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**Sussex County**

DELAWARE  
sussexcountyde.gov

## PLEASE NOTE

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COUNTY ADMINISTRATIVE OFFICES  
2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DELAWARE



## Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, AICP, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager; Lauren DeVore, Planner III; Michael Lowrey, Planner III; Chase Phillips, Planner II; Christin Scott, Planner I; Elliott Young, Planner I & Jesse Lindenberg, Planner I  
CC: Vince Robertson, Assistant County Attorney

Date: April 20<sup>th</sup>, 2022

RE: Other Business for the April 28<sup>th</sup>, 2022 Planning Commission Meeting

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This memo provides background for the Planning Commission to consider as a part of the Other Business to be reviewed during the April 28<sup>th</sup>, 2022 Meeting of the Planning & Zoning Commission.

**(2018-24) Sycamore Chase (F.K.A. Good Will Farm & Willow Run)**

BM

Revised Final Subdivision Plan

This is a Revised Final Subdivision Plan for the creation of a cluster subdivision consisting of one-hundred and four (104) single-family lots with amenities to include a clubhouse and pool. The Final Subdivision Plan for the development was approved by the Planning and Zoning Commission at their meeting of Thursday, March 11, 2021. The property is located on the west side of the intersection of Peppers Corner Road (S.C.R. 365) and Central Avenue (Route 84). Specifically, revisions to the plan include the extension of the ROW on Big Ben Court and Sunrise Court and to utilize the multi-modal plan as the buffer along Bayard Road and Peppers Corner Road as has been the case with other proposed projects due to DelDOT regulations. The proposed ROW extensions will not affect setbacks and the Sussex County Engineering Department has provided approval for these changes. The Revised Final Subdivision Plan complies with the Sussex County Zoning and Subdivision Code and all Conditions of Approval. Zoning District: AR-1 (Agricultural Residential District). Tax Parcels: 134-18.00-55.00, 134-19.00-5.00 & 6.00. Staff are in receipt of all agency approvals.

**(S-19-46) Ocean Park**

KS

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for the construction of one (1) 30,00 square foot office building, one (1) 7,700 square foot office building, and one (1) 7,700 square foot restaurant, as well as other site improvements. The parcels total 5.482 acres +/- and are located on the southwest corner of the intersection of Cedar Grove Road (S.C.R. 283) and Plantations Road (S.C.R. 275). The Applicant requests relief to allow parking in the front yard setback. The Applicant has also indicated that the two parcels will be combined prior to the submission of the Final Site Plan. The Revised Preliminary Site Plan complies with the Sussex County Zoning Code. Zoning District: AR-1 (Agricultural Residential District) and B-1 (Neighborhood Business District). Tax Parcels: 334-12.00-50.00, 334-12.00-51.00. Staff are awaiting agency approvals.

**(S-21-35) Millsboro Fire Company Substation**

HW

Preliminary Site Plan

This is a Preliminary Site Plan for the adaptive reuse of the existing structures on the site as a fire company substation for the Millsboro Fire Company. The Sussex County Council approved this use through Conditional Use (CU 2314) at their meeting of Tuesday, November 30, 2021 and the change



was adopted through Ordinance No. 2816. The property is located on the northeast corner of Lewis Road (S.C.R. 409) and Millsboro Highway (Route 30). The Applicant's Preliminary Site Plan complies with the Sussex County Zoning Code and all Conditions of Approval. Zoning District: AR-1 (Agricultural Residential District). Tax Parcel: 133-20.00-17.16. Staff are in receipt of all agency approvals.

**(S-22-03) Steiner Road Industrial Park**

HW

Preliminary Site Plan - Request to Determine the Type and Nature of Proposed Use

Pursuant to staff's review of the Preliminary Site Plan for the site, the Applicant has requested the Planning & Zoning Commission review the type and nature of the proposed uses at the site in terms of (§115-110); Permitted Uses and "potentially hazardous uses" as described in (§115-110(C)). The Preliminary Site Plan proposes for industrial uses to include the following as described in the plan; a "Concrete Central Mixing and Proportioning Plant" and a "Building Materials Recycling and Sorting Facility." Prior to any determination by the Director (§115-111), the Applicant has requested for Commission to consider if the proposed uses may be categorized under "similar industrial uses" as listed in (§115-110(C)). The parcels are located on the east side of Steiner Road (S.C.R. 320) approximately 1,060 feet south of Lewes Georgetown Highway (Route 9). Zoning District: HI-1 (Heavy Industrial District). Tax Parcels: 135-16.00-23.05, 135-16.00-23.06

**Peninsula Lakes Residential Planned Community (RPC)**

BM

Revised Amenities Plan

This is a Revised Ameniteis Plan for the previously approved and established Penninsula Lakes Residential Planned Community (RPC). The Peninsula Lakes Residential Planned Community was established through Change of Zone #1474 which changed the zoning on the site from Agricultural Residential (AR-1) District and General Residential (GR) District to Medium Density Residential, Residential Planned Community (MR-RPC). The Applciation was approved by the Sussex County Council on Tuesday, November 19, 2002 and the change was adopted through Ordinance No. 1572. The Final Site Plan for the development was approved by the Planning and Zoning Commission at their meeting of Thursday, October 16, 2008. Changes to the previous Amenities Plan include the relocation of the pavilion to the south side of the walking path, the revision of the bocce and horseshoe court locations, and the relocation of the proposed playground area (tot lot) to be located at the north end of the tennis court parking area. The Revised Amenities Plan complies with the Sussex County Zoning and Subdivision Codes and all Conditions of Approval. Zoning District: MR-RPC (Medium Density Residential – Residential Planned Community). Tax Parcels: 234-29.00- 248.00, 249.00, 249.01, 249.02, 256.00 & 259.00. Staff are in receipt of all agency approvals.

**(2017-17) Hailey's Glen (F.K.A. Keilbasa)**

KS

Revised Amenities Plan

This is a Revised Ameniteis Plan for the Hailey's Glen subdivision, a cluster subdivision comprised of sixty-seven (67) single-family lots and proposed amenities to include a double-sided fireplace, 1,120 square foot open air pavilion, 308 square foot patio and 204 square foot mailbox station. The Commission may recall that the previously proposed Amenities Plan was reviewed at their meeting of Thursday, February 17, 2022 where it was determined that, due to reasons including safety and traffic circulation concerns, the mail area be relocated to a better-suited location. Staff have been presented with an amended plan which addresses the Commission's earlier concerns. In addition, staff have provided a copy of the Meeting Minutes from the previously mentioned meeting for the Commission's review and this information has been included in the Commission's packet for this evening. The Revised Amenities Plan complies with the Sussex County Zoning and Subdivision Codes and all

Conditions of Approval. Zoning District: AR-1 (Agricultural Residential District). Tax Parcel: 234-12.00-11.00. Staff are in receipt of all agency approvals.

**Sussex Bible Church**

HW

Preliminary Site Plan

This is a Preliminary Site plan for the Sussex Bible Church for the creation of a proposed 31,250 square foot church building, a 240 square foot pavilion, an amphitheater, athletic field, softball field and other site improvements. The property is located on the east side of Harbeson Road (Route 5) and on northwest side of Cool Spring Road (S.C.R. 290). The Preliminary Site Plan complies with the Sussex County Zoning Code. Zoning District: AR-1 (Agricultural Residential Zoning District). Tax Parcel: 234-10.00-75.00. Staff are awaiting agency approvals.

**Coastal Tide (F.K.A. Arbors of Cottagedale)**

KS

Revised Final Site Plan

This is a Revised Final Site plan for the Coastal Tide Multi-family complex for the addition of thirty-eight (38) parking spaces, 12 garage unit spaces and related site improvements. The Sussex County Council approved a Conditional Use (C/U 1845) for the site to allow the multifamily dwellings at their meeting of Tuesday, February 23, 2010 and this change was adopted through Ordinance No. 2106. Additionally the Final Site Plan for the development was approved by the Planning and Zoning Commission at their meeting of Thursday, February 14, 2019. The property is located on the northeast side of Plantations Road (Route 1D). The Revised Final Site Plan complies with the Sussex County Zoning and Subdivision Code and all Conditions of Approval. Zoning District: MR (Medium Residential Zoning District). Tax Parcel: 334-6.00-5.02. Staff are awaiting agency approvals.

**Lands of Joshua Loose and Kristen Loose**

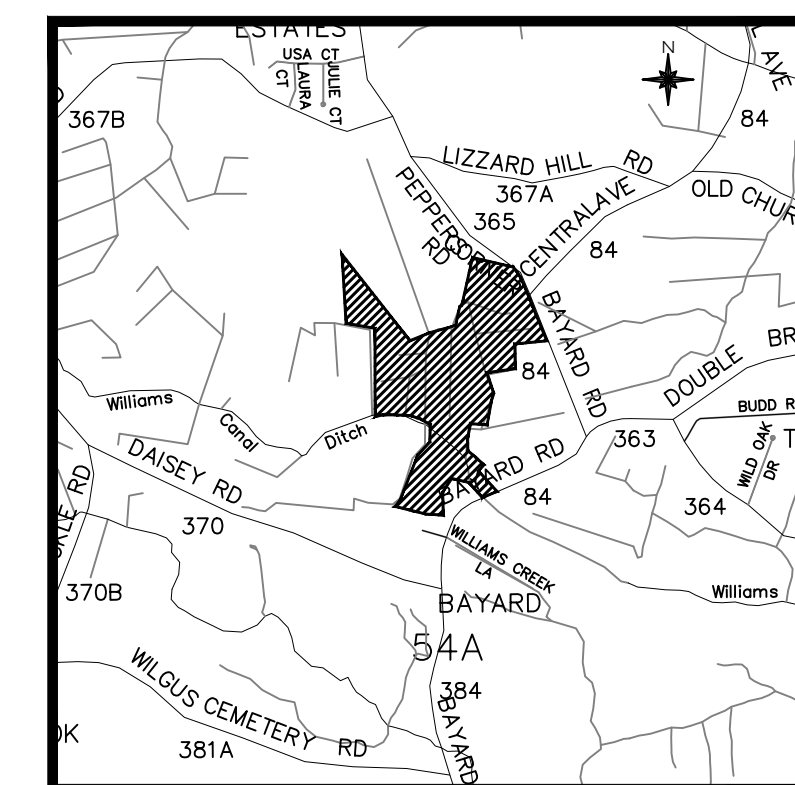
HW

Minor Subdivision Plan

This is a Minor Subdivision Plan for the creation of three lots plus residual lands off a 50-foot access easement. Proposed Lot 1 consists of 2.6 acres +/- . Proposed Lot 2 consists of 1.11 acres +/- . Proposed Lot 3 consists of 1.25 acres +/- and the proposed residual lands consist of 3.04 acres +/- . Staff note that a tax ditch right-of-way divides Lot 3 and Lot 4, and that the right-of-way extends 80 feet into Lot 4 as measured from top of bank. The property is located on the west side of Pyle Center Road (S.C.R. 382) in Frankford. It is requested that final approvals be made by staff upon the receipt of all agency approvals. This will allow a modification to the access easement as DNREC does not permit the access easement and the tax ditch right-of-way to overlap. Otherwise, the Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Zoning: AR-1 (Agricultural Residential District). Tax Parcel: 533-5.00-73.00. Staff are awaiting agency approvals.

# RECORD PLAT FOR SYCAMORE CHASE

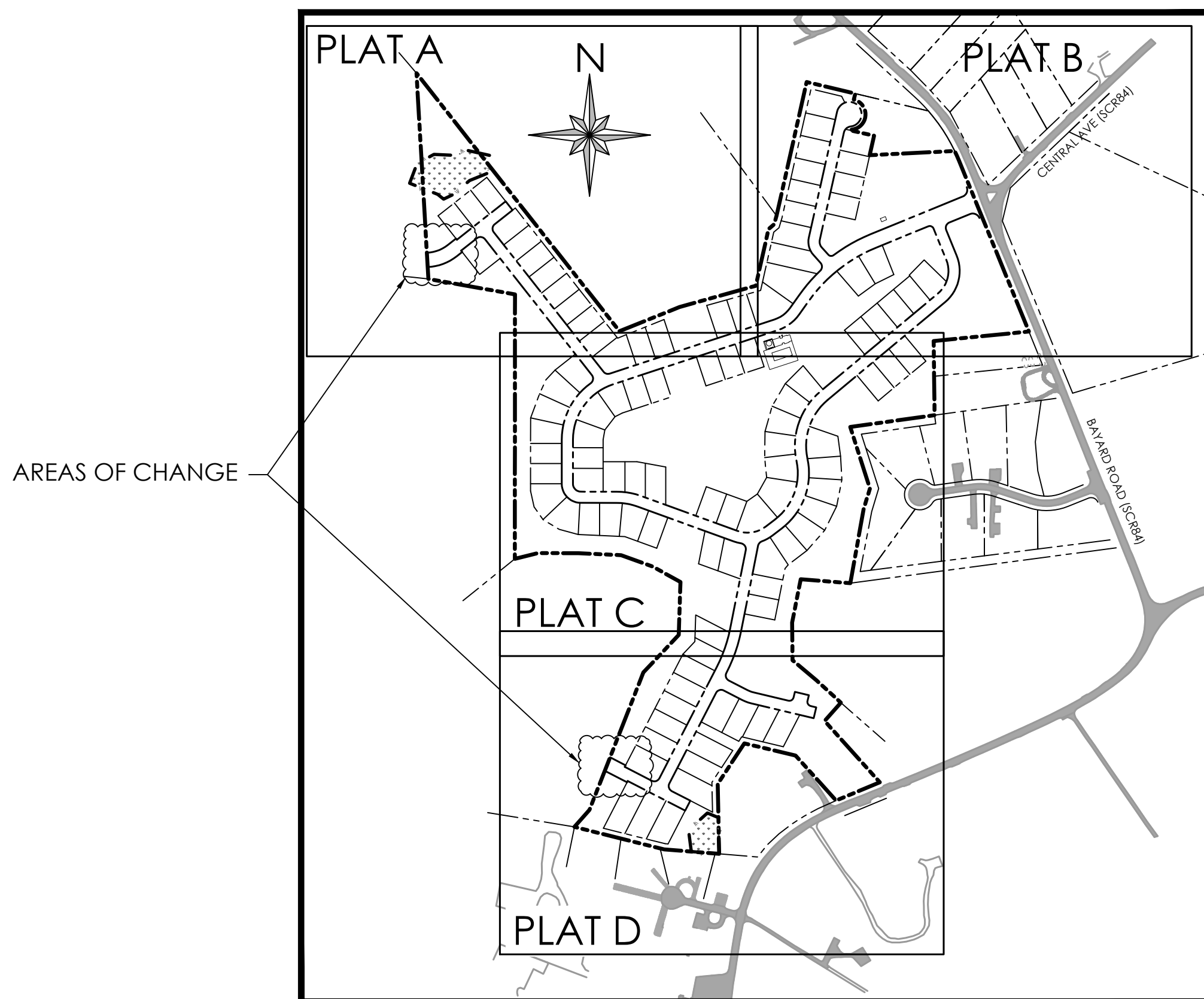
COUNTY PROJECT REFERENCE NO. 2018-24  
SUSSEX COUNTY, DELAWARE



VICINITY MAP  
SCALE: 1" = 2,000'

**SITE DATA:**

- OWNER/DEVELOPER: DRP DE 1, LLC  
6900 E. CAMELBACK ROAD, SUITE 906  
SCOTTSDALE, AZ 85251  
PHONE: 212-751-5969  
CONTACT: RYAN MOTT
- ENGINEER/SURVEYOR: SOLUTIONS IPEN  
303 NORTH BEDFORD STREET  
GEORGETOWN, DE 19947  
PHONE: 302-297-9215  
CONTACT: JASON PALKIEWICZ, PE
- TAX PARCEL NUMBERS: 134-18.00-55.00  
134-19.00-5.00  
134-19.00-6.00
- GROSS ACREAGE = 55.35 ± ACRES
- EXISTING ZONING: AR-1
- PROPOSED BUILDING SETBACKS:  
FRONT: 25' (15' CORNER)  
SIDE: 10'  
REAR 10'
- PRESENT USE: AGRICULTURAL
- PROPOSED USE: RESIDENTIAL SUBDIVISION
- SEWER PROVIDER: SUSSEX COUNTY - UNIFIED SANITARY SEWER DISTRICT
- WATER PROVIDER: ARTEISAN WATER COMPANY
- TOTAL NUMBER OF LOTS:  
EXISTING = 3  
PROPOSED = 104
- PEPPERS CORNER/BAYARD ROAD SPEED LIMIT = 50 MPH
- INVESTMENT LEVEL = 3 & 4
- FLOOD ZONE:  
THE PROPERTY IS LOCATED WITHIN FLOOD ZONE X (UNSHADED)-  
AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE  
FLOODPLAIN, PER FIRM MAP NUMBER 10003C0495J, MAP REVISED  
MARCH 16, 2015.



SITE  
1" = 400'

**LEGEND**

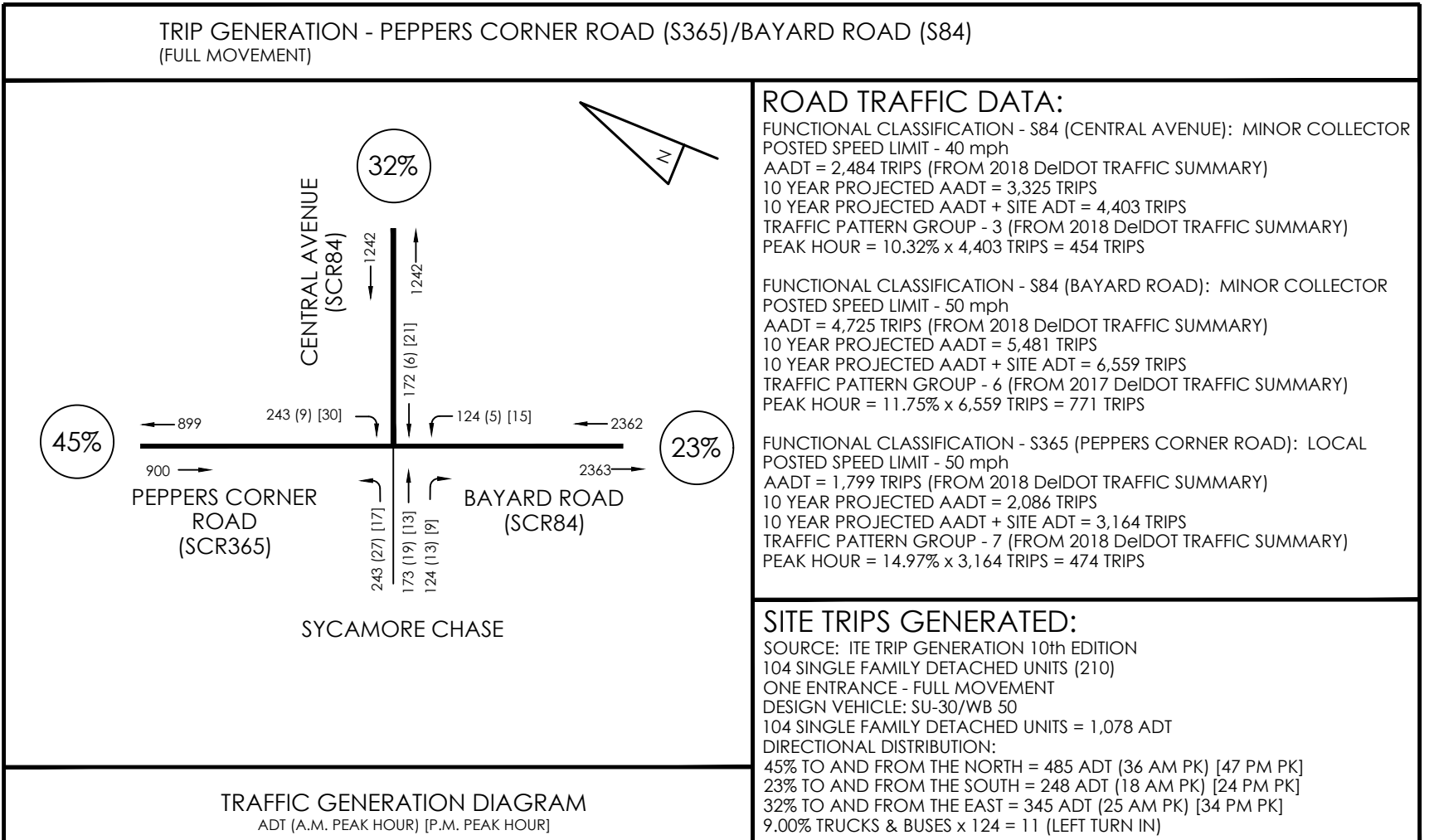
	EXISTING	PROPOSED
CAPPED PIN SET	N/A	•
PROPERTY LINE	—	—
EASEMENT LINE	- - -	- - -
EASEMENT	N/A	▨
SETBACK LINE	N/A	- - -
EDGE OF WETLAND	ψ	N/A
WETLAND HATCH	▨	N/A
UNMARKED POINT	•	N/A
IRON PIPE FOUND	○ IPF	N/A
CONCRETE MONUMENT FOUND	□ CMF	N/A
CAPPED IRON PIPE FOUND	○ IPCF	N/A
WOODLINE (APPROXIMATE)	N/A	~
SIDEWALK	N/A	▨
TRAIL	N/A	▨
MULTI-MODAL PATH	N/A	▨
TOP OF BANK	T.O.B.	N/A

**PURPOSE STATEMENT:**  
THE PURPOSE OF THIS REVISED RECORD PLAT IS TO EXTEND THE RIGHTS-OF-WAY OF BIG BEN COURT AND SUNRISE COURT TO ALLOW FOR FUTURE INTERCONNECTIONS, AS WELL AS REMOVE/REDEFINE LANDSCAPE BUFFER ALONG BAYARD ROAD AND PEPPERS CORNER ROAD TO BE MULTI MODAL PATH. THIS PLAT DOES NOT ESTABLISH ANY NEW OR REVISED PROPERTY LINES.

**AREAS:**  
GROSS ACREAGE = 55.35 ± ACRES  
LOT AREA = 21,241 AC.±  
R.O.W. AREA = 6,762 AC.±  
DELDOT R.O.W. AREA = 0,193 AC.±  
OPEN SPACE AREA = 27,287 AC.±  
27,287 / 55.35 = 49.3%  
OPEN SPACE A = 2,109 AC.±  
OPEN SPACE B = 9,00 AC.±  
OPEN SPACE C = 7,322 AC.±  
OPEN SPACE D = 5,488 AC.±  
OPEN SPACE E = 3,363 AC.±  
% OF IMPERVIOUS COVER = 10.90%  
EXISTING WOODLANDS = 12.48 ± AC  
WOODLANDS TO REMAIN = 5.29 ± AC  
WOODLANDS TO BE REMOVED = 7.19 ± AC  
EXISTING NON-TIDAL WETLANDS = 0.96 ± AC

**SHEET INDEX**

- COVER SHEET
- NOTES
- RECORD PLAT A
- RECORD PLAT B
- RECORD PLAT C
- RECORD PLAT D
- ROAD SECTIONS AND LANDSCAPING DETAILS



SUSSEX CONSERVATION DISTRICT APPROVAL:

APPROVED BY:

SECRETARY OF PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

PRESIDENT OF COUNTY COUNCIL \_\_\_\_\_ DATE \_\_\_\_\_

**WETLAND STATEMENT**

I, JAMES C. McCULLEY, SPWS, STATE THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED UPON THIS PLAN HAVE BEEN DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, ATLANTIC GULF COAST REGIONAL SUPPLEMENT, REGULATIONS AND SUPPLEMENTAL GUIDANCE (33 CFR 328.3(c)(8)), Waters of the U.S. Definition/CECW-OR, 10-7-1991. Questions and Answers on the 1987 COE Manual/CECW-OR, 9-26-1990, RGL 90-7/CECW-OR, 3-4-1992, Clarification and Interpretation of the 1987 Manual. THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES.

JAMES C. McCULLEY, SENIOR PROFESSIONAL WETLAND SCIENTIST No. 471 WATERSHED ECO, LLC \_\_\_\_\_ DATE \_\_\_\_\_

**OWNER'S CERTIFICATION**

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN. THAT THE PLAN WAS MADE AT MY DIRECTION AND I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. I FURTHERMORE UNDERSTAND AND ACKNOWLEDGE THAT IT IS THE RIGHT OF THE SUSSEX CONSERVATION DISTRICT AND/OR ITS DELEGATED INSPECTION AGENCIES TO CONDUCT ON-SITE INSPECTIONS.

NAME: \_\_\_\_\_ DATE \_\_\_\_\_  
TITLE: \_\_\_\_\_

**SURVEYOR'S CERTIFICATION**

THIS PLAT AND SURVEY WERE PERFORMED FOR SUSSEX REAL ESTATE PARTNERS, LLC, UNDER MY SUPERVISION, TO THE LOCAL STANDARD OF CARE, AND SUBSTANTIALLY MEET THE "MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING" AS PROMULGATED BY THE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS FOR A SUBURBAN CLASS SURVEY.

SOLUTIONS INTEGRATED PLANNING, ENGINEERING & MANAGEMENT, LLC  
by STEVEN W. FULLER, AGENT

STEVEN W. FULLER, PROFESSIONAL LAND SURVEYOR DELAWARE NO. 823 \_\_\_\_\_ DATE \_\_\_\_\_

**solutions**  
303 North Bedford Street  
Georgetown, DE 19947  
T. 302-297-9215

3033 Manthill Mill Road  
Salisbury, MD 21804  
T. 410-572-8833

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NO.	DATE	DESCRIPTION
1	5/12/20	REVISIONS PER SUSSEX CO. P&Z COMMENT LETTER DATED 5/8/20
2	1/20/22	REVISED RIGHT-OF-WAYS AND OPEN SPACE

COVER SHEET for  
**SYCAMORE CHASE**  
SUSSEX COUNTY, DELAWARE  
BALTIMORE HUNDRED  
SCR 84 & 365

Date: 3/24/20  
Job Number: 19012  
Scale: AS SHOWN  
Drawn By: HHB  
Designed By: HHB  
Approved By: SWF

Sheet No.: 1  
File Name: RP.dwg

**TIS NOTE:**

A TRAFFIC IMPACT STUDY WAS COMPLETED IN JANUARY 2019 AND WAS SUBMITTED TO THE LOCAL LAND USE AGENCY.

**TIS RECOMMENDATIONS:**

1. THE DEVELOPER SHOULD RECONSTRUCT BAYARD ROAD / PEPPERS CORNER ROAD ALONG THE LIMITS OF THE SITE FRONTAGE TO PROVIDE ELEVEN-FOOT TRAVEL LANE AND SIX-FOOT SHOULDERS. THE DEVELOPER SHOULD PROVIDE SHOULD A BITUMINOUS CONCRETE OVERLAY TO THE EXISTING LANES, AT DELDOT'S DISCRETION. DELDOT SHOULD ANALYZE THE EXISTING LANES' PAVEMENT SECTION AND RECOMMEND AN OVERLAY THICKNESS TO THE DEVELOPER'S ENGINEER IF NECESSARY.
2. THE DEVELOPER SHOULD CONSTRUCT THE FULL SITE ACCESS ON BAYARD ROAD / PEPPERS CORNER ROAD AT THE INTERSECTION OF CENTRAL AVENUE; THE PROPOSED CONFIGURATION IS SHOWN IN THE TABLE BELOW:

APPROACH	CURRENT CONFIGURATION	PROPOSED CONFIGURATION
EASTBOUND SITE ENTRANCE	APPROACH DOES NOT EXIST	ONE SHARED LEFT-TURN / THROUGH / RIGHT-TURN LANE
WESTBOUND CENTRAL AVENUE	ONE LEFT-TURN LANE, ONE RIGHT-TURN LANE	ONE SHARED LEFT-TURN / THROUGH LANE, ONE RIGHT-TURN LANE
NORTHBOUND BAYARD ROAD	ONE SHARED THROUGH / RIGHT-TURN LANE	ONE LEFT-TURN LANE, ONE THROUGH LANE, ONE RIGHT TURN LANE
SOUTHBOUND PEPPERS CORNER ROAD	ONE SHARED LEFT-TURN / THOUGH LANE	ONE LEFT-TURN LANE, ONE THROUGH LANE, ONE RIGHT-TURN LANE

INITIAL RECOMMENDED MINIMUM TURN-LANE LENGTHS (EXCLUDING TAPERS) OF THE SEPARATE TURN LANES ALONG BAYARD ROAD / PEPPERS CORNER ROAD ARE LISTED BELOW. THESE LENGTHS WERE BASED ON DELDOT'S AUXILIARY LANE WORKSHEET (VERSION 5.1). THE DEVELOPER SHOULD COORDINATE WITH DELDOT'S DEVELOPMENT COORDINATION SECTION TO DETERMINE FINAL TURN-LANE LENGTHS DURING THE SITE PLAN REVIEW.

APPROACH	LEFT-TURN LANE	RIGHT-TURN LANE
NORTHBOUND BAYARD ROAD	210 FEET	N/A
SOUTHBOUND PEPPERS CORNER ROAD	210 FEET	240 FEET

REGARDING THE CENTRAL AVENUE APPROACH, IT WILL NEED TO BE REALIGNED TO FORM A 90-DEGREE ANGLE WITH BAYARD ROAD / PEPPERS CORNER ROAD. ADDITIONALLY, A SEPARATE RIGHT-TURN LANE WILL NEED TO BE INSTALLED ON THE APPROACH. THE DEVELOPER SHOULD COORDINATE WITH DELDOT'S DEVELOPMENT COORDINATION AND TRAFFIC SECTIONS TO DETERMINE THE FINAL DESIGN DETAILS OF THE INTERSECTION DURING THE SITE PLAN REVIEW PROCESS.

3. THE FOLLOWING BICYCLE, PEDESTRIAN, AND TRANSIT IMPROVEMENTS SHOULD BE INCLUDED:
  - a. WHERE THE RIGHT-TURN LANE IS ADDED AT THE SITE ENTRANCE ALONG BAYARD ROAD / PEPPERS CORNER ROAD, A MINIMUM OF A FIVE-FOOT BICYCLE LANE SHOULD BE DEDICATED AND STRIPED WITH APPROPRIATE MARKINGS FOR BICYCLISTS THROUGH THE TURN-LANE IN ORDER TO FACILITATE SAFE AND UNIMPEDED BICYCLE TRAVEL. A RIGHT-TURN YIELD TO BIKES SIGN SHOULD BE ADDED AT THE START OF THE LANE.
  - b. APPROPRIATE BICYCLE SYMBOLS, DIRECTIONAL ARROWS, PAVEMENT MARKINGS, AND SIGNING SHOULD BE INCLUDED ALONG BICYCLE FACILITIES AND TURN LANES WITHIN THE PROJECT LIMITS.
  - c. A FIFTEEN-FOOT WIDE EASEMENT FROM THE EDGE OF THE RIGHT-OF-WAY SHOULD BE DEDICATED TO DELDOT WITHIN THE SITE FRONTAGE ALONG BAYARD ROAD / PEPPERS CORNER ROAD. WITHIN THE EASEMENT, A MINIMUM OF A TEN-FOOT WIDE SHARED-USE PATH THAT MEETS CURRENT AASHTO AND ADA STANDARDS SHOULD BE CONSTRUCTED ALONG THE SITE FRONTAGE. THE SHARED-USE PATH SHOULD HAVE A MINIMUM OF A FIVE-FOOT BUFFER FROM THE ROADWAY. THE DEVELOPER SHOULD COORDINATE WITH DELDOT'S DEVELOPMENT COORDINATION SECTION TO DETERMINE THE EXACT LOCATIONS AND DETAILS OF THE SHARED-USE PATH CONNECTIONS TO THE SHOULDERS.
  - d. ADA COMPLIANT CURB RAMPS AND CROSSWALKS SHOULD BE PROVIDED AT ALL PEDESTRIAN CROSSINGS, INCLUDING THE SITE ENTRANCE. TYPE 3 CURB RAMPS ARE DISCOURAGED.

**DELDOT RECORD PLAN - GENERAL NOTES (3/21/19)**

1. All entrances shall conform to the Delaware Department of Transportation's (DelDOT's) current Development Coordination Manual and shall be subject to its approval.
2. No landscaping shall be allowed within the right-of-way unless the plans are compliant with Section 3.7 of the Development Coordination Manual.
3. Shrubbery, plantings, signs and/or other visual barriers that could obstruct the sight distance of a driver preparing to enter the roadway are prohibited within the defined departure sight triangle area established on this plan. If the established departure sight triangle area is outside the right-of-way or projects onto an adjacent property owner's land, a sight easement should be established and recorded with all affected property owners to maintain the required sight distance.
4. Upon completion of the construction of the sidewalk or shared-use path across this project's frontage and physical connection to adjacent existing facilities, the Developer, the property owners or both associated with this project, shall be responsible to remove any existing road tie-in connections located along adjacent properties, and restore the area to grass. Such actions shall be completed at DelDOT's discretion, and in conformance with DelDOT's Development Coordination Manual.
5. Private streets constructed within this subdivision shall be maintained by the Developer, the property owners within this subdivision or both (Title 17 §131). DelDOT assumes no responsibilities for the future maintenance of these streets.
6. The shared-use path shall be the responsibility of the Developer, the property owners or both within this subdivision. The State of Delaware assumes no responsibility for the future maintenance of the shared-use path.
7. All lots shall have access from the internal subdivision street.
8. To minimize rutting and erosion of the roadside due to on-street parking, driveway and building layouts must be configured to allow for vehicles to be stored in the driveway beyond the right-of-way, without interfering with sidewalk access and clearance.
9. The Developer shall be required to furnish and place right-of-way monuments in accordance with DelDOT's Development Coordination Manual.
10. The Developer shall be required to furnish and place right-of-way markers to provide a permanent reference for re-establishing the right-of-way and property corners on local and higher order frontage roads. Right-of-way markers shall be set and/or placed along the frontage road right-of-way at property corners and at each change in right-of-way alignment in accordance with Section 3.2.4.2 of the Development Coordination Manual.

**GENERAL NOTES:**

1. ALL ON-SITE STREETS (INCLUDING PAVEMENT, CURBING AND SIDEWALK) ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER UNTIL DEDICATION TO THE HOMEOWNER'S ASSOCIATION. THE PERPETUAL MAINTENANCE OF THE STREETS SHALL BE BY THE HOMEOWNER'S ASSOCIATION.
2. STORMWATER MANAGEMENT AND STORM DRAINAGE SHALL BE IN ACCORDANCE WITH THE SUSSEX COUNTY CONSERVATION DISTRICT AND SUSSEX COUNTY ENGINEERING REQUIREMENTS. MAINTENANCE OF THE ON-SITE STORMWATER MANAGEMENT FACILITIES AND STORM DRAINAGE SYSTEM SHALL BE BY THE OWNER UNTIL DEDICATION TO THE HOMEOWNER'S ASSOCIATION. THE PERPETUAL MAINTENANCE OF THE ABOVE PROACTIVE SHALL BE BY THE HOMEOWNER'S ASSOCIATION.
3. ALL OPEN SPACE SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
4. ALL SUBDIVISION LOTS SHALL HAVE FIVE FOOT WIDE EASEMENTS ALONG ALL LOT LINES FOR A TOTAL EASEMENT WIDTH OF 10 FEET ALONG A LOT LINE COMMON TO TWO LOTS. EASEMENTS ALONG PERIMETER (RIGHT-OF-WAY AND OPEN SPACE) SHALL BE 10 FEET IN WIDTH.
5. STREETLIGHTS SHALL BE PROVIDED. ALL LIGHTING SHALL BE DOWNWARD SCREENED. LOCATIONS TO BE COORDINATED BETWEEN OWNER AND UTILITY COMPANIES.
6. ALL AMENITIES AND LANDSCAPE/FOREST BUFFERS SHALL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
7. THE PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS. THE USE OF AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS, THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
8. ARTESIAN WATER COMPANY, INC IS HEREBY GRANTED UNINTERRUPTED AND PERPETUAL EASEMENT WITHIN THE PRIVATE COMMUNITY STREET RIGHT-OF-WAY AND OPEN SPACE.
9. AN ENTRANCE/COMMUNITY SIGN WILL BE PROVIDED. ANY SIGNAGE WILL REQUIRE A SEPARATE PERMIT.

**PLANNING & ZONING COMMISSION**

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE-CHAIRMAN  
R. KELLER HOPKINS  
HOLLY J. WINGATE  
J. BRUCE MEARS



**Sussex County**

DELAWARE  
sussexcounty.gov  
302-855-7878 T  
302-854-5079 F  
JANELLE CORNWELL, AICP  
DIRECTOR

February 26, 2019

Mr. Stephen L. Marsh, P.E.  
George, Miles & Fuhr, LLC  
206 West Main Street  
Salisbury, MD 21801

By email to: [smarsh@gmbnet.com](mailto:smarsh@gmbnet.com)

RE: Notice of Decision letter for the Preliminary Subdivision Plan for Good Will Farm (2018-24) (formerly known as "Willow Run") for the creation of one-hundred and four (104) single family lots and located south of Ocean View on Bayard Rd at the intersection of Peppers Corner Rd. and Central Ave.  
Tax Parcels: 134-18.00-55.00, 134-19.00-5.00 & 6.00

Dear Mr. Marsh,

At their meeting occurring **Thursday, February 14, 2019** the Planning & Zoning Commission approved the **Preliminary Subdivision Plan for Good Will Farm (2018-24)** to consist of one-hundred and four (104) single-family lots and located south of Ocean View on Bayard Road.

The Preliminary Subdivision Plan is valid for three (3) years from the date of Planning Commission decision. A Final Subdivision Plan shall be approved within three (3) years of the date of approval of the Preliminary Plan or the action of the Planning Commission shall be deemed canceled. Unless an extension is granted, approval shall be rendered null and void if substantial construction is not commenced within five (5) years of the date of recordation of the final plat.

As part of their motion, the Planning Commission acted to approve the development subject to the following conditions (which shall be clearly annotated on the Final Subdivision Plans):

- A. There shall be no more than 104 lots within the subdivision. The lots shall be at least 7,500 square feet in size.
- B. The developer shall establish a homeowner's association responsible for the maintenance of streets, roads, buffers, stormwater management facilities and other common areas.
- C. The stormwater management system shall meet or exceed the requirements of the State and County. The Final Site Plan shall contain the approval of the Sussex Conservation District for the design and location of all stormwater management areas and erosion and sedimentation control facilities.
- D. A forested or landscaped buffer of at least 20-feet in depth shall be installed along the entire perimeter of the project. This buffer shall increase to 30-feet in areas where the development borders any lands in agricultural use. These buffers shall not be



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February 26, 2019  
Notice of Decision Letter  
2018-24 Good Will Farm  
Page 2

- A. required in areas where a tax ditch easement is adjacent to the project border. The Final Site Plan shall contain a landscaped plan for all of these areas, and no existing vegetation shall be disturbed in any of these buffer areas.
- E. The development shall comply with all DelDOT entrance and roadway improvement requirements.
- F. If not required by DelDOT, the developer shall install a multi-modal path along the frontage of Bayard Road to accommodate the bicycle and pedestrian traffic in the area. This shall include the frontage of Lot 104 along Bayard Road.
- G. Lots 1, 2, 3, 78, and 79 shown on the Preliminary Site Plan shall be relocated from the entrance of this subdivision to provide greater open space at the entrance design as a superior design.
- H. There shall be sidewalks on at least one side of all streets within the subdivision.
- I. The amenities shall include a swimming pool and clubhouse and they must be completed by the issuance of the 50<sup>th</sup> residential building permit.
- J. The subdivision's lots shall be served by central sewer provided by Sussex County.
- K. Road naming and addressing shall be subject to the review and approval of the Sussex County Mapping and Addressing Department.
- L. Construction activities, site work and deliveries shall only occur on the site between the hours of 8:00 a.m. through 5:00 p.m., Monday through Friday, and 8:00 a.m. through 2:00 p.m. on Saturday.
- M. If required by the local school district, the Applicant shall coordinate with the local school district's transportation manager to establish a covered school bus stop with a parking area.
- N. The Applicant and Developer shall maintain as many existing trees outside of the buffer areas as possible. These tree preservation areas shall be shown on the Final Site Plan.
- O. The Applicant must obtain all the necessary amendments to the tax ditches and their easements prior to the Final Site Plan approval.
- P. As stated by the Applicant, the Developer shall coordinate with DelDOT to relocate and redesign the Bayard Road/Central Avenue/Peppers Corner Road intersection in coordination with the construction of the entrance to this subdivision.
- Q. A revised Preliminary Site Plan either depicting or noting these conditions must be submitted to the Office of Planning and Zoning.
- R. The Final Site Plan shall be subject to the review and approval of the Planning and Zoning Commission.

Once all agency approvals have been obtained please submit a minimum of **seven (7) paper copies (11"x17")**, **one (1) full size copy and one (1) electronic copy** of a Revised Preliminary Subdivision Plan to the Planning and Zoning Office for consideration on the next agenda for the Planning Commission. **It is recommended that two (2) copies of a check print are first submitted to staff for review.**

A \$10.00 per lot fee is required to be paid prior to the approval of any Final Subdivision Plan. For 104 lots, the fee is \$1,040.00.



