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**Sussex County**

DELAWARE  
sussexcountyde.gov

## PLEASE NOTE

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COUNTY ADMINISTRATIVE OFFICES  
2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DELAWARE



## Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, AICP, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager; Lauren DeVore, Planner III; Michael Lowrey, Planner III; Chase Phillips, Planner II; Christin Scott, Planner I; Elliott Young, Planner I & Jesse Lindenberg, Planner I  
CC: Vince Robertson, Assistant County Attorney

Date: April 5<sup>th</sup>, 2022

RE: Other Business for the April 14<sup>th</sup>, 2022 Planning Commission Meeting

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This memo provides background for the Planning Commission to consider as a part of the Other Business to be reviewed during the April 14<sup>th</sup>, 2022 Meeting of the Planning & Zoning Commission.

### **(2021-27) Lands of Borders**

BW

Final Subdivision Plan

This is a Final Subdivision Plan for the Lands of Borders Major subdivision of a 9.283 acre +/- parcel of land into two (2) including residual land, to be located on the east side of Herons Crossing. The Final Subdivision Plan complies with the Sussex County Zoning and Subdivision code and all Conditions of Approval. Tax Parcel: 531-7.00-1.00. Zoning District: MR (Medium Residential) Zoning District. Staff are in receipt of all agency approvals.

### **Verizon Cell Tower DOV Horse Island**

KS

Revised Final Site Plan

This is a Revised Final Site Plan for the construction of a 150-foot cellular communications monopole to be constructed within a compound that includes a 6-foot safety fence. This project received a Special Use Exception from the Board of Adjustments at their meeting of November 1<sup>st</sup>, 2021. The monopole will be an addition to a site with existing improvements. The Revised Final Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 234-18.00-26.00. Zoning District: AR-1 (Agricultural Residential) Zoning District. Staff are awaiting one outstanding agency approval which will be from the Office of the State Fire Marshal.

### **Long Neck Back Bay Center**

KS

Revised Final Site Plan

This is a Revised Final Site Plan for conversion of a 15' X 50' loading space into outdoor seating for a restaurant. The 750 square foot area was previously approved as a loading space on the Final Site Plan that was previously approved for the construction of the existing 9,955 square foot retail space. Because no other formal loading space is proposed, the applicant has requested that this Revised Final Site Plan be waived from the loading space requirement that is listed under Section 115-167 of the Sussex County Code. Otherwise, the Revised Final Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 234-29.00-235.01. Zoning District: C-1 (General Commercial) Zoning District. Staff are awaiting agency approvals.



**Blessing Greenhouses & Compost Facility, Inc**

KS

Preliminary Site Plan

This is a Preliminary Site Plan for the construction of multiple structures relating to the greenhouse and composting operations of Blessing Greenhouse & Compost Facilities, Inc. The 31.95 acre +/- site currently hosts greenhouse structures totaling  $\approx$  25,000 square feet and various concrete slabs totaling  $\approx$  100,000 square feet. The plan proposes phased improvements of five (5) structures totaling 143,179 square feet, a 23,270 square foot elevated filtration pad, and paved interior parking and circulation with a net development area totaling 25 acres +/- . This site plan includes improvements associated with Conditional Use (CU 2071), approved by Sussex County Council at their meeting on August 8<sup>th</sup>, 2017 via Ordinance No. 2514. The plan consists of three (3) phases and the proposed uses include greenhouse operations, composting, soil blending, bagging of poultry by-products, potting of soils for trucking, and wholesale distribution. The plan proposes the provision of eighteen (18) parking spaces and designated loading areas adjacent to each proposed building. Additionally, the plan includes a twenty-five (25) foot wide landscaped buffer along both the frontage on Draper Road as well as all portions of the proposed development area which are not wooded areas. Zoning: AR-1 (Agricultural Residential). Tax Parcel: 230-15.00-34.00 & P/O 230-15.00-35.00. Staff are awaiting agency approvals.

**S-21-41 Ocean Park**

KS

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for the construction of three (3) commercial buildings to include 37,700 square feet of office space and 7,700 square feet of restaurant space, with . The parcels total 5.482 acres +/- and are located on the southwest corner of the intersection of Cedar Grove Road (S.C.R. 283) and Plantations Road (S.C.R. 275). The applicant requests relief to allow parking in the front yard setback. The applicant has also indicated that the two parcels will be combined prior to submission of the Final Site Plan. The Revised Preliminary Site Plan Complies with the Sussex County Zoning Code and all conditions of approval. Tax Parcels: 334-12.00-50.00, 334-12.00-51.00. Zoning District: AR-1 (Agricultural Residential) Zoning District and C-2 (General Commercial) Zoning District. Staff are awaiting agency approvals.

**S-22-07 The Cottages of Rehoboth**

KS

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for the creation of five (5) single family detached condos to include three (3) 960 square feet dwellings and two (2) 1,116 square feet dwellings, parking, and other site improvements. The parcels consist of 0.544 acres +/- and are located on the northwest side of Rehoboth Avenue Ext. (Rt. 1A). The applicant requests relief to allow parking in the front yard setback. Otherwise, the Revised Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcels: 334-13.20-108.00 & 109.00. Zoning District: C-1 (General Commercial) Zoning District. Staff are awaiting agency approvals.

**S-22-08 Bethany Bay Brewing Co.**

HW

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for an existing site to be used as a microbrewery. The project consists of interior remodel of the existing building and the addition of a 48-ft by 26-ft crushed gravel fenced in area for outdoor use. CU 2282 was approved by the Sussex County Council at their meeting of Tuesday, February 1, 2022 through Ordinance No. 2828. The parcel consists of 2.53 acres +/- and is located on the southeast corner of the intersection of Cedar Neck Road (S.C.R. 357) and Hickman

Road (S.C.R. 359). The applicant requests relief to allow parking in the front yard setback. Otherwise, the Revised Preliminary Site Plan complies with the Sussex County Zoning Code and all conditions of approval. Tax Parcel: 134-9.00-27.00. Zoning District: C-1 (General Commercial) Zoning District. Staff are awaiting agency approvals.

**Lands of Michael & Lori Short**

KH

Minor off of a 50-ft easement

This is a Minor Subdivision Plan for the subdivision of a 82.19 acre +/- parcel of land into two(2) lots plus residual lands with two existing lots to be reconfigured and reassembled (shown on the plans as Lot numbers 1 and 2.) The Lots will have access off of the existing Fernwood Lane via an existing 60-ft wide right-of-way (ROW). Proposed and reconfigured Lot 1 consists of 5.625 acres +/-, proposed and reconfigured Lot 2 consists of 11.88 acres+/-, proposed Lot 3 consists of 9.76 acres +/- and proposed Lot 4 consists of 9.76 acres +/- with the residual lands consisting of 47.82 acres+/- . The properties are located on the east side of Airport Road (S.C.R. 494). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 432-7.00-25.12. Zoning: AR-1 (Agricultural Residential District). Staff are awaiting agency approvals.

**(2020-11) Cardinal Grove Amenities Plan**

HW

Preliminary Amenities Site Plan

This is a Preliminary Amenities Plan for Cardinal Grove for the construction of a proposed 325 square foot clubhouse, a 4,280 square foot in-ground pool and other site improvements to be located on the north side of Safflower way, a private street within the Cardinal Grove Subdivision. The Preliminary Amenities Plan complies with the Sussex County Zoning and Subdivision Code. Tax Parcel: 234-2.00-1.13. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are in receipt of all agency approvals.

**Lands of O'Neill and Krause**

HW

Minor Subdivision off a 50-foot easement

This is a Minor Subdivision Plan for the subdivision of a 22.00 acre +/- parcel of land into (2) lots and residual lands off a proposed 50-foot ingress/egress easement. Proposed Lot 1 consists of 1.596 acres +/-, Lot 2 consists of 1.759 acres +/- and the residual lands consist of 19.323 acres +/- . The property is located on the southwest side of Deep Branch Road (S.C.R. 315). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Zoning: AR-1 (Agricultural Residential District). Tax Parcel: 234-14.00-14.02. Staff are receipt of all agency approvals.

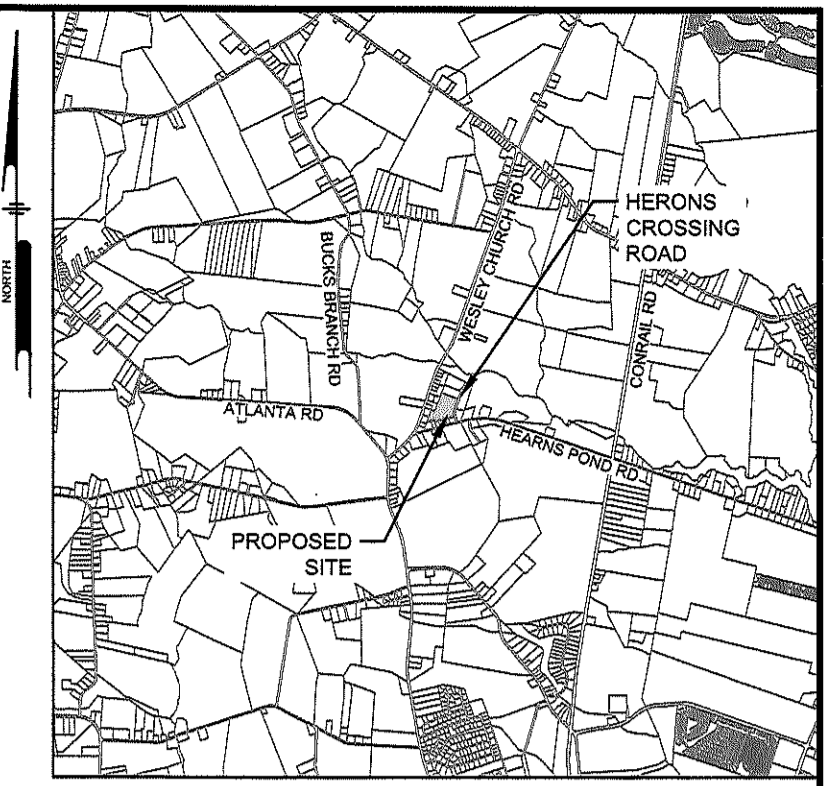
# LANDS OF BORDERS SUBDIVISION

SUSSEX COUNTY PROJECT REFERENCE # 2021-27

## CONDITIONS OF APPROVAL:

CONDITIONS OF APPROVAL AS PROVIDED AT THE PLANNING & ZONING COMMISSION'S MEETING OF FEBRUARY 17, 2022.

1. THERE SHALL BE NO MORE THAN TWO (2) LOTS PERMITTED, ANY FURTHER SUBDIVISION WILL REQUIRE THE APPROVAL OF THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.
2. THIS PRELIMINARY APPROVAL IS CONTINGENT UPON THE APPLICANT PROVIDING A REVISED PRELIMINARY SITE PLAN STATING THE CONDITION OF APPROVAL.
3. THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.



LOCATION MAP  
SCALE: 1" = 1 MILE

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CORD DIST.	CORD BEARING
C1	218.21'	404.64'	030°53'53"	215.57'	S00°49'17"E

## NOTES

1. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE LOT THREE AS SHOWN ON PLOT BOOK 111, PAGE 112 IN THE SUSSEX COUNTY RECORDER OF DEEDS CREATING ONE ADDITIONAL LOT FRONTING HERONS CROSSING ROAD, A PRIVATELY OWNED AND MAINTAINED STREET.
2. PROPERTY REFERENCES: PLOT BOOK 111, PAGE 112, AND DEED BOOK 807 PAGE 335
3. SURVEY CLASS: SUBURBAN
4. HORIZONTAL DATUM: NAD83 - DELAWARE STATE PLANE
5. THIS BOUNDARY SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMPLETE TITLE REPORT AND IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS AND/OR RIGHTS OR WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH.
6. ACCESS TO THE PROPOSED LOT 3A AND THE REMAINING LOT 3 LANDS SHALL BE FROM HERONS CROSSING, A PRIVATELY MAINTAINED 50' WIDE ROW.
7. MAINTENANCE OF HERONS CROSSING SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS OF THIS SUBDIVISION, LOTS 1, 2, 3, 3A, AND 4.
8. THE PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE, AND OTHER ODORS, THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
9. IF EXISTING ENTRANCES ARE ALTERED, THEY SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL. NO CONSTRUCTION SHALL OCCUR IN THE RIGHT-OF-WAY WITHOUT A DELDOT PERMIT.
10. THE SITE IS NOT IMPACTED BY ANY WELL HEAD PROTECTION AREA AS MAPPED BY THE DNREC ENVIRONMENTAL NAVIGATOR.
11. A PORTION OF THE SITE IS LOCATED IN AN EXCELLENT RECHARGE AREA PER THE DNREC ENVIRONMENTAL NAVIGATOR.

## SITE DATA

- |  |  |
|--|--|
| 1. TAX PARCEL NUMBER   | 531-7.00-1.00  |
| 2. EXISTING / PROPOSED ZONING  | MEDIUM RESIDENTIAL (MR)  |
| 3. EXISTING LOTS   | 4  |
| 4. PROPOSED LOTS   | 1 (5 TOTAL)  |
| 5. BUILDING SETBACKS   | FRONT YARD: 40-FEET<br>SIDE YARD: 10-FEET<br>REAR YARD: 10-FEET                              |
| 6. LOT AREA PRIOR TO SUBDIVISION   | 9.283 ACRES (GROSS PROPERTY AREA)  |
| 7. AREA WITHIN PROPOSED STREETS  | 0.000 ACRES  |
| 8. PROPOSED DENSITY  | 0.215 LOTS / ACRES OR 4.842 ACRES / LOT  |
| 9. WETLAND AREA  | 0.000 ACRES  |
| 10. WATER & SEWER SERVICE  | PRIVATE - ON-SITE WELL AND SEPTIC  |
| 11. FLOODPLAIN - THIS SITE IS NOT IMPACTED BY THE 100-YEAR FLOODPLAIN PER FEMA MAP PANEL NUMBERS 10005C0250L, EFFECTIVE DATE: JUNE 20, 2018, AND 10005C0245L, EFFECTIVE DATE: JUNE 20, 2018. |  |
| 12. PRESENT USE  | AGRICULTURAL   |
| 13. PROPOSED USE   | AGRICULTURAL AND RESIDENTIAL   |
| 14. OWNER OF RECORD  | DOLORES S. BORDERS<br>21882 HERONS CROSSING RD<br>SEAFORD, DE 19973<br>PHONE: (302) 841-5002 |
| 15. PROXIMITY TO IDENTIFIED T.I.D.   | NOT WITHIN AN IDENTIFIED T.I.D.  |
| 16. POSTED SPEED LIMIT HEARNS POND RD  | 35 MPH   |
| 17. PROPERTY ADDRESS:  | 21800 HERONS CROSSING RD<br>SEAFORD, DE 19973  |

## ENGINEERS CERTIFICATION

IT IS HEREBY CERTIFIED THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVID HEATWOLE, P.E. (DE LICENSE NO. #17760) DATE \_\_\_\_\_  
19 COMMERCE STREET  
HARRINGTON, DE 19962

## OWNER(S) CERTIFICATION

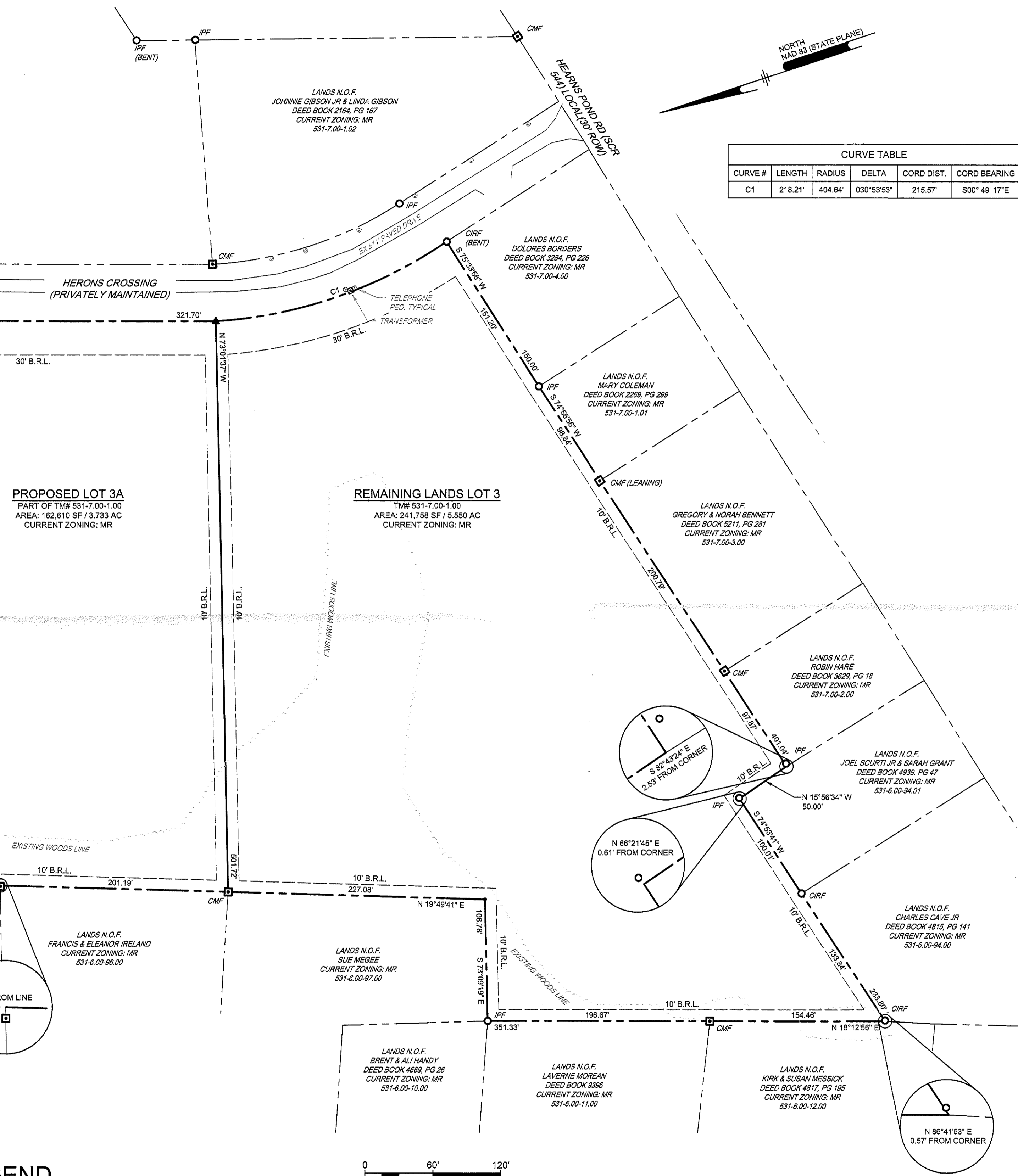
IT IS HEREBY CERTIFIED THAT I AM THE LEGAL OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

DOLORES S. BORDERS DATE \_\_\_\_\_  
21882 HERONS CROSSING RD.  
SEAFORD, DE 19973  
PHONE: (302) 841-5002

## WETLANDS STATEMENT

EASTERN SHORE SOIL SERVICES, INC. HAS CONDUCTED A FIELD REVIEW WITHIN THE BOUNDARIES OF THIS PLAT TO EVALUATE THE PRESENCE OR ABSENCE OF POTENTIAL STATE AND FEDERAL JURISDICTIONAL WETLANDS FOR THE PURPOSES OF DELAWARE WETLAND AND SUBAQUEOUS LAND REGULATIONS AND SECTION 404 OF THE CLEAN WATER ACT. EASTERN SHORE SOIL SERVICES' REVIEW WAS CONDUCTED IN GENERAL ACCORDANCE WITH THE TECHNIQUES AND CRITERIA PROVIDED IN THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL: ATLANTIC AND GULF COASTAL PLAIN REGION (VERSION 2.0), DATED NOVEMBER 2010. NO WETLANDS OR WATERWAYS WERE OBSERVED WITHIN THE BOUNDARIES OF THIS PLAT. NO STATE OR FEDERAL JURISDICTIONAL APPROVAL WAS OBTAINED FOR THIS PROPERTY.

BRADLEY J. CATE, CPSSo/SC DATE \_\_\_\_\_



LOT 4  
LANDS N.O.F.  
MATHEW BORDERS  
DEED BOOK 463, PG 185  
PLOT BOOK 337, PG 16  
CURRENT ZONING: MR  
531-7.00-1.05

LANDS N.O.F.  
RAYMOND BORDERS  
DEED BOOK 2455, PG 115  
CURRENT ZONING: MR  
531-7.00-1.06

LOT 1  
LANDS N.O.F.  
VINCENT & RACHEL BORDERS  
DEED BOOK 5303, PG 41  
CURRENT ZONING: MR  
531-7.00-1.03

PROPOSED LOT 3A  
PART OF T.M.# 531-7.00-1.00  
AREA: 162,810 SF / 3.733 AC  
CURRENT ZONING: MR

REMAINING LANDS LOT 3  
T.M.# 531-7.00-1.00  
AREA: 241,758 SF / 5.550 AC  
CURRENT ZONING: MR

LOT 2  
LANDS N.O.F.  
RAYMOND BORDERS  
DEED BOOK 4755, PG 285  
CURRENT ZONING: MR  
531-7.00-1.04

LANDS N.O.F.  
ROBERT & DIANE GEORGE  
DEED BOOK 2542, PG 201  
CURRENT ZONING: MR  
531-6.00-8.00

LANDS N.O.F.  
FRANCIS & ELEANOR IRELAND  
CURRENT ZONING: MR  
531-6.00-96.00

LANDS N.O.F.  
SUE MEGEE  
CURRENT ZONING: MR  
531-6.00-97.00

LANDS N.O.F.  
BRENT & ALI HANDY  
DEED BOOK 4665, PG 26  
CURRENT ZONING: MR  
531-6.00-10.00

LANDS N.O.F.  
LAVERNE MOREAN  
DEED BOOK 2396  
CURRENT ZONING: MR  
531-6.00-11.00

LANDS N.O.F.  
KIRK & SUSAN MESSICK  
DEED BOOK 4817, PG 185  
CURRENT ZONING: MR  
531-6.00-12.00

LANDS N.O.F.  
CHARLES CAVE JR.  
DEED BOOK 4915, PG 41  
CURRENT ZONING: MR  
531-6.00-94.00

LANDS N.O.F.  
JOEL SCURTI JR. & SARAH GRANT  
DEED BOOK 4939, PG 47  
CURRENT ZONING: MR  
531-6.00-94.01

LANDS N.O.F.  
ROBIN HARE  
DEED BOOK 3628, PG 18  
CURRENT ZONING: MR  
531-7.00-2.00

LANDS N.O.F.  
MARY COLEMAN  
DEED BOOK 2269, PG 289  
CURRENT ZONING: MR  
531-7.00-1.01

LANDS N.O.F.  
GREGORY & NORAH BENNETT  
DEED BOOK 5211, PG 281  
CURRENT ZONING: MR  
531-7.00-3.00

## FIRE MARSHAL NOTES

1. ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
2. MAXIMUM HEIGHT: 3 STORIES, NOT TO EXCEED 42 FEET
3. SINGLE FAMILY DWELLINGS ARE PROPOSED ON THE TWO SUBDIVIDED LOTS.
4. BUILDING CONSTRUCTION TYPE: NFPA TYPE I, WOOD FRAME.
5. AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THESE THE SINGLE FAMILY UNITS.
6. THERE ARE NO FIRE HYDRANTS WITHIN THE IMMEDIATE VICINITY OF THE PROJECT.

## LEGEND

- PIPE/REBAR FOUND ○
- POINT ●
- CONCRETE MONUMENT FOUND ◻
- CAPPED IRON PIPE TO BE SET ▲
- EX PROPERTY LINE ———
- PROP. PROPERTY LINE ———
- PROP. LINE ADJACENT - - - - -
- UTILITY POLE x
- FENCE x x x x

## DELDOT RECORD PLAN NOTES:

1. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
2. SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
3. ENTRANCES TO PRIVATE STREETS SERVING MULTIPLE RESIDENTIAL LOTS SHOULD BE PAVED, FROM THE EDGE OF THE TRAVEL LANE TO THE ROW LINE (AT A MINIMUM), WITH A DRIVEWAY THROAT WIDTH OF 16 TO 24 FEET. REFER TO DELDOT DCM SECTION 3.3.3

**SITENWORKS**  
**ENGINEERING**  
PO BOX 2, 19 COMMERCE ST., HARRINGTON, DE 19962 Phone: (302) 841-7901  
**SUBDIVISION PLAN**

**LANDS OF BORDERS SUBDIVISION**  
**TAX PARCEL NO. 531-7.00-1.00**  
**HERONS CROSSING DRIVE (PRIVATE)**  
**SEAFORD HUNDRED, SUSSEX COUNTY**

ISSUE / REVISION BLOCK  
8/10/21 - SUSSEX COUNTY P&Z  
9/14/21 - DELDOT  
9/14/21 - FIRE MARSHAL  
10/8/21 - SUSSEX COUNTY P&Z  
11/30/21 - DELDOT  
2/21/22 - SUSSEX COUNTY P&Z

SCALE PROJECT # DRAWN BY  
1" = 60' 2146-BORD DMH  
DRAWING NUMBER  
**1**  
SHEET 1 OF 1

**BEFORE THE BOARD OF ADJUSTMENT OF SUSSEX COUNTY**

**IN RE: (CELLCO PARTNERSHIP D/B/A VERIZON WIRELESS)**

**(Case No. 12624)**

A hearing was held after due notice on November 1, 2021. The Board members present were: Dr. Kevin Carson, Mr. Jeff Chorman, Mr. John T. Hastings, and Mr. John Williamson.

Nature of the Proceedings

This is an application for a special use exception to place a telecommunications tower.

Findings of Fact

The Board found that the Applicant seeks a special use exception to place a telecommunications tower. This application pertains to certain real property located on the west side of Camp Arrowhead Road approximately 1.2 miles south of Angola Road (911 Address: 23182 Camp Arrowhead Road, Lewes) said properties being identified as Sussex County Tax Map Parcel Number 2-34-18.00-26.00. After a public hearing, the Board made the following findings of fact:

1. The Board was given copies of the Application, a letter from John Tracey, Esquire, a portion of the tax map of the area, an aerial photograph of the Property, miscellaneous reports from Andrew Petersohn, Findings of Fact for Case No. 12226, a letter of support, and a site plan.
2. The Board found that the Office of Planning and Zoning received one letter in support of and no correspondence in opposition to the Application.
3. The Board found that Andrew Petersohn and Matthew Graubert were sworn in to give testimony about the Application. John Tracey, Esquire, presented the Application on behalf of the Applicant.
4. The Board found that Mr. Tracey stated that this special use exception was previously approved by the Board of Adjustment under Case No. 12226 but that, due to the Covid-19 pandemic, construction was delayed and the special use exception expired. He noted that a new application is being sought for the same relief.
5. The Board found that Mr. Tracey stated that the Property consists of approximately 12 acres of land across from West Bay and there is a lack of cellular coverage in this area.
6. The Board found that Mr. Tracey stated that this tower will fill a gap in service and neighbors want the tower in place.
7. The Board found that Mr. Tracey stated that there is another tower to the northwest but it is too far away to help the lack of service issue.
8. The Board found that Mr. Tracey stated that the tower will be 148 feet tall and will have lighting to comply with Sussex County Code. He also noted that the tower will be able to accommodate two additional carriers.
9. The Board found that Mr. Tracey stated that the tower will, in a worst case scenario, have RF emissions of less than 1.5% of the FCC limit.
10. The Board found that Mr. Tracey stated that the Property also serves as a maintenance yard for the West Bay Community and as a stormwater management area. Otherwise, he noted, this is mostly a residential area.
11. The Board found that Mr. Tracey stated that the tower will not cause any additional traffic as once it is constructed a technician will travel to the site approximately once every six weeks to make sure everything is functioning as it should.
12. The Board found that Mr. Tracey stated that there will not be noise or smells associated with the tower.

13. The Board found that Mr. Tracey stated that the use will not have a substantial adverse effect on neighboring and adjacent properties.
14. The Board found that Mr. Tracey stated that the pad site will be surrounded by a fence and that the tower will meet setback requirements.
15. The Board found that Mr. Graubart and Mr. Petersohn affirmed that the statements made by Mr. Tracey as true and correct.
16. The Board found that no one appeared in support of or opposition to the Application.
17. Based on the findings above and the testimony and evidence presented at the public hearing and the public record, which the Board found credible, persuasive, and un rebutted, the Board determined that the application met the standards for granting a special use exception because the telecommunication tower will not substantially affect adversely the uses of neighboring and adjacent properties. The findings below further support the Board's decision to approve the Application.
  - a. The Property is a parcel consisting of approximately 12.17 acres. This site is a large site and can easily accommodate the tower. The site is used as a stormwater management area and maintenance yard so the tower is consistent with those uses.
  - b. The Applicant demonstrated that the proposed tower will not emit any noise or smell and that the radio frequency emissions will be well below the maximum emissions permitted under federal regulations.
  - c. The proposed tower will fill a gap in coverage in the Applicant's cell phone service and should enhance the service in the areas around the tower which would benefit neighboring and adjacent properties.
  - d. The traffic related to the tower should be minimal as it will only require routine, periodic inspections.
  - e. No evidence was presented which would demonstrate that the tower would have a substantial adverse effect on neighboring and adjacent properties.
18. The Applicant also demonstrated that it met the requirements under Sussex County Code Section § 115-194.2 for a telecommunications tower. The Applicant submitted appropriate documentation demonstrating compliance with § 115-194.2.
  - a. The Applicant submitted documentation showing that existing structures within a two (2) mile radius of the Property were unavailable for collocation.
  - b. The Applicant substantiated a need for the tower on the Property. Testimony presented by the Applicant demonstrated that the proposed tower will help fill a gap and coverage which has arisen.
  - c. The Applicant demonstrated that the proposed tower will be designed to accommodate at least two (2) additional PCS / cellular platforms.
  - d. Pad sites, ground equipment structures, and guy wires shall be surrounded by a minimum six (6) feet tall fence as shown on the documentation submitted by the Applicant.
  - e. The Applicant demonstrated that the tower shall have warning lights which will meet all applicable requirements of the Federal Communications Commission and the Federal Aviation Administration

The Board granted the special use exception finding that it met the standards for granting a special use exception.

Decision of the Board

Upon motion duly made and seconded, the special use exception and variance was approved. The Board Members in favor were Dr. Kevin Carson, Mr. Jeffrey Chorman, Mr. Travis Hastings, and Mr. John Williamson. No Board Member voted against the Motion to approve the special use exception application. Mr. Jordan Warfel did not participate in the discussion or vote on this application.

BOARD OF ADJUSTMENT  
OF SUSSEX COUNTY



John Williamson  
Chair

If the use is not established within two (2) years from the date below the application becomes void.

Date January 24, 2022





SUSSEX CONSERVATION DISTRICT  
 23818 SHORTLY ROAD  
 GEORGETOWN, DE 19947

APPLICATION FOR STANDARD PLAN APPROVAL  
**NON-RESIDENTIAL CONSTRUCTION  
 WITH LESS THAN 1.0 ACRE DISTURBED**

Approval of this Standard Sediment and Stormwater Plan may be granted if all of the following criteria are met:

1. The disturbed area for construction of the improvements will not exceed 1.0 acre.
2. Within the disturbed area, the pre-development land use is not classified as "wooded" based on the 2007 Delaware Land Use/Land Cover data.
3. One of the following is met:
  - a. Project site location is within an area previously managed for stormwater quantity and quality under an approved Sediment and Stormwater Plan, AND the post construction condition meets the original stormwater design criteria, OR
  - b. Comparison of the existing parcel curve number (CN), based upon 2007 Delaware Land Use/Land Cover data to the proposed CN for the parcel after non-residential construction results in less than one whole number change in the CN, OR
  - c. No new impervious area is proposed as a result of construction.

**Site Information**

Project Name: DOV HORSE ISLAND  
 Site Location: CAMP ARROWHEAD ROAD, LEWES, DE 19958  
 Previous Plan Name: N/A  
 Tax Parcel ID: 234-18.00-26.00  
 Pre CN): 62.95 Post CN): 63.10

Parcel Total Acres (nearest 0.1ac): 10.66 ACRES  
 Disturbed Acres (nearest 0.1ac): 0.08 Acres  
 Proposed Impervious Area (square feet): 106 sf  
 Wooded area to be cleared: N/A

**Applicant Information**

Owner: REHOBOTH BEACH CONSERVANCY, LLC  
 Mailing Address: 1207 DELAWARE AVENUE  
WILMINGTON, DE 19806  
 Owner Phone: 302-593-6683

Applicant: CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS  
 Mailing Address: 512 TOWNSHIP LINE ROAD, BUILDING 2, FLOOR 3  
BLUE BELL, PA 19422  
 Applicant Phone: 610-213-8382

**Approval Information (for office use only)**

Approval # 2019-152 Fee Paid: \$ 500.00  
 Approved by: [Signature] Approval Date: 9/7/19  
 Title: Program Manager Expiration Date: 9/7/24

### Applicant Certification

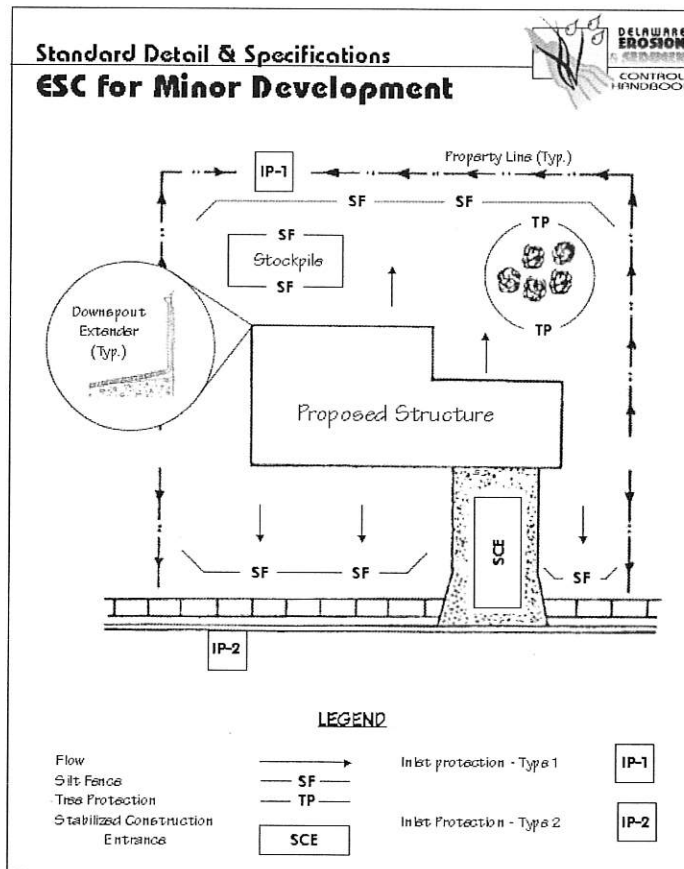
I, the undersigned, certify that the information supplied on this Application for Standard Plan Approval is accurate, the proposed land disturbing activity meets the criteria established, and all conditions of this Standard Plan Approval will be met by the applicant, builder, contractor, and owner during construction and post construction.

Applicant Signature: T. Gosnell Date: 12/11/2018

Applicant Printed Name: Tarra Gosnell, PE Title: Construction Manager, VZW

### Conditions

- Discharges from rooftops will be disconnected using one of the following methods or another method approved by the Department or Delegated Agency:
  - Individual downspouts will discharge to lawn or landscape area.
  - Discharges from downspouts will be collected to discharge to a rain garden.
  - Discharges from downspouts will be collected in rain barrels or cisterns for reuse.
- Driveways, sidewalks, patios, and other impervious surfaces will be graded to sheet flow to lawn or other pervious areas to the maximum extent practicable.
- Construction site stormwater management best management practices will be used. *Sample best management practices provided in the standard detail below.*



### Stabilization Conditions

- Following initial soil disturbance or redistribution, temporary or permanent stabilization with seed and mulch shall be completed within 14 calendar days to the surface of all disturbed areas not actively under construction.
- Specific stabilization recommendations may be found in the Delaware Erosion and Sediment Control Handbook, 3.4.3 Standard and Specifications for Vegetative Stabilization.



**STATE OF DELAWARE**  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

December 10, 2018

Ms. Janelle Cornwell, Director  
Sussex County Planning & Zoning Commission  
Sussex County Administration Building  
P.O. Box 417  
Georgetown, Delaware 19947

**SUBJECT: Letter of No Contention Approval**  
DOV Horse Island  
Tax Parcel # 234-18.00-26.00  
Camp Arrowhead Road (SCR279)  
Indian River Hundred, Sussex

Dear Ms. Cornwell:

The Delaware Department of Transportation (DelDOT) has reviewed a request, dated November 26, 2018 to obtain a Letter of No Contention (LONC) to use an existing commercial building and site entrance for the above referenced project, and has approved the request.

This determination is based on the project information as provided in the completed Permit Application, (See attached copy dated 11/26/2018) and verification of the requirements on the LONC approval checklist.

The following conditions are provided with this approval:

- 1) Site shall have access from the existing entrance located on Camp Arrowhead Road (SCR 279).
- 2) No entrance modifications or traffic pattern changes are proposed or authorized under this LONC approval.
- 3) DelDOT reserves the right to review, modify or revoke this LONC approval in the future if proposed activities create traffic conflicts, safety concerns or operational issues.
- 4) The property owner is responsible to:
  - a. Submit information to DelDOT, regarding any future operational or site changes, (including but not limited to: rezoning, site layout changes, changes in use, entrance modifications, expanded/additional uses, new uses, etc.). Changes of this nature may alter the flow and/or volume of traffic and could require a new LONC or formal review for Approvals and/or Permits.
  - b. Establish and maintain clear sight lines at the entrance. There shall be no placement of structures, signs, objects, items for sale or parking of vehicles within State right-of-way or entrance limits. Shrubbery, Plantings, trees and/or other visual barriers that could obstruct the sight distance of a driver preparing to enter the roadway are prohibited.

DOV Horse Island  
Ms. Janelle Cornwell  
Page 2  
December 10, 2018

- 5) The property owner and applicant are responsible to coordinate with DeIDOT Public Works Office at (302) 853-1340, for information on obtaining specific permits for sign installation on private property, and for utilities installation within State right-of-way. Permits for Utilities construction and sign installation require separate permit applications.

If the Department can be of any further assistance, please call me at (302) 760-2266.

Sincerely,



Steve Sisson  
Sussex County Subdivision Engineer,  
Development Coordination

cc: Tara Gosnell  
Rusty Warrington, Sussex County Planning & Zoning  
Gemez Norwood, South District Public Works Manager  
William Kirsch, South District Entrance Permit Supervisor  
Todd Sammons, Subdivision Engineer  
Derek Sapp, Sussex County Reviewer

# PROJECT NOTES

- SITE INFORMATION OBTAINED FROM THE FOLLOWING:
  - LIMITED FIELD OBSERVATIONS BY MASER CONSULTING ON 04/03/18.
  - A TOPOGRAPHIC SURVEY ENTITLED "CELL SITE SURVEY DOV HORSE ISLAND" PREPARED BY MASER CONSULTING OF MT. LAUREL, NJ LAST REVISED 06/05/18.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, LAWS AND REGULATIONS OF ALL MUNICIPALITIES, UTILITY COMPANIES OR OTHER PUBLIC/GOVERNING AUTHORITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, IN WRITING, OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE AS A RESULT OF CONSTRUCTION OF THIS FACILITY AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING THE BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND CONSTRUCTION DRAWINGS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THESE DRAWINGS MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
- SINCE THE CELL SITE MAY BE ACTIVE, ALL SAFETY PRECAUTIONS MUST BE TAKEN WHEN WORKING AROUND HIGH LEVELS OF ELECTROMAGNETIC RADIATION. EQUIPMENT SHOULD BE SHUT DOWN PRIOR TO PERFORMING ANY WORK THAT COULD EXPOSE THE WORKERS TO DANGER. PERSONAL RF EXPOSURE MONITORS ARE REQUIRED TO BE WORN TO ALERT OF ANY POTENTIALLY DANGEROUS EXPOSURE LEVELS.
- THE PROPOSED FACILITY WILL CAUSE AN INSIGNIFICANT OR "DE-MINIMUS" INCREASE IN STORM WATER RUNOFF. THEREFORE, NO DRAINAGE STRUCTURES ARE PROPOSED.
- NO NOISE, SMOKE, DUST OR ODOR WILL RESULT FROM THIS FACILITY AS TO CAUSE A NUISANCE.
- THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION (NO HANDICAP ACCESS IS REQUIRED).
- THE FACILITY DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
- CONTRACTOR SHALL VERIFY ANTENNA ELEVATION AND AZIMUTHS WITH RF ENGINEERING PRIOR TO INSTALLATION.
- THE TOWER, MOUNTS AND ANTENNAS SHALL BE DESIGNED TO MEET EIA/TIA-222-G AS PER IBC REQUIREMENTS.
- ALL STRUCTURAL ELEMENTS SHALL BE HOT DIPPED GALVANIZED STEEL.
- CONTRACTOR MUST FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
- CONSTRUCTION SHALL NOT COMMENCE UNTIL COMPLETION OF A PASSING STRUCTURAL ANALYSIS CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER. THE STRUCTURAL ANALYSIS IS TO BE PERFORMED BY OTHERS.

## Owner's Certification

I, the undersigned, certify that all land clearing, construction and development shall be done pursuant to the approved standard plan and that responsible personnel (i.e., Blue Card Holder) involved in the land disturbance will have a Certification of Training prior to initiation of the project, at a DNREC sponsored or approved training course for the control of erosion and sediment during construction. In addition, I grant the DNREC Sediment and Stormwater Program and/or the relevant Delegated Agency the right to conduct on-site reviews."

By: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_

## Owner's Certification

I hereby certify that I am the owner of the property described and shown on this plan and we consent to the plan's preparation. I acknowledge that the same to be my act and desire that the plan be recorded according to law.

By: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_

## Engineer's Certification

I, Michael P. Cleary, hereby certify that I am a registered Professional Engineer in the State of Delaware, that the information shown hereon has been prepared under my supervision and to my best knowledge and belief represents good engineering practices as required by the applicable laws of the State of Delaware.

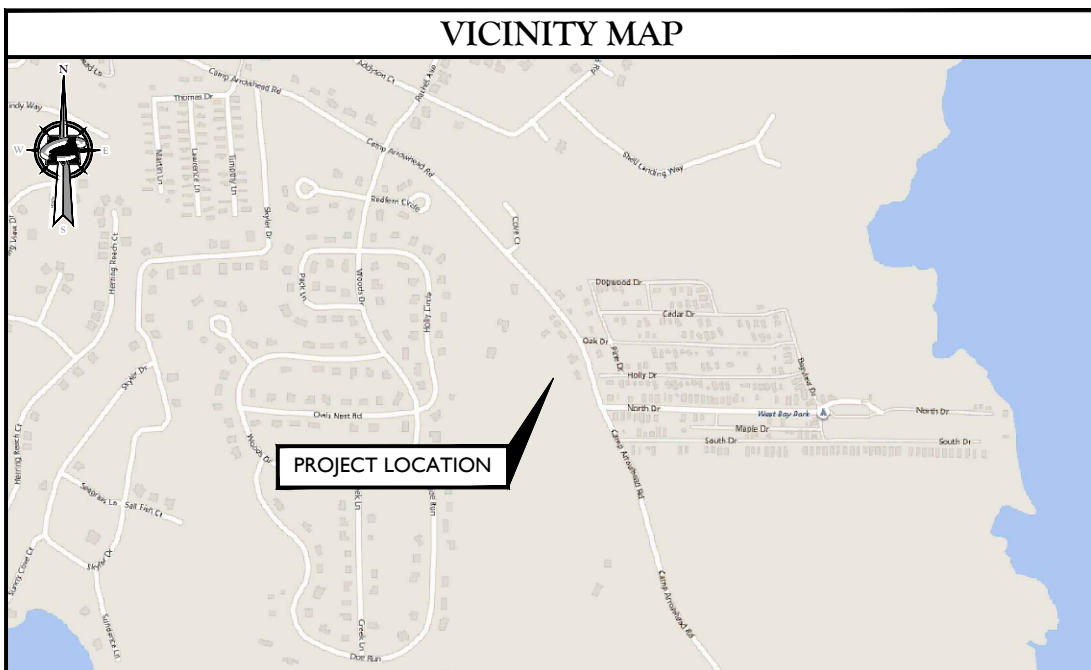
Date \_\_\_\_\_ Signature \_\_\_\_\_

Title \_\_\_\_\_



SITE NAME: DOV HORSE ISLAND

CAMP ARROWHEAD ROAD  
LEWES, DE 19958  
SUSSEX COUNTY



## PROJECT INFORMATION

### SITE INFORMATION

LATITUDE: N 39° 39' 47.2" (NAD 83)  
 LONGITUDE: W 75° 08' 39.7" (NAD 83)  
 GROUND ELEVATION: 31.8± AMSL (NAVD 88)  
 COUNTY: SUSSEX COUNTY  
 ZONING DISTRICT: AR-1 - AGRICULTURAL RESIDENTIAL  
 APN: 234-18.00-26.00  
 LOT SIZE: 10.659 ACRES

### APPLICANT

COMPANY: CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS  
 ADDRESS: 512 TOWNSHIP LINE ROAD, BUILDING 2, FLOOR 3  
 CITY, STATE, ZIP: BLUE BELL, PA 19422

### PROPERTY OWNER

COMPANY: REHOBOTH BEACH CONSERVANCY, LLC  
 ADDRESS: 1207 DELAWARE AVENUE  
 CITY, STATE, ZIP: WILMINGTON, DE 19806

### SITE ACQUISITION

COMPANY: WIRELESS ACCESS TECHNOLOGIES, INC  
 CONTACT: SUE MANCHEL  
 PHONE: (267) 253-2762

### CONSTRUCTION MANAGER

COMPANY: CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS  
 ADDRESS: 512 TOWNSHIP LINE ROAD, BUILDING 2, FLOOR 3  
 CITY, STATE, ZIP: BLUE BELL, PA 19422  
 CONTACT: TARRA GOSNELL  
 PHONE: (610) 213-8328

### ENGINEER

COMPANY: MASER CONSULTING  
 ADDRESS: 2000 MIDLANTIC DRIVE, SUITE 100  
 CITY, STATE, ZIP: MT. LAUREL, NJ 08054  
 CONTACT: MATT GRAUBART, P.E.  
 PHONE: (856) 797-0412  
 E-MAIL: MATTHEW.GRAUBART@COLLIERENGINEERING.COM

## LOCATION INFORMATION

### POWER PROVIDER:

NAME: DELAWARE ELECTRIC COOPERATIVE  
 PHONE: (855) 332-9090

### TELEPHONE PROVIDER:

NAME: VERIZON  
 PHONE: 1-(800) VERIZON

### POLICE:

NAME: DELAWARE STATE POLICE: TROOP 7  
 ADDRESS: 18006 COASTAL HIGHWAY  
 CITY, STATE, ZIP: LEWES, DE 19958  
 PHONE: (302) 644-5020

### FIRE:

NAME: LEWES/REHOBOTH BEACH FIRE STATION #3  
 ADDRESS: 21194 JOHN J. WILLIAMS HIGHWAY  
 CITY, STATE, ZIP: LEWES, DE 19958  
 PHONE: (302) 945-8286

IN CASE OF EMERGENCY, CALL 9-1-1

## SHEET INDEX

SHEET	DESCRIPTION
T-1	TITLE SHEET
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C-2	ZONING INFORMATION
C-3	SITE PLAN AND PROJECT NOTES
C-4	SOIL EROSION AND SEDIMENT CONTROL PLAN
C-5	COMPOUND PLAN
C-6	ELEVATION VIEW AND ANTENNA PLAN
A-1	CONSTRUCTION DETAILS
A-2	CONSTRUCTION DETAILS
A-3	CONSTRUCTION DETAILS
A-4	CONSTRUCTION DETAILS
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A-9	CONSTRUCTION DETAILS
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E-1	UTILITY PLAN
E-2	ELECTRICAL NOTES AND PANEL SCHEDULE
E-3	ELECTRICAL RISER DIAGRAM
G-1	GROUNDING PLAN
G-2	GROUNDING DETAILS
G-3	GROUNDING RISER DIAGRAM

## CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

- |  |  |
|--|--|
| 1. 2012 INTERNATIONAL BUILDING CODE                | 8. INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS 81 IEEE C2 LATEST EDITION                                |
| 2. NFPA 70, NATIONAL ELECTRICAL CODE, 2014         | 9. TELCORDIA GR-1275   |
| 3. DELAWARE STATE FIRE PREVENTION REGULATIONS 2015 | 10. ANSI T1.311  |
| 4. AMERICAN INSTITUTE OF STEEL CONSTRUCTION 360-10 | 11. PROPOSED USE: UNMANNED TELECOM FACILITY  |
| 5. AMERICAN CONCRETE INSTITUTE                     | 12. HANDICAP REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS NOT REQUIRED. |
| 6. TIA-222-H                                       | 13. CONSTRUCTION TYPE: IIB   |
| 7. TIA 607 FOR GROUNDING                           | 14. USE GROUP: U   |

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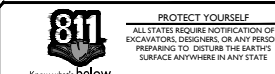


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CELLCO PARTNERSHIP d/b/a  
VERIZON WIRELESS  
512 TOWNSHIP LINE ROAD  
BUILDING 2, FLOOR 3  
BLUE BELL, PA 19422



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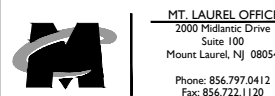
NO.	DATE	DESCRIPTION	BY	CHECKED BY
4	11/04/21	FOR CONSTRUCTION	MEG	MEG
3	09/14/21	FOR CONSTRUCTION	AF	MEG
2	07/03/19	FOR CONSTRUCTION	MEG	MEG
1	02/06/19	FOR CONSTRUCTION	SLM	MEG
0	12/14/18		SLM	MEG
A	12/14/18	ISSUED FOR REVIEW		MEG
REV		DESIGN/CONSTRUCTION		



IT IS A VIOLATION OF THE PROFESSIONAL ENGINEER ACT, TITLE 26, SECTION 101 OF THE DELAWARE CODE, FOR ANY PERSON TO USE THE NAME OF A PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

### SITE NAME:

DOV HORSE ISLAND  
CAMP ARROWHEAD ROAD  
LEWES, DE 19958  
SUSSEX COUNTY



MT. LAUREL OFFICE  
2000 Midlantic Drive  
Suite 100  
Mount Laurel, NJ 08054  
Phone: 856.797.0412  
Fax: 856.732.1120

SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

T-1

**GENERAL NOTES:**

- THE PLAN SHOWS SOME SUBSURFACE STRUCTURES, ABOVE-GROUND STRUCTURES AND/OR OTHER FEATURES FROM FIELD MEASUREMENTS AND RECORD MAPPING, EXACT LOCATION OF WHICH MAY VARY FROM THE LOCATION INDICATED. IN PARTICULAR THE CONTRACTOR IS WARNED THAT THE EXACT LOCATION OF SUCH EXISTING FEATURES IN THE AREA MAY BE DIFFERENT FROM THAT SHOWN OR MAY NOT BE SHOWN, AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROCEED WITH GREATEST CARE IN EXECUTING ANY WORK.
- CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL VERIFY EXISTING UTILITY LOCATIONS BY TEST PIT AS NECESSARY. LOCATION OF UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND FOR PLANNING PURPOSES ONLY.
- NOTIFY THE STATE SPECIFIC ONE CALL SYSTEM 72 HOURS PRIOR TO ANY EARTH MOVING ACTIVITIES.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED APPROVAL OF THE ENGINEER.
- WORK SHALL COMPLY WITH CURRENT ISSUES OF ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES, AND REGULATIONS, THE LATEST EDITION THEREOF.
- CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENTAL AGENCIES. THE BUILDING PERMIT HAS BEEN APPLIED FOR BY VERIZON AND WILL BE PICKED UP BY THE CONTRACTOR AT THE PERMITS OFFICE.
- ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
- THE ENGINEER HAS NOT CONDUCTED, NOR DOES IT INTEND TO CONDUCT ANY INVESTIGATION TO DETERMINE THE PRESENCE OF ANY HAZARDOUS MATERIAL INCLUDING BUT NOT LIMITED TO ASBESTOS, LEAD PAINT, AND PCB'S WITHIN THE CONFINES OF THIS PROJECT. THE ENGINEER WILL NOT ACCEPT ANY RESPONSIBILITY FOR THE ABATEMENT OR RESULTING CLAIMS FOR DAMAGES OR LOSSES AS A RESULT OF THE PRESENCE OF HAZARDOUS MATERIALS. IF EVIDENCE OF HAZARDOUS MATERIALS IS DISCOVERED, SUSPEND WORK AS REQUIRED BY GOVERNING STATUTES, AND NOTIFY VERIZON REPRESENTATIVE. DO NOT PROCEED WITH WORK UNTIL INSTRUCTED BY VERIZON REPRESENTATIVE.
- ALL MATERIAL FURNISHED UNDER THIS CONTRACT SHALL BE NEW UNLESS NOTED OTHERWISE. ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF TWELVE MONTHS FOLLOWING SUBSTANTIAL COMPLETION OF PROJECT OR AS SPECIFIED. THE CONTRACTOR SHALL REPAIR OR REPLACE AT HIS EXPENSE ALL WORK THAT MAY DEVELOP DEFECTS IN MATERIALS OR WORKMANSHIP WITHIN THE WARRANTY PERIOD.
- THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR ARE TO BE RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS AND DIMENSIONS AND THE LOCATION OF BURIED UTILITIES AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF WORK. NOTIFICATION MARKING TO BE DONE BY THE STATE SPECIFIC ONE CALL SYSTEM. NO CLAIMS FOR EXTRA COMPENSATION FOR WORK RESULTING FROM CONFLICTS AND OMISSIONS WHICH COULD HAVE BEEN DISCOVERED BY FIELD VERIFICATION AND INSPECTION, WHETHER INDICATED ON THE CONTRACT DOCUMENTS OR NOT, WILL BE ENTERTAINED OR PAID.
- FOLLOW MANUFACTURERS' PRINTED SPECIFICATION AND INSTRUCTIONS EXCEPT WHERE SPECIFIED OR INDICATED ON CONTRACT DOCUMENTS. COMPLY WITH THE MOST STRINGENT INSTRUCTIONS.
- THE CONTRACTOR SHALL VERIFY AND COORDINATE SIZE AND LOCATION OF ALL OPENINGS FOR STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, CIVIL, AND/OR ARCHITECTURAL WORK.
- THE CONTRACTOR SHALL VERIFY THAT THERE ARE NO CONFLICTS AMONG THE LOCATIONS OF ANY MECHANICAL, ELECTRICAL, PLUMBING, OR STRUCTURAL ELEMENTS, AND THAT ALL REQUIRED CLEARANCES AND CONSTRUCTION TOLERANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED. NOTIFY VERIZON REPRESENTATIVE OF ANY CONFLICTS. VERIZON REPRESENTATIVE RESERVES THE RIGHT TO MAKE MINOR MODIFICATIONS TO THE DESIGN WITHOUT ALTERING THE CONTRACT PRICE.
- DO NOT SCALE DRAWINGS. DIMENSIONS ARE EITHER TO THE FACE OF FINISHED ELEMENTS OR TO THE CENTER LINE OF ELEMENTS, UNLESS NOTED OTHERWISE. CRITICAL DIMENSIONS SHALL BE CONFIRMED WITH SITE MEASUREMENTS. VERIFY WITH VERIZON REPRESENTATIVE AS APPLICABLE.
- THE CONTRACTOR IS RESPONSIBLE FOR DAILY CLEAN UP OF SITE AND REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS. AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL THOROUGHLY CLEAN THE BUILDING SITE AND ANY OTHER SURROUNDING AREAS TO THE SATISFACTION OF VERIZON AND THE LANDLORD.
- THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE COLLAPSE, ETC., ACCORDING TO APPLICABLE CODES, STANDARDS, AND GOOD CONSTRUCTION PRACTICES.
- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL (OSHA), STATE AND LOCAL CODES, STANDARDS, ORDINANCES, RULES AND REGULATIONS.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR DAMAGES TO THE EXISTING FACILITY AND INSTALLATION RESULTING FROM CONSTRUCTION AND GENERAL NEGLIGENCE. REPAIR ALL DAMAGES AND RESTORE FACILITY AND INSTALLATIONS TO THE SATISFACTION OF VERIZON AND LANDLORD AT NO EXTRA CHARGE. NOTIFY VERIZON REPRESENTATIVE AND TOWER OWNER OF ANY SUCH DAMAGES PROMPTLY. REPAIR TO 100% SATISFACTION IMMEDIATELY.
- WHERE ONE DETAIL IS SHOWN FOR ONE CONDITION, UNLESS NOTED OTHERWISE, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS, EVEN THOUGH NOT SPECIFICALLY MARKED ON THE DRAWINGS.
- WHERE NEW PAVING, CONCRETE SIDEWALKS, OR PATHS MEET EXISTING CONSTRUCTION, THE CONTRACTOR SHALL MATCH THE EXISTING PITCH, GRADE, AND ELEVATION TO MAINTAIN CONTINUITY AND A SMOOTH TRANSITION.
- VERIZON REPRESENTATIVE IS RESPONSIBLE FOR APPLYING FOR COMMERCIAL POWER CONNECTION. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF UTILITY INSPECTIONS AND POWER COMPANY INSTALLATION. THE GENERAL CONTRACTOR IS REQUIRED TO KEEP ALL DOCUMENTATION RECEIVED FROM THE POWER COMPANY, WRITTEN AND VERBAL DISCUSSIONS WITH THE POWER COMPANY, ETC.

