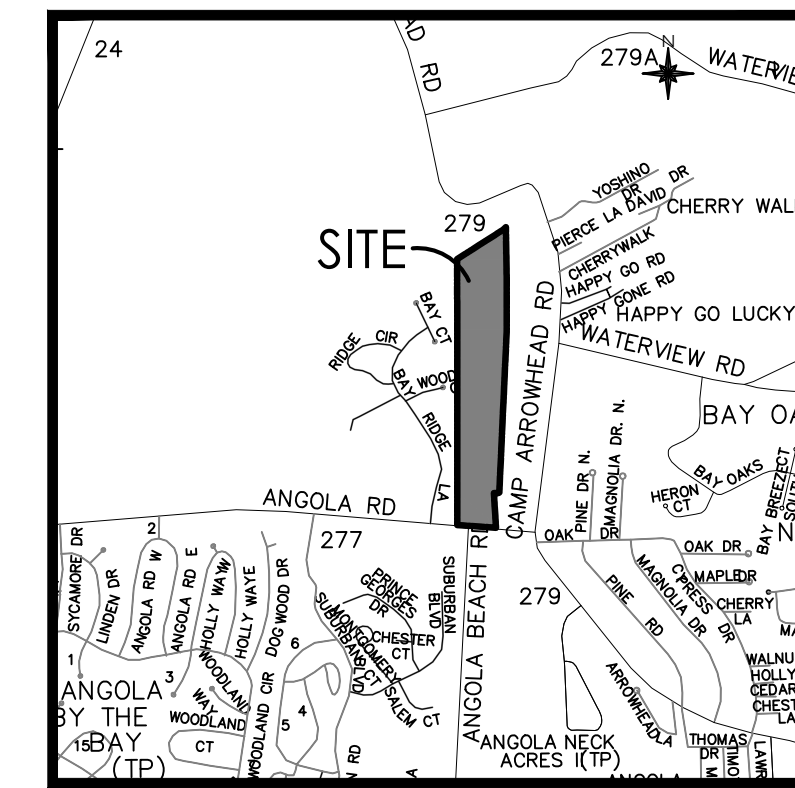


DELDOT GENERAL NOTES

- No landscaping shall be allowed within R/W unless the plans are compliant with Section 3.7 of the Development Coordination Manual (DCM).
- All entrances shall conform to the Delaware Department of Transportation's (DelDOT's) current Development Coordination Manual (DCM) and shall be subject to its approval.
- Shrubbery, plantings, signs and/or other visual barriers that could obstruct the sight distance of a driver preparing to enter the roadway are prohibited within the defined departure sight triangle area established on this plan. If the established departure sight triangle area is outside the right-of-way or projects onto an adjacent property owner's land, a sight easement should be established and recorded with all affected property owners to maintain the required sight distance.
- Upon completion of the construction of the sidewalk or shared-use path across this project's frontage and physical connection to adjacent existing facilities, the developer, the property owners or both associated with this project, shall be responsible to remove any existing road tie-in connections located along adjacent properties, and restore the area to grass. Such actions shall be completed at DelDOT's discretion, and in conformance with DelDOT's "Shared-Use Path and/or Sidewalk Termination Policy".
- Subdivision streets constructed within the limits of the right-of-way are private as shown on this plan and are to be maintained by the Developer, property owners or both. The State of Delaware assumes no maintenance responsibilities for the future maintenance of these streets.
- The shared-use path shall be the responsibility of the developer, the property owners or both within this subdivision. The State of Delaware assumes no responsibility for the future maintenance of the shared-use path.
- All lots shall have access from the internal subdivision street.
- The developer shall be required to furnish and place right-of-way monuments in accordance with DelDOT's Development Coordination Manual.
 - The developer shall be required to furnish and place right-of-way markers to provide a permanent reference for re-establishing the right-of-way and property corners on local and higher order frontage roads. Right-of-way markers shall be set and/or placed along the frontage road right-of-way at property corners and at each change in right-of-way alignment in accordance with Section 3.2.4.2 of the Development Coordination Manual.

RECORD PLAT FOR HAILEY'S GLEN

COUNTY PROJECT NUMBER 2017-17 FORMERLY KNOWN AS "KIELBASA SUBDIVISION" SUSSEX COUNTY, DELAWARE FOR HAILEY DEVELOPMENT, LLC



VICINITY MAP
SCALE: 1" = 2,000'

solutions
INCORPORATED
303 North Bedford Street
Georgetown, DE 19847
T. 302-297-9215
3033 Manhatt Hill Road
Salisbury, MD 21804
T. 410-572-8833
www.solutionsipem.com Copyright © 2018

PLANNING & ZONING COMMISSION
MARTIN L. ROSS, CHAIRMAN
KIM HOEY STEVENSON, VICE CHAIRMAN
R. KELLER HORNBE
DOUGLAS B. HUDSON
ROBERT C. WHEATLEY

Sussex County
DELAWARE
sussexcountyde.gov
302-854-7317
JANELLE M. CORNWELL, AICP
DIRECTOR

May 3, 2018
By email to: jalkowicz@solutionsipem.com

Mr. Jason Palkewicz, P.E.
Solutions IPEM
303 North Bedford Street
Georgetown, DE, 19947

RE: Notice of Decision for Preliminary Subdivision Plan for Hailey's Glen (2017-17) for the subdivision of 68 parcels with site improvements and open space to be located off Angola Road. The property is zoned AR-1 and is within the Environmentally Sensitive Development District Overlay Zone.
Tax Parcel: 234-12.00-11.00

Dear Mr. Palkewicz,

At their meeting on April 12, 2018 the Planning Commission granted **preliminary approval** for the subdivision of 32.3 Acres into 68 single family lots (2017-17).

The Preliminary Subdivision Plan is valid for three (3) years from the date of Planning Commission decision. A Final Subdivision Plan shall be approved within three (3) years of the date of approval of the Preliminary Plan or the action of the Planning Commission shall be deemed canceled. Unless an extension is granted, approval shall be rendered null and void if substantial construction is not commenced within five (5) years of the date of recordation of the final plat.

As part of their motion, the Planning Commission acted to approve the development subject to the following conditions:

- There shall be no more than 68 lots within the subdivision.
- The developer shall establish a homeowner's association responsible for the maintenance of streets, roads, buffers, stormwater management facilities and other common areas.
- The stormwater management system shall meet or exceed the requirements of the State and County. The Final Site Plan shall contain the approval of the Sussex Conservation District for the design and location of all stormwater management areas and erosion and sedimentation control facilities.
- A forested or landscaped buffer of at least 20 feet in depth shall be installed along the entire perimeter of the project. The Final Site Plan shall contain a landscaped plan for all of these areas.
- The subdivision shall be served by Sussex County for sewer service.



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE 19847

Notice of Decision - Hailey's Glen (2017-17)
May 03, 2018
Page 2

- The subdivision shall be served by a publicly regulated central water system providing drinking water and fire protection.
- Street design shall meet or exceed Sussex County standards. This includes County street design requirements for turnarounds along the dead-end roadway.
- The development shall be served by its own on-site active amenities such as a pool and pool house, and not a sharing arrangement with any other nearby development. These amenities shall be centrally located within the project. The location and type of amenities shall be shown on a revised Preliminary Site Plan submitted in accordance with Condition M.
- The developer shall complete all amenities within 2 years of the issuance of the first residential building permit.
- Road naming and addressing shall be subject to the review and approval of the Sussex County Mapping and Addressing Department.
- Deliveries of dirt, fill or other similar materials shall only be made to or from the site between the hours of 8:00 a.m. through 5:00 p.m., Monday through Friday.
- The Final Site Plan shall indicate all forested areas that will be preserved.
- A revised Preliminary Site Plan either depicting or noting these conditions must be submitted to the Office of Planning and Zoning.
- The Final Site Plan shall be subject to the review and approval of the Planning and Zoning Commission.

The Final Subdivision Plan must comply Subdivision Code, including submission of agency approval letters to the Planning and Zoning Office. The agency approvals required for Final Subdivision Plan approval include but are not limited to: Sussex County Mapping and Addressing, Sussex Conservation District, DelDOT, and the Office of the State Fire Marshal.

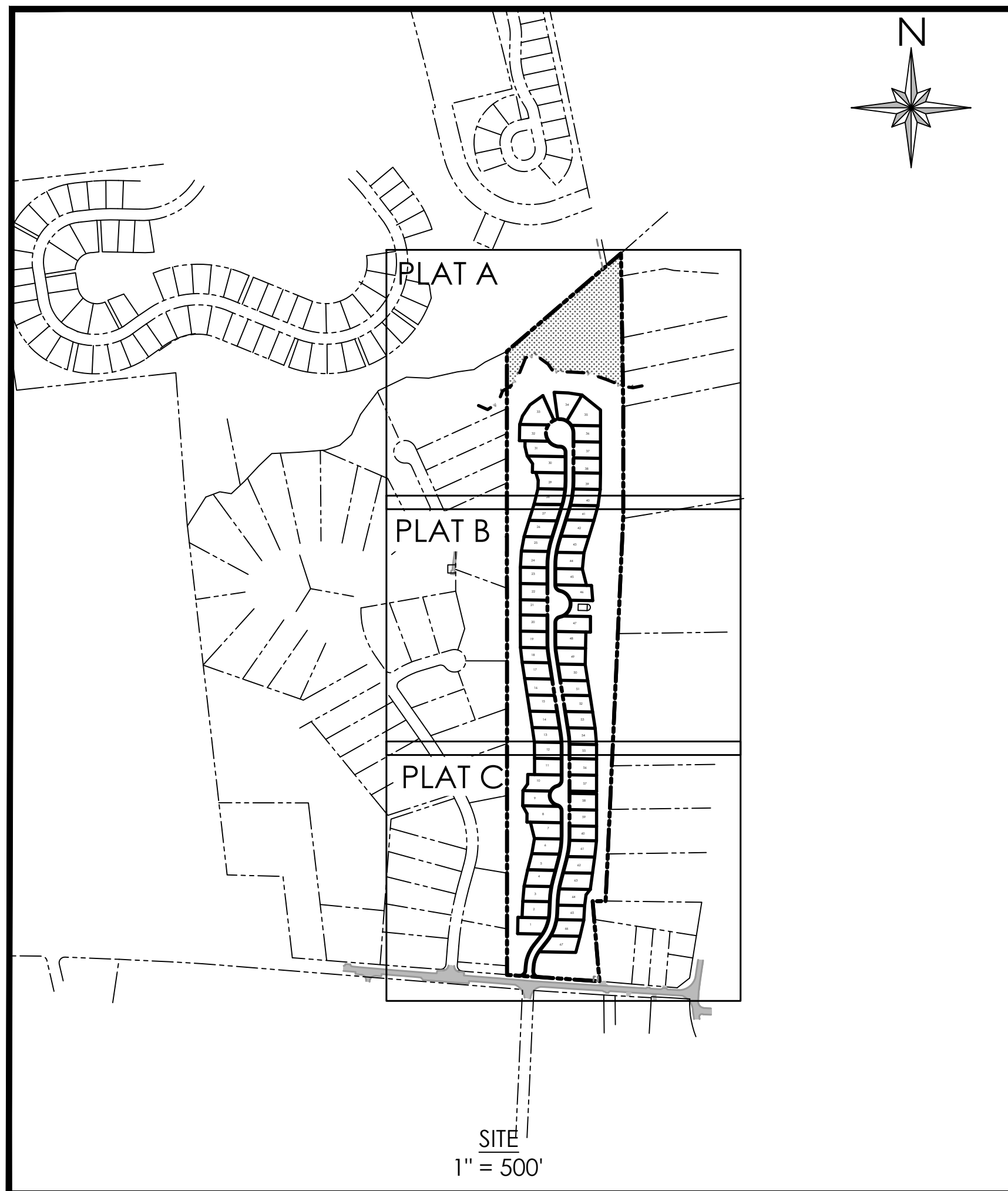
Once all agency approvals have been obtained please submit a minimum of **seven (7) paper copies (11"x17")** to the Planning and Zoning Office for consideration on the next agenda for Planning Commission. It is recommended that two (2) copies of a check print are first submitted to staff for review.

Please feel free to contact me during business hours 8:30am - 4:30pm Monday through Friday at 302-855-7878.

Sincerely,

Jamie Whitehouse
Planner III

<p style="text-align: center;">TRAFFIC GENERATION DIAGRAM ADT (A.M. PEAK HOUR) (P.M. PEAK HOUR)</p>	<p>ROAD TRAFFIC DATA: FUNCTIONAL CLASSIFICATION - 3277 (ANGOLA ROAD); LOCAL POSTED SPEED LIMIT - 45 mph A.A.D.T. = 3,309 TRIPS (FROM 2017 DELDOT TRAFFIC SUMMARY) 10 YEAR PROJECTED A.A.D.T. = 3,838 TRIPS 10 YEAR PROJECTED A.A.D.T. + SITE ADT = 4,470 TRIPS TRAFFIC PATTERN GROUP - 7 (FROM 2016 DELDOT TRAFFIC SUMMARY) PEAK HOUR = 15.97% x 4,470 TRIPS = 713 TRIPS</p> <p>SITE TRIPS GENERATED: SOURCE: ITE TRIP GENERATION 10th EDITION 47 SINGLE FAMILY DETACHED UNITS (210) ONE ENTRANCE - FULL MOVEMENT DESIGN VEHICLE: SU-30 47 SINGLE FAMILY DETACHED UNITS x 9.44 = 432 TRIPS DIRECTIONAL DISTRIBUTION: 85% TO AND FROM THE WEST = 538 ADT (43 AM PK) (56 PM PK) 15% TO AND FROM THE EAST = 94 ADT (8 AM PK) (11 PM PK) 9% TRUCKS & BUSES x 269 = 24 (LEFT TURN IN)</p>
--	--



AREAS:

GROSS ACREAGE = 32.949 ± ACRES
PROPOSED LOT AREA = 13,472 AC ±
PROPOSED ROW AREA = 2,470 AC ±
PROPOSED OPEN SPACE AREA = 16,808 AC ±
16,808 / 32.346 = 51.9%

EXISTING WOODLANDS = 20.4 ± AC
WOODLANDS TO REMAIN = 5.3 ± AC
WOODLANDS TO BE REMOVED = 15.1 ± AC

EXISTING NON-TIDAL WETLANDS = 3.63 ± AC
EXISTING TIDAL WETLANDS = 0.00 AC.

SHEET INDEX

- COVER SHEET
- RECORD PLAT A
- RECORD PLAT B
- RECORD PLAT C
- ROAD SECTION AND LANDSCAPING DETAILS

GENERAL NOTES:

- ALL ON-SITE STREETS (INCLUDING PAVEMENT, CURBING AND SIDEWALK) ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER UNTIL DEDICATION TO THE HOMEOWNER'S ASSOCIATION. THE PERPETUAL MAINTENANCE OF THE STREETS SHALL BE BY THE HOMEOWNER'S ASSOCIATION.
- STORMWATER MANAGEMENT AND STORM DRAINAGE SHALL BE IN ACCORDANCE WITH THE SUSSEX COUNTY CONSERVATION DISTRICT AND SUSSEX COUNTY ENGINEERING REQUIREMENTS. MAINTENANCE OF THE ON-SITE STORMWATER MANAGEMENT FACILITIES AND STORM DRAINAGE SYSTEM SHALL BE BY THE OWNER UNTIL DEDICATION TO THE HOMEOWNER'S ASSOCIATION. THE PERPETUAL MAINTENANCE OF THE ABOVE PROACTIVE SHALL BE BY THE HOMEOWNER'S ASSOCIATION.
- ALL OPEN SPACE SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- ALL SUBDIVISION LOTS SHALL HAVE FIVE FOOT WIDE EASEMENTS ALONG ALL LOT LINES FOR A TOTAL EASEMENT WIDTH OF 10 FEET ALONG A LOT LINE COMMON TO TWO LOTS. EASEMENTS ALONG PERIMETER (RIGHT-OF-WAY AND OPEN SPACE) SHALL BE 10 FEET IN WIDTH.
- STREETLIGHTS SHALL BE PROVIDED. LOCATIONS TO BE COORDINATED BETWEEN OWNER AND UTILITY COMPANIES.
- ALL AMENITIES AND LANDSCAPE/FOREST BUFFERS SHALL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
- THE PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS. THE USE OF AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
- THE POTENTIAL FOR INTERCONNECTIVITY TO THE NORTH (CAMP ARROWHEAD ROAD) IS LIMITED BY THE PRESENCE OF WETLANDS ON THE NORTHERNMOST PORTION OF THE PROJECT.
- AN ENTRANCE/COMMUNITY SIGN WILL BE PROVIDED. ANY SIGNAGE WILL REQUIRED A SEPARATE PERMIT.

SUSSEX CONSERVATION DISTRICT APPROVAL:

APPROVED BY:

SECRETARY OF PLANNING COMMISSION _____ DATE _____

PRESIDENT OF COUNTY COUNCIL _____ DATE _____

WETLANDS CERTIFICATION

I, EDWARD M. LAUNAY, PWS, STATE THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM Delineated UPON THIS PLAN HAVE BEEN DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, ATLANTIC GULF COAST REGIONAL SUPPLEMENT, REGULATIONS AND SUPPLEMENTAL GUIDANCE (33 CFR 328.3 (a)(8), Waters of the U.S. Definition/CCEW-OR: 10-7-1991. Questions and Answers on the 1987 COE Manual/CCEW-OR: 9-26-1990, RGL 90-7/CCEW-OR: 3-6-1992. Clarification and Interpretation of the 1987 Manual). THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES.

EDWARD M. LAUNAY _____ DATE _____
PROFESSIONAL WETLAND SCIENTIST NO. 875
SOCIETY OF WETLAND SCIENTISTS
(CORPS OF ENGINEERS,
CERTIFIED WETLAND DELINEATOR WDCFP93MD051003648)

SITE DATA:

OWNER/DEVELOPER: SCHELL BROTHERS, LLC
20184 PHILLIPS STREET
REHOBOTH BEACH, DE 19971
PHONE: 302-226-1994
CONTACT: TIM GREEN

ENGINEER: SOLUTIONS IPEM
SURVEYOR: 303 NORTH BEDFORD STREET
GEORGETOWN, DE 19947
PHONE: 302-297-9215
CONTACT: JASON PALKEWICZ, PE

- TAX PARCEL NUMBER: 234-12.00-11.00
- EXISTING ZONING: AR-1 (COASTAL AREA FKA ES-1)
- PROPOSED BUILDING SETBACKS: FRONT: 25' (15' CORNER) SIDE: 10' REAR 10'
- PRESENT USE: AGRICULTURAL
- PROPOSED USE: RESIDENTIAL SUBDIVISION (2017-17)
- SEWER PROVIDER: SUSSEX COUNTY - ANGOLA SANITARY SEWER DISTRICT
- WATER PROVIDER: TIDEWATER UTILITIES, INC.
- TOTAL NUMBER OF LOTS: EXISTING = 1 PROPOSED = 67 (2.07 DU/AC)
- ANGOLA ROAD SPEED LIMIT = 45 MPH
- INVESTMENT LEVEL = 3
- THE SITE IS NOT LOCATED WITHIN THE WELL HEAD PROTECTION AREA § 89-6.
- THE SITE IS LOCATED WITHIN GOOD AND FAIR GROUNDWATER RECHARGE AREAS § 89-7.

OWNER'S CERTIFICATION

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN. THAT THE PLAN WAS MADE AT MY DIRECTION AND I ACKNOWLEDGE THE SAME TO BE MY ACT. AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. I FURTHER WISH TO UNDERSTAND AND ACKNOWLEDGE THAT IT IS THE RIGHT OF THE SUSSEX CONSERVATION DISTRICT AND/OR ITS DELEGATED INSPECTION AGENCIES TO CONDUCT ON-SITE INSPECTIONS.

SURVEYOR'S CERTIFICATION

THIS PLAT AND SURVEY WERE PERFORMED FOR SCHELL BROTHERS, LLC, UNDER MY SUPERVISION, TO THE LOCAL STANDARD OF CARE, AND SUBSTANTIALLY MEET THE "MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING" AS PROMULGATED BY THE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS FOR A SUBURBAN CLASS SURVEY.

SOLUTIONS INTEGRATED PLANNING, ENGINEERING & MANAGEMENT, LLC
by BARRY M. HALL, AGENT

BARRY M. HALL _____ DATE _____
PROFESSIONAL LAND SURVEYOR
DELAWARE NO. 618

Seal _____
Date _____

NO.	DATE	DESCRIPTION
1	9/12/19	REVISIONS PER AGENCY COMMENTS
2	5/6/21	REVISIONS PER AGENCY COMMENT LETTER DATED 5/5/21.

COVER SHEET
for
HAILEY'S GLEN
SUSSEX COUNTY, DELAWARE
INDIAN RIVER HUNDRED
SCR 277

Date:	05-14-18
Job Number:	17039
Scale:	AS SHOWN
Drawn By:	HHB
Designed By:	HHB
Approved By:	BMH

Sheet No.: **1**

File Name: RP.dwg

EASEMENT CURVE TABLE

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C101	66.00'	20.08'	17°25'46"	N 59°23'06" W	20.00'
C102	470.00'	345.98'	42°10'35"	N 09°31'36" E	338.22'
C103	510.00'	375.42'	42°10'35"	N 09°31'36" E	367.00'

EASEMENT LINE TABLE

LINE	BEARING	DISTANCE
L24	N 30°36'54" E	199.72'
L25	N 59°23'06" W	20.00'
L26	N 30°36'54" W	53.19'
L27	N 11°33'41" W	90.79'
L28	N 49°21'07" E	45.77'
L29	S 11°33'41" E	113.04'
L30	S 30°36'54" W	252.91'

PUMP STATION EASEMENT CURVE TABLE

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C100	10.00'	15.71'	90°00'00"	S 29°04'54" W	14.14'
C104	66.00'	18.83'	16°20'32"	S 73°58'12" W	18.76'

PUMP STATION EASEMENT LINE TABLE

LINE	BEARING	DISTANCE
EL15	N 15°55'06" W	150.10'
EL16	S 74°04'54" W	16.35'
EL17	N 15°55'06" W	51.50'
EL18	N 74°04'54" E	54.50'
EL19	S 15°55'06" E	56.72'
EL20	N 74°04'54" E	14.75'
EL21	S 15°55'06" E	26.00'
EL22	S 74°05'54" E	24.14'
EL23	S 15°55'06" E	108.84'

WETLAND FLAG COORDINATES

FLAG #	NORTHING	EASTING	ELEVATION
WF 01	248679.4336	728961.2850	5.4410
WF 02	248708.1918	728885.0099	5.4880
WF 03	248712.5485	728807.0729	5.7240
WF 04	248714.4275	728763.1550	5.0960
WF 05	248717.9466	728723.3074	5.8770
WF 06	248747.7136	728702.3413	5.9700
WF 08	248788.9172	728647.1455	6.1800
WF 09	248776.4893	728603.4908	5.1600
WF 010	248704.8235	728574.5368	5.6200
WF 011	248649.7595	728537.1124	5.6790
WF 012	248629.7401	728501.0113	4.6870
WF 01	248663.0098	729002.7498	5.2180
WF 02	248650.0800	729028.5749	5.7040
WF 03	248643.1108	729078.5167	6.2960

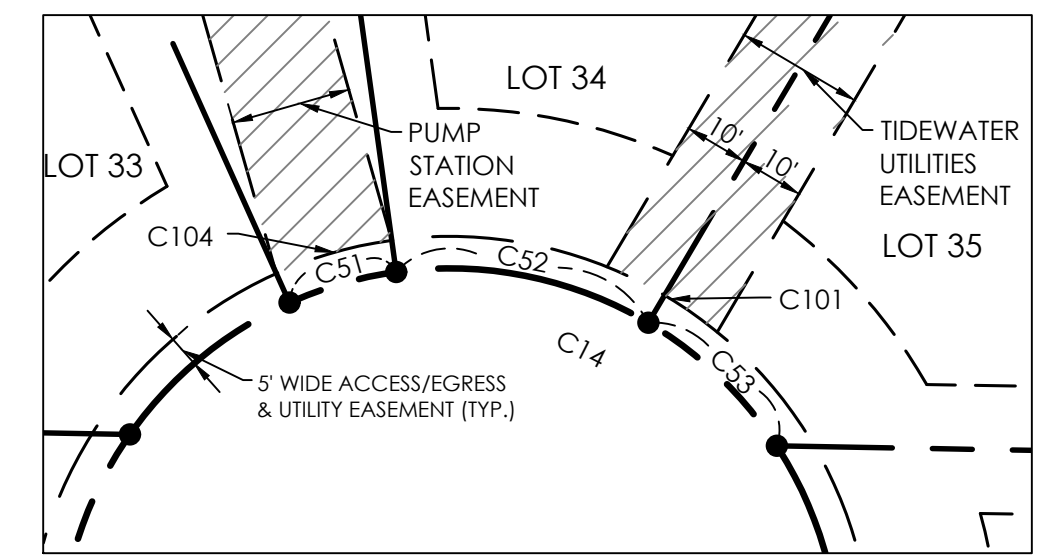
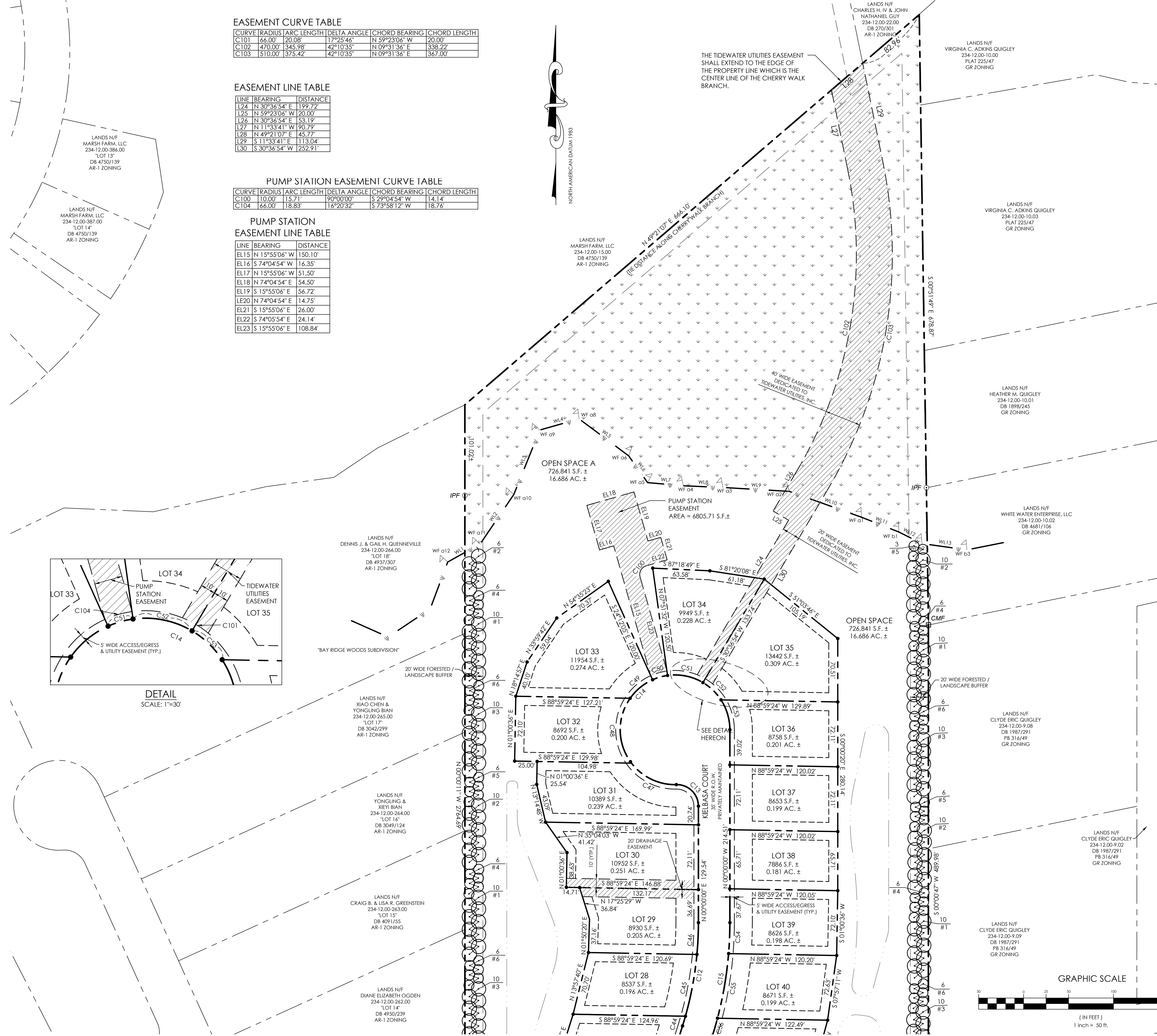
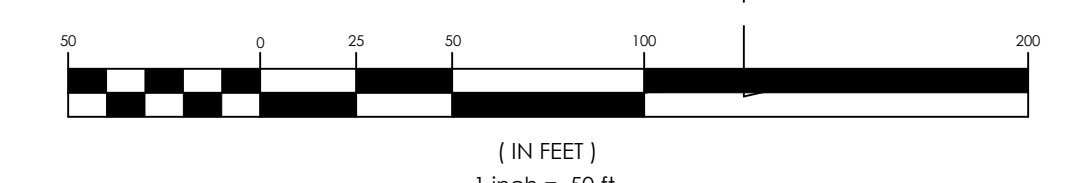
LINE TABLE

LINE	BEARING	DISTANCE
WL1	N 69°58'11" E	41.29'
WL2	N 34°11'15" E	66.58'
WL3	S 21°39'07" W	72.27'
WL4	S 74°53'35" W	45.39'
WL5	N 53°17'04" W	68.88'
WL6	N 35°10'09" W	36.41'
WL7	N 84°57'49" W	40.00'
WL8	N 87°33'39" W	43.96'
WL9	S 86°38'02" E	63.96'
WL10	N 69°58'11" E	41.29'
WL11	S 68°24'11" E	44.60'
WL12	N 63°25'51" W	28.88'
WL13	N 82°03'58" W	154.42'

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	25.00'	39.27'	90°00'00.0"	S 48°59'46" W	35.36'
C2	167.50'	100.32'	34°18'56.0"	S 21°09'14" W	98.83'
C3	182.50'	113.73'	35°42'19.0"	N 20°22'33" E	111.90'
C4	417.50'	87.51'	12°00'35.0"	N 08°36'40" E	87.35'
C5	382.50'	97.58'	14°36'58.0"	N 07°18'29" E	97.31'
C6	26.00'	34.46'	75°56'41.2"	N 37°58'21" W	31.99'
C7	44.00'	116.64'	151°53'22.3"	N 00°00'00" E	85.37'
C8	26.00'	34.46'	75°56'41.2"	S 37°58'21" W	31.99'
C9	382.50'	59.41'	8°53'55.3"	S 04°26'58" E	59.35'
C10	417.50'	64.84'	8°53'55.3"	N 04°26'58" W	64.78'
C11	417.50'	127.33'	17°28'25.8"	S 08°44'13" W	126.83'
C12	382.50'	116.65'	17°28'25.8"	N 08°44'13" E	116.20'
C13	24.00'	38.26'	91°20'53.7"	N 45°40'27" W	34.34'
C14	61.00'	288.89'	271°20'53.7"	N 44°19'33" E	85.25'
C15	417.50'	127.33'	17°28'25.8"	S 08°44'13" W	126.83'
C16	382.50'	116.65'	17°28'25.8"	N 08°44'13" W	116.20'
C17	26.00'	35.61'	78°27'46.9"	S 39°13'53" E	32.89'
C18	59.00'	161.59'	156°55'33.9"	S 00°00'00" E	115.62'
C19	26.00'	35.61'	78°27'46.9"	S 39°13'53" W	32.89'
C20	382.50'	59.41'	8°53'55.3"	N 04°26'58" W	59.35'
C21	417.50'	64.84'	8°53'55.3"	S 04°26'58" E	64.78'
C22	417.50'	106.50'	14°36'58.0"	S 07°18'29" W	106.22'
C23	382.50'	80.18'	12°00'35.0"	S 08°36'40" W	80.03'
C24	217.50'	135.54'	35°42'19.0"	S 20°27'33" W	133.36'
C25	132.50'	79.36'	34°18'56.0"	S 21°09'14" W	78.18'
C26	25.00'	39.27'	90°00'00.0"	S 41°00'14" E	35.36'
C27	182.50'	77.56'	24°20'58.1"	N 21°30'47" E	76.98'
C28	182.50'	21.44'	6°43'55.0"	N 05°58'21" E	21.43'
C29	417.50'	59.68'	8°11'23.5"	N 06°42'05" E	59.63'
C30	417.50'	27.83'	3°49'11.4"	S 12°42'22" W	27.83'
C31	382.50'	15.32'	2°17'44.0"	N 13°28'06" E	15.32'
C32	382.50'	67.78'	10°07'16.5"	N 07°14'24" W	67.70'
C33	382.50'	14.46'	2°09'58.4"	S 01°04'59" W	14.46'
C34	26.00'	22.17'	48°51'12.3"	N 24°25'36" W	21.50'
C35	26.00'	12.29'	27°05'28.9"	S 62°23'57" E	12.18'
C36	44.00'	78.73'	102°30'51.3"	S 24°41'16" E	68.64'
C37	44.00'	37.92'	49°22'31.0"	S 51°51'52" W	36.76'
C38	382.50'	12.25'	2°44'59.2"	S 16°31'54" W	12.48'
C39	382.50'	41.05'	6°08'56.1"	S 05°49'27" E	41.03'
C40	417.50'	36.72'	5°02'23.0"	N 06°22'44" W	36.71'
C41	417.50'	28.12'	3°51'32.3"	N 01°55'46" W	28.11'
C42	417.50'	67.58'	9°16'26.8"	N 04°38'13" E	67.50'
C43	417.50'	59.75'	8°11'59.0"	S 13°22'28" W	59.70'
C44	382.50'	17.25'	1°41'04.3"	S 16°31'54" W	11.25'
C45	382.50'	69.96'	10°28'48.2"	S 10°32'57" W	69.87'
C46	382.50'	35.44'	5°18'33.3"	N 02°39'17" E	35.43'
C47	61.00'	57.39'	53°54'02.9"	S 64°23'52" E	55.29'
C48	61.00'	77.20'	72°30'56.1"	N 01°11'23" W	72.15'
C49	61.00'	39.72'	30°43'50.1"	N 50°23'00" E	35.33'
C50	61.00'	17.40'	12°00'35.0"	S 73°58'12" W	17.34'
C51	61.00'	40.96'	38°28'26.2"	N 78°37'19" W	40.20'
C52	61.00'	28.04'	26°20'12.1"	N 46°13'00" W	27.79'
C53	61.00'	35.18'	33°02'53.8"	S 16°31'27" E	34.70'
C54	417.50'	34.45'	4°43'41.4"	N 02°21'51" E	34.44'
C55	417.50'	73.04'	10°07'16.5"	S 09°44'24" W	72.95'
C56	417.50'	19.84'	2°43'20.1"	N 16°06'46" E	19.83'
C57	382.50'	52.89'	7°55'21.0"	S 13°30'45" W	52.85'
C58	382.50'	63.76'	9°33'04.8"	N 04°44'32" E	63.69'
C59	59.00'	64.70'	62°49'57.7"	N 47°02'48" W	61.51'
C60	59.00'	84.38'	81°56'47.3"	N 25°20'34" E	77.37'
C61	382.50'	12.61'	1°20'06'48.8"	S 72°03'23" W	12.48'
C62	382.50'	27.14'	4°03'54.2"	N 02°01'57" W	27.13'
C63	382.50'	32.27'	4°50'01.1"	N 06°28'55" W	32.26'
C64	417.50'	53.51'	7°20'38.5"	S 05°13'36" E	53.48'
C65	417.50'	11.33'	1°33'16.8"	S 00°46'38" E	11.33'
C66	417.50'	20.28'	2°46'59.3"	N 01°23'30" E	20.28'
C67	417.50'	72.70'	9°58'35.7"	N 07°48'17" E	72.60'
C68	417.50'	13.53'	1°51'23.0"	S 13°41'12" W	13.53'
C69	382.50'	29.61'	4°26'06.1"	N 12°23'55" E	29.60'
C70	382.50'	50.57'	7°34'28.8"	N 06°23'37" E	50.53'
C71	217.50'	27.30'	7°11'34.5"	N 06°17'10" E	27.29'
C72	217.50'	76.59'	20°13'07.3"	S 19°53'16" W	76.20'
C73	217.50'	31.64'	8°20'07.7"	S 34°08'39" W	31.61'
C74	132.50'	8.80'	3°48'12.7"	S 36°24'36" W	8.79'
C75	132.50'	70.56'	30°59'43.3"	N 19°15'08" E	69.73'
C76	182.50'	14.73'	4°37'25.9"	N 35°59'59" E	14.72'

GRAPHIC SCALE



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NO.	DATE	DESCRIPTION
1	9/12/19	REVISIONS PER AGENCY COMMENTS
2	5/6/21	REVISIONS PER AGENCY COMMENT LETTER DATED 5/5/21.

RECORD PLAT A

for
HAILEY'S GLEN
 SUSSEX COUNTY, DELAWARE
 INDIAN RIVER HUNDRED
 SCR 277

Date: 05-14-18
 Job Number: 17039
 Scale: 1"=50'
 Drawn By: HBB
 Designated By: HBB
 Approved By: SF

Sheet No.: _____
 File Name: RP.dwg

2



Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager; Lauren DeVore, Planner III; Christin Scott, Planner I; Nicholas Torrance, Planner I; Chase Phillips, Planner I; and Elliott Young, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: May 13th, 2021

RE: Other Business for the May 27th, 2021 Planning Commission Meeting

This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the May 27, 2021 Planning Commission meeting.

Hailey's Glen (2017-17) (F.K.A. Kielbasa)

KS

Final Subdivision Plan

This is a Final Subdivision Plan for the subdivision of a 32.366-acre +/- parcel of land into sixty-seven (67) lots with private roads, open space and associated amenities to include a proposed pavilion. The property is located on the north side of Angola Road (S.C.R. 277) and lies within the Henlopen Transportation Improvement District (TID) although it will not be subject to the requirements of the TID as the TID was approved after the application was first submitted and introduced. Additionally, the developer has opted to pay the Area Wide Study Fee in lieu of a Traffic Impact Study (TIS) for the project. The Planning and Zoning Commission approved the Preliminary Subdivision Plan at their meeting of Thursday, April 12, 2018. The Final Subdivision Plan complies with the Sussex County Zoning and Subdivision Code and all Conditions of Approval. Tax Parcel: 234-12.00-11.00. Zoning District: AR-1 (Agricultural Residential Zoning District). Staff are in receipt of all agency approvals.

Baylis Estates (Phase I) Amenities Plan

BM

Preliminary Site Plan

This is a Preliminary Amenities Plan for the Baylis Estates Phase I subdivision. This plan proposes a 4,100 square foot clubhouse, 1,215 square foot in ground pool and fencing, multi-purpose courts and 21 parking spaces. The site is located between Phases I and II as Lots 122 through 126 are currently proposed as part of Phase II. No landscaping is proposed as part of this plan. This Preliminary Amenities Plan complies with the Sussex County Zoning Code. Tax Parcel: 234-29.00-42.00. Zoning District: AR-1 (Agricultural Residential Zoning District). Staff are awaiting all agency approvals.

Frankford Business Park (S-18-56)

HW

Revised Final Site Plan

This is a Revised Final Site Plan for the construction of four single-story warehouse type buildings totaling 84,900 sf. and 10,000 sf. of office space along with two enclosed pipe yards, loading spaces and additional parking and site improvements. The Final Site Plan was previously approved by the Planning and Zoning Commission at its meeting on October 10, 2019. The Revised Final Site Plan is in compliance with the Sussex County Zoning Code. Tax Parcel: 433-11.00-21.02. Zoning: C-1 (General Commercial District) and AR-1 (Agricultural Residential District). Staff are awaiting agency approvals.



Rehoboth Inn (S-20-29) (F.K.A. Carmas Lane Cottages Motel)

KS

Preliminary Site Plan

This is a Preliminary Site Plan for a proposal to renovate two (2) existing hotels to include a total gross square footage of 15,100 square feet. The proposal consists of the renovation of Building “A,” an existing two-story motel and Building “C,” an existing two-story motel, replacing Building “B” with a proposed two-story, 9-unit motel and constructing a proposed 500 square foot addition to Building “C.” The property is located on the south side of Coastal Highway (Route 1) and lies within the Combined Highway Corridor Overlay Zone (CHCOZ). Multiple variances were sought for the property through BOA Case No. 12489 of which the Findings of Fact were approved by the Board of Adjustment on February 15, 2021. The Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 334-19.08-176.00. Zoning District: C-1 (General Commercial Zoning District.) Staff are in receipt of all required agency approvals for this proposal, and therefore, both Preliminary and Final approvals may be granted at the will of the Commission.

S-21-09 DeIDOT – Georgetown Administrative Building

Revised Final Site Plan

This is a Revised Final Site Plan for the expansion of the Delaware Department of Transportation Administrative Building in Georgetown. This plan proposes a 6,651 square foot addition to the existing 14,300 square foot building. Additionally, 48 new parking spaces and crosswalks are proposed to accommodate the increase in square footage of the building. Various landscaping and other site improvements are included as well as drainage upgrades that will be required to meet stormwater management standards and regulations. The property is located on northeastern corner of Dupont Boulevard (Rt. 113) and South Bedford Street (S.C.R. 431) in Georgetown. The site plan complies with the Sussex County Zoning Code. Tax Parcel: 135-23.00-13.00. Zoning District: AR-1 (Agricultural Residential District). Staff are awaiting agency approvals.

Lands of John D. & Ann M. Bamforth

KS

Minor Subdivision off a 50-ft Easement

This is a Minor Subdivision Plan for the subdivision of a 5.07-acre +/- parcel of land for the creation of one (1) lot plus residual lands with Lot 2 having access off an existing 40-ft ingress/egress access easement. Lot 1B will consist of 2.004 acres +/- . The parcel is located on the west side of Sand Hill Road (S.C.R 319). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 135-10.00-15.01. Zoning District: AR-1 (Agricultural Residential District). Staff are awaiting agency approvals.

Lands of Matthew L. Smith & Leah B. Wallace

HW

Minor Subdivision off a 50-ft Easement

This is a Minor Subdivision Plan for the subdivision of a 4.25-acre +/- parcel of land for the creation of one (1) lot plus residual lands with Lot 2 having access off a proposed 50-ft ingress/egress access easement. Lot 2 will consist of 2.109 acres +/- . The parcel is located on the east side of Horsey Church Road (S.C.R 510). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 532-12.00-36.01. Zoning District: AR-1 (Agricultural Residential District). Staff are in receipt of all agency approvals.

