

JAMIE WHITEHOUSE, AICP
DIRECTOR OF PLANNING & ZONING
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jamie.whitehouse@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

PLEASE NOTE

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COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE



Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, AICP, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager; Lauren DeVore, Planner III; Michael Lowrey, Planner III; Chase Phillips, Planner II; Christin Scott, Planner I; Elliott Young, Planner I & Jesse Lindenberg, Planner I
CC: Vince Robertson, Assistant County Attorney

Date: May 17th, 2022

RE: Other Business for the May 26th, 2022, Planning Commission Meeting

This memo provides background for the Planning Commission to consider as a part of the Other Business to be reviewed during the May 26th, 2022, Meeting of the Planning & Zoning Commission.

(S-21-35) Millsboro Fire Company Substation

HW

Final Site Plan

This is a Final Site Plan for the adaptive reuse of the existing structures on the site as a fire company substation for the Millsboro Fire Company. The Sussex County Council approved this use through Conditional Use (CU 2314) at their meeting of Tuesday, November 30, 2021, and the change was adopted through Ordinance No. 2816. The property is located on the northeast corner of Lewis Road (S.C.R. 409) and Millsboro Highway (Route 30). The Applicant's Final Site Plan complies with the Sussex County Zoning Code and all Conditions of Approval. Zoning District: AR-1 (Agricultural Residential District). Tax Parcel: 133-20.00-17.16. Staff are in receipt of all agency approvals; therefore, this plan can be considered for final approval.

Americana Bayside – Bayside Hotel Phase 1B

BM

Preliminary Site Plan

This is a Preliminary Site Plan for the Bayside Hotel, Phase 1B for a proposed sixty (60) room hotel totaling 39,517 square feet, bar, and restaurant, inground pool, Zen Garden, spa, lounge, outdoor seating, parking, and associated site improvements to be located on Lakeview Drive and with access off the south side of Signature Boulevard within the existing Americana Bayside Residential Planned Community (RPC). The Residential Planned Community was established by the Sussex County Council at their meeting of Tuesday, February 6, 2001, through Change of Zone 1393 and the change was adopted through Ordinance No. 1433. The change of zone was for a change in zoning from an Agricultural Residential (AR-1) District to a Medium Density Residential, Residential Planned Community (MR-RPC). The Preliminary Site Plan complies with the Sussex County Zoning and Subdivision Codes and all Conditions of Approval for the RPC. Zoning District: MR-RPC (Medium Density Residential, Residential Planned Community.) Tax Parcel: 533-19.00-865.01. Staff are awaiting agency approvals.

(S-21-07) Brasure's Pest Control

BM

Preliminary Site Plan

This is a Preliminary Site Plan for the construction of two (2) 9,150 square foot storage buildings, parking, and other site improvements. Two standard size loading spaces are included as well as a stormwater management pond to the rear of the property. The buildings are proposed to support vehicle storage and other light warehousing uses for the pest control business. The property is located



on the southwest side of Zion Church Road (Route 20). The Preliminary Site Plan complies with the Sussex County Zoning Code. Zoning District: CR-1 (Commercial Residential District). Tax Parcel: 533-11.00-6.00. Staff are awaiting agency approvals. If the Commission desire to act favorably on this plan, final approvals are requested to be made by staff upon the receipt of all agency approvals.

(S-22-14) Long Neck Sherwin Williams

BM

Preliminary Site Plan

This is a Preliminary Site Plan for Rojan Lane 21, LLC for the proposed addition of a one-story 4,000 square foot retail store, associated parking, and other site improvements. The property is located on the west side of John J. Williams Highway (Route 24)). The Preliminary Site Plan complies with the Sussex County Zoning Code. Zoning: C-1 (General Commercial Zoning District). Tax Parcel: 234-23.00-180.00. Staff are awaiting agency approvals. If the Commission desire to act favorably on this plan, final approvals are requested to be made by staff upon the receipt of all agency approvals.

2004-17 The Villages at Red Mill Pond South

KS

Revised Amenities Plan

This is a Revised Amenities Plan for the construction of 1,600 square foot clubhouse, 2,040 square foot pickleball court, 1,500 square foot pool, as well as parking and related improvements to be located within the existing subdivision of The Villages at Red Mill Pond South. The property is located on the north side of Deerwood Lane. The Final Subdivision Plan for The Villages at Red Mill Pond South was approved by the Planning and Zoning Commission at their meeting of Thursday, August 15th, 2007. The Applicant has submitted a letter of support from current homeowners within the development, which contains signatures from 30 of the 48 current homeowners (all other lots are currently developer owned and controlled). The Amenities Plan complies with the Sussex County Zoning and Subdivision Codes and all Conditions of Approval. Tax Parcel: 334-5.00-170.00. Zoning: AR-1 (Agricultural District). Staff are in receipt of all agency approvals; therefore, this plan can be considered for preliminary approval with final by staff.

2021-26 Harpers Glen (F.K.A. Workman Subdivision)

KH

Request to Amend Conditions of Approval

The Planning and Zoning Department has received a request to amend Conditions of Approval of the Preliminary Subdivision Plan for Harpers Glen (2021-26) (F.K.A. Workman Subdivision) as approved by the Planning and Zoning Commission at their meeting of Thursday, April 14, 2022. Specifically, the request is to remove in its entirety, Condition “F” of the Conditions of Approval which states, *“The entrance shall be relocated to the area of land identified as Outparcel “B” on the proposed Preliminary Site Plan. Subject to that relocation, the development shall comply with all DelDOT entrance and roadway improvement requirements.”* This AR-1 cluster subdivision proposes thirty-three (33) single-family lots on 29.39 acres +/- and is located on the north side of Milton Ellendale Highway (Route 16), approximately 0.17 mile east of the intersection of Gravel Hill Road (Route 30) and Isaacs Road (Route 30). Tax Parcels: 235-14.00-61.00 & 61.06. Zoning: AR-1 (Agricultural Residential District).

(S-22-03) Steiner Road Industrial Park

HW

Requested Determination as to Whether a Permitted Use

Pursuant to the staff's review of the Preliminary Site Plan for the site, the Applicant has requested the Planning & Zoning Commission review the type and nature of the proposed uses at the site in terms of (§115-110); Permitted Uses and “potentially hazardous uses” as described in (§115-110(C)). The

Preliminary Site Plan proposes for industrial uses to include the following as described in the plan; a “Concrete Central Mixing and Proportioning Plant” and a “Building Materials Recycling and Sorting Facility.” Prior to any determination by the Director (§115-111), the Applicant has requested for Commission to consider if the proposed uses may be categorized under “similar industrial uses” as listed in (§115-110(C)). The parcels are located on the east side of Steiner Road (S.C.R. 320) approximately 1,060 feet south of Lewes Georgetown Highway (Route 9). Zoning District: HI-1 (Heavy Industrial District). Tax Parcels: 135-16.00-23.05, 135-16.00-23.06

Lands of Anton Balakin

KS

Minor Subdivision off a 50-ft easement

This is a Minor Subdivision Plan for the subdivision and lot line adjustment of existing lots into one (1) lot and residual lands off a proposed 50-foot ingress/egress easement. Existing Lot 2 contains 5.91 acres +/-, Lot 3 contains 4.74 acres +/-, Lot 4 contains 5.33 acres +/- and Proposed Lot 1 consists of 6.84 acres +/- . The property is located on the northwest side of Beaver Dam Road (Route 23). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 234-6.00-6.01. Zoning: AR-1 (Agricultural Residential District). Staff are in receipt of all agency approvals; therefore, this plan can be considered for preliminary approval with final by staff.

Lands of Howe & Bell

KS

Minor Subdivision off of a 50-ft easement

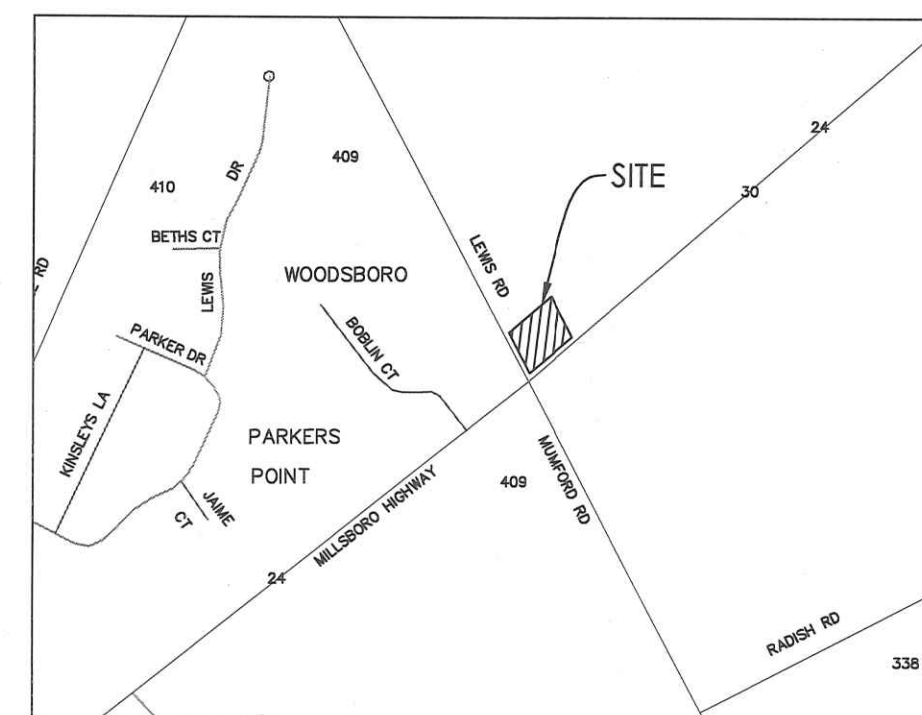
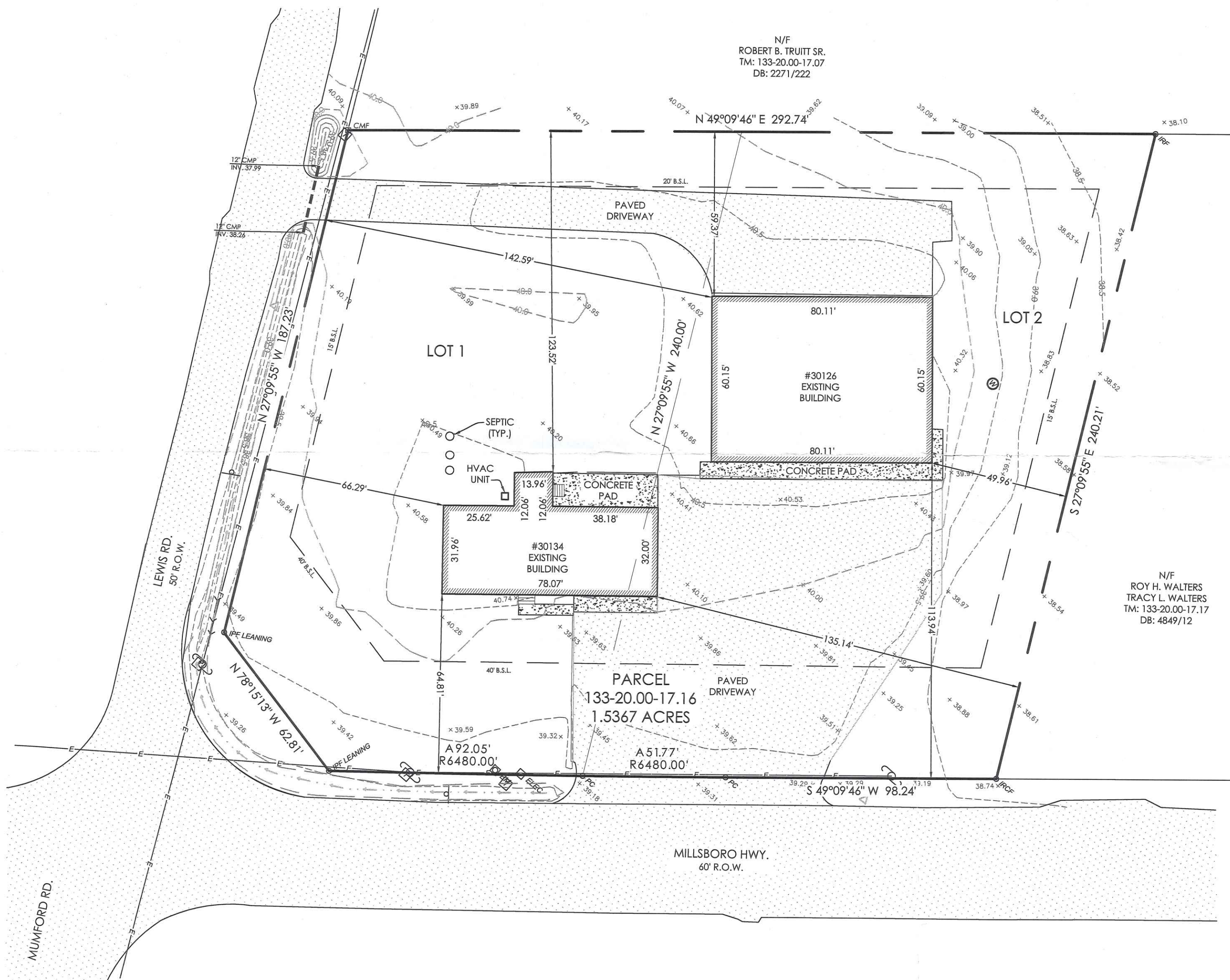
This is a Minor Subdivision Plan for the subdivision of a 13.68 acre +/- parcel of land into three (3) lot and residual lands off a proposed 50-foot ingress/egress easement. Proposed Lot 1 consists of 0.85 acres +/-, Proposed Lot 2 consists of 0.75 acres +/-, Proposed Lot 3 consists of 2.28 acres +/- and the residual lands consist of 7.97 acres +/- . The property is located on the southeast side of Hudson Road (S.C.R. 258). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcels: 235-22.00-21.00 & 21.02. Zoning: AR-1 (Agricultural Residential District). If the Commission desire to act favorably on this plan, final approvals are requested to be made by staff upon the receipt of all agency approvals.

Lands of Dennis J. & Pauline M. Mignogno

KH

Minor Subdivision off of a 24-ft easement

This is a Minor Subdivision Plan for the subdivision of a 4.191 acre +/- parcel of land into one (1) lot and residual lands off a proposed 24-foot ingress/egress easement. Proposed Lot 1 consists of 0.753 acres +/- and the residual lands consist of 3.438 acres +/- . The property is located on the north side of Johnson Road (S.C.R. 207). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 330-15.13-12.00. Zoning: AR-1 (Agricultural Residential District). Staff are in receipt of all agency approvals; therefore, this plan can be considered for preliminary approval with final by staff.



VICINITY MAP

1" = 1,000'

GENERAL NOTES

1. CURRENT OWNER: MICHAEL H. NAUMAN
SANDRA P. NAUMAN
29 BLAIRS POND RD.
HOUSTON, DE 19954
2. TAX REFERENCE: 133-20.00-17.16
3. DEED REFERENCE: 4994/99
4. PLAT REFERENCE: 48/148, (LANDS OF GERTRUDE & GEORGE DONAWAY)
5. AREA OF LOT: 66,918 SQ. FT., 1.5362 ACRES
6. BASED UPON F.E.M.A. FLOOD INSURANCE RATE MAP NUMBER 10005C0454K, PANEL 454 OF 660, WITH AN EFFECTIVE DATE OF JULY 16, 2015, THIS SITE IS LOCATED WITHIN FLOOD ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE.
7. SETBACKS PER ZONING CODE:
FRONT = 40'
CORNER FRONT (LEWIS ROAD) = 15'
SIDE = 15'
REAR = 20'
8. ZONED: AR-1, AGRICULTURAL - RESIDENTIAL
9. BEARINGS SHOWN HEREON ARE REFERENCED TO NAD '83 DATUM.

LEGEND

IRON ROD FOUND	O IRF
IRON PIPE FOUND	O IPF
PAVEMENT HATCH	
CONCRETE HATCH	
MAILBOX	△
WELL	⊙
ELECTRIC METER	⊠ EM
ELECTRIC SERVICE BOX	⊠ ELEC
TELEPHONE PEDESTAL	⊠

solutions
Integrated Planning
Engineering & Management, LLC

Fuller Hall
& ASSOCIATES, INC.
A Wholly Owned Subsidiary

303 N. Bedford St.
Georgetown, DE 19947
T. 302.297.9215

3003 Meritt Mill Road
Solisbury, MD 21804
T. 410.572.8833

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REVISIONS	DESCRIPTION	DATE

CONDITIONAL USE PLAN

for
**MILLSBORO VOLUNTEER
FIRE DEPARTMENT**
MILLSBORO, SUSSEX COUNTY, DELAWARE
DAGSBORO HUNDRED

Date:	10/20/21
Job Number:	S21065
Scale:	1" = 30'
Drawn By:	RAM
Designed By:	SWF
Approved By:	SWF

Sheet No.:

1

File Name: S21065 Site Plan.dwg



PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
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302-855-7878
302-854-5079 F
JAMIE WHITEHOUSE, AICP MRTPI
PLANNING & ZONING DIRECTOR

May 6, 2022

Mr. Stephen L. Marsh, P.E.
Senior Vice President
George, Miles & Buhr, LLC
206 West Main Street
Salisbury, MD 21801

By email to: smarsh@gmbnet.com

RE: Staff Review of the Preliminary Site Plan for the Bayside Hotel, Phase 1B, for a proposed sixty (60) room hotel totaling 39,517 square feet, bar, and restaurant, inground pool, Zen Garden, spa, lounge, outdoor seating, parking, and associated site improvements to be located on Lakeview Drive and with access off the south side of Signature Boulevard within the existing Americana Bayside Residential Planned Community (RPC)
Tax Parcel: 533-19.00-865.01

Dear Mr. Marsh,

Further to your submission of February 15, 2022, the Planning and Zoning Department has reviewed the submitted Preliminary Site Plan for the Bayside Hotel, Phase 1B, for a proposed sixty (60) room hotel totaling 39,517, bar, and restaurant, inground pool, Zen Garden, spa, lounge, outdoor seating, parking and associated site improvements to be located on Lakeview Drive and with access off the south side of Signature Boulevard within the existing Americana Bayside Residential Planned Community (RPC). The Residential Planned Community was established by the Sussex County Council at their meeting of Tuesday, February 6, 2001, through Change of Zone 1393 and the change was adopted through Ordinance No. 1433. The change of zone was for a change in zoning from an Agricultural Residential (AR-1) District to a Medium Density Residential, Residential Planned Community (MR-RPC). The parcel is zoned Medium Density Residential, Residential Planned Community (MR-RPC) District. The parcel also lies within the Coastal Area per Sussex County's 2019 Comprehensive Plan. Staff have reviewed the proposed site plan for compliance with the Sussex County Zoning Code and have the following comments:

Revised Preliminary Site Plan

1. **Please note that the proposal is not located within a Wellhead Protection Area in order to comply with Chapter 89 "Source Water Protection" of the Sussex County Code (§89-6).**



COUNTY ADMINISTRATIVE OFFICES
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GEORGETOWN, DELAWARE 19947

2. **Please note that the proposal is located within an area of “Good” Groundwater Recharge Potential in order to comply with Chapter 89 “Source Water Protection” of the Sussex County Code (§89-7).**
3. **Please clarify in the Site Data Column the square footage proposed to be dedicated to each of the various uses to ensure that the appropriate number of parking spaces have been provided. (ie: the square footage dedicated to the restaurant and the square footage dedicated to the spa.) Beauty shops and personal service uses (which would likely be the most appropriate calculation to apply for the spa use,) require at least 1 parking space per 200 square feet of floor area. Restaurants require 1 parking space for each 50 square feet of patron use, plus 1 per 2 employees on the largest shift. It is further noted that appropriate number of parking spaces (1.5 per rental room) has been provided for the hotel use ($1.5 * 60 = 90$) (§ 115-162(A)).**
4. **Please provide the type (tidal vs. nontidal), nature (State or federal) and agency of jurisdiction (Delaware Department of Natural Resources and Environmental Control (DNREC) or Army Corps of Engineers) responsible for any wetlands on the site within the Site Data Column. The Site Data Column currently references that there are no Federal 404 wetlands on the Site (§115-220(B)(15)).**
5. **Please provide documentation and details which ensure the provision of a three (3) ft. walkway around the proposed inground pool as well as a four (4) ft. fence. Accessory swimming pools, open and unenclosed shall have a walk space at least three (3) feet wide provided between pool walls and protective fences or barrier walls. Every swimming pool shall be protected by a safety fence or barrier at least four (4) ft. in height and constructed of chain-link, concrete, stockade-wood or equivalent material (§115-185(D)).**
6. **Please note within the Site Data Column that the proposal is also located within the 0.2 percent annual change flood hazard zone per County records (§115-220(B)(14)).**
7. **Please note on the top center of the Cover Sheet that this is a Residential Planned Community (RPC).**
8. **Please include a general note on the plans that the proposal is not located within the Henlopen Transportation Improvement District (TID).**
9. **Staff notes that all off-street parking spaces provided have a proposed area of at least 162 square feet (9-ft by 18-ft) as required by the minimum Design Standards (§115-166(A)(1)).**
10. **Staff notes that a total of five (5) ADA accessible spaces have been provided for this proposal. According to the IBC 2012 edition, the plan achieves the requirement of a minimum of five (5) required ADA accessible spaces for a total of 101 to 150 parking spaces (Table 1106.1 “Accessible Parking Spaces,” Page 11-14). Also, please change the statement from “Handicap” parking to “ADA accessible” parking.**

11. Staff notes that all interior drive aisles provided are no less than 24-ft wide (§115-166(E)).
12. Staff notes that the appropriate number of loading areas have been supplied for the use. A hotel containing 39,517 square feet (between 25,000-100,00 square feet required a total of two (2) loading spaces (§115-167)).
13. Please provide topographic contours at one-foot intervals, unless waived by the Commission as clearly unnecessary to review the project or proposal (§115-220(B)(4)).
14. Please include within the Site Data Column on the Plans, the Net Development Area of the proposal. As a general reminder, Net Development Area shall refer to the total area of land available for development, not necessarily the total area of a property itself and shall not include open space, drainage land, regional roads and land used for other public facilities (§115-220(B)(6)).
15. Please ensure that full dimensioning of the proposed hotel is provided as well as the height of the proposed building (115-220(B)(8)).
16. Please clarify the number of construction phases proposed, if any, and ensure that the plot shows the approximate boundaries of each phase, if the proposal should be constructed in multiple phases (115-220(B)(12)).
17. Please show the location of the one-hundred-year floodplains based on current Flood Insurance Rate Maps (115-220(B)(14)).

Final Site Plan

1. **Please ensure that any proposed landscaping shown on the Site Plan is also included in the overall Landscape Plan as submitted and approved for the Residential Planned Community (RPC). If such landscaping was not shown on the plans as previously submitted, a Revised Landscape Plan will be required to be submitted which includes this landscaping on the plans. Any proposed landscaping must be certified to by a licensed landscape architect and the appropriate Certification Panel and signature line must appear on the plans.**
2. Please include a General Note on the plans which indicates that any proposed signage will require a separate permit issued from the County.
3. Please include a General Note which clarifies that all lighting is to be downward screened to minimize glare on adjacent properties within a residential area.
4. Please add the location and character of all outdoor lighting systems to the plans (§115-221(B)(5)).
5. Please include the height of the proposed hotel on the plans. Full dimensioning is required (§115-221(B)(7)).
6. Please include the proposed height of all fences, walls, screen planting and landscaping on the plans (§115-221(B)(9)).

7. Please include the location, character, size, height, and orientation of all proposed signs on the plans (§115-221(B)(11)).
8. Please include a breakdown in the Site Data Column noting both the acreage of and percentage of impervious surface cover to be provided (§115-221(B)(15)).
9. Please include with the submittal, a bulk grading plan for the proposal showing the nature of all ground disturbance on the site (§115-221(B)(17)).
10. Please include the nature and location of all proposed trash receptacles on the plans.
11. Staff encourage the use of the following elements within the proposed Final Site Plan where practicable:
 - Provision of a bike rack to encourage multimodal travel within the Residential Planned Community (RPC).
 - Provision of an electric vehicle charging station. The Delaware Department of Natural Resources and Environmental Control provides an Electric Vehicle Charging Equipment Rebate Program for public areas. The rebate amounts are \$3,500 for single port and \$7,000 for dual port. Please contact DNREC's Division of Climate, Coastal and Energy for further information if interested (302)735-3480.
 - Provision of landscaping islands within parking areas to eliminate the amount of impervious surface cover provided as the site is located within an area "Good" Groundwater Recharge Potential.
 - Provision of further aesthetic improvements such as Complete Streets which foster a shared sense of place and community to include items such as street pole flags, pavers, walking trails, pocket parks, fountains, further outdoor seating, pavilions, gardens, or communal gathering areas.
12. Prior to approval of the Final Site Plan, approval letters or letters of no objection from the following agencies shall be submitted to the Sussex County Planning and Zoning Office (All items in which a check mark appears have been received by the Department. Any items in bold have not been received and still require submittal to the Department):
 - a. **Sussex Conservation District**
 - b. **Office of State Fire Marshal**
 - c. **Delaware Department of Transportation (DelDOT)**

Once all of the above matters have been addressed, please provide **one (1) full-size copy** and **one (1) electronic copy** of a Revised Preliminary Site Plan at least ten (10) days prior to the Planning and Zoning Commission meeting you wish for your application to be considered at. If you wish for your application to be considered by the Planning and Zoning Commission as an "Other Business" item at their meeting scheduled for **Thursday, May 26, 2022**, please submit all required materials later than close of business on **Monday, May 16, 2022**.

