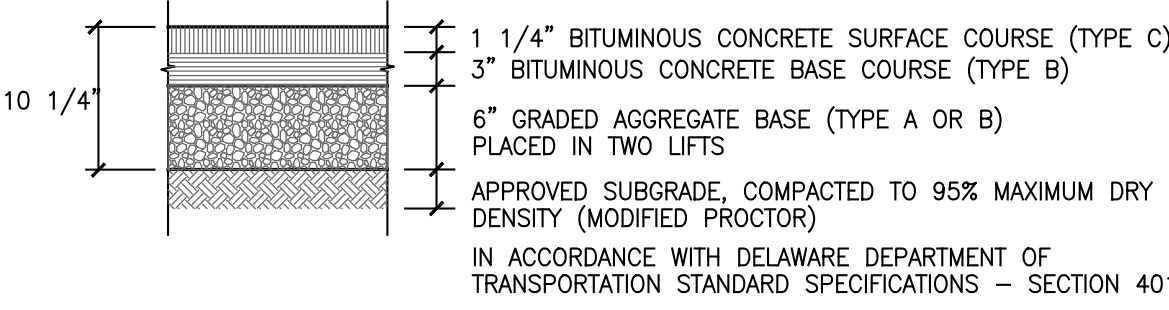
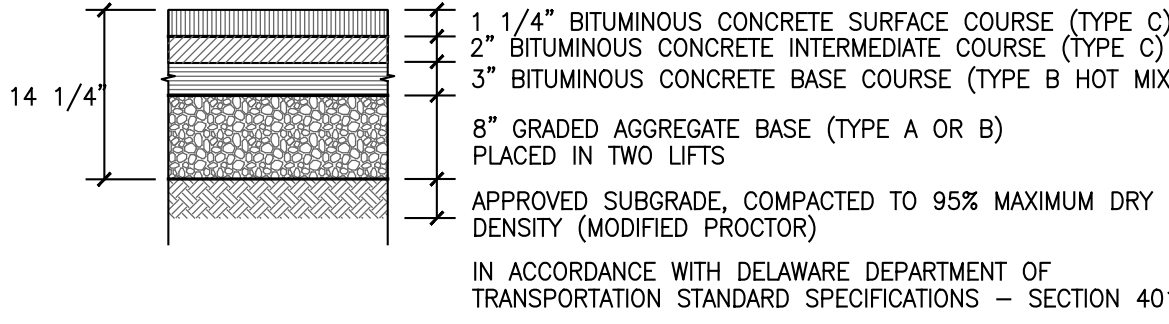
1/2" PRE-FORMED BITUMINOUS EXPANSION JOINT MATERIAL IN EXPANSION JOINTS TO BE 1/4" BELOW SURFACE OF SIDEWALK.
6.

CONCRETE TO BE MIX 2. (3000 P.S.I.)
7.

TYPE IV POLYURETHANE BONDED RECYCLED RUBBER PREFORMED EXPANSION JOINT MATERIAL SHALL BE INSTALLED WHERE SIDEWALKS ARE ADJACENT TO CURBING.

CONCRETE SIDEWALK

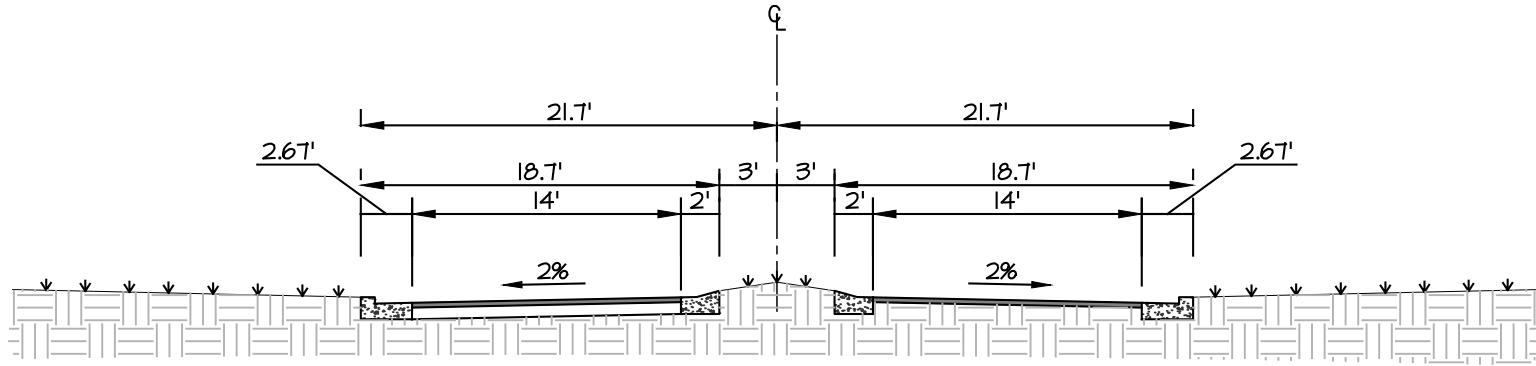
NOT TO SCALE



- FINAL SECTION TO BE DETERMINED BY GEOTECHNICAL ENGINEER IN FIELD.
- COMPACTION OF SUBGRADE SHOULD BE 95% OF MAXIMUM DRY DENSITY

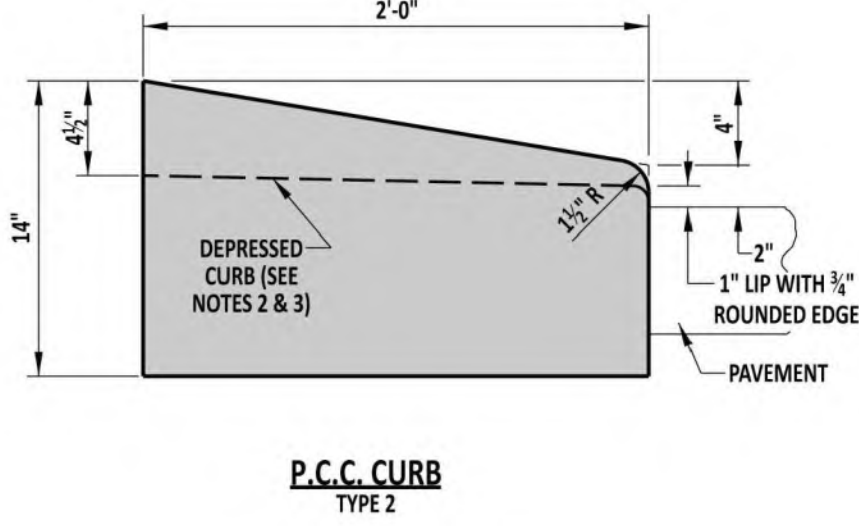
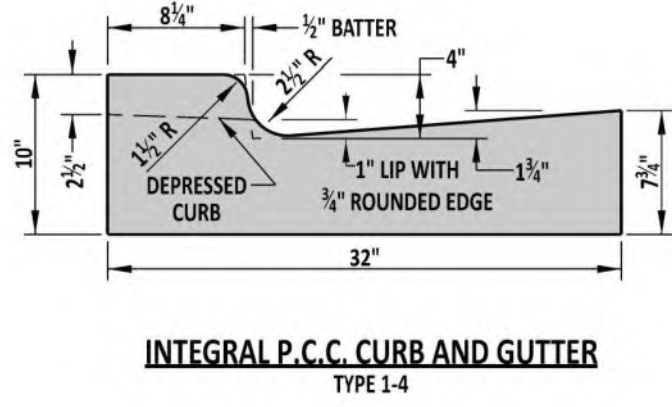
PAVING SECTIONS

NOT TO SCALE



TYPICAL ROXANA LANE SECTION

SCALE: 1" = 10'



MRA

MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS, PLANNERS,
SURVEYORS, AND LANDSCAPE
ARCHITECTS
8 WEST MARKET STREET
GEORGETOWN, DELAWARE 19047
302-855-9734

PROPERTY OWNER:
BONARD B. TIMMONS, JR. &
LOREN E. EVANS

C/O LOREN E. EVANS, PRESIDENT
CFL ENTERPRISES, INC.
78 WEST AVENUE
OCEAN VIEW, DELAWARE 19070
PHONE: (302) 542-0813

DEVELOPER:
PEAK MANAGEMENT, LLC.
4869 MERCANTILE RD, SUITE K
NOTTINGHAM, MARYLAND 21238
ATTN: TERESA ROSIER, VICE PRESIDENT
PHONE: (410) 248 - 5100

PEAK MANAGEMENT
ROXANA APARTMENTS
PRELIMINARY PLAN
OCEAN VIEW, DELAWARE
BALTIMORE HUNDRED
SUSSEX COUNTY, DE

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RITCHIE ASSOCIATES, INC.

NO.	REVISION	DATE
JOB NO.	DRAWN BY	ISSUED
20570	KMR	09/15/20

SHEET TITLE

GENERAL NOTES
AND DETAILS

SHEET NUMBER

PP-2



WEST MARKET STREET
GEORGETOWN, DELAWARE 19947
202-855-5734

PROPERTY OWNER:
DONARD B. TIMMONS, JR. &
DORIS E. EVANS

JO LOREN E. EVANS, PRESIDENT
L ENTERPRISES, INC.
WEST AVENUE
EAN VIEW, DELAWARE 19970
ONE: (302) 542-0813

DEVELOPER:
PEAK MANAGEMENT, LLC.
69 MERCANTILE RD, SUITE K
BETHINGHAM, MARYLAND 21236
ATTN: TERESA ROSIER, VICE PRESIDENT
PHONE: (410) 248 - 5100

PEAK MANAGEMENT ROXANA APARTMENTS

PRELIMINARY PLAN
OCEAN VIEW, DELAWARE

SUSSEX COUNTY DE

BALTIMORE HUNDRED

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RITCHIE ASSOCIATES, INC.

D.	REVISION	DATE
B NO.	DRAWN BY	ISSUED

SHEET TITLE

PRELIMINARY PLAN

SHEET NUMBER

PP-3

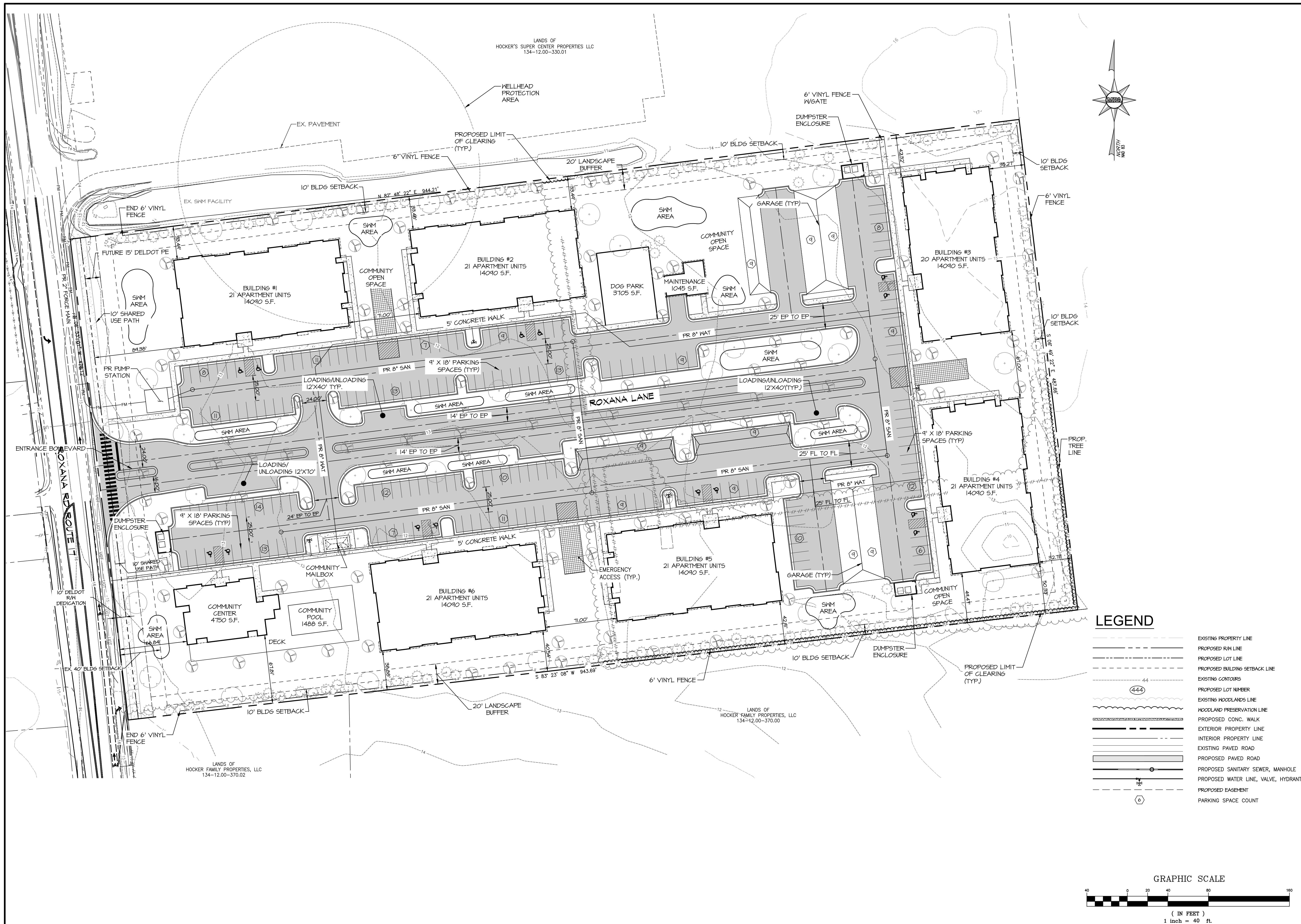


EXHIBIT 2

PLUS COMMENTS AND RESPONSE LETTER



STATE OF DELAWARE
EXECUTIVE DEPARTMENT
OFFICE OF STATE PLANNING COORDINATION

July 23, 2020

Ken Usab, P.E.
Morris & Ritchie Associates, Inc.
8 West Market Street
Georgetown, DE 19947

RE: PLUS review 2020-06-04; Peak Management LLC – Roxana Apartments

Dear Mr. Usab:

Thank you for meeting with State agency planners on June 24, 2020 to discuss the proposed plans for the Peak Management LLC -Roxana Apartments project. According to the information received you are seeking review of a proposed site plan for a 125-unit subdivision on 10.464 acres along Roxana Road in Sussex County.

Please note that changes to the plan, other than those suggested in this letter, could result in additional comments from the State. Additionally, these comments reflect only issues that are the responsibility of the agencies represented at the meeting. **The developers will also need to comply with any Federal, State, and local regulations regarding this property. We also note that as Sussex County is the governing authority over this land, the developers will need to comply with any and all regulations/restrictions set forth by the County.**

Strategies for State Policies and Spending

This project is located in Investment Level 2 according to the *Strategies for State Policies and Spending*. Investment Level 2 reflects areas where growth is anticipated by local, county, and State plans in the near-term future. State investments will support growth in these areas. Our office has no objections to the proposed rezoning and development of this project in accordance with the County codes and ordinances.

This parcel is located adjacent to the Town of Millville. The owner should consider annexing into the Town of Millville.

Code Requirements/Agency Permitting Requirements

Department of Transportation – Contact Bill Brockenbrough 760-2109

- The site access on Roxana Road (Delaware Route 17) must be designed in accordance with DelDOT's Development Coordination Manual.
- Pursuant to Section 1.3 of the Manual, a Pre-Submittal meeting is required before plans are submitted for review. The form needed to request the meeting and guidance on what will be covered there and how to prepare for it is located at https://www.deldot.gov/Business/subdivisions/pdfs/Meeting_Request_Form.pdf?08022017.
- Section 1.6.1 of the Manual addresses the location of entrances onto the State-maintained road system. Preliminarily the entrance location is acceptable as proposed.
- Section 1.7 of the Manual addresses fees that are assessed for the review of development proposals. DelDOT anticipates collecting the Initial Stage Fee when the record plan is submitted for review and the Construction Stage Fee when construction plans are submitted for review.
- Per Section 2.2.2.1 of the Manual, Traffic Impact Studies (TIS) are warranted for developments generating more than 500 vehicle trip ends per day or 50 vehicle trip ends per hour in any hour of the day. The PLUS application shows 904 vehicle trip ends per day. Using the 10th edition of the Institute of Transportation Engineers' Trip Generation Manual, and assuming 125 units of Mid-Rise Multi-Family Housing, DelDOT estimates that the total daily trips generated would be 680 vehicle trip ends per day and that the trip generation during the weekday evening peak hour would be 55 vehicle trip ends. Therefore, the plan does meet the warrants for a TIS.

Section 2.2.2.2 of the Development Coordination Manual provides that for developments generating less than 2000 vehicle trip ends per day and less than 200 vehicle trip ends per hour in any hour of the day, DelDOT may accept an Area Wide Study (AWS) Fee in lieu of the TIS if the local government does not require a TIS. The AWS Fee is calculated as \$10 per daily trip or, in this case, \$6,800. AWS Fees are used to fund traffic studies, not to build improvements.

DelDOT anticipates requiring the developer to enter signal agreements for the intersections of Roxana Road with Atlantic Avenue (Delaware Route 26) and Burbage Road (Sussex Road 353).

- As necessary, in accordance with Section 3.2.5 and Figure 3.2.5-a of the Manual, DelDOT will require dedication of right-of-way along the site's frontage on Burbage Road. By this regulation, this dedication is to provide a minimum of 40 feet from the physical centerline of Roxana Road. The following right-of-way dedication note is

required, "An X-foot wide right-of-way is hereby dedicated to the State of Delaware, as per this plat."

- In accordance with Section 3.2.5.1.2 of the Manual, DelDOT will require the establishment of a 15-foot wide permanent easement across the property frontage on Roxana Road. The location of the easement shall be outside the limits of the ultimate right-of-way. The easement area can be used as part of the open space calculation for the site. The following note is required, "A 15-foot wide permanent easement is hereby established for the State of Delaware, as per this plat."
- Referring to Section 3.4.2.1 of the Manual, the following items, among other things, are required on the Record Plan:
 - Depiction of all existing entrances within 600 feet of the entrance on Roxana Road.
 - Notes identifying the type of off-site improvements, agreements (signal, letter) contributions and when the off-site improvements are warranted.
- Section 3.5 of the Manual provides DelDOT's requirements with regard to connectivity. The requirements in Sections 3.5.1 through 3.5.3 shall be followed for all development projects having access to state roads or proposing DelDOT maintained public streets for subdivisions. DelDOT recommends that the applicant contact the owners of the adjoining parcels to the north and south and, if they are amenable, provide driveway connections or, if that is not negotiable, bicycle and pedestrian connections so that apartment residents could access development on those parcels without using Roxana Road.

More specifically, DelDOT recommends a connection to the north approximately where the future County pump station is proposed, so that apartment residents would access the shopping center near one of the storefronts, and a connection to the south where the emergency access is proposed between Buildings 5 and 6. The connection to the north is of particular importance because Delaware Transit Corporation contemplates providing bus service on Atlantic Avenue (Delaware Route 26) and the connection would allow residents to walk through the shopping center parking lot to reach a bus stop.

- Section 3.5.4.2 of the Manual addresses requirements for shared-use paths and sidewalks. For projects in Level 1 and 2 Investment Areas, installation of paths or sidewalks along the frontage on State-maintained roads is mandatory. DelDOT will require a path along the frontage on Roxana Road. On the north end, the path should extend to the driveway of the adjoining shopping center and terminate there with a curb ramp.
- In accordance with Section 3.8 of the Manual, storm water facilities, excluding filter strips and bioswales, shall be located a minimum of 20 feet from the ultimate State right-of-way along Roxana Road.

- Section 5.2.4 of the Manual addresses entrance widths. As shown on the plan accompanying the PLUS application, the entrance appears to be too wide.
- In accordance with Section 5.2.9 of the Manual, the Auxiliary Lane Worksheet should be used to determine whether auxiliary lanes are warranted at the site entrances and how long those lanes should be. The worksheet can be found at <http://www.deldot.gov/Business/subdivisions/index.shtml>. The shopping center to the north of this site is planning an expansion that would necessitate the extension of their right turn lane and the start of that lane could affect the design of the subject development's entrance.
- In accordance with Section 5.14 of the Manual, all existing utilities must be shown on the plan and a utility relocation plan will be required for any utilities that need to be relocated.

Department of Natural Resources and Environmental Control – Contact Michael Tholstrup 735-3352

Wellhead Protection Area

- DNREC reviewers have determined that this parcel intersects a wellhead protection area (WHPA), located in the area of building #1. A WHPA is the surface and subsurface area surrounding a water well, or wellfield supplying a public water system through which contaminants are likely to reach such well, or wellfield. Wellhead Protection Areas are delineated by the DNREC Division of Water and constitute a critical area as defined under Chapter 92, Title 29 of the Delaware Code. As such, WHPA's are protected under local ordinances. Sussex County has set limits to the amount of impervious cover and land use practices that can occur within these areas.
- The applicant must comply with all County and municipal codes that affect public drinking water supply WHPA's. For more information regarding wellhead protection areas please contact the DNREC Source Water Assessment and Protection Program at (302) 739-9945.

Stormwater Management

- For projects greater than 5,000 square feet, a detailed sediment and stormwater plan will be required prior to any land disturbing activity taking place on the site.
- There has been 1 drainage complaint reported to DNREC associated with the adjacent parcel near the southeast corner of this project parcel.
- The applicant must contact the Sussex Conservation District to schedule a pre-application meeting to discuss the sediment and erosion control and stormwater management components of the plan as soon as practicable. The applicant / consultant should submit

the Stormwater Assessment Study to the Sussex Conservation District and schedule a project application meeting prior to moving forward with the stormwater and site design. The site topography, soils mapping, pre and post development runoff, and proposed method(s) and location(s) of stormwater management should be brought to the meeting for discussion. The plan review and approval as well as construction inspection will be coordinated through the Sussex Conservation District.

Tax Ditch

- Based on DNREC mapping, the Millville Tax Ditch and the associated right-of-way is located adjacent to the project parcel's southern boundary.
- The developer must contact the DNREC Drainage Program to discuss the existing tax ditch rights-of-way prior to the Sussex Conservation District project application meeting. Please contact Michele Garner at (302) 855-1930 to discuss the existing tax ditch rights-of-way.

Water Quality and TMDLs

- This project is located within in the *low nutrient reduction* zone of the greater Inland Bays watershed. A Total Maximum Daily Load (TMDL) is the maximum amount of a pollutant allowed to enter a waterbody so that the waterbody will meet and continue to meet water quality standards. The TMDL for the *low reduction* zone of the Inland Bays watershed calls for 40 percent reduction in nitrogen and phosphorus from baseline conditions. The TMDL also calls for a 40 percent reduction (17 percent for marine waters) in bacteria from baseline conditions.

State Historic Preservation Office – Contact Carlton Hall 736-7400

- While the soils are well drained and prime farmland, the nearest water source is over 350 meters away, beyond the distance considered for prehistoric sites. Prehistoric archaeological potential is low. There seems to be a house just off the site in the 1937 aerial and topographic maps, but it is no longer there in the 1954 aerial. While there are more houses shown in that area on the Beers Atlas Map of 1868, it looks like that area has been consistently plowed and possibly like there has been some landscaping activities there, likely leading to destroyed context for any archaeological remains of the house. Historic archaeological potential is low to moderate.
- If any project or development proceeds, the developer should be aware of the Unmarked Human Burials and Human Skeletal Remains Law (Del. C. Title 7, Ch. 54).
- If there is federal involvement, in the form of licenses, permits, or funds, the federal agency, often through its client, is responsible for complying with Section 106 of the National Historic Preservation Act (36 CFR 800) and must consider their project's effects on any known or potential cultural or historic resources. For further information on the Section

106 process please review the Advisory Council on Historic Preservation's website at: www.achp.gov

- If there are any questions, inquiries, or concerns, feel free to contact the Delaware State Historic Preservation Office for assistance at 302-736-7400.

Recommendations/Additional Information

This section includes a list of site-specific suggestions that are intended to enhance the project. These suggestions have been generated by the State Agencies based on their expertise and subject area knowledge. **These suggestions do not represent State code requirements.** They are offered here in order to provide proactive ideas to help the applicant enhance the site design, and it is hoped (**but in no way required**) that the applicant will open a dialogue with the relevant agencies to discuss how the suggestions can benefit the project.

Department of Transportation – Contact Bill Brockenbrough 760-2109

- The applicant should expect a requirement that any substation and/or wastewater facilities will be required to have access from an internal driveway with no direct access to Roxana Road.
- The applicant should expect a requirement that all PLUS and Technical Advisory Committee (TAC) comments be addressed prior to submitting plans for review.
- Please be advised that the Standard General Notes have been updated and posted to the DelDOT website. Please begin using the new versions and look for the revision dates of March 21, 2019, and March 25, 2019. The notes can be found at <https://www.deldot.gov/Business/subdivisions/>.

Department of Natural Resources and Environmental Control – Michael Tholstrup 735-3352

Stormwater Management

- Any area designated as a drainage/utility easement should be designated as open space. Any drainage/utility easement should not have structures, decks, buildings, sheds, kennels, or fences, within the easement, to allow for future drainage maintenance. Additionally, any trees or shrubs planted within a drainage/utility easement should be spaced to allow for drainage maintenance at maturity.
- The applicant should contact a licensed (Delaware Class D- Site Evaluator) soil scientist to make a site-specific assessment of the soils on this site. A list of Class D licensees can be obtained here: <https://data.delaware.gov/Energy-and-Environment/Class-D-Site->

Evaluator-Licensees-Based-on-Licensed/6vjq-34rp. Questions regarding licensed professionals should be directed to Dawn Dryden at (302) 739-9948.

Water Quality and TMDLs

- To support the State's water quality efforts, DNREC reviewers encourage applicants to reduce the amount of pollutants that enter local waterways by limiting the disturbance of natural habitat and the amount of impervious cover, as well as increasing the use of green infrastructure. The Inland Bays Pollution Control Strategy (PCS) and regulations can be reviewed here: <http://regulations.delaware.gov/documents/November2008c.pdf>.
- Employ green-technology storm water management and rain gardens (in lieu of open-water management structures) to mitigate or reduce nutrient and bacterial pollutant runoff. If open-water stormwater management is selected for use, they should be employed minimally, for the management of stormwater.
- A project's TMDL nutrient and bacteria loading rates should be determined at the preliminary project design phase of development. Both the Nutrient Load Assessment protocol and the Chesapeake Bay program model are tools that have been developed to assess changes in nutrient loading (e.g., nitrogen and phosphorus), thus providing governmental entities with quantitative information about the project's impacts on baseline water quality and help them design and implement the most environmentally-effective practices. The Chesapeake Bay program model can be found here: <http://cast.chesapeakebay.net/Documentation/ModelDocumentation>

Low Impact and Sustainable Development Recommendations

The following strategies and resources are provided to help reduce these impacts to our natural resources while supporting development goals.

Clean Transportation

- Install electric vehicle charging infrastructure. Consumers are increasingly choosing electric vehicles and lack of charging infrastructure is a barrier for those that wish to drive an electric vehicle but live in apartment complexes. Installing this infrastructure is cost effective when incorporated into a project plan, and the Division of Climate, Coastal, & Energy offers incentives of up to 90% of the station cost. These programs address climate change goals of reducing greenhouse gas emissions and improving overall air quality (www.de.gov/cleantransportation).

Energy Efficiency, and Renewable Energy Sources

- Use efficient Energy Star rated products and materials in construction and redevelopment to lessen the power source emissions of the project and costs. Every percentage of energy efficiency translates into a percent reduction in pollution. Renewable energy infrastructure such as solar or geothermal will further reduce pollution created from offsite generation. Energy efficiency upgrades for your project may be eligible for

funding through the Division of Climate, Coastal, & Energy (www.de.gov/greenenergy, www.de.gov/ceif).

Solid Waste reduction

- The applicant should consider the use of recycled materials, such as reclaimed asphalt pavement, to reduce landfill waste, heat island effects on paved surfaces, and pavement costs.
- Include space for recycling dumpsters within the preliminary site design stage. These can be placed adjacent to trash dumpsters.

Air Pollution Reduction

- Air pollution from new construction is generated through the use of maintenance equipment, paints, and consumer products like roof coatings and primers. Use of structural paint coatings that are low in Volatile Organic Compounds will help protect air quality.
- Air pollution is also directly related to increased motorized transportation activity. Incorporating nonmotorized connectivity and installing bicycle racks where feasible will help to facilitate non-vehicular travel modes.

State Housing Authority – Contact: Jonathan Adkins-Taswell 739-0245

- DSHA supports the site plan for 125-unit multi-family apartments on 10.46 acres along Roxana Road outside the Town of Millville in Sussex County. This is an excellent location for a more affordable housing product. As a result, DSHA recommends that Sussex county embrace the opportunity to approve this proposal permitting residents to live close to their jobs, as well as, access the resources and benefits this area provides.
- This Proposal provides Sussex County an excellent opportunity to facilitate a more affordable housing product in the Coastal Resort Area. The need for housing affordable to the many county residents who work in this resort economy is acute and well documented. This proposal is located in a great location with high value markets, offering economic opportunity, high performing schools, and supportive infrastructure that help household succeed. Unfortunately, these same areas contain little affordable housing. DSHA encourages the County and developer to work together, perhaps through participation in the County's Moderately Priced Housing Unit program, to incorporate a variety of housing options and prices so that more Sussex County residents can benefit from the many resources and benefits this area provides.
- DSHA encourages the site layout and quality design measures that creates desirable rental units which are vital to any well-balanced community, the intensity of the proposal warrants design measures to create human-scaled, and pedestrian-oriented community. Incorporating attractive streetscapes, community recreation areas, visually appealing façade treatments,

significant landscaping and pedestrian-oriented measures will help the proposal to integrate well into the larger Comprehensive plan.

Delaware Transit Corporation (DTC) – Contact: Jared Kauffman 576-6062

- A direct pedestrian pathway is needed from the apartments into the shopping center. Not only will this provide non-motorized access between the two, it will also create a pedestrian pathway to SR 26, which DART is currently investigating on how to provide service.

Sussex County Housing – Contact: Brandy Nauman 855-7779

- Sussex County endeavors to promote non-discrimination and affordable housing whenever possible throughout the County. In this regard, the developer and associated financial institutions are encouraged to provide and finance affordable housing opportunities to Sussex County residents in all new developments, and affirmatively market those affordable housing units to diverse populations.
- For questions about opportunities available for affordable housing projects within Sussex County, please consult Sussex County's "Affordable Housing Support Policy". The policy along with other resources are available on the County's Affordable & Fair Housing Resource Center website: www.sussexcountype.gov/affordable-and-fair-housing-resource-center. The County's Community Development & Housing Department can advise about existing affordable housing opportunities in Sussex County and the appropriate County Department to contact regarding specific development issues concerning future affordable housing projects within Sussex County.
- The Community Development & Housing Department can also explain and assist with any financial support or incentives that may be available to a project from federal, state and county sources, as well as private funding sources that also promote affordable housing in Sussex County.
- Please understand that all residential projects, including Affordable Housing Projects are subject to the applicable provisions of the Sussex County Subdivision and Zoning Codes, and the approval processes set forth in those Codes.

Following receipt of this letter and upon filing of an application with the local jurisdiction, the applicant shall provide to the local jurisdiction and the Office of State Planning Coordination a written response to comments received as a result of the pre-application process, noting whether comments were incorporated into the project design or not and the reason therefore.