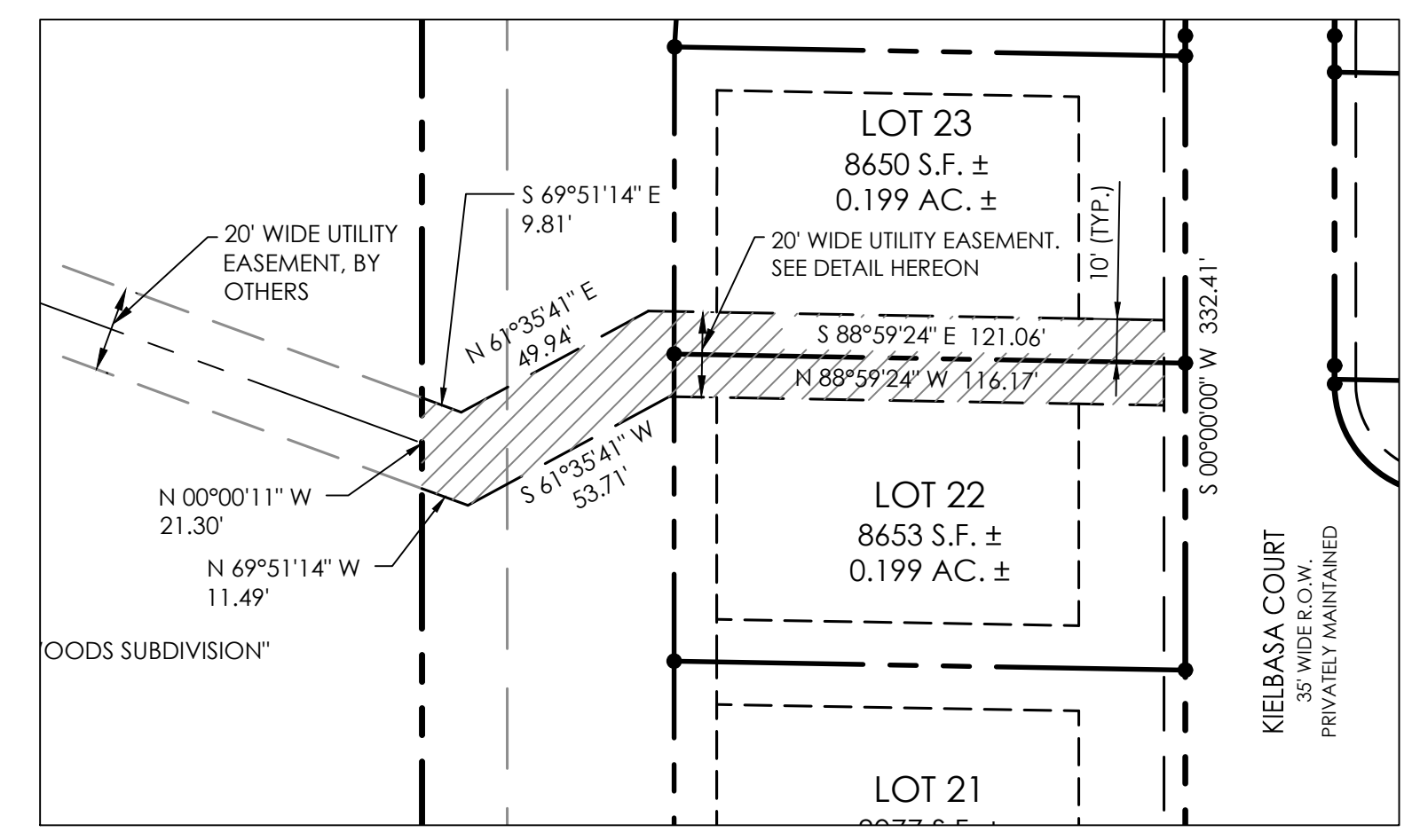
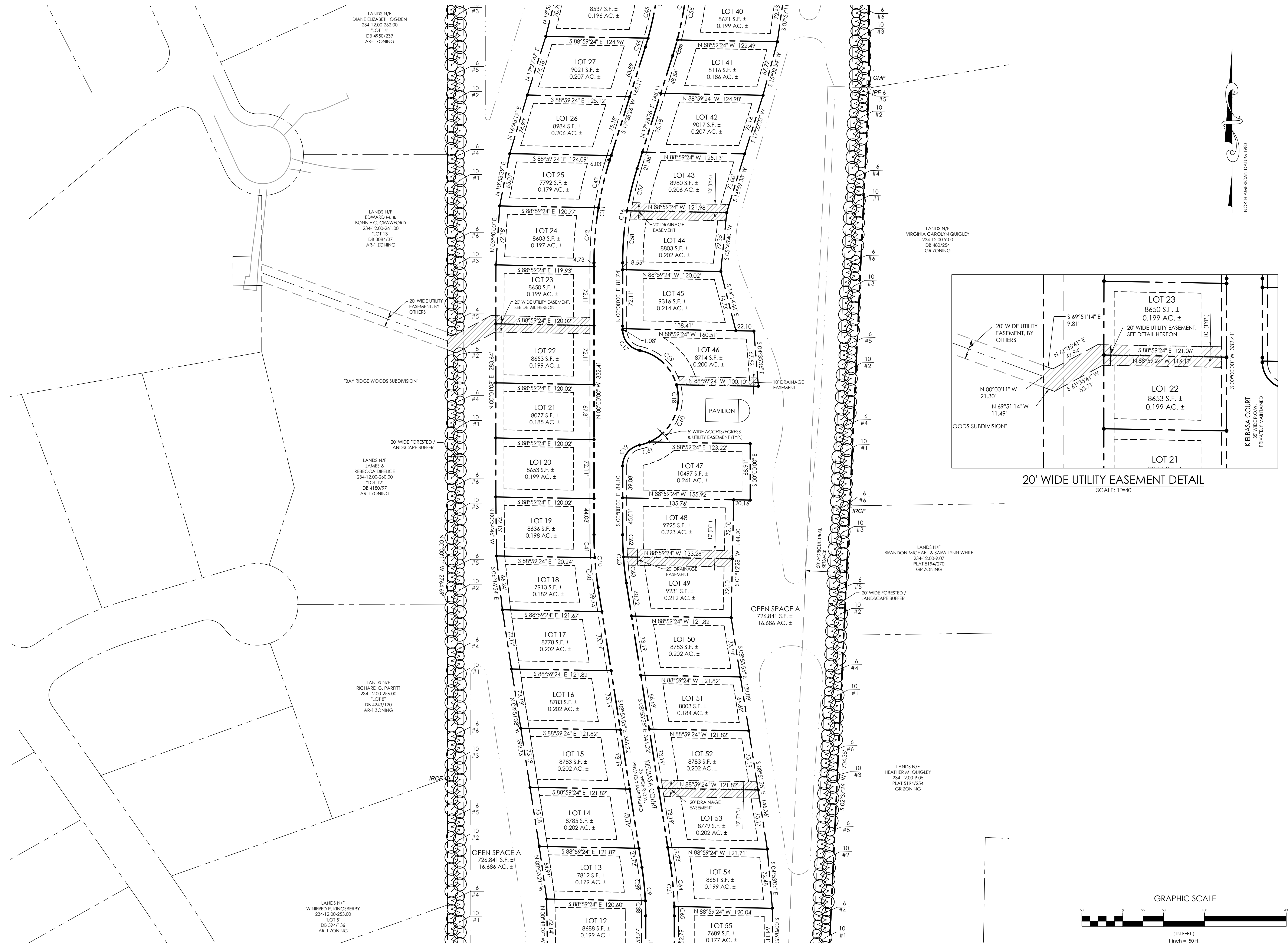
Lands of Jesse Atkinson

KH

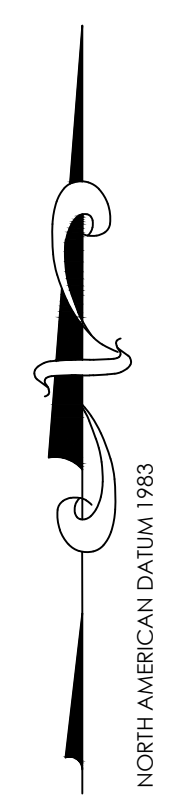
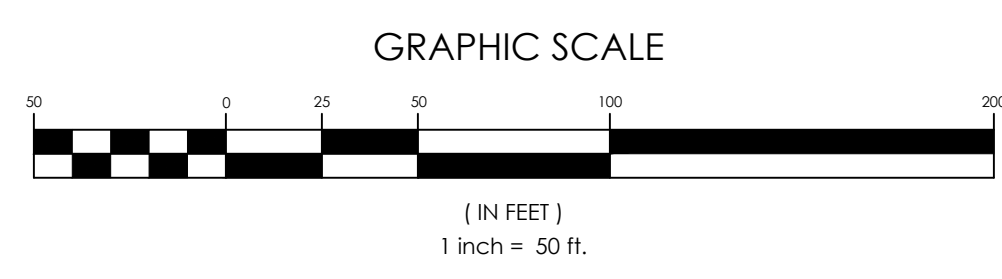
Minor Subdivision off a 40-ft Easement

This is a Minor Subdivision Plan for the subdivision of a 5.07-acre +/- parcel of land for the creation of one (1) lot plus residual lands with proposed Lot 2 having access off a proposed 40-ft ingress/egress

access easement. Lot 1 will consist of 1.14-acres +/- and the residual lands consisting of 3.93 acres +/- . The parcel is located on the west side of Marsh Road (S.C.R 521). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 231-7.00-38.01. Zoning District: AR-1 (Agricultural Residential District). Staff are awaiting agency approvals.



20' WIDE UTILITY EASEMENT DETAIL
SCALE: 1"=40'



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2	5/16/21	REVISIONS PER AGENCY COMMENT LETTER DATED 5/5/21.

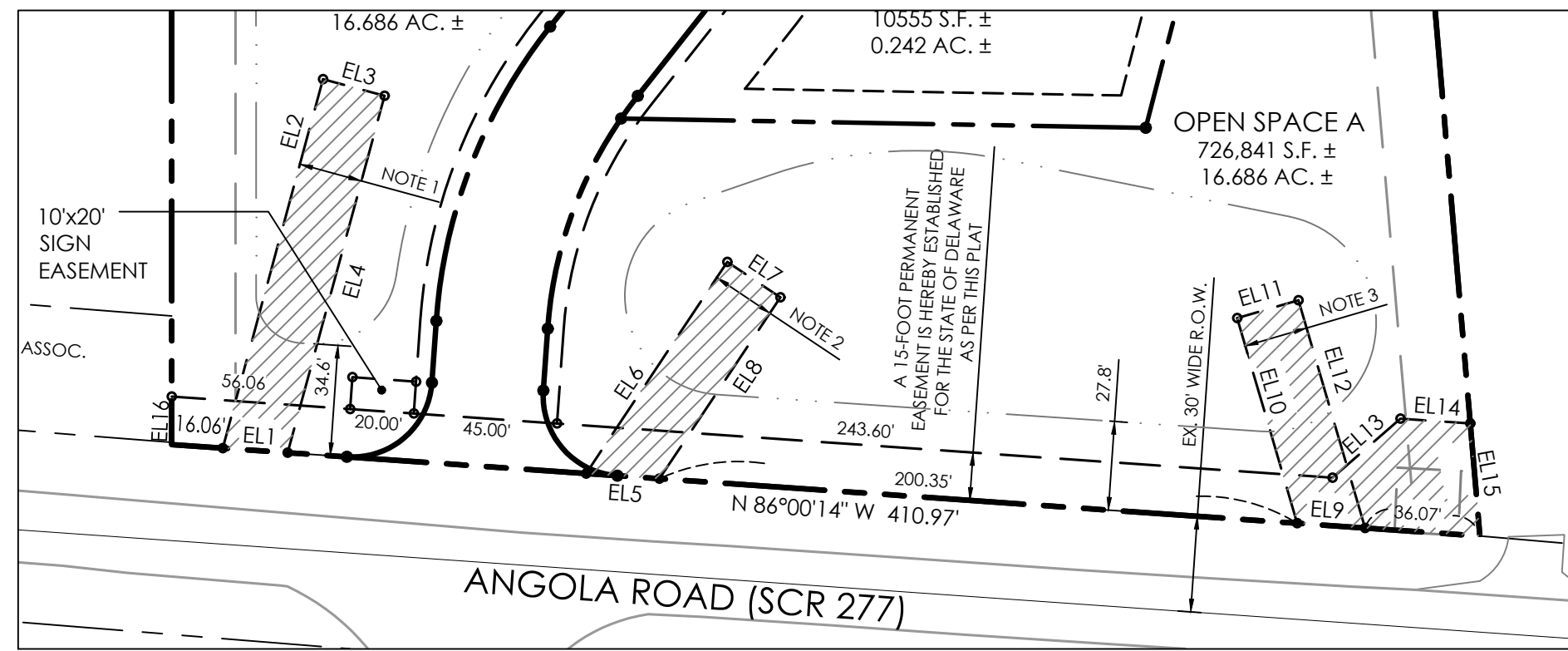
RECORD PLAT B
for
HAILEY'S GLEN
SUSSEX COUNTY, DELAWARE
INDIAN RIVER HUNDRED
SCR 277

Date:	05-14-18	Scale:	1"=50'	Drawn By:	HHB	Designed By:	HHB	Approved By:	SF
Job Number:	17039								

Sheet No.: **3**
File Name: RP.dwg

NOTES:

- A 20-FOOT WIDE PERMANENT EASEMENT CONTAINING 2355.54 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAN, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM THE STATE MAINTAINED ROADS AND/OR RIGHT-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.
- A 20-FOOT WIDE PERMANENT EASEMENT CONTAINING 1479.35 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAN, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM THE STATE MAINTAINED ROADS AND/OR RIGHT-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.
- A 20-FOOT WIDE PERMANENT EASEMENT CONTAINING 1412.66 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAN, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM THE STATE MAINTAINED ROADS AND/OR RIGHT-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.



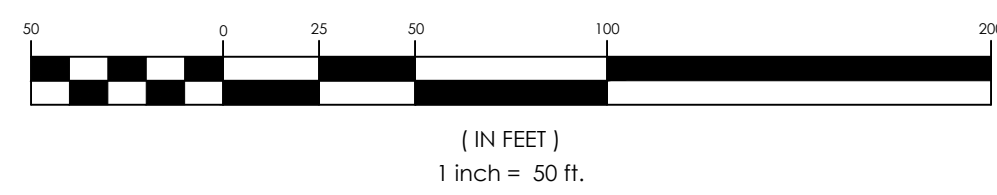
DELDOT STORM DRAIN EASEMENT DETAIL
SCALE: 1"=50'

EASEMENT LINE TABLE

LINE	BEARING	DISTANCE
EL1	N 86°00'14" W	20.39'
EL2	N 15°12'01" E	119.76'
EL3	S 74°47'59" E	20.00'
EL4	S 15°12'01" W	115.80'
EL5	N 86°00'14" W	23.03'
EL6	N 33°43'11" E	79.68'
EL7	S 56°16'49" E	20.00'
EL8	S 33°43'11" W	68.26'
EL9	S 86°00'14" E	21.33'
EL10	N 16°19'14" W	66.93'
EL11	N 73°40'46" E	20.00'
EL12	S 16°19'14" E	74.34'
EL13	N 48°59'44" E	28.22'
EL14	S 86°00'14" E	21.94'
EL15	S 04°52'21" E	25.38'
EL16	N 00°00'11" W	15.04'

LINE	BEARING	DISTANCE
L1	S 03°59'44" W	19.39'
L2	N 03°59'46" E	19.39'

GRAPHIC SCALE



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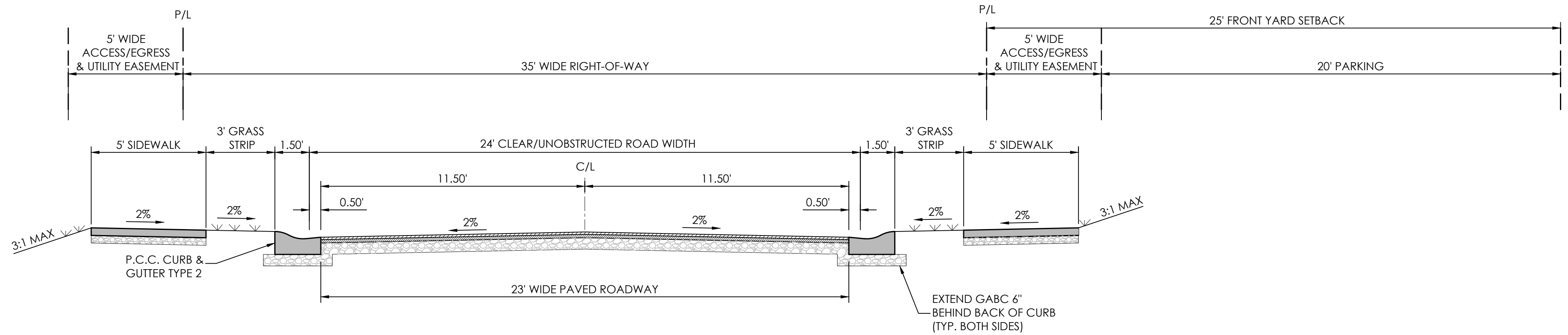
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RECORD PLAT C
for
HAILEY'S GLEN
SUSSEX COUNTY, DELAWARE
INDIAN RIVER HUNDRED
SCR 277

Date:	05-14-18	Scale:	1"=50'	Drawn By:	HHB	Designed By:	HHB	Approved By:	SF
Job Number:	17039	Scale:	1"=50'	Drawn By:	HHB	Designed By:	HHB	Approved By:	SF

Sheet No.:

File Name: RP.dwg



RESIDENTIAL STREET - 35' R/W
NOT TO SCALE

- NOTES:
1. PROVIDE 4" OF TOPSOIL COVERED WITH SEED AND MULCH ON PROPOSED GRASS AREAS.
 2. SUBBASE AND SUBGRADE SHALL BE COMPACTED TO 95% OF ASTM D1557, MODIFIED PROCTOR METHOD.

LANDSCAPE BUFFER

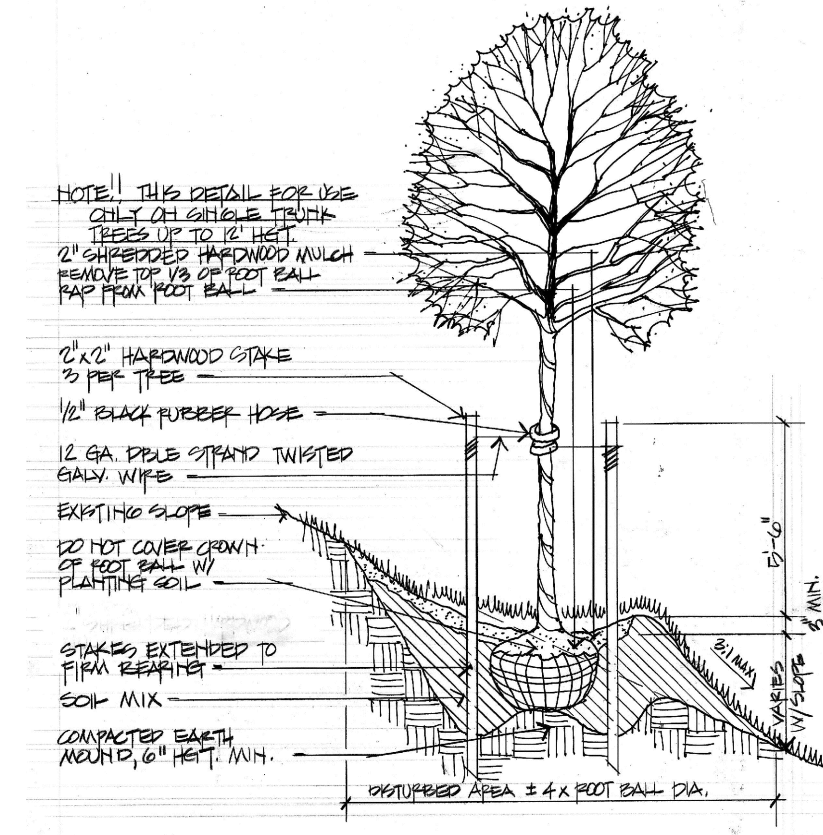
- NOTES:
1. THE LANDSCAPE AND/OR FOREST BUFFERS SHALL BE INSTALLED WITHIN 18 MONTHS FROM THE DATE SITE WORK IS AUTHORIZED TO COMMENCE, AS DOCUMENTED BY A NOTICE TO PROCEED LETTER FROM THE COMMISSION.
 2. THE LAND DEVELOPER SHALL BE RESPONSIBLE FOR THE HEALTH AND SURVIVAL OF THE TREES, INCLUDING REGULAR NECESSARY WATERING FOR A MINIMUM OF 2 YEARS OR UNTIL SUCH LATER DATE AS THE MAINTENANCE RESPONSIBILITIES ARE TRANSFERRED TO A CONDOMINIUM ASSOCIATION; PROVIDED, HOWEVER THAT THE DEVELOPER SHALL REPLACE AND TREES THAT DIE DURING THE MINIMUM 2 YEAR DEVELOPER MAINTENANCE PRIOR TO TRANSFERRING MAINTENANCE RESPONSIBILITIES TO A CONDOMINIUM ASSOCIATION.
 3. ADDITIONAL INFORMATION AS TO HOW THE LANDSCAPE / FORESTED BUFFERS ARE TO BE MAINTAINED IN PERPETUITY, SHALL BE INCLUDED IN THE RESTRICTIVE COVENANTS AND/OR CONDOMINIUM ASSOCIATION DOCUMENTS.
 4. PURSUANT WITH SUSSEX COUNTY CODE SECTION 99-5, THE 20' WIDE LANDSCAPE BUFFER SHOWN IN THIS PLAN MUST BE PLANTED WITH A MIX OF 70% DECIDUOUS AND 30% EVERGREEN TREES, THE MAJORITY OF WHICH SHALL BE SUITABLE TREES OF COMMON LOCAL SPECIES. EVERY 100' OF BUFFER SHALL INCLUDE A MINIMUM OF 15 TREES.
 5. ALL DECIDUOUS TREES THAT ARE PLANTED TO ESTABLISH THE BUFFER PLANTINGS SHALL HAVE A MINIMUM CALIPER OF 1.5 INCHES AND A MINIMUM HEIGHT OF SIX FEET ABOVE GROUND WHEN PLANTED IN ORDER TO INSURE THAT THE TREES WILL BE CAPABLE OF OBTAINING A MINIMUM HEIGHT OF 10 FEET ABOVE GROUND WITHIN FIVE YEARS OF BEING PLANTED.
 6. ALL EVERGREEN TREES THAT ARE PLANTED TO ESTABLISH THE BUFFER PLANTINGS SHALL HAVE A MINIMUM HEIGHT OF FIVE FEET ABOVE GROUND WHEN PLANTED IN ORDER TO INSURE THAT THEY ARE REASONABLY CAPABLE OF ATTAINING A MINIMUM HEIGHT OF 10 FEET ABOVE GROUND WITHIN FIVE YEARS OF BEING PLANTED.
 7. THE TREES SHALL BE PLANTED IN A STAGGERED NATURAL MANNER, THE PROCEDURES AND DETAILS FOR PLANTING NEW TREES SHALL BE SPECIFIED BY THE LANDSCAPE ARCHITECT ON THE PLAN SUBMITTED TO AND APPROVED BY THE COMMISSION AND SHALL INCLUDE THE REQUIREMENT THAT THE BUFFER AREA SHALL HAVE A FINAL GRADE THAT CONTAINS A MINIMUM OF FOUR INCHES OF TOPSOIL AND A SUITABLE GRASS MIX PLANTED AS SACRIFICIAL COVER BETWEEN THE BUFFER TREES FOR SOIL STABILIZATION UNTIL THE NEWLY PLANTED TREES BECOME LARGER. THE PLAN MAY SUBSTITUTE WOODCHIPS FOR PLANTED GRASS BETWEEN THE BUFFER TREES IN RESPECT TO BOTH NEWLY PLANTED AND EXISTING TREES, AS DETERMINED BY THE LANDSCAPE ARCHITECT

LANDSCAPE SCHEDULE				
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATION
180	#1	Acer rubrum	RED MAPLE	1 1/2" CAL., 6' HGT. MIN.
174	#2	Quercus phellos	WILLOW OAK	1 1/2" CAL., 6' HGT. MIN.
160	#3	Quercus rubra	RED OAK	1 1/2" CAL., 6' HGT. MIN.
108	#4	Ilex opaca	AMERICAN HOLLY	5' HGT. MIN.
97	#5	Picea abies	NORWAY SPRUCE	5' HGT. MIN.
96	#6	Pinus virginiana	VIRGINIA PINE	5' HGT. MIN.

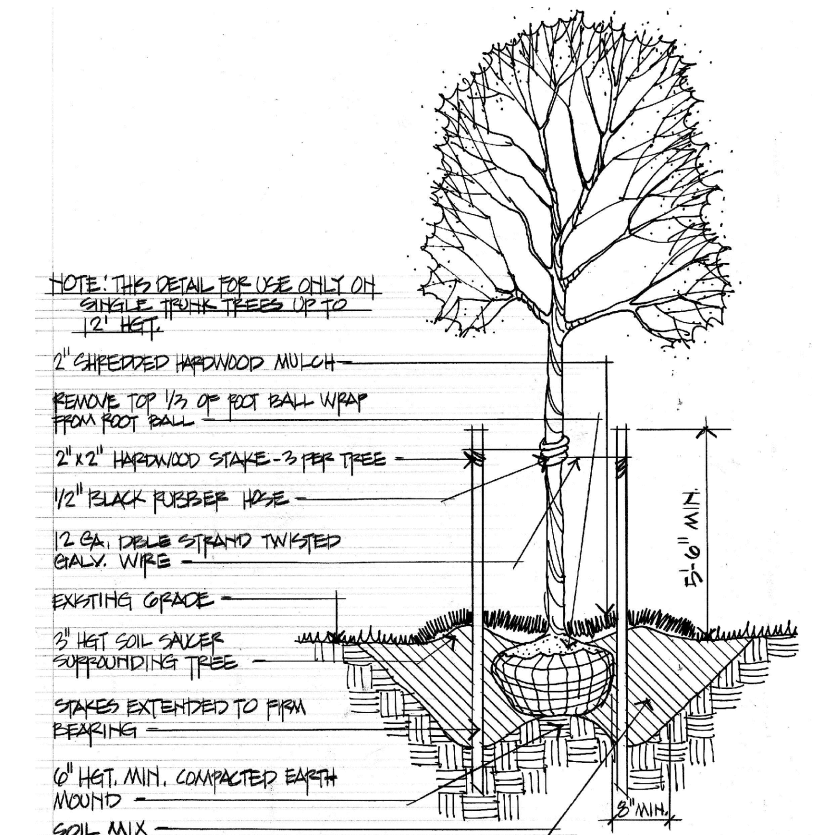
SUBSTITUTIONS:

BOTANICAL NAME	COMMON NAME	SPECIFICATION
Acer saccharum	SUGAR MAPLE	1 1/2" CAL., 6' HGT. MIN.
Chamaecyparis thyoides	ATLANTIC WHITECEDAR	5' HGT. MIN.
Crataegus viridis 'Winter King'	WINTER KING GREEN HAWTHORN	1 1/2" CAL., 6' HGT. MIN.
Liriodendron tulipifera	TULIP TREE	1 1/2" CAL., 6' HGT. MIN.
Pinus strobus	WHITE PINE	5' HGT. MIN.
Pinus taeda	LOBLOLLY PINE	5' HGT. MIN.
Quercus alba	WHITE PINE	1 1/2" CAL., 6' HGT. MIN.
Quercus coccinea	SCARLET OAK	1 1/2" CAL., 6' HGT. MIN.
Taxodium distichum	BALD CYPRESS	1 1/2" CAL., 6' HGT. MIN.
Magnolia virginiana	SWEETBAY MAGNOLIA	5' HGT. MIN.
Juniperus virginiana	EASTERN RED CEDAR	5' HGT. MIN.
Platanus acerifolia	LONDON PLANE TREE	1 1/2" CAL., 6' HGT. MIN.
Nyssa sylvatica	BLACK GUM	1 1/2" CAL., 6' HGT. MIN.
Salix babylonica	WEeping WILLOW	1 1/2" CAL., 6' HGT. MIN.

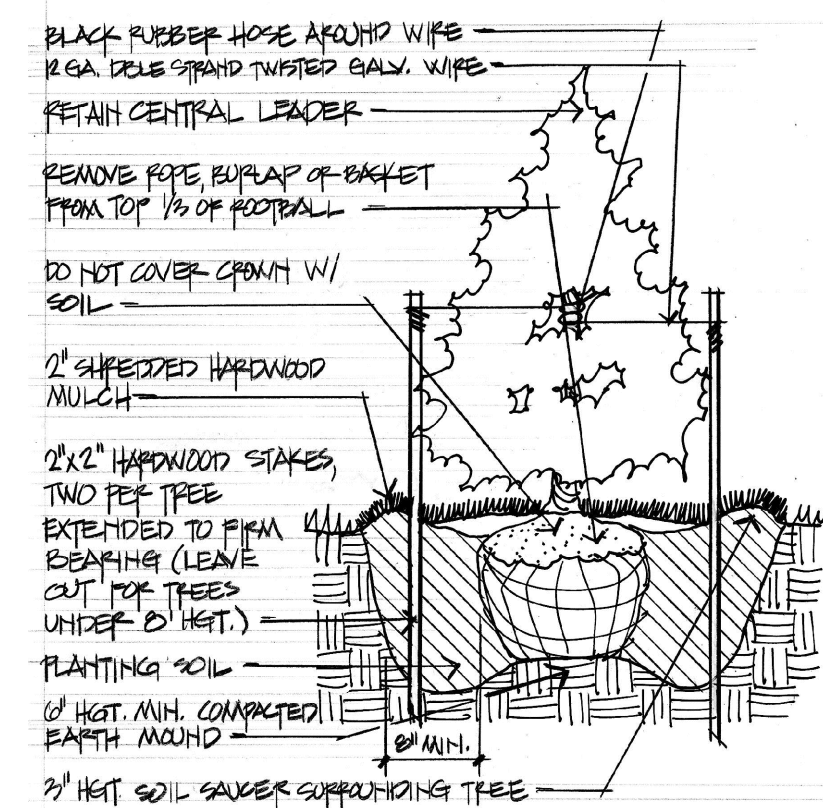
IF SUBSTITUTIONS ARE MAKE, ONLY SUBSTITUTE DECIDUOUS FOR DECIDUOUS OR EVERGREEN FOR EVERGREEN TO MAINTAIN REQUIRED MIX.



TREE PLANTING ON SLOPE DETAIL



DECIDUOUS TREE PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL



LANDSCAPE ARCHITECT'S CERTIFICATION
I HEREBY CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED UNDER MY SUPERVISION.
Lee Ann Schnappinger Bridgman 5-7-21
LEE ANN SCHNAPPINGER BRIDGMAN, RLA DATE
BRIDGMAN LANDSCAPE ARCHITECTURE, LLC

Seal
Date

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ROAD SECTION AND LANDSCAPING DETAILS
for
HAILEY'S GLEN
SUSSEX COUNTY, DELAWARE
INDIAN RIVER HUNDRED
SCR 277

Date:	05-14-18	Job Number:	17039	Scale:	NONE	Drawn By:	HHB	Designed By:	HHB	Approved By:	SF
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Sheet No.: **5**

File Name: RP.dwg

2017-17 Haileys Glen (also known as Kielbasa) – David K. Kielbasa and Terry Jan

Kielbasa This is a cluster/ESDDOZ subdivision. The cluster/ESDDOZ subdivision proposes to subdivide 32.3 +/- acres into sixty-eight (68) single family lots. The property is located on the north side of Angola Rd. and across from Angola Beach Rd. Zoning: AR-1 (Agricultural Residential District). 911 Address: 33199 Angola Rd., Millsboro. Tax Map I.D. 234-12.00-11.00

Ms. Cornwell advised the Commission that submitted into the record were an exhibit booklet, subdivision plan, staff analysis, TAC, comments from the Sussex Conservation District, DNREC of Fish and Wildlife, Division of Groundwater Discharge, Sussex County Engineering Utility Planning Division, Delaware Electric Co-op, Office of State Fire Marshal, Sussex County Mapping and Addressing Department, DelDOT, USDA Natural Resource Conservation Service, PLUS, Ms. Cornwell also advised that a waiver is required for the dead end street due to its length and two petitions in opposition.

The Commission found that William Scott, Attorney with Scott and Shuman, Mike Fitzgerald with Hailey Development, the applicant, and Frank Kea and Jason Palkewicz with Solutions IPEM were present of behalf of the application; that Mr. Scott stated that this is a cluster/ESDDOZ subdivision; that they are proposing 68 lots with active and passive open space on 32.3 +/- acres; that the density is 2.1 homes per acre; that average lot size is 8,500 square feet; that the property is located on Angola Road; that the property is zoned AR-1 with ESDDOZ; that the property is currently a combination of farmland, woodland and some non-tidal wetlands; that the property is adjacent to Bay Ridge Woods Community (single family homes) and farmland; that the Land Use classification per the Comprehensive Plan is Environmentally Sensitive Developing Area; that the site is located in State Strategy Level 3 with a small portion in 4; that there is no ability for interconnectivity but an emergency access is provided; that there will be turn arounds every 800 feet; that no TIS was required but there are improvements required; that Mr. Palkewicz stated there will be a 20 foot buffer around the development; that a 50 foot setback is provided from the existing agricultural land to the east; that the lots are 20 to 40 feet away from the property line; that infiltration practices are proposed to manage stormwater and stormwater will drain into the wetlands in the back; that no lots will be within 80 feet of the wetlands; that the only woodland to be removed will be for roads and lots; that they have talked to DelDOT and they will have to put a left turn lane into the site and into Angola Beach, and other improvements, that it is an almost an infill lot; that Marsh Farm has not been constructed; that Middle Creek is a cluster community; that Angola Bay is a dense community; that there is 44% open space; that there is a proposed small amenity feature; that Chapter 99-9C is explained in the exhibit booklet; that HOA documents were provided; that they have proposed that this subdivision will be able to use Marsh Farm Estates amenities; that Mr. Scott stated 5.4 acres of forested area will be maintained; that the density is in line with the area; that they have provided a draft of proposed conditions and findings of fact; that the streets are 24 feet wide; that the amenity has not yet been determined and the market will determine a better concept for the final site plan; that there is an old borrow pit within the trees; that they are keeping the perimeter with trees and maintaining the wetlands; that the lots will be sold as home packages; that there is no intent to cross wetlands for access to Marsh Farm Estates; that residents will have to drive to those amenities; that there will be sidewalks on both sides and street lights; that they will talk to the post office for central box location; and that they will talk to the school district about a bus stop.

The Commission found that there were no parties in favor of this application.

The Commission found Edward Crawford, Roger Edwards, June Santos, Jens Wegscheider, Eric Quigley, Richard Raynic, Leonard Ullman, Carolyn Adkins Quigley, Curt Smith, Jerry Sideman, Judy Mangini, Carol Hughes, Gretchen Klein, Dawn Quigley and Jerome Arniti spoke in opposition to the application; that Mr. Crawford stated he has a nice forested view now and this would create a dense subdivision adjacent to his property; that this will decrease property values; that this is a bad plan; that it is a very narrow site; that this may conform to the letter of the law but it is deficient to intent of the cluster development; that most of the trees will be cut and the only trees that will be left are by the creek which is a very important wildlife corridor; that the area was used as an old borrow pit; that there will be little recreation area; that there is no quality or open space; that he has concerns with the HOA; that he has concerns with traffic; that Mr. Edwards stated he has problems with dense construction; that he has concerns with open space; that they should think about children and have a place for cars for the school bus stop; that he has concerns with encouraging access road; that this is not needed; that Ms. Santos stated she has concerns with traffic; that there is no emergency access out of the parcel; that there are already 380 homes approved on Angola Road and over 300 off of Camp Arrowhead Road and she does not think the roads are wide enough; that she has concerns with home values; that she has concerns with mosquitos from the stormwater management ponds; that Mr. Wegscheider stated he has concerns with sewer and will they have their own pump stations; that people don't want small lots with no trees; that there are 3,000 new homes approved within a 3 miles radius; that he has concerns with sharing amenities; that 314 homes have been approved in Middle Creek Preserve on Angola Road; that he has concerns with traffic and emergency evacuation access; that Mr. Quigley stated he believes there are Indian Artifacts on the site; that Mr. Raynic stated he has concerns with developments occurring; that he has concerns with sprawl; that Mr. Ullman stated he has issues with the emergency access and with other roads; that Ms. Carolyn Adkins Quigley stated she has concerns with emergency access; that Mr. Smith stated there are a number of developments in the area; that this is in a bad location; that Mr. Sideman stated this will destroy the character of the area; that this will destroy the land; that this is a bad design; that there will be loss of wildlife habitat; that Ms. Mangini stated she has concerns with changes to the area; that there are lots of houses already built; that there needs to be a moratorium; that Ms. Hughes stated this is not consistent with the area; that she has concerns with stormwater management; that Ms. Klein stated she has concerns with wetlands; that Ms. Quigley stated she wants to know what the white item is on the plan which is the pump station; that has there been historical research; that she has concerns with the number of kids into the school system which is already crowded; that there is lack of open space; that there is no emergency access on the road; and that Mr. Arniti stated he has concerns with flooding.

Mr. Scott stated they did not identify any significant historical areas on the site and if they find any, they will have to comply with the state; that Marsh Farm Estates will be made aware of shared amenities; that this is a similar density to Marsh Farm Estates; that the price range is in the upper \$300,000 range; and that there is no plan to market to any one area.

At the conclusion of the public hearings, the Commission discussed this application.

Motion by Mr. Hudson, seconded by Ms. Stevenson, and carried unanimously to defer action for further consideration. Motion carried 5-0.

C/U #2119 Chad Hayes

MINUTES OF THE REGULAR MEETING OF MARCH 22, 2018

The regular meeting of the Sussex County Planning and Zoning Commission was held on Thursday evening, March 22, 2018 in the County Council Chamber, Sussex County Administration Office Building, Georgetown, Delaware.

The meeting was called to order at 6:00 p.m. with Chairman Ross presiding. The following members of the Commission were present: Mr. Martin Ross, Ms. Kim Hoey-Stevenson, Mr. Doug Hudson, Mr. Keller Hopkins, Mr. Robert Wheatley-absent, with Mr. Vince Robertson – Assistant County Attorney, Ms. Janelle Cornwell – Director, Mrs. Jennifer Walls – Planning Manager, and Mr. Jamie Whitehouse - Planner III.

Motion by Ms. Stevenson, seconded by Mr. Hudson, and carried unanimously to approve the Agenda as posted. Motion carried 4-0.

Motion by Mr. Hudson, seconded by Mr. Hopkins, and carried unanimously to approve the Minutes for February 22, 2018 and March 8, 2018 as revised. Motion carried 4-0.

OLD BUSINESS

2017-17 Haileys Glen (also known as Kielbasa) – David K. Kielbasa and Terry Jan Kielbasa This is a cluster/ESDDOZ subdivision. The cluster/ESDDOZ subdivision proposes to subdivide 32.3 +/- acres into sixty-eight (68) single family lots. The property is located on the north side of Angola Rd. and across from Angola Beach Rd. Zoning: AR-1 (Agricultural Residential District). 911 Address: 33199 Angola Rd., Millsboro. Tax Map I.D. 234-12.00-11.00

The Planning Commission discussed the application which had been deferred since March 8, 2018.

The Planning Commission discussed concerns with the road for the emergency access; that the only one way in with bump outs has been provided; that they prefer full turn arounds but will defer to the Fire Marshal's determination; that there is a lack of amenities provided on site; that shared amenities with neighboring communities is a concern due to fairness and there is the potential for parking shortage for the amenities; that provision of onsite amenities is intended to reduce traffic on the roads; and that there may be an option for connecting to neighboring amenities; however, wetlands may be impacted.

Motion by Mr. Hudson, seconded by Ms. Stevenson and carried unanimously to defer action for further consideration. Motion carried 4-0.

C/U #2119 Chad Hayes

An Ordinance to grant a Conditional Use of land in an AR-1 (Agricultural Residential District) for automotive sales with minor repairs and contractor office with storage to be located on a certain parcel of land lying and being in Georgetown Hundred, Sussex County, containing 0.909 acres, more or less. The property is located on the north side of Lewes-Georgetown Hwy. (Rt. 9) approximately 812 ft. east of Sand Hill Rd. 911 Address: 22091 Lewes-Georgetown Hwy., Georgetown. Tax Map I.D. 135-15.00-40.00

The Planning Commission discussed the application which had been deferred since March 8,

MINUTES OF THE REGULAR MEETING OF APRIL 12, 2018

The regular meeting of the Sussex County Planning and Zoning Commission was held on Thursday evening, April 12, 2018 in the County Council Chamber, Sussex County Administration Office Building, Georgetown, Delaware.

The meeting was called to order at 6:00 p.m. with Chairman Ross presiding. The following members of the Commission were present: Mr. Martin Ross, Ms. Kim Hoey-Stevenson, Mr. Doug Hudson, Mr. Keller Hopkins, Mr. Robert Wheatley, with Mr. Vince Robertson – Assistant County Attorney, Ms. Janelle Cornwell – Director, Mrs. Jennifer Walls – Planning Manager - absent, and Mr. Jamie Whitehouse - Planner III.

Motion by Ms. Stevenson, seconded by Mr. Hopkins, and carried unanimously to approve the Agenda as posted. Motion carried 5-0.

Motion by Ms. Stevenson, seconded by Mr. Hudson, and carried unanimously to approve the Minutes for March 22, 2018 as submitted. Motion carried 5-0.

OLD BUSINESS

2017-17 Haileys Glen (also known as Kielbasa) – David K. Kielbasa and Terry Jan Kielbasa

This is a cluster/ESDDOZ subdivision. The cluster/ESDDOZ subdivision proposes to subdivide 32.3 +/- acres into sixty-eight (68) single family lots. The property is located on the north side of Angola Rd. and across from Angola Beach Rd. Zoning: AR-1 (Agricultural Residential District). 911 Address: 33199 Angola Rd., Millsboro. Tax Map I.D. 234-12.00-11.00

The Planning Commission discussed the application which had been deferred since March 8, 2018.

Mr. Hudson moved that the Commission grant preliminary approval for Subdivision 2017-17 for Haileys Glen (also known as Kielbasa) – David A. Kielbasa and Terry Jan Kielbasa based upon the record made during the Public Hearing and for the following reasons;

1. The Applicant is seeking approval of a subdivision within the Environmentally Sensitive Developing Area and the AR-1 Zoning District. The Applicant is seeking clustered lots with a minimum area of 7,500 square feet.
2. The proposed subdivision will have no more than 68 lots on approximately 32.3 acres. This results in a density that is within the maximum density permitted in the AR-1 zone for a project within the Environmentally Sensitive Developing Area.
3. This subdivision will not have a significant impact on the neighboring properties or area roadways.
4. The proposed subdivision meets the purpose and standards of the Subdivision Code, and the applicant has addressed the requirements of Section 99-9C of the Code.
5. The project will be served by central water and sewer.
6. The development complies with the Sussex County Comprehensive Plan as a low density, single family dwelling subdivision.
7. The development will include approximately 14.5 acres of open space which is 44% of the site. Part of this open space includes 5.3 acres of forested areas and 3.0 acres of wetlands.

8. The subdivision shall not share any amenities with other nearby subdivisions. That arrangement as proposed by the applicant creates a dangerous situation for children and families having to travel on two different County roads to access their pool or clubhouse. And, it would create unnecessary traffic in the area. It is not a workable proposal for this project.
9. This preliminary approval is subject to the following:
 - A. There shall be no more than 68 lots within the subdivision.
 - B. The developer shall establish a homeowner's association responsible for the maintenance of streets, roads, buffers, stormwater management facilities and other common areas.
 - C. The stormwater management system shall meet or exceed the requirements of the State and County. The Final Site Plan shall contain the approval of the Sussex Conservation District for the design and location of all stormwater management areas and erosion and sedimentation control facilities.
 - D. A forested or landscaped buffer of at least 20 feet in depth shall be installed along the entire perimeter of the project. The Final Site Plan shall contain a landscaped plan for all of these areas.
 - E. The subdivision shall be served by Sussex County for sewer service.
 - F. The subdivision shall be served by a publicly regulated central water system providing drinking water and fire protection.
 - G. Street design shall meet or exceed Sussex County standards. This includes County street design requirements for turnarounds along the dead-end roadway.
 - H. The development shall be served by its own on-site active amenities such as a pool and pool house, and not a sharing arrangement with any other nearby development. These amenities shall be centrally located within the project. The location and type of amenities shall be shown on a revised Preliminary Site Plan submitted in accordance with Condition M.
 - I. The developer shall complete all amenities within 2 years of the issuance of the first residential building permit.
 - J. Road naming and addressing shall be subject to the review and approval of the Sussex County Mapping and Addressing Department.
 - K. Deliveries of dirt, fill or other similar materials shall only be made to or from the site between the hours of 8:00 a.m. through 5:00 p.m., Monday through Friday.
 - L. The Final Site Plan shall indicate all forested areas that will be preserved.
 - M. A revised Preliminary Site Plan either depicting or noting these conditions must be submitted to the Office of Planning and Zoning.
 - N. The Final Site Plan shall be subject to the review and approval of the Planning and Zoning Commission.