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REVISIONS		DESCRIPTION
NO.	DATE	DESCRIPTION
1	5/12/20	REVISIONS PER SUSSEX CO. P&Z COMMENT LETTER DATED 5/8/20
2	1/20/22	REVISED RIGHT-OF-WAYS AND OPEN SPACE

NOTES for  
**SYCAMORE CHASE**  
SUSSEX COUNTY, DELAWARE  
BALTIMORE HUNDRED  
SCR 84 & 365

Date:	3/24/20
Job Number:	19012
Scale:	AS SHOWN
Drawn By:	HHB
Designed By:	HHB
Approved By:	BMH

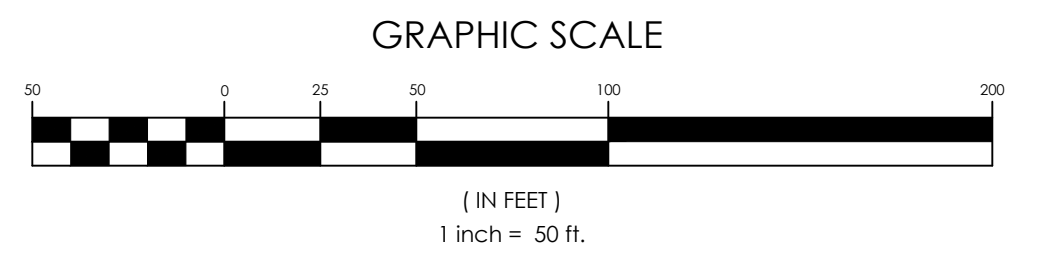
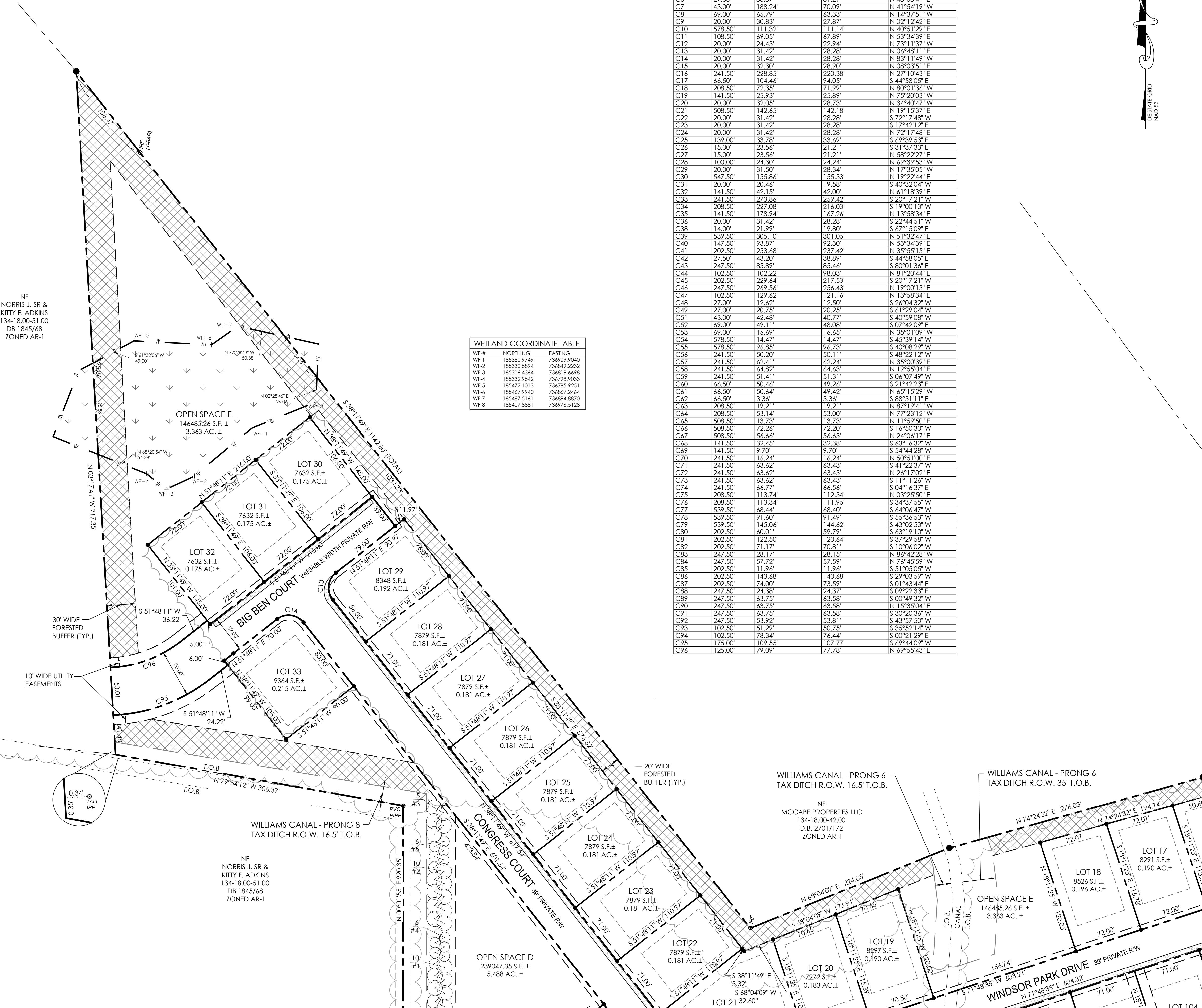
Sheet No.: **2**  
File Name: RP.dwg



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C5	30.00	28.61	27.53	S 14°37'51" E
C6	27.00	33.37	31.29	N 48°05'41" E
C7	43.00	188.24	70.09	N 41°54'19" W
C8	69.00	65.79	63.33	N 14°37'51" W
C9	20.00	30.83	27.87	N 02°12'42" E
C10	578.50	111.32	111.14	N 40°51'29" E
C11	108.50	69.05	67.89	N 53°34'39" E
C12	20.00	24.43	22.94	N 73°11'37" W
C13	20.00	31.42	28.28	N 06°48'11" E
C14	20.00	31.42	28.28	N 83°11'49" W
C15	20.00	32.30	28.90	N 08°03'51" E
C16	241.50	228.85	220.38	N 27°10'43" E
C17	66.50	104.46	94.05	S 44°58'05" E
C18	208.50	72.35	71.99	N 80°01'36" W
C19	141.50	25.93	25.89	N 75°20'03" W
C20	20.00	32.05	28.73	N 34°40'47" W
C21	508.50	142.65	142.18	N 19°15'37" E
C22	20.00	31.42	28.28	S 72°17'48" W
C23	20.00	31.42	28.28	S 17°42'12" E
C24	20.00	31.42	28.28	N 72°17'48" E
C25	139.00	33.78	33.69	S 69°39'53" E
C26	15.00	23.56	21.21	S 31°37'33" E
C27	15.00	23.56	21.21	N 58°22'27" E
C28	100.00	24.30	24.24	N 69°39'53" W
C29	20.00	31.50	28.34	N 17°35'05" W
C30	547.50	155.86	155.33	N 19°22'44" E
C31	20.00	20.46	19.58	S 40°32'04" W
C32	141.50	42.15	42.00	N 61°18'39" E
C33	241.50	273.86	259.42	S 20°17'21" W
C34	208.50	227.08	216.03	S 19°00'13" W
C35	141.50	178.94	167.26	N 13°58'34" E
C36	20.00	31.42	28.28	S 22°44'51" W
C38	14.00	21.99	19.80	S 67°15'09" E
C39	539.50	305.10	301.05	N 51°32'47" E
C40	147.50	93.87	92.30	N 53°34'39" E
C41	202.50	253.68	237.42	N 35°55'15" E
C42	27.50	43.20	38.89	S 44°58'05" E
C43	247.50	85.89	85.46	S 80°01'36" E
C44	102.50	102.22	98.03	N 81°20'44" E
C45	202.50	229.64	217.53	S 20°17'21" W
C46	247.50	269.56	254.43	N 19°00'13" E
C47	102.50	129.62	121.16	N 13°58'34" E
C48	27.00	12.62	12.50	S 26°04'32" W
C49	27.00	20.75	20.25	S 61°29'04" W
C51	43.00	42.48	40.77	S 40°59'08" W
C52	69.00	49.11	48.08	S 07°42'09" E
C53	69.00	16.69	16.65	N 35°01'09" W
C54	578.50	14.47	14.47	S 45°39'14" W
C55	578.50	96.85	96.73	S 40°08'29" W
C56	241.50	50.20	50.11	S 88°22'12" W
C57	241.50	62.41	62.24	N 35°00'39" E
C58	241.50	64.82	64.63	N 19°53'04" E
C59	241.50	51.41	51.31	S 06°07'49" W
C60	66.50	50.46	49.26	S 21°42'23" E
C61	66.50	50.64	49.42	N 65°15'29" W
C62	66.50	3.36	3.36	S 88°31'11" E
C63	208.50	19.21	19.21	N 87°19'41" W
C64	208.50	53.14	53.00	N 77°23'12" W
C65	508.50	13.73	13.73	N 11°59'50" E
C66	508.50	72.26	72.20	S 16°50'30" W
C67	508.50	56.66	56.63	N 24°06'17" E
C68	141.50	32.45	32.38	S 63°16'32" W
C69	141.50	9.70	9.70	S 54°44'28" W
C70	241.50	16.24	16.24	N 50°51'00" E
C71	241.50	63.62	63.43	S 41°22'37" W
C72	241.50	63.62	63.43	N 26°17'02" E
C73	241.50	63.62	63.43	S 11°11'26" W
C74	241.50	66.77	66.56	S 04°16'37" E
C75	208.50	113.74	112.34	N 03°25'50" E
C76	208.50	113.34	111.95	S 34°37'55" W
C77	539.50	68.44	68.40	S 64°06'47" W
C78	539.50	91.60	91.49	S 55°36'53" W
C79	539.50	145.06	144.62	S 43°02'53" W
C80	202.50	60.01	59.79	S 63°19'10" W
C81	202.50	122.50	120.64	S 37°29'58" W
C82	202.50	71.17	70.81	S 10°06'02" W
C83	247.50	28.17	28.15	N 86°42'28" W
C84	247.50	57.72	57.59	N 76°45'59" W
C85	202.50	11.96	11.96	S 51°05'05" W
C86	202.50	143.68	140.68	S 29°03'59" W
C87	202.50	74.00	73.59	S 01°43'44" E
C88	247.50	24.38	24.37	S 09°22'33" E
C89	247.50	63.75	63.58	S 00°49'32" W
C90	247.50	63.75	63.58	N 15°35'04" E
C91	247.50	63.75	63.58	S 30°20'36" W
C92	247.50	53.92	53.81	S 45°57'50" W
C93	51.02.50	51.29	50.75	S 35°52'14" W
C94	102.50	78.34	75.44	S 00°21'29" E
C95	175.00	109.55	107.77	S 69°44'09" W
C96	125.00	79.09	77.78	N 69°55'43" E

**WETLAND COORDINATE TABLE**

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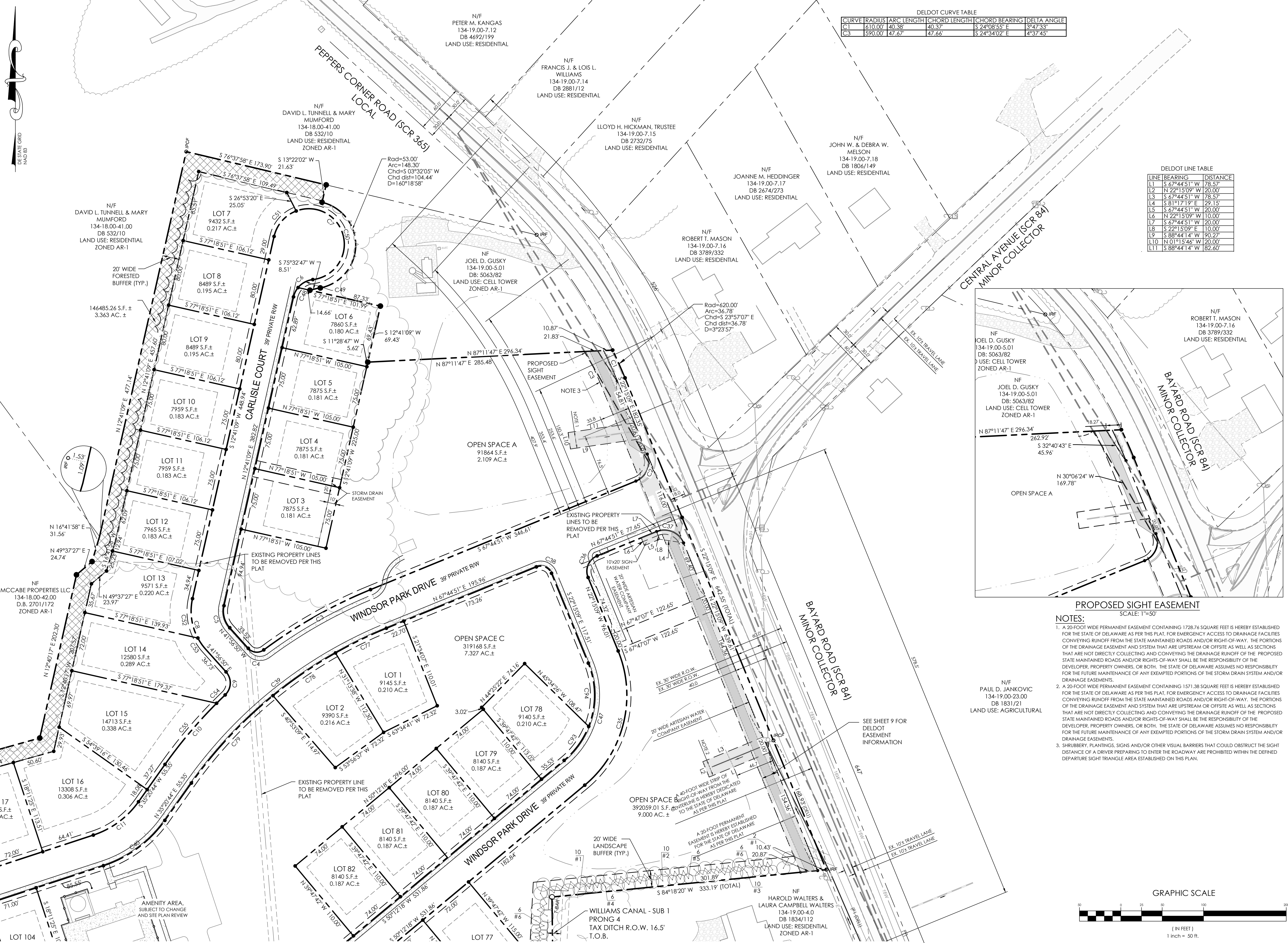


**REVISIONS**

NO.	DATE	DESCRIPTION
1	5/12/20	REVISIONS PER SUSSEX CO. P&Z COMMENT LETTER DATED 5/8/20
2	1/20/22	REVISED RIGHT-OF-WAYS AND OPEN SPACE

RECORD PLAT A  
 for  
**SYCAMORE CHASE**  
 SUSSEX COUNTY, DELAWARE  
 BALTIMORE HUNDRED  
 SCR 84 & 365

Date:	3/24/20	Scale:	1"=50'	Drawn By:	HHB	Designed By:	HHB	Approved By:	SWF
Job Number:	19012	Sheet No.:		File Name:	RP.dwg				

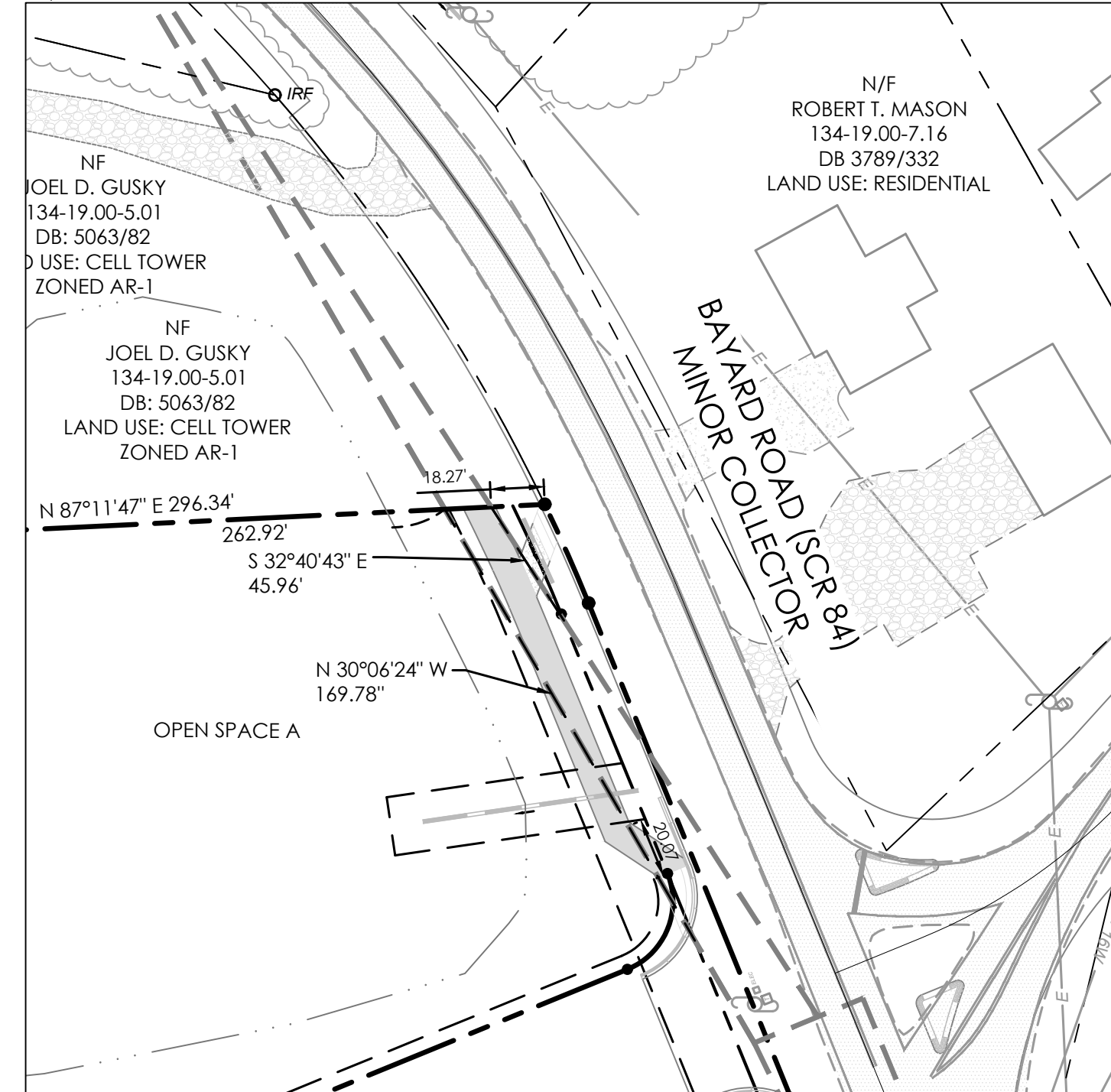


DELDT CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	610.00'	40.38'	40.37'	S 24°08'55" E	3°47'33"
C3	590.00'	47.67'	47.66'	S 24°34'02" E	4°37'45"

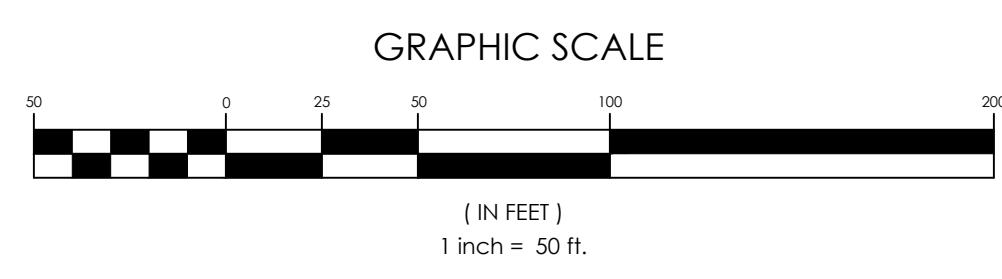
DELDT LINE TABLE

LINE	BEARING	DISTANCE
L1	S 67°44'51" W	78.57'
L2	N 22°15'09" W	20.00'
L3	S 67°44'51" W	78.57'
L4	S 81°17'19" E	29.15'
L5	S 67°44'51" W	20.00'
L6	N 22°15'09" W	10.00'
L7	S 67°44'51" W	20.00'
L8	S 22°15'09" E	10.00'
L9	S 88°44'14" W	90.27'
L10	N 01°15'46" W	20.00'
L11	S 88°44'14" W	82.60'



PROPOSED SIGHT EASEMENT  
SCALE: 1"=50'

- NOTES:
- A 20-FOOT WIDE PERMANENT EASEMENT CONTAINING 1728.76 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAN. FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM THE STATE MAINTAINED ROADS AND/OR RIGHT-OF-WAY, THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.
  - A 20-FOOT WIDE PERMANENT EASEMENT CONTAINING 1571.38 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAN. FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM THE STATE MAINTAINED ROADS AND/OR RIGHT-OF-WAY, THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.
  - SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN.



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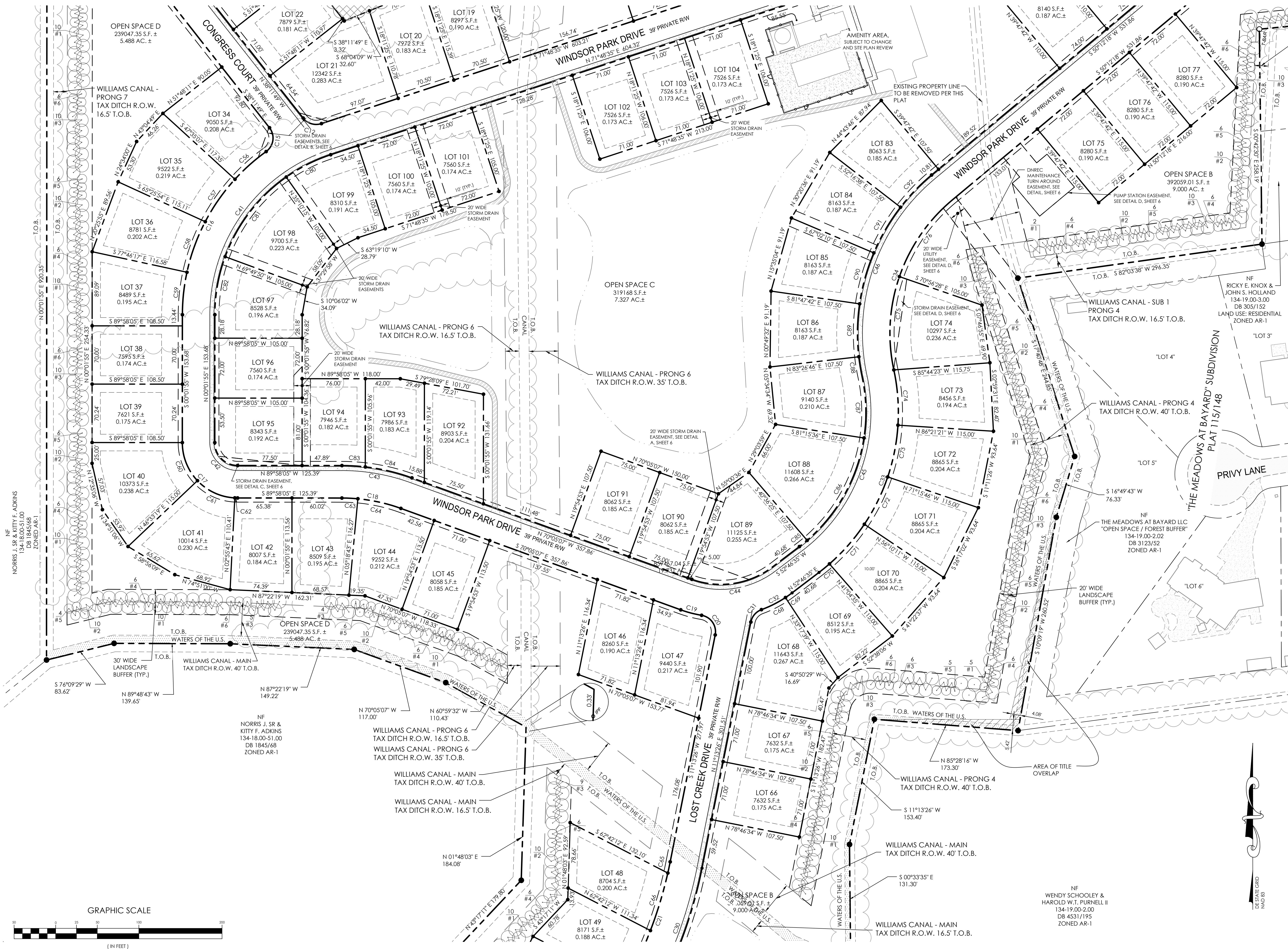
REVISIONS

NO.	DATE	DESCRIPTION
1	5/12/20	REVISIONS PER SUSSEX CO. P&Z COMMENT LETTER DATED 5/8/20
2	1/20/22	REVISED RIGHT-OF-WAYS AND OPEN SPACE

RECORD PLAT B  
for  
**SYCAMORE CHASE**  
SUSSEX COUNTY, DELAWARE  
BALTIMORE HUNDRED  
SCR 84 & 365

Date:	3/24/20	Job Number:	19012	Scale:	1"=50'	Drawn By:	HHB	Designed By:	HHB	Approved By:	SWF
Sheet No.:	4										
File Name:	RP.dwg										

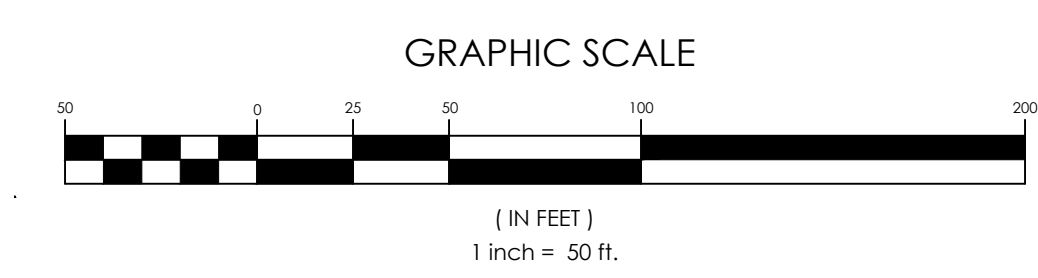
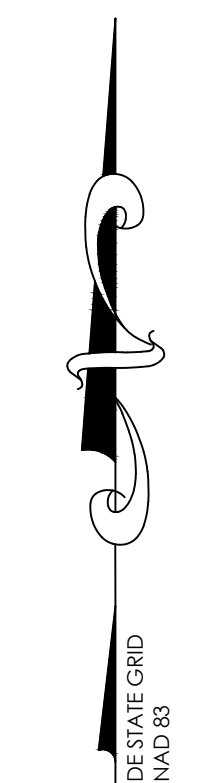


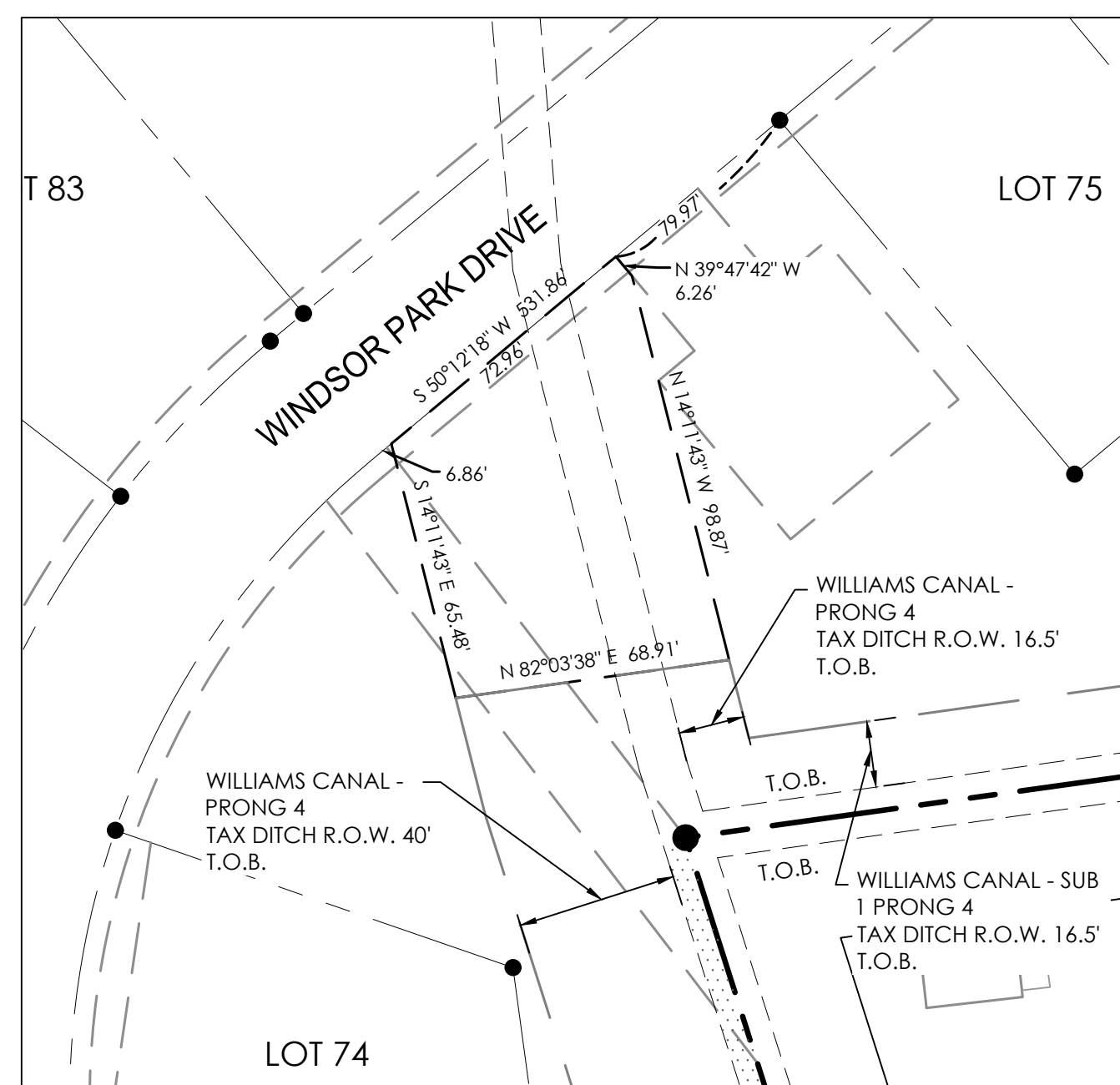


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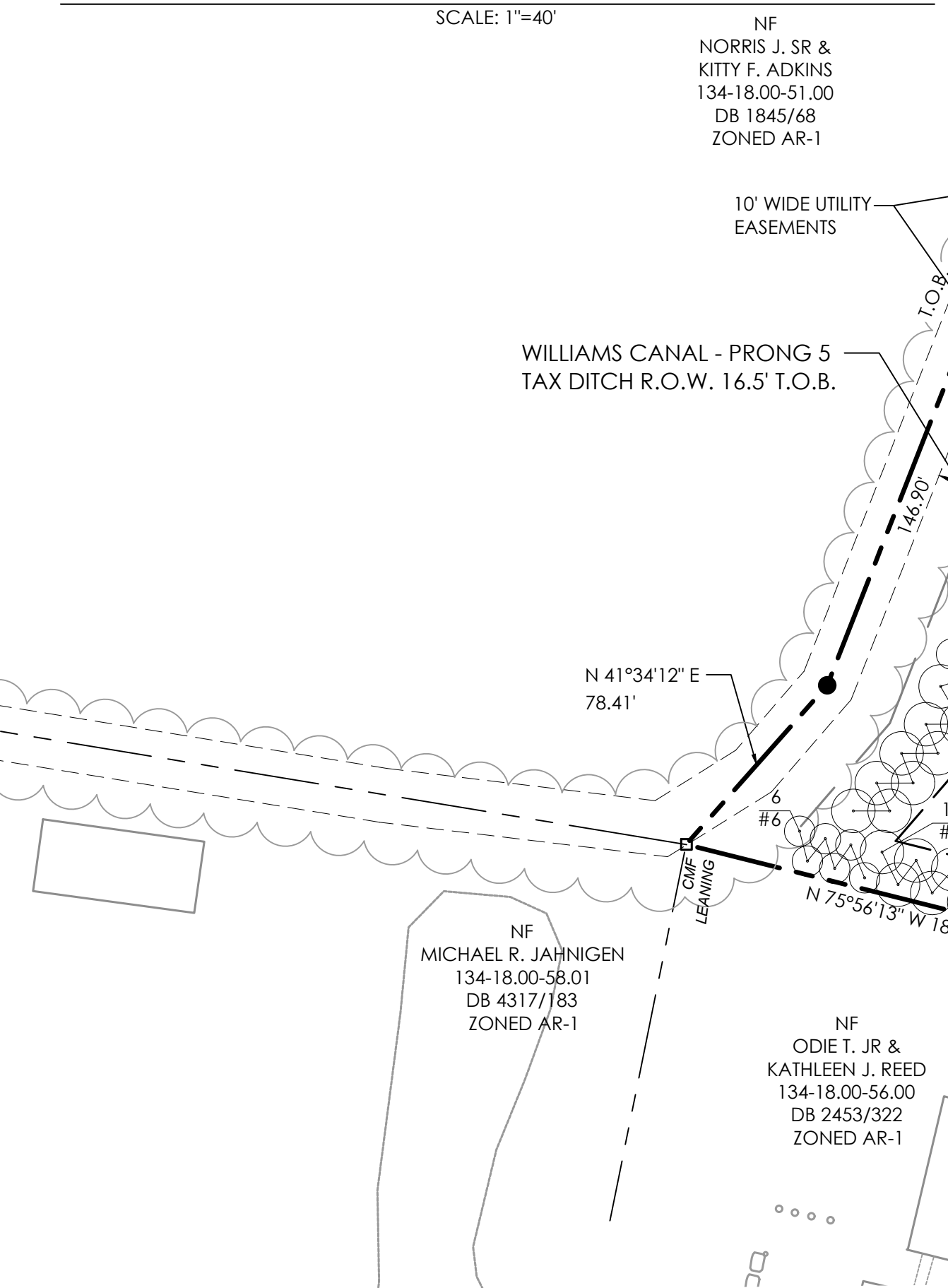
RECORD PLAT C  
 for  
**SYCAMORE CHASE**  
 SUSSEX COUNTY, DELAWARE  
 BALTIMORE HUNDRED  
 SCR 84 & 365

Date:	3/24/20
Job Number:	19012
Scale:	1"=50'
Drawn By:	HHB
Designed By:	HHB
Approved By:	SWF



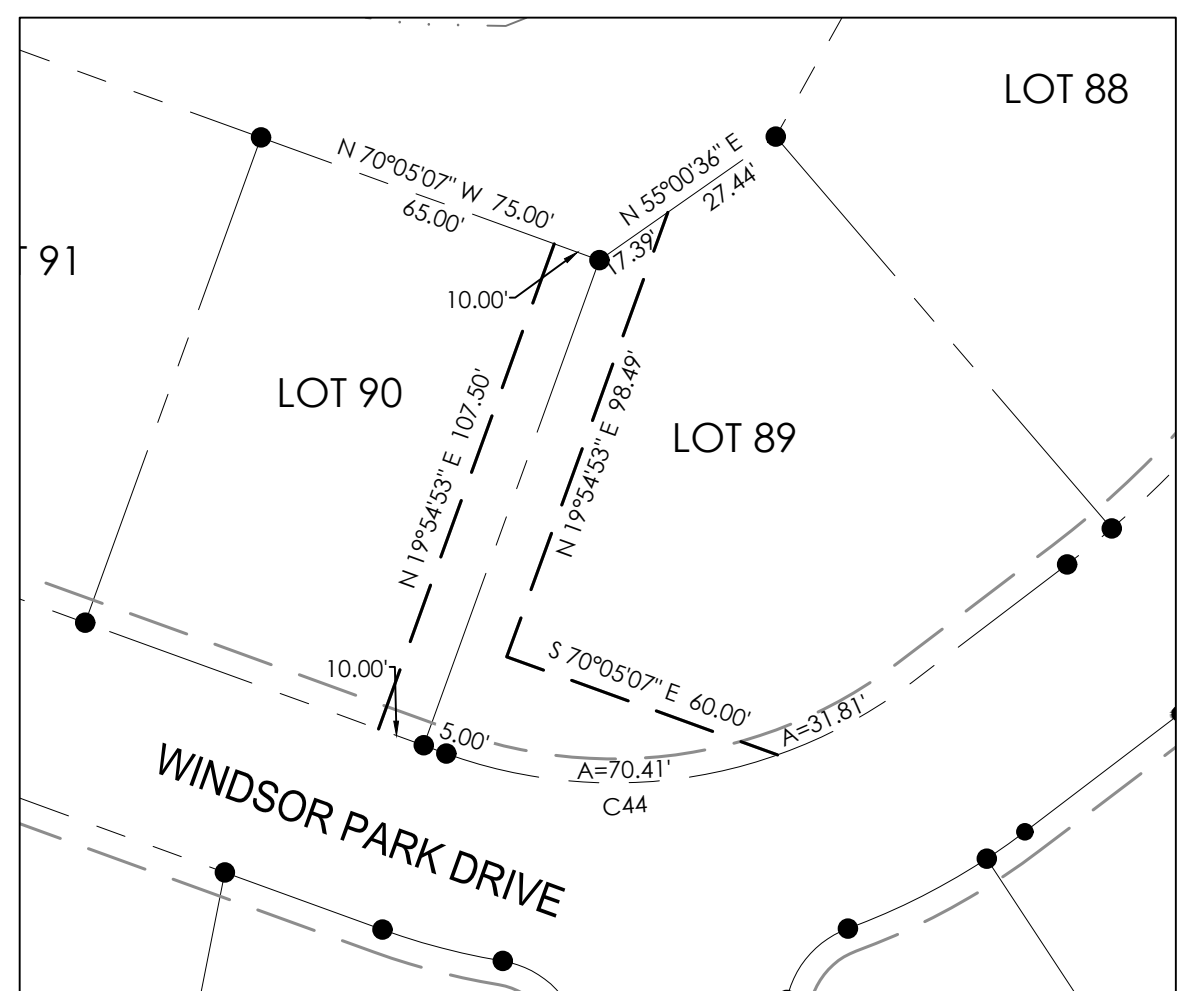
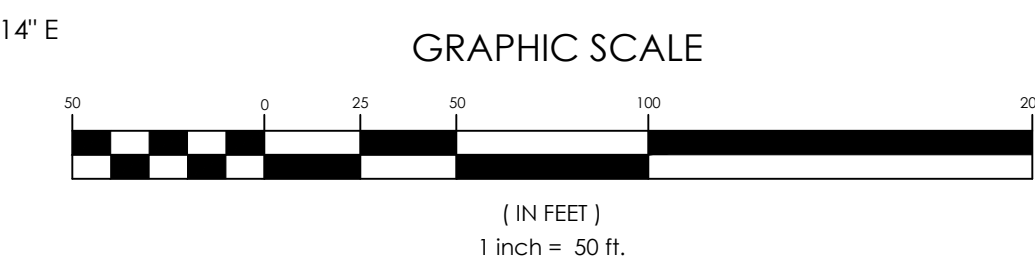


DNREC MAINTENANCE TURNAROUND EASEMENT  
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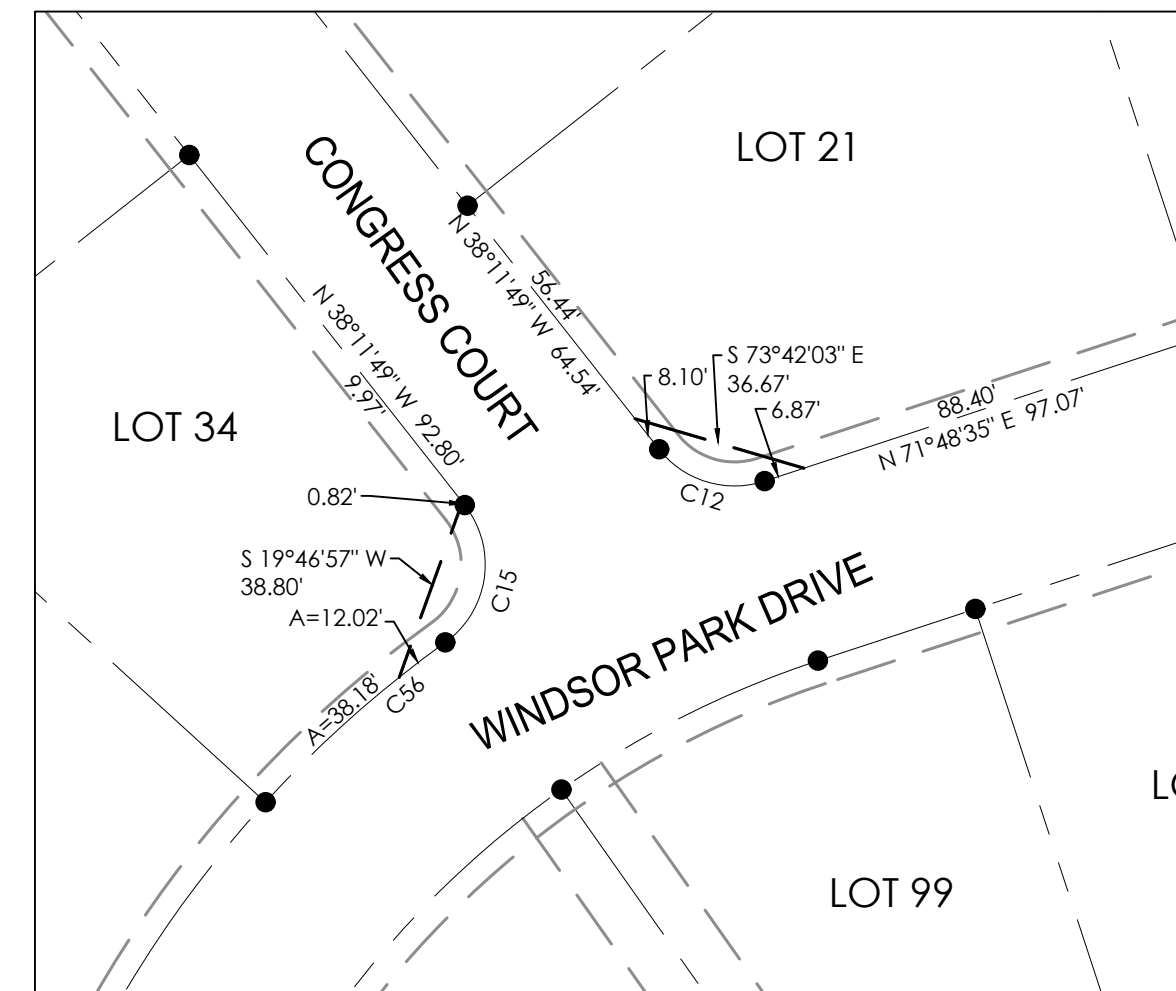