- VERIZON REPRESENTATIVE SHALL OBTAIN WRITTEN CONFIRMATION OF THE EXPECTED DATE OF COMPLETION OF THE POWER CONNECTION FROM THE POWER COMPANY. CONTRACTOR WILL PROVIDE TEMPORARY POWER FOR CONSTRUCTION. GENERAL CONTRACTOR AND HIS SUBCONTRACTORS ARE NOT ALLOWED TO CONNECT TO ANY EXISTING UTILITIES ON THE SITE.
- DRAWINGS FORMING THIS SET ARE COMPLIMENTARY AND MUST BE READ AS ONE TOTAL DOCUMENT. DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF VERIZON. THESE DRAWINGS WERE PREPARED TO BE SUBMITTED TO GOVERNMENTAL BUILDING AUTHORITIES FOR REVIEW FOR COMPLIANCE WITH APPLICABLE CODES. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO EXECUTE CONSTRUCTION INDICATED HEREIN ACCORDING TO APPLICABLE BUILDING CODES.
- IF THE CONTRACTOR OR SUBCONTRACTOR FINDS IT NECESSARY TO DEVIATE FROM ORIGINAL APPROVED PLANS, IT IS THE CONTRACTOR'S AND THE SUBCONTRACTOR'S RESPONSIBILITY TO PROVIDE VERIZON REPRESENTATIVE THE PROPOSED CHANGES FOR VERIZON REPRESENTATIVE TO REVIEW AND APPROVE PRIOR TO PROCEEDING WITH SUCH CHANGES. IN ADDITION, THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROCURING ALL NECESSARY APPROVALS FROM THE BUILDING AUTHORITIES FOR THE PROPOSED CHANGES PRIOR TO PROCEEDING WITH THE REVISED WORK. THE CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR PROCURING ALL NECESSARY INSPECTIONS AND APPROVALS FROM BUILDING AUTHORITIES DURING THE EXECUTION OF THE WORK.
- THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS SHALL BE INTERPRETED TO BE A MINIMUM ACCEPTABLE STANDARD FOR CONSTRUCTION. THESE DOCUMENTS SHALL NOT RELIEVE THE CONTRACTOR, SUBCONTRACTOR, AND/OR SUPPLIER/MANUFACTURER FROM PROVIDING A COMPLETE AND CORRECT INSTALLATION SHOULD ADDITIONAL ITEMS AND DETAILS BE REQUIRED FOR PROPER AND SAFE INSTALLATION.
- THESE CONTRACT DOCUMENTS AND SPECIFICATIONS DO NOT CREATE A CONTRACTUAL RELATIONSHIP OF ANY KIND BETWEEN VERIZON REPRESENTATIVE AND THE CONTRACTOR.
- THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT DESCRIBED HEREIN.
- THE CONTRACTOR SHALL OBTAIN AUTHORIZATION FROM VERIZON REPRESENTATIVE TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT.
- THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT AND MAINTAIN EXISTING CONDITIONS, EASEMENTS, PAVEMENTS, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
- THE CONTRACTOR SHALL MAINTAIN ALL TRAFFIC IN ALL AREAS IN ACCORDANCE WITH THE STATE'S DOT STANDARDS FOR TRAFFIC CONTROL.
- THE CONTRACTOR SHALL NOTIFY THE VERIZON REPRESENTATIVE WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL IT IS RESOLVED BY THE VERIZON REPRESENTATIVE.
- CONTRACTOR TO PROVIDE TEMPORARY TOILET FACILITIES FOR DURATION OF PROJECT.
- CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY OWNERS.
- IN ANY EXCAVATED AREA, BACKFILL WILL BE PLACED WITH DRY MATERIAL FREE OF ROCK OR STONES LARGER THAN 1", IN 12" LIFTS, COMPACTED TO 95% DRY DENSITY. ALL DISTURBED AREAS TO BE RESTORED TO MATCH SURROUNDING CONDITIONS.
- THESE PLANS ARE NOT FOR RECORDATION OR CONVEYANCE.
- EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY CONTRACTOR (WHICH ARE NOT TO BE REMOVED) SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS BY THE CONTRACTOR.
- DAMAGE TO UTILITIES OR PROPERTY OF OTHERS BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS BY THE CONTRACTOR.
- CONTRACTOR TO PROVIDE THREADED CAPS ON FUTURE CONDUIT.
- CONTRACTOR TO PROVIDE RUBBER CAPS ON ALL KINDORF OR UNISTRUT.



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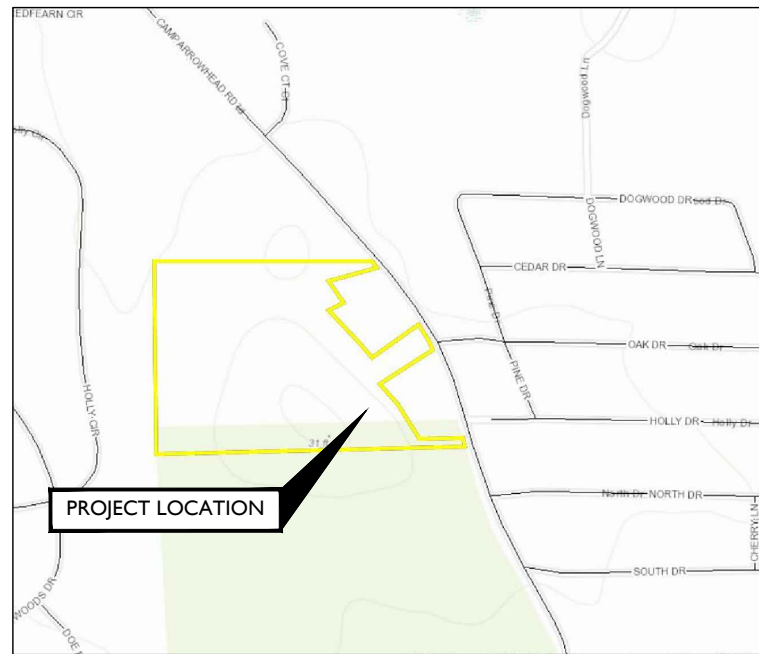
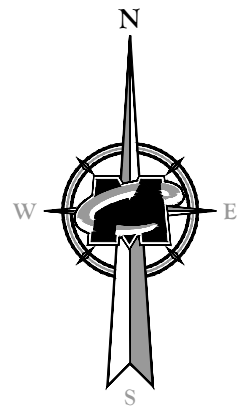


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2000 Midlantic Drive  
Suite 100  
Mount Laurel, NJ 08054  
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Fax: 856.722.1120

SHEET TITLE:  
**GENERAL NOTES**

SHEET NUMBER:  
**C-1**

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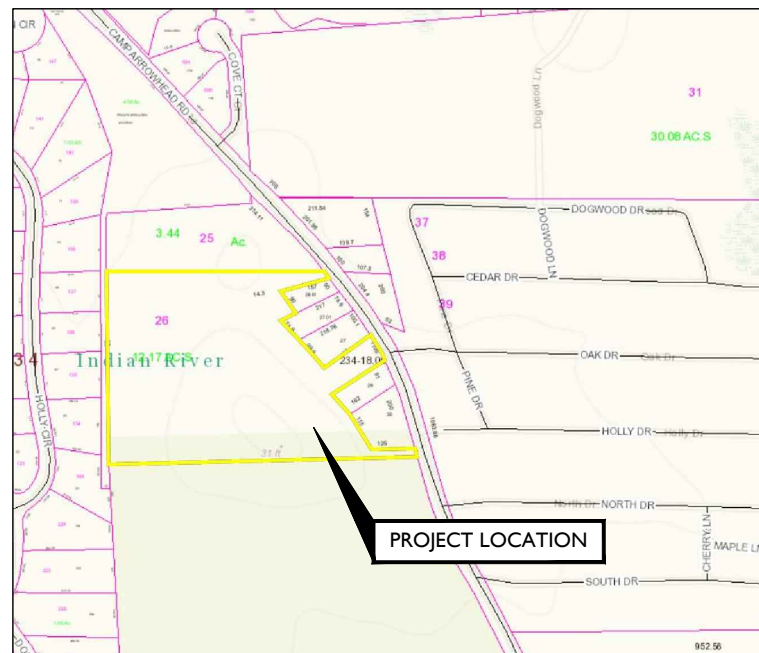
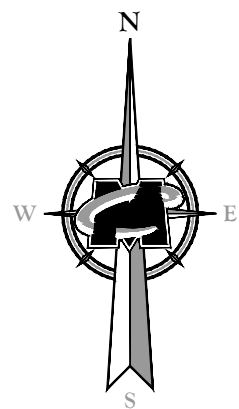


- Agricultural Residential - AR-1
- Agricultural Residential - AR-2
- Commercial Residential - CR-1
- General Commercial - C-1
- General Residential - GR
- Heavy Industrial - HI-1
- High Density Residential - HR-1
- High Density Residential - HR-2
- Limited Industrial - LI-1
- Limited Industrial - LI-2
- Marine - M
- Medium Residential - MR
- Neighborhood Business - B-1
- Vacation, Retire, Resident - VRP

ZONING MAP



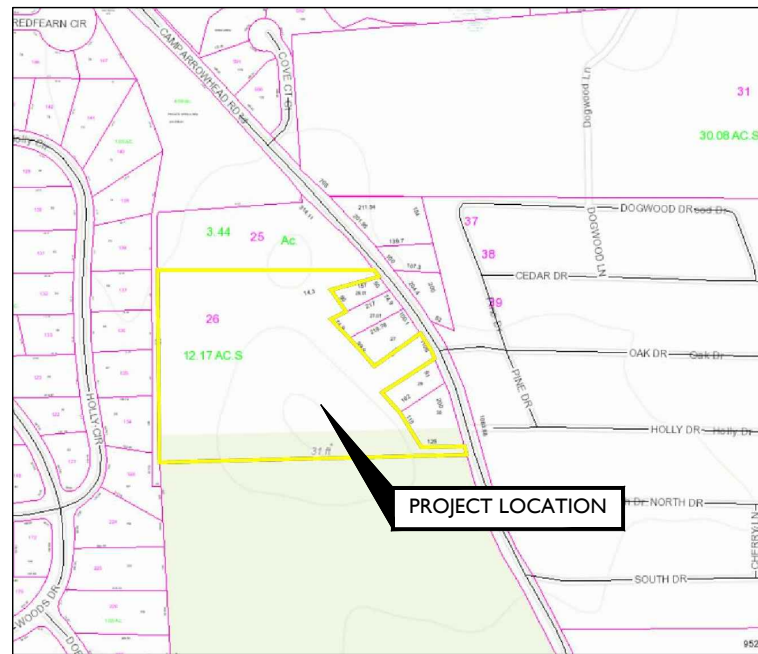
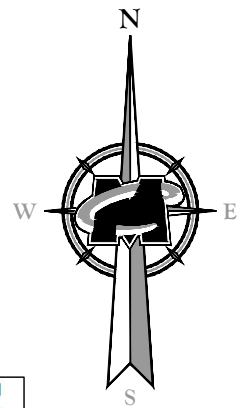
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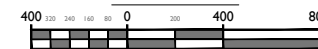
TAX DITCH MAP



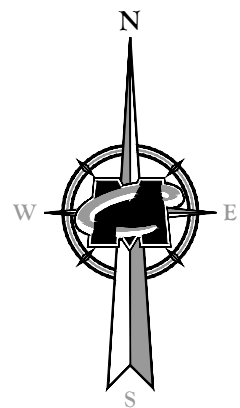
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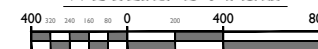
TAX MAP



SCALE : 1" = 400' FOR 22"X34"  
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WETLANDS MAP



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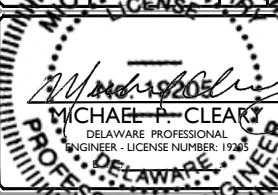
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SHEET TITLE:  
ZONING INFORMATION

SHEET NUMBER:  
C-2

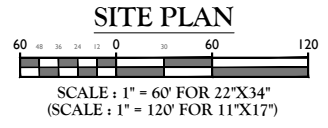
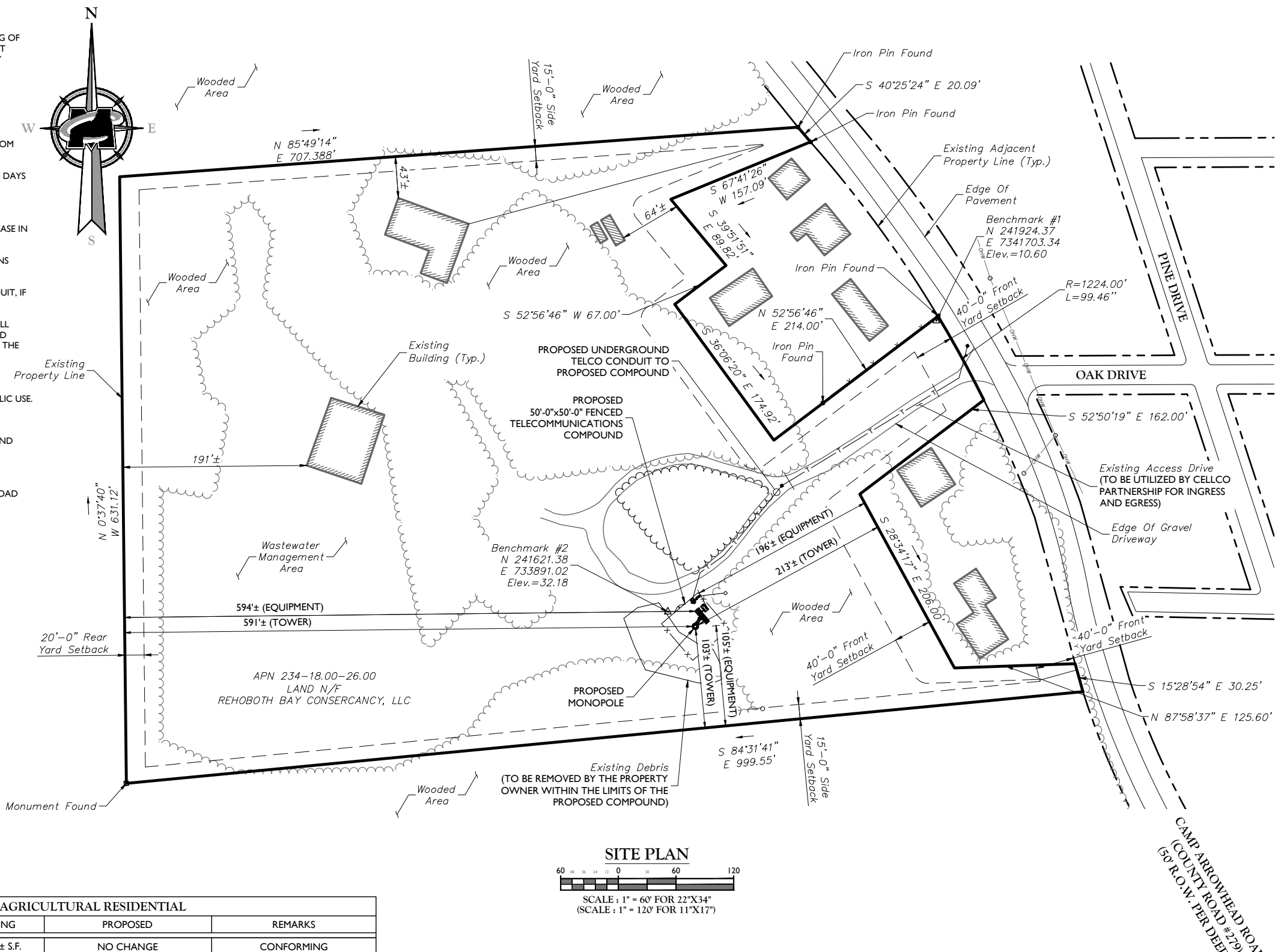
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**NOTES:**

- THIS PROPOSAL IS FOR AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF THE PLACEMENT OF PANEL ANTENNAS ON A PROPOSED MONOPOLE AND EQUIPMENT CABINETS ON A PROPOSED CONCRETE PAD WITH CANOPY, AN OUTDOOR STANDBY GENERATOR, AND ASSOCIATED APPURTENANCES WITHIN A PROPOSED FENCED COMPOUND.
- EXTERIOR SIGNS ARE NOT PROPOSED EXCEPT AS REQUIRED BY THE FCC
- TOTAL AREA OF DISTURBANCE UNDER THIS PROPOSAL: 3,600± S.F.
- RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
- CONTRACTOR SHALL CONTACT STATE SPECIFIC ONE CALL SYSTEM THREE WORKING DAYS PRIOR TO ANY EARTH MOVING ACTIVITIES.
- POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.
- THE PROPOSED FACILITY WILL CAUSE ONLY AN INSIGNIFICANT ("DE MINIMUS") INCREASE IN STORMWATER RUNOFF, THEREFORE, NO DRAINAGE STRUCTURES ARE PROPOSED.
- SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS & INSPECTIONS REQUIRED FOR CONSTRUCTION.
- SUBCONTRACTOR SHALL DETERMINE EXACT ROUTE OF ANY UNDERGROUND CONDUIT, IF REQUIRED.
- ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP OF SUSSEX COUNTY, DE (ALL JURISDICTIONS), MAP 10005C0342K, PANEL 342 OF 660, DATED 03/16/2015 ALL PROPOSED IMPROVEMENTS ARE LOCATED WITHIN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- TOTAL ACREAGE WITHIN STREETS/RIGHT-OF-WAY IS 0 ACRES.
- THIS PROJECT WILL NOT REQUIRE STREETS OR PROPERTY TO BE DEDICATED FOR PUBLIC USE.
- THIS PROJECT WILL NOT REQUIRE PERMANENT MONUMENTS.
- THREE (1) EXISTING PERMANENT MONUMENTS WERE LOCATED ON THIS PROPERTY AND ZERO (0) WERE PLACED.
- THE PROPOSED INSTALLATION IS NOT LOCATED WITHIN THE GROWTH ZONE.
- THE NEAREST INTERSECTION IS LOCATED AT THE CORNER OF CAMP ARROWHEAD ROAD AND OAK DRIVE, WHICH IS 30± FROM THE PROPOSED ACCESS DRIVE.
- HORIZONTAL DATUM: NAD83 DE STATE PLANE COORDINATE SYSTEM VERTICAL DATUM: NAVD88 ARE BASED ON KEYNET SOLUTION COORDINATES: U.S. SURVEY FEET BENCHMARK #1 N 241924.37 E 7341703.34 ELEV.=10.60 BENCHMARK #2 N 241621.38 E 733891.02 ELEV.=32.18
- THE PROPOSED INSTALLATION WILL GENERATE ONE (1) VEHICLE TRIP FOR ROUTINE MAINTENANCE EVERY FOUR (4) TO SIX (6) WEEKS.

**LEGEND:**

- P — P — PROPERTY LINE
- - - - - ADJACENT PROPERTY LINE
- - - - - SETBACK LINE
- - - - - PROPOSED FENCE
- - - - - EXISTING STRUCTURE
- - - - - EXISTING TREELINE
- - - - - EXISTING OVERHEAD WIRES
- - - - - PROPOSED UNDERGROUND ELECTRIC CONDUIT
- - - - - PROPOSED UNDERGROUND TELCO CONDUIT
- - - - - LIGHT LINEWEIGHT INDICATES EXISTING FACILITIES
- - - - - HEAVY LINEWEIGHT INDICATES PROPOSED FACILITIES
- - - - - TIE TIE PROPOSED UNDERGROUND UTILITIES



BULK STANDARDS FOR AR-1 - AGRICULTURAL RESIDENTIAL					
DESCRIPTION	REQUIRED	EXISTING	PROPOSED		REMARKS
MINIMUM LOT AREA	32,670 S.F.	464,297± S.F.	NO CHANGE		CONFORMING
MINIMUM LOT WIDTH	100 FEET	633± FEET	NO CHANGE		CONFORMING
MINIMUM LOT DEPTH	100 FEET	575± FEET	NO CHANGE		CONFORMING
			EQUIPMENT	MONOPOLE	
MINIMUM FRONT YARD SETBACK	40 FEET	64± FEET	196± FEET	213± FEET	CONFORMING
MINIMUM SIDE YARD SETBACK	15 FEET	43± FEET	105± FEET	103± FEET	CONFORMING
MINIMUM REAR YARD SETBACK	20 FEET	191± FEET	594± FEET	591± FEET	CONFORMING
MAXIMUM BUILDING HEIGHT	42 FEET	<42 FEET	10± FEET		CONFORMING
BULK STANDARDS FOR COMMERCIAL COMMUNICATIONS TOWERS AND ANTENNAS (SECTION 115-194.2)					
DESCRIPTION	REQUIRED	EXISTING	PROPOSED		REMARKS
SETBACK FROM PROPERTY LINE	50 FEET*	N/A	103± FEET		CONFORMING
MINIMUM FENCE HEIGHT	6 FEET	N/A	6 FEET W/ 1 FOOT BARBED WIRE		CONFORMING

\* TOWER SETBACK TO EQUAL 1/3 OF TOWER HEIGHT. (150/3 = 50')

**ZONING NOTE:**  
 ANY NEW FREESTANDING COMMERCIAL COMMUNICATIONS TOWER OR ANTENNA OR MONOPOLE IN ANY RESIDENTIAL DISTRICT REQUIRES A MINIMUM OF ONE ACRE AND SHALL REQUIRE A SPECIAL EXCEPTION AS PER SECTION 115-194.2A COMMUNICATIONS TOWERS AND ANTENNAS, CHAPTER 115, SUSSEX COUNTY ZONING CODE.

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**MICHAEL P. CLEARY**  
 DELAWARE PROFESSIONAL ENGINEER - LICENSE NUMBER: 19265  
 PROFESSIONAL ENGINEER

**SITE NAME:**  
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 LEWES, DE 19958  
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**MT. LAUREL OFFICE**  
 2000 Midlantic Drive  
 Suite 100  
 Mount Laurel, NJ 08054  
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SHEET TITLE:  
**SITE PLAN AND PROJECT NOTES**  
 SHEET NUMBER:  
**C-3**



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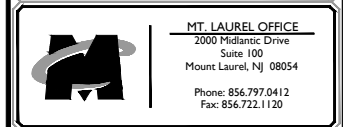
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SHEET TITLE:  
**SOIL EROSION AND SEDIMENT CONTROL PLAN**

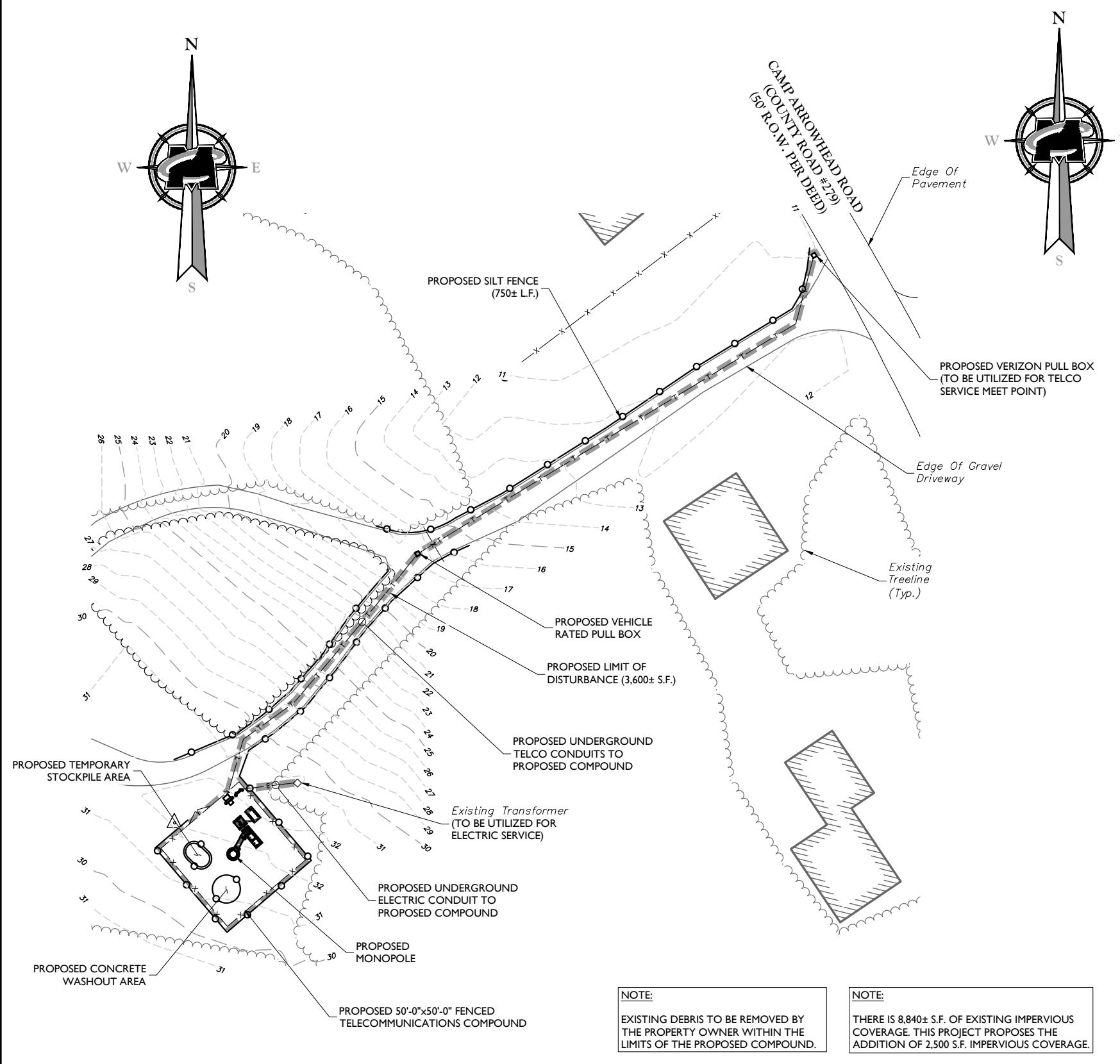
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**C-4**



**SOILS MAP**  
 SCALE: 1" = 100' FOR 22"X34"  
 (SCALE: 1" = 200' FOR 11"X17")

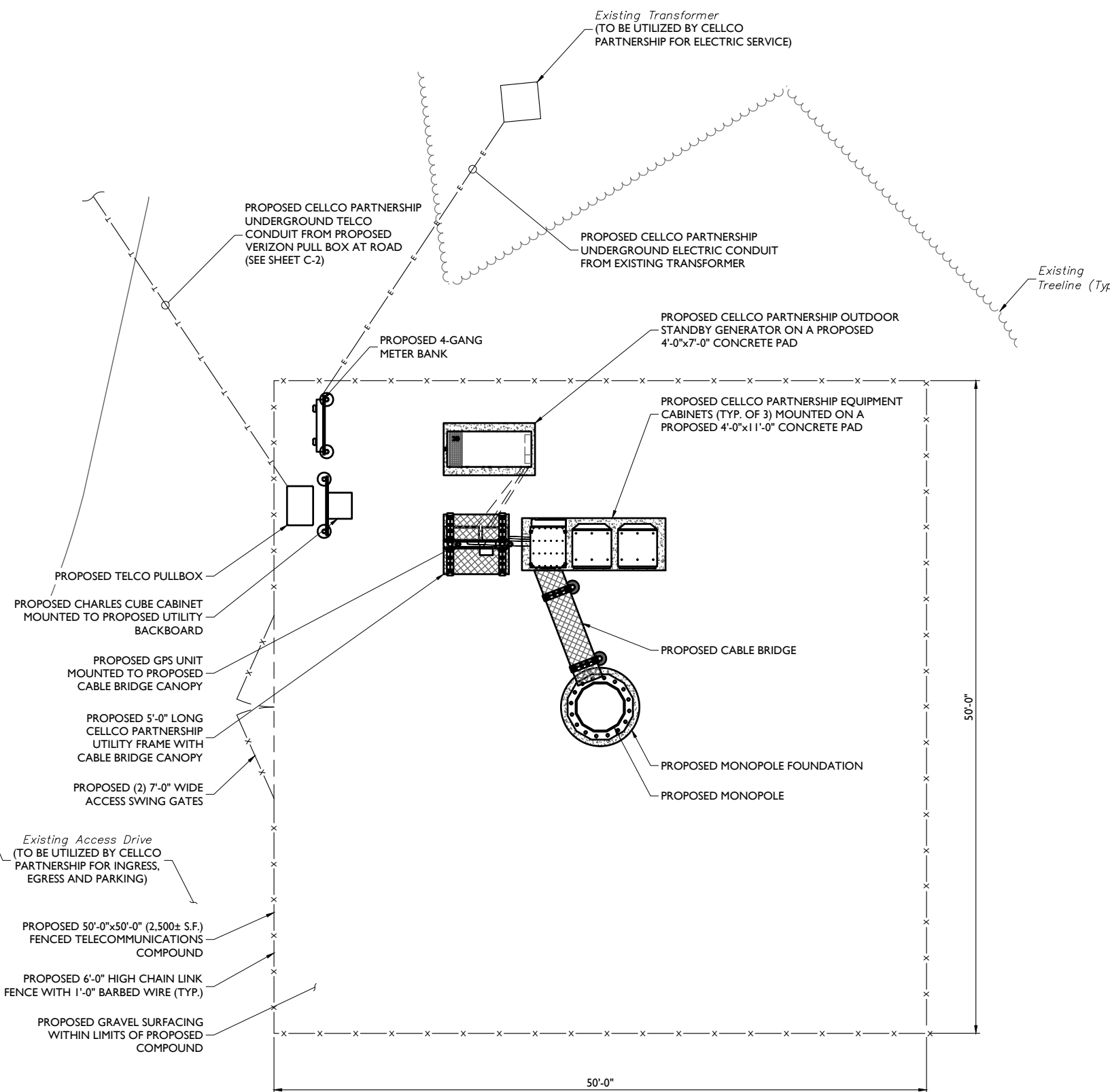
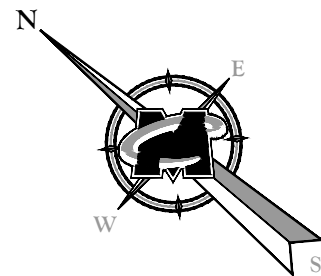
**Map Unit Legend**

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
AsA	Askecksy loamy sand, 0 to 2 percent slopes	1.5	4.6%
HpB	Henlopen loamy sand, 2 to 5 percent slopes	18.9	57.2%
RuB	Runclint loamy sand, 2 to 5 percent slopes	12.6	38.2%
<b>Totals for Area of Interest</b>		<b>32.9</b>	<b>100.0%</b>

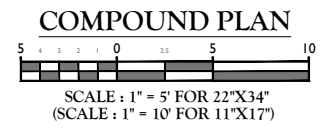


**SOIL EROSION AND SEDIMENT CONTROL PLAN**  
 SCALE: 1" = 30' FOR 22"X35"  
 (SCALE: 1" = 60' FOR 11"X17")

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- LEGEND**
- x—x— Existing Chain Link Fence
  - Existing Features
  - PROPOSED FEATURES
  - T/E— PROPOSED UNDERGROUND ELECTRIC/TELCO UTILITY LINES
  - T— PROPOSED UNDERGROUND TELEPHONE/TELCO UTILITY LINE
  - E— PROPOSED UNDERGROUND ELECTRIC UTILITY LINE



**NOTE:**  
EXISTING DEBRIS TO BE REMOVED BY THE PROPERTY OWNER WITHIN THE LIMITS OF THE PROPOSED COMPOUND

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**PROFESSIONAL ENGINEER**  
MICHAEL P. CLEARY  
DELAWARE PROFESSIONAL ENGINEER - LICENSE NUMBER: 19265

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CAMP ARROWHEAD ROAD  
LEWES, DE 19958  
SUSSEX COUNTY

**MT. LAUREL OFFICE**  
2000 Midatlantic Drive  
Suite 100  
Mount Laurel, NJ 08054  
Phone: 856.797.0412  
Fax: 856.722.1120

SHEET TITLE:  
**COMPOUND PLAN**

SHEET NUMBER:  
**C-5**

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CELLCO PARTNERSHIP d/b/a  
 VERIZON WIRELESS  
 512 TOWNSHIP LINE ROAD  
 BUILDING 2, FLOOR 3  
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3	09/14/21	FOR CONSTRUCTION	AF	MEG
2	07/03/19	FOR CONSTRUCTION	MEG	MPC
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0	12/14/18	FOR CONSTRUCTION	SLM	MEG
A	12/14/18	ISSUE FOR REVIEW		MEG
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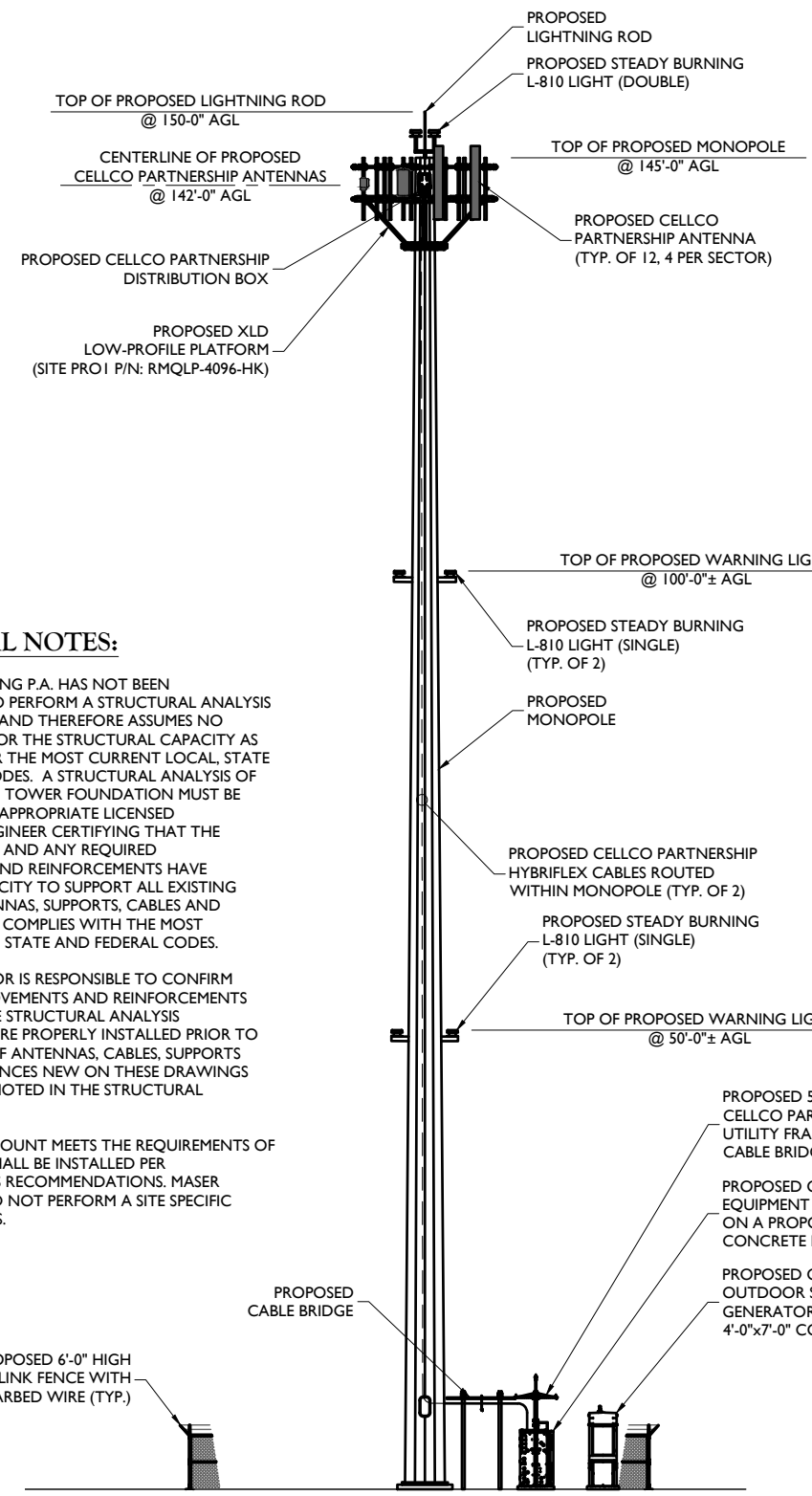
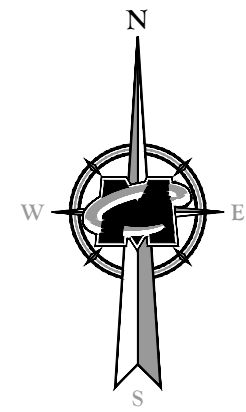
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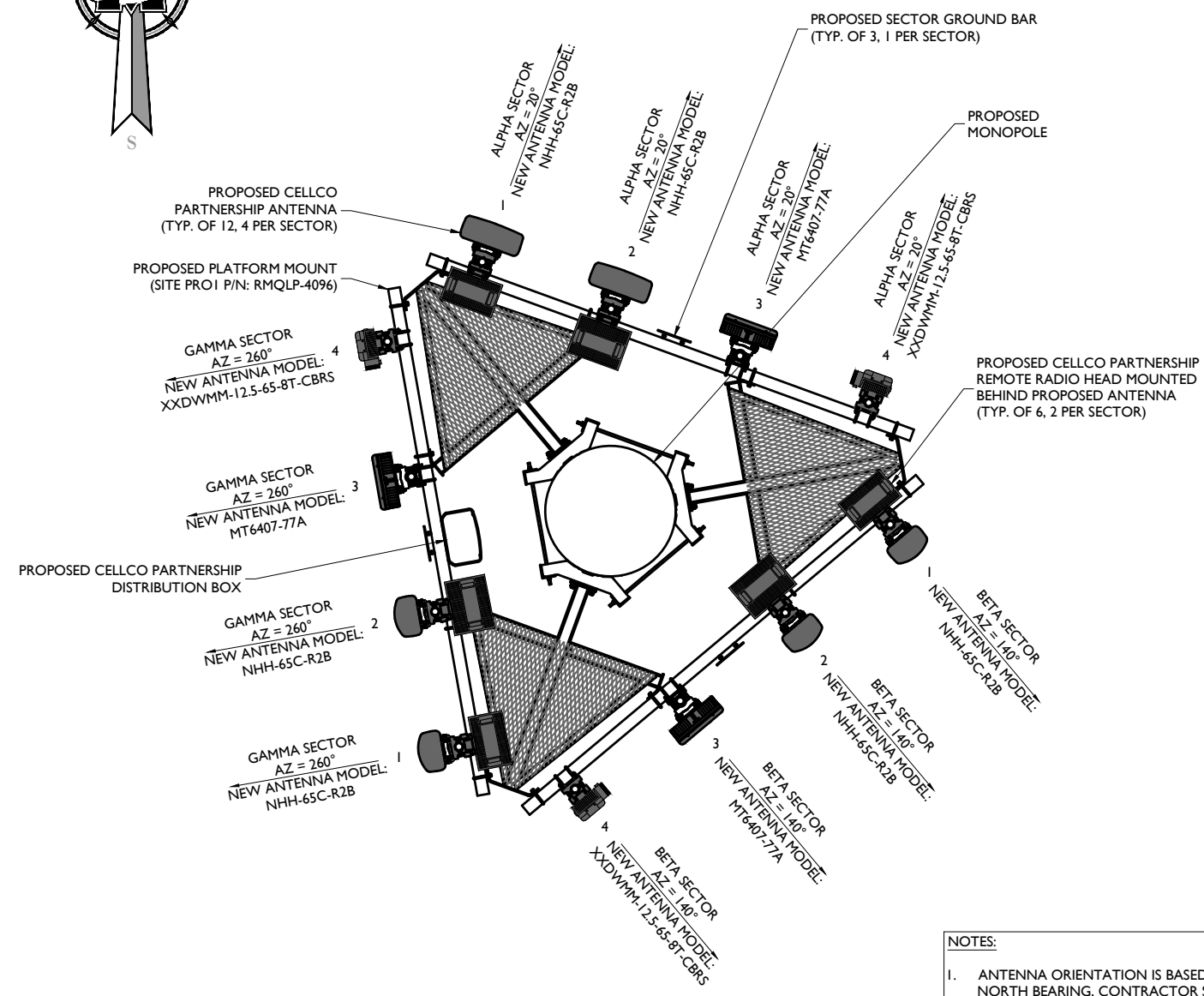
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SHEET TITLE:  
 ELEVATION VIEW AND  
 ANTENNA PLAN

SHEET NUMBER:  
 C-6



**ELEVATION VIEW**  
 SCALE: 1" = 10' FOR 22"X34"  
 (SCALE: 1" = 20' FOR 11"X17")



**ANTENNA PLAN**  
 SCALE: 1" = 2' FOR 22"X34"  
 (SCALE: 1" = 4' FOR 11"X17")

**NOTES:**  
 1. ANTENNA ORIENTATION IS BASED ON TRUE NORTH BEARING, CONTRACTOR SHALL VERIFY TRUE NORTH PRIOR TO CONSTRUCTION.  
 2. CONTRACTOR TO REFER TO FINAL RF CONFIGURATIONS SHEET FOR ANTENNA AZIMUTHS PRIOR TO CONSTRUCTION.

**STRUCTURAL NOTES:**

- MASER CONSULTING P.A. HAS NOT BEEN CONTRACTED TO PERFORM A STRUCTURAL ANALYSIS ON THIS TOWER AND THEREFORE ASSUMES NO RESPONSIBILITY FOR THE STRUCTURAL CAPACITY AS REQUIRED UNDER THE MOST CURRENT LOCAL, STATE AND FEDERAL CODES. A STRUCTURAL ANALYSIS OF THE TOWER AND TOWER FOUNDATION MUST BE PREPARED BY AN APPROPRIATE LICENSED STRUCTURAL ENGINEER CERTIFYING THAT THE EXISTING TOWER AND ANY REQUIRED IMPROVEMENTS AND REINFORCEMENTS HAVE SUFFICIENT CAPACITY TO SUPPORT ALL EXISTING AND NEW ANTENNAS, SUPPORTS, CABLES AND APPURTENANCES COMPLIES WITH THE MOST CURRENT LOCAL, STATE AND FEDERAL CODES.
- THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ANY IMPROVEMENTS AND REINFORCEMENTS REQUIRED BY THE STRUCTURAL ANALYSIS CERTIFICATION ARE PROPERLY INSTALLED PRIOR TO THE ADDITION OF ANTENNAS, CABLES, SUPPORTS AND APPURTENANCES NEW ON THESE DRAWINGS OR OTHERWISE NOTED IN THE STRUCTURAL ANALYSIS.
- THE PROPOSED MOUNT MEETS THE REQUIREMENTS OF NSTD-445 AND SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS. MASER CONSULTING DID NOT PERFORM A SITE SPECIFIC MOUNT ANALYSIS.

