



## Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager, Lauren DeVore, Planner III, Christin Scott, Planner I, Nicholas Torrance, Planner I, and Chase Phillips, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: March 3, 2021

RE: Other Business for the March 11<sup>th</sup>, 2021 Planning Commission Meeting

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This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the March 11, 2021 Planning Commission meeting.

### **Sycamore Chase (2018-24) (F.K.A. Good Will Farm & Willow Run)**

KH

Final Subdivision Plan

This is a Final Subdivision Plan for the creation of a cluster subdivision to consist of one-hundred and four (104) single-family lots, private roads, open space and associated site amenities. The property is located south of Ocean View on Bayard Road (S.C.R. 384) at the intersection of Peppers Corner Road (S.C.R. 365) and Central Avenue (S.C.R. 84). At their meeting of Thursday, February 14, 2019, the Planning and Zoning Commission approved the Preliminary Subdivision Plan for the development. The Final Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes and all Conditions of Approval. Tax Parcels: 134-18.00-55.00 & 134-19.00-5.00 & 6.00. Zoning District: AR-1 (Agricultural Residential District). Staff are in receipt of all agency approvals.

### **S-21-02 Stephen's Rentals, LLC**

BM

Final Site Plan

This is a Final Site Plan for a proposed Telecommunications Tower and equipment. The property exists on the south side of Old Racetrack Rd. (S.C.R. 502). The Telecommunications Tower was approved by the Sussex County Board of Adjustment on September 21, 2020 through Special Use Exception Case No. 12472. Staff notes this site plan is eligible for both preliminary and final site plan approval. The site plan complies with the Sussex County Zoning Code and all Conditions of Approval. Tax Parcel: 532-20.00-14.02. Zoning District: HI-1 (Heavy Industrial District). Staff are in receipt of all agency approvals.

### **S-20-11 Lands of H&S Properties, LLC**

KS

Revised Preliminary Site Plan

This Revised Preliminary Site Plan proposes a professional office to be located within an existing 485 square foot dwelling. The property exists on the northwest corner of Beaver Dam Road (Route 23) and Church Street (S.C.R. 285B) at 17662 Beaver Dam Road. This site plan is associated with Conditional Use No. 2190 that was approved by the Sussex County Council on January 7, 2020 and adopted through Ordinance No. 2699. This Site Plan was last heard by the Sussex County Planning and Zoning Commission on September 24, 2020. At this meeting the Commission voted to take no action as it was determined the Conditions of Approval needed to be interpreted by the County Council. While this site plan has no preliminary approval, staff are in receipt of all agency approvals, so it is noted that this plan is eligible for both preliminary and final approval. The site plan complies



with the Sussex County Zoning Code and all Conditions of Approval. Tax Parcel: 334-5.00-212.00. Zoning District: AR-1 (Agricultural Residential District).

**Mountaire Farms – Millsboro Facility**

HW

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for a Wastewater Treatment System Upgrade at the existing Mountaire Farms – Millsboro Facility located off of John J. Williams Hwy. (Route 24). The proposed upgrades will be three (3) new equalization (EQ) tanks, each will replace a current tank or lagoon, a proposed pretreatment building, which will move the existing pretreatment system closer to the wastewater treatment plant, two (2) new treatment tanks for nitrogen removal, an additional finished storage pond, and new sludge dewatering equipment and building. There will be no increase in capacity to the wastewater facility and the permitted flow limit from DNREC is not changing. The Revised Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 234-32.00-117.00. Zoning District: HI-1 (Heavy Industrial District). Staff are awaiting agency approvals.

**Yogi Bear’s Jellystone Park Camp**

KS

Revised Amenities Plan

This Revised Amenities Plan proposes an addition of an aqua park and bath houses to be located within the Yogi Bear’s Jellystone Park Camp. The property is located on the east side of Brick Granary Road (S.C.R 216A). Conditional Use No. 1510 was approved by County Council on April 6<sup>th</sup>, 2004 for a campground under Ordinance No. 1681. The Amenities Plan complies with the Sussex County Zoning Code and all Conditions of Approval. Tax Parcel: 230-7.00-47.00. Zoning District: AR-1 (Agricultural Residential District). Staff are in receipt of all agency approvals.

**Lands of Floyd D. Higel**

BM

Minor Subdivision off a 50-ft Easement

This is a Minor Subdivision Plan for the creation of one (1) lot off a proposed 50-foot wide access easement, residual lands and an easement ROW lot. Lot 1 shall measure 0.756 acre +/- and the residual lands shall measure 2.297 acres +/- . The property is located on the southwest side of Armory Rd. (Route 20) and it does not exist within any County Transportation Improvement District. The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. 911 Address: 31048 Armory Rd., Frankford. Tax Parcel: 433-7.00-10.00. Zoning District: AR-1 (Agricultural Residential District). Staff are awaiting agency approvals.

**Lands of Trinity Commercial Holdings, LLC**

KS

Minor Subdivision off a 50-ft Easement

This is a Minor Subdivision Plan for the creation of one (1) lot off a proposed 50-foot wide access easement. Parcel A shall measure 9.01 acres +/- and Parcel B shall measure 8.47 acres +/- . The property is located on the southeast corner of Fleatown Rd. (S.C.R. 224) and N. Old State Road (S.C.R 213). The property does not exist within any County Transportation Improvement District. The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. 911 Address: 11671 Windmill Lane, Lincoln. Tax Parcel: 230-19.00-111.00. Zoning District: HI-1 (Heavy Industrial District) & GR (General Residential District). Staff are in receipt of all agency approvals.



STATE OF DELAWARE  
DEPARTMENT OF NATURAL RESOURCES  
AND ENVIRONMENTAL CONTROL  
DIVISION OF WATERSHED STEWARDSHIP  
21309 BERLIN ROAD, UNIT #6  
GEORGETOWN, DELAWARE 19947

DRAINAGE PROGRAM

PHONE: (302) 855-1930  
FAX: (302) 677-7059

October 21, 2020

Myrtle A. Thomas  
Prothonotary of Sussex County  
1 The Circle, Suite 2  
Georgetown, DE 19947

RE: Williams Canal Tax Ditch, C.A. #06M-11-131

Dear Ms. Thomas:

In the matter of the Williams Canal Tax Ditch, attached is the original request with supporting papers for the twelfth desired change in the Order that created this Tax Ditch. I have examined these papers and have found that they are sufficient to meet the requirements of Section 4189 (2a & 2b), Chapter 41, Title 7, Delaware Code, as amended, entitled "Alteration of Tax Ditches, Amendments to Ditch Orders". This change shall be known as Change No. 12 of the Williams Canal Tax Ditch Court Order.

Sincerely,

*Melissa Hubert*  
Melissa Hubert  
Program Manager

mlg

Enclosure

FILED PROTHONOTARY  
SUSSEX COUNTY  
2020 OCT 26 A 11:04

Prepared by: DNREC  
 Division of Watershed Stewardship  
 Return to: 21309 Berlin Road, Unit 6  
 Georgetown, DE 19947

WILLIAMS CANAL TAX DITCH C.A. #06M-11-131

COURT ORDER CHANGE NO. 12  
 (SUSSEX COUNTY)

WHEREAS, the present owner(s) of Property Nos. 24, 28, 28A, 28B, and 29 of the Williams Canal Tax Ditch desires to eliminate a portion of Prong 4 (P4) from Sta 12+50 to Sta 17+70 Terminus; and

WHEREAS, the present owner(s) of Property Nos. 24 and 28 of the Williams Canal Tax Ditch desires to add a 16.5 ft rights-of-way (ROW) turnaround at a Sta 12+50 Terminus on Prong 4; and

WHEREAS, the present owner(s) of Property No. 24 of the Williams Canal Tax Ditch desire to change the widths of the construction, major and minor maintenance rights-of-way (ROW) on the Main, Prong 4 (P4) and Prong 6 (P6) as follows:

Stations	Construction, Major & Minor Maintenance ROW (looking upstream)	
	Left	Right
<u>Main</u> 65+00 to 76+00	‡	40 ft TOB
<u>Prong 4</u> 0+00 to 12+50	35 ft TOB	‡
<u>Prong 6</u> 0+00 to 9+30	‡	35 ft TOB

‡All rights-of way extents for tax ditches not modified by this Court Order Change are to remain as previously recorded; and

WHEREAS, tax ditch rights-of-way include the cross-section of the ditch; and

WHEREAS, future construction, major and minor maintenance costs will not be materially affected; and



WHEREAS, the owner(s) of Property Nos. 24 and 28 of the Williams Canal Tax Ditch agrees to the following maintenance and cleanout responsibilities for the Main, Prong 4 (P4), Sub 1 of Prong 4 (S1P4), Prong 5 (P5), Prong 6 (P6), Prong 7 (P7) and Prong 8 (P8) as a result of this change:

- To be responsible for cleanout and expense of a portion of the Main that lies within the subdivision boundaries from Sta 62+60 to Sta 76+00, prior to development completion to the specifications of the Department of Natural Resources and Environmental Control, Conservation Program Section, Division of Watershed Stewardship, Drainage Program; and
- To be responsible for cleanout and expense of a portion of the Main that lies between Bayard Avenue at Sta 58+61 to Sta 62+60 (work to be performed from the right side looking upstream) in order to improve the outlet for the stormwater infrastructure prior to development completion to the specifications of the Department of Natural Resources and Environmental Control, Conservation Program Section, Division of Watershed Stewardship, Drainage Program; and
- To be responsible for cleanout and expense of a portion of Prong 4 (P4) that lies within the subdivision boundaries from Sta 0+00 to Sta 12+50 Terminus, prior to development completion to the specifications of the Department of Natural Resources and Environmental Control, Conservation Program Section, Division of Watershed Stewardship, Drainage Program; and
- To be responsible for cleanout and expense of a portion of Sub 1 of Prong 4 (S1P4) that lies within the subdivision boundaries from Sta 0+00 to Sta 7+00 Terminus, prior to development completion to the specifications of the Department of Natural Resources and Environmental Control, Conservation Programs Section, Division of Watershed Stewardship, Drainage Program; and
- To be responsible for cleanout and expense of a portion of Prong 5 (P5) that lies within the subdivision boundaries from Sta 0+00 to Sta 9+35, prior to development completion to the specifications of the Department of Natural Resources and Environmental Control, Conservation Programs Section, Division of Watershed Stewardship, Drainage Program; and
- To be responsible for cleanout and expense of a portion of Prong 6 (P6) that lies within the subdivision boundaries from Sta 0+00 to Sta 9+30, prior to development completion to the specifications of the Department of Natural Resources and Environmental Control, Conservation Programs Section, Division of Watershed Stewardship, Drainage Program; and

- To be responsible for cleanout and expense of a portion of Prong 7 (P7) that lies within the subdivision boundaries from Sta 0+00 to Sta 9+00, prior to development completion to the specifications of the Department of Natural Resources and Environmental Control, Conservation Programs Section, Division of Watershed Stewardship, Drainage Program; and
- To be responsible for cleanout and expense of a portion of Prong 8 (P8) that lies within the subdivision boundaries from Sta 0+00 to Sta 3+00, prior to development completion to the specifications of the Department of Natural Resources and Environmental Control, Conservation Programs Section, Division of Watershed Stewardship, Drainage Program; and
- A 15' Special Access Right-of-way (SAR) around entire stormwater management ponds as shown on the subdivision plans as Wet Pond 1, 3, 4 and 6 and labeled on page 6 of this document as SWP 1, 3, 4, and 6; and
- Any damage to forested buffers located within the tax ditch rights-of-way (ROW) on the Main, Prong 4 (P4), Sub 1 of Prong 4 (S1P4), Prong 5 (P5), Prong 6 (P6), Prong 7 (P7), and Prong 8 (P8) which may occur during maintenance activities will not be the responsibility of the Williams Canal Tax Ditch; and
- Any fees or costs for permits associated with the cleanout of the Main, Prong 4 (P4), Sub 1 of Prong 4 (S1P4), Prong 5 (P5), Prong 6 (P6), Prong 7 (P7), and Prong 8 (P8) prior to development competition will be the responsibility of the landowner; and

WHEREAS, the future maintenance (post development completion) is the responsibility of the Tax Ditch, spoil will be spread onsite within rights-of-way limits, unless the landowner agrees to pay disposal expense; and

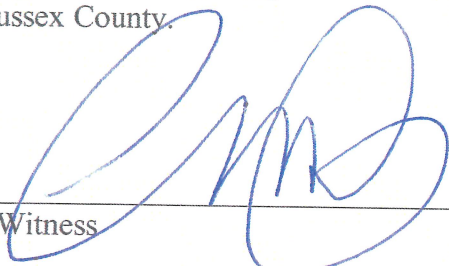
WHEREAS, crossing pipes within the development will be the responsibility of the landowner; and

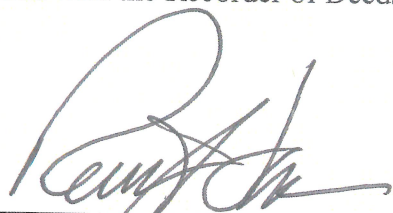
WHEREAS, repair of any damage which may occur to road crossings, curbing, etc. during tax ditch maintenance activities is the responsibility of the landowner; and

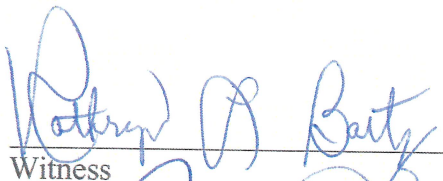
WHEREAS, the landowner of Property No. 24 shall be responsible for assuring that this Court Order Change is filed with the Recorder of Deeds for Sussex County; and

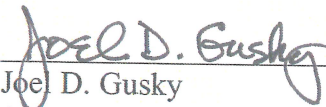
WHEREAS, no other landowners are involved;

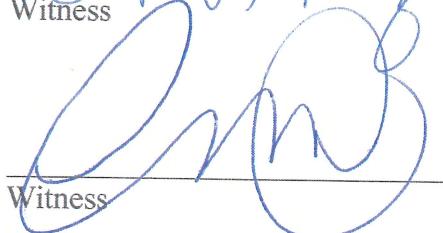
NOW, THEREFORE, we the undersigned, the landowners of Property Nos. 24, 28, 28A, 28B, and 29 of the Williams Canal Tax Ditch, hereby agree to the elimination of a portion of Prong 4; and I the undersigned, the authorized representative of Property Nos. 24, 28, and 28A agree to addition of a 16.5 ft maintenance turnaround rights-of-way at the Terminus of Prong 4 (P4); changes in rights-of-way on the Main, Prong 4 (P4), Sub 1 of Prong 4 (S1P4), Prong 5 (P5), Prong 6 (P6), Prong 7 (P7), and Prong 8 (P8); to the addition of special access rights-of-way (SAR) around stormwater ponds; to be responsible for cleanout prior to development completion of the Main, Prong 4 (P4), Sub 1 of Prong 4 (S1P4), Prong 5 (P5), Prong 6 (P6), Prong 7 (P7), and Prong 8 (P8) that lies within the subdivision boundaries; to be responsible for cleanout out prior to development completion of a portion of the Main from Sta 58+61 to Sta 62+60 (work to be performed from the right side looking upstream); to be responsible for repair of any damage which may occur to road crossings, curbing, etc. during maintenance activities; and to understand that any damage that may occur to any forested tree buffers that are located within the tax ditch rights-of-way will not be the responsibility of the Tax Ditch; landowner is responsible for any fees or permits required to perform tax ditch cleanout, as noted above and as shown on the drawing attached hereto and made a part of this agreement; and further agree to be responsible for assuring that this Court Order Change is filed with the Recorder of Deeds for Sussex County.

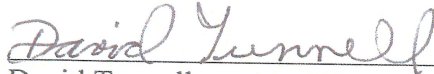
  
\_\_\_\_\_  
Witness

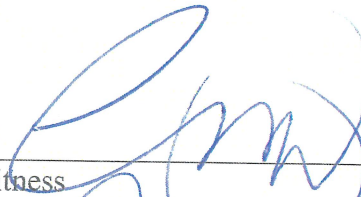
9-29-20   
\_\_\_\_\_  
Date Robert J. Harris, Managing Member  
Gulfstream Development LLC  
(prop. 24) 134-18.00-55.00  
(prop. 28) 134-19.00-5.00  
(prop. 28A) 134-19.00-6.00

  
\_\_\_\_\_  
Witness

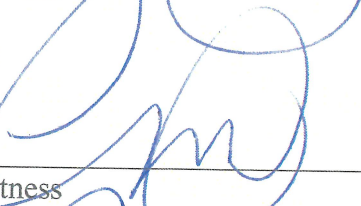
9/29/20   
\_\_\_\_\_  
Date Joe D. Gusky  
(prop. 28B) 134-19.00-5.01

  
\_\_\_\_\_  
Witness

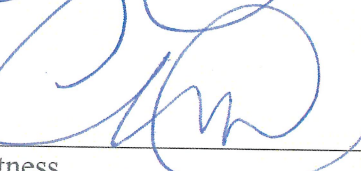
9/23/20   
\_\_\_\_\_  
Date David Tunnell  
(prop. 29) 134-18.00-41.00

  
\_\_\_\_\_  
Witness

9/23/20 Mary Mumford  
Date Mary Mumford  
(prop. 29) 134-18.00-41.00

  
\_\_\_\_\_  
Witness

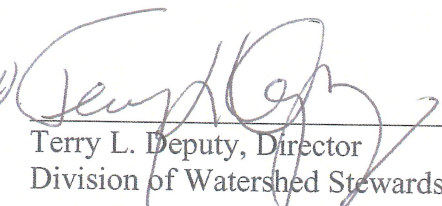
9/23/2020 Janie Miller  
Date Janie Miller  
(prop. 29) 134-18.00-41.00

  
\_\_\_\_\_  
Witness

9/28/20 Lorne Tunnell  
Date Lorne Tunnell  
(prop. 29) 134-18.00-41.00 *J.M.*

Due to the Coronavirus 2019 (COVID-19) Pandemic the Williams Canal Tax Ditch Manager(s) Norris Adkins and Jack Lynch were consulted by the Delaware Department of Natural Resources and Environmental Control, Division of Watershed Stewardship, Conservation Programs Section, Drainage Program and verbally approved of this document as written on July 9, 2020 and as such their signatures were not obtained.

APPROVED: DIVISION OF  
WATERSHED STEWARDSHIP

10-17-2020   
Date Terry L. Deputy, Director  
Division of Watershed Stewardship

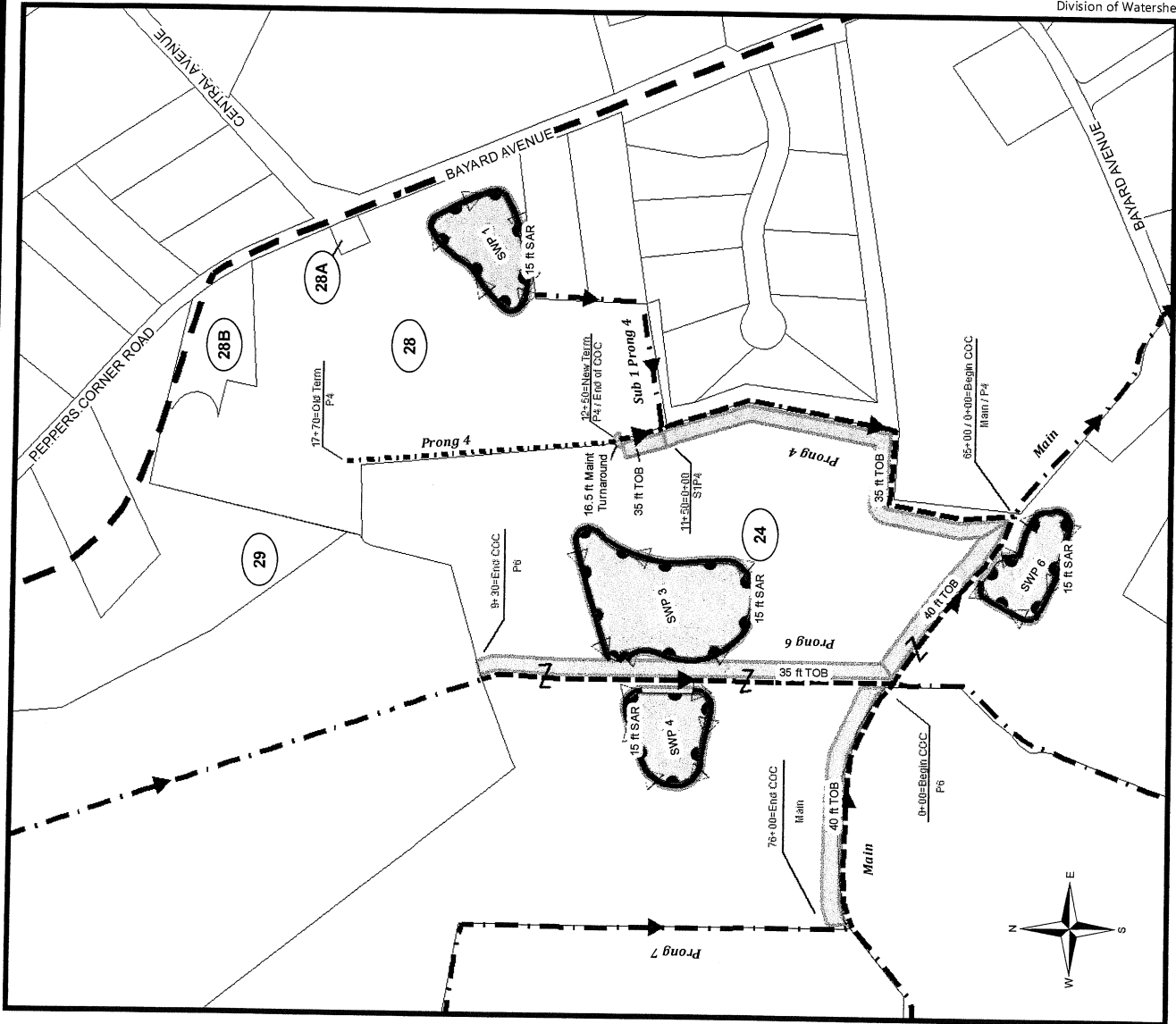
# Williams Canal Tax Ditch

Court Order Change No. 12 (Sussex County)

Change in Construction and Major Maintenance Rights-of-Way on the Main from Sta 65+00 to Sta 76+00 on the Right, Prong 4 (P4) from Sta 0+00 to Sta 12+50 on the Left and Prong 6 (P6) from Sta 0+00 to Sta 9+30 on the Right Side Looking Upstream. Elimination of Prong 4 from Sta 12+50 to term. Addition of Special Access Rights-of-Way (SAR).



Division of Watershed Stewardship



Property boundaries are from County sources and are approximate.

Date: July 1, 2020

Map Created by: John Inkster



Stations	Construction/Major & Minor Maintenance ROW (looking upstream)	
	Left	Right
Main 65+00 to 76+00	‡	40 ft TOB
P4 0+00 to 12+50	35 ft TOB	‡
P6 0+00 to 9+30	‡	35 ft TOB

‡ All rights-of-way extents for tax ditches not modified by this Court Order Change are to remain as previously recorded.

Tax Ditch ROW includes the cross-section of the ditch and are measured from the CL or TOB as noted in the table above.

Abbreviations	
COC	Court Order Change
ROW	Rights-of-Way
TOB	Top of Bank
CL	Center from ditch/pipe
ft	feet
Sta	Station
SAR	Special Access ROW
SWP	Storm Water Pond

### LEGEND

- Approximate Property Line
- Connected Areas
- Property Code (148A)
- Channel Name
- Tax Ditch Existing
- Tax Ditch Change
- Tax Ditch Eliminated
- Pond / Forebay
- Special Access ROW
- Tax Ditch ROW Change
- Watershed Existing



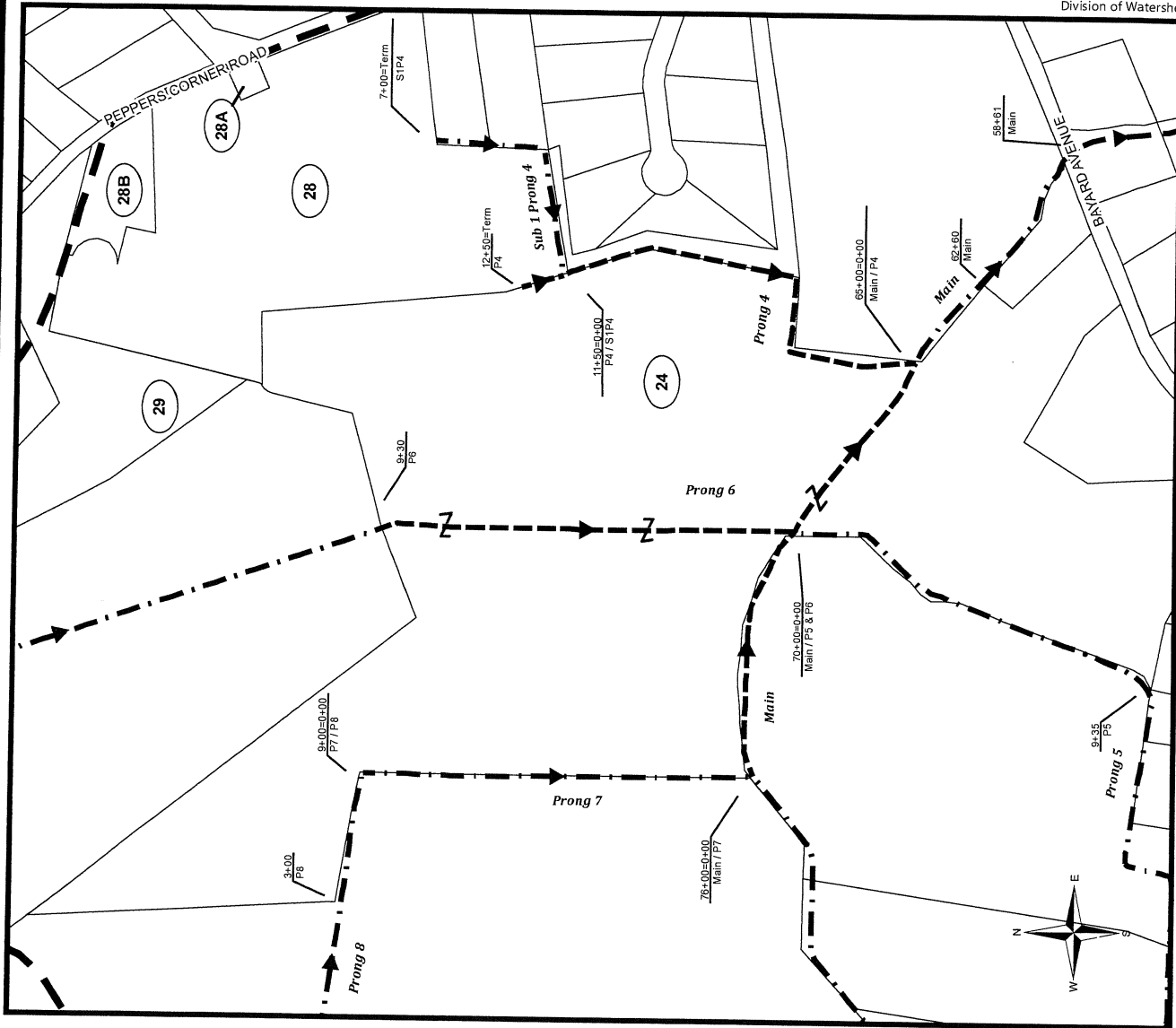
# Williams Canal Tax Ditch

Court Order Change No. 12 (Sussex County)



Stations for Main and Prongs

Division of Watershed Stewardship



Property boundaries are from County sources and are approximate.

Date: June 30, 2020

Map Created by: John Trinker



† All rights-of-way extents for tax ditches not modified by this Court Order Change are to remain as previously recorded.

Tax Ditch ROW includes the cross-section of the ditch and are measured from the CL or TOB as noted in the table above.

Abbreviations	
COC	Court Order Change
ROW	Rights-of-Way
TOB	Top of Bank
CL	Center from ditch/pipe
ft	Feet
Sta	Station
SAR	Special Access ROW
SWP	Storm Water Pond

### LEGEND

- Approximate Property Line
- Connected Areas
- Property Code (148A)
- Channel Name (Main)
- Tax Ditch Existing
- Tax Ditch Change
- Tax Ditch Eliminated
- Pond / Forebay
- Special Access ROW
- Tax Ditch ROW Change (60 ft TOB, 25 ft TOB)
- Watershed Existing



STATE OF DELAWARE  
DEPARTMENT OF NATURAL RESOURCES  
AND ENVIRONMENTAL CONTROL  
DIVISION OF WATERSHED STEWARDSHIP  
21309 BERLIN ROAD, UNIT #6  
GEORGETOWN, DELAWARE 19947

DRAINAGE PROGRAM

PHONE: (302) 855-1930  
FAX: (302) 677-7059

December 2, 2020

Jason Palkewicz  
Solutions IPEM  
303 North Bedford St.  
Georgetown, DE 19947

RE: Parcel #134-18.00-55.00, 134-19.00-5.00, 5.01, & 6.00, Sycamore Chase

Delaware's Department of Natural Resources and Environmental Control (DNREC), Drainage Program has reviewed the plans submitted by Solutions IPEM for the above noted properties located within the Williams Canal Tax Ditch Watershed.

My office has **no objection** to the works of improvement to these parcels with the following provisions:

- Conditions and responsibilities outlined in the Williams Canal Tax Ditch Court Order Change (COC) Number 12 are adhered to.

Please note that changes to the Williams Canal Tax Ditch as a result of this project per Court Order Change (COC) Number 12 became effective on October 13, 2020 (see attached copy of COC #12).

Consultants working on behalf of a landowner, are responsible for passing on this information to the landowner(s).

If you have any questions or concerns, please contact the Drainage Program at (302) 855-1930.

Sincerely,

*Melissa Hubert*

Melissa Hubert  
Tax Ditch Program Manager II

pc: Robert Harris, Gulfstream  
Jessica Watson, SCD



Valerie Thompson, SCD  
John Justice, SCD



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

July 20, 2020

Mr. Jason Palkewicz  
Solutions IPEM  
303 North Bedford Street  
Georgetown, Delaware 19947

**SUBJECT: Subdivision Plan Approval Letter  
Sycamore Chase**

Tax Parcel # 134-18.00-55.00, 134-19.00-5.00, 134-19.00-6.00  
SCR084-BAYARD ROAD  
SCR084-CENTRAL AVENUE  
SCR365-PEPPERS CORNER ROAD  
Baltimore Hundred, Sussex County

Dear Mr. Palkewicz:

The Department of Transportation has reviewed the Final Construction Plans dated October 25, 2019 (last revised April 9, 2020) for the referenced subdivision and determined that they are in general conformance with the Department's current regulations, specifications and standard details. By signing and sealing the plan set, the developer's engineer is responsible for accuracy of content. Any errors, omissions or required field changes will be the responsibility of the developer. This plan approval shall be valid for a period of **three (3) years**. If Notice To Proceed has not been issued by the South District Public Works office, then the plans must be updated to meet current requirements and resubmitted for review and approval.

**This letter does not authorize the commencement of construction. The following items will be required prior to the pre-construction meeting.**

1. A copy of the recorded Site Plan which is consistent with the DeIDOT "No Objection to Recordation" stamped plan and all appropriate signatures, seals, plot book and page number.
2. Three (3) copies of approved construction plans.
3. Executed agreements (i.e. construction, signal, letter).
4. An itemized construction cost estimate (only for entrance improvements).
5. Security in the approved amount for street construction, a 150% security for the entrance improvements based upon an approved itemized construction cost estimate and W-9 form (if providing escrow).

Sycamore Chase  
Mr. Palkewicz  
Page 2  
July 20, 2020

6. A letter of source of materials, work schedule, list of subcontractors, emergency telephone numbers and names of contact persons.

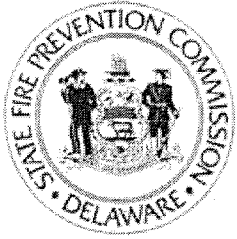
Please contact the South District Public Works office (302) 853-1340 concerning any questions you may have relative to the aforementioned required items.

Sincerely,



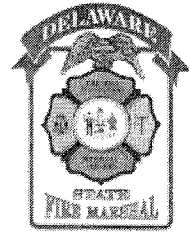
Susanne K. Laws  
Sussex County Review Coordinator  
Development Coordination

cc: J. Hutchins Haese, Charter Oak Investment, LLC  
Jamie Whitehouse, Sussex County Planning and Zoning  
Rusty Warrington, Sussex County Planning & Zoning  
Jessica L. Watson, Sussex Conservation District  
Gemez Norwood, South District Public Works Manager  
James Argo, South District Project Reviewer  
Robert Bragg, South District Subdivision Manager  
Jerry Nagyiski, Safety Officer Supervisor  
Chris Sylvester, Traffic Studies Manager  
Jennifer Pinkerton, Chief Materials & Research Engineer  
Linda Osiecki, Pedestrian Coordinator  
John Fiori, Bicycle Coordinator  
Mark Galipo, Traffic Development Coordination Engineer  
Tim Phillips, Maintenance Support Manager  
Dan Thompson, Safety Officer North District  
Amber Godwin, Entrance Permit Supervisor  
Jared Kauffman, DTC Planner  
James Kelley, JMT  
Wendy L. Polasko, Process and Quality Control Engineer  
Kevin Hickman, Sussex County Reviewer



**OFFICE OF THE STATE FIRE MARSHAL  
Technical Services**

22705 Park Avenue  
Georgetown, DE 19947



**SFMO PERMIT**

**Plan Review Number:** 2020-04-203385-MJS-03

**Tax Parcel Number:** 134-18.00-55.00

**Status:** Approved as Submitted

**Date:** 05/28/2020

**Project**

Sycamore Chase Subdivision

Bayard Road/Central Avenue

Sycamore Chase Property

Frankford DE 19945

**Scope of Project**

**Number of Stories:**

**Square Footage:**

**Construction Class:**

**Fire District:** 90 - Roxana Volunteer Fire Co

**Occupant Load Inside:**

**Occupancy Code:** 9601

**Applicant**

Jason Palkewicz  
303 N Bedford St  
Georgetown, DE 19947

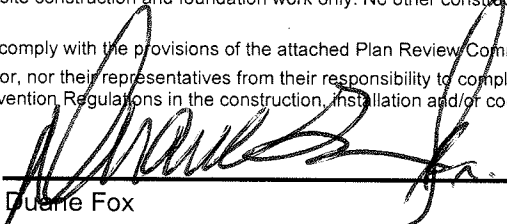
This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:

  
\_\_\_\_\_  
Duane Fox  
Fire Protection Specialist III

## FIRE PROTECTION PLAN REVIEW COMMENTS

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**Plan Review Number:** 2020-04-203385-MJS-03

**Tax Parcel Number:** 134-18.00-55.00

**Status:** Approved as Submitted

**Date:** 05/28/2020

### PROJECT COMMENTS

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**1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at [www.statefiremarshal.delaware.gov](http://www.statefiremarshal.delaware.gov). These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.

**1030 A** This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 500 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 1,000' on center.

#### RESIDENTIAL UNITS

**1040 A** This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 1,000 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 800' on center.

#### POOL HOUSE

**1050 A** This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 1,500 gpm @ 20 psi residual for 2 hours duration. Hydrant Spacing: 800' on center.

#### WASTE WATER PUMPING STATION

**1000** The site plans have been approved as submitted. The Office of DE State Fire Marshal has no objection to recordation.

**1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.

**1190 A** Separate plan submittal is required for the building(s) proposed for this project.

**\*\* POOL HOUSE AND WASTE WATER TREATMENT BUILDING**

**2710 A** The following items will be field verified by this Agency at the time of final inspection:

**1130 A** Provide a water flow test on the subdivision hydrant(s) once they have been installed, and before they are placed into service (DSFPR Part I, Section 4 4.2 and Part III, Chapter 3). Results are to be forwarded to this Agency for review.

**1232 A** All threads provided for fire department connections, to sprinkler systems, standpipes, yard hydrants or any other fire hose connections shall be uniform to those used by the fire department in whose district they are located. DSFPR Part III, Section 1.1.5.1.

**1132 A** Fire hydrants shall be color coded in accordance with the DSFPR, Part III, Section 3 4. This includes both color coding the bonnet and 2" reflective tape around the barrel under the top flange.

**1332 A** The distance between a fire hydrant and the fire lane shall not be greater than seven feet (DSFPR Part V, Chapter 5, Section 5 10.4).

**1432 A** The steamer connection of all fire hydrants shall be so positioned so as to be facing the street or fire lane. (DSFPR Regulation 705, Chapter 5, Section 10). The center of all hose outlet(s) on fire hydrants shall be not less than 18 inches above finalgrade (NFPA 24, Section 7.3.3).

**1501 A** If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.

## ENGINEERING DEPARTMENT

ADMINISTRATION (302) 855-7718  
AIRPORT & INDUSTRIAL PARK (302) 855-7774  
ENVIRONMENTAL SERVICES (302) 855-7730  
PUBLIC WORKS (302) 855-7703  
RECORDS MANAGEMENT (302) 854-5033  
UTILITY ENGINEERING (302) 855-7717  
UTILITY PERMITS (302) 855-7719  
UTILITY PLANNING (302) 855-1299  
FAX (302) 855-7799



# Sussex County

DELAWARE  
sussexcountyde.gov

HANS M. MEDLARZ, P.E.  
COUNTY ENGINEER

MICHAEL E. BRADY  
DIRECTOR OF PUBLIC WORKS

May 27, 2020

Mr. Jason Palkewicz, PE  
303 North Bedford Street  
Georgetown, DE 19947

REF: **SYCAMORE CHASE  
SUSSEX COUNTY UNIFIED SANITARY SEWER DISTRICT – MILLER  
CREEK AREA  
SUSSEX COUNTY TAX MAP NUMBERS 1-34-18.00-55.00 – CLASS-1  
AGREEMENT NO. 1110**

Dear Mr. Palkewicz:

The above referenced project was approved on May 20, 2020 and one (1) set of the approved plans are enclosed. This approval is valid for three (3) years, unless prior to expiration of that three (3) year period, a time extension is requested and approved by the Department. Plans granted an extension beyond the three (3) period will be required to meet updated standards and specifications.

Also, it is your responsibility to secure approvals and/or permits that may be required by other regulatory agencies.

Please contact Mr. Gary Fleetwood of this Division to initiate pre-construction procedures for private roads and Mr. Keith Bryan in the Department's Division of Utility Engineering to initiate pre-construction procedures for sanitary sewer.

Should you have any questions, please do not hesitate to contact me.

Sincerely,

SUSSEX COUNTY ENGINEERING DEPARTMENT

Chris Calio  
Planning Technician

cc: Mr. Keith Bryan, w/2 enclosures  
Public Works Field File, w/2 enclosures  
Owner/Developer







December 29, 2020

Mr. Jack Haese  
c/o Solutions IPEM  
303 North Bedford Street  
Georgetown, DE 19947

**RE: Sycamore Chase**

Dear Mr. Haese:

A Sediment and Stormwater Management Plan has been reviewed for compliance with the Sediment and Stormwater Regulations and is approved with conditions (see attached). Enclosed herein please find a copy of the approved application form and approved plan sets. Please retain a copy for your use and provide the contractor with a copy to be retained onsite at all times. Failure to keep an approved plan onsite is a violation of the approved plan.

Approval of a Sediment and Stormwater Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.

This plan approval pertains to compliance with the *Delaware Sediment and Stormwater Regulations*. Please understand that the approval of this plan does not relieve you from complying with any and all federal, state, county, or municipal laws and regulations.

As of January 1, 2014, the Sussex Conservation District began collecting financial guarantees to ensure the construction of stormwater management practices is accomplished in accordance with the approved sediment and stormwater plan. Please refer to the SCD Policy on Bonds located on our website at [Sussexconservation.org](http://Sussexconservation.org). If you have any questions concerning the aforementioned, please do not hesitate to call 302 856-7219.

Sincerely,  
*Jessica Watson*

Jessica Watson queue  
Program Manager

JW/jmg

cc: Janelle Cornwell

## CONDITIONS OF APPROVAL

### NOTIFICATION

1. This approved plan will remain valid for 5 years from the date of this approval. If construction does not begin within five years, the approved plan will be considered to have expired, and must be resubmitted to the District for a new review. In addition, if work is not completed within the five-year timeframe, the District must be contacted and a request for an extension submitted. Depending on regulation changes, a new plan may need to be submitted to ensure that all stormwater management facilities are constructed to the most recent standards.
2. Submittal of the Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activities together with this approval of the detailed Sediment and Stormwater Plan provide this project with Federal permit coverage to be authorized to discharge storm water associated with construction activities. It is the owner's responsibility to ensure that permit coverage remains valid throughout construction by submitting the NOI fee annually as requested. The developer is responsible for weekly self-inspection reporting to be retained onsite.
3. Notify the Sussex Conservation District Sediment and Stormwater Management Section of your intent to begin construction in writing five (5) days prior to commencing. Failure to do so constitutes a violation of the approved plan.

### CHANGES

4. This project is to be undertaken in accordance with the plans submitted and as approved. If changes are necessary at any time during the completion of the project, submit revised plans, prior to further construction, to the Sussex Conservation District Sediment and Stormwater Program for review and approval of the revision.
5. Should ownership change during the construction period, a revised plan must be submitted for approval showing the new owner's signature on the owner's certification. In addition, a Transfer of Authorization form must be submitted to DNREC to transfer Federal permit coverage to the new owner.

### CONSTRUCTION AND CLOSEOUT

6. A pre-construction meeting must take place before any land disturbing activity begins. The meeting may take place on site and be attended by the owner, contractor, design consultant, Certified Construction Reviewer and Sussex Conservation District Sediment and Stormwater Program Construction Reviewer. The owner or the owner's designee shall contact the Sussex Conservation Construction Reviewer to schedule the pre-construction meeting.
7. Keep available onsite, during all phases of construction, a copy of the approved Sediment and Stormwater Management Plan.
8. Keep available onsite, during all phases of construction, copies of the Developers weekly self-inspection reports and/or the CCR Reports.
9. Any sediment transported off-site to roads or road rights-of-way including ditches shall be removed. Any damage to ditches shall be repaired and stabilized to original condition.
10. Grading shall not impair surface drainage, create an erosion hazard, or create a source of sediment to any adjacent watercourse or property owner.
11. Failure to implement the permanent stormwater management practices as mentioned herein constitutes a violation of the conditions of this plan approval; it may result in the suspension or revocation of building permits or grading permits issued by the local jurisdiction; and it may result in legal action by the DNREC to bring the site into compliance with the approved Sediment and Stormwater Management Plan and the *Delaware Sediment and Stormwater Regulations*.
12. The permanent stormwater management facility or facilities must be constructed and accepted by the Sussex Conservation District Sediment and Stormwater Program prior to final closeout of the project site. Post construction verification documentation of the stormwater management facility or facilities must be completed as soon as construction of the facility or facilities is complete so that any necessary modifications may be made during the construction period.



STATE OF DELAWARE  
DEPARTMENT OF NATURAL RESOURCES &  
ENVIRONMENTAL CONTROL  
DIVISION OF WATER  
89 KINGS HIGHWAY  
DOVER, DELAWARE 19901

Surface Water Discharges Section  
Construction Permits Branch

Telephone: (302) 739-9946  
Facsimile: (302) 739-8369

May 11, 2020

Mr. Jack Haese  
Charter Oak Investment, LLC  
4938 Hampden Lane, Suite 324  
Bethesda, MD 20814

Ref: Sycamore Chase Subdivision  
State Wastewater Construction Permit No. WPCC 3023/20

Dear Mr. Haese:

Please find enclosed a copy of the construction permit that was issued for the referenced project.

We expect the permitted construction to be completed within the permit term. If the construction cannot be completed by the permit expiration date, a one-time, no-cost two-year permit extension is available, as long as the request is received in writing prior to the expiration date and as long as the scope of the project has not changed significantly, as determined by the Department.

Per Part II.A.2.a of the enclosed permit, notify the Department of any changes to the construction authorized therein. Per Part II.B.1, submit a set of "as-built" plans of the constructed wastewater facilities within ninety (90) days of construction completion. The as-built plans must be signed and sealed by a Professional Engineer licensed in Delaware.

If you have any questions, please contact me at (302) 739-9351 or via email at [Keith.Kooker@delaware.gov](mailto:Keith.Kooker@delaware.gov).

Sincerely,

A handwritten signature in cursive script that reads "Keith Kooker".

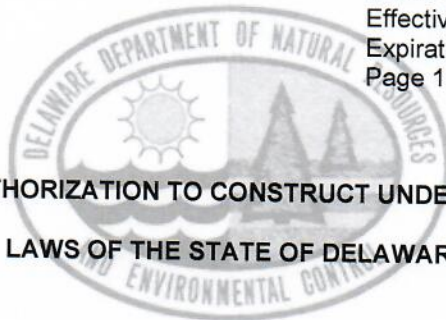
Keith Kooker, P.E.  
Environmental Finance

Email Enclosure:

1. Jason Palkewicz – Solutions IPEM ([JPalkewicz@solutionsipem.com](mailto:JPalkewicz@solutionsipem.com))
2. Mike Brady – Sussex Co. Public Works Director ([MBrady@sussexcountyde.gov](mailto:MBrady@sussexcountyde.gov))
3. Jordan Dickerson – Sussex Co. Pub. Wks. ([Jordan.Dickerson@sussexcountyde.gov](mailto:Jordan.Dickerson@sussexcountyde.gov))
4. Keith Bryan – Sussex County Utility Construction ([KBryan@sussexcountyde.gov](mailto:KBryan@sussexcountyde.gov))
5. Lauren Devore – Sussex Co. Planning ([Lauren.Devore@sussexcountyde.gov](mailto:Lauren.Devore@sussexcountyde.gov))

*Delaware's good nature depends on you!*





**AUTHORIZATION TO CONSTRUCT UNDER THE  
LAWS OF THE STATE OF DELAWARE**

**PART I**

1. In compliance with the provisions of 7 Del. C., §6003,

Sussex County Council  
P.O. Box 589  
Georgetown, DE 19947

and

Charter Oak Investment, LLC  
4938 Hampden Lane, Suite 324  
Bethesda, MD 20814

**are authorized, jointly and individually, to construct facilities consisting of the following:**

Approximately six thousand eight hundred and ten linear feet (6,810 LF) of eight (8) inch diameter gravity sewer, sixty-seven linear feet (67 LF) of ten (10) inch diameter gravity sewer, thirty-four (34) gravity manholes, a duplex submersible pump station, one thousand nine hundred and fifty linear feet (1,950 LF) of four (4) inch diameter force main, air release valves, cleanouts and related appurtenances to serve one hundred and four (104) single family homes and a pool located on the west side of Bayard Road at the Central Avenue intersection south of Ocean View in Sussex County, Delaware. The proposed sanitary sewer will discharge to a Sussex County twenty-four (24) inch diameter force main along Bayard Road just west of the Lantern Road intersection.

**The subject construction shall be in accordance with plans and specifications as described below and limitations, requirements and other conditions set forth in Parts I, II and III hereof.**

2. The plans, specifications, municipality standards and other documents submitted with the permit application consist of the following, which are incorporated by reference and made part of this authorization:

Eighteen (18) drawings\*\* prepared by Solutions IPEM, titled "Sycamore Chase", signed and stamped by Jason Palkewicz, dated 10-15-19 with a latest revision date of 5-7-20 and the current Sussex County Standard Specifications for the Design and Construction of Ordinance 38 Projects.

\*\*Drawings include:  
Sheet 1 – Cover Sheet

*Greg Pope*

\_\_\_\_\_  
Greg Pope, Engineer VI  
By Agreement with Surface Water Discharges Section  
Division of Water  
State of Delaware Department of Natural Resources  
and Environmental Control

05/22/2020  
\_\_\_\_\_  
Date Signed

Sheet 2 – General Notes  
Sheet 3 – Existing Conditions Plan  
Sheet 4 – Index Plan, latest revision  
Sheet 23 – Sanitary Sewer Index Plan  
Sheets 24-28 – Sanitary Sewer Plans A-E  
Sheets 29-30 – Sanitary Sewer Profiles 1-2  
Sheet 31 – Force Main Profile  
Sheets 32-33 – Sanitary Sewer Details 1-2  
Sheet 34 – Pump Station Site Plan  
Sheets 35-36 – Pump Station Details 1-2

3. The liquid waste will be discharged through an existing wastewater collection and transmission system to the South Coastal Regional Wastewater Treatment Facility, which discharges treated wastewater to the Atlantic Ocean, in accordance with NPDES Permit No. DE 0050008.

A. Effluent Limitations on Pollutants Attributable to Industrial Users

The use of the constructed facility is conditioned on meeting all applicable pretreatment standards under 40 CFR, Part 403, or toxic pollutant discharge limitations under Section 307(a) of the Clean Water Act of 1977, PL 95-217.

B. Flow and Usage Limitations

This permit authorizes a daily average discharge of N/A gallons\*. The flow in the system shall be measured at least every N/A.

The estimated average daily discharge for the subject project is 26,250 GPD, which is based on 104 single family homes and 1 EDU for a pool house at 250 GPD/EDU.

\* This permit authorizes only the construction of the wastewater collection and conveyance facilities referenced herein.

C. Monitoring and Reporting (When Required)

1. Representative sampling of the volume and nature of the monitored discharge shall be conducted at the request of the Division of Water.

2. Reporting

Monitoring results shall be reported to the:  
Delaware Department of Natural Resources and Environmental Control  
Division of Water, Surface Water Discharges Section  
89 Kings Highway  
Dover, DE 19901  
302-739-9946

3. Definitions

- a. "Daily average flow" means the total flow during a calendar month divided by the number of days in the month that the facility was operating.
- b. "Daily maximum flow" means the highest total flow during any calendar day.



- c. "Daily Peak Flow" means the flow which can be safely transported within the sewage system without causing an overflow or a backup into the building(s) or residence(s).
- d. "Bypass" means the intentional diversion of wastes from any portion of a treatment facility.
- e. "Measured flow" means any method of liquid volume measurement, the accuracy of which has been previously demonstrated in engineering practice, or for which a relationship to absolute volume has been obtained.
- f. "Estimate" means a value to be based on a technical evaluation of the sources contributing to the discharge including, but not limited to, pump capabilities, water meters and batch discharge volumes.

4. Recording of Results

For each measurement or sample taken pursuant to the requirements of this permit, the permittee shall record the following information:

- a. The date, exact place and time of sampling or measurement;
- b. The person(s) who performed the sampling and/or measurement;
- c. The date(s) and time(s) analysis was performed;
- d. The individual(s) who performed each analysis;
- e. The analytical technique(s) or method(s) used;
- f. The results of each analysis; and
- g. Appropriate quality assurance information.

5. Records Retention

All records and information resulting from the monitoring activities required by this permit, including all records of analyses performed, all records of instrument calibration and maintenance and all charts from continuous monitoring instruments, shall be retained for three (3) years. This period of retention shall be extended automatically during the course of any unresolved litigation regarding the regulated activity or regarding control standards applicable to the permittee, or as requested by the Department.

6. Test Procedures

Test procedures for the analysis of pollutants shall conform to the applicable test procedures identified in 40 CFR, Part 136, unless otherwise specified in this permit.

END OF PART I

**PART II**

A. Management Requirements

1. Duty to Comply

The permittee must comply with the terms and conditions of this permit. Failure to do so constitutes a violation of this permit, which is grounds for enforcement and the imposition of penalties as provided in 7 Del.C., Chapter 60, grounds for permit termination or loss of authorization to discharge or operate pursuant to this permit, grounds for permit revocation and reissuance or permit modification, or denial of a permit renewal application.

2. Notification

a. Changes in Authorized Activities

The permittee shall notify the Department of any proposed change in the activity authorized herein, of any proposed substantive change in the operation of the facility or facilities authorized herein, or of any anticipated facility expansions, production increases, or process modifications. Notification is required only when such alteration, addition or change may justify the inclusion of conditions that are absent or different from those specified in this permit. This includes, for example, the construction of additional wastewater collection, transmission or treatment facilities and changes which will result in new, different, or increased discharges of pollutants. Following such notice, the Department may require the submission of a new permit application and this permit may be reopened and modified to address the proposed changes.

b. Noncompliance

If, for any reason, the permittee does not comply with or will be unable to comply with any limitation specified in this permit, the permittee shall provide the Department with the following information, in writing, within five (5) days of becoming aware of such condition:

A description of the discharge and cause of noncompliance; and

The period of noncompliance, including exact dates and times; or, if not corrected, the anticipated time the noncompliance is expected to continue, and steps being taken to reduce, eliminate and prevent recurrence of the noncomplying discharge.

3. Facilities Operation

The permittee shall, at all times, maintain in good working order and operate as efficiently as possible all collection and treatment facilities and systems (and related appurtenances) installed or used by the permittee to achieve compliance with the terms and conditions of this permit. Proper operation and maintenance includes, but is not limited to, effective management, adequate operator staffing and training and adequate laboratory process controls, including appropriate quality assurance procedures.



4. Adverse Impact

The permittee shall take all reasonable steps to minimize any adverse impact to waters of the State resulting from noncompliance with this permit, including such accelerated or additional monitoring as necessary to determine the nature and extent of the noncomplying discharge.

5. Bypassing

Any bypass or intentional diversion of waste streams from the facilities authorized by this permit, or any portion thereof, is prohibited, except (i) where unavoidable to prevent loss of human life, personal injury or severe property damage, or (ii) where excessive storm drainage or run-off would damage any facilities necessary for compliance with the effluent limitations and prohibitions of this permit. The permittee shall promptly notify the Department, in writing, of each such diversion or bypass.

6. Removed Substances

Solids, sludges, filter backwash, or other pollutants removed in the course of treatment or control of wastewater shall be disposed of in a manner such as to prevent any pollutant from such materials from entering the surface water or groundwater.

B. Responsibilities

1. Within 90 days following the completion of construction, the permittee shall submit to the Department an "as-built" set of plans of the facility or facilities constructed, bearing the seal and signature of a licensed Professional Engineer registered in the State of Delaware.

2. Right of Entry

The permittee shall allow the Secretary of the Department of Natural Resources and Environmental Control, or his authorized representative(s), upon the presentation of credentials:

- a. To enter upon the permittee's premises for inspection of any records, flow measurements, construction or other activity authorized by this permit or any condition required under the terms of this permit; and
- b. At reasonable times, to have access to and to copy any records required to be kept under the terms and conditions of this permit; to inspect any monitoring equipment or monitoring method required in this permit; and
- c. To sample any discharge.

3. Transferability

This permit is transferable with the Department's consent, provided that an intention to transfer accompanied by a copy of the permit is provided to the Department, signed by both the transferor and the transferee at least ten (10) days prior to the actual transfer.

4. Availability of Reports

All reports submitted with the application and those reports required under the terms of this permit shall be available for public inspection at the offices of the Department of Natural Resources and Environmental Control. Knowingly making any false statement on any such report may result in the imposition of criminal penalties as provided for in

7 Del. C., §6013. Any person who causes or contributes to the discharge of a pollutant into State waters either in excess of any conditions specified in this permit or in absence of a specific permit condition shall report such an incident to the Department required under 7 Del. C. §6028.

5. Permit Modification

This permit may be modified, suspended or revoked in whole or in part during its term for cause including, but not limited to, the following:

- a. Violation of any term or condition of this permit;
- b. Obtaining this permit by misrepresentation or failure to fully disclose all relevant facts;
- c. A change in any condition that requires either a temporary or permanent reduction or elimination of the authorized activity; or
- d. Information that the permitted activity poses a threat to human health or welfare, or to the environment.

6. Oil and Hazardous Substance Liability

Nothing in this permit shall be construed to preclude the institution of any legal action or relieve the permittee from any responsibilities, liabilities, or penalties to which the permittee is or may be subject to under 7 Del. C., Chapter 60.

7. State Laws

Nothing in this permit shall be construed to preclude the institution of any legal action or relieve the permittee from any responsibilities, liabilities, or penalties established pursuant to any applicable State law or regulation.

8. Property Rights

The issuance of this permit does not convey any property rights in either real or personal property, or any exclusive privileges, nor does it authorize any injury to private property or any invasion of personal rights, nor any infringement of Federal, State or local laws or regulations.

9. Severability

The provisions of this permit are severable. If any provision of this permit is held invalid, or if the application of any provision of this permit to any circumstances is held invalid, the application of such provision to other circumstances, and the remainder of this permit, shall not be affected thereby.

END OF PART II



**PART III**

A. Special Conditions

1. This permit authorizes only the construction of the wastewater facilities and related work referenced herein.
2. If well pointing is required during construction, the wells must be installed by a licensed well driller, and a permit to construct such wells must first be obtained from the Well Permits Branch of the Water Supply Section.
3. All construction shall be in agreement with plans and specifications submitted under this project and approved by the Department of Natural Resources and Environmental Control.
4. All construction shall be in accordance with Ten States Standards and other applicable local utility construction specifications and standards.
5. Connections or additions to the proposed system, other than those proposed on the plans, will not be allowed without prior approval from the Department.

END OF PART III



April 1, 2020

Jason Palkewicz, P.E.  
Solutions, IPEM  
303 North Bedford Street  
Georgetown, DE 19947

Re: Sycamore Chase

Dear Mr. Palkewicz:

The Division of Public Health Office of Engineering has reviewed the plans for Sycamore Chase. The plans consist of:

1. Transmittal letter dated March 30, 2020.
2. One copy of the plans entitled "Sycamore Chase" dated October 15, 2019 and revised March 5, 2020.

The water distribution plans are acceptable as submitted. The proposed plans indicate that Sycamore Chase will be an Artesian Water Company, Inc. owned consecutive system that purchases water from Tidewater Utilities, Inc. Bethany Bay/Ocean View District, PWS # DE0000221. An Approval to Construct will not be issued until a new water system application is accepted by the Capacity Development section of the Office of Drinking Water (ODW). It is my understanding that Artesian Water Company, Inc. will submit the new water system application. For more information about ODW Capacity Development's review for new water systems contact Ashley Kunder at (302) 741-8590.

If you have any questions or concerns, please contact me at (302) 741-8646.

Sincerely,

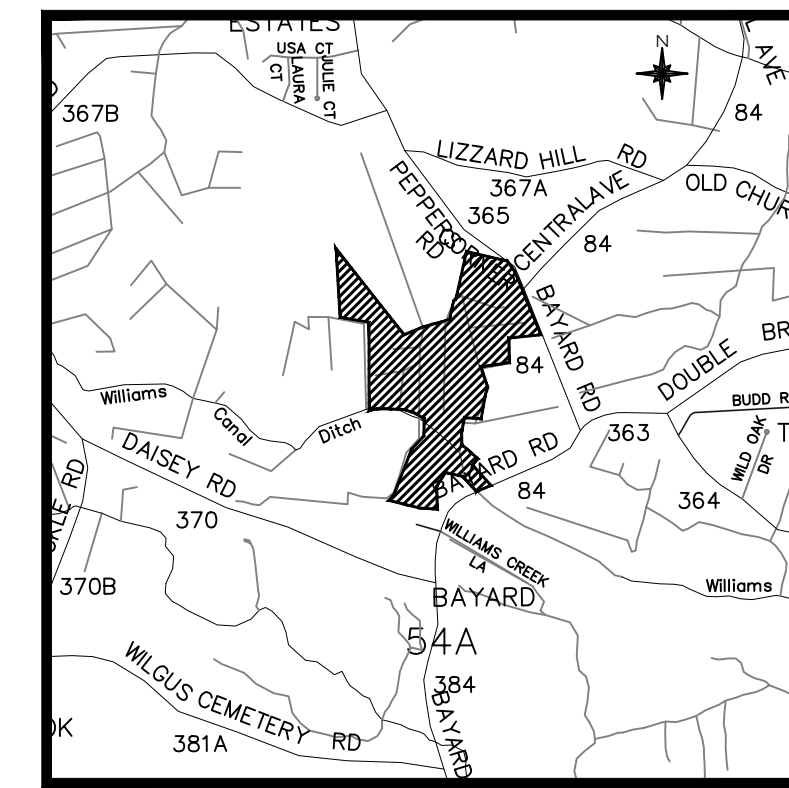
A handwritten signature in black ink, appearing to read "William J. Milliken, Jr.".