Motion by Mr. Hudson, seconded by Mr. Hopkins and carried unanimously to grant Preliminary approval with Final Site Plan approval by Planning and Zoning Commission. Motion carried 5-0.

2017-20 The Grove at Love Creek - J.G. Townsend, Jr. & Co.

This is a cluster/ESDDOZ subdivision. The cluster/ESDDOZ subdivision proposes to subdivide 200.69 +/- acres into two-hundred forty-seven (247) single family lots, amenities and site improvements to be located on a certain parcel of land lying and being in Lewes and Rehoboth Hundred, Sussex County. The property is located on the south sides of Ward Rd. (Rd. 283A) and Cedar Grove Rd. and east of Mulberry Knoll Rd. (Rd. 284). The subdivision is zoned AR-1 (Agricultural Residential District) and GR (General Residential District). 911 Address: None

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878
302-854-5079 F
JAMIE WHITEHOUSE, AICP MRTPI
PLANNING & ZONING DIRECTOR

May 18, 2021

Mr. Jason Palckewicz, P.E.
Solutions, IPEM, LLC
303 North Bedford Street
Georgetown, DE 19947

By email to: jpalkewicz@solutionsipem.com

RE: Staff Review of the Check Print of the Final Subdivision Plan for Hailey's Glen (2017-17) (F.K.A. Kielbasa) for the subdivision of a 32.366-acre +/- parcel of land into sixty-seven (67) lots with private roads, open space and associated amenities to include a proposed pavilion and located on the north side of Angola Road (S.C.R. 277).
Tax Parcel: 234-12.00-11.00

Dear Mr. Palkewicz,

Further to your submission of March 30, 2021, the Planning and Zoning Department has reviewed the submitted Check Print of the Final Subdivision Plan for the subdivision of a 32.366-acre +/- parcel of land into sixty-seven (67) lots with private roads, open space and associated amenities to include a pavilion and located on the north side of Angola Road (S.C.R. 277). The parcel is zoned Agricultural Residential (AR-1) Zoning District. The parcel also lies within the Coastal Area per Sussex County's 2019 Comprehensive Plan and is located within the Henlopen Transportation Improvement District (TID) (although it will not be subject to the requirements of the Henlopen TID, as the TID was approved after the application was first introduced.) Staff have reviewed the proposed subdivision plan for compliance with the Sussex County Zoning and Subdivision Code and have the following comments:

Final Subdivision Plan

1. Please add the County Project Reference Number to the top center of the proposed plans. The County Project Reference Number for this project is Subdivision (2017-17).
2. The Site Data Column indicates that the owner of the property is Schell Brothers, LLC. However, the County's Online Mapping System demonstrates that the current Property Owner is Mr. David Kielbasa. Please confirm that this information is correct to ensure that the Owner's Certification is also correct and signed by the current owner of the subject property.



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE 19947

3. Please fix the minor grammatical error on Sheet No. 2 for Tax Parcel ID: 234-12.00-22.00 shown at the top of the plans to reflect this parcel as being zoned “AR-1 Zoning.”
4. Please fix the minor grammatical error on Sheet Numbers 2 and 3 showing the Property Owner of Tax Parcel ID 234-12.00-262.00 as “Diane Alizabeth Ogden” to “Diane Elizabeth Ogden.”
5. Parcel 9.02 does not appear to be shown on Sheet No. 2. Please show the general metes and bounds and location of this parcel as well as the current Property Owner of this parcel on the plans.
6. Parcel 9.06 appears to be missing on Sheet No. 3. Please show the general metes and bounds and location of this parcel as well as the current Property Owner of this parcel on the plans.
7. Please include in the Site Data Column that the Project is not located within a Wellhead Protection Area in order to comply with Chapter 89 “Source Water Protection” of the Sussex County Code (§89-6).
8. Please include in the Site Data Column that the project is located within an area of “Good” and “Fair” Groundwater Recharge Potential in order to comply with Chapter 89 “Source Water Protection” of the Sussex County Code (§89-7).
9. Please include a breakdown of tidal vs. non-tidal wetland totals in the Site Data Column as well as those wetlands which are under the Delaware Department of Natural Resources and Environmental Control’s (DNREC’s) (State) jurisdiction and those which are under the Army Corp. of Engineers’ (Federal) jurisdiction.
10. Please show the surrounding parcels to the west of the subject property as being within the Bay Ridge Woods Subdivision. Please note that the names of adjacent subdivisions shall be shown on the plans (§99-26(A)(6)).
11. Please note that all street names shall be approved by the Sussex County Department of Mapping and Addressing prior to final approval of the project (§99-26(A)(7)).
12. Please note in the Site Data Column that the proposed subdivision is not located within a Wellhead Protection Area to comply with Chapter 89 “Source Water Protection” of the Sussex County Code (§89-6).
13. Please note in the Site Data Column that the proposed subdivision is located within an area of “Good” and “Fair” Groundwater Recharge Potential to comply with Chapter 89 “Source Water Protection” of the Sussex County Code (§89-7).
14. Please include the locations, dimensions and purposes of any other property offered for dedication or to be reserved for acquisition for public use or to be reserved by deed covenant for the common use of property owners in the subdivision (§99-26(A)(11)).
15. Please include a breakdown of the open space on the plans (Open Space “A,” “B,” “C,” etc.) and the purpose of all open space areas. Please also add the percentage of impervious surface cover area in the Site Data Column (§99-26(A)(19)).

16. Please show the location of any proposed lighting within the subdivision.
17. Please include in the General Notes Column that any signage that is proposed will require a separate permit from the County.
18. Please ensure that the 20-ft forested/landscape buffer meets the provisions of §99-5 of the Sussex County Code is shown around the entire perimeter of the site to be developed. Please note that the 20-ft width shall be exclusive of any proposed stormwater management areas or facilities, open space, etc. A landscape plan for the buffer shall be designed and certified by a licensed landscape forester or architect designated by the Society of American Foresters as a “certified forester.” The certification should be included on any Final Subdivision Plan.
19. Prior to approval of the Final Site Plan, approval letters or letters of no objection from the following agencies shall be submitted to the Sussex County Planning and Zoning Office:
 - a. **Sussex Conservation District**
 - b. **Office of State Fire Marshal**
 - c. **Delaware Department of Transportation (DelDOT)**
 - d. **Sussex County Engineering Department**
 - e. **Sussex County Mapping and Addressing Department**
 - f. **Office of Drinking Water (Public Health)**
 - g. **The local school district regarding bus stop provisions.**
 - h. **Copies of any proposed HOA bylaws or deed restrictions to be imposed on property owners within the subdivision.**

Please provide **one (1) full-size copy** and **one (1) electronic copy** of a Final Subdivision Plan at least ten (10) days prior to the Planning and Zoning Commission meeting you wish for your application to be considered at. If you wish for your application to be considered by the Planning and Zoning Commission at their meeting scheduled for **May 17, 2021**, please submit all required materials later than close of business on **May 27, 2021**.

Please feel free to contact me with any questions during business hours 8:30 A.M. – 4:30 P.M., Monday through Friday at 302-855-7878.

Sincerely,



Ms. Lauren DeVore
Planner III



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

RECEIVED

MAY 17 2021

SUSSEX COUNTY
PLANNING & ZONING

JENNIFER COHAN
SECRETARY

May 02, 2019

Ms. Janelle Cornwell, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

SUBJECT: Letter of No Objection to Recordation
Hailey's Glen (F.K.A Kielbasa)
Tax Parcel # 234-12.00-11.00
SCR 277 (Angola Road)
Indian River Hundred, Sussex County

Dear Ms. Cornwell:

The Department of Transportation has reviewed the Site Plan, dated May 14, 2018 (signed and sealed on April 30, 2019), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawings. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Site Plan is not recorded prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. Entrance plans shall be developed in accordance with DelDOT's [Development Coordination Manual](#) and submitted to the Development Coordination Section for review and approval.

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel

Hailey's Glen (F.K.A Kielbasa)
Ms. Janelle Cornwell
Page 2
May 02, 2019

that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

If I can be of any further assistance, please call me at (302) 760-2266.

Very truly yours,



Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

cc: Mike Fitzgerald, Hailey Development, LC
Jason Palkewicz, Solutions IPEM
William Kirsch, South District Entrance Permit Supervisor
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Gemez W. Norwood, South District Public Work Manager
Jennifer Pinkerton, Chief Materials & Research Engineer
Peter Haag, Traffic Studies Manager
Linda Osiecki, Consistency Control Engineer
John Fiori, Bicycle Coordinator
Maria Andaya, Pedestrian Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Joseph Ellis, Contech Manager
David Dooley, DTC Planner
James Kelley, JMT
Todd Sammons, Subdivision Engineer
John Andrescavage, Sussex County Reviewer



April 15, 2021

Hollis Bartkovich, EIT
Solutions, IPEM
3003 Merritt Mill Road
Salisbury, MD 21804

Re: Hailey's Glen

Dear Ms. Bartkovich:

The Division of Public Health Office of Engineering has reviewed your request for an extension for Hailey's Glen, Approval to Construct #19W15. This approval has been extended for one year. The approval will be void if construction has not started by April 15, 2022. The approval number, 19W15, and List of Conditions dated January 11, 2019 will remain the same. If changes are necessary, revised plans shall be submitted and a supplemental approval issued prior to construction.

It is the owner's responsibility to ensure as-built drawings are maintained throughout all phases of construction. Prior to receiving an Approval to Operate, the Office of Engineering requires one set of as-built drawing, including profile markups.

If you have any questions or concerns, please contact me at (302) 741-8646.

Sincerely,

A handwritten signature in black ink, appearing to read "William J. Milliken, Jr.".

William J. Milliken, Jr.
Engineer III
Office of Engineering

Cc: Alexis-Verdin-Gede, Tidewater Utilities, Inc.

PLAN APPROVAL APPLICATION

Development Name _____
Engineering Firm _____
Contact Number _____
Developer _____
Contact and Number _____

PLEASE INCLUDE THE FOLLOWING WITH THIS APPLICATION:

- 1) (3) copies of **SEALED FINAL WATER PLANS** as approved by:
TUI, Office of State Fire Marshal and DHSS-Office of Drinking Water.
- 2) Copy of Office of State Fire Marshal approval letter
- 3) Copy of DHSS - Office of Drinking Water approval letter
- 4) Copy of **RECORDED RECORD PLAT** showing all TUI easements with Book/Page
- 5) Electronic copies on CD:
 - **SEALED FINAL WATER PLANS** in .pdf and .dwg format
 - **RECORDED RECORD PLAT** in .pdf format

BUILDING TYPE	# OF BUILDINGS	UNITS PER BUILDING	# OF DOMESTIC METERS	DOMESTIC METER SIZE	# OF FIRE CONNECTIONS	FIRE CONNECTION SIZE

One line per Domestic or Fire connection size

Fire Connections must be shown on FINAL plans submitted

Building Types

SF - 1 or 2 family detached
TC - Townhome or Condominium
AP - Apartment
CC - Community/Clubhouse
PH - Pool/Poolhouse
CM - Commercial
PS - Sanitary Sewer Pump Station

Various Domestic Meter Sizes

5/8", 1", 1 1/2", 2", 3", 4"

Various Fire Connection Sizes

2", 4", 6", 8", N/A

Project Manager

Date



DELAWARE HEALTH AND SOCIAL SERVICES

Division of Public Health

Office of Engineering

Phone: (302) 741-8640

Fax: (302) 741-8641

January 11, 2019

TIDEWATER UTILITIES, INC.

APPROVAL TO CONSTRUCT

Haileys Glen Connection

Angola District

PWS #DE0000248

Approval #19W15

Mr. Mike Fitzgerald
BB Kielbasa, LLC
7910 Woodmont Avenue, Suite 1165
Bethesda, MD 20814

Dear Mr. Fitzgerald:

As provided by Section 2.11 of the *State of Delaware Regulations Governing Public Drinking Water Systems*, you are granted approval to connect Haileys Glen to the existing main in accordance with the plans submitted by Solutions IPEM, LLC. The plans consist of:

1. Transmittal letter dated January 11, 2019.
2. Two copies of the plans entitled "Haileys Glen" dated June 14, 2018 and revised January 9, 2019.

These plans, as noted, are made a part of this approval. This approval is granted subject to the enclosed list of conditions. It is the owner's responsibility to ensure as-built drawings are maintained throughout all phases of construction. Prior to receiving an Approval to Operate, the Office of Engineering requires one set of as-built drawings, including profile markups.

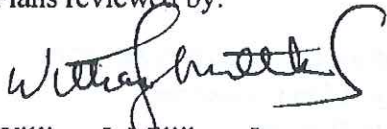
The Office of Engineering recommends detectable tracer tape that is three inches wide and blue in color to be installed directly above all water mains larger than two inches in diameter.

I am sending one set of plans with a copy of this approval to Solutions IPEM, LLC that is signed and dated by the Office of Engineering.

Mr. Mike Fitzgerald
BB Kielbasa, LLC
January 11, 2019
Page 2

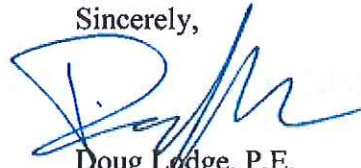
Should you have any questions regarding this matter, please feel free to contact Bill Milliken at (302) 741-8646.

Plans reviewed by:



William J. Milliken, Jr.
Engineer III
Office of Engineering

Sincerely,



Doug Lodge, P.E.
Supervisor of Engineering
Office of Engineering

cc: Janelle Cornwell, Sussex County Planning & Zoning
Kevin Neilson, Public Service Commission
Holly Bartkovich, EIT, Solutions IPPEM, LLC
Alexis Virdin-Gede, Tidewater Utilities, Inc.
Tawanda Priester, Tidewater Utilities, Inc.
Ashley Kunder, Office of Drinking Water

1. The approval is void if construction has not started by January 11, 2020.
2. The project shall be constructed in accordance with the approved plans and all required conditions listed in this Approval to Construct. If any changes are necessary, revised plans shall be submitted and a supplemental approval issued prior to the start of construction. As-built plans including profile mark-ups must be submitted to the Office of Engineering after construction has been completed.
3. Representatives of the Division of Public Health may inspect this project at any time during the construction.
4. This approval does not cover the structural stability of any units or parts of this project.
5. The water system shall be operated in conformance with the *State of Delaware Regulations Governing Public Drinking Water Systems*.
6. All wells, pipes, tanks, and equipment which can convey or store potable water shall be disinfected in accordance with the current AWWA procedures. Plans or specifications shall outline the procedure and include the disinfectant dosage, contact time, and method of testing the results of the procedure. (Recommended Standards for Water Works 2012 Edition 2.15)
7. Water mains crossing sanitary and storm sewers should be laid to provide a minimum vertical distance of 18 inches between the outside of the water main and the outside of the sewer, and the water main should be above the sewer. At crossings, one full length of water pipe should be located so both joints will be as far from the sewer as possible. Special structural support for the water and sewer pipes may be required. In cases where it is not practical to maintain an 18-inch separation, the Division may allow deviation on a case-by-case basis if supported by data from the design engineer.
8. Water mains should be laid 10 feet horizontally from any existing or proposed sanitary or storm sewers. The distance should be measured edge to edge. In cases where it is not practical to maintain a 10-foot separation, the Division may allow deviation on a case-by-case basis if supported by data from the design engineer.
9. All chemicals, materials, mechanical devices, and coatings in contact with potable water shall comply with National Sanitation Foundation/American National Standards Institute Standards (NSF/ANSI) 60 and 61 and shall be inert, nontoxic, and shall not impart any taste, odor, or color to the water.
10. Sufficient valves should be provided so that inconvenience and sanitary hazards will be minimized during repairs. Valves should be located at not more than 500-foot intervals in commercial districts and at not more than one block or 800-foot intervals in other districts.

11. There shall be no connection between the distribution system and any pipes, pumps, hydrants, or tanks whereby unsafe water or other contaminating materials may be discharged or drawn into the system.
12. Fire hydrant drains shall not be connected to or located within 10 feet of sanitary sewers, storm sewers, or storm drains.
13. Prior to usage of water from this new well, water plant, storage plant, or distribution system, approval for the water quality must be obtained from the Division of Public Health.
14. The water system should be capable of providing at least 25 psi at ground level at all times throughout the distribution system.
15. All plastic pipe utilized in this drinking water system shall be approved for potable water use (NSF-pw). If any piping is joined with solder or flux, the solder and flux shall be lead free (less than or equal to 0.2 percent lead).
16. All water lines should be buried to a depth of at least 3 feet.
17. A Certificate of Public Conveniences and Necessity should be acquired from the Public Service Commission, (302) 739-4247.
18. This approval is for the distribution system only. Plans and specifications for all well plumbing, pumps, storage (including any interior coatings), and treatment must be submitted to and approved by this office prior to their installation.
19. The approval is subject to immediate revocation upon violation of any of the preceding conditions.
20. All other local (county/city/town) approvals or permits needed must be obtained prior to beginning construction.
21. Upon completion of construction and before the system is placed into operation, a "Notice of Completion" must be submitted to the Office of Engineering. Before placing the system into operation, the following must be adhered to:
 - a. Submit a set of as-built plans with profile markups to the Office of Engineering.
 - b. Obtain an Approval to Operate from the Office of Engineering.



STATE OF DELAWARE
DEPARTMENT OF NATURAL RESOURCES
AND ENVIRONMENTAL CONTROL
DIVISION OF WATERSHED STEWARDSHIP
89 Kings Highway
DOVER, DELAWARE 19901

OFFICE OF THE
DIRECTOR

PHONE: (302) 739-9921
FAX: (302) 739-6724

October 17, 2018

TO: Mike Fitzgerald
CC: Solutions
FROM: Joanne Gedney, Sediment and Stormwater Program
SUBJECT: NOI: Hailey's Glen

Thank you for your submittal of "The Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activity Under a NPDES General Permit" for the subject project.

Date NOI was received: 10-16-2018

Date NOI information was entered into the database: 10-17-2018

Database I.D. #:5859

Check #: 172

By signing the NOI, the signatory agrees to fully comply with the *Special Conditions for Storm Water Discharges Associated with Construction Activities* which can be viewed at http://www.dnrec.state.de.us/DNREC2000/Divisions/Soil/Stormwater/PDF/NPDES_Sect9_G_P.pdf

Outlined below are several responsibilities that should be noted:

- During construction the approved Sediment and Stormwater Plan shall remain at the site at all times (§ 9.1.02.4.B.1). A copy of the NOI shall be kept at the site as well.
- Maintenance inspections of erosion and sediment (E & S) controls and stormwater management facilities must be conducted weekly and the next day after a rainfall event that results in runoff. (§ 9.1.02.4.B.2).

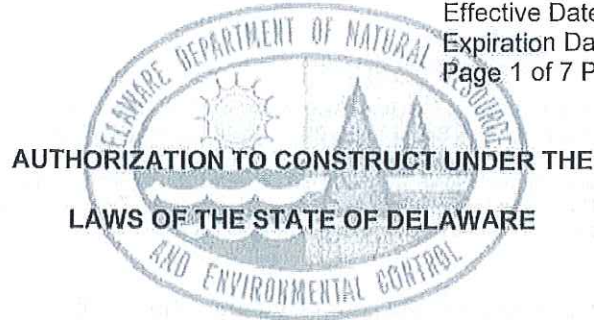
Delaware's good nature depends on you!

- These inspections must be documented in a weekly log that must be maintained on-site (§ 9.1.02.4.C.1). The documentation must contain:
 1. the date and time of inspection;
 2. the inspector's name;
 3. assessment of the condition of the E & S controls and stormwater management facilities;
 4. any construction, implementation, or maintenance performed; and
 5. a description of the site's present phase of construction.

- If you are using a CCR, their weekly CCR reports will suffice as the weekly log. These reports must be maintained on site.

- If ownership or operational control of the permitted activities is transferred a Transfer of Authorization form must be filled out and submitted to the Department to update the NOI (§ 9.1.02.1.E).

- To closeout your General NPDES Storm Water permit coverage and its requirements a completed Notice of Termination (NOT) form must be submitted to the Department for review and approval. The following requirements (§ 9.1.02.7.B) need to be met prior to submittal of the NOT form:
 1. All items and conditions of the Plan have been satisfied in accordance with the *Delaware Sediment and Stormwater Regulations*;
 2. As-built documentation verifies that permanent stormwater management measures have been constructed in accordance with the approved Plan and the *Delaware Sediment and Stormwater Regulations*; and
 3. Final stabilization has been achieved.



**AUTHORIZATION TO CONSTRUCT UNDER THE
LAWS OF THE STATE OF DELAWARE**

PART I

1. In compliance with the provisions of 7 Del. C., §6003,

Sussex County Council
2 The Circle
P. O. Box 589
Georgetown, DE 19947

and

BB Kielbasa, LLC
7910 Woodmont Avenue, Suite 1165
Bethesda, MD 20814

are authorized, jointly and individually, to construct facilities consisting of the following:

Approximately, two thousand seven hundred and five linear feet of eight inch (2,705 LF of 8"), one hundred and ninety seven linear feet of ten inch (197 LF of 10") gravity system, 15 manholes cleanouts, laterals and related facilities, one pump station with dual pumps and one thousand eight hundred and eighty linear feet of four inch force main (1,880 LF of 4"FM) and related appurtenances to serve the proposed Hailey's Glen residential subdivision located on Angola Road (SCR277) across from the intersection with Angola Beach Road (SCR278) and approximately 375' east of Bay Ridge Lane, Sussex County, Delaware. The gravity system, forcemain and pump station will all be located within the residential subdivision.

in accordance with plans and specifications as described below and limitations, requirements and other conditions set forth in Parts I, II and III hereof.

2. The plans and specifications consist of the following:
Sixteen (16) drawings** prepared by Solutions, IPEM, titled "Road, Storm Drain, Sewer, Water & ESC Plans for Hailey's Glen, Sussex County, Delaware for BB Kielbasa, LLC", dated 05/14/18, revised 4/15/19, and endorsed by Mr. Hans Medlarz, Sussex County Engineer, on 9/30/19; the current Sussex County Standard Specifications for Design and Construction of Ordinance 38 Projects; and a letter dated

Greg Pope, Engineer VI
By Agreement with Surface Water Discharges Section
Division of Water
State of Delaware Department of Natural Resources
And Environmental Control

Date Signed

November 30, 2012, addressed to Molly J. Mackil, P.E., DNREC, from Mr. Michael Izzo, Sussex County Engineer.

** Sheet Nos. 1, 2, 4, 16 through 21, 23 through 29

Sheet No. 1 titled "Cover Sheet"; Sheet No. 2 titled "General Notes"; Sheet No. 4 titled "Index Sheet"; Sheet No. 16 titled "Details 2"; Sheet No. 17 titled "Sanitary Sewer Index Plan"; Sheet No. 18 titled "Sanitary Sewer Plan A"; Sheet No. 19 titled "Sanitary Sewer Plan B"; Sheet No. 20 titled "Sanitary Sewer Plan C"; Sheet No. 21 titled "Sanitary Sewer Profile 1"; Sheet Nos. 23 titled "Sanitary Sewer Profile 2"; Sheet No. 24 titled "Force Main Profile", Sheet No. 25 titled "Sanitary Sewer Details 1", Sheet No. 26 titled "Sanitary Sewer Details 2", Sheet No. 27 titled "Pump Station Site Plan" Sheet No. 28 titled "Pump Station Details 1", Sheet No. 29 titled "Pump Station Details 2"

3. The liquid waste will be discharged through the existing wastewater collection and transmission facilities, to the Inland Bays Wastewater Treatment facility, which discharges treated wastewater in accordance with NPDES Permit No. LTS-5004-90-12.

A. Effluent Limitations on Pollutants Attributable to Industrial Users

The use of the constructed facility is conditioned on meeting all applicable pretreatment standards under 40 CFR, Part 403, or toxic pollutant discharge limitations under Section 307(a) of the Clean Water Act of 1977, PL 95-217.

B. Flow and Usage Limitations

This permit authorizes a daily average discharge of N/A gallons*. The flow in the system shall be measured at least every N/A.

* This permit authorizes only the construction of the wastewater collection and conveyance facilities referenced herein.

The total proposed Equivalent Dwelling Units (EDU's) is 114 @ 250 gallons per day (gpd)/EDU = 28,500 gpd.

C. Monitoring and Reporting (When Required)

1. Representative sampling of the volume and nature of the monitored discharge shall be conducted at the request of the Division of Water.

2. Reporting

Monitoring results shall be reported to the:
Delaware Department of Natural Resources and Environmental Control
Division of Water, Surface Water Discharges Section
89 Kings Highway
Dover, DE 19901
302-739-9946

3. Definitions

- a. "Daily average flow" means the total flow during a calendar month divided by the number of days in the month that the facility was operating.
- b. "Daily maximum flow" means the highest total flow during any calendar

day.

- c. "Daily Peak Flow" means the flow which can be safely transported within the sewage system without causing an overflow or a backup into the building(s) or residence(s).
- d. "Bypass" means the intentional diversion of wastes from any portion of a treatment facility.
- e. "Measured flow" means any method of liquid volume measurement, the accuracy of which has been previously demonstrated in engineering practice, or for which a relationship to absolute volume has been obtained.
- f. "Estimate" means a value to be based on a technical evaluation of the sources contributing to the discharge including, but not limited to, pump capabilities, water meters and batch discharge volumes.

4. Recording of Results

For each measurement or sample taken pursuant to the requirements of this permit, the permittee shall record the following information:

- a. The date, exact place and time of sampling or measurement;
- b. The person(s) who performed the sampling and/or measurement;
- c. The date(s) and time(s) analysis was performed;
- d. The individual(s) who performed each analysis;
- e. The analytical technique(s) or method(s) used;
- f. The results of each analysis; and
- g. Appropriate quality assurance information.

5. Records Retention

All records and information resulting from the monitoring activities required by this permit, including all records of analyses performed, all records of instrument calibration and maintenance and all charts from continuous monitoring instruments, shall be retained for three (3) years. This period of retention shall be extended automatically during the course of any unresolved litigation regarding the regulated activity or regarding control standards applicable to the permittee, or as requested by the Department.

6. Test Procedures

Test procedures for the analysis of pollutants shall conform to the applicable test procedures identified in 40 CFR, Part 136, unless otherwise specified in this permit.

END OF PART I

PART II

A. Management Requirements

1. Duty to Comply

The permittee must comply with the terms and conditions of this permit. Failure to do so constitutes a violation of this permit, which is grounds for enforcement and the imposition of penalties as provided in 7 Del.C., Chapter 60, grounds for permit termination or loss of authorization to discharge or operate pursuant to this permit, grounds for permit revocation and reissuance or permit modification, or denial of a permit renewal application.

2. Notification

a. Changes in Authorized Activities

The permittee shall notify the Department of any proposed change in the activity authorized herein, of any proposed substantive change in the operation of the facility or facilities authorized herein, or of any anticipated facility expansions, production increases, or process modifications. Notification is required only when such alteration, addition or change may justify the inclusion of conditions that are absent or different from those specified in this permit. This includes, for example, the construction of additional wastewater collection, transmission or treatment facilities and changes which will result in new, different, or increased discharges of pollutants. Following such notice, the Department may require the submission of a new permit application or this permit may be reopened and modified to address the proposed changes.

b. Noncompliance

If, for any reason, the permittee does not comply with or will be unable to comply with any limitation specified in this permit, the permittee shall provide the Department with the following information, in writing, within five (5) days of becoming aware of such condition:

A description of the discharge and cause of noncompliance; and

The period of noncompliance, including exact dates and times; or, if not corrected, the anticipated time the noncompliance is expected to continue, and steps being taken to reduce, eliminate and prevent recurrence of the noncomplying discharge.

3. Facilities Operation

The permittee shall, at all times, maintain in good working order and operate as efficiently as possible all collection and treatment facilities and systems (and related appurtenances) installed or used by the permittee to achieve compliance with the terms and conditions of this permit. Proper operation and maintenance includes, but is not limited to, effective management, adequate operator staffing and training and adequate laboratory process controls, including appropriate quality assurance procedures.

4. Adverse Impact

The permittee shall take all reasonable steps to minimize any adverse impact to waters of the State resulting from noncompliance with this permit, including such accelerated or additional monitoring as necessary to determine the nature and extent of the noncomplying discharge.

5. Bypassing

Any bypass or intentional diversion of waste streams from the facilities authorized by this permit, or any portion thereof, is prohibited, except (i) where unavoidable to prevent loss of human life, personal injury or severe property damage, or (ii) where excessive storm drainage or run-off would damage any facilities necessary for compliance with the effluent limitations and prohibitions of this permit. The permittee shall promptly notify the Department, in writing, of each such diversion or bypass.

6. Removed Substances

Solids, sludges, filter backwash, or other pollutants removed in the course of treatment or control of wastewater shall be disposed of in a manner such as to prevent any pollutant from such materials from entering the surface water or groundwater.

B. Responsibilities

1. Within 90 days following the completion of construction, the permittee shall submit to the Department an "as-built" set of plans of the facility or facilities constructed, bearing the seal and signature of a licensed Professional Engineer registered in the State of Delaware.

2. Right of Entry

The permittee shall allow the Secretary of the Department of Natural Resources and Environmental Control, or his authorized representative(s), upon the presentation of credentials:

- a. To enter upon the permittee's premises for inspection of any records, flow measurements, construction or other activity authorized by this permit or any condition required under the terms of this permit; and
- b. At reasonable times, to have access to and to copy any records required to be kept under the terms and conditions of this permit; to inspect any monitoring equipment or monitoring method required in this permit; and
- c. To sample any discharge.

3. Transferability

This permit is transferable with the Department's consent, provided that an intention to transfer accompanied by a copy of the permit is provided to the Department, signed by both the transferor and the transferee at least ten (10) days prior to the actual transfer.

4. Availability of Reports

All reports submitted with the application and those reports required under the terms of this permit shall be available for public inspection at the offices of the Department of Natural Resources and Environmental Control. Knowingly making any false statement on any such report may result in the imposition of criminal penalties as provided for in 7 Del. C., §6013. Any person who causes or contributes to the discharge of a pollutant into State waters either in excess of any conditions specified in this permit or in absence of a specific permit condition shall report such an incident to the Department required under 7 Del. C. §6028.

5. Permit Modification

This permit may be modified, suspended or revoked in whole or in part during its term for cause including, but not limited to, the following:

- a. Violation of any term or condition of this permit;
- b. Obtaining this permit by misrepresentation or failure to fully disclose all relevant facts;
- c. A change in any condition that requires either a temporary or permanent reduction or elimination of the authorized activity; or
- d. Information that the permitted activity poses a threat to human health or welfare, or to the environment.

6. Oil and Hazardous Substance Liability

Nothing in this permit shall be construed to preclude the institution of any legal action or relieve the permittee from any responsibilities, liabilities, or penalties to which the permittee is or may be subject to under 7 Del. C., Chapter 60.

7. State Laws

Nothing in this permit shall be construed to preclude the institution of any legal action or relieve the permittee from any responsibilities, liabilities, or penalties established pursuant to any applicable State law or regulation.

8. Property Rights

The issuance of this permit does not convey any property rights in either real or personal property, or any exclusive privileges, nor does it authorize any injury to private property or any invasion of personal rights, nor any infringement of Federal, State or local laws or regulations.

9. Severability

The provisions of this permit are severable. If any provision of this permit is held invalid, or if the application of any provision of this permit to any circumstances is held invalid, the application of such provision to other circumstances, and the remainder of this permit, shall not be affected thereby.

END OF PART II

PART III

A. Special Conditions

1. This permit authorizes only the construction of the wastewater facilities and related work referenced herein.
2. If wellpointing is required during construction, the wells must be installed by a licensed well driller, and a permit to construct such wells must first be obtained from the Well Permits Branch of the Water Supply Section.
3. All construction shall be in agreement with plans and specifications submitted under this project and approved by the Department of Natural Resources and Environmental Control.
4. All construction shall be in accordance with Ten States Standards and other applicable local utility construction specifications and standards.
5. Connections or additions to the proposed system, other than those proposed on the plans, will not be allowed without prior approval from the Department.

END OF PART III



DELAWARE STATE FIRE MARSHAL'S OFFICE
TECHNICAL SERVICES



SFMO APPROVAL SHEET

DATE: 01/29/2019

PROJECT NAME: Hailey's Glen Subdivision PROJECT TYPE: MJS

PROJECT ADDRESS: Angola Road PLAN DATE: 01/24/2019

CITY: Lewes TAX ID# 2-34-12.00-11.00

PROJECT DESCRIPTION : 67 lot single family dwelling subdivision without amenities buildings.

The accompanying application has been accepted for Contingency Construction Start and is authorized only for the work as indicated below with the following restrictions. The owner assumes personal risk and responsibility to correct any deficiencies noted in the Fire Marshal's Plan Review or Inspection Process.

Preliminary Approval

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

FP Specialists FM# and Signature: N/A Date: _____

Plan Review Approval

The owner understands that plan submittals for this project are approved. If annotated below, a Progress Review will be required. No close in or concealment of any kind shall be permitted until a progress inspection is performed by the State Fire Marshal's Office. (A minimum of five days notice is needed when scheduling for a progress visit or final inspection by the State Fire Marshal's Office)

FP Specialists FM# and Signature: [Signature] FM-25 Date: 01/29/2019
Comments:

REQUIRED PROGRESS REVIEW REQUIRED PROGRESS REVIEW NOT

Final Approval

The Office of the State Fire Marshal recognizes that this project meets the minimum requirements of the Delaware State Fire Prevention Regulation. This recognition does not relieve the owner, designer, contractor, or designated representative from their responsibility to comply with the applicable provisions of the Delaware State Fire Prevention Regulation.

FP Specialists FM# and Signature: _____ Date: _____
Comments:

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2019-199035-04-MJS-02

Tax Parcel Number: 2-34-12.00-11.00

Review Status: APPROVED AS SUBMITTED

Review Date: 01/29/2019

PROJECT COMMENTS

- | | |
|---------------|---|
| 1002 A | <p>This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.</p> |
| 1030 A | <p>This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 500 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 1,000' on center.</p> |
| 1408 A | <p>All premises where emergency personnel may be called upon to provide emergency services, which are not readily accessible from streets, shall be provided with suitable gates, access roads, and fire lanes so that all buildings on the premises are accessible to emergency apparatus. (DSFPR Regulation 705, Chapter 5, Section 2).</p> |
| 1170 A | <p>The minimum paved radius of a cul-de-sac is 38 feet unobstructed as shown in Figure 5-1. (DSFPR Regulation 705, Chapter 5, Section 2.3.2).</p> |
| 1093 A | <p>In the case of one and two-family dwellings emergency service access shall be provided in such a manner so that emergency apparatus will be able to locate within 100 feet from the street to the primary entrance. Where alleys are provided, pumpers shall be able to access all portions of the alley without strict restrictions for entrance radii. (DSFPR Regulation 705, Chapter 5, Sections 2.2 and 2.2.1).</p> |
| 1420 A | <p>All fire hydrants shall be marked and identified in accordance with DSFPR Regulation 705, Chapter 6, Section 2.0.</p> |
| 1119 A | <p>All proposed fire hydrants and water mains shall be installed in accordance with the most current edition of the Delaware State Fire Prevention Regulations (DSFPR, Part II, Chapters 6 & 7).</p> |

1132 A Fire hydrants shall be color coded in accordance with the DSFPR, Part III, Section 3 4. This includes both color coding the bonnet and 2" reflective tape around the barrel under the top flange.

1232 A All threads provided for fire department connections, to sprinkler systems, standpipes, yard hydrants or any other fire hose connections shall be uniform to those used by the fire department in whose district they are located. DSFPR Part III,Section 1.1.5.1.

1432 A The steamer connection of all fire hydrants shall be so positioned so as to be facing the street or fire lane. (DSFPR Regulation 705, Chapter 5, Section 10). The center of all hose outlet(s) on fire hydrants shall be not less than 18 inches above finalgrade (NFPA 24, Section 7.3.3).

2500 A A final inspection is required for this project prior to occupancy (DSFPR Part I, Section 4-7). Contact this Agency to schedule this inspection. Please have the plan review number available. A MINIMUM OF FIVE (5) WORKING DAYS NOTICE IS REQUIRED.



May 6, 2021

Mr. Tim Green
c/o Solutions IPEM
303 North Bedford Street
Georgetown, DE 19947

RE: Hailey's Glen

Dear Mr. Green:

A Sediment and Stormwater Management Plan has been reviewed for compliance with the Sediment and Stormwater Regulations and is approved with conditions (see attached). Enclosed herein please find a copy of the approved application form and approved plan sets. Please retain a copy for your use and provide the contractor with a copy to be retained onsite at all times. Failure to keep an approved plan onsite is a violation of the approved plan.

Approval of a Sediment and Stormwater Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.

This plan approval pertains to compliance with the *Delaware Sediment and Stormwater Regulations*. Please understand that the approval of this plan does not relieve you from complying with any and all federal, state, county, or municipal laws and regulations.

As of January 1, 2014, the Sussex Conservation District began collecting financial guarantees to ensure the construction of stormwater management practices is accomplished in accordance with the approved sediment and stormwater plan. Please refer to the SCD Policy on Bonds located on our website at Sussexconservation.org. If you have any questions concerning the aforementioned, please do not hesitate to call 302 856-7219.

Sincerely,
Jessica Watson
Jessica Watson queue
Program Manager

JW/jmg

cc:

CONDITIONS OF APPROVAL

NOTIFICATION

1. This approved plan will remain valid for 5 years from the date of this approval. If construction does not begin within five years, the approved plan will be considered to have expired, and must be resubmitted to the District for a new review. In addition, if work is not completed within the five-year timeframe, the District must be contacted and a request for an extension submitted. Depending on regulation changes, a new plan may need to be submitted to ensure that all stormwater management facilities are constructed to the most recent standards.
2. Submittal of the Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activities together with this approval of the detailed Sediment and Stormwater Plan provide this project with Federal permit coverage to be authorized to discharge storm water associated with construction activities. It is the owner's responsibility to ensure that permit coverage remains valid throughout construction by submitting the NOI fee annually as requested. The developer is responsible for weekly self-inspection reporting to be retained onsite.
3. Notify the Sussex Conservation District Sediment and Stormwater Management Section of your intent to begin construction in writing five (5) days prior to commencing. Failure to do so constitutes a violation of the approved plan.

CHANGES

4. This project is to be undertaken in accordance with the plans submitted and as approved. If changes are necessary at any time during the completion of the project, submit revised plans, prior to further construction, to the Sussex Conservation District Sediment and Stormwater Program for review and approval of the revision.
5. Should ownership change during the construction period, a revised plan must be submitted for approval showing the new owner's signature on the owner's certification. In addition, a Transfer of Authorization form must be submitted to DNREC to transfer Federal permit coverage to the new owner.

CONSTRUCTION AND CLOSEOUT

6. A pre-construction meeting must take place before any land disturbing activity begins. The meeting may take place on site and be attended by the owner, contractor, design consultant, Certified Construction Reviewer and Sussex Conservation District Sediment and Stormwater Program Construction Reviewer. The owner or the owner's designee shall contact the Sussex Conservation Construction Reviewer to schedule the pre-construction meeting.
7. Keep available onsite, during all phases of construction, a copy of the approved Sediment and Stormwater Management Plan.
8. Keep available onsite, during all phases of construction, copies of the Developers weekly self-inspection reports and/or the CCR Reports.
9. Any sediment transported off-site to roads or road rights-of-way including ditches shall be removed. Any damage to ditches shall be repaired and stabilized to original condition.
10. Grading shall not impair surface drainage, create an erosion hazard, or create a source of sediment to any adjacent watercourse or property owner.
11. Failure to implement the permanent stormwater management practices as mentioned herein constitutes a violation of the conditions of this plan approval; it may result in the suspension or revocation of building permits or grading permits issued by the local jurisdiction; and it may result in legal action by the DNREC to bring the site into compliance with the approved Sediment and Stormwater Management Plan and the *Delaware Sediment and Stormwater Regulations*.
12. The permanent stormwater management facility or facilities must be constructed and accepted by the Sussex Conservation District Sediment and Stormwater Program prior to final closeout of the project site. Post construction verification documentation of the stormwater management facility or facilities must be completed as soon as construction of the facility or facilities is complete so that any necessary modifications may be made during the construction period.

ENGINEERING DEPARTMENT

ADMINISTRATION (302) 855-7718
AIRPORT & INDUSTRIAL PARK (302) 855-7774
ENVIRONMENTAL SERVICES (302) 855-7730
PUBLIC WORKS (302) 855-7703
RECORDS MANAGEMENT (302) 854-5033
UTILITY ENGINEERING (302) 855-7717
UTILITY PERMITS (302) 855-7719
UTILITY PLANNING (302) 855-1299
FAX (302) 855-7799



Sussex County

DELAWARE
sussexcountyde.gov
HANS M. MEDLARZ, P.E.
COUNTY ENGINEER
MICHAEL E. BRADY
DIRECTOR OF PUBLIC WORKS

September 30, 2019

Mr. Jason Palkewicz, P.E.
Solutions, IPEM
303 N. Bedford Street
Georgetown, DE 19947

REF: **HAILEY'S GLEN
ANGOLA NECK SANITARY SEWER DISTRICT
SUBDIVISION NO. 2017-17
SUSSEX COUNTY TAX MAP NUMBER
234 - 12.00 - PARCEL 11.00 - CLASS-1
AGREEMENT NO. 1097**

Dear Mr. Palkewicz:

The above referenced project was approved on September 30, 2019 and one (1) set of approved plans are enclosed. This approval is valid for three (3) years, unless prior to expiration of that three (3) year period, a time extension is requested and approved by the Department. Plans granted an extension beyond the three (3) period will be required to meet updated standards and specifications.

Also, it is your responsibility to secure approvals and/or permits that may be required by other regulatory agencies.

Please contact Mr. Gary Fleetwood of this Division to initiate pre-construction procedures for private roads and Mr. Keith Bryan in the Department's Division of Utility Engineering to initiate pre-construction procedures for sanitary sewer.

Should you have any questions, please do not hesitate to contact me.

