

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY WINGATE



2 THE CIRCLE | PO BOX 417
GEORGETOWN, DE 19947
(302) 855-7878 T
(302) 854-5079 F
sussexcountyde.gov

Sussex County Planning & Zoning Commission

AGENDA*

May 27, 2021

5:00 P.M.

**PLEASE NOTE THAT THE MEETING WILL BE HELD AT THE FOLLOWING
LOCATION: COUNCIL CHAMBERS, SUSSEX COUNTY ADMINISTRATIVE OFFICE
BUILDING, 2 THE CIRCLE, GEORGETOWN**

**PLEASE REVIEW THE MEETING LOCATION AND PARTICIPATION INSTRUCTIONS
AT THE BOTTOM OF THE AGENDA**

Call to Order

Approval of Agenda

Approval of Minutes – April 22, 2021

Other Business

<u>Hailey's Glen (2017-17) (F.K.A Kielbasa)</u> Final Subdivision Plan	KS
<u>Baylis Estates (Phase II)</u> Preliminary Amenities Plan	BM
<u>Frankford Business Park (S-18-56)</u> Revised Final Site Plan	HW
<u>Rehoboth Inn (S-20-29) (F.K.A Carmas Lane Cottages Motel)</u> Preliminary Site Plan	KS
<u>S-21-09 DelDOT – Georgetown Administrative Building</u> Revised Final Site Plan	KH
<u>Lands of John D. & Ann M. Bamforth</u> Minor Subdivision off a 50-ft Easement	KS
<u>Lands of Matthew L. Smith & Leah B. Wallace</u> Minor Subdivision off a 50-ft Easement	HW



Lands of Jesse Atkinson

KS

Minor Subdivision off a 40-ft Easement

Old Business

2020-20 – Johnsonville (2006-39)

KS

A revision to an existing and previously approved standard subdivision to divide 42.11 +/- acres into 32 single family lots lying and being in Indian River Hundred, Sussex County. The proposal is to reduce the existing Forest Conservation Easement from 100-ft in depth to 50-ft in depth to the rear of Lots 2-16 for the future accommodation of patios, decks, sheds or swimming pools. The property is lying on the northeast and southwest sides of Lawson Road (S.C.R. 296). Tax Parcel: 234-21.00-141.00, 234-21.00-394.00 through 234-21.00-425.00. Zoning District: AR-1 (Agricultural Residential District).

C/Z 1942 – Bay Developers, LLC (Twin Cedars, LLC)

HW

An Ordinance to amend the Comprehensive Zoning Map of Sussex County from a C-1 General Commercial District, CR-1 Commercial Residential District and GR General Residential District to a GR-RPC General Residential District - Residential Planned Community for a certain parcel of land lying and being in Baltimore Hundred, Sussex County, containing 64.32 acres, more or less. The property is lying on the south side of Zion Church Road (Rt. 20), approximately 0.55-mile northwest of Bayard Road. 911 Address: N/A. Tax Parcel: 533-11.00-42.00.

C/Z 1922 – Baywood, LLC

BM

An Ordinance to amend the Comprehensive Zoning Map of Sussex County from a B-1 (Neighborhood Business District), C-1 (General Commercial District) and CR-1 (Commercial Residential District) to a HR-RPC High Density Residential District - Residential Planned Community for a certain parcel of land lying and being in Indian River Hundred, Sussex County, containing 54.38 acres, more or less. The property is lying on the north side and south side of Long Neck Road, approximately 0.47 miles east of the intersection of Long Neck Road and John J. Williams Highway (Route 24). 911 Address: 32147 Long Neck Road, Millsboro. Tax Parcels: 234-23.00-270.00, 273.01, 273.02, 273.03, & 273.05.

Public Hearings

2021-13 - Baylis Estates Phase 2 (2017-01)

BM

An application to amend the existing cluster subdivision for Baylis Estates Phase 2 (2017-01) to subdivide 130.52 +/- acres into 51 single-family lots to be located on a certain parcel of land lying and being in Indian River Hundred, Sussex County. The property is lying on the northeast side of Mount Joy Road (S.C.R. 297). Tax Parcel: 234-29.00-42.00. Zoning: AR-1 (Agricultural Residential Zoning District).

2020-10 – The Crossings (FKA The Crossings at Trap Pond)

HW

A cluster subdivision to divide 39.02 acres +/- into 39 single family lots to be located on a certain parcel of land lying and being in Broad Creek Hundred, Sussex County. The property is lying on the north side of intersection of Laurel Road (Route 24) and Adams Road (S.C.R 437A). Tax Parcel: 232-19.00-50.01. Zoning District: AR-1 (Agricultural Residential District)

C/U 2252 Delaware Electric Co-Op

KS

An Ordinance to grant a Conditional Use of land in a MR Medium Density Residential District for a substation to be located on a certain parcel of land lying and being in Lewes and Rehoboth Hundred, Sussex County, containing 9.1 acres, more or less. The Property is lying on the southwest corner of Plantations Rd. and Cedar Grove Road (S.C.R. 283). 911 Address: 34139 Cedar Grove Road, Lewes. Tax Parcel: 334-12.00-2.00

C/U 2260 Ronald Lee Wisseman II

KH

An Ordinance to grant a Conditional Use of land in an AR-1 Agricultural Residential District for gunsmithing to be located on a certain parcel of land lying and being in Nanticoke Hundred, Sussex County, containing 0.96 acre, more or less. The property is lying on the northwest side of Fawn Road (S.C.R 600) approximately 0.5 mile northeast of Sugar Hill Road (S.C.R 599). Address: 10213 Fawn Road, Greenwood. Tax Parcel: 430-11.00-70.00

C/U 2280 Covered Bridge Inn, LLC (Hopkins Henlopen Homestead, LLC)

KS

An Ordinance to grant a Conditional Use of land in an AR-1 (Agricultural Residential District) for an events venue to be located on a certain parcel of land lying and being in Lewes and Rehoboth Hundred, Sussex County, containing 98.60 acres, more or less. The property is lying on the south side of Fisher Rd., approximately 0.38 mile west of Hopkins Rd. 911 Address: N/A. Tax Parcel: 334-10.00-69.01

In accordance with 29 Del. C. §10004(e)(2), this Agenda was posted on May 20, 2021 at 4:55 p.m., and at least seven (7) days in advance of the meeting.

This Agenda is subject to change to include the addition or deletion of items, including Executive Sessions, which arise at the time of the Meeting.

Agenda items listed may be considered out of sequence.

-MEETING INSTRUCTIONS-

* The Sussex Planning & Zoning Commission is holding this meeting under the authority issued by Governor John C. Carney through Proclamation No. 17-3292.

PLEASE NOTE: The meeting is to be held at the following location: **COUNCIL CHAMBERS, SUSSEX COUNTY ADMINISTRATIVE OFFICE BUILDING, 2 THE CIRCLE, GEORGETOWN**

The public is encouraged to view the meeting on-line. Any person attending in-person will be required to go through a wellness and security screening, including a no-touch temperature check. The public will be required to wear a facial mask.

Seating capacity is limited and seating assignments will be enforced.

The meeting will be streamed live at: <https://sussexcountye.gov/council-chamber-broadcast>

The County is required to provide a dial-in telephone number for the public to comment during the appropriate time of the meeting. **Note, the on-line stream experiences a 30-second delay.** Any person who dials in by telephone should listen to the teleconference audio to avoid the on-line stream delay.

To join the meeting via telephone, please dial:

Conference Number: 1 302-394-5036

Conference Code: 570176

Members of the public joining the meeting on the telephone will be provided an opportunity to make comments for those items listed under public hearings on this agenda.

The Planning & Zoning Commission meeting materials, including the “packet”, are electronically accessible on the County’s website at: <https://sussexcountye.gov/>

If any member of the public would like to submit comments electronically, these may be sent to pandz@sussexcountye.gov. All comments are encouraged to be submitted by 4:00 P.M on Wednesday, May 26, 2021.

###



Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager; Lauren DeVore, Planner III; Christin Scott, Planner I; Nicholas Torrance, Planner I; Chase Phillips, Planner I; and Elliott Young, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: May 20th, 2021

RE: Other Business for the May 27th, 2021 Planning Commission Meeting

This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the May 27, 2021 Planning Commission meeting.

Hailey's Glen (2017-17) (F.K.A. Kielbasa)

KS

Final Subdivision Plan

This is a Final Subdivision Plan for the subdivision of a 32.366-acre +/- parcel of land into sixty-seven (67) lots with private roads, open space and associated amenities to include a proposed pavilion. The property is located on the north side of Angola Road (S.C.R. 277) and lies within the Henlopen Transportation Improvement District (TID) although it will not be subject to the requirements of the TID as the TID was approved after the application was first submitted and introduced. Additionally, the developer has opted to pay the Area Wide Study Fee in lieu of a Traffic Impact Study (TIS) for the project. The Planning and Zoning Commission approved the Preliminary Subdivision Plan at their meeting of Thursday, April 12, 2018. The Final Subdivision Plan complies with the Sussex County Zoning and Subdivision Code and all Conditions of Approval. Tax Parcel: 234-12.00-11.00. Zoning District: AR-1 (Agricultural Residential Zoning District). Staff are in receipt of all agency approvals.

Baylis Estates (Phase I) Amenities Plan

BM

Preliminary Site Plan

This is a Preliminary Amenities Plan for the Baylis Estates Phase I subdivision. This plan proposes a 4,100 square foot clubhouse, 1,215 square foot in ground pool and fencing, multi-purpose courts and 21 parking spaces. The site is located between Phases I and II as Lots 122 through 126 are currently proposed as part of Phase II. No landscaping is proposed as part of this plan. This Preliminary Amenities Plan complies with the Sussex County Zoning Code. Tax Parcel: 234-29.00-42.00. Zoning District: AR-1 (Agricultural Residential Zoning District). Staff are awaiting all agency approvals.

Frankford Business Park (S-18-56)

HW

Revised Final Site Plan

This is a Revised Final Site Plan for the construction of four single-story warehouse type buildings totaling 84,900 sf. and 10,000 sf. of office space along with two enclosed pipe yards, loading spaces and additional parking and site improvements. The Final Site Plan was previously approved by the Planning and Zoning Commission at its meeting on October 10, 2019. The Revised Final Site Plan is in compliance with the Sussex County Zoning Code. Tax Parcel: 433-11.00-21.02. Zoning: C-1 (General Commercial District) and AR-1 (Agricultural Residential District). Staff are awaiting agency approvals.



Rehoboth Inn (S-20-29) (F.K.A. Carmas Lane Cottages Motel)

KS

Preliminary Site Plan

This is a Preliminary Site Plan for a proposal to renovate two (2) existing hotels to include a total gross square footage of 15,100 square feet. The proposal consists of the renovation of Building “A,” an existing two-story motel and Building “C,” an existing two-story motel, replacing Building “B” with a proposed two-story, 9-unit motel and constructing a proposed 500 square foot addition to Building “C.” The property is located on the south side of Coastal Highway (Route 1) and lies within the Combined Highway Corridor Overlay Zone (CHCOZ). Multiple variances were sought for the property through BOA Case No. 12489 of which the Findings of Fact were approved by the Board of Adjustment on February 15, 2021. The Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 334-19.08-176.00. Zoning District: C-1 (General Commercial Zoning District.) Staff are in receipt of all required agency approvals for this proposal, and therefore, both Preliminary and Final approvals may be granted at the will of the Commission.

S-21-09 DeIDOT – Georgetown Administrative Building

Revised Final Site Plan

This is a Revised Final Site Plan for the expansion of the Delaware Department of Transportation Administrative Building in Georgetown. This plan proposes a 6,651 square foot addition to the existing 14,300 square foot building. Additionally, 48 new parking spaces and crosswalks are proposed to accommodate the increase in square footage of the building. Various landscaping and other site improvements are included as well as drainage upgrades that will be required to meet stormwater management standards and regulations. The property is located on northeastern corner of Dupont Boulevard (Rt. 113) and South Bedford Street (S.C.R. 431) in Georgetown. The site plan complies with the Sussex County Zoning Code. Tax Parcel: 135-23.00-13.00. Zoning District: AR-1 (Agricultural Residential District). Staff are awaiting agency approvals.

Lands of John D. & Ann M. Bamforth

KS

Minor Subdivision off a 50-ft Easement

This is a Minor Subdivision Plan for the subdivision of a 5.07-acre +/- parcel of land for the creation of one (1) lot plus residual lands with Lot 2 having access off an existing 40-ft ingress/egress access easement. Lot 1B will consist of 2.004 acres +/- . The parcel is located on the west side of Sand Hill Road (S.C.R 319). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 135-10.00-15.01. Zoning District: AR-1 (Agricultural Residential District). Staff are awaiting agency approvals.

Lands of Matthew L. Smith & Leah B. Wallace

HW

Minor Subdivision off a 50-ft Easement

This is a Minor Subdivision Plan for the subdivision of a 4.25-acre +/- parcel of land for the creation of one (1) lot plus residual lands with Lot 2 having access off a proposed 50-ft ingress/egress access easement. Lot 2 will consist of 2.109 acres +/- . The parcel is located on the east side of Horsey Church Road (S.C.R 510). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 532-12.00-36.01. Zoning District: AR-1 (Agricultural Residential District). Staff are in receipt of all agency approvals.

Lands of Jesse Atkinson

KH

Minor Subdivision off a 40-ft Easement

This is a Minor Subdivision Plan for the subdivision of a 5.07-acre +/- parcel of land for the creation of one (1) lot plus residual lands with proposed Lot 2 having access off a proposed 40-ft ingress/egress

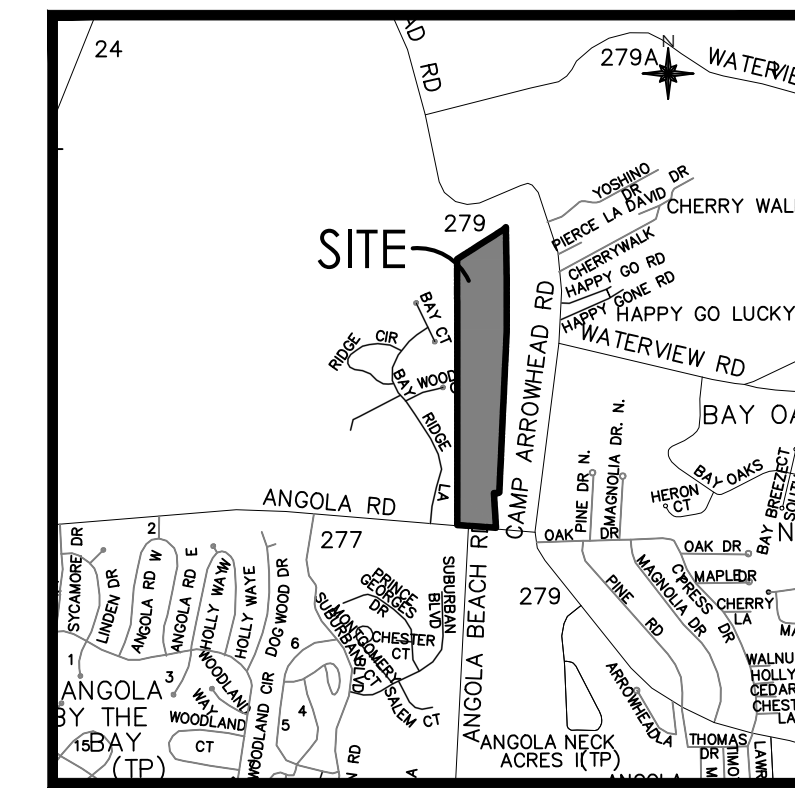
access easement. Lot 1 will consist of 1.14-acres +/- and the residual lands consisting of 3.93 acres +/- . The parcel is located on the west side of Marsh Road (S.C.R 521). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 231-7.00-38.01. Zoning District: AR-1 (Agricultural Residential District). Staff are awaiting agency approvals.

DELDOT GENERAL NOTES

- No landscaping shall be allowed within R/W unless the plans are compliant with Section 3.7 of the Development Coordination Manual (DCM).
- All entrances shall conform to the Delaware Department of Transportation's (DelDOT's) current Development Coordination Manual (DCM) and shall be subject to its approval.
- Shrubbery, plantings, signs and/or other visual barriers that could obstruct the sight distance of a driver preparing to enter the roadway are prohibited within the defined departure sight triangle area established on this plan. If the established departure sight triangle area is outside the right-of-way or projects onto an adjacent property owner's land, a sight easement should be established and recorded with all affected property owners to maintain the required sight distance.
- Upon completion of the construction of the sidewalk or shared-use path across this project's frontage and physical connection to adjacent existing facilities, the developer, the property owners or both associated with this project, shall be responsible to remove any existing road tie-in connections located along adjacent properties, and restore the area to grass. Such actions shall be completed at DelDOT's discretion, and in conformance with DelDOT's "Shared-Use Path and/or Sidewalk Termination Policy".
- Subdivision streets constructed within the limits of the right-of-way are private as shown on this plan and are to be maintained by the Developer, property owners or both. The State of Delaware assumes no maintenance responsibilities for the future maintenance of these streets.
- The shared-use path shall be the responsibility of the developer, the property owners or both within this subdivision. The State of Delaware assumes no responsibility for the future maintenance of the shared-use path.
- All lots shall have access from the internal subdivision street.
- The developer shall be required to furnish and place right-of-way monuments in accordance with DelDOT's Development Coordination Manual.
 - The developer shall be required to furnish and place right-of-way markers to provide a permanent reference for re-establishing the right-of-way and property corners on local and higher order frontage roads. Right-of-way markers shall be set and/or placed along the frontage road right-of-way at property corners and at each change in right-of-way alignment in accordance with Section 3.2.4.2 of the Development Coordination Manual.

RECORD PLAT FOR HAILEY'S GLEN

COUNTY PROJECT NUMBER 2017-17 FORMERLY KNOWN AS "KIELBASA SUBDIVISION" SUSSEX COUNTY, DELAWARE FOR HAILEY DEVELOPMENT, LLC



VICINITY MAP
SCALE: 1" = 2,000'

solutions
INCORPORATED
303 North Bedford Street
Georgetown, DE 19947
T. 302-297-9215
3033 Manhatt Hill Road
Salisbury, MD 21804
T. 410-572-8833
www.solutionsipem.com Copyright © 2018

PLANNING & ZONING COMMISSION
MARTIN L. ROSS, CHAIRMAN
KIM HOEY STEVENSON, VICE CHAIRMAN
R. KELLER HORNBE
DOUGLAS B. HUDSON
ROBERT C. WHEATLEY

Sussex County
DELAWARE
sussexcountyde.gov
302-854-2191
JANELLE M. CORNWELL, AICP
DIRECTOR

May 3, 2018
By email to: jalkewicz@solutionsipem.com

Mr. Jason Palkewicz, P.E.
Solutions IPEM
303 North Bedford Street
Georgetown, DE, 19947

RE: Notice of Decision for Preliminary Subdivision Plan for Hailey's Glen (2017-17) for the subdivision of 68 parcels with site improvements and open space to be located off Angola Road. The property is zoned AR-1 and is within the Environmentally Sensitive Development District Overlay Zone.
Tax Parcel: 234-12.00-11.00

Dear Mr. Palkewicz,

At their meeting on April 12, 2018 the Planning Commission granted **preliminary approval** for the subdivision of 32.3 Acres into 68 single family lots (2017-17).

The Preliminary Subdivision Plan is valid for three (3) years from the date of Planning Commission decision. A Final Subdivision Plan shall be approved within three (3) years of the date of approval of the Preliminary Plan or the action of the Planning Commission shall be deemed canceled. Unless an extension is granted, approval shall be rendered null and void if substantial construction is not commenced within five (5) years of the date of recordation of the final plat.

As part of their motion, the Planning Commission acted to approve the development subject to the following conditions:

- There shall be no more than 68 lots within the subdivision.
- The developer shall establish a homeowner's association responsible for the maintenance of streets, roads, buffers, stormwater management facilities and other common areas.
- The stormwater management system shall meet or exceed the requirements of the State and County. The Final Site Plan shall contain the approval of the Sussex Conservation District for the design and location of all stormwater management areas and erosion and sedimentation control facilities.
- A forested or landscaped buffer of at least 20 feet in depth shall be installed along the entire perimeter of the project. The Final Site Plan shall contain a landscaped plan for all of these areas.
- The subdivision shall be served by Sussex County for sewer service.



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE 19947

Notice of Decision - Hailey's Glen (2017-17)
May 03, 2018
Page 2

- The subdivision shall be served by a publicly regulated central water system providing drinking water and fire protection.
- Street design shall meet or exceed Sussex County standards. This includes County street design requirements for turnarounds along the dead-end roadway.
- The development shall be served by its own on-site active amenities such as a pool and pool house, and not a sharing arrangement with any other nearby development. These amenities shall be centrally located within the project. The location and type of amenities shall be shown on a revised Preliminary Site Plan submitted in accordance with Condition M.
- The developer shall complete all amenities within 2 years of the issuance of the first residential building permit.
- Road naming and addressing shall be subject to the review and approval of the Sussex County Mapping and Addressing Department.
- Deliveries of dirt, fill or other similar materials shall only be made to or from the site between the hours of 8:00 a.m. through 5:00 p.m., Monday through Friday.
- The Final Site Plan shall indicate all forested areas that will be preserved.
- A revised Preliminary Site Plan either depicting or noting these conditions must be submitted to the Office of Planning and Zoning.
- The Final Site Plan shall be subject to the review and approval of the Planning and Zoning Commission.

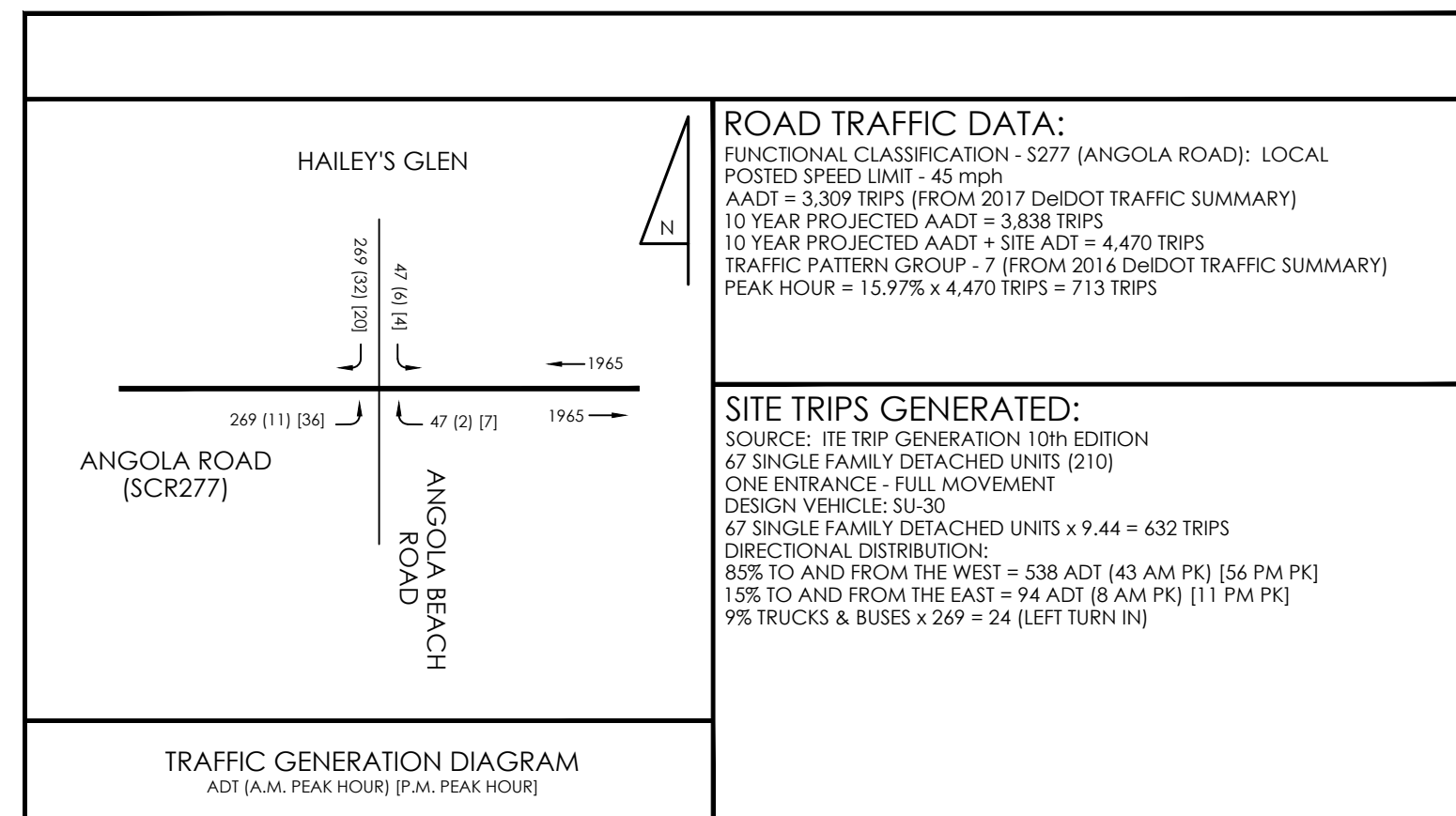
The Final Subdivision Plan must comply Subdivision Code, including submission of agency approval letters to the Planning and Zoning Office. The agency approvals required for Final Subdivision Plan approval include but are not limited to: Sussex County Mapping and Addressing, Sussex Conservation District, DelDOT, and the Office of the State Fire Marshal.

Once all agency approvals have been obtained please submit a minimum of **seven (7) paper copies (11"x17")** to the Planning and Zoning Office for consideration on the next agenda for Planning Commission. It is recommended that two (2) copies of a check print are first submitted to staff for review.

Please feel free to contact me during business hours 8:30am - 4:30pm Monday through Friday at 302-855-7878.

Sincerely,

Jamie Whitehouse
Planner III



SHEET INDEX

- COVER SHEET
- RECORD PLAT A
- RECORD PLAT B
- RECORD PLAT C
- ROAD SECTION AND LANDSCAPING DETAILS

GENERAL NOTES:

- ALL ON-SITE STREETS (INCLUDING PAVEMENT, CURBING AND SIDEWALK) ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER UNTIL DEDICATION TO THE HOMEOWNER'S ASSOCIATION. THE PERPETUAL MAINTENANCE OF THE STREETS SHALL BE BY THE HOMEOWNER'S ASSOCIATION.
- STORMWATER MANAGEMENT AND STORM DRAINAGE SHALL BE IN ACCORDANCE WITH THE SUSSEX COUNTY CONSERVATION DISTRICT AND SUSSEX COUNTY ENGINEERING REQUIREMENTS. MAINTENANCE OF THE ON-SITE STORMWATER MANAGEMENT FACILITIES AND STORM DRAINAGE SYSTEM SHALL BE BY THE OWNER UNTIL DEDICATION TO THE HOMEOWNER'S ASSOCIATION. THE PERPETUAL MAINTENANCE OF THE ABOVE PROACTIVE SHALL BE BY THE HOMEOWNER'S ASSOCIATION.
- ALL OPEN SPACE SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- ALL SUBDIVISION LOTS SHALL HAVE FIVE FOOT WIDE EASEMENTS ALONG ALL LOT LINES FOR A TOTAL EASEMENT WIDTH OF 10 FEET ALONG A LOT LINE COMMON TO TWO LOTS. EASEMENTS ALONG PERIMETER (RIGHT-OF-WAY AND OPEN SPACE) SHALL BE 10 FEET IN WIDTH.
- STREETLIGHTS SHALL BE PROVIDED. LOCATIONS TO BE COORDINATED BETWEEN OWNER AND UTILITY COMPANIES.
- ALL AMENITIES AND LANDSCAPE/FOREST BUFFERS SHALL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
- THE PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS. THE USE OF AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
- THE POTENTIAL FOR INTERCONNECTIVITY TO THE NORTH (CAMP ARROWHEAD ROAD) IS LIMITED BY THE PRESENCE OF WETLANDS ON THE NORTHERNMOST PORTION OF THE PROJECT.
- AN ENTRANCE/COMMUNITY SIGN WILL BE PROVIDED. ANY SIGNAGE WILL REQUIRED A SEPARATE PERMIT.

AREAS:

GROSS ACREAGE = 32.949 ± ACRES
PROPOSED LOT AREA = 13,472 AC ±
PROPOSED ROW AREA = 2,470 AC ±
PROPOSED OPEN SPACE AREA = 16,808 AC ±
16,808 / 32.346 = 51.9%

EXISTING WOODLANDS = 20.4 ± AC
WOODLANDS TO REMAIN = 5.3 ± AC
WOODLANDS TO BE REMOVED = 15.1 ± AC

EXISTING NON-TIDAL WETLANDS = 3.63 ± AC
EXISTING TIDAL WETLANDS = 0.00 AC.

SUSSEX CONSERVATION DISTRICT APPROVAL:

APPROVED BY:

SECRETARY OF PLANNING COMMISSION _____ DATE _____

PRESIDENT OF COUNTY COUNCIL _____ DATE _____

WETLANDS CERTIFICATION

I, EDWARD M. LAUNAY, PWS, STATE THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED UPON THIS PLAN HAVE BEEN DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, ATLANTIC GULF COAST REGIONAL SUPPLEMENT, REGULATIONS AND SUPPLEMENTAL GUIDANCE (33 CFR 328.3 (a)(8), Waters of the U.S. Definition/CCEW-OR: 10-7-1991. Questions and Answers on the 1987 COE Manual/CCEW-OR: 9-26-1990, RGL 90-7/CCEW-OR: 3-6-1992. Clarification and Interpretation of the 1987 Manual). THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES.

EDWARD M. LAUNAY _____ DATE _____
PROFESSIONAL WETLAND SCIENTIST NO. 875
SOCIETY OF WETLAND SCIENTISTS
(CORPS OF ENGINEERS,
CERTIFIED WETLAND DELINEATOR WDCFP93MD05100368)

LEGEND

	EXISTING	PROPOSED
CAPPED PIN SET	N/A	•
PROPERTY LINE	— — — — —	— — — — —
EASEMENT LINE	— — — — —	— — — — —
EASEMENT	N/A	▨ ▨ ▨ ▨ ▨
SETBACK LINE	N/A	— — — — —
EDGE OF WETLAND	ψ	N/A
WETLAND HATCH	▨ ▨ ▨ ▨ ▨	N/A
UNMARKED POINT	•	N/A
IRON PIPE FOUND	○ I/P	N/A
CONCRETE MONUMENT FOUND	□ C/MF	N/A
CAPPED IRON PIPE FOUND	○ I/P/C	N/A
WOODLINE (APPROXIMATE)	N/A	~ ~ ~ ~ ~

SITE DATA:

OWNER/DEVELOPER: SCHELL BROTHERS, LLC
20184 PHILLIPS STREET
REHOBOTH BEACH, DE 19971
PHONE: 302-226-1994
CONTACT: TIM GREEN

ENGINEER: SOLUTIONS IPEM
SURVEYOR: 303 NORTH BEDFORD STREET
GEORGETOWN, DE 19947
PHONE: 302-297-9215
CONTACT: JASON PALKEWICZ, PE

- TAX PARCEL NUMBER: 234-12.00-11.00
- EXISTING ZONING: AR-1 (COASTAL AREA FKA ES-1)
- PROPOSED BUILDING SETBACKS: FRONT: 25' (15' CORNER) SIDE: 10' REAR 10'
- PRESENT USE: AGRICULTURAL
- PROPOSED USE: RESIDENTIAL SUBDIVISION (2017-17)
- SEWER PROVIDER: SUSSEX COUNTY - ANGOLA SANITARY SEWER DISTRICT
- WATER PROVIDER: TIDEWATER UTILITIES, INC.
- TOTAL NUMBER OF LOTS: EXISTING = 1 PROPOSED = 67 (2.07 DU/AC)
- ANGOLA ROAD SPEED LIMIT = 45 MPH
- INVESTMENT LEVEL = 3
- THE SITE IS NOT LOCATED WITHIN THE WELL HEAD PROTECTION AREA § 89-6.
- THE SITE IS LOCATED WITHIN GOOD AND FAIR GROUNDWATER RECHARGE AREAS § 89-7.

OWNER'S CERTIFICATION

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN. THAT THE PLAN WAS MADE AT MY DIRECTION AND I ACKNOWLEDGE THE SAME TO BE MY ACT. AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. I FURTHER WISH TO UNDERSTAND AND ACKNOWLEDGE THAT IT IS THE RIGHT OF THE SUSSEX CONSERVATION DISTRICT AND/OR ITS DELEGATED INSPECTION AGENCIES TO CONDUCT ON-SITE INSPECTIONS.

SURVEYOR'S CERTIFICATION

THIS PLAT AND SURVEY WERE PERFORMED FOR SCHELL BROTHERS, LLC, UNDER MY SUPERVISION, TO THE LOCAL STANDARD OF CARE, AND SUBSTANTIALLY MEET THE "MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING" AS PROMULGATED BY THE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS FOR A SUBURBAN CLASS SURVEY.

SOLUTIONS INTEGRATED PLANNING, ENGINEERING & MANAGEMENT, LLC
by BARRY M. HALL, AGENT

BARRY M. HALL _____ DATE _____
PROFESSIONAL LAND SURVEYOR
DELAWARE NO. 618

Seal
Date

NO.	DATE	DESCRIPTION
1	9/12/19	REVISIONS PER AGENCY COMMENTS
2	5/6/21	REVISIONS PER AGENCY COMMENT LETTER DATED 5/5/21.

COVER SHEET
for
HAILEY'S GLEN
SUSSEX COUNTY, DELAWARE
INDIAN RIVER HUNDRED
SCR 277

Date: 05-14-18
Job Number: 17039
Scale: AS SHOWN
Drawn By: HHB
Designed By: HHB
Approved By: BMH

Sheet No.: 1

File Name: RP.dwg

EASEMENT CURVE TABLE

Table with 6 columns: CURVE, RADIUS, ARC LENGTH, DELTA ANGLE, CHORD BEARING, CHORD LENGTH. Rows C101, C102, C103.

EASEMENT LINE TABLE

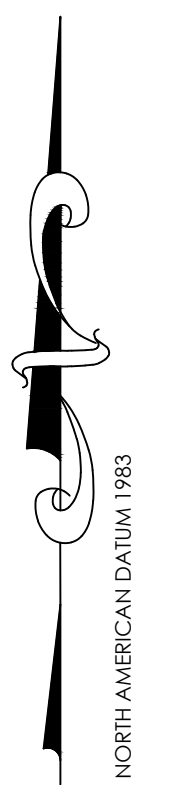
Table with 3 columns: LINE, BEARING, DISTANCE. Rows L24, L25, L26, L27, L28, L29, L30.

PUMP STATION EASEMENT CURVE TABLE

Table with 6 columns: CURVE, RADIUS, ARC LENGTH, DELTA ANGLE, CHORD BEARING, CHORD LENGTH. Rows C100, C104.

PUMP STATION EASEMENT LINE TABLE

Table with 3 columns: LINE, BEARING, DISTANCE. Rows EL15, EL16, EL17, EL18, EL19, EL20, EL21, EL22, EL23.



THE TIDEWATER UTILITIES EASEMENT SHALL EXTEND TO THE EDGE OF THE PROPERTY LINE WHICH IS THE CENTER LINE OF THE CHERRY WALK BRANCH.

WETLAND FLAG COORDINATES

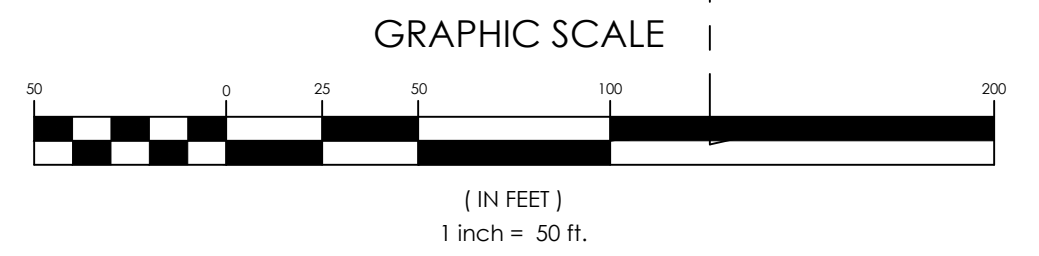
Table with 4 columns: FLAG #, NORTHING, EASTING, ELEVATION. Rows WF 01 through WF 03.

LINE TABLE

Table with 3 columns: LINE, BEARING, DISTANCE. Rows WL1 through WL13.

CURVE TABLE

Large table with 6 columns: CURVE, RADIUS, ARC LENGTH, DELTA ANGLE, CHORD BEARING, CHORD LENGTH. Rows C1 through C76.



Seal
Date

Table with 3 columns: NO., DATE, DESCRIPTION. Rows 1, 2.

RECORD PLAT A
for
HAILEY'S GLEN
SUSSEX COUNTY, DELAWARE
INDIAN RIVER HUNDRED
SCR 277

Table with 4 columns: Date, Job Number, Scale, Drawn By, Designated By, Approved By. Values include 05-14-18, 17039, 1"=50', HBB, HBB, HBB, SF.

Sheet No.: 2
File Name: RP.dwg



Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager; Lauren DeVore, Planner III; Christin Scott, Planner I; Nicholas Torrance, Planner I; Chase Phillips, Planner I; and Elliott Young, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: May 13th, 2021

RE: Other Business for the May 27th, 2021 Planning Commission Meeting

This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the May 27, 2021 Planning Commission meeting.

Hailey's Glen (2017-17) (F.K.A. Kielbasa)

KS

Final Subdivision Plan

This is a Final Subdivision Plan for the subdivision of a 32.366-acre +/- parcel of land into sixty-seven (67) lots with private roads, open space and associated amenities to include a proposed pavilion. The property is located on the north side of Angola Road (S.C.R. 277) and lies within the Henlopen Transportation Improvement District (TID) although it will not be subject to the requirements of the TID as the TID was approved after the application was first submitted and introduced. Additionally, the developer has opted to pay the Area Wide Study Fee in lieu of a Traffic Impact Study (TIS) for the project. The Planning and Zoning Commission approved the Preliminary Subdivision Plan at their meeting of Thursday, April 12, 2018. The Final Subdivision Plan complies with the Sussex County Zoning and Subdivision Code and all Conditions of Approval. Tax Parcel: 234-12.00-11.00. Zoning District: AR-1 (Agricultural Residential Zoning District). Staff are in receipt of all agency approvals.

Baylis Estates (Phase I) Amenities Plan

BM

Preliminary Site Plan

This is a Preliminary Amenities Plan for the Baylis Estates Phase I subdivision. This plan proposes a 4,100 square foot clubhouse, 1,215 square foot in ground pool and fencing, multi-purpose courts and 21 parking spaces. The site is located between Phases I and II as Lots 122 through 126 are currently proposed as part of Phase II. No landscaping is proposed as part of this plan. This Preliminary Amenities Plan complies with the Sussex County Zoning Code. Tax Parcel: 234-29.00-42.00. Zoning District: AR-1 (Agricultural Residential Zoning District). Staff are awaiting all agency approvals.

Frankford Business Park (S-18-56)

HW

Revised Final Site Plan

This is a Revised Final Site Plan for the construction of four single-story warehouse type buildings totaling 84,900 sf. and 10,000 sf. of office space along with two enclosed pipe yards, loading spaces and additional parking and site improvements. The Final Site Plan was previously approved by the Planning and Zoning Commission at its meeting on October 10, 2019. The Revised Final Site Plan is in compliance with the Sussex County Zoning Code. Tax Parcel: 433-11.00-21.02. Zoning: C-1 (General Commercial District) and AR-1 (Agricultural Residential District). Staff are awaiting agency approvals.



Rehoboth Inn (S-20-29) (F.K.A. Carmas Lane Cottages Motel)

KS

Preliminary Site Plan

This is a Preliminary Site Plan for a proposal to renovate two (2) existing hotels to include a total gross square footage of 15,100 square feet. The proposal consists of the renovation of Building “A,” an existing two-story motel and Building “C,” an existing two-story motel, replacing Building “B” with a proposed two-story, 9-unit motel and constructing a proposed 500 square foot addition to Building “C.” The property is located on the south side of Coastal Highway (Route 1) and lies within the Combined Highway Corridor Overlay Zone (CHCOZ). Multiple variances were sought for the property through BOA Case No. 12489 of which the Findings of Fact were approved by the Board of Adjustment on February 15, 2021. The Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 334-19.08-176.00. Zoning District: C-1 (General Commercial Zoning District.) Staff are in receipt of all required agency approvals for this proposal, and therefore, both Preliminary and Final approvals may be granted at the will of the Commission.

S-21-09 DeIDOT – Georgetown Administrative Building

Revised Final Site Plan

This is a Revised Final Site Plan for the expansion of the Delaware Department of Transportation Administrative Building in Georgetown. This plan proposes a 6,651 square foot addition to the existing 14,300 square foot building. Additionally, 48 new parking spaces and crosswalks are proposed to accommodate the increase in square footage of the building. Various landscaping and other site improvements are included as well as drainage upgrades that will be required to meet stormwater management standards and regulations. The property is located on northeastern corner of Dupont Boulevard (Rt. 113) and South Bedford Street (S.C.R. 431) in Georgetown. The site plan complies with the Sussex County Zoning Code. Tax Parcel: 135-23.00-13.00. Zoning District: AR-1 (Agricultural Residential District). Staff are awaiting agency approvals.

Lands of John D. & Ann M. Bamforth

KS

Minor Subdivision off a 50-ft Easement

This is a Minor Subdivision Plan for the subdivision of a 5.07-acre +/- parcel of land for the creation of one (1) lot plus residual lands with Lot 2 having access off an existing 40-ft ingress/egress access easement. Lot 1B will consist of 2.004 acres +/- . The parcel is located on the west side of Sand Hill Road (S.C.R 319). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 135-10.00-15.01. Zoning District: AR-1 (Agricultural Residential District). Staff are awaiting agency approvals.

Lands of Matthew L. Smith & Leah B. Wallace

HW

Minor Subdivision off a 50-ft Easement

This is a Minor Subdivision Plan for the subdivision of a 4.25-acre +/- parcel of land for the creation of one (1) lot plus residual lands with Lot 2 having access off a proposed 50-ft ingress/egress access easement. Lot 2 will consist of 2.109 acres +/- . The parcel is located on the east side of Horsey Church Road (S.C.R 510). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 532-12.00-36.01. Zoning District: AR-1 (Agricultural Residential District). Staff are in receipt of all agency approvals.

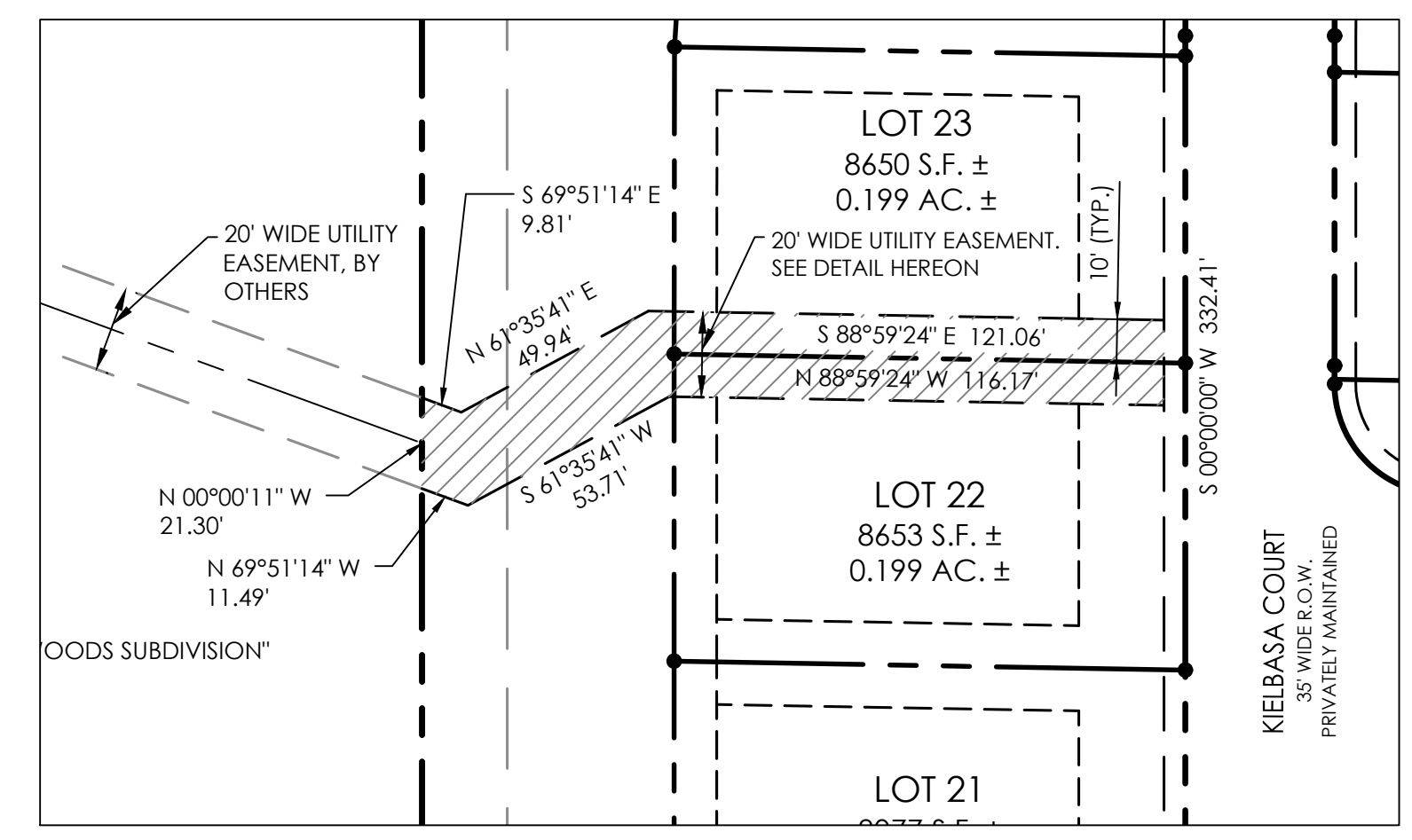
Lands of Jesse Atkinson

KH

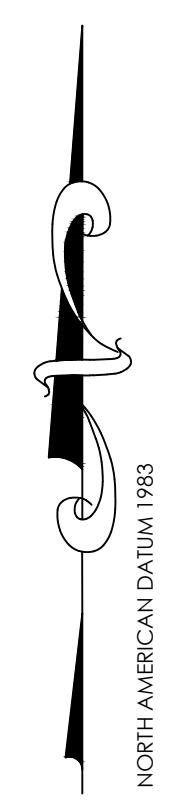
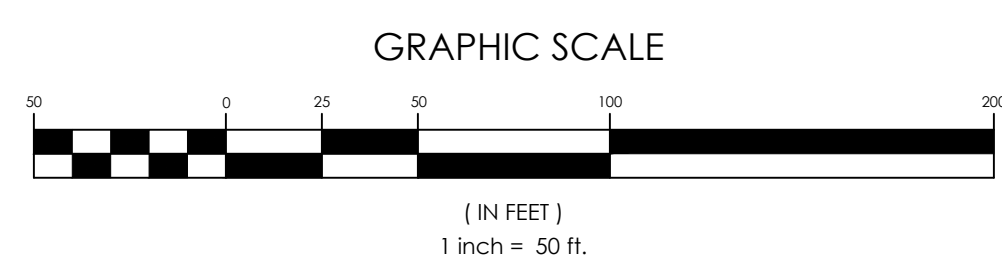
Minor Subdivision off a 40-ft Easement

This is a Minor Subdivision Plan for the subdivision of a 5.07-acre +/- parcel of land for the creation of one (1) lot plus residual lands with proposed Lot 2 having access off a proposed 40-ft ingress/egress

access easement. Lot 1 will consist of 1.14-acres +/- and the residual lands consisting of 3.93 acres +/- . The parcel is located on the west side of Marsh Road (S.C.R 521). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 231-7.00-38.01. Zoning District: AR-1 (Agricultural Residential District). Staff are awaiting agency approvals.



20' WIDE UTILITY EASEMENT DETAIL
SCALE: 1"=40'



Seal _____
Date _____

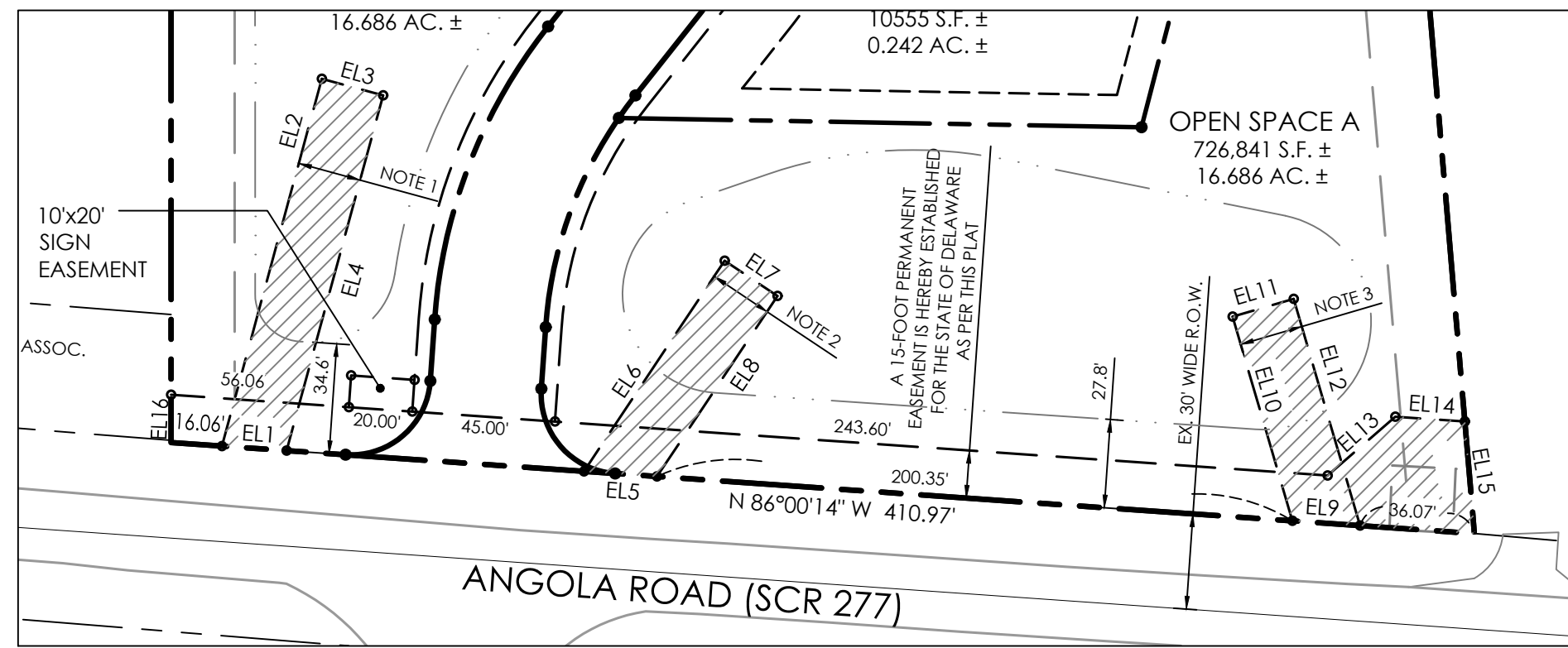
REVISIONS		DESCRIPTION
NO.	DATE	DESCRIPTION
1	9/12/19	REVISIONS PER AGENCY COMMENTS
2	5/16/21	REVISIONS PER AGENCY COMMENT LETTER DATED 5/5/21.

RECORD PLAT B
for
HAILEY'S GLEN
SUSSEX COUNTY, DELAWARE
INDIAN RIVER HUNDRED
SCR 277

Date:	05-14-18	Scale:	1"=50'	Drawn By:	HHB	Designed By:	HHB	Approved By:	SF
Job Number:	17039								

NOTES:

- A 20-FOOT WIDE PERMANENT EASEMENT CONTAINING 2355.54 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAN, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM THE STATE MAINTAINED ROADS AND/OR RIGHT-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.
- A 20-FOOT WIDE PERMANENT EASEMENT CONTAINING 1479.35 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAN, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM THE STATE MAINTAINED ROADS AND/OR RIGHT-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.
- A 20-FOOT WIDE PERMANENT EASEMENT CONTAINING 1412.66 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAN, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM THE STATE MAINTAINED ROADS AND/OR RIGHT-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.



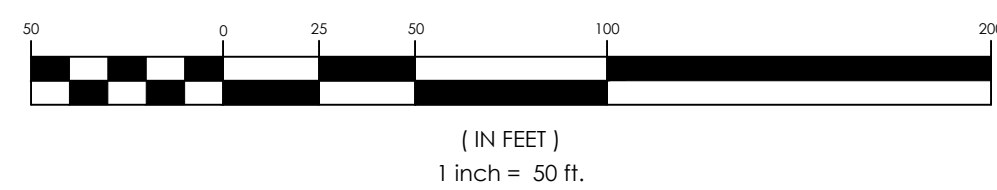
DELDOT STORM DRAIN EASEMENT DETAIL
SCALE: 1"=50'

EASEMENT LINE TABLE

LINE	BEARING	DISTANCE
EL1	N 86°00'14" W	20.39'
EL2	N 15°12'01" E	119.76'
EL3	S 74°47'59" E	20.00'
EL4	S 15°12'01" W	115.80'
EL5	N 86°00'14" W	23.03'
EL6	N 33°43'11" E	79.68'
EL7	S 56°16'49" E	20.00'
EL8	S 33°43'11" W	68.26'
EL9	S 86°00'14" E	21.33'
EL10	N 16°19'14" W	66.93'
EL11	N 73°40'46" E	20.00'
EL12	S 16°19'14" E	74.34'
EL13	N 48°59'44" E	28.22'
EL14	S 86°00'14" E	21.94'
EL15	S 04°52'21" E	25.38'
EL16	N 00°00'11" W	15.04'

LINE	BEARING	DISTANCE
L1	S 03°59'44" W	19.39'
L2	N 03°59'46" E	19.39'

GRAPHIC SCALE



solutions
LAND SURVEYING & ENGINEERING

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Salisbury, MD 21804
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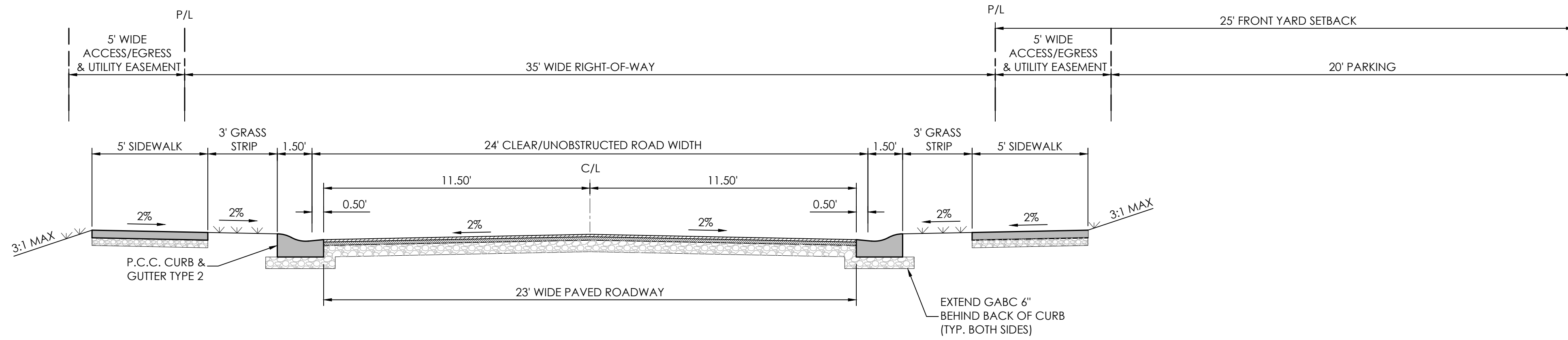
Seal _____
Date _____

REVISIONS		DESCRIPTION
NO.	DATE	REVISIONS PER AGENCY COMMENTS
1	9/12/19	REVISIONS PER AGENCY COMMENT LETTER DATED 5/5/21.
2	5/16/21	REVISIONS PER AGENCY COMMENT LETTER DATED 5/5/21.

RECORD PLAT C
for
HAILEY'S GLEN
SUSSEX COUNTY, DELAWARE
INDIAN RIVER HUNDRED
SCR 277

Date:	05-14-18	Scale:	1"=50'	Drawn By:	HHB	Approved By:	SF
Job Number:	17039	Scale:	1"=50'	Drawn By:	HHB	Approved By:	SF
Scale:	1"=50'	Drawn By:	HHB	Designed By:	HHB	Approved By:	SF

Sheet No.: _____
File Name: RP.dwg



RESIDENTIAL STREET - 35' R/W
NOT TO SCALE

- NOTES:
1. PROVIDE 4" OF TOPSOIL COVERED WITH SEED AND MULCH ON PROPOSED GRASS AREAS.
 2. SUBBASE AND SUBGRADE SHALL BE COMPACTED TO 95% OF ASTM D1557, MODIFIED PROCTOR METHOD.

LANDSCAPE BUFFER

- NOTES:
1. THE LANDSCAPE AND/OR FOREST BUFFERS SHALL BE INSTALLED WITHIN 18 MONTHS FROM THE DATE SITE WORK IS AUTHORIZED TO COMMENCE, AS DOCUMENTED BY A NOTICE TO PROCEED LETTER FROM THE COMMISSION.
 2. THE LAND DEVELOPER SHALL BE RESPONSIBLE FOR THE HEALTH AND SURVIVAL OF THE TREES, INCLUDING REGULAR NECESSARY WATERING FOR A MINIMUM OF 2 YEARS OR UNTIL SUCH LATER DATE AS THE MAINTENANCE RESPONSIBILITIES ARE TRANSFERRED TO A CONDOMINIUM ASSOCIATION; PROVIDED, HOWEVER THAT THE DEVELOPER SHALL REPLACE AND TREES THAT DIE DURING THE MINIMUM 2 YEAR DEVELOPER MAINTENANCE PRIOR TO TRANSFERRING MAINTENANCE RESPONSIBILITIES TO A CONDOMINIUM ASSOCIATION.
 3. ADDITIONAL INFORMATION AS TO HOW THE LANDSCAPE / FORESTED BUFFERS ARE TO BE MAINTAINED IN PERPETUITY, SHALL BE INCLUDED IN THE RESTRICTIVE COVENANTS AND/OR CONDOMINIUM ASSOCIATION DOCUMENTS.
 4. PURSUANT WITH SUSSEX COUNTY CODE SECTION 99-5, THE 20' WIDE LANDSCAPE BUFFER SHOWN IN THIS PLAN MUST BE PLANTED WITH A MIX OF 70% DECIDUOUS AND 30% EVERGREEN TREES, THE MAJORITY OF WHICH SHALL BE SUITABLE TREES OF COMMON LOCAL SPECIES. EVERY 100' OF BUFFER SHALL INCLUDE A MINIMUM OF 15 TREES.
 5. ALL DECIDUOUS TREES THAT ARE PLANTED TO ESTABLISH THE BUFFER PLANTINGS SHALL HAVE A MINIMUM CALIPER OF 1.5 INCHES AND A MINIMUM HEIGHT OF SIX FEET ABOVE GROUND WHEN PLANTED IN ORDER TO INSURE THAT THE TREES WILL BE CAPABLE OF OBTAINING A MINIMUM HEIGHT OF 10 FEET ABOVE GROUND WITHIN FIVE YEARS OF BEING PLANTED.
 6. ALL EVERGREEN TREES THAT ARE PLANTED TO ESTABLISH THE BUFFER PLANTINGS SHALL HAVE A MINIMUM HEIGHT OF FIVE FEET ABOVE GROUND WHEN PLANTED IN ORDER TO INSURE THAT THEY ARE REASONABLY CAPABLE OF ATTAINING A MINIMUM HEIGHT OF 10 FEET ABOVE GROUND WITHIN FIVE YEARS OF BEING PLANTED.
 7. THE TREES SHALL BE PLANTED IN A STAGGERED NATURAL MANNER, THE PROCEDURES AND DETAILS FOR PLANTING NEW TREES SHALL BE SPECIFIED BY THE LANDSCAPE ARCHITECT ON THE PLAN SUBMITTED TO AND APPROVED BY THE COMMISSION AND SHALL INCLUDE THE REQUIREMENT THAT THE BUFFER AREA SHALL HAVE A FINAL GRADE THAT CONTAINS A MINIMUM OF FOUR INCHES OF TOPSOIL AND A SUITABLE GRASS MIX PLANTED AS SACRIFICIAL COVER BETWEEN THE BUFFER TREES FOR SOIL STABILIZATION UNTIL THE NEWLY PLANTED TREES BECOME LARGER. THE PLAN MAY SUBSTITUTE WOODCHIPS FOR PLANTED GRASS BETWEEN THE BUFFER TREES IN RESPECT TO BOTH NEWLY PLANTED AND EXISTING TREES, AS DETERMINED BY THE LANDSCAPE ARCHITECT

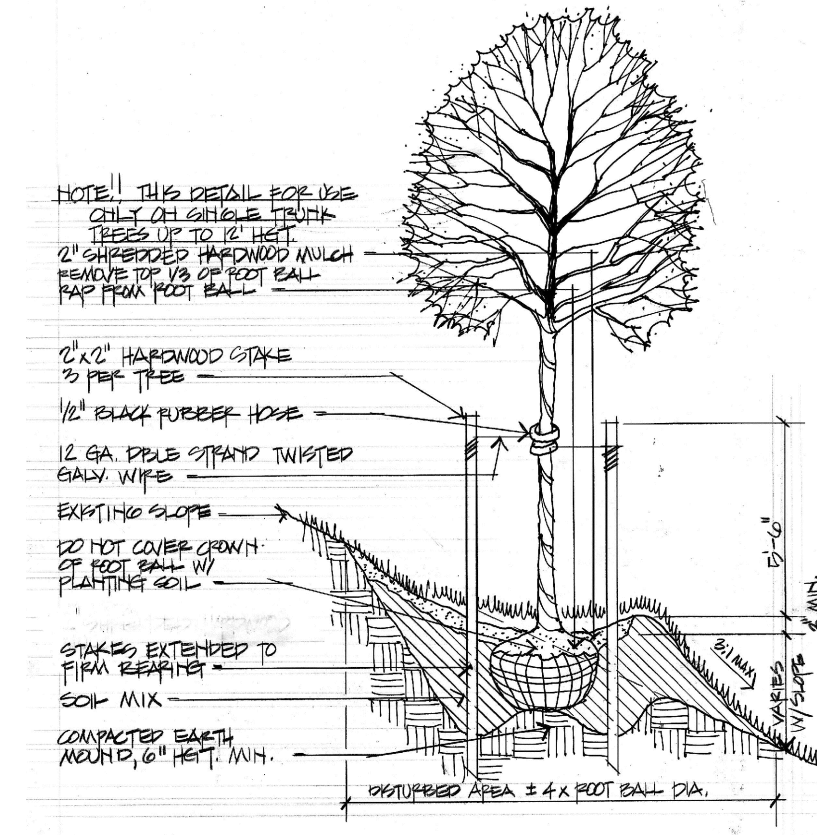
LANDSCAPE SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATION
180	#1	Acer rubrum	RED MAPLE	1 1/2" CAL., 6' HGT. MIN.
174	#2	Quercus phellos	WILLOW OAK	1 1/2" CAL., 6' HGT. MIN.
160	#3	Quercus rubra	RED OAK	1 1/2" CAL., 6' HGT. MIN.
108	#4	Ilex opaca	AMERICAN HOLLY	5' HGT. MIN.
97	#5	Picea abies	NORWAY SPRUCE	5' HGT. MIN.
96	#6	Pinus virginiana	VIRGINIA PINE	5' HGT. MIN.

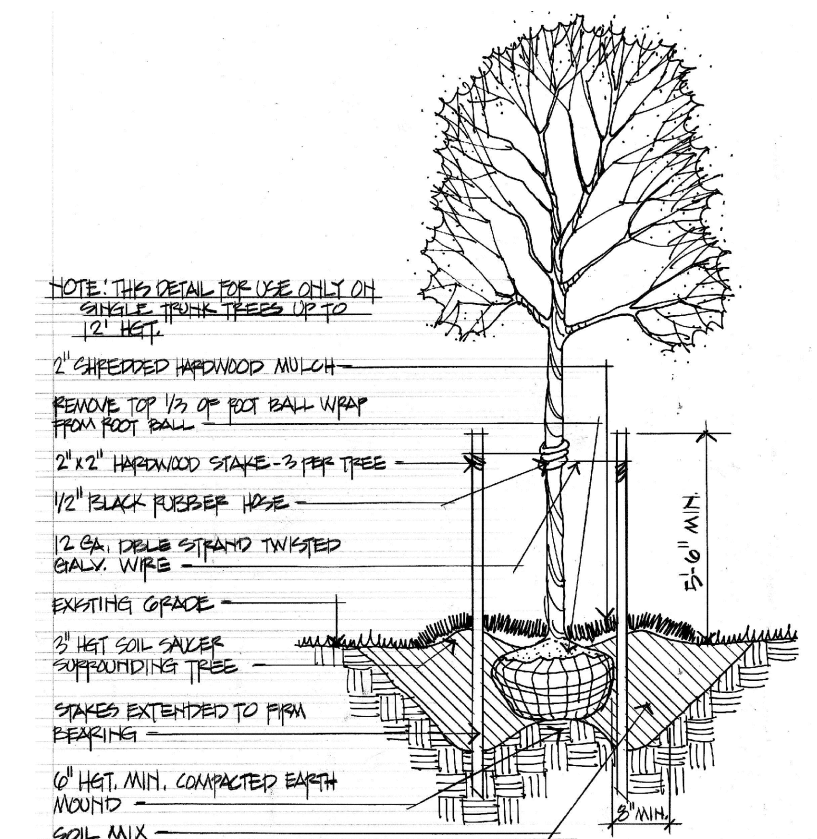
SUBSTITUTIONS:

BOTANICAL NAME	COMMON NAME	SPECIFICATION
Acer saccharum	SUGAR MAPLE	1 1/2" CAL., 6' HGT. MIN.
Chamaecyparis thyoides	ATLANTIC WHITECEDAR	5' HGT. MIN.
Crataegus viridis 'Winter King'	WINTER KING GREEN HAWTHORN	1 1/2" CAL., 6' HGT. MIN.
Liriodendron tulipifera	TULIP TREE	1 1/2" CAL., 6' HGT. MIN.
Pinus strobus	WHITE PINE	5' HGT. MIN.
Pinus taeda	LOBLOLLY PINE	5' HGT. MIN.
Quercus alba	WHITE PINE	1 1/2" CAL., 6' HGT. MIN.
Quercus coccinea	SCARLET OAK	1 1/2" CAL., 6' HGT. MIN.
Taxodium distichum	BALD CYPRESS	1 1/2" CAL., 6' HGT. MIN.
Magnolia virginiana	SWEETBAY MAGNOLIA	5' HGT. MIN.
Juniperus virginiana	EASTERN RED CEDAR	5' HGT. MIN.
Platanus acerifolia	LONDON PLANE TREE	1 1/2" CAL., 6' HGT. MIN.
Nyssa sylvatica	BLACK GUM	1 1/2" CAL., 6' HGT. MIN.
Salix babylonica	WEeping WILLOW	1 1/2" CAL., 6' HGT. MIN.

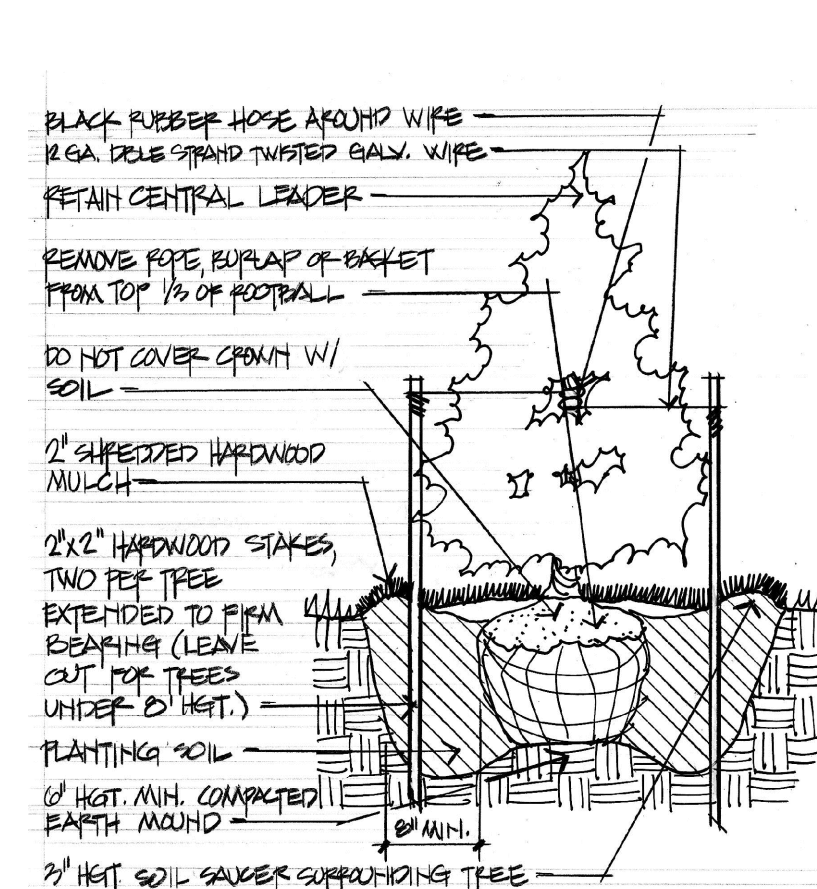
IF SUBSTITUTIONS ARE MAKE, ONLY SUBSTITUTE DECIDUOUS FOR DECIDUOUS OR EVERGREEN FOR EVERGREEN TO MAINTAIN REQUIRED MIX.



TREE PLANTING ON SLOPE DETAIL



DECIDUOUS TREE PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL



LANDSCAPE ARCHITECT'S CERTIFICATION
I HEREBY CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED UNDER MY SUPERVISION.
Lee Ann Schnappinger Bridgman 5-7-21
LEE ANN SCHNAPPINGER BRIDGMAN, RLA DATE
BRIDGMAN LANDSCAPE ARCHITECTURE, LLC

Seal
Date

NO.	DATE	DESCRIPTION
1	9/12/19	REVISIONS PER AGENCY COMMENTS
2	5/16/21	REVISIONS PER AGENCY COMMENT LETTER DATED 5/5/21.

ROAD SECTION AND LANDSCAPING DETAILS
for
HAILEY'S GLEN
SUSSEX COUNTY, DELAWARE
INDIAN RIVER HUNDRED
SCR 277

Date:	05-14-18	Job Number:	17039	Scale:	NONE	Drawn By:	HHB	Designed By:	HHB	Approved By:	SF
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Sheet No.: **5**

File Name: RP.dwg

2017-17 Haileys Glen (also known as Kielbasa) – David K. Kielbasa and Terry Jan

Kielbasa This is a cluster/ESDDOZ subdivision. The cluster/ESDDOZ subdivision proposes to subdivide 32.3 +/- acres into sixty-eight (68) single family lots. The property is located on the north side of Angola Rd. and across from Angola Beach Rd. Zoning: AR-1 (Agricultural Residential District). 911 Address: 33199 Angola Rd., Millsboro. Tax Map I.D. 234-12.00-11.00

Ms. Cornwell advised the Commission that submitted into the record were an exhibit booklet, subdivision plan, staff analysis, TAC, comments from the Sussex Conservation District, DNREC of Fish and Wildlife, Division of Groundwater Discharge, Sussex County Engineering Utility Planning Division, Delaware Electric Co-op, Office of State Fire Marshal, Sussex County Mapping and Addressing Department, DelDOT, USDA Natural Resource Conservation Service, PLUS, Ms. Cornwell also advised that a waiver is required for the dead end street due to its length and two petitions in opposition.

The Commission found that William Scott, Attorney with Scott and Shuman, Mike Fitzgerald with Hailey Development, the applicant, and Frank Kea and Jason Palkewicz with Solutions IPEM were present of behalf of the application; that Mr. Scott stated that this is a cluster/ESDDOZ subdivision; that they are proposing 68 lots with active and passive open space on 32.3 +/- acres; that the density is 2.1 homes per acre; that average lot size is 8,500 square feet; that the property is located on Angola Road; that the property is zoned AR-1 with ESDDOZ; that the property is currently a combination of farmland, woodland and some non-tidal wetlands; that the property is adjacent to Bay Ridge Woods Community (single family homes) and farmland; that the Land Use classification per the Comprehensive Plan is Environmentally Sensitive Developing Area; that the site is located in State Strategy Level 3 with a small portion in 4; that there is no ability for interconnectivity but an emergency access is provided; that there will be turn arounds every 800 feet; that no TIS was required but there are improvements required; that Mr. Palkewicz stated there will be a 20 foot buffer around the development; that a 50 foot setback is provided from the existing agricultural land to the east; that the lots are 20 to 40 feet away from the property line; that infiltration practices are proposed to manage stormwater and stormwater will drain into the wetlands in the back; that no lots will be within 80 feet of the wetlands; that the only woodland to be removed will be for roads and lots; that they have talked to DelDOT and they will have to put a left turn lane into the site and into Angola Beach, and other improvements, that it is an almost an infill lot; that Marsh Farm has not been constructed; that Middle Creek is a cluster community; that Angola Bay is a dense community; that there is 44% open space; that there is a proposed small amenity feature; that Chapter 99-9C is explained in the exhibit booklet; that HOA documents were provided; that they have proposed that this subdivision will be able to use Marsh Farm Estates amenities; that Mr. Scott stated 5.4 acres of forested area will be maintained; that the density is in line with the area; that they have provided a draft of proposed conditions and findings of fact; that the streets are 24 feet wide; that the amenity has not yet been determined and the market will determine a better concept for the final site plan; that there is an old borrow pit within the trees; that they are keeping the perimeter with trees and maintaining the wetlands; that the lots will be sold as home packages; that there is no intent to cross wetlands for access to Marsh Farm Estates; that residents will have to drive to those amenities; that there will be sidewalks on both sides and street lights; that they will talk to the post office for central box location; and that they will talk to the school district about a bus stop.

The Commission found that there were no parties in favor of this application.

The Commission found Edward Crawford, Roger Edwards, June Santos, Jens Wegscheider, Eric Quigley, Richard Raynic, Leonard Ullman, Carolyn Adkins Quigley, Curt Smith, Jerry Sideman, Judy Mangini, Carol Hughes, Gretchen Klein, Dawn Quigley and Jerome Arniti spoke in opposition to the application; that Mr. Crawford stated he has a nice forested view now and this would create a dense subdivision adjacent to his property; that this will decrease property values; that this is a bad plan; that it is a very narrow site; that this may conform to the letter of the law but it is deficient to intent of the cluster development; that most of the trees will be cut and the only trees that will be left are by the creek which is a very important wildlife corridor; that the area was used as an old borrow pit; that there will be little recreation area; that there is no quality or open space; that he has concerns with the HOA; that he has concerns with traffic; that Mr. Edwards stated he has problems with dense construction; that he has concerns with open space; that they should think about children and have a place for cars for the school bus stop; that he has concerns with encouraging access road; that this is not needed; that Ms. Santos stated she has concerns with traffic; that there is no emergency access out of the parcel; that there are already 380 homes approved on Angola Road and over 300 off of Camp Arrowhead Road and she does not think the roads are wide enough; that she has concerns with home values; that she has concerns with mosquitos from the stormwater management ponds; that Mr. Wegscheider stated he has concerns with sewer and will they have their own pump stations; that people don't want small lots with no trees; that there are 3,000 new homes approved within a 3 miles radius; that he has concerns with sharing amenities; that 314 homes have been approved in Middle Creek Preserve on Angola Road; that he has concerns with traffic and emergency evacuation access; that Mr. Quigley stated he believes there are Indian Artifacts on the site; that Mr. Raynic stated he has concerns with developments occurring; that he has concerns with sprawl; that Mr. Ullman stated he has issues with the emergency access and with other roads; that Ms. Carolyn Adkins Quigley stated she has concerns with emergency access; that Mr. Smith stated there are a number of developments in the area; that this is in a bad location; that Mr. Sideman stated this will destroy the character of the area; that this will destroy the land; that this is a bad design; that there will be loss of wildlife habitat; that Ms. Mangini stated she has concerns with changes to the area; that there are lots of houses already built; that there needs to be a moratorium; that Ms. Hughes stated this is not consistent with the area; that she has concerns with stormwater management; that Ms. Klein stated she has concerns with wetlands; that Ms. Quigley stated she wants to know what the white item is on the plan which is the pump station; that has there been historical research; that she has concerns with the number of kids into the school system which is already crowded; that there is lack of open space; that there is no emergency access on the road; and that Mr. Arniti stated he has concerns with flooding.

Mr. Scott stated they did not identify any significant historical areas on the site and if they find any, they will have to comply with the state; that Marsh Farm Estates will be made aware of shared amenities; that this is a similar density to Marsh Farm Estates; that the price range is in the upper \$300,000 range; and that there is no plan to market to any one area.

At the conclusion of the public hearings, the Commission discussed this application.

Motion by Mr. Hudson, seconded by Ms. Stevenson, and carried unanimously to defer action for further consideration. Motion carried 5-0.

C/U #2119 Chad Hayes

MINUTES OF THE REGULAR MEETING OF MARCH 22, 2018

The regular meeting of the Sussex County Planning and Zoning Commission was held on Thursday evening, March 22, 2018 in the County Council Chamber, Sussex County Administration Office Building, Georgetown, Delaware.

The meeting was called to order at 6:00 p.m. with Chairman Ross presiding. The following members of the Commission were present: Mr. Martin Ross, Ms. Kim Hoey-Stevenson, Mr. Doug Hudson, Mr. Keller Hopkins, Mr. Robert Wheatley-absent, with Mr. Vince Robertson – Assistant County Attorney, Ms. Janelle Cornwell – Director, Mrs. Jennifer Walls – Planning Manager, and Mr. Jamie Whitehouse - Planner III.

Motion by Ms. Stevenson, seconded by Mr. Hudson, and carried unanimously to approve the Agenda as posted. Motion carried 4-0.

Motion by Mr. Hudson, seconded by Mr. Hopkins, and carried unanimously to approve the Minutes for February 22, 2018 and March 8, 2018 as revised. Motion carried 4-0.

OLD BUSINESS

2017-17 Haileys Glen (also known as Kielbasa) – David K. Kielbasa and Terry Jan Kielbasa This is a cluster/ESDDOZ subdivision. The cluster/ESDDOZ subdivision proposes to subdivide 32.3 +/- acres into sixty-eight (68) single family lots. The property is located on the north side of Angola Rd. and across from Angola Beach Rd. Zoning: AR-1 (Agricultural Residential District). 911 Address: 33199 Angola Rd., Millsboro. Tax Map I.D. 234-12.00-11.00

The Planning Commission discussed the application which had been deferred since March 8, 2018.

The Planning Commission discussed concerns with the road for the emergency access; that the only one way in with bump outs has been provided; that they prefer full turn arounds but will defer to the Fire Marshal's determination; that there is a lack of amenities provided on site; that shared amenities with neighboring communities is a concern due to fairness and there is the potential for parking shortage for the amenities; that provision of onsite amenities is intended to reduce traffic on the roads; and that there may be an option for connecting to neighboring amenities; however, wetlands may be impacted.

Motion by Mr. Hudson, seconded by Ms. Stevenson and carried unanimously to defer action for further consideration. Motion carried 4-0.

C/U #2119 Chad Hayes

An Ordinance to grant a Conditional Use of land in an AR-1 (Agricultural Residential District) for automotive sales with minor repairs and contractor office with storage to be located on a certain parcel of land lying and being in Georgetown Hundred, Sussex County, containing 0.909 acres, more or less. The property is located on the north side of Lewes-Georgetown Hwy. (Rt. 9) approximately 812 ft. east of Sand Hill Rd. 911 Address: 22091 Lewes-Georgetown Hwy., Georgetown. Tax Map I.D. 135-15.00-40.00

The Planning Commission discussed the application which had been deferred since March 8,

MINUTES OF THE REGULAR MEETING OF APRIL 12, 2018

The regular meeting of the Sussex County Planning and Zoning Commission was held on Thursday evening, April 12, 2018 in the County Council Chamber, Sussex County Administration Office Building, Georgetown, Delaware.

The meeting was called to order at 6:00 p.m. with Chairman Ross presiding. The following members of the Commission were present: Mr. Martin Ross, Ms. Kim Hoey-Stevenson, Mr. Doug Hudson, Mr. Keller Hopkins, Mr. Robert Wheatley, with Mr. Vince Robertson – Assistant County Attorney, Ms. Janelle Cornwell – Director, Mrs. Jennifer Walls – Planning Manager - absent, and Mr. Jamie Whitehouse - Planner III.