William J. Milliken, Jr.  
Engineer III  
Office of Engineering

Cc: Kathy Garrison, Artesian Water Company, Inc.  
Alexis Virdin-Gede, Tidewater Utilities, Inc.  
Ashley Kunder, ODW Capacity Development

# RECORD PLAT FOR SYCAMORE CHASE

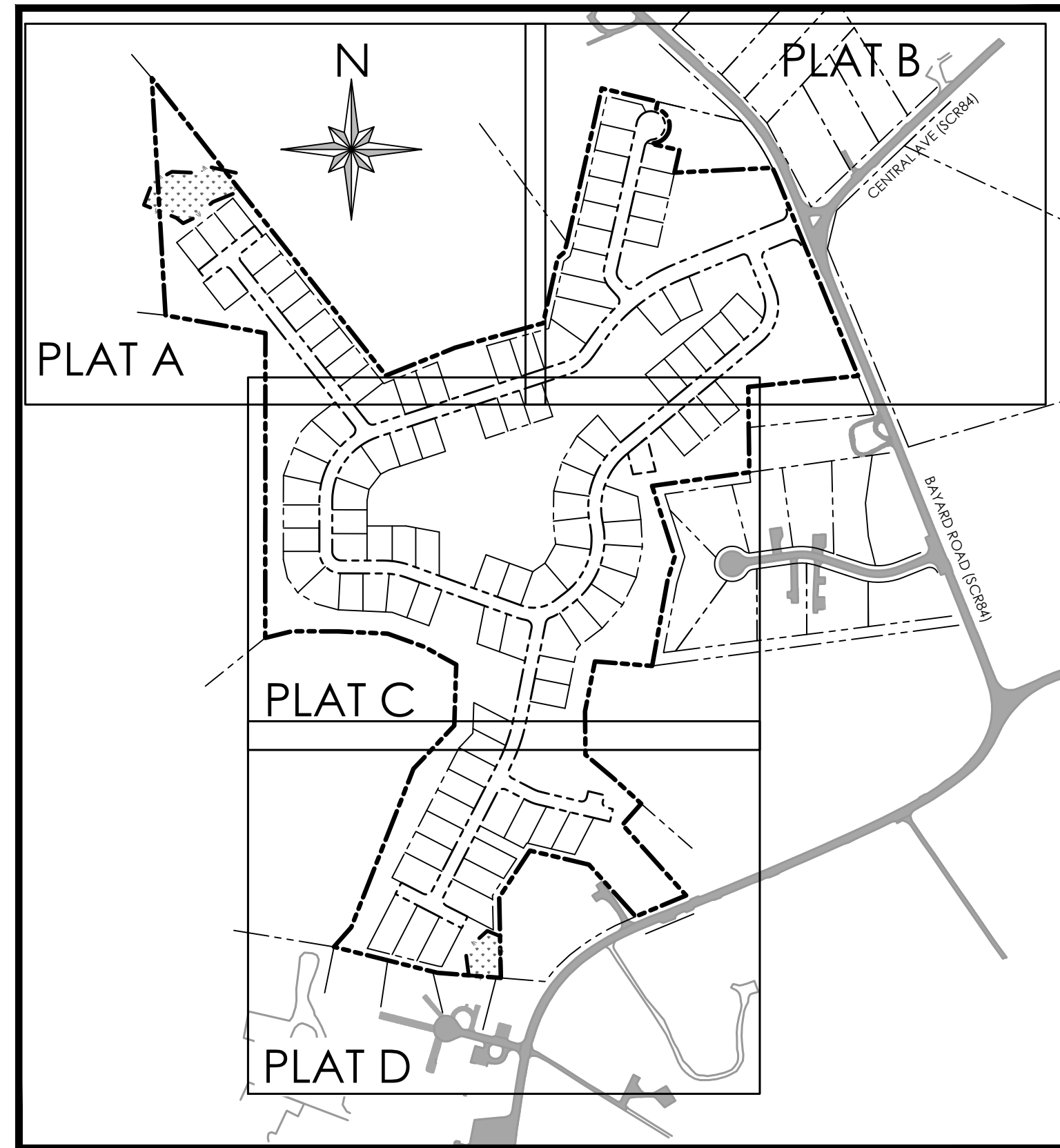
COUNTY PROJECT REFERENCE NO. 2018-24  
SUSSEX COUNTY, DELAWARE  
FOR  
CHARTER OAK INVESTMENT, LLC



VICINITY MAP  
SCALE: 1" = 2,000'

### SITE DATA:

- OWNER/DEVELOPER: GULFSTREAM DEVELOPMENT, LLC  
27 ATLANTIC AVENUE  
OCEAN VIEW, DE 19970  
PHONE: 301-539-6178  
CONTACT: ROBERT HARRIS
- ENGINEER SURVEYOR: SOLUTIONS IPEN  
303 NORTH BEDFORD STREET  
GEORGETOWN, DE 19947  
PHONE: 302-297-9215  
CONTACT: JASON PALKIEWICZ, PE
- TAX PARCEL NUMBERS: 134-18.00-55.00  
134-19.00-5.00  
134-19.00-6.00
- GROSS ACREAGE = 55.35 ± ACRES
- EXISTING ZONING: AR-1
- PROPOSED BUILDING SETBACKS:  
FRONT: 25' (15' CORNER)  
SIDE: 10'  
REAR 10'
- PRESENT USE: AGRICULTURAL
- PROPOSED USE: RESIDENTIAL SUBDIVISION
- SEWER PROVIDER: SUSSEX COUNTY - UNIFIED SANITARY SEWER DISTRICT
- WATER PROVIDER: ARTEISAN WATER COMPANY
- TOTAL NUMBER OF LOTS:  
EXISTING = 3  
PROPOSED = 104
- PEPPERS CORNER/BAYARD ROAD SPEED LIMIT = 50 MPH
- INVESTMENT LEVEL = 3 & 4
- FLOOD ZONE:  
THE PROPERTY IS LOCATED WITHIN FLOOD ZONE X (UNSHADED)-  
AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE  
FLOODPLAIN, PER FIRM MAP NUMBER 10003C0495J, MAP REVISED  
MARCH 16, 2015.



SITE  
1" = 400'

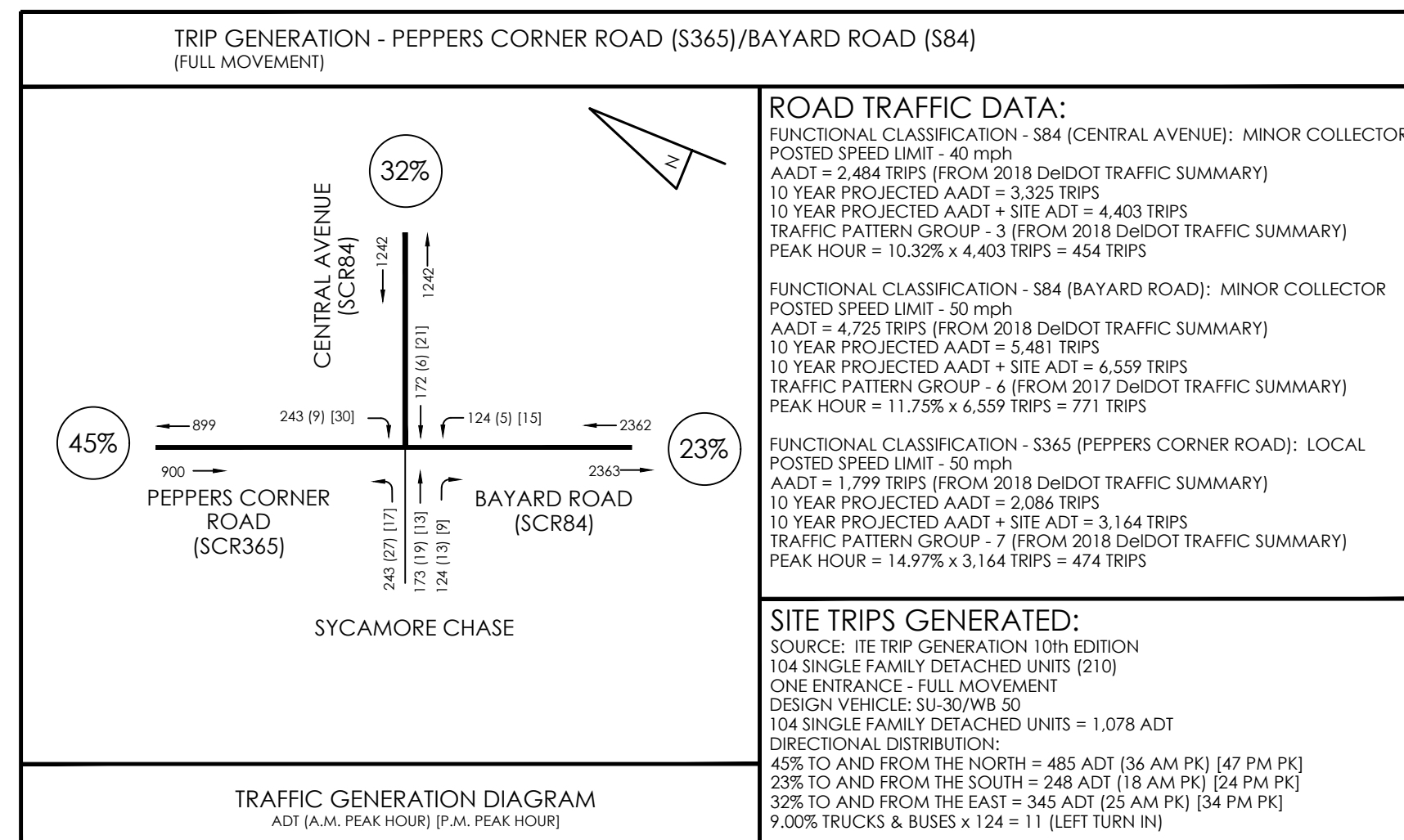
	EXISTING	PROPOSED
CAPPED PIN SET	N/A	•
PROPERTY LINE	—	—
EASEMENT LINE	---	---
EASEMENT	N/A	▨
SETBACK LINE	N/A	---
EDGE OF WETLAND	ψ	N/A
WETLAND HATCH	▨	N/A
UNMARKED POINT	o	N/A
IRON PIPE FOUND	o IPF	N/A
CONCRETE MONUMENT FOUND	o CMF	N/A
CAPPED IRON PIPE FOUND	o IPCF	N/A
WOODLINE (APPROXIMATE)	N/A	~
SIDEWALK	N/A	▨
TRAIL	N/A	▨
MULTI-MODAL PATH	N/A	▨

### AREAS:

GROSS ACREAGE = 55.35 ± ACRES  
LOT AREA = 21.238AC.±  
R.O.W. AREA = 6.515 AC.±  
DELDOT R.O.W. AREA = 0.193 AC.±  
OPEN SPACE AREA = 27.424 AC.±  
27.404 / 55.35 = 49.51%  
OPEN SPACE A = 2.109 AC.±  
OPEN SPACE B = 17.965 AC.±  
OPEN SPACE C = 7.350 AC.±  
% OF IMPERVIOUS COVER = 10.90%  
EXISTING WOODLANDS = 12.48 ± AC  
WOODLANDS TO REMAIN = 5.29 ± AC  
WOODLANDS TO BE REMOVED = 7.19 ± AC  
EXISTING NON-TIDAL WETLANDS = 0.96 ± AC

### SHEET INDEX

- COVER SHEET
- NOTES
- RECORD PLAT A
- RECORD PLAT B
- RECORD PLAT C
- RECORD PLAT D
- ROAD SECTIONS AND LANDSCAPING DETAILS



SUSSEX CONSERVATION DISTRICT APPROVAL:

APPROVED BY:

SECRETARY OF PLANNING COMMISSION DATE

PRESIDENT OF COUNTY COUNCIL DATE

WETLAND STATEMENT

I, JAMES C. McCULLEY, SPWS, STATE THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED UPON THIS PLAN HAVE BEEN DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, ATLANTIC GULF COAST REGIONAL SUPPLEMENT, REGULATIONS AND SUPPLEMENTAL GUIDANCE (33 CFR 328.3(c)(8)), WATERS OF THE U.S. DEFINITION/CECW-OR, 10-7-1991. Questions and Answers on the 1987 COE Manual/CECW-OR, 9-26-1990, RGL 90-7/CECW-OR, 3-4-1992, Clarification and Interpretation of the 1987 Manual. THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES.

JAMES C. McCULLEY, SENIOR PROFESSIONAL WETLAND SCIENTIST No. 471 WATERSHED ECO, LLC DATE

### OWNER'S CERTIFICATION

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN. THAT THE PLAN WAS MADE AT MY DIRECTION AND I ACKNOWLEDGE THE SAME TO BE MY ACT. AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. I FURTHERMORE UNDERSTAND AND ACKNOWLEDGE THAT IT IS THE RIGHT OF THE SUSSEX CONSERVATION DISTRICT AND/OR ITS DELEGATED INSPECTION AGENCIES TO CONDUCT ON-SITE INSPECTIONS.

Name: DATE

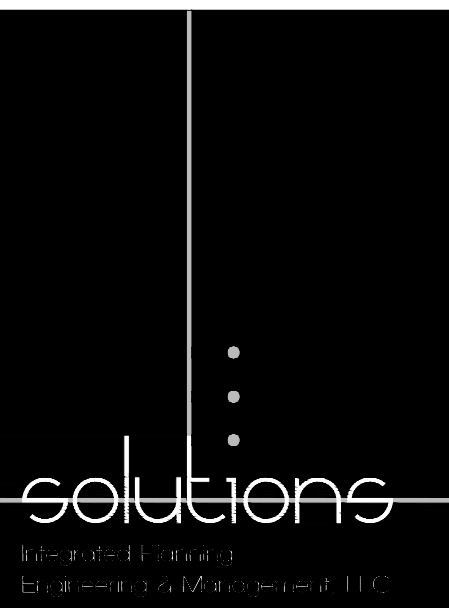
Title: DATE

### SURVEYOR'S CERTIFICATION

THIS PLAT AND SURVEY WERE PERFORMED FOR SUSSEX REAL ESTATE PARTNERS, LLC, UNDER MY SUPERVISION, TO THE LOCAL STANDARD OF CARE, AND SUBSTANTIALLY MEET THE "MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING" AS PROMULGATED BY THE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS FOR A SUBURBAN CLASS SURVEY.

SOLUTIONS INTEGRATED PLANNING, ENGINEERING & MANAGEMENT, LLC by BARRY M. HALL, AGENT

BARRY M. HALL, PROFESSIONAL LAND SURVEYOR DELAWARE NO. 618 DATE



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NO.	DATE	DESCRIPTION
1	5/12/20	REVISIONS PER SUSSEX CO. P&Z COMMENT LETTER DATED 5/8/20

COVER SHEET for  
**SYCAMORE CHASE**  
SUSSEX COUNTY, DELAWARE  
BALTIMORE HUNDRED  
SCR 84 & 365

Date: 3/24/20  
Job Number: 19012  
Scale: AS SHOWN  
Drawn By: HHB  
Designed By: HHB  
Approved By: BMH

Sheet No.: 1

File Name: RP.dwg



**TIS NOTE:**

A TRAFFIC IMPACT STUDY WAS COMPLETED IN JANUARY 2019 AND WAS SUBMITTED TO THE LOCAL LAND USE AGENCY.

**TIS RECOMMENDATIONS:**

1. THE DEVELOPER SHOULD RECONSTRUCT BAYARD ROAD / PEPPERS CORNER ROAD ALONG THE LIMITS OF THE SITE FRONTAGE TO PROVIDE ELEVEN-FOOT TRAVEL LANE AND SIX-FOOT SHOULDERS. THE DEVELOPER SHOULD PROVIDE SHOULD A BITUMINOUS CONCRETE OVERLAY TO THE EXISTING LANES, AT DELDOT'S DISCRETION. DELDOT SHOULD ANALYZE THE EXISTING LANES' PAVEMENT SECTION AND RECOMMEND AN OVERLAY THICKNESS TO THE DEVELOPER'S ENGINEER IF NECESSARY.
2. THE DEVELOPER SHOULD CONSTRUCT THE FULL SITE ACCESS ON BAYARD ROAD / PEPPERS CORNER ROAD AT THE INTERSECTION OF CENTRAL AVENUE; THE PROPOSED CONFIGURATION IS SHOWN IN THE TABLE BELOW:

APPROACH	CURRENT CONFIGURATION	PROPOSED CONFIGURATION
EASTBOUND SITE ENTRANCE	APPROACH DOES NOT EXIST	ONE SHARED LEFT-TURN / THROUGH / RIGHT-TURN LANE
WESTBOUND CENTRAL AVENUE	ONE LEFT-TURN LANE, ONE RIGHT-TURN LANE	ONE SHARED LEFT-TURN / THROUGH LANE, ONE RIGHT-TURN LANE
NORTHBOUND BAYARD ROAD	ONE SHARED THROUGH / RIGHT-TURN LANE	ONE LEFT-TURN LANE, ONE THROUGH LANE, ONE RIGHT-TURN LANE
SOUTHBOUND PEPPERS CORNER ROAD	ONE SHARED LEFT-TURN / THROUGH LANE	ONE LEFT-TURN LANE, ONE THROUGH LANE, ONE RIGHT-TURN LANE

INITIAL RECOMMENDED MINIMUM TURN-LANE LENGTHS (EXCLUDING TAPERS) OF THE SEPARATE TURN LANES ALONG BAYARD ROAD / PEPPERS CORNER ROAD ARE LISTED BELOW. THESE LENGTHS WERE BASED ON DELDOT'S AUXILIARY LANE WORKSHEET (VERSION 5.1). THE DEVELOPER SHOULD COORDINATE WITH DELDOT'S DEVELOPMENT COORDINATION SECTION TO DETERMINE FINAL TURN-LANE LENGTHS DURING THE SITE PLAN REVIEW.

APPROACH	LEFT-TURN LANE	RIGHT-TURN LANE
NORTHBOUND BAYARD ROAD	210 FEET	N/A
SOUTHBOUND PEPPERS CORNER ROAD	210 FEET	240 FEET

REGARDING THE CENTRAL AVENUE APPROACH, IT WILL NEED TO BE REALIGNED TO FORM A 90-DEGREE ANGLE WITH BAYARD ROAD / PEPPERS CORNER ROAD. ADDITIONALLY, A SEPARATE RIGHT-TURN LANE WILL NEED TO BE INSTALLED ON THE APPROACH. THE DEVELOPER SHOULD COORDINATE WITH DELDOT'S DEVELOPMENT COORDINATION AND TRAFFIC SECTIONS TO DETERMINE THE FINAL DESIGN DETAILS OF THE INTERSECTION DURING THE SITE PLAN REVIEW PROCESS.

3. THE FOLLOWING BICYCLE, PEDESTRIAN, AND TRANSIT IMPROVEMENTS SHOULD BE INCLUDED:
  - a. WHERE THE RIGHT-TURN LANE IS ADDED AT THE SITE ENTRANCE ALONG BAYARD ROAD / PEPPERS CORNER ROAD, A MINIMUM OF A FIVE-FOOT BICYCLE LANE SHOULD BE DEDICATED AND STRIPED WITH APPROPRIATE MARKINGS FOR BICYCLISTS THROUGH THE TURN-LANE IN ORDER TO FACILITATE SAFE AND UNIMPEDED BICYCLE TRAVEL. A RIGHT-TURN YIELD TO BIKES SIGN SHOULD BE ADDED AT THE START OF THE LANE.
  - b. APPROPRIATE BICYCLE SYMBOLS, DIRECTIONAL ARROWS, PAVEMENT MARKINGS, AND SIGNING SHOULD BE INCLUDED ALONG BICYCLE FACILITIES AND TURN LANES WITHIN THE PROJECT LIMITS.
  - c. A FIFTEEN-FOOT WIDE EASEMENT FROM THE EDGE OF THE RIGHT-OF-WAY SHOULD BE DEDICATED TO DELDOT WITHIN THE SITE FRONTAGE ALONG BAYARD ROAD / PEPPERS CORNER ROAD. WITHIN THE EASEMENT, A MINIMUM OF A TEN-FOOT WIDE SHARED-USE PATH THAT MEETS CURRENT AASHTO AND ADA STANDARDS SHOULD BE CONSTRUCTED ALONG THE SITE FRONTAGE. THE SHARED-USE PATH SHOULD HAVE A MINIMUM OF A FIVE-FOOT BUFFER FROM THE ROADWAY. THE DEVELOPER SHOULD COORDINATE WITH DELDOT'S DEVELOPMENT COORDINATION SECTION TO DETERMINE THE EXACT LOCATIONS AND DETAILS OF THE SHARED-USE PATH CONNECTIONS TO THE SHOULDERS.
  - d. ADA COMPLIANT CURB RAMPS AND CROSSWALKS SHOULD BE PROVIDED AT ALL PEDESTRIAN CROSSINGS, INCLUDING THE SITE ENTRANCE. TYPE 3 CURB RAMPS ARE DISCOURAGED.

**DELDOT RECORD PLAN - GENERAL NOTES (3/21/19)**

1. All entrances shall conform to the Delaware Department of Transportation's (DelDOT's) current Development Coordination Manual and shall be subject to its approval.
2. No landscaping shall be allowed within the right-of-way unless the plans are compliant with Section 3.7 of the Development Coordination Manual.
3. Shrubbery, plantings, signs and/or other visual barriers that could obstruct the sight distance of a driver preparing to enter the roadway are prohibited within the defined departure sight triangle area established on this plan. If the established departure sight triangle area is outside the right-of-way or projects onto an adjacent property owner's land, a sight easement should be established and recorded with all affected property owners to maintain the required sight distance.
4. Upon completion of the construction of the sidewalk or shared-use path across this project's frontage and physical connection to adjacent existing facilities, the Developer, the property owners or both associated with this project, shall be responsible to remove any existing road tie-in connections located along adjacent properties, and restore the area to grass. Such actions shall be completed at DelDOT's discretion, and in conformance with DelDOT's Development Coordination Manual.
5. Private streets constructed within this subdivision shall be maintained by the Developer, the property owners within this subdivision or both (Title 17 §131). DelDOT assumes no responsibilities for the future maintenance of these streets.
6. The shared-use path shall be the responsibility of the Developer, the property owners or both within this subdivision. The State of Delaware assumes no responsibility for the future maintenance of the shared-use path.
7. All lots shall have access from the internal subdivision street.
8. To minimize rutting and erosion of the roadside due to on-street parking, driveway and building layouts must be configured to allow for vehicles to be stored in the driveway beyond the right-of-way, without interfering with sidewalk access and clearance.
9. The Developer shall be required to furnish and place right-of-way monuments in accordance with DelDOT's Development Coordination Manual.
10. The Developer shall be required to furnish and place right-of-way markers to provide a permanent reference for re-establishing the right-of-way and property corners on local and higher order frontage roads. Right-of-way markers shall be set and/or placed along the frontage road right-of-way at property corners and at each change in right-of-way alignment in accordance with Section 3.2.4.2 of the Development Coordination Manual.

**GENERAL NOTES:**

1. ALL ON-SITE STREETS (INCLUDING PAVEMENT, CURBING AND SIDEWALK) ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER UNTIL DEDICATION TO THE HOMEOWNER'S ASSOCIATION. THE PERPETUAL MAINTENANCE OF THE STREETS SHALL BE BY THE HOMEOWNER'S ASSOCIATION.
2. STORMWATER MANAGEMENT AND STORM DRAINAGE SHALL BE IN ACCORDANCE WITH THE SUSSEX COUNTY CONSERVATION DISTRICT AND SUSSEX COUNTY ENGINEERING REQUIREMENTS. MAINTENANCE OF THE ON-SITE STORMWATER MANAGEMENT FACILITIES AND STORM DRAINAGE SYSTEM SHALL BE BY THE OWNER UNTIL DEDICATION TO THE HOMEOWNER'S ASSOCIATION. THE PERPETUAL MAINTENANCE OF THE ABOVE PROACTIVE SHALL BE BY THE HOMEOWNER'S ASSOCIATION.
3. ALL OPEN SPACE SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
4. ALL SUBDIVISION LOTS SHALL HAVE FIVE FOOT WIDE EASEMENTS ALONG ALL LOT LINES FOR A TOTAL EASEMENT WIDTH OF 10 FEET ALONG A LOT LINE COMMON TO TWO LOTS. EASEMENTS ALONG PERIMETER (RIGHT-OF-WAY AND OPEN SPACE) SHALL BE 10 FEET IN WIDTH.
5. STREETLIGHTS SHALL BE PROVIDED. ALL LIGHTING SHALL BE DOWNWARD SCREENED. LOCATIONS TO BE COORDINATED BETWEEN OWNER AND UTILITY COMPANIES.
6. ALL AMENITIES AND LANDSCAPE/FOREST BUFFERS SHALL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
7. THE PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS. THE USE OF AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS, THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
8. ARTESIAN WATER COMPANY, INC IS HEREBY GRANTED UNINTERRUPTED AND PERPETUAL EASEMENT WITHIN THE PRIVATE COMMUNITY STREET RIGHT-OF-WAY AND OPEN SPACE.
9. AN ENTRANCE/COMMUNITY SIGN WILL BE PROVIDED. ANY SIGNAGE WILL REQUIRE A SEPARATE PERMIT.

**PLANNING & ZONING COMMISSION**

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE-CHAIRMAN  
R. KELLER HOPKINS  
HOLLY J. WINGATE  
J. BRUCE MEARS



**Sussex County**

DELAWARE  
sussexcounty.gov  
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302-856-6079 F  
JANELLE CORNWELL, AICP  
DIRECTOR

February 26, 2019

Mr. Stephen L. Marsh, P.E.  
George, Miles & Buhr, LLC  
206 West Main Street  
Salisbury, MD 21801

By email to: smarah@gmbnet.com

RE: Notice of Decision letter for the Preliminary Subdivision Plan for Good Will Farm (2018-24) (formerly known as "Willow Run") for the creation of one-hundred and four (104) single family lots and located south of Ocean View on Bayard Rd at the intersection of Peppers Corner Rd. and Central Ave.  
Tax Parcels: 134-18.00-55.00, 134-19.00-5.00 & 6.00

Dear Mr. Marsh,

At their meeting occurring **Thursday, February 14, 2019** the Planning & Zoning Commission approved the **Preliminary Subdivision Plan for Good Will Farm (2018-24)** to consist of one-hundred and four (104) single-family lots and located south of Ocean View on Bayard Road.

The Preliminary Subdivision Plan is valid for three (3) years from the date of Planning Commission decision. A Final Subdivision Plan shall be approved within three (3) years of the date of approval of the Preliminary Plan or the action of the Planning Commission shall be deemed canceled. Unless an extension is granted, approval shall be rendered null and void if substantial construction is not commenced within five (5) years of the date of recordation of the final plat.

As part of their motion, the Planning Commission acted to approve the development subject to the following conditions (which shall be clearly annotated on the Final Subdivision Plans):

- A. There shall be no more than 104 lots within the subdivision. The lots shall be at least 7,500 square feet in size.
- B. The developer shall establish a homeowner's association responsible for the maintenance of streets, roads, buffers, stormwater management facilities and other common areas.
- C. The stormwater management system shall meet or exceed the requirements of the State and County. The Final Site Plan shall contain the approval of the Sussex Conservation District for the design and location of all stormwater management areas and erosion and sedimentation control facilities.
- D. A forested or landscaped buffer of at least 20-feet in depth shall be installed along the entire perimeter of the project. This buffer shall increase to 30-feet in areas where the development borders any lands in agricultural use. These buffers shall not be



COUNTY ADMINISTRATIVE OFFICES  
2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DELAWARE 19947

February 26, 2019  
Notice of Decision Letter  
2018-24 Good Will Farm  
Page 2

- A. required in areas where a tax ditch easement is adjacent to the project border. The Final Site Plan shall contain a landscaped plan for all of these areas, and no existing vegetation shall be disturbed in any of these buffer areas.
- E. The development shall comply with all DelDOT entrance and roadway improvement requirements.
- F. If not required by DelDOT, the developer shall install a multi-modal path along the frontage of Bayard Road to accommodate the bicycle and pedestrian traffic in the area. This shall include the frontage of Lot 104 along Bayard Road.
- G. Lots 1, 2, 3, 78, and 79 shown on the Preliminary Site Plan shall be relocated from the entrance of this subdivision to provide greater open space at the entrance design as a superior design.
- H. There shall be sidewalks on at least one side of all streets within the subdivision.
- I. The amenities shall include a swimming pool and clubhouse and they must be completed by the issuance of the 50<sup>th</sup> residential building permit.
- J. The subdivision's lots shall be served by central sewer provided by Sussex County.
- K. Road naming and addressing shall be subject to the review and approval of the Sussex County Mapping and Addressing Department.
- L. Construction activities, site work and deliveries shall only occur on the site between the hours of 8:00 a.m. through 5:00 p.m., Monday through Friday, and 8:00 a.m. through 2:00 p.m. on Saturday.
- M. If required by the local school district, the Applicant shall coordinate with the local school district's transportation manager to establish a covered school bus stop with a parking area.
- N. The Applicant and Developer shall maintain as many existing trees outside of the buffer areas as possible. These tree preservation areas shall be shown on the Final Site Plan.
- O. The Applicant must obtain all the necessary amendments to the tax ditches and their easements prior to the Final Site Plan approval.
- P. As stated by the Applicant, the Developer shall coordinate with DelDOT to relocate and redesign the Bayard Road/Central Avenue/Peppers Corner Road intersection in coordination with the construction of the entrance to this subdivision.
- Q. A revised Preliminary Site Plan either depicting or noting these conditions must be submitted to the Office of Planning and Zoning.
- R. The Final Site Plan shall be subject to the review and approval of the Planning and Zoning Commission.

Once all agency approvals have been obtained please submit a minimum of **seven (7) paper copies (11"x17")**, **one (1) full size copy and one (1) electronic copy** of a Revised Preliminary Subdivision Plan to the Planning and Zoning Office for consideration on the next agenda for the Planning Commission. **It is recommended that two (2) copies of a check print are first submitted to staff for review.**

A \$10.00 per lot fee is required to be paid prior to the approval of any Final Subdivision Plan. For 104 lots, the fee is \$1,040.00.



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NO.	DATE	DESCRIPTION
1	5/12/20	REVISIONS PER SUSSEX CO. P.&Z COMMENT LETTER DATED 5/8/20

NOTES for  
**SYCAMORE CHASE**  
SUSSEX COUNTY, DELAWARE  
BALTIMORE HUNDRED  
SCR 84 & 365

Date:	3/24/20
Job Number:	19012
Scale:	AS SHOWN
Drawn By:	HHB
Designed By:	HHB
Approved By:	BMH

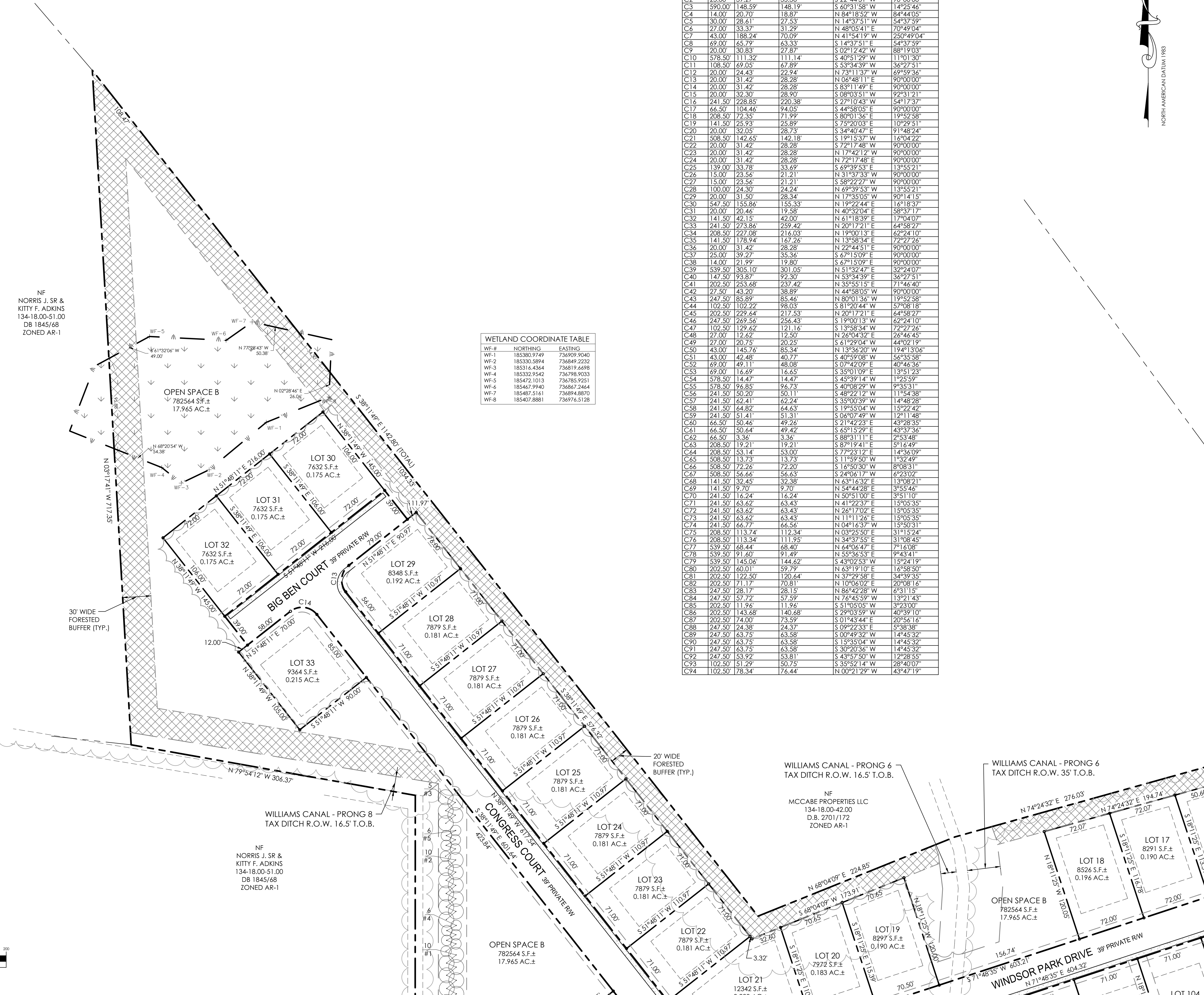
Sheet No.: **2**  
File Name: RP.dwg





CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	610.00	40.38	40.37	N 24°08'55" W	3°47'33"
C2	25.00	39.27	35.36	S 22°44'51" W	90°00'00"
C3	590.00	148.59	148.19	S 60°31'58" W	14°25'46"
C4	14.00	20.70	18.87	N 84°18'52" W	84°44'05"
C5	30.00	28.61	27.53	N 14°37'51" W	54°37'59"
C6	27.00	33.37	31.29	N 48°03'41" E	70°49'04"
C7	43.00	188.24	70.09	N 41°54'19" W	250°49'04"
C8	69.00	65.79	63.33	S 14°37'51" E	54°37'59"
C9	20.00	30.83	27.87	S 02°12'42" W	88°19'03"
C10	578.50	111.32	111.14	S 40°51'29" W	11°01'30"
C11	108.50	69.05	67.89	S 53°34'39" W	36°27'51"
C12	20.00	24.43	22.94	N 73°11'37" W	69°59'36"
C13	20.00	31.42	28.28	N 06°48'11" E	90°00'00"
C14	20.00	31.42	28.28	S 83°11'49" E	90°00'00"
C15	20.00	32.30	28.90	S 08°03'51" W	92°31'21"
C16	241.50	228.85	220.38	S 27°10'43" W	54°17'37"
C17	66.50	104.46	94.05	S 44°58'05" E	90°00'00"
C18	208.50	72.35	71.99	S 80°11'36" E	17°52'58"
C19	141.50	25.93	25.89	S 75°20'03" E	10°29'51"
C20	20.00	32.05	28.73	S 34°40'47" E	91°48'24"
C21	508.50	142.65	142.18	S 19°15'37" W	16°04'22"
C22	20.00	31.42	28.28	S 72°17'48" W	90°00'00"
C23	20.00	31.42	28.28	N 17°42'12" W	90°00'00"
C24	20.00	31.42	28.28	N 72°17'48" E	90°00'00"
C25	139.00	33.78	33.69	S 69°39'53" E	13°55'21"
C26	15.00	23.56	21.21	N 31°37'33" W	90°00'00"
C27	15.00	23.56	21.21	S 58°22'27" W	90°00'00"
C28	100.00	24.30	24.24	N 69°39'53" W	13°55'21"
C29	20.00	31.50	28.47	N 07°42'05" W	90°44'15"
C30	547.50	155.86	155.33	N 19°22'44" E	16°18'37"
C31	20.00	20.46	19.58	N 40°32'04" E	58°37'17"
C32	141.50	42.15	42.00	N 61°18'39" E	17°04'07"
C33	241.50	273.86	259.42	N 20°17'21" E	64°58'27"
C34	208.50	227.08	216.03	N 19°00'13" E	62°24'10"
C35	141.50	178.94	167.26	N 13°50'34" E	15°22'42"
C36	20.00	31.42	28.28	N 22°44'51" E	90°00'00"
C37	25.00	39.27	35.36	S 67°15'09" E	90°00'00"
C38	14.00	21.99	19.80	S 67°15'09" E	90°00'00"
C39	539.50	305.10	301.05	N 51°32'47" E	32°24'07"
C40	147.50	93.87	92.30	N 53°04'39" E	36°27'51"
C41	202.50	253.68	237.42	N 35°51'51" E	71°46'40"
C42	27.50	43.20	38.89	N 44°58'05" W	90°00'00"
C43	247.50	85.89	85.46	N 80°11'36" W	19°52'58"
C44	102.50	102.22	98.03	S 81°20'44" W	57°08'18"
C45	202.50	229.64	217.53	N 20°17'21" E	64°58'27"
C46	247.50	269.56	256.43	N 19°00'13" W	62°24'10"
C47	102.50	129.62	121.16	S 13°58'34" W	72°21'26"
C48	27.00	12.62	12.50	N 26°04'32" E	26°46'45"
C49	27.00	20.75	20.25	S 61°29'04" W	44°02'19"
C50	43.00	145.76	85.34	N 13°36'20" W	194°13'06"
C51	43.00	42.48	40.77	S 40°59'08" W	56°35'58"
C52	69.00	49.11	48.08	S 07°42'09" E	40°46'36"
C53	69.00	16.69	16.65	S 35°01'09" E	13°51'23"
C54	578.50	14.47	14.47	S 45°39'14" W	1°25'59"
C55	578.50	96.85	96.73	S 40°08'29" W	9°35'31"
C56	241.50	50.20	50.11	S 48°22'12" W	11°54'38"
C57	241.50	62.41	62.24	S 35°30'39" W	14°48'28"
C58	241.50	64.82	64.63	S 19°53'04" W	15°22'42"
C59	241.50	51.41	51.31	S 06°07'49" W	12°11'48"
C60	66.50	50.46	49.26	S 21°42'23" E	43°28'35"
C61	66.50	50.64	49.42	S 65°15'29" E	43°37'36"
C62	66.50	3.36	3.36	S 88°31'11" E	2°53'48"
C63	208.50	19.21	19.21	S 87°19'41" E	5°16'49"
C64	208.50	53.14	53.00	S 77°23'12" E	14°36'09"
C65	508.50	13.73	13.73	S 11°59'50" W	1°32'49"
C66	508.50	72.26	72.20	S 16°50'30" W	8°08'31"
C67	508.50	56.66	56.63	S 24°06'17" W	6°23'02"
C68	141.50	32.45	32.38	N 63°16'32" E	13°08'21"
C69	141.50	9.70	9.70	N 54°44'28" E	9°35'46"
C70	241.50	16.24	16.24	N 50°51'00" E	3°51'10"
C71	241.50	63.62	63.43	N 41°22'37" E	15°05'35"
C72	241.50	63.62	63.43	N 26°17'02" E	15°05'35"
C73	241.50	63.62	63.43	N 11°11'26" E	15°05'35"
C74	241.50	66.77	66.56	N 04°16'37" W	15°50'31"
C75	208.50	113.74	112.94	N 03°25'09" E	31°15'24"
C76	208.50	113.34	111.95	N 34°37'55" E	31°08'45"
C77	539.50	68.44	68.40	N 64°06'47" E	7°16'08"
C78	539.50	91.60	91.49	N 55°36'53" E	9°43'41"
C79	539.50	145.06	144.62	S 43°02'53" W	15°24'19"
C80	202.50	60.01	59.79	N 63°19'10" E	16°58'50"
C81	202.50	122.50	120.64	N 37°29'58" E	34°39'35"
C82	202.50	71.17	70.81	N 10°06'02" E	20°08'16"
C83	247.50	28.17	28.15	N 86°42'28" W	6°31'15"
C84	247.50	57.72	57.59	N 76°45'59" W	13°21'43"
C85	202.50	11.96	11.96	S 51°05'05" W	3°23'00"
C86	202.50	143.68	140.68	S 29°03'59" W	40°39'10"
C87	202.50	74.00	73.59	S 01°45'44" E	20°54'16"
C88	247.50	24.38	24.37	S 09°22'33" E	5°38'38"
C89	247.50	63.75	63.58	S 00°49'32" W	14°45'32"
C90	247.50	63.75	63.58	S 15°35'04" W	14°45'32"
C91	247.50	63.75	63.58	S 30°20'36" W	14°45'32"
C92	247.50	53.92	53.81	S 43°57'50" W	12°28'55"
C93	102.50	51.29	50.75	S 35°52'14" W	28°40'07"
C94	102.50	78.34	76.44	N 00°21'29" W	43°47'19"

WF-#	NORTHING	EASTING
WF-1	185380.9749	736909.9040
WF-2	185330.5894	736849.2322
WF-3	185316.4364	736819.6698
WF-4	185332.9542	736798.9033
WF-5	185472.1013	736785.9291
WF-6	185467.9940	736867.2464
WF-7	185487.5161	736894.8870
WF-8	185407.8881	736976.5128



NF  
NORRIS J. SR &  
KITTY F. ADKINS  
134-18.00-51.00  
DB 1845/68  
ZONED AR-1

30' WIDE  
FORESTED  
BUFFER (TYP.)

20' WIDE  
FORESTED  
BUFFER (TYP.)

NF  
NORRIS J. SR &  
KITTY F. ADKINS  
134-18.00-51.00  
DB 1845/68  
ZONED AR-1

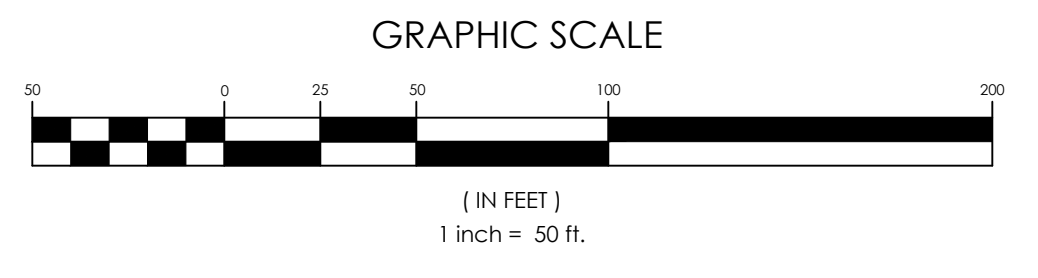
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MCCABE PROPERTIES LLC  
134-18.00-42.00  
D.B. 2701/172  
ZONED AR-1

WILLIAMS CANAL - PRONG 6  
TAX DITCH R.O.W. 35' T.O.B.

WILLIAMS CANAL - PRONG 6  
TAX DITCH R.O.W. 16.5' T.O.B.

WILLIAMS CANAL - PRONG 6  
TAX DITCH R.O.W. 16.5' T.O.B.

WILLIAMS CANAL - PRONG 6  
TAX DITCH R.O.W. 16.5' T.O.B.



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T. 302.297.9215

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NO.	DATE	DESCRIPTION
1	5/12/20	REVISIONS PER SUSSEX CO. P.&Z COMMENT LETTER DATED 5/8/20

RECORD PLAT A

for

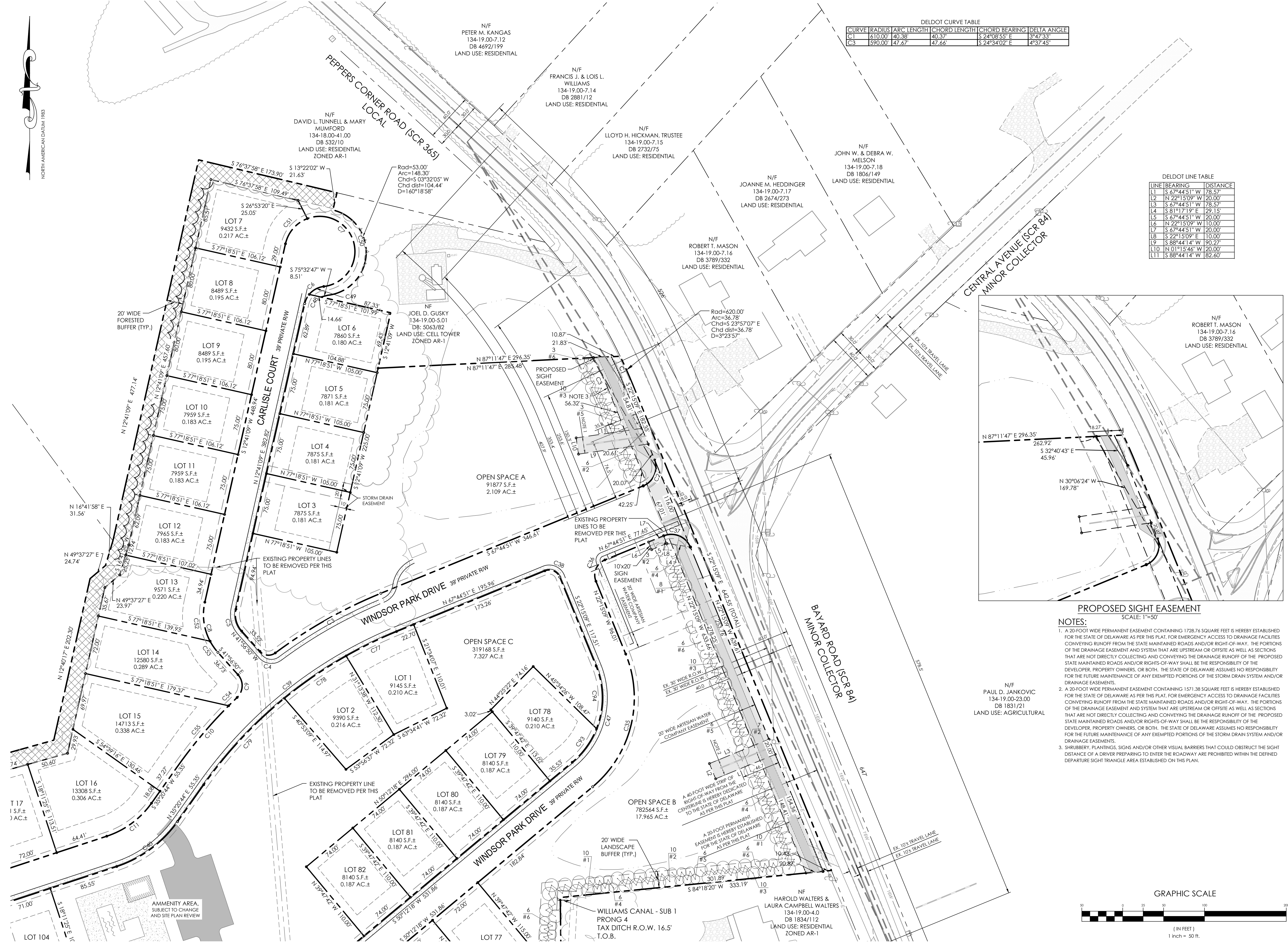
**SYCAMORE CHASE**  
SUSSEX COUNTY, DELAWARE  
BALTIMORE HUNDRED  
SCR 84 & 365

Date:	3/24/20	Job Number:	19012	Scale:	1"=50'	Drawn By:	HHB	Designed By:	HHB	Approved By:	SF
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Sheet No.: **3**

File Name: RP.dwg



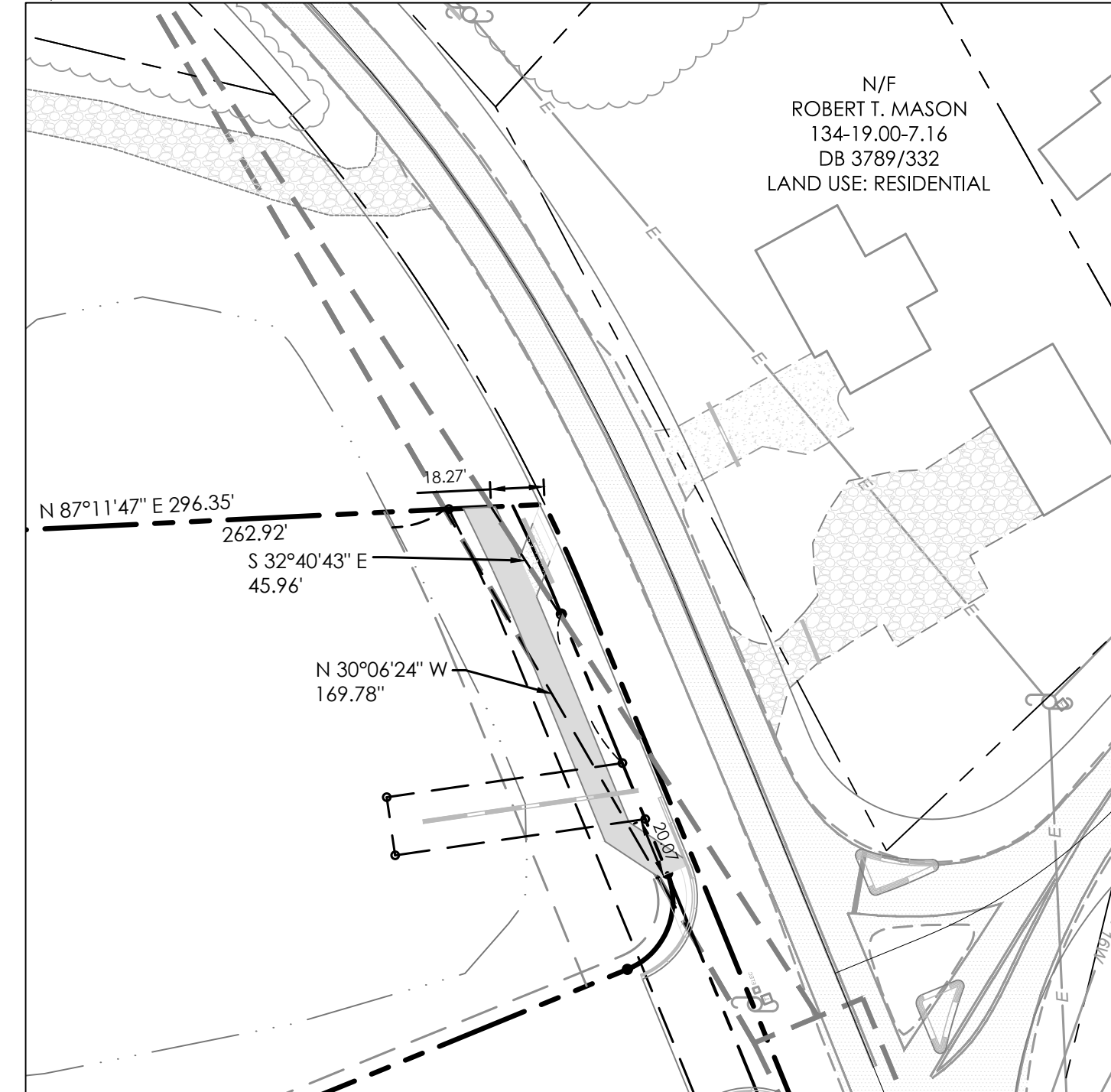


DELDOT CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	610.00'	40.38'	40.37'	S 24°08'55" E	3°47'33"
C3	590.00'	47.67'	47.66'	S 24°34'02" E	4°37'45"

DELDOT LINE TABLE

LINE	BEARING	DISTANCE
L1	S 67°44'51" W	78.57'
L2	N 22°15'09" W	20.00'
L3	S 67°44'51" W	78.57'
L4	S 81°17'19" E	29.15'
L5	S 67°44'51" W	20.00'
L6	N 22°15'09" W	10.00'
L7	S 67°44'51" W	20.00'
L8	S 22°15'09" E	10.00'
L9	S 88°44'14" W	90.27'
L10	N 01°15'46" W	20.00'
L11	S 88°44'14" W	82.60'

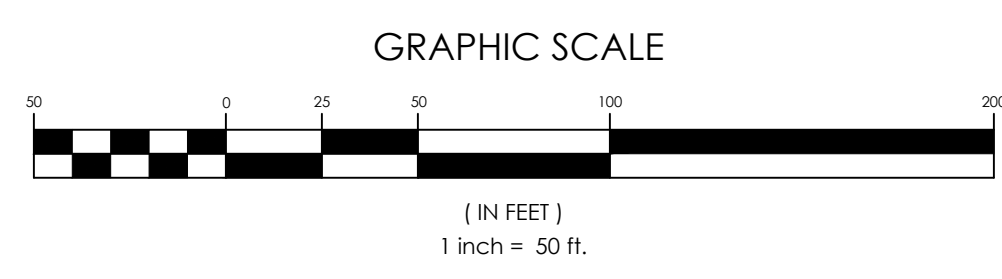


PROPOSED SIGHT EASEMENT  
SCALE: 1"=50'

NOTES:

- A 20-FOOT WIDE PERMANENT EASEMENT CONTAINING 1728.76 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT. FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM THE STATE MAINTAINED ROADS AND/OR RIGHT-OF-WAY, THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.
- A 20-FOOT WIDE PERMANENT EASEMENT CONTAINING 1571.38 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT. FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM THE STATE MAINTAINED ROADS AND/OR RIGHT-OF-WAY, THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAT.

N/F  
PAUL D. JANKOVIC  
134-19.00-23.00  
DB 1831/21  
LAND USE: AGRICULTURAL



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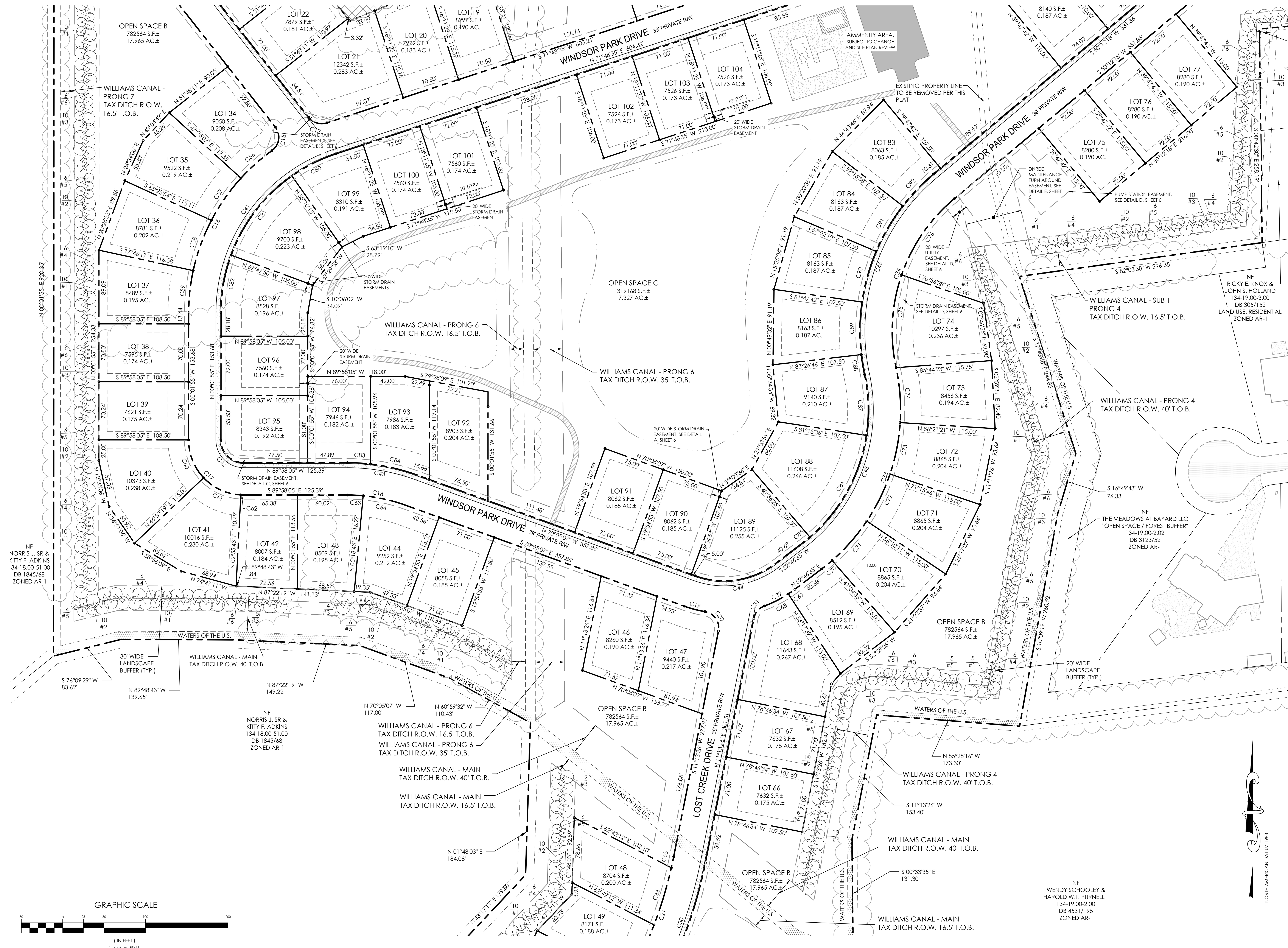
REVISIONS

NO.	DATE	DESCRIPTION
1	5/12/20	REVISIONS PER SUSSEX CO. P&Z COMMENT LETTER DATED 5/8/20

RECORD PLAT B  
for  
**SYCAMORE CHASE**  
SUSSEX COUNTY, DELAWARE  
BALTIMORE HUNDRED  
SCR 84 & 365

Date:	3/24/20	Job Number:	19012	Scale:	1"=50'	Drawn By:	HHB	Designed By:	HHB	Approved By:	SF
Sheet No.:	4										
File Name:	RP.dwg										





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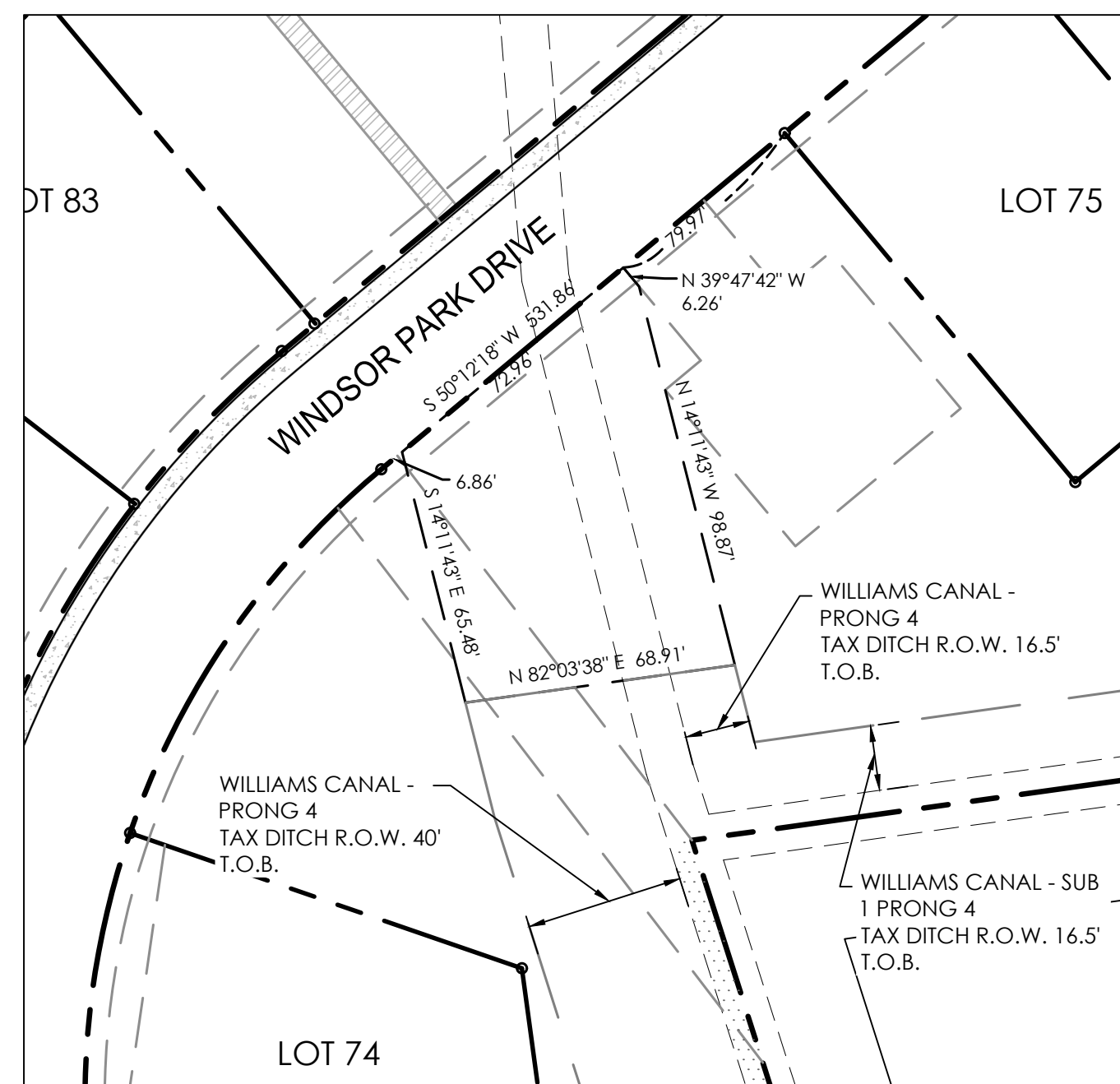
NO.	DATE	DESCRIPTION
1	5/12/20	REVISIONS PER SUSSEX CO. P&Z COMMENT LETTER DATED 5/8/20

RECORD PLAT C  
 for  
**SYCAMORE CHASE**  
 SUSSEX COUNTY, DELAWARE  
 BALTIMORE HUNDRED  
 SCR 84 & 365

Date:	Job Number:	Scale:	Drawn By:	Designed By:	Approved By:
3/24/20	19012	1"=50'	HHB	HHB	SF

Sheet No.: **5**  
 File Name: RP.dwg





DETAIL E

SCALE: 1"=40'

NF  
NORRIS J. SR &  
KITTY F. ADKINS  
134-18.00-51.00  
DB 1845/68  
ZONED AR-1

WILLIAMS CANAL - PRONG 5  
TAX DITCH R.O.W. 16.5' T.O.B.