Sincerely,

SUSSEX COUNTY ENGINEERING DEPARTMENT

Jordan T. Dickerson
Public Works Technician IV

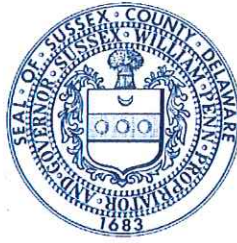
cc: Mr. Keith Bryan, w/2 enclosures
Ms. Janelle Cornwell, w/o enclosure
Public Works Field File, w/enclosure



MAPPING & ADDRESSING

MEGAN NEHRBAS
MANAGER OF GEOGRAPHIC
INFORMATION SYSTEMS (GIS)

(302) 855-1176 T
(302) 853-5889 F



Sussex County

DELAWARE
sussexcountyde.gov

November 9, 2017

Solutions IPEM
Attn: Jason Palkewicz
303 N Bedford Street
Georgetown, DE 19947

RE: **Proposed Subdivision Name**

I have reviewed the name(s) submitted for your proposed subdivision, which is located in Lewes (234-12.00-11.00). In reviewing the proposed name(s) the following has been **approved** for this subdivision:

HAILEYS GLEN

Should you have any questions please contact the **Sussex County Addressing Department at 302-853-5888 or 302-855-1176.**

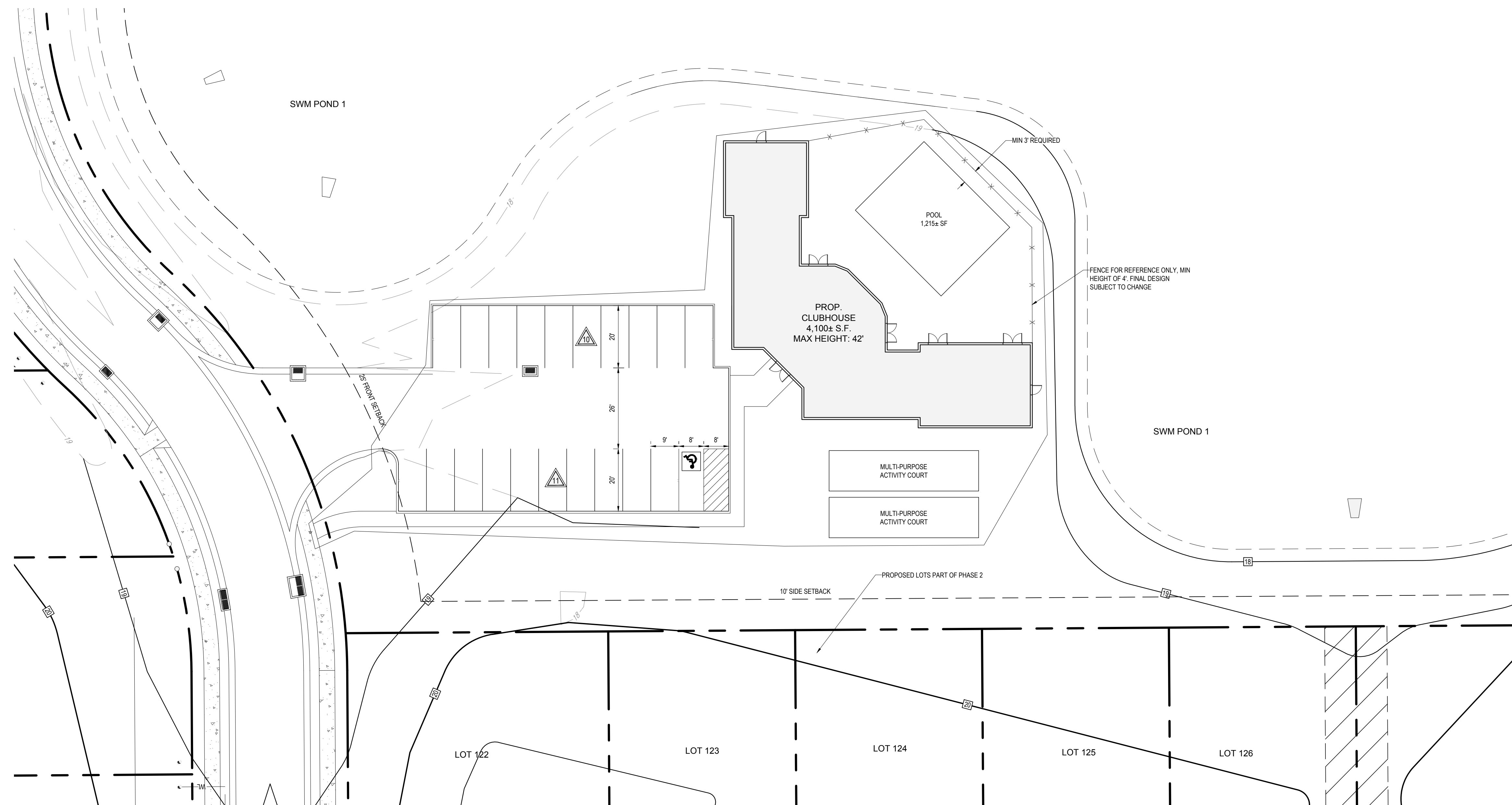
Sincerely,

Terri L. Dukes

Terri L. Dukes
Addressing Technician II

CC: Jennifer Norwood
Planning & Zoning





BULK REQUIREMENTS:	ALLOWED/REQUIRED
A. MIN. BUILDING SETBACK	
FRONT SETBACK (SOUTH)	25'
SIDE SETBACK (WEST)	10'
SIDE SETBACK (EAST)	10'
REAR SETBACK (NORTH)	10'
B. PARKING REQUIREMENTS	
1 SPACE PER 200 SF OF FLOOR AREA	21 (1 ADA)
C. MIN. PARKING SPACE DIMENSIONS	9' X 18' (8' X 18' ADA)
D. MIN. DRIVE AISLE	24'
E. MAX. BUILDING HEIGHT	42'
F. ZONING CLASSIFICATION	AR-1
SITE IMPERVIOUS AREA = 0.40± AC	
SITE TOTAL AREA = 0.50± AC	

- PROJECT NOTES**
1. THIS PROJECT DOES NOT LIE WITHIN A WELLHEAD PROTECTION AREA.
 2. THIS PROJECT LIES WITHIN AN AREA OF "POOR" AND "FAIR" GROUNDWATER RECHARGE POTENTIAL.
 3. THIS PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE .02% CHANCE ANNUAL FLOODPLAIN PER MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, SUSSEX COUNTY, DELAWARE, AND INCORPORATED AREAS, PANEL 477 OF 660", COMMUNITY PANEL NUMBER 1000503477K, REVISED, MARCH 16, 2015).
 4. ACCORDING TO THE NATIONAL WETLANDS INVENTORY MAPPING, THERE ARE NO WETLANDS PRESENT ON THIS SITE.
 23. THIS PROJECT LIES WITHIN THE COSTAL AREA.

CERTIFICATION OF OWNERSHIP

I HEREBY CERTIFY THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THIS PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

ROB LISLE / KEVIN BROZYNA
 BAYLIS ESTATES INVESTMENTS, LLC
 16255 SUSSEX HIGHWAY
 BRIDGEVILLE, DE 19933
 P: (443) 532-5222

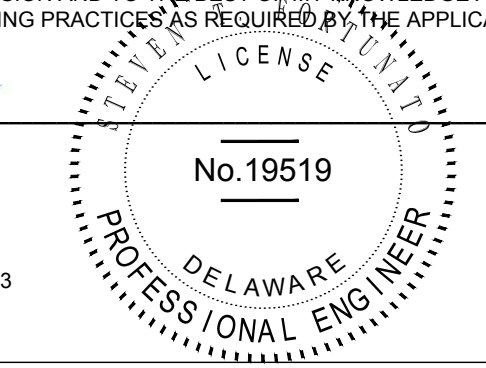
DATE

CERTIFICATION OF ACCURACY (ENGINEER)

I, STEVEN T. FORTUNATO, P.E., HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

STEVEN T. FORTUNATO, P.E.
 BOHLER
 18958 COASTAL HWY., SUITE D
 REHOBOTH BEACH, DE 19971
 P: (302)644-1155 / F: (302)703-3173

5/18/21
 DATE



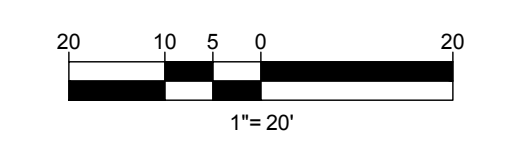
BOHLER //

18958 COASTAL HWY, SUITE D
 REHOBOTH BEACH, DE 19971
 Phone: (302) 644-1155
 Fax: (302) 703-3173
 BohlerEngineering.com

CLUBHOUSE EXHIBIT

BAYLIS ESTATES

MILLSBORO, DE 19966



May 20, 2021
Via Federal Express

Sussex County Planning & Zoning
2 The Circle
Georgetown, DE 19947

Attn.: Lauren DeVore

Re: 2017-1 Baylis Estates
Revised Amenities Plan
Mount Joy Road
Sussex County, DE
Tax Parcel No. 234-29.00-42.00
BEVA# DE190077

Dear Ms. DeVore,

In regard to the Preliminary Amenities Plan for Baylis Estates Phase II comments report dated May 3, 2021, please find the following point by point responses for your review regarding the respective items that we understand need additional information:

Chapter 89 – Source Water Protection

Comment 1: This site is not located in a Wellhead Protection Area. Please state this on the plan.

Response 1: **The Wellhead Protection Area has been added as note 1.**

Comment 2: This site is not located in an area designated to have Excellent Groundwater Recharge Potential. Please state this on the plan.

Response 2: **The groundwater recharge potential has been added as note 2.**

Chapter 99 – Subdivision

Comment 3: No changes are recommended or required. This plan complies with all original conditions of approval that have been established by the Sussex County Planning and Zoning Commission.

Response 3: **Comment noted.**

Chapter 115 – Zoning

Comment 4: It is recommended this amenity plan be presented on a full-size sheet that is 24 inches by 36 inches and no larger than this size. The plan submitted could be conceptual in design, and further elements and principles may be needed.

Response 4: **The amenity plan has been changed to 24"x36".**

Comment 5: Please add a certification box for the engineer and the owner.

Response 5: **Certification blocks have been added.**

Comment 6: Please add the seal (and signature) in the engineer's certification box.

Response 6: **A seal and signature has been added to the engineer's certification block.**

Comment 7: Please add the following information to the data column:

1. The two statements required from Chapter 89;
2. Total square footage or acreage being developed;
3. A note regarding flood zones or the absence of a flood zone designation (Zone X);
4. A note regarding any potential wetlands on the property (i.e. tidal and non-tidal)

Response 7: **The above items have been added to the project notes and the bulk requirements.**

Comment 8: Please add the proposed height to the clubhouse (both on the representation of the building and in the data column).

Response 8: **Proposed height added to the clubhouse label.**

Comment 9: Please add a proposed height label to the fence. Because this plan involves the pool, a fence that is at least four (4) feet in height is required.

Response 9: **Minimum height of 4' added to fence label.**

Comment 10: Please add a label between the wall of the pool and the proposed fence that certifies the walkway distance. While it is presumed there is at least three (3) feet of width, this label is requested to be required.

Response 10: **Label added to call out minimum distance between pool and fence.**

Comment 11: Please confirm that a pool house is not required, necessary, or proposed.

Response 11: **A pool house is not required and not proposed.**

Comment 12: Please a width label to the driving aisle. It is noted this already exists in the data column.

Response 12: **Label added.**

Comment 13: Are pathways, sidewalks, or fencing required for the multi-purpose courts? Please advise.

Response 13: **Pathways, sidewalks, and fencing are not required for multi-purpose courts.**

Comment 14: Lots 122 through 126 do not have final approval. Please add a label to each of these lots (e.g. proposed as part of Phase 2/ future).

Response 14: **A note has been added that these lots are part of phase 2.**

Comment 15: Will the easement that runs along Lot 126 continue to the stormwater management pond that is adjacent to the amenities? Please advise.

Response 15: **The easement is not needed past the lot 126 property line, as this is common open space and not a private lot. The stormwater pipe runs directly into the pond.**

Comment 16: Is any landscaping proposed? Please add a note regarding any intention to modify or preserve natural vegetation.

Response 16: **No landscape is proposed per this plan.**

Comment 17: This plan requires agency approvals from the following:

1. Office of the State Fire Marshal (OSFM)
2. Sussex Conservation District (SCD)

Response 17: Approvals will be provided once received.

Should you have any questions or require additional information, please do not hesitate to contact this office at (302) 644-1155 to discuss. Thank you.

Very truly yours,



Steven T. Fortunato, P.E.
Project Manager

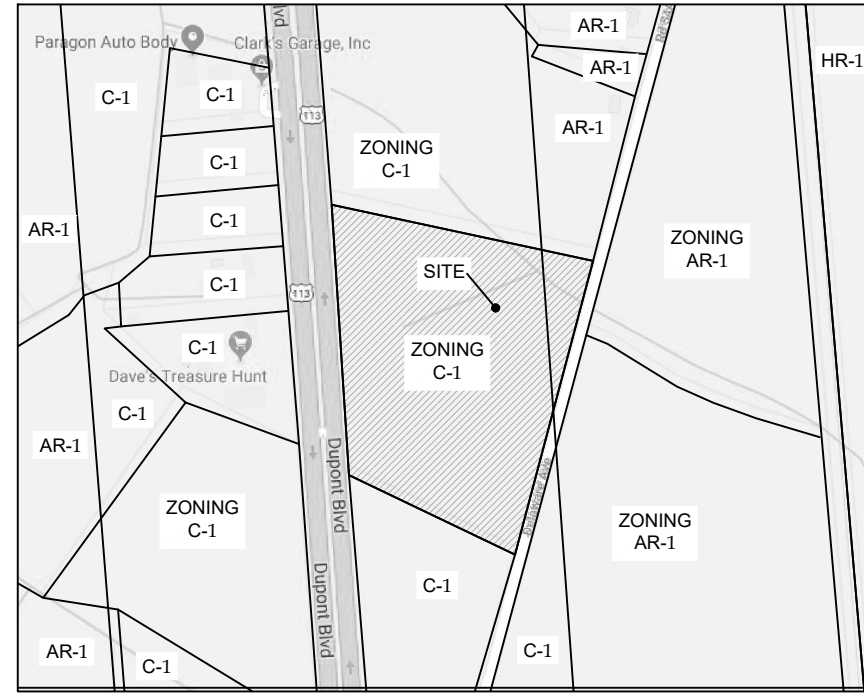
cc: Kevin Broyzna, Insight Homes (w/o encl.)
M. Andrew Campanelli, Insight Homes (w/o encl.)
David M. Kuklish, P.E., Bohler (w/o encl.)
File

FRANKFORD BUSINESS PARK

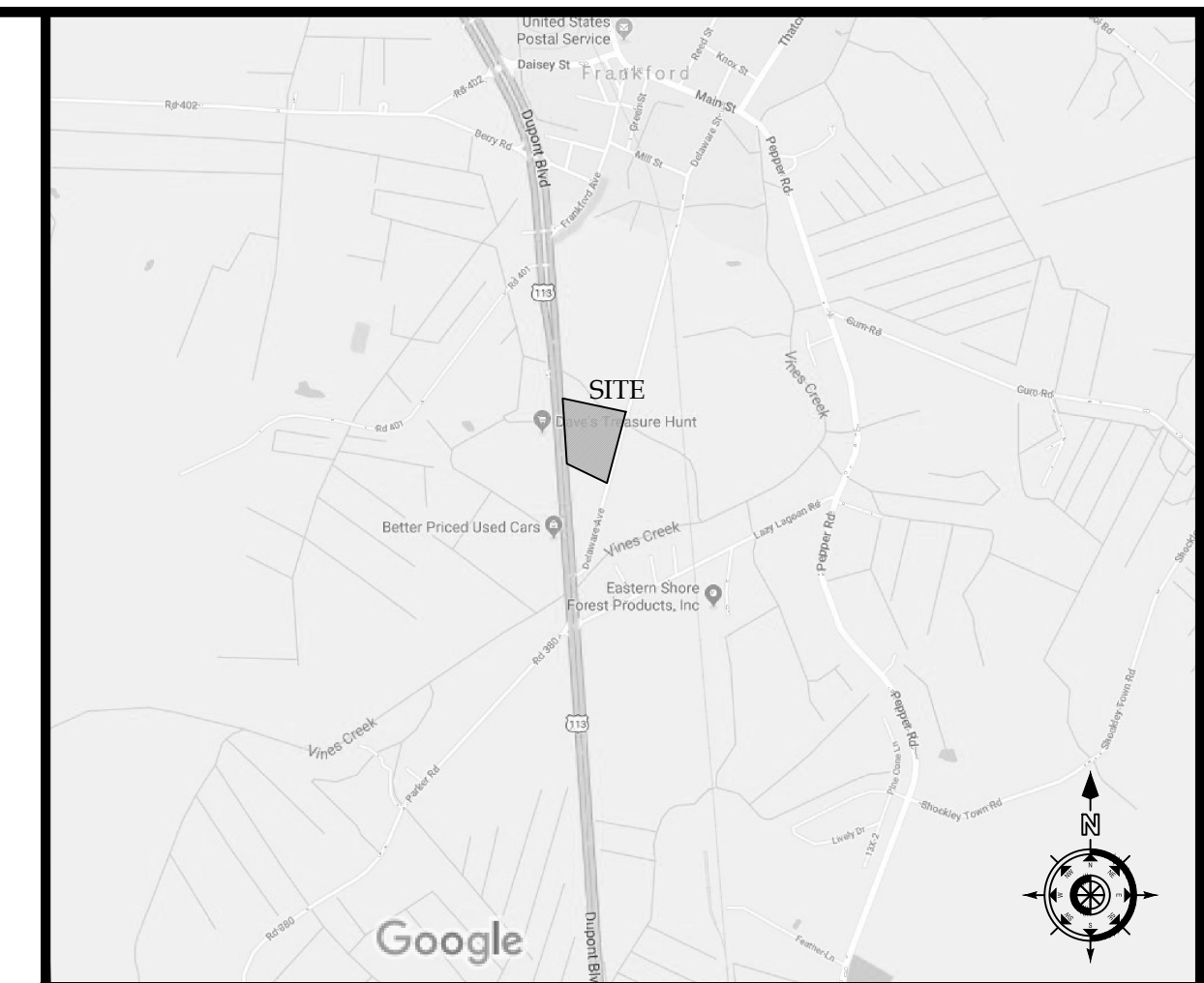
SUSSEX COUNTY, DELAWARE

T.M.#433-11.00-21.02

FINAL SITE PLAN



Key Map:
Scale: 1"=500'



VICINITY MAP

PLAN DATA:

CONTRACT PURCHASER/ APPLICANT:
MARTIN PROPERTY DEVELOPMENT, LLC
TRAVIS MARTIN
34913 DELAWARE AVE.
FRANKFORD, DE 19945
PHONE: 302-732-6006

TAX MAP NO. 433-11.00-21.02
SITE AREA: 8.77 ACRES
CURRENT ZONING: C-1 & AR-1
PROPOSED ZONING: C-1 & AR-1
TIDAL WETLANDS AREA: N/A
NON-TIDAL (Section 404) WETLANDS AREA: N/A
TOTAL WETLANDS AREA: N/A
FLOOD ZONE: X
FLOOD INSURANCE MAP NUMBER: 10005C0488J
PROPOSED BUILDING CONSTRUCTION: METAL
MAXIMUM BUILDING HEIGHT: 42.0'

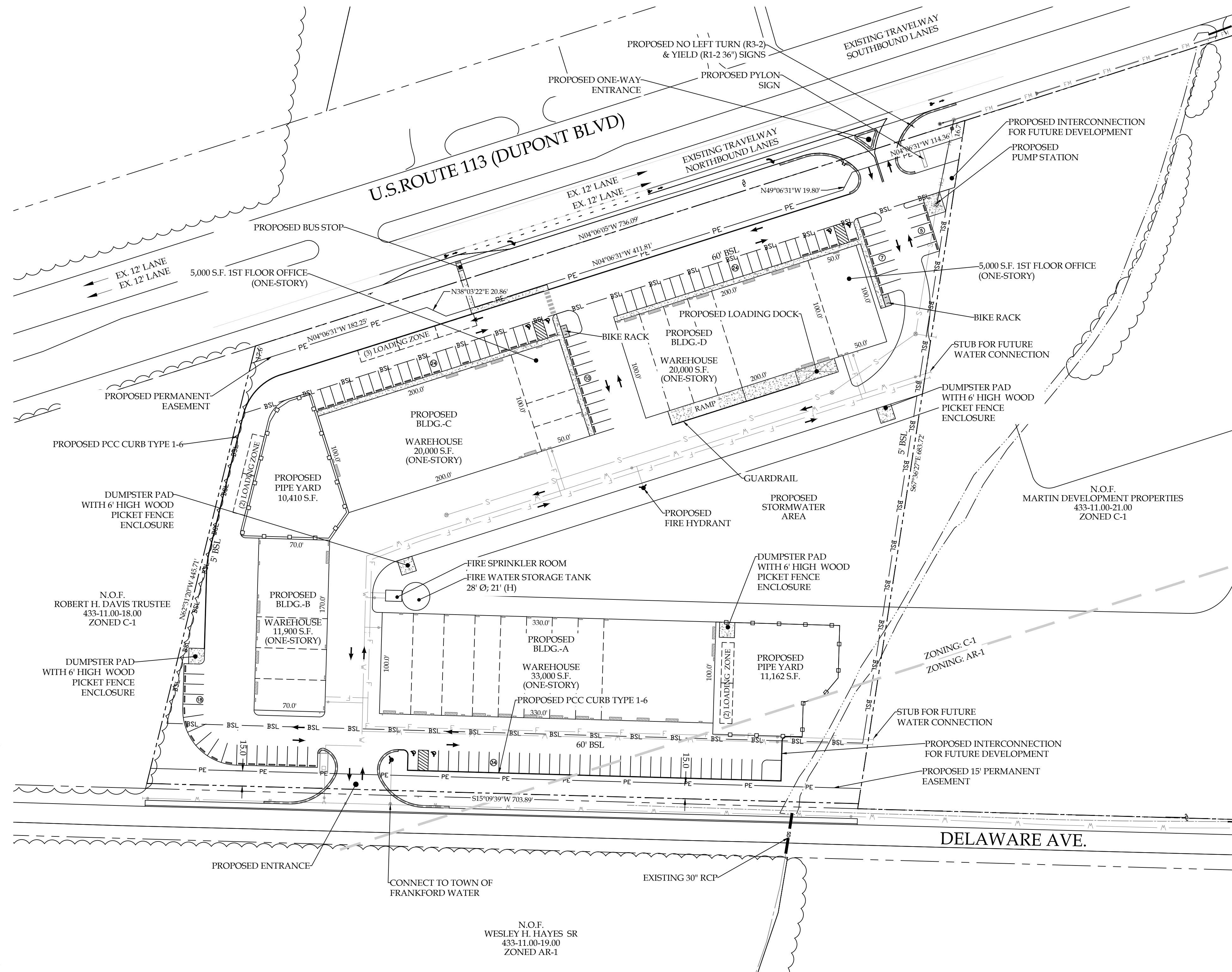
SANITARY SEWER: DAGSBORO-FRANKFORD SANITARY SEWER DISTRICT ARTESIAN
WATER SUPPLIED BY: 10,000 S.F. OFFICE
TOTAL NUMBER OF UNITS PROPOSED: 84,900 S.F. WAREHOUSE (95 EMPLOYEES)

TOTAL PIPE YARD AREA: 21,572 S.F.

PARKING REQUIRED:
OFFICE (1/200SF): 50 SPACES
WAREHOUSE (1/2 EMPLOYEES): 48 SPACES
TOTAL SPACES REQUIRED: 98 SPACES

PARKING PROVIDED: 122 SPACES
LOADING SPACES PROVIDED: 7 SPACES

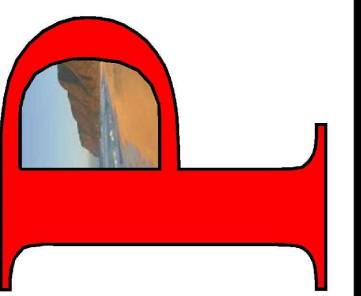
SETBACKS: FRONT 60'
SIDE 5'



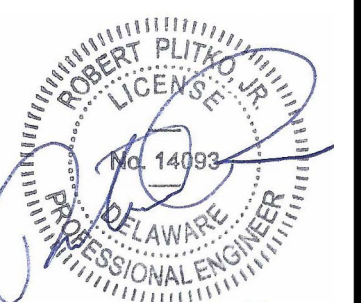
LEGEND	
	PROPERTY LINE
	BUILDING SETBACK LINE
	PERMANENT EASEMENT (PE)
	TREELINE
	WATERLINE
	FIRELINE
	SANITARY SEWER
	STORM DRAIN
	SIGN
	UTILITY POLE
	SANITARY SEWER MANHOLE
	PROPOSED SIDEWALK HATCHING

REVISION	DATE	DESCRIPTION
1	10/14/20	Site Plan Revisions
2	05/05/21	Site Plan Revisions

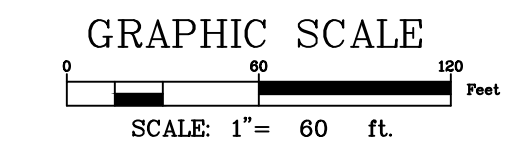
PLITKO, LLC
53 ATLANTIC AVE., SUITE #3
OCEAN VIEW, DE 19970
PHONE (302)-222-2075



FRANKFORD BUSINESS PARK
FINAL SITE PLAN
AGREEMENT #1104
SUSSEX COUNTY, DELAWARE



Scale:	
Designed:	
Planned:	
Drawn:	2021-05-05
Approved:	RP
Sheet No.	1 OF 1



FINAL SITE PLAN

BEFORE THE BOARD OF ADJUSTMENT OF SUSSEX COUNTY

IN RE: REHOBOTH INN JK, LLC

(Case No. 12489)

A hearing was held after due notice on November 2, 2020. The Board members present were: Dr. Kevin Carson, Mr. Jeff Chorman, Ms. Ellen Magee, Mr. John Williamson, and Mr. Brent Workman.

Nature of the Proceedings

This is an application for variances from the front yard and rear yard setback requirements for existing and proposed structures.

Findings of Fact

The Board found that the Applicant is requesting the following variances: 1) a variance of 32.15 feet from the sixty (60) feet front yard setback requirement for steps and a landing on Building A; 2) a variance of 37.73 feet from the sixty (60) feet front yard setback requirement for steps and a landing on Building A; 3) a variance of 33.36 feet from the sixty (60) feet front yard setback requirement for Building A; 4) a variance of 34.02 feet from the sixty (60) feet front yard setback requirement for Building A; 5) a variance of 28.23 feet from the sixty (60) feet front yard setback requirement for Building B; 6) a variance of 31.06 feet from the sixty (60) feet front yard setback requirement for Building B; 7) a variance of 11.53 feet from the thirty (30) feet rear yard setback requirement for Building C; 8) a variance of 10.48 feet from the thirty (30) feet rear yard setback requirement for Building C; and 9) a variance of 9.57 feet from the thirty (30) feet rear yard setback requirement for Building C. This application pertains to certain real property located on the southwest side of Coastal Highway (Route 1) approximately 153 feet southeast of Washington Street (911 Address: 20494 Coastal Highway, Rehoboth Beach) said property being identified as Sussex County Tax Map Parcel Number 3-34-19.08-176.00. After a public hearing, the Board made the following findings of fact:

1. The Board was given copies of the Application, property records, a survey of the Property dated September 2, 2020, a proposed site plan of the Property dated September 2, 2020, an aerial photograph of the Property, and a portion of the tax map of the area.
2. The Board found that the Office of Planning & Zoning received no correspondence in support of or in opposition to the Application.
3. The Board found that Greg Tobias and Zac Crouch were sworn in to give testimony about the Application.
4. The Board found that Mr. Crouch testified that the Property was developed with three buildings in the 1970s and has been used as the Rehoboth Inn.
5. The Board found that Mr. Crouch testified that there are three buildings on the site identified as Building A, Building B, and Building C. The Applicant intends to renovate Building A, remove and replace Building B, and renovate and add to Building C.
6. The Board found that Mr. Crouch testified that Building B is not structurally sound and needs to be replaced as it is not fit for renovation.
7. The Board found that Mr. Crouch testified that that Building C will be renovated with an addition measuring 20 feet by 20 feet and that the addition to Building C will be no closer to the rear property line than the existing building.
8. The Board found that Mr. Crouch testified that other buildings on nearby properties are closer to Route 1.
9. The Board found that Mr. Crouch testified that the Property cannot otherwise be developed based on Fire Marshal and ADA requirements.

10. The Board found that Mr. Crouch testified that Buildings A and B will not encroach farther into the setback areas than what exists today but Building C will encroach slightly more than what exists today.
11. The Board found that Mr. Crouch testified that Building B does not meet Fire Marshal or ADA requirements.
12. The Board found that Mr. Crouch testified that the requested variances will not alter the essential character of the neighborhood as the majority of buildings in the vicinity of this property encroach into the front yards setbacks.
13. The Board found that Mr. Crouch testified that the total number of units will be reduced from 31 to 21 to meet today's standards.
14. The Board found that Mr. Crouch testified that there is a right-of-way for DeIDOT and that the entrance has to be widened to meet DeIDOT requirements.
15. The Board found that Mr. Crouch testified that the variances are the minimum variances to afford relief.
16. The Board found that Mr. Crouch testified that the Property is unique as the existing buildings onsite and buildings on adjacent lots do not meet the current setback requirements.
17. The Board found that Mr. Crouch testified that there has been a motel on this property since at least 1992.
18. The Board found that Mr. Crouch testified that the developer is reducing the number of units to comply with parking requirements.
19. The Board found that Mr. Crouch testified that the proposed encroachments are no greater than those that already exist and have existed for a number of years.
20. The Board found that Mr. Crouch testified that the Applicant is enhancing the area.
21. The Board found that Mr. Tobias testified that he purchased the Property in April 2020 and that he is cleaning up the area.
22. The Board found that Mr. Tobias testified that the motel was built in the 1970s.
23. The Board found that Mr. Tobias testified that he is decreasing the number of units but increasing the size of each unit to meet today's standards.
24. The Board found that Mr. Tobias testified that the current rooms in Building B are small.
25. The Board found that Mr. Tobias testified that there have been no complaints regarding the existing structures.
26. The Board found that Mr. Crouch testified that the Property is narrow and the Applicant is constrained by Fire Marshal regulations.
27. The Board found that Mr. Crouch testified that granting the variances will not cause any visibility issues.
28. The Board found that Mr. Crouch testified that Building B cannot be moved to the rear of the Property due to the location of the stormwater management pond.
29. The Board found that Mr. Crouch testified that the Applicant wanted to renovate Building B but determined that it could not be refurbished.
30. The Board found that Mr. Crouch testified that the Applicant encountered difficulty in designing due to structural problems with Building B and the Fire Marshal regulations. Mr. Tobias confirmed that he encountered design challenges.
31. The Board found that Mr. Tobias testified that there were previously 32 parking spaces on the site.
32. The Board found that Mr. Tobias testified that Building A has a basement and steel columns but Building B was constructed on wood with crawl spaces and is the oldest building. He believes that Building B is structurally unsafe and needs to be demolished.
33. The Board found that Mr. Tobias testified that Building B has been empty for some time.
34. The Board found that Mr. Tobias testified that there is a construction office located to the south of the site which was renovated 4 years ago.

35. The Board found that Mr. Crouch testified that there is 25 feet from the travel lane of Route 1 to the property line.
36. The Board found that Mr. Crouch testified that one employee will live on site.
37. The Board found that Mr. Crouch testified that the buildings have to be improved with sprinklers per Fire Marshal regulations.
38. The Board found that Mr. Crouch testified that there is a 15 foot perimeter access per Fire Marshal's requirements and that there is a green space requirement as well.
39. The Board found that no one appeared in person in support of or opposition to the Application.
40. The Board found that David O'Berry was sworn in on teleconference to give testimony in support of the Application.
41. The Board found that Mr. O'Berry testified that he lives in a single-family home to the rear of the Property.
42. The Board found that Mr. O'Berry testified that he likes that the Applicant is reducing the density.
43. The Board found that Mr. O'Berry testified that the building is really run down and he is pleased that it is being improved.
44. The Board tabled its decision on the Application until December 14, 2020, at which time the Board discussed and voted on the Application.
45. Based on the findings above and the testimony and evidence presented at the public hearing and the public record, which the Board found credible, persuasive, and un rebutted, the Board determined that the application met the standards for granting a variance. The findings below further support the Board's decision to approve the Application.
 - a. The Property is unique as it is lot that has been used for a motel for many years and the motel needs to be renovated. As part of the existing development, the Property is improved by 3 buildings; one of which is structurally unsound and needs to be replaced. The other buildings also need renovations. The Applicant proposes to reduce the number of rooms on the site but is constrained by regulations applicable to the use, such as storm water management, parking, ADA, and Fire Marshal requirements. These conditions greatly limit the area where renovations can be made. The lot's unique conditions limit the buildable area available to the Applicant and have created an unnecessary hardship and an exceptional practical difficulty for the Applicant who seeks to renovate its motel as proposed.
 - b. The unnecessary hardship and exceptional practical difficulty are not being created by the provisions of the Sussex County Zoning Code.
 - c. Due to the uniqueness of the lot, the Property cannot be developed in strict conformity with the Sussex County Zoning Code. The Property has unique development history as it was developed by a three-building motel for many years. The motel has become outdated and needs renovations and, with respect to one building, reconstruction. The Applicant is unable to do so, however, without violating the Sussex County Zoning Code. The Board is convinced that the variances are necessary to enable the reasonable use of the Property as the variances will allow the Applicant to reasonably renovate the structures as proposed. The Board is convinced that the shape and location of the structures are also reasonable, which is confirmed when reviewing the survey provided by the Applicant.
 - d. The unnecessary hardship and exceptional practical difficulty were not created by the Applicant. The Applicant only recently acquired the Property and did not place the existing structures on the lot. Rather, those structures were placed on the lot many years ago by a prior owner. The Applicant is severely constrained by other regulations such as stormwater management, Fire Marshal, ADA, and parking requirements and those

requirements greatly limit the Applicant's ability to develop the lot. The Board notes that the lot is not particularly large either. The Board is convinced that the unnecessary hardship and exceptional practical difficulty were not created by the Applicant but was created by the lot's unique characteristics and history.

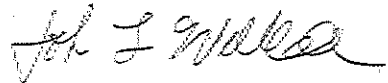
- e. The variances will not alter the essential character of the neighborhood nor substantially or permanently impair the appropriate use or development of adjacent property, nor be detrimental to the public welfare. The Board is convinced that the proposed renovations will have no effect on the character of the neighborhood. The renovations should improve a motel which has fallen into disrepair and the renovations should be an improvement to the area. The Board notes that a neighbor has submitted support of the Application as well. The Board also notes that Building B will encroach less than the prior Building B. There was no evidence that the location of the structures would somehow affect the neighborhood and no evidence was presented that the variances would somehow alter the essential character of the neighborhood or be detrimental to the public welfare.
- f. The variances sought are the minimum variances necessary to afford relief and the variances requested represent the least modifications possible of the regulations at issue. The Applicant has demonstrated that the variances sought will allow the Applicant to reasonably renovate the existing structures on the lot and to reconstruct Building B. The Applicant is reducing the number of rooms for the motel and will have to meet other regulations as part of its design.
- g. The condition or situation of the Property and the intended use of the Property is not of so general or recurring a nature as to make reasonably practicable the formulation of a general regulation to be adopted as an amendment to the Sussex County Zoning Code.

The Board granted the variance application finding that it met the standards for granting a variance.

Decision of the Board

Upon motion duly made and seconded, the variance application was approved. The Board Members in favor of the motion to approve were Dr. Kevin Carson, Mr. Jeffrey Chorman, and Mr. John Williamson. Ms. Ellen Magee voted against the Motion to approve the variance application. Mr. Brent Workman did not participate in the vote on this application.

BOARD OF ADJUSTMENT
OF SUSSEX COUNTY



John Williamson
Acting Chair

If the use is not established within two (2) years from the date below the application becomes void.

Date February 15, 2021

REHOBOTH INN

(f.k.a. CARMAS LANE COTTAGES MOTEL)

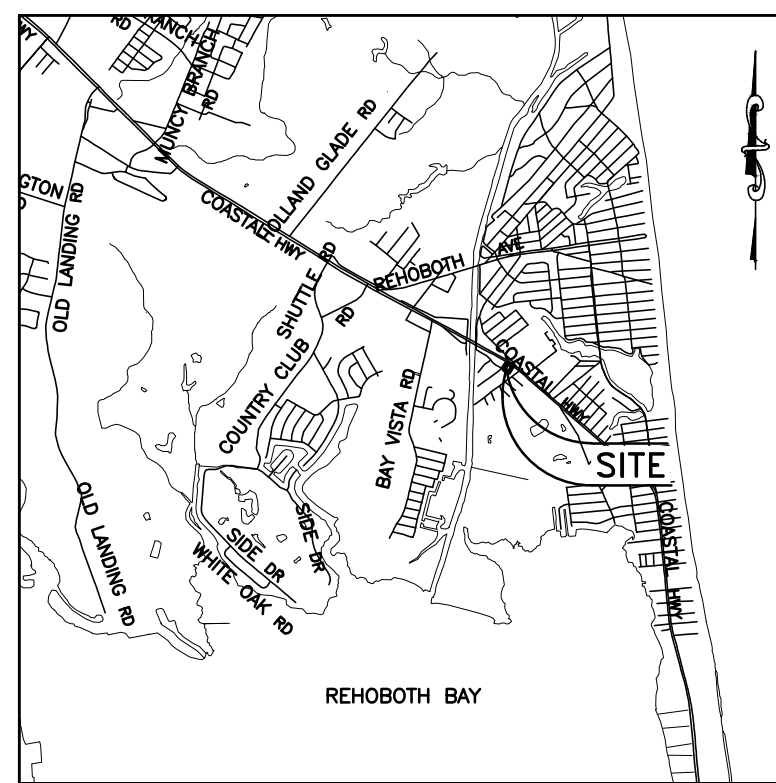
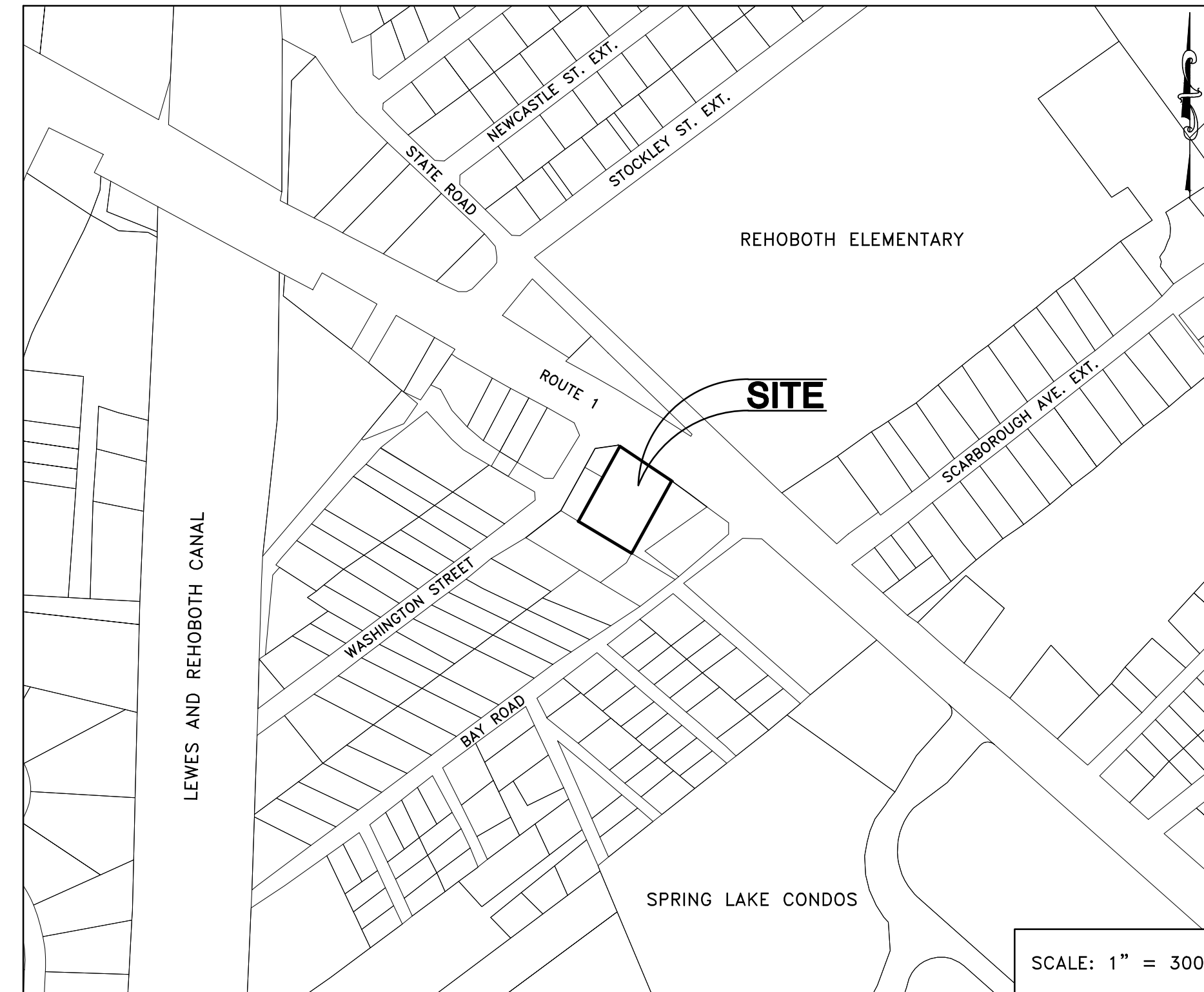
LEWES & REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

DBF # 0818A005

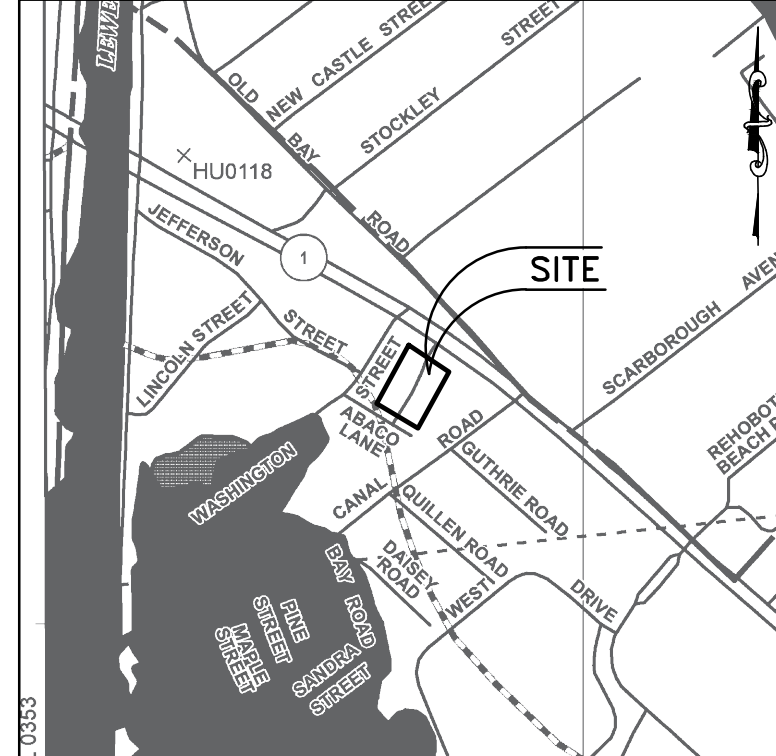
CONSTRUCTION DOCUMENTS

AUGUST, 2020

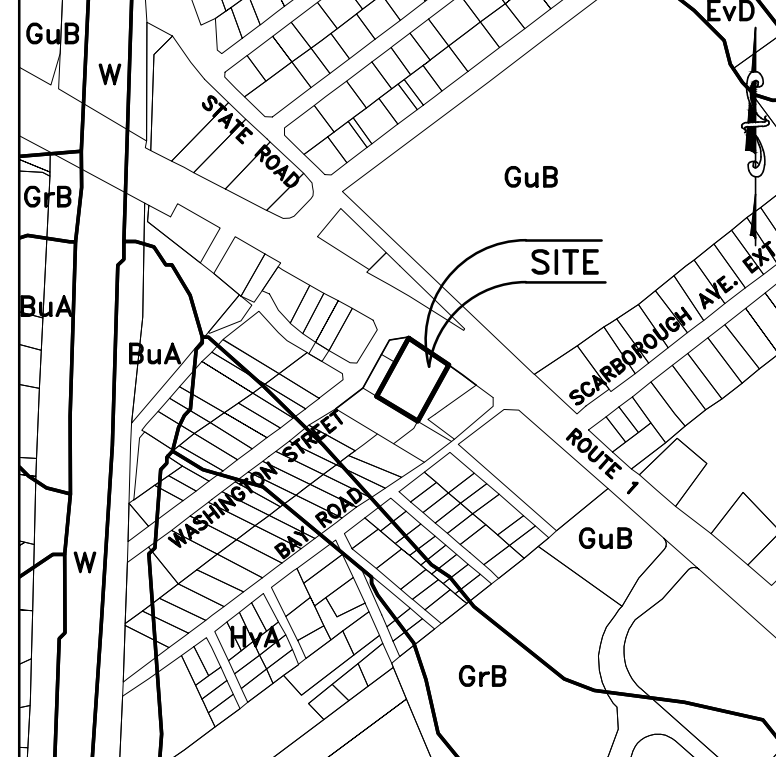
SUSSEX COUNTY REFERENCE NUMBER: (S-20-29)



LOCATION MAP SCALE: 1" = 1 MILE



FLOODPLAIN MAP SCALE: 1" = 600'



SOILS MAP SCALE: 1" = 600'

DATA COLUMN

PARCEL ID:	334-19.08-176.00
DEED REFERENCE:	D-2221-180
DATUM:	NAVD 88
VERTICAL:	NAD 83 (DE STATE PLANE)
HORIZONTAL:	
LAND USE:	COMMERCIAL
EXISTING:	COMMERCIAL
PROPOSED:	
LAND COVERAGE:	
EXISTING IMPERVIOUS:	0.569 AC. (81%)
PROPOSED IMPERVIOUS:	0.590 AC. (84%)
EXISTING PERVIOUS:	0.137 AC. (19%)
PROPOSED PERVIOUS:	0.116 AC. (16%)
AREAS:	
EXISTING SITE:	0.706 AC. (30,766 S.F.)
NET DEVELOPMENT AREA:	0.706 AC. (30,766 S.F.)
EXISTING OPEN SPACE:	0.137 AC. (19%)
PROPOSED OPEN SPACE:	0.116 AC. (16%)
ZONING:	
EXISTING:	C-1 GENERAL COMMERCIAL
PROPOSED:	C-1 GENERAL COMMERCIAL
MINIMUM REQUIREMENTS:	
FRONT SETBACK:	60 FT.
SIDE SETBACK:	5 FT.
REAR SETBACK:	30 FT. (ADJACENT TO A RESIDENTIAL DISTRICT)
WIDTH OF LOT:	75 FT.
DEPTH OF LOT:	100 FT.
MINIMUM LOT AREA:	10,000 FT.
PARKING:	(1.5 PER ROOM)
PARKING REQUIRED:	21 ROOMS x 1.5 = 32 SPACES
MAXIMUM REQUIREMENTS:	
BUILDING HEIGHT:	42 FT.
PROPOSED:	
BUILDING HEIGHT:	2 STORIES
PARKING:	32 SPACES, INCLUDING 2 HANDICAPPED ACCESSIBLE
UTILITIES:	
SEWER:	PUBLIC (SUSSEX COUNTY)
WATER:	CITY OF REHOBOTH
BUILDING INFORMATION:	
EXISTING BUILDING:	
HOTEL CAPACITY:	31 ROOMS
HOTEL BUILDING FOOTPRINT:	5,818 S.F.
HOTEL GROSS SQUARE FOOTAGE:	9,410 S.F.
HOTEL BUILDING HEIGHT:	2 STORIES
PROPOSED BUILDING:	
HOTEL CAPACITY:	21 ROOMS
HOTEL BUILDING FOOTPRINT:	7,550 S.F.
HOTEL GROSS SQUARE FOOTAGE:	15,100 S.F.
HOTEL BUILDING HEIGHT:	2 STORIES
CONSTRUCTION:	WOOD / CONCRETE BLOCK CONSTRUCTION
FLOODPLAIN:	THIS PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA MAP 10005C0354K, DATED MARCH 16, 2015
WETLANDS:	THIS PROPERTY IS NOT IMPACTED BY WETLANDS
POSTED SPEED LIMIT:	COASTAL HWY. 40 M.P.H.
NOTES:	
1.	THIS PARCEL LIES WITHIN THE COMBINED HIGHWAY CORRIDOR OVERLAY ZONE (CHCOZ) PER SUSSEX COUNTY CODE. THIS OVERLAY ZONE CONSISTS OF "ALL UNINCORPORATED LANDS WITHIN 600 FEET ON EACH SIDE OF STATE ROUTE 1, BETWEEN KENT COUNTY, DELAWARE AND FENWICK ISLAND, DELAWARE" AND THIS ZONE SHALL BE MEASURED FROM THE EXISTING ROAD RIGHT-OF-WAY LINE (8115-194.1(B)(1)).
2.	THIS PARCEL IS LOCATED WITHIN AN AREA OF "FAIR" GROUNDWATER RECHARGE POTENTIAL TO COMPLY WITH CHAPTER 89 "SOURCE WATER PROTECTION" OF THE SUSSEX COUNTY CODE (889-7).
3.	THIS PARCEL IS NOT LOCATED WITHIN AN WELLHEAD PROTECTION AREA TO COMPLY WITH CHAPTER 89 "SOURCE WATER PROTECTION" OF THE SUSSEX COUNTY CODE (889-7).
4.	ON FEBRUARY 15, 2021 THE SUSSEX COUNTY BOARD OF ADJUSTMENT GRANTED THE FOLLOWING VARIANCES FOR CASE NO. 12489: 1) A VARIANCE OF 32.15 FEET FROM THE SIXTY (60) FEET FRONT YARD SETBACK REQUIREMENT FOR STEPS AND A LANDING ON BUILDING A; 2) A VARIANCE OF 37.73 FEET FROM THE SIXTY (60) FEET FRONT YARD SETBACK REQUIREMENT FOR STEPS AND A LANDING ON BUILDING A; 3) A VARIANCE OF 33.36 FEET FROM THE SIXTY (60) FEET FRONT YARD SETBACK REQUIREMENT FOR BUILDING A; 4) A VARIANCE OF 34.02 FEET FROM THE SIXTY (60) FEET FRONT YARD SETBACK REQUIREMENT FOR BUILDING A; 5) A VARIANCE OF 28.23 FEET FROM THE SIXTY (60) FEET FRONT YARD SETBACK REQUIREMENT FOR BUILDING B; 6) A VARIANCE OF 31.06 FEET FROM THE SIXTY (60) FEET FRONT YARD SETBACK REQUIREMENT FOR BUILDING B; 7) A VARIANCE OF 11.53 FEET FROM THE THIRTY (30) FEET REAR YARD SETBACK REQUIREMENT FOR BUILDING C; 8) A VARIANCE OF 10.48 FEET FROM THE THIRTY (30) FEET REAR YARD SETBACK REQUIREMENT FOR BUILDING C; AND 9) A VARIANCE OF 9.57 FEET FROM THE THIRTY (30) FEET REAR YARD SETBACK REQUIREMENT FOR BUILDING C. THE VARIANCES PERTAIN TO CERTAIN REAL PROPERTY LOCATED ON THE SOUTHWEST SIDE OF COASTAL HIGHWAY (ROUTE 1) APPROXIMATELY 153 FEET SOUTHEAST OF WASHINGTON STREET (911 ADDRESS: 20494 COASTAL HIGHWAY, REHOBOTH BEACH) SAID PROPERTY BEING IDENTIFIED AS SUSSEX COUNTY TAX MAP PARCEL NUMBER 3-34-19.08-176.00.