Thank you for the opportunity to review this project. If you have any questions, please contact me at 302-739-3090.

Sincerely,

A handwritten signature in dark ink, reading "Constance C. Holland". The signature is fluid and cursive, with the first name "Constance" being more prominent than the last name "Holland".

Constance C. Holland, AICP
Director, Office of State Planning Coordination

CC: Sussex County Planning

MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS,
AND LANDSCAPE ARCHITECTS



September 14, 2020

State of Delaware
Office of State Planning Coordination
Haslet Armory - Third Floor
122 Martin Luther King, Jr. Boulevard South
Dover, Delaware 19901

ATTN: Ms. Constance C. Holland, AICP

RE: Peak Management LLC – Roxana Apartments
PLUS Review 2020-06-04
MRA 20570

Dear Ms. Holland:

This letter is pursuant to your letter dated July 23, 2020 and the meeting with State agency planners on June 24, 2020, to discuss the proposed plans for Roxana Apartments, in Sussex County, Delaware. We reviewed all comments and offer the following response to each comment.

Each comment in your letter is shown in *italicized text* followed by our written responses on behalf of the Applicant, Roxana Apartments:

*“Please note that changes to the plan, other than those suggested in this letter, could result in additional comments from the State. Additionally, these comments reflect only issues that are the responsibility of the agencies represented at the meeting. **The developers will also need to comply with any Federal, State, and local regulations regarding this property. We also note that as Sussex County is the governing authority over this land, the developers will need to comply with any and all regulations/restrictions set forth by the County.**”*

Response: The Applicant will comply with applicable Federal State and local regulations. The Applicant understands that the project is in Sussex County and will need to comply with any and all regulations / restrictions set forth by the County.

“Strategies for State Policies and Spending”

- *This project is located in Investment Level 2 according to the Strategies for State Policies and Spending. Investment Level 2 reflects areas where growth is anticipated by local, county, and State plans in the near-term future. State investments will support growth in these areas. Our office has no objections to the proposed rezoning and development of this project in accordance with the County codes and ordinances.*
- *This parcel is located adjacent to the Town of Millville. The owner should consider annexing into the Town of Millville.*

8 West Market Street, Georgetown, DE 19947 (302) 855-5734 Fax: (302) 855-0157 www.mragta.com

Code Requirements/Agency Permitting Requirements

Department of Transportation – Contact Bill Brockenbrough 760-2109

- *The site access on Roxana Road (Delaware Route 17) must be designed in accordance with DeIDOT's Development Coordination Manual.*

Response: The Applicant is aware the site access must be designed in accordance with DeIDOT's Development Coordination Manual.

- *Pursuant to Section 1.3 of the Manual, a Pre-Submittal meeting is required before plans are submitted for review. The form needed to request the meeting and guidance on what will be covered there and how to prepare for it is located at https://www.deldot.gov/Business/subdivisions/pdfs/Meeting_Request_Form.pdf?08022017.*

Response: A pre-submittal meeting will be requested prior to plan submission.

- *Section 1.6.1 of the Manual addresses the location of entrances onto the State-maintained road system. Preliminarily the entrance location is acceptable as proposed.*

Response: Comment Acknowledged.

- *Section 1.7 of the Manual addresses fees that are assessed for the review of development proposals. DeIDOT anticipates collecting the Initial Stage Fee when the record plan is submitted for review and the Construction Stage Fee when construction plans are submitted for review.*

Response: Applicable DeIDOT fee will be paid.

- *Per Section 2.2.2.1 of the Manual, Traffic Impact Studies (TIS) are warranted for developments generating more than 500 vehicle trip ends per day or 50 vehicle trip ends per hour in any hour of the day. The PLUS application shows 904 vehicle trip ends per day. Using the 10th edition of the Institute of Transportation Engineers' Trip Generation Manual, and assuming 125 units of Mid-Rise Multi-Family Housing, DeIDOT estimates that the total daily trips generated would be 680 vehicle trip ends per day and that the trip generation during the weekday evening peak hour would be 55 vehicle trip ends. Therefore, the plan does meet the warrants for a TIS.*

Section 2.2.2.2 of the Development Coordination Manual provides that for developments generating less than 2000 vehicle trip ends per day and less than 200 vehicle trip ends per hour in any hour of the day, DeIDOT may accept an Area Wide Study (AWS) Fee in lieu of the TIS if the local government does not require a TIS. The AWS Fee is calculated as \$10 per daily trip or, in this case, \$6,800. AWS Fees are used to fund traffic studies, not to build improvements

DeIDOT anticipates requiring the developer to enter signal agreements for the intersections of Roxana Road with Atlantic Avenue (Delaware Route 26) and Burbage Road (Sussex Road 353).

Response: The Applicant will work closely with DeIDOT for the required intersection improvements.

- *As necessary, in accordance with Section 3.2.5 and Figure 3.2.5-a of the Manual, DeIDOT will require dedication of right-of-way along the site's frontage on Burbage Road. By this regulation, this dedication is to provide a minimum of 40 feet from the physical centerline of Roxana Road. The following right-of-way dedication note is required, "An X-foot wide right-of-way is hereby dedicated to the State of Delaware, as per this plat."*

Response: The site does not front along Burbage Road, the site has frontage along Roxana Rd. A right turn lane has been constructed on Burbage Road eastbound at the intersection Roxana Road.

- *In accordance with Section 3.2.5.1.2 of the Manual, DeIDOT will require the establishment of a 15-foot wide permanent easement across the property frontage on Roxana Road. The location of the easement shall be outside the limits of the ultimate right-of-way. The easement area can be used as part of the open space calculation for the site. The following note is required, "A 15-foot wide*

permanent easement is hereby established for the State of Delaware, as per this plat.”

Response: A 15” DelDOT permanent easement will be provided along the property frontage (Roxana Rd – Rte. 17).

- *Referring to Section 3.4.2.1 of the Manual, the following items, among other things, are required on the Record Plan:*
 - *Depiction of all existing entrances within 600 feet of the entrance on Roxana Road.*
 - *Notes identifying the type of off-site improvements, agreements (signal, letter) contributions and when the off-site improvements are warranted.*

Response: An entrance exists 350’+/- north of the proposed entrance to Hocker’s Market and another entrance exists 569’ south of the proposed site to a private drive (Red Fox Lane) that will be shown on the Record Plan.

- *Section 3.5 of the Manual provides DelDOT’s requirements with regard to connectivity. The requirements in Sections 3.5.1 through 3.5.3 shall be followed for all development projects having access to state roads or proposing DelDOT maintained public streets for subdivisions. DelDOT recommends that the applicant contact the owners of the adjoining parcels to the north and south and, if they are amenable, provide driveway connections or, if that is not negotiable, bicycle and pedestrian connections so that apartment residents could access development on those parcels without using Roxana Road.*

More specifically, DelDOT recommends a connection to the north approximately where the future County pump station is proposed, so that apartment residents would access the shopping center near one of the storefronts, and a connection to the south where the emergency access is proposed between Buildings 5 and 6. The connection to the north is of particular importance because Delaware Transit Corporation contemplates providing bus service on Atlantic Avenue (Delaware Route 26) and the connection would allow residents to walk through the shopping center parking lot to reach a bus stop.

Response: The Applicant has contacted the adjacent property owner and will provide a private pedestrian access connection to the adjacent commercial parcel property line as requested. The adjacent property owner was not open to consideration of an internal vehicular driveway connection or pedestrian connection to the property to the south. The Applicant is also concerned about providing a direct public pedestrian connection through the private apartment community for security reasons. They are very willing to construct the public shared use path along the project frontage.

- *Section 3.5.4.2 of the Manual addresses requirements for shared-use paths and sidewalks. For projects in Level 1 and 2 Investment Areas, installation of paths or sidewalks along the frontage on State-maintained roads is mandatory. DelDOT will require a path along the frontage on Roxana Road. On the north end, the path should extend to the driveway of the adjoining shopping center and terminate there with a curb ramp.*

Response: A shared use path is provided along the site frontage along Roxana Road. A sidewalk / path does not exist to the north or south end of the site. The applicant will seek an easement to terminate the shared use path at the existing curb cut for the southerly entrance to the commercial shopping center. In the event that the easement from the adjacent property owner is not feasible, the Applicant will follow DelDOT’s termination policy.

- *In accordance with Section 3.8 of the Manual, storm water facilities, excluding filter strips and bioswales, shall be located a minimum of 20 feet from the ultimate State right-of-way along Roxana Road.*

Response: Stormwater management facilities (SWM) for the site and will respect the 20’ minimum criteria except for SWM filter strips and bioswales which may be sited

within 20 feet of the State ROW.

- *Section 5.2.4 of the Manual addresses entrance widths. As shown on the plan accompanying the PLUS application, the entrance appears to be too wide.*

Response: The site entrance width is 16' entering the site and the exit width is 24' to accommodate both left hand and right turns leaving the site.

- *In accordance with Section 5.2.9 of the Manual, the Auxiliary Lane Worksheet should be used to determine whether auxiliary lanes are warranted at the site entrances and how long those lanes should be. The worksheet can be found at <http://www.deldot.gov/Business/subdivisions/index.shtml>. The shopping center to the north of this site is planning an expansion that would necessitate the extension of their right turn lane and the start of that lane could affect the design of the subject development's entrance.*

Response: Comment acknowledged.

- *In accordance with Section 5.14 of the Manual, all existing utilities must be shown on the plan and a utility relocation plan will be required for any utilities that need to be.*

Response: Comment acknowledged.

Department of Natural Resources and Environmental Control – Contact Michael Tholstrop 735-3352

Wellhead Protection Area

- *DNREC reviewers have determined that this parcel intersects a wellhead protection area (WHPA), located in the area of building #1. A WHPA is the surface and subsurface area surrounding a water well, or wellfield supplying a public water system through which contaminants are likely to reach such well, or wellfield. Wellhead Protection Areas are delineated by the DNREC Division of Water and constitute a critical area as defined under Chapter 92, Title 29 of the Delaware Code. As such, WHPA's are protected under local ordinances. Sussex County has set limits to the amount of impervious cover and land use practices that can occur within these areas.*

Response: MRA contacted DNREC's Source Water Assessment and Protection Program and spoke with Douglas Rambo. The WHPA for this site relates to an unconfined aquifer providing no more than 50,000 GPD of water. Under Sussex County code, the "safe zone" for this site is 20 feet from the center of the WHPA. The proposed buildings are outside that buffer and will meet Sussex County's requirements for impervious coverage and recharge within the area between the safe zone and the edge of the WHPA. The site is current designed at 48.3%+/- impervious coverage within this area. MRA will provide an environmental assessment report reflecting site infiltration back into groundwater.

- *The applicant must comply with all County and municipal codes that affect public drinking water supply WHPA's. For more information regarding wellhead protection areas please contact the DNREC Source Water Assessment and Protection Program at (302) 739-9945.*

Response: Comment acknowledged.

Stormwater Management

- *For projects greater than 5,000 square feet, a detailed sediment and stormwater plan will be required prior to any land disturbing activity taking place on the site.*

Response: Detailed sediment and stormwater plans and associated application will be submitted to Sussex County Soil Conservation District for review and approval.

- *There has been 1 drainage complaint reported to DNREC associated with the adjacent parcel near*

the southeast corner of this project parcel.

Response: MRA will review the existing drainage patterns and impacts on the surrounding properties and address any issues in conformance with applicable County, State and Federal regulations.

- *The applicant must contact the Sussex Conservation District to schedule a pre-application meeting to discuss the sediment and erosion control and stormwater management components of the plan as soon as practicable. The applicant / consultant should submit the Stormwater Assessment Study to the Sussex Conservation District and schedule a project application meeting prior to moving forward with the stormwater and site design. The site topography, soils mapping, pre and post development runoff, and proposed method(s) and location(s) of stormwater management should be brought to the meeting for discussion. The plan review and approval as well as construction inspection will be coordinated through the Sussex Conservation District.*

Response: A pre-application meeting will be coordinated with SCD prior to plan and application submission.

Tax Ditch

- *Based on DNREC mapping, the Millville Tax Ditch and the associated right-of-way is located adjacent to the project parcel's southern boundary.*

Response: The majority of the project site fall within the Millville tax ditch boundary area. No part of the maintenance right-of-way is located within the site.

- *The developer must contact the DNREC Drainage Program to discuss the existing tax ditch rights-of-way prior to the Sussex Conservation District project application meeting. Please contact Michele Garner at (302) 855-1930 to discuss the existing tax ditch rights-of-way.*

Response: Comment acknowledged.

Water Quality and TMDLs

- *This project is located within in the low nutrient reduction zone of the greater Inland Bays watershed. A [Total Maximum Daily Load](#) (TMDL) is the maximum amount of a pollutant allowed to enter a waterbody so that the waterbody will meet and continue to meet water quality standards. The TMDL for the low reduction zone of the Inland Bays watershed calls for 40 percent reduction in nitrogen and phosphorus from baseline conditions. The TMDL also calls for a 40 percent reduction (17 percent for marine waters) in bacteria from baseline conditions.*

Response: The stormwater management design will confirm with TMDL requirements for this watershed per applicable regulations.

State Historic Preservation Office – Contact Carlton Hall 736-7400

- *While the soils are well drained and prime farmland, the nearest water source is over 350 meters away, beyond the distance considered for prehistoric sites. Prehistoric archaeological potential is low. There seems to be a house just off the site in the 1937 aerial and topographic maps, but it is no longer there in the 1954 aerial. While there are more houses shown in that area on the Beers Atlas Map of 1868, it looks like that area has been consistently plowed and possibly like there has been some landscaping activities there, likely leading to destroyed context for any archaeological remains of the house. Historic archaeological potential is low to moderate.*

Response: Comment acknowledged.

- *If any project or development proceeds, the developer should be aware of the Unmarked Human Burials and Human Skeletal Remains Law (Del. C. Title 7, Ch. 54).*

Response: Comment acknowledged.

- *If there is federal involvement, in the form of licenses, permits, or funds, the federal agency, often through its client, is responsible for complying with Section 106 of the National Historic Preservation Act (36 CFR 800) and must consider their project's effects on any known or potential cultural or historic resources. For further information on the Section 106 process please review the Advisory Council on Historic Preservation's website at: www.achp.gov*

Response: Comment acknowledged.

Recommendations/Additional Information

- *The applicant should expect a requirement that any substation and/or wastewater facilities will be required to have access from an internal driveway with no direct access to Roxana Road.*

Response: A direct access to the proposed County pump station will be provided within the site.

- *The applicant should expect a requirement that all PLUS and Technical Advisory Committee (TAC) comments be addressed prior to submitting plans for review.*

Response: All comments will be addressed accordingly prior to plan review.

- *Please be advised that the Standard General Notes have been updated and posted to the DelDOT website. Please begin using the new versions and look for the revision dates of March 21, 2019, and March 25, 2019. The notes can be found at <https://www.deldot.gov/Business/subdivisions/>.*

Response: The applicable standard general notes will be utilized for any additional submittals.

Department of Natural Resources and Environmental Control – Contact Michael Tholstrop 735-3352

Stormwater Management

- *Any area designated as a drainage/utility easement should be designated as open space. Any drainage/utility easement should not have structures, decks, buildings, sheds, kennels, or fences, within the easement, to allow for future drainage maintenance. Additionally, any trees or shrubs planted within a drainage/utility easement should be spaced to allow for drainage maintenance at maturity.*

Response: Comment acknowledged.

- *The applicant should contact a licensed (Delaware Class D- Site Evaluator) soil scientist to make a site-specific assessment of the soils on this site. A list of Class D licensees can be obtained here: <https://data.delaware.gov/Energy-and-Environment/Class-D-Site-Evaluator-Licensees-Based-on-Licensed/6vjq-34rp>. Questions regarding licensed professionals should be directed to Dawn Dryden at (302) 739-9948.*

Response: Geo-Technology Assoc, Inc. will be performing a site soil evaluation for the project.

Water Quality and TMDLs

- *To support the State's water quality efforts, DNREC reviewers encourage applicants to reduce the amount of pollutants that enter local waterways by limiting the disturbance of natural habitat and the amount of impervious cover, as well as increasing the use of green infrastructure. The Inland Bays Pollution Control Strategy (PCS) and regulations can be reviewed here: <http://regulations.delaware.gov/documents/November2008c.pdf>.*

Response: Comment acknowledged. The project design will conform to all applicable Sussex County, State and Federal regulations.

- *Employ green-technology storm water management and rain gardens (in lieu of open-water*

management structures) to mitigate or reduce nutrient and bacterial pollutant runoff. If open-water stormwater management is selected for use, they should be employed minimally, for the management of stormwater.

Response: Comment acknowledged. The project design will conform to all applicable Sussex County, State and Federal regulations.

- A project's TMDL nutrient and bacteria loading rates should be determined at the preliminary project design phase of development. Both the Nutrient Load Assessment protocol and the Chesapeake Bay program model are tools that have been developed to assess changes in nutrient loading (e.g., nitrogen and phosphorus), thus providing governmental entities with quantitative information about the project's impacts on baseline water quality and help them design and implement the most environmentally-effective practices. The Chesapeake Bay program model can be found here: <http://cast.chesapeakebay.net/Documentation/ModelDocumentation>.*

Response: Comment acknowledged. The project design will conform to all applicable Sussex County, State and Federal regulations.

Low Impact and Sustainable Development Recommendations

The following strategies and resources are provided to help reduce these impacts to our natural resources while supporting development goals.

Clean Transportation

- Install electric vehicle charging infrastructure. Consumers are increasingly choosing electric vehicles and lack of charging infrastructure is a barrier for those that wish to drive an electric vehicle but live in apartment complexes. Installing this infrastructure is cost effective when incorporated into a project plan, and the Division of Climate, Coastal, & Energy offers incentives of up to 90% of the station cost. These programs address climate change goals of reducing greenhouse gas emissions and improving overall air quality (www.de.gov/cleantransportation).*

Response: Comment acknowledged. The applicant will consider installing the electric charging stations.

Energy Efficiency, and Renewable Energy Sources

- Use efficient Energy Star rated products and materials in construction and redevelopment to lessen the power source emissions of the project and costs. Every percentage of energy efficiency translates into a percent reduction in pollution. Renewable energy infrastructure such as solar or geothermal will further reduce pollution created from offsite generation. Energy efficiency upgrades for your project may be eligible for funding through the Division of Climate, Coastal, & Energy (www.de.gov/greenenergy, www.de.gov/eeif).*

Response: Comment acknowledged. The project design will conform to all applicable Sussex County, State and Federal regulations.

Solid Waste Reduction

- The applicant should consider the use of recycled materials, such as reclaimed asphalt pavement, to reduce landfill waste, heat island effects on paved surfaces, and pavement costs.*

Response: Comment acknowledged.

- Include space for recycling dumpsters within the preliminary site design stage. These can be placed adjacent to trash dumpsters.*

Response: Comment acknowledged.

Air Pollution Reduction

- *Air pollution from new construction is generated through the use of maintenance equipment, paints, and consumer products like roof coatings and primers. Use of structural paint coatings that are low in Volatile Organic Compounds will help protect air quality.*

Response: Comment acknowledged.

- *Air pollution is also directly related to increased motorized transportation activity. Incorporating nonmotorized connectivity and installing bicycle racks where feasible will help to facilitate non-vehicular travel modes.*

Response: Comment acknowledged.

State Housing Authority – Contact: Jonathan Adkins-Taswell 739-0245

- *DSHA supports the site plan for 125-unit multi-family apartments on 10.46 acres along Roxana Road outside the Town of Millville in Sussex County. This is an excellent location for a more affordable housing product. As a result, DSHA recommends that Sussex county embrace the opportunity to approve this proposal permitting residents to live close to their jobs, as well as, access the resources and benefits this area provides.*

Response: Comment acknowledged.

- *This Proposal provides Sussex County an excellent opportunity to facilitate a more affordable housing product in the Coastal Resort Area. The need for housing affordable to the many county residents who work in this resort economy is acute and well documented. This proposal is located in a great location with high value markets, offering economic opportunity, high performing schools, and supportive infrastructure that help household succeed. Unfortunately, these same areas contain little affordable housing. DSHA encourages the County and developer to work together, perhaps through participation in the County's Moderately Priced Housing Unit program, to incorporate a variety of housing options and prices so that more Sussex County residents can benefit from the many resources and benefits this area provides.*

Response: Comment acknowledged.

- *DSHA encourages the site layout and quality design measures that creates desirable rental units which are vital to any well-balanced community, the intensity of the proposal warrants design measures to create human-scaled, and pedestrian-oriented community. Incorporating attractive streetscapes, community recreation areas, visually appealing façade treatments, significant landscaping and pedestrian-oriented measures will help the proposal to integrate well into the larger Comprehensive plan.*

Response: Comment acknowledged.

Delaware Transit Corporation (DTC) – Contact: Jared Kauffman 576-6062

- *A direct pedestrian pathway is needed from the apartments into the shopping center. Not only will this provide non-motorized access between the two, it will also create a pedestrian pathway to SR 26, which DART is currently investigating on how to provide service.*

Response: The Applicant will be providing a multi-use path along Roxana Road and is working the parcel owner north of the property regarding inter-connection access.

Sussex County Housing – Contact: Brandy Nauman 855-7779

- *Sussex County endeavors to promote non-discrimination and affordable housing whenever possible throughout the County. In this regard, the developer and associated financial institutions are encouraged to provide and finance affordable housing opportunities to Sussex County residents in all new developments, and affirmatively market those affordable housing units to diverse populations.*

Response: Comment acknowledged.

- *For questions about opportunities available for affordable housing projects within Sussex County, please consult Sussex County's "Affordable Housing Support Policy". The policy along with other resources are available on the County's Affordable & Fair Housing Resource Center website: www.sussexcountynj.gov/affordable-and-fair-housing-resource-center. The County's Community Development & Housing Department can advise about existing affordable housing opportunities in Sussex County and the appropriate County Department to contact regarding specific development issues concerning future affordable housing projects within Sussex County.*

Response: Comment acknowledged.

- *The Community Development & Housing Department can also explain and assist with any financial support or incentives that may be available to a project from federal, state and county sources, as well as private funding sources that also promote affordable housing in Sussex County.*

Response: Comment acknowledged.

- *Please understand that all residential projects, including Affordable Housing Projects are subject to the applicable provisions of the Sussex County Subdivision and Zoning Codes, and the approval processes set forth in those Codes.*

Response: Comment acknowledged.

On behalf of the Applicant, we thank the Office of State Planning and other State Departments for their comments. If you should have any questions or require additional information, please do not hesitate to contact me at (302) 855-5734, or via email at kusab@mrakta.com.

Respectfully Submitted,
MORRIS & RITCHIE ASSOCIATES, INC.



Kenneth M. Usab, P.E.
Principal

Enclosures

CC: Sussex County Planning & Zoning
Teresa Rosier

EXHIBIT 3

WETLANDS DETERMINATION

GEO-TECHNOLOGY ASSOCIATES, INC.

GEOTECHNICAL AND
ENVIRONMENTAL CONSULTANTS

A Practicing Geoprofessional Business Association Member Firm



January 6, 2020

Peak Management, LLC
4969 Mercantile Road, Suite K
Nottingham, Maryland 21236

Attn: Ms. Teresa Rosier

Re: Preliminary Wetland Evaluation Summary Letter
Timmons Property
Sussex County, Delaware

Pursuant to your request, Geo-Technology Associates, Inc. (GTA) has performed a Preliminary Wetland Evaluation of the above referenced subject property, which is located east of Roxana Road (Route 17) in the Millville area of Sussex County, Delaware. The subject property is identified as Sussex County Parcel 134-12.00-330.00 and encompasses approximately 10.48 acres.

In January 2020, a Wetland Scientist from GTA performed a Preliminary Wetland Evaluation at the subject property. GTA evaluated the subject property for potential jurisdictional wetlands and/or waters, in general accordance with Title 33 of the Code of Federal Regulations (CFR) Parts 328 and 329, definitions of waters of the United States, and the three-parameter criteria as set forth in the *1987 Corps of Engineers Wetlands Delineation Manual* Technical Report Y-87-1 and the *Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Atlantic and Gulf Coastal Plain Region (Version 2.0)*, dated November 2010. Wetland indicators include the presence/absence of hydric soils, hydrophytic vegetation, and hydrology. This letter and the accompanying *Preliminary Wetland Evaluation Plan* summarize the findings of GTA's review.

At the time of GTA's field evaluation, the subject property consisted primarily of agricultural fields with well-drained soils. GTA also observed upland wooded areas in the central and southeastern portions of the site consisting primarily of eastern redcedar (*Juniperus virginiana*, FACU), black cherry (*Prunus serotina*, FACU) Japanese honeysuckle (*Lonicera japonica*, FACU), and multiflora rose (*Rosa multiflora*, FACU). Soils within these wooded areas were well-drained and lacked hydric soil indicators. On the northern boundary of the subject property GTA observed an apparent stormwater management facility that exhibited indicators of wetland hydrology, hydrophytic vegetation, and hydric soils. Based on a review of aerial imagery, the stormwater management facility was constructed between 1999 and 2002. The stormwater management facility appears to be excavated from uplands, wholly drains

3445-A Box Hill Corporate Center Drive, Abingdon, MD 21009

(410) 515-9446

Fax: (410) 515-4895

♦ Abingdon, MD ♦ Baltimore, MD ♦ Laurel, MD ♦ Frederick, MD ♦ Waldorf, MD ♦ Sterling, VA ♦ Malvern, OH
♦ Somerset, NJ ♦ NYC Metro ♦ New Castle, DE ♦ Georgetown, DE ♦ York, PA ♦ Quakertown, PA ♦ Charlotte, NC ♦ Raleigh, NC

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uplands and, in GTA's professional opinion, should not be considered state or federal jurisdictional.

As a result of GTA's review of the subject property, it is GTA's professional opinion that no jurisdictional "waters of the U.S.," including wetlands, are on the subject property. Our conclusions regarding this site have been based on observations of existing conditions, professional experience in the area with similar projects, and generally accepted professional environmental practice under similar circumstances. Seasonal fluctuations in precipitation or weather conditions can result in differences in the perception of hydrologic conditions, which can alter GTA's evaluation of wetlands/waterways. It is important to note that this delineation is GTA's professional opinion, only. Decisions regarding the official jurisdictional status of wetlands/waterways are made by federal, state and / or local regulatory agencies.

Should you have questions or require additional information, please contact this office at (410) 515-9446.

Sincerely,
GEO-TECHNOLOGY ASSOCIATES, INC.

Tracie Boyer
Environmental Scientist

Andy Stansfield
Vice President

TAB/MAJ/TAS
31191636

L:\Shared\Project Files\2019\31191860 - Timmons Property\WET\Reports - Permitting\Wetland Delineation Report\31191860 - PWE Summary.doc

Attachments:

Preliminary Wetland Evaluation for Timmons Property, dated January 6, 2020



STORMWATER MANAGEMENT FACILITY: GTA OBSERVED AN APPARENT STORMWATER MANAGEMENT FACILITY THAT EXHIBITED INDICATORS OF WETLAND HYDROLOGY, HYDROPHYTIC VEGETATION AND HYDRIC SOILS. BASED ON A REVIEW OF AERIAL IMAGERY, THE STORMWATER MANAGEMENT FACILITY WAS CONSTRUCTED BETWEEN 1999 AND 2002. THE STORMWATER MANAGEMENT FACILITY APPEARS TO BE EXCAVATED FROM UPLANDS, WHOLLY DRAINS UPLANDS AND, IN GTA'S PROFESSIONAL OPINION, SHOULD NOT BE CONSIDERED STATE OR FEDERAL JURISDICTIONAL.

GENERAL INFORMATION

1. LOCATION: EAST OF ROXANA ROAD (DE ROUTE 17) IN THE MILLVILLE AREA OF SUSSEX COUNTY, DELAWARE.
2. PLAN PREPARED FOR: PEAK MANAGEMENT, LLC
4969 MERCANTILE ROAD, SUITE K
NOTTINGHAM, MARYLAND 21236
ATTN: MS. TERESA ROSIER
3. PLAN PREPARED BY: GEO-TECHNOLOGY ASSOCIATES, INC. (GTA)
3445-A BOX HILL CORPORATE CENTER DRIVE
ABINGDON, MARYLAND 21009
ATTN: MRS. TRACIE BOYER
4. AREA OF REVIEW: APPROXIMATELY 10.48 ACRES
5. THE SUBJECT SITE IS IDENTIFIED AS SUSSEX COUNTY TAX PARCEL 134-12.00-330.00.
6. INFORMATION SHOWN ON THIS PLAN IS PRELIMINARY AND NOT MEANT FOR ENGINEERING OR CONSTRUCTION PURPOSES.
7. PROPERTY BOUNDARIES AND TOPOGRAPHIC INFORMATION SHOWN HEREON WERE OBTAINED FROM THE SUSSEX COUNTY GIS MAPPING APPLICATIONS. THE 2018 AERIAL IMAGERY WAS OBTAINED FROM GOOGLE EARTH.
8. ACCORDING TO FEMA FIRM MAP NUMBER 10005C0495K, EFFECTIVE MARCH 16, 2015, THE SUBJECT SITE IS NOT LOCATED WITHIN A 100-YEAR FLOODPLAIN.
9. SOILS SHOWN ON THIS PLAN WERE ADAPTED FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE'S WEB SOIL SURVEY, ACCESSED ON JANUARY 6, 2020. AVAILABLE ONLINE AT <HTTP://WWW.MD.NRCS.USDA.GOV/TECHNICAL/SOILS.HTML>.
10. THE PRELIMINARY WETLAND EVALUATION WAS PERFORMED BY GTA IN JANUARY 2020.
11. AS A RESULT OF THE REVIEW OF THE SITE, IT IS GTA'S PROFESSIONAL OPINION THAT THERE ARE NO JURISDICTIONAL "WATERS OF THE U.S.", INCLUDING WETLANDS, PRESENT WITHIN THE REVIEW AREA.
12. GTA'S CONCLUSIONS REGARDING THIS SITE HAVE BEEN BASED ON OBSERVATIONS OF EXISTING CONDITIONS, PROFESSIONAL EXPERIENCE, AND GENERALLY ACCEPTED PROFESSIONAL ENVIRONMENTAL PRACTICE UNDER SIMILAR CIRCUMSTANCES. SEASONAL VEGETATION CYCLES AND FLUCTUATIONS IN PRECIPITATION OR WEATHER CONDITIONS CAN RESULT IN DIFFERENCES IN THE PERCEPTION OF HYDROLOGIC CONDITIONS AND THE PRESENCE OF PREDOMINANTLY HYDROPHYTIC VEGETATION, WHICH CAN ALTER GTA'S EVALUATION OF WETLANDS/WATERWAYS.
13. IT IS IMPORTANT TO NOTE THAT THIS EVALUATION IS GTA'S PROFESSIONAL OPINION, ONLY. DECISIONS REGARDING THE OFFICIAL JURISDICTIONAL STATUS OF WETLANDS/WATERWAYS ARE MADE BY FEDERAL, STATE, AND/OR LOCAL REGULATORY AGENCIES.
14. THIS PLAN WAS PREPARED BY GTA FOR THE SOLE AND EXCLUSIVE USE OF PEAK MANAGEMENT, LLC. ANY REPRODUCTION OF THIS PLAN BY ANY OTHER PERSON WITHOUT THE EXPRESSED WRITTEN PERMISSION OF GTA AND PEAK MANAGEMENT, LLC IS UNAUTHORIZED, AND SUCH USE IS AT SOLE RISK OF THE USER.