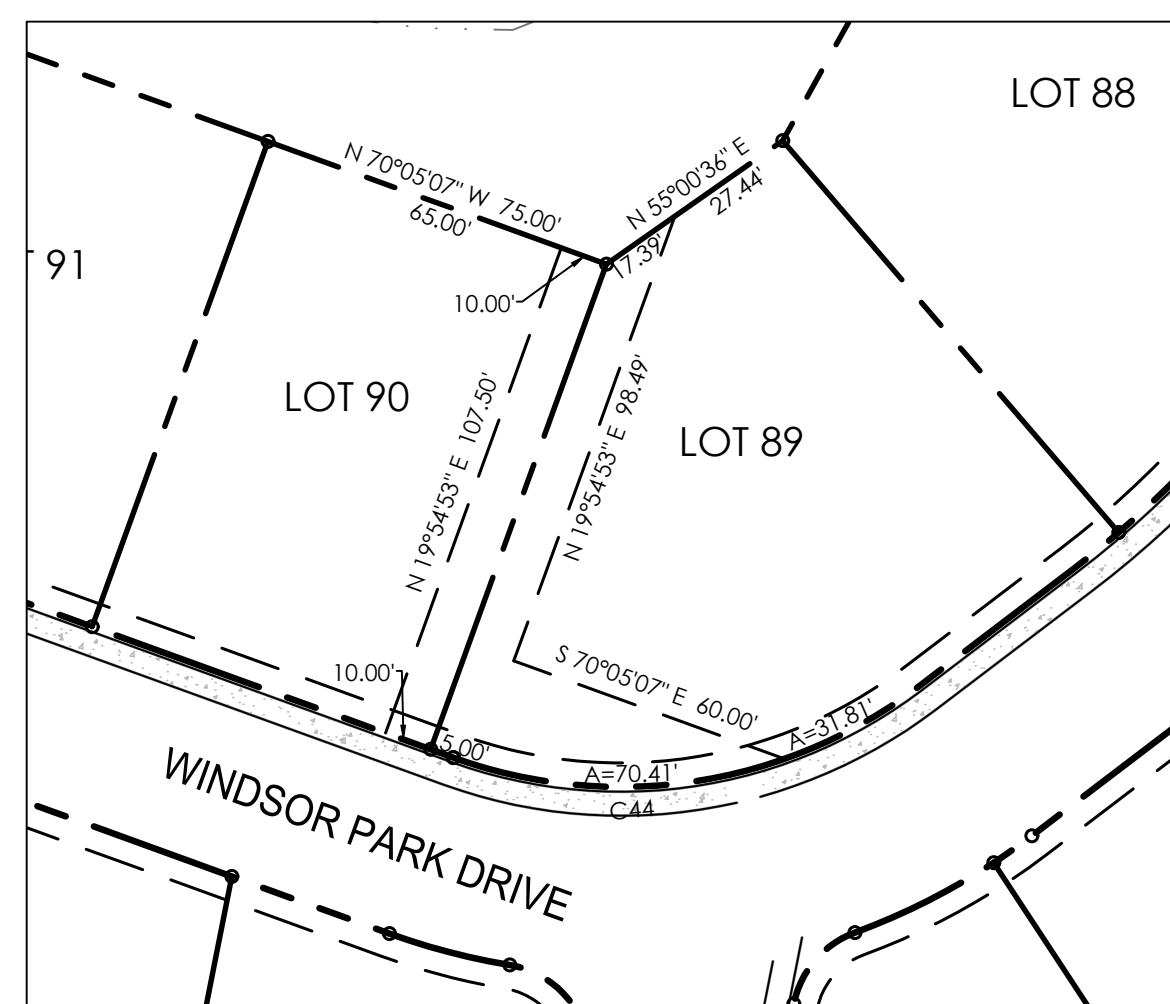
NF  
MICHAEL R. JAHNIGEN  
134-18.00-58.01  
DB 4317/183  
ZONED AR-1

NF  
ODIE T. JR &  
KATHLEEN J. REED  
134-18.00-56.00  
DB 2453/322  
ZONED AR-1

NF  
JUDITH V. WHEELER  
134-18.00-86.00  
DB 2393/88  
ZONED C-1

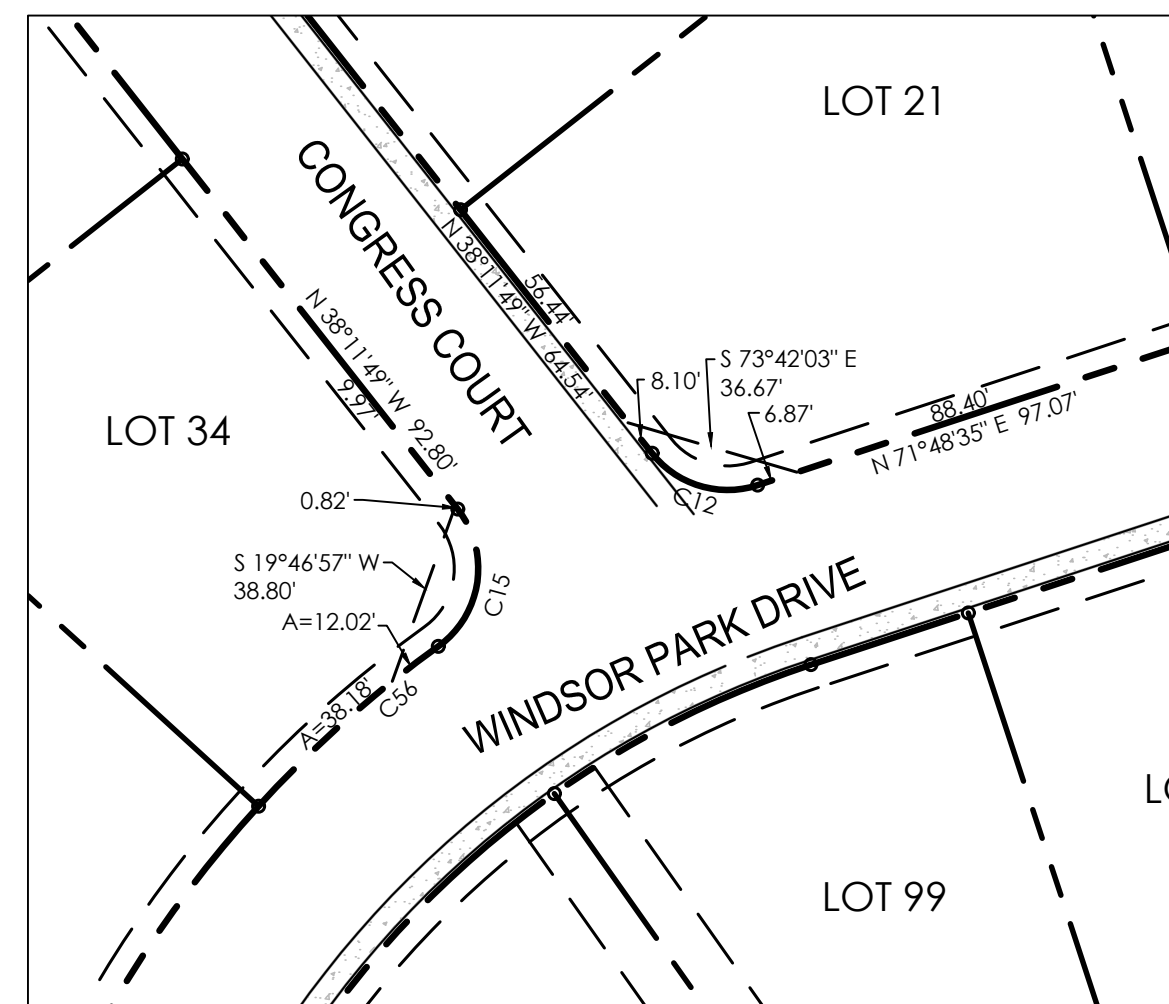
NF  
JOHN L. &  
SUSAN U. JONES  
134-18.00-85.00  
DB 4346/64

NF  
COLLEN HUNTER FOR LIFE  
134-18.00-84.00  
DB 4342/93



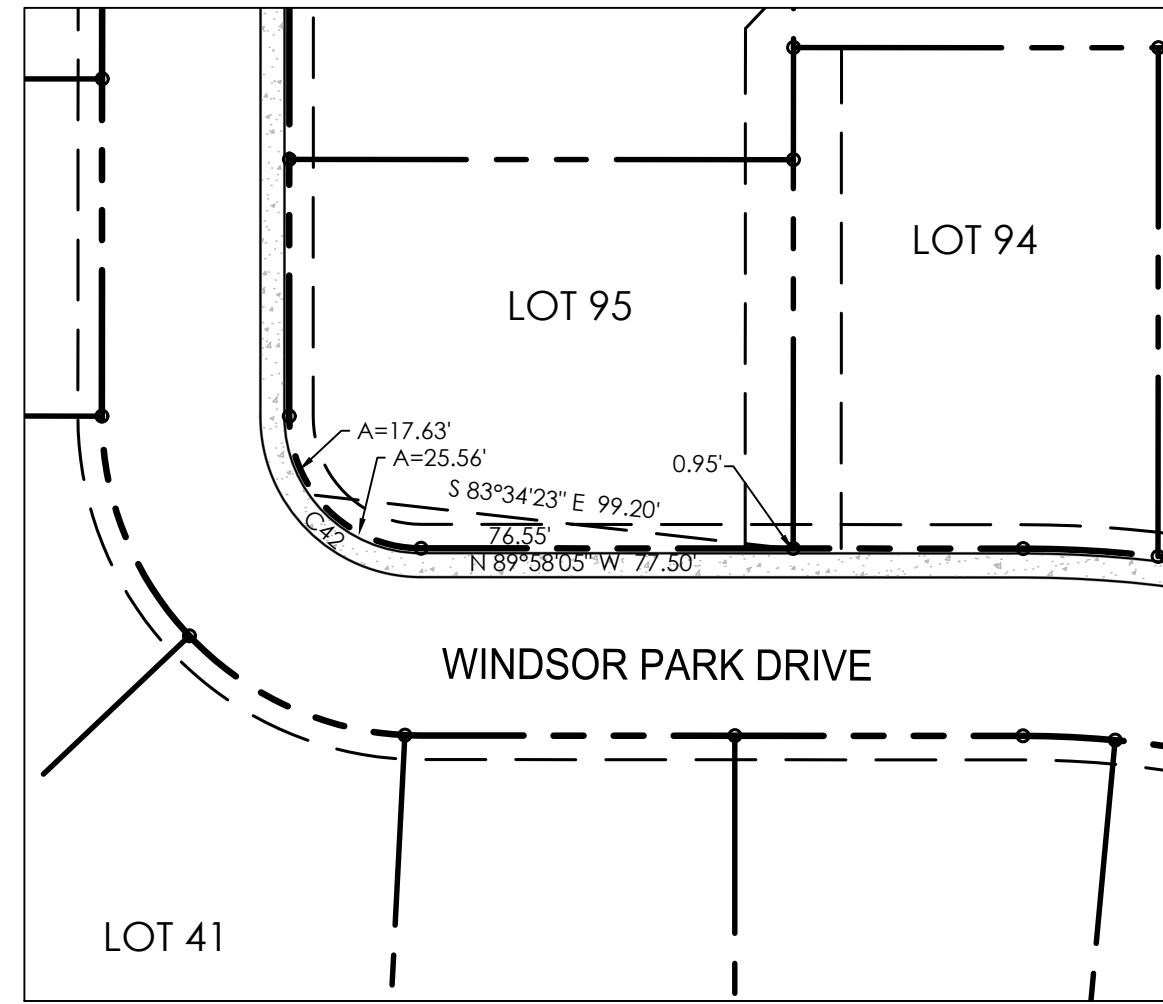
DETAIL A

SCALE: 1"=40'



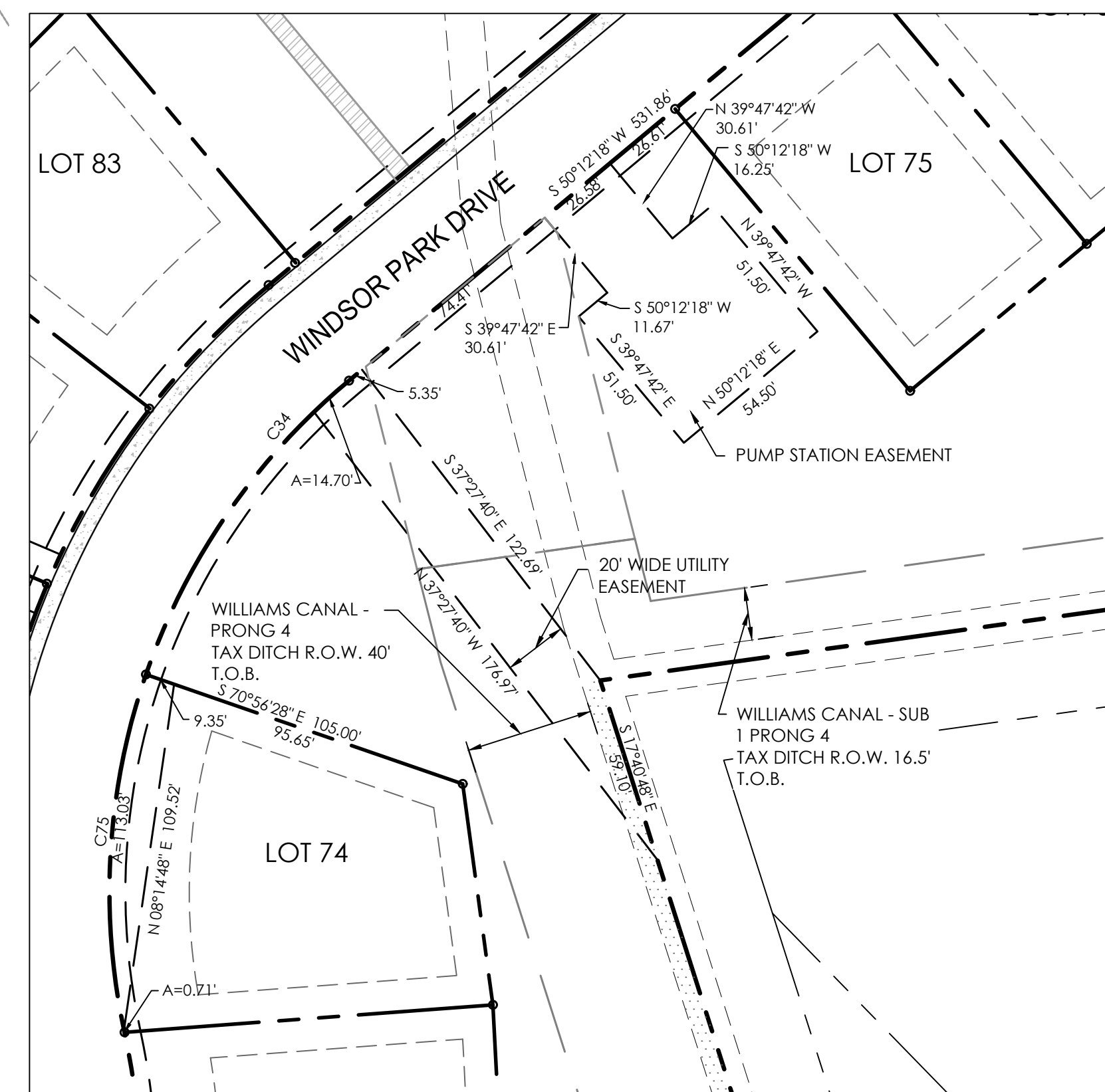
DETAIL B

SCALE: 1"=40'



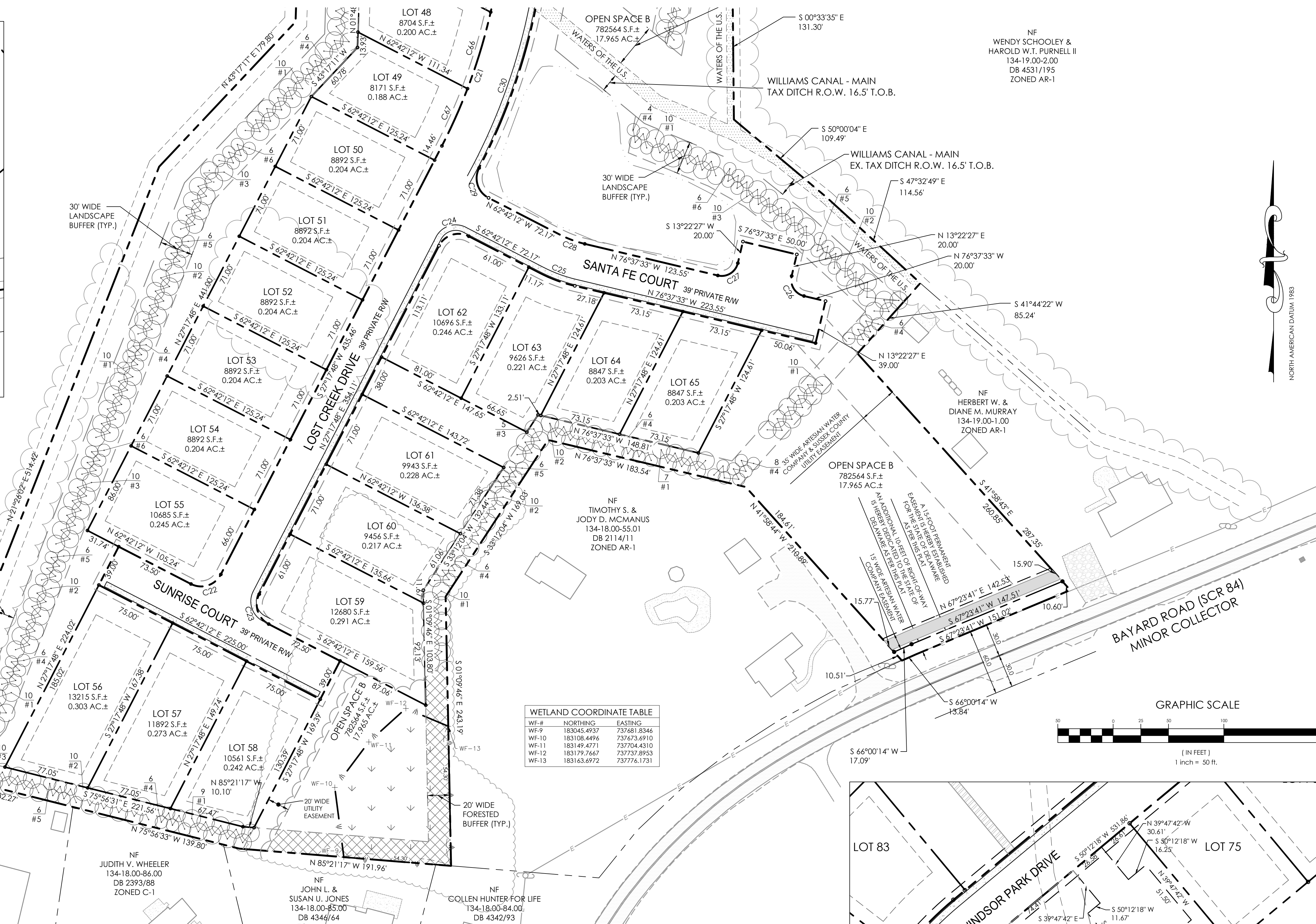
DETAIL C

SCALE: 1"=40'



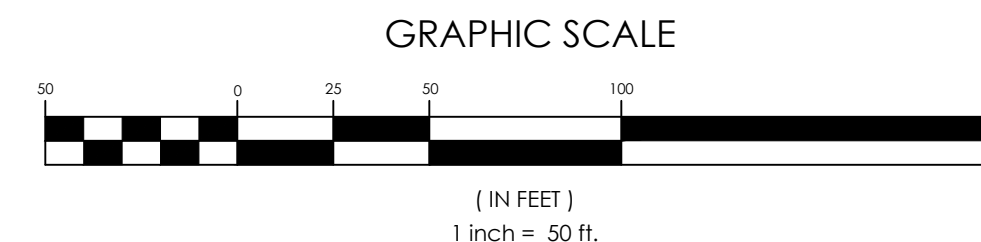
DETAIL D

SCALE: 1"=40'



WETLAND COORDINATE TABLE

WF-#	NORTHINGS	EASTINGS
WF-9	183045.4937	737681.8346
WF-10	183108.4496	737673.6910
WF-11	183149.4771	737704.4310
WF-12	183179.7447	737737.8953
WF-13	183163.6972	737776.1731



NF  
WENDY SCHOOLEY &  
HAROLD W.T. PURNELL II  
134-19.00-2.00  
DB 4531/195  
ZONED AR-1

WILLIAMS CANAL - MAIN  
TAX DITCH R.O.W. 16.5' T.O.B.

WILLIAMS CANAL - MAIN  
EX. TAX DITCH R.O.W. 16.5' T.O.B.

NF  
HERBERT W. &  
DIANE M. MURRAY  
134-19.00-1.00  
ZONED AR-1

NF  
TIMOTHY S. &  
JODY D. MCMANUS  
134-18.00-55.01  
DB 2114/11  
ZONED AR-1

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NO.	DATE	DESCRIPTION
1	5/12/20	REVISIONS PER SUSSEX CO. P&Z COMMENT LETTER DATED 5/8/20

RECORD PLAT D  
for  
**SYCAMORE CHASE**  
SUSSEX COUNTY, DELAWARE  
BALTIMORE HUNDRED  
SCR 84 & 365

Date:	Job Number:	Scale:	Drawn By:	Designed By:	Approved By:	SF
3/24/20	19012	1"=50'	HHB	HHB	HHB	

Sheet No.: 6  
File Name: RP.dwg



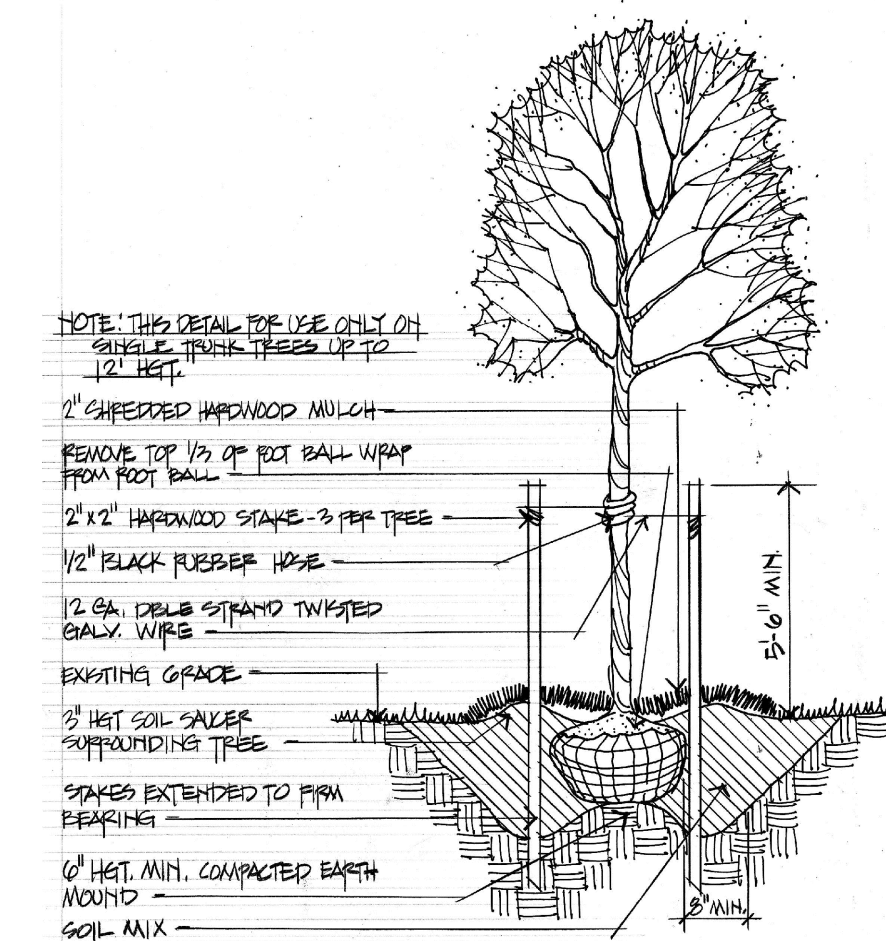
## LANDSCAPE BUFFER

- NOTES:**
- THE LANDSCAPE AND/OR FOREST BUFFERS SHALL BE INSTALLED WITHIN 18 MONTHS FROM THE DATE SITE WORK IS AUTHORIZED TO COMMENCE, AS DOCUMENTED BY A NOTICE TO PROCEED LETTER FROM THE COMMISSION.
  - THE LAND DEVELOPER SHALL BE RESPONSIBLE FOR THE HEALTH AND SURVIVAL OF THE TREES, INCLUDING REGULAR NECESSARY WATERING FOR A MINIMUM OF 2 YEARS OR UNTIL SUCH LATER DATE AS THE MAINTENANCE RESPONSIBILITIES ARE TRANSFERRED TO A CONDOMINIUM ASSOCIATION; PROVIDED, HOWEVER THAT THE DEVELOPER SHALL REPLACE AND TREES THAT DIE DURING THE MINIMUM 2 YEAR DEVELOPER MAINTENANCE PRIOR TO TRANSFERRING MAINTENANCE RESPONSIBILITIES TO A CONDOMINIUM ASSOCIATION.
  - ADDITIONAL INFORMATION AS TO HOW THE LANDSCAPE / FORESTED BUFFERS ARE TO BE MAINTAIN IN PERPETUITY, SHALL BE INCLUDED IN THE RESTRICTIVE COVENANTS AND/OR CONDOMINIUM ASSOCIATION DOCUMENTS.
  - PURSUANT WITH SUSSEX COUNTY CODE SECTION 99-5, THE 20' WIDE LANDSCAPE BUFFER SHOWN IN THIS PLAN MUST BE PLANTED WITH A MIX OF 70% DECIDUOUS AND 30% EVERGREEN TREES, THE MAJORITY OF WHICH SHALL BE SUITABLE TREES OF COMMON LOCAL SPECIES, EVERY 100' OF BUFFER SHALL INCLUDE A MINIMUM OF 15 TREES.
  - ALL DECIDUOUS TREES THAT ARE PLANTED TO ESTABLISH THE BUFFER PLANTINGS SHALL HAVE A MINIMUM CALIPER OF 1.5 INCHES AND A MINIMUM HEIGHT OF SIX FEET ABOVE GROUND WHEN PLANTED IN ORDER TO INSURE THAT THE TREES WILL BE CAPABLE OF OBTAINING A MINIMUM HEIGHT OF 10 FEET ABOVE GROUND WITHIN FIVE YEARS OF BEING PLANTED.
  - ALL EVERGREEN TREES THAT ARE PLANTED TO ESTABLISH THE BUFFER PLANTINGS SHALL HAVE A MINIMUM HEIGHT OF FIVE FEET ABOVE GROUND WHEN PLANTED IN ORDER TO INSURE THAT THEY ARE REASONABLY CAPABLE OF ATTAINING A MINIMUM HEIGHT OF 10 FEET ABOVE GROUND WITHIN FIVE YEARS OF BEING PLANTED.
  - THE TREES SHALL BE PLANTED IN A STAGGERED NATURAL MANNER, THE PROCEDURES AND DETAILS FOR PLANTING NEW TREES SHALL BE SPECIFIED BY THE LANDSCAPE ARCHITECT ON THE PLAN SUBMITTED TO AND APPROVED BY THE COMMISSION AND SHALL INCLUDE THE REQUIREMENT THAT THE BUFFER AREA SHALL HAVE A FINAL GRADE THAT CONTAINS A MINIMUM OF FOUR INCHES OF TOPSOIL AND A SUITABLE GRASS MIX PLANTED AS SACRIFICIAL COVER BETWEEN THE BUFFER TREES FOR SOIL STABILIZATION UNTIL THE NEWLY PLANTED TREES BECOME LARGER, THE PLAN MAY SUBSTITUTE WOODCHIPS FOR PLANTED GRASS BETWEEN THE BUFFER TREES IN RESPECT TO BOTH NEWLY PLANTED AND EXISTING TREES, AS DETERMINED BY THE LANDSCAPE ARCHITECT

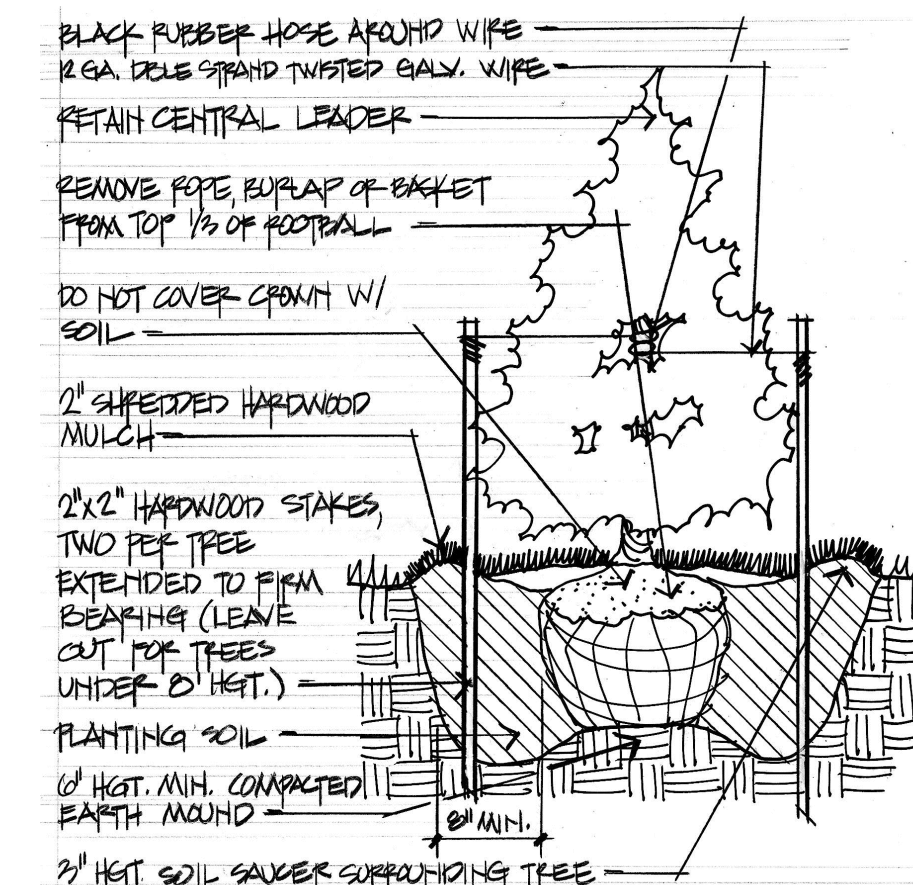
LANDSCAPE SCHEDULE					
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATION	
181	#1	Acer rubrum	RED MAPLE	1 1/2" CAL., 6' HGT. MIN.	
196	#2	Quercus phellos	WILLOW OAK	1 1/2" CAL., 6' HGT. MIN.	
174	#3	Quercus rubra	RED OAK	1 1/2" CAL., 6' HGT. MIN.	
126	#4	Ilex opaca	AMERICAN HOLLY	5' HGT. MIN.	
114	#5	Picea abies	NORWAY SPRUCE	5' HGT. MIN.	
87	#6	Pinus virginiana	VIRGINIA PINE	5' HGT. MIN.	

SUBSTITUTIONS:	BOTANICAL NAME	COMMON NAME	SPECIFICATION
	Acer saccharum	SUGAR MAPLE	1 1/2" CAL., 6' HGT. MIN.
	Chamaecyparis thuyoides	ATLANTIC WHITECEDAR	5' HGT. MIN.
	Crataegus viridis 'Winter King'	WINTER KING GREEN HAWTHORN	1 1/2" CAL., 6' HGT. MIN.
	Liriodendron tulipifera	TULIP TREE	1 1/2" CAL., 6' HGT. MIN.
	Pinus strobus	WHITE PINE	5' HGT. MIN.
	Pinus taeda	LOBLOLLY PINE	5' HGT. MIN.
	Quercus alba	WHITE PINE	1 1/2" CAL., 6' HGT. MIN.
	Quercus coccinea	SCARLET OAK	1 1/2" CAL., 6' HGT. MIN.
	Taxodium distichum	BALD CYPRESS	1 1/2" CAL., 6' HGT. MIN.
	Magnolia virginiana	SWEETBAY MAGNOLIA	5' HGT. MIN.
	Juniperus virginiana	EASTERN RED CEDAR	5' HGT. MIN.
	Platanus acerifolia	LONDON PLANE TREE	1 1/2" CAL., 6' HGT. MIN.
	Nyssa sylvatica	BLACK GUM	1 1/2" CAL., 6' HGT. MIN.
	Salix babylonica	WEeping WILLOW	1 1/2" CAL., 6' HGT. MIN.

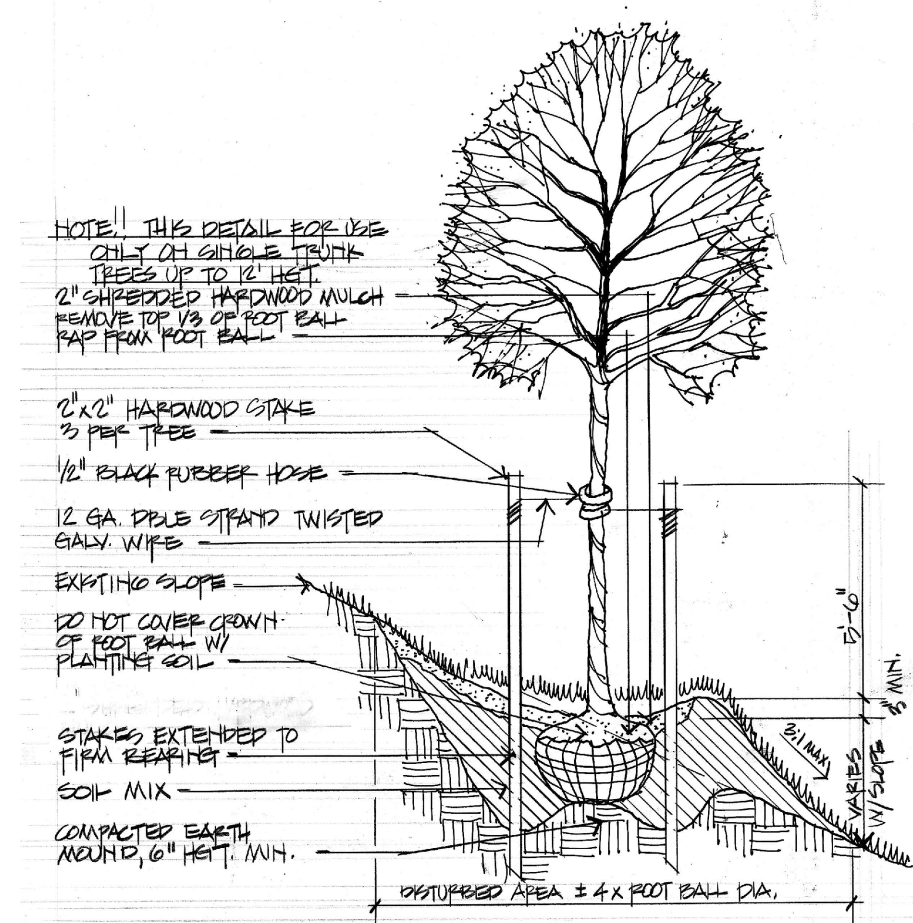
IF SUBSTITUTIONS ARE MADE, ONLY SUBSTITUTE DECIDUOUS FOR DECIDUOUS OR EVERGREEN FOR EVERGREEN TO MAINTAIN REQUIRED MIX.



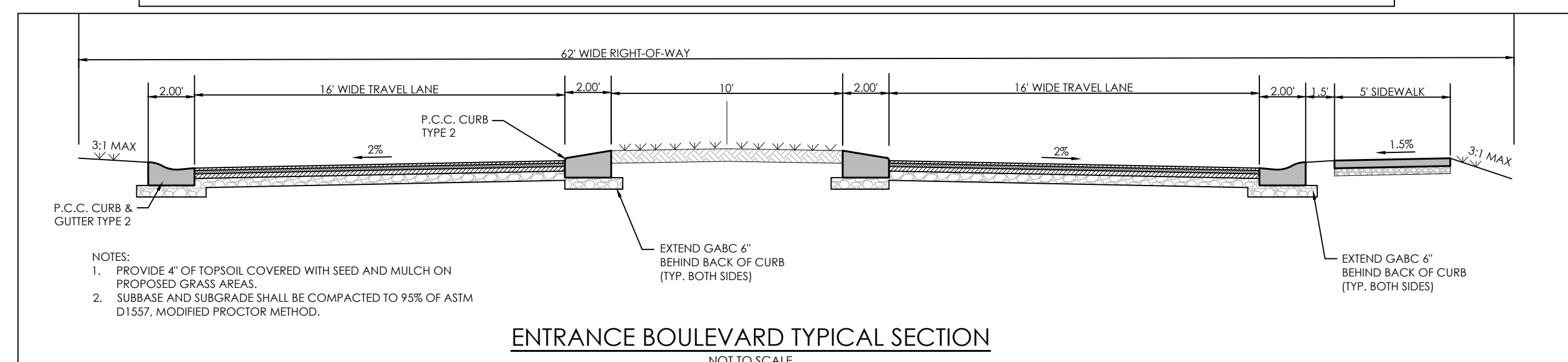
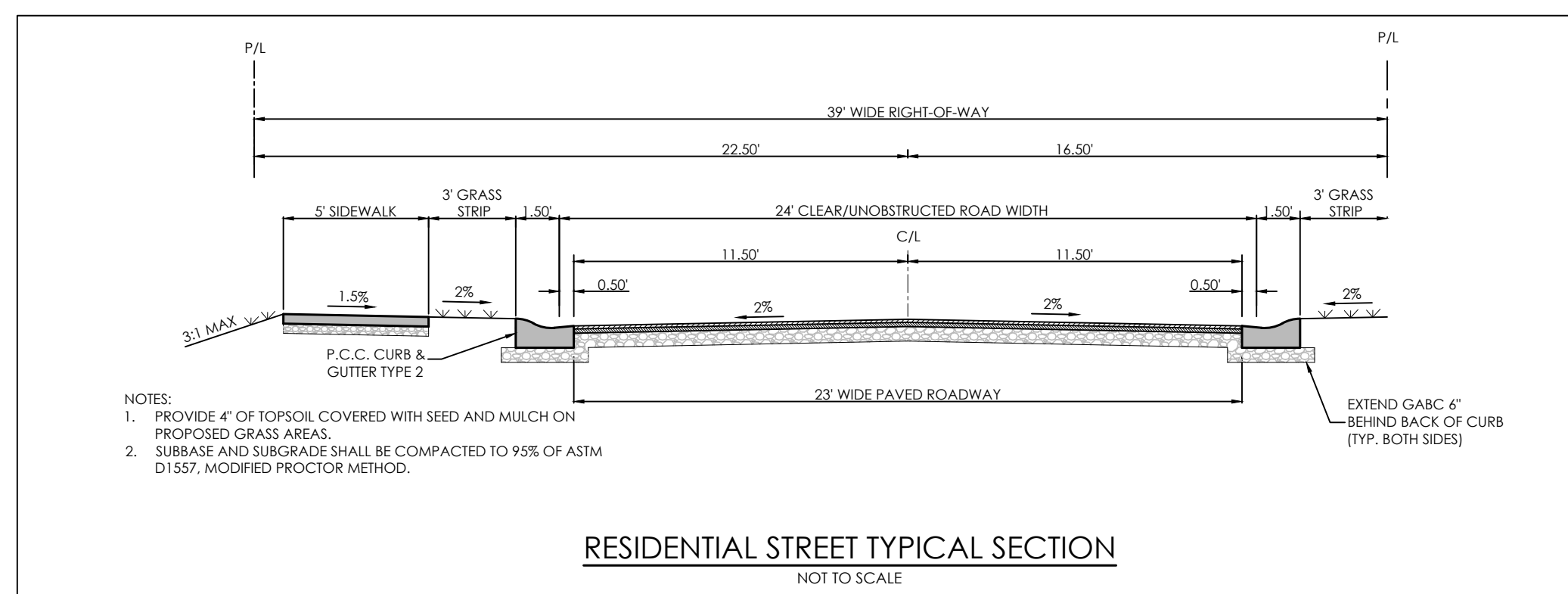
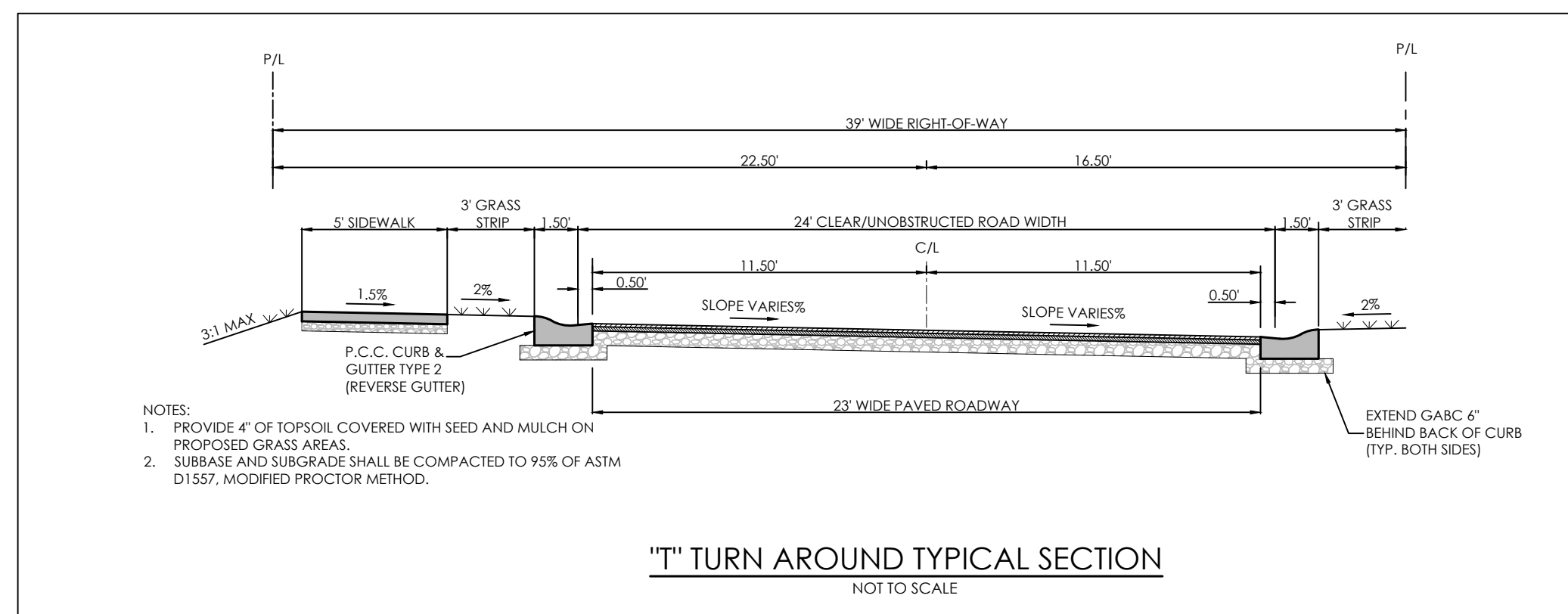
DECIDUOUS TREE PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL



TREE PLANTING ON SLOPE DETAIL



REVISIONS		DESCRIPTION
NO.	DATE	REVISIONS PER SUSSEX CO. P.&Z COMMENT LETTER DATED 5/8/20
1	5/12/20	

ROAD SECTIONS AND LANDSCAPING DETAILS  
 for  
**SYCAMORE CHASE**  
 SUSSEX COUNTY, DELAWARE  
 BALTIMORE HUNDRED  
 SCR 84 & 365

Date:	3/24/20	Job Number:	19012	Scale:	NONE	Drawn By:	HHB	Designed By:	HHB	Approved By:	SF
Sheet No.: <b>7</b>											
File Name: RP.dwg											



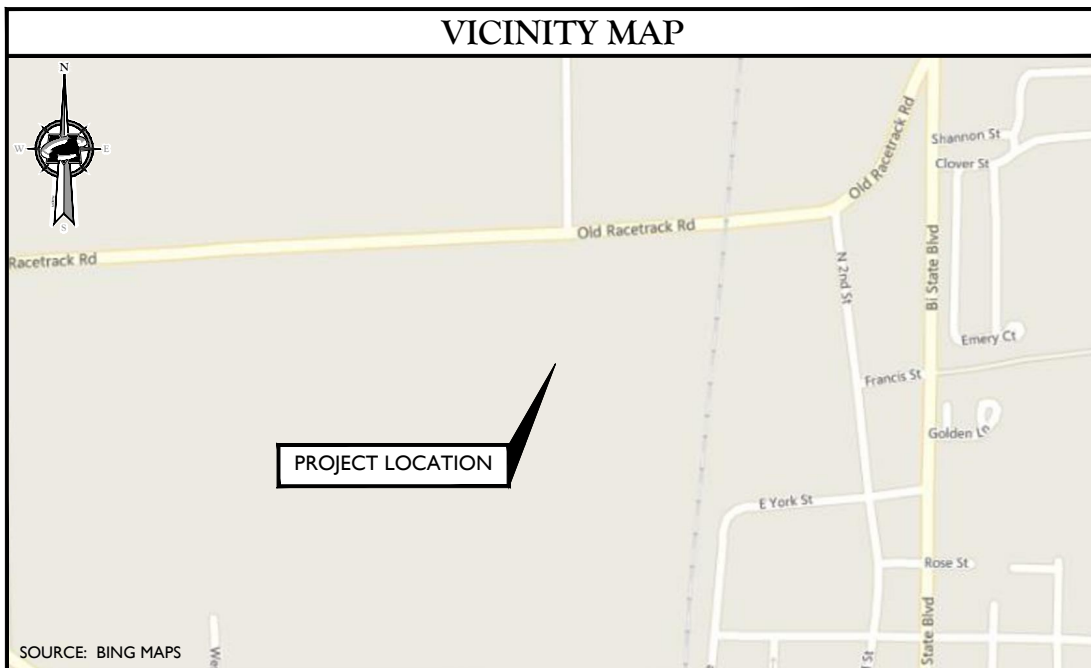
**PROJECT NOTES**

1. SITE INFORMATION OBTAINED FROM THE FOLLOWING:
  - A. A TOPOGRAPHIC SURVEY ENTITLED "DOV HYDRA - CELL SITE SURVEY", PREPARED FOR CELLCO PARTNERSHIP, BY MASER CONSULTING OF MT. LAUREL, NJ LAST DATED 11/27/19.
  - B. LIMITED FIELD OBSERVATION BY MASER CONSULTING ON 09/12/19.
2. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, LAWS AND REGULATIONS OF ALL MUNICIPALITIES, UTILITY COMPANIES OR OTHER PUBLIC/GOVERNING AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
4. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, IN WRITING, OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE OF WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE AS A RESULT OF CONSTRUCTION OF THIS FACILITY AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
6. THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
7. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING THE BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND CONSTRUCTION DRAWINGS.
8. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THESE DRAWINGS MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
9. SINCE THE CELL SITE MAY BE ACTIVE, ALL SAFETY PRECAUTIONS MUST BE TAKEN WHEN WORKING AROUND HIGH LEVELS OF ELECTROMAGNETIC RADIATION. EQUIPMENT SHOULD BE SHUTDOWN PRIOR TO PERFORMING ANY WORK THAT COULD EXPOSE THE WORKERS TO DANGER. PERSONAL RF EXPOSURE MONITORS ARE REQUIRED TO BE WORN TO ALERT OF ANY POTENTIALLY DANGEROUS EXPOSURE LEVELS.
10. THE PROPOSED FACILITY WILL CAUSE AN INSIGNIFICANT OR "DE-MINIMUS" INCREASE IN STORM WATER RUNOFF, THEREFORE, NO DRAINAGE STRUCTURES ARE PROPOSED.
11. NO NOISE, SMOKE, DUST OR ODOR WILL RESULT FROM THIS FACILITY AS TO CAUSE A NUISANCE.
12. THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION (NO HANDICAP ACCESS IS REQUIRED).
13. THE FACILITY DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
14. CONTRACTOR SHALL VERIFY ANTENNA ELEVATION AND AZIMUTHS WITH RF ENGINEERING PRIOR TO INSTALLATION.
15. ALL STRUCTURAL ELEMENTS SHALL BE HOT DIPPED GALVANIZED STEEL.
16. CONTRACTOR MUST FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
17. CONSTRUCTION SHALL NOT COMMENCE UNTIL COMPLETION OF A PASSING STRUCTURAL ANALYSIS CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER. THE STRUCTURAL ANALYSIS IS TO BE PERFORMED BY OTHERS.



**SITE NAME:  
DOV HYDRA**

**9283 OLD RACETRACK ROAD  
DELMAR, DE 19940  
SUSSEX COUNTY**



**CODE COMPLIANCE**

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

1. 2012 INTERNATIONAL BUILDING CODE	8. INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS 81 IEEE C2 LATEST EDITION
2. NFPA 70, NATIONAL ELECTRICAL CODE, 2014	9. TELCORDIA GR-1275
3. DELAWARE STATE FIRE PREVENTION REGULATIONS 2015	10. ANSI T1.311
4. AMERICAN INSTITUTE OF STEEL CONSTRUCTION 360-10	11. PROPOSED USE: UNMANNED TELECOM FACILITY
5. AMERICAN CONCRETE INSTITUTE	12. HANDICAP REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS NOT REQUIRED.
6. TIA-222-H	13. CONSTRUCTION TYPE: IIB
7. TIA 607 FOR GROUNDING	14. USE GROUP: U

**PROJECT INFORMATION**

LATITUDE: N38° 27' 46.6" (NAD 83)  
 LONGITUDE: W75° 34' 47.6" (NAD 83)  
 GROUND ELEVATION: 49.8± AMSL (NAVD 88)  
 COUNTY: SUSSEX COUNTY  
 JURISDICTION: SUSSEX COUNTY  
 ZONING DISTRICT: HI-1 - HEAVY INDUSTRIAL  
 APN: 532-20.00-14.02  
 PROPERTY RECORD: DEED BOOK 3533, PAGE 29

**APPLICANT**

COMPANY: CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS  
 ADDRESS: 512 TOWNSHIP LINE ROAD BUILDING 2, FLOOR 3  
 CITY, STATE, ZIP: BLUE BELL, PA 19422

**SITE ACQUISITION**

COMPANY: WIRELESS ACCESS TECHNOLOGIES, INC.  
 CONTACT: SUE MANCHEL  
 PHONE: (267) 257-2762

**CONSTRUCTION MANAGER**

COMPANY: CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS  
 ADDRESS: 512 TOWNSHIP LINE ROAD BUILDING 2, FLOOR 3  
 CITY, STATE, ZIP: BLUE BELL, PA 19422  
 CONTACT: MARK LYNCH  
 PHONE: (215) 648-2404

**ENGINEER**

COMPANY: MASER CONSULTING  
 ADDRESS: 2000 MIDLANTIC DRIVE, SUITE 100  
 CITY, STATE, ZIP: MT. LAUREL, NJ 08054  
 CONTACT: MATT GRAUBART, P.E.  
 PHONE: (856) 797-0412  
 E-MAIL: MGRAUBART@MASERCONSULTING.COM

**LOCATION INFORMATION**

**POWER PROVIDER:**

NAME: DELMARVA POWER  
 PHONE: 1-(800) 232-5460

**TELEPHONE PROVIDER:**

NAME: VERIZON  
 PHONE: 1-(800) VERIZON

**POLICE:**

NAME: DELMAR POLICE DEPARTMENT  
 ADDRESS: 102 S PENNSYLVANIA AVENUE  
 CITY, STATE, ZIP: DELMAR, MD 21875  
 PHONE: (410) 896-3131

**FIRE:**

NAME: DELMAR VOLUNTEER FIRE DEPARTMENT  
 ADDRESS: 310 E GROVE STREET  
 CITY, STATE, ZIP: DELMAR, DE 19940  
 NAMES: (302) 846-2530

IN CASE OF EMERGENCY, CALL 9-1-1

**SHEET INDEX**

SHEET	DESCRIPTION
T-1	TITLE SHEET
Z-1	ZONING INFORMATION
C-1	SITE PLAN AND SITE NOTES
C-2	COMPOUND PLAN AND ELEVATION VIEW
C-3	ANTENNA PLAN
A-1	CONSTRUCTION DETAILS
A-2	CONSTRUCTION DETAILS
A-3	CONSTRUCTION DETAILS
A-4	CONSTRUCTION DETAILS
A-5	CONSTRUCTION DETAILS
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A-8	CONSTRUCTION DETAILS
A-9	CONSTRUCTION DETAILS
A-10	CONSTRUCTION DETAILS
E-1	UTILITY PLAN
E-2	ELECTRICAL NOTES AND PANEL SCHEDULE
E-3	UTILITY RISER DIAGRAM
G-1	GROUNDING PLAN
G-2	GROUNDING DETAILS
G-3	GROUNDING RISER DIAGRAM
P-1	GAS PIPE DETAIL
P-2	GAS PIPE NOTES

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 No. 19205  
 DELAWARE PROFESSIONAL ENGINEER - LICENSE NUMBER: 19205  
 DATE: 10/18/2019

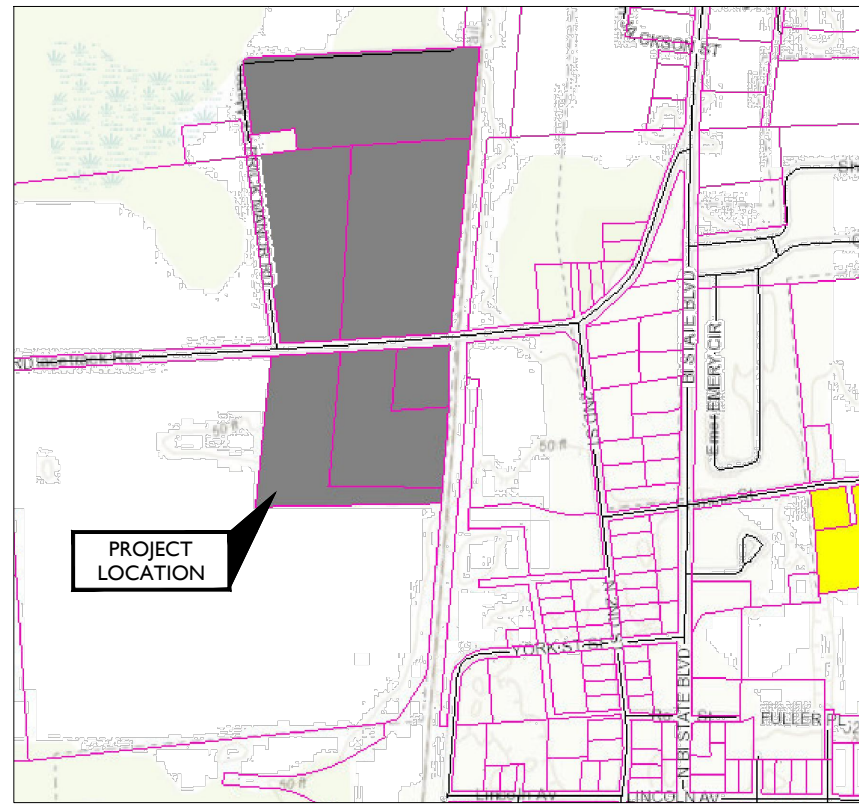
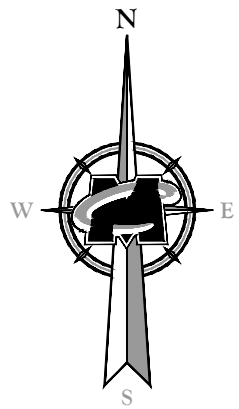
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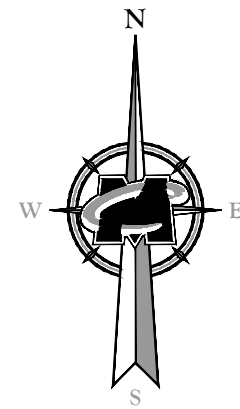
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**TITLE SHEET**  
 SHEET NUMBER:  
**T-1**



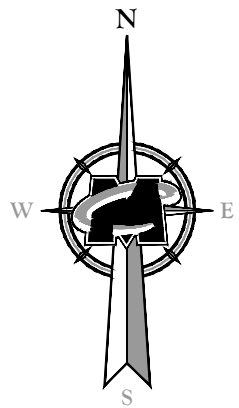


**ZONING MAP**  
 SCALE: 1" = 500' FOR 22"X34"  
 (SCALE: 1" = 1000' FOR 11"X17")

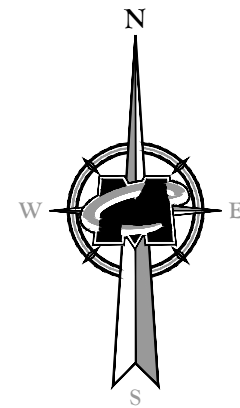
- LEGEND**
- Agricultural Residential - AR-1
  - Agricultural Residential - AR-2
  - Commercial Residential - CR-1
  - General Commercial - C-1
  - General Commercial - C-2
  - General Commercial - C-3
  - General Commercial - C-4
  - General Commercial - C-5
  - General Residential - GR
  - Heavy Industrial - HI-1
  - High Density Residential - HR-1
  - High Density Residential - HR-2
  - Institutional - I-1
  - Limited Industrial - LI-1
  - Limited Industrial - LI-2
  - Marine - M
  - Medium Residential - MR
  - Neighborhood Business - B-1
  - Neighborhood Business - B-2
  - Vacation, Retire, Resident - VSR



**TAX MAP**  
 SCALE: 1" = 200' FOR 22"X34"  
 (SCALE: 1" = 400' FOR 11"X17")



**TAX DITCH MAP**  
 SCALE: 1" = 200' FOR 22"X34"  
 (SCALE: 1" = 400' FOR 11"X17")



**WETLANDS MAP**  
 SCALE: 1" = 200' FOR 22"X34"  
 (SCALE: 1" = 400' FOR 11"X17")

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**MICHAEL P. CLEARY**  
 LICENSE No. 19205  
 MICHAEL P. CLEARY  
 DELAWARE PROFESSIONAL ENGINEER - LICENSE NUMBER: 19205  
 DATE: 12/18/20

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**MT. LAUREL OFFICE**  
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 Suite 100  
 Mount Laurel, NJ 08054  
 Phone: 856.797.0412  
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**ZONING INFORMATION**

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**VICINITY MAP**



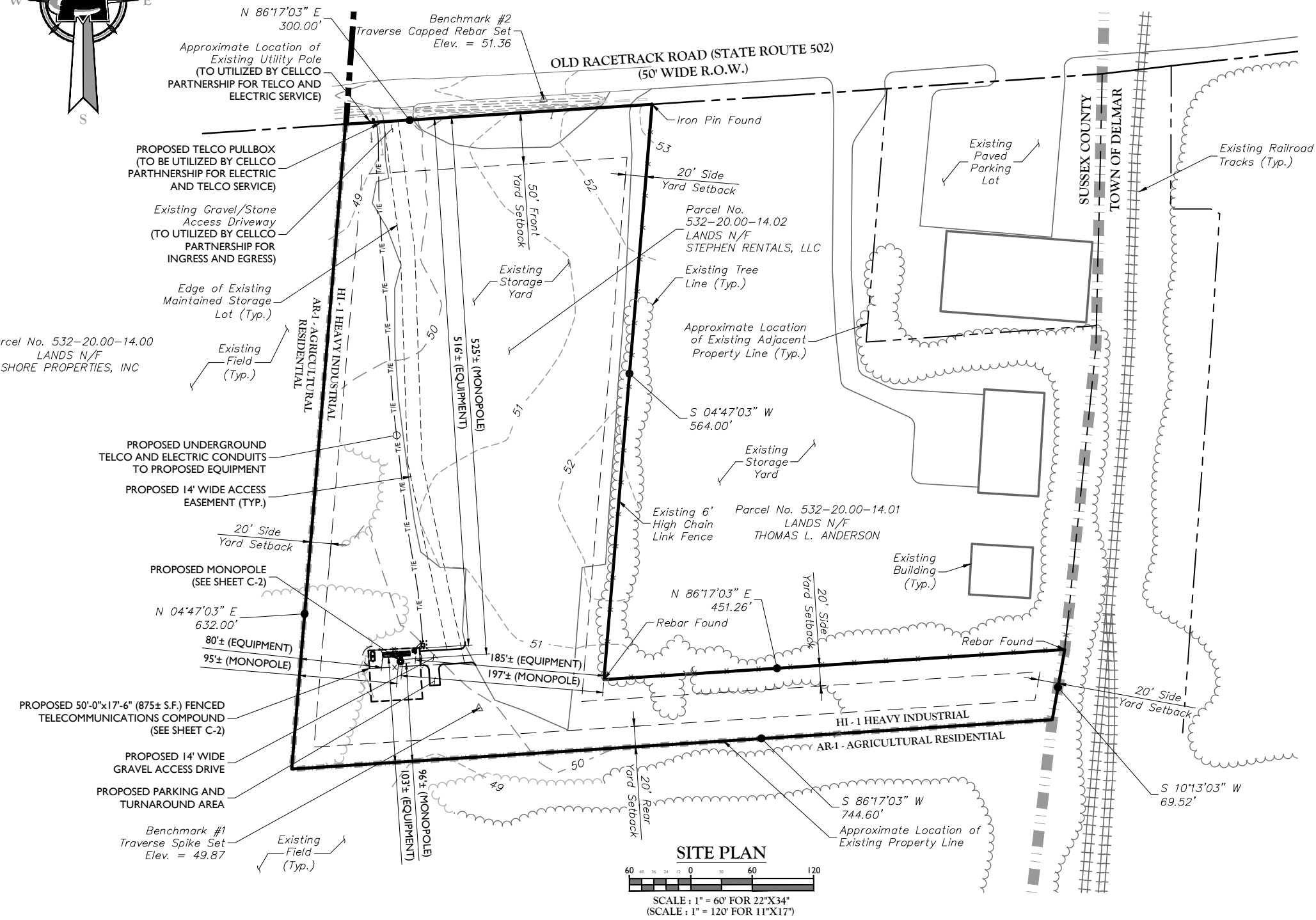
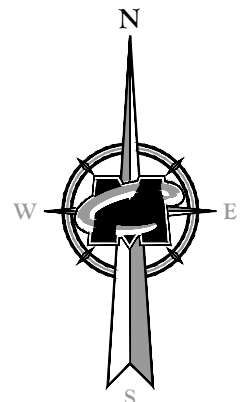
SOURCE: GOOGLE EARTH

**SITE NOTES**

1. THIS PROPOSAL IS FOR AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF THE PLACEMENT OF PANEL ANTENNAS ON A PROPOSED MONOPOLE AND EQUIPMENT CABINETS ON A PROPOSED CONCRETE PAD, AN OUTDOOR STANDBY GENERATOR, AND ASSOCIATED APPURTENANCES WITHIN A PROPOSED FENCED COMPOUND.
2. EXTERIOR SIGNS ARE NOT PROPOSED EXCEPT AS REQUIRED BY THE FCC.
3. TOTAL AREA OF DISTURBANCE UNDER THIS PROPOSAL: 4,200± S.F.
4. RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
5. CONTRACTOR SHALL CONTACT STATE SPECIFIC ONE CALL SYSTEM THREE WORKING DAYS PRIOR TO ANY EARTH MOVING ACTIVITIES.
6. POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.
7. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS & INSPECTIONS REQUIRED FOR CONSTRUCTION.
8. SUBCONTRACTOR SHALL DETERMINE EXACT ROUTE OF ANY UNDERGROUND CONDUIT, IF REQUIRED.
9. THIS PROJECT WILL NOT REQUIRE STREETS OR PROPERTY TO BE DEDICATED FOR PUBLIC USE.
10. THIS PROJECT WILL NOT REQUIRE PERMANENT MONUMENTS.
11. ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAPS OF SUSSEX COUNTY, DE (ALL JURISDICTIONS), PANEL 575 OF 660, MAP 10005C0575L DATED 06/20/18, ALL PROPOSED IMPROVEMENTS ARE LOCATED WITHIN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN.
12. THE PROPOSED INSTALLATION WILL GENERATE ONE (1) VEHICLE TRIP FOR ROUTINE MAINTENANCE EVERY FOUR (4) TO SIX (6) WEEKS.