OWNER/DEVELOPER:
REHOBOTH INN JK, LLC
20184 PHILLIPS STREET
REHOBOTH BEACH, DE 19971

ENGINEER:
DAVIS, BOWEN & FRIEDEL, INC.
W. ZACHARY CROUCH, P.E.
1 PARK AVENUE
MILFORD, DE 19963
(302) 424-1441

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OWNER'S STATEMENT

I, THE UNDERSIGNED, HEREBY STATE THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN BE RECORDED ACCORDING TO LAW.

NAME _____ DATE _____

ENGINEER'S STATEMENT

I, W. ZACHARY CROUCH, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVIS, BOWEN & FRIEDEL, INC. DATE _____
by W. ZACHARY CROUCH, P.E.



DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS, ENGINEERS & SURVEYORS

SALISBURY, MARYLAND (410) 543-9091
MILFORD, DELAWARE (302) 424-1441
EASTON, MARYLAND (410) 770-4744

REVISED:
2020-07-31: DELDOT
2020-08-06: CLIENT
2020-08-14: CITY OF REHOBOTH
2020-10-06: SCD
2020-10-22: PM
2021-02-22: P&Z
2021-04-07: P&Z

C-001

GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO WEEKS PRIOR OF THE START OF CONSTRUCTION AND SHALL APPRISE AND COORDINATE DURING ALL PHASES OF CONSTRUCTION
 - SUSSEX COUNTY ENGINEERING DEPARTMENT 302-855-7718
 - DAVIS, BOWEN & FRIEDEL, INC. 302-424-1441
 - SUSSEX CONSERVATION DISTRICT 302-856-2105
 - CITY OF REHOBOTH, PUBLIC WORKS 302-227-6181
 - DEPARTMENT OF TRANSPORTATION 302-853-1342
- HORIZONTAL AND VERTICAL CONTROL SURVEY BY DAVIS, BOWEN AND FRIEDEL, INC. DATED: 5/19/2020
- EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS, INCLUDING TELEPHONE, ELECTRIC, CABLE TV, GAS, WATER, SEWER, AND STORM DRAINAGE ARE BASED UPON THE BEST AVAILABLE INFORMATION AND ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. NO GUARANTEE IS MADE OR IMPLIED REGARDING THE ACCURACY OR COMPLETENESS THEREOF. CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION, DEPTH, SIZE AND MATERIAL OF ALL UNDERGROUND UTILITIES TO HIS/HER OWN SATISFACTION BEFORE BEGINNING ANY EXCAVATION OR PIPE LAYING. THE COUNTY, OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION. IF THE CONTRACTOR RELIES ON SAID INFORMATION, HE/SHE DOES SO AT THEIR OWN RISK. THE GIVING OF THE INFORMATION ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS/HER OBLIGATIONS TO SUPPORT AND PROTECT ALL SHOWN OR NOT SHOWN EXISTING UTILITIES AND APPURTENANCES. SHOULD ANY EXISTING UTILITIES BE DAMAGED BY THE CONTRACTOR, THEN THE CONTRACTOR SHALL REPAIR THE DAMAGE CAUSED TO THE COUNTY AND/OR UTILITY COMPANY'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL MAKE HIS/HER OWN INVESTIGATION AND TEST PIT EXISTING UTILITIES AS REQUIRED.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" (1-800-282-8555 IN DE) AT LEAST 3 CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION TO HAVE EXISTING UNDERGROUND UTILITIES LOCATED AND MARKED.
- ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF ALL PERMITS SECURED, WHICH TAKE PRECEDENCE OVER SPECIFICATIONS.
- THE CONTRACTOR SHALL REPAIR OR REPLACE IN-KIND ANY EXISTING FEATURES DAMAGED OR DESTROYED DURING CONSTRUCTION, AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL USE ONLY SUITABLE AND APPROVED GRANULAR MATERIAL FOR BACK FILLING TRENCHES.
- THE CONTRACTOR SHALL COORDINATE WITH DELAWARE DEPARTMENT OF TRANSPORTATION TO DETERMINE MAINTENANCE OF TRAFFIC DURING CONSTRUCTION AT ENTRANCE. ANY PAVEMENT MARKINGS OR PAINTED LINES DISTURBED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED IN-KIND AFTER COMPLETION OF PAVEMENT RESTORATION.
- THE CONTRACTOR SHALL PROVIDE STAKEOUT SURVEY NECESSARY FOR INSTALLATION OF UTILITIES AND ALL SITE WORK INCLUDED IN THESE PLANS. ALL STAKEOUT WORK IS TO BE PERFORMED UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF DELAWARE.
- THE CONTRACTOR SHALL EXERCISE CAUTION AND TAKE MEASURES NECESSARY TO PROTECT TREES DURING CONSTRUCTION ACTIVITIES. DAMAGED TREES TO BE REPLACED, IN KIND, AT THE CONTRACTOR'S EXPENSE.
- ALL ROADWAYS ARE TO BE SWEEPED FREE OF SEDIMENT ON A DAILY BASIS.
- THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE WORK AREA, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL REGULATORY, WARNING, AND INFORMATIONAL SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE. THE COST SHALL BE INCLUDED IN THE COST OF ITEMS BID.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- NO SITE PREPARATION, SITE DISTURBANCE, SITE EXCAVATION OF OTHER SITE CONSTRUCTION SHALL BE COMMENCED UNTIL ALL PERMITS REQUIRED BY ALL OTHER LAWS, ORDINANCES, RULES AND REGULATIONS SHALL HAVE BEEN ISSUED AND THE APPROVED FINAL SITE PLAN IS RECORDED, EXCEPT SUCH SITE WORK FOR WHICH A PERMIT HAS BEEN ISSUED BY THE SUSSEX CONSERVATION DISTRICT.
- ANY ADDITIONAL PROPOSED SIGNS SHALL REQUIRE A SEPARATE PERMIT FROM SUSSEX COUNTY PLANNING AND ZONING.

DEMOLITION AND SAFETY GENERAL NOTES

- EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48 HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA THREE CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
- THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE ROAD WAY, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL, REGULATORY, WARNING AND INFORMATIONAL SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE. THE COST SHALL BE INCLUDED IN THE COST OF ITEMS BID.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
- DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM. ADDITIONAL COSTS WILL BE NEGOTIATED WITH THE OWNER.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL WORK MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- ALL EXISTING SEWER PIPE, MANHOLES, AND APPURTENANCES DESIGNATED FOR REMOVAL SHALL BE REMOVED. NO ABANDONED IN PLACE COMPONENTS WILL BE ALLOWED.
- CONTRACTOR TO COORDINATE THE CAPPING/REMOVAL OR ADJUSTMENT TO PUBLIC/PRIVATE UTILITIES, INCLUDING GAS.

FIRE PROTECTION GENERAL NOTES

- ALL FIRE LANES, HYDRANTS, EXITS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS (DSFPR, 705, CHAPTER 5).
- WATER PROVIDER: CITY OF REHOBOTH
- TAX MAP NUMBER: 334-19.08-176.00
- PROPOSED BUILDING CONSTRUCTION: WOOD/CONCRETE BLOCK, TYPE V
- INTENDED USE: COMMERCIAL (HOTEL)
- MAXIMUM HEIGHT OF BUILDING: 42 FEET
- ALL BUILDINGS WILL BE PROTECTED BY AUTOMATIC FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13.
- LOCK BOX REQUIRED, CONTACT LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF BOX ON THE BUILDING.
- BUILDINGS SHALL HAVE STANDPIPES INSTALLED IN ACCORDANCE WITH THE DELAWARE FIRE PREVENTION REGULATIONS AND NFPA 14.
- FIRE HYDRANT SHALL BE AMERICAN DARLING B-62.

INTERNAL PAVING / CONCRETE NOTES

- HOT MIX ASPHALT SHALL BE INSTALLED IN ACCORDANCE WITH THE 2001 DELDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION:
 - SECTION 401 FOR PLACEMENT OF TACK COAT AND HOT MIX.
 - ASPHALT SHALL BE FROM A DELDOT APPROVED PLANT.
 - HOT MIX SHALL NOT BE APPLIED WHEN THE TEMPERATURE IS BELOW 40° F OR ON ANY WET OR FROZEN SURFACE.
- ALL DISTURBED AREAS NOT COVERED WITH IMPERVIOUS MATERIAL, SHALL BE TOPSOILED (6" MINIMUM), FERTILIZED, SEEDED AND MULCHED.
- ALL SIGNING AND MAINTENANCE OF TRAFFIC IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL FOLLOW THE 2011 DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
- DESIGN, FABRICATION, AND INSTALLATION OF ALL PERMANENT SIGNING SHALL BE AS OUTLINED IN THE 2011 DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
- FOR FINAL PERMANENT PAVEMENT MARKINGS, EPOXY RESIN PAINT SHALL BE REQUIRED FOR LONG LINE STRIPING AND THERMO WILL BE REQUIRED FOR SHORT LINE STRIPING, I.E. SYMBOLS/LEGENDS.
- ALL TRAFFIC CONTROL DEVICES SHALL BE IN NEW OR REFURBISHED CONDITION, SHALL COMPLY WITH THE 2011 DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION), AND SHALL BE NCHRP - 350 APPROVED AND SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED IN GOOD CONDITION FOR DURATION OF USE.
- BREAKAWAY POSTS SHALL BE USED WHEN INSTALLING ALL SIGNS. DETAIL CAN BE FOUND IN DELDOT'S STANDARD CONSTRUCTION DETAILS.
- PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT PAVING IS INSTALLED TO THE ELEVATIONS SHOWN AND THAT NO PONDING OF WATER EXISTS AFTER PAVING IS COMPLETE. PONDING IS DEFINED AS WATER STANDING IN AN AREA MORE THAN 1 HOUR AFTER A RAINFALL EVENT THAT PRODUCES RUNOFF. ELIMINATION OF PONDING WILL BE COMPLETED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- SUPERPAVE HOT-MIX SHALL BE USED IN ACCORDANCE WITH DELDOT SPECIAL PROVISIONS.
- OPEN-CUT TRENCHES AND PROVIDE PAVEMENT RESTORATION IN ACCORDANCE WITH CITY OF REHOBOTH STANDARDS AND SPECIFICATIONS. SEE DETAILS ON SHEET C-102.
- CONCRETE SHALL BE PLACED IN ACCORDANCE WITH DELDOT STANDARD SPECIFICATIONS.

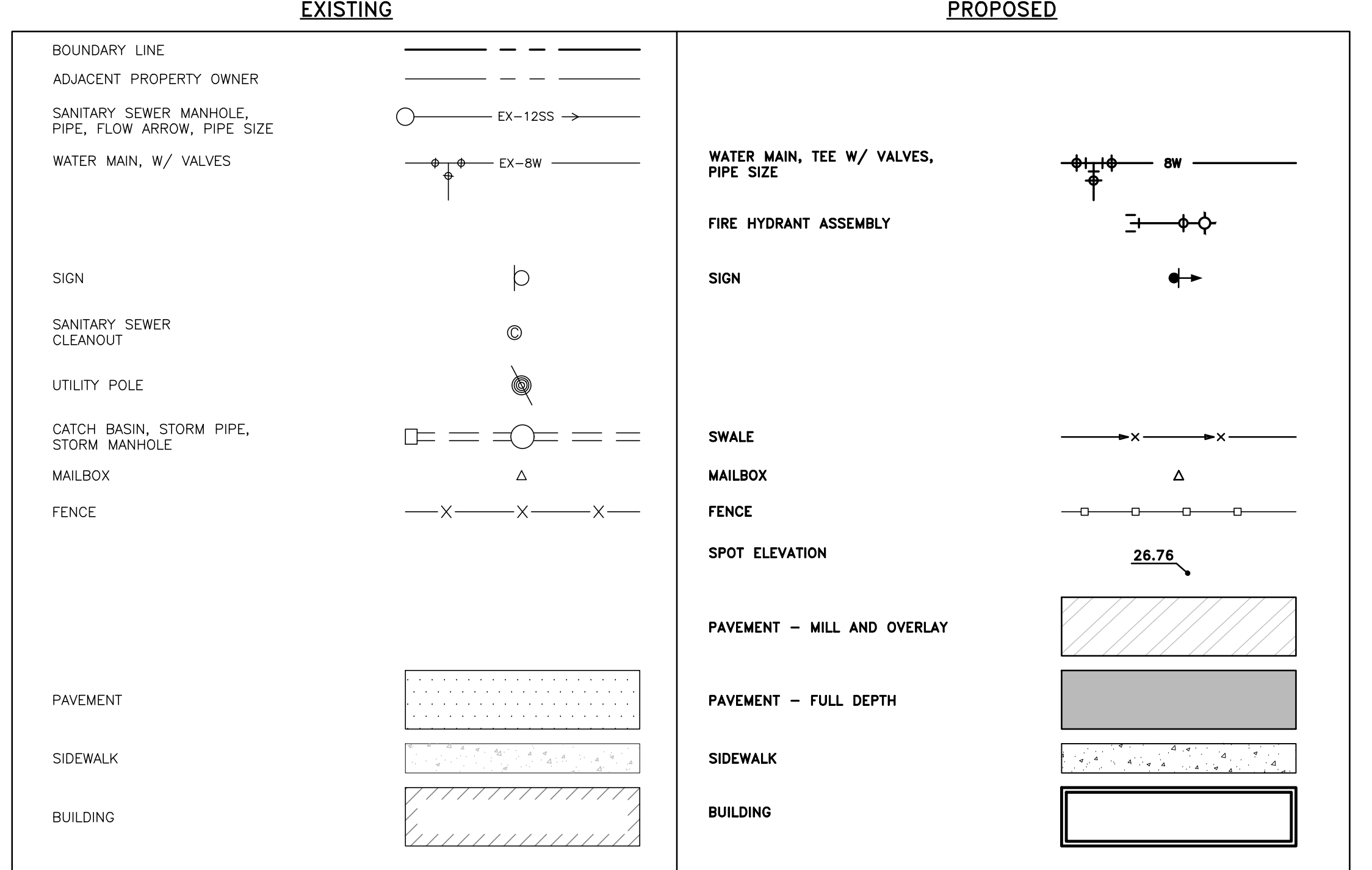
WATER DISTRIBUTION GENERAL NOTES

- USE ONLY SUITABLE GRANULAR MATERIAL APPROVED BY CITY OF REHOBOTH BEACH OR DESIGNEE FOR BACKFILLING TRENCHES.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING WATER MAINS TO WHICH NEW CONSTRUCTION WILL CONNECT.
- THE FIRE SERVICE LINE AND WATER LATERAL SHALL HAVE A MINIMUM COVER OF 3.0 FEET FROM PROPOSED GRADE, AS MEASURED FROM THE TOP OF PIPE.
- THE CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH OR ACCESS PITS WHICH CAN BE BACKFILLED AND STABILIZED AT THE END OF EACH WORKING DAY. STEEL PLATES SHALL BE USED ON ANY TRENCH OR ACCESS PITS WHICH MUST REMAIN OPEN OVERNIGHT. THIS REQUIREMENT DOES NOT APPLY TO AREAS COMPLETELY CLOSED AND SECURE FROM VEHICULAR OR PEDESTRIAN TRAFFIC.
- FINAL APPROVED SET OF PLANS AND SPECIFICATIONS SHALL BE MAINTAINED ON THE JOB SITE. FAILURE TO COMPLY WITH THIS PROVISION SHALL BE CONSIDERED CAUSE TO STOP THE WORK.
- THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF CONTRACT DRAWINGS ON WHICH HE SHALL NOTE, IN RED, THE ALIGNMENTS AND INVERTS OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK. ALL DISCREPANCIES BETWEEN THE PLAN LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE AS-BUILT DRAWINGS TO BE MAINTAINED BY THE CONTRACTOR IN THE FIELD.
- ROUTINE PERIODIC INSPECTIONS DURING CONSTRUCTION WILL BE PROVIDED BY THE CITY OF REHOBOTH BEACH OR DESIGNEE. THESE INSPECTIONS DO NOT RELIEVE THE CONTRACTOR FROM HIS OBLIGATION AND RESPONSIBILITY FOR CONNECTING THE WATER AND FIRE LATERALS IN ACCORDANCE WITH THE CITY OF REHOBOTH BEACH STANDARDS AND SPECIFICATIONS.
- DIFFERING SITE CONDITIONS AND/OR DIFFERING MATERIAL PROPERTIES SHALL REQUIRE CITY OF REHOBOTH OR DESIGNEE APPROVAL OF SPECIAL DESIGN DETAILS PREPARED BY THE DESIGN ENGINEER PRIOR TO INITIATING OR RESUMING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL ALLOW SUFFICIENT TIME FOLLOWING EXCAVATIONS FOR INSPECTION AND EVALUATION OF EXISTING SOIL SUBGRADE CONDITIONS BY THE CITY OF REHOBOTH BEACH OR DESIGNEE. THE CITY OF REHOBOTH BEACH OR DESIGNEE SHALL INSPECT ALL LATERAL SUBGRADES FOLLOWING EXCAVATION AND PRIOR TO CONSTRUCTION OF NEW WORK TO CONFIRM DESIGN CONDITIONS ARE MET AND SUBGRADE CONDITIONS ARE SUITABLE FOR CONSTRUCTION. IN THE EVENT THE SOIL BEARING CAPACITY IS LESS THAN THE MINIMUM DESIGN VALUE, THE CITY OF REHOBOTH BEACH OR DESIGNEE SHALL CAUSE AFFECTED CONSTRUCTION TO CEASE AND SHALL NOTIFY THE DESIGN ENGINEER FOR RE-DESIGN TO ACCOMMODATE THE REDUCED SOIL BEARING CAPACITY.
- IN THE EVENT THE SUBGRADE CONDITION IS UNSTABLE, DUE TO UNSUITABLE MATERIALS AND/OR GROUNDWATER INFILTRATION/INTRUSION INTO THE SURROUNDING SOILS, AS DETERMINED BY THE CITY OF REHOBOTH BEACH OR DESIGNEE, THE CONTRACTOR SHALL, AS DIRECTED BY THE CITY OF REHOBOTH BEACH OR DESIGNEE, REMOVE THE UNSUITABLE MATERIAL AND FILL WITH SUITABLE APPROVED GRANULAR FILL MATERIAL.
- CONTRACTOR SHALL EXTEND LATERAL BELOW ANY CONFLICTS OR OBSTRUCTIONS TO PROVIDE REQUIRED CLEARANCES. COST SHALL BE INCLUDED IN THE PRICE APPLICABLE ITEMS OF THE PROPOSAL.
- ALL GATE VALVES SHALL BE PROVIDED WITH A ROADWAY SCREW-TYPE CAST IRON VALVE BOX. BOX FOR VALVES 3" AND SMALLER SHALL HAVE AN ARCH BASE.
- VALVES LARGER THAN 4" SHALL MATCH THE TYPE CURRENTLY INSTALLED ON THE PROPERTY.
- PLACE NEW VALVES NEXT TO TEES, BENDS, ETC., SUPPORT ALL VALVES ON A SOLID 4"x8" CONCRETE MASONRY UNIT.
- ALL WATER MAINS SHALL BE HYDROSTATICALLY TESTED AND DISINFECTED BEFORE ACCEPTANCE.
- ALL PROPOSED SERVICES SHALL BE INSTALLED WITH A TRACER WIRE CONTINUOUSLY ALONG AND DIRECTLY ADHERED TO THE PIPE.
- ALL VALVE CLOSURES AND CUT-INS SHALL BE COORDINATED WITH THE CITY OF REHOBOTH BEACH OR DESIGNEE. CITY OF REHOBOTH BEACH OR DESIGNEE OFFICIALS WILL CARRY OUT ALL NECESSARY VALVE CLOSURES. CONTRACTOR SHALL COORDINATE ISOLATION OF EXISTING WATER MAINS WITH THE CITY OF REHOBOTH BEACH OR DESIGNEE AND NOTIFY RESIDENTS AT LEAST 48 HOURS PRIOR TO CUT-IN.
- ALL FITTINGS WILL BE TYLER UNION MECHANICAL JOINT RESTRAINT. ALL FITTINGS WILL BE RESTRAINED, BUTTRESSES ARE NOT PERMITTED.
- CONTRACTOR TO GPS AS-BUILT WATER MAIN TO INCLUDE ALL FITTINGS, BENDS, VALVES, HYDRANTS, ETC.
- WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM SEWER MAINS. WATER CROSSING SEWER MAINS SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 18" TO OUTSIDE OF PIPES. IF AN 18" CLEARANCE CANNOT BE OBTAINED, A 10 LINEAR FOOT CONCRETE ENCASEMENT SHALL BE USED.

DRAINAGE, GRADING AND SEDIMENT CONTROL GENERAL NOTES

- THE SUSSEX CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 5 DAYS PRIOR TO COMMENCING WITH CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- REVIEW AND/OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DETERMINED NECESSARY BY DNREC OR THE DELEGATED AGENCY.
- FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER SEDIMENT CONTROLS, SOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHOULD BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
- APPROVAL OF A SEDIMENT AND STORMWATER MANAGEMENT PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
- THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
- BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7. DEL. C. CH 60, REGULATIONS GOVERNING THE CONTROL OF WATER POLLUTION, SECTION 9.1.02, KNOWN AS SPECIAL CONDITIONS FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, AND DNREC POLICIES, PROCEDURES, AND GUIDANCE.
- THE CONTRACTOR SHALL GRADE, TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS OF CONSTRUCTION, INCLUDING DITCH CONSTRUCTION. EROSION CONTROL MATTING SHALL BE PROVIDED ON ALL SLOPES GREATER THAN 3:1.
- THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL MEASURES TO PROTECT STOCKPILE AREAS AND STORAGE AREAS. ALL AREAS USED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR UPON COMPLETION OF THE PROJECT. IF THE STAGING AREA IS PAVED, IT SHALL BE RESTORED TO ITS ORIGINAL CONDITION. IF THE STAGING AREA IS UNPAVED, IT SHALL BE RE-GRADED, TOPSOILED, SEEDED AND MULCHED TO THE SATISFACTION OF THE ENGINEER. ALL COSTS ASSOCIATED WITH RESTORATION OF THE STAGING AREA SHALL BE AT THE CONTRACTOR'S EXPENSE. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- EQUIPMENT AND/OR STOCKPILE MATERIAL SHALL NOT BE STORED IN THE DRIPLINE OF ANY TREE.

LEGEND



ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
 1000 W. MARKET ST., SUITE 200
 MILFORD, DELAWARE 19380
 (302) 424-1441
 FAX (302) 424-1441
 EASTON, MARYLAND (410) 770-4744

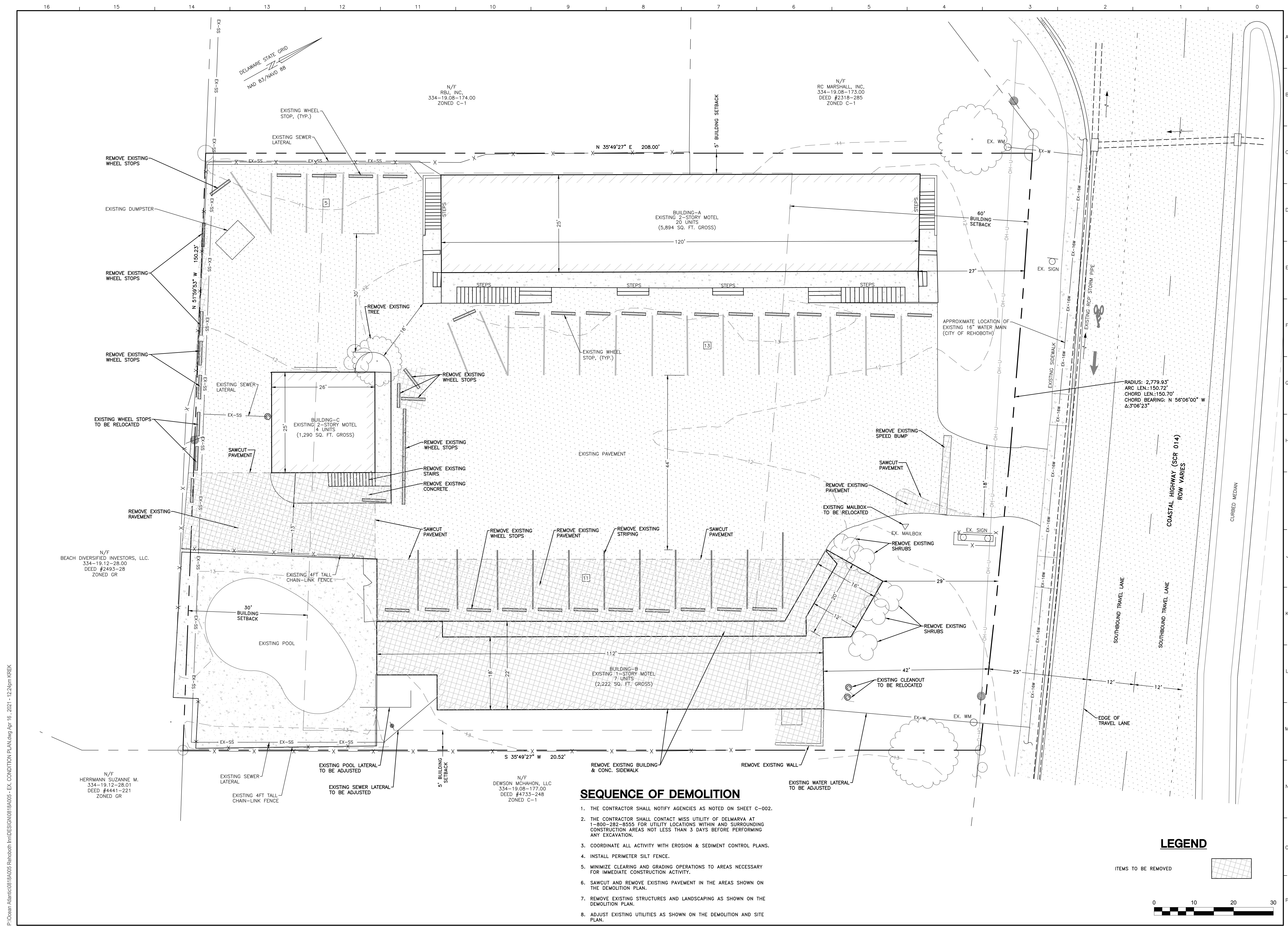
NOTES / LEGEND

REHOBOTH INN
LEWES - REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

REVISED:
 2020-07-31: DELDOT
 2020-08-05: CLIENT
 2020-08-14: CITY OF REHOBOTH
 2020-10-08: SDJ
 2020-10-22: FM
 2021-02-22: P&Z
 2021-04-07: P&Z

Date: **AUGUST, 2020**
 Scale: **N.T.S.**
 Dwn.By: **KJK**
 Proj.No.: **0818A005**
 Dwg.No.:

C-002

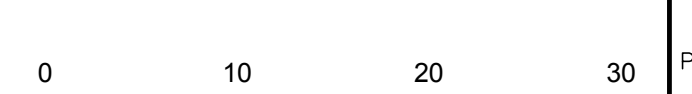


SEQUENCE OF DEMOLITION

1. THE CONTRACTOR SHALL NOTIFY AGENCIES AS NOTED ON SHEET C-002.
2. THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA AT 1-800-282-8555 FOR UTILITY LOCATIONS WITHIN AND SURROUNDING CONSTRUCTION AREAS NOT LESS THAN 3 DAYS BEFORE PERFORMING ANY EXCAVATION.
3. COORDINATE ALL ACTIVITY WITH EROSION & SEDIMENT CONTROL PLANS.
4. INSTALL PERIMETER SILT FENCE.
5. MINIMIZE CLEARING AND GRADING OPERATIONS TO AREAS NECESSARY FOR IMMEDIATE CONSTRUCTION ACTIVITY.
6. SAWCUT AND REMOVE EXISTING PAVEMENT IN THE AREAS SHOWN ON THE DEMOLITION PLAN.
7. REMOVE EXISTING STRUCTURES AND LANDSCAPING AS SHOWN ON THE DEMOLITION PLAN.
8. ADJUST EXISTING UTILITIES AS SHOWN ON THE DEMOLITION AND SITE PLAN.

LEGEND

ITEMS TO BE REMOVED



ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
 1000 MARKET STREET
 WILMINGTON, DELAWARE 19801
 (302) 424-1411
 (410) 770-4744

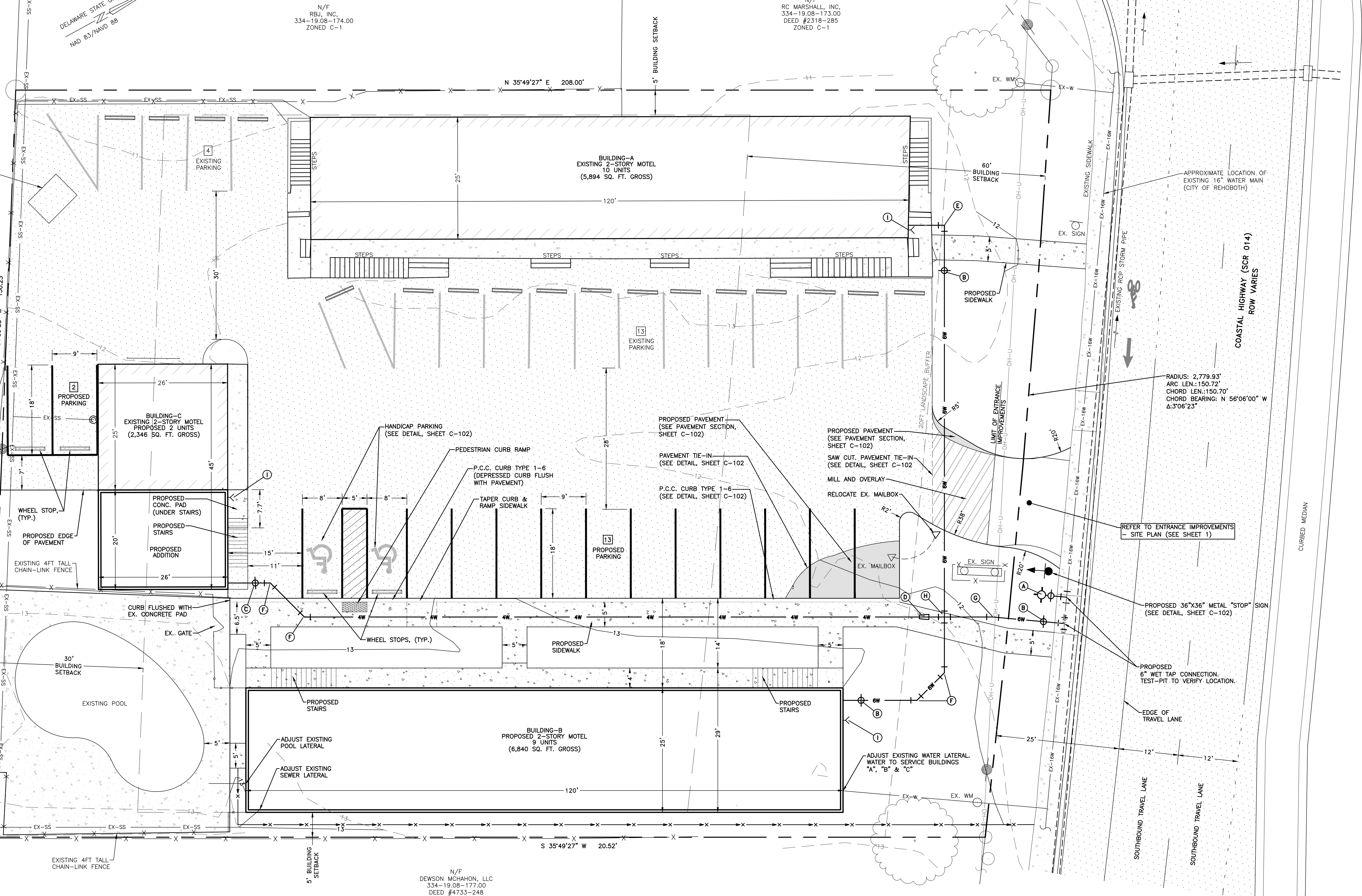
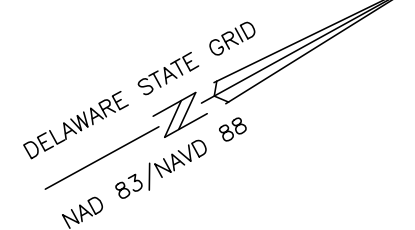
**REBOOTH INN
 LEWES - REHOBOTH HUNDRED
 SUSSEX COUNTY, DELAWARE**

REVISIONS:
 2020-07-31: DELDOT
 2020-08-05: CLIENT
 2020-08-14: CITY OF REHOBOTH
 2020-10-08: SCD
 2020-10-22: FM
 2021-02-22: P&Z
 2021-04-07: P&Z

Date: AUGUST, 2020
 Scale: 1" = 10'
 Dwn. By: KJK
 Proj. No.: 0818A005
 Dwg. No.:

C-100

EXISTING CONDITIONS / DEMOLITION PLAN



HYDRANT FLOW TEST RESULTS

HYDRANT #:	196		
HYDRANT LOCATION:	WASHINGTON ST. & RT. 1		
DATE:	5/1/2020		
TEST BY:	S. CHIEFFO / S. BAKER		
DATA			
FLOW HYDRANT(S)	HYDRANT #1	HYDRANT #2	HYDRANT #3
SIZE OPENING:	2.5		
COEFFICIENT:	0.9		
PITOT READING:	40		
GPM	1061		
TOTAL FLOW DURING TEST:	1061 GPM		
STATIC READING:	52 PSI	RESIDUAL:	44 PSI
RESULTS: AT 20 PSI RESIDUAL	2243 GPM	AT 0 PSI	2916 GPM

UTILITY LEGEND:

- (A) PROPOSED FIRE HYDRANT ASSEMBLY
- (B) PROPOSED 6" WATER VALVE
- (C) PROPOSED 4" WATER VALVE
- (D) PROPOSED 4"x6" REDUCER
- (E) PROPOSED 90° BEND
- (F) PROPOSED 45° BEND
- (G) PROPOSED 11.25° BEND
- (H) PROPOSED 6"x6"x6" CROSS
- (I) PROPOSED FIRE DEPARTMENT CONNECTION



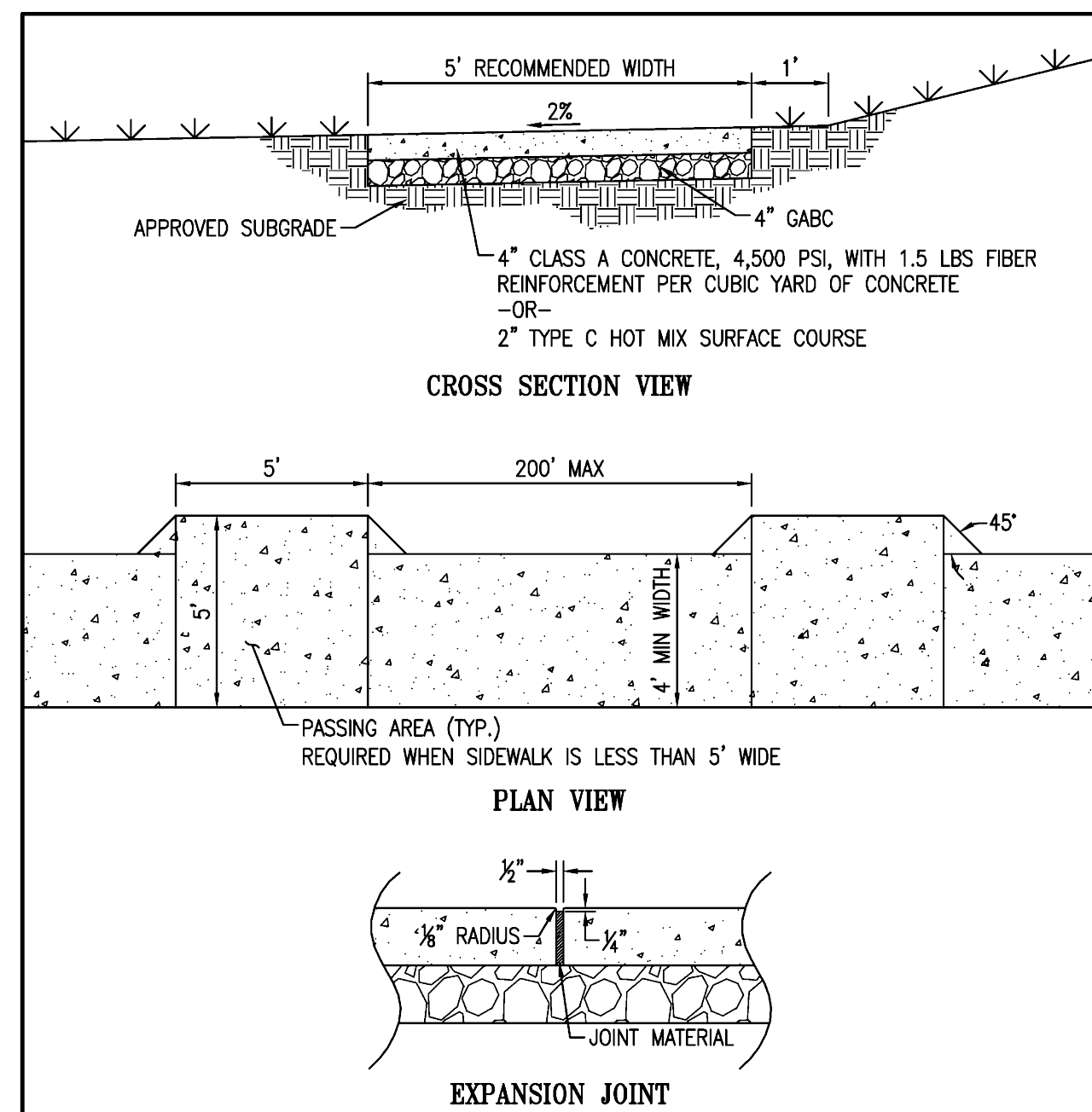
P:\Ocean Atlantic\0818A005 Rehoboth Inn\DESIGN\0818A005- SITE PLAN.dwg Apr 16, 2021 - 12:24pm KREK