**LEGEND**  
 — Existing Features  
 — PROPOSED FEATURES

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0	12/14/18		SLM	MEG
A	12/14/18	ISSUED FOR REVIEW		MEG
REV		DESCRIPTION	DATE	CHECKED BY



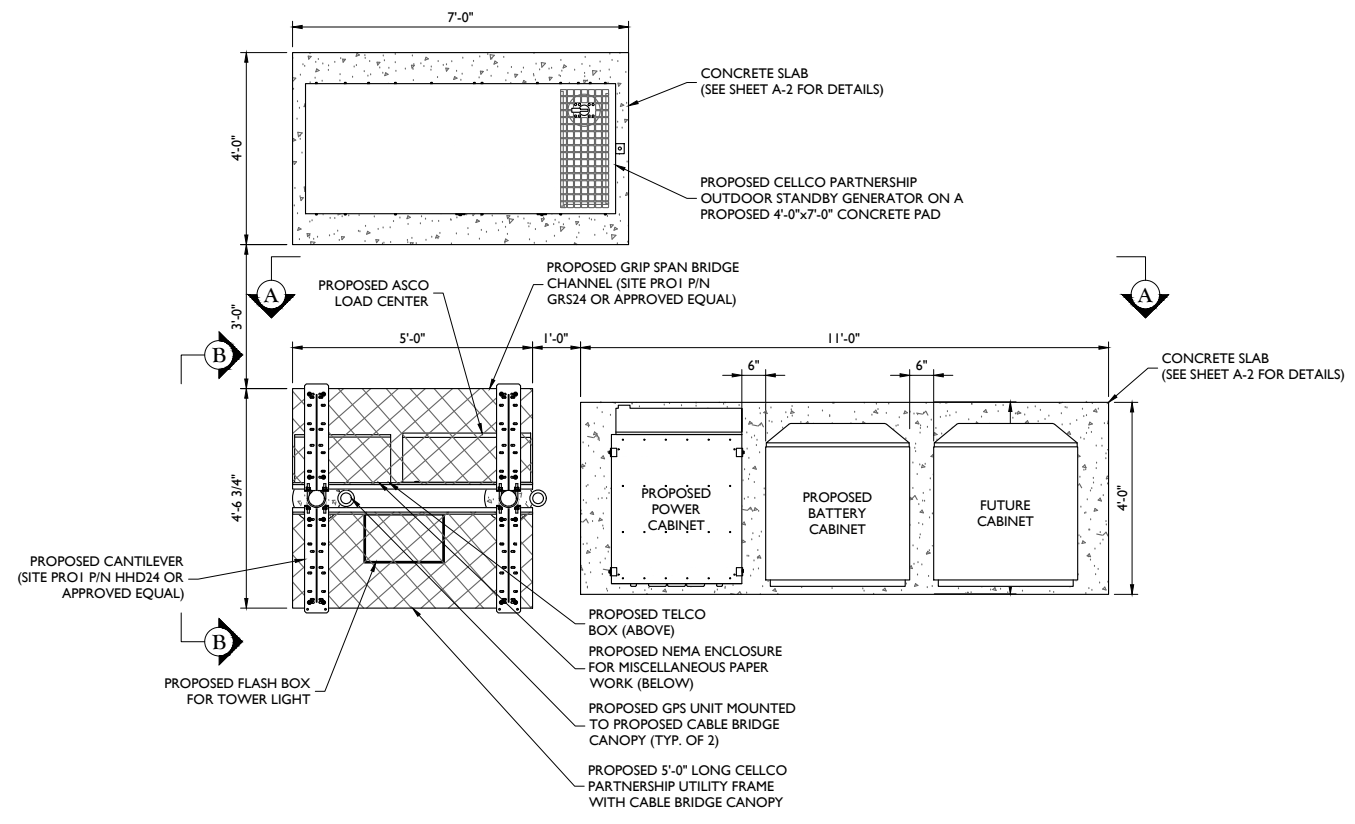
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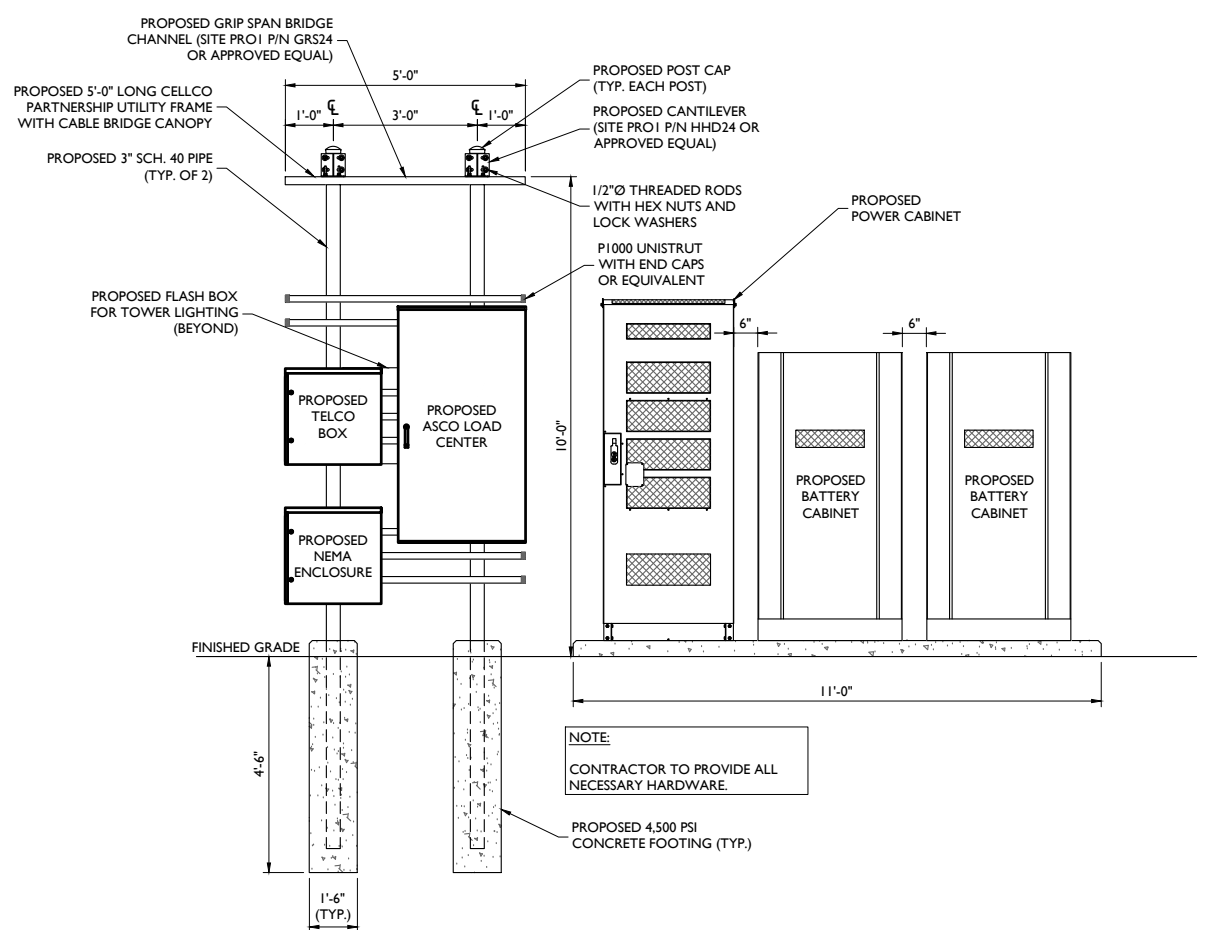
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SHEET TITLE:  
**CONSTRUCTION DETAILS**

SHEET NUMBER:  
**A-1**



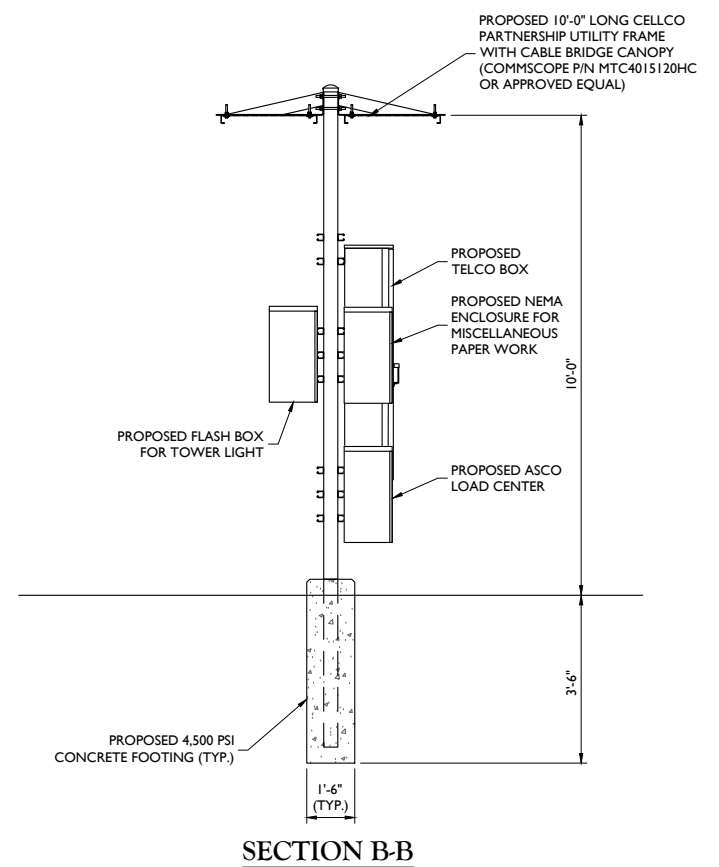
**EQUIPMENT LAYOUT**  
 SCALE: 1" = 2' FOR 22"X34"  
 (SCALE: 1" = 4' FOR 11"X17")



NOTE:  
 CONTRACTOR TO PROVIDE ALL NECESSARY HARDWARE.

NOTE:  
 CONTRACTOR TO PROVIDE ALL NECESSARY HARDWARE.

**EQUIPMENT SECTION VIEWS**  
 SCALE: 1" = 2' FOR 22"X34"  
 (SCALE: 1" = 4' FOR 11"X17")



**SECTION B-B**



CELLCO PARTNERSHIP d/b/a  
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REV		DESCRIPTION	DRAWN	CHECKED BY

MICHAEL P. CLEARY  
DELAWARE PROFESSIONAL  
ENGINEER - LICENSE NUMBER: 19205

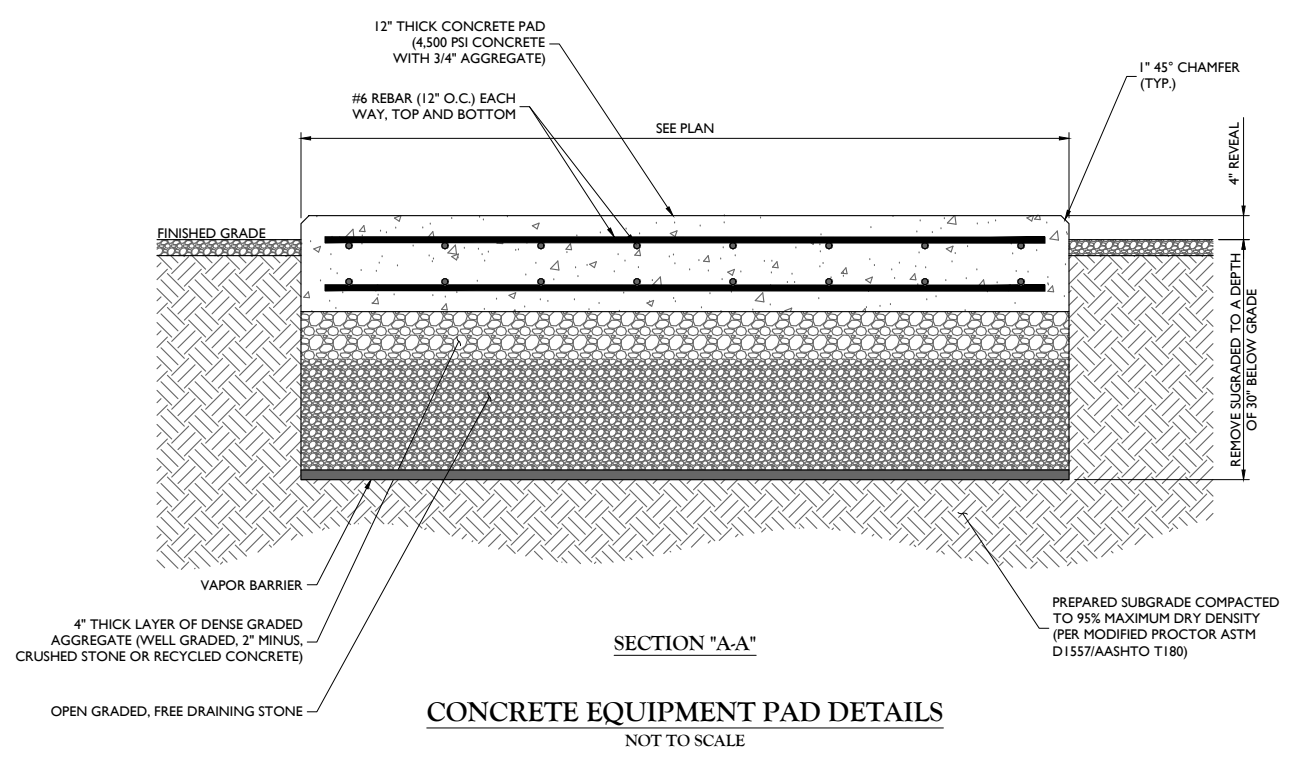
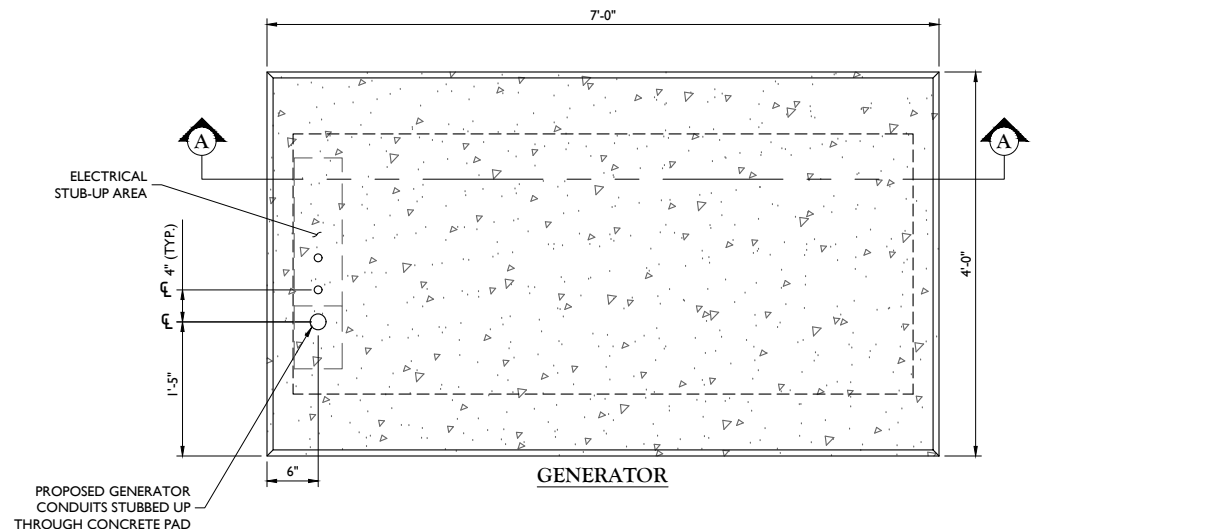
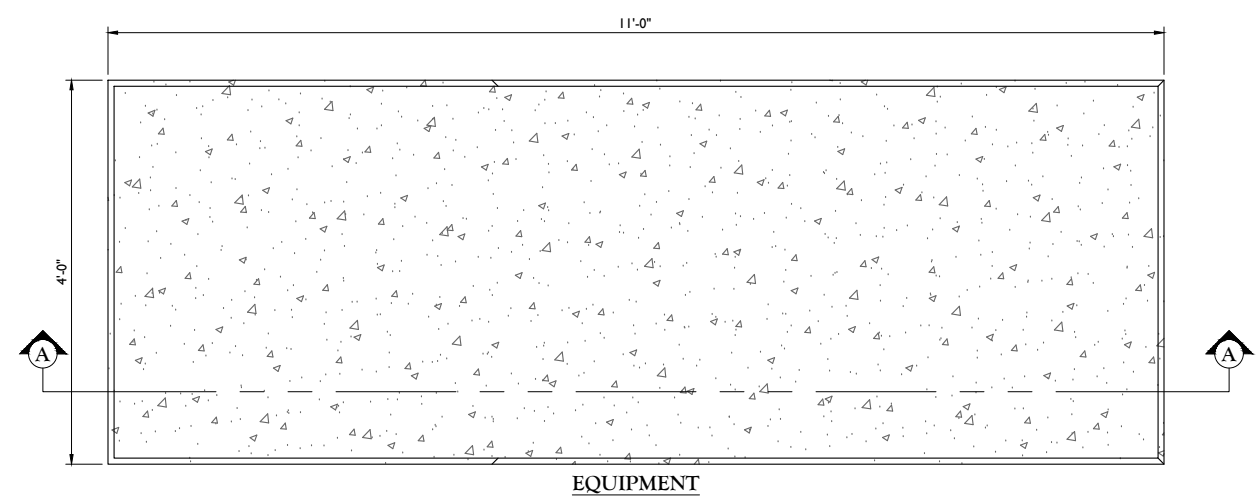
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SHEET TITLE:  
CONSTRUCTION DETAILS

SHEET NUMBER:  
A-2



**CONCRETE NOTES:**

**DESIGN INFORMATION:**

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336A, ASTM A184, ASTM A185 AND THE DESIGN & CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. THE DESIGN SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE AS SHOWN ON SHEET T-1.

**EARTHWORK:**

1. FOUNDATIONS HAVE BEEN DESIGNED TO BEAR ON (UNDISTURBED RESIDUAL SOILS/COMPACTED STRUCTURAL FILL), CAPABLE OF SAFELY SUPPORTING AN ALLOWABLE BEARING PRESSURE OF 1,500 PSF. IF FOUNDATION CONDITIONS PROVE UNACCEPTABLE AT ELEVATIONS SHOWN, EXCAVATION SHALL BE CARRIED DEEPER AND SHALL BE BACKFILLED WITH LEAN CONCRETE TO PLAN FOOTING BOTTOM, OR REDISIGN OF FOUNDATIONS WILL BE REQUIRED AT THE DIRECTION OF THE ENGINEER.
2. DESIGN FURNISH AND INSTALL TEMPORARY SHEETING, SHORING, AND DRAINAGE TO MAINTAIN THE EXCAVATION AND PROTECT SURROUNDING STRUCTURES AND UTILITIES.
3. THOROUGHLY COMPACT ALL BOTTOM OF FOOTINGS PRIOR TO PLACING ANY CONCRETE.

**CONCRETE:**

1. FORMWORK
  - 1.a. CONCRETE CONSTRUCTION SHALL CONFORM TO "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS," (ACI 301-89).
  - 1.b. FORMWORK SHALL CONFORM TO ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
2. REINFORCEMENT
  - 2.a. REINFORCING STEEL ASTM A615, GRADE 60, WELDED WIRE ASTM A185 (FLAT SHEET), LAPS 40 BAR DIAMETERS UNLESS NOTED, BARS SHALL BE SECURELY HELD IN ACCURATE POSITION BY SUITABLE ACCESSORIES, TIE BARS, SUPPORT BARS, ETC. HOOK LENGTHS SHALL BE 12 BAR DIAMETERS.
  - 2.b. CONCRETE COVER FOR REINFORCING BARS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED.
 

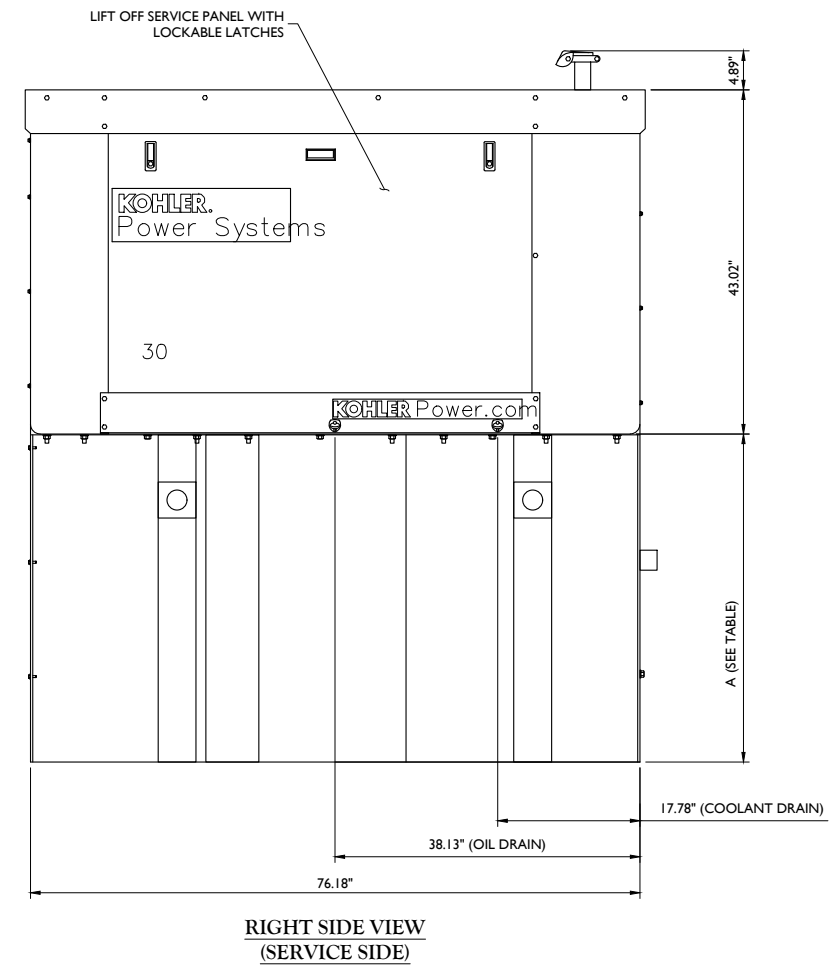
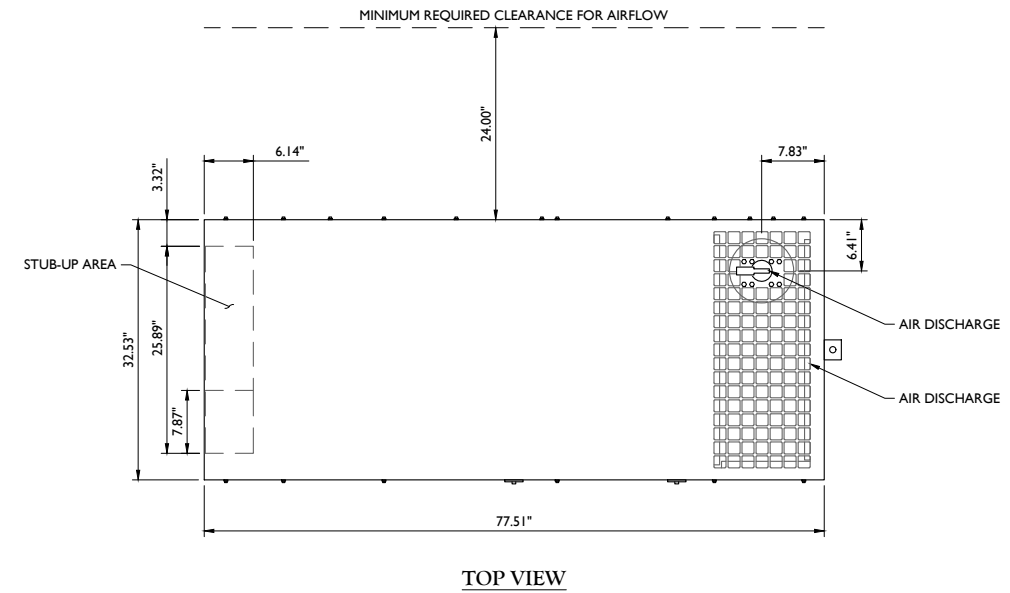
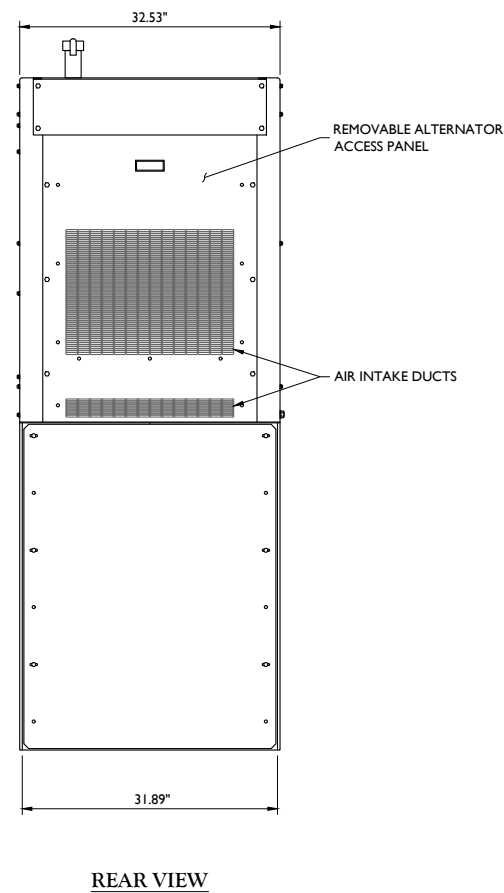
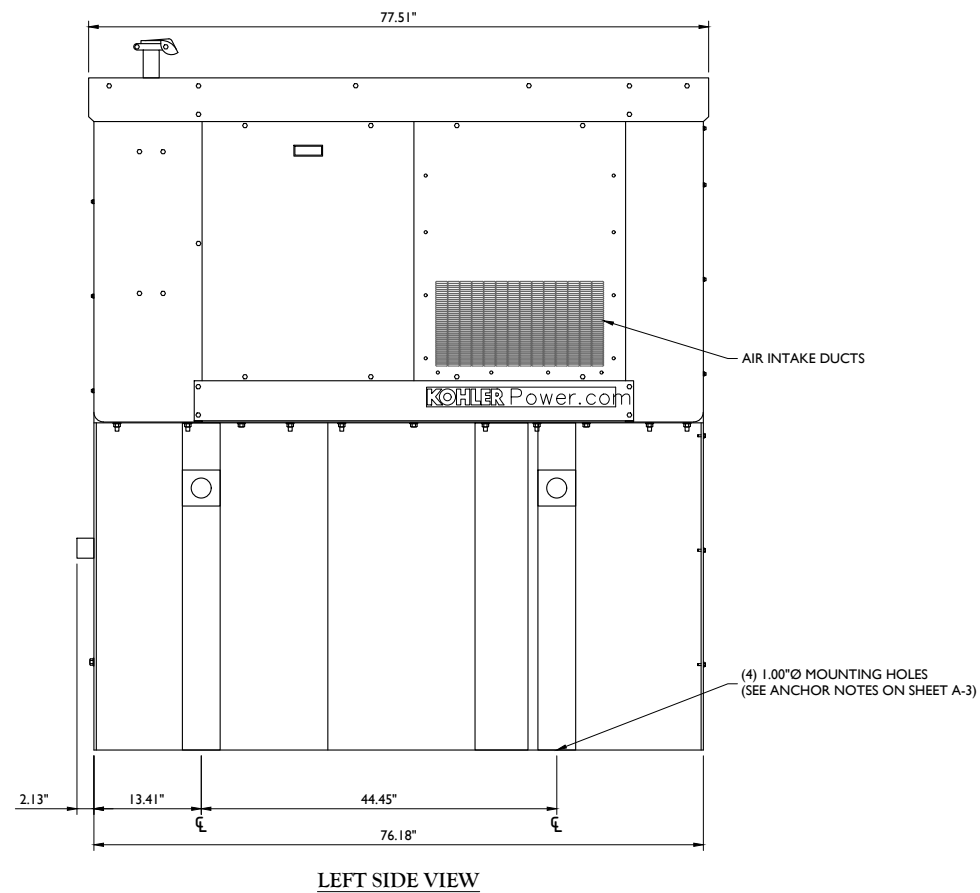
2.b.1. FOOTINGS AND SLABS CAST AGAINST GROUND	3"
2.b.2. CONCRETE TO BE IN CONTACT WITH GROUND OR WEATHER AT BARS GREATER THAN 5"	2"
2.b.3. AT BARS #5 OR LESS	1 1/2"
2.b.4. CONCRETE NOT TO BE EXPOSED TO GROUND OR WEATHER BEAMS, GIRDERS, AND COLUMNS	1 1/2"
2.b.5. SLABS AND WALLS	3/4"
  - 2.c. CAST IN PLACE CONCRETE
    - 2.c.1. MINIMUM 28 DAY CYLINDER STRENGTH AND MAXIMUM SLUMP, PRIOR TO ADDITION F SUPER PLASTICIZERS, AS FOLLOWS:
 

2.c.1.1. CLASS I FOOTINGS	4500 PSI	3"
2.c.1.2. CLASS III INTERIOR ELEVATED SLABS AND WALLS	4500 PSI	4"
2.c.1.3. CLASS V OTHER WORK	4500 PSI	4"
2.c.1.4. CLASS VI LEAN CONCRETE FOR OVEREXCAVATION OF FOUNDATIONS	4500 PSI	N/A
    - 2.c.2. MIX DESIGN TO BE IN ACCORDANCE WITH ACI 318, CHAPTER 5. NO CALCIUM CHLORIDE ADMIXTURE CONTAINING CHLORIDES SHALL BE USED IN ANY CONCRETE
    - 2.c.3. COARSE AGGREGATE FOR NORMAL WIEGHT CONCRETE SHALL CONFORM TO ASTM C33 SIZE #57, COARSE AGGREGATE FOR LIGHTWEIGHT CONCRETE SHALL CONFORM TO ASTM C330 GRADED 3/4" TO 1/4".
    - 2.c.4. COLD WEATHER PLACEMENT SHALL COMPLY WITH ACI 306.1
    - 2.c.5. HOT WEATHER PLACEMENT SHALL COMPLY WITH ACI 305 R.
    - 2.c.6. CHAMFER ALL EXPOSED EDGES 3/4"
    - 2.c.7. THE MAXIMUM TEMPERATURE OF ALL CONCRETE AT DELIVERY TO THE SITE SHALL BE 85°F
    - 2.c.8. TOTAL DELIVERY TIME SHALL BE LESS THAN 75 MINUTES.

NOTES:

1. THE RIGHT SIDE OF THE GENERATOR IS SERVICE ACCESSIBLE.
2. 6 AMP BATTERY CHARGER.
3. 120VAC ENGINE BLOCK HEATER.
4. GENERATOR MUST BE GROUNDED.
5. SOUND ATTENUATED ENCLOSURE STANDARD WITH GENERATOR.
6. MUST ALLOW FREE FLOW OF DISCHARGE AIR AND EXHAUST.
7. MUST ALLOW FREE FLOW OF AIR INTAKE.
8. EASY ACCESS SERVICE PANEL IS LOCATED ON THE RIGHT SIDE OF THE GENERATOR ONLY.
9. BASE TANK REQUIRES ALL STUB-UPS TO BE IN THE REAR TANK STUB-UP AREA.
10. SEE TABLE FOR SUB-BASE FUEL TANK CAPACITY.
11. TANK EQUIPPED WITH FIRE SAFETY VALVE ON FUEL SUPPLY LINE.
12. IT IS THE RESPONSIBILITY OF THE INSTALLATION TECHNICIAN TO ENSURE THAT THE GENERATOR INSTALLATION COMPLIES WITH ALL APPLICABLE CODES, STANDARDS AND REGULATIONS.
13. GENERATOR IS INSTALLED ON UL-142 RATE DOUBLE WALL SUB-BASE FUEL TANK.

GENSET	TANK P/N	TANK HEIGHT (A)	DESCRIPTION	ASSEMBLY WEIGHT
20REOZK	GM97093-MA1	32.0"	SKID/TANK, 148 GAL	1,823 LBS
20REOZK	GM97093-MA2	41.0"	SKID/TANK, 203 GAL	1,968 LBS
20REOZK	GM97093-MA3	15.0"	SKID/TANK, 53 GAL	1,557 LBS
20REOZK	GM97093-MA4	27.0"	SKID/TANK, 120 GAL	1,745 LBS
30REOZK	GM97093-MA1	32.0"	SKID/TANK, 148 GAL	1,969 LBS
30REOZK	GM97093-MA2	41.0"	SKID/TANK, 203 GAL	2,114 LBS
30REOZK	GM97093-MA3	15.0"	SKID/TANK, 53 GAL	1,703 LBS
30REOZK	GM97093-MA4	27.0"	SKID/TANK, 120 GAL	1,745 LBS



**DIESEL SOUND ENCLOSURE  
WITH LIFT OFF PANEL  
30kW KOHLER DIESEL GENERATOR DETAIL  
NOT TO SCALE**



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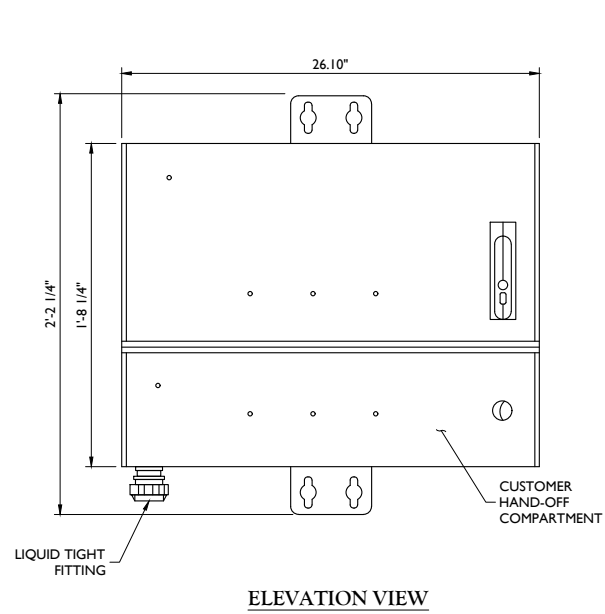
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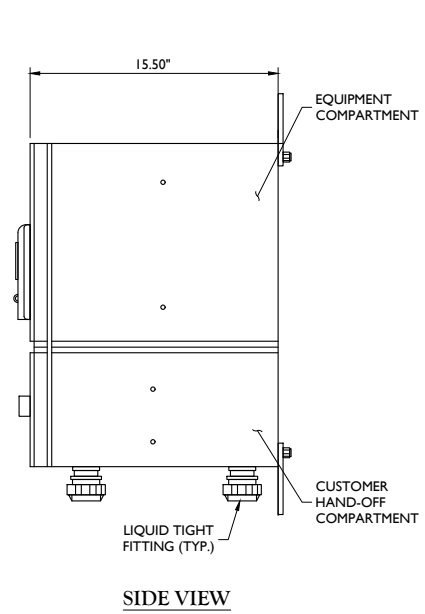
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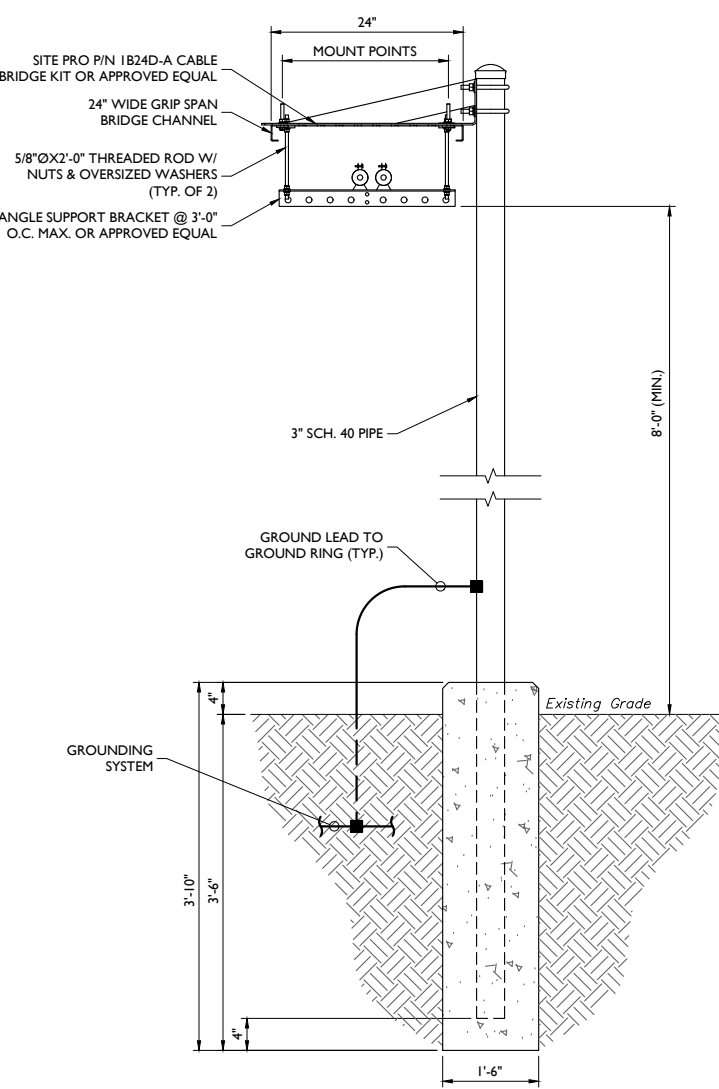


ELEVATION VIEW

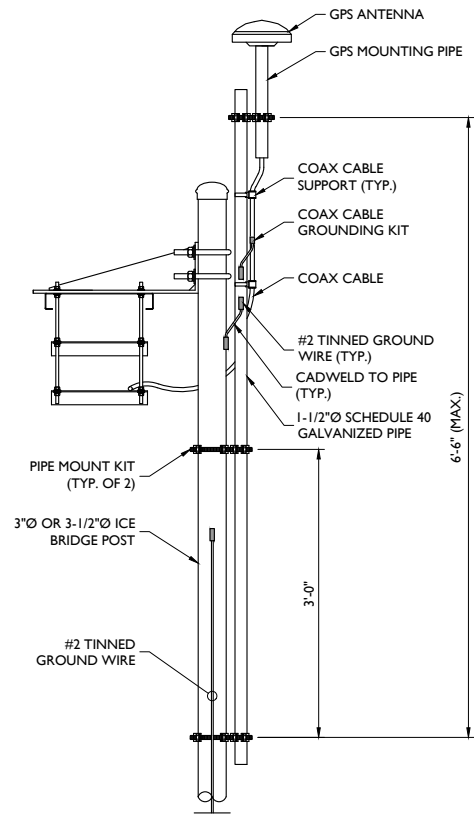


SIDE VIEW

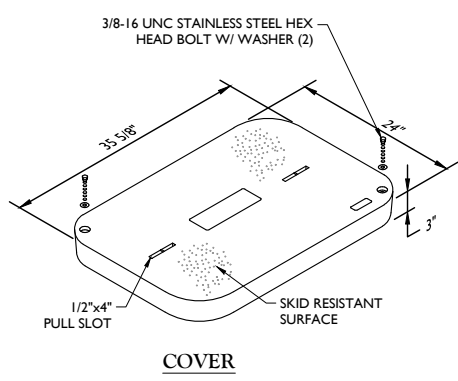
**CHARLES INDUSTRIES RL2000A CUBE**  
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**CABLE BRIDGE DETAIL**  
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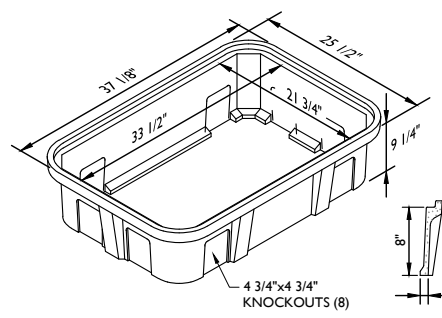


**GPS MOUNTING DETAIL**  
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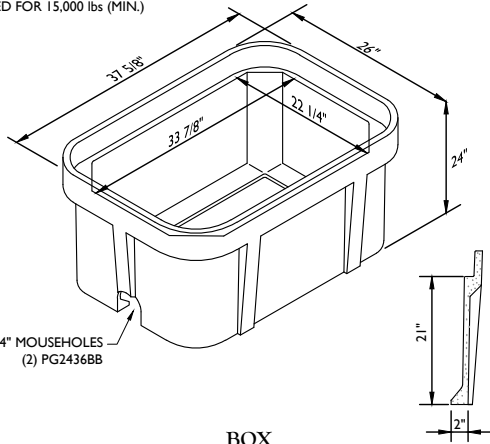


**COVER**

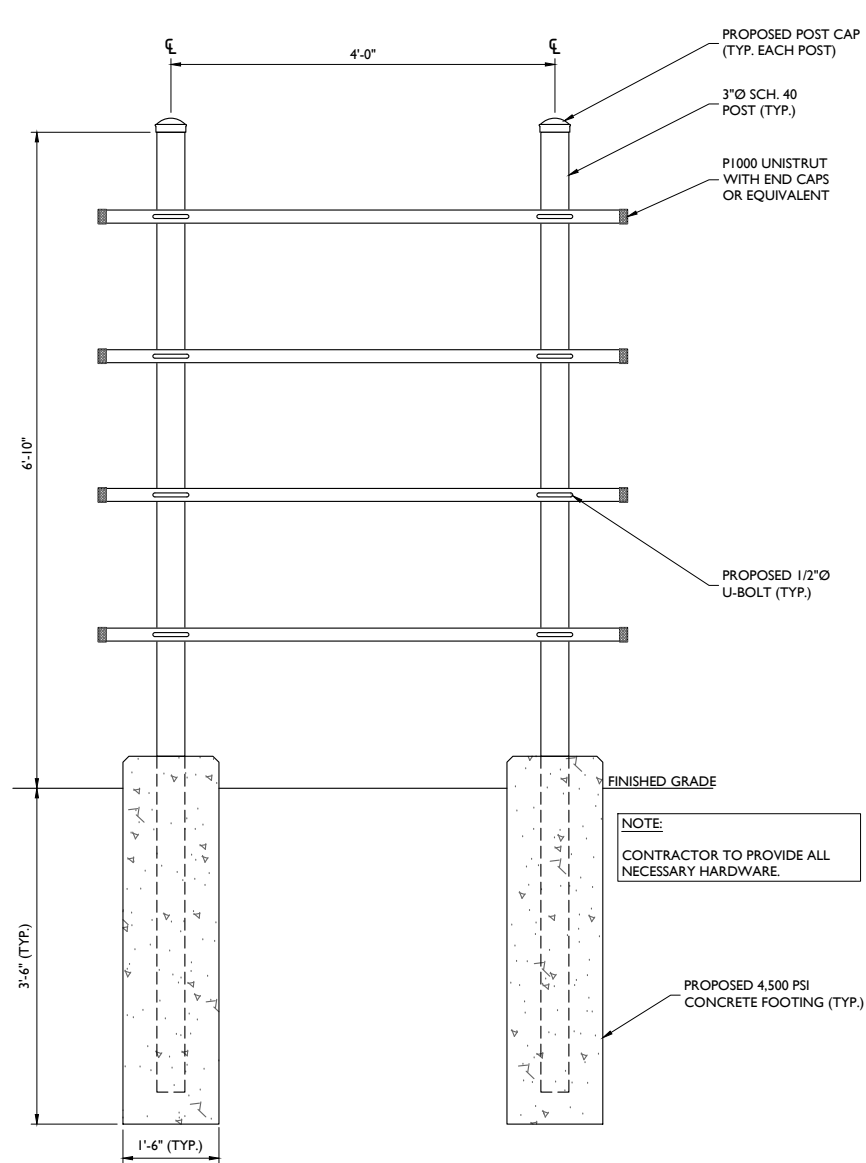
NOTE:  
1. COVER TO BE MADE OF HEAVY DUTY POLYMER CONCRETE AND RATED FOR 15,000 lbs (MIN.)



**EXTENSION**



**PULL BOX DETAIL**  
NOT TO SCALE



**BACKBOARD DETAIL**  
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**verizon**

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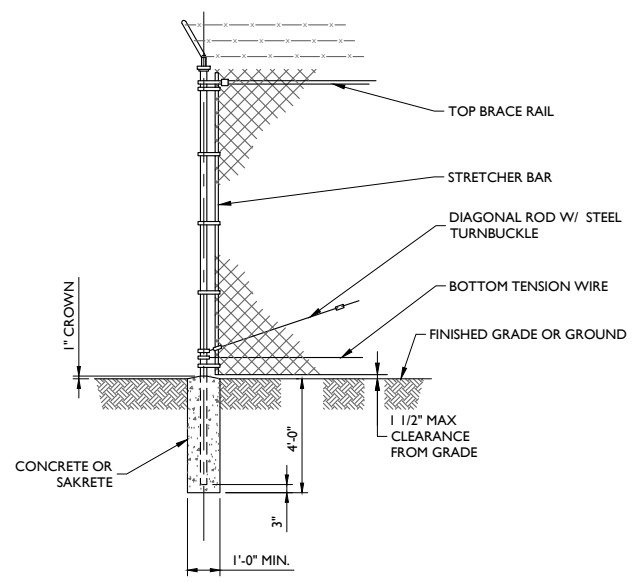
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DELAWARE PROFESSIONAL ENGINEER - LICENSE NUMBER: 19205

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LEWES, DE 19958  
SUSSEX COUNTY

**MASER CONSULTING**  
MT. LAUREL OFFICE  
2000 Midlantic Drive  
Suite 100  
Mount Laurel, NJ 08054  
Phone: 856.797.0412  
Fax: 856.732.1120

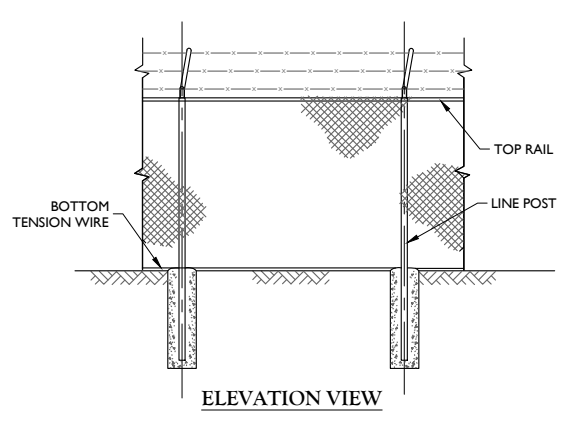
SHEET TITLE:  
**CONSTRUCTION DETAILS**  
SHEET NUMBER:  
**A-5**



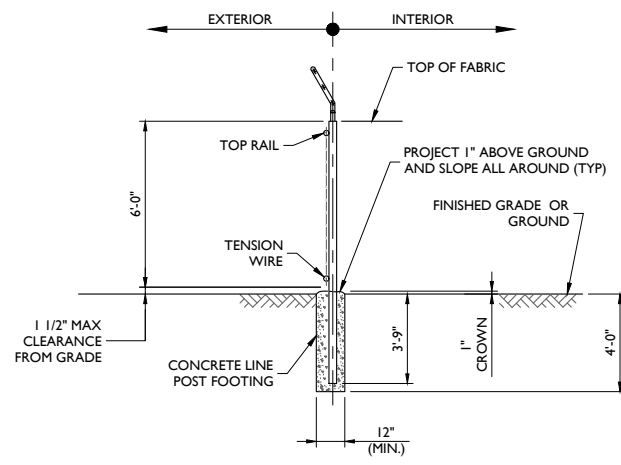
**WOVEN WIRE CORNER, GATE, END, OR PULL POST**  
NOT TO SCALE

**FENCE NOTES:**

- GATE POST, CORNER, TERMINAL OR PULL POST SHALL BE 3"Ø SCHEDULE 40 FOR GATE WIDTHS UP THROUGH 7 FEET OR 14 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.
- LINE POST: 2-3/8"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
- GATE FRAME: 1 1/2"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
- TOP RAIL & BRACE RAIL: 1 1/4"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
- FABRIC: 9 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392 CLASS I.
- TIE WIRE: MINIMUM 11 GA GALVANIZED STEEL INSTALL A SINGLE WRAP TIE WIRE AT POSTS AND RAILS AT MAX. 24" INTERVALS. INSTALL HOG RINGS ON TENSION WIRE AT 24" INTERVALS.
- TENSION WIRE: 7 GA. GALVANIZED STEEL.
- BARBED WIRE: 3 STRANDS OF DOUBLE STRANDED 12-1/2 GAUGE TWISTED WIRE, 4 PT. BARBS SPACED ON APPROXIMATELY 5" CENTERS.
- GATE LATCH: 1-3/8" O.D. PLUNGER ROD W/ MUSHROOM TYPE CATCH AND LOCK.
- LOCAL ORDINANCE FOR BARBED WIRE PERMIT SHALL GOVERN INSTALLATION.
- HEIGHT = 6'-0" VERTICAL DIMENSION WITH 1'-0" BARBED WIRE.
- ALL WORK SHALL CONFORM WITH THE PROJECT SPECIFICATIONS.
- GREEN PRIVACY SLATS TO BE PROVIDED WHERE NOTED ON THE PLANS.