**LEGEND**

- ▬ Existing Jurisdiction Boundary
- ▬ Existing Zoning Boundary
- ▬ Existing Subject Property Line
- ▬ Existing Subject Property Setback Line
- ▬ Existing Adjoining/Adjacent Property Line
- ▬ Existing Edge of Pavement/Road
- ▬ Existing Structure
- ▬ Existing Tree Line
- OHV— Existing Overhead Wires
- Existing Features
- Existing Easement
- ▬ PROPOSED ROAD
- x—x— PROPOSED CHAIN LINK FENCE
- ▬ PROPOSED FEATURES
- TIE— PROPOSED UNDERGROUND ELECTRIC/TELCO UTILITY LINES



**SITE PLAN**

SCALE : 1" = 60' FOR 22"X34"  
 SCALE : 1" = 120' FOR 11"X17"

**NOTE:**  
 EXISTING MATERIAL AND EQUIPMENT WITHIN THE LIMITS OF THE PROPOSED LEASE AREA TO BE REMOVED BY THE PROPERTY OWNER.

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 DELAWARE PROFESSIONAL ENGINEER - LICENSE NUMBER: 19205  
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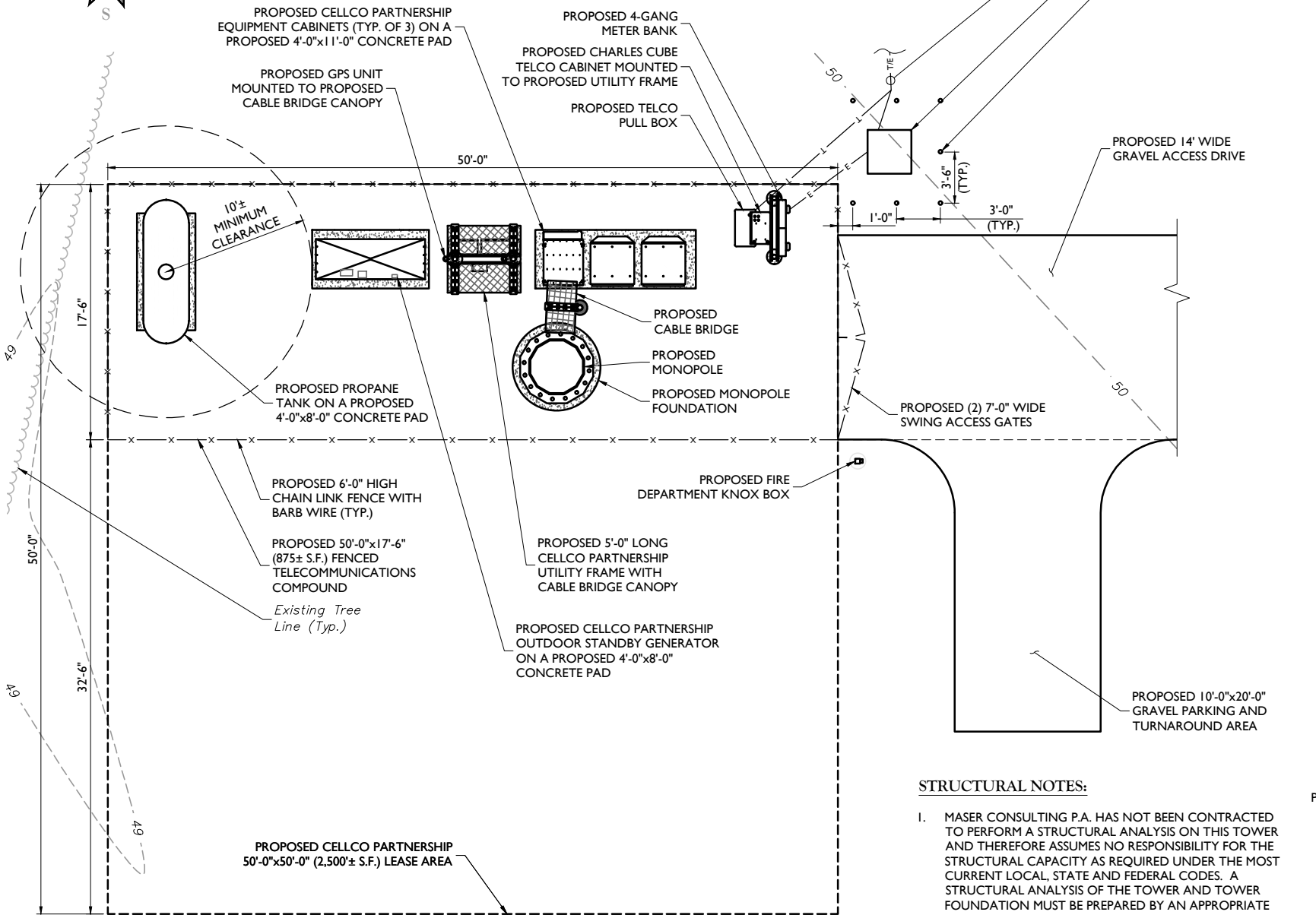
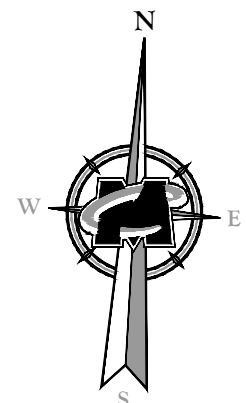
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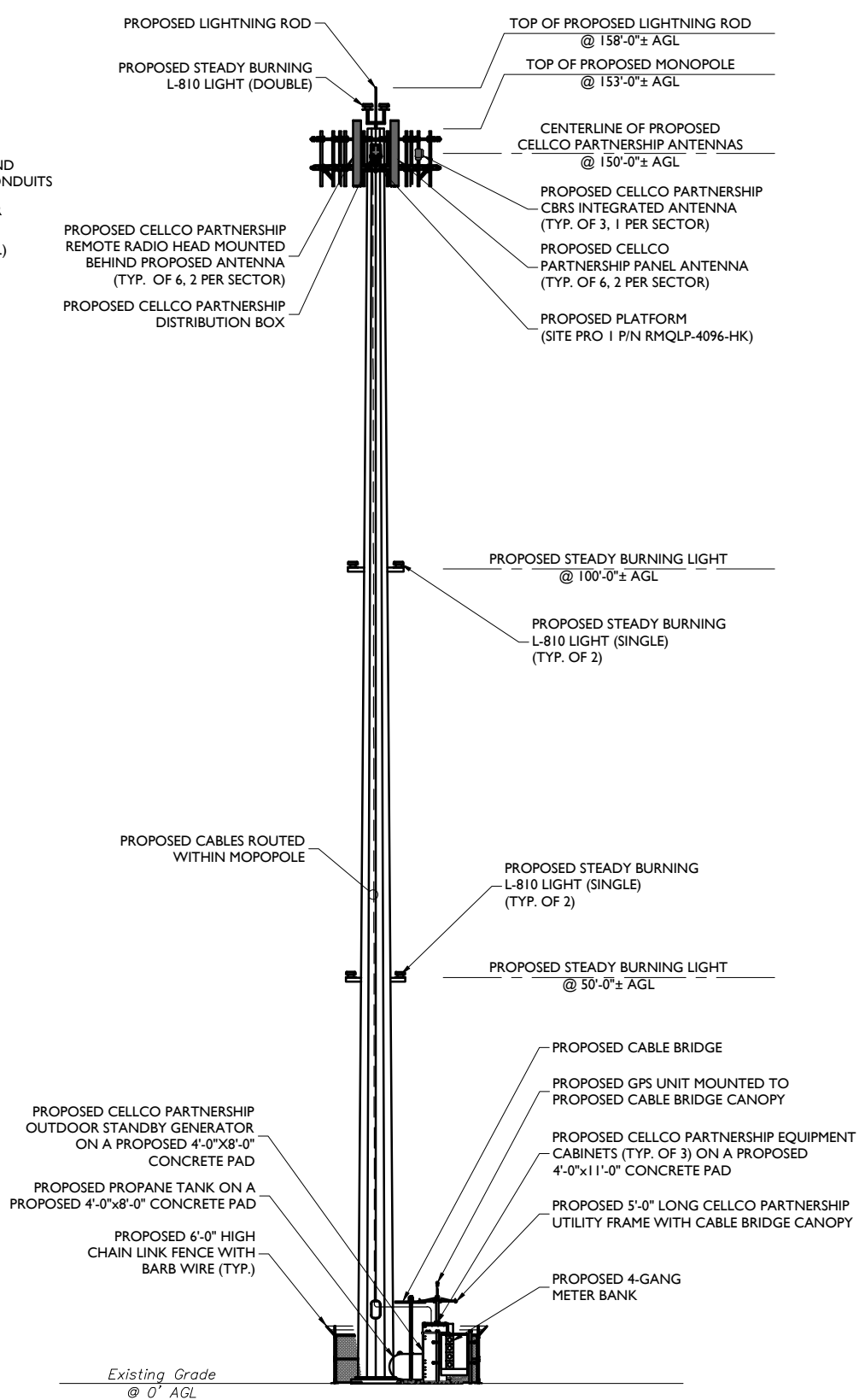
SHEET NUMBER:  
**C-1**



**COMPOUND PLAN**  
 SCALE: 1" = 5' FOR 22"X34"  
 (SCALE: 1" = 10' FOR 11"X17")

**STRUCTURAL NOTES:**

- MASER CONSULTING P.A. HAS NOT BEEN CONTRACTED TO PERFORM A STRUCTURAL ANALYSIS ON THIS TOWER AND THEREFORE ASSUMES NO RESPONSIBILITY FOR THE STRUCTURAL CAPACITY AS REQUIRED UNDER THE MOST CURRENT LOCAL, STATE AND FEDERAL CODES. A STRUCTURAL ANALYSIS OF THE TOWER AND TOWER FOUNDATION MUST BE PREPARED BY AN APPROPRIATE LICENSED STRUCTURAL ENGINEER CERTIFYING THAT THE EXISTING TOWER AND ANY REQUIRED IMPROVEMENTS AND REINFORCEMENTS HAVE SUFFICIENT CAPACITY TO SUPPORT ALL EXISTING AND PROPOSED ANTENNAS, SUPPORTS, CABLES AND APPURTENANCES COMPLIES WITH THE MOST CURRENT LOCAL, STATE AND FEDERAL CODES.
- THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ANY IMPROVEMENTS AND REINFORCEMENTS REQUIRED BY THE STRUCTURAL ANALYSIS CERTIFICATION ARE PROPERLY INSTALLED PRIOR TO THE ADDITION OF ANTENNAS, CABLES, SUPPORTS AND APPURTENANCES PROPOSED ON THESE DRAWINGS OR OTHERWISE NOTED IN THE STRUCTURAL ANALYSIS.
- THE PROPOSED MOUNT MEETS THE REQUIREMENTS OF NSTD-446 AND SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS. MASER CONSULTING DID NOT PERFORM A SITE SPECIFIC MOUNT ANALYSIS.



**ELEVATION VIEW**  
 SCALE: 1" = 10' FOR 22"X34"  
 (SCALE: 1" = 20' FOR 11"X17")

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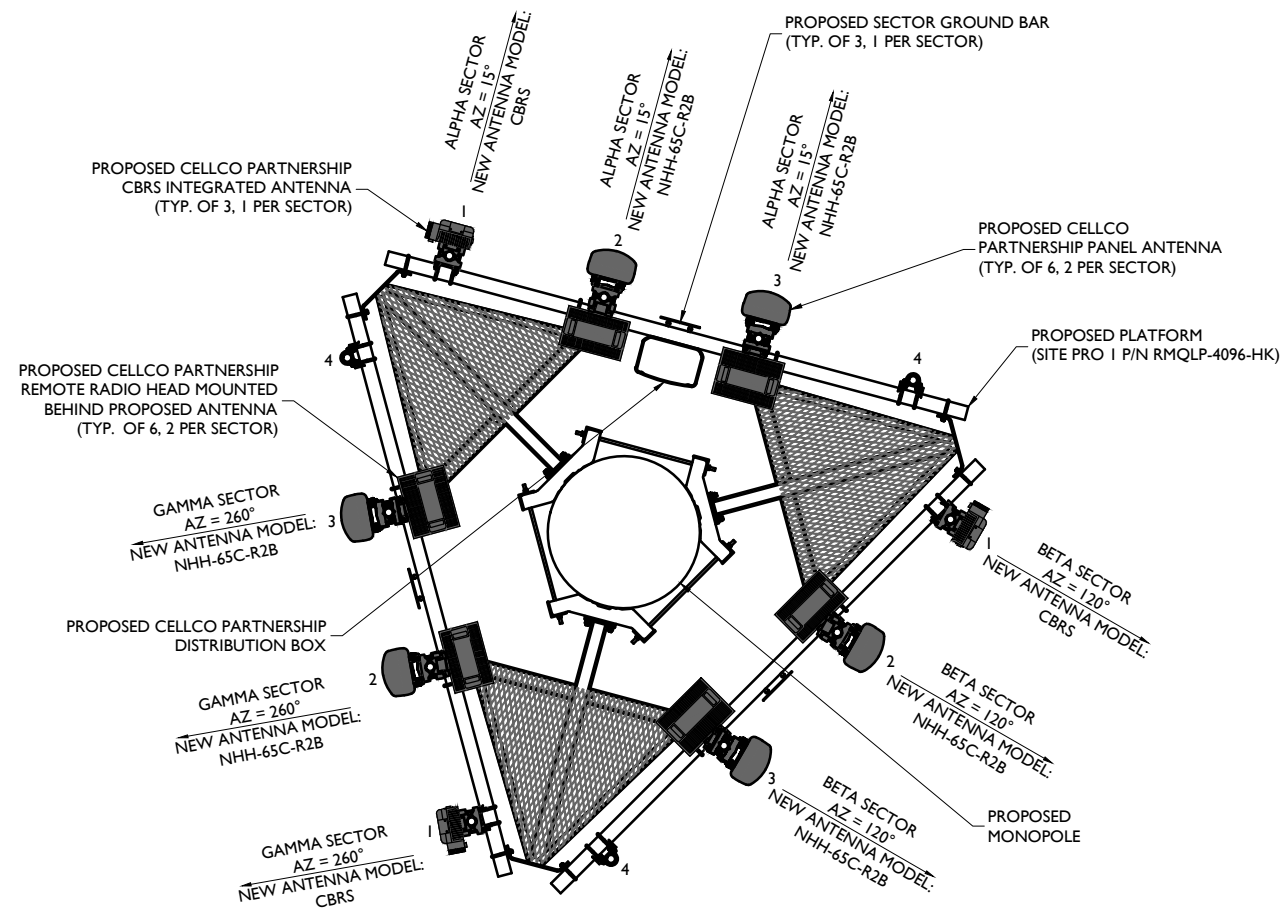
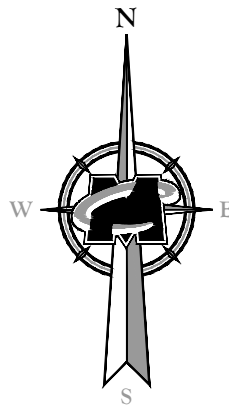
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**COMPOUND PLAN AND ELEVATION VIEW**

SHEET NUMBER: **C-2**





**ANTENNA PLAN**  
 SCALE : 1" = 2' FOR 22"X34"  
 (SCALE : 1" = 4' FOR 11"X17")

- NOTES:**
1. ANTENNA ORIENTATION IS BASED ON TRUE NORTH BEARING. CONTRACTOR SHALL VERIFY TRUE NORTH PRIOR TO CONSTRUCTION.
  2. CONTRACTOR TO REFER TO FINAL RF CONFIGURATIONS SHEET FOR ANTENNA AZIMUTHS PRIOR TO CONSTRUCTION.

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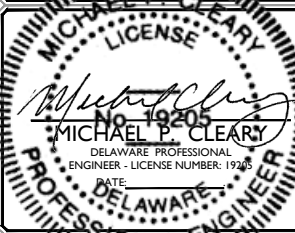


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SHEET TITLE:  
**ANTENNA PLAN**

SHEET NUMBER:  
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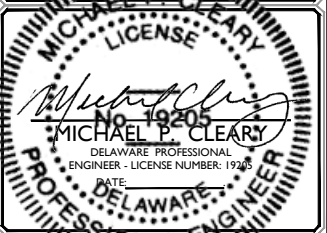
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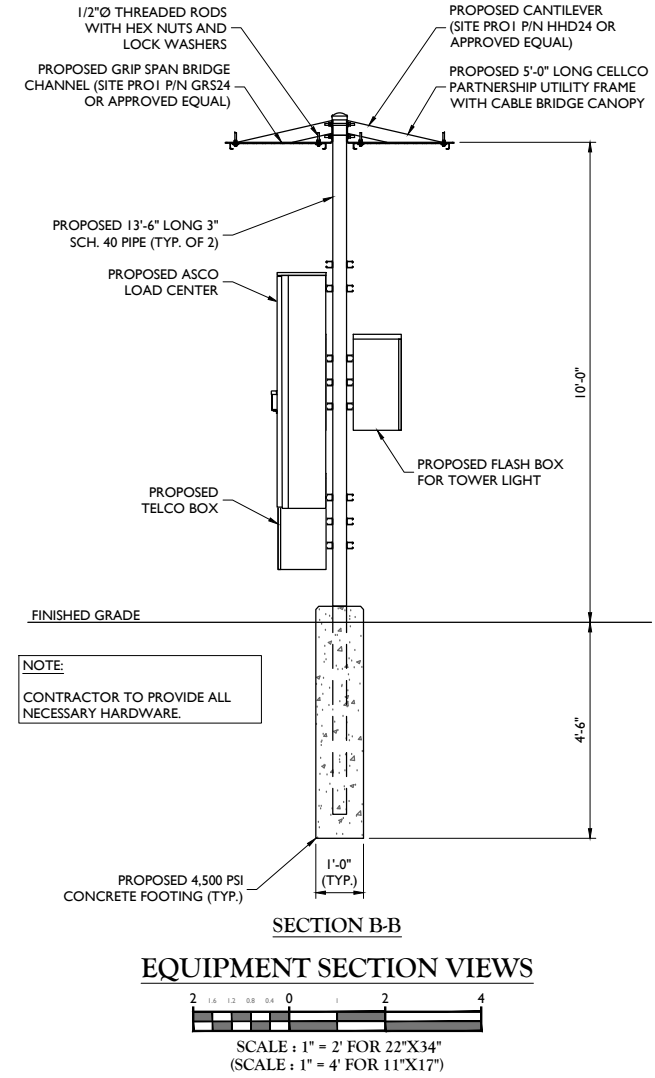
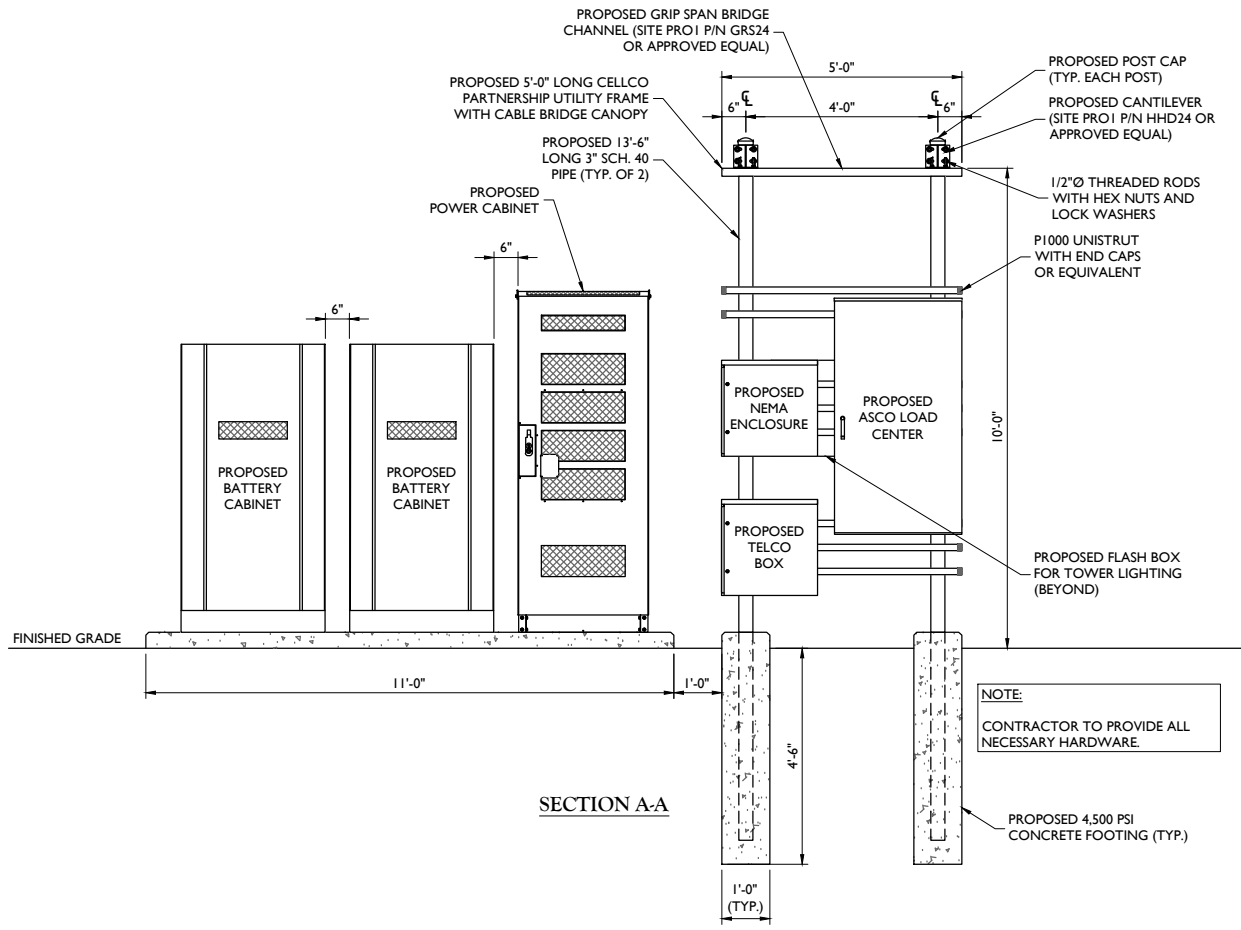
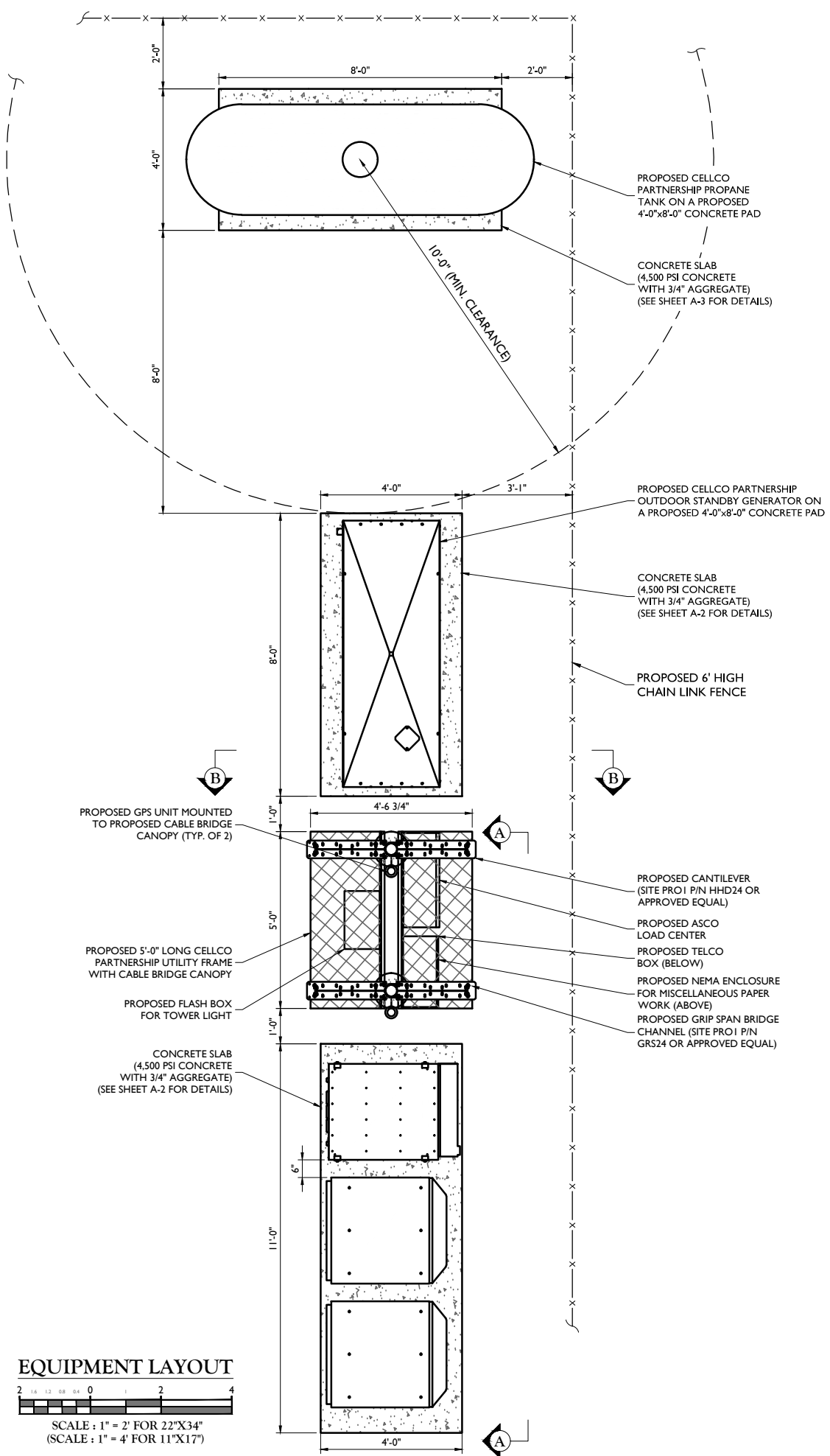
SITE NAME:  
  
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DELMAR, DE 19940  
SUSSEX COUNTY

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2000 Piedmont Drive  
Suite 100  
Mount Laurel, NJ 08054  
Phone: 856.797.0412  
Fax: 856.722.1120

SHEET TITLE:  
CONSTRUCTION DETAILS

SHEET NUMBER:  
A-1

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



VP: [unreadable] 11/18/2020; [unreadable] CD Rev 0.0 [unreadable] By: HSP/ALM/ART

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BUILDING 2, FLOOR 3  
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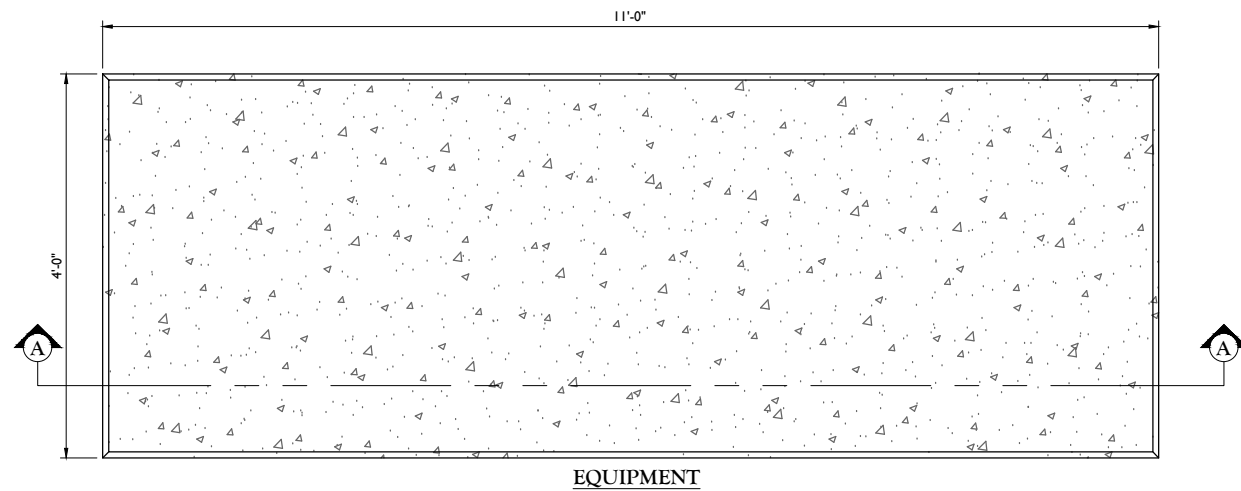
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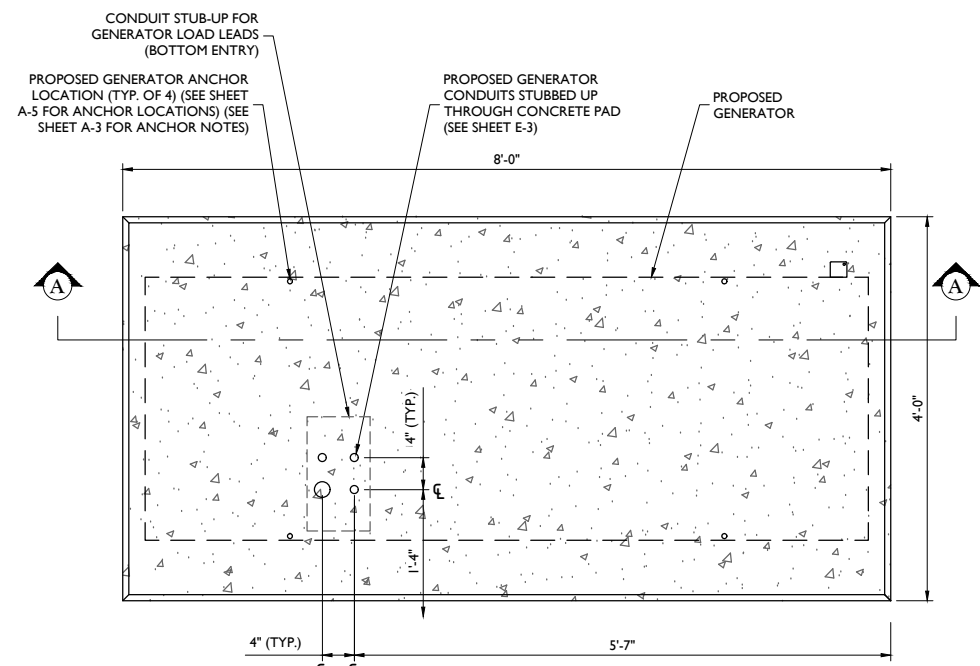
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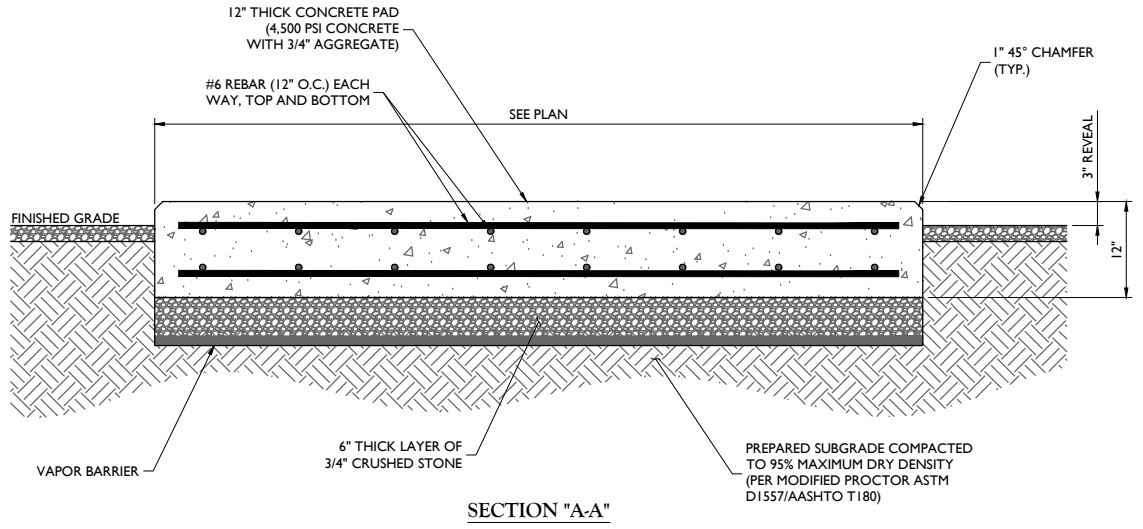
SHEET NUMBER:  
A-2



EQUIPMENT



GENERATOR



SECTION "A-A"

**CONCRETE EQUIPMENT PAD DETAILS**

NOT TO SCALE

**CONCRETE NOTES:**

DESIGN INFORMATION:

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336A, ASTM A184, ASTM A185 AND THE DESIGN & CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
- THE DESIGN SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE AS SHOWN ON SHEET T-1.

EARTHWORK:

- FOUNDATIONS HAVE BEEN DESIGNED TO BEAR ON (UNDISTURBED RESIDUAL SOILS/COMPACTED STRUCTURAL FILL), CAPABLE OF SAFELY SUPPORTING AN ALLOWABLE BEARING PRESSURE OF 1,500 PSF. IF FOUNDATION CONDITIONS PROVE UNACCEPTABLE AT ELEVATIONS SHOWN, EXCAVATION SHALL BE CARRIED DEEPER AND SHALL BE BACKFILLED WITH LEAN CONCRETE TO PLAN FOOTING BOTTOM, OR REDISIGN OF FOUNDATIONS WILL BE REQUIRED AT THE DIRECTION OF THE ENGINEER.
- DESIGN FURNISH AND INSTALL TEMPORARY SHEETING, SHORING, AND DRAINAGE TO MAINTAIN THE EXCAVATION AND PROTECT SURROUNDING STRUCTURES AND UTILITIES.
- THOROUGHLY COMPACT ALL BOTTOM OF FOOTINGS PRIOR TO PLACING ANY CONCRETE.

CONCRETE:

- FORMWORK
  - CONCRETE CONSTRUCTION SHALL CONFORM TO "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS," (ACI 301-89).
  - FORMWORK SHALL CONFORM TO ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
- REINFORCEMENT
  - REINFORCING STEEL ASTM A615, GRADE 60, WELDED WIRE ASTM A185 (FLAT SHEET), LAPS 40 BAR DIAMETERS UNLESS NOTED. BARS SHALL BE SECURELY HELD IN ACCURATE POSITION BY SUITABLE ACCESSORIES, TIE BARS, SUPPORT BARS, ETC. HOOK LENGTHS SHALL BE 12 BAR DIAMETERS.
  - CONCRETE COVER FOR REINFORCING BARS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED.
 

2.b.1. FOOTINGS AND SLABS CAST AGAINST GROUND	3"
2.b.2. CONCRETE TO BE IN CONTACT WITH GROUND OR WEATHER AT BARS GREATER THAN 5"	2"
2.b.3. AT BARS #5 OR LESS	1 1/2"
2.b.4. CONCRETE NOT TO BE EXPOSED TO GROUND OR WEATHER BEAMS, GIRDERS, AND COLUMNS	1 1/2"
2.b.5. SLABS AND WALLS	3/4"
  - CAST IN PLACE CONCRETE
    - MINIMUM 28 DAY CYLINDER STRENGTH AND MAXIMUM SLUMP, PRIOR TO ADDITION F SUPER PLASTICIZERS, AS FOLLOWS:
 

2.c.1.1. CLASS I FOOTINGS	3000 PSI	3"
2.c.1.2. CLASS III INTERIOR ELEVATED SLABS AND WALLS	4500 PSI	4"
2.c.1.3. CLASS V OTHER WORK	4500 PSI	4"
2.c.1.4. CLASS VI LEAN CONCRETE FOR OVEREXCAVATION OF FOUNDATIONS	2000 PSI	N/A
    - MIX DESIGN TO BE IN ACCORDANCE WITH ACI 318, CHAPTER 5, NO CALCIUM CHLORIDE ADMIXTURE CONTAINING CHLORIDES SHALL BE USED IN ANY CONCRETE
    - COARSE AGGREGATE FOR NORMAL WIEIGHT CONCRETE SHALL CONFORM TO ASTM C33 SIZE #57. COARSE AGGREGATE FOR LIGHTWEIGHT CONCRETE SHALL CONFORM TO ASTM C330 GRADED 3/4" TO 1 1/4".
    - COLD WEATHER PLACEMENT SHALL COMPLY WITH ACI 306.1
    - HOT WEATHER PLACEMENT SHALL COMPLY WITH ACI 305 R.
    - CHAMFER ALL EXPOSED EDGES 3/4"
    - THE MAXIMUM TEMPERATURE OF ALL CONCRETE AT DELIVERY TO THE SITE SHALL BE 85°F
    - TOTAL DELIVERY TIME SHALL BE LESS THAN 75 MINUTES.

**ANCHOR NOTES:**

- CONTRACTOR SHALL VERIFY CONSTRUCTION AND CONDITION OF EXISTING STRUCTURE PRIOR TO INSTALLATION OF ANCHORS. IF ANCHORS ARE UNABLE TO BE INSTALLED AS SHOWN OR DESCRIBED BELOW, OR THE EXISTING STRUCTURE IS CRACKED, DETERIORATED OR MISSING BASE MATERIAL SECTIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- ANCHORS SHALL BE INSTALLED PER MANUFACTURE'S WRITTEN SPECIFICATIONS.
- ANCHORS SHALL NOT BE INSTALLED WITHIN OR NEAR MORTAR AREAS. ANCHORS SHALL BE INSTALLED IN THE CENTER OF BRICK.
- THROUGH BOLTING, IF POSSIBLE, SHALL BE UTILIZED AS THE PRIMARY ANCHORING METHOD:
  - 5/8"Ø A36/A307 THREADED ROD W/ NUTS AND OVERSIZED WASHERS
- ADHESIVE ANCHORS/FASTENERS REQUIREMENTS:
  - CONCRETE
    - (MINIMUM CONCRETE THICKNESS = 7 3/8"):
    - HILTI HY200 WITH 5/8"Ø HIT-Z(-R) RODS AND OVERSIZED WASHER
  - MASONRY
    - GROUT FILLED CMU:
      - 5/8" Ø THREADED ROD WITH HILTI HIT-HY 270 ADHESIVE
      - 5-5/8" EFFECTIVE EMBEDMENT
      - 4" MINIMUM SPACING BETWEEN ANCHORS
      - 4" MINIMUM EDGE DISTANCE
    - HOLLOW CMU:
      - HIT-IC 1/2X2 INSERT WITH HIT-HY 270 ADHESIVE AND OVERSIZED WASHER
      - 2" EFFECTIVE EMBEDMENT
      - 4" MINIMUM SPACING BETWEEN ANCHORS, MAXIMUM TWO (2) ANCHORS PER HOLLOW CELL
      - 4" MINIMUM EDGE DISTANCE
    - HOLLOW BRICK:
      - HIT-IC 1/2X3-3/16 INSERT WITH HIT-HY 270 ADHESIVE AND OVERSIZED WASHER
      - 3-1/8" EFFECTIVE EMBEDMENT
      - 8" MINIMUM SPACING BETWEEN ANCHORS, MAXIMUM ONE (1) ANCHOR PER BRICK
      - 8" MINIMUM EDGE DISTANCE
    - MULTI-WYTHE SOLID BRICK (MINIMUM 13" THICK WALL OR REPRESENTING 3 WYTHES OF BRICK):
      - 5/8"Ø THREADED ROD WITH HILTI HIT-HY 270 WITH OVERSIZED WASHER
      - 6" MINIMUM EMBEDMENT
      - 16" MINIMUM SPACING BETWEEN ANCHORS, MAXIMUM ONE (1) ANCHOR PER BRICK
      - 16" MINIMUM EDGE DISTANCE

VP:MAS, 11/18/2020, H:\CD Rev 04\eqA-2

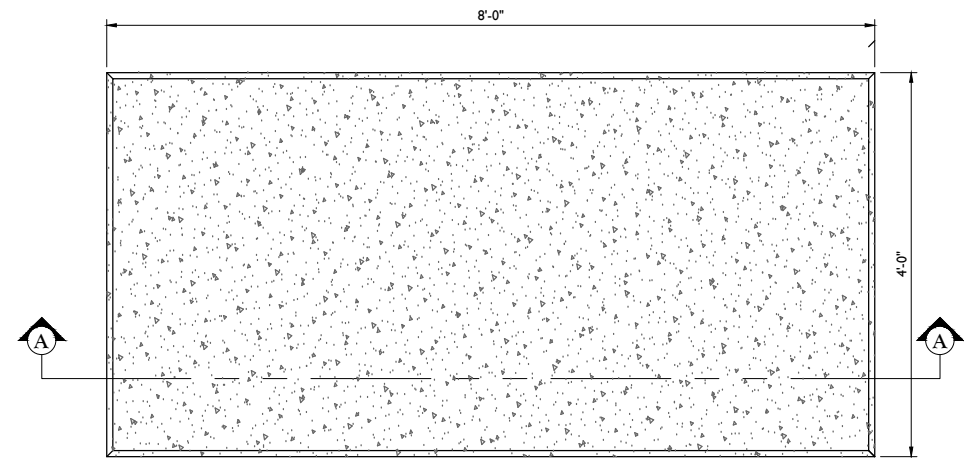


**ABOVEGROUND  
PROPANE STORAGE TANKS  
120 - 1000 Gallons**

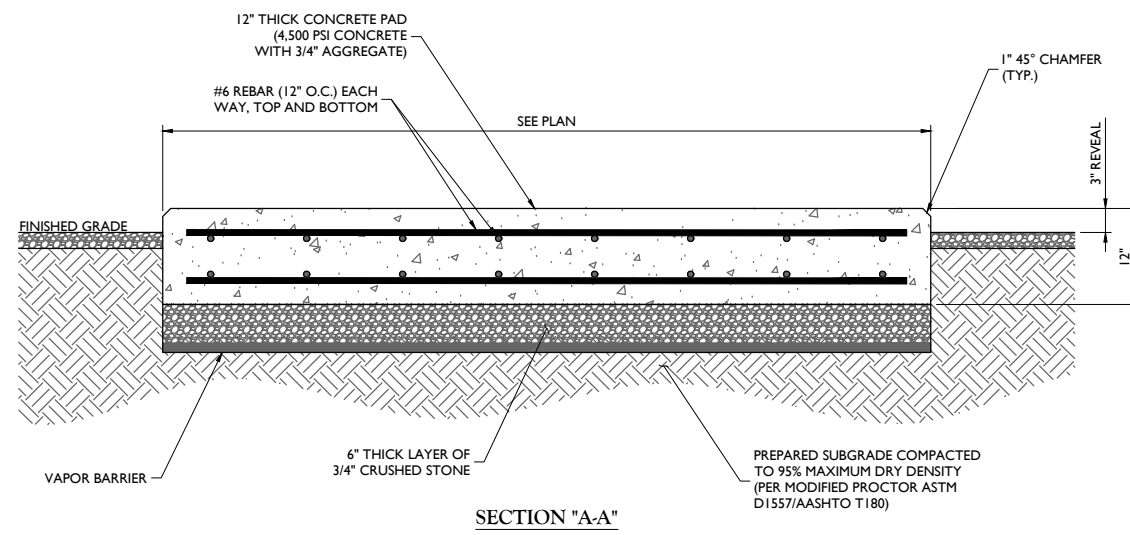
**ABOVEGROUND VESSEL DIMENSIONS & SPECIFICATIONS**  
(All Vessel Dimensions are Approximate)

Part Number	Description	Water Capacity Gall	Outside Diameter In/mm	Head Type	Overall Length In/mm	Overall Height In/mm	Leg Width In/mm	Leg Spacing In/mm	Weight Lbs/kg	Quantity Full Load	Quantity Per Stack
68268**	120 Gallon Aboveground Storage Tank	120 454.2	24" 609.6	Ellip	5' 8" 1727.2	2' 10 1/4" 870	10 1/8" 257.2	3' 0" 914.4	310 140.6	96	12
68270**	250 Gallon Aboveground Storage Tank	250 946.3	30" 762	Hemi	7' 10" 2387.6	3' 4 3/16" 1020.8	12 3/4" 323.9	3' 6" 1066.8	471 213.6	54	9
68272**	320 Gallon Aboveground Storage Tank	320 1211.3	30" 762.0	Hemi	9' 7" 2921	3' 4 3/16" 1020.8	12 3/4" 323.9	4' 0 1/4" 1225.6	566 256.7	45	9
68274** 68303*	500 Gallon Aboveground Storage Tank	500 1892.7	37.5" 952.5	Hemi	9' 10" 2997.2	3' 11 1/2" 1206.5	15" 381	5' 0" 1524	920 417.3	30	6
68276** 68304*	1000 Gallon Aboveground Storage Tank	1000 3785.4	41" 1041.4	Hemi	15' 11" 4851.4	4' 2 15/16" 1293.8	16 1/4" 412.8	9' 0" 2743.2	1737 787.9	15	5

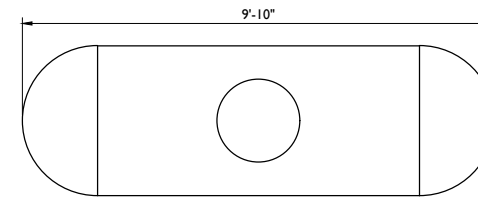
\* Drain \*\*No Drain  
Federal, state or local regulations may contain specific applicable requirements for protective coatings and cathodic protection. The purchaser and installer are responsible for compliance with such federal, state, local and NFPA industry regulations, including, but not limited to, proper purging prior to putting into service. Coating (s) must be continuous, uninterrupted and must comply with local, state or national codes or regulations.