ARCHITECTS ENGINEERS SURVEYORS
 DAVIS, BOWEN & FRIEDEL, INC.
 1000 MARKET STREET, SUITE 200
 WILMINGTON, DELAWARE 19801
 (302) 424-1441
 (410) 770-4744

REHOBOTH INN
LEWES - REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

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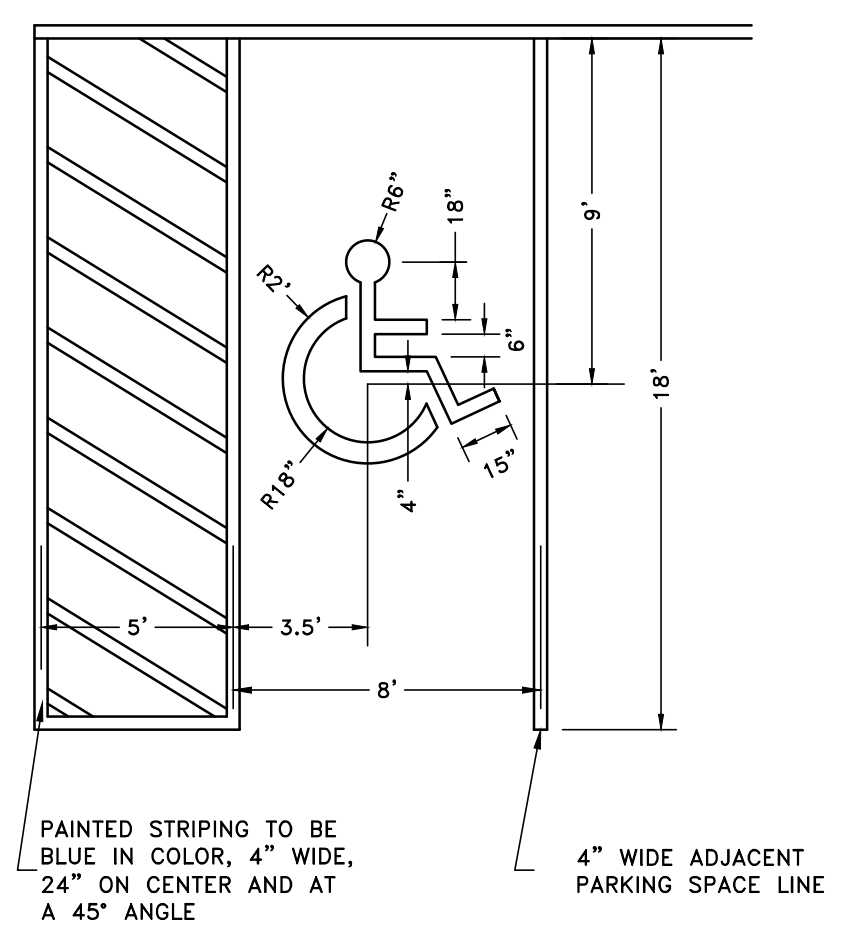
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 Scale: **1" = 10'**
 Dwn.By: **KJK**
 Proj.No.: **0818A005**
 Dwg.No.: **C-101**



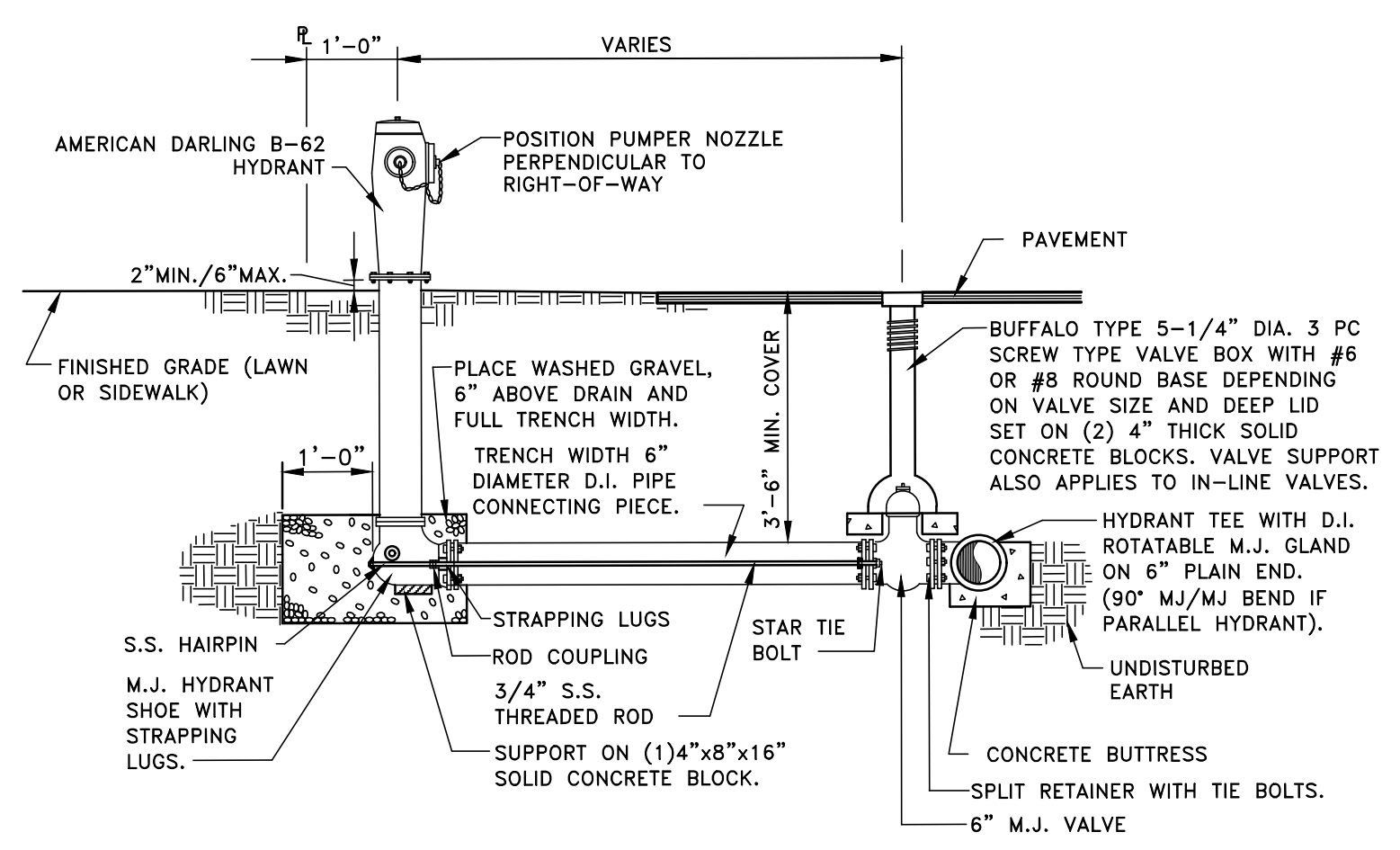
NOTES:
 1. CONCRETE SIDEWALKS SHALL BE CONTINUOUS AND SHALL NOT BREAK OR STOP AT DRIVEWAY CROSSINGS.
 2. CONCRETE SIDEWALKS SHALL BE MARKED INTO RECTANGULAR SLABS 5' LONG BY SCORING WITH APPROVED EDGING TOOLS.
 3. EXPANSION JOINTS SHALL BE PLACED ACROSS CONCRETE SIDEWALKS NOT MORE THAN 20' APART.
 4. WHEN A 5' WIDE SIDEWALK IS NOT POSSIBLE DUE TO SITE CONSTRAINTS, A 4' WIDE SIDEWALK MAY BE USED WITH 5'x5' PASSING AREAS SPACED AT 200' OR CLOSER INTERVALS. REFER TO THE LATEST ADA AND ABA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.

	Sussex County, Delaware Engineering Department Approved: <i>Michael J. Jaffe</i> Sussex County Engineer	Concrete Sidewalk	Detail R-5.01
	Revised: 08/19/2008 Approved:		

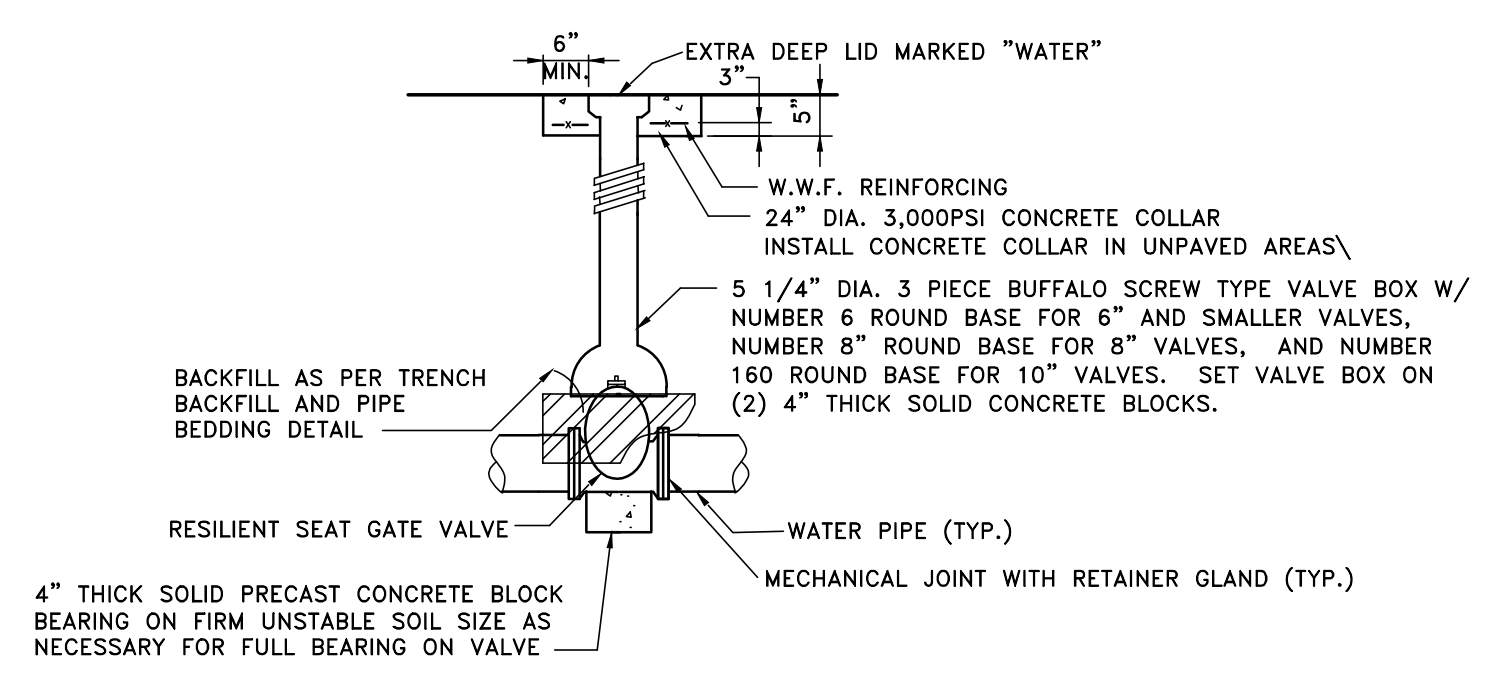
NOTES:
 1. SIDEWALK MUST BE INSTALLED PER THE APPROVED PLAN IN CONJUNCTION WITH THE PRIVATE STREET.
 2. THE CROSS SLOPE IS DESIGNED AT 1.5% TO ALLOW FOR A MINIMUM SLOPE OF 1% AND MAXIMUM SLOPE OF 2%.



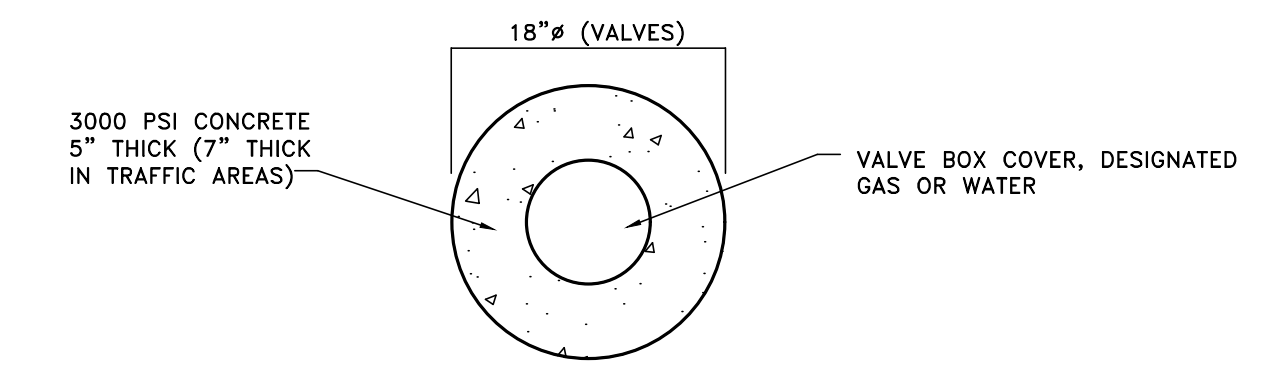
HANDICAP PARKING DETAIL
 NO SCALE



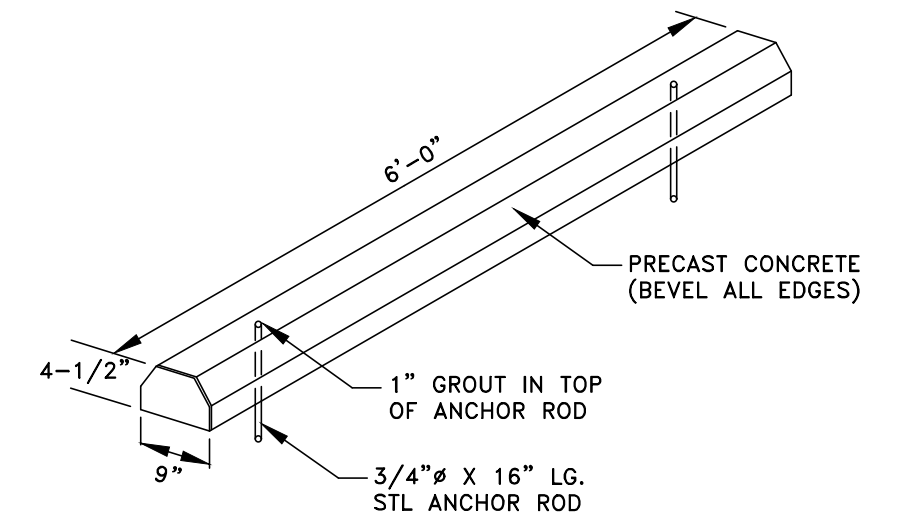
FIRE HYDRANT ASSEMBLY DETAIL
 NO SCALE



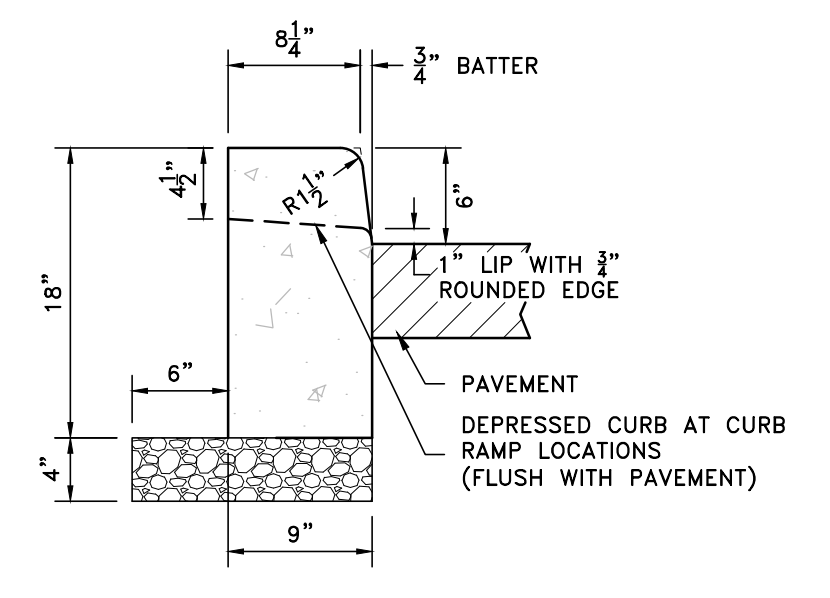
NEW GATE VALVE DETAIL
 NO SCALE



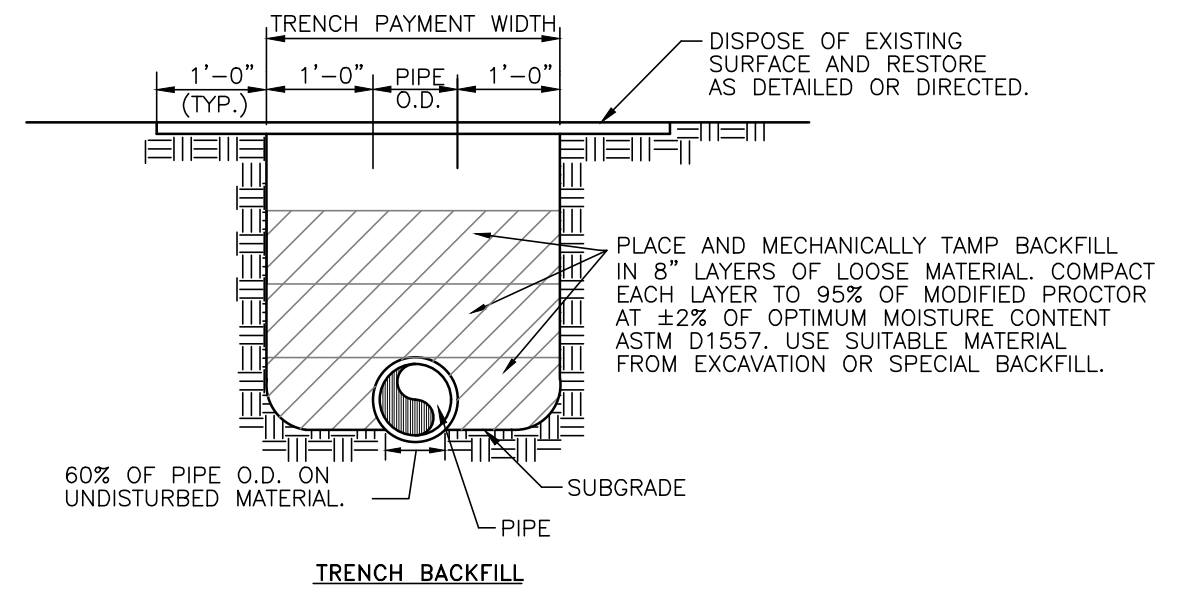
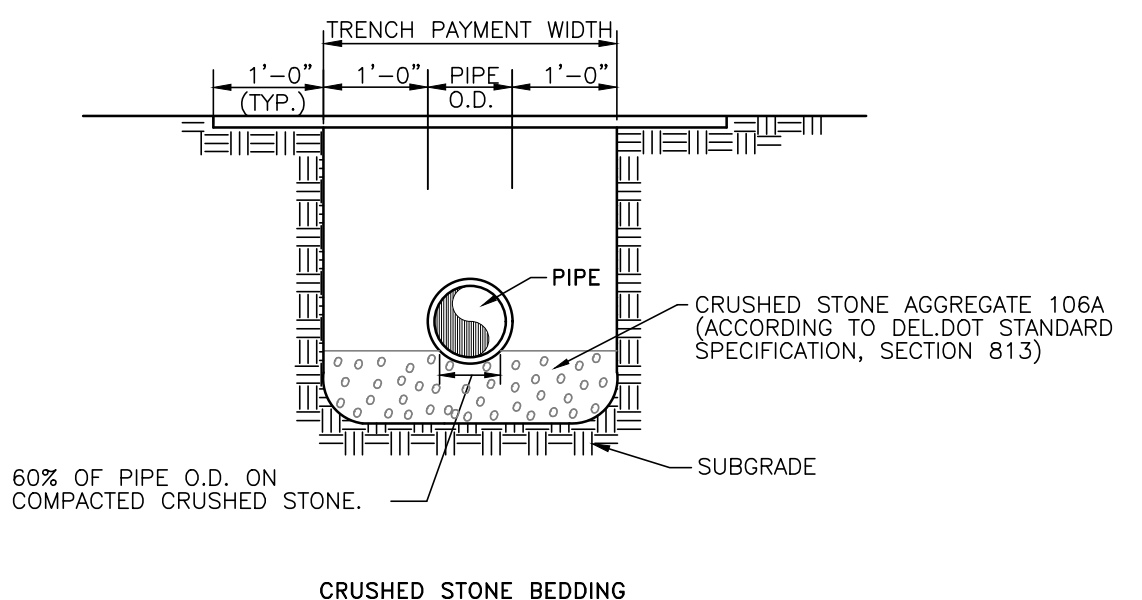
SURFACE CONCRETE PAD FOR VALVE BOXES (UNPAVED AREAS)
 NO SCALE



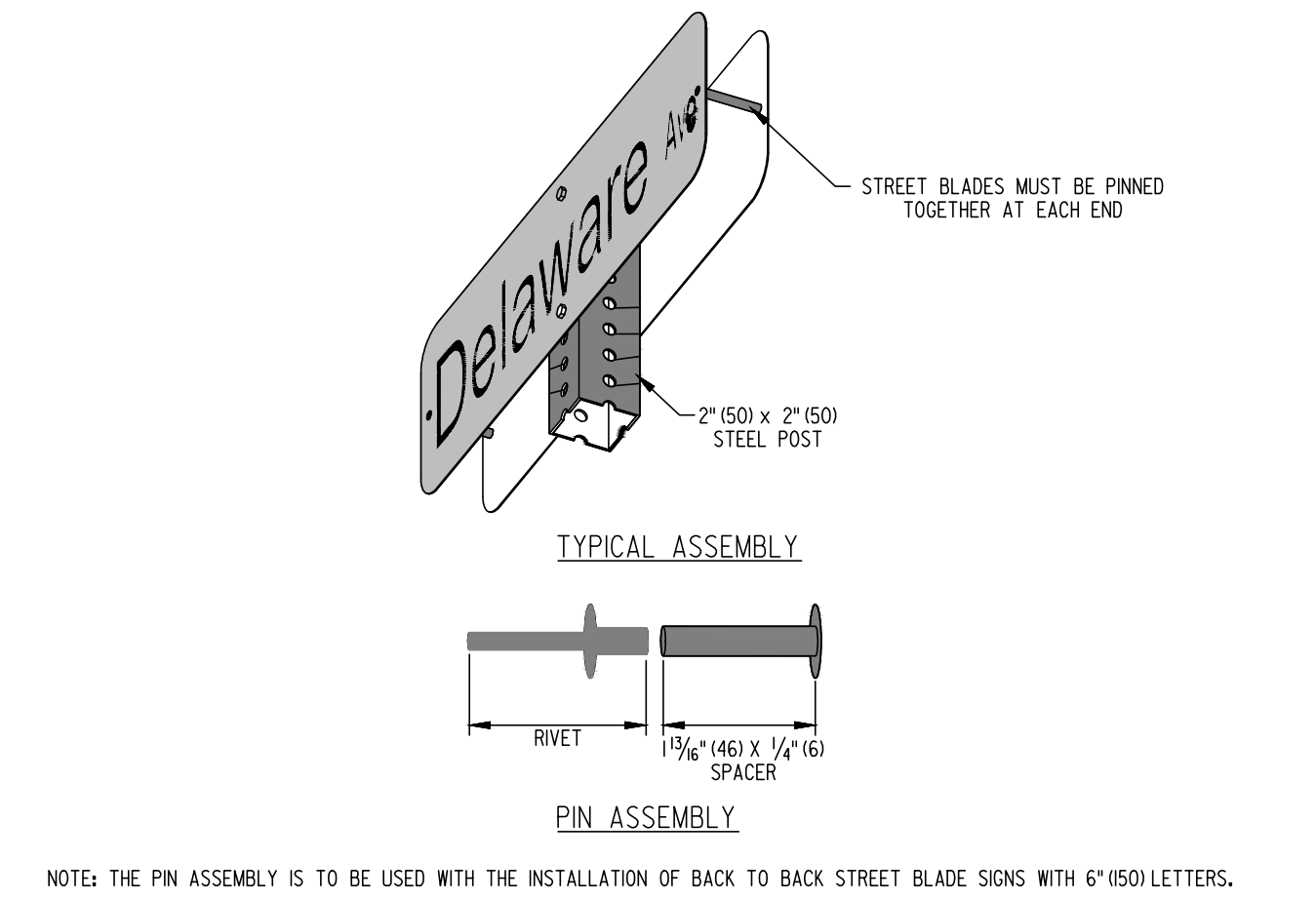
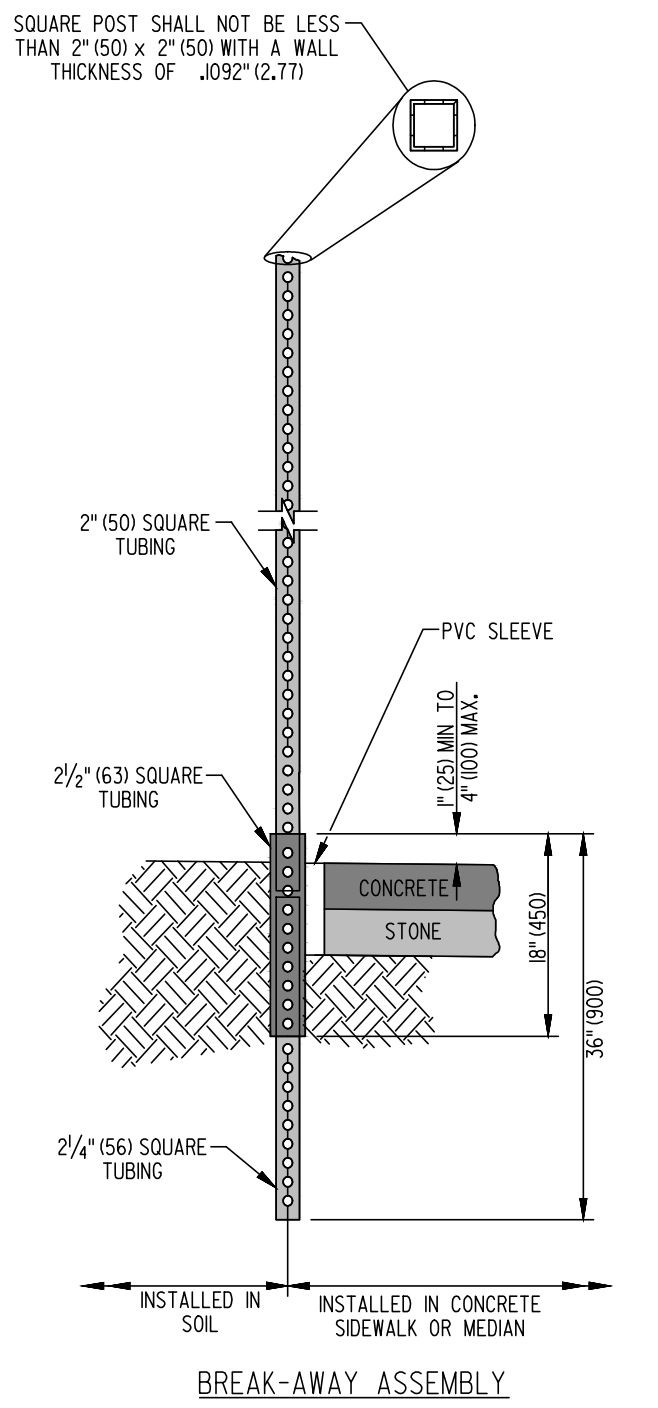
PRECAST CONCRETE WHEEL STOP
 NOT TO SCALE



P.C.C. CURB TYPE 1-6 DETAIL
 NO SCALE



TRENCH BACKFILL AND PIPE BEDDING DETAIL
 NOT TO SCALE

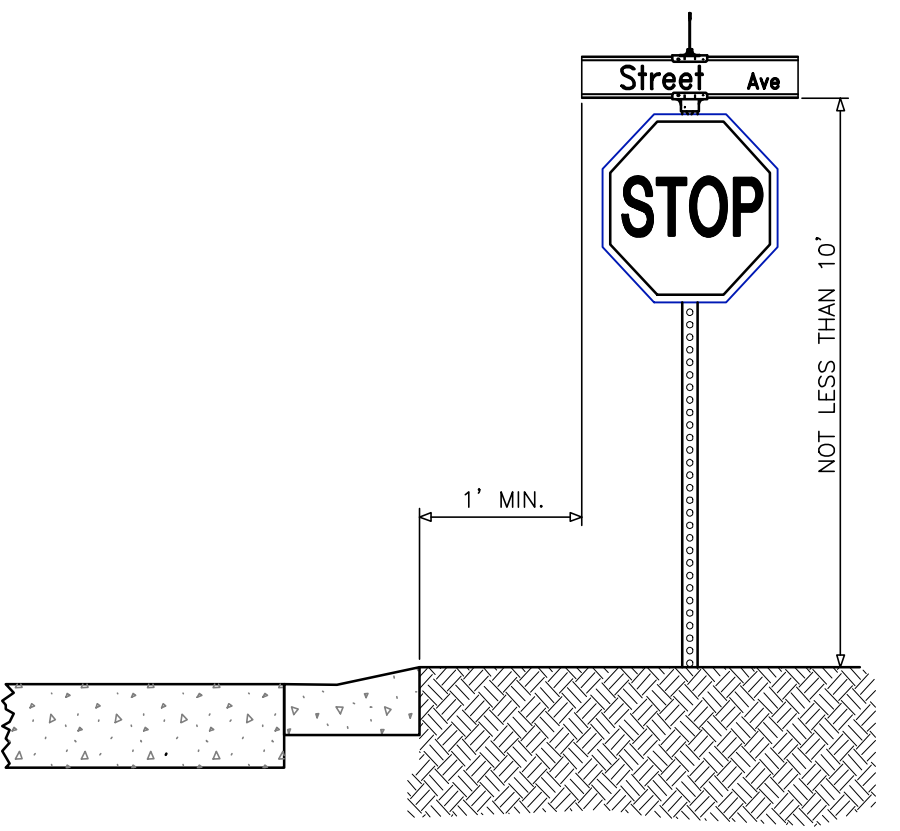


NOTES:
 1. SQUARE TUBES ARE TO BE FORMED FROM GALVANIZED SHEET STRUCTURAL (PHYSICAL) QUALITY, ASTM A 446, GRADE A, COATING DESIGNATION G 90, REGULAR SPANGLE, OR HOT ROLLED CARBON SHEET STEEL STRUCTURAL (PHYSICAL) QUALITY, ASTM A 57, GRADE 33.
 2. NOMINAL OUTSIDE DIMENSIONS ARE AS FOLLOWS:
 A. 2" (50) x 2" (50) +/- 0.008"
 2 1/2" (56) x 2 1/2" (56) +/- 0.010"
 2 1/4" (56) x 2 1/4" (56) +/- 0.010"
 3. ALL FOUR SIDES ARE TO HAVE EVENLY SPACED 3/16" (12) DIAMETER HOLES ON 1" (25) CENTERS THE ENTIRE LENGTH OF THE TUBE.
 4. STANDARD CORNER RADIUS SHALL BE 3/8" (4).
 5. THE FASTENERS SUPPLIED UNDER THIS SPECIFICATION SHALL BE 3/8" (8), GRADE 5 UNC CORNER BOLTS WITH CADMIUM OR ZINC PLATED. INSTALLATION OF SIGNS SHALL BE WITH 3/4" (10) x 2 1/2" (63) BOLT WITH LOCKNUT AND WASHER.
 6. THE CONTRACTOR SHALL PROVIDE AND INSTALL PVC SLEEVES (4" (100) INSIDE DIAMETER MINIMUM, 6" (150) INSIDE DIAMETER MAXIMUM) IN PROPOSED SIDEWALKS, ISLANDS, AND MEDIANS FOR FUTURE TRAFFIC SIGN POSTS AS DIRECTED BY THE ENGINEER. THE LOWER END OF THE SLEEVE SHALL BE SET ON TOP OF THE SOIL.

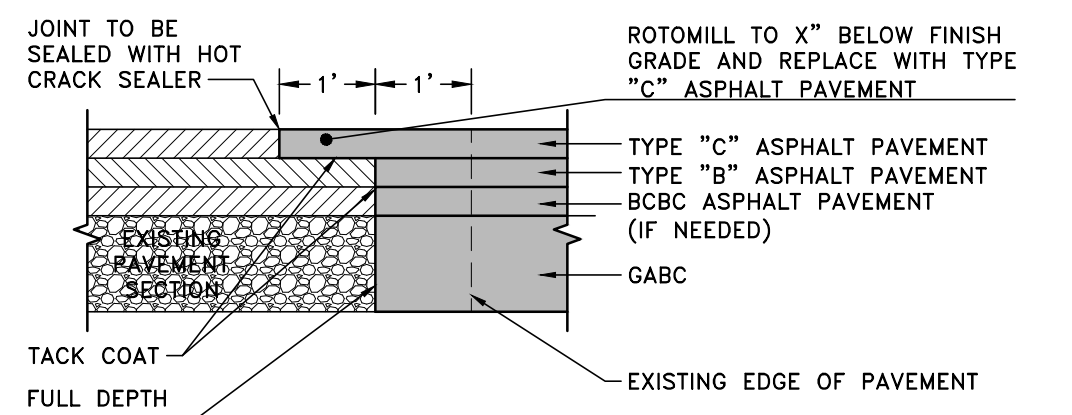
BREAKAWAY SIGN POST AND STREET BLADE DETAIL
 NOT TO SCALE



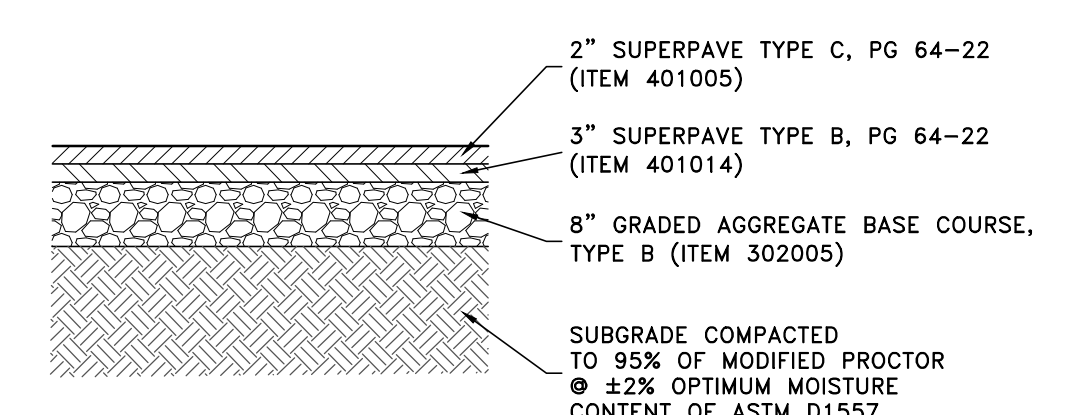
NOTE: ANY CHANGES TO STOP SIGN MUST BE APPROVED BY PUBLIC WORKS DEPARTMENT



TYPICAL SIGN INSTALLATION
 NOT TO SCALE



PAVEMENT TIE-IN DETAIL
 NO SCALE



PAVEMENT SECTION
 NO SCALE

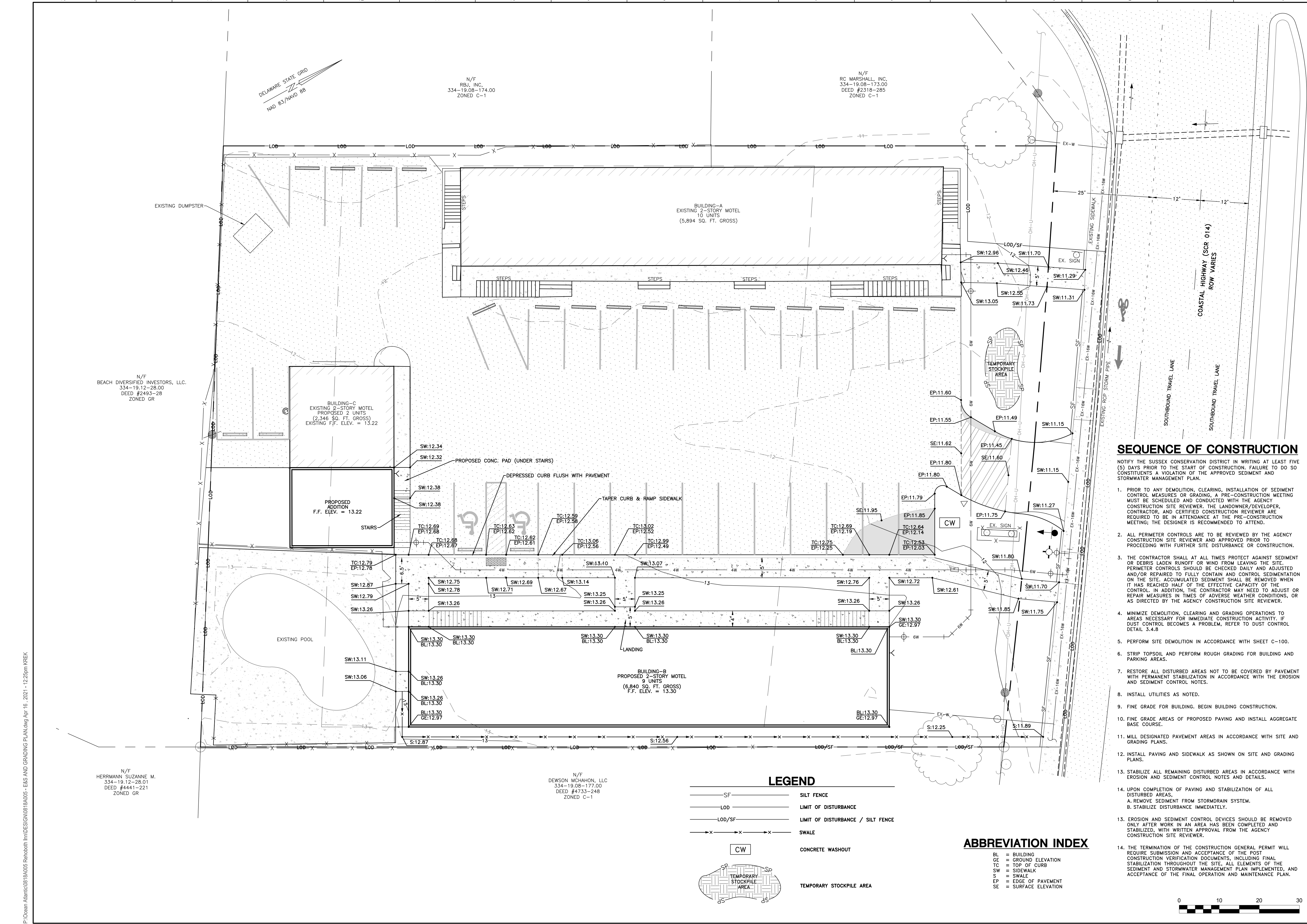
ARCHITECTS ENGINEERS SURVEYORS
 DAVIS, BOWEN & FRIEDEL, INC.
 1500 MARKET STREET
 WILMINGTON, DELAWARE 19801
 (302) 424-1411
 (302) 424-1411
 (410) 770-4744
 EASTON, MARYLAND

REHOBOTH INN
 LEWES - REHOBOTH HUNDRED
 SUSSEX COUNTY, DELAWARE

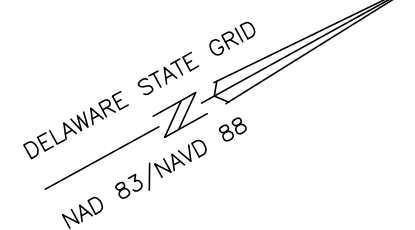
REVISED:
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Date: AUGUST, 2020
 Scale: NO SCALE
 Dwn.By: KJK
 Proj.No.: 0818A005
 Dwg.No.:

C-102



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N/F
RBJ, INC.
334-19.08-174.00
ZONED C-1

N/F
RC MARSHALL, INC.
334-19.08-173.00
DEED #2318-285
ZONED C-1

N/F
BEACH DIVERSIFIED INVESTORS, LLC.
334-19.12-28.00
DEED #2493-28
ZONED GR

N/F
HERRMANN SUZANNE M.
334-19.12-28.01
DEED #4441-221
ZONED GR

N/F
DEWSON MCHAHON, LLC
334-19.08-177.00
DEED #4733-248
ZONED C-1

SEQUENCE OF CONSTRUCTION

NOTIFY THE SUSSEX CONSERVATION DISTRICT IN WRITING AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.

- PRIOR TO ANY DEMOLITION, CLEARING, INSTALLATION OF SEDIMENT CONTROL MEASURES OR GRADING, A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED AND CONDUCTED WITH THE AGENCY, CONSTRUCTION SITE REVIEWER, THE LANDOWNER/DEVELOPER, CONTRACTOR, AND CERTIFIED CONSTRUCTION REVIEWER ARE REQUIRED TO BE IN ATTENDANCE AT THE PRE-CONSTRUCTION MEETING; THE DESIGNER IS RECOMMENDED TO ATTEND.
- ALL PERIMETER CONTROLS ARE TO BE REVIEWED BY THE AGENCY CONSTRUCTION SITE REVIEWER AND APPROVED PRIOR TO PROCEEDING WITH FURTHER SITE DISTURBANCE OR CONSTRUCTION.
- THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHOULD BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENTATION ON THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR REPAIR MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
- MINIMIZE DEMOLITION, CLEARING AND GRADING OPERATIONS TO AREAS NECESSARY FOR IMMEDIATE CONSTRUCTION ACTIVITY. IF DUST CONTROL BECOMES A PROBLEM, REFER TO DUST CONTROL DETAIL 3.4.8
- PERFORM SITE DEMOLITION IN ACCORDANCE WITH SHEET C-100.
- STRIP TOPSOIL AND PERFORM ROUGH GRADING FOR BUILDING AND PARKING AREAS.
- RESTORE ALL DISTURBED AREAS NOT TO BE COVERED BY PAVEMENT WITH PERMANENT STABILIZATION IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL NOTES.
- INSTALL UTILITIES AS NOTED.
- FINE GRADE FOR BUILDING. BEGIN BUILDING CONSTRUCTION.
- FINE GRADE AREAS OF PROPOSED PAVING AND INSTALL AGGREGATE BASE COURSE.
- MILL DESIGNATED PAVEMENT AREAS IN ACCORDANCE WITH SITE AND GRADING PLANS.
- INSTALL PAVING AND SIDEWALK AS SHOWN ON SITE AND GRADING PLANS.
- STABILIZE ALL REMAINING DISTURBED AREAS IN ACCORDANCE WITH EROSION AND SEDIMENT CONTROL NOTES AND DETAILS.
- UPON COMPLETION OF PAVING AND STABILIZATION OF ALL DISTURBED AREAS,
 - REMOVE SEDIMENT FROM STORMDRAIN SYSTEM.
 - STABILIZE DISTURBANCE IMMEDIATELY.
- EROSION AND SEDIMENT CONTROL DEVICES SHOULD BE REMOVED ONLY AFTER WORK IN AN AREA HAS BEEN COMPLETED AND STABILIZED, WITH WRITTEN APPROVAL FROM THE AGENCY CONSTRUCTION SITE REVIEWER.
- THE TERMINATION OF THE CONSTRUCTION GENERAL PERMIT WILL REQUIRE SUBMISSION AND ACCEPTANCE OF THE POST CONSTRUCTION VERIFICATION DOCUMENTS, INCLUDING FINAL STABILIZATION THROUGHOUT THE SITE, ALL ELEMENTS OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN IMPLEMENTED, AND ACCEPTANCE OF THE FINAL OPERATION AND MAINTENANCE PLAN.

