

SUSSEX COUNTY NOTES:
a. THERE SHALL BE NO MORE THAN 2 LOTS WITHIN THE SUBDIVISION.
b. ALL ENTRANCES SHALL COMPLY WITH ALL OF DEL. D.O.T.'S REQUIREMENTS.
c. THE MAINTENANCE OF THE 50 FOOT WIDE INGRESS/EGRESS EASEMENT SHALL BE SHARED EQUALLY BY THE OWNERS OF TAX MAP #133-6.00-PARCELS 56.00, 56.11 AND LOT #1 THEIR HEIRS AND/OR ASSIGNS.



T.M.#133-6.00-53.00
LANDS N/F OF
STOCKLEY SAND GRAVEL LLC
DB 3786-19
ZONED: AR-1

Table with columns: CURVE, ARC LENGTH, RADIUS, DELTA ANGLE, CHORD BEARING, CHORD LENGTH. Contains data for curves C1 and C2.

Table with columns: LINE, BEARING, DISTANCE. Lists line segments L1 through L6 with their respective bearings and distances.

T.M.#133-6.00-6.00
LANDS N/F OF
ANN M. COUCH
DB 584-851
ZONED: AR-1

T.M.#133-6.00-56.11
RESIDUAL LANDS OF
STEVE G. AXE, SR.
DB 2729-74
3.8588 ACRES

LOT #1
1.1433 Acres

DATA COLUMN:
T.M.#133-6.00-56.11
ZONING: AR-1
TRACT AREA: 5.0021 ACRES± (INCLUDING RESIDUAL AREA)
EXISTING LOTS: 1
PROPOSED LOTS: 1 NEW (2 TOTAL INCLUDING RESIDUAL LANDS)
PRESENT USE: AGRICULTURAL
PROPOSED USE: AGRICULTURAL/RESIDENTIAL
ACCESS: S.C.R. 322 (BUNTING RD.)
ROADWAY CLASSIFICATION: LOCAL ROADWAY
WATER AND SEWER: INDIVIDUAL ON-SITE
100 YEAR FLOODPLAIN: SITE IS NOT IMPACTED
AS PER FIRM #10005CO188K DATED 3/16/15
THIS PROJECT IS NOT IN THE PROXIMITY OF A TID
SPEED LIMIT ON BUNTING RD. IS 50MPH (UNPOSTED)

NOTES:
1. IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
2. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATIONS (DEL.D.O.T.'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
3. THERE IS A FIFTY FOOT BUILDING SETBACK FROM LANDS USED FOR AGRICULTURAL PURPOSES.
4. LOT #1 SHALL HAVE A SINGLE ACCESS TO SCR 322 VIA THE 50' WIDE INGRESS/EGRESS EASEMENT AS SHOWN ON THIS PLAN. THE RESIDUAL LANDS SHALL HAVE A SINGLE ACCESS TO SCR 322 VIA THE 50' WIDE INGRESS/EGRESS EASEMENT AS SHOWN ON THIS PLAN.
5. THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
6. THE MAINTENANCE OF THE 50 FOOT WIDE INGRESS/EGRESS EASEMENT SHALL BE SHARED EQUALLY BY THE OWNERS OF TAX MAP #133-6.00-PARCELS 56.00, 56.11 AND LOT #1 THEIR HEIRS AND/OR ASSIGNS.

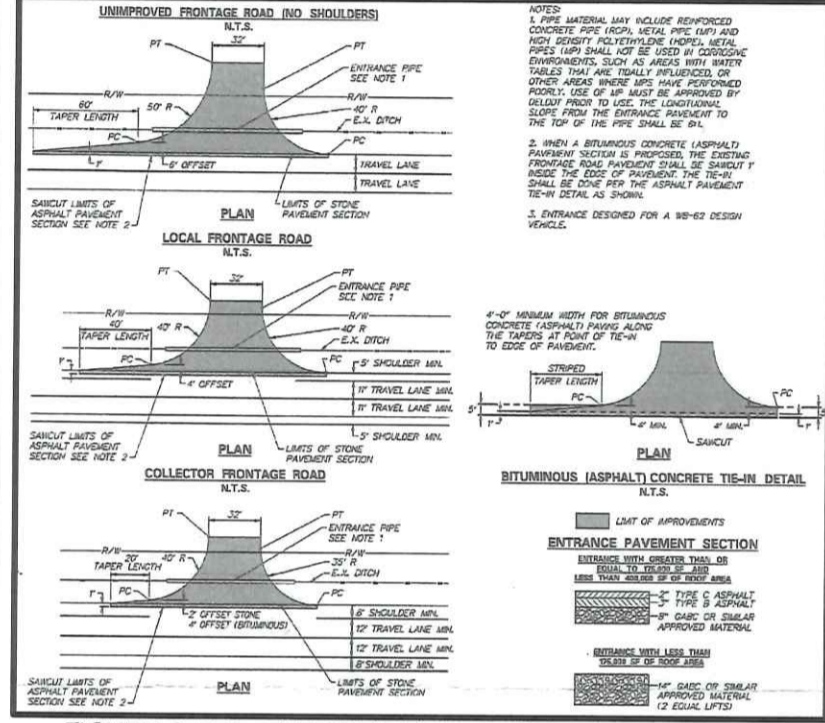
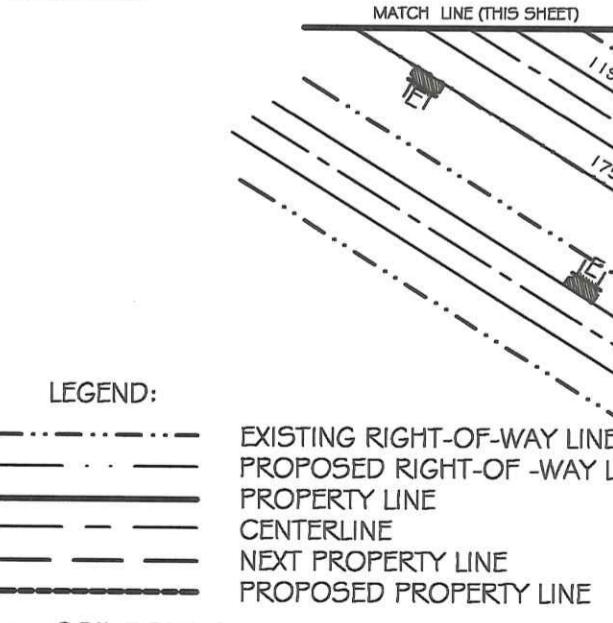


FIGURE 8.5.2-a AGRICULTURAL ENTRANCE DETAIL REFER TO DEL. D.O.T. DEVELOPMENT COORDINATION MANUAL REFERENCE 3.3.3 FOR ADDITIONAL ENTRANCE REQUIREMENTS AND GUIDANCE.

NOTE: SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.

- FIRE MARSHAL NOTES:
1. ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTION SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
2. MAXIMUM HEIGHT: 3 STORIES NOT TO EXCEED 42'.
3. A SINGLE FAMILY DWELLING IS PROPOSED.
4. BUILDING CONSTRUCTION TYPE: NFPA TYPE V WOOD FRAME.
5. AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.



T.M.#133-6.00-55.00
LANDS N/F OF
HERBERT EGBERTS
DB 5100-322
ZONED: AR-1

T.M.#133-6.00-56.20
LANDS N/F OF
JUAN HERRERA & LEON MAURICIO
DB 4916-95
ZONED: AR-1

T.M.#133-6.00-56.02
LANDS N/F OF
JESSE STYERS
DB 3305-272
ZONED: AR-1

T.M.#133-6.00-6.01
LANDS N/F OF
WADE G. & SALLY E. COUCH
DB 2454-142
ZONED: AR-1

T.M.#133-6.00-25.00
LANDS N/F OF
DARRYL J. HUDSON, TRUSTEE
DB 4678-23
ZONED: AR-1

CEMETERY LANDS
REPUTEDLY OF
MARY L. BAKER
ZONED: AR-1

T.M.#133-6.00-56.00
LANDS N/F OF
ADA F. BRINKER
DB 2154-174
ZONED: AR-1

T.M.#133-6.00-56.18
LANDS N/F OF
BRENDA J. THOMPSON
DB 1777-136
ZONED: AR-1

I, STEPHEN M. SELLERS REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.
STEPHEN M. SELLERS PLS 566 10/8/2020 DATE

APPROVED BY:
CHAIRMAN OR SECRETARY OF PLANNING COMM. DATE
PRESIDENT OF COUNTY COUNCIL DATE

I, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT WE DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

WE CERTIFY THAT TITLE 17, SECTION 530 IS APPLICABLE TO THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN FOR VIRTUE OF: (CHECK APPLICABLE SECTION)

THE PARCEL IS SUBDIVIDED INTO NO MORE THAN 2 PARCELS WHICH WILL BE CONTINUED TO BE USED AS A FARM OR FARLAND, OR

X THE SUBDIVIDED PARCEL OR PARCELS WILL BE TRANSFERRED TO A FAMILY MEMBER OR MEMBERS FOR PURPOSES OF USE AS A FAMILY MEMBER OR MEMBERS' PRINCIPAL RESIDENCE OR FARMLAND.

OWNER SIGNATURE: [Signature] DATE: 3-14-21

MAJOR SUBDIVISION PLAN FOR
SCOTT & KAREN ILLIAN

OWNER: STEVE G. AXE, SR.
22027 NASCAR VICTORY RD.
GEORGETOWN, DE. 19947

MILNER LEWIS, INC. LAND SURVEYING
1560 MIDDLEFORD RD.
SEAFORD, DELAWARE 19973
PH: 302-629-9895 FAX: 302-629-2391



SURVEY CLASS: SUBURBAN
HUNDRED: Dagsboro COUNTY: SUSSEX
STATE: DELAWARE DRAWN BY: D. A. MORRIS
REF. DWG. NO. M#M PROPERTIES 1-33-6-56
DB 1487-53

REVISION TABLE:
DATE REVISION
3/31/2020 DEL. D.O.T. COMMENTS
4/07/2020 FIRE MARSHAL COMMENT
4/23/2020 DEL. D.O.T. COMMENTS
06/12/2020 S.C.P.#Z. COMMENTS
09/25/2020 S.C.P.#Z. COMMENTS



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

May 19, 2020

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

**SUBJECT: Minor Subdivision - Letter of No Objection to Recordation
SCOTT & KAREN ILLIAN
Tax Parcel # 133-6.00-56.11
SCR322-BUNTING ROAD
Dagsboro Hundred, Sussex County**

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Minor Subdivision Plan dated January 7, 2020 (last revised April 23, 2020), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawing. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Minor Subdivision Plan is not recorded and/or an entrance permit is not issued for the lot(s) prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

Entrances(s) must be installed prior to the sale of the lot(s). All entrances shall conform to DelDOT's [Development Coordination Manual](#) and shall be subject to its approval. **This letter does not authorize the commencement of entrance construction.**

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction



SCOTT & KAREN ILLIAN
Mr. Jamie Whitehouse
Page 2
May 19, 2020

to modify or reject this proposed plan even though DeIDOT has established that these enumerated transportation improvements are acceptable.

The owner shall be responsible to submit a copy of the recorded Minor Subdivision Plan showing all appropriate signatures, seals, plot book and page number to the South District Public Works office (302) 853-1341 in order to obtain the entrance permit(s) for the proposed minor subdivision.

Sincerely,



Stephen Wright
Kent County Review Coordinator
Development Coordination

cc: Stephen Sellers, Miller Lewis
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
James Argo, South District Project Reviewer
William Kirsch, South District Entrance Permit Supervisor
Shannon Anderson, South District Public Work Admin Specialist
Todd Sammons, Assistant Director
John Andrescavage, Sussex County Reviewer



April 2, 2021

Mr. Steve Sellers
Miller-Lewis
1560 Middleford, Road
Seaford, DE 19973

**RE: Scott and Karen Illian
Exemption from the Delaware Sediment and Stormwater Regulations
TM# 133-6.00-56.11**

Dear Mr. Sellers

The Sussex Conservation District has reviewed the Minor subdivision Plan for the above referenced site and has no objection to its recordation as shown on the plans provided.

If you have any questions or concerns, please contact the District at 302-856-2105.

Sincerely,

Jessica L. Watson

Jessica L. Watson
Program Manager

CC: Mr. Jamie Whitehouse, Sussex County P&Z



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2020-04-203468-MIS-02
Status: Approved as Submitted

Tax Parcel Number: 133-6.00-56.11
Date: 04/14/2020

Project

Scott & Karen Illian Subdivison
; Unit #: 2 Lots
Steve Axe Senior Property

Bunting Road
Georgetown DE 19947

Scope of Project

Number of Stories:
Square Footage:
Construction Class:
Fire District: 77 - Georgetown Fire Co Inc

Occupant Load Inside:
Occupancy Code: 9601

Applicant

Stephen M Sellers
1560 Road 535
Seaford, DE 19973

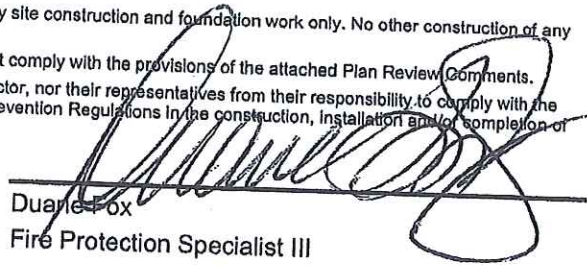
This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:


Duane Fox
Fire Protection Specialist III

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2020-04-203468-MIS-02

Tax Parcel Number: 133-6.00-56.11

Status: Approved as Submitted

Date: 04/14/2020

PROJECT COMMENTS

1002 A This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.

1010 A The following water for fire protection requirements apply: NONE. On-Site Wells Proposed. this site meets Water Flow Table 1. therefore the provisions of NFPA 1142 shall apply to this site (DSFPR Regulation 702, Chapter 6, Section 3). Since wells are proposed for this site, no additional requirements will be made by this Agency for water for fire protection.

1000 The site plans have been approved as submitted. The Office of DE State Fire Marshal has no objection to recordation.

1180 A This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.

1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.

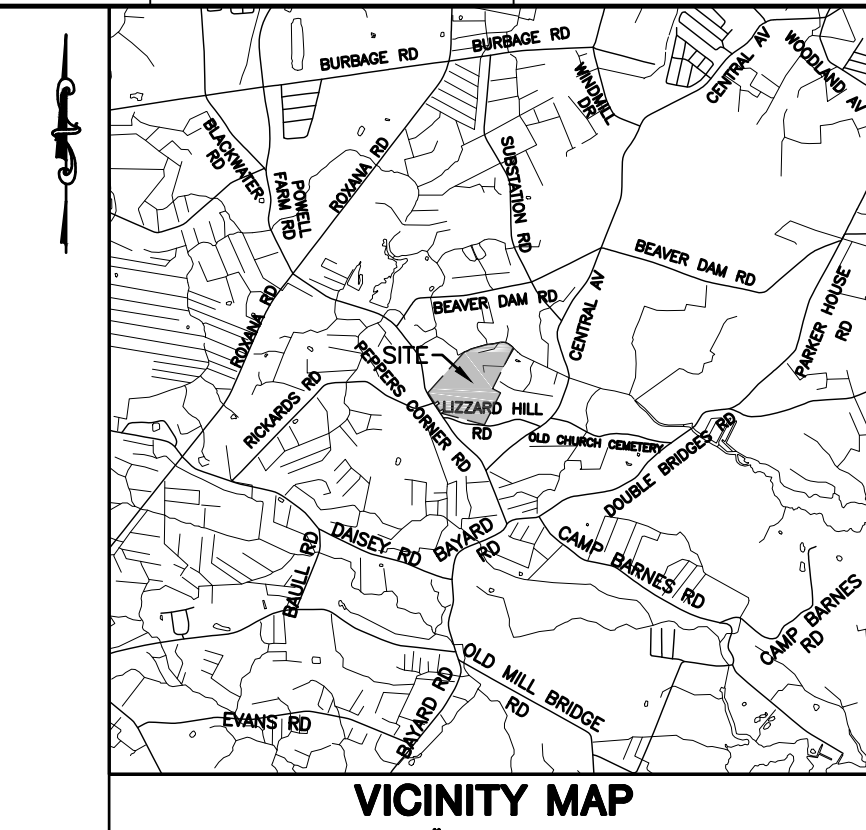


- 1. STREETS, STORMWATER MANAGEMENT FACILITIES AND OTHER COMMON AREAS SHALL BE MAINTAINED BY THE DEVELOPER UNTIL SUCH TIME AS A HOMEOWNERS ASSOCIATION CAN PROVIDE FOR REQUIRED MAINTENANCE...

MILOS HAVEN
RESIDENTIAL SUBDIVISION
C/Z 1881
RECORD PLANS
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE
DBF PROJECT NO. 3131A001.G01
REVISED: APRIL 1, 2021

LEGEND

- EXISTING PROPERTY LINE
PROPERTY LINE/RIGHT-OF-WAY
LOT LINE
BUILDING SETBACK LINE
EASEMENT LINE
WETLANDS LINE



DATA COLUMN

TAX MAP ID: 1-34-18.00-38.00 & 1-34-19.00-13.03
DEED REF: D489/223 D4328/123
ADDRESS: 34702 CIDER LANE, FRANKFORD, DE 19942

THE PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA MAP 10005C0495K (MARCH 16, 2015).

THE PROPERTY AS SHOWN DOES CONTAIN FEDERALLY (404 NON-TIDAL) REGULATED WETLANDS.

SITE IS LOCATED ENTIRELY WITHIN THE COASTAL AREA AND IS NOT LOCATED WITHIN A WETLAND PROTECTION AREA.

SPEED LIMIT: 50 M.P.H. (LIZZARD HILL RD. AND PEPPERS CORNER RD.) INVESTMENT LEVEL AREA 3 AND 4

SANITARY SEWER: SUSSEX COUNTY (BEAVER DAM PLANNING AREA) WATER SERVICE: ARTESIAN WATER COMPANY

GROUNDWATER RECHARGE POTENTIAL FAIR

PROPOSED UNITS: 41 SINGLE FAMILY LOTS 138 TOWNHOMES 179 TOTAL UNITS

PROPOSED CONSTRUCTION: WOOD/CONCRETE BLOCK

EXISTING ZONING: GR/RPC (GENERAL RESIDENTIAL/RESIDENTIAL PLANNED COMMUNITY)

PROPOSED ZONING: NO CHANGE REQUESTED

EXISTING USE: RESIDENTIAL, AGRICULTURAL, VACANT

PROPOSED USE: RESIDENTIAL PLANNED COMMUNITY

PARKING REQUIRED (TOWNHOMES): BEFORE REDUCTION: 2 SPACES/DWELLING UNIT = 276 SPACES

AFTER REDUCTION: 1-90 UNITS = 100 SPACES 51-138 UNITS = 176 (15 REDUCTION) = 150 SPACES TOTAL REQUIRED = 250 SPACES

PARKING PROVIDED (TOWNHOMES): 2 SPACES/DWELLING UNIT = 276

TOTAL EXISTING SITE AREA: 71,754 ACRES

TOTAL PROPOSED SITE AREA: 71,477 ACRES

NET DEVELOPABLE AREA: (71,754 ACRES x .25 REDUCTION) - 0.507 ACRES WETLANDS = 53,509 ACRES

UNITS PERMITTED: 53,509 ACRES (43,560/10,000) = 232 UNITS (MAXIMUM 179 UNITS PER CONDITION "A")

MAXIMUM DENSITY: 3.2 UNITS PER ACRE

PROPOSED DENSITY: 2.5 UNITS PER ACRE

EXISTING FORESTED ACRES: 57.61 ACRES

FORESTED ACRES TO BE REMOVED: 30.27 ACRES (52.54%)

EXISTING WETLANDS: 18.59 ACRES

PROPOSED LAND USE AREAS: SINGLE FAMILY LOTS: 7.95 ACRES (11.12%)

TOWNHOME LOTS: 18.95 ACRES (26.51%)

RIGHT OF WAY: 3.27 ACRES (4.57%)

PUMP STATION: 0.08 ACRES (0.11%)

OPEN SPACE: 41.23 ACRES (57.69%)

WETLANDS: 18.57 ACRES (25.98%)

CLUBHOUSE: 0.92 ACRES (1.29%)

REMAINING: 21.74 ACRES (30.42%)

TOTAL: 71.48 ACRES (100.00%)

TOTAL LIMIT OF DISTURBANCE: 41.76 ACRES

OVERALL BOUNDARY SETBACK REQUIREMENTS: FRONT YARD: 40 FT

SIDE YARD: 10 FT

REAR YARD: 10 FT

GR/RPC PROPOSED SETBACK REQUIREMENTS: FRONT YARD: 20 FT

CORNER YARD: 15 FT (ONE SIDE)

SIDE YARD: 10 FT

REAR YARD: 10 FT

MIN LOT AREA: 7500 SF

MIN LOT WIDTH: 60 FT

MIN LOT DEPTH: 100 FT

NON-TIDAL WETLANDS BUFFER: 25 FT

VEGETATIVE BUFFER: 20 FT

PROPOSED MAXIMUM BUILDING HEIGHT: 42 FT (3-1/2 STORIES)

MINIMUM BUILDING SEPARATION: 40 FT (BETWEEN TOWNHOMES)

SUSSEX CONSERVATION DISTRICT

CHAIRMAN OR SECRETARY OF THE COMMISSION

PRESIDENT OF THE SUSSEX COUNTY COUNCIL

OWNER'S STATEMENT

I, NORMAN STEPHEN PRICE REVOCABLE TRUST, HEREBY CERTIFY THAT NORMAN STEPHEN PRICE REVOCABLE TRUST IS THE OWNER OF THE PROPERTY WHICH IS THE SUBJECT OF THIS PLAT...

DATE: DEC. 20, 2019

Scale: AS NOTED

OWN: BPM

Proj. No.: 3131A001.G01

Dwg. No.: R-01

DELDOT RECORD PLAN NOTES:

- 1. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.

TIS RECOMMENDATIONS:

- 1. THE DEVELOPER SHOULD RECONSTRUCT LIZZARD HILL ROAD FROM PEPPERS CORNER ROAD TO THE EASTERN LIMIT OF THE SITE FRONTAGE TO PROVIDE FOR ELEVEN-FOOT TRAVEL LANES AND FIVE-FOOT SHOULDERS...

ROAD DATA table with columns for road name, functional classification, AADT, and traffic volume projections.

1.005 GROWTH FACTOR PROVIDED IN LAKELYN TIS, K & D FACTORS CALCULATED FROM 2018 THE TRAFFIC GROUPS COUNTS PROVIDED IN TIS.



SITE ACCESS DESIGN VOLUMES table with columns for road name, AADT, and peak hour volumes.

TRAFFIC TRIPS GENERATED table with columns for trip type, units, and peak hour volumes.

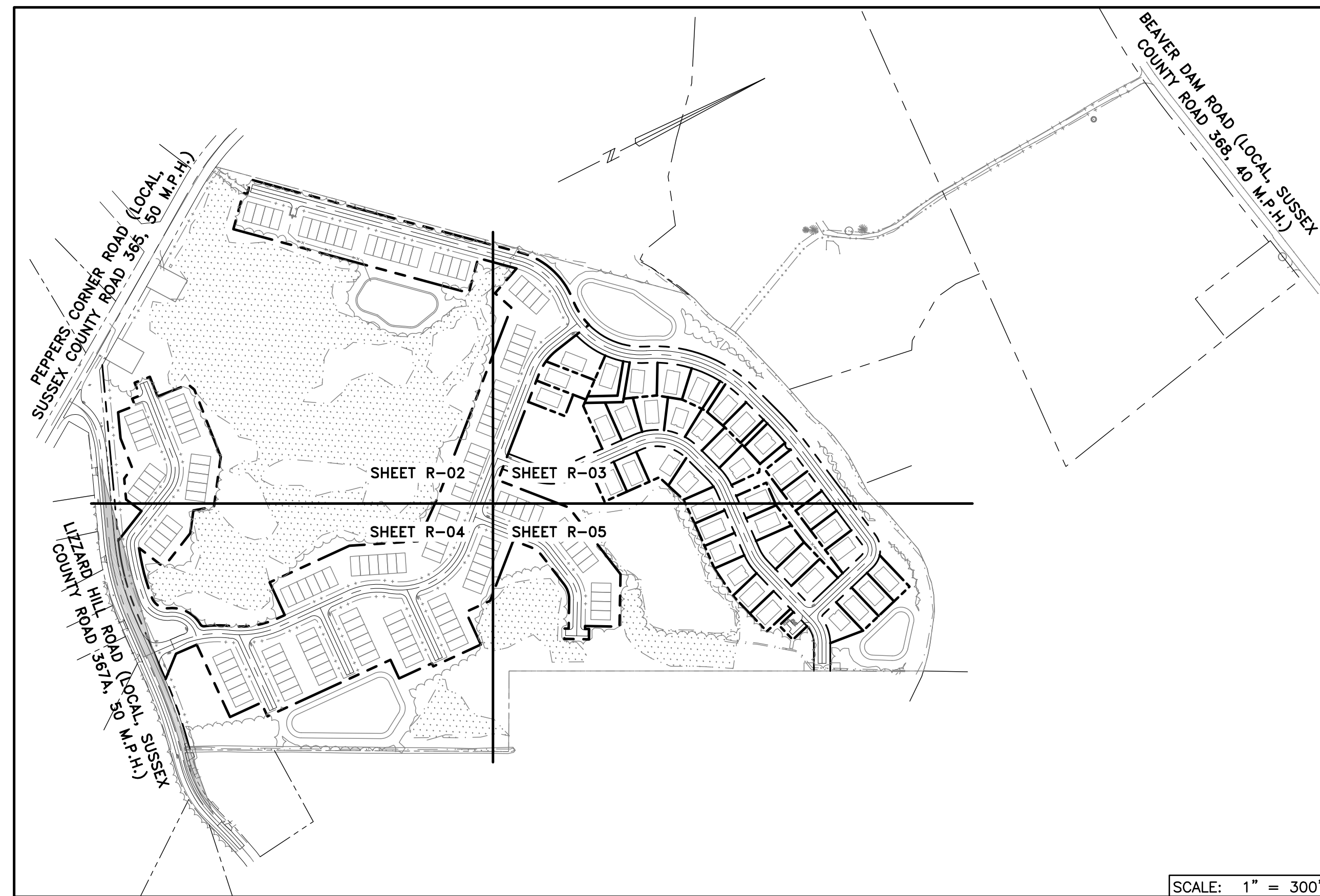
NOTES: TRIP GENERATION BASED ON ITE TRIP GENERATION MANUAL, 10TH EDITION.

DESIGN VEHICLE: SU-30.

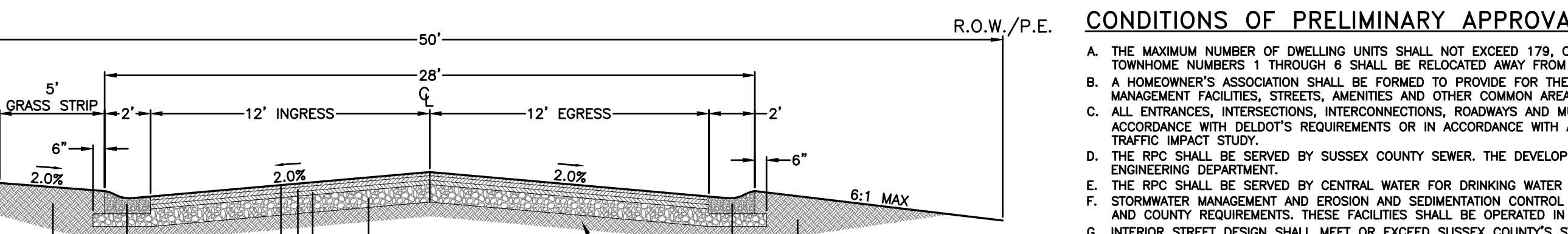
ONE (1) FULL SITE ACCESS PROPOSED ALONG LIZZARD HILL ROAD.

DAVIS, BOWEN & FRIEDEL, INC. ARCHITECTS, ENGINEERS & SURVEYORS

MILFORD, DELAWARE (302) 424-1441



TYPICAL ROAD SECTION



TYPICAL SECTION LEGEND

- 1 ITEM 401005 - SUPERPAVE TYPE C, PG 64-22 (CARBONATE STONE)
2 ITEM 401014 - SUPERPAVE TYPE B, PG 64-22
3 ITEM 301003 - GRADED AGGREGATE BASE COURSE, TYPE 'B'

WETLANDS STATEMENT

I, EDWARD M. LAUNAY, PWS, STATE THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATION...

ENGINEER'S STATEMENT

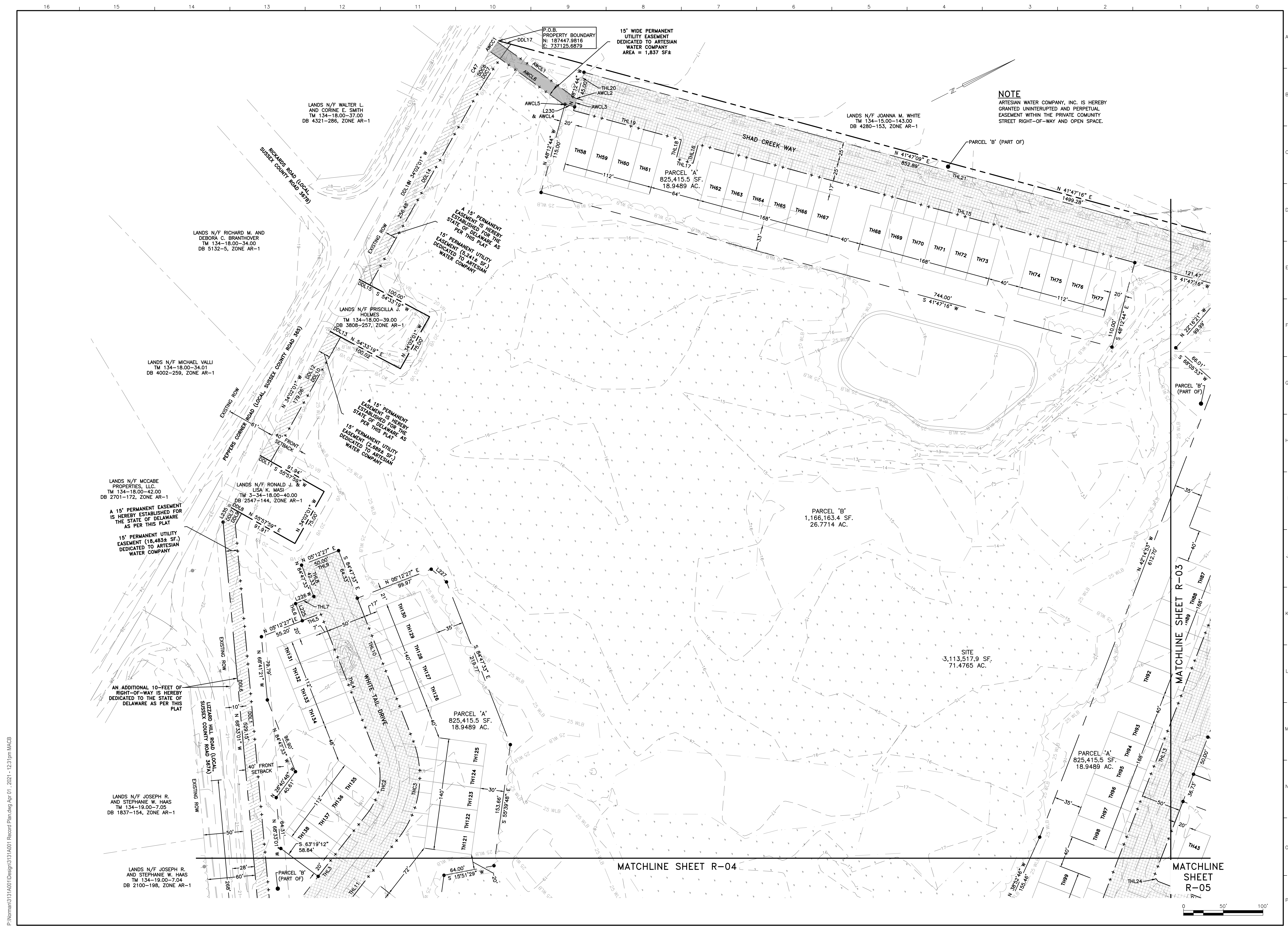
I, W. ZACHARY CROUCH, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES...

OWNER'S STATEMENT

I, NORMAN STEPHEN PRICE REVOCABLE TRUST, HEREBY CERTIFY THAT NORMAN STEPHEN PRICE REVOCABLE TRUST IS THE OWNER OF THE PROPERTY WHICH IS THE SUBJECT OF THIS PLAT...

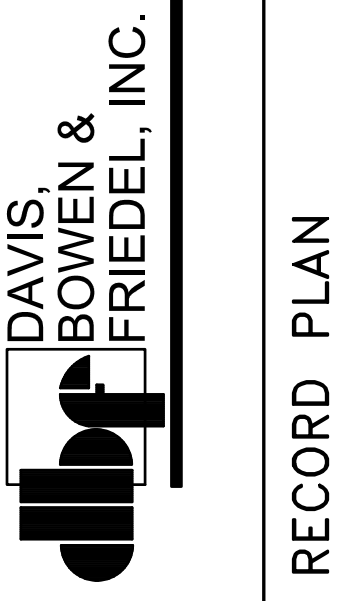
DAVIS, BOWEN & FRIEDEL, INC. DATE

Vertical sidebar containing project title 'MILOS HAVEN BALTIMORE HUNDRED SUSSEX COUNTY, DELAWARE', architect logo 'DAVIS, BOWEN & FRIEDEL, INC.', and revision table.



NOTE
 ARTESIAN WATER COMPANY, INC. IS HEREBY GRANTED UNINTERRUPTED AND PERPETUAL EASEMENT WITHIN THE PRIVATE COMMUNITY STREET RIGHT-OF-WAY AND OPEN SPACE.

ARCHITECTS ENGINEERS SURVEYORS
 DAVIS, BOWEN & FRIEDEL, INC.
 1000 MARKET STREET
 WILMINGTON, DELAWARE 19801
 (302) 424-1411
 EASTON, MARYLAND (410) 770-4744



RECORD PLAN

THIS PLAN SUPERSEDES IN ITS ENTIRETY THE PLAN PREVIOUSLY RECORDED IN PLAT BOOK 600, PAGE 1058B, COUNTY OF DELAWARE.