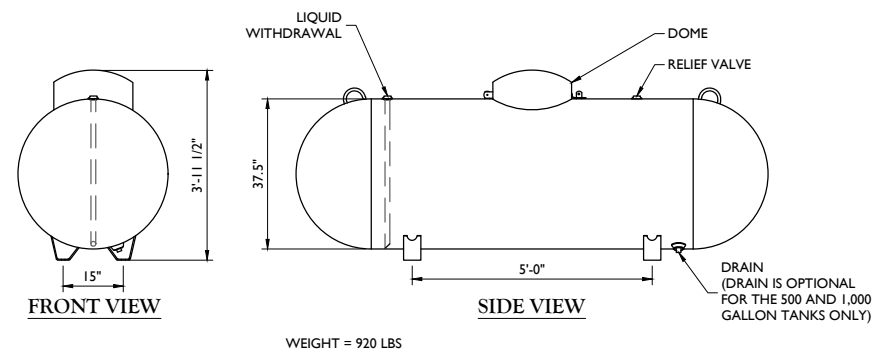
**PROPANE TANK CONCRETE PAD**



**PROPANE TANK CONCRETE PAD DETAILS**  
NOT TO SCALE



**PLAN VIEW**



**MANCHESTER PROPANE TANK 500 GALLON  
ABOVEGROUND STORAGE DETAIL**  
NOT TO SCALE



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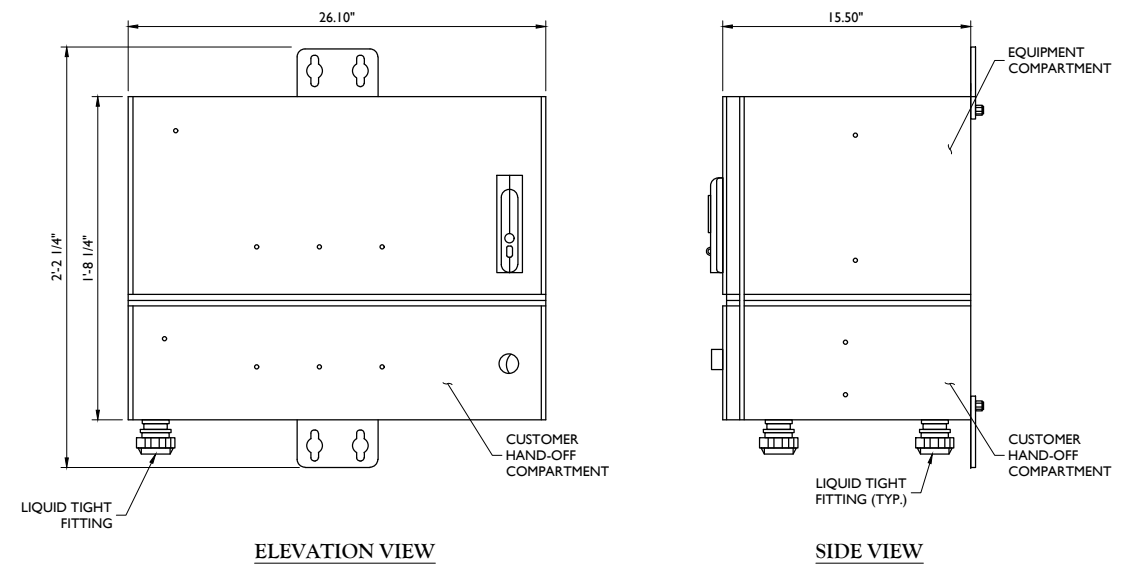
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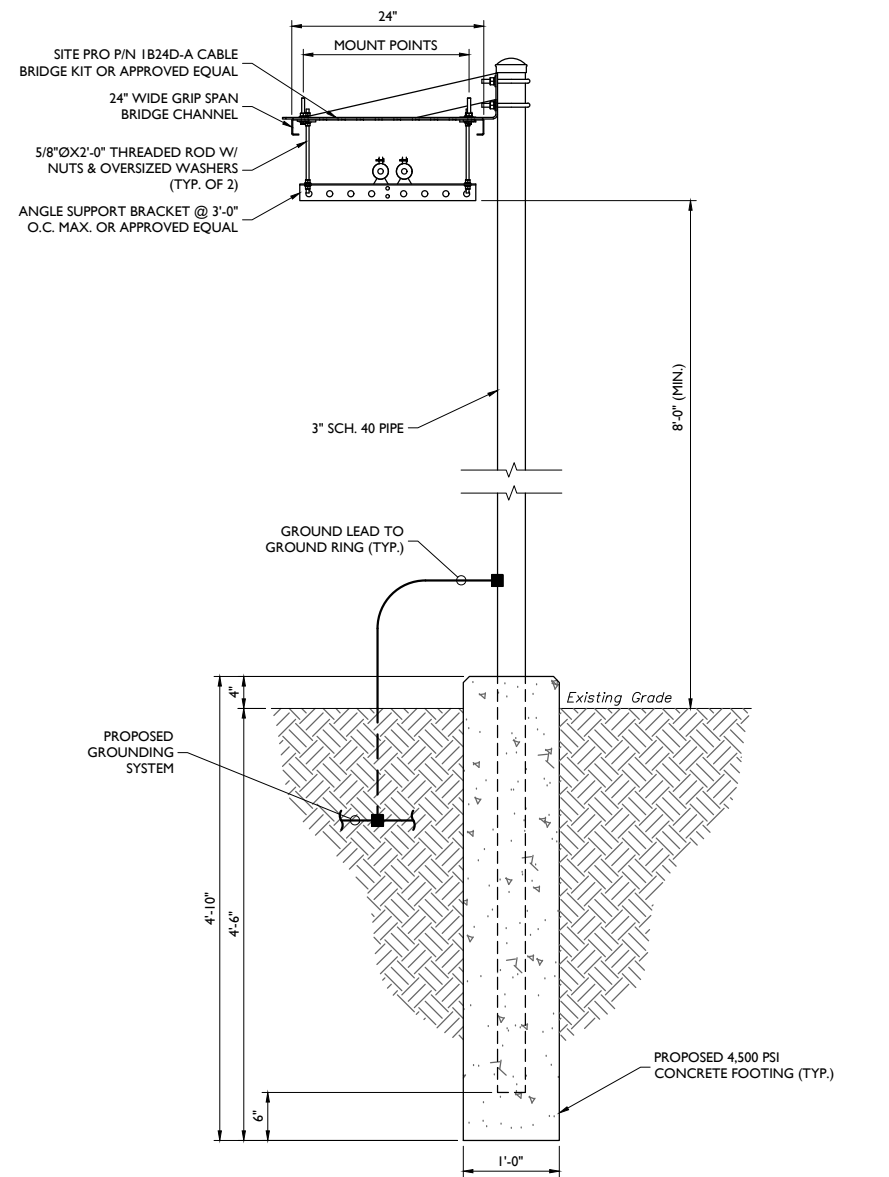




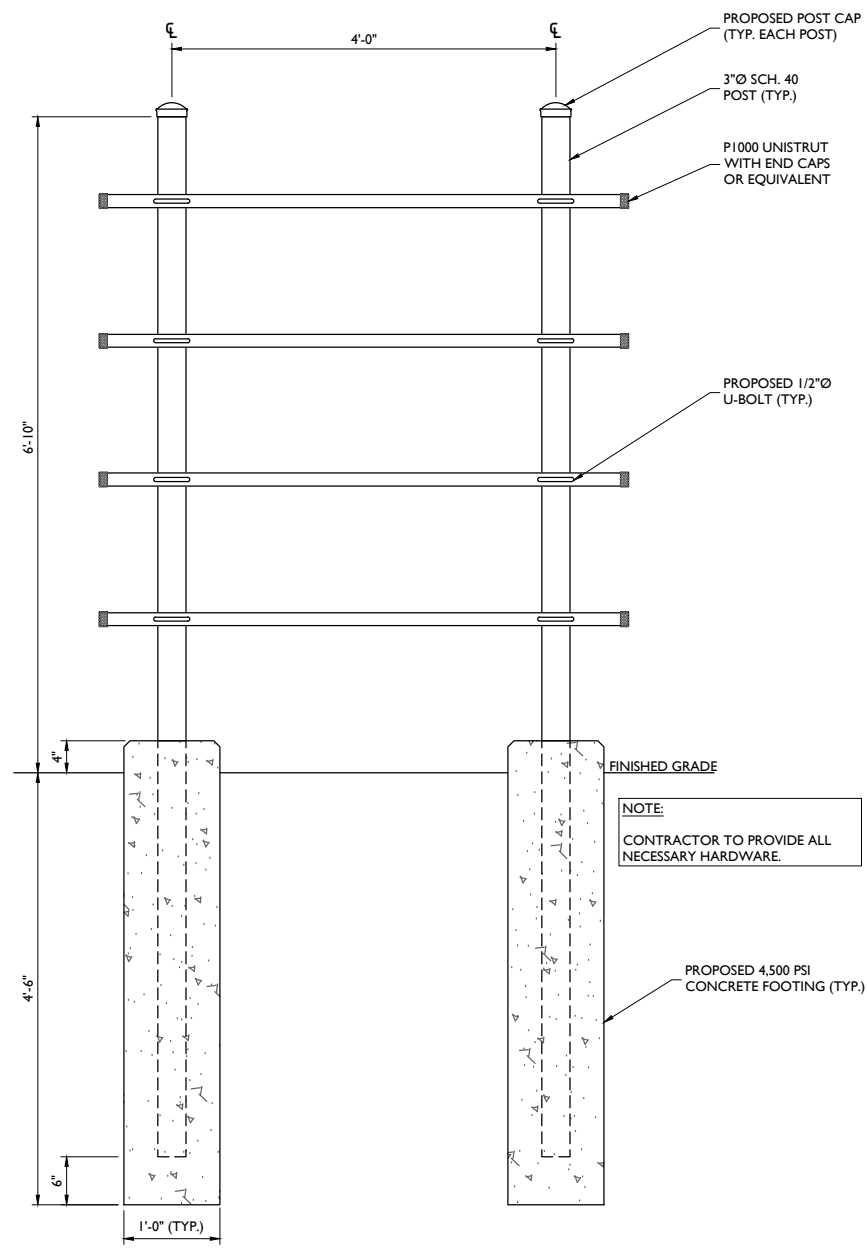
ELEVATION VIEW

SIDE VIEW

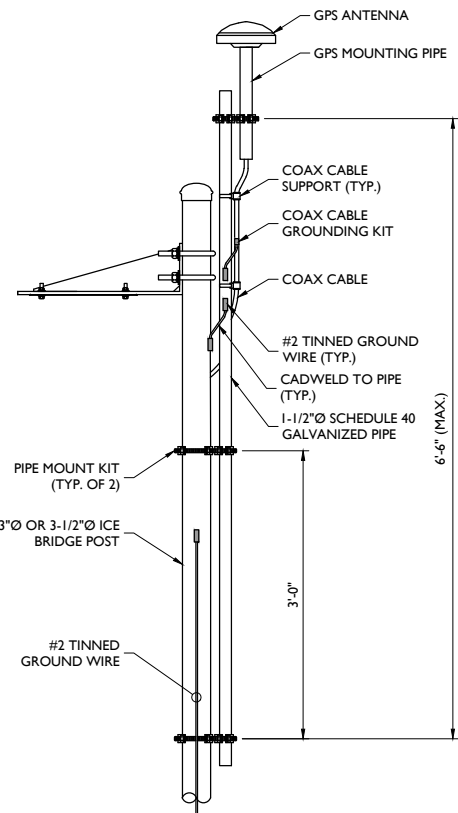
**CHARLES INDUSTRIES RL2000A CUBE**  
NOT TO SCALE



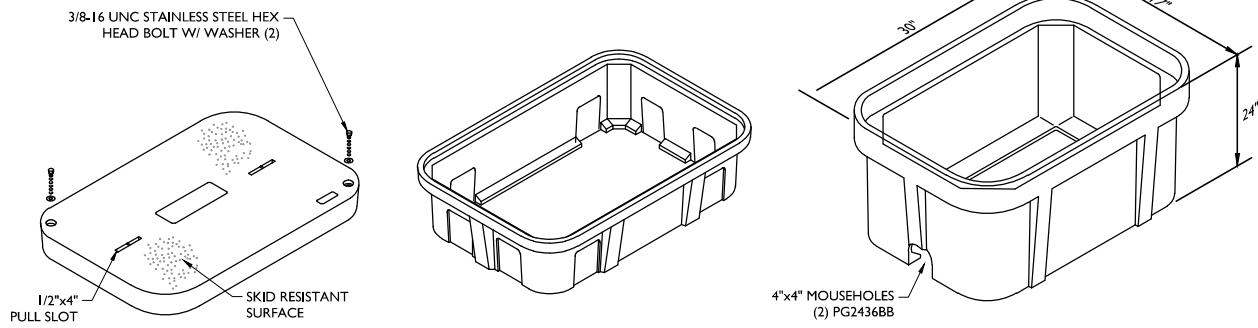
**CABLE BRIDGE DETAIL**  
NOT TO SCALE



**BACKBOARD DETAIL**  
NOT TO SCALE



**GPS MOUNTING DETAIL**  
NOT TO SCALE



**PULL BOX DETAIL**  
NOT TO SCALE

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**MICHAEL P. CLEARY**  
LICENSE  
No. 19205  
MICHAEL P. CLEARY  
DELAWARE PROFESSIONAL ENGINEER - LICENSE NUMBER: 19205  
DATE:

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SHEET NUMBER:  
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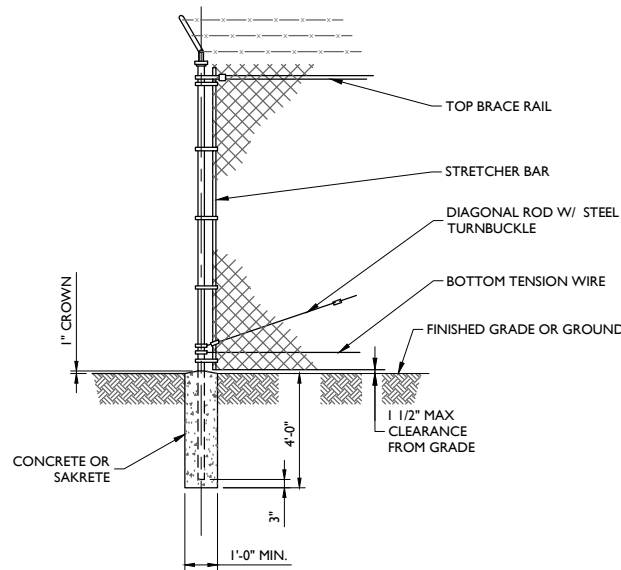
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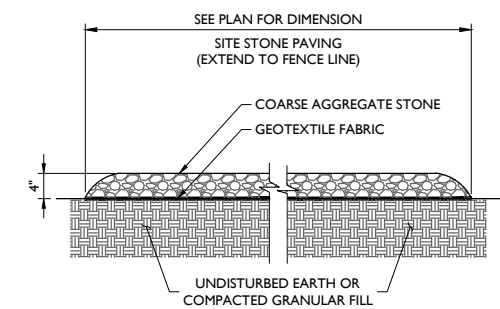
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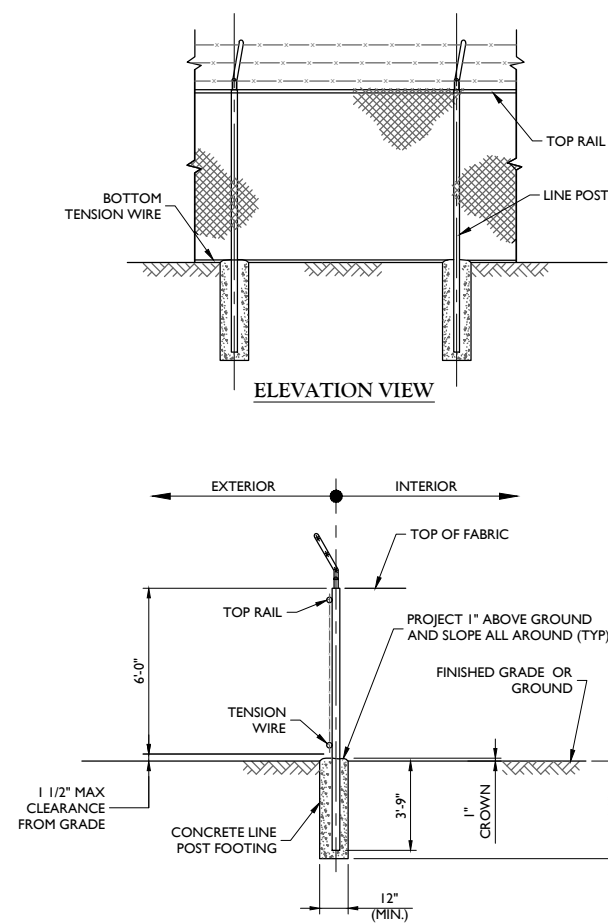
**WOVEN WIRE CORNER, GATE, END, OR PULL POST**  
 NOT TO SCALE

**FENCE NOTES:**

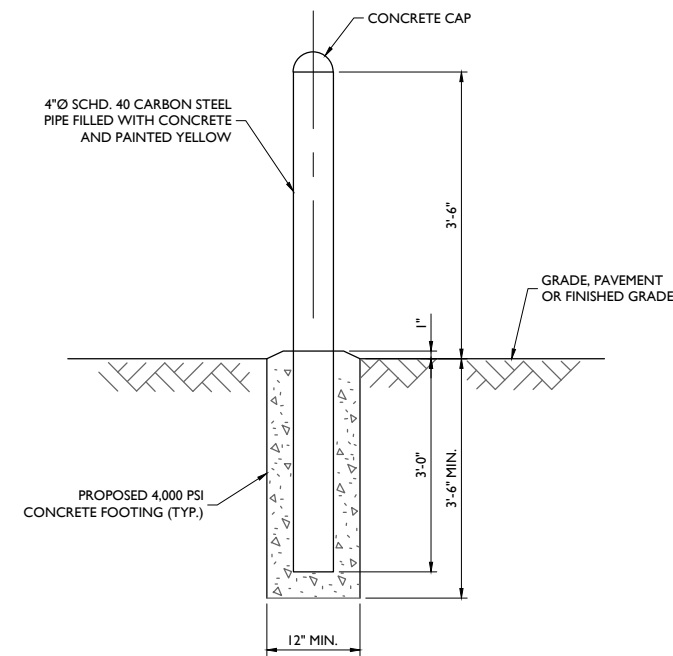
- GATE POST, CORNER, TERMINAL OR PULL POST SHALL BE 3"Ø SCHEDULE 40 FOR GATE WIDTHS UP THROUGH 7 FEET OR 14 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.
- LINE POST: 2-3/8"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
- GATE FRAME: 1 1/2"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
- TOP RAIL & BRACE RAIL: 1 1/4"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
- FABRIC: 9 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392 CLASS I.
- TIE WIRE: MINIMUM 11 GA GALVANIZED STEEL INSTALL A SINGLE WRAP TIE WIRE AT POSTS AND RAILS AT MAX. 24" INTERVALS. INSTALL HOG RINGS ON TENSION WIRE AT 24" INTERVALS.
- TENSION WIRE: 7 GA. GALVANIZED STEEL.
- BARBED WIRE: 3 STRANDS OF DOUBLE STRANDED 12-1/2 GAUGE TWISTED WIRE, 4 PT. BARBS SPACED ON APPROXIMATELY 5" CENTERS.
- GATE LATCH: 1-3/8" O.D. PLUNGER ROD W/ MUSHROOM TYPE CATCH AND LOCK.
- LOCAL ORDINANCE FOR BARBED WIRE PERMIT SHALL GOVERN INSTALLATION.
- HEIGHT = 6'-0" VERTICAL DIMENSION WITH 1'-0" BARBED WIRE.
- ALL WORK SHALL CONFORM WITH THE PROJECT SPECIFICATIONS.



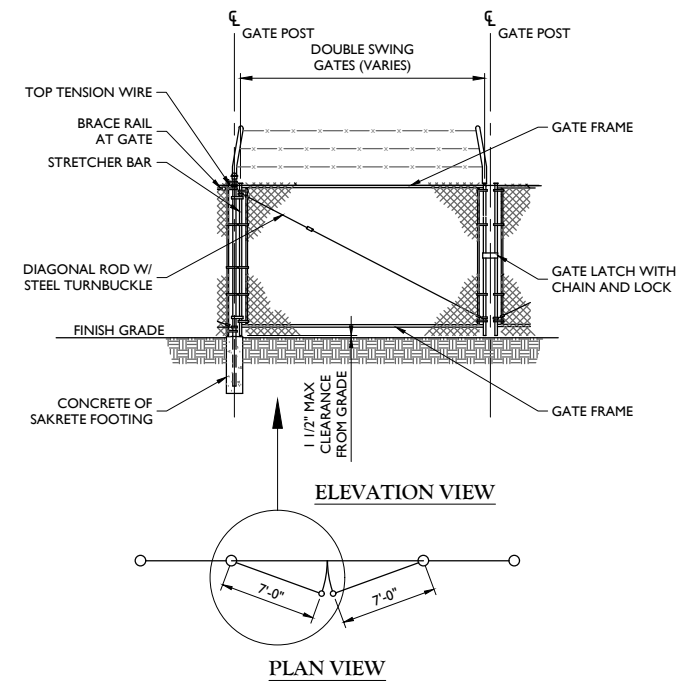
**GRAVEL SURFACING**  
 NOT TO SCALE



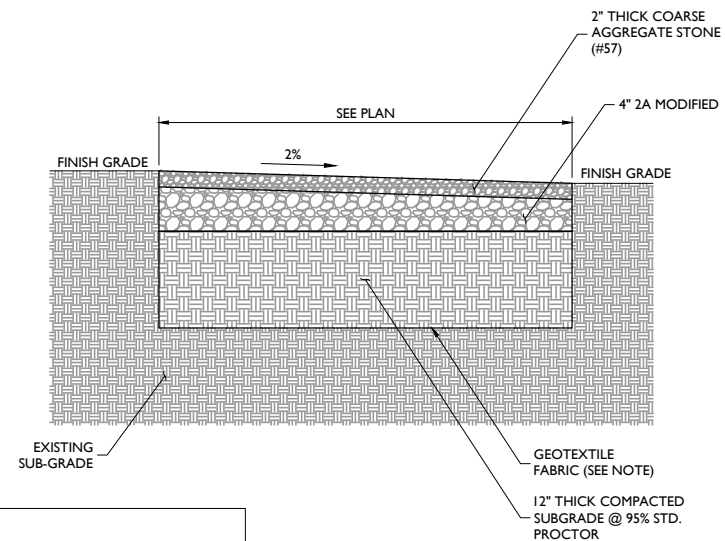
**WOVEN WIRE FENCE DETAIL**  
 NOT TO SCALE



**BOLLARD DETAIL**  
 NOT TO SCALE



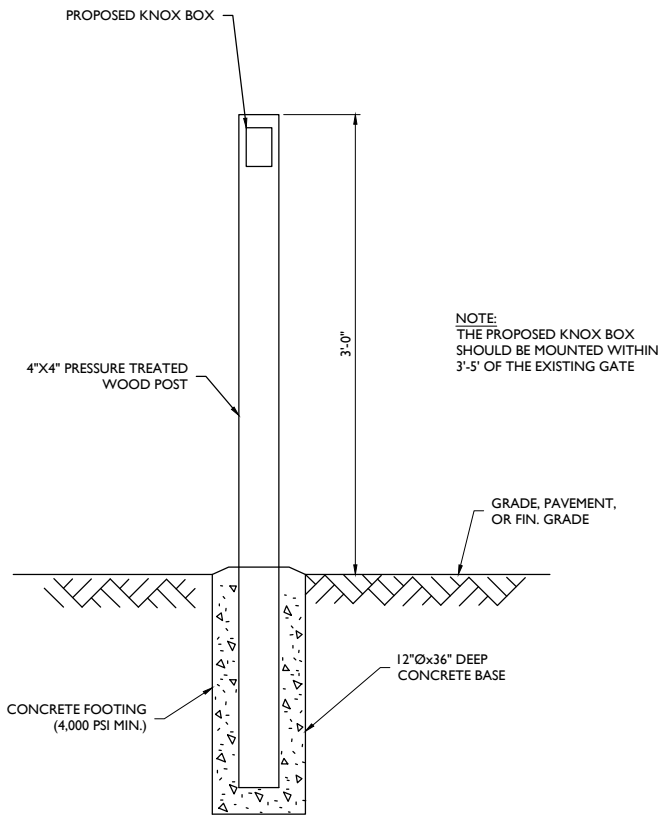
**WOVEN WIRE SWING GATE, DOUBLE**  
 NOT TO SCALE



NOTE:  
 GEOTEXTILE FABRIC IS TO BE MIRAFI 500X WOVEN WIRE FABRIC OR APPROVED EQUAL.

**GRAVEL DRIVEWAY SURFACING**  
 NOT TO SCALE

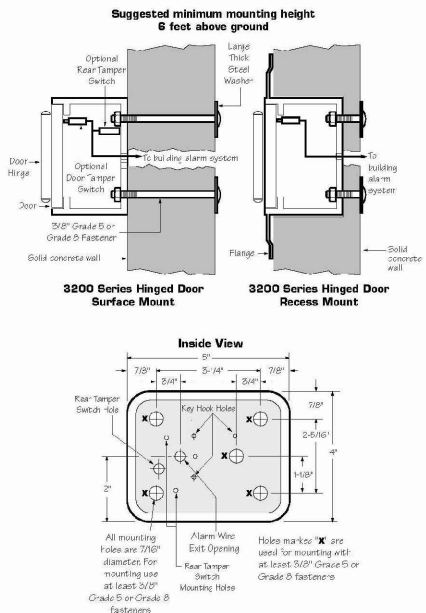




**KNOX BOX MOUNTING DETAIL**  
NOT TO SCALE



**Knox-Box® 3200 Series**  
HINGED DOOR MODEL - MOUNTING DIAGRAM



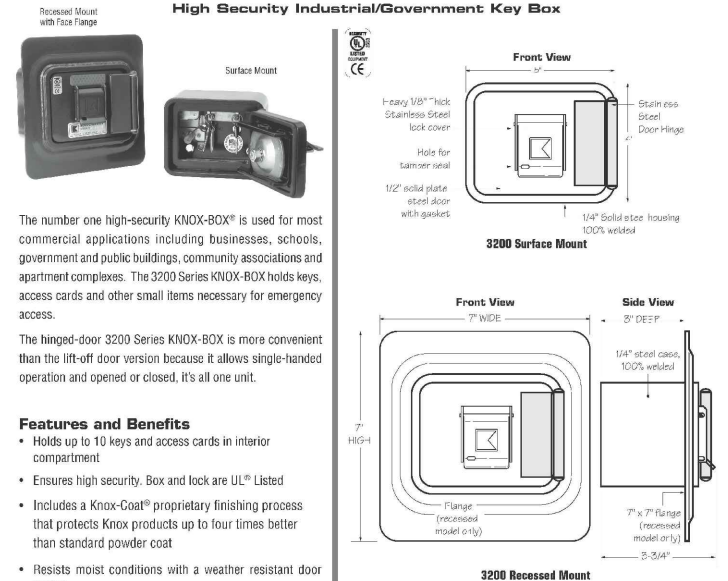
**Attention: KNOX-BOX® is a very strong device that MUST be mounted properly to ensure maximum security and resist physical attack.**

**Knox® Rapid Entry System**  
The Knox Company manufactures a complete line of high security products including Knox-Box key boxes, key vaults, cabinets, key switches, padlocks, locking FID caps, plugs and electronic masterkey security systems. For more information or technical assistance, please call Customer Service at 1-800-552-5669.

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**Knox-Box® 3200 Series**  
HINGED DOOR MODEL



**Recessed Mounting Kit**  
The 3200 Recessed Mounting Kit (RMK) is used for recessed models only. It contains a shell housing and mounting hardware to be cast-in-place in new concrete or masonry construction. After construction is completed, the KNOX-BOX mounts inside the RMK. The RMK may only be used in new concrete or masonry construction.

**Installation In Cast Concrete**  
The optional Recessed Mounting Kit is for use in new concrete or masonry construction only. The kit includes a shell housing and mounting hardware to be cast-in-place. The KNOX-BOX is mounted into the shell housing after construction is completed.

**Dimensions**  
Rough-in Dimensions: 6-1/2\"/>

**IMPORTANT: Care should be taken to insure that the front of the RMK shell housing, including the cover plate and screw heads, is flush with the finish wall. The RMK must be plumbed to insure vertical alignment of the vault.**

**Recessed Mounting Using Recessed Mounting Kit (RMK)**  
KNOX-BOX® mounts inside RMK shell after completion of construction. RMK shell is mounted in wall during new construction. Knockouts for alarm wire conduit. Tite-rod for tie-in to wall if necessary.

**High Security Industrial/Government Key Box**  
The number one high-security KNOX-BOX® is used for most commercial applications including businesses, schools, government and public buildings, community associations and apartment complexes. The 3200 Series KNOX-BOX holds keys, access cards and other small items necessary for emergency access.

The hinged-door 3200 Series KNOX-BOX is more convenient than the lift-off door version because it allows single-handed operation and opened or closed. It's all one unit.

**Features and Benefits**

- Holds up to 10 keys and access cards in interior compartment
- Ensures high security. Box and lock are UL® Listed
- Includes a Knox-Coat® proprietary finishing process that protects Knox products up to four times better than standard powder coat
- Resists moist conditions with a weather resistant door gasket
- Hinged door allows single-handed operation
- Colors: Black, Dark Bronze or Aluminum
- Weight: Surface mount - 8 lbs. Recessed mount - 9 lbs.

**Options**

- Alarm tamper switches (UL Listed)
- Recessed Mounting Kit (RMK) for recessed models only
- Inside switch for use on electrical doors, gates and other electrical equipment

**Ordering Specifications**  
To insure procurement and delivery of the 3200 Series KNOX-BOX, it is suggested that the following specification paragraph be used:  
**KNOX-BOX** surface/recessed mount with hinged door, with/without UL Listed tamper switches, 1/4\"/>

Finish: Black, Dark Bronze or Aluminum  
P/N: 3200 Series KNOX-BOX (mfr's cat. ID)  
Mfr's Name: KNOX COMPANY

KNOX COMPANY • 1901 W. Deer Valley Road, Phoenix, AZ 85027 • (800) 552-5669 • (623) 687-2300 • Fax: (623) 687-2299 • Web: www.knoxbox.com • E-mail: info@knoxbox.com

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State of D.E. C.O.A.: 2840  
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**verizon**

CELLCO PARTNERSHIP d/b/a  
VERIZON WIRELESS  
512 TOWNSHIP LINE ROAD  
BUILDING 2, FLOOR 3  
BLUE BELL, PA 19422

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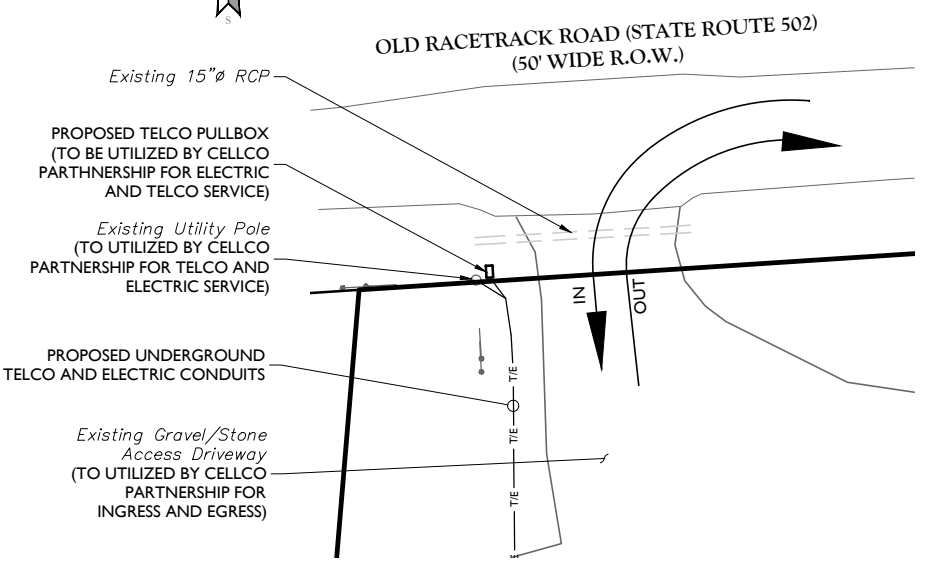
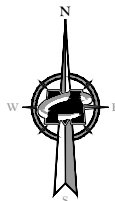
**MICHAEL P. CLEARY**  
LICENSE  
No. 19205  
MICHAEL P. CLEARY  
DELAWARE PROFESSIONAL ENGINEER - LICENSE NUMBER: 19205  
DATE: 12/18/20

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Suite 100  
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Phone: 856.797.0412  
Fax: 856.722.1120

SHEET TITLE:  
**CONSTRUCTION DETAILS**  
SHEET NUMBER:  
**A-6**



**TRIP GENERATION / DISTRIBUTION DIAGRAM**

SCALE: 1" = 20' FOR 22\"/>

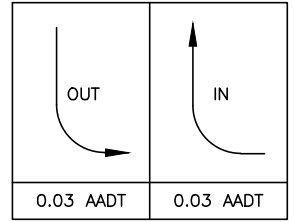
**KNOX-BOX DETAIL**  
NOT TO SCALE



**L-810 (SINGLE)**      **L-810 (DOUBLE)**

- LIGHTING NOTES:**
1. LIGHTING MODELS ARE TO BE FAA COMPLIANT.
  2. L-810 LIGHTS TO BE STEADY BURNING AND RED.
  3. LIGHTS TO BE MOUNTED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

**FAA LIGHTING DETAIL**  
NOT TO SCALE





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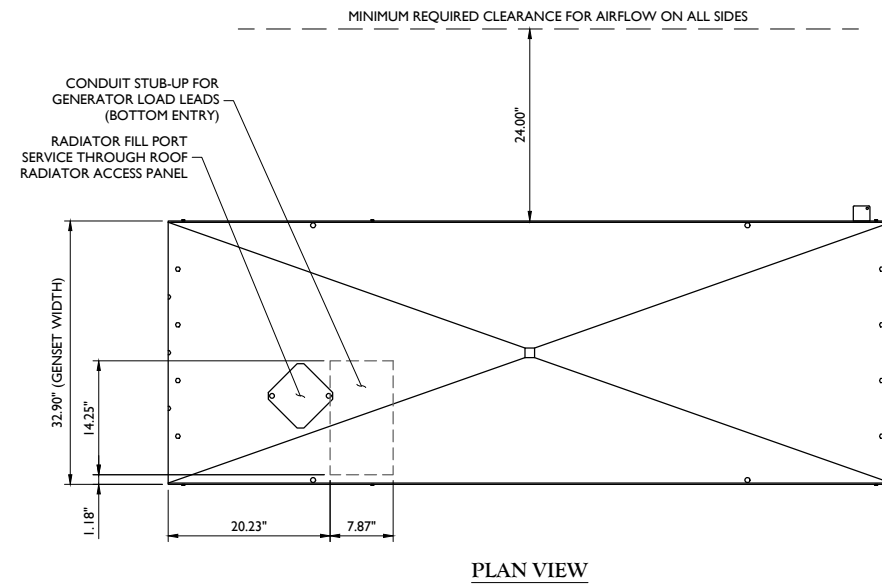
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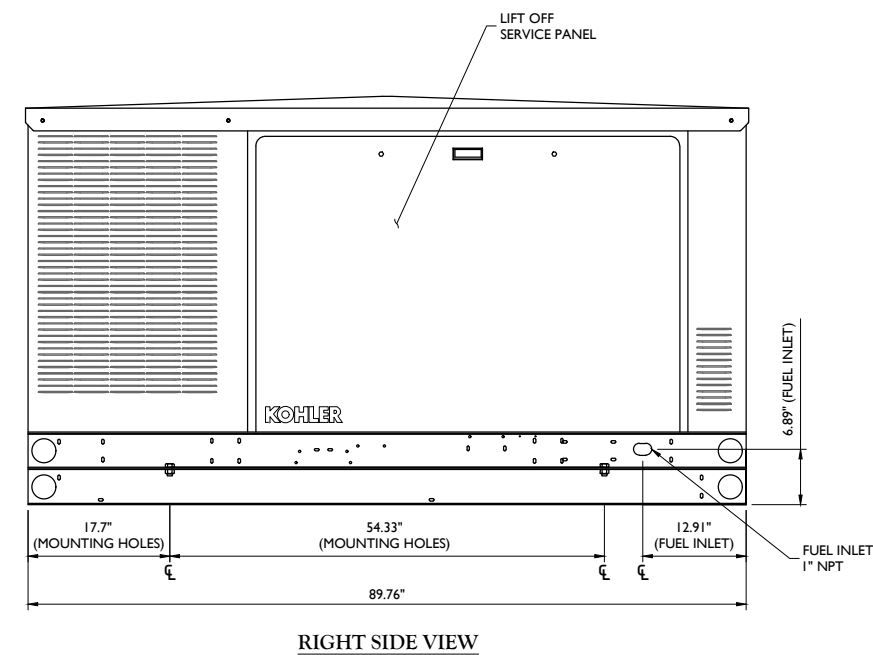
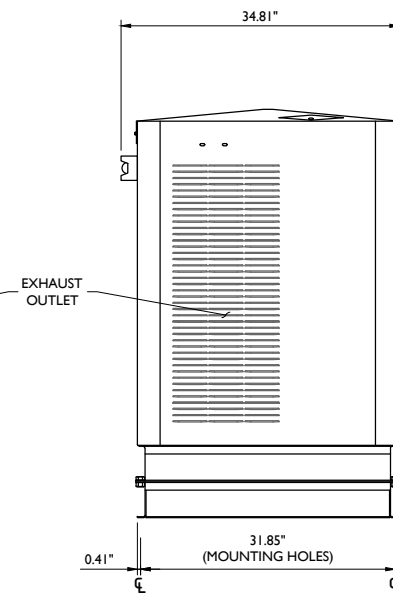
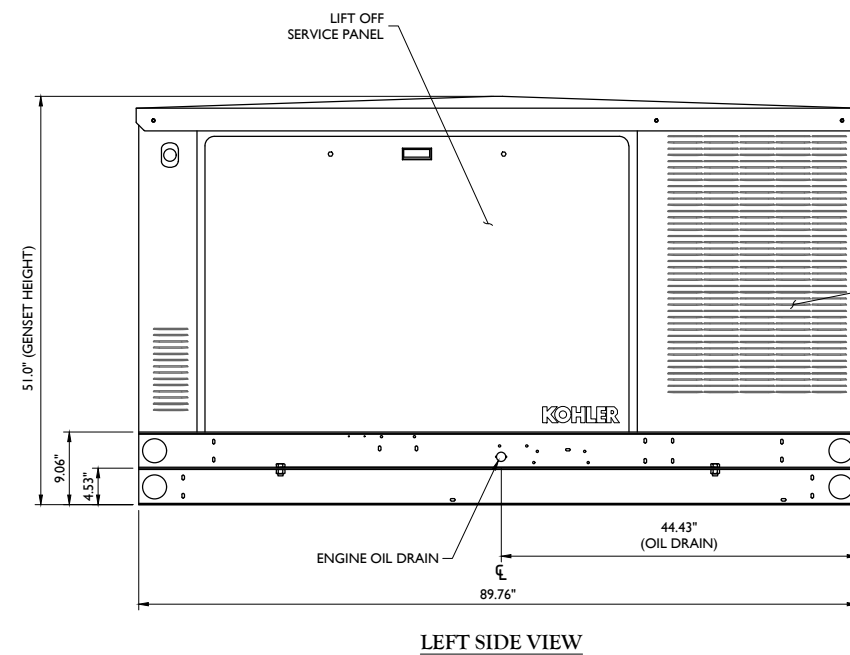
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**CONSTRUCTION DETAILS**

SHEET NUMBER:  
**A-7**

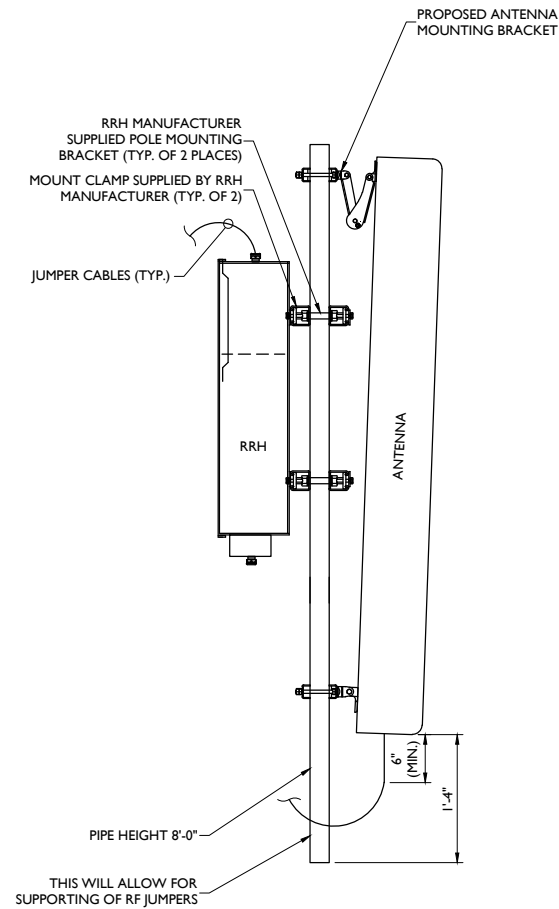


MODEL	ALTERNATOR	GENSET MAXIMUM WEIGHT
25/30CCL	4D/E	1,600 LBS
25/30CCL	4P/Q	1,630 LBS

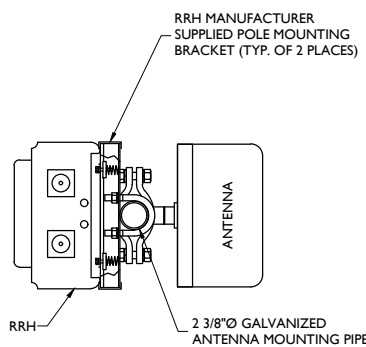
- NOTES:**
- BOTH SIDES OF THE GENERATOR IS SERVICE ACCESSIBLE WITH EASY ACCESS SERVICE PANELS.
  - 10 AMP BATTERY CHARGER.
  - 120VAC ENGINE BLOCK HEATER.
  - GENERATOR MUST BE GROUNDED.
  - SOUND ATTENUATED ENCLOSURE STANDARD WITH GENERATOR.
  - MUST ALLOW FREE FLOW OF DISCHARGE AIR AND EXHAUST.
  - MUST ALLOW FREE FLOW OF AIR INTAKE.
  - IT IS THE RESPONSIBILITY OF THE INSTALLATION TECHNICIAN TO ENSURE THAT THE GENERATOR INSTALLATION COMPLIES WITH ALL APPLICABLE CODES, STANDARDS AND REGULATIONS.
  - GENERATOR TO BE ANCHORED WITH 1/16" Ø A325 BOLTS. INSTALLED AND SIZE PER KOHLER RECOMMENDATIONS.
  - GENERATOR SOUND LEVEL IS 67.7 dBA @ 23 FT (7 METERS) WITH SOUND ENCLOSURE.



**KOHLER PROPANE  
GENERATOR DETAIL**  
NOT TO SCALE

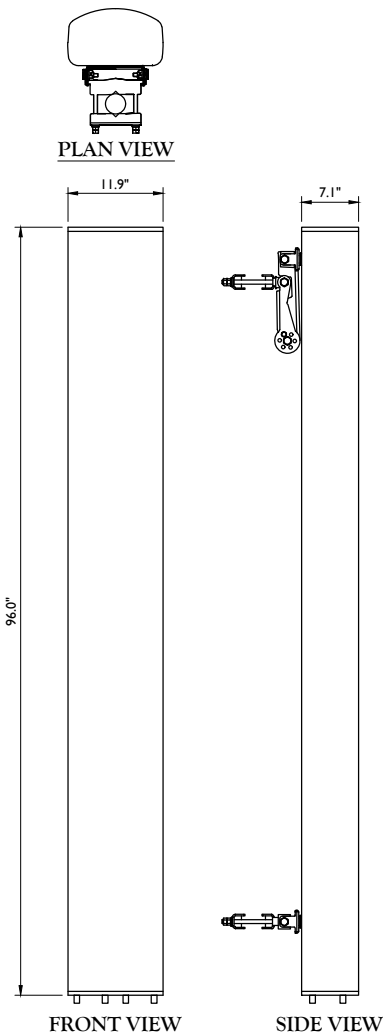


ELEVATION VIEW

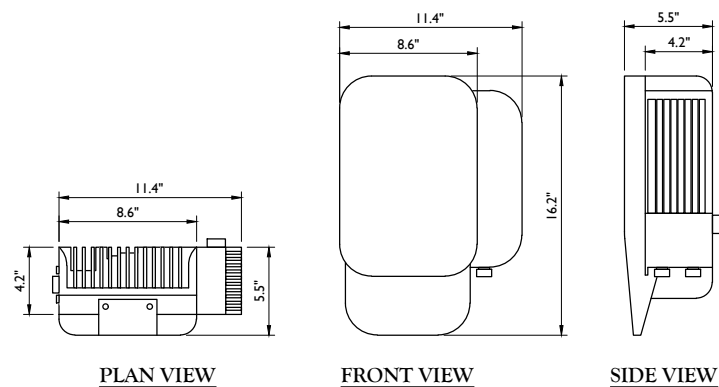


PLAN VIEW

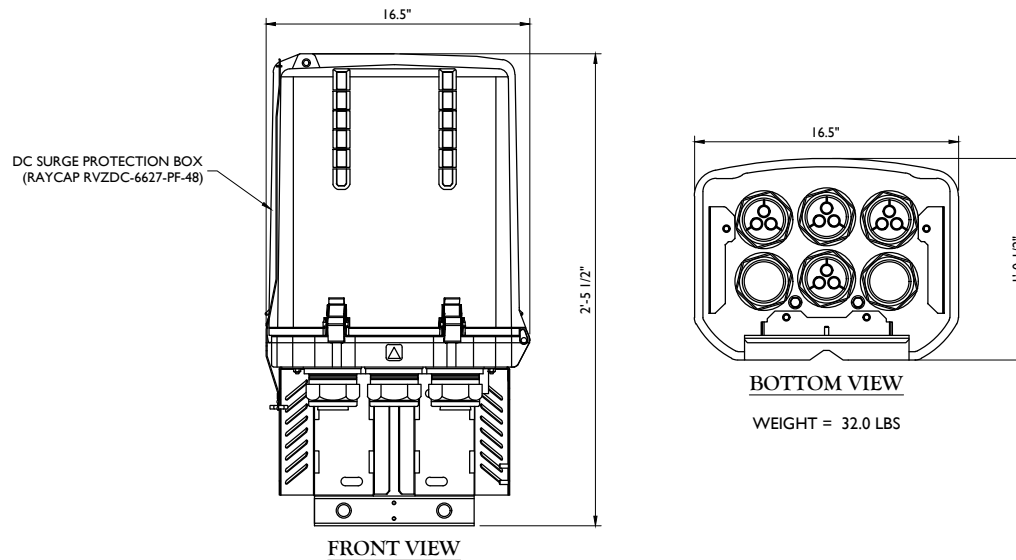
ANTENNA MOUNTING DETAIL  
NOT TO SCALE



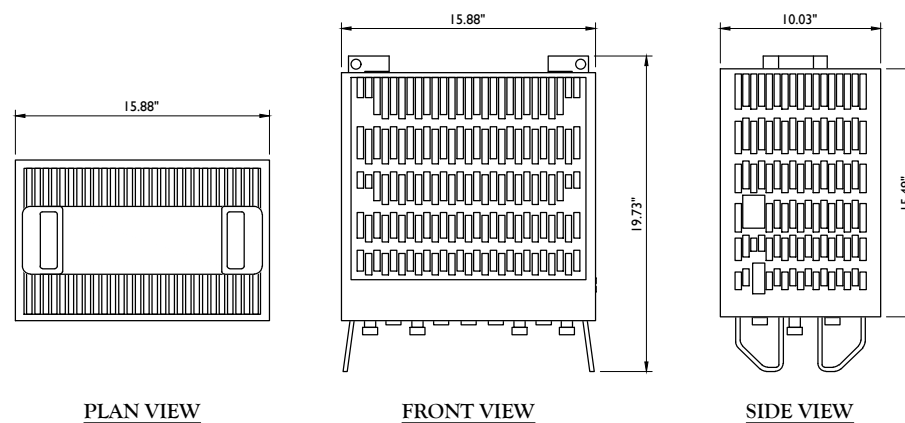
WEIGHT = 51.6 LBS  
WITH WITH BRACKETS = 64.9 LBS  
**COMMSCOPE NHH-65C-R2B**  
NOT TO SCALE



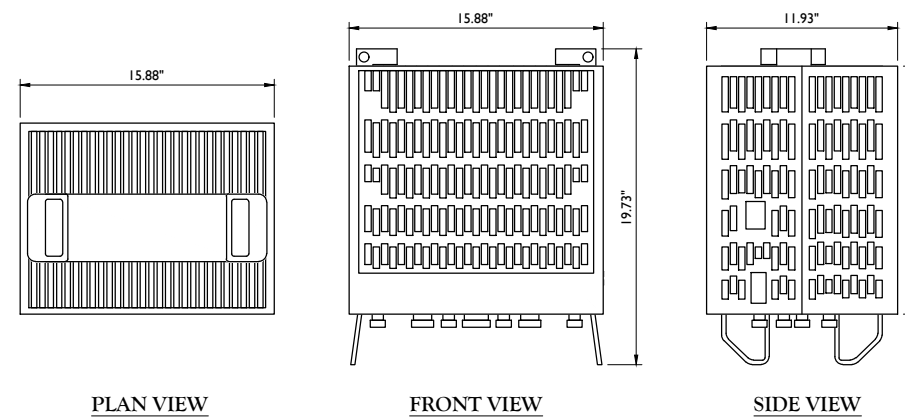
WEIGHT:  
AC-DC: 5.51 LBS  
RADIO: 18.65 LBS  
ANTENNA: 4.5 LBS  
**SAMSUNG CBR8 RT4401-48A**  
WITH AC TO DC ADAPTER RRH DETAIL  
NOT TO SCALE



**RAYCAP RVZDC-6627-PF-48**  
SURGE PROTECTION  
NOT TO SCALE



WEIGHT = 70.3 LBS  
**SAMSUNG RFV01U-D2A (700/850) RRH**  
WITH FINGER GUARD DETAIL  
NOT TO SCALE



WEIGHT = 84.4 LBS  
**SAMSUNG RFV01U-D1A (AWS/PCS) RRH**  
WITH FINGER GUARD DETAIL  
NOT TO SCALE



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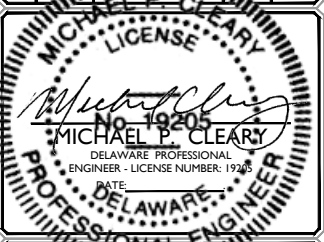


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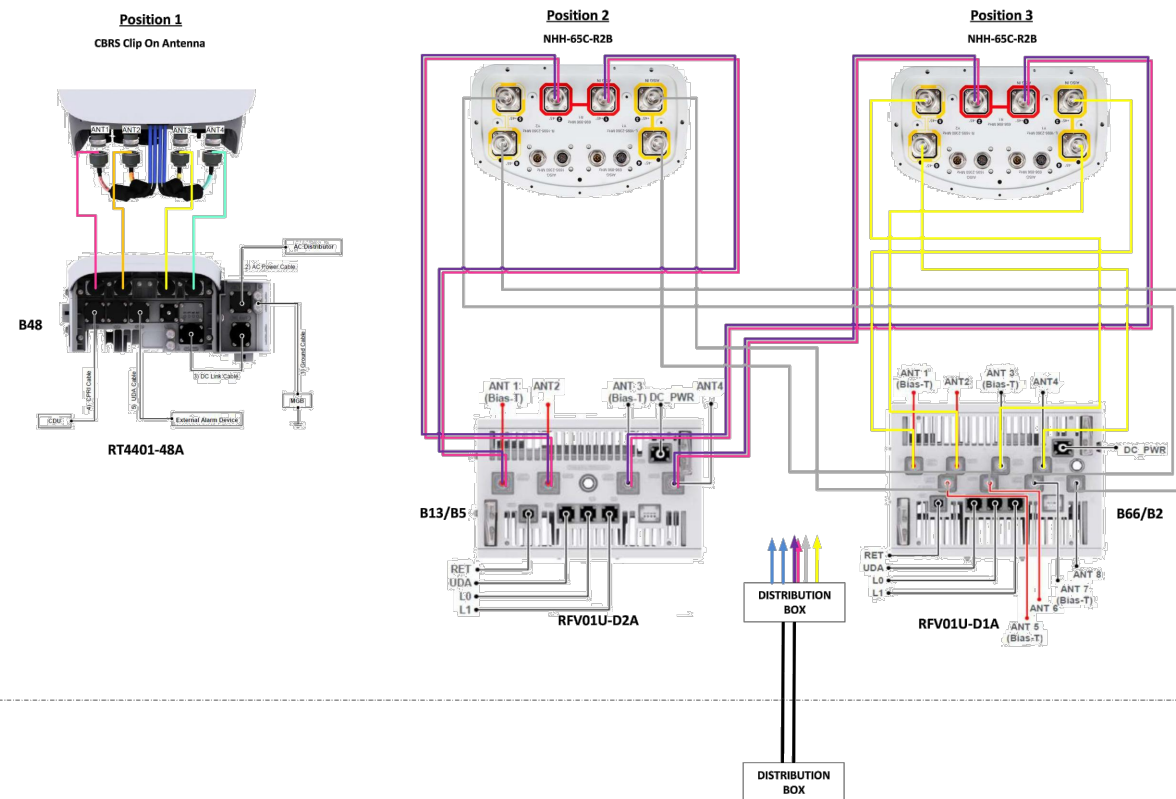
**Antenna Summary**

Added	700	850	1900	AWS	AWS3	28 GHz	31 GHz	39 GHz	CBRS	LAA	L-Sub6	Make	Model	Centerline	Tip Height	Azimuth	RET	4xRx	Inst. Type	Quantity
	LTE	LTE	LTE	LTE	LTE							COMMSCOPE	NHH-65C-R2B	150	153.999166666667	15(01) 120(02) 260(03)	false	false	PHYSICAL	6
									LTE			SAMSUNG	CBRS CLIP ON	150	150.4375	15(01) 120(02) 260(03)	false	false	PHYSICAL	3

**Equipment Summary**

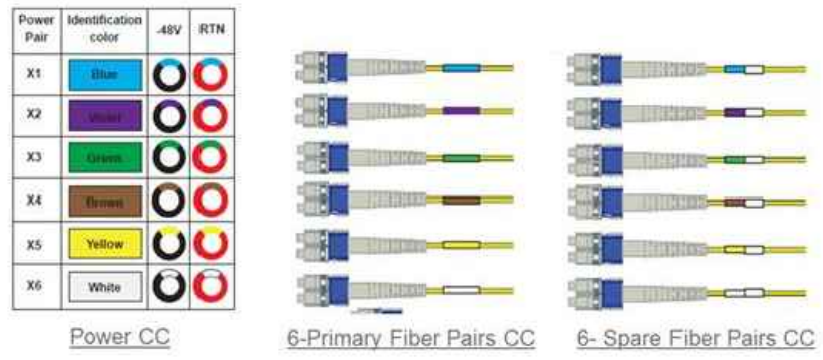
Added	Equipment Type	Location	700	850	1900	AWS	AWS3	28 GHz	31 GHz	39 GHz	CBRS	LAA	L-Sub6	Make	Model	Cable Length	Cable Size	Install Type	Quantity
	OVP Box	Tower												Raycap	RVZDC-6627-PF-48			PHYSICAL	1
	RRU	Tower				LTE	LTE	LTE						Samsung	B2/B66A RRH-BR049 (RFV01U-D1A)			PHYSICAL	3
	RRU	Tower	LTE	LTE										Samsung	B5/B13 RRH-BR04C (RFV01U-D2A)			PHYSICAL	3
	RRU	Tower									LTE			Samsung	CBRS RRH - RT4401-48A			PHYSICAL	3
	Hybrid Fiber	Tower													6x12			PHYSICAL	2
	LCC4	Shelter												Samsung	LCC4			PHYSICAL	2
	LMD1	Shelter												Samsung	LMD1			PHYSICAL	1

ANTENNA SCHEDULE



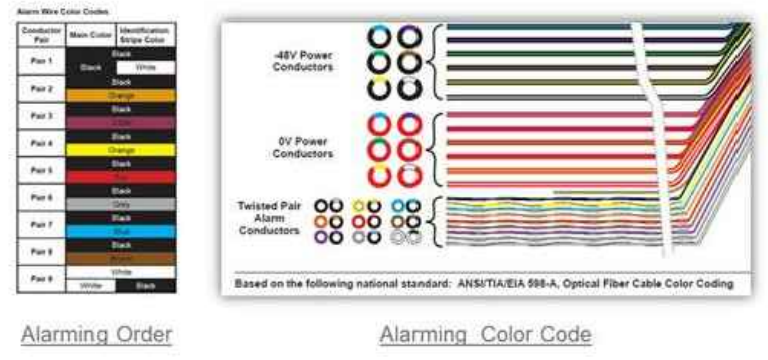
RF PLUMBING DIAGRAM

**verizon** VZW – 6X12 Fiber Color Code



Note- ME has worked with all of our approved hybrid partners to migrate all products to the above color code. As you can see from the above we have matching power and fiber color codes. This will help ease of installation and troubleshooting.

**verizon** VZW – 6X12 Alarming Color Code



Note- ME has worked with all of our approved hybrid partners to migrate all products to the above color code. This will help ease of installation and troubleshooting.

**verizon** Sector RVZDC-3315-PF-48

Power Pair	Identification color	RTN	-48V	OVP -	700/850
X1	Blue	○	○	OVP - 1	Alpha
X2	Violet	○	○	OVP - 2	FUTURE Alpha
X3	Green	○	○	OVP - 3	AWS1/PCS Alpha
X4	Brown	○	○	OVP - 4	AWS3/PCS Alpha
X5	Yellow	○	○	OVP - 5	FUTURE Alpha
X6	White	○	○	OVP - 6	FUTURE Alpha

Power Pair	Identification color	RTN	-48V	OVP -	700/850
X1	Blue	○	○	OVP - 1	Beta
X2	Violet	○	○	OVP - 2	FUTURE Beta
X3	Green	○	○	OVP - 3	AWS1/PCS Beta
X4	Brown	○	○	OVP - 4	AWS3/PCS Beta
X5	Yellow	○	○	OVP - 5	FUTURE Beta
X6	White	○	○	OVP - 6	FUTURE Beta

Power Pair	Identification color	RTN	-48V	OVP -	700/850
X1	Blue	○	○	OVP - 1	Gamma
X2	Violet	○	○	OVP - 2	FUTURE Gamma
X3	Green	○	○	OVP - 3	AWS1/PCS Gamma
X4	Brown	○	○	OVP - 4	AWS3/PCS Gamma
X5	Yellow	○	○	OVP - 5	FUTURE Gamma
X6	White	○	○	OVP - 6	FUTURE Gamma

**Cabinet RVZDC-4520-RM-48 #1**

Power Pair	Identification color	RTN	-48V	OVP -	700/850
X1	Blue	○	○	OVP - 1	Alpha
X2	Violet	○	○	OVP - 2	FUTURE Alpha
X3	Green	○	○	OVP - 3	AWS1/PCS Alpha
X4	Brown	○	○	OVP - 4	AWS3/PCS Alpha
X5	Yellow	○	○	OVP - 5	FUTURE Alpha
X6	White	○	○	OVP - 6	FUTURE Alpha

Power Pair	Identification color	RTN	-48V	OVP -	700/850
X1	Blue	○	○	OVP - 7	Beta
X2	Violet	○	○	OVP - 8	FUTURE Beta
X3	Green	○	○	OVP - 9	AWS1/PCS Beta
X4	Brown	○	○	OVP - 10	AWS3/PCS Beta
X5	Yellow	○	○	OVP - 11	FUTURE Beta
X6	White	○	○	OVP - 12	FUTURE Beta

**Cabinet RVZDC-4520-RM-48 #2**

Power Pair	Identification color	RTN	-48V	OVP -	700/850
X1	Blue	○	○	OVP - 1	Gamma
X2	Violet	○	○	OVP - 2	FUTURE Gamma
X3	Green	○	○	OVP - 3	AWS1/PCS Gamma
X4	Brown	○	○	OVP - 4	AWS3/PCS Gamma
X5	Yellow	○	○	OVP - 5	FUTURE Gamma
X6	White	○	○	OVP - 6	FUTURE Gamma



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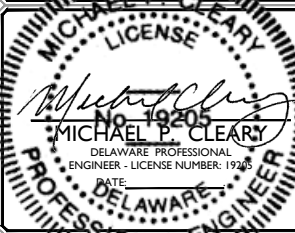


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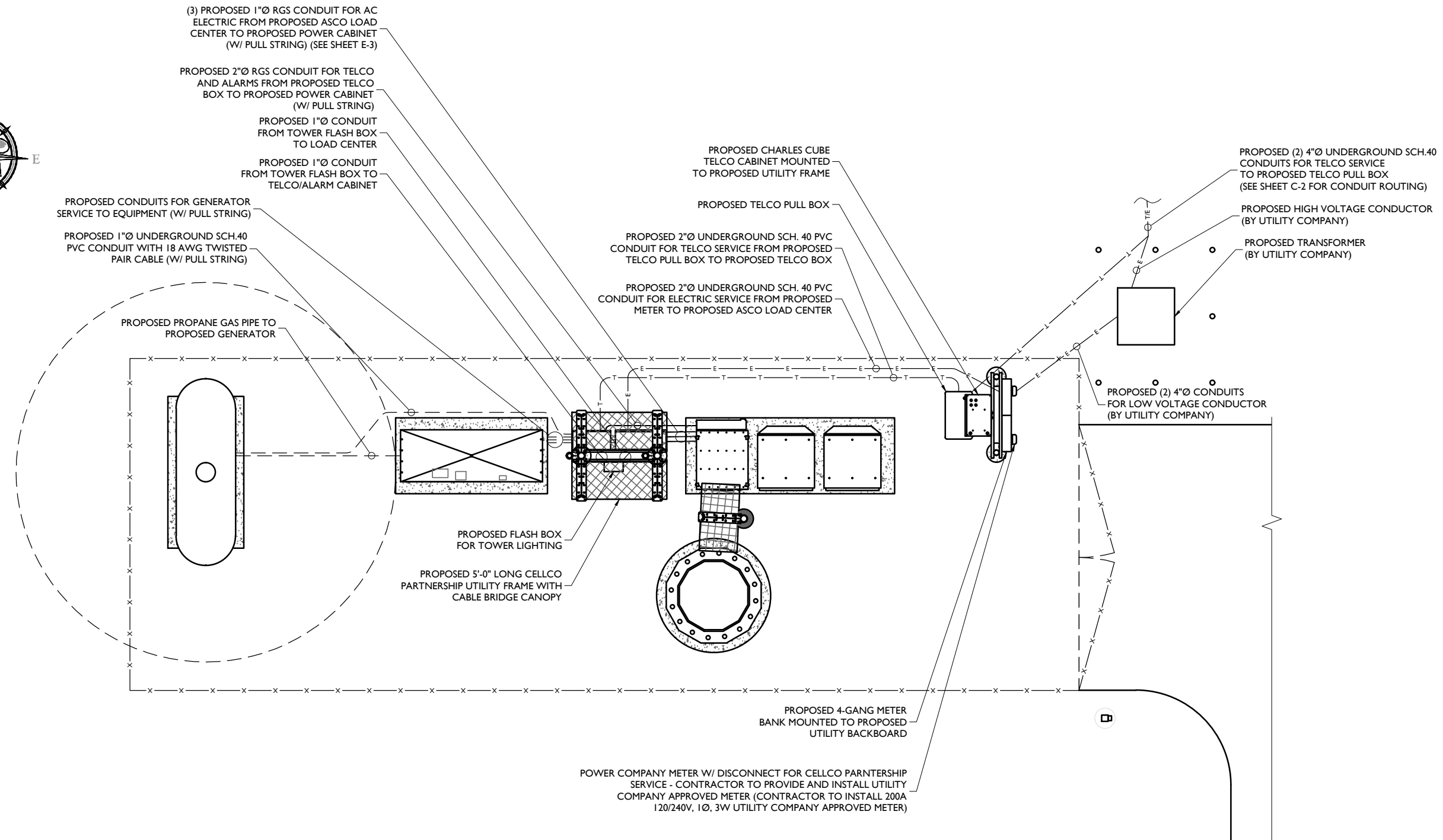
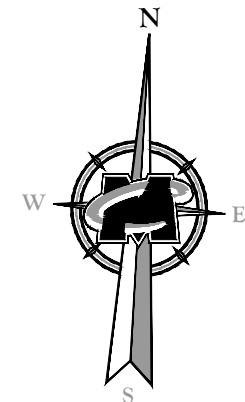
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 Suite 100  
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 Fax: 856.722.1120

SHEET TITLE:  
**UTILITY PLAN**

SHEET NUMBER:  
**E-1**



**UTILITY PLAN**  
 SCALE: 1" = 3' FOR 22"X34"  
 (SCALE: 1" = 6' FOR 11"X17")

- LEGEND**
- x — x — PROPOSED CHAIN LINK FENCE
  - — — — PROPOSED FEATURES
  - T — — — PROPOSED UNDERGROUND TELEPHONE/TELCO UTILITY LINE
  - E — — — PROPOSED UNDERGROUND ELECTRIC UTILITY LINE
  - T/E — — — PROPOSED UNDERGROUND ELECTRIC/TELCO UTILITY LINES
  - — — — PROPOSED UNDERGROUND UTILITIES



**ELECTRICAL GENERAL NOTES:**

**A. GENERAL**

- A.1. EXAMINE THE SITE CONDITIONS VERY CAREFULLY AND THE SCOPE OF PROPOSED WORK TOGETHER WITH THE WORK OF ALL OTHER TRADES AND INCLUDE IN THE BID ALL COSTS FOR WORK SUCH AS EQUIPMENT AND WIRING MADE NECESSARY TO ACCOMMODATE THE ELECTRICAL SYSTEMS SHOWN AND SYSTEMS OF OTHER TRADES.
- A.2. SUBMITTAL OF BID INDICATES CONTRACTOR IS AWARE OF ALL JOB SITE CONDITIONS AND WORK TO BE PREPARED UNDER THIS CONTRACT.
- A.3. PERFORM DETAILED VERIFICATION OF WORK PRIOR TO ORDERING THE ELECTRICAL EQUIPMENT AND COMMENCING CONSTRUCTION. ISSUE A WRITTEN NOTICE TO THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES.
- A.4. THE CONTRACTOR IS TO SCHEDULE ALL INSPECTIONS AND OBTAIN ALL NECESSARY PERMITS TO PERFORM THE WORK.
- A.5. PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, INSURANCE AND SERVICES TO COMPLETE THIS PROJECT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND PRESENT IT AS FULLY OPERATIONAL TO THE SATISFACTION OF THE OWNER.
- A.6. CARRY OUT ALL WORK IN ACCORDANCE WITH ALL GOVERNING LOCAL, COUNTY, STATE, AND NATIONAL CODES AND O.S.H.A.
- A.7. THE CONSTRUCTION MANAGER WILL COORDINATE POWER AND TELCO WORK WITH THE LOCAL UTILITY COMPANY AS IT MAY APPLY TO THIS SITE. ALL WORK IS TO COMPLY WITH THE RULES AND REGULATIONS OF THE UTILITIES INVOLVED.
- A.8. FABRICATION AND INSTALLATION OF THE COMPLETE ELECTRICAL SYSTEM SHALL BE DONE WITH FIRST CLASS WORKMANSHIP PER NECA STANDARD 1-2000 BY QUALIFIED PERSONNEL, LICENSED AND EXPERIENCED IN SUCH WORK AND SHALL SCHEDULE THE WORK IN AN ORDERLY MANNER SO AS TO NOT IMPEDE THE PROGRESS OF THE PROJECT.
- A.9. DURING PROGRESS OF THE WORK, MAINTAIN AN ACCURATE RECORD OF THE INSTALLATION OF THE ELECTRIC SYSTEMS, LOCATING EACH CIRCUIT PRECISELY AND DIMENSIONING EQUIPMENT, CONDUIT AND CABLE LOCATIONS. UPON COMPLETION OF THE INSTALLATION, TRANSFER ALL RECORD DATA TO RED LINE PRINTS OF THE ORIGINAL DRAWINGS AND SUBMIT THESE DRAWINGS AS RECORD DRAWINGS TO THE CONSTRUCTION MANAGER.
- A.10. THE COMPLETE JOB SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF JOB ACCEPTANCE BY OWNER. ANY WORK, MATERIAL OR EQUIPMENT FOUND TO BE FAULTY DURING THAT PERIOD SHALL BE CORRECTED AT ONCE, UPON WRITTEN NOTIFICATION, AT THE EXPENSE OF THE CONTRACTOR.
- A.11. THE CONSTRUCTION MANAGER IS RESPONSIBLE FOR REQUESTING CONNECTION OF COMMERCIAL POWER FROM THE POWER COMPANY.
- A.12. THE CONTRACTOR SHALL NOTIFY THE STATE SPECIFIC ONE CALL SYSTEM A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO ANY CONSTRUCTION OR EXCAVATION. THE CONTRACTOR SHALL ALSO NOTIFY A PRIVATE UTILITY CONTRACTOR FOR ALL ON-SITE UTILITY LOCATIONS.