Motion by Ms. Stevenson, seconded by Mr. Hopkins, and carried unanimously to approve the Agenda as posted. Motion carried 5-0.

Motion by Ms. Stevenson, seconded by Mr. Hudson, and carried unanimously to approve the Minutes for March 22, 2018 as submitted. Motion carried 5-0.

OLD BUSINESS

2017-17 Haileys Glen (also known as Kielbasa) – David K. Kielbasa and Terry Jan Kielbasa

This is a cluster/ESDDOZ subdivision. The cluster/ESDDOZ subdivision proposes to subdivide 32.3 +/- acres into sixty-eight (68) single family lots. The property is located on the north side of Angola Rd. and across from Angola Beach Rd. Zoning: AR-1 (Agricultural Residential District). 911 Address: 33199 Angola Rd., Millsboro. Tax Map I.D. 234-12.00-11.00

The Planning Commission discussed the application which had been deferred since March 8, 2018.

Mr. Hudson moved that the Commission grant preliminary approval for Subdivision 2017-17 for Haileys Glen (also known as Kielbasa) – David A. Kielbasa and Terry Jan Kielbasa based upon the record made during the Public Hearing and for the following reasons;

1. The Applicant is seeking approval of a subdivision within the Environmentally Sensitive Developing Area and the AR-1 Zoning District. The Applicant is seeking clustered lots with a minimum area of 7,500 square feet.
2. The proposed subdivision will have no more than 68 lots on approximately 32.3 acres. This results in a density that is within the maximum density permitted in the AR-1 zone for a project within the Environmentally Sensitive Developing Area.
3. This subdivision will not have a significant impact on the neighboring properties or area roadways.
4. The proposed subdivision meets the purpose and standards of the Subdivision Code, and the applicant has addressed the requirements of Section 99-9C of the Code.
5. The project will be served by central water and sewer.
6. The development complies with the Sussex County Comprehensive Plan as a low density, single family dwelling subdivision.
7. The development will include approximately 14.5 acres of open space which is 44% of the site. Part of this open space includes 5.3 acres of forested areas and 3.0 acres of wetlands.

8. The subdivision shall not share any amenities with other nearby subdivisions. That arrangement as proposed by the applicant creates a dangerous situation for children and families having to travel on two different County roads to access their pool or clubhouse. And, it would create unnecessary traffic in the area. It is not a workable proposal for this project.
9. This preliminary approval is subject to the following:
 - A. There shall be no more than 68 lots within the subdivision.
 - B. The developer shall establish a homeowner's association responsible for the maintenance of streets, roads, buffers, stormwater management facilities and other common areas.
 - C. The stormwater management system shall meet or exceed the requirements of the State and County. The Final Site Plan shall contain the approval of the Sussex Conservation District for the design and location of all stormwater management areas and erosion and sedimentation control facilities.
 - D. A forested or landscaped buffer of at least 20 feet in depth shall be installed along the entire perimeter of the project. The Final Site Plan shall contain a landscaped plan for all of these areas.
 - E. The subdivision shall be served by Sussex County for sewer service.
 - F. The subdivision shall be served by a publicly regulated central water system providing drinking water and fire protection.
 - G. Street design shall meet or exceed Sussex County standards. This includes County street design requirements for turnarounds along the dead-end roadway.
 - H. The development shall be served by its own on-site active amenities such as a pool and pool house, and not a sharing arrangement with any other nearby development. These amenities shall be centrally located within the project. The location and type of amenities shall be shown on a revised Preliminary Site Plan submitted in accordance with Condition M.
 - I. The developer shall complete all amenities within 2 years of the issuance of the first residential building permit.
 - J. Road naming and addressing shall be subject to the review and approval of the Sussex County Mapping and Addressing Department.
 - K. Deliveries of dirt, fill or other similar materials shall only be made to or from the site between the hours of 8:00 a.m. through 5:00 p.m., Monday through Friday.
 - L. The Final Site Plan shall indicate all forested areas that will be preserved.
 - M. A revised Preliminary Site Plan either depicting or noting these conditions must be submitted to the Office of Planning and Zoning.
 - N. The Final Site Plan shall be subject to the review and approval of the Planning and Zoning Commission.

Motion by Mr. Hudson, seconded by Mr. Hopkins and carried unanimously to grant Preliminary approval with Final Site Plan approval by Planning and Zoning Commission. Motion carried 5-0.

2017-20 The Grove at Love Creek - J.G. Townsend, Jr. & Co.

This is a cluster/ESDDOZ subdivision. The cluster/ESDDOZ subdivision proposes to subdivide 200.69 +/- acres into two-hundred forty-seven (247) single family lots, amenities and site improvements to be located on a certain parcel of land lying and being in Lewes and Rehoboth Hundred, Sussex County. The property is located on the south sides of Ward Rd. (Rd. 283A) and Cedar Grove Rd. and east of Mulberry Knoll Rd. (Rd. 284). The subdivision is zoned AR-1 (Agricultural Residential District) and GR (General Residential District). 911 Address: None

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878
302-854-5079 F
JAMIE WHITEHOUSE, AICP MRTPI
PLANNING & ZONING DIRECTOR

May 18, 2021

Mr. Jason Palkewicz, P.E.
Solutions, IPEM, LLC
303 North Bedford Street
Georgetown, DE 19947

By email to: jpalkewicz@solutionsipem.com

RE: Staff Review of the Check Print of the Final Subdivision Plan for Hailey's Glen (2017-17) (F.K.A. Kielbasa) for the subdivision of a 32.366-acre +/- parcel of land into sixty-seven (67) lots with private roads, open space and associated amenities to include a proposed pavilion and located on the north side of Angola Road (S.C.R. 277).
Tax Parcel: 234-12.00-11.00

Dear Mr. Palkewicz,

Further to your submission of March 30, 2021, the Planning and Zoning Department has reviewed the submitted Check Print of the Final Subdivision Plan for the subdivision of a 32.366-acre +/- parcel of land into sixty-seven (67) lots with private roads, open space and associated amenities to include a pavilion and located on the north side of Angola Road (S.C.R. 277). The parcel is zoned Agricultural Residential (AR-1) Zoning District. The parcel also lies within the Coastal Area per Sussex County's 2019 Comprehensive Plan and is located within the Henlopen Transportation Improvement District (TID) (although it will not be subject to the requirements of the Henlopen TID, as the TID was approved after the application was first introduced.) Staff have reviewed the proposed subdivision plan for compliance with the Sussex County Zoning and Subdivision Code and have the following comments:

Final Subdivision Plan

1. Please add the County Project Reference Number to the top center of the proposed plans. The County Project Reference Number for this project is Subdivision (2017-17).
2. The Site Data Column indicates that the owner of the property is Schell Brothers, LLC. However, the County's Online Mapping System demonstrates that the current Property Owner is Mr. David Kielbasa. Please confirm that this information is correct to ensure that the Owner's Certification is also correct and signed by the current owner of the subject property.



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE 19947

3. Please fix the minor grammatical error on Sheet No. 2 for Tax Parcel ID: 234-12.00-22.00 shown at the top of the plans to reflect this parcel as being zoned “AR-1 Zoning.”
4. Please fix the minor grammatical error on Sheet Numbers 2 and 3 showing the Property Owner of Tax Parcel ID 234-12.00-262.00 as “Diane Alizabeth Ogden” to “Diane Elizabeth Ogden.”
5. Parcel 9.02 does not appear to be shown on Sheet No. 2. Please show the general metes and bounds and location of this parcel as well as the current Property Owner of this parcel on the plans.
6. Parcel 9.06 appears to be missing on Sheet No. 3. Please show the general metes and bounds and location of this parcel as well as the current Property Owner of this parcel on the plans.
7. Please include in the Site Data Column that the Project is not located within a Wellhead Protection Area in order to comply with Chapter 89 “Source Water Protection” of the Sussex County Code (§89-6).
8. Please include in the Site Data Column that the project is located within an area of “Good” and “Fair” Groundwater Recharge Potential in order to comply with Chapter 89 “Source Water Protection” of the Sussex County Code (§89-7).
9. Please include a breakdown of tidal vs. non-tidal wetland totals in the Site Data Column as well as those wetlands which are under the Delaware Department of Natural Resources and Environmental Control’s (DNREC’s) (State) jurisdiction and those which are under the Army Corp. of Engineers’ (Federal) jurisdiction.
10. Please show the surrounding parcels to the west of the subject property as being within the Bay Ridge Woods Subdivision. Please note that the names of adjacent subdivisions shall be shown on the plans (§99-26(A)(6)).
11. Please note that all street names shall be approved by the Sussex County Department of Mapping and Addressing prior to final approval of the project (§99-26(A)(7)).
12. Please note in the Site Data Column that the proposed subdivision is not located within a Wellhead Protection Area to comply with Chapter 89 “Source Water Protection” of the Sussex County Code (§89-6).
13. Please note in the Site Data Column that the proposed subdivision is located within an area of “Good” and “Fair” Groundwater Recharge Potential to comply with Chapter 89 “Source Water Protection” of the Sussex County Code (§89-7).
14. Please include the locations, dimensions and purposes of any other property offered for dedication or to be reserved for acquisition for public use or to be reserved by deed covenant for the common use of property owners in the subdivision (§99-26(A)(11)).
15. Please include a breakdown of the open space on the plans (Open Space “A,” “B,” “C,” etc.) and the purpose of all open space areas. Please also add the percentage of impervious surface cover area in the Site Data Column (§99-26(A)(19)).

16. Please show the location of any proposed lighting within the subdivision.
17. Please include in the General Notes Column that any signage that is proposed will require a separate permit from the County.
18. Please ensure that the 20-ft forested/landscape buffer meets the provisions of §99-5 of the Sussex County Code is shown around the entire perimeter of the site to be developed. Please note that the 20-ft width shall be exclusive of any proposed stormwater management areas or facilities, open space, etc. A landscape plan for the buffer shall be designed and certified by a licensed landscape forester or architect designated by the Society of American Foresters as a “certified forester.” The certification should be included on any Final Subdivision Plan.
19. Prior to approval of the Final Site Plan, approval letters or letters of no objection from the following agencies shall be submitted to the Sussex County Planning and Zoning Office:
 - a. **Sussex Conservation District**
 - b. **Office of State Fire Marshal**
 - c. **Delaware Department of Transportation (DelDOT)**
 - d. **Sussex County Engineering Department**
 - e. **Sussex County Mapping and Addressing Department**
 - f. **Office of Drinking Water (Public Health)**
 - g. **The local school district regarding bus stop provisions.**
 - h. **Copies of any proposed HOA bylaws or deed restrictions to be imposed on property owners within the subdivision.**

Please provide **one (1) full-size copy** and **one (1) electronic copy** of a Final Subdivision Plan at least ten (10) days prior to the Planning and Zoning Commission meeting you wish for your application to be considered at. If you wish for your application to be considered by the Planning and Zoning Commission at their meeting scheduled for **May 17, 2021**, please submit all required materials later than close of business on **May 27, 2021**.

Please feel free to contact me with any questions during business hours 8:30 A.M. – 4:30 P.M., Monday through Friday at 302-855-7878.

Sincerely,



Ms. Lauren DeVore
Planner III



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

RECEIVED

MAY 17 2021

SUSSEX COUNTY
PLANNING & ZONING

JENNIFER COHAN
SECRETARY

May 02, 2019

Ms. Janelle Cornwell, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

**SUBJECT: Letter of No Objection to Recordation
Hailey's Glen (F.K.A Kielbasa)**
Tax Parcel # 234-12.00-11.00
SCR 277 (Angola Road)
Indian River Hundred, Sussex County

Dear Ms. Cornwell:

The Department of Transportation has reviewed the Site Plan, dated May 14, 2018 (signed and sealed on April 30, 2019), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawings. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Site Plan is not recorded prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. Entrance plans shall be developed in accordance with DelDOT's [Development Coordination Manual](#) and submitted to the Development Coordination Section for review and approval.

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel

Hailey's Glen (F.K.A Kielbasa)
Ms. Janelle Cornwell
Page 2
May 02, 2019

that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

If I can be of any further assistance, please call me at (302) 760-2266.

Very truly yours,



Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

cc: Mike Fitzgerald, Hailey Development, LC
Jason Palkewicz, Solutions IPEM
William Kirsch, South District Entrance Permit Supervisor
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Gemez W. Norwood, South District Public Work Manager
Jennifer Pinkerton, Chief Materials & Research Engineer
Peter Haag, Traffic Studies Manager
Linda Osiecki, Consistency Control Engineer
John Fiori, Bicycle Coordinator
Maria Andaya, Pedestrian Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Joseph Ellis, Contech Manager
David Dooley, DTC Planner
James Kelley, JMT
Todd Sammons, Subdivision Engineer
John Andrescavage, Sussex County Reviewer



April 15, 2021

Hollis Bartkovich, EIT
Solutions, IPEM
3003 Merritt Mill Road
Salisbury, MD 21804

Re: Hailey's Glen

Dear Ms. Bartkovich:

The Division of Public Health Office of Engineering has reviewed your request for an extension for Hailey's Glen, Approval to Construct #19W15. This approval has been extended for one year. The approval will be void if construction has not started by April 15, 2022. The approval number, 19W15, and List of Conditions dated January 11, 2019 will remain the same. If changes are necessary, revised plans shall be submitted and a supplemental approval issued prior to construction.

It is the owner's responsibility to ensure as-built drawings are maintained throughout all phases of construction. Prior to receiving an Approval to Operate, the Office of Engineering requires one set of as-built drawing, including profile markups.

If you have any questions or concerns, please contact me at (302) 741-8646.

Sincerely,

A handwritten signature in black ink, appearing to read "William J. Milliken, Jr." with a stylized flourish at the end.

William J. Milliken, Jr.
Engineer III
Office of Engineering

Cc: Alexis-Verdin-Gede, Tidewater Utilities, Inc.

PLAN APPROVAL APPLICATION

Development Name _____
 Engineering Firm _____
 Contact Number _____
 Developer _____
 Contact and Number _____

PLEASE INCLUDE THE FOLLOWING WITH THIS APPLICATION:

- 1) (3) copies of **SEALED FINAL WATER PLANS** as approved by:
 TUI, Office of State Fire Marshal and DHSS-Office of
 Drinking Water.
- 2) Copy of Office of State Fire Marshal approval letter
- 3) Copy of DHSS - Office of Drinking Water approval letter
- 4) Copy of **RECORDED RECORD PLAT** showing all TUI
 easements with Book/Page
- 5) Electronic copies on CD:
 - **SEALED FINAL WATER PLANS** in .pdf and .dwg format
 - **RECORDED RECORD PLAT** in .pdf format

BUILDING TYPE	# OF BUILDINGS	UNITS PER BUILDING	# OF DOMESTIC METERS	DOMESTIC METER SIZE	# OF FIRE CONNECTIONS	FIRE CONNECTION SIZE

One line per Domestic or Fire connection size

Fire Connections must be shown on FINAL plans submitted

Building Types

SF - 1 or 2 family detached
 TC - Townhome or Condominium
 AP - Apartment
 CC - Community/Clubhouse
 PH - Pool/Poolhouse
 CM - Commercial
 PS - Sanitary Sewer Pump Station

Various Domestic Meter Sizes

5/8", 1", 1 1/2", 2", 3", 4"

Various Fire Connection Sizes

2", 4", 6", 8", N/A

Project Manager

Date



DELAWARE HEALTH AND SOCIAL SERVICES

Division of Public Health

Office of Engineering

Phone: (302) 741-8640

Fax: (302) 741-8641

January 11, 2019

TIDEWATER UTILITIES, INC.

APPROVAL TO CONSTRUCT

Haileys Glen Connection

Angola District

PWS #DE0000248

Approval #19W15

Mr. Mike Fitzgerald
BB Kielbasa, LLC
7910 Woodmont Avenue, Suite 1165
Bethesda, MD 20814

Dear Mr. Fitzgerald:

As provided by Section 2.11 of the *State of Delaware Regulations Governing Public Drinking Water Systems*, you are granted approval to connect Haileys Glen to the existing main in accordance with the plans submitted by Solutions IPEM, LLC. The plans consist of:

1. Transmittal letter dated January 11, 2019.
2. Two copies of the plans entitled "Haileys Glen" dated June 14, 2018 and revised January 9, 2019.

These plans, as noted, are made a part of this approval. This approval is granted subject to the enclosed list of conditions. It is the owner's responsibility to ensure as-built drawings are maintained throughout all phases of construction. Prior to receiving an Approval to Operate, the Office of Engineering requires one set of as-built drawings, including profile markups.

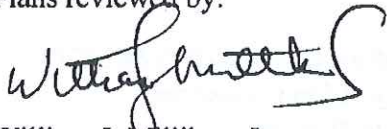
The Office of Engineering recommends detectable tracer tape that is three inches wide and blue in color to be installed directly above all water mains larger than two inches in diameter.

I am sending one set of plans with a copy of this approval to Solutions IPEM, LLC that is signed and dated by the Office of Engineering.

Mr. Mike Fitzgerald
BB Kielbasa, LLC
January 11, 2019
Page 2

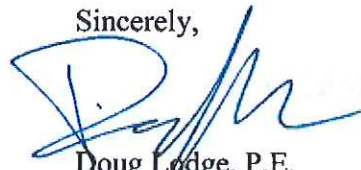
Should you have any questions regarding this matter, please feel free to contact Bill Milliken at (302) 741-8646.

Plans reviewed by:



William J. Milliken, Jr.
Engineer III
Office of Engineering

Sincerely,



Doug Lodge, P.E.
Supervisor of Engineering
Office of Engineering

cc: Janelle Cornwell, Sussex County Planning & Zoning
Kevin Neilson, Public Service Commission
Holly Bartkovich, EIT, Solutions IPPEM, LLC
Alexis Virdin-Gede, Tidewater Utilities, Inc.
Tawanda Priester, Tidewater Utilities, Inc.
Ashley Kunder, Office of Drinking Water

1. The approval is void if construction has not started by January 11, 2020.
2. The project shall be constructed in accordance with the approved plans and all required conditions listed in this Approval to Construct. If any changes are necessary, revised plans shall be submitted and a supplemental approval issued prior to the start of construction. As-built plans including profile mark-ups must be submitted to the Office of Engineering after construction has been completed.
3. Representatives of the Division of Public Health may inspect this project at any time during the construction.
4. This approval does not cover the structural stability of any units or parts of this project.
5. The water system shall be operated in conformance with the *State of Delaware Regulations Governing Public Drinking Water Systems*.
6. All wells, pipes, tanks, and equipment which can convey or store potable water shall be disinfected in accordance with the current AWWA procedures. Plans or specifications shall outline the procedure and include the disinfectant dosage, contact time, and method of testing the results of the procedure. (Recommended Standards for Water Works 2012 Edition 2.15)
7. Water mains crossing sanitary and storm sewers should be laid to provide a minimum vertical distance of 18 inches between the outside of the water main and the outside of the sewer, and the water main should be above the sewer. At crossings, one full length of water pipe should be located so both joints will be as far from the sewer as possible. Special structural support for the water and sewer pipes may be required. In cases where it is not practical to maintain an 18-inch separation, the Division may allow deviation on a case-by-case basis if supported by data from the design engineer.
8. Water mains should be laid 10 feet horizontally from any existing or proposed sanitary or storm sewers. The distance should be measured edge to edge. In cases where it is not practical to maintain a 10-foot separation, the Division may allow deviation on a case-by-case basis if supported by data from the design engineer.
9. All chemicals, materials, mechanical devices, and coatings in contact with potable water shall comply with National Sanitation Foundation/American National Standards Institute Standards (NSF/ANSI) 60 and 61 and shall be inert, nontoxic, and shall not impart any taste, odor, or color to the water.
10. Sufficient valves should be provided so that inconvenience and sanitary hazards will be minimized during repairs. Valves should be located at not more than 500-foot intervals in commercial districts and at not more than one block or 800-foot intervals in other districts.

11. There shall be no connection between the distribution system and any pipes, pumps, hydrants, or tanks whereby unsafe water or other contaminating materials may be discharged or drawn into the system.
12. Fire hydrant drains shall not be connected to or located within 10 feet of sanitary sewers, storm sewers, or storm drains.
13. Prior to usage of water from this new well, water plant, storage plant, or distribution system, approval for the water quality must be obtained from the Division of Public Health.
14. The water system should be capable of providing at least 25 psi at ground level at all times throughout the distribution system.
15. All plastic pipe utilized in this drinking water system shall be approved for potable water use (NSF-pw). If any piping is joined with solder or flux, the solder and flux shall be lead free (less than or equal to 0.2 percent lead).
16. All water lines should be buried to a depth of at least 3 feet.
17. A Certificate of Public Conveniences and Necessity should be acquired from the Public Service Commission, (302) 739-4247.
18. This approval is for the distribution system only. Plans and specifications for all well plumbing, pumps, storage (including any interior coatings), and treatment must be submitted to and approved by this office prior to their installation.
19. The approval is subject to immediate revocation upon violation of any of the preceding conditions.
20. All other local (county/city/town) approvals or permits needed must be obtained prior to beginning construction.
21. Upon completion of construction and before the system is placed into operation, a "Notice of Completion" must be submitted to the Office of Engineering. Before placing the system into operation, the following must be adhered to:
 - a. Submit a set of as-built plans with profile markups to the Office of Engineering.
 - b. Obtain an Approval to Operate from the Office of Engineering.



STATE OF DELAWARE
DEPARTMENT OF NATURAL RESOURCES
AND ENVIRONMENTAL CONTROL
DIVISION OF WATERSHED STEWARDSHIP
89 Kings Highway
DOVER, DELAWARE 19901

OFFICE OF THE
DIRECTOR

PHONE: (302) 739-9921
FAX: (302) 739-6724

October 17, 2018

TO: Mike Fitzgerald
CC: Solutions
FROM: Joanne Gedney, Sediment and Stormwater Program
SUBJECT: NOI: Hailey's Glen

Thank you for your submittal of "The Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activity Under a NPDES General Permit" for the subject project.

Date NOI was received: 10-16-2018

Date NOI information was entered into the database: 10-17-2018

Database I.D. #:5859

Check #: 172

By signing the NOI, the signatory agrees to fully comply with the *Special Conditions for Storm Water Discharges Associated with Construction Activities* which can be viewed at http://www.dnrec.state.de.us/DNREC2000/Divisions/Soil/Stormwater/PDF/NPDES_Sect9_G_P.pdf

Outlined below are several responsibilities that should be noted:

- During construction the approved Sediment and Stormwater Plan shall remain at the site at all times (§ 9.1.02.4.B.1). A copy of the NOI shall be kept at the site as well.
- Maintenance inspections of erosion and sediment (E & S) controls and stormwater management facilities must be conducted weekly and the next day after a rainfall event that results in runoff. (§ 9.1.02.4.B.2).

Delaware's good nature depends on you!

- These inspections must be documented in a weekly log that must be maintained on-site (§ 9.1.02.4.C.1). The documentation must contain:
 1. the date and time of inspection;
 2. the inspector's name;
 3. assessment of the condition of the E & S controls and stormwater management facilities;
 4. any construction, implementation, or maintenance performed; and
 5. a description of the site's present phase of construction.
- If you are using a CCR, their weekly CCR reports will suffice as the weekly log. These reports must be maintained on site.
- If ownership or operational control of the permitted activities is transferred a Transfer of Authorization form must be filled out and submitted to the Department to update the NOI (§ 9.1.02.1.E).
- To closeout your General NPDES Storm Water permit coverage and its requirements a completed Notice of Termination (NOT) form must be submitted to the Department for review and approval. The following requirements (§ 9.1.02.7.B) need to be met prior to submittal of the NOT form:
 1. All items and conditions of the Plan have been satisfied in accordance with the *Delaware Sediment and Stormwater Regulations*,
 2. As-built documentation verifies that permanent stormwater management measures have been constructed in accordance with the approved Plan and the *Delaware Sediment and Stormwater Regulations*, and
 3. Final stabilization has been achieved.

**AUTHORIZATION TO CONSTRUCT UNDER THE
LAWS OF THE STATE OF DELAWARE**



PART I

1. In compliance with the provisions of 7 Del. C., §6003,

Sussex County Council
2 The Circle
P. O. Box 589
Georgetown, DE 19947

and

BB Kielbasa, LLC
7910 Woodmont Avenue, Suite 1165
Bethesda, MD 20814

are authorized, jointly and individually, to construct facilities consisting of the following:

Approximately, two thousand seven hundred and five linear feet of eight inch (2,705 LF of 8"), one hundred and ninety seven linear feet of ten inch (197 LF of 10") gravity system, 15 manholes cleanouts, laterals and related facilities, one pump station with dual pumps and one thousand eight hundred and eighty linear feet of four inch force main (1,880 LF of 4"FM) and related appurtenances to serve the proposed Hailey's Glen residential subdivision located on Angola Road (SCR277) across from the intersection with Angola Beach Road (SCR278) and approximately 375' east of Bay Ridge Lane, Sussex County, Delaware. The gravity system, forcemain and pump station will all be located within the residential subdivision.

in accordance with plans and specifications as described below and limitations, requirements and other conditions set forth in Parts I, II and III hereof.

2. The plans and specifications consist of the following:
Sixteen (16) drawings** prepared by Solutions, IPEM, titled "Road, Storm Drain, Sewer, Water & ESC Plans for Hailey's Glen, Sussex County, Delaware for BB Kielbasa, LLC", dated 05/14/18, revised 4/15/19, and endorsed by Mr. Hans Medlarz, Sussex County Engineer, on 9/30/19; the current Sussex County Standard Specifications for Design and Construction of Ordinance 38 Projects; and a letter dated

Greg Pope, Engineer VI
By Agreement with Surface Water Discharges Section
Division of Water
State of Delaware Department of Natural Resources
And Environmental Control

10/1/19
Date Signed

November 30, 2012, addressed to Molly J. Mackil, P.E., DNREC, from Mr. Michael Izzo, Sussex County Engineer.

** Sheet Nos. 1, 2, 4, 16 through 21, 23 through 29

Sheet No. 1 titled "Cover Sheet"; Sheet No. 2 titled "General Notes"; Sheet No. 4 titled "Index Sheet"; Sheet No. 16 titled "Details 2"; Sheet No. 17 titled "Sanitary Sewer Index Plan"; Sheet No. 18 titled "Sanitary Sewer Plan A"; Sheet No. 19 titled "Sanitary Sewer Plan B"; Sheet No. 20 titled "Sanitary Sewer Plan C"; Sheet No. 21 titled "Sanitary Sewer Profile 1"; Sheet Nos. 23 titled "Sanitary Sewer Profile 2"; Sheet No. 24 titled "Force Main Profile", Sheet No. 25 titled "Sanitary Sewer Details 1", Sheet No. 26 titled "Sanitary Sewer Details 2", Sheet No. 27 titled "Pump Station Site Plan" Sheet No. 28 titled "Pump Station Details 1", Sheet No. 29 titled "Pump Station Details 2"

3. The liquid waste will be discharged through the existing wastewater collection and transmission facilities, to the Inland Bays Wastewater Treatment facility, which discharges treated wastewater in accordance with NPDES Permit No. LTS-5004-90-12.

A. Effluent Limitations on Pollutants Attributable to Industrial Users

The use of the constructed facility is conditioned on meeting all applicable pretreatment standards under 40 CFR, Part 403, or toxic pollutant discharge limitations under Section 307(a) of the Clean Water Act of 1977, PL 95-217.

B. Flow and Usage Limitations

This permit authorizes a daily average discharge of N/A gallons*. The flow in the system shall be measured at least every N/A.

* This permit authorizes only the construction of the wastewater collection and conveyance facilities referenced herein.

The total proposed Equivalent Dwelling Units (EDU's) is 114 @ 250 gallons per day (gpd)/EDU = 28,500 gpd.

C. Monitoring and Reporting (When Required)

1. Representative sampling of the volume and nature of the monitored discharge shall be conducted at the request of the Division of Water.

2. Reporting

Monitoring results shall be reported to the:
Delaware Department of Natural Resources and Environmental Control
Division of Water, Surface Water Discharges Section
89 Kings Highway
Dover, DE 19901
302-739-9946

3. Definitions

- a. "Daily average flow" means the total flow during a calendar month divided by the number of days in the month that the facility was operating.
- b. "Daily maximum flow" means the highest total flow during any calendar

day.

- c. "Daily Peak Flow" means the flow which can be safely transported within the sewage system without causing an overflow or a backup into the building(s) or residence(s).
- d. "Bypass" means the intentional diversion of wastes from any portion of a treatment facility.
- e. "Measured flow" means any method of liquid volume measurement, the accuracy of which has been previously demonstrated in engineering practice, or for which a relationship to absolute volume has been obtained.
- f. "Estimate" means a value to be based on a technical evaluation of the sources contributing to the discharge including, but not limited to, pump capabilities, water meters and batch discharge volumes.

4. Recording of Results

For each measurement or sample taken pursuant to the requirements of this permit, the permittee shall record the following information:

- a. The date, exact place and time of sampling or measurement;
- b. The person(s) who performed the sampling and/or measurement;
- c. The date(s) and time(s) analysis was performed;
- d. The individual(s) who performed each analysis;
- e. The analytical technique(s) or method(s) used;
- f. The results of each analysis; and
- g. Appropriate quality assurance information.

5. Records Retention

All records and information resulting from the monitoring activities required by this permit, including all records of analyses performed, all records of instrument calibration and maintenance and all charts from continuous monitoring instruments, shall be retained for three (3) years. This period of retention shall be extended automatically during the course of any unresolved litigation regarding the regulated activity or regarding control standards applicable to the permittee, or as requested by the Department.

6. Test Procedures

Test procedures for the analysis of pollutants shall conform to the applicable test procedures identified in 40 CFR, Part 136, unless otherwise specified in this permit.

END OF PART I

PART II

A. **Management Requirements**

1. **Duty to Comply**

The permittee must comply with the terms and conditions of this permit. Failure to do so constitutes a violation of this permit, which is grounds for enforcement and the imposition of penalties as provided in 7 Del.C., Chapter 60, grounds for permit termination or loss of authorization to discharge or operate pursuant to this permit, grounds for permit revocation and reissuance or permit modification, or denial of a permit renewal application.

2. **Notification**

a. **Changes in Authorized Activities**

The permittee shall notify the Department of any proposed change in the activity authorized herein, of any proposed substantive change in the operation of the facility or facilities authorized herein, or of any anticipated facility expansions, production increases, or process modifications. Notification is required only when such alteration, addition or change may justify the inclusion of conditions that are absent or different from those specified in this permit. This includes, for example, the construction of additional wastewater collection, transmission or treatment facilities and changes which will result in new, different, or increased discharges of pollutants. Following such notice, the Department may require the submission of a new permit application or this permit may be reopened and modified to address the proposed changes.

b. **Noncompliance**

If, for any reason, the permittee does not comply with or will be unable to comply with any limitation specified in this permit, the permittee shall provide the Department with the following information, in writing, within five (5) days of becoming aware of such condition:

A description of the discharge and cause of noncompliance; and

The period of noncompliance, including exact dates and times; or, if not corrected, the anticipated time the noncompliance is expected to continue, and steps being taken to reduce, eliminate and prevent recurrence of the noncomplying discharge.

3. **Facilities Operation**

The permittee shall, at all times, maintain in good working order and operate as efficiently as possible all collection and treatment facilities and systems (and related appurtenances) installed or used by the permittee to achieve compliance with the terms and conditions of this permit. Proper operation and maintenance includes, but is not limited to, effective management, adequate operator staffing and training and adequate laboratory process controls, including appropriate quality assurance procedures.

4. Adverse Impact

The permittee shall take all reasonable steps to minimize any adverse impact to waters of the State resulting from noncompliance with this permit, including such accelerated or additional monitoring as necessary to determine the nature and extent of the noncomplying discharge.

5. Bypassing

Any bypass or intentional diversion of waste streams from the facilities authorized by this permit, or any portion thereof, is prohibited, except (i) where unavoidable to prevent loss of human life, personal injury or severe property damage, or (ii) where excessive storm drainage or run-off would damage any facilities necessary for compliance with the effluent limitations and prohibitions of this permit. The permittee shall promptly notify the Department, in writing, of each such diversion or bypass.

6. Removed Substances

Solids, sludges, filter backwash, or other pollutants removed in the course of treatment or control of wastewater shall be disposed of in a manner such as to prevent any pollutant from such materials from entering the surface water or groundwater.

B. Responsibilities

1. Within 90 days following the completion of construction, the permittee shall submit to the Department an "as-built" set of plans of the facility or facilities constructed, bearing the seal and signature of a licensed Professional Engineer registered in the State of Delaware.

2. Right of Entry

The permittee shall allow the Secretary of the Department of Natural Resources and Environmental Control, or his authorized representative(s), upon the presentation of credentials:

- a. To enter upon the permittee's premises for inspection of any records, flow measurements, construction or other activity authorized by this permit or any condition required under the terms of this permit; and
- b. At reasonable times, to have access to and to copy any records required to be kept under the terms and conditions of this permit; to inspect any monitoring equipment or monitoring method required in this permit; and
- c. To sample any discharge.

3. Transferability

This permit is transferable with the Department's consent, provided that an intention to transfer accompanied by a copy of the permit is provided to the Department, signed by both the transferor and the transferee at least ten (10) days prior to the actual transfer.

4. Availability of Reports

All reports submitted with the application and those reports required under the terms of this permit shall be available for public inspection at the offices of the Department of Natural Resources and Environmental Control. Knowingly making any false statement on any such report may result in the imposition of criminal penalties as provided for in 7 Del. C., §6013. Any person who causes or contributes to the discharge of a pollutant into State waters either in excess of any conditions specified in this permit or in absence of a specific permit condition shall report such an incident to the Department required under 7 Del. C. §6028.

5. Permit Modification

This permit may be modified, suspended or revoked in whole or in part during its term for cause including, but not limited to, the following:

- a. Violation of any term or condition of this permit;
- b. Obtaining this permit by misrepresentation or failure to fully disclose all relevant facts;
- c. A change in any condition that requires either a temporary or permanent reduction or elimination of the authorized activity; or
- d. Information that the permitted activity poses a threat to human health or welfare, or to the environment.

6. Oil and Hazardous Substance Liability

Nothing in this permit shall be construed to preclude the institution of any legal action or relieve the permittee from any responsibilities, liabilities, or penalties to which the permittee is or may be subject to under 7 Del. C., Chapter 60.

7. State Laws

Nothing in this permit shall be construed to preclude the institution of any legal action or relieve the permittee from any responsibilities, liabilities, or penalties established pursuant to any applicable State law or regulation.

8. Property Rights

The issuance of this permit does not convey any property rights in either real or personal property, or any exclusive privileges, nor does it authorize any injury to private property or any invasion of personal rights, nor any infringement of Federal, State or local laws or regulations.

9. Severability

The provisions of this permit are severable. If any provision of this permit is held invalid, or if the application of any provision of this permit to any circumstances is held invalid, the application of such provision to other circumstances, and the remainder of this permit, shall not be affected thereby.

END OF PART II

PART III

A. Special Conditions

1. This permit authorizes only the construction of the wastewater facilities and related work referenced herein.
2. If wellpointing is required during construction, the wells must be installed by a licensed well driller, and a permit to construct such wells must first be obtained from the Well Permits Branch of the Water Supply Section.
3. All construction shall be in agreement with plans and specifications submitted under this project and approved by the Department of Natural Resources and Environmental Control.
4. All construction shall be in accordance with Ten States Standards and other applicable local utility construction specifications and standards.
5. Connections or additions to the proposed system, other than those proposed on the plans, will not be allowed without prior approval from the Department.

END OF PART III



DELAWARE STATE FIRE MARSHAL'S OFFICE
TECHNICAL SERVICES



SFMO APPROVAL SHEET

DATE: 01/29/2019

PROJECT NAME: Hailey's Glen Subdivision PROJECT TYPE: MJS

PROJECT ADDRESS: Angola Road PLAN DATE: 01/24/2019

CITY: Lewes TAX ID# 2-34-12.00-11.00

PROJECT DESCRIPTION : 67 lot single family dwelling subdivision without amenities buildings.

The accompanying application has been accepted for Contingency Construction Start and is authorized only for the work as indicated below with the following restrictions. The owner assumes personal risk and responsibility to correct any deficiencies noted in the Fire Marshal's Plan Review or Inspection Process.

Preliminary Approval

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

FP Specialists FM# and Signature: N/A Date: _____

Plan Review Approval

The owner understands that plan submittals for this project are approved. If annotated below, a Progress Review will be required. No close in or concealment of any kind shall be permitted until a progress inspection is performed by the State Fire Marshal's Office. (A minimum of five days notice is needed when scheduling for a progress visit or final inspection by the State Fire Marshal's Office)

FP Specialists FM# and Signature: [Signature] FM-25 Date: 01/29/2019
Comments:

REQUIRED PROGRESS REVIEW REQUIRED PROGRESS REVIEW NOT

Final Approval

The Office of the State Fire Marshal recognizes that this project meets the minimum requirements of the Delaware State Fire Prevention Regulation. This recognition does not relieve the owner, designer, contractor, or designated representative from their responsibility to comply with the applicable provisions of the Delaware State Fire Prevention Regulation.

FP Specialists FM# and Signature: _____ Date: _____
Comments:

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2019-199035-04-MJS-02

Tax Parcel Number: 2-34-12.00-11.00

Review Status: APPROVED AS SUBMITTED

Review Date: 01/29/2019

PROJECT COMMENTS

- | | |
|---------------|---|
| 1002 A | <p>This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.</p> |
| 1030 A | <p>This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 500 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 1,000' on center.</p> |
| 1408 A | <p>All premises where emergency personnel may be called upon to provide emergency services, which are not readily accessible from streets, shall be provided with suitable gates, access roads, and fire lanes so that all buildings on the premises are accessible to emergency apparatus. (DSFPR Regulation 705, Chapter 5, Section 2).</p> |
| 1170 A | <p>The minimum paved radius of a cul-de-sac is 38 feet unobstructed as shown in Figure 5-1. (DSFPR Regulation 705, Chapter 5, Section 2.3.2).</p> |
| 1093 A | <p>In the case of one and two-family dwellings emergency service access shall be provided in such a manner so that emergency apparatus will be able to locate within 100 feet from the street to the primary entrance. Where alleys are provided, pumpers shall be able to access all portions of the alley without strict restrictions for entrance radii. (DSFPR Regulation 705, Chapter 5, Sections 2.2 and 2.2.1).</p> |
| 1420 A | <p>All fire hydrants shall be marked and identified in accordance with DSFPR Regulation 705, Chapter 6, Section 2.0.</p> |
| 1119 A | <p>All proposed fire hydrants and water mains shall be installed in accordance with the most current edition of the Delaware State Fire Prevention Regulations (DSFPR, Part II, Chapters 6 & 7).</p> |

1132 A Fire hydrants shall be color coded in accordance with the DSFPR, Part III, Section 3 4. This includes both color coding the bonnet and 2" reflective tape around the barrel under the top flange.

1232 A All threads provided for fire department connections, to sprinkler systems, standpipes, yard hydrants or any other fire hose connections shall be uniform to those used by the fire department in whose district they are located. DSFPR Part III,Section 1.1.5.1.

1432 A The steamer connection of all fire hydrants shall be so positioned so as to be facing the street or fire lane. (DSFPR Regulation 705, Chapter 5, Section 10). The center of all hose outlet(s) on fire hydrants shall be not less than 18 inches above finalgrade (NFPA 24, Section 7.3.3).

2500 A A final inspection is required for this project prior to occupancy (DSFPR Part I, Section 4-7). Contact this Agency to schedule this inspection. Please have the plan review number available. A MINIMUM OF FIVE (5) WORKING DAYS NOTICE IS REQUIRED.



May 6, 2021

Mr. Tim Green
c/o Solutions IPEM
303 North Bedford Street
Georgetown, DE 19947

RE: Hailey's Glen

Dear Mr. Green:

A Sediment and Stormwater Management Plan has been reviewed for compliance with the Sediment and Stormwater Regulations and is approved with conditions (see attached). Enclosed herein please find a copy of the approved application form and approved plan sets. Please retain a copy for your use and provide the contractor with a copy to be retained onsite at all times. Failure to keep an approved plan onsite is a violation of the approved plan.

Approval of a Sediment and Stormwater Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.

This plan approval pertains to compliance with the *Delaware Sediment and Stormwater Regulations*. Please understand that the approval of this plan does not relieve you from complying with any and all federal, state, county, or municipal laws and regulations.

As of January 1, 2014, the Sussex Conservation District began collecting financial guarantees to ensure the construction of stormwater management practices is accomplished in accordance with the approved sediment and stormwater plan. Please refer to the SCD Policy on Bonds located on our website at Sussexconservation.org. If you have any questions concerning the aforementioned, please do not hesitate to call 302 856-7219.

Sincerely,
Jessica Watson
Jessica Watson queue
Program Manager

JW/jmg

cc:

CONDITIONS OF APPROVAL

NOTIFICATION

1. This approved plan will remain valid for 5 years from the date of this approval. If construction does not begin within five years, the approved plan will be considered to have expired, and must be resubmitted to the District for a new review. In addition, if work is not completed within the five-year timeframe, the District must be contacted and a request for an extension submitted. Depending on regulation changes, a new plan may need to be submitted to ensure that all stormwater management facilities are constructed to the most recent standards.
2. Submittal of the Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activities together with this approval of the detailed Sediment and Stormwater Plan provide this project with Federal permit coverage to be authorized to discharge storm water associated with construction activities. It is the owner's responsibility to ensure that permit coverage remains valid throughout construction by submitting the NOI fee annually as requested. The developer is responsible for weekly self-inspection reporting to be retained onsite.
3. Notify the Sussex Conservation District Sediment and Stormwater Management Section of your intent to begin construction in writing five (5) days prior to commencing. Failure to do so constitutes a violation of the approved plan.

CHANGES

4. This project is to be undertaken in accordance with the plans submitted and as approved. If changes are necessary at any time during the completion of the project, submit revised plans, prior to further construction, to the Sussex Conservation District Sediment and Stormwater Program for review and approval of the revision.
5. Should ownership change during the construction period, a revised plan must be submitted for approval showing the new owner's signature on the owner's certification. In addition, a Transfer of Authorization form must be submitted to DNREC to transfer Federal permit coverage to the new owner.

CONSTRUCTION AND CLOSEOUT

6. A pre-construction meeting must take place before any land disturbing activity begins. The meeting may take place on site and be attended by the owner, contractor, design consultant, Certified Construction Reviewer and Sussex Conservation District Sediment and Stormwater Program Construction Reviewer. The owner or the owner's designee shall contact the Sussex Conservation Construction Reviewer to schedule the pre-construction meeting.
7. Keep available onsite, during all phases of construction, a copy of the approved Sediment and Stormwater Management Plan.
8. Keep available onsite, during all phases of construction, copies of the Developers weekly self-inspection reports and/or the CCR Reports.
9. Any sediment transported off-site to roads or road rights-of-way including ditches shall be removed. Any damage to ditches shall be repaired and stabilized to original condition.
10. Grading shall not impair surface drainage, create an erosion hazard, or create a source of sediment to any adjacent watercourse or property owner.
11. Failure to implement the permanent stormwater management practices as mentioned herein constitutes a violation of the conditions of this plan approval; it may result in the suspension or revocation of building permits or grading permits issued by the local jurisdiction; and it may result in legal action by the DNREC to bring the site into compliance with the approved Sediment and Stormwater Management Plan and the *Delaware Sediment and Stormwater Regulations*.
12. The permanent stormwater management facility or facilities must be constructed and accepted by the Sussex Conservation District Sediment and Stormwater Program prior to final closeout of the project site. Post construction verification documentation of the stormwater management facility or facilities must be completed as soon as construction of the facility or facilities is complete so that any necessary modifications may be made during the construction period.

ENGINEERING DEPARTMENT

ADMINISTRATION (302) 855-7718
AIRPORT & INDUSTRIAL PARK (302) 855-7774
ENVIRONMENTAL SERVICES (302) 855-7730
PUBLIC WORKS (302) 855-7703
RECORDS MANAGEMENT (302) 854-5033
UTILITY ENGINEERING (302) 855-7717
UTILITY PERMITS (302) 855-7719
UTILITY PLANNING (302) 855-1299
FAX (302) 855-7799



Sussex County

DELAWARE
sussexcountyde.gov
HANS M. MEDLARZ, P.E.
COUNTY ENGINEER
MICHAEL E. BRADY
DIRECTOR OF PUBLIC WORKS

September 30, 2019

Mr. Jason Palkewicz, P.E.
Solutions, IPEM
303 N. Bedford Street
Georgetown, DE 19947

REF: **HAILEY'S GLEN
ANGOLA NECK SANITARY SEWER DISTRICT
SUBDIVISION NO. 2017-17
SUSSEX COUNTY TAX MAP NUMBER
234 - 12.00 - PARCEL 11.00 - CLASS-1
AGREEMENT NO. 1097**

Dear Mr. Palkewicz:

The above referenced project was approved on September 30, 2019 and one (1) set of approved plans are enclosed. This approval is valid for three (3) years, unless prior to expiration of that three (3) year period, a time extension is requested and approved by the Department. Plans granted an extension beyond the three (3) period will be required to meet updated standards and specifications.

Also, it is your responsibility to secure approvals and/or permits that may be required by other regulatory agencies.

Please contact Mr. Gary Fleetwood of this Division to initiate pre-construction procedures for private roads and Mr. Keith Bryan in the Department's Division of Utility Engineering to initiate pre-construction procedures for sanitary sewer.

Should you have any questions, please do not hesitate to contact me.

Sincerely,

SUSSEX COUNTY ENGINEERING DEPARTMENT

Jordan T. Dickerson
Public Works Technician IV

cc: Mr. Keith Bryan, w/2 enclosures
Ms. Janelle Cornwell, w/o enclosure
Public Works Field File, w/enclosure



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 589
GEORGETOWN, DELAWARE 19947

MAPPING & ADDRESSING

MEGAN NEHRBAS
MANAGER OF GEOGRAPHIC
INFORMATION SYSTEMS (GIS)

(302) 855-1176 T
(302) 853-5889 F



Sussex County

DELAWARE
sussexcountyde.gov

November 9, 2017

Solutions IPEM
Attn: Jason Palkewicz
303 N Bedford Street
Georgetown, DE 19947

RE: **Proposed Subdivision Name**

I have reviewed the name(s) submitted for your proposed subdivision, which is located in Lewes (234-12.00-11.00). In reviewing the proposed name(s) the following has been **approved** for this subdivision:

HAILEYS GLEN

Should you have any questions please contact the **Sussex County Addressing Department at 302-853-5888 or 302-855-1176.**

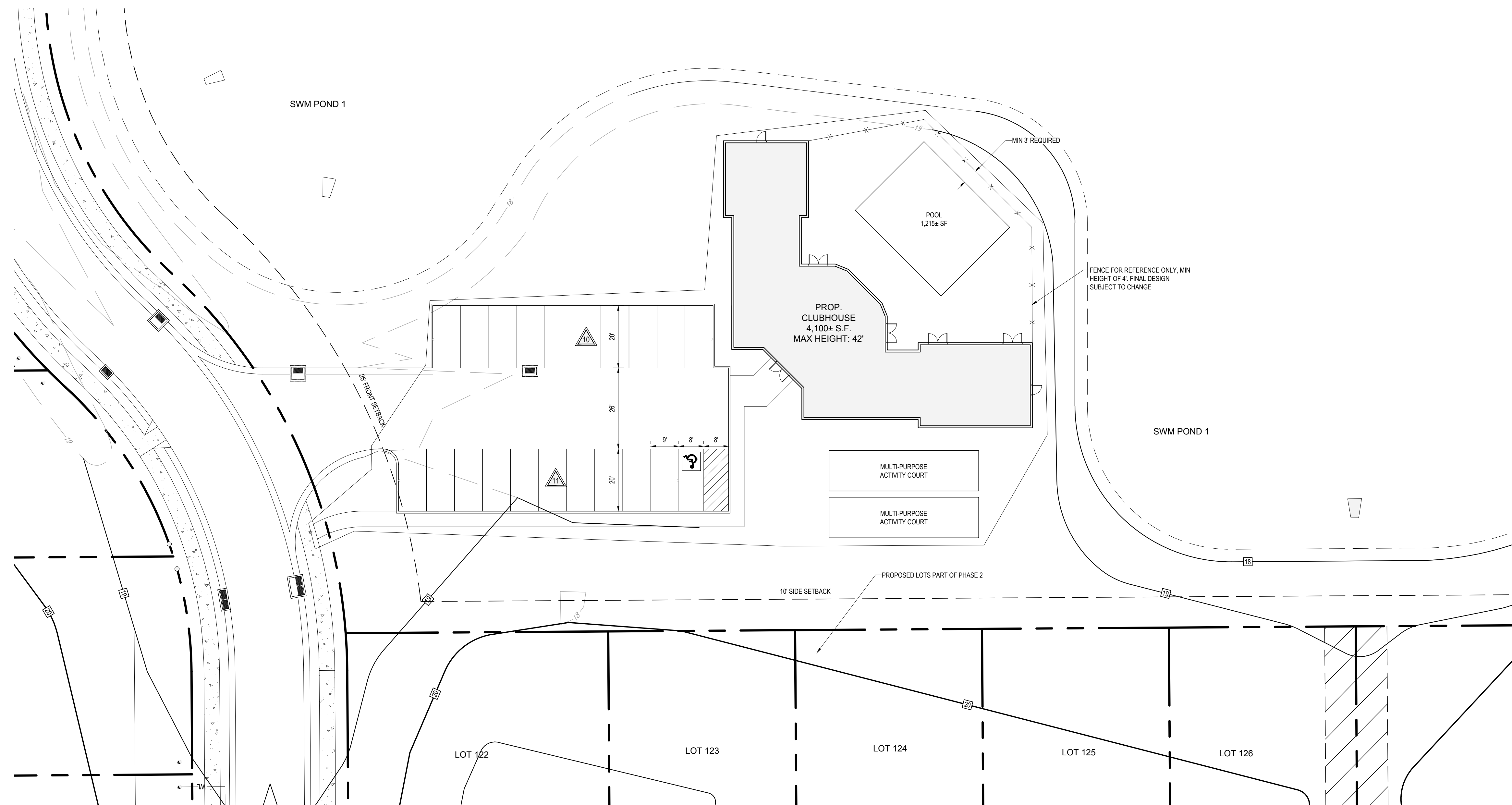
Sincerely,

Terri L. Dukes

Terri L. Dukes
Addressing Technician II

CC: Jennifer Norwood
Planning & Zoning





BULK REQUIREMENTS:	ALLOWED/REQUIRED
A. MIN. BUILDING SETBACK	
FRONT SETBACK (SOUTH)	25'
SIDE SETBACK (WEST)	10'
SIDE SETBACK (EAST)	10'
REAR SETBACK (NORTH)	10'
B. PARKING REQUIREMENTS	
1 SPACE PER 200 SF OF FLOOR AREA	21 (1 ADA)
C. MIN. PARKING SPACE DIMENSIONS	9' X 18' (8' X 18' ADA)
D. MIN. DRIVE AISLE	24'
E. MAX. BUILDING HEIGHT	42'
F. ZONING CLASSIFICATION	AR-1
SITE IMPERVIOUS AREA = 0.40± AC	
SITE TOTAL AREA = 0.50± AC	

- PROJECT NOTES**
- THIS PROJECT DOES NOT LIE WITHIN A WELLHEAD PROTECTION AREA.
 - THIS PROJECT LIES WITHIN AN AREA OF "POOR" AND "FAIR" GROUNDWATER RECHARGE POTENTIAL.
 - THIS PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE .02% CHANCE ANNUAL FLOODPLAIN PER MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, SUSSEX COUNTY, DELAWARE, AND INCORPORATED AREAS, PANEL 477 OF 660", COMMUNITY PANEL NUMBER 1000503477K, REVISED, MARCH 16, 2015).
 - ACCORDING TO THE NATIONAL WETLANDS INVENTORY MAPPING, THERE ARE NO WETLANDS PRESENT ON THIS SITE.
 - THIS PROJECT LIES WITHIN THE COSTAL AREA.

CERTIFICATION OF OWNERSHIP

I HEREBY CERTIFY THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THIS PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

ROB LISLE / KEVIN BROZYNA
 BAYLIS ESTATES INVESTMENTS, LLC
 16255 SUSSEX HIGHWAY
 BRIDGEVILLE, DE 19933
 P: (443) 532-5222

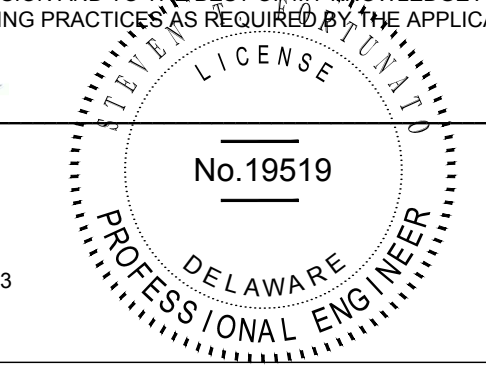
DATE

CERTIFICATION OF ACCURACY (ENGINEER)

I, STEVEN T. FORTUNATO, P.E., HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

STEVEN T. FORTUNATO, P.E.
 BOHLER
 18958 COASTAL HWY., SUITE D
 REHOBOTH BEACH, DE 19971
 P: (302)644-1155 / F: (302)703-3173

5/18/21
 DATE



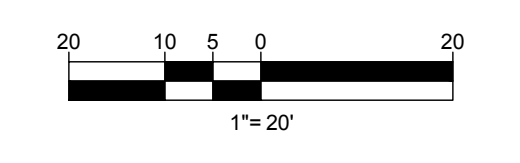
BOHLER //

18958 COASTAL HWY, SUITE D
 REHOBOTH BEACH, DE 19971
 Phone: (302) 644-1155
 Fax: (302) 703-3173
 BohlerEngineering.com

CLUBHOUSE EXHIBIT

BAYLIS ESTATES

MILLSBORO, DE 19966



May 20, 2021
Via Federal Express

Sussex County Planning & Zoning
2 The Circle
Georgetown, DE 19947

Attn.: Lauren DeVore

Re: 2017-1 Baylis Estates
Revised Amenities Plan
Mount Joy Road
Sussex County, DE
Tax Parcel No. 234-29.00-42.00
BEVA# DE190077

Dear Ms. DeVore,

In regard to the Preliminary Amenities Plan for Baylis Estates Phase II comments report dated May 3, 2021, please find the following point by point responses for your review regarding the respective items that we understand need additional information:

Chapter 89 – Source Water Protection

Comment 1: This site is not located in a Wellhead Protection Area. Please state this on the plan.

Response 1: **The Wellhead Protection Area has been added as note 1.**

Comment 2: This site is not located in an area designated to have Excellent Groundwater Recharge Potential. Please state this on the plan.

Response 2: **The groundwater recharge potential has been added as note 2.**

Chapter 99 – Subdivision

Comment 3: No changes are recommended or required. This plan complies with all original conditions of approval that have been established by the Sussex County Planning and Zoning Commission.

Response 3: **Comment noted.**

Chapter 115 – Zoning

Comment 4: It is recommended this amenity plan be presented on a full-size sheet that is 24 inches by 36 inches and no larger than this size. The plan submitted could be conceptual in design, and further elements and principles may be needed.

Response 4: **The amenity plan has been changed to 24"x36".**

Comment 5: Please add a certification box for the engineer and the owner.

Response 5: **Certification blocks have been added.**

Comment 6: Please add the seal (and signature) in the engineer's certification box.

Response 6: **A seal and signature has been added to the engineer's certification block.**

Comment 7: Please add the following information to the data column:

1. The two statements required from Chapter 89;
2. Total square footage or acreage being developed;
3. A note regarding flood zones or the absence of a flood zone designation (Zone X);
4. A note regarding any potential wetlands on the property (i.e. tidal and non-tidal)

Response 7: **The above items have been added to the project notes and the bulk requirements.**

Comment 8: Please add the proposed height to the clubhouse (both on the representation of the building and in the data column).

Response 8: **Proposed height added to the clubhouse label.**

Comment 9: Please add a proposed height label to the fence. Because this plan involves the pool, a fence that is at least four (4) feet in height is required.

Response 9: **Minimum height of 4' added to fence label.**

Comment 10: Please add a label between the wall of the pool and the proposed fence that certifies the walkway distance. While it is presumed there is at least three (3) feet of width, this label is requested to be required.

Response 10: **Label added to call out minimum distance between pool and fence.**

Comment 11: Please confirm that a pool house is not required, necessary, or proposed.

Response 11: **A pool house is not required and not proposed.**

Comment 12: Please a width label to the driving aisle. It is noted this already exists in the data column.

Response 12: **Label added.**

Comment 13: Are pathways, sidewalks, or fencing required for the multi-purpose courts? Please advise.

Response 13: **Pathways, sidewalks, and fencing are not required for multi-purpose courts.**

Comment 14: Lots 122 through 126 do not have final approval. Please add a label to each of these lots (e.g. proposed as part of Phase 2/ future).

Response 14: **A note has been added that these lots are part of phase 2.**

Comment 15: Will the easement that runs along Lot 126 continue to the stormwater management pond that is adjacent to the amenities? Please advise.

Response 15: **The easement is not needed past the lot 126 property line, as this is common open space and not a private lot. The stormwater pipe runs directly into the pond.**

Comment 16: Is any landscaping proposed? Please add a note regarding any intention to modify or preserve natural vegetation.

Response 16: **No landscape is proposed per this plan.**

Comment 17: This plan requires agency approvals from the following:

1. Office of the State Fire Marshal (OSFM)
2. Sussex Conservation District (SCD)

Response 17: Approvals will be provided once received.

Should you have any questions or require additional information, please do not hesitate to contact this office at (302) 644-1155 to discuss. Thank you.

Very truly yours,



Steven T. Fortunato, P.E.
Project Manager

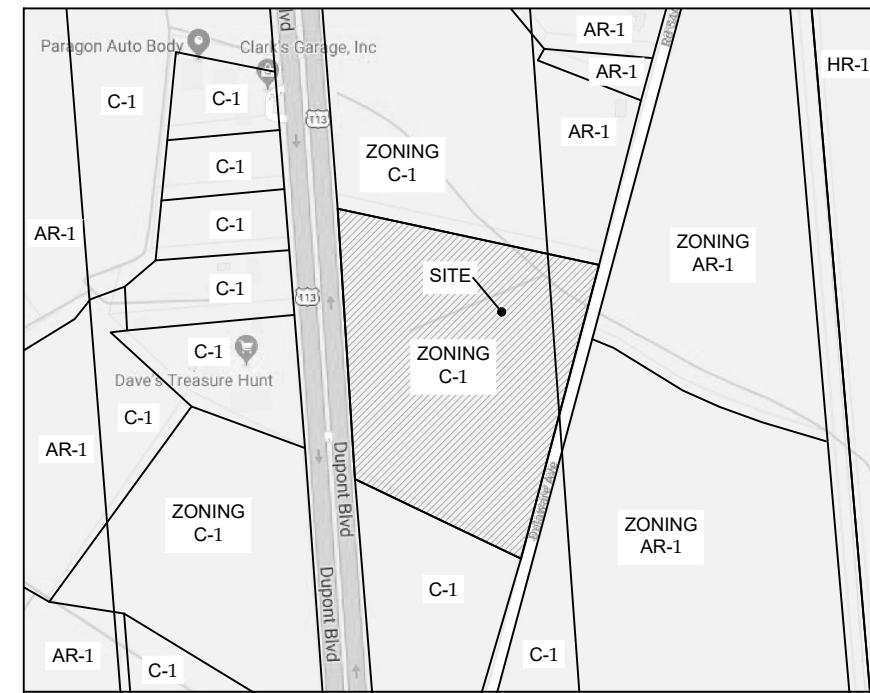
cc: Kevin Broyzna, Insight Homes (w/o encl.)
M. Andrew Campanelli, Insight Homes (w/o encl.)
David M. Kuklish, P.E., Bohler (w/o encl.)
File

FRANKFORD BUSINESS PARK

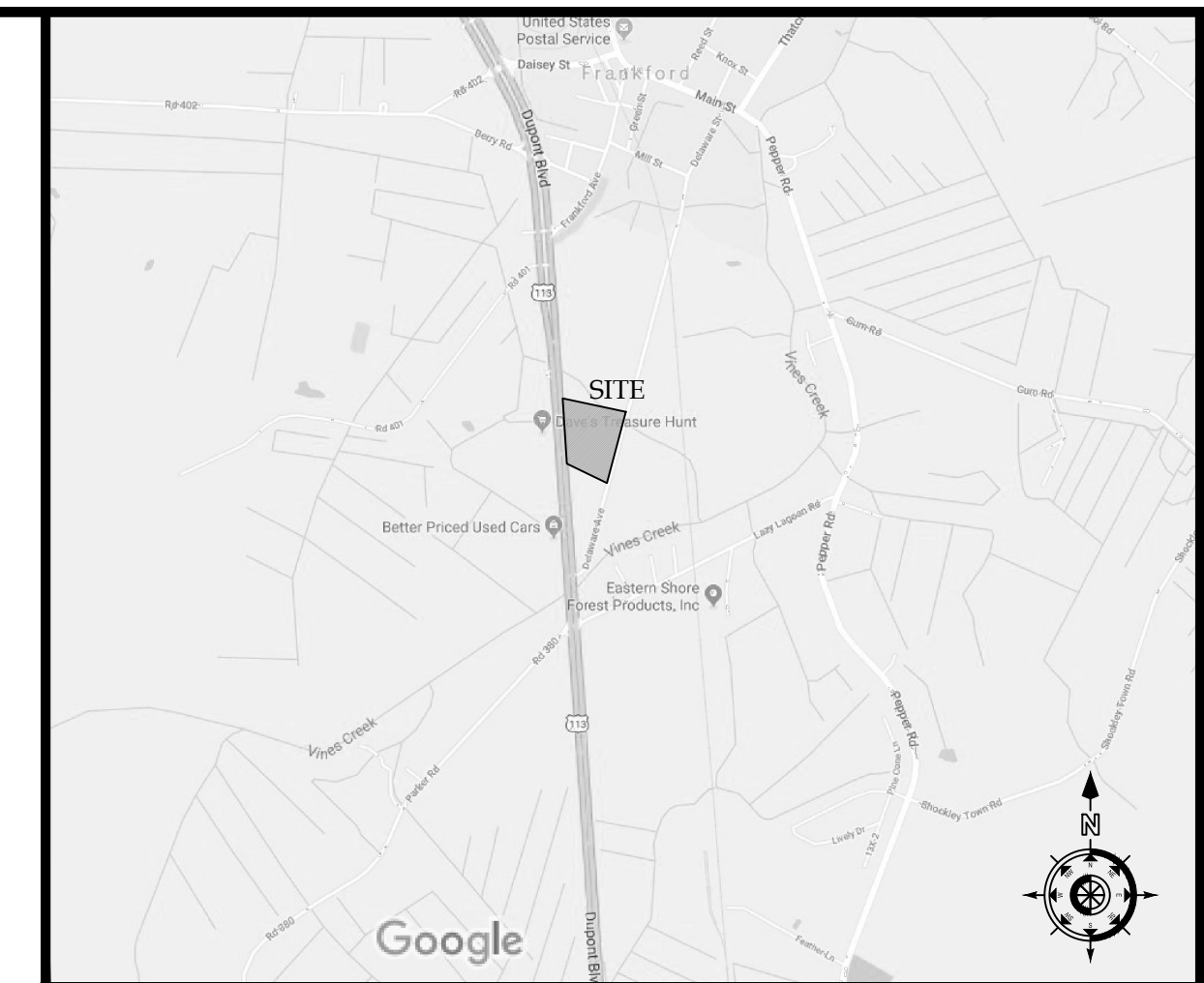
SUSSEX COUNTY, DELAWARE

T.M.#433-11.00-21.02

FINAL SITE PLAN

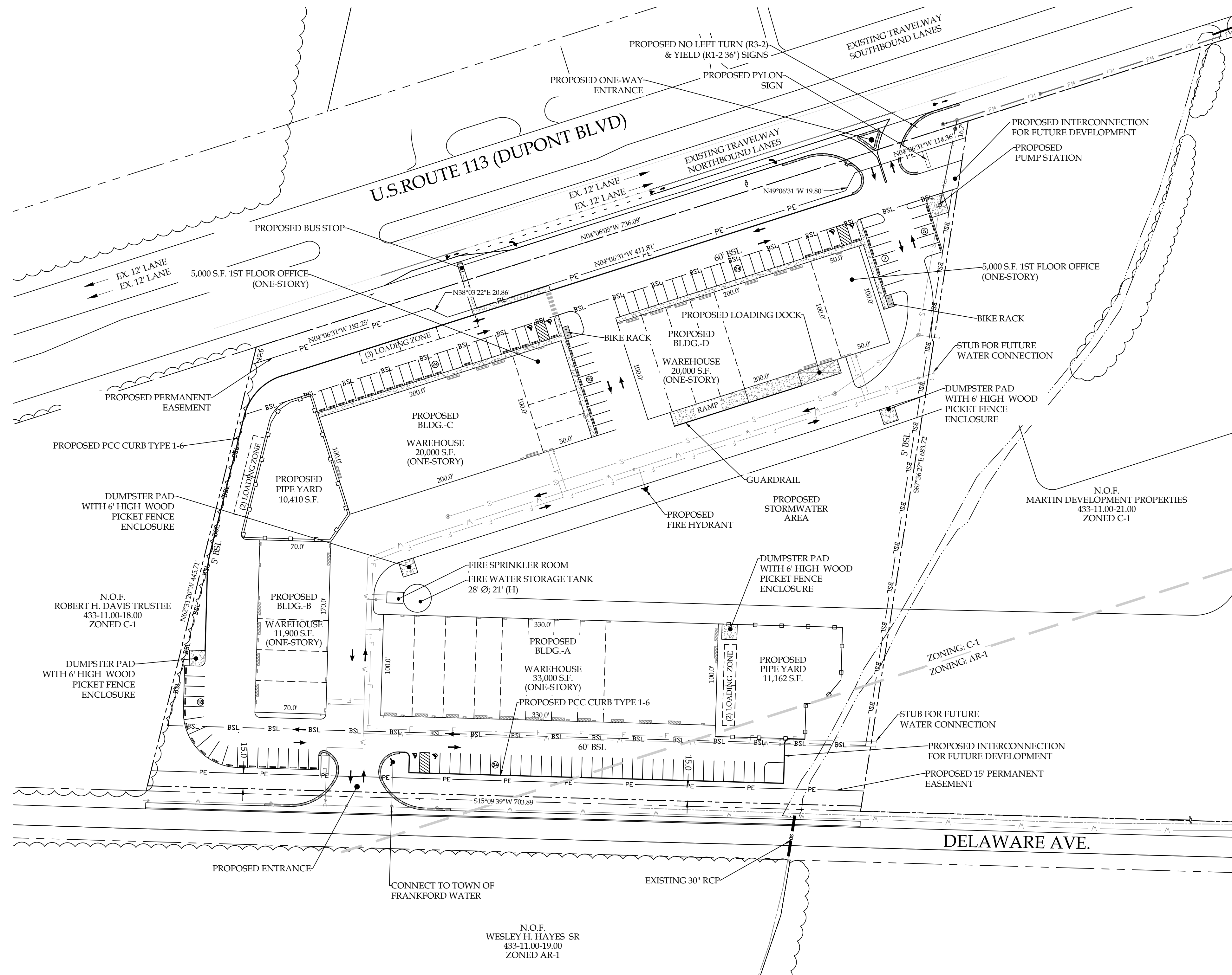


Key Map:
Scale: 1"=500'



VICINITY MAP

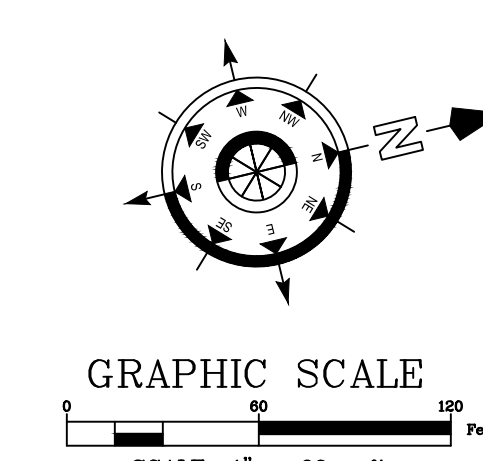
REVISION	DATE	DESCRIPTION
1	10/14/20	Site Plan Revisions
2	05/05/21	Site Plan Revisions



PLAN DATA:

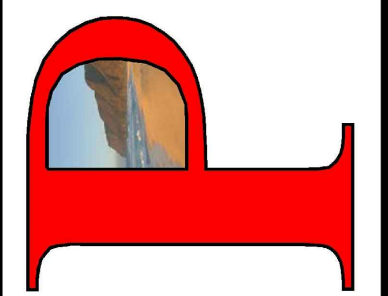
CONTRACT PURCHASER/ APPLICANT:	
MARTIN PROPERTY DEVELOPMENT, LLC TRAVIS MARTIN 34913 DELAWARE AVE. FRANKFORD, DE 19945 PHONE: 302-732-6006	
TAX MAP NO.	433-11.00-21.02
SITE AREA:	8.77 ACRES
CURRENT ZONING:	C-1 & AR-1
PROPOSED ZONING:	C-1 & AR-1
TIDAL WETLANDS AREA:	N/A
NON-TIDAL (Section 404) WETLANDS AREA:	N/A
TOTAL WETLANDS AREA:	N/A
FLOOD ZONE:	X
FLOOD INSURANCE MAP NUMBER:	10005C0488J
PROPOSED BUILDING CONSTRUCTION:	METAL
MAXIMUM BUILDING HEIGHT:	42.0'
SANITARY SEWER:	DAGSBORO-FRANKFORD SANITARY SEWER DISTRICT ARTESIAN
WATER SUPPLIED BY:	10,000 S.F. OFFICE 84,900 S.F. WAREHOUSE (95 EMPLOYEES)
TOTAL NUMBER OF UNITS PROPOSED:	
TOTAL PIPE YARD AREA:	21,572 S.F.
PARKING REQUIRED:	
OFFICE (1/200SF):	50 SPACES
WAREHOUSE (1/2 EMPLOYEES):	48 SPACES
TOTAL SPACES REQUIRED:	98 SPACES
PARKING PROVIDED:	122 SPACES
LOADING SPACES PROVIDED:	7 SPACES
SETBACKS:	FRONT 60' SIDE 5'

LEGEND	
	PROPERTY LINE
	BUILDING SETBACK LINE
	PERMANENT EASEMENT (PE)
	TREELINE
	WATERLINE
	FIRELINE
	SANITARY SEWER
	STORM DRAIN
	SIGN
	UTILITY POLE
	SANITARY SEWER MANHOLE
	PROPOSED SIDEWALK HATCHING

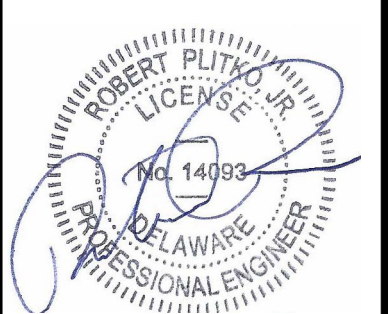


GRAPHIC SCALE
SCALE: 1" = 60' ft.

PLITKO, LLC



FRANKFORD BUSINESS PARK
FINAL SITE PLAN
AGREEMENT #1104
SUSSEX COUNTY, DELAWARE



Scale:	
Designed:	
Planned:	
Drawn:	2021-05-05
Approved:	RP
Sheet No.	1 OF 1

BEFORE THE BOARD OF ADJUSTMENT OF SUSSEX COUNTY

IN RE: REHOBOTH INN JK, LLC

(Case No. 12489)

A hearing was held after due notice on November 2, 2020. The Board members present were: Dr. Kevin Carson, Mr. Jeff Chorman, Ms. Ellen Magee, Mr. John Williamson, and Mr. Brent Workman.

Nature of the Proceedings

This is an application for variances from the front yard and rear yard setback requirements for existing and proposed structures.

Findings of Fact

The Board found that the Applicant is requesting the following variances: 1) a variance of 32.15 feet from the sixty (60) feet front yard setback requirement for steps and a landing on Building A; 2) a variance of 37.73 feet from the sixty (60) feet front yard setback requirement for steps and a landing on Building A; 3) a variance of 33.36 feet from the sixty (60) feet front yard setback requirement for Building A; 4) a variance of 34.02 feet from the sixty (60) feet front yard setback requirement for Building A; 5) a variance of 28.23 feet from the sixty (60) feet front yard setback requirement for Building B; 6) a variance of 31.06 feet from the sixty (60) feet front yard setback requirement for Building B; 7) a variance of 11.53 feet from the thirty (30) feet rear yard setback requirement for Building C; 8) a variance of 10.48 feet from the thirty (30) feet rear yard setback requirement for Building C; and 9) a variance of 9.57 feet from the thirty (30) feet rear yard setback requirement for Building C. This application pertains to certain real property located on the southwest side of Coastal Highway (Route 1) approximately 153 feet southeast of Washington Street (911 Address: 20494 Coastal Highway, Rehoboth Beach) said property being identified as Sussex County Tax Map Parcel Number 3-34-19.08-176.00. After a public hearing, the Board made the following findings of fact:

1. The Board was given copies of the Application, property records, a survey of the Property dated September 2, 2020, a proposed site plan of the Property dated September 2, 2020, an aerial photograph of the Property, and a portion of the tax map of the area.
2. The Board found that the Office of Planning & Zoning received no correspondence in support of or in opposition to the Application.
3. The Board found that Greg Tobias and Zac Crouch were sworn in to give testimony about the Application.
4. The Board found that Mr. Crouch testified that the Property was developed with three buildings in the 1970s and has been used as the Rehoboth Inn.
5. The Board found that Mr. Crouch testified that there are three buildings on the site identified as Building A, Building B, and Building C. The Applicant intends to renovate Building A, remove and replace Building B, and renovate and add to Building C.
6. The Board found that Mr. Crouch testified that Building B is not structurally sound and needs to be replaced as it is not fit for renovation.
7. The Board found that Mr. Crouch testified that that Building C will be renovated with an addition measuring 20 feet by 20 feet and that the addition to Building C will be no closer to the rear property line than the existing building.
8. The Board found that Mr. Crouch testified that other buildings on nearby properties are closer to Route 1.
9. The Board found that Mr. Crouch testified that the Property cannot otherwise be developed based on Fire Marshal and ADA requirements.

10. The Board found that Mr. Crouch testified that Buildings A and B will not encroach farther into the setback areas than what exists today but Building C will encroach slightly more than what exists today.
11. The Board found that Mr. Crouch testified that Building B does not meet Fire Marshal or ADA requirements.
12. The Board found that Mr. Crouch testified that the requested variances will not alter the essential character of the neighborhood as the majority of buildings in the vicinity of this property encroach into the front yards setbacks.
13. The Board found that Mr. Crouch testified that the total number of units will be reduced from 31 to 21 to meet today's standards.
14. The Board found that Mr. Crouch testified that there is a right-of-way for DeIDOT and that the entrance has to be widened to meet DeIDOT requirements.
15. The Board found that Mr. Crouch testified that the variances are the minimum variances to afford relief.
16. The Board found that Mr. Crouch testified that the Property is unique as the existing buildings onsite and buildings on adjacent lots do not meet the current setback requirements.
17. The Board found that Mr. Crouch testified that there has been a motel on this property since at least 1992.
18. The Board found that Mr. Crouch testified that the developer is reducing the number of units to comply with parking requirements.
19. The Board found that Mr. Crouch testified that the proposed encroachments are no greater than those that already exist and have existed for a number of years.
20. The Board found that Mr. Crouch testified that the Applicant is enhancing the area.
21. The Board found that Mr. Tobias testified that he purchased the Property in April 2020 and that he is cleaning up the area.
22. The Board found that Mr. Tobias testified that the motel was built in the 1970s.
23. The Board found that Mr. Tobias testified that he is decreasing the number of units but increasing the size of each unit to meet today's standards.
24. The Board found that Mr. Tobias testified that the current rooms in Building B are small.
25. The Board found that Mr. Tobias testified that there have been no complaints regarding the existing structures.
26. The Board found that Mr. Crouch testified that the Property is narrow and the Applicant is constrained by Fire Marshal regulations.
27. The Board found that Mr. Crouch testified that granting the variances will not cause any visibility issues.
28. The Board found that Mr. Crouch testified that Building B cannot be moved to the rear of the Property due to the location of the stormwater management pond.
29. The Board found that Mr. Crouch testified that the Applicant wanted to renovate Building B but determined that it could not be refurbished.
30. The Board found that Mr. Crouch testified that the Applicant encountered difficulty in designing due to structural problems with Building B and the Fire Marshal regulations. Mr. Tobias confirmed that he encountered design challenges.
31. The Board found that Mr. Tobias testified that there were previously 32 parking spaces on the site.
32. The Board found that Mr. Tobias testified that Building A has a basement and steel columns but Building B was constructed on wood with crawl spaces and is the oldest building. He believes that Building B is structurally unsafe and needs to be demolished.
33. The Board found that Mr. Tobias testified that Building B has been empty for some time.
34. The Board found that Mr. Tobias testified that there is a construction office located to the south of the site which was renovated 4 years ago.

35. The Board found that Mr. Crouch testified that there is 25 feet from the travel lane of Route 1 to the property line.
36. The Board found that Mr. Crouch testified that one employee will live on site.
37. The Board found that Mr. Crouch testified that the buildings have to be improved with sprinklers per Fire Marshal regulations.
38. The Board found that Mr. Crouch testified that there is a 15 foot perimeter access per Fire Marshal's requirements and that there is a green space requirement as well.
39. The Board found that no one appeared in person in support of or opposition to the Application.
40. The Board found that David O'Berry was sworn in on teleconference to give testimony in support of the Application.
41. The Board found that Mr. O'Berry testified that he lives in a single-family home to the rear of the Property.
42. The Board found that Mr. O'Berry testified that he likes that the Applicant is reducing the density.
43. The Board found that Mr. O'Berry testified that the building is really run down and he is pleased that it is being improved.
44. The Board tabled its decision on the Application until December 14, 2020, at which time the Board discussed and voted on the Application.
45. Based on the findings above and the testimony and evidence presented at the public hearing and the public record, which the Board found credible, persuasive, and un rebutted, the Board determined that the application met the standards for granting a variance. The findings below further support the Board's decision to approve the Application.
 - a. The Property is unique as it is lot that has been used for a motel for many years and the motel needs to be renovated. As part of the existing development, the Property is improved by 3 buildings; one of which is structurally unsound and needs to be replaced. The other buildings also need renovations. The Applicant proposes to reduce the number of rooms on the site but is constrained by regulations applicable to the use, such as storm water management, parking, ADA, and Fire Marshal requirements. These conditions greatly limit the area where renovations can be made. The lot's unique conditions limit the buildable area available to the Applicant and have created an unnecessary hardship and an exceptional practical difficulty for the Applicant who seeks to renovate its motel as proposed.
 - b. The unnecessary hardship and exceptional practical difficulty are not being created by the provisions of the Sussex County Zoning Code.
 - c. Due to the uniqueness of the lot, the Property cannot be developed in strict conformity with the Sussex County Zoning Code. The Property has unique development history as it was developed by a three-building motel for many years. The motel has become outdated and needs renovations and, with respect to one building, reconstruction. The Applicant is unable to do so, however, without violating the Sussex County Zoning Code. The Board is convinced that the variances are necessary to enable the reasonable use of the Property as the variances will allow the Applicant to reasonably renovate the structures as proposed. The Board is convinced that the shape and location of the structures are also reasonable, which is confirmed when reviewing the survey provided by the Applicant.
 - d. The unnecessary hardship and exceptional practical difficulty were not created by the Applicant. The Applicant only recently acquired the Property and did not place the existing structures on the lot. Rather, those structures were placed on the lot many years ago by a prior owner. The Applicant is severely constrained by other regulations such as stormwater management, Fire Marshal, ADA, and parking requirements and those

requirements greatly limit the Applicant's ability to develop the lot. The Board notes that the lot is not particularly large either. The Board is convinced that the unnecessary hardship and exceptional practical difficulty were not created by the Applicant but was created by the lot's unique characteristics and history.