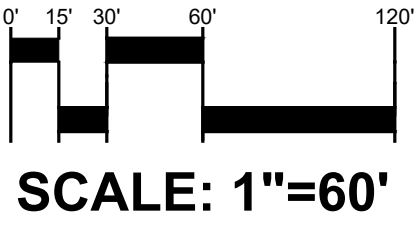
SOILS CHART

SYMBOL ¹	NAME/DESCRIPTION ¹	HYDRIC SOIL ²	HYDRIC COMPONENT ²	PERCENTAGE OF MAPPING UNIT ²	POSITION IN LANDSCAPE ²
PpA	PEPPERBOX LOAMY SAND, 0-2% SLOPES	NO	-	-	-
RuB	RUNCLINT LOAMY SAND, 2-5% SLOPES	YES	HURLOCK, DRAINED	5	DEPRESSIONS, SWALES, FLATS

1. U. S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE'S WEB SOIL SURVEY, ON JANUARY 6, 2020. AT <HTTP://WWW.MD.NRCS.USDA.GOV/TECHNICAL/SOILS.HTML>
2. HYDRIC SOILS INFORMATION AVAILABLE FROM THE STATE SOIL DATA ACCESS HYDRIC SOILS LIST, AT <HTTPS://WWW.NRCS.USDA.GOV/INTERNET/FSE_DOCUMENTS/INRCSEPRD1316619.HTML#REPORTREF>. ACCESSED JANUARY 6, 2019.

LEGEND

- SUBJECT SITE
- EXISTING PROPERTY BOUNDARY
- EXISTING 1' CONTOUR
- APPROXIMATE SOIL BOUNDARY
- APPROXIMATE LIMITS OF STORMWATER MANAGEMENT FACILITY



	GEO-TECHNOLOGY ASSOCIATES, INC. GEOTECHNICAL AND ENVIRONMENTAL CONSULTANTS 3445-A BOX HILL CORPORATE CENTER DRIVE ABINGDON, MARYLAND 21009 410-515-9446 FAX: 410-515-4895 WWW.GTAENG.COM © 2020 GEO-TECHNOLOGY ASSOCIATES, INC.	
	PRELIMINARY WETLAND EVALUATION TIMMONS PROPERTY SUSSEX COUNTY, DELAWARE	
DATE	REVISIONS	JOB NO: 31191860 SCALE: 1"=60' DATE: JANUARY 6, 2020 DRAWN BY: TAB DESIGN BY: TAB REVIEW BY: MAJITAS SHEET: 1 OF 1

MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS,
AND LANDSCAPE ARCHITECTS



September 14, 2020

State of Delaware
Office of State Planning Coordination
Haslet Armory - Third Floor
122 Martin Luther King, Jr. Boulevard South
Dover, Delaware 19901

ATTN: Ms. Constance C. Holland, AICP

RE: Peak Management LLC – Roxana Apartments
PLUS Review 2020-06-04
MRA 20570

Dear Ms. Holland:

This letter is pursuant to your letter dated July 23, 2020 and the meeting with State agency planners on June 24, 2020, to discuss the proposed plans for Roxana Apartments, in Sussex County, Delaware. We reviewed all comments and offer the following response to each comment.

Each comment in your letter is shown in *italicized text* followed by our written responses on behalf of the Applicant, Roxana Apartments:

*"Please note that changes to the plan, other than those suggested in this letter, could result in additional comments from the State. Additionally, these comments reflect only issues that are the responsibility of the agencies represented at the meeting. **The developers will also need to comply with any Federal, State, and local regulations regarding this property. We also note that as Sussex County is the governing authority over this land, the developers will need to comply with any and all regulations/restrictions set forth by the County.**"*

Response: The Applicant will comply with applicable Federal State and local regulations. The Applicant understands that the project is in Sussex County and will need to comply with any and all regulations / restrictions set forth by the County.

"Strategies for State Policies and Spending"

- *This project is located in Investment Level 2 according to the Strategies for State Policies and Spending. Investment Level 2 reflects areas where growth is anticipated by local, county, and State plans in the near-term future. State investments will support growth in these areas. Our office has no objections to the proposed rezoning and development of this project in accordance with the County codes and ordinances.*
- *This parcel is located adjacent to the Town of Millville. The owner should consider annexing into the Town of Millville.*

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Code Requirements/Agency Permitting Requirements

Department of Transportation – Contact Bill Brockenbrough 760-2109

- *The site access on Roxana Road (Delaware Route 17) must be designed in accordance with DelDOT's Development Coordination Manual.*

Response: The Applicant is aware the site access must be designed in accordance with DelDOT's Development Coordination Manual.

- *Pursuant to Section 1.3 of the Manual, a Pre-Submittal meeting is required before plans are submitted for review. The form needed to request the meeting and guidance on what will be covered there and how to prepare for it is located at https://www.deldot.gov/Business/subdivisions/pdfs/Meeting_Request_Form.pdf?08022017.*

Response: A pre-submittal meeting will be requested prior to plan submission.

- *Section 1.6.1 of the Manual addresses the location of entrances onto the State-maintained road system. Preliminarily the entrance location is acceptable as proposed.*

Response: Comment Acknowledged.

- *Section 1.7 of the Manual addresses fees that are assessed for the review of development proposals. DelDOT anticipates collecting the Initial Stage Fee when the record plan is submitted for review and the Construction Stage Fee when construction plans are submitted for review.*

Response: Applicable DelDOT fee will be paid.

- *Per Section 2.2.2.1 of the Manual, Traffic Impact Studies (TIS) are warranted for developments generating more than 500 vehicle trip ends per day or 50 vehicle trip ends per hour in any hour of the day. The PLUS application shows 904 vehicle trip ends per day. Using the 10th edition of the Institute of Transportation Engineers' Trip Generation Manual, and assuming 125 units of Mid-Rise Multi-Family Housing, DelDOT estimates that the total daily trips generated would be 680 vehicle trip ends per day and that the trip generation during the weekday evening peak hour would be 55 vehicle trip ends. Therefore, the plan does meet the warrants for a TIS.*

Section 2.2.2.2 of the Development Coordination Manual provides that for developments generating less than 2000 vehicle trip ends per day and less than 200 vehicle trip ends per hour in any hour of the day, DelDOT may accept an Area Wide Study (AWS) Fee in lieu of the TIS if the local government does not require a TIS. The AWS Fee is calculated as \$10 per daily trip or, in this case, \$6,800. AWS Fees are used to fund traffic studies, not to build improvements

DelDOT anticipates requiring the developer to enter signal agreements for the intersections of Roxana Road with Atlantic Avenue (Delaware Route 26) and Burbage Road (Sussex Road 353).

Response: The Applicant will work closely with DelDOT for the required intersection improvements.

- *As necessary, in accordance with Section 3.2.5 and Figure 3.2.5-a of the Manual, DelDOT will require dedication of right-of-way along the site's frontage on Burbage Road. By this regulation, this dedication is to provide a minimum of 40 feet from the physical centerline of Roxana Road. The following right-of-way dedication note is required, "An X-foot wide right-of-way is hereby dedicated to the State of Delaware, as per this plat."*

Response: The site does not front along Burbage Road, the site has frontage along Roxana Rd. A right turn lane has been constructed on Burbage Road eastbound at the intersection Roxana Road.

- *In accordance with Section 3.2.5.1.2 of the Manual, DelDOT will require the establishment of a 15-foot wide permanent easement across the property frontage on Roxana Road. The location of the easement shall be outside the limits of the ultimate right-of-way. The easement area can be used as part of the open space calculation for the site. The following note is required, "A 15-foot wide*

permanent easement is hereby established for the State of Delaware, as per this plat."

Response: A 15" DeIDOT permanent easement will be provided along the property frontage (Roxana Rd – Rte. 17).

- *Referring to Section 3.4.2.1 of the Manual, the following items, among other things, are required on the Record Plan:*

- *Depiction of all existing entrances within 600 feet of the entrance on Roxana Road.*
- *Notes identifying the type of off-site improvements, agreements (signal, letter) contributions and when the off-site improvements are warranted.*

Response: An entrance exists 350'+/- north of the proposed entrance to Hocker's Market and another entrance exists 569' south of the proposed site to a private drive (Red Fox Lane) that will be shown on the Record Plan.

- *Section 3.5 of the Manual provides DeIDOT's requirements with regard to connectivity. The requirements in Sections 3.5.1 through 3.5.3 shall be followed for all development projects having access to state roads or proposing DeIDOT maintained public streets for subdivisions. DeIDOT recommends that the applicant contact the owners of the adjoining parcels to the north and south and, if they are amenable, provide driveway connections or, if that is not negotiable, bicycle and pedestrian connections so that apartment residents could access development on those parcels without using Roxana Road.*

More specifically, DeIDOT recommends a connection to the north approximately where the future County pump station is proposed, so that apartment residents would access the shopping center near one of the storefronts, and a connection to the south where the emergency access is proposed between Buildings 5 and 6. The connection to the north is of particular importance because Delaware Transit Corporation contemplates providing bus service on Atlantic Avenue (Delaware Route 26) and the connection would allow residents to walk through the shopping center parking lot to reach a bus stop.

Response: The Applicant has contacted the adjacent property owner and will provide a private pedestrian access connection to the adjacent commercial parcel property line as requested. The adjacent property owner was not open to consideration of an internal vehicular driveway connection or pedestrian connection to the property to the south. The Applicant is also concerned about providing a direct public pedestrian connection through the private apartment community for security reasons. They are very willing to construct the public shared use path along the project frontage.

- *Section 3.5.4.2 of the Manual addresses requirements for shared-use paths and sidewalks. For projects in Level 1 and 2 Investment Areas, installation of paths or sidewalks along the frontage on State-maintained roads is mandatory. DeIDOT will require a path along the frontage on Roxana Road. On the north end, the path should extend to the driveway of the adjoining shopping center and terminate there with a curb ramp.*

Response: A shared use path is provided along the site frontage along Roxana Road. A sidewalk / path does not exist to the north or south end of the site. The applicant will seek an easement to terminate the shared use path at the existing curb cut for the southerly entrance to the commercial shopping center. In the event that the easement from the adjacent property owner is not feasible, the Applicant will follow DeIDOT's termination policy.

- *In accordance with Section 3.8 of the Manual, storm water facilities, excluding filter strips and bioswales, shall be located a minimum of 20 feet from the ultimate State right-of-way along Roxana Road.*

Response: Stormwater management facilities (SWM) for the site and will respect the 20' minimum criteria except for SWM filter strips and bioswales which may be sited

within 20 feet of the State ROW.

- *Section 5.2.4 of the Manual addresses entrance widths. As shown on the plan accompanying the PLUS application, the entrance appears to be too wide.*

Response: The site entrance width is 16' entering the site and the exit width is 24' to accommodate both left hand and right turns leaving the site.

- *In accordance with Section 5.2.9 of the Manual, the Auxiliary Lane Worksheet should be used to determine whether auxiliary lanes are warranted at the site entrances and how long those lanes should be. The worksheet can be found at <http://www.deldot.gov/Business/subdivisions/index.shtml>. The shopping center to the north of this site is planning an expansion that would necessitate the extension of their right turn lane and the start of that lane could affect the design of the subject development's entrance.*

Response: Comment acknowledged.

- *In accordance with Section 5.14 of the Manual, all existing utilities must be shown on the plan and a utility relocation plan will be required for any utilities that need to be.*

Response: Comment acknowledged.

Department of Natural Resources and Environmental Control – Contact Michael Tholstrop 735-3352

Wellhead Protection Area

- *DNREC reviewers have determined that this parcel intersects a wellhead protection area (WHPA), located in the area of building #1. A WHPA is the surface and subsurface area surrounding a water well, or wellfield supplying a public water system through which contaminants are likely to reach such well, or wellfield. Wellhead Protection Areas are delineated by the DNREC Division of Water and constitute a critical area as defined under Chapter 92, Title 29 of the Delaware Code. As such, WHPA's are protected under local ordinances. Sussex County has set limits to the amount of impervious cover and land use practices that can occur within these areas.*

Response: MRA contacted DNREC's Source Water Assessment and Protection Program and spoke with Douglas Rambo. The WHPA for this site relates to an unconfined aquifer providing no more than 50,000 GPD of water. Under Sussex County code, the "safe zone" for this site is 20 feet from the center of the WHPA. The proposed buildings are outside that buffer and will meet Sussex County's requirements for impervious coverage and recharge within the area between the safe zone and the edge of the WHPA. The site is current designed at 48.3%+/- impervious coverage within this area. MRA will provide an environmental assessment report reflecting site infiltration back into groundwater.

- *The applicant must comply with all County and municipal codes that affect public drinking water supply WHPA's. For more information regarding wellhead protection areas please contact the DNREC Source Water Assessment and Protection Program at (302) 739-9945.*

Response: Comment acknowledged.

Stormwater Management

- *For projects greater than 5,000 square feet, a detailed sediment and stormwater plan will be required prior to any land disturbing activity taking place on the site.*

Response: Detailed sediment and stormwater plans and associated application will be submitted to Sussex County Soil Conservation District for review and approval.

- *There has been 1 drainage complaint reported to DNREC associated with the adjacent parcel near*

the southeast corner of this project parcel.

Response: MRA will review the existing drainage patterns and impacts on the surrounding properties and address any issues in conformance with applicable County, State and Federal regulations.

- The applicant must contact the Sussex Conservation District to schedule a pre-application meeting to discuss the sediment and erosion control and stormwater management components of the plan as soon as practicable. The applicant / consultant should submit the Stormwater Assessment Study to the Sussex Conservation District and schedule a project application meeting prior to moving forward with the stormwater and site design. The site topography, soils mapping, pre and post development runoff, and proposed method(s) and location(s) of stormwater management should be brought to the meeting for discussion. The plan review and approval as well as construction inspection will be coordinated through the Sussex Conservation District.*

Response: A pre-application meeting will be coordinated with SCD prior to plan and application submission.

Tax Ditch

- Based on DNREC mapping, the Millville Tax Ditch and the associated right-of-way is located adjacent to the project parcel's southern boundary.*

Response: The majority of the project site fall within the Millville tax ditch boundary area. No part of the maintenance right-of-way is located within the site.

- The developer must contact the DNREC Drainage Program to discuss the existing tax ditch rights-of-way prior to the Sussex Conservation District project application meeting. Please contact Michele Garner at (302) 855-1930 to discuss the existing tax ditch rights-of-way.*

Response: Comment acknowledged.

Water Quality and TMDLs

- This project is located within in the low nutrient reduction zone of the greater Inland Bays watershed. A [Total Maximum Daily Load](#) (TMDL) is the maximum amount of a pollutant allowed to enter a waterbody so that the waterbody will meet and continue to meet water quality standards. The TMDL for the low reduction zone of the Inland Bays watershed calls for 40 percent reduction in nitrogen and phosphorus from baseline conditions. The TMDL also calls for a 40 percent reduction (17 percent for marine waters) in bacteria from baseline conditions.*

Response: The stormwater management design will confirm with TMDL requirements for this watershed per applicable regulations.

State Historic Preservation Office – Contact Carlton Hall 736-7400

- While the soils are well drained and prime farmland, the nearest water source is over 350 meters away, beyond the distance considered for prehistoric sites. Prehistoric archaeological potential is low. There seems to be a house just off the site in the 1937 aerial and topographic maps, but it is no longer there in the 1954 aerial. While there are more houses shown in that area on the Beers Atlas Map of 1868, it looks like that area has been consistently plowed and possibly like there has been some landscaping activities there, likely leading to destroyed context for any archaeological remains of the house. Historic archaeological potential is low to moderate.*

Response: Comment acknowledged.

- If any project or development proceeds, the developer should be aware of the Unmarked Human Burials and Human Skeletal Remains Law (Del. C. Title 7, Ch. 54).*

Response: Comment acknowledged.

- *If there is federal involvement, in the form of licenses, permits, or funds, the federal agency, often through its client, is responsible for complying with Section 106 of the National Historic Preservation Act (36 CFR 800) and must consider their project's effects on any known or potential cultural or historic resources. For further information on the Section 106 process please review the Advisory Council on Historic Preservation's website at: www.achp.gov*

Response: Comment acknowledged.

Recommendations/Additional Information

- *The applicant should expect a requirement that any substation and/or wastewater facilities will be required to have access from an internal driveway with no direct access to Roxana Road.*

Response: A direct access to the proposed County pump station will be provided within the site.

- *The applicant should expect a requirement that all PLUS and Technical Advisory Committee (TAC) comments be addressed prior to submitting plans for review.*

Response: All comments will be addressed accordingly prior to plan review.

- *Please be advised that the Standard General Notes have been updated and posted to the DelDOT website. Please begin using the new versions and look for the revision dates of March 21, 2019, and March 25, 2019. The notes can be found at <https://www.deldot.gov/Business/subdivisions/>.*

Response: The applicable standard general notes will be utilized for any additional submittals.

Department of Natural Resources and Environmental Control – Contact Michael Tholstrop 735-3352

Stormwater Management

- *Any area designated as a drainage/utility easement should be designated as open space. Any drainage/utility easement should not have structures, decks, buildings, sheds, kennels, or fences, within the easement, to allow for future drainage maintenance. Additionally, any trees or shrubs planted within a drainage/utility easement should be spaced to allow for drainage maintenance at maturity.*

Response: Comment acknowledged.

- *The applicant should contact a licensed (Delaware Class D- Site Evaluator) soil scientist to make a site-specific assessment of the soils on this site. A list of Class D licensees can be obtained here: <https://data.delaware.gov/Energy-and-Environment/Class-D-Site-Evaluator-Licensees-Based-on-Licensed/6vjg-34rp>. Questions regarding licensed professionals should be directed to Dawn Dryden at (302) 739-9948.*

Response: Geo-Technology Assoc, Inc. will be performing a site soil evaluation for the project.

Water Quality and TMDLs

- *To support the State's water quality efforts, DNREC reviewers encourage applicants to reduce the amount of pollutants that enter local waterways by limiting the disturbance of natural habitat and the amount of impervious cover, as well as increasing the use of green infrastructure. The Inland Bays Pollution Control Strategy (PCS) and regulations can be reviewed here: <http://regulations.delaware.gov/documents/November2008c.pdf>.*

Response: Comment acknowledged. The project design will conform to all applicable Sussex County, State and Federal regulations.

- *Employ green-technology storm water management and rain gardens (in lieu of open-water*

management structures) to mitigate or reduce nutrient and bacterial pollutant runoff. If open-water stormwater management is selected for use, they should be employed minimally, for the management of stormwater.

Response: Comment acknowledged. The project design will conform to all applicable Sussex County, State and Federal regulations.

- *A project's TMDL nutrient and bacteria loading rates should be determined at the preliminary project design phase of development. Both the Nutrient Load Assessment protocol and the Chesapeake Bay program model are tools that have been developed to assess changes in nutrient loading (e.g., nitrogen and phosphorus), thus providing governmental entities with quantitative information about the project's impacts on baseline water quality and help them design and implement the most environmentally-effective practices. The Chesapeake Bay program model can be found here: <http://cast.chesapeakebay.net/Documentation/ModelDocumentation>.*

Response: Comment acknowledged. The project design will conform to all applicable Sussex County, State and Federal regulations.

Low Impact and Sustainable Development Recommendations

The following strategies and resources are provided to help reduce these impacts to our natural resources while supporting development goals.

Clean Transportation

- *Install electric vehicle charging infrastructure. Consumers are increasingly choosing electric vehicles and lack of charging infrastructure is a barrier for those that wish to drive an electric vehicle but live in apartment complexes. Installing this infrastructure is cost effective when incorporated into a project plan, and the Division of Climate, Coastal, & Energy offers incentives of up to 90% of the station cost. These programs address climate change goals of reducing greenhouse gas emissions and improving overall air quality (www.de.gov/cleantransportation).*

Response: Comment acknowledged. The applicant will consider installing the electric charging stations.

Energy Efficiency, and Renewable Energy Sources

- *Use efficient Energy Star rated products and materials in construction and redevelopment to lessen the power source emissions of the project and costs. Every percentage of energy efficiency translates into a percent reduction in pollution. Renewable energy infrastructure such as solar or geothermal will further reduce pollution created from offsite generation. Energy efficiency upgrades for your project may be eligible for funding through the Division of Climate, Coastal, & Energy (www.de.gov/greenenergy, www.de.gov/eeif).*

Response: Comment acknowledged. The project design will conform to all applicable Sussex County, State and Federal regulations.

Solid Waste Reduction

- *The applicant should consider the use of recycled materials, such as reclaimed asphalt pavement, to reduce landfill waste, heat island effects on paved surfaces, and pavement costs.*

Response: Comment acknowledged.

- *Include space for recycling dumpsters within the preliminary site design stage. These can be placed adjacent to trash dumpsters.*

Response: Comment acknowledged.

Air Pollution Reduction

- *Air pollution from new construction is generated through the use of maintenance equipment, paints, and consumer products like roof coatings and primers. Use of structural paint coatings that are low in Volatile Organic Compounds will help protect air quality.*

Response: Comment acknowledged.

- *Air pollution is also directly related to increased motorized transportation activity. Incorporating nonmotorized connectivity and installing bicycle racks where feasible will help to facilitate non-vehicular travel modes.*

Response: Comment acknowledged.

State Housing Authority – Contact: Jonathan Adkins-Taswell 739-0245

- *DSHA supports the site plan for 125-unit multi-family apartments on 10.46 acres along Roxana Road outside the Town of Millville in Sussex County. This is an excellent location for a more affordable housing product. As a result, DSHA recommends that Sussex county embrace the opportunity to approve this proposal permitting residents to live close to their jobs, as well as, access the resources and benefits this area provides.*

Response: Comment acknowledged.

- *This Proposal provides Sussex County an excellent opportunity to facilitate a more affordable housing product in the Coastal Resort Area. The need for housing affordable to the many county residents who work in this resort economy is acute and well documented. This proposal is located in a great location with high value markets, offering economic opportunity, high performing schools, and supportive infrastructure that help household succeed. Unfortunately, these same areas contain little affordable housing. DSHA encourages the County and developer to work together, perhaps through participation in the County's Moderately Priced Housing Unit program, to incorporate a variety of housing options and prices so that more Sussex County residents can benefit from the many resources and benefits this area provides.*

Response: Comment acknowledged.

- *DSHA encourages the site layout and quality design measures that creates desirable rental units which are vital to any well-balanced community, the intensity of the proposal warrants design measures to create human-scaled, and pedestrian-oriented community. Incorporating attractive streetscapes, community recreation areas, visually appealing façade treatments, significant landscaping and pedestrian-oriented measures will help the proposal to integrate well into the larger Comprehensive plan.*

Response: Comment acknowledged.

Delaware Transit Corporation (DTC) – Contact: Jared Kauffman 576-6062

- *A direct pedestrian pathway is needed from the apartments into the shopping center. Not only will this provide non-motorized access between the two, it will also create a pedestrian pathway to SR 26, which DART is currently investigating on how to provide service.*

Response: The Applicant will be providing a multi-use path along Roxana Road and is working the parcel owner north of the property regarding inter-connection access.

Sussex County Housing – Contact: Brandy Nauman 855-7779

- *Sussex County endeavors to promote non-discrimination and affordable housing whenever possible throughout the County. In this regard, the developer and associated financial institutions are encouraged to provide and finance affordable housing opportunities to Sussex County residents in all new developments, and affirmatively market those affordable housing units to diverse populations.*

Response: Comment acknowledged.

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- *For questions about opportunities available for affordable housing projects within Sussex County, please consult Sussex County's "Affordable Housing Support Policy". The policy along with other resources are available on the County's Affordable & Fair Housing Resource Center website: www.sussexcountynj.gov/affordable-and-fair-housing-resource-center. The County's Community Development & Housing Department can advise about existing affordable housing opportunities in Sussex County and the appropriate County Department to contact regarding specific development issues concerning future affordable housing projects within Sussex County.*

Response: Comment acknowledged.

- *The Community Development & Housing Department can also explain and assist with any financial support or incentives that may be available to a project from federal, state and county sources, as well as private funding sources that also promote affordable housing in Sussex County.*

Response: Comment acknowledged.

- *Please understand that all residential projects, including Affordable Housing Projects are subject to the applicable provisions of the Sussex County Subdivision and Zoning Codes, and the approval processes set forth in those Codes.*

Response: Comment acknowledged.

On behalf of the Applicant, we thank the Office of State Planning and other State Departments for their comments. If you should have any questions or require additional information, please do not hesitate to contact me at (302) 855-5734, or via email at kusab@mrakta.com.

Respectfully Submitted,
MORRIS & RITCHIE ASSOCIATES, INC.



Kenneth M. Usab, P.E.
Principal

Enclosures

CC: Sussex County Planning & Zoning
Teresa Rosier



CLUBHOUSE



RESIDENTIAL

ROXANA APARTMENTS

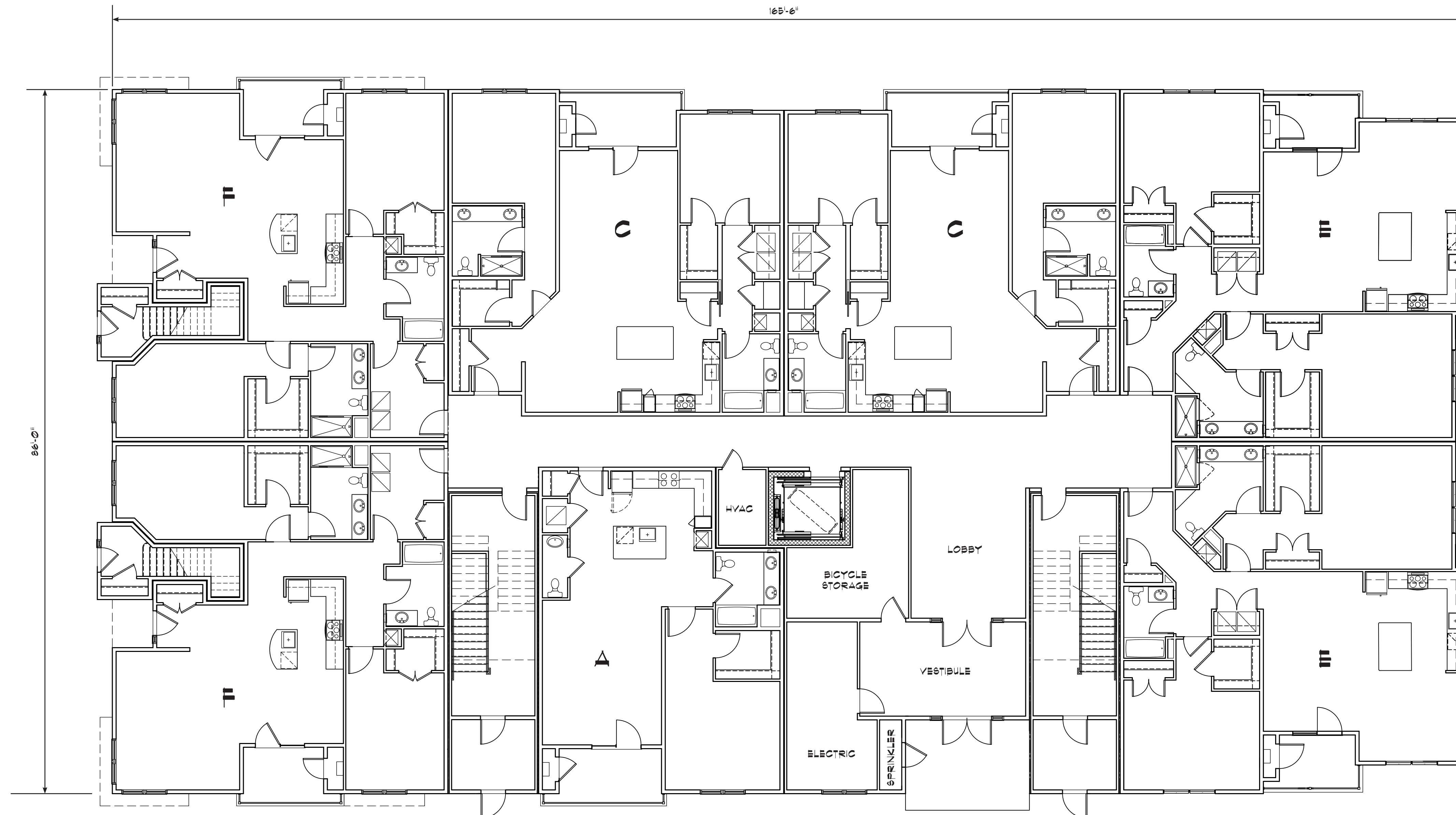
OCEAN VIEW, DELAWARE

PEAK MANAGEMENT

NO SCALE
DECEMBER 16, 2020
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856.429.2001



FIRST FLOOR PLAN

ROXANA APARTMENTS

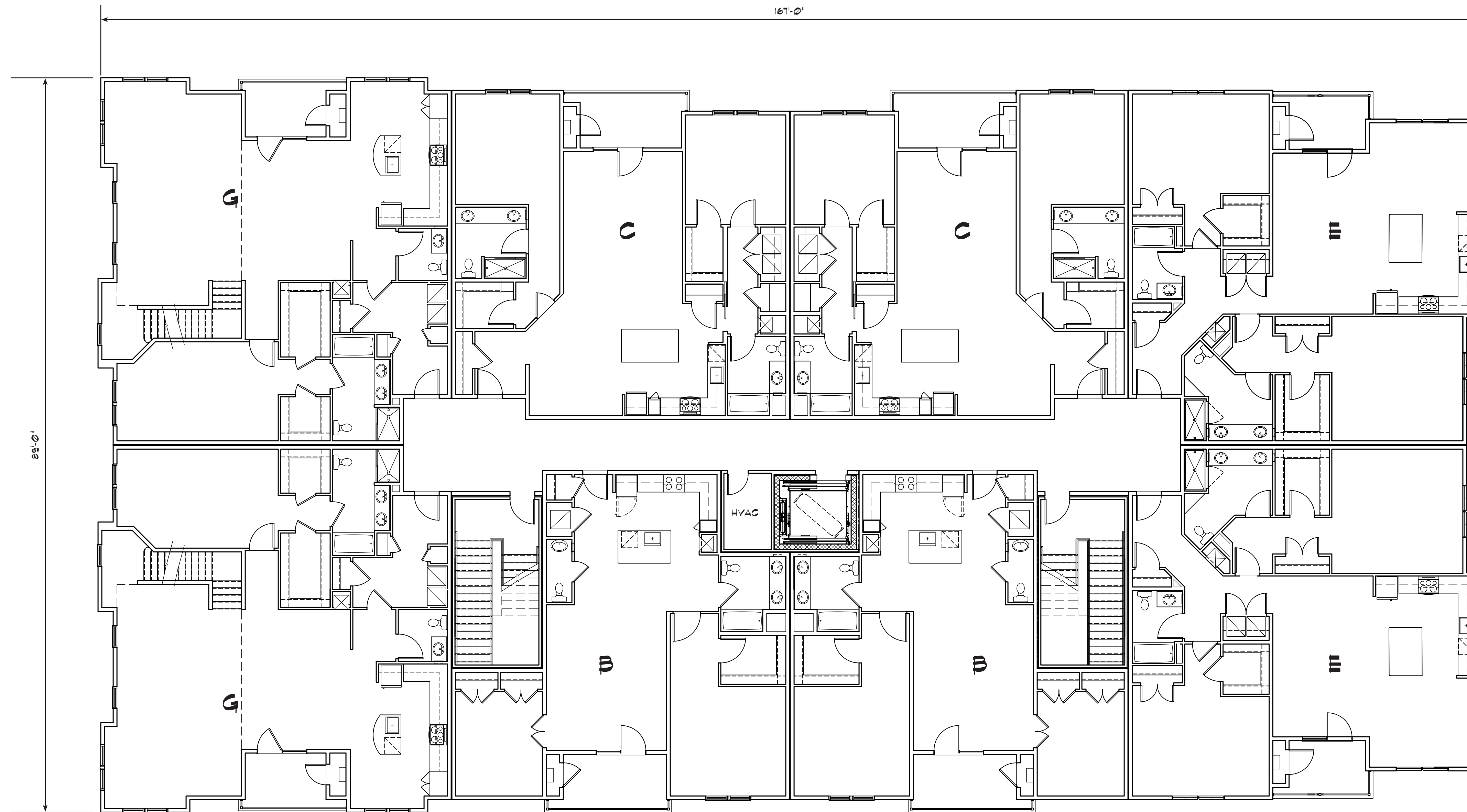
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PEAK MANAGEMENT