**B. BASIC MATERIALS AND METHODS**

- B.1. ALL ELECTRICAL WORK SHALL CONFORM TO THE EDITION OF THE NEC ACCEPTED BY THE LOCAL JURISDICTION AND TO THE APPLICABLE LOCAL CODES AND REGULATIONS.
- B.2. ALL MATERIALS AND EQUIPMENT SHALL BE NEW. MATERIALS AND EQUIPMENT SHALL BE THE STANDARD PRODUCTS OF MANUFACTURER'S CURRENT DESIGN. ANY FIRST-CLASS PRODUCT MADE BY A REPUTABLE MANUFACTURER MAY BE USED PROVIDING IT CONFORMS TO THE CONTRACT REQUIREMENTS AND MEET THE APPROVAL OF THE CONSULTANT AND OWNER.
- B.3. ARRANGE CONDUIT, WIRING, EQUIPMENT, AND OTHER WORK GENERALLY AS SHOWN, PROVIDING ALL APPROPRIATE CLEARANCE AND ACCESS. CAREFULLY EXAMINE ALL CONTRACT DRAWINGS AND FIT THE WORK IN EACH LOCATION WITHOUT SUBSTANTIAL ALTERATION. WHERE DEPARTURES ARE PROPOSED BECAUSE OF FIELD CONDITIONS OR OTHER CAUSES PREPARE AND SUBMIT DETAILED DRAWINGS FOR ACCEPTANCE.
- B.4. THE CONTRACT DRAWINGS ARE GENERALLY DIAGRAMMATIC AND ALL OFFSETS, BENDS, FITTINGS, AND ACCESSORIES ARE NOT SHOWN. PROVIDE ALL SUCH ITEMS AS MAY BE REQUIRED TO FIT THE WORK TO THE CONDITIONS.
- B.5. MAINTAIN ALL CLEARANCES AS REQUIRED BY THE NATIONAL ELECTRICAL CODE (NEC).

**C. CONDUCTORS AND CONNECTORS**

- C.1. UNLESS NOTED OTHERWISE, ALL CONDUCTORS SHALL BE COPPER, MINIMUM SIZE #12 AWG WITH THERMOPLASTIC INSULATION CONFORMING TO NEMA WC5 OR CROSS-LINKED POLYETHYLENE INSULATION CONFORMING TO NEMA WC7 (TYPES THHN OR THWN). INSULATION SHALL BE RATED FOR 90°C. CONDUCTORS SHALL BE COLOR CODED IN ACCORDANCE WITH THE NEC.
- C.2. ALL CONDUCTORS USED FOR CIRCUIT GROUNDING SHALL BE COPPER AND SHALL HAVE GREEN INSULATION.
- C.3. FOR COPPER CONDUCTORS #6 AWG AND SMALLER, USE 3M SCOTCH LOK OR T&B STA-KON COMPRESSION TYPE CONNECTORS WITH INTEGRAL OR SEPARATE INSULATION CAPS. FOR COPPER CONDUCTORS LARGER THAN #6 AWG, USE SOLDERLESS IDENT HEX SCREW OR BOLT TYPE PRESSURE CONNECTORS OR DOUBLE COMPRESSION C-CLAMP CONNECTORS, UNLESS NOTED OTHERWISE ON DRAWINGS.
- C.4. UNLESS NOTED OTHERWISE ALL LUGS SHALL BE TIN PLATED COPPER, TWO-HOLE LONG BARREL COMPRESSION TYPE.
- C.5. CONDUCTOR LENGTHS SHALL BE CONTINUOUS FROM TERMINATION TO TERMINATION WITHOUT SPLICES. SPLICES ARE NOT ACCEPTABLE. IF SPLICES ARE UNAVOIDABLE, PRIOR APPROVAL FROM VERIZONS REPRESENTATIVE MUST BE OBTAINED.

**D. RACEWAYS AND BOXES**

- D.1. ALL CONDUIT SHALL BE UL LABELED.
- D.2. ALL EMPTY CONDUITS INSTALLED FOR FUTURE USE SHALL HAVE A PULL CORD.
- D.3. SHEET METAL BOXES SHALL BE NEMA 3R AND CONFORM TO NEMA OSI. CAST-METAL BOXES SHALL BE NEMA 3R AND CONFORM TO NEMA 8I AND SHALL BE SIZED IN ACCORDANCE WITH NEC UNLESS OTHERWISE NOTED.

**E. GROUNDING**

- E.1. ALL SAFETY GROUNDING OF THE ELECTRICAL EQUIPMENT SHALL BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT EDITION OF THE NEC.
- E.2. ALL CELLULAR SITE GROUNDING SHALL BE CARRIED OUT IN ACCORDANCE WITH VERIZON WIRELESS GROUNDING STANDARD DATED OCTOBER 2001.
- E.3. GROUND LUGS ARE SPECIFIED UNDER SECTION "C. CONDUCTORS AND CONNECTORS"
- E.4. ALL GROUND LUG AND COMPRESSION CONNECTIONS SHALL BE COATED WITH AN ANTI-OXIDENT AGENT SUCH AS NO-OX, NOALOX, PENETROZ, OR KOPRSHIELD.
- E.5. PROVIDE LOCK WASHERS FOR ALL MECHANICAL CONNECTIONS FOR GROUND CONDUCTORS. USE STAINLESS STEEL HARDWARE THROUGHOUT.
- E.6. DO NOT INSTALL GROUND RING (IF REQUIRED) OUTSIDE OF PROPERTY LINE.
- E.7. REMOVE ALL PAINT AND CLEAN ALL DIRT FROM SURFACES REQUIRING GROUND CONNECTIONS. REPAINT TO MATCH AFTER CONNECTIONS ARE MADE TO MAINTAIN CORROSION RESISTANCE.
- E.8. ALL EXTERIOR GROUNDING CONDUCTORS INCLUDING EXTERIOR GROUND RING (IF REQUIRED) SHALL BE #2 AWG SOLID BARE TINNED COPPER. MAKE ALL GROUND CONNECTIONS AS SHORT AND DIRECT AS POSSIBLE. AVOID ANY SHARP BENDS. THE RADIUS OF ANY BEND SHALL NOT BE LESS THAN 8" AND THE ANGLE OF ANY BEND SHALL BE EXCEED 90°. GROUNDING CONDUCTORS SHALL BE ROUTED DOWNWARD TOWARD THE BURIED GROUND RING.
- E.9. ALL GROUND CONNECTIONS SHALL BE APPROVED FOR THE METALS BEING CONNECTED.
- E.10. ALL EXTERNAL GROUND CONNECTIONS SHALL BE EXOTHERMICALLY WELDED. ALL EXOTHERMIC WELDS TO THE EXTERIOR GROUND RING SHALL BE TEE TYPE LOCATED ON TOP OF GROUND RODS. REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY EXOTHERMIC WELDING USING SPRAY CONTAINING 95% ZINC (Z.R.C. "GALVANITE OR EQUIVALENT).
- E.11. IF A NEW GROUND RING IS REQUIRED, CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER WHEN THE BURIED RING IS INSTALLED SO THE MANAGER CAN INSPECT THE GROUND RING BEFORE IT IS BACK-FILLED WITH SOIL.
- E.12. FOR METAL FENCE POST GROUNDING, USE AN EXOTHERMIC WELD CONNECTION TO POST.
- E.13. WHERE MECHANICAL CONNECTORS (TWO-HOLE OR CLAMP) ARE USED, APPLY A LIBERAL PROTECTIVE COATING OF AN ANTI-OXIDANT COMPOUND SUCH AS "NO OXIDE A" BY DEARBORN CHEMICAL COMPANY ON ALL CONNECTORS.
- E.14. BOND ALL EXTERIOR CONDUITS, PIPES AND CYLINDRICAL METALLIC OBJECTS WITH A PENN-UNION GT SERIES CLAMP, BLACKBURN GUY SERIES CLAMP OR A BURNDY GAR 3900BU SERIES CLAMP ONLY, NO SUBSTITUTES ACCEPTED.
- E.15. PERFORM A GROUND RESISTANCE MEASUREMENT OF THE GROUNDING SYSTEM USING THE "FALL OF POTENTIAL METHOD." THE RESISTANCE BETWEEN ANY POINT ON THE GROUND SYSTEM AND THE REFERENCE GROUND SHALL BE 5 OHMS OR LESS. ENSURE THAT THE ELECTRIC UTILITY AND TELCO GROUNDS ARE REMOVED FROM THE CELLULAR SYSTEM GROUNDING.
- E.16. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY REPRESENTATIVE AT THE SITE TO DISCONNECT THE UTILITY NEUTRAL FROM GROUNDING SYSTEM DURING FINAL INSPECTION SO THE REQUIRED TESTING ON THE GROUND SYSTEM CAN BE PERFORMED. IF THE CONTRACTOR FAILS TO HAVE THE UTILITY REPRESENTATIVE PRESENT DURING FINAL RESISTANCE TESTING, THE CONTRACTOR SHALL PAY THE COST FOR AN INDEPENDENT GROUNDING CONSULTANT TO PERFORM THE GROUND RESISTANCE TEST. GROUNDING CONSULTANT TO BE SELECTED BY THE CONSTRUCTION MANAGER. IF THE UTILITY REPRESENTATIVE FAILS TO APPEAR AT NO FAULT OF THE CONTRACTOR, NO PENALTY SHALL APPLY.
- E.17. A THIRD PARTY SHOULD BE HIRED TO OBTAIN MEGGER AND SWEEP TEST RESULTS INCLUSIVE OF WHAT RESULTS THE CONTRACTOR SUBMITS TO INSURE PROPER QUALITY CONTROL ON ALL SITES. SCHEDULE FINAL MEGGER TEST SUCH THAT THE CONSTRUCTION MANAGER CAN BE PRESENT FOR FIELD VERIFICATION. REFER TO THE VERIZON MASTER SPECIFICATION FOR MEGGER TESTING PROCEDURES.
- E.18. ALL METAL WORK WITHIN 10 FEET OF GROUND RING SHALL BE BONDED DIRECTLY TO THE GROUND SYSTEM, WITHOUT USING SERIES OR DAISY CHAIN CONNECTION ARRANGEMENTS.
- E.19. PAINT, ENAMEL, LACQUER AND OTHER ELECTRICALLY NON-CONDUCTIVE COATINGS SHALL BE REMOVED FROM THREADS AND SURFACE AREAS WHERE CONNECTIONS ARE MADE TO ENSURE GOOD ELECTRICAL CONTINUITY.
- E.20. CONNECTIONS BETWEEN DISSIMILAR METALS SHALL NOT BE MADE UNLESS THE CONDUCTORS ARE SEPARATED BY A SUITABLE MATERIAL THAT IS PART OF THE ATTACHMENT DEVICE. ONLY ATTACHMENT DEVICES LISTED AND APPROVED FOR DISSIMILAR METALS MAY BE USED.

**ELECTRICAL ABBREVIATIONS:**

A	AMPERE	LFMC	LIQUIDTIGHT FLEXIBLE METALLIC CONDUIT
AFG	ABOVE FINISHED GRADE	MTS	MANUAL TRANSFER SWITCH
AIC	AMPERE INTERRUPTING CAPACITY	MCB	MAIN CIRCUIT BREAKER
AWG	AMERICAN WIRE GAUGE	MGB	MAIN GROUND BAR
A/C	AIR CONDITIONING	MIGB	MAIN INSULATED GROUND BAR
BFG	BELOW FINISHED GRADE	N	NEUTRAL
BCW	BARE COPPER WIRE	NEC	NATIONAL ELECTRICAL CODE
BKR	BREAKER	NTS	NOT TO SCALE
C	CONDUIT	P	POLE
CKT	CIRCUIT	PPC	POWER PROTECTION CENTER
CT	CURRENT TRANSFORMER	PVC	POLYVINYL CHLORIDE CONDUIT
CRGB	CELL REFERENCE GROUND BAR	RNC	RIGID NON METALLIC CONDUIT (SCHEDULE 80 PVC)
CU	COPPER	SD	SERVICE DISCONNECT
CW	COMPLETE WITH	SE	SERVICE ENTRANCE
D.T.T.	DRY TYPE TRANSFORMER	SN	SOLID NEUTRAL
(E)	INDICATES EXISTING EQUIPMENT	TGB	TELCO GROUND BAR
EC	EMPTY CONDUIT	TEGB	TOWER EXISTING GROUND BAR
EGB	EQUIPMENT GROUND BAR	TR	TRANSFORMER
EMT	ELECTRICAL METALLIC TUBING	TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSER
F	FUSED	TYP	TYPICAL
G	GROUND	WP	WEATHERPROOF - NEMA 3R
GE	GROUNDING ELECTRODE	U/G	UNDERGROUND
GEC	GROUNDING ELECTRODE CONDUCTOR	V	VOLT
GND	GROUND	W	WIRE
GRC	GALVANIZED RIGID CONDUIT	Ø	PHASE

**ELECTRICAL LEGEND:**

	SAFETY DISCONNECT SWITCH		AC GENERATOR CONNECTOR
	PANELBOARD		GFI DUPLEX RECEPTACLE
	KILOWATT HOUR METER		COPPER GROUND BAR
	TRANSFORMER		EXOTHERMIC WELD CONNECTION
	CIRCUIT BREAKER		COMPRESSION FITTING GROUND CONNECTION
	MANUAL TRANSFER SWITCH		COAXIAL CABLE SHIELD GROUND KIT CONNECTION
	LIGHT FIXTURE		GROUND ROD
	LIGHT SWITCH		GROUND ROD WITH TEST WELL
			GROUND WIRING

MAIN PANEL SCHEDULE											
		MAIN BREAKER RATING (A): 200						VOLTAGE (V): 240			
Type	DESCRIPTION	VA	BKR	POSN	L1	L2	POSN	BKR	VA	DESCRIPTION	Type
Dual	SURGE PROTECTION	0	60	1	1500	2	30	1500	EQUIPMENT CABINET- AC INPUT 1	Dual	
Single	GENERATOR BATTERY CHARGER	300	20	5	1800	6	30	1500	EQUIPMENT CABINET- AC INPUT 2	Dual	
Single	GENERATOR BLOCK/FUEL HEATER	1,000	20	7	2500	8	30	1500	EQUIPMENT CABINET- AC INPUT 3	Dual	
Single	EQUIPMENT CABINET RECEPTACLE	180	20	9	1680	10	30	1500	EQUIPMENT CABINET- AC INPUT 4	Dual	
Single	LIGHTS	27	20	11	1527	12	30	1500	EQUIPMENT CABINET- AC INPUT 5	Dual	
Single	GFCI RECEPTACLE	180	20	13	1680	14	30	1500	EQUIPMENT CABINET- AC INPUT 6	Dual	
Single	BBU BATTERY HEATER	1,000	20	15	2500	16	30	1500	EQUIPMENT CABINET- AC INPUT 7	Dual	
Single	FLASH BOX	1440	20	17	2940	18	30	1500	EQUIPMENT CABINET- AC INPUT 8	Dual	
				19	1500	20	30	1500	EQUIPMENT CABINET- AC INPUT 9	Dual	
				21	1500	22	30	1500	EQUIPMENT CABINET- AC INPUT 10	Dual	
				23	1500	24	30	1500	EQUIPMENT CABINET- AC INPUT 11	Dual	
				25	1500	26	30	1500	EQUIPMENT CABINET- AC INPUT 12	Dual	
				27	1500	28	30	1500	EQUIPMENT CABINET- AC INPUT 13	Dual	
				29	1500	30	30	1500	EQUIPMENT CABINET- AC INPUT 14	Dual	
				31	1500	32	30	1500	EQUIPMENT CABINET- AC INPUT 15	Dual	
				33	0	34					
				35	0	36					
				37	0	38					
				39	0	40					
				41	0	42					
PHASE TOTALS (VA):		14100	14027								
CURRENT PER PHASE (A):		118	117								
PANEL TOTAL (A):		117.20									
PANEL TOTAL (VA):		28127									
PANEL CAPACITY (kVA):		48.0									
PANEL LOADING (TOTAL) (kVA):		28.1									
SPARE CAPACITY (kVA):		19.9									

**PANEL SCHEDULE**

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CELLCO PARTNERSHIP d/b/a  
 VERIZON WIRELESS  
 512 TOWNSHIP LINE ROAD  
 BUILDING 2, FLOOR 3  
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SCALE:	AS SHOWN	JOB NUMBER:	1996039A
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REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
0	12/18/20	FOR CONSTRUCTION	AJC	MPC
A	10/05/20	ISSUED FOR REVIEW	AN	MEG

**MICHAEL P. CLEARY**  
 LICENSE  
 No. 19205  
 DELAWARE PROFESSIONAL ENGINEER - LICENSE NUMBER: 19205  
 DATE: 12/18/2020  
 PROFESSIONAL ENGINEER

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 SUSSEX COUNTY

**MASER CONSULTING**  
 MT. LAUREL OFFICE  
 2000 Piedmont Drive  
 Suite 100  
 Mount Laurel, NJ 08054  
 Phone: 856.797.0412  
 Fax: 856.722.1120

SHEET TITLE:  
**ELECTRICAL NOTES AND PANEL SCHEDULE**

SHEET NUMBER:  
**E-2**



CELLCO PARTNERSHIP d/b/a  
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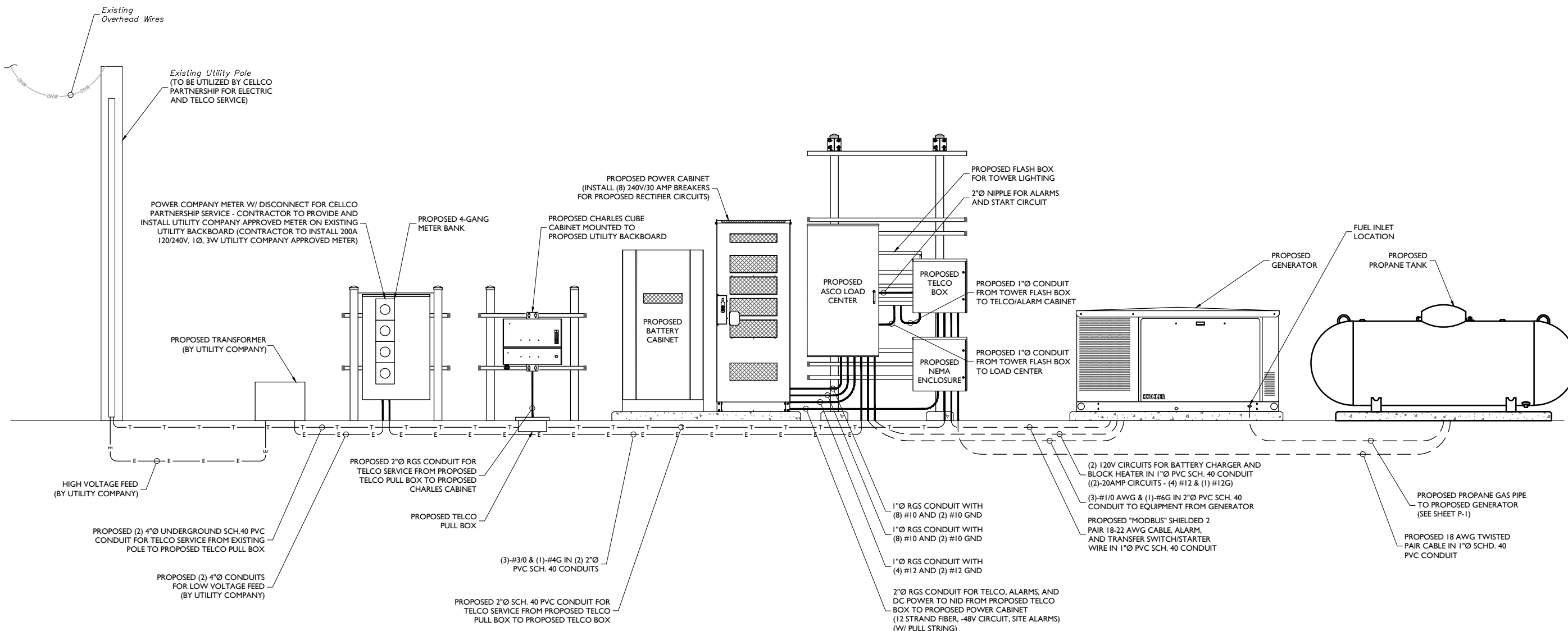
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2000 Midlantic Drive  
Suite 100  
Mount Laurel, NJ 08054  
Phone: 856.797.0412  
Fax: 856.722.1120

SHEET TITLE:  
**UTILITY RISER DIAGRAM**

SHEET NUMBER:  
**E-3**

NOTE:  
ALL ABOVE GROUND CONDUITS TO BE RGS. ALL BELOW GROUND CONDUITS TO BE SCH. 40 PVC. CONTRACTOR TO DETERMINE PROPER TRANSITION BETWEEN SCH. 40 PVC AND RGS CONDUIT.



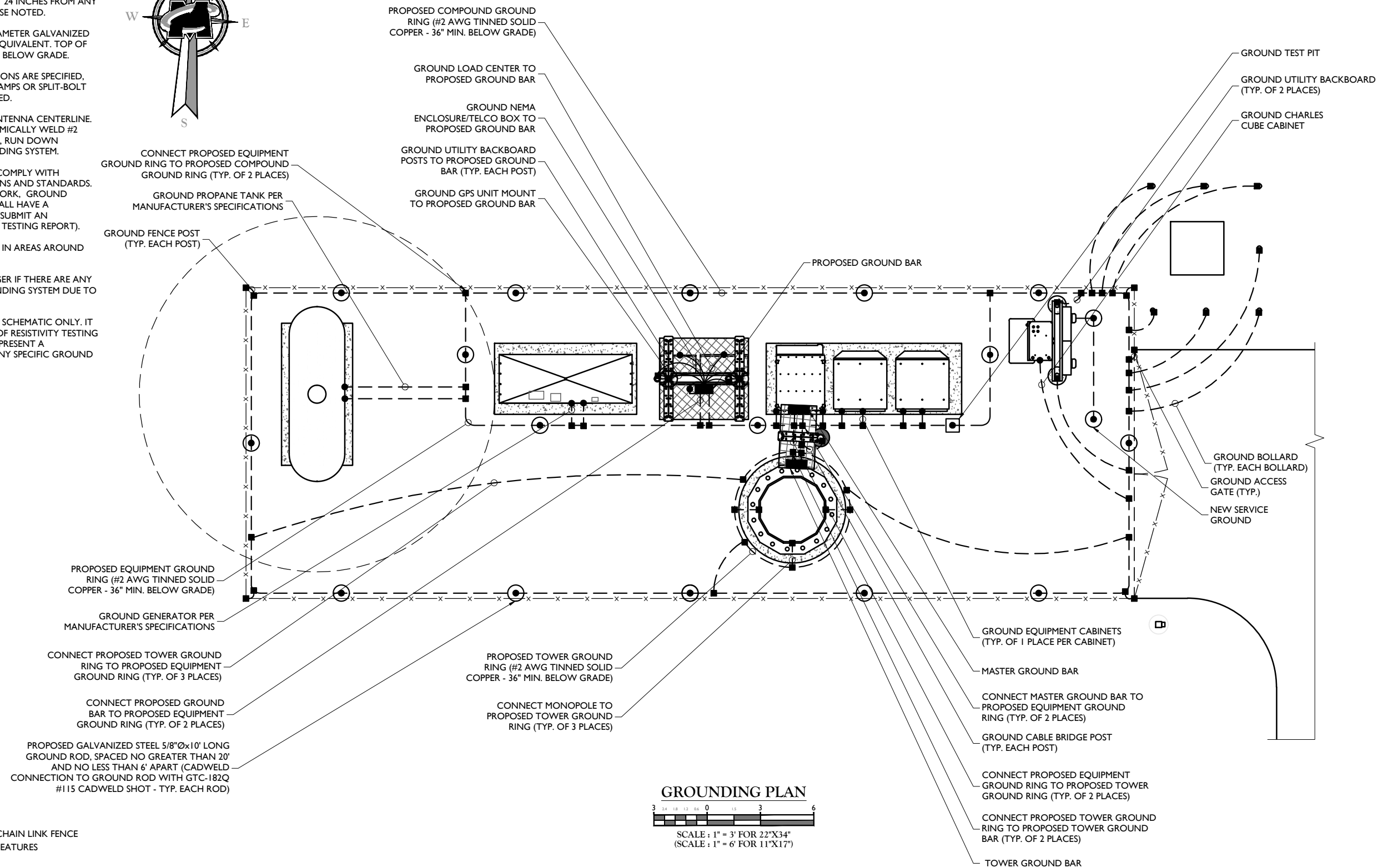
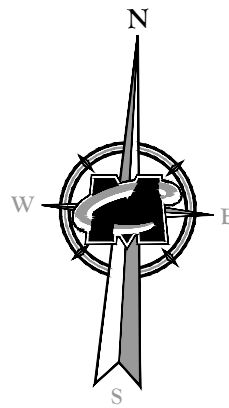
**UTILITY RISER DIAGRAM**  
NOT TO SCALE

**LEGEND**

	Existing Features
	PROPOSED FEATURES
	PROPOSED TELEPHONE/TELCO UTILITY LINE
	PROPOSED ELECTRIC UTILITY LINE
	PROPOSED UNDERGROUND UTILITIES
	PROPOSED ABOVE GROUND UTILITIES

**GROUNDING NOTES:**

- ALL DOWN CONDUCTORS AND GROUND RING CONDUCTOR SHALL BE #2 AWG, SOLID, BARE, TINNED COPPER, UNLESS OTHERWISE NOTED. ALL CONNECTIONS TO GROUND RING SHALL BE EXOTHERMICALLY WELDED. CONDUCTOR SHALL BE AT A MINIMUM DEPTH BELOW GRADE OF 36 INCHES OR TO LEDGE. MINIMUM BEND RADIUS SHALL BE 8 INCHES. CONDUCTOR SHALL BE AT LEAST 24 INCHES FROM ANY FOUNDATION, UNLESS OTHERWISE NOTED.
- GROUND RODS SHALL BE 5/8" DIAMETER GALVANIZED STEEL, HARGER, T&B, ERICO, OR EQUIVALENT. TOP OF ROD SHALL BE A MINIMUM OF 36" BELOW GRADE.
- WHERE MECHANICAL CONNECTIONS ARE SPECIFIED, BOLTED, COMPRESSION-TYPE, CLAMPS OR SPLIT-BOLT TYPE CONNECTORS SHALL BE USED.
- INSTALL GROUNDING KITS AT ANTENNA CENTERLINE. GROUND COAX LINES. EXOTHERMICALLY WELD #2 DOWN CONDUCTOR TO PLATES, RUN DOWN BUILDING AND TIE INTO GROUNDING SYSTEM.
- ALL GROUNDING WORK SHALL COMPLY WITH VERIZON WIRELESS SPECIFICATIONS AND STANDARDS. FOLLOWING COMPLETION OF WORK, GROUND SYSTEM MUST BE TESTED AND SHALL HAVE A RESISTANCE OF 5 OHMS OR LESS (SUBMIT AN INDEPENDENT "FALL POTENTIAL" TESTING REPORT).
- CONTRACTOR SHALL HAND-DIG IN AREAS AROUND EXISTING UTILITIES.
- NOTIFY CONSTRUCTION MANAGER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.
- GROUNDING RING IS SHOWN AS SCHEMATIC ONLY. IT IS DESIGNED WITHOUT BENEFIT OF RESISTIVITY TESTING AND DOES NOT NECESSARILY REPRESENT A GROUNDING SYSTEM TO MEET ANY SPECIFIC GROUND RESISTANCE.



**LEGEND**

- x-x- PROPOSED CHAIN LINK FENCE
- PROPOSED FEATURES

**GROUNDING LEGEND**

- COPPER GROUND BAR
- EXOTHERMIC WELD CONNECTION
- COMPRESSION FITTING GROUND CONNECTION
- GROUND ROD
- GROUND TEST PIT
- - - PROPOSED GROUNDING

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0	12/18/20	FOR CONSTRUCTION	AJC / MPC
A	10/05/20	ISSUED FOR REVIEW	AN / MEG

**MICHAEL P. CLEARY**  
 LICENSE  
 No. 19205  
 MICHAEL P. CLEARY  
 DELAWARE PROFESSIONAL ENGINEER - LICENSE NUMBER: 19205  
 DATE: 10/05/2020  
 PROFESSIONAL ENGINEER  
 DELAWARE

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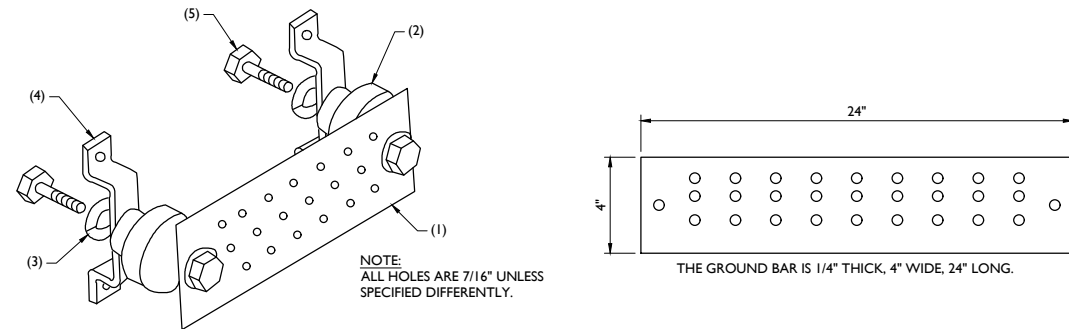
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**GROUNDING PLAN**

**G-1**





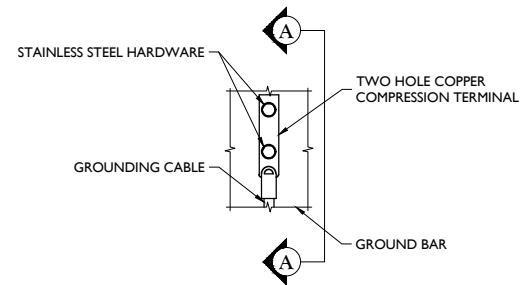
NOTE:  
ALL HOLES ARE 7/16" UNLESS SPECIFIED DIFFERENTLY.

THE GROUND BAR IS 1/4" THICK, 4" WIDE, 24" LONG.

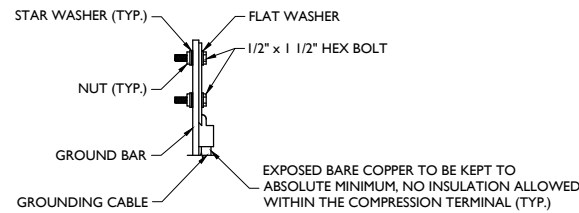
**LEGEND:**

1. GALVANIZED STEEL GROUND BAR, 1/4"x4"x24", TESCO PIN GSLBC-0424-NH. HOLE CENTERS TO MATCH NEMA DOUBLE LUG CONFIGURATION.
2. STANDOFF INSULATORS, HARGER LIGHTNING PROTECTION, INC. CAT. NO. 5263-A8
3. 1/2" LOCKWASHERS, HARGO CO. CAT. NO. LWBS.
4. WALL MOUNTING STAINLESS STEEL, MOUNTING BRACKET, HARGER CAT. NO. WBKT-1.
5. 1/2-13 x 1" HEX HEAD CAP SCREW, HARGER, CAT. NO. CS885.

**GROUND BAR DETAIL**  
NOT TO SCALE

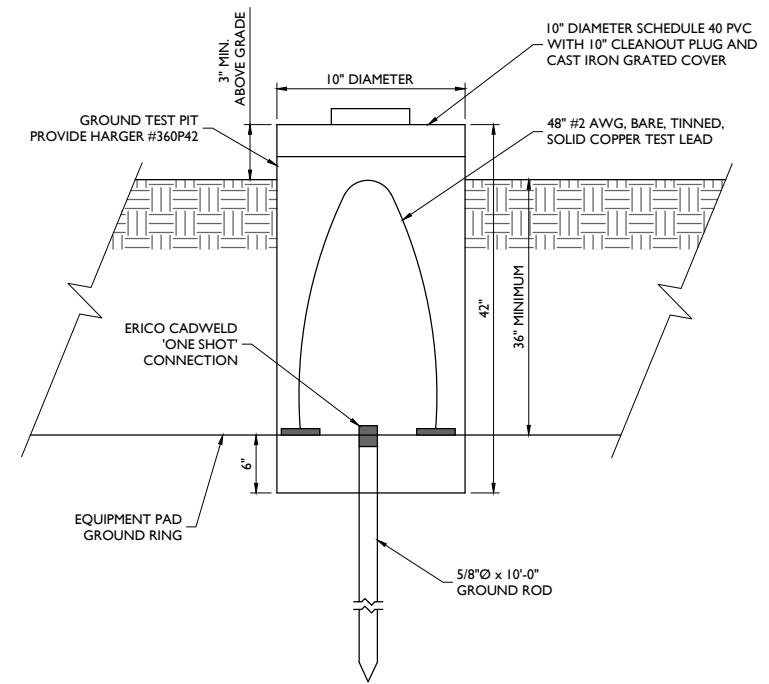


**ELEVATION VIEW**

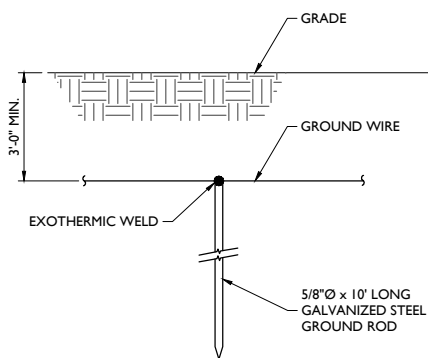


**SECTION "A-A"**

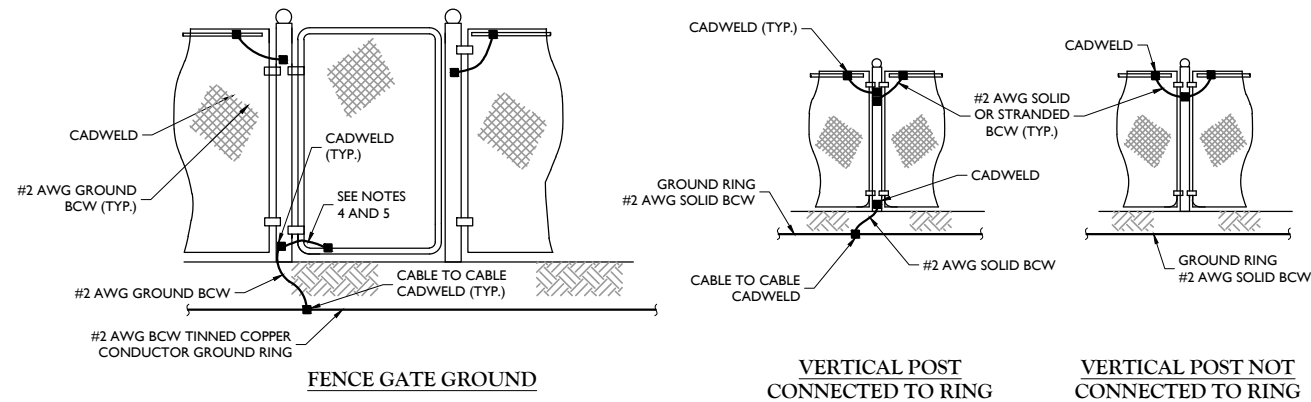
**TYPICAL GROUND BAR MECHANICAL CONNECTION DETAIL**  
NOT TO SCALE



**GROUND TEST PIT DETAIL**  
NOT TO SCALE



**GROUND ROD DETAIL**  
NOT TO SCALE



**NOTES:**

1. VERTICAL POSTS SHALL BE BONDED TO THE RING AT EACH CORNER AND AT EACH GATE POST. AS A MINIMUM ONE VERTICAL POST SHALL BE BONDED TO THE GROUND RING IN EVERY 100 FOOT STRAIGHT RUN OF FENCE.
2. HORIZONTAL POLES SHALL BE BONDED TO EACH OTHER.
3. BOND EACH HORIZONTAL POLE/BRAVE TO EACH OTHER AND TO EACH VERTICAL POST THAT IS BONDED TO THE EXTERIOR GROUND RING.
4. GATE JUMPER SHALL BE #4/0 AWG WELDING CABLE OR FLEXIBLE COPPER BRAID BURNDY TYPE B WITH SLEEVES ON EACH END DESIGNED FOR EXOTHERMIC WELDING.
5. GATE JUMPER SHALL BE INSTALLED SO THAT IT WILL NOT BE SUBJECTED TO DAMAGING STRAIN WHEN GATE IS FULLY OPEN IN EITHER DIRECTION.

**FENCE GROUNDING DETAIL**  
NOT TO SCALE

- |                  |              |
|------------------|--------------|
| ■ NEW JERSEY     | ■ NEW MEXICO |
| ■ NEW YORK       | ■ MARYLAND   |
| ■ PENNSYLVANIA   | ■ GEORGIA    |
| ■ VIRGINIA       | ■ TEXAS      |
| ■ FLORIDA        | ■ TENNESSEE  |
| ■ NORTH CAROLINA | ■ COLORADO   |

State of D.E. C.O.A.: 2840  
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CELLCO PARTNERSHIP d/b/a  
VERIZON WIRELESS  
512 TOWNSHIP LINE ROAD  
BUILDING 2, FLOOR 3  
BLUE BELL, PA 19422

**811** PROTECT YOURSELF  
ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE  
Know what's below.  
Call before you dig.  
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:  
WWW.CALL811.COM

SCALE: AS SHOWN JOB NUMBER: 19960039A

REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
0	12/18/20	FOR CONSTRUCTION	AJC	MPC
A	10/05/20	ISSUED FOR REVIEW	AN	MEG



IT IS A VIOLATION FOR ANY PERSON, UNLESS THEY ARE THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

**SITE NAME:**  
  
DOV HYDRA  
9283 OLD RACETRACK ROAD  
DELMAR, DE 19940  
SUSSEX COUNTY

MT. LAUREL OFFICE  
2000 Piedmont Drive  
Suite 100  
Mount Laurel, NJ 08054  
Phone: 856.797.0412  
Fax: 856.722.1120

SHEET TITLE:  
**GROUNDING DETAILS**

SHEET NUMBER:  
**G-2**

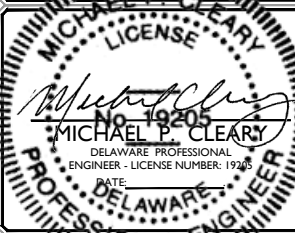


CELLCO PARTNERSHIP d/b/a  
**VERIZON WIRELESS**  
 512 TOWNSHIP LINE ROAD  
 BUILDING 2, FLOOR 3  
 BLUE BELL, PA 19422

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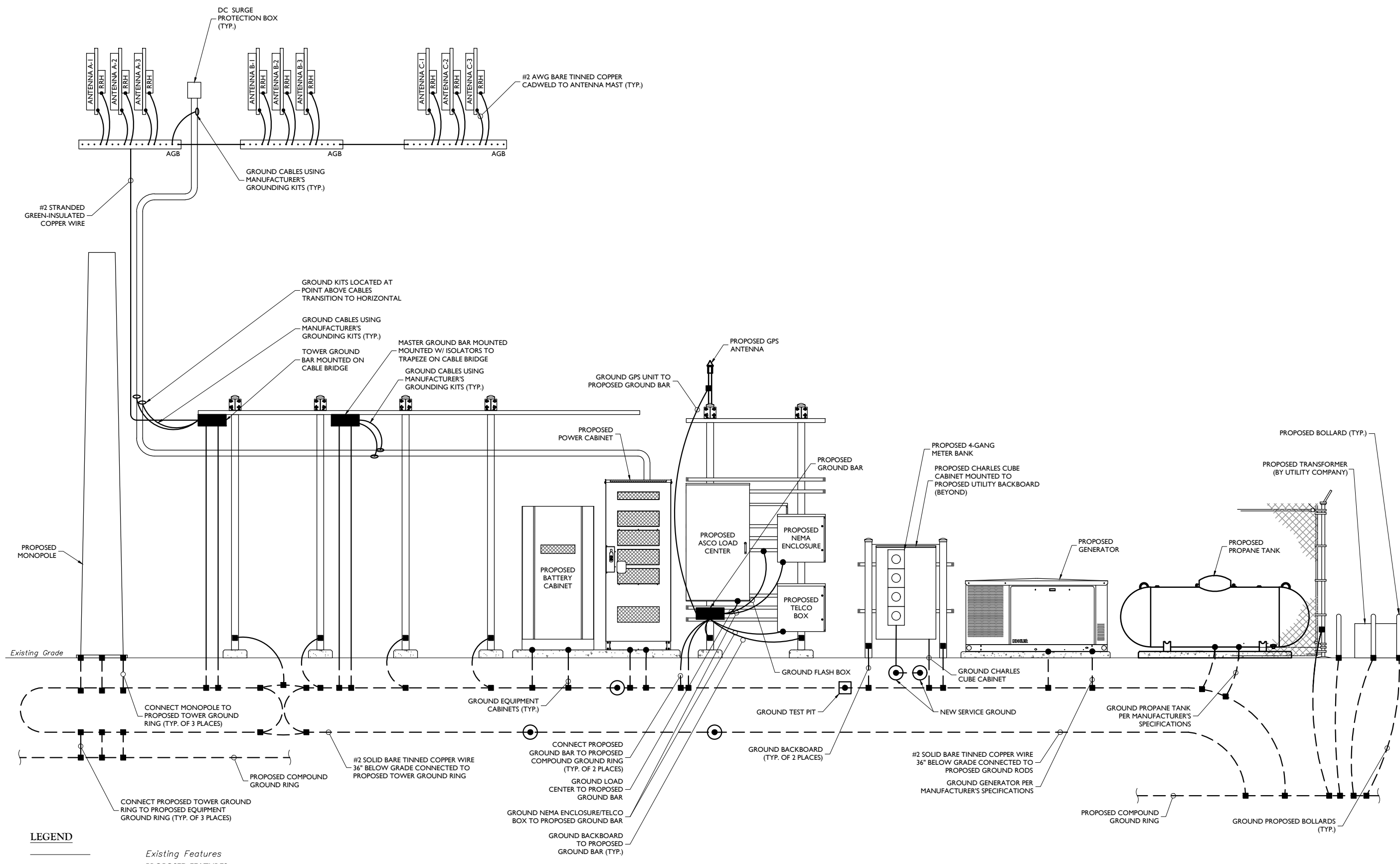
SITE NAME:

**DOV HYDRA**  
 9283 OLD RACETRACK ROAD  
 DELMAR, DE 19940  
 SUSSEX COUNTY

MT. LAUREL OFFICE  
 2000 Piedmont Drive  
 Suite 100  
 Mount Laurel, NJ 08054  
 Phone: 856.797.0412  
 Fax: 856.722.1120

SHEET TITLE:  
**GROUNDING RISER DIAGRAM**

SHEET NUMBER:  
**G-3**



**LEGEND**

	Existing Features
	PROPOSED FEATURES
	Existing Grounding
	COPPER GROUND BAR
	EXOTHERMIC WELD CONNECTION
	COMPRESSION FITTING GROUND CONNECTION
	GROUND ROD
	GROUND TEST PIT
	PROPOSED UNDERGROUND GROUNDING
	PROPOSED ABOVE GROUND GROUNDING

**GROUNDING RISER DIAGRAM**  
 NOT TO SCALE



CELLCO PARTNERSHIP d/b/a  
**VERIZON WIRELESS**  
 512 TOWNSHIP LINE ROAD  
 BUILDING 2, FLOOR 3  
 BLUE BELL, PA 19422

**811** PROTECT YOURSELF  
 ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE.  
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 WWW.CALL811.COM

SCALE: AS SHOWN JOB NUMBER: 19960039A

REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
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A	10/05/20	ISSUED FOR REVIEW	AN	MEG



IT IS A VIOLATION OF ANY LAW FOR ANY PERSON, UNLESS THEY ARE UNDER THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

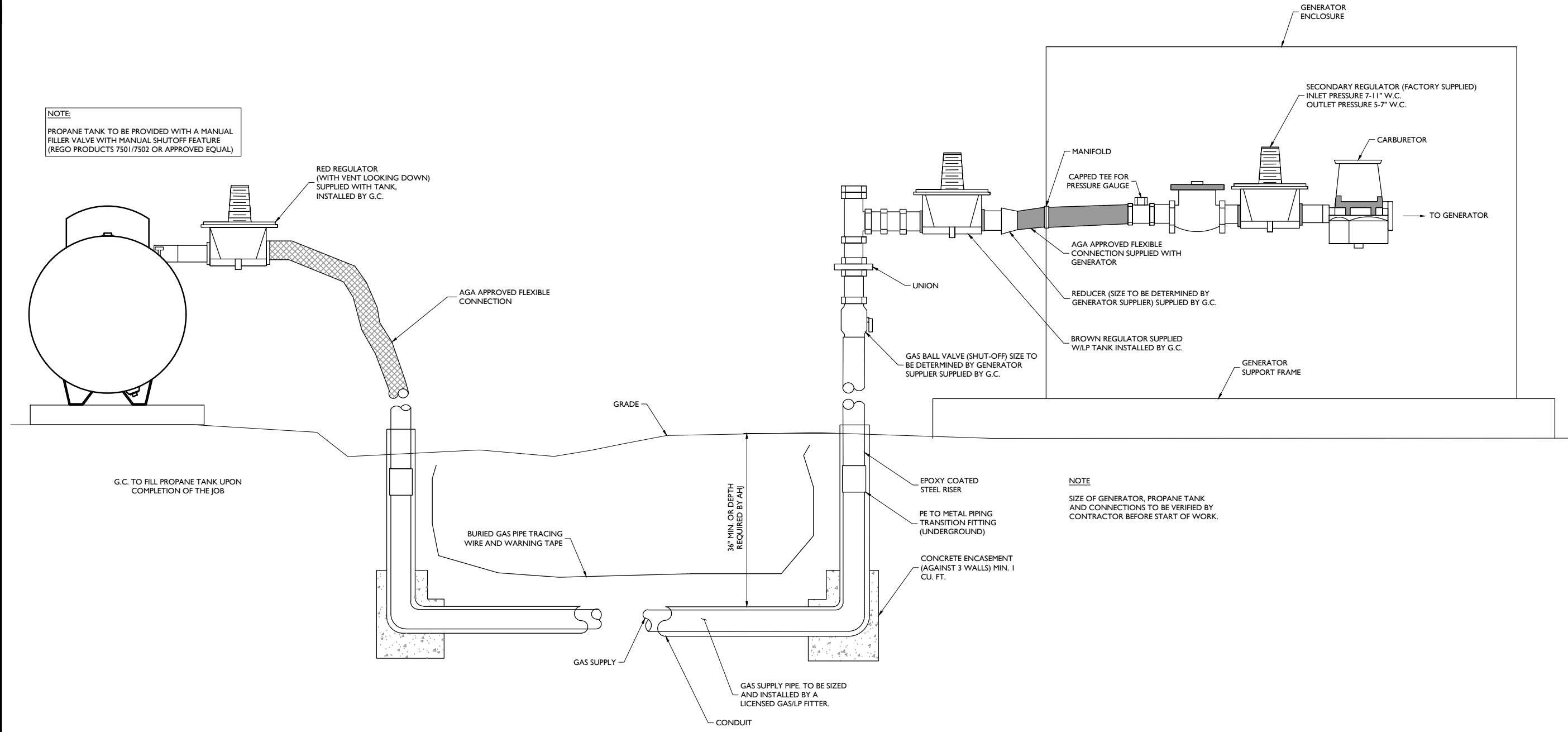
SITE NAME:  
  
 DOV HYDRA  
 9283 OLD RACETRACK ROAD  
 DELMAR, DE 19940  
 SUSSEX COUNTY

MT. LAUREL OFFICE  
 2000 Midlantic Drive  
 Suite 100  
 Mount Laurel, NJ 08054  
 Phone: 856.797.0412  
 Fax: 856.722.1120

SHEET TITLE:  
**GAS PIPE DETAIL**

SHEET NUMBER:  
**P-1**

NOTE:  
 PROPANE TANK TO BE PROVIDED WITH A MANUAL FILLER VALVE WITH MANUAL SHUTOFF FEATURE (REGO PRODUCTS 7501/7502 OR APPROVED EQUAL)



NOTE:  
 SIZE OF GENERATOR, PROPANE TANK AND CONNECTIONS TO BE VERIFIED BY CONTRACTOR BEFORE START OF WORK.

**GASEUOUS FUEL SYSTEM  
 FOR STANDBY GENERATOR**  
 NOT TO SCALE







STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

January 11, 2021

Mr. John Murray  
The Kercher Group  
37385 Rehoboth Avenue Unit #11  
Rehoboth Beach, Delaware 19971

**SUBJECT: Entrance Plan Approval Letter  
Lands of H&S Properties, LLC**  
Tax Parcel #334-5.00-212.00  
Beaver Dam Road (SCR 285)  
Church Street (SCR 285B)  
Lewes & Rehoboth Hundred, Sussex County

Dear Mr. Murray:

The Department of Transportation has reviewed the Commercial Entrance Plans dated November 11, 2019, (last revised January 4, 2021) for the referenced project and determined that they are in general conformance with the Department's current regulations, specifications and standard details. By signing and sealing the plan set, the developer's engineer is responsible for accuracy of content. Any errors, omissions or required field changes will be the responsibility of the developer. This plan approval shall be valid a period of **three (3) years**. If an entrance permit has not been obtained within three years, then the plans must be updated to meet current requirements and resubmitted for review and approval.

**This letter does not authorize the commencement of entrance construction. The following items will be required prior to the permit being issued. A pre-construction meeting may be required as determined by the South District Public Works office.**

1. A copy of the recorded Site Plan which is consistent with the DeIDOT "No Objection to Recordation" stamped plan and all appropriate signatures, seals, plot book and page number.
2. Three (3) copies of the approved entrance plans.
3. Completed permit application.
4. Executed agreements (i.e. construction, signal, letter).
5. An itemized construction cost estimate.
6. A 150% security based upon an approved itemized construction cost estimate and W-9 form (if providing escrow).

Lands of H&S Properties, LLC  
Mr. Murray  
Page 2  
January 11, 2021

7. A letter of source of materials, work schedule, list of subcontractors, emergency telephone numbers and names of contact persons.

Please contact the South District Public Works office (302) 853-1340 concerning any questions you may have relative to the aforementioned required items.

Sincerely,



Susanne K. Laws  
Sussex County Review Coordinator  
Development Coordination

cc: Steven Falcone, H&S Properties, LLC  
Jamie Whitehouse, Sussex County Planning & Zoning Commission  
Rusty Warrington, Sussex County Planning & Zoning  
Jessica L. Watson, Sussex Conservation District  
Matt Schlitter, South District Public Works Engineer  
Gemez Norwood, South District Public Work Manager  
James Argo, South District Project Reviewer  
William Kirsch, South District Entrance Permit Supervisor  
Jerry Nagyiski, Safety Officer Supervisor  
Kerry Yost, Traffic Calming & Subdivision Relations Manager  
Jennifer Pinkerton, Chief Materials & Research Engineer  
Linda Osiecki, Pedestrian Coordinator  
John Fiori, Bicycle Coordinator  
Mark Galipo, Traffic Development Coordination Engineer  
Tim Phillips, Maintenance Support Manager  
Dan Thompson, Safety Officer North District  
Jared Kauffman, DTC Planner  
James Kelley, JMT  
Wendy L. Polasko, Subdivision Engineer  
Brian Yates, Sussex County Reviewer





STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

January 11, 2021

Mr. Jamie Whitehouse, Director  
Sussex County Planning & Zoning Commission  
Sussex County Administration Building  
P.O. Box 417  
Georgetown, Delaware 19947

**SUBJECT: Letter of No Objection to Recordation  
Lands of H&S Properties, LLC**  
Tax Parcel # 334-5.00-212.00  
Beaver Dam Road (SCR 285)  
Church Street (SCR 285b)  
Lewes & Rehoboth Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Site Plan, dated November 11, 2019 (last revised January 4, 2021), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawings. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Site Plan is not recorded prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

**This letter does not authorize the commencement of entrance construction.** Entrance plans shall be developed in accordance with DelDOT's [Development Coordination Manual](#) and submitted to the Development Coordination Section for review and approval.

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There

Lands of H&S Properties, LLC  
Mr. Jamie Whitehouse  
Page 2  
January 11, 2021

may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction to modify or reject this proposed plan even though DeIDOT has established that these enumerated transportation improvements are acceptable.

If I can be of any further assistance, please call me at (302) 760-2266.

Very truly yours,



Susanne K. Laws  
Sussex County Review Coordinator  
Development Coordination

cc: Steven Falcone, H&S Properties, LLC  
John Murray, The Kercher Group  
William Kirsch, South District Entrance Permit Supervisor  
Rusty Warrington, Sussex County Planning & Zoning  
Jessica L. Watson, Sussex Conservation District  
Matt Schlitter, South District Public Works Engineer  
Gemez W. Norwood, South District Public Work Manager  
James Argo, South District Project Reviewer  
William Kirsch, South District Entrance Permit Supervisor  
Jennifer Pinkerton, Chief Materials & Research Engineer  
Kerry Yost, Traffic Calming & Subdivision Relations  
Linda Osiecki, Pedestrian Coordinator  
John Fiori, Bicycle Coordinator  
Mark Galipo, Traffic Development Coordination Engineer  
Tim Phillips, Maintenance Support Manager  
Dan Thompson, Safety Officer North District  
Jared Kauffman, DTC Planner  
James Kelley, JMT  
Wendy L. Polasko, Subdivision Engineer  
Brian Yates, Sussex County Reviewer



June 15, 2020

Mr. John Murray  
The Kercher Group, Inc.  
37385 Rehoboth Ave, Unit 11  
Rehoboth Beach, DE 19971

RE: **H&S Properties LLC**  
**TM # 334-5.00-212.00**

Dear Mr. Murray,

The Sussex Conservation District has reviewed the proposed site plan for the above referenced property. The total disturbance of the project appears to be less than 5,000 square feet, and is therefore exempt from the Delaware Sediment and Stormwater Regulations. If the project scope or total disturbance should change, please contact the District to obtain a Non-Residential Standard Permit for the construction activity.

If you have any questions, please do not hesitate to contact the District for assistance.

Sincerely,

*Valerie Thompson*

Plan Reviewer







**OFFICE OF THE STATE FIRE MARSHAL  
Technical Services**

22705 Park Avenue  
Georgetown, DE 19947



**SFMO PERMIT**

**Plan Review Number:** 2020-04-203538-MJS-01

**Tax Parcel Number:** 334-5.00-212.00

**Status:** Approved as Submitted

**Date:** 04/03/2020

**Project**

Office & Parking Lot

17662 Beaver Dam Road

Lands of H & S Properties

Lewes DE 19958

**Scope of Project**

**Number of Stories:**

**Square Footage:**

**Construction Class:**

**Fire District:** 82 - Lewes Fire Dept Inc

**Occupant Load Inside:**

**Occupancy Code:** 9680

**Applicant**

John Murray

37385 Rehoboth Avenue

Rehoboth Beach, DE 19971

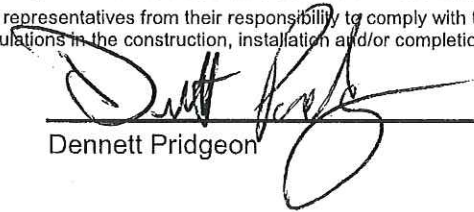
This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:

  
Dennett Pridgeon

## FIRE PROTECTION PLAN REVIEW COMMENTS

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**Plan Review Number:** 2020-04-203538-MJS-01

**Tax Parcel Number:** 334-5.00-212.00

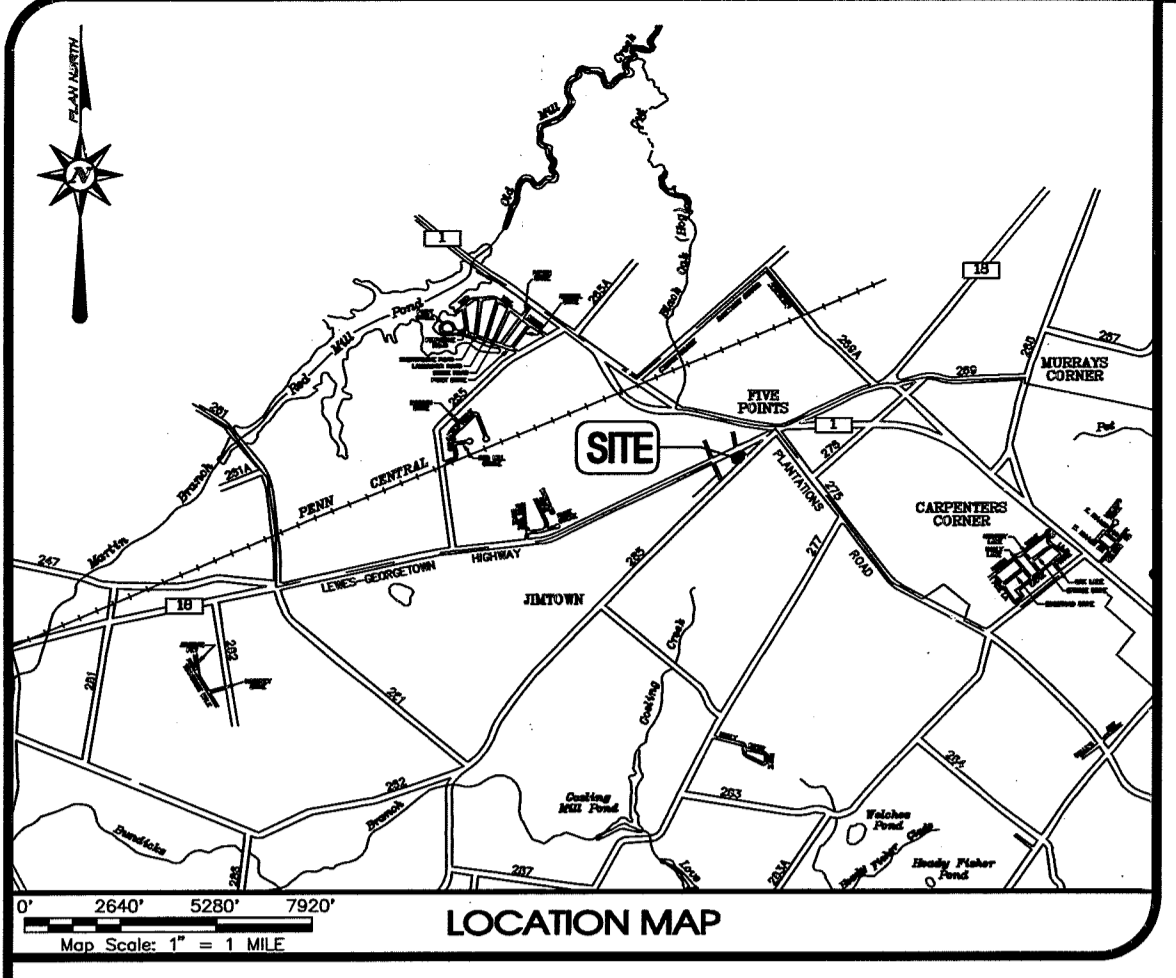
**Status:** Approved as Submitted

**Date:** 04/03/2020

### PROJECT COMMENTS

- |               |   |
|---------------|---|
| <b>1002 A</b> | This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at <a href="http://www.statefiremarshal.delaware.gov">www.statefiremarshal.delaware.gov</a> . These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes. |
| <b>1012 A</b> | Per Fire Flow Table 1, the following occupancies: Health Care, Business, and Education shall not exceed 10,000 aggregate gross square footage; shall not exceed 30" or two stories; and shall have a minimum setback of 15" from all property lines and 10" setback from exposure hazards on the same property.   |
| <b>2710 A</b> | The following items will be field verified by this Agency at the time of final inspection:  |
| <b>1408 A</b> | All premises where emergency personnel may be called upon to provide emergency services, which are not readily accessible from streets, shall be provided with suitable gates, access roads, and fire lanes so that all buildings on the premises are accessible to emergency apparatus. (DSFPR Regulation 705, Chapter 5, Section 2).  |
| <b>1180 A</b> | This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.  |
| <b>1190 A</b> | Separate plan submittal is required for the building(s) proposed for this project.<br><br>Site plan review for conversion of a SFD to a Business occupancy  |
| <b>2500 A</b> | A final inspection is required for this project prior to occupancy (DSFPR Part I, Section 4-7). Contact this Agency to schedule this inspection. Please have the plan review number available. A MINIMUM OF FIVE (5) WORKING DAYS NOTICE IS REQUIRED.   |





**GENERAL NOTES**

- THE PROJECT SITE IS KNOWN AS LANDS OF H&S PROPERTIES, LLC, (T.P. 334-5.00-212.00), AND IS LOCATED AT 17662 BEAVER DAM ROAD, LEWES, DE 19958.
- THE PROPERTY BOUNDS, EXISTING FEATURES AND TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY FORESIGHT SERVICES VERTICAL DATUM IS NAVD83 AND HORIZONTAL DATUM IS DELAWARE STATE PLANE COORDINATE SYSTEM NAD83.
- THE PROPOSED DEVELOPMENT STREETS ARE TO BE PRIVATE AND MAINTAINED BY THE DEVELOPER/PROPERTY OWNER. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- ALL PROPOSED STORMWATER MANAGEMENT FACILITIES ARE TO BE MAINTAINED BY THE DEVELOPER/PROPERTY OWNER.
- THIS PLAN DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHT-OF-WAYS CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS PROVIDED.
- THE CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF ANY SITE CONSTRUCTION ACTIVITIES.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST EDITION).
- CONSTRUCTION MATERIALS AND PROCEDURES SHALL FOLLOW THE DELAWARE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARD DRAWINGS (LATEST EDITION).
- EXISTING SUBSURFACE UTILITY INFORMATION INDICATED IS BASED UPON VISUAL FIELD INSPECTION BY FORESIGHT SERVICES. SUCH INFORMATION CONCERNING THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF SUBSURFACE UTILITIES IS APPROXIMATE IN NATURE AND HAS BEEN OBTAINED AS AN AID IN THE PROJECT DESIGN. THE INFORMATION PROVIDED IS REPRESENTATIVE OF SUBSURFACE CONDITIONS ONLY AT LOCATIONS AND DEPTHS WHERE SUCH INFORMATION WAS OBTAINED. THERE IS NO EXPRESSED OR IMPLIED AGREEMENT THAT UTILITY SIZE, LOCATION, DEPTH, QUANTITY, ETC. AS SHOWN EXISTS BETWEEN EXPLORATION LOCATIONS. ACCORDINGLY, UTILITIES, ETC. IS INCUMBENT UPON THE CONTRACTOR TO VERIFY THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF ALL UTILITIES BEFORE EXCAVATION.
- BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) 160029 0331 14, MAP NUMBER 10050303314, DATED MARCH 16, 2015, THIS SUBDIVISION PROPERTY IS LOCATED IN A ZONE "X" UNSHARED WHICH IS AN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- NO STATE OR FEDERAL JURISDICTIONAL WETLANDS EXIST ON THE SUBJECT PROPERTY.
- ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
- IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS PART V, CHAPTER 4, SECTION 4-1, THE DEVELOPER SHALL PROVIDE TO THE EMERGENCY DISPATCH CENTER HAVING JURISDICTION, A PLOT PLAN OF THE DEVELOPMENT SHOWING EACH BUILDING LOCATION. THE DEVELOPER SHALL ALSO ASSIGN NUMBERS TO ALL BUILDINGS IN A CONSECUTIVE MANNER AND HAVE PLACED THE ASSIGNED NUMBER IN A READILY VISIBLE LOCATION ON EACH BUILDING TO ELIMINATE CONFUSION IN THE EVENT THAT AN EMERGENCY VEHICLE IS NEEDED.
- AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.
- THE BUILDING WILL BE ACCESSIBLE TO EMERGENCY APPARATUS, A MINIMUM OF 50% OF THE BUILDING WILL BE ACCESSIBLE BY EMERGENCY SERVICES PERSONNEL.
- LOCATION OF FIRE LANES, THEIR WIDTHS, AND THEIR MARKINGS, FIRE LANE SIGNS, WORKING AND 4" LINES OF DEMARCATION, AND YELLOW PAINTED CURBING ARE TO BE SHOWN ON THE PLAN WHERE APPLICABLE.
- ALL PROPOSED LANDSCAPE BUFFERS ARE TO BE MAINTAINED BY THE PROPERTY OWNER/DEVELOPER.
- THE EXISTING BUILDING TYPE IS NFPA 01000.
- THE PROPOSED SIGNAGE DEPICTED ON THE PLAN IS INDICATIVE ONLY. SEPARATE APPLICATIONS SHALL BE REQUIRED FOR ALL SIGNAGE.
- THE OFFICES SHALL BE ACCESSED FROM THE INTERIOR DRIVE AISLES ONLY. NO SECONDARY ACCESS TO SCR 285 OR SCR 285-B SHALL BE PERMITTED.