**MILOS HAVEN
 BALTIMORE HUNDRED
 SUSSEX COUNTY, DELAWARE**

- Revisions:
- 04/06/20 SDC COMMENTS
 - 04/15/20 DELDOT COMMENTS
 - 04/20/20 DELDOT COMMENTS
 - 04/28/20 DELDOT COMMENTS
 - 05/08/20 AWC COMMENTS
 - 05/09/20 AGENCY COMMENTS
 - 07/31/20 AGENCY COMMENTS
 - 08/12/20 HEADWALL DETAILS
 - 09/18/20 REVISED CONTOURS
 - 10/02/20 CLIENT SET
 - 10/18/20 AGENCY COMMENTS
 - 11/11/20 AGENCY COMMENTS
 - 01/15/21 SDC COMMENTS
 - 04/01/21 PAZ COMMENTS

Date: DEC. 20, 2019

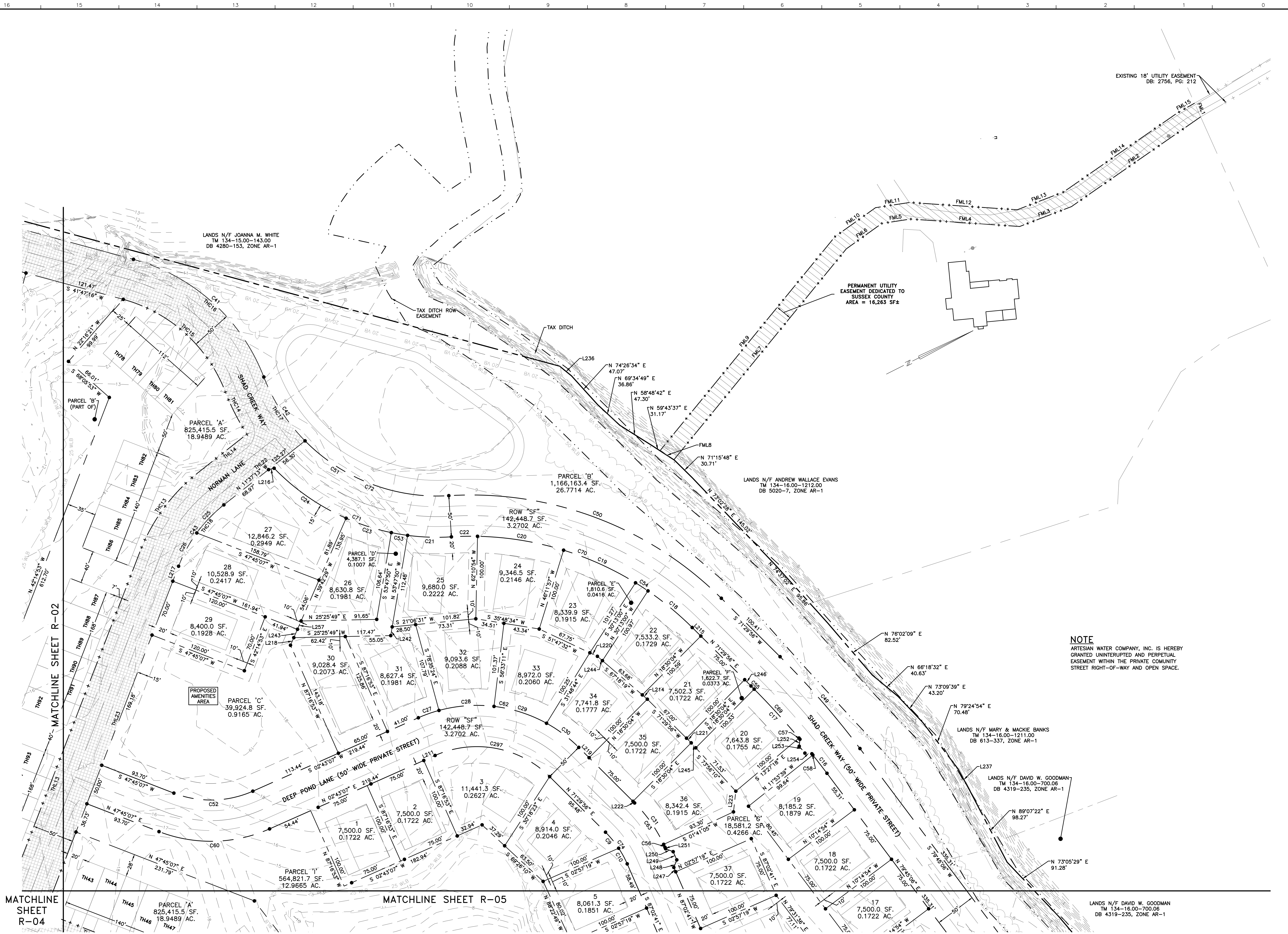
Scale: 1" = 50'

Drawn By: BPM

Proj. No.: 3131A001.001

Dwg. No.: R-02

P:\Norman\3131A001\Design\3131A001 Record Plan.dwg Apr 01, 2021 12:31pm MACB



NOTE
 ARTESIAN WATER COMPANY, INC. IS HEREBY GRANTED UNINTERRUPTED AND PERPETUAL EASEMENT WITHIN THE PRIVATE COMMUNITY STREET RIGHT-OF-WAY AND OPEN SPACE.

DAVIS, BOWEN & FRIEDEL, INC.
 ARCHITECTS ENGINEERS SURVEYORS
 1000 N. MARKET STREET
 WILMINGTON, DELAWARE 19801
 (302) 424-1441
 (302) 424-1441
 (410) 770-4744

RECORD PLAN

THIS PLAN SUPERSEDES IN ITS ENTIRETY THE PLAN PREVIOUSLY RECORDED IN PLAT BOOK 60, PAGE 118 IN COUNTY, DELAWARE.

MIŁOS HAVEN
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

- Revisions:
- 04/06/20 SDC COMMENTS
 - 04/16/20 DELOT COMMENTS
 - 04/20/20 DELOT COMMENTS
 - 04/28/20 DELOT COMMENTS
 - 05/08/20 AWC COMMENTS
 - 06/08/20 AGENCY COMMENTS
 - 07/31/20 AGENCY COMMENTS
 - 08/12/20 HEADWALL DETAILS
 - 09/18/20 REVISED CONTOURS
 - 10/02/20 CLIENT SET
 - 10/19/20 AGENCY COMMENTS
 - 11/17/20 AGENCY COMMENTS
 - 12/11/20 AGENCY COMMENTS
 - 01/15/21 SDC COMMENTS
 - 04/01/21 PAZ COMMENTS

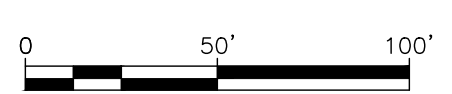
Date: DEC. 20, 2019

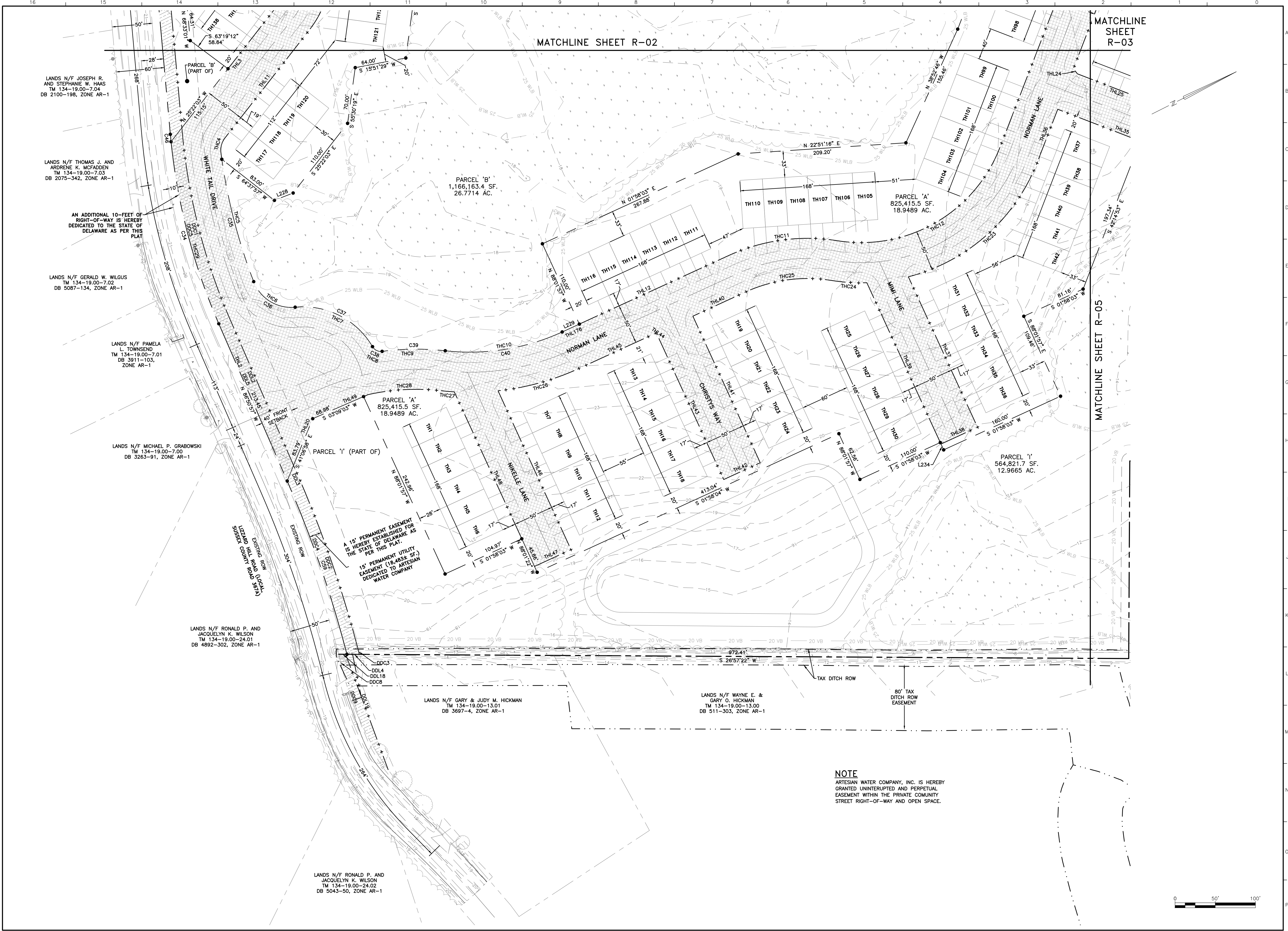
Scale: 1" = 50'

Down By: BPM

Proj. No.: 3131A001.001

Dwg. No.: R-03





LANDS N/F JOSEPH R. AND STEPHANIE W. HAAAS
TM 134-19.00-7.04
DB 2100-198, ZONE AR-1

LANDS N/F THOMAS J. AND ARDRENE K. MCFADDEN
TM 134-19.00-7.03
DB 2075-342, ZONE AR-1

LANDS N/F GERALD W. WILGUS
TM 134-19.00-7.02
DB 5087-134, ZONE AR-1

LANDS N/F PAMELA L. TOWNSEND
TM 134-19.00-7.01
DB 3911-103, ZONE AR-1

LANDS N/F MICHAEL P. GRABOWSKI
TM 134-19.00-7.00
DB 3263-91, ZONE AR-1

LANDS N/F RONALD P. AND JACQUELYN K. WILSON
TM 134-19.00-24.01
DB 4892-302, ZONE AR-1

LANDS N/F GARY & JUDY M. HICKMAN
TM 134-19.00-13.01
DB 3697-4, ZONE AR-1

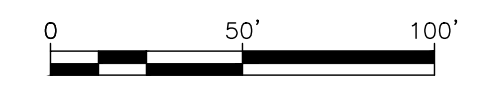
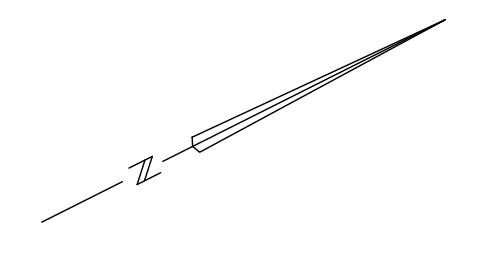
LANDS N/F WAYNE E. & GARY O. HICKMAN
TM 134-19.00-13.00
DB 511-303, ZONE AR-1

LANDS N/F RONALD P. AND JACQUELYN K. WILSON
TM 134-19.00-24.02
DB 5043-50, ZONE AR-1

15' PERMANENT EASEMENT IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT.
15' PERMANENT UTILITY EASEMENT (18,485.4 SF.) DEDICATED TO ARTESIAN WATER COMPANY

AN ADDITIONAL 10-FOOT RIGHT-OF-WAY IS HEREBY DEDICATED TO THE STATE OF DELAWARE AS PER THIS PLAT

NOTE
ARTESIAN WATER COMPANY, INC. IS HEREBY GRANTED UNINTERRUPTED AND PERPETUAL EASEMENT WITHIN THE PRIVATE COMMUNITY STREET RIGHT-OF-WAY AND OPEN SPACE.

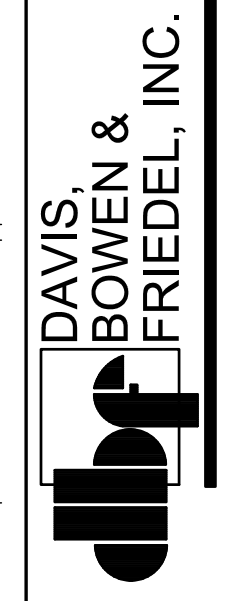


MATCHLINE SHEET R-02

MATCHLINE SHEET R-03

MATCHLINE SHEET R-05

ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
BALTIMORE, DELAWARE (301) 424-1441
EASTON, MARYLAND (410) 770-4744



RECORD PLAN

**MILOS HAVEN
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE**

- Revisions:
- 04/06/20 SCE COMMENTS
 - 04/15/20 DELDOT COMMENTS
 - 04/20/20 DELDOT COMMENTS
 - 04/28/20 DELDOT COMMENTS
 - 05/08/20 AWC COMMENTS
 - 06/05/20 AGENCY COMMENTS
 - 07/31/20 AGENCY COMMENTS
 - 08/12/20 HEADWALL DETAILS
 - 09/18/20 REVISED CONTOURS
 - 10/02/20 CLIENT SET
 - 10/19/20 AGENCY COMMENTS
 - 11/13/20 AGENCY COMMENTS
 - 12/11/20 AGENCY COMMENTS
 - 01/15/21 SDC COMMENTS
 - 04/01/21 P&Z COMMENTS

Date: DEC. 20, 2019

Scale: 1" = 50'

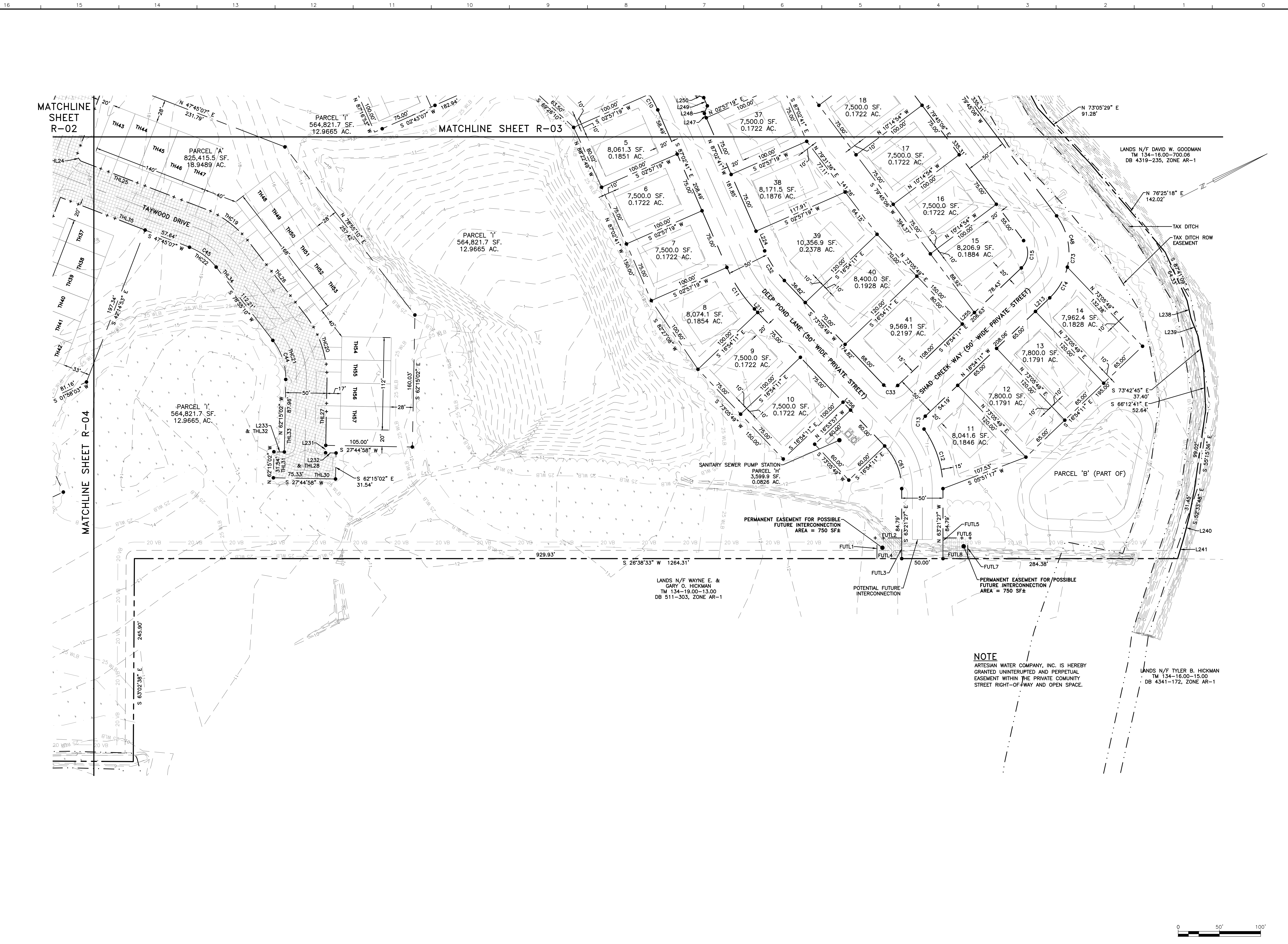
Drawn By: BPM

Proj. No.: 3131A001.G01

Dwg. No.:

R-04

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MATCHLINE SHEET R-02

MATCHLINE SHEET R-03

MATCHLINE SHEET R-04

PARCEL 'A'
825,415.5 SF.
18.9489 AC.

PARCEL 'I'
564,821.7 SF.
12.9665 AC.

PARCEL 'I'
564,821.7 SF.
12.9665 AC.

PARCEL 'I'
564,821.7 SF.
12.9665 AC.

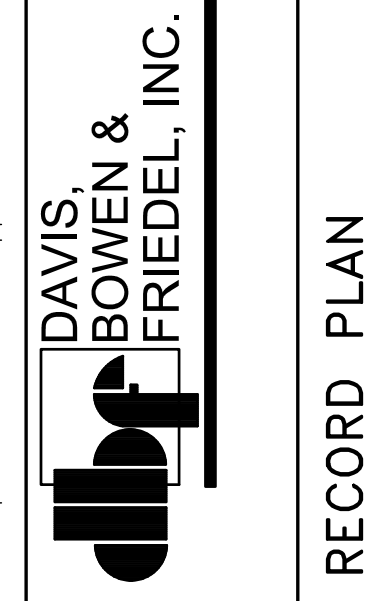
LANDS N/F WAYNE E. &
GARY O. HICKMAN
TM 134-18.00-13.00
DB 511-303, ZONE AR-1

LANDS N/F DAVID W. GOODMAN
TM 134-16.00-700.06
DB 4319-235, ZONE AR-1

LANDS N/F TYLER B. HICKMAN
TM 134-15.00-15.00
DB 4341-172, ZONE AR-1

NOTE
ARTESIAN WATER COMPANY, INC. IS HEREBY
GRANTED UNINTERRUPTED AND PERPETUAL
EASEMENT WITHIN THE PRIVATE COMMUNITY
STREET RIGHT-OF-WAY AND OPEN SPACE.

DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
SUSSEX COUNTY, DELAWARE
GARY W. BOWEN (302) 424-1441
MICHAEL FRIEDEL (302) 424-1441
EASTON, MARYLAND (410) 770-4744



RECORD PLAN

THIS PLAN SUPERSEDES IN ITS ENTIRETY THE PLAN
PREVIOUSLY RECORDED IN PLAT BOOK 60, PAGE 118 IN
SUSSEX COUNTY, DELAWARE.

**MILOS HAVEN
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE**

- Revisions:
- 04/06/20 SCE COMMENTS
 - 04/15/20 DELOIT COMMENTS
 - 04/20/20 DELOIT COMMENTS
 - 04/28/20 DELOIT COMMENTS
 - 05/08/20 AWC COMMENTS
 - 06/05/20 AGENCY COMMENTS
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 - 11/13/20 AGENCY COMMENTS
 - 12/11/20 AGENCY COMMENTS
 - 01/15/21 SDC COMMENTS
 - 04/01/21 P&Z COMMENTS

Date: DEC. 20, 2019

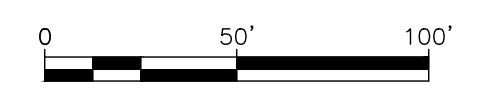
Scale: 1" = 50'

Drawn By: BPM

Proj. No.: 3131A001.G01

Dwg. No.:

R-05



PERMANENT ACCESS EASEMENT
TOTAL AREA = 264,141 SF±

Table with 3 columns: LINE, BEARING, DISTANCE. Lists lines THL2 through THL49 with their respective bearings and distances.

Table with 6 columns: CURVE, RADIUS, ARC LENGTH, CHORD LENGTH, CHORD BEARING, DELTA ANGLE. Lists curves THC2 through THC29 with their respective geometric data.

PERMANENT EASEMENT FOR DELDOT
TOTAL AREA = 27,892 SF±

Table with 3 columns: LINE, BEARING, DISTANCE. Lists lines DDL1 through DDL19 with their respective bearings and distances.

Table with 6 columns: CURVE, RADIUS, ARC LENGTH, CHORD LENGTH, CHORD BEARING, DELTA ANGLE. Lists curves DDC1 through DDC9 with their respective geometric data.

PERMANENT EASEMENT FOR POSSIBLE FUTURE INTERCONNECTION
TOTAL AREA = 1,500 SF±

Table with 3 columns: LINE, BEARING, DISTANCE. Lists lines FUTL1 through FUTL8 with their respective bearings and distances.

PERMANENT UTILITY EASEMENT FOR SUSSEX COUNTY
TOTAL AREA = 16,263 SF±

Table with 3 columns: LINE, BEARING, DISTANCE. Lists lines FML1 through FML15 with their respective bearings and distances.

PERMANENT UTILITY EASEMENT FOR ARTESIAN WATER COMPANY
TOTAL AREA = 1,837 SF±

Table with 3 columns: LINE, BEARING, DISTANCE. Lists lines AWCL1 through AWCL6 with their respective bearings and distances.

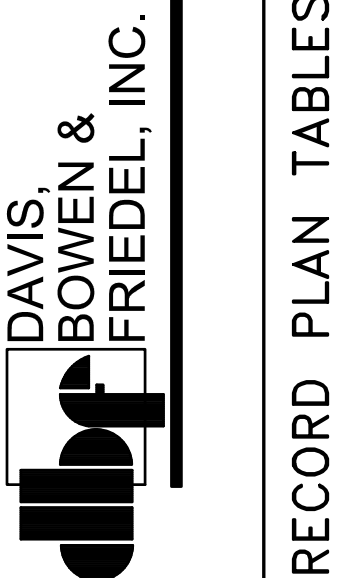
PROPERTY CURVE TABLE

Table with 6 columns: CURVE, RADIUS, ARC LENGTH, CHORD LENGTH, CHORD BEARING, DELTA ANGLE. Lists curves C9 through C297 with their respective geometric data.

PROPERTY LINE TABLE

Table with 3 columns: LINE, BEARING, DISTANCE. Lists lines L176 through L257 with their respective bearings and distances.

ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
1000 W. MARKET ST.
MILFORD, DELAWARE 19380
(302) 424-1441
(410) 770-4744



THIS PLAN SUPERSEDES IN ITS ENTIRETY THE PLAN PREVIOUSLY RECORDED IN PLAT BOOK 600, PAGE 118 IN COUNTY OF DELAWARE, RECORDED OF DEEDS FOR SUSSEX COUNTY, DELAWARE.

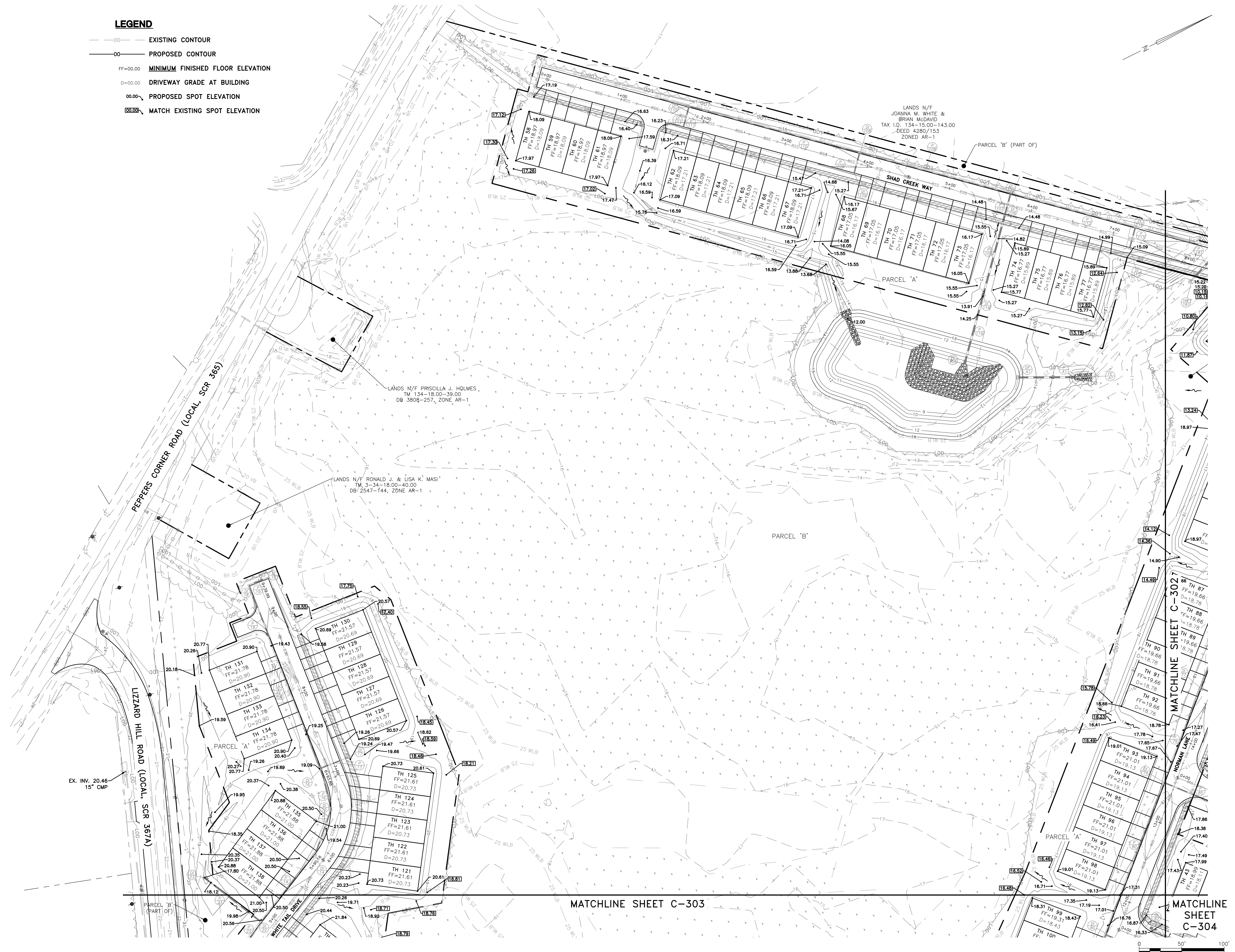
MILOS HAVEN
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

Revisions:
04/06/20 SEE COMMENTS
04/15/20 DELOIT COMMENTS
04/20/20 DELOIT COMMENTS
04/28/20 DELOIT COMMENTS
05/08/20 AEC COMMENTS
06/05/20 AGENCY COMMENTS
07/31/20 AGENCY COMMENTS
08/12/20 HEADWALL DETAILS
09/18/20 REVISED CONTOURS
10/02/20 CLIENT SET
10/15/20 AGENCY COMMENTS
11/11/20 AGENCY COMMENTS
12/11/20 AGENCY COMMENTS
01/15/21 SDC COMMENTS
04/01/21 PAZ COMMENTS

Date: DEC. 20, 2019
Scale: NTS
Dwn. By: BPM
Proj. No.: 3131A001.G01
Dwg. No.: R-06

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- FF=00.00 MINIMUM FINISHED FLOOR ELEVATION
- D=00.00 DRIVEWAY GRADE AT BUILDING
- 00.00 PROPOSED SPOT ELEVATION
- 00.00 MATCH EXISTING SPOT ELEVATION



DAVIS, BOWEN & FRIEDEL, INC.
 ARCHITECTS ENGINEERS SURVEYORS
 1000 W. MARKET ST.
 BALTIMORE, MARYLAND 21201
 (410) 528-0800
 (410) 528-1441
 (410) 770-4744

DETAILED GRADING PLAN

MILOS HAVEN
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

- Revisions:
- 04/06/20 SCE COMMENTS
 - 04/15/20 DELOIT COMMENTS
 - 04/20/20 DELOIT COMMENTS
 - 04/28/20 DELOIT COMMENTS
 - 05/08/20 AEC COMMENTS
 - 06/02/20 AGENCY COMMENTS
 - 07/21/20 AGENCY COMMENTS
 - 08/12/20 HEADWALL DETAILS
 - 09/18/20 REVISED CONTOURS
 - 10/02/20 CLIENT SET
 - 10/18/20 AGENCY COMMENTS
 - 11/11/20 AGENCY COMMENTS
 - 12/11/20 AGENCY COMMENTS
 - 01/15/21 SDC COMMENTS
 - 04/01/21 P&Z COMMENTS

Date: DEC. 20, 2019
 Scale: 1" = 50'
 Dwn. By: BPM
 Proj. No.: 3131A001.001
 Dwg. No.:

C-301

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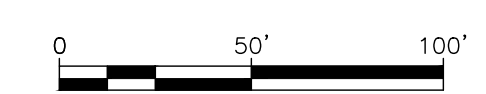
LANDS N/F
JOANNA M. WHITE &
BRIAN McDAVID
TAX I.D. 134-15.00-143.00
DEED 4280/153
ZONED AR-1

LANDS N/F
MICHELLE BALDWIN
TAX I.D. 134-16.00-1212.00
DEED 4280/160
ZONED AR-1

LANDS N/F
MARY BANKS & MACKIE BANKS
TRUSTEES
TAX I.D. 134-16.00-1211.00
DEED 613/337
ZONED AR-1

LEGEND

- 00 — EXISTING CONTOUR
- 00 — PROPOSED CONTOUR
- FF=00.00 MINIMUM FINISHED FLOOR ELEVATION
- D=00.00 DRIVEWAY GRADE AT BUILDING
- 00.00 SPOT ELEVATION
- 00.00 MATCH EXISTING SPOT ELEVATION



ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
GALLERY WALKWAY
MILFORD, DELAWARE
EASTON, MARYLAND
(302) 432-8888
(302) 432-1441
(410) 770-4744

DAVIS, BOWEN & FRIEDEL, INC.