WETLAND COORDINATE TABLE

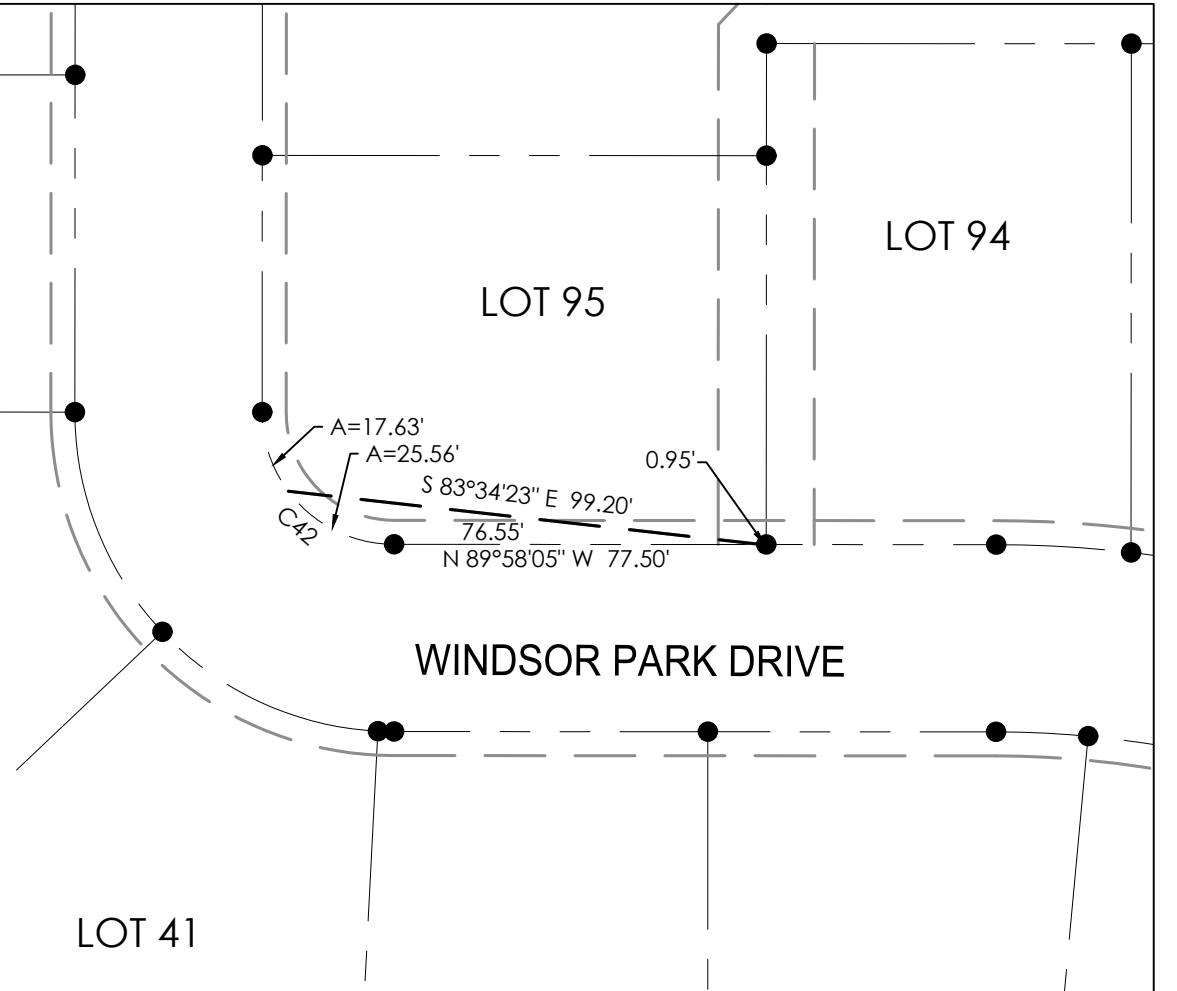
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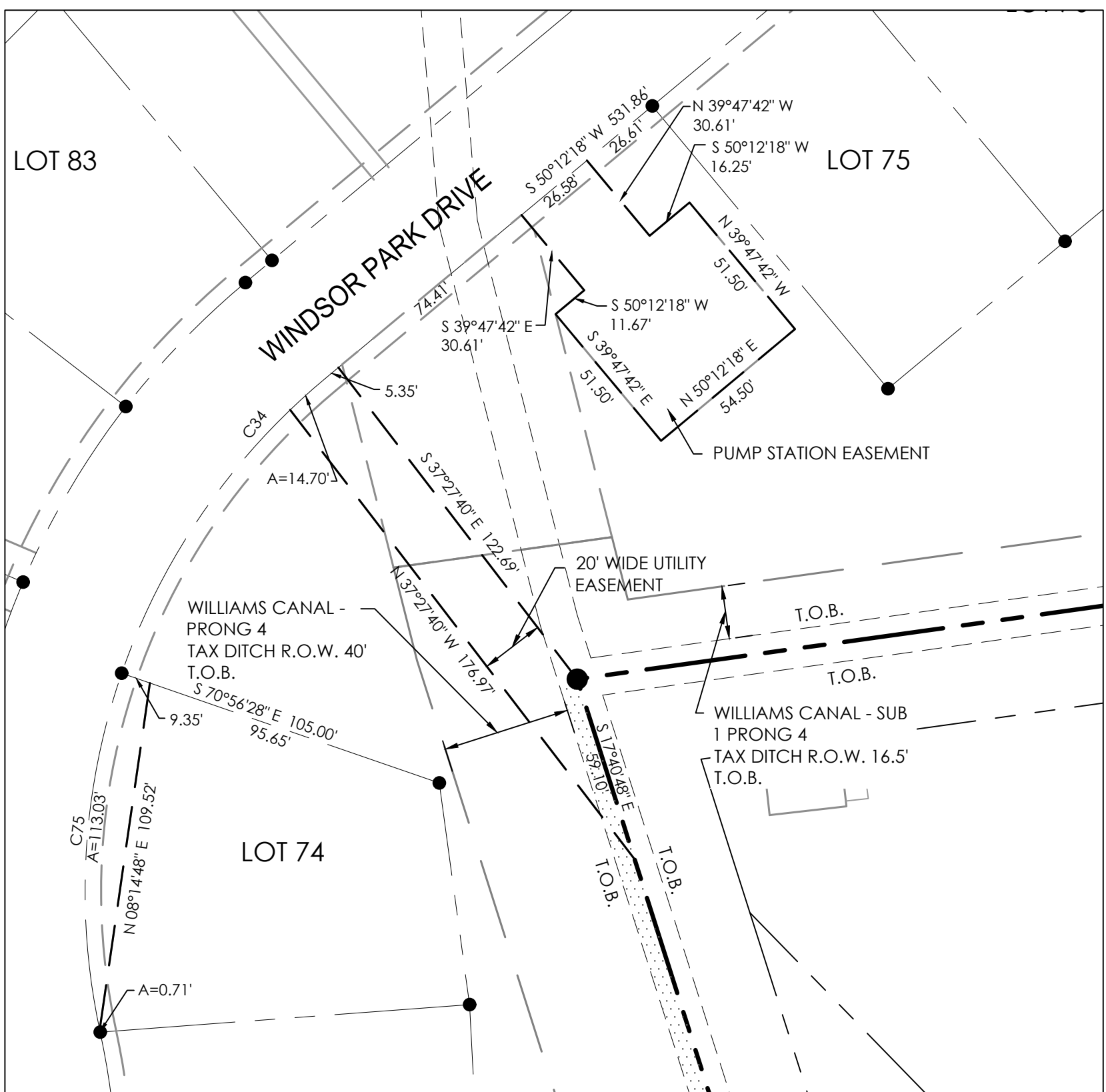
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SCALE: 1"=40'



DETAIL B  
SCALE: 1"=40'



DETAIL C  
SCALE: 1"=40'



DETAIL D  
SCALE: 1"=40'

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REVISIONS

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RECORD PLAT D  
for  
**SYCAMORE CHASE**  
SUSSEX COUNTY, DELAWARE  
BALTIMORE HUNDRED  
SCR 84 & 365

Date:	3/24/20
Job Number:	19012
Scale:	1"=50'
Drawn By:	HHB
Designed By:	HHB
Approved By:	SWF

Sheet No.: **6**  
File Name: RP.dwg

# LANDSCAPE BUFFER

## NOTES:

1. THE LANDSCAPE AND/OR FOREST BUFFERS SHALL BE INSTALLED WITHIN 18 MONTHS FROM THE DATE SITE WORK IS AUTHORIZED TO COMMENCE, AS DOCUMENTED BY A NOTICE TO PROCEED LETTER FROM THE COMMISSION.

2. THE LAND DEVELOPER SHALL BE RESPONSIBLE FOR THE HEALTH AND SURVIVAL OF THE TREES, INCLUDING REGULAR NECESSARY WATERING FOR A MINIMUM OF 2 YEARS OR UNTIL SUCH LATER DATE AS THE MAINTENANCE RESPONSIBILITIES ARE TRANSFERRED TO A HOMEOWNER'S ASSOCIATION; PROVIDED, HOWEVER THAT THE DEVELOPER SHALL REPLACE AND TREES THAT DIE DURING THE MINIMUM 2 YEAR DEVELOPER MAINTENANCE PRIOR TO TRANSFERRING MAINTENANCE RESPONSIBILITIES TO A CONDOMINIUM ASSOCIATION.

3. ADDITIONAL INFORMATION AS TO HOW THE LANDSCAPE / FORESTED BUFFERS ARE TO BE MAINTAIN IN PERPETUITY, SHALL BE INCLUDED IN THE RESTRICTIVE COVENANTS AND/OR HOMEOWNER'S ASSOCIATION DOCUMENTS.

4. PURSUANT WITH SUSSEX COUNTY CODE SECTION 99-5, THE 20' WIDE LANDSCAPE BUFFER SHOWN IN THIS PLAN MUST BE PLANTED WITH A MIX OF 70% DECIDUOUS AND 30% EVERGREEN TREES, THE MAJORITY OF WHICH SHALL BE SUITABLE TREES OF COMMON LOCAL SPECIES. EVERY 100' OF BUFFER SHALL INCLUDE A MINIMUM OF 15 TREES.

5. ALL DECIDUOUS TREES THAT ARE PLANTED TO ESTABLISH THE BUFFER PLANTINGS SHALL HAVE A MINIMUM CALIPER OF 1.5 INCHES AND A MINIMUM HEIGHT OF SIX FEET ABOVE GROUND WHEN PLANTED IN ORDER TO INSURE THAT THE TREES WILL BE CAPABLE OF OBTAINING A MINIMUM HEIGHT OF 10 FEET ABOVE GROUND WITHIN FIVE YEARS OF BEING PLANTED.

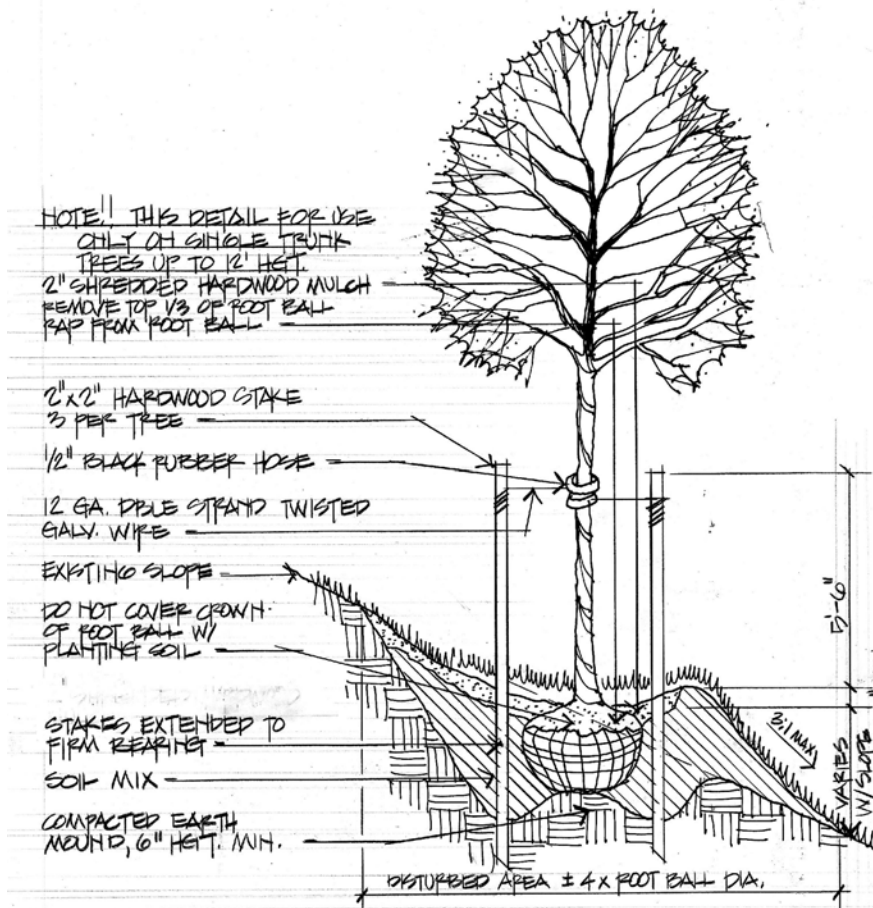
6. ALL EVERGREEN TREES THAT ARE PLANTED TO ESTABLISH THE BUFFER PLANTINGS SHALL HAVE A MINIMUM HEIGHT OF FIVE FEET ABOVE GROUND WHEN PLANTED IN ORDER TO INSURE THAT THEY ARE REASONABLY CAPABLE OF ATTAINING A MINIMUM HEIGHT OF 10 FEET ABOVE GROUND WITHIN FIVE YEARS OF BEING PLANTED.

7. THE TREES SHALL BE PLANTED IN A STAGGERED NATURAL MANNER. THE PROCEDURES AND DETAILS FOR PLANTING NEW TREES SHALL BE SPECIFIED BY THE LANDSCAPE ARCHITECT ON THE PLAN SUBMITTED TO AND APPROVED BY THE COMMISSION AND SHALL INCLUDE THE REQUIREMENT THAT THE BUFFER AREA SHALL HAVE A FINAL GRADE THAT CONTAINS A MINIMUM OF FOUR INCHES OF TOPSOIL AND A SUITABLE GRASS MIX PLANTED AS SACRIFICIAL COVER BETWEEN THE BUFFER TREES FOR SOIL STABILIZATION UNTIL THE NEWLY PLANTED TREES BECOME LARGER. THE PLAN MAY SUBSTITUTE WOODCHIPS FOR PLANTED GRASS BETWEEN THE BUFFER TREES IN RESPECT TO BOTH NEWLY PLANTED AND EXISTING TREES, AS DETERMINED BY THE LANDSCAPE ARCHITECT

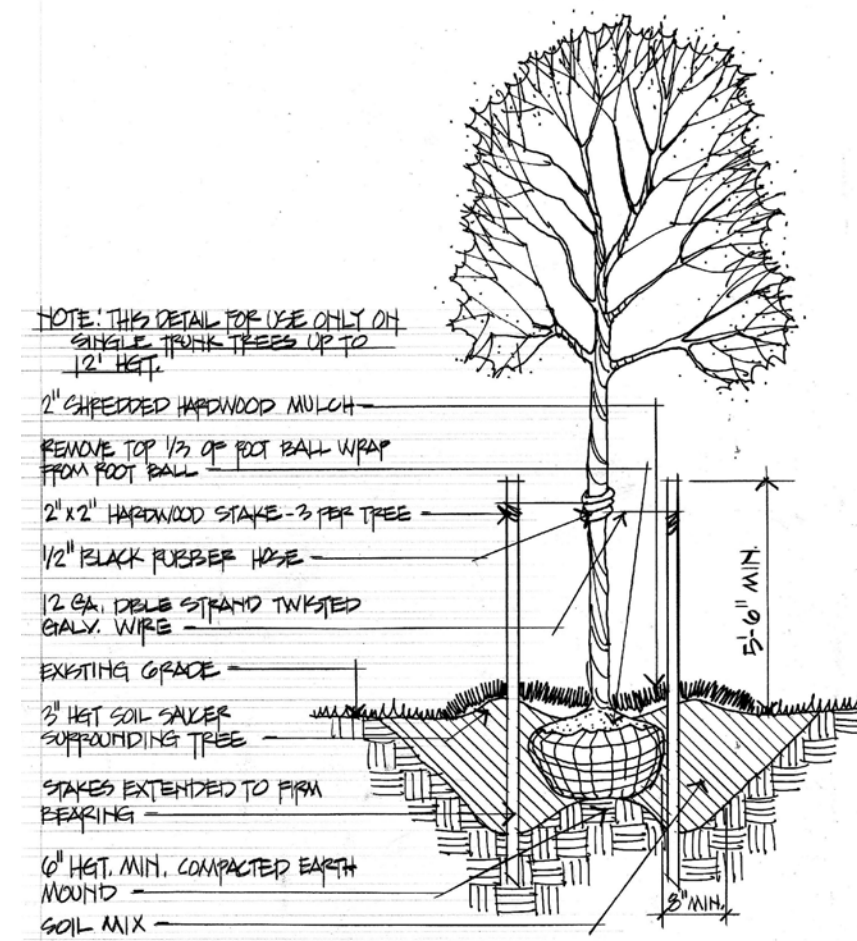
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATION
165	#1	Acer rubrum	RED MAPLE	1 1/2" CAL., 6' HGT. MIN.
180	#2	Quercus phellos	WILLOW OAK	1 1/2" CAL., 6' HGT. MIN.
147	#3	Quercus rubra	RED OAK	1 1/2" CAL., 6' HGT. MIN.
114	#4	Ilex opaca	AMERICAN HOLLY	5' HGT. MIN.
97	#5	Picea abies	NORWAY SPRUCE	5' HGT. MIN.
78	#6	Pinus virginiana	VIRGINIA PINE	5' HGT. MIN.

SUBSTITUTIONS:	BOTANICAL NAME	COMMON NAME	SPECIFICATION
	Acer saccharum	SUGAR MAPLE	1 1/2" CAL., 6' HGT. MIN.
	Chamaecyparis thyoides	ATLANTIC WHITECEDAR	5' HGT. MIN.
	Crataegus viridis 'Winter King'	WINTER KING GREEN HAWTHORN	1 1/2" CAL., 6' HGT. MIN.
	Liriodendron tulipifera	TULIP TREE	1 1/2" CAL., 6' HGT. MIN.
	Pinus strobus	WHITE PINE	5' HGT. MIN.
	Pinus taeda	LOBLOLLY PINE	5' HGT. MIN.
	Quercus alba	WHITE PINE	1 1/2" CAL., 6' HGT. MIN.
	Quercus coccinea	SCARLET OAK	1 1/2" CAL., 6' HGT. MIN.
	Taxodium distichum	BALD CYPRESS	1 1/2" CAL., 6' HGT. MIN.
	Magnolia virginiana	SWEETBAY MAGNOLIA	5' HGT. MIN.
	Juriperus virginiana	EASTERN RED CEDAR	5' HGT. MIN.
	Platanus acerifolia	LONDON PLANE TREE	1 1/2" CAL., 6' HGT. MIN.
	Nyssa sylvatica	BLACK GUM	1 1/2" CAL., 6' HGT. MIN.
	Salix babylonica	WEeping WILLOW	1 1/2" CAL., 6' HGT. MIN.

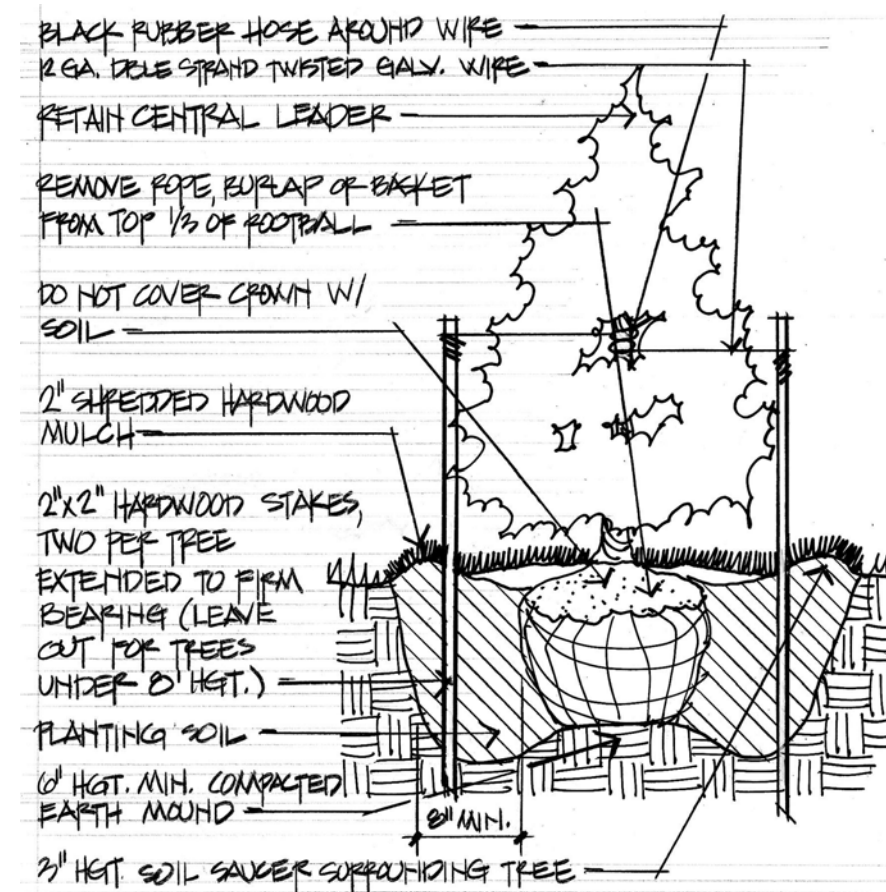
IF SUBSTITUTIONS ARE MADE, ONLY SUBSTITUTE DECIDUOUS FOR DECIDUOUS OR EVERGREEN FOR EVERGREEN TO MAINTAIN REQUIRED MIX.



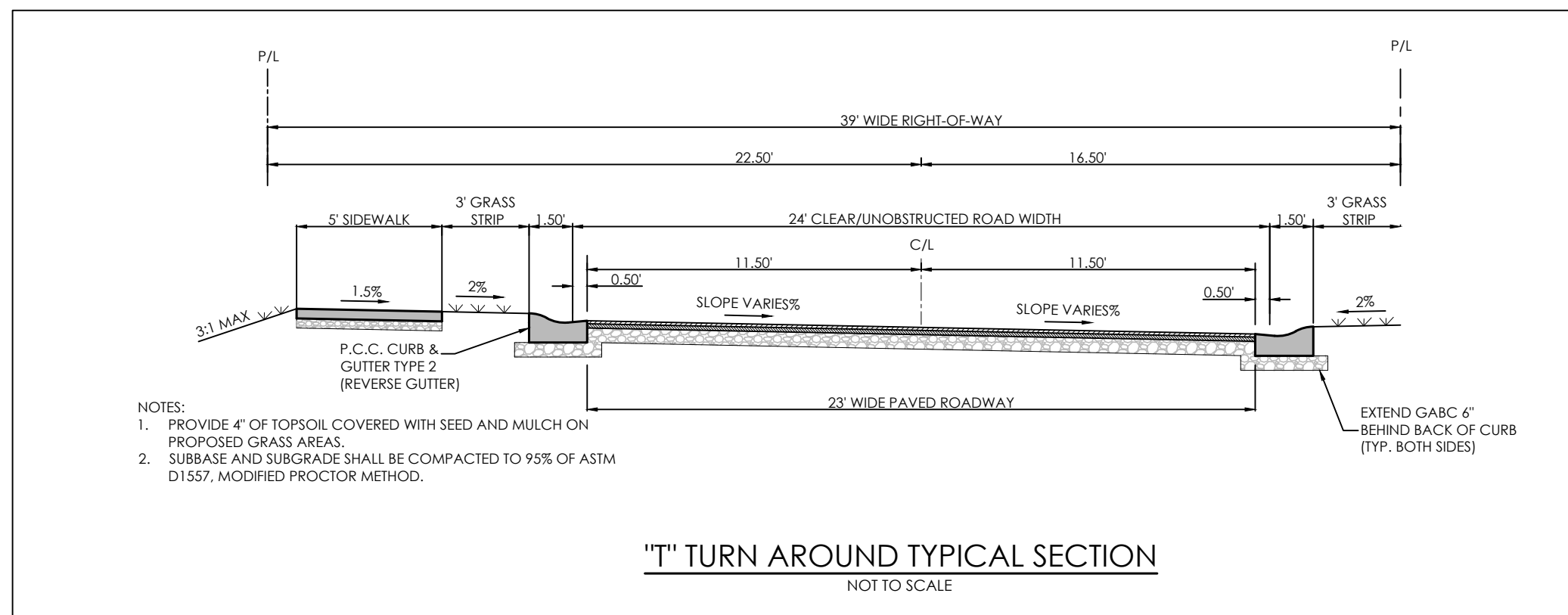
TREE PLANTING ON SLOPE DETAIL



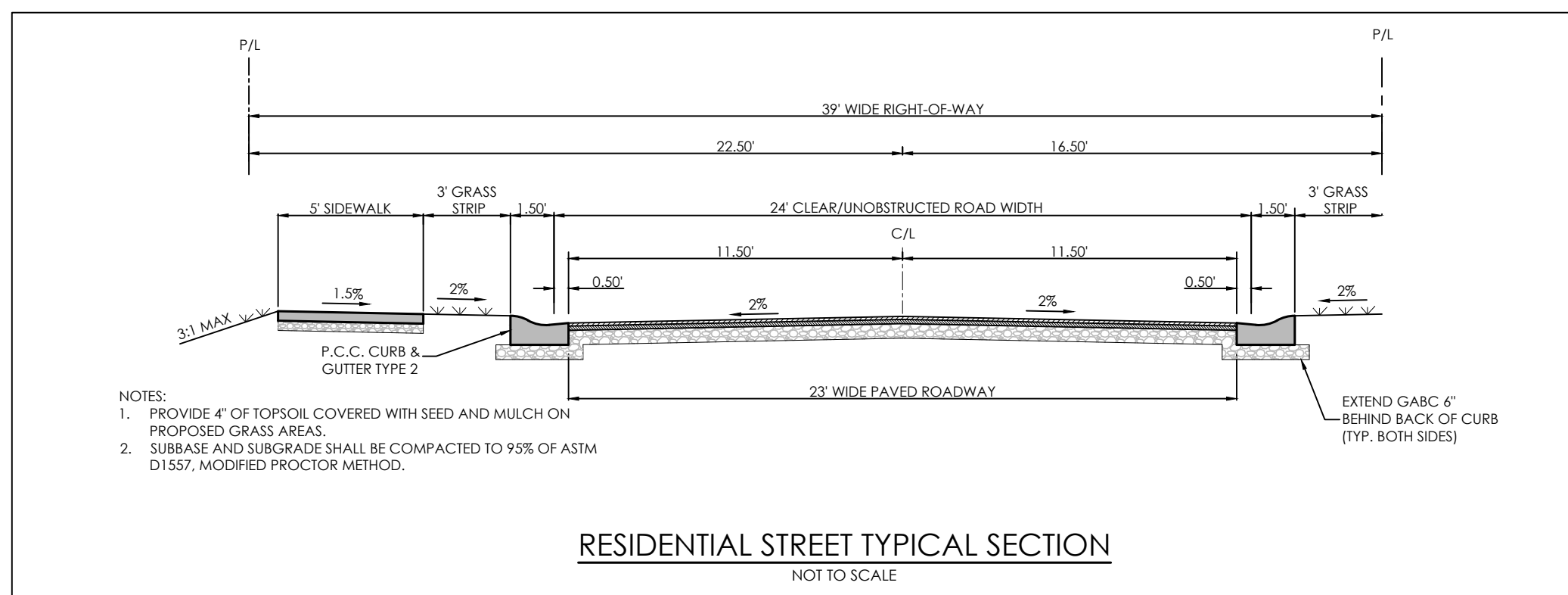
DECIDUOUS TREE PLANTING DETAIL



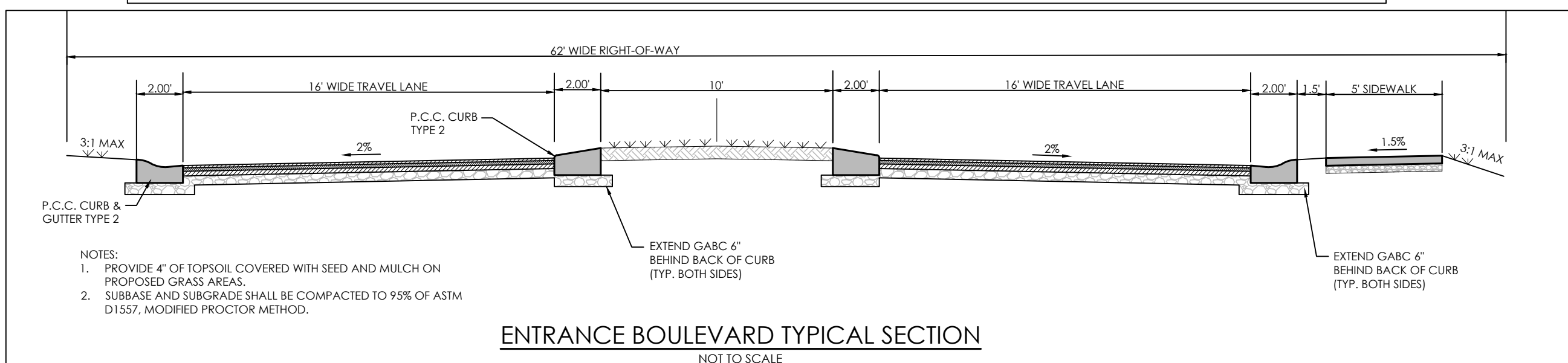
EVERGREEN TREE PLANTING DETAIL



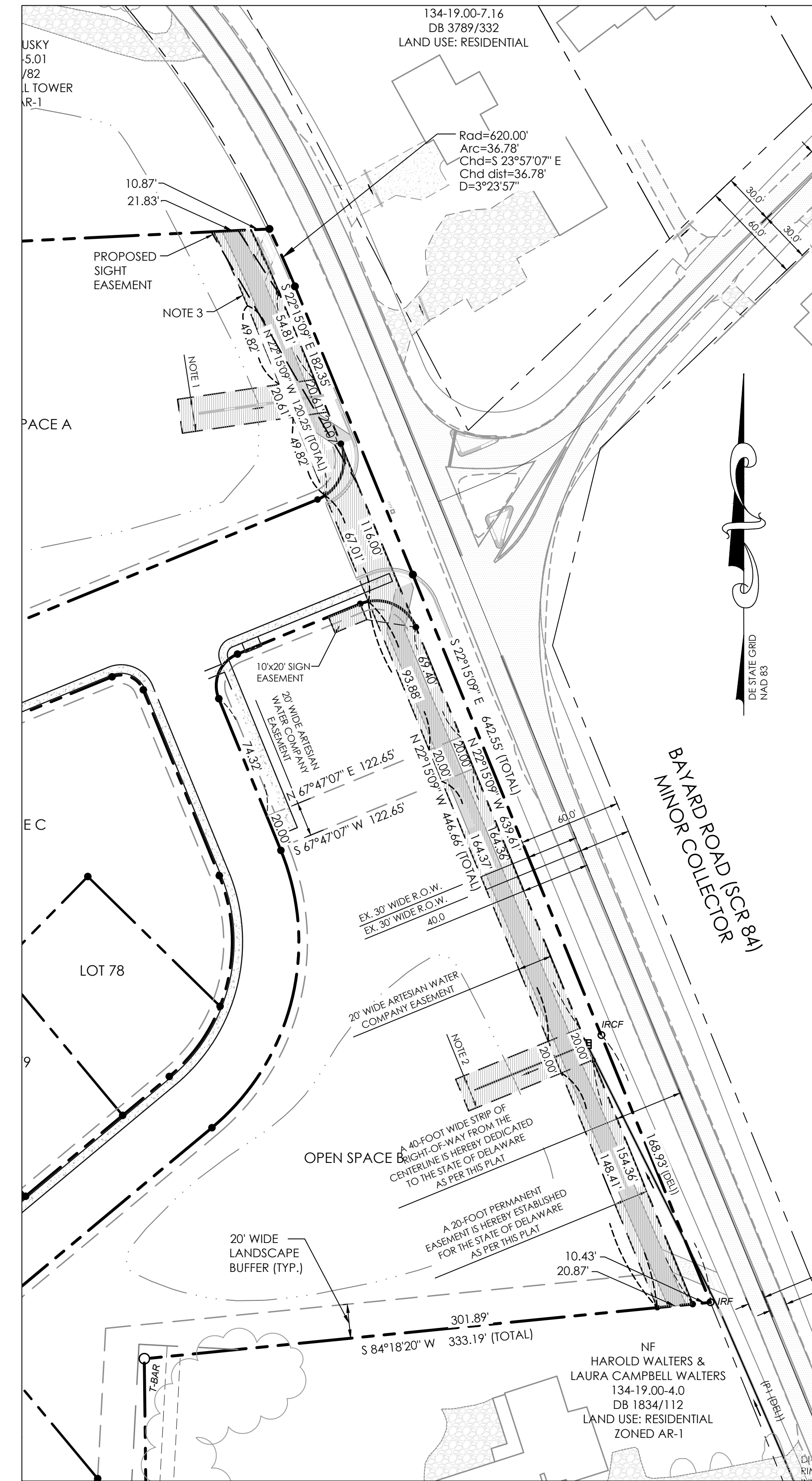
"T" TURN AROUND TYPICAL SECTION



RESIDENTIAL STREET TYPICAL SECTION



ENTRANCE BOULEVARD TYPICAL SECTION



LANDSCAPE ARCHITECT'S CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED UNDER MY SUPERVISION.  
 Lee Ann Schnappinger Bridgman, RLA  
 BRIDGMAN LANDSCAPE ARCHITECTURE, LLC  
 DATE



303 North Bedford Street  
 Georgetown, DE 19447  
 T. 302-297-9215  
 3033 Manthill Mill Road  
 Solisbury, MD 21804  
 T. 410.572.8833  
 www.solutionsperm.com Copyright © 2020

NO.	DATE	DESCRIPTION
1	5/12/20	REVISIONS PER SUSSEX CO. P&Z COMMENT LETTER DATED 5/8/20
2	1/20/22	REVISED RIGHT-OF-WAYS AND OPEN SPACE

ROAD SECTIONS AND LANDSCAPING DETAILS  
 for  
**SYCAMORE CHASE**  
 SUSSEX COUNTY, DELAWARE  
 BALTIMORE HUNDRED  
 SCR 84 & 365

Date:	3/24/20
Job Number:	19012
Scale:	NONE
Drawn By:	HHB
Designed By:	HHB
Approved By:	SWF

Sheet No.: 7

File Name: RP.dwg

# OCEAN PARK

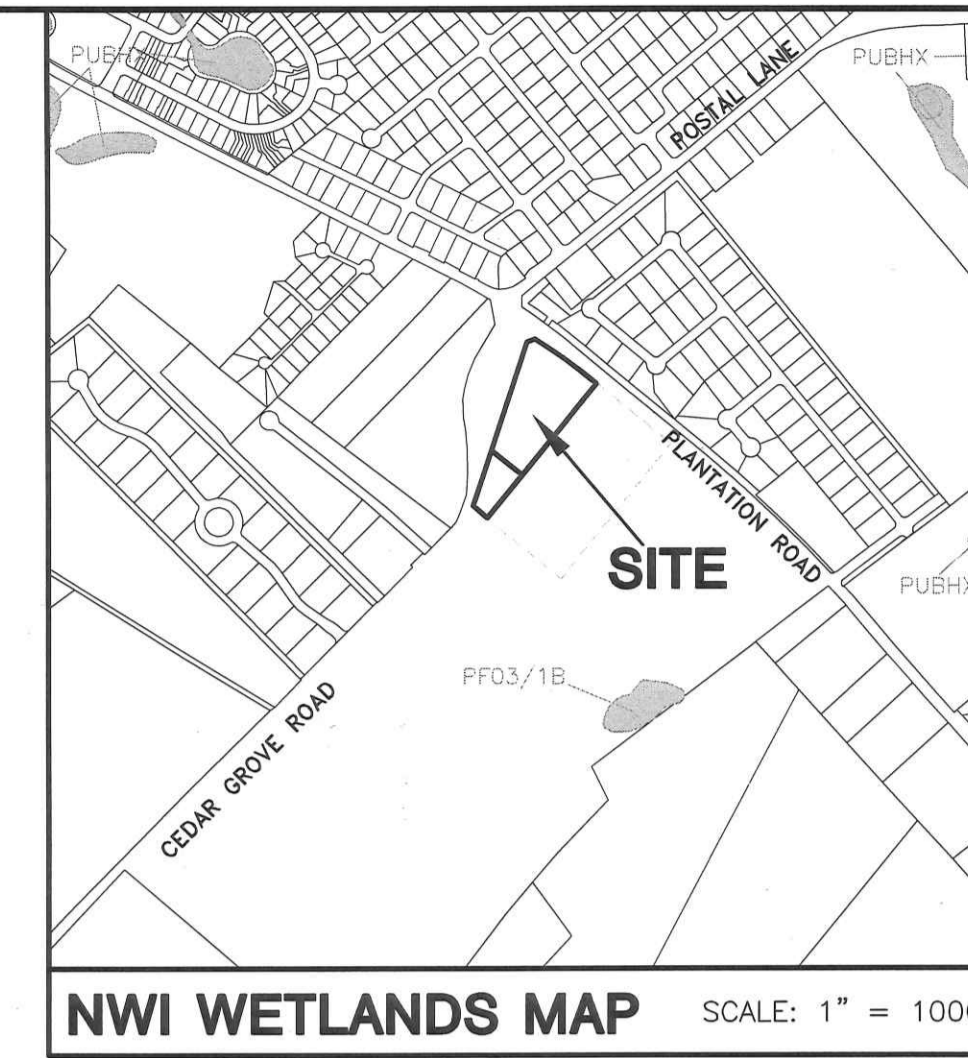
## PRELIMINARY SITE PLAN

### LEWES AND REHOBOTH HUNDRED

### SUSSEX COUNTY, DELAWARE

## DECEMBER 2021

## DBF PROJECT # 2604A003



### DATA COLUMN

TAX MAP NUMBER: 334-12.00-50.00  
 EXISTING ZONING: AGRICULTURAL RESIDENTIAL DISTRICT (AR-1)  
 EXISTING SITE AREA: 0.998 ACRES

TAX MAP NUMBER: 334-12.00-51.00  
 EXISTING ZONING: NEIGHBORHOOD BUSINESS DISTRICT (B-1)  
 EXISTING SITE AREA: 4.484 ACRES

DATUM:  
 VERTICAL: NAVD 88  
 HORIZONTAL: NAD 83 (DE STATE PLANE)

LAND USE:  
 LOCAL LAND USE AGENCY: SUSSEX COUNTY  
 EXISTING USE: WOODS/OPEN AREA  
 PROPOSED USE: OFFICE/RESTAURANT

ACREAGE:  
 TOTAL AREA: 5.482 ACRES  
 NET DEVELOPEMENT AREA: 5.482 ACRES

ZONING:  
 AR-1 ZONING REQUIREMENTS:  
 MINIMUM FRONT YARD SETBACK: 40 FEET  
 MINIMUM SIDE YARD SETBACK: 15 FEET  
 MINIMUM REAR YARD SETBACK: 20 FEET  
 MAXIMUM BUILDING HEIGHT: 42 FEET  
 MINIMUM LOT AREA: 20,000 SF  
 MINIMUM LOT WIDTH: 100 FEET  
 MINIMUM LOT DEPTH: 100 FEET

B-1 ZONING REQUIREMENTS:  
 MINIMUM FRONT YARD SETBACK: 60 FEET  
 MINIMUM SIDE YARD SETBACK: 5 FEET  
 MINIMUM CORNER YARD SETBACK: 15 FEET  
 MINIMUM REAR YARD SETBACK: 5 FEET  
 MAXIMUM BUILDING HEIGHT: 42 FEET  
 MINIMUM LOT AREA: 10,000 SF  
 MINIMUM LOT WIDTH: 75 FEET  
 MINIMUM LOT DEPTH: 100 FEET

PARKING:  
 REQUIRED PARKING:  
 OFFICE BUILDING REQUIREMENT: 1 SPACE PER 200 SF FLOOR AREA  
 30,000 SF BUILDING #1  
 30,000 SF / 200 = 150 PARKING SPACES  
 7,700 SF BUILDING #2  
 7,700 SF / 200 = 38.5 PARKING SPACES

RESTAURANT REQUIREMENT: 1 SPACE / 50 S.F. AREA ASSIGNED FOR PATRON USE  
 + 1 SPACE / 2 EMPLOYEES ON LARGEST SHIFT.

7,700 SF BUILDING #3 X 67% USABLE AREA= 5,159 S.F.  
 5,159 S.F./50= 103.18 PARKING SPACES  
 40 EMPLOYEES/2= 20 ADDITIONAL SPACES  
 TOTAL 103.18 + 20= 123.18 PARKING SPACES

BUILDING 1 = 150 REQUIRED SPACES  
 BUILDING 2 = 38.5 REQUIRED SPACES  
 BUILDING 3 = 123.18 REQUIRED SPACES  
 TOTAL REQUIRED: 312 SPACES

PARKING SPACES PROVIDED: 357

OFF-STREET LOADING:  
 OFFICE BUILDING: 25,000 - 100,000 SF = 2 SPACE  
 RESTAURANT: 2,000 - 10,000 SF = 1 SPACE  
 PROPOSED: 4 SPACES PROVIDED

BENCHMARK #1  
 CONCRETE MONUMENT  
 ELEV. = 28.22'

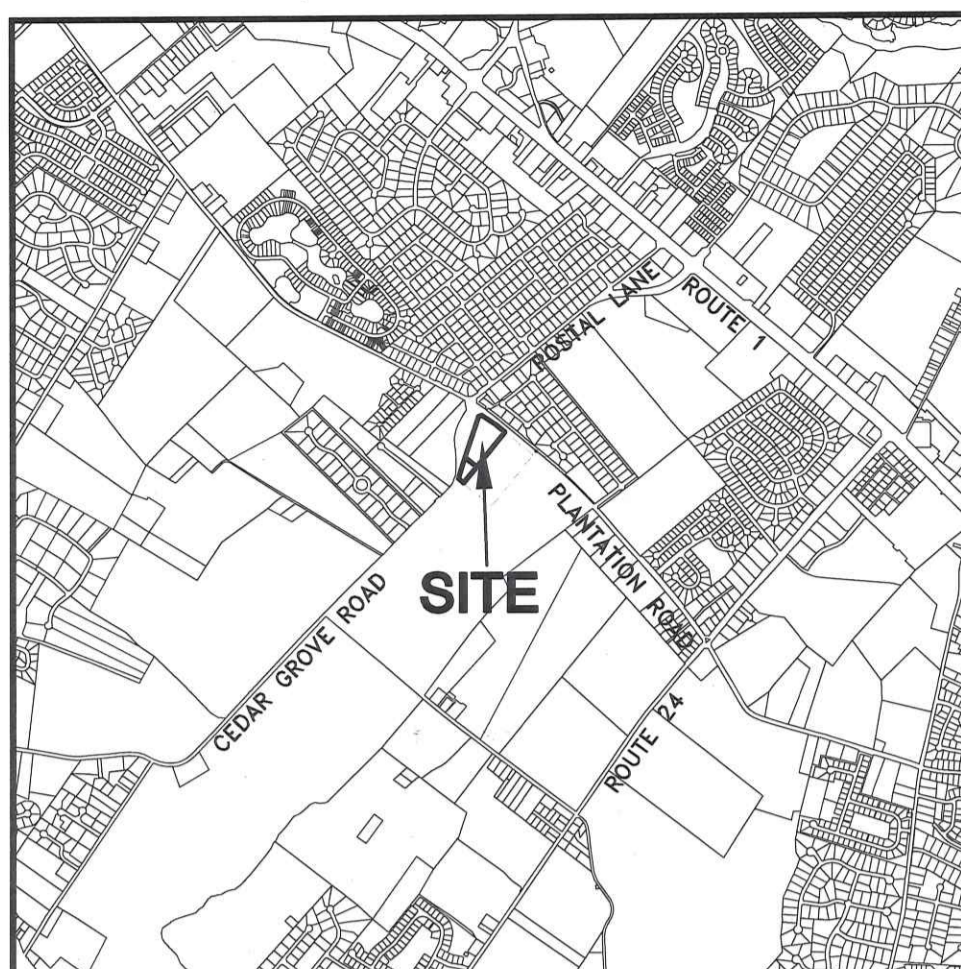
UTILITIES:  
 CENTRAL SEWER: PROPOSED ANNEXATION INTO THE SUSSEX COUNTY UNIFIED SANITARY SEWER DISTRICT-- WEST REHOBOTH AREA

WATER PROVIDER: TIDEWATER UTILITIES  
 WETLANDS - THERE ARE NO WETLANDS LOCATED ON THIS SITE.