**PLAN LEGEND**

- SUPPLEMENTAL CONTOUR (1' INTERVAL)
- INDEX CONTOUR (5' INTERVAL)
- EXISTING PAVEMENT EXTENTS
- EXISTING PAVEMENT STRIPING
- EXISTING PROPERTY BOUNDARY
- EXISTING PROPERTY LINE
- EXISTING GAS MAIN
- EXISTING STORM CULVERT
- EXISTING SANITARY SEWER MAIN
- EXISTING ELECTRIC LINE (OVERHEAD)
- EXISTING ELECTRIC LINE (BURIED)
- EXISTING FENCE LINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED BUILDING RESTRICTION LINE
- EXISTING IRON PIPE FOUND
- EXISTING IRON ROD FOUND
- EXISTING UTILITY POLE
- IRON PIPE TO BE SET

**SITE DATA and ZONING SCHEDULE**

TAX PARCEL No.:	334-5.00-212.00
PROPERTY ADDRESS:	17662 BEAVER DAM ROAD LEWES, DE 19958
NET DEVELOPMENT AREA:	11,387 S.F.
EXISTING NUMBER OF LOTS:	ONE (1)
EXISTING SITE USE:	RESIDENTIAL DWELLING
PROPOSED NUMBER OF LOTS:	ONE (1)
PROPOSED SITE USE:	PROFESSIONAL OFFICE
EXISTING ZONING:	AR-1 (AGRICULTURAL/RESIDENTIAL)
INVESTMENT LEVEL AREA:	LEVEL ONE (1)
LAND USE APPROVAL AGENCY:	SUSSEX COUNTY

THIS PROJECT IS LOCATED WITHIN THE HENLOPEN TRANSPORTATION IMPROVEMENT DISTRICT (TID)

ORDINANCE ITEM	REQUIREMENT:	PROVIDED:
MINIMUM LOT AREA	20,000 Sq. Ft.	11,387 Sq. Ft.
MINIMUM LOT WIDTH	100 Ft.	130.67 Ft.
MINIMUM LOT DEPTH	100 Ft.	120.93 Ft.
MINIMUM SETBACKS:		
FRONT	40 Ft.	40 Ft.
CORNER	15 Ft.	15 Ft.
REAR	20 Ft.	20 Ft.
MAXIMUM BUILDING HEIGHT	42 Ft./3 Stories	16 Ft./1 Story
PARKING SPACE QTY. (OFFICE USE)	1/200 S.F. = 3 SPACES	5 SPACES
SEWER SERVICE	SUSSEX COUNTY	
WATER SERVICE	PRIVATE WELL	

H&S PROPERTIES, LLC  
34561 MICHELLE DRIVE  
REHOBOTH BEACH, DE 19971  
302.644.8634

**CONDITIONS OF APPROVAL (CU 2190)**

APPROVED JANUARY 7, 2020

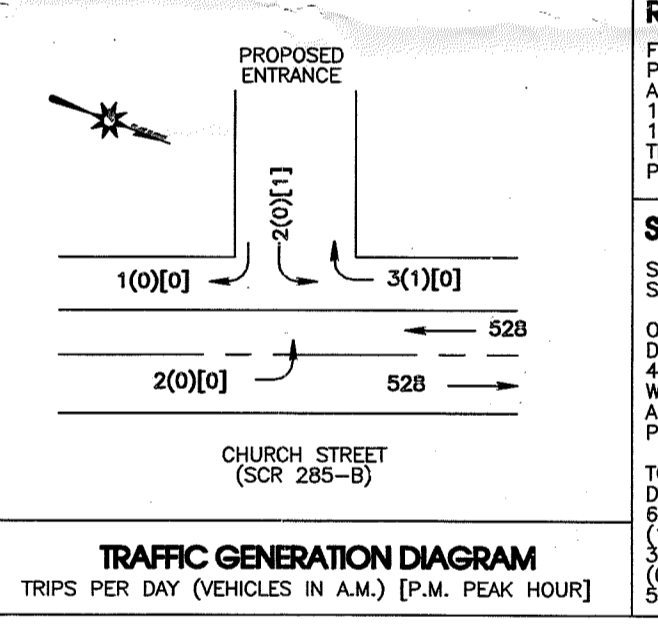
- THE USE SHALL BE LIMITED TO PROFESSIONAL OFFICES ONLY.
- THIS CONDITIONAL USE IS APPROVED SUBJECT TO THE APPLICANT'S NEWLY SUBMITTED SITE PLAN ENTITLED, "LANDS OF H&S PROPERTIES, LLC" PREPARED BY THE KERCHER GROUP, INC. DATED NOVEMBER 11, 2019 WHICH SHOWS THE SITE CONTAINS SUFFICIENT SPACE FOR THE USE AND REQUIRED PARKING.
- THE HOURS OF OPERATION SHALL BE LIMITED TO 7:00 A.M. AND 7:00 P.M., MONDAY THROUGH SATURDAY AND BY APPOINTMENT DURING TAX SEASON.
- THE CURRENT STRUCTURE IS NONCONFORMING AND SHALL NOT BE PERMITTED FOR THIS USE (BUSINESS VS. RESIDENTIAL). ALL FUTURE IMPROVEMENTS ON THE PROPERTY SHALL COMPLY WITH ALL SETBACKS. THE SIZE AND CHARACTERISTICS OF THIS PROPERTY MAY POSE CHALLENGES TO DESIGNING AND BUILDING FOR THE USE THAT CONFORMS WITH THE SETBACKS ON THE PROPERTY, AND VARIANCES MAY NEED TO BE SOUGHT FROM THE BOARD OF ADJUSTMENT. THE APPROVAL OF THIS CONDITIONAL USE IS NOT DETERMINATIVE OF WHETHER ANY VARIANCES SHOULD OR SHOULD NOT BE GRANTED FOR THIS PROPERTY.
- NO PARKING SHALL BE PERMITTED IN THE FRONT YARD SETBACKS. ALL PARKING SHALL BE SHOWN ON THE FINAL SITE PLAN.
- ALL PARKING AND ENTRANCES SHALL BE IN COMPLIANCE WITH DELDOT REQUIREMENTS AND THE SUSSEX COUNTY ZONING CODE. DELDOT APPROVAL SHALL BE REQUIRED BEFORE THE APPLICANT RECEIVES FINAL SITE PLAN APPROVAL.
- ONE UNLIGHTED SIGN SHALL BE PERMITTED ON THE PROPERTY. THE SIGN SHALL NOT EXCEED 36" BY 36" AND SHALL NOT BE PERMITTED IN THE FRONT YARD SETBACK.
- ALL EXTERIOR LIGHTING SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
- ALL STORMWATER MANAGEMENT SHALL MEET DNREC STANDARDS AND SHALL BE SHOWN ON THE FINAL SITE PLAN.
- THE APPLICANT SHALL BE REQUIRED TO REMOVE ALL DEAD TREES ON THE SITE AND ALL LANDSCAPING SHALL BE SHOWN ON THE FINAL SITE PLAN.
- THE FINAL SITE PLAN SHALL BE SUBJECT TO REVIEW AND APPROVAL OF THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.

**DELDOT SITE GENERAL NOTES**

LAST REVISED: MARCH 21, 2019

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 .131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE FOR THE SIDEWALK.
- LOTS WILL BE PERMITTED TO HAVE ACCESS POINTS THAT COMPLY WITH THE DEVELOPMENT COORDINATION MANUAL (DCM) SPACING REQUIREMENTS OF CHAPTER 1 AND LIMITATIONS ON NUMBER OF ACCESS POINTS ESTABLISHED IN DCM CHAPTER 7. HORSESHOE DRIVEWAYS AND SECONDARY ENTRANCES REQUIRE ADDITIONAL DELDOT REVIEW AND SEPARATE PERMITTING. RESTRICTIONS AS DESCRIBED IN THE DCM CHAPTER 7 MAY PROHIBIT SOME SECONDARY ENTRANCE REQUESTS FROM BEING GRANTED.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.

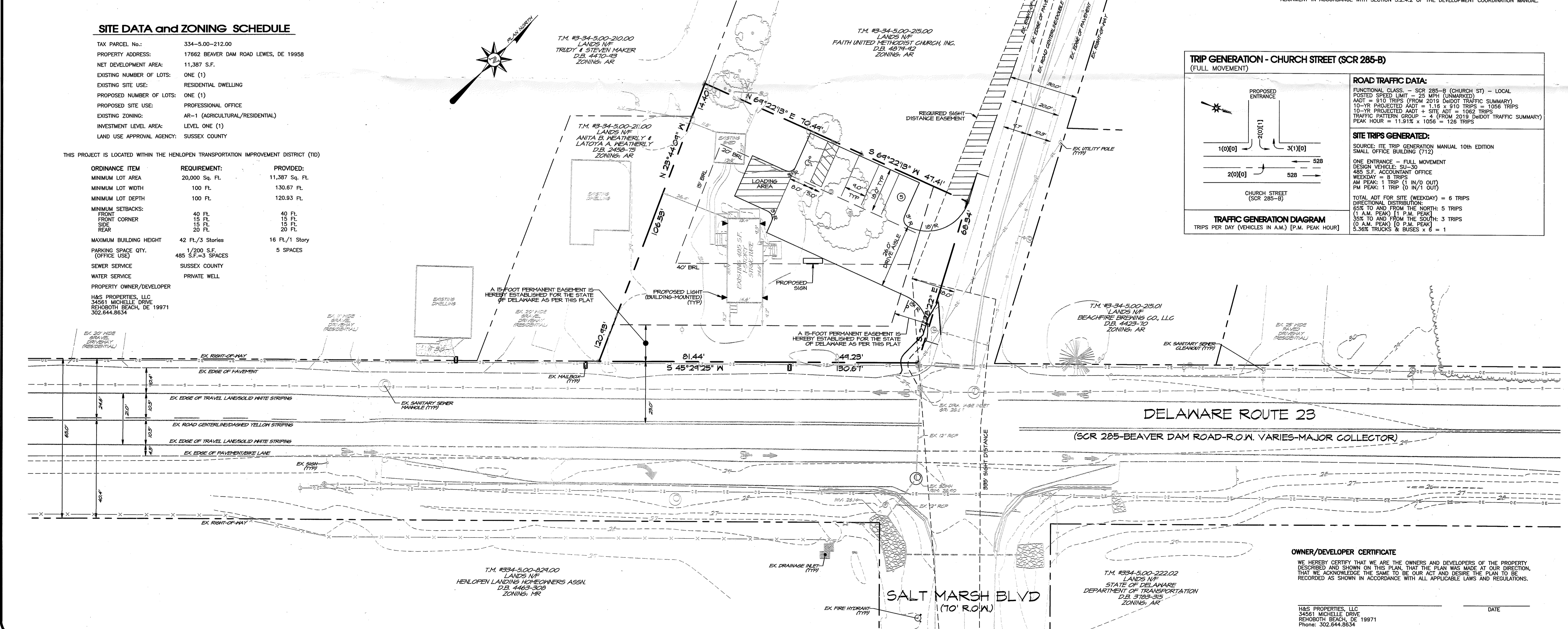
**TRIP GENERATION - CHURCH STREET (SCR 285-B)**  
(FULL MOVEMENT)



**ROAD TRAFFIC DATA:**  
FUNCTIONAL CLASS - SCR 285-B (CHURCH ST) - LOCAL  
POSTED SPEED LIMIT - 25 MPH (UNMARKED)  
AADT = 910 TRIPS (FROM 2019 DELDOT TRAFFIC SUMMARY)  
10-YR PROJECTED AADT = 1,116 x 910 TRIPS = 1,062 TRIPS  
TRAFFIC PATTERN GROUP - S (FROM 2019 DELDOT TRAFFIC SUMMARY)  
PEAK HOUR = 11:31 A.M. x 1056 = 126 TRIPS

**SITE TRIPS GENERATED:**  
SOURCE: ITE TRIP GENERATION MANUAL 10th EDITION  
SMALL OFFICE BUILDING (712)  
ONE ENTRANCE - FULL MOVEMENT  
DESIGN VEHICLE: SU-30  
485 S.F. ACCOUNTANT OFFICE  
WEEKDAY = 9 TRIPS  
AM PEAK: 1 TRIP (1 IN/0 OUT)  
PM PEAK: 1 TRIP (0 IN/1 OUT)

TOTAL AADT FOR SITE (WEEKDAY) = 6 TRIPS  
85% TO AND FROM THE NORTH: 5 TRIPS  
(1 A.M. PEAK) (1 P.M. PEAK)  
15% TO AND FROM THE SOUTH: 3 TRIPS  
(0 A.M. PEAK) (0 P.M. PEAK)  
3.36% TRUCKS & BUSES x 6 = 1

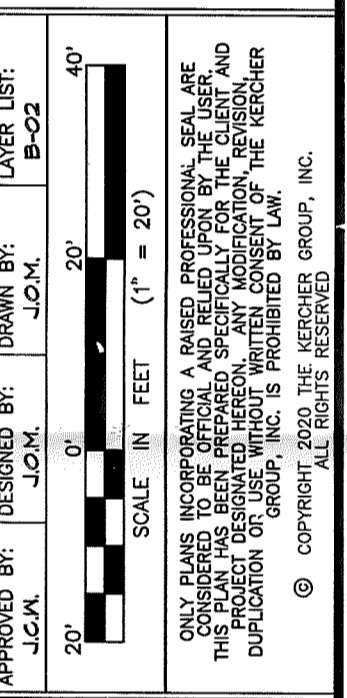


**REVISIONS**

No.	DATE	DESCRIPTION
1	03/05/20	UPDATE SITE PLAN PER NEW SURVEY INFORMATION
2	04/09/20	UPDATE PLAN PER PAZ WRITTEN COMMENTS
3	05/12/20	UPDATE PER DELDOT WRITTEN COMMENTS
4	05/12/20	UPDATE PER DELDOT WRITTEN COMMENTS - LOST COMMENT
5	09/02/20	POOL LOADING AREA PER DELDOT WRITTEN COMMENTS

HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH ALL APPLICABLE LAWS AND REGULATIONS OF THE STATE OF DELAWARE.

DESIGN PROFESSIONAL: DATE



OWNER/APPLICANT:  
H&S PROPERTIES, LLC  
34561 MICHELLE DRIVE  
REHOBOTH BEACH, DE 19971  
Phone: 302.644.8634

PARCEL INFORMATION:  
T.P. 334-5.00-212.00  
SUSSEX COUNTY, DE  
GROSS AREA: 11,387 S.F.  
PB 282, PG 82

OWNER/DEVELOPER CERTIFICATE

WE HEREBY CERTIFY THAT WE ARE THE OWNERS AND DEVELOPERS OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

H&S PROPERTIES, LLC  
34561 MICHELLE DRIVE  
REHOBOTH BEACH, DE 19971  
Phone: 302.644.8634

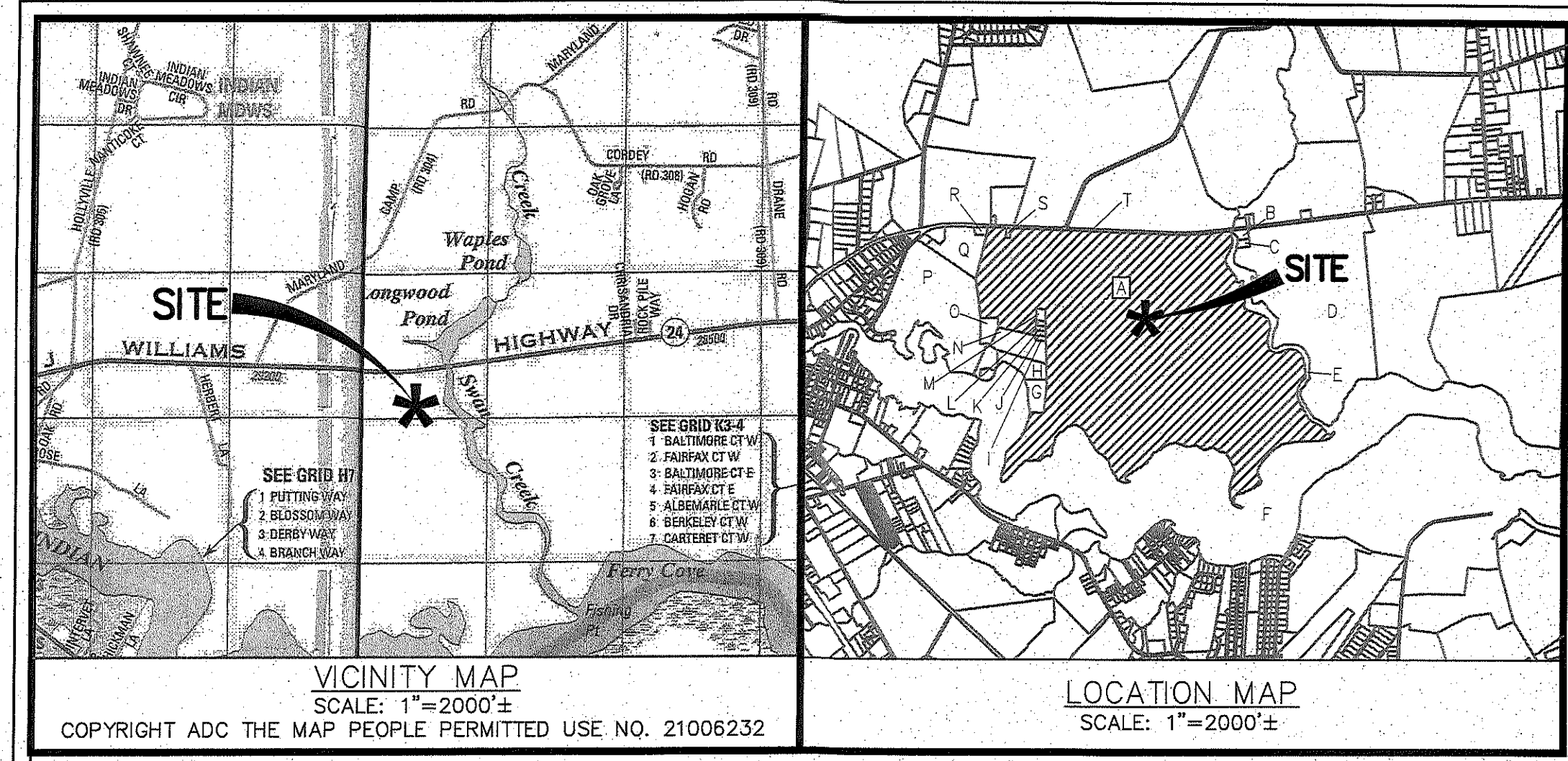
DATE

JOB No: 19-1104ES  
PLAN DATE: Nov. 11, 2019  
SHEET No.: **S1**



**PROPERTY OWNER DATA LEGEND**

- A. MOUNTAIRE FARMS OF DELAWARE INC; TAX MAP 234-32.00-117.00; BOOK 2794 PAGE 135
- B. CLARK MAYOLA \*FOR LIFE\*; TAX MAP: 234-33.00-8.00; BOOK 3996 PAGE 145
- C. CLARK MAYOLA \*FOR LIFE\*; TAX MAP: 234-33.00-7.02; BOOK 3996 PAGE 145
- D. FERRY COVE LLC; TAX MAP: 234-33.00-8.00; BOOK 2889 PAGE 287
- E. SWAN CREEK
- F. INDIAN RIVER
- G. MOUNTAIRE FARMS OF DELAWARE INC; TAX MAP: 234-32.00-116.00; BOOK 2794 PAGE 135
- H. MURRAY RANDY K; TAX MAP: 234-32.00-115.00; BOOK 4711 PAGE 248
- I. TAYLOR PATSY & LINCOLN TAYLOR; TAX MAP: 234-32.00-114.00; BOOK 2062 PAGE 119
- J. BURTON FAY E; TAX MAP: 234-32.00-113.02; BOOK 2062 PAGE 214
- K. WISE PRESTON LEROY; TAX MAP: 234-32.00-113.03; BOOK 631 PAGE 12
- L. WISE MARTHA V JUNIOR LEE; TAX MAP: 234-32.00-113.00; BOOK 2638 PAGE 90
- M. REID DONNA M & JAMES A; TAX MAP: 234-32.00-113.04; BOOK 3560 PAGE 265
- N. MURRAY RANDY K; TAX MAP: 234-32.00-113.01; BOOK 4711 PAGE 240
- O. MURRAY RANDY K; TAX MAP: 234-32.00-111.00; BOOK 4711 PAGE 243
- P. J. Y. PARKER FAMILY LIMITED; TAX MAP: 234-32.00-110.00; BOOK 4488 PAGE 90
- Q. JOHNSON STANLEY L; TAX MAP: 234-32.00-109.00; BOOK 4880 PAGE 253
- R. JOHNSON ROBERT A; TAX MAP: 234-32.00-108.00; BOOK 4882 PAGE 347
- S. MOUNTAIRE FARMS OF DELAWARE INC; TAX MAP: 234-32.00-107.00; BOOK 2794 PAGE 135
- T. JOHN J WILLIAMS HIGHWAY

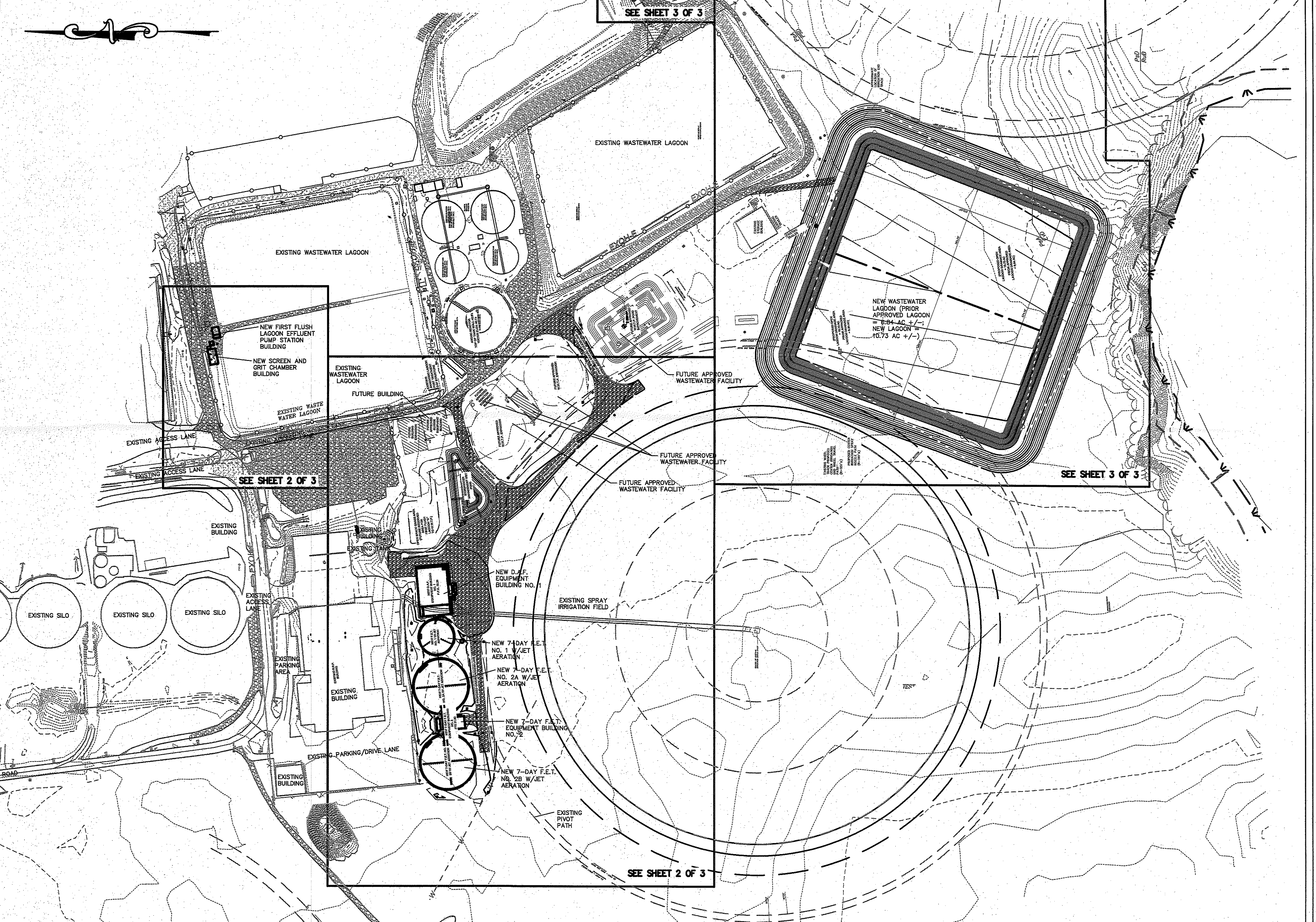


**SITE DATA**

- OWNER REPRESENTATIVE/DEVELOPER:  
MOUNTAIRE FARMS OF DELAWARE, INC.  
SCOTT HEVNER  
29292 JOHN J. WILLIAMS HIGHWAY  
MILLSBORO, DE 19966  
(302) 934-3273  
SHEVNER@MOUNTAIRE.COM
- SITE WORK ENGINEER:  
McCRONE  
119 NAYLOR MILL ROAD, SUITE 6  
SALISBURY, MD 21801  
CONTACT: ROBERT KANE, P.E.  
(410) 548-1492  
FAX (410) 548-2055
- TAX MAP 234-32.00-117.00  
TOTAL AREA = 639.00 AC.±  
PROJECT AREA (NET DEVELOPMENT AREA) = 25.95 AC.±  
DEED REF.: 2794/135
- CURRENT ZONING: HI-1 HEAVY INDUSTRIAL
- PROPERTY IS LOCATED IN FLOOD ZONE X (SHADED) - AREAS OF 0.5% ANNUAL CHANCE FLOOD PER FEMA FIRM MAP NUMBER 10005C0457K EFFECTIVE 3/16/2015.
- THE BOUNDARY SURVEY HEREON WAS BASED ON A PLAN ENTITLED "TOPO RECORD SURVEY FOR THE LANDS OF MOUNTAIRE FARMS OF DELAWARE, INC.", DATED NOVEMBER 21, 2018 AND PREPARED BY McCRONE AND RECORDED IN THE LAND RECORDS OF SUSSEX COUNTY, DELAWARE. HORIZONTAL DATUM IS DELAWARE STATE PLANE COORDINATE SYSTEM NAD 83/2007 AND VERTICAL DATUM IS NAVD 88.
- SOIL TYPE (TRAILER PARKING AREA):  
P8A - PEPPERBOX-ROSEDALE COMPLEX
- WATER FOR THE PROJECT SITE IS TO BE SUPPLIED BY ONSITE POTABLE WELLS.
- ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
- SETBACK REQUIREMENTS  
FRONT YARD = 50'  
SIDE YARD = 20'  
REAR YARD = 20' OR 40' ADJACENT TO RESIDENTIAL PROPERTY
- PROPOSED BUILDING USE AND AREAS:  
• FET EQUIPMENT BUILDING NO. 2:  
73'-4" X 32' X 17'-6" TALL  
2,346 SQFT  
MODERATE-HAZARD FACTORY INDUSTRIAL, GROUP F-1  
WASTEWATER TREATMENT FACILITY  
• DAF EQUIPMENT BUILDING:  
135' X 80' X 49'-4" TALL  
10,800 SQFT  
MODERATE-HAZARD FACTORY INDUSTRIAL, GROUP F-1  
WASTEWATER TREATMENT FACILITY  
HIGH-HAZARD GROUP H-4  
CORROSIVE CHEMICAL STORAGE  
• SCREEN AND GRIT CHAMBER BUILDING:  
40' X 21'-4" X 14'-4" TALL  
852 SQFT  
MODERATE-HAZARD FACTORY INDUSTRIAL, GROUP F-1  
WASTEWATER TREATMENT FACILITY  
THE INSIDE OF THIS BUILDING WILL BE NEC CLASS 1 DIVISION 1 GROUP D HAZARDOUS ENVIRONMENT.  
THERE IS A 10' RADIUS AROUND THE PERIMETER OF THE GRIT CHAMBER AND THE SANITARY PUMP STATION THAT WILL BE NEC CLASS 1 DIVISION 2 GROUP D. THIS AREA IS OUTSIDE OF THE BUILDING.  
• FIRST FLUSH LAGOON EFFLUENT PUMP STATION BUILDING:  
28'-8" X 18' X 9'-8" TALL  
516 SQFT  
MODERATE-HAZARD FACTORY INDUSTRIAL, GROUP F-1  
WASTEWATER TREATMENT FACILITY
- THERE ARE WET LANDS PRESENT ON SITE. DELINEATION PROVIDED BY McCRONE ON MAY 1, 2020

**LEGEND**

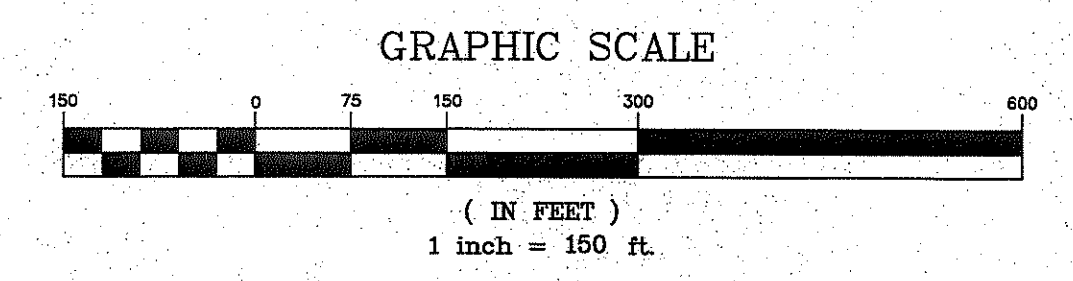
EXISTING	PROPOSED
MAJOR CONTOUR - - - - - 25 - - - - -	
MINOR CONTOUR - - - - - 24 - - - - -	
EDGE OF GRAVEL	
GUARD RAIL	
CONCRETE HATCH	
GRAVEL HATCH	
PAVEMENT HATCH	
BUILDING OUTLINE	
FENCE POST	
FENCE LINE	
EDGE OF POND/LAKE	
WETLAND BUFFER	
FLOOD PLAN	
STORM MANHOLE	
CATCH BASIN	
STORM CLEANOUT	
STORM PIPE	
FLARED END SECTION	
WATER PIPE	
UNDERGROUND ELECTRIC	
FUTURE WORK	



**OWNER / DEVELOPER CERTIFICATE**

I HEREBY CERTIFY THAT THE CONSTRUCTION PLANS ARE BEING SUBMITTED WITH MY FULL KNOWLEDGE AND CONSENT AND IS IN ACCORDANCE WITH MY DESIRES AS OWNER / DEVELOPER.

Scott Hevner, Director of Engineering  
Signature: [Signature] Date: 11/18/20  
OWNER'S NAME: MOUNTAIRE FARMS OF DELAWARE, INC.  
ADDRESS: 29292 JOHN J. WILLIAMS HIGHWAY, MILLSBORO, DE 19966  
TELEPHONE: (302) 934-3092



**McCRONE**

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119 NAYLOR MILL ROAD, SUITE 6  
SALISBURY, MD 21801  
PHONE: 410-548-1492 • FAX: 410-548-2055  
Copyright © 2020

ROBERT S. KANE  
REGISTERED PROFESSIONAL ENGINEER  
DELAWARE LICENSE NO. 13336, EXP. 6/30/2022

I, ROBERT S. KANE, DESIGNER OF THESE DOCUMENTS, HAVE PREPARED AND APPROVED BY ME AND THAT I AM A DELAWARE LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF DELAWARE, LICENSE NO. 13336, EXP. 6/30/2022

**PRELIMINARY**

**NOT FOR CONSTRUCTION**

DRAWN BY: JSB  
DESIGNED BY: TAH  
CHKD BY: RSK

THE INFORMATION CONTAINED HEREIN SHALL BE CONSIDERED PROPRIETARY TO REID ENGINEERING COMPANY, INC. ANY USE OR REPRODUCTION OF THIS INFORMATION WITHOUT THE EXPRESS WRITTEN CONSENT FROM REID ENGINEERING COMPANY, INC. IS HEREBY PROHIBITED.

**REID ENGINEERING COMPANY, INC.**

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Fredericksburg, Virginia 22401  
Tel:(540) 371-8500 Fax:(540) 371-8576

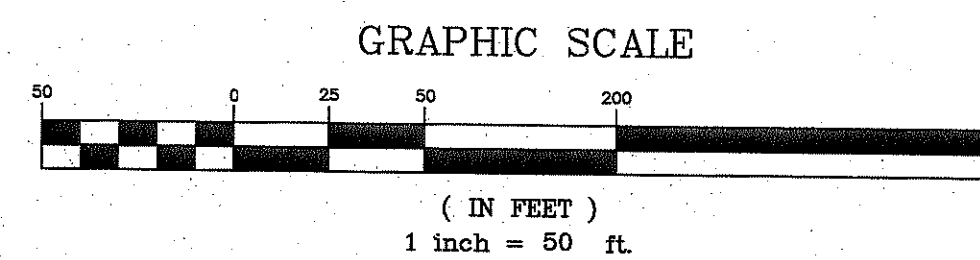
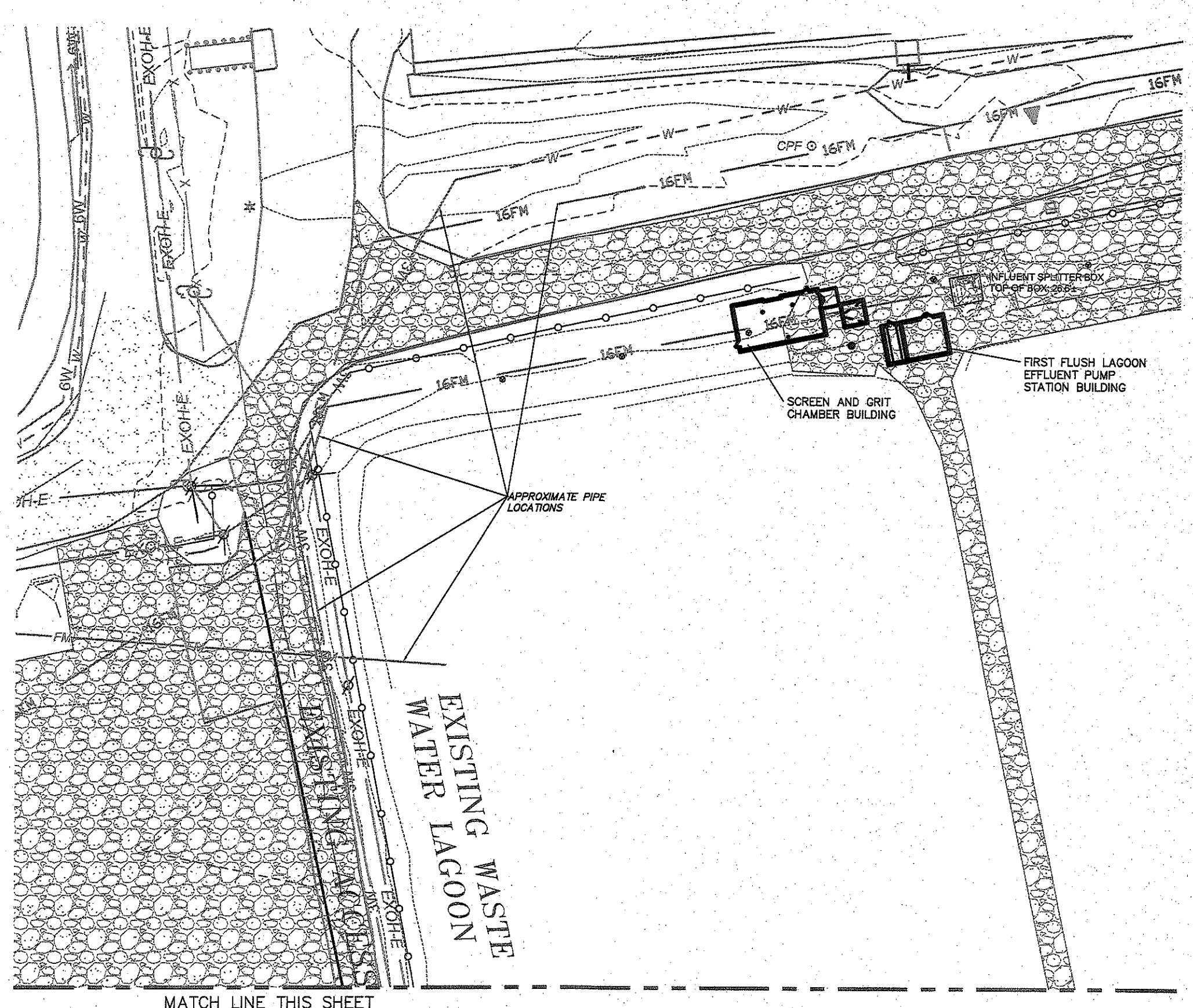
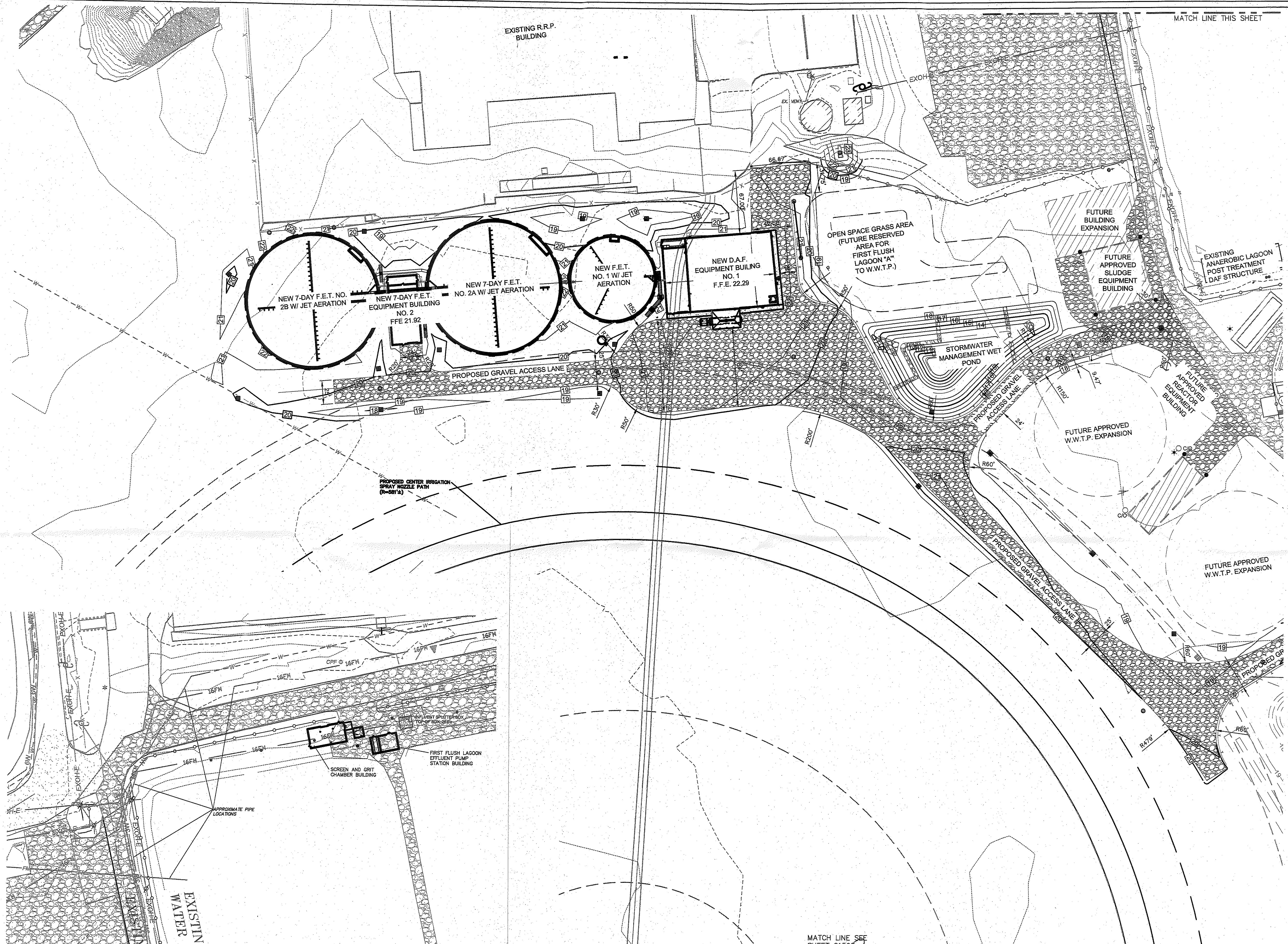
PRELIMINARY PLAN

MOUNTAIRE FARMS-MILLSBORO FACILITY  
WASTEWATER TREATMENT SYSTEM  
UPGRADE

SUSSEX COUNTY DELAWARE

DATE: 11.18.20 PROJECT NO. 180017A  
SCALE: 1"=150' DWG NO: 1 OF 3





MATCH LINE SEE SHEET C1503

**McCRONE**  
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 119 HAYLOR MILL ROAD, SUITE 8  
 SALISBURY, MD 21051  
 PHONE 410-948-1482 • FAX 410-948-2058  
 www.mccrone-engineering.com Copyright © 2020

**ROBERT S. KANE**  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 18538  
 DELAWARE  
 I, ROBERT S. KANE, do hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Delaware, license no. 18538, exp. 6/30/2022.

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

DRAWN BY: JSB  
 DESIGNED BY: TAH  
 CHKD BY: RSK  
 THE INFORMATION CONTAINED HEREIN SHALL BE CONSIDERED PROPRIETARY TO REID ENGINEERING COMPANY, INC. ANY USE OR REPRODUCTION OF THIS INFORMATION WITHOUT THE EXPRESS WRITTEN CONSENT FROM REID ENGINEERING COMPANY, INC. IS HEREBY PROHIBITED.

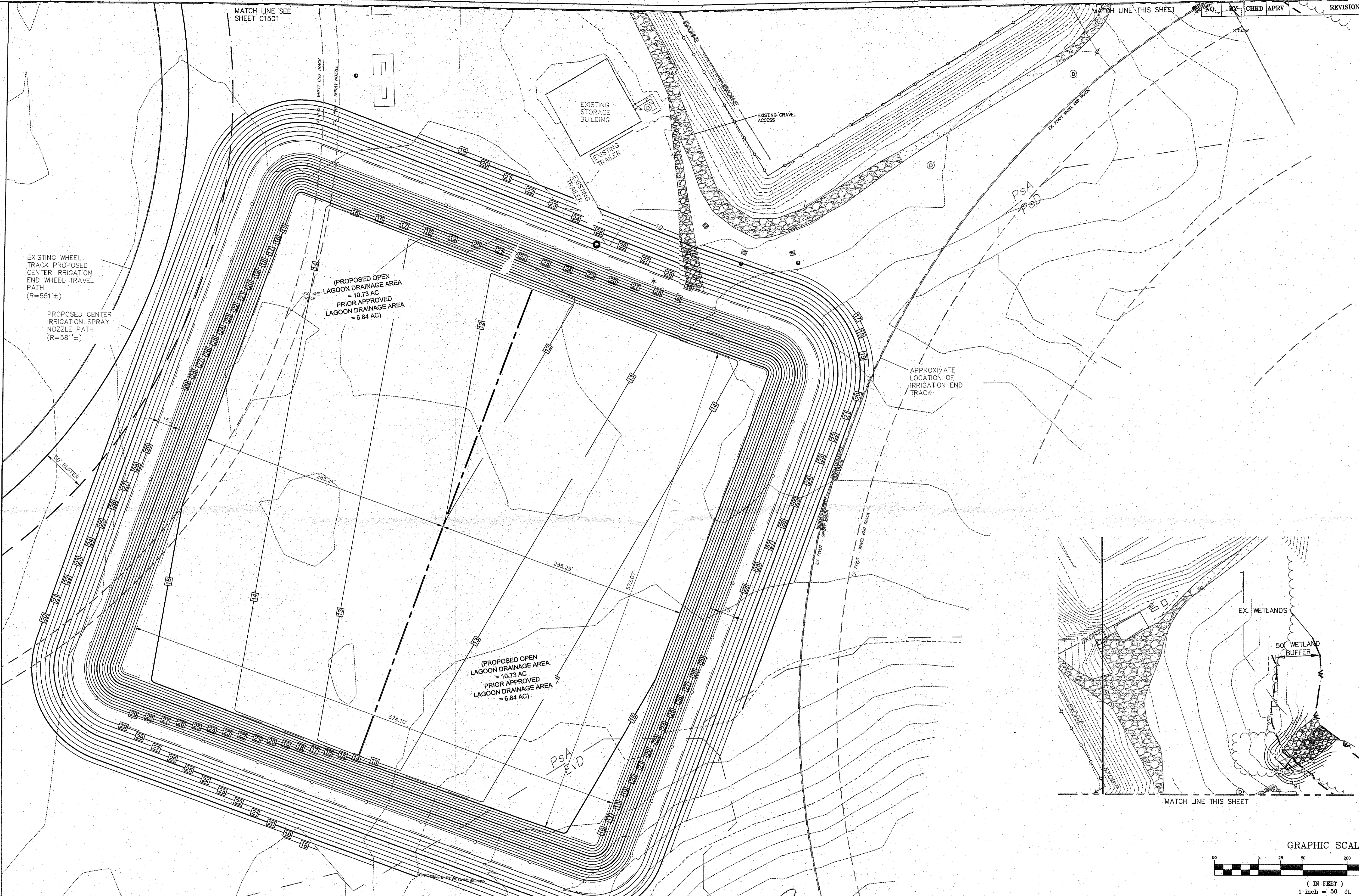
**REID ENGINEERING COMPANY, INC.**  
 1210 Princess Anne Street  
 Fredericksburg, Virginia 22401  
 Tel:(540) 371-8500 Fax:(540) 371-8576

PRELIMINARY PLAN	
MOUNTAINE FARMS-MILLSBORO FACILITY WASTEWATER TREATMENT SYSTEM UPGRADE	
SUSSEX COUNTY	DELAWARE
DATE: 11.18.20	PROJECT NO. 180017A
SCALE: 1"=50'	DWG NO: 2 OF 3



MATCH LINE SEE SHEET C1501

NO. BY CHKD APYR REVISION DATE

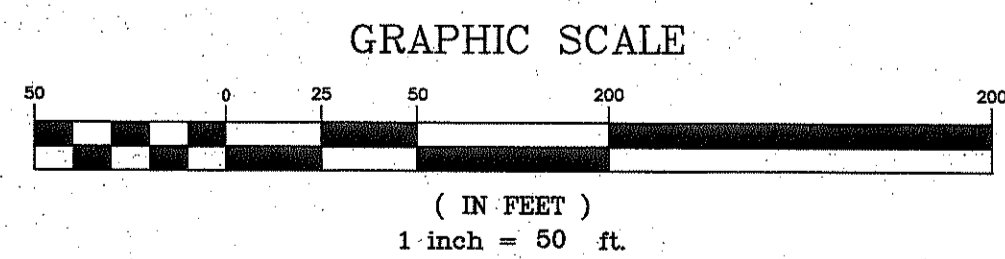
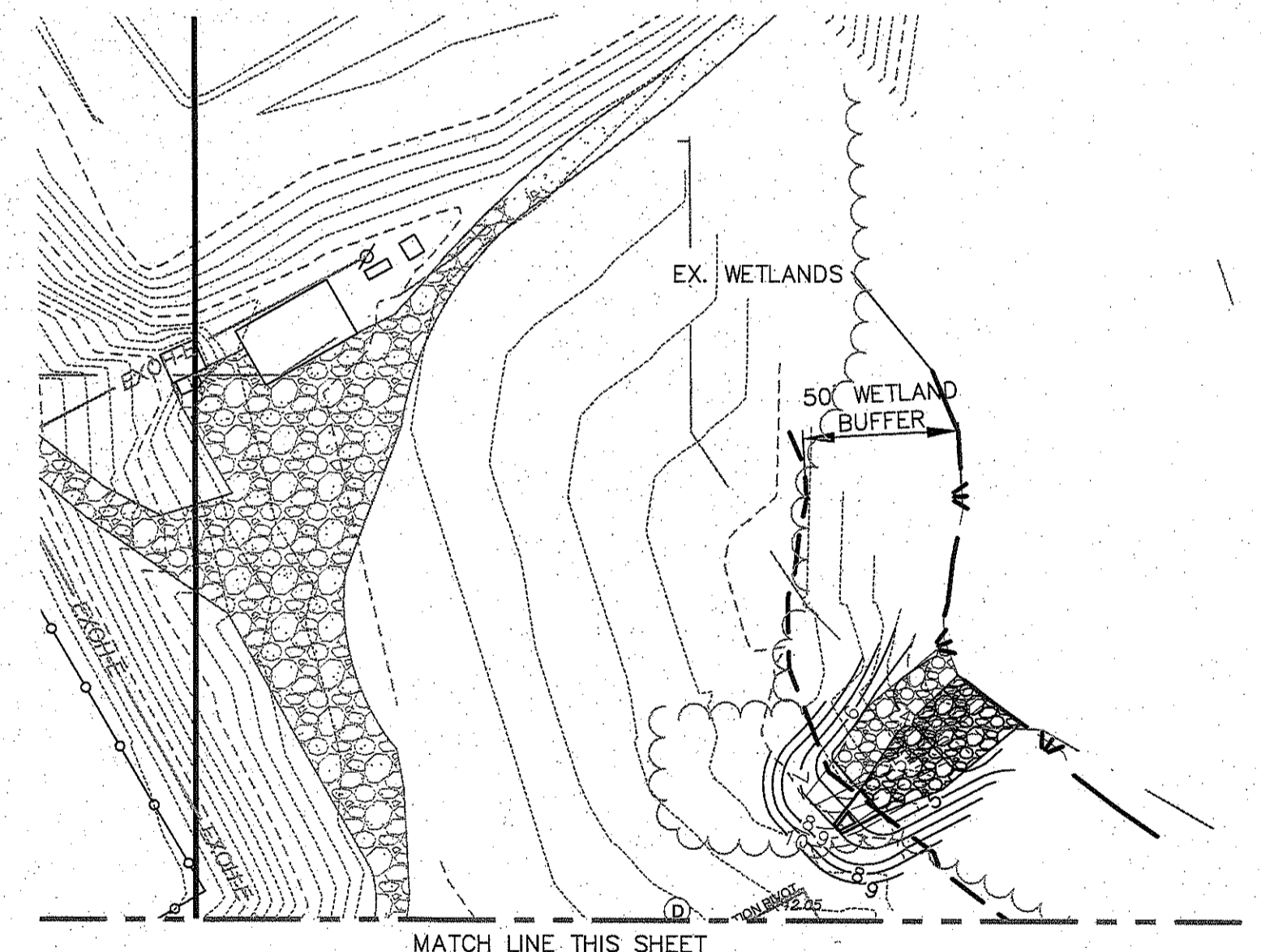


EXISTING WHEEL TRACK PROPOSED CENTER IRRIGATION END WHEEL TRAVEL PATH (R=551'±)

PROPOSED CENTER IRRIGATION SPRAY NOZZLE PATH (R=581'±)

(PROPOSED OPEN LAGOON DRAINAGE AREA = 10.73 AC  
PRIOR APPROVED LAGOON DRAINAGE AREA = 6.84 AC)

(PROPOSED OPEN LAGOON DRAINAGE AREA = 10.73 AC  
PRIOR APPROVED LAGOON DRAINAGE AREA = 6.84 AC)



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SALISBURY, MD 21801  
PHONE 410-546-1422 • FAX 410-546-2055  
www.mccrone-engineering.com

**ROBERT S. KANE**  
REGISTERED PROFESSIONAL ENGINEER  
DELAWARE

I, ROBERT S. KANE, STATE OF DELAWARE, DO HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DELAWARE LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF DELAWARE, LICENSE NO. 13036, EXP. 6/30/2022.