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SECOND FLOOR PLAN

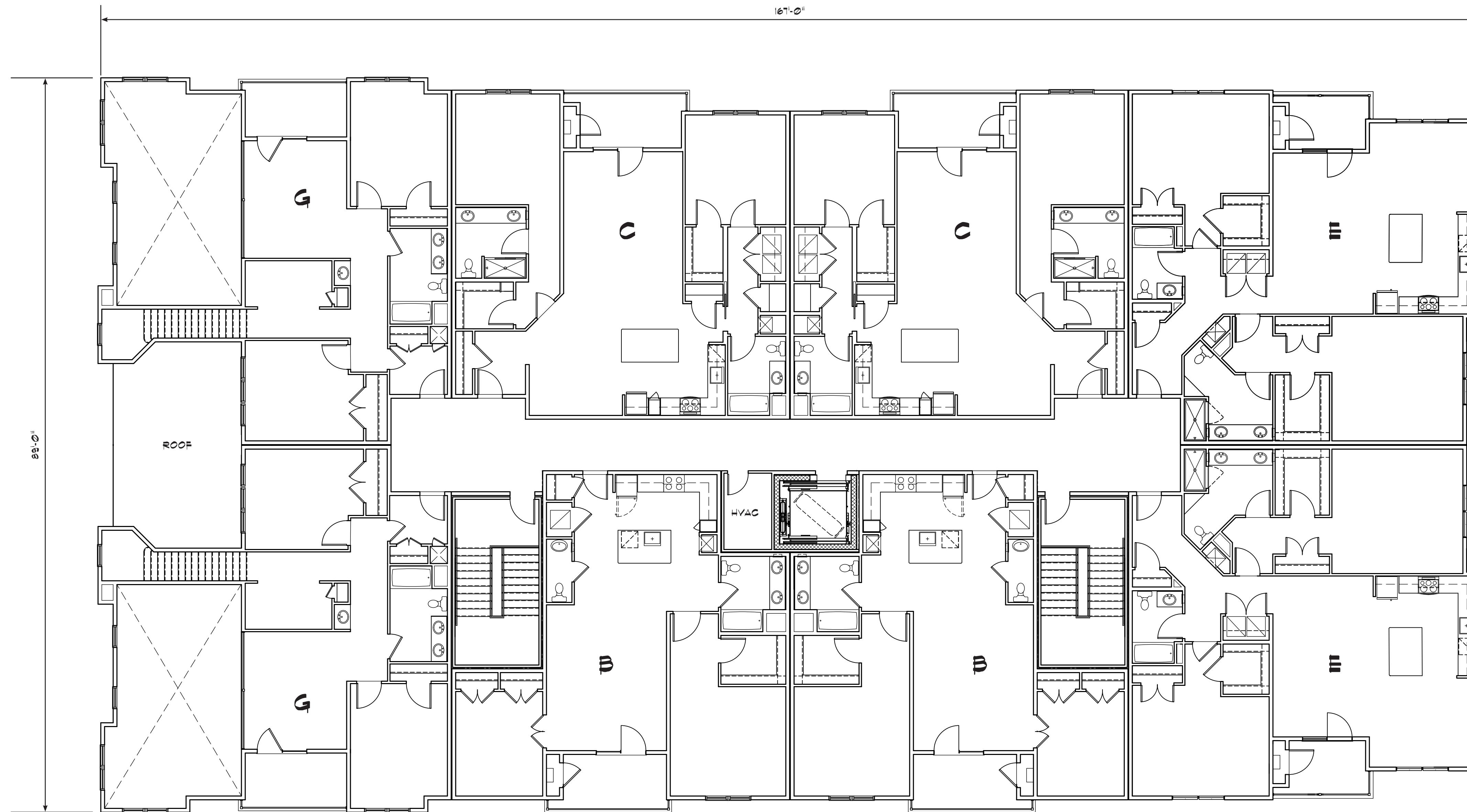
ROXANA APARTMENTS

OCEAN VIEW, DELAWARE

PEAK MANAGEMENT

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THIRD FLOOR PLAN

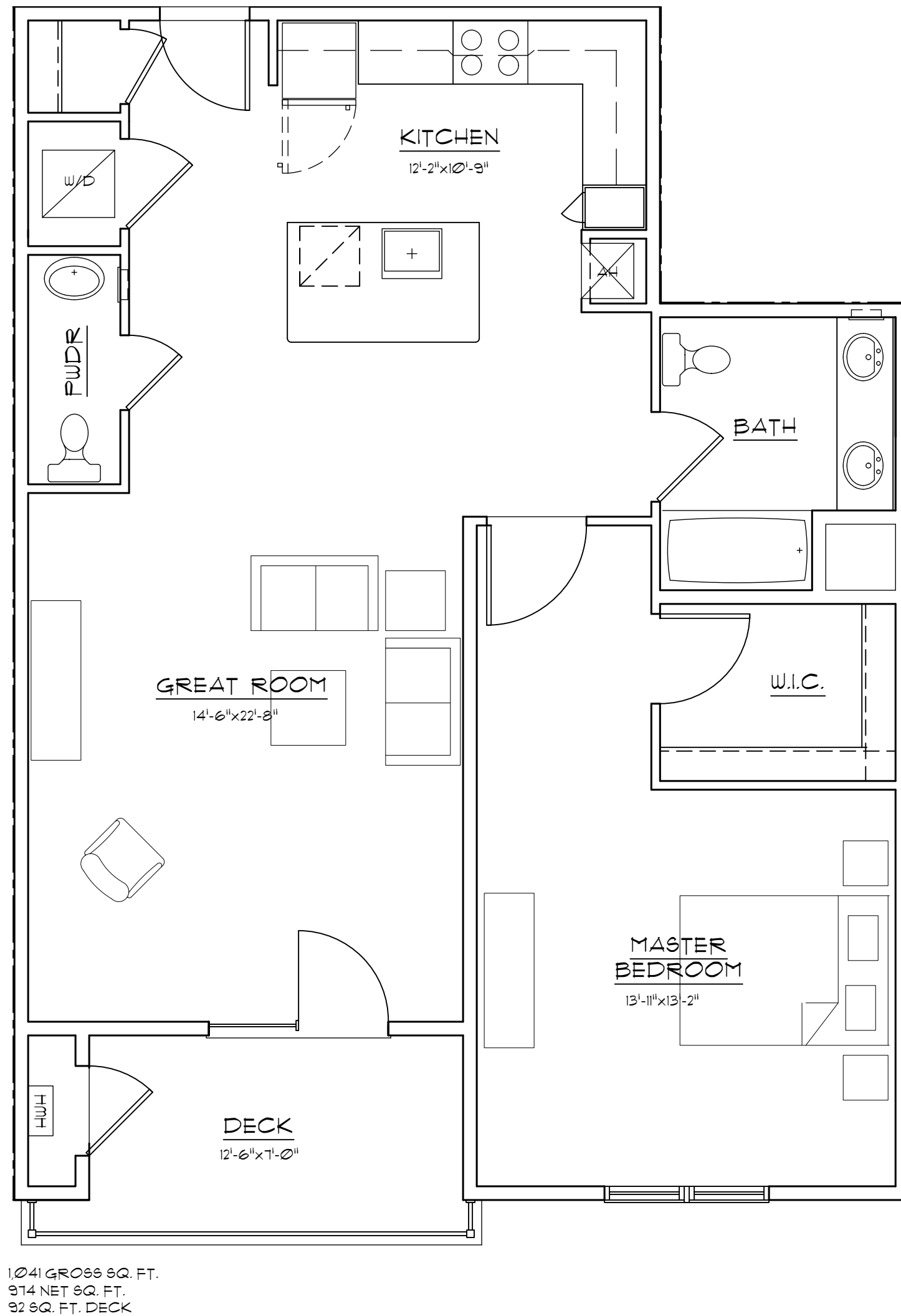
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OCEAN VIEW, DELAWARE

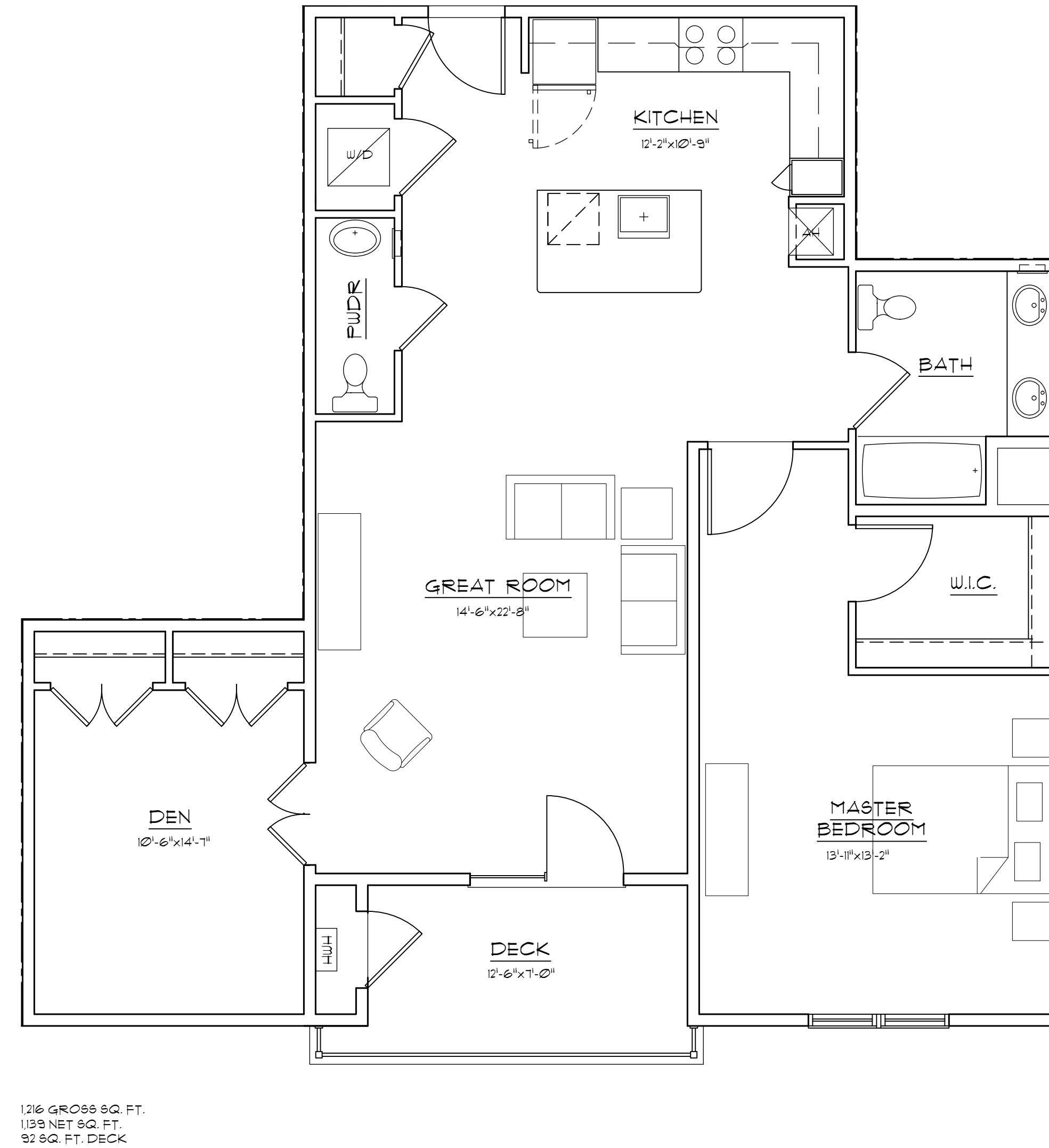
PEAK MANAGEMENT

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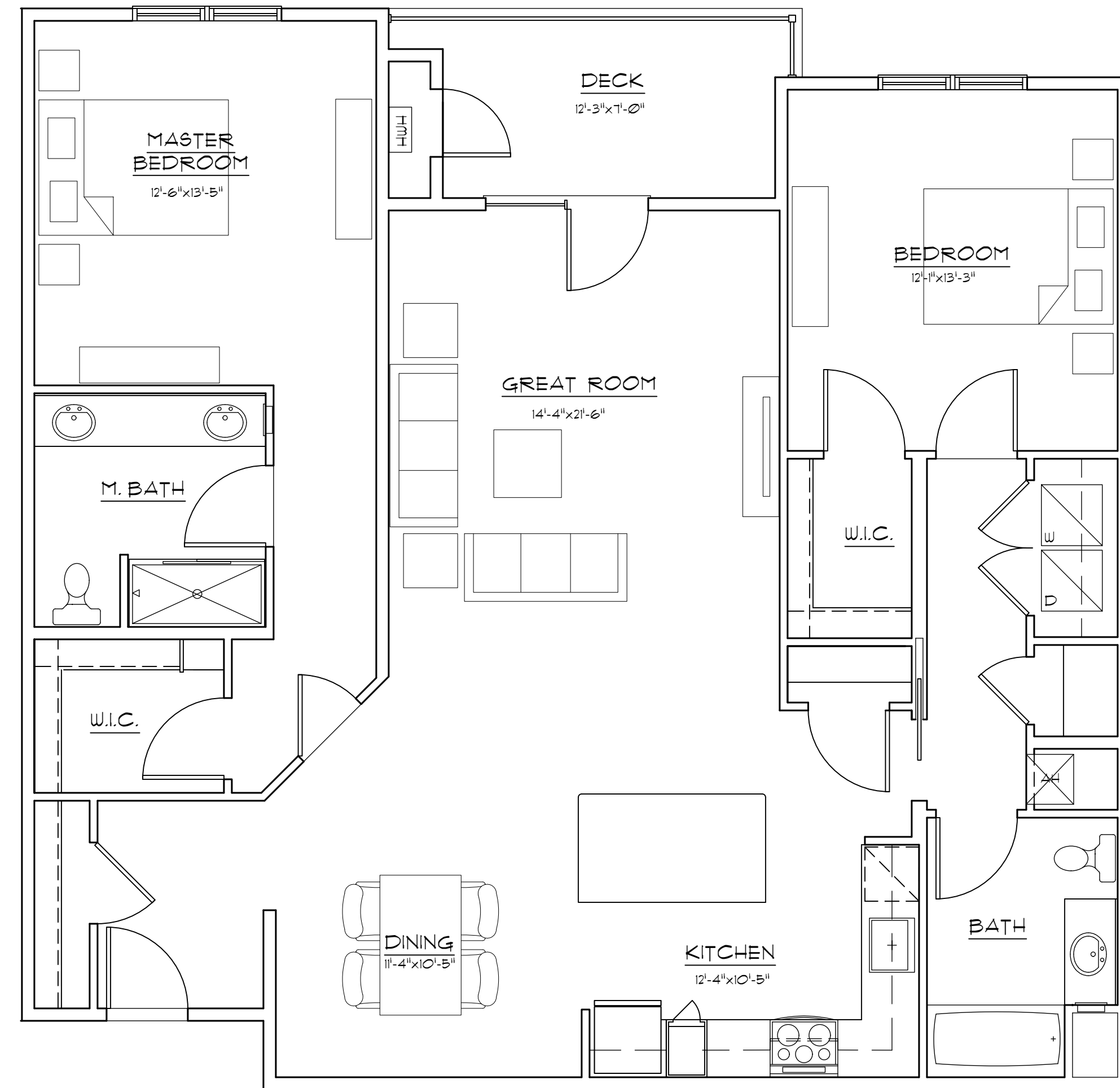
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UNIT A

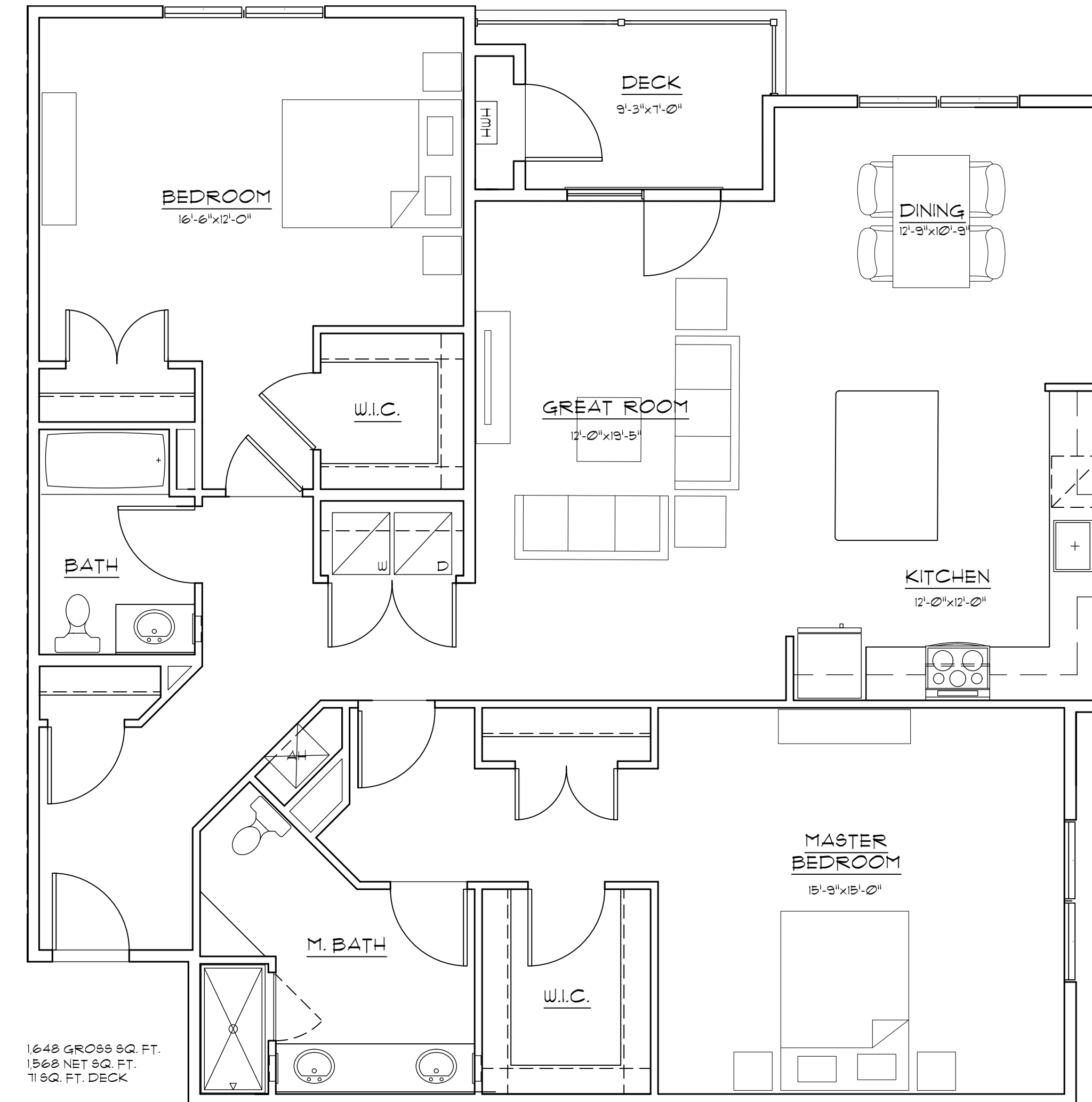


UNIT B



1488 GROSS SQ. FT.
1388 NET SQ. FT.
91 SQ. FT. DECK

UNIT C



1648 GROSS SQ. FT.
1568 NET SQ. FT.
71 SQ. FT. DECK

UNIT E

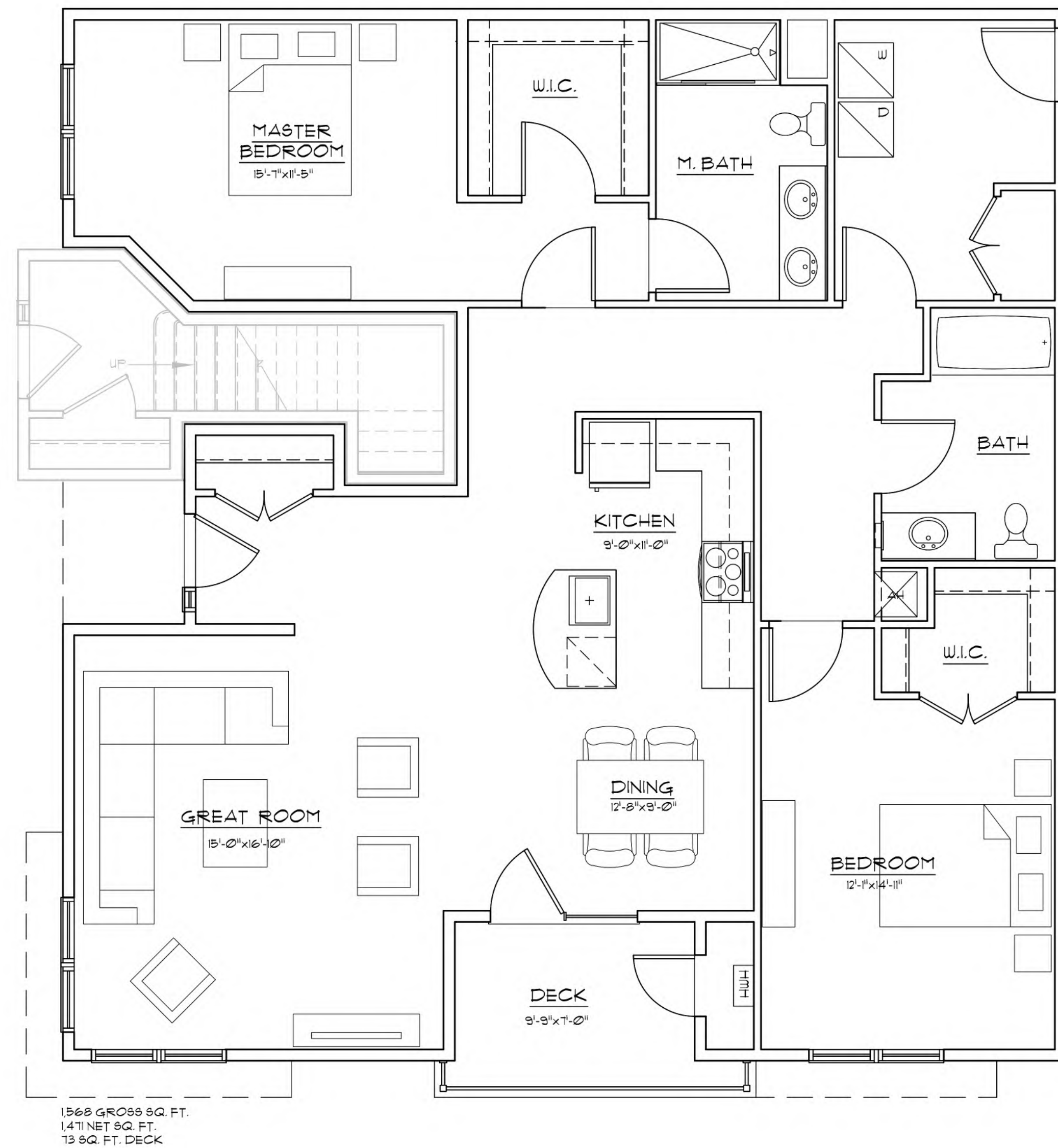
ROXANA APARTMENTS

OCEAN VIEW, DELAWARE

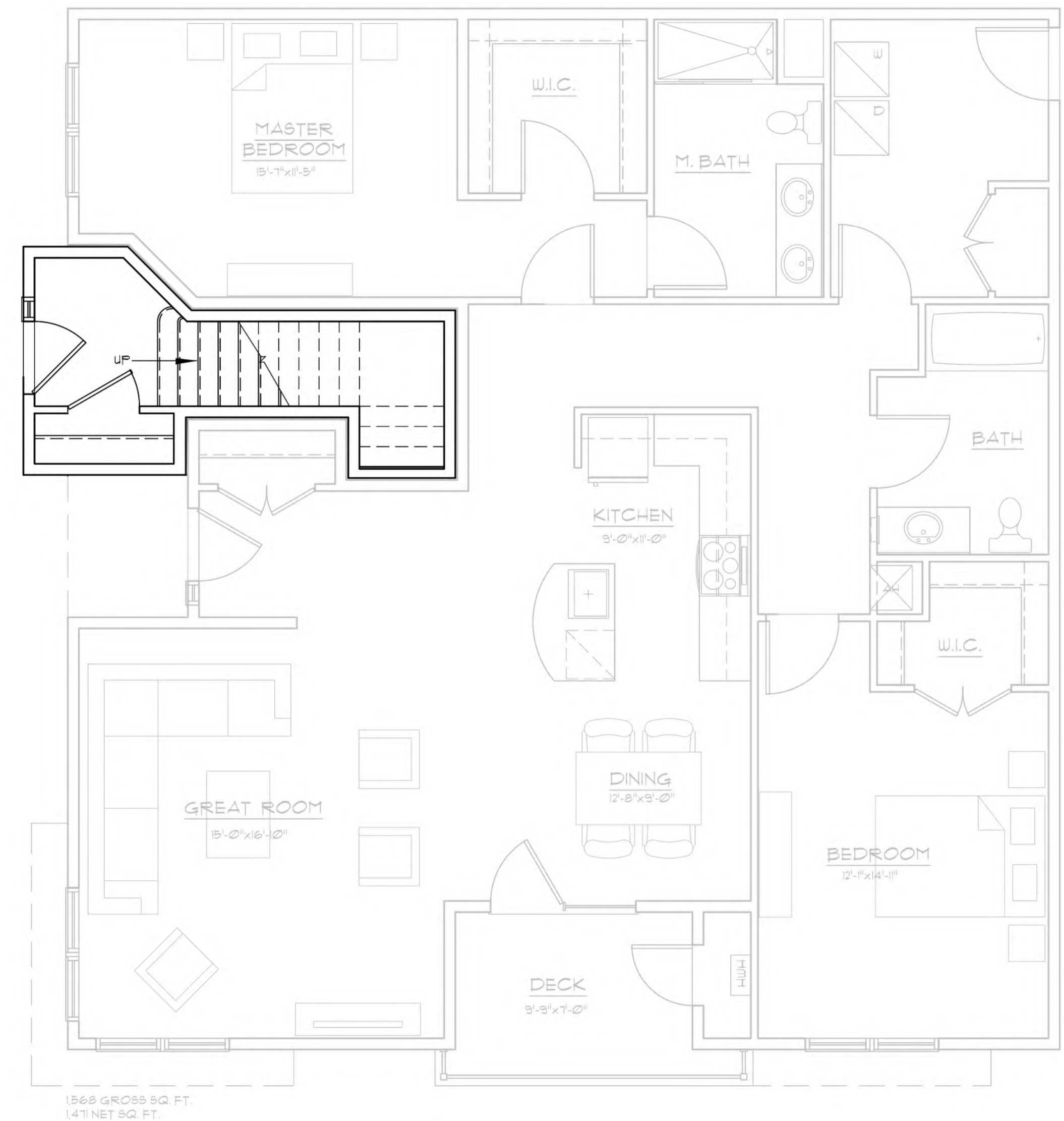
PEAK MANAGEMENT

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UNIT F



UNIT G
FIRST FLOOR

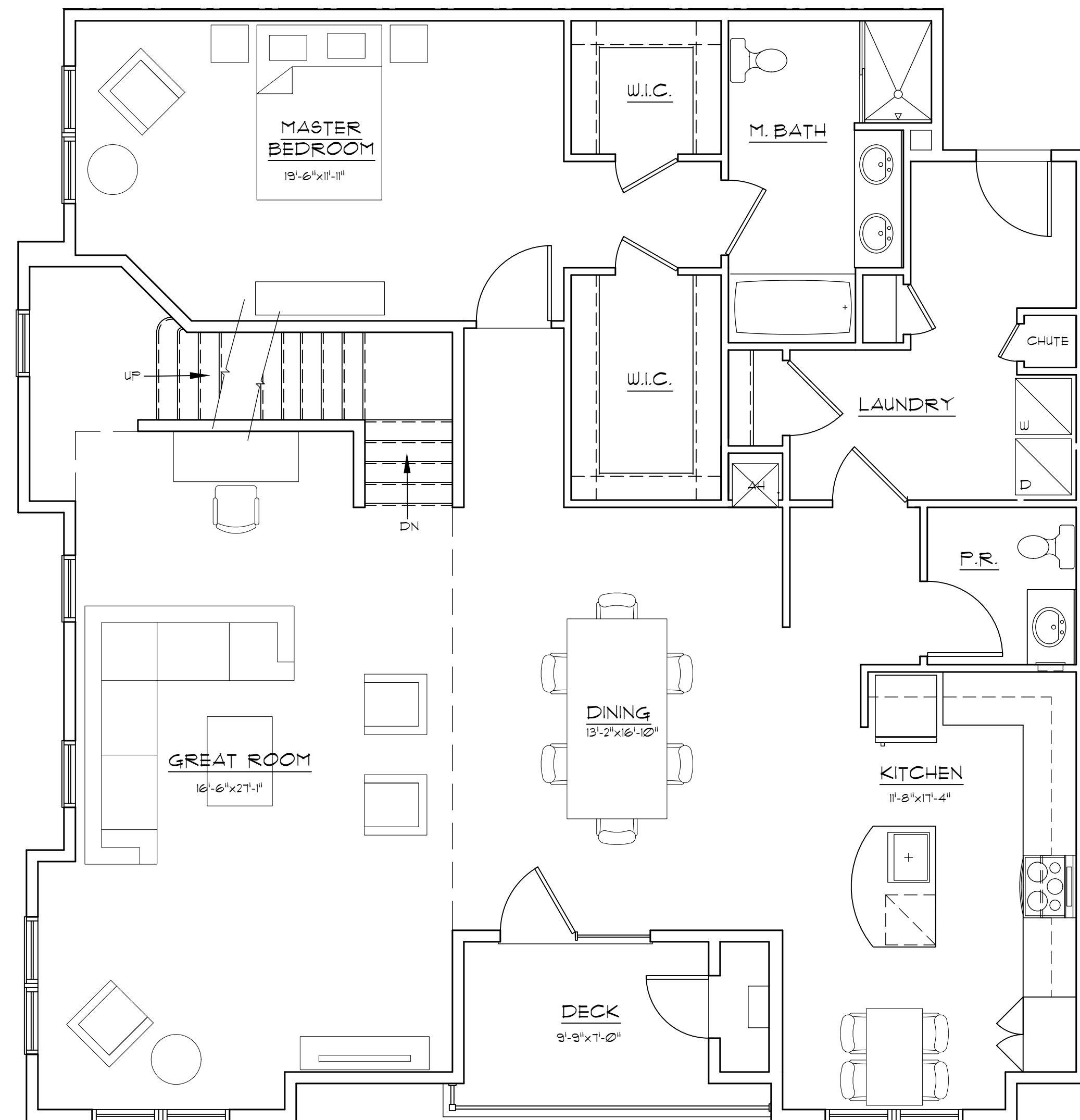
ROXANA APARTMENTS

OCEAN VIEW, DELAWARE

PEAK MANAGEMENT

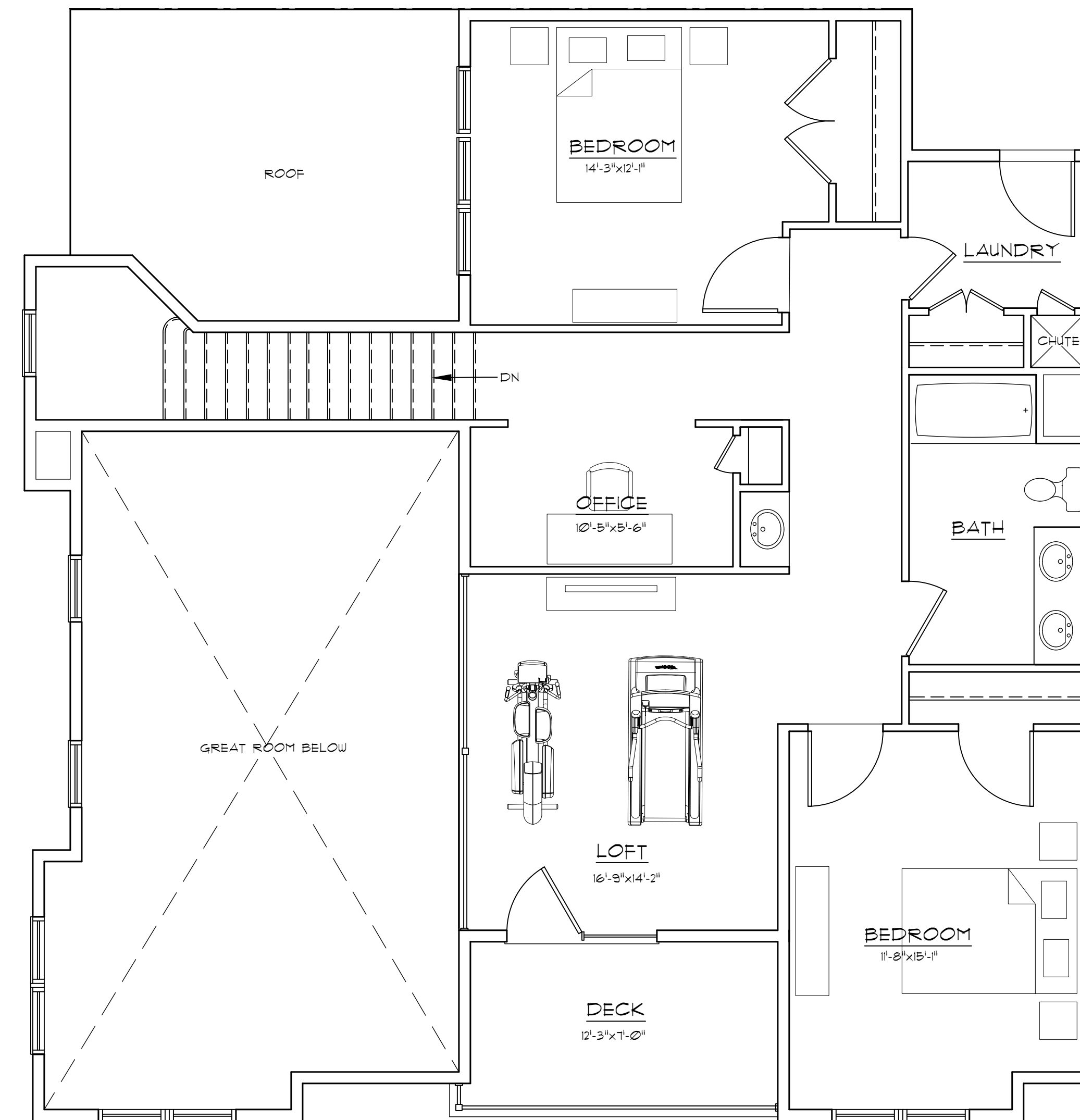
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2,850 GROSS SQ. FT.
2,678 NET SQ. FT.
160 SQ. FT. DECK