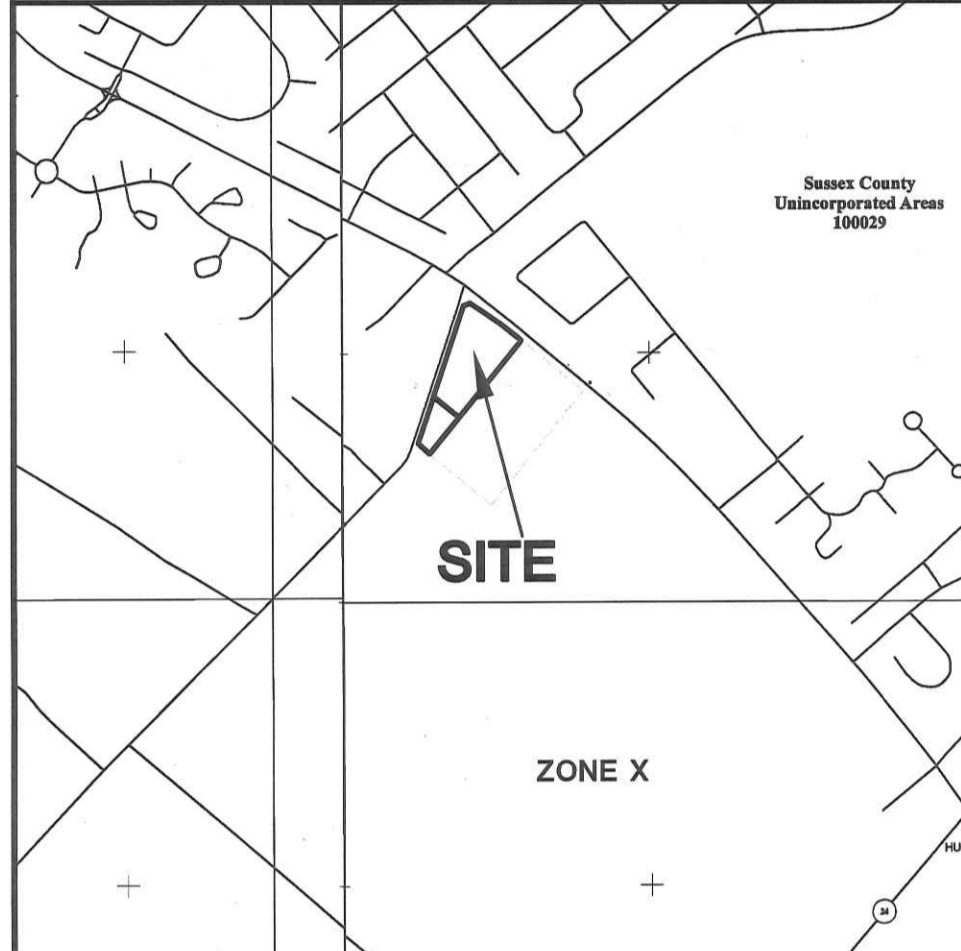
OWNER:  
 HKLS, LLC  
 OWNER/REP: KEITH MARTIN  
 128 EAST SIDE DRIVE  
 REHOBOTH BEACH, DE 19971  
 302-227-4300

DEVELOPER:  
 HKLS, LLC  
 OWNER/REP: KEITH MARTIN  
 128 EAST SIDE DRIVE  
 REHOBOTH BEACH, DE 19971  
 302-227-4300

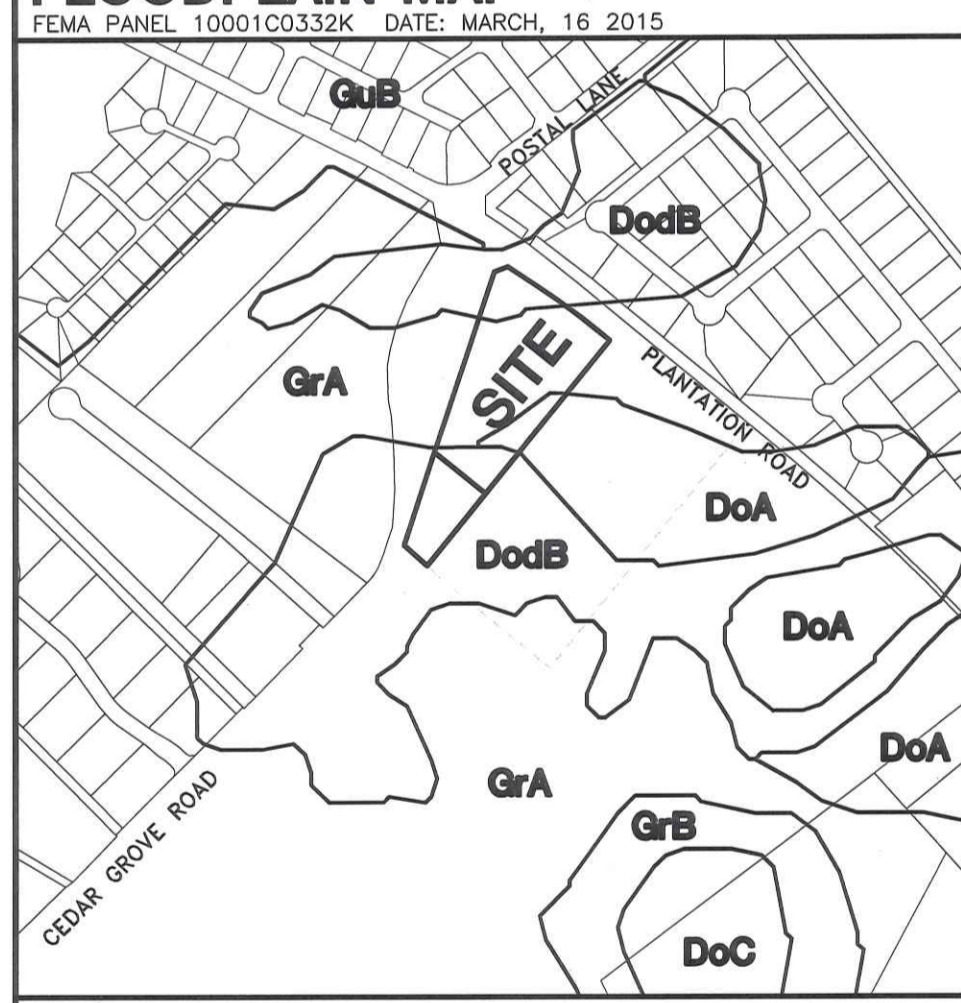
PREPARED BY:  
 DAVIS, BOWEN, AND FRIEDEL, INC.  
 RING W. LARDNER, P.E.  
 1 PARK AVENUE  
 MILFORD, DE 19963  
 302-424-1441



LOCATION MAP SCALE: 1" = 1/2 MILE



FLOODPLAIN MAP SCALE: 1" = 1200'



SOILS MAP SCALE: 1" = 600'

DoA: DOWNER SANDY LOAM, 0 TO 2 PERCENT SLOPES (B)  
 DodB: DOWNER SANDY LOAM, 2 TO 5 PERCENT SLOPES (B)  
 GrA: GREENWICH LOAM, 2 TO 5 PERCENT SLOPES (B)

### OWNERS STATEMENT

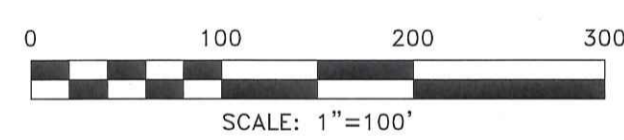
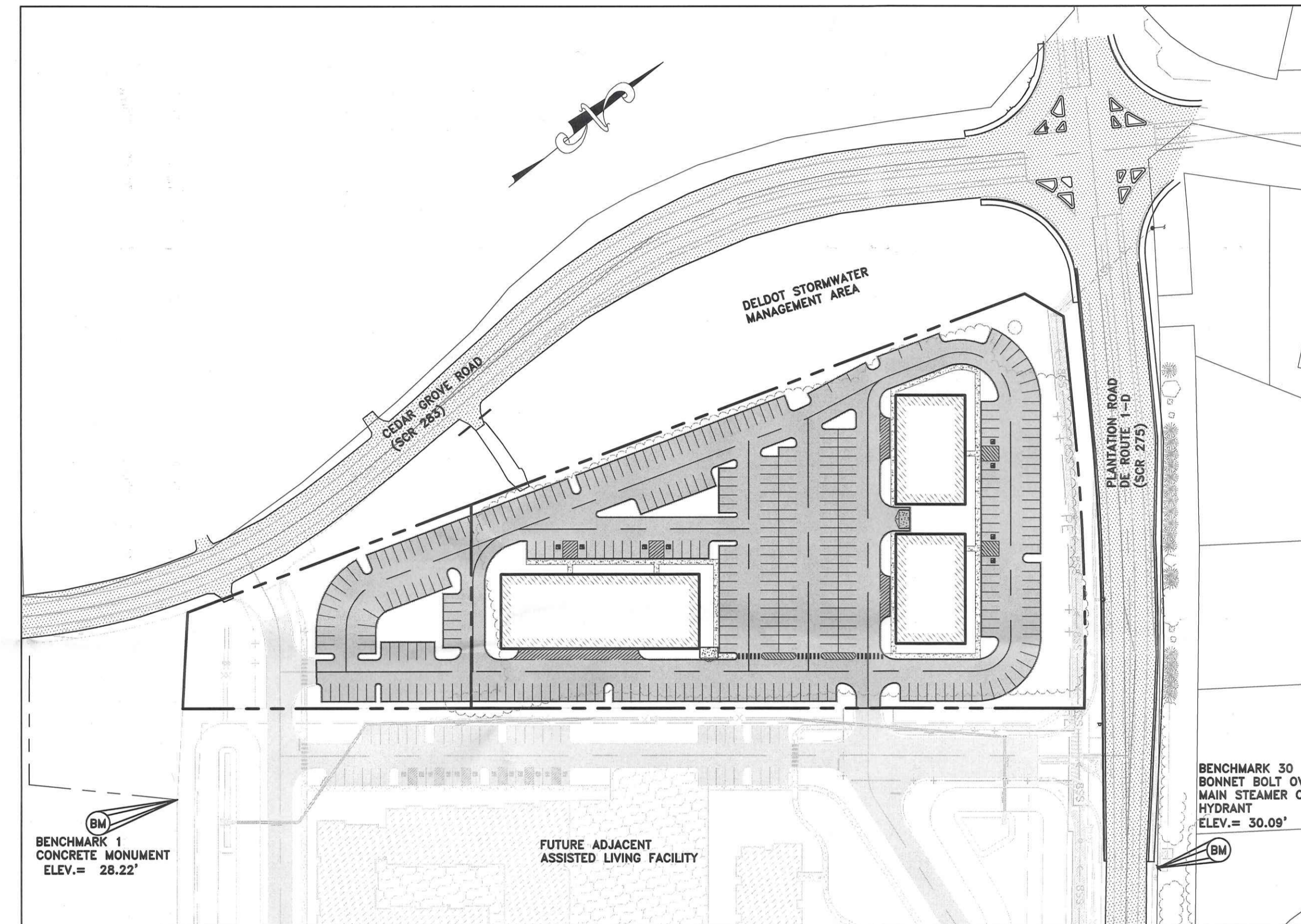
WE, HKLS, LLC, HEREBY STATE THAT WE ARE THE LEGAL OWNERS OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO THE LAW.

DATE

### ENGINEER'S STATEMENT

I, RING W. LARDNER, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVIS, BOWEN & FRIEDEL, INC.  
 by RING W. LARDNER, P.E.



### LEGEND

EXISTING	PROPOSED
BOUNDARY LINE	SANITARY SEWER MANHOLE, PIPE, FLOW ARROW, PIPE SIZE
ADJACENT PROPERTY OWNER	SANITARY SEWER LATERAL
EASEMENT	WATER MAIN, TEE W/ VALVES, PIPE SIZE
SETBACK	WATER LATERAL
ROAD CENTERLINE / BASELINE & STATIONING	TREES
CONTOUR ELEVATION AND LABEL	SIDEWALK
CATCH BASIN, STORM PIPE, STORM MANHOLE	SHARED USE PATH
SANITARY SEWER MANHOLE, PIPE, FLOW ARROW, PIPE SIZE	
SANITARY SEWER CLEANOUT	
WATER MAIN, W/ VALVES	
FIRE HYDRANT ASSEMBLY	
UTILITY POLE	
SIGN	
FENCE	
SWALE	
LOT IDENTIFICATION NUMBER	

### SHEET INDEX

PRELIMINARY SITE PLAN - TITLE SHEET	PL-01
PRELIMINARY SITE PLAN	PL-02
DETAIL SHEET	PL-03

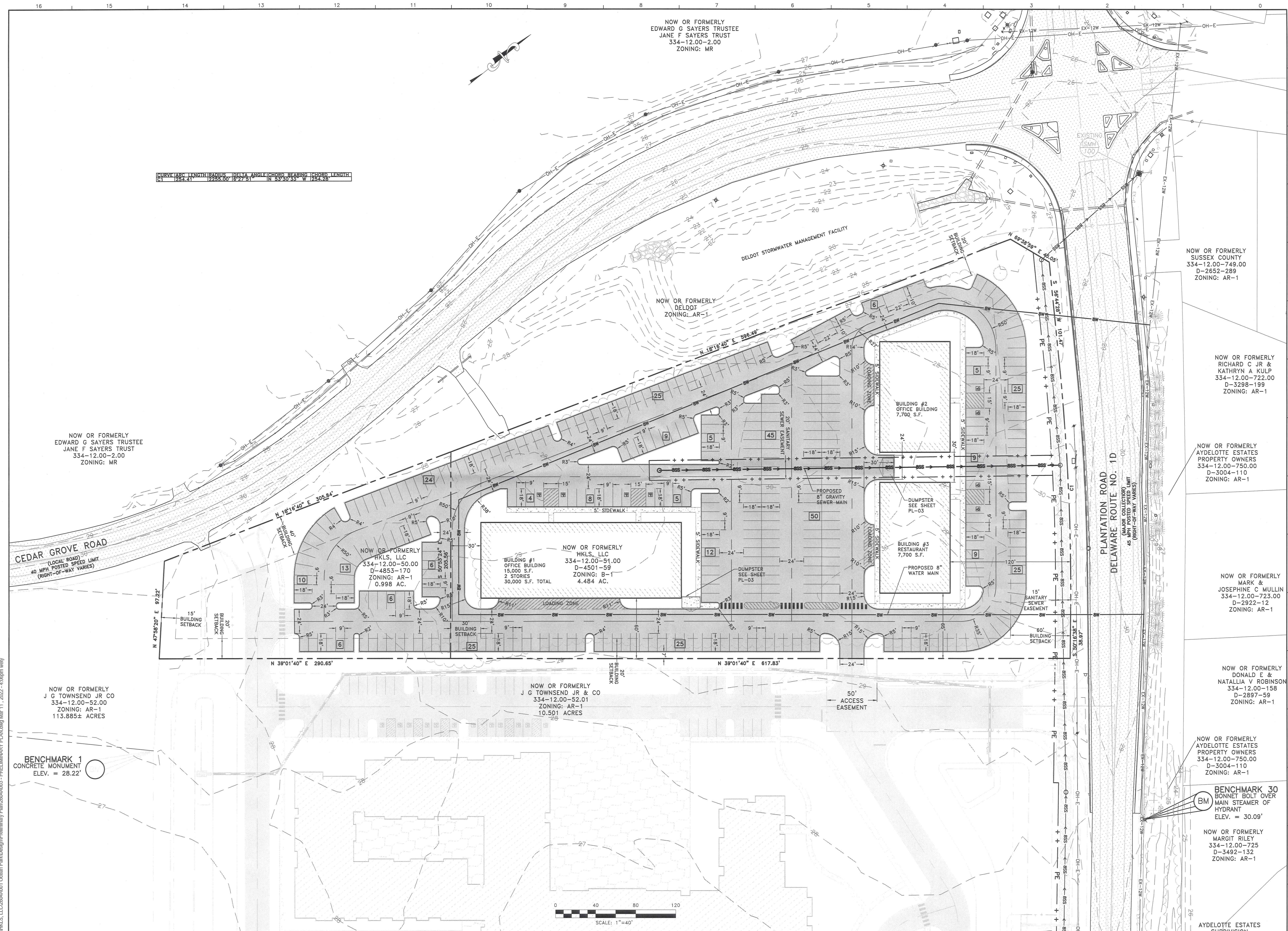
### GENERAL NOTES

- DRAINAGE, STORMWATER MANAGEMENT, AND EROSION AND SEDIMENT CONTROLS SHALL BE IN ACCORDANCE WITH THE DELAWARE SEDIMENT & STORMWATER REGULATIONS OF 2014, OR AS LATER AMENDED. MAINTENANCE OF DRAINAGE, STORMWATER MANAGEMENT, AND SEDIMENT & EROSION CONTROL PRACTICES WILL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR DURING THE CONSTRUCTION PHASE OF THE PROJECT, INCLUDING CONSTRUCTION OF THE UTILITIES. WHEN THE PERMANENT DRAINAGE AND STORMWATER MANAGEMENT PRACTICES HAVE BEEN COMPLETED TO THE SATISFACTION OF THE APPLICABLE AGENCIES, MAINTENANCE WILL ULTIMATELY BECOME THE RESPONSIBILITY OF THE PROPERTY OWNERS/ HOMEOWNERS ASSOCIATION.
- EROSION AND SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH THE DELAWARE EROSION & SEDIMENT CONTROL HANDBOOK (LATEST EDITION). THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, MODIFY OR DELETE ANY EROSION AND SEDIMENT CONTROL MEASURE AS DEEMED NECESSARY.
- THERE SHALL BE NO DEBRIS DISPOSAL ON THIS SITE.
- THE BOUNDARY AND BASE TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD SURVEY BY DAVIS, BOWEN & FRIEDEL.
- THESE PARCELS ARE NOT LOCATED WITHIN THE SOURCE WATER PROTECTION AREA AS DEFINED IN CHAPTER 89 OF THE SUSSEX COUNTY CODE.
- THESE PARCELS ARE NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA AS DEFINED IN CHAPTER 89 OF THE SUSSEX COUNTY CODE.
- THESE PARCELS ARE LOCATED IN AN AREA OF "GOOD/FAIR" GROUNDWATER RECHARGE POTENTIAL.
- THESE PARCELS ARE LOCATED WITHIN THE TRANSPORTATION IMPROVEMENT DISTRICT (TID).
- CONSTRUCTION FOR THESE PARCELS ARE TO BE COMPLETED IN ONE PHASE.

PL-01

**dbf** DAVIS, BOWEN & FRIEDEL, INC.  
 ARCHITECTS, ENGINEERS & SURVEYORS

SALISBURY, MARYLAND (410) 543-9091  
 MILFORD, DELAWARE (302) 424-1441



P:\HKLS, LLC\2604A001 Ocean Park\Design\Preliminary Plan\2604A003 - PRELIMINARY PLAN.dwg Mar 11, 2022 - 4:06pm wely

**OCEAN PARK**  
INTERSECTION OF CEDAR GROVE RD. & PLANTATION RD.  
LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DE

PRELIMINARY PLAN

PL-02

AYDELLOTTE ESTATES SUBDIVISION

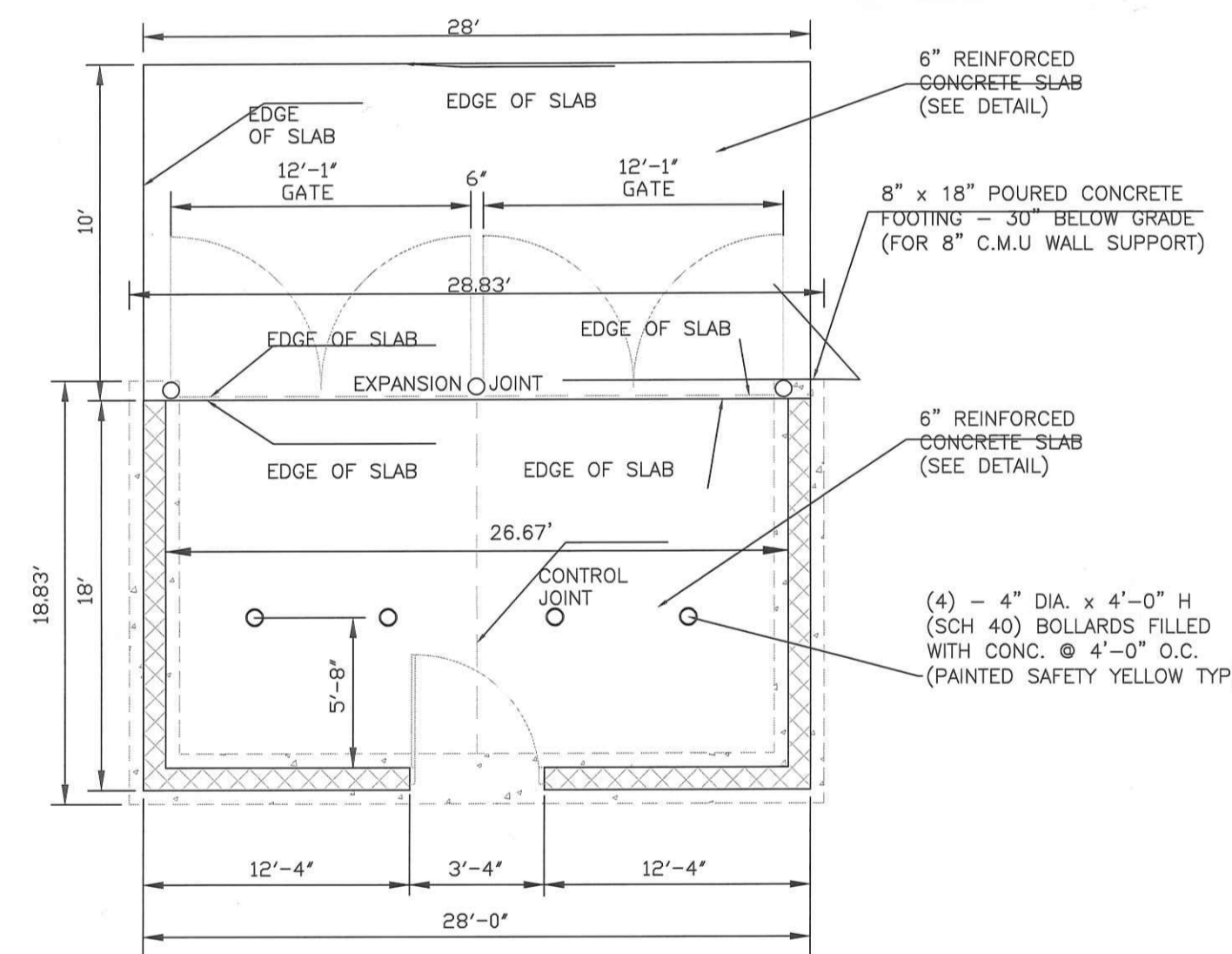
ARCHITECTS ENGINEERS SURVEYORS  
DAVIS, BOWEN & FRIEDEL, INC.  
SUSSEX COUNTY, MARYLAND (410) 543-9091  
METRO, DELAWARE (302) 492-1441  
LOS ANGELES, CALIFORNIA (310) 725-1444

Date: DECEMBER 2021  
Scale: 1"=40'  
Dwn.By: YGW  
Proj.No.: 2604A003  
Dwg.No.:

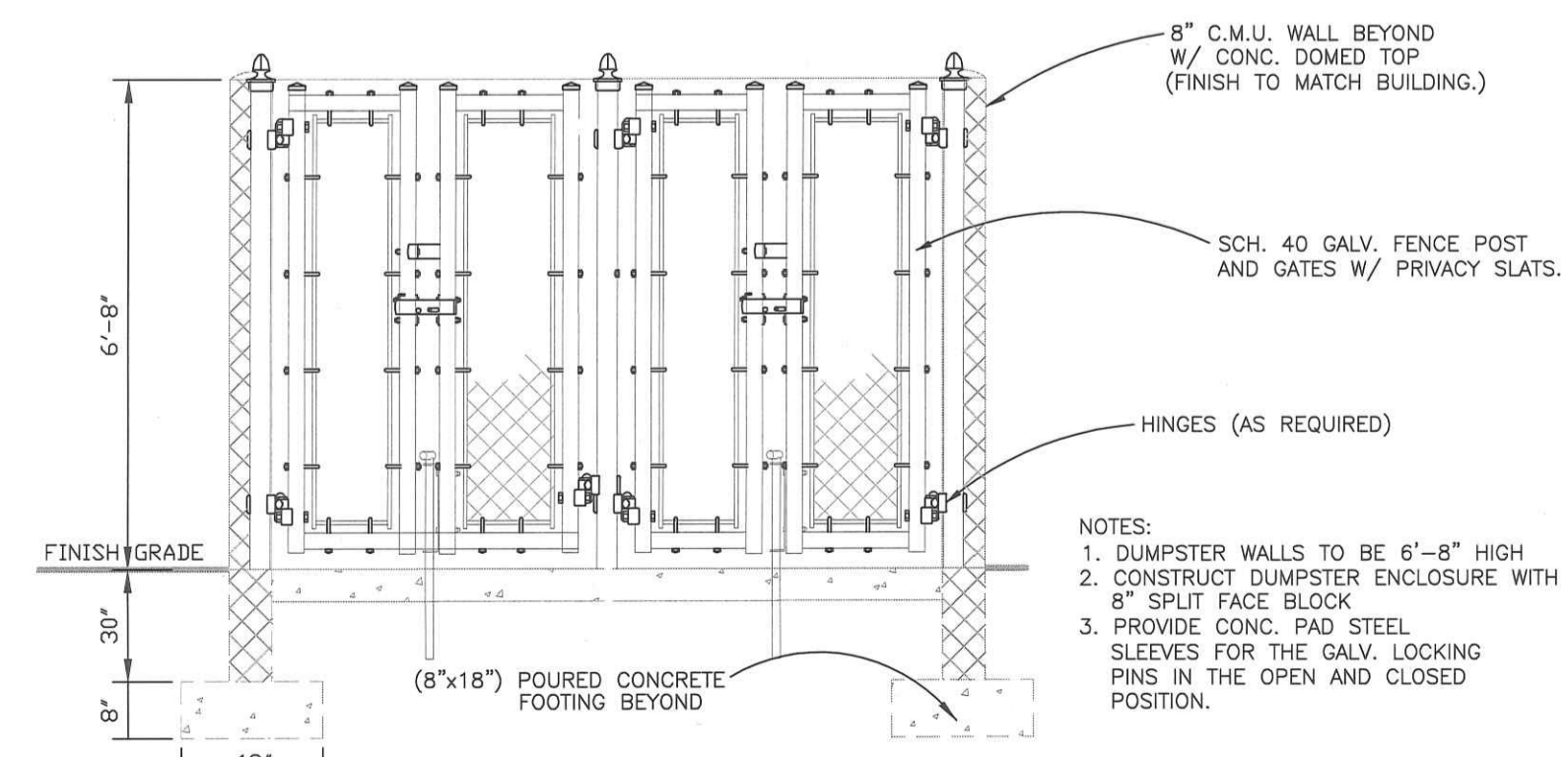
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16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 0

**OCEAN PARK**  
**INTERSECTION OF CEDAR GROVE RD. & PLANTATION RD.**  
**LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DE**



**DOUBLE DUMPSTER PLAN ENCLOSURE**  
 NOT TO SCALE



**DUMPSTER ENCLOSURE SECTION**  
 NOT TO SCALE

P:\HMLS, LLC\2604A001 Ocean Park\Design\Preliminary Plans\2604A003 - PRELIMINARY PLAN.dwg Mar 11, 2022 - 4:08pm wety

Revisions:
Date: DECEMBER 2021
Scale: AS NOTED
Dwn.By: YGW
Proj.No.: 2604A003
Dwg.No.: PL-03



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

JENNIFER COHAN  
SECRETARY

April 2, 2019

Mr. D.J. Hughes  
Davis, Bowen & Friedel, Inc.  
1 Park Avenue  
Milford, DE 19963

Dear Mr. Hughes:

The enclosed Traffic Impact Study (TIS) review letter for the proposed **Ocean Park** (Tax Parcels 334-12.00-50.00 & 51.00) development has been completed under the responsible charge of a registered professional engineer whose firm is authorized to work in the State of Delaware. They have found the TIS to conform to DelDOT's Development Coordination Manual and other accepted practices and procedures for such studies. DelDOT accepts this review letter and concurs with the recommendations. If you have any questions concerning this letter or the enclosed review letter, please contact me at (302) 760-2167.

Sincerely,

Troy Brestel  
Project Engineer

TEB:km  
Enclosures  
cc with enclosures:

Mr. Ring Lardner, Davis, Bowen & Friedel, Inc.  
Ms. Constance C. Holland, Office of State Planning Coordination  
Ms. Janelle Cornwell, Sussex County Planning and Zoning  
Mr. Andrew Parker, McCormick Taylor, Inc.  
DelDOT Distribution



April 1, 2019

Mr. Troy E. Brestel  
Project Engineer  
DelDOT Division of Planning  
P.O. Box 778  
Dover, DE 19903

RE: Agreement No. 1773  
Traffic Impact Study Services  
**Task No. 1A Subtask 13A – Ocean Park**

Dear Mr. Brestel:

McCormick Taylor has completed its review of the Traffic Impact Study (TIS) for the Ocean Park commercial development prepared by Davis, Bowen & Friedel, Inc. (DBF) dated August 2018. DBF prepared the report in a manner generally consistent with DelDOT's Development Coordination Manual.

The TIS evaluates the impacts of the Ocean Park commercial development, proposed to be located on the southeast corner of the intersection of Plantation Road (Sussex Road 275) and Cedar Grove Road / Postal Lane (Sussex Road 283) in Sussex County, Delaware. The proposed development would consist of a 69,000 square-foot building. For the purpose of the TIS analysis, it is assumed to be 14,000 square feet of shopping center space and 55,000 square feet of medical/dental office space. Two access points are proposed: one full-movement access on Cedar Grove Road and one right-in/right-out/left-in access via interconnection with the parcel to the south on Plantation Road. Construction is anticipated to be complete by 2020.

The subject land consists of two parcels (Tax Parcel Nos. 334-12.00-50.00 and 51.00) totaling 5.7 acres and having two different zoning designations. One parcel was recently rezoned to B-1 (Neighborhood Business) and the other parcel is zoned AR-1 (Agricultural Residential), both in Sussex County. No rezoning is needed or sought to permit the proposed development.

Currently, there is one DelDOT capital project within the area of study. The Plantation Road Improvements, SR 24 to US 9 Project (State Contract No. T201111201) will provide operational improvements along Plantation Road from Delaware Route 24 to US Route 9. The project will include adding and modifying turn lanes, bypass lanes, and various intersection improvements and safety improvements such as additional bicycle lanes and sidewalks. In conjunction with recommendations from the Five Points Transportation Study, the project might also evaluate the feasibility of widening Plantation Road to provide additional through lanes from Delaware Route 24 to Cedar Grove Road / Postal Lane. The anticipated Project Development start date is sometime in early 2019 at the earliest.

It is also noted that the proposed development is located within the boundary of the Henlopen Transportation Improvement District (TID) as presently contemplated by Sussex County and





proposes a non-standard design for the site access, they must submit a Design Deviation Form to DelDOT. In any event, the developer must coordinate with DelDOT's Development Coordination Section to determine final turn lane lengths and overall entrance design details during the site plan review process.

2. The developer should construct the site access on Plantation Road. This proposed driveway should be located a minimum of 550 feet south of the northbound Plantation Road stop bar at the intersection with Cedar Grove Road / Postal Lane, although the final determination of driveway location must be coordinated with DelDOT's Development Coordination Section during the site plan review process. The proposed configuration is shown in the table below.

<b>Approach</b>	<b>Current Configuration</b>	<b>Proposed Configuration</b>
Northbound Plantation Road	One through lane	One left-turn lane and one through lane
Southbound Plantation Road	One through lane	One through lane and one right-turn lane
Eastbound Site Access	Does not exist	One right-turn-only lane

DelDOT recognizes that there may be constraints on the design of the Plantation Road site access due to the presence of existing utility poles. In this regard, if the developer proposes a non-standard design for the site access, they must submit a Design Deviation Form to DelDOT. In any event, the developer must coordinate with DelDOT's Development Coordination Section to determine final turn lane lengths and overall entrance design details during the site plan review process.

3. The developer should execute an easement with the developer of the proposed Plantation Senior Living site located immediately to the south that would allow the proposed roadway interconnection(s) between the two sites to be constructed if and when the adjacent site is developed. It would also allow Plantation Senior Living traffic to pass through the Ocean Park property and to use the site access on Cedar Grove Road. The developer should coordinate with DelDOT's Development Coordination Section to determine easement details.

DelDOT anticipates making a similar requirement of the developer of the Plantation Senior Living property, whereby that developer would execute an easement with the developer of Ocean Park that would allow Ocean Park traffic to pass through the Plantation Senior Living property and to use the site access on Plantation Road.



Additional details on our review of this TIS are attached. Please contact me at (610) 640-3500 or through e-mail at [ajparker@mccormicktaylor.com](mailto:ajparker@mccormicktaylor.com) if you have any questions concerning this review.

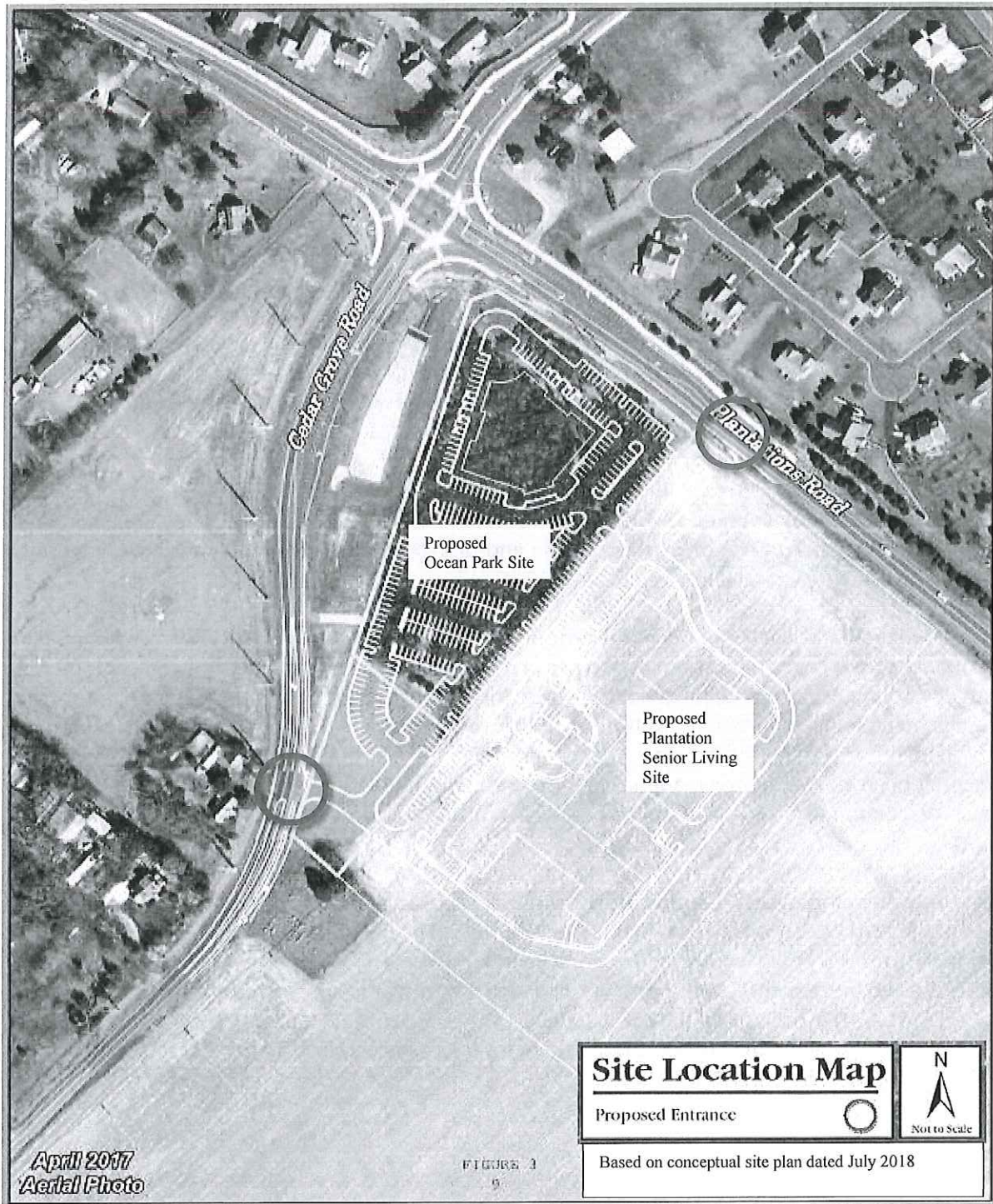
Sincerely,

**McCormick Taylor, Inc.**

A handwritten signature in black ink that reads "Andrew J. Parker".

Andrew J. Parker, P.E., PTOE  
Project Manager

Enclosure



## Comprehensive Plan

### **Sussex County Comprehensive Plan:**

(Source: *Sussex County Comprehensive Plan Update, June 2008*)

The Sussex County Comprehensive Plan Future Land Use Map indicates that the proposed development parcels are within the Environmentally Sensitive Developing Area (categorized as a Growth Area).

Growth Areas, including the Environmentally Sensitive Developing Area, are designed to accommodate concentrated levels of development. The Environmentally Sensitive Developing Area has been designated by Sussex County for large areas around Rehoboth Bay, Indian River Bay, and Little Assawoman Bay (the inland bays). This designation recognizes two characteristics of these areas. First, these regions are among the most desirable locations in Sussex County for new housing, as reflected in new construction data and real estate prices. Second, these regions contain ecologically important wetlands and other coastal lands that help absorb floodwaters and provide extensive habitat for native flora and fauna. These areas also have great impacts upon the water quality of the bays and inlets and upon natural habitats.

The challenge in these regions is to safeguard genuine natural areas and mitigate roadway congestion without stifling the tourism and real estate markets that: a) provide many jobs; b) create business for local entrepreneurs; and c) help keep local tax rates reasonable. The County has major initiatives to extend public sewer service to replace failing on-site systems in many of these areas. Very careful control of stormwater runoff is an extremely important concern to keep sediment and other pollutants out of the inland bays.

The following major guidelines should apply to future growth in Environmentally Sensitive Developing Areas:

*Permitted Uses* – Environmentally Sensitive Developing Areas are areas that can accommodate development provided special environmental concerns are addressed. A range of housing types should be permitted in Environmentally Sensitive Areas, including single-family homes, townhouses and multi-family units. Retail and office uses are appropriate but larger shopping centers and office parks should be confined to selected locations with access to arterial roads. Careful mixtures of homes with light commercial and institutional uses can be appropriate to provide for convenient services and to allow people to work close to home. Major new industrial uses are not proposed in these areas. Industrial zones are regulated by the Delaware Coastal Zone Act, which restrict heavy industry and bulk transfer.

*Densities* – The Environmentally Sensitive Developing Areas function as an “overlay” area to several underlying zoning districts. It may be advisable for legal reasons to convert this overlay area into regular zoning districts, while maintaining the current standards. Most of the Environmental Sensitive Developing Areas should continue to allow 2 homes per acre. The option should exist to go up to 4 units per acre if the developer uses optional density bonuses. Smaller lots and flexibility in dimensional standards should be allowed if the developer uses a cluster option that results in permanent preservation of a substantial percentage of the tract.

DelDOT. A TID is a planning concept that seeks to proactively align transportation infrastructure spending and improvements with land use projections and future development within the designated district.

**Trip Generation**

Trip generation for the proposed development was computed using comparable land uses and equations contained in Trip Generation, Ninth Edition, published by the Institute of Transportation Engineers (ITE). The following land uses were utilized to estimate the amount of new traffic generated for this development:

- 55,000 SF Medical/Dental Office Building (ITE Land Use Code 720)
- 14,000 SF Shopping Center (ITE Land Use Code 820)

Table 1  
OCEAN PARK PEAK HOUR TRIP GENERATION

Land Use	Weekday AM Peak Hour			Weekday PM Peak Hour			SAT Peak Hour		
	In	Out	Total	In	Out	Total	In	Out	Total
55,000 sf medical/dental office	103	28	131	48	122	170	114	86	200
14,000 sf shopping center	8	5	13	25	27	52	35	32	67
<i>Internal Capture</i>	0	0	0	-2	-2	-4	-2	-2	-4
Pass-By Trips	0	0	0	-8	-9	-17	-11	-11	-22
<b>TOTAL EXTERNAL TRIPS</b>	<b>111</b>	<b>33</b>	<b>144</b>	<b>63</b>	<b>138</b>	<b>201</b>	<b>136</b>	<b>105</b>	<b>241</b>

Table 2  
OCEAN PARK DAILY TRIP GENERATION

Land Use	Weekday Daily			Saturday Daily		
	In	Out	Total	In	Out	Total
55,000 sf medical/dental office	1017	1017	2034	247	247	494
14,000 sf shopping center	299	299	598	350	350	700
<b>TOTAL TRIPS</b>	<b>1316</b>	<b>1316</b>	<b>2632</b>	<b>597</b>	<b>597</b>	<b>1194</b>

**3) Plantation Road & Cedar Grove Road / Postal Lane**

**Type of Control:** signalized four-leg intersection

**Northbound approach:** (Plantation Road) one left-turn lane, one through lane, and one right-turn lane

**Southbound approach:** (Plantation Road) one left-turn lane, one through lane, and one right-turn lane

**Eastbound approach:** (Cedar Grove Road) one left-turn lane, one through lane, and one right-turn lane

**Westbound approach:** (Postal Lane) one left-turn lane, one through lane, and one right-turn lane

**Safety Evaluation**

**Crash Data:** McCormick Taylor reviewed the Delaware Crash Analysis Reporting System (CARS) data that was provided in Appendix A of the TIS. The data includes reportable crashes that occurred at the intersection of Plantation Road & Cedar Grove Road / Postal Lane and along the site frontages of both roads, from April 1, 2014 through April 1, 2017. During this time period, intersection improvements were constructed to convert this from two offset unsignalized intersections to one four-leg signalized intersection. Construction began in December 2014 and was complete with activation of the traffic signal in May 2015. Thus, the data covers timeframes prior to construction, during construction, and after completion of construction/signalization.

Of particular concern for safety evaluations are fatal crashes and crashes involving pedestrians or pedalcyclists. During the study period, no fatal crashes were reported and no crashes involved pedestrians or pedalcyclists. One crash involved a motorcycle. A breakdown of all crashes by intersection is provided below.

**1. Cedar Grove Road & Proposed Site Access**

Since this intersection does not currently exist, it was not included in the crash data analysis.