**PRELIMINARY**

**NOT FOR CONSTRUCTION**

DRAWN BY: JSB  
DESIGNED BY: TAH  
CHKD BY: RSK

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**REID ENGINEERING COMPANY, INC.**

1210 Princess Anne Street  
Fredericksburg, Virginia 22401  
Tel:(540) 371-8500 Fax:(540) 371-8576

PRELIMINARY PLAN	
MOUNTAIRE FARMS-MILLSBORO FACILITY WASTEWATER TREATMENT SYSTEM UPGRADE	
SUSSEX COUNTY	DELAWARE
DATE: 11.18.20	PROJECT NO. 180017A
SCALE: 1"=50'	DWG NO: 3 OF 3



**SITE DATA:**

- TAX MAP NUMBER: 230-7-00-47.00  
DEED: BOOK 4689, PAGE 236
- DEVELOPER NAME: GREAT OUTDOOR COTTAGES, LLC
- DEVELOPER ADDRESS: 9919 STEPHEN DECATUR HWY  
OCEAN CITY, MD 21842
- ADDRESS LOCATION: 8295 BRICK GRANARY ROAD  
LINCOLN, DE, 19960  
HUNDRED: CEDAR CREEK  
COUNTY: SUSSEX
- CURRENT ZONING: AR-1 (AGRICULTURAL/RESIDENTIAL)  
PRESENT USE: COMMERCIAL  
PROPOSED USE: COMMERCIAL
- SETBACKS: FRONT YARD 40'  
SIDE YARD 15'  
REAR YARD 20'
- BUILDING HEIGHT: 42' ALLOWED (PROPOSED 42' MAX.)
- PARKING (ARTICLE XXII OFF-STREET PARKING, CODE SECTION 115-162)  
NO ADDITIONAL PARKING REQUIRED, PROPOSED (16) GOLF CART PARKING SPACES SHOWN ON SITE PLAN.
- LOADING SPACES REQUIRED: 0 SPACES  
LOADING SPACES PROVIDED: 0 SPACES
- SERVICES:  
WATER SUPPLIER: PRIVATE ON-SITE WELL  
WATER IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DIVISION OF PUBLIC HEALTH.  
SANITARY SEWER SUPPLIER: EXISTING PRIVATE SEPTIC
- SECTION 89-SOURCE WATER PROPERTY A. SUBJECT PROPERTY IS WITHIN AN AREA OF 'FAIR' GROUNDWATER RECHARGE  
B. SUBJECT PROPERTY IS NOT LOCATED IN WELLHEAD PROTECTION AREA.
- STATE INVESTMENT AREA: LEVEL 2
- LATITUDE AND LONGITUDE STATE PLANE COORDINATES  
LATITUDE: N038° 52' 28.19"  
LONGITUDE: W-075° 21' 36.48"
- WETLAND AREA: 0.00 ACRES
- PROPOSED DISCHARGE LOCATION: EXISTING SURFACE BASIN  
(DELAWARE BAY WATERSHED)
- BASED UPON FLOOD INSURANCE RATE MAP (FIRM) NUMBERS 10005C0151K, DATED JUNE 20, 2018, THE PROPERTY IS LOCATED IN AN MAJORITY AREA DESIGNATED AS FLOOD ZONE 'X', UNSHADED, AND ZONE AE (EL 10 FEET), AND 0.2% ANNUAL CHANCE FLOOD HAZARD.
- SITE AREA AND ACREAGE: 1,381,489.00 SQ. FT. 31.71 ACRES (±)
- NET DEVELOPMENT AREA/ GROSS ACRES: PR: (21.95 ACS.)  
PARKING, DRIVE AISLES, IMPERVIOUS: EX: 410,193 SF (30%) PR: 421,225 SF (31%)  
OPEN SPACE: EX: 971,296 SF (70%) PR: 959,954 SF (69%)  
TOTAL: EX: 1,381,489.00 SF (100%) PR: 1,381,489.00 SF (100%)

**GENERAL NOTES:**

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY OWNER. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
- THIS PLAN DOES NOT VERIFY THE EXISTENCE, OR NONEXISTENCE, OF EASEMENT OR RIGHT OF WAYS CROSSING THE SUBJECT PROPERTY.
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN THE PLAN.
- FINAL SET OF APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE MAINTAINED ON THE JOB SITE AT ALL TIMES. FAILURE TO COMPLY WITH THIS PROVISION SHALL BE CONSIDERED CAUSE TO STOP THE WORK.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE REJECTED.
- ALL MATERIALS SHALL BE NEW AND SHALL BE ASBESTOS AND VERMICULITE FREE. ALL MATERIALS SHALL BE STORED SO AS TO ASSURE THE PRESERVATION OF THEIR QUALITY AND FITNESS FOR THE INTENDED WORK.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO BE PERFORMED. IT MUST BE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO FIELD LOCATE AND RECORD ANY DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REMOVED OR REPLACED. ENGINEER TO VERIFY LOCATION AND EXTENT OF DAMAGE.
- THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF CONTRACT DRAWINGS ON WHICH HE SHALL NOTE, IN RED, THE ALIGNMENTS AND INVERTS OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK. ALL DISCREPANCIES BETWEEN THE PLAN LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE AS-BUILT DRAWINGS TO BE MAINTAINED BY THE CONTRACTOR IN THE FIELD.
- THE CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH OR ACCESS PITS WHICH CAN BE BACKFILLED AND STABILIZED AT THE END OF EACH WORKING DAY. STEEL PLATES SHALL BE USED ON ANY TRENCH OR ACCESS PITS WHICH MUST REMAIN OPEN OVERNIGHT. THIS REQUIREMENT DOES NOT APPLY TO AREAS COMPLETELY CLOSED AND SECURE FROM VEHICULAR OR PEDESTRIAN TRAFFIC.
- DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REPLACED OR REMOVED DURING CONSTRUCTION SHALL BE IMMEDIATELY REPORTED TO ENGINEER. CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED WORK WITHOUT CHARGE TO THE OWNER.
- BASED UPON FLOOD INSURANCE RATE MAP (FIRM) NUMBERS 10005C0151K, DATED JUNE 20, 2018, THE PROPERTY IS LOCATED IN AN MAJORITY AREA DESIGNATED AS FLOOD ZONE 'X', UNSHADED, AND ZONE AE (EL 10 FEET), AND 0.2% ANNUAL CHANCE FLOOD HAZARD.
- SUBJECT PROPERTY IS CURRENTLY 'AR-1' (AGRICULTURAL RESIDENTIAL).
- THE SUBJECT SITE WILL BE CONSTRUCTED AS A SINGLE PHASE.
- TOTAL AREA FOR SUBJECT SITE IS 31.71 ACRES.
- THE BOUNDARY INFORMATION & TOPOGRAPHY SHOWN ON THIS PLAN WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD AND IS ALSO THE RESULT OF AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES, INC. DATED SEPTEMBER 11, 2020.
- ALL PROPOSED LIGHTING IS SHOWN AS STREET LIGHTS BEING RELOCATED DUE TO THE PROPOSED AMENITIES.
- ALL SECURITY LIGHTING (IF NECESSARY) SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
- STATE AND FEDERAL WETLANDS DO NOT EXIST ON THE SITE.
- STORMWATER IS CONVEYED THROUGH EXISTING PIPE TO EXISTING BASIN AT REAR OF PROPERTY.
- ALL FIRE LANES, FIRE HYDRANTS, EXITS, STANDPIPE, FIRE DEPARTMENT CONNECTIONS AND SPRINKLER CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS. BUILDING CONSTRUCTION TO BE STEEL AND CONCRETE, AND WILL NOT HAVE SPRINKLERS. SEE TABLE ON SHEET CS0002 FOR SPECIFICS FOR EACH BUILDING.
- LOCK BOX REQUIRED - CONTACT LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF BOX ON THE BUILDING.
- MISS UTILITY SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO EXCAVATION.
- ALL DISTURBED AREAS WITHIN THE LIMIT OF DISTURBANCE, BUT NOT IN PAVEMENT, SHALL BE TOP-SOILED (6" MINIMUM), SEEDED AND MULCHED. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- A 72 HOUR (MINIMUM) NOTICE SHALL BE GIVEN TO THE DISTRICT PERMIT SUPERVISOR PRIOR TO STARTING ROADWAY CONSTRUCTION.
- THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE OR MODIFY ANY EROSION AND SEDIMENT CONTROL MEASURES AS THEY DEEM NECESSARY.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING, TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION:  
THE OWNER, SUSSEX CONSERVATION DISTRICT, & DELDOT
- THE CONTRACTOR SHALL MAINTAIN PUBLIC ROADS AND STREETS IN A BROOM SWEEP CONDITION AT ALL TIMES.
- ROUTINE PERIODIC INSPECTIONS DURING CONSTRUCTION WILL BE PROVIDED BY THE OWNER. THESE INSPECTIONS DO NOT RELIEVE THE CONTRACTOR FROM HIS OBLIGATION AND RESPONSIBILITY FOR CONSTRUCTING ALL WORK IN STRICT ACCORDANCE WITH ALL STANDARDS AND SPECIFICATIONS AND CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL MEASURES TO PROTECT STOCKPILE AREAS AND STORAGE AREAS. ALL AREAS USED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR UPON COMPLETION OF THE PROJECT. IF THE STAGING AREA IS PAVED, IT SHALL BE RESTORED TO ITS ORIGINAL CONDITION. IF THE STAGING AREA IS UNPAVED, IT SHALL BE RE-GRADED, TOPSOILED, SEEDED AND MULCHED TO THE SATISFACTION OF THE ENGINEER. ALL COSTS ASSOCIATED WITH RESTORATION OF THE STAGING AREA SHALL BE AT THE CONTRACTOR'S EXPENSE. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL TAKE PRECAUTIONS TO LOCATE PROPERTY LINES AND RIGHT OF WAY LINES PRIOR TO CONSTRUCTION AND AVOID CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY AND/ OR RIGHTS OF WAYS WHERE SAID CONSTRUCTION IS PROHIBITED. THE CONTRACTOR MAY CONDUCT CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY PROVIDED IF HE HAS OBTAINED PRIOR WRITTEN PERMISSION FROM THE PROPERTY OWNER AND HAS SUBMITTED A COPY OF SAID WRITTEN PERMISSION TO THE OWNER.
- THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE WORK AREA, INCLUDING, BUT NOT LIMITED TO: MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL REGULATORY, WARNING AND INFORMATION SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE.

# YOGI BEAR'S JELLYSTONE PARK CAMP - RESORT AMENITIES PLAN

SUSSEX COUNTY, DELAWARE

PREPARED FOR:

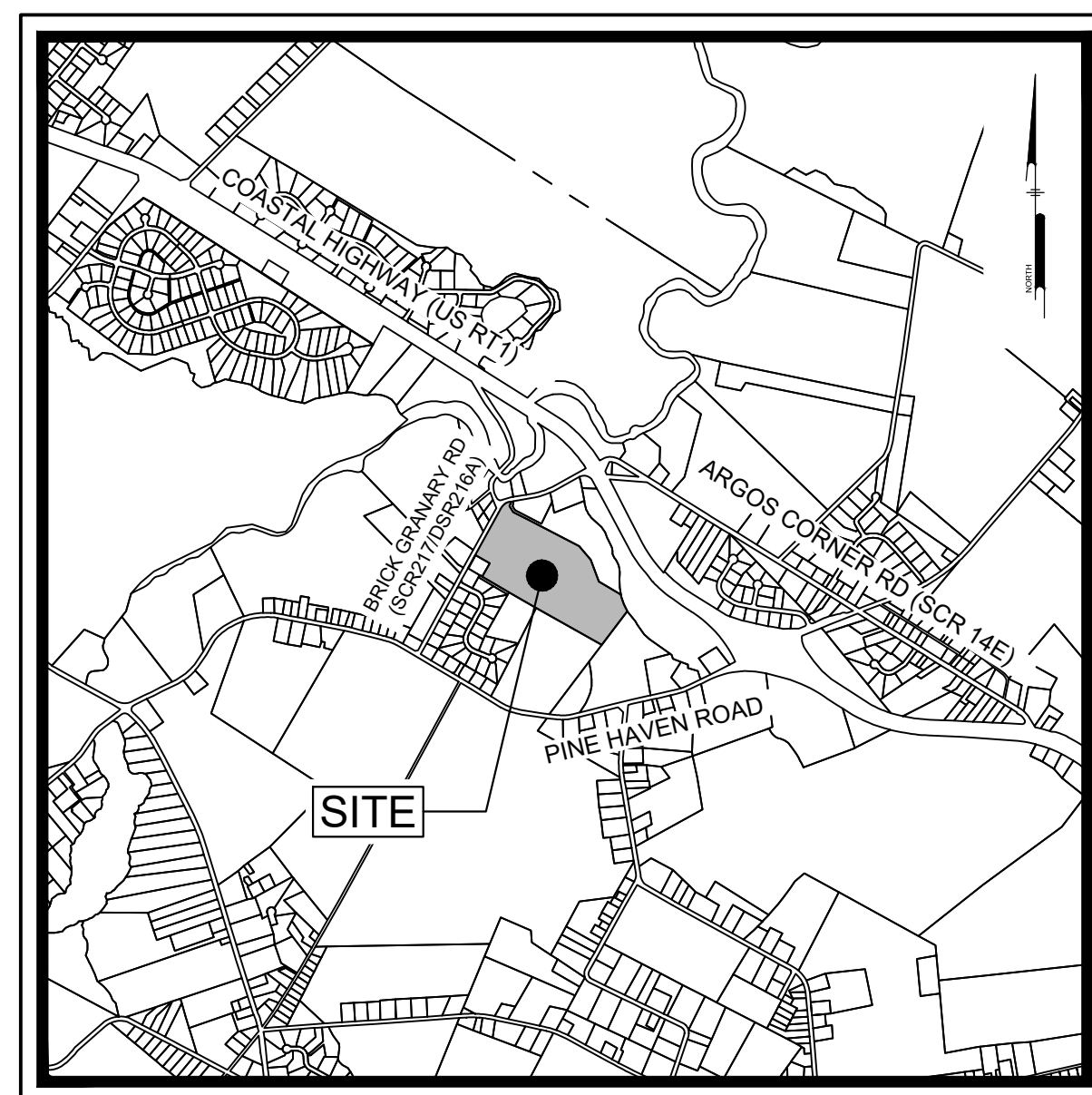
OWNER/DEVELOPER

GREAT OUTDOOR COTTAGES, LLC

9919 STEPHEN DECATUR HWY

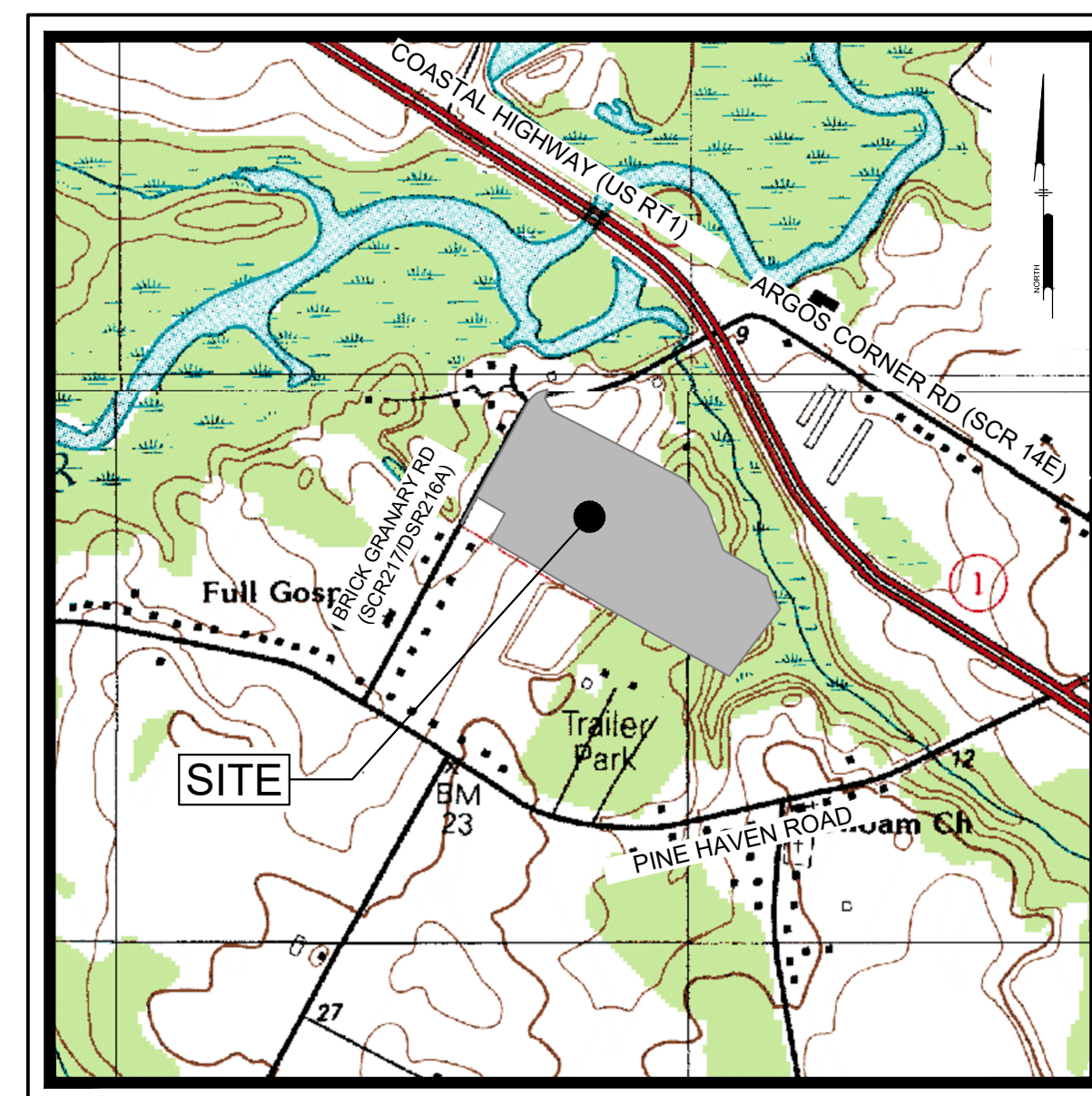
OCEAN CITY, MD 21842

(410) 213-1900



VICINITY MAP

Scale: 1" = 2000'



LOCATION MAP

Scale: 1" = 1000'

Sheet List Table		
SHEET NUMBER	SHEET DESCRIPTION	SHEET TITLE
1	CS0001	COVER SHEET
2	CS0002	AMENITIES PLAN - KEY SHEET
3	CS1001	WATER AMENITIES PLAN

**OWNER CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
GREAT OUTDOOR COTTAGES, LLC  
9919 STEPHEN DECATUR HWY  
OCEAN CITY, MD 21842  
(410) 213-1900

**ENGINEER CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
ALAN DECKTOR, PE (DE PE#17771) (302-684-8030)  
PENNONI ASSOCIATES, INC.  
18072 DAVIDSON DRIVE MILTON, DE 19968



18072 Davidson Drive  
Milton, DE 19968  
T 302.684.8030  
F 302.684.8054

**CALL BEFORE YOU DIG**  
Call Miss Utility of Delmarva  
**800-282-8555**  
Ticket Number(s):

OWNER/DEVELOPER  
GREAT OUTDOOR COTTAGES, LLC  
C/O JOHN LONGINO  
9919 STEPHEN DECATUR HWY  
OCEAN CITY, MD 21842  
410-213-1900

ENGINEER/SITE DESIGNER  
PENNONI ASSOCIATES INC.  
18072 DAVIDSON DRIVE  
MILTON, DE 19968  
(302) 684-8030

SURVEYOR  
PENNONI ASSOCIATES INC.

LANDSCAPE ARCHITECT  
PENNONI ASSOCIATES, INC.

SCHOOL DISTRICT  
INDIAN RIVER

FIRE DISTRICT  
CARLISLE(42)

POSTAL DISTRICT  
LINCOLN (19960)

WATER UTILITY  
PRIVATE SERVICE

SEWER UTILITY  
PRIVATE SERVICE



**PENNONI ASSOCIATES INC.**  
18072 Davidson Drive  
Milton, DE 19968  
T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

YOGI BEAR'S JELLYSTONE PARK CAMP - RESORT  
8295 BRICK GRANARY ROAD  
LINCOLN, DE 19960  
T.M.: 230-7-00-47.00

COVER SHEET

GREAT OUTDOOR COTTAGES, LLC  
9919 STEPHEN DECATUR HWY  
OCEAN CITY, MD 21842

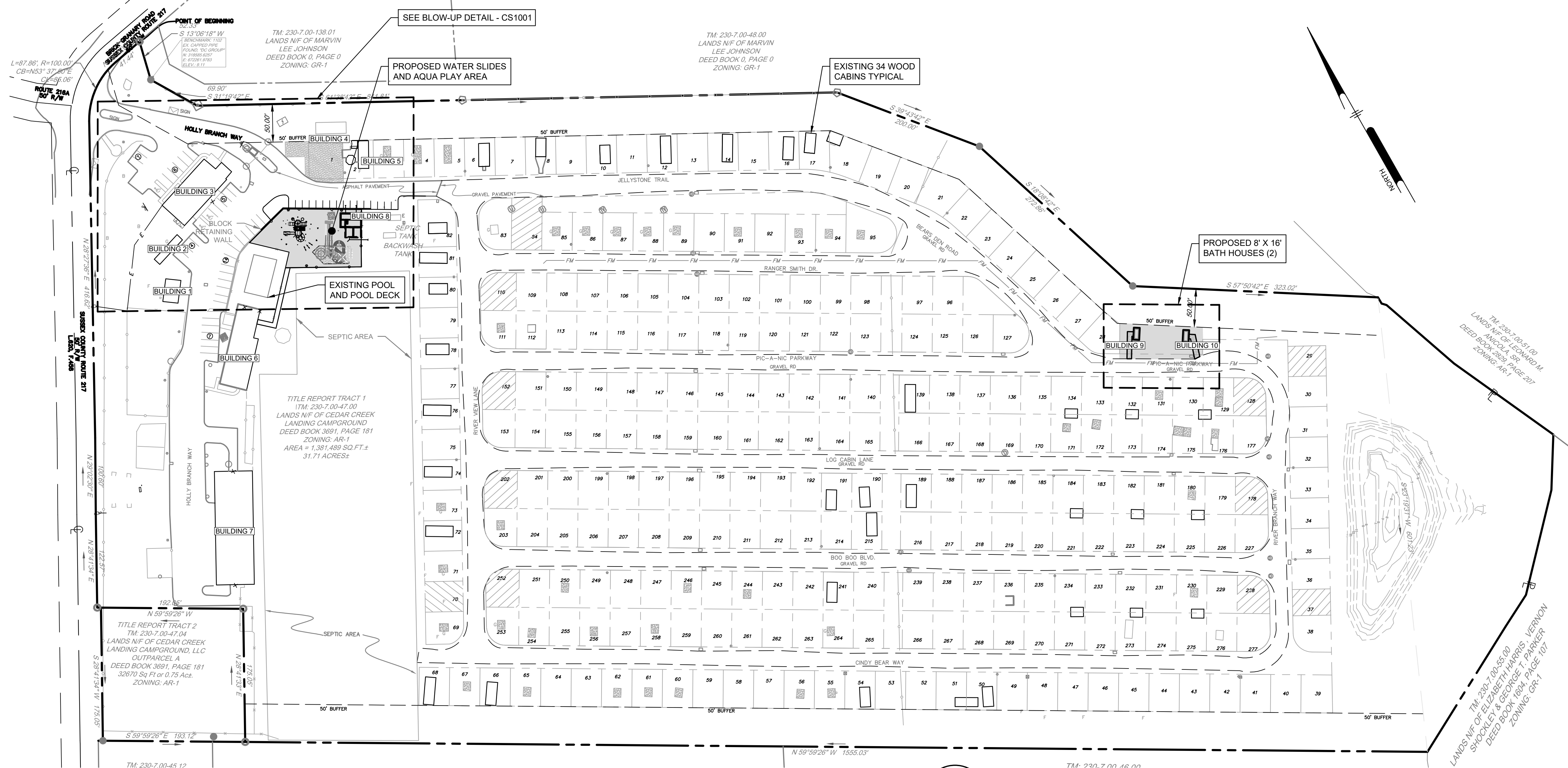
NO.	DATE	REVISIONS	BY

PROJECT: BLWTR20000  
DATE: 2021-01-13  
DRAWING SCALE: AS SHOWN  
DRAWN BY: TPM  
APPROVED BY: AMD

**CS0001**  
SHEET 1 OF 3



PROJECT STATUS: PLOTTED: 1/22/2021 12:24 PM BY: Lugin Shickland PLOTTED BY: Pennoni Associates, Inc. SHEET: 2 OF 3



OVERALL YOGI BEAR JELLYSTONE KEY MAP  
SCALE: 1"=80'

1  
PP1002

**BUILDING USE AND CONSTRUCTION**

BUILDING	USE	CONSTRUCTION TYPE	FIRST FLOOR	SPRINKLER
1	EXISTING PAVILION	1-STORY TYPE V (000) WOOD POLE BARN FRAME	605	NO
2	EXISTING PAVILION	1-STORY TYPE V (000) WOOD POLE BARN FRAME	436	NO
3	EXISTING 2 STORY METAL CHECK IN BUILDING	2-STORY TYPE V (000) WOOD POLE BARN FRAME	3,507	NO
4*	EXISTING TRAILER	1-STORY TYPE V (000) WOOD POLE BARN FRAME	590	NO
5	EXISTING TRAILER	1-STORY TYPE V (000) WOOD POLE BARN FRAME	497	NO
6	EXISTING ONE STORY BLOCK CLUB HOUSE	CMU BLOCKWOOD	3,653	NO
7	EXISTING 1 STORY METAL STORAGE BUILDING	1-STORY TYPE V (000) WOOD POLE BARN FRAME	7,450	NO
8	PROPOSED PUMP STATION	1-STORY TYPE V (000) WOOD POLE BARN FRAME	520	NO
9	PROPOSED BATH HOUSES	1-STORY TYPE V (000) WOOD POLE BARN FRAME	128	NO
10	PROPOSED BATH HOUSES	1-STORY TYPE V (000) WOOD POLE BARN FRAME	128	NO

\* BUILDING TO BE REMOVED  
THERE ARE 34 RETAIL CABINS VARYING IN SIZE BETWEEN 266 SF AND 501 SF THROUGHOUT THE PROPERTY. THEY ARE WOOD FRAMING (LOG CABIN STYLE) AND DO NOT HAVE SPRINKLERS.



**PENNONI ASSOCIATES INC.**  
18072 Davidson Drive  
Milton, DE 19968  
T 302.684.9030 F 302.684.8054

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**YOGI BEAR'S JELLYSTONE PARK CAMP - RESORT**  
826 BRUCE CRAWFORD ROAD  
LINCOLN, DELAWARE 19960  
T.M.: 230-7-00-47-00

**AMENITIES PLAN - KEY SHEET**  
GREAT OUTDOOR COTTAGES, LLC  
9919 STEPHEN DECATUR HWY  
OCEAN CITY, MD 21842

NO.	DATE	REVISIONS	BY

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	BLWTR20000
DATE	2021-01-13
DRAWING SCALE	1"=80'
DRAWN BY	TPM
APPROVED BY	AMD

**CS0002**  
SHEET 2 OF 3



S 61°38'42" E 841.81'

S 61°38'42" E 841.81'

PROPOSED 3PHASE ELECTRIC SERVICE IS LOCATED AT THE INTERSECTION OF HOLLY BRANCH WAY AND BRICK GRANARY ROAD FOR FUTURE USE.

PROPOSED 3PHASE ELECTRIC SERVICE IS LOCATED AT THE INTERSECTION OF HOLLY BRANCH WAY AND BRICK GRANARY ROAD FOR FUTURE USE.

BRANCH WAY

BRANCH WAY

50' BUFFER

50' BUFFER

ASPHALT PAVEMENT

ASPHALT PAVEMENT

EXISTING WATER AMENITIES BLOW UP DETAIL  
SCALE: 1"=20'

PROPOSED WATER AMENITIES BLOW UP DETAIL  
SCALE: 1"=20'

1  
CS1001

2  
CS1001

**KEYED NOTES**

- E1 EX CABINS TO REMAIN
- E2 EX SEPTIC DUMP STATION AND PIPE TO BE REMOVED
- E3 EX STREET LIGHTS TO BE REMOVED AND/OR SALVAGED PER DIRECTION OF OWNER
- E4 EX SEPTIC HOLDING TANKS TO REMAIN AND BE PROTECTED
- E5 EX DRIVE TO BE REMOVED OR USED FOR BACKFILLING ACTIVITY PER DIRECTION OF GEOTECHNICAL ENGINEER
- E6 EX 6" LINE TO SEPTIC
- E7 EX 4" LINE POOL BACKWASH
- E8 SEPTIC LINE TO BE RELOCATED
- E9 BACKWASH LINE TO BE RELOCATED
- E10 EXISTING BUILDING AND WALKWAY TO BE REMOVED
- E11 EXISTING STATUE AND FLAGPOLE TO BE RELOCATED BY OWNER
- E12 EXISTING FENCE REMOVED FOR NEW GATE ACCESS
- E13 EXISTING ELECTRICAL EQUIPMENT TO BE PROTECTED AND MAINTAINED
- E14 EXISTING SAW CUT PAVEMENT
- E15 EX PATIO AREA TO BE REMOVED, FOR CONCRETE PAD, REMAINING AREA TO BE MAINTAINED OR REMOVED AS DETERMINED BY OWNER
- E16 SECTION OF WALL TO BE REMOVED
- E17 EX POOL BACKWASH DRAINAGE FIELD
- E18 EX LIMIT OF SEPTIC FIELDS

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
		BUILDING
		CURB
		EDGE OF PAVEMENT
		EDGE OF GRAVEL
		UTILITY EASEMENT
		PERMANENT EASEMENT
		FENCE
		POWER, UTILITY POLE
		PROPERTY, LINE
		LEGAL RIGHT-OF-WAY
		PROPERTY, CORNER FOUND
		PROPERTY, ADJOINING LINED
		POWER, LIGHT POLE
		SEWER LINES
		STORM DRAIN LINES
		CONTOUR LINE
		TO BE REMOVED
		CONCRETE DECKING
		GRAVEL AREA

**SITE INFORMATION:**

SITE ADDRESS:  
8295 BRICK GRANARY ROAD  
LINCOLN, DELAWARE 19960  
OWNER/DEVELOPER:  
GREAT OUTDOOR COTTAGES, LLC  
9919 STEPHEN DECATUR HWY  
OCEAN CITY, MD 21842  
ENGINEER:  
PENNONI ASSOCIATES, INC.  
18072 DAVIDSON DRIVE  
MILTON, DE 19968

**KEYED NOTES**

- S1 PROP GOLF CART PARKING (TYP.)
- S2 PROP LIGHTPOLES (TYP.)
- S3 PROP AQUA PLAY AREA (25' HIGH) AND WATER SLIDE (15' STAIR TOWER, AND 23' HIGH CANOPY)
- S4 PROP CONCRETE PAD AREA
- S5 PROP PUMP HOUSE
- S6 RELOCATED 6" LINE TO SEPTIC
- S7 RELOCATED 4" LINE POOL BACKWASH
- S8 PROPOSED UNDERGROUND RECYCLING WATER TANK
- S9 POOL BACKWASH DRAINAGE FIELD
- S10 6' HIGH CHAIN LINK FENCE (414 FT)
- S11 RETAINING WALL TO BE EXTENDED (156 FT)
- S12 PROP STONE AREA FOR VEHICLE CHARGING, EXISTING GRADE WILL REMAIN AS IS
- S13 PROP STORMWATER OVERFLOW FROM PUMP HOUSE
- S14 6' WIDE CONCRETE SIDEWALK
- S15 SANITARY SEWER LATERAL
- S16 WATER LATERAL
- S17 ELECTRIC CONNECTION
- S18 WATER AMENITY BACK WASH CONNECTION
- S19 GRAVEL UNDERDRAIN CONNECTION
- S20 GRAVEL AREA



**PENNONI ASSOCIATES INC.**  
18072 Davidson Drive  
Milton, DE 19968  
T 302.684.9030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

**YOGI BEAR'S JELLYSTONE PARK CAMP - RESORT**  
8295 BRICK GRANARY ROAD  
LINCOLN, DELAWARE, 19960  
T.M.: 230-7-00-47-00

**WATER AMENITIES PLAN**

**GREAT OUTDOOR COTTAGES, LLC**  
9919 STEPHEN DECATUR HWY  
OCEAN CITY, MD 21842

NO.	DATE	REVISIONS	BY

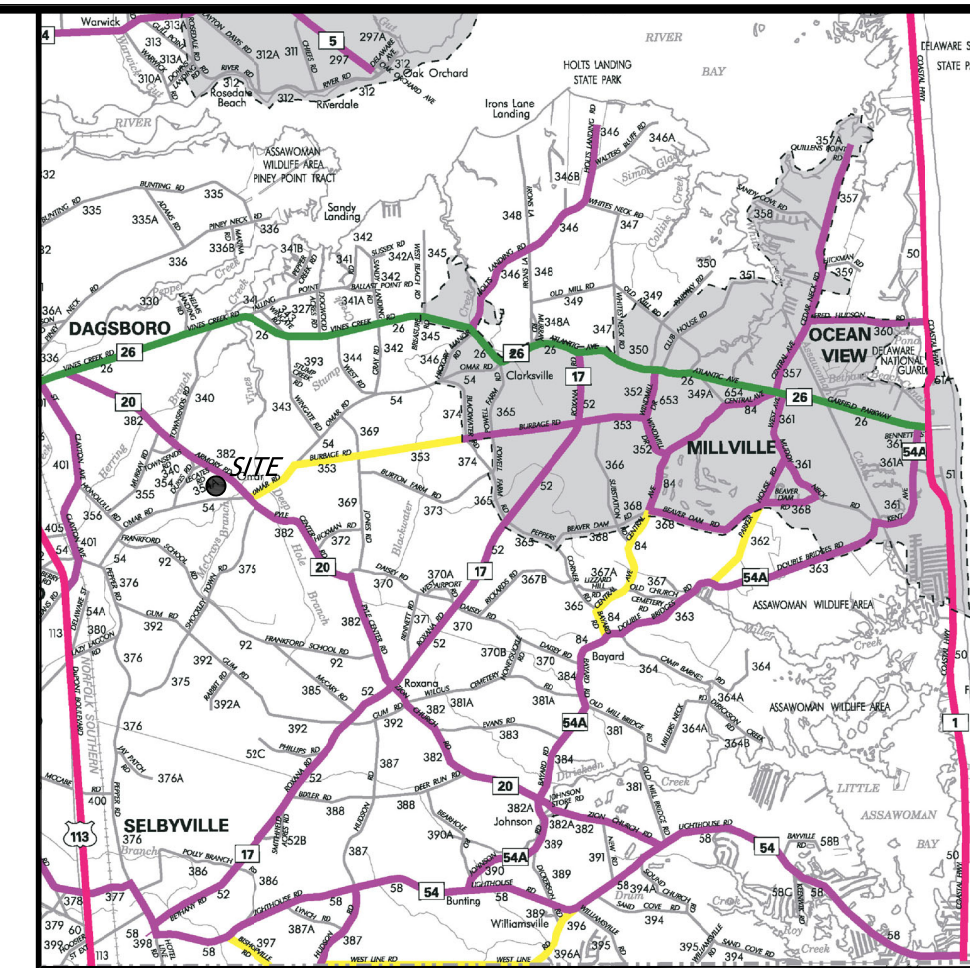
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PROJECT: **BLWTR20000**  
DATE: 2021-01-13  
DRAWING SCALE: 1"=20'  
DRAWN BY: TPM  
APPROVED BY: AMD

**CS1001**  
SHEET 3 OF 3

PROJECT STATUS:   
 PLOTTED: 1/22/2021 1:25 PM BY: Lagan Shekhar   
 PLOTTED BY: Lagan Shekhar   
 PROJECT STATUS:   
 PLOTTED: 1/22/2021 1:25 PM BY: Lagan Shekhar   
 PLOTTED BY: Lagan Shekhar





LOCATION MAP  
SCALE 1"=2 MILES

SITE DATA:  
TM 4337.00-10.00  
CURRENT OWNER:  
FLOYD D. HIGEL  
31048 ARMORY ROAD  
FRANKFORD, DE 19945

DB 3138 PG 044  
PB 33 PG 208  
GROSS ACREAGE 3.38 ACRES

ZONING AR-1  
PRESENT USE: RESIDENTIAL  
PROPOSED USE: RESIDENTIAL

ON SITE/LOT SEWER AND WATER

TOTAL NUMBER OF LOTS 2 PLUS ROW PARCELA  
MINIMUM BUILDING SETBACKS  
FRONT 30' (40' ALONG NUMBERED COUNTY ROADS)  
SIDE 15'  
REAR 20'  
MINIMUM AREA= 32.670SF OR 0.75 ACRES

GENERAL NOTES:  
1) OTHER THAN SHOWN, THIS SURVEY PLAT DOES NOT VERIFY THE EXISTENCE OR NONEXISTENCE OF RIGHTS-OF-WAY OR EASEMENTS ON THIS PROPERTY. NO TITLE SEARCH WAS REQUESTED OR PERFORMED.  
2) THERE ARE NO DELAWARE STATE REGULATED TIDAL WETLANDS ON THIS SITE.  
3) A PARCEL A 50' ACCESS AND MAINTENANCE AGREEMENT FOR LOT 1 AND THE RESIDUE LOT WILL BE ENACTED PRIOR TO FINAL APPROVAL AND RECORDATION.

DELDOT NOTES:  
1) AN ADDITIONAL 10 FEET OF RIGHT-OF-WAY IS HEREBY DEDICATED TO THE STATE OF DELAWARE AS PER THIS PLAT. (SEE PLAN NOTE)  
2) THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS ALONG THE FRONTAGE OF ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL AND THE REQUIREMENTS OF THE LAND USE AGENCY.  
3) WITH THE PROPOSED MINOR SUBDIVISION PLAN, DELDOT SHALL REQUIRE A COPY OF THE RECORDED RECORD PLAT SHOWING ALL APPROPRIATE SIGNATURES, SEALS, PLAT BOOK AND PAGE NUMBER. PRIOR TO ISSUING THE ENTRANCE PERMIT, THE OWNER SHALL SUBMIT THIS INFORMATION TO THE SOUTH DISTRICT ENTRANCE PERMIT SUPERVISOR (853-1340). TO OBTAIN THE ENTRANCE PERMIT, ENTRANCES MUST BE INSTALLED PRIOR TO SALES OF THE LOTS.  
4) ENTRANCE NOTES:  
a) SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.  
b) ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.  
c) ALL DRIVEWAYS WILL ACCESS THE PARCEL A 50 FOOT EASEMENT AS SHOWN.

OWNER'S CERTIFICATION:  
I, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND THAT I DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

FLOYD D. HIGEL DATE

**LEGEND**

EX. PROPERTY LINE	---
PROPOSED SUBDIVISION LINE	---
PROPOSED DEDICATED ROW LINE	---
EX. ADJACENT PROPERTY LINES	---
BUILDING RESTRICTION LINES	---
EX. ROAD CENTERLINE	---
EX. EASEMENT	---
EX. TREELINE	---
EX. BUILDING	▨ EX. SHED
EX. SWALE	---
EX. TRAVEL LANE STRIPING	---
EX. UTILITY POLES	⊕
WELL	⊙
SOIL TEST BORING	⊗
CONCRETE MONUMENT FOUND	■
IRON PIPE FOUND	●
REBAR SET	•
MAG NAIL SET IN CHERRY TREE	▲

**LOT LINE TABLE**

LINE	BEARING	DISTANCE
L1	S 53° 49' 47" W	21.63
L2	N 53° 49' 47" E	7.68
L3	S 53° 49' 45" W	5.00
L4	S 36° 47' 32" E	75.56
L5	N 56° 57' 00" E	10.02
L6	S 36° 47' 32" E	75.01
L7	S 53° 49' 45" W	10.00
L8	S 53° 49' 45" W	15.00

**WATERLINE EASEMENT LINE TABLE**

LINE	BEARING	DISTANCE
E1	N 56° 57' 00" E	15.03
E2	S 36° 47' 32" E	60.83
E3	S 53° 49' 45" W	15.00
E4	S 36° 10' 13" E	239.58
E5	N 37° 31' 58" E	15.63

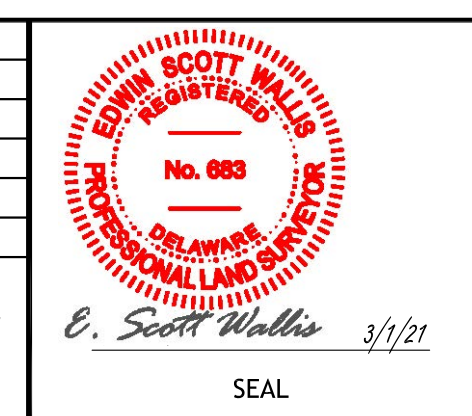
REV	DESCRIPTION OF REVISION	REVISED BY/DATE	CHECKED BY/DATE

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF AND APPURTENANT.

TAX MAP: 433-7.00-10.00

ENGINEER:  
DESIGNER: ESW  
DRAFTER: ESW  
CHECKED BY:  
DATE: 1-28-21  
SCALE: 1"=50'

**WARNING**  
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE

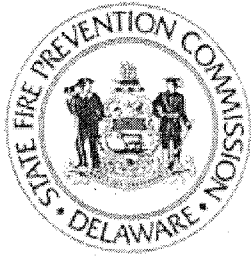


**AE AXIOM ENGINEERING**  
18 CHESTNUT STREET  
GEORGETOWN, DE 19947  
(302) 855-0810  
FAX: 855-0812  
EMAIL: AXIOM@AXIOMENGINEERING.COM  
WEB: WWW.AXIOMENGINEERING.COM

**MINOR SUBDIVISION PLAN**  
LANDS OF  
**FLOYD D. HIGEL**  
31048 ARMORY ROAD  
DAGSBORO HUNDRED, SUSSEX COUNTY, DE.

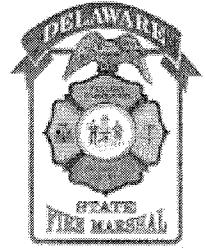
PROJECT NO: 0530-2001  
DRAWING: MS  
SHEET: 1 OF 1





**OFFICE OF THE STATE FIRE MARSHAL  
Technical Services**

22705 Park Avenue  
Georgetown, DE 19947



**SFMO PERMIT**

**Plan Review Number:** 2021-04-206228-MIS-01

**Tax Parcel Number:** 230-19.300-111.00

**Status:** Approved as Submitted

**Date:** 03/03/2021

<b>Project</b>	
Windmill Lane Trinity Commercial Holdings Property	11663 Windmill Lane Lincoln DE 19960

<b>Scope of Project</b>	
<b>Number of Stories:</b> <b>Square Footage:</b> <b>Construction Class:</b> <b>Fire District:</b> 75 - Ellendale Volunteer Fire Co Inc.	<b>Occupant Load Inside:</b> <b>Occupancy Code:</b> 9794

<b>Applicant</b>
Alan Decktor 18072 Davidson Drive Milton, DE 19968

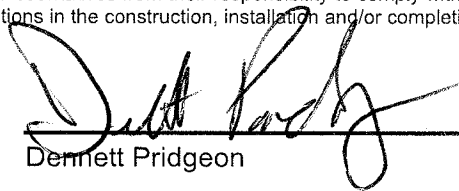
This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:



\_\_\_\_\_  
Dennett Pridgeon

## FIRE PROTECTION PLAN REVIEW COMMENTS

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**Plan Review Number:** 2021-04-206228-MIS-01

**Tax Parcel Number:** 230-19.300-111.00

**Status:** Approved as Submitted

**Date:** 03/03/2021

### PROJECT COMMENTS

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**1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at [www.statefiremarshal.delaware.gov](http://www.statefiremarshal.delaware.gov). These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.

**1014 A** Per Fire Flow Table 1, the following occupancies: Storage, Industrial, and Mercantile Shall not exceed 5,000 aggregate gross square footage; and Shall have a minimum setback of 15' from all property lines and 15' setback from exposure hazards on the same property; OR Shall not exceed 10,000 aggregate square footage; and Shall have a minimum setback of 25' from all property lines and 15' setback from exposure hazards on the same property.

**2710 A** The following items will be field verified by this Agency at the time of final inspection:

**1408 A** All premises where emergency personnel may be called upon to provide emergency services, which are not readily accessible from streets, shall be provided with suitable gates, access roads, and fire lanes so that all buildings on the premises are accessible to emergency apparatus. (DSFPR Regulation 705, Chapter 5, Section 2).

**1171 A** Any dead end road more than 300 feet in length shall be provided with a turn around or cul-de-sac arranged such that emergency apparatus will be able to turn around by making not more than one backing maneuver. Any turn-arounds and cul-de-sacs shall be designed in accordance with DSFPR Regulation 705, Chapter 2, Sections 2.3, 2.3.1, and 2.3.

**1091 A** Emergency Services Access to buildings shall comply with DSFPR Regulation 705, Chapter 5, Section 3.0.

**1092 A** Perimeter Access is that portion of the building that is accessible by emergency



services personnel and is within 100 feet of a street and capable of supporting fire ground operations. (DSFPR Regulation 705, Chapter 5, Section 1.4.1). Perimeter Access minimum width shall be 15 feet measured from the face of the building at grade with a maximum slope of ten percent (10%). Plantings and utility services (includes condenser units, transformers, etc.) shall be permitted within the perimeter access, provided they do not interfere with the emergency services fire ground operations. (DSFPR Regulation 705, Chapter 5, Sections 3.5 and 4.5). If a physical barrier (fence, pond, steep slope, etc) prevents access, that portion of the building perimeter shall not be included in the calculation of Percent of Perimeter Access. (DSFPR Regulation 705, Chapter 5, Sections 3.5.1 and 4.5.1).

**1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.

**1190 A** Separate plan submittal is required for the building(s) proposed for this project.

SUBMITTAL AND REVIEW REQUIRED FOR ANY NEW BUILDINGS, ADDITIONS, OR RENOVATION OF EXISTING STRUCTURES.

**2500 A** A final inspection is required for this project prior to occupancy (DSFPR Part I, Section 4-7). Contact this Agency to schedule this inspection. Please have the plan review number available. A MINIMUM OF FIVE (5) WORKING DAYS NOTICE IS REQUIRED.





STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

NICOLE MAJESKI  
SECRETARY

February 25, 2021

Mr. Jamie Whitehouse, Director  
Sussex County Planning & Zoning Commission  
Sussex County Administration Building  
P.O. Box 417  
Georgetown, Delaware 19947

**SUBJECT: Minor Subdivision - Letter of No Objection to Recordation**  
**11663 Windmill Lane Minor Subdivision**  
Tax Parcel # 230-19.00-111.00  
SCR00224-FLEATOWN ROAD  
SCR00213-OLD STATE ROAD  
Cedar Creek Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Minor Subdivision Plan dated January 14, 2021 (last revised February 18, 2021), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawing. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Minor Subdivision Plan is not recorded and/or an entrance permit is not issued for the lot(s) prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

Entrances(s) must be installed prior to the sale of the lot(s). All entrances shall conform to DelDOT's [Development Coordination Manual](#) and shall be subject to its approval. **This letter does not authorize the commencement of entrance construction.**

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards.





11663 Windmill Lane Minor Subdivision  
Mr. Jamie Whitehouse  
Page 2  
February 25, 2021

Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

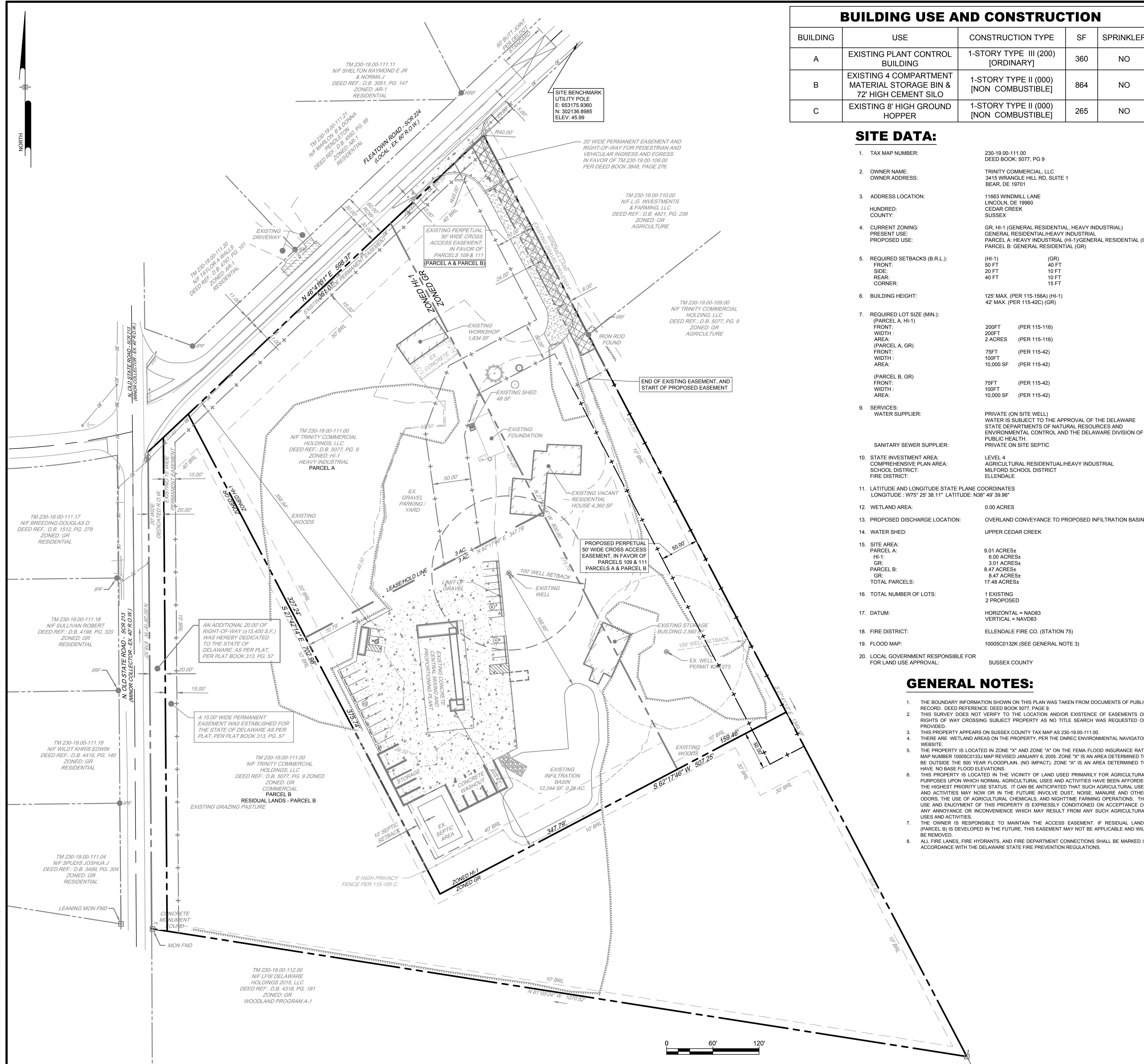
The owner shall be responsible to submit a copy of the **recorded Minor Subdivision Plan** showing all appropriate signatures, seals, plot book and page number to the South District Public Works office (302) 853-1341 in order to obtain the entrance permit(s) for the proposed minor subdivision.

Sincerely,



Richard McCabe  
Sussex County Review Coordinator  
Development Coordination

cc: Alan Decktor, Pennoni Associates, Inc.  
Rusty Warrington, Sussex County Planning & Zoning  
Jessica L. Watson, Sussex Conservation District  
Matt Schlitter, South District Public Works Engineer  
James Argo, South District Project Reviewer  
William Kirsch, South District Entrance Permit Supervisor  
Shannon Anderson, South District Public Work Admin Specialist  
Wendy L. Polasko, Subdivision Engineer  
Derek Sapp, Subdivision Manager, Development Coordination



### BUILDING USE AND CONSTRUCTION

BUILDING	USE	CONSTRUCTION TYPE	SF	SPRINKLER
A	EXISTING PLANT CONTROL BUILDING	1-STORY TYPE III (200) [ORDINARY]	360	NO
B	EXISTING 4 COMPARTMENT MATERIAL STORAGE BIN & 72' HIGH CEMENT SILO	1-STORY TYPE II (000) [NON COMBUSTIBLE]	864	NO
C	EXISTING 8' HIGH GROUND HOPPER	1-STORY TYPE II (000) [NON COMBUSTIBLE]	265	NO

#### SITE DATA:

- TAX MAP NUMBER: 230-19-00-111.00 DEED BOOK: 5077, PG 9
- OWNER NAME: TRINITY COMMERCIAL LLC  
OWNER ADDRESS: 3415 WRANGLE HILL RD, SUITE 1 BEAR, DE 19701
- ADDRESS LOCATION: 11663 WINDMILL LANE LINCOLN, DE 19960  
HUNDRED: CEDAR CREEK  
COUNTY: SUSSEX
- CURRENT ZONING: GR, HI-1 (GENERAL RESIDENTIAL HEAVY INDUSTRIAL)  
PRESENT USE: GENERAL RESIDENTIAL/HEAVY INDUSTRIAL  
PROPOSED USE: PARCEL A: HEAVY INDUSTRIAL (HI-1) GENERAL RESIDENTIAL (GR) PARCEL B: GENERAL RESIDENTIAL (GR)
- REQUIRED SETBACKS (B.R.L.):  
FRONT: (HI-1) 50 FT (GR) 40 FT  
SIDE: 20 FT 10 FT  
REAR: 40 FT 10 FT  
CORNER: 15 FT
- BUILDING HEIGHT: 125' MAX. (PER 115-156A) (HI-1)  
42' MAX. (PER 115-42C) (GR)
- REQUIRED LOT SIZE (MIN.):  
(PARCEL A, HI-1)  
FRONT: 200 FT (PER 115-116)  
WIDTH: 200 FT (PER 115-116)  
AREA: 2 ACRES (PER 115-116)  
(PARCEL A, GR)  
FRONT: 75 FT (PER 115-42)  
WIDTH: 100 FT (PER 115-42)  
AREA: 10,000 SF (PER 115-42)  
(PARCEL B, GR)  
FRONT: 75 FT (PER 115-42)  
WIDTH: 100 FT (PER 115-42)  
AREA: 10,000 SF (PER 115-42)
- SERVICES:  
WATER SUPPLIER: PRIVATE (ON SITE WELL)  
WATER IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENTS OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DIVISION OF PUBLIC HEALTH.  
PRIVATE ON SITE SEPTIC  
SANITARY SEWER SUPPLIER: PRIVATE ON SITE SEPTIC
- STATE INVESTMENT AREA: LEVEL 4  
COMPREHENSIVE PLAN AREA: AGRICULTURAL/RESIDENTIAL/HEAVY INDUSTRIAL  
SCHOOL DISTRICT: MILFORD SCHOOL DISTRICT  
FIRE DISTRICT: ELLENDALE
- LATITUDE AND LONGITUDE STATE PLANE COORDINATES  
LONGITUDE: W75° 25' 38.11" LATITUDE: N38° 49' 39.96"
- WETLAND AREA: 0.00 ACRES
- PROPOSED DISCHARGE LOCATION: OVERLAND CONVEYANCE TO PROPOSED INFILTRATION BASIN
- WATER SHED: UPPER CEDAR CREEK
- SITE AREA:  
PARCEL A: HI-1: 9.01 ACRES±  
6.00 ACRES±  
GR: 3.01 ACRES±  
PARCEL B: GR: 8.47 ACRES±  
TOTAL PARCELS: 17.48 ACRES±
- TOTAL NUMBER OF LOTS: 1 EXISTING  
2 PROPOSED
- DATUM: HORIZONTAL = NAD83  
VERTICAL = NAD83
- FIRE DISTRICT: ELLENDALE FIRE CO. (STATION 75)
- FLOOD MAP: 10005C0132K (SEE GENERAL NOTE 3)
- LOCAL GOVERNMENT RESPONSIBLE FOR FOR LAND USE APPROVAL: SUSSEX COUNTY

#### GENERAL NOTES:

- THE BOUNDARY INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD. DEED REFERENCE: DEED BOOK 8077, PAGE 9.
- THIS SURVEY DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHTS OF WAY CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS REQUESTED OR PROVIDED.
- THERE ARE WETLAND AREAS ON THE PROPERTY, PER THE DNREC ENVIRONMENTAL NAVIGATOR WEBSITE.
- THE PROPERTY IS LOCATED IN ZONE "X" AND ZONE "A" ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 10005C01333 MAP REVISED JANUARY 6, 2005. ZONE "X" IS AN AREA DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN (NO IMPACT). ZONE "A" IS AN AREA DETERMINED TO HAVE NO BASE FLOOD ELEVATIONS.
- THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES UPON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE DUST, NOISE, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS, AND NIGHTTIME FARMING OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE ON ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM ANY SUCH AGRICULTURAL USES AND ACTIVITIES.
- THE OWNER IS RESPONSIBLE TO MAINTAIN THE ACCESS EASEMENT, IF RESIDUAL LANDS (PARCEL B) IS DEVELOPED IN THE FUTURE, THIS EASEMENT MAY NOT BE APPLICABLE AND WILL BE REMOVED.
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.

#### DELDOT NOTES:

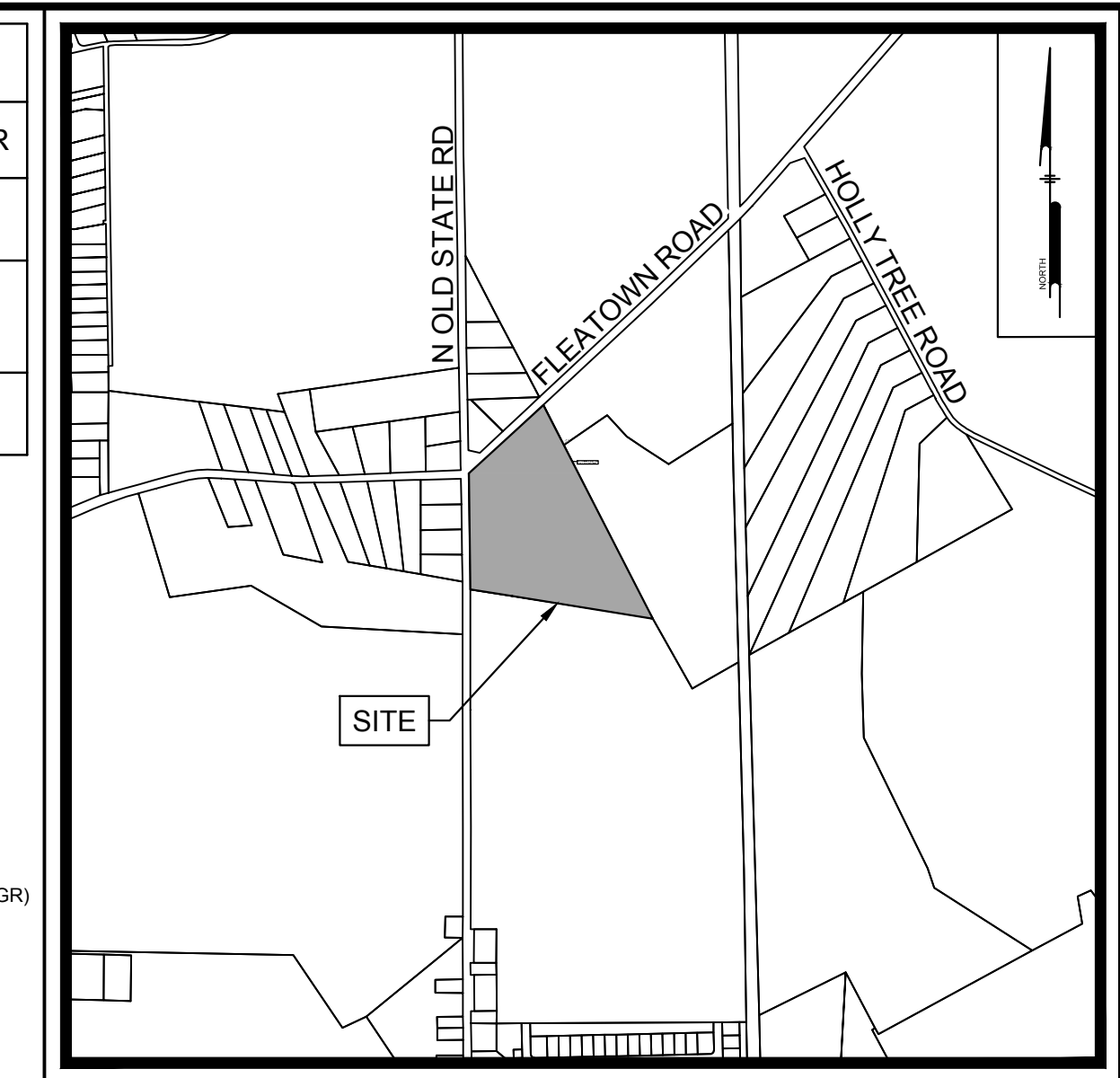
- ALL ENTRANCES SHALL CONFORM TO DELDOTS DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- LOT 230-19-00-111.00 PARCEL A AND PARCEL B SHALL HAVE ACCESS TO SCR24 VIA THE EXISTING AND PROPOSED 50-FOOT WIDE INGRESS/EGRESS EASEMENT.

**ENGINEER CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE. THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE COMPLIES WITH APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SIGNATURE: ALAN DECKTOR, PE (DE PE#17771) DATE: \_\_\_\_\_  
TRINITY COMMERCIAL LLC  
3415 WRANGLE HILL ROAD  
BEAR, DE 19701  
(302)-393-3189

**OWNER/DEVELOPER CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE: JOHN T. HOOVER DATE: \_\_\_\_\_  
TRINITY COMMERCIAL LLC  
3415 WRANGLE HILL ROAD  
BEAR, DE 19701  
(302)-393-3189



LOCATION MAP  
Scale: 1" = 1000'

#### LEGEND

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	BUILDING / EQUIPMENT
[Symbol]	[Symbol]	FULL DEPTH PAVEMENT
[Symbol]	[Symbol]	HEAVY DUTY CONCRETE
[Symbol]	[Symbol]	GRAVEL ACCESS WAY
[Symbol]	[Symbol]	CURB
[Symbol]	[Symbol]	EDGE OF PAVEMENT
[Symbol]	[Symbol]	EDGE OF GRAVEL
[Symbol]	[Symbol]	EASEMENT
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	POWER, UTILITY POLE
[Symbol]	[Symbol]	POWER, LIGHT
[Symbol]	[Symbol]	PROPERTY, LINE
[Symbol]	[Symbol]	ZONING, LINE
[Symbol]	[Symbol]	TENANT LEASE HOLD LINE
[Symbol]	[Symbol]	LEGAL RIGHT-OF-WAY
[Symbol]	[Symbol]	PROPERTY, CORNER FOUND
[Symbol]	[Symbol]	PROPERTY, ADJOINING LINED
[Symbol]	[Symbol]	SITE, MAIL BOX
[Symbol]	[Symbol]	SITE, TRAFFIC SIGN
[Symbol]	[Symbol]	STORM SEWER, INLET
[Symbol]	[Symbol]	STORM SEWER, HEADWALL
[Symbol]	[Symbol]	STORM SEWER, MANHOLE
[Symbol]	[Symbol]	STORM SEWER, UNDERGROUND
[Symbol]	[Symbol]	WOODS LINE

**PENNONI ASSOCIATES INC.**  
18072 Davidson Drive  
Milton, DE 19968  
T 302.684.9030 F 302.684.8054

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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

11663 WINDMILL LANE  
TM: 230-19-00-111.00  
11671 FLEATOWN ROAD  
LINCOLN, DE 19860

**MINOR SUBDIVISION PLAN**

TRINITY COMMERCIAL, LLC  
3415 WRANGLE HILL RD, SUITE 1  
BEAR, DE 19701

NO.	DATE	REVISIONS	BY
1	2021-02-18	REVISED PER AGENCY COMMENTS	LFS

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PROJECT: TRNTY21001  
DATE: JANUARY 14, 2021  
DRAWING SCALE: 1"=60'  
DRAWN BY: LFS  
APPROVED BY: AMD

# V-0201

SHEET 1 OF 1