Staff Review Letter – Americana Bayside – Bayside Hotel
Preliminary Site Plan
May 6, 2022
Page 5

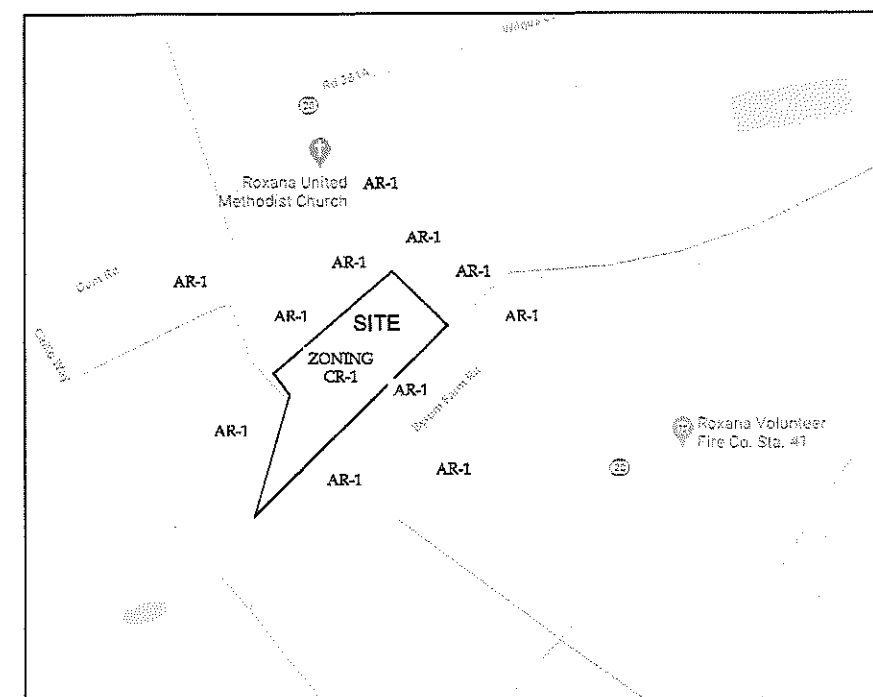
Please feel free to contact me with any questions during business hours 8:30 A.M. – 4:30 P.M., Monday through Friday at 302-855-7878.

Sincerely,

A handwritten signature in black ink that reads "Lauren DeVore". The signature is written in a cursive, flowing style.

Ms. Lauren DeVore
Planner III

CC: Ms. Katja Kalinski, Senior Landscape Designer – George, Miles & Buhr, LLC
Mr. Joseph Conway – jconaway@hotmail.com



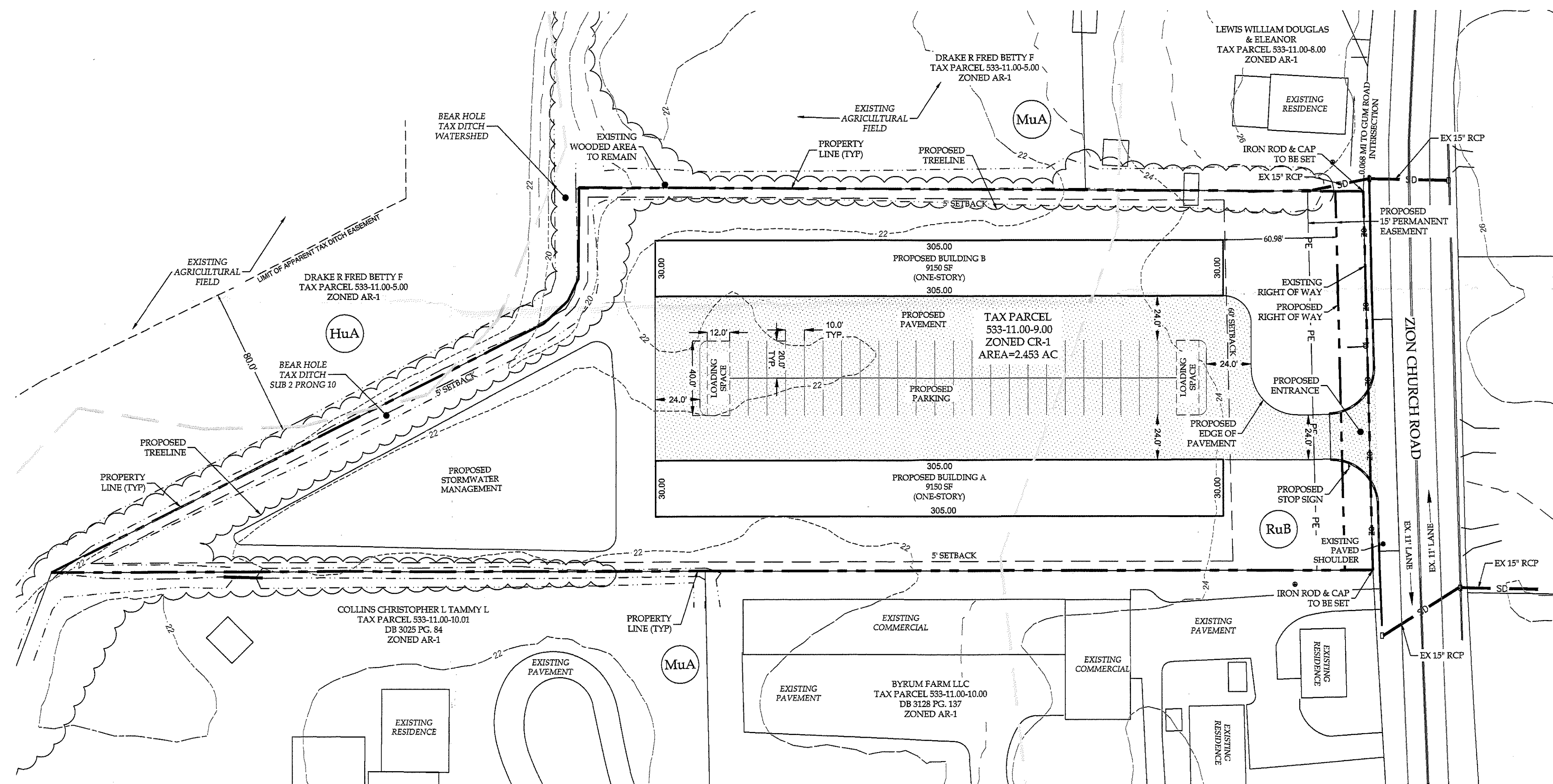
Key Map:
Scale: 1"=500'

BRASURE'S PEST CONTROL VEHICLE STORAGE & WAREHOUSE

BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE

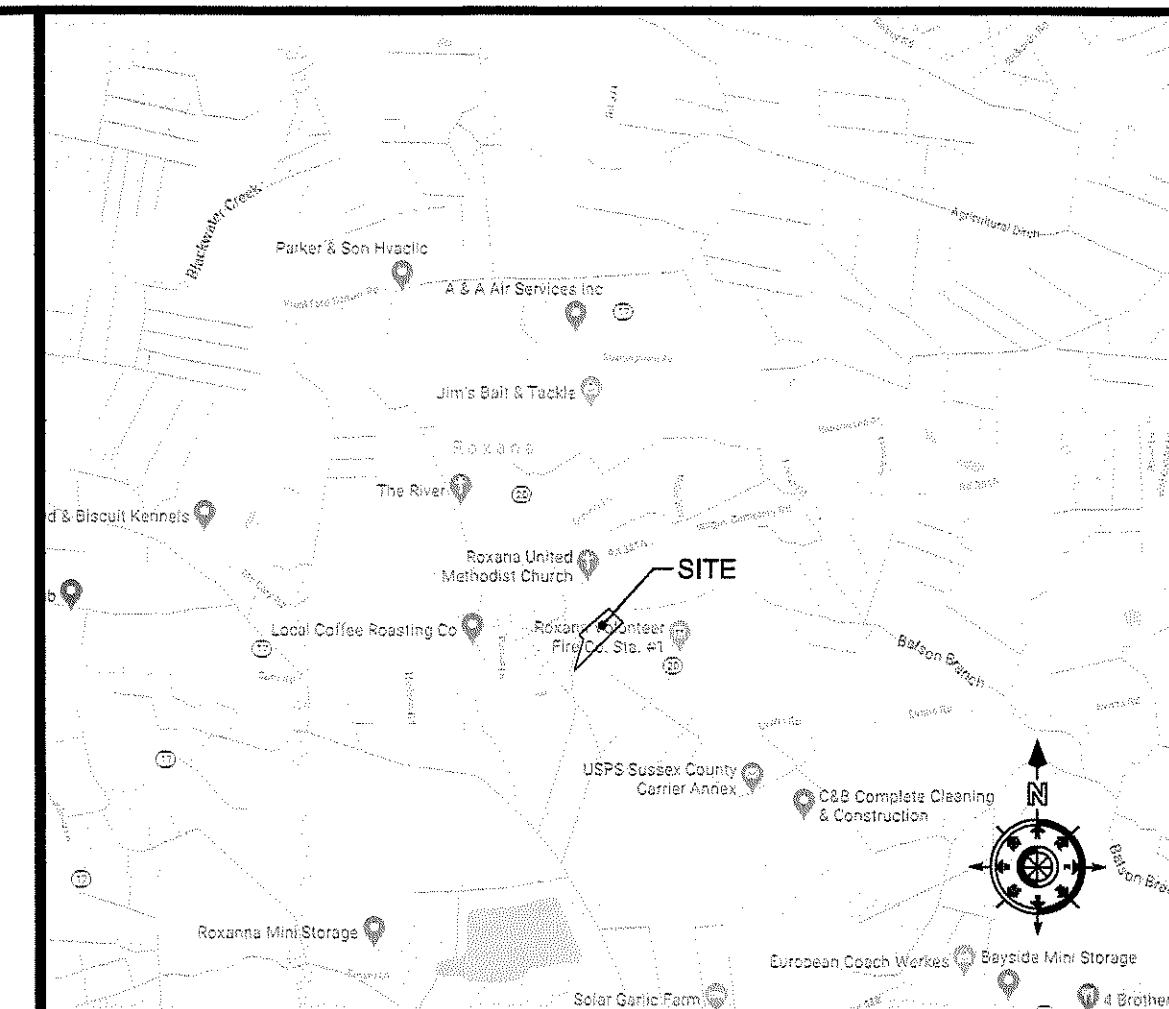
T.M.#533-11.00-9.00

PRELIMINARY SITE PLAN



PURPOSE STATEMENT

THE PURPOSE OF THIS PROJECT IS TO CONSTRUCT STORAGE/WAREHOUSE BUILDINGS AND PARKING NEEDED FOR THE STORAGE OF VEHICLES AND EQUIPMENT FOR BRASURE'S PEST CONTROL. NO OTHER USE IS INTENDED FOR THESE IMPROVEMENTS.



VICINITY MAP

SCALE: 1"=2000'

PLAN DATA:

CONTRACT PURCHASER/ APPLICANT:

BRASURE'S PEST CONTROL
38187 DICKERSON ROAD
SELBYVILLE, DE 19975
(302) 436-8140
ATTN: CHRIS BRASURE

TAX MAP NO.	533-11.00-9.00
SITE AREA:	2.453 ACRES
CURRENT ZONING:	CR-1
PROPOSED ZONING:	CR-1
TIDAL WETLANDS AREA:	NONE
NON-TIDAL (Section 404) WETLANDS AREA:	NONE
TOTAL WETLANDS AREA:	NONE
FLOOD ZONE:	X
FLOOD INSURANCE MAP NUMBER:	10005C0635K
PROPOSED BUILDING CONSTRUCTION:	METAL
MAXIMUM BUILDING HEIGHT:	42.0'
SANITARY SEWER:	ON-SITE
WATER SUPPLIED BY:	PRIVATE WELL
TOTAL NUMBER OF UNITS PROPOSED:	13,300 S.F. VEHICLE STORAGE 5,000 S.F. WAREHOUSE (SPACE TO BE DIVIDED BETWEEN TWO BUILDINGS) (4 EMPLOYEES)

PARKING REQUIRED:	
VEHICLE STORAGE:	37
WAREHOUSE (1/2 EMPLOYEES):	2
TOTAL SPACES REQUIRED:	39 SPACES

PARKING PROVIDED:	48 SPACES
LOADING SPACES PROVIDED:	2 SPACES

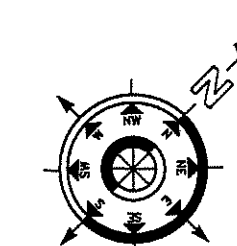
SETBACKS:	
FRONT	60'
SIDE	5'
REAR	5'

PLAN NOTES:

- THE SITE IS NOT WITHIN A WELL-HEAD PROTECTION AREA.
- THE SITE IS NOT WITHIN AN AREA DESIGNATED TO HAVE EXCELLENT GROUNDWATER RECHARGE POTENTIAL.
- NO BUSINESS SIGNAGE IS PROPOSED.
- NO ON-SITE LIGHTING IS PROPOSED.
- NO FENCING IS PROPOSED.
- NO DUMPSTERS ARE PROPOSED.

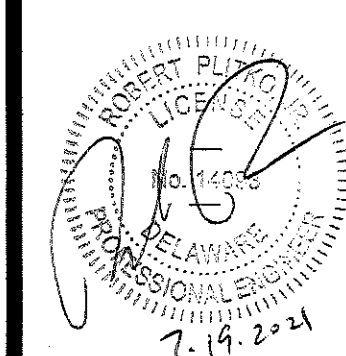
LEGEND:

	PROPERTY LINE
	BUILDING SETBACK LINE
	EXISTING CONTOUR
	PERMANENT EASEMENT (PE)
	TREELINE
	DITCH TOP OF BANK
	EDGE OF PAVEMENT
	STORM DRAIN
	PROPOSED SIGN
	PROPOSED PAVEMENT HATCHING
	SOIL BOUNDARY LINE
	SOIL MAP UNIT SYMBOL



SCALE: 1"= 40 ft

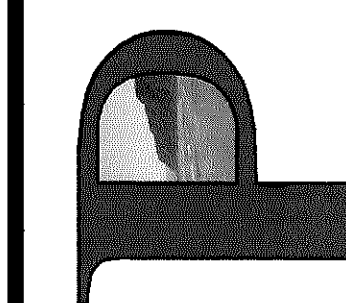
PRELIMINARY SITE PLAN



REVISIONS

LAND DESIGN
Surveying / Landscape Architecture
One Square Mile, Suite 100
Atlantic Ave.
Pawcatent, DE 19975
302.537.1919 / landzn@aol.com

PLITKO, LLC
CIVIL ENGINEERING



53 ATLANTIC AVE., STE 3
OCEAN VIEW, DE 19970
Phone (302)-537-1919

PRELIMINARY SITE PLAN
BRASURE'S PEST CONTROL
VEHICLE STORAGE & WAREHOUSE
T.M.#533-11.00-9.00
SUSSEX COUNTY DELAWARE

SITE PLAN: RP
DRAWING: DJC
REVIEW: RP

DATE
7/9/21

SHEET

C100

U:\customers\LONG NECK SHERWIN WILLIAMS\23000_SHEET\PP0001.dwg PLOT FILE: 4/10/2022 2:29 PM BY: Emmanuel Chikwae PLOT STYLE: Pennoni\NC5.dwg PROJECT STATUS: —

SITE DATA:

1. TAX MAP NUMBER: 234-23.00 180.00 DEED BOOK 5620, PG 143
234-23.00 181.00 DEED BOOK 5620, PG 143
2. OWNER NAME: ROJAN LN 21 LLC.
ROBERT AERENSON
2213 CONCORD PIKE
WILMINGTON, DE 19803
302-654-6153
ROBERT@AERENSON.COM
3. SITE ADDRESS: JOHN J WILLIAMS HIGHWAY
MILLSBORO, DE 19966
4. HUNDRED: INDIAN RIVER
5. CURRENT ZONING: C-1 (GENERAL COMMERCIAL)
6. PRESENT USE: COMMERCIAL, VACANT LOTS
7. PROPOSED USE: PAINT STORE
8. LOT BREAKDOWN:
EXISTING LOTS: 2 LOTS
PROPOSED LOTS: 1 LOT
9. BUILDING HEIGHT: 42' ALLOWED MAX.
10. REQUIRED SETBACKS (115-77.1):
FRONT: 60 FEET
BACK: *5 FEET (30 FEET WHEN ADJACENT TO RESIDENTIAL DISTRICT)
REAR: *5 FEET (20 FEET WHEN ADJACENT TO RESIDENTIAL DISTRICT)
- SETBACK PER BOA APPROVAL #12654
(DATED JANUARY 24, 2022):
FRONT: 53.42 FEET (VARIANCE OF 6.58')
BACK: 20 FEET (VARIANCE OF 10')
10. LOADING SPACES:
REQUIRED: 1 LOADING SPACE
PROVIDED: 1 LOADING SPACE
11. REQUIRED LOT AREAS (115-82):
MINIMUM LOT WIDTH: 75 FEET
MINIMUM LOT DEPTH: 100 FEET
MINIMUM AREA: 75,000 SF.
12. PARKING (ARTICLE XXII: OFF-STREET PARKING, CODE SECTION 115-162):
RETAIL STORES OR SUPERMARKET - 1 PER 200 SQUARE FEET FLOOR AREA USED FOR SALES OR DISPLAY OF MERCHANDISE PURPOSES, PLUS 1 FOR EACH 2 EMPLOYEES ON THE LARGEST SHIFT. (4000 SF. / 200 = 20 SPACES) PLUS
(1 PER 2 EMPLOYEES X 4 EMPLOYEES = 2 SPACES)
- REQUIRED PARKING: 22 SPACES
PROPOSED PARKING: 22 SPACES (INCLUDING 1 HANDICAP SPACE)
13. POSTED SPEED LIMIT
JOHN J. WILLIAMS HIGHWAY: 50 MPH
14. WATER SUPPLY: PUBLIC - TIDEWATER
15. SECTION 89 - SOURCE WATER PROPERTY:
A. SUBJECT PROPERTY IS NOT WITHIN AN AREA OF
"FAIR" GROUNDWATER RECHARGE
B. SUBJECT PROPERTY IS NOT LOCATED IN
WELLHEAD PROTECTION AREA
15. SEWER SUPPLY: PUBLIC - SUSSEX COUNTY
16. LATITUDE AND LONGITUDE STATE PLAN COORDINATES:
(PROPOSED ENTRANCE)
LATITUDE: N038°37'43.8177" LONGITUDE: W-075° 11' 46.1048"
17. NET DEVELOPMENT AREA: 0.77 ± AC.
18. WETLAND AREA: 0.00± AC. (DNREC NAVMAP)
19. WATERSHED: LOVE CREEK-REHOBOTH BAY
20. PROPOSED DISCHARGE LOCATION: ONSITE UNDERGROUND INFILTRATION FACILITY
21. PROPOSED TOTAL LIMIT OF
DISTURBANCE PER
DISCHARGE LOCATION: 0.74 ± AC.
22. 2019 FUTURE LAND USE MAP: COASTAL AREA
23. FIRE DISTRICT: INDIAN RIVER FIRE CO.
24. 2020 STATE STRATEGIES &
INVESTMENT LEVELS: LEVEL 1
25. SITE CALCULATIONS:
BUILDING AREA: EX. = 0.00 ± AC. (0.00 %) PR. = 0.09 ± AC. (14.0 %)
IMPERVIOUS AREA: EX. = 0.00 ± AC. (0.00 %) PR. = 0.40 ± AC. (62.5 %)
GRASS AREA: EX. = 0.64 ± AC. (100 %) PR. = 0.15 ± AC. (23.5 %)
TOTAL: EX. = 0.64 ± AC. PR. = 0.64 ± AC.
26. LOCAL GOVERNMENT RESPONSIBLE
FOR LAND USE APPROVAL: SUSSEX COUNTY
27. DATUM:
HORIZONTAL = NAD83
VERTICAL = NAD88
28. FLOOD MAP: ZONE X (1000C0340K, 3/16/2015)

TID NOT INCLUDED		
SOILS		
TYPE	DESCRIPTION	HYDROLOGIC SOIL
FhA	FORT MOTT-HENLOPEN COMPLEX, 0 TO 2 PERCENT SLOPES	A
LIMIT OF DISTURBANCE: 0.77 ± ACRES		

LONG NECK SHERWIN WILLIAMS

PRELIMINARY SITE PLAN

TAX MAP: 234-23.00-180.00 & 181.00 & 181.00

SUSSEX COUNTY, DE

PREPARED FOR:

OWNER/DEVELOPER

ROJAN LN 21, LLC.

2213 CONCORD PIKE

WILMINGTON, DE 19803

(302) 654-6153

OWNER
ROJAN LN 21 LLC.
2213 CONCORD PIKE
WILMINGTON, DE 19803

ENGINEER/PLANNER
PENNONI ASSOCIATES INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968
(302) 684-8030

SURVEYOR
PENNONI ASSOCIATES, INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968
(302) 684-8030

ENVIRONMENTAL CONSULTANT
PENNONI ASSOCIATES INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968
(302) 684-8030

SCHOOL DISTRICT
INDIAN RIVER

FIRE DISTRICT
INDIAN RIVER FIRE CO. (80)

POSTAL DISTRICT
INDIAN RIVER

WATER UTILITY
TIDEWATER

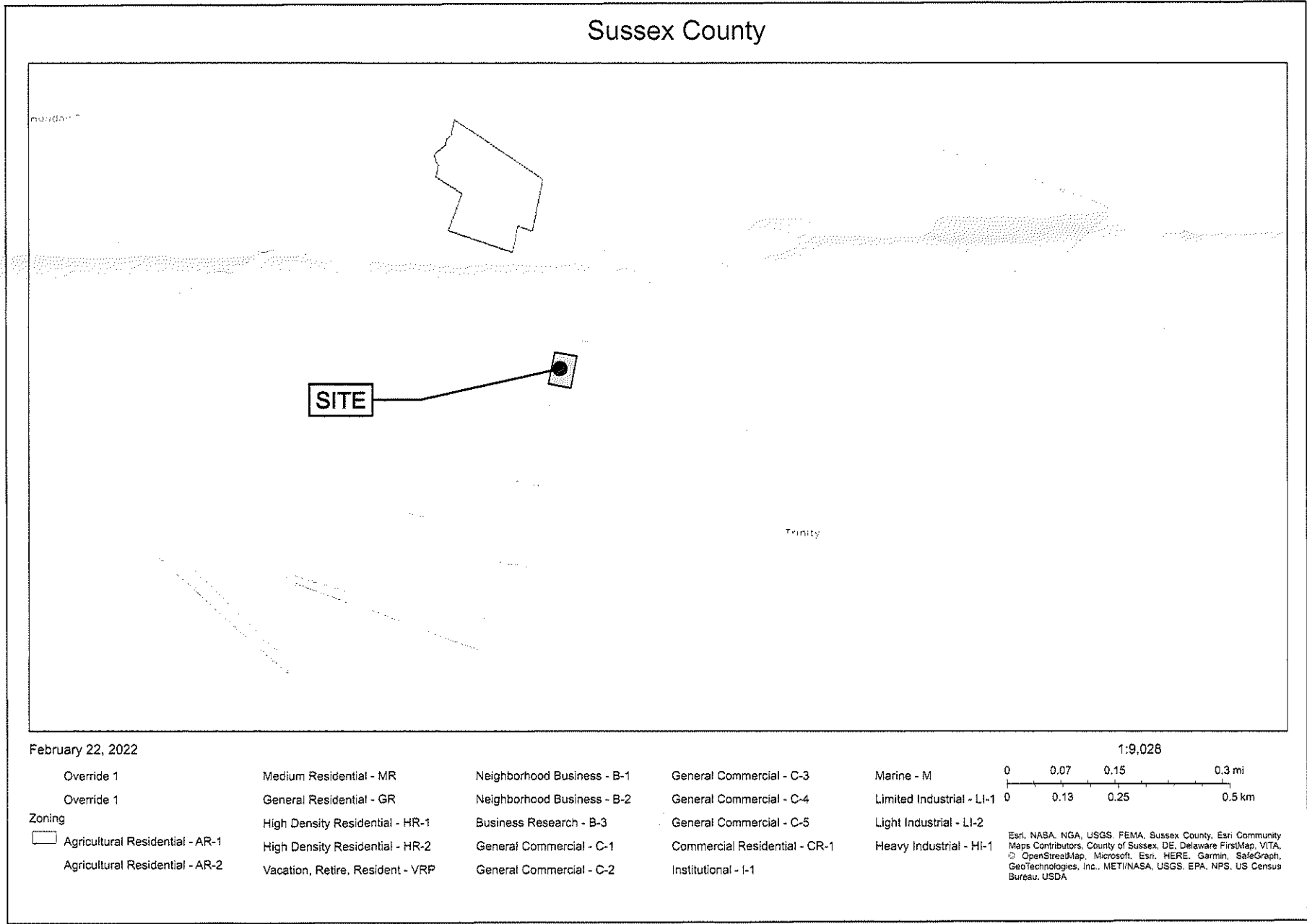
SEWER UTILITY
SUSSEX COUNTY

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		BUILDING
		FULL DEPTH PAVEMENT
		CURB
		EDGE OF PAVEMENT
		EDGE OF GRAVEL
		EASEMENT
		FENCE
		POWER, UTILITY POLE
		PROPERTY, LINE
		LEGAL RIGHT-OF-WAY
		PROPERTY, CORNER FOUND
		PROPERTY, ADJOINING LINED
		SITE, MAIL BOX
		SITE, TRAFFIC SIGN
		SOIL BOUNDARY
		SOIL LABEL
		STORM SEWER, INLET
		STORM SEWER, HEADWALL
		STORM SEWER, MANHOLE
		STORM SEWER, UNDERGROUND
		MINOR CONTOUR
		MAJOR CONTOUR
		SPOT ELEVATION
		BUILDING RESTRICTION LINE
		SWALEDITCH
		WATER, UNDERGROUND
		SANITARY SEWER, UNDERGROUND
		TREE LINE
		VEGETATION BRUSH LINE
		FENCE
		CONCRETE DRIVEWAY

SHEET INDEX

SHEET #	DRAWING #	SHEET TITLE
1	PP0001	PRELIMINARY PLAN COVER SHEET
2	PP1001	PRELIMINARY SITE PLAN



PREPARED BY:
PENNONI ASSOCIATES INC.