**2. Plantation Road & Proposed Site Access**

Since this intersection does not currently exist, it was not included in the crash data analysis.

**3. Plantation Road & Cedar Grove Road / Postal Lane**

At this intersection there was a total of 20 crashes over the three-year period. Of the 20 crashes, six occurred during the eight months prior to construction, zero occurred during the six-month construction period, and 14 occurred in the 22 months after construction was complete.

Four crashes (20%) resulted in personal injury. None of the crashes involved a pedestrian or a pedalcyclist. There was one alcohol-related crash. The types of crashes were angle (30%), front to front (30%), front to rear (25%), not a collision between two vehicles (10%), and sideswipe same-direction (5%). 85% of the crashes occurred during daylight hours. The crashes occurred on surface conditions including dry (80%) and wet (20%). The most common primary

frontages of both Plantation Road and Cedar Grove Road. He requested that entrance improvements incorporate bicycle and pedestrian facilities, and that an internal sidewalk/path connection be provided. He also indicated that easements would be required along the frontages.

### **Previous Comments**

All comments from DelDOT's scoping letter, service level evaluation request review, preliminary TIS (PTIS) review, revised PTIS review, and other correspondence appear to be addressed in the final TIS submission.

### **General HCS Analysis Comments**

*(see table footnotes on the following pages for specific comments)*

- 1) For signalized intersections, the TIS and McCormick Taylor applied heavy vehicle factors (HV) by lane group using existing data. The TIS and McCormick Taylor generally assumed future HV to be the same as existing HV at all intersections. Both the TIS and McCormick Taylor assumed 3% HV for future movements to and from the proposed site access points (as per DelDOT's Development Coordination Manual).
- 2) For existing conditions, the TIS and McCormick Taylor determined and utilized overall intersection peak hour factors (PHF). For future conditions, the TIS assumed existing PHF or 0.92, whichever was greater, while McCormick Taylor assumed existing PHF. At the site entrances, future PHF were based on DelDOT's Development Coordination Manual.
- 3) For analyses of all intersections, the TIS and McCormick Taylor used a base saturation flow rate of 1,750 pc/hr/ln per DelDOT's Development Coordination Manual for the weekday peak hours. Due to heavy volumes in the study area during the Summer Saturday peak hour, the TIS and McCormick Taylor used a base saturation flow rate of 1,900 pc/hr/ln for all Summer Saturday peak hour analyses.
- 4) The TIS and McCormick Taylor used different signal timings when analyzing the signalized intersections in some cases.
- 5) The TIS generally input Right-Turn-on-Red (RTOR) volumes for signalized intersection analyses, using existing RTOR volumes for existing and future analyses. McCormick Taylor conservatively input no RTOR volumes for existing and future conditions analyses, but did analyze right-turn movements as overlapping protected left-turn phases.

Table 4  
PEAK HOUR LEVELS OF SERVICE (LOS)  
based on Traffic Impact Study for Ocean Park  
Report dated August 2018  
Prepared by DBF, Inc.

Unsignalized Intersection <sup>2</sup> One-Way Stop Control (T-Intersection)	LOS per TIS			LOS per McCormick Taylor		
	Weekday AM	Weekday PM	Saturday Mid-Day	Weekday AM	Weekday PM	Saturday Mid-Day
<b>2) Plantation Road &amp; Proposed Site Access</b>						
2020 with Ocean Park (case 3b)						
Northbound Plantation Road - Left	A (8.7)	A (8.4)	A (9.9)	A (8.7)	A (8.4)	A (9.9)
Eastbound Site Access - Right	B (11.5)	B (11.1)	C (15.4)	B (11.5)	B (11.1)	C (15.4)

<sup>2</sup> For both unsignalized and signalized analyses, the numbers in parentheses following levels of service are average delay per vehicle, measured in seconds. For signalized analyses, LOS analysis results are given for only the overall intersection delay.



December 22, 2021

Sussex County Planning & Zoning  
Sussex County Administration Building  
2 The Circle  
Georgetown, DE 19947

Attn: Lauren DeVore, Planner III

RE: Ocean Park – Front Yard Parking Waiver  
Tax Map # 3-34-12.00-50.00 and 51.00  
DBF# 2604A003.A01

Dear Ms. DeVore:

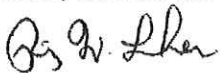
On behalf of our client, HKLS, LLC, we are respectfully requesting a waiver to allow parking within the front yard setback along Cedar Grove Road and Plantation Road. The parcel is a unique shape that restricts the location of the proposed buildings. The design intent is to have the front of the buildings face Plantation Road and Cedar Grove Road.

**Cedar Grove Road Frontage:** The frontage of this road is a leftover from the re-alignment of this intersection. A stormwater management pond is located between Cedar Grove Road and the parcel.

**Plantation Road Frontage:** We are requesting a row of parking and up to one half of the access aisle to encroach into the 60' front yard setback. There is sufficient room between the accessway and right-of-way should future road improvements be required.

If you have any questions or need additional information, please contact me at (302) 424-1441 or via email at [rwl@dbfinc.com](mailto:rwl@dbfinc.com)

Sincerely,  
*Davis, Bowen & Friedel, Inc.*



Ring W. Lardner, P.E.  
Principal

P:\HKLS, LLC\2604A001 Ocean Park\Docs\Sussex County P&Z\2021-12-22 Revised Preliminary Site Plan\Front Yard Parking Waiver Request.doc

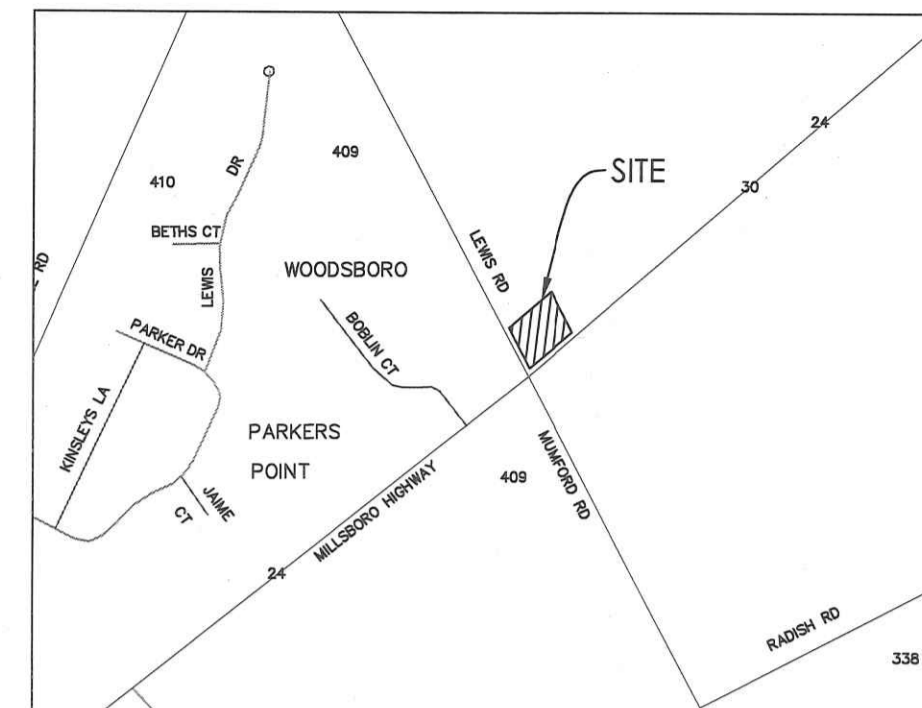
Cc: HKLS, LLC

*Michael R. Wigley, AIA, LEED AP  
W. Zachary Crouch, P.E.  
Michael E. Wheedleton, AIA  
Jason P. Loar, P.E.  
Ring W. Lardner, P.E.  
Immie I. Sechler, P.E.*

RECEIVED

DEC 28 2021

SUSSEX COUNTY  
PLANNING & ZONING



VICINITY MAP 1" = 1,000'

**solutions**  
Integrated Planning  
Engineering & Management, LLC

**Fuller Hall**  
& ASSOCIATES, INC.  
A Wholly Owned Subsidiary

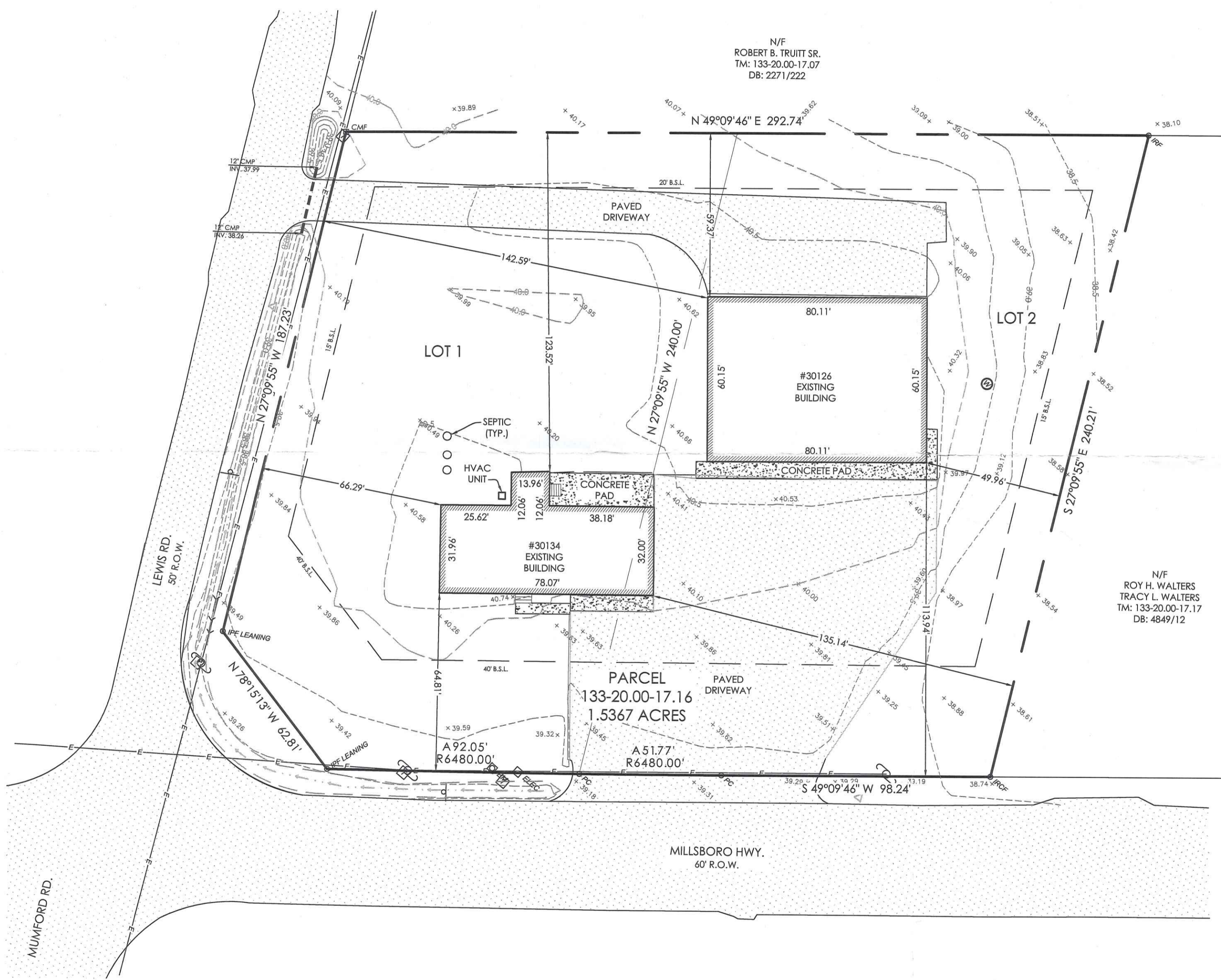
303 N. Bedford St.  
Georgetown, DE 19947  
T. 302.297.9215  
3003 Merritt Mill Road  
Salisbury, MD 21804  
T. 410.572.8833  
www.solutionsipem.com Copyright © 2021

REVISIONS	
DATE	DESCRIPTION

**CONDITIONAL USE PLAN**  
for  
**MILLSBORO VOLUNTEER  
FIRE DEPARTMENT**  
MILLSBORO, SUSSEX COUNTY, DELAWARE  
DAGSBORO HUNDRED

Date:	10/20/21
Job Number:	S21065
Scale:	1" = 30'
Drawn By:	RAM
Designed By:	SWF
Approved By:	SWF

Sheet No.: **1**  
File Name: S21065 Site Plan.dwg



**GENERAL NOTES**

- CURRENT OWNER: MICHAEL H. NAUMAN  
SANDRA P. NAUMAN  
29 BLAIRS POND RD.  
HOUSTON, DE 19954
- TAX REFERENCE: 133-20.00-17.16
- DEED REFERENCE: 4994/99
- PLAT REFERENCE: 48/148, (LANDS OF GERTRUDE & GEORGE DONAWAY)
- AREA OF LOT: 66,918 SQ. FT., 1.5362 ACRES
- BASED UPON F.E.M.A. FLOOD INSURANCE RATE MAP NUMBER 10005C0454K, PANEL 454 OF 660, WITH AN EFFECTIVE DATE OF JULY 16, 2015, THIS SITE IS LOCATED WITHIN FLOOD ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE.
- SETBACKS PER ZONING CODE:  
FRONT = 40'  
CORNER FRONT (LEWIS ROAD) = 15'  
SIDE = 15'  
REAR = 20'
- ZONED: AR-1, AGRICULTURAL - RESIDENTIAL
- BEARINGS SHOWN HEREON ARE REFERENCED TO NAD '83 DATUM.

**LEGEND**

IRON ROD FOUND	O IRF
IRON PIPE FOUND	O IPF
PAVEMENT HATCH	[Hatched Pattern]
CONCRETE HATCH	[Dotted Pattern]
MAILBOX	△
WELL	⊙
ELECTRIC METER	⊠ EM
ELECTRIC SERVICE BOX	⊠ ELEC
TELEPHONE PEDESTAL	⊠

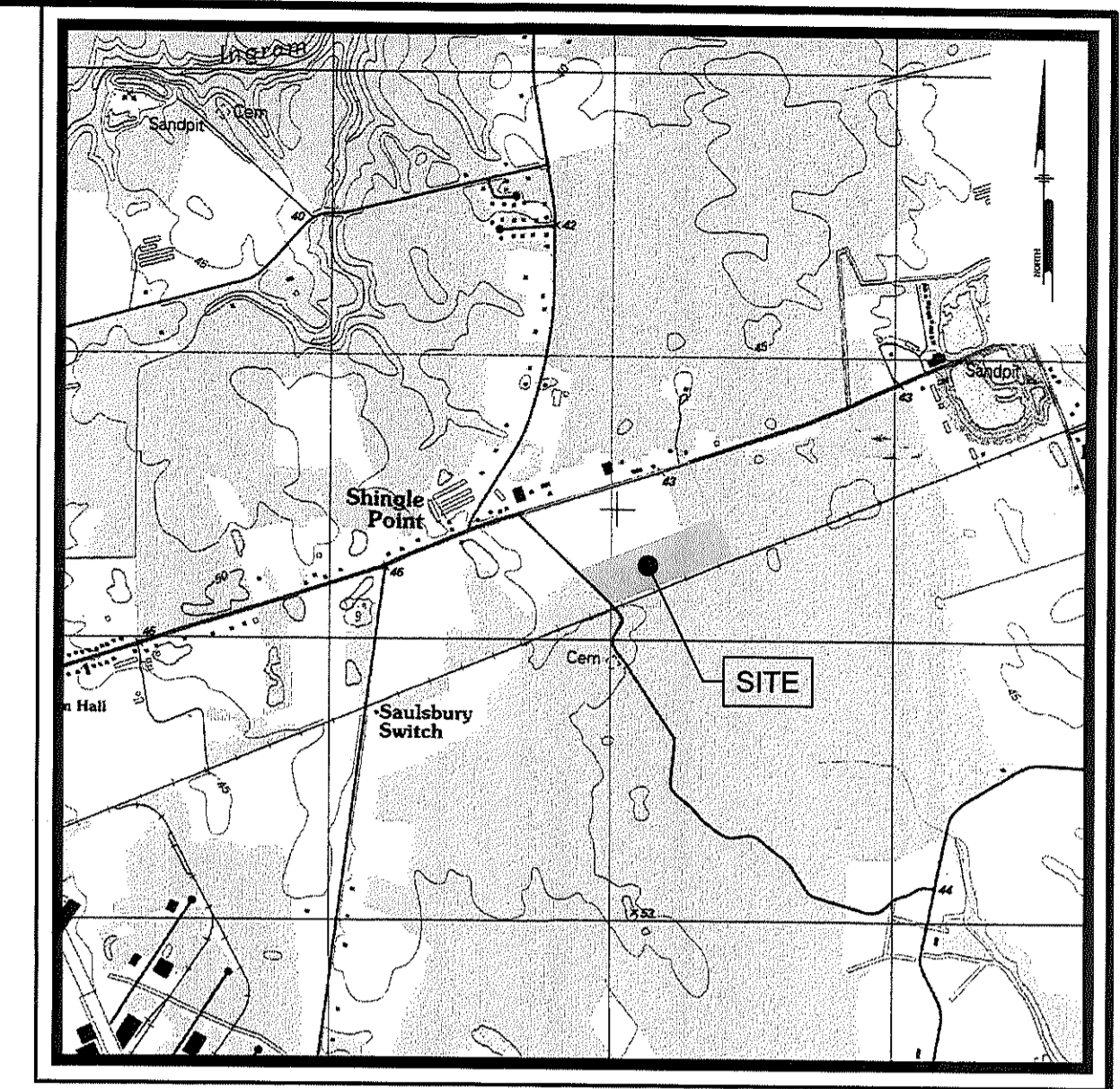


- TAX MAP NUMBER: 135-16.00-23.05 & 135-16.00-23.06
- OWNER: DELSTAR, LLC  
C/O KYLE MURRAY  
ASHWOOD STREET  
BETHANY BEACH, DE 19930
- OWNER: STEINER LAND, LLC  
C/O BRIAN SHIPP AND ANDREW SPRINGER  
ASHWOOD STREET  
BETHANY BEACH, DE 19930
- ADDRESS LOCATION: STEINER ROAD  
GEORGETOWN, DE 19947  
GEORGETOWN  
SUSSEX
- HUNDRED: GEORGETOWN  
COUNTY: SUSSEX
- ZONING: HI-1 (HEAVY INDUSTRIAL  
[HI-1 CHANGE OF ZONE 1902, P&Z COMMISSION APPROVAL ON 1/23/2020, COUNTY COUNCIL APPROVAL ON 2/18/2020,  
ORDINANCE NO. 2708])  
AGRICULTURAL  
HEAVY INDUSTRIAL  
PARCEL A1 - CONCRETE CENTRAL MIXING AND PROPORTIONING PLANT  
PARCEL A2 - BUILDING MATERIALS RECYCLING AND SORTING FACILITY
- PRESENT USE: AGRICULTURAL  
PROPOSED USE: HEAVY INDUSTRIAL
- REQUIRED SETBACKS (B.R.L.): HI-1 (115-116.B.)  
DEPTH OF FRONT YARD (FEET) 50'  
WIDTH OF SIDE YARD (FEET) 20'  
DEPTH OF REAR YARD (FEET) 20'
- BUILDING HEIGHT: 125' MAX. (PER 115-116B) 42' MAX (115-83.3(B)(3))
- REQUIRED LOT SIZES: (PARCEL A, HI-1)  
FRONT, 200 FT. (115-116)  
WIDTH, 200 FT. (115-116)  
AREA, 2 ACRES, (115-116)
- WATER SUPPLIER: PRIVATE ON SITE WELLS
- SECTION 89 - SOURCE WATER PROPERTY: A. SUBJECT PROPERTY IS WITHIN AN AREA OF "FAIR" GROUNDWATER RECHARGE.  
B. SUBJECT PROPERTY IS NOT LOCATED IN A WELLHEAD PROTECTION AREA.
- SANITARY SEWER PROVIDER: PUBLIC - ARTESIAN WATER COMPANY
- POSTED SPEED LIMIT: 45 MPH  
STEINER ROAD
- STATE INVESTMENT AREA: LEVEL 3  
COMPREHENSIVE PLAN AREA: COMMERCIAL / HEAVY INDUSTRIAL  
SCHOOL DISTRICT: INDIAN RIVER SCHOOL DISTRICT  
FIRE DISTRICT: GEORGETOWN (77)
- SITE AREA AND ACREAGE: ACRES(A)  
HI-1: HEAVY INDUSTRIAL: EX: 15.00 ± AC. PR: 0.50 ± AC.  
BUILDING FOOT PRINT: EX: 0.00 ± AC. PR: 6.99 ± AC.  
PARKING/DRIVE AISLES/IMPERVIOUS: EX: 0.00 ± AC. PR: 10.58 ± AC.  
GRASS: EX: 4.42 ± AC. PR: 7.43 ± AC.  
WOODS: EX: 0.00 ± AC. PR: 0.09 ± AC.

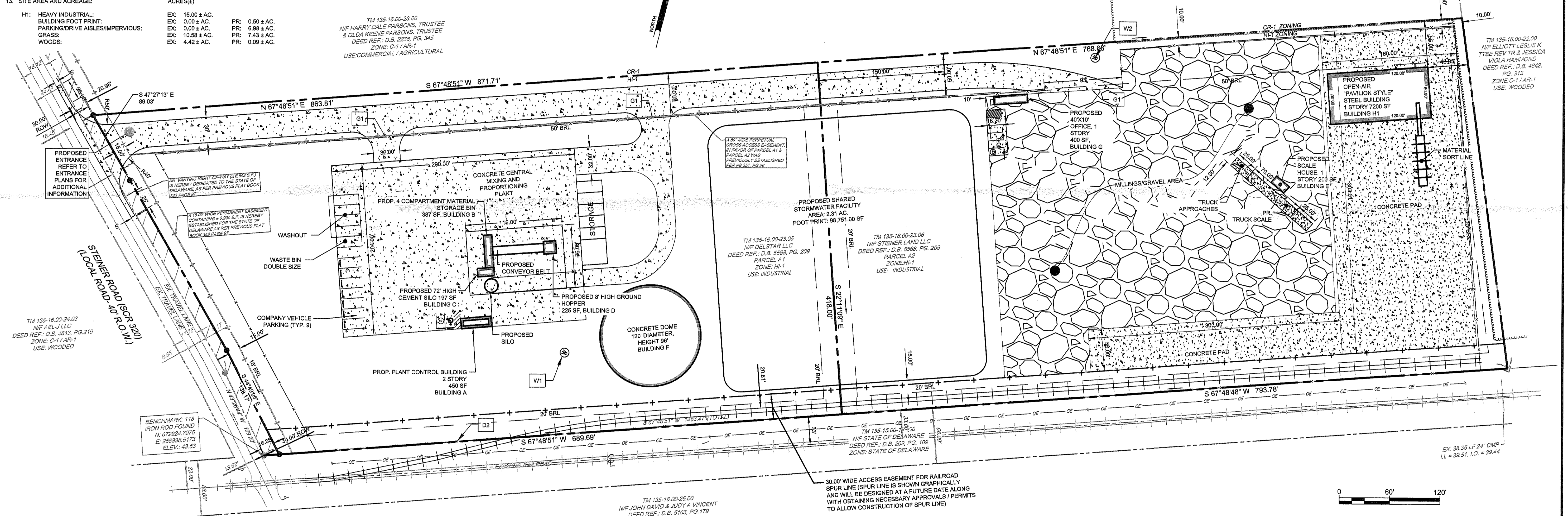
- EXISTING WOODS AREA: 4.42 ± AC.  
WOODS TO REMAIN: 0.09 ± AC.
- LONGITUDE AND LATITUDE: STATE PLANE COORDINATES: LONGITUDE: W 75°08'52.51"  
LATITUDE: N 38°53'25.06"
- PROPOSED DISCHARGE LOCATION: STEINER ROAD DITCH AT NORTHEAST PROPERTY CORNER
- WATERSHED: ROUND POLE BRANCH - BROADKILL RIVER WATERSHED, ULTIMATELY 1 BAY
- FLOOD ZONE: THIS PROPERTY IS LOCATED ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 10005C025L, MAP REVISED JUNE 20, 2018. (ZONE X) OUTSIDE 500 YR FLOOD PLAN.
- WETLANDS AREA: 0 ACRES
- DATUM: HORIZONTAL: NAD83  
VERTICAL: NAVD 1988
- FIRE DISTRICT: GEORGETOWN FIRE COMPANY (STATION 77)
- LOCAL GOVERNMENT RESPONSIBLE FOR LAND USE APPROVAL: SUSSEX COUNTY
- TID REFERENCE: NOT INCLUDED

### LEGEND

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	BUILDING
[Symbol]	[Symbol]	BUILDING RESTRICTION LINE
[Symbol]	[Symbol]	EDGE OF PAVEMENT
[Symbol]	[Symbol]	EDGE OF GRAVEL
[Symbol]	[Symbol]	UTILITY EASEMENT
[Symbol]	[Symbol]	PERMANENT EASEMENT
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	PROPERTY, LINE
[Symbol]	[Symbol]	LEGAL RIGHT-OF-WAY
[Symbol]	[Symbol]	PROPERTY, CORNER FOUND
[Symbol]	[Symbol]	PROPERTY, ADJOINING LINED
[Symbol]	[Symbol]	SITE, MAIL BOX
[Symbol]	[Symbol]	SITE, TRAFFIC SIGN
[Symbol]	[Symbol]	MINOR CONTOUR
[Symbol]	[Symbol]	MAJOR CONTOUR
[Symbol]	[Symbol]	CONCRETE
[Symbol]	[Symbol]	GRAVEL



LOCATION MAP  
Scale: 1" = 1000'



### SITE INFORMATION:

SITE ADDRESS:  
STEINER ROAD  
GEORGETOWN, DE 19960

OWNER:  
DELSTAR, LLC.  
C/O KYLE MURRAY  
ASHWOOD STREET  
BETHANY BEACH, DE 19930

STEINER LAND, LLC.  
C/O BRIAN SHIPP AND ANDREW SPRINGER  
ASHWOOD STREET  
BETHANY BEACH, DE 19930

ENGINEER:  
PENNONI ASSOCIATES, INC.  
18072 DAVIDSON DRIVE  
MILTON, DE 19968

### BUILDING USE AND CONSTRUCTION

BUILDING	USE	AREA (SF)
A	PR. PLANT CONTROL BUILDING	450.00
B	PR. COMPARTMENT MATERIAL STORAGE BIN	387.00
C	PR. 72' HIGH CEMENT SILO	197.00
D	PR. 8' HIGH GROUND HOPPER	225.00
E	PR. SCALE HOUSE	200.00
F	PR. CONCRETE DOME 120' DIAMETER, HEIGHT 96'	400.00
G	PR. OFFICE SPACE	400.00
H	PR. OPEN AIR "PAVILION STYLE" STEEL BUILDING	7200.00

- ### KEYED NOTES
- [G1] 6" FENCE CHAIN LINK/BARBWIRE
  - [G2] 8" FENCE CHAIN LINK/BARBWIRE ALONG RAILROAD
  - [G3] PROPOSED GATE
  - [W1] PROPOSED WELL

**ENGINEER CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE (THAT) THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE COMES WITHIN THE REQUIREMENTS OF STATE AND LOCAL REGULATIONS AND ORDINANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SIGNATURE: [Signature]  
DATE: 11/1/2022

PENNONI ASSOCIATES, INC.  
18072 DAVIDSON DRIVE  
MILTON, DE 19968  
OFFICE (302) 684-8030 - FAX (302) 684-8054

**OWNER CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE: [Signature]  
DATE: \_\_\_\_\_

STEINER LAND, LLC.  
C/O BRIAN SHIPP AND ANDREW SPRINGER  
ASHWOOD STREET  
BETHANY BEACH, DE 19930  
(301) 937-8000

**OWNER CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE: [Signature]  
DATE: \_\_\_\_\_

DELSTAR, LLC.  
C/O KYLE MURRAY  
ASHWOOD STREET  
BETHANY BEACH, DE 19930  
(301) 932-5353

**PENNONI ASSOCIATES, INC.**  
18072 Davidson Drive  
Milton, DE 19968  
T 302.684.8030 F 302.684.8054

---

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

---

STEINER ROAD INDUSTRIAL PARK  
TAX MAP NUMBER: 135-16.00-23.05 (PARCEL A1 & A2)  
STEINER ROAD (SCR 320)  
GEORGETOWN, DE

PRELIMINARY SITE PLAN  
DELSTAR, LLC. STEINER LAND, LLC.  
ASHWOOD STREET ASHWOOD STREET  
BETHANY BEACH, DE 19930 BETHANY BEACH, DE 19930

NO.	DATE	REVISIONS	BY

---

PROJECT: CHANY21001  
DATE: 2/21/2025  
DRAWING SCALE: 1"=60'  
DRAWN BY: EOC  
APPROVED BY: AMD

# PP1001

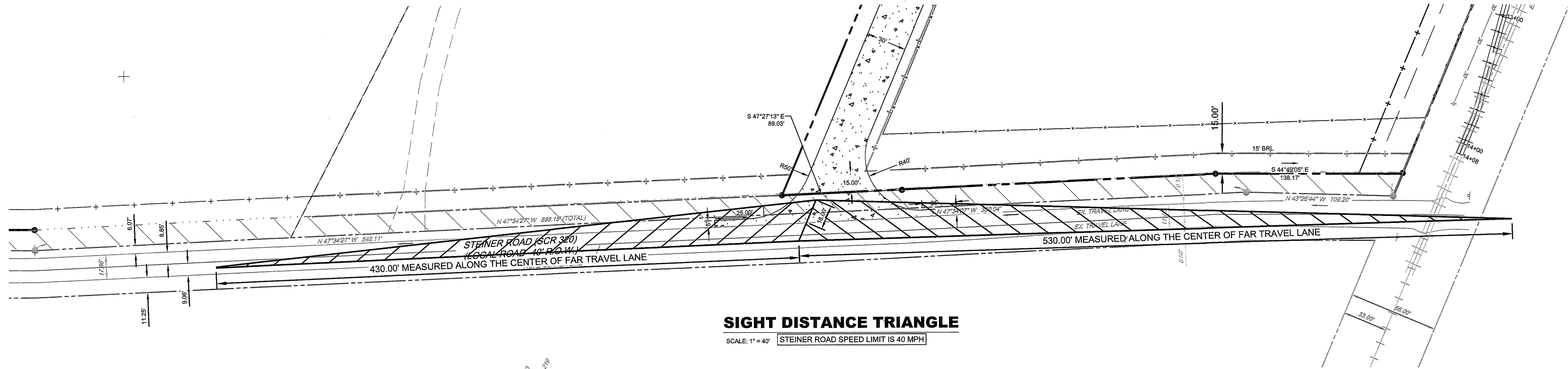
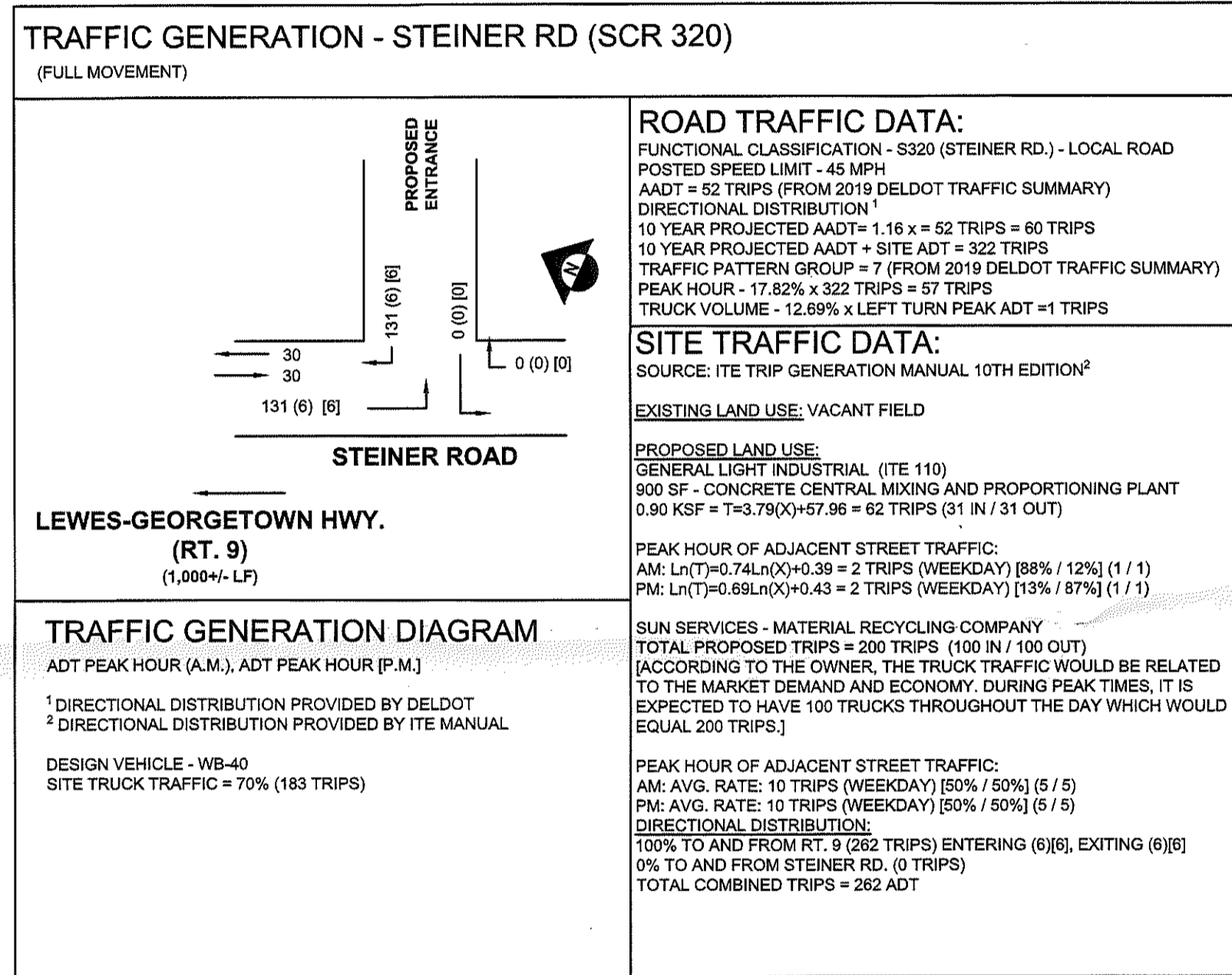
SHEET 1 OF 2

**GENERAL NOTES:**

- THIS SITE WILL BE CONSTRUCTED AS A SINGLE PHASE.
- THIS PLAN DOES NOT VERIFY THE EXISTENCE, OR NONEXISTENCE, OF EASEMENT OR RIGHT OF WAYS CROSSING THE SUBJECT PROPERTY.
- BASED UPON FLOOD INSURANCE RATE MAP (FIRM) NUMBER 1005030325L, DATED JUNE 20, 2016, THE PROPERTY IS LOCATED IN AN AREA DESIGNATED AS FLOOD ZONE X, UNSHADED, WHICH IS AN AREA DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAN.
- TOPOGRAPHICAL SURVEY PERFORMED BY PENNONI ASSOCIATES, INC. MILTON, DE
- THERE IS NO AREA OF WETLANDS IN THIS PROPERTY.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL WORK MUST BE PERFORMED IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- THE CONTRACTOR SHALL TAKE PRECAUTIONS TO LOCATE PROPERTY LINES AND RIGHT OF WAY LINES PRIOR TO CONSTRUCTION AND AVOID CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY AND/OR RIGHTS OF WAYS WHERE SAID CONSTRUCTION IS PROHIBITED. THE CONTRACTOR MAY CONDUCT CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY PROVIDED IF HE HAS OBTAINED PRIOR WRITTEN PERMISSION FROM THE PROPERTY OWNER AND HAS SUBMITTED A COPY OF SAID WRITTEN PERMISSION TO THE OWNER
- FINAL SET OF APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE MAINTAINED ON THE JOB SITE AT ALL TIMES. FAILURE TO COMPLY WITH THIS PROVISION SHALL BE CONSIDERED CAUSE TO STOP THE WORK.
- THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF CONTRACT DRAWINGS ON WHICH HE SHALL NOTE, IN RED, THE ALIGNMENTS AND INVERTS OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK. ALL DISCREPANCIES BETWEEN THE PLAN LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE AS-BUILT DRAWINGS TO BE MAINTAINED BY THE CONTRACTOR IN THE FIELD.
- THE CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH OR ACCESS PITS WHICH CAN BE BACKFILLED AND STABILIZED AT THE END OF EACH WORKING DAY. STEEL PLATES SHALL BE USED ON ANY TRENCH OR ACCESS PITS WHICH MUST REMAIN OPEN OVERNIGHT. THIS REQUIREMENT DOES NOT APPLY TO AREAS COMPLETELY CLOSED AND SECURE FROM VEHICULAR OR PEDESTRIAN TRAFFIC.
- THE CONTRACTOR SHALL USE ONLY NEW MATERIALS, PARTS, AND PRODUCTS. ALL MATERIALS SHALL BE STORED SO AS TO ASSURE THE PRESERVATION OF THEIR QUALITY AND FITNESS FOR THE INTENDED WORK.
- ROUTINE PERIODIC INSPECTIONS DURING CONSTRUCTION WILL BE PROVIDED BY THE OWNER. THESE INSPECTIONS DO NOT RELIEVE THE CONTRACTOR FROM HIS OBLIGATION AND RESPONSIBILITY FOR CONSTRUCTING ALL WORK IN STRICT ACCORDANCE WITH ALL STANDARDS AND SPECIFICATIONS AND CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING, TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION:
  - THE OWNER
  - SUSSEX CONSERVATION DISTRICT
  - THE TOWN OF GEORGETOWN
- THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL MEASURES TO PROTECT STOCKPILE AREAS AND STORAGE AREAS. ALL AREAS USED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR UPON COMPLETION OF THE PROJECT. IF THE STAGING AREA IS PAVED, IT SHALL BE RESTORED TO ITS ORIGINAL CONDITION. IF THE STAGING AREA IS UNPAVED, IT SHALL BE RE-GRADED, TOPSOILED, SEEDED AND MULCHED TO THE SATISFACTION OF THE ENGINEER. ALL COSTS ASSOCIATED WITH RESTORATION OF THE STAGING AREA SHALL BE AT THE CONTRACTOR'S EXPENSE. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- EQUIPMENT AND/OR STOCKPILE MATERIAL SHALL NOT BE STORED IN THE DRIPLINE AREA OF ANY TREE.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY SEED AND MULCH FOR ALL AREAS WHERE SOIL IS EXPOSED AND SILT FENCE IS NOT SPECIFIED, BY THE CLOSE OF EACH BUSINESS DAY.
- THE CONTRACTOR SHALL MAINTAIN PUBLIC ROADS AND STREETS IN A BROOM SWEEP CONDITION AT ALL TIMES.
- DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE WORK AREA, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL REGULATORY, WARNING AND INFORMATION SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE.

**DELDOT RECORD/SITE PLAN NOTES (REVISED 3-21-2019):**

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- PRIVATE STREETS CONSTRUCTED WITHIN THIS PROPERTY SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 §131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SHARED-USE PATH SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SHARED-USE PATH.
- ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION STREET.
- DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
- A PERPETUAL CROSS ACCESS INGRESS/EGRESS EASEMENT IS HEREBY ESTABLISHED AS SHOWN ON THIS PLAN, PER PB 343, PG 87.



**Pennon**

**PENNON ASSOCIATES INC.**  
18072 Davidson Drive  
Milton, DE 19868  
T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR BEFORE PROCEEDING WITH WORK  
DISCREPANCIES BEFORE PROCEEDING WITH WORK

ALAN M. DECKTOR  
LICENSE  
No. 17771  
DELAWARE  
PROFESSIONAL ENGINEER  
11/1/2021

**STEINER ROAD INDUSTRIAL PARK**  
TAX MAP NUMBER: 135-16-00-23.05 (PARCEL A1 & A2)  
STEINER ROAD (SCR 320)  
GEORGETOWN, DE

**PRELIMINARY SITE NOTES**  
DELSTAR, LLC. STEINER LAND, LLC.  
ASHWOOD STREET ASHWOOD STREET  
BETHANY BEACH, DE 19830 BETHANY BEACH, DE 19830

NO.	DATE	BY	REVISIONS

ALL DOCUMENTS PREPARED BY PENNON ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNON ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNON ASSOCIATES; AND OWNER SHALL INDICATE AND HOLD HARMLESS PENNON ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT CHANY21001  
DATE 2021-11-05  
DRAWING SCALE AS SHOWN  
DRAWN BY EOC  
APPROVED BY AMD

**PP1002**  
SHEET 2 OF 2

PLOTTED: 10/20/21 11:57 AM BY: RHYAN.PALM PLOTSTYLE: PENNON.MSP  
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# FUQUA, WILLARD & SCHAB, P.A.

PAYNTER HOUSE  
26 THE CIRCLE OR P.O. BOX 250  
GEORGETOWN, DELAWARE 19947  
PHONE 302-856-7777  
FAX 302-856-2128  
onthecircle@fwsdelaw.com

JAMES A. FUQUA, JR.  
WILLIAM SCHAB  
TIMOTHY G. WILLARD  
www.fwsdelaw.com

LEWES REAL ESTATE OFFICE  
16698 KINGS HIGHWAY, SUITE B  
LEWES, DELAWARE 19958  
PHONE 302-645-6626  
FAX 302-645-6620  
realestate@fwsdelaw.com

BLUE BUILDING  
105 W. 4TH STREET  
LEWES, DE 19958  
PHONE 302-856-9024  
FAX 302-856-6360

REHOBOTH OFFICE  
20245 BAY VISTA RD., UNIT 203  
REHOBOTH BEACH, DE 19971  
PHONE 302-227-7727  
FAX 302-227-2226

January 20, 2022

## Email & Hand Delivered

Jamie Whitehouse  
Director, Planning Commission  
2 The Circle  
Georgetown, DE 19947

RECEIVED

JAN 21 2022

SUSSEX COUNTY  
PLANNING & ZONING

RE: **Steiner Land, LLC – 33422 Steiner Road**  
**#135-16.00-23.05**

Dear Jamie:

I represent Steiner Land LLC (“Steiner”) and Sun Services LLC (“Sun”). Steiner owns 7.5 acres along the railroad tracks just east of Georgetown. Sun runs a construction recycling business in Maryland and is planning a similar operation for this parcel. You may already be familiar with this property and the proposed use.

The parcel is zoned Heavy Industrial (“HI-1”). I am writing to confirm that Sun’s use is a Permitted Use consistent with §115-109C. The location for Sun’s use fits well not only as HI-1 but also because the location is isolated, in a wooded area with little to no residential use nearby. Furthermore, DNREC, DSWA met with Sun, and indicated that this project meets the criteria for approval.