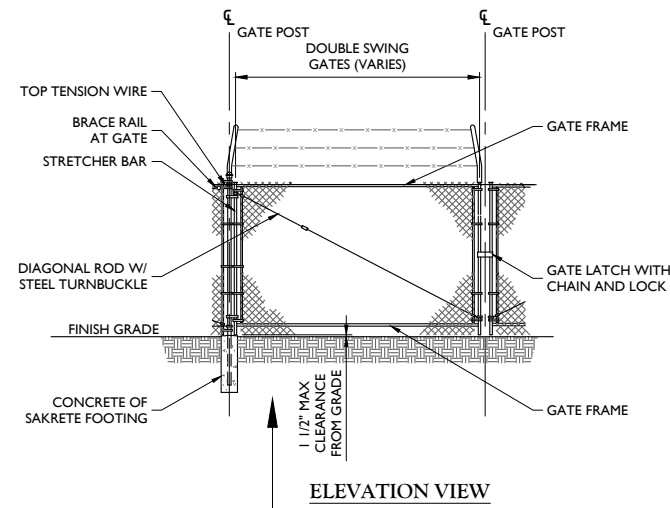


**ELEVATION VIEW**

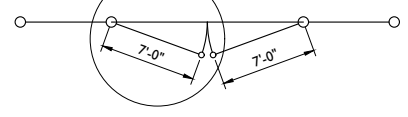


**SECTION VIEW**

**WOVEN WIRE FENCE DETAIL**  
NOT TO SCALE

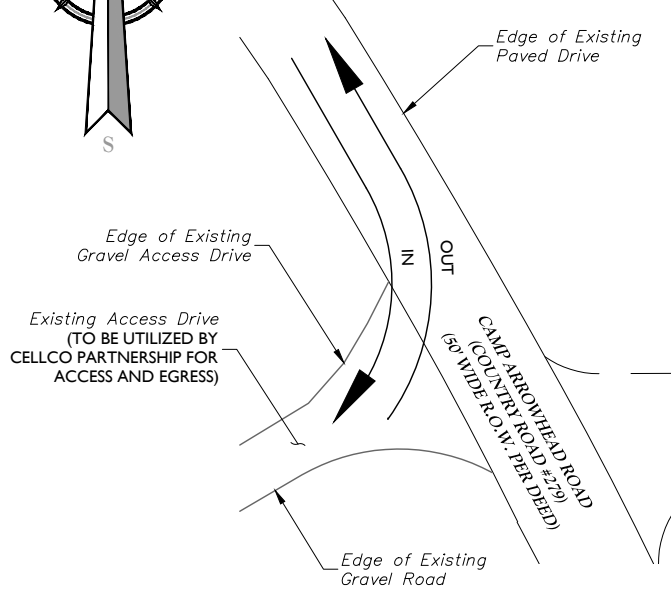
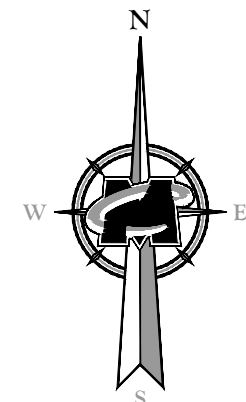


**ELEVATION VIEW**

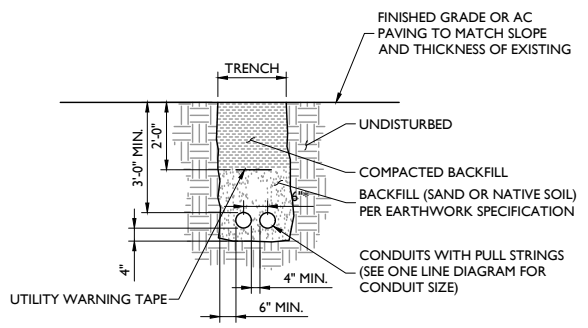
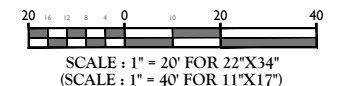


**PLAN VIEW**

**WOVEN WIRE SWING GATE, DOUBLE**  
NOT TO SCALE

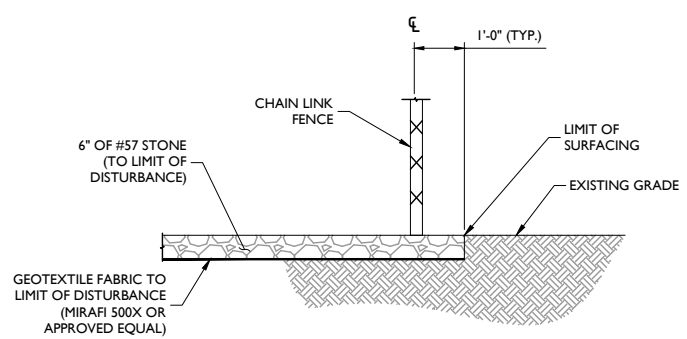


**TRIP GENERATION / DISTRIBUTION DIAGRAM**



**UTILITY CONDUIT RUN**  
NOT TO SCALE

\* SEPARATION DIMENSION TO BE VERIFIED WITH LOCAL UTILITY COMPANY REQUIREMENTS.



**COMPOUND SURFACING**  
NOT TO SCALE

L:\Projects\2021\18960034A\Construction\18960034A-CD-Rev-4.dwg PLS By: MICALBERT





CELLCO PARTNERSHIP d/b/a  
 VERIZON WIRELESS  
 512 TOWNSHIP LINE ROAD  
 BUILDING 2, FLOOR 3  
 BLUE BELL, PA 19422

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SCALE:	JOB NUMBER:			
AS SHOWN	18960034A			
4	11/04/21	FOR CONSTRUCTION	MEG	MPC
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0	12/14/18		SLM	MEG
A	12/14/18	ISSUED FOR REVIEW		MEG
REV		DESCRIPTION	DATE	CHECKED BY

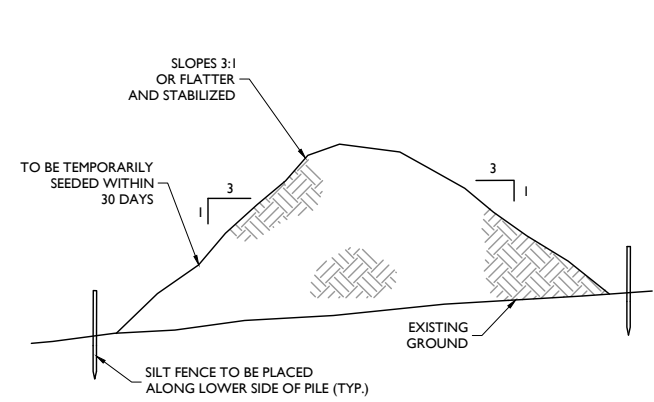


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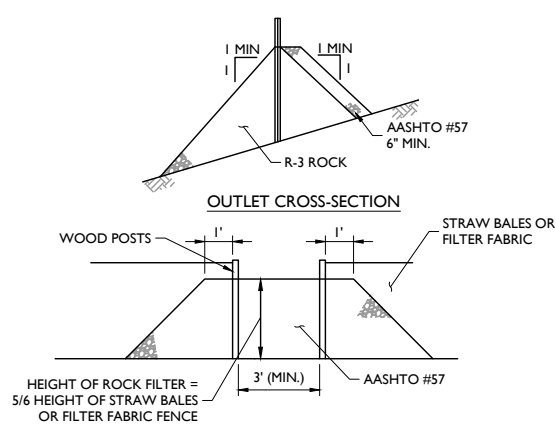
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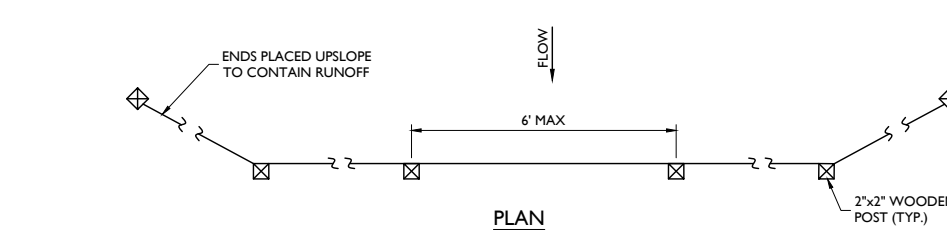
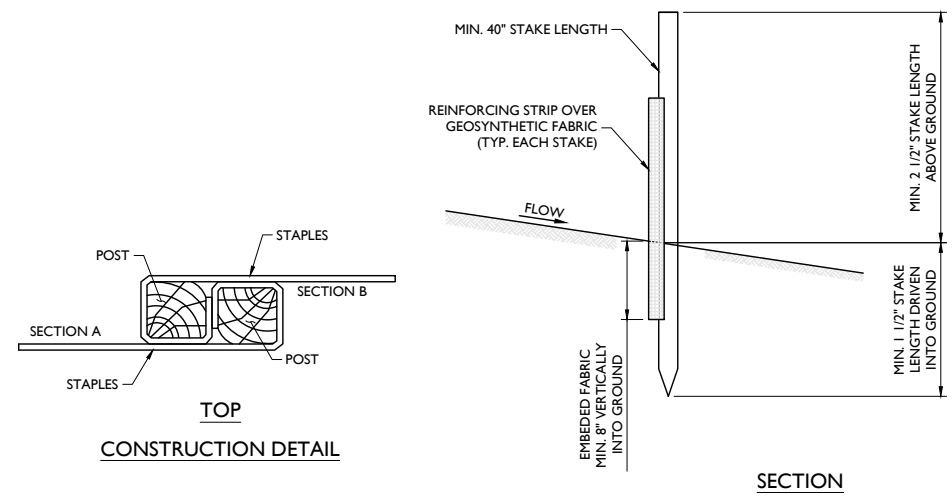
SHEET TITLE:  
**CONSTRUCTION DETAILS**  
 SHEET NUMBER:  
**A-6**



**TOPSOIL STOCKPILE DETAIL**  
 NOT TO SCALE



**ROCK FILTER OUTLET DETAIL**  
 NOT TO SCALE

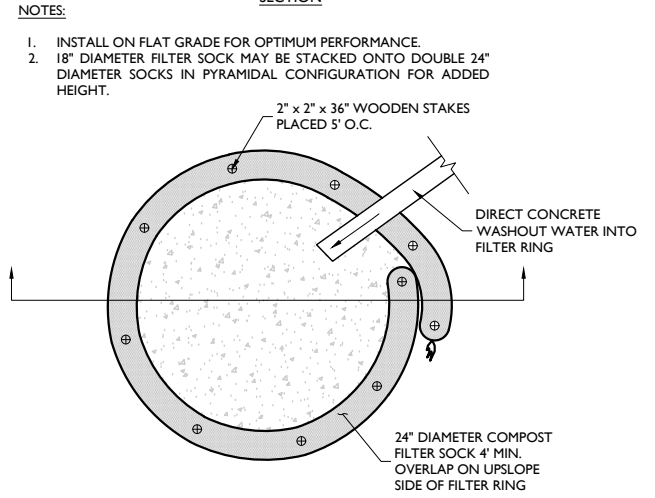
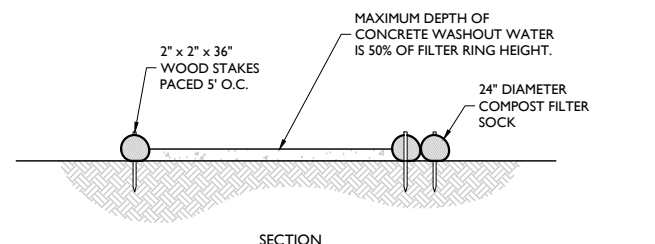


- SILT FENCE MATERIALS**
- STAKES: STEEL (EITHER T OR U) OR 2" X 2" HARDWARE
  - GEOSYNTHETIC FABRIC: TYPE GD-1
  - REINFORCING STRIP: WOODEN LATH, PLASTIC STRIP OR OTHER APPROVED EQUIVALENT
  - PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- CONSTRUCTION NOTES:**
- GEOSYNTHETIC FABRIC TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
  - WHEN TWO (2) SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX (6) INCHES AND FOLDED.
  - SILT FENCE MUST BE INSPECTED ON A REGULAR BASIS. REPAIRS SHOULD BE MADE IMMEDIATELY. ACCUMULATED SEDIMENT SHOULD BE REMOVED WHEN IT HAS REACHED 1/2 THE EXPOSED HEIGHT OF THE FABRIC OR WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**SILT FENCE DETAIL**  
 NOT TO SCALE

- SUSSEX CONSERVATION DISTRICT GENERAL NOTES:**
- THE DNREC, SEDIMENT AND STORMWATER PROGRAM (OR DELEGATED AGENCY) MUST BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
  - REVIEW AND OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
  - IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY DNREC OR THE DELEGATED AGENCY.
  - FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER SEDIMENT CONTROLS, SOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
  - ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
  - AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHALL BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
  - APPROVAL OF A SEDIMENT AND STORMWATER MANAGEMENT PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
  - THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
  - BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7, DEL. C. CH 60, REGULATIONS GOVERNING THE CONTROL OF WATER POLLUTION, SECTION 9.1.02, KNOWN AS SPECIAL CONDITIONS FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, AND DEPARTMENT POLICIES, PROCEDURES, AND GUIDANCE.

- NOTES:**
- CONCRETE WASHOUTS ARE REQUIRED ON ALL CONSTRUCTION SITES INVOLVING CONCRETE AND STUCCO USE.
  - THE CONTRACTOR SHALL REQUIRE ALL CONCRETE DRIVERS TO UTILIZE THE CONCRETE WASHOUTS ONSITE.
  - WASHOUT FACILITIES SHALL BE LOCATED AT LEAST 50 YARDS AWAY FROM STORM SEWER DRAIN INLETS, GUTTERS, OPEN DITCHES, AND WATER COURSES.
  - APPROPRIATE STONE SHOULD COVER PATHS TO CONCRETE WASHOUT.
  - THE NUMBER OF CONCRETE WASHOUTS DEPENDS ON THE EXPECTED DEMAND FOR STORAGE CAPACITY. LARGE SITES WITH EXTENSIVE CONCRETE WORK SHALL BE PLACED AT MULTIPLE LOCATIONS FOR USE BY CONCRETE TRUCK DRIVERS.
  - CONCRETE WASHOUT AREAS SHALL BE IDENTIFIED BY POSTING SIGNS ONSITE.
  - CONCRETE WASHOUTS ARE TO BE INSPECTED DAILY BY THE CONTRACTOR FOR LEAKS OR TEARS IN PLASTIC LINER.
  - REMOVE AND DISPOSE OF ALL MATERIAL WHEN THE WASHOUT HAS BEEN FILLED TO 75% CAPACITY.
  - PRIOR TO ANY RAINFALL, ALL CONCRETE WASHOUTS ARE TO BE CLEANED OUT OR COVERED.
  - ONCE THE MATERIAL HAS BEEN CLEANED OUT OF THE CONCRETE WASHOUT FACILITY, THE FACILITY MUST BE INSPECTED FOR REPAIR, RECONSTRUCTION OR REPLACEMENT. ALL PLASTIC LINING SHALL BE REMOVED AND REPLACED.
  - PRE-FABRICATED OR ONSITE FABRICATED CONCRETE WASHOUTS MAY BE USED.
  - OPTIONS FOR ONSITE CONCRETE WASHOUTS:
    - DIG A PIT AND LINE WITH 10 MIL PLASTIC SHEETING.
    - CREATE AN ABOVE-GROUND STRUCTURE FROM STRAW BALES OR SANDBAGS, WITH 10 MIL PLASTIC LINING.



**CONCRETE WASHOUT DETAIL**  
 NOT TO SCALE





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A	12/14/18 FOR CONSTRUCTION MEG
REV	DESCRIPTION CHECKED BY

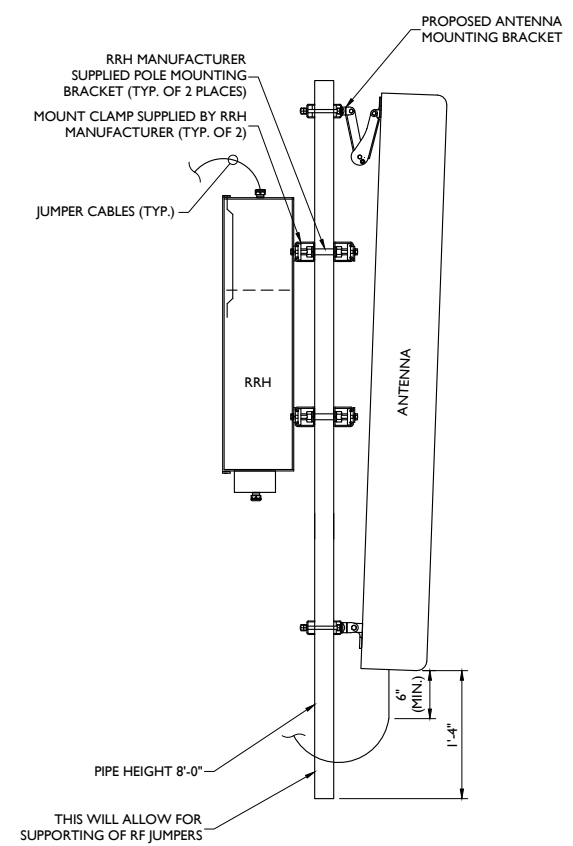
**MICHAEL P. CLEARY**  
 DELAWARE PROFESSIONAL  
 ENGINEER - LICENSE NUMBER: 19265  
 PROFESSIONAL ENGINEER  
 STATE OF DELAWARE

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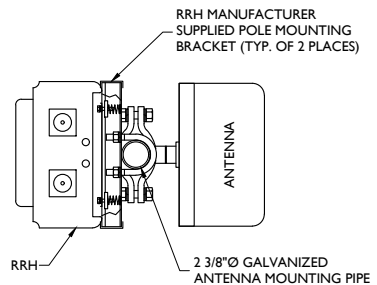
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SHEET TITLE:  
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**A-8**



**ELEVATION VIEW**



**PLAN VIEW**

**ANTENNA MOUNTING DETAIL**  
 NOT TO SCALE

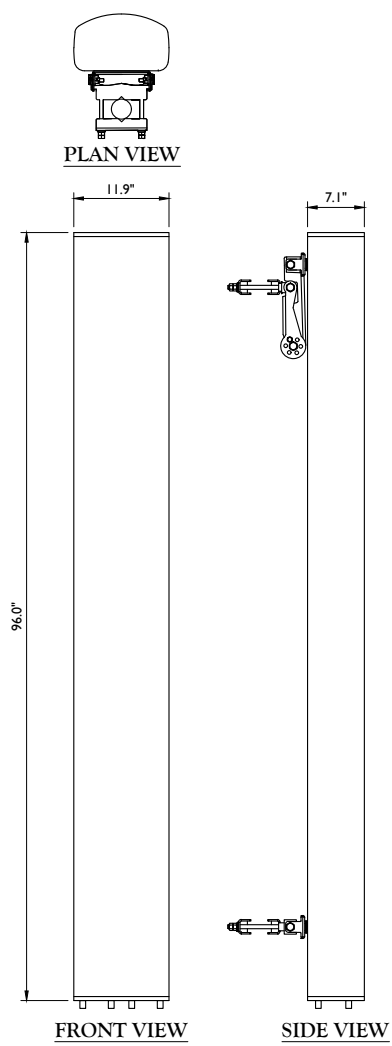


**L-810 (SINGLE)**      **L-810 (DOUBLE)**

**LIGHTING NOTES:**

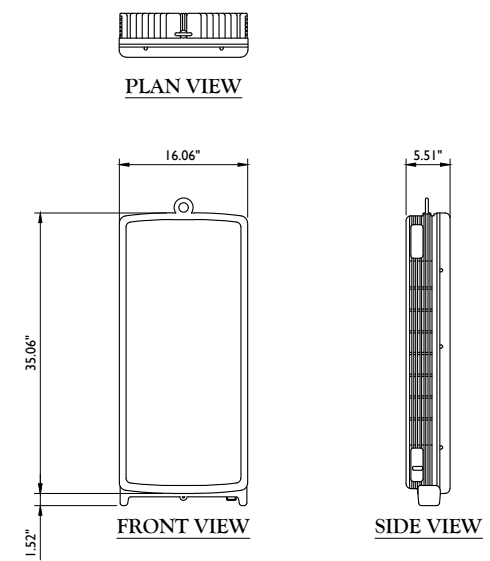
- LIGHTING MODELS ARE TO BE FAA COMPLIANT.
- L-810 LIGHTS TO BE STEADY BURNING AND RED.
- LIGHTS TO BE MOUNTED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

**FAA LIGHTING DETAIL**  
 NOT TO SCALE



**FRONT VIEW**      **SIDE VIEW**

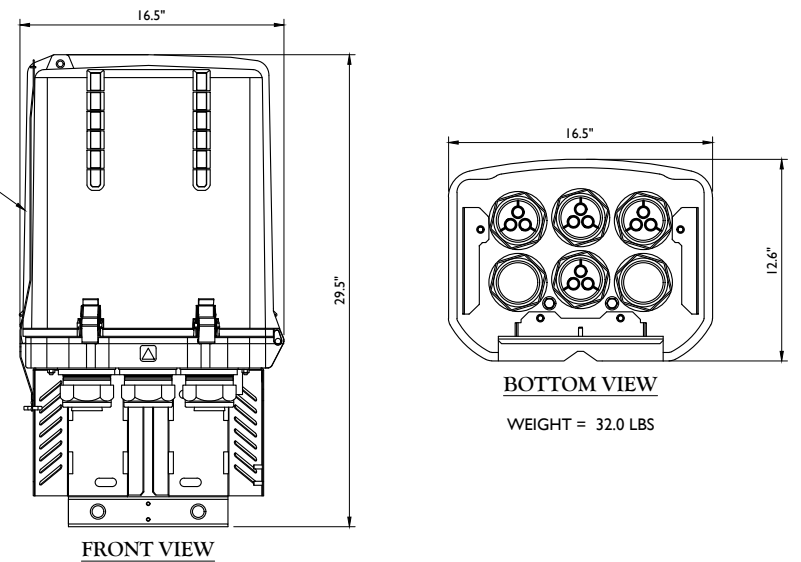
WEIGHT = 51.6 LBS  
 WITH WITH BRACKETS = 64.9 LBS  
**COMMSCOPE NHH-65C-R2B**  
 NOT TO SCALE



**PLAN VIEW**      **FRONT VIEW**      **SIDE VIEW**

WEIGHT = 81.57 LBS  
**SAMSUNG MT6407-77A**  
 NOT TO SCALE

DC SURGE PROTECTION BOX  
 (RAYCAP RVZDC-6627-PF-48)

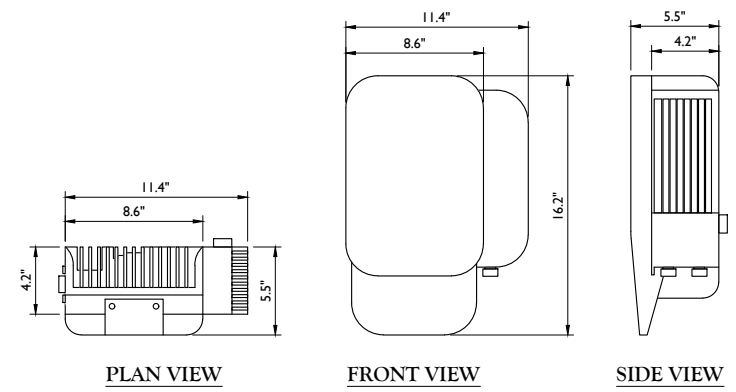


**FRONT VIEW**

**BOTTOM VIEW**

WEIGHT = 32.0 LBS

**RAYCAP RVZDC-6627-PF-48**  
**SURGE PROTECTION**  
 NOT TO SCALE

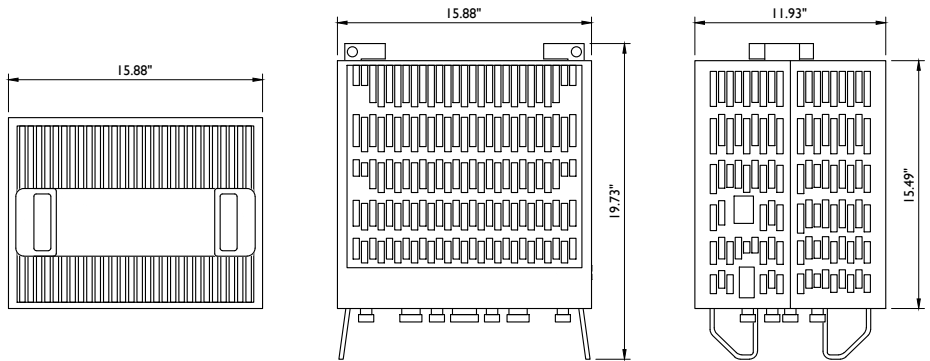


**PLAN VIEW**

**FRONT VIEW**

**SIDE VIEW**

WEIGHT:  
 AC-DC: 5.51 LBS  
 RADIO: 18.65 LBS  
 ANTENNA: 4.5 LBS  
**SAMSUNG CBRs RT4401-48A**  
**WITH AC TO DC ADAPTER RRH DETAIL**  
 NOT TO SCALE

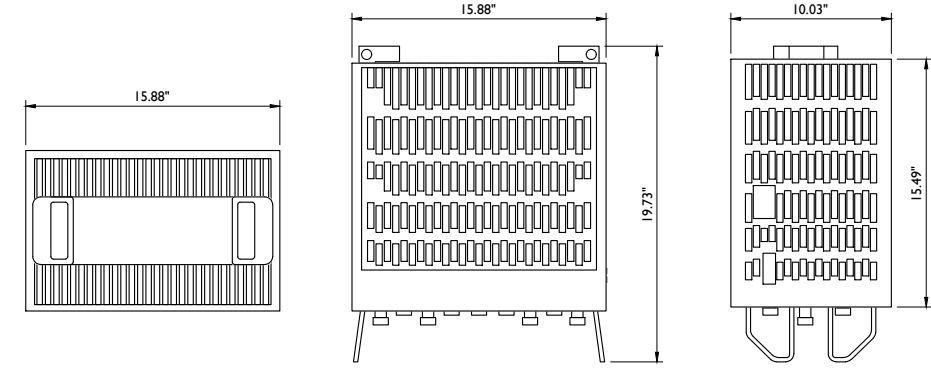


**PLAN VIEW**

**FRONT VIEW**

**SIDE VIEW**

WEIGHT = 84.4 LBS  
**SAMSUNG RFV01U-D1A (AWS/PCS) RRH**  
**WITH FINGER GUARD DETAIL**  
 NOT TO SCALE



**PLAN VIEW**

**FRONT VIEW**

**SIDE VIEW**

WEIGHT = 70.3 LBS  
**SAMSUNG RFV01U-D2A (700/850) RRH**  
**WITH FINGER GUARD DETAIL**  
 NOT TO SCALE

**Antenna Summary**

Added															
700	850	1900	AWS	AWS3	CBRS	L-Sub6	Make	Model	Centerline	Tip Height	Azimuth	RET	4xRx	Inst. Type	Quantity
LTE	LTE 5G	LTE	LTE	LTE			COMMSCOPE	NHH-65C-R2B	145	149	20(0001) 20(01) 140(0002) 140(02) 260(0003) 260(03)	false	false	PHYSICAL	6
					LTE		SAMSUNG	XXDWMM-12.5-65-8T-CBRS Port1 3550 8DT	145	145.5	20(19) 140(20) 260(21)	false	false	PHYSICAL	3
					5G		Samsung	MT6407-77A	145	146.5	20(0001) 140(0002) 260(0003)	false	false	PHYSICAL	3

Removed															
700	850	1900	AWS	AWS3	CBRS	L-Sub6	Make	Model	Centerline	Tip Height	Azimuth	RET	4xRx	Inst. Type	Quantity
No data available.															

Retained															
700	850	1900	AWS	AWS3	CBRS	L-Sub6	Make	Model	Centerline	Tip Height	Azimuth	RET	4xRx	Inst. Type	Quantity
No data available.															

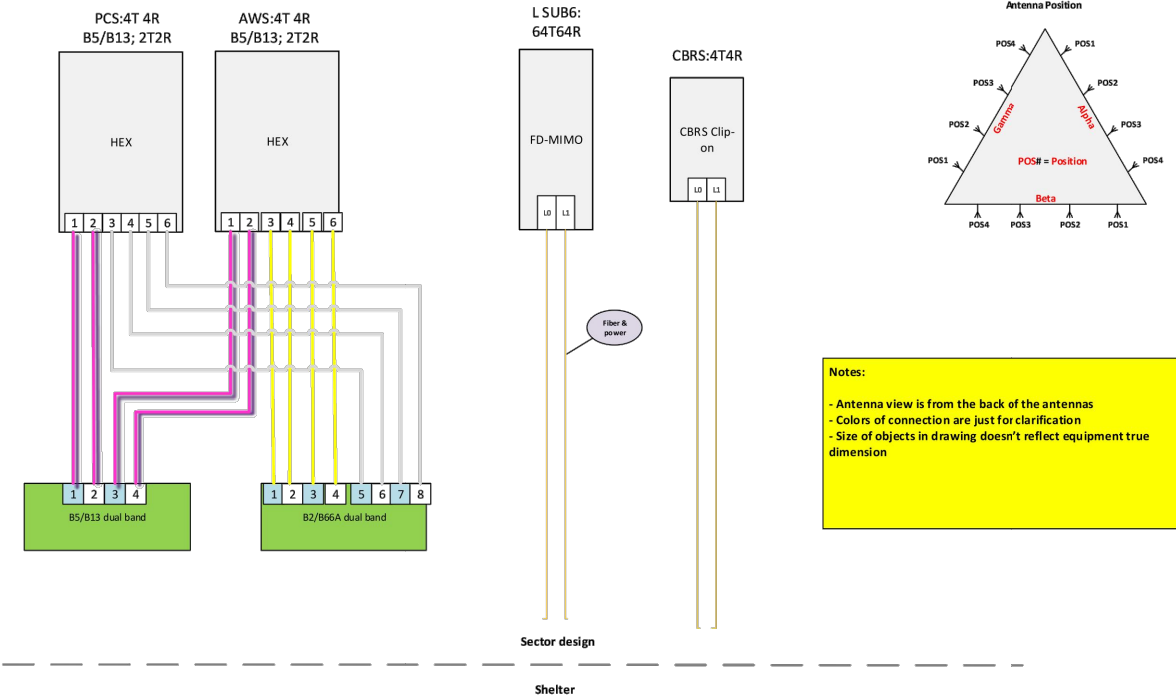
Added: 12      Removed: 0      Retained: 0

**Equipment Summary**

Added														
Equipment Type	Location	700	850	1900	AWS	AWS3	CBRS	L-Sub6	Make	Model	Cable Length	Cable Size	Install Type	Quantity
OVP Box	Tower								N/A	12 OVP			PHYSICAL	1
Hybrid Cable	Tower								N/A	6x12 Hybridflex			PHYSICAL	2
RRU	Tower						LTE		Samsung	CBRS RRH - RT4401-48A			PHYSICAL	3
RRU	Tower						5G		Samsung	MT6407-77A			PHYSICAL	3
RRU	Tower			LTE	LTE	LTE			Samsung	RF4439d-25A			PHYSICAL	3
RRU	Tower	LTE	LTE	5G					Samsung	RF4440d-13A			PHYSICAL	3
BBU	Shelter								Samsung	CDU30			PHYSICAL	1
BBU	Shelter								Samsung	FSU30			PHYSICAL	1
LCC4	Shelter								Samsung	LCC4			PHYSICAL	3
LMD1	Shelter								Samsung	LMD1			PHYSICAL	1
BBU	Shelter								Samsung	vDU			PHYSICAL	2

Removed														
Equipment Type	Location	700	850	1900	AWS	AWS3	CBRS	L-Sub6	Make	Model	Cable Length	Cable Size	Install Type	Quantity
No data available.														

Retained														
Equipment Type	Location	700	850	1900	AWS	AWS3	CBRS	L-Sub6	Make	Model	Cable Length	Cable Size	Install Type	Quantity
No data available.														



**RF PLUMBING DIAGRAM**

**ANTENNA SCHEDULE**



CELLCO PARTNERSHIP d/b/a  
VERIZON WIRELESS  
512 TOWNSHIP LINE ROAD  
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1	02/06/19	FOR CONSTRUCTION	SLM	MPC
0	12/14/18		SLM	MEG
A	12/14/18	ISSUED FOR REVIEW		MEG
REV		DESCRIPTION	DATE	CHECKED BY

**MICHAEL P. CLEARY**  
DELAWARE PROFESSIONAL ENGINEER - LICENSE NUMBER: 19265

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SHEET TITLE:  
**CONSTRUCTION DETAILS**

SHEET NUMBER:  
**A-9**



CELLCO PARTNERSHIP d/b/a  
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0	12/14/18		SLM	MEG
A	12/14/18	ISSUED FOR REVIEW	MEG	
REV.		DESCRIPTION	DATE	CHECKED BY

PROFESSIONAL ENGINEER  
  
 MICHAEL P. CLEARY  
 DELAWARE PROFESSIONAL ENGINEER - LICENSE NUMBER: 19265

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LEWES, DE 19958  
SUSSEX COUNTY

MT. LAUREL OFFICE  
2000 Midlantic Drive  
Suite 100  
Mount Laurel, NJ 08054  
Phone: 856.797.0412  
Fax: 856.722.1120

SHEET TITLE:  
CONSTRUCTION DETAILS

SHEET NUMBER:  
A-10

### VZW – 6X12 Fiber Color Code

Power Pair	Identification color	-48V	RTN
X1	Blue		
X2	Violet		
X3	Green		
X4	Brown		
X5	Yellow		
X6	White		

Power CC      6-Primary Fiber Pairs CC      6-Spare Fiber Pairs CC

Note- ME has worked with all of our approved hybrid partners to migrate all products to the above color code. As you can see from the above we have matching power and fiber color codes. This will help ease of installation and troubleshooting.

### RVZDC-6627-PF-48

Power Pair	Identification color	RTN	-48V
X1	Blue		
X2	Violet		
X3	Green		
X4	Brown		
X5	Yellow		
X6	White		

OVP - 1	700/850 Alpha
OVP - 2	700/850 Beta
OVP - 3	700/850 Gamma
OVP - 4	FUTURE Alpha
OVP - 5	FUTURE Beta
OVP - 6	FUTURE Gamma

Power Pair	Identification color	RTN	-48V
X1	Blue		
X2	Violet		
X3	Green		
X4	Brown		
X5	Yellow		
X6	White		

OVP - 7	AWS1/PCS Alpha
OVP - 8	AWS1/PCS Beta
OVP - 9	AWS1/PCS Gamma
OVP - 10	AWS3/PCS Alpha
OVP - 11	AWS3/PCS Beta
OVP - 12	AWS3/PCS Gamma

### VZW – 6X12 Alarming Color Code

Conductor Pair	Main Color	Identification Stripe Color
Pair 1	Black	White
Pair 2	Orange	Black
Pair 3	Green	Black
Pair 4	Yellow	Black
Pair 5	Red	Black
Pair 6	Blue	Black
Pair 7	Black	Blue
Pair 8	Black	Orange
Pair 9	White	Black

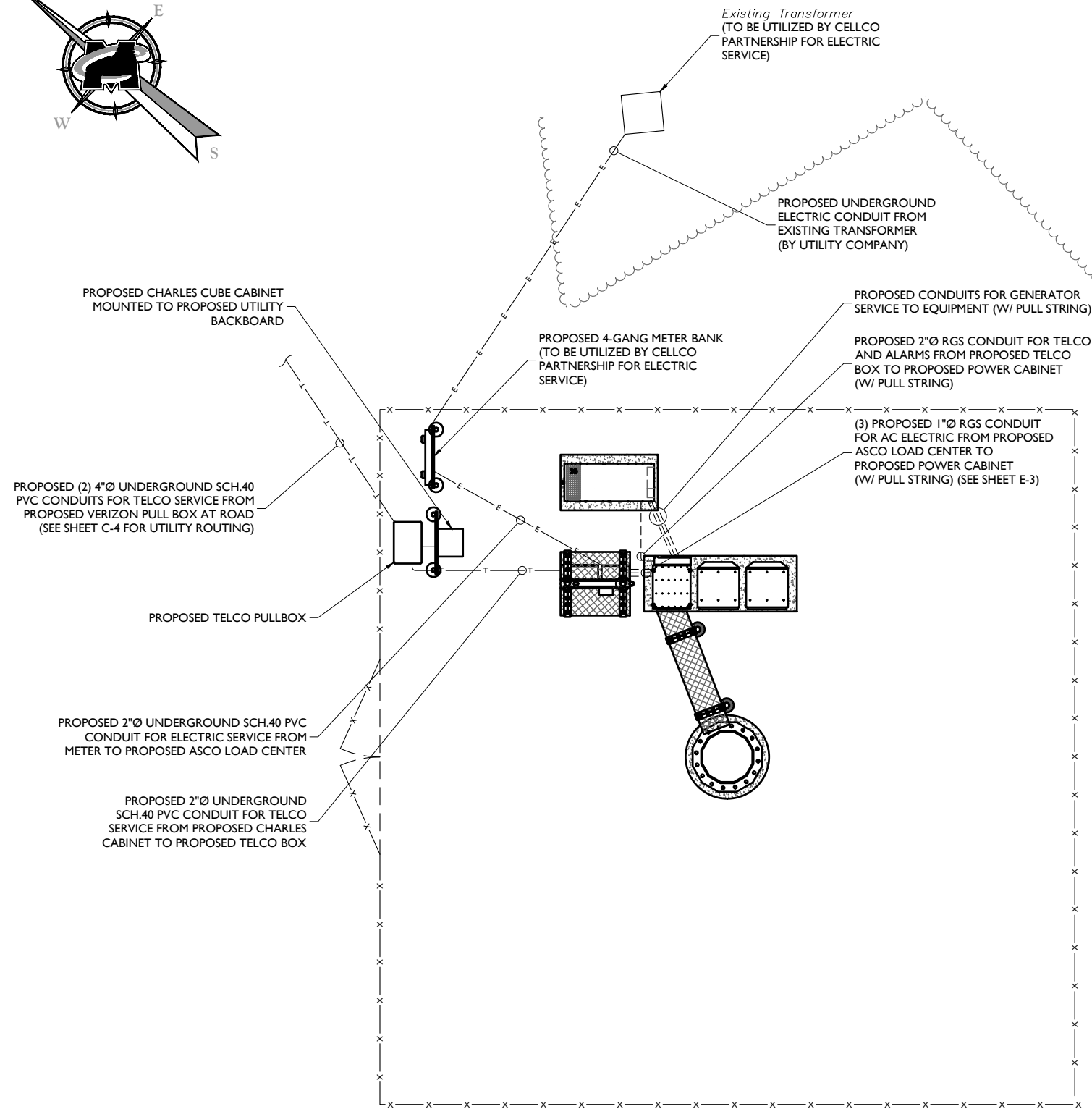
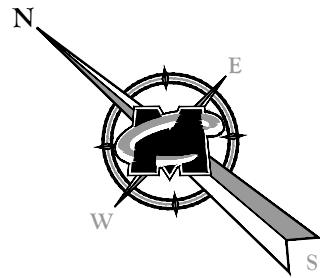
48V Power Conductors      0V Power Conductors      Twisted Pair Alarm Conductors

Based on the following national standard: ANSI/TIA/EIA 598-A, Optical Fiber Cable Color Coding

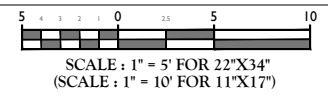
Alarming Order      Alarming Color Code

Note- ME has worked with all of our approved hybrid partners to migrate all products to the above color code. This will help ease of installation and troubleshooting.

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**COMPOUND UTILITY PLAN**



**LEGEND**

- x—x— Existing Chain Link Fence
- Existing Features
- PROPOSED FEATURES
- T/E— PROPOSED UNDERGROUND ELECTRIC/TELCO UTILITY LINES
- T— PROPOSED UNDERGROUND TELEPHONE/TELCO UTILITY LINE
- E— PROPOSED UNDERGROUND ELECTRIC UTILITY LINE
- PROPOSED ABOVE GROUND UTILITIES
- PROPOSED UNDERGROUND UTILITIES

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 BLUE BELL, PA 19422

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4	11/04/21	FOR CONSTRUCTION	MEG	MPC
3	09/14/21	FOR CONSTRUCTION	AF	MEG
2	07/03/19	FOR CONSTRUCTION	MEG	MPC
1	02/06/19	FOR CONSTRUCTION	SLM	MPC
0	12/14/18		SLM	MEG
A	12/14/18	ISSUED FOR REVIEW		MEG
REV.	DATE	DESCRIPTION	BY	CHECKED

**MICHAEL P. CLEARY**  
 DELAWARE PROFESSIONAL ENGINEER - LICENSE NUMBER: 19765

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 2000 Midlantic Drive  
 Suite 100  
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 Phone: 856.797.0412  
 Fax: 856.722.1120

SHEET TITLE:  
 UTILITY PLAN

SHEET NUMBER:  
 E-1

L:\Projects\2021\18960034\18960034.dwg 11/04/21 10:41:12 AM HGA/LAB/ANT





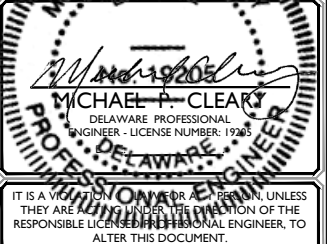
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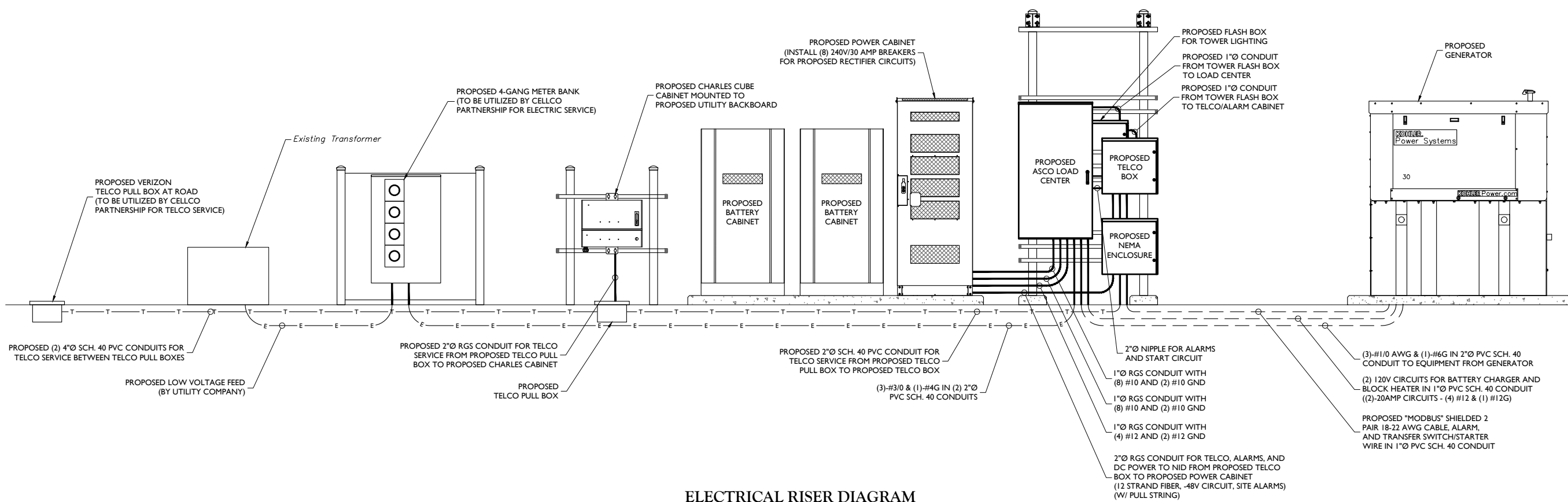
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Mount Laurel, NJ 08054  
Phone: 856.797.0412  
Fax: 856.722.1120

SHEET TITLE:  
ELECTRICAL RISER DIAGRAM

SHEET NUMBER:  
E-3

NOTE:  
ALL ABOVE GROUND CONDUITS TO BE RGS. ALL BELOW GROUND CONDUITS TO BE SCH. 40 PVC. CONTRACTOR TO DETERMINE PROPER TRANSITION BETWEEN SCH. 40 PVC AND RGS CONDUIT.



ELECTRICAL RISER DIAGRAM  
NOT TO SCALE

LEGEND

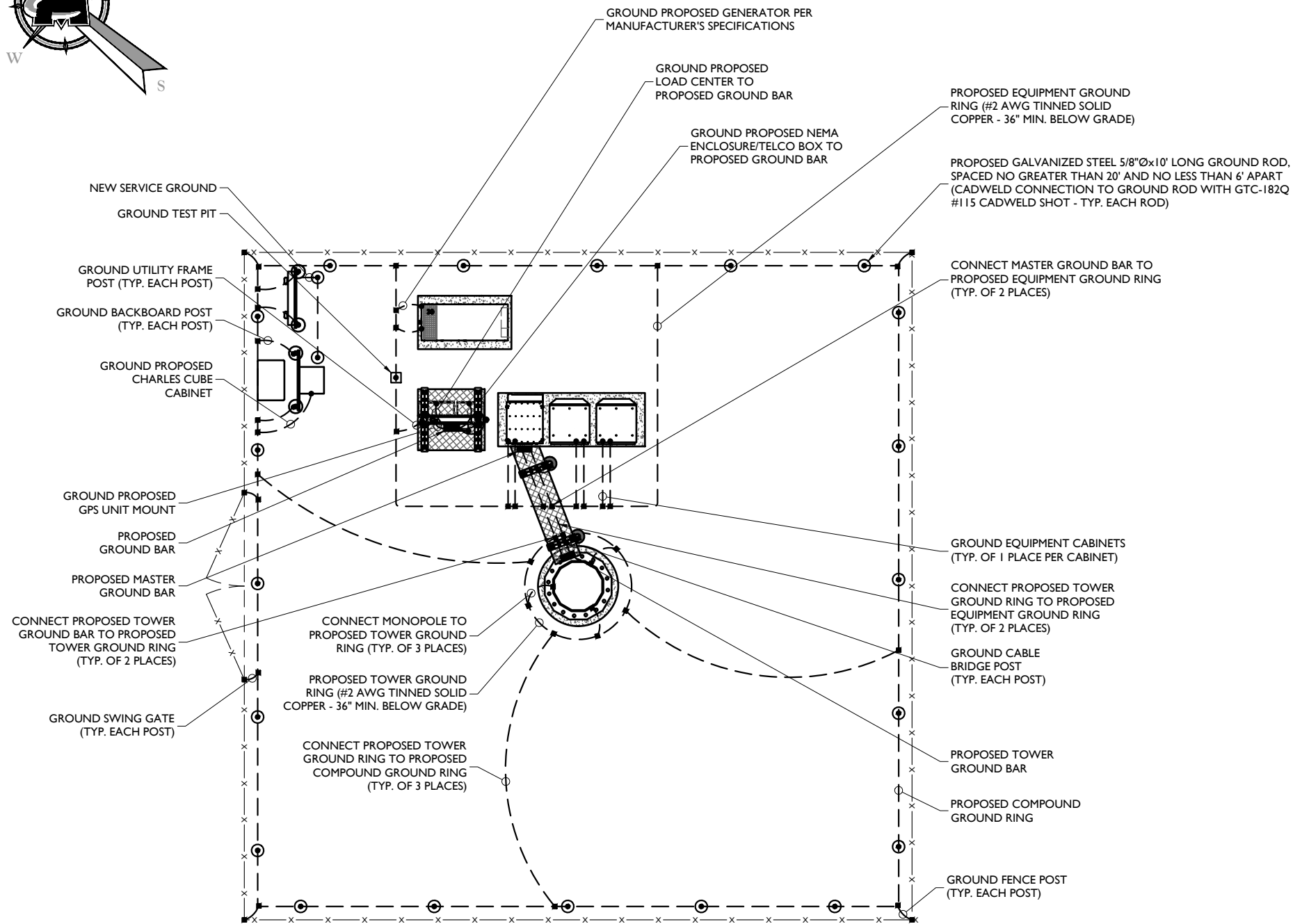
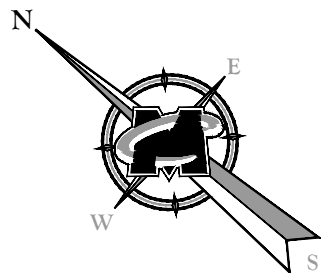
	Existing Features
	PROPOSED FEATURES
	PROPOSED TELEPHONE/TELCO UTILITY LINE
	PROPOSED ELECTRIC UTILITY LINE
	PROPOSED UNDERGROUND UTILITIES
	PROPOSED ABOVE GROUND UTILITIES

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**GROUNDING NOTES:**

- ALL DOWN CONDUCTORS AND GROUND RING CONDUCTOR SHALL BE #2 AWG, SOLID, BARE, TINNED COPPER, UNLESS OTHERWISE NOTED. ALL CONNECTIONS TO GROUND RING SHALL BE EXOTHERMICALLY WELDED. CONDUCTOR SHALL BE AT A MINIMUM DEPTH BELOW GRADE OF 36 INCHES OR TO LEDGE. MINIMUM BEND RADIUS SHALL BE 8 INCHES. CONDUCTOR SHALL BE AT LEAST 24 INCHES FROM ANY FOUNDATION, UNLESS OTHERWISE NOTED.
- GROUND RODS SHALL BE 5/8" DIAMETER GALVANIZED STEEL, HARGER, T&B, ERICO, OR EQUIVALENT. TOP OF ROD SHALL BE A MINIMUM OF 36" BELOW GRADE.
- WHERE MECHANICAL CONNECTIONS ARE SPECIFIED, BOLTED, COMPRESSION-TYPE, CLAMPS OR SPLIT-BOLT TYPE CONNECTORS SHALL BE USED.
- INSTALL GROUNDING KITS AT ANTENNA CENTERLINE. GROUND COAX LINES. EXOTHERMICALLY WELD #2 DOWN CONDUCTOR TO PLATES, RUN DOWN BUILDING AND TIE INTO GROUNDING SYSTEM.
- ALL GROUNDING WORK SHALL COMPLY WITH VERIZON WIRELESS SPECIFICATIONS AND STANDARDS. FOLLOWING COMPLETION OF WORK, GROUND SYSTEM MUST BE TESTED AND SHALL HAVE A RESISTANCE OF 5 OHMS OR LESS (SUBMIT AN INDEPENDENT "FALL POTENTIAL" TESTING REPORT).
- CONTRACTOR SHALL HAND-DIG IN AREAS AROUND EXISTING UTILITIES.
- NOTIFY CONSTRUCTION MANAGER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.
- GROUNDING RING IS SHOWN AS SCHEMATIC ONLY. IT IS DESIGNED WITHOUT BENEFIT OF RESISTIVITY TESTING AND DOES NOT NECESSARILY REPRESENT A GROUNDING SYSTEM TO MEET ANY SPECIFIC GROUND RESISTANCE.