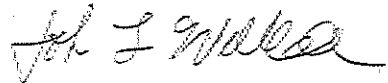
- e. The variances will not alter the essential character of the neighborhood nor substantially or permanently impair the appropriate use or development of adjacent property, nor be detrimental to the public welfare. The Board is convinced that the proposed renovations will have no effect on the character of the neighborhood. The renovations should improve a motel which has fallen into disrepair and the renovations should be an improvement to the area. The Board notes that a neighbor has submitted support of the Application as well. The Board also notes that Building B will encroach less than the prior Building B. There was no evidence that the location of the structures would somehow affect the neighborhood and no evidence was presented that the variances would somehow alter the essential character of the neighborhood or be detrimental to the public welfare.
- f. The variances sought are the minimum variances necessary to afford relief and the variances requested represent the least modifications possible of the regulations at issue. The Applicant has demonstrated that the variances sought will allow the Applicant to reasonably renovate the existing structures on the lot and to reconstruct Building B. The Applicant is reducing the number of rooms for the motel and will have to meet other regulations as part of its design.
- g. The condition or situation of the Property and the intended use of the Property is not of so general or recurring a nature as to make reasonably practicable the formulation of a general regulation to be adopted as an amendment to the Sussex County Zoning Code.

The Board granted the variance application finding that it met the standards for granting a variance.

Decision of the Board

Upon motion duly made and seconded, the variance application was approved. The Board Members in favor of the motion to approve were Dr. Kevin Carson, Mr. Jeffrey Chorman, and Mr. John Williamson. Ms. Ellen Magee voted against the Motion to approve the variance application. Mr. Brent Workman did not participate in the vote on this application.

BOARD OF ADJUSTMENT
OF SUSSEX COUNTY



John Williamson
Acting Chair

If the use is not established within two (2) years from the date below the application becomes void.

Date February 15, 2021

REHOBOTH INN

(f.k.a. CARMAS LANE COTTAGES MOTEL)

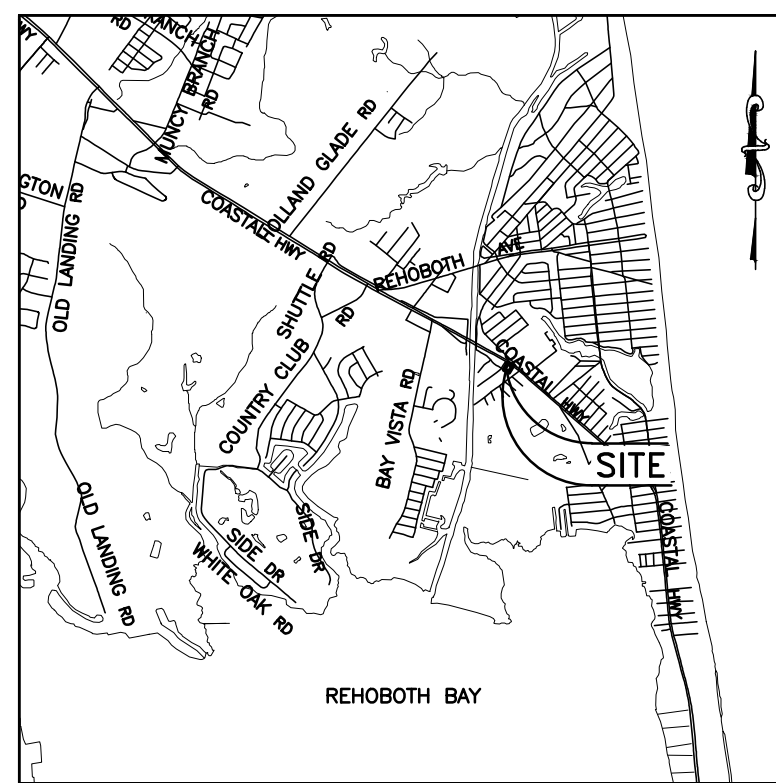
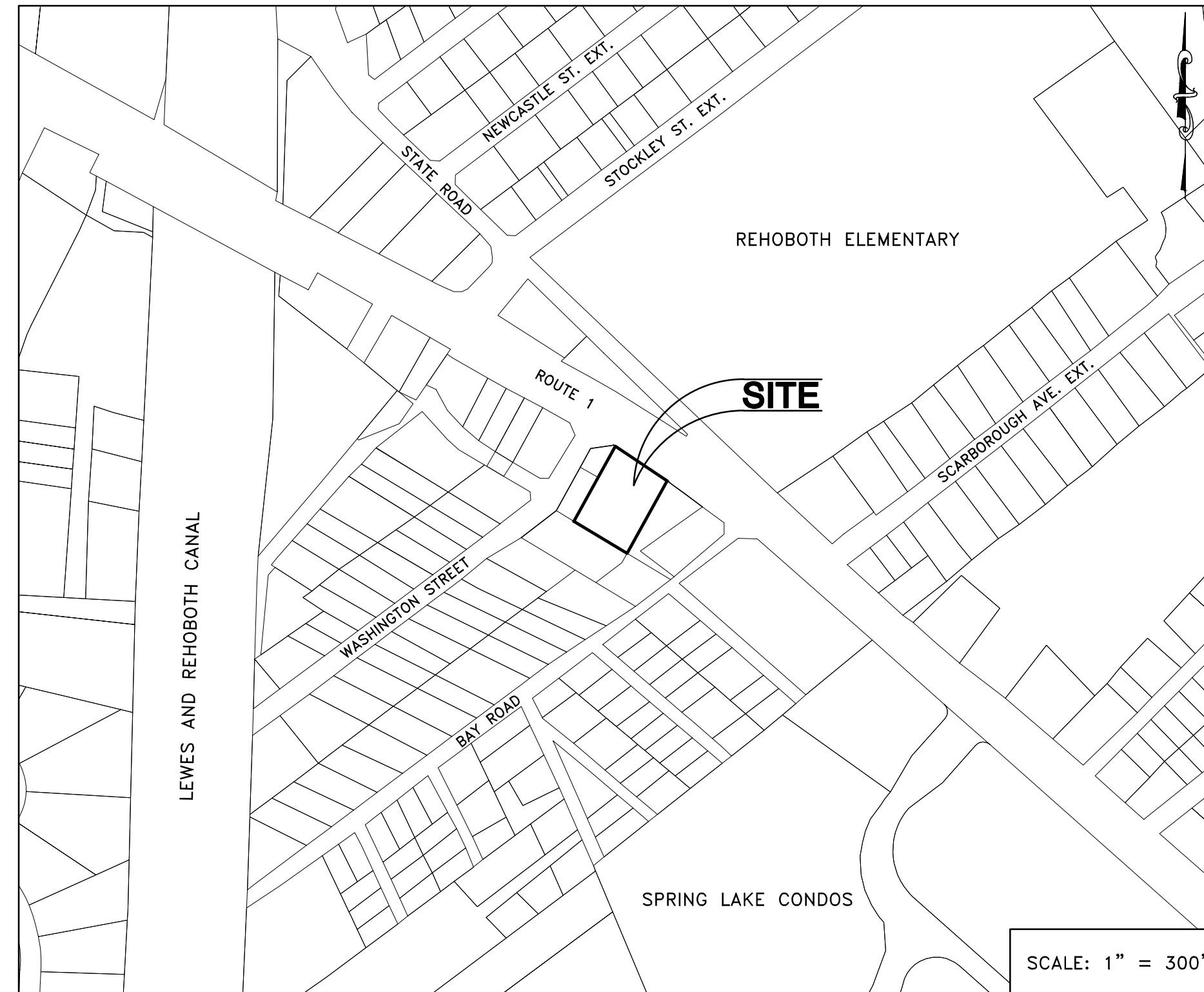
LEWES & REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

DBF # 0818A005

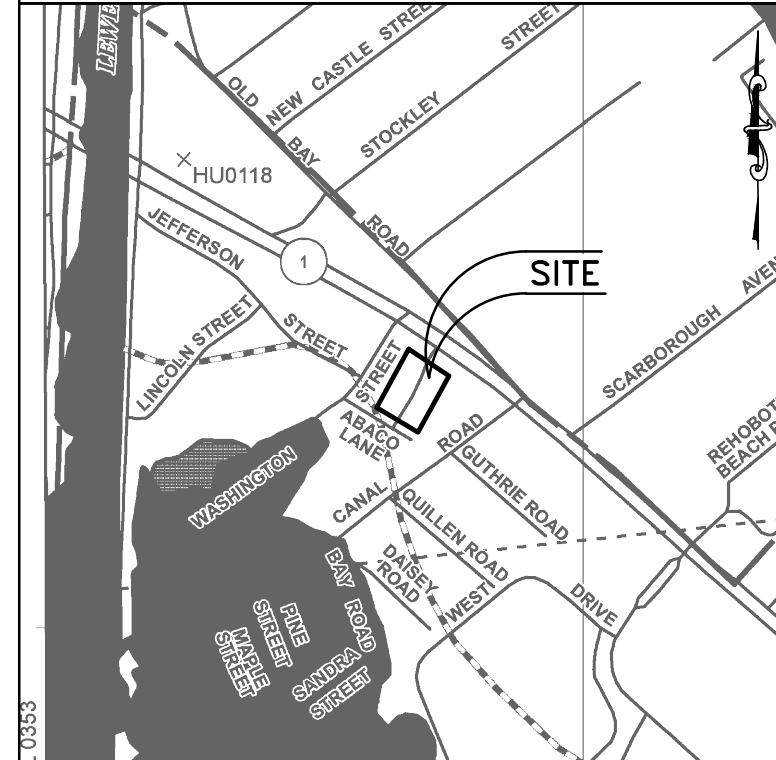
CONSTRUCTION DOCUMENTS

AUGUST, 2020

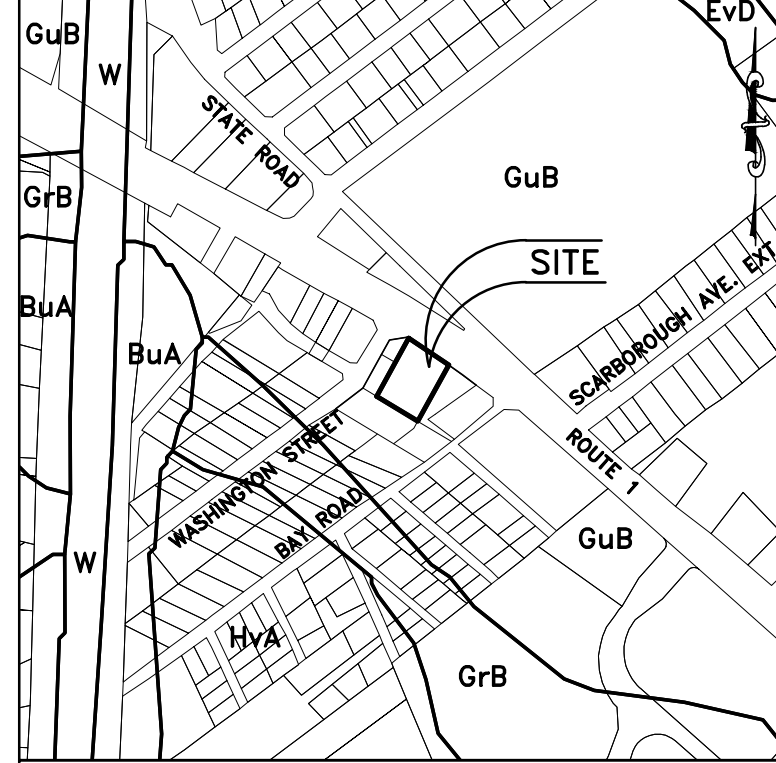
SUSSEX COUNTY REFERENCE NUMBER: (S-20-29)



LOCATION MAP SCALE: 1" = 1 MILE



FLOODPLAIN MAP SCALE: 1" = 600'
FEMA PANEL #10005C0354K DATED: MARCH 16, 2015



SOILS MAP SCALE: 1" = 600'
GuB - GREENWICH-URBAN LAND COMPLEX, 0 TO 5% SLOPES, HSG B

DATA COLUMN

PARCEL ID:	334-19.08-176.00
DEED REFERENCE:	D-2221-180
DATUM:	NAVD 88
VERTICAL:	NAD 83 (DE STATE PLANE)
HORIZONTAL:	
LAND USE:	COMMERCIAL
EXISTING:	COMMERCIAL
PROPOSED:	
LAND COVERAGE:	
EXISTING IMPERVIOUS:	0.569 AC. (81%)
PROPOSED IMPERVIOUS:	0.590 AC. (84%)
EXISTING PERVIOUS:	0.137 AC. (19%)
PROPOSED PERVIOUS:	0.116 AC. (16%)
AREAS:	
EXISTING SITE:	0.706 AC. (30,766 S.F.)
NET DEVELOPMENT AREA:	0.706 AC. (30,766 S.F.)
EXISTING OPEN SPACE:	0.137 AC. (19%)
PROPOSED OPEN SPACE:	0.116 AC. (16%)
ZONING:	
EXISTING:	C-1 GENERAL COMMERCIAL
PROPOSED:	C-1 GENERAL COMMERCIAL
MINIMUM REQUIREMENTS:	
FRONT SETBACK:	60 FT.
SIDE SETBACK:	5 FT.
REAR SETBACK:	30 FT. (ADJACENT TO A RESIDENTIAL DISTRICT)
WIDTH OF LOT:	75 FT.
DEPTH OF LOT:	100 FT.
MINIMUM LOT AREA:	10,000 FT.
PARKING:	(1.5 PER ROOM)
PARKING REQUIRED:	21 ROOMS x 1.5 = 32 SPACES
MAXIMUM REQUIREMENTS:	
BUILDING HEIGHT:	42 FT.
PROPOSED:	
BUILDING HEIGHT:	2 STORIES
PARKING:	32 SPACES, INCLUDING 2 HANDICAPPED ACCESSIBLE
UTILITIES:	
SEWER:	PUBLIC (SUSSEX COUNTY)
WATER:	CITY OF REHOBOTH
BUILDING INFORMATION:	
EXISTING BUILDING:	
HOTEL CAPACITY:	31 ROOMS
HOTEL BUILDING FOOTPRINT:	5,818 S.F.
HOTEL GROSS SQUARE FOOTAGE:	9,410 S.F.
HOTEL BUILDING HEIGHT:	2 STORIES
PROPOSED BUILDING:	
HOTEL CAPACITY:	21 ROOMS
HOTEL BUILDING FOOTPRINT:	7,550 S.F.
HOTEL GROSS SQUARE FOOTAGE:	15,100 S.F.
HOTEL BUILDING HEIGHT:	2 STORIES
CONSTRUCTION:	WOOD / CONCRETE BLOCK CONSTRUCTION
FLOODPLAIN:	THIS PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA MAP 10005C0354K, DATED MARCH 16, 2015
WETLANDS:	THIS PROPERTY IS NOT IMPACTED BY WETLANDS
POSTED SPEED LIMIT:	COASTAL HWY. 40 M.P.H.
NOTES:	
1.	THIS PARCEL LIES WITHIN THE COMBINED HIGHWAY CORRIDOR OVERLAY ZONE (CHCOZ) PER SUSSEX COUNTY CODE. THIS OVERLAY ZONE CONSISTS OF "ALL UNINCORPORATED LANDS WITHIN 600 FEET ON EACH SIDE OF STATE ROUTE 1, BETWEEN KENT COUNTY, DELAWARE AND FENWICK ISLAND, DELAWARE" AND THIS ZONE SHALL BE MEASURED FROM THE EXISTING ROAD RIGHT-OF-WAY LINE (8115-194.1(B)(1)).
2.	THIS PARCEL IS LOCATED WITHIN AN AREA OF "FAIR" GROUNDWATER RECHARGE POTENTIAL TO COMPLY WITH CHAPTER 89 "SOURCE WATER PROTECTION" OF THE SUSSEX COUNTY CODE (889-7).
3.	THIS PARCEL IS NOT LOCATED WITHIN AN WELLHEAD PROTECTION AREA TO COMPLY WITH CHAPTER 89 "SOURCE WATER PROTECTION" OF THE SUSSEX COUNTY CODE (889-7).
4.	ON FEBRUARY 15, 2021 THE SUSSEX COUNTY BOARD OF ADJUSTMENT GRANTED THE FOLLOWING VARIANCES FOR CASE NO. 12489: 1) A VARIANCE OF 32.15 FEET FROM THE SIXTY (60) FEET FRONT YARD SETBACK REQUIREMENT FOR STEPS AND A LANDING ON BUILDING A; 2) A VARIANCE OF 37.73 FEET FROM THE SIXTY (60) FEET FRONT YARD SETBACK REQUIREMENT FOR STEPS AND A LANDING ON BUILDING A; 3) A VARIANCE OF 33.36 FEET FROM THE SIXTY (60) FEET FRONT YARD SETBACK REQUIREMENT FOR BUILDING A; 4) A VARIANCE OF 34.02 FEET FROM THE SIXTY (60) FEET FRONT YARD SETBACK REQUIREMENT FOR BUILDING A; 5) A VARIANCE OF 28.23 FEET FROM THE SIXTY (60) FEET FRONT YARD SETBACK REQUIREMENT FOR BUILDING B; 6) A VARIANCE OF 31.06 FEET FROM THE SIXTY (60) FEET FRONT YARD SETBACK REQUIREMENT FOR BUILDING B; 7) A VARIANCE OF 11.53 FEET FROM THE THIRTY (30) FEET REAR YARD SETBACK REQUIREMENT FOR BUILDING C; 8) A VARIANCE OF 10.48 FEET FROM THE THIRTY (30) FEET REAR YARD SETBACK REQUIREMENT FOR BUILDING C; AND 9) A VARIANCE OF 9.57 FEET FROM THE THIRTY (30) FEET REAR YARD SETBACK REQUIREMENT FOR BUILDING C. THE VARIANCES PERTAIN TO CERTAIN REAL PROPERTY LOCATED ON THE SOUTHWEST SIDE OF COASTAL HIGHWAY (ROUTE 1) APPROXIMATELY 153 FEET SOUTHEAST OF WASHINGTON STREET (911 ADDRESS: 20494 COASTAL HIGHWAY, REHOBOTH BEACH) SAID PROPERTY BEING IDENTIFIED AS SUSSEX COUNTY TAX MAP PARCEL NUMBER 3-34-19.08-176.00.

OWNER/DEVELOPER:
REHOBOTH INN JK, LLC
20184 PHILLIPS STREET
REHOBOTH BEACH, DE 19971

ENGINEER:
DAVIS, BOWEN & FRIEDEL, INC.
W. ZACHARY CROUCH, P.E.
1 PARK AVENUE
MILFORD, DE 19963
(302) 424-1441

SHEET INDEX	
SITE PLAN	
TITLE SHEET	C-001
NOTES / LEGEND	C-002
EXISTING CONDITIONS / DEMOLITION PLAN	C-100
SITE PLAN	C-101
CONSTRUCTION DETAILS	C-102
EROSION & SEDIMENT CONTROL / GRADING PLAN	C-400
EROSION & SEDIMENT CONTROL DETAILS	C-401 TO C-403
LANDSCAPE PLAN	L-100
ENTRANCE IMPROVEMENTS	
ENTRANCE IMPROVEMENTS - SITE PLAN	1

OWNER'S STATEMENT

I, THE UNDERSIGNED, HEREBY STATE THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN BE RECORDED ACCORDING TO LAW.

NAME _____ DATE _____

ENGINEER'S STATEMENT

I, W. ZACHARY CROUCH, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVIS, BOWEN & FRIEDEL, INC. DATE _____
by W. ZACHARY CROUCH, P.E.



DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS, ENGINEERS & SURVEYORS

SALISBURY, MARYLAND (410) 543-9091
MILFORD, DELAWARE (302) 424-1441
EASTON, MARYLAND (410) 770-4744

REVISED:
2020-07-31: DELDOT
2020-08-06: CLIENT
2020-08-14: CITY OF REHOBOTH
2020-10-06: SCD
2020-10-22: PM
2021-02-22: P&Z
2021-04-07: P&Z

C-001

GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO WEEKS PRIOR OF THE START OF CONSTRUCTION AND SHALL APPRISE AND COORDINATE DURING ALL PHASES OF CONSTRUCTION
 - SUSSEX COUNTY ENGINEERING DEPARTMENT 302-855-7718
 - DAVIS, BOWEN & FRIEDEL, INC. 302-424-1441
 - SUSSEX CONSERVATION DISTRICT 302-856-2105
 - CITY OF REHOBOTH, PUBLIC WORKS 302-227-6181
 - DEPARTMENT OF TRANSPORTATION 302-853-1342
- HORIZONTAL AND VERTICAL CONTROL SURVEY BY DAVIS, BOWEN AND FRIEDEL, INC. DATED: 5/19/2020
- EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS, INCLUDING TELEPHONE, ELECTRIC, CABLE TV, GAS, WATER, SEWER, AND STORM DRAINAGE ARE BASED UPON THE BEST AVAILABLE INFORMATION AND ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. NO GUARANTEE IS MADE OR IMPLIED REGARDING THE ACCURACY OR COMPLETENESS THEREOF. CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION, DEPTH, SIZE AND MATERIAL OF ALL UNDERGROUND UTILITIES TO HIS/HER OWN SATISFACTION BEFORE BEGINNING ANY EXCAVATION OR PIPE LAYING. THE COUNTY, OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION. IF THE CONTRACTOR RELIES ON SAID INFORMATION, HE/SHE DOES SO AT THEIR OWN RISK. THE GIVING OF THE INFORMATION ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS/HER OBLIGATIONS TO SUPPORT AND PROTECT ALL SHOWN OR NOT SHOWN EXISTING UTILITIES AND APPURTENANCES. SHOULD ANY EXISTING UTILITIES BE DAMAGED BY THE CONTRACTOR, THEN THE CONTRACTOR SHALL REPAIR THE DAMAGE CAUSED TO THE COUNTY AND/OR UTILITY COMPANY'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL MAKE HIS/HER OWN INVESTIGATION AND TEST PIT EXISTING UTILITIES AS REQUIRED.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" (1-800-282-8555 IN DE) AT LEAST 3 CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION TO HAVE EXISTING UNDERGROUND UTILITIES LOCATED AND MARKED.
- ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF ALL PERMITS SECURED, WHICH TAKE PRECEDENCE OVER SPECIFICATIONS.
- THE CONTRACTOR SHALL REPAIR OR REPLACE IN-KIND ANY EXISTING FEATURES DAMAGED OR DESTROYED DURING CONSTRUCTION, AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL USE ONLY SUITABLE AND APPROVED GRANULAR MATERIAL FOR BACK FILLING TRENCHES.
- THE CONTRACTOR SHALL COORDINATE WITH DELAWARE DEPARTMENT OF TRANSPORTATION TO DETERMINE MAINTENANCE OF TRAFFIC DURING CONSTRUCTION AT ENTRANCE. ANY PAVEMENT MARKINGS OR PAINTED LINES DISTURBED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED IN-KIND AFTER COMPLETION OF PAVEMENT RESTORATION.
- THE CONTRACTOR SHALL PROVIDE STAKEOUT SURVEY NECESSARY FOR INSTALLATION OF UTILITIES AND ALL SITE WORK INCLUDED IN THESE PLANS. ALL STAKEOUT WORK IS TO BE PERFORMED UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF DELAWARE.
- THE CONTRACTOR SHALL EXERCISE CAUTION AND TAKE MEASURES NECESSARY TO PROTECT TREES DURING CONSTRUCTION ACTIVITIES. DAMAGED TREES TO BE REPLACED, IN KIND, AT THE CONTRACTOR'S EXPENSE.
- ALL ROADWAYS ARE TO BE SWEEPED FREE OF SEDIMENT ON A DAILY BASIS.
- THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE WORK AREA, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL REGULATORY, WARNING, AND INFORMATIONAL SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE. THE COST SHALL BE INCLUDED IN THE COST OF ITEMS BID.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- NO SITE PREPARATION, SITE DISTURBANCE, SITE EXCAVATION OF OTHER SITE CONSTRUCTION SHALL BE COMMENCED UNTIL ALL PERMITS REQUIRED BY ALL OTHER LAWS, ORDINANCES, RULES AND REGULATIONS SHALL HAVE BEEN ISSUED AND THE APPROVED FINAL SITE PLAN IS RECORDED, EXCEPT SUCH SITE WORK FOR WHICH A PERMIT HAS BEEN ISSUED BY THE SUSSEX CONSERVATION DISTRICT.
- ANY ADDITIONAL PROPOSED SIGNS SHALL REQUIRE A SEPARATE PERMIT FROM SUSSEX COUNTY PLANNING AND ZONING.

DEMOLITION AND SAFETY GENERAL NOTES

- EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48 HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA THREE CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
- THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE ROAD WAY, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL, REGULATORY, WARNING AND INFORMATIONAL SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE. THE COST SHALL BE INCLUDED IN THE COST OF ITEMS BID.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
- DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM. ADDITIONAL COSTS WILL BE NEGOTIATED WITH THE OWNER.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL WORK MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- ALL EXISTING SEWER PIPE, MANHOLES, AND APPURTENANCES DESIGNATED FOR REMOVAL SHALL BE REMOVED. NO ABANDONED IN PLACE COMPONENTS WILL BE ALLOWED.
- CONTRACTOR TO COORDINATE THE CAPPING/REMOVAL OR ADJUSTMENT TO PUBLIC/PRIVATE UTILITIES, INCLUDING GAS.

FIRE PROTECTION GENERAL NOTES

- ALL FIRE LANES, HYDRANTS, EXITS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS (DSFPR, 705, CHAPTER 5).
- WATER PROVIDER: CITY OF REHOBOTH
- TAX MAP NUMBER: 334-19.08-176.00
- PROPOSED BUILDING CONSTRUCTION: WOOD/CONCRETE BLOCK, TYPE V
- INTENDED USE: COMMERCIAL (HOTEL)
- MAXIMUM HEIGHT OF BUILDING: 42 FEET
- ALL BUILDINGS WILL BE PROTECTED BY AUTOMATIC FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13.
- LOCK BOX REQUIRED, CONTACT LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF BOX ON THE BUILDING.
- BUILDINGS SHALL HAVE STANDPIPES INSTALLED IN ACCORDANCE WITH THE DELAWARE FIRE PREVENTION REGULATIONS AND NFPA 14.
- FIRE HYDRANT SHALL BE AMERICAN DARLING B-62.

INTERNAL PAVING / CONCRETE NOTES

- HOT MIX ASPHALT SHALL BE INSTALLED IN ACCORDANCE WITH THE 2001 DELDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION:
 - SECTION 401 FOR PLACEMENT OF TACK COAT AND HOT MIX.
 - ASPHALT SHALL BE FROM A DELDOT APPROVED PLANT.
 - HOT MIX SHALL NOT BE APPLIED WHEN THE TEMPERATURE IS BELOW 40° F OR ON ANY WET OR FROZEN SURFACE.
- ALL DISTURBED AREAS NOT COVERED WITH IMPERVIOUS MATERIAL, SHALL BE TOPSOILED (6" MINIMUM), FERTILIZED, SEEDDED AND MULCHED.
- ALL SIGNING AND MAINTENANCE OF TRAFFIC IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL FOLLOW THE 2011 DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
- DESIGN, FABRICATION, AND INSTALLATION OF ALL PERMANENT SIGNING SHALL BE AS OUTLINED IN THE 2011 DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
- FOR FINAL PERMANENT PAVEMENT MARKINGS, EPOXY RESIN PAINT SHALL BE REQUIRED FOR LONG LINE STRIPING AND THERMO WILL BE REQUIRED FOR SHORT LINE STRIPING, I.E. SYMBOLS/LEGENDS.
- ALL TRAFFIC CONTROL DEVICES SHALL BE IN NEW OR REFURBISHED CONDITION, SHALL COMPLY WITH THE 2011 DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION), AND SHALL BE NCHRP - 350 APPROVED AND SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED IN GOOD CONDITION FOR DURATION OF USE.
- BREAKAWAY POSTS SHALL BE USED WHEN INSTALLING ALL SIGNS. DETAIL CAN BE FOUND IN DELDOT'S STANDARD CONSTRUCTION DETAILS.
- PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT PAVING IS INSTALLED TO THE ELEVATIONS SHOWN AND THAT NO PONDING OF WATER EXISTS AFTER PAVING IS COMPLETE. PONDING IS DEFINED AS WATER STANDING IN AN AREA MORE THAN 1 HOUR AFTER A RAINFALL EVENT THAT PRODUCES RUNOFF. ELIMINATION OF PONDING WILL BE COMPLETED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- SUPERPAVE HOT-MIX SHALL BE USED IN ACCORDANCE WITH DELDOT SPECIAL PROVISIONS.
- OPEN-CUT TRENCHES AND PROVIDE PAVEMENT RESTORATION IN ACCORDANCE WITH CITY OF REHOBOTH STANDARDS AND SPECIFICATIONS. SEE DETAILS ON SHEET C-102.
- CONCRETE SHALL BE PLACED IN ACCORDANCE WITH DELDOT STANDARD SPECIFICATIONS.

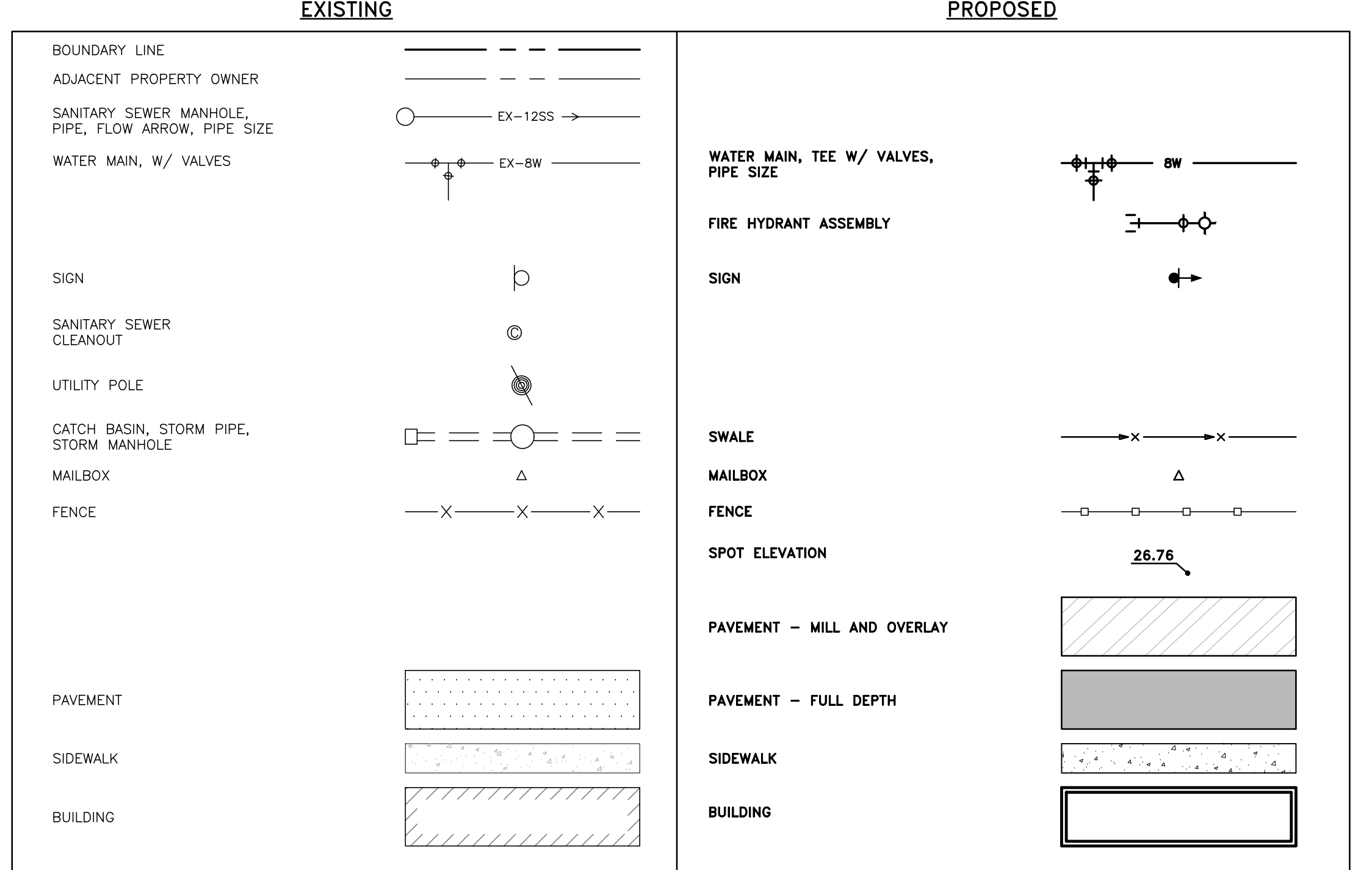
WATER DISTRIBUTION GENERAL NOTES

- USE ONLY SUITABLE GRANULAR MATERIAL APPROVED BY CITY OF REHOBOTH BEACH OR DESIGNEE FOR BACKFILLING TRENCHES.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING WATER MAINS TO WHICH NEW CONSTRUCTION WILL CONNECT.
- THE FIRE SERVICE LINE AND WATER LATERAL SHALL HAVE A MINIMUM COVER OF 3.0 FEET FROM PROPOSED GRADE, AS MEASURED FROM THE TOP OF PIPE.
- THE CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH OR ACCESS PITS WHICH CAN BE BACKFILLED AND STABILIZED AT THE END OF EACH WORKING DAY. STEEL PLATES SHALL BE USED ON ANY TRENCH OR ACCESS PITS WHICH MUST REMAIN OPEN OVERNIGHT. THIS REQUIREMENT DOES NOT APPLY TO AREAS COMPLETELY CLOSED AND SECURE FROM VEHICULAR OR PEDESTRIAN TRAFFIC.
- FINAL APPROVED SET OF PLANS AND SPECIFICATIONS SHALL BE MAINTAINED ON THE JOB SITE. FAILURE TO COMPLY WITH THIS PROVISION SHALL BE CONSIDERED CAUSE TO STOP THE WORK.
- THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF CONTRACT DRAWINGS ON WHICH HE SHALL NOTE, IN RED, THE ALIGNMENTS AND INVERTS OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK. ALL DISCREPANCIES BETWEEN THE PLAN LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE AS-BUILT DRAWINGS TO BE MAINTAINED BY THE CONTRACTOR IN THE FIELD.
- ROUTINE PERIODIC INSPECTIONS DURING CONSTRUCTION WILL BE PROVIDED BY THE CITY OF REHOBOTH BEACH OR DESIGNEE. THESE INSPECTIONS DO NOT RELIEVE THE CONTRACTOR FROM HIS OBLIGATION AND RESPONSIBILITY FOR CONNECTING THE WATER AND FIRE LATERALS IN ACCORDANCE WITH THE CITY OF REHOBOTH BEACH STANDARDS AND SPECIFICATIONS.
- DIFFERING SITE CONDITIONS AND/OR DIFFERING MATERIAL PROPERTIES SHALL REQUIRE CITY OF REHOBOTH OR DESIGNEE APPROVAL OF SPECIAL DESIGN DETAILS PREPARED BY THE DESIGN ENGINEER PRIOR TO INITIATING OR RESUMING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL ALLOW SUFFICIENT TIME FOLLOWING EXCAVATIONS FOR INSPECTION AND EVALUATION OF EXISTING SOIL SUBGRADE CONDITIONS BY THE CITY OF REHOBOTH BEACH OR DESIGNEE. THE CITY OF REHOBOTH BEACH OR DESIGNEE SHALL INSPECT ALL LATERAL SUBGRADES FOLLOWING EXCAVATION AND PRIOR TO CONSTRUCTION OF NEW WORK TO CONFIRM DESIGN CONDITIONS ARE MET AND SUBGRADE CONDITIONS ARE SUITABLE FOR CONSTRUCTION. IN THE EVENT THE SOIL BEARING CAPACITY IS LESS THAN THE MINIMUM DESIGN VALUE, THE CITY OF REHOBOTH BEACH OR DESIGNEE SHALL CAUSE AFFECTED CONSTRUCTION TO CEASE AND SHALL NOTIFY THE DESIGN ENGINEER FOR RE-DESIGN TO ACCOMMODATE THE REDUCED SOIL BEARING CAPACITY.
- IN THE EVENT THE SUBGRADE CONDITION IS UNSTABLE, DUE TO UNSUITABLE MATERIALS AND/OR GROUNDWATER INFILTRATION/INTRUSION INTO THE SURROUNDING SOILS, AS DETERMINED BY THE CITY OF REHOBOTH BEACH OR DESIGNEE, THE CONTRACTOR SHALL, AS DIRECTED BY THE CITY OF REHOBOTH BEACH OR DESIGNEE, REMOVE THE UNSUITABLE MATERIAL AND FILL WITH SUITABLE APPROVED GRANULAR FILL MATERIAL.
- CONTRACTOR SHALL EXTEND LATERAL BELOW ANY CONFLICTS OR OBSTRUCTIONS TO PROVIDE REQUIRED CLEARANCES. COST SHALL BE INCLUDED IN THE PRICE APPLICABLE ITEMS OF THE PROPOSAL.
- ALL GATE VALVES SHALL BE PROVIDED WITH A ROADWAY SCREW-TYPE CAST IRON VALVE BOX. BOX FOR VALVES 3" AND SMALLER SHALL HAVE AN ARCH BASE.
- VALVES LARGER THAN 4" SHALL MATCH THE TYPE CURRENTLY INSTALLED ON THE PROPERTY.
- PLACE NEW VALVES NEXT TO TEES, BENDS, ETC., SUPPORT ALL VALVES ON A SOLID 4"x8" CONCRETE MASONRY UNIT.
- ALL WATER MAINS SHALL BE HYDROSTATICALLY TESTED AND DISINFECTED BEFORE ACCEPTANCE.
- ALL PROPOSED SERVICES SHALL BE INSTALLED WITH A TRACER WIRE CONTINUOUSLY ALONG AND DIRECTLY ADHERED TO THE PIPE.
- ALL VALVE CLOSURES AND CUT-INS SHALL BE COORDINATED WITH THE CITY OF REHOBOTH BEACH OR DESIGNEE. CITY OF REHOBOTH BEACH OR DESIGNEE OFFICIALS WILL CARRY OUT ALL NECESSARY VALVE CLOSURES. CONTRACTOR SHALL COORDINATE ISOLATION OF EXISTING WATER MAINS WITH THE CITY OF REHOBOTH BEACH OR DESIGNEE AND NOTIFY RESIDENTS AT LEAST 48 HOURS PRIOR TO CUT-IN.
- ALL FITTINGS WILL BE TYLER UNION MECHANICAL JOINT RESTRAINT. ALL FITTINGS WILL BE RESTRAINED, BUTTRESSES ARE NOT PERMITTED.
- CONTRACTOR TO GPS AS-BUILT WATER MAIN TO INCLUDE ALL FITTINGS, BENDS, VALVES, HYDRANTS, ETC.
- WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM SEWER MAINS. WATER CROSSING SEWER MAINS SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 18" TO OUTSIDE OF PIPES. IF AN 18" CLEARANCE CANNOT BE OBTAINED, A 10 LINEAR FOOT CONCRETE ENCASEMENT SHALL BE USED.

DRAINAGE, GRADING AND SEDIMENT CONTROL GENERAL NOTES

- THE SUSSEX CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 5 DAYS PRIOR TO COMMENCING WITH CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- REVIEW AND/OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY DNREC OR THE DELEGATED AGENCY.
- FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER SEDIMENT CONTROLS, SOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHOULD BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
- APPROVAL OF A SEDIMENT AND STORMWATER MANAGEMENT PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
- THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
- BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7. DEL. C. CH 60, REGULATIONS GOVERNING THE CONTROL OF WATER POLLUTION, SECTION 9.1.02, KNOWN AS SPECIAL CONDITIONS FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, AND DNREC POLICIES, PROCEDURES, AND GUIDANCE.
- THE CONTRACTOR SHALL GRADE, TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS OF CONSTRUCTION, INCLUDING DITCH CONSTRUCTION. EROSION CONTROL MATTING SHALL BE PROVIDED ON ALL SLOPES GREATER THAN 3:1.
- THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL MEASURES TO PROTECT STOCKPILE AREAS AND STORAGE AREAS. ALL AREAS USED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR UPON COMPLETION OF THE PROJECT. IF THE STAGING AREA IS PAVED, IT SHALL BE RESTORED TO ITS ORIGINAL CONDITION. IF THE STAGING AREA IS UNPAVED, IT SHALL BE RE-GRADED, TOPSOILED, SEEDDED AND MULCHED TO THE SATISFACTION OF THE ENGINEER. ALL COSTS ASSOCIATED WITH RESTORATION OF THE STAGING AREA SHALL BE AT THE CONTRACTOR'S EXPENSE. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- EQUIPMENT AND/OR STOCKPILE MATERIAL SHALL NOT BE STORED IN THE DRIPLINE OF ANY TREE.

LEGEND



ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
 1000 W. MARKET ST., SUITE 200
 MILFORD, DELAWARE 19967
 (302) 424-1441
 (410) 770-4744
 EASTON, MARYLAND

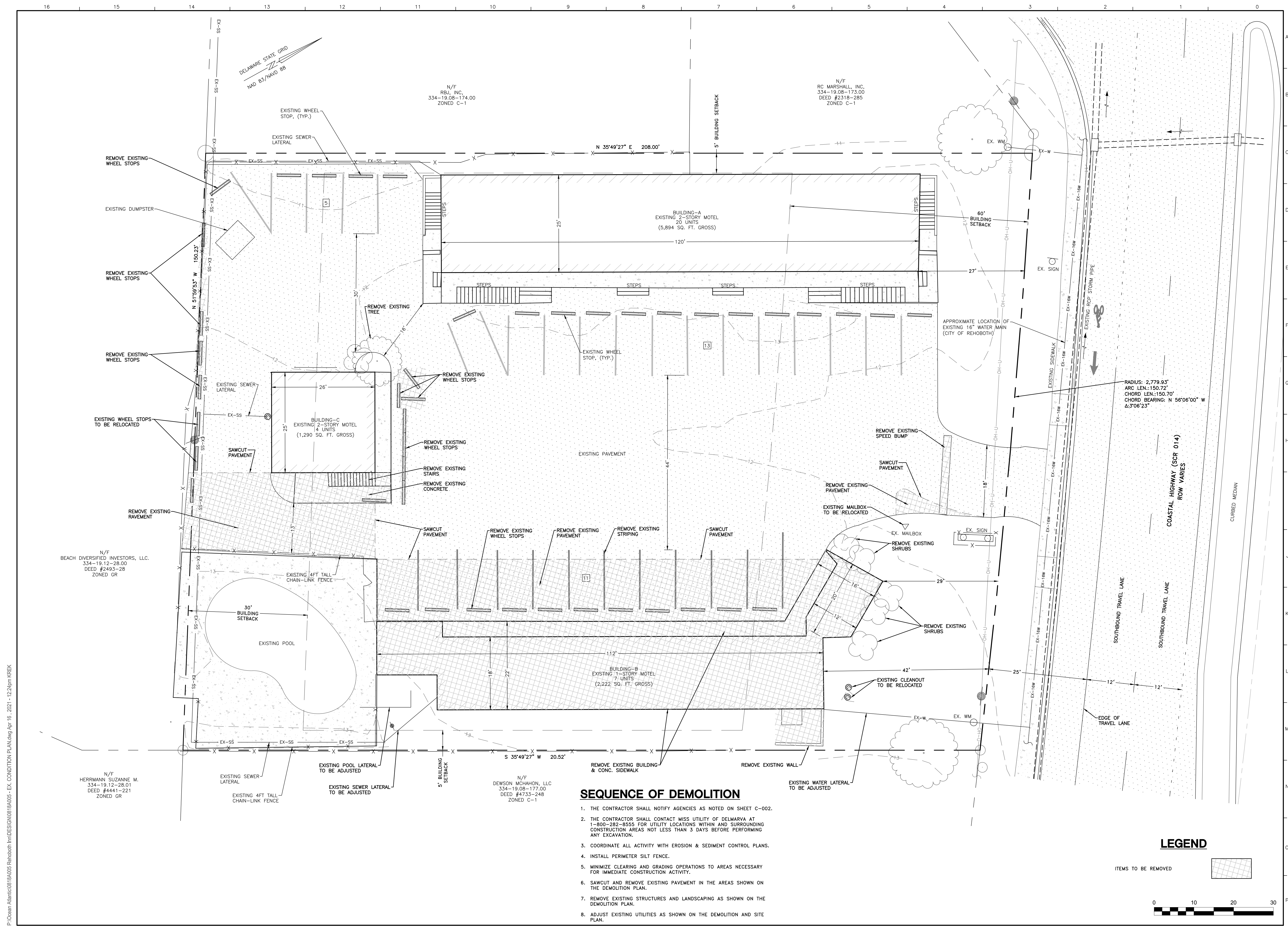
NOTES / LEGEND

REHOBOTH INN
LEWES - REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

REVISED:
 2020-07-31: DELDOT
 2020-08-05: CLIENT
 2020-08-14: CITY OF REHOBOTH
 2020-10-08: SDJ
 2020-10-22: FM
 2021-02-22: P&Z
 2021-04-07: P&Z

Date: **AUGUST, 2020**
 Scale: **N.T.S.**
 Dwn.By: **KJK**
 Proj.No.: **0818A005**
 Dwg.No.:

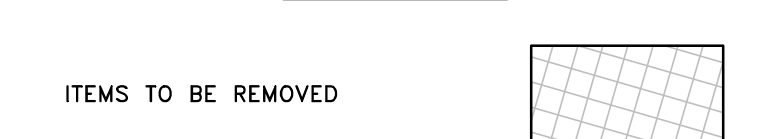
C-002



SEQUENCE OF DEMOLITION

1. THE CONTRACTOR SHALL NOTIFY AGENCIES AS NOTED ON SHEET C-002.
2. THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA AT 1-800-282-8555 FOR UTILITY LOCATIONS WITHIN AND SURROUNDING CONSTRUCTION AREAS NOT LESS THAN 3 DAYS BEFORE PERFORMING ANY EXCAVATION.
3. COORDINATE ALL ACTIVITY WITH EROSION & SEDIMENT CONTROL PLANS.
4. INSTALL PERIMETER SILT FENCE.
5. MINIMIZE CLEARING AND GRADING OPERATIONS TO AREAS NECESSARY FOR IMMEDIATE CONSTRUCTION ACTIVITY.
6. SAWCUT AND REMOVE EXISTING PAVEMENT IN THE AREAS SHOWN ON THE DEMOLITION PLAN.
7. REMOVE EXISTING STRUCTURES AND LANDSCAPING AS SHOWN ON THE DEMOLITION PLAN.
8. ADJUST EXISTING UTILITIES AS SHOWN ON THE DEMOLITION AND SITE PLAN.

LEGEND



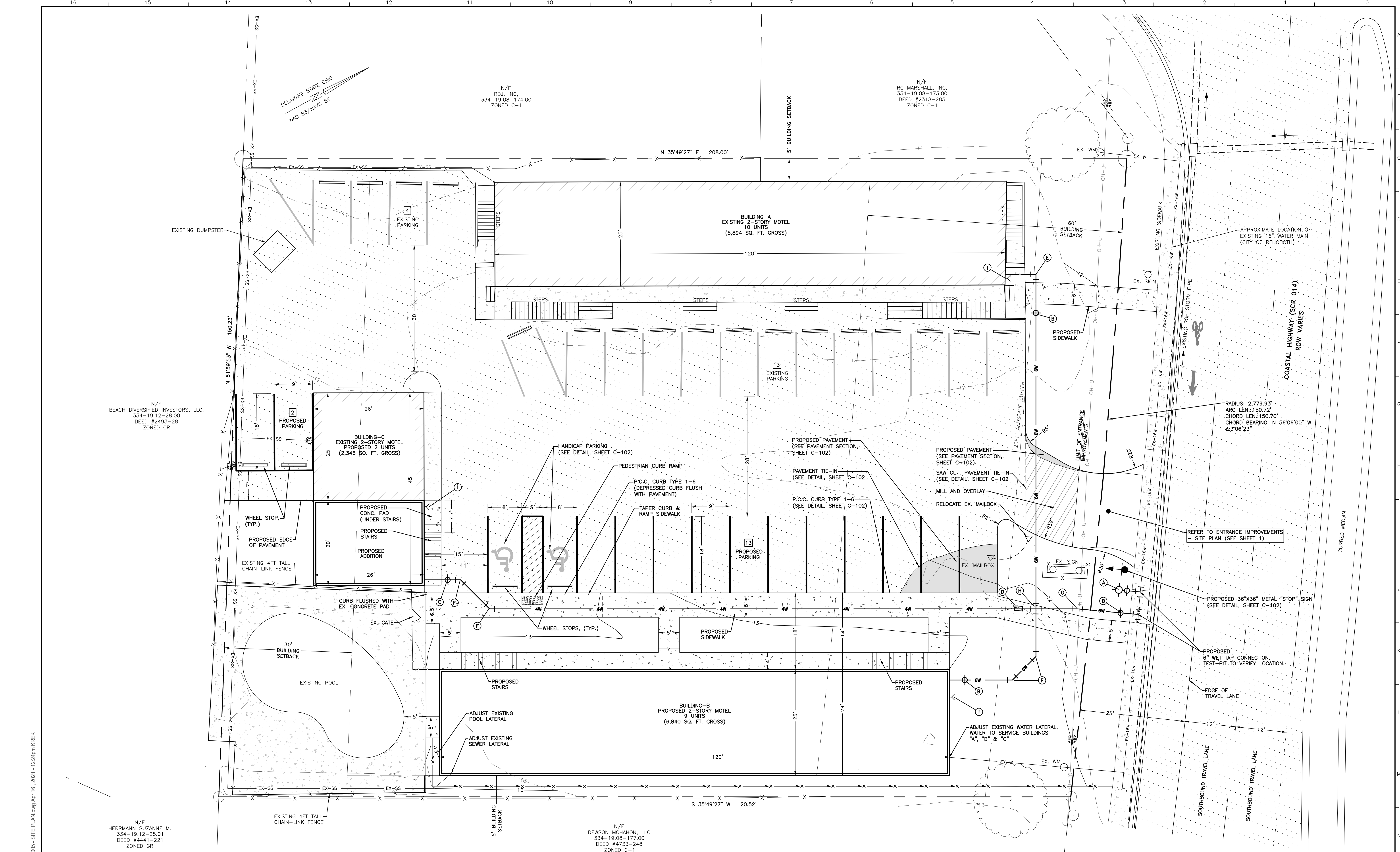
ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
 1000 MARKET STREET, SUITE 200
 REHOBOTH BEACH, DELAWARE 19756
 (302) 424-1411
 (410) 770-4744

REHOBOTH INN
LEWES - REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

REVISIONS:
 2020-07-31: DELDOT
 2020-08-05: CLIENT
 2020-08-14: CITY OF REHOBOTH
 2020-10-08: SCD
 2020-10-22: FM
 2021-02-22: P&Z
 2021-04-07: P&Z

Date: **AUGUST, 2020**
 Scale: **1" = 10'**
 Dwn. By: **KJK**
 Proj. No.: **0818A005**
 Dwg. No.: **C-100**

P:\Ocean Atlantic\0818A005 Rehoboth Inn\DESIGN\0818A005-EX-CONDITION PLAN.dwg Apr 16, 2021 - 12:24pm (KREK)



HYDRANT FLOW TEST RESULTS

HYDRANT #:	196		
HYDRANT LOCATION:	WASHINGTON ST. & RT. 1		
DATE:	5/1/2020		
TEST BY:	S. CHIEFFO / S. BAKER		
DATA			
FLOW HYDRANT(S)	HYDRANT #1	HYDRANT #2	HYDRANT #3
SIZE OPENING:	2.5		
COEFFICIENT:	0.9		
PITOT READING:	40		
GPM:	1061		
TOTAL FLOW DURING TEST:	1061 GPM		
STATIC READING:	52 PSI	RESIDUAL:	44 PSI
RESULTS: AT 20 PSI RESIDUAL	2243 GPM	AT 0 PSI	2916 GPM

UTILITY LEGEND:

- (A) PROPOSED FIRE HYDRANT ASSEMBLY
- (B) PROPOSED 6" WATER VALVE
- (C) PROPOSED 4" WATER VALVE
- (D) PROPOSED 4"x6" REDUCER
- (E) PROPOSED 90° BEND
- (F) PROPOSED 45° BEND
- (G) PROPOSED 11.25° BEND
- (H) PROPOSED 6"x6"x6" CROSS
- (I) PROPOSED FIRE DEPARTMENT CONNECTION



DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
1000 W. MARKET ST., SUITE 200
REHOBOTH BEACH, DELAWARE 19970
(302) 424-1441
FAX: (302) 424-1441
EASTON, MARYLAND (410) 770-4744

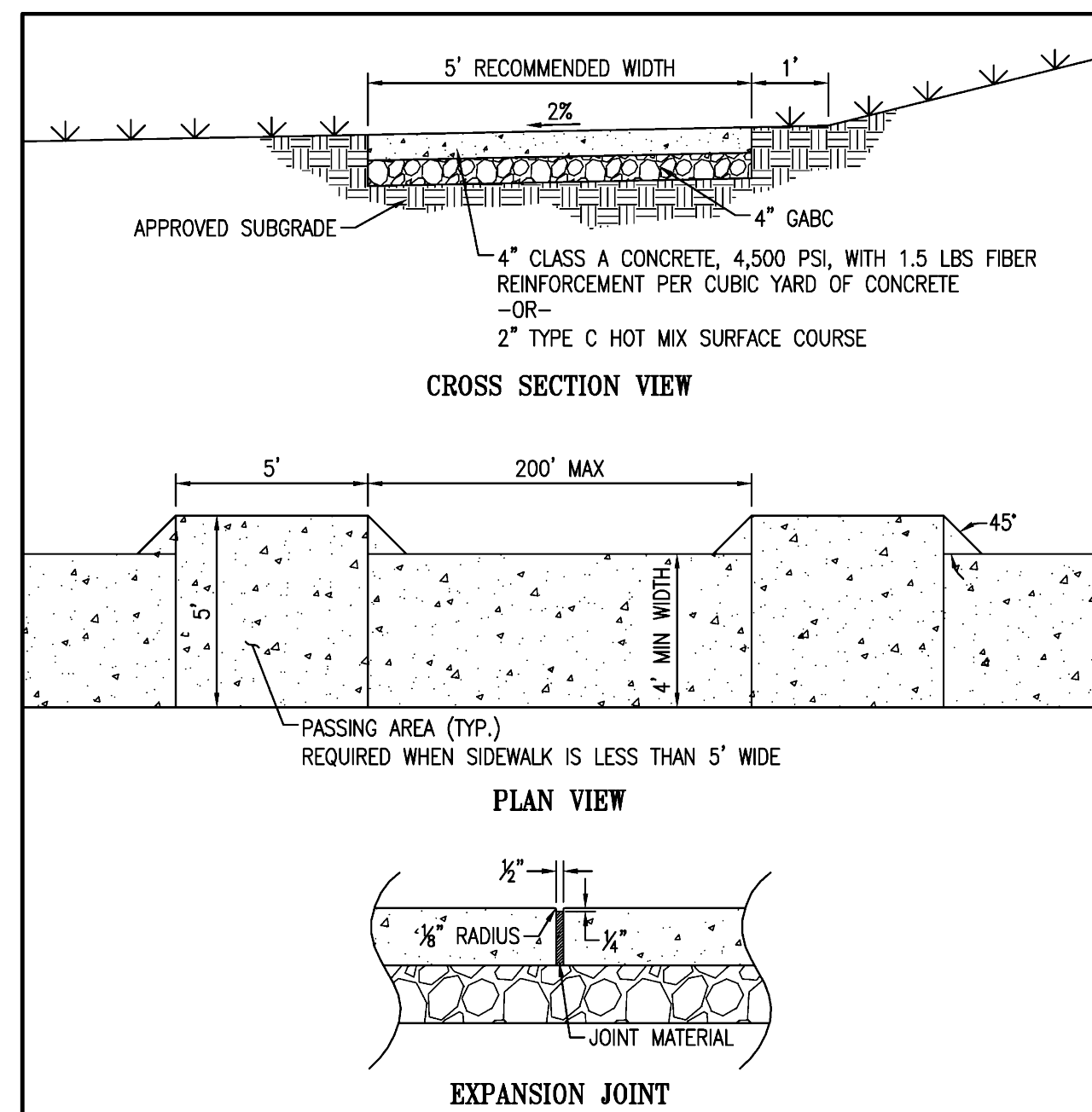
**REHOBOTH INN
LEWES - REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE**

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2020-08-05: CLIENT
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2021-02-22: P&Z
2021-04-07: P&Z

Date: **AUGUST, 2020**
Scale: **1" = 10'**
Dwn.By: **KJK**
Proj.No.: **0818A005**
Dwg.No.:

C-101

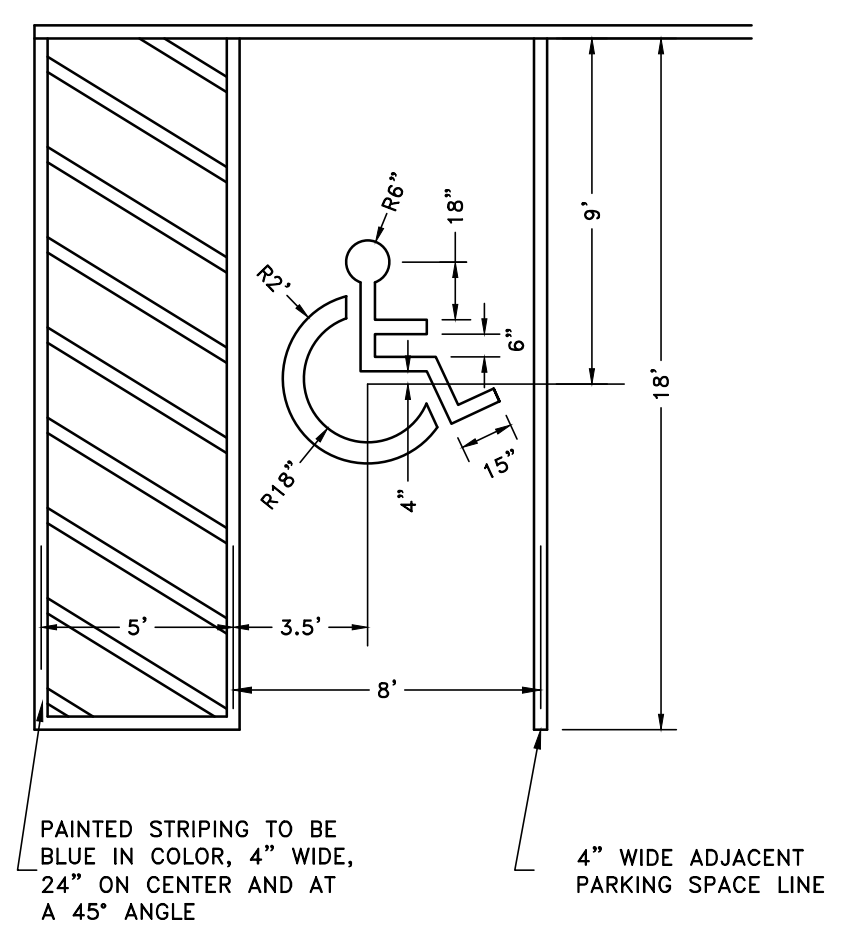
P:\Ocean Atlantic\0818A005 Rehoboth Inn\DESIGN\0818A005 - SITE PLAN.dwg Apr 16, 2021 - 12:24pm KREK



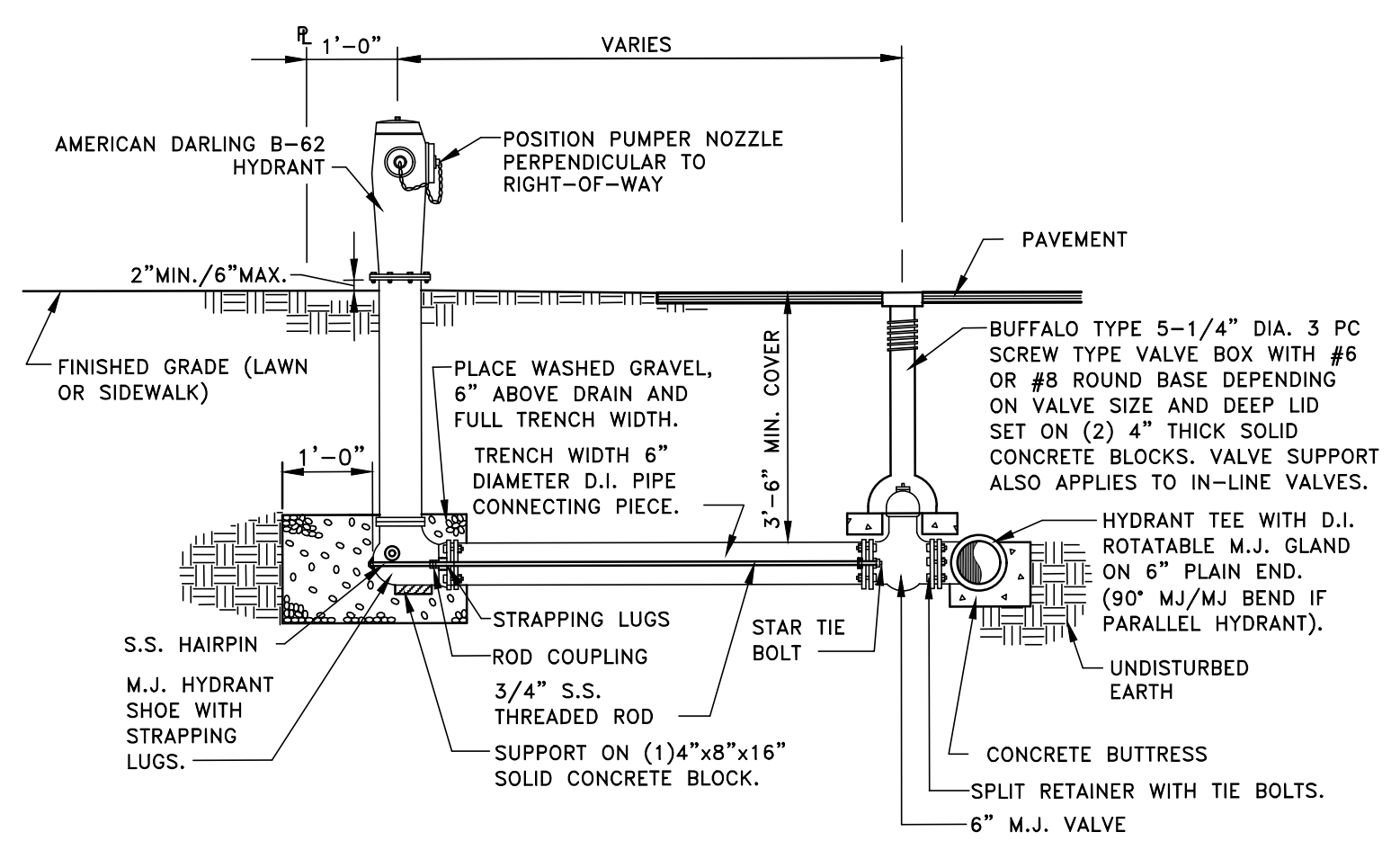
NOTES:
 1. CONCRETE SIDEWALKS SHALL BE CONTINUOUS AND SHALL NOT BREAK OR STOP AT DRIVEWAY CROSSINGS.
 2. CONCRETE SIDEWALKS SHALL BE MARKED INTO RECTANGULAR SLABS 5' LONG BY SCORING WITH APPROVED EDGING TOOLS.
 3. EXPANSION JOINTS SHALL BE PLACED ACROSS CONCRETE SIDEWALKS NOT MORE THAN 20' APART.
 4. WHEN A 5' WIDE SIDEWALK IS NOT POSSIBLE DUE TO SITE CONSTRAINTS, A 4' WIDE SIDEWALK MAY BE USED WITH 5'x5' PASSING AREAS SPACED AT 200' OR CLOSER INTERVALS. REFER TO THE LATEST ADA AND ABA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.

	Sussex County, Delaware Engineering Department	Concrete Sidewalk	Detail R-5.01
	Approved: <i>Michael J. Jaffe</i> Michael J. Jaffe Sussex County Engineer		

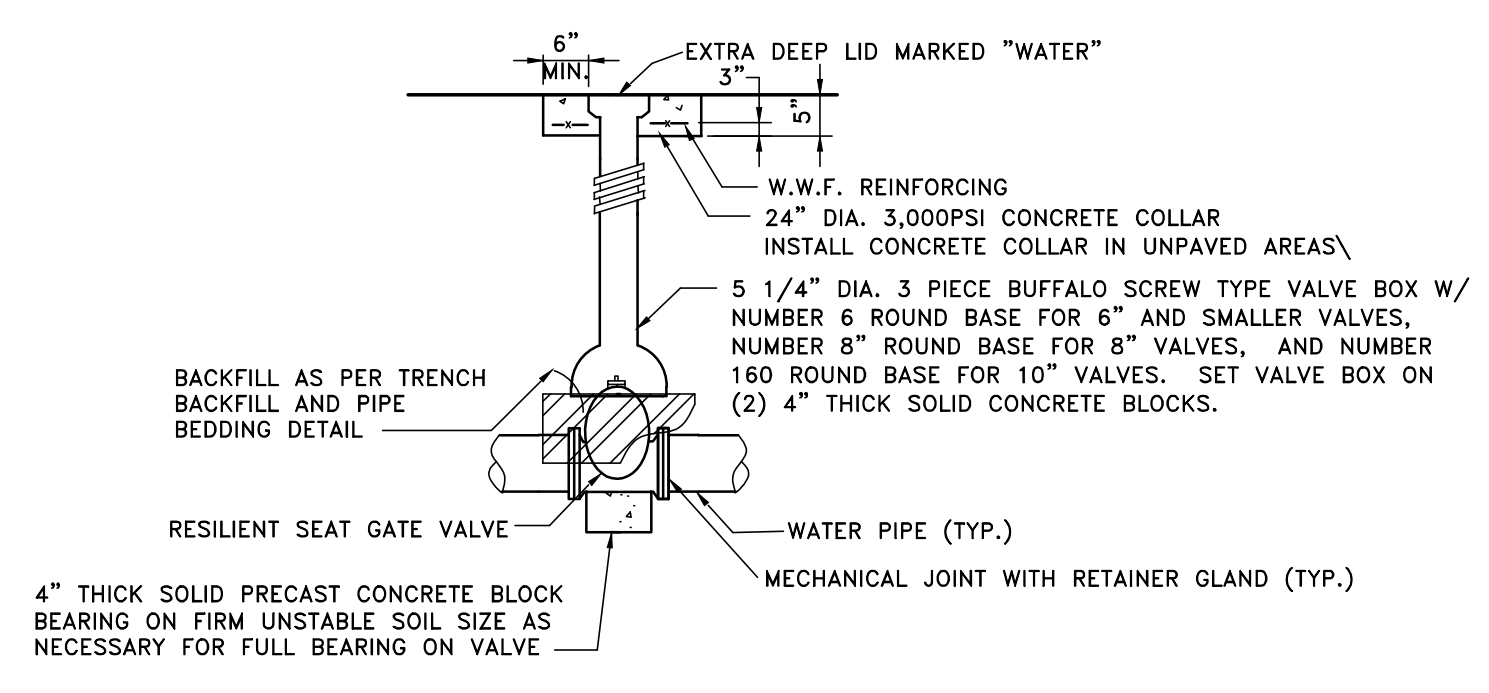
NOTES:
 1. SIDEWALK MUST BE INSTALLED PER THE APPROVED PLAN IN CONJUNCTION WITH THE PRIVATE STREET.
 2. THE CROSS SLOPE IS DESIGNED AT 1.5% TO ALLOW FOR A MINIMUM SLOPE OF 1% AND MAXIMUM SLOPE OF 2%.



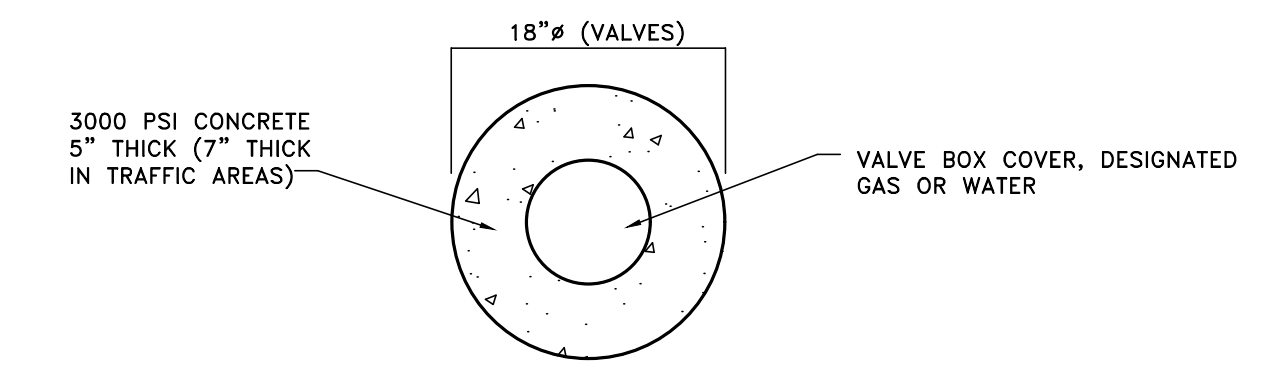
HANDICAP PARKING DETAIL
 NO SCALE



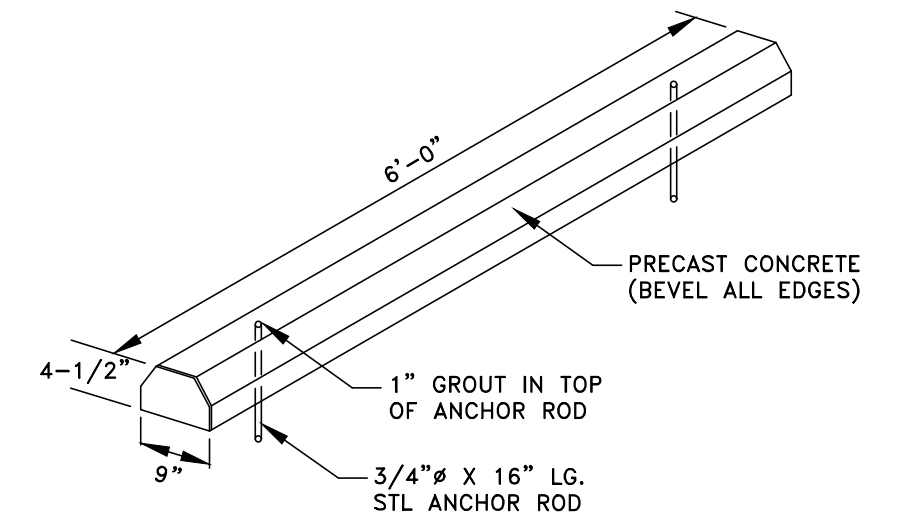
FIRE HYDRANT ASSEMBLY DETAIL
 NO SCALE



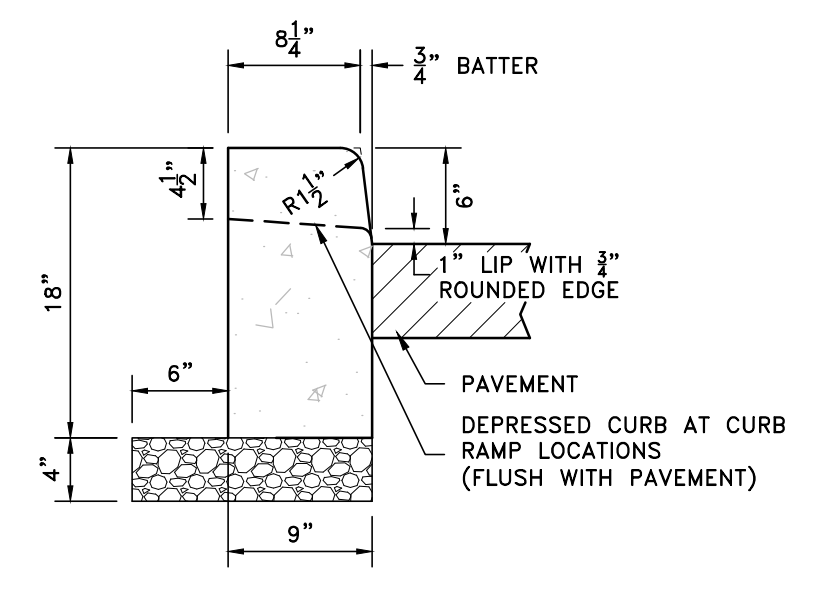
NEW GATE VALVE DETAIL
 NO SCALE



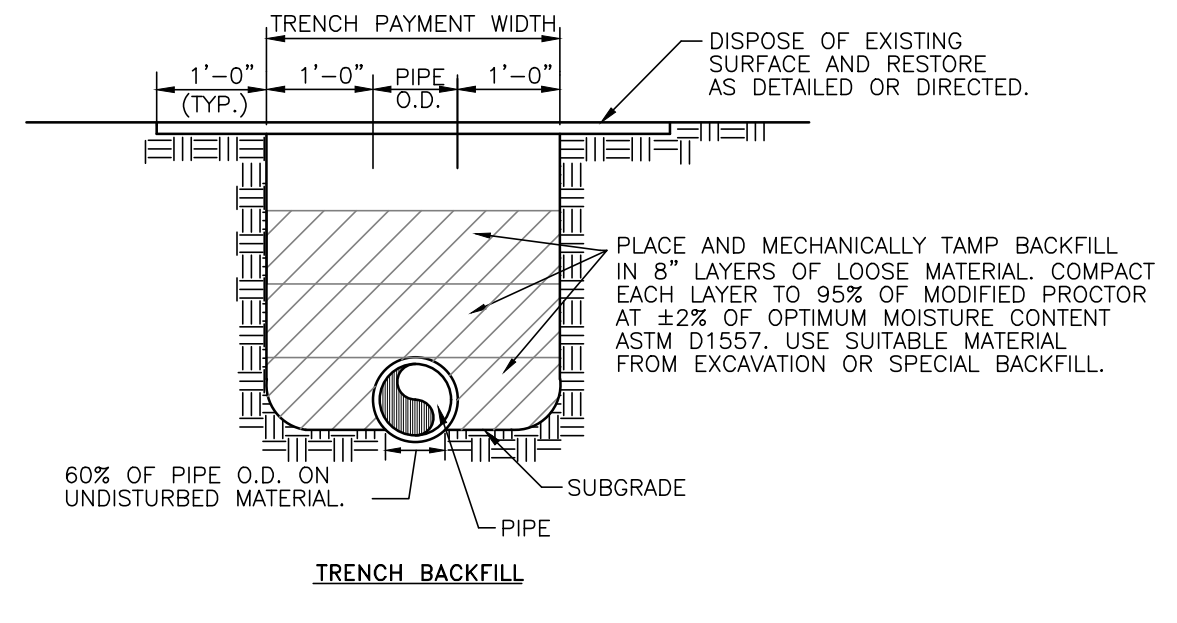
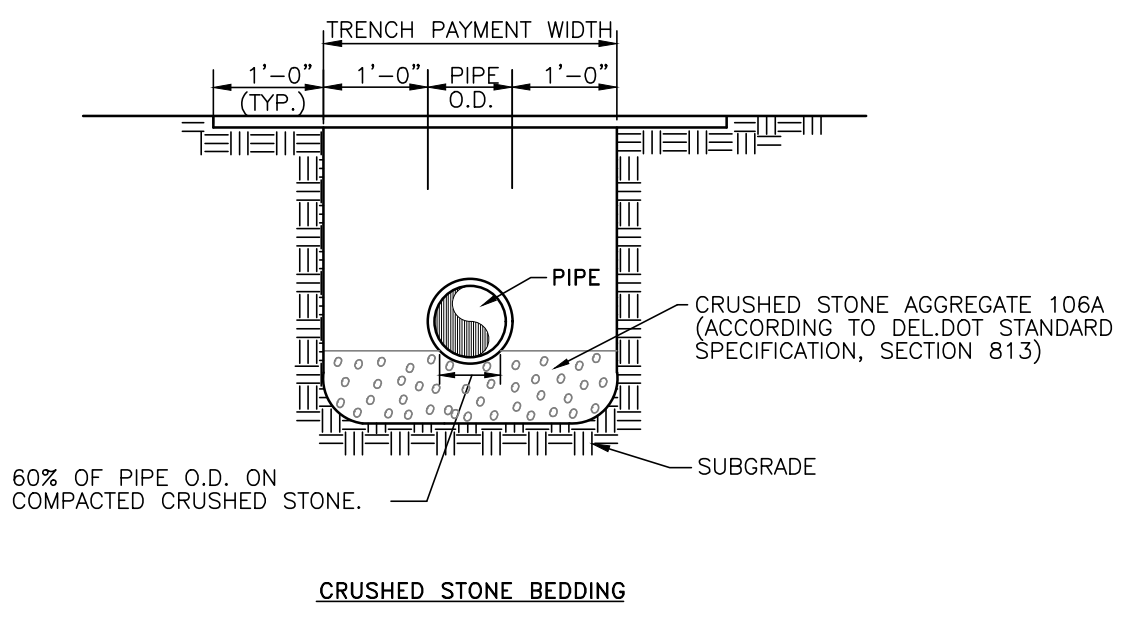
SURFACE CONCRETE PAD FOR VALVE BOXES (UNPAVED AREAS)
 NO SCALE



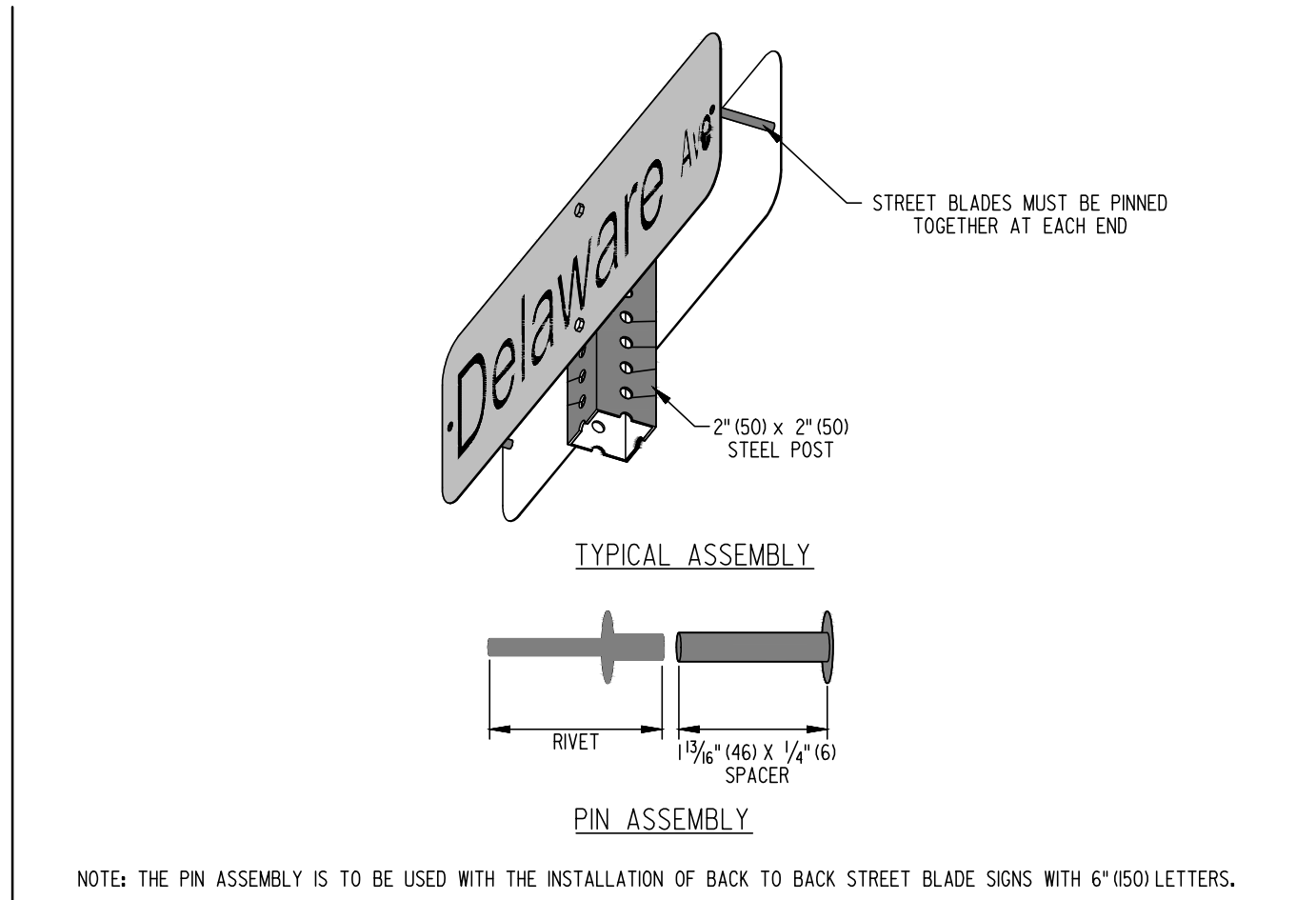
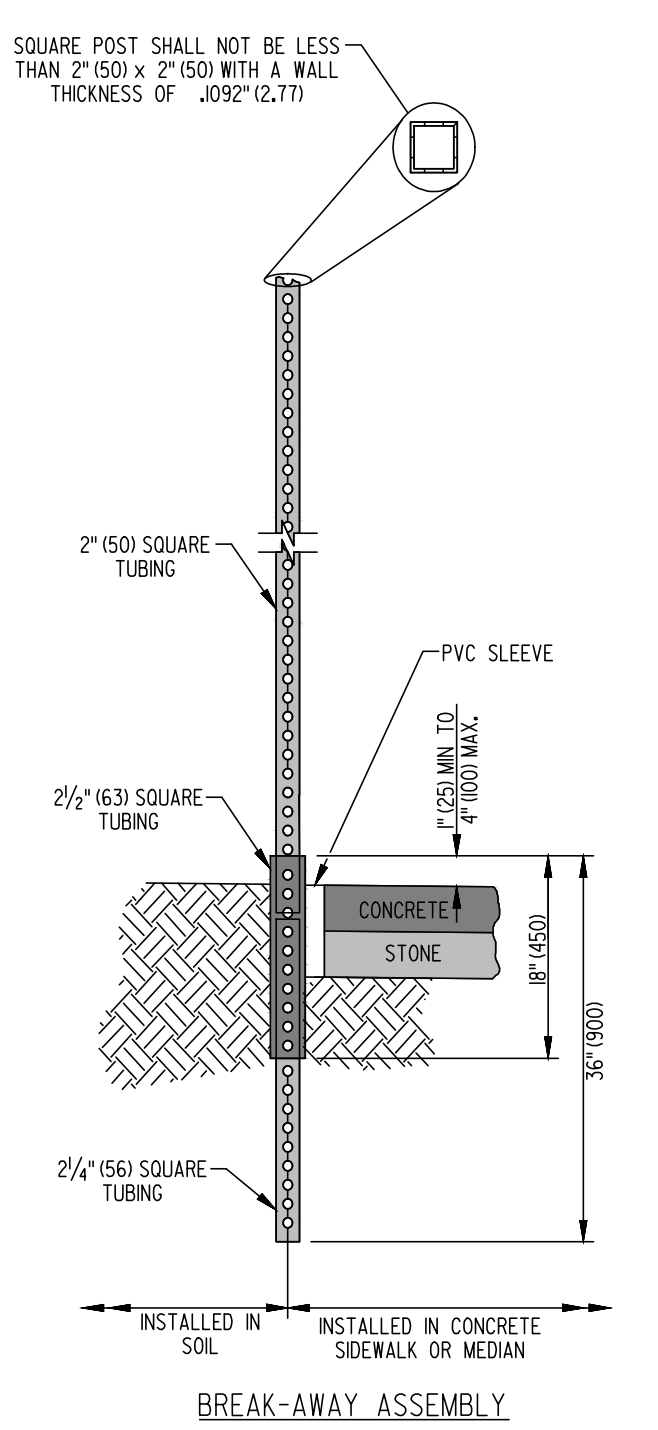
PRECAST CONCRETE WHEEL STOP
 NOT TO SCALE



P.C.C. CURB TYPE 1-6 DETAIL
 NO SCALE



TRENCH BACKFILL AND PIPE BEDDING DETAIL
 NOT TO SCALE

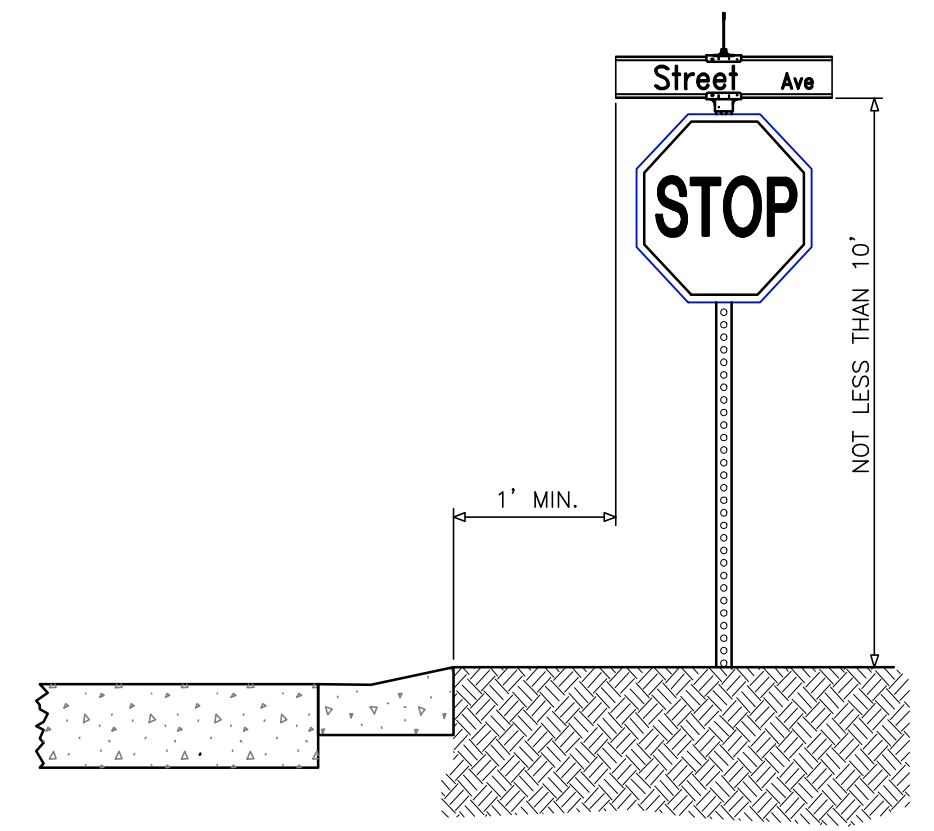


NOTES:
 1. SQUARE TUBES ARE TO BE FORMED FROM GALVANIZED SHEET STRUCTURAL (PHYSICAL) QUALITY, ASTM A 446, GRADE A, COATING DESIGNATION G 90, REGULAR SPANGLE, OR HOT ROLLED CARBON SHEET STEEL STRUCTURAL (PHYSICAL) QUALITY, ASTM A 57, GRADE 33.
 2. NOMINAL OUTSIDE DIMENSIONS ARE AS FOLLOWS:
 A. 2" (50) x 2" (50) +/- 0.008"
 2 1/2" (63) x 2 1/2" (63) +/- 0.010"
 2 1/4" (63) x 2 1/4" (63) +/- 0.010"
 3. ALL FOUR SIDES ARE TO HAVE EVENLY SPACED 3/16" (12) DIAMETER HOLES ON 1" (25) CENTERS THE ENTIRE LENGTH OF THE TUBE.
 4. STANDARD CORNER RADIUS SHALL BE 3/8" (4).
 5. THE FASTENERS SUPPLIED UNDER THIS SPECIFICATION SHALL BE 3/8" (8), GRADE 5 UNC CORNER BOLTS WITH CADMIUM OR ZINC PLATED. INSTALLATION OF SIGNS SHALL BE WITH 3/4" (10) x 2 1/2" (63) BOLT WITH LOCKNUT AND WASHER.
 6. THE CONTRACTOR SHALL PROVIDE AND INSTALL PVC SLEEVES (4" (100) INSIDE DIAMETER MINIMUM, 6" (150) INSIDE DIAMETER MAXIMUM) IN PROPOSED SIDEWALKS, ISLANDS, AND MEDIANS FOR FUTURE TRAFFIC SIGN POSTS AS DIRECTED BY THE ENGINEER. THE LOWER END OF THE SLEEVE SHALL BE SET ON TOP OF THE SOIL.