DETAILED GRADING PLAN

MILOS HAVEN
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

Revisions:
04/06/20 SEE COMMENTS
04/15/20 DELDOT COMMENTS
04/28/20 DELDOT COMMENTS
06/08/20 AEC COMMENTS
06/09/20 AGENCY COMMENTS
07/31/20 AGENCY COMMENTS
08/12/20 HEADWALL DETAILS
09/18/20 REVISED CONTOURS
10/02/20 CLIENT SET
10/19/20 AGENCY COMMENTS
11/13/20 AGENCY COMMENTS
12/11/20 AGENCY COMMENTS
01/15/21 SD3 COMMENTS
04/01/21 P&Z COMMENTS

Date: DEC. 20, 2019

Scale: 1" = 50'

Drawn By: BPM

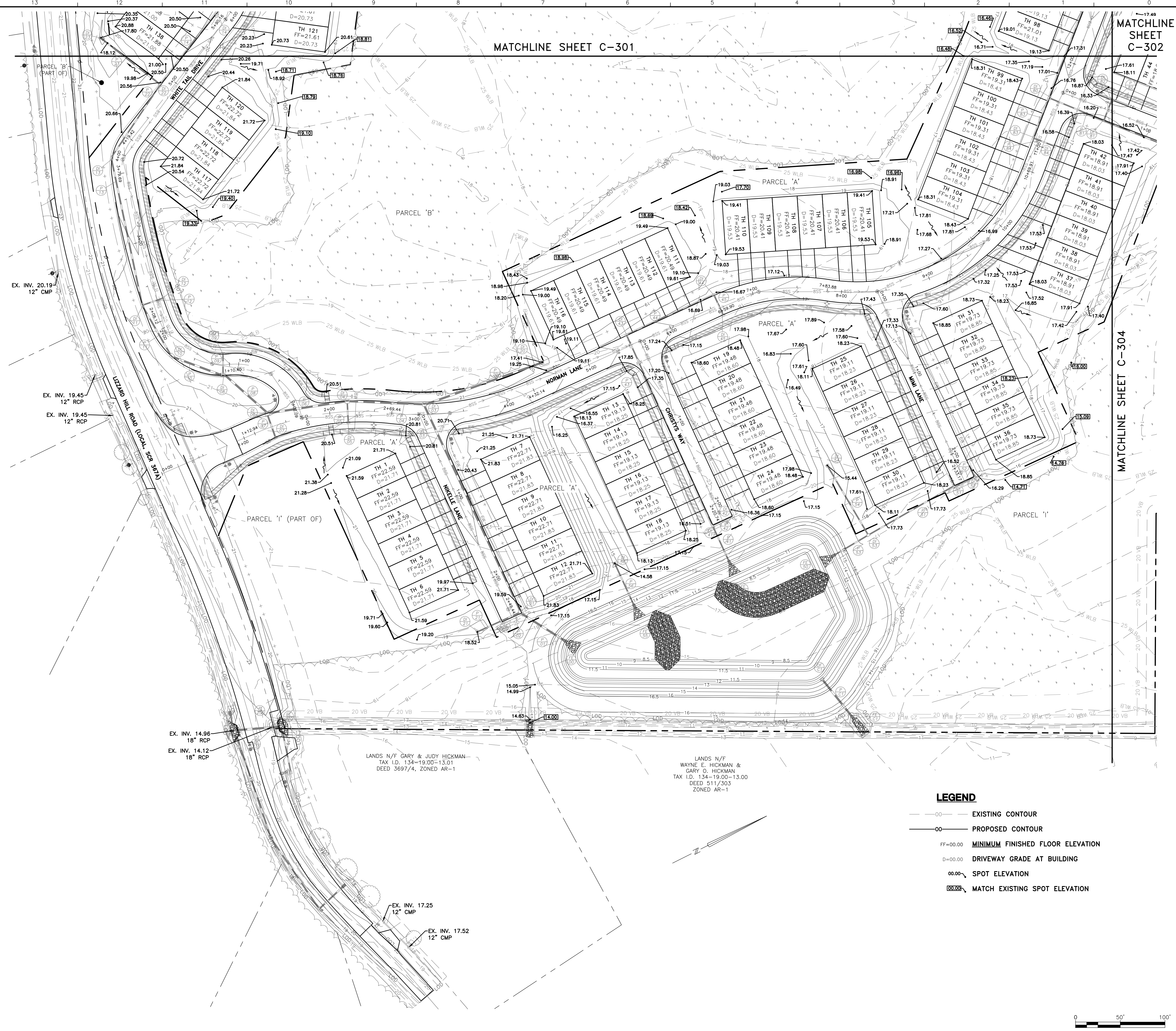
Proj. No.: 3131A001.001

Dwg. No.: C-302

MATCHLINE SHEET C-301

MATCHLINE SHEET C-302

MATCHLINE SHEET C-304



LEGEND

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- 00 — PROPOSED CONTOUR
- FF=00.00 MINIMUM FINISHED FLOOR ELEVATION
- D=00.00 DRIVEWAY GRADE AT BUILDING
- 00.00 SPOT ELEVATION
- 000.00 MATCH EXISTING SPOT ELEVATION

DAVIS, BOWEN & FRIEDEL, INC.
 ARCHITECTS ENGINEERS SURVEYORS
 1000 W. MARKET ST., SUITE 200
 BALTIMORE, MARYLAND 21201
 (410) 528-8800
 (410) 528-1441
 (410) 770-4744

DETAILED GRADING PLAN

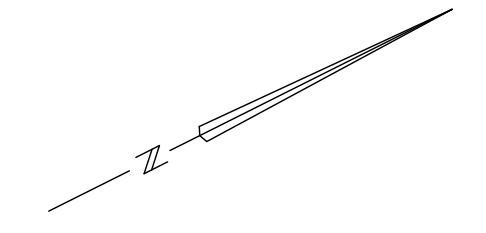
MILOS HAVEN
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

Revisions:
 04/06/20 SCE COMMENTS
 04/15/20 DELOIT COMMENTS
 04/20/20 DELOIT COMMENTS
 04/28/20 DELOIT COMMENTS
 05/08/20 AEC COMMENTS
 06/05/20 AGENCY COMMENTS
 07/31/20 AGENCY COMMENTS
 08/12/20 HEADWALL DETAILS
 09/18/20 REVISED CONTOURS
 10/02/20 CLIENT SET
 10/18/20 AGENCY COMMENTS
 11/13/20 AGENCY COMMENTS
 12/11/20 AGENCY COMMENTS
 01/15/21 SDC COMMENTS
 04/01/21 P&Z COMMENTS

Date: DEC. 20, 2019
 Scale: 1" = 50'
 Dwn.By: BPM
 Proj.No.: 3131A001.G01
 Dwg.No.:

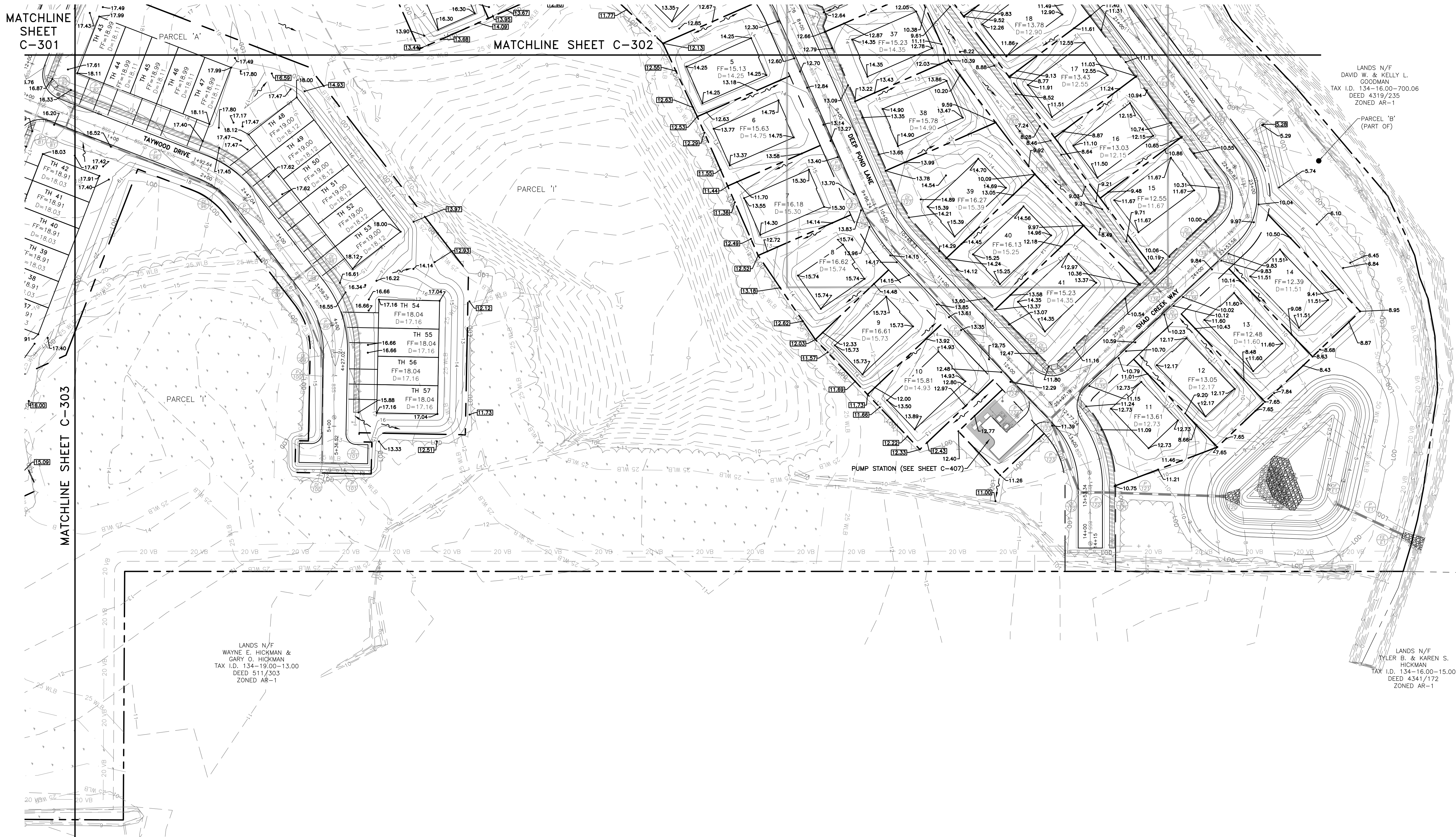
C-303

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MATCHLINE SHEET C-301

MATCHLINE SHEET C-302

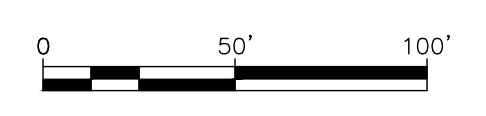


LANDS N/F
DAVID W. & KELLY L.
GOODMAN
TAX I.D. 134-16.00-700.06
DEED 4319/235
ZONED AR-1

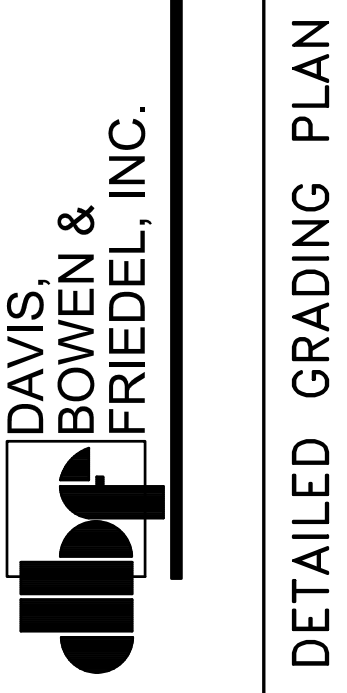
LANDS N/F
WAYNE E. HICKMAN &
GARY O. HICKMAN
TAX I.D. 134-19.00-13.00
DEED 511/303
ZONED AR-1

LANDS N/F
TYLER B. & KAREN S.
HICKMAN
TAX I.D. 134-16.00-15.00
DEED 4341/172
ZONED AR-1

- LEGEND**
- 00 — EXISTING CONTOUR
 - 00 — PROPOSED CONTOUR
 - FF=00.00 MINIMUM FINISHED FLOOR ELEVATION
 - D=00.00 DRIVEWAY GRADE AT BUILDING
 - 00.00 SPOT ELEVATION
 - 00.00 MATCH EXISTING SPOT ELEVATION



ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
GALLERY WALKWAY
MILFORD, DELAWARE 19967
(302) 424-1441
(410) 770-4744



DETAILED GRADING PLAN

**MILOS HAVEN
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE**

Revisions:
04/06/20 SEE COMMENTS
04/15/20 DELOIT COMMENTS
04/20/20 DELOIT COMMENTS
04/28/20 DELOIT COMMENTS
05/08/20 AEC COMMENTS
06/05/20 AGENCY COMMENTS
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08/12/20 HEADWALL DETAILS
09/18/20 REVISED CONTOURS
10/02/20 CLIENT SET
10/18/20 AGENCY COMMENTS
11/11/20 AGENCY COMMENTS
12/11/20 AGENCY COMMENTS
01/15/21 SDI COMMENTS
04/01/21 PAZ COMMENTS

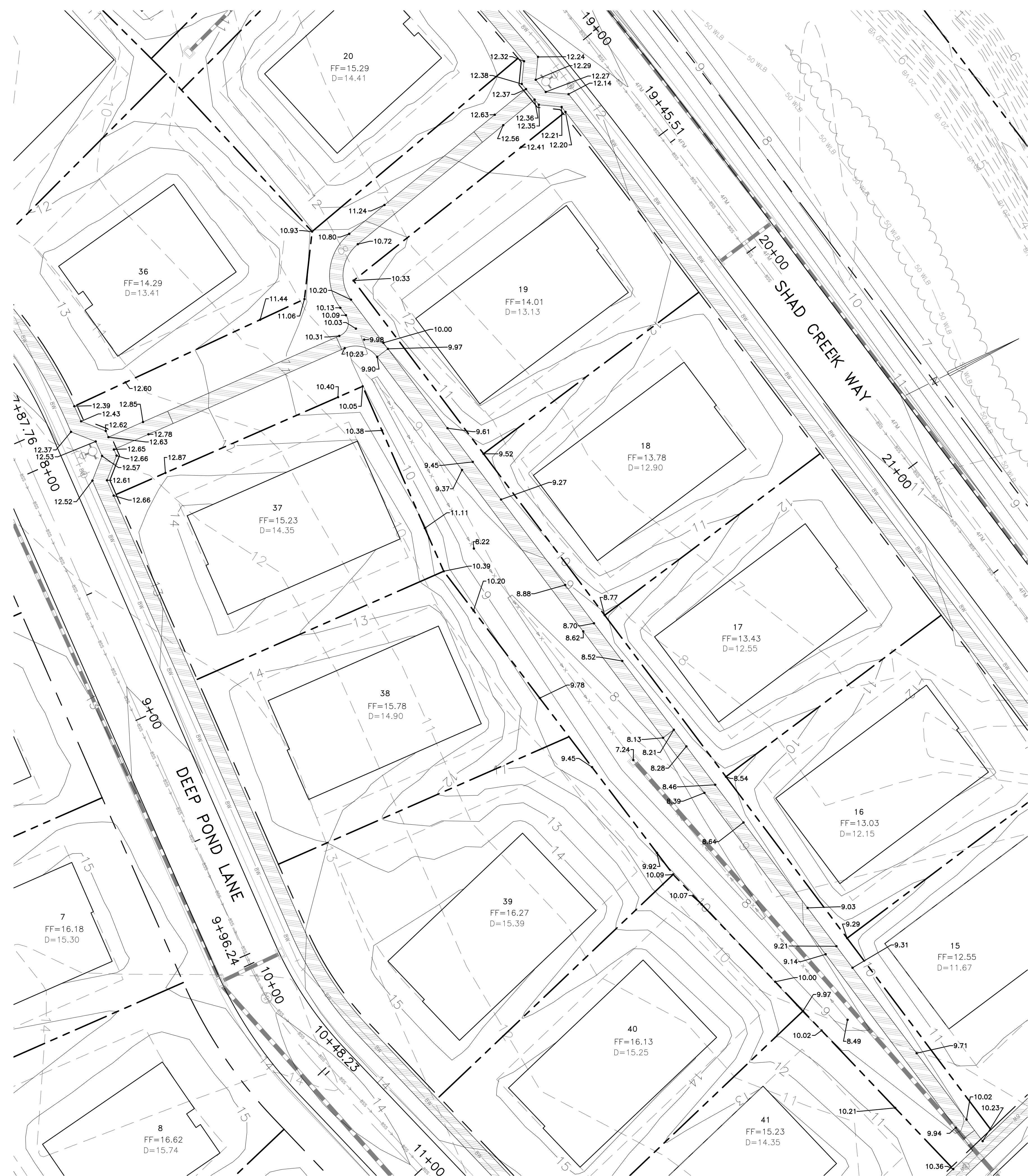
Date: DEC. 20, 2019

Scale: 1" = 50'

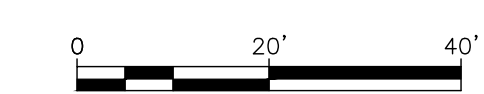
Down By: BPM

Proj. No.: 3131A001.G01

Dwg. No.: C-304



DETAIL-01 SIDEWALK
SCALE: 1" = 20'



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ARCHITECTS ENGINEERS SURVEYORS
 DAVIS, BOWEN & FRIEDEL, INC.
 1000 W. MARKET ST.
 BALTIMORE, MARYLAND 21201
 (410) 528-2000
 (410) 528-1441
 (410) 770-4744

dbf
 DAVIS, BOWEN & FRIEDEL, INC.
 GRADING PLAN DETAILS

**MILOS HAVEN
 BALTIMORE HUNDRED
 SUSSEX COUNTY, DELAWARE**

- Revisions:
- 04/06/20 SCE COMMENTS
 - 04/15/20 DELOIT COMMENTS
 - 04/20/20 DELOIT COMMENTS
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 - 05/08/20 AEC COMMENTS
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 - 11/13/20 AGENCY COMMENTS
 - 12/11/20 AGENCY COMMENTS
 - 01/15/21 SDC COMMENTS
 - 04/01/21 PAZ COMMENTS

Date: DEC. 20, 2019

Scale: 1" = 20'

Dwn. By: BPM

Proj. No.: 3131A001.G01

Dwg. No.: C-305

Michael R. Wigley, AIA, LEED AP
W. Zachary Crouch, P.E.
Michael E. Wheedleton, AIA, LEED GA
Jason P. Loar, P.E.
Ring W. Lardner, P.E.
Jamie L. Sechler, P.E.

April 1, 2021

Sussex County Administrative Office Building
Planning & Zoning Department
2 the Circle, P.O. Box 417
Georgetown, DE 19947

Attn: Chase Phillips
Planner I

Re: Milo's Haven (C/Z 1881)
Final Site Plan
Tax Parcel No.: 134-18.00-38.00 & 134-19.00-13.03
DBF Project Number: 3131A001.G01

Dear Mr. Phillips,

On behalf of our client, Norman Stephen Price Revocable Trust, we are respectfully requesting to be waived from providing a landscape plan in accordance with Condition N of the Conditions of Preliminary Approval for this project. This site proposes a 20-foot vegetated buffer in accordance with Condition J and retains a large number of existing trees and vegetation around the perimeter of the site.

If you have any questions or need additional information, please call me at (302) 424-1441 or you may reach me by email at bpm@dbfinc.com.

Sincerely,
DAVIS, BOWEN AND FRIEDEL, INC.



Brandon P. Mace
Site Designer

Enclosures

BPM
P:\Norman\3131A001\Documents\P&Z\Final\3131A001 Milo's Haven - Landscape Plan Waiver Request.docx



June 9, 2020

ARTESIAN WATER COMPANY, INC.

APPROVAL TO CONSTRUCT

South Bethany

Milo's Haven Connection

PWS #DE00A0323

Approval #20W89

Mr. Norman Stephen Price
Norman Stephen Price Revocable Trust
34026 Coastal Highway
Bethany Beach, DE 19930

Dear Mr. Price:

As provided by Section 2.11 of the *State of Delaware Regulations Governing Public Drinking Water Systems*, you are granted approval to connect Milo's Haven to the proposed water main in accordance with the plans submitted by Davis, Bowen & Friedel, Inc. The plans consist of:

1. Transmittal letter dated June 5, 2020.
2. Application for Construction of New or Existing PWS dated June 5, 2020.
3. Two copies of the plans entitled "Milos Haven" dated December 20, 2019 and revised June 5, 2020.

These plans, as noted, are made a part of this approval. This approval is granted subject to the enclosed list of conditions.

It is the owner's responsibility to ensure as-built drawings are maintained throughout all phases of construction. Prior to receiving an Approval to Operate, the Office of Engineering requires one set of as-built drawings, including profile markups where sanitary sewer crosses proposed water mains. **Additional profile markups will be required where the proposed 4-inch sanitary force main and 8-inch sanitary sewer main cross the proposed 8-inch water main at the intersection of Shad Creek Way and Deep Pond Lane on sheet C-404.**

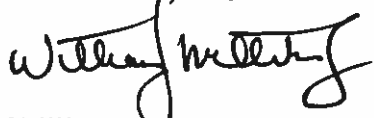
The Office of Engineering recommends detectable tracer tape that is three inches wide and blue in color to be installed directly above all water mains larger than two inches in diameter.

I am sending one set of plans with a copy of this approval to Davis, Bowen & Friedel, Inc. that is signed and dated by the Office of Engineering.

Mr. Norman Stephen Price
Norman Stephen Price Revocable Trust
June 9, 2020
Page 2

Should you have any questions regarding this matter, please feel free to contact Bill Milliken at (302) 741-8646.

Plans reviewed by:



William J. Milliken, Jr.
Engineer III
Office of Engineering

Sincerely,



for
Doug Lodge, P.E.
Supervisor of Engineering
Office of Engineering

cc: Kevin Neilson, Public Service Commission
Virginia Eisenbrey, Artesian Water Company, Inc.
Ashley Kunder, Office of Drinking Water

1. The approval is void if construction has not started by June 9, 2021.
2. The project shall be constructed in accordance with the approved plans and all required conditions listed in this Approval to Construct. If any changes are necessary, revised plans shall be submitted and a supplemental approval issued prior to the start of construction. As-built plans including profile mark-ups must be submitted to the Office of Engineering after construction has been completed.
3. Representatives of the Division of Public Health may inspect this project at any time during the construction.
4. This approval does not cover the structural stability of any units or parts of this project.
5. The water system shall be operated in conformance with the *State of Delaware Regulations Governing Public Drinking Water Systems*.
6. All potable water lines and appurtenances shall be disinfected using one of the methods in the American Water Works Association Standard C651, current edition.
7. Water mains crossing sanitary and storm sewers should be laid to provide a minimum vertical distance of 18 inches between the outside of the water main and the outside of the sewer, and the water main should be above the sewer. At crossings, one full length of water pipe should be located so both joints will be as far from the sewer as possible. Special structural support for the water and sewer pipes may be required. In cases where it is not practical to maintain an 18-inch separation, the Division may allow deviation on a case-by-case basis if supported by data from the design engineer.
8. Water mains should be laid 10 feet horizontally from any existing or proposed sanitary or storm sewers. The distance should be measured edge to edge. In cases where it is not practical to maintain a 10-foot separation, the Division may allow deviation on a case-by-case basis if supported by data from the design engineer.
9. All chemicals, materials, mechanical devices, and coatings in contact with potable water shall comply with National Sanitation Foundation/American National Standards Institute Standards (NSF/ANSI) 60 and 61 and shall be inert, nontoxic, and shall not impart any taste, odor, or color to the water.
10. Sufficient valves should be provided so that inconvenience and sanitary hazards will be minimized during repairs. Valves should be located at not more than 500-foot intervals in commercial districts and at not more than one block or 800-foot intervals in other districts.
11. There shall be no connection between the distribution system and any pipes, pumps, hydrants, or tanks whereby unsafe water or other contaminating materials may be discharged or drawn into the system.

12. Fire hydrant drains shall not be connected to or located within 10 feet of sanitary sewers, storm sewers, or storm drains.
13. Prior to usage of water from this new well, water plant, storage plant, or distribution system, approval for the water quality must be obtained from the Division of Public Health.
14. The water system should be capable of providing at least 25 psi at ground level at all times throughout the distribution system.
15. All plastic pipe utilized in this drinking water system shall be approved for potable water use (NSF-pw). If any piping is joined with solder or flux, the solder and flux shall be lead free (less than or equal to 0.2 percent lead).
16. All water lines should be buried to a depth of at least 3 feet.
17. This approval is for the distribution system only. Plans and specifications for all well plumbing, pumps, storage (including any interior coatings), and treatment must be submitted to and approved by this office prior to their installation.
18. The approval is subject to immediate revocation upon violation of any of the preceding conditions.
19. All other local (county/city/town) approvals or permits needed must be obtained prior to beginning construction.
20. Upon completion of construction and before the system is placed into operation, a "Notice of Completion" must be submitted to the Office of Engineering. Before placing the system into operation, the following must be adhered to:
 - a. Submit a set of as-built plans with profile markups to the Office of Engineering.
 - b. Obtain an Approval to Operate from the Office of Engineering.

Brandon Mace

From: Katherine Garrison <kgarrison@artesianwater.com>
Sent: Wednesday, October 28, 2020 7:52 AM
To: Brandon Mace
Cc: Adam Gould; 'Terry Scanlon'; 'Zac Crouch'
Subject: RE: EXTERNAL: RE: Milos Haven

Thanks.

Katherine E. Garrison
Senior Planning Designer/CCR
(302)453-2508



From: Brandon Mace <bpm@dbfinc.com>
Sent: Tuesday, October 27, 2020 4:41 PM
To: Katherine Garrison <kgarrison@artesianwater.com>
Cc: Adam Gould <AGould@artesianwater.com>; 'Terry Scanlon' <tps@dbfinc.com>; 'Zac Crouch' <wzc@dbfinc.com>
Subject: RE: EXTERNAL: RE: Milos Haven

This email's attachments were cleaned of potential threats by Check Point SandBlast.
Click [here](#) if the original attachments are required (justification needed).

Good afternoon Katherine,

It's great to hear we have your approval! As requested, please find the attached files for your use and let me know if you need anything else.

Thanks, and have a good rest of your day,
Brandon Mace



Brandon P. Mace | Site Designer | Davis, Bowen & Friedel Inc.

Email: bpm@dbfinc.com | Office: 302-424-1441 | Fax: 302-424-0430 | www.dbfinc.com



From: Katherine Garrison <kgarrison@artesianwater.com>
Sent: Tuesday, October 27, 2020 10:31 AM
To: Brandon Mace <bpm@dbfinc.com>
Cc: Adam Gould <AGould@artesianwater.com>; Terry Scanlon <tps@dbfinc.com>; Zac Crouch <wzc@dbfinc.com>
Subject: RE: EXTERNAL: RE: Milos Haven

We will need copies of the fire marshal and public health approvals. I will also need the cad files of the record plan and the water plans. this is for our GIS system and for me to the plans for the offsite water main. we are currently using Civil3D 2018. Let me know if I need to sign a waiver. Thanks,

Katherine E. Garrison
Senior Planning Designer/CCR
(302)453-2508



From: Katherine Garrison
Sent: Monday, October 26, 2020 2:56 PM
To: 'Brandon Mace' <bpm@dbfinc.com>
Cc: Adam Gould <AGould@artesianwater.com>; Terry Scanlon <tps@dbfinc.com>; Zac Crouch <wzc@dbfinc.com>
Subject: RE: EXTERNAL: RE: Milos Haven

Brandon, I have no other comments. The plans are approved.

Katherine E. Garrison
Senior Planning Designer/CCR
(302)453-2508



From: Brandon Mace <bpm@dbfinc.com>
Sent: Monday, October 26, 2020 9:19 AM
To: Katherine Garrison <kgarrison@artesianwater.com>
Cc: Adam Gould <AGould@artesianwater.com>; Terry Scanlon <tps@dbfinc.com>; Zac Crouch <wzc@dbfinc.com>
Subject: EXTERNAL: RE: Milos Haven

**This email originated from outside the organization.
Use caution when opening attachments or following links.**

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Click [here](#) if the original attachments are required (justification needed).

Good morning Katherine,

My apologies, I made a note to send electronic copies but I must have forgot when putting together the submission.

I have attached the files we sent last week. Please let me know if you need anything else.

Thanks!
Brandon Mace



Brandon P. Mace | Site Designer | Davis, Bowen & Friedel Inc.

Email: bpm@dbfinc.com | Office: 302-424-1441 | Fax: 302-424-0430 | www.dbfinc.com



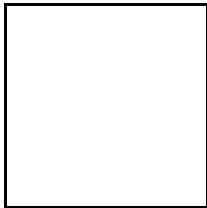
From: Katherine Garrison <kgarrison@artesianwater.com>
Sent: Monday, October 26, 2020 9:06 AM
To: Brandon Mace <bpm@dbfinc.com>
Cc: Adam Gould <AGould@artesianwater.com>
Subject: Milos Haven

Good morning Brandon, I have received the plans you sent for this project. Would it be possible for you to send me pdfs? Thanks.

Katherine E. Garrison
Senior Planning Designer/CCR
(302)453-2508



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www.avg.com



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

January 04, 2021

Mr. Zac Crouch
Davis, Bowen & Friedel, Inc.
23 North Walnut Street
Milford, Delaware 19963

SUBJECT: Entrance Plan Approval Letter

Milos Haven

Tax Parcel #134-18.00-38.00, 134-19.00-13.03
SCR00365-PEPPERS CORNER ROAD
SCR00367A-LIZZARD HILL ROAD
Baltimore Hundred, Sussex County

Dear Mr. Crouch:

The Department of Transportation has reviewed the Commercial Entrance Plans dated December 20, 2019 (last revised December 11, 2020) for the referenced project and determined that they are in general conformance with the Department's current regulations, specifications and standard details. By signing and sealing the plan set, the developer's engineer is responsible for accuracy of content. Any errors, omissions or required field changes will be the responsibility of the developer. This plan approval shall be valid a period of **three (3) years**. If an entrance permit has not been obtained within three years, then the plans must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. The following items will be required prior to the permit being issued. A pre-construction meeting may be required as determined by the South District Public Works office.

1. A copy of the recorded Site Plan which is consistent with the DeIDOT "No Objection to Recordation" stamped plan and all appropriate signatures, seals, plot book and page number.
2. Three (3) copies of the approved entrance plans.
3. Completed permit application.
4. Executed agreements (i.e. construction, signal, letter).
5. An itemized construction cost estimate.
6. A 150% security based upon an approved itemized construction cost estimate and W-9 form (if providing escrow).

Milos Haven
Mr. Crouch
Page 2
January 04, 2021

7. A letter of source of materials, work schedule, list of subcontractors, emergency telephone numbers and names of contact persons.

Please contact the South District Public Works office (302) 853-1340 concerning any questions you may have relative to the aforementioned required items.

Sincerely,



Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

cc: Stephen Norman, Cider Hill Development Company, LLC
Jamie Whitehouse, Sussex County Planning & Zoning Commission
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Matt Schlitter, South District Public Works Engineer
Gemez Norwood, South District Public Work Manager
James Argo, South District Project Reviewer
Robert Bragg, South District Subdivision Manager
Jerry Nagyiski, Safety Officer Supervisor
Kerry Yost, Traffic Calming & Subdivision Relations Manager
Jennifer Pinkerton, Chief Materials & Research Engineer
Linda Osiecki, Pedestrian Coordinator
John Fiori, Bicycle Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kauffman, DTC Planner
James Kelley, JMT
Wendy L. Polasko, Subdivision Engineer
Kevin Hickman, Sussex County Reviewer



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

April 24, 2020

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

**SUBJECT: Letter of No Objection to Recordation
Milos Haven**

Tax Parcel # 134-18.00-38.00, 134-19.00-13.03
SCR365-PEPPERS CORNER ROAD
SCR367A-LIZZARD HILL ROAD
Baltimore Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Site Plan, dated December 20, 2019 (last revised April 20, 2020), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawings. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Site Plan is not recorded prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. Entrance plans shall be developed in accordance with DelDOT's [Development Coordination Manual](#) and submitted to the Development Coordination Section for review and approval.

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel

Milos Haven
Mr. Jamie Whitehouse
Page 2
April 24, 2020

that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

If I can be of any further assistance, please call me at (302) 760-2266.

Very truly yours,



Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

cc: Stephen Norman, Cider Hill Development Company, LLC
Zac Crouch, Davis, Bowen & Friedel, Inc.
William Kirsch, South District Entrance Permit Supervisor
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Gemez W. Norwood, South District Public Work Manager
James Argo, South District Project Reviewer
Robert Bragg, South District Subdivision Manager
Jennifer Pinkerton, Chief Materials & Research Engineer
Chris Sylvester, Traffic Studies Manager
Linda Osiecki, Pedestrian Coordinator
John Fiori, Bicycle Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kaufman, DTC Planner
James Kelley, JMT
Todd Sammons, Subdivision Engineer
Kevin Hickman, Sussex County Reviewer

MAPPING & ADDRESSING

MEGAN NEHRBAS
MANAGER OF GEOGRAPHIC
INFORMATION SYSTEMS (GIS)
(302) 855-1176 T
(302) 853-5889 F



Sussex County

DELAWARE
sussexcountyde.gov

March 15, 2019

Attn: **Stephen P. Norman, Esquire**

RE: **MILOS HAVEN**

I have received proposed street name(s) for the existing subdivision, **MILOS HAVEN**, located in the **FRANKFORD** zip code. In reviewing the proposed street name(s) the following have been approved:

Norman Ln	Shad Creek Way	White Tail Dr
Deep Pond Ln	Christys Way	Taywood Dr
Mimi Ln	Nikelle Ln	

Use only **approved** road names that you have written confirmation for or you will be required to rerecord. Each street name is to be used only once.

Upon final approval of **Milos Haven** please forward a copy of the recorded site plan to my attention. Our office would appreciate a digital copy if at all possible for the purpose of addressing. Should you have any questions, please contact the **Sussex County Addressing Department** at 302-855-1176.

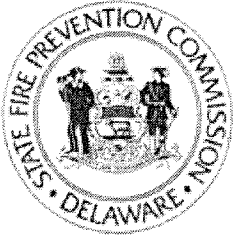
Sincerely,

Terri L. Dukes

Terri L. Dukes
Addressing Technician II

CC: Christin Headley
Planning & Zoning





**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2019-04-202665-MJS-03

Tax Parcel Number: 134-18.00-38.00

Status: Approved as Submitted

Date: 06/10/2020

Project

Milo's Haven

Peppers Corner Road and Lizzard Hill Road
Frankford DE 19945

Lands of Norman Stephen Price

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 84 - Millville Volunteer Fire Co

Occupant Load Inside:

Occupancy Code:

Applicant

W. Zachary Crouch
1 Park Avenue
Milford, DE 19963

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:

Desiree McCall

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2019-04-202665-MJS-03

Tax Parcel Number: 134-18.00-38.00

Status: Approved as Submitted

Date: 06/10/2020

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1030 A** This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 500 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 1,000' on center.
- 1040 A** This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 1,000 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 800' on center.
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1130 A** Provide a water flow test on the subdivision hydrant(s) once they have been installed, and before they are placed into service (DSFPR Part I, Section 4 4.2 and Part III, Chapter 3). Results are to be forwarded to this Agency for review.
- 1132 A** Fire hydrants shall be color coded in accordance with the DSFPR, Part III, Section 3 4. This includes both color coding the bonnet and 2" reflective tape around the barrel under the top flange.
- 1232 A** All threads provided for fire department connections, to sprinkler systems, standpipes, yard hydrants or any other fire hose connections shall be uniform to those used by the fire department in whose district they are located. DSFPR Part III, Section 1.1.5.1.

1432 A The steamer connection of all fire hydrants shall be so positioned so as to be facing the street or fire lane. (DSFPR Regulation 705, Chapter 5, Section 10). The center of all hose outlet(s) on fire hydrants shall be not less than 18 inches above finalgrade (NFPA 24, Section 7.3.3).

1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.



March 11, 2021

Mr. Norman Price
c/o Davis, Bowen, & Friedel, Inc.
1 Park Avenue
Milford, DE 19963

RE: Milo's Haven

Dear Mr. Price:

A Sediment and Stormwater Management Plan has been reviewed for compliance with the Sediment and Stormwater Regulations and is approved with conditions (see attached). Enclosed herein please find a copy of the approved application form and approved plan sets. Please retain a copy for your use and provide the contractor with a copy to be retained onsite at all times. Failure to keep an approved plan onsite is a violation of the approved plan.

Approval of a Sediment and Stormwater Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.

This plan approval pertains to compliance with the *Delaware Sediment and Stormwater Regulations*. Please understand that the approval of this plan does not relieve you from complying with any and all federal, state, county, or municipal laws and regulations.

As of January 1, 2014, the Sussex Conservation District began collecting financial guarantees to ensure the construction of stormwater management practices is accomplished in accordance with the approved sediment and stormwater plan. Please refer to the SCD Policy on Bonds located on our website at Sussexconservation.org. If you have any questions concerning the aforementioned, please do not hesitate to call 302 856-7219.

Sincerely,

Jessica Watson

Jessica Watson queue
Program Manager

JW/jmg

cc:

CONDITIONS OF APPROVAL

NOTIFICATION

1. This approved plan will remain valid for 5 years from the date of this approval. If construction does not begin within five years, the approved plan will be considered to have expired, and must be resubmitted to the District for a new review. In addition, if work is not completed within the five-year timeframe, the District must be contacted and a request for an extension submitted. Depending on regulation changes, a new plan may need to be submitted to ensure that all stormwater management facilities are constructed to the most recent standards.
2. Submittal of the Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activities together with this approval of the detailed Sediment and Stormwater Plan provide this project with Federal permit coverage to be authorized to discharge storm water associated with construction activities. It is the owner's responsibility to ensure that permit coverage remains valid throughout construction by submitting the NOI fee annually as requested. The developer is responsible for weekly self-inspection reporting to be retained onsite.
3. Notify the Sussex Conservation District Sediment and Stormwater Management Section of your intent to begin construction in writing five (5) days prior to commencing. Failure to do so constitutes a violation of the approved plan.

CHANGES

4. This project is to be undertaken in accordance with the plans submitted and as approved. If changes are necessary at any time during the completion of the project, submit revised plans, prior to further construction, to the Sussex Conservation District Sediment and Stormwater Program for review and approval of the revision.
5. Should ownership change during the construction period, a revised plan must be submitted for approval showing the new owner's signature on the owner's certification. In addition, a Transfer of Authorization form must be submitted to DNREC to transfer Federal permit coverage to the new owner.