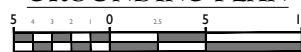
**LEGEND**

- x—x— Existing Chain Link Fence
- Existing Features
- PROPOSED FEATURES

**GROUNDING LEGEND**

- Existing Grounding
- COPPER GROUND BAR
- EXOTHERMIC WELD CONNECTION
- COMPRESSION FITTING GROUND CONNECTION
- GROUND ROD
- GROUND TEST PIT
- PROPOSED GROUNDING

**GROUNDING PLAN**



SCALE: 1" = 5' FOR 22"X34"  
(SCALE: 1" = 10' FOR 11"X17")



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0	12/14/18		SLM	MEG
A	12/14/18	ISSUED FOR REVIEW		MEG
REV		DESCRIPTION	DATE	CHECKED BY

**MICHAEL P. CLEARY**  
DELAWARE PROFESSIONAL ENGINEER - LICENSE NUMBER: 19265

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SHEET TITLE:  
**GROUNDING PLAN**  
SHEET NUMBER:  
**G-1**



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A	12/14/18	ISSUED FOR REVIEW		MEG
REV.	DATE	DESCRIPTION	BY	CHECKED BY

*Michael P. Cleary*  
**MICHAEL P. CLEARY**  
 DELAWARE PROFESSIONAL ENGINEER - LICENSE NUMBER: 19265

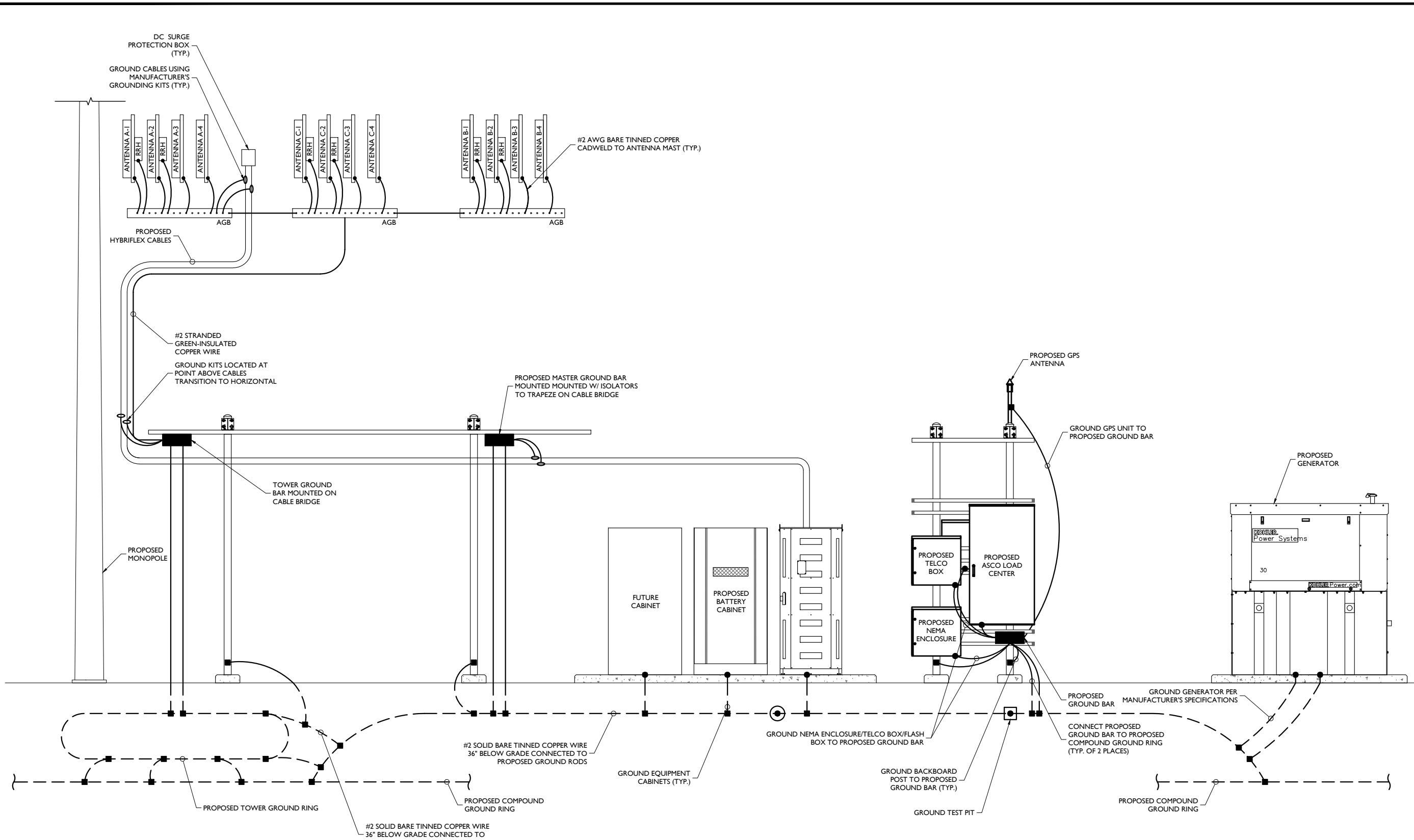
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SHEET TITLE:  
**GROUNDING RISER DIAGRAM**

SHEET NUMBER:  
**G-3**

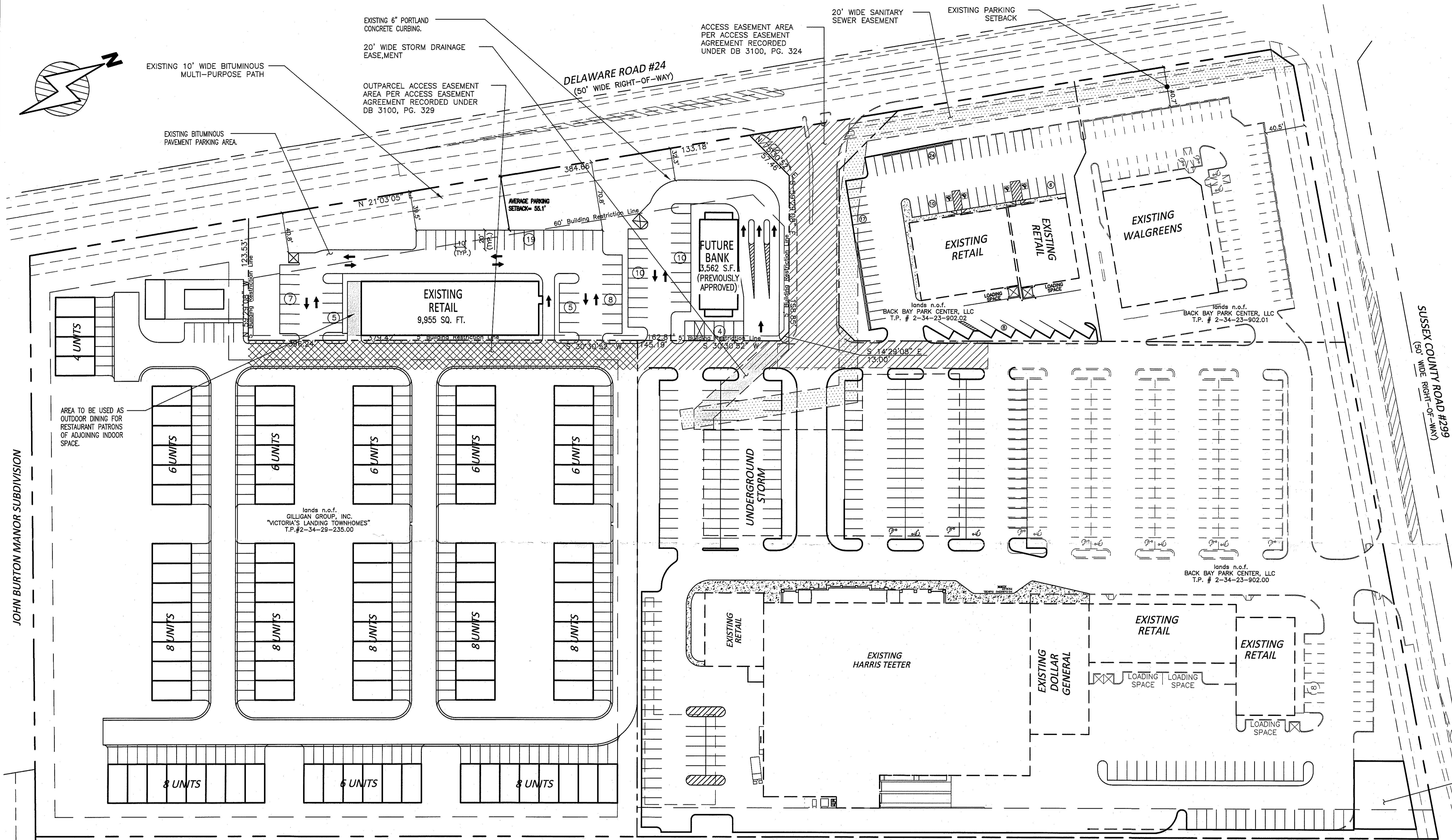
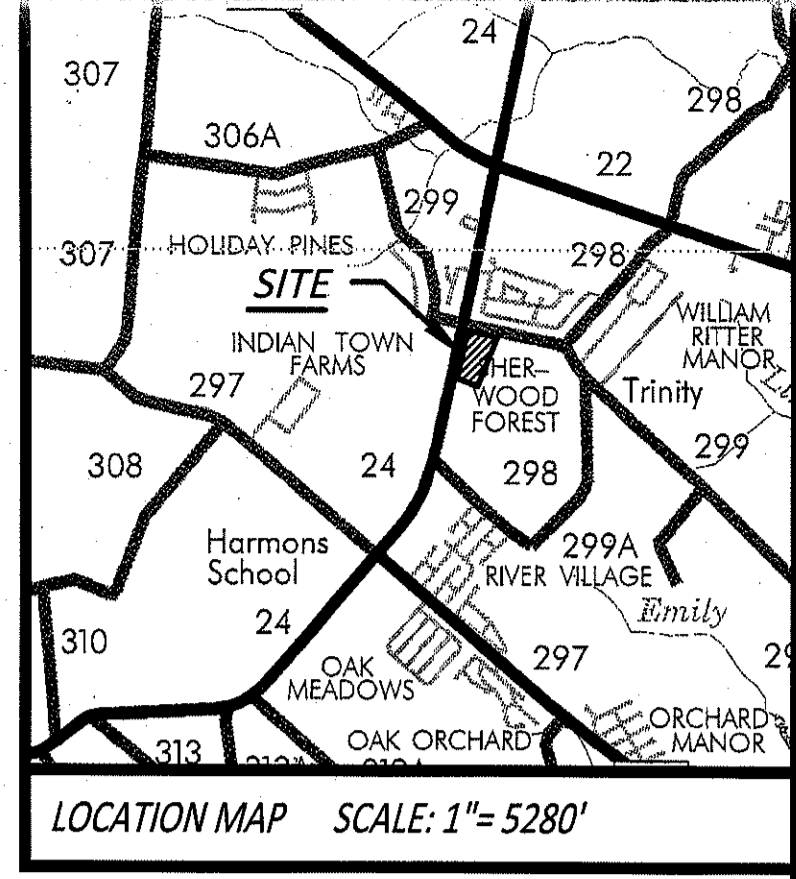


**GROUNDING RISER DIAGRAM**  
 NOT TO SCALE

**LEGEND**

	Existing Features
	PROPOSED FEATURES
	Existing Grounding
	COPPER GROUND BAR
	EXOTHERMIC WELD CONNECTION
	COMPRESSION FITTING GROUND CONNECTION
	GROUND ROD
	GROUND TEST PIT
	PROPOSED UNDERGROUND GROUNDING
	PROPOSED ABOVE GROUND GROUNDING

11/10/2021 10:18 AM 18960034A Construction Rev. 4/20/21  
 By: MICHAEL CLEARY



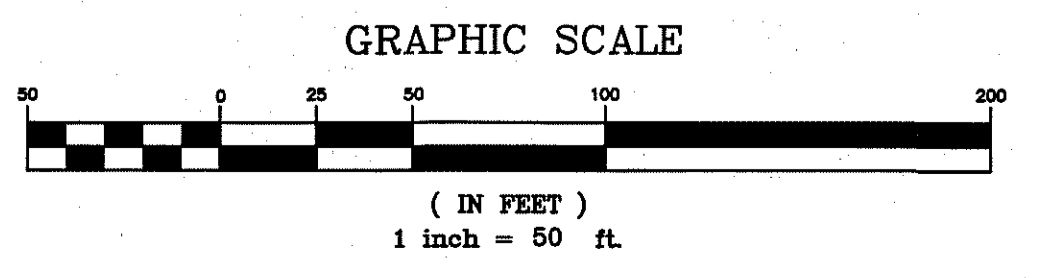
JOHN BURTON MANOR SUBDIVISION

RIVER BREEZE SUBDIVISION

**DATA COLUMN**

PLAN PURPOSE: GAIN FINAL PLAN APPROVAL TO CONVERT EXISTING LOADING SPACE ON WEST END OF 9,990 Sq. Ft. BUILDING TO AN OUTDOOR PATIO FOR RESTAURANT PATRONS.

TAX ID #: 2-34-23-902.03 & 2-34-29-235.01  
 ZONING: C-1 (GENERAL COMMERCIAL DISTRICT)  
 SITE AREA: 2.12± Acres  
 OWNER: BACK BAY PARK CENTER, LLC  
 BUILDING AREA: BANK 3,562 Sq. Ft., RETAIL 9,990 Sq. Ft.  
 PARKING REQUIRED: 5 SPACES/1000 Sq. Ft. = 68 SPACES  
 PARKING PROVIDED: 68 SPACES  
 PARCELS 902.01, 902.02, 902.05 AND 235.01 SHALL NOT HAVE DIRECT ACCESS TO ROUTE 24.



DATE	SCALE
3/24/22	1"=50'
JOB NO.	DRAWN BY
98-009	YATurocy
APPLICATION NO.	DESIGNED BY
	DJLiberman
APPROVED BY:	CHECKED BY:
DJLiberman	DJLiberman

DATE	REVISION

PRELIMINARY PLAN

FOR

**LONG NECK BACK BAY CENTER**

INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

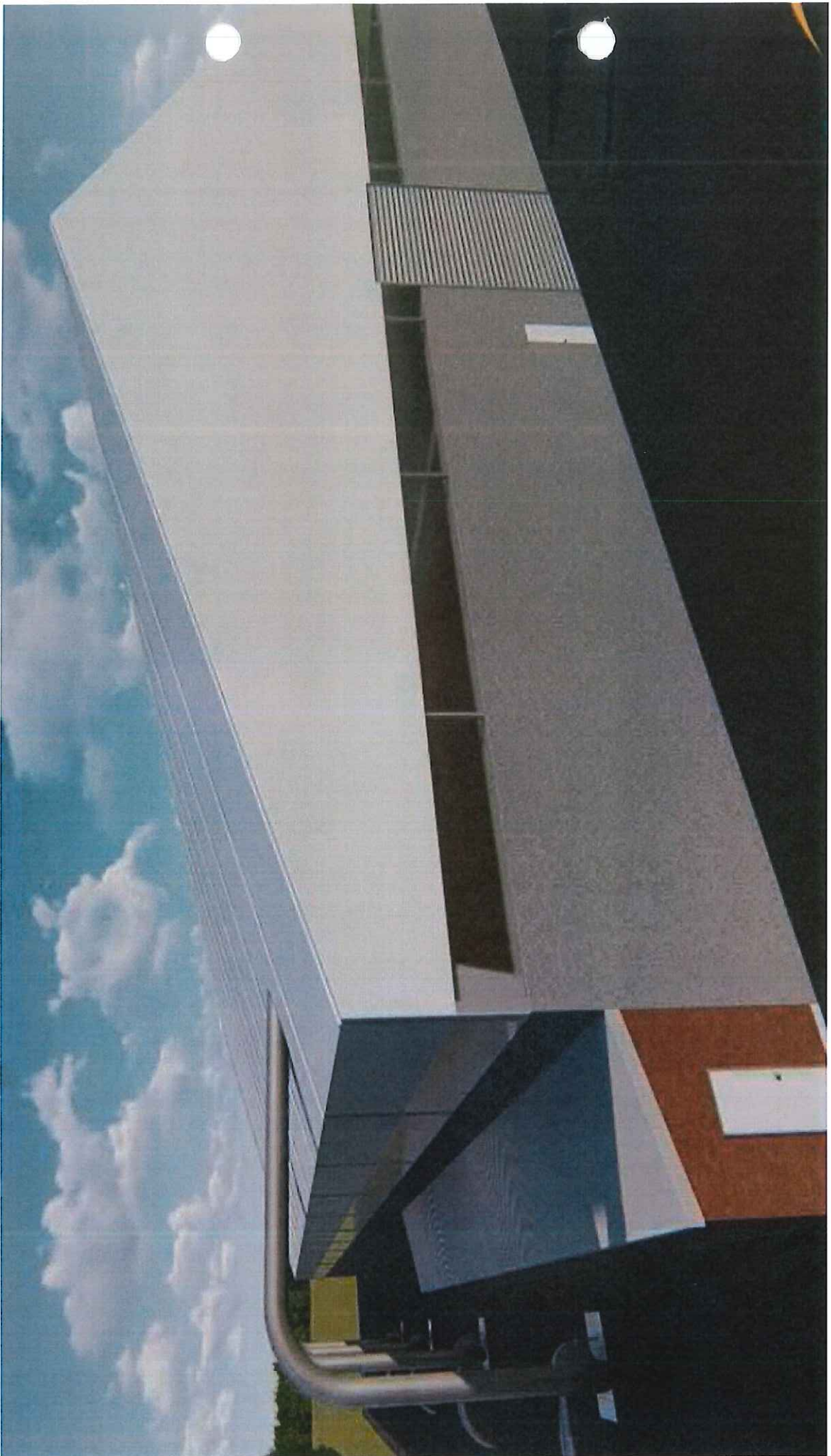
PREPARED FOR: BACK BAY PARK CENTER, LLC

**LARSON**  
**ENGINEERING GROUP INC.**  
 CIVIL ENGINEERING & LAND PLANNING  
 910 SOUTH CHAPEL STREET SUITE 200  
 NEWARK, DE 19713  
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SHEET NO. - 1 OF 1







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KIM HOEY STEVENSON, VICE-CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY J. WINGATE



# Sussex County

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SUSSEXCOUNTYDE.GOV  
302-855-7878 T  
302-854-5079 F  
JAMIE WHITEHOUSE, AICP, MRTPI  
DIRECTOR

April 4<sup>th</sup>, 2022

Mr. Timothy G. Willard  
Fuqua, Willard, & Schab, P.A.  
26 The Circle  
Georgetown, DE 19947

By email to: [tim@fwsdelaw.com](mailto:tim@fwsdelaw.com)

RE: Staff Review of the Preliminary Site Plan for Blessing Greenhouses & Compost Facility on the Lands of Blessing Greenhouses Compost Facility Inc. for the site located on the east side of Draper Road. The site development area totaling 31.9478 +/- acres is currently improved with greenhouse and composting uses and additionally contains a wooded area.  
Tax Parcels: 230-15.00-34.00 & p/o 230-15.00-35.00.

Staff note that this submission is tentatively scheduled to be considered as part of the Other Business portion of the agenda at the Sussex County Planning and Zoning Commission meeting on April 14<sup>th</sup>, 2022. The Planning Commission may consider granting Preliminary Plan approval with Final Plan approval to be granted by the staff upon receipt of a revised plan addressing the comments provided below.

Dear Mr. Willard,

Further to your submission of February 21<sup>st</sup>, 2022, the Planning and Zoning Department has reviewed the submitted Preliminary Site Plan for Blessing Greenhouses & Compost Facility for agricultural uses to include the following as described in the plan; greenhouses, active composting, a filtration system, and a "Farm and Truck Shop." The parcels are located on the west side of Draper Road, approximately one hundred (100) feet north of the intersection of Draper Road and Thirteen Curves Road. The site contains two (2) vehicular access points along the site's approximately 1,300 +/- feet of frontage on Draper Road. The parcels are in the Agricultural Residential (AR-1) Zoning District and lie within Low Density category per Sussex County's 2019 Comprehensive Plan. Staff has reviewed the submitted plan for compliance with the Sussex County Zoning Code as well as the thirteen (15) requirements as listed in the Conditional Use (C/U 2071) approval from August 7<sup>th</sup> 2019 and have the following comments:

### Preliminary Plan

1. **Staff notes that the proposed heights of the structures in the plan are not provided. Please include the heights of all proposed structures. (§115-221(8)(9))** Staff specifically note the improvements labeled as Buildings #1 through #5 in the plan where the plan indicates a "FFE" for each of the proposed buildings. If this refers to Final Floor Elevation, this appears



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GEORGETOWN, DELAWARE 19947



to be incongruent with the renderings the applicant has provided. Please clarify the proposed building heights as well as the height context of the “HVC Ramps” adjacent to the proposed buildings in the plan. Staff notes that the maximum permitted height requirement in the AR-1 Zoning District is forty-two (42) feet. (§115-25(D)).

2. Please include the following items in the plan’s Site Data column:
  - The current use of the site
  - The proposed use of the site
  - FEMA Firm Map number and date
  - The road classification for Draper Road
3. Staff note that the mean high water line associated with the required fifty (50) non-tidal buffer is not included in the plan. (§115-193(B)) Please label and include this line data in any revised plan.
4. Please note that a Final Site Plan will require that the impervious cover area be shown as acreage and a percentage of the overall site development area in the Plan’s data column. (115-221(B)(15)).
5. Staff notes that the plan includes lines denoting the “Limit of Disturbance” for the project as well as a the “Lease Line” for lands within Tax Parcel # 230-15.00-35.00 but does not include a line delineating the overall area where the conditional use is permitted. Please provide a line specifically delineating the bounds on the site where the conditional use is permitted.
6. Staff notes that all the setbacks for each of the proposed building are not included in the applicant’s submission. Please include the setbacks for all proposed buildings in any revised plan (§115-220(8)).
7. Please provide more detail regarding the “Coverall Building” structure. Will this be a rack type or lean-to style building? What type of component or materials, structural or otherwise, will be spanning the top of the structure?
8. Staff notes that a total of eighteen (18) parking spaces are provided at four (4) locations in the plan which are to be completed across the three proposed phases. Staff requests that the applicant amend the Site Data column to include parking calculations or provide a parking table in the plan indicating the calculations per the specific use of proposed structures as required under (§115-162).
9. Staff notes that the proposed use will require various loading areas. Please provide the number, location, and dimensions of loading spaces in the plan as required under (§115-167) and (§115-170).
10. **Staff notes that the applicant’s Landscape Plan does not provide a breakdown in terms of the deciduous and evergreen trees listed as part of the required landscaped buffer.** Please include this information to ensure the plan complies with the requirements under (§99-5 *Forested and/or Landscaped Buffer*).
11. **Staff notes that *Condition L* as part of the Conditional Use (C/U 2071) approval requires the Final Site Plan include the “heights and/or diameter of plantings shown and signed by a licensed Landscape Architect or Certified Nursery Professional”.** Please include these dimensional requirements for the plant materials as well as a signature panel with printed contact information so that the Landscape Plan’s designated signatory can be verified.
12. Staff notes that the plan proposes signs at both vehicular access point on Draper Road. Please note that a Final Site Plan will require that the plan show the location, character, size, height,

- and orientation of any proposed signs on the site and include a note that any sign will require a sign permit. (115-221(B)(11)).
13. Please note that a Final Site Plan will require that the plan show any proposed outdoor lighting systems on the site. (115-221(B)(5)).
  14. Please note that any Final Site Plan shall be signed by the owner.
  15. Prior to approval of the Final Site Plan, approval letters or letters of no objection from the following agencies shall be submitted to the Sussex County Planning and Zoning Office:
    - a. Delaware Department of Transportation (DelDOT)
    - b. Sussex Conservation District
    - c. State Fire Marshal
    - d. DNREC – Evidence that any required coordination has been undertaken.

Please provide **one (1) full-size copy** and **one (1) electronic copy** of a Revised Preliminary Site Plan when revisions are complete if you wish for your application to be considered at the next available Planning and Zoning Commission meeting.

Please feel free to contact me with any questions during business hours 8:30 A.M. – 4:30 P.M., Monday through Friday at 302-855-7878.

Sincerely,



Mr. Michael Lowrey  
Planner III



Jan 26, 2022

Mr. Bruce Blessing  
Blessing Greenhouse and Compost Facility, Inc.  
9372 Draper Road  
Milford, DE 19963  
blessingsblends@gmail.com

RECEIVED

FEB 01 2022

SUSSEX COUNTY  
PLANNING & ZONING

**RE: Blessing Greenhouses and Compost Facility**

Dear Mr. Blessing:

A Sediment and Stormwater Management Plan has been reviewed for compliance with the Sediment and Stormwater Regulations and is approved with conditions (see attached). Enclosed herein please find a copy of the approved application form and approved plan sets. Please retain a copy for your use, and provide the contractor with a copy to be retained onsite at all times. Failure to keep an approved plan onsite is a violation of the approved plan.

Approval of a Sediment and Stormwater Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.

This plan approval pertains to compliance with the Delaware Sediment and Stormwater Regulations. Please understand that the approval of this plan does not relieve you from complying with any and all federal, state, county, or municipal laws and regulations.

As of January 1, 2014, the Sussex Conservation District began collecting financial guarantees to ensure the construction of stormwater management practices is accomplished in accordance with the approved sediment and stormwater plan. Please refer to the SCD Policy on Bonds located on our website at [Sussexconservation.org](http://Sussexconservation.org). If you have any questions concerning the aforementioned, please do not hesitate to call 302 856-7219.

Sincerely,

**Jessica Watson**

Jessica Watson  
Program Manager



## CONDITIONS OF APPROVAL

### NOTIFICATION

1. This approved plan will remain valid for 5 years from the date of this approval. If construction does not begin within five years, the approved plan will be considered to have expired and must be resubmitted to the District for a new review. In addition, if work is not completed within the five-year timeframe, the District must be contacted and a request for an extension submitted. Depending on regulation changes, a new plan may need to be submitted to ensure that all stormwater management facilities are constructed to the most recent standards.
2. Submittal of the Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activities together with this approval of the detailed Sediment and Stormwater Plan provide this project with Federal permit coverage to be authorized to discharge stormwater associated with construction activities. It is the owner's responsibility to ensure that permit coverage remains valid throughout construction by submitting the NOI fee annually as requested. The developer is responsible for weekly self-inspection reporting to be retained onsite.
3. Notify the Sussex Conservation District Sediment and Stormwater Management Section of your intent to begin construction in writing five (5) days prior to commencing. Failure to do so constitutes a violation of the approved plan.

### CHANGES

1. This project is to be undertaken in accordance with the plans submitted and as approved. If changes are necessary at any time during the completion of the project, submit revised plans, prior to further construction, to the Sussex Conservation District Sediment and Stormwater Program for review and approval of the revision.
2. Should ownership change during the construction period, a revised plan must be submitted for approval showing the new owner's signature on the owner's certification. In addition, a Transfer of Authorization form must be submitted to DNREC to transfer Federal permit coverage to the new owner.

### CONSTRUCTION AND CLOSEOUT

1. A pre-construction meeting must take place before any land disturbing activity begins. The meeting may take place on site and be attended by the owner, contractor, design consultant, Certified Construction Reviewer, and Sussex Conservation District Sediment and Stormwater Program Construction Reviewer. The owner or the owner's designee shall contact the Sussex Conservation Construction Reviewer to schedule the pre-construction meeting.
2. Keep available onsite, during all phases of construction, a copy of the approved Sediment and Stormwater Management Plan.
3. Keep available onsite, during all phases of construction, copies of the Developers weekly self-inspection reports and/or the CCR Reports.
4. Any sediment transported off-site to roads or road rights-of-way including ditches shall be removed. Any damage to ditches shall be repaired and stabilized to original condition.



5. Grading shall not impair surface drainage, create an erosion hazard, or create a source of sediment to any adjacent watercourse or property owner.
6. Failure to implement the permanent stormwater management practices as mentioned herein constitutes a violation of the conditions of this plan approval; it may result in the suspension or revocation of building permits or grading permits issued by the local jurisdiction, and it may result in legal action by the DNREC to bring the site into compliance with the approved Sediment and Stormwater Management Plan and the Delaware Sediment and Stormwater Regulations.
7. The permanent stormwater management facility or facilities must be constructed and accepted by the Sussex Conservation District Sediment and Stormwater Program prior to final closeout of the project site. Post-construction verification documentation of the stormwater management facility or facilities must be completed as soon as construction of the facility or facilities is complete so that any necessary modifications may be made during the construction period.



## DETAILED SEDIMENT AND STORMWATER MANAGEMENT PLAN APPLICATION

NAME OF PROJECT: Blessing Greenhouses and Compost Facility, Inc.  
PROJECT DESCRIPTION: New Composting Facility at Existing Operation  
LOCATION OF PROJECT: 9372 Draper Road Milford, DE 19963  
PROJECT TAX MAP NUMBER: 2-30-15.00-34.00 & P/O 2-30-15.00-35.00  
PROJECT COORDINATES (center of site-decimal degrees) LAT: 75°18'25.95" W LONG: 38°51'13.67" N  
TYPE OF PROJECT: Industrial  WATERSHED: Broadkill River   
NUMBER OF LOTS: 1 TOTAL ACRES: 31.94 DISTURBED ACRES: 25.40

### APPLICANT'S CONTACT INFORMATION

FIRST NAME: Bruce LAST NAME: Blessing  
COMPANY NAME: Blessing Greenhouses and Compost Facility, Inc.  
ADDRESS: 9372 Draper Road  
CITY: Milford STATE: Delaware ZIP: 19963  
PHONE NUMBER: (302)393-3273 FAX NUMBER: (302)684-8896  
EMAIL ADDRESS: blessingsblends@gmail.com

### CONSULTANT CONTACT INFORMATION

CONSULTANT/ENGINEER NAME: Stephens Environmental Consulting, Inc.  
CONTACT PERSON/PROJECT MANAGER: Bill Stephens  
PHONE #: (302) 540-3453 FAX #: ( )  
EMAIL ADDRESS: bstephens@stephensenv.com

### SUSSEX CONSERVATION DISTRICT APPROVAL

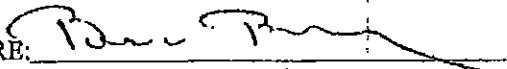
REVIEWER: John Justice (SJ) DATE: 1/26/2022  
APPROVAL: [Signature] DATE: 1/26/2022

*If ownership of this project changes during the construction period, Sussex Conservation District will require a new signed owner's certification statement.... In addition, the authorization to discharge stormwater under the regulations Part 2 Special Conditions for Storm Water Discharges Associated with Construction Activities, must be transferred by the original owner to the new owner, please contact DNREC for assistance at 302-739-9921.*

23818 SHORTLY ROAD, GEORGETOWN, DE 19947 • office: 302.856.2105 • fax: 302.856.0951 • SUSSEXCONSERVATION.ORG

OWNER/DEVELOPER CERTIFICATION

- I/We certify that the information on this form and the attached plans are true and accurate to the best of my/our knowledge.
- I/We understand that DNREC/Delegated Agency may request information in addition to that set forth herein as may be deemed appropriate in considering this application.
- I/We will abide by the conditions of this approval as issued.
- I/We hereby certify that all clearing, grading, construction and/or development will be done pursuant to the approved plan, and that all responsible personnel involved in the land disturbing activities will have a Sediment and Stormwater Management Certification from DNREC/Delegated Agency.
- I/We hereby authorize the right of entry for periodic on site inspection by DNREC/Delegated Agency personnel and/or authorized agents.



OWNER/DEVELOPER SIGNATURE:  DATE: 10-18-21  
OWNER/DEVELOPER PRINTED NAME: Bruce Blessing

AGENT AUTHORIZATION

*(If this authorization form is completed with the application, all future correspondence may be signed by the duly authorized agent.)*

I, Bruce Blessing, hereby designate and authorize the following identified agent to act on my behalf in the processing of this application and to furnish any information that is requested.

AGENT NAME: Bill Stephens, Stephens Environmental Consulting, Inc.  
AGENT ADDRESS: 11 Ailsa Court  
CITY: Rising Sun STATE: MD ZIP: 21911  
AGENT PHONE #: (302) 286-0406 FAX #: \_\_\_\_\_  
EMAIL ADDRESS: bstephens@stephensenv.com

OWNER/DEVELOPER SIGNATURE:  DATE: 10-18-21  
AGENT SIGNATURE:  DATE: 10-19-21

Please attach project Supplemental BMP Data Sheet to the Detailed Sediment and Stormwater Management Plan Application.

### PROJECT BMP DATA SHEET

List the BMP(s) utilized in the project stormwater management quantity and water quality strategy.

BMP NAME	BMP TYPE	ACRES TREATED	BMP LOCATION COORDINATES (@ BMP release point - decimal degrees)	
			LATITUDE	LONGITUDE
SGW	Other	11.38	75°18'22.27"	38°51'07.39"
Grassed Channel	Other	.49	75°18'27.36"	38°51'08.98"
Grassed Channel	Other	6.31	75°18'31.32"	38°51'13.96"
Detention Basin	Other	4.72	75°18'22.66"	38°51'18.87"
	No BMP selected			
	No BMP selected			
	No BMP selected			
	No BMP selected			



# BLESSING GREENHOUSES AND COMPOST FACILITY, INC. FINAL SITE PLAN

9372 DRAPER ROAD  
MILFORD, CEDAR CREEK HUNDRED  
SUSSEX COUNTY, DELAWARE, 19963

**SITE DATA**

**1. PARCEL DATA:**  
TAX MAP #: 2-30-15.00-34.00 & P/O 2-30-15.00-35.00  
PLUS #: N/A  
ADDRESS: 9372 DRAPER ROAD, MILFORD, DE 19963  
LATITUDE/LONGITUDE: 38° 51' 13.30"N 75° 18' 25.30"W  
ZONING: AR-1  
SETBACKS:  
FRONT: 40'  
SIDE: 15'  
REAR: 20'  
EXISTING SITE AREA: 31.9478 ACRES +/-  
PROPOSED SITE AREA: 31.9478 ACRES +/-  
NET DEVELOPMENT AREA: 25 ACRES +/-  
EXISTING WETLAND AREA: 6.25 +/- ACRES +/-  
PROPOSED CONDITION: CONDITIONAL USE  
PROPOSED DISCHARGE LOCATION(S): PROPOSED ON-SITE STORMWATER MANAGEMENT AREA  
PROPOSED LIMIT OF DISTURBANCE: 25 ACRES +/-  
EXISTING WETLAND AREA (WIN LOD): 0.0 ACRES +/-

**2. OWNER DATA:**  
DEVELOPER'S NAME, TITLE: BRUCE BLESSING, OWNER  
COMPANY/LLC: BLESSING GREENHOUSES AND COMPOST FACILITY INC.  
STREET ADDRESS: 9372 DRAPER ROAD  
TOWN, STATE, ZIP CODE: MILFORD, DE 19963  
PHONE #: (302) 393-3273  
E-MAIL: blessingsblends@gmail.com

**3. LAND DEVELOPER DATA:**  
DEVELOPER'S NAME, TITLE: BRUCE BLESSING, OWNER  
COMPANY/LLC: BLESSING GREENHOUSES AND COMPOST FACILITY INC.  
STREET ADDRESS: 9372 DRAPER ROAD  
TOWN, STATE, ZIP CODE: MILFORD, DE 19963  
PHONE #: (302) 393-3273  
E-MAIL: blessingsblends@gmail.com

**4. DESIGNER DATA:**  
DESIGNER'S NAME, TITLE: MICHAEL A. NAWROCKI, PE  
SUPERVISING ENGINEER  
COMPANY/LLC: STEPHENS ENVIRONMENTAL CONSULTING, INC.  
STREET ADDRESS: 11 AILSA COURT  
TOWN, STATE, ZIP CODE: RISING SUN, MD 21911-2505  
PHONE #: (302) 286-0406  
EMAIL: bstephens@stephensenv.com

**5. DELEGATED REVIEW AGENCY DATA:**  
REVIEWER'S NAME, TITLE: JOHN JUSTICE, PLAN REVIEWER  
AGENCY NAME: SUSSEX CONSERVATION DISTRICT  
STREET ADDRESS: 23818 SHORTLY RD  
TOWN, STATE, ZIP CODE: GEORGETOWN, DE 19947  
PHONE #: (302) 856-2105

- CONDITIONS OF APPROVAL (ORDINANCE #2514, CU #2071)**  
APPROVED BY SUSSEX COUNTY COUNCIL DECEMBER 30, 2019
4. Modification of Permit Conditions.
- Notwithstanding anything set forth in the Permit to the contrary, the conditions set forth in CU Permit #2071 are hereby modified as follows with deletions shown by strikethrough and additions shown by underline:
- ✓ A. The Applicant shall comply with all requirements established by DNREC and any other regulatory agency having jurisdiction over this use. Failure to comply with DNREC or other agency requirements shall result in the termination of this Conditional Use.
  - ✓ B. Until the new facility is constructed and ready for operation, no new pre-compost storage, blending or wind-rowing activities will be conducted any place onsite except on the concrete pad. This condition excludes any pre-compost material stored on the polyethylene-lined bunkers already onsite. Materials may be loaded for shipping from either the pad or the existing bunkers in accordance with DNREC regulations and the ASO. Screening of finished composted materials, as well as wood and yard waste may take place in designated areas other than the concrete pad.
  - ✓ C. Blessing shall comply with all applicable DNREC and Sussex Conservation District requirements for the site. Failure to comply with any of these requirements shall result in the termination of the use.
  - ✓ D. Material processing hours, including the use of heavy equipment, will be limited to 7:00 a.m. - 7:00 p.m., Monday through Saturday.
  - ✓ E. Material acceptance hours will be limited to 7:00 a.m. - 6:00 p.m., Monday through Saturday.
  - ✓ F. Blessing shall provide for a landscaped buffer of at least 25 feet around the entire property. The existing berm on the property, as shown on the Concept Plan attached as Exhibit A shall be maintained in the same or approximately the same location. A landscape plan showing the landscaping within the proposed buffer shall be shown on the Final Site Plan.
  - ✓ G. Following completion of construction of the new facility, all composting operations including pre-compost staging, wind rowing, blending, stockpiling and actual composting operations shall be conducted under roof on a concrete floor within the building(s) designed for said purpose. No pre-compost storage or composting operations shall be conducted outside the facility building(s). Composting does not include stockpiling and/or shredding of wood, leaf or yard waste, stockpiling of sand or lime, and other unregulated materials that may be stored/utilized onsite.
  - ✓ H. A water truck shall be available to control dust within the site.
  - ✓ I. Blessing is specifically permitted to receive: waste streams from poultry operations, including but not limited to: hatchery waste, poultry processing wastes, and any other waste streams for which Blessing facility is permitted by DNREC under the biosolids program, except for waste streams from municipal human sanitary waste treatment facilities and septage from onsite human wastewater disposal systems (i.e., residential septic systems).
  - ✓ J. Blessing may bag and blend materials properly accepted and composted at the site pursuant to this approval.
  - ✓ K. The application of compost to any agricultural land shall comply with applicable DNREC regulations. The application of compost shall be made in a manner that minimizes odors, including incorporation and other best management practices as appropriate.
  - ✓ L. A Preliminary Conceptual Site Plan has been attached as Exhibit A and, in conjunction with this Settlement Agreement, a Preliminary Site Plan based upon the Conceptual Site Plan shall forthwith be submitted to the Planning and Zoning Office for review and approval as part of the Preliminary Site Plan process. A Final Site Plan including all buildings, buffers, site improvements and a landscaping plan (with types, heights and/or diameter of plantings shown and signed by a licensed Landscape Architect or Certified Nursery Professional) and stormwater management facilities shall be subject to the review and approval of the Planning and Zoning Commission. The Final Site Plan shall comply with Sections 115-220 and 115-221 of the Sussex County Zoning Code. The Final Site Plan may include phasing whereby different areas may be submitted for Final Site Plan approval separately. If the Site Plan is phased, a Master Plan shall be submitted. The Final Site Plan with all applicable permitting shall be completed and approved by County Council not later than three (3) years from the date of this Settlement Agreement unless extensions are granted by County Council.
  - ✓ M. Failure to comply with any condition contained herein shall invalidate this Conditional Use.
  - ✓ N. Upon execution of this Settlement Agreement, Applicant shall begin processing the southernmost bunker on the westerly side of the site through windrowing or other composting on the concrete pad or removal of the material from the site or any combination thereof and diligently pursue such operations in accordance with DNREC regulations.
5. Agricultural Use.
- Notwithstanding any conditions pursuant to Ordinance 2514, any activities and operations permitted by the underlying agricultural zoning shall be exempt from the Ordinance and CU-2071.

**IMPERVIOUS AREA:**

TOTAL LOD	25 +/- Acs.
TOTAL EXISTING IMPERVIOUS	7.84 +/- Acs.
TOTAL PROPOSED IMPERVIOUS	4.27 +/- Acs.
IMPERVIOUS BEING ADDED	3.84 +/- Acs.
IMPERVIOUS TO STAY	4.27 +/- Acs.
TOTAL AREA TO BE STABILIZED	13.32 +/- Acs.

**SHEET INDEX**

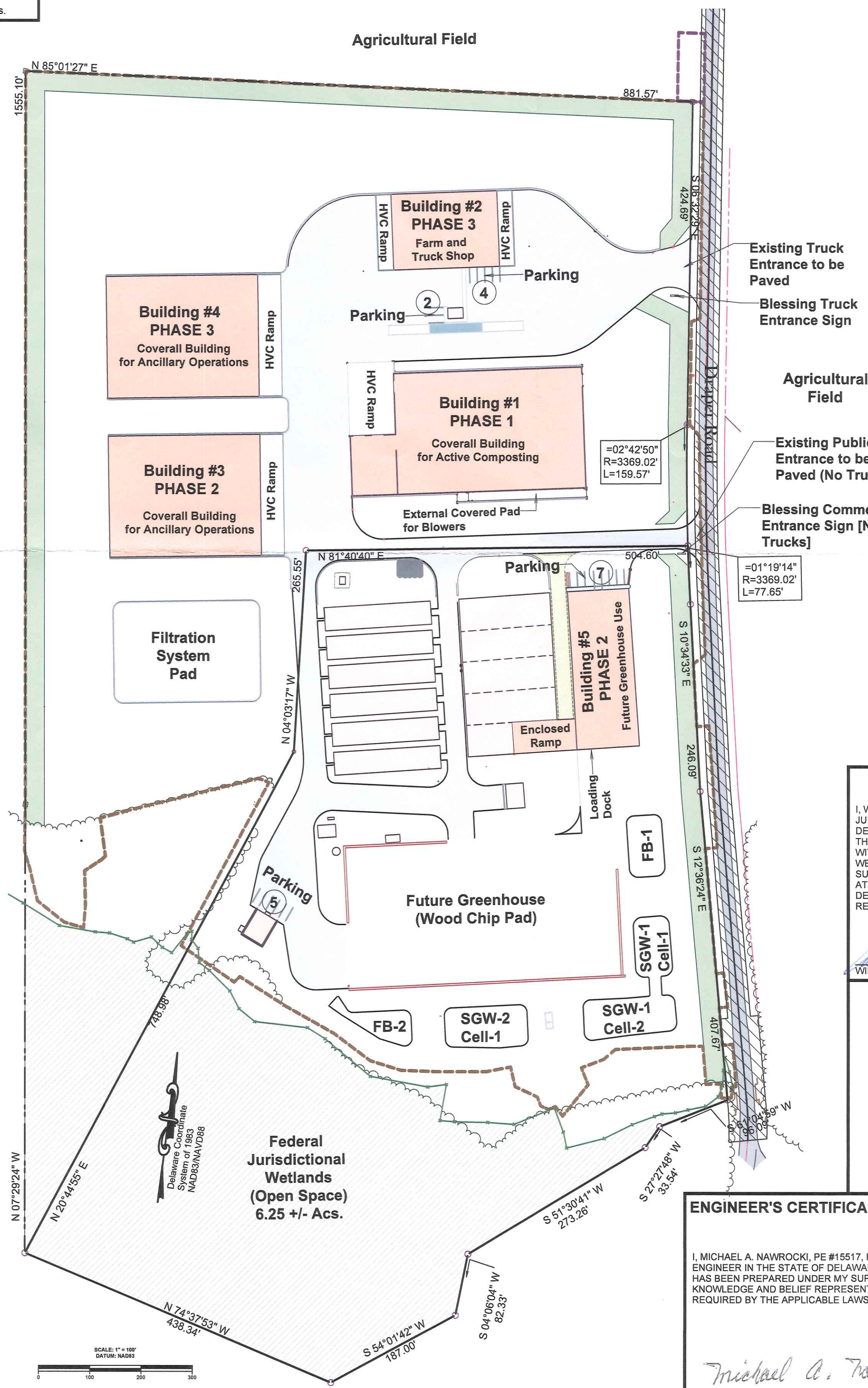
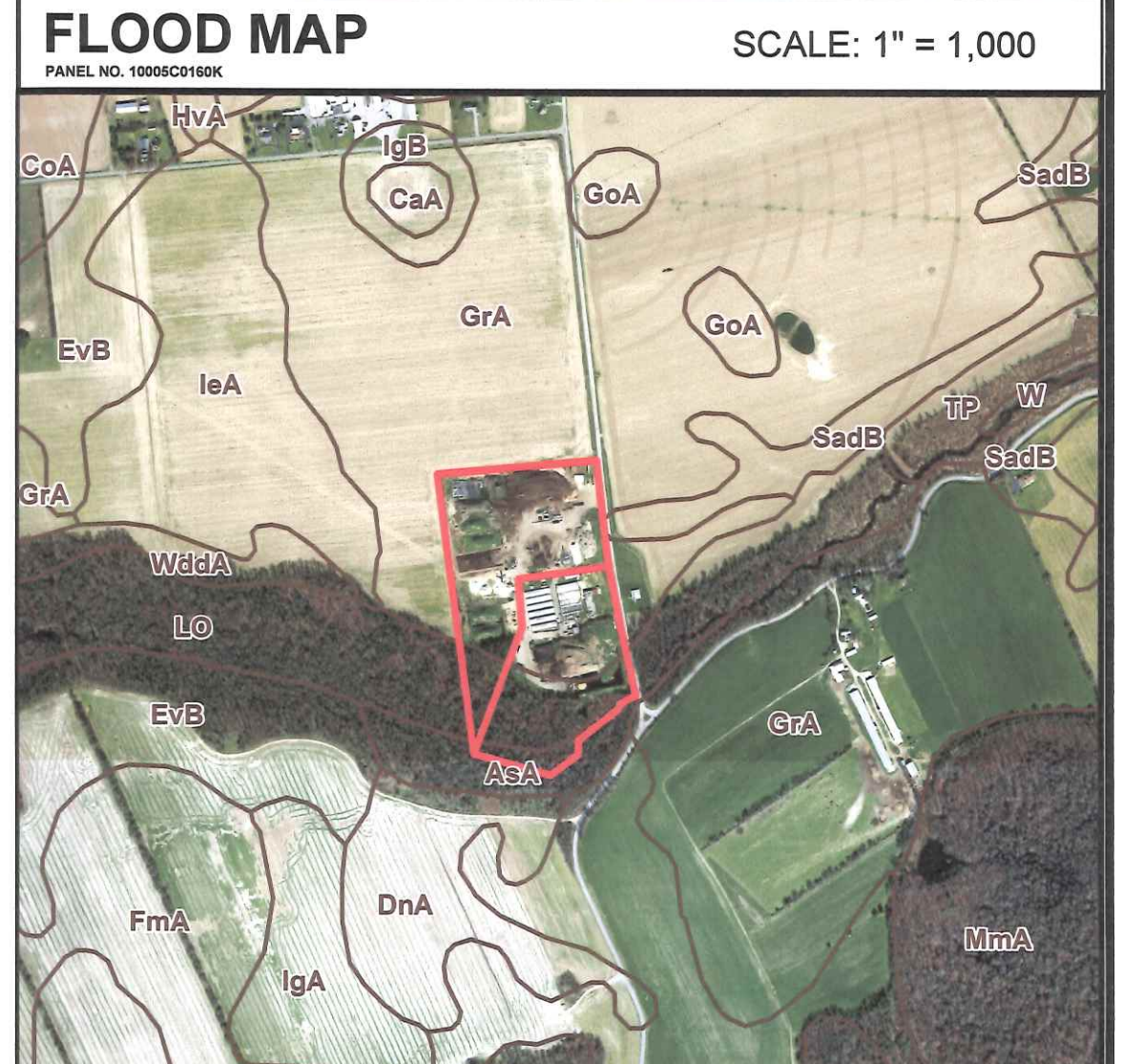
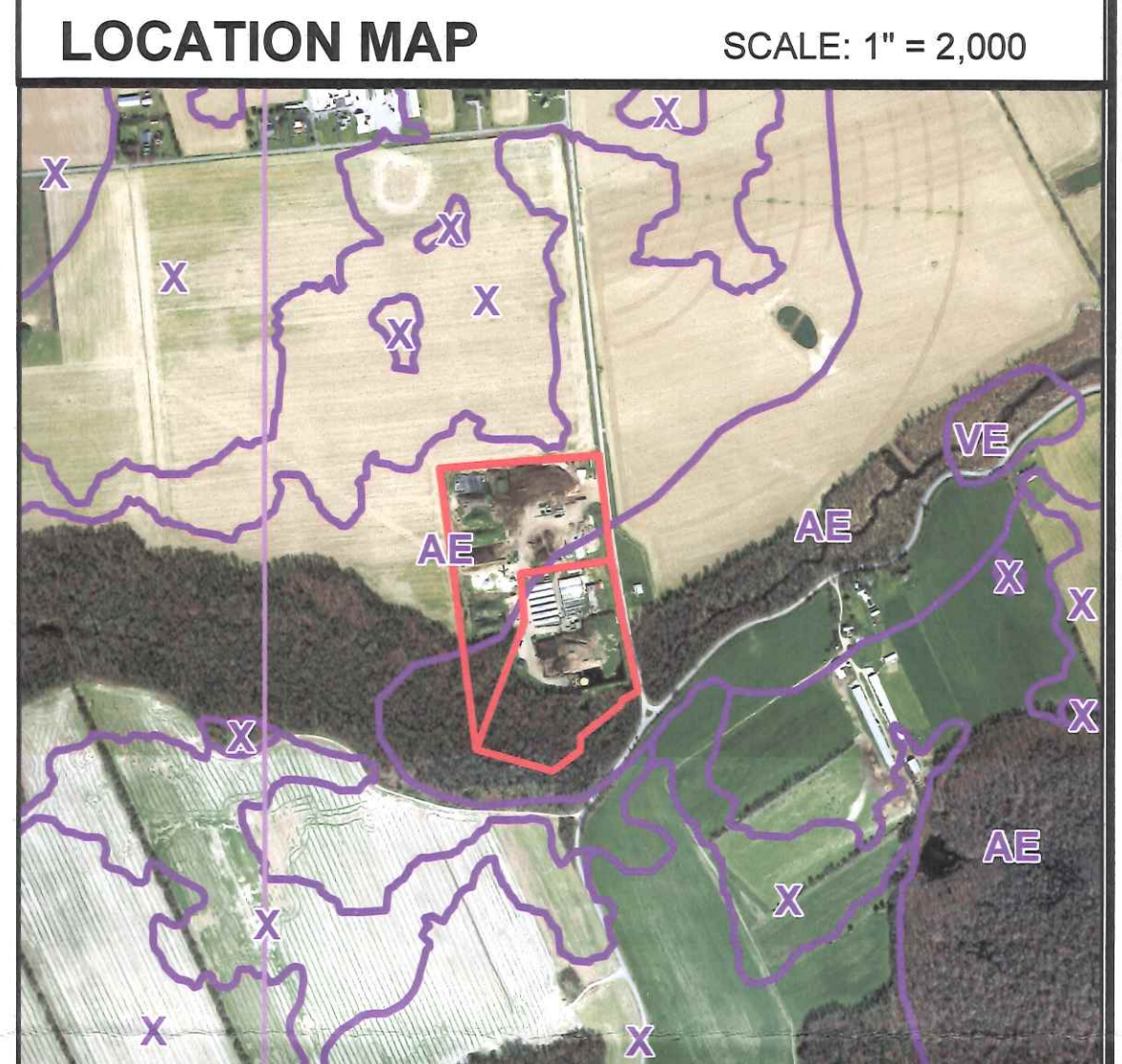
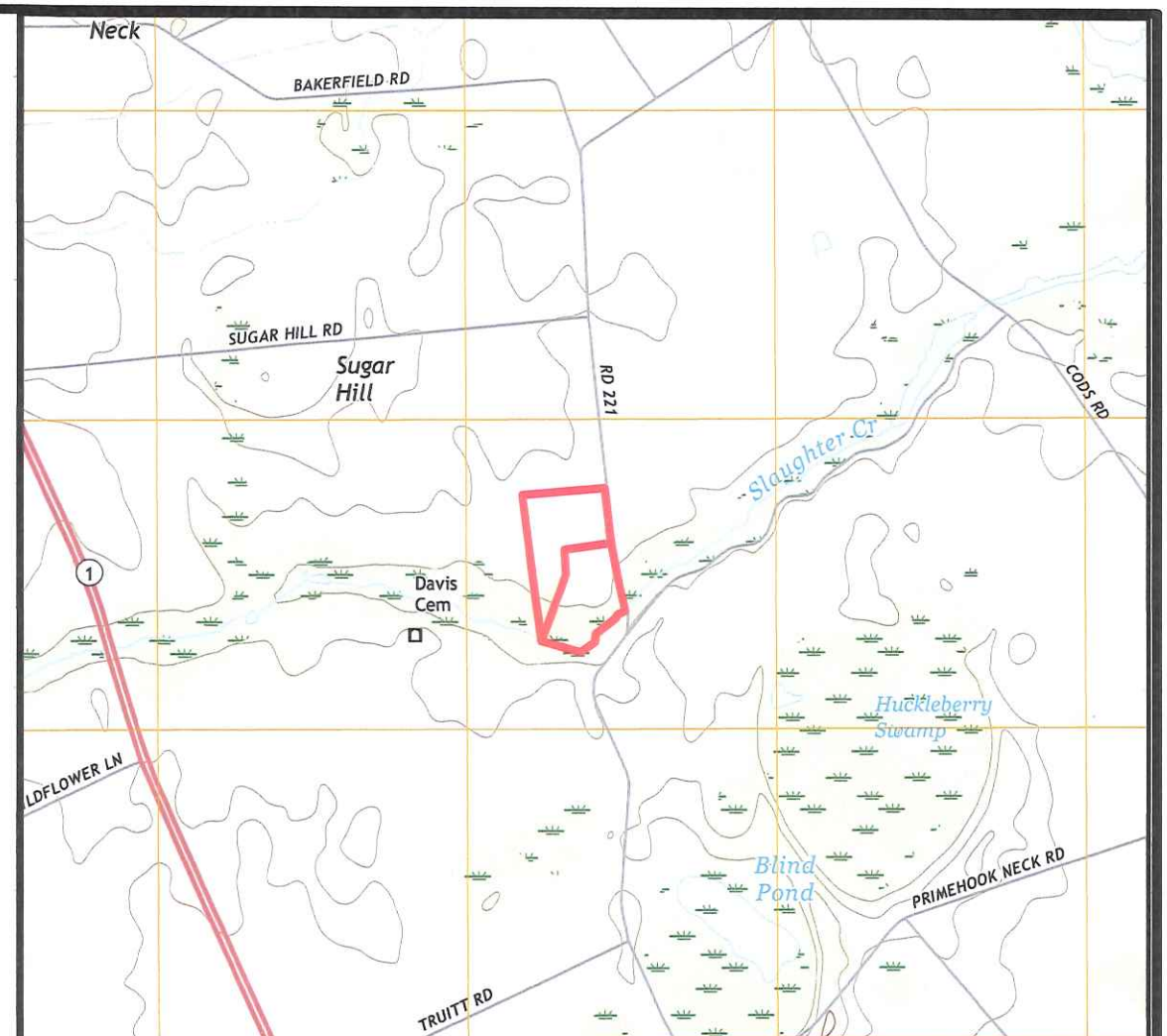
Sheet No.	Sheet Title
1	COVER SHEET
2	BOUNDARY SURVEY
3	REVISED RIGHT OF WAY FOR DRAPER ROAD
4	EXISTING CONDITIONS PLAN
5	GRADING PLAN
6	PHASING PLAN

**EXISTING CONDITIONS LEGEND**

- PH-592-5: Pieometer
- MW-4: Monitor Well
- Stormwater Sump
- Building Envelope
- Building Retention Line
- S.R.L. = 40'
- Power Pole/Overhead Wire
- Edge of Gravel/Driveway/Parking
- Edge of Pavement
- Center Line of Road
- Underground Verizon
- Storm Drain Piping
- Propane Tank
- Existing Major Contours
- Existing Minor Contours
- FEMA 100 YR FIP Special Hazard Area AE - 10, 11
- Existing Swale
- Adjoiner Flat Line
- Final Wetland Delineation Line
- Material Pile
- Existing Concrete Slab
- Existing Building
- Existing Grass within Gravel/Pavement
- Soil Map Symbol
- Hydrologic Soil Group (HSG)
- DelDOT 30' and 50' Wide Permanent Easement

**PROPOSED LEGEND**

- (10) Proposed Major Contours
- (5) Proposed Minor Contours
- Preliminary Wetland Delineation Line
- Proposed Limit of Disturbance (LOD)
- Proposed Block Wall
- Proposed Heavy Use Concrete Ramp
- Proposed Building with Concrete Floor
- Proposed Pavement
- Proposed Landscape Buffer
- Proposed Spot Elevation, Pavement Edge
- Proposed, other



**WETLANDS STATEMENT**

I, WILLIAM E. STEPHENS, PG, CERTIFY THAT THE BOUNDARY OF FEDERAL JURISDICTIONAL WETLANDS AND/OR WATERS OF THE UNITED STATES WAS DELINEATED BY ME AND SURVEYED BY SECI AS SHOWN ON THIS PLAN AND THAT THE WETLAND-UPLAND BOUNDARY WAS DELINEATED IN ACCORDANCE WITH THE U.S. ARMY CORPS OF ENGINEERS 1987 "CORPS OF ENGINEERS WETLAND DELINEATION MANUAL" TECHNICAL REPORT Y-87-1 AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: ATLANTIC AND GULF COASTAL PLAIN REGION (VERSION 2.0) NOVEMBER 2010. THIS DELINEATION HAS NOT BEEN VERIFIED BY THE USACE. NO DISTURBANCE OF REGULATED WETLANDS IS PROPOSED.