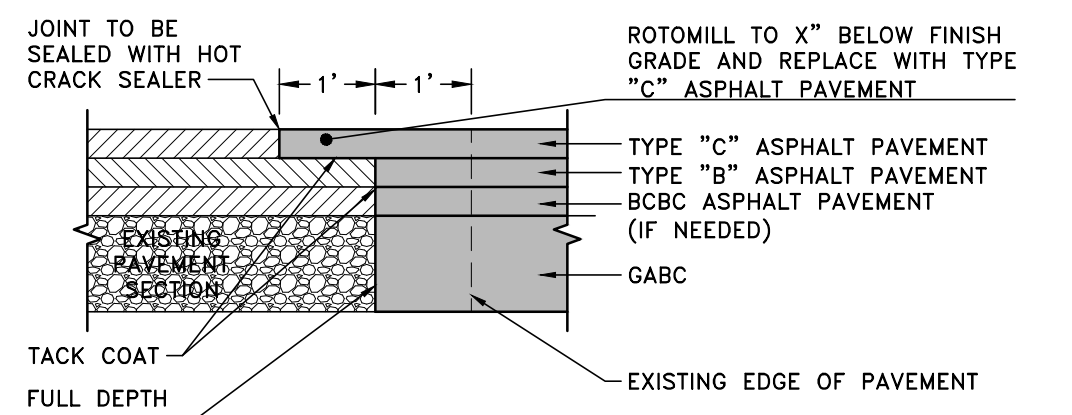
BREAKAWAY SIGN POST AND STREET BLADE DETAIL
 NOT TO SCALE



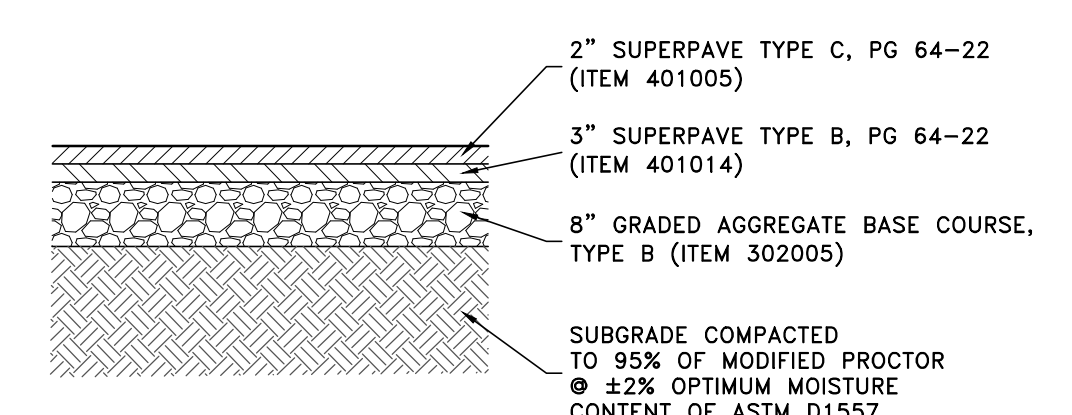
NOTE: ANY CHANGES TO STOP SIGN MUST BE APPROVED BY PUBLIC WORKS DEPARTMENT



TYPICAL SIGN INSTALLATION
 NOT TO SCALE



PAVEMENT TIE-IN DETAIL
 NO SCALE



PAVEMENT SECTION
 NO SCALE

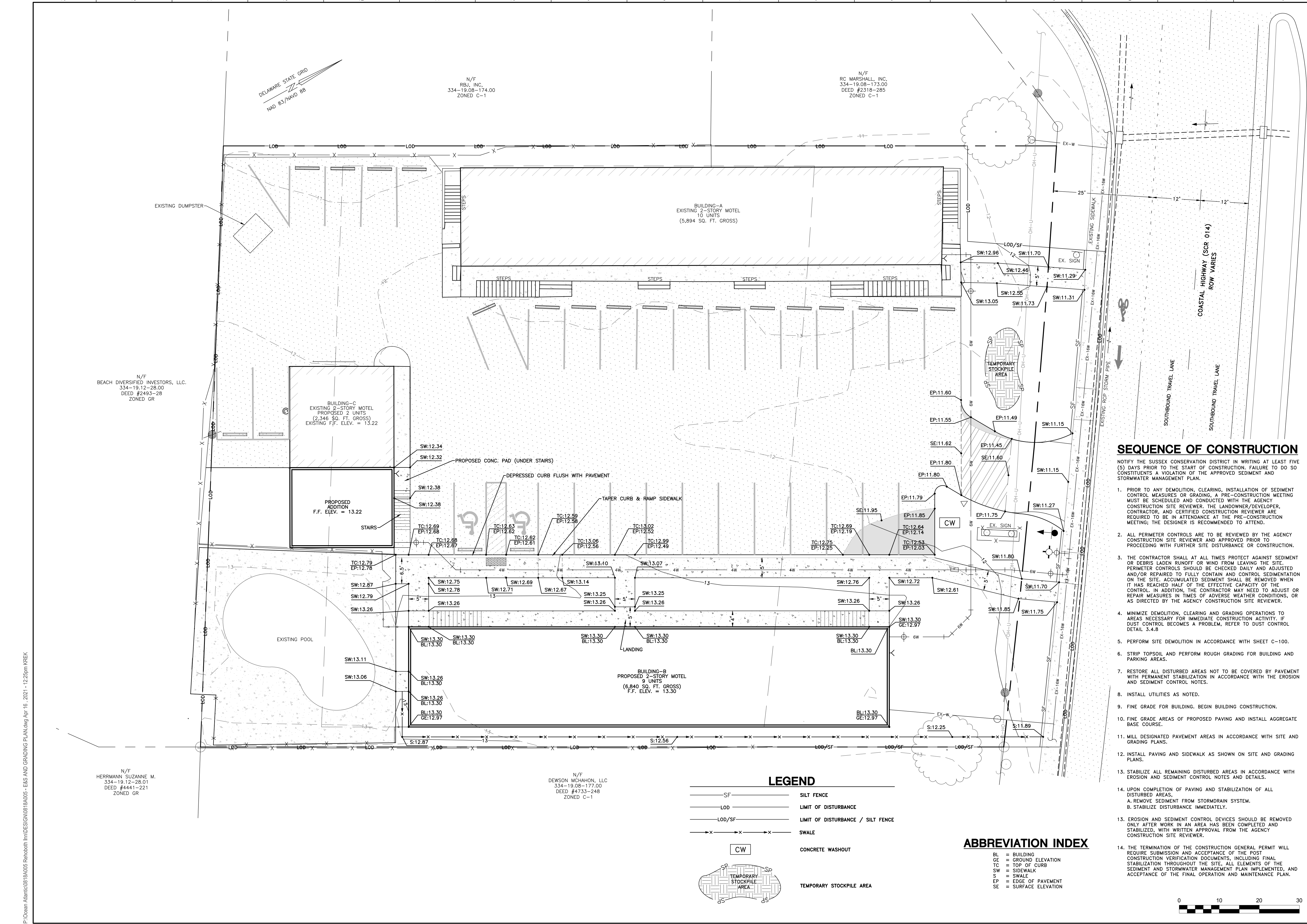
ARCHITECTS ENGINEERS SURVEYORS
 DAVIS, BOWEN & FRIEDEL, INC.
 1500 MARKET STREET
 WILMINGTON, DELAWARE 19801
 (302) 424-1411
 (302) 424-1411
 (410) 770-4744
 EASTON, MARYLAND

REHOBOTH INN
LEWES - REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

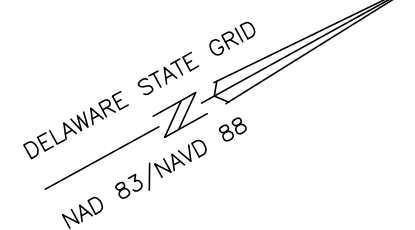
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 2020-10-08: SCD
 2020-10-22: FM
 2021-02-22: P&Z
 2021-04-07: P&Z

Date: AUGUST, 2020
 Scale: NO SCALE
 Dwn.By: KJK
 Proj.No.: 0818A005
 Dwg.No.:

C-102



P:\Ocean Atlantic\0818A005 Rehoboth Inn\DESIGN\0818A005- E&S AND GRADING PLAN.dwg Apr 16, 2021, 12:25pm KREK



N/F
RBJ, INC.
334-19.08-174.00
ZONED C-1

N/F
RC MARSHALL, INC.
334-19.08-173.00
DEED #2318-285
ZONED C-1

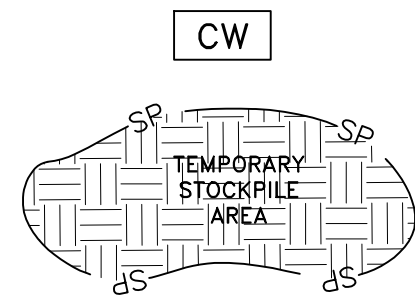
N/F
BEACH DIVERSIFIED INVESTORS, LLC.
334-19.12-28.00
DEED #2493-28
ZONED GR

N/F
HERRMANN SUZANNE M.
334-19.12-28.01
DEED #4441-221
ZONED GR

N/F
DEWSON MCHAHON, LLC
334-19.08-177.00
DEED #4733-248
ZONED C-1

LEGEND

- SF — SILT FENCE
- LOD — LIMIT OF DISTURBANCE
- LOD/SF — LIMIT OF DISTURBANCE / SILT FENCE
- x — SWALE



CW
CONCRETE WASHOUT

TEMPORARY STOCKPILE AREA

ABBREVIATION INDEX

- BL = BUILDING
- GE = GROUND ELEVATION
- TC = TOP OF CURB
- SW = SIDEWALK
- S = SWALE
- EP = EDGE OF PAVEMENT
- SE = SURFACE ELEVATION

SEQUENCE OF CONSTRUCTION

NOTIFY THE SUSSEX CONSERVATION DISTRICT IN WRITING AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.

1. PRIOR TO ANY DEMOLITION, CLEARING, INSTALLATION OF SEDIMENT CONTROL MEASURES OR GRADING, A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED AND CONDUCTED WITH THE AGENCY, CONSTRUCTION SITE REVIEWER, THE LANDOWNER/DEVELOPER, CONTRACTOR, AND CERTIFIED CONSTRUCTION REVIEWER ARE REQUIRED TO BE IN ATTENDANCE AT THE PRE-CONSTRUCTION MEETING; THE DESIGNER IS RECOMMENDED TO ATTEND.
2. ALL PERIMETER CONTROLS ARE TO BE REVIEWED BY THE AGENCY CONSTRUCTION SITE REVIEWER AND APPROVED PRIOR TO PROCEEDING WITH FURTHER SITE DISTURBANCE OR CONSTRUCTION.
3. THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHOULD BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENTATION ON THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR REPAIR MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
4. MINIMIZE DEMOLITION, CLEARING AND GRADING OPERATIONS TO AREAS NECESSARY FOR IMMEDIATE CONSTRUCTION ACTIVITY. IF DUST CONTROL BECOMES A PROBLEM, REFER TO DUST CONTROL DETAIL 3.4.8
5. PERFORM SITE DEMOLITION IN ACCORDANCE WITH SHEET C-100.
6. STRIP TOPSOIL AND PERFORM ROUGH GRADING FOR BUILDING AND PARKING AREAS.
7. RESTORE ALL DISTURBED AREAS NOT TO BE COVERED BY PAVEMENT WITH PERMANENT STABILIZATION IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL NOTES.
8. INSTALL UTILITIES AS NOTED.
9. FINE GRADE FOR BUILDING. BEGIN BUILDING CONSTRUCTION.
10. FINE GRADE AREAS OF PROPOSED PAVING AND INSTALL AGGREGATE BASE COURSE.
11. MILL DESIGNATED PAVEMENT AREAS IN ACCORDANCE WITH SITE AND GRADING PLANS.
12. INSTALL PAVING AND SIDEWALK AS SHOWN ON SITE AND GRADING PLANS.
13. STABILIZE ALL REMAINING DISTURBED AREAS IN ACCORDANCE WITH EROSION AND SEDIMENT CONTROL NOTES AND DETAILS.
 - A. REMOVE SEDIMENT FROM STORMDRAIN SYSTEM.
 - B. STABILIZE DISTURBANCE IMMEDIATELY.
14. UPON COMPLETION OF PAVING AND STABILIZATION OF ALL DISTURBED AREAS,
 - A. REMOVE SEDIMENT FROM STORMDRAIN SYSTEM.
 - B. STABILIZE DISTURBANCE IMMEDIATELY.
15. EROSION AND SEDIMENT CONTROL DEVICES SHOULD BE REMOVED ONLY AFTER WORK IN AN AREA HAS BEEN COMPLETED AND STABILIZED, WITH WRITTEN APPROVAL FROM THE AGENCY CONSTRUCTION SITE REVIEWER.
16. THE TERMINATION OF THE CONSTRUCTION GENERAL PERMIT WILL REQUIRE SUBMISSION AND ACCEPTANCE OF THE POST CONSTRUCTION VERIFICATION DOCUMENTS, INCLUDING FINAL STABILIZATION THROUGHOUT THE SITE, ALL ELEMENTS OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN IMPLEMENTED, AND ACCEPTANCE OF THE FINAL OPERATION AND MAINTENANCE PLAN.



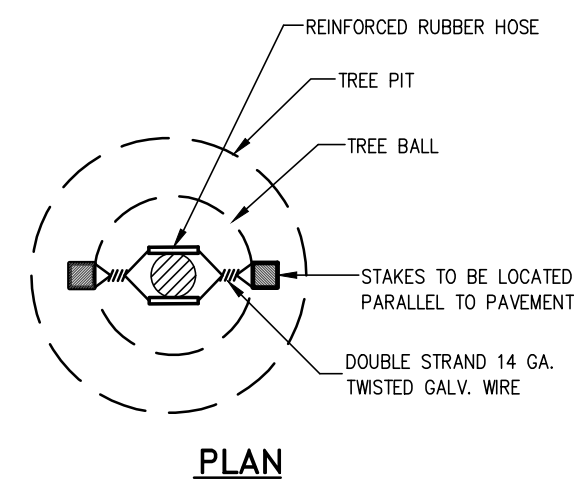
ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
 1000 N. MARKET STREET
 WILMINGTON, DELAWARE 19801
 (302) 424-1441
 (410) 770-4744

REHOBOTH INN
LEWES - REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

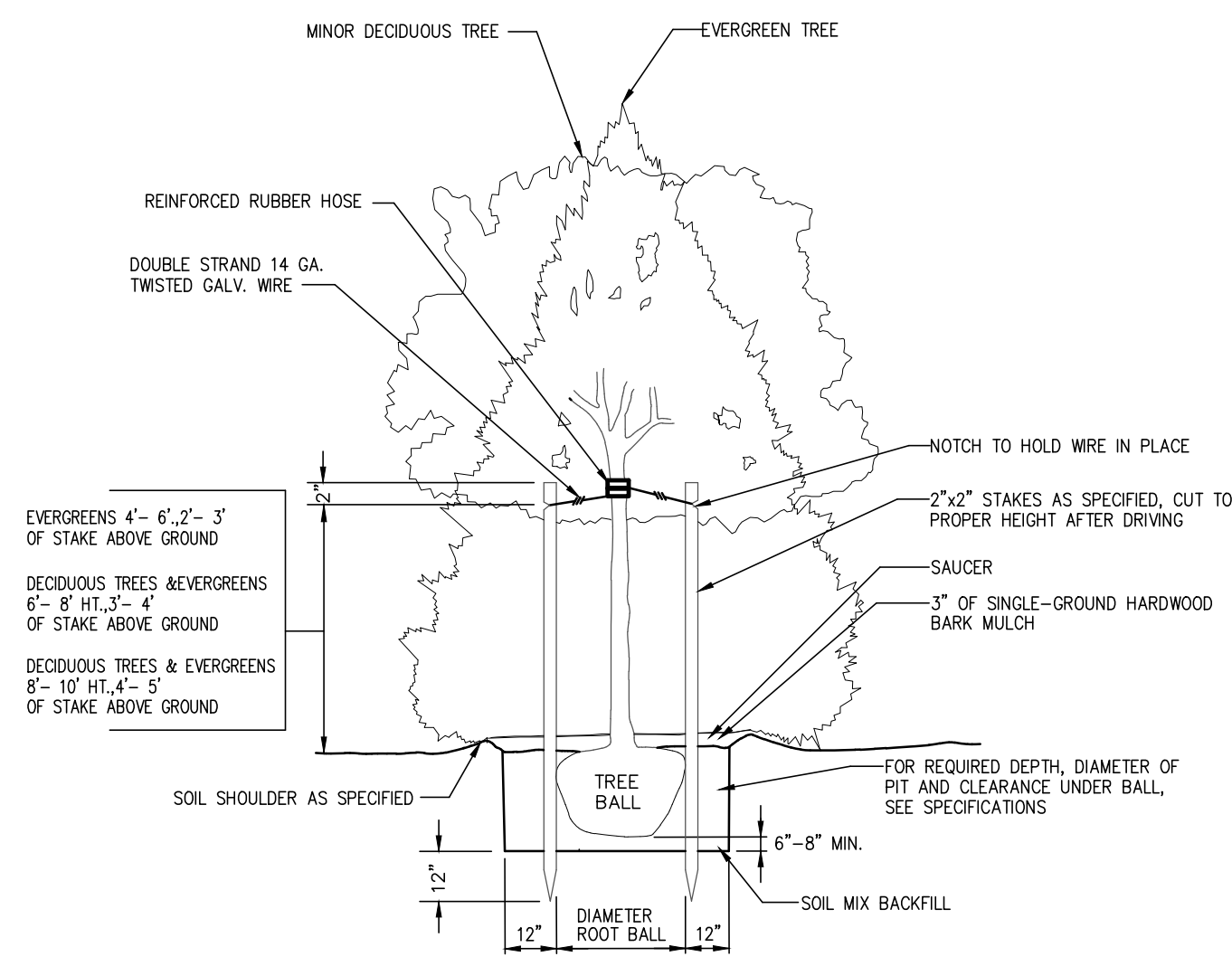
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 2020-10-22: FM
 2021-02-22: P&Z
 2021-04-07: P&Z

Date: **AUGUST, 2020**
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 Dwn.By: **KJK**
 Proj.No.: **0818A005**
 Dwg.No.:

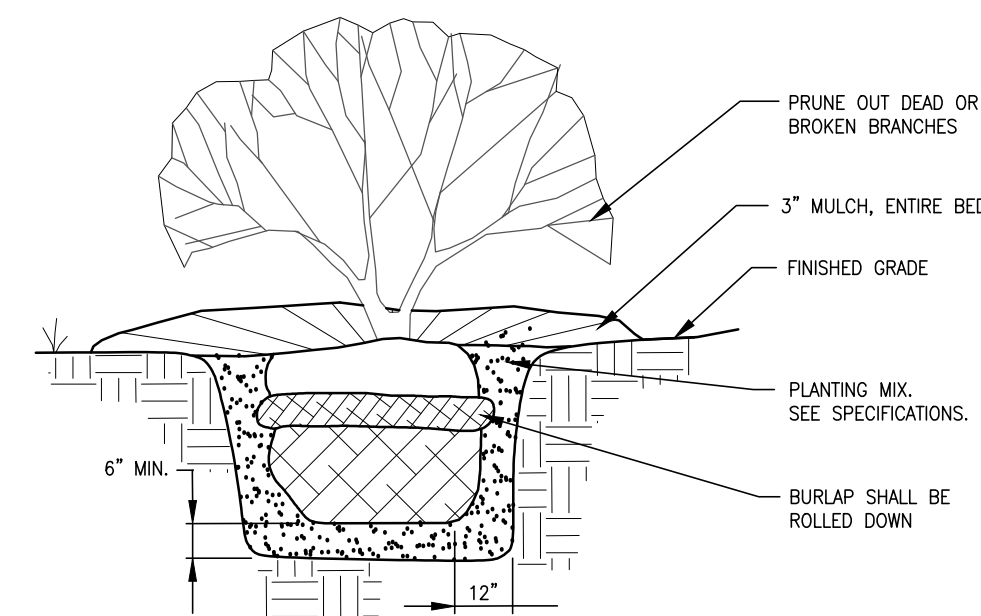
C-400



PLAN



SECTION
STAKING DETAIL
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE

N/F
BEACH DIVERSIFIED
INVESTORS, LLC.
334-19.12-28.00
DEED #2493-28
ZONED GR

N/F
HERRMANN SUZANNE M.
334-19.12-28.01
DEED #4441-221
ZONED GR

N/F
RBJ, INC.
334-19.08-174.00
ZONED C-1

N/F
RC MARSHALL, INC.
334-19.08-173.00
DEED #2318-285
ZONED C-1

N/F
DEWSON MCHAHON, LLC
334-19.08-177.00
DEED #4733-248
ZONED C-1

GENERAL LANDSCAPE NOTES

1. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF ROOT BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK".
2. CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR AFTER INSTALLATION IS COMPLETE AND FINAL ACCEPTANCE OF PHASE I SITE WORK HAS BEEN GIVEN. AT THE END OF ONE YEAR ALL PLANT MATERIAL WHICH IS DEAD OR DYING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AS ORIGINALLY SPECIFIED.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
4. NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER.
5. ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED (SEE EROSION & SEDIMENT CONTROL PLAN).
6. EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
7. ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 7"-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STAKING DETAIL SHOWN.
8. THE FULL EXTENT OF ALL PLANTING BEDS SHALL RECEIVE 4" OF TOPSOIL AND 3" OF SHREDDED HARDWOOD MULCH PER SPECIFICATIONS.
9. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
10. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
11. THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.
12. TREE PROTECTION SHALL BE USED FOR ALL EXISTING TREES TO REMAIN.
13. DURING CONSTRUCTION EXISTING TREES TO BE SAVED WHERE FEASIBLE.

LANDSCAPE PLANT SCHEDULE					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
DECIDUOUS TREES					
	AG	AMELANCHIER x GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	3'-4', B&B	3
EVERGREEN TREES					
	IC	ILEX cornuta 'NEEDLEPOINT'	NEEDLEPOINT HOLLY	4'-5' HT., B&B	3
	TO	THUJA occidentalis 'TECHNY'	TECHNY ARBORVITAE	4'-5' HT., B&B	3
DECIDUOUS SHRUBS					
	HH	HYPERICUM patulum 'HIDCOTE'	HIDCOTE HYPERICUM	12"-15", Cont.	6
EVERGREEN SHRUBS					
	IG	ILEX glabra 'SHAMROCK'	SHAMROCK INKBERRY	18"-24", Cont.	11

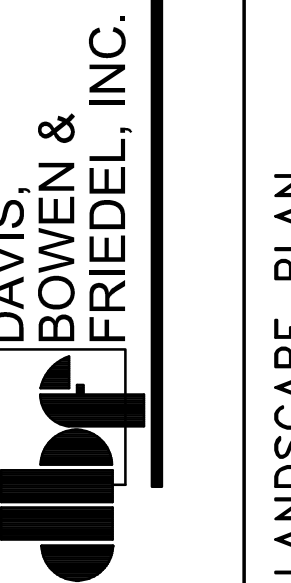
LANDSCAPE ARCHITECT'S STATEMENT

I, TIMOTHY M. METZNER, HEREBY STATE THAT I AM A REGISTERED LANDSCAPE ARCHITECT IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVIS, BOWEN & FRIEDEL, INC. DATE
by TIMOTHY M. METZNER.



ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
1000 W. MARKET STREET
MILFORD, DELAWARE 19967
GALLERY, WILMINGTON, DELAWARE (302) 424-1441
EASTON, MARYLAND (410) 770-4744



LANDSCAPE PLAN

**REHOBOTH INN
LEWES - REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE**

REVISED:
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L-100

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STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

August 27, 2020

Mr. Greg Tobias
SB North LLC
20184 Phillips Street
Rehoboth Beach, Delaware 19971

SUBJECT: Authorization to Apply for a Permit for Entrance Construction
Rehoboth Inn
Tax Parcel # 334-19.08-176.00
Coastal Highway (SCR 014)
Lewes & Rehoboth Hundred, Sussex

Dear Mr. Greg Tobias:

The Delaware Department of Transportation (DelDOT) has reviewed your request, dated June 19, 2020, to obtain a Letter of No Contention (LONC) to use an existing commercial building and site entrance for the above referenced project. In coordination with the South District Public Works Office we have determined that your project will require some modifications or enhancements to meet current regulatory requirements. We have therefore determined that this project is eligible to obtain a Permit for Entrance Construction (PEC) to make these modifications. The PEC will include a list of items that must be addressed, as well as requirements for bonding to perform work, where needed, within the State of Delaware right-of-way (ROW). This approval shall be valid for a period of **one (1) year**.

Please note: Your Permit for Entrance Construction must be obtained from the South District Public Works Office, before you can start any construction.

The following conditions are provided with this response letter, according to the site plan signed and sealed August 5, 2020:

- 1) Site shall have access from the existing entrance located on Coastal Highway (SCR 014).
- 2) Only the modifications/construction or traffic pattern changes that are itemized and authorized under the PEC will be permitted. Please coordinate with the DelDOT Public Works Office regarding the scope, location and limits of the following items, as well any other items listed in the PEC:
 - a) Internal Sidewalk connections according to DelDOT's Standard Construction Detail, M-3
 - b) Widening of existing entrance to an 18' entrance throat utilizing a pavement section of 2" type C (item 401005), 3" type B (item 401014), and 8" GABC (item 302005). Any full depth



pavement construction shall be squared off. Remaining portions of the entrance is to be milled and overlaid.

- 3) DeIDOT reserves the right to review, modify or revoke this authorization letter and PEC and require additional entrance upgrades in the future if proposed activities create traffic conflicts, safety concerns or operational issues.
- 4) The property owner is responsible to:
 - a. Submit information to DeIDOT, regarding any future operational or site changes, (including but not limited to: rezoning, site layout changes, changes in use, entrance modifications, expanded/additional uses, new uses, etc.). Changes of this nature may alter the flow and/or volume of traffic and could require a new PEC, LONC or formal review for Approvals and/or Permits.
 - b. Establish and maintain clear sight lines at the entrance. There shall be no placement of structures, signs, objects, items for sale or parking of vehicles within State ROW or entrance limits. Shrubbery, Plantings, trees and/or other visual barriers that could obstruct the sight distance of a driver preparing to enter the roadway are prohibited.
- 5) The property owner and applicant are responsible to coordinate with DeIDOT Outdoor Advertising & Roadside Control at (302) 853-1327, for information on obtaining specific permits for sign installation on private property. Permits for Utilities construction within State right-of-way require separate permit applications please contact DeIDOT's South District at (302) 853-1345.

The Department would like to thank you for your submittal.

Please contact the South District Public Works Office at (302) 853-1340, for their assistance in obtaining the PEC. No construction or modification listed under Item 2 is allowed in advance of the DeIDOT Public Works Office issuance of the Permit for Entrance Construction.

Sincerely,



Susanne K. Laws
Sussex County Review Coordinator,
Development Coordination

cc: Zac Crouch, Davis, Bowen & Friedel, Inc.
Jamie Whitehouse, Sussex County Planning & Zoning Commission
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Gemez Norwood, South District Public Works manager
William Kirsch, South District Entrance Permit Supervisor
James Argo, South District Project Reviewer
Wendy L. Polasko, Subdivision Engineer
Brian Yates, Sussex County Reviewer



Sussex Conservation District
23181 Shortly Road
Georgetown, DE 19947
302-856-2105

<https://www.sussexconservation.org>

APPLICATION FOR STANDARD PLAN APPROVAL
**NON-RESIDENTIAL CONSTRUCTION WITH
LESS THAN 1.0 ACRE DISTURBED**

Applicability Criteria

1. The disturbed area for construction of the improvements will not exceed 1.0 acre.
2. Within the disturbed area, the pre-development land use is not classified as forest.
3. For project site locations within an area previously managed for stormwater quantity and quality under an approved Sediment and Stormwater Plan, the post construction condition meets the original stormwater design criteria.
4. For project site locations within an area previously unmanaged for stormwater quantity and quality under an approved Sediment and Stormwater Plan, one of the following is met:
 - a. Comparison of the existing parcel curved number (CN) based upon the Department's 2017 aerial photography to the proposed CN for the parcel after non-residential construction results in less than one whole number change in the CN, OR
 - b. No new impervious area is proposed as a result of construction.

Site Information

Project Name: Rehoboth Inn
 Site Location: 20494 Coastal Hwy, Rehoboth Beach, DE
 Previous Plan Name: N/A
 Previous Plan Approval Number: N/A
 Tax Parcel ID: 334-19.08-176.00

Parcel Total Acres (nearest 0.1ac): +/- 0.706 Ac.
 Disturbed Acres (nearest 0.1ac): +/- 0.758 Ac.
 Proposed Impervious Area (square feet): 25,789s.f. (Total)
 Wooded area to be cleared: 0
 Pre CN: 90 Post CN: 90

Applicant Information

Owner: Rehoboth Inn JK, LLC
 Mailing Address: 20184 Phillips St.
Rehoboth Beach, DE 19971
 Owner Phone: 302-226-1994
 Owner Email: greg@oacompanies.com

Applicant: W. Zachary Crouch, P.E.
 Mailing Address: 1 Park Avenue, Milford, DE 19963
 Applicant Phone: 302-424-1441
 Applicant Email: WZC@dbfinc.com

Approval Information (for office use only)

Approval # 2020-1173 Fee Paid: \$ 500.00
 Approved by: [Signature] Approval Date: 10/30/20
 Title: Program Manager Expiration Date: 10/30/25

SEP - 8 2020

Standard Conditions

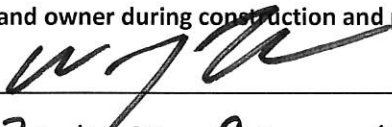
1. Discharges from rooftops will be disconnected using one of the following methods or another method approved by the Department or Delegated Agency:
 - a. Individual downspouts will discharge to lawn or landscape area.
 - b. Discharges from downspouts will be collected to discharge to a rain garden.
 - c. Discharges from downspouts will be collected in rain barrels or cisterns for reuse.
2. Driveways, sidewalks, patios, and other impervious surfaces will be graded to sheet flow to lawn or other pervious areas to the maximum extent practicable.
3. Unless waived in writing by the Department or Delegated Agency a construction site stormwater management plan in accordance with Department or Delegated Agency guidance for this Standard Plan shall be followed. The attached checklist has been developed to serve as guidance for preparing the construction site stormwater management plan.
4. Approval of this Standard Plan does not relieve the applicant from complying with any and all federal, state, county or municipal laws and regulations.

Stabilization Conditions

1. Following initial soil disturbance or redisturbance, temporary or permanent stabilization with seed and mulch shall be completed within 14 calendar days to the surface of all disturbed areas not actively under construction.
2. Specific stabilization recommendations may be found in the Delaware Erosion and Sediment Control Handbook, 3.4.3 Standard and Specifications for Vegetative Stabilization.

Applicant Certification

I, the undersigned, certify that the information supplied on this Application for Standard Plan Approval is accurate, the proposed land disturbing activity meets the criteria established, and all conditions of this Standard Plan Approval will be met by the applicant, builder, contractor, and owner during construction and post construction.

Applicant Signature:  Date: 9.4.2020
Applicant Printed Name: W. ZACHARY CROUCH Title: Princ. pac

*****THIS STANDARD PLAN APPLICATION FORM MUST BE MAINTAINED ON THE SITE AT ALL TIMES DURING CONSTRUCTION*****



Sussex Conservation District
23181 Shortly Road
Georgetown, DE 19947
302-856-2105

<https://www.sussexconservation.org>

Standard Plan for Non-Residential Construction <1.0 acre Disturbed Plan Review Checklist

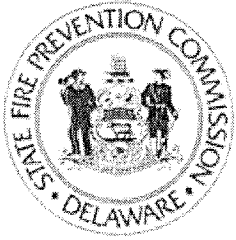
DATE RECEIVED: _____ PROJECT NUMBER: 0818A005
PROJECT NAME: Rehoboth Inn

- Scale bar
- Legend
- Parcel information, including the following:
 - Site address or location
 - Tax parcel ID
 - Parcel size in acres
 - Wetland delineation line, if applicable
 - Floodplain line, if applicable
 - Tax ditch rights-of-way, if applicable
 - Building setback line, if applicable
 - Any other easements or rights-of-way, if applicable
- Project information, including the following:
 - Estimated disturbed area
 - Existing and proposed grading
 - Existing and proposed pervious and impervious area
 - Construction sequence, including notification, construction of perimeter controls, and vegetative stabilization.
 - Construction site stormwater BMP standard details, including construction site waste management and spill control and concrete washout
 - Vegetated stabilization requirements
- Owner contact information
- Signed owner certification as follows: "I, the undersigned, certify that all land clearing, construction and development shall be done pursuant to the approved standard plan and that responsible personnel (i.e., Blue Card Holder) involved in the land disturbance will have a Certification of Training prior to initiation of the project, at a DNREC sponsored or approved training course for the control of erosion and sediment during construction. In addition, I grant the DNREC Sediment and Stormwater Program and/or the relevant Delegated Agency the right to conduct on-site reviews."

Standard Plan for Non-Residential Construction <1.0 acre Disturbed

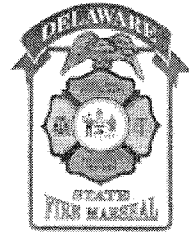
Plan Review Checklist

- General notes
 - The DNREC Sediment and Stormwater Program (or Delegated Agency) shall be notified in writing 5 days prior to commencing with construction. Failure to do so constitutes a violation of the approved Sediment and Stormwater Management Plan.
 - Review and/or approval of the Sediment and Stormwater Management Plan shall not relieve the contractor from his or her responsibilities for compliance with the requirements of the Delaware Sediment and Stormwater Regulations, nor shall it relieve the contractor from errors or omissions in the approved plan.
 - If the approved plan needs to be modified, additional sediment and stormwater control measures may be required as deemed necessary by DNREC or the Delegated Agency.
 - Following soil disturbance or redisturbance, permanent or temporary stabilization shall be completed for all perimeter sediment controls, soil stockpiles, and all other disturbed or graded areas on the project site within 14 calendar days unless more restrictive Federal requirements apply.
 - All erosion and sediment control practices shall comply with the Delaware Erosion and Sediment Control Handbook, latest edition.
 - At any time a dewatering operation is used, it shall be previously approved by the Agency Construction Site Reviewer for a non-erosive point of discharge, and a dewatering permit should be approved by the DNREC Well Permitting Branch.
 - Approval of a Sediment and Stormwater Management Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.
 - The contractor shall at all times protect against sediment or debris laden runoff or wind from leaving the site. Perimeter controls shall be checked daily and adjusted or repaired to fully contain and control sediment from leaving the site. Accumulated sediment shall be removed when it has reached half of the effective capacity of the control. In addition, the contractor may need to adjust or alter measures in times of adverse weather conditions, or as directed by the Agency Construction Site Reviewer.
 - Best available technology (BAT) shall be employed to manage turbid discharges in accordance with requirements of 7. Del C. Ch 60, Regulations Governing the Control of Water Pollution, Section 9.1.02, known as Special Conditions for Stormwater Discharges Associated with Construction Activities, and DNREC policies, procedures, and guidance.



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2020-04-204756-MJS-02

Tax Parcel Number: 334-19.08-176.00

Status: Approved as Submitted

Date: 10/29/2020

Project

Rehoboth Inn BLDG B & BLDG C

20494 Coastal Hwy
Rehoboth Beach DE 19971

Rehoboth Inn Motel Property

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 86 - Rehoboth Beach Vol Fire Co

Occupant Load Inside:

Occupancy Code: 9605

Applicant

W. Zachary Crouch
1 Park Avenue
Milford, DE 19963

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:

Duane Fox
Fire Protection Specialist III

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2020-04-204756-MJS-02

Tax Parcel Number: 334-19.08-176.00

Status: Approved as Submitted

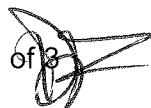
Date: 10/29/2020

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1040 A** This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 1,000 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 800' on center.
- 1000** The site plans have been approved as submitted. The Office of DE State Fire Marshal has no objection to recordation.
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1190 A** Separate plan submittal is required for the building(s) proposed for this project.
- 2710 A** The following items will be field verified by this Agency at the time of final inspection:
- 1130 A** Provide a water flow test on the subdivision hydrant(s) once they have been installed, and before they are placed into service (DSFPR Part I, Section 4 4.2 and Part III, Chapter 3). Results are to be forwarded to this Agency for review.
- 1132 A** Fire hydrants shall be color coded in accordance with the DSFPR, Part III, Section 3 4. This includes both color coding the bonnet and 2" reflective tape around the barrel under the top flange.

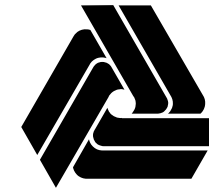


- 1232 A** All threads provided for fire department connections, to sprinkler systems, standpipes, yard hydrants or any other fire hose connections shall be uniform to those used by the fire department in whose district they are located. DSFPR Part III, Section 1.1.5.1.
- 1332 A** The distance between a fire hydrant and the fire lane shall not be greater than seven feet (DSFPR Part V, Chapter 5, Section 5 10.4).
- 1432 A** The steamer connection of all fire hydrants shall be so positioned so as to be facing the street or fire lane. (DSFPR Regulation 705, Chapter 5, Section 10). The center of all hose outlet(s) on fire hydrants shall be not less than 18 inches above final grade (NFPA 24, Section 7.3.3).
- 1092 A** Perimeter Access is that portion of the building that is accessible by emergency services personnel and is within 100 feet of a street and capable of supporting fire ground operations. (DSFPR Regulation 705, Chapter 5, Section 1.4.1). Perimeter Access minimum width shall be 15 feet measured from the face of the building at grade with a maximum slope of ten percent (10%). Plantings and utility services (includes condenser units, transformers, etc.) shall be permitted within the perimeter access, provided they do not interfere with the emergency services fire ground operations. (DSFPR Regulation 705, Chapter 5, Sections 3.5 and 4.5). If a physical barrier (fence, pond, steep slope, etc) prevents access, that portion of the building perimeter shall not be included in the calculation of Percent of Perimeter Access. (DSFPR Regulation 705, Chapter 5, Sections 3.5.1 and 4.5.1).
- 1199 A** The fire department connection shall be located per the site plan as approved by this Agency. This will be field verified at the final inspection. Noncompliance may cause a delay in approval for Certificate of Occupancy.
- 1501 A** If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.



THE STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION

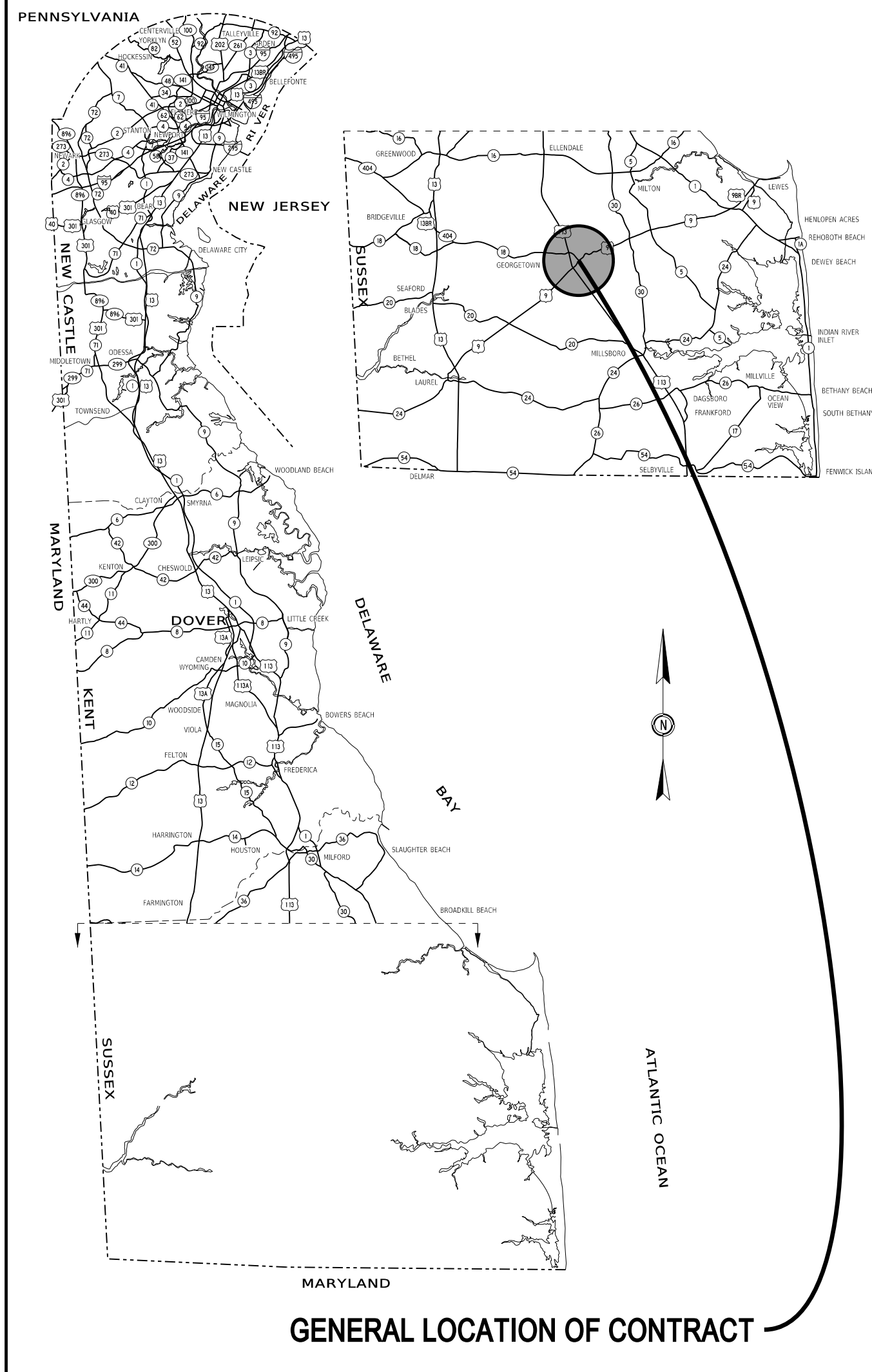
U.S. CUSTOMARY
UNITS



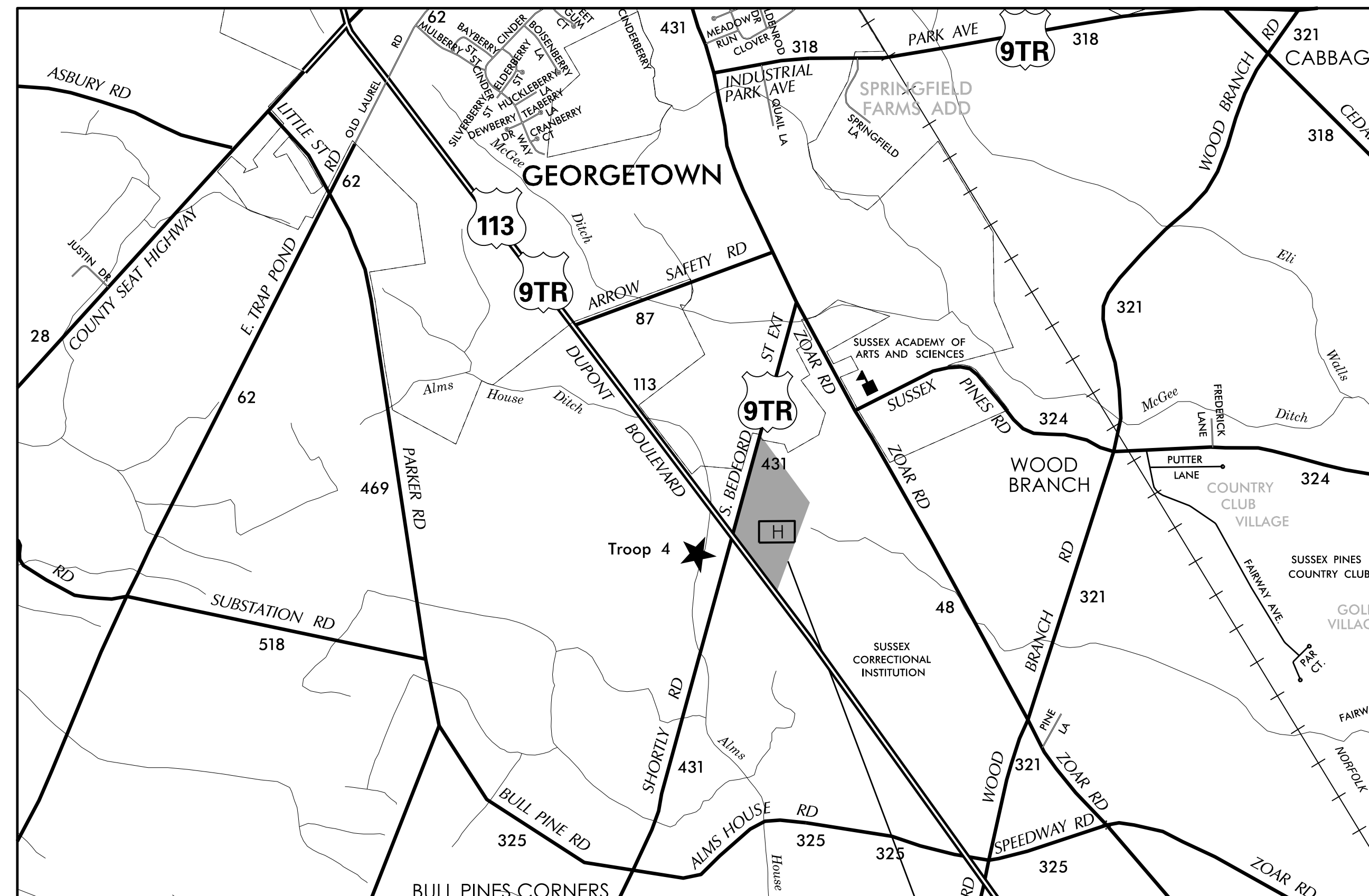
CONSTRUCTION PLANS FOR:

GEORGETOWN ADMINISTRATION BUILDING RENOVATION/EXPANSION

CONTRACT NUMBER: T202180102
COUNTY: SUSSEX



INDEX OF SHEETS	
SHEET NO.:	TITLE
1	TITLE SHEET
2	LEGEND
3	PRELIMINARY SITE PLAN



LOCATION MAP
SCALE: NTS

PROJECT SITE

ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY APPLICABLE LAWS OF THE STATE OF DELAWARE.

MATTHEW GOUDY
110 SOUTH POPLAR STREET, SUITE 102
WILMINGTON, DE 19801
(302) 468-4874

SIGNATURE: _____ DATE: _____

OWNER'S CERTIFICATION:

I HEREBY CERTIFY THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN DEVELOPED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE: _____ DATE: _____

PREPARED BY
THE CONSULTING FIRM OF

RK&K RUMMEL, KLEPPER & KAHL, LLP
CONSULTING ENGINEERS
110 SOUTH POPLAR STREET
SUITE 102
WILMINGTON, DE 19801

PROJECT MANAGER _____ DATE: 05/13/2021

PREPARED FOR:
DELAWARE DEPARTMENT OF TRANSPORTATION
23897 DUPONT BOULEVARD
GEORGETOWN, DE 19947

PHONE: 302-853-1300

DATE: MAY 13, 2021

13-MAY-2021 12:07 \\barsrv06w2010181225_DTC19101Task 6 - DelDOT Admin Building FD\CADD\ContractPlans\lg01_Growth.dgn

MANMADE ROADSIDE FEATURES			
FEATURE DESCRIPTION	EXISTING	PROPOSED	ID
BOLLARD - STEEL POLE	⊙		
BOLLARD - WOOD POST	⊠		
CURB, TYPE 1 AND TYPE 3		=====	
CURB, TYPE 2	CURB, TYPE "X"	=====	
CURB & GUTTER, TYPE 1		=====	(C) (XX)
CURB & GUTTER, TYPE 2		=====	
CURB & GUTTER, TYPE 3	C&G, TYPE "X"	=====	
CURB OPENING - SUMP / ON GRADE			(C) (D) (XX)
CURB OPENING WITH SIDEWALK			(C) (D) (SW) (XX)
FENCE - CHAINLINK OR STRANDED	-x-x-	○-○-○-○-○	(F) (XX)
FENCE - STOCKADE OR SPLIT RAIL	-x-x-	●-●-●-●-●	
FLAG POLE	F.P.		
GUARDRAIL - STEEL BEAM, TYPE 1			
GUARDRAIL - STEEL BEAM, TYPE 2			
GUARDRAIL - STEEL BEAM, TYPE 3			
GUARDRAIL - WIRE ROPE			
GUARDRAIL - END ANCHORAGE			(OR) (XX)
GUARDRAIL - END TREATMENT, TYPE 1			
GUARDRAIL - END TREATMENT, TYPE 2			
GUARDRAIL - END TREATMENT, TYPE 3			
GUARDRAIL - IMPACT ATTENUATOR			
LAMP AND POST - RESIDENTIAL	LAMP ⊙		
MAILBOX	MB	MB	
PARKING METER AND POST	P.M.		
PAVEMENT - FLEXIBLE	-----		
PAVEMENT - RIGID	=====		
PILE - BRIDGE	□		
PILLAR OR MISCELLANEOUS POST	○		
TRAFFIC SIGN AND POST	⊥	●→	
WALL - BRICK OR BLOCK	□□□□		
WALL - STONE	□□□□		

DRAINAGE FEATURES			
FEATURE DESCRIPTION	EXISTING	PROPOSED	ID
BIOFILTRATION SWALE		← BFS → x	
DITCH OR STREAM CENTERLINE	-----	x-----x	
DIRECTIONAL STREAM FLOW ARROW	→		
DRAINAGE INLET	C.B. / D.I.	■	(DI) (XX)
DRAINAGE JUNCTION BOX	J.B.	■	(JB) (XX)
DRAINAGE MANHOLE	⊙	●	(MH) (XX)
DRAINAGE PIPE AND FLOW ARROW	--- SIZE/TYPE LABEL ---	→	(P) (XX)
DRAINAGE PIPE HEADWALL			
FLARED END SECTION			(FES) (XX)
RIPRAP - AREA FEATURE			(RH) (XX)
RIPRAP - LINEAR FEATURE			
SAFETY END SECTION			(SES) (XX)
UNDERDRAIN		→	(UD) (XX)
UNDERDRAIN OUTLET		→	(UDO) (XX)

UTILITY FEATURES		
FEATURE DESCRIPTION	EXISTING	PROPOSED
CABLE TV DISTRIBUTION BOX	TV	
COMMUNICATIONS - UNDERGROUND	-----	-----
ELECTRIC - UNDERGROUND	-----	-----
ELECTRIC MANHOLE	⊙	
ELECTRIC METER	EM	
ELECTRIC TRANSFORMER	E	
GAS - UNDERGROUND	-----	-----
GAS MANHOLE	⊙	
GAS METER	G.M.	
GAS VALVE	G.V.	
GAS PUMP - SERVICE STATION	G.P.	
IRRIGATION - UNDERGROUND	-----	-----
ITMS - UNDERGROUND	-----	-----
LIGHTING - UNDERGROUND	-----	-----
LUMINAIRE - POLE MOUNTED		
MANHOLE - UNDETERMINED OWNER	⊙	
RAILROAD TRACKS		
SANITARY - UNDERGROUND	-----	-----
SANITARY SEWER MANHOLE	⊙	
SANITARY SEWER VALVE	S.V.	
SANITARY SEWER CLEANOUT OR VENT	S.C.O.	
SEPTIC DRAIN FIELD	S.D.F.	
SIGNALIZATION - UNDERGROUND	-----	-----
SOIL BORING LOCATION	⊙	
TELEPHONE BOOTH	B	
TELEPHONE MANHOLE	⊙	
TELEPHONE TEST POINT	T	
TRAFFIC - CONDUIT JUNCTION WELL	J.W.	
TRAFFIC - LIGHT POLE AND BASE	⊙	
TRAFFIC - PEDESTRIAN POLE & BASE	⊙	■
TRAFFIC - SIGNAL CABINET & BASE	⊙	■
TRAFFIC - SIGNAL POLE AND BASE	⊙	⊙
UTILITY BOX	U	
UTILITY POLE GUY WIRE ANCHOR	↔	↔
UTILITY POLE	⊙	■
UTILITY TEST HOLE LOCATION	⊙	
WATER - UNDERGROUND	-----	-----
WATER - FIRE HYDRANT	F.H.	F.H.
WATER METER	W.M.	
WATER VALVE	W.V.	W.V.
WELL HEAD	WELL	

PAVEMENT SECTION(S)	
OVERLAY PAVEMENT - 2" PAVEMENT MILLING WITH 2" SUPERPAVE WEARING COURSE, TYPE C	
RECONSTRUCTED PAVEMENT - 2" SUPERPAVE WEARING COURSE, TYPE C, 5" SUPERPAVE BCBC BASE COURSE, 8" GABC	
DRIVEWAY AND ENTRANCE PAVEMENT - SEE NOTES FOR MATERIALS AND DEPTHS	

NATURAL ROADSIDE FEATURES		
FEATURE DESCRIPTION	EXISTING	PROPOSED
HEDGEROW OR THICKET		
MARSH BOUNDARY LINE		
TREE - CONIFEROUS		
TREE - DECIDUOUS		
TREE STUMP	⊙	
SHRUBBERY		
WETLAND BOUNDARY - DELINEATED	WL	
WOODS LINE BOUNDARY		

RIGHT-OF-WAY FEATURES		
FEATURE DESCRIPTION	EXISTING	PROPOSED
DENIAL OF ACCESS	DA	DA
EASEMENT - OTHERS	EASEMENT TYPE	
PERMANENT EASEMENT	PE	PE
PROPERTY LINE		
PROPERTY MARKER - CONCRETE	C.M.	■
PROPERTY MARKER - IRON PIPE	I.P.	
RIGHT-OF-WAY BASELINE	100+00	100+00
RIGHT-OF-WAY LINE		R/W
RIGHT-OF-WAY & DENIAL OF ACCESS	R/W-DA	R/W-DA
RIGHT-TO-ENTER		RTE
TEMPORARY CONSTRUCTION EASEMENT		TCE

SURVEY CONTROL & MONUMENTATION	
FEATURE DESCRIPTION	EXISTING
POINT OF CURVATURE OR TANGENCY	⊙
POINT OF INTERSECTING TANGENTS	⊙
SURVEY BENCHMARK LOCATION	B.M.
SURVEY NGS POINT LOCATION	⊙
SURVEY TIE POINT LOCATION	T.P.
SURVEY TRAVERSE POINT	△

MISCELLANEOUS FEATURES	
FEATURE DESCRIPTION	PROPOSED
BARRIER, DOUBLE-FACED, PERMANENT	
BARRIER, SINGLE-FACED, PERMANENT, TEST LEVEL 4 / TEST LEVEL 5	
BRICK PATTERNED SURFACE	
BUTT JOINT	
CLEAR ZONE	CZ
CONSTRUCTION BASELINE	100+00
LATERAL OFFSET	LO
LIMIT OF CONSTRUCTION	LOC
PAVEMENT PATCH	
PAVEMENT REMOVAL - TOPSOIL, SEED AND MULCH	
P.C.C. SIDEWALK - 4"	
P.C.C. SIDEWALK - 6" (USE 8" DEPTH FOR CHANNELIZATION ISLANDS.)	

IDENTIFIERS	
FEATURE DESCRIPTION	ID
ABANDON BY CONTRACTOR	(AB) (C)
ABANDON BY OTHERS	(AB) (O)
ADJUST BY CONTRACTOR	(A) (C)
ADJUST BY OTHERS	(A) (O)
BEST MANAGEMENT PRACTICE	(BMP) (XX)
BUS STOP PAD / TYPE	(BSP) (X)
BUS STOP WITH SHELTER PAD / TYPE	(BSSP) (X)
CONCRETE SAFETY BARRIER	(B) (XX)
CONVERT TO JUNCTION BOX	(CJB) (XX)
CONVERT TO DRAINAGE MANHOLE	(CMB) (XX)
DO NOT DISTURB	(DND)
ENERGY DISSIPATOR	(ED) (XX)
FILL WITH FLOWABLE FILL	(FF) (C)
LANDSCAPE PLANTINGS	(LS) (XX)
PEDESTRIAN CONNECTION / TYPE	(PC) (XX)
PEDESTRIAN CONNECTION / TYPE WITHOUT DETECTABLE WARNING SYSTEM	(PC-N) (XX)
RELOCATE BY CONTRACTOR	(RL) (C)
RELOCATE BY OTHERS	(RL) (O)
RELOCATE BY PROPERTY OWNER	(RL) (PO)
REMOVE BY CONTRACTOR	(RM) (C)
REMOVE BY OTHERS	(RM) (O)
REMOVE BY TRAFFIC CONTRACTOR	(RM) (TC)
RIGHT-OF-WAY MONUMENT	(R) (XX)

UTILITY COMPANY FACILITIES	
W(A)	GEORGETOWN WATER SYSTEM A
E(A)	DELMARVA POWER-ELECTRIC
G(A)	CHESAPEAKE UTILITIES-GAS
COMM(A)	COMMUNICATIONS CONDUIT - COMCAST & VERIZON

NOT TO SCALE	GEORGETOWN ADMINISTRATION BUILDING RENOVATION/ EXPANSION			LEGEND	SECTION
	CONTRACT	BRIDGE NO.	N/A		RKK
	T202180102	DESIGNED BY:	M. MAYES		SHEET NO.
	COUNTY	CHECKED BY:	M. GOUDY		2
SUSSEX					

NOTES:

- EXISTING UTILITIES (WATER, SEWER, ELECTRIC AND TELECOMMUNICATIONS) WILL BE MAINTAINED DURING CONSTRUCTION. IT IS ANTICIPATED THAT THE BUILDING EXPANSION AND SITE UPGRADES WILL NOT REQUIRE UPGRADES TO THE EXISTING UTILITIES. THE EXISTING ELECTRIC PANEL WILL BE UPGRADED BUT WILL NOT REQUIRE UPGRADES TO THE EXISTING ELECTRIC LINES.
- LIGHTS WILL BE RELOCATED AS PART OF THE BUILDING EXPANSION, PLEASE SEE ARCHITECTURAL DRAWINGS FOR PROPOSED LOCATIONS.
- THE PROPANE TANK WILL BE RELOCATED AS PART OF THE BUILDING EXPANSION, PLEASE SEE ARCHITECTURAL DRAWINGS FOR PROPOSED LOCATIONS.
- PROPOSED PEDESTRIAN CONNECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH DELDOT STANDARD CONSTRUCTION DETAILS FOR THE ASSOCIATED PEDESTRIAN CONNECTION TYPE.
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.

NOTES (CONT.):

- EXISTING DRAINAGE AND STORMWATER MANAGEMENT FACILITIES WILL BE MAINTAINED AS A PART OF THE PROJECT. THERE WILL BE MINOR UPGRADES TO THE DISCHARGE LOCATIONS TO IMPROVE EXISTING ERODED AREAS AND PROVIDE INCREASED FLOW TO THE EXISTING FACILITIES.
- THE EXISTING SITE WILL BE GRADED SIMILAR TO EXISTING TOPOGRAPHY AND WILL MAINTAIN THE SAME POINT DISCHARGE LOCATIONS. THE PROJECT WILL UTILIZE THE EXISTING SLOPES AND ONLY COMPLETE MINOR GRADING AT THE BUILDING EXPANSION LOCATION AND THE PROPOSED PARKING LOT TO PROVIDE PROPER FLOW TO THE PROPOSED DRAINAGE FEATURES.

PURPOSE STATEMENT:

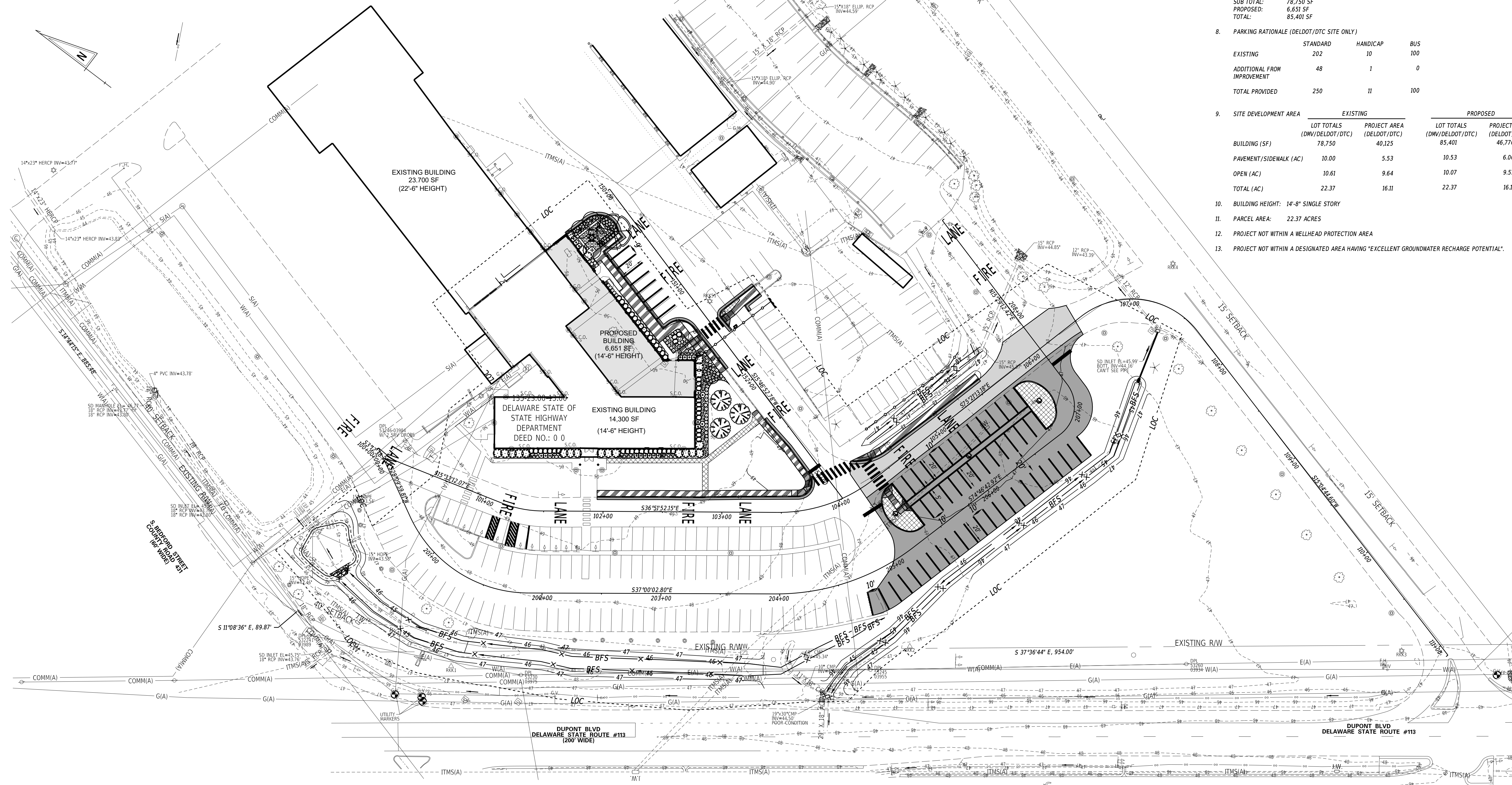
THIS PROJECT WILL PROVIDE EXPANSION AND UPGRADES TO THE EXISTING BUILDING AND IMPROVE THE OVERALL BUILDING QUALITY. IN ADDITION, THE EXISTING SITE WILL BE UPGRADED TO PROVIDE ADDITIONAL PARKING TO ACCOMMODATE THE BUILDING RENOVATIONS/EXPANSION AND SITE LIGHTING AND SECURITY CAMERAS TO IMPROVE SITE SECURITY. DRAINAGE UPGRADES ARE ALSO PROPOSED TO MEET LOCAL STORMWATER MANAGEMENT AND EROSION CONTROL REQUIREMENTS.

SITE DATA

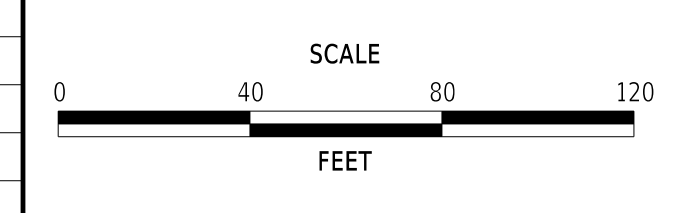
- OWNER: STATE OF DELAWARE
23697 DUPONT BOULEVARD
GEORGETOWN, DE 19947
- TAX PARCEL NO. 1-35-23-13, P.O. 1-35-23-19
- ZONING: AR-1
- SITE ADDRESS: SAME AS OWNER ADDRESS
- FLOOD ZONE DESIGNATION:
- WETLANDS PRESENT: NONE
- BUILDING AREA
EXISTING: 40,125 SF
DELDOT/DTC: 38,625 SF
DMV: 78,750 SF
SUB TOTAL: 78,750 SF
PROPOSED: 6,651 SF
TOTAL: 85,401 SF
- PARKING RATIONALE (DELDOT/DTC SITE ONLY)

	STANDARD	HANDICAP	BUS
EXISTING	202	10	100
ADDITIONAL FROM IMPROVEMENT	48	1	0
TOTAL PROVIDED	250	11	100
- SITE DEVELOPMENT AREA

	EXISTING		PROPOSED	
	LOT TOTALS (DMV/DELDOT/DTC)	PROJECT AREA (DELDOT/DTC)	LOT TOTALS (DMV/DELDOT/DTC)	PROJECT AREA (DELDOT/DTC)
BUILDING (SF)	78,750	40,125	85,401	46,776
PAVEMENT/SIDEWALK (AC)	10.00	5.53	10.53	6.06
OPEN (AC)	10.61	9.64	10.07	9.57
TOTAL (AC)	22.37	16.11	22.37	16.11
- BUILDING HEIGHT: 14'-8" SINGLE STORY
- PARCEL AREA: 22.37 ACRES
- PROJECT NOT WITHIN A WELLHEAD PROTECTION AREA
- PROJECT NOT WITHIN A DESIGNATED AREA HAVING "EXCELLENT GROUNDWATER RECHARGE POTENTIAL".



13-MAY-2021 12:05 \\barsv06w201010181225_DTC1910Task 6 - DelDOT Admin Building FD(CADD)ContractPlans\cp01_Growth_SITE.dgn



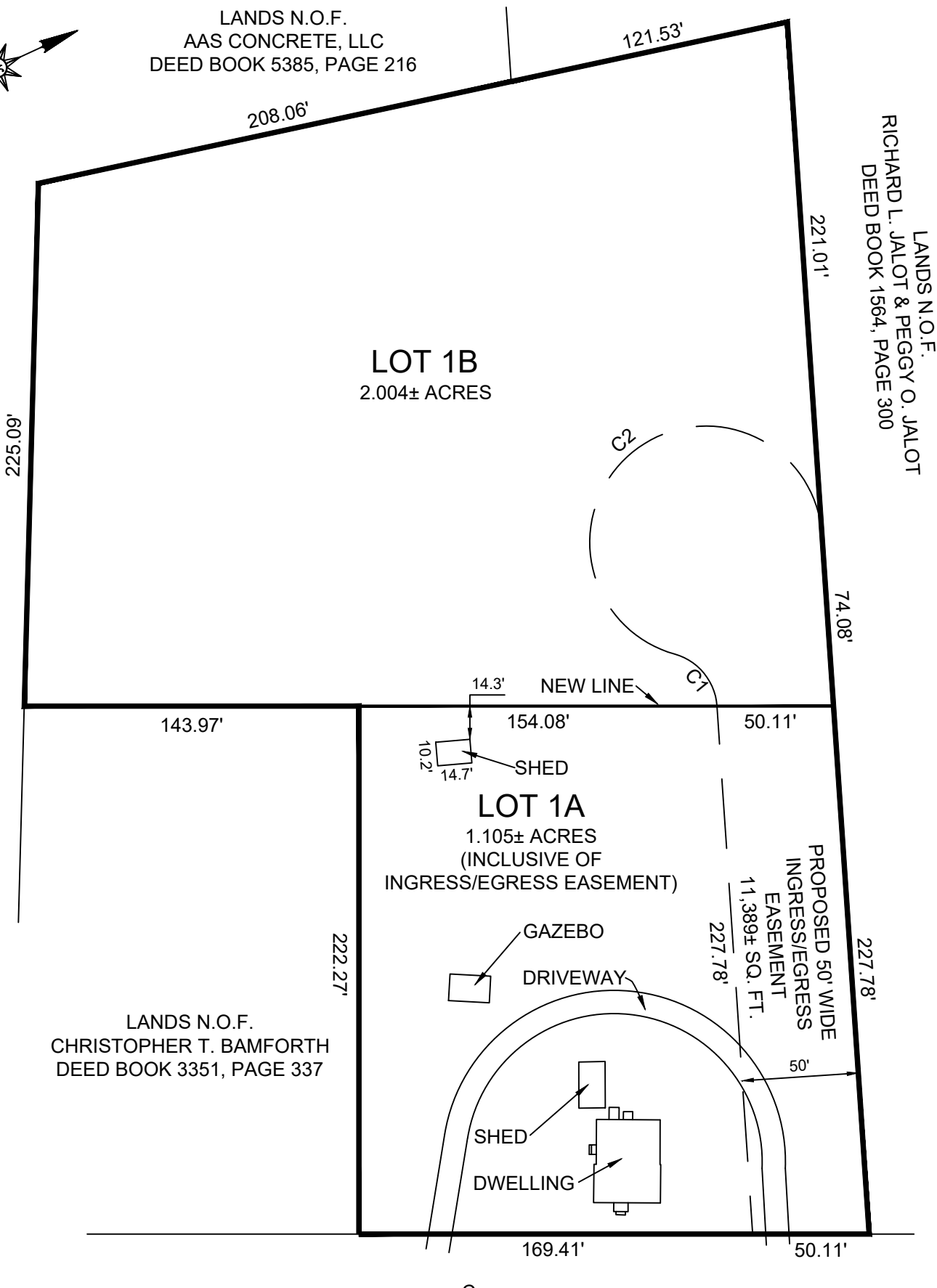
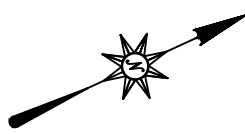
GEORGETOWN ADMINISTRATION BUILDING RENOVATION/EXPANSION

CONTRACT T202180102	BRIDGE NO. N/A
COUNTY SUSSEX	DESIGNED BY: M. MAYES
	CHECKED BY: M. GOUDY

PRELIMINARY SITE PLAN

SECTION RKK
SHEET NO. 3

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	25.00'	70°31'44"	30.77'	28.87'	S 75°41'49" W
C2	50.00'	250°31'44"	218.63'	81.65'	N 14°18'11" W



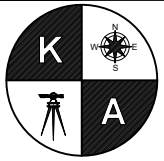
LANDS N.O.F.
AAS CONCRETE, LLC
DEED BOOK 5385, PAGE 216

LANDS N.O.F.
RICHARD L. JALOT & PEGGY O. JALOT
DEED BOOK 1564, PAGE 300

LANDS N.O.F.
CHRISTOPHER T. BAMFORTH
DEED BOOK 3351, PAGE 337

COUNTY ROAD 319
(A.K.A. SAND HILL ROAD)
(50' WIDE)

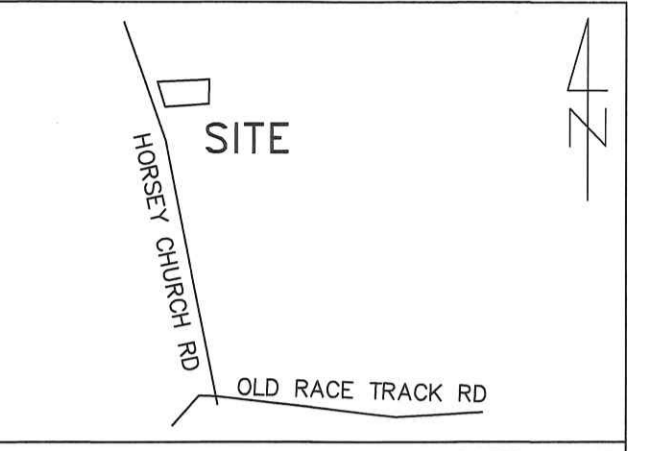
SUBDIVISION CONCEPT SKETCH PLAN
PREPARED FOR
JOHN D. BAMFORTH & ANN M. BAMFORTH
18562 SAND HILL ROAD
SITUATE IN: GEORGETOWN HUNDRED
SUSSEX COUNTY, STATE OF DELAWARE



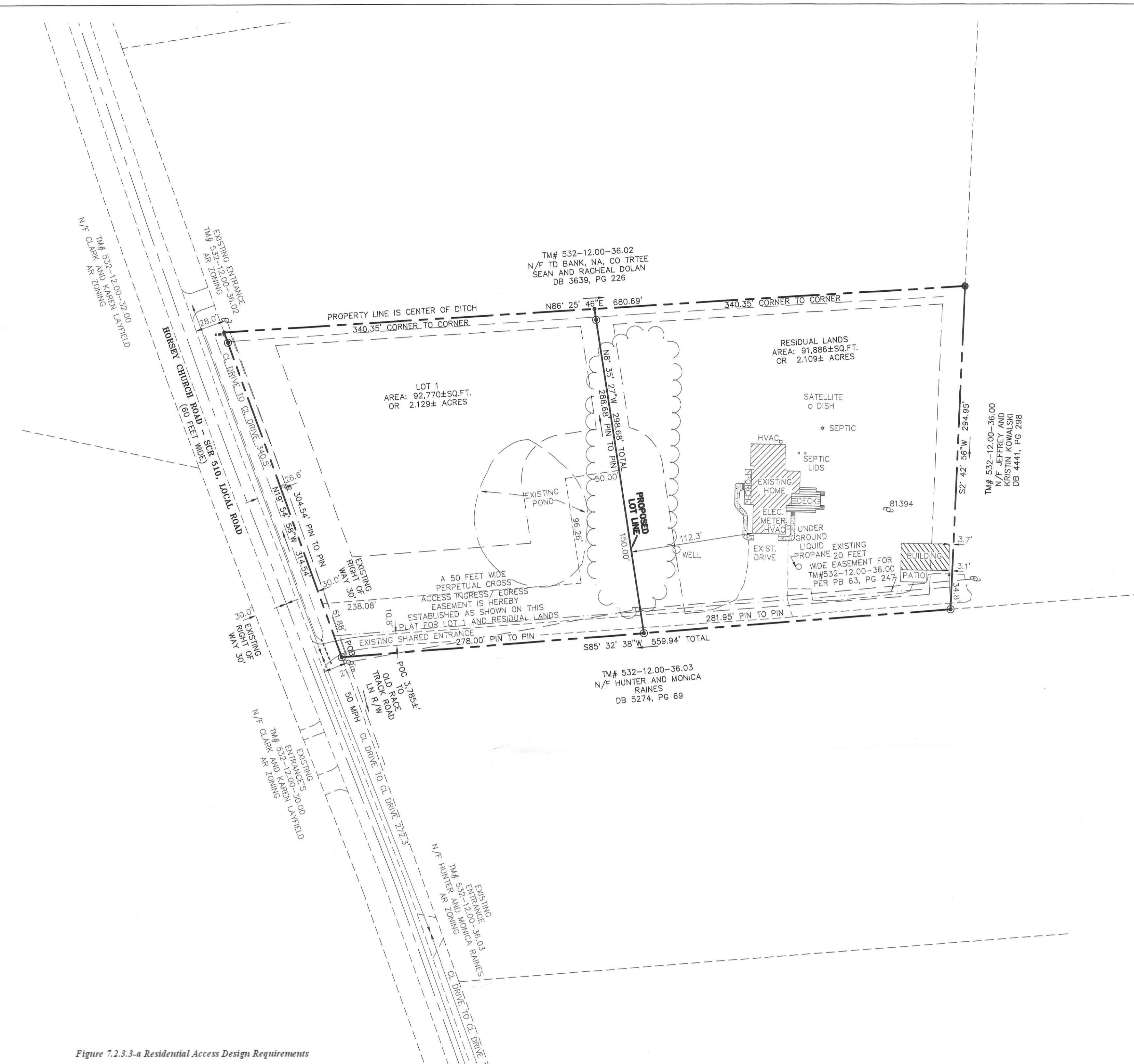
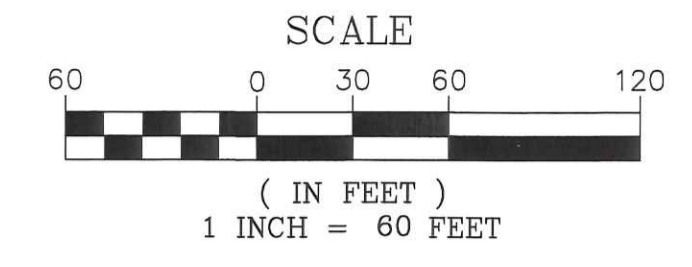
Karins and Associates
ENGINEERS • PLANNERS • SURVEYORS
NEWARK, DE • GEORGETOWN, DE
www.karinsengineering.com

17 POLLY DRUMMOND CENTER * SUITE 201
NEWARK, DELAWARE 19711
PHONE: (302) 369-2900

128 WEST MARKET STREET
GEORGETOWN, DELAWARE 19947
PHONE: (302) 856-6699



LOCATION MAP NOT TO SCALE



FIRE MARSHAL

1. PROPOSED BUILDING USE RESIDENTIAL.
2. MAXIMUM HEIGHT PER SUSSEX COUNTY CODE 42FT.
3. PROPOSED CONSTRUCTION WOOD FRAMED.
4. ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.