UNIT G
SECOND FLOOR



UNIT G
THIRD FLOOR

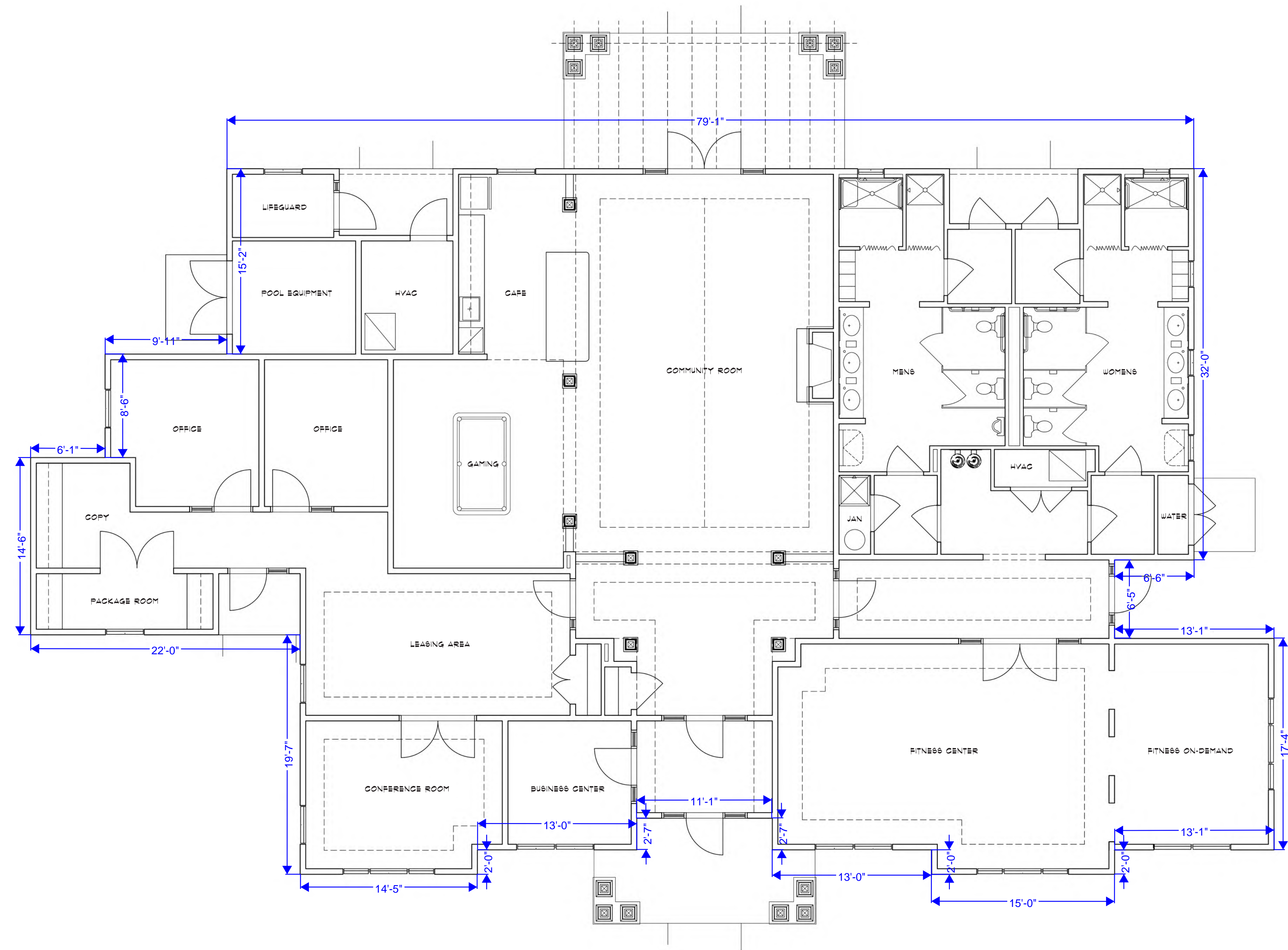
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ROXANA APARTMENTS

OCEAN VIEW, DELAWARE

PEAK MANAGEMENT

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CLUBHOUSE FLOOR PLAN

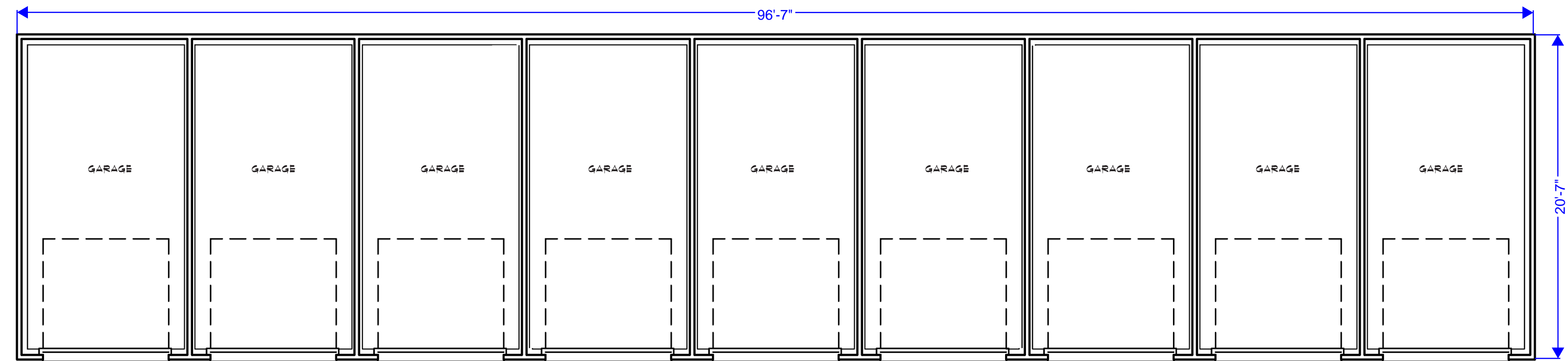
ROXANA APARTMENTS

OCEAN VIEW, DELAWARE

PEAK MANAGEMENT

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2045 Route 35
Wall, New Jersey, 07719
856.429.2001



9 CAR GARAGE PLAN



18 CAR GARAGE PLAN

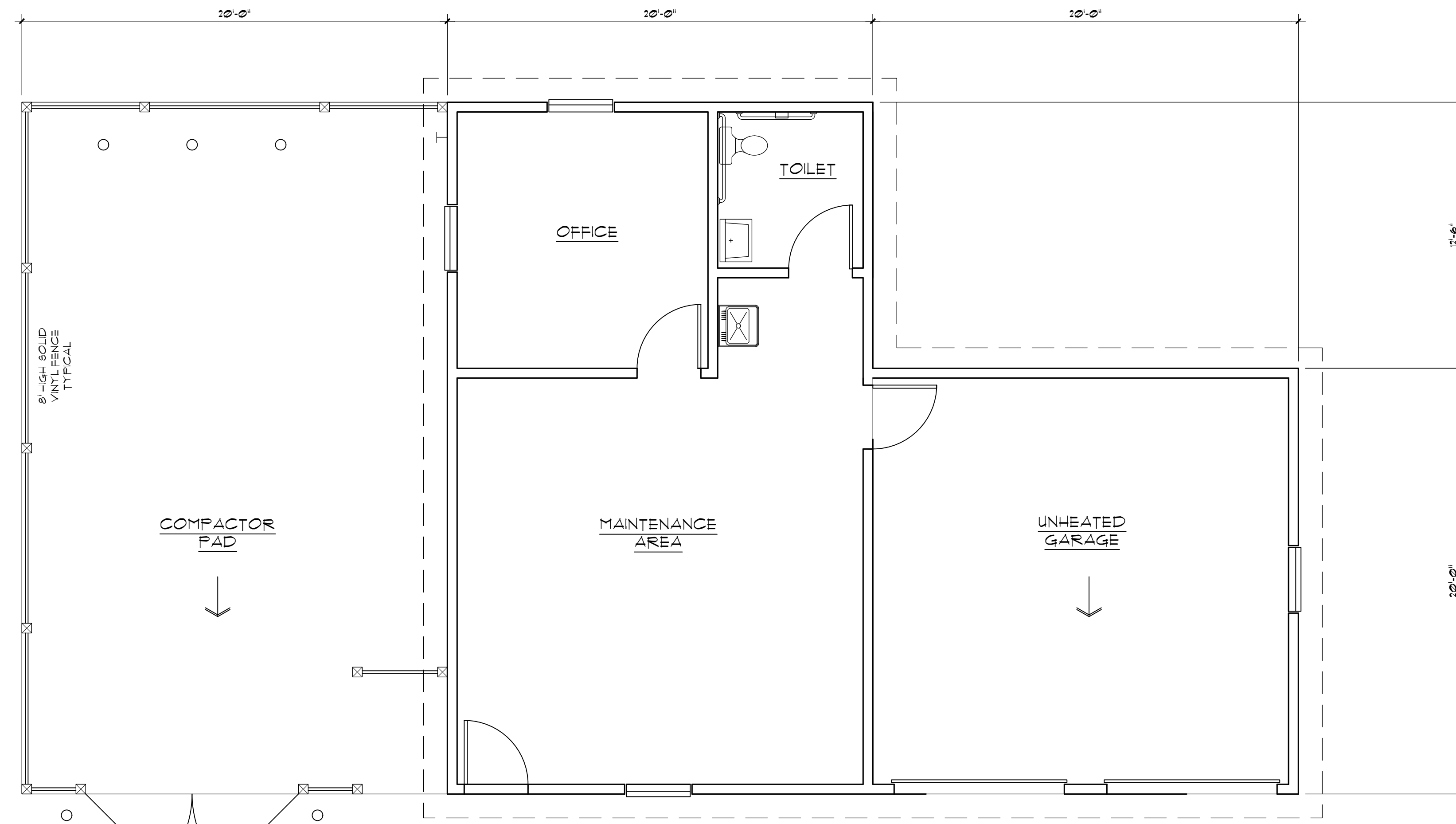
ROXANA APARTMENTS

OCEAN VIEW, DELAWARE

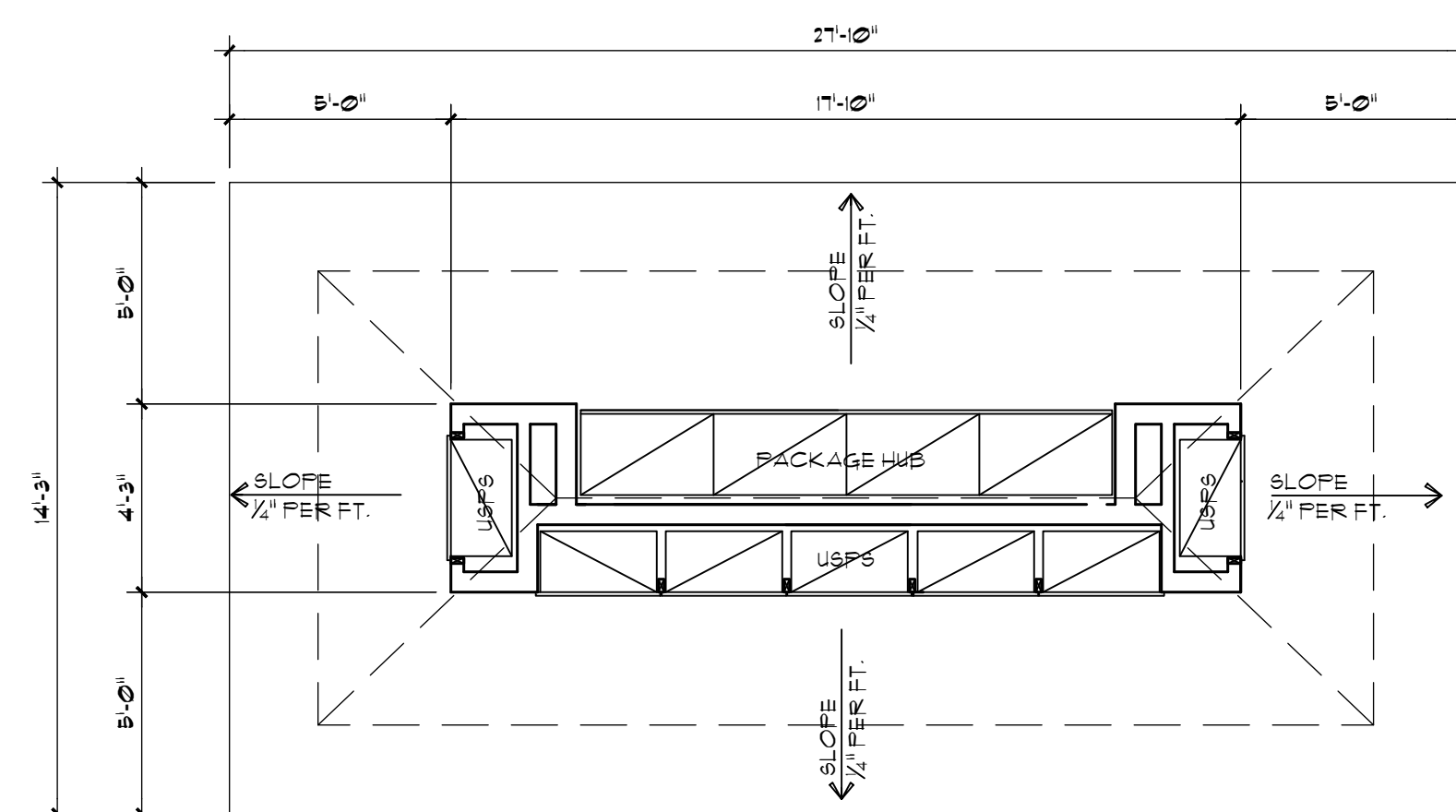
PEAK MANAGEMENT

3/16"=1'-0"
DECEMBER 16, 2020
© 2020 - GATE 17 ARCHITECTURE, LLC

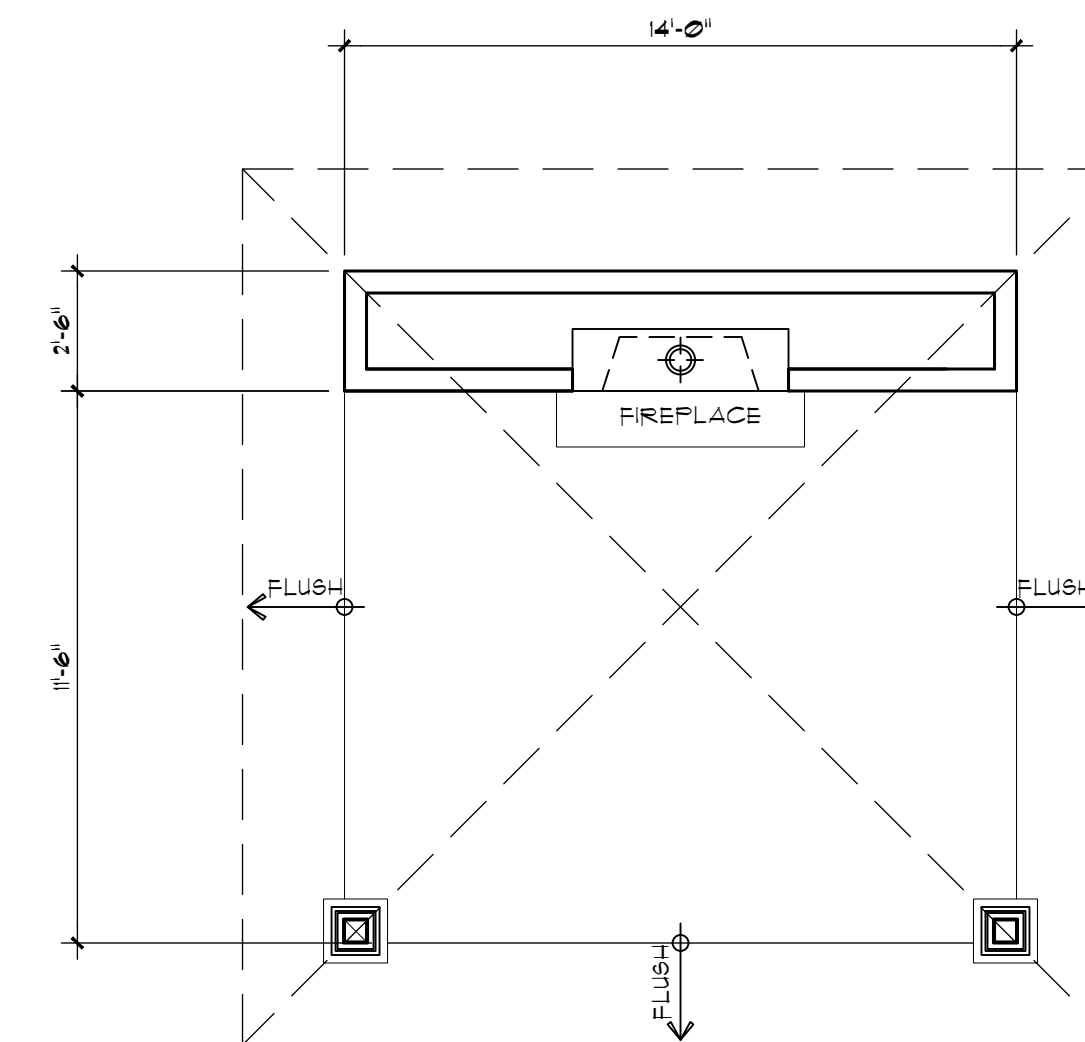
GATE
architecture
2045 Route 35
Wall, New Jersey, 07719
856.429.2001