LEGEND

- SF — SILT FENCE
- LOD — LIMIT OF DISTURBANCE
- LOD/SF — LIMIT OF DISTURBANCE / SILT FENCE
- S — SWALE
- CW — CONCRETE WASHOUT
- [Pattern] — TEMPORARY STOCKPILE AREA

ABBREVIATION INDEX

- BL = BUILDING
- GE = GROUND ELEVATION
- TC = TOP OF CURB
- SW = SIDEWALK
- S = SWALE
- E = EDGE OF PAVEMENT
- SE = SURFACE ELEVATION

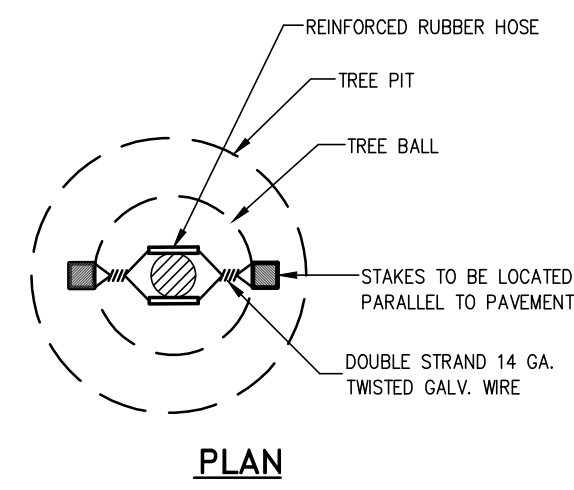
ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
 1000 N. MARKET STREET
 WILMINGTON, DELAWARE 19801
 (302) 424-1441
 (410) 770-4744

REHOBOTH INN
LEWES - REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

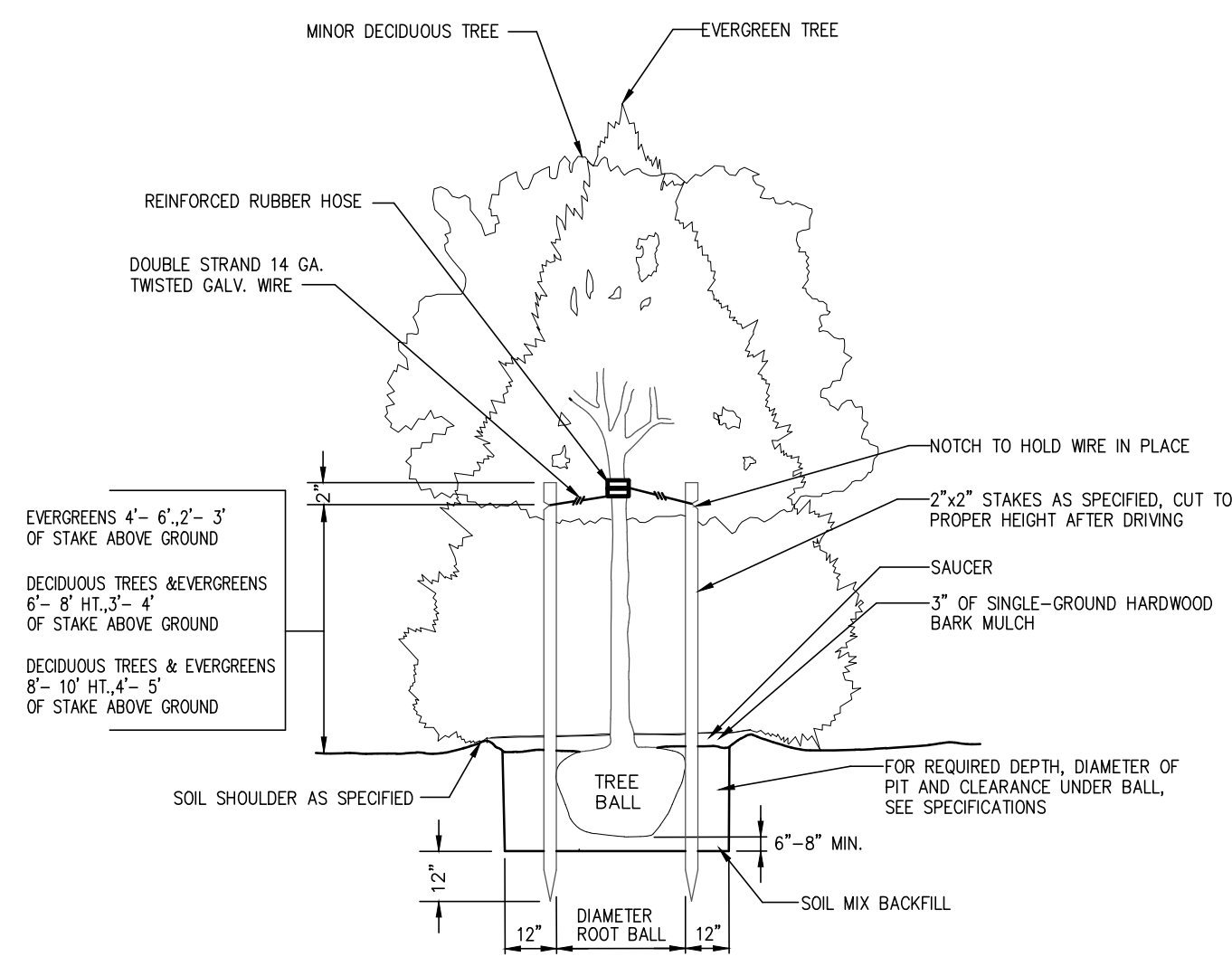
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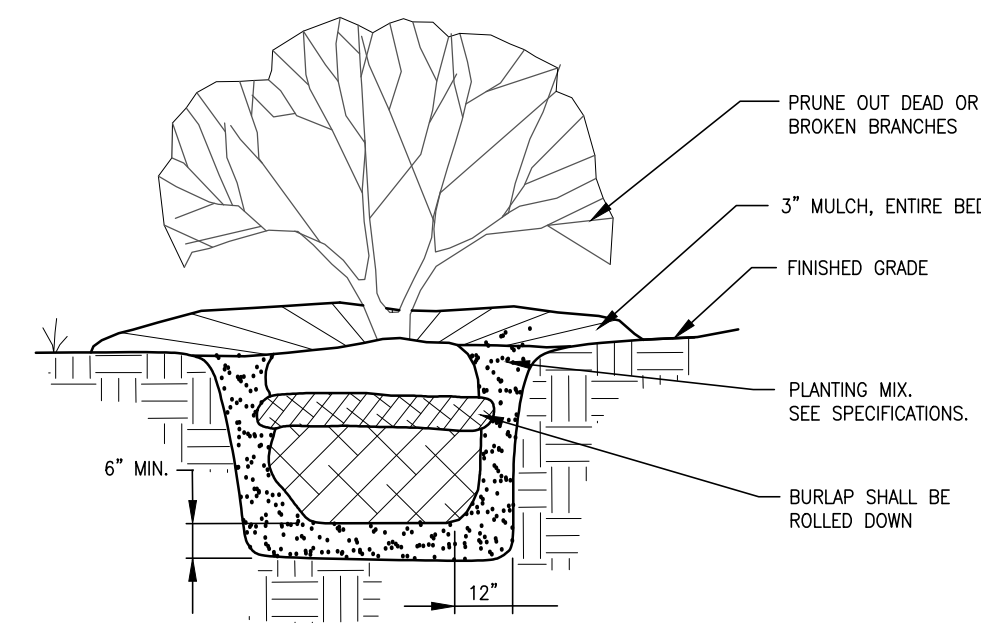
C-400



PLAN



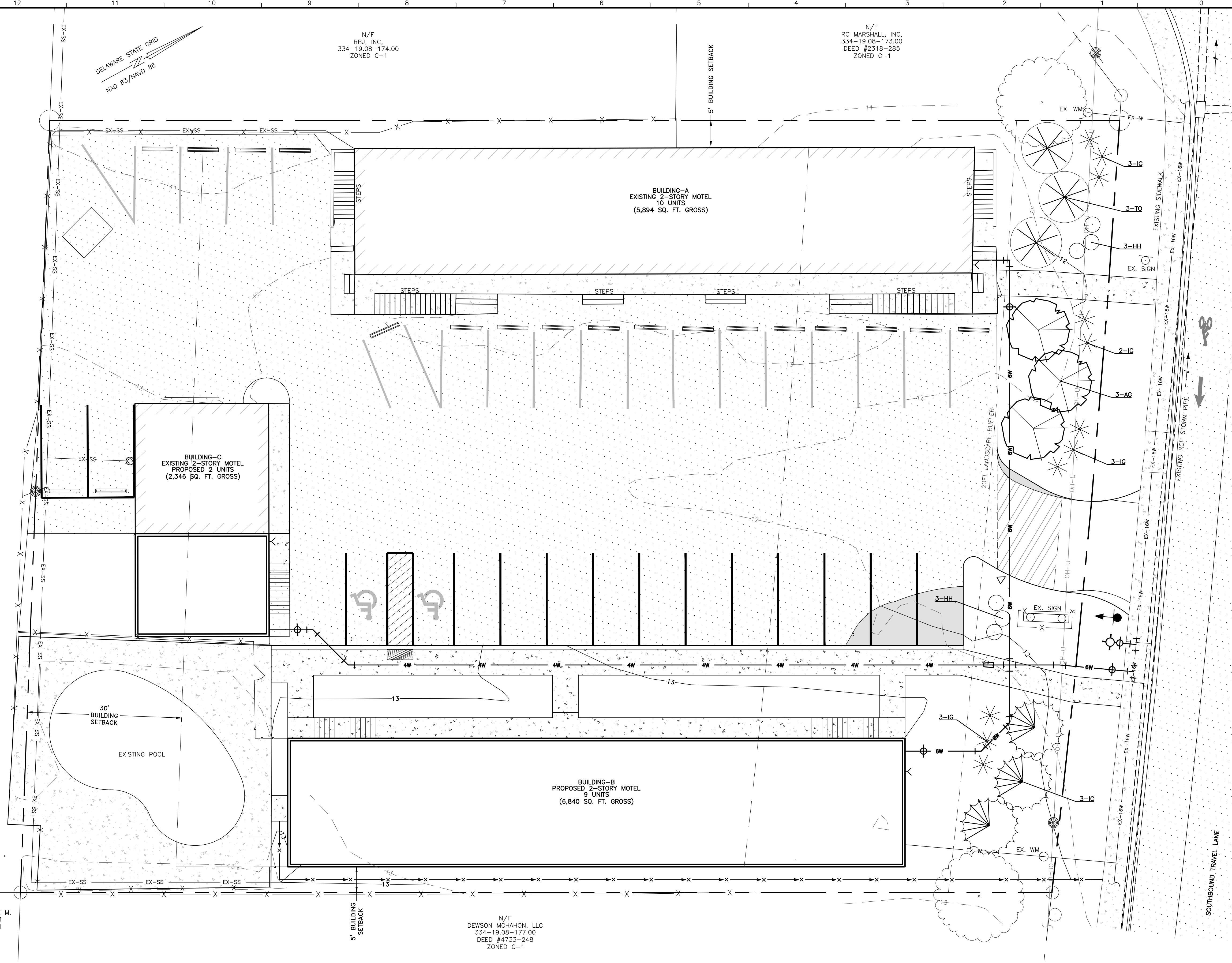
SECTION
STAKING DETAIL
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE

GENERAL LANDSCAPE NOTES

1. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF ROOT BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK".
2. CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR AFTER INSTALLATION IS COMPLETE AND FINAL ACCEPTANCE OF PHASE I SITE WORK HAS BEEN GIVEN. AT THE END OF ONE YEAR ALL PLANT MATERIAL WHICH IS DEAD OR DYING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AS ORIGINALLY SPECIFIED.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
4. NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER.
5. ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED (SEE EROSION & SEDIMENT CONTROL PLAN).
6. EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
7. ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 7"-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STAKING DETAIL SHOWN.
8. THE FULL EXTENT OF ALL PLANTING BEDS SHALL RECEIVE 4" OF TOPSOIL AND 3" OF SHREDDED HARDWOOD MULCH PER SPECIFICATIONS.
9. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
10. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
11. THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.
12. TREE PROTECTION SHALL BE USED FOR ALL EXISTING TREES TO REMAIN.
13. DURING CONSTRUCTION EXISTING TREES TO BE SAVED WHERE FEASIBLE.



LANDSCAPE PLANT SCHEDULE					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
DECIDUOUS TREES					
	AG	AMELANCHIER x GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	3'-4', B&B	3
EVERGREEN TREES					
	IC	ILEX cornuta 'NEEDLEPOINT'	NEEDLEPOINT HOLLY	4'-5' HT., B&B	3
	TO	THUJA occidentalis 'TECHNY'	TECHNY ARBORVITAE	4'-5' HT., B&B	3
DECIDUOUS SHRUBS					
	HH	HYPERICUM patulum 'HIDCOTE'	HIDCOTE HYPERICUM	12"-15", Cont.	6
EVERGREEN SHRUBS					
	IG	ILEX glabra 'SHAMROCK'	SHAMROCK INKBERRY	18"-24", Cont.	11

LANDSCAPE ARCHITECT'S STATEMENT

I, TIMOTHY M. METZNER, HEREBY STATE THAT I AM A REGISTERED LANDSCAPE ARCHITECT IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVIS, BOWEN & FRIEDEL, INC. DATE
by TIMOTHY M. METZNER.



ARCHITECTS ENGINEERS SURVEYORS
CALVERT, MARYLAND (410) 653-8888
MILFORD, DELAWARE (302) 424-1441
EASTON, MARYLAND (410) 770-4744

ARCHITECTS
DAVIS, BOWEN & FRIEDEL, INC.
LANDSCAPE PLAN

REHOBOTH INN
LEWES - REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

REVISED:
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Date: AUGUST, 2020
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Dwn. By: KJK
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Dwg. No.:

L-100



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

August 27, 2020

Mr. Greg Tobias
SB North LLC
20184 Phillips Street
Rehoboth Beach, Delaware 19971

SUBJECT: Authorization to Apply for a Permit for Entrance Construction
Rehoboth Inn
Tax Parcel # 334-19.08-176.00
Coastal Highway (SCR 014)
Lewes & Rehoboth Hundred, Sussex

Dear Mr. Greg Tobias:

The Delaware Department of Transportation (DelDOT) has reviewed your request, dated June 19, 2020, to obtain a Letter of No Contention (LONC) to use an existing commercial building and site entrance for the above referenced project. In coordination with the South District Public Works Office we have determined that your project will require some modifications or enhancements to meet current regulatory requirements. We have therefore determined that this project is eligible to obtain a Permit for Entrance Construction (PEC) to make these modifications. The PEC will include a list of items that must be addressed, as well as requirements for bonding to perform work, where needed, within the State of Delaware right-of-way (ROW). This approval shall be valid for a period of **one (1) year**.

Please note: Your Permit for Entrance Construction must be obtained from the South District Public Works Office, before you can start any construction.

The following conditions are provided with this response letter, according to the site plan signed and sealed August 5, 2020:

- 1) Site shall have access from the existing entrance located on Coastal Highway (SCR 014).
- 2) Only the modifications/construction or traffic pattern changes that are itemized and authorized under the PEC will be permitted. Please coordinate with the DelDOT Public Works Office regarding the scope, location and limits of the following items, as well any other items listed in the PEC:
 - a) Internal Sidewalk connections according to DelDOT's Standard Construction Detail, M-3
 - b) Widening of existing entrance to an 18' entrance throat utilizing a pavement section of 2" type C (item 401005), 3" type B (item 401014), and 8" GABC (item 302005). Any full depth

pavement construction shall be squared off. Remaining portions of the entrance is to be milled and overlaid.

- 3) DeIDOT reserves the right to review, modify or revoke this authorization letter and PEC and require additional entrance upgrades in the future if proposed activities create traffic conflicts, safety concerns or operational issues.
- 4) The property owner is responsible to:
 - a. Submit information to DeIDOT, regarding any future operational or site changes, (including but not limited to: rezoning, site layout changes, changes in use, entrance modifications, expanded/additional uses, new uses, etc.). Changes of this nature may alter the flow and/or volume of traffic and could require a new PEC, LONC or formal review for Approvals and/or Permits.
 - b. Establish and maintain clear sight lines at the entrance. There shall be no placement of structures, signs, objects, items for sale or parking of vehicles within State ROW or entrance limits. Shrubbery, Plantings, trees and/or other visual barriers that could obstruct the sight distance of a driver preparing to enter the roadway are prohibited.
- 5) The property owner and applicant are responsible to coordinate with DeIDOT Outdoor Advertising & Roadside Control at (302) 853-1327, for information on obtaining specific permits for sign installation on private property. Permits for Utilities construction within State right-of-way require separate permit applications please contact DeIDOT's South District at (302) 853-1345.

The Department would like to thank you for your submittal.

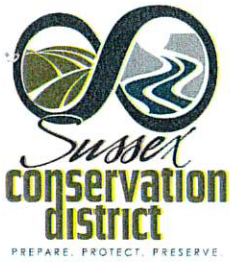
Please contact the South District Public Works Office at (302) 853-1340, for their assistance in obtaining the PEC. No construction or modification listed under Item 2 is allowed in advance of the DeIDOT Public Works Office issuance of the Permit for Entrance Construction.

Sincerely,



Susanne K. Laws
Sussex County Review Coordinator,
Development Coordination

cc: Zac Crouch, Davis, Bowen & Friedel, Inc.
Jamie Whitehouse, Sussex County Planning & Zoning Commission
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Gemez Norwood, South District Public Works manager
William Kirsch, South District Entrance Permit Supervisor
James Argo, South District Project Reviewer
Wendy L. Polasko, Subdivision Engineer
Brian Yates, Sussex County Reviewer



Sussex Conservation District
23181 Shortly Road
Georgetown, DE 19947
302-856-2105

<https://www.sussexconservation.org>

APPLICATION FOR STANDARD PLAN APPROVAL
**NON-RESIDENTIAL CONSTRUCTION WITH
LESS THAN 1.0 ACRE DISTURBED**

Applicability Criteria

1. The disturbed area for construction of the improvements will not exceed 1.0 acre.
2. Within the disturbed area, the pre-development land use is not classified as forest.
3. For project site locations within an area previously managed for stormwater quantity and quality under an approved Sediment and Stormwater Plan, the post construction condition meets the original stormwater design criteria.
4. For project site locations within an area previously unmanaged for stormwater quantity and quality under an approved Sediment and Stormwater Plan, one of the following is met:
 - a. Comparison of the existing parcel curved number (CN) based upon the Department's 2017 aerial photography to the proposed CN for the parcel after non-residential construction results in less than one whole number change in the CN, OR
 - b. No new impervious area is proposed as a result of construction.

Site Information

Project Name: Rehoboth Inn
 Site Location: 20494 Coastal Hwy, Rehoboth Beach, DE
 Previous Plan Name: N/A
 Previous Plan Approval Number: N/A
 Tax Parcel ID: 334-19.08-176.00

Parcel Total Acres (nearest 0.1ac): +/- 0.706 Ac.
 Disturbed Acres (nearest 0.1ac): +/- 0.758 Ac.
 Proposed Impervious Area (square feet): 25,789s.f. (Total)
 Wooded area to be cleared: 0
 Pre CN: 90 Post CN: 90

Applicant Information

Owner: Rehoboth Inn JK, LLC
 Mailing Address: 20184 Phillips St.
Rehoboth Beach, DE 19971
 Owner Phone: 302-226-1994
 Owner Email: greg@oacompanies.com

Applicant: W. Zachary Crouch, P.E.
 Mailing Address: 1 Park Avenue, Milford, DE 19963
 Applicant Phone: 302-424-1441
 Applicant Email: WZC@dbfinc.com

Approval Information (for office use only)

Approval # 2020-1173 Fee Paid: \$ 500.00
 Approved by: [Signature] Approval Date: 10/30/20
 Title: Program Manager Expiration Date: 10/30/25

SEP - 8 2020

Standard Conditions

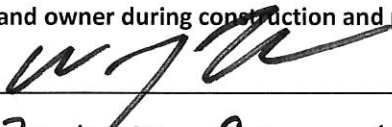
1. Discharges from rooftops will be disconnected using one of the following methods or another method approved by the Department or Delegated Agency:
 - a. Individual downspouts will discharge to lawn or landscape area.
 - b. Discharges from downspouts will be collected to discharge to a rain garden.
 - c. Discharges from downspouts will be collected in rain barrels or cisterns for reuse.
2. Driveways, sidewalks, patios, and other impervious surfaces will be graded to sheet flow to lawn or other pervious areas to the maximum extent practicable.
3. Unless waived in writing by the Department or Delegated Agency a construction site stormwater management plan in accordance with Department or Delegated Agency guidance for this Standard Plan shall be followed. The attached checklist has been developed to serve as guidance for preparing the construction site stormwater management plan.
4. Approval of this Standard Plan does not relieve the applicant from complying with any and all federal, state, county or municipal laws and regulations.

Stabilization Conditions

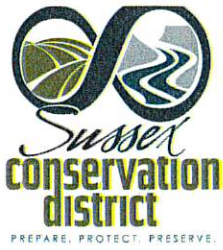
1. Following initial soil disturbance or redisturbance, temporary or permanent stabilization with seed and mulch shall be completed within 14 calendar days to the surface of all disturbed areas not actively under construction.
2. Specific stabilization recommendations may be found in the Delaware Erosion and Sediment Control Handbook, 3.4.3 Standard and Specifications for Vegetative Stabilization.

Applicant Certification

I, the undersigned, certify that the information supplied on this Application for Standard Plan Approval is accurate, the proposed land disturbing activity meets the criteria established, and all conditions of this Standard Plan Approval will be met by the applicant, builder, contractor, and owner during construction and post construction.

Applicant Signature:  Date: 9.4.2020
Applicant Printed Name: W. ZACHARY CROUCH Title: Princ. pac

*****THIS STANDARD PLAN APPLICATION FORM MUST BE MAINTAINED ON THE SITE AT ALL TIMES DURING CONSTRUCTION*****



Sussex Conservation District
23181 Shortly Road
Georgetown, DE 19947
302-856-2105

<https://www.sussexconservation.org>

Standard Plan for Non-Residential Construction <1.0 acre Disturbed Plan Review Checklist

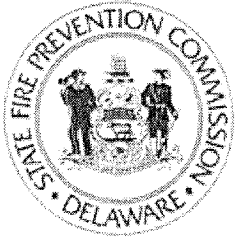
DATE RECEIVED: _____ PROJECT NUMBER: 0818A005
PROJECT NAME: Rehoboth Inn

- Scale bar
- Legend
- Parcel information, including the following:
 - Site address or location
 - Tax parcel ID
 - Parcel size in acres
 - Wetland delineation line, if applicable
 - Floodplain line, if applicable
 - Tax ditch rights-of-way, if applicable
 - Building setback line, if applicable
 - Any other easements or rights-of-way, if applicable
- Project information, including the following:
 - Estimated disturbed area
 - Existing and proposed grading
 - Existing and proposed pervious and impervious area
 - Construction sequence, including notification, construction of perimeter controls, and vegetative stabilization.
 - Construction site stormwater BMP standard details, including construction site waste management and spill control and concrete washout
 - Vegetated stabilization requirements
- Owner contact information
- Signed owner certification as follows: "I, the undersigned, certify that all land clearing, construction and development shall be done pursuant to the approved standard plan and that responsible personnel (i.e., Blue Card Holder) involved in the land disturbance will have a Certification of Training prior to initiation of the project, at a DNREC sponsored or approved training course for the control of erosion and sediment during construction. In addition, I grant the DNREC Sediment and Stormwater Program and/or the relevant Delegated Agency the right to conduct on-site reviews."

Standard Plan for Non-Residential Construction <1.0 acre Disturbed

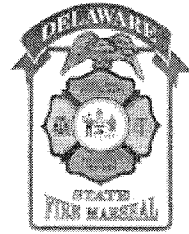
Plan Review Checklist

- General notes
 - The DNREC Sediment and Stormwater Program (or Delegated Agency) shall be notified in writing 5 days prior to commencing with construction. Failure to do so constitutes a violation of the approved Sediment and Stormwater Management Plan.
 - Review and/or approval of the Sediment and Stormwater Management Plan shall not relieve the contractor from his or her responsibilities for compliance with the requirements of the Delaware Sediment and Stormwater Regulations, nor shall it relieve the contractor from errors or omissions in the approved plan.
 - If the approved plan needs to be modified, additional sediment and stormwater control measures may be required as deemed necessary by DNREC or the Delegated Agency.
 - Following soil disturbance or redisturbance, permanent or temporary stabilization shall be completed for all perimeter sediment controls, soil stockpiles, and all other disturbed or graded areas on the project site within 14 calendar days unless more restrictive Federal requirements apply.
 - All erosion and sediment control practices shall comply with the Delaware Erosion and Sediment Control Handbook, latest edition.
 - At any time a dewatering operation is used, it shall be previously approved by the Agency Construction Site Reviewer for a non-erosive point of discharge, and a dewatering permit should be approved by the DNREC Well Permitting Branch.
 - Approval of a Sediment and Stormwater Management Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.
 - The contractor shall at all times protect against sediment or debris laden runoff or wind from leaving the site. Perimeter controls shall be checked daily and adjusted or repaired to fully contain and control sediment from leaving the site. Accumulated sediment shall be removed when it has reached half of the effective capacity of the control. In addition, the contractor may need to adjust or alter measures in times of adverse weather conditions, or as directed by the Agency Construction Site Reviewer.
 - Best available technology (BAT) shall be employed to manage turbid discharges in accordance with requirements of 7. Del C. Ch 60, Regulations Governing the Control of Water Pollution, Section 9.1.02, known as Special Conditions for Stormwater Discharges Associated with Construction Activities, and DNREC policies, procedures, and guidance.



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2020-04-204756-MJS-02

Tax Parcel Number: 334-19.08-176.00

Status: Approved as Submitted

Date: 10/29/2020

Project

Rehoboth Inn BLDG B & BLDG C

20494 Coastal Hwy
Rehoboth Beach DE 19971

Rehoboth Inn Motel Property

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 86 - Rehoboth Beach Vol Fire Co

Occupant Load Inside:

Occupancy Code: 9605

Applicant

W. Zachary Crouch
1 Park Avenue
Milford, DE 19963

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:

Duane Fox
Fire Protection Specialist III

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2020-04-204756-MJS-02

Tax Parcel Number: 334-19.08-176.00

Status: Approved as Submitted

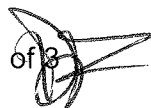
Date: 10/29/2020

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1040 A** This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 1,000 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 800' on center.
- 1000** The site plans have been approved as submitted. The Office of DE State Fire Marshal has no objection to recordation.
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1190 A** Separate plan submittal is required for the building(s) proposed for this project.
- 2710 A** The following items will be field verified by this Agency at the time of final inspection:
- 1130 A** Provide a water flow test on the subdivision hydrant(s) once they have been installed, and before they are placed into service (DSFPR Part I, Section 4 4.2 and Part III, Chapter 3). Results are to be forwarded to this Agency for review.
- 1132 A** Fire hydrants shall be color coded in accordance with the DSFPR, Part III, Section 3 4. This includes both color coding the bonnet and 2" reflective tape around the barrel under the top flange.



- 1232 A** All threads provided for fire department connections, to sprinkler systems, standpipes, yard hydrants or any other fire hose connections shall be uniform to those used by the fire department in whose district they are located. DSFPR Part III, Section 1.1.5.1.
- 1332 A** The distance between a fire hydrant and the fire lane shall not be greater than seven feet (DSFPR Part V, Chapter 5, Section 5 10.4).
- 1432 A** The steamer connection of all fire hydrants shall be so positioned so as to be facing the street or fire lane. (DSFPR Regulation 705, Chapter 5, Section 10). The center of all hose outlet(s) on fire hydrants shall be not less than 18 inches above final grade (NFPA 24, Section 7.3.3).
- 1092 A** Perimeter Access is that portion of the building that is accessible by emergency services personnel and is within 100 feet of a street and capable of supporting fire ground operations. (DSFPR Regulation 705, Chapter 5, Section 1.4.1). Perimeter Access minimum width shall be 15 feet measured from the face of the building at grade with a maximum slope of ten percent (10%). Plantings and utility services (includes condenser units, transformers, etc.) shall be permitted within the perimeter access, provided they do not interfere with the emergency services fire ground operations. (DSFPR Regulation 705, Chapter 5, Sections 3.5 and 4.5). If a physical barrier (fence, pond, steep slope, etc) prevents access, that portion of the building perimeter shall not be included in the calculation of Percent of Perimeter Access. (DSFPR Regulation 705, Chapter 5, Sections 3.5.1 and 4.5.1).
- 1199 A** The fire department connection shall be located per the site plan as approved by this Agency. This will be field verified at the final inspection. Noncompliance may cause a delay in approval for Certificate of Occupancy.
- 1501 A** If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.



THE STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION

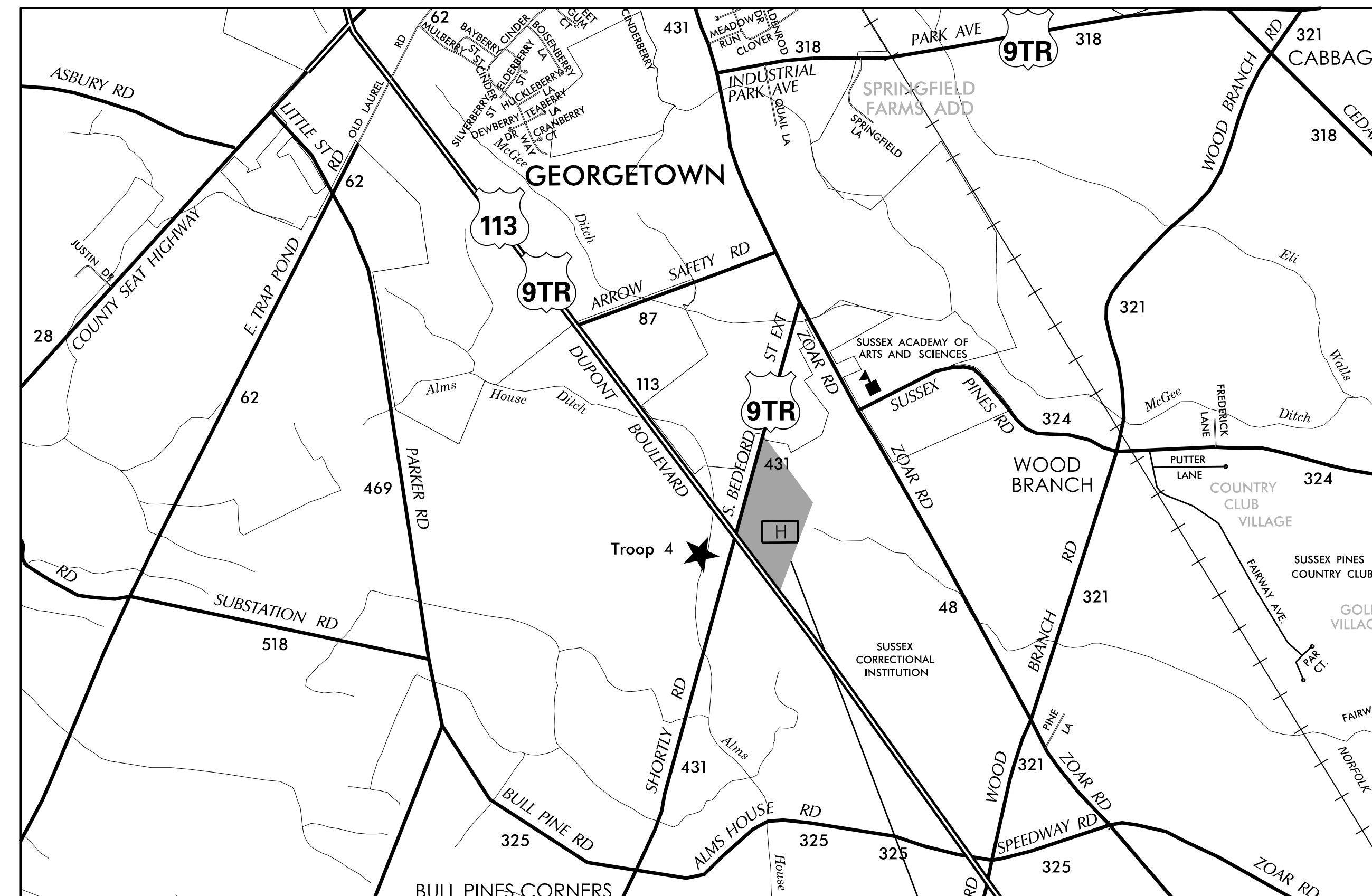
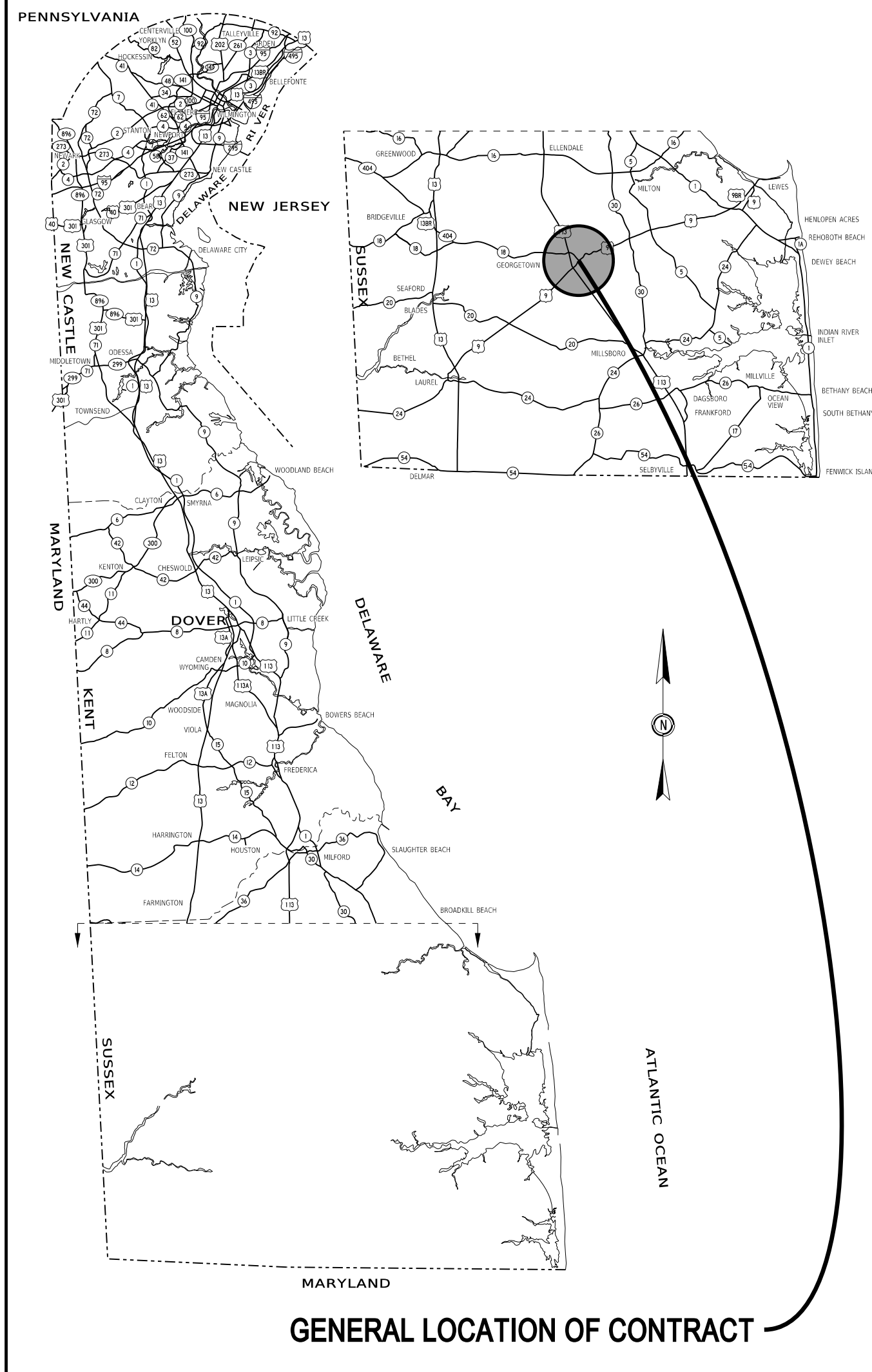
U.S. CUSTOMARY
UNITS



CONSTRUCTION PLANS FOR:

GEORGETOWN ADMINISTRATION BUILDING RENOVATION/EXPANSION

CONTRACT NUMBER: T202180102
COUNTY: SUSSEX



LOCATION MAP
SCALE: NTS

PROJECT SITE

INDEX OF SHEETS	
SHEET NO.:	TITLE
1	TITLE SHEET
2	LEGEND
3	PRELIMINARY SITE PLAN

ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY APPLICABLE LAWS OF THE STATE OF DELAWARE.

MATTHEW GOUDY
110 SOUTH POPLAR STREET, SUITE 102
WILMINGTON, DE 19801
(302) 468-4874

SIGNATURE: _____ DATE: _____

OWNER'S CERTIFICATION:

I HEREBY CERTIFY THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN DEVELOPED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE: _____ DATE: _____

PREPARED BY
THE CONSULTING FIRM OF



RUMMEL, KLEPPER & KAHL, LLP
CONSULTING ENGINEERS
110 SOUTH POPLAR STREET
SUITE 102
WILMINGTON, DE 19801

PROJECT MANAGER _____ DATE: 05/13/2021

PREPARED FOR:
DELAWARE DEPARTMENT OF TRANSPORTATION
23897 DUPONT BOULEVARD
GEORGETOWN, DE 19947

PHONE: 302-853-1300

DATE: MAY 13, 2021

13-MAY-2021 12:07 \\barsrv06w2010181225_DTC19101Task 6 - DelDOT Admin Building FD\CADD\ContractPlans\lg01_Growth.dgn

MANMADE ROADSIDE FEATURES			
FEATURE DESCRIPTION	EXISTING	PROPOSED	ID
BOLLARD - STEEL POLE			
BOLLARD - WOOD POST			
CURB, TYPE 1 AND TYPE 3			
CURB, TYPE 2	CURB, TYPE "X"		
CURB & GUTTER, TYPE 1			
CURB & GUTTER, TYPE 2			
CURB & GUTTER, TYPE 3	C&G, TYPE "X"		
CURB OPENING - SUMP / ON GRADE			
CURB OPENING WITH SIDEWALK			
FENCE - CHAINLINK OR STRANDED			
FENCE - STOCKADE OR SPLIT RAIL			
FLAG POLE	F.P.		
GUARDRAIL - STEEL BEAM, TYPE 1			
GUARDRAIL - STEEL BEAM, TYPE 2			
GUARDRAIL - STEEL BEAM, TYPE 3			
GUARDRAIL - WIRE ROPE			
GUARDRAIL - END ANCHORAGE			
GUARDRAIL - END TREATMENT, TYPE 1			
GUARDRAIL - END TREATMENT, TYPE 2			
GUARDRAIL - END TREATMENT, TYPE 3			
GUARDRAIL - IMPACT ATTENUATOR			
LAMP AND POST - RESIDENTIAL	LAMP 		
MAILBOX	MB 		
PARKING METER AND POST	P.M. 		
PAVEMENT - FLEXIBLE			
PAVEMENT - RIGID			
PILE - BRIDGE			
PILLAR OR MISCELLANEOUS POST			
TRAFFIC SIGN AND POST			
WALL - BRICK OR BLOCK			
WALL - STONE			

DRAINAGE FEATURES			
FEATURE DESCRIPTION	EXISTING	PROPOSED	ID
BIOFILTRATION SWALE			
DITCH OR STREAM CENTERLINE			
DIRECTIONAL STREAM FLOW ARROW			
DRAINAGE INLET	C.B. 	D.I. 	
DRAINAGE JUNCTION BOX	J.B. 		
DRAINAGE MANHOLE			
DRAINAGE PIPE AND FLOW ARROW	SIZE/TYPE LABEL 		
DRAINAGE PIPE HEADWALL			
FLARED END SECTION			
RIPRAP - AREA FEATURE			
RIPRAP - LINEAR FEATURE			
SAFETY END SECTION			
UNDERDRAIN			
UNDERDRAIN OUTLET			

UTILITY FEATURES		
FEATURE DESCRIPTION	EXISTING	PROPOSED
CABLE TV DISTRIBUTION BOX		
COMMUNICATIONS - UNDERGROUND		
ELECTRIC - UNDERGROUND		
ELECTRIC MANHOLE		
ELECTRIC METER		
ELECTRIC TRANSFORMER		
GAS - UNDERGROUND		
GAS MANHOLE		
GAS METER	G.M. 	
GAS VALVE	G.V. 	
GAS PUMP - SERVICE STATION	G.P. 	
IRRIGATION - UNDERGROUND		
ITMS - UNDERGROUND		
LIGHTING - UNDERGROUND		
LUMINAIRE - POLE MOUNTED		
MANHOLE - UNDETERMINED OWNER		
RAILROAD TRACKS		
SANITARY - UNDERGROUND		
SANITARY SEWER MANHOLE		
SANITARY SEWER VALVE	S.V. 	
SANITARY SEWER CLEANOUT OR VENT	S.C.O. 	
SEPTIC DRAIN FIELD	S.D.F. 	
SIGNALIZATION - UNDERGROUND		
SOIL BORING LOCATION		
TELEPHONE BOOTH		
TELEPHONE MANHOLE		
TELEPHONE TEST POINT		
TRAFFIC - CONDUIT JUNCTION WELL	J.W. 	
TRAFFIC - LIGHT POLE AND BASE		
TRAFFIC - PEDESTRIAN POLE & BASE		
TRAFFIC - SIGNAL CABINET & BASE		
TRAFFIC - SIGNAL POLE AND BASE		
UTILITY BOX		
UTILITY POLE GUY WIRE ANCHOR		
UTILITY POLE		
UTILITY TEST HOLE LOCATION		
WATER - UNDERGROUND		
WATER - FIRE HYDRANT	F.H. 	F.H.
WATER METER	W.M. 	
WATER VALVE	W.V. 	W.V.
WELL HEAD	WELL 	

PAVEMENT SECTION(S)	
OVERLAY PAVEMENT - 2" PAVEMENT MILLING WITH 2" SUPERPAVE WEARING COURSE, TYPE C	
RECONSTRUCTED PAVEMENT - 2" SUPERPAVE WEARING COURSE, TYPE C, 5" SUPERPAVE BCBC BASE COURSE, 8" GABC	
DRIVEWAY AND ENTRANCE PAVEMENT - SEE NOTES FOR MATERIALS AND DEPTHS	

NATURAL ROADSIDE FEATURES		
FEATURE DESCRIPTION	EXISTING	PROPOSED
HEDGEROW OR THICKET		
MARSH BOUNDARY LINE		
TREE - CONIFEROUS		
TREE - DECIDUOUS		
TREE STUMP		
SHRUBBERY		
WETLAND BOUNDARY - DELINEATED	WL 	
WOODS LINE BOUNDARY		

RIGHT-OF-WAY FEATURES		
FEATURE DESCRIPTION	EXISTING	PROPOSED
DENIAL OF ACCESS	DA 	DA
EASEMENT - OTHERS	EASEMENT TYPE 	
PERMANENT EASEMENT	PE 	PE
PROPERTY LINE		
PROPERTY MARKER - CONCRETE	C.M. 	
PROPERTY MARKER - IRON PIPE	I.P. 	
RIGHT-OF-WAY BASELINE	100+00 	100+00
RIGHT-OF-WAY LINE		R/W
RIGHT-OF-WAY & DENIAL OF ACCESS	R/W-DA 	R/W-DA
RIGHT-TO-ENTER		RTE
TEMPORARY CONSTRUCTION EASEMENT		TCE

SURVEY CONTROL & MONUMENTATION	
FEATURE DESCRIPTION	EXISTING
POINT OF CURVATURE OR TANGENCY	
POINT OF INTERSECTING TANGENTS	
SURVEY BENCHMARK LOCATION	B.M.
SURVEY NGS POINT LOCATION	
SURVEY TIE POINT LOCATION	T.P.
SURVEY TRAVERSE POINT	

MISCELLANEOUS FEATURES	
FEATURE DESCRIPTION	PROPOSED
BARRIER, DOUBLE-FACED, PERMANENT	
BARRIER, SINGLE-FACED, PERMANENT, TEST LEVEL 4 / TEST LEVEL 5	
BRICK PATTERNED SURFACE	
BUTT JOINT	
CLEAR ZONE	CZ
CONSTRUCTION BASELINE	100+00
LATERAL OFFSET	LO
LIMIT OF CONSTRUCTION	LOC
PAVEMENT PATCH	
PAVEMENT REMOVAL - TOPSOIL, SEED AND MULCH	
P.C.C. SIDEWALK - 4"	
P.C.C. SIDEWALK - 6" (USE 8" DEPTH FOR CHANNELIZATION ISLANDS.)	