WILLIAM E. STEPHENS, PG DATE: 01/21/2022

**SUSSEX COUNTY PLANNING & ZONING APPROVAL**

SUSSEX COUNTY PLANNING & ZONING STAFF DATE

**OWNER'S CERTIFICATION:**

I, BRUCE BLESSING, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E. BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT. AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS, AND I UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT, AS REFERENCED ON THIS COVERSHEET.

BRUCE BLESSING, OWNER  
BLESSING GREENHOUSE AND COMPOSTING, INC.  
9372 DRAPER ROAD  
MILFORD, DE 19963  
PHONE #: (302) 393-3273

DATE: 1-21-22

**ENGINEER'S CERTIFICATION:**

I, MICHAEL A. NAWROCKI, PE #15517, HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS IN THE STATE OF DELAWARE.

MICHAEL A. NAWROCKI, PE #15517 DATE: 1/21/2022

**STEPHENS ENVIRONMENTAL**

11 Ailsa Court  
Rising Sun MD 21911

www.StephensENV.com  
P: (302) 286-0406  
M: (302) 540-3453

**Final Site Plan**

Blessing Greenhouses and Compost Facility, Inc.  
9372 Draper Road, Milford, Cedar Creek Hundred  
Sussex County, Delaware 19963

DATE: 1/21/2022 DRAWING: 1946-CJ\_Draft\_Site\_Plan\_Cover\_1-21-2022.dwg  
PROJECT #: 1646.CJ FILE PATH: S:\2021\_Projects\1646\_CJ\PCS\SITE PLAN

Revision # Date By Reference #

DRAWN BY: ETH/WES CHECKED BY: MAN

SHEET #: 1 OF 6

District 2-30 Map 15.00 Parcel 34.00 & P/O 35



Review Copy

**General Notes**

- The purposes of this plan are to:
  - Show the tenant occupied area and lease agreement boundary lines within which the compost facility operations are confined
  - Show the existing conditions within the occupied area
  - Show the proposed future expansion of the facility within the lease
- The tenant, operating as Blessings Greenhouse and Composting, Inc. occupies and leases all of the property identified as tax parcel 230-15-00-34.00, and that part of the property identified as tax parcel 230-15-00-35.00 shown hereon. These lands are subject to a pending Conditional Use Application.
- This plan was performed without the benefit of a title report and does not show any easements or right-of-way that might be identified by a thorough title examination.
- Parcel 35.00 was created by OR 1327/298, where Draper Foods, Inc. granted and conveyed all but 16.6385 acres more or less of a large farm to Red Fox Farms (Dr. Francis C. Drury). Lands retained by the grantor were more particularly described on a plat recorded as RB 32 P. 44 prepared by Charles D. Murphy Jr. (PLS #229) dated 3-15-1985, entitled "Lands to be Reserved by Draper Foods, Inc." Property corners called for as "set" on that plan were recovered during this survey and are shown hereon. An additional 18 acres more or less were conveyed by Draper to Red Fox Farms on October 30, 1995 per Deed Book 2104 Page 0136, leaving the two original corners separated from the new parcel 34 boundary as indicated hereon.
- The 1.8 acres +/- tract conveyed from Draper to Red Fox Farms is not identified as a separate tax parcel, nor does the tax parcel for parcel 34 reflect this out conveyance. The legal descriptions shown hereon accurately reflect that portion of Red Fox Farms leased by Blessings Blend, Inc. in its entirety irrespective of whether or not the 1.8-acre tract should be a separate parcel and this plan also reflects the correct residual acreage and description of parcel 34.00.
- Slaughter Branch was flooded at the time of this survey due in part to heavy rains and down stream obstructions. The low path of Slaughter Branch shown on this plan was generated by flow accumulation geoprocessing of the 2014 Statewide LIDAR elevation dataset and is shown for reference only.
- The position of concrete foot slabs and pads that currently exist and may be completely or partially concealed by compost or earth were heads-up digitized from the 2002, 2007, or 2012 high resolution imagery for reference purposes. The distribution and foot prints of stockpiles and mobile equipment and the line changes often and is not specifically shown hereon.
- This plan supersedes an unrecorded plan prepared by Bob Nash Associates dated October 24, 2012 entitled "Boundary Line Adjustment for Frank S. and Marilyn P. Draper."
- This plan is based on a survey performed by SECI during the months of October 2016. SECI reserves the right to amend this plan.
- The survey datum is Delaware State Plane Coordinate System NAD83/NAVDS8 and is based on GPS control established by Network GPS methods by SECI in 2014.
- This plan was prepared in accordance with the Minimum Standards for a Rural Classification Survey.
- Official original paper plans contain a raised impression of a professional seal. Original Mylar plans contain a red ink stamp of a professional seal. Unauthorized copies may contain fraudulent, incorrect, erroneous, or misleading information or omit important and relevant information. Do not use or rely on unauthorized copies of this or any plan.

**OWNERS CERTIFICATION**

WE, FRANK S. & MARILYN P. DRAPER, HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THAT THE PLAN WAS MADE AT OUR DIRECTION AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS

 11/14/16  
 FRANK S. DRAPER DATE  
 11/14/16  
 MARILYN P. DRAPER DATE

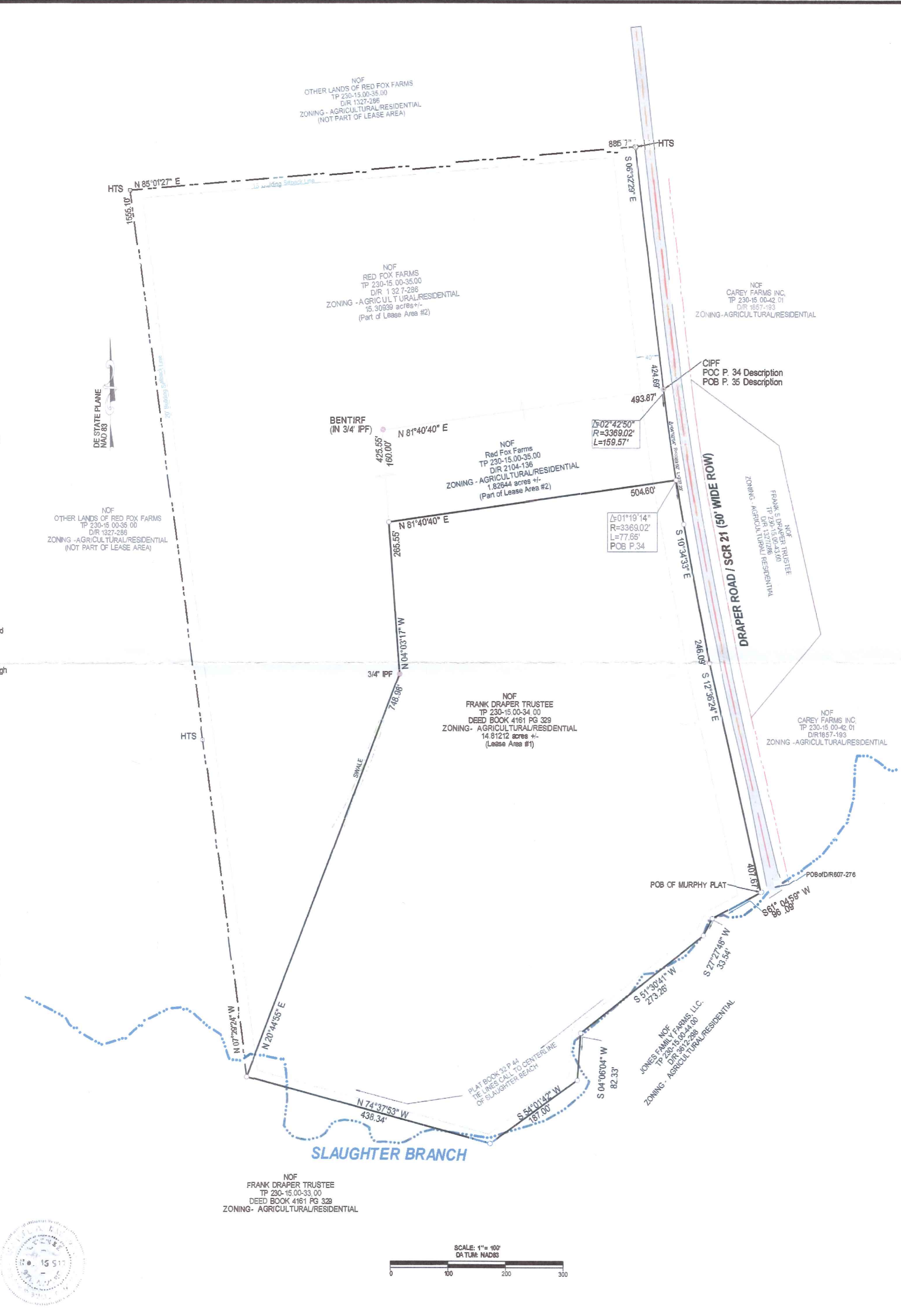
WE, RED FOX FARMS, HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THAT THE PLAN WAS MADE AT OUR DIRECTION AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS

 11/15/16  
 SIGNATURE/TITLE DATE

**ENGINEER'S CERTIFICATION**

I, MICHAEL A. NAWROCKI, PE #15517, HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE. THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS IN THE STATE OF DELAWARE.

 11/16/2016  
 MICHAEL A. NAWROCKI, PE 15517 DATE

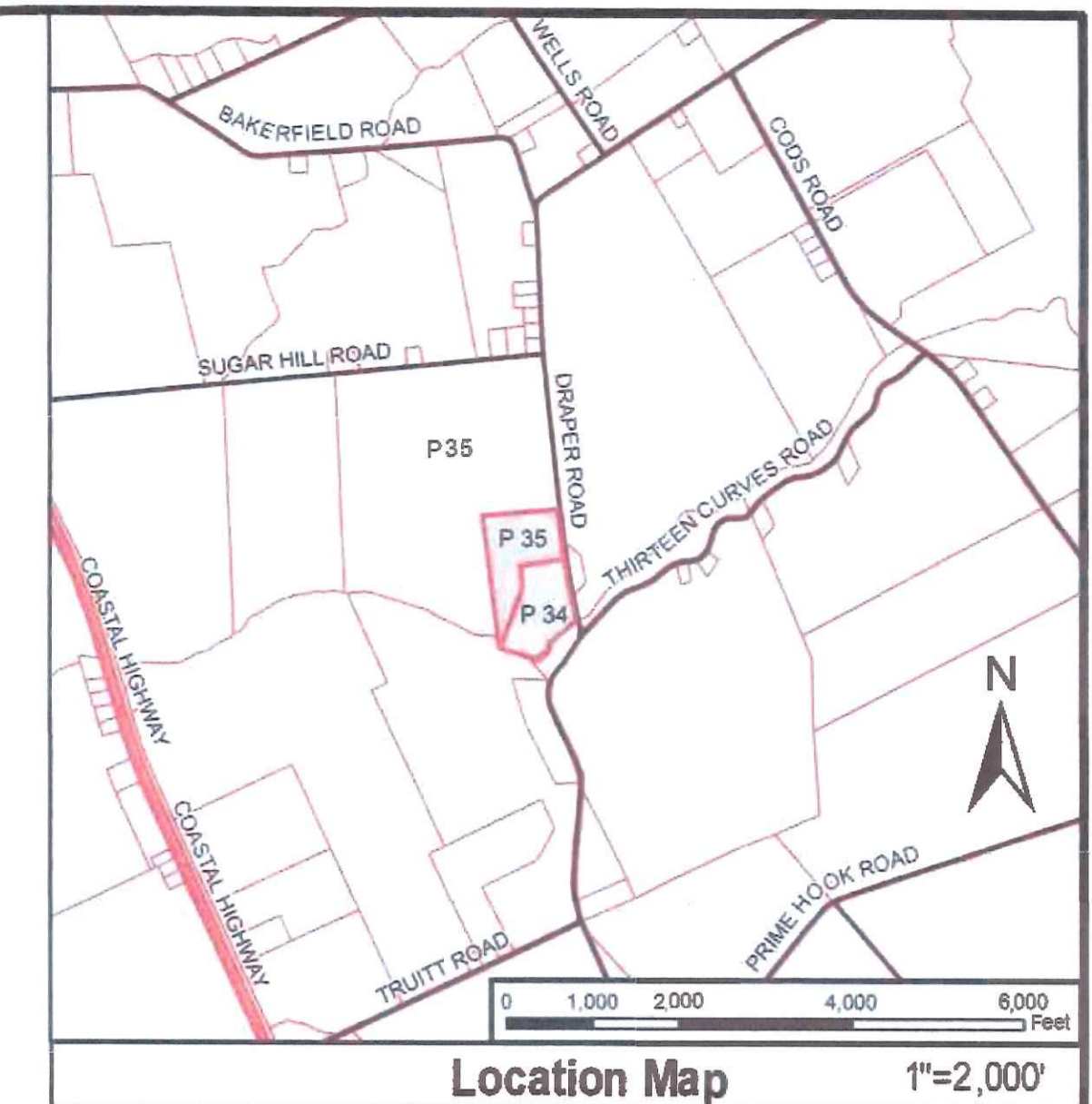


**DESCRIPTION OF LEASED LANDS OF FRANK DRAPER TRUSTEE TAX PARCEL 230-15-00-34.00**

Commencing at a capped iron pipe found on the westerly right of way of Draper Road SCR 21 at 50 feet wide, said point being the point of curvature of a curve concave to the east having a radius of 3369.02 feet, thence with the westerly right of way of Draper Road by the curve to the left having a radius of 3369.02 feet, a central angle of 2 degrees, 42 minutes and 50 seconds, a distance of 159.57 feet to the point of beginning, thence by and with the westerly right of way of Draper Road by the curve concave to the east, having a radius of 3369.02 feet a central angle of 01 degrees 18 minutes 14 seconds, and a chord of 77.85 feet, thence continuing with the westerly right of way of Draper Road the following two courses and distances: South 12 degrees 36 minutes 24 seconds East, a distance of 407.87 feet, thence South 61 degrees 04 minutes 59 seconds West, a distance of 96.09 feet to a point on the right of way in the center of Slaughter's Branch, thence continuing with the center of Slaughter's Branch the following 5 courses and distances: South 27 degrees 27 minutes 48 seconds West, a distance of 33.54 feet, thence South 51 degrees 30 minutes 41 seconds West, a distance of 273.26 feet, thence South 04 degrees 06 minutes 04 seconds West, a distance of 62.33 feet, thence South 54 degrees 01 minutes 42 seconds West, a distance of 187.00 feet, thence North 74 degrees 37 minutes 53 seconds West, a distance of 438.34 feet, thence leaving the center of Slaughter's Branch and running along the center of a swale with the lands of Red Fox Farms, North 20 degrees 44 minutes 55 seconds East, a distance of 748.88 feet, thence continuing with the lands of Red Fox Farms the following two courses and distances: North 04 degrees 03 minutes 17 seconds West, a distance of 265.55 feet, thence North 81 degrees 40 minutes 40 seconds East, a distance of 504.60 feet to the point and place of beginning, said described tract containing 14.8121 Acres, more or less.

**DESCRIPTION OF LEASED LANDS OF RED FOX FARMS P/O TAX PARCEL 230-15-00-35.00**

Beginning at a capped iron pipe found on the westerly right of way of Draper Road, SCR 21 at 50 feet wide, said point being the point of curvature of a curve concave to the east having a radius of 3369.02 feet, thence with the westerly right of way of Draper Road by the curve to the left having a radius of 3369.02 feet, a central angle of 2 degrees, 42 minutes and 50 seconds, a distance of 159.57 feet to a point on the westerly right of way also in the lands of Draper, thence leaving the right of way of Draper Road and running with the lands of Draper the following three courses and distances: South 81 degrees 40 minutes 40 seconds West, a distance of 504.60 feet, thence South 04 degrees 03 minutes 17 seconds East, a distance of 265.55 feet, thence South 20 degrees 44 minutes 55 seconds West, a distance of 748.88 feet to a point in the center of Slaughter Branch, thence leaving the line of Draper and running through other lands of Red Fox Farms the following three courses and distances: North 07 degrees 28 minutes 24 seconds West, a distance of 1555.10 feet, thence North 85 degrees 01 minutes 27 seconds East, a distance of 881.57 feet, thence South 06 degrees 32 minutes 23 seconds East, a distance of 424.69 feet to the point of curvature of a tangent curve, concave to the east, having a radius of 3369.02 feet and a central angle of 02 degrees 42 minutes 50 seconds, thence South along said curve, a distance of 159.59 feet, curving to the left, to the POINT OF BEGINNING, said described tract containing 17.1357 Acres, more or less.



**SITE DATA**

Owner/Lessor 1:	FRANKS DRAPER TRUSTEE 351 Bay Ave Milford, DE 19963
Owner/Lessor 2:	RED FOX FARMS 2480 Sugar Hill Road Milford, DE 19963
Tenant/Lessee:	BLESSINGS GREENHOUSE AND COMPOSTING, INC. c/o BRUCE BLESSING 9372 DRAPER ROAD, MILFORD, DE 19963
Premises Address:	9372 DRAPER ROAD, MILFORD, DE 19963
Lease Area 1 Tax Parcel #:	2-30-15-00-34.00
Plat#:	BOOK 32 P 44 (Murphy)
Total Area:	14.8121 acres +/-
Zoning:	Agriculture/Residential
Lease Area 2 Tax Parcel#:	PIO 2-30-15-00-35.00
Total Area:	17.1357 acres +/-
Zoning:	Agriculture/Residential
Total Lease Area:	31.9478 acres +/-
Datum:	NAD83

**LEGEND**

- Capped Iron Pipe Found (CIPF)
- Iron Pipe Found (IPF)
- Iron Rod Found (IRF)
- Tacked Hub and Guard Stake Set
- Boundary Corner (Nothing Set)
- Property Boundary (P. 34) & ROW Line
- Adjoiner Line
- Lease Line (P. 35)
- Building Set Back Line
- Stream

**LEASE BOUNDARY LINE AGREEMENT AND LOCATION SURVEY AND PROPOSED EXPANSION PLAN**  
 for the  
**BLESSINGS GREENHOUSE AND COMPOSTING, INC.**  
 9372 Draper Road  
 Milford, Cedar Creek Hundred  
 Sussex County, Delaware 19563

Revisions	Date	By	Reference #

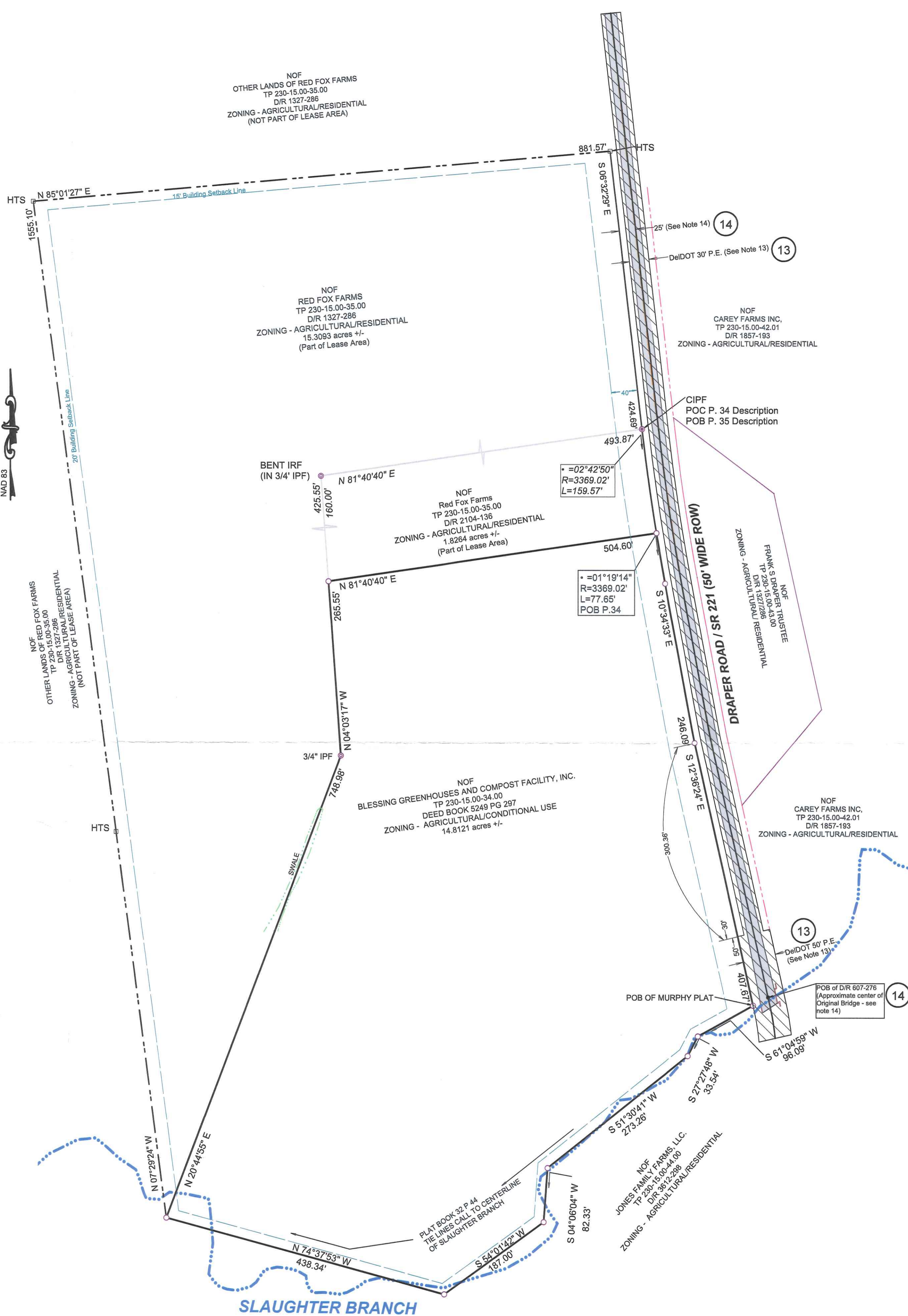
  
 Stephens Environmental Group, Inc.  
 www.StephensENV.com  
 11 Alisa Court  
 Rising Sun, MD 21911  
 P: (302) 286-0406  
 F: (302) 840-3483

**Lease Boundary Line Agreement Survey**  
 Blessings Greenhouse and Composting, Inc.  
 9372 Draper Road  
 Milford, Cedar Creek Hundred  
 Sussex County, Delaware 19563

DRAWN BY: NMO/WES	CHECKED BY: MAN
SHEET#: 1 OF 3	DATE: Oct. 13, 2016
District 2-30 Map 16.00 Parcel 34.00 and p/o 35.00	PROJECT#: 1646 SA
	FILE PATH: S2016_Projects/1646/PCS

Revision Copy

- General Notes**
- The purposes of this plan are to:
    - Show the tenant occupied area and lease agreement boundary lines within which the compost facility operations are confined, and owned property.
    - Show the existing conditions within the occupied area.
    - Show the proposed future expansion of the facility within the site.
    - Correct the Right of Way to reflect latest information from DelDOT (Jan. 2022)
  - The tenant, operating as Blessing Greenhouses and Compost Facility, Inc., occupies and leases all of the property identified as tax parcel 230-15.00-34.00, and that part of the property identified as tax parcel 230-15.00-35.00 shown hereon. These lands are subject to a settlement Agreement in association with CU-2071.
  - This plan was performed without the benefit of a title report and does not show any easements or right-of-way that might be identified by a thorough title examination. (See note 13 below)
  - Parcel 35.00 was created by D/R 1327/286, where Draper Foods, Inc. granted and conveyed all but 16.6385 acres more or less of a large farm to Red Fox Farms (Dr. Francis C. Drury). Lands retained by the grantor were more particularly described on a plat recorded at PB 32, Pg 44 prepared by Charles D. Murphy Jr. (PLS #291) dated 3-13-1985, entitled "Lands to be Reserved by Draper Foods, Inc.". Property corners called for as "set" on that plan were recovered during this survey and are shown hereon. An additional 1.8 acres more or less were conveyed by Draper to Red Fox Farms on October 30, 1995 per Deed Book 2104 Page 0136, leaving the two original corners separated from the Parcel 34 boundary as indicated hereon.
  - The 1.8 acres +/- tract conveyed from Draper to Red Fox Farms is not identified as a separate tax parcel, nor does the tax parcel for parcel 34 reflect this out conveyance. The legal descriptions shown hereon accurately reflect that portion of Red Fox Farms leased by Blessing Greenhouses and Compost Facility, Inc. in its entirety irrespective of whether or not the 1.8-acre tract should be a separate parcel and this plan also reflects the correct residual acreage and description of parcel 34.00. The 1.8 acres appears to have been associated with a life estate that has expired.
  - Slaughter Branch was flooded at the time of this survey due in part to heavy rains and down stream obstructions/debris. The flow path of Slaughter Branch shown on this plan was generated by flow accumulation geoprocessing of the 2014 Statewide LIDAR elevation dataset and is shown for reference only.
  - The position of concrete floor slabs and pads that currently exist and may be completely or partially concealed by compost or earth were heads-up digitized from the 2002, 2007, or 2012 high resolution imagery for reference purposes. The distribution and foot prints of stockpiles and mobile equipment and the like changes often and is not specifically shown hereon.
  - This plan supersedes an unrecorded plan prepared by Bob Nash Associates dated October 24, 2012 entitled "Boundary Line Adjustment for Frank S. and Marilyn P. Draper."
  - This plan is based on a survey performed by SECI during the months of October 2016. SECI reserves the right to amend this plan.
  - The survey datum is Delaware State Plane Coordinate System NAD83/NAVD88 and is based on GPS control established by Network GPS methods by SECI in 2014.
  - This plan was prepared in accordance with the Minimum Standards for a Rural Classification Survey.
  - Reserved
  - Recent research into DelDOT records indicate that the depiction of the Right of Way of Draper Road, SR 221, as a 50' wide fee simple Right of Way as it appears on the March 1985 plan prepared by Charles D. Murphy (Plat Book 32 Page 44) is in fact in error. Parcel 230-15.00-34.00 was conveyed to Draper Foods Incorporated subject to this error and title inconsistencies pertaining to ownership of the road have arisen. The facts developed from the DelDOT research and additional deed research are as follows:
    - The Draper Road was an existing road when taken into the state roads maintenance system by the state of Delaware.
    - The 1965 Delaware State Highway Department Rural and Urban Road Inventory lists SR 221 (Draper Road) as 30 feet wide.
    - Only two records are listed in the current DelDOT database pertaining to SR 221: RM 130- Incomplete survey and design project circa 1961; and Replacement of Bridge No. 817 (over Slaughter Branch) on Road No. 221 (Draper Road), Contract Number 85-073-04 dated 6/27/1985.
    - RM 130 proposed a 50' P.E., for SR 221 but was never implemented.
    - Sheet 7 of Contract 85-073-04 is stamped/certified by the chief of Right of Ways dated August 1986 "As-Acquired" Plans and shows the existing Right of Way as a 30 foot wide P.E. for all but small takings at the new bridge. Deeds pertaining to the takings (Draper-D/R 1356/115) clearly state the expanded Right of Way is a 50 foot wide P.E. as shown on this sheet. As such, the fee ownership extends to the centerline as of 1986.
    - the deed from Draper Foods Incorporated to Red Fox Farms dated March 28, 1985 recorded at D/R. 1327/286 clearly excludes Draper Road in the exception, and conveys all but the second exception to Red Fox Farms. Therefore, Red Fox Farms appears to own lands from the centerline of Draper Road 25 feet to the property line of Parcel 34.
  - As noted above, Red Fox Farms appears to own to the center of Draper Road.
  - Reference made in the legal description shown hereon to Draper Road being a "50' Wide Right of Way" is inaccurate. The legal description for the leased and owned lands (D/R 5249/0297) is otherwise accurate.

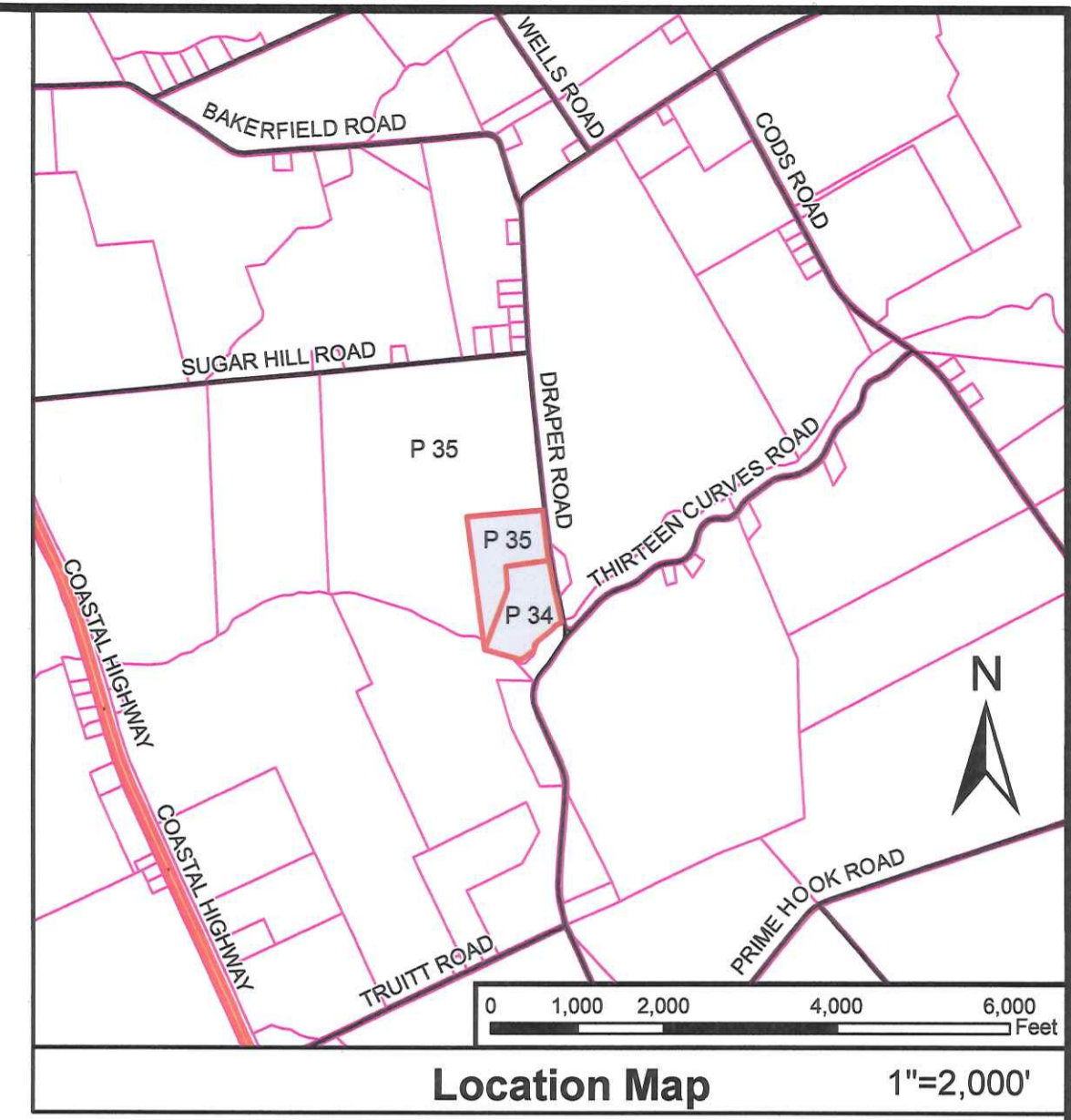


**DESCRIPTION OF LANDS OF BLESSING GREENHOUSES AND COMPOST FACILITY, INC. PER D/R 5249/0297 TAX PARCEL 230-15.00-34.00**

Commencing at a capped iron pipe found on the westerly right of way of Draper Road, SR 221, at 50 feet wide, said point being the point of curvature of a curve concave to the east having a radius of 3369.02 feet, thence with the westerly right of way of Draper Road by the curve to the left having a radius of 3369.02 feet, a central angle of 2 degrees, 42 minutes and 50 seconds, a distance of 159.57 feet to the point of beginning; thence by and with the westerly right of way of Draper Road by the curve concave to the east, having a radius of 3369.02 feet a central angle of 01 degrees 19 minutes 14 seconds, and a chord of 77.65 feet bearing South 09 degrees 54 minutes 55 seconds East. South along said curve, a distance of 77.65 feet; thence continuing with the westerly right of way of Draper Road the following two courses and distances: South 12 degrees 36 minutes 24 seconds East, a distance of 407.67 feet; thence South 61 degrees 04 minutes 59 seconds West, a distance of 96.09 feet to a point on the right of way line in the center of Slaughter's Branch; thence continuing with the center of Slaughter's Branch the following 5 courses and distances: South 27 degrees 27 minutes 48 seconds West, a distance of 33.54 feet; thence South 51 degrees 30 minutes 41 seconds West, a distance of 273.26 feet; thence South 04 degrees 06 minutes 04 seconds West, a distance of 82.33 feet; thence South 54 degrees 01 minutes 42 seconds West, a distance of 187.00 feet; thence North 74 degrees 37 minutes 53 seconds West, a distance of 438.34 feet; thence leaving the center of Slaughter's Branch and running along the center of a swale with the lands of Red Fox Farms, North 20 degrees 44 minutes 55 seconds East, a distance of 748.98 feet; thence continuing with the lands of Red Fox Farms the following two courses and distances: North 04 degrees 03 minutes 17 seconds West, a distance of 265.55 feet; thence North 81 degrees 40 minutes 40 seconds East, a distance of 504.60 feet to the point and place of beginning, said described tract containing 14.8121 Acres, more or less.

**DESCRIPTION OF LEASED LANDS OF RED FOX FARMS P/O TAX PARCEL 230-15.00-35.00 PER LEASE AGREEMENT**

Beginning at a capped iron pipe found on the westerly right of way of Draper Road, SR 221, at 50 feet wide, said point being the point of curvature of a curve concave to the east having a radius of 3369.02 feet, thence with the westerly right of way of Draper Road by the curve to the left having a radius of 3369.02 feet, a central angle of 2 degrees, 42 minutes and 50 seconds, a distance of 159.57 feet to a point on the westerly right of way also in the lands of Draper, thence leaving the right of way of Draper Road and running with the lands of Draper the following three courses and distances: South 61 degrees 40 minutes 40 seconds West, a distance of 504.60 feet; thence South 04 degrees 03 minutes 17 seconds East, a distance of 265.55 feet; thence South 20 degrees 44 minutes 55 seconds West, a distance of 748.98 feet to a point in the center of Slaughter Branch; thence leaving the line of Draper and running through other lands of Red Fox Farms the following three courses and distances: North 07 degrees 29 minutes 24 seconds West, a distance of 1555.10 feet; thence North 86 degrees 01 minutes 27 seconds East, a distance of 881.57 feet; thence South 08 degrees 32 minutes 29 seconds East, a distance of 424.69 feet to the point of curvature of a tangent curve, concave to the east, having a radius of 3369.02 feet and a central angle of 02 degrees 42 minutes 50 seconds; thence South along said curve, a distance of 159.58 feet, curving to the left, to the POINT OF BEGINNING, said described tract containing 17.1357 Acres, more or less.



**SITE DATA**

Owned Land: Blessing Greenhouses and Compost Facility, Inc.  
 Address: 9372 Draper Road, Milford, DE 19963  
 Tax Parcel #: 230-15.00-34.00  
 Area: 14.8121 +/- Acs.  
 Zoning: Agriculture/Residential  
 Deed Reference: DB 5249/ PG 297

Leased Land: Red Fox Farms  
 Address: 24460 Sugar Hill Road Milford, DE 19963  
 Tax Parcel #: 230-15.00-35.00  
 Leased Area: 17.1357 +/- Acs.  
 Zoning: Agriculture/Residential  
 Deed Reference: DB 1327/ PG 286

Tenant/Lessee: Blessing Greenhouses and Compost Facility, Inc.  
 c/o Bruce Blessing  
 9372 Draper Road,  
 Milford, DE 19963

Premises Address: 9372 Draper Road, Milford, DE 19963

Total Site Area: 31.9478 Acres +/-

Datum: NAD83/NAVD88

- LEGEND**
- CIPF Capped Iron Pipe Found(CIPF)
  - IPF Iron Pipe Found (IPF)
  - IRF Iron Rod Found (IRF)
  - HTS Tacked Hub and Guard Stake Set
  - Boundary Corner (Nothing Set)
  - Property Boundary (P. 34) & ROW Line
  - Adjoiner Line
  - Lease Line (P. 35)
  - Building Set Back Line
  - Center of Slaughter Branch
  - DelDOT 30' and 50' Wide Permanent Easement

**BOUNDARY SURVEY**  
 for the  
**BLESSING GREENHOUSES AND COMPOST FACILITY, INC.**  
 Showing  
**REVISED RIGHT OF WAY FOR DRAPER ROAD**

9372 Draper Road  
 Milford, Cedar Creek Hundred  
 Sussex County, Delaware 19563

Revision #	Date	By	Reference #
1	01/08/2022	WES/ETH	See Notes 12-15
2	1/20/2022	WES/ETH	See Notes 12-15

11 Ailsa Court  
 Rising Sun, MD 21911  
**STEPHENS Environmental**  
 www.StephensENV.com  
 P: (302) 286-0406  
 M: (302) 540-3453

**Revised Right of Way for Draper Road**

Blessing Greenhouses and Compost Facility, Inc.  
 9372 Draper Road  
 Milford, Cedar Creek Hundred  
 Sussex County, Delaware 19563

DRAWN BY: NMO/WES CHECKED BY: MAN  
 SHEET # 3 OF 6  
 DATE: Jan. 20, 2022 DRAWING: 1646\_Boundary\_1-20-2022.pcs  
 District 2-30 Map 15.00 Parcel 34.00 and p/o 35.00 PROJECT #: 1646.SA FILE PATH: S:\2022\_Projects\1646\1646\_CJPCS\SITE PLAN

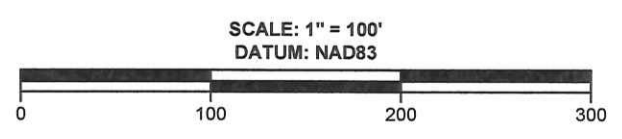


**ENGINEER'S CERTIFICATION**

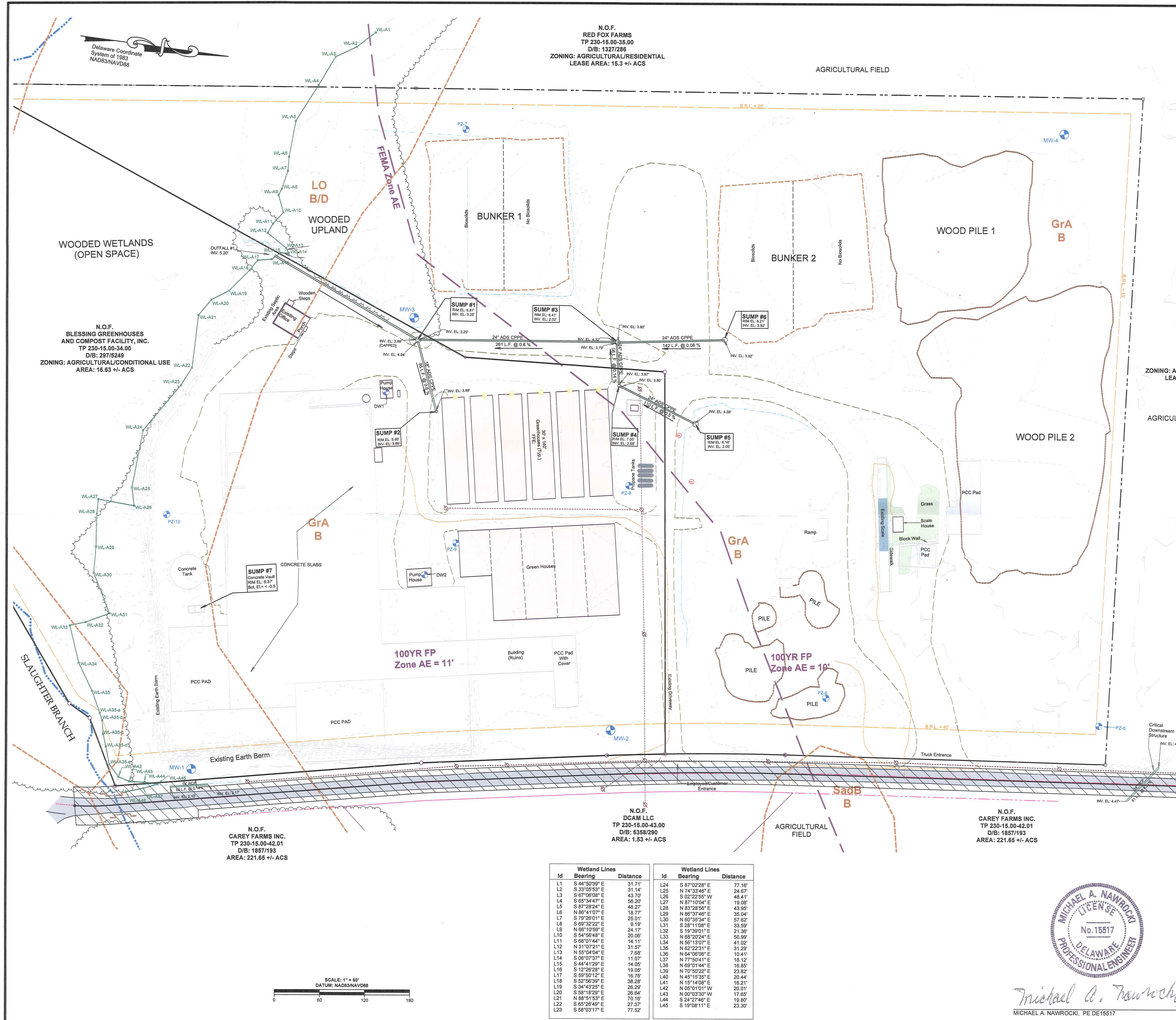
I, MICHAEL A. NAWROCKI, PE #15517, HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS IN THE STATE OF DELAWARE.

*Michael A. Nawrocki*  
 MICHAEL A. NAWROCKI, PE 15517  
 1/21/2022  
 DATE

NOF  
 FRANK DRAPER TRUSTEE  
 TP 230-15.00-33.00  
 DEED BOOK 4181 PG 329  
 ZONING - AGRICULTURAL/RESIDENTIAL



REVISED COM



- ### General Notes
- The existing topography shown hereon was obtained by network GPS and conventional field methods during the period of 10-23-2019 to 11-1-2019. The topography shown hereon is based on NAVD83/NAVD88 datum, Delaware Coordinate System of 1983, Geoid 2012 build 08. The topography shown hereon is "bare earth," and excludes the material piles and bunkers, and any changes in man-made grade that may occur inside covered buildings, and is intended to be suitable for design purposes.
  - Wetlands shown hereon were delineated in the field during the period of 10-23-2019 to 11-1-2019 by Stephens Environmental Consulting, Inc. and is subject to further study and field confirmation. The final site plan shall show the final wetland-upland boundary with bearings and distances.
  - This facility is subject to DNREC regulation under an Agreement and Secretary's Order (ASO) and an industrial stormwater permit. Please refer to these documents previously submitted for specific information regarding state regulated activities at the facility.
  - According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Community Panel Number 10005C0160K, Effective Date 3/16/2015, the site is located within the Special Flood Hazard Zone AE (El. 10 feet) or (El. 11Feet) as shown hereon.
  - The boundary and existing buildings shown on this plan are based on a survey performed by Stephens Environmental Consulting, Inc. dated October 13, 2016 entitled "Lease Boundary Line Agreement and Location Survey and Proposed Expansion Plan for the Blessings Greenhouse and Composting, Inc." as amended.