18072 Davidson Drive
Milton, DE 19968
T 302.684.8030
F 302.684.8054

CALL BEFORE YOU DIG
Call Miss Utility of Delmarva
800-282-8555
Ticket Number(s):

ENGINEER CERTIFICATION:
IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE COMPLIES WITH APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SIGNATURE
ALAN DECKTOR, PE (DE PE#17771)
PENNONI ASSOCIATES, INC
18072 DAVIDSON DRIVE
MILTON, DE 19968
OFFICE (302) 684-8030 - FAX (302) 684-8054
ADECKTOR@PENNONI.COM

DATE

OWNER'S CERTIFICATION:
IT IS HEREBY CERTIFIED THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

ROJAN LN 21, LLC.
C/O ROBERT AERENSON
2213 CONCORD PIKE
WILMINGTON, DE 19803
(302) 654-6153
ROBERT@AERENSON.COM

DATE

LONG NECK SHERWIN WILLIAMS

TAX MAP: 234-23.00-180.00 & 181.00
JOHN J WILLIAMS HIGHWAY (SCR 24)
MILLSBORO, DE 19966

PRELIMINARY PLAN COVER SHEET

ROJAN LN 21, LLC.

2213 CONCORD PIKE
WILMINGTON, DE 19803

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR
AND OWNER MUST BE NOTIFIED OF ANY
DISCREPANCIES BEFORE PROCEEDING WITH WORK



PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.8030 F 302.684.8054

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSES INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNERS SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	ROJAN 21001
DATE	2022-02-22
DRAWING SCALE	AS SHOWN
DRAWN BY	EOC
APPROVED BY	AMD

PP0001
SHEET 1 OF 2

Review Copy 4/12/25

SITE ADDRESS:
JOHN J WILLIAMS HIGHWAY
MILLSBORO, DE 1966
TAX MAP: 234-23.00-180.00

OWNER:
ROJAN LN 21, LLC.
2213 CONCORD PIKE
WILLINGTOM, DE 19803
(302) 654-6153

ENGINEER:
PENNONI ASSOCIATES INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968



- [illegible]

1. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
2. NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
3. SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
4. UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-SUE PATH ACROSS THIS PROJECTS FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE EXISTING DRIVEWAYS, DRAINAGE SYSTEMS AND UTILITIES TO THEIR ORIGINAL CONDITION IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
5. PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER. THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 §131) DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
6. THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE FOR THE SIDEWALK.
7. ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION STREET.
8. DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
9. TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLARENCE.
10. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
11. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND ANCHOR PLACED ALONG THE RIGHT-OF-WAY LINE OF ALL ADJACENT PROPERTIES OWNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.

1. ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.

G1	PROP. ADA CURB RAMP
G2	PROP. HANDICAP SPACE
G3	10' WIDE CONCRETE SIDEWALK
G4	16" WIDE STOP BAR (THERMO PLASTIC STRIPPING)
G5	PROP. STOP SIGN
G6	PROP. 6' WIDE CROSS WALK, 24" STRIPE, 24" SPACE
G7	PROP. LOADING SPACE
G8	LIGHT DUTY PAVEMENT
G9	6' HIGH WHITE VINYL PRIVACY FENCE
G10	PROP. DUMPSTER AREA WITH SCREENING
G11	HEAVY DUTY CONCRETE
G12	PROP. BUSINESS SIGN

[illegible]

SITE ADDRESS:
JOHN J WILLIAMS HIGHWAY
MILLSBORO, DE 1996
TAX MAP: 234-23.00-180.00

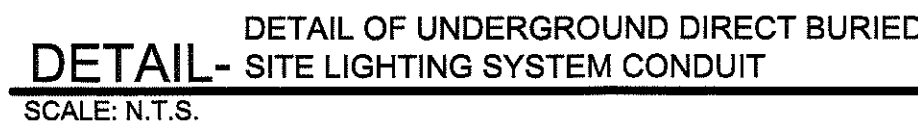
OWNER:
ROJAN LN 21, LLC.
2213 CONCORD PIKE
WILMINGTON, DE 19803
(302) 654-6153

ENGINEER:
PENNONI ASSOCIATES INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968



- ALL NEW WIRING SHALL BE INSTALLED WITH ITS OWN NEUTRAL, (NO SHARED NEUTRALS).
2. INSTALL THE NEW POLE BASE WITH THE CENTER OF THE POLE 3 FEET FROM THE EDGE OF THE NEW ROADWAY OR PATH TO ILLUMINATE THE LENGTH OF THE WALKWAY. THE ACTUAL LOCATION OF THE NEW POLE SHALL BE COORDINATED WITH THE OWNER TO AVOID ANY EXISTING UNDERGROUND UTILITIES.
3. PROVIDE ANCHOR BOLTS AND CONCRETE CURB AS REQUIRED FOR EACH POLE.
3. INSTALL THE NEW POLE BASE PER THE POLE BASE DETAIL. REFER TO VENDOR ANCHOR BOLT INSTALLATION GUIDE FOR BOLT CIRCLE DIAMETER, BASE COVER SIZE, ANCHOR BOLT PROJECTION, ANCHOR BOLT SIZE AND SPECIFIC DETAILS.
4. WHERE NEW POLES WILL BE INSTALLED ON EXISTING POLE BASES, VERIFY THE EXISTING BOLT CIRCLE PATTERN OF THE EXISTING BASES AND CONFIRM THE NEW BOLT CIRCLE PATTERN OF THE NEW POLES WILL MATCH TO THE EXISTING ANCHOR BOLTS.
5. WHERE JUNCTION BOXES ARE REQUIRED, HUBBELL QUATIZE 11"W X 18"L X 18.5"D STYLED POLYESTER REINFORCED CONCRETE ENCLOSURE PART #PC116A18 WITH TWO HEX BOLT COVER WITH "LIGHTNING" LOGO ON COVER PART #PC1118CA0041. MOUNT THE TOP OF THE BOX 6 INCH ABOVE THE FINISHED GRADE. ENCASE THE BOX WITH 6 INCHES OF 3000 PSI CONCRETE VIBRATED AROUND ALL FOUR SIDINGS. THE CONCRETE SHOULD FLUSH WITH THE TOP OF THE BOX AND THE BOTTOM OF THE CONCRETE EQUAL TO THE BOTTOM OF THE BOX. PROVIDE A 1 INCH CHAMFER AROUND THE TOP PERIMETER OF THE CONCRETE AND THE VERTICAL CORNERS. REMOVE ALL FORMS USED AFTER THE CONCRETE CURES. PROVIDE SUPPORT WITHIN THE BOX TO KEEP ALL SPICE CONNECTIONS AT THE BOTTOM OF THE COVER.
6. CONDUITS UNDER WALKWAYS SHALL BE GALVANIZED RIGID CONDUIT WHICH SHALL EXTEND 9' BEYOND EACH EDGE OF THE WALKWAY FOR PROTECTION FROM VEHICLES WHICH MAY DRIVE OVER THE EDGE OF THE WALKWAY.
7. BACK FILL ALL EXCAVATIONS TO MATCH THE EXISTING GRADE AND RESEED THE EXCAVATION AREA. EXCESS SOIL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
8. PROVIDE A 4" HIGH X 6" WIDE BLACK WITH 34" YELLOW LETTERING UV RESISTANT SELF-ADHESIVE LABEL ABOVE THE HAND HOLD LEVEL ON EACH LIGHT POLE. LABELS SHALL FACE THE DIRECTION OF THE ROADWAY OR WALKWAY OR PARKING SPACE WHERE THE POLE IS LOCATED. WHERE POLES ARE LOCATED IN THE CENTER OF A PARKING LOT, AND THERE ARE PARKING SPACES ON BOTH THE NORTH AND SOUTH SIDE OF THE POLE, INSTALL THE LABEL ON THE NORTH SIDE OF THE POLE TO MINIMIZE FADING FROM THE SUN. IN CASE OF LETTERING ON THE LABEL, SHALL STATE THE POLE NUMBER. THE BOTTOM ROW OF LETTERING ON THE LABEL, SHALL STATE THE PANEL AND CIRCUIT NUMBER. PROVIDE A PRINTED EXAMPLE FOR THE OWNERS APPROVAL PRIOR TO PRINTING ALL THE LABELS. SEE EXAMPLE.

EXAMPLE: POLE # A1
 PANEL & QKT # LP-2#18
14. MOUNT THE LIGHT BOLTS WITH THE HAND HOLE FACING 90 DEGREE FROM THE ROADWAY, WALKWAY OR PARKING SPACE SO THAT THE OPENING IS ACCESSIBLE WHEN A VEHICLE IS PARKED IN THE PARKING SPACE IN FRONT OF THE LIGHT LOCATION. DO NOT PLACE THE HAND HOLD ON THE OPPOSITE DIRECTION OF THE ROADWAY OR PARKING SPACE SO THAT IT WILL NOT BE BLOCKED BY VEGETATION AND HEDGES GROWING BEHIND THE POLE LOCATIONS.
15. PROVIDE NEW POLES WITH ALL REQUIRED POLE CAPS, ACCESS COVERS, GALVANIZED STEEL ANCHOR 'J' BOLTS, NUTS, LOCK NUTS AND WASHERS PER VENDORS INSTALLATION GUIDE.
16. PROVIDE NEW HUBBELL / BEACON LIGHTING FIXTURES WITH ALL REQUIRED ATTACHMENT ARMS, AND MOUNTING HARDWARE PER THE MANUFACTURERS INSTALLATION INSTRUCTIONS.
17. ASSEMBLE AND INSTALL POLE ON BASE. FIXTURE HEADS SHALL FACE TOWARD THE WALKWAY OR ROADWAY PER THE DIRECTION SHOWN ON THE DRAWINGS.
18. PROVIDE 2#10X18 AND TWN IN THE LIGHT POLE BETWEEN THE UNDERGROUND FEED CONDUCTORS AND THE FIXTURE MOUNTED AT THE TOP OF THE POLE.
19. ANCHOR NUTS SHALL BE ADJUSTED TO MAKE POLE PLUMB.
20. POLE BASE MUST HAVE FULL CONTACT WITH THE FOUNDATION BY GROUTING. GROUT THE SPACE BETWEEN THE TOP OF THE CONCRETE BASE AND THE BOTTOM OF THE LIGHT POLE BASE AND PROVIDE A CHANNEL TO ALLOW THE GROUT DRAINAGE FROM THE POLE INTERIOR.
21. THE CONTRACTOR IS RESPONSIBLE FOR ALL CIVIL WORK INCLUDING EXCAVATIONS, BACKFILLING, RE-SEEDING, ASPHALT REPAIR, ETC.
22. PROVIDE #2 BARE COPPER WIRE BONDING REBAR REINFORCEMENT CAPE IN POLE BASE TO GROUND STUD IN LIGHT POLE. REINFORCEMENT RODS MUST BE BONDED TO POLE TO SERVE AS CONCRETE ENCASED ELECTRODE BUT ARE NOT MEANT TO REPLACE GROUNDING ELECTRODE CONDUCTOR.
23. REFER TO LIGHTING CUT SHEETS, CONTACT DESIGN ENGINEER FOR INFORMATION.

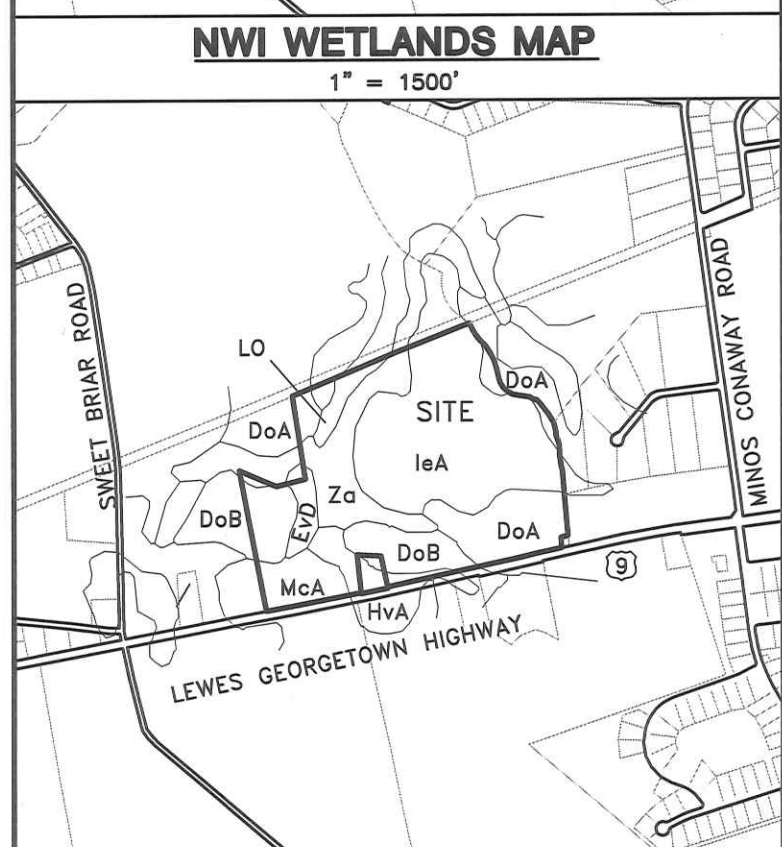
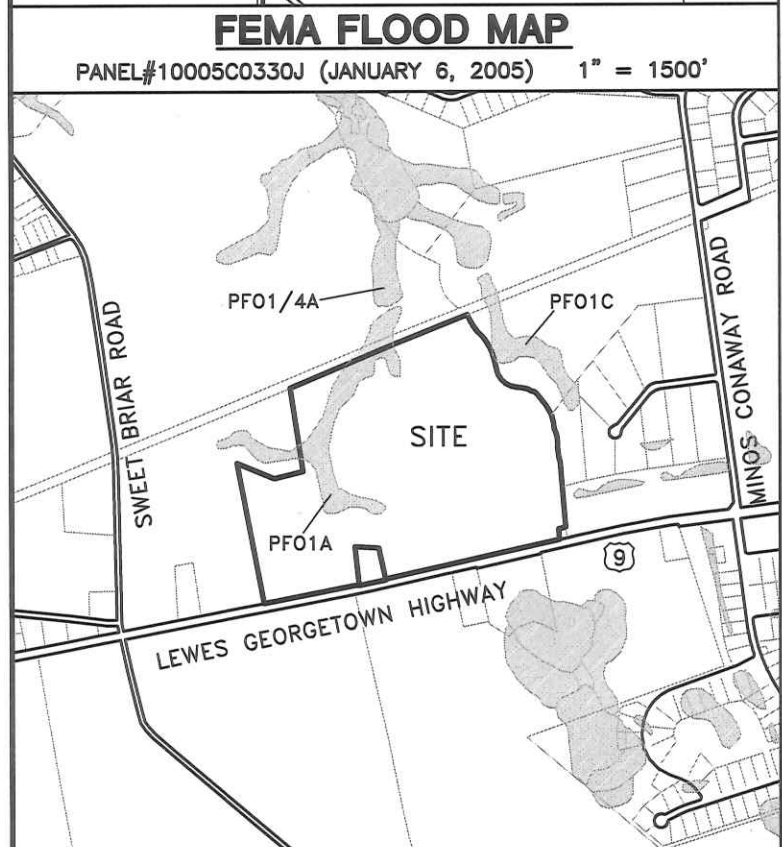
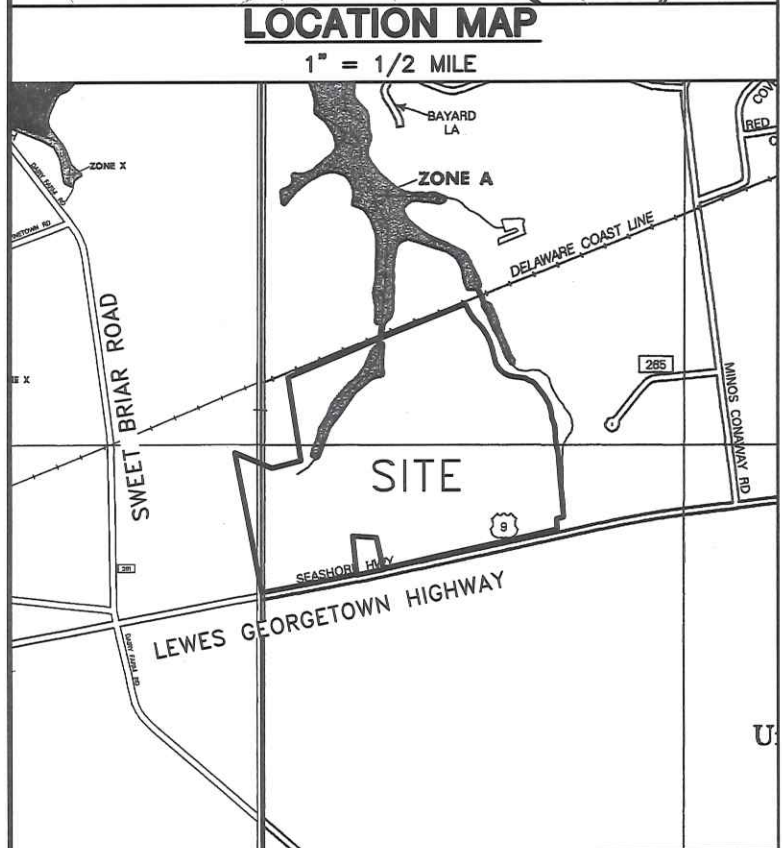
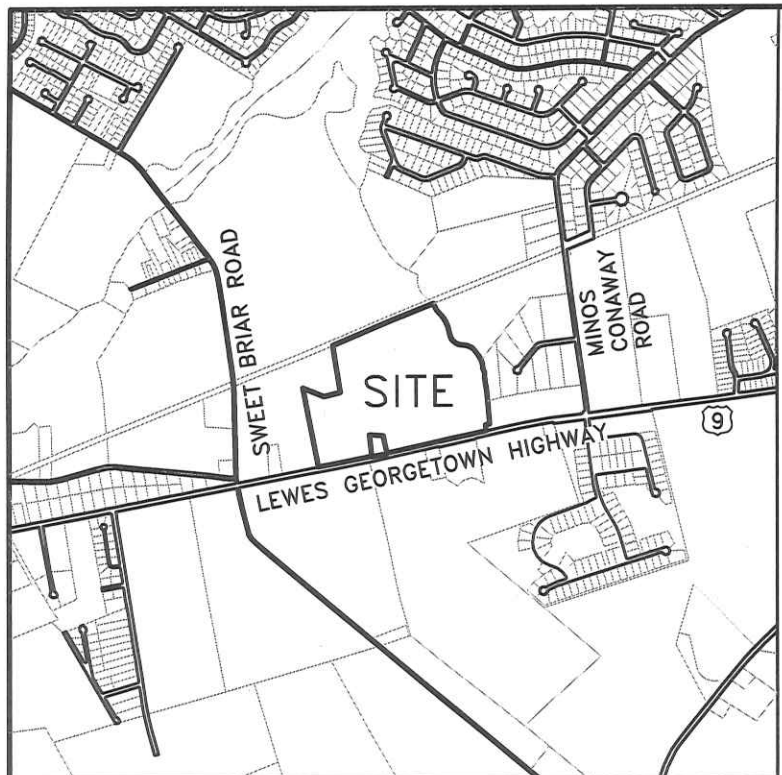


Calculation Summary			
Label	CalcType	Units	Avg
SITE GROUND LEVEL	Illuminance	Fc	0.46
PARKING AREA STATISTICS	Illuminance	Fc	1.53

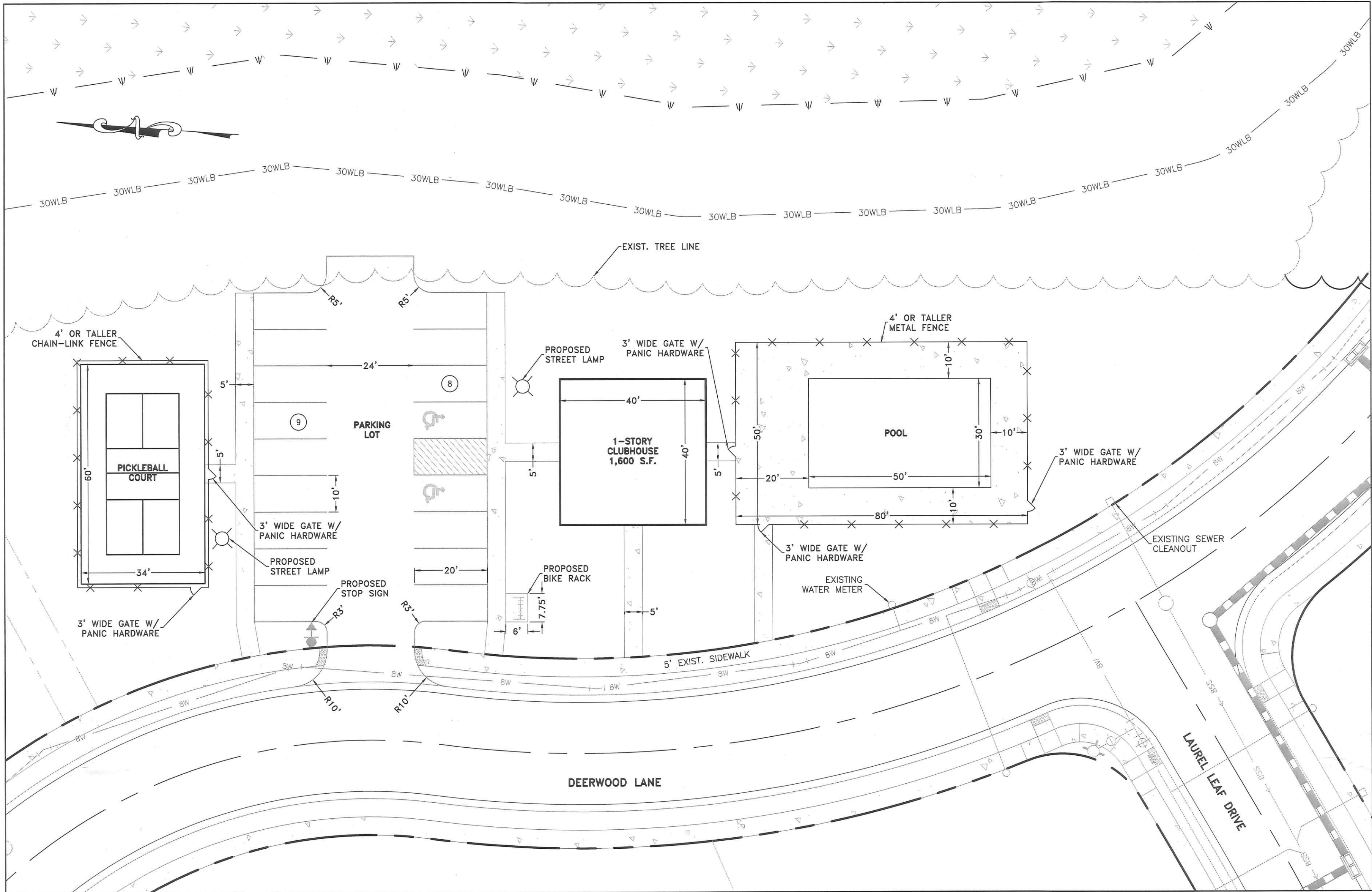
ILLUMINANCE (Fc)
Average = 1.53
Maximum = 6.1
Minimum = 0.1
Avg/Min Ratio = 15.30
Max/Min Ratio = 61.00

PARKING AREA STATISTICS

Illuminance (Fc)
Average = 1.53
Maximum = 6.1
Minimum = 0.1
Avg/Min Ratio = 15.30
Max/Min Ratio = 61.00



SOILS DATA		
LABEL	SOIL NAME	TYPE
DoA	DOWNER	B
DoB	DOWNER	B
EvO	EVESBORO	A
HuA	HURLOCK	B/D
IsA	INGLESIDE	B
Lo	LONGMARSH	D
MoA	MARSHYHOPE	C
Zo	ZENAH	D



LEGEND

EXISTING CONTOUR	
PROPOSED CONTOUR	
RIGHT-OF-WAY / PROPERTY LINE	
BUILDING SETBACK LINE	
CATCH BASIN, STORM PIPE, STORM MANHOLE	
SANITARY SEWER MANHOLE, PIPE, FLOW ARROW	
SANITARY SEWER LATERAL	
WATER MAIN, TEE W/ VALVES, PIPE SIZE	
WATER LATERAL	
FIRE HYDRANT ASSEMBLY	
FENCE	
PAVEMENT / FULL DEPTH	
SIDEWALK	
PROPOSED SPOT GRADES	
EXISTING SPOT GRADES	

FIRE PROTECTION NOTES

- ALL FIRE LANES, HYDRANTS, EXITS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS (DSFPR, 705, CHAPTER 5).
- WATER PROVIDER: TIDewater UTILITIES, INC.
- PROPOSED BUILDING CONSTRUCTION: TYPE V (000)
- INTENDED USE: CLUB HOUSE, POOL AND POOL DECK - ASSEMBLY
- PROPOSED BUILDING HEIGHT: < 42 FEET
- PROPOSED BUILDING SQUARE FOOTAGE: 1,600 ± S.F.
- SITE WILL BE SERVED BY AN UNDERGROUND CLOSED PIPE NATURAL GAS OR PROPANE SYSTEM.
- AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.