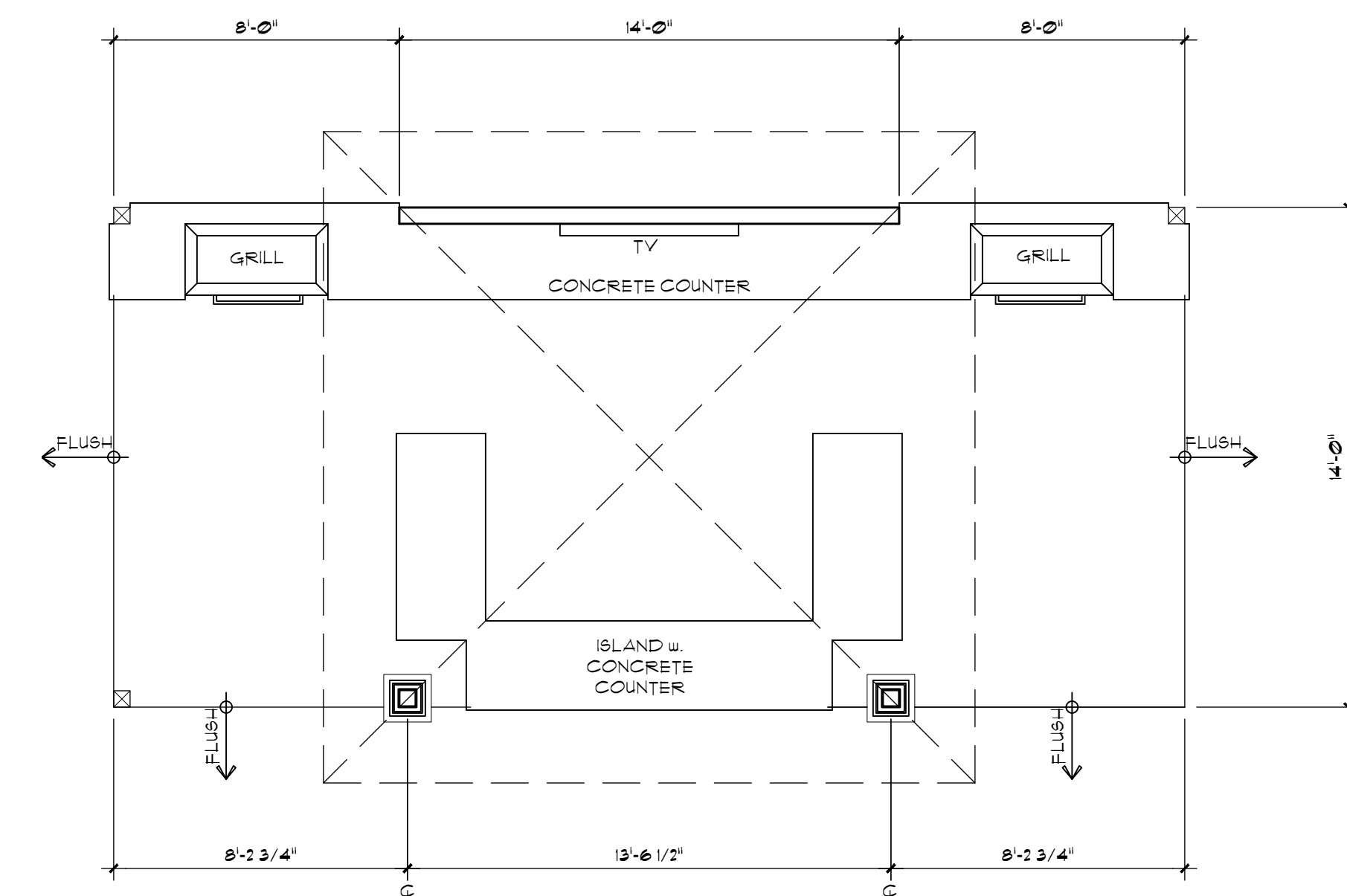
MAINTENANCE BUILDING



MAIL KIOSK



FIREPLACE PAVILLION



GRILLING STATION

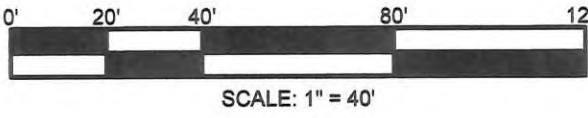
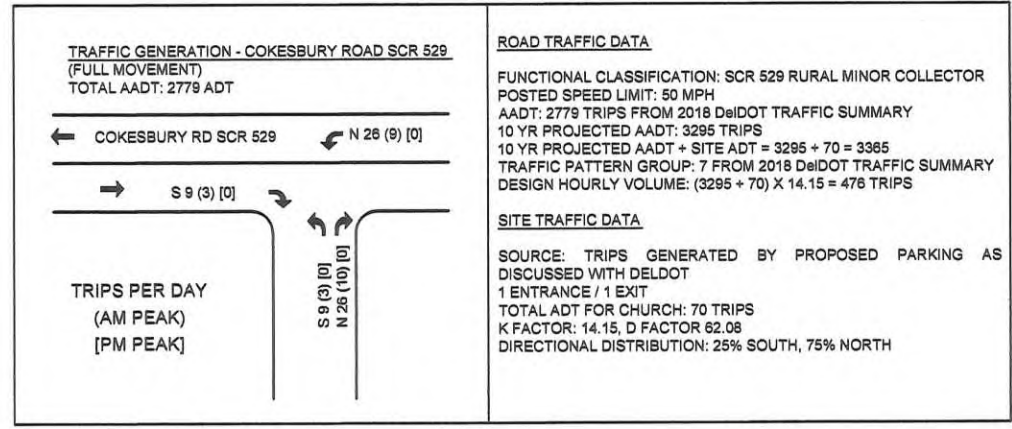
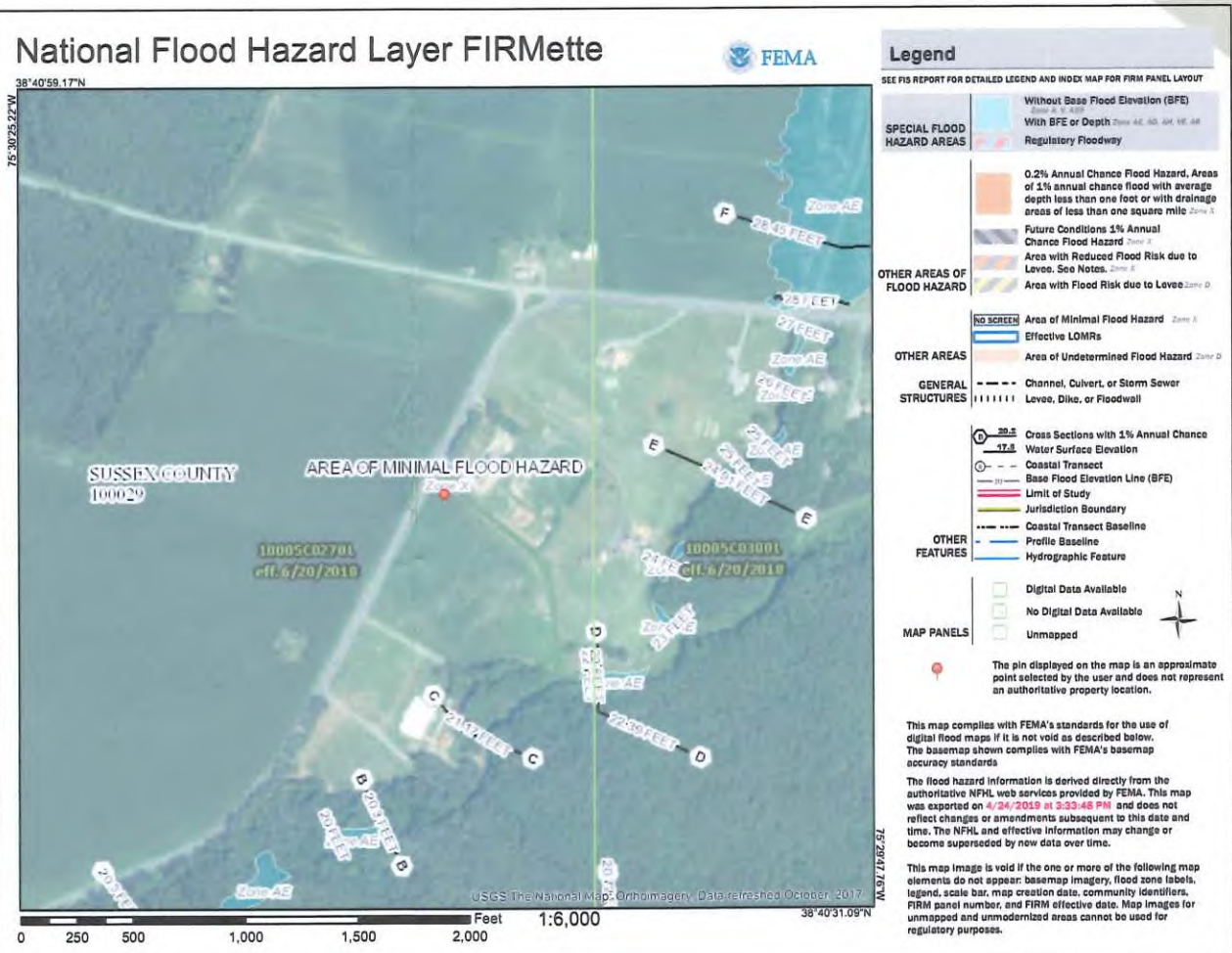
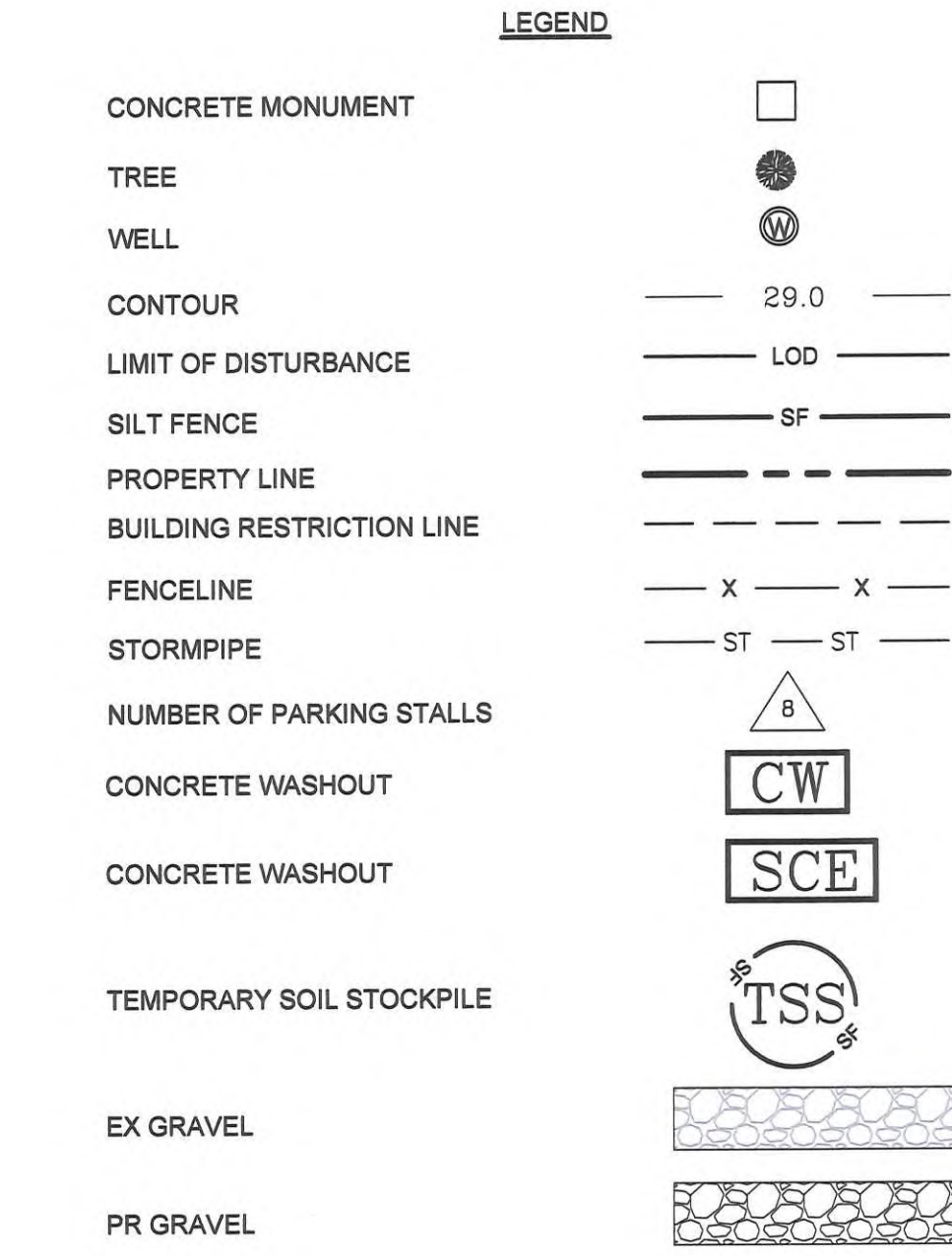
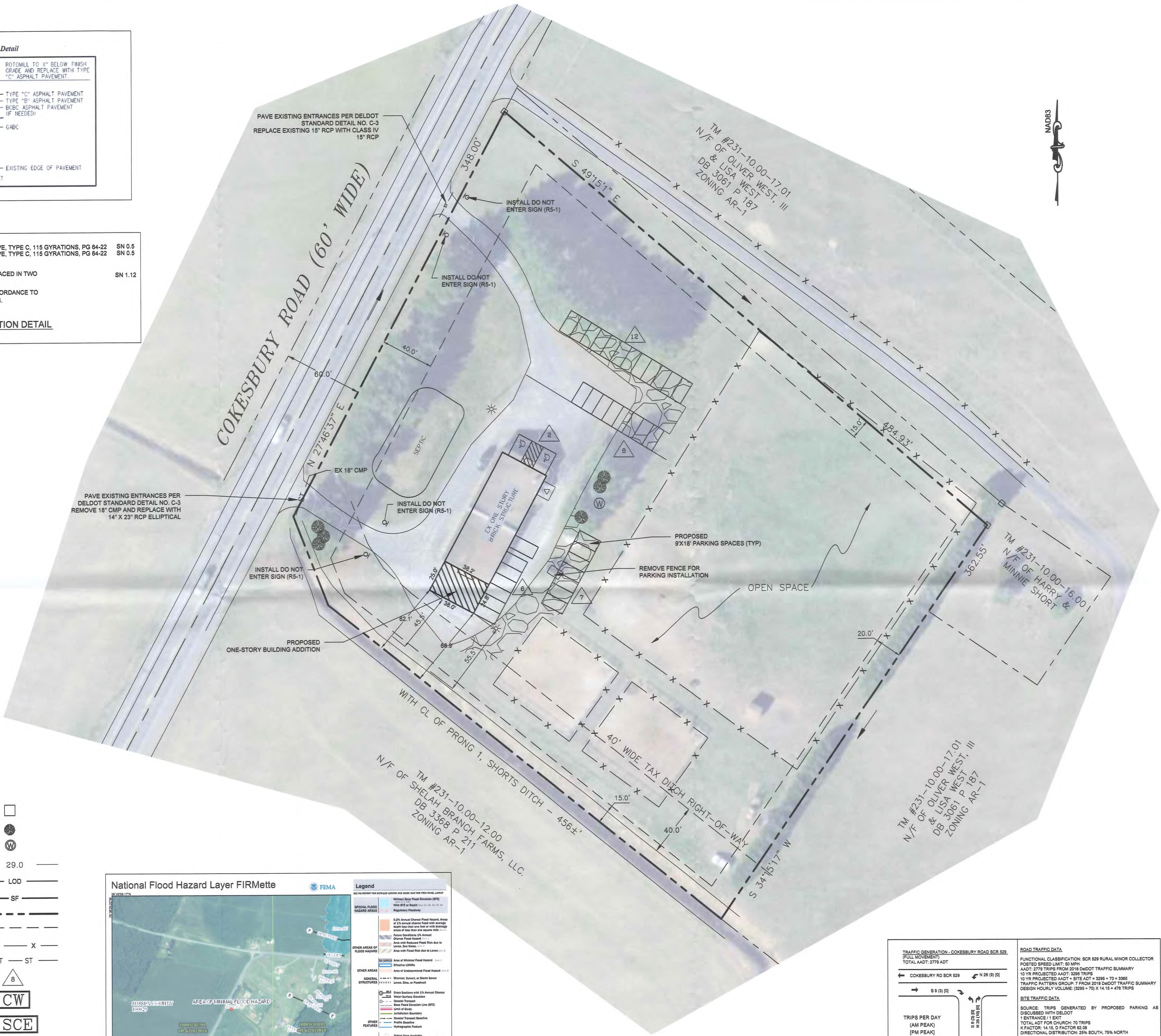
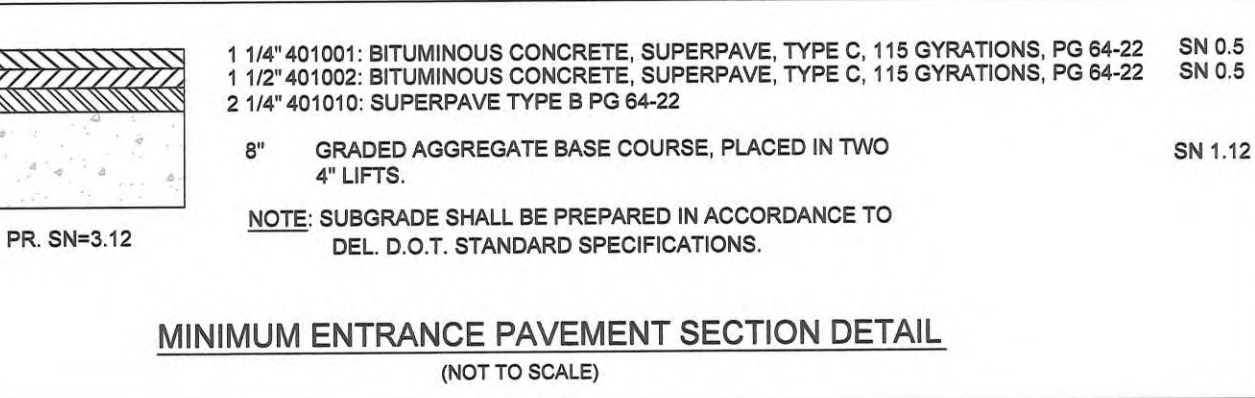
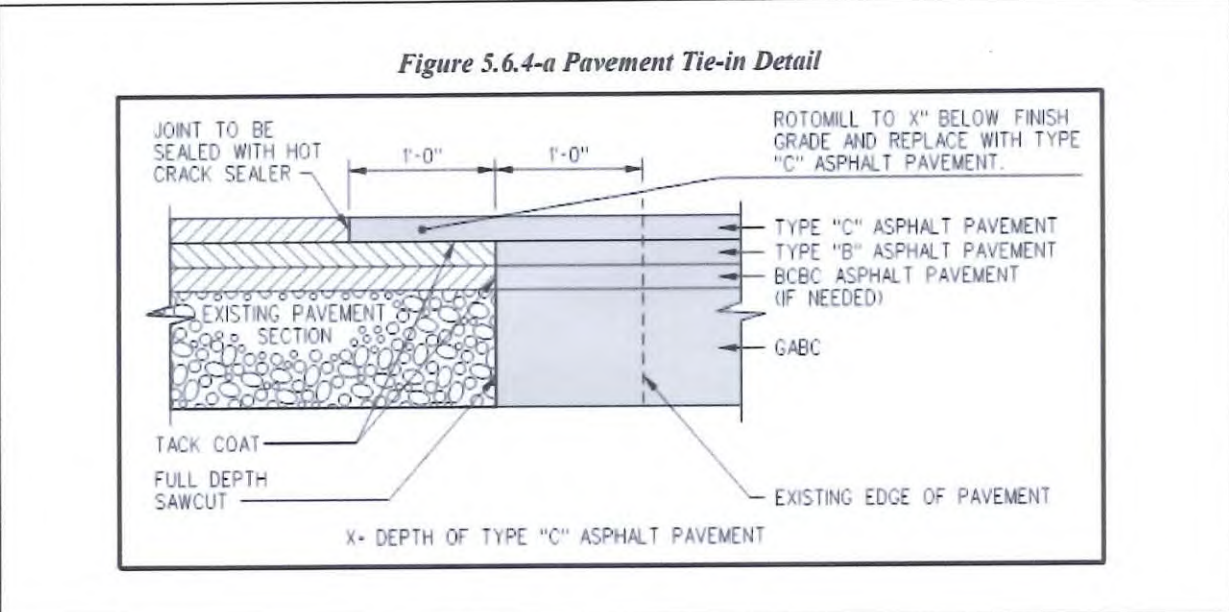
1/4"=1'-0"
JANUARY 4, 2021
© 2021 - GATE 17 ARCHITECTURE, LLC

ROXANA APARTMENTS

OCEAN VIEW, DELAWARE

PEAK MANAGEMENT

GATE
architecture
2045 Route 35
Wall, New Jersey, 07719
856.429.2001



PLAN DATA:

PARCEL I.D. No	* 2-31-10.00-17.00
PLAT REFERENCE	* D.B. 4903, PAGE 344
ZONING DISTRICT	* AR-1
MAXIMUM BUILDING HEIGHT	* <35 FEET
ROADWAY CLASSIFICATION	* SCR 529 (LOCAL ROAD)
SEWAGE DISPOSAL	* INDIVIDUAL ON-SITE WASTEWATER DISPOSAL SYSTEM (PRIVATE)
WATER SUPPLY	* INDIVIDUAL ON-SITE WELLS (PRIVATE)
OWNER	* MISSION GOSPEL FAMILY OF GOD 11366 SECOND STREET BRIDGEVILLE, DE 19933
LOT AREA RATIONALE	* GROSS AREA = 3.891 ACRES NET DEVELOPMENT AREA = +/- 8136 SF
EXISTING USE	* VETERINARY CLINIC
PROPOSED USE	* CHURCH
REQUIRED PARKING	* 1 SPACE PER 4 SEATS X 132 SEATS = 33 SPACES
PROPOSED PARKING	* 35 SPACES
(TID) PROXIMITY	* SITE IS NOT LOCATED WITHIN DELDOT TIS
FEMA FLOODMAP	* ZONE X, AREA OF MINIMAL FLOOD HAZARD PER FIRM PANEL 10005C0270L
WETLANDS NOTE	* NO STATE OR FEDERAL WETLANDS OBSERVED ON SITE

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES.

John B. Roach, Jr., P.E.

1/14/2021

DATE

REVISED PER P&Z COMMENTS DATED 11/12/2019

REVISED PER DELDOT COMMENTS DATED 6/26/2020

REVISED PER DELDOT COMMENTS DATED 6/16/2020

REVISED PER DELDOT COMMENTS DATED 3/27/2020

FINAL SITE PLAN

MISSION GOSPEL FAMILY OF GOD, I

ALSO KNOWN AS:

14274 COKEBURY ROAD

SITUATE IN:

NANTICOKE HUNDRED * SUSSEX COUNTY

STATE OF DELAWARE

TAX MAP#: 231-10.00-17.00

JOHN B. ROACH
Engineering LLC

22184 MELSON ROAD
GEORGETOWN, DELAWARE 19847
PHONE NO. 302-855-1565

Drawn By: JBR Date: 9-1

Scale: 1" = 40' Sheet 1/1



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

July 27, 2020

Mr. Polo Lopez
Mission Gospel Family of God
11366 2nd Street
Bridgeville, Delaware 19933

SUBJECT: Authorization to Apply for a Permit for Entrance Construction
Mission Gospel Family of God
Tax Parcel # 231-10.00-17.00
SCR529-COKESBURY ROAD
Nanticoke Hundred, Sussex

Dear Mr. Polo Lopez:

The Delaware Department of Transportation (DelDOT) has reviewed your request, dated January 3, 2020, to obtain a Letter of No Contention (LONC) to use an existing commercial building and site entrance for the above referenced project. In coordination with the South District Public Works Office we have determined that your project will require some modifications or enhancements to meet current regulatory requirements. We have therefore determined that this project is eligible to obtain a Permit for Entrance Construction (PEC) to make these modifications. The PEC will include a list of items that must be addressed, as well as requirements for bonding to perform work, where needed, within the State of Delaware right-of-way (ROW). This approval shall be valid for a period of one (1) year.

Please note: Your Permit for Entrance Construction must be obtained from the South District Public Works Office, before you can start any construction.

The following conditions are provided with this response letter:

- 1) Site shall have access from the existing entrance located on Cokesbury Road (SCR 529).
- 2) Only the modifications/construction or traffic pattern changes that are itemized and authorized under the PEC will be permitted. Please coordinate with the DelDOT Public Works Office regarding the scope, location and limits of the following items, as well any other items listed in the PEC:
 - a) Install "Do Not Enter" signs in accordance with the Delaware MUTCD and DelDOT Standard Construction Detail T-15. Refer to the Site Plan, dated September 16, 2019 (last revised June 26, 2020), for the sign locations.
 - b) Improve the existing entrances in accordance with current DelDOT regulations, standard specifications, and standard details. Refer to the Site Plan dated September 16, 2019 (last revised June 26, 2020) for the required improvements.



Mission Gospel Family of God
Mr. Polo Lopez
Page 2
July 27, 2020

- 3) DelDOT reserves the right to review, modify or revoke this authorization letter and PEC and require additional entrance upgrades in the future if proposed activities create traffic conflicts, safety concerns or operational issues.
- 4) The property owner is responsible to:
 - a. Submit information to DelDOT, regarding any future operational or site changes, (including but not limited to: rezoning, site layout changes, changes in use, entrance modifications, expanded/additional uses, new uses, etc.). Changes of this nature may alter the flow and/or volume of traffic and could require a new PEC, LONC or formal review for Approvals and/or Permits.
 - b. Establish and maintain clear sight lines at the entrance. There shall be no placement of structures, signs, objects, items for sale or parking of vehicles within State ROW or entrance limits. Shrubbery, Plantings, trees and/or other visual barriers that could obstruct the sight distance of a driver preparing to enter the roadway are prohibited.
- 5) The property owner and applicant are responsible to coordinate with DelDOT Outdoor Advertising & Roadside Control at (302) 853-1327, for information on obtaining specific permits for sign installation on private property. Permits for Utilities construction within State right-of-way require separate permit applications please contact DelDOT's South District at (302) 853-1345.

The Department would like to thank you for your submittal.

Please contact the South District Public Works Office at (302) 853-1340, for their assistance in obtaining the PEC. No construction or modification listed under Item 2 is allowed in advance of the DelDOT Public Works Office issuance of the Permit for Entrance Construction.

Sincerely,



Susanne K. Laws
Sussex County Review Coordinator,
Development Coordination

cc: Daniel Roach, John B. Roach Engineering, LLC
Jamie Whitehouse, Sussex County Planning & Zoning Commission
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Gomez Norwood, South District Public Works manager
William Kirsch, South District Entrance Permit Supervisor
James Argo, South District Project Reviewer
Wendy L. Polasko, Process and Quality Control Engineer
John Andrescavage, Sussex County Reviewer



Sussex Conservation District
23181 Shortly Road
Georgetown, DE 19947
302-856-2105

<https://www.sussexconservation.org>

APPLICATION FOR STANDARD PLAN APPROVAL
**NON-RESIDENTIAL CONSTRUCTION WITH
LESS THAN 1.0 ACRE DISTURBED**

Applicability Criteria

1. The disturbed area for construction of the improvements will not exceed 1.0 acre.
2. Within the disturbed area, the pre-development land use is not classified as forest.
3. For project site locations within an area previously managed for stormwater quantity and quality under an approved Sediment and Stormwater Plan, the post construction condition meets the original stormwater design criteria.
4. For project site locations within an area previously unmanaged for stormwater quantity and quality under an approved Sediment and Stormwater Plan, one of the following is met:
 - a. Comparison of the existing parcel curved number (CN) based upon the Department's 2017 aerial photography to the proposed CN for the parcel after non-residential construction results in less than one whole number change in the CN, OR
 - b. No new impervious area is proposed as a result of construction.

Site Information

Project Name: MISSION GOSPEL FAMILY OF GOD Parcel Total Acres (nearest 0.1ac): 3.891 ACRES
Site Location: 14274 LOKEBURY RD, GEORGETOWN Disturbed Acres (nearest 0.1ac): 0.18 AC (7155 SF)
Previous Plan Name: N/A Proposed Impervious Area (square feet): 0.16 AC (8136 SF)
Previous Plan Approval Number: N/A Wooded area to be cleared: NONE
Tax Parcel ID: 231-10.00-17.00 Pre CN: 75.68 Post CN: 76.27

Applicant Information

Owner: MISSION GOSPEL FAMILY OF GOD Applicant: POLO LOPEZ
Mailing Address: 11366 SECOND STREET Mailing Address: 11366 SECOND STREET
BRIDGEVILLE, DE 19933 BRIDGEVILLE, DE 19933
Owner Phone: 302-339-5585 Applicant Phone: 302-339-5585
Owner Email: lopezconstructionllc@live.com Applicant Email: lopezconstructionllc@live.com

Approval Information (for office use only)

Approval # 2020-1025 Fee Paid: \$ 500.00
Approved by: [Signature] Approval Date: 9/30/20
Title: Program Manager Expiration Date: 9/30/25

Standard Conditions

1. Discharges from rooftops will be disconnected using one of the following methods or another method approved by the Department or Delegated Agency:
 - a. Individual downspouts will discharge to lawn or landscape area.
 - b. Discharges from downspouts will be collected to discharge to a rain garden.
 - c. Discharges from downspouts will be collected in rain barrels or cisterns for reuse.
2. Driveways, sidewalks, patios, and other impervious surfaces will be graded to sheet flow to lawn or other pervious areas to the maximum extent practicable.
3. Unless waived in writing by the Department or Delegated Agency a construction site stormwater management plan in accordance with Department or Delegated Agency guidance for this Standard Plan shall be followed. The attached checklist has been developed to serve as guidance for preparing the construction site stormwater management plan.
4. Approval of this Standard Plan does not relieve the applicant from complying with any and all federal, state, county or municipal laws and regulations.

Stabilization Conditions

1. Following initial soil disturbance or redistribution, temporary or permanent stabilization with seed and mulch shall be completed within 14 calendar days to the surface of all disturbed areas not actively under construction.
2. Specific stabilization recommendations may be found in the Delaware Erosion and Sediment Control Handbook, 3.4.3 Standard and Specifications for Vegetative Stabilization.

Applicant Certification

I, the undersigned, certify that the information supplied on this Application for Standard Plan Approval is accurate, the proposed land disturbing activity meets the criteria established, and all conditions of this Standard Plan Approval will be met by the applicant, builder, contractor, and owner during construction and post construction.

Applicant Signature: _____ Date: _____

Applicant Printed Name: _____ Title: _____

THIS STANDARD PLAN APPLICATION FORM MUST BE MAINTAINED ON THE SITE AT ALL TIMES DURING CONSTRUCTION



Sussex Conservation District
23181 Shortly Road
Georgetown, DE 19947
302-856-2105

<https://www.sussexconservation.org>

**Standard Plan for Non-Residential Construction <1.0 acre Disturbed
Plan Review Checklist**

DATE RECEIVED: _____ PROJECT NUMBER: _____

PROJECT NAME: _____

- ☒ Scale bar
- ☒ Legend
- ☒ Parcel information, including the following:
 - ☒ Site address or location
 - ☒ Tax parcel ID
 - ☒ Parcel size in acres
 - ☒ Wetland delineation line, if applicable
 - ☒ Floodplain line, if applicable
 - ☒ Tax ditch rights-of-way, if applicable
 - ☒ Building setback line, if applicable
 - ☒ Any other easements or rights-of-way, if applicable
- ☒ Project information, including the following:
 - ☒ Estimated disturbed area
 - ☒ Existing and proposed grading
 - ☒ Existing and proposed pervious and impervious area
 - ☒ Construction sequence, including notification, construction of perimeter controls, and vegetative stabilization.
 - ☒ Construction site stormwater BMP standard details, including construction site waste management and spill control and concrete washout
 - ☒ Vegetated stabilization requirements
- ☒ Owner contact information
- ☒ Signed owner certification as follows: "I, the undersigned, certify that all land clearing, construction and development shall be done pursuant to the approved standard plan and that responsible personnel (i.e., Blue Card Holder) involved in the land disturbance will have a Certification of Training prior to initiation of the project, at a DNREC sponsored or approved training course for the control of erosion and sediment during construction. In addition, I grant the DNREC Sediment and Stormwater Program and/or the relevant Delegated Agency the right to conduct on-site reviews."

Standard Plan for Non-Residential Construction <1.0 acre Disturbed

Plan Review Checklist

☒ General notes

- ☒ The DNREC Sediment and Stormwater Program (or Delegated Agency) shall be notified in writing 5 days prior to commencing with construction. Failure to do so constitutes a violation of the approved Sediment and Stormwater Management Plan.
- ☒ Review and/or approval of the Sediment and Stormwater Management Plan shall not relieve the contractor from his or her responsibilities for compliance with the requirements of the Delaware Sediment and Stormwater Regulations, nor shall it relieve the contractor from errors or omissions in the approved plan.
- ☒ If the approved plan needs to be modified, additional sediment and stormwater control measures may be required as deemed necessary by DNREC or the Delegated Agency.
- ☒ Following soil disturbance or redistribution, permanent or temporary stabilization shall be completed for all perimeter sediment controls, soil stockpiles, and all other disturbed or graded areas on the project site within 14 calendar days unless more restrictive Federal requirements apply.
- ☒ All erosion and sediment control practices shall comply with the Delaware Erosion and Sediment Control Handbook, latest edition.
- ☒ At any time a dewatering operation is used, it shall be previously approved by the Agency Construction Site Reviewer for a non-erosive point of discharge, and a dewatering permit should be approved by the DNREC Well Permitting Branch.
- ☒ Approval of a Sediment and Stormwater Management Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.
- ☒ The contractor shall at all times protect against sediment or debris laden runoff or wind from leaving the site. Perimeter controls shall be checked daily and adjusted or repaired to fully contain and control sediment from leaving the site. Accumulated sediment shall be removed when it has reached half of the effective capacity of the control. In addition, the contractor may need to adjust or alter measures in times of adverse weather conditions, or as directed by the Agency Construction Site Reviewer.
- ☒ Best available technology (BAT) shall be employed to manage turbid discharges in accordance with requirements of 7. Del C. Ch 60, Regulations Governing the Control of Water Pollution, Section 9.1.02, known as Special Conditions for Stormwater Discharges Associated with Construction Activities, and DNREC policies, procedures, and guidance.

CERTIFIED
AS A TRUE COPY

Prepared by: DNREC
Division of Watershed Stewardship
Return to: 21309 Berlin Road, Unit 6
Georgetown, DE 19947

Attest: Myrtle A. Thomas
Notary Public
Per Br. Cl.
Clerk

SHORTS TAX DITCH C.A. #06M-11-029

COURT ORDER CHANGE NO. 7
(SUSSEX COUNTY)

WHEREAS, the present owner of Property No. 5 of the Shorts Tax Ditch desires to change the widths of the construction, major and minor maintenance rights-of-way on Prong 1 (P1) as follows:

Stations	Construction, Major & Minor Maintenance ROW (looking upstream)	
	Left	Right
P1 4+79 to 9+28	‡	40 ft TOB

‡ All rights-of way extents for tax ditches not modified by this Court Order Change are to remain as previously recorded; and

WHEREAS, tax ditch rights-of-way include the cross-section of the ditch; and

WHEREAS, future construction and major maintenance costs will not be materially affected; and

WHEREAS, the landowner of Property No. 5 has requested to be permitted to place a driveway within the 40 ft top of bank rights-of-way and to be no less than 20 ft from the top of bank, and agree that any damage which may occur during maintenance activities is the responsibility of the landowner; and

WHEREAS, the landowner of Property No. 9 shall be responsible for assuring that this Court Order Change is filed with the Recorder of Deeds for Sussex County; and

WHEREAS, no other landowners are involved;

NOW, THEREFORE, I the undersigned, landowner of Property No. 5 of the Shorts Tax Ditch, hereby agree to the changes in the widths of the construction, major and minor maintenance rights-of-way, as described above on Prong 1 (P1) and as shown on the drawing attached hereto and made a part of this agreement, and are permitted to place a driveway within the 40 ft top of bank rights-of-way and to be no less than 20 ft from the top of bank and agree that any damage which may occur during maintenance activities will be the responsibility of the landowner; and further agree to be responsible for assuring that this Court Order Change is filed with the Recorder of Deeds for Sussex County.

Shorts Tax Ditch C.A. #06M-11-029
Court Order Change No. 7
Page 2 of 3

Michele L. Harper
Witness

1/6/2020 Asarael Soto
Date ~~Asarael Soto~~ Asarael Soto, Pastor
Mission Gospel Family of God Inc.
(prop. 5) 231-10.00-17.00

Robin Weink
Witness Robin Weinken

7/19/19 [Signature]
Date Robert L. Lambden
Chairman, Shorts Tax Ditch

Robin Weink
Witness Robin Weinken

7/20/19 [Signature]
Date Harold Carmean
Manager, Shorts Tax Ditch

APPROVED: DIVISION OF
WATERSHED STEWARDSHIP

1-9-2020 [Signature]
Date Terry L. Deputy, Director
Division of Watershed Stewardship

Shorts Tax Ditch

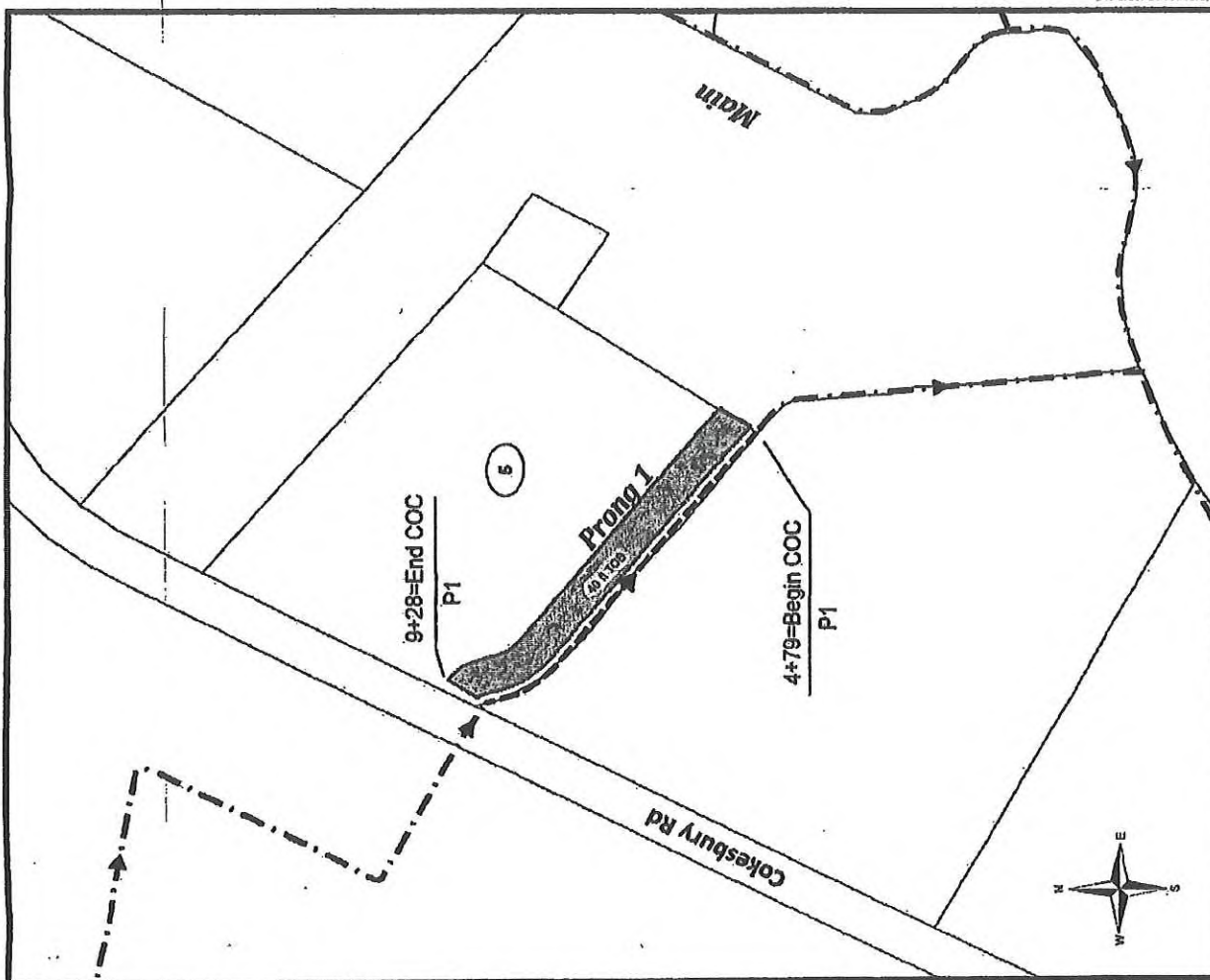
Court Order Change No. 7 (Sussex County)

Page 3 of 3
 C.A. #06M-11-029

Change in Construction, Major and Minor Maintenance Rights-of-Way on Prong 1 (P1) from Sta 4+79. to Sta 9+28 on the Right Side Looking Upstream



Division of Watershed Stewardship



Property boundaries are from County sources and are approximate.