**Blessing Greenhouses and Compost Facility, Inc.**  
**Existing Conditions Plan**

9372 Draper Road  
Milford, Cedar Creek Hundred  
Sussex County, Delaware 19563

Wetland Lines			Wetland Lines		
Id	Bearing	Distance	Id	Bearing	Distance
L1	S 44°50'39" E	31.71'	L24	S 87°02'28" E	77.16'
L2	S 33°08'53" E	31.14'	L25	N 74°33'46" E	24.67'
L3	S 67°00'05" E	43.70'	L26	S 62°22'55" W	48.41'
L4	S 65°34'47" E	56.20'	L27	N 87°10'04" E	19.08'
L5	S 87°28'24" E	48.27'	L28	N 63°28'56" E	43.95'
L6	N 60°41'07" E	18.77'	L29	N 60°37'49" E	35.04'
L7	S 79°28'01" E	25.01'	L30	N 60°35'34" E	57.62'
L8	S 69°32'22" E	9.19'	L31	S 28°11'08" E	33.59'
L9	N 69°10'59" E	24.17'	L32	S 19°30'01" E	21.36'
L10	S 54°56'48" E	20.06'	L33	N 68°20'24" E	50.99'
L11	S 66°01'44" E	14.11'	L34	N 66°13'07" E	41.02'
L12	N 31°07'21" E	31.57'	L35	N 62°22'31" E	31.29'
L13	N 55°04'04" E	7.68'	L36	N 64°06'06" E	10.41'
L14	S 06°07'37" E	11.07'	L37	N 77°50'41" E	18.12'
L15	S 44°41'29" E	14.05'	L38	N 69°01'44" E	16.85'
L16	S 12°28'28" E	19.05'	L39	N 70°50'22" E	23.82'
L17	S 59°50'12" E	16.76'	L40	N 45°15'35" E	20.44'
L18	S 52°56'39" E	38.29'	L41	N 15°14'08" E	16.21'
L19	S 34°43'25" E	26.29'	L42	N 05°01'01" W	20.01'
L20	S 58°18'29" E	28.64'	L43	N 00°03'30" W	17.85'
L21	S 65°51'53" E	70.16'	L44	S 24°27'46" E	19.80'
L22	S 65°28'49" E	27.37'	L45	S 19°08'11" E	23.30'
L23	S 58°03'17" E	77.52'			



*Michael A. Nawrocki*  
MICHAEL A. NAWROCKI, PE DE15517  
1/21/2022  
DATE

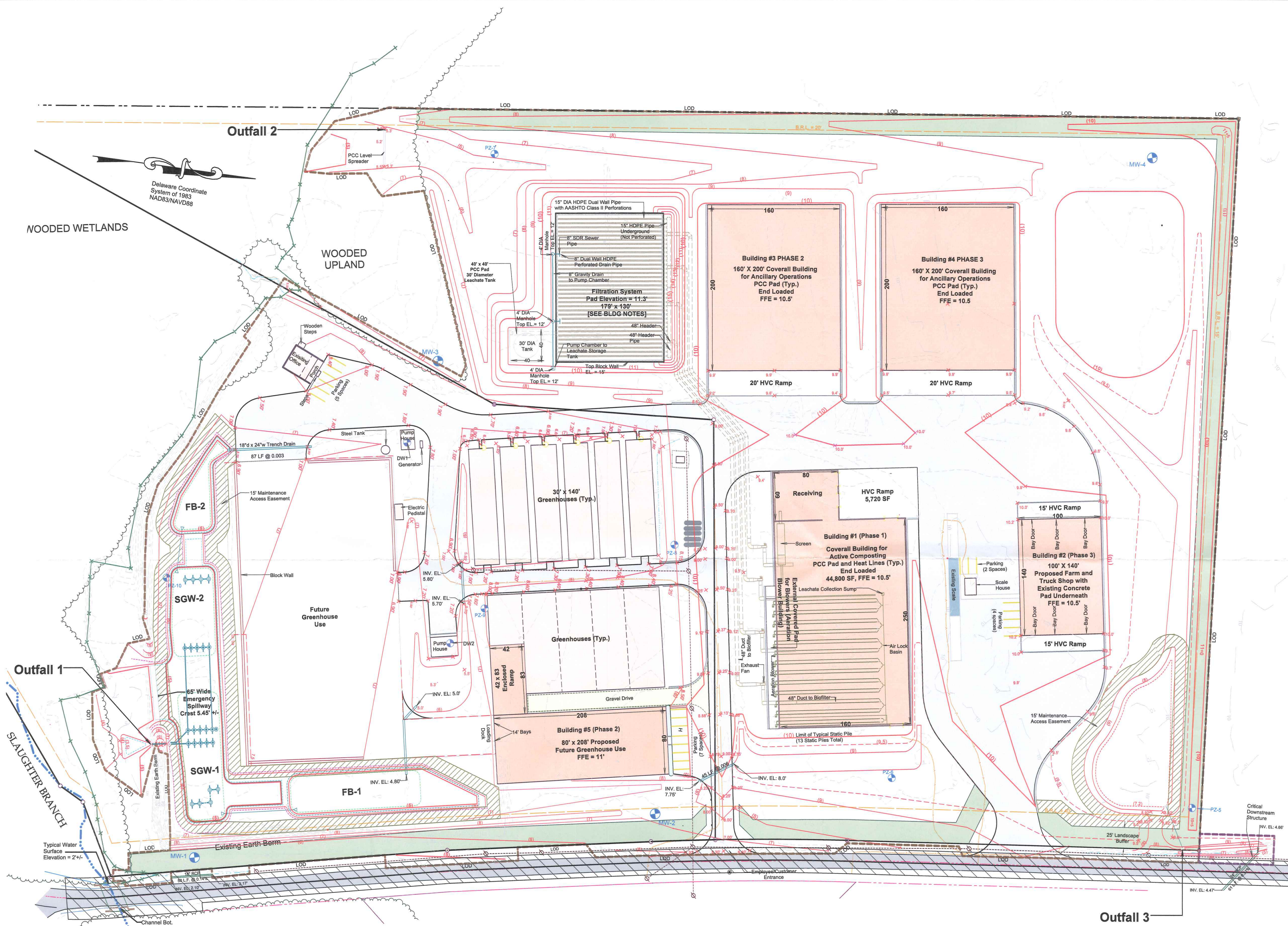
Revision #	Date	By	Reference #

11 Ailsa Court  
Rising Sun, MD 21911  
www.StephensENV.com  
P: (302) 286-0406  
M: (302) 540-3453

**Final Site Plan**  
Blessing Greenhouses and Compost Facility, Inc.  
9372 Draper Road, Milford, Cedar Creek Hundred  
Sussex County, Delaware 19563

DRAWN BY: ETHAVES    CHECKED BY: MAN  
SHEET # 4 OF 6  
DATE: 1/21/2022    DRAWING: 1646.CJ\_Draft\_Prelim\_Site\_Plan\_EX\_1-21-2022  
District 2-30 Map 15.00 Parcel 34.00 & P/O 35.00    PROJECT #: 1646.CJ    FILE PATH: S:\2021\_Projects\1646\PCS\SITE PLAN

Review Copy



- PROPOSED LEGEND**
- (10) Proposed Major Contours
  - (5) Proposed Minor Contours
  - Preliminary Wetland Delineation Line
  - Proposed Limit of Disturbance (LOD)
  - Proposed Block Wall
  - Proposed Heavy Use Concrete Ramp
  - Proposed Building with Concrete Floor
  - Proposed Pavement
  - Proposed Landscape Buffer
  - Proposed Spot Elevation
  - Proposed Outside Limit of Disturbance Line
  - Leachate Piping
  - Block Wall
  - Solid Piping
  - Underground Piping
  - Compost Building Piping
  - 15' Maintenance Access Easement
  - DelDOT 30' and 50' Wide Permanent Easement

**Blessing Greenhouses and Compost Facility, Inc.  
Bulk Grading Plan**

9372 Draper Road  
Milford, Cedar Creek Hundred  
Sussex County, Delaware 19563

SCALE: 1" = 60'  
DATUM: NAD83/NAVD88



*Michael A. Nawrocki*  
MICHAEL A. NAWROCKI, PE DE15517

Revision #	Date	By	Reference #

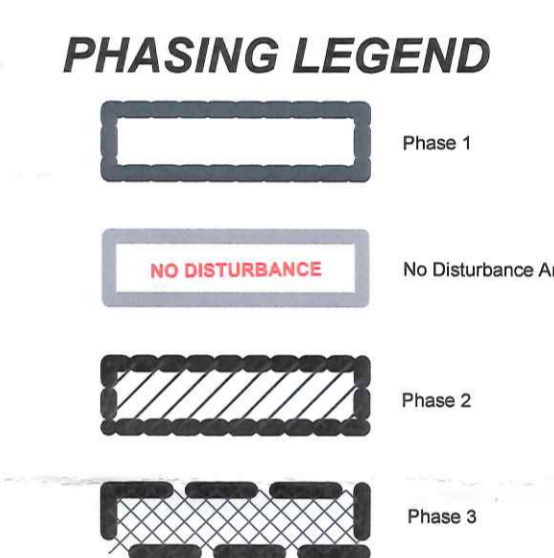
		www.StephensENV.com P: (302) 286-0406 M: (302) 540-3453	
11 Alisa Court Rising Sun MD 21911			
<b>Final Site Plan</b>			
Blessing Greenhouses and Compost Facility, Inc. 9372 Draper Road, Milford, Cedar Creek Hundred Sussex County, Delaware 199563			
DRAWN BY: ETH/WES SHEET # : 5 OF 6	CHECKED BY: MAN	DATE: 1/21/2022	DRAWING: 1646.CJ_Prelim_Site_Plan_P&G_1-21-2022.ppt PROJECT #: 1646.CJ FILE PATH: S:\2021_Projects\1646_CJ\PCS\SITE PLAN

Review  
COT

PHASE AREA TABLE		
PHASE	AREA (Acs.)	BLDG SF. TO BE ADDED
PHASE 1	16.5	44,800
PHASE 2	1.46	52,379
PHASE 3	1.78	46,000

**PHASING NOTES**

- PHASE 1 WILL INCLUDE BUILDING #1, THE FILTER PAD, PIPING AND LEACHATE TANK/PAD, AND REGRADING AND PAVING OF EXISTING GRAVEL AREAS. IT ALSO INCLUDES GENERAL GRADING OF THE MAJORITY OF THE SITE INCLUDING THE PERIMETER BERM AND LANDSCAPE BUFFER, THE SUBMERGED GRAVEL WETLANDS SERVING PDA-1a, THE LOWER SWALES DRAINING THE FILTRATION PAD, THE SWALE FOR PDA-1b AND REMOVAL OF THE EXISTING SUMP SYSTEM, AND CONSTRUCTION OF THE DRY DETENTION BASIN AT THE NORTHEASTERLY CORNER OF THE SITE. PHASE 1 WILL INCLUDE PLANTINGS PER THE APPROVED LANDSCAPE PLAN FOR THE REQUIRED 25' PERIMETER LANDSCAPE BUFFER (TO BE APPROVED BY SUSSEX COUNTY) AS WELL AS PLANTINGS FOR THE SUBMERGED GRAVEL WETLANDS AND WET FOREBAYS. THE APPROXIMATE YEAR OF COMPLETION FOR PHASE 1 IS THE YEAR 2022.
- PHASE 2 WILL INCLUDE BUILDINGS #3 AND #5, PREPARATION FOR BUILDING #4, AND DRAINAGE AND STORMWATER MANAGEMENT FACILITIES FOR PDA-2 ALONG WITH ADDITIONAL PAVING AND PROXIMAL STORMWATER MANAGEMENT BMPs ASSOCIATED WITH THE NEW BUILDINGS AND PAVEMENT (i.e. DIAPHRAGMS AND FILTER STRIPS.) THE APPROXIMATE YEAR OF COMPLETION FOR PHASE 2 IS THE YEAR 2024.
- PHASE 3 WILL INCLUDE THE INSTALLATION OF BUILDINGS #2 AND #4 AND ANY INCIDENTAL FINE GRADING AND STABILIZATION. THE APPROXIMATE YEAR OF COMPLETION IS THE YEAR 2026.



**Blessing Greenhouses and Compost Facility, Inc.  
Phasing Plan**

9372 Draper Road  
Milford, Cedar Creek Hundred  
Sussex County, Delaware 19563

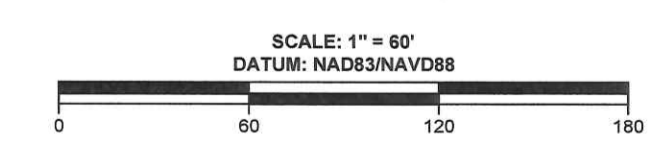


Michael A. Nawrocki  
MICHAEL A. NAWROCKI, PE DE15517  
1/21/2022  
DATE

Revision #	Date	By	Reference #

		www.StephensENV.com P: (302) 286-0406 M: (302) 540-3453
11 Ailsa Court Rising Sun MD 21911		
<b>Final Site Plan</b>		
Blessing Greenhouses and Compost Facility, Inc. 9372 Draper Road, Milford, Cedar Creek Hundred Sussex County, Delaware 19563		
DRAWN BY: ETH/WES SHEET #: 6 OF 6	CHECKED BY: MAN	DATE: 1/21/2022 PROJECT #: 1648.CJ
DISTRICT 2-30 MAP 15.00 PARCEL 34.00 & PIO 35		FILE PATH: S:\2021_Projects\1648_CJ\PCBS\SITE PLAN

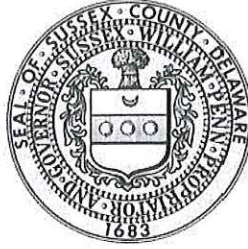


Review copy



## PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE-CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY J. WINGATE



## Sussex County

DELAWARE  
SUSSEXCOUNTYDE.GOV  
302-855-7878 T  
302-854-5079 F  
JAMIE WHITEHOUSE, MRTPI, AICP  
DIRECTOR OF PLANNING AND ZONING

January 31, 2021

Mr. Ring Lardner, P.E.  
Davis, Bowen & Friedel, Inc.  
1 Park Avenue  
Milford, DE 19963

By email to: [rwl@dbfinc.com](mailto:rwl@dbfinc.com)

RE: Staff Review of the Revised Preliminary Site Plan for Ocean Park (S-19-46) located off Cedar Grove Road and Plantation Road (Rd. 275).  
Tax Parcels: 334-12.00-50.00 & 334-12.00-51.00

Dear Mr. Lardner,

The Planning and Zoning Department has reviewed the submitted Revised Preliminary Site Plan for Ocean Park received December 28, 2021. The parcels are located on the south east corner of Cedar Grove Road and Plantation Road (Rd. 275). Parcel 334-12.00-50.00 is zoned Agricultural Residential (AR-1) Zoning District and parcel 334-12.00-51.00 is zoned Neighborhood Business (B-1) Zoning District. Staff has reviewed the proposed site plan for compliance with the Sussex County Zoning Code and have the following comments:

### Preliminary Site Plan

1. Staff notes that parking is only permitted as an accessory use in the AR-1 zoning district. If parcel 334-12.00-50.00 and 334-12.00-51.00 are combined, the parking will be permitted. Otherwise, the parking in 334-12.00-50.00 will require a conditional use.
2. Please include the Net Development Area of the parcel within the Site Data Column.
3. Please indicate on the plans the number of construction phases proposed and show the approximate boundaries of each phase and the proposed completion date of each phase.
4. Staff notes that the proposed site lies within the Henlopen Transportation Improvement District (TID) and will be subject to an agreement with the Delaware Department of Transportation (DelDOT). Please note on the plan that the site is located within the TID.
5. Please include in the General Notes Column that this parcel is located in an area of "good/fair" Groundwater Recharge potential in order to comply with Chapter 89 "Source Water Protection" of the Sussex County Code (§89-7).
6. Please include in the General Notes Column that this parcel is not located within a wellhead protection area (§89-6).

### Final Site Plan

1. Please include the location and character of construction for any outdoor lighting systems (§115-221(B)(5)).



2. Staff notes that off-street parking along the south side of the property is located within 50' of a residential lot and will require a continuous visual screen with a minimum height of 6 feet (§115-166(H)).
3. Staff notes that the Data Column lists 4 proposed off-street loading spaces, however there are only 3 loading spaces illustrated on the plan. The loading space for Building #1 measures 11' by 40' and the loading spaces for Building #2 and 3 each measure 10' by 40'. The minimum size requirements for loading spaces are a width of 12 feet and a depth of 40 feet (§115-170(A)).
4. Staff notes that the number of proposed parking spaces is greater than the number of required spaces. Staff also notes that the surrounding uses near the site are primarily residential. Staff recommends removing the additional parking and adding pedestrian and bicycle accommodations.
5. Please include the height of all proposed buildings (§115-221(B)(7)).
6. Please include the location height and material of all fences, walls, screen planting and landscaping (§115-221(B)(9)).
7. Please include a statement indicating that there are no wetlands on the site (§115-221(B)(14)).
8. Please include a bulk grading plan (§115-221(B)(17)).
9. Prior to approval of the Final Site Plan, approval letters or letters of no objection from the following agencies shall be submitted to the Sussex County Planning and Zoning Office:
  - a. Sussex Conservation District
  - b. Delaware Department of Transportation (DelDOT)
  - c. State Fire Marshal

Please provide **one (1) full-size copy** and **one (1) electronic copy** of a Revised Preliminary Site Plan when the revisions are complete if you wish your application to be considered at the next available Planning and Zoning Commission meeting.

Please feel free to contact me with any questions during business hours 8:30 A.M. – 4:30 P.M., Monday through Friday at 302-855-7878.

Sincerely,



Mx. Jesse Lindenberg  
Planner I



*Leading Providers of Infrastructure  
Asset Management and Engineering  
Services since 1994*

29 March 2022

Ms. Christin Scott  
Sussex County Planning & Zoning  
Planning Department  
County Administrative Offices  
2 The Circle  
Georgetown, DE 19947

RE: Waiver Request for Seaside Court, fka The Cottages of Rehoboth (S-22-07) located off Church Street (S.C.R. 14A)  
Tax Parcel: 334-13.20-108.00 & 109.00

Dear Ms. Scott:

We respectfully request the eight (8) parking spaces located within the front yard setback to be waived from the parking requirements for this project. This site is 0.545 acre with two (2) street frontages that require 40 foot setbacks. This minimizes the buildable area by 30 feet & 1,747 sf (0.04 ac). We are removing the two (2) entrances on Rehoboth Avenue Extended and proposing a 24 foot wide entrance at the end of Church Street. We believe our layout of the proposed five (5) dwellings & ten (10) space parking lot will provide minimal impact to the area. We do not believe that such a waiver would be detrimental to the health and welfare of the neighborhood, depreciate surrounding property values, create a fire hazard or otherwise be contrary to the public interest. Granting this waiver will help us to provide a welcome change to the two (2) existing rundown dwellings.

Should you have any questions regarding this waiver request, please call or email me at your earliest convenience. I may be reached at 302.781.4345 or [Jeff.Williams@MottMac.com](mailto:Jeff.Williams@MottMac.com).

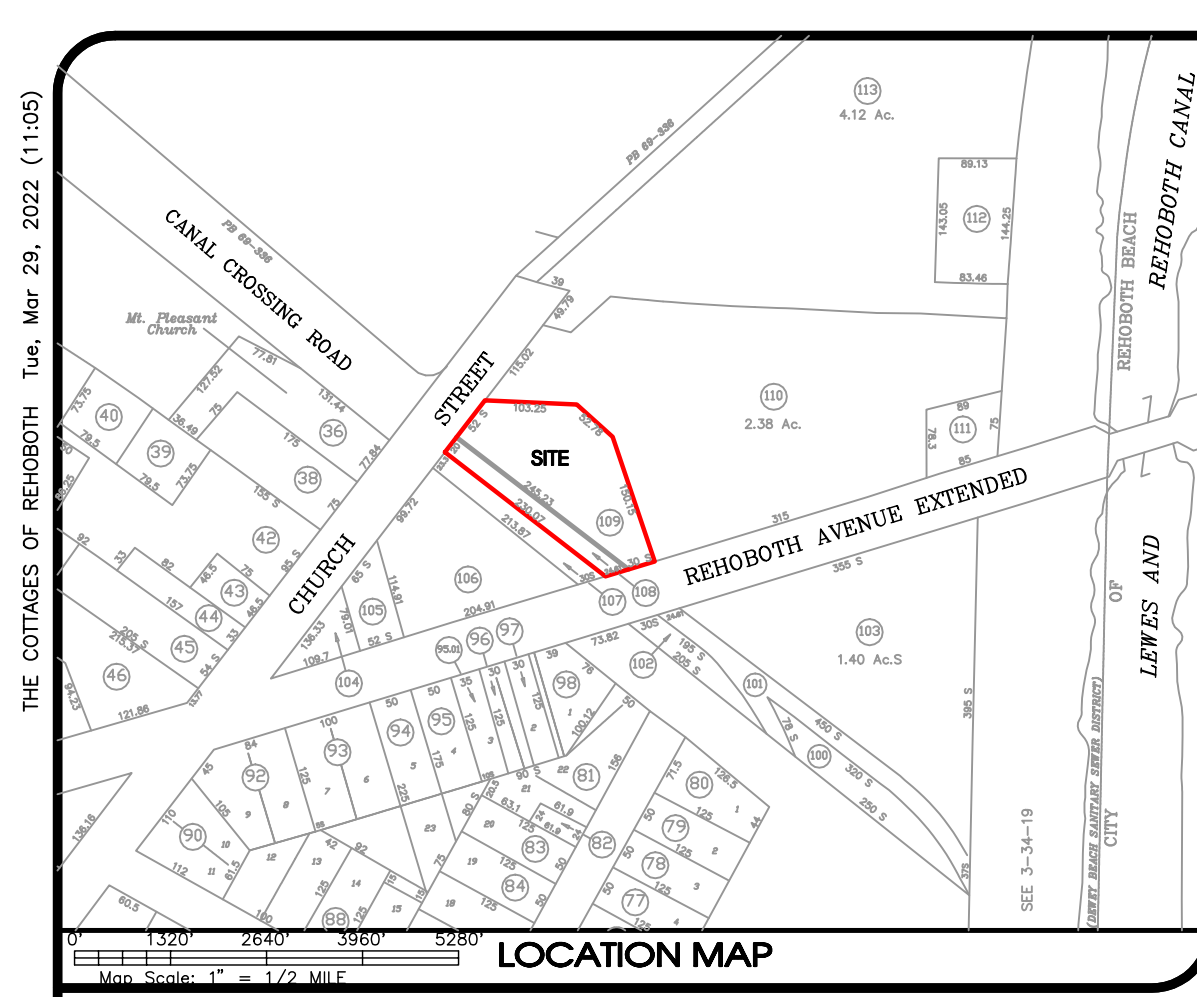
Sincerely,

THE KERCHER GROUP, INC.  
A Division of Mott MacDonald

Jeffrey C. Williams, P.E.  
Senior Project Manager

cc: Allen Walker, III – Seaside Court, LLC

THE COTTAGES OF REHOBOTH, Inc., Mar. 29, 2022 (1105)



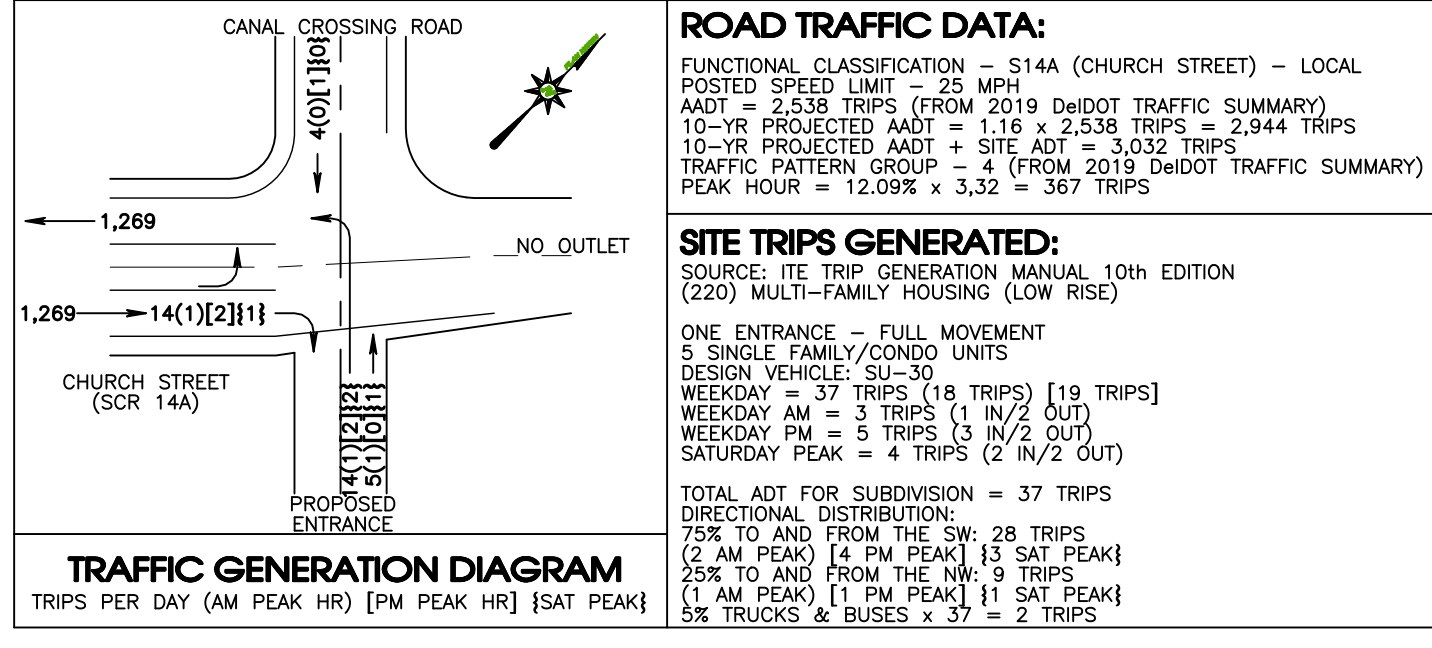
PLAN LEGEND table listing symbols for existing and proposed features such as iron pin/pipe, property lines, contours, and easements.

SITE DATA & ZONING SCHEDULE

Table with 3 columns: TAX PARCEL NO., PROPERTY ADDRESS, EXISTING ZONING DISTRICT, etc., and their corresponding values.

PROPERTY AREA table listing various areas like PROPERTY AREA, DWELLING AREA, PARKING AREA, etc., with their respective square footages.

TRIP GENERATION - CHURCH STREET (SCR 14A)



ROAD TRAFFIC DATA: FUNCTIONAL CLASSIFICATION - S14A (CHURCH STREET) - LOCAL POSTED SPEED LIMIT - 25 MPH. SITE TRIPS GENERATED: ONE ENTRANCE - FULL MOVEMENT 5 SINGLE FAMILY/CONDO UNITS...

GENERAL NOTES

- 1. PURPOSE OF PLAN: THE PURPOSE OF THIS PLAN IS TO COMBINE PARCELS 334-13.20-108.00 & 334-13.20-109.00 AND DEVELOP AS A MULTIPLE FAMILY DWELLINGS WITH FIVE (5) SINGLE FAMILY DETACHED DWELLINGS ON THE ONE (1) PARCEL.

RECORD PLAN NOTES

- 1. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.

SITE SOIL DATA

Table with 5 columns: Soils Name, Slopes (%), Soil Drainage, Depth to water table (ft), Permeability (in./hr), Hydrologic Soil Group.

SUSSEX CONSERVATION DISTRICT CERTIFICATION

RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF SUSSEX COUNTY ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.

PLANNING COMMISSION CERTIFICATION

RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF SUSSEX COUNTY ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.

OWNER CERTIFICATION

I HEREBY CERTIFY THAT I AM THE EQUITABLE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.



REVISIONS

Table with 3 columns: No., DATE, DESCRIPTION.



Scale bar (0 to 40 feet) and project information including application number, date, and sheet number.

SEASIDE COURT, LLC information including address, contact details, and parcel information.

THE KERCHER GROUP, INC. information including address, contact details, and application information.

JOB No: 507106416, PLAN DATE: Jan 25, 2022, SHEET No.: S1.

THE COTTAGES OF REHOBOTH, Inc., Mar. 29, 2022 (1105)

solutions

Integrated Planning  
Engineering & Management, LLC

March 23, 2022

Ms. Christin Scott  
Planner 1- Sussex Planning and Zoning  
2 The Circle P.O. Box 417  
Georgetown, Delaware 19947

**RE: Parking in Setback Waiver Request  
Preliminary Site Plan-Bethany Bay Brewing  
38450 Hickman Road  
Sussex County, Delaware  
Tax Parcel 134-9.00-27.00  
G21025**

Dear Ms. Scott,

In response to plan review comment no.2 dated March 21, 2022, we are requesting that a waiver be granted for parking in the front setback at the above referenced location. The parking spaces noted existed previous to this proposed use and are not being altered as part of this project.

Sincerely,

SOLUTIONS IPEM, LLC



Scott G. Rogers, AIA, LEED AP  
Director of Architecture

Cc:Larry Davies

RECEIVED

MAR 29 2022

SUSSEX COUNTY  
PLANNING & ZONING



March 24, 2022

Mr. Larry Davies  
Bethany Brewing Company  
Via email: brewinop@gmail.com

RE: 38450 Hickman Road, Ocean View, DE  
**TMP# 134-9.00-27.00**

Dear Mr. Davies,

Sussex Conservation District has reviewed the proposed site plan for the above referenced property. The total disturbance of the appears to be less than 5,000 square feet of disturbance and is therefore exempt from the Delaware Sediment and Stormwater Regulations.

If you should have any questions please do not hesitate to contact the District for assistance.

Sincerely,

SUSSEX CONSERVATION DISTRICT

*Jessica L. Watson*

Jessica L. Watson  
Program Manager



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

NICOLE MAJESKI  
SECRETARY

March 29, 2022

Mr. Jamie Whitehouse, Director  
Sussex County Planning & Zoning Commission  
Sussex County Administration Building  
P.O. Box 417  
Georgetown, Delaware 19947

**SUBJECT: Letter of No Contention Approval**  
Bethany Bay Brewing Co.  
Tax Parcel # 134-9.00-27.00  
SCR00357-CEDAR NECK ROAD  
SCR00359-HICKMAN ROAD  
Baltimore Hundred, Sussex

Dear Mr. Whitehouse:

The Delaware Department of Transportation (DelDOT) has reviewed a request, dated February 23, 2022, to obtain a Letter of No Contention (LONC) to use an existing commercial building and site entrance for the above referenced project, and has approved the request. This approval shall be valid for a period of **one (1) year**.

This determination is based on the project information as provided in the completed Permit Application, and verification of the requirements on the LONC approval checklist.

The following conditions are provided with this approval:

- 1) Site shall have access from the existing entrance located on Hickman Road (SCR 359).
- 2) No entrance modifications or traffic pattern changes are proposed or authorized under this LONC approval.
- 3) DelDOT reserves the right to review, modify or revoke this LONC approval in the future if proposed activities create traffic conflicts, safety concerns or operational issues.
- 4) The property owner is responsible to:
  - a. Submit information to DelDOT, regarding any future operational or site changes, (including but not limited to: rezoning, site layout changes, changes in use, entrance modifications, expanded/additional uses, new uses, etc.). Changes of this nature may alter the flow and/or volume of traffic and could require a new LONC or formal review for Approvals and/or Permits.

Bethany Bay Brewing Co.  
Mr. Jamie Whitehouse  
Page 2  
March 29, 2022

- b. Establish and maintain clear sight lines at the entrance. There shall be no placement of structures, signs, objects, items for sale or parking of vehicles within State right-of-way or entrance limits. Shrubbery, Plantings, trees and/or other visual barriers that could obstruct the sight distance of a driver preparing to enter the roadway are prohibited.
- 5) The property owner and applicant are responsible to coordinate with DelDOT Outdoor Advertising & Roadside Control at (302) 853-1327, for information on obtaining specific permits for sign installation on private property. Permits for Utilities construction within State right-of-way require separate permit applications please contact DelDOT's South District at (302) 853-1345.

If the Department can be of any further assistance, please call me at (302) 760-2266.

Sincerely,



R. Stephen McCabe  
Sussex County Review Coordinator,  
Development Coordination

cc: Larry Davies  
Jason Palkewicz, Solutions IPER  
Sussex County Planning & Zoning  
Matt Schlitter, South District Public Works Engineer  
Scott Rust, South District Public Works Manager  
James Argo, South District Project Reviewer  
James Smith, South District Entrance Permit  
Wendy L. Polasko, P.E., Subdivision Engineer  
Kevin Hickman, Sussex County Reviewer

JAMIE WHITEHOUSE, AICP  
 PLANNING & ZONING DIRECTOR  
 (302) 855-7878 T  
 (302) 854-4079 F  
 jamie.whitehouse@sussexcountydela.gov



**Sussex County**  
 DELAWARE  
 sussexcountydela.gov

February 16, 2022

Mr. Lawrence Davies  
 58 Windjammer Drive  
 Ocean Pines, MD 21811

By e-mail to: [brewinop@gmail.com](mailto:brewinop@gmail.com)

RE: Notice of Decision Letter for Conditional Use (CU 2282) Lawrence Davies for a microbrewery to be located on the southeast corner of the intersection of Cedar Neck Road (S.C.R. 357) and Hickman Road (S.C.R. 359) at 38450 Hickman Road, Ocean View.  
 Tax Parcel: 134-9.00-27.00

Dear Mr. Davies

At their meeting of Tuesday, February 1, 2022, the Sussex County Council approved the Conditional Use application for a microbrewery subject to seven (7) conditions. The Conditional Use shall be substantially underway within three (3) years of the County Council approval otherwise the Conditional Use shall expire. A Site Plan showing the conditions of approval shall be reviewed and approved by the Planning Commission prior to commencement of the use on the parcel. The following are the conditions:

- The use as a microbrewery shall comply with all State and Federal requirements for its use and operation.
- The use shall comply with all Sussex County Engineering Department requirements concerning the connection of the microbrewery operation to the Sussex County Sewer System. In addition, any waste or spent materials associated with the brewing operations shall be stored inside of the building until removed by legal and appropriate methods.
- The hours of operation for public access to the microbrewery shall be between 11:00 am and 10:00 pm each day.
- There shall be no outdoor music on the patio. The location and size of the patio shall be shown on the Final Site Plan and clearly marked on the site itself.
- Since this property is zoned C-1, the signage shall comply with the requirements of the C-1 Zoning District.
- All roadway and intersection improvements shall be subject to the requirements of DelDOT.
- The Final Site Plan shall be subject to review and approval of the Sussex County Planning & Zoning Commission.

The Final Site Plan shall be prepared by a licensed Delaware Surveyor or Engineer and shall contain the conditions of approval on the plan. The Final Site Plan shall be approved prior to the commencement of the use on the property. The Site Plan shall be reviewed and approved by the Planning Commission. Agency approvals include but are not limited to: the Delaware Department

Notice of Decision Letter  
 CU 2282 Lawrence Davies  
 Page 2 of 2

of Transportation (DelDOT), Sussex Conservation District and the Office of the State Fire Marshal.

Please submit a minimum of two (2) full size paper copies and an electronic copy (PDF) of the Preliminary Site Plan to the Planning and Zoning Office a minimum of twenty (20) days prior to a Planning Commission meeting.

An approved copy of the Ordinance granting approval of the Conditional Use will be sent to you from the Clerk of Council.

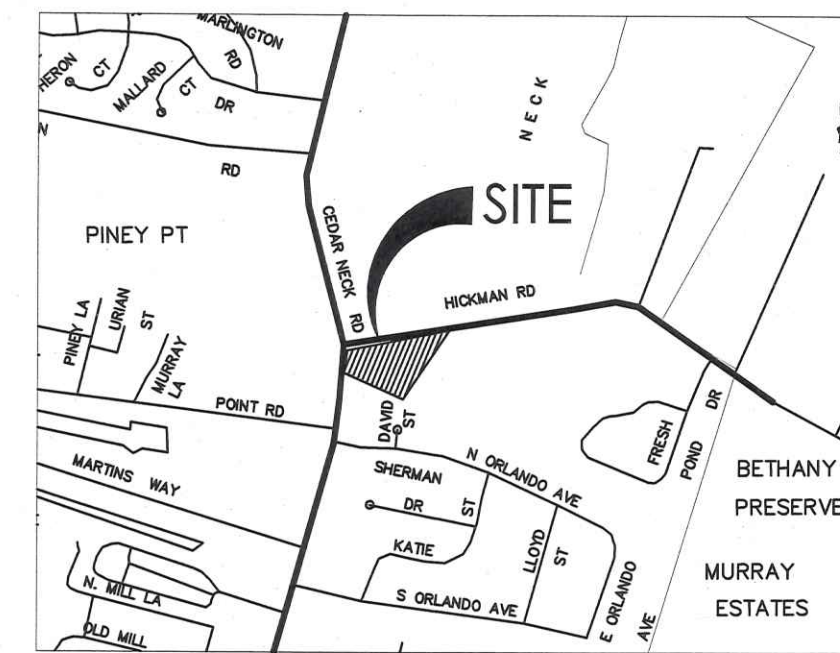
Please feel free to contact the Planning and Zoning Department with any questions during business hours 8:30 am to 4:30 pm, Monday through Friday, at (302)-855-7878.

Sincerely,

*Christy Scott*

Mrs. Christin Scott  
 Planner I

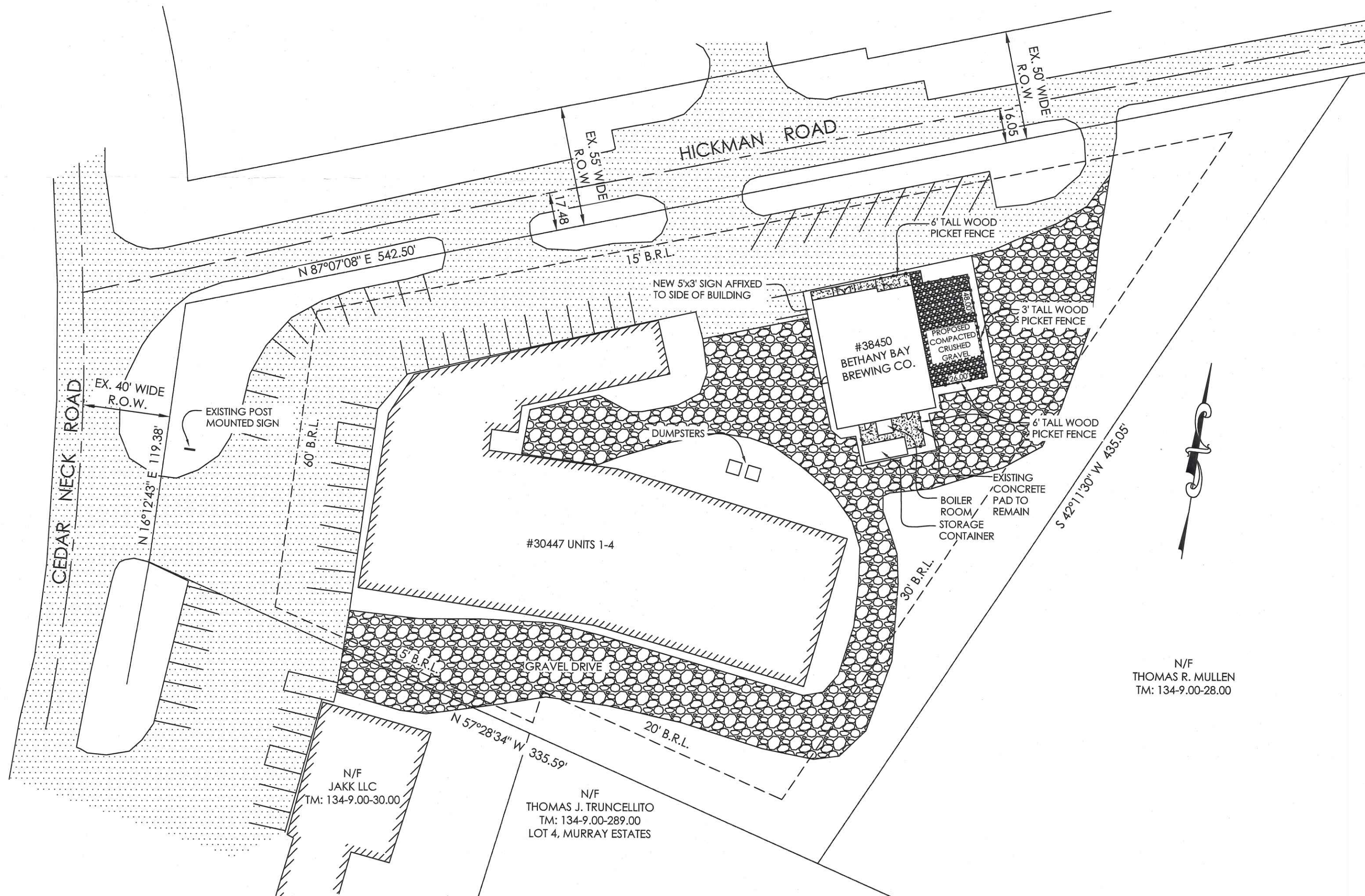
CC: Mr. Lester Shaffer, Sussex County Chief Constable - Constable's Office  
 Ms. Susan Isaacs, Sussex County Engineering Project Coordinator - Engineering - Public Works  
 Mr. Andy Wright, Chief of Building Code - Sussex County Building Code  
 Mr. John Ashman, Director of Utility Planning & Design - Engineering  
 Ms. Mackenzie Peet, Esq.  
 CU 2282 Lawrence Davies File



VICINITY MAP  
 1"=1000'

**GENERAL NOTES**

- CURRENT OWNER: JAKK LLC  
 30447 CEDAR NECK ROAD  
 OCEAN VIEW, DELAWARE 19970
- TAX REFERENCE: 134-9.00-27.00
- DEED REFERENCE: 4686 / 173
- LOT AREA: 2.35 ACRES +/-
- PREMISES ADDRESS: 38450 HICKMAN ROAD  
 OCEAN VIEW, DE 19970
- ZONE: C-1 GENERAL COMMERCIAL
- PROPERTY LINES SHOWN HEREON WERE PLOTTED FROM THE CURRENT DEED DESCRIPTION. A BOUNDARY SURVEY HAS NOT BEEN PERFORMED.
- SETBACKS: FRONT: 60' (CEDAR NECK ROAD)  
 CORNER FRONT: 15' (HICKMAN ROAD)  
 SIDE: 5' (ADJACENT TO COMMERCIAL ZONING)  
 SIDE: 20' (ADJACENT TO RESIDENTIAL ZONING)  
 REAR: 30' (ADJACENT TO RESIDENTIAL ZONING)
- THIS PARCEL IS NOT LOCATED IN A WELLHEAD PROTECTION AREA.
- THIS PARCEL IS LOCATED IN AN AREA OF "GOOD" GROUNDWATER RECHARGE POTENTIAL.
- THIS PROPERTY IS NOT LOCATED WITHIN ANY TRANSPORTATION IMPROVEMENT DISTRICT (TID).



**LEGEND**

- GRAVEL HATCH
- CONCRETE HATCH
- PAVEMENT HATCH
- PROPERTY LINE
- ADJOINER PROPERTY LINE



**solutions**  
 Integrated Planning  
 Engineering & Management, LLC

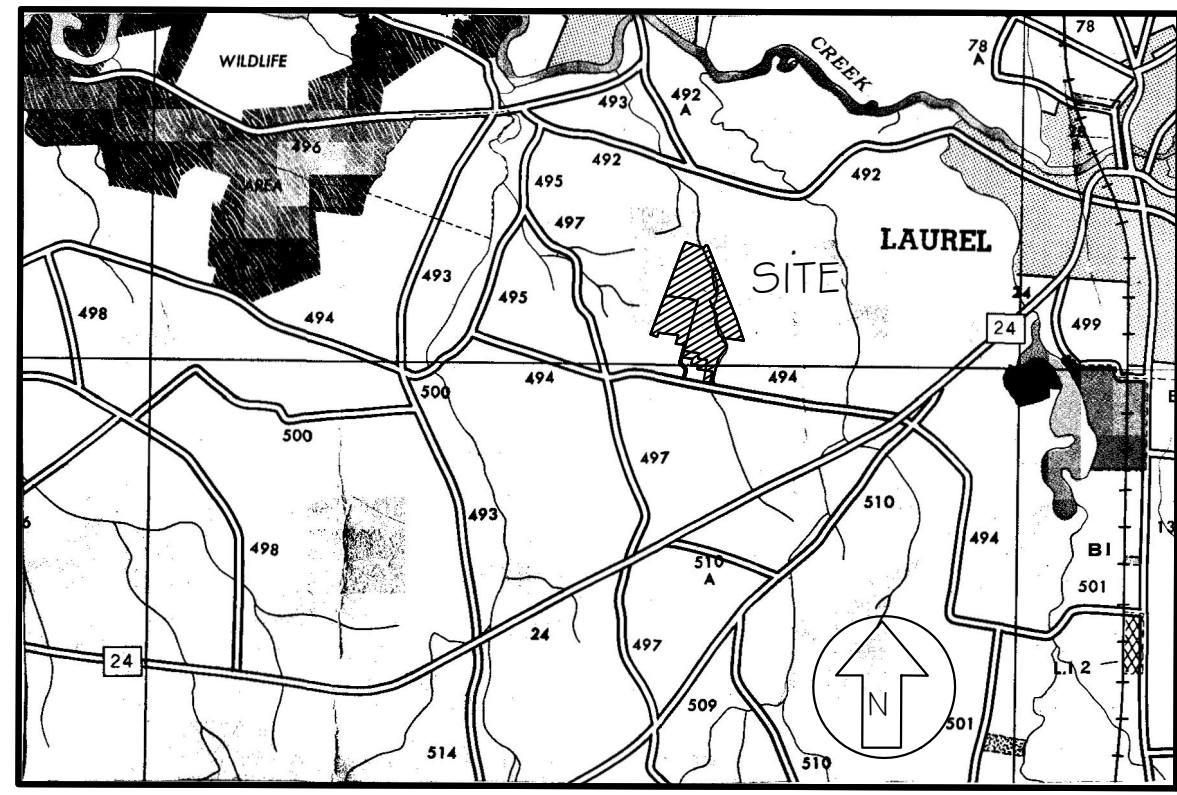
**Fuller Hall**  
 & ASSOCIATES, INC.  
 A Wholly Owned Subsidiary  
 303 N. Bedford St.  
 Georgetown, DE 19947  
 T. 302.297.9215  
 3003 Merritt Mill Road  
 Salisbury, MD 21804  
 T. 410.572.8833  
 www.solutionsipem.com Copyright © 2021

REVISIONS	DATE	DESCRIPTION
	2/17/22	ADD CONDITIONAL USE LETTER
	3/24/22	REVISIONS PER P&Z COMMENTS

**SITE PLAN**  
 for  
**38450 HICKMAN ROAD**  
 BALTIMORE HUNDRED  
 OCEAN VIEW, SUSSEX COUNTY, DELAWARE

Date:	03-24-2021	Job Number:	G21025	Scale:	1" = 40'	Drawn By:	RAM	Designed By:		Approved By:	SWF
Sheet No.:	1										
File Name:	G21025 Site Plan.dwg										





VICINITY MAP  
SCALE 1" = 1 MILE

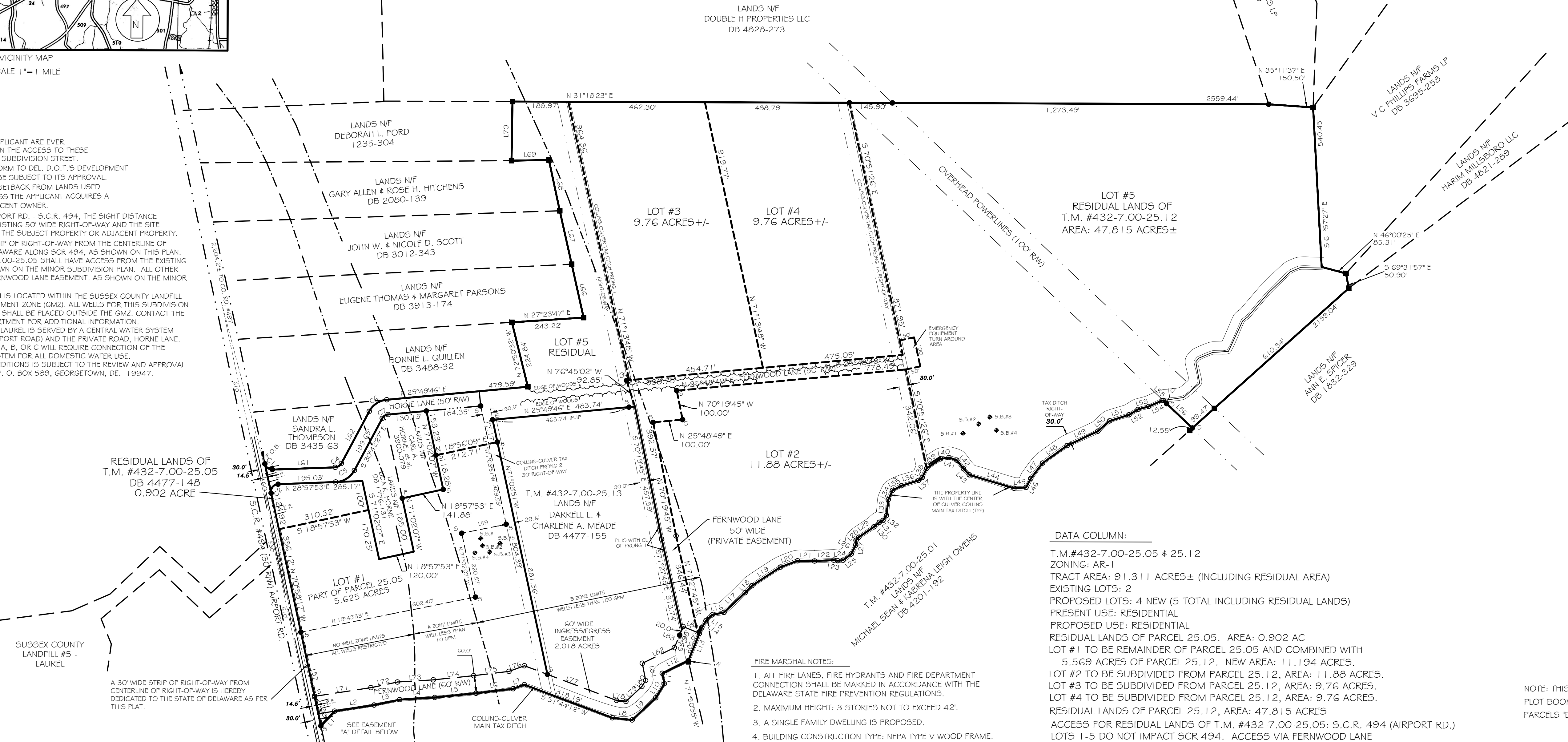
NOTES:

- 1. IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A SUBDIVISION THEN THE ACCESS TO THESE PARCELS MAY BE FROM AN INTERVAL SUBDIVISION STREET.
2. ALL NEW ENTRANCES SHALL CONFORM TO DEL. D.O.T.'S DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
3. THERE IS A FIFTY FOOT BUILDING SETBACK FROM LANDS USED FOR AGRICULTURAL PURPOSES UNLESS THE APPLICANT ACQUIRES A LETTER OF CONSENT FROM THE ADJACENT OWNER.
4. FOR THE TWO ENTRANCES ON AIRPORT RD. - S.C.R. 494, THE SIGHT DISTANCE DECISION POINT FALLS WITHIN THE EXISTING 50' WIDE RIGHT-OF-WAY AND THE SITE TRIANGLE AT NO POINT ENROACHES THE SUBJECT PROPERTY OR ADJACENT PROPERTY.
5. LOT #1 SHALL DEDICATE A 30' STRIP OF RIGHT-OF-WAY FROM THE CENTERLINE OF RIGHT-OF-WAY TO THE STATE OF DELAWARE ALONG SCR 494, AS SHOWN ON THIS PLAN.
6. RESIDUAL LAND FROM T.M. #432-7.00-25.05 SHALL HAVE ACCESS FROM THE EXISTING ENTRANCE ALONG SCR 494, AS SHOWN ON THE MINOR SUBDIVISION PLAN. ALL OTHER LOTS SHALL HAVE ACCESS FROM FERNWOOD LANE EASEMENT, AS SHOWN ON THE MINOR SUBDIVISION PLAN.
7. THE PROPERTY IDENTIFIED HEREIN IS LOCATED WITHIN THE SUSSEX COUNTY LANDFILL #5 - LAUREL GROUNDWATER MANAGEMENT ZONE (GMZ). ALL WELLS FOR THIS SUBDIVISION AND FURTHER SUBDIVISION OF LAND SHALL BE PLACED OUTSIDE THE GMZ. CONTACT THE SUSSEX COUNTY ENGINEERING DEPARTMENT FOR ADDITIONAL INFORMATION.
8. THE AREA AROUND THE SCLF #5 - LAUREL IS SERVED BY A CENTRAL WATER SYSTEM WITH SERVICE LINES ON CR 494 (AIRPORT ROAD) AND THE PRIVATE ROAD, HORNE LANE. ANY FURTHER SUBDIVISION OF LOTS A, B, OR C WILL REQUIRE CONNECTION OF THE HOMES TO THIS CENTRAL WATER SYSTEM FOR ALL DOMESTIC WATER USE.
9. ANY RELIEF FROM THE ABOVE CONDITIONS IS SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY ENGINEER, P. O. BOX 589, GEORGETOWN, DE. 19947.