CONSTRUCTION AND CLOSEOUT

6. A pre-construction meeting must take place before any land disturbing activity begins. The meeting may take place on site and be attended by the owner, contractor, design consultant, Certified Construction Reviewer and Sussex Conservation District Sediment and Stormwater Program Construction Reviewer. The owner or the owner's designee shall contact the Sussex Conservation Construction Reviewer to schedule the pre-construction meeting.
7. Keep available onsite, during all phases of construction, a copy of the approved Sediment and Stormwater Management Plan.
8. Keep available onsite, during all phases of construction, copies of the Developers weekly self-inspection reports and/or the CCR Reports.
9. Any sediment transported off-site to roads or road rights-of-way including ditches shall be removed. Any damage to ditches shall be repaired and stabilized to original condition.
10. Grading shall not impair surface drainage, create an erosion hazard, or create a source of sediment to any adjacent watercourse or property owner.
11. Failure to implement the permanent stormwater management practices as mentioned herein constitutes a violation of the conditions of this plan approval; it may result in the suspension or revocation of building permits or grading permits issued by the local jurisdiction; and it may result in legal action by the DNREC to bring the site into compliance with the approved Sediment and Stormwater Management Plan and the *Delaware Sediment and Stormwater Regulations*.
12. The permanent stormwater management facility or facilities must be constructed and accepted by the Sussex Conservation District Sediment and Stormwater Program prior to final closeout of the project site. Post construction verification documentation of the stormwater management facility or facilities must be completed as soon as construction of the facility or facilities is complete so that any necessary modifications may be made during the construction period.



DETAILED SEDIMENT AND STORMWATER MANAGEMENT PLAN APPLICATION

NAME OF PROJECT: Milo's Haven
PROJECT DESCRIPTION: Residential Planned Community
LOCATION OF PROJECT: Northeast of the intersection of Peppers Corner Road & Lizzard Hill Road
PROJECT TAX MAP NUMBER: 134-18.00-38.00 & 134-19.00-13.03
PROJECT COORDINATES (center of site-decimal degrees) LAT: 31.0158 LONG: -85.5711
TYPE OF PROJECT: Residential WATERSHED: Little Assawoman Bay
NUMBER OF LOTS: 43 TOTAL ACRES: 71.75 DISTURBED ACRES: 41.27

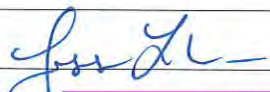
APPLICANT'S CONTACT INFORMATION

FIRST NAME: Norman LAST NAME: Price
COMPANY NAME: Norman Stephen Price Revocable Trust
ADDRESS: 34702 Cider Lane
CITY: Frankford STATE: Delaware ZIP: 19942
PHONE NUMBER: 302-537-3788 FAX NUMBER: _____
EMAIL ADDRESS: snorman@thenormanlawfirm.com

CONSULTANT CONTACT INFORMATION

CONSULTANT/ENGINEER NAME: Davis, Bowen & Friedel, Inc.
CONTACT PERSON/PROJECT MANAGER: W. Zachary Crouch, P.E.
PHONE #: (302) 424-1441 FAX #: (302) 424-0430
EMAIL ADDRESS: wzc@dbfinc.com

SUSSEX CONSERVATION DISTRICT APPROVAL

REVIEWER: _____ DATE: _____
APPROVAL:  DATE: 3/11/2021

If ownership of this project changes during the construction period, Sussex Conservation District will require a new signed owner's certification statement.... In addition, the authorization to discharge stormwater under the regulations Part 2 Special Conditions for Storm Water Discharges Associated with Construction Activities, must be transferred by the original owner to the new owner, please contact DNREC for assistance at 302-739-9921.

DEC 29 2019

OWNER/DEVELOPER CERTIFICATION

- I/We certify that the information on this form and the attached plans are true and accurate to the best of my/our knowledge.
- I/We understand that DNREC/Delegated Agency may request information in addition to that set forth herein as may be deemed appropriate in considering this application.
- I/We will abide by the conditions of this approval as issued.
- I/We hereby certify that all clearing, grading, construction and/or development will be done pursuant to the approved plan, and that all responsible personnel involved in the land disturbing activities will have a Sediment and Stormwater Management Certification from DNREC/Delegated Agency.
- I/We hereby authorize the right of entry for periodic on site inspection by DNREC/Delegated Agency personnel and/or authorized agents.

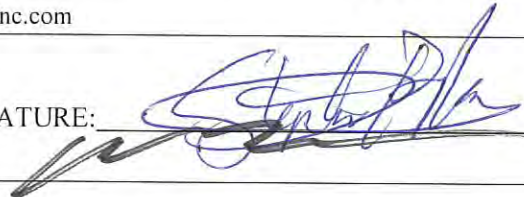

OWNER/DEVELOPER SIGNATURE:  DATE: 12/17/19 
OWNER/DEVELOPER PRINTED NAME: Stephen Norman

AGENT AUTHOIZATION

(If this authorization form is completed with the application, all future correspondence may be signed by the duly authorized agent.)

I, Norman Price, hereby designate and authorize the following identified agent to act on my behalf in the processing of this application and to furnish any information that is requested.

AGENT NAME: W. Zachary Crouch, P.E.
AGENT ADDRESS: 1 Park Avenue
CITY: Milford STATE: Delaware ZIP: 19963
AGENT PHONE #: (302) 424-1441 FAX #: (302) 424-0430
EMAIL ADDRESS: wzc@dbfinc.com

OWNER/DEVELOPER SIGNATURE:  DATE: 12/17/19 
AGENT SIGNATURE: _____ DATE: 12-20-2019

Please attach project Supplemental BMP Data Sheet to the Detailed Sediment and Stormwater Management Plan Application.

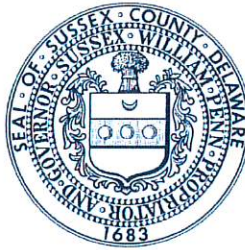
PROJECT BMP DATA SHEET

List the BMP(s) utilized in the project stormwater management quantity and water quality strategy.

BMP NAME	BMP TYPE	ACRES TREATED	BMP LOCATION COORDINATES (@ BMP release point - decimal degrees)	
			LATITUDE	LONGITUDE
Pond A	Wet pond	3.899	31.01650	85.57265
	No BMP selected			
Pond C	Wet pond	10.056	31.01415	85.56911
Pond D	Wet pond	1.149	31.01602	85.56888
Pond E	Wet pond	6.776	31.01855	85.56751
Pond F	Wet pond	11.664	31.01822	85.57144
Pond EX	Wet pond	9.225	31.01727	85.56860
	No BMP selected			

ENGINEERING DEPARTMENT

ADMINISTRATION (302) 855-7718
AIRPORT & INDUSTRIAL PARK (302) 855-7774
ENVIRONMENTAL SERVICES (302) 855-7730
PUBLIC WORKS (302) 855-7703
RECORDS MANAGEMENT (302) 854-5033
UTILITY ENGINEERING (302) 855-7717
UTILITY PERMITS (302) 855-7719
UTILITY PLANNING (302) 855-1299
FAX (302) 855-7799



Sussex County

DELAWARE

sussexcountyde.gov

HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

MICHAEL E. BRADY
DIRECTOR OF PUBLIC WORKS

December 18, 2020

Mr. Zachary Crouch, P.E.
Davis, Bowen & Friedel, Inc.
1 Park Ave.
Milford, DE 19963

REF: **MILOS HAVEN (FKA LAKELYNNS)
BEAVER DAM PLANNING AREA
SUBDIVISION No. 2018-35
SUSSEX COUNTY TAX MAP No. 134 - 18.00 & 19.00 - PARCEL 38.00 &
13.03 - CLASS-1
AGREEMENT No. 884-1**

Dear Mr. Crouch,

The above referenced project was approved on December 18, 2020 and one (1) set of the approved plans are enclosed. This approval is valid for three (3) years, unless prior to expiration of that three (3) year period, a time extension is requested and approved by the Department. Plans granted an extension beyond the three (3) period will be required to meet updated standards and specifications.

Also, it is your responsibility to secure approvals and/or permits that may be required by other regulatory agencies.

Please contact Mr. Gary Fleetwood of this Division to initiate pre-construction procedures for private roads and Mr. Keith Bryan in the Department's Division of Utility Engineering to initiate pre-construction procedures for sanitary sewer.

Should you have any questions, please do not hesitate to contact me.

Sincerely,

SUSSEX COUNTY ENGINEERING DEPARTMENT

Scott A. Thornton
Public Works Engineering Technician IV

cc: Mr. Keith Bryan, w/2 enclosures
Public Works Field File, w/2 enclosures
Owner/Developer: Norman S. Price, Revocable Trust



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 589
GEORGETOWN, DELAWARE 19947

CONDITIONS OF APPROVAL SUBDIVISION 2018-18:

- THERE SHALL BE NO MORE THAN 70 LOTS WITHIN THE SUBDIVISION.
- THE DEVELOPER SHALL ESTABLISH A HOMEOWNER'S ASSOCIATION RESPONSIBLE FOR THE MAINTENANCE OF STREETS, ROADS, BUFFERS, STORMWATER MANAGEMENT FACILITIES AND OTHER COMMON AREAS.
- THE STORMWATER MANAGEMENT SYSTEM SHALL MEET OR EXCEED THE REQUIREMENTS OF THE STATE AND COUNTY. THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX COUNTY CONSERVATION DISTRICT FOR THE DESIGN AND LOCATION OF ALL STORMWATER MANAGEMENT AREAS AND EROSION AND SEDIMENTATION CONTROL FACILITIES.
- A FORESTED LANDSCAPED BUFFER OF AT LEAST 20 FEET IN DEPTH SHALL BE INSTALLED ALONG THE ENTIRE PERIMETER OF THE PROJECT, EXCEPT FOR AREAS UNDER WATER, PART OF EXISTING WETLANDS, OR WITHIN THE WETLANDS BUFFER. THIS BUFFER SHALL UTILIZE EXISTING VEGETATION. THE FINAL SITE PLAN SHALL CONTAIN A LANDSCAPE PLAN FOR ALL OF THE AREAS.
- THE SUBDIVISION SHALL BE SERVED BY SUSSEX COUNTY SEWER SERVICE.
- THE SUBDIVISION SHALL BE SERVED BY A PUBLICLY REGULATED CENTRAL WATER SYSTEM PROVIDING DRINKING WATER AND FIRE PROTECTION.
- THE STREET DESIGN SHALL MEET OR EXCEED SUSSEX COUNTY STANDARDS.
- THE DEVELOPMENT SHALL BE SERVED BY ITS OWN ON-SITE ACTIVE AMENITIES INCLUDING A DOCK, KAYAK LAUNCH, POOL AND POOL HOUSE.
- THE AMENITIES SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE 40th RESIDENTIAL BUILDING PERMIT.
- ROAD NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY MAPPING AND ADDRESSING DEPARTMENT.
- DELIVERIES AND CONSTRUCTION ACTIVITIES SHALL ONLY OCCUR BETWEEN THE HOURS OF 8:00 AM THROUGH 5:00 PM, MONDAY THROUGH FRIDAY.
- NO LOTS SHALL CONTAIN ANY TIDAL WETLANDS.
- THERE SHALL BE A BUFFER FROM ALL TIDAL WETLANDS. THE BUFFER SHALL HAVE A DEPTH OF AT LEAST 50 FEET, AND SHALL BE OUTSIDE OF ALL LOT LINES.
- THERE SHALL BE CONTINUED INTERCONNECTIVITY WITH MADISON AVENUE.
- A COVERED BUS STOP AREA SHALL BE PROVIDED NEAR THE ENTRANCE TO THE DEVELOPMENT FOR USE BY SCHOOL BUSES OR PUBLIC TRANSPORTATION.
- A REVISED PRELIMINARY SITE PLAN EITHER DEPICTING OR NOTING THESE CONDITIONS MUST BE SUBMITTED TO THE OFFICE OF PLANNING AND ZONING.
- THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.

LIST OF DRAWINGS

G1.0	COVER SHEET
PSP 1.0	INDEX SHEET EXISTING CONDITIONS
PSP 1.1	EXISTING CONDITIONS
PSP 1.2	EXISTING CONDITIONS
PSP 1.3	EXISTING CONDITIONS
PSP 1.4	LINE AND CURVE TABLE
PSP 2.0	PRELIMINARY SUBDIVISION INDEX SHEET
PSP 2.1	PRELIMINARY SUBDIVISION SITE PLAN
PSP 2.2	PRELIMINARY SUBDIVISION SITE PLAN
PSP 2.3	PRELIMINARY SUBDIVISION SITE PLAN

WETLANDS AREA TABLE:

UPLANDS AREA:	±1,661,378.80 SF (38.14 AC.)
WATERS OF THE U.S. INCLUDING WETLANDS SUBJECT TO USACE REGULATORY PROGRAM:	±3,599,218.86 SF (82.63 AC.)
TOTAL SITE AREA:	±5,260,597.66 SF (120.77 AC.)

NOTE:
A TOTAL OF 68.85 ACRES OF STATE REGULATED WETLANDS EXIST ON THE SITE, INCLUDING 2.11 ACRES TIDAL POND.

WETLANDS CERTIFICATION:

EDWARD M. LAUNAY, PWS, STATE THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED ON THIS PLAN HAVE BEEN DETERMINED USING MY PROFESSIONAL JUDGEMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, REGULATIONS AND SUPPLEMENTAL GUIDANCE (33 CFR 328.3(a)(8)), WATERS OF THE U.S. DEFINITION/CECW-OR, 10-7-1991, QUESTIONS AND ANSWERS ON THE 1987 COE MANUAL/CECW-OR, 9-26-1990, RGL 90-7/CECW-OR, 3-6-1992, CLARIFICATION AND INTERPRETATION OF THE 1987 MANUAL.
THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES. DNREC STATE REGULATED WETLANDS HAVE BEEN IDENTIFIED IN ACCORDANCE WITH DNREC WETLAND MAP NOS. 2 & 28 SUSSEX COUNTY.

EDWARD M. LAUNAY, PWS NO. 875 DATE
SOCIETY OF WETLAND SCIENTISTS
CORPS OF ENGINEERS
CERTIFIED WETLAND DELINEATOR WDCP93M005100368

CANNON PROPERTY

Cal Freeman COMMUNITIES

SUSSEX COUNTY, DELAWARE

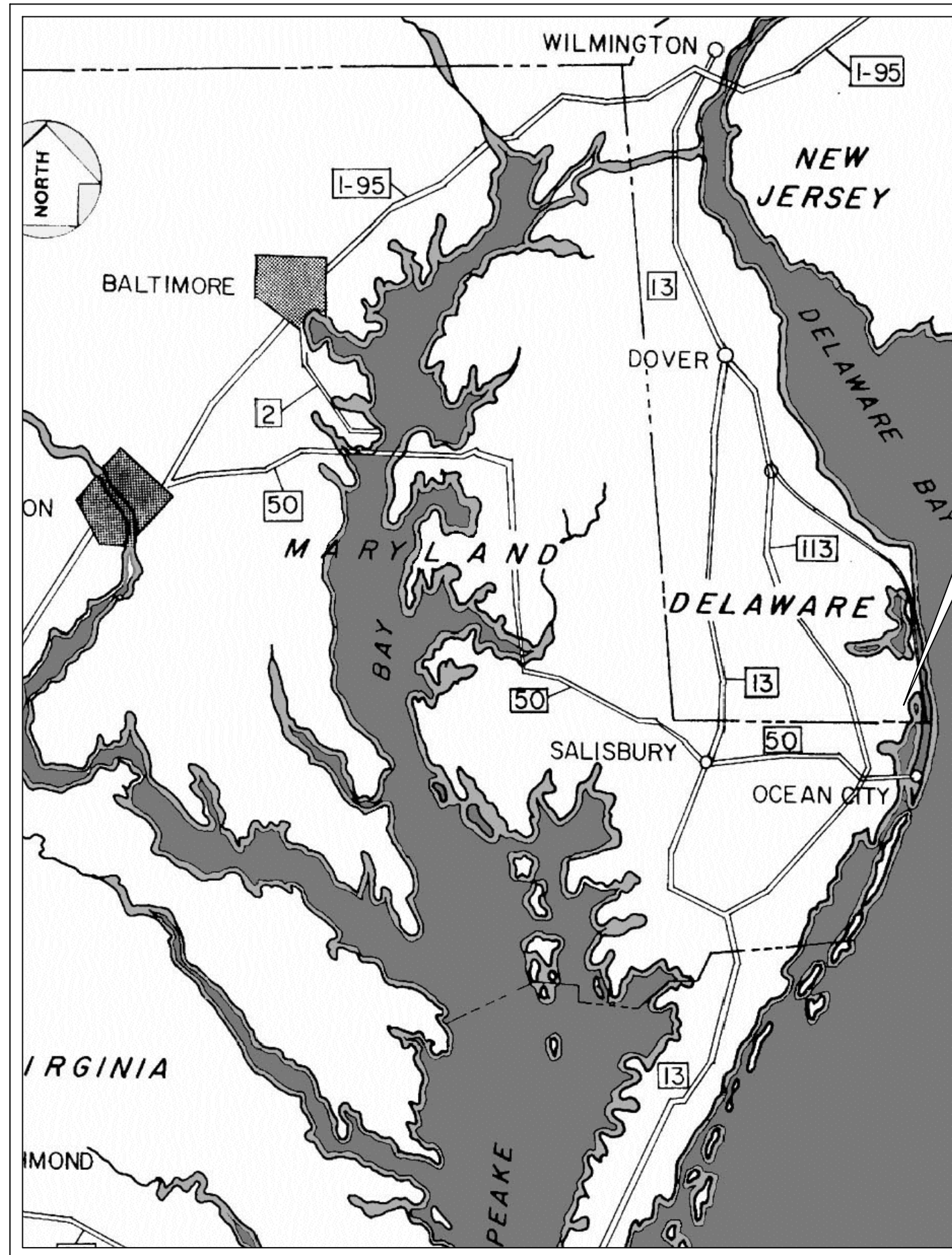
AMENDED PRELIMINARY RESIDENTIAL

SUBDIVISION PLAN #2018-18 (APPROVED 11/29/2018)

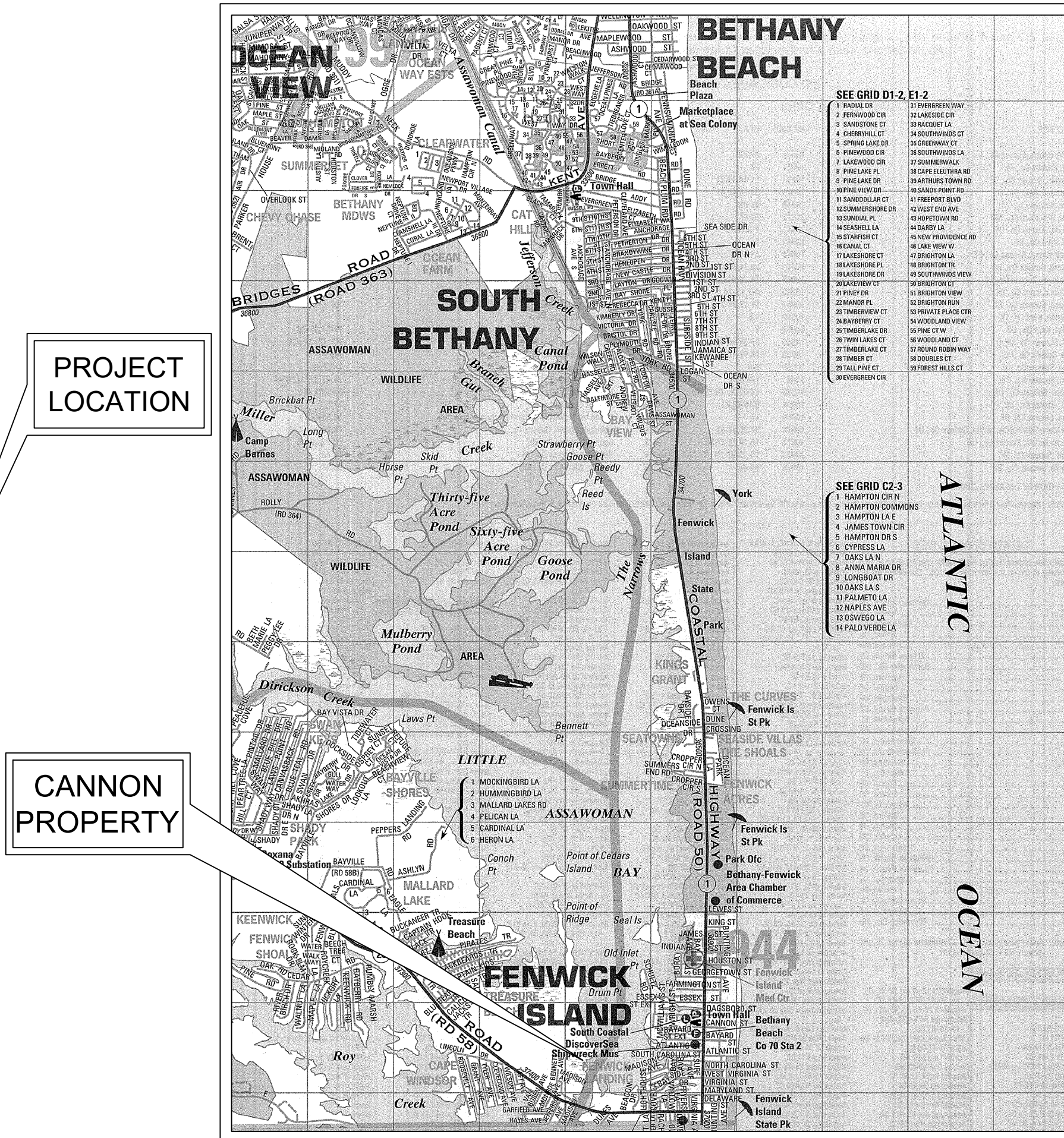
PARCELS 533-20.00-20.00, 21.00

& 533-20.19-97.00

GMB NO. 180022-A



VICINITY MAP
SCALE: 1" = 20 MILES



LOCATION MAP
SCALE: 1" = 2000'

OWNER / DEVELOPER'S CERTIFICATION:

I HEREBY CERTIFY THAT I AM THE DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN AND THAT THE PLAN WAS MADE AT MY DIRECTION.

JOSH MASTRANGELO DATE
CARL M. FREEMAN COMMUNITIES, LLC
206 WEST MAIN STREET, SUITE 200
OCEAN VIEW, DELAWARE 19970

ENGINEER'S CERTIFICATION:

I, STEPHEN L. MARSH, P.E., HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HERE HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEVE REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

STEPHEN L. MARSH, P.E. DATE
GEORGE, MILES & BUHR, LLC.
206 W. MAIN STREET
SALISBURY, MD 21801

GMB
GEORGE, MILES & BUHR, LLC
ARCHITECTS & ENGINEERS
SALISBURY • BALTIMORE • SEAFORD
206 WEST MAIN STREET
SALISBURY, MARYLAND 21801
410-742-3115, FAX 410-548-5790
www.gmbnet.com

MARCH 2021

NOTES:

- ALL INTERIOR SIDE LOT LINES ARE RESERVED FOR THE CENTERLINE OF A 10' WIDE DRAINAGE AND/OR UTILITY EASEMENT. A 10' WIDE DRAINAGE AND/OR UTILITY EASEMENT IS RESERVED ON EACH LOT ALONG THE FRONT AND REAR PROPERTY LINES. THIS PLAN AND SURVEY DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS PERTAINING TO THIS PROPERTY.
- MAINTENANCE OF THE STREETS WITHIN THIS SUBDIVISION WILL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS WITHIN THE SUBDIVISION, OR BOTH. THE STATE ASSUMES RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF STREETS WITHIN INDICATED DELDOT RIGHT-OF-WAYS ONLY.
- MAINTENANCE OF STORM DRAIN AND STORMWATER MANAGEMENT FACILITIES WILL BE THE RESPONSIBILITY OF THE DEVELOPERS, THE PROPERTY OWNERS WITHIN THE SUBDIVISION, THE HOA OR ALL. THE STATE ASSUMES RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF STORM DRAIN WITHIN INDICATED DELDOT RIGHTS OF WAY ONLY.
- WATER SERVICE WILL BE PROVIDED BY CONNECTION TO AN EXISTING PUBLIC SYSTEM. ALL DISTRIBUTION EQUIPMENT WILL BE INSTALLED AND MAINTAINED BY ARTESIAN WATER CO. ALL PROPOSED FACILITIES WILL BE SUBJECT TO REVIEW AND APPROVAL BY SUSSEX COUNTY AND DELAWARE DIVISION OF PUBLIC HEALTH.
- WASTEWATER TREATMENT AND DISPOSAL WILL BE PROVIDED BY THE SUSSEX COUNTY ENGINEERING DEPARTMENT, SOUTH COASTAL WASTE WATER TREATMENT FACILITY. THE COLLECTION AND TRANSMISSION SYSTEM WILL CONSIST OF VARIOUS DIAMETER GRAVITY SEWERS. THE COLLECTION AND TRANSMISSION SYSTEM WILL BE SUBJECT TO REVIEW AND APPROVAL BY SUSSEX COUNTY AND DNREC.
- THERE IS NO ACTIVE AGRICULTURAL PROPERTY GREATER THAN 10 ACRES DIRECTLY ABUTTING THE PROPOSED DEVELOPMENT.
- TIDAL AND NON-TIDAL WETLANDS EXIST ON THE PROPERTY.
- STORMWATER MANAGEMENT PRACTICES WILL BE DESIGNED TO MEET STORMWATER QUALITY AND QUANTITY MANAGEMENT REQUIREMENTS. ALL STORMWATER MANAGEMENT DESIGN WILL BE IN ACCORDANCE WITH DELAWARE STORMWATER DESIGN MANUAL STANDARDS.
- EASEMENTS SHALL BE PROVIDED WHERE NECESSARY TO MEET PUBLIC UTILITY REQUIREMENTS. NECESSARY EASEMENTS ALONG PERIMETER BOUNDARIES OF THE DEVELOPMENT SHALL BE NO LESS THAN TEN (10) FEET IN WIDTH ON THE INTERIOR SIDE OF THE BOUNDARY.
- BOUNDARY SHOWN HEREIN PROVIDED BY ADKINS LAND SURVEYING, LLC, DATED SEPT 21, 2017.
- THE RESIDENTIAL PORTION OF THE COMMUNITY WILL BE GATED AT THE MAIN ENTRANCE, SEPARATING IT FROM THE FUTURE COMMERCIAL USE ALONG ROUTE 54.
- ALL AMENITIES WILL BE FOR THE PRIVATE USE OF THE RESIDENTS AND THEIR GUESTS. A SEPARATE AMENITIES SITE PLAN WILL BE SUBMITTED FOR APPROVAL AND RECORDATION.
- ANY ADDITIONAL SIGNAGE WILL REQUIRE A SEPARATE PERMIT FROM THE COUNTY.

SITE DATA:

TAX MAP #:	T.M. ID 533-20.00-20.00
DEED REFERENCE:	BOOK 5056 PAGE 0
OWNER:	ALLIE MARIE CANNON HEIRS
TAX MAP #:	T.M. ID 533-20.00-21.00, & 533-20.19-97.00
DEED REFERENCE:	BOOK 4781 PAGE 46
OWNER:	CARL M FREEMAN COMMUNITIES, LLC

ZONING CLASSIFICATION: AR-1
PROPOSED ZONING: AR-1 CLUSTER
FUTURE LAND USE MAP: COASTAL AREA
PRESENT USE: RESIDENTIAL, OPEN AREA & MAINTAINED VACANT LAND
PROPOSED USE: SINGLE FAMILY HOMES

PROPOSED SUBDIVISION AREA:	±111.57 ACRES
PROPOSED DEVELOPED AREA:	± 21.59
DISTURBED SECTION 404 WETLANDS:	± 0.00
OPEN SPACE LOT A:	±0.79 STORMWATER MANAGEMENT
OPEN SPACE LOT B:	±0.22 PASSIVE OPEN SPACE
OPEN SPACE LOT C:	±93.04 AMENITY AREA, WETLANDS AND BUFFERS, STORMWATER MANAGEMENT

FLOOD INFORMATION: SPECIAL FLOOD HAZARD AREA ZONE X, VE, AE 6 AND AE 5 PER FEMA MAP 10050C0654K DATED MARCH 16, 2015

SOURCE WATER PROTECTION: PROJECT DOES NOT LIE WITHIN A WELLHEAD PROTECTION AREA PER SUSSEX COUNTY CODE SECTION 89-6
PROJECT LIES WITHIN AN AREA OF EXCELLENT GROUNDWATER RECHARGE POTENTIAL PER SUSSEX COUNTY CODE SECTION 89-7

OPEN SPACE: ± 94.05 ACRES (84%)
IMPERVIOUS AREA: ± 8.06 ACRES (3000sf roofs)

BUILDING SETBACKS
PATIO HOMES - 60' MIN LOT WIDTH (7,500 SQUARE FEET)
25' FRONT YARD
10' SIDE YARD 15' SIDE YARD AT CORNER INTERSECTIONS
10' REAR YARD

UNIT COUNT
SINGLE FAMILY HOMES 70
DENSITY CALCULATION:
UNITS PER ACRE 0.58
UNITS PER ACRE OF UPLANDS 1.96

REQUIRED PARKING: 140 (2 PER SINGLE FAMILY DWELLING)
PROVIDED PARKING: 140

WATER PROVIDER: ARTESIAN WATER COMPANY
SEWER PROVIDER: SUSSEX COUNTY PUBLIC WORKS

PROPOSED AMENITIES: PRIVATE MARINA, KAYAK STORAGE, POOL AND POOL HOUSE

APPROVED BY _____ SUSSEX COUNTY COUNCIL PRESIDENT
APPROVED BY _____ SUSSEX COUNTY PLANNING AND ZONING COMMISSION
APPROVED BY _____ SUSSEX COUNTY SOIL CONSERVATION DISTRICT

PRINTS ISSUED FOR: PRELIMINARY

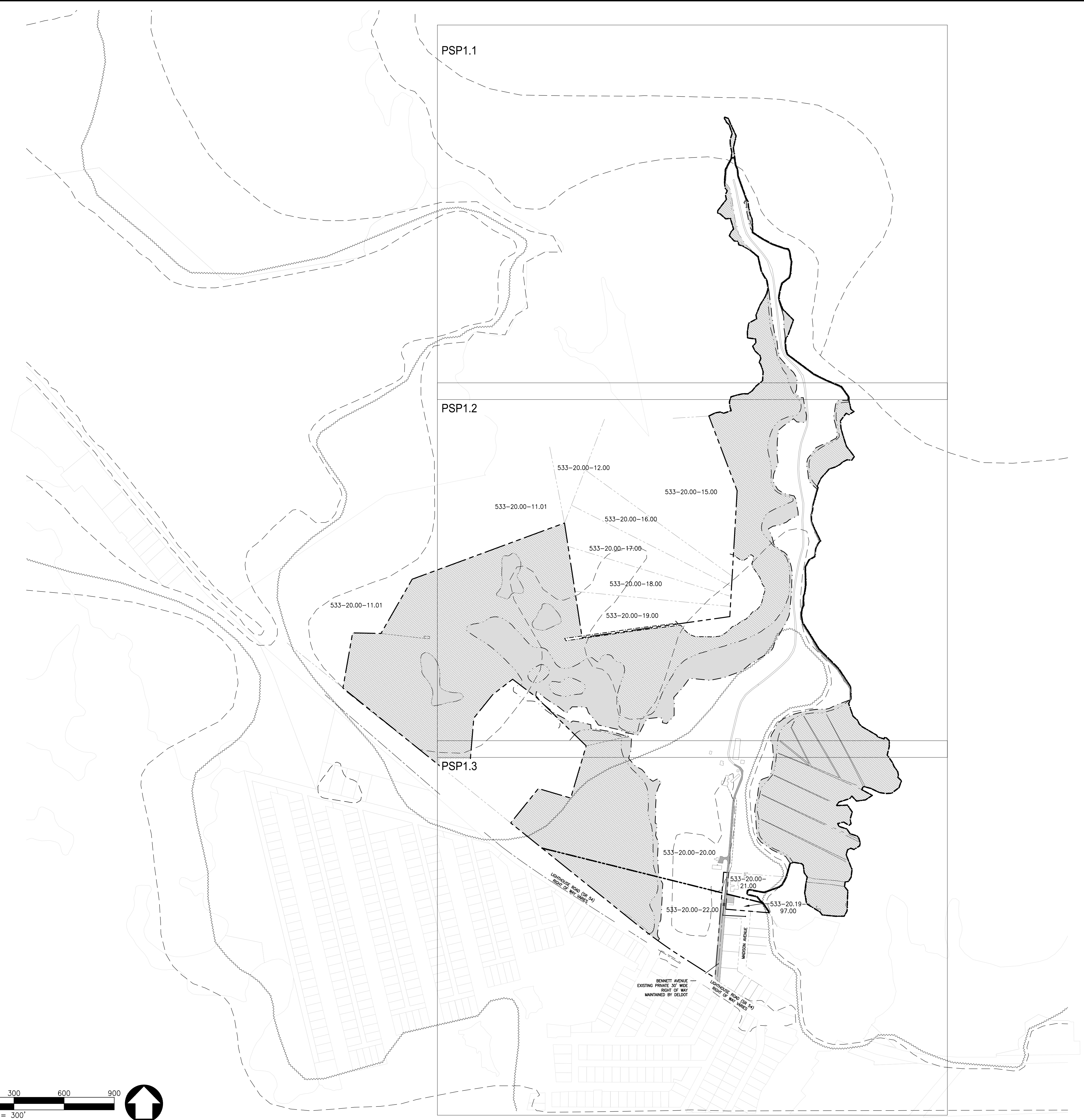
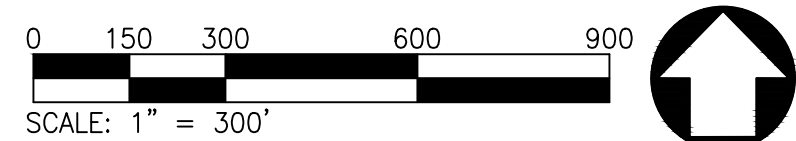
DATE	
REVISIONS	
NO.	

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CANNON PROPERTY
RESIDENTIAL SUBDIVISION
Cal Freeman COMMUNITIES
SUSSEX COUNTY, DELAWARE

COVER SHEET

SCALE: AS NOTED	SHEET NO.
DESIGN BY: KK	
DRAWN BY: CEM	
CHECKED BY: SLM	
GMB FILE: 180022-A	G1.0
DATE: MAR 2021	



LEGEND

- PROPERTY LINE / MEAN LOW WATER
- PROPERTY LINE
- MEAN HIGH WATER
- BOUNDARY OF STATE REGULATED WETLANDS (DNREC)
- BOUNDARY OF WATERS OF THE U.S. INCLUDING WETLANDS SUBJECT TO CORPS OF ENGINEERS REGULATORY PROGRAM
- FEMA FLOOD ZONES
- LIMIT OF MODERATE WAVE ACTION
- STATE REGULATED (DNREC) TIDAL WETLANDS / WATERS OF THE U.S.
- WATERS OF THE U.S. LANDWARD OF DNREC WETLANDS
- EXISTING RIP RAP SHORELINE

AREA TABLE:

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DATE	REVISIONS	NO.