GENERAL NOTES:

- CONTRACTOR TO INSTALL TRACER WIRE ON SERVICE LINE FOR THE POOL HOUSE.
- THE DESIGNATED HOMEOWNERS ASSOCIATION ASSUMES RESPONSIBILITY FOR THE AMENITIES WITHIN RED MILL POND SOUTH.
- RECREATIONAL AMENITIES TO SERVE THE RESIDENTS OF RED MILL POND SOUTH.
- HANDICAP CURB RAMPS SHALL CONFORM TO ADA STANDARDS AND SPECIFICATIONS.
- OUTDOOR LIGHTING SHALL BE SHIELDED AND DOWNWARD SCREENED.

WETLANDS STATEMENT

I, EDWARD M. LAUNAY, PWS, STATE THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED UPON THIS PLAN HAVE BEEN DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, REGULATIONS AND SUPPLEMENTAL GUIDANCE (33 CFR 328.3(A)(8), WATERS OF THE U.S. DEFINITION/CECW-OR, 10-7-1991, QUESTIONS AND ANSWERS ON THE 1987 CORP MANUAL/CECW-OR, 9-26-1990, RGL 90-7/CECW-OR, 3-6-1992, CLARIFICATION AND INTERPRETATION OF THE 1987 MANUAL). THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES.

IN ACCORDANCE WITH DNREC TIDAL WETLAND MAPS, THERE ARE NO STATE REGULATED WETLANDS ON THE SITE.

EDWARD M. LAUNAY, PWS NO. 875
SOCIETY OF WETLANDS SCIENTISTS
CORPS OF ENGINEERS, CERTIFIED WETLAND
DELINEATOR WDCP93MD0510036B

DATA COLUMN

TAX MAP ID:	3-34-5.00-170.00
DATUM: VERTICAL HORIZONTAL	NAVD 88 NAD 83 (DE STATE PLANE)
EXISTING ZONING:	AR-1 AGRICULTURAL RESIDENTIAL DISTRICT
PROPOSED ZONING:	AR-1 AGRICULTURAL RESIDENTIAL DISTRICT
COASTAL AREA:	PROJECT LIES WITHIN THE COASTAL AREA
SOURCE WATER PROTECTION:	PROJECT IS NOT WITHIN A WELLHEAD PROTECTION AREA. PROJECT IS WITHIN THE "FAIR" GROUNDWATER RECHARGE AREA.
FLOOD HAZARD MAP:	THE SITE IS LOCATED ON THE FEMA FLOOD INSURANCE RATE MAP #10005C0330J, DATED JANUARY 6, 2005.
WETLANDS:	THIS SITE AS SHOWN HEREON CONTAINS STATE OR FEDERALLY REGULATED WETLANDS BASED ON NWI AND DNREC WETLAND MAPS.
TOTAL:	83.384 AC.
PARKING REQUIREMENTS:	304 S.F. ASSEMBLY / 50 = 7 SPACES 500 S.F. INDOOR RECREATION / 150 = 4 SPACES TOTAL = 11 SPACES REQUIRED
PARKING PROVIDED:	17 SPACES
LAND USE AREAS	
SINGLE FAMILY LOTS:	36.996 ACRES
RIGHT-OF-WAY:	11.804 ACRES
OPEN SPACE:	34.416 ACRES
PUMPSTATION:	0.073 ACRES
RIGHT-OF-WAY DEDICATION:	0.095 ACRES
TOTAL SITE AREA:	83.384 ACRES
NET DEVELOPMENT AREA:	36.996 ACRES
REQUIRED OPEN SPACE:	30%
PROPOSED OPEN SPACE:	41%
LOD AREA:	0.618 AC.±
EXISTING WOODED AREA:	23.84 AC.
PROPOSED WOODED AREA:	22.21 AC. (9.3%)
EXISTING WETLANDS AREA:	10.54 AC.
AR-1 MINIMUM ZONING REQUIREMENTS	
FRONT YARD SETBACK:	25 FT. (CORNER LOTS ALLOW FOR ONE 25' SETBACK AND ONE 15' SETBACK)
SIDE YARD SETBACK:	10 FT.
REAR YARD SETBACK:	10 FT.
MIN. LOT AREA:	7,500 SF.
AVG. LOT AREA:	9,105 SF. (0.21 AC.)
WIDTH OF LOT:	60 FT.
MIN. LOT DEPTH:	100 FT.
VOLUNTARY NON-TIDAL WETLANDS BUFFER:	30 FT.
SANITARY SEWER:	WEST REHOBOTH EXPANSION OF THE DEWEY BEACH SANITARY SEWER DISTRICT (SUSSEX COUNTY AGREEMENT #446-9)
WATER SUPPLY:	TIDewater UTILITIES
PROPOSED MAXIMUM BUILDING HEIGHT:	42 FT. (3-1/2 STORIES)
PROPOSED BUILDING HEIGHT:	20 FT.
PROPOSED BUILDING CONSTRUCTION:	WOOD CONSTRUCTION
PROJECT IS LOCATED IN THE HENLOPEN TRANSPORTATION IMPROVEMENT DISTRICT.	

ENGINEER'S STATEMENT

I, JAMIE L. SECHLER, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

by JAMIE L. SECHLER, P.E.
DAVIS, BOWEN & FRIEDEL, INC.
1 PARK AVE.
MILFORD, DELAWARE, 19963

DATE

OWNER/DEVELOPER STATEMENT

I, THE UNDERSIGNED, HEREBY STATE THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THE PLAN WAS MADE AT MY DIRECTION, I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN BE RECORDED ACCORDING TO LAW.

K. HOVNANIAN HOMES OF DELAWARE I, LLC
2499 SOUTH DUPONT HWY. SUITE G
SMYRNA, DE 1997

DATE

THE VILLAGES AT RED MILL POND-SOUTH AMENITIES RESIDENTIAL SUBDIVISION SUSSEX COUNTY, DELAWARE

ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
SUSSEX, MARYLAND (410) 543-9001
MILFORD, DELAWARE (302) 424-1441
EASTON, MARYLAND (410) 770-1744



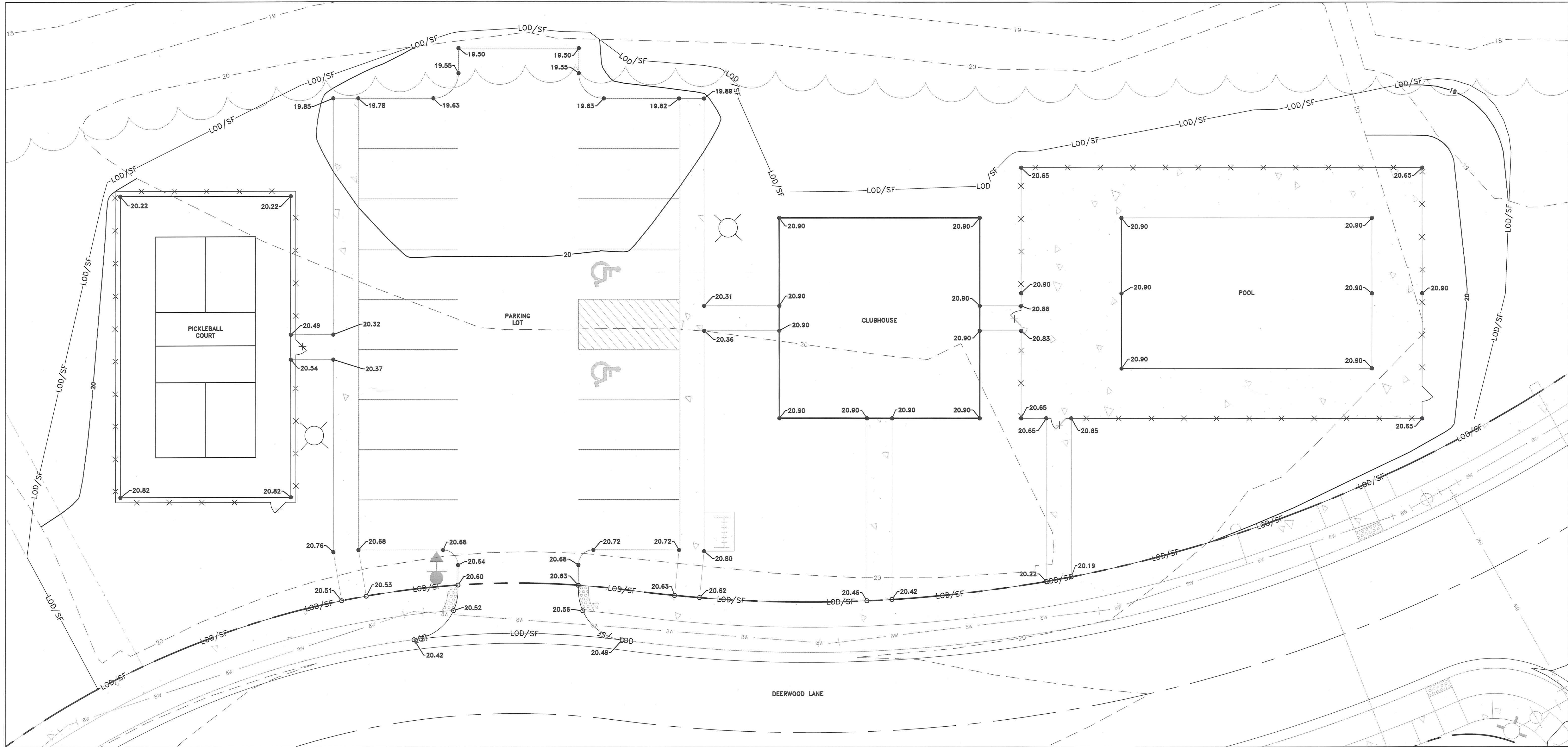
SITE PLAN

Revisions:

Date: JANUARY 2022
Scale: 1"=20'
Dwn.By: RPK
Proj.No.: 14436001
Dwg.No.:

01

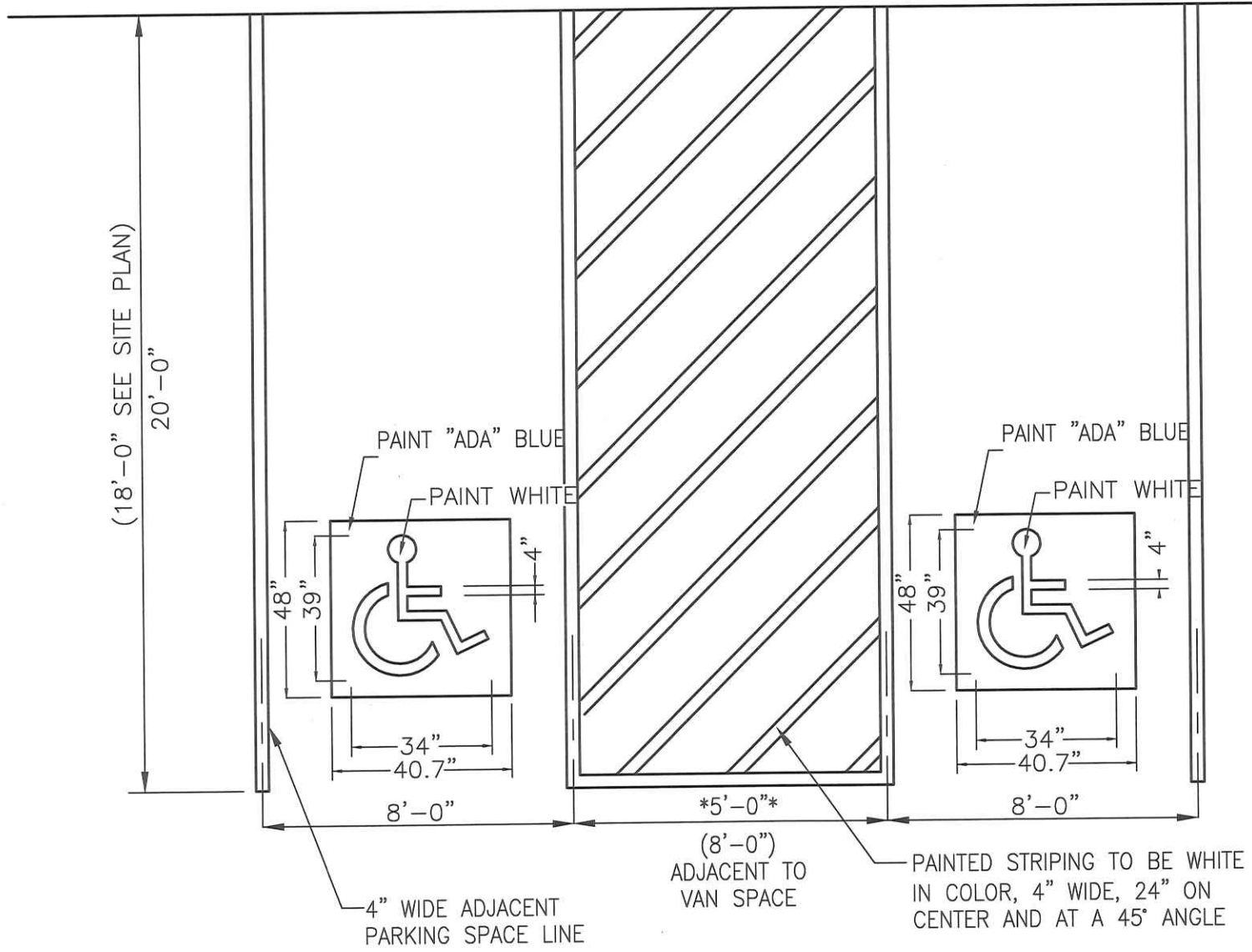
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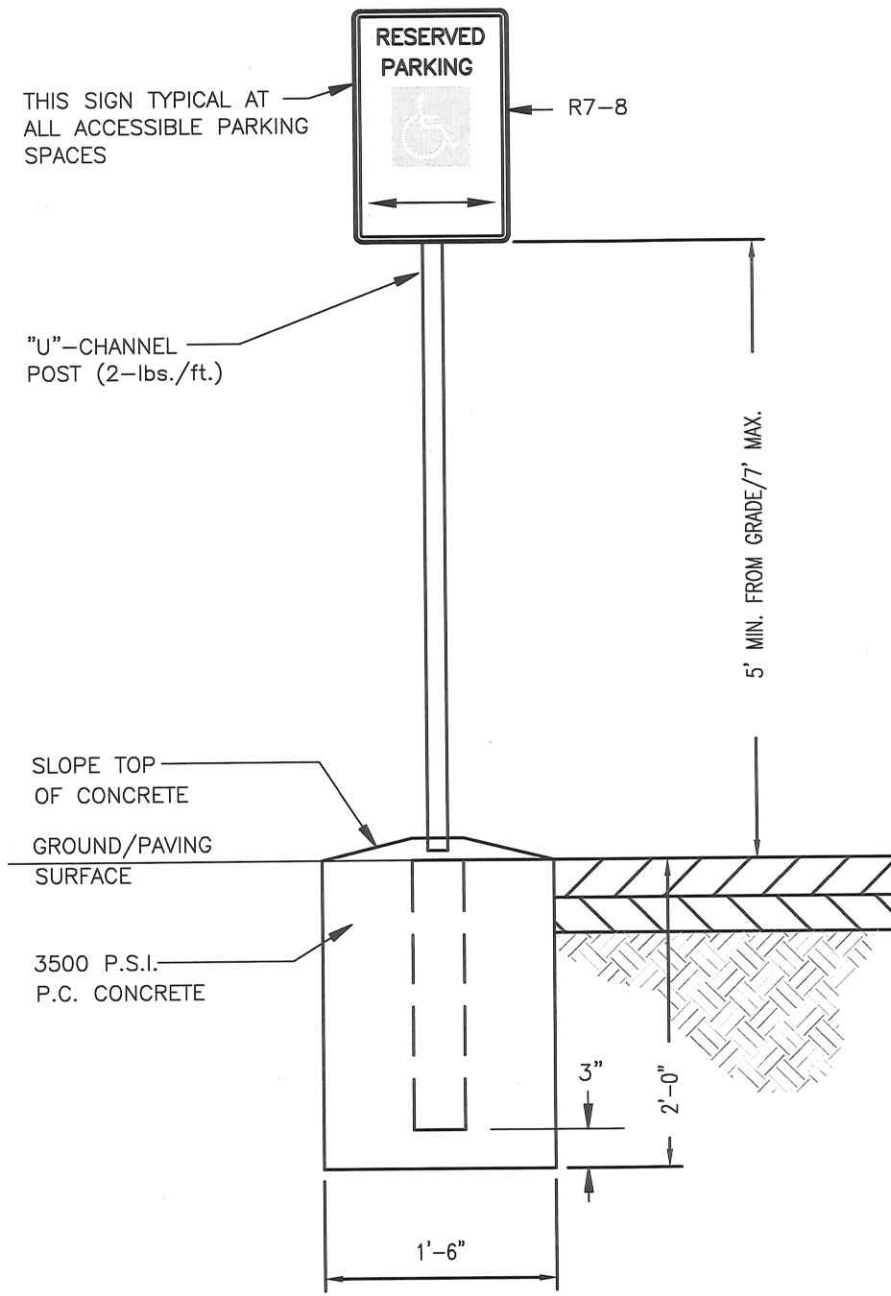
THE VILLAGES AT RED MILL POND-SOUTH AMENITIES
RESIDENTIAL SUBDIVISION
SUSSEX COUNTY, DELAWARE

Revisions:

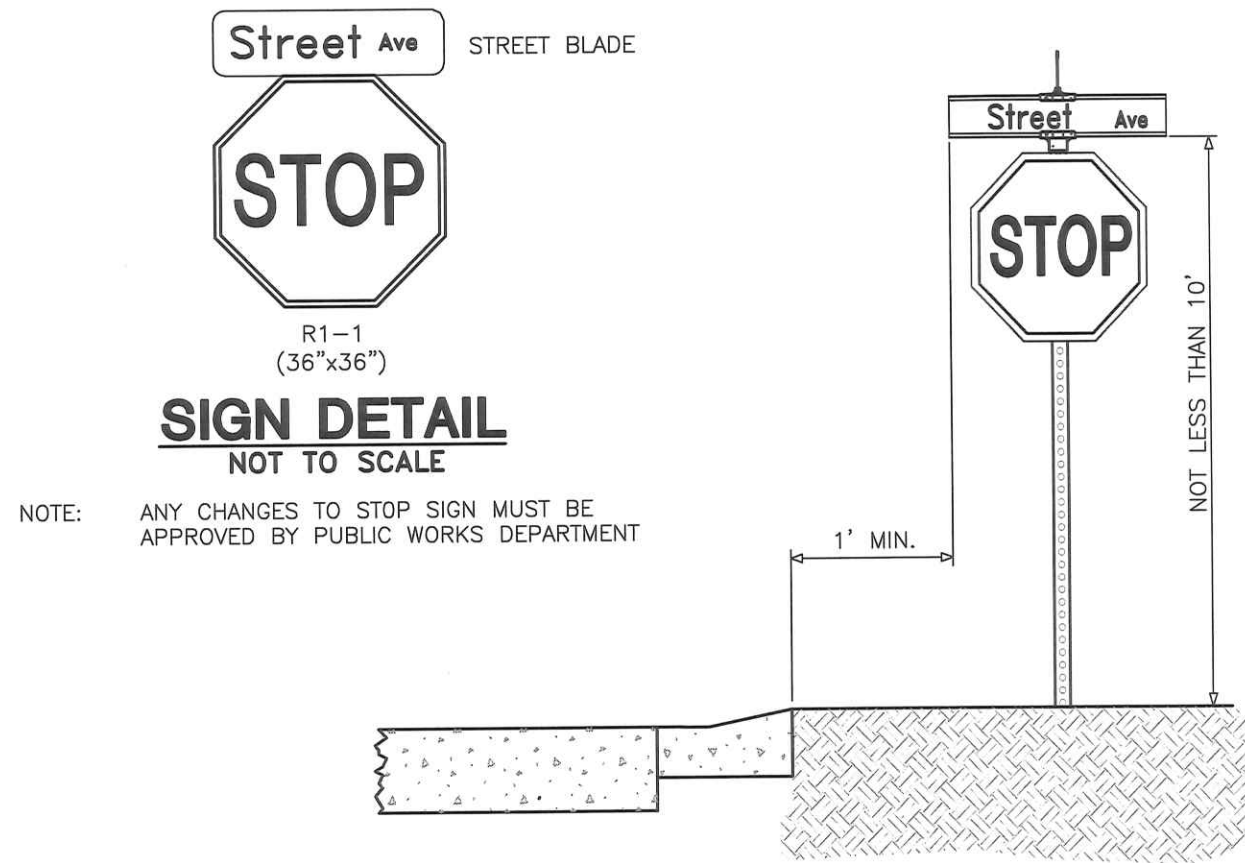
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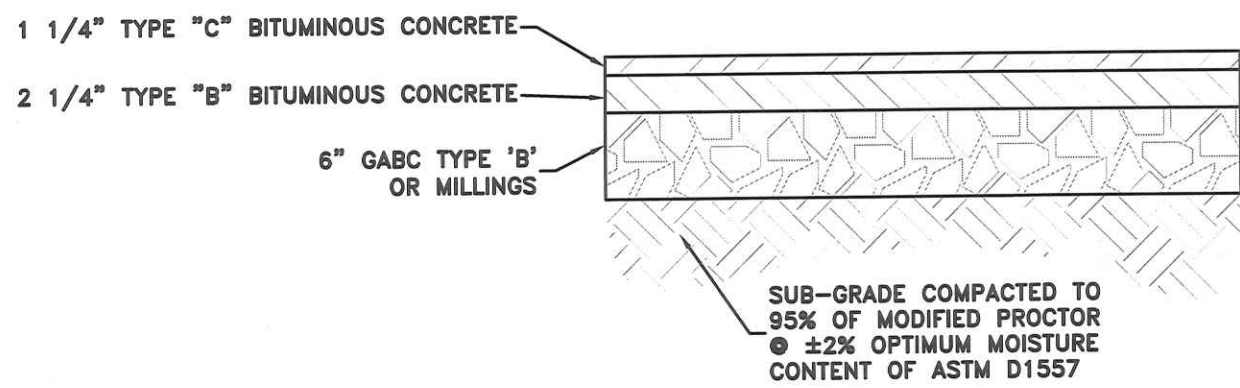
HANDICAP PARKING DETAIL
NOT TO SCALE



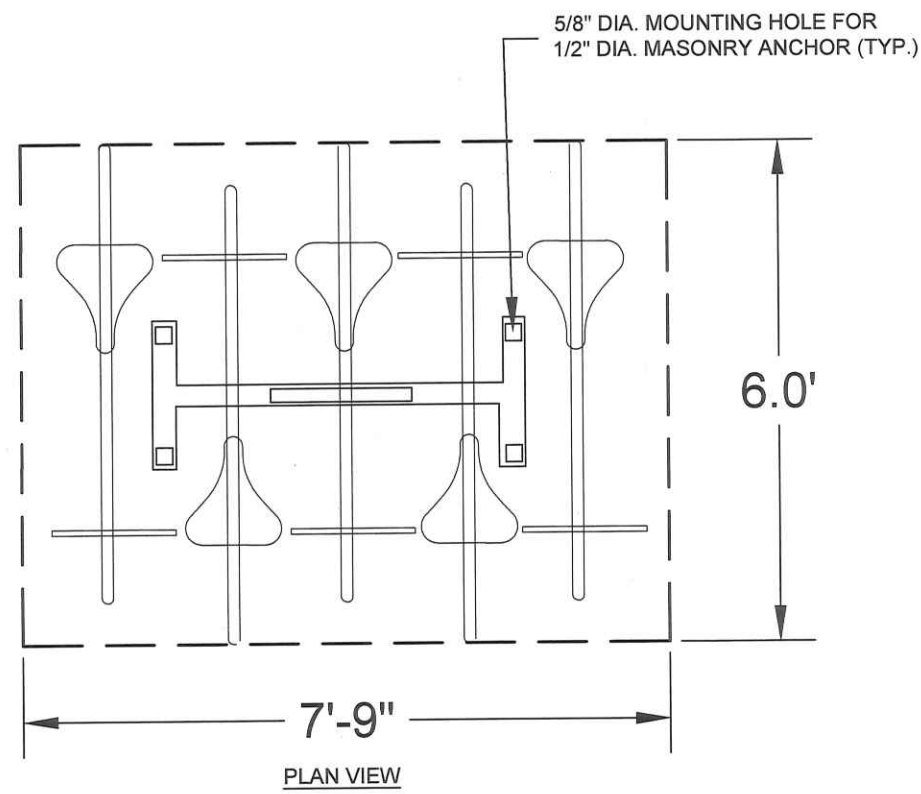
SIGNAGE FOR HANDICAPPED PARKING SPACE
NOT TO SCALE