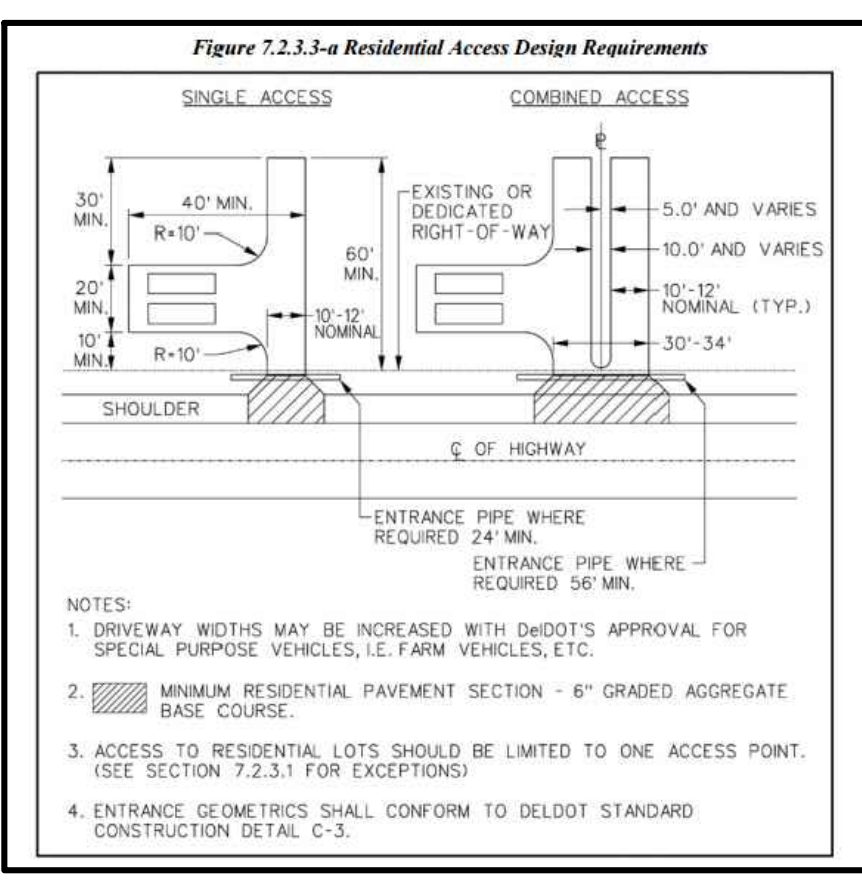
CURVE DATA table with columns: CURVE, RADIUS, DELTA ANGLE, ARC LENGTH, CHORD LENGTH, CHORD BEARING. Contains data for curves C1 through C7.

LINE TABLE

LINE TABLE with columns: LINE, BEARING, DISTANCE. Lists line segments L1 through L84 with their respective bearings and distances.



A 30' WIDE STRIP OF RIGHT-OF-WAY FROM CENTERLINE OF RIGHT-OF-WAY IS HEREBY DEDICATED TO THE STATE OF DELAWARE AS PER THIS PLAN.



NOTE: SHRUBBERY, PLANTINGS, SIGN AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN...

FIRE MARSHAL NOTES:

- 1. ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTION SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
2. MAXIMUM HEIGHT: 3 STORIES NOT TO EXCEED 42'.
3. A SINGLE FAMILY DWELLING IS PROPOSED.
4. BUILDING CONSTRUCTION TYPE: NFPA TYPE V WOOD FRAME.
5. AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.

OWNERSHIP CERTIFICATE: WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

MICHAEL W. SHORT, SR. DATE
LORI T. SHORT DATE

- LEGEND: CONCRETE MONUMENT (FOUND), FIELD STONE (FOUND), IRON PIPE (FOUND), 60d NAIL (SET), POINT, SOIL BORING, IRON PIPE (SET), EXISTING ENTRANCE, PROPOSED LOT LINE, LINE TO BE EXTINGUISHED.

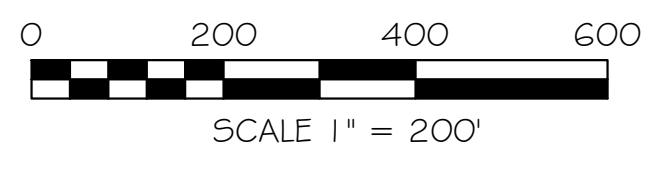
DATA COLUMN:

T.M.#432-7.00-25.05 # 25.12
ZONING: AR-1
TRACT AREA: 91.311 ACRES± (INCLUDING RESIDUAL AREA)
EXISTING LOTS: 2
PROPOSED LOTS: 4 NEW (5 TOTAL INCLUDING RESIDUAL LANDS)
PRESENT USE: RESIDENTIAL
PROPOSED USE: RESIDENTIAL
RESIDUAL LANDS OF PARCEL 25.05. AREA: 0.902 AC
LOT #1 TO BE REMAINDER OF PARCEL 25.05 AND COMBINED WITH 5.569 ACRES OF PARCEL 25.12. NEW AREA: 11.194 ACRES.
LOT #2 TO BE SUBDIVIDED FROM PARCEL 25.12, AREA: 11.88 ACRES.
LOT #3 TO BE SUBDIVIDED FROM PARCEL 25.12, AREA: 9.76 ACRES.
LOT #4 TO BE SUBDIVIDED FROM PARCEL 25.12, AREA: 9.76 ACRES.
RESIDUAL LANDS OF PARCEL 25.12, AREA: 47.815 ACRES
ACCESS FOR RESIDUAL LANDS OF T.M. #432-7.00-25.05: S.C.R. 494 (AIRPORT RD.)
LOTS 1-5 DO NOT IMPACT SCR 494. ACCESS VIA FERNWOOD LANE
ROADWAY CLASSIFICATION: LOCAL ROADWAY
SEWER: INDIVIDUAL ON SITE
WATER: RESIDUAL LANDS OF PARCEL 25.05 # LOT #1 TO BE SERVED BY THE CENTRAL WATER SYSTEM. LOTS 2-5 WILL BE SERVED BY INDIVIDUAL ON-SITE WELLS.
100 YEAR FLOODPLAIN: SITE IS NOT IMPACTED AS PER FIRM #10005C0410K DATED 3/16/15
THIS PROJECT IS NOT IN THE PROXIMITY OF A TID SPEED LIMIT ON AIRPORT RD. IS 50 MPH (UNPOSTED)
PERPETUAL MAINTENANCE OF FERNWOOD LANE IS TO BE THE RESPONSIBILITY OF ALL ABBUTING OWNERS.

NOTE: THIS PLAT SUPERSEDES THE PLAT RECORDED IN PLOT BOOK 208, PAGE 44, BY RECONFIGURING PARCELS "B" & "C".

MINOR SUBDIVISION & LOT LINE ADJUSTMENT PLAN FOR LANDS OF MICHAEL W., SR. & LORI T. SHORT

32747 FERNWOOD LANE LAUREL, DE 19956 (302) 858-6743



THIS SURVEY AND PLAN DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS CROSSING THIS PROPERTY. NO TITLE SEARCH PROVIDED OR STIPULATED. SURVEY CLASS: SUBURBAN

MILLER LEWIS, INC. LAND SURVEYING. 1560 MIDDLEFORD RD. SEAFORD, DELAWARE 19973 PH: 302-629-8895 FAX: 302-629-2391

Table with columns: HUNDRED, COUNTY, STATE, DRAWN BY, REF., FILE NO. Values include LITTLE CREEK, SUSSEX, DELAWARE, D. A. MORRIS, DB 1117-338, LITTLETON 4-32-7-25.01.

## Patrick Rohlich

---

**From:** John Justice <john.justice@sussexconservation.org>  
**Sent:** Thursday, March 10, 2022 11:58 AM  
**To:** Jim Eriksen  
**Cc:** Patrick Rohlich  
**Subject:** RE: Cardinal Grove

Apologies for the delay. Yes, the amenities were included in the approved SWM Plans.

Sincerely,

*John Justice*

Plan Reviewer

[john.justice@sussexconservation.org](mailto:john.justice@sussexconservation.org)

23818 Shortly Road

Georgetown, DE 19947

302-856-2105 ext. 120 (office)

[sussexconservation.org](http://sussexconservation.org)



---

**From:** Jim Eriksen <jeriksen@solutionsipem.com>  
**Sent:** Thursday, March 10, 2022 11:49 AM  
**To:** John Justice (john.justice@sussexconservation.org) <john.justice@sussexconservation.org>  
**Cc:** Patrick Rohlich <prohlich@solutionsipem.com>  
**Subject:** RE: Cardinal Grove

Hi John,

Just wanted to reach back out on this. We are hoping to resubmit to P&Z this week.

Thanks,

**Jim Eriksen, PE** | Principal of Engineering |

---

**Solutions IPEM** | 303 N. Bedford Street | Georgetown, DE 19947 | ph 302.297.9215 |

---

**From:** Jim Eriksen  
**Sent:** Tuesday, March 1, 2022 9:56 AM  
**To:** John Justice ([john.justice@sussexconservation.org](mailto:john.justice@sussexconservation.org)) <[john.justice@sussexconservation.org](mailto:john.justice@sussexconservation.org)>  
**Cc:** Patrick Rohlich <[prohlich@solutionsipem.com](mailto:prohlich@solutionsipem.com)>  
**Subject:** Cardinal Grove

Hi John,

We are preparing the final site plan for the amenities area at Cardinal Grove. If you remember, we included the amenities area on the construction drawings to ensure that we obtained all necessary stormwater approvals for the amenities during the construction plan review. I have attached a copy of the amenities plans for verification purposes.

Can you please send me an email confirming that these amenities were included and reviewed with your construction plans?

Thanks,

**Jim Eriksen, PE** | Principal of Engineering |

---

**Solutions IP**EM | 303 N. Bedford Street | Georgetown, DE 19947 | ph 302.297.9215 |

## Elliott Young

---

**From:** Scott Thornton  
**Sent:** Wednesday, March 2, 2022 4:07 PM  
**To:** Elliott Young  
**Subject:** RE: Cardinal Grove #1156 - Amenities

Elliott,

The County Engineering Department has no objections to the amenities area at Cardinal Grove.

*Scott A. Thornton*

**Engineering Tech IV**

**Sussex County Engineering Department**

2 The Circle, P.O. Box 589

Georgetown, DE 19947

(302) 855-7703

(302) 854-5396 (Fax)



---

**From:** Jim Eriksen <jeriksen@solutionsipem.com>  
**Sent:** Wednesday, March 2, 2022 9:39 AM  
**To:** Scott Thornton <scott.thornton@sussexcountyde.gov>  
**Cc:** Patrick Rohlich <prohlich@solutionsipem.com>  
**Subject:** Cardinal Grove - Amenities

**CAUTION:** This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

Hi Scott,

Planning and Zoning has asked for a letter of no objection from County Engineering for the amenities area at Cardinal Grove prior to issuing their approval. While I know you do not typically review these plans, the amenities plans were included in your construction plansets during our site engineering review. The pool will utilize a cartridge filter system.

Can you please confirm that the County Engineering Department has no objection to the amenities plans? I have attached PDF's of the amenities plan for your use.

Thanks,

**Jim Eriksen, PE** | Principal of Engineering |

---

**Solutions IPEM** | 303 N. Bedford Street | Georgetown, DE 19947 | ph 302.297.9215 |



**OFFICE OF THE STATE FIRE MARSHAL  
Technical Services**

22705 Park Avenue  
Georgetown, DE 19947



**SFMO PERMIT**

**Plan Review Number:** 2021-04-207990-MJS-01

**Tax Parcel Number:** 234-2.00-1.1

**Status:** Approved as Submitted

**Date:** 08/31/2021

**Project**

Cardinal Grove  
18898 Beaver Dam Road LLC Property

18898 Beaver Dam Road  
Lewes DE 19958

**Scope of Project**

**Number of Stories:**  
**Square Footage:**  
**Construction Class:**  
**Fire District:** 83 - Millsboro Fire Co Inc

**Occupant Load Inside:**  
**Occupancy Code:** 9625

**Applicant**

Jim Eriksen  
303 North Bedford Street  
Georgetown, DE 19947

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:

\_\_\_\_\_  
Jefferson Cerri  
Fire Protection Specialist II

## FIRE PROTECTION PLAN REVIEW COMMENTS

**Plan Review Number:** 2021-04-207990-MJS-01

**Tax Parcel Number:** 234-2.00-1.1

**Status:** Approved as Submitted

**Date:** 08/31/2021

### PROJECT COMMENTS

**1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at [www.statefiremarshal.delaware.gov](http://www.statefiremarshal.delaware.gov). These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.

**1030 A** This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 500 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 1,000' on center.

**1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.

SITE FOR POOL, POOL DECK, AND REQUIRED EGRESS GATES REVIEWED AND APPROVED. TOTAL OUTSIDE AREA OCCUPANT LOAD CALCULATED AT 122

**2447 A** Outside open air assembly areas (decks, patio, etc.) where egress from the area can be accomplished without re entering the building will get an occupant load for just the outside open air assembly area. The occupant load is for the outside open air assembly area ONLY and is separate from the building's posted occupant load. Any alterations to the outside open air assembly area shall require formal plan submittal to the DE State Fire Marshal's Office.

**1190 A** Separate plan submittal is required for the building(s) proposed for this project.

FOR AMENITY BUILDING

**1132 A** Fire hydrants shall be color coded in accordance with the DSFPR, Part III, Section 3.4. This includes both color coding the bonnet and 2" reflective tape around the barrel under the top flange.

**1232 A** All threads provided for fire department connections, to sprinkler systems, standpipes, yard hydrants or any other fire hose connections shall be uniform

to those used by the fire department in whose district they are located. DSFPR Part III, Section 1.1.5.1.

**1332 A** The distance between a fire hydrant and the fire lane shall not be greater than seven feet (DSFPR Part V, Chapter 5, Section 5 10.4).

**1432 A** The steamer connection of all fire hydrants shall be so positioned so as to be facing the street or fire lane. (DSFPR Regulation 705, Chapter 5, Section 10). The center of all hose outlet(s) on fire hydrants shall be not less than 18 inches above final grade (NFPA 24, Section 7.3.3).

**1501 A** If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.



A Middlesex Water Company Affiliate

March 2, 2022

*Via email only*

Mr. Jim Eriksen, P.E.  
Solutions, IPEM, LLC  
303 North Bedford Street  
Georgetown, DE 19947

**RE: Cardinal Grove Subdivision & Amenities  
Water Distribution System  
Letter of No Objection**

Dear Mr. Eriksen:

Tidewater Utilities, Inc. is in receipt of the water distribution plans for the Cardinal Grove Subdivision & Amenities. After reviewing the water distribution plans for the Cardinal Grove Subdivision & Amenities, Tidewater Utilities, Inc. has no objection to this project.

We will continue to work together with your project team on the review of the final submittal package. Once all required documentation and payments are executed and submitted, final approval authorizing construction of the system will be granted.

If you should have any questions, please contact me at (302) 747-1339 or at [tpriester@tuiwater.com](mailto:tpriester@tuiwater.com).

Sincerely,

A handwritten signature in black ink that reads "Tawanda Priester".

Tawanda Priester  
Project Engineer

cc: Tim Green, Schell Brothers, LLC

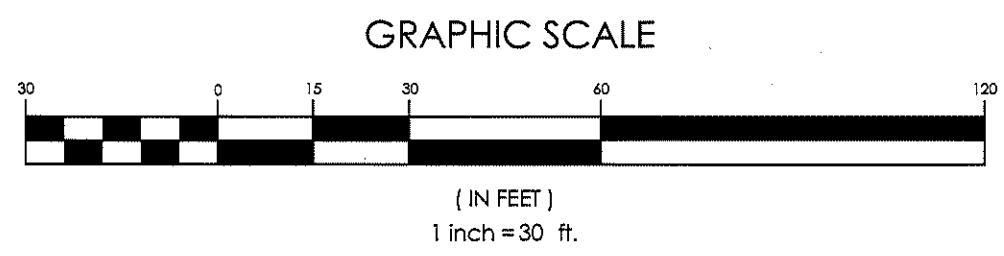
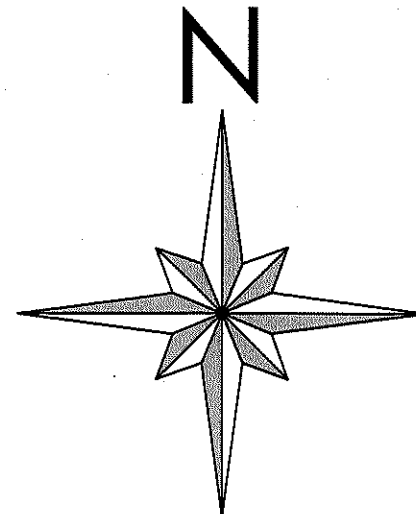
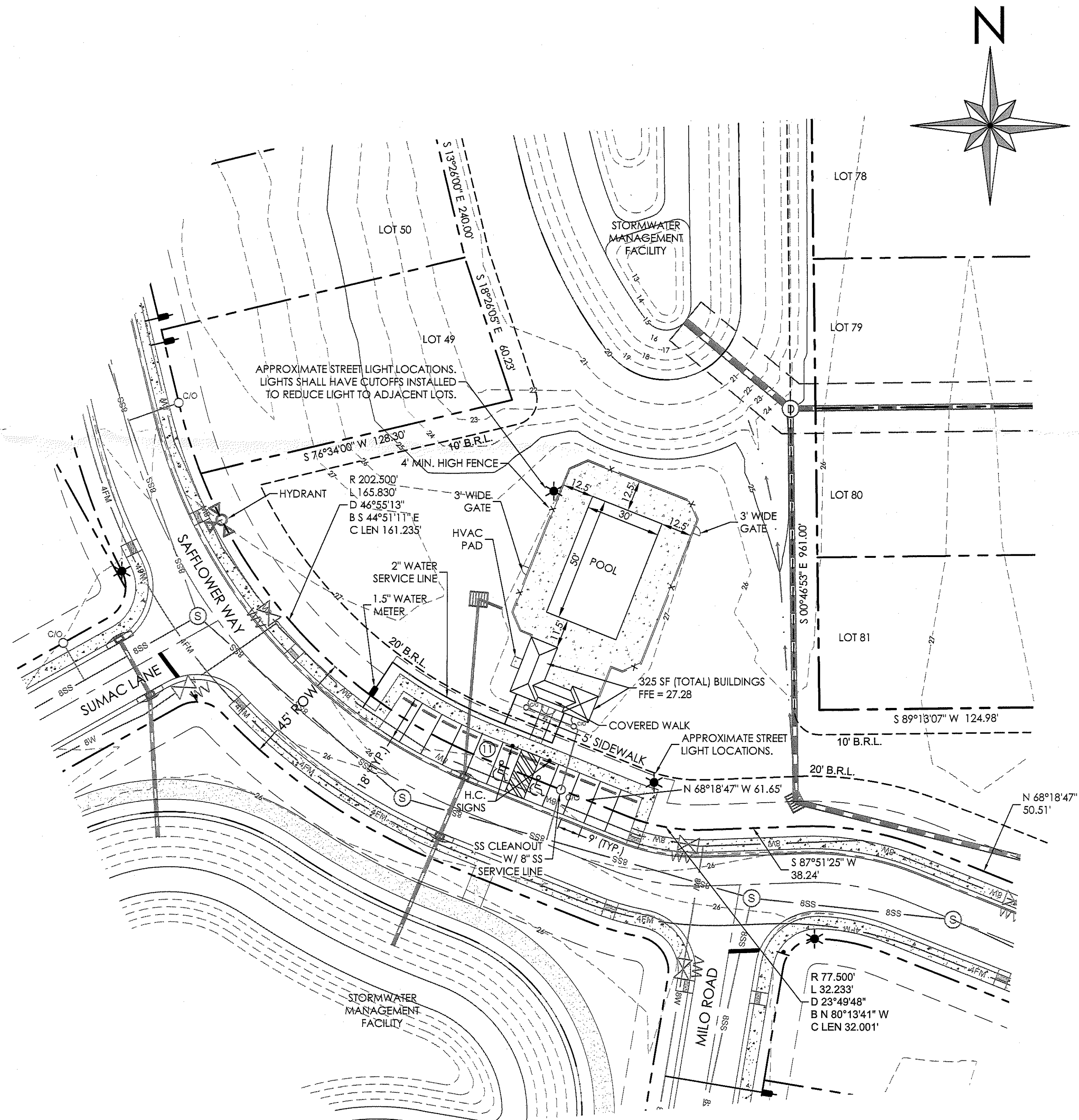


**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT/BUFFER LINE	---	---
R.O.W. LINE	---	---
SPOT ELEV. LABEL	+ 19.25	27.00
MAJOR CONTOUR	---	---
MINOR CONTOUR	---	---
ROAD CENTERLINE	---	---
EDGE OF CONCRETE	---	---
EDGE OF PAVEMENT	---	---
PAVEMENT HATCH	N/A	[Hatched Pattern]
BUILDING	N/A	[Hatched Pattern]
CURB AND GUTTER	---	---
SIDEWALK	---	---
SIDEWALK HATCH	---	[Hatched Pattern]
EDGE OF POND	N/A	---
STORM MANHOLE	⊙	⊙
CURB INLET	⊞	N/A
STORM PIPE	---	---
SANITARY MANHOLE	⊙	N/A
SANITARY PIPE	SS	SS
SANITARY CLEANOUT	⊙/o	⊙/o
WATER PIPE	W	W
FENCE	N/A	X
SIGN	N/A	N/A
FIRE HYDRANT	N/A	N/A
LIGHTING	N/A	N/A

# AMENITY SITE PLAN FOR CARDINAL GROVE

## INDIAN RIVER HUNDRED SUSSEX COUNTY, DELAWARE



**SITE DATA:**

OWNER/DEVELOPER: 18898 BEAVER DAM ROAD, LLC  
20184 PHILLIPS STREET  
REHOBOTH BEACH, DE  
TIM GREEN  
PHONE: (302)226-1994

ENGINEER/LAND PLANNER: SOLUTIONS IPEM, LLC  
303 NORTH BEDFORD STREET  
GEORGETOWN, DE 19947  
PHONE: 302.297.9215  
CONTACT: JIM ERIKSEN, PE

- TAX MAP 234-2.00-1.13  
AREA = 4.350 ACRES  
PARCEL DESIGNATED LOW-DENSITY WITHIN THE 2018 SUSSEX COUNTY COMPREHENSIVE PLAN.
- EXISTING ZONING: AR-1
- EXISTING WETLANDS: NONE
- PROPOSED USE: AMENITY BUILDING, POOL AND PARKING  
BUILDING HEIGHT: 15'± (SINGLE STORY)  
MAXIMUM BUILDING HEIGHT: 42'
- BUILDING SETBACKS:  
20' FRONT  
10' SIDES
- BOUNDARY AND TOPOGRAPHY AS SHOWN HEREON ARE AS PROVIDED BY SOLUTIONS IPEM LLC
- FLOOD ZONE:  
PROPERTY IS LOCATED IN ZONE A (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD) AND ZONE X (AREAS DETERMINED TO OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND ZONE AE EL 4, PER FIRM MAP NUMBER 1000SC0330J, MAP REVISED JANUARY 6, 2005
- WATER SUPPLY:  
TIDEWATER UTILITIES, INC.
- SANITARY SEWER:  
SUSSEX COUNTY
- PROJECT DATUM:  
HORIZONTAL: DELAWARE STATE PLANE NAD 83  
VERTICAL: NAVD 88
- AUTOMATIC SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.
- TYPE OF CONSTRUCTION: NFPA TYPE V (000)
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS AND AS SHOWN ON THESE PLANS.
- A LOCK BOX CONTAINING KEYS FOR FIRE DEPARTMENT ACCESS TO THE BUILDINGS ARE REQUIRED. CONTACT THE LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF THE BOX ON THE BUILDING.
- PROPOSED BUILDINGS:  
BATHROOMS - 220 SQ.FT.  
MECHANICAL AND STORAGE - 105 SQ.FT.  
POOL DECK AREA - 2,780 SQ.FT.  
POOL AREA - 1,500 SQ.FT.
- PARKING REQUIRED: N/A  
PARKING PROVIDED: 11 TOTAL (2 HANDICAP SPACES)  
PARKING CALCULATION:  
11 SPOTS / 325 SQ.FT. = 1 SPOT PER 29.55 SQ.FT. BUILDING
- THE AMENITY AREA AND FACILITIES ARE FOR THE RESIDENCES OF CARDINAL GROVE AND SUBJECT TO HOA DOCUMENTS.
- PARCEL AREA: 189,502 SQ.FT. (4.35 Acres)  
BUILDING AREA: 325 SQ.FT.  
POOL & POOL DECK AREA: 4,280 SQ.FT.  
SIDEWALK AND PARKING AREA: 1,692 SQ.FT.  
REMAINING OPEN SPACE AREA: 183,205 SQ.FT. (4.21 Acres)

**NOTES:**

- THE FENCE AROUND THE POOL SHALL BE A MINIMUM OF HEIGHT OF FOUR (4) FEET AND CONSTRUCTED OF APPROVED MATERIALS.
- LIGHTING FOR THE RECREATIONAL FACILITIES AND PARKING SHALL BE COORDINATED BETWEEN DE COOP AND THE DEVELOPER.
- THE SITE AMENITIES SHALL BE FOR RESIDENTS/MEMBERS OF THE HOMEOWNERS ASSOCIATION AND AUTHORIZED GUESTS ONLY.
- FINAL/DETAILED DRAINAGE OF THE POOL DECK IS TO BE DONE BY OTHERS.
- FINAL LANDSCAPING AND AESTHETIC HARDSCAPING IMPROVEMENTS SHALL BE DONE BY OTHERS.

**P&Z CONDITIONS OF APPROVAL:**

- (CONDITION K) - THE DEVELOPMENT SHALL BE SERVED BY ITS OWN ON-SITE AMENITIES INCLUDING A POOL AND A POOL HOUSE.
- (CONDITION L) - ALL AMENITIES SHALL BE COMPLETED AND OPEN FOR USE PRIOR TO THE ISSUANCE OF THE 45TH RESIDENTIAL BUILDING PERMIT.

**DEVELOPER'S CERTIFICATION**

THE DEVELOPER, 18898 BEAVER DAM ROAD, LLC., HEREBY CERTIFIES THAT THESE DRAWINGS HAVE BEEN APPROVED.

\_\_\_\_\_ DATE \_\_\_\_\_

TIM GREEN

**solutions**  
Integrated Planning  
Engineering & Management, LLC

303 North Bedford Street  
Georgetown, DE 19947  
T. 302.297.9215

3033 Meritt Mill Road  
Salisbury, MD 21804  
T. 410.372.8633

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JAMES R. ERIKSEN  
LICENSE  
PROFESSIONAL ENGINEER

Seal

Date: 3/10/2022

NO.	DATE	DESCRIPTION
1	7-9-21	ADDRESSED AGENCY COMMENTS
2	7-13-21	ADDRESSED TUI COMMENTS
3	8-5-21	ADDRESSED SCDC COMMENTS
4	8-16-21	ADDRESSED TUI COMMENTS
5	10-20-21	REVISED FS PHASE, ADDED DETAIL
6	11-3-21	REVISED PER DNREC WFCC COMMENTS

AMENITY SITE PLAN  
for  
**CARDINAL GROVE**  
INDIAN RIVER HUNDRED  
SUSSEX COUNTY, DELAWARE

Date:	5/21/2021
Job Number:	G19076
Scale:	1" = 30'
Drawn By:	JPR
Designed By:	JPR
Approved By:	JRE

Sheet No.: **55**

File Name: G19076-Amenity-SITEplan



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 77B  
DOVER, DELAWARE 19903

NICOLE MAJESKI  
SECRETARY

January 07, 2022

Mr. Jamie Whitehouse, Director  
Sussex County Planning & Zoning Commission  
Sussex County Administration Building  
P.O. Box 417  
Georgetown, Delaware 19947

**SUBJECT: Minor Subdivision - Letter of No Objection to Recordation**  
**Michael O'Neill Jr. & Robert Krause**  
Tax Parcel # 234-14.00-14.02  
Deep Branch Road (SCR 315)  
Indian River Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Minor Subdivision Plan dated August 6, 2020 (last revised December 31, 2021), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawing. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Minor Subdivision Plan is not recorded and/or an entrance permit is not issued for the lot(s) prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

Entrances(s) must be installed prior to the sale of the lot(s). All entrances shall conform to DeIDOT's Development Coordination Manual and shall be subject to its approval. **This letter does not authorize the commencement of entrance construction.**

This "No Objection to Recordation" letter is not a DeIDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DeIDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There



Michael O'Neill Jr. & Robert Krause  
Mr. Jamie Whitehouse  
Page 2  
January 07, 2022

may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

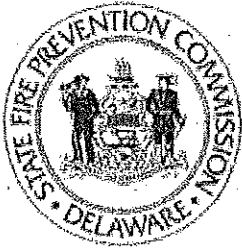
The owner shall be responsible to submit a copy of the recorded Minor Subdivision Plan showing all appropriate signatures, seals, plot book and page number to the South District Public Works office (302) 853-1341 in order to obtain the entrance permit(s) for the proposed minor subdivision.

Sincerely,

A handwritten signature in black ink that reads "Richard S. McCabe". The signature is written in a cursive style with a large, stylized "M" and "C".

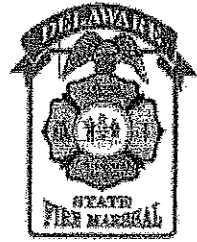
R. Stephen McCabe  
Sussex County Review Coordinator  
Development Coordination

cc: Alan Kent, Alan O Kent Land Surveying LLC  
Sussex County Planning & Zoning  
Jessica L. Watson, Sussex Conservation District  
Matt Schlitter, South District Public Works Engineer  
James Argo, South District Project Reviewer  
James Smith, South District Entrance Permit Supervisor  
Shannon Anderson, South District Public Work Admin Specialist  
Wendy L. Polasko, P.E., Subdivision Engineer  
Brian Yates, Sussex County Reviewer



**OFFICE OF THE STATE FIRE MARSHAL  
Technical Services**

22705 Park Avenue  
Georgetown, DE 19947



**SFMO PERMIT**

**Plan Review Number:** 2021-04-205881-MIS-01

**Tax Parcel Number:** 234-14.00-14.02

**Status:** Approved as Submitted

**Date:** 01/26/2021

**Project**

O'Neil Subdivision  
Michael O'Neil Property

Deep Branch Road  
Georgetown DE 19947

**Scope of Project**

**Number of Stories:**  
**Square Footage:**  
**Construction Class:**  
**Fire District:** 83 - Millsboro Fire Co Inc

**Occupant Load Inside:**  
**Occupancy Code:** 9601

**Applicant**

Alan Kent  
9505 Sussex Street  
Seaford, DE 19973

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:

Dennett Pridgeon

## FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2021-04-205881-MIS-01

Tax Parcel Number: 234-14.00-14.02

Status: Approved as Submitted

Date: 01/26/2021

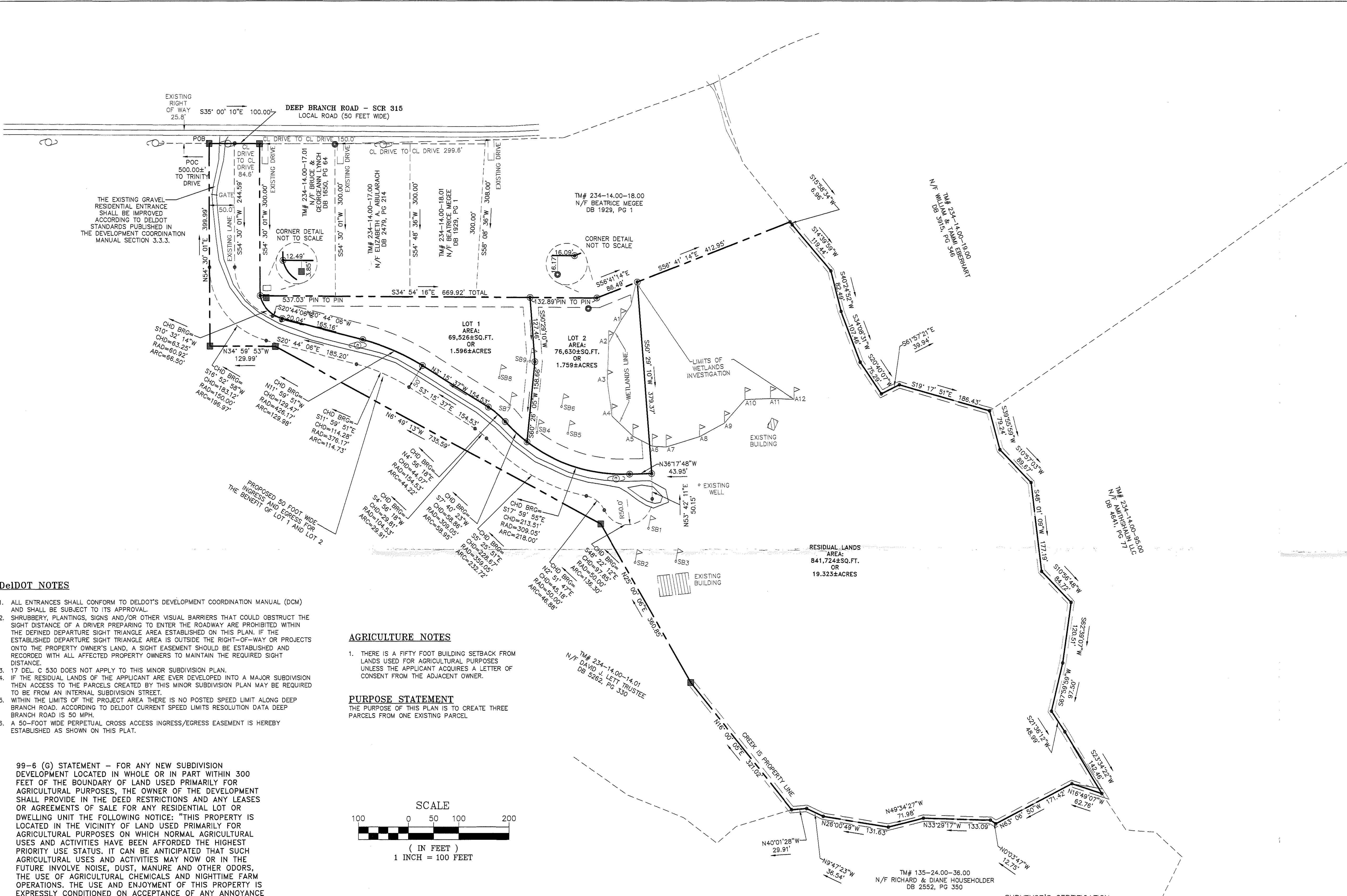
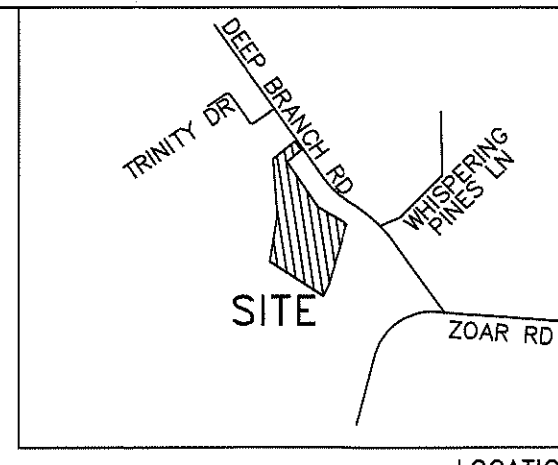
### PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at [www.statefiremarshal.delaware.gov](http://www.statefiremarshal.delaware.gov). These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1010 A** The following water for fire protection requirements apply: NONE. On-Site Wells Proposed. this site meets Water Flow Table 1. therefore the provisions of NFPA 1142 shall apply to this site (DSFPR Regulation 702, Chapter 6, Section 3). Since wells are proposed for this site, no additional requirements will be made by this Agency for water for fire protection.
- 1011 A** Per Fire Flow Table 1, the following occupancies: One and Two Family Detached Dwellings, Multi Family & Other Residential, Rowhouses & Townhouses Shall not exceed 10,000 aggregate gross square footage; shall not exceed 35' or three stories; and Shall have a minimum setback of 15' from all property lines and 10' setback from exposure hazards on the same property. Additionally, Rowhouses & Townhouses shall have an internal fire separation of two hour fire rated walls per SFPR Part II, Chapter 2.
- 1408 A** All premises where emergency personnel may be called upon to provide emergency services, which are not readily accessible from streets, shall be provided with suitable gates, access roads, and fire lanes so that all buildings on the premises are accessible to emergency apparatus. (DSFPR Regulation 705, Chapter 5, Section 2).
- 1093 A** In the case of one and two-family dwellings emergency service access shall be provided in such a manner so that emergency apparatus will be able to locate within 100 feet from the street to the primary entrance. Where alleys are provided, pumpers shall be able to access all portions of the alley without strict restrictions for entrance radii. (DSFPR Regulation 705, Chapter 5, Sections 2.2 and 2.2.1).

1171 A Any dead end road more than 300 feet in length shall be provided with a turn around or cul-de-sac arranged such that emergency apparatus will be able to turn around by making not more than one backing maneuver. Any turn-arounds and cul-de-sacs shall be designed in accordance with DSFPR Regulation 705, Chapter 2, Sections 2.3, 2.3.1, and 2.3.

2500 A A final inspection is required for this project prior to occupancy (DSFPR Part I, Section 4-7). Contact this Agency to schedule this inspection. Please have the plan review number available. A MINIMUM OF FIVE (5) WORKING DAYS NOTICE IS REQUIRED.





**PLAN DATA:**

- TITLE REFERENCED TO:  
RESIDUAL LANDS: TM# 234-14.00-14.02, DB 4639, PG 96  
24268 DEEP BRANCH ROAD, GEORGETOWN, DE 19947  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, STATE OF DELAWARE  
LOT 1:  
DEEP BRANCH ROAD, GEORGETOWN, DE 19947  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, STATE OF DELAWARE  
LOT 2:  
DEEP BRANCH ROAD, GEORGETOWN, DE 19947  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, STATE OF DELAWARE  
2. NO TITLE REPORT PERFORMED OR FURNISHED IN PREPARATION OF THIS PLAN.
- THIS PLAN DOES NOT CERTIFY THE EXISTENCE OR NON-EXISTENCE OF EASEMENTS OR RIGHTS OF WAY AS A FULL AND COMPLETE SEARCH MAY REVEAL IN THE SUSSEX COUNTY RECORDER OF DEEDS.
- CURRENT ZONING: AR-1, PROPOSED ZONING: AR-1, BUILDING SETBACK ACCORDING TO SUSSEX COUNTY PLANNING AND ZONING ARE FRONT-40, SIDE-15, AND REAR-20.
- PROPERTY IS CURRENTLY NOT IN ANY TRANSPORTATION IMPROVEMENT DISTRICTS OR ANY MUNICIPAL BOUNDARIES.
- TOTAL AREA: 987,880± SQ.FT. OR 22.679± ACRES

**GENERAL DATA:**

- CURRENT USE AGRICULTURAL RESIDENTIAL AND FUTURE USE AGRICULTURAL RESIDENTIAL.
- SEWER & WATER WILL BE ON SITE WELL AND SEPTIC.
- EXISTING NUMBER OF PARCELS 1, EXISTING NUMBER OF LOTS 1 PROPOSED NUMBER OF PARCELS 3, PROPOSED NUMBER OF LOTS 3.
- ALL LOTS SHALL HAVE SHARED ACCESS TO DEEP BRANCH ROAD.

**DelDOT NOTES**

- ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO THE PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- 17 DEL. C 530 DOES NOT APPLY TO THIS MINOR SUBDIVISION PLAN.
- IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION THEN ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
- WITHIN THE LIMITS OF THE PROJECT AREA THERE IS NO POSTED SPEED LIMIT ALONG DEEP BRANCH ROAD. ACCORDING TO DELDOT CURRENT SPEED LIMITS RESOLUTION DATA DEEP BRANCH ROAD IS 50 MPH.
- A 50-FOOT WIDE PERPETUAL CROSS ACCESS INGRESS/EGRESS EASEMENT IS HEREBY ESTABLISHED AS SHOWN ON THIS PLAN.

**AGRICULTURE NOTES**

- THERE IS A FIFTY FOOT BUILDING SETBACK FROM LANDS USED FOR AGRICULTURAL PURPOSES UNLESS THE APPLICANT ACQUIRES A LETTER OF CONSENT FROM THE ADJACENT OWNER.

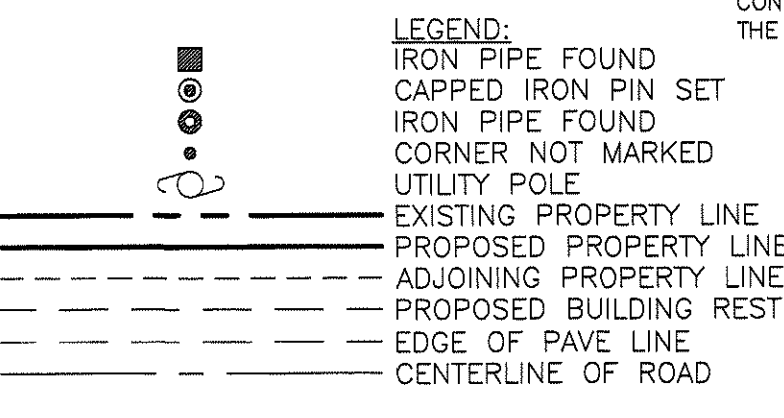
**PURPOSE STATEMENT**  
THE PURPOSE OF THIS PLAN IS TO CREATE THREE PARCELS FROM ONE EXISTING PARCEL

**99-6 (G) STATEMENT -- FOR ANY NEW SUBDIVISION DEVELOPMENT LOCATED IN WHOLE OR IN PART WITHIN 300 FEET OF THE BOUNDARY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES, THE OWNER OF THE DEVELOPMENT SHALL PROVIDE IN THE DEED RESTRICTIONS ANY LEASES OR AGREEMENTS OF SALE FOR ANY RESIDENTIAL LOT OR DWELLING UNIT THE FOLLOWING NOTICE: "THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES."**

**WETLANDS DELINEATION CERTIFICATION**  
I, BRUCE B. BAGLEY, CPSS, DO HEREBY STATE TO THE BEST OF MY PROFESSIONAL JUDGEMENT THAT THE INFORMATION CONTAINED WITHIN THIS PLAN HAS BEEN PREPARED WITH ACCEPTABLE ENVIRONMENTAL RESEARCH METHODS, IS TRUE AND CORRECT, AND HAS BEEN PREPARED IN ACCORDANCE WITH THE U.S. ARMY CORP WETLANDS MANUAL (1987), THE ATLANTIC AND GULF COAST COASTAL PLAIN INTERIM REGIONAL SUPPLEMENT (2010), THE DNRREC WETLANDS ACT OF 1973, AND THE REGULATIONS GOVERNING THE USE OF SUBAQUEOUS LANDS IN ACCORDANCE WITH THE PROVISIONS OF 7 DEL. C. 7212.

**FIRE MARSHAL**

- PROPOSED BUILDING USE RESIDENTIAL.
- MAXIMUM HEIGHT PER SUSSEX COUNTY CODE 42FT.
- PROPOSED CONSTRUCTION WOOD FRAMED.
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.



BRUCE B. BAGLEY, CPSS  
CERTIFIED PROFESSIONAL SOIL SCIENTIST

**OWNER OF RECORD**  
I HEREBY CERTIFY THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE IN MY ACT, AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

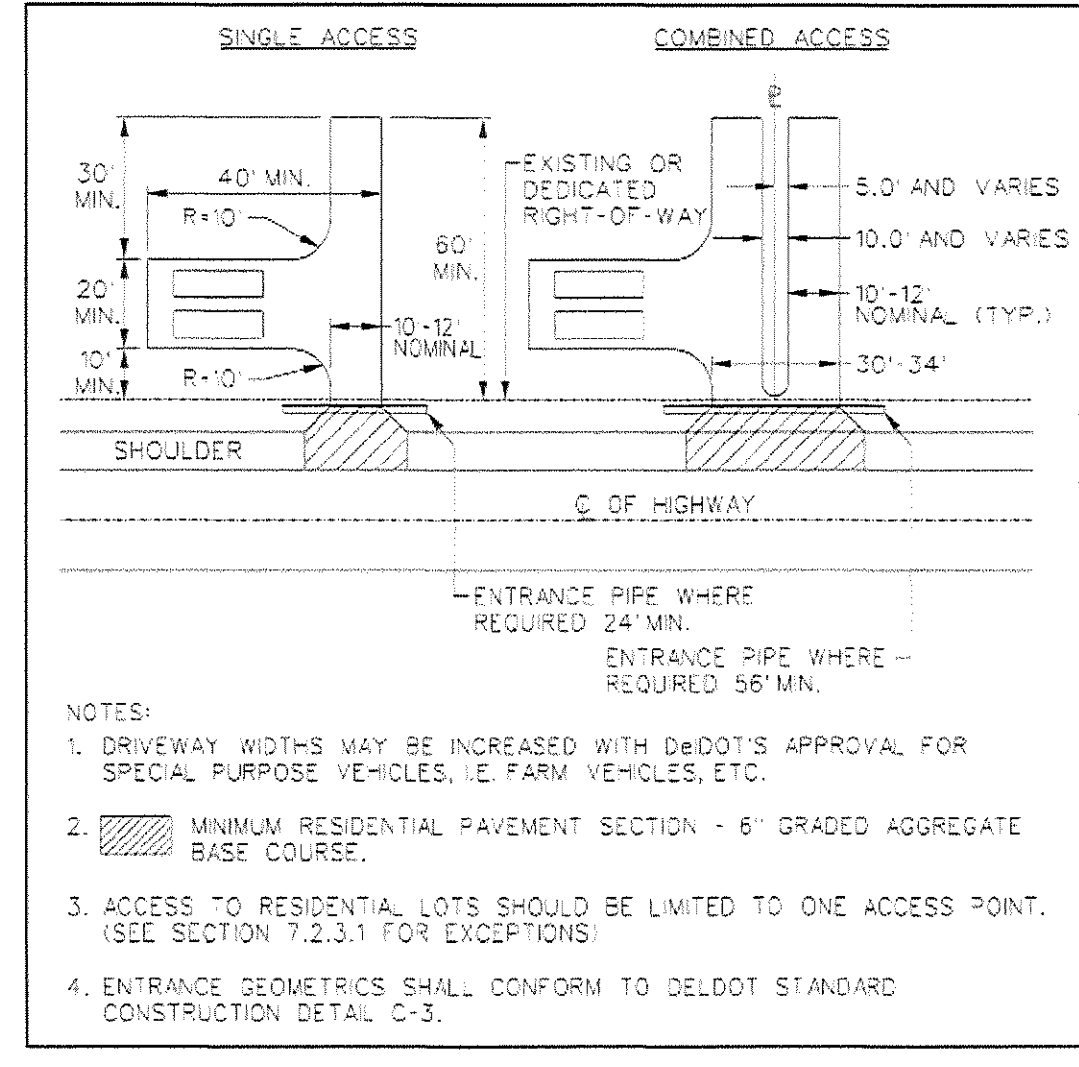
MICHAEL O'NEILL JR.  
ADDRESS: 29173 KRAUSE LANE, MILLSBORO, DE 19966  
PHONE: (302) 362-7509

ROBERT KRAUSE  
ADDRESS: 29173 KRAUSE LANE, MILLSBORO, DE 19966  
PHONE: (302)-396-4210

**SURVEYOR'S CERTIFICATION**  
I, ALAN O'DALE KENT REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

ALAN O'DALE KENT, PLS#738  
ALAN O KENT LAND SURVEYING LLC  
5505 SUSSEX STREET  
SEAFORD, DE 19973  
PHONE: (302) 745-1735  
EMAIL: aokslc@outlook.com

Figure 7.2.3.3-a Residential Access Design Requirements



REV 1 03JUN2021 PER DELDOT COMMENTS  
REV 2 25JUN2021 PER DELDOT COMMENTS  
REV 3 31DEC2021 PER DELDOT COMMENTS  
REV 4 06JAN2022 PER DELDOT COMMENTS  
JOB # 2019238 THIS IS A SUBURBAN CLASS SURVEY

**MINOR SUBDIVISION PLAN FOR MICHAEL O'NEILL JR. AND ROBERT KRAUSE**  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, STATE OF DELAWARE  
PREPARED BY ALAN O KENT LAND SURVEYING  
9505 SUSSEX STREET SEAFORD, DE 19973  
(302) 745-1735

DATE OF PLAN: 06 AUG 2020  
DATE OF LAST FIELD WORK: 22 JUN 2020