AGRICULTURE NOTES

1. THERE IS A FIFTY FOOT BUILDING SETBACK FROM LANDS USED FOR AGRICULTURAL PURPOSES UNLESS THE APPLICANT ACQUIRES A LETTER OF CONSENT FROM THE ADJACENT OWNER.

PURPOSE STATEMENT

THE PURPOSE OF THIS PLAN IS TO CREATE TWO PARCELS FROM ONE.

OWNER OF RECORD

I/WE THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY/OUR DIRECTION, AND THAT I/WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT I/WE DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW. I CERTIFY THAT TITLE 17, SECTION 530 IS APPLICABLE TO THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN BY VIRTUE OF THE SUBDIVIDED PARCEL OR PARCELS WILL BE TRANSFERRED TO A FAMILY MEMBER OR MEMBERS FOR PURPOSES OF USE AS A FAMILY MEMBER OR MEMBERS' PRINCIPAL RESIDENCE OR FARMLAND.

[Signature] DATE 4/23/21
 JOSHUA SMITH
 36705 HORSEY CHURCH RD DELMAR, DE 19940
 DATE 4-23-21
 MATTHEW SMITH
 36705 HORSEY CHURCH RD DELMAR, DE 19940
 DATE 4/23/21
 LEAH WALLACE
 36705 HORSEY CHURCH RD DELMAR, DE 19940

SURVEYOR'S CERTIFICATION

I, ALAN O'DALE KENT REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.



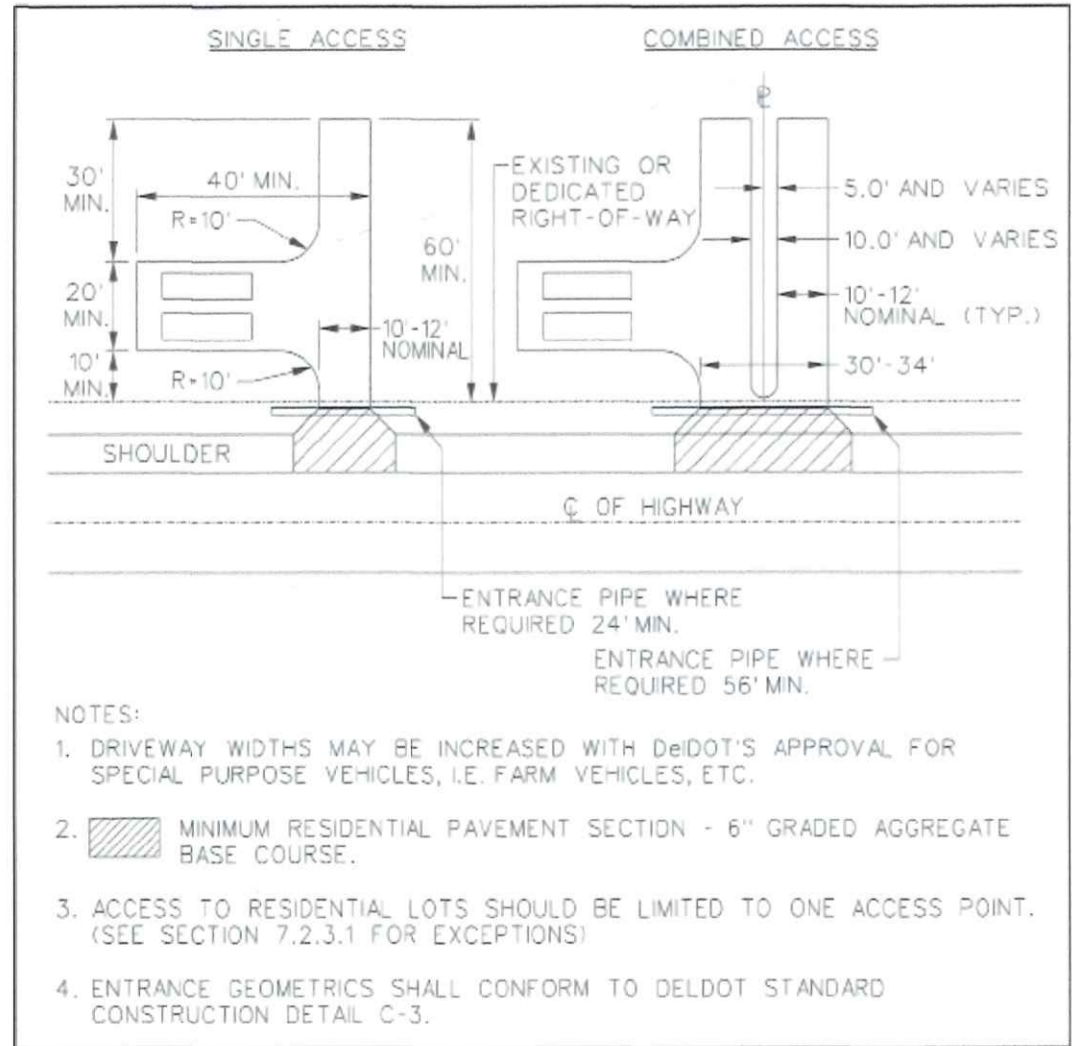
ALAN O'DALE KENT, PLS#738
 ALAN O KENT LAND SURVEYING LLC
 8505 SUSSEX STREET
 SEAFORD, DE 19973
 PHONE: (302) 745-1735
 EMAIL: aokilc@outlook.com

DeDOT NOTES

1. ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
2. ENTRANCES TO PRIVATE STREETS SERVING MULTIPLE RESIDENTIAL LOTS SHOULD BE PAVED, FROM THE EDGE OF THE TRAVEL LANE TO THE ROW LINE (AT A MINIMUM), WITH THE DRIVEWAY/THROAT WIDTH OF 16 TO 24 FEET REFER TO DELDOT DCM REFERENCE 3.3.3.
3. SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO THE PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
4. IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION THEN ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
5. THE RESIDUAL LANDS AND LOT 1 SHALL HAVE ACCESS TO HORSEY CHURCH ROAD VIA THE 50 FOOT WIDE INGRESS/EGRESS EASEMENT.
6. WITHIN THE LIMITS OF THE PROJECT AREA THE SPEED LIMIT IS 50 MPH ALONG HORSEY CHURCH ROAD.

99-6 (G) STATEMENT - FOR ANY NEW SUBDIVISION DEVELOPMENT LOCATED IN WHOLE OR IN PART WITHIN 300 FEET OF THE BOUNDARY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES, THE OWNER OF THE DEVELOPMENT SHALL PROVIDE IN THE DEED RESTRICTIONS AND ANY LEASES OR AGREEMENTS OF SALE FOR ANY RESIDENTIAL LOT OR DWELLING UNIT THE FOLLOWING NOTICE: "THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES."

Figure 7.2.3.3-a Residential Access Design Requirements

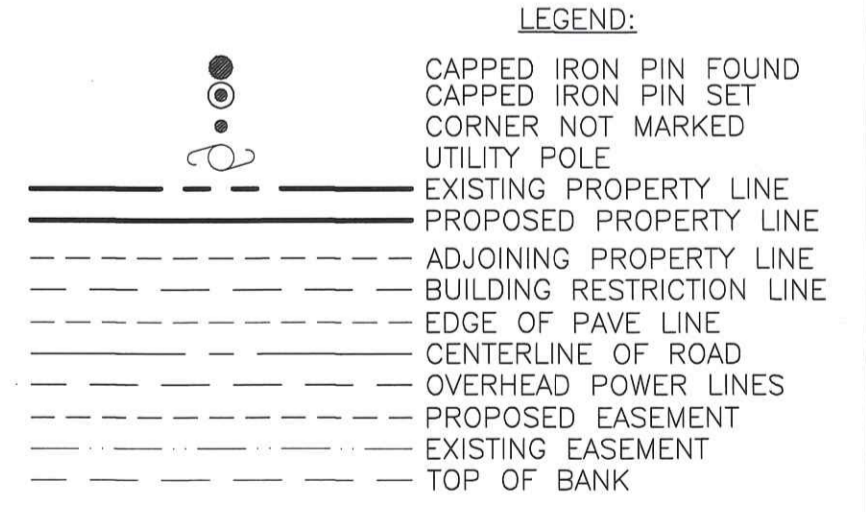


SITE DATA

1. TAX PARCEL (ALL): 532-12.00-36.01 DB 5294, PG 179
2. TOTAL ACREAGE PRIOR TO SUBDIVISION: 184,657.66± SQ. FT. OR 4.2391± ACRES
3. ZONING: "AR"
 PRESENT USE: SINGLE FAMILY DWELLING/ AGRICULTURAL
 PROPOSED USE: SINGLE FAMILY DWELLING/ AGRICULTURAL
 SEWER: PRIVATE SEPTIC
 WATER: PRIVATE WELL
4. EXISTING NUMBER OF LOTS: 1
 PROPOSED NUMBER OF LOTS: 2
5. ROAD CLASSIFICATIONS AND FRONTAGE:
 RESIDUAL LANDS
 LOCAL ROAD FRONTAGE HORSEY CHURCH ROAD: 314.54 LF
6. IMPERVIOUS COVERAGE PERMITTED: 23%
 DENSITY: 0.0000031 DWELLING UNIT PER 1 ACRE
7. NUMBER OF PERMANENT MONUMENTS FOUND:
 1 CAPPED IRON PIN
 NUMBER OF PERMANENT MONUMENTS PLACED:
 5 CAPPED IRON PINS
8. RELATION TO GROWTH ZONE: OUTSIDE
9. FEMA MAP: 1000500575L, DATED 06/20/2018
 FLOOD ZONE: ZONE "X"
10. NO TITLE SEARCH PERFORMED OR PROVIDED IN PREPARATION OF THIS PLAN
11. ADJOINING TAX PARCELS:
 532-12.00-36.03
 532-12.00-36.00
 532-12.00-36.02

GENERAL DATA:

1. CURRENT USE AGRICULTURAL RESIDENTIAL AND FUTURE USE AGRICULTURAL RESIDENTIAL.
2. SEWER & WATER WILL BE ON SITE WELL AND SEPTIC.
3. EXISTING NUMBER OF PARCELS 1, EXISTING NUMBER OF LOTS 1, PROPOSED NUMBER OF PARCELS 2, PROPOSED NUMBER OF LOTS 2.



JOB # 2020197 THIS IS A SUBURBAN CLASS SURVEY

MINOR SUBDIVISION PLAN
 OF THE LANDS NOW OR FORMERLY OF
 MATTHEW L. SMITH
 AND LEAH B. WALLACE
 DELMAR, DE
 LITTLE CREEK HUNDRED, SUSSEX COUNTY
 PREPARED BY
 ALAN O KENT LAND SURVEYING
 9505 SUSSEX STREET
 SEAFORD, DE 19973
 (302) 745-1735

DATE OF PLAN	12 AUG 2020
DATE OF LAST FIELD WORK	07 JUN 2020

REV 1 09 DEC 2020 PER DEL DOT COMMENTS
 REV 2 19 JAN 2021 PER DEL DOT COMMENTS
 REV 3 26 FEB 2021 PER DEL DOT COMMENTS

- FIRE MARSHAL NOTES**
1. ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
 2. THE SITE OCCUPANT GIVES PERMISSION TO THE FIRE DEPARTMENT TO REMOVE ANY LOCKS THAT MAY IMPEDE ACCESS TO THE SITE.
 3. AUTOMATIC SPRINKLER SYSTEMS ARE NOT PROPOSED FOR ANY DWELLINGS ERECTED ON THIS PROPERTY.

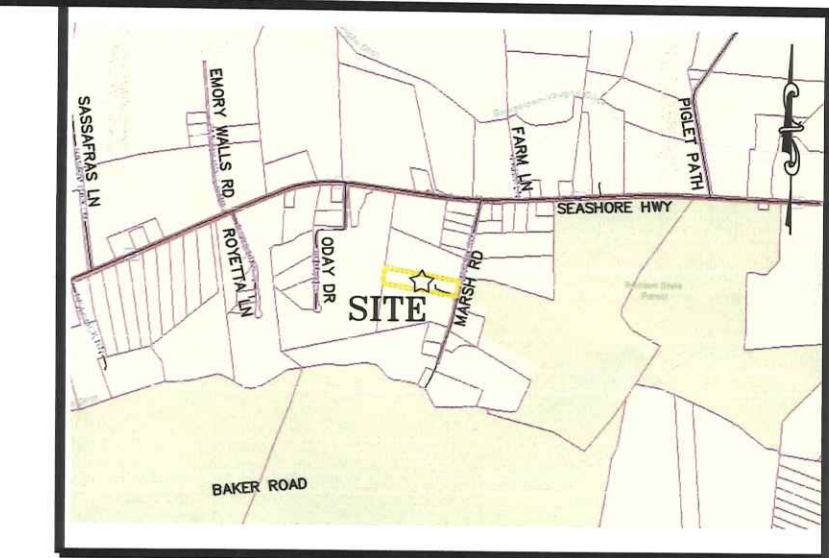
PRIOR TO ANY CONSTRUCTION ACTIVITIES, PERMITS AND/OR APPROVALS MAY BE REQUIRED FROM:

- A) SUSSEX CONSERVATION DISTRICT.....(302) 856-7219
- B) FIRE MARSHAL.....(302) 856-5298
- C) SUSSEX COUNTY UTILITY CONSTRUCTION DIVISION.....(302) 855-7717
- D) DELAWARE HEALTH & SOCIAL SERVICES-DIVISION OF HEALTH.....(302) 739-7431
- E) SUSSEX COUNTY ASSESSMENT OFFICE.....(302) 855-7824
- F) SUSSEX COUNTY PLANNING AND ZONING.....(302) 855-7878
- G) DELDOT.....(302) 853-1340
- H) DNREG.....(302) 739-5931

MINOR SUBDIVISION PLAN NOTES

1. ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
2. SHRUBBERY, PLANTINGS, SIGNS AND/OR VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
3. IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
4. LOT 1 SHALL HAVE SINGLE ACCESS FROM SCR 521 VIA THE EXISTING ENTRANCE.
5. LOT 2 (RESIDUAL) SHALL HAVE ACCESS FROM SCR 521 VIA THE PROPOSED 40' WIDE INGRESS/EGRESS EASEMENT.
6. PRIVATE STREETS WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17, SECTION 131). DELDOT ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.
7. A PERPETUAL CROSS ACCESS INGRESS/EGRESS EASEMENT IS HEREBY ESTABLISHED AS SHOWN ON THIS PLAN.
8. ENTRANCES TO PRIVATE STREETS SERVING MULTIPLE RESIDENTIAL LOTS SHOULD BE PAVED, FROM THE EDGE OF THE TRAVEL LANE TO THE ROW LINE (AT A MINIMUM), WITH A DRIVEWAY/THROAT WIDTH OF 16 TO 24 FEET (REFER TO DELDOT DCM SECTION 3.3.3).
9. NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.

231-7.00-37.03
N/F OF JOHNNY &
SARA GRAY
ZONING AR-1



- LEGEND**
- CONCRETE MONUMENT FOUND
 - IRON REBAR TO BE SET
 - EXISTING PROPERTY/EXISTING R.O.W. LINE
 - - - PROPOSED PROPERTY/PROPOSED R.O.W. LINE
 - - - ADJACENT PROPERTY LINE
 - - - EXISTING EDGE OF PAVEMENT
 - - - EXISTING ROAD CENTERLINE
 - - - EXISTING GRAVEL DRIVE
 - - - PROPOSED EASEMENT
 - - - BUILDING RESTRICTION LINE
 - UTILITY POLE

- NOTES**
1. TITLE REFERENCED TO DEED BOOK 867, PAGE 147.
 2. SUBJECT TO ANY AND ALL RESTRICTIONS, RESERVATIONS, CONDITIONS, EASEMENTS & AGREEMENTS OF RECORD IN THE OFFICE OF RECORDER OF DEEDS, SUSSEX COUNTY, DE.
 3. THIS SURVEY DOES NOT CERTIFY AS TO THE EXISTENCE OR NON-EXISTENCE OF ANY EASEMENTS OR RIGHT-OF-WAYS AFFECTING THE PROPERTIES SHOWN HEREIN.
 4. THIS LOT DOES NOT CONTAIN ANY STATE AND/OR FEDERAL WETLANDS.

- SITE DATA**
1. TAX MAP NUMBER: 231-7.00-38.01
 2. CURRENT ZONING: AR-1
 3. TOTAL AREA (AFTER DED.): 220,964 ± s.f. 5.07 ± Acres
 4. USE: PRESENT: RESIDENTIAL
 5. STREETS: PROPOSED: SAME
 6. ACCESS: TO REMAIN PRIVATE
 7. MAINTENANCE: PRIVATE
 8. SETBACKS: LOT 1: FRONT: 40', SIDE: 15', REAR: 20'; LOT 2: FRONT: 30', SIDE: 15', REAR: 20'
 9. SPEED LIMIT: 25 MPH (MARSH ROAD - UNPOSTED)
 10. SEWER: PRIVATE ON-SITE
 11. WATER: PRIVATE ON-SITE
 12. EXISTING LOTS: 2 (INCLUDING RESIDUAL)
 13. PROPOSED LOTS: 1
 14. TIDS: NOT IMPACTED BY ANY TIDS
 15. FLOOD ZONE: X
 16. MAX BLDG HEIGHT: 42.0'

- GENERAL PROJECT**
1. Developer: JESSE ATKINSON & JULIE NORWOOD, 220 TANGLEWOOD DRIVE, LEWES, DE 19958, Phone/Fax: (302) 628-9164, c/o: Michael S. Cotten, P.E.
 2. Civil/Site Engineer: COTTEN ENGINEERING LLC, 10087 CONCORD RD, SEAFORD, DELAWARE 19973, Phone/Fax: (302) 628-9164, c/o: Michael S. Cotten, P.E.
 3. Surveyor: COTTEN ENGINEERING LLC, 10087 CONCORD RD, SEAFORD, DELAWARE 19973, Phone/Fax: (302) 628-9164, c/o: Michael S. Cotten, P.E.
 4. The project is located on the northwestern side of Marsh Road Road (SCR 521, local, 50' wide).
 5. Class "C" Survey
 6. This Survey does not certify to the location and/or existence of easements and Right-of-Ways crossing subject property other than those shown, as no title search was provided.

I, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DISCRETION, AND THAT I ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT I DESIRE THE PLAN TO BE RECORDED ACCORDING TO THE LAW.

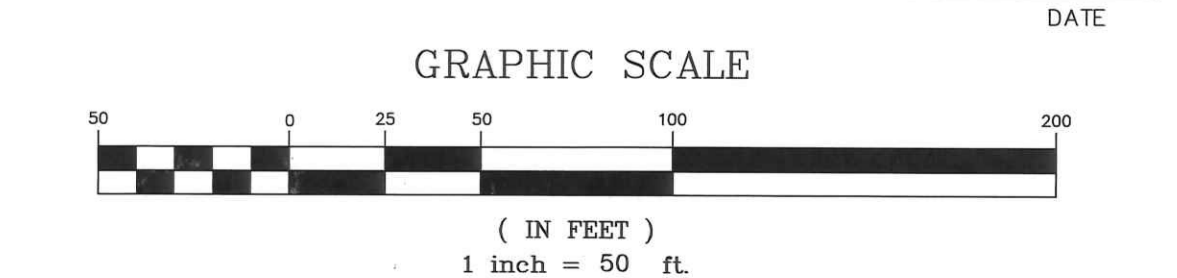
Jesse Atkinson 05/17/21
JESSE ATKINSON, CO-OWNER DATE

Julie Norwood 05/17/21
JULIE NORWOOD, CO-OWNER DATE

DESIGNER/ENGINEER SIGNATURE
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN MADE UNDER MY SUPERVISION AND COMPLIES WITH THE LAWS OF SUSSEX COUNTY AND THE STATE OF DELAWARE.

Michael S. Cotten, P.E. 05/17/21
MICHAEL S. COTTEN, P.E. DATE

APPROVED BY SUSSEX COUNTY PLANNING AND ZONING



#	1.	INITIAL SUBMISSION	02-12-21
	2.	RESPONSE TO COMMENTS	03-24-21
	3.	RESPONSE TO COMMENTS - FINAL PLANS REQUESTED	05-01-21
	4.	RESPONSE TO SUSSEX COUNTY COMMENTS	05-17-21
	5.		
	6.		

MINOR SUBDIVISION OF LANDS OF JESSE ATKINSON

COTTEN ENGINEERING LLC
CIVIL ENGINEERING, SURVEYING, ENVIRONMENTAL PLANNING
CONSULTANTS
10087 CONCORD RD SEAFORD DE 19973
PH: (302) 628-9164 FAX: (302) 628-9164

MINOR SUBDIVISION PLAN OF LANDS N/F OF JESSE ATKINSON & JULIE NORWOOD 17689 & 17703 SUNSHINE DRIVE GEORGETOWN, DE 19947 BROAD CREEK HUNDRED SUSSEX COUNTY, DELAWARE TWP# 231-7.00-38.01

MICHAEL S. COTTEN, P.E. LICENSE # 12769

SCALE: AS SHOWN
DESIGNED: CE
PLANNED: CE
DRAWN: JCD
APPROVED: MC
JOB: 20-624

SHEET NO. 1 OF 1

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878 T
302-854-5079 F
JAMIE WHITEHOUSE, AICP
DIRECTOR

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET
Planning Commission Public Hearing Date May 27th, 2021

Application: Baylis Estates Phase II (2021-13)

Applicant: Bohler Engineering (Attention: Mr. Steven Fortunato)
18958 Coastal Highway, Suite D
Rehoboth Beach, DE 19971

Owner: Baylis Estates Investments, LLC
16255 Sussex Highway
Bridgeville, DE 19933

Site Location: Located on the northeast side of Mount Joy Road (Route 297).

Current Zoning: Agricultural Residential (AR-1) Zoning District

Proposed Use: 51 Single Family Lots as a Cluster Subdivision

Comprehensive Land Use Plan Reference: Coastal Area

Councilmanic District: Mr. Hudson

School District: Indian River School District

Fire District: Indian River Fire Company

Sewer: Sussex County

Water: Tidewater Utilities

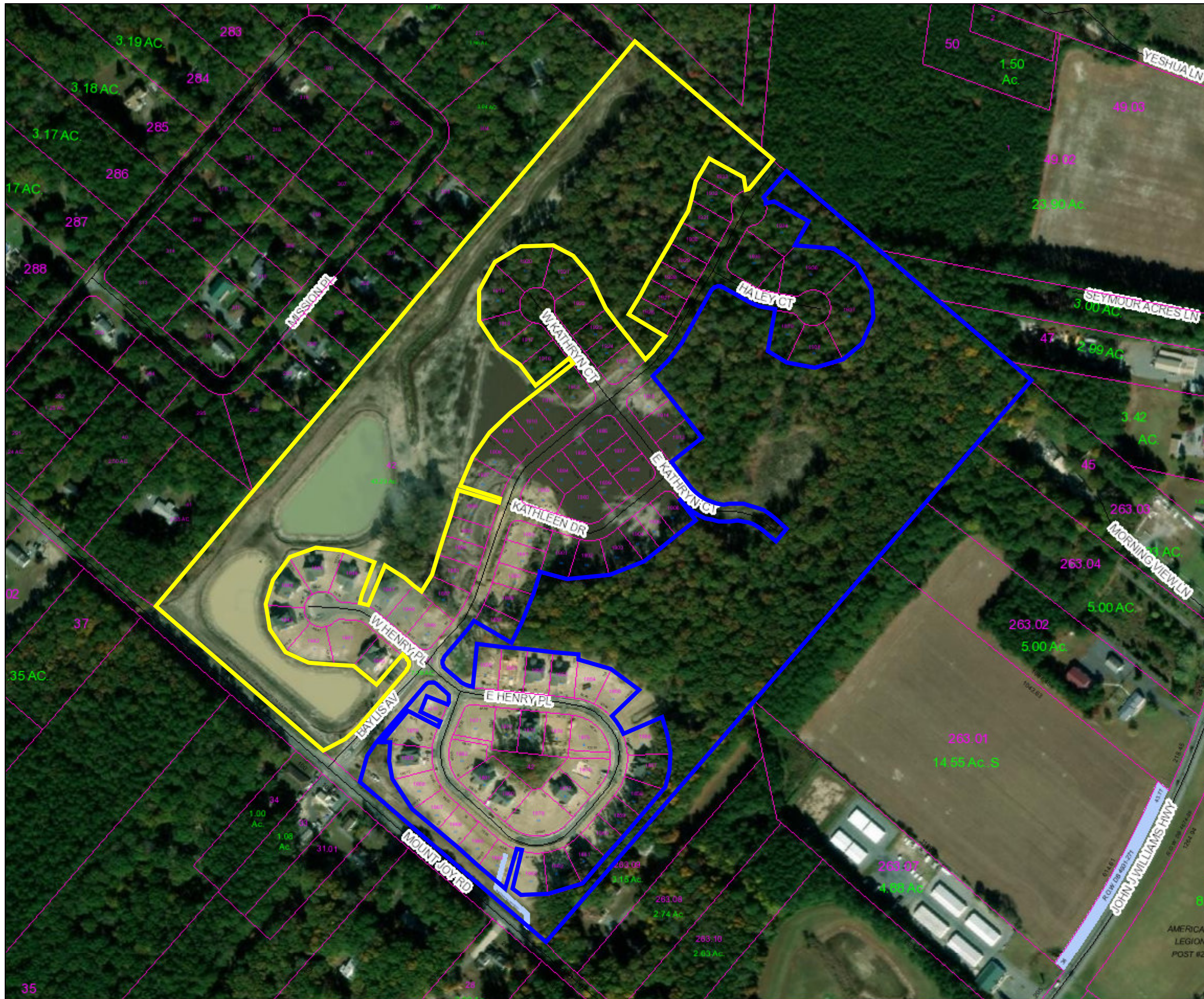
Site Area: 75.48 +/- acres

Tax Map ID.: 234-29.00-42.00





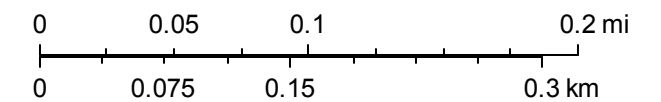
Sussex County



PIN:	234-29.00-42.00
Owner Name	SUSSEX COUNTY
Book	5222
Mailing Address	PO BOX 589
City	GEORGETOWN
State	DE
Description	BAYLIS ESTATES
Description 2	OPEN SPACE AREAS
Description 3	N/A
Land Code	

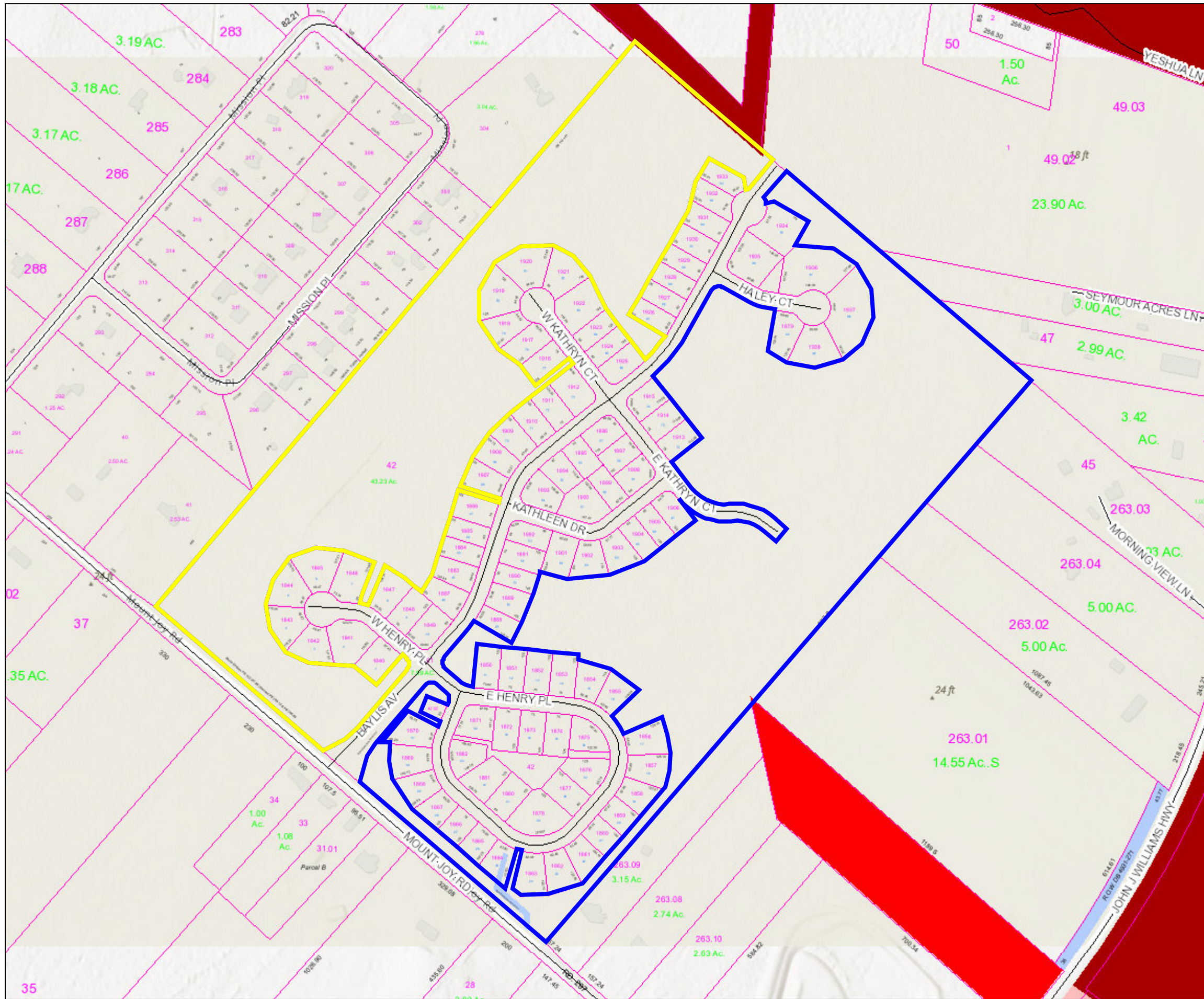
- polygonLayer**
- Override 1
- polygonLayer**
- Override 1
- Tax Parcels
- Streets
- County Boundaries
- Easements

1:4,514





Sussex County



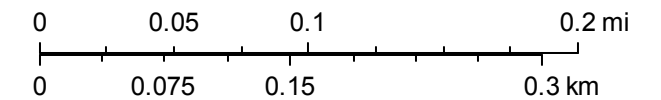
PIN:	234-29.00-42.00
Owner Name	SUSSEX COUNTY
Book	5222
Mailing Address	PO BOX 589
City	GEORGETOWN
State	DE
Description	BAYLIS ESTATES
Description 2	OPEN SPACE AREAS
Description 3	N/A
Land Code	

- polygonLayer**

 - Override 1
- polygonLayer**

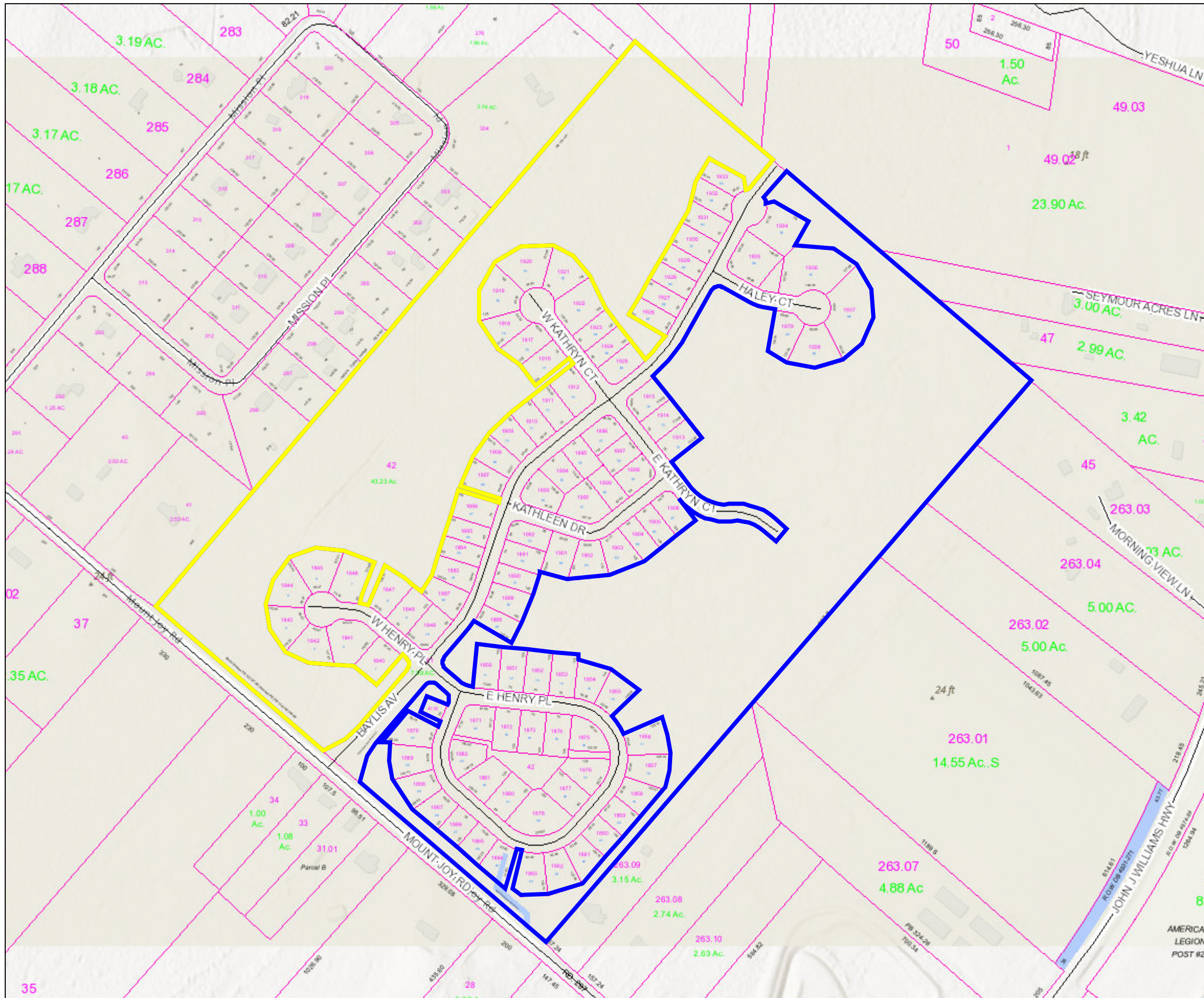
 - Override 1
- Tax Parcels
- Streets

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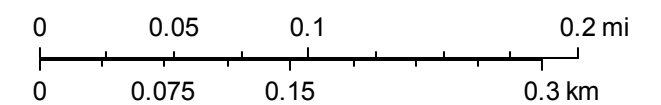
Sussex County



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Land Code	

- polygonLayer**
Override 1
- polygonLayer**
Override 1
- Tax Parcels
- Streets
- County Boundaries
- Easements

1:4,514



FULLNAME	Second_Owner_Name	MAILINGADD	CITY	STATE	ZIPCODE	PIN
26582 JOHN J WILLIAMS HIGHWAY LLC		37021 REHOBOTH AVE EXT STE G	REHOBOTH BEACH	DE	19971	234-29.00-263.07
AHSHAPANCK DON C	CARMELITA ALANIZ	4334 PRAIRIE HILL PL NW	ALBUQUERQUE	NM	87114	234-29.00-36.00
AMERICAN STORAGE OF DELAWARE LLC		113 DICKINSON ST	DEWEY BEACH	DE	19971	234-29.00-49.02
AVANZATO JOHN J	MARGARET E AVANZATO	26762 MISSION PL	MILLSBORO	DE	19966	234-29.00-298.00
BALKCOM CLYDE M JR		28828 WEST HENRY PL	MILLSBORO	DE	19966	234-29.00-1846.00
BARLOW BARRY		30662 MOUNT JOY RD	MILLSBORO	DE	19966	234-29.00-34.00
BASISTA JOSEPH G	BASISTA SHARON M	26784 MISSION PL	MILLSBORO	DE	19966	234-29.00-300.00
BAYLIS ESTATES INVESTMENTS LLC		16225 SUSSEX HWY	BRIDGEVILLE	DE	19933	234-29.00-1866.00
BENEDETTO VIVIAN D	WILLIAM A BENEDETTO JR	1708 RUGER DR	BEL AIR	MD	21015	234-29.00-1843.00
BENNETT MARK A		28884 E HENRY PL	MILLSBORO	DE	19966	234-29.00-1874.00
BRENNER MITCHELL	BONNIE BRENNER	28916 E HENRY PL	MILLSBORO	DE	19966	234-29.00-1876.00
CIRILLO ANN M	DAVID G CIRILLO	28820 W HENRY PL	MILLSBORO	DE	19966	234-29.00-1847.00
DAVIS JANICE B		26398 JOHN J WILLIAMS HWY	MILLSBORO	DE	19966	234-29.00-46.00
DEIHM WILLIAM L		PO BOX 28	EAST EARL	PA	17519	234-29.00-263.02
DELMAN ALAN M	ELAINE M DELMAN	1 BREEZY CT	REISTERSTOWN	MD	21136	234-29.00-1871.00
DEVANEY GERTRUDE A		28885 E HENRY PL	MILLSBORO	DE	19966	234-29.00-1853.00
DONATO ALLEN J & MARY JANE		26822 MISSION PL	MILLSBORO	DE	19966	234-29.00-303.00
DOUGHTY TARA SAMMONS-	STERLING A DOUGHTY	30756 MT JOY RD	MILLSBORO	DE	19966	234-29.00-29.00
FERENCZI CHRISTINA WEST	LARRY AMMERMON	26740 MISSION PL	MILLSBORO	DE	19966	234-29.00-296.00
FINK SHAUN C & JENNIFER A FINK		26748 MISSION PL	MILLSBORO	DE	19966	234-29.00-297.00
FOUR DIAMONDS DEVELOPMENT &	CONSULTING LLC	103 GLADE CIRCLE W	REHOBOTH BEACH	DE	19971	234-23.00-115.00
GAST JAMES H	THERESA L GAST	28814 WEST HENRY PL	MILLSBORO	DE	19966	234-29.00-1848.00
GIANESSES IRENE		26818 MISSION PL	MILLSBORO	DE	19966	234-29.00-302.00
GOMEZ	RICARDO	30672 MOUNT JOY ROAD	MILLSBORO	DE	19966	234-29.00-33.00
HAAS ROBERT A	IRENE E HAAS	32524 MORNING VIEW LN	MILLSBORO	DE	19966	234-29.00-263.03
HAGEN LOUIS C JUDY A		26380 JOHN J WILLIAMS HWY	MILLSBORO	DE	19966	234-29.00-47.00
HANE THOMAS	BRIDGETTE WROTEN	30771 MOUNT JOY RD	MILLSBORO	DE	19966	234-29.00-263.08
HARMON ROBERT T & CONSWELLA E		30772 MOUNT JOY RD	MILLSBORO	DE	19966	234-29.00-27.00
HARRING SHARON A		33863 GREAT LAKES ST	MILLSBORO	DE	19966	234-29.00-48.00
HARRINGTON LINDA C		28870 EAST HENRY PL	MILLSBORO	DE	19966	234-29.00-1872.00
HUDSON LAURA B		31688 YESHUA LN	MILLSBORO	DE	19966	234-23.00-114.00
HYNES EUGENE J JR	JUDITH A HYNES	28937 EAST HENRY PL	MILLSBORO	DE	19966	234-29.00-1861.00
HYSON CRAIG	VANESSA R HYSON	28943 E HENRY PL	MILLSBORO	DE	19966	234-29.00-1862.00
INDIAN TOWN FARMS PROPERTY OWNERS ASSOC		26830 MISSION PL	MILLSBORO	DE	19966	234-29.00-39.00
INNOCENTI JOHN RICHARD II	DEBORAH INNOCENTI	28907 E HENRY PLACE	MILLSBORO	DE	19966	234-29.00-1856.00
INSIGHT BUILDING CO LLC		16255 SUSSEX HWY	BRIDGEVILLE	DE	19933	234-29.00-1900.00
INTRINSIC FINANCIAL LLC	C/O DONNA M MCMILLAN ESQ	7520 INDIAN PIPE CT	COLUMBIA	MD	21046	234-29.00-1932.00
JOHNSON LESLIE	ROSA I O'LOUGHLIN	21654 MILL PARK DR	BRIDGEVILLE	DE	19933	234-29.00-41.00
KACZMAREK THOMAS S TTEE	KATHLEEN B KACZMAREK TTEE REV TR	28837 W HENRY PL	MILLSBORO	DE	19966	234-29.00-1842.00
KIMSEY DONALD L	JOYCE A KIMSEY	28836 WEST HENRY PL	MILLSBORO	DE	19966	234-29.00-1845.00
KRUHM ELIZABETH A	RICHARD L KRUHM STACEY M KRUHM	28876 E HENRY PL	MILLSBORO	DE	19966	234-29.00-1873.00
LEONARD JOHN A	MARGARET A LEONARD	28962 E HENRY PL	MILLSBORO	DE	19966	234-29.00-1880.00
LONGTON JAMES MARTIN	MELISSA K LONGTON	28955 EAST HENRY PL	MILLSBORO	DE	19966	234-29.00-1864.00
LOUGHEED EARL R	LOUGHEED KATHLEEN T	32250 BRANDY CIR	MILLSBORO	DE	19966	234-29.00-263.04
MANSFIELD JERRY W	MELBERNE C MANSFIELD	28838 WEST HENRY PLACE	MILLSBORO	DE	19966	234-29.00-1844.00

MATIUCK SYLVIA W	NICHOLAS MATIUCK	28913 E HENRY PL	MILLSBORO	DE	19966	234-29.00-1857.00
MILLER GREGORY L	ANTOINETTE M MILLER	28863 E HENRY PL	MILLSBORO	DE	19966	234-29.00-1850.00
MOORE'S CLOVERLEAF FARM LLC		PO BOX 447	GEORGETOWN	DE	19947	234-29.00-263.01
MORGAN DENNIS	CATHERINE MORGAN	28871 E HENRY PL	MILLSBORO	DE	19966	234-29.00-1851.00
NANTICOKE INDIAN ASSOCIATION INC		27073 JOHN J WILLIAMS HWY	MILLSBORO	DE	19966	234-29.00-35.00
OLIVA JENNIFER		508 MILL RACE ROAD	CARLISLE	PA	17013	234-29.00-37.00
PETERS LORI E		51 CANTWELL DR	MIDDLETOWN	DE	19709	234-29.00-1867.00
PRICE CYRIL H DORIS DAVIS		30692 MOUNT JOY RD	MILLSBORO	DE	19966	234-29.00-31.01
RAMSEY ELIZABETH		28928 E HENRY PL	MILLSBORO	DE	19966	234-29.00-1877.00
REDDING ROSEMARY		28877 E HENRY PL	MILLSBORO	DE	19966	234-29.00-1852.00
RIORDAN EDWARD R SR	CHERE A RIORDAN	26830 MISSION PL	MILLSBORO	DE	19966	234-29.00-304.00
ROCKS HAROLD M		28919 E HENRY PL	MILLSBORO	DE	19966	234-29.00-1858.00
SALOMON GERALD LEE	KATHY JEAN SALOMON	214 SUNSET DR	MONROEVILLE	PA	15146	234-29.00-1863.00
SCUTARI JENNIFER L	MICHAEL A SCUTARI	28991 EAST HENRY PL	MILLSBORO	DE	19966	234-29.00-1870.00
SIKORSKI DANIEL W	SUSAN G SIKORSKI	28938 E HENRY PL	MILLSBORO	DE	19966	234-29.00-1878.00
STOTTLEMIRE THOMAS E	BRIDGET A STOTTLEMIRE	28931 E HENRY PLACE	MILLSBORO	DE	19966	234-29.00-1860.00
STOVER CHAD		329 S RIDGE AVE	GREENCASTLE	PA	17225	234-29.00-301.00
STREET STERLING V & MARY G		30753 MT JOY RD	MILLSBORO	DE	19966	234-29.00-263.09
STRICKLAND WILLIAM C	DIANA M STRICKLAND	28893 EAST HENRY PL	MILLSBORO	DE	19966	234-29.00-1854.00
SWIFT CONNIE F		36625 LONG NECK RD	MILLSBORO	DE	19966	234-29.00-295.00
TAYLOR ROBERT R	NANCY H TAYLOR	28897 EAST HENRY PL	MILLSBORO	DE	19966	234-29.00-1855.00
THORN CYNTHIA J		30756 MOUNT JOY RD	MILLSBORO	DE	19966	234-29.00-29.01
VIGNEAULT DONALD A	BEVERLY J VIGNEAULT	28972 E HENRY PL	MILLSBORO	DE	19966	234-29.00-1881.00
WEBER DONALD J	ROBIN L WEBER	26774 MISSION PL	MILLSBORO	DE	19966	234-29.00-299.00
WINTJEN JEFFREY M	MARINELA WINTJEN	28987 E HENRY PL	MILLSBORO	DE	19966	234-29.00-1869.00
XPRESS CONTRACTING LLC		30740 MT JOY RD	MILLSBORO	DE	19966	234-29.00-28.00

JAMIE WHITEHOUSE, AICP MRTPI
PLANNING & ZONING DIRECTOR
(302) 855-7878 T
(302) 854-5079 F
jamie.whitehouse@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

Memorandum

To: Sussex County Planning Commission Members
From: Lauren DeVore, Planner III
CC: Vince Robertson, Assistant County Attorney and applicant
Date: May 19th, 2021
RE: Staff Analysis for Baylis Estates Phase 2 (2021-13)

This memo is to provide background and analysis for the Planning Commission to consider as a part of the Baylis Estates Phase 2 (2021-13) Subdivision public hearing scheduled for the May 27, 2021, Planning Commission Meeting. This analysis should be included in the record for this application and is subject to comments and information that may be presented during the public hearing.

This proposal is an amendment to the existing and previously approved subdivision plan for the Baylis Estates Phase 2 (2017-01) Subdivision which is a cluster subdivision originally containing thirty-seven (37) single-family lots. The Planning and Zoning Commission approved the Preliminary Subdivision Plan on May 18, 2017, subject to eleven (11) conditions.

Additionally, the Applicant submitted multiple Time Extension Requests for Phase 2. The most recent requests approved by the Planning and Zoning Commission were considered at the meetings of September 24, 2020 and April 22, 2021.

Specifically, this proposal is for a total of fifty-one (51) single-family lots to include the relocation of Lot Numbers 100-106 (which were formerly part of the original Phase 1 Baylis Estates (2004-55) Subdivision,) into Phase 2 of the Subdivision. The Planning and Zoning Commission approved the Final Subdivision Plan for Baylis Estates (2004-55) Phase 1 at their meeting of January 10, 2013 for a total of ninety-nine (99) single-family lots, subject to fourteen (14) conditions. A total of 136 single-family lots were previously approved between the two Phases.

When taken as a whole, the current application proposes an increase of 14 lots from the previous Phase 2 application, for a total of 150 lots across the two Phases. There are no changes to the existing road layout as part of this proposal.

Under §99-13(B) of the Sussex County Code, if a subdivider wishes to alter a previously recorded subdivision to create new lots or substantially change the intent of the original plat, a new subdivision application is required to be filed with the Office of Planning and Zoning. Therefore, the applicant is now submitting this request under a new subdivision application (Baylis Estates Phase 2, 2021-13) for the Commission's consideration.



File #: 2021-13

Pre-App Date: _____

Sussex County Major Subdivision Application 202101889

Sussex County, Delaware

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check applicable)

Standard:

Cluster:

Coastal Area:

Location of Subdivision:

Mount Joy Road

Proposed Name of Subdivision:

Baylis Estates

Tax Map #: 234-29.00-42.00 Total Acreage: 75.48

Zoning: AR-1 Density: 2 Lots/Ac. Minimum Lot Size: 7500SF Number of Lots: 150

Open Space Acres: 31.14

*Note, information provided is for entire parcel

Water Provider: Tidewater Sewer Provider: Sussex County

Applicant Information

Applicant Name: Bohler / Steve Fortunato

Applicant Address: 18958 Coastal Highway, Suite D

City: Rehoboth Beach State: DE Zip Code: 19971

Phone #: (302) 644-1155 E-mail: sfortunato@bohlereng.com

Owner Information

Owner Name: Baylis Estates Investments, LLC

Owner Address: 16255 Sussex Highway

City: Bridgeville State: DE Zip Code: 19933

Phone #: (302) 956-9337 E-mail: Kevin@insightde.com

Agent/Attorney/Engineer Information

Agent/Attorney/Engineer Name: M. Andrew Campanelli, Esq.

Agent/Attorney/Engineer Address: 16255 Sussex Highway

City: Bridgeville State: DE Zip Code: 19933

Phone #: 302-337-0400 E-mail: Acampanelli@insightde.com



Check List for Sussex County Major Subdivision Applications

The following shall be submitted with the application

Completed Application

Provide ten (10) copies of the Site Plan or Survey of the property and a PDF (via e-mail)

- Plan shall show the existing conditions, setbacks, roads, floodplain, wetlands, topography, proposed lots, landscape plan, etc. **Per Subdivision Code 99-22, 99-23 & 99-24**
- Provide compliance with Section 99-9.
- Deed or Legal description, copy of proposed deed restrictions, soil feasibility study

Provide Fee \$500.00

Optional - Additional information for the Commission to consider (ex. photos, exhibit books, etc.) If provided submit seven (7) copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.

Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.

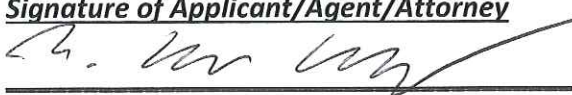
N/A **PLUS Response Letter** (if required) **Environmental Assessment & Public Facility Evaluation Report** (if within Coastal Area)

51% of property owners consent if applicable

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

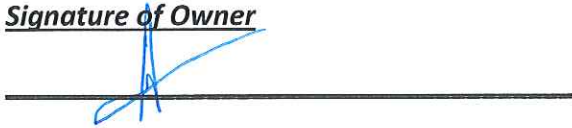
I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney



Date: 1/18/2021

Signature of Owner



Date: 1/18/2021

For office use only:

Date Submitted: _____ Fee: \$500.00 Check #: _____

Staff accepting application: _____ Application & Case #: _____

Location of property: _____

Date of PC Hearing: _____ Recommendation of PC Commission: _____

SUSSEX COUNTY ENGINEERING DEPARTMENT
UTILITY PLANNING DIVISION
TAC COMMENTS

TO: **Jamie Whitehouse**

REVIEWER: **Chris Calio**

DATE: **3/31/2021**

APPLICATION: **2021-13 Baylis Estates**

APPLICANT: **Baylis Estates Investments, LLC**

TAC DATE: **4/28/2021**

FILE NO: OOS-1.15

TAX MAP &
PARCEL(S): **234-29.00-42.00**

LOCATION: **Northeast side of Mount Joy Road (SCR 297)**

NO. OF UNITS: 51 lots (150 lot (total) cluster subdivision)

GROSS
ACREAGE: 130.52

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: 4

SEWER:

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?
Yes No
- a. If yes, see question (2).
b. If no, see question (7).
- (2). Which County Tier Area is project in? Tier 1
- (3). Is wastewater capacity available for the project? Yes If not, what capacity is available? N/A.
- (4). Is a Construction Agreement required? Yes If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? No If yes, how many? N/A. Is it likely that additional SCCs will be required? **Yes** If yes, the current System Connection Charge Rate is \$6,360.00 per EDU. Please contact **Nicole Messick** at **302-855-7719** for additional information on charges.

(6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **N/A**

Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.

(7). Is project adjacent to the Unified Sewer District? **N/A**

(8). Comments: **There are additional lots when compared to the completed SSCE. This will not affect the ability to serve but will have an impact to the "Use of Existing Infrastructure"**

(9). Is a Sewer System Concept Evaluation required? **Already Completed, See Attached**

(10). Is a Use of Existing Infrastructure Agreement Required? **Yes**

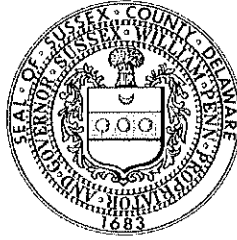
UTILITY PLANNING APPROVAL:



John J. Ashman
Director of Utility Planning

ENGINEERING DEPARTMENT

ADMINISTRATION	(302) 855-7718
AIRPORT & INDUSTRIAL PARK	(302) 855-7774
ENVIRONMENTAL SERVICES	(302) 855-7730
PUBLIC WORKS	(302) 855-7703
RECORDS MANAGEMENT	(302) 854-5033
UTILITY ENGINEERING	(302) 855-7717
UTILITY PERMITS	(302) 855-7719
UTILITY PLANNING	(302) 855-1299
FAX	(302) 855-7799



Sussex County

DELAWARE
sussexcountyde.gov
HANS M. MEDLARZ, P.E.
COUNTY ENGINEER
JOHN J. ASHMAN
DIRECTOR OF UTILITY PLANNING

SEWER SERVICE CONCEPT EVALUATION (SSCE)
UTILITY PLANNING DIVISION

Applicant: Baylis Estates Investments, LLC

Date: 9/15/2020

Reviewed by: Chris Calio

Agreement #:439-2

Project Name: Baylis Estates Phase II

Tax Map & Parcel(s): 234-29.00-42.00

Sewer Tier: Tier 1 - Sussex County Unified Sanitary Sewer District

Proposed EDUs: 44

Pump Station(s) Impacted: PS 353

List of parcels to be served, created from the base parcel: N/A

List of additional parcels to be served (Parcels required for continuity must be served with infrastructure):N/A

Connection Point(s): Connection point is within Baylis Estates Phase I

Use of Existing Infrastructure Agreement required? Yes or No

Annexation Required? Yes or No

Easements Required? Yes or No

Fee for annexation (based on acreage):N/A

Current Zoning: AR-1 Zoning Proposed: AR-1

Acreage: 19.03



Additional Information: Engineer is to verify that the existing pump station is adequate to service to increased numbers of EDU's. An amendment to the previous "Use of Existing Infrastructure Agreement" will have to be executed.

* No capacity is guaranteed until System Connection Fees are paid

All gravity sewers with three (3) or more minor branches shall be designed at minimum slope and maximum depth.

Once Construction Drawings are completed with all of the above information satisfied, please submit to:

Sussex County Public Works Department
2 The Circle
P.O. Box 589
Georgetown DE 19947

CC: John Ashman
Jayne Dickerson
Michael Brady
Nichole Bixby

JAMIE WHITEHOUSE, AICP MRTPI
PLANNING & ZONING DIRECTOR
(302) 855-7878 T
(302) 854-5079
jamie.whitehouse@sussexcountyde.gov



Sussex County
DELAWARE
sussexcountyde.gov

Memorandum

To: Sussex County Technical Advisory Committee
From: Lauren DeVore, Planner III
Date: March 29, 2021
RE: Major Subdivision

PLEASE NOTE: As a new shared email system has been put in place; if emailing your response, please send to the following email: PANDZ@SUSSEXCOUNTYDE.GOV

The Sussex County Planning and Zoning Office has received an application for a major cluster subdivision that requires review by the Sussex County Technical Advisory Committee. Please review the application and provide comments back to the Planning and Zoning Office on or before **April 28th, 2021**. (Please note that since this is an amended application for a previously approved plan, the Department would ask that all state agency comments be received within **30 days** instead of the standard 45-day comment period.)

Baylis Estates (2021-13) - This is an application to amend the existing and previously approved cluster subdivision for Baylis Estates (2004-55) and Baylis Estates Phase 2 (2017-01) to add 51 new lots to Phase 2 within the subdivision. This is an increase of 13 lots from the originally approved 37 lots as part of Phase 2 of the subdivision. The proposal is to subdivide a 130.52 +/- acre parcel of land into a one-hundred and fifty (150) lot cluster subdivision. The property is located on the northeast side of Mount Joy Road (S.C.R. 297). Tax Parcel: 234-29.00-42.00. Zoning: AR-1 (Agricultural Residential Zoning District).

Please feel free to contact the office with any questions at (302) 855-7878 during normal business hours 8:30AM - 4:30PM Monday through Friday.

**SUSSEX COUNTY ENGINEERING DEPARTMENT
UTILITY PLANNING & DESIGN REVIEW DIVISION
C/U & C/Z COMMENTS**

RECEIVED

MAY 12 2021

SUSSEX COUNTY
PLANNING & ZONING

TO: **Jamie Whitehouse**

REVIEWER: **Chris Calio**

DATE: **5/7/2021**

APPLICATION: **2021-13 Baylis Estates Phase II**

APPLICANT: **Bohler Engineering (Steven Fortunato)**

FILE NO: **OO-1.15**

TAX MAP &
PARCEL(S): **234-29.00-42.00**

LOCATION: **Northeast side of Mount Joy Road (SCR 297)**

NO. OF UNITS: **150 single family lots total for the entire project.**

GROSS
ACREAGE: **75.48 +/-**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: 4

SEWER:

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?
Yes No
- a. If yes, see question (2).
b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 1**
- (3). Is wastewater capacity available for the project? **No** If not, what capacity is available? **N/A**.
- (4). Is a Construction Agreement required? **Yes** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **Yes** If yes, the current System Connection Charge Rate is **Unified \$6,360.00** per EDU. Please contact **Nicole Messeck** at **302-855-7719** for additional information on charges.

(6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **Yes**

Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.

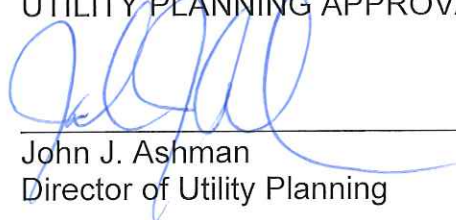
(7). Is project adjacent to the Unified Sewer District? **N/A**

(8). Comments: **Click or tap here to enter text.**

(9). Is a Sewer System Concept Evaluation required? **Already Completed, See Attached**

(10). Is a Use of Existing Infrastructure Agreement Required? **Yes**

UTILITY PLANNING APPROVAL:



John J. Ashman
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.
Lisa Walls
Nicole Messeck

ENGINEERING DEPARTMENT

ADMINISTRATION (302) 855-7718
AIRPORT & INDUSTRIAL PARK (302) 855-7774
ENVIRONMENTAL SERVICES (302) 855-7730
PUBLIC WORKS (302) 855-7703
RECORDS MANAGEMENT (302) 854-5033
UTILITY ENGINEERING (302) 855-7717
UTILITY PERMITS (302) 855-7719
UTILITY PLANNING (302) 855-1299
FAX (302) 855-7799



Sussex County

DELAWARE
sussexcountyde.gov

HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

JOHN J. ASHMAN
DIRECTOR OF UTILITY PLANNING

SEWER SERVICE CONCEPT EVALUATION (SSCE) UTILITY PLANNING DIVISION

Applicant: Baylis Estates Investments, LLC

Date: 9/15/2020

Reviewed by: **Chris Calio**

Agreement #: **439-2**

Project Name: **Baylis Estates Phase II**

Tax Map & Parcel(s): **234-29.00-42.00**

Sewer Tier: Tier 1 - Sussex County Unified Sanitary Sewer District

Proposed EDUs: **44**

Pump Station(s) Impacted: **PS 353**

List of parcels to be served, created from the base parcel: **N/A**

List of additional parcels to be served (Parcels required for continuity must be served with infrastructure): **N/A**

Connection Point(s): **Connection point is within Baylis Estates Phase I**

Use of Existing Infrastructure Agreement required? Yes or No

Annexation Required? Yes or No

Easements Required? Yes or No

Fee for annexation (based on acreage): **N/A**

Current Zoning: **AR-1** Zoning Proposed: **AR-1**

Acreage: **19.03**



Additional Information: Engineer is to verify that the existing pump station is adequate to service to increased numbers of EDU's. An amendment to the previous "Use of Existing Infrastructure Agreement" will have to be executed.

* No capacity is guaranteed until System Connection Fees are paid

All gravity sewers with three (3) or more minor branches shall be designed at minimum slope and maximum depth.

Once Construction Drawings are completed with all of the above information satisfied, please submit to:

Sussex County Public Works Department
2 The Circle
P.O. Box 589
Georgetown DE 19947

CC: John Ashman
Jayne Dickerson
Michael Brady
Nichole Bixby



DELAWARE DEPARTMENT OF
AGRICULTURE

2320 SOUTH DUPONT HIGHWAY
DOVER, DELAWARE 19901
AGRICULTURE.DELAWARE.GOV

TELEPHONE: (302) 698-4500
TOLL FREE: (800) 282-8685
FAX: (302) 697-6287

May 5, 2021

Lauren DeVore, Planner III
Planning & Zoning Commission
P.O. Box 417
Georgetown, Delaware 19947

Subject: **Preliminary Plans for Baylis Estates Phase 2**

Dear Mrs. DeVore,

Thank you for providing preliminary plans for Baylis Estates submitted by BOHLER. The plans submitted to our section dated February 3, 2021 are sufficient to meet the Sussex County Planning and Zoning Forested Buffer Ordinance.

The Delaware Forest Service recommends the plans reflect tree planting specifications and that the ISA ANSI A300 best management practices are followed for newly installed trees. DFS recommends planting a 70/30 mix of hardwood and evergreen tree species. There are several tree species that are not recommended for planting in the state due to their invasive nature or the susceptibility to pests and diseases. These species are listed on our department website.

The Delaware Forest Service has no further comment to Baylis Estates preliminary subdivision plans dated February 3, 2021 at this time.

If you have any questions please feel free to contact me at taryn.davidson@delaware.gov.

Sincerely,

Taryn Davidson
Urban Forestry Program
Delaware Forest Service

DELAWARE DEPARTMENT OF TRANSPORTATION
COMMENTS FOR
T.A.C. MEETING
OF APRIL 2021

Lands of Baylis Estates Investments LLC
Tax Map # 234-29.00-42.00
Mount Joy Road (S.C.R. 297)
Sussex County

#2021-13, Baylis Estates

1. Referring to the “*Development Coordination Manual*”, Chapter 2 – Traffic Analysis and Improvements, Traffic Impact Studies (TIS) are warranted for developments generating more than 500 vehicle trip ends per day or 50 vehicle trip ends per hour in any hour of the day. DelDOT estimates the 150 lot subdivision will generate a net increase of 480 vehicle trip ends per day and a net increase of the weekday morning and evening peak hour trip ends at 36 and 49, respectively. Therefore, the proposed 51 lot increase to the subdivision does not meet the Department’s warrants for a Traffic Impact Study (TIS). Additionally, a Traffic Operations Analysis (TOA) is not anticipated to be required, at this time.
2. Referring to the “*Development Coordination Manual*”, Chapter 1 – Access Standards, Section 1.7: Review Fees, addresses fees that are assessed for the review of development proposals. DelDOT anticipates collecting the Initial Stage Fee when the record plan is submitted for review and the Construction Stage Fee when construction plans are submitted for review.
3. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.4: Commercial or Major Residential Subdivisions, a record plan shall be prepared prior to issuing “Letter of No Objection”. The Record plan submittal shall include the items listed on the Critical Items for Acceptance: Record Plan document that can be found at the following website under the *Guidance* tab;

<https://www.deldot.gov/Business/subdivisions/index.shtml>
4. For all projects, any sub-station and/or wastewater facilities will be required to have access from the internal subdivision street with no direct access to the State maintained highway.
5. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.8: Stormwater and Drainage Requirements For Record Plan, private stormwater management facilities shall be located a minimum of 20 feet from the State right-of-way, as measured to the top of slope of the facility.

6. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.2.5.1.2: Frontage Easements, a 15-foot wide permanent easement shall be established across the property frontage. The location of the easement shall be outside the limits of the ultimate right-of-way for this road. The following note is required, “**A 15-foot wide permanent easement is hereby established for the State of Delaware, as per this plat.**”
7. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.2.5: Dedication of Right-Of-Way and Easements, Figure 3.2.5-a Minimum Standards for Total Roadway Right-Of-Way, the project shall be subject to dedicate right-of-way in accordance to the minimum standards. Mount Joy Road (S.C.R. 297) is classified as a Major Collector according to DelDOT’s Roadway Functional Classification Map and would require a minimum of 40’ of Right-Of-Way measured from the physical centerline of the roadway.

<https://deldot.gov/Programs/gate/index.shtml>

8. Referring to the “*Development Coordination Manuals*”, Chapter 3 – Record Plan Design, Section 3.2.4.1: Subdivision Street Right-Of-Way Monuments, right-of-way monuments are recommended to be furnished and placed along the private subdivision street.
9. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.2.4.2; Frontage Road Right-of-Way Monumentation, concerning the right-of-way markers being placed to provide a permanent reference for re-establishing the right-of-way and property corners along frontage roads. Due to the right-of-way dedication, show and note the property corners markers that will need to be installed.
10. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.5.5: Transit Facilities, transit facilities requirements shall be followed as required by DTC or DelDOT.
11. Referring to the “*Development Coordination Manual*”, under Chapter 3; Record Plan Design, Section 3.2.5.1.1 – Easements, if this development is proposing a neighborhood sign/structure, then a permanent easement shall be established at the entrance. The easement shall be located outside of any existing and/or proposed right-of-way. It will also need to be verified that the sign/structure does not pose a sight distance and/or safety hazard.
12. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.2.5.1.4: Drainage easements are required for all drainage facilities which collect or convey roadway runoff but are not located within a dedicated right-of-way. Drainage easements must be shown and labeled on the Plans and must take into account the requirements of Sections 3.8 and 5.7.2.6 of the manual. These easements will require additional metes and bounds and other documentation to clarify the exact location and extents of these permanent easements.

13. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.5: Connectivity, Private or municipal streets should follow the local land use agency’s requirements for connectivity. The requirements in Sections 3.5.1 through 3.5.3 shall be followed for all development projects having access to state roads or proposing DelDOT maintained public streets for subdivisions. DelDOT recommends that the developer provide an interconnection to the proposed American Storage of Delaware site located on parcel: 234-29.00-49.02. Additionally, the two previously recorded stub streets that would extend Baylis Avenue and East Kathryn Court should be incorporated into the site plan.
14. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.4.2.1: Record Plan Content, the traffic generation diagram is required. See Figure 3-4-2-a: Traffic Generation Diagram for the required format and content.
15. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.4.2: Record Plan Submittal Requirements, adjacent existing features are required to be shown in accordance with Figure 3.4.2-b.
16. As per the Delaware State Strategies for Policy and Spending Map, this project is located within Investment Level III or IV. Referring to the Departments Shared-Use Path/Sidewalk Policy a project in all Level III and Level IV areas are required to install a path/sidewalk along the property frontage if the project abuts to an existing facility. If the project does not abut an existing facility, it will be at the Subdivision Engineer’s discretion. No fee in lieu of construction will be required. At this time, DelDOT anticipates requiring the developer to build a Shared Use Path along the development’s site frontage.
17. Please refer to the “*Development Coordination Manual*”, Chapter 5 – Design Elements, addresses the design of State maintained subdivision streets and the site entrance. Private or municipal streets should follow the County’s requirements for subdivision street design.
18. Referring to the “*Development Coordination Manual*” under Chapter 5; Design Elements, Section 5.5.5 – Typical Sections – Clear Zone, the clear zone shall be established in accordance with AASHTO’s Roadside Design Guide (RDG). This area may consist of a shoulder, a recoverable slope, a non-recoverable slope, and/or a clear run-out area. The desired width is dependent upon the traffic volumes and speeds and on the roadside geometry.
19. Standard General Notes have been updated and posted to the DelDOT Website. Please begin using the new versions and look for the revision date of March 21, 2019. The notes can be found at the following website under the *Guidance* tab;
<http://www.deldot.gov/Business/subdivisions/index.shtml>
20. All PLUS/TAC comments shall be addressed prior to submitting the plans for review.

21. Referring to the “*Development Coordination Manual*”, Chapter 6 – Construction Administration, Section 6.4.3: Commercial Entrances – Inspection and Acceptance, Figure 6.4.3-a: Construction Inspection Responsibilities, determine if the project is a Level 1 or Level 2 project and if an inspection agreement will be required.
22. The Auxiliary Lane Spreadsheet has been posted to the DelDOT website. Use this spreadsheet to determine if auxiliary lanes are warranted. The Auxiliary Lane Spreadsheet can be found at the following website under the *Forms* tab;
<http://www.deldot.gov/Business/subdivisions/index.shtml>
23. Referring to the “*Development Coordination Manual*” under Chapter 5; Design Elements, Section 5.4 – Sight Distance, a sight distance triangle is required. A spreadsheet has been developed to assist with this task and can be found on the following website under the *Forms* tab;
<http://www.deldot.gov/Business/subdivisions/index.shtml>
24. Effective August 1, 2015, all new and resubmittals shall be uploaded via the PDCA with any fees paid online via credit card or electronic check (ACH). The design firm making the submittal must create the project in the PDCA and upload all the required items to allow DelDOT to start the review process. Our website offers more detailed information, including links to guidance about creating PDCA submittals. This information can be found at the following website under the PDCA section;
<http://www.deldot.gov/Business/subdivisions/index.shtml>



United States Department of Agriculture

April 23, 2021

Natural Resources
Conservation Service

Georgetown
Service Center

21315 Berlin Road
Unit 3
Georgetown, DE
19947

Voice 302.856.3990
Fax 855.306.8272

Jamie Whitehouse, Director
Sussex County Planning & Zoning
Sussex County Courthouse
Georgetown, DE 19947

**RE: Baylis Estates
Indian River Hundred
13 new single family lots**

Dear Mr. Whitehouse:

Soils within the delineated area on the enclosed map are:

- FmA Fort Mott loamy sand, 0 to 2 percent slopes
- HpB Henlopen loamy sand, 2 to 5 percent slopes
- KsA Klej loamy sand, 0 to 2 percent slopes
- RuA Runclint loamy sand, 0 to 2 percent slopes

Soil Interpretation Guide

Soil Limitation Class

Buildings

Map Symbol	Urbanizing Subclass	With Basement	Without Basement	Septic Filter Fields
FmA	G1	Not limited	Not limited	Somewhat limited
HpB	G2	Not limited	Not limited	Not limited
KsA	R2	Very limited	Very limited	Very limited
RuA	Y2	Somewhat limited	Not limited	Very limited

Definition of soil limitation ratings classes:

Rating class terms indicate the extent to which the soils are limited by all of the soil features that affect building site development.

"Not limited" indicates that the soil has features that are very favorable for the specified use. Good performance and very low maintenance can be expected.

"Somewhat limited" indicates that the soil has features that are moderately favorable for the specified use. The limitations can be overcome or minimized by special planning, design, or installation. Fair performance and moderate maintenance can be expected.

"Very limited" indicates that the soil has one or more features that are unfavorable for the specified use. The limitations generally cannot be overcome without major soil reclamation, special design, or expensive installation procedures. Poor performance and high maintenance can be expected.

G1:

These soils are on nearly level to strongly sloping (0-10% slopes), well drained, mostly permeable soils. As sites for large commercial, industrial, institutional, and residential developments, these soils have fewer limitations than any other soils in the state. Slopes are favorable, and grading can be done without difficulty. Foundation conditions are generally good. Grasses, trees, and do well. Principal soil limitations: No apparent soil limitations for conventional uses.

G2:

The soils in this classification are nearly level or gently sloping, excessively drained or somewhat excessively drained, very sandy, rapidly permeable soils. These soils are sandy and droughty. They are well suited for large commercial and industrial developments, and somewhat less suited for residential uses because of low available moisture for grasses. Care should be taken in location of septic filter fields, wells, and the size of the building lots. Because of the excessive permeability of these particular soils, there is a probability of polluting nearby wells, springs, ponds, streams, or other sources of water.

R2:

The soils in this classification are nearly or gently sloping, very poorly, poorly, and somewhat poorly drained. Seasonal high water tables, local ponding, and high potential frost action severely limit these soils for residential developments. The principal soil limitations are: 1) soil is highly susceptible to frost action, 2) excavations are likely to fill with water in late winter or early spring, 3) wet foundations or basements probable, and 4) hazard of temporary ponding of water in areas lacking outlets. Loose running sand commonly encountered in deep excavations.

Y2:

The soils in this classification are nearly level or gently sloping, moderately well drained or well drained with ground water between four to six feet from the surface, and are subject to seasonal high water tables. Seasonal wetness and seepage around foundations moderately limits these soils for residential use. The principal soil limitations are: 1) lateral seepage in subsoil causes concentration of water around foundations, 2) soil is highly susceptible to frost action, 3) excavations are likely to fill with water in late winter or early spring, and 4) wet basements or foundations are probable.

The soil interpretations above do not eliminate the need for detailed investigations at each proposed construction site. However, the interpretations can serve as a guide to planning more detailed investigations. No consideration was given in these interpretations regarding the size and shape of the soil area; nor to the pattern they form with other soils in the landscape. Also, because of the scale of the maps used, small areas of other kinds of soils may be included within some delineations of the soil map. Thus, an individual lot or building site could occupy a small area that would not fit the interpretations given for the soils symbol representing the entire delineation of the map. Interpretations apply to the soils in their natural state and not for areas that may have been altered through grading, compacting, and the like.

Sincerely,

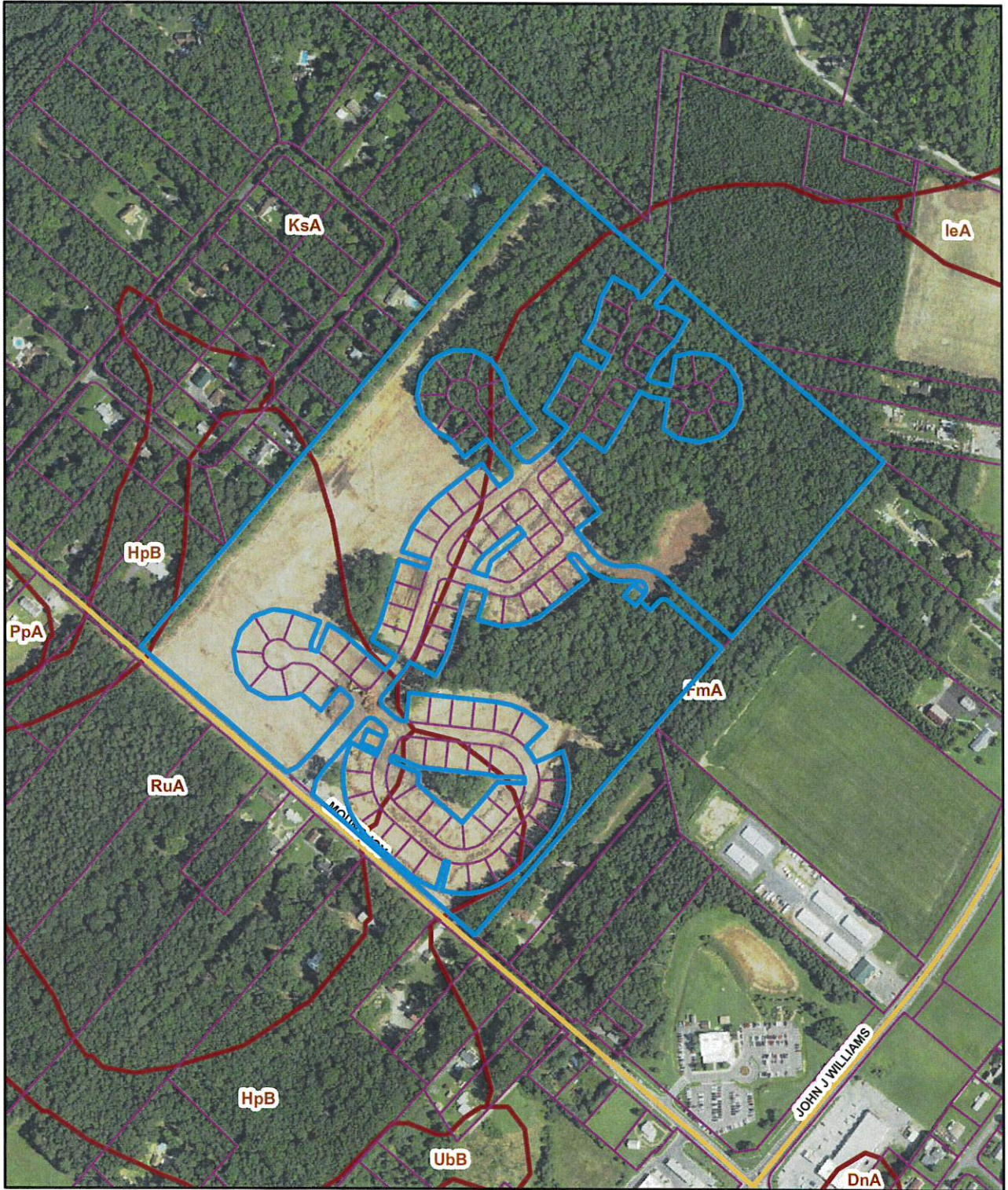
A handwritten signature in black ink, appearing to read "Thelton D. Savage". The signature is fluid and cursive, with a long horizontal stroke at the end.