TYPICAL SIGN INSTALLATION
NOT TO SCALE



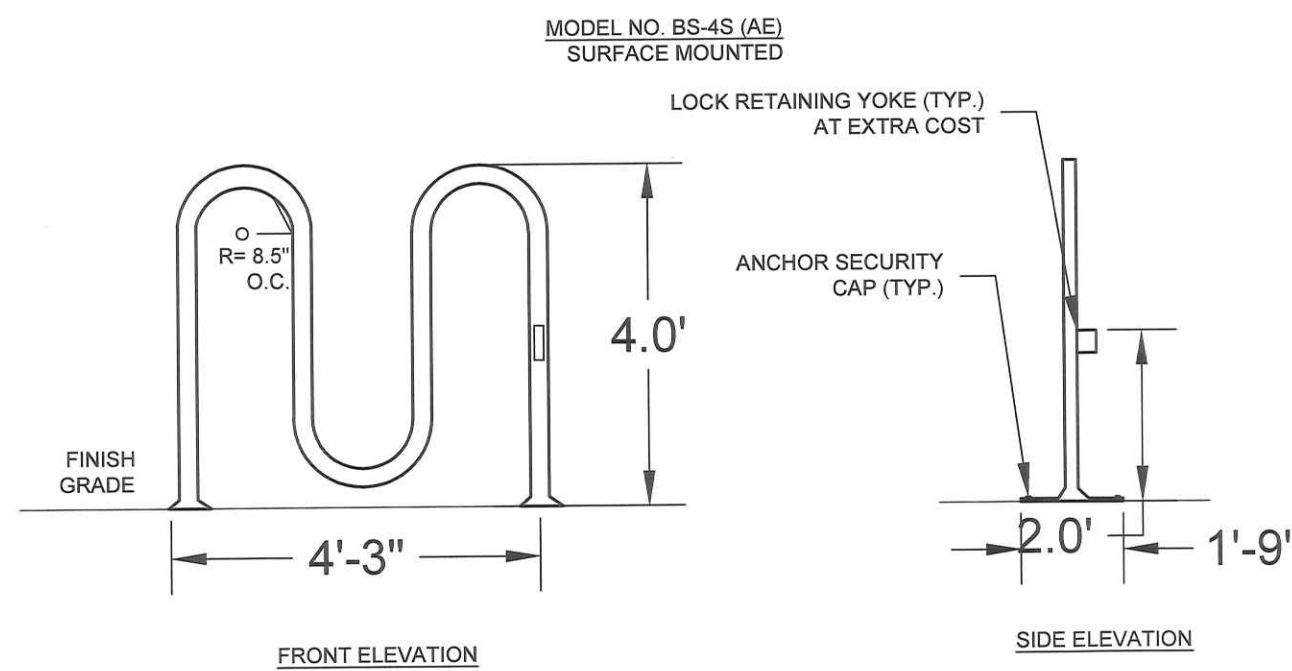
PAVEMENT SECTION
NOT TO SCALE



ORDERING INFORMATION
BIKE-STANCHIONS- ADULT-EXPANDED (AE)
VERSION, MODERATE SECURITY BIKE RACKS

MODEL NO.	LENGTH	BIKE
SURFACE-MOUNT	BELOW-GRADE	(O.C.) CAP
BS-2S(AE) OR BS-2B(AE)	1'-5"	3
BS-4S(AE) OR BS-4B(AE)	4'-3"	5
BS-6S(AE) OR BS-6B(AE)	7'-1"	7
BS-8S(AE) OR BS-8B(AE)	9'-11"	9
BS-10S(AE) OR BS-10B(AE)	12'-9"	11
BS-12S(AE) OR BS-12B(AE)	15'-7"	13

Bike Security Racks Co. sells bicycle racks, bike parking equipment and bicycle storage systems.
12 Sawyer Loop / Wentworth, NH 03282
To order, call (800) 545-2757 or (617) 876-1180.



MATERIALS

- 2" nom., Sched. 40, ASTM A500, welded seamless-steel pipe construction
- 3/8" x 3" H.R. steel flat-bar for foot assemblies
- 1/2" dia. H.R. steel round-bar for lock-retaining yokes
- 2-1/2" nom., Sched. 40, ASTM A500, welded seamless-steel pipe for below-grade sleeves

FABRICATION

- All metallurgical joints are MIG welds
- FINISHES**
- Black thermoplastic powder coating 8 to 10 mils thick
- Hot-dipped galvanized

BIKE RACK DETAIL
NOT TO SCALE

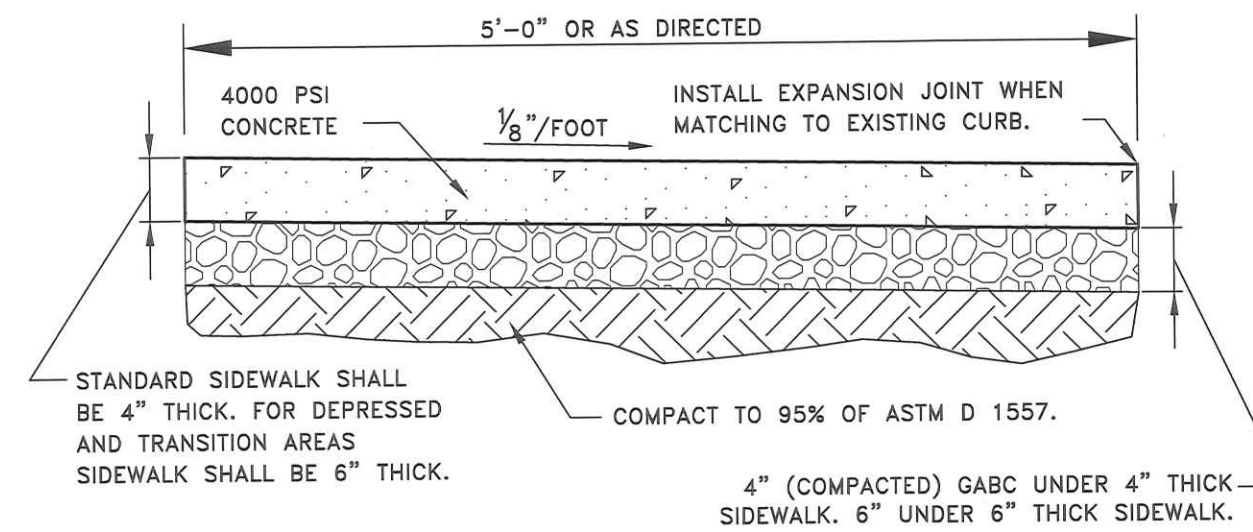
GENERAL NOTES:

1. REVIEW AND OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
2. IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY DNREC OR THE DELEGATED AGENCY.
3. FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER SEDIMENT CONTROLS, SOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
4. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
5. AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHALL BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
6. APPROVAL OF A SEDIMENT AND STORMWATER MANAGEMENT PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
7. BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7, DEL. C. CH. 60, REGULATIONS GOVERNING THE CONTROL OF WATER POLLUTION, SECTION 9.1.02, KNOWN AS SPECIAL CONDITIONS FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, AND DEPARTMENT POLICIES, PROCEDURES, AND GUIDANCE.
8. CONTRACTOR TO INSTALL TRACER WIRE ON SERVICE LINE FOR THE POOL HOUSE.
9. THE DESIGNATED HOMEOWNERS ASSOCIATION ASSUMES RESPONSIBILITY FOR THE AMENITIES AT MARSH ISLAND.
10. RECREATIONAL AMENITIES TO SERVE THE RESIDENTS OF RED MILL SOUTH.
11. HANDICAP CURB RAMPS SHALL CONFORM TO ADA STANDARDS AND SPECIFICATIONS.
12. CLUBHOUSE, AMENITIES AND SWIMMING POOL ARE REQUIRED TO BE PROVIDED IN ORDER TO COMPLY WITH CONDITION 8 OF THE 13 CONDITIONS ASSOCIATED WITH THE PRELIMINARY SITE PLAN APPROVAL FOR LANDLOCK ACRES (2005-73)(FORMER SUBDIVISION NAME) "AMENITIES, INCLUDING A CLUBHOUSE AND SWIMMING POOL SHALL BE CONSTRUCTED AND OPEN TO USE BY RESIDENTS OF THE DEVELOPMENT WITHIN 2 YEARS OF THE ISSUANCE OF THE FIRST RESIDENTIAL BUILDING PERMIT."

SEQUENCE OF CONSTRUCTION

NOTIFY THE SUSSEX CONSERVATION DISTRICT IN WRITING AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.

1. INSTALL ALL PRE-BULK EROSION & SEDIMENT CONTROLS. CCR SHALL REVIEW INSTALLATION OF THE INSTALLATION OF THE EROSION & SEDIMENT CONTROLS.
2. ALL PERIMETER CONTROLS ARE TO BE REVIEWED BY THE AGENCY CONSTRUCTION SITE REVIEWER AND APPROVED PRIOR TO PROCEEDING WITH FURTHER SITE DISTURBANCE OR CONSTRUCTION.
3. THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHOULD BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENTATION ON THE SITE. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR REPAIR MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
4. MINIMIZE DEMOLITION, CLEARING AND GRADING OPERATIONS TO AREAS NECESSARY FOR IMMEDIATE CONSTRUCTION ACTIVITY.
5. PERFORM ANY REQUIRED DEMOLITION OF THE EXISTING SITE.
6. STRIP TOPSOIL AND PERFORM ROUGH GRADING FOR BUILDING AND AMENITY AREAS.
7. EXPORT FILL, GRADE FOR BUILDINGS. BEGIN BUILDING CONSTRUCTION.
8. FINE GRADE FOR PROPOSED AMENITY AREAS, PLACE STONE PER PAVEMENT SPECIFICATIONS AND PLANS.
9. UPON COMPLETION OF PAVING AND STABILIZATION OF ALL DISTURBED AREAS,
A. REMOVE SEDIMENT FROM STORMDRAIN SYSTEM.
B. STABILIZE DISTURBANCE IMMEDIATELY.
10. RESTORE ALL DISTURBED AREAS NOT TO BE COVERED BY PAVEMENT WITH PERMANENT STABILIZATION IN ACCORDANCE WITH ITEM 14 OF THE EROSION AND SEDIMENT CONTROL NOTES.
11. NOTIFY THE CCR AT LEAST THREE (3) DAYS PRIOR TO START OF THE STORMWATER SYSTEM CONSTRUCTION; STORMWATER FACILITIES MUST BE REVIEWED THROUGHOUT THEIR CONSTRUCTION.
12. EROSION AND SEDIMENT CONTROL DEVICES SHOULD BE REMOVED ONLY AFTER WORK IN AN AREA HAS BEEN COMPLETED AND STABILIZED, WITH WRITTEN APPROVAL FROM THE AGENCY CONSTRUCTION SITE REVIEWER.



NOTE: PLACE EXPANSION JOINTS 20' ON CENTER AND CONTROL JOINTS 5' ON CENTER OR MATCH EXISTING PATTERN.

CONCRETE SIDEWALK DETAIL
NOT TO SCALE

THE VILLAGES AT RED MILL POND-SOUTH AMENITIES
RESIDENTIAL SUBDIVISION
SUSSEX COUNTY, DELAWARE

Revisions:

Date: JANUARY 2022

Scale: 1"=10'

Dwn.By: RPK

Proj.No.: 1443G001

Dwg.No.:

03

ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
SUSSEX, MARYLAND (410) 545-2001
MIDFORD, DELAWARE (302) 624-1441
EASTON, MARYLAND (410) 770-4744

DETAILS

Sussex County
Planning & Zoning Commission
2 The Circle
P.O. Box 417
Georgetown, DE 19947

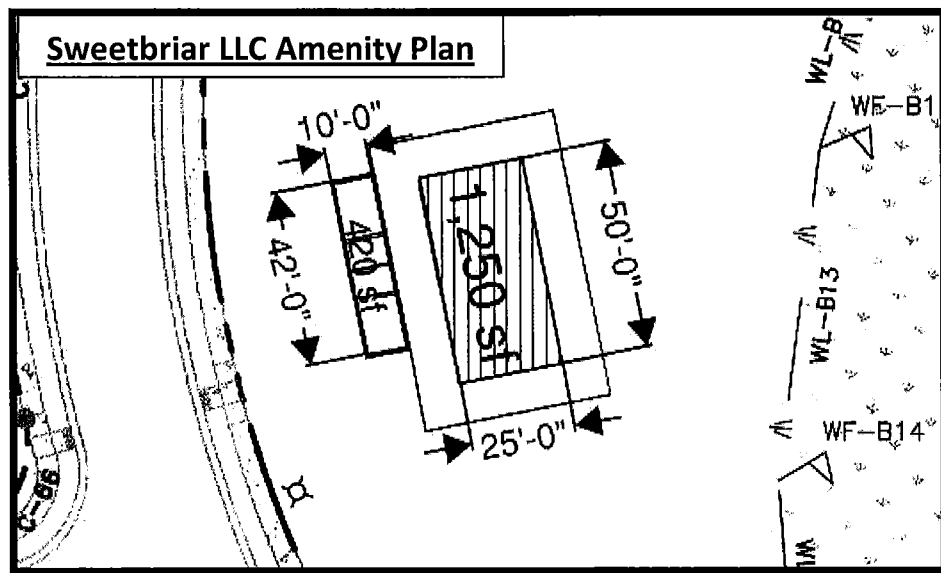
April 5, 2022

RE: The Villages at Red Mill Pond South Amenities Plan

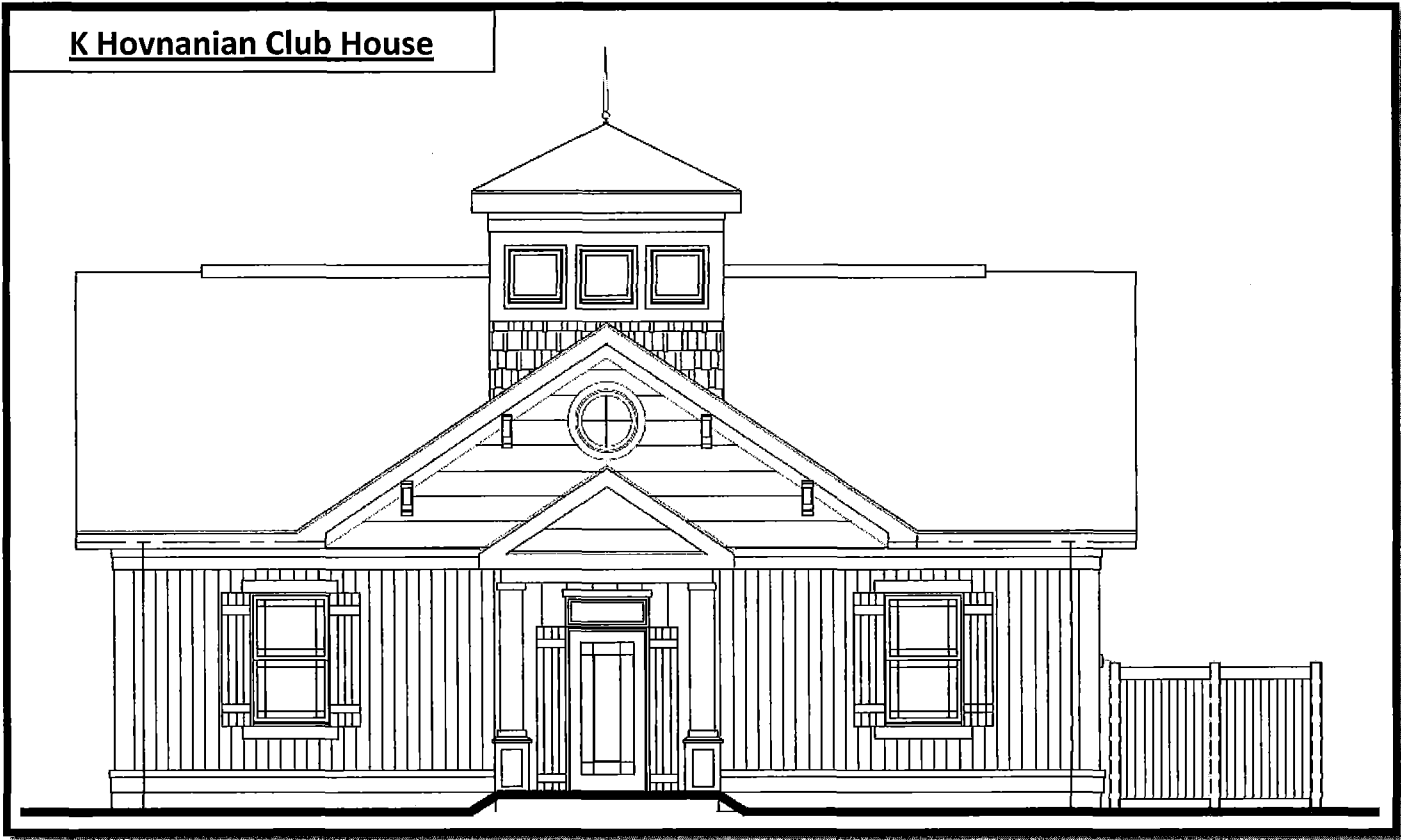
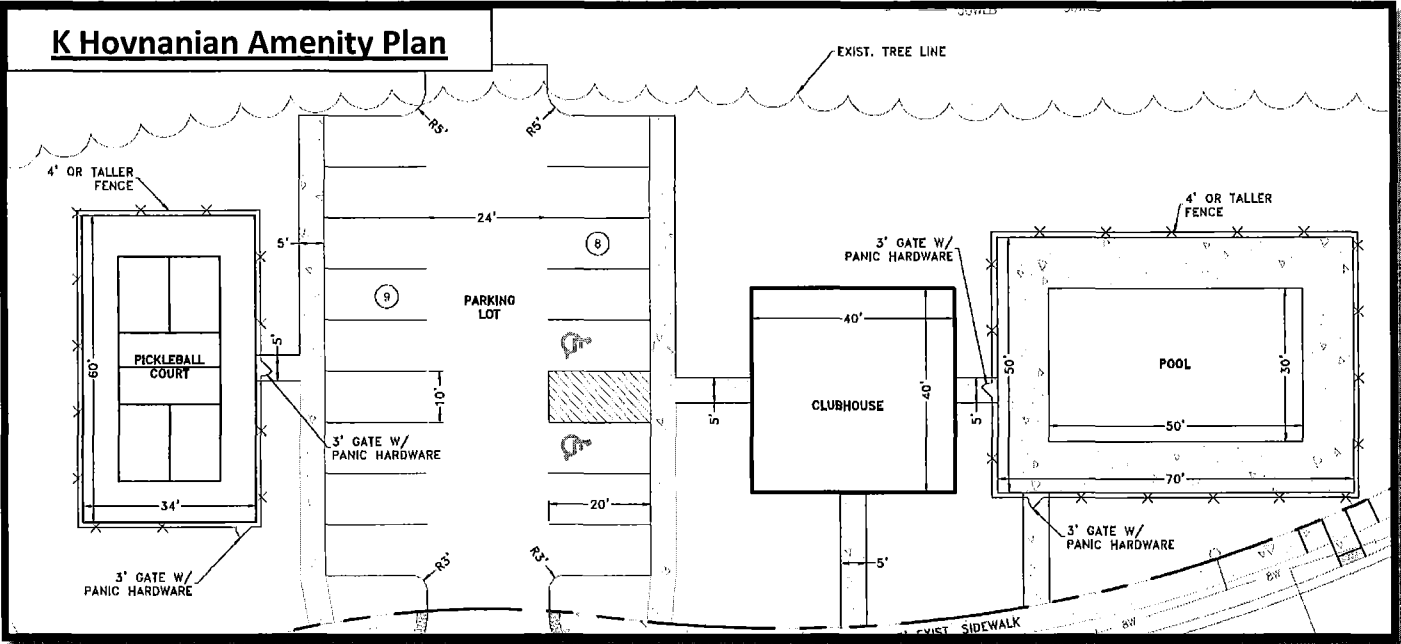
Commissioners,

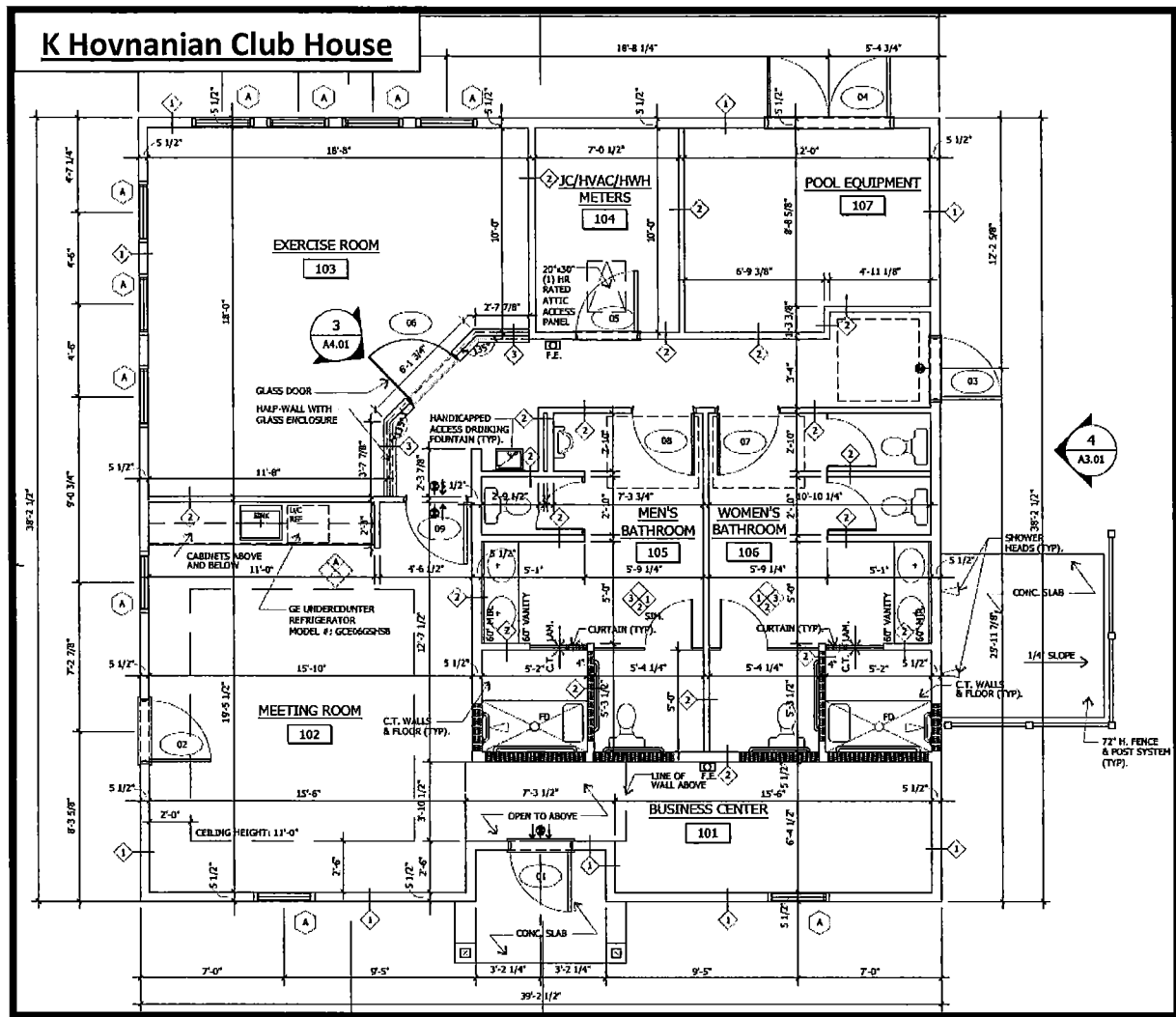
We, the undersigned homeowners in Red Mill Pond South, are in support of K. Hovnanian's submitted Clubhouse Site Plan which is a substantial improvement over the previously recorded amenity for Red Mill Pond South.

The prior planned amenity under Sweetbriar LLC included a small 420 sq ft bathroom and a 1,250 sq ft pool (pictured below):



On November 17th, 2021, K. Hovnanian attended the Annual Homeowner's Association Meeting for Red Mill Pond and presented the planned amenities for Red Mill Pond South. Additionally, a set of the plans were made available to the homeowner board members who sent a letter of approval for the enhancements dated January 25th, 2022. We feel the expanded amenities are generous. They feature an attractively designed 1,600 sq ft clubhouse which will include a kitchen, a meeting space, gym, and restrooms, a 1,500 sq ft pool, a pickleball court and a parking lot (pictured on the next page).