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CANNON PROPERTY
 RESIDENTIAL SUBDIVISION

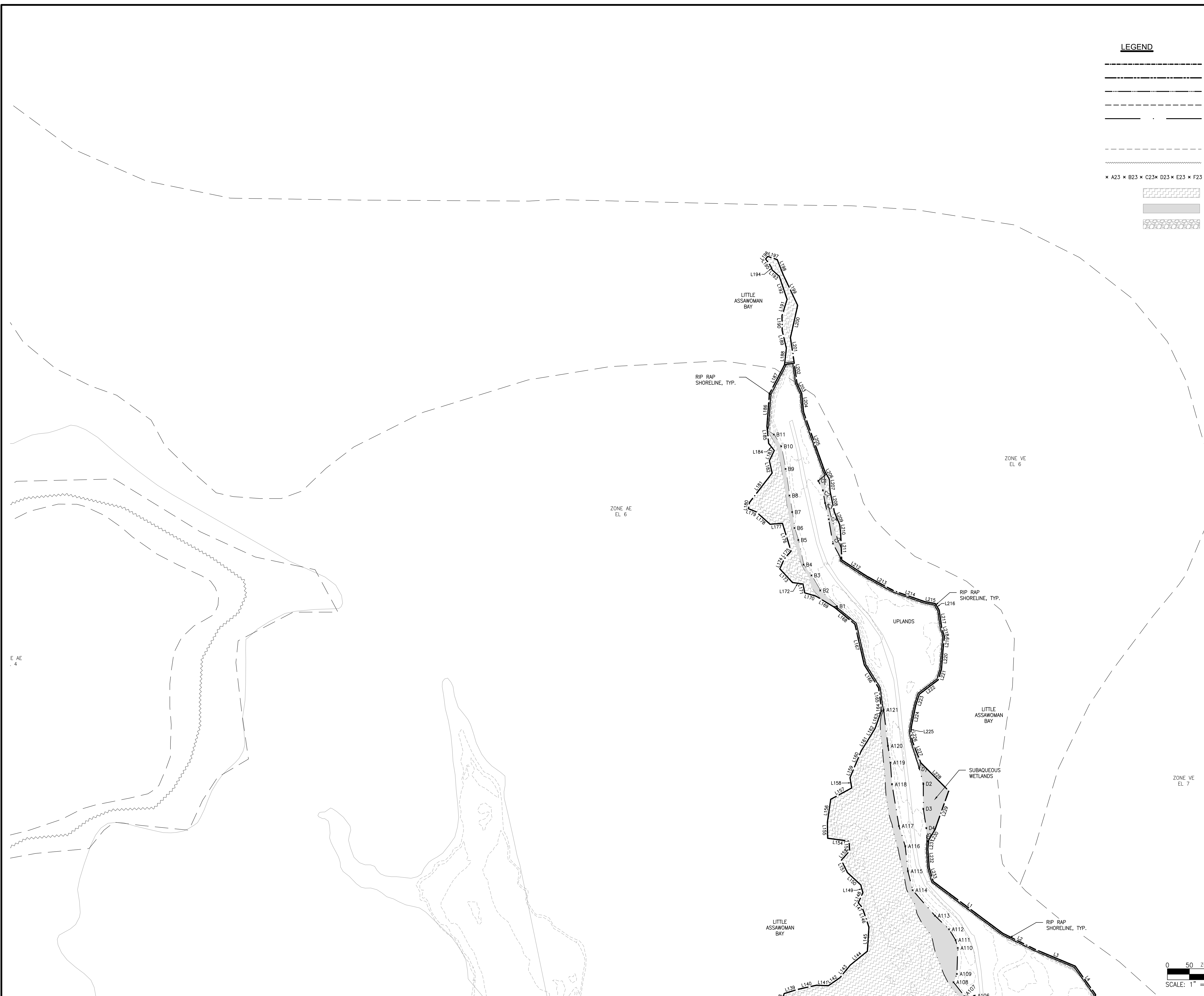
 COMMUNITIES
 SUSSEX COUNTY, DELAWARE

EXISTING
 CONDITIONS INDEX
 SHEET

SCALE : 1" = 300'	SHEET NO.
DESIGN BY : KK	PSP1.0
DRAWN BY : CEM	
CHECKED BY : SLM	
GMB FILE : 180022-A	
DATE : MAR 2021	© COPYRIGHT 2021 GEORGE, MILES & BUHR, LLC

C:\Projects\2019\18022 Cannon Property\Drawings\Working Sets\Previews\Sussex County\Subdivision\Subdivision\SP1.1 Upland Curve Table.dwg, 3/11/2021 4:59 PM, 163p, 163x103

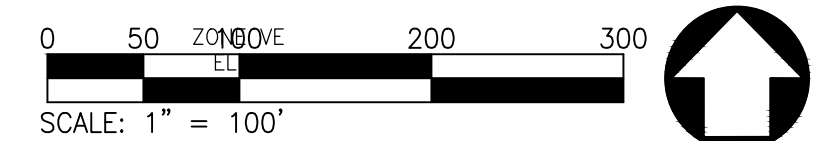
PEN1-RD 0.01 INCHES (1.0mm) PEN1-BLUE 0.01 INCHES (1.0mm) PEN1-WHITE 0.01 INCHES (1.0mm)
 PEN2-YELLOW 0.01 INCHES (1.0mm) PEN2-ORANGE 0.01 INCHES (1.0mm) PEN2-RED 0.01 INCHES (1.0mm)
 PEN3-RED 0.01 INCHES (1.0mm) PEN3-ORANGE 0.01 INCHES (1.0mm) PEN3-YELLOW 0.01 INCHES (1.0mm)
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MATCHLINE: SEE SHEET PSP1.2

LEGEND

- PROPERTY LINE / MEAN LOW WATER
- PROPERTY LINE
- MEAN HIGH WATER
- BOUNDARY OF STATE REGULATED WETLANDS (DNREC)
- BOUNDARY OF WATERS OF THE U.S. INCLUDING WETLANDS SUBJECT TO CORPS OF ENGINEERS REGULATORY PROGRAM
- FEMA FLOOD ZONES
- LIMIT OF MODERATE WAVE ACTION
- * A23 x B23 x C23 x D23 x E23 x F23 WETLAND BOUNDARY POINT
- [Pattern Box] STATE REGULATED (DNREC) TIDAL WETLANDS / WATERS OF THE U.S.
- [Pattern Box] WATERS OF THE U.S. LANDWARD OF DNREC WETLANDS
- [Pattern Box] EXISTING RIP RAP SHORELINE



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CANNON PROPERTY
 RESIDENTIAL SUBDIVISION

Carroll
 COMMUNITIES

SUSSEX COUNTY, DELAWARE

EXISTING
 CONDITIONS

SCALE : 1" = 100'
 SHEET NO.
 DESIGN BY : KK
 DRAWN BY : CEM
 CHECKED BY : SLM
 GMB FILE : 180022-A
 DATE : MAR 2021
PSP1.1

C:\Projects\201\180022 Cannon Property\Drawings\Working Sets\Previsionary Site Plans\180022-A Residential Subdivision\PS1.1 THE AND CURVE TABLE.dwg, 3/11/2021 4:59 PM, kslip, kslip
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 PLOT SCALE: 1" = 100'
 PLOT SHEET: 1 OF 2
 PLOT AREA: 11.0000
 PLOT PERIMETER: 111.0000
 PLOT AREA (SQ. FT.): 1100.0000
 PLOT PERIMETER (FEET): 111.0000
 PLOT AREA (ACRES): 0.2500
 PLOT PERIMETER (METERS): 33.8300
 PLOT AREA (SQ. METERS): 1100.0000
 PLOT PERIMETER (METERS): 33.8300
 PLOT AREA (HECTARES): 0.2500
 PLOT PERIMETER (KILOMETERS): 0.3383



MATCHLINE: SEE SHEET PSP1.1

MATCHLINE: SEE SHEET PSP1.3

ZONE VE
EL. 7

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**CANNON PROPERTY
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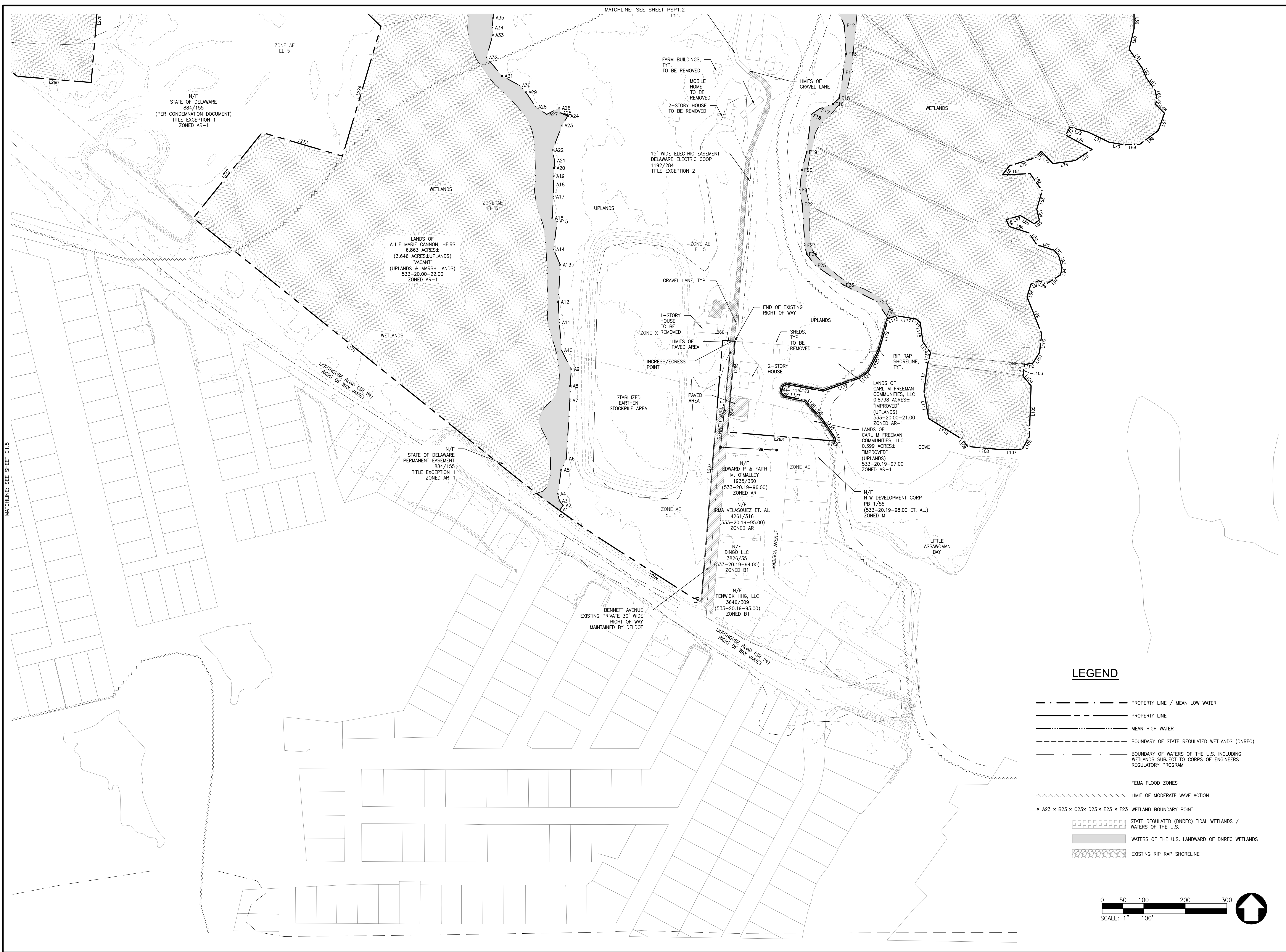
*Can't live with 'em
 Can't live without 'em*
 COMMUNITIES

SUSSEX COUNTY, DELAWARE

EXISTING
 CONDITIONS

SCALE: 1" = 100'	SHEET NO.
DESIGN BY: KK	PSP1.2
DRAWN BY: CEM	
CHECKED BY: SLM	
GMB FILE: 180022-A	
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**CANNON PROPERTY
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Carroll COMMUNITIES

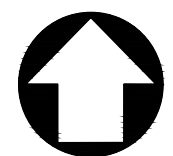
SUSSEX COUNTY, DELAWARE

**EXISTING
 CONDITIONS**

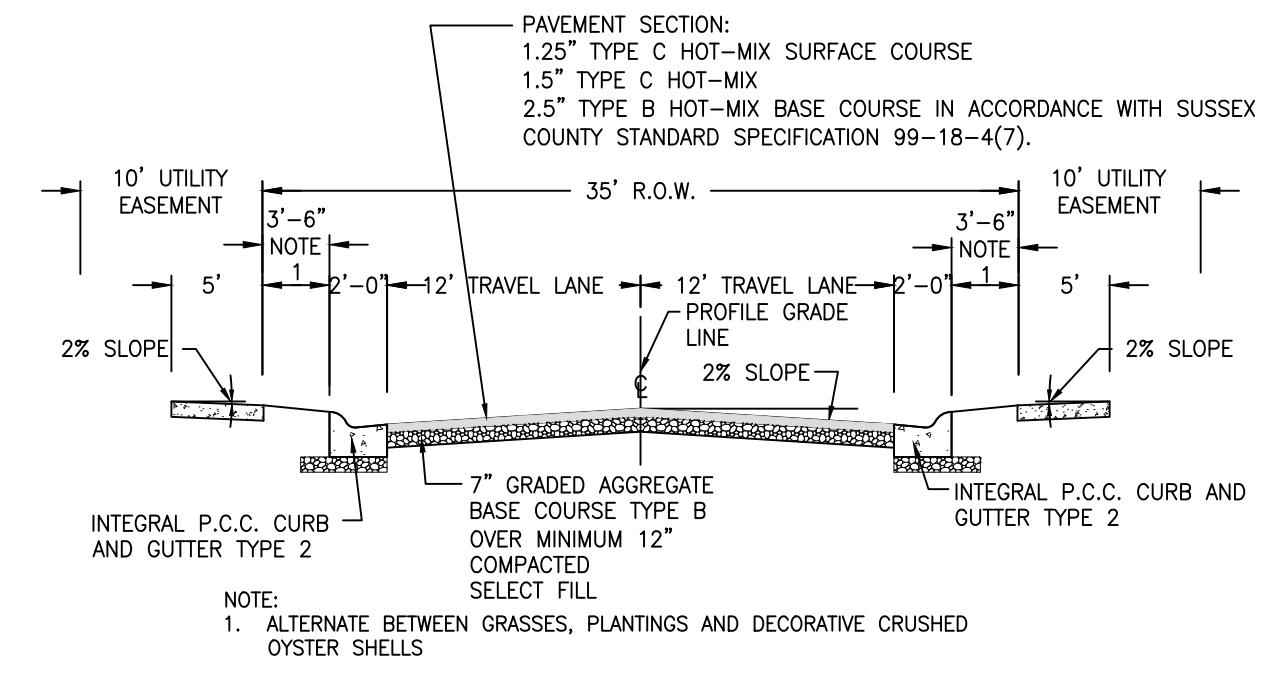
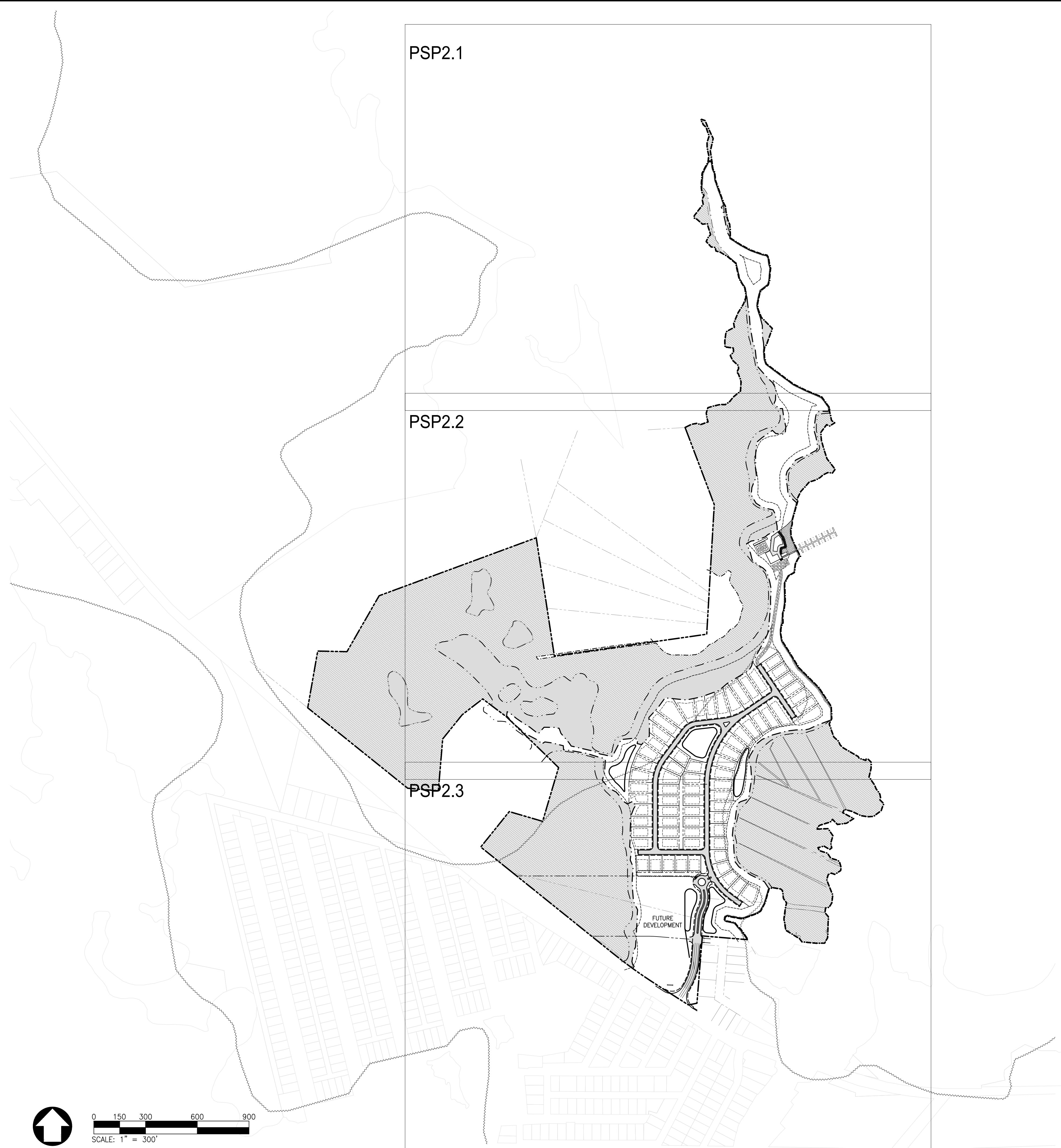
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DESIGN BY : KK	PSP1.3
DRAWN BY : CEM	
CHECKED BY : SLM	
GMB FILE : 180022-A	
DATE : MAR 2021	

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PEN-RED 0.01 INCHES (2.5mm) PEN-YELLOW 0.01 INCHES (2.5mm) PEN-BLUE 0.01 INCHES (2.5mm) PEN-MAGENTA 0.01 INCHES (2.5mm) PEN-CYAN 0.01 INCHES (2.5mm) PEN-BLACK 0.01 INCHES (2.5mm) PLOT CODE PEN-COLOR 0.01 INCHES (2.5mm) PEN-STYLE 0.01 INCHES (2.5mm)

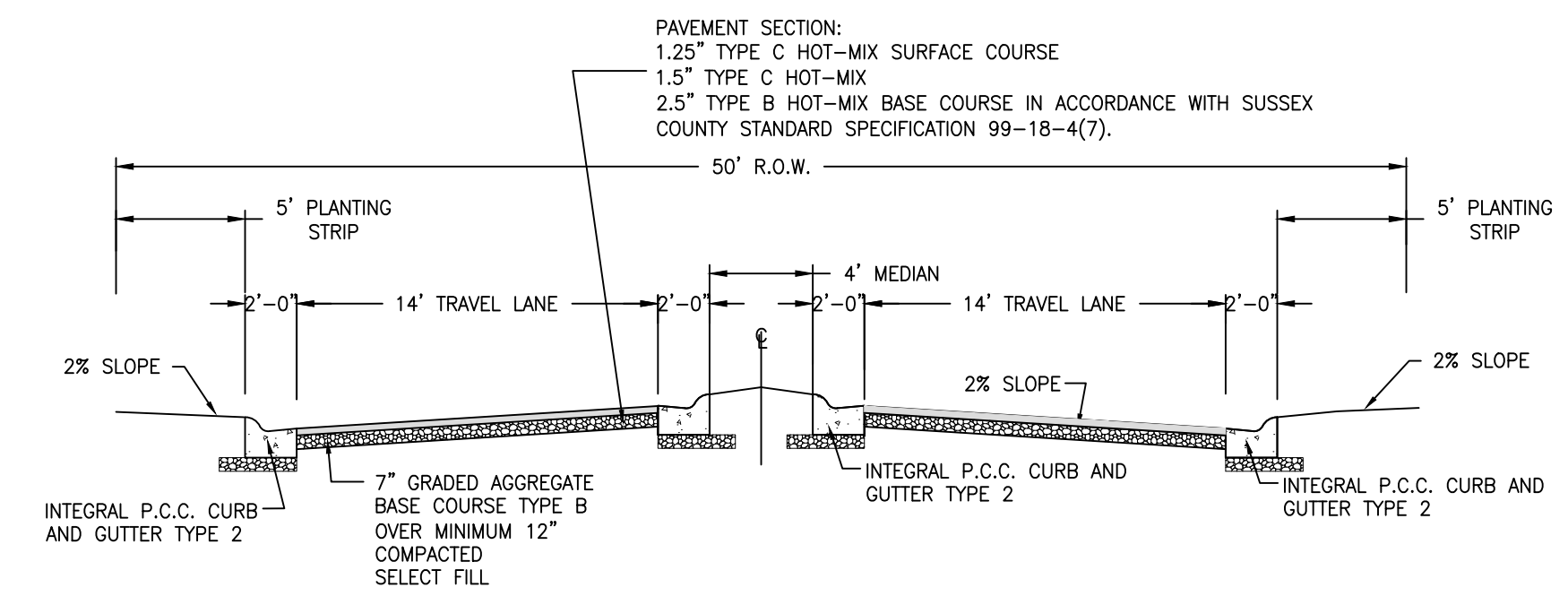


0 150 300 600 900
SCALE: 1" = 300'



TYPICAL SUBDIVISION STREET CROSS SECTION

NO SCALE



TYPICAL BOULEVARD CROSS SECTION

NO SCALE

PRINTS ISSUED FOR: PRELIMINARY	
DATE	
REVISIONS	
NO.	

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CANNON PROPERTY
 RESIDENTIAL SUBDIVISION
 SUSSEX COUNTY, DELAWARE

PRELIMINARY
 RESIDENTIAL
 SUBDIVISION
 INDEX SHEET

SCALE : 1" = 300'	SHEET NO.
DESIGN BY : KK	PSP2.0
DRAWN BY : CEM	
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GMB FILE : 180022-A	
DATE : MAR 2021	

PLOT CODE
 PENN-COAR : 014 INCHES (35mm)
 PENN-ORNL : 210 INCHES (53mm)
 PENN-YELLO : 007 INCHES (18mm)
 PENN-BLUE : 020 INCHES (50mm)
 PENN-WHEDT : 027 INCHES (70mm)
 PENN-WHTE : 039 INCHES (100mm)

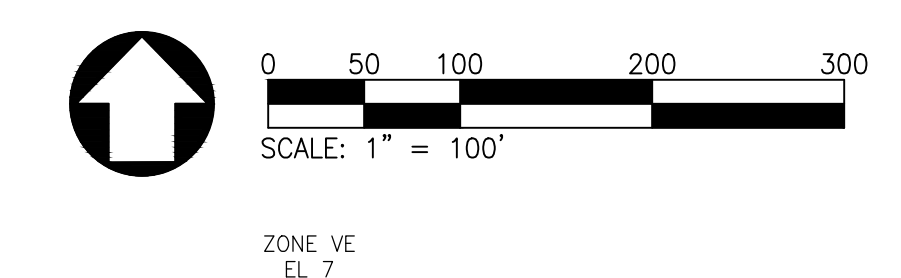
LEGEND

EXISTING:

- PROJECT BOUNDARY
- - - PROJECT BOUNDARY / MEAN LOW WATER
- MEAN HIGH WATER
- BOUNDARY OF STATE REGULATED WETLANDS (DNREC)
- - - - - BOUNDARY OF WATERS OF THE U.S. INCLUDING WETLANDS SUBJECT TO CORPS OF ENGINEERS REGULATORY PROGRAM
- ██████ NONTIDAL WETLANDS & WATERS UNDER CORPS JURISDICTION
- ▨ TIDAL WETLANDS UNDER DNREC AND CORPS JURISDICTION
- 30--- CONTOUR
- 8S- SANITARY SEWER, MANHOLE, AND CLEANOUT
- 15SW- STORM DRAIN, INLET, AND MANHOLE
- FLOOD ZONE
- ~~~ LIMIT OF MODERATE WAVE ACTION
- - - - - 50 FOOT TIDAL BUFFER

PROPOSED:

- ▬ PAVED ROAD
- 9---10--- CONTOUR
- x 26.84 SPOT ELEVATION
- LOTLINE
- - - - - BUILDING RESTRICTION LINE
- ▬ CONCRETE SIDEWALK
- 8S- SANITARY SEWER, MANHOLE, & CLEANOUT
- 15SW- STORM DRAIN, INLET, & MANHOLE
- ▬ CURB & GUTTER
- 10W--- WATER
- GAS
- ve--- UNDERGROUND ELECTRIC
- ▬ SIDEWALK & WHEEL CHAIR RAMPS



FOR CONTINUATION SEE SHEET PSP2.2

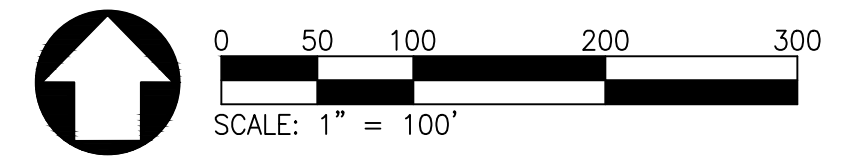
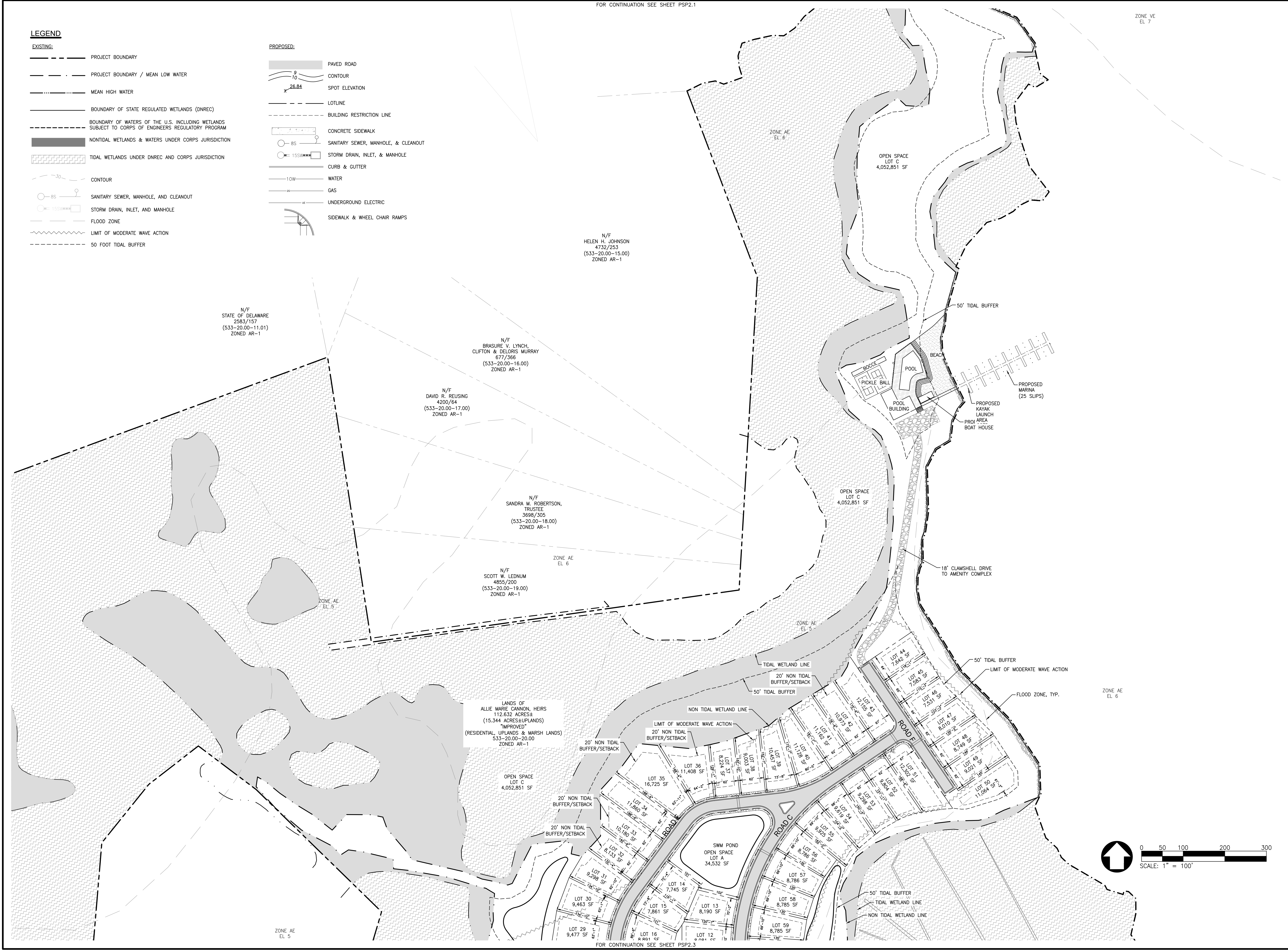
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GEORGE, MILES & BUHR, LLC ARCHITECTS & ENGINEERS SALISBURY • BALTIMORE • SEAFORD 206 WEST MAIN STREET SALISBURY, MARYLAND 21801 410-742-3115, FAX 410-348-5790 www.gmbnet.com	
CANNON PROPERTY RESIDENTIAL SUBDIVISION SUSSEX COUNTY, DELAWARE	
PRELIMINARY SUBDIVISION SITE PLAN	
SCALE : 1" = 100'	SHEET NO.
DESIGN BY : KK	PSP2.1
DRAWN BY : CEM	
CHECKED BY : SLM	
GMB FILE : 180022-A	
DATE : MAR 2021	

LEGEND

EXISTING:		PROPOSED:	
---	PROJECT BOUNDARY	▬	PAVED ROAD
---	PROJECT BOUNDARY / MEAN LOW WATER	○	CONTOUR
---	MEAN HIGH WATER	×	SPOT ELEVATION
---	BOUNDARY OF STATE REGULATED WETLANDS (DNREC)	---	LOTLINE
---	BOUNDARY OF WATERS OF THE U.S. INCLUDING WETLANDS SUBJECT TO CORPS OF ENGINEERS REGULATORY PROGRAM	---	BUILDING RESTRICTION LINE
█	NON-TIDAL WETLANDS & WATERS UNDER CORPS JURISDICTION	▬	CONCRETE SIDEWALK
▨	TIDAL WETLANDS UNDER DNREC AND CORPS JURISDICTION	○	SANITARY SEWER, MANHOLE, & CLEANOUT
---	CONTOUR	○	STORM DRAIN, INLET, & MANHOLE
○	SANITARY SEWER, MANHOLE, AND CLEANOUT	---	CURB & GUTTER
○	STORM DRAIN, INLET, AND MANHOLE	---	WATER
---	FLOOD ZONE	---	GAS
---	LIMIT OF MODERATE WAVE ACTION	---	UNDERGROUND ELECTRIC
---	50 FOOT TIDAL BUFFER	---	SIDEWALK & WHEEL CHAIR RAMPS

C:\Projects\2018\180022 Cannon Property Developments\Working Sets\Preliminary Site Plans\180022-A Residential Subdivision\PS2.1 Site Plans\11/11/2019, Kelly Kamal

PRINT - WHITE 0.39 INCHES (10mm)
PRINT - MEDIUM 0.27 INCHES (7mm)
PRINT - BLUE 0.20 INCHES (5mm)
PRINT - GREEN 0.14 INCHES (3mm)
PRINT - YELLOW 0.07 INCHES (1.8mm)
PRINT - RED 0.01 INCHES (0.3mm)



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 www.gmbnet.com

CANNON PROPERTY
RESIDENTIAL SUBDIVISION

CanMilesBuhr
COMMUNITIES

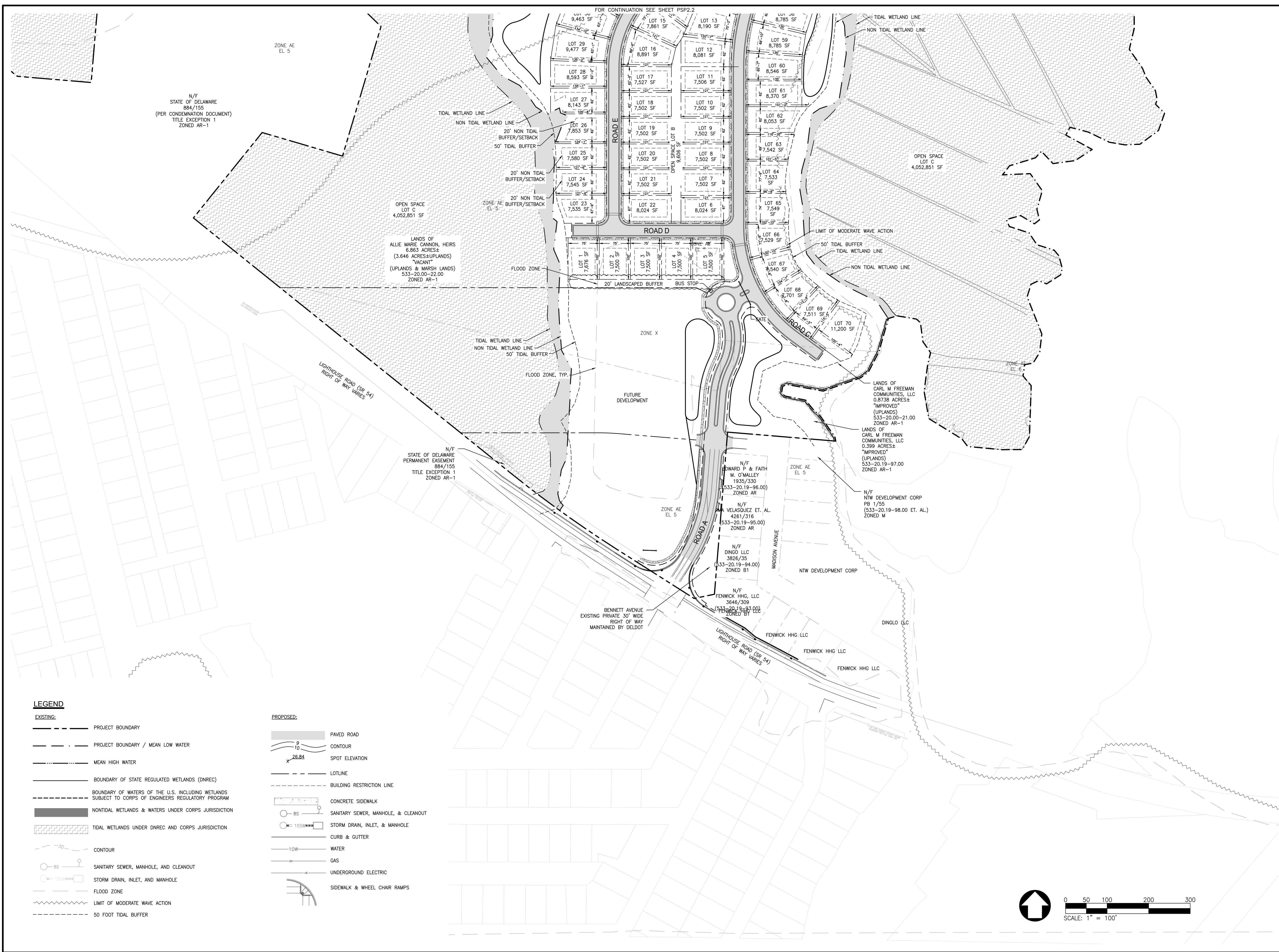
SUSSEX COUNTY, DELAWARE

PRELIMINARY RESIDENTIAL SUBDIVISION SITE PLAN

SCALE: 1" = 100'	SHEET NO.
DESIGN BY: KK	PSP2.2
DRAWN BY: CEM	
CHECKED BY: SLM	
GMB FILE: 180022-A	
DATE: MAR 2021	

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PLOT CODE
 PEN=RED 0.01 INCHES (0.25mm)
 PEN=GREEN 0.01 INCHES (0.25mm)
 PEN=BLUE 0.01 INCHES (0.25mm)
 PEN=WHITE 0.01 INCHES (0.25mm)



N/F
 STATE OF DELAWARE
 884/155
 (PER CONDEMNATION DOCUMENT)
 TITLE EXCEPTION 1
 ZONED AR-1

OPEN SPACE
 LOT C
 4,052,851 SF

LANDS OF
 ALLIE MARIE CANNON, HEIRS
 6.863 ACRES±
 (3.646 ACRES± UPLANDS)
 "VACANT"
 (UPLANDS & MARSH LANDS)
 533-20.00-22.00
 ZONED AR-1

N/F
 STATE OF DELAWARE
 PERMANENT EASEMENT
 884/155
 TITLE EXCEPTION 1
 ZONED AR-1

N/F
 EDWARD P & FAITH
 M. O'MALLEY
 1935/330
 533-20.19-96.00
 ZONED AR

N/F
 VELASQUEZ ET. AL.
 4261/316
 533-20.19-95.00
 ZONED AR

N/F
 DINGO LLC
 3826/35
 533-20.19-94.00
 ZONED B1

N/F
 FENWICK HHG, LLC
 3646/309
 533-20.19-93.00
 ZONED BY

N/F
 NTW DEVELOPMENT CORP
 PB 1/55
 533-20.19-98.00 ET. AL.)
 ZONED M

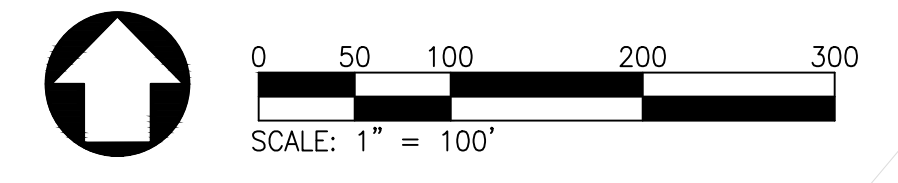
LANDS OF
 CARL M FREEMAN
 COMMUNITIES, LLC
 0.8738 ACRES±
 "IMPROVED"
 (UPLANDS)
 533-20.00-21.00
 ZONED AR-1

LANDS OF
 CARL M FREEMAN
 COMMUNITIES, LLC
 0.399 ACRES±
 "IMPROVED"
 (UPLANDS)
 533-20.19-97.00
 ZONED AR-1

LEGEND

- EXISTING:**
- PROJECT BOUNDARY
 - - - PROJECT BOUNDARY / MEAN LOW WATER
 - · - · - MEAN HIGH WATER
 - BOUNDARY OF STATE REGULATED WETLANDS (DNREC)
 - - - BOUNDARY OF WATERS OF THE U.S. INCLUDING WETLANDS SUBJECT TO CORPS OF ENGINEERS REGULATORY PROGRAM
 - NONTIDAL WETLANDS & WATERS UNDER CORPS JURISDICTION
 - ▨ TIDAL WETLANDS UNDER DNREC AND CORPS JURISDICTION
 - 85-○ SANITARY SEWER, MANHOLE, AND CLEANOUT
 - 155/□-155-□ STORM DRAIN, INLET, AND MANHOLE
 - FLOOD ZONE
 - · - · - LIMIT OF MODERATE WAVE ACTION
 - - - 50 FOOT TIDAL BUFFER

- PROPOSED:**
- ▬ PAVED ROAD
 - CONTOUR
 - SPOT ELEVATION
 - LOTLINE
 - - - BUILDING RESTRICTION LINE
 - ▬ CONCRETE SIDEWALK
 - 85-○ SANITARY SEWER, MANHOLE, & CLEANOUT
 - 155/□-155-□ STORM DRAIN, INLET, & MANHOLE
 - CURB & GUTTER
 - WATER
 - GAS
 - UNDERGROUND ELECTRIC
 - ▬ SIDEWALK & WHEEL CHAIR RAMP



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NO.	REVISIONS	DATE

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**CANNON PROPERTY
 RESIDENTIAL SUBDIVISION**

Carroll Freeman Communities

SUSSEX COUNTY, DELAWARE

**PRELIMINARY
 RESIDENTIAL
 SUBDIVISION SITE
 PLAN**

SCALE : 1" = 100'	SHEET NO.
DESIGN BY : KK	PSP2.3
DRAWN BY : CEM	
CHECKED BY : SLM	
GMB FILE : 180022-A	
DATE : MAR 2021	© COPYRIGHT 2021 GEORGE, MILES & BUHR, LLC

ZONING CONDITIONS

FEBRUARY 6, 2001 - AMENDED SEPTEMBER 23, 2003 AND APRIL 13, 2010

CMF BAYSIDE, L.L.C. - CHANGE OF ZONE NO. 1393

CONDITIONS

- THE MAXIMUM NUMBER OF RESIDENTIAL UNITS SHALL NOT EXCEED 1,700.
- THE DEVELOPER MAY PROVIDE A MINIMUM OF 104 ASSISTED LIVING UNITS. REDUCTION OF ANY TYPE OF RESIDENTIAL UNITS WILL BE AT THE DISCRETION OF THE APPLICANT.
- THE MAXIMUM SQUARE FOOTAGE OF RETAIL/OFFICE SPACE SHALL BE 170,000 SQUARE FEET. THE DEVELOPER SHALL PROVIDE A MEDICAL FACILITY.
- RESIDENTIAL CERTIFICATES OF OCCUPANCY SHALL NOT EXCEED 200 ANNUALLY ON A CUMULATIVE BASIS.
- SITE PLAN REVIEW FOR EACH PHASE OF DEVELOPMENT SHALL BE REVIEWED AND APPROVED BY THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.
- ALL ENTRANCES, INTERSECTIONS, AND ROADWAY IMPROVEMENTS REQUIRED BY DELDOT SHALL BE COMPLETED BY THE APPLICANT IN ACCORDANCE WITH ANY FURTHER MODIFICATIONS REQUIRED BY DELDOT, ONCE 200 CERTIFICATES OF OCCUPANCY HAVE BEEN ISSUED.
- THE APPLICANT SHALL ESTABLISH A 60-FOOT HIGHWAY CORRIDOR OVERLAY ZONE SETBACK ALONG THE PROPERTY FRONTING ROUTE 54.
- RECREATIONAL FACILITIES, I.E., GOLF, TENNIS COURTS, SWIMMING POOLS, ETC., SHALL BE CONSTRUCTED TO COINCIDE WITH CONSTRUCTION PHASES SCHEDULED AND SUBJECT TO REVIEW AND APPROVAL BY THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.
- THE RPC SHALL BE SERVED BY THE SUSSEX COUNTY SOUTH COASTAL WASTEWATER FACILITY PER SUSSEX COUNTY ENGINEERING DEPARTMENT REGULATIONS AND SPECIFICATIONS.
- THE RPC SHALL BE SERVED BY A CENTRAL WATER SYSTEM PROVIDING DRINKING WATER AND FIRE PROTECTION PER APPLICABLE REGULATIONS AND APPROVAL OF THE DEPARTMENT OF NATURAL RESOURCES, THE STATE FIRE MARSHAL'S OFFICE, THE PUBLIC SERVICE COMMISSION, AND THE STATE OF DELAWARE OFFICE OF PUBLIC HEALTH.
- STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL SHALL EQUAL OR EXCEED ALL APPLICABLE STATE AND COUNTY REGULATIONS.
- THE APPLICANT SHALL ESTABLISH "BEST MANAGEMENT PRACTICES" IN REGARD TO GOLF COURSE MAINTENANCE AND PROTECTION OF NON-TIDAL WETLANDS. THE OPERATOR OF THE GOLF COURSE SHALL FILE A NUTRIENT MANAGEMENT PROGRAM WITH THE APPROPRIATE STATE AGENCY.
- THE APPLICANT SHALL COORDINATE WITH THE CENTER FOR THE INLAND BAYS THE DEVELOPMENT OF A PUBLIC INLAND BAY NATURE TRAIL AND OBSERVATORY.
- STATE AND FEDERAL WETLANDS SHALL BE MAINTAINED AS NON-DISTURBANCE AREAS, EXCEPT FOR DISTURBANCE AUTHORIZED BY A VALID FEDERAL OR STATE PERMIT. THERE SHALL BE NO CONSTRUCTION IN ANY WETLANDS WITHOUT VALID PERMITS.
- THE APPLICANT SHALL PROVIDE, AT NO COST, A PARCEL OF LAND APPROPRIATE FOR USE BY THE DELAWARE STATE POLICE AND A PARCEL OF LAND APPROPRIATE FOR USE BY THE ROXANA VOLUNTEER FIRE COMPANY WHEN DEEMED APPROPRIATE BY SAID ORGANIZATIONS. THE LOCATION AND SIZE OF SAID PARCELS SHALL BE AS MUTUALLY AGREED UPON BY THE PARTIES INVOLVED.
- THE APPLICANT SHALL PROVIDE SHUTTLE SERVICE TO THE RESIDENTS OF AMERICANA BAYSIDE, AS NEEDED, TO THE BEACHES FOR RECREATION AND SHOPPING. THE APPLICANT SHALL PLAN TO EDUCATE AND ENCOURAGE THE USE OF THIS SERVICE IN REGARD TO DECREASING TRAFFIC ON ROUTE 54.
- THE APPLICANT SHALL PROVIDE ADEQUATE SECURITY FOR DEVELOPMENT. SECURITY SHOULD INCLUDE A 24-HOUR EMERGENCY CENTER, SUFFICIENT STAFF AND VEHICLES, WITH INCREASING STAFF TO COINCIDE WITH INCREASED OCCUPANTS FOR THE PROJECT.
- THE APPLICANT SHALL COORDINATE WITH THE STATE AND COUNTY EMERGENCY PLANNING OFFICERS AND IMPLEMENTATION OF AN EMERGENCY EVACUATION PROCEDURE FOR THE DEVELOPMENT, WHICH WILL BE INCORPORATED INTO THE RESTRICTIONS OF THE DEVELOPMENT AND MAY REQUIRE EARLY MANDATORY EVACUATION, IF NEEDED, BY SAID OFFICES.
- THE RPC SHALL NOT CONTAIN A MARINA, INDIVIDUAL BOAT DOCK FACILITIES, OR BOAT LAUNCHING FACILITIES OTHER THAN A COMMUNITY WATER TAXI SERVICE FACILITY. NON-MOTORIZED WATERCRAFT SHALL BE PERMITTED AT THE BOAT LAUNCHING FACILITY OF THE COMMUNITY WATER TAXI SERVICE.
- NO SITE PREPARATION, SITE DISTURBANCE, SITE EXCAVATION, OR OTHER SITE CONSTRUCTION SHALL BE COMMENCED UNTIL ALL PERMITS REQUIRED BY ALL OTHER LAWS, ORDINANCES, RULES AND REGULATIONS SHALL HAVE BEEN ISSUED AND THE APPROVED FINAL SITE PLAN IS RECORDED, EXCEPT SUCH SITE WORK FOR WHICH A PERMIT HAS BEEN ISSUED BY THE SUSSEX CONSERVATION DISTRICT. THE SITE WORK AUTHORIZED BY THE SUSSEX CONSERVATION DISTRICT PERMIT MAY BE COMMENCED UPON SUBMISSION OF COPIES OF THE APPLICATION FOR PERMITS FROM THE SUSSEX COUNTY ENGINEERING DEPARTMENT AND DELDOT TO THE DIRECTOR OF PLANNING AND ZONING AND SUBMISSION OF A BOND IN AN AMOUNT EQUAL TO 125% OF THE COST OF THE SITE WORK AUTHORIZED BY THE SUSSEX CONSERVATION DISTRICT PERMIT AND IN A FORM ACCEPTABLE TO THE COUNTY ATTORNEY. THE BOND SHALL BE RELEASED UPON THE ISSUANCE OF ALL OTHER PERMITS AND THE FILING OF AN APPROVED MASTER PLAN OR FINAL SITE PLAN.
- NO EXISTING STATE ROADS IN THE DEVELOPMENT SHALL BE VACATED. THE DEVELOPERS ARE PROPOSING TO REALIGN COUNTY ROAD 394 AND 394A; THAT THESE ROADS WILL REMAIN OPEN TO THE PUBLIC; THAT TRAFFIC CALMING DEVICES WILL BE INCORPORATED INTO THE DESIGN; THAT THE RELOCATION OF THE ROADS DOES NOT CONSTITUTE THE VACATION OR ABANDONMENT OF A ROAD; AND THAT THE APPROVAL WILL STILL BE SUBJECT TO DELDOT'S APPROVAL THROUGH A HEARING PROCESS.
- PUBLIC ACCESS SHALL BE PERMITTED AT THE END OF STATE ROUTE 394. ACCESS SHALL INCLUDE SUFFICIENT PARKING FOR EIGHT VEHICLES.
- ASSISTED LIVING UNITS MAY BE LOCATED ON THE NORTH SIDE OF ROUTE 54, WEST OF ROUTE 20.
- ALL COMMERCIAL ACTIVITIES SHALL BE LIMITED TO THE SOUTH SIDE OF ROUTE 54, EXCEPT FOR A 1.27 ACRE PARCEL DESIGNATED TAX MAP 35-33-19.00 PARCEL 17.01, LOCATED ON THE NORTH SIDE OF ROUTE 54 ON WHICH COMMERCIAL USE SHALL BE PERMITTED SUBJECT TO COMMERCIAL ENTRANCE APPROVAL FROM DELDOT. ENTRANCE TO THE COMMERCIAL AREA LOCATED ON THE SOUTH SIDE OF ROUTE 54 SHALL BE A MINIMUM OF 300 FEET FROM ROUTE 54, EXCEPT FOR A SINGLE RIGHT-IN/RIGHT-OUT COMMERCIAL ENTRANCE TO A PARCEL DESIGNATED AS TAX MAP 5-33-19.00 PARCEL 16.00, WHICH IS SUBJECT TO APPROVAL FROM DELDOT.

PLANNING & ZONING DESIGN CONDITIONS - SEPTEMBER 23, 2003

- THE COMMISSION APPROVED A 35-FOOT AGGREGATE YARD FOR TOWNHOUSE UNITS WITH A MINIMUM FRONT YARD SETBACK OF 15- FEET.
- THE COMMISSION APPROVED 75-FOOT SINGLE FAMILY LOTS ALONG ROADS 394 AND 394A.
- THE COMMISSION APPROVED THE HEIGHTS OF THE STRUCTURES IN THE COMMERCIAL AREAS, TOWNHOUSES, MULTI-FAMILY UNITS AND THE MIXED USES TO BE 52- FEET IN HEIGHT AS PERMITTED IN THE HIGH DENSITY RESIDENTIAL DISTRICTS; THERE MAY BE PARKING LOCATED UNDERNEATH THESE STRUCTURES WHICH WILL RESULT IN MORE OPEN SPACE BEING CREATED; AND THAT ALL SINGLE FAMILY RESIDENCES WILL NOT EXCEED THE MAXIMUM ALLOWED 42-FOOT HEIGHT LIMIT WITH THE FOLLOWING STIPULATIONS:
 - THERE SHALL BE NO LIVING SPACE ABOVE 42- FEET.
 - THE MAXIMUM HEIGHT OF THE ROOF PEAK SHALL NOT EXCEED 52- FEET.
 - ORNAMENTAL IMPROVEMENTS, SUCH AS CUPOLAS, WIDOW'S WATCHES, CROW'S NEST OR SIMILAR, SHALL NOT EXCEED 8- FEET ABOVE THE ROOF.
- THE COMMISSION APPROVED PARKING SPACES LOCATED BELOW THE MULTI-FAMILY STRUCTURES ONLY TO BE 9- FEET BY 18- FEET IN SIZE; THAT THESE SPACES WILL FIT WITHIN THE BUILDING FOOTPRINTS OF THE MULTI-FAMILY UNITS; THAT THERE WILL BE A SHUTTLE SERVICE FOR THE COMMUNITY; THAT ALL OTHER PARKING SPACES WILL COMPLY WITH THE REQUIREMENTS OF THE ZONING CODE; AND THAT THE ENTIRE PROJECT WILL REQUIRE 5,339 PARKING SPACES WHICH WILL BE PROVIDED.

SUSSEX COUNTY BOARD OF ADJUSTMENT - CASE #8702

ON JULY 12, 2004, THE SUSSEX COUNTY BOARD OF ADJUSTMENT UNANIMOUSLY APPROVED A VARIANCE REQUEST FOR CHAPTER 115, ARTICLE XVI, SUBSECTION 127 REDUCING THE MINIMUM SINGLE FAMILY LOT SIZE TO 6,000 SQUARE FEET, A VARIANCE OF 1,500 SQUARE FEET, FOR 127 HOMES LABELED AS "PATIO HOMES" ON THE APPROVED MR-RPC MASTER PLAN.

SUSSEX COUNTY BOARD OF ADJUSTMENT - CASE #9853

ON JUNE 4, 2007, THE SUSSEX COUNTY BOARD OF ADJUSTMENT UNANIMOUSLY APPROVED A VARIANCE REQUEST FOR CMF BAYSIDE, LLC TO INSTALL A VEE-SHAPED GROUND SIGN AT ROUTE 54 APPROXIMATELY 240 SQUARE FEET ON EACH SIDE.

SUSSEX COUNTY PLANNING AND ZONING COMMISSION

ON MARCH 22, 2012, THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION UNANIMOUSLY APPROVED A REQUEST TO AMEND THE SIDE YARD SETBACK FOR SINGLE FAMILY DWELLINGS AND DUPLEX HOME TYPES TO 5 FEET FOR FUTURE HOMES IN THE PROJECT.

AMERICANA BAYSIDE RESIDENTIAL PLANNED COMMUNITY



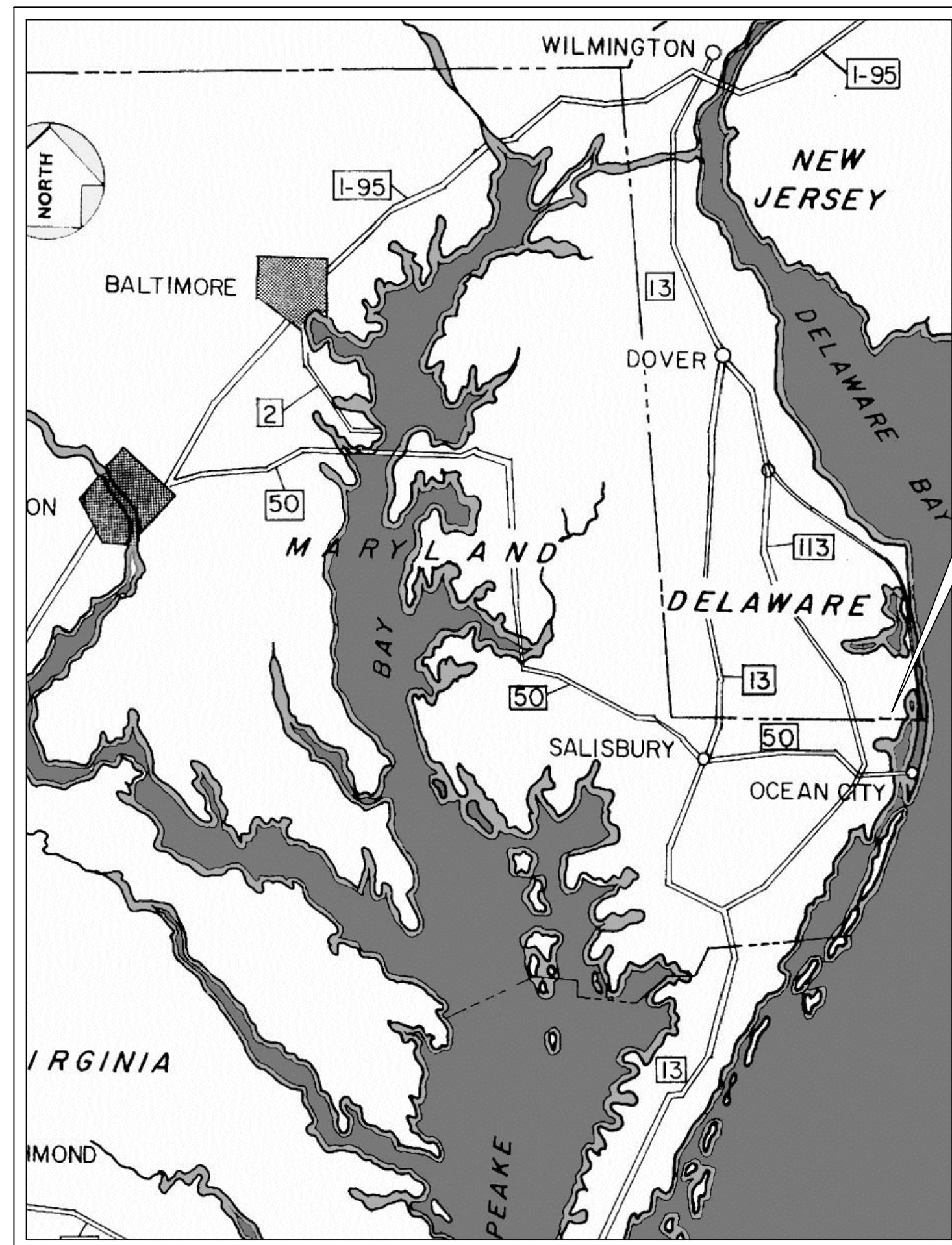
LIST OF DRAWINGS

- | | |
|--------|-------------------------------|
| FSP1.0 | COVER SHEET |
| FSP2.0 | FINAL SITE PLAN |
| FSP3.0 | LANDSCAPING AND LIGHTING PLAN |

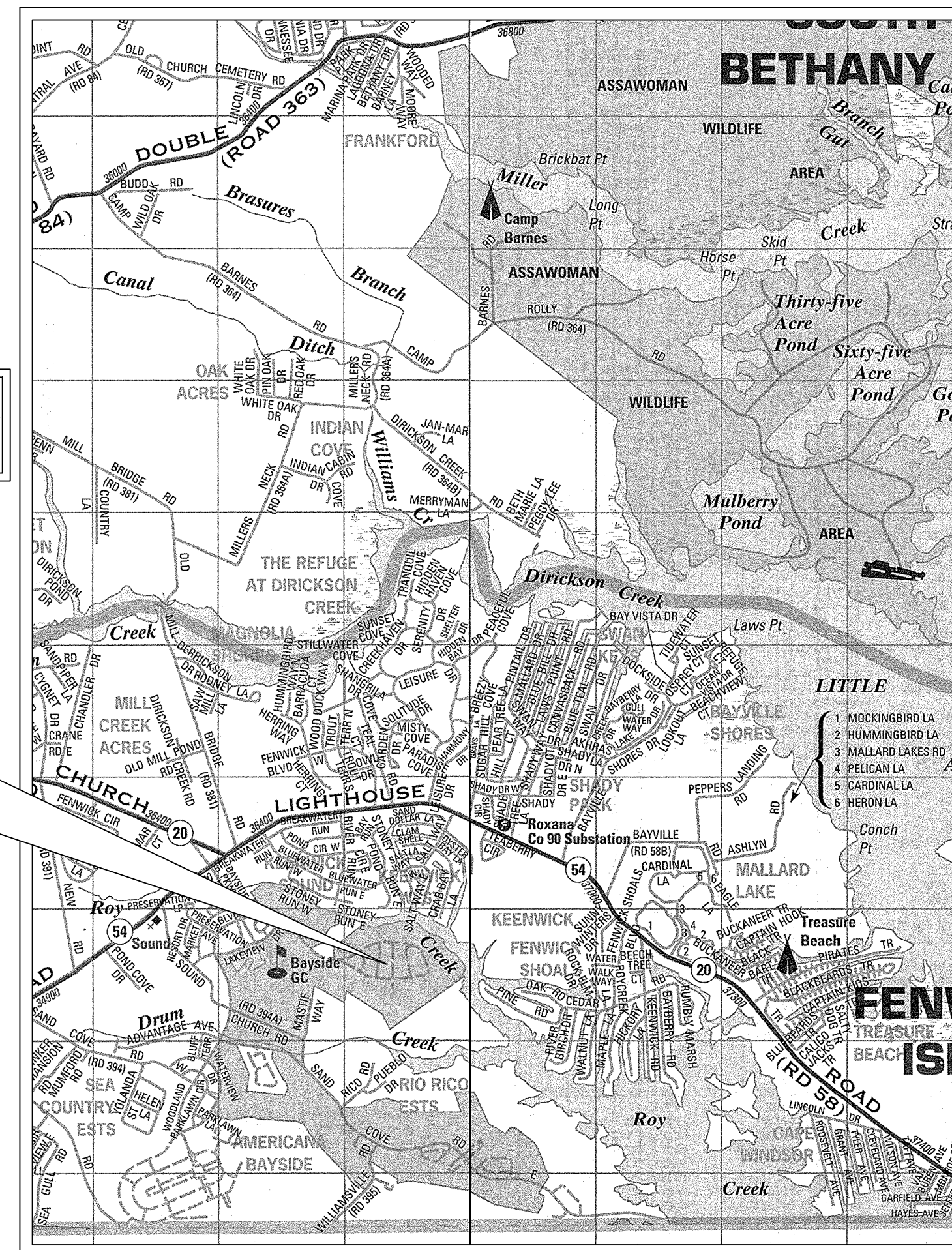
SUSSEX COUNTY, DELAWARE

VILLAGE A - PRELIMINARY / FINAL AMENITIES PLAN FOR PARCEL 36 (LOT 6007) POOL & POOL HOUSE

GMB FILE NO. 97058-J / 150322



VICINITY MAP
SCALE: 1" = 20 MILES



LOCATION MAP
SCALE: 1" = 2000'

GMB
GEORGE, MILES & BUHR, LLC
ARCHITECTS & ENGINEERS
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SALISBURY, MARYLAND 21801
410-742-3115, FAX 410-548-5790
www.gmbnet.com

MARCH 2021

APPROVED _____ BY _____
DATE

SUSSEX COUNTY
PLANNING AND ZONING COMMISSION

NOTES:

- ALL INTERIOR SIDE LOT LINES ARE RESERVED FOR THE CENTERLINE OF A 10' WIDE DRAINAGE AND/OR UTILITY EASEMENT. A 10' WIDE DRAINAGE AND/OR UTILITY EASEMENT IS RESERVED ON EACH LOT ALONG THE FRONT AND REAR PROPERTY LINES. THIS PLAT AND SURVEY DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS PERTAINING TO THIS PROPERTY.
- MAINTENANCE OF THE STREETS WITHIN THIS SUBDIVISION WILL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS WITHIN THE SUBDIVISION, OR BOTH. THE STATE ASSUMES RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF STREETS WITHIN INDICATED DELDOT RIGHT-OF-WAYS ONLY.
- MAINTENANCE OF STORM DRAIN AND STORMWATER MANAGEMENTS FACILITIES WILL BE THE RESPONSIBILITY OF THE DEVELOPERS, THE PROPERTY OWNERS WITHIN THE SUBDIVISION, OR BOTH. THE STATE ASSUMES RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF STORM DRAIN WITHIN INDICATED DELDOT RIGHTS OF WAY ONLY.
- ALL SIDEWALKS MUST BE INSTALLED IN CONJUNCTION WITH THE ROADS, AND FOR THE PROJECT TO ACHIEVE SUBSTANTIAL COMPLETION FROM THE PUBLIC WORKS DIVISION.
- WATER SERVICE WILL BE PROVIDED BY CONNECTION TO AN EXISTING PUBLIC SYSTEM. ALL DISTRIBUTION EQUIPMENT WILL BE INSTALLED AND MAINTAINED BY TIDEWATER UTILITIES, INC. ALL PROPOSED FACILITIES WILL BE SUBJECT TO REVIEW AND APPROVAL BY SUSSEX COUNTY AND DELAWARE DIVISION OF PUBLIC HEALTH.
- WASTEWATER TREATMENT AND DISPOSAL WILL BE PROVIDED BY THE SUSSEX COUNTY ENGINEERING DEPARTMENT, SOUTH COASTAL WASTE WATER TREATMENT FACILITY. THE COLLECTION AND TRANSMISSION SYSTEM WILL CONSIST OF VARIOUS DIAMETER GRAVITY SEWERS. THE COLLECTION AND TRANSMISSION SYSTEM WILL BE SUBJECT TO REVIEW AND APPROVAL BY SUSSEX COUNTY AND DNREC.
- THERE IS NO ACTIVE AGRICULTURAL PROPERTY GREATER THAN 10 ACRES DIRECTLY ABUTTING THE PROPOSED DEVELOPMENT.
- TIDAL OR NON-TIDAL WETLANDS EXIST ON THE BAYSIDE PROPERTY. SECTION 404 WETLAND ACTIVITIES APPROVED PER U.S.A.C.O.E. PERMIT CENAP-OP-R-200101204-1, ISSUED 9/23/03. STATE WETLAND AND SUBAQUEOUS LANDS ACTIVITIES APPROVED PER DNREC PERMITS SP-349/02, WQC 349/02, SL-349/02, AND WE-0350/02, ISSUED 5/13/03. WETLAND LINES SHOWN ON SITE PLANS ARE PER WETLAND PLATS PREPARED BY BECKER MORGAN GROUP, AS APPROVED UNDER PERMITS LISTED ABOVE.
- STORMWATER MANAGEMENT PRACTICES WILL BE DESIGNED TO MEET STORMWATER QUALITY AND QUANTITY MANAGEMENT REQUIREMENTS. ALL STORMWATER MANAGEMENT DESIGN WILL BE IN ACCORDANCE WITH DELAWARE STORMWATER DESIGN MANUAL STANDARDS.
- EASEMENTS SHALL BE PROVIDED WHERE NECESSARY TO MEET PUBLIC UTILITY REQUIREMENTS. NECESSARY EASEMENTS ALONG PERIMETER BOUNDARIES OF THE DEVELOPMENT SHALL BE NO LESS THAN TEN (10) FEET IN WIDTH ON THE INTERIOR SIDE OF THE BOUNDARY.

SITE DATA:

TAX MAP #:	T.M. ID 533-19.00-36.00
DEED REFERENCE:	BOOK 2268 PAGE 317
ZONING CLASSIFICATION:	MR-RPC
PRESENT USE:	OPEN SPACE
PROPOSED USE:	POOL AND POOL HOUSE
BUILDING SIZE:	±1,160 SQ.FT. / ±767 SQ.FT. PAVILION
BUILDING HEIGHT:	17'-2" AT PEAK
BUILDING SETBACKS:	20' FRONT YARD 5' SIDE YARD 10' REAR YARD
POOL SETBACKS:	10' SIDE YARD 6' REAR YARD
PARKING:	NO DESIGNATED POOL PARKING IS PROPOSED
TOTAL PARCEL 36 AREA:	±42.37 ACRES
OPEN SPACE LOT 6007:	±0.82
NET DEVELOPMENT AREA:	±0.82
DISTURBED SECTION 404 WETLANDS:	±0.00
TOTAL BAYSIDE LAND AREA:	±931.24
RECREATIONAL AREAS:	POOL: 2,342 SQ.FT. POOL DECK: 7,003 SQ.FT.
FLOOD INFORMATION:	ZONE AE 4 PER FEMA MAP 10005C0653K, REVISED MARCH 16, 2015
LIGHTING:	ADEQUATE LIGHTING SHALL BE PROVIDED ON AND AROUND THE POOL BUILDING. THE LIGHTING WILL BE ARRANGED AND INSTALLED TO MINIMIZE GLARE ON ANY ADJACENT RESIDENTIAL PROPERTIES.

DEVELOPER'S CERTIFICATION:

I HEREBY CERTIFY THAT I AM THE DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN AND THAT THE PLAN WAS MADE AT MY DIRECTION.

JOSH MASTRANGELO
CMF BAYSIDE, LLC
21 VILLAGE GREEN DRIVE, STE. 200