Thelton D. Savage
District Conservationist
USDA, Natural Resources Conservation Service

TDS/bh



2021-13
TM #234-29.00-42.00
Baylis Estates



2021-13
TM #234-29.00-42.00
Baylis Estates

STANDARD DRAWING LEGEND FOR ENTIRE PLAN SET (NOT TO SCALE)		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	ONSITE PROPERTY LINE / R.O.W. LINE	---
---	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
=====	CONCRETE CURB & GUTTER	=====
=====	UTILITY POLE WITH LIGHT	=====
=====	POLE LIGHT	=====
=====	TRAFFIC LIGHT	=====
o	UTILITY POLE	o
o	TYPICAL LIGHT	o
*	ACORN LIGHT	*
▽	TYPICAL SIGN	▽
△	PARKING COUNTS	△
-----	CONTOUR LINE	-----
-----	SPOT ELEVATIONS	-----
SAN #	SANITARY LABEL	SAN #
STM #	STORM LABEL	STM #
SL	SANITARY SEWER LATERAL	SL
W	UNDERGROUND WATER LINE	W
E	UNDERGROUND ELECTRIC LINE	E
G	UNDERGROUND GAS LINE	G
OH	OVERHEAD WIRE	OH
T	UNDERGROUND TELEPHONE LINE	T
C	UNDERGROUND CABLE LINE	C
---	STORM SEWER	---
S	SANITARY SEWER MAIN	S
Y	HYDRANT	Y
S	SANITARY MANHOLE	S
D	STORM MANHOLE	D
WM	WATER METER	WM
WV	WATER VALVE	WV
GV	GAS VALVE	GV
GM	GAS METER	GM
TE	TYPICAL END SECTION	TE
HE	HEADWALL OR ENDWALL	HE
YI	YARD INLET	YI
CI	CURB INLET	CI
CO	CLEAN OUT	CO
EM	ELECTRIC MANHOLE	EM
TM	TELEPHONE MANHOLE	TM
EB	ELECTRIC BOX	EB
EP	ELECTRIC PEDESTAL	EP
MW	MONITORING WELL	MW
TP	TEST PIT	TP
BM	BENCHMARK	BM

REFERENCE APPROVED PHASE 1 PLAN PREPARED BY COTTON ENGINEERING AND AERIAL TOPOGRAPHIC SURVEY.

PRELIMINARY SITE PLANS

FOR BAYLIS ESTATES PHASE 2

PROPOSED RESIDENTIAL DEVELOPMENT

LOCATION OF SITE
MOUNT JOY RD
SUSSEX COUNTY, DELAWARE
INDIAN RIVER HUNDRED
TAX MAP 2-34-29 PARCEL 42



LOCATION MAP
SCALE: 1" = 1 MILE
PLAN REFERENCE:
DELOME STREET ATLAS 2009
COPYRIGHT 2008

OWNER/DEVELOPER
BAYLIS ESTATES INVESTMENTS, LLC
16255 SUSSEX HIGHWAY
BRIDGEVILLE, DE 19933
CONTACT: KEVIN BROZYNA
(302) 337-0400

PREPARED BY



CONTACT: STEVEN T. FORTUNATO, P.E.

DEVELOPMENT STANDARDS		
	SINGLE FAMILY (REQUIRED)	SINGLE FAMILY (PROVIDED)
TRACT AREA		75.48± AC
LOT AREA PER DWELLING UNIT	7,500 SF	MIN 7,500 SF
STREET FRONTAGE	30 FT	MIN 30 FT
LOT WIDTH AT FRONT BUILDING LINE	60 FT	MIN 60 FT
MAX BUILDING HEIGHT	42 FT	42 FT
SETBACKS		
FRONT YARD	25 FT	25 FT
SIDE YARD (ONE / SUM OF BOTH)	10 FT	10 FT
REAR YARD	10 FT	10 FT

SHEET INDEX	
SHEET TITLE	SHEET NUMBER
PRELIMINARY COVER SHEET	C-101
PRELIMINARY OVERALL DEVELOPMENT LAYOUT PLAN	C-300
PRELIMINARY OVERALL SITE LAYOUT PLAN	C-301
PRELIMINARY SITE LAYOUT PLAN	C-302
PRELIMINARY SITE LAYOUT PLAN	C-303
PRELIMINARY SITE LAYOUT PLAN	C-304
PRELIMINARY SITE PLAN SECTIONS	C-305
PRELIMINARY OVERALL GRADING AND UTILITY PLAN	C-401
PRELIMINARY GRADING AND UTILITY PLAN	C-402
PRELIMINARY GRADING AND UTILITY PLAN	C-403
PRELIMINARY GRADING AND UTILITY PLAN	C-404

PROJECT NOTES

- TAX MAP PARCEL NO.: 2-34-29 PARCEL 42
- EXISTING ZONING: AR-1 (AGRICULTURAL RESIDENTIAL)
- PROPOSED ZONING: AR-1 (AGRICULTURAL RESIDENTIAL)
- TOTAL SITE AREA: 75.48± AC
- DENSITY: PERMITTED: 3,287,989 SF/21,780 SF/LOT = 150 LOTS
PROPOSED: 150 LOTS TOTAL
- PROPOSED RESIDENTIAL UNITS: 51 SINGLE-FAMILY (PHASE 2 ONLY)
- INVESTMENT AREA: LEVEL 2 & 3
- SITE AREA:
TOTAL SITE: 75.48 AC
PHASE 1: 55.04± AC
PHASE 2:
R.O.W.: 2.69± AC
LOTS: 11.50± AC
OPEN AREA: 2.3± AC
BUFFER AREA: 1.23± AC
TOTAL AREA: 17.83± AC

FORESTED AREA
EXISTING: 75.48± AC
REMAININGS: 8.73± AC
REMOVED: 66.69± AC
"NOTE: REMOVAL OF HEALTHY, MATURE TREES SHALL BE LIMITED AND SCENIC VIEWS THAT CAN BE SEEN FROM WITHIN THE TRACT SHOULD BE PRESERVED TO THE GREATEST EXTENT POSSIBLE."

OPEN AREA
PHASE 1: 28.29± AC
PHASE 2: 2.30± AC
TOTAL: 30.59± AC (40.5%)
- OWNER/DEVELOPER:
BAYLIS ESTATES INVESTMENTS, LLC
C/O KEVIN BROZYNA
16255 SUSSEX HIGHWAY
BRIDGEVILLE, DE 19933
(302) 337-0400
- ENGINEER:
BOHLER
18958 COASTAL HWY, SUITE D
REHOBOTH BEACH, DE 19971
(302) 644-1155
- DATUM:
HORIZONTAL: NAD 83 (DELAWARE STATE PLANE GRID)
VERTICAL: NAVD 88
- EXISTING GROSS ACREAGE: 3,287,989 SF (75.48 AC)
PROPOSED GROSS ACREAGE: 3,287,989 SF (75.48 AC)
- THIS PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE .02% CHANCE ANNUAL FLOODPLAIN) PER MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, SUSSEX COUNTY, DELAWARE, AND INCORPORATED AREAS, PANEL 477 OF 660", COMMUNITY PANEL NUMBER 100090500477K, REVISED: MARCH 16, 2015.
- ACCESS TO THE SITE SHALL BE FROM MOUNT JOY RD VIA ONE EXISTING FULL MOVEMENT ENTRANCE.
- ALL FIRE LANES, FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS, SPRINKLERS, STANDPIPE CONNECTIONS, AND FIRE EXITS SHALL BE MARKED AND/OR PROTECTED IN ACCORDANCE WITH THE DELAWARE STATE FIRE REGULATION.
- WATER SUPPLY: TIDEWATER. SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL, THE DELAWARE STATE DIVISION OF PUBLIC HEALTH AND TIDEWATER UTILITIES, INC.
- SANITARY SEWER: SUSSEX COUNTY. SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL, THE DELAWARE STATE DIVISION OF PUBLIC HEALTH AND TIDEWATER UTILITIES, INC.
- SUBDIVISION STREETS SHALL BE PRIVATELY OWNED AND MAINTAINED.
- REFERENCE DELDOT RECORD PLANS FOR APPROVED SIGHT DISTANCE AND SITE ENTRANCE INFORMATION.
- UTILITY ELEMENTS TO BE RELOCATED/REPLACED TO BE DONE SO IN ACCORDANCE WITH PROVIDER SPECIFICATIONS, BY GENERAL CONTRACTOR. GENERAL CONTRACTOR TO COORDINATE SAME PRIOR TO PROJECT BIDDING AND CONSTRUCTION.
- REFERENCE APPROVED PHASE 1 PLAN PREPARED BY COTTON ENGINEERING, LLC, LAST REVISED 4/20/20.
- COUNTY PROJECT REFERENCE NUMBER: 2021-13
- THIS PROJECT LIES WITHIN THE COSTAL AREA.
- THIS PROJECT LIES WITHIN AN AREA OF "POOR" AND "FAIR" GROUNDWATER RECHARGE POTENTIAL.
- THIS PROJECT DOES NOT LIE WITHIN A WELHEAD PROTECTION AREA.
- ACCORDING TO THE NATIONAL WETLANDS INVENTORY MAPPING, THERE ARE NO WETLANDS PRESENT ON THIS SITE.
- THE HOMEOWNERS ASSOCIATION WILL BE REQUIRED TO MAINTAIN THE FORESTED/PLANTING BUFFER AND OPEN SPACE AND THE SPECIFICS WILL BE SPELLED OUT IN THE HOMEOWNERS ASSOCIATION DOCUMENTS.
- DEED RESTRICTIONS SHALL APPLY PER A SEPARATE AGREEMENT PREPARED BY THE DEVELOPER.

CERTIFICATION OF OWNERSHIP

I HEREBY CERTIFY THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THIS PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

ROB LISLE / KEVIN BROZYNA
BAYLIS ESTATES INVESTMENTS, LLC
16255 SUSSEX HIGHWAY
BRIDGEVILLE, DE 19933
P: (443) 532-5222

DATE

CERTIFICATION OF ACCURACY (ENGINEER)

I, STEVEN T. FORTUNATO, P.E., HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

STEVEN T. FORTUNATO, P.E.
BOHLER
18958 COASTAL HWY, SUITE D
REHOBOTH BEACH, DE 19971
P: (302) 644-1155 / F: (302) 703-3173

DATE



REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	5/18/21	PER AGENCY COMMENT	JSW	STF



Know what's below.
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: DE190077
DRAWN BY: JSW
CHECKED BY: STF
DATE: 2/3/21
CAD ID.: SDP - 0

PROJECT:

PRELIMINARY SITE PLANS

FOR

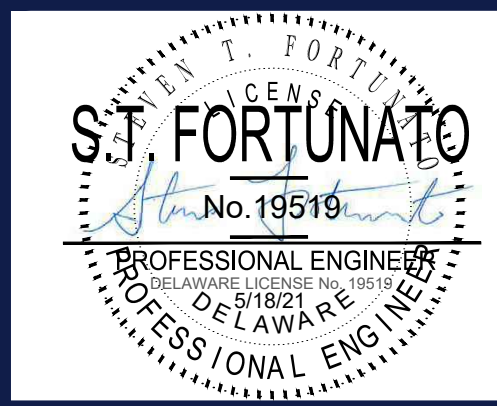
BAYLIS ESTATES PHASE 2

PROPOSED RESIDENTIAL DEVELOPMENT

INDIAN RIVER HUNDRED
SUSSEX COUNTY, DE
TAX MAP: 2-34-29, PARCEL 42



18958 COASTAL HWY, SUITE D
REHOBOTH BEACH, DE 19971
Phone: (302) 644-1155
Fax: (302) 703-3173
BohlerEngineering.com



SHEET TITLE:

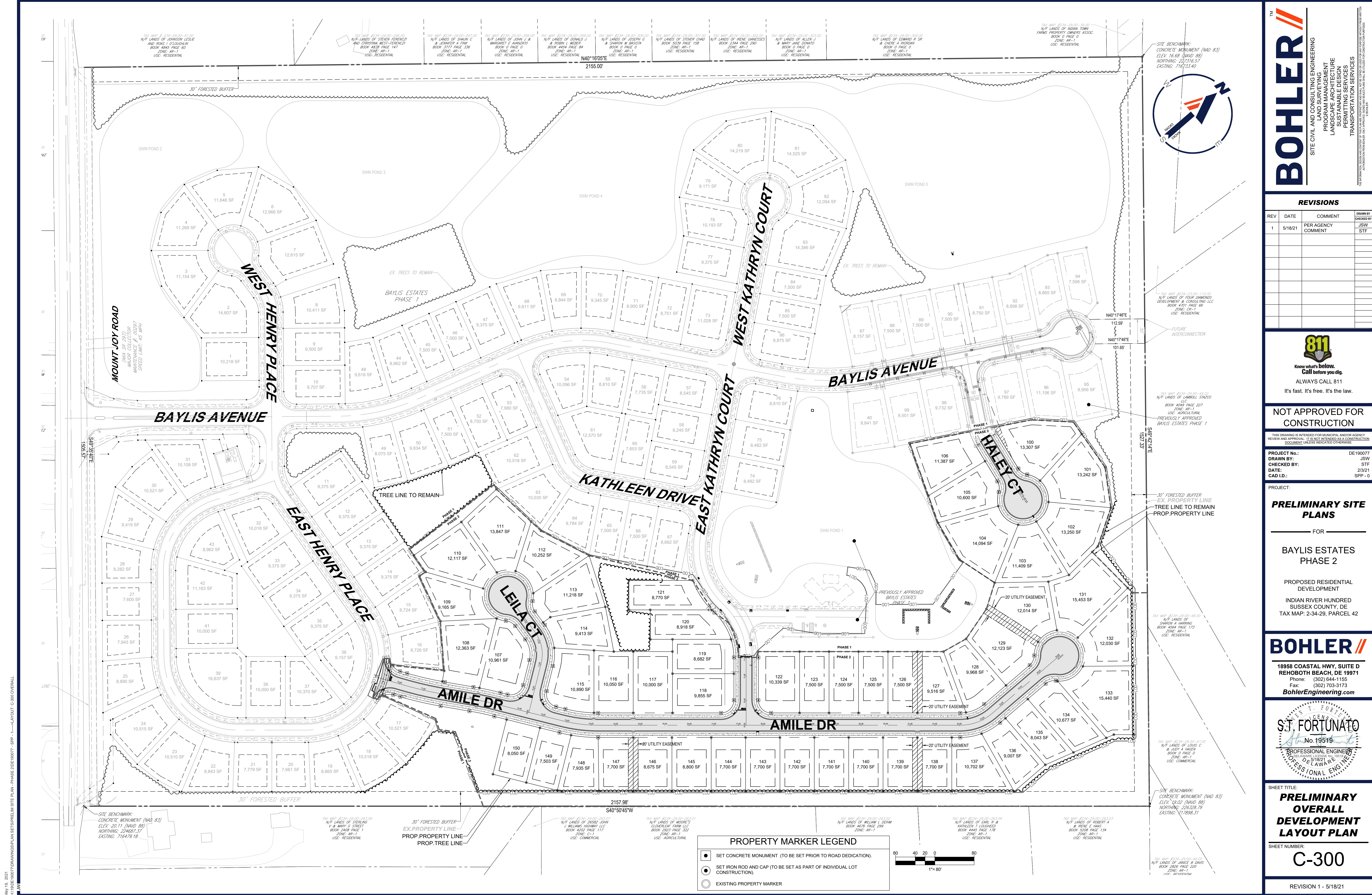
PRELIMINARY COVER SHEET

SHEET NUMBER:

C-101

REVISION 1 - 5/18/21

May 19, 2021
H:\BOHLE\19077\DRAWINGS\PLAN SET\PRELIM SITE PLAN - PHASE 2\DE190077 - SDP - 1 - LAYOUT - CONCEPT



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
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PROJECT No.:	DE190077
DRAWN BY:	JSW
CHECKED BY:	STF
DATE:	2/3/21
CAD ID.:	SPP-0

PRELIMINARY SITE PLANS

FOR

BAYLIS ESTATES PHASE 2

PROPOSED RESIDENTIAL DEVELOPMENT

INDIAN RIVER HUNDRED
SUSSEX COUNTY, DE
TAX MAP: 2-34-29, PARCEL 42

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18958 COASTAL HWY, SUITE D
REHOBOTH BEACH, DE 19971
Phone: (302) 644-1155
Fax: (302) 703-3173
BohlerEngineering.com

S.T. FORTUNATO
No. 19519
PROFESSIONAL ENGINEER
STATE OF DELAWARE
CIVIL ENGINEERING

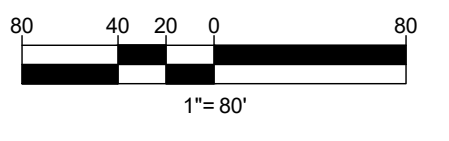
SHEET TITLE:
PRELIMINARY OVERALL DEVELOPMENT LAYOUT PLAN

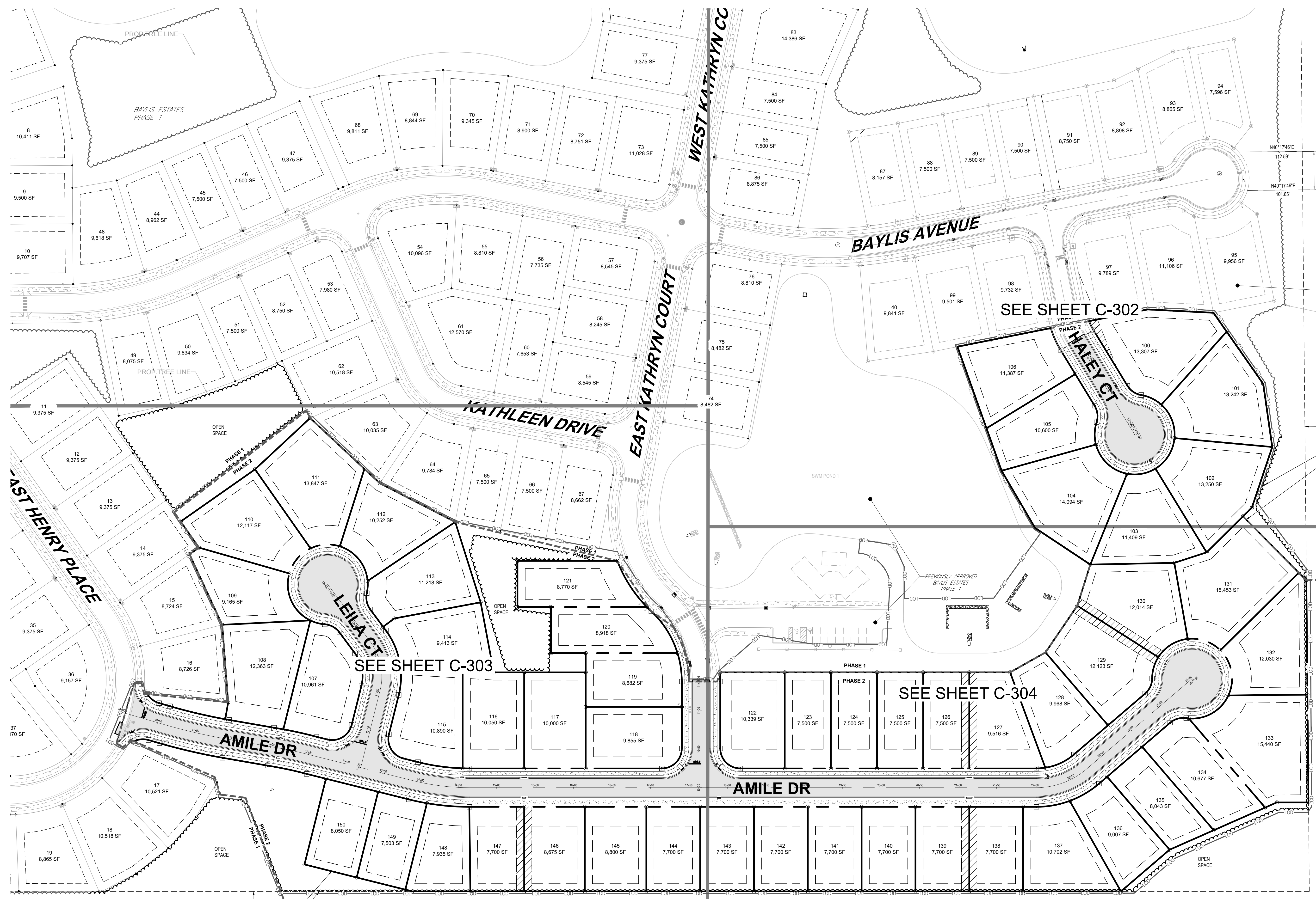
SHEET NUMBER:
C-300

REVISION 1 - 5/18/21

PROPERTY MARKER LEGEND

- SET CONCRETE MONUMENT (TO BE SET PRIOR TO ROAD DEDICATION).
- SET IRON ROD AND CAP (TO BE SET AS PART OF INDIVIDUAL LOT CONSTRUCTION).
- EXISTING PROPERTY MARKER





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 DRAWN BY: JSW
 CHECKED BY: STF
 DATE: 2/3/21
 CAD ID: SPP-0

PRELIMINARY SITE PLANS
 FOR
BAYLIS ESTATES PHASE 2
 PROPOSED RESIDENTIAL DEVELOPMENT
 INDIAN RIVER HUNDRED
 SUSSEX COUNTY, DE
 TAX MAP: 2-34-29, PARCEL 42

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 DE LAWARE
 PROFESSIONAL ENGINEER

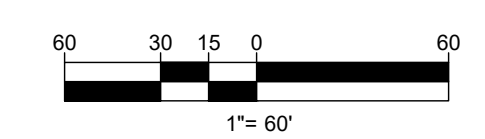
PRELIMINARY OVERALL SITE LAYOUT PLAN

SHEET NUMBER:
C-301

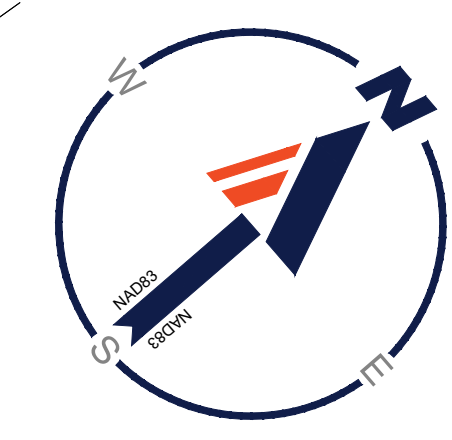
REVISION 1 - 5/18/21

PROPERTY MARKER LEGEND

- SET CONCRETE MONUMENT (TO BE SET PRIOR TO ROAD DEDICATION)
- SET IRON ROD AND CAP (TO BE SET AS PART OF INDIVIDUAL LOT CONSTRUCTION)
- EXISTING PROPERTY MARKER



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 DATE: 2/3/21
 CAD ID.: SPP - 0

PRELIMINARY SITE PLANS
 FOR
BAYLIS ESTATES PHASE 2
 PROPOSED RESIDENTIAL DEVELOPMENT
 INDIAN RIVER HUNDRED
 SUSSEX COUNTY, DE
 TAX MAP: 2-34-29, PARCEL 42

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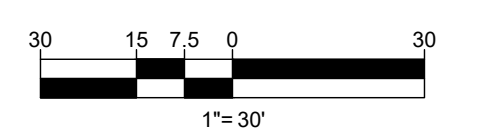
S.T. FORTUNATO
 No. 19519
 PROFESSIONAL ENGINEER
 DE LAWARE

PRELIMINARY SITE LAYOUT PLAN

SHEET NUMBER:
C-302

REVISION 1 - 5/18/21

MATCHLINE - SHEET C-304



May 19, 2021
 H:\18000\18007\DRAWINGS\PLAN SETS\PRELIM SITE PLAN - PHASE 2\DE190077_SPP - 1.dwg - LAYOUT - C-302 SITE PLAN



REVISIONS

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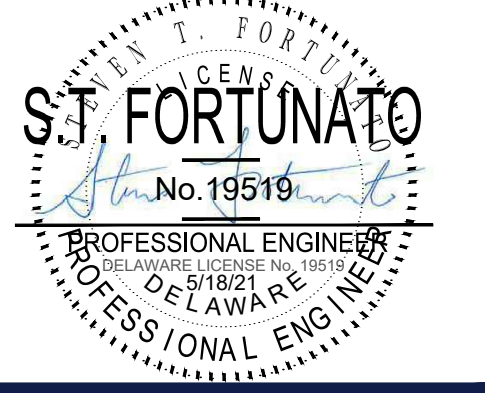
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PROJECT No.: DE190077
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 CHECKED BY: STF
 DATE: 2/3/21
 CAD ID: SPP-0

PROJECT:
PRELIMINARY SITE PLANS
 FOR
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 INDIAN RIVER HUNDRED
 SUSSEX COUNTY, DE
 TAX MAP: 2-34-29, PARCEL 42

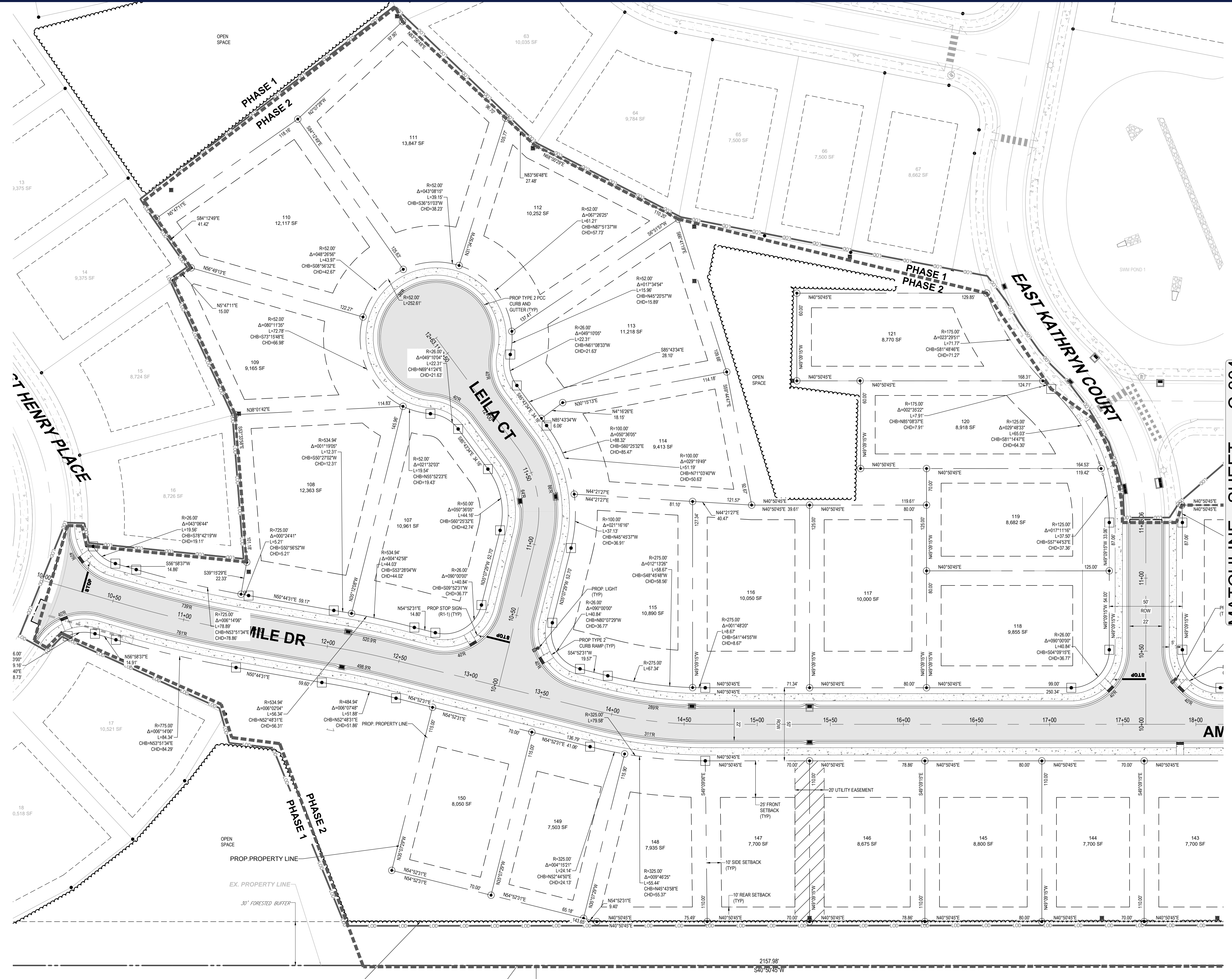
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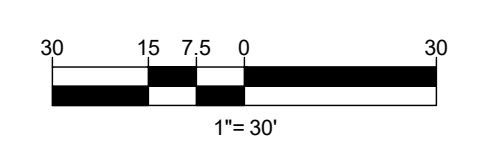
SHEET TITLE:
PRELIMINARY SITE LAYOUT PLAN

SHEET NUMBER:
C-303

REVISION 1 - 5/18/21

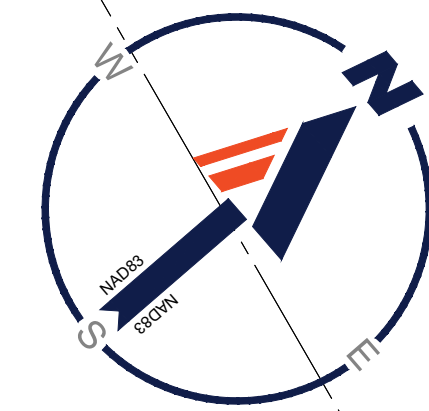


MATCHLINE - SHEET C-304



MAY 19, 2021 11:00:00 190077.DWG SITE PLAN - PHASE 2 PRELIM - SPP - 1 - LAYOUT - C-303 SITE PLAN

MATCHLINE - SHEET C-302



MATCHLINE - SHEET C-303

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 CAD ID.: SPP - 0

PRELIMINARY SITE PLANS

FOR

BAYLIS ESTATES PHASE 2

PROPOSED RESIDENTIAL DEVELOPMENT
 INDIAN RIVER HUNDRED
 SUSSEX COUNTY, DE
 TAX MAP: 2-34-29, PARCEL 42

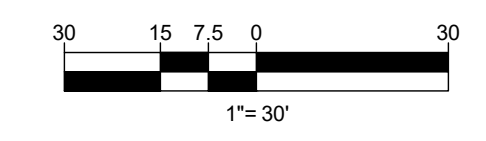
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S.T. FORTUNATO
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 DE LAWARE
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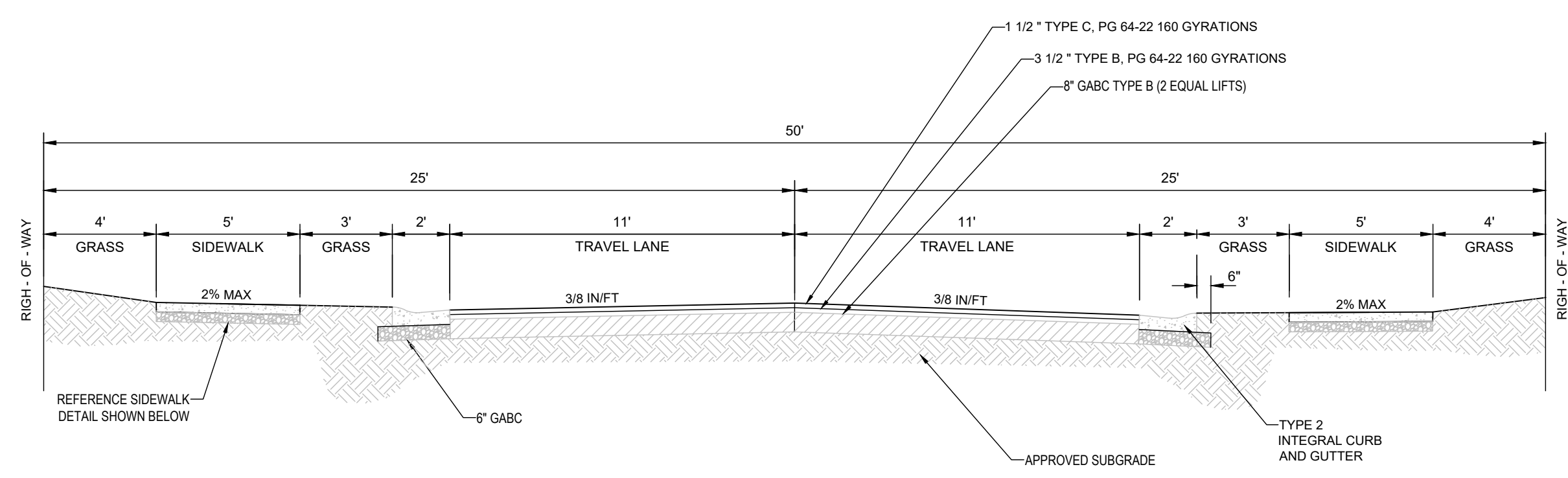
SHEET TITLE:
PRELIMINARY SITE LAYOUT PLAN

SHEET NUMBER:
C-304

REVISION 1 - 5/18/21



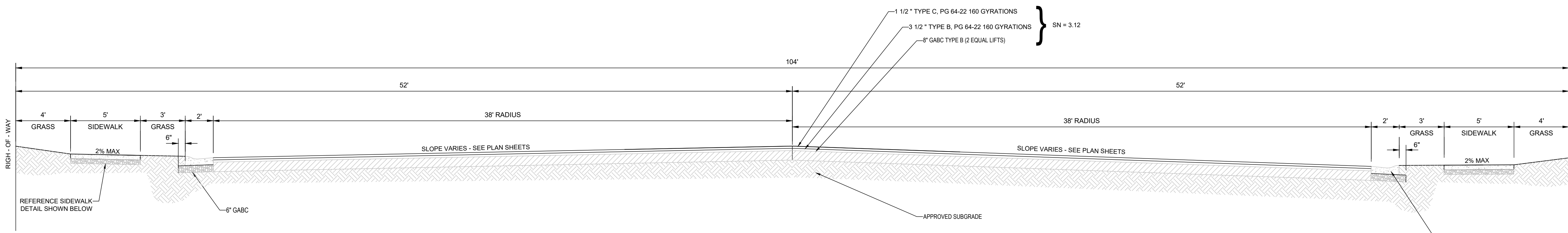
May 19, 2021
 H:\BOE\19007\DRAWINGS\PLAN SET\PRELIM SITE PLAN - PHASE 2\DE190077 - SPP - 1-3-LAYOUT - C-305 SITE PLAN SECTIONS



INTERIOR ROAD SECTION
NOT TO SCALE

HAYLEY COURT
AMILE DRIVE

LEILA COURT
EAST KATHRYN COURT



TYPICAL CUL-DE-SAC SECTION
NOT TO SCALE

HAYLEY COURT
AMILE DRIVE

LEILA COURT
EAST KATHRYN COURT

LOT AND PARCEL AREAS

LOT #	AREA (S. Q. FT.)	AREA (ACRES)
100	13,307	0.31
101	13,242	0.30
102	13,250	0.30
103	11,409	0.26
104	14,094	0.32
105	10,600	0.24
106	11,387	0.26
107	10,961	0.25
108	12,363	0.28
109	9,165	0.21
110	12,117	0.28
111	13,847	0.32
112	10,252	0.24
113	11,218	0.26
114	9,413	0.22
115	10,890	0.25
116	10,050	0.23
117	10,000	0.23
118	9,855	0.23
119	8,682	0.20
120	8,918	0.20
121	8,770	0.20
122	10,339	0.24
123	7,500	0.17
124	7,500	0.17
125	7,500	0.17

LOT AND PARCEL AREAS

LOT #	AREA (S. Q. FT.)	AREA (ACRE)
126	7,500	0.17
127	9,516	0.22
128	9,968	0.23
129	12,123	0.28
130	12,014	0.28
131	15,453	0.35
132	12,030	0.28
133	15,440	0.35
134	10,677	0.25
135	8,043	0.18
136	9,007	0.21
137	10,702	0.25
138	7,700	0.18
139	7,700	0.18
140	7,700	0.18
141	7,700	0.18
142	7,700	0.18
143	7,700	0.18
144	7,700	0.18
145	8,800	0.20
146	8,675	0.20
147	7,700	0.18
148	7,935	0.18
149	7,503	0.17
150	8,050	0.18

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 CHECKED BY: STF
 DATE: 2/3/21
 CAD ID: SPP - 0

PRELIMINARY SITE PLANS
 FOR
BAYLIS ESTATES PHASE 2
 PROPOSED RESIDENTIAL DEVELOPMENT
 INDIAN RIVER HUNDRED
 SUSSEX COUNTY, DE
 TAX MAP: 2-34-29, PARCEL 42

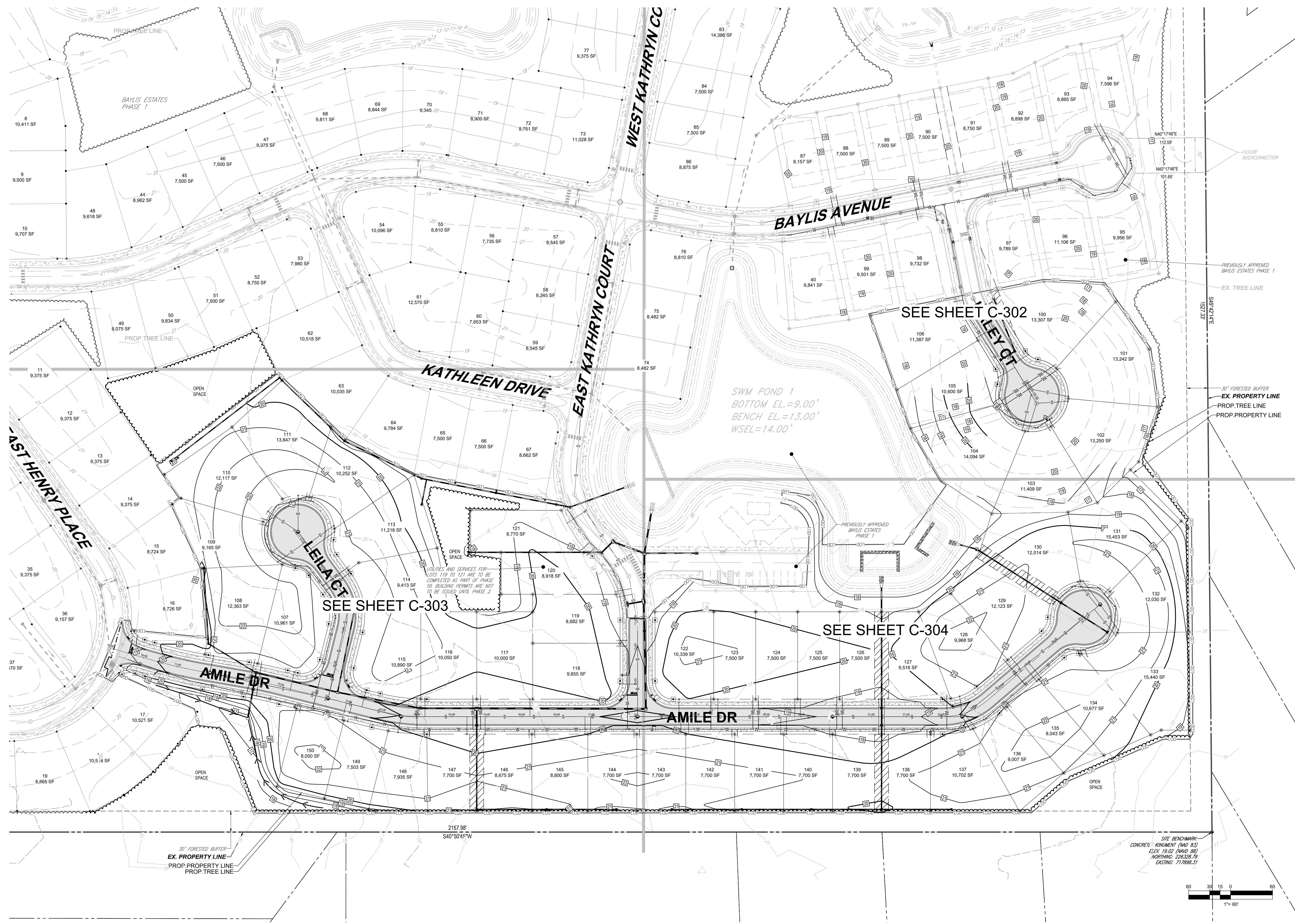
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S.T. FORTUNATO
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 PROFESSIONAL ENGINEER
 DE 190077
 DE LAWARE
 PROFESSIONAL ENGINEER

SHEET TITLE:
PRELIMINARY SITE PLAN SECTIONS

SHEET NUMBER:
C-305

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PRELIMINARY SITE PLANS
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BAYLIS ESTATES PHASE 2
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 INDIAN RIVER HUNDRED
 SUSSEX COUNTY, DE
 TAX MAP: 2-34-29, PARCEL 42

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S.T. FORTUNATO
 No. 19519
 PROFESSIONAL ENGINEER
 STATE OF DELAWARE

SHEET TITLE:
PRELIMINARY OVERALL GRADING AND UTILITY PLAN
 SHEET NUMBER:
C-401

May 19, 2021
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TAX MAP #234-23.00-115.00
N/F LANDS OF FOUR DIAMONDS
DEVELOPMENT & CONSULTING
LLC
BOOK 4701 PAGE 66
ZONE: CR-1

TAX MAP #234-29.00-49.02
N/F LANDS OF LAMBOLL
STAZCO LLC
BOOK 4049 PAGE 227
ZONE: AR-1

PREVIOUSLY APPROVED
BAYLIS ESTATES PHASE 1

SWM POND 1
BOTTOM EL. = 9.00'
BENCH EL. = 13.00'
WSEL = 14.00'



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DATE: 2/3/21
CAD ID: SDP - 0

PROJECT:
PRELIMINARY SITE PLANS
FOR
BAYLIS ESTATES PHASE 2
PROPOSED RESIDENTIAL DEVELOPMENT
INDIAN RIVER HUNDRED
SUSSEX COUNTY, DE
TAX MAP: 2-34-29, PARCEL 42

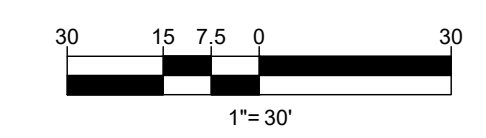
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Professional Engineer
No. 19519
5/18/21
DELAWARE
PROFESSIONAL ENGINEER

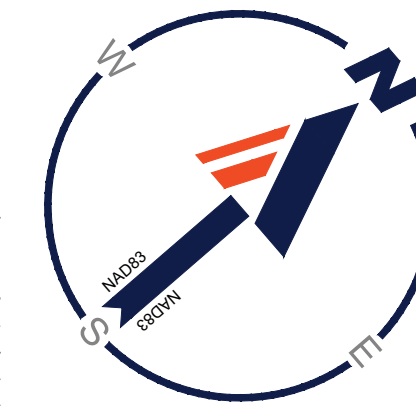
SHEET TITLE:
PRELIMINARY GRADING AND UTILITY PLAN

SHEET NUMBER:
C-402

REVISION 1 - 5/18/21



May 19, 2021
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REVISIONS

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PROJECT No.: DE190077
 DRAWN BY: JSW
 CHECKED BY: STF
 DATE: 2/3/21
 CAD ID: SDP - 0

PROJECT:

PRELIMINARY SITE PLANS

FOR

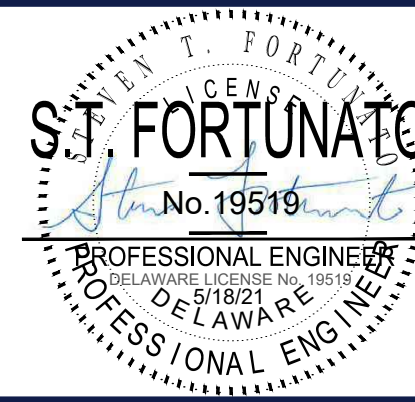
BAYLIS ESTATES PHASE 2

PROPOSED RESIDENTIAL DEVELOPMENT

INDIAN RIVER HUNDRED
 SUSSEX COUNTY, DE
 TAX MAP: 2-34-29, PARCEL 42

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SHEET TITLE:

PRELIMINARY GRADING AND UTILITY PLAN

SHEET NUMBER:

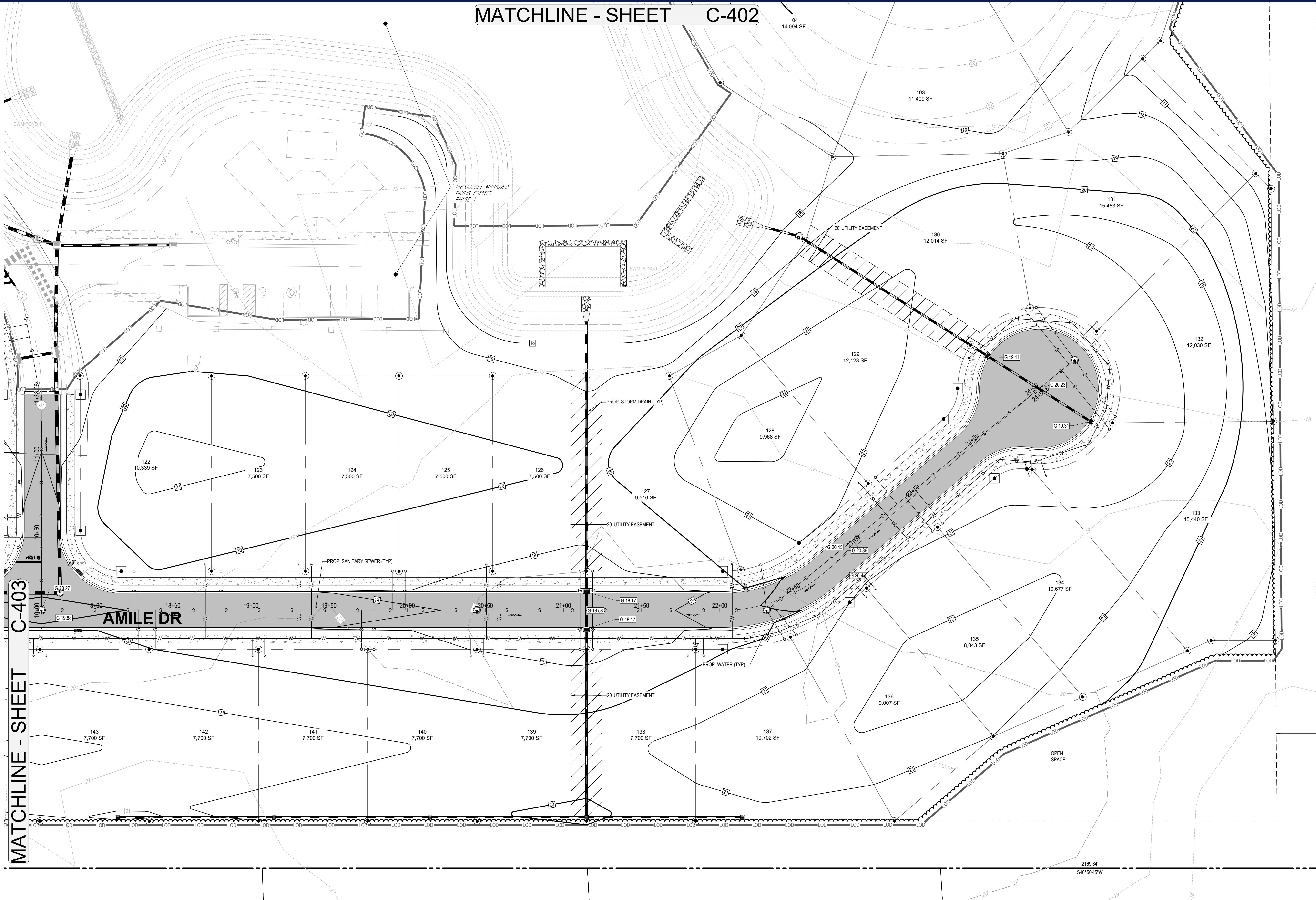
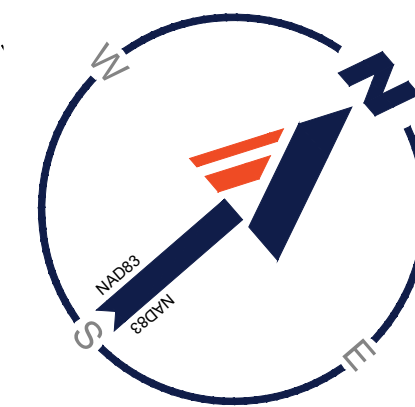
C-403

REVISION 1 - 5/18/21



May 19, 2021
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MATCHLINE - SHEET C-402



TAX MAP #234-29.00-48.00
N/F LANDS OF SHARON A
HARRING
BOOK 4564 PAGE 173
ZONE: AR-1

TAX MAP #234-29.00-47.00
N/F LANDS OF LOUIS C &
JUDY A HAGEN
BOOK 0 PAGE 0
ZONE: AR-1

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CAD ID: SDP-0

PROJECT:
PRELIMINARY SITE PLANS
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INDIAN RIVER HUNDRED
SUSSEX COUNTY, DE
TAX MAP: 2-34-29, PARCEL 42

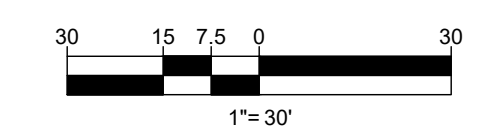
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S.T. FORTUNATO
Professional Engineer
No. 19519
DELAWARE
PROFESSIONAL ENGINEER

SHEET TITLE:
PRELIMINARY GRADING AND UTILITY PLAN

SHEET NUMBER:
C-404

REVISION 1 - 5/18/21



May 19, 2021
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PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878
302-854-5079 F
JAMIE WHITEHOUSE, AICP MRTPI
PLANNING & ZONING DIRECTOR

May 17, 2021

Mr. Steven T. Fortunato, P.E.
Bohler Engineering
18958 Coastal Highway, Suite D
Rehoboth Beach, DE 19971

By email to: sfortunato@bohlereng.com

RE: Staff Review of the Preliminary Subdivision Plan for Baylis Estates Phase II (2021-13) for an application to amend the existing cluster subdivision for Baylis Estates Phase 2 (2017-01) to subdivide 130.52 +/- acres into fifty-one (51) single-family lots to be located on the northeast side of Mount Joy Road (S.C.R. 297).

Tax Parcel: 234-29.00-42.00

Dear Mr. Fortunato,

Further to your submission of February 8, 2021 the Planning and Zoning Department has reviewed the submitted Preliminary Subdivision Plan for Baylis Estates Phase II (2021-13) for an application to amend the existing cluster subdivision for Baylis Estates Phase 2 (2017-01) to subdivide 130.52 +/- acres into fifty-one (51) single-family lots to be located on the northeast side of Mount Joy Road (S.C.R. 297). The parcel is zoned Agricultural Residential (AR-1) Zoning District. The parcel also lies within the Coastal Area per Sussex County's 2019 Comprehensive Plan. Staff have reviewed the proposed subdivision plan for compliance with the Sussex County Zoning and Subdivision Code and have the following comments:

Preliminary Subdivision Plan

1. Please include the County Project Reference Number on the Cover Sheet of the plans. The County Project Reference Number for this project is 2021-13.
2. It appears that the Flood Zone status of the property is referenced twice in the Site Data Column (as part of General Note Nos. 13 and 22.) Please delete one of these references to prevent duplicity or redundancy.
3. Please ensure that all street names are approved by the Sussex County Department of Mapping and Addressing, so as not to duplicate or closely approximate the name of any other subdivision streets in the County (§99-23(A)).
4. Please clarify within the Site Data Column that this project lies within the Coastal Area. The proposal also consists of 50 or more dwelling units. Therefore, copies of an Environmental Assessment (EA) and public facility evaluation report will need to be



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE 19947

- submitted to the Department, copies of which will be forwarded to the Office of State Planning Coordination and members of the Technical Advisory Committee (TAC) for review and comment. The EA should address the criteria listed in §115-194.3(2) (a-l) of the Sussex County Code.
5. Please ensure that this proposal meets the provisions of the County's Superior Design Criteria for cluster subdivisions as referenced in §115-25(E-F) of the Code.
 6. Please include the number of forested acres to remain and to be removed within the Site Data Column. Please note that the removal of healthy, mature trees shall be limited and that scenic views that can be seen from within the tract should be preserved to the greatest extent possible (§115-25(F)(6-7)).
 7. Please note whether a trail system will be provided to link homes to destinations outside of the tract (§115-25(F)(8)(c)).
 8. Staff notes the provision of sidewalks on at least one side of the street (§115-25(9)).
 9. Please note within the Site Data Column that the project does not lie within a Wellhead Protection Area in order to comply with Chapter 89 "Source Water Protection" of the Sussex County Code (§89-6).
 10. Please note within the Site Data Column that the project lies within an area of "poor" and "fair" Groundwater Recharge Potential in order to comply with Chapter 89 "Source Water Protection" of the Sussex County Code (§89-7).
 11. As a general reminder, please ensure that the Lots are numbered in consecutive, numerical order (based on the last and most recently approved, previous Phase of the subdivision) (§99-23 (K)).
 12. Please include a breakdown of tidal vs. non-tidal wetland totals in the Site Data Column as well as those wetlands which are under the Delaware Department of Natural Resources and Environmental Control's (DNREC's) (State) jurisdiction and those which are under the Army Corp. of Engineers' (Federal) jurisdiction (99-23(Q)).
 13. Please include the amount of open space as a percentage of the gross area of the site within the Site Data Column (§99-23(S)). Please ensure that the subdivision retains a minimum open space percentage of 30% overall in accordance with §115-25(B)(2) of the Sussex County Code. Additionally, 30% of all required open space shall be located on one contiguous tract of land, except that such open space may be separated by water bodies and a maximum of one street (§115-25(F)(3)(b)).
 14. Please confirm whether any stormwater management ponds, or drainage facilities will be included within this proposed Phase of the subdivision. If so, please clearly indicate the location and size of these drainage facilities on the plans (§99-23(M)).
 15. Please add statements concerning any proposed deed restrictions to be imposed by the owner (§99-24(B)).
 16. Please add statements explaining how and when the subdivider proposes to provide for the perpetual maintenance of the forested buffer strips (or in this case, the existing vegetation and tree line to remain on site) (§99-24(F)).

Final Subdivision Plan

1. Please include the locations, dimensions and purposes of any other property offered for dedication or to be reserved for acquisition for public use or to be reserved by deed covenant for the common use of property owners in the subdivision (§99-26(A)(11)).
2. Please include a space for the signature of the Chairman or Secretary of the Commission and the President of the Sussex County Council (§99-26(A)(13)).
3. Please also ensure that if the site contains no wetlands that the plans contain a signed and dated statement by an experienced and qualified professional verifying the accuracy of any delineations on the property (§99-26(A)(17)).
4. Please add to the plans, a certification panel and space for the stamp of and a space for the signature of an authorized representative of the Sussex Conservation District approving the location and design of all stormwater management areas and erosion and sediment control facilities which shall be shown on the final site plan (§99-26(A)(18)).
5. Please include a breakdown of the open space on the plans (Open Space “A,” “B,” “C,” etc.) and the purpose of all open space areas. Please also add the percentage of impervious surface cover area in the Site Data Column (§99-26(A)(19)).
6. Please include a summary of deed restrictions applicable within the subdivision, including agreements for the operation and maintenance by the property owners or agency in the subdivision of street and road improvements, surface drainage facilities, erosion and sedimentation control facilities, water supply facilities, sanitary sewer facilities, forested buffer strips, all areas approved as open space and other improvements” (§99-27(A)).
7. Please show the location of any proposed lighting within the subdivision.
8. Please ensure that the 30-ft forested/landscape buffer that meets the provisions of §99-5 of the Sussex County Code is shown around the entire perimeter of the site to be developed. Please note that the 30-ft width shall be exclusive of any proposed stormwater management areas or facilities, open space, etc.
9. Please add a General Note to the plans which clarifies that any additional signage will require the issuance of a separate permit from the County.
10. Prior to approval of the Final Site Plan, approval letters or letters of no objection from the following agencies shall be submitted to the Sussex County Planning and Zoning Office:
 - a. **Sussex Conservation District**
 - b. **Office of State Fire Marshal**
 - c. **Delaware Department of Transportation (DelDOT)**
 - d. **Sussex County Engineering Department**
 - e. **Sussex County Mapping and Addressing Department**

- f. Office of Drinking Water (Public Health)**
- g. The local school district regarding bus stop provisions.**
- h. Copies of any proposed and updated HOA bylaws or deed restrictions to be imposed on property owners within the subdivision.**

Please provide **one (1) full-size copy** and **one (1) electronic copy** of a Revised Preliminary Subdivision Plan at least **ten (10) days prior** to your scheduled public hearing before the Planning and Zoning Commission. Your application has been scheduled for a public hearing and consideration by the Commission at their upcoming meeting of **May 27, 2021**. Therefore, please submit all required plans and supporting documentation (ie: Exhibit Books) later than close of business on **May 17, 2021**.

Please feel free to contact me with any questions during business hours 8:30 A.M. – 4:30 P.M., Monday through Friday at 302-855-7878.

Sincerely,

A handwritten signature in black ink that reads "Lauren DeVore". The signature is written in a cursive, flowing style.

Ms. Lauren DeVore
Planner III

May 20, 2021
Via Federal Express

Sussex County Planning & Zoning
2 The Circle
Georgetown, DE 19947

Attn.: Lauren DeVore

Re: 2017-1 Baylis Estates – Phase II
Preliminary Site Plan
Mount Joy Road
Sussex County, DE
Tax Parcel No. 234-29.00-42.00
BEVA# DE190077

Dear Ms. DeVore,

In regard to the Baylis Phase 2 Preliminary Site Plan Review Comments report dated May 17, 2021, please find the following point by point responses for your review regarding the respective items that we understand need additional information:

- Comment 1:** Please include the County Project Reference Number on the Cover Sheet of the plans. The County Project Reference Number for this project is 2021-13.
- Response 1:** **The County Project Reference Number has been added as note 22.**
- Comment 2:** It appears that the Flood Zone status of the property is referenced twice in the Site Data Column (as part of General Note Nos. 13 and 22.) Please delete one of these references to prevent duplicity or redundancy.
- Response 2:** **The second Flood Zone note, formerly note 22, has been removed.**
- Comment 3:** Please ensure that all street names are approved by the Sussex County Department of Mapping and Addressing, so as not to duplicate or closely approximate the name of any other subdivision streets in the County (§99-23(A)).
- Response 3:** **Comment noted. To be provided prior to final approval.**
- Comment 4:** Please clarify within the Site Data Column that this project lies within the Coastal Area. The proposal also consists of 50 or more dwelling units. Therefore, copies of an Environmental Assessment (EA) and public facility evaluation report will need to be submitted to the Department, copies of which will be forwarded to the Office of State Planning Coordination and members of the Technical Advisory Committee (TAC) for review and comment. The EA should address the criteria listed in §115-194.3(2) (a-1) of the Sussex County Code.
- Response 4:** **Costal Area note has been added as note 23. An Environmental Assessment and public facility evaluation report are included in this submission.**

Comment 5: Please ensure that this proposal meets the provisions of the County’s Superior Design Criteria for cluster subdivisions as referenced in §115-25(E-F) of the Code.

Response 5: **The phase 2 plans have been reviewed against code section §115-25(E-F) and appear to comply with these requirements.**

Comment 6: Please include the number of forested acres to remain and to be removed within the Site Data Column. Please note that the removal of healthy, mature trees shall be limited and that scenic views that can be seen from within the tract should be preserved to the greatest extent possible (§115-25(F)(6-7)).

Response 6: **Existing forested area, remaining forested area, and removed forested area have been added to note 8.**

Comment 7: Please note whether a trail system will be provided to link homes to destinations outside of the tract (§115-25(F)(8)(c)).

Response 7: **Per previous discussion, a trail system is not required or provided.**

Comment 8: Staff notes the provision of sidewalks on at least one side of the street (§115-25(9)).

Response 8: **Comment noted.**

Comment 9: Please note within the Site Data Column that the project does not lie within a Wellhead Protection Area in order to comply with Chapter 89 “Source Water Protection” of the Sussex County Code (§89-6).

Response 9: **Note 25 has been added to clarify that the project is not within a Wellhead Protection Area.**

Comment 10: Please note within the Site Data Column that the project lies within an area of “poor” and “fair” Groundwater Recharge Potential in order to comply with Chapter 89 “Source Water Protection” of the Sussex County Code (§89-7).

Response 10: **Note 24 has been added to clarify that the project is within “poor” and “fair” Groundwater Recharge Potential areas.**

Comment 11: As a general reminder, please ensure that the Lots are numbered in consecutive, numerical order (based on the last and most recently approved, previous Phase of the subdivision) (§99-23 (K)).

Response 11: **Comment noted.**

Comment 12: Please include a breakdown of tidal vs. non-tidal wetland totals in the Site Data Column as well as those wetlands which are under the Delaware Department of Natural Resources and Environmental Control’s (DNREC’s) (State) jurisdiction and those which are under the Army Corp. of Engineers’ (Federal) jurisdiction (99-23(Q)).

Response 12: **No wetlands are present on site according to the National Wetlands inventory. Note 26 has been added.**

Comment 13: Please include the amount of open space as a percentage of the gross area of the site within the Site Data Column (§99-23(S)). Please ensure that the subdivision retains a

minimum open space percentage of 30% overall in accordance with §115-25(B)(2) of the Sussex County Code. Additionally, 30% of all required open space shall be located on one contiguous tract of land, except that such open space may be separated by water bodies and a maximum of one street (§115-25(F)(3)(b)).

Response 13: Open space has been added for the overall site and a percentage has been added for the whole site, see note #8.

Comment 14: Please confirm whether any stormwater management ponds, or drainage facilities will be included within this proposed Phase of the subdivision. If so, please clearly indicate the location and size of these drainage facilities on the plans (§99-23(M)).

Response 14: No ponds or drainage facilities are proposed in this phase.

Comment 15: Please add statements concerning any proposed deed restrictions to be imposed by the owner (§99-24(B)).

Response 15: Note 28 added for deed restrictions.

Comment 16: Please add statements explaining how and when the subdivider proposes to provide for the perpetual maintenance of the forested buffer strips (or in this case, the existing vegetation and tree line to remain on site) (§99-24(F)).

Response 16: Statement added specifying responsibility for perpetual maintenance of the forested buffer strips as note 27.

Additionally, we have received the TAC comments per your email on 5/12/21. We have reviewed the comments and will be incorporating them into the Final Site Plans.

Should you have any questions or require additional information, please do not hesitate to contact this office at (302) 644-1155 to discuss. Thank you.

Very truly yours,



Steven T. Fortunato, P.E.
Project Manager

cc: Kevin Broyna, Insight Homes (w/o encl.)
M. Andrew Campanelli, Insight Homes (w/o encl.)
David M. Kuklish, P.E., Bohler (w/o encl.)
File

Chapter 99-9C Responses

Baylis Estates Phase II, Mt. Joy Road, Millsboro DE

The proposed Baylis Estates provides consideration of the following:

1. Integration of the proposed subdivision into the existing terrain and surrounding landscape.

The proposed project consists of one (1) parcel, known as Tax Map: 234-29.00-42.00. The parcel is comprised of 75.48± acres. Baylis Estates Investments, LLC. is proposing to subdivide the 75.48± Ac. into 150 single family homes, along with associated features.

The proposed subdivision is located 2,000± feet north-west of the intersection of John J Williams Hwy and Mt Joy Rd in Sussex County, Delaware. Prior to construction of Baylis Estates Phase I, there are no improvements on the proposed and it is all wooded. Phase I of this project is currently under construction.

Located along the northwest boundary of the site is an existing residential subdivision zoned AR-1. Located to the northeast of the site are residential areas zoned CR-1 and AR-1, as well as agricultural uses zoned AR-1 and commercial uses zoned AR-1. To the Southeast of the site are residential uses zoned AR-1 as well as commercial use zoned C-1. Along the southwest boundary is Mount Joy Rd, a state owned and maintained roadway.

The proposed project will integrate into the existing terrain and surrounding landscape as there are multiple residential uses and subdivisions around the site. The site will also integrate into the existing terrain as able to and will retain areas of forest and a forested buffer along the boundaries to tie into the neighboring parcels.

2. Minimal use of wetlands and floodplains.

Pursuant to the Environmental Consultants site investigation, the subject site contains no wetlands. Further, the site is located on FEMA Flood Insurance Rate Map 10005C0477K, Panel 447 of 660, revised March 16, 2015. The site is located completely within Zone X (areas to be determined to be outside the 0.2 annual percent chance of flood). Therefore, there are no impacts/use of wetlands and floodplains.

3. Preservation of natural and historical features.

Natural features such as the existing forested areas will be preserved to the fullest extent. There are no known historical features (or physical structures/improvements) on the site.

4. Preservation of open space and scenic views.

The proposed plan attempts to preserve open space and views as much as possible. Forested buffer areas along the property lines are proposed and wet ponds have been proposed throughout the development. Additional open space is provided for use by residents of the subdivision.

5. Minimization of tree, vegetation and soil removal and grade changes.

The proposed plan will be designed to minimize cut and fill on the site in the effort of balancing the site. Some excavation will be required for the proposed stormwater management area. It is anticipated that spoil material from these areas will be used to help fill the site where needed to allow for adequate drainage away from the proposed structure. Erosion and sediment controls will be designed in accordance with Sussex Conservation District and DNREC requirements to minimize soil removal from the subject site. As mentioned previously, the existing wooded areas will be preserved the fullest extent possible.

6. Screening of objectionable features from neighboring properties and roadways.

There will be a 30' forested buffer along the boundary of the site with adjacent parcels which will help to provide screening of the new residential area.

7. Provision for water supply.

Water service is provided by Tidewater Utilities, Inc.

8. Provision for sewage disposal.

Sewer service will be provided by Sussex County public sewer, with the proposed connection point at an existing sanitary main within the Mount Joy Rd right-of-way.

9. Prevention of pollution of surface and groundwater.

The site stormwater management system will capture a majority of runoff from impervious surfaces (roads, driveways and roofs) and provide quality and quantity management in accordance with the applicable DNREC Sediment and Stormwater Regulations. This will maximize groundwater recharge potential and at the same time be utilizing a DNREC approved green BMP to handle stormwater management. A series of Extended Detention Wet Ponds and proposed to manage the runoff and allow for pollutants to be treated. All requirements set forth by DNREC and the Sussex Conservation District as it relates to the regulated stormwater management pollutants.

10. Minimization of erosion and sedimentation, minimization of changes in groundwater levels, minimization of increased rates of runoff, minimization of potential for flooding and design of drainage so that groundwater recharge is maximized.

As mentioned above, five (5) stormwater management ponds have been proposed throughout the site. As stormwater is treated by these facilities, pollutants will be removed and the extended detention will

increase groundwater recharge to the fullest extent possible. Erosion and sediment controls, including sediment traps, inlet protection, silt fence, and vegetative stabilization will be provided both along the perimeter of the site and throughout the site, as well as at the entrance to help minimize sediment from leaving the site. Stormwater management and erosion and sediment controls will be provided in accordance with State and Local requirements.

11. Provision for safe vehicular and pedestrian movement within the site and to adjacent ways.

The entrance will be designed in accordance with DelDOT requirements which will allow for safe vehicular and pedestrian movement to the adjacent Mount Joy Rd. The internal subdivision streets layout will be designed in accordance with the Sussex County Engineering Department and the Office of State Fire Marshal requirements, and other applicable agencies as required. A five-foot concrete sidewalk is provided throughout the subdivision to provide for safe pedestrian travel.

12. Effect on area property values.

It is not anticipated that the proposed project will have a negative impact on property values.

13. Preservation and conservation of farmland.

The site does not contain any farmland.

14. Effect on schools, public buildings and community facilities.

The approval of the plan should not negatively impact area schools, public buildings or community facilities. Internal community amenities are proposed as part of this project.

15. Effect on area roadways and public transportation.

DelDOT has reviewed and provided a service level evaluation for the proposed project and has determined a traffic impact study will not be required. The proposed subdivision entrance, as well as the right-of-way frontage improvements along Mount Joy Rd is required to be designed in accordance with DelDOT rules and regulations. Therefore, it is not anticipated that the proposed project will have a negative impact on the area roadways and/or public transportation.

16. Compatibility with other area land uses.

As mentioned above, the proposed project is located within the vicinity of other similar residential subdivision as well as some smaller commercial areas.

17. Effect on area waterways.

The development will utilize multiple stormwater management ponds for storm water management treatment and to limit pollutants from leaving the site. This project also proposes various erosion and



sediment control measures to reduce the potential impacts of construction. It is not anticipated that this project will have a negative effect on the surrounding waterways.

Coastal Area Environmental Assessment and Public Facilities Evaluation Report

Baylis Estates Phase II, Mt. Joy Road, Millsboro DE Section 115-194.3 Responses

The proposed Baylis Estates Phase II Development provides consideration of the following:

- A) Proposed drainage design and the effect on stormwater quality and quantity leaving the site, including methods for reducing the amount of phosphorous and nitrogen in the stormwater runoff and the control of any other pollutants such as petroleum hydrocarbons or metals.**

The site stormwater management system will capture a majority of runoff from impervious surfaces (roads, driveways and roofs) and provide quality and quantity management in accordance with the applicable DNREC Sediment and Stormwater Regulations. This will maximize groundwater recharge potential and at the same time be utilizing a DNREC approved green BMP to handle stormwater management. A series of Extended Detention Wet Ponds and proposed to manage the runoff and allow for pollutants to be treated. All requirements set forth by DNREC and the Sussex Conservation District as it relates to the regulated stormwater management pollutants.

- B) Proposed method of providing potable and, where appropriate, irrigation water and the effect on public or private water systems and groundwater, including an estimate of average and peak demands.**

This project is located within Tidewater Utilities, Inc.'s service area and they are providing domestic service water for the site. Tidewater has been informed about the development and they have capacity to provide for the development.

- C) Proposed means of wastewater treatment and disposal with an analysis of the effect on the quality of groundwater and surface waters, including alternative locations for on-site septic systems.**

The site will be served by a Sussex County owned and maintained public sewer system currently within the Mount Joy Rd right-of-way. The sewer system of the site will come to a pump station on site and pumped to the sewer system in the right-of-way. The Sussex County Engineering Department has reviewed the project with minimal comments and is acceptable with the proposed connection.

- D) Analysis of the increase in traffic and the effect on the surrounding roadway system.**

Pursuant to the DeIDOT completed service level evaluation, a traffic impact study is not required or proposed. The site's entrance, as well as DeIDOT right-of-way frontage improvements will be designed in accordance with current DeIDOT regulations. The increase in traffic is not anticipated to have a negative effect on the surrounding roadway systems.

E) The presence of any endangered or threatened species listed on federal or state registers and proposed habitat protection areas.

Research has not revealed any endangered or threatened species on the subject site. However, the applicant will consult with DNREC if, and as necessary, should findings become evident during the design process.

F) The preservation and protection from loss of any tidal or nontidal wetlands on the site.

Pursuant to the site investigation from the Environmental Consultant and the National Wetlands Inventory, there are no existing wetlands on the subject site.

G) Provisions for open space as defined in § 115-4.

The development will contain open space that is both designated as active and passive open space areas. Active open space area uses will be determined at a later time but may include items such as a pool, clubhouse and activity area. The passive open space includes buffers, stormwater management ponds, and forested areas to remain. Open area accounts for more than 40% of the total parcel area.

H) A description of provisions for public and private infrastructure.

Water service will be provided to the site via public utility from Tidewater. Sanitary sewer will be provided via Sussex County. The entrance, as well as road frontage improvements, will be designed in accordance with DeIDOT requirements. Onsite private drive aisles, including stormwater management, will be designed to meet the Sussex County Engineering Department, Sussex Conservation District, and Office of State Fire Marshal requirements as needed, and will be owned and maintained by the HOA. Electric is provided by Delaware Electric Coop.

I) Economic, recreational or other benefits.

The proposed residential subdivision will provide additional housing in the area and construction of the project will also provide jobs in the area. The housing will also provide additional taxes for the county and allow for additional occupants to support local establishments.

J) The presence of any historic or cultural resources that are listed on the National Register of Historic Places.

There are no known historic or cultural resources on this site.

- K) An affirmation that the proposed application and proposed mitigation measures are in conformance with the current Sussex County Comprehensive Plan.**

It is the applicant's belief that the proposed use will comply with all applicable County, State and Federal requirements as required. The site is currently zoned AR-1 and the proposed development meets county requirements for AR-1 zoned cluster subdivisions.

- L) Actions to be taken by the applicant to mitigate the detrimental impacts identified relevant to Subsection B(2)(a) through (k) above and the manner by which they are consistent with the Comprehensive Plan.**

It is the applicant's belief that the proposed plan will not result in detrimental impact to the surrounding areas. The plan shall conform to all County, State and Federal regulations, as required, to include adequate buffering, provisions for stormwater management, water, sanitary sewer and safe vehicular circulation both internal and external to the subject site.

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878 T
302-854-5079 F
JAMIE WHITEHOUSE, AICP
DIRECTOR

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET
Planning Commission Public Hearing Date May 27th, 2021

Application: The Crossings (FKA The Crossing at Trap Pond) (2020-10)

Applicant: Sussex Ventures, Inc.
25051 Ward Farm Lane
Millsboro, DE 19966

Owner: Sussex Ventures, Inc.
25051 Ward Farm Lane
Millsboro, DE 19966

Site Location: North side of intersection of Laurel Road (Route 24) and Adams Road (S.C.R 437A)

Current Zoning: Agricultural Residential (AR-1) Zoning District

Proposed Use: 39 Single Family Lots as an AR-1 Cluster Subdivision

Comprehensive Land Use Plan Reference: Low Density Area

Councilmanic District: Mr. Vincent

School District: Laurel School District

Fire District: Laurel Fire Company

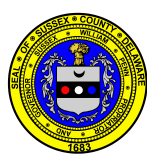
Sewer: On-Site Septic

Water: Private Wells

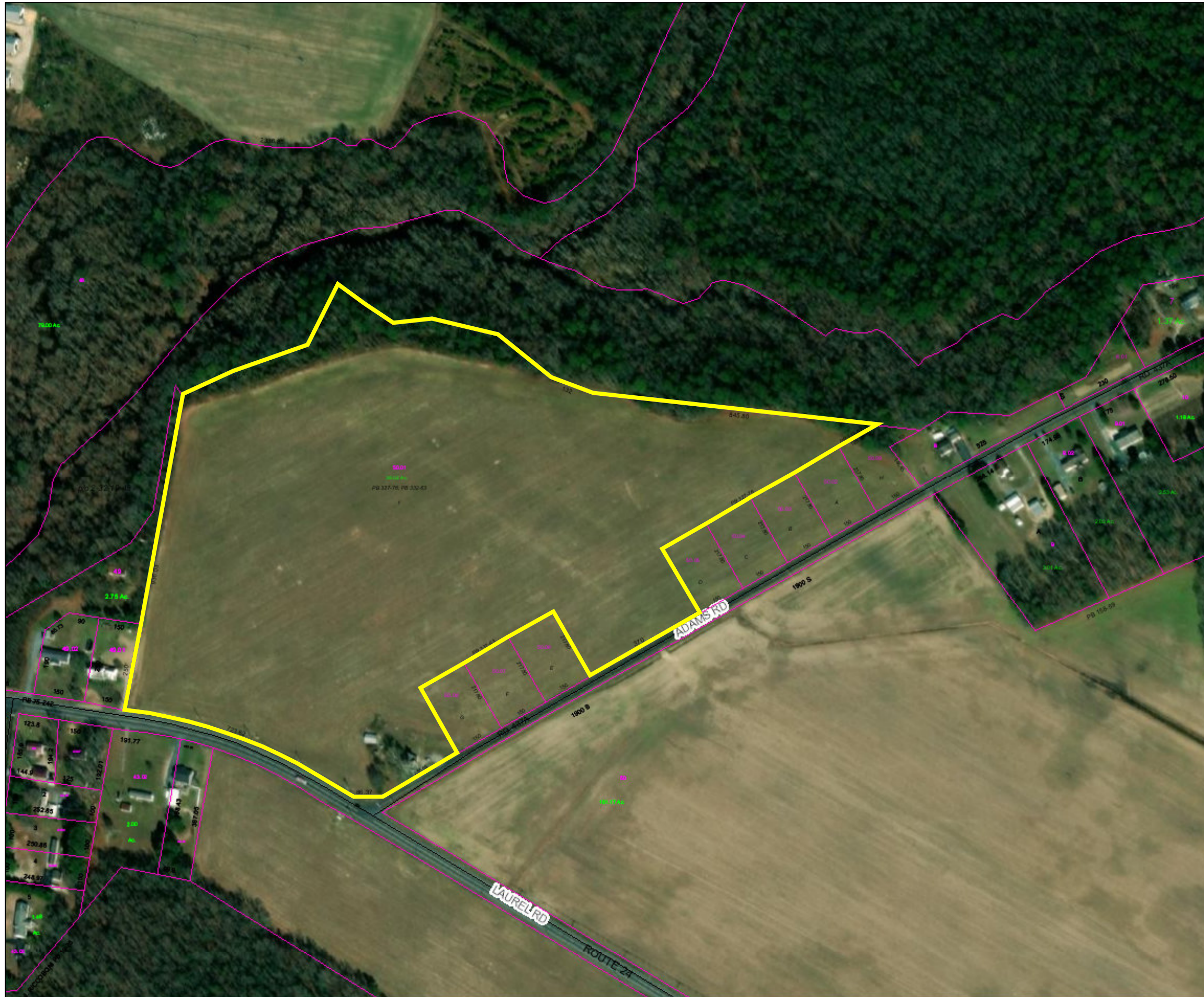
Site Area: 39.02 +/- acres

Tax Map ID.: 232-19.00-50.01





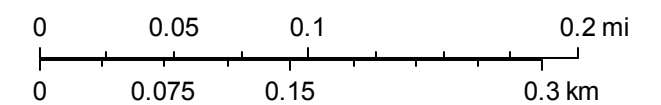
Sussex County



PIN:	232-19.00-50.01
Owner Name	SUSSEX VENTURES INC
Book	5193
Mailing Address	25051 WARD FARM LN
City	MILLSBORO
State	DE
Description	NW/ADAMS RD
Description 2	NE/LAUREL RD
Description 3	N/A
Land Code	

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Override 1
- Tax Parcels
- Streets
- County Boundaries
- Municipal Boundaries

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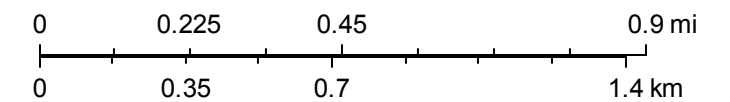
Sussex County



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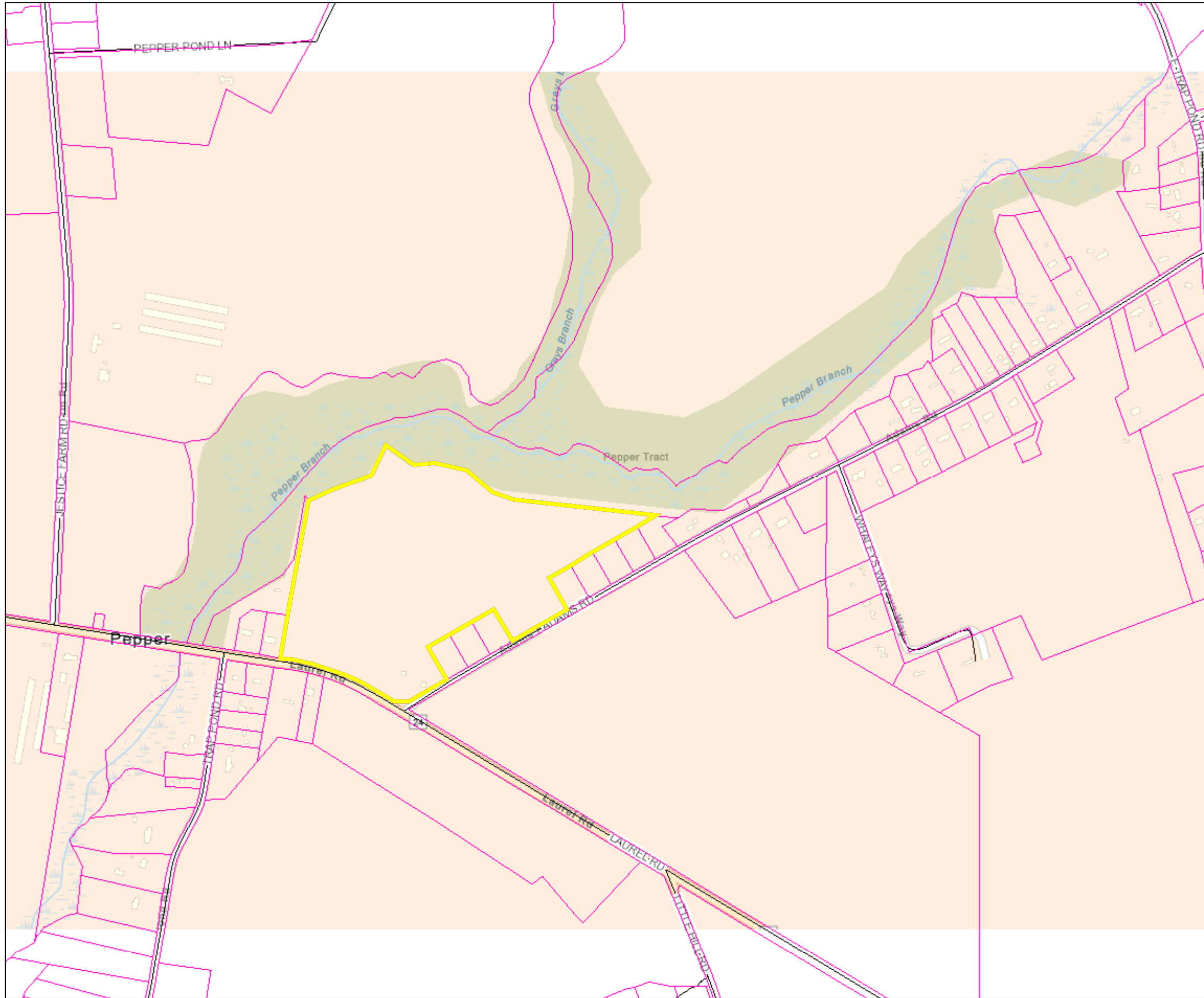
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-  Streets

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Sussex County



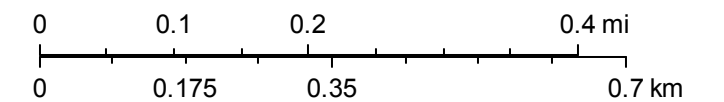
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Mailing Address	25051 WARD FARM LN
City	MILLSBORO
State	DE
Description	NW/ADAMS RD
Description 2	NE/LAUREL RD
Description 3	N/A
Land Code	

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 - Override 1
- polygonLayer**

 - Override 1
- Tax Parcels
- Streets
- County Boundaries
- Municipal Boundaries

1:9,028



File #: 2020-10

202008122

Sussex County Major Subdivision Application

Sussex County, Delaware

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check applicable)

Standard:

Cluster:

ESDDOZ:

Location of Subdivision:

North Corner of SCR 437A (Adams Road) and Delaware Route 24 Intersection

Proposed Name of Subdivision:

The Crossings at Trap Pond

Tax Map #: 232-19.00-50.01 (P/O) Total Acreage: 39.02 Ac.