Date: June 25, 2019
 Map Created by: Heather Hutchins

200 0 200 Feet
 1 inch = 200 feet

Stations	Construction/Major & Minor Maintenance ROW (looking upstream)	
	Left	Right
P1 4+79 to 9+28	±	40 ft TOB

± All rights-of-way extents for tax ditches not modified by this Court Order Change are to remain as previously recorded.

Tax Ditch ROW includes the cross-section of the ditch and are measured from the CL or TOB as noted in the table above.

Abbreviations	
Court Order Change	COC
Rights-of-Way	ROW
Top of Bank	TOB
Center from ditch/pipe	CL
Feet	ft
Station	Sta

LEGEND

Approximate Property Line

(148A)

Property Code

Channel Name

Tax Ditch Existing

Tax Ditch Change

Main



Tax Ditch ROW Change



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2020-04-204423-MJS-01

Tax Parcel Number: 231-10.00-17.00

Status: Approved as Submitted

Date: 08/12/2020

Project

Church Addition

Mission Gospel Family of God

14274 Cokesbury Road
Georgetown DE 19947

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 87 - Seaford Volunteer Fire Dept Inc

Occupant Load Inside:

Occupancy Code: 9629

Applicant

John Roach
22184 Melson Road
Georgetown, DE 19947

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:


Dennett Pridgeon

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2020-04-204423-MJS-01

Tax Parcel Number: 231-10.00-17.00

Status: Approved as Submitted

Date: 08/12/2020

PROJECT COMMENTS

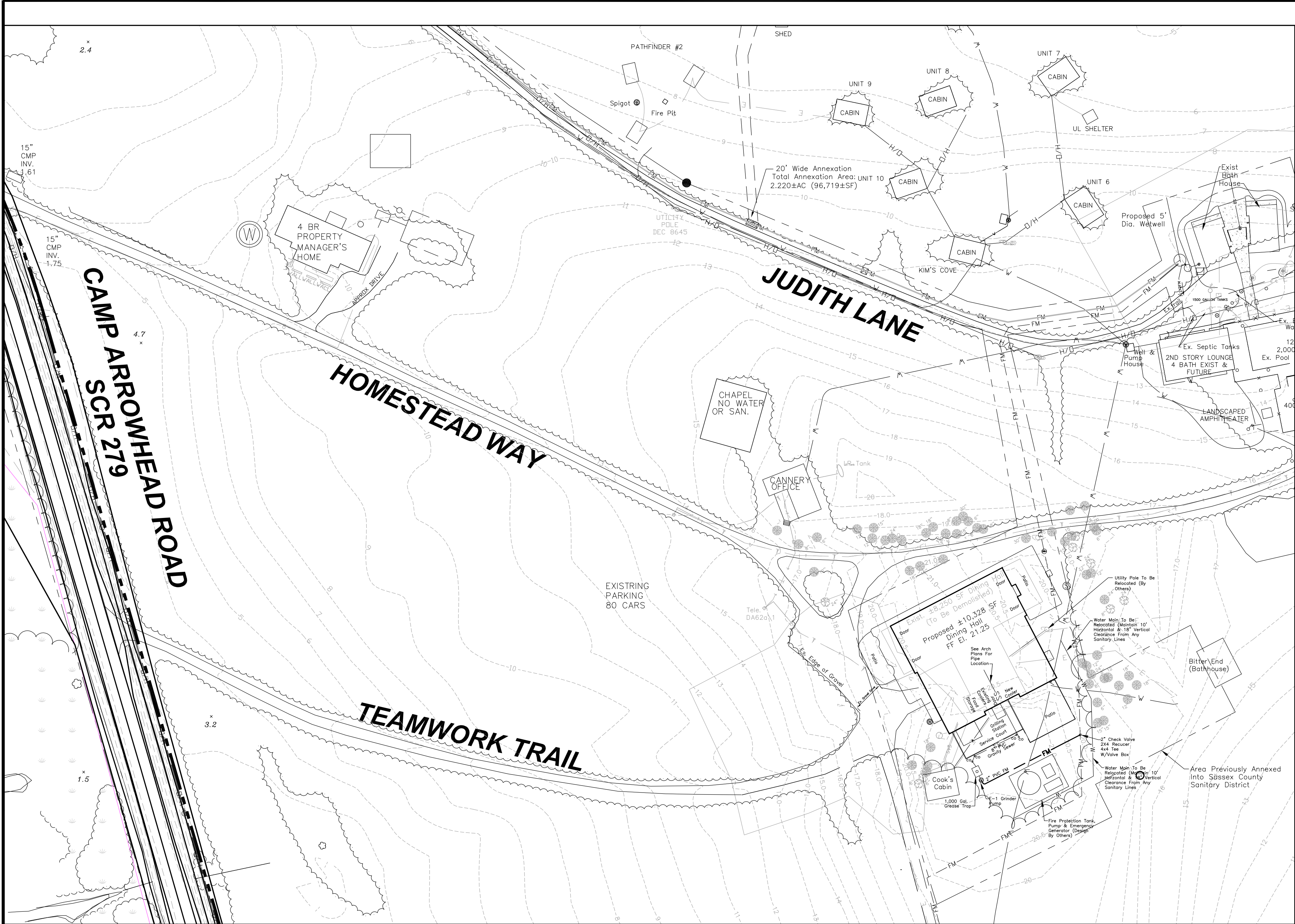
- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1013 A** Per Fire Flow Table 1, the following occupancies: Assembly Shall not exceed 5,000 aggregate gross square footage; shall not exceed 15' or one story; OR Shall not exceed 10,000 aggregate gross square footage; shall not exceed 30' or two stories; In eithercase, the Assembly occupancy shall have a minimum setback of 15' from all property lines and 10' setback from exposure hazards on the same property.
- 1408 A** All premises where emergency personnel may be called upon to provide emergency services, which are not readily accessible from streets, shall be provided with suitable gates, access roads, and fire lanes so that all buildings on the premises are accessible to emergency apparatus. (DSFPR Regulation 705, Chapter 5, Section 2).
- 1091 A** Emergency Services Access to buildings shall comply with DSFPR Regulation 705, Chapter 5, Section 3.0.
- 1092 A** Perimeter Access is that portion of the building that is accessible by emergency services personnel and is within 100 feet of a street and capable of supporting fire ground operations. (DSFPR Regulation 705, Chapter 5, Section 1.4.1). Perimeter Access minimum width shall be 15 feet measured from the face of the building at grade with a maximum slope of ten percent (10%). Plantings and utility services (includes condenser units, transformers, etc.) shall be permitted within the perimeter access, provided they do not interfere with the emergency services fire ground operations. (DSFPR Regulation 705, Chapter 5, Sections 3.5 and 4.5). If a physical barrier (fence, pond, steep slope, etc) prevents access, that portion of the building perimeter shall not be included in the calculation of Percent of Perimeter Access. (DSFPR Regulation 705, Chapter 5, Sections 3.5.1 and 4.5.1).

1180 A This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.

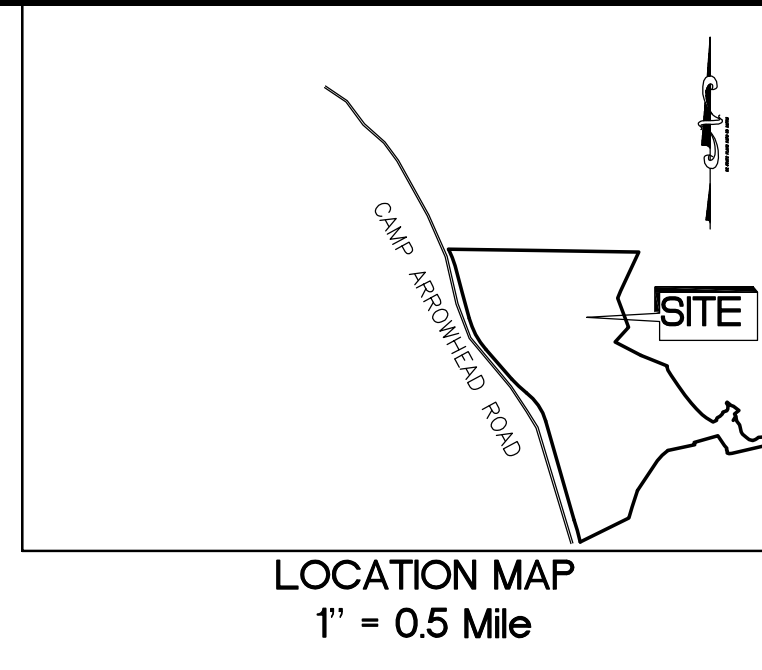
1190 A Separate plan submittal is required for the building(s) proposed for this project.

2500 A A final inspection is required for this project prior to occupancy (DSFPR Part I, Section 4-7). Contact this Agency to schedule this inspection. Please have the plan review number available. A MINIMUM OF FIVE (5) WORKING DAYS NOTICE IS REQUIRED.



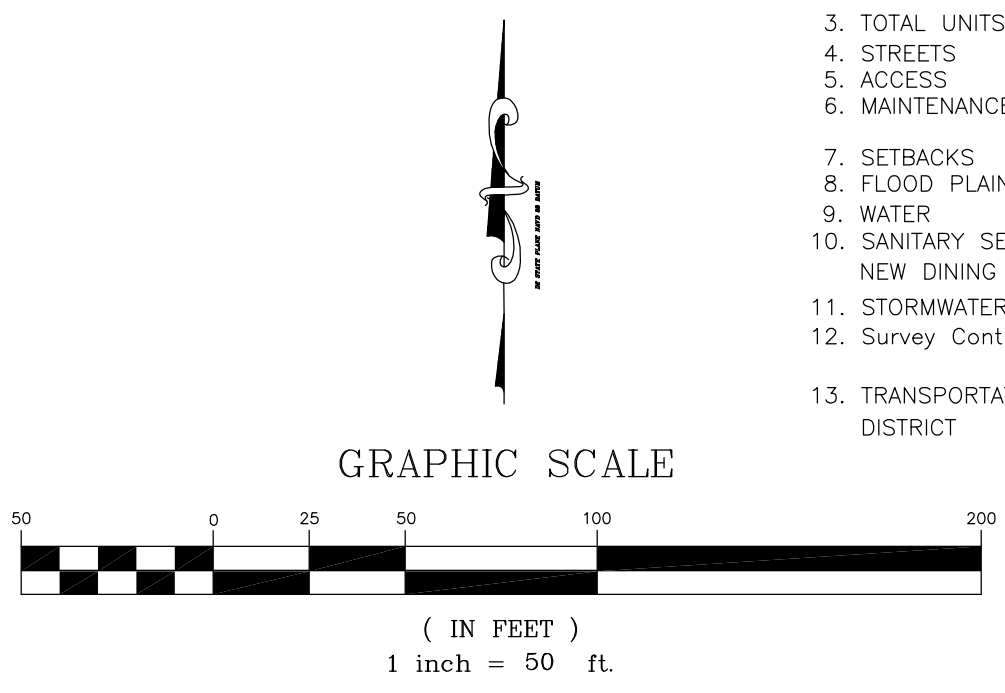


- LEGEND**
- — — — — = PROPERTY LINE
 - - - - - = EXISTING EDGE OF PAVEMENT
 - - - - - = EXISTING CONTOUR
 - - - - - = EXISTING ROAD CENTERLINE
 - - - - - = BUILDING RESTRICTION LINE
 - - - - - = PROPERTY CORNER FOUND
 - ⊙ = EXISTING WELL
 - ⊙ = SEPTIC TANK AND DOSING CHAMBER
 - ⊙ = SEPTIC CLEANOUT
 - W — = EXISTING WATER MAIN
 - FM — = EXISTING SANITARY FORCEMAIN
 - W — = PROPOSED WATER MAIN
 - S — = PROPOSED GRAVITY SANITARY
 - FM — = PROPOSED SANITARY FORCEMAIN



SITE DATA

1. CURRENT ZONING:	AR-1 Ag
Tax Parcel Number	234-18.00-42.00
(INVESTMENT LEVEL 4)	
2. ZONING:	
CURRENT:	AR-1
PROPOSED:	AR-1
FRONTAGE ROAD SPEED LIMIT	25 MPH
TOTAL AREA	2,830,167± SF 107.730±ACRES
PROJECT AREA	33,830.5± SF 0.78±ACRES
3. TOTAL UNITS	1 BUILDING (DINING HALL/KITCHEN)
4. STREETS	TO REMAIN PRIVATE
5. ACCESS	STREETS TO BE MAINTAINED BY OWNER AND/OR HOMEOWNERS ASSOCIATION
6. MAINTENANCE	FRONT: 40', SIDE: 15', REAR: 20'
7. SETBACKS	REF: FIRM Number 1005C0342K (3/16/2015)
8. FLOOD PLAIN	PRIVATE ON-SITE WELLS
9. WATER	SUSSEX COUNTY & ON-SITE SEPTIC
10. SANITARY SEWER - CURRENT	SUSSEX COUNTY
NEW DINING HALL	QUANTITY/QUALITY TREATMENT ON-SITE
11. STORMWATER MANAGEMENT	Horz. NAD 83
12. Survey Control	Vert. NAVD 88
13. TRANSPORTATION IMPROVEMENT DISTRICT	HENLOPEN TID (UNDER DEVELOPMENT) IS OUTSIDE THE LIMITS OF THIS PROJECT



- GENERAL PROJECT**
- OWNER/DEVELOPER:
Episcopal Diocese of Delaware
Judith Gregory, Agent
913 Wilson Road
Wilmington, DE 19803
Phone 302-256-0374
 - CIVIL/SITE ENGINEER:
Michael S. Cotten, P.E.
Cotten Engineering, LLC
10087 Concord Road
Seaford, Delaware 19973
302-628-9164
 - Tax Map Number: 234-18.00-42.00 (2020 State Strategies Investment Level 4)
 - Existing Zoning: AR-1
 - Current Use: Camp Facility
 - Proposed Use: Camp Facility
 - This project is located at the east side of Camp Arrowhead Road (SCR 279) approximately 12,200 feet south of the South Drive.
 - Based upon Flood Insurance Rate Map FIRM Number 1005C0342K, Revised March 16, 2015, (Zone AE (El. 6)), Unshaded With 0.2% Annual Chance Flood.
 - Water Supplier: Private On-Site Wells
 - Sanitary Sewer: Private On-Site Septic and Sussex County Sewer.
 - All buildings are 1 story or less and 42' or less in height.

OWNER/DEVELOPER'S CERTIFICATION
I HEREBY CERTIFY THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THIS PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

EPISCOPAL DIOCESE OF DELAWARE
JUDITH GREGORY, AGENT
913 WILSON ROAD
WILMINGTON, DE 19803
Phone 302-256-0374

ENGINEER'S CERTIFICATION
I HEREBY CERTIFY THAT I AM A REGISTERED SURVEYOR IN THE STATE OF DELAWARE, AND THAT THE INFORMATION HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF AND REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

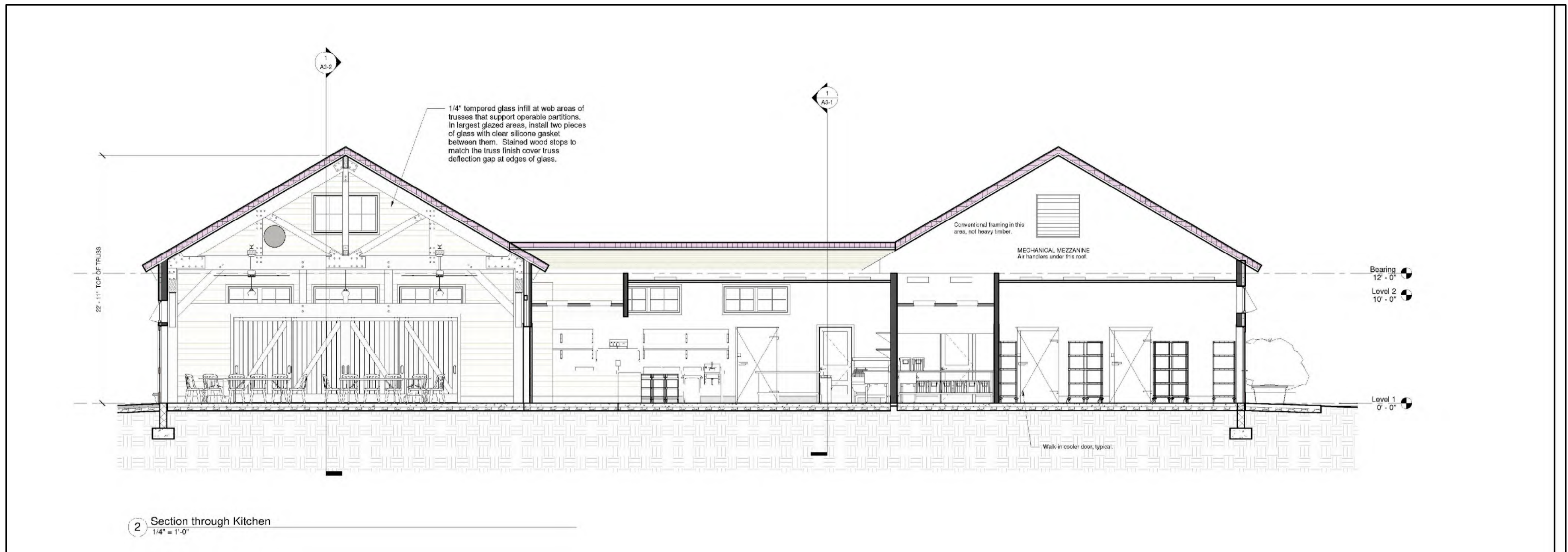
MICHAEL S. COTTEN, P.E.
COTTEN ENGINEERING LLC
10087 CONCORD ROAD
SEAFORD, DELAWARE 19973
PHONE/FAX (302) 628-9164

WETLANDS CERTIFICATION
I HEREBY CERTIFY THE PROPOSED DISTURBED AREA DEPICTED ON THIS PLAN DOES NOT CONTAIN ANY FEDERAL OR STATE JURISDICTIONAL WETLANDS.

MICHAEL S. COTTEN, P.E.
COTTEN ENGINEERING LLC
10087 CONCORD RD
SEAFORD, DELAWARE 19973
PHONE/FAX (302) 628-9164

Record/ Site Plans
GENERAL NOTES
(*Last revised March 21, 2019)

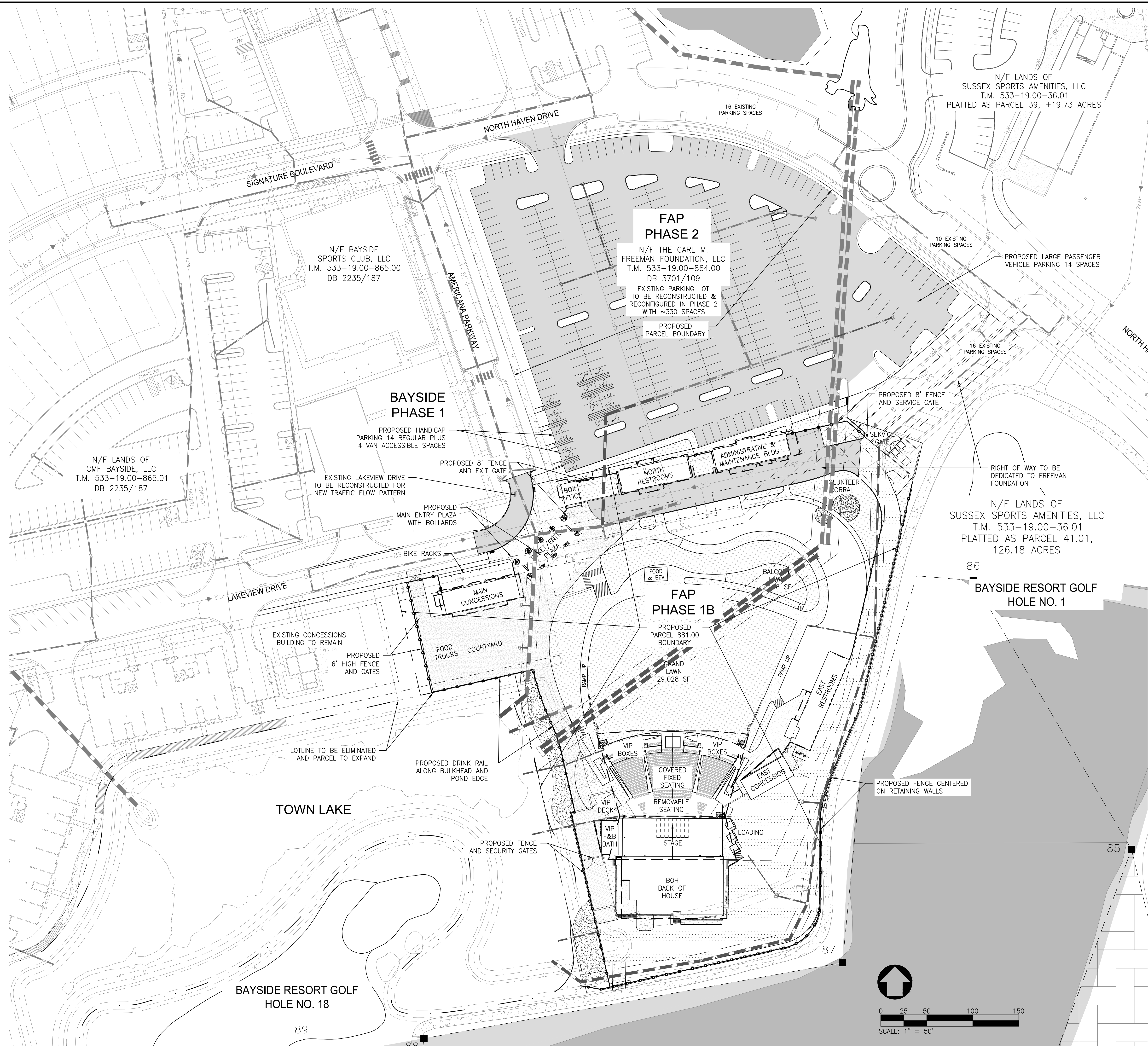
- All entrances shall conform to the Delaware Department of Transportation's (DelDOT's) current Development Coordination Manual and shall be subject to its approval.
- No landscaping shall be allowed within R/W unless the plans are compliant with Section 3.7 of the Development Coordination Manual (DCM).
- Shrubbery, plantings, signs and/or other visual barriers that could obstruct the sight distance of a driver preparing to enter the roadway are prohibited within the defined departure sight triangle area established on this plan. If the established departure sight triangle area is outside the right-of-way or projects onto an adjacent property owner's land, a sight easement should be established and recorded with all affected property owners to maintain the required sight distance.



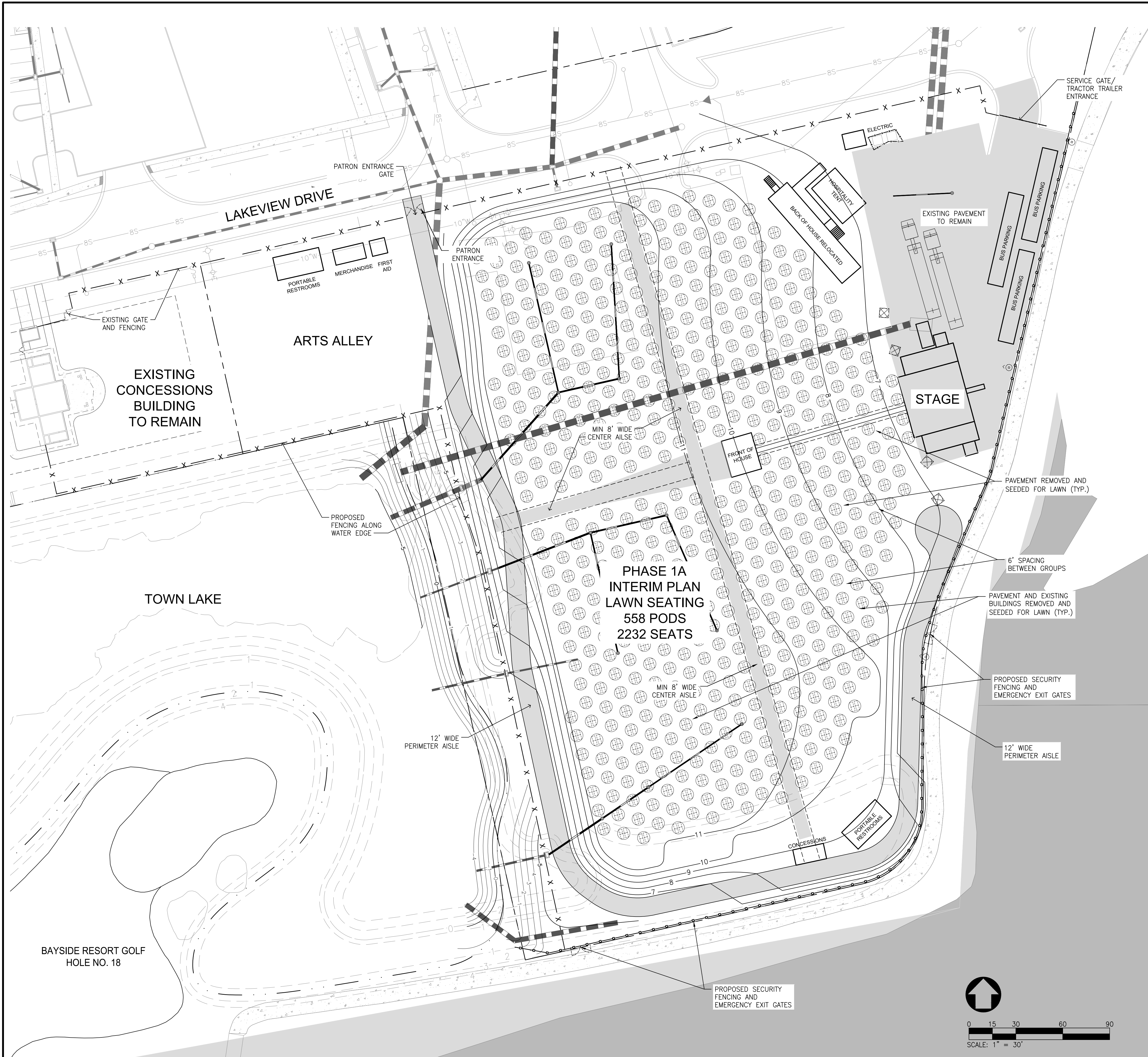
NEW DINING HALL FINAL SITE PLAN					
COTTEN ENGINEERING LLC CIVIL ENGINEERING, SURVEYING, ENVIRONMENTAL PLANNING CONSULTANTS 10087 CONCORD RD SEAFORD, DE 19973 PH: (302) 628-9164 FAX: (302) 628-9164					
MICHAEL S. COTTEN, P.E. LICENSE# 12769					
CAMP ARROWHEAD THE EPISCOPAL CHURCH DIOCESE OF DELAWARE INDIAN RIVER HUNDRED TM# 234-18.00-42.00 14± ACRES SUSSEX COUNTY DELAWARE					
SCALE: AS SHOWN					
DESIGNED: CE					
PLANNED: CE					
DRAWN: K&K					
DATE: 8/20/2020					
JOB: 15-016					
SHEET NO. P-1					














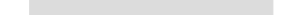





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g:\Projects\1997\97058--\Drawings\golf clubhouse and stage\FSP-5 FAP Site Plan.dwg, 11/13/2020 1:02 PM, Terry M. Gundry



	RIGHT OF WAY/PROPERTY LINE
	GOLF FACILITY PROPERTY LINE
	404 FORESTED WETLANDS
	404 STATE WETLANDS
 199	EXISTING CONSERVATION MONUMENT
	CONSERVATION EASEMENT LINE (CA)
	50' TIDAL BUFFER
	EXISTING TREELINE/BRUSH
	EXISTING CONTOUR
	EXISTING SANITARY SEWER FORCE MAIN
	EXISTING STORM DRAIN, INLET AND MANHOLE
	PROPOSED WATER MAIN AND VALVE
	PROPOSED SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER FORCEMAIN
	PROPOSED PAVED ROAD WITH CURBING
	PROPOSED CONCRETE
	PROPOSED POD W/4 SEATS

AT THEIR MEETING OF THURSDAY, NOVEMBER 12, 2020 THE PLANNING AND ZONING COMMISSION APPROVED THE REVISED PRELIMINARY SITE PLAN FOR THE AMERICANA BAYSIDE - FREEMAN ARTS PAVILION FOR THE CONSTRUCTION OF A 1,010 FIXED-SEAT AND ACCOMPANYING LAWN SEATING PROPOSED ARTS PAVILION, INCLUDING 876 PARKING SPACES AND OTHER RELATED USES ON A PARCEL CONSISTING OF 8.98 ACRES. THE APPROVED MASTER PLAN ALLOWS FOR A 4,000-PAIRON AMPHITHEATER. THE PROPERTY ZONED MEDIUM DENSITY RESIDENTIAL, RESIDENTIAL PLANNED COMMUNITY (MR-PPC), THE REVISED PRELIMINARY SITE PLAN DEPICTING THE AMENDED "POD" LAYOUT AND INCLUDED IN THE SUBJECT AS "PHASE 1A TEMPORARY SITE PLAN" WAS APPROVED BY THE COMMISSION. THE GOVERNOR'S ORDERS AND COURT GUIDELINES IN THE FINAL PLAN WOULD ALSO BE APPROVED BY THE COMMISSION UNDER THE CONDITION THAT, IF THE SITE PLAN WERE TO BE SUBSTANTIALLY AMENDED, A REVISED SITE PLAN WOULD BE REQUIRED TO BE SUBMITTED FOR THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.

THE PRELIMINARY SITE PLAN FOR THE AMERICANA BAYSIDE – FREEMAN ARTS PAVILION WAS APPROVED BY THE PLANNING AND ZONING COMMISSION ON MARCH 12, 2020. THE ARTS PAVILION AND ACCESSORY BUILDING LOCATIONS WERE PREVIOUSLY APPROVED FORMALLY AT THE DECEMBER 16, 2015 PLANNING COMMISSION MEETING ON MASTER PLAN MP-7. THE ARTS PAVILION WAS SHOWN PRIOR TO THAT ON MASTER PLAN REVISION MP-2 (MAY 19, 2010) AND LABELED AS THE JMF FOUNDATION FOR PERFORMING ARTS (50,000–80,000 SF) AND SUBSEQUENT MASTER PLANS HENCE FORTH.

POD SEATING ARRANGEMENT SHOWN ON THIS PLAN APPROVED BY
THE OFFICE OF THE STATE FIRE MARSHAL, 01/19/2021.