OCEAN VIEW, DELAWARE 19970

ENGINEER'S CERTIFICATION:

"I, STEPHEN L. MARSH, P.E., HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HERE HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEVE REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE."

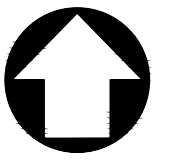
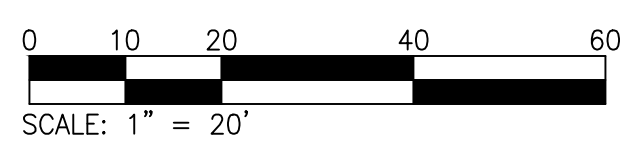
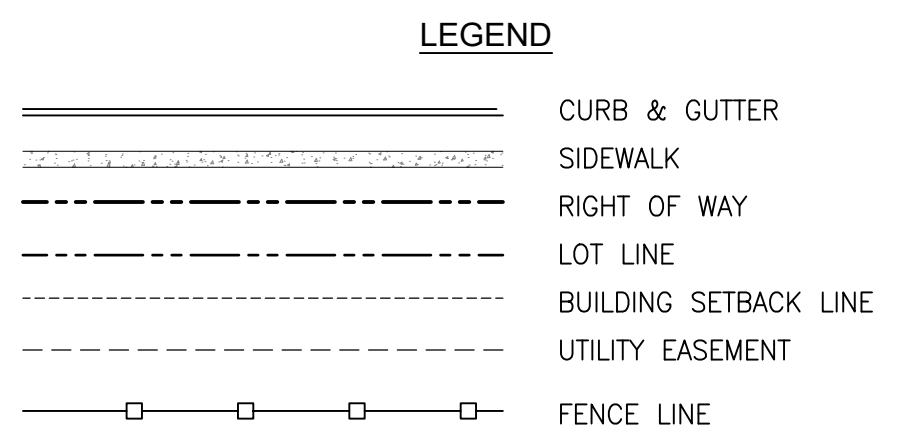
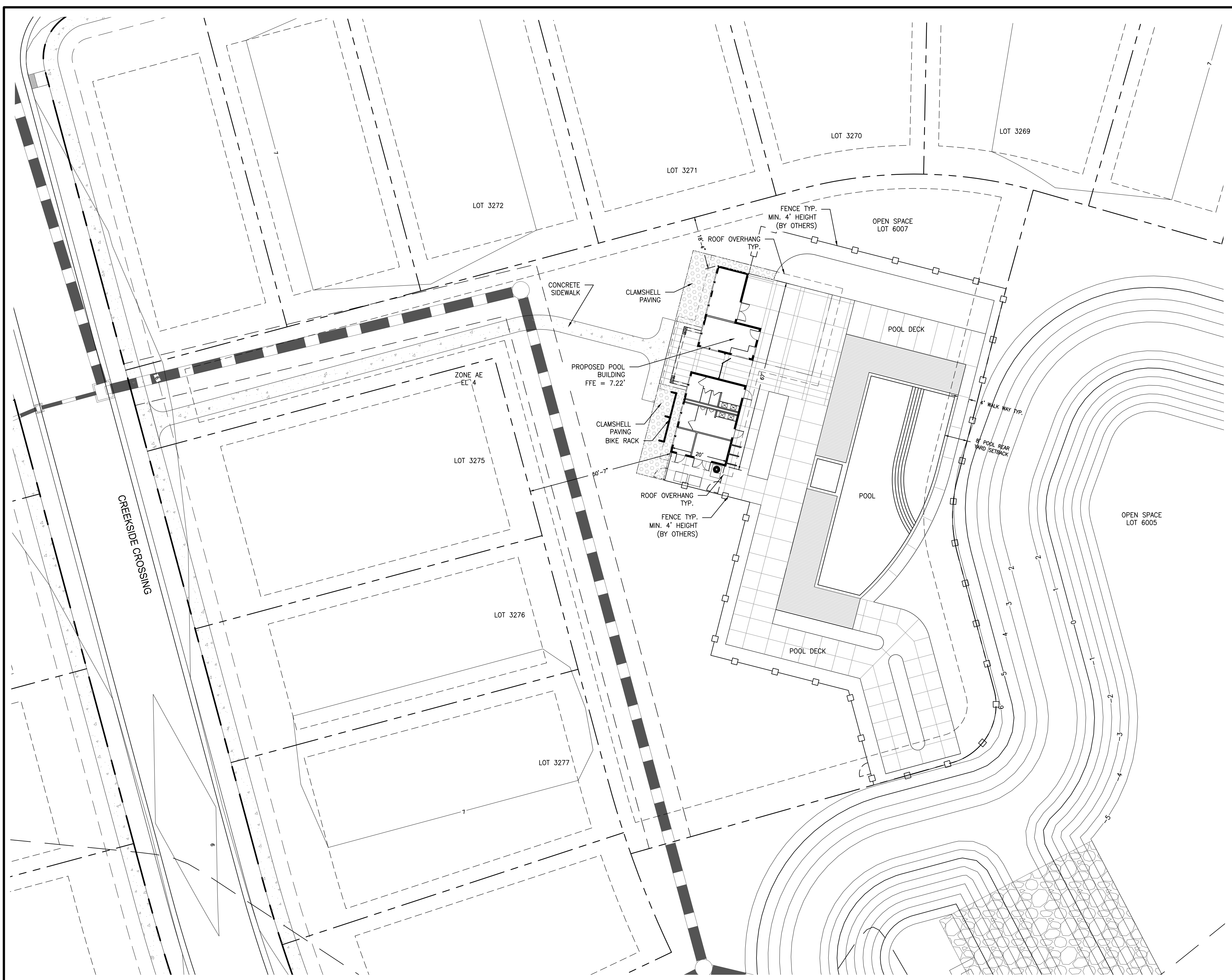
STEPHEN L. MARSH, P.E.
GEORGE, MILES, & BUHR, LLC.
206 W. MAIN STREET
SALISBURY, MD 21801

LANDSCAPE ARCHITECT CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF DELAWARE.

LANDSCAPE ARCHITECT _____ DATE _____

PEN-RED .300 INCHES (7.62mm)	PEN-YELLOW .307 INCHES (7.80mm)	PEN-GREEN .315 INCHES (8.00mm)	PEN-BLUE .320 INCHES (8.13mm)	PEN-MAGENTA .327 INCHES (8.30mm)	PRINT-SCALE .328 INCHES (8.33mm)
PLOT CODE FNL-COM	PLOT CODE FNL-GEN	PLOT CODE FNL-COM	PLOT CODE FNL-COM	PLOT CODE FNL-COM	PLOT CODE FNL-COM



PRINTS ISSUED FOR APPROVAL

DATE	
REVISIONS	
NO.	

GMB
 GEORGE, MILES & BUHR, LLC
 ARCHITECTS & ENGINEERS
 SALISBURY • BALTIMORE • SEAFORD
 206 WEST MAIN STREET
 SALISBURY, MARYLAND 21801
 410-742-3115, FAX 410-548-9790
 www.gmbnet.com

AMERICANA BAYSIDE

Carl M. Freeman
 COMMUNITIES

BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

**VILLAGE A
 POOL &
 POOL HOUSE
 FINAL SITE
 PLAN**

SCALE : 1" = 20'	SHEET NO.
DESIGN BY : RLM / KK	FSP2.0
CHECKED BY : SLM	
GMB FILE : 150322	
DATE : MAR 2021	

© COPYRIGHT 2021 GEORGE, MILES & BUHR, LLC

DATE	
REVISIONS	
NO.	

LANDSCAPING GENERAL NOTES:

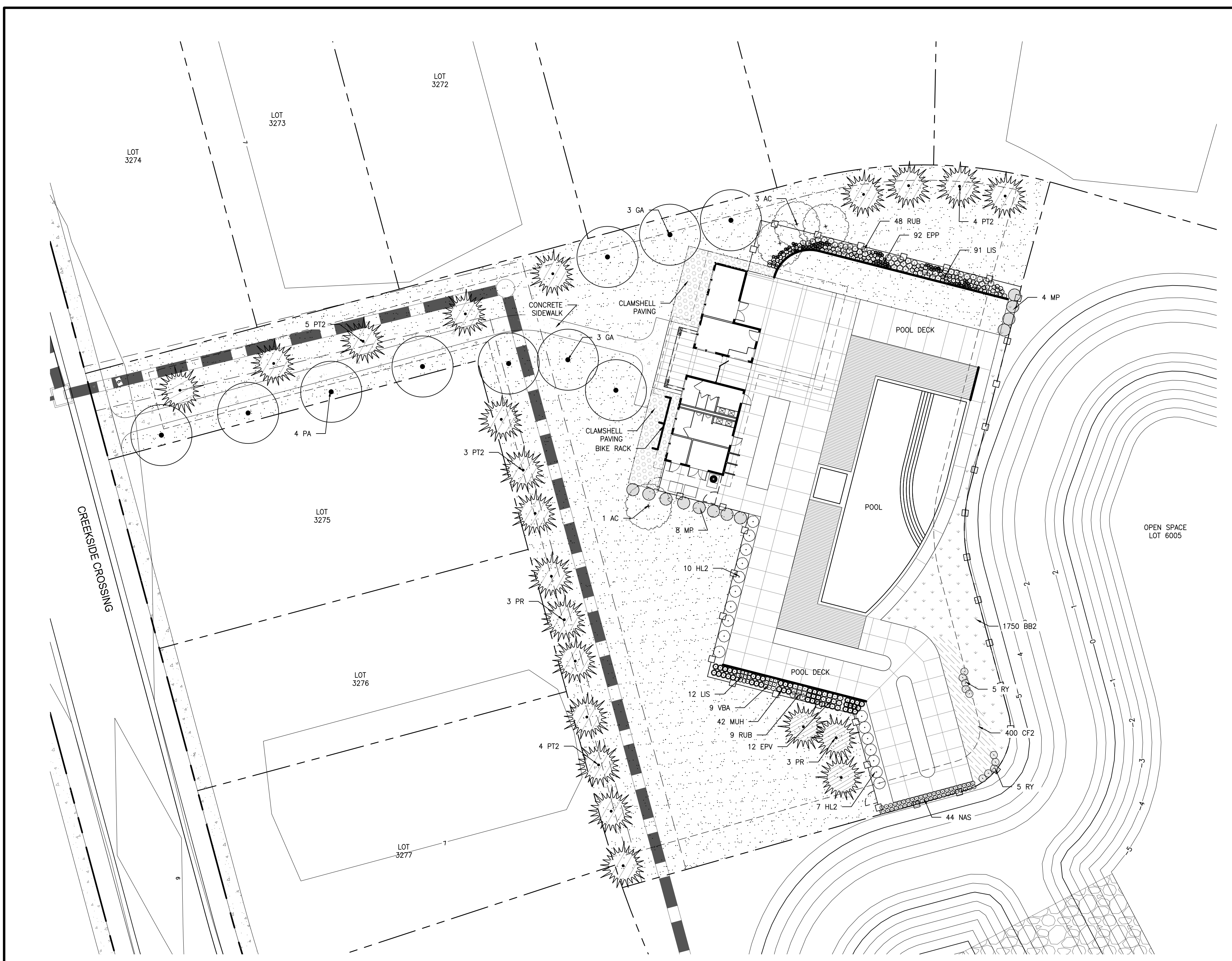
1. PLANTS SHALL CONFORM TO CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY AMERICAN ASSOCIATION OF NURSERYMEN (AAN). PARTICULARLY WITH REGARDS TO SITE, GROWTH AND SIZE OF BALL AND DENSITY OF BRANCH STRUCTURE.
2. CONTRACTOR IS TO ENSURE CONFORMANCE TO NATIONAL AND LOCAL BUILDING CODES AND ORDINANCES.
3. ALL PLANTS (B&B OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHERPROOF LABELS SECURELY ATTACHED HERETO BEFORE DELIVERY TO THE PROJECT SITE. LABELS SHALL IDENTIFY PLANTS BY NAME, SPECIES, AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL THE FINAL INSPECTION BY THE OWNER'S REPRESENTATIVE.
4. ANY MATERIAL AND/OR WORK MAY BE REJECTED BY THE OWNER'S REPRESENTATIVE IF IT DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS. THE CONTRACTOR SHALL REMOVE ALL REJECTED MATERIAL FROM THE SITE.
5. THE CONTRACTOR SHALL FURNISH ALL PLANTS IN QUANTITIES AND SIZES TO COMPLETE THE WORK AS SPECIFIED IN THE PLANT SCHEDULE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES ON THE PLANS PRIOR TO THE COMMENCEMENT OF WORK. QUANTITIES IN THE PLANT SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY AND DO NOT CONSTITUTE THE FINAL COUNT.
6. SUBSTITUTION IN PLANT SPECIES OR SIZE SHALL NOT BE PERMITTED EXCEPT WITH THE WRITTEN APPROVAL OF THE OWNER OR THE OWNER'S REPRESENTATIVE.
7. PLANTS SHALL BE LOCATED AS SHOWN ON THE DRAWINGS AND BY SCALING OR AS DESIGNED IN THE FIELD BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
8. CONTRACTOR SHALL LOCATE AND MARK ALL UNDERGROUND UTILITY LINES AND IRRIGATION SYSTEMS PRIOR TO EXCAVATING PLANT BEDS OR PITS. ALL UTILITY EASEMENT AREAS WHERE NO PLANTING SHALL TAKE PLACE SHALL ALSO BE MARKED ON THE SITE PRIOR TO LOCATING AND DIGGING THE TREE PITS. IF UTILITY LINES ARE ENCOUNTERED IN EXCAVATION OF TREE PITS OTHER LOCATIONS FOR THE TREES SHALL BE SELECTED BY THE OWNER OR THE OWNER'S REPRESENTATIVE. SUCH CHANGE SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. NO CHANGES OF LOCATION SHALL BE MADE WITHOUT THE APPROVAL OF THE OWNER OR THE OWNER'S REPRESENTATIVE.
9. ALL EQUIPMENT AND TOOLS SHALL BE PLACED SO AS NOT TO INTERFERE OR HINDER THE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW.
10. DURING PLANTING OPERATIONS, EXCESS AND WASTE MATERIALS SHALL BE PROMPTLY AND FREQUENTLY REMOVED FROM THIS SITE.
11. ALL TREE PITS ARE TO BE EXCAVATED TO A MINIMUM DEPTH TO ALLOW THE TREE ROOT BALL TO BE A MINIMUM OF 3" HIGHER THAN FINISHED GRADE. THE TREE ROOT BALL IS TO REST ON UNDISTURBED SOIL, OR A COMPACTED BED MUST BE PREPARED FOR THE TREE ROOT BALL TO REST ON AND WHICH WILL NOT SUBSIDE CAUSING THE TREE TO SINK BELOW FINISHED GRADE. ALL TREE PITS ARE TO BE A MINIMUM OF 12" LARGER ON EVERY SIDE OF THE TREE ROOT BALL.
12. THE TOP SOIL TO BE USED TO FILL THE TREE PITS, SHRUB BEDS AND PLANTERS IS TO BE PLANT SPECIFIC. THE TOPSOIL FOR TREES, SHRUBS AND PLANTERS SHALL CONSIST OF A MAXIMUM OF 2/3 EXISTING TOPSOIL FROM THE SITE, WHICH IS CLEANED AND FREE OF CLAY, A MINIMUM OF APPROVED ORGANIC MATERIALS OR IMPORTED NEW LOAMY TOPSOIL AND 10% COW MANURE. ALL OF THESE MATERIALS ARE TO BE MIXED PRIOR TO PLACING IN THE PLANTER OR BACKFILLING WHEN PLANTING.
13. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL TREE PITS, SHRUB BEDS AND PLANTERS ARE WELL DRAINED. THE LANDSCAPE CONTRACTOR WILL REPLACE ALL PLANT MATERIAL WHICH IS AFFECTED BY POOR DRAINAGE, AT NO CHARGE TO THE OWNER.
14. THE TREES AND SHRUBS ARE TO BE HANDLED WITH THE BEST CARE AND ATTENTION TO ENSURE THAT THE PLANTS ARE NOT BRUISED, BROKEN, TORN, DAMAGED IN ANY WAY WHICH WILL AFFECT THE PLANTS GENERAL APPEARANCE AND WELL BEING.
15. THE TREES MUST BE STAKED IN ACCORDANCE WITH ACCEPTABLE NURSERY PRACTICES TO ENSURE THAT THEY ARE SECURE IN THE GROUND AND WILL GROW STRAIGHT AND UNIFORM. THE TREES ARE TO BE WRAPPED IF THE CONTRACTOR DEEMS IT NECESSARY TO PROTECT THE TREES FROM SUN SCALD OR INSECT ATTACK.
16. THE LANDSCAPE CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY FOR ALL PLANT MATERIAL AND OTHER WORK DONE ON SITE. THIS WARRANTY WILL BEGIN AT EITHER SUBSTANTIAL COMPLETION OR AT FINAL ACCEPTANCE AS DETERMINED BY THE OWNER.
17. THE CONTRACTOR IS TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED SO AS NOT TO IMPEDE DRAINAGE AWAY FROM BUILDINGS.

GMB
 GEORGE, MILES & BUHR, LLC
 ARCHITECTS & ENGINEERS
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AMERICANA BAYSIDE
Carrollwood
 COMMUNITIES
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

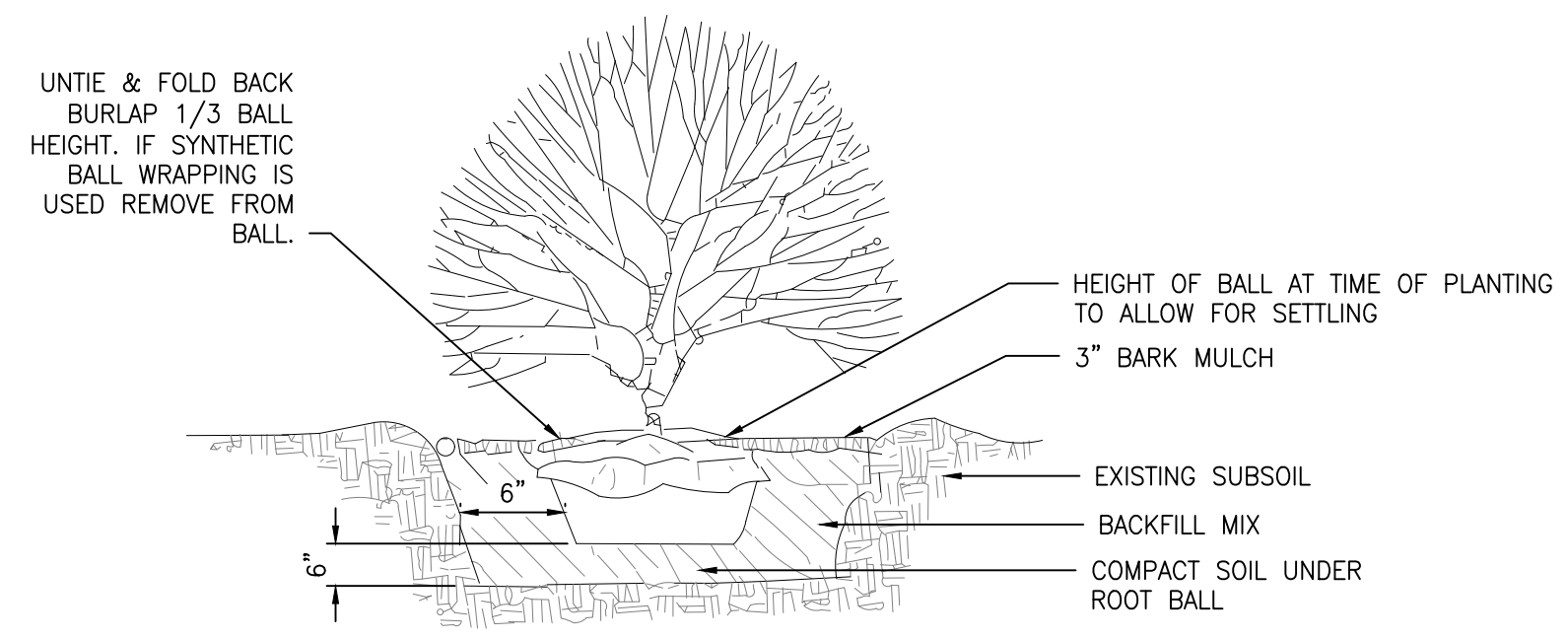
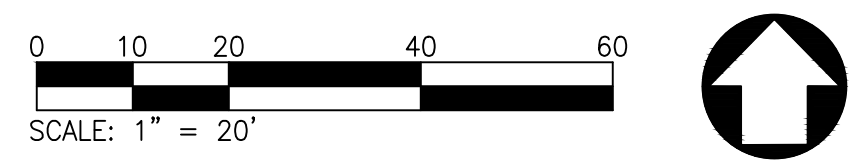
**VILLAGE A
 POOL & POOL
 HOUSE
 LANDSCAPING
 PLAN**

SCALE: 1" = 20' SHEET NO. FSP3.0
 DESIGN BY: RLM / KK
 DRAWN BY: RLM / KK
 CHECKED BY: SLM
 GMB FILE: 150322
 DATE: MAR 2021

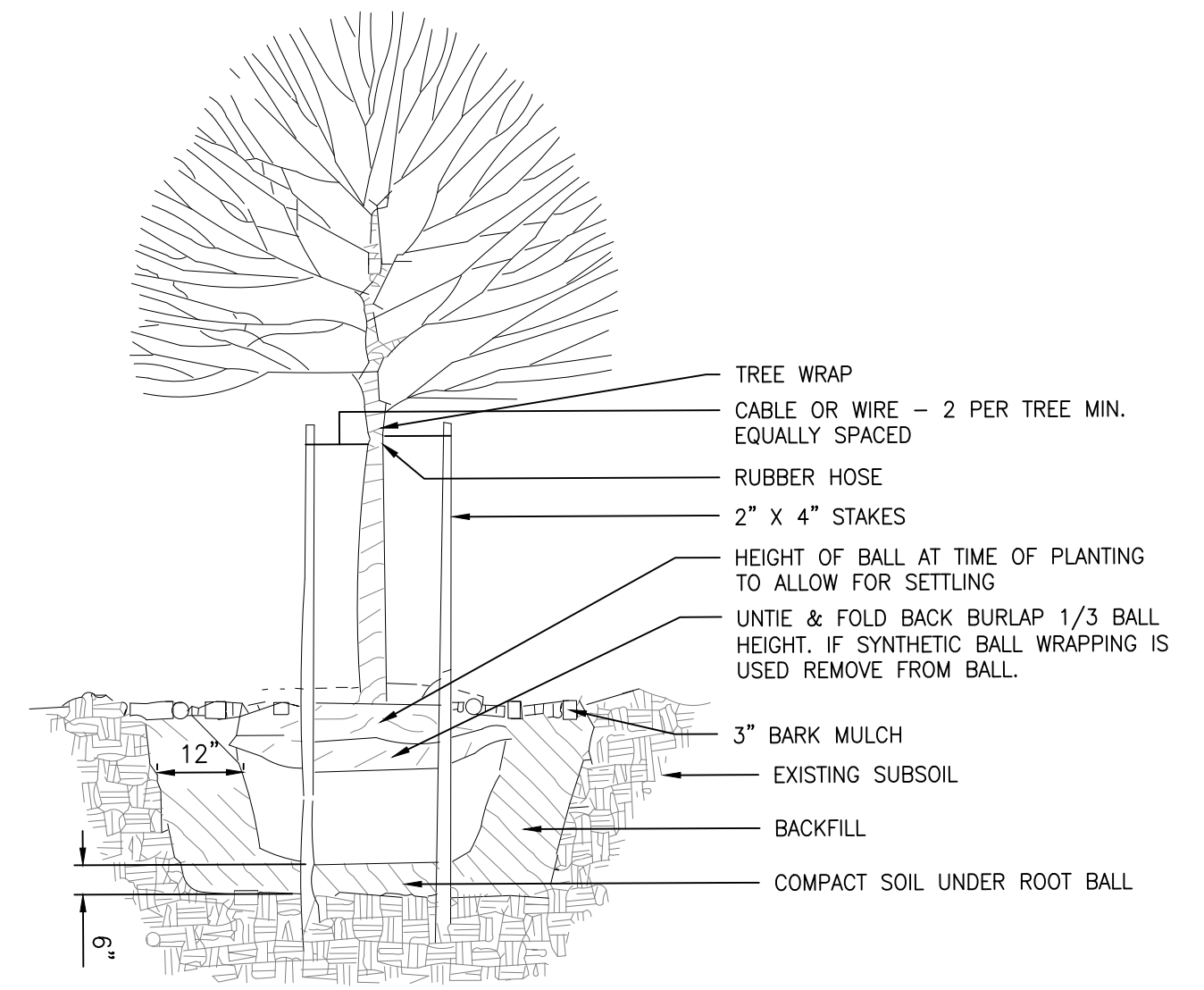


PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
TREES				
GA	GINKGO BILOBA 'AUTUMN GOLD' TM	MAIDENHAIR TREE	2.5" CAL.	4
PA	PLATANUS ACERIFOLIA 'BLOODGOOD'	LONDON PLANE TREE	2-2 1/2" CAL.	4
EVERGREEN TREES				
PR	PINUS RIGIDA	PITCH PINE	8-10'	6
PT2	PINUS TAEDA	LOBLOLLY PINE	8-10'	16
FLOWERING TREES				
AC	AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	8-10'	4
SHRUBS				
HL2	HYDRANGEA PANICULATA 'LITTLE LAMB'	HARDY HYDRANGEA	3' HT	17
RY	ROSA X 'RADSUNNY' TM	SUNNY KNOCK OUT YELLOW ROSE	1.5' HT	10
GRASSES				
MUH	MUHLENBERGIA CAPILLARIS	PINK MUHLY	1 GAL.	42
NAS	NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS	1 QT.	44
PERENNIAL				
EPP	ECHINACEA PALLIDA	PALE PURPLE CONEFLOWER	2 GAL.	92
EPV	ECHINACEA PURPUREA 'VINTAGE WINE'	VINTAGE WINE CONEFLOWER	1 GAL.	12
LIS	LIASTRIS SPICATA	SPIKED GAYFEATHER	1 GAL.	103
RUB	RUDBECKIA FULGIDA 'GOLDSTRUM'	BLACK EYED SUSAN	1 GAL.	57
GROUND COVERS				
BB2	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	1 GAL.	1750
CF2	CAREX FLACCA	BLUE SEDGE	1 GAL.	400



SHRUB PLANTING DETAIL
NOT TO SCALE



TREE PLANTING DETAIL
NOT TO SCALE



**BAIRD
MANDALAS
BROCKSTEDT**

Mackenzie M. Peet
mackenzie@bmbde.com
(302)645-2262

March 12, 2021

VIA REGULAR MAIL AND EMAIL

Planning & Zoning Department
Attn: Planning & Zoning Commission
2 The Circle
PO Box 417
Georgetown, DE 19947

RECEIVED
MAR 12 2021
SUSSEX COUNTY
PLANNING & ZONING

RE: Condition C of the Notice of Decision Letter for the Preliminary Subdivision Plan for Cardinal Grove (2020-11) for the creation of a cluster subdivision to consist of a total of 98 lots, private roads and open space to be located on the west side of Beaver Dam Road (S.C.R 285) (Route 23); TMP 234-2.00-1.10

Dear Commissioners:

We represent 18898 Beaver Dam Road LLC, Developers of the proposed Cardinal Grove cluster subdivision to consist of a total of 98 lots.

We respectfully request removal of Condition C contained in the Notice of Decision Letter. Condition C states:

The proposed stormwater management pond shall be relocated from where it is shown on the northeast corner of the site on the preliminary site plan. According to DNREC, the stormwater management pond is proposed within an area of hydric soils which “is not considered an environmentally acceptable practice by DNREC and will likely increase the potential for future flooding impacts...” The stormwater management pond shall not be located within the area of hydric soils identified as “Hammonton Sandy Loam” and “Long marsh and Indiantown Soils” in the USDA Report dated December 18, 2020. No other improvements shall be constructed in this area, either.

Condition C is at issue for several reasons, as supported by the (1) Correction of Notice issued on March 10, 2021 by DNREC’s Beth Krumine, Principal Planner; (2) the letter drafted by Edward M. Launay, Professional Wetland Scientist and Corp of Engineers’ Wetland Delineator of Environmental Resources, Inc.; and (3) the attached map prepared by Solutions IPEM identifying undevelopable areas if Condition C is not deleted.


DNREC's Correction of Notice confirms that "hydric soils are present in the northeastern and northwestern corners of the property where ***no construction activities are proposed (including the stormwater management area)***." Further, "Stormwater management is proposed ***outside*** of field-verified wetlands, which are known to possess hydric soils." Therefore, the Applicant requests that the stormwater ponds remain in their proposed locations as shown on Cardinal Grove's preliminary site plan.

Mr. Launay's letter confirms that: (1) "Condition C is written in error"; (2) that Hammonston Sandy Loam soil (HnA) is not a hydric soil; and (3) "None of the three proposed stormwater facilities at Cardinal Grove as currently proposed occup[y] hydric soils or poorly drained soil types of any sort as determined by the USDA Soil Survey, its official hydric soil list, its official soil descriptions or ERI's site investigations."

Finally, the attached map prepared by Solutions IPEM identifies areas in red, orange, and light green. If this condition begins to be applied to present and future land use applications, then improvements would be restricted in all red, orange, and light green areas. We consider this to be detrimental to future development in Sussex County and an unintended consequence of confusion about the information included in the PLUS Comments.

We respectfully request careful review of the attached exhibits and deletion of Condition C as a condition of approval to the Cardinal Grove's preliminary site plan.

Sincerely,



Mackenzie M. Peet, Esq.

/mmp



EXHIBIT A

**CORRECTION NOTICE: 2020-06-01 “Cardinal Grove”
DNREC PLUS Comments**

March 10, 2021

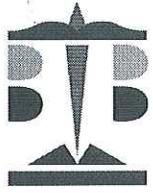
The Department of Natural Resources and Environmental Control – Contact: Beth Krumrine at Beth.Krumrine@delaware.gov

Stormwater Management Requirements and Hydric Soils

- For projects greater than 5,000 square feet, a detailed sediment and stormwater plan will be required prior to any land disturbing activity taking place on the site.

Hydric Soils Recommendations

- Based on soil maps, hydric soils are present at the southern portion of the proposed project area. Hydric soils are also present in the northeastern and northwestern corners of the property where no construction activities are proposed (including the stormwater management area). Such mapping indicates possible location of hydric soils. DNREC reviewers discourage building on hydric soils because they are an important source of water storage. The loss of this water storage function through excavation, filling, or grading of intact native hydric soils increases the probability for more frequent drainage and flooding events.
- A stormwater management pond is proposed within the area of hydric soils. Siting a stormwater management pond within hydric soils is not considered an environmentally acceptable practice by DNREC and will likely increase the potential for future flooding impacts, while increasing nutrient and bacterial pollutant discharge to ground and surface waters.
- According to the application, a wetland delineation has been completed and the U.S. Army Corps of Engineers has signed off on the delineation. Stormwater management is proposed outside of field-verified wetlands, which are known to possess hydric soils.



BAIRD
MANDALAS
BROCKSTEDT LLC

EXHIBIT B

February 22, 2021

ERI Project No. 0593#0756

Mr. Jamie Whitehouse, Director
Sussex County Department of Planning
2 The Circle
Georgetown, Delaware 19947

RE: Absence of Hydric Soils in Proposed Stormwater Management Facilities
Notice of Decision Letter for the Preliminary Subdivision Plan for Cardinal Grove
For the creation of a cluster subdivision to consist of a total of 98 lots, private
roads, and open space, Tax Parcel 234-2.00-1.10

Dear Mr. Whitehouse,

Environmental Resources, Inc. (ERI) is writing you at the request of 18898 Beaver Dam Road, LLC and their civil engineer, Mr. Jason Palkewicz of Solutions IPEM, LLC regarding the above referenced decision letter dated February 16, 2021 received from the Planning & Zoning Commission. Specifically, I am writing you regarding Condition "C" which discussed hydric soils and the proposed stormwater management facilities at Cardinal Grove.

Condition C stated, *"The proposed stormwater management pond shall be relocated from where it is shown at the northeast corner of the site on the preliminary site plan. According to DNREC, the stormwater management pond is proposed within an area of hydric soils which "is not considered an environmentally acceptable practice by DNREC and will likely increase the potential for future flooding impacts..." The stormwater management pond shall not be located within the area of hydric soils identified as "Hammonton Sandy Loam" and "Longmarsh and Indiantown Soils" in the USDA Report dated December 18, 2020. No other improvements shall be constructed in this area, either. The stormwater management system shall meet or exceed the requirements of the State"*.

As part of planning for the Cardinal Grove cluster subdivision, ERI was retained to make an assessment of this property and to delineate the extent of wetlands which included the hydric soils associated with those areas. As part of that work, I reviewed various

guidance documents including the USDA "Soil Survey for Sussex County". In the preparation of this letter, I once again reviewed the USDA Soil Survey, Office of State Planning Office, PLUS Review 2020-06-11 Comment Letter dated July 23, 2020 and the Preliminary Subdivision Plans for Cardinal Grove as prepared by Solutions IPEM, LLC.

I always caution that resource map information such as the USDA Soil Survey is a guidance map which may or may not reflect actual soil conditions. It is nonetheless quite useful and in the case of this site, I believe it to be reasonably accurate. However, the USDA Soil Survey is in error in several circumstances. Where ERI mapped wetlands along the projects Beaver Dam Road frontage, the USDA Soil Survey mapped this wetland as an area of well-drained Hammonton Sandy Loam (HnA). Secondly, the USDA Soil Survey also failed to map hydric soil within an area mapped as Evesboro loamy sand (EvD), a well-drained upland soil where ERI delineated a narrow forested wetland area which connects with the Brundicks Branch wetland floodplain.

After reviewing this information, it is quite apparent that Condition C is written in error. I can see that there may be some confusion with the way the PLUS Comments on hydric soils were written or with respect to which soil series are, or are not, classified as a poorly or very poorly drained hydric soils.

Based upon review of the USDA Soil Survey, the northerly most proposed stormwater basin near the rear of Lots 31 & 32 is located on a portion of the site mapped by the USDA Soil Survey as in the Evesboro Sandy Loam soils (EvD) which is a well-drained upland soil type. This was mistakenly referenced in Condition C as being in Hammonton Sandy Loam soils (HnA). The centrally located stormwater facility east of Lots 72 through 77 occurs partly in an area mapped as well-drained Evesboro Loamy Sand (EvD) and partly in an area mapped as Fort Mott-Henelopen Complex (FhB). These are both well-drained upland soil types. The southernmost proposed stormwater basin is located southeast of Lots 42 through 44 on a portion of the site mapped as Hammonton Sandy Loam (HnA) by the USDA Soil Survey.

Hammonton Sandy Loam is mentioned in Condition C as being a hydric soil. This is in error. It is actually a moderately well drained soil always associated with uplands. Hammonton sandy loam is not a hydric soil type. It is not a soil type associated with wetlands or poorly drained areas. One potential source of confusion may be that as mentioned earlier, the USDA Soil Survey mapped Hammonton Soils (HnA) in error where ERI delineated an isolated forest wetland along Beaver Dam Road. This is clearly a USDA Soil Survey mapping error.

As part of delineating the wetlands on this property, ERI effectively delineated all the areas of existing hydric soils on the property, as these all lie exclusively within the wetlands. The wetland delineated in association with Brundicks Branch are correctly mapped as Longmarsh-Indiantown Soils (Lo) by the USDA Soil Survey which is a very

poorly drained hydric soil common to wetland floodplains. Again, in error the USDA Soil Survey did map limited portions of this wetlands partly with upland soil types (Evesboro Loamy Sand (EvD) and Fort Mott-Henelopen Complex (FhB)). No wetlands are impacted by the project.