Zoning: AR-1 Density: 1.0 Minimum Lot Size: 0.5 Ac Number of Lots: 39

Open Space Acres: 11.79 Ac.

Water Provider: Private Wells Sewer Provider: Private Septic

Applicant Information

Applicant Name: Sussex Ventures, Inc.

Applicant Address: 25051 Ward Farm Lane

City: Millsboro State: DE Zip Code: 19966

Phone #: 302.934.5687 E-mail: wards@mchsi.com

Owner Information

Owner Name: Sussex Ventures, Inc.

Owner Address: 25051 Ward Farm Lane

City: Millsboro State: DE Zip Code: 19966

Phone #: 302.934.5687 E-mail: wards@mchsi.com

Agent/Attorney/Engineer Information

Agent/Attorney/Engineer Name: The Kercher Group, Inc. (C/o John Murray)

Agent/Attorney/Engineer Address: 37385 Rehoboth Ave. Ext., Unit #11

City: Rehoboth Beach State: DE Zip Code: 19971

Phone #: 302.854.9063 E-mail: jom@kerchergroup.com

302-344-1055 (cell)



Check List for Sussex County Major Subdivision Applications

The following shall be submitted with the application

- Completed Application**
- Provide fifteen (15) copies of the Site Plan or Survey of the property and a PDF (via e-mail)**
 - Plan shall show the existing conditions, setbacks, roads, floodplain, wetlands, topography, proposed lots, landscape plan, etc. **Per Subdivision Code 99-22, 99-23 & 99-24**
 - Provide compliance with Section 99-9.
 - Deed or Legal description, copy of proposed deed restrictions, soil feasibility study
- Provide Fee \$500.00**
- Optional - Additional information for the Commission to consider** (ex. photos, exhibit books, etc.) If provided submit seven (7) copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.
- Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.**
- PLUS Response Letter** (if required)
- 51% of property owners consent if applicable**

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney



Date: 7/15/20

Signature of Owner



Date: 7/15/20

For office use only:

Date Submitted: _____ Fee: \$500.00 Check #: _____

Staff accepting application: _____ Application & Case #: _____

Location of property: _____

Date of PC Hearing: _____ Recommendation of PC Commission: _____

**SUSSEX COUNTY ENGINEERING DEPARTMENT
UTILITY PLANNING & DESIGN REVIEW DIVISION
C/U & C/Z COMMENTS**

RECEIVED

MAY 12 2021

SUSSEX COUNTY
PLANNING & ZONING

TO: **Jamie Whitehouse**

REVIEWER: **Chris Calio**

DATE: **5/7/2020**

APPLICATION: **2020-10 The Crossings (FKA The Crossing at Trap Pond**

APPLICANT: **Sussex Ventures, Inc.**

FILE NO: **WSPA-5.01**

TAX MAP &
PARCEL(S): **232-19.00-50.01**

LOCATION: **North side of intersection of Laurel Road (Rt. 24) and Adams
Road (SCR 437A)**

NO. OF UNITS: **39 single family lots**

GROSS
ACREAGE: **39.02 +/-**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

SEWER:

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?
Yes No
- a. If yes, see question (2).
b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 4**
- (3). Is wastewater capacity available for the project? **N/A** If not, what capacity is available? **N/A**.
- (4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **No** If yes, the current System Connection Charge Rate is **Unified \$6,360.00** per EDU. Please contact **N/A** at **302-855-7719** for additional information on charges.

(6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **No**

Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.

(7). Is project adjacent to the Unified Sewer District? **No**

(8). Comments: **Click or tap here to enter text.**

(9). Is a Sewer System Concept Evaluation required? **No**

(10). Is a Use of Existing Infrastructure Agreement Required? **No**

UTILITY PLANNING APPROVAL:



John J. Ashman
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.
Lisa Walls
No Permit Tech Assigned

JAMIE WHITEHOUSE, AICP MRTPI
PLANNING & ZONING DIRECTOR
(302) 855-7878 T
(302) 854-5079 F
jamie.whitehouse@sussexcountyde.gov



Sussex County
DELAWARE
sussexcountyde.gov

Memorandum

To: Sussex County Technical Advisory
Committee From: Nick Torrance, Planner I
Date: July 27th, 2020
RE: Major Subdivision

The Sussex County Planning and Zoning Office has received an application for a major subdivision that requires review by the Sussex County Technical Advisory Committee. Please review the application and provide comments back to the Planning and Zoning Office on or before **September 28th, 2020**.

2020-10 – The Crossings at Trap Pond- This is a Cluster subdivision. The Cluster subdivision is for the creation of thirty-nine (39) single family lots. The property is located on the northwest corner of the intersection of Laurel Rd. (Route 24) and Adams Rd (S.C.R. 437A). Tax Parcel: 232-19.00-50.01 (Part of). Zoning: AR-1 (Agricultural Residential District). Owner: Sussex Ventures, LLC.

Please feel free to send your comments via e-mail. Please feel free to contact me with any questions at (302) 855-7878 during normal business hours 8:30am-4:30pm Monday through Friday or e-mail me at nicholas.torrance@sussexcountyde.gov.



STATE OF DELAWARE
**DEPARTMENT OF NATURAL RESOURCES AND
ENVIRONMENTAL CONTROL**

DIVISION OF WATER
21309 BERLIN ROAD, UNIT 2
GEORGETOWN, DELAWARE 19947

**GROUNDWATER
DISCHARGES**

PHONE
(302) 856-4561

February 16, 2021

Sussex Ventures, Inc.
25051 Ward Farm Lane
Millsboro DE 19966

RE: Feasibility Study
Lands of Sussex Ventures, Inc., The Crossings at Trap Pond
Tax Map No.: 232-19.00-50.01, Proposed Lots 1 Through 39

Dear Sussex Ventures, Inc.:

The Department of Natural Resources and Environmental Control (the Department) received a submission from Scaled Engineering, Inc. (SEI) and AAA Environmental Services (AAAESA), on February 1, 2021, requesting a non-binding statement of feasibility for subdivision as required by the Regulations Governing the Design, Installation and Operation of On-Site Wastewater Treatment and Disposal Systems, dated January 4, 1985, last amended on January 11, 2014 (the Regulations).

The submission consists of a report titled "SOIL FEASIBILITY REPORT, THE CROSSINGS AT TRAP POND," prepared by SEI and AAAES, dated January 29, 2021, that summarizes the information collected. The report includes, but is not necessarily limited to, the following information:

- A summary of the study,
- a plan titled "Soil Feasibility Plan," prepared by SEI (hereafter referred to as the Plan),
- a plan titled "Preliminary Plan (Not To Be Recorded), RECORD PLAN, THE CROSSINGS AT TRAP POND," prepared by The Kercher Group, Inc., dated 6/9/20, showing the conceptual lot layout of the proposed subdivision, including number and area for each of the proposed lots (metes and bounds not provided),
- soil profile notes and the results of infiltration testing,
- various reference maps, and
- a Sussex County Property Information form as proof of ownership.

Information shown by the Plan includes, but is not limited to, topography at an apparent 1-foot contour, locations of soil borings, test pits and infiltration tests, locations of wells within 150 feet and map units delineated by SEI and AAAES as related to on-site wastewater treatment and disposal system (OWTDS) feasibility.

Background Information

The property is located north of the intersection of Adams Road (437-A) and Laurel Road (SCR 24). The owner/developer proposes to subdivide the 42± acre parcel into 39 single-family residential building lots ranging in size from 0.50± to 0.79± acres. The parcel will hereafter be referred to as the project site. Based on information provided by SEI and AAAEA most of the project site is farmland. A fringe of woods is located along the project site's northern boundaries.

Soils Investigations by SEI and AAAES and Discussion

Thirty soil borings (SB) and six test pits (TP) were reportedly performed, logged, and submitted by SEI as part of the study. Three mapping units were delineated by SEI and AAAEA including the Potential Gravity OWTDS (GR) map unit, the Potential Low Pressure Pipe OWTDS (LPP) map unit and the Potential Sand Mound OWTDS (SM) map unit. No development is being proposed in the SM map unit and therefore, it will not be discussed.

The GR map unit has estimated limiting zones of 48 to 68 inches below the soil surface and estimated percolation rates of from 35 to 55 minutes per inch (MPI). Falling-head single-ring infiltration tests were performed in the GR map unit resulting in a measured rate of approximately 9 MPI. Estimated limiting zones, estimated percolation rates and the results of in-the-field measured infiltration rates suggest that the GR map unit is feasible for OWTDS.

The LPP map unit has estimated limiting zones of 27 to 46 inches below the soil surface and estimated percolation rates of from 30 to 75 MPI. Falling-head single-ring infiltration tests were performed in the LPP map unit resulting in measured rates of from 7 to 13 MPI. Estimated limiting zones, estimated percolation rates and the results of in-the-field measured infiltration rates suggest that the LPP map unit is feasible for OWTDS.

Conclusions

- Based on information collected, analyzed and presented by SEI and AAAEA, it appears that proposed lots 1 through 39 as depicted by the Plan have sufficient area to accommodate at least an initial OWTDS as long as judicious and coordinated use of land is exercised and areas delineated as being feasible for OWTDS as depicted by the Plan are accurate.

Site Preparation

Removal, disturbance, or compaction of soils mapped as being feasible for OWTDS during any portion of the construction and building phase other than that necessary for system installation may result in the rescission of the site evaluation approval. Soil material from road cuts and other excavated sources should not be placed on any portion of areas proposed for OWTDS. It is best to keep all areas proposed for OWTDS free from any form of disturbance by methods such as staking, flagging, or fencing. The Department reserves the right to inspect the construction site at any time to ensure compliance with the above.

Sussex Ventures, Inc.
February 16, 2021
Page 3 of 3

Future Requirements and Comments

Prior to obtaining individual OWTDS construction permits complete site evaluation reports will be required for all lots in accordance with the Regulations. The Department requires one copy of the **Record Plat** following final subdivision approval by the Planning and Zoning Commission of Sussex County prior to processing and approving any site evaluations.

Non-Binding Statement of Feasibility

Based on the information prepared, analyzed and presented by SEI and AAAEA, it is the opinion of the Department that the proposed subdivision as shown by the Plan would be feasible for at least an initial OWTDS in accordance with the Regulations Governing the Design, Installation and Operation of On-Site Wastewater Treatment and Disposal Systems, dated January 4, 1985, last amended on January 11, 2014, as long as judicious and coordinated use of land is exercised and areas delineated by AE as being feasible for OWTDS as depicted by the Plan are accurate.

The comments in this letter are technical and are not intended to suggest that the Department supports this development proposal. This letter does not in any way suggest or imply that you may receive or may be entitled to permits or other approvals necessary to construct the development you indicate or any subdivision thereof on these lands.

Sincerely,

J. Scott Kline

J. Scott Kline
Environmental Scientist

Cc: Josh Stallings – SEI
Mike Stallings - AAAEA
file

MAPPING & ADDRESSING

MEGAN NEHRBAS
MANAGER OF GEOGRAPHIC
INFORMATION SYSTEMS (GIS)
(302) 855-1176 T
(302) 853-5889 F



Sussex County
DELAWARE
sussexcountyde.gov

October 28, 2020

Sussex Ventures
Attn: Drew Ward

RE: The Crossings

I have received proposed street name(s) for the proposed subdivision, **The Crossings**, located in Laurel. In reviewing the proposed street name(s) the following have been approved:

Eagle Way		
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Use only approved road names that you have written confirmation for or you will be required to rerecord. Each street name is to be used only once.

Upon final approval of **The Crossings** please forward a copy of the recorded site plan to my attention. Our office would appreciate a digital copy if at all possible, for the purpose of addressing. Should you have any questions, please contact the Sussex County Addressing Department at 302-855-1176.

Sincerely,

Terri L. Dukes

Terri L. Dukes
Addressing Technician II

CC: Christin Headley
Planning & Zoning



MAPPING & ADDRESSING

MEGAN NEHRBAS
MANAGER OF GEOGRAPHIC
INFORMATION SYSTEMS (GIS)
(302) 855-1176 T
(302) 853-5889 F



Sussex County
DELAWARE
sussexcountyde.gov

October 28, 2020

Sussex Ventures
Attn: Don & Drew Ward

RE: Proposed Subdivision Name(s)

I have reviewed the name(s) submitted for your proposed subdivision which is located in Laurel (232-19.00-50.01). In reviewing the proposed name(s) the following has been approved for this subdivision:

The Crossings

Should you have any questions please contact the Sussex County Addressing Department at 302-853-5888 or 302-855-1176.

Sincerely,

Terri L. Dukes

Terri L. Dukes
Addressing Technician II

CC: Christin Headley
Planning & Zoning



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 589
GEORGETOWN, DELAWARE 19947

ENGINEERING DEPARTMENT

ADMINISTRATION	(302) 855-7718
AIRPORT & INDUSTRIAL PARK	(302) 855-7774
ENVIRONMENTAL SERVICES	(302) 855-7730
PUBLIC WORKS	(302) 855-7703
RECORDS MANAGEMENT	(302) 854-5033
UTILITY ENGINEERING	(302) 855-7717
UTILITY PERMITS	(302) 855-7719
UTILITY PLANNING	(302) 855-1299
FAX	(302) 855-7799



2020-10
Sussex County

DELAWARE
sussexcountyde.gov
HANS M. MEDLARZ, P.E.
COUNTY ENGINEER
MICHAEL E. BRADY
DIRECTOR OF PUBLIC WORKS

August 12, 2020

REF: **T. A. C. COMMENTS
THE CROSSINGS AT TRAP POND
TIER 4
SUSSEX COUNTY ENGINEERING DEPARTMENT
SUSSEX COUNTY TAX MAP NUMBER
232-19.00 PARCEL 50.01
PROJECT CLASS-5
AGREEMENT NO. 1151**

The following comments are the result of the Sussex County Engineering Department's review of the preliminary site plan for the above referenced project:

PUBLIC WORKS DIVISION COMMENTS

1. Proposed developments with private roads or projects required by the County to conform to or exceed the County street design requirements shall be regulated by and conform to Sussex County Code and the comments here listed.
2. The road pavement width shall meet current County code requirements at 24 feet width minimum; reference SCC 99-18, E. (1)(b).
3. Sidewalk placement shall conform to County Code 99-18, E. (9)(d).
4. This project is not located within the limits of a Ground Water Management Zone (GMZ). (Projects located within a GMZ must be forwarded to the County Engineer for review and comment.)
5. Project Construction Drawings shall show, in detail, the proposed improvements. The work required includes preparation and delivery of an AutoCAD 2012 digitized plan showing existing and proposed lines, grades, topography and features in a given area, which was utilized in preparing plans for construction. The individual sheet types will be in a separate design to show plan views on sheets separate from profile views. In addition, each sheet of the plans shall be submitted in a PDF format.
6. All work shall be geo-referenced to the Delaware State Grid System NAD-83 (HARN) and provided in an AutoCAD 2012 format. North will always be shown in an up direction on all plans.
7. Topographic contours at one-foot intervals shall be shown and referenced to United States Geological Survey Mean Sea Level Datum NAVD 1988 Datum.



8. The plans shall be provided on 24" x 36" drawing sheets at a scale of 1" = 50'.

The plans shall show and address the following items at minimum:

9. The project requires professional land surveying services to accurately delineate, and show the following items but is not limited to the following: all property and right-of-way lines, established at a minimum, two (2) horizontal and vertical control concrete project benchmarks, survey monuments, easements, existing and proposed topographic contours at 1-foot vertical intervals and spot elevations as necessary to establish grades, the locations of all existing structures, highway and roadway pavements, shoulders, curbs, driveways, sidewalks, lighting structures, traffic control signs, and all public and private utilities, including, but not limited to, electric power and telephone lines, poles and boxes, underground electric, telephone, and communication lines, potable water lines, fire hydrants and valve boxes, gas lines, wells, sanitary sewers including septic systems, rim and invert elevations of manholes and cleanouts, and the rims and invert elevations and type of storm water structures, drainage ditches, ponds, streams and waterways, flood zones and flood zone boundaries and elevations, and State and Federal wetlands, trees, cemeteries and historic features, and the finished floor elevations of buildings.
10. Plans shall show the seal and signature of a registered Delaware land surveyor or registered Delaware professional engineer.
11. The plan requires a Certification Signature and/or a Certification Block for the Delaware Professional Engineer or Delaware Land Surveyor.
12. The plan requires a Certification Signature and/or a Certification Block for the Owner or Representative of the Owner.
13. The plan requires a Certification Signature and/or a Certification Block for the Professional Wetlands Delineator.
14. The name, address, phone number and contact person's name of the Owner of Record, the Developer and the Engineer or Surveyor preparing the plan.
15. Indicate the location of all wetlands (both state and federal), in order to facilitate compliance with County, State and Federal requirements.
16. Define the courses and distances of the property perimeter and the approximate acreage contained therein. Establish and set in the field two (2) CONCRETE MONUMENT project benchmarks, preferably at property perimeter corners, geo-referenced to the Delaware State Plane Coordinate system NAD 83 and show the location including the North and East coordinates of the marks on the plans.
17. Indicate the development construction phases proposed showing the boundaries of each phase. Phasing boundaries shall include buildings, residential units, amenities, roads, storm water management facilities, wastewater systems and all other improvements and utilities required to service each phase.
18. Show the layout, width and names of all streets, alleys, crosswalks and easements proposed to be dedicated for private or public use. Street names shall not duplicate nor closely resemble existing street names in the same hundred or postal district, except for extensions of existing streets.

19. When on site individual septic tank systems are to be used and the lot topography is to be modified by cuts and fills it is required that the Design Engineer contact the Delaware Department of Natural Resources and Environmental Control, Division of Groundwater Water Discharge Section, 20653 DuPont Boulevard, Unit 5, Georgetown, DE 19947, phone number 302-856-4561 subject to mass grading operations for documented approval.
20. Provide the limits and elevations of the onehundred (100) year flood. This may require the design engineer to complete an analysis and provide a report including the depiction of the subject watershed(s), calculations and other technical data necessary to determine the limits and elevations base flood. The design engineer must resolve discrepancies, if any, between surveyed topography and the FEMA Flood Insurance Rate Maps.
21. False berms shall not be utilized to create roadside drainage swale back slopes.
22. For parking lots and drives, provide spot elevations at the edge of pavement, right-of-way or travel way centerline, at changes in grade, and high points and low points, to the nearest drainage facilities. Show the limits of the various surface materials and provide construction sections.
23. Provide and show the locations and details of all ADA compliant accessible walks and ramp features.
24. If the site has a cemetery located on it the Developer shall contact the Delaware State Historic Preservation Office and satisfy the requirements of that Office prior to beginning any construction activity. This area shall not be disturbed by this project. Adequate access to the site and buffers to protect the site, shall be provided.
25. Private rights-of-way adjacent to and abutting parcels not part of the project shall be located and designed to provide adequate buffer so that construction activities do not encroach onto adjacent properties.
26. Provide statements explaining how and when the developer proposes to provide and install the required water supply, sewers or other means of sewage disposal, street pavement, drainage structures and any other required improvements.
27. Provide statements concerning any proposed deed restrictions to be imposed by the owner.
28. Where special physical conditions exist, which may act as constraints on normal development or may preclude development, the developer may be required to submit special technical data, studies or investigations. This information must be prepared by individuals technically qualified to perform such work. Additional information may include but is not limited to the following: on-site sanitary sewage disposal feasibility, water supply surveys, such as test well drilling, storm water runoff computations and identification of areas subject to periodic flooding.
29. If special conditions are found to exist, the Engineering Department may elect to withhold approval of a construction plan until it is determined that it is technically feasible to overcome such conditions. The Engineering Department may then require the developer to incorporate specific improvement design criteria into the plat as a



Natural Resources
Conservation Service

September 4, 2020

Georgetown
Service Center

Jamie Whitehouse, Director
Sussex County Planning & Zoning
Sussex County Courthouse
Georgetown, DE 19947

21315 Berlin Road
Unit 3
Georgetown, DE
19947

**RE: The Crossing at Trap Pond
Broad Creek Hundred
39 single family lots**

Voice 302.856.3990
Fax 855.306.8272

Dear Mr. Whitehouse:

Soils within the delineated area on the enclosed map are:

- Pk Puckum muck, frequently flooded
- PpA Pepperbox loamy sand, 0 to 2 percent slopes
- RuA Runclint loamy sand, 0 to 2 percent slopes
- RuB Runclint loamy sand, 2 to 5 percent slopes

Soil Interpretation Guide

Soil Limitation Class

Buildings

Map Symbol	Urbanizing Subclass	With Basement	Without Basement	Septic Filter Fields
Pk	R5	Very limited	Very limited	Very limited
PpA	Y2	Very limited	Somewhat limited	Very limited
RuA	Y2	Somewhat limited	Not limited	Very limited
RuB	Y2	Somewhat limited	Not limited	Very limited

Definition of soil limitation ratings classes:

Rating class terms indicate the extent to which the soils are limited by all of the soil features that affect building site development.

"**Not limited**" indicates that the soil has features that are very favorable for the specified use. Good performance and very low maintenance can be expected.

"**Somewhat limited**" indicates that the soil has features that are moderately favorable for the specified use. The limitations can be overcome or minimized by special planning, design, or installation. Fair performance and moderate maintenance can be expected.

"**Very limited**" indicates that the soil has one or more features that are unfavorable for the specified use. The limitations generally cannot be overcome without major soil reclamation, special design, or expensive installation procedures. Poor performance and high maintenance can be expected.

R5:

Areas of tidal marsh, swamp, and shallow muck which remain extremely wet all or most of the year. Excavations are likely to fill with water in late winter or early spring. Delayed construction in the spring - slow to dry out. Wet basements or foundations probable. Hazard of temporary ponding of water in areas lacking outlets. Potential flood damage, or subject to wave and tidal action.

Y2:

The soils in this classification are nearly level or gently sloping, moderately well drained or well drained with ground water between four to six feet from the surface, and are subject to seasonal high water tables. Seasonal wetness and seepage around foundations moderately limits these soils for residential use. The principal soil limitations are: 1) lateral seepage in subsoil causes concentration of water around foundations, 2) soil is highly susceptible to frost action, 3) excavations are likely to fill with water in late winter or early spring, and 4) wet basements or foundations are probable.

The soil interpretations above do not eliminate the need for detailed investigations at each proposed construction site. However, the interpretations can serve as a guide to planning more detailed investigations. No consideration was given in these interpretations regarding the size and shape of the soil area; nor to the pattern they form with other soils in the landscape. Also, because of the scale of the maps used, small areas of other kinds of soils may be included within some delineations of the soil map. Thus, an individual lot or building site could occupy a small area that would not fit the interpretations given for the soils symbol representing the entire delineation of the map. Interpretations apply to the soils in their natural state and not for areas that may have been altered through grading, compacting, and the like.

Sincerely,

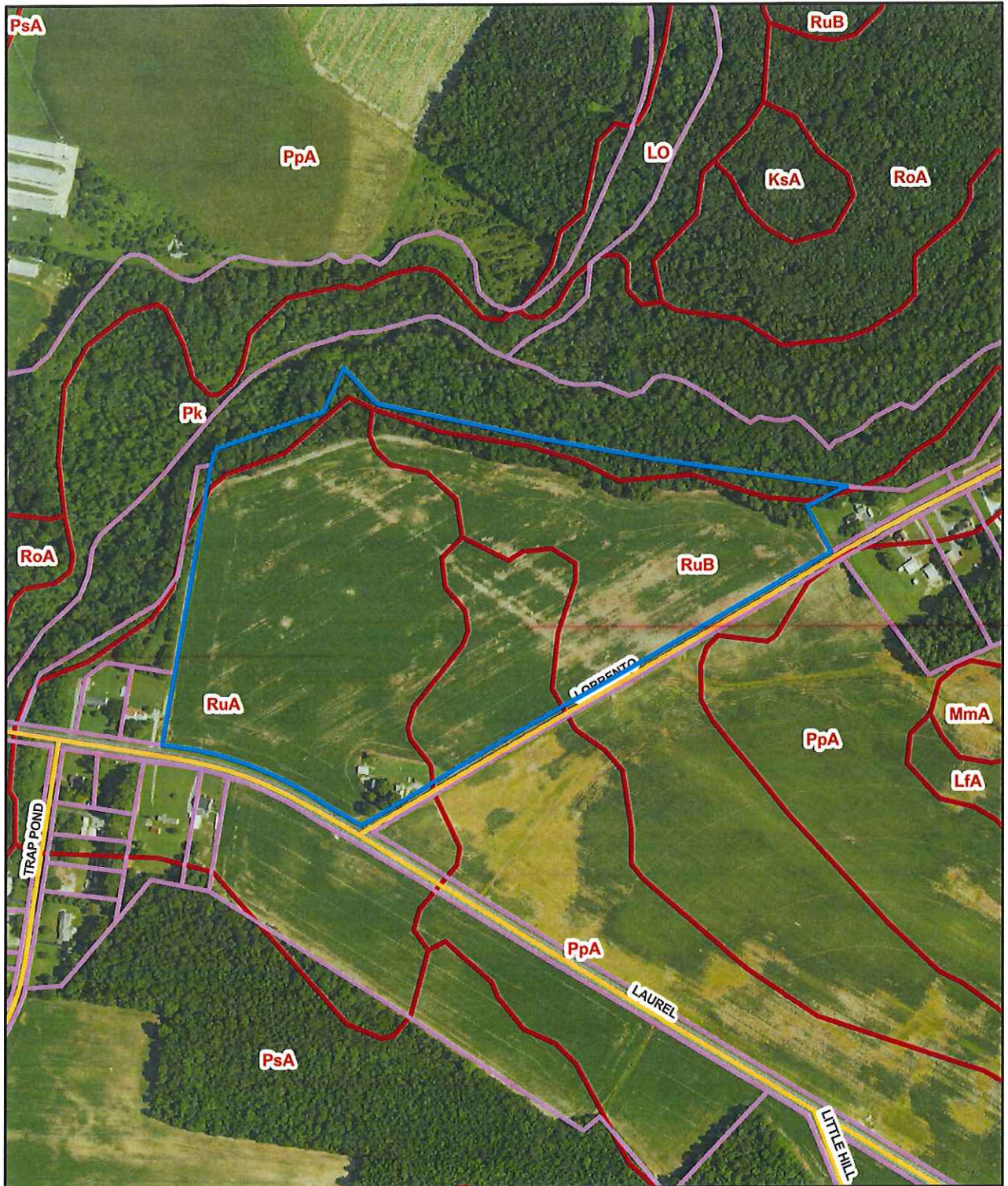


Thelton D. Savage
District Conservationist
USDA, Natural Resources Conservation Service

TDS/bh



2020-10
TM #232-19.00-50.01
The Crossings at Trap Pond



2020-10
TM #232-19.00-50.01
The Crossings at Trap Pond



DELAWARE DEPARTMENT OF
AGRICULTURE

2320 SOUTH DUPONT HIGHWAY
DOVER, DELAWARE 19901
AGRICULTURE.DELAWARE.GOV

TELEPHONE: (302) 698-4500
TOLL FREE: (800) 282-8685
FAX: (302) 697-6287

August 20, 2020

Nick Torrance, Planner I
Planning & Zoning Commission
P.O. Box 417
Georgetown, Delaware 19947

Subject: **Preliminary Plans for The Crossings at Trap Pond**

Dear Mr. Torrance,

Thank you for providing preliminary plans for The Crossings at Trap Pond subdivision submitted by The Kercher Group, Inc. The plans submitted to our section dated July 27, 2020 are sufficient to meet the Sussex County Planning and Zoning Forested Buffer Ordinance.

The Delaware Forest Service recommends the plans reflect tree planting specifications and that the ISA ANSI A300 best management practices are followed for newly installed trees. DFS recommends planting a 70/30 mix of hardwood and evergreen tree species. There are several tree species that are not recommended for planting in the state due to their invasive nature or the susceptibility to pests and diseases. These species are listed on our department website.

The Delaware Forest Service has no further comment to The Crossings at Trap Pond preliminary subdivision plans dated July 27, 2020 at this time.

If you have any questions please feel free to contact me at taryn.davidson@delaware.gov.

Sincerely,

Taryn Davidson
Urban Forestry Program
Delaware Forest Service



STATE OF DELAWARE

DEPARTMENT OF TRANSPORTATION

800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

September 29, 2020

Nick Torrance
Planner I, Sussex County Planning & Zoning Department
Sussex County Administration Building
P.O. Box 417
Georgetown, DE 19947

SUBJECT: September T.A.C. MEETING

Dear Nick:

The Department has reviewed the information for the above referenced meeting and offers these comments on the following site:

1. Subd. #2020-10, The Crossings at Trap Pond
Tax Map #232-19.00-50.01 Review Mgr.: Susanne Laws, See attachment

As always, should you have any questions, please feel free to give me a call.

Sincerely,

John Andrescavage
Sussex County Reviewer
302-760-2512

Attachment

Cc: Gemez W. Norwood, South District Public Works Manager
Robert Bragg, South District Subdivision Manager
Susanne Laws, Sussex County Review Coordinator

DEPARTMENT OF TRANSPORTATION
COMMENTS FOR
T.A.C. MEETING
OF September 2020

Lands of Sussex Ventures, LLC
Tax Map #232-19.00-50.01
SCR 24 (Laurel Road) & SCR 437A (Adams Road)
Sussex County

#2020-10, The Crossings at Trap Pond

1. Please refer to the “*Development Coordination Manual*” manual for the design of the subdivision streets and/or entrance. The website for the manual is the following;

<http://www.deldot.gov/Business/subdivisions/index.shtml?dc=changes>
2. For all projects, any sub-station and/or wastewater facilities will be required to have access from the internal subdivision street with no direct access to the State maintained highway.
3. For all projects, a 20-foot wide buffer will be required from the edge of the stormwater management pond to the ultimate right-of-way of the County road. The ultimate right-of-way is based on the functional classification of the road.
4. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.2.5.1.2: Frontage Easements, a 15-foot wide permanent easement will need to be established across the property frontage. The location of the easement shall be outside the limits of the ultimate right-of-way for this road. The following note is required, “**A 15-foot wide permanent easement is hereby established for the State of Delaware, as per this plat.**”
5. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.2.5: Dedication of Right-Of-Way and Easements, Figure 3.2.5-a Minimum Standards for Total Roadway Right-Of-Way, the project shall be subject to dedicate right-of-way in accordance to the minimum standards.
6. Referring to the “*Development Coordination Manuals*”, Chapter 3 – Record Plan Design, Section 3.2.4.1: Subdivision Street Right-Of-Way Monuments, right-of-way monuments are recommended to be furnished and placed along the private subdivision street.
7. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.2.4.2; Frontage Road Right-of-Way Monumentation, concerning the right-of-way markers being placed to provide a permanent reference for re-establishing the right-of-way and property corners along frontage roads. Due to the right-of-way dedication,

show and note the property corners markers that will need to be installed.

8. Referring to the "*Development Coordination Manual*", Chapter 3 – Record Plan Design, Section 3.5.5: Transit Facilities, transit facilities requirements shall be followed as required by DTC or DelDOT.
9. Referring to the "*Development Coordination Manual*", under Chapter 3; Record Plan Design, Section 3.2.5.1.1 – Easements, if this development is proposing a neighborhood sign/structure, then a permanent easement shall be established at the entrance. The easement shall be located outside of any existing and/or proposed right-of-way. It will also need to be verified that the sign/structure does not pose a sight distance and/or safety hazard.
10. Metes and bounds and total areas need to be shown for any drainage easements. A minimum 20-foot wide drainage easement must be provided for storm drainage systems, open or closed, that fall outside the existing right-of-way or the drainage/utility easement. These easements shall be shown and noted on record plan. w
11. Referring to the "*Development Coordination Manual*", Chapter 3 – Record Plan Design, Section 3.5: Connectivity, connectivity requirements shall be followed for all development projects having access to state roads or proposing DelDOT maintained public road for subdivisions. Private or municipal streets should follow the local land use agency's requirements for connectivity.
12. Referring to the "*Development Coordination Manual*", Chapter 3 – Record Plan Design, Section 3.4.2.1: Record Plan Content, the traffic generation diagram is required. See Figure 3-4-2-a: Traffic Generation Diagram for what is required.
 - a. Please refer to the attached site plan (first attachment) that shows the traffic generation diagram that was approved by DelDOT's Traffic Impact Studies Section.
13. Referring to the "*Development Coordination Manual*", Chapter 3 – Record Plan Design, Section 3.4.2: Record Plan Submittal Requirements, adjacent existing features are required to be shown in accordance with Figure 3.4.2-b.
14. It will need to be noted on the Record Plan the type of off-site improvements and when the off-site improvements are warranted for this project.
15. Referring to the "*Development Coordination Manual*", Chapter 2 – Traffic Analysis and Improvements, it will need to be determined if a Traffic Impact Study (T.I.S.), Area-Wide Study Fee or a Traffic Operational Analysis (T.O.A.) will be required.
16. As per the Delaware State Strategies for Policy and Spending Map, this project is located within Investment Level III or IV. Referring to the Departments Shared-Use Path/Sidewalk Policy a project an all Level III and Level IV areas are required to install a

path/sidewalk along the property frontage if the project abuts to an existing facility. If the project does not abut an existing facility, it will be at the Subdivision Engineer's discretion. No fee in lieu of construction will be required.

17. Referring to the "*Development Coordination Manual*" under Chapter 5; Design Elements, Section 5.2.5 – Subdivision and Commercial Entrance Design Guidelines – Intersection Corner Radii, a separate turning template plan shall be provided to verify vehicles can safely enter/exit the entrance. The entrance shall be designed for the largest vehicle using the entrance.
18. Please check to determine if any utilities will need to be relocated as part of this project.
19. Standard General Notes have been updated and posted to the DelDOT Website. Please begin using the new versions and look for the revision date of March 2019 and August 2020. The notes can be found at the following website under the *Guidance* tab;
<http://www.deldot.gov/Business/subdivisions/index.shtml>
20. All PLUS/TAC comments shall be addressed prior to submitting the plans for review.
21. Referring to the "*Development Coordination Manual*", Chapter 6 – Construction Administration, Section 6.4.3: Commercial Entrances – Inspection and Acceptance, Figure 6.4.3-a: Construction Inspection Responsibilities, determine if the project is a Level 1 or Level 2 project and if an inspection agreement will be required.
22. The Auxiliary Lane Spreadsheet has been posted to the DelDOT website. Use this spreadsheet to determine if auxiliary lanes are warranted. The Auxiliary Lane Spreadsheet can be found at the following website under the *Forms* tab;
<http://www.deldot.gov/Business/subdivisions/index.shtml>
23. Referring to the "*Development Coordination Manual*" under Chapter 5; Design Elements, Section 5.4 – Sight Distance, a sight distance triangle is required. A spreadsheet has been developed to assist with this task and can be found on the following website under the *Forms* tab;
<http://www.deldot.gov/Business/subdivisions/index.shtml>
24. Please refer to the "*Development Coordination Manual*" Chapter 3; Record Plan Design, Section 3.4.1 Commercial or Major Residential Subdivisions – Record Plan Application Process, concerning if a pre-submittal meeting is required.
 - a. A pre-submittal meeting was held on July 17, 2020 with The Kercher Group to discuss the proposed development. Please refer to the attached pre-submittal draft meeting minutes (the meeting minutes are not finalized) and the attached correspondence for additional information.
25. Effective August 1, 2015, all new and resubmittals shall be uploaded via the PDCA with

any fees paid online via credit card or electronic check (ACH). The design firm making the submittal must create the project in the PDCA and upload all the required items to allow DeIDOT to start the review process. Our website offers more detailed information, including links to guidance about creating PDCA submittals. This information can be found at the following website under the PDCA section;

<http://www.deldot.gov/Business/subdivisions/index.shtml>

26. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.4.2: Record Plan Submittal Requirements, an Initial Stage review fee shall be assessed to this project.
27. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.4: Commercial or Major Residential Subdivisions, a record plan shall be prepared prior to issuing “Letter of No Objection”. The Record plan submittal shall include the items listed on the Critical Items for Acceptance: Record Plan document that can be found at the following website under the *Guidance* tab;

<https://www.deldot.gov/Business/subdivisions/index.shtml>

28. Referring to the “*Development Coordination Manual*”, Chapter 4 – Construction Plans, Section 4.3: Subdivision Construction Plan Submittal Requirements, the Construction Stage review fee shall be assessed to this project.
29. Referring to the “*Development Coordination Manual*”, Chapter 4 – Construction Plans, a subdivision/entrance plan shall be prepared prior to issuing subdivision/entrance approval. The Entrance/Construction/Subdivision plan submittal shall include the items listed on the Critical Items for Acceptance: Entrance/Construction/Subdivision Set Plans document that can be found at the following website under the *Guidance* tab;

<https://www.deldot.gov/Business/subdivisions/index.shtml>

DELDOT Project Meeting Minutes
Prepared by: John Murray, The Kercher Group, Inc.

Date: July 17, 2020

Project: The Crossings at Trap Pond
TM#: 232-19.00-50.01

Attendees:

Susanne Laws (DeIDOT)
John Andrescavage (DeIDOT)
James Argo (DeIDOT)
Drew Ward (Owner/Applicant)
John Murray (The Kercher Group, Inc.)

Items Discussed:

Open:

- The owners/applicants are proposing to develop The Crossings at Trap Pond, a 39-lot, single-family home subdivision.
- The subject parcel is located at the northwest corner of the Delaware Route 24 (Laurel Road) and Adams Road (SCR 437A) intersection.
- Access to the property will come from Adams Road in the way of a 24'-wide paved entrance.
- DELDOT reserves the right to comment on items not discussed during the meeting during future reviews and/or meetings

All:

- All submittals to be made through PDCA
- Sidewalks along the fronting roadways may be required but that has yet to be determined.
- Adams Road is a local street and will be required to be upgraded along the property frontage to have 11' travel lanes and 5' wide shoulders.
- The entrance width shall be 24' wide, minimum.
- If any islands are proposed in the entrance area, they must be designed as per the DCM.
- There are no capital projects planned within the project vicinity.
- The applicant will be required to contact the DTC to see if any transit facilities will be required or the project.
- A Level 1 inspection agreement will be required for the project.
- The auxiliary lane worksheet will need to be updated as per the mark-ups provided by DeIDOT.
- A request for pavement cores shall be made to DeIDOT for Adams Road.
- It is the responsibility of the owner/applicant to verify rights-of-way and acquire any right-of-way or easements needed for the project.

- The project's Initial Stage Fee shall be \$520.00 and the Construction Stage Fee shall be \$780.00.
- The applicant filed an official application for four (4) minor subdivision lots along Adams Road. An internal access to the minor subdivision lots may be required. As per the applicant, no internal roadways are planned in the vicinity of the minor subdivision lots (open space) and a formal application for the major subdivision has not been made. The minor subdivision lots have been designed as per Sussex County and DeIDOT standards permit.

From: [Laws, Susanne K \(DelDOT\)](#)
To: [John Murray](#)
Cc: [Jamie Whitehouse](#); [Lauren DeVore](#); [Polasko, Wendy \(DelDOT\)](#); [Andrescavage, John \(DelDOT\)](#)
Subject: RE: Project Lands of Sussex Ventures, Inc. -- Submission #2 TAX ID 232-19.00-50.01: Not Accepted - Crossings at Trap Pond
Date: Monday, September 14, 2020 9:53:15 AM
Attachments: [R1 Minor Subdivision Plan.pdf](#)
[R1 Record Plan \(revised\).pdf](#)
[image004.png](#)

Hi John,

Thank you for your email. Although I understand the applicant's rationale behind seeking a minor subdivision of lots in front of a proposed major subdivision, please understand that DelDOT is tasked by regulation with managing access. The Development Coordination Manual (DCM) is explicit regarding the design of entrances for safe and reasonable access while providing the least impact on the existing roadway system and its users (DCM 1.1). Number, spacing, type and location of access have a direct effect on the capacity, speed and safety of the roadway.

DCM 3.3 outlines the requirements for minor residential subdivisions, that the property owner must coordinate access with DelDOT. In our opinion, to preserve capacity and maintain safety on Adams Road, the four proposed lots should take access from an internal subdivision street, which according to the major concept plan would only require 35' of private right-of-way, and could run along the backs of the four minor lots.

I've included Sussex County on this email so that they can understand DelDOT's opinion and recommendation. If the County does not agree with DelDOT and will allow the minor subdivision separate from the major subdivision, please understand that there will be no waivers or deviations allowed by DelDOT for the improvements required under the major subdivision, including but not limited to, turn lane lengths, slopes, lane widths.

We look forward to working with you and the applicant toward a satisfactory resolution and a successful outcome.

Thanks,
Susanne

Susanne K. Laws, P.E.
Sussex County Review Coordinator
President, DelDOT Toastmasters
Planning/Development Coordination
Delaware Department of Transportation
P.O. Box 778 – 800 Bay Road
Dover, DE 19903
(302) 760-2128 office
(302) 760-2569 fax



From: John Murray <jom@kerchergroup.com>



20246 Coastal Highway
Rehoboth Beach, DE 19971
PH: (302) 236-3600
www.scaledengineering.com

SOIL FEASIBILITY REPORT

THE CROSSINGS AT TRAP POND
16201 ADAMS ROAD
LAUREL, DE 19956



PREPARED FOR:
Sussex Ventures Inc
25051 Ward Farm Lane
Millsboro, DE 19966

PREPARED BY:

Scaled Engineering Inc
20246 Coastal Highway
Rehoboth Beach, DE 19971

AAA Environmental Services, LLC
1617 Andrews Lake Road
Felton, DE 19943

A blue ink signature of M. Josh Stallings.

M. Josh Stallings
Class D.2 Soil Scientist
License #4601

A blue ink signature of Michael L. Stallings.

Michael L. Stallings
Class D Soil Scientist
License #2347

TABLE OF CONTENTS

1.0	INTRODUCTION	3
2.0	EXISTING CONDITIONS	3
3.0	NRCS SOIL MAPPING	3
4.0	SITE GEOLOGY	3
5.0	SOIL INVESTIGATION	4
6.0	INFILTRATION TESTING	5
7.0	CONCLUSION	5
	REFERENCES	7

APPENDICES:

APPENDIX A – SUPPORTING DOCUMENTS

APPENDIX B – SOIL FEASIBILITY PLAN

APPENDIX C – SOIL PROFILES

APPENDIX D – INFILTRATION TEST LOGS

1.0 INTRODUCTION

Sussex Ventures Inc (Client) contracted Scaled Engineering Inc (Scaled) and AAA Environmental Services, LLC (AAAES) to perform a soil feasibility study at 16201 Adams Road, Laurel, DE 19956, Sussex County tax parcel number 232-19.00-50.01 (herein referred as “site” and “subject property”). Sussex County zoning form is provided in Appendix A. A major subdivision, named “The Crossings at Trap Pond”, is proposed for the site. Thirty-nine (39) residential, single-family lots, utilizing private on-site well and septic are proposed for the subdivision. The Client is the current landowner and developer of the site. The proposed subdivision plan is provided in Appendix A.

The soil feasibility study was performed in accordance with DNREC Regulations, to evaluate site suitability for on-site wastewater treatment and disposal systems (OWTDS). Soil was evaluated by method of hand-auger borings and test pit analysis. Soil profiles were evaluated in accordance with the United States Department of Agriculture (USDA), Soil Survey Manual (Handbook 18), and USDA Natural Resources Conservation Service (NRCS) Field Book for Describing and Sampling Soils. Soils were classified in accordance with USDA, NRCS “Keys to Soil Taxonomy”, Twelfth Edition, 2014.

2.0 EXISTING CONDITIONS

The site at the time of the investigation consisted of an approximate forty-two (42) acre agricultural/residential lot. The site was improved with a residential dwelling and supporting outbuildings. The site is partially wooded, and currently used for agricultural crop production. The site is bordered to the north by Pepper Branch and Grays Branch watercourses. Per Sussex County Plot Book 327, Page 76, and the US Fish and Wildlife Service, National Wetlands Inventory (NWI), wetlands associated with said watercourses partially exist within the site. Said plot reference and NWI map are provided in Appendix A.

The net development area is 38.915+/- acres. Said area occupies the agricultural farmland portion of the site. Topographically, the area is gently sloped with approximately four (4) feet of relief. The area excludes three (3) proposed lots located along Adams Road, northeast of the existing dwelling.

3.0 NRCS SOIL MAPPING

Per the USDA, NRCS Web Soil Survey, two (2) soil mapping units are delineated for the site, Pepperbox Loamy Sand (PpA) and Runclint Loamy Sand (RuA) and (RuB). Soils mapped in the Pepperbox Loamy Sand (Aquic Arenic Paleudults) mapping unit are moderately well drained with depth to seasonal high water table (SHWT) twenty (20) to forty (40) inches below the soil surface. Soils mapped in the Runclint Loamy Sand (Lamellic Quartzipsamments) mapping unit are excessively drained with depth to SHWT forty (40) to seventy-two (72) inches below the soil surface.

Information in the Web Soil Survey provides insight to regional soil conditions and land uses. Map unit delineations may include areas of other taxonomic classes such as similar or minor components, or complexes. As such, findings of site-specific soil investigations may vary from map unit delineations provided in the Web Soil Survey. The NRCS web soil survey report is provided in Appendix A.

4.0 SITE GEOLOGY

Per The Delaware Geological Survey (DGS), the site is located within the Turtle Branch Formation. Said Formation is interpreted to be a sand-dominated fluvial to tidal and shoreline deposit associated with a high stand of sea level during the middle Pleistocene. The Formation consists of one to five feet of gray coarse sand and pebbles overlain by one to ten feet of tan to gray clayey silt to silty clay that is in turn overlain by three to five feet

of fine to medium sand. Along the margins of the unit where it is adjacent to the Beaverdam Formation, the unit commonly consists of pale-yellow to yellowish-brown, fine to very fine silty sand.

5.0 SOIL INVESTIGATION

Soil investigation was performed November 18, 2020, and November 25, 2020. Per nearby well data provided in the DGS, groundwater was above average seasonal peak level during the month of November. Thirty (30) hand-auger borings and six (6) test pits were excavated throughout the net development area, utilizing a two hundred (200) foot grid. Soil boring and test pit locations were established by GPS with reported sub-meter accuracy, and are approximate (see Appendix B). Soil boring / test pit summary table is provided in Appendix B. Soil profile logs are provided in Appendix C. Based on the borings and test pits, eleven (11) soil taxon were classified during the investigations; Typic Hapludults, Arenic Hapludults, Oxyaquic Hapludults, Aquic Hapludults, Typic Paleudults, Arenic Paleudults, Lamellic Paleudults, Oxyaquic Paleudults, Typic Quartzipsamments, Lamellic Quartzipsamments, and Oxyaquic Quartzipsamments. For purposes of this study, the site was divided into two (2) feasibility classifications, Potential Gravity OWTDS and Potential Low Pressure Pipe OWTDS, based on depth to limiting zone and associated OWTDS suitability.

Soils within the Potential Gravity OWTDS classification consisted of Typic Hapludults, Arenic Hapludults, Typic Paleudults, Arenic Paleudults, Lamellic Paleudults, Typic Quartzipsamments, and Lamellic Quartzipsamments. Soils were well drained, moderate to slowly permeable (estimated), with redoximorphic features and/or indications of SHWT forty-eight (48) to sixty-eight (68) inches below the soil surface. Freewater was encountered thirty-seven (37) to greater than seventy-two (72) inches below the soil surface. Measured freewater above observed redoximorphic features was attributed to above normal groundwater levels; therefore, was not considered a limiting zone. Soil solum generally consisted of loamy sand to loamy fine sand textured surface horizon, loamy fine sand eluvial horizon with or without lamellae, and sandy loam to clay loam argillic horizon (if encountered). Substratum was comprised of stratified coarse loamy and/or fine loamy sediments, with variable clayey and silty sediments. Deeper portions of the argillic horizons and fine textured substratum were interpreted as lithologic discontinuities. Limiting zones were commonly encountered within the slowly permeable lithologic discontinuities, or within horizons/layers immediately overlying the discontinuities. Soils encountered within this feasibility classification are potentially suitable for Capping Fill and Full Depth Gravity OWTDS, with exception of soil borings/test pits C2, C3, F1, F5, G2 and H2. Said borings/test pits meet the soil taxon for the group, but had limiting zones shallower than forty-eight (48) inches below the soil surface. Twenty-three (23) of the thirty-six (36) overall soil borings/test pits are within the Potential Gravity OWTDS classification, making it the most prevalent for the site.

Soils within the Potential Low Pressure Pipe OWTDS classification consisted of Oxyaquic Hapludults, Aquic Hapludults, Oxyaquic Paleudults, Oxyaquic Quartzipsamments, Typic Hapludults (C2, C3, & H2), Typic Paleudults (F1), Typic Quartzipsamments (G2), and Lamellic Quartzipsamments (F5). Soils were moderately well drained, moderate to slowly permeable (estimated), with redoximorphic features and/or indications of SHWT twenty-seven (27) to forty-six (46) inches below the soil surface. Freewater was encountered thirty-four (34) to seventy (70) inches below the soil surface. Soil solum generally consisted of loamy sand to loamy fine sand textured surface horizon, loamy fine sand eluvial horizon with or without lamellae, and sandy loam to clay loam argillic horizon (if encountered). Substratum was comprised of stratified coarse loamy and/or fine loamy sediments, with variable clayey and silty sediments. Deeper portions of the argillic horizons and fine textured substratum were interpreted as lithologic discontinuities. Limiting zones were commonly encountered within the slowly permeable lithologic discontinuities, or within horizons/layers immediately overlying the discontinuities. Soils encountered within this feasibility classification are potentially suitable for Capping Fill and Full Depth Low Pressure Pipe OWTDS, with exception of soil boring I2. Said boring meets the soil taxon for the group, but had limiting zone shallower than twenty-seven (27) inches below the soil surface. The boring was excavated footslope of a concave landscape. Area of soil boring I2 is within proposed subdivision open space. Said area is not recommended for OWTDS due to shallower limiting zone and slower relative permeability. Thirteen (13) of the thirty-six (36) overall soil borings/test pits are within the Potential Low Pressure Pipe OWTDS classification, making it the least prevalent for the site.

6.0 INFILTRATION TESTING

Infiltration testing was performed December 23, 2020, by method of single-ring infiltrometer, falling head analysis. Tests were performed utilizing twelve (12) and twenty-four (24) inch diameter metal rings, driven approximately six (6) inches below grade at the testing depth. Six (6) tests (INF-1 to INF-6) were conducted. Tests INF-1, INF-2 and INF-4 were conducted within the Proposed Low Pressure Pipe OWTDS classification. Tests INF-3, INF-5 and INF-6 were conducted within the Proposed Gravity OWTDS classification. Test locations and results are provided in the Soil Feasibility Plan (see Appendix B). Infiltration test logs are provided in Appendix D. Test results are provided in the table below:

Test #	Date	Test Depth (Inches Below Existing Grade)	Measured Rate (Minutes/Inch)
INF-1	12/23/2020	18	6.67
INF-2	12/23/2020	18	13.33
INF-3	12/23/2020	12	8.89
INF-4	12/23/2020	12	7.27
INF-5	12/23/2020	24	N/A
INF-6	12/23/2020	24	8.89

Infiltration testing within the soil horizon controlling water movement vertically and/or horizontally to a depth of sixty (60) inches was not feasible due to above normal groundwater conditions. The most hydraulically limiting soil horizons/layers were encountered near or below measured freewater; therefore, infiltration testing was performed near the installation depth of the associated OWTDS type. Measured rates provide insight to soil permeability at the installation depth, but do not account for permeability of the most restrictive soil horizons/layers, which factors into the sizing and long term performance of an OWTDS. For individual site evaluations, the Class D Soil Scientist should assign a percolation rate provided in Exhibit Y of the DNREC regulations, or perform infiltration testing in hydraulically limiting soils within the upper sixty (60) inches of the soil profile.

Infiltration test INF-5 was abandoned due to excessive measured rate, which was highly inconsistent compared to other tests, and was determined unreliable.

7.0 CONCLUSION

Soils encountered during the investigation were somewhat variable across the site. Limiting zones did not directly correlate with elevation or landscape position, and appeared to be influenced by slowly permeable subsoil/substratum interpreted as a lithologic discontinuity, which is attributed to the variability of soils. Generally, soils were moderately well to well drained with redoximorphic features twenty-seven (27) to sixty-eight (68) inches below the soil surface, with exception of soil boring I2.

Per nearby well data provided in the DGS, groundwater was above average seasonal peak levels. Freewater was encountered thirty-four (34) to greater than seventy-two (72) inches below the soil surface. Measured freewater above observed redoximorphic features was attributed to above normal groundwater levels; therefore, was not considered a limiting zone.

Infiltration testing confirms soil permeability meets DNREC requirements for OWTDS. Due to testing limitations associated with above normal groundwater conditions, the Class D Soil Scientist should assign an estimated

permeability rate based on DNREC guidelines, or perform necessary permeability tests within hydraulically limiting soil horizons/layers.

Approximately sixty-four (64) percent of the soil borings/test pits were found potentially suitable for gravity OWTDS, and the remaining thirty-six (36) percent were found potentially suitable for low pressure pipe OWTDS, with exception of soil boring I2. Based on results of the soil feasibility study, the investigated area is suitable for individual OWTDS.

Potential OWTDS area depicted in the "Soil Feasibility Plan" was delineated from broad generalizations using LIDAR topographic contour data, soil boring/test pit results, field observations, and site aerial imagery, and may change during a formal site evaluation. Information provided in the Plan and this report are for planning purposes only.

REFERENCES

The following documents, publications, maps, etc., were used as source materials for this Engineering Report:

- Sussex County Delaware, Online Mapping: <https://maps.sussexcountyde.gov/OnlineMap/Map.html>
- *Wetlands Online Mapper* website published by the United States Fish and Wildlife Service. Available online at: <http://wetlandsfws.er.usgs.gov/wtlnds/launch.html>
- Sussex County Delaware Property Records: <https://property.sussexcountyde.gov>; <https://maps.sussexcountyde.gov/OnlineMap/Map.html>; <https://sussexcountyde.gov/recorder-deeds>
- The Delaware Geological Survey: <https://www.dgs.udel.edu/>
- USDA, NRCS, Web Soil Survey: <https://websoilsurvey.nrcs.usda.gov/app/HomePage.htm>

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APPENDIX A
SUPPORTING DOCUMENTS



PARID: 232-19.00-50.01
 SUSSEX VENTURES INC

ROLL: RP
 16201 ADAMS RD

Property Information

Property Location: 16201 ADAMS RD
 Unit:
 City: LAUREL
 State: DE
 Zip: 19956

Class: AGR-Agriculture
 Use Code (LUC): FH0-AG W/ HOMESITE IN FAA A-I
 Town: 00-None
 Tax District: 232 – BROAD CREEK
 School District: 2 - LAUREL
 Council District: 1-Vincent
 Fire District: 81-Laurel
 Deeded Acres: 42.0400
 Frontage: 0
 Depth: .000
 Irr Lot:
 Zoning 1: AR-1-AGRICULTURAL/RESIDEINTIAL
 Zoning 2: -
 Plot Book Page: 327-76/PB

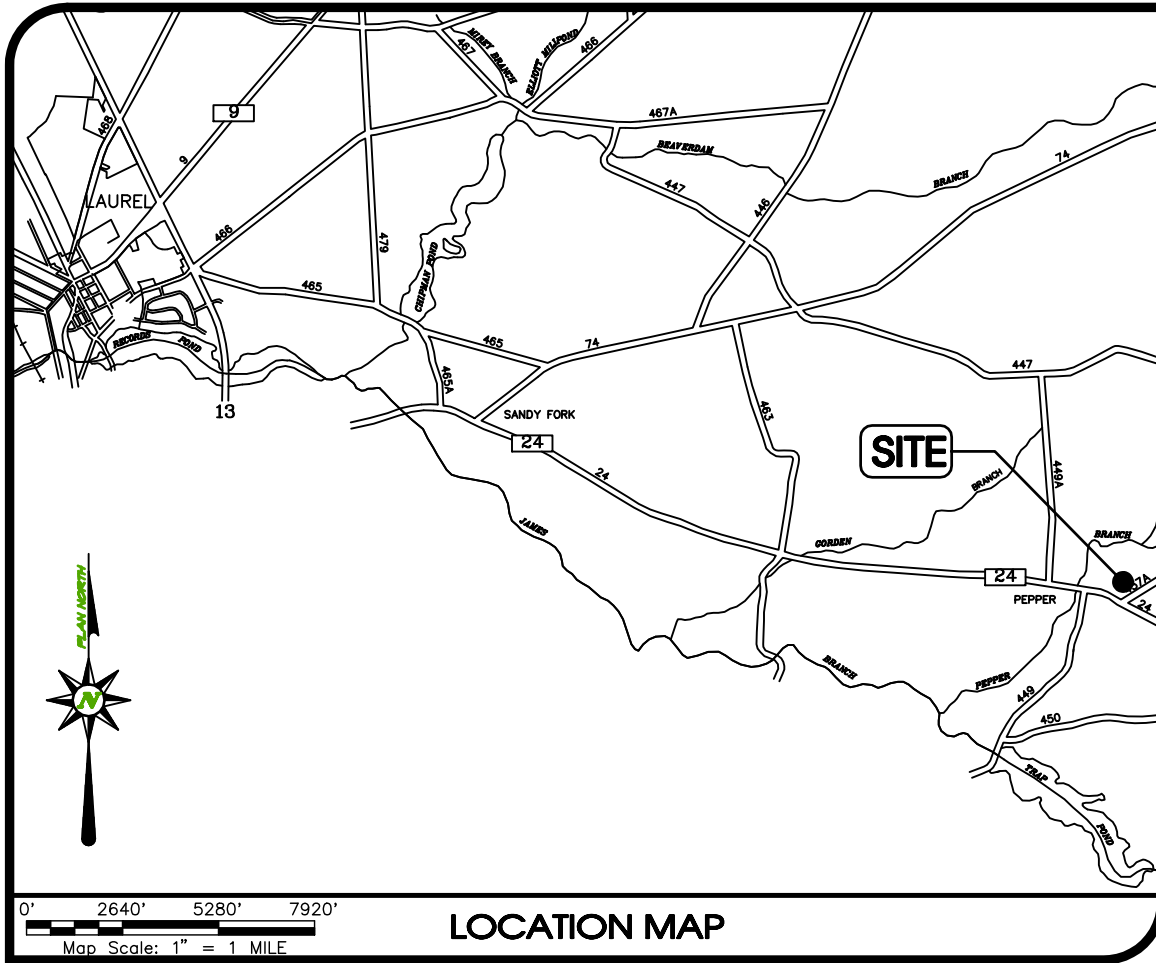
100% Land Value: \$3,000
 100% Improvement Value \$24,900
 100% Total Value \$27,900

Legal

Legal Description: NE/RT 24
 RT 437A

Owners

Owner	Co-owner	Address	City	State	Zip
SUSSEX VENTURES INC		25051 WARD FARM LN	MILLSBORO	DE	19966



LEGEND

- EXISTING PROPERTY BOUNDARY
- EXISTING ADJACENT LOT LINES
- EXISTING EDGE OF PAVEMENT
- EXISTING CENTERLINE OF ROAD
- EXISTING TREE LINE
- EXISTING WETLANDS LIMITS
- EXISTING BUILDING
- BUILDING RESTRICTION LINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED LOT LINES
- PROPOSED RIGHT-OF-WAY BOUNDARY
- PROPOSED CENTERLINE OF ROAD
- PROPOSED EASEMENT
- SUPPLEMENTAL CONTOUR (1' INTERVAL)
- INDEX CONTOUR (5' INTERVAL)
- EXISTING STRIPING
- EXISTING UTILITY POLE
- EXISTING SIGN
- IRON ROD FOUND
- CONCRETE MONUMENT FOUND
- PIPE SET
- POINT

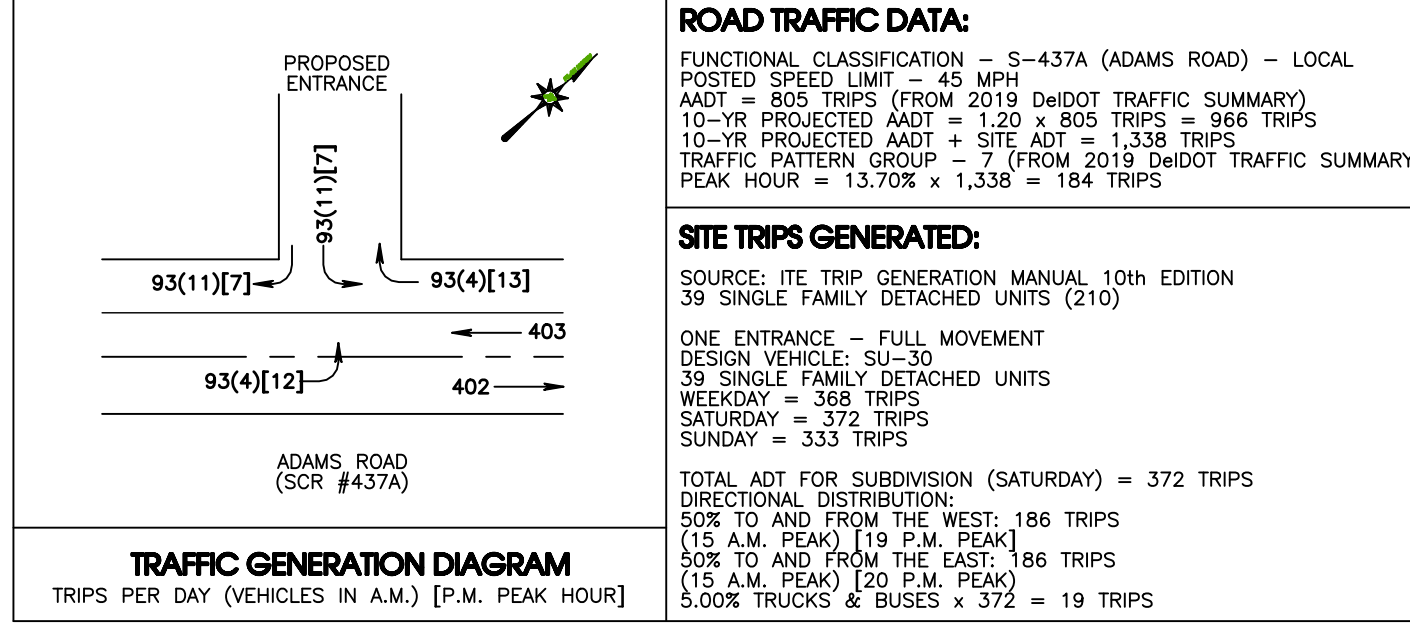
SITE DATA and ZONING SCHEDULE

TAX PARCEL No.:	232-19.00-50.01 (P/O)	
PROPERTY ADDRESS:	16201 ADAMS ROAD, LAUREL, DE 19956	
NET DEVELOPMENT AREA:	38.915 Acres	
EXISTING NUMBER OF LOTS:	ONE (1)	
EXISTING SITE USE:	RESIDENTIAL/AGRICULTURAL	
PROPOSED NUMBER OF LOTS:	THIRTY NINE (39)	
PROPOSED SITE USE:	SINGLE-FAMILY HOME SUBDIVISION	
EXISTING ZONING:	AR-1 (AGRICULTURAL/RESIDENTIAL)	
INVESTMENT LEVEL AREA:	LEVEL FOUR (4)	

NO TRANSPORTATION IMPROVEMENT DISTRICTS (TID) IN THE PROXIMITY OF THE PROJECT		
ORDINANCE ITEM	REQUIREMENT:	PROVIDED:
MINIMUM LOT AREA	32,670 Sq. Ft.	32,670 Sq. Ft.
MINIMUM LOT WIDTH	100 Ft.	100 Ft.
MINIMUM LOT DEPTH	100 Ft.	100 Ft.
MINIMUM SETBACKS:		
FRONT	30 Ft.	30 Ft.
SIDE	15 Ft.	15 Ft.
REAR	20 Ft.	20 Ft.
MAXIMUM BUILDING HEIGHT	42 Ft./3 Stories	42 Ft./3 Stories
SEWER SERVICE	PRIVATE SEPTIC	PRIVATE SEPTIC
WATER SERVICE	PRIVATE WELL	PRIVATE WELL

PROPERTY OWNER/DEVELOPER
 SUSSEX VENTURES, INC.
 23051 WARD FARM LANE
 MILLSBORO, DE 19966
 302.854.5687

TRIP GENERATION - ADAMS ROAD (SCR #437A)
(FULL MOVEMENT)



GENERAL NOTES

- THE PROJECT SITE IS KNOWN AS THE CROSSINGS AT TRAP POND (T.P. 232-19.00-50.01), AND IS LOCATED AT THE NORTHEAST CORNER OF THE ADAMS ROAD (SCR #437A) AND DELAWARE ROUTE 24 INTERSECTION IN LAUREL, DE.
- THE PROPERTY BOUNDS, EXISTING FEATURES AND TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY BY MILLER-LEWIS, INC. 1560 MIDDLEFORD ROAD, SAFFORD, DELAWARE 19972. TOPOGRAPHY IS BASED ON NAVD88 AND NORTH REFERENCE IS DELAWARE STATE PLANE COORDINATE SYSTEM NAD83.
- ALL PROPOSED STORMWATER MANAGEMENT FACILITIES ARE TO BE MAINTAINED BY THE DEVELOPER UNTIL SUCH TIME AS A HOMEOWNERS ASSOCIATION CAN PROVIDE FOR SAID MAINTENANCE.
- ALL SUBDIVISION LOTS SHALL BE ACCESSED FROM THE INTERIOR SUBDIVISION STREETS ONLY. NO DIRECT ACCESS SCR 437A SHALL BE PERMITTED.
- THIS PLAN DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHT-OF-WAYS CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS PROVIDED.
- THE CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF ANY SITE CONSTRUCTION ACTIVITIES.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST EDITION).
- CONSTRUCTION MATERIALS AND PROCEDURES SHALL FOLLOW THE SUSSEX COUNTY ENGINEERING DEPARTMENT SPECIFICATIONS AND STANDARD DRAWINGS (LATEST EDITION).
- EXISTING SUBSURFACE UTILITY INFORMATION INDICATED IS BASED UPON VISUAL FIELD INSPECTION BY MILLER-LEWIS, INC. SUCH INFORMATION CONCERNING THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF SUBSURFACE UTILITIES IS APPROXIMATE IN NATURE AND HAS BEEN OBTAINED AS FAR AS IN THE PROJECT DEEDS. THERE IS NO INFORMATION PROVIDED IS REPRESENTATIVE OF SUBSURFACE CONDITIONS ONLY AT LOCATIONS AND DEPTHS WHERE SUCH INFORMATION WAS OBTAINED. THERE IS NO EXPRESSED OR IMPLIED AGREEMENT THAT UTILITY SIZE, LOCATION, DEPTH, QUANTITY, ETC. AS SHOWN EXISTS BETWEEN EXPLORED LOCATIONS. ACCORDING TO UTILITY INFORMATION SHOWN SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. IT IS INCUMBENT UPON THE CONTRACTOR TO VERIFY THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF ALL UTILITIES BEFORE EXCAVATION.
- BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) 190029 0440 K, MAP NUMBER 10050C0440K, DATED MARCH 16, 2015, THIS PROPERTY IS LOCATED IN A ZONE UNSHADDED WHICH IS AN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- THE WETLANDS BOUNDARY SHOWN WAS DELINEATED BY COASTAL & ESTUARINE RESEARCH, INC.
- ALL FIRE LINES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
- ALL CUL-DE-SACS ARE TO HAVE A 38' PAVED RADIUS. NO PARKING PERMITTED ON CUL-DE-SAC.
- ALL PROPOSED LOT LINES SUBJECT TO EASEMENTS FOR UTILITY, STORMWATER CONSTRUCTION AND/OR MAINTENANCE, UNLESS OTHERWISE NOTED ON THE PLANS, EASEMENTS AS FOLLOWS:
 FRONT LOT LINES - 10 FEET
 SIDE LOT LINES - 10 FEET
 REAR LOT LINES - 10 FEET
- IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS PART V, CHAPTER 4, SECTION 4-1.1, THE DEVELOPER SHALL PROVIDE TO THE EMERGENCY DISPATCH CENTER HAVING JURISDICTION A PLOT PLAN OF THE DEVELOPMENT SHOWING EACH LOT LOCATION. THE DEVELOPER SHALL ALSO ASSIGN NUMBERS TO ALL HOMES IN A CONSECUTIVE MANNER AND HAVE PLACED THE ASSIGNED NUMBER IN A READILY VISIBLE LOCATION ON EACH HOME TO ELIMINATE CONFUSION IN THE EVENT THAT AN EMERGENCY VEHICLE IS NEEDED.
- THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE, AND OTHER UNDESIRABLE BY-PRODUCTS OF CHEMICALS AND NIGHTTIME FARM OPERATIONS. THE USE AND ENJOYMENT OF PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOUNCEMENT OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
- ALL PROPOSED LANDSCAPE BUFFERS ARE TO BE MAINTAINED BY THE OWNER/DEVELOPER UNTIL SUCH TIME AS A HOMEOWNERS ASSOCIATION CAN PROVIDE FOR SAID MAINTENANCE.

DELDT SITE GENERAL NOTES

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
- SHRUBBERY PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THIS REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17.131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE FOR THE SIDEWALK.
- LOTS WILL BE PERMITTED TO HAVE ACCESS POINTS THAT COMPLY WITH THE DEVELOPMENT COORDINATION MANUAL (DCM) SPACING REQUIREMENTS OF CHAPTER 1 AND LIMITATIONS ON NUMBER OF ACCESS POINTS ESTABLISHED IN DCM CHAPTER 7. HORSESHOE DRIVEWAYS AND SECONDARY ENTRANCES REQUIRE ADDITIONAL DELDOT REVIEW AND SEPARATE PERMITTING RESTRICTIONS AS DESCRIBED IN THE DCM CHAPTER 7 MAY PROHIBIT SOME SECONDARY ENTRANCE REQUESTS FROM BEING GRANTED.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCES.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER PAVED ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.

PLANNING COMMISSION CERTIFICATE

RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF SUSSEX COUNTY ON THIS _____ DAY OF _____ 20____.

SECRETARY (ATTEST)

RECOMMENDED FOR APPROVAL BY THE SUSSEX COUNTY COUNCIL ON THIS _____ DAY OF _____ 20____.

PRESIDENT

OWNER CERTIFICATE

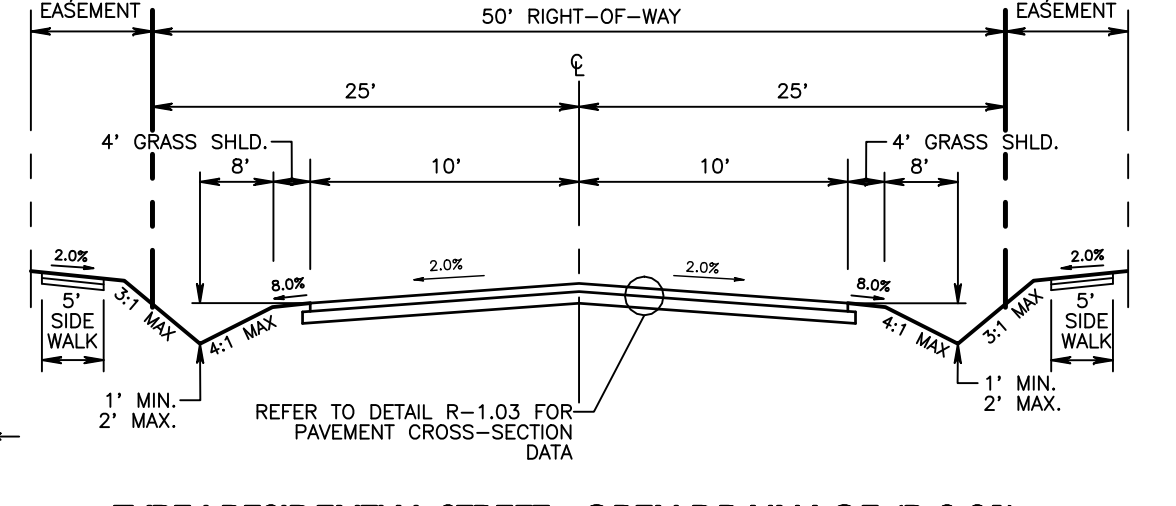
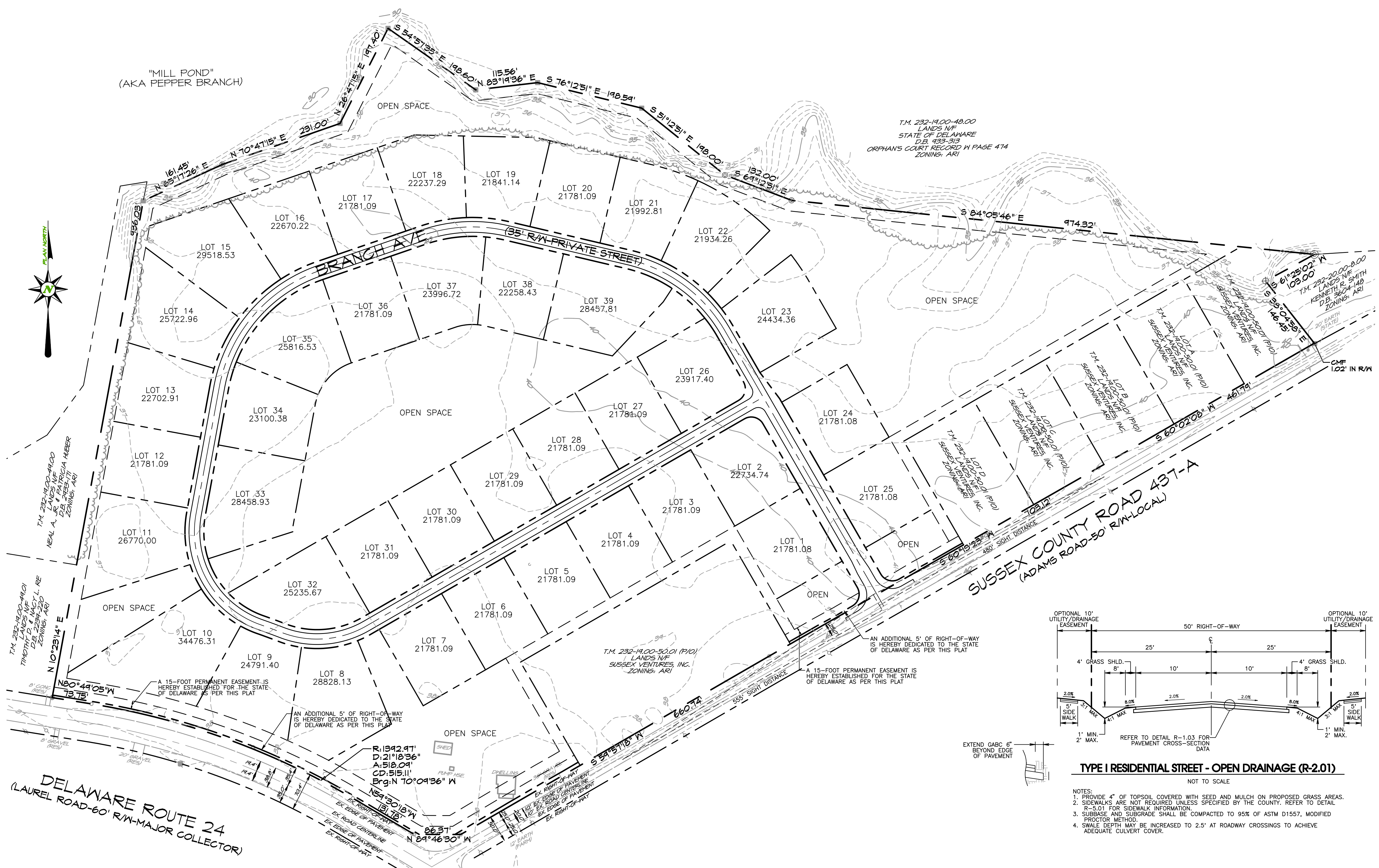
I HEREBY CERTIFY THAT I AM THE EQUITABLE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SUSSEX VENTURES, INC. _____ DATE
 23051 WARD FARM LANE
 MILLSBORO, DE 19966
 Phone: 302.854.5687

WETLANDS CERTIFICATION

I, CERTIFY THAT THIS PROPERTY HAS BEEN EXAMINED FOR WETLANDS/WATERS OF THE UNITED STATES IN ACCORDANCE WITH CRITERIA FOUND IN THE 1987 U.S. ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND ASSOCIATED GUIDANCE MEMORANDA. THE DELINEATION HERE SHOWN, IN MY BEST PROFESSIONAL JUDGEMENT, ACCURATELY DEPICTS THE WETLANDS AND WATERS OF THE UNITED STATES BOUNDARIES PRESENT WITHIN THE SUBJECT PROPERTY BOUNDS. NO STATE WETLANDS ARE PRESENT WITHIN THE SUBJECT PROPERTY BOUNDS.

EVELYN MAURMEYER
 COASTAL & ESTUARINE RESEARCH, INC.
 P.O. BOX 674
 LEWES, DE 19958
 302.645.9610



TYPE I RESIDENTIAL STREET - OPEN DRAINAGE (R-2.01)

- NOTES:
- PROVIDE 4" OF TOPSOIL COVERED WITH SEED AND MULCH ON PROPOSED GRASS AREAS.
 - SIDEWALKS ARE NOT REQUIRED UNLESS SPECIFIED BY THE COUNTY. REFER TO DETAIL R-5.01 FOR SIDEWALK INFORMATION.
 - SUBBASE AND SUBGRADE SHALL BE COMPACTED TO 95% OF ASTM D1557, MODIFIED PROCTOR METHOD.
 - SWALE DEPTH MAY BE INCREASED TO 2.5' AT ROADWAY CROSSINGS TO ACHIEVE ADEQUATE CULVERT COVER.