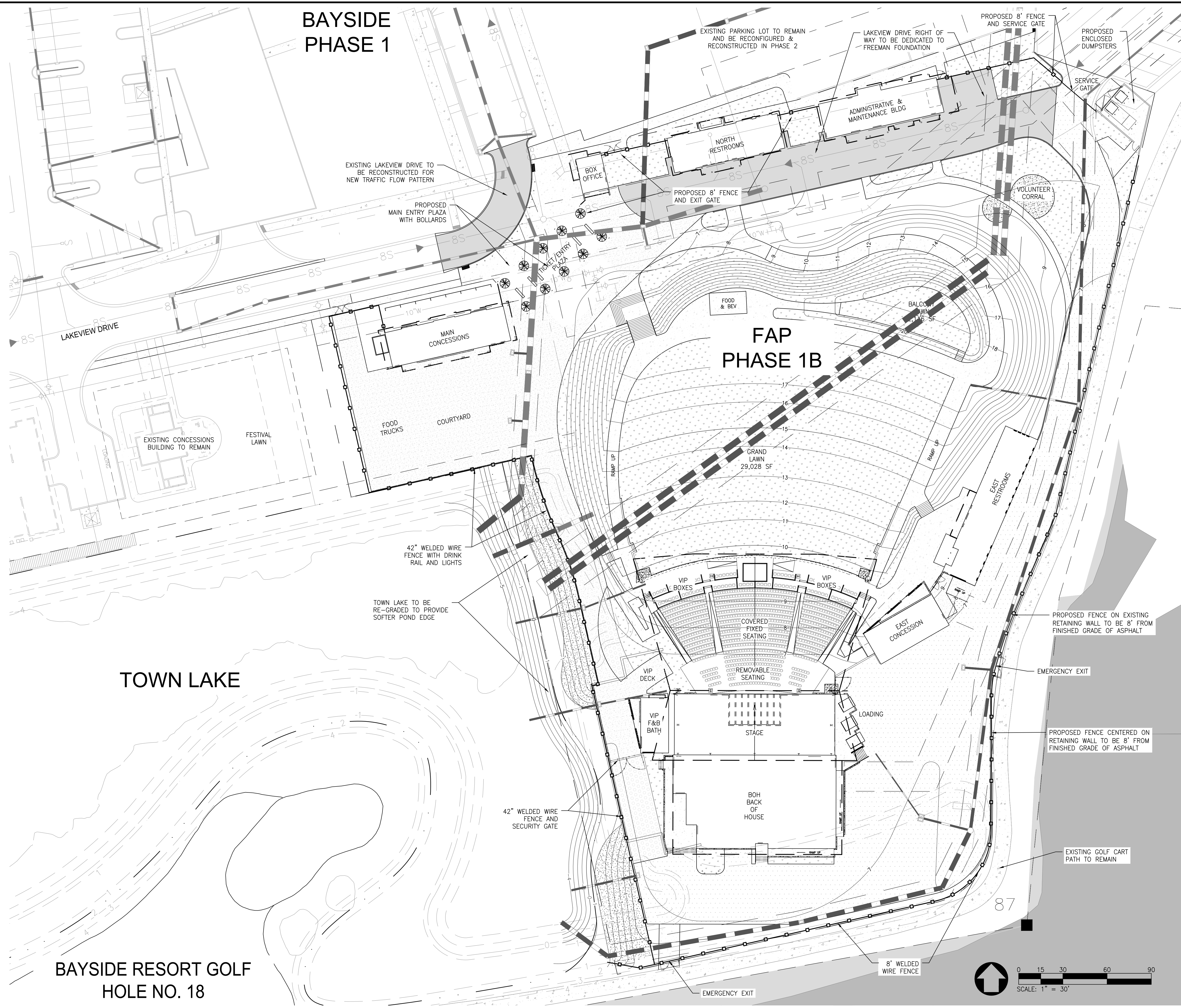
BACK OF HOUSE TRAILER LOCATION APPROVED ADMINISTRATIVELY FOR
SPECIAL USE EXCEPTION ON 01/21/2021, ORIGINAL SUE # 11728.

[illegible]

\\proj\proj\1973\7555-0\Drawings\golf clubhouse and stage\working set\1973-5 FAP Site Plan.dwg, 11/13/2020 1:05 PM, Terry M. Gaudy

PLOT CODE
PENT-RED : 0.08 INCHES (2.0mm)
PENT-YELLOW : 0.07 INCHES (1.8mm)
PENT-GREEN : 0.10 INCHES (2.5mm)
PENT-BLUE : 0.07 INCHES (2.0mm)
PENT-WHITE : 0.09 INCHES (2.0mm)

BAYSIDE PHASE 1



BAYSIDE RESORT GOLF
HOLE NO. 18

PRINTS ISSUED FOR:
APPROVAL AND
RECORDATION

DATE

REVISIONS

NO.

GMB

GEORGE, MILES & BUHR, LLC
ARCHITECTS & ENGINEERS
SALISBURY • BALTIMORE • SEAFORD
206 WEST MAIN STREET
SALISBURY, MARYLAND 21801
410-742-3115, FAX 410-548-9790
www.gmbnet.com

AMERICANA BAYSIDE

Joshua M. Freeman
FOUNDATION
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

FREEMAN ARTS
PAVILION
PHASE 1B
STAGE & BOH
SITE PLAN

SCALE : 1" = 30'
DESIGN BY : TMG
DRAWN BY : TMG
CHECKED BY :
GMB FILE : 150078
DATE : SEPT 2020

SHEET NO.
FSP-6

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■ ■ ■ ■

ARCHITECTS
ENGINEERS

206 WEST MAIN STREET
SALISBURY, MD 21801
PH: 410.742.3115
PH: 800.789.4462
FAX: 410.548.5790

SALISBURY
BALTIMORE
SEAFORD

www.gmbnet.com

■ ■ ■ ■

JAMES H. WILLEY, JR., PE
PETER A. BOZICK, JR., PE
JUDY A. SCHWARTZ, PE
CHARLES M. O'DONNELL, III, PE
W. BRICE FOXWELL, PE
A. REGGIE MARINER, JR., PE
JAMES C. HOAGESON, PE
STEPHEN L. MARSH, PE
DAVID A. VANDERBEEK, PE
ROLAND E. HOLLAND, PE
JASON M. LYTLE, PE
CHRIS B. DERBYSHIRE, PE
W. MARK GARDOCKY, PE
MORGAN H. HELFRICH, AIA
KATHERINE J. MCALLISTER, PE

JOHN E. BURNSWORTH, PE
VINCENT A. LUCIANI, PE
ANDREW J. LYONS, JR., PE
W. NICHOLAS LLOYD
AUTUMN J. WILLIS

January 28, 2021

Sussex County Planning and Zoning Department
PO Box 589
Georgetown, DE 19947

Attn: Ms. Lauren DeVore
Planner III

Re: Freeman Arts Pavilion – Revised Final Site Plan incl. Phase 1A Interim Site Plan
Tax Map 5-33-19.00-881.00
GMB Project No. R150078.00

Dear Lauren:

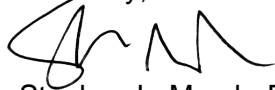
Please accept this letter and formal Revised Final Site Plan (including Revised Phase 1A Interim Plan) approval request as a follow up to our call regarding the referenced project.

I offer the following comments:

1. Final Site Plan approval including a Phase 1A Interim Plan was granted by the Planning Commission at their November 12, 2020 meeting. At that meeting, we believe it was the intent of the Planning Commission to allow some flexibility in the "pod" arrangement to meet the operational challenges associated with the COVID-19 pandemic.
2. That being said, the Phase 1A Interim Site Plan has been modified to allow easier access, and seating pods have been rearranged. We felt it would be appropriate to submit a Revised Final Site Plan for the record
3. Pod seating arrangement shown on this plan was approved by the State Fire Marshal on January 19, 2021.
4. Back of house trailer location was approved for Special Use Exception on January 21, 2021, original SUE # 11728.
5. Kindly reference your Notice of Decision letter dated November 16, 2020. We would also like it noted for the record that the Final Site Plan approved for the ultimate Freeman Arts Pavilion was for one thousand and ten (1010) fixed seats with accompanying lawn seating in the amphitheater, and that the approved Master Plan allows for approximately 4000 patrons, as detailed in your letter.
6. Per our previous conversation, please schedule us for the February 11, 2021 Planning Commission meeting.

Thanks Lauren. As always, we appreciate your help.

Sincerely,



Stephen L. Marsh, P.E.
Sr. Vice President

SLM/sh

Enclosures: Revised Final Site Plan incl. Phase 1A Interim Site Plan (PDF)

cc: Joshua M. Freeman Foundation
Attn: Ms. Patti Grimes (w/o encl.)





1) THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES WILL BE CONTINUED OR IN THE FUTURE WILL BE CONTINUED. IN ADDITION, NO OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS, THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.

2) NO ADDITIONAL EQUIPMENT OR STRUCTURES ARE TO BE ADDED TO THE RESIDENTIAL TYPE USE SHALL BE CONSTRUCTED WITHIN 50 FEET OF THE BOUNDARY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES.

- 1) CLASS "B", SUBURBAN SURVEY
- 2) SOURCE OF TITLE: DEED BOOK 2623, PAGE 164
- 3) THIS BOUNDARY SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMPLETE TITLE REPORT AND IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS AND/OR RIGHTS OF WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH
- 4) ALL SETBACKS MUST BE VERIFIED BY THE HOME OWNER AND/OR CONTRACTOR WITH THE APPROPRIATE REGULATORY AUTHORITY
- 5) THIS PROPERTY FALLS WITHIN THE LIMITS OF ZONE "X" AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP 10050420K, EFFECTIVE DATE MARCH 16, 2015
- 6) AS PER THE NATIONAL WETLANDS INVENTORY MAPS AVAILABLE ONLINE, THIS PROPERTY IS IMPACTED BY WETLANDS
- 7) COUNTY SETBACKS:
FRONT: 40'
SIDE: 15'
REAR: 20'

- 1) OWNER: RICHARD K. & JOAN E. WILSON
23054 PARK AVENUE
GEORGETOWN, DE 19947
- 2) CLASS "B", SUBURBAN SURVEY
- 3) SOURCE OF TITLE: DEED BOOK 2623, PAGE 164
- 4) OTHER THAN SHOWN HEREON, THIS SURVEY PLOT DOES NOT VERIFY THE
EXISTENCE OR NON-EXISTENCE OF RIGHTS-OF-WAY OR EASEMENTS ON
THIS PROPERTY. NO TITLE SEARCH WAS REQUESTED OR PERFORMED.
- 5) TOTAL NUMBER OF LOTS: EXISTING: 1; PROPOSED: 2
- 6) TOTAL FRONTAGE: 150.00' ON SCR 485
- 7) GROSS ACREAGE: 39.66± ACRES (PER TAX MAP)
- 8) RESIDUAL AREA: 32.73± ACRES
- 9) ZONING: CR-1 & C-1
- 10) PRESENT USE: AGRICULTURAL
- 11) PROPOSED USE: AGRICULTURAL/RESIDENTIAL
- 12) WATER: ON SITE WELL
- 13) SEPTIC: ON SIRE SEPTIC
- 14) POSTED SPEED LIMIT: 50MPH
- 15) THIS PROPERTY DOES NOT FALL WITHIN A TRANSPORTATION
IMPROVEMENT DISTRICT

- 1) ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- 2) SIGN/UBBERS, LIGHTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- 3) IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
- 4) TRACT 1 SHALL USE THE EXISTING SINGLE ACCESS FROM SCR 485, AS SHOWN HEREON.

SINGLE ACCESS

COMBINED ACCESS

30' MIN.

20' MIN.

10' MIN.

10' MIN.

20' MIN.

30' MIN.

60' MIN.

30' MIN.

30' MIN.

5'0" AND VARIES

10'0" AND VARIES

10'-12" NOMINAL (TYP.)

30'-34'

SHOULDER

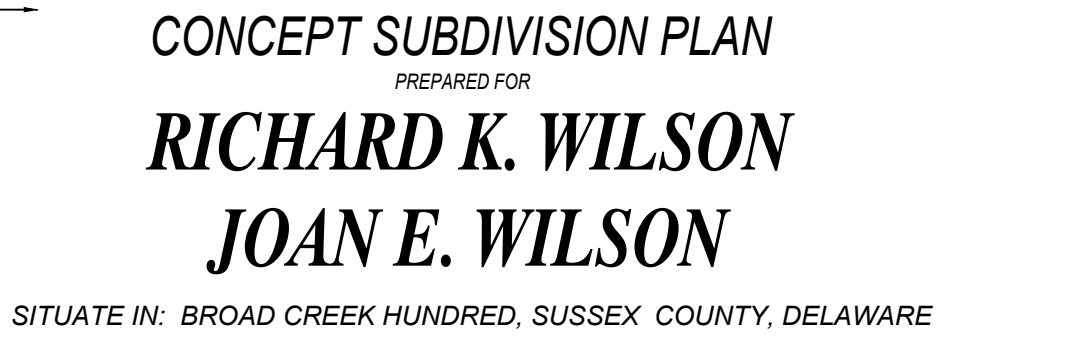
C. OF HIGHWAY



ENTRANCE PIPE WHERE REQUIRED 24' MIN.

ENTRANCE PIPE WHERE REQUIRED 56' MIN.

NOTES:

1. DRIVEWAY WIDTHS MAY BE INCREASED WITH DELDOT'S APPROVAL FOR SPECIAL PURPOSE VEHICLES, I.E. FARM VEHICLES, ETC.
2. MINIMUM RESIDENTIAL PAVEMENT: SECTION 9-6". GRADED AGGREGATE BASE COURSE.
3. ACCESS TO RESIDENTIAL LOTS SHOULD BE LIMITED TO ONE ACCESS POINT. (SEE SECTION 7.2.3.1 FOR EXCEPTIONS)
4. ENTRANCE GEOMETRICS SHALL CONFORM TO DELDOT STANDARD CONSTRUCTION DETAIL C-3.



			date		<h1 style="text-align: center;">Karins and Associates</h1> <p style="text-align: center;">ENGINEERS • PLANNERS • SURVEYORS NEWARK, DE • GEORGETOWN, DE www.karinsengineering.com</p> <p style="text-align: center;">128 WEST MARKET STREET GEORGETOWN, DELAWARE 19847 PHONE: (302) 858-4331 FAX: (302) 629-2175</p>
			checked		
revisions				OWNER: RICHARD K. & JOAN E. WILSON 23054 PARK AVENUE GEORGETOWN, DE 19847	APPROVED: _____ <div style="text-align: right;">PROFESSIONAL LAND SURVEYOR</div>
				SURVEY BY: CJA	SCALE: 1" = 50' <div style="text-align: center;"></div>
				DESIGNED BY:	
				DRAWN BY: MBK	DATE: 12-16-2020 SHEET 1 OF 1
				CHECKED BY: RBK	DRAWING NO. G 1118-D.dwg



OFFICE OF THE STATE FIRE MARSHAL
Technical Services

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2021-04-205893-MIS-01

Tax Parcel Number: 330-11.00-73.01

Status: Approved as Submitted

Date: 01/26/2021

Project

Charles Wagner Subdivision

6503 Cedar Neck Road
Milford DE 19963

Charles Wagner Subdivision

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: Carlisle Fire Co.

Occupant Load Inside:

Occupancy Code: 9601

Applicant

Charles Wagner
3509 Cedar Neck Road
Milford, DE 19963

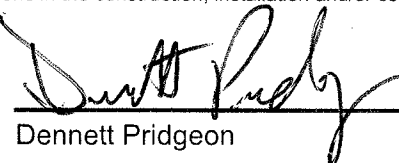
This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:


Dennett Pridgeon

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2021-04-205893-MIS-01

Tax Parcel Number: 330-11.00-73.01

Status: Approved as Submitted

Date: 01/26/2021

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1010 A** The following water for fire protection requirements apply: NONE. On-Site Wells Proposed. this site meets Water Flow Table 1. therefore the provisions of NFPA 1142 shall apply to this site (DSFPR Regulation 702, Chapter 6, Section 3). Since wells are proposed for this site, no additional requirements will be made by this Agency for water for fire protection.
- 1011 A** Per Fire Flow Table 1, the following occupancies: One and Two Family Detached Dwellings, Multi Family & Other Residential, Rowhouses & Townhouses Shall not exceed 10,000 aggregate gross square footage; shall not exceed 35' or three stories; and Shall have a minimum setback of 15' from all property lines and 10' setback from exposure hazards on the same property. Additionally, Rowhouses & Townhouses shall have an internal fire separation of two hour fire rated walls per SFPR Part II, Chapter 2.
- 1408 A** All premises where emergency personnel may be called upon to provide emergency services, which are not readily accessible from streets, shall be provided with suitable gates, access roads, and fire lanes so that all buildings on the premises are accessible to emergency apparatus. (DSFPR Regulation 705, Chapter 5, Section 2).
- 1093 A** In the case of one and two-family dwellings emergency service access shall be provided in such a manner so that emergency apparatus will be able to locate within 100 feet from the street to the primary entrance. Where alleys are provided, pumpers shall be able to access all portions of the alley without strict restrictions for entrance radii. (DSFPR Regulation 705, Chapter 5, Sections 2.2 and 2.2.1).

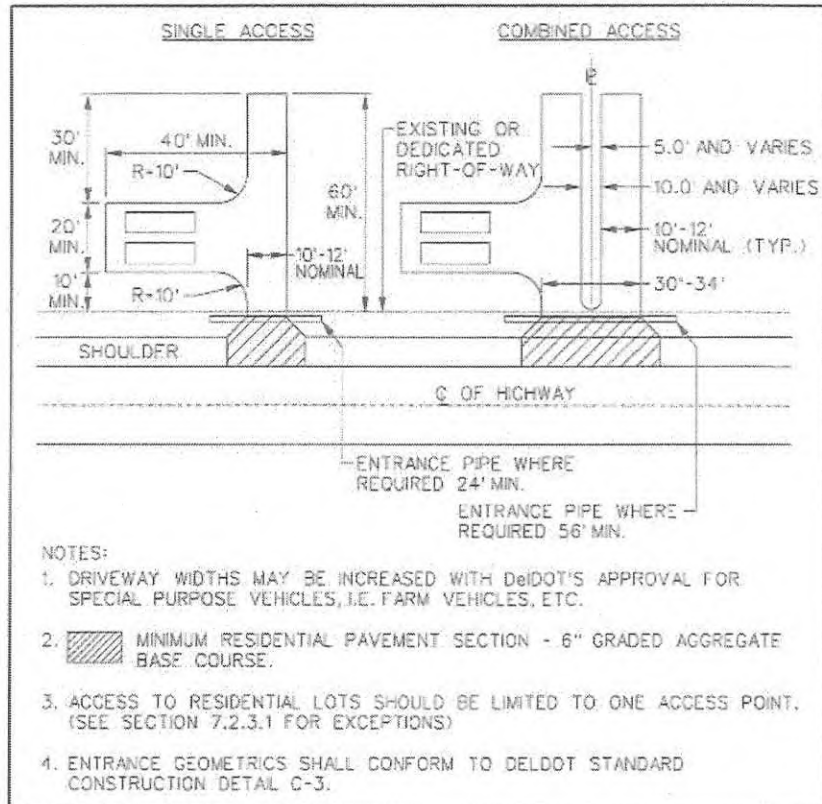


1171 A Any dead end road more than 300 feet in length shall be provided with a turn around or cul-de-sac arranged such that emergency apparatus will be able to turn around by making not more than one backing maneuver. Any turn-arounds and cul-de-sacs shall be designed in accordance with DSFPR Regulation 705, Chapter 2, Sections 2.3, 2.3.1, and 2.3.

2500 A A final inspection is required for this project prior to occupancy (DSFPR Part I, Section 4-7). Contact this Agency to schedule this inspection. Please have the plan review number available. A MINIMUM OF FIVE (5) WORKING DAYS NOTICE IS REQUIRED.



Figure 7.2.3.3-a Residential Access Design Requirements



- NOTES:
- OWNER: JERRY E & CHRISTINE MITCHELL
34894 WHALEYS ROAD
LAUREL, DELAWARE 19956
TAX ID: 332-10.00-11.00
 - SURVEYOR: McCRONE, INC.
119 NAYLOR MILL ROAD, SUITE 6
SALISBURY, MD 21801
CONTACT: MARK BENZIN
(410) 548-1492
FAX (410) 548-2055
 - DEED & PLAT REF: 1652/276
 - ZONED AR-1
 - SETBACKS - 40' FRONT, 15' SIDE AND 20' REAR
 - LOT DATA: 1 EXISTING LOT DIVIDED INTO 2 LOTS - TOTAL AREA 4.378 ± AC
LOT 1 - 2.777 ± AC
LOT 2 - 1.533 ± AC
ROAD DEDICATION - 0.068 ± AC
 - WATER AND SEWER PROVIDER - INDIVIDUAL ON-SITE WELLS AND SEPTIC SYSTEMS SUBJECT TO APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND DELAWARE DIVISION OF HEALTH
 - THESE LOTS ARE LOCATED IN FLOOD ZONE "X" UNSHADED, PER FIRM MAP NO. 10005C0440K, MAP REVISED MARCH 16, 2015.
 - CMF = CONCRETE MONUMENT FOUND
 - ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL
 - A PERPETUAL CROSS ACCESS INGRESS/EGRESS EASEMENT IS HEREBY ESTABLISHED AS SHOWN ON THIS PLAT
 - LOT 1 HAS ACCESS TO SCR062 VIA EXISTING GRAVEL DRIVE. LOT 2 SHALL HAVE ACCESS TO SCR062 VIA THE 14'X60' PERPETUAL CROSS ACCESS INGRESS/EGRESS EASEMENT ALONG SOUTHERLY LINE OF LOT 1
 - SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT OF WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
 - PRESENT USE - YARD/VACANT. PROPOSED USE IS SINGLE FAMILY RESIDENTIAL LOT
 - WHALEYS ROAD IS LISTED AS 50 MPH, UNPOSTED

SURVEYOR'S CERTIFICATION

I, MARK C BENZIN, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL SURVEYOR IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SIGNATURE

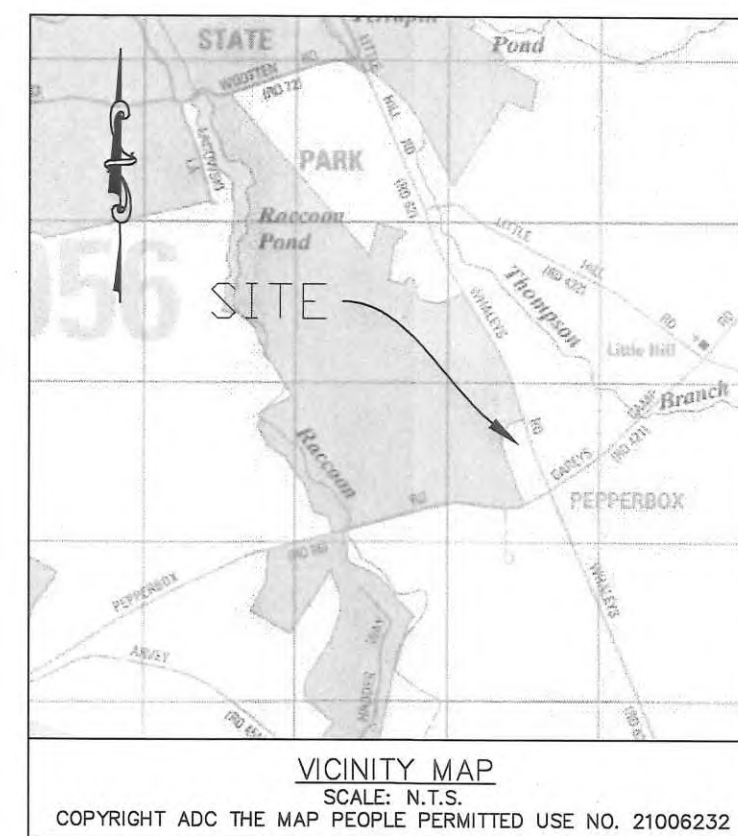
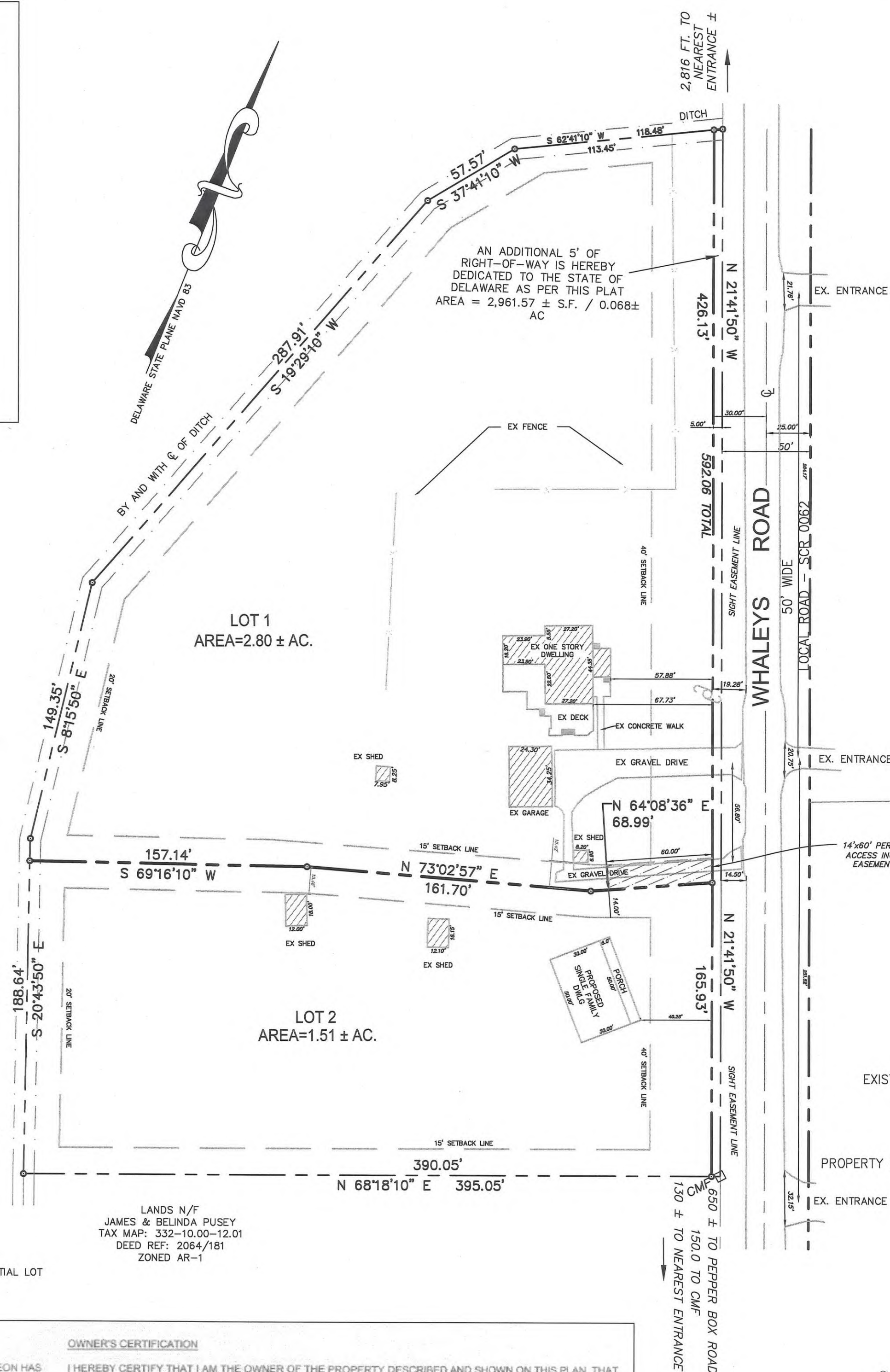
DATE

OWNER'S CERTIFICATION

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT ALL PROPOSED MONUMENTS AND MARKERS SHOWN HEREON WILL BE SET AT THE LOCATION INDICATED. WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

SIGNATURE

DATE



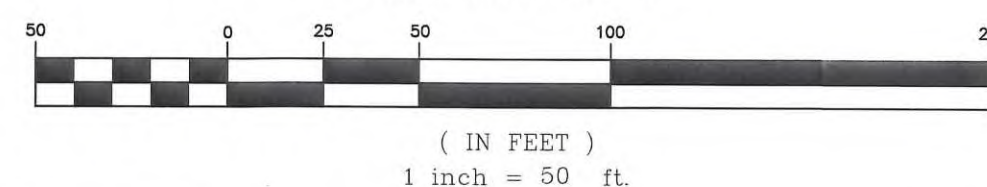
LANDS N/F
RICKY L JOHNSON
TAX MAP: 333-5.00-3.13
DEED REF: 4138/303
ZONED AR-1

LANDS N/F
MARGARET L BANKS
TAX MAP: 333-5.00-3.14
DEED REF: 3035/78
ZONED AR-1

LEGEND

EXISTING PROPERTY LINE	---
PROPOSED PROPERTY LINE	---
EXISTING ADJACENT PROPERTY LINE	---
SETBACK LINE	---
R.O.W. LINE	---
PROPERTY CORNER (TYPE NOT SPECIFIED)	○
ROAD CENTERLINE	---
EDGE OF PAVEMENT	---
UTILITY POLE	⊕

GRAPHIC SCALE



REV. #	DATE	DESCRIPTION
1	10.14.20	ADDRESS DELDOT
2	11.13.20	ADDRESS DELDOT
3	12.2.20	ADDRESS DELDOT

MINOR SUBDIVISION PLAT
OF
TAX PARCEL 332-10.00-11.00
34894 WHALEYS RD
LITTLE CREEK HUNDRED
SUSSEX COUNTY, DELAWARE
Prepared For: SAVINI CUSTOM HOMES

SHEET NO.:

FILE NO.:



McCRONE
• Engineering
• Construction Services
• Environmental Sciences
• Land Planning & Surveying
ANNAPOLIS • CENTREVILLE • ELKTON • SALISBURY
119 NAYLOR MILL ROAD, SUITE 6
SALISBURY, MD 21801
PHONE 410-548-1492 • FAX 410-548-2055
www.mccroneengineering.com
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SEAL 12/03/2020
DATE



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

December 22, 2020

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

SUBJECT: Minor Subdivision - Letter of No Objection to Recordation
Mitchell Minor Subdivision
Tax Parcel # 332-10.00-11.00
SCR00062-WHALEYS ROAD
Little Creek (Sussex) Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Minor Subdivision Plan dated August 12, 2020 (last revised December 2, 2020), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawing. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Minor Subdivision Plan is not recorded and/or an entrance permit is not issued for the lot(s) prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

Entrances(s) must be installed prior to the sale of the lot(s). All entrances shall conform to DelDOT's Development Coordination Manual and shall be subject to its approval. **This letter does not authorize the commencement of entrance construction.**

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction

Mitchell Minor Subdivision
Mr. Jamie Whitehouse
Page 2
December 22, 2020

to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

The owner shall be responsible to submit a copy of the **recorded Minor Subdivision Plan** showing all appropriate signatures, seals, plot book and page number to the South District Public Works office (302) 853-1341 in order to obtain the entrance permit(s) for the proposed minor subdivision.

Sincerely,

A handwritten signature in black ink, appearing to read "S.K. Laws", with a stylized flourish at the end.

Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

cc: Mark Benzin, McCrone, Inc.
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Matt Schlitter, South District Public Works Engineer
James Argo, South District Project Reviewer
William Kirsch, South District Entrance Permit Supervisor
Shannon Anderson, South District Public Work Admin Specialist
Wendy L. Polasko, Subdivision Engineer
John Andrescavage, Sussex County Reviewer