Homeowner Name(s)	Address	Signature
Donald Cooper Sharon Vendetti-Cooper	11048 Greenview Ave	
Daniel McLean	11049 Greenview Ave Apr 9, 2022 7:02:44	DocuSigned by: AM EDT 765BBAF0176D40E...
Gayle McLean	11049 Greenview Ave Apr 8, 2022 6:33:33	DocuSigned by: PM EDT 308D5E3A3434406...
Raymond Tomasky	11054 Greenview Ave	
Brian Porter	11057 Greenview Ave	
Cindy Porter	11057 Greenview Ave Apr 13, 2022 7:56:45	DocuSigned by: AM EDT 11C7BF03A9704E4...

<u>Homeowner Name(s)</u>	<u>Address</u>	<u>Signature</u>
Roger Levi Lesley Levi	11058 Greenview Ave Apr 15, 2022 9:05:13	DocuSigned by: PM EDT 25878B4430CE4A5...
Gary Kunkel Karen Kunkel	11062 Greenview Ave Apr 8, 2022 2:44:13	DocuSigned by: PM EDT 21C78C938C804E8...
Glen Whims	11064 Greenview Ave Apr 9, 2022 3:49:19	DocuSigned by: PM EDT D0823047DC314F3...
Christina Whims	11064 Greenview Ave Apr 9, 2022 3:50:54	DocuSigned by: PM EDT 32D780610D804DD...
George Mitchell, Jr. Eileen Mitchell	11070 Greenview Ave Apr 9, 2022 7:14:59	DocuSigned by: AM EDT D08060000000000...
Harvey Speed Kimberly Speed	11078 Greenview Ave Apr 12, 2022 10:46:16	DocuSigned by: PM EDT A1705231684E45A...
James Henn Mary Henn	11081 Greenview Ave	
Stuart Wright	11082 Greenview Ave	
Mary Wright	11082 Greenview Ave	
Misty Warren	11097 Greenview Ave Apr 8, 2022 4:32:00	DocuSigned by: PM EDT 10786700D48040B...
Lourdes Griffin James Griffin	11105 Greenview Ave Apr 8, 2022 4:03:20	DocuSigned by: PM EDT C46023C8E023437...
Michelle Marsh Barbara Sann	11109 Greenview Ave Apr 8, 2022 2:56:08	DocuSigned by: PM EDT F06F4DC4D80349F...
Samuel Zingo Helen Zingo	11115 Greenview Ave Apr 9, 2022 6:24:16	DocuSigned by: AM EDT 1A0313D4038A4A0...
William Davis	24011 Havenwood Ln Apr 8, 2022 11:07:34	DocuSigned by: AM EDT 5082F85119B40C0...
Beth Davis	24011 Havenwood Ln Apr 8, 2022 3:32:09	DocuSigned by: PM EDT 38A00EAC5EC434...
Mark Brennan	24012 Havenwood Ln Apr 9, 2022 7:16:00	DocuSigned by: AM EDT 0316C70341734A4...
Ellen Brennan	24012 Havenwood Ln Apr 9, 2022 9:00:27	DocuSigned by: AM EDT 4DFCE2A87E044B...
Darrell Piatt	24013 Havenwood Ln Apr 8, 2022 2:02:07	DocuSigned by: PM EDT 71058A2E2BDA4A8...
Kelly Piatt	24013 Havenwood Ln Apr 8, 2022 7:19:52	DocuSigned by: PM EDT D78FDB13108A6A...
Alyssa Tilelli	24018 Havenwood Ln Apr 8, 2022 2:32:56	DocuSigned by: PM EDT 89D27E0A0E0A158...
Joseph Tilelli	24018 Havenwood Ln Apr 8, 2022 2:32:58	DocuSigned by: PM EDT CTD03F3A8F4F4F5...

<u>Homeowner Name(s)</u>	<u>Address</u>	<u>Signature</u>
Vincent Capitolo	24019 Havenwood Ln Apr 11, 2022 12:25:36	DocuSigned by: PM EDT Vincent Capitolo 9F54F883500D4A0...
Elaina Capitolo	24019 Havenwood Ln Apr 11, 2022 8:13:03	DocuSigned by: AM EDT Elaina Capitolo 68E9F8640B44A0...
Kenneth Kozloff Linda Kozloff	24025 Havenwood Ln	
Bruce Salinger	24026 Havenwood Ln Apr 9, 2022 7:43:21	DocuSigned by: AM EDT Bruce Salinger 88EA90CDB0CE44B...
Carole Salinger	24026 Havenwood Ln Apr 9, 2022 8:54:47	DocuSigned by: PM EDT Carole Salinger EE126030402A4E...
Carmen Perrone	24031 Havenwood Ln Apr 11, 2022 3:50:47	DocuSigned by: PM EDT Carmen Perrone A737890C09224A8...
Robert Strayer	24032 Havenwood Ln Apr 9, 2022 9:17:28	DocuSigned by: AM EDT Robert Strayer 7DEE2617AC544E1...
Thomas Fogle	24032 Havenwood Ln Apr 9, 2022 8:30:51	DocuSigned by: AM EDT Thomas Fogle DDC080E66C9476...
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Dorren Casey	32014 Deerwood Ln Apr 9, 2022 12:37:12	DocuSigned by: PM EDT Dorren Casey 4ED780C1E13A837...
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Ashley Fiehrer	32085 Deerwood Ln Apr 8, 2022 11:01:35	DocuSigned by: AM EDT Ashley Fiehrer 71FB8EEE18B04F4...
Jack Goodman	32126 Deerwood Ln Apr 9, 2022 12:06:04	DocuSigned by: AM EDT Jack Goodman 32E7F150A1744F3...
Lori Goodman	32126 Deerwood Ln Apr 9, 2022 12:17:00	DocuSigned by: AM EDT Lori Goodman 1C80440EB674F1...
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Jacqueline Huxtable	32131 Deerwood Ln Apr 8, 2022 3:59:30	DocuSigned by: PM EDT Jacqueline Huxtable 83E56A4201C403...

Daniel Huffman
Marc Russell

13063 Laurel Leaf Dr
Apr 11, 2022 | 12:09:49

DocuSigned by:
PM EDT Daniel Huffman
869DBF4F87B6428...

<u>Homeowner Name(s)</u>	<u>Address</u>	<u>Signature</u>
Dennis Barton	32134 Deerwood Ln Apr 8, 2022 3:19:08	DocuSigned by: PM EDT Dennis Barton 840000FC2E8D42B...
Kathleen Barton	32134 Deerwood Ln Apr 8, 2022 3:27:40	DocuSigned by: PM EDT Kathleen Barton 4420226242BF4B3...
Jeffrey Markle Joanne Shanaman	32137 Deerwood Ln Apr 11, 2022 12:14:19	DocuSigned by: PM EDT Jeffrey Markle B414580CC6A0489...
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Simon John	32143 Deerwood Ln Apr 8, 2022 4:08:03	DocuSigned by: PM EDT Simon John 4B4955A310C242U...
Kelley John	32143 Deerwood Ln Apr 8, 2022 3:40:25	DocuSigned by: PM EDT Kelley John 6E0EAA4266AF42E...
William Miller, Jr.	32146 Deerwood Ln Apr 8, 2022 11:29:49	DocuSigned by: AM PDT William Miller, Jr. 85CF97AF396442D...
Lauren Groundland	32146 Deerwood Ln Apr 8, 2022 3:31:44	DocuSigned by: PM EDT Lauren Groundland 4E7FF1A2D36D4A6...
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Mary Killion	32157 Deerwood Ln	
Bruce Marks	32158 Deerwood Ln Apr 9, 2022 10:25:35	DocuSigned by: AM EDT Bruce Marks 71F0C02887E9422...
Robin Marks	32158 Deerwood Ln Apr 9, 2022 11:17:32	DocuSigned by: AM EDT Robin Marks 7C33D419E814436...
Alan Ornitz	32163 Deerwood Ln Apr 8, 2022 2:12:33	DocuSigned by: PM EDT Alan Ornitz 89EF862E2192439...
Elizabeth Aranza	32164 Deerwood Ln Apr 11, 2022 10:49:11	DocuSigned by: AM EDT Elizabeth Aranza E4FBE77166A148B...
Paul Koleszar Donna Koleszar	32169 Deerwood Ln Apr 11, 2022 10:56:26	DocuSigned by: AM EDT Paul and Donna Koleszar 17C33AE7500E499...
Hannah Madden	32170 Deerwood Ln Apr 8, 2022 2:25:39	DocuSigned by: PM EDT Hannah Madden 56D5042FED05400...
Matthew Gaughen	32170 Deerwood Ln Apr 9, 2022 9:35:27	DocuSigned by: AM EDT Matthew Gaughen 4EC02EAB1B4423...

Joann Rossi 13031 Laurel Leaf Dr
Apr 13, 2022 | 7:39:05

Rocco Scutaro 13045 Laurel Leaf Dr
Apr 11, 2022 | 9:36:36

Certificate Of Completion

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Subject: Red Mill Pond South Amenity Letter

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Document Pages: 6

Certificate Pages: 18

AutoNav: Enabled

EnvelopeId Stamping: Enabled

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Status: Sent

Envelope Originator:

Jonathan Contant

90 Matawan Rd

5th Fl

Matawan, NJ 07747

jcontant@khov.com

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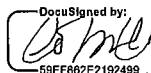
Signer Events

Alan Ornitz

alan.ornitz@gmail.com

Security Level: Email, Account Authentication
(None)

Signature

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59EF862E2192499...

Signature Adoption: Drawn on Device

Signed by link sent to alan.ornitz@gmail.com

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Signed using mobile

Timestamp

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Signed: 4/8/2022 2:12:33 PM

Electronic Record and Signature Disclosure:

Accepted: 9/25/2020 1:17:38 PM

ID: 5163c362-5047-40c5-8d19-e4f9eb0ed084

Alyson Myers

all4aka@gmail.com

Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

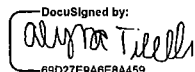
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Alyssa Tilelli

akuz3@hotmail.com

Security Level: Email, Account Authentication
(None)

DocuSigned by:

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Signature Adoption: Drawn on Device

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Accepted: 4/8/2022 2:03:38 PM

ID: 9cdd698f-5c3b-495f-95d6-7ecd8242b620

Angela DenDekker

add196message@live.com

Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

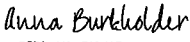
Not Offered via DocuSign

Sent: 4/8/2022 1:49:46 PM

Signer Events

Anna Burkholder
annaburkholder1@gmail.com
Security Level: Email, Account Authentication
(None)

Signature

DocuSigned by:

C5B6141D8F8D407...

Signature Adoption: Pre-selected Style
Signed by link sent to annaburkholder1@gmail.com
Using IP Address: 73.201.110.76
Signed using mobile

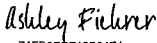
Timestamp

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Viewed: 4/8/2022 4:45:59 PM
Signed: 4/8/2022 4:46:31 PM

Electronic Record and Signature Disclosure:

Accepted: 9/4/2020 10:37:29 AM
ID: 30544504-df01-4980-9786-85805b8d6852

Ashley Fiehrer
agrove80@gmail.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

71FB8EEE18B04F4...

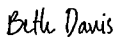
Signature Adoption: Pre-selected Style
Signed by link sent to agrove80@gmail.com
Using IP Address: 174.196.136.184
Signed using mobile

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Signed: 4/8/2022 2:01:35 PM

Electronic Record and Signature Disclosure:

Accepted: 7/28/2020 2:23:42 PM
ID: 6141c505-d3e5-4337-8668-c44c7328ca0f

Beth Davis
baedavis@live.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

94BADDEAC9EC434...

Signature Adoption: Pre-selected Style
Signed by link sent to baedavis@live.com
Using IP Address: 73.133.114.154
Signed using mobile

Sent: 4/8/2022 1:49:35 PM
Viewed: 4/8/2022 4:31:23 PM
Signed: 4/8/2022 4:32:09 PM

Electronic Record and Signature Disclosure:

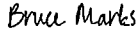
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ID: a4e8a0ab-70e2-4be8-8842-5af36101a95a

Brian Porter
blp9405@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

Not Offered via DocuSign

Bruce Marks
brucemarks@gmail.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

71F0E02B87E9422...

Signature Adoption: Pre-selected Style
Signed by link sent to brucemarks@gmail.com
Using IP Address: 71.206.58.47

Sent: 4/8/2022 1:49:35 PM

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Viewed: 4/9/2022 10:23:21 AM
Signed: 4/9/2022 10:25:35 AM

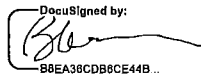
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Accepted: 6/30/2020 5:01:39 PM
ID: 62409602-9312-4afd-909a-f58085daeb8a

Signer Events

Bruce Salinger
Bruce.salinger@gmail.com
Security Level: Email, Account Authentication
(None)

Signature

DocuSigned by:

B8EA38CDB8CE44B...

Signature Adoption: Drawn on Device
Signed by link sent to Bruce.salinger@gmail.com
Using IP Address: 73.226.169.47
Signed using mobile

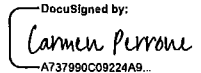
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Electronic Record and Signature Disclosure:

Accepted: 4/9/2022 7:39:45 AM
ID: 7345c111-6ff7-4f04-aa0e-823c2d8537f6

Carmen Perrone
cdperrone@gmail.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

A737990C09224A9...

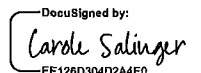
Signature Adoption: Pre-selected Style
Signed by link sent to cdperrone@gmail.com
Using IP Address: 73.133.114.249
Signed using mobile

Sent: 4/8/2022 1:49:48 PM
Viewed: 4/11/2022 3:47:31 PM
Signed: 4/11/2022 3:50:47 PM

Electronic Record and Signature Disclosure:

Accepted: 8/16/2020 2:59:19 PM
ID: 33aca282-de98-417e-bfbc-019289ca80f1

Carole Salinger
cjsalinger@gmail.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

EE126D304D2A4E0...

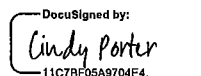
Signature Adoption: Pre-selected Style
Signed by link sent to cjsalinger@gmail.com
Using IP Address: 73.226.169.47
Signed using mobile

Sent: 4/8/2022 1:49:48 PM
Viewed: 4/9/2022 8:51:18 PM
Signed: 4/9/2022 8:54:47 PM

Electronic Record and Signature Disclosure:

Accepted: 4/9/2022 8:51:18 PM
ID: 04175958-6d62-4cab-b339-01b0ccdbc32e

Cindy Porter
PORTER3CL@GMAIL.COM
Security Level: Email, Account Authentication
(None)

DocuSigned by:

11C7BF05A9704E4...

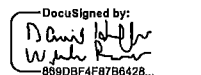
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Using IP Address: 71.206.56.52

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Viewed: 4/13/2022 7:54:12 AM
Signed: 4/13/2022 7:56:45 AM

Electronic Record and Signature Disclosure:

Accepted: 4/13/2022 7:54:12 AM
ID: 3f7740d3-0eb8-4e6e-b1f9-846c462f9305

Daniel Huffman and Marc Russell
huffman7659@hotmail.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

889DBF4F87B6428...

Signature Adoption: Drawn on Device
Signed by link sent to huffman7659@hotmail.com
Using IP Address: 172.58.201.89
Signed using mobile

Sent: 4/11/2022 10:01:18 AM
Viewed: 4/11/2022 12:07:45 PM
Signed: 4/11/2022 12:09:49 PM

Electronic Record and Signature Disclosure:

Accepted: 4/11/2022 12:07:45 PM
ID: 8cfcfa56-ec3f-4cda-946e-6a5997a34520

Signer Events

Daniel McLean
Gayle.mc12@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

Accepted: 4/9/2022 6:59:32 AM
ID: d66a683b-aaba-4183-a600-b388f668bba0

Daniel McLean
dmclean53@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

Accepted: 7/8/2020 6:02:33 PM
ID: ee63a54e-6c97-40a3-9f52-f7babeaf8362

Darrell Piatt
darrell@thepiatts.net
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

Accepted: 4/8/2022 1:58:57 PM
ID: a8c01ea9-cc21-4403-ba99-c785e774a673

Dennis Barton
Dbart07@yahoo.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

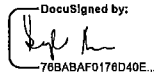
Accepted: 4/8/2022 3:18:26 PM
ID: 39d1cdbe-a1f4-426e-94c1-c6552d969cd2

dennis casey
dpcasey88@aol.com
Security Level: Email, Account Authentication
(None)

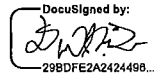
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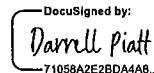
Signature

DocuSigned by:

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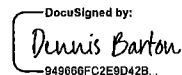
Signature Adoption: Drawn on Device
Signed by link sent to Gayle.mc12@gmail.com
Using IP Address: 71.206.16.100
Signed using mobile

DocuSigned by:

298DFE2A2424498...

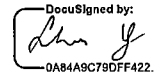
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Signed by link sent to dmclean53@gmail.com
Using IP Address: 71.206.16.100

DocuSigned by:

71058A2E2BDA4A8...

Signature Adoption: Pre-selected Style
Signed by link sent to darrell@thepiatts.net
Using IP Address: 73.134.183.65

DocuSigned by:

949666FC2E9D42B...

Signature Adoption: Pre-selected Style
Signed by link sent to Dbart07@yahoo.com
Using IP Address: 73.134.198.91

DocuSigned by:

0A84A9C79DFF422...

Signature Adoption: Drawn on Device
Signed by link sent to dpcasey88@aol.com
Using IP Address: 73.134.189.192
Signed using mobile

Timestamp

Sent: 4/8/2022 1:49:37 PM
Viewed: 4/9/2022 6:59:32 AM
Signed: 4/9/2022 7:02:44 AM

Sent: 4/8/2022 1:49:38 PM
Viewed: 4/8/2022 6:28:09 PM
Signed: 4/8/2022 6:33:33 PM

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Viewed: 4/8/2022 1:58:57 PM
Signed: 4/8/2022 2:02:07 PM

Sent: 4/8/2022 1:49:49 PM
Viewed: 4/8/2022 3:18:26 PM
Signed: 4/8/2022 3:19:08 PM

Sent: 4/8/2022 1:49:50 PM
Viewed: 4/9/2022 12:15:32 PM
Signed: 4/9/2022 12:29:37 PM

Signer Events

Donald and Sharon Cooper
dccooperjr@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Not Offered via DocuSign

Dorren Casey
dorrenc@aol.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 4/9/2022 12:36:00 PM
ID: e205723b-5f00-49af-ba80-d8a4ce04ef74

Elizabeth Aranza
lizaranza16@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 6/3/2021 4:13:37 PM
ID: 66b8c458-bf7d-4894-9348-2aeb63e496e6

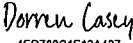
Ellen Brennan
ellenbrennan2501@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
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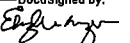
GARY D KUNKEL
pappydean@msn.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 6/3/2020 10:35:12 AM
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Signature

DocuSigned by:

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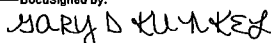
Signature Adoption: Pre-selected Style
Signed by link sent to dorrenc@aol.com
Using IP Address: 73.134.189.192

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E4FDE77188A149B...

Signature Adoption: Drawn on Device
Signed by link sent to lizaranza16@gmail.com
Using IP Address: 98.233.153.202

DocuSigned by:

1DFC5E2A87E044B...

Signature Adoption: Drawn on Device
Signed by link sent to ellenbrennan2501@gmail.com
Using IP Address: 96.227.242.233
Signed using mobile

DocuSigned by:

21C78C938CB84E8...

Signature Adoption: Pre-selected Style
Signed by link sent to pappydean@msn.com
Using IP Address: 73.129.40.214

Timestamp

Sent: 4/8/2022 1:49:37 PM

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Viewed: 4/9/2022 12:36:00 PM
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Sent: 4/8/2022 1:49:51 PM
Viewed: 4/11/2022 10:48:12 AM
Signed: 4/11/2022 10:49:11 AM


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Signed: 4/9/2022 9:00:27 AM

Sent: 4/8/2022 1:49:38 PM
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Signed: 4/8/2022 2:44:13 PM

Signer Events

George and Eileen Mitchell
gsagejr@gmail.com
Security Level: Email, Account Authentication
(None)

Signature

DocuSigned by:

BD3D0E08E9CB42A...

Signature Adoption: Pre-selected Style
Signed by link sent to gsagejr@gmail.com
Using IP Address: 172.225.112.181

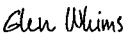
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Signed: 4/9/2022 7:14:59 AM

Electronic Record and Signature Disclosure:

Accepted: 4/9/2022 7:11:32 AM
ID: c22e7180-0dca-40b7-92eb-53362dc6797d

Glen Whims
gwhims@aol.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

32D780610D694DD...

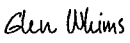
Signature Adoption: Pre-selected Style
Signed by link sent to gwhims@aol.com
Using IP Address: 71.206.56.168
Signed using mobile

Sent: 4/8/2022 1:49:36 PM
Viewed: 4/8/2022 5:24:47 PM
Signed: 4/9/2022 3:50:54 PM

Electronic Record and Signature Disclosure:

Accepted: 6/3/2020 10:25:29 AM
ID: fb49825e-6d4a-4115-beb2-0ef329882db0

Glen Whims
twhims@aol.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

D6923647DC314F5...


Signature Adoption: Pre-selected Style
Signed by link sent to twhims@aol.com
Using IP Address: 71.206.56.168

Sent: 4/8/2022 1:49:39 PM
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Signed: 4/9/2022 3:49:19 PM

Electronic Record and Signature Disclosure:

Accepted: 4/9/2022 3:47:22 PM
ID: 766e74ee-2e3b-48c3-bfb7-c75a56d6b69a

Hannah Madden
Hannah.madden@yahoo.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

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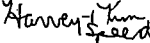
Signature Adoption: Drawn on Device
Signed by link sent to Hannah.madden@yahoo.com
Using IP Address: 166.137.175.68
Signed using mobile

Sent: 4/8/2022 1:49:51 PM
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Signed: 4/8/2022 2:25:39 PM

Electronic Record and Signature Disclosure:

Accepted: 1/7/2021 2:31:43 PM
ID: a0618178-21dd-486c-a687-820fde0396a

Harvey and Kimberly Speed
lilkid1@comcast.net
Security Level: Email, Account Authentication
(None)

DocuSigned by:

A1705231681E45A...

Signature Adoption: Drawn on Device
Signed by link sent to lilkid1@comcast.net
Using IP Address: 107.77.194.6
Signed using mobile

Sent: 4/8/2022 1:49:39 PM
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Signed: 4/13/2022 1:46:16 AM

Electronic Record and Signature Disclosure:

Accepted: 4/10/2022 1:04:28 PM
ID: 4ac9539f-22e9-4cad-a7b0-31a2cf21a379

Signer Events

Jack Goodman
jack_goodman@comcast.net
Security Level: Email, Account Authentication
(None)

Signature

DocuSigned by:

32EF7136A1744F3...

Signature Adoption: Pre-selected Style
Signed by link sent to jack_goodman@comcast.net
Using IP Address: 73.195.42.238

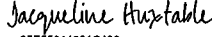
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Electronic Record and Signature Disclosure:

Accepted: 4/8/2022 2:29:02 PM
ID: f7c4e172-52e9-423f-9388-ff30b5e99037

Jacqueline Huxtable
jhuxtab28@gmail.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

85E55014201C403...

Signature Adoption: Pre-selected Style
Signed by link sent to jhuxtab28@gmail.com
Using IP Address: 71.206.59.198

Sent: 4/8/2022 1:49:52 PM
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Signed: 4/8/2022 3:59:30 PM

Electronic Record and Signature Disclosure:

Accepted: 4/8/2022 3:53:17 PM
ID: 555fefd4-a536-41ea-988a-091ca0337a04


James and Mary Henn
kbhenn@verizon.net
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

Not Offered via DocuSign

Sent: 4/8/2022 1:49:40 PM

Jamie Devine
jmdtaz2007@comcast.net
Security Level: Email, Account Authentication
(None)

DocuSigned by:

7E2D0BA0A6D4F5...

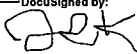
Signature Adoption: Drawn on Device
Signed by link sent to jmdtaz2007@comcast.net
Using IP Address: 73.133.114.95
Signed using mobile

Sent: 4/8/2022 1:49:52 PM
Viewed: 4/9/2022 6:53:50 PM
Signed: 4/9/2022 6:55:21 PM

Electronic Record and Signature Disclosure:

Accepted: 7/18/2020 4:13:08 PM
ID: ce4514cd-feca-4d2d-b8fd-1e77899ab200

Jeffrey Killion
jkillion58@gmail.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

B49C4B2A4658408...