Specifically, §115-109C Permitted Uses states:

*C. The following uses and any similar industrial uses which are not likely to create any more offensive noise, vibrations, dust, heat, smoke, odor, glares or other objectionable influences than the minimum amount normally resulting from other uses permitted and involving the manufacture, compounding, processing, packaging or treatment of the following products or similar products. Where any doubt exists as to the nature of a proposed use, product or process, the proposal shall be considered*

Fuqua, Willard & Schab, P.A.

January 20, 2022

*as a potentially hazardous use and referred to the Board of  
Adjustment for decision after a public hearing.*

Concrete products or central mixing and proportioning plants  
Structural iron and steel fabrication  
Wallboard and plaster, building, insulation and  
composition flooring

If confirmed, Sun will be treating, recycling, the listed products. Based on Sun's track record in MD and their specific plans for this parcel, Sun's use will reduce any objectional influences for such use or similar uses. In addition, this recycling operation environmentally addresses significant demand created by the housing market consistent with the Sussex County Comprehensive Plan.

In sum, the facility will receive, process and sort Construction and Demolition debris. Construction and Demolition debris is generally (but not exclusively) comprised of the following commodities: wood, concrete, brick, block, metals, wallboard, cardboard, paper, plastics and dirt. These materials will be processed using heavy equipment, screens, magnets and elevated sort lines with labor to sort and separate each commodity into clean groups that can be sold or reused. After the commodities are separated, they will be prepped and trucked off site. The remaining materials that have no value for reuse will be trucked off site as well to a permitted waste facility.

The heavy equipment that will be used on site will present minimal noise nuisance because they will utilize white noise back up alarms (not a loud beep) which prevents the noise from traveling off the property. Other equipment will be electrically driven so noise will be at a minimum. Any dust will be suppressed by wetting material down as needed as well as dust suppression (atomizing water into the air) to capture fugitive dust particles if they are created during the process. Odor is not anticipated to be an issue because this operation will accept only Construction and Demolition debris which do not contain the organic components that generally cause objectionable odors.

We would welcome a meeting at your convenience. Or, please email me with your thoughts. Thanks.

Very truly yours,

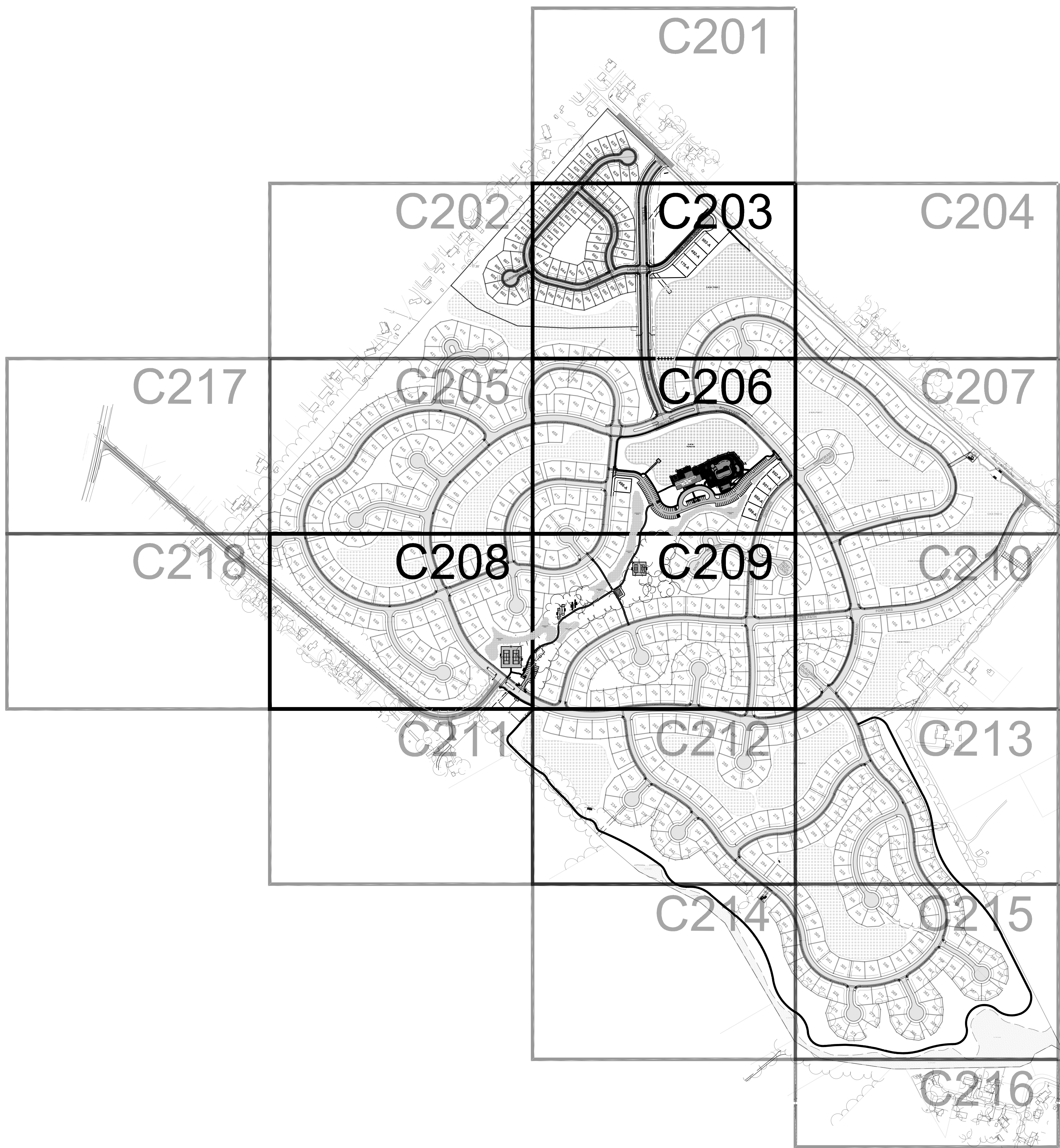
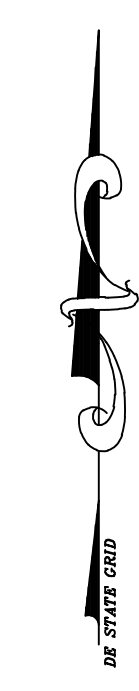
FUQUA, WILLARD, STEVENS & SCHAB

By



Timothy G. Willard

Pc: Sun Services LLC  
Penoni Engineers



PROJECT TITLE

**PENINSULA  
LAKES**  
PHASE #20 &  
COMMUNITY AMMENITIES  
  
RT-299  
INDIAN RIVER HUNDRED  
SUSSEX COUNTY, DE

SHEET TITLE

**SHEET INDEX  
SITE PLAN SHEETS**

ISSUE BLOCK

NO.	DATE	DESCRIPTION
5	08/01/21	AMENITIES LAYOUT REVISIONS
3	05/31/18	CONSTRUCTION DOCUMENTS
2	02/26/18	REMOVED FENCING PER HOA REQUEST
1	07/26/17	REVISIONS PER SUSSEX COUNTY ENGINEERING DEPARTMENT

MARK DATE DESCRIPTION

LAYER STATE: C-200 SITE  
**PROJECT NO.:** 2003185.13  
**DATE:** 06/16/2017  
**SCALE:** 1"=300'  
 DRAWN BY: S.D.B. | PROJ. MGR.: J.A.H.

SHEET  
**C-200**  
 COPYRIGHT 2014



MATCH LINE, SHEET C209

**TENNIS COURT & DOG PARK FACILITIES**

SCALE 1" = 50'

FOR LEGION ROAD IMPROVEMENT  
DETAILS, SEE PLANS PREPARED  
BY SOLUTIONS IPEM, INC.

FOR LEGION ROAD IMPROVEMENT  
DETAILS, SEE PLANS PREPARED  
BY SOLUTIONS IPEM, INC.

**GENERAL CONSTRUCTION NOTES:**

- G-1 6' WIDE ASPHALT WALKING PATH. SEE DETAIL SHEETS.
- G-2 3' CURB TRANSITION.
- G-3 P.C.C. CURB TYPE 3 (MODIFIED -6'). SEE DETAIL SHEETS.
- G-4 INTEGRAL P.C.C. CURB AND GUTTER TYPE 2. SEE DETAIL SHEETS.
- G-5 TYPICAL 4" THICK CONCRETE SIDEWALK. SEE DETAIL SHEETS.
- G-6 10' WIDE PAVER SIDEWALK. SEE DETAIL SHEETS.
- G-7 TYPICAL HANDICAPPED CURB RAMP. SEE DETAIL SHEETS.
- G-8 15' BUILDING SETBACK LINE.
- G-9 CONCRETE WHEEL STOP. SEE DETAIL SHEETS.
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- G-14 6' HIGH BOARD-ON-BOARD SCREENING FENCE.
- G-15 6' ALUMINUM PICKET FENCE w/ GATES AS SHOWN.
- G-16 3' WIDE CONCRETE VALLEY GUTTER. SEE DETAIL SHEET C-908.

PROJECT TITLE

**PENINSULA  
LAKES**  
PHASE #20 &  
COMMUNITY AMENITIES

RT-299  
INDIAN RIVER HUNDRED  
SUSSEX COUNTY, DE

SHEET TITLE

**SITE  
& LAYOUT PLAN**

0 25 50 100

SCALE : 1" = 50'

ISSUE BLOCK

NO.	DATE	DESCRIPTION
5	08/01/21	AMENITIES LAYOUT REVISIONS
3	05/31/18	CONSTRUCTION DOCUMENTS
2	02/26/18	REMOVED FENCING PER HOA REQUEST
1	07/26/17	REVISIONS PER SUSSEX COUNTY ENGINEERING DEPARTMENT

PROJECT NO.: 2003185.13

DATE: 06/16/2017

SCALE: 1" = 50'

DRAWN BY: S.D.B. / PROJ. MGR.: J.A.H.

**C-208**

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MATCH LINE, SHEET C206



MATCH LINE, SHEET C208

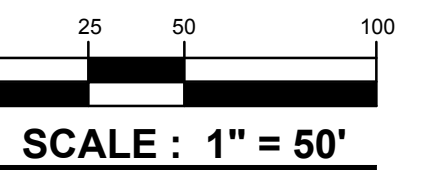
PROJECT TITLE

**PENINSULA  
LAKES**  
PHASE #20 &  
COMMUNITY AMENITIES

RT-299  
INDIAN RIVER HUNDRED  
SUSSEX COUNTY, DE

SHEET TITLE

**SITE  
& LAYOUT PLAN**



ISSUE BLOCK

NO.	DATE	DESCRIPTION
5	08/01/21	AMENITIES LAYOUT REVISIONS
3	05/31/18	CONSTRUCTION DOCUMENTS
2	02/26/18	REMOVED FENCING PER HOA REQUEST
1	07/26/17	REVISIONS PER SUSSEX COUNTY ENGINEERING DEPARTMENT

MARK DATE DESCRIPTION

LAYER/DATE: C-200

PROJECT NO.: 2003185.13

DATE: 06/16/2017

SCALE: 1" = 50'

DRAWN BY: S.D.B. | PROJ. MGR.: J.A.H.

SHEET

**C-209**

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- GENERAL CONSTRUCTION NOTES:**
- G-1 6' WIDE ASPHALT WALKING PATH. SEE DETAIL SHEETS.
  - G-2 3' CURB TRANSITION.
  - G-3 P.C. CURB TYPE 3 (MODIFIED -6"). SEE DETAIL SHEETS.
  - G-4 INTEGRAL P.C.C. CURB AND GUTTER TYPE 2. SEE DETAIL SHEETS.
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  - G-14 6' HIGH BOARD-ON-BOARD SCREENING FENCE.
  - G-15 6' ALLUMINUM PICKET FENCE w/ GATES AS SHOWN.
  - G-16 3' WIDE CONCRETE VALLEY GUTTER. SEE DETAIL SHEET C-908.

MATCH LINE, SHEET C201

Land N/F  
WILLIAM J. JR. & MARIAN W. DAVIS TRUSTEES  
Tax Map 2-34-28, p. 205.01  
Zoning: AR1 - Agriculture/Residential  
Land Use: Residential - Vacant Lot



MATCH LINE, SHEET C202

MATCH LINE, SHEET C204

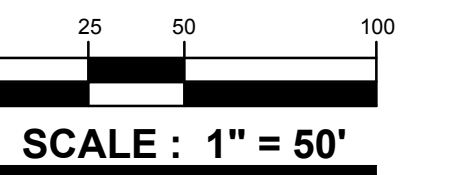
PROJECT TITLE

**PENINSULA  
LAKES**  
PHASE #20 &  
COMMUNITY AMMENITIES

RT-299  
INDIAN RIVER HUNDRED  
SUSSEX COUNTY, DE

SHEET TITLE

**SITE  
& LAYOUT PLAN**



ISSUE BLOCK

MARK	DATE	DESCRIPTION
5	08/01/21	AMENITIES LAYOUT REVISIONS
3	05/31/18	CONSTRUCTION DOCUMENTS
2	02/26/18	REMOVED FENCING PER HOA REQUEST
1	07/26/17	REVISIONS PER SUSSEX COUNTY ENGINEERING DEPARTMENT

LAYER/STATE: C-200

PROJECT NO.: 2003185.13

DATE: 06/16/2017

SCALE: 1" = 50'

DRAWN BY: S.D.B. PROJ. MGR.: J.A.H.

SHEET

**C-203**

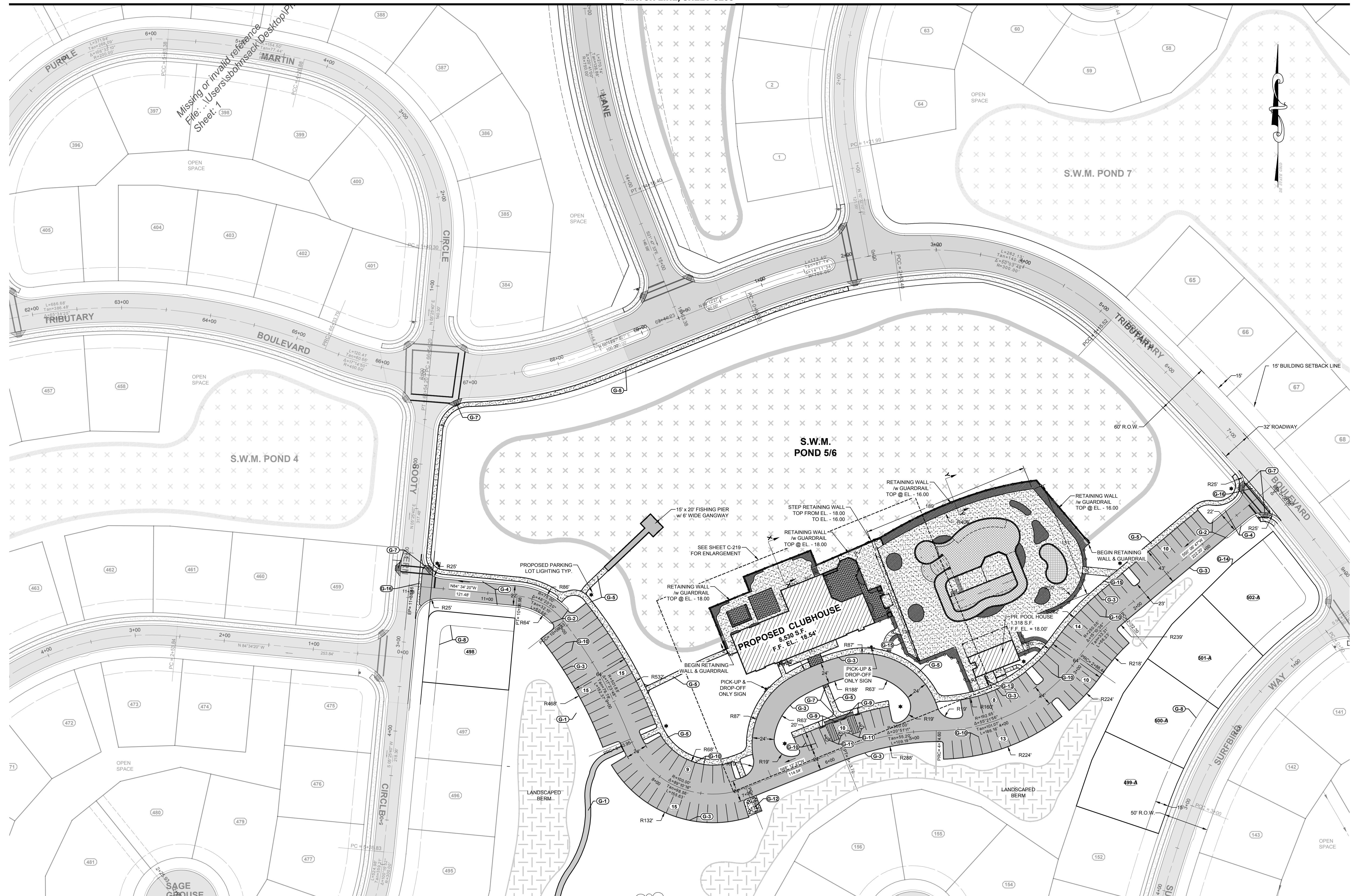
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**GENERAL CONSTRUCTION NOTES:**

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- G-15 6' ALLUMINUM PICKET FENCE W/ GATES AS SHOWN.
- G-16 3' WIDE CONCRETE VALLEY GUTTER. SEE DETAIL SHEET C-908.

MATCH LINE, SHEET C203

MATCH LINE, SHEET C209



- GENERAL CONSTRUCTION NOTES:**
- G-1 6' WIDE ASPHALT WALKING PATH. SEE DETAIL SHEETS.
  - G-2 3' CURB TRANSITION.
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PROJECT TITLE  
**PENINSULA LAKES**  
PHASE #20 &  
COMMUNITY AMENITIES  
RT-299  
INDIAN RIVER HUNDRED  
SUSSEX COUNTY, DE

SHEET TITLE  
**SITE & LAYOUT PLAN**

SCALE: 1" = 50'

MARK	DATE	DESCRIPTION
5	08/01/21	AMENITIES LAYOUT REVISIONS
3	05/31/18	CONSTRUCTION DOCUMENTS
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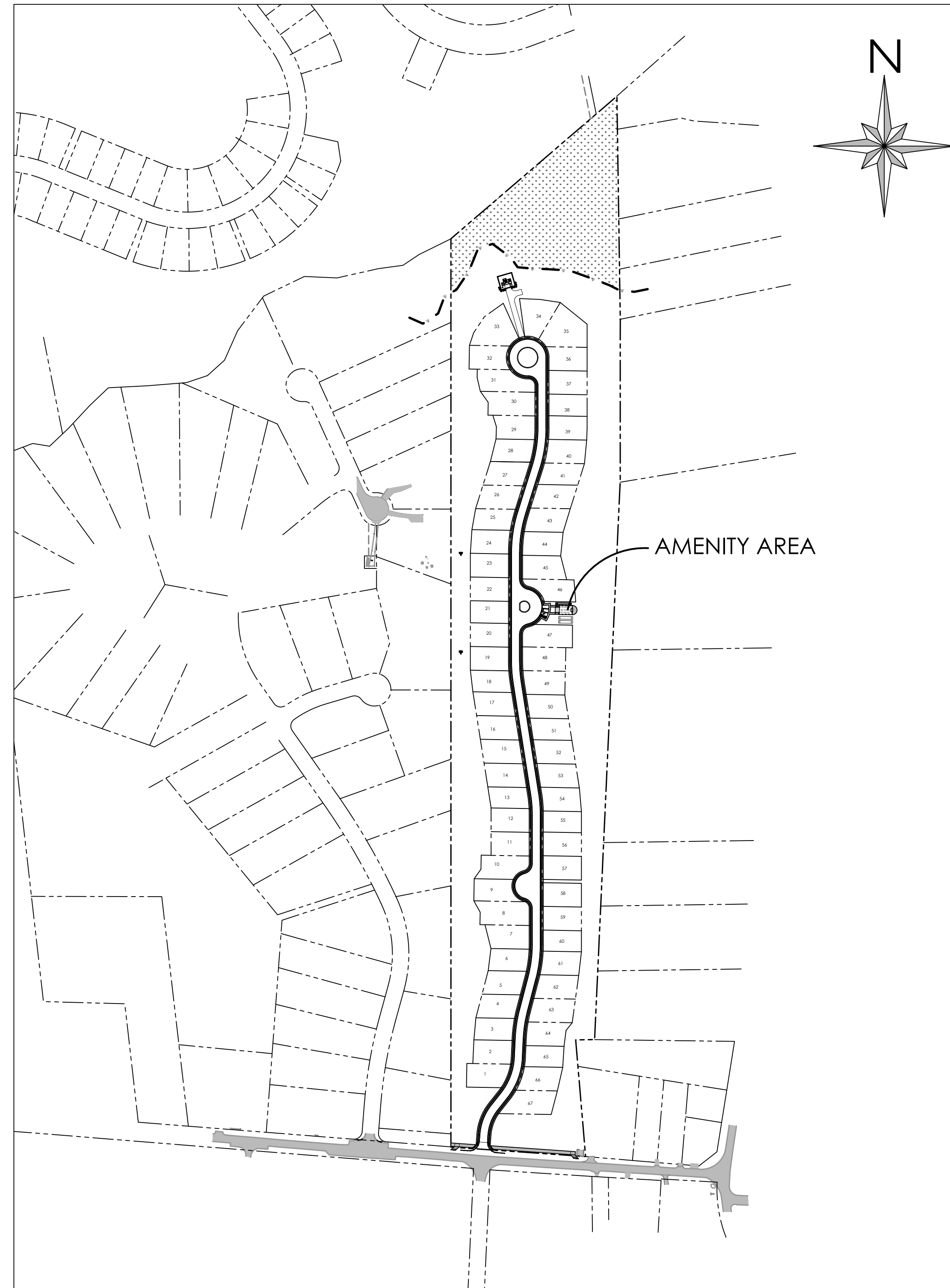
PROJECT NO.: 2003185.13  
DATE: 06/16/2017  
SCALE: 1" = 50'  
DRAWN BY: S.D.B. PROJ. MGR.: J.A.H.  
SHEET  
**C-206**  
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**LEGEND**

PROPERTY LINE		
EASEMENT LINE		
SETBACK LINE		
SPOT ELEV. LABEL	x 19.25	19.25
MAJOR CONTOUR	-10	10
MINOR CONTOUR	7	7
ROAD CENTERLINE		
EDGE OF CONCRETE		
EDGE OF PAVEMENT		
EDGE OF GRAVEL		N/A
PAINT STRIPE		
CURB		
PAVEMENT HATCH		
CONCRETE HATCH		
BUILDING OUTLINE		
SIDEWALK		
SIDEWALK HATCH		
SIGN		
EDGE OF WETLAND		N/A
STORM MANHOLE		
CURB INLET		
YARD INLET		
STORM PIPE		
RIP RAP		
SANITARY MANHOLE	N/A	
SANITARY CLEANOUT	N/A	
SANITARY PIPE	N/A	
WATER VALVE	N/A	
WATER PIPE	N/A	
FIRE HYDRANT	N/A	
LIGHT POLE		

# PRELIMINARY SITE PLAN FOR HAILEY'S GLEN (F.K.A. KIELBASA) AMENITY AREA

COUNTY PROJECT REFERENCE NO. (2017-17)  
INDIAN RIVER HUNDRED - SUSSEX COUNTY, DELAWARE



**SITE MAP**  
SCALE: 1" = 250'

**SITE DATA:**

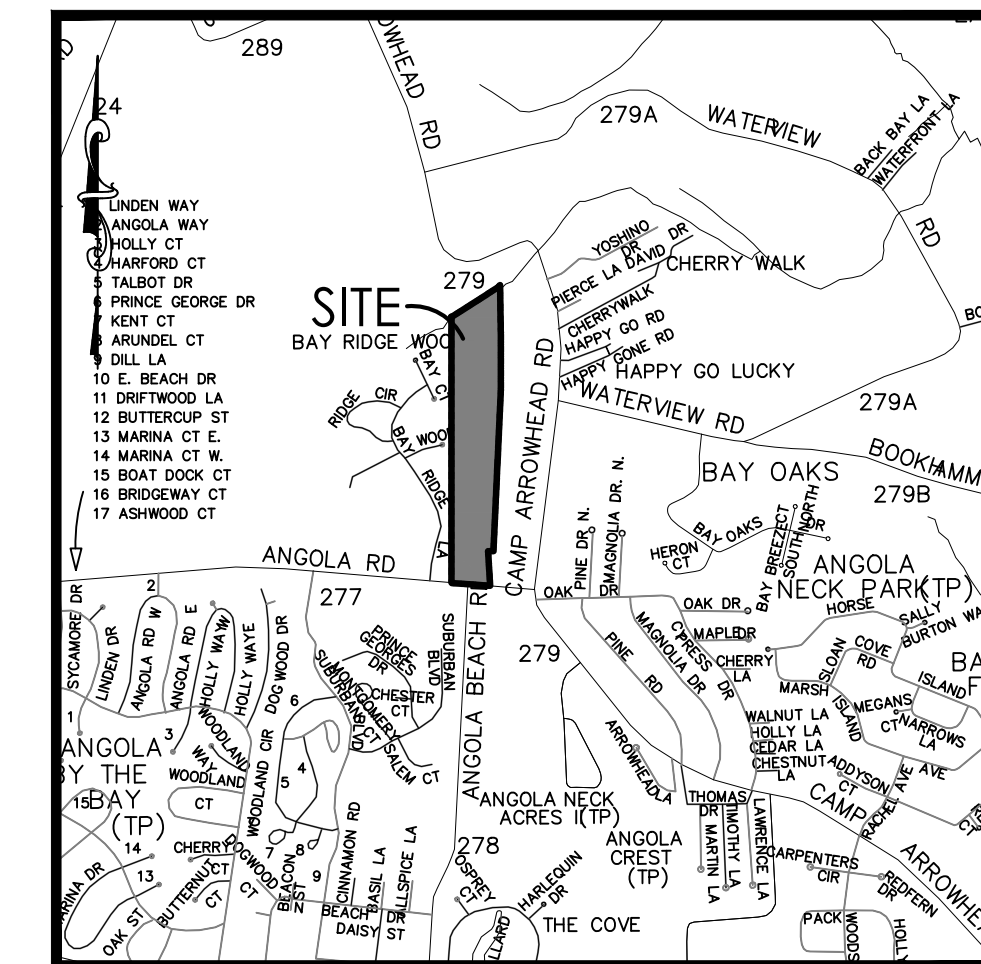
OWNER/  
DEVELOPER: SCHELL BROTHERS, LLC  
20184 PHILLIPS STREET  
REHOBOTH BEACH, DE 19971  
PHONE: 302-226-1994  
CONTACT: TIM GREEN

ENGINEER: SOLUTIONS IPEM  
303 NORTH BEDFORD STREET  
GEORGETOWN, DE 19947  
PHONE: 302-297-9215  
CONTACT: JASON PALKEWICZ, PE

- TAX MAP: 234-12.00-11.00  
THE AMENITIES ARE LOCATED ON OPEN SPACE PARCEL A (AREA = 16.688 AC.) PER THE RECORD PLAN
- THE PARCEL IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA.
- THE PARCEL LIES WITHIN AN AREAS OF "GOOD" AND "FAIR" GROUNDWATER RECHARGE POTENTIAL.
- EXISTING NON-TIDAL WETLANDS = 3.63 ± AC  
EXISTING TIDAL WETLANDS = 0.00 AC.
- OPEN SPACE CALCULATIONS  
GROSS ACREAGE = 32.949 ± ACRES  
PROPOSED LOT AREA = 13.791 AC.±  
PROPOSED ROW AREA = 2.470 AC.±  
PROPOSED OPEN SPACE A AREA = 16.688 AC.±  
16.688 / 32.366 = 51.6%
- SUSSEX COUNTY SUBDIVISION: 2017-17
- PROPOSED USE: AMENITY AREA
- EXISTING ZONING DISTRICT: AGRICULTURAL RESIDENTIAL (AR-1) (COASTAL AREA)
- PROPOSED SETBACKS:  
FRONT: 25'  
SIDE: 10' (15' CORNER LOT)  
REAR: 10'
- MAXIMUM BUILDING HEIGHT = 42 FEET (FOR ALL BUILDINGS)
- FLOOD ZONE:  
THE PROPERTY IS LOCATED WITHIN FLOOD ZONE X, (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND ZONE AE (BASE FLOOD ELEVATION DETERMINED - EL 5), PER FIRM MAP NUMBER 10005C0341K, MAP REVISED MARCH 16, 2015.
- WATER SUPPLY: TIDEWATER UTILITIES, INC
- SANITARY SEWER: SUSSEX COUNTY UNIFIED SANITARY SEWER DISTRICT
- TOPOGRAPHY AND BOUNDARY SHOWN HEREIN ARE AS PROVIDED BY SOLUTIONS IPEM, LLC
- PROJECT DATUM:  
HORIZONTAL: DELAWARE STATE PLAN NAD 83  
VERTICAL: NAVD 88
- PARKING  
REQUIRED: N/A  
PROVIDED: 3 SPACES (1 H.C.) → 1 SPACE PER 374 S.F.
- THE CONSTRUCTION OF THE AMENITY AREAS SHALL NOT BE PHASED.
- HAILEY'S GLEN SUBDIVISION NET DEVELOPMENT AREA = 30.479 AC.
- PAVILION AREA/HEIGHT: 1,120 S.F./25.5 FT.\*  
MAILBOX PAVILION AREA/HEIGHT: 204 S.F./25.5 FT.\*  
PATIO AREA = 308 S.F.  
\*BUILDING HEIGHTS ARE SUBJECT CHANGE PER THE FINAL ARCHITECTURE PLANS

**SHEET INDEX**

- COVER SHEET
- SITE PLAN
- BULK GRADING PLAN
- FIRE MARSHAL PLAN
- EROSION AND SEDIMENT CONTROL PLAN
- LANDSCAPE PLAN



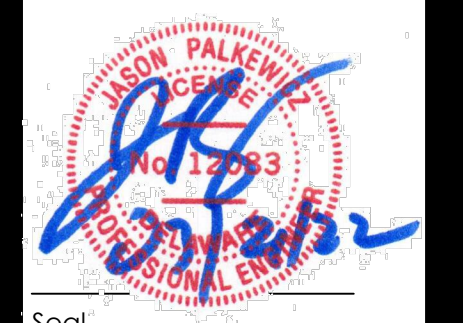
**VICINITY MAP**  
SCALE: 1" = 2,000'

**solutions**  
IPEM  
INCORPORATED

303 North Bedford Street  
Georgetown, DE 19947  
T. 302-297-9215

3033 Manthill Hill Road  
Salisbury, MD 21804  
T. 410-572-8833

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Seal  
Date

NO.	DATE	DESCRIPTION
1	9-29-21	REVISIONS PER PZ COMMENTS DATED 9-28-21
2	3-21-22	REVISED MAIL STATION LOCATION

COVER SHEET  
for  
**HAILEY'S GLEN**  
SUSSEX COUNTY, DELAWARE

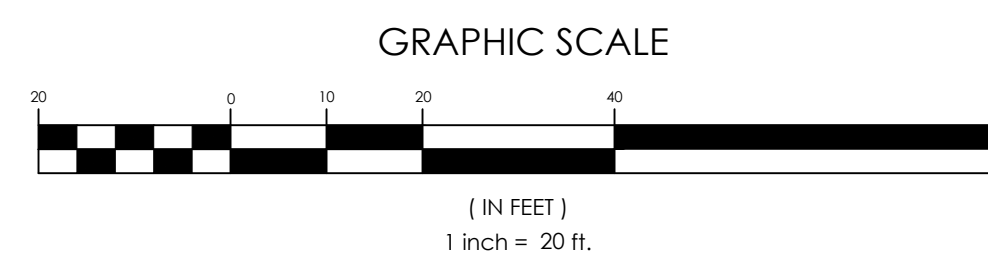
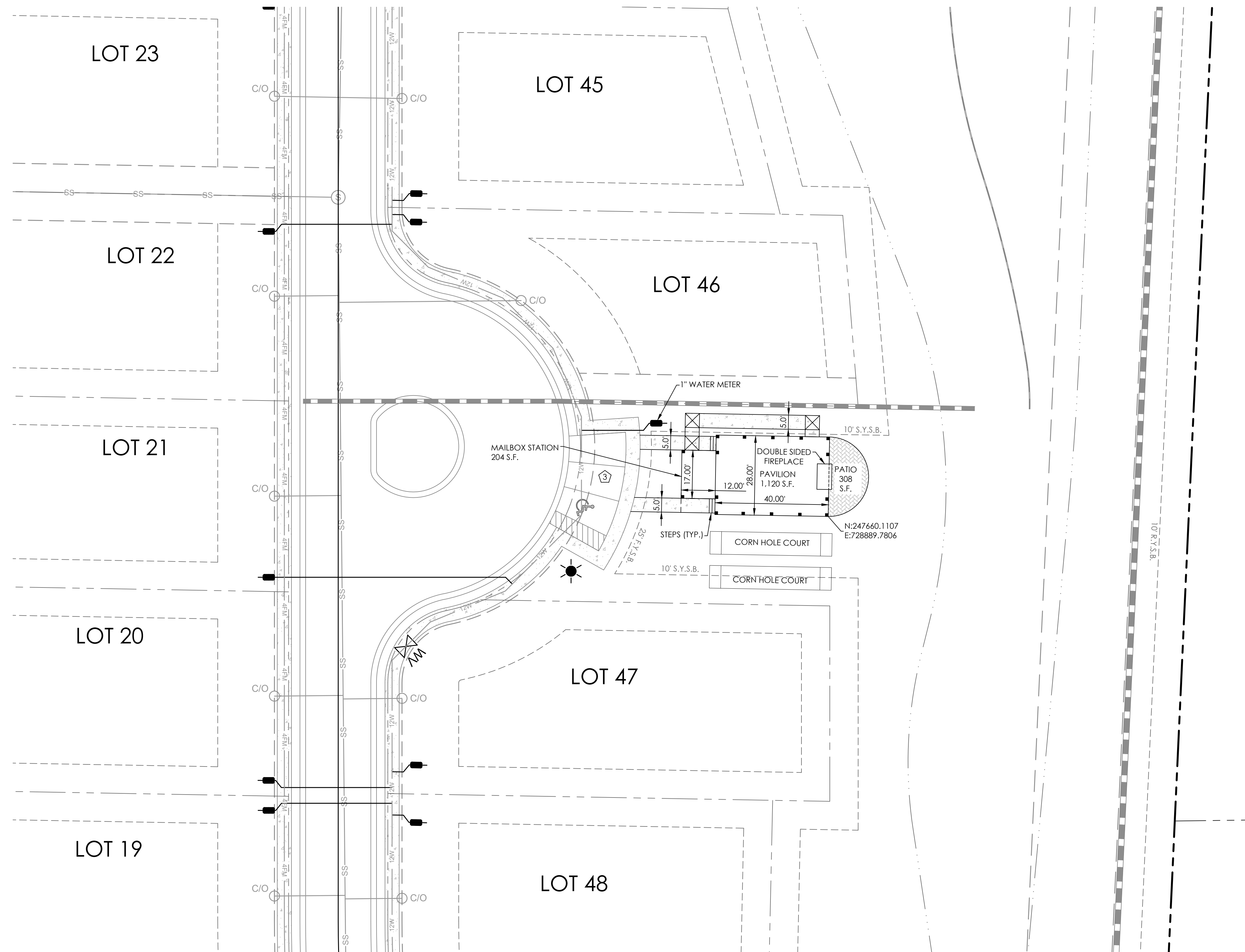
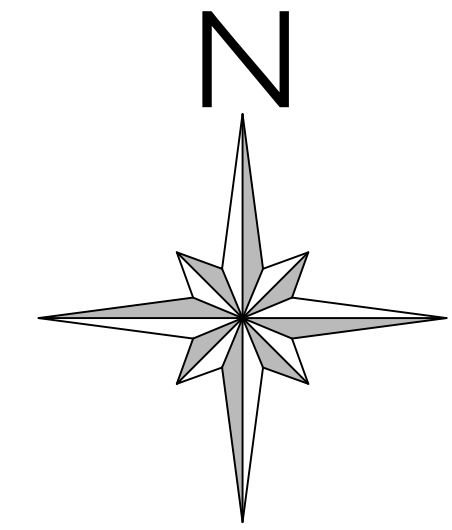
**WETLAND STATEMENT**

I, Edward M. Launay, PWS, STATES THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED UPON THIS PLAN HAVE BEEN DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, ATLANTIC GULF COAST REGIONAL SUPPLEMENT, REGULATIONS AND SUPPLEMENTAL GUIDANCE (33 CFR 328.3(a)(8), Waters of the U.S. Definition/CECW-OR, 10-7-1991, Questions and Answers on the 1987 CDE Manual/CECW-OR, 9-26-1990, RGL 90-7/CECW-OR, 3-6-1992, Clarification and Interpretation of the 1987 Manual). THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES.