The only hydric soil mapped on the USDA Soil Survey other than Longmarsh-Indiantown soils found within wetlands on the north part of the site, is an area of Fallsington Loam along Beaver Dam Road which has mostly been developed by the Ocean Meadows subdivision under construction to the south of Cardinal Grove. I can tell you I also believe the USDA Soil Survey mapped this feature in error. Regardless, it is not in the vicinity of Cardinal Grove's stormwater management facilities.

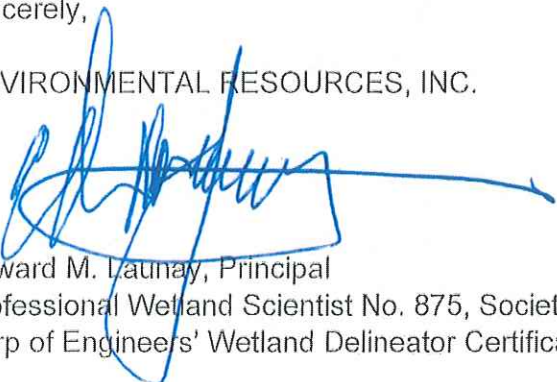
In closing, the conclusion that Hammonton Sandy Loam soil (HnA) is a hydric soil is in error. This is a moderately well-drained soil associated with uplands. None of the three proposed stormwater facilities at Cardinal Grove as currently proposed occupies hydric soils or poorly drained soil types of any sort as determined by the USDA Soil Survey, it's official hydric soil list, it's official soil descriptions or ERI's site investigations.

Therefore, I would respectfully ask you to share this information with the Planning and Zoning Commission and ask for elimination of Condition C.

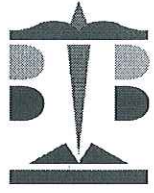
Upon review of this request, I am available at your convenience should you have any questions.

Sincerely,

ENVIRONMENTAL RESOURCES, INC.



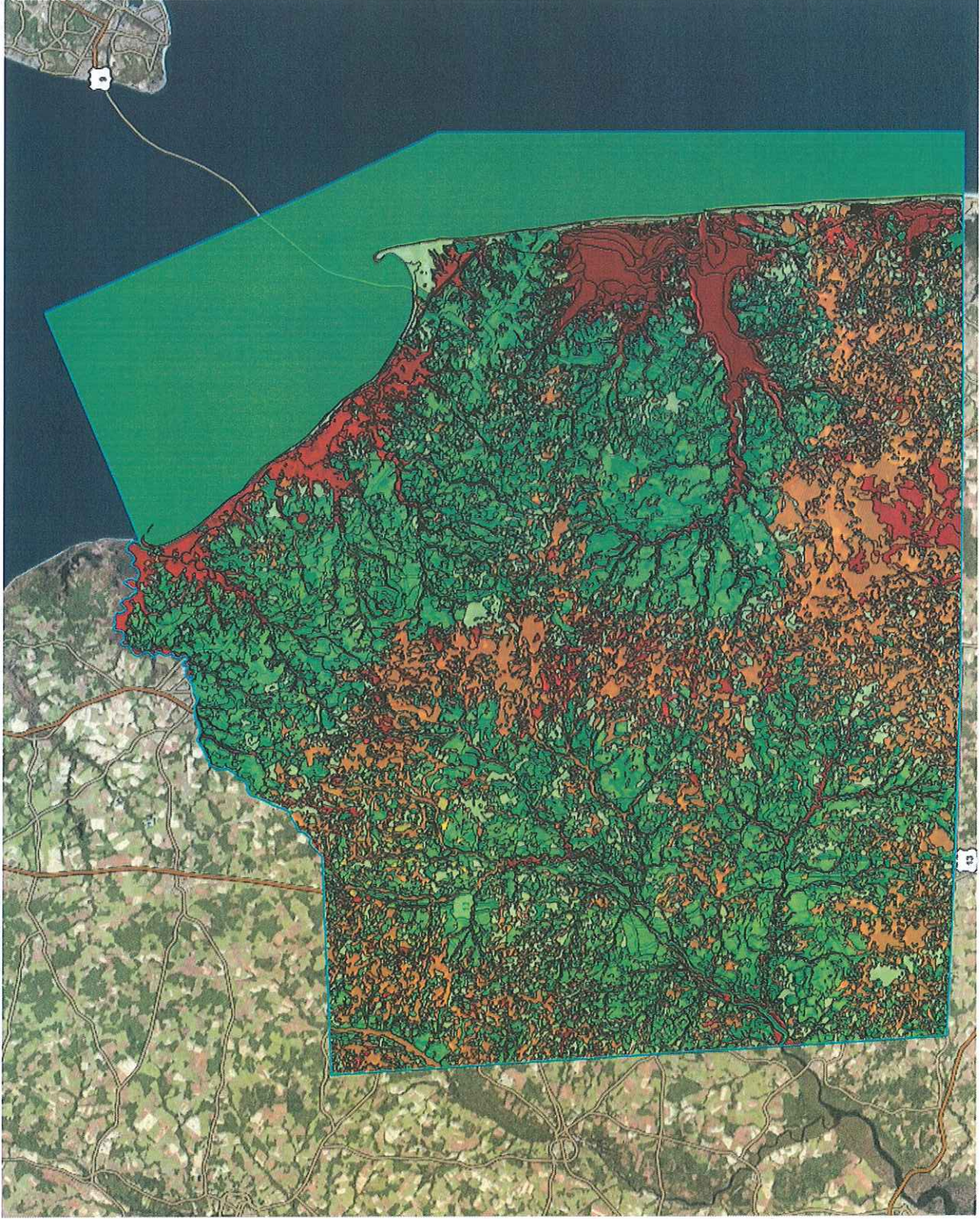
Edward M. Launay, Principal
Professional Wetland Scientist No. 875, Society of Wetland Scientists
Corp of Engineers' Wetland Delineator Certification No. WDCP93MD0510036B

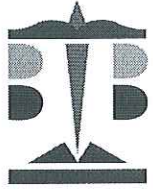


BAIRD
MANDALAS
BROCKSTEDT LLC

EXHIBIT C

Prepared By: Solutions IPEM of 303 N. Bedford, Street, Georgetown, DE 19947



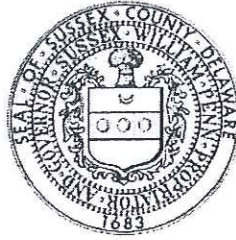


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BROCKSTEDT LLC

EXHIBIT D

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878 T
302-854-5079 F
JAMIE WHITEHOUSE, AICP, MRTPI
DIRECTOR

February 16, 2021

Mr. Jason Palkewicz, P.E.
Solutions, IPEM, LLC
303 North Bedford Street
Georgetown, DE 19947

By email to: jpalkewicz@solutionsipem.com

Re: Notice of Decision letter for the Preliminary Subdivision Plan for Cardinal Grove (2020-11) for the creation of a cluster subdivision to consist of a total of 98 lots, private roads and open space to be located on the west side of Beaver Dam Road (S.C.R. 285) (Route 23)
Tax Parcel: 234-2.00-1.10

Dear Mr. Palkewicz,

At their meeting of **Thursday, February 11, 2021** the Planning & Zoning Commission **approved** the **Preliminary Subdivision Plan for Cardinal Grove (2020-11)** for the creation of a cluster subdivision to consist of a total of 98 lots, private roads and open space to be located on the west side of Beaver Dam Road (S.C.R. 285) (Route 23). The project is also located within the newly established Henlopen Transportation Improvement District (TID) and will be subject to all related impact fees to be paid for local road improvements in lieu of a Traffic Impact Study (TIS). The property is located in the Agricultural Residential (AR-1) Zoning District.

The Preliminary Subdivision Plan is valid for three (3) years from the date of Planning Commission decision. A Final Subdivision Plan shall be approved within three (3) years of the date of approval of the Preliminary Plan or the action of the Planning Commission shall be deemed canceled. Unless an extension is granted, approval shall be rendered null and void if substantial construction is not commenced within five (5) years of the date of recordation of the final plat.

As part of their motion, the Planning Commission acted to approve the development subject to the following conditions (which shall be clearly annotated on the Revised Preliminary and Final Subdivision Plans):

- A. There shall be no more than 98 lots within the subdivision.
- B. The developer shall establish a homeowner's association responsible for the maintenance of streets, buffers, stormwater management facilities and other common areas.
- C. The proposed stormwater management pond shall be relocated from where it is shown at the northeast corner of the site on the preliminary site plan. According to DNREC, the stormwater management pond is proposed within an area of hydric soils which "is not considered an environmentally acceptable practice by DNREC and will likely increase the potential for future flooding impacts..." The stormwater management pond shall not be located within the area of hydric soils identified as "Hammonton



- Sandy Loam” and “Longmarsh and Indiantown Soils” in the USDA Report dated December 18, 2020. No other improvements shall be constructed in this area, either.
- D. The stormwater management system shall meet or exceed the requirements of the State and County. The Final Site Plan shall contain the approval of the Sussex Conservation District for the design and location of all stormwater management areas and erosion and sedimentation control facilities.
 - E. There shall be a 30-foot buffer installed along the perimeter of this subdivision. This buffer shall utilize existing forest or similar vegetation as much as possible with limited disturbance.
 - F. The development shall comply with all DelDOT entrance and roadway improvement requirements.
 - G. Street design shall meet or exceed Sussex County standards.
 - H. Road naming and addressing shall be subject to the review and approval of the Sussex County Mapping and Addressing Department.
 - I. Construction, site work and deliveries shall only occur on the site between the hours of 8:00 a.m. through 5:00 p.m., Monday through Saturday.
 - J. The Applicant shall coordinate with the local school district regarding the location of a school bus stop. The location and details of this area shall be shown on the Final Site Plan.
 - K. The development shall be served by its own on-site amenities including a pool and a pool house.
 - L. All amenities shall be completed and open for use prior to the issuance of the 45th residential building permit.
 - M. As stated by the Applicant, at least 11.25 acres of existing forest shall be preserved. The Final Site Plan shall depict all forested areas that will be preserved.
 - N. Approximately 4.7 acres of wetlands have been delineated on the site. As stated by the Applicant, there shall be a 25-foot buffer from all non-tidal wetlands and a 50-foot buffer from Bundick’s Branch.
 - O. There shall be sidewalks on at least one side of all streets and the sidewalk system shall connect with DelDOT’s multi-modal path.
 - P. The Final Site Plan and the recorded Restrictive Covenants for this development shall include the Agricultural Use Protection Notice.
 - Q. A revised Preliminary Site Plan either depicting or noting these conditions must be submitted to the Office of Planning and Zoning.
 - R. The Final Site Plan shall be subject to the review and approval of the Planning and Zoning Commission.

The Final Subdivision Plan must comply with the County’s Subdivision Code, including submission of agency approval letters to the Planning and Zoning Office. The agency approvals required for Final Subdivision Plan approval include but are not limited to: the Sussex Conservation District, Office of the State Fire Marshal, Sussex County Engineering Department, Sussex County Mapping and Addressing Department, Office of Drinking Water (Public Health) and the Delaware Department of Transportation (DelDOT).

Once all agency approvals have been obtained, please submit a minimum of **one (1) full-size (24 “ x 36”)** and **one (1) electronic PDF copy** of a Final Subdivision Plan to the Planning and Zoning Office for consideration on the next available agenda for Planning Commission. It is recommended that **two (2) copies** of a check print are first submitted to staff for review.

Please note that a \$10.00 per lot fee will be required to be paid prior to the approval of any Final Subdivision Plan. For 98 lots, the fee is \$980.00.

Please feel free to contact me during business hours with any question from 8:30 AM – 4:30 PM, Monday through Friday, at 302-855-7878.

Sincerely,

A handwritten signature in cursive script that reads "Lauren DeVore".

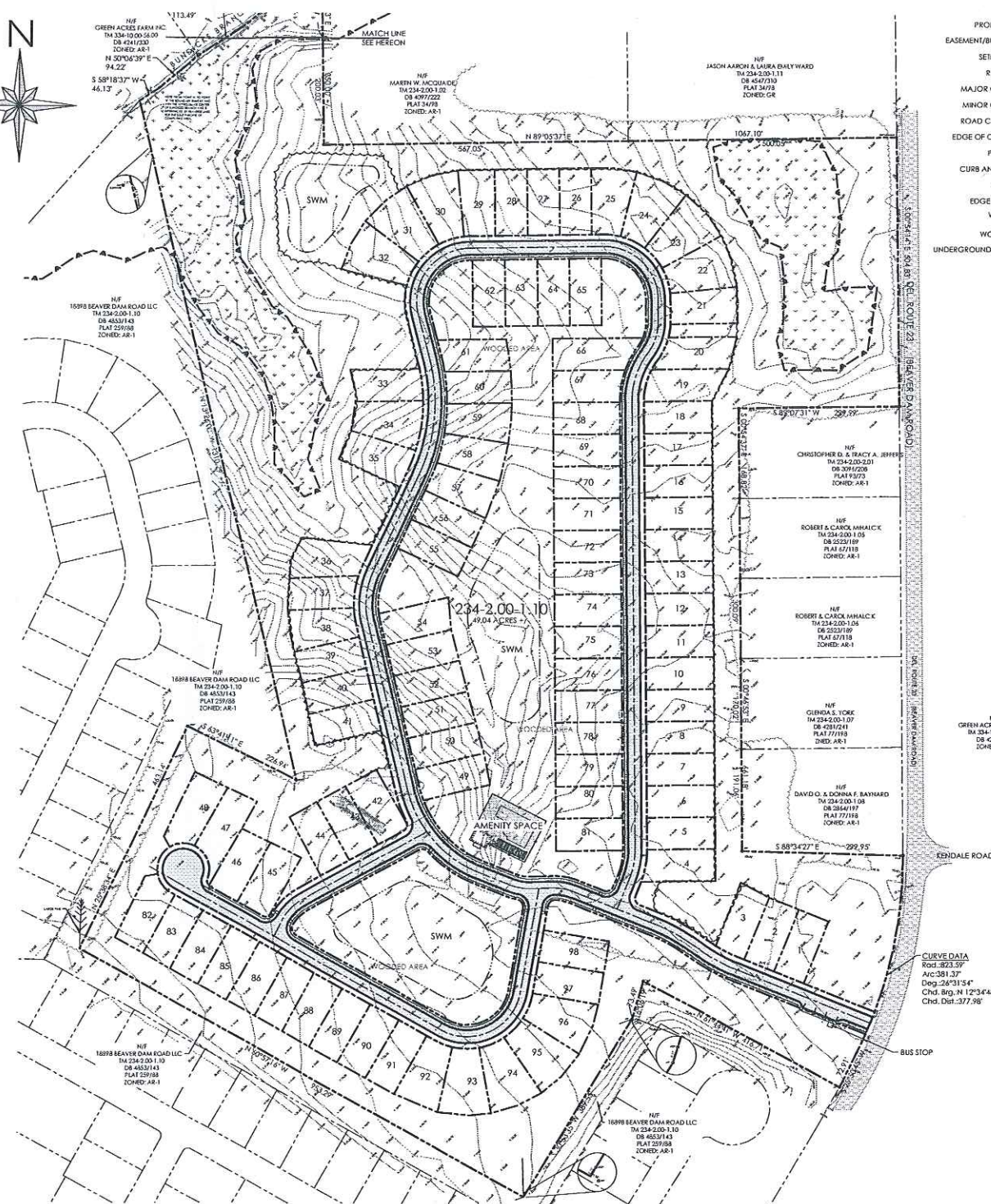
Ms. Lauren DeVore
Planner III

CC: Andy Wright, Chief Code Official – Building Code
John Ashman, Director of Utility Planning & Design – Engineering – Utility Planning
Susan Isaacs, Engineering Project Coordinator – Engineering – Public Works
Mackenzie Peet, Esquire – Baird Mandalas Brockstedt, LLC



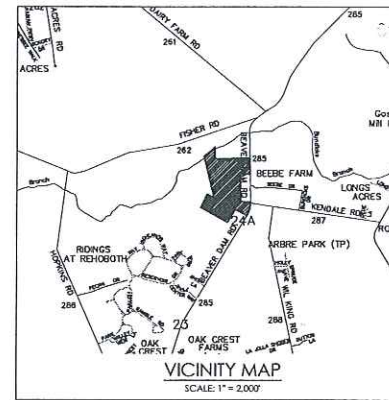
BAIRD
MANDALAS
BROCKSTEDT LLC

EXHIBIT E



LEGEND

EXISTING	PROPOSED
PROPERTY LINE	---
EASEMENT/BUFFER LINE	- - - - -
SETBACK LINE	---
R.O.W. LINE	---
MAJOR CONTOUR	N/A
MINOR CONTOUR	N/A
ROAD CENTERLINE	---
EDGE OF CONCRETE	N/A
PAVEMENT	▨
CURB AND GUTTER	N/A
SIDEWALK	N/A
EDGE OF POND	N/A
WETLANDS	▨
WOODS LINE	▨
UNDERGROUND GAS LINE	---



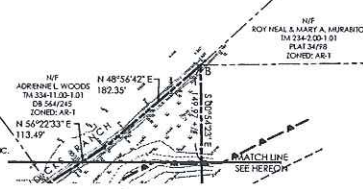
SITE DATA:

OWNER: 18998 BEAVER DAM ROAD LLC
20184 PHILLIPS STREET
REHOBOTH BEACH, DE

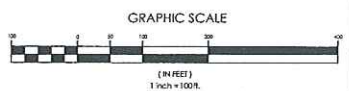
DEVELOPER: SCHELL BROTHERS, LLC
20184 PHILLIPS STREET
REHOBOTH BEACH, DE 19971
MR. CHRIS SCHELL

ENGINEER/
LAND PLANNER: SOLUTIONS IPEM, LLC
303 NORTH BEDFORD STREET
GEORGETOWN, DE 19947
PHONE: 302.297.9215
CONTACT: JASON PALKEWICZ, PE

- TM 234-2,00-1,10
- EXISTING ZONING: AR-1
- PROPOSED USE: COASTAL AREA CLUSTER
- SINGLE FAMILY LOTS - 98 LOTS
MIN. LOT AREA = 7,500 S.F.
MIN. LOT WIDTH = 60'
- MAXIMUM BUILDING HEIGHT: 42'
- FRONT YARD = 25' (15' ON CORNER)
SIDE YARD = 10'
REAR YARD = 10'
- BOUNDARY AND TOPOGRAPHY AS SHOWN HEREON ARE AS PROVIDED BY SOLUTIONS IPEM LLC
- FLOOD ZONE:
PROPERTY IS LOCATED IN ZONE A (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD) AND ZONE X (AREAS DETERMINED TO OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND ZONE AE EL 4. PER FIRM MAP NUMBER 1000SC0330J, MAP REVISED JANUARY 6, 2005
- WATER SUPPLY:
ARTESIAN WATER COMPANY
TO BE DETERMINED
- SANITARY SEWER:
TO BE DETERMINED
- GROSS AREA = 49.04 AC ±
ALLOWABLE UNITS = 2,178 DU/AC * 49.04 AC = 106.8
PROPOSED UNITS = 98
(1,998 DU/ACRE GROSS)
- AREAS:
OPEN SPACE AREA = 24.28 AC ± (53.5% I)
NON-TIDAL WETLANDS AREA = 35.92 AC ±



- ### GENERAL NOTES:
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL WORK MUST BE PERFORMED IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS HERETO APPURTENANT.
 - EXISTING CONTOURS SHOWN WERE TAKEN FROM AERIAL TOPOGRAPHIC MAPPING PROVIDED BY DNREC PUBLIC RECORDS AND WILL BE FIELD VERIFIED DURING THE DESIGN STAGE OF THE PROJECT.
 - FORESTED AND/OR LANDSCAPED BUFFER STRIP - A STRIP OF LAND, NOT LESS THAN 20 FEET IN WIDTH, EXCLUSIVE OF ANY RESIDENTIAL LOTS, STORMWATER MANAGEMENT AREAS OR FACILITIES, OPEN SPACE EXCEPT THAT THE LAND AREA WITHIN THE BUFFER STRIP MAY BE INCLUDED IN THE OVERALL CALCULATION OF OPEN SPACE), RECREATIONAL AMENITIES, WASTEWATER TREATMENT AND/OR DISPOSAL FACILITIES, WATER TREATMENT FACILITIES, STREETS, BUILDINGS OR OTHER SURFACE IMPROVEMENTS AND LOCATED ALONG THE ENTIRE OUTER PERIMETER OF ANY PORTION OF A MAJOR SUBDIVISION OF LANDS INTO FOUR OR MORE LOTS ADJACENT TO LAND OF OTHER OWNERSHIP.
 - STORMWATER WILL BE HANDLED ONSITE AND WILL MEET THE CURRENT STATE OF DELAWARE REGULATIONS. ALL STORMWATER FACILITIES WILL BE PRIVATE AND MAINTAINED BY THE DEVELOPER UNTIL A HOMEOWNERS ASSOCIATION CAN ASSUME OWNERSHIP AND RESPONSIBILITY FOR THE STORMWATER FACILITIES.
 - ALL INTERNAL ROADWAYS AND SIDEWALKS ARE "PRIVATE" AND WILL BE MAINTAINED BY THE DEVELOPER UNTIL A HOMEOWNERS OR CONDOMINIUM ASSOCIATION CAN ASSUME OWNERSHIP AND RESPONSIBILITY FOR THE ROADWAYS AND SIDEWALKS.
 - FOR ANY NEW DEVELOPMENT LOCATED IN WHOLE OR IN PART WITH 50 FEET OF THE BOUNDARY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES, NO IMPROVEMENT REQUIRING AN OCCUPANCY APPROVAL FOR A RESIDENTIAL TYPE USE SHALL BE CONSTRUCTED WITHIN 50 FEET OF THE BOUNDARY OF THE LANDS USED PRIMARILY FOR AGRICULTURAL PURPOSES.



solutions

33 North Redford Street
Georgetown, DE 19947
T: 302.297.9215

303 North Elm Street
Georgetown, MD 21842
F: 410.352.8833

www.solutionsipem.com Copyright © 2020

NO.	DATE	DESCRIPTION

PLUS SITE PLAN
for
CARDINAL GROVE
SUSSEX COUNTY, DELAWARE
Prepared for: Schell

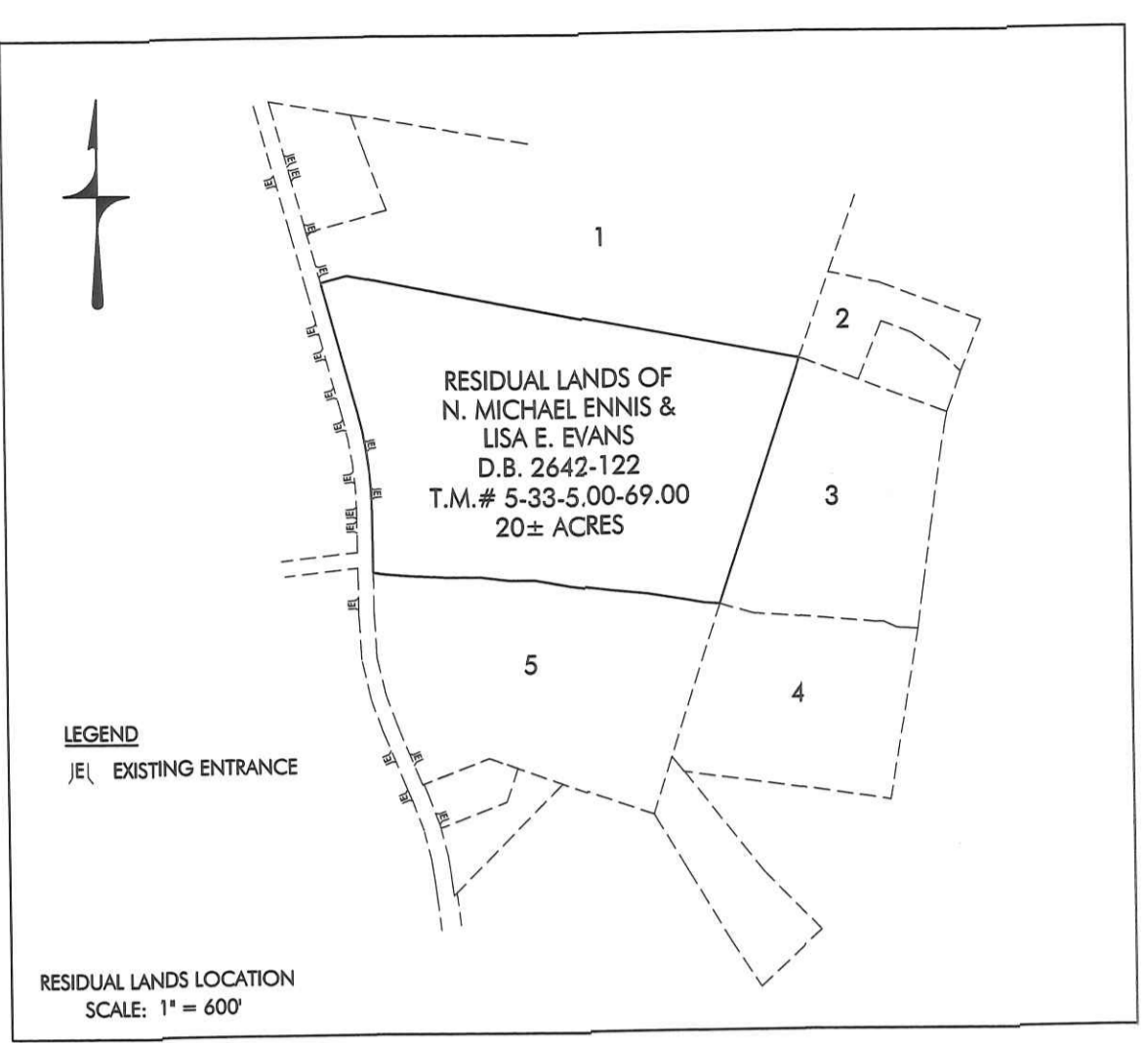
Date: 04-30-2020
Job Number: G19074
Scale: 1" = 100'

Drawn by: JML
Checked by: VE
Designed by:
Approved by: JP

Sheet No.: 1
File Name: 19078-plus

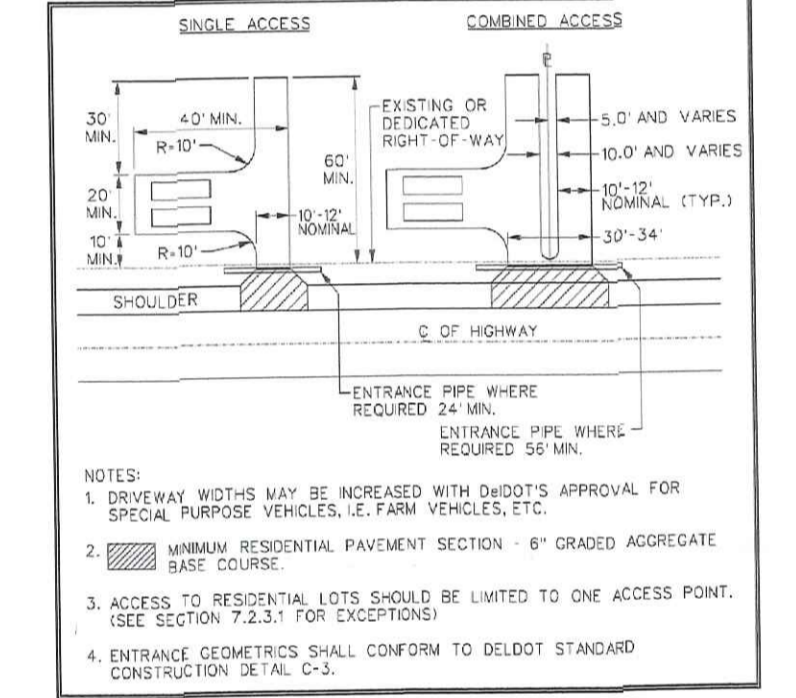


LOCATION MAP SCALE: 1" = 1 MILE



- 1) IRINA N. SMIRNOFF & ALEXANDER S. BARSUKOV D.B. 3886-48 T.M. #5-33-5.00-68.00 ZONE: AR-1
- 2) MARY A BRITT & CHARLES A. & AMY L. BUTTS D.B. 4190-139 T.M. #5-33-6.00-54.06 ZONE: GR
- 3) WAYNE L. & SANDRA L. BENNETT D.B. 5363-117 T.M. #5-33-6.00-56.04 ZONE: AR-1
- 4) GREGORY P., PAMELA L. & CHRISTOPHER ALLEN D.B. 3161-233 T.M. #5-33-4.00-16.01 ZONE: AR-1
- 5) WILLIAM B. WILGUS D.B. 544-363 T.M. #5-33-5.00-70.00 ZONE: AR-1

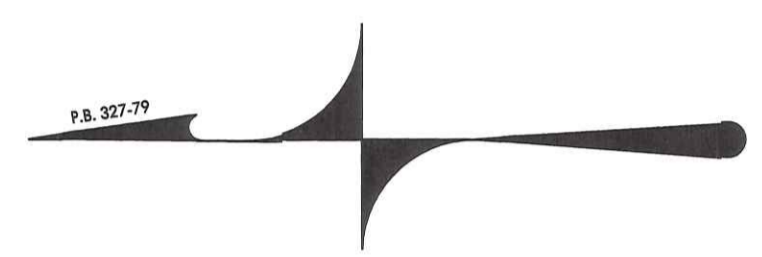
FIGURE 7.2.3.3-A RESIDENTIAL ACCESS DESIGN REQUIREMENTS



- NOTES:**
- IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION THEN THE ACCESS TO THESE PARCELS MAY BE FROM AN INTERNAL SUBDIVISION STREET.
 - LOT 2 SHALL HAVE ACCESS TO SCR #382 VIA THE 25 FOOT WIDE INGRESS / EGRESS EASEMENT.
 - LOT 1 SHALL HAVE ACCESS FROM SCR #382 IN WHICH THE ENTRANCE SHALL BE ALONG THE WESTERN PROPERTY LINE. SHOULD ADDITIONAL LOTS EVER BE DEVELOPED FROM THE RESIDUAL LANDS, THEN THE SINGLE ACCESS SHALL BE CONVERTED TO A COMBINED ACCESS.
 - ALL ENTRANCES SHALL CONFORM TO DELDOTS DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
 - THERE IS A FIFTY FOOT BUILDING SETBACK FROM LANDS USED FOR AGRICULTURAL PURPOSES UNLESS THE APPLICANT ACQUIRES A LETTER OF CONSENT FROM THE ADJACENT OWNER.
 - SHRUBBERY, PLANTINGS, SIGN AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.

LANDS N/F IRINA N. SMIRNOFF & ALEXANDER S. BARSUKOV D.B. 3886-48 T.M. #5-33-5.00-68.00 ZONE: AR-1

RESIDUAL LANDS 20± ACRES T.M. #5-33-5.00-69.00



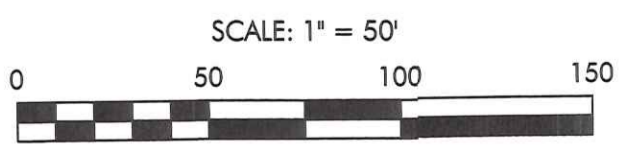
LANDS N/F WILLIAM B. WILGUS D.B. 544-363 T.M. #5-33-5.00-70.00 ZONE: AR-1

- LEGEND:**
- IRON PIPE (FOUND)
 - ▲ IRON ROD (TO BE SET)
 - POINT
 - MAILBOX
 - UTILITY POLE
 - CENTERLINE OF ROAD
 - EDGE OF PAVING
 - RIGHT-OF-WAY
 - EXISTING ENTRANCE
 - SPEED LIMIT SIGN (50 MPH)
 - STOP SIGN
 - INTERSECTION SIGN
 - STREET SIGN
 - ROAD CURVE SIGN
 - SHARP CURVE SIGN

SITE DATA
 TRACT: 26.06± ACRES (INCLUDING RESIDUAL LANDS)
 ZONING: AR-1
 TOTAL # OF EXISTING LOTS: 1
 PROPOSED LOTS: 3 (INCLUDING RESIDUAL LANDS)
 TOTAL # OF LOTS: 3
 PRESENT USE: AGRICULTURAL/RESIDENTIAL
 PROPOSED USE: AGRICULTURAL/RESIDENTIAL
 ACCESS: S.C.R. #382 (PYLE CENTER ROAD)
 ROADWAY CLASSIFICATION: MAJOR COLLECTOR
 POSTED SPEED LIMIT: 50 MPH
 100 YEAR FLOODPLAIN: SITE IS NOT IMPACTED AS PER F.I.R.M.: #10005C0495K (JUNE 20, 2018)
 WATER AND SEWER: INDIVIDUAL ON-SITE
 TAX PARCEL #: 5-33-5.00-69.00
 THIS PROJECT IS NOT IN THE PROXIMITY OF A TID

CURVE TABLE:

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	1241.26'	195.66'	195.45'	N 05°10'01" W	9°01'53"
C2	1241.26'	25.35'	25.35'	N 10°16'34" W	1°11'01"
C3	1241.26'	124.90'	124.88'	N 15°02'32" W	4°22'51"



MINOR SUBDIVISION PLAN FOR NORMAN M. ENNIS & KAREN M. ENNIS

OWNER ADDRESS: 34853 PYLE CENTER ROAD FRANKFORD, DE 19945

I, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW. I CERTIFY THAT TITLE 17, SECTION 530 IS APPLICABLE TO THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN BY VIRTUE OF THE SUBDIVIDED PARCEL OR PARCELS WILL BE TRANSFERRED TO A FAMILY MEMBER OR MEMBERS FOR PURPOSES OF USE AS A FAMILY MEMBER OR MEMBERS' PRINCIPAL RESIDENCE OR FARMLAND.

Norman M. Ennis, Karen M. Ennis
NORMAN M. ENNIS & KAREN M. ENNIS

SURVEYORS CERTIFICATION
I, TIMOTHY S. MILLER, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

TIMOTHY S. MILLER, P.L.S. #775
2103A COASTAL HIGHWAY, DEWEY BEACH, DE 19971
PH: 302 226 2229

OTHER THAN SHOWN, THIS SURVEY PLAN DOES NOT VERIFY THE DISTANCE OR NON-DISTANCE OF RIGHTS-OF-WAYS OR EASEMENTS ON THIS PROPERTY. NO TITLE SEARCH WAS REQUESTED OR PERFORMED.

DATE	REVISION
3/25/2021	REVISED PER DELDOTS COMMENTS

HUNDRED: BALTIMORE	COUNTY: SUSSEX	MARCH 2, 2021
STATE: DELAWARE	DRAWN BY: J.A.P.	
REF.: D.B. 2642-122	DWG. NO.: 533-5-69	SURVEY CLASS: SUBURBAN

Prepared by: **FORESIGHT Services**
Surveying & Precision Measurement
302 226 2229 phone 302 226 2239 fax 2103A Coastal Highway Dewey Beach, DE 19971



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. Box 778
DOVER, DELAWARE 19903

NICOLE MAJESKI
SECRETARY

March 30, 2021

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

**SUBJECT: Minor Subdivision - Letter of No Objection to Recordation
Ennis**
Tax Parcel # 533-5.00-69.00
SCR00382-PYLE CENTER ROAD
Baltimore Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Minor Subdivision Plan dated March 2, 2021 (last revised March 25, 2021), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawing. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Minor Subdivision Plan is not recorded and/or an entrance permit is not issued for the lot(s) prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

Entrances(s) must be installed prior to the sale of the lot(s). All entrances shall conform to DelDOT's [Development Coordination Manual](#) and shall be subject to its approval. **This letter does not authorize the commencement of entrance construction.**

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There

Ennis
Mr. Jamie Whitehouse
Page 2
March 30, 2021

may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

The owner shall be responsible to submit a copy of the **recorded Minor Subdivision Plan** showing all appropriate signatures, seals, plot book and page number to the South District Public Works office (302) 853-1341 in order to obtain the entrance permit(s) for the proposed minor subdivision.

Sincerely,



R. Stephen McCabe
Sussex County Review Coordinator
Development Coordination

cc: Joel Podlaseck, Foresight Services
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Matt Schlitter, South District Public Works Engineer
James Argo, South District Project Reviewer
William Kirsch, South District Entrance Permit Supervisor
Shannon Anderson, South District Public Work Admin Specialist
Wendy L. Polasko, Subdivision Engineer
Kevin Hickman, Sussex County Reviewer