Signature Adoption: Drawn on Device
Signed by link sent to jkillion58@gmail.com
Using IP Address: 73.134.194.222
Signed using mobile

Sent: 4/8/2022 1:49:53 PM
Viewed: 4/8/2022 2:10:25 PM
Signed: 4/8/2022 2:12:46 PM

Electronic Record and Signature Disclosure:

Accepted: 4/8/2022 2:10:25 PM
ID: 1a993da5-507b-4b58-b3f1-5946212e6561

Signer Events

Jeffrey Markle and Joanne Shanaman
jamarkle@ymail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 4/11/2022 12:12:58 PM
ID: 4fbe219f-b41a-4d9e-b4a0-6255a5b014af

Joann Rossi
rossijoann5@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 7/29/2020 5:35:30 PM
ID: 1ece90d2-a12c-4543-9b94-c80b6cf5006d

Joseph Tilelli
j.tilelli@yahoo.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 4/8/2022 2:29:36 PM
ID: 7dc4445e-762d-4fb4-9101-4f081a64c650

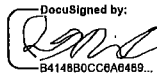
Kathleen Barton
katbart57@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 4/8/2022 3:15:07 PM
ID: f6322fd8-8d19-4051-a43b-290ca22cdd0f

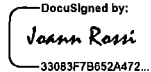
Kelley John
kelleyjohn@outlook.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 10/4/2020 4:06:49 PM
ID: d671a1ff-0a69-4eb6-b008-50a9b209b3c2

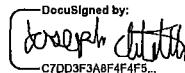
Signature

DocuSigned by:

B4148B0CC6A6469...

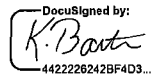
Signature Adoption: Drawn on Device
Signed by link sent to jamarkle@ymail.com
Using IP Address: 98.115.106.5
Signed using mobile

DocuSigned by:

33083F7B652A472...

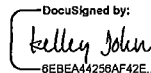
Signature Adoption: Pre-selected Style
Signed by link sent to rossijoann5@gmail.com
Using IP Address: 71.206.57.184
Signed using mobile

DocuSigned by:

C7DD3F3A8F4F4F5...

Signature Adoption: Drawn on Device
Signed by link sent to j.tilelli@yahoo.com
Using IP Address: 73.201.104.205
Signed using mobile

DocuSigned by:

4422226242BF4D3...

Signature Adoption: Drawn on Device
Signed by link sent to katbart57@gmail.com
Using IP Address: 173.63.233.18
Signed using mobile

DocuSigned by:

0EBEA44258AF42E...

Signature Adoption: Pre-selected Style
Signed by link sent to kelleyjohn@outlook.com
Using IP Address: 73.134.177.87
Signed using mobile

Timestamp

Sent: 4/8/2022 1:49:53 PM
Resent: 4/8/2022 1:52:25 PM
Resent: 4/11/2022 10:01:17 AM
Viewed: 4/11/2022 12:12:58 PM
Signed: 4/11/2022 12:14:19 PM

Sent: 4/11/2022 10:01:17 AM
Viewed: 4/11/2022 10:03:11 AM
Signed: 4/13/2022 7:39:05 AM

Sent: 4/8/2022 1:49:53 PM
Viewed: 4/8/2022 2:29:36 PM
Signed: 4/8/2022 2:32:58 PM

Sent: 4/8/2022 1:49:54 PM
Viewed: 4/8/2022 3:15:07 PM
Signed: 4/8/2022 3:27:40 PM

Sent: 4/8/2022 1:49:54 PM
Viewed: 4/8/2022 6:34:42 PM
Signed: 4/8/2022 6:40:25 PM

Signer Events

Kelly Piatt
Kelly@thepiatts.net
Security Level: Email, Account Authentication
(None)

Signature

DocuSigned by:

D14FDB13168A4EA...

Signature Adoption: Pre-selected Style
Signed by link sent to Kelly@thepiatts.net
Using IP Address: 73.134.183.65
Signed using mobile

Timestamp

Sent: 4/8/2022 1:49:55 PM
Viewed: 4/8/2022 7:18:24 PM
Signed: 4/8/2022 7:19:52 PM

Electronic Record and Signature Disclosure:

Accepted: 4/8/2022 7:18:24 PM
ID: 79a22113-721a-48d1-a949-31225828de3f


Kenneth and Linda Kozloff
Kkozloff@verizon.net
Security Level: Email, Account Authentication
(None)

Sent: 4/8/2022 1:49:55 PM
Viewed: 4/9/2022 9:35:04 AM

Electronic Record and Signature Disclosure:

Accepted: 9/17/2020 11:20:27 AM
ID: 0d017656-29a8-48ae-b087-6325c383b6f5

Lauren Groundland
lauren.groundland@gmail.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

4E7FF1A2D36D4A8...


Signature Adoption: Pre-selected Style
Signed by link sent to lauren.groundland@gmail.com
Using IP Address: 207.245.79.203

Sent: 4/8/2022 1:49:55 PM
Viewed: 4/8/2022 3:30:08 PM
Signed: 4/8/2022 3:31:44 PM

Electronic Record and Signature Disclosure:

Accepted: 4/8/2022 3:30:08 PM
ID: cae50148-1e45-46a8-afc8-0c26785cebbf

Lori Goodman
goodwoman1021@aol.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

1C80449EBE874F1...


Signature Adoption: Pre-selected Style
Signed by link sent to goodwoman1021@aol.com
Using IP Address: 73.195.42.238

Sent: 4/8/2022 1:49:56 PM
Viewed: 4/9/2022 12:16:20 AM
Signed: 4/9/2022 12:17:00 AM

Electronic Record and Signature Disclosure:

Accepted: 4/9/2022 12:16:20 AM
ID: 7c3956fd-bae1-4efd-a421-d02353576436

Lourdes and James Griffin
lggriffin3@gmail.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

C46023CAEA23437...

Signature Adoption: Pre-selected Style
Signed by link sent to lggriffin3@gmail.com
Using IP Address: 198.50.64.253

Sent: 4/8/2022 1:49:40 PM
Viewed: 4/8/2022 7:01:40 PM
Signed: 4/8/2022 7:03:20 PM

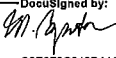
Electronic Record and Signature Disclosure:

Accepted: 4/8/2022 7:01:40 PM
ID: e889e2a2-5c64-441c-8a59-6d6a9d5700fa

Signer Events

Marie Capitolo
marieperaza@msn.com
Security Level: Email, Account Authentication
(None)

Signature

DocuSigned by:

C8E9F9C042B44A0...

Signature Adoption: Drawn on Device
Signed by link sent to marieperaza@msn.com
Using IP Address: 174.198.12.205
Signed using mobile

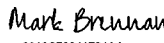
Timestamp

Sent: 4/8/2022 1:49:50 PM
Viewed: 4/11/2022 8:09:43 AM
Signed: 4/11/2022 8:13:03 AM

Electronic Record and Signature Disclosure:

Accepted: 3/8/2021 7:18:06 PM
ID: 205235b6-d032-47c0-ad92-3a666c576892

Mark Brennan
markbrennan64@comcast.net
Security Level: Email, Account Authentication
(None)

DocuSigned by:

0316C70341734A4...

Signature Adoption: Pre-selected Style
Signed by link sent to markbrennan64@comcast.net
Using IP Address: 96.227.242.233
Signed using mobile

Sent: 4/8/2022 1:49:41 PM
Viewed: 4/9/2022 7:14:31 AM
Signed: 4/9/2022 7:16:00 AM

Electronic Record and Signature Disclosure:

Accepted: 6/23/2020 7:59:09 AM
ID: ba3a0b4f-6a49-4460-b43e-977add26b347

Mary Killion
marykillion@verizon.net
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

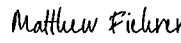
Accepted: 3/4/2021 4:37:18 PM
ID: 95ad812a-3fcf-4ac6-8bfc-5e7f9137b1f2

Mary Wright
mcwrighth@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

Accepted: 4/2/2020 10:54:53 AM
ID: 52b89c34-e375-45ae-be85-035b19fd3aae

Matthew Fiehrer
mfiehrer@yahoo.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

FAFAB891F8A54F5...

Signature Adoption: Pre-selected Style
Signed by link sent to mfiehrer@yahoo.com
Using IP Address: 98.233.155.221
Signed using mobile

Sent: 4/8/2022 1:49:56 PM


Sent: 4/8/2022 1:49:41 PM

Sent: 4/8/2022 1:49:57 PM
Viewed: 4/8/2022 2:04:18 PM
Signed: 4/8/2022 2:05:01 PM

Electronic Record and Signature Disclosure:

Accepted: 8/14/2020 3:48:35 PM
ID: 10894cfe-06ea-4504-a75f-5a3e03451ad8

Matthew Gaughen
mjg1558@gmail.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

4EC02EA4B1B4423...

Signature Adoption: Drawn on Device
Signed by link sent to mjg1558@gmail.com
Using IP Address: 104.28.55.184
Signed using mobile

Sent: 4/8/2022 1:49:57 PM
Viewed: 4/9/2022 9:33:32 AM
Signed: 4/9/2022 9:35:27 AM

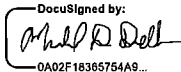
Electronic Record and Signature Disclosure:

Accepted: 4/9/2022 9:33:32 AM
ID: ccb994fb-251f-489e-8f16-2defee1ee873

Signer Events

Michael DenDekker
mgdendekker@gmail.com
Security Level: Email, Account Authentication
(None)

Signature

DocuSigned by:

0A02F18365754A9...

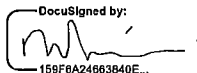
Signature Adoption: Drawn on Device
Signed by link sent to mgdendekker@gmail.com
Using IP Address: 73.134.164.83
Signed using mobile

Timestamp

Sent: 4/8/2022 1:49:58 PM
Viewed: 4/9/2022 8:35:09 AM
Signed: 4/9/2022 8:36:00 AM

Electronic Record and Signature Disclosure:
Accepted: 4/9/2022 8:35:09 AM
ID: e9b246b9-fe9f-47cd-9a5d-25b9debf3033

Michael Saienni
bassmaster41253@gmail.com
Security Level: Email, Account Authentication
(None)

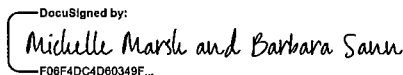
DocuSigned by:

159F8A24663840E...

Signature Adoption: Drawn on Device
Signed by link sent to bassmaster41253@gmail.com
Using IP Address: 73.134.198.114
Signed using mobile

Sent: 4/8/2022 1:49:58 PM
Viewed: 4/8/2022 1:59:52 PM
Signed: 4/8/2022 2:02:39 PM

Electronic Record and Signature Disclosure:
Accepted: 11/16/2020 2:35:40 PM
ID: a23de27b-38d0-41a2-9764-8355a3b8d371

Michelle Marsh and Barbara Sann
sannmarhrs@gmail.com
Security Level: Email, Account Authentication
(None)

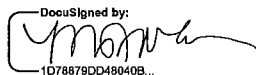
DocuSigned by:

F06F4DC4D60349F...

Signature Adoption: Pre-selected Style
Signed by link sent to sannmarhrs@gmail.com
Using IP Address: 71.206.16.134

Sent: 4/8/2022 1:49:42 PM
Viewed: 4/8/2022 2:53:31 PM
Signed: 4/8/2022 2:56:08 PM

Electronic Record and Signature Disclosure:
Accepted: 4/8/2022 2:53:31 PM
ID: bf443ec7-ffd1-47f1-bcf3-554fde405ad5

Misty Joy Warren
mistyjwarren@gmail.com
Security Level: Email, Account Authentication
(None)

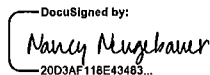
DocuSigned by:

1D78879DD48040B...

Signature Adoption: Drawn on Device
Signed by link sent to mistyjwarren@gmail.com
Using IP Address: 73.133.114.33
Signed using mobile

Sent: 4/8/2022 1:49:42 PM
Viewed: 4/8/2022 4:31:16 PM
Signed: 4/8/2022 4:32:00 PM

Electronic Record and Signature Disclosure:
Accepted: 7/27/2020 9:17:12 AM
ID: 62d69014-16a3-47ff-9d50-c6ef2fb0e535

Nancy Neugebauer
shopmom1952@comcast.net
Security Level: Email, Account Authentication
(None)

DocuSigned by:

20D3AF118E43483...

Signature Adoption: Pre-selected Style
Signed by link sent to shopmom1952@comcast.net
Using IP Address: 73.107.4.20
Signed using mobile


Sent: 4/8/2022 1:49:59 PM
Viewed: 4/9/2022 9:56:07 AM
Signed: 4/9/2022 9:59:46 AM

Electronic Record and Signature Disclosure:
Accepted: 9/1/2020 10:21:34 AM
ID: cc23c1fd-44d5-470a-b6fc-4401b46fc269

Signer Events

Paul and Donna Koleszar
pkoleszar@comcast.net
Security Level: Email, Account Authentication
(None)

Signature

DocuSigned by:

17C33AE7500E4B9...

Signature Adoption: Pre-selected Style
Signed by link sent to pkoleszar@comcast.net
Using IP Address: 8.44.152.176

Timestamp

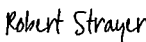
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Signed: 4/11/2022 10:56:26 AM

Electronic Record and Signature Disclosure:
Accepted: 4/11/2022 10:54:10 AM
ID: f97e94eb-8c48-4096-849f-0e9bc3c5b709

Raymond Tomasky
raysgreenergrass@aol.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 7/28/2020 7:37:48 PM
ID: 4b3e0f0c-c871-4b5a-a67b-e9ed23c4524e

Robert Strayer
1960rms@gmail.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

7DEE2617AC544E1...


Signature Adoption: Pre-selected Style
Signed by link sent to 1960rms@gmail.com
Using IP Address: 76.99.255.97
Signed using mobile

Sent: 4/8/2022 1:49:42 PM

Sent: 4/8/2022 1:50:00 PM
Viewed: 4/9/2022 9:16:11 AM
Signed: 4/9/2022 9:17:28 AM

Electronic Record and Signature Disclosure:
Accepted: 7/28/2020 12:13:51 PM
ID: 056ef28b-86e7-456a-91ba-3b436256ed09

Robin Marks
marks0006@gmail.com
Security Level: Email, Account Authentication
(None)

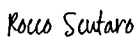
DocuSigned by:

7C93D419E814436...

Signature Adoption: Drawn on Device
Signed by link sent to marks0006@gmail.com
Using IP Address: 71.206.58.47
Signed using mobile

Sent: 4/8/2022 1:50:00 PM
Viewed: 4/9/2022 11:14:10 AM
Signed: 4/9/2022 11:17:32 AM

Electronic Record and Signature Disclosure:
Accepted: 4/9/2022 11:14:10 AM
ID: cabb5694-3732-4615-a81e-38acd280176d

Rocco Scutaro
rocco.scutaro@icloud.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

8215B7EC0ACD473...

Signature Adoption: Pre-selected Style
Signed by link sent to rocco.scutaro@icloud.com
Using IP Address: 73.133.114.173
Signed using mobile

Sent: 4/11/2022 10:01:18 AM
Viewed: 4/11/2022 11:35:48 AM
Signed: 4/11/2022 11:36:36 AM

Electronic Record and Signature Disclosure:
Accepted: 4/11/2022 11:35:48 AM
ID: b5e3e382-8a4e-4577-a752-c3d096574e87

Roger and Lesley Levi
rogerlevi@hotmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Accepted: 7/8/2020 9:07:06 PM
ID: d29953b3-3fcf-442b-aab3-13f5b7db744f

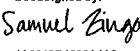
Signed on 4/15/22

Sent: 4/8/2022 1:49:43 PM

Signer Events

Samuel Zingo
zaman27@aol.com
Security Level: Email, Account Authentication
(None)

Signature

DocuSigned by:

1A0313D4638A4A0...

Signature Adoption: Pre-selected Style
Signed by link sent to zaman27@aol.com
Using IP Address: 107.77.195.231
Signed using mobile

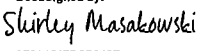
Timestamp

Sent: 4/8/2022 1:49:43 PM
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Signed: 4/9/2022 6:24:16 AM

Electronic Record and Signature Disclosure:

Accepted: 6/3/2020 4:08:32 PM
ID: 2063c176-e264-471a-9f53-1a3db3ffebc6

Shirley Masakowski
toots53@comcast.net
Security Level: Email, Account Authentication
(None)

DocuSigned by:

0F8A1017BCB343F...

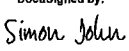
Signature Adoption: Pre-selected Style
Signed by link sent to toots53@comcast.net
Using IP Address: 73.129.46.11

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Viewed: 4/8/2022 2:16:32 PM
Signed: 4/9/2022 7:50:10 AM

Electronic Record and Signature Disclosure:

Accepted: 9/13/2020 5:35:05 PM
ID: f26ecd37-21c2-421d-8fe7-a8de533416d9

Simon John
simon-tjohn@outlook.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

48A955A310C2420...

Signature Adoption: Pre-selected Style
Signed by link sent to simon-tjohn@outlook.com
Using IP Address: 73.134.177.87
Signed using mobile

Sent: 4/8/2022 1:50:01 PM
Viewed: 4/8/2022 4:06:38 PM
Signed: 4/8/2022 4:08:03 PM

Electronic Record and Signature Disclosure:

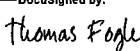
Accepted: 10/4/2020 6:27:47 AM
ID: 9aa4add8-7d87-4550-98ff-5bee7aa74dea

Stuart Wright
swrighth9@gmail.com
Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:

Accepted: 4/2/2020 10:40:25 AM
ID: 3ae5f584-357e-42b0-9ceb-f4ed78b02b55

Thomas Fogle
tfogle53@gmail.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

DDC0080E88C8476...

Signature Adoption: Pre-selected Style
Signed by link sent to tfogle53@gmail.com
Using IP Address: 76.99.255.97

Sent: 4/8/2022 1:49:44 PM

Sent: 4/8/2022 1:50:01 PM
Viewed: 4/9/2022 8:28:15 AM
Signed: 4/9/2022 8:30:51 AM

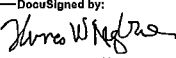
Electronic Record and Signature Disclosure:

Accepted: 4/9/2022 8:28:14 AM
ID: 1bf1d82d-1b7e-438f-920e-38922da6c755

Signer Events

Thomas Neugebauer
T5907@aol.com
Security Level: Email, Account Authentication
(None)

Signature

DocuSigned by:

779B12C8B57413...

Signature Adoption: Drawn on Device
Signed by link sent to T5907@aol.com
Using IP Address: 73.107.4.20
Signed using mobile

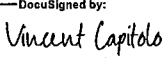
Timestamp

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Signed: 4/9/2022 10:01:56 AM

Electronic Record and Signature Disclosure:

Accepted: 4/9/2022 10:00:36 AM
ID: c2bc9d4d-7a0f-41fc-957d-ea9086b544a5

Vincent Capito
vcapitolo@msn.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

9F34F9935D0D4A0...

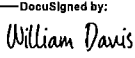
Signature Adoption: Pre-selected Style
Signed by link sent to vcapitolo@msn.com
Using IP Address: 63.119.143.90

Sent: 4/8/2022 1:50:02 PM
Viewed: 4/11/2022 3:22:42 PM
Signed: 4/11/2022 3:25:36 PM

Electronic Record and Signature Disclosure:

Accepted: 4/11/2022 3:22:42 PM
ID: 911ff051-8c5e-4707-aa2d-5897d4b38cee

William Davis
wmddavis@gmail.com
Security Level: Email, Account Authentication
(None)

DocuSigned by:

5B62FB5113D84DC...

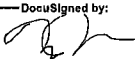
Signature Adoption: Pre-selected Style
Signed by link sent to wmddavis@gmail.com
Using IP Address: 73.133.114.154
Signed using mobile

Sent: 4/8/2022 1:49:44 PM
Viewed: 4/8/2022 2:06:28 PM
Signed: 4/8/2022 2:07:34 PM

Electronic Record and Signature Disclosure:

Accepted: 4/8/2022 2:06:28 PM
ID: 65aa4059-2c69-42f4-8c53-3a2205417549

William Miller, Jr.
bmiller@wilmingtonfriends.org
Security Level: Email, Account Authentication
(None)

DocuSigned by:

85CFC7AF936442D...

Signature Adoption: Drawn on Device
Signed by link sent to bmiller@wilmingtonfriends.org
Using IP Address: 174.216.49.93
Signed using mobile

Sent: 4/8/2022 1:50:03 PM
Viewed: 4/8/2022 2:23:23 PM
Signed: 4/8/2022 2:29:49 PM

Electronic Record and Signature Disclosure:

Accepted: 4/8/2022 2:23:23 PM
ID: dbf24e76-84f8-4f8b-b27a-bad116beb6bc

In Person Signer Events

Signature

Timestamp

Editor Delivery Events

Status

Timestamp

Agent Delivery Events

Status

Timestamp

Intermediary Delivery Events

Status

Timestamp

Certified Delivery Events

Status

Timestamp

Carbon Copy Events

Status

Timestamp

Witness Events	Signature	Timestamp
Notary Events	Signature	Timestamp
Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	4/8/2022 1:50:05 PM
Certified Delivered	Security Checked	4/8/2022 2:23:23 PM
Signing Complete	Security Checked	4/8/2022 2:29:49 PM
Payment Events	Status	Timestamps
Electronic Record and Signature Disclosure		

ELECTRONIC RECORD AND SIGNATURE DISCLOSURE

From time to time, K. Hovnanian Homes (we, us or Company) may be required by law to provide to you certain written notices or disclosures. Described below are the terms and conditions for providing to you such notices and disclosures electronically through the DocuSign system. Please read the information below carefully and thoroughly, and if you can access this information electronically to your satisfaction and agree to this Electronic Record and Signature Disclosure (ERSD), please confirm your agreement by selecting the check-box next to 'I agree to use electronic records and signatures' before clicking 'CONTINUE' within the DocuSign system.

Getting paper copies

At any time, you may request from us a paper copy of any record provided or made available electronically to you by us. You will have the ability to download and print documents we send to you through the DocuSign system during and immediately after the signing session and, if you elect to create a DocuSign account, you may access the documents for a limited period of time (usually 30 days) after such documents are first sent to you. After such time, if you wish for us to send you paper copies of any such documents from our office to you, you will be charged a \$0.00 per-page fee. You may request delivery of such paper copies from us by following the procedure described below.

Withdrawing your consent

If you decide to receive notices and disclosures from us electronically, you may at any time change your mind and tell us that thereafter you want to receive required notices and disclosures only in paper format. How you must inform us of your decision to receive future notices and disclosure in paper format and withdraw your consent to receive notices and disclosures electronically is described below.

Consequences of changing your mind

If you elect to receive required notices and disclosures only in paper format, it will slow the speed at which we can complete certain steps in transactions with you and delivering services to you because we will need first to send the required notices or disclosures to you in paper format, and then wait until we receive back from you your acknowledgment of your receipt of such paper notices or disclosures. Further, you will no longer be able to use the DocuSign system to receive required notices and consents electronically from us or to sign electronically documents from us.

All notices and disclosures will be sent to you electronically

Unless you tell us otherwise in accordance with the procedures described herein, we will provide electronically to you through the DocuSign system all required notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to you during the course of our relationship with you. To reduce the chance of you inadvertently not receiving any notice or disclosure, we prefer to provide all of the required notices and disclosures to you by the same method and to the same address that you have given us. Thus, you can receive all the disclosures and notices electronically or in paper format through the paper mail delivery system. If you do not agree with this process, please let us know as described below. Please also see the paragraph immediately above that describes the consequences of your electing not to receive delivery of the notices and disclosures electronically from us.

How to contact K. Hovnanian Homes:

You may contact us to let us know of your changes as to how we may contact you electronically, to request paper copies of certain information from us, and to withdraw your prior consent to receive notices and disclosures electronically as follows:

To contact us by email send messages to: pperillo@khov.com

To advise K. Hovnanian Homes of your new email address

To let us know of a change in your email address where we should send notices and disclosures electronically to you, you must send an email message to us at pperillo@khov.com and in the body of such request you must state: your previous email address, your new email address. We do not require any other information from you to change your email address.

If you created a DocuSign account, you may update it with your new email address through your account preferences.

To request paper copies from K. Hovnanian Homes

To request delivery from us of paper copies of the notices and disclosures previously provided by us to you electronically, you must send us an email to pperillo@khov.com and in the body of such request you must state your email address, full name, mailing address, and telephone number. We will bill you for any fees at that time, if any.

To withdraw your consent with K. Hovnanian Homes

To inform us that you no longer wish to receive future notices and disclosures in electronic format you may:

- i. decline to sign a document from within your signing session, and on the subsequent page, select the check-box indicating you wish to withdraw your consent, or you may;
- ii. send us an email to pperillo@khov.com and in the body of such request you must state your email, full name, mailing address, and telephone number. We do not need any other information from you to withdraw consent.. The consequences of your withdrawing consent for online documents will be that transactions may take a longer time to process..

Required hardware and software

The minimum system requirements for using the DocuSign system may change over time. The current system requirements are found here: <https://support.docusign.com/guides/signer-guide-signing-system-requirements>.

Acknowledging your access and consent to receive and sign documents electronically

To confirm to us that you can access this information electronically, which will be similar to other electronic notices and disclosures that we will provide to you, please confirm that you have read this ERSD, and (i) that you are able to print on paper or electronically save this ERSD for your future reference and access; or (ii) that you are able to email this ERSD to an email address where you will be able to print on paper or save it for your future reference and access. Further, if you consent to receiving notices and disclosures exclusively in electronic format as described herein, then select the check-box next to 'I agree to use electronic records and signatures' before clicking 'CONTINUE' within the DocuSign system.

By selecting the check-box next to 'I agree to use electronic records and signatures', you confirm that:

- You can access and read this Electronic Record and Signature Disclosure; and
- You can print on paper this Electronic Record and Signature Disclosure, or save or send this Electronic Record and Disclosure to a location where you can print it, for future reference and access; and
- Until or unless you notify K. Hovnanian Homes as described above, you consent to receive exclusively through electronic means all notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to you by K. Hovnanian Homes during the course of your relationship with K. Hovnanian Homes.