*Edward M. Launay*  
EDWARD M. LAUNAY, PWS No. 875 DATE 9/30/2021  
SOCIETY OF WETLANDS SCIENTISTS  
CORPS OF ENGINEERS  
CERTIFIED WETLAND DELINEATOR WDCP93MD05100368J

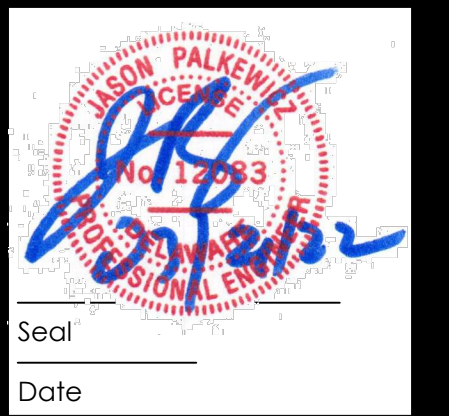
Date:	07-28-21
Job Number:	17039
Scale:	AS NOTED
Drawn By:	HHB
Designed By:	HHB
Approved By:	JIP

Sheet No.: 1  
File Name: 17039-cover



**solutions**  
 landscape architecture  
 interior design

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 Georgetown, DE 19142  
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 3033 Manitt Mill Road  
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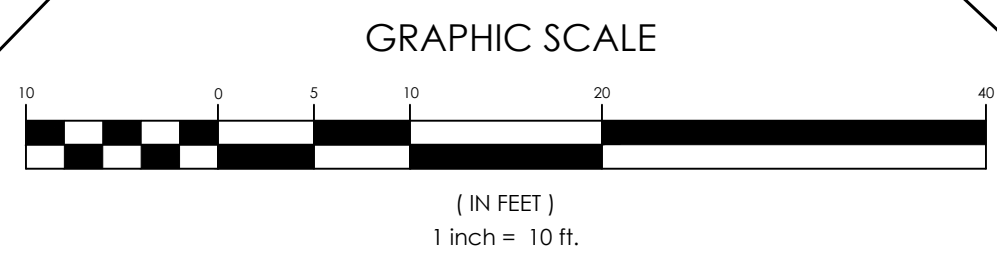
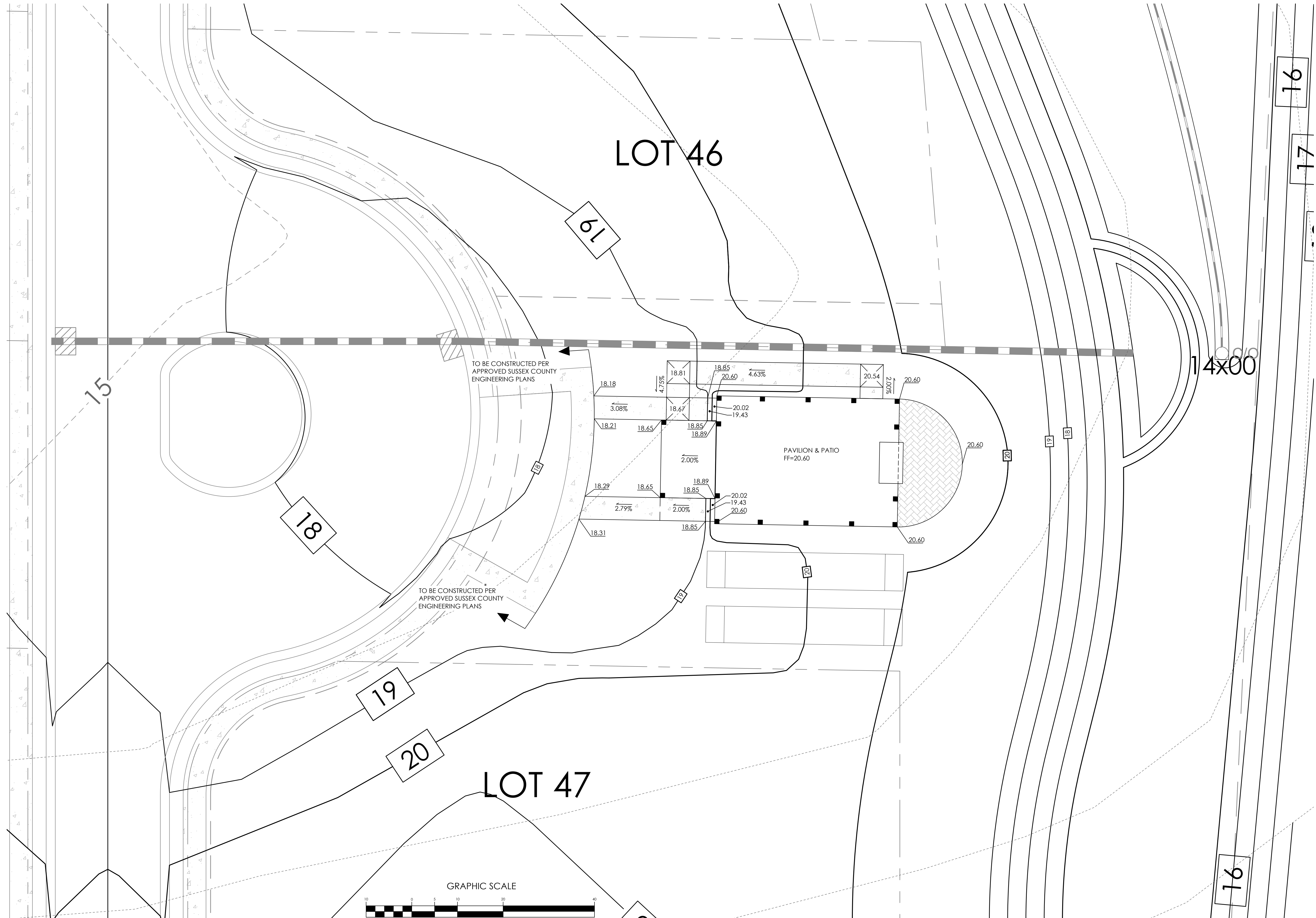
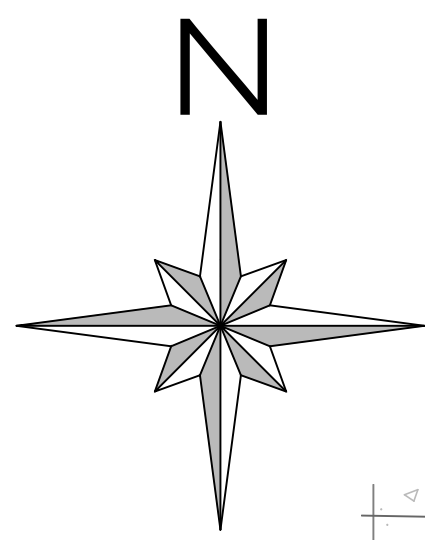
Seal \_\_\_\_\_  
 Date \_\_\_\_\_

NO.	DATE	DESCRIPTION
1	9-29-21	REVISIONS PER PZ COMMENTS DATED 9-28-21
2	3-21-22	REVISED MAIL STATION LOCATION

SITE PLAN  
 for  
**HAILEYS GLEN**  
 SUSSEX COUNTY, DELAWARE

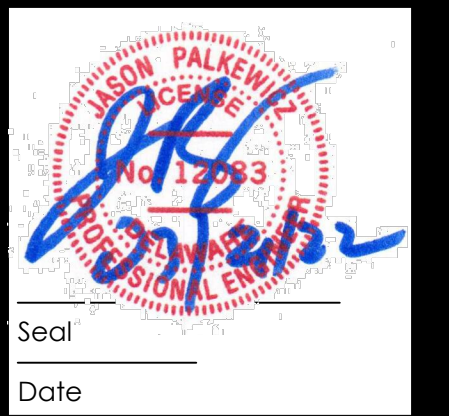
Date:	07-28-21
Job Number:	17039
Scale:	1"=20'
Drawn By:	HHB
Designed By:	HHB
Approved By:	JJP

Sheet No.: **2**  
 File Name: site



solutions  
LANDSCAPE ARCHITECTURE  
PLANNING & DESIGN

303 North Bedford Street  
Georgetown, DE 19842  
T. 302-297-9215  
3033 Manitt Mill Road  
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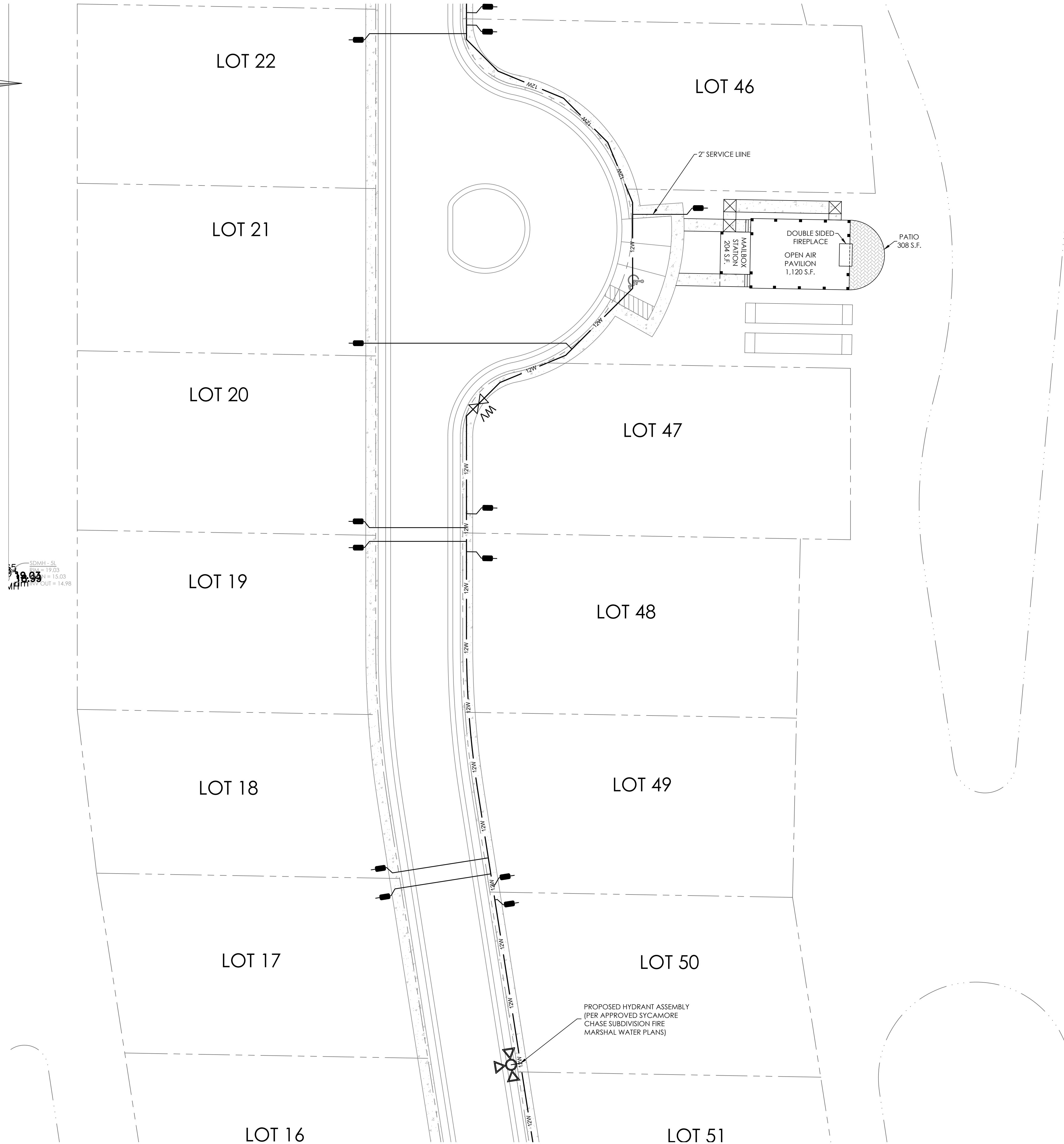
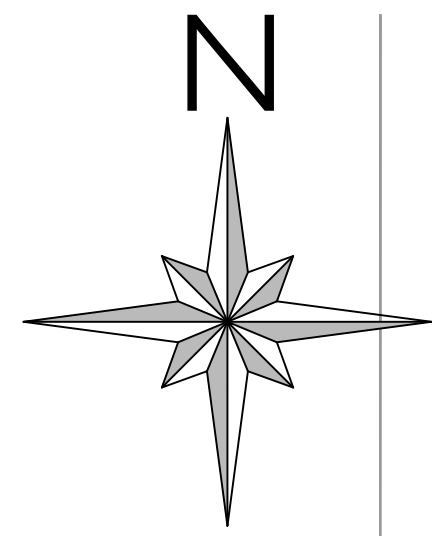


NO.	DATE	DESCRIPTION
1	9-29-21	REVISIONS PER PZ COMMENTS DATED 9-28-21
2	3-21-22	REVISED MAIL STATION LOCATION

BULK GRADING PLAN  
for  
**HAILEYS GLEN**  
SUSSEX COUNTY, DELAWARE

Date:	07-28-21
Job Number:	17039
Scale:	1"=10'
Drawn By:	HHB
Designed By:	HHB
Approved By:	JJP

Sheet No.: **3**  
File Name: \_\_\_\_\_ site



SDMH - SL  
 19.03  
 15.03  
 14.98

**SITE DATA:**

OWNER/  
 APPLICANT: SCHELL BROTHERS, LLC  
 20184 PHILLIPS STREET  
 REHOBOTH BEACH, DE 19971  
 PHONE: 302-226-1994  
 CONTACT: TIM GREEN

ENGINEER: SOLUTIONS IPEM  
 303 NORTH BEDFORD STREET  
 GEORGETOWN, DE 19947  
 PHONE: 302-297-9215  
 CONTACT: JASON PALKEWICZ, PE

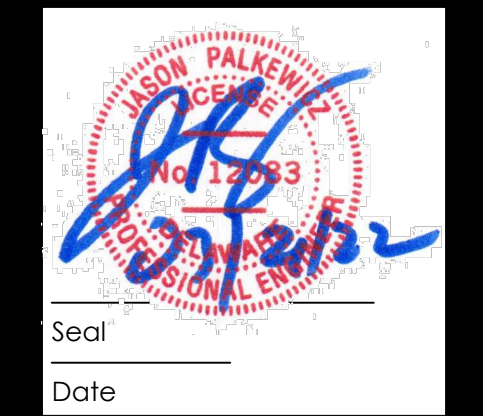
- TAX MAP: 234-12.00-11.00
- PROPOSED USE: PAVILION WITH PATIO  
MAILBOX PAVILION
- SUSSEX COUNTY SUBDIVISION NO.: 2017-17
- WATER SUPPLY: TIDEWATER UTILITIES
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS AND AS SHOWN ON THESE SHEETS.
- WATER FLOW - CLUBHOUSE  
MAIN SIZES: 6" MINIMUM. MINIMUM CAPACITY: 100 GPM @ 20 PSI FOR 1 HOUR DURATION. HYDRANT SPACING: 800 FEET ON CENTER.
- ALL FIRE HYDRANT ASSEMBLIES SHALL BE PLACED A MAXIMUM OF 7' OFF THE EDGE OF THE PAVEMENT OR SIDEWALK.
- ALL PROPOSED FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE DELAWARE STATE FIRE PREVENTION REGULATIONS (DSFPR, PART II, CHAPTERS 6 & 7).
- FIRE HYDRANTS SHALL BE COLOR CODED IN ACCORDANCE WITH THE DSFPR, PART 703, CHAPTER 3, SECTION 4.0. THIS INCLUDES BOTH COLOR CODING BONNET AND 2" REFLECTIVE TAPE AROUND THE BARREL UNDER THE TOP FLANGE.
- THE STEAM CONNECTION OF ALL FIRE HYDRANTS SHALL BE SO POSITIONED SO AS TO BE FACING THE EDGE OF STREET, OR TRAFFIC LANE (DSFPR PART 705, CHAPTER 6, SECTION 2.0 AND 2.7).
- THE AMENITY BUILDING WILL NOT BE BE PROTECTED BY AUTOMATIC SPRINKLERS.
- MAXIMUM BUILDING HEIGHT: 42 FEET (ONE STORY)
- BUILDING CONSTRUCTION: NFPA TYPE V (000)



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REVISIONS		DESCRIPTION
NO.	DATE	DESCRIPTION
1	9-29-21	REVISIONS PER PZ COMMENTS DATED 9-28-21
2	3-21-22	REVISED MAIL STATION LOCATION

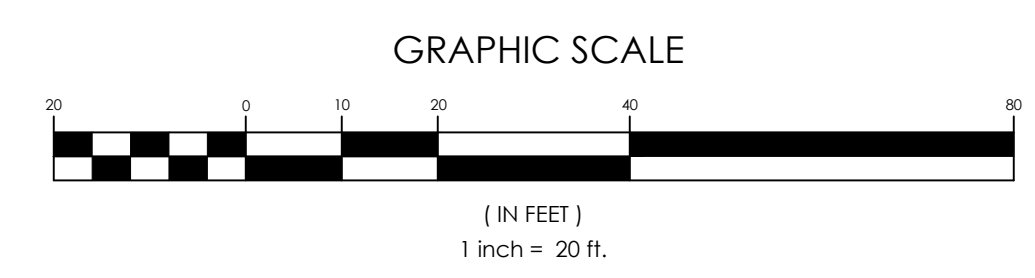
FIRE MARSHAL PLAN

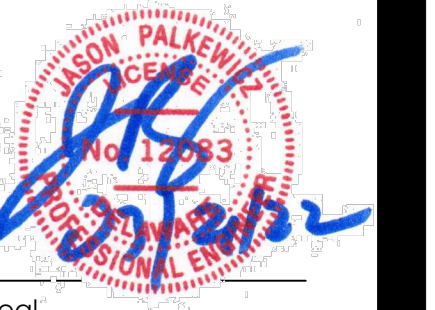
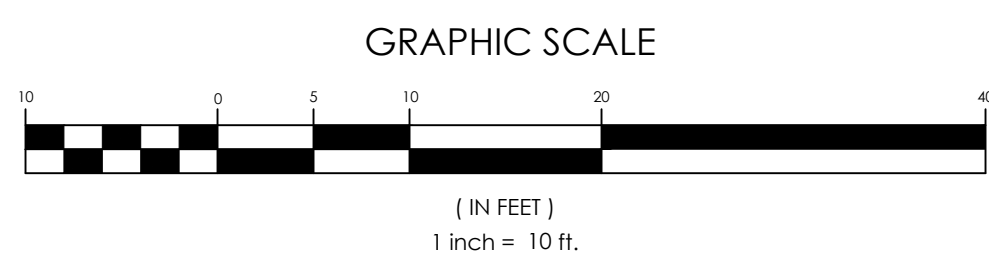
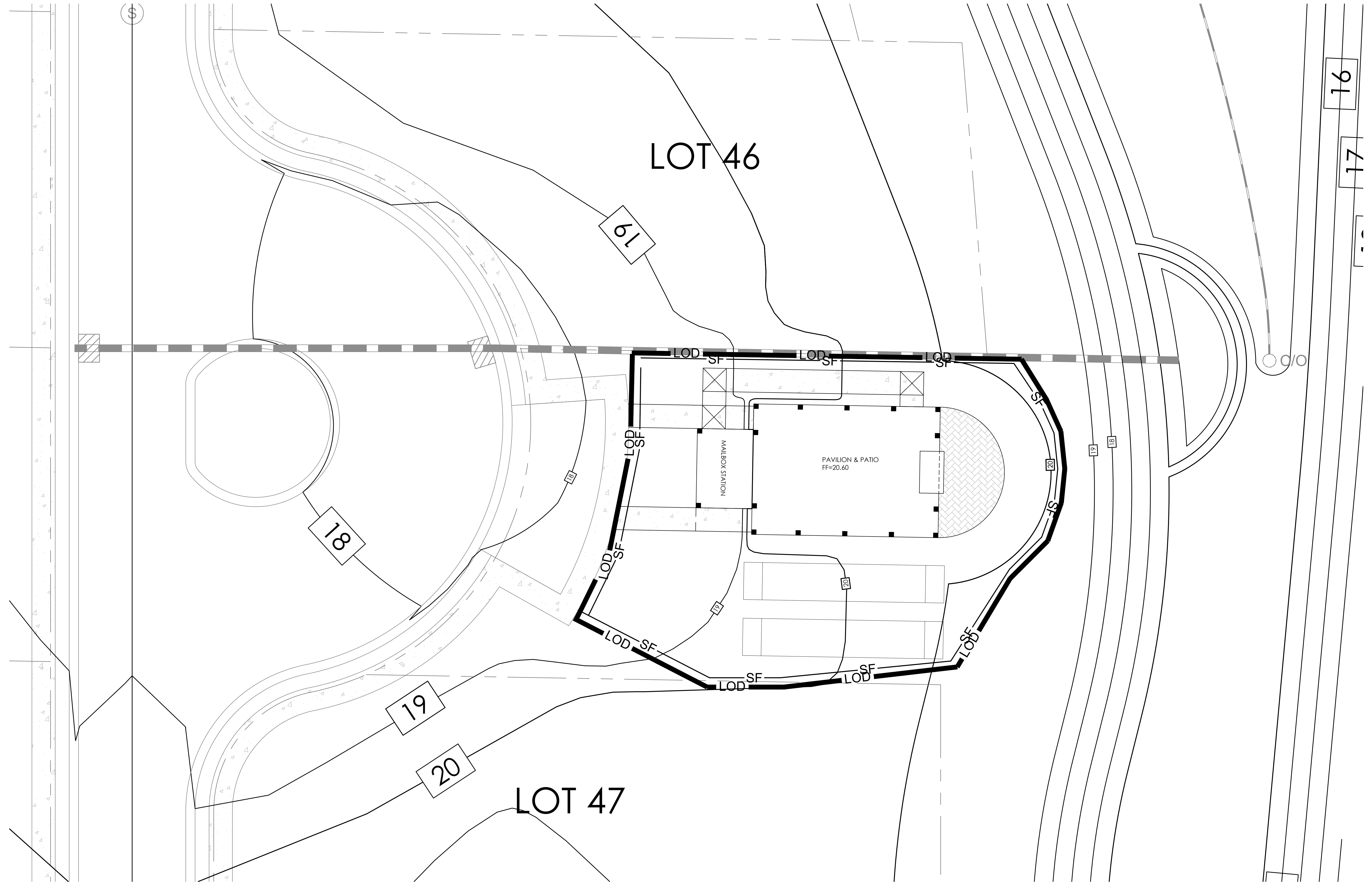
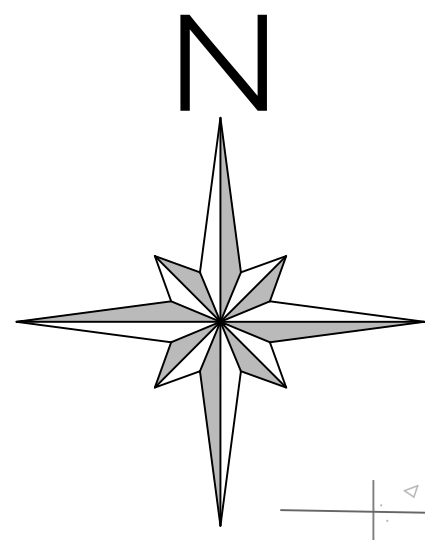
for  
**HAILEYS GLEN**  
 SUSSEX COUNTY, DELAWARE

Date:	07-28-21
Job Number:	17039
Scale:	1"=20'
Drawn By:	HHB
Designed By:	HHB
Approved By:	JIP

Sheet No.: **4**

File Name: site





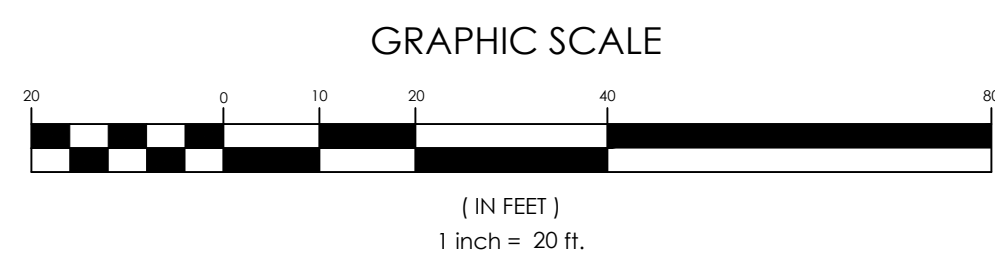
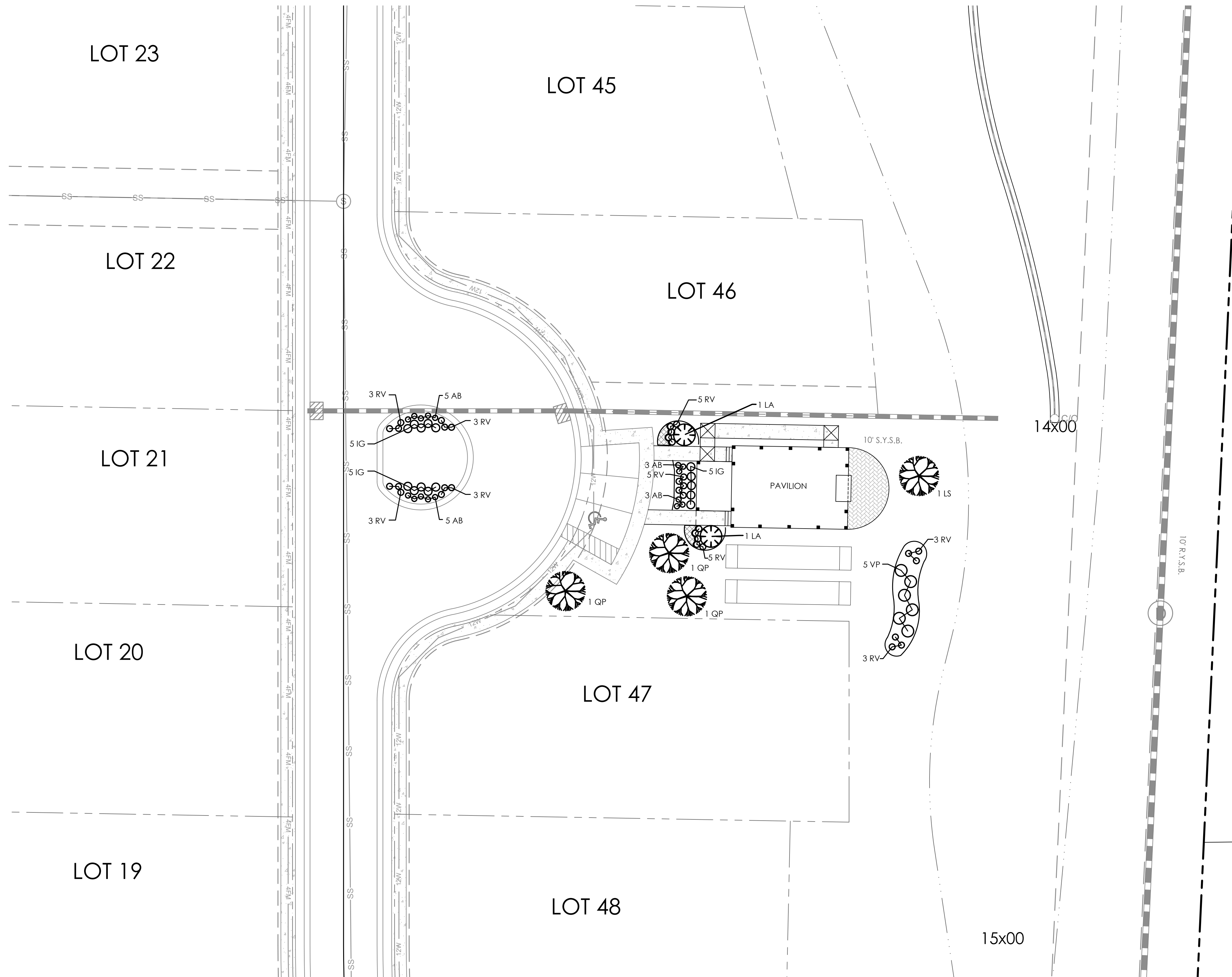
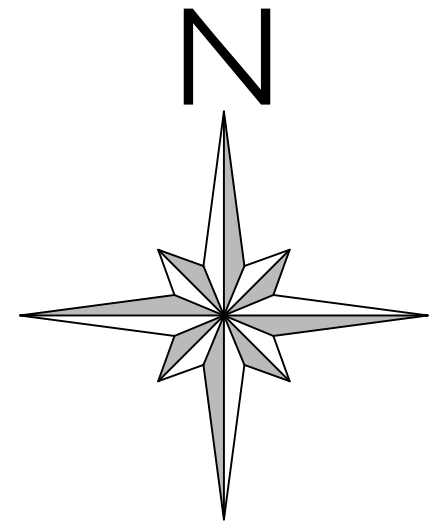
Seal \_\_\_\_\_  
Date \_\_\_\_\_

NO.	DATE	DESCRIPTION
1	9-29-21	REVISIONS PER PZ COMMENTS DATED 9-28-21
2	3-21-22	REVISED MAIL STATION LOCATION

EROSION & SEDIMENT CONTROL PLAN  
for  
**HAILEYS GLEN**  
SUSSEX COUNTY, DELAWARE

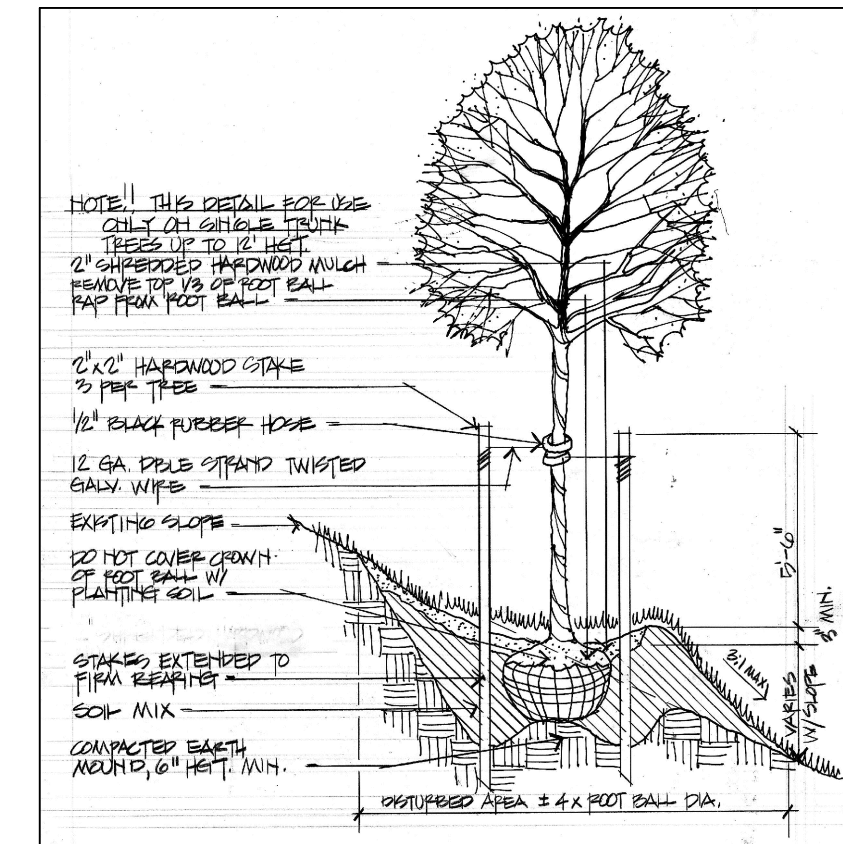
Date:	07-28-21
Job Number:	17039
Scale:	1"=10'
Drawn By:	HHB
Designed By:	HHB
Approved By:	JP



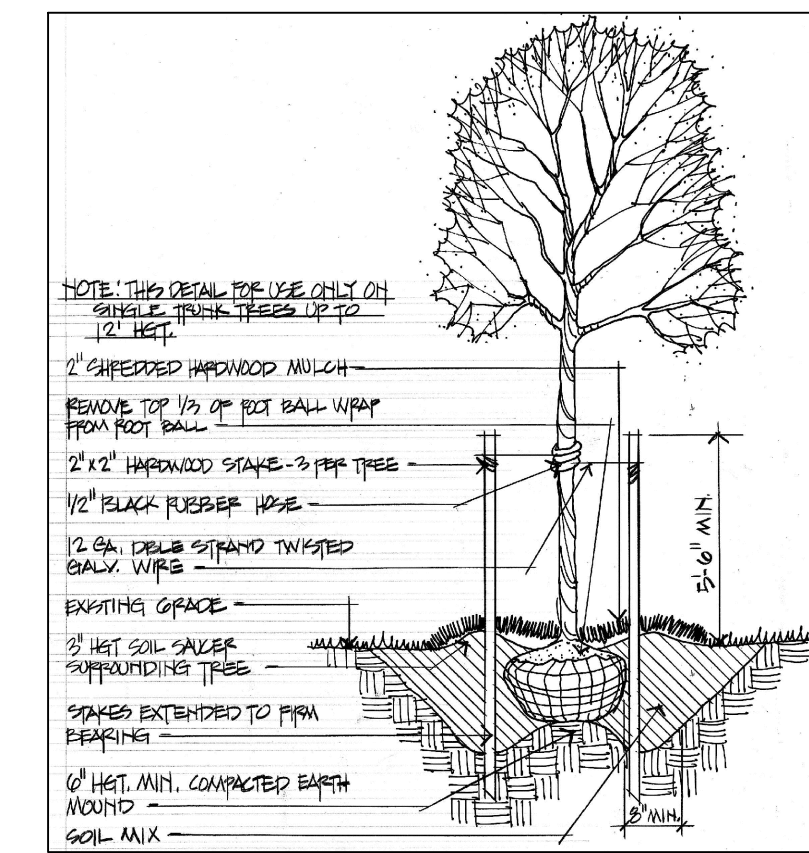


PLANT KEY

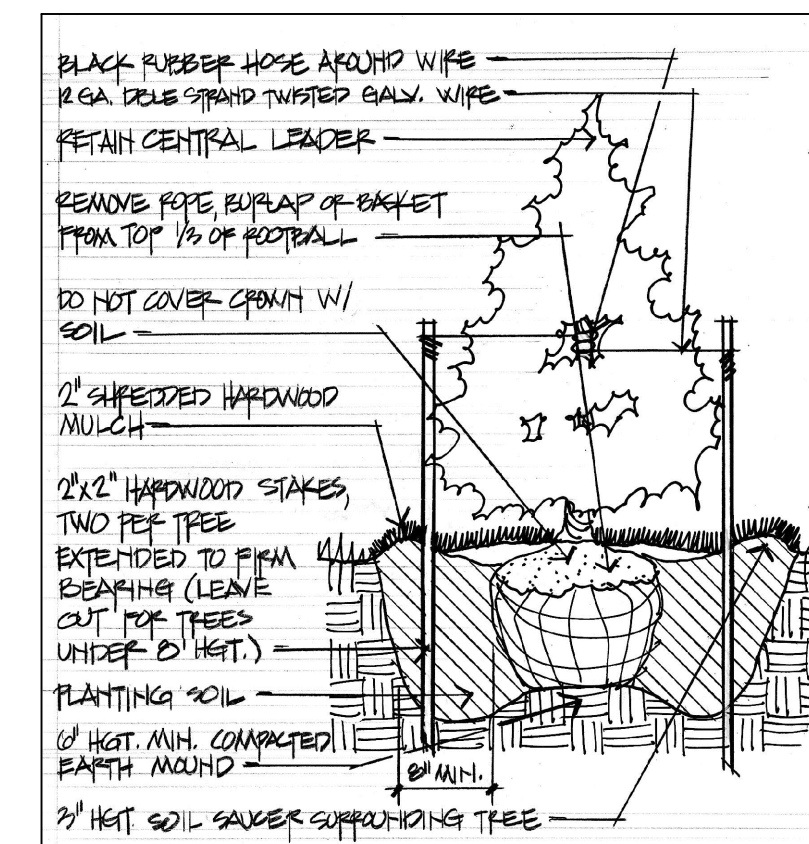
SYM.	ABB.	DESCRIPTION	SIZE
☼	LA	CRAPE MYRTLE LAGERSTROEMIA	8-10' HT
☼	AR	SWEETGUM LIQUIDAMBAR STYRACIFLUA	3.5-4' CAL.
☼	QP	PIN OAK QUESCUS PALUSTRIS	2-2.5' CAL.
○	IG	INKBERRY ILEX GLABRA	20-30"
○	AB	RED CHOKEBERRY ARONIA ARBUTIFOLIA	18-24"
○	RV	SWAMP AZALEA RHODODENDRON VISCOSUM	18-24"
○	VP	SUMMER SNOWFLAKE VIBURNUM VIBURNUM PLICATUM TOMENTOSUM	24-30"
▨	AA	ANNUALS	6"



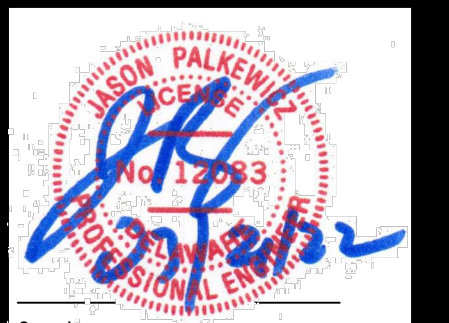
TREE PLANTING ON SLOPE DETAIL



DECIDUOUS TREE PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL

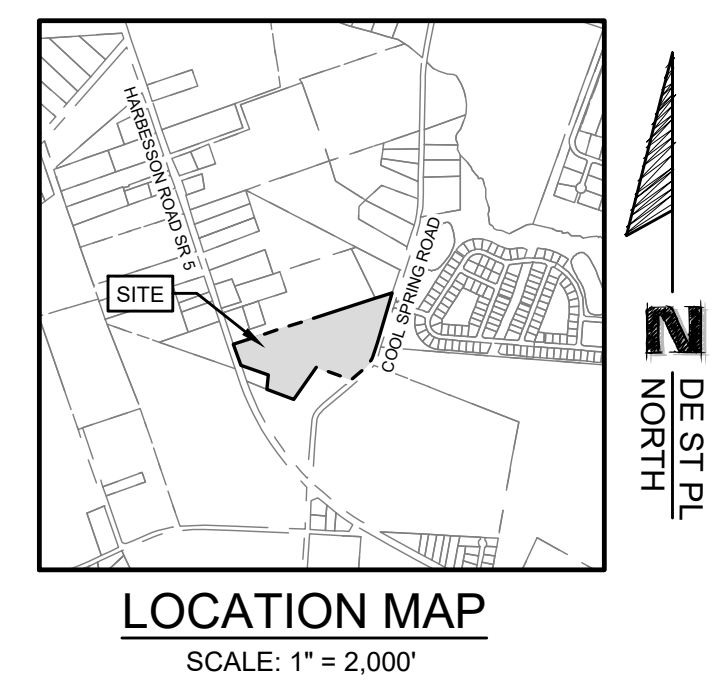
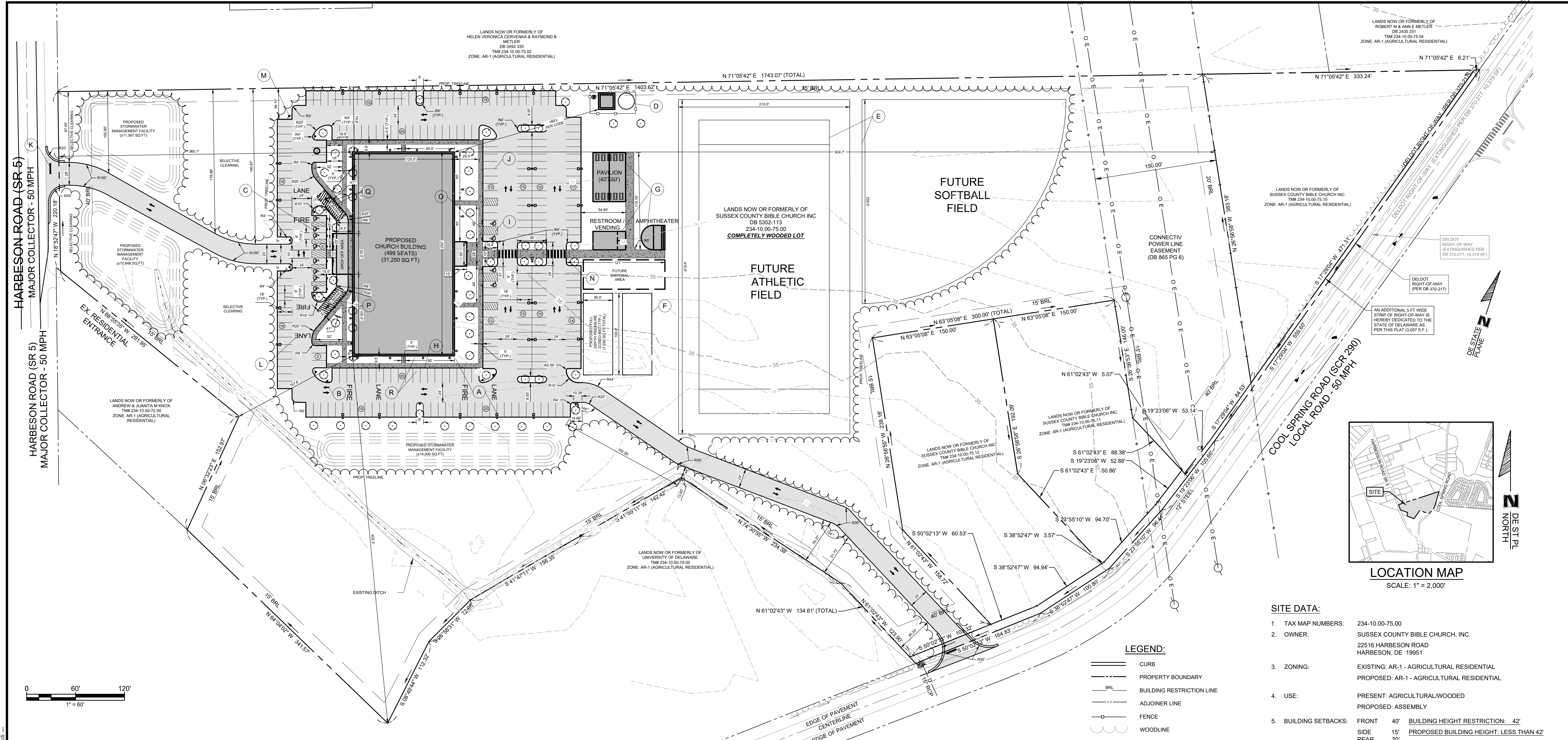


Seal  
Date

NO.	DATE	DESCRIPTION
1	9-29-21	REVISIONS PER PZ COMMENTS DATED 9-28-21
2	3-21-22	REVISED MAIL STATION LOCATION

LANDSCAPE PLAN  
for  
**HAILEYS GLEN**  
SUSSEX COUNTY, DELAWARE

Date:	07-28-21
Job Number:	17039
Scale:	1"=20'
Drawn By:	HHB
Designed By:	HHB
Approved By:	JIP



**SITE DATA:**

- TAX MAP NUMBERS: 234-10.00-75.00
- OWNER: SUSSEX COUNTY BIBLE CHURCH, INC.  
22516 HARBESON ROAD  
HARBESON, DE 19951
- ZONING: EXISTING: AR-1 - AGRICULTURAL RESIDENTIAL  
PROPOSED: AR-1 - AGRICULTURAL RESIDENTIAL
- USE: PRESENT: AGRICULTURAL/WOODED  
PROPOSED: ASSEMBLY
- BUILDING SETBACKS: FRONT 40' BUILDING HEIGHT RESTRICTION: 42'  
SIDE 15' PROPOSED BUILDING HEIGHT: LESS THAN 42'  
REAR 20'
- TOTAL NUMBER OF LOTS: EXISTING: 1  
PROPOSED: 1
- AREA: EXISTING: 777,443 S.F. (17.85 AC)  
DEVELOPED: 154,589 S.F. (3.55 AC)
- SEWER PROVIDER: ON SITE SEPTIC
- WATER PROVIDER: ON SITE WELL
- THIS PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOOD ZONE, DELINEATED BY THE NATIONAL FLOOD INSURANCE PROGRAM AS SHOWN AS ON FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 10005C0340K REVISED MARCH 16, 2015 (ZONE X).
- NO WETLANDS ARE LOCATED ON-SITE PER THE HYDROLOGY EVALUATION PERFORMED BY KENNETH W. REDINGER ENVIRONMENTAL SERVICES.
- POSTED SPEED LIMIT: COOL SPRING ROAD = 50 MPH (NOT POSTED)  
HARBESON ROAD = 50 MPH (NOT POSTED)
- PROXIMITY TO DELDOT TID AREA: ±2 MILES
- SITE IS NOT WITHIN WELLHEAD PROTECTION AREA
- RECHARGE AREA: FAIR
- FIRE DISTRICT: MILTON
- VERTICAL DATUM: NAVD 88
- HORIZONTAL DATUM: NAV 83
- POSTED SPEED LIMIT: 50 MPH (HARBESON ROAD)

**PARKING / LOADING REQUIREMENTS:**

OFF-STREET PARKING - (PER CODE SECTIONS 115-162A & 45-5)

REQUIRED PARKING	125 SPACES REQUIRED
CHURCH - 1 FER 4 SEATS (499 SEATS)	7 SPACES REQUIRED
HANDICAP PARKING (201-300 PARKING SPACES)	
TOTAL PARKING PROVIDED	257 PARKING LOT SPACES
	+ 12 HANDICAP SPACES
	= 269 TOTAL PARKING SPACES PROVIDED
LOADING AREA:	2 SPACES REQUIRED
	2 SPACES PROVIDED (12x40)

**LEGEND:**

- CURB
- PROPERTY BOUNDARY
- BUILDING RESTRICTION LINE
- ADJOINER LINE
- FENCE
- WOODLINE
- STORM WATER PIPE
- EASEMENT
- EXISTING CONTOUR
- GASLINE
- SEWERLINE
- EXISTING SPOT
- BUILDING
- IRON PIPE FOUND
- CAPPED IRON PIPE FOUND
- CONCRETE MONUMENT FOUND
- UTILITY POLE
- NUMBER OF PARKING SPACES SYMBOL
- CONCRETE
- KEYED NOTE
- HANDI-CAPPED PARKING
- SINGLE UNIT PARKING LOT LIGHT FIXTURE
- DOUBLE UNIT PARKING LOT LIGHT FIXTURE
- DIRECTIONAL MARKERS
- BUILDING EXTERIOR LIGHT FIXTURE
- PARKING INDICATOR SIGN
- STRIPPED "NO PARKING AREA"
- TREE

**PROJECT TEAM**

OWNER/DEVELOPER  
SUSSEX COUNTY BIBLE CHURCH  
22516 HARBESON ROAD  
HARBESON, DE 19951

SITE ENGINEER  
SCALED ENGINEERING, INC.  
20246 COASTAL HIGHWAY  
REHOBOTH BEACH, DE 19971  
(302) 227-7608  
CARLTON@SCALEDENGINEERING.COM

ARCHITECT  
TBD

**SUSSEX CONSERVATION DISTRICT**  
THE UNDERSIGNED, HEREBY CERTIFIES THESE PLAN MEET AND OR EXCEED THE REGULATIONS AND REQUIREMENTS UPHELD BY THE SUSSEX COUNTY CONSERVATION DISTRICT.