IDENTIFIERS	
FEATURE DESCRIPTION	ID
ABANDON BY CONTRACTOR	
ABANDON BY OTHERS	
ADJUST BY CONTRACTOR	
ADJUST BY OTHERS	
BEST MANAGEMENT PRACTICE	
BUS STOP PAD / TYPE	
BUS STOP WITH SHELTER PAD / TYPE	
CONCRETE SAFETY BARRIER	
CONVERT TO JUNCTION BOX	
CONVERT TO DRAINAGE MANHOLE	
DO NOT DISTURB	
ENERGY DISSIPATOR	
FILL WITH FLOWABLE FILL	
LANDSCAPE PLANTINGS	
PEDESTRIAN CONNECTION / TYPE	
PEDESTRIAN CONNECTION / TYPE WITHOUT DETECTABLE WARNING SYSTEM	
RELOCATE BY CONTRACTOR	
RELOCATE BY OTHERS	
RELOCATE BY PROPERTY OWNER	
REMOVE BY CONTRACTOR	
REMOVE BY OTHERS	
REMOVE BY TRAFFIC CONTRACTOR	
RIGHT-OF-WAY MONUMENT	

UTILITY COMPANY FACILITIES	
	GEORGETOWN WATER SYSTEM A
	DELMARVA POWER-ELECTRIC
	CHESAPEAKE UTILITIES-GAS
	COMMUNICATIONS CONDUIT - COMCAST & VERIZON

NOT TO SCALE

**GEORGETOWN ADMINISTRATION
BUILDING RENOVATION/
EXPANSION**

CONTRACT	BRIDGE NO.	N/A
T202180102	DESIGNED BY:	M. MAYES
COUNTY	CHECKED BY:	M. GOUDY
SUSSEX		

LEGEND

SECTION	RKK
SHEET NO.	2

NOTES:

- EXISTING UTILITIES (WATER, SEWER, ELECTRIC AND TELECOMMUNICATIONS) WILL BE MAINTAINED DURING CONSTRUCTION. IT IS ANTICIPATED THAT THE BUILDING EXPANSION AND SITE UPGRADES WILL NOT REQUIRE UPGRADES TO THE EXISTING UTILITIES. THE EXISTING ELECTRIC PANEL WILL BE UPGRADED BUT WILL NOT REQUIRE UPGRADES TO THE EXISTING ELECTRIC LINES.
- LIGHTS WILL BE RELOCATED AS PART OF THE BUILDING EXPANSION, PLEASE SEE ARCHITECTURAL DRAWINGS FOR PROPOSED LOCATIONS.
- THE PROPANE TANK WILL BE RELOCATED AS PART OF THE BUILDING EXPANSION, PLEASE SEE ARCHITECTURAL DRAWINGS FOR PROPOSED LOCATIONS.
- PROPOSED PEDESTRIAN CONNECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH DELDOT STANDARD CONSTRUCTION DETAILS FOR THE ASSOCIATED PEDESTRIAN CONNECTION TYPE.
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.

NOTES (CONT.):

- EXISTING DRAINAGE AND STORMWATER MANAGEMENT FACILITIES WILL BE MAINTAINED AS A PART OF THE PROJECT. THERE WILL BE MINOR UPGRADES TO THE DISCHARGE LOCATIONS TO IMPROVE EXISTING ERODED AREAS AND PROVIDE INCREASED FLOW TO THE EXISTING FACILITIES.
- THE EXISTING SITE WILL BE GRADED SIMILAR TO EXISTING TOPOGRAPHY AND WILL MAINTAIN THE SAME POINT DISCHARGE LOCATIONS. THE PROJECT WILL UTILIZE THE EXISTING SLOPES AND ONLY COMPLETE MINOR GRADING AT THE BUILDING EXPANSION LOCATION AND THE PROPOSED PARKING LOT TO PROVIDE PROPER FLOW TO THE PROPOSED DRAINAGE FEATURES.

PURPOSE STATEMENT:

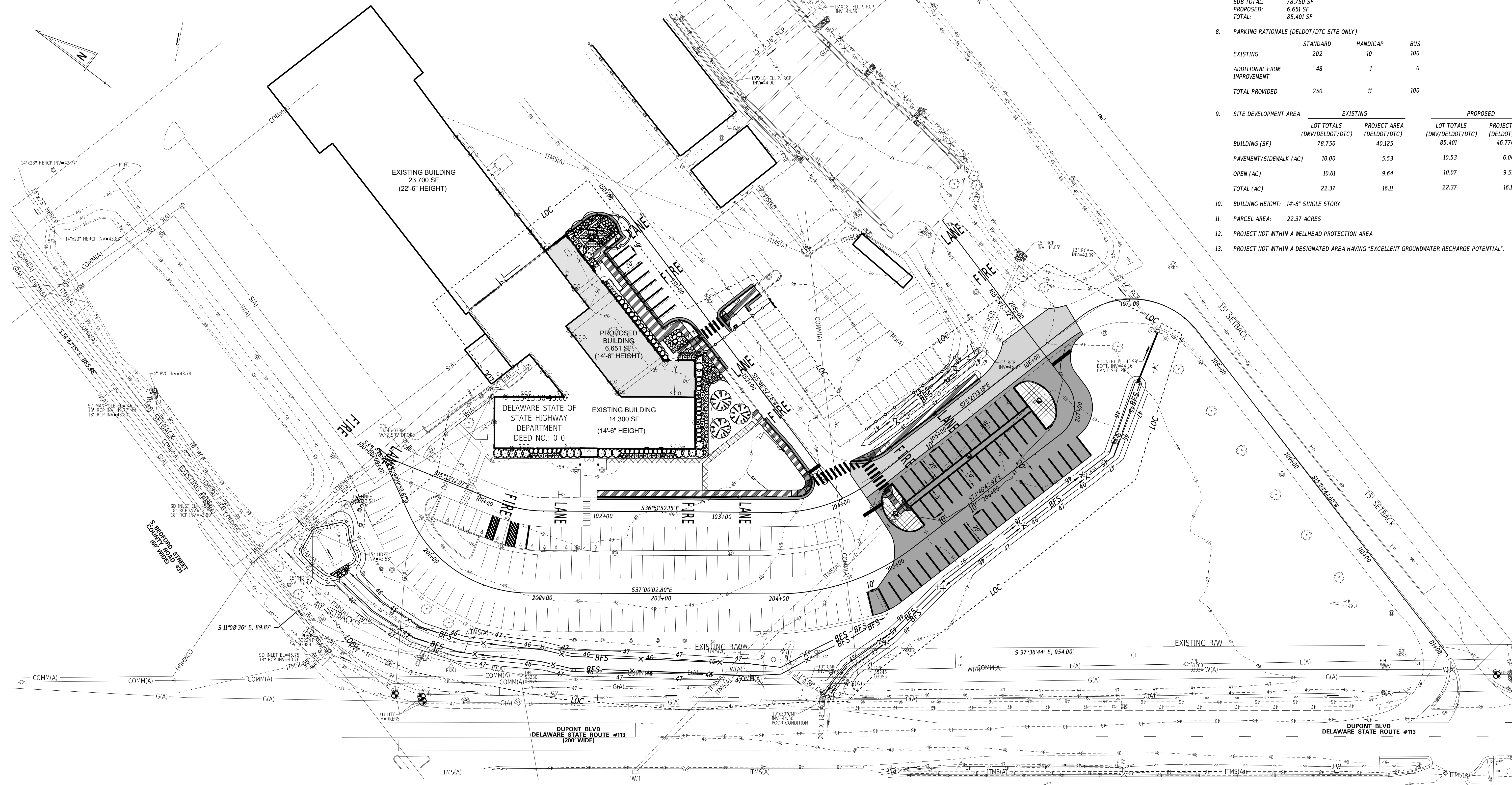
THIS PROJECT WILL PROVIDE EXPANSION AND UPGRADES TO THE EXISTING BUILDING AND IMPROVE THE OVERALL BUILDING QUALITY. IN ADDITION, THE EXISTING SITE WILL BE UPGRADED TO PROVIDE ADDITIONAL PARKING TO ACCOMMODATE THE BUILDING RENOVATIONS/EXPANSION AND SITE LIGHTING AND SECURITY CAMERAS TO IMPROVE SITE SECURITY. DRAINAGE UPGRADES ARE ALSO PROPOSED TO MEET LOCAL STORMWATER MANAGEMENT AND EROSION CONTROL REQUIREMENTS.

SITE DATA

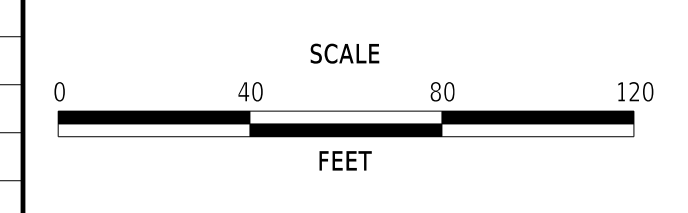
- OWNER: STATE OF DELAWARE
23697 DUPONT BOULEVARD
GEORGETOWN, DE 19947
- TAX PARCEL NO. 1-35-23-13, P.O. 1-35-23-19
- ZONING: AR-1
- SITE ADDRESS: SAME AS OWNER ADDRESS
- FLOOD ZONE DESIGNATION:
- WETLANDS PRESENT: NONE
- BUILDING AREA
EXISTING: 40,125 SF
DELDOT/DTC: 38,625 SF
DMV: 78,750 SF
SUB TOTAL: 78,750 SF
PROPOSED: 6,651 SF
TOTAL: 85,401 SF
- PARKING RATIONALE (DELDOT/DTC SITE ONLY)

	STANDARD	HANDICAP	BUS
EXISTING	202	10	100
ADDITIONAL FROM IMPROVEMENT	48	1	0
TOTAL PROVIDED	250	11	100
- SITE DEVELOPMENT AREA

	EXISTING		PROPOSED	
	LOT TOTALS (DMV/DELDOT/DTC)	PROJECT AREA (DELDOT/DTC)	LOT TOTALS (DMV/DELDOT/DTC)	PROJECT AREA (DELDOT/DTC)
BUILDING (SF)	78,750	40,125	85,401	46,776
PAVEMENT/SIDEWALK (AC)	10.00	5.53	10.53	6.06
OPEN (AC)	10.61	9.64	10.07	9.57
TOTAL (AC)	22.37	16.11	22.37	16.11
- BUILDING HEIGHT: 14'-8" SINGLE STORY
- PARCEL AREA: 22.37 ACRES
- PROJECT NOT WITHIN A WELLHEAD PROTECTION AREA
- PROJECT NOT WITHIN A DESIGNATED AREA HAVING "EXCELLENT GROUNDWATER RECHARGE POTENTIAL".



13-MAY-2021 12:05 \\barsv06w2010181825_DTC1910Task 6 - DelDOT Admin Building FD\CADD\ContractPlans\cp01_Growth_SITE.dgn



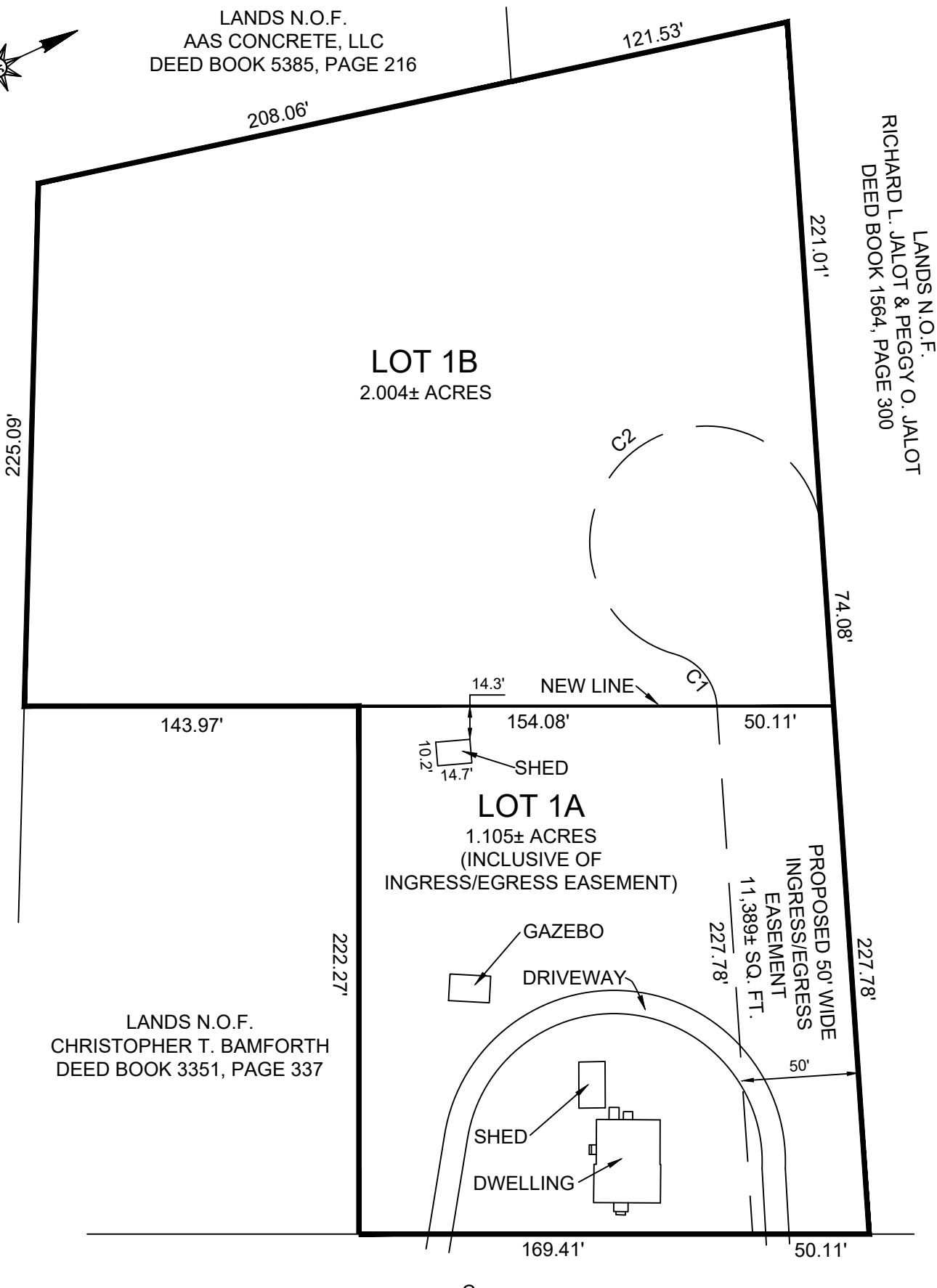
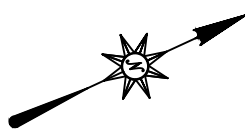
**GEORGETOWN ADMINISTRATION
BUILDING RENOVATION/
EXPANSION**

CONTRACT T202180102	BRIDGE NO. N/A
COUNTY SUSSEX	DESIGNED BY: M. MAYES
	CHECKED BY: M. GOUDY

PRELIMINARY SITE PLAN

SECTION RKK
SHEET NO. 3

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	25.00'	70°31'44"	30.77'	28.87'	S 75°41'49" W
C2	50.00'	250°31'44"	218.63'	81.65'	N 14°18'11" W



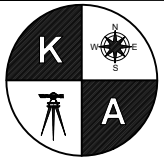
LANDS N.O.F.
CHRISTOPHER T. BAMFORTH
DEED BOOK 3351, PAGE 337

LANDS N.O.F.
AAS CONCRETE, LLC
DEED BOOK 5385, PAGE 216

LANDS N.O.F.
RICHARD L. JALOT & PEGGY O. JALOT
DEED BOOK 1564, PAGE 300

COUNTY ROAD 319
(A.K.A. SAND HILL ROAD)
(50' WIDE)

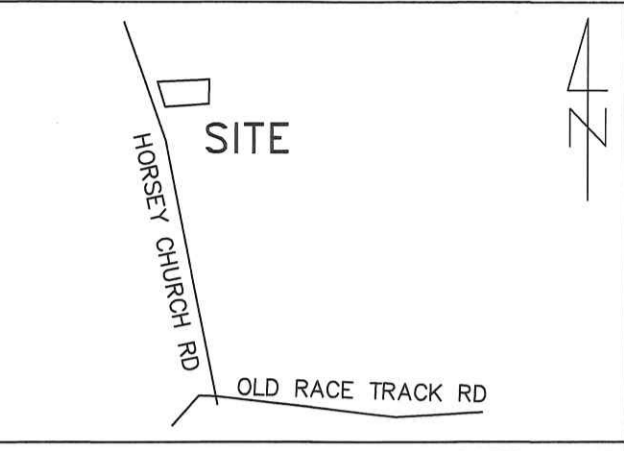
SUBDIVISION CONCEPT SKETCH PLAN
PREPARED FOR
JOHN D. BAMFORTH & ANN M. BAMFORTH
18562 SAND HILL ROAD
SITUATE IN: GEORGETOWN HUNDRED
SUSSEX COUNTY, STATE OF DELAWARE



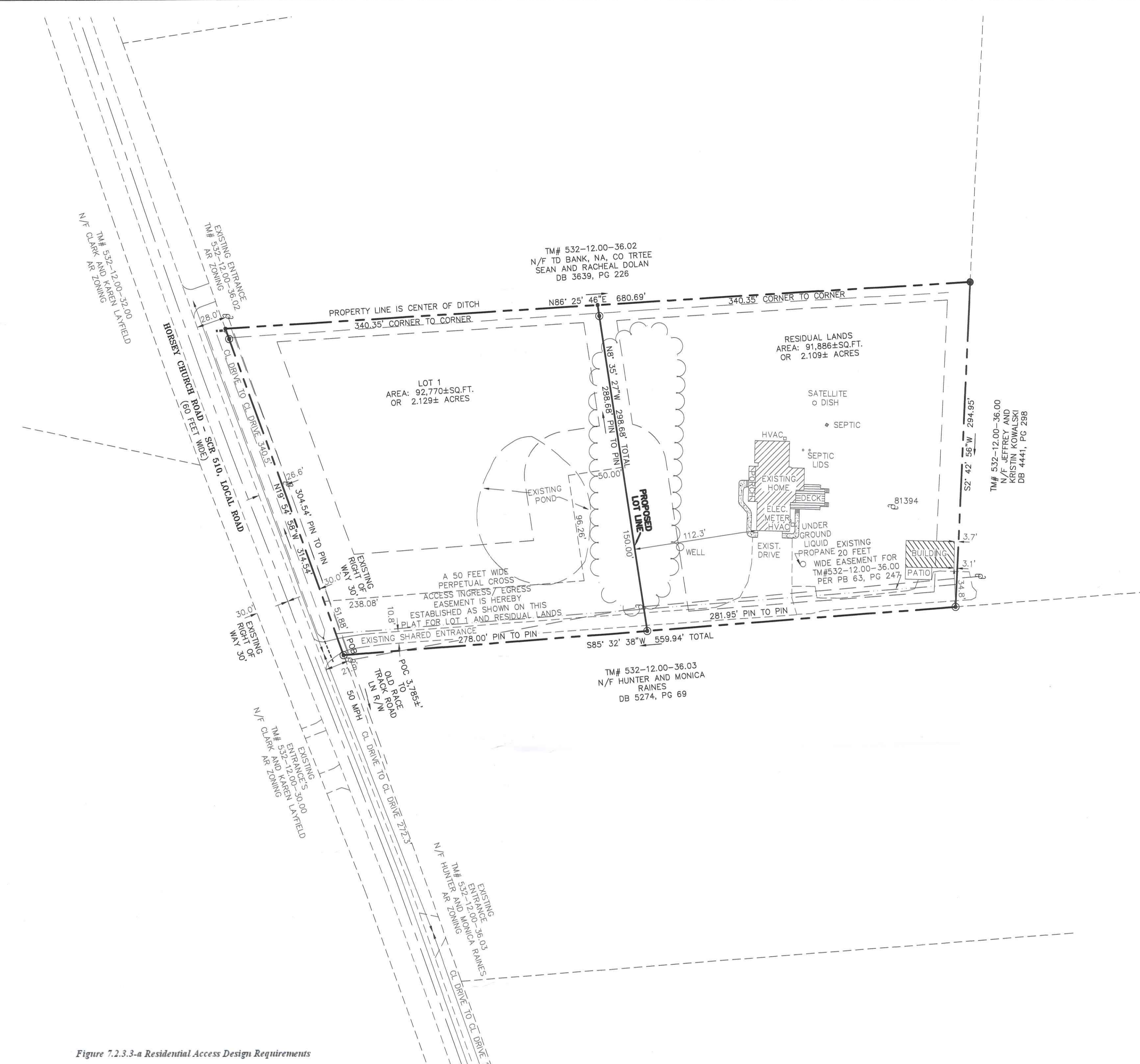
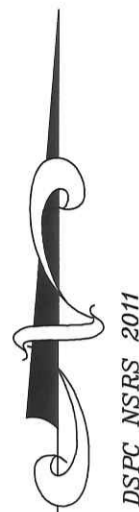
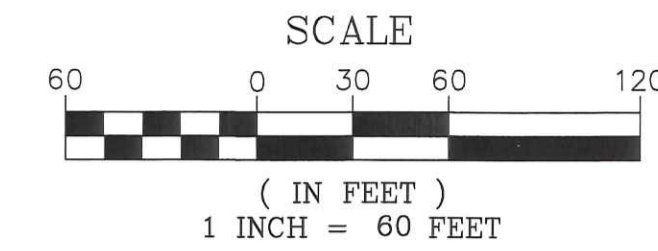
Karins and Associates
ENGINEERS • PLANNERS • SURVEYORS
NEWARK, DE • GEORGETOWN, DE
www.karinsengineering.com

17 POLLY DRUMMOND CENTER * SUITE 201
NEWARK, DELAWARE 19711
PHONE: (302) 369-2900

128 WEST MARKET STREET
GEORGETOWN, DELAWARE 19947
PHONE: (302) 856-6699



LOCATION MAP NOT TO SCALE



FIRE MARSHAL

1. PROPOSED BUILDING USE RESIDENTIAL.
2. MAXIMUM HEIGHT PER SUSSEX COUNTY CODE 42FT.
3. PROPOSED CONSTRUCTION WOOD FRAMED.
4. ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.

AGRICULTURE NOTES

1. THERE IS A FIFTY FOOT BUILDING SETBACK FROM LANDS USED FOR AGRICULTURAL PURPOSES UNLESS THE APPLICANT ACQUIRES A LETTER OF CONSENT FROM THE ADJACENT OWNER.

PURPOSE STATEMENT

THE PURPOSE OF THIS PLAN IS TO CREATE TWO PARCELS FROM ONE.

OWNER OF RECORD

I/WE THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY/OUR DIRECTION, AND THAT I/WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT I/WE DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW. I CERTIFY THAT TITLE 17, SECTION 530 IS APPLICABLE TO THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN BY VIRTUE OF THE SUBDIVIDED PARCEL OR PARCELS WILL BE TRANSFERRED TO A FAMILY MEMBER OR MEMBERS FOR PURPOSES OF USE AS A FAMILY MEMBER OR MEMBERS' PRINCIPAL RESIDENCE OR FARMLAND.

[Signature] 4/23/21
 JOSHUA SMITH
 36705 HORSEY CHURCH RD DELMAR, DE 19940
 DATE 4-23-21
 MATTHEW SMITH
 36705 HORSEY CHURCH RD DELMAR, DE 19940
 DATE 4/23/21
 LEAH WALLACE
 36705 HORSEY CHURCH RD DELMAR, DE 19940
 DATE

SURVEYOR'S CERTIFICATION

I, ALAN O'DALE KENT REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.



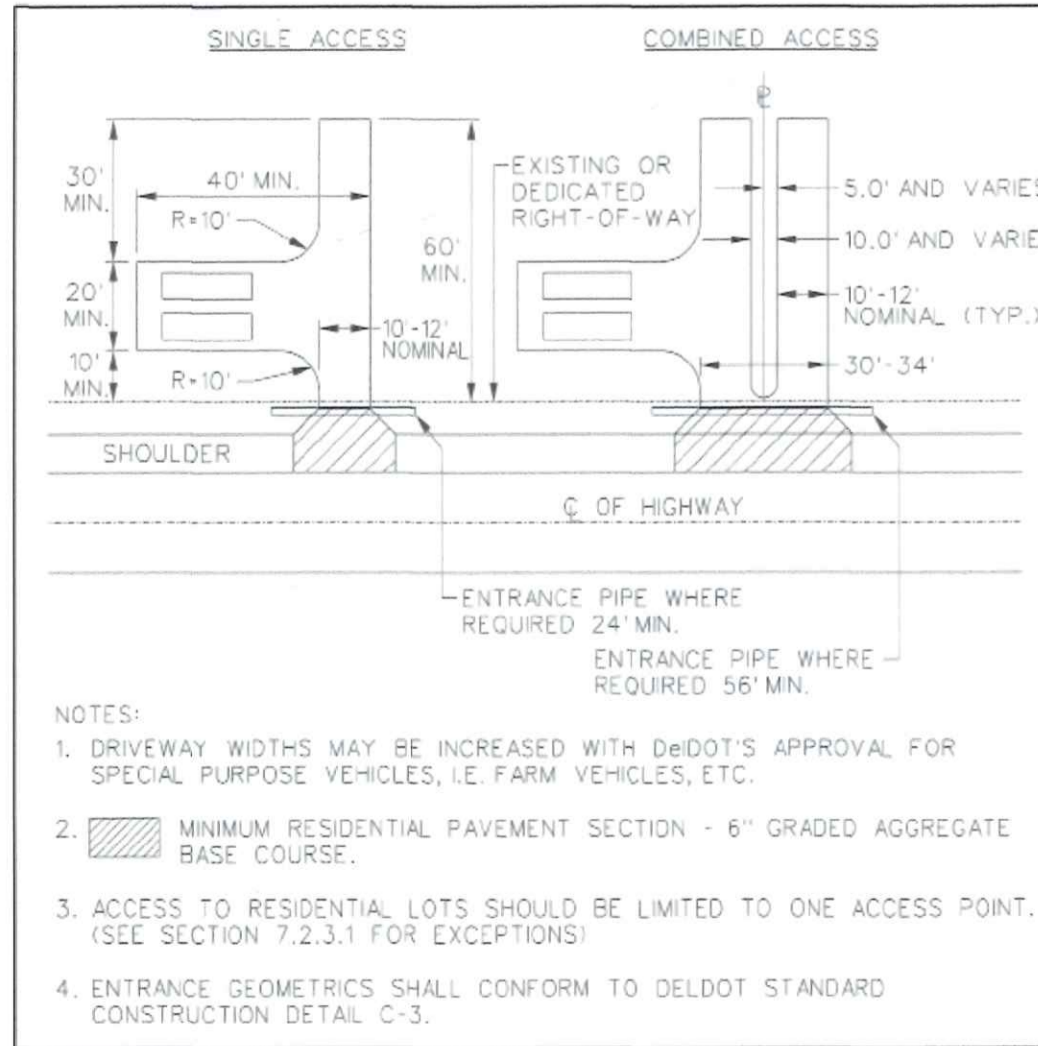
ALAN O'DALE KENT, PLS#738
 ALAN O KENT LAND SURVEYING LLC
 9505 SUSSEX STREET
 SEAFORD, DE 19973
 PHONE: (302) 745-1735
 EMAIL: aok@okl.com
 DATE

DeDOT NOTES

1. ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
2. ENTRANCES TO PRIVATE STREETS SERVING MULTIPLE RESIDENTIAL LOTS SHOULD BE PAVED, FROM THE EDGE OF THE TRAVEL LANE TO THE ROW LINE (AT A MINIMUM), WITH THE DRIVEWAY/THROAT WIDTH OF 16 TO 24 FEET REFER TO DELDOT DCM REFERENCE 3.3.3.
3. SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO THE PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
4. IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION THEN ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
5. THE RESIDUAL LANDS AND LOT 1 SHALL HAVE ACCESS TO HORSEY CHURCH ROAD VIA THE 50 FOOT WIDE INGRESS/EGRESS EASEMENT.
6. WITHIN THE LIMITS OF THE PROJECT AREA THE SPEED LIMIT IS 50 MPH ALONG HORSEY CHURCH ROAD.

99-6 (G) STATEMENT - FOR ANY NEW SUBDIVISION DEVELOPMENT LOCATED IN WHOLE OR IN PART WITHIN 300 FEET OF THE BOUNDARY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES, THE OWNER OF THE DEVELOPMENT SHALL PROVIDE IN THE DEED RESTRICTIONS AND ANY LEASES OR AGREEMENTS OF SALE FOR ANY RESIDENTIAL LOT OR DWELLING UNIT THE FOLLOWING NOTICE: "THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES."

Figure 7.2.3.3-a Residential Access Design Requirements

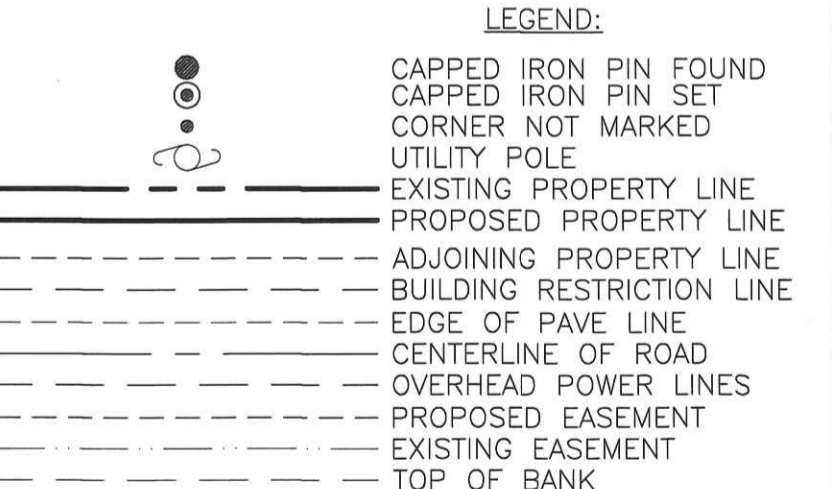


SITE DATA

1. TAX PARCEL (ALL): 532-12.00-36.01 DB 5294, PG 179
2. TOTAL ACREAGE PRIOR TO SUBDIVISION: 184,657.66± SQ. FT. OR 4.2391± ACRES
3. ZONING: "AR"
 PRESENT USE: SINGLE FAMILY DWELLING/ AGRICULTURAL
 PROPOSED USE: SINGLE FAMILY DWELLING/ AGRICULTURAL
 SEWER: PRIVATE SEPTIC
 WATER: PRIVATE WELL
4. EXISTING NUMBER OF LOTS: 1
 PROPOSED NUMBER OF LOTS: 2
5. ROAD CLASSIFICATIONS AND FRONTAGE:
 RESIDUAL LANDS
 LOCAL ROAD FRONTAGE HORSEY CHURCH ROAD: 314.54 LF
6. IMPERVIOUS COVERAGE PERMITTED: 23%
 DENSITY: 0.0000031 DWELLING UNIT PER 1 ACRE
7. NUMBER OF PERMANENT MONUMENTS FOUND:
 1 CAPPED IRON PIN
 NUMBER OF PERMANENT MONUMENTS PLACED:
 5 CAPPED IRON PINS
8. RELATION TO GROWTH ZONE: OUTSIDE
9. FEMA MAP: 1000500575L, DATED 06/20/2018
 FLOOD ZONE: ZONE "X"
11. ADJOINING TAX PARCELS:
 532-12.00-36.03
 532-12.00-36.00
 532-12.00-36.02

GENERAL DATA:

1. CURRENT USE AGRICULTURAL RESIDENTIAL AND FUTURE USE AGRICULTURAL RESIDENTIAL.
2. SEWER & WATER WILL BE ON SITE WELL AND SEPTIC.
3. EXISTING NUMBER OF PARCELS 1, EXISTING NUMBER OF LOTS 1, PROPOSED NUMBER OF PARCELS 2, PROPOSED NUMBER OF LOTS 2.



JOB # 2020197 THIS IS A SUBURBAN CLASS SURVEY

MINOR SUBDIVISION PLAN
 OF THE LANDS NOW OR FORMERLY OF
 MATTHEW L. SMITH
 AND LEAH B. WALLACE
 DELMAR, DE
 LITTLE CREEK HUNDRED, SUSSEX COUNTY
 PREPARED BY
 ALAN O KENT LAND SURVEYING
 9505 SUSSEX STREET
 SEAFORD, DE 19973
 (302) 745-1735

DATE OF PLAN	12 AUG 2020
DATE OF LAST FIELD WORK	07 JUN 2020
REV 1 09 DEC 2020 PER DEL DOT COMMENTS	
REV 2 19 JAN 2021 PER DEL DOT COMMENTS	
REV 3 26 FEB 2021 PER DEL DOT COMMENTS	

- FIRE MARSHAL NOTES**
1. ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
 2. THE SITE OCCUPANT GIVES PERMISSION TO THE FIRE DEPARTMENT TO REMOVE ANY LOCKS THAT MAY IMPEDE ACCESS TO THE SITE.
 3. AUTOMATIC SPRINKLER SYSTEMS ARE NOT PROPOSED FOR ANY DWELLINGS ERECTED ON THIS PROPERTY.

PRIOR TO ANY CONSTRUCTION ACTIVITIES, PERMITS AND/OR APPROVALS MAY BE REQUIRED FROM:

- A) SUSSEX CONSERVATION DISTRICT.....(302) 856-7219
- B) FIRE MARSHAL.....(302) 856-5298
- C) SUSSEX COUNTY UTILITY CONSTRUCTION DIVISION.....(302) 855-7717
- D) DELAWARE HEALTH & SOCIAL SERVICES-DIVISION OF HEALTH.....(302) 739-7431
- E) SUSSEX COUNTY ASSESSMENT OFFICE.....(302) 855-7824
- F) SUSSEX COUNTY PLANNING AND ZONING.....(302) 855-7878
- G) DELDOT.....(302) 853-1340
- H) DNREG.....(302) 739-5931

MINOR SUBDIVISION PLAN NOTES

1. ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
2. SHRUBBERY, PLANTINGS, SIGNS AND/OR VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
3. IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
4. LOT 1 SHALL HAVE SINGLE ACCESS FROM SCR 521 VIA THE EXISTING ENTRANCE.
5. LOT 2 (RESIDUAL) SHALL HAVE ACCESS FROM SCR 521 VIA THE PROPOSED 40' WIDE INGRESS/EGRESS EASEMENT.
6. PRIVATE STREETS WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17, SECTION 131). DELDOT ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.
7. A PERPETUAL CROSS ACCESS INGRESS/EGRESS EASEMENT IS HEREBY ESTABLISHED AS SHOWN ON THIS PLAN.
8. ENTRANCES TO PRIVATE STREETS SERVING MULTIPLE RESIDENTIAL LOTS SHOULD BE PAVED, FROM THE EDGE OF THE TRAVEL LANE TO THE ROW LINE (AT A MINIMUM), WITH A DRIVEWAY/THROAT WIDTH OF 16 TO 24 FEET (REFER TO DELDOT DCM SECTION 3.3.3).
9. NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.

231-7.00-35.00
N/F OF JEFFREY ODAY ET AL
DB 2812 P 2
AR-1 ZONING

231-7.00-38.00
N/F OF KEITH LLOYD
DB 4583 P 78
AR-1 ZONING

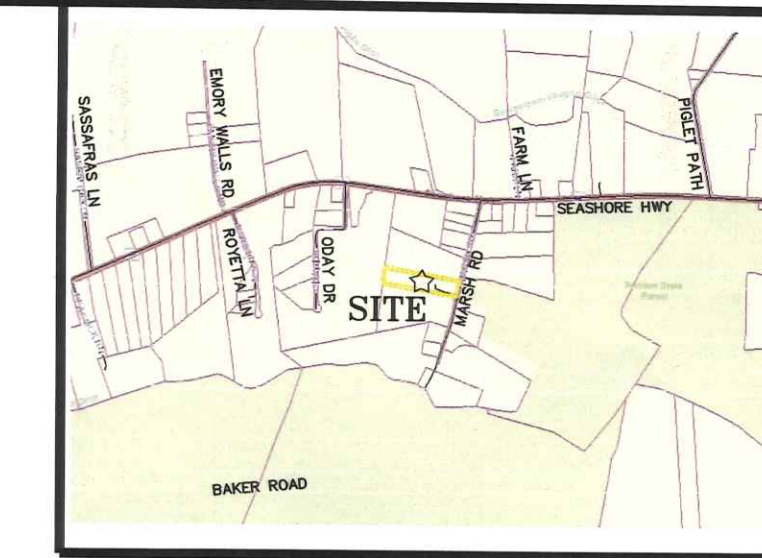
231-7.00-38.02
N/F OF WAYNE MURRAY & MARGARET CHASE MURRAY
DB 2723 P 173
AR-1 ZONING

231-7.00-37.03
N/F OF JOHNNY &
SARA GRAY
ZONING AR-1

231-7.00-42.00
N/F OF WILHELMINE
ZONING AR-1

231-7.00-45.00
N/F OF STATE OF DELAWARE
DB 2816 P 270
ZONING AR-1
DDA FOREST SERVICE

231-7.00-40.00
N/F OF WINFIELD DUFFY
DB 4831 P 330



LOCATION MAP
1" = 1/2 MILE

- LEGEND**
- CONCRETE MONUMENT FOUND
 - IRON REBAR TO BE SET
 - EXISTING PROPERTY/EXISTING R.O.W. LINE
 - - - PROPOSED PROPERTY/PROPOSED R.O.W. LINE
 - - - ADJACENT PROPERTY LINE
 - - - EXISTING EDGE OF PAVEMENT
 - - - EXISTING ROAD CENTERLINE
 - - - EXISTING GRAVEL DRIVE
 - - - PROPOSED EASEMENT
 - - - BUILDING RESTRICTION LINE
 - UTILITY POLE

NOTES

1. TITLE REFERENCED TO DEED BOOK 867, PAGE 147.
2. SUBJECT TO ANY AND ALL RESTRICTIONS, RESERVATIONS, CONDITIONS, EASEMENTS & AGREEMENTS OF RECORD IN THE OFFICE OF RECORDER OF DEEDS, SUSSEX COUNTY, DE.
3. THIS SURVEY DOES NOT CERTIFY AS TO THE EXISTENCE OR NON-EXISTENCE OF ANY EASEMENTS OR RIGHT-OF-WAYS AFFECTING THE PROPERTIES SHOWN HEREIN.
4. THIS LOT DOES NOT CONTAIN ANY STATE AND/OR FEDERAL WETLANDS.

SITE DATA

1. TAX MAP NUMBER: 231-7.00-38.01
2. CURRENT ZONING: AR-1
3. TOTAL AREA (AFTER DED.): 220,964 ± s.f. 5.07 ± Acres
4. USE: PRESENT: RESIDENTIAL
5. STREETS: PROPOSED: SAME
6. ACCESS: TO REMAIN PRIVATE
7. MAINTENANCE: PRIVATE
8. SETBACKS: LOT 1: FRONT: 40', SIDE: 15', REAR: 20'
9. SPEED LIMIT: LOT 2: 25 MPH (MARSH ROAD - UNPOSTED)
10. SEWER: PRIVATE ON-SITE
11. WATER: PRIVATE ON-SITE
12. EXISTING LOTS: 2 (INCLUDING RESIDUAL)
13. PROPOSED LOTS: 1
14. TIDS: NOT IMPACTED BY ANY TIDS
15. FLOOD ZONE: X
16. MAX BLDG HEIGHT: 42.0'

GENERAL PROJECT

1. Developer: JESSE ATKINSON & JULIE NORWOOD
220 TANGLEWOOD DRIVE
LENEX, DE 19158
302-260-0101
2. Civil/Site Engineer: COTTEN ENGINEERING LLC
10087 CONCORD RD
SEAFORD, DELAWARE 19973
Phone/Fax: (302) 628-9164
c/o: Michael S. Cotten, P.E.
3. Surveyor: COTTEN ENGINEERING LLC
10087 CONCORD RD
SEAFORD, DELAWARE 19973
Phone/Fax: (302) 628-9164
c/o: Michael S. Cotten, P.E.
4. The project is located on the northwestern side of Marsh Road Road (SCR 521, local, 50' wide).
5. Class "C" Survey
6. This Survey does not certify to the location and/or existence of easements and Right-of-Way crossing subject property other than those shown, as no title search was provided.

I, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DISCRETION, AND THAT I ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT I DESIRE THE PLAN TO BE RECORDED ACCORDING TO THE LAW.

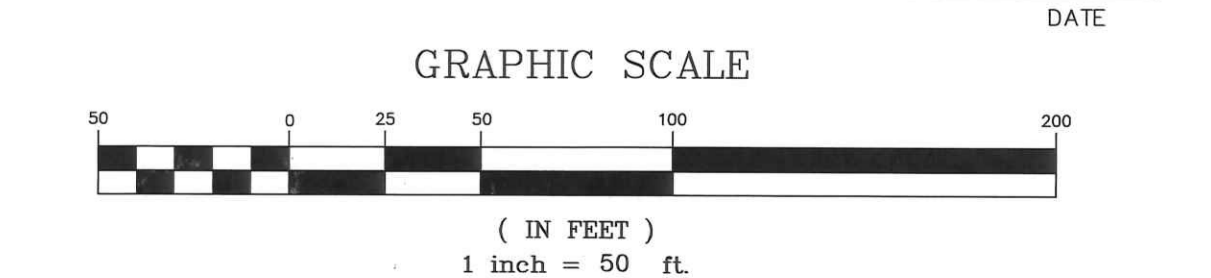
Jesse Atkinson 05/17/21
JESSE ATKINSON, CO-OWNER DATE

Julie Norwood 05/17/21
JULIE NORWOOD, CO-OWNER DATE

DESIGNER/ENGINEER SIGNATURE
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN MADE UNDER MY SUPERVISION AND COMPLIES WITH THE LAWS OF SUSSEX COUNTY AND THE STATE OF DELAWARE.

Michael S. Cotten, P.E. 05/17/21
MICHAEL S. COTTEN, P.E. DATE

APPROVED BY SUSSEX COUNTY PLANNING AND ZONING



#	1.	INITIAL SUBMISSION	02-12-21
	2.	RESPONSE TO COMMENTS	03-24-21
	3.	RESPONSE TO COMMENTS - FINAL PLANS REQUESTED	05-01-21
	4.	RESPONSE TO SUSSEX COUNTY COMMENTS	05-17-21
	5.		
	6.		

MINOR SUBDIVISION OF LANDS OF JESSE ATKINSON

COTTEN ENGINEERING LLC
CIVIL ENGINEERING, SURVEYING, ENVIRONMENTAL PLANNING
CONSULTANTS
10087 CONCORD RD
SEAFORD DE 19733
PH: (302) 628-9164
FAX: (302) 628-9164

MINOR SUBDIVISION PLAN OF LANDS N/F OF JESSE ATKINSON & JULIE NORWOOD 17689 & 17703 SUNSHINE DRIVE GEORGETOWN, DE 19947 BROAD CREEK HUNDRED SUSSEX COUNTY, DELAWARE TM# 231-7.00-38.01

MICHAEL S. COTTEN, P.E.
LICENSE # 12769

SCALE: AS SHOWN
DESIGNED: CE
PLANNED: CE
DRAWN: JCD
APPROVED: MC
JOB: 20-624
SHEET NO. 1 OF 1