18958 Coastal Highway, Suite D
Rehoboth Beach, DE 19971
302.644.1155

May 18, 2022
Via FedEx

Sussex County Planning & Zoning
2 The Circle
Georgetown, DE 19947

Attention: Lauren DeVore

RE: Preliminary Subdivision Plan
Harpers Glen – FKA Workman (2021-
26)
Milton-Ellendale Highway
Tax Map: 235-14.00-61.00
Sussex County, DE
BEVA # DE210012

Dear Ms. DeVore,

As previously discussed, Bohler request that Harpers Glen be added to the May 26th Planning and Zoning Hearing Agenda as “other business”. The purpose of this request is to revise the Preliminary Conditions of Approval contained in the Notice of Decision, dated April 29, 2022 by the Planning and Zoning Commission. Specifically, for the removal of Condition F.

Please reference the previously submitted Harpers Glen Preliminary Subdivision Plan, dated March 11, 2022 for plan details pertaining to the Conditions of Approval.

Upon your review of the above, should you have any questions or require additional information, please do not hesitate to contact this office at (302) 644-1155. Thank you.

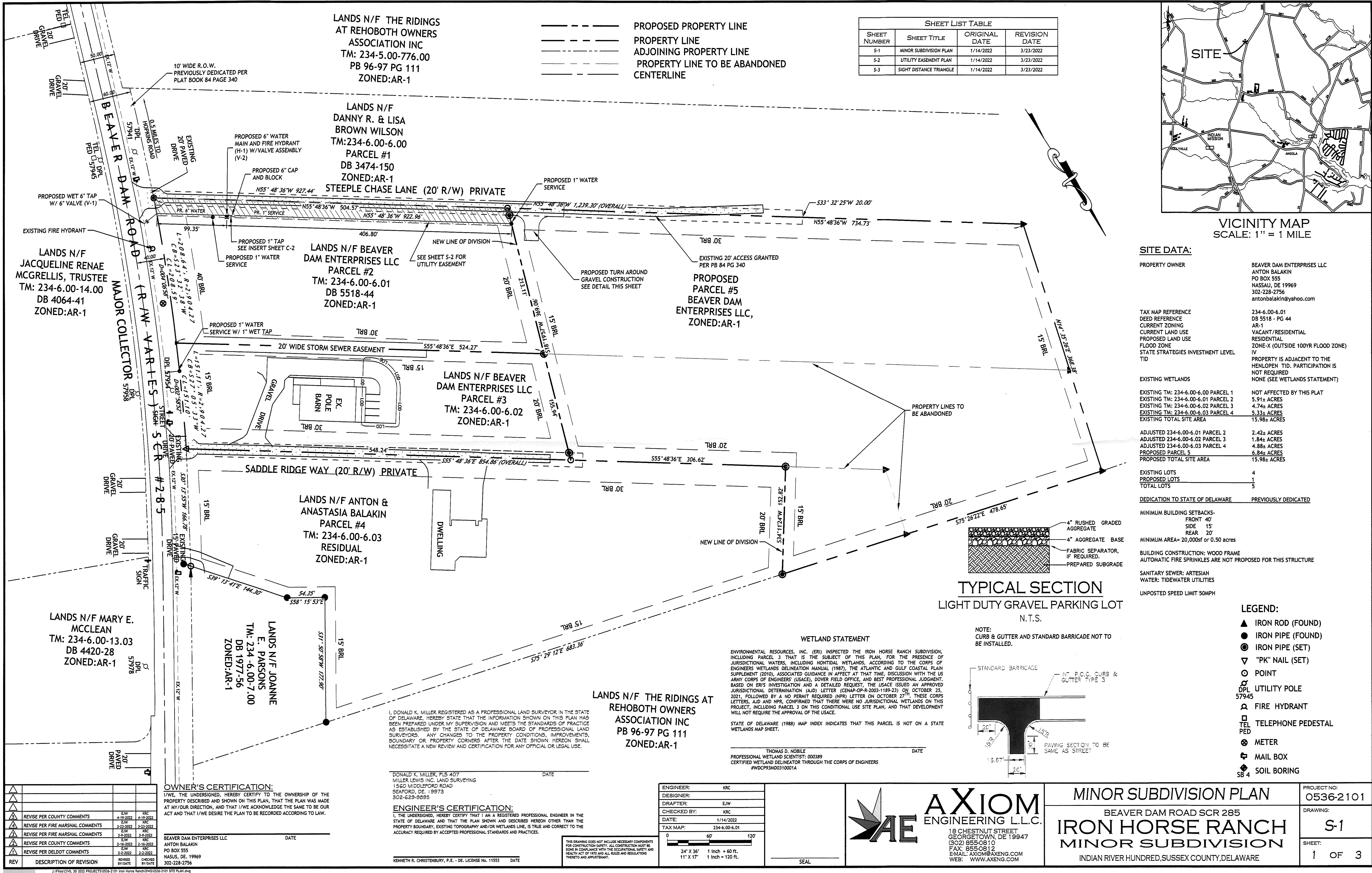
Sincerely,
Bohler Engineering VA, LLC

A handwritten signature in blue ink, appearing to read "Steve Fortunato".

Steve Fortunato, P.E.
Senior Project Manager

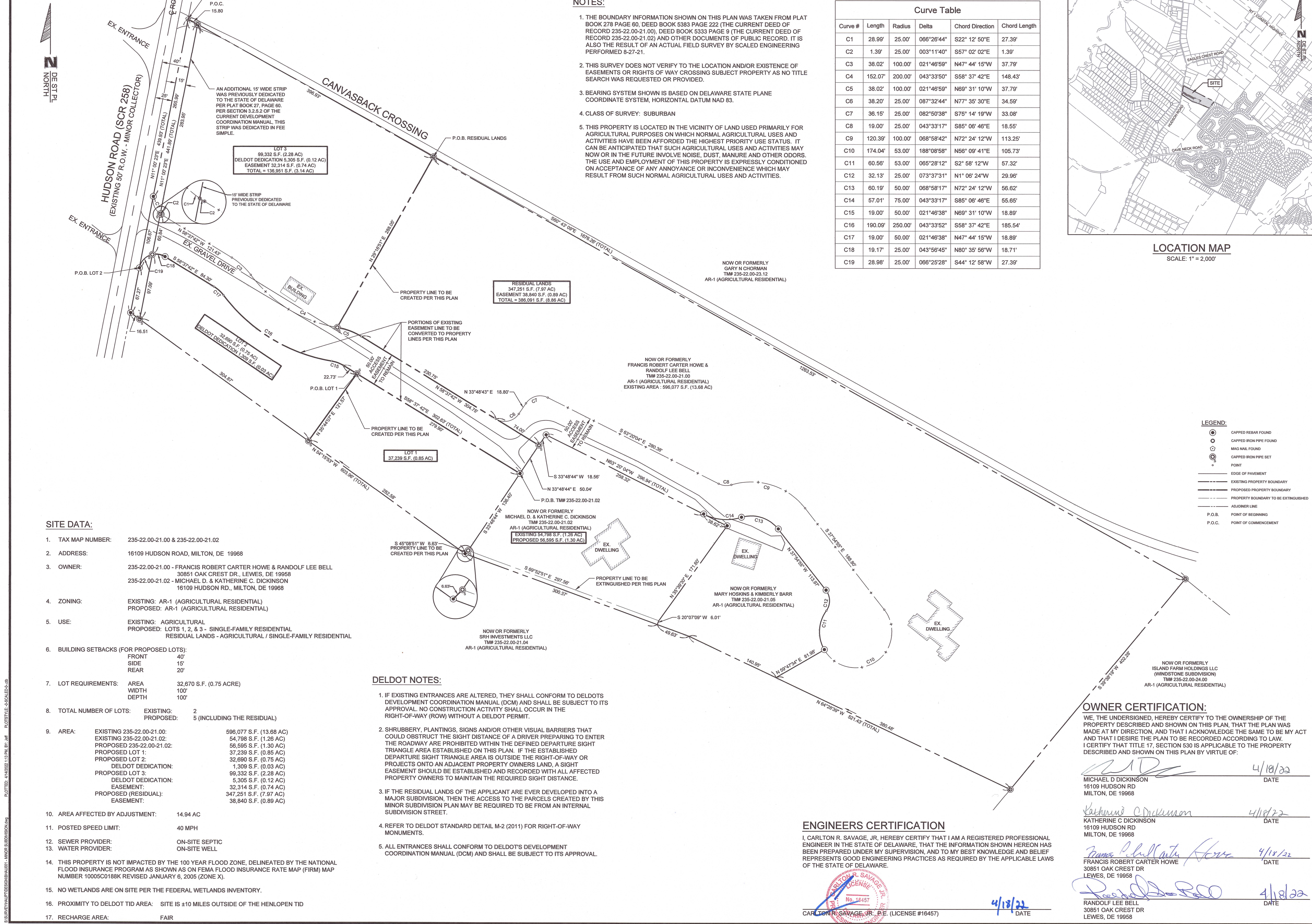
cc: David M. Kuklish, P.E., Bohler Engineering VA, LLC (w/ encl.)
Jena Cooper, Bohler Engineering VA, LLC (w/ encl.)
File

STF/ABM
H:\21\DE210012\Administrative\Letters\Responses\Sussex County P&Z\220518 - Harpers Glen Subdivision Comment Revision Request.doc



Revised Copy

S:\SURVEY\PLT\235-22.00-21.00-21.02-MINOR SUBDIVISION.dwg PLOTTED: 4/18/22 1:13 PM BY: JRE



SITE DATA:

- TAX MAP NUMBER: 235-22.00-21.00 & 235-22.00-21.02
- ADDRESS: 16109 HUDSON ROAD, MILTON, DE 19968
- OWNER: 235-22.00-21.00 - FRANCIS ROBERT CARTER HOWE & RANDOLF LEE BELL
30851 OAK CREST DR., LEWES, DE 19958
235-22.00-21.02 - MICHAEL D. & KATHERINE C. DICKINSON
16109 HUDSON RD., MILTON, DE 19968
- ZONING: EXISTING: AR-1 (AGRICULTURAL RESIDENTIAL)
PROPOSED: AR-1 (AGRICULTURAL RESIDENTIAL)
- USE: EXISTING: AGRICULTURAL
PROPOSED: LOTS 1, 2, & 3 - SINGLE-FAMILY RESIDENTIAL
RESIDUAL LANDS - AGRICULTURAL / SINGLE-FAMILY RESIDENTIAL
- BUILDING SETBACKS (FOR PROPOSED LOTS):
FRONT 40'
SIDE 15'
REAR 20'
- LOT REQUIREMENTS: AREA 32,670 S.F. (0.75 ACRE)
WIDTH 100'
DEPTH 100'
- TOTAL NUMBER OF LOTS: EXISTING: 2
PROPOSED: 5 (INCLUDING THE RESIDUAL)
- AREA: EXISTING 235-22.00-21.00: 596,077 S.F. (13.68 AC)
EXISTING 235-22.00-21.02: 54,798 S.F. (1.26 AC)
PROPOSED 235-22.00-21.02: 56,595 S.F. (1.30 AC)
PROPOSED LOT 1: 37,239 S.F. (0.85 AC)
PROPOSED LOT 2: 32,690 S.F. (0.75 AC)
DELDOT DEDICATION: 1,309 S.F. (0.03 AC)
PROPOSED LOT 3: 99,332 S.F. (2.28 AC)
DELDOT DEDICATION: 5,305 S.F. (0.12 AC)
EASEMENT: 32,314 S.F. (0.74 AC)
PROPOSED (RESIDUAL): 347,251 S.F. (7.97 AC)
EASEMENT: 38,840 S.F. (0.89 AC)
- AREA AFFECTED BY ADJUSTMENT: 14.94 AC
- POSTED SPEED LIMIT: 40 MPH
- SEWER PROVIDER: ON-SITE SEPTIC
- WATER PROVIDER: ON-SITE WELL
- THIS PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOOD ZONE, DELINEATED BY THE NATIONAL FLOOD INSURANCE PROGRAM AS SHOWN AS ON FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 10005C0188K REVISED JANUARY 6, 2005 (ZONE X).
- NO WETLANDS ARE ON SITE PER THE FEDERAL WETLANDS INVENTORY.
- PROXIMITY TO DELDOT TID AREA: SITE IS ±10 MILES OUTSIDE OF THE HENLOPEN TID
- RECHARGE AREA: FAIR

DELDOT NOTES:

- IF EXISTING ENTRANCES ARE ALTERED, THEY SHALL CONFORM TO DELDOTS DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL. NO CONSTRUCTION ACTIVITY SHALL OCCUR IN THE RIGHT-OF-WAY (ROW) WITHOUT A DELDOT PERMIT.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
- REFER TO DELDOT STANDARD DETAIL M-2 (2011) FOR RIGHT-OF-WAY MONUMENTS.
- ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.

NOTES:

- THE BOUNDARY INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM PLAT BOOK 278 PAGE 80, DEED BOOK 5383 PAGE 222 (THE CURRENT DEED OF RECORD 235-22.00-21.00), DEED BOOK 5333 PAGE 9 (THE CURRENT DEED OF RECORD 235-22.00-21.02) AND OTHER DOCUMENTS OF PUBLIC RECORD. IT IS ALSO THE RESULT OF AN ACTUAL FIELD SURVEY BY SCALED ENGINEERING PERFORMED 8-27-21.
- THIS SURVEY DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHTS OF WAY CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS REQUESTED OR PROVIDED.
- BEARING SYSTEM SHOWN IS BASED ON DELAWARE STATE PLANE COORDINATE SYSTEM, HORIZONTAL DATUM NAD 83.
- CLASS OF SURVEY: SUBURBAN
- THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS. THE USE AND EMPLOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.

ENGINEERS CERTIFICATION

I, CARLTON R. SAVAGE, JR., HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

CARLTON R. SAVAGE, JR.
P.E. (LICENSE #16457)
4/18/22
DATE

Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	28.99'	25.00'	066°26'44"	S22° 12' 50"E	27.39'
C2	1.39'	25.00'	003°11'40"	S57° 02' 02"E	1.39'
C3	38.02'	100.00'	021°46'59"	N47° 44' 15"W	37.79'
C4	152.07'	200.00'	043°33'50"	S58° 37' 42"E	148.43'
C5	38.02'	100.00'	021°46'59"	N69° 31' 10"W	37.79'
C6	38.20'	25.00'	087°32'44"	N77° 35' 30"E	34.59'
C7	36.15'	25.00'	082°50'38"	S75° 14' 19"W	33.08'
C8	19.00'	25.00'	043°33'17"	S85° 06' 46"E	18.55'
C9	120.39'	100.00'	068°58'42"	N72° 24' 12"W	113.25'
C10	174.04'	53.00'	188°08'58"	N56° 09' 41"E	105.73'
C11	60.56'	53.00'	065°28'12"	S2° 58' 12"W	57.32'
C12	32.13'	25.00'	073°37'31"	N1° 06' 24"W	29.96'
C13	60.19'	50.00'	068°58'17"	N72° 24' 12"W	56.62'
C14	67.01'	75.00'	043°33'17"	S85° 06' 46"E	55.65'
C15	19.00'	50.00'	021°46'38"	N69° 31' 10"W	18.89'
C16	190.09'	250.00'	043°33'52"	S58° 37' 42"E	185.54'
C17	19.00'	50.00'	021°46'38"	N47° 44' 15"W	18.89'
C18	19.17'	25.00'	043°56'45"	N80° 35' 56"W	18.71'
C19	28.98'	25.00'	066°25'28"	S44° 12' 58"W	27.39'

LOCATION MAP

SCALE: 1" = 2,000'

LEGEND:

- CAPPED REBAR FOUND
- CAPPED IRON PIPE FOUND
- MAG NAIL FOUND
- CAPPED IRON PIPE SET
- POINT
- EDGE OF PAVEMENT
- EXISTING PROPERTY BOUNDARY
- PROPOSED PROPERTY BOUNDARY
- PROPERTY BOUNDARY TO BE EXTINGUISHED
- ADJONER LINE
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT

OWNER CERTIFICATION:

WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND THAT I DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW. I CERTIFY THAT TITLE 17, SECTION 530 IS APPLICABLE TO THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN BY VIRTUE OF:

MICHAEL D. DICKINSON
16109 HUDSON RD
MILTON, DE 19968
4/18/22
DATE

KATHERINE C. DICKINSON
16109 HUDSON RD
MILTON, DE 19968
4/18/22
DATE

FRANCIS ROBERT CARTER HOWE
30851 OAK CREST DR
LEWES, DE 19958
4/18/22
DATE

RANDOLF LEE BELL
30851 OAK CREST DR
LEWES, DE 19958
4/18/22
DATE

HOWE & BELL SUBDIVISION
TAX MAP 235-22.00-21.00 & 235-22.00-21.02
BROADKILL HUNDRED, SUSSEX COUNTY, DELAWARE

DATE: 3-28-22
SCALE: 1" = 60'
DRAWN BY: JRE
PROJECT NO. BH4001

SCALED
ENGINEERING
MINOR SUBDIVISION PLAN
Scaled Engineering Inc.
20246 Coastal Highway
Rehoboth Beach, DE 19871
Phone: (302) 236-3600

Warning: Original paper plans contain a raised impression of a professional seal. Original mylar plans contain a red ink stamp of a professional seal. Unauthorized copies may contain fraudulent, incorrect, erroneous or misleading information or omit important and relevant information. Do not use or rely on unauthorized copies.

N OR F PHILLIP J. &
ANDREA ZIHIRSKY
3-30-15.13-11.01
DR 4052-204 ZONE AR-1

N OR F CAROL H. STEVENSON
3-30-15.13-11.00
DR 1798-67 ZONE AR-1

N OR F MATTHEW S. WILLEY &
KELLY L. WEBB
3-30-15.13-11.02
DR 3684-303 ZONE AR-1

N OR F DONALD F. CLAYCOMB TTE
3-30-15.13-12.01
DR 3832-51 ZONE AR-1

N OR F CAROL A. RAMSEY TTE
3-30-15.13-10.00
DR 3702-268 ZONE AR-1

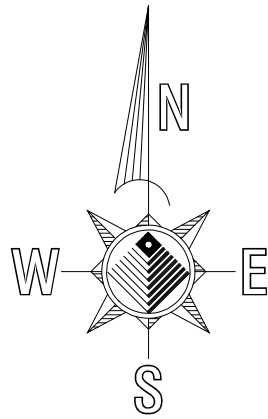
RESIDUE
3.438 AC.±

N OR F FERNANDO VASQUEZ
3-30-15.13-13.00
DR 4395-309 ZONE AR-1

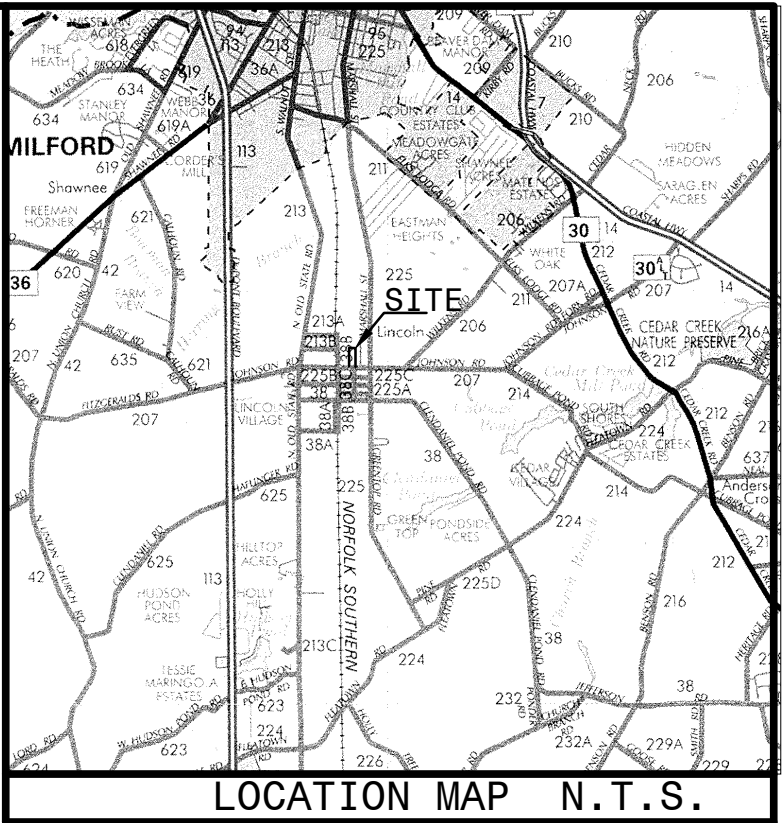
LINE	BEARING	DISTANCE
L1	S 00°11'06" W	4.87'
L2	S 42°47'04" W	35.46'
L3	N 00°11'06" E	30.97'

LEGEND

- SEPTIC LID
- WELL
- CONCRETE MONUMENT FOUND
- IRON PIPE FOUND
- ⊙ CAPPED REBAR FOUND
- ⊙ UTILITY POLE
- RW — RW — EXISTING RIGHT OF WAY
- R/W — PROPOSED RIGHT OF WAY
- — — CENTERLINE
- BSL — BUILDING SETBACK
- — — EXISTING BOUNDARY
- — — PROPOSED NEW PROPERTY LINE
- E_x — E_x — UG ELECTRIC



DELAWARE COORDINATE SYSTEM OF 1983
NAD83 (NA2011,EPOCH 2010)



PRESENT ZONING.....AR-1
TAX MAP NUMBER.....3-30-15.13-12.00 PART
FRONT YARD SETBACK.....40'
SIDE YARD SETBACK.....15'
REAR YARD SETBACK.....20'
TOTAL NUMBER OF LOTS.....1
EXISTING.....1
PROPOSED.....1 PLUS RESIDUAL
TOTAL ACREAGE WITHIN BOUNDARIES.....4.191 ACRES±
TOTAL ACREAGE WITHIN LOTS.....0.753 ACRES±
AREA OF EASEMENT.....0.121 ACRES±
AREA OF RESIDUAL LANDS.....3.438 ACRES±
FRONTAGE OF RESIDUAL LANDS.....0
NUMBER OF MONUMENTS.....FOUND 5
SET 3

TYPE OF UTILITIES.....INDIVIDUAL ON SITE WATER AND SEWER
PRESENT USE.....AGRICULTURAL/RESIDENTIAL
PROPOSED USE.....RESIDENTIAL
ROADWAY CLASSIFICATION.....MAJOR COLLECTOR
POSTED SPEED LIMIT.....25 MPH
PROXIMITY TO (TID).....NO

THIS SITE LIES OUTSIDE THE FLOOD HAZARD ZONE, AS DEPICTED ON FIRM PANEL 10005C0131J, DATED 1/6/2005.

OWNER OF RECORD
DENNIS J. & PAULINE M. MIGNOGNO
18469 JOHNSON AVE.
LINCOLN, DE 19960
302-535-5606

ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.

SHRUBBERY, PLANTINGS, SIGNS AND/ OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT DISTANCE TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE OF THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL THE AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.

LOT 1 SHALL HAVE ACCESS TO JOHNSON RD. AK SCR 207 VIA THE EXISTING ENTRANCES AS DEPICTED HEREON.

RESIDUAL LANDS SHALL HAVE ACCESS TO JOHNSON RD. SCR 207 VIA THE PRIVATE ACCESS/UTILITY EASEMENT.

IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.

MINOR SUBDIVISION PLAN FOR:

Lands of:

DENNIS J. & PAULINE M. MIGNOGNO



MERESTONE
CONSULTANTS, INC.

ENGINEERS - PLANNERS - SURVEYORS

5215 WEST WOODMILL DRIVE
WILMINGTON, DE 19808
PH: 302-992-7900
FAX: 302-992-7911

33516 CROSSING AVE.
FIVE POINTS SQUARE UNIT 1
LEWES, DE 19958
PH: 302-226-5880

CEDAR CREEK HUNDRED

SUSSEX COUNTY, DELAWARE

DATE: 29 MARCH 2022

W.O.: 25470L

SCALE: 1"= 60'

F.B.: BOB O

DRAWN BY: RWN

DISK: 25470L MINOR

REVISIONS

5/10/2022 PDCA COMMENTS

SURVEYOR'S CERTIFICATION
I, ROBERT W. NASH, PLS 551, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

ROBERT W. NASH, PLS 551

DATE

SIGNATURE

DATE

SIGNATURE

DATE

OWNER'S CERTIFICATION
WE THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE WITH OUR DIRECTION, AND WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT WE DESIRE PLAN TO BE RECORDED BY LAW.
WE CERTIFY THAT 17 DEL. C. § 530 IS APPLICABLE TO THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN AND THE SUBDIVIDED PARCEL OR PARCELS WILL BE TRANSFERRED TO A FAMILY MEMBER OR MEMBERS FOR USE AS A FAMILY MEMBER OR MEMBERS PRINCIPAL RESIDENCE OR FARMLAND.

A 10 FOOT WIDE STRIP IS HEREBY RESERVED FOR THE STATE OF DELAWARE FOR FUTURE RIGHT OF WAY NEEDS.

393'± TO WESTERLY RIGHT OF WAY OF LOBLOLLY AVE. P.O.B.

JOHNSON ROAD
AKA SCR 207
@ 60' WIDE
MAJOR COLLECTOR 25 MPH