REVIEWER NAME PRINTED \_\_\_\_\_ DATE \_\_\_\_\_  
REVIEWER SIGNATURE \_\_\_\_\_

**OWNER CERTIFICATION:**  
WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT WE DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

OWNER NAME PRINTED \_\_\_\_\_ DATE \_\_\_\_\_  
OWNER SIGNATURE \_\_\_\_\_

**ENGINEERS CERTIFICATION**  
I, CARLTON R. SAVAGE, JR., HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

CARLTON R. SAVAGE, JR., P.E. (LICENSE #16457) \_\_\_\_\_ DATE \_\_\_\_\_

- KEYED NOTES**
- CONTRACTOR TO COORDINATE ELECTRICAL REQUIREMENTS PRIOR TO INSTALLATION
  - THERMOPLASTIC DIRECTIONAL MARKERS
  - "HANDICAPPED PARKING ONLY" SIGNS AND STRIPPING AS REQUIRED.
  - WELL PUMP HOUSE AND STORAGE TANK FOR FIRE PROTECTION SYSTEM BY OTHER.
  - FUTURE ATHLETIC FIELDS TO BE PERVIOUS IN NATURE (GRASS FIELD)
  - PROPOSED SEPTIC LOCATION PER SOIL TESTING BY OTHER
  - ARCHITECT TO PROVIDE DETAILS REGARDING OUTDOOR ASSEMBLY AREAS, AND EXTERIOR BUILDINGS
  - P.C.C. CURB TYPE 1-6
  - 45" 4" BLUE PAINTED DEMARCATION LINES
  - 4" WHITE PAINTED DEMARCATION LINES
  - THERMOPLASTIC STOP BAR
  - THERMOPLASTIC FIRE LANE MARKINGS
  - "NO PARKING" FIRE LANE SIGN
  - THERMOPLASTIC CROSSWALK MARKINGS
  - SLOPED ADA ACCESS PER CODE
  - "ONE WAY" SIGN
  - "DO NOT ENTER" SIGN
  - FIRE DEPARTMENT CONNECTION AND UNINTERRUPTED ACCESS AREA

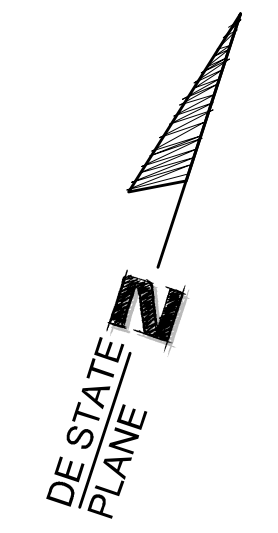
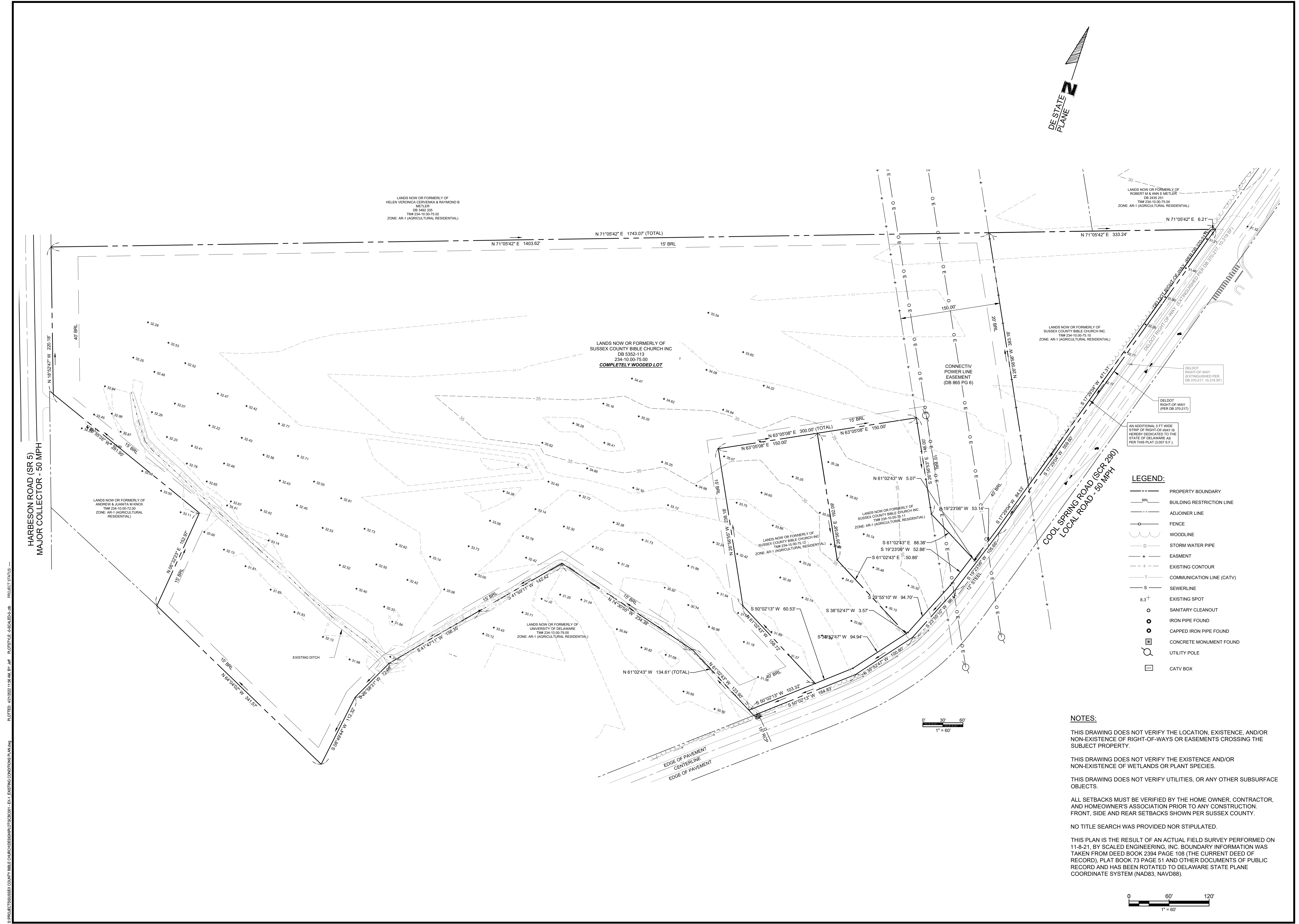
**SCALED ENGINEERING**  
Scaled Engineering Inc.  
20246 Coastal Highway  
Rehoboth Beach, DE 19871  
Phone: (302) 227-7608

**SUSSEX COUNTY BIBLE CHURCH**  
TM: 234-10.00-75.00  
COOL SPRING ROAD - SCR 290  
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

**SITE PLAN**

DATE: 4-21-22  
Scale: 1" = 60'  
Dwn. By: JRE  
Proj. No.: SCBC001  
Dwg. No.: C-1

THIS DRAWING INCLUDING DESIGN AND CONSTRUCTION FEATURES ARE PROPRIETARY TO SCALED ENGINEERING INC. AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION. COPYRIGHT © 2020



- LEGEND:**
- PROPERTY BOUNDARY
  - BRL BUILDING RESTRICTION LINE
  - ADJOINER LINE
  - FENCE
  - WOODLINE
  - S STORM WATER PIPE
  - E EASEMENT
  - EXISTING CONTOUR
  - T COMMUNICATION LINE (CATV)
  - S SEWERLINE
  - 8.3' EXISTING SPOT
  - SANITARY CLEANOUT
  - IRON PIPE FOUND
  - CAPPED IRON PIPE FOUND
  - CONCRETE MONUMENT FOUND
  - UTILITY POLE
  - CATV BOX

**NOTES:**

THIS DRAWING DOES NOT VERIFY THE LOCATION, EXISTENCE, AND/OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS CROSSING THE SUBJECT PROPERTY.

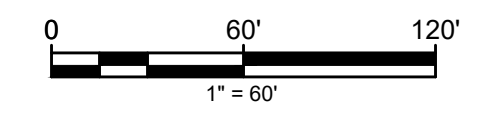
THIS DRAWING DOES NOT VERIFY THE EXISTENCE AND/OR NON-EXISTENCE OF WETLANDS OR PLANT SPECIES.

THIS DRAWING DOES NOT VERIFY UTILITIES, OR ANY OTHER SUBSURFACE OBJECTS.

ALL SETBACKS MUST BE VERIFIED BY THE HOME OWNER, CONTRACTOR, AND HOMEOWNER'S ASSOCIATION PRIOR TO ANY CONSTRUCTION. FRONT, SIDE AND REAR SETBACKS SHOWN PER SUSSEX COUNTY.

NO TITLE SEARCH WAS PROVIDED NOR STIPULATED.

THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED ON 11-8-21, BY SCALED ENGINEERING, INC. BOUNDARY INFORMATION WAS TAKEN FROM DEED BOOK 2394 PAGE 108 (THE CURRENT DEED OF RECORD), PLAT BOOK 73 PAGE 51 AND OTHER DOCUMENTS OF PUBLIC RECORD AND HAS BEEN ROTATED TO DELAWARE STATE PLANE COORDINATE SYSTEM (NAD83, NAVD88).



**SUSSEX COUNTY BIBLE CHURCH**  
 TM: 234-10.00-75.00  
 COOL SPRING ROAD - SCR 290  
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

DATE	REVISIONS

Date: 4-21-22  
 Scale: 1" = 60'  
 Dwn.By: JRE  
 Proj.No.: SCBC001  
 Dwg.No.:

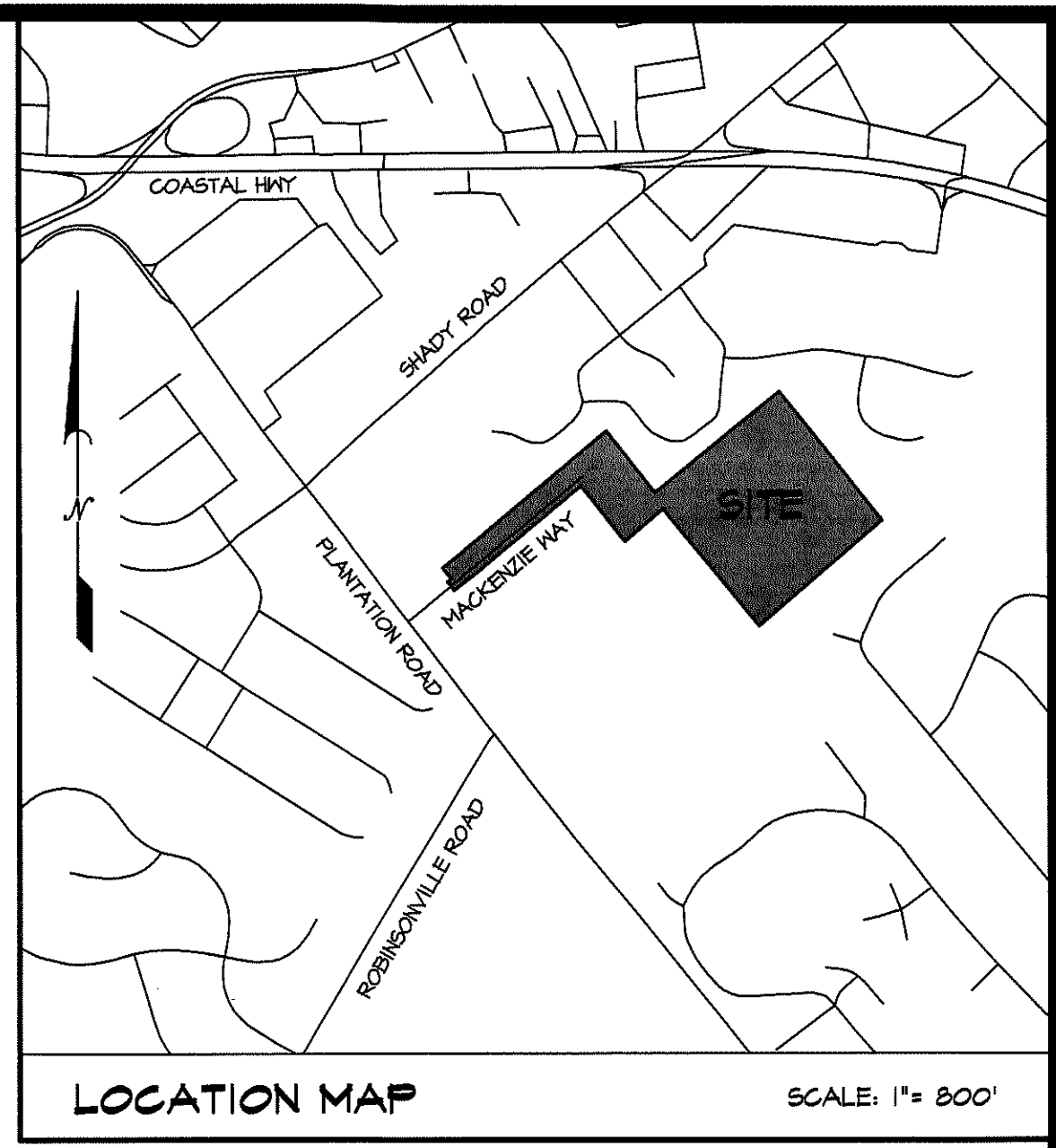
**EX-1**

**SCALED ENGINEERING**

Scalped Engineering Inc.  
 2000 Highway 108  
 Rehoboth Beach, DE 19871  
 Phone: (302) 227-7608

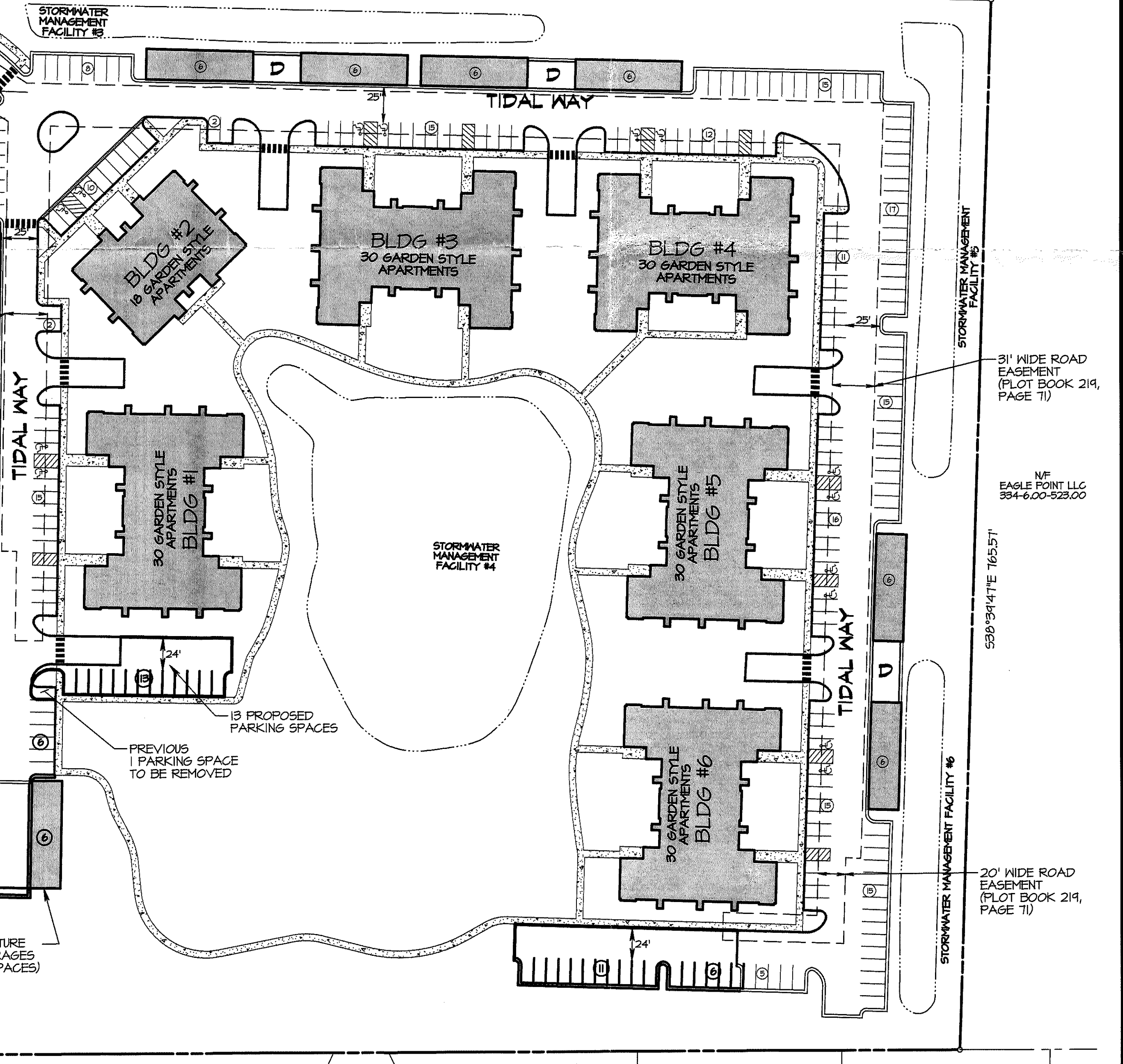
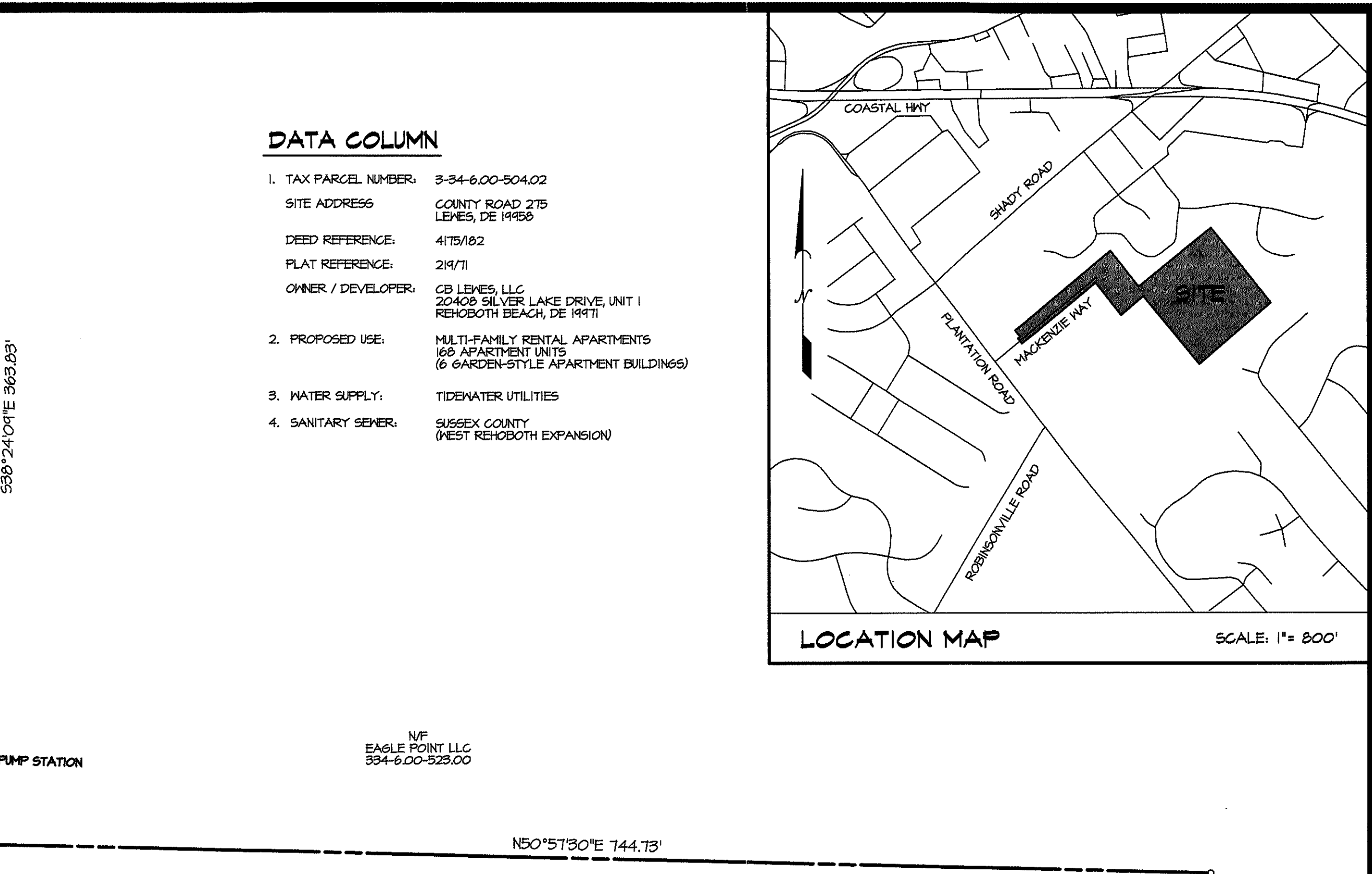
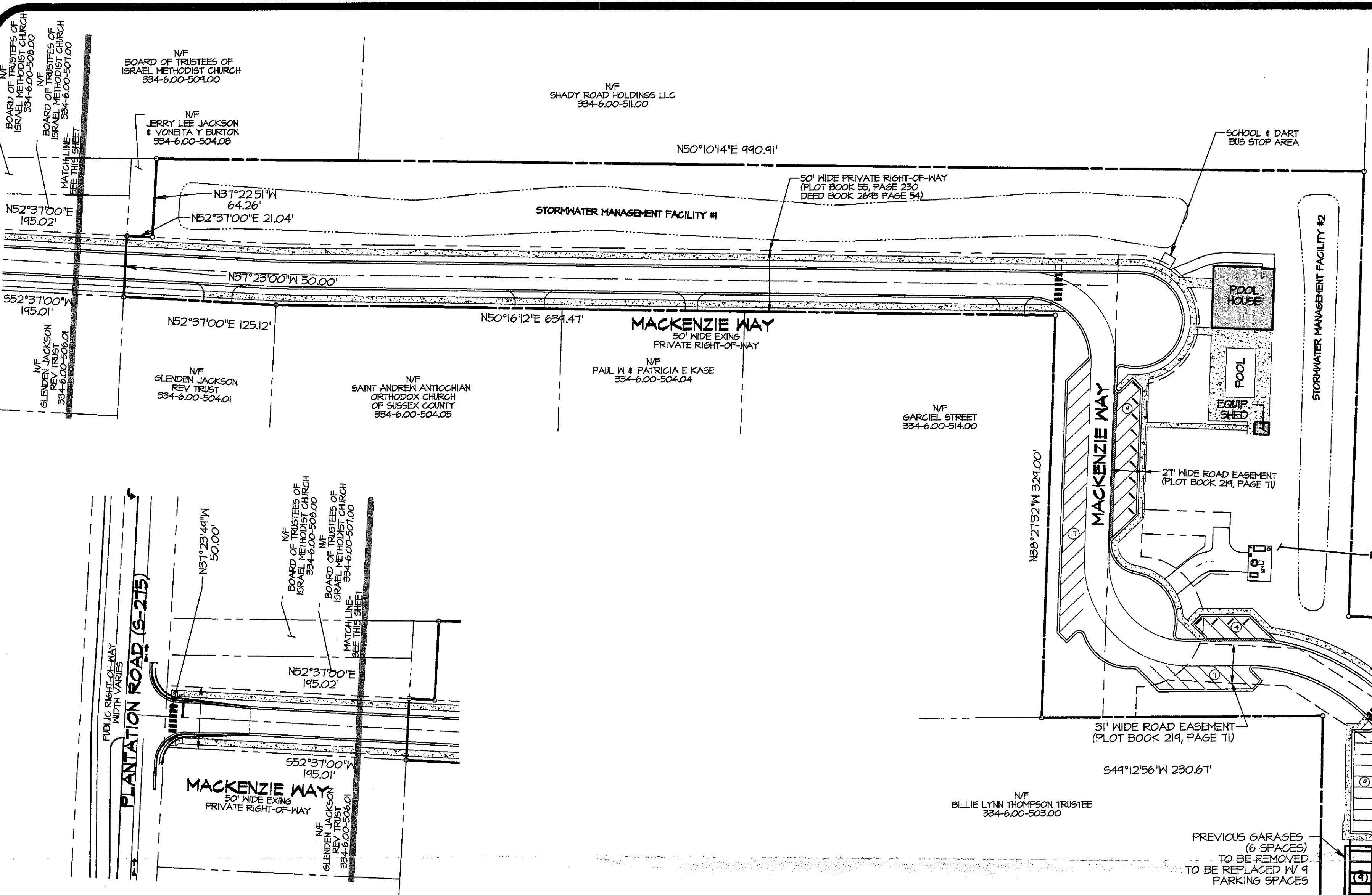
**EXISTING CONDITIONS PLAN**

S:\PROJECTS\SUSSEX COUNTY BIBLE CHURCH\SCHEMATIC\SCHEMATIC.dwg PLOTTED: 4/21/22 11:58 AM BY: JRE PROJECT STATUS:



**DATA COLUMN**

- TAX PARCEL NUMBER: 3-34-6.00-504.02  
 SITE ADDRESS: COUNTY ROAD 275 LEWES, DE 19956  
 DEED REFERENCE: 4175/02  
 PLAT REFERENCE: 214/71  
 OWNER / DEVELOPER: CB LEWES, LLC  
 20408 SILVER LAKE DRIVE, UNIT 1  
 REHOBOTH BEACH, DE 19471
- PROPOSED USE: MULTI-FAMILY RENTAL APARTMENTS  
 168 APARTMENT UNITS  
 (6 GARDEN-STYLE APARTMENT BUILDINGS)
- WATER SUPPLY: TIDEWATER UTILITIES
- SANITARY SEWER: SUSSEX COUNTY  
 (WEST REHOBOTH EXPANSION)



**PURPOSE OF PLAN**

THE PURPOSE OF THIS PLAN IS TO PROVIDE AN ADDITIONAL 37 PARKING SPACES AND PROPOSE A FUTURE 12 GARAGE PARKING SPACES.

**PARKING CALCULATIONS:**

168 UNITS \* 2 SPACES/UNIT = 336 SPACES  
 336-50 = 286 SPACES  
 286 SPACES \* 85% = 243 SPACES  
 244 + 50 SPACES = 294 SPACES REQUIRED  
 SPACES PREVIOUSLY PROVIDED = 244 SPACES  
 ADDITIONAL SPACES PROPOSED BY THIS PLAN = 37 SPACES  
 ADDITIONAL FUTURE GARAGE PARKING SPACES PROPOSED BY THIS PLAN = 12 SPACES  
 TOTAL PROPOSED PARKING = 349 SPACES  
 HANDICAPPED SPACES REQUIRED = 8 SPACES (1 SPACE WITH 8' ACCESS AISLE)  
 HANDICAPPED SPACES PROVIDED = 14 SPACES (8' MIN ACCESS AISLES)

**SUPERSEDES NOTE**

THIS PLAN SUPERSEDES IN PART THE APPROVED FINAL SITE PLAN DATED JANUARY 11, 2014, LAST REVISED AUGUST 4, 2015 FOR THE FORMERLY KNOWN ARBORS OF COTTAGEDALE, RECORDED WITHIN THE SUSSEX COUNTY RECORDER OF DEEDS, BK: 214 PG 71.  
 THIS PLAN SUPERSEDES IN PART THE APPROVED REVISED SITE AMENITIES PLANS DATED JANUARY 11, 2014, LAST REVISED MARCH 7, 2014 FOR THE FORMERLY KNOWN ARBORS OF COTTAGEDALE, RECORDED WITHIN THE SUSSEX COUNTY RECORDER OF DEEDS, BK: 214 PG 80.  
 THIS PLAN SUPERSEDES IN PART THE REVISED ROAD NAME PLAN DATED JANUARY 28, 2020 FOR THE FORMERLY KNOWN ARBORS OF COTTAGEDALE, RECORDED WITHIN SUSSEX COUNTY RECORDER OF DEEDS, BK: 309 PG 48.

**ENGINEER CERTIFICATION**

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES.

COLIN M. KRAUCIUSAS, P.E. DATE  
 DE LICENSE NO. 14808

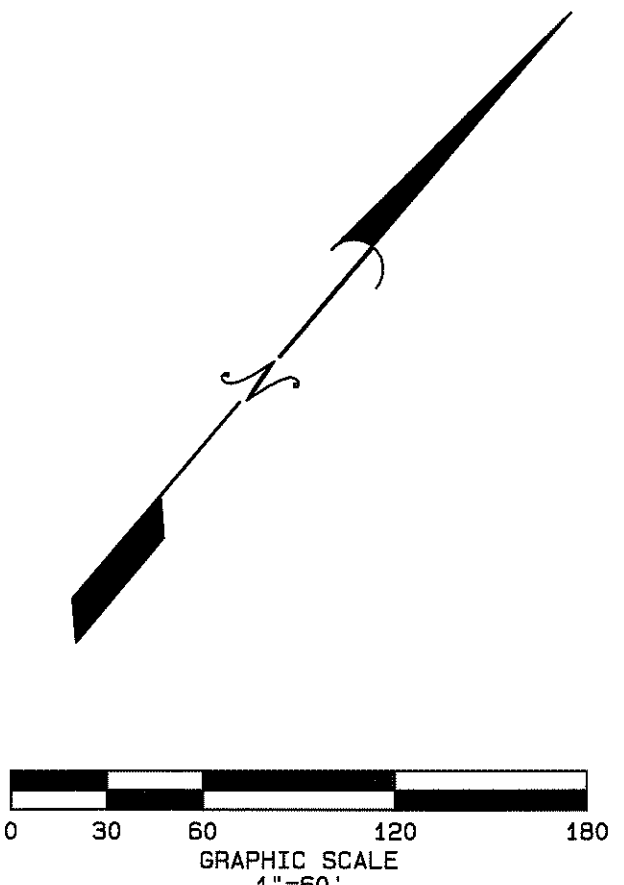
**OWNERS CERTIFICATION**

WE HEREBY CERTIFY THAT WE ARE THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN. THAT THE PLAN WAS MADE AT OUR DIRECTION AND WE ACKNOWLEDGE THE SAME TO BE OUR ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

CB LEWES, LLC - NAME:  
 TITLE:

**LEGEND:**

PROPERTY BOUNDARY	---
RIGHT-OF-WAY LINE	---
EXISTING PARKING/STRIPING	---
PROPOSED FENCE	-X-X-
PROPOSED ROADWAY EASEMENT	---
PROPOSED PAVING/STRIPING	---
PROPOSED BUILDING	---



SEAL

AMENDED SITE PLAN  
 ARBORS OF COTTAGEDALE  
 LEWES AND REHOBOTH HUNDRED  
 SUSSEX COUNTY, DELAWARE

DATE	REVISION
12-23-21	
DRAWN BY: AH/RTN	
CHECKED BY: CMK	
PROJ. NO.: 4202	
SCALE: 1"=60'	
CAD FILE NAME: 4202B02-SP-C-PRO	

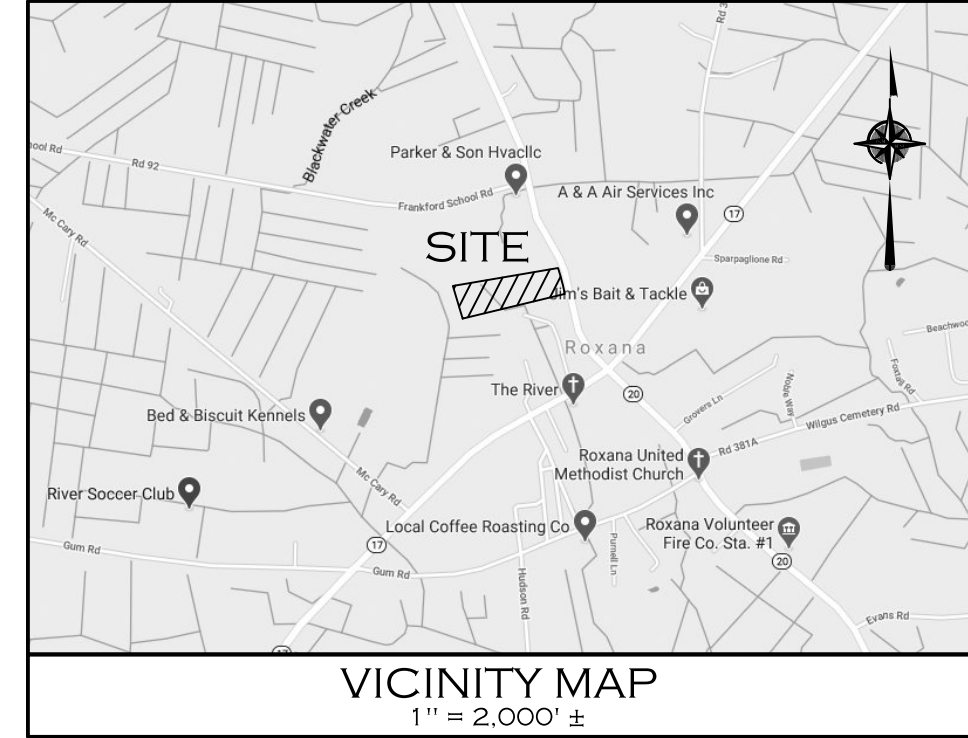
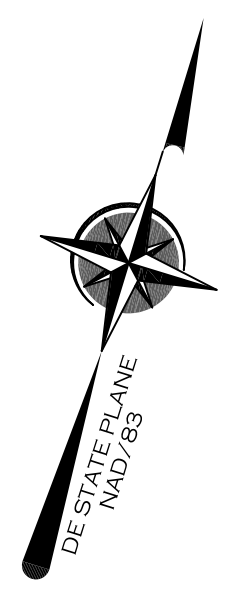
**NOTES**

- THE PROPERTY SHOWN HEREON IS CURRENTLY OWNED BY JOSHUA & KIRSTEN LOOSE, P. O. BOX 176 SELBYVILLE, DE. 19875  
PHONE:
- DEED REF: 5465/126
- PLAT REF: N/A
- TAX MAP: 533-5.00-73.00 1 EXISTING LOT  
NUMBER OF PROPOSED LOTS: 4  
AREAS:  
LOT 1 2.60 ACRES±  
LOT 2 1.11 ACRES±  
LOT 3 1.25 ACRES±  
LOT 4 3.04 ACRES±  
DEDICATION 0.10 ACRES±  
TOTAL 8.10 ACRES±
- ZONING: AR-1  
SETBACKS: FRONT = 40'  
SIDE = 15'  
REAR = 20'
- PRESENT USE: AGRICULTURAL/RESIDENTIAL  
PROPOSED USE: AGRICULTURAL/RESIDENTIAL
- PRIVATE WATER & SEWER WILL BE REQUIRED FOR PROPOSED LOTS.
- CLASSIFICATION OF SURVEY: SUBURBAN
- LOT 1, LOT 2, LOT 3, & LOT 4 SHALL ACCESS TO SCR 382, PYLE CENTER ROAD VIA THE 50'-FOOT WIDE INGRESS/EGRESS EASEMENT AS SHOWN ON THIS PLAT.
- ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO CONSTRUCTION ACTIVITY SHALL OCCUR IN THE RIGHT-OF-WAY (ROW) WITHOUT A DELDOT PERMIT.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA TO BE ESTABLISHED. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT OF WAY OR PROJECTS ON TO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- THE SPEED LIMIT FOR SCR 382 (PYLE CENTER ROAD) IS THIRTY-FIVE (35) M.P.H.
- 11 MILE PROXIMITY TO HENLOPEN TID.
- INTENDED USE OF BUILDINGS WITHIN THIS SUBDIVISION SHALL BE PER NFPA 101 OCCUPANCY DEFINITIONS.
- PROPOSED BUILDING CONSTRUCTION TYPE PER NFPA 220, STANDARD ON TYPES OF BUILDING CONSTRUCTION.
- AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR STRUCTURES ON RESIDENTIAL LOTS.
- THE MINIMUM PAVED RADIUS OF A CUL-DE-SAC IS 38 FEET UNOBSTRUCTED AS ILLUSTRATED IN FIGURE 5-1 DSFPR REGULATION 705, CHAPTER 5, SECTION 2.3.2.
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.

**NOTE**

FOR ANY NEW SUBDIVISION DEVELOPMENT LOCATED IN WHOLE OR IN PART WITHIN 300 FEET OF THE BOUNDARY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES, THE OWNER OF THE DEVELOPMENT SHALL PROVIDE IN THE DEED RESTRICTIONS AND ANY LEASES OR AGREEMENTS OF SALE FOR ANY RESIDENTIAL LOT OR DWELLING UNIT THE FOLLOWING NOTICE: "THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES".

**DeIDOT**  
**NO OBJECTION TO RECORDATION**  
March 25, 2022  
DATE



**SURVEYOR'S NOTE**

OTHER THAN SHOWN, THIS SURVEY PLAT DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHTS-OF-WAY OR EASEMENTS ON THIS PROPERTY. NO TITLE SEARCH WAS REQUESTED OR PERFORMED.

**OWNER CERTIFICATION**

WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT WE DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

JOSHUA LOOSE \_\_\_\_\_ DATE  
KIRSTEN LOOSE \_\_\_\_\_ DATE

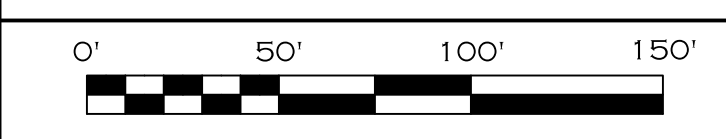
**LAND SURVEYOR CERTIFICATION**

I, BRADLEY A. ABSHER, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND IN MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

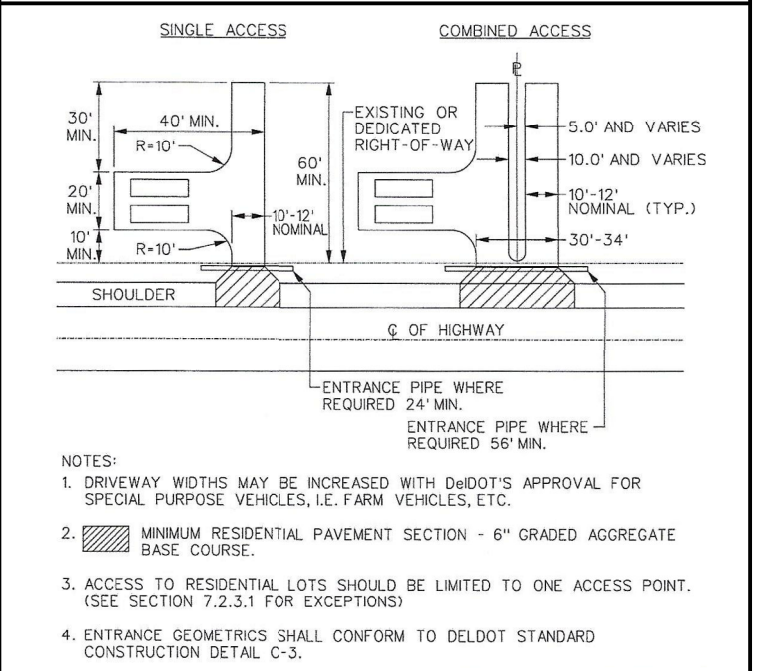
BRADLEY A. ABSHER \_\_\_\_\_ DATE  
PROFESSIONAL LAND SURVEYOR # 735

**LEGEND**

- CONCRETE MONUMENT FOUND
- IRON PIPE FOUND
- IRON ROD & CAP FOUND
- IRON ROD & CAP SET
- POINT
- UTILITY POLE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING CENTERLINE OF ROAD
- EXISTING R.O.W. LINE



DELDOT DEVELOPMENT COORDINATION MANUAL  
FIGURE 7.2.3.3-A  
RESIDENTIAL ACCESS DESIGN REQUIREMENTS



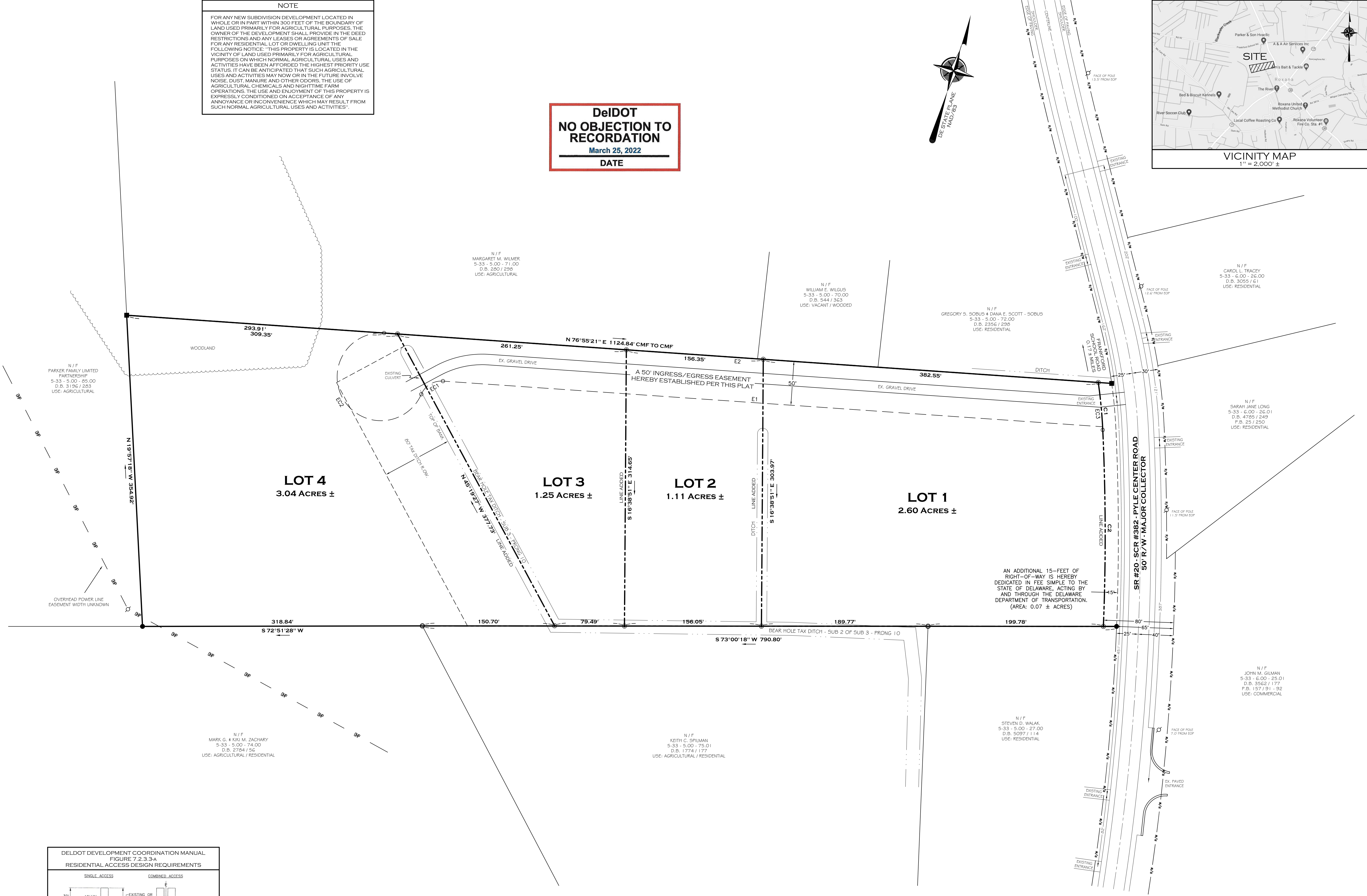
PROPERTY LINE TABLE			
LINE	BEARING	DISTANCE	ANCHOR
E1	S 76°55'21" E	1124.84'	CMF TO CMF
E2	N 76°55'21" E	1124.84'	CMF TO CMF

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	559.39	243.33	S 22°26'45" E	64.31'
C2	2623.29	223.83'	S 17°13'18" E	223.76'

90° INGRESS/EGRESS EASEMENT CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
E1	25.00'	30.77'	S 41°39'29" W	28.87'
E2	50.00'	61.63'	N 48°20'51" W	61.68'
E3	50.00'	61.63'	S 22°37'50" E	60.70'



TAX MAP # 533-5.00-73.00  
STATE DELAWARE  
COUNTY SUSSEX  
HUNDRED BALTIMORE  
TOWN - - -  
DEED REF. 5465 / 126  
PLAT REF. - - -  
DRAWN BY CJP  
DATE 03 / 04 / 2022  
REVISED 03 / 08 / 2022  
SCALE 1" = 50'  
SURVEY # DE - 07377  
SHEET # 1 OF 1

**MINOR SUBDIVISION**  
  
OF THE LANDS OF  
**JOSHUA LOOSE & KIRSTEN LOOSE**  
  
PYLE CENTER ROAD, FRANKFORD, DE 19945

**TRUE NORTH**  
  
**LAND SURVEYING**  
38380 ATLANTIC AVENUE  
MILLSVILLE, DE 19967  
DE 302-639-2488