REVISIONS

No.	DATE	DESCRIPTION

DESIGN PROFESSIONAL _____ DATE _____

APPROVED BY: BUSINESS: _____ DATE: _____
 LOCAL: _____
 STATE: _____

SCALE: IN FEET (1" = 40')

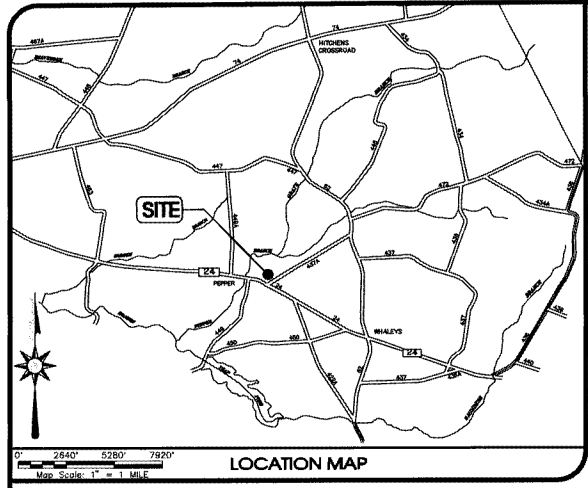
OWNER/APPLICANT: SUSSEX VENTURES, INC.
 23051 WARD FARM LANE
 MILLSBORO, DE 19966
 Phone: 302.854.5687

PRELIMINARY PLAN (Not To Be Recorded)
RECORD PLAN
 THE CROSSINGS AT TRAP POND
 BROAD CREEK HUNDRED - SUSSEX COUNTY - DELAWARE

THE KERCHER GROUP, INC.
 CONSULTING • SYSTEMS • ENGINEERING
 37385 ROADBOTH AVE., UNIT 11 - ROADBOTH BEACH, DELAWARE 19971
 302.854.9062 (Voice) 302.854.9064 (Fax) www.kerchergroup.com

JOB No: 20-0401
 PLAN DATE: June 9, 2020
 SHEET No.: R1

THE CROSSINGS AT TRAP POND (Not To Be Recorded) (8-20)



LEGEND

- EXISTING PROPERTY BOUNDARY
- - - EXISTING ADJACENT LOT LINES
- EXISTING EDGE OF PAVEMENT
- EXISTING CENTERLINE OF ROAD
- EXISTING TREE LINE
- EXISTING WETLANDS LIMITS
- PROPOSED RIGHT-OF-WAY
- EXISTING STRIPING
- EXISTING UTILITY POLE
- PROPOSED PERMANENT EASEMENT
- EXISTING SIGN
- IRON ROD FOUND
- CONCRETE MONUMENT FOUND
- PIPE SET
- POINT

SITE DATA

TAX PARCEL NUMBER:	232-19.00-50.01 (P/O)
GROSS ACREAGE:	45.042 Acres
PROPERTY ZONING:	AR (AGRICULTURAL RESIDENTIAL)
TOTAL LOTS (EX.):	1
TOTAL LOTS (PR):	FOUR (4) SINGLE FAMILY LOTS (EXCLUDING THE RESIDUAL LANDS)
EXISTING SITE USE:	AGRICULTURAL/FARMED
PROPOSED SITE USE:	FOUR SINGLE FAMILY LOTS AND AGRICULTURAL/FARMED
ZONING DISTRICT:	AR (AGRICULTURAL RESIDENTIAL)
SEWER PROVIDER:	PRIVATE SEPTIC
WATER PROVIDER:	PRIVATE WELL
SPEED LIMIT:	50 MPH (SCR 437A)

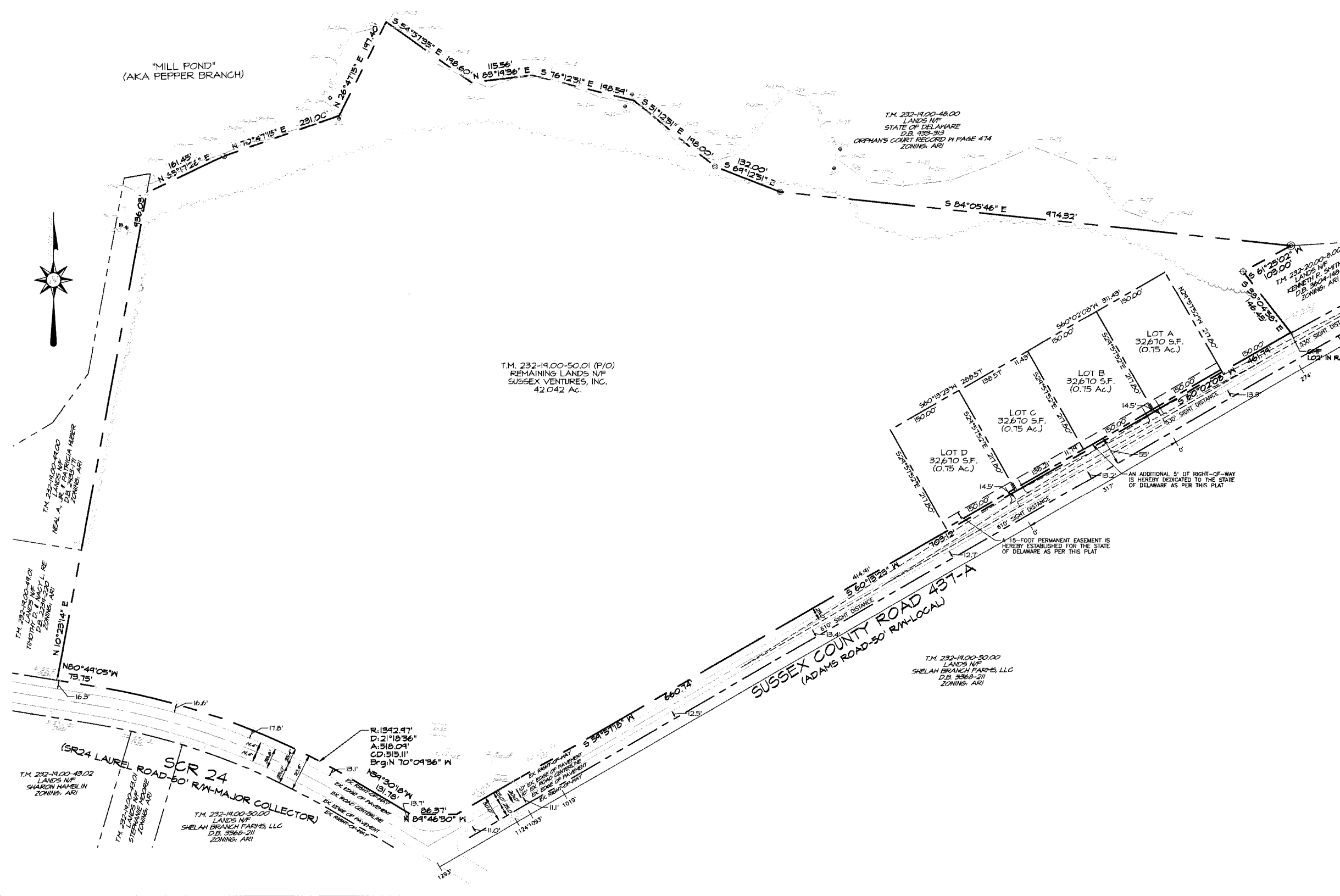
- DELDOT PLAN NOTES**
 LAST REVISED: OCTOBER 19, 2018
- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
 - SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
 - THE RESIDUAL LANDS SHALL HAVE ACCESS TO SCR #437-A VIA THE EXISTING ENTRANCES AS SHOWN ON THE PLAN. IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
 - LOT A AND LOT B SHALL HAVE A COMBINED ACCESS TO SCR 437A.
 - LOT C AND LOT D SHALL HAVE A COMBINED ACCESS TO SCR 437A.

- GENERAL NOTES**
- THE PROJECT SITE IS KNOWN AS LANDS OF SUSSEX VENTURES, INC., (T.P. 232-19.00-50.01), AND IS LOCATED AT THE NORTHEAST CORNER OF THE ADAMS ROAD (SCR 437A) AND DELAWARE ROUTE 24 INTERSECTION IN LAUREL, DE.
 - THE PROPERTY BOUNDS, EXISTING FEATURES AND TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY BY MILLER-JEWIS, INC., 1580 WIDELAND ROAD, SEAFORD, DELAWARE 19773. TOPOGRAPHY IS BASED ON NAVD83 AND NORTH REFERENCE IS DELAWARE STATE PLANE COORDINATE SYSTEM NAD83.
 - THIS PLAN DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHT-OF-WAYS CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS PROVIDED.
 - THE CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF ANY SITE CONSTRUCTION ACTIVITIES.
 - EXISTING TOPOGRAPHIC DATA IS INDICATED ON THE PLAN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
 - BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) 1000220400 K, MAY NUMBER 100504000, DATED MARCH 18, 2015, THIS PROPERTY IS LOCATED IN A ZONE "X" UNSHADED WHICH IS AN AREA DETERMINED TO BE OUTSIDE OF THE 1% ANNUAL CHANCE FLOODPLAIN.
 - THE WETLANDS BOUNDARY SHOWN WAS DELINEATED BY COASTAL & ESTUARINE RESEARCH, INC.
 - IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS PART V, CHAPTER 4, SECTION 4-1.1, THE DEVELOPER SHALL PROVIDE TO THE EMERGENCY DISPATCH CENTER HAVING JURISDICTION, A PLAN OF THE DEVELOPMENT SHOWING EACH LOT LOCATION. THE DEVELOPER SHALL ALSO ASSIGN NUMBERS TO ALL HOMES IN A CONSISTENT MANNER AND HAVE PLACED THE ASSIGNED NUMBER IN A READILY VISIBLE LOCATION ON EACH HOME TO ELIMINATE CONFUSION IN THE EVENT THAT AN EMERGENCY VEHICLE IS NEEDED.
 - THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE OF CHEMICALS AND NIGHTTIME FARM OPERATIONS. THE USE AND ENJOYMENT OF PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.

DeIDOT
NO OBJECTION TO
RECORDATION
 November 23, 2020
DATE

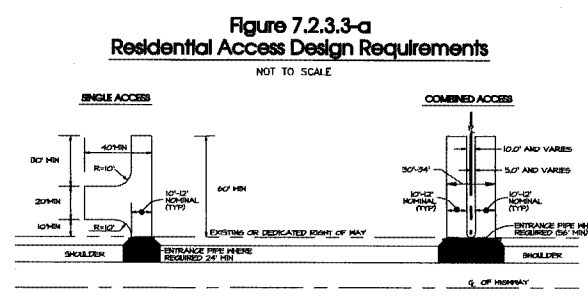
REVISIONS

No.	DATE	DESCRIPTION
1	08/03/20	REVISIONS PER DELDOT WRITTEN COMMENTS
2	11/17/20	REVISIONS PER DELDOT WRITTEN COMMENTS



WETLANDS LINE TABLE

BEGIN @ CONC. MON. FOUND	END @ CONC. MON. FOUND	WETLANDS TYPE	DEPTH
100.00	100.00	W1	1.0
100.00	100.00	W2	1.0
100.00	100.00	W3	1.0
100.00	100.00	W4	1.0
100.00	100.00	W5	1.0
100.00	100.00	W6	1.0
100.00	100.00	W7	1.0
100.00	100.00	W8	1.0
100.00	100.00	W9	1.0
100.00	100.00	W10	1.0
100.00	100.00	W11	1.0
100.00	100.00	W12	1.0
100.00	100.00	W13	1.0
100.00	100.00	W14	1.0
100.00	100.00	W15	1.0
100.00	100.00	W16	1.0
100.00	100.00	W17	1.0
100.00	100.00	W18	1.0
100.00	100.00	W19	1.0
100.00	100.00	W20	1.0
100.00	100.00	W21	1.0
100.00	100.00	W22	1.0
100.00	100.00	W23	1.0
100.00	100.00	W24	1.0
100.00	100.00	W25	1.0
100.00	100.00	W26	1.0
100.00	100.00	W27	1.0
100.00	100.00	W28	1.0
100.00	100.00	W29	1.0
100.00	100.00	W30	1.0



- NOTES**
- Entrance geometrics shall conform to DeIDOT Standard Construction Detail C-3.
 - Driveway widths may be increased with DeIDOT's approval for special purpose vehicles i.e. farm vehicles, etc.
 - Minimum residential pavement section - 6" Graded Aggregate Base Course.
 - Access to residential lots should be limited to one access point. (See Section 7.2.3.1 for exceptions).

APPROVED
 [Signature]
 SUSSEX COUNTY PLANNING & ZONING COMMISSION
 11/23/20

OWNER CERTIFICATE

I HEREBY CERTIFY THAT I AM THE EQUITABLE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN AND THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

[Signature] DATE: 11/17/20

SUSSEX VENTURES, INC.
 2551 WARD FARM LANE
 MILLSBORO, DE 19966
 Phone: 302.834.5687

MINOR SUBDIVISION PLAN
 LANDS OF SUSSEX VENTURES, INC.
 BROAD CREEK HUNDRED - SUSSEX COUNTY - DELAWARE








THE KERCHER GROUP, INC.
 CONSULTING • SYSTEMS • ENGINEERING
 3735 BIRCHWOOD AVE. UNIT 11 - REHOBOTH BEACH, DELAWARE 19871
 302.854.8082 (Voice) 302.854.8084 (Fax) www.kerchergrp.com

JOB No: 20-0401
 PLAN DATE: July 8, 2020
 SHEET No.: **RI**



January 29, 2021

Wetlands

- | | | |
|--|---|--|
|  Estuarine and Marine Deepwater |  Freshwater Emergent Wetland |  Lake |
|  Estuarine and Marine Wetland |  Freshwater Forested/Shrub Wetland |  Other |
| |  Freshwater Pond |  Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.



United States
Department of
Agriculture

NRCS

Natural
Resources
Conservation
Service

A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

Custom Soil Resource Report for **Sussex County, Delaware**



Preface

Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist (http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

The U.S. Department of Agriculture (USDA) prohibits discrimination in all its programs and activities on the basis of race, color, national origin, age, disability, and where applicable, sex, marital status, familial status, parental status, religion, sexual orientation, genetic information, political beliefs, reprisal, or because all or a part of an individual's income is derived from any public assistance program. (Not all prohibited bases apply to all programs.) Persons with disabilities who require

alternative means for communication of program information (Braille, large print, audiotape, etc.) should contact USDA's TARGET Center at (202) 720-2600 (voice and TDD). To file a complaint of discrimination, write to USDA, Director, Office of Civil Rights, 1400 Independence Avenue, S.W., Washington, D.C. 20250-9410 or call (800) 795-3272 (voice) or (202) 720-6382 (TDD). USDA is an equal opportunity provider and employer.

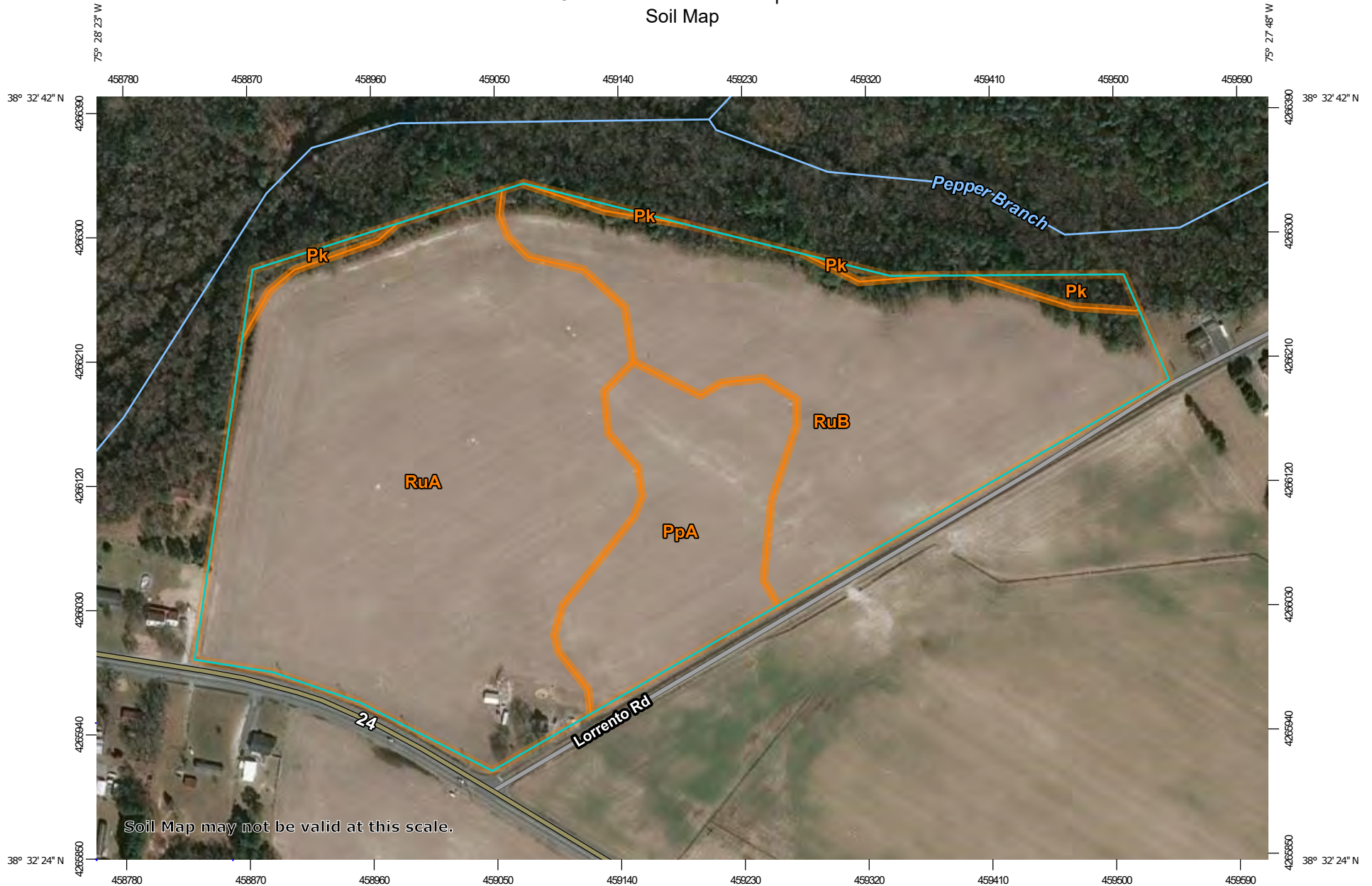
Contents

Preface	2
Soil Map	5
Soil Map.....	6
Legend.....	7
Map Unit Legend.....	8
Map Unit Descriptions.....	8
Sussex County, Delaware.....	10
Pk—Puckum muck, frequently flooded.....	10
PpA—Pepperbox loamy sand, 0 to 2 percent slopes.....	11
RuA—Runclint loamy sand, 0 to 2 percent slopes.....	12
RuB—Runclint loamy sand, 2 to 5 percent slopes.....	14
References	16

Soil Map

The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

Custom Soil Resource Report Soil Map



Map Scale: 1:3,900 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 18N WGS84

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)


Soils


 Soil Map Unit Polygons


 Soil Map Unit Lines


 Soil Map Unit Points

Special Point Features

 Blowout

 Borrow Pit


 Clay Spot


 Closed Depression

 Gravel Pit

 Gravelly Spot

 Landfill

 Lava Flow

 Marsh or swamp

 Mine or Quarry

 Miscellaneous Water


 Perennial Water

 Rock Outcrop


 Saline Spot

 Sandy Spot

 Severely Eroded Spot


 Sinkhole


 Slide or Slip


 Sodic Spot


 Spoil Area

 Stony Spot


 Very Stony Spot

 Wet Spot

 Other

 Special Line Features

Water Features

 Streams and Canals


Transportation

 Rails


 Interstate Highways

 US Routes

 Major Roads

 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Sussex County, Delaware
 Survey Area Data: Version 21, Jun 11, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Nov 21, 2018—Mar 12, 2019

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Pk	Puckum muck, frequently flooded	1.0	2.2%
PpA	Pepperbox loamy sand, 0 to 2 percent slopes	6.5	14.3%
RuA	Runclint loamy sand, 0 to 2 percent slopes	23.4	51.5%
RuB	Runclint loamy sand, 2 to 5 percent slopes	14.5	32.0%
Totals for Area of Interest		45.4	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

Custom Soil Resource Report

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Sussex County, Delaware

Pk—Puckum muck, frequently flooded

Map Unit Setting

National map unit symbol: 1qtjg
Elevation: 0 to 20 feet
Mean annual precipitation: 42 to 48 inches
Mean annual air temperature: 52 to 58 degrees F
Frost-free period: 180 to 220 days
Farmland classification: Not prime farmland

Map Unit Composition

Puckum and similar soils: 85 percent
Minor components: 15 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Puckum

Setting

Landform: Flood plains, swamps, depressions
Down-slope shape: Linear, concave
Across-slope shape: Linear, concave
Parent material: Woody organic material

Typical profile

Oa1 - 0 to 20 inches: muck
Oa2 - 20 to 80 inches: muck

Properties and qualities

Slope: 0 to 1 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Very poorly drained
Runoff class: Negligible
Capacity of the most limiting layer to transmit water (Ksat): High (1.98 to 5.95 in/hr)
Depth to water table: About 0 to 5 inches
Frequency of flooding: Frequent
Frequency of ponding: Frequent
Maximum salinity: Nonsaline to slightly saline (0.0 to 4.0 mmhos/cm)
Available water capacity: Very high (about 23.9 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 7w
Hydrologic Soil Group: A/D
Hydric soil rating: Yes

Minor Components

Manahawkin

Percent of map unit: 10 percent
Landform: Flood plains, swamps
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: Yes

Indiantown

Percent of map unit: 5 percent
Landform: Flood plains
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: Yes

PpA—Pepperbox loamy sand, 0 to 2 percent slopes

Map Unit Setting

National map unit symbol: 1qtjj
Elevation: 0 to 70 feet
Mean annual precipitation: 42 to 48 inches
Mean annual air temperature: 52 to 58 degrees F
Frost-free period: 180 to 220 days
Farmland classification: Prime farmland if irrigated

Map Unit Composition

Pepperbox and similar soils: 80 percent
Minor components: 20 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Pepperbox

Setting

Landform: Flats, depressions
Landform position (three-dimensional): Dip
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Sandy eolian deposits over fluvial marine sediments

Typical profile

A - 0 to 10 inches: loamy sand
E - 10 to 25 inches: loamy sand
Bt - 25 to 37 inches: sandy loam
2Btg - 37 to 65 inches: sandy clay loam
2Cg - 65 to 80 inches: sandy clay loam

Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Moderately well drained
Runoff class: Negligible
Capacity of the most limiting layer to transmit water (Ksat): Moderately low to high
(0.06 to 1.98 in/hr)
Depth to water table: About 20 to 40 inches
Frequency of flooding: None
Frequency of ponding: None
Available water capacity: Moderate (about 8.2 inches)

Interpretive groups

Land capability classification (irrigated): 2w
Land capability classification (nonirrigated): 2w
Hydrologic Soil Group: A
Hydric soil rating: No

Minor Components

Rosedale

Percent of map unit: 10 percent
Landform: Flats
Hydric soil rating: No

Fort mott

Percent of map unit: 5 percent
Landform: Knolls, flats
Landform position (three-dimensional): Rise
Hydric soil rating: No

Rockawalkin

Percent of map unit: 5 percent
Landform: Flats
Hydric soil rating: No

RuA—Runclint loamy sand, 0 to 2 percent slopes

Map Unit Setting

National map unit symbol: 1qtjz
Elevation: 0 to 120 feet
Mean annual precipitation: 42 to 48 inches
Mean annual air temperature: 52 to 58 degrees F
Frost-free period: 180 to 220 days
Farmland classification: Not prime farmland

Map Unit Composition

Runclint and similar soils: 75 percent
Minor components: 25 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Runclint

Setting

Landform: Flats, fluviomarine terraces
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Sandy eolian deposits and/or fluviomarine sediments

Typical profile

Ap - 0 to 9 inches: loamy sand
E - 9 to 22 inches: sand
Bw - 22 to 39 inches: sand

Custom Soil Resource Report

BC - 39 to 59 inches: sand

2C - 59 to 80 inches: loamy coarse sand

Properties and qualities

Slope: 0 to 2 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Excessively drained

Runoff class: Negligible

Capacity of the most limiting layer to transmit water (Ksat): Moderately high to very high (0.57 to 19.98 in/hr)

Depth to water table: About 40 to 72 inches

Frequency of flooding: None

Frequency of ponding: None

Available water capacity: Low (about 3.5 inches)

Interpretive groups

Land capability classification (irrigated): 3s

Land capability classification (nonirrigated): 4s

Hydrologic Soil Group: A

Hydric soil rating: No

Minor Components

Evesboro

Percent of map unit: 10 percent

Landform: Flats

Landform position (three-dimensional): Talf

Down-slope shape: Linear

Across-slope shape: Linear

Hydric soil rating: No

Klej

Percent of map unit: 5 percent

Landform: Flats, depressions

Down-slope shape: Linear, concave

Across-slope shape: Linear, concave

Hydric soil rating: No

Hurlock, drained

Percent of map unit: 5 percent

Landform: Depressions, flats, swales

Landform position (three-dimensional): Dip

Down-slope shape: Concave, linear

Across-slope shape: Concave, linear

Hydric soil rating: Yes

Galloway

Percent of map unit: 5 percent

Landform: Depressions, flats

Down-slope shape: Concave, linear

Across-slope shape: Concave, linear

Hydric soil rating: No

RuB—Runclint loamy sand, 2 to 5 percent slopes

Map Unit Setting

National map unit symbol: 1qtk1
Elevation: 0 to 120 feet
Mean annual precipitation: 42 to 48 inches
Mean annual air temperature: 52 to 58 degrees F
Frost-free period: 180 to 220 days
Farmland classification: Not prime farmland

Map Unit Composition

Runclint and similar soils: 75 percent
Minor components: 25 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Runclint

Setting

Landform: Flats, fluviomarine terraces, dunes, knolls
Landform position (three-dimensional): Rise
Down-slope shape: Linear, convex
Across-slope shape: Linear, convex
Parent material: Sandy eolian deposits and/or fluviomarine sediments

Typical profile

Ap - 0 to 9 inches: loamy sand
E - 9 to 22 inches: sand
Bw - 22 to 39 inches: sand
BC - 39 to 59 inches: sand
2C - 59 to 80 inches: loamy coarse sand

Properties and qualities

Slope: 2 to 5 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Excessively drained
Runoff class: Very low
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to very high (0.57 to 19.98 in/hr)
Depth to water table: About 40 to 72 inches
Frequency of flooding: None
Frequency of ponding: None
Available water capacity: Low (about 3.5 inches)

Interpretive groups

Land capability classification (irrigated): 3s
Land capability classification (nonirrigated): 4s
Hydrologic Soil Group: A
Hydric soil rating: No

Minor Components

Evesboro

Percent of map unit: 10 percent
Landform: Flats
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

Klej

Percent of map unit: 5 percent
Landform: Depressions, flats
Down-slope shape: Concave, linear
Across-slope shape: Concave, linear
Hydric soil rating: No

Hurlock, drained

Percent of map unit: 5 percent
Landform: Swales, depressions, flats
Landform position (three-dimensional): Dip
Down-slope shape: Concave, linear
Across-slope shape: Linear, concave
Hydric soil rating: Yes

Galloway

Percent of map unit: 5 percent
Landform: Flats, depressions
Down-slope shape: Linear, concave
Across-slope shape: Linear, concave
Hydric soil rating: No

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Custom Soil Resource Report

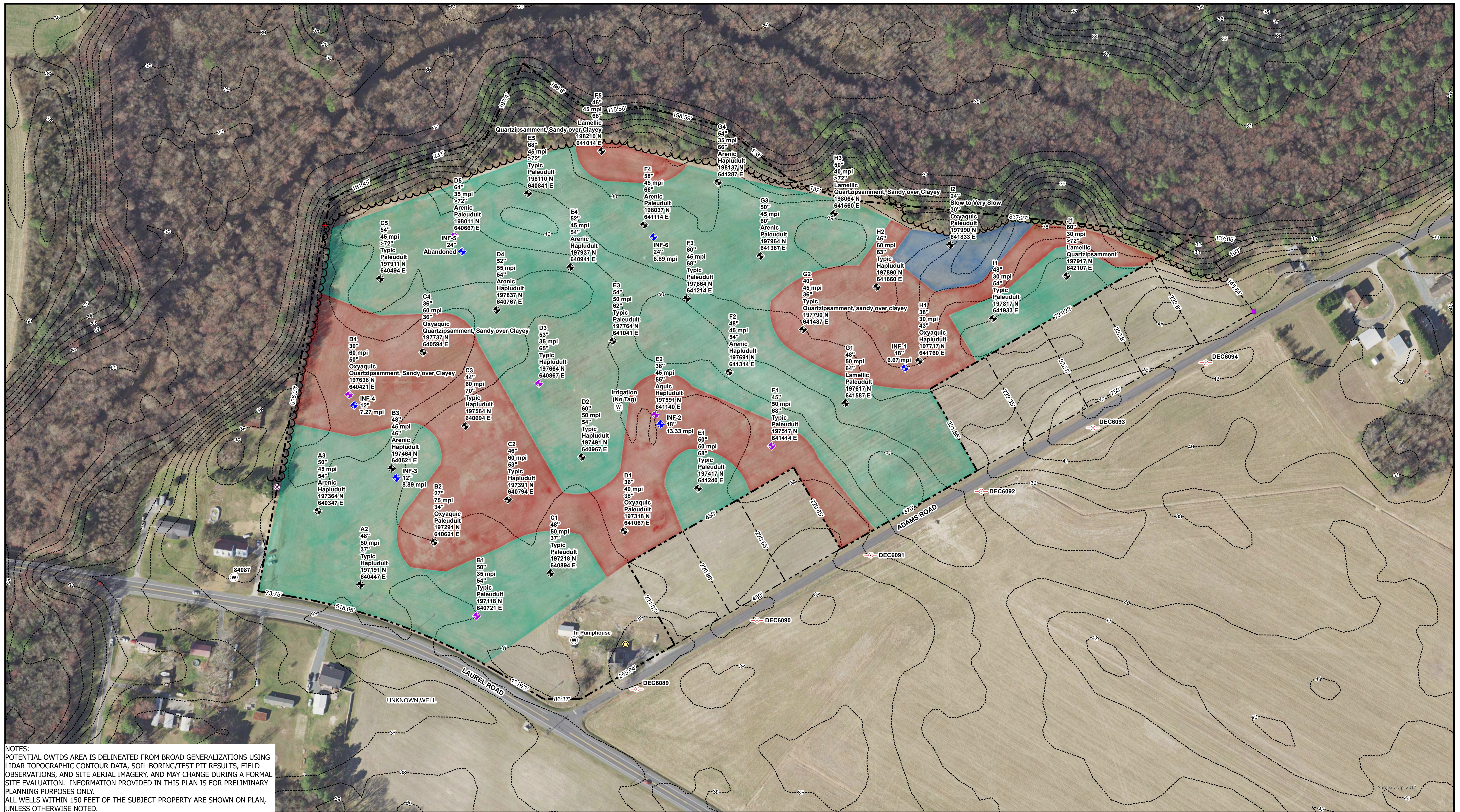
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APPENDIX B
SOIL FEASIBILITY PLAN

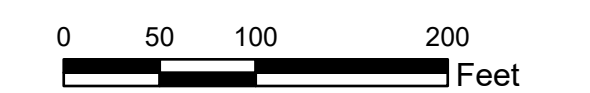




NOTES:
 POTENTIAL OWTDS AREA IS DELINEATED FROM BROAD GENERALIZATIONS USING LIDAR TOPOGRAPHIC CONTOUR DATA, SOIL BORING/TEST PIT RESULTS, FIELD OBSERVATIONS, AND SITE AERIAL IMAGERY, AND MAY CHANGE DURING A FORMAL SITE EVALUATION. INFORMATION PROVIDED IN THIS PLAN IS FOR PRELIMINARY PLANNING PURPOSES ONLY.
 ALL WELLS WITHIN 150 FEET OF THE SUBJECT PROPERTY ARE SHOWN ON PLAN, UNLESS OTHERWISE NOTED.

- Legend**
- Soil Investigation Boring**
 - Profile ID
 - Depth to Limiting Zone
 - Estimated Permeability Rate
 - Depth to Freewater
 - Taxonomic Subgroup
 - Taxonomic Great Group
 - GPS Coordinates
 - Test Pit**
 - Profile ID
 - Depth to Limiting Zone
 - Estimated Permeability Rate
 - Depth to Freewater
 - Taxonomic Subgroup
 - Taxonomic Great Group
 - GPS Coordinates
 - Infiltration Test**
 - Test Number
 - Test Depth
 - Test Result
 - Other Symbols**
 - Concrete Monument
 - OWTDS Component
 - Iron Pipe
 - Utility Pole
 - Well
 - Survey Stake
 - Property Line Adjacent
 - Potential Gravity OWTDS
 - Potential Low Pressure Pipe OWTDS
 - Potential Sand Mound OWTDS
 - 2014 Sussex Contours

SOIL BORING / TEST PIT RESULTS																																				
PROFILE ID	A2	A3	B1	B2	B3	B4	C1	C2	C3	C4	C5	D1	D2	D3	D4	D5	E1	E2	E3	E4	E5	F1	F2	F3	F4	F5	G1	G2	G3	G4	H1	H2	H3	I1	I2	J1
DEPTH TO LIMITING ZONE (IN)	48	50	50	27	48	30	48	46	44	36	54	36	60	53	52	64	50	38	54	52	68	45	48	60	58	46	48	40	50	54	38	46	50	48	24	60
POTENTIAL OWTDS SUITABILITY	CFG	CFG	CFG	CFRPP	CFG	CFRPP	CFG	FDLPP	FDLPP	FDLPP	CFG	FDLPP	FDG	CFG	CFG	FDG	CFG	FDLPP	CFG	CFG	FDG	FDLPP	CFG	FDG	CFG	FDLPP	CFG	FDLPP	CFG	CFG	FDLPP	FDLPP	CFG	CFG	ESM	FDG
FDG = FULL DEPTH GRAVITY																																				
CFG = CAPPING FILL GRAVITY																																				
FDLPP = FULL DEPTH LOW PRESSURE PIPE																																				
CFRPP = CAPPING FILL LOW PRESSURE PIPE																																				
ESM = ELEVATED SAND MOUND																																				



SOIL FEASIBILITY PLAN
 SUSSEX VENTURES INC.
 THE CROSSINGS AT TRAP POND
 LAUREL, DE 19956
 TM: 232-19.00-50.01
 Date: 1/26/2021 1 IN = 100 FT
 Drawn: MUS Project: WARD002

APPENDIX C

SOIL PROFILES





20246 Coastal Highway
 Rehoboth Beach, DE 19971
 PH: (302) 632-7548
 www.scaledengineering.com

Date: 11/25/2020

Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: B1 Slope: 1-2% Estimated Permeability: 35 mpi

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc.	Texture	Structure	Consistence
		Matrix	Mottles	Ab. S. Con.			
Ap	0-7	10 yr 3/3			LS	m	fi
AB	7-11	10 yr 3/3 10 yr 3/4			LS	m	fi
EandBt	11-25	2.5 yr 6/4	10 yr 4/6	5% Lamellar	LS SL	m m	fr/fr fr
EandBt	25-50	2.5 yr 6/4 7.5 yr 4/6	(E 20%) (B+ 80%)		LS SL	m 2msbk	vfr fr
C	50-60	7.5 yr 5/6	2.5 yr 6/2 5 yr 6/8	CzP Czd	fSL	m	vfi

Soil Classification: Typic Paleudult

Relief: Gently Sloping

Depth to Limiting Zone: 50" to Redox Features

Depth to Freewater: 54"

Comments:

Soil Scientist: M. Josh Stalling's



20246 Coastal Highway
 Rehoboth Beach, DE 19971
 PH: (302) 632-7548
 www.scaledengineering.com

Date: 11/25/2020

Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: C1 Slope: 1-2% Estimated Permeability: 50 m²/d

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc. Ab. S. Con.	Texture	Structure	Consistence
		Matrix	Mottles				
Ap	0-6	10y r 4/3			LPS	m	fr
EandBt	6-27	10y r 5/4	10y r 4/6	5% Lamellar	LPS SL	m m	vfr fr
E	27-42	2.5y 7/3			LPS	m	vfr
EandBt	42-50	10y r 5/6 2.5y 6/4	(SL 20%) (LPS)		SL LPS	m m	fr vfr
2Bt1	50-58	7.5y r 5/6	2.5y 7/2 5y r 6/8	C1P C2d	SCL	m	fi
2Bt2	58-72	10y r 5/4	2.5y 6/2 7.5y r 5/8	C2d C2P	CL	m	fi

Soil Classification: Typic Paleudult

Relief: Gently Sloping

Depth to Limiting Zone: 50" to Redox Features

Depth to Freewater: 37"

Comments:

Soil Scientist: M. Josh Stalley



20246 Coastal Highway
 Rehoboth Beach, DE 19971
 PH: (302) 632-7548
 www.scaledengineering.com

Date: 11/25/2020

Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: D1 Slope: 1-2% Estimated Permeability: 40 mpi

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc.			
		Matrix	Mottles	Ab. S. Con.	Texture	Structure	Consistence
AP	0-6	10y ^r 3/3			LS	m	fr
E ₁	6-28	2.5y ⁵ 4			LS	m	vfr
E ₂	28-36	2.5y ⁶ 4			LS	m	vfr
E ₃	36-50	2.5y ⁶ 4	10y ^r 5/6	C3d	LS	m	vfr
B ₁	50-58	10y ^r 5/4	7.5y ^r 5/8	C2P	SL	m	fr
2C	58-72	7.5y ^r 5/6	2.5y ⁶ 2 5y ^r 6/8	C2P C2D	P _{SL}	m	fi

Soil Classification: Oxyaquic Paleudult

Relief: back slope

Depth to Limiting Zone: 36" to Redox Conc.

Depth to Freewater: 38"

Comments:

Soil Scientist: M. Josh Stalling's



20246 Coastal Highway
 Rehoboth Beach, DE 19971
 PH: (302) 632-7548
 www.scaledengineering.com

Date: 11/25/2020

Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: E1 Slope: 1-2% Estimated Permeability: 50mpj

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc.	Ab. S. Con.	Texture	Structure	Consistence
		Matrix	Mottles					
Ap	0-6	10yr 4/3				LS	m	fr
EandB ₁	6-28	2.5y 5/4	7.5yr 4/6	5-10% Lamellae		LS SL	m m	ufr fr
EandB ₂	28-50	7.5yr 4/6 10yr 5/6	(B+ 75%) (E 25%)			SL+ LS	m m	fr fr
2C ₁	50-56	2.5y 5/4	7.5yr 5/8		c2p	SCL+	m	fr
2C ₂	56-72	2.5y 6/3	2.5y 7/1 7.5yr 6/8		c3d c2p	PSL+SCL	m	fr

Soil Classification: Typic Paludult

Relief: back slope

Depth to Limiting Zone: 50" to Redox Conc.

Depth to Freewater: 68"

Comments:

Soil Scientist: M. Josh Stalling's



20246 Coastal Highway
 Rehoboth Beach, DE 19971
 PH: (302) 632-7548
 www.scaledengineering.com

Date: 11/25/2020

Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: F1 Slope: 1-2% Estimated Permeability: 50mpd

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc. Ab. S. Con.	Texture	Structure	Consistence
		Matrix	Mottles				
Ap	0-8	10yr ^{3/3}			LS	m	fr
EandBt	8-26	2.5yr ^{5/3}	7.5yr ^{4/6}	5-10% Lamellae	LS SL	m	fr/fr
Bt	26-45	7.5yr ^{4/6} 10yr ^{5/6}	2.5yr ^{6/4}	c2d	(Lenses) PSL + LFS	m	fr
2C1	45-50	7.5yr ^{4/6}	2.5yr ^{6/2} 7.5yr ^{5/8}	c1p c2d	PSL	m	vfr
2C2	50-58	2.5yr ^{6/4}	7.5yr ^{5/8}	c2p	SCL	m	fr
2Cg	58-72	2.5yr ^{6/1}	2.5yr ^{6/4} 5yr ^{5/8}	m3d c2p	PSL	m	vfr

Soil Classification: Typic Paleudult

Relief: Backslope

Depth to Limiting Zone: 45" to Redox Features

Depth to Freewater: 68"

Comments: Bt had discontinuous redox conc.

Soil Scientist: M. Josh Stalling's



20246 Coastal Highway
 Rehoboth Beach, DE 19971
 PH: (302) 632-7548
 www.scaledengineering.com

Date: 11/25/2020

Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: G1 Slope: 1-3% Estimated Permeability: 50 mpi

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc.	Texture	Structure	Consistence
		Matrix	Mottles	Ab. S. Con.			
Ap	0-6	10y ^r 4/3			LS	m	fr
BE	6-18	10y ^r 5/4			LFS	m	fr
EandB+	18-48	10y ^r 5/6	7.5y ^r 4/6	20-30% Lamellae	LPS SL	m m	uf fr
2C	48-62	2.5y ^o 5/4	2.5y ^o 1 7.5y ^o 6/8	C1D C2P	SCL+	m	Po/fr
2Cg	62-72	2.5y ^o 6/2	10y ^o 6/8	C2P	PS + SCL	m	fi

Soil Classification: Lamellic Paludult Relief: backslope

Depth to Limiting Zone: 48" to Redox Features Depth to Freewater: 64"

Comments:

Soil Scientist: M. Josh Stalling



20246 Coastal Highway
 Rehoboth Beach, DE 19971
 PH: (302) 632-7548
 www.scaledengineering.com

Date: 11/25/2020

Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: H1 Slope: 1-3% Estimated Permeability: 30 mpi

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc. Ab. S. Con.	Texture	Structure	Consistence
		Matrix	Mottles				
Ap	0-6	10yr ³ / ₃			LS	m	fr
BE	6-24	10yr ⁵ / ₆			LS	m	fr/fr
EandBt	24-38	10yr ⁶ / ₆	(E 20%)		LS	m	vfr
		10yr ⁴ / ₆	(B+ 80%)		SL	m	fr
C1	38-58	10yr ⁷ / ₄	10yr ⁵ / ₈	mzp	LS	m	vfr
C2	58-72	2.5y ⁶ / ₄	10yr ⁵ / ₈	fzp	LS	m	vfr

Soil Classification: Oxyaquic Hapludult

Relief: footslope

Depth to Limiting Zone: 38" to Redox Conc.

Depth to Freewater: 43"

Comments:

Soil Scientist: M. Josh Stalley



20246 Coastal Highway
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Date: 11/25/2020

Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: I1 Slope: 1-2% Estimated Permeability: 30 mp:

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc. Ab. S. Con.	Texture	Structure	Consistence
		Matrix	Mottles				
Ap	0-6	10yr 4/5			LS	m	fr
BE	6-18	10yr 5/6			LPS	m	fr
EandBt1	18-38	7.5yr 4/6	(B+75%)		SL	m	fr
		10yr 5/6	(E 25%)		LPS	m	vfr
EandBt2	38-48	10yr 6/4	7.5yr 4/6	20-30% Lamellat	LPS SL	m m	vfr fr
		10yr 4/6 2.5yr 6/4	2.5yr 7/2 10yr 5/8	c2d, A c2dip	LPS + SL	m	fr
Cg	66-72	2.5yr 7/2	2.5yr 6/4	M3d	LS	m	vfr

Soil Classification: Typic Paleudult

Relief: backslope

Depth to Limiting Zone: 48" to Redox Features

Depth to Freewater: 54"

Comments:

Soil Scientist: M. Josh Stallys



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Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: J1 Slope: 1-3% Estimated Permeability: 30mp:

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc. Ab. S. Con.	Texture	Structure	Consistence
		Matrix	Mottles				
Ap	0-6	10yr 3/3			LFS	m	fr
BE	6-14	10yr 5/6			LFS	m	vfr
EandBt1	14-38	10yr 5/4	7.5yr 4/6	5-10% Lamellae	LFS SL	m m	vfr fr
EandBt2	38-60	2.5yr 6/4	7.5yr 4/6	20-30% Lamellae	LFS SL	m m	vfr fr
C	60-72	2.5yr 6/3	10yr 5/8	CIP	LFS	m	vfr

Soil Classification: Lamellic Quartzipsamment

Relief: Backslope

Depth to Limiting Zone: 60" to Redox Conc

Depth to Freewater: >72"

Comments:

Soil Scientist: M. Josh Stalling



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Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: A2

Slope: 1-2%

Estimated Permeability: 50 m^{pi}

Profile Type:

Soil Boring

Test Pit

GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc.	Texture	Structure	Consistence
		Matrix	Mottles	Ab. S. Con.			
Ap	0-6	10yr 4/3			LFS	m	vfr
EandB+	6-24	10yr 5/4	7.5yr 4/6	10% Lamellae	LFS SL	m m	vfr fr
B+	24-32	10yr 4/6			SL	Insbl	fr
EandB+	32-48	10yr 5/6 2.5yr 6/4	(B+ 30-40%) (E)		SL LS	m m	vfr vfr
2B+	48-60	7.5yr 5/6	2.5yr 7/2 7.5yr 6/8	c2p c2d	vPSL+SCL	m	fi

Soil Classification: Typic Hapludult

Relief: backslope

Depth to Limiting Zone: 48" to Redox Features

Depth to Freewater: 37"

Comments: Auger refusal @ 60"

Soil Scientist: M. Josh Stalling's



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Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: B2 Slope: 1-2% Estimated Permeability: 75 mpy

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc.			
		Matrix	Mottles	Ab. S. Con.	Texture	Structure	Consistence
Ap	0-8	10yr 3/3			LFS	m	fr
BE	8-27	2.5yr 5/4			LFS	m	ufr
E	27-38	2.5yr 6/4	10yr 6/8	fzp	LFS	m	ufr
2B+	38-50	7.5yr 5/6	5yr 5/8	e2d	SCL+	m	fr
2C	50-60	10yr 6/6	2.5yr 7/2 5yr 6/8	c2p c2p	SCL+CL	m	fi

Soil Classification: Oxyaquic Palendult

Relief: back slope

Depth to Limiting Zone: 27" to Redox Con

Depth to Freewater: 34"

Comments:

Soil Scientist: M. Josh Stalling



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Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: C2 Slope: 1-2% Estimated Permeability: 60 mp:

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc. Ab. S. Con.	Texture	Structure	Consistence
		Matrix	Mottles				
Ap	0-8	10yr 3/3			PSL	2mgr	fr
E	8-18	2.5y 6/4			LFS	m	fr
Bt1	18-28	10yr 5/6			SCL	2msbk	fr
Bt2	28-46	10yr 5/4			SCL+	2msbk	fr
2C1	46-60	2.5y 6/4	2.5y 7/2 10yr 5/6	c3d c2d	vFS + SCL	m	fi
2C2	60-72	2.5y 5/6	10yr 6/8	c1d	LS	m	Pr

Soil Classification: Typic Hapludult Relief: backslope

Depth to Limiting Zone: 46" to Redox Features Depth to Freewater: 53"

Comments:

Soil Scientist: M. Josh Stalling's



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Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: D2 Slope: 1-2% Estimated Permeability: 50 m^{pi}

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc.			
		Matrix	Mottles	Ab. S. Con.	Texture	Structure	Consistence
Ap	0-8	10yr 3/3			SL	2mgf	fr
BE	8-20	10yr 5/4			SL	m	fr
Bt1	20-30	10yr 5/6			SL/SCL	2msbk	fr
Bt2	30-42	7.5yr 5/6			SCL	2msbk	fr
BC	42-54	10yr 6/6			LFS + SL	m	fr
C1	54-60	10yr 5/4	10yr 6/6	C3d	LFS	m	vfr
C2	60-72	10yr 6/4	10yr 6/8 2.5yr 7/2	C1P C2d	LS	m	vfr

Soil Classification: Typic Hapludult

Relief: back slope

Depth to Limiting Zone: 60" to Redox Features

Depth to Freewater: 54"

Comments:

Soil Scientist: M. Josh Stalley



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Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: E2

Slope: 1-2%

Estimated Permeability: 45 mpi

Profile Type:

Soil Boring

Test Pit

GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc. Ab. S. Con.	Texture	Structure	Consistence
		Matrix	Mottles				
Ap	0-8	10y ^r 4/3			LS	m	fr
E	8-17	2.5y ⁵ 3			LS	2mpl	fr/ri
EandBt	17-38	2.5y ⁵ 3	10y ^r 4/6	15-20% Lamellae	LS SL	m m	vfr fr
Bt	38-46	10y ^r 5/6	2.5y ⁷ 2 7.5y ^r 6/8	C2p C2r	fSL+	2msbk	fr
C1	46-56	2.5y ⁶ 4 10y ^r 5/6	2.5y ⁷ 2 7.5y ^r 6/8	C2d ₁ A C2d ₁ A	LFS+fSL	m	fi
C2	56-72	2.5y ⁶ 4	2.5y ⁷ 2 7.5y ^r 5/8	C2d C2p	LFS	m	vfr

Soil Classification: Aquic Hapludult

Relief: backslope

Depth to Limiting Zone: 38" to Redox Features

Depth to Freewater: 55"

Comments:

Soil Scientist: M. Josh Stalling's



20246 Coastal Highway
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Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: F2 Slope: 1-3% Estimated Permeability: 45mpsi

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc.			
		Matrix	Mottles	Ab. S. Con.	Texture	Structure	Consistence
Ap	0-8	10yr4/3			LFS	m	vfr
BE	8-26	2.5yr5/4			LFS	m	vfr
B+	26-36	7.5yr4/6			SL	m	fr
BC ₁	36-42	7.5yr5/6			LFS	m	vfr
BC ₂	42-48	10yr7/6			LFS	m	vfr
C	48-56	2.5yr7/4	10yr7/8	C2p C3d	LS	m	vfr
ZB+	56-70	7.5yr5/6	5yr5/8	C2d	FSL	m	fi
ZC	70-72	7.5yr4/4	2.5yr0/2 7.5yr5/8	C2p C2p	VFS	m	fi

Soil Classification: Arenic Hapludult

Relief: shoulder

Depth to Limiting Zone: 48" to Redox Features

Depth to Freewater: 54"

Comments:

Soil Scientist: M. Josh Stalling's



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Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: G-2 Slope: 1-3% Estimated Permeability: 45mp_i

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc.			
		Matrix	Mottles	Ab. S. Con.	Texture	Structure	Consistence
Ap	0-8	10y ⁵ 4/3			LS	m	fr
Bw	8-30	2.5y ⁵ 4			LFS	m	vfr
BC	30-40	2.5y ⁶ 4			LFS	m	vfr
C	40-56	2.5y ⁷ 4	7.5yr ⁵ 8	p2p	LFS	m	vfr
2Bt ₁	56-62	7.5yr ⁵ 6	5yr ⁵ 8	c2d	PSL+	m	fr/fi
2Bt ₂	62-68	7.5yr ⁵ 8	2.5y ⁶ 1 5yr ⁴ 6	c2p c2d	SCL+	m	fi
2Cg	68-72	2.5y ⁶ 1	5yr ⁵ 8	c1p	CL+	m	vfi

Soil Classification: *Typic Quartzipsamment, sandy over clayey* Relief: *back slope*

Depth to Limiting Zone: *40" to Redox Conc* Depth to Freewater: *36"*

Comments:

Soil Scientist: *M. Josh Stalley's*



20246 Coastal Highway
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Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: H 2 Slope: 1-3% Estimated Permeability: 60 mpi

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc. Ab. S. Con.	Texture	Structure	Consistence
		Matrix	Mottles				
Ap	0-8	10y ^r 4/3			LFS	m	vfr
EandBt1	8-30	2.5y ⁵ 4	7.5y ^r 4/6	5-10% Lamellae	LFS SL	m	yfr fr
EandBt2	30-40	2.5y ⁶ 4	10y ^r 4/6	5% Lamellae	LFS SL	m	vfr fr
EandBt3	40-46	2.5y ⁶ 4 7.5y ^r 4/6	(E 30%) (B+ 70%)		LFS SL+	m	yfr fr
2B+	46-56	7.5y ^r 5/4 7.5y ^r 5/6	2.5y ⁶ 2 5y ^r 4/8	C2p C2d,p	CL	2msbk	fr
2C	56-72	2.5y ⁶ 3	10y ^r 7/6 2.5y ⁶ 1	C2p A13d	vPSL+SL	m	fr

Soil Classification: Typic Hapludult

Relief: back slope

Depth to Limiting Zone: 46" to Redox Features

Depth to Freewater: 63"

Comments:

Soil Scientist: M. Josh Stalling



20246 Coastal Highway
 Rehoboth Beach, DE 19971
 PH: (302) 632-7548
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Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: I 2 Slope: 2-4% Estimated Permeability: Slow to Very Slow

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc. Ab. S. Con.	Texture	Structure	Consistence
		Matrix	Mottles				
Ap	0-8	10yr 4/3			LFS	m	fr
Bw	8-24	2.5y 5/4			LFS	m	vfr
C	24-36	2.5y 7/3	10yr 6/6	fzp	LFS	m	vfr
2B+	36-46	10yr 5/6	2.5y 6/1 7.5yr 5/8	c2p c2d	CL	m	fr
2Cg1	46-62	2.5y 6/1	7.5yr 6/8 2.5y 6/4	c2p m3d	(Lenses) vPS+CL	m	vfi
2Cg2	62-72	2.5y 6/2	7.5yr 6/8 10yr 7/4	c2p c2d	vFS, SCL, CL	m	fi

Soil Classification: Oxyaquic Paleudult

Relief: foot slope

Depth to Limiting Zone: 24" to Redox Conc

Depth to Freewater: 30"v

Comments: Boring in concave landscape. Avoiding Area.
 Recommend

Soil Scientist: M. Josh Stalley's



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Property Owner: Sussex Ventures Inc. Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: A3 Slope: 1-2% Estimated Permeability: 45 m_pi

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc. Ab. S. Con.	Texture	Structure	Consistence
		Matrix	Mottles				
Ap	0-6	10yr ^{3/4}			LFS	1mgr fr	
BE	6-26	10yr ^{6/6}			LFS	m vfr	
B+	26-42	7.5yr ^{4/6}			PSL/SCL	1,2msbk fr	
BC+	42-50	10yr ^{6/4} 10yr ^{6/6}			LvFS +vFSL	m fr	
C1	50-62	2.5yr ^{6/4}	2.5yr ^{7/2} 10yr ^{3/6}	C2d O2d	vFS	m fr/fi	
C2	62-72	10yr ^{6/6}			LFS	m fr	

Soil Classification: Arenic Hapludult Relief: footslope

Depth to Limiting Zone: 50" to Redox Features Depth to Freewater: 54"

Comments:

Soil Scientist: M. Josh Stalling's



20246 Coastal Highway
 Rehoboth Beach, DE 19971
 PH: (302) 632-7548
 www.scaledengineering.com

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Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: B3 Slope: 1-3% Estimated Permeability: 45mp

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc. Ab. S. Con.	Texture	Structure	Consistence
		Matrix	Mottles				
Ap	0-6	10yr ³ / ₄			LfS	1mgr	fr
BE	6-28	10yr ⁵ / ₄			LfS	m	fr
B+	28-48	10yr ⁶ / ₆ 7.5yr ⁴ / ₆			SL/SCL	m	fr
C	48-72	2.5yr ⁶ / ₄	10yr ⁶ / ₆ 2.5yr ⁷ / ₂	c2p c3d	vfs	m	fr-

Soil Classification: Arenic Hapludult Relief: back slope

Depth to Limiting Zone: 48" to Redox Features Depth to Freewater: 46"

Comments:

Soil Scientist: M. Josh Stalling



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Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: C3 Slope: 1-2% Estimated Permeability: 60 mp

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc. Ab. S. Con.	Texture	Structure	Consistence
		Matrix	Mottles				
Ap	0-6	10yr ³ / ₃			LFS	2mgr	fr
BE	6-16	10yr ⁵ / ₄			LFS	m	vfr
B+	16-26	7.5yr ⁴ / ₆			SCL	2msbk	fr
BC	26-44	7.5yr ⁵ / ₈			LFS	m	vfr
C	44-48	7.5yr ⁶ / ₄	2.5y ⁷ / ₂ 7.5yr ⁵ / ₈	f2p c2p	LFS	m	vfr
2B+	48-54	7.5yr ⁴ / ₆	2.5y ⁷ / ₁ 7.5yr ⁶ / ₈	c2p c2d	SCL+	m	fr
2C	54-62	2.5y ⁶ / ₄	2.5y ⁶ / ₂ 7.5yr ⁵ / ₈	c2d c2p	vFS+SCL	m	fi
2Cg	62-72	2.5y ⁶ / ₁	2.5y ⁷ / ₄	c3d	vFS+vFSL	m	vfi

Soil Classification: Typic Hapludult

Relief: back slope

Depth to Limiting Zone: 44" to Redox Features

Depth to Freewater: 70"

Comments:

Soil Scientist: M. Josh Stalley



20246 Coastal Highway
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 PH: (302) 632-7548
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Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: D3 Slope: 1-2% Estimated Permeability: 35mp_i

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc.	Texture	Structure	Consistence
		Matrix	Mottles	Ab. S. Con.			
Ap	0-7	10yr ³ / ₃			LS	m	fr
EandB ₁	7-21	2.5yr ⁵ / ₄	10yr ⁴ / ₆	5% Lamellae	LS	m	fr
B ₁	21-42	7.5yr ⁴ / ₆	10yr ⁵ / ₄	LS Variegations	SL	m	fr
EandB ₁	42-53	10yr ⁵ / ₆	7.5yr ⁴ / ₆	20-30% Lamellae	LS SL	m	fr
2C ₁	53-64	10yr ⁵ / ₄ 7.5yr ⁴ / ₆	2.5yr ⁷ / ₄ 7.5yr ⁵ / ₈	C2d ₁ F C2d ₁ F	LFS PSL	m	fr fi
2C ₂	64-70	7.5yr ⁵ / ₆	2.5yr ⁶ / ₄	C3P	LcoS	m	vfr

Soil Classification: Typic Hapludult

Relief: backslope

Depth to Limiting Zone: 53" to Redox Features

Depth to Freewater: 65"

Comments:

Soil Scientist: M. Josh Stalley



20246 Coastal Highway
 Rehoboth Beach, DE 19971
 PH: (302) 632-7548
 www.scaledengineering.com

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Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: E3

Slope: 2-4%

Estimated Permeability: 50 m²/d

Profile Type:

Soil Boring

Test Pit

GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc.			
		Matrix	Mottles	Ab. S. Con.	Texture	Structure	Consistence
Ap	0-6	10y ^r 3/3			LS	m	fr
EandBt ₁	6-24	2.5y ⁵ 1/4			2FS + SL	m	fr
EandBt ₂	24-46	2.5y ⁷ 1/4	7.5y ⁴ 1/6	5% Lamellar	LFs S2	m m	vfr fr
Bt ₁	46-54	7.5y ⁴ 1/6			SCL ⁺	2msbk	fr
Bt ₂	54-62	10y ⁵ 1/4	7.5y ⁵ 1/6	c1p	SCL	m	fr
C	62-72	2.5y ⁷ 1/4	10y ⁵ 6/6 2.5y ⁷ 1/2	c2d c3d	vFS + vFSL	m	fi

Soil Classification: Typic Paleudult

Relief: backslope

Depth to Limiting Zone: 54" to Redox Conc

Depth to Freewater: 62"

Comments:

Soil Scientist: M. Josh Stalling's



20246 Coastal Highway
 Rehoboth Beach, DE 19971
 PH: (302) 632-7548
 www.scaledengineering.com

Date: 11/18/2020

Tax ID Number:

Property Owner:

Project Number:

Property Location:

Profile #: F3

Slope: 2-4%

Estimated Permeability: 45mpd

Profile Type:

Soil Boring

Test Pit

GPS:

Horizon	Depth (in.)	Colors		Mottles Desc. Ab. S. Con.	Texture	Structure	Consistence
		Matrix	Mottles				
Ap	0-8	10yr ^{3/3}			LPS	m	fr
EandBt ₁	8-28	2.5yr ^{5/4}	7.5yr ^{4/6}	10% Lamellae	LPS SL	m	vfr fr
EandBt ₂	28-46	2.5yr ^{6/4}	7.5yr ^{4/6}	5% Lamellae	LS SL	m	vfr fr
Bt ₁	46-60	7.5yr ^{4/6}			SCL	2msbk	fr
Bt ₂	60-66	10yr ^{6/4}	2.5yr ^{7/2} 7.5yr ^{5/8}	c2d c2p	SCL	m	pr/ci
C	66-72	2.5yr ^{6/4}	10yr ^{6/6}	fid	LPS	m	vfr

Soil Classification: Typic Paleudult

Relief: Shoulder

Depth to Limiting Zone: 60" to Redox Features

Depth to Freewater: 68"

Comments:

Soil Scientist: M. Josh Stalling



20246 Coastal Highway
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Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: G-3 Slope: 1-2% Estimated Permeability: 45 mpi

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc. Ab. S. Con.	Texture	Structure	Consistence
		Matrix	Mottles				
Ap	0-6	10y _r 3/3			LS	m	fr
BE	6-24	2.5y ₅ 4/4			LS	m	vfr
EandBt	24-40	7.5y _r 4/6 2.5y ₆ 4/4	(B+ 60-70%) (E)		SL+ LS	1msbk m	fr vfr
Bt ₁	40-50	7.5y _r 5/6			SCL	2msbk	fr
Bt ₂	50-56	10y _r 6/4 7.5y _r 5/6	2.5y ₇ 1/2 7.5y _r 5/8	c2d, p c2d, p	SCL	2msbk	fr
C ₁	56-66	2.5y ₆ 4/4	2.5y ₇ 1/2 7.5y _r 5/8	c2d c2p	PS + SCL	m	fr/ai
C ₂	66-72	7.5y _r 5/6	2.5y ₇ 1/2 7.5y _r 6/8	c2p c2d	LPS + SCL	m	fr

Soil Classification: Arenic Paludult

Relief: backslope

Depth to Limiting Zone: 50" + Rodox Features

Depth to Freewater: 60"

Comments:

Soil Scientist: M. Josh Stalling



20246 Coastal Highway
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 PH: (302) 632-7548
 www.scaledengineering.com

Date: 11/18/2020

Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: H3 Slope: 1-2% Estimated Permeability: 40 mpi

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (In.)	Colors		Mottles Desc. Ab. S. Con.	Texture	Structure	Consistence
		Matrix	Mottles				
Ap	0-6	10yr ^{3/3}			LS	m	vfr
EandBt ₁	6-32	2.5yr ^{5/4}	7.5yr ^{4/6}	<5% Lamellae	LFS	m	vfr
EandBt ₂	32-42	2.5yr ^{6/4}	7.5yr ^{4/6}	5% Lamellae	LS SL	m m	vfr fr
C	42-50	2.5yr ^{7/4}			LS	m	vfr
2C	50-72	10yr ^{6/4}	2.5yr ^{6/4} 7.5yr ^{5/8}	C3P C2P	SCL + CL	m	fr

sandy over clayey

Soil Classification: Lamellic Quartzipsamment Relief: backslope

Depth to Limiting Zone: 50" to Redox Features Depth to Freewater: >72"

Comments:

Soil Scientist: M. Josh Stalley



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Date: 11/25/2020

Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: B4 Slope: 1-2% Estimated Permeability: 60mp

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (In.)	Colors		Mottles Desc.	Ab. S. Con.	Texture	Structure	Consistence
		Matrix	Mottles					
Ap	0-8	10y ^r 3/3				LFS	m	fr
Bw	8-30	10y ^r 6/4				LFS	2mpl	fr/fi
BC	30-49	2.5y ^r 6/4	7.5y ^r 6/8	c2P		LFS	m	fr
2C1	49-63	7.5y ^r 5/6	2.5y ^r 6/2 5y ^r 6/8	c2P c2d		SCL	m	fi
2C2	63-72	10y ^r 5/6 2.5y ^r 6/2	5y ^r 6/8 2.5y ^r 6/4	c2P c2d,p		CL	m	ufi

sandy over clayey

Soil Classification: Oxyaquic Quartzipsamment, Relief: footslope

Depth to Limiting Zone: 30" to Redox Conc Depth to Freewater: 50"

Comments:

Soil Scientist: M. Josh Stalling



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Date: 11/18/2020 Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc. Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: C4 Slope: 1-2% Estimated Permeability: 60mpa

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Ab. S. Con.	Texture	Structure	Consistence
		Matrix	Mottles				
Ap	0-8	10yr ^{3/3}			Lfs	1mgr	fr
Bw1	8-22	2.5yr ^{5/4}			LPS	m	vfr
Bw2	22-36	2.5yr ^{6/4}			LPS	m	vfr
Bc	36-42	2.5yr ^{7/4}	10yr ^{6/8}	p1p	LFS	m	vfr
2C1	42-60	7.5yr ^{5/6}	2.5yr ^{6/1} 5yr ^{6/8}	c2p c2d	vPSL + SCL	m	fi
2C2	60-72	7.5yr ^{5/6} 7.5yr ^{6/4}	2.5yr ^{6/1} 5yr ^{6/8}	c3d1p c2d1p	CL	m	vfi
					sandy over clayey		

Soil Classification: Oxyaquic Quartzipsamment, Relief: foot slope

Depth to Limiting Zone: 36" to Redox Conc. Depth to Freewater: 36"

Comments:

Soil Scientist: *M. Josh Stalling's*



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Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: 14 Slope: 1-3% Estimated Permeability: 55 mpi

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc.			
		Matrix	Mottles	Ab. S. Con.	Texture	Structure	Consistence
Ap	0-8	10yr ³ / ₃			LFS	m	fr
E	8-28	2.5y ⁶ / ₄			LS	m	vfr
EandBt	28-42	2.5y ⁶ / ₄ 7.5yr ⁴ / ₆	E 30% B+ 70%		LFS FSL	m 2msbk	vfr fr
FandBt	42-52	2.5y ⁶ / ₄ 7.5yr ⁴ / ₆	E 60-70% B+ 30-40%		LFS FSL	m m	vfr fr
C	52-64	2.5y ⁶ / ₃	2.5y ⁶ / ₁ 10yr ⁵ / ₆	C3d C2p	vPS	m	fi
2Cg	64-72	2.5y ⁶ / ₁	7.5yr ⁶ / ₈ 2.5y ⁶ / ₃	C2p M3d	SCL+	m	vfi

Soil Classification: Arenic Hapludult Relief: back slope

Depth to Limiting Zone: 52" to Redox Features Depth to Freewater: 54"

Comments:

Soil Scientist: M. Josh Stalley



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Date: 11/18/2020

Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: E4 Slope: 2-4% Estimated Permeability: 45 m.p.i.

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc.	Texture	Structure	Consistence
		Matrix	Mottles	Ab. S. Con.			
Ap	0-12	10y ^r 3/3			LFS	Imgr	fr
BE ₁	12-18	10y ^r 4/4			LFS	m	vfr
BE ₂	18-30	2.5y ⁵ 4			LFS	m	vfr
B+	30-42	7.5y ^r 4/6			FSL	1msbk	fr
BC+	42-48	10y ^r 6/6	2.5y ⁶ 4/4 7.5y ^r 4/6	C2d (SL) C3d	LFS + FSL	m	fr
CB+	48-62	2.5y ⁷ 4	2.5y ⁷ 1/2 7.5y ^r 4/6	C2d (SL 15%)	LFS + FSL	m	fr
C	62-72	2.5y ⁶ 4	10y ^r 5/6	C2d	LS	m	vfr

Soil Classification: Arenic Hapludult Relief: back slope

Depth to Limiting Zone: 52" to Redox Features Depth to Freewater: 51"

Comments:

Soil Scientist: M. Josh Stalling's



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Date: 11/18/2020

Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: F4 Slope: 1-3% Estimated Permeability: 45mp'

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc.	Ab. S. Con.	Texture	Structure	Consistence
		Matrix	Mottles					
Ap	0-8	10yr3/3				LFS	m	fr
BE	8-20	10yr5/4				LFS	m	vfr
EandBt1	20-42	2.5yr7/4	7.5yr4/6	5% Lamellae		LFS	m	vfr
EandBt2	42-58	7.5yr4/6 2.5yr6/3	(SL 10%)			LvFS	m	fr/fi
2Bt	58-70	7.5yr4/6	7.5yr6/8	C2d		fSL	m	fr
2C	70-72	10yr6/4	2.5yr6/2 7.5yr5/6	C2d C2d		SCL+	m	fr

Soil Classification: Arenic Paleudult

Relief: backslope

Depth to Limiting Zone: 58" to Redox Conc

Depth to Freewater: 66"

Comments:

Soil Scientist: M. Josh Stalley



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Date: 11/18/2020

Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: G4

Slope: 1-3%

Estimated Permeability: 35 m²/s

Profile Type:

Soil Boring

Test Pit

GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc.	Ab. S. Con.	Texture	Structure	Consistence
		Matrix	Mottles					
Ap	0-8	10yr ³ /4				LFS	Imgr	fr
BE	8-20	2.5yr ⁵ /4				LFS	m	vfr
EandBt	20-40	7.5yr ⁴ /6 10yr ⁵ /4	30-40% Bt E			SL LFS	m m	fr vfr
Bt	40-54	7.5yr ⁴ /6	10yr ⁶ /6	Texture Variations		(Lenses) LFS + SL	Imsbk	fr
BC	54-66	10yr ⁷ /6	10yr ⁹ /8	Fzd		LFS	m	vfr
Cg	66-72	2.5yr ⁶ /2	7.5yr ⁶ /8 2.5yr ⁶ /4	C2P M3d		LFS	m	vfr

Soil Classification: Arenic Hapludult

Relief: back slope

Depth to Limiting Zone: 54" to Redox Conc

Depth to Freewater: 66"

Comments:

Soil Scientist: M. Josh Stalley



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Date: 11/18/2020

Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: C5 Slope: 1-2% Estimated Permeability: 45 mpi

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc. Ab. S. Con.	Texture	Structure	Consistence
		Matrix	Mottles				
Ap	0-6	10yr ⁴ / ₃			LS	lmg	fr
EandBt	6-30	10yr ⁵ / ₄	10yr ⁴ / ₆	10-15% Lamellae	LS SL	m m	vfr fr
EandBt	30-48	2.5yr ⁷ / ₄	7.5yr ⁴ / ₆	5-10% Lamellae	LPS SL	m m	vfr fr
2Bt	48-54	7.5yr ⁵ / ₆			SCL	m	fr
2C	54-72	7.5yr ⁵ / ₄ 10yr ⁶ / ₆	2.5yr ⁶ / ₂ 7.5yr ⁵ / ₈		fSL + SCL	m	fr

Soil Classification: Typic Paleudult

Relief: back slope

Depth to Limiting Zone: 54" to Redox Features

Depth to Freewater: >72"

Comments:

Soil Scientist: M. Josh Stalley



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Date: 11/25/2020

Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: D5 Slope: 2-4% Estimated Permeability: 35 mpi

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc. Ab. S. Con.	Texture	Structure	Consistence
		Matrix	Mottles				
Ap	0-9	10y ^r 4/3			LS	m	fr
E	9-23	2.5y ⁶ /4			LS	2mpl	fi
EandBt1	23-34	2.5y ⁵ /4	7.5y ^r 4/6	10-15% Lamellae	LS SL	m m	fr/fi fr
EandBt2	34-56	0y ^r 6/6	7.5y ^r 4/6	30-40% Lamellae	LS SL	m m	fr fr
2B+1	56-64	7.5y ^r 4/6			fSL	m	fi
2B+2	64-72	7.5y ^r 5/6	2.5y ^r 7/4 5y ^r 6/8	c2p c2d	fSL	m	fi

Soil Classification: Arenic Paleudult

Relief: backslope

Depth to Limiting Zone: 64" to Redox Features

Depth to Freewater: >72"

Comments:

Soil Scientist: M. Josh Stalley



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Date: 11/18/2020

Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Profile #: ES Slope: 2-4% Estimated Permeability: 45mp:

Profile Type: Soil Boring Test Pit GPS: See Plot

Horizon	Depth (in.)	Colors		Mottles Desc.	Texture	Structure	Consistence
		Matrix	Mottles	Ab. S. Con.			
Ap	0-6	10yr4/3			LS	1mgr	fr
EandBt	6-32	10yr5/4	7.5yr4/6	5-10% Lamellae	LFS SL	m m	vfr fr
BC+	32-60	2.5yr7/4	10yr4/6	25% Lamellae	LFS	m	vfr
2Bt1	60-68	7.5yr4/6	7.5yr5/4	m3d	SCL	2msbl	fr
2Bt2	68-72	7.5yr5/6	2.5yr7/2 7.5yr5/8	c1p c1d	SCL	m	fr

Soil Classification: Typic Paleudult

Relief: Shoulder

Depth to Limiting Zone: 68" to Redox Features

Depth to Freewater: >72"

Comments:

Soil Scientist: M. Josh Stalling's

APPENDIX D

INFILTRATION TEST LOGS





20246 Coastal Highway
 Rehoboth Beach, DE 19971
 PH: (302) 632-7548
 www.scaledengineering.com

Date: 12/23/2020

Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Test #: INF-1

Test Depth: 18"

Soil Texture at Testing Depth: LfS

Test Type: Single Ring Double Ring

GPS: Adjacent to H1

Analysis Method: Falling Head Constant Head

Ring Diameter: 12"

Saturation Period Start Time: 755

Weather: Sunny; 40-49 degrees

Test Period 1 Start Time: 1155

Test Period 2 Start Time: N/A

TIME:	MEASURE (IN):	DROP (IN):	TIME:	MEASURE (IN):	DROP (IN):
1155	6	N/A			
1205	4-3/8	1-5/8			
1215	4-1/2	1-1/2			
1225	4-1/2	1-1/2			
1235	4-1/2	1-1/2			
1245	4-1/2	1-1/2			
1255	4-1/2	1-1/2			

RESULT: 1.5"/10min = 6.67 mpi

Comments:

Soil Scientist: *M. Josh Stalling's*



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Date: 12/23/2020

Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Test #: INF-2

Test Depth: 18"

Soil Texture at Testing Depth: LS & SL

Test Type: Single Ring Double Ring

GPS: Adjacent to E2

Analysis Method: Falling Head Constant Head

Ring Diameter: 24"

Saturation Period Start Time: 905

Weather: Sunny; 40-49 degrees

Test Period 1 Start Time: 1305

Test Period 2 Start Time: N/A

TIME:	MEASURE (IN):	DROP (IN):	TIME:	MEASURE (IN):	DROP (IN):
1305	6	N/A			
1315	5	1			
1325	5-1/4	3/4			
1335	5-1/4	3/4			
1345	5-1/4	3/4			
1355	5-1/4	3/4			
1405	5-1/4	3/4			

RESULT: 0.75"/10min = 13.33 mpi

Comments:

Soil Scientist: *M. Josh Stalley's*



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Date: 12/23/2020

Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Test #: INF-3

Test Depth: 12"

Soil Texture at Testing Depth: LfS

Test Type: Single Ring Double Ring

GPS: Adjacent to B3

Analysis Method: Falling Head Constant Head

Ring Diameter: 24"

Saturation Period Start Time: 830

Weather: Sunny; 40-49 degrees

Test Period 1 Start Time: 1230

Test Period 2 Start Time: N/A

TIME:	MEASURE (IN):	DROP (IN):	TIME:	MEASURE (IN):	DROP (IN):
1230	6	N/A			
1240	4-3/4	1-1/4			
1250	4-3/4	1-1/4			
1300	4-7/8	1-1/8			
1310	4-7/8	1-1/8			
1320	4-7/8	1-1/8			
1330	4-7/8	1-1/8			

RESULT: 1.125"/10min = 8.89 mpi

Comments:

Soil Scientist: *M. Josh Stalling's*



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Date: 12/23/2020

Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Test #: INF-4

Test Depth: 12"

Soil Texture at Testing Depth: LfS

Test Type: Single Ring Double Ring

GPS: Adjacent to B4

Analysis Method: Falling Head Constant Head

Ring Diameter: 12"

Saturation Period Start Time: 930

Weather: Sunny; 40-49 degrees

Test Period 1 Start Time: 1340

Test Period 2 Start Time: N/A

TIME:	MEASURE (IN):	DROP (IN):	TIME:	MEASURE (IN):	DROP (IN):
1340	6	N/A			
1350	4-5/8	1-3/8			
1400	4-5/8	1-3/8			
1410	4-5/8	1-3/8			
1420	4-5/8	1-3/8			
1430	4-5/8	1-3/8			
1440	4-5/8	1-3/8			

RESULT: 1.375"/10min = 7.27 mpi

Comments:

Soil Scientist: *M. Josh Stalley*



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Date: 12/23/2020

Tax ID Number: 232-19.00-50.01

Property Owner: Sussex Ventures Inc.

Project Number: WARD002

Property Location: 16201 Adams Road, Laurel, DE 19956

Test #: INF-6

Test Depth: 24"

Soil Texture at Testing Depth: LfS & SL

Test Type: Single Ring Double Ring

GPS: Adjacent to F4

Analysis Method: Falling Head Constant Head

Ring Diameter: 12"

Saturation Period Start Time: 1025

Weather: Sunny; 40-49 degrees

Test Period 1 Start Time: 1425

Test Period 2 Start Time: N/A

TIME:	MEASURE (IN):	DROP (IN):	TIME:	MEASURE (IN):	DROP (IN):
1425	6	N/A			
1435	4-7/8	1-1/8			
1445	4-7/8	1-1/8			
1455	4-7/8	1-1/8			
1505	4-7/8	1-1/8			
1515	4-7/8	1-1/8			
1525	4-7/8	1-1/8			

RESULT: 1.1.25"/10min = 8.89 mpi

Comments:

Soil Scientist: *M. Josh Stalley*

Pepper Branch



Open Space

Open Space

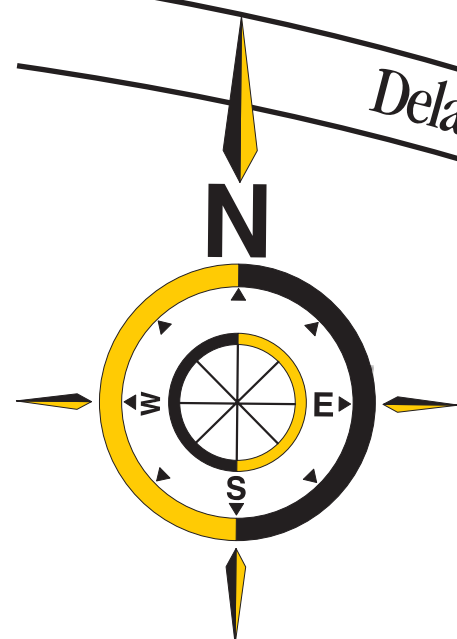
Open Space

Open Space

Open Space

Open Space

THE CROSSINGS



Proposed Subdivision Summary

The Crossings– Single Family Homes

The Crossings is proposed as a low-density subdivision, with restrictions, for single-family, stick-built homes. The site is presently zoned AR-1, Agricultural/Residential by the Sussex County Planning & Zoning Department and is currently farmland. The application proposes subdividing 39 acres into 39 lots (cluster design) while maintaining approximately 30% of open space. The property is located on Adams Rd, Broad Creek Hundred, in Sussex County.

The soils on this site are feasible for on-site septic systems. On-site wells are also proposed for this subdivision. Roads are planned to be built to county specifications. On-site storm water will be diverted to storm water management areas shown in future sections of this booklet. A tree buffer is planned that will buffer neighboring properties and Rt 24.

The Crossings

OVERVIEW

The Crossings is proposed as a 39 lot community on approximately 39 +/- acres. The site is located east of Laurel at the intersection of Laurel Rd & Adams Rd. Being near Laurel, this proposed subdivision is designed ideally to provide housing for 1st time home buyers. With shopping, restaurants, and commercial center areas just a short drive away, it appears to be a good location for a housing community where the local workforce can raise a family.

The subdivision application is requesting to subdivide 39 acres into 39 lots with a cluster design. The cluster design requested is superior to that of a conventional subdivision by providing approximately 12 acres of open space (30+ %). This open space will allow residents an area for walking trails, passive recreation, as well as providing a buffer between homes. The proposed size and density of this project better fits with the overall character of the community than one of higher density and less open space.

CRITERIA

Sussex County regulations require that developers consider seventeen (17) criteria prior to submission of any subdivision request. Each of these criteria has been given careful consideration. In addition to the consideration of the criteria, several experts and professionals have been consulted. This list includes DelDOT employees, soil scientists, environmental scientists, storm-water design professionals, civil engineers, and road construction contractors.

1. Integration of the proposed subdivision into existing terrain and surrounding landscape.

This site fits adjacent to Laurel Rd and other area farmland. A twenty foot (20) buffer is planned on the South side of the proposed subdivision parcel. Experience has shown that a buffer of evergreen trees provides a more effective buffer since these types of trees keep their foliage throughout the year. The goal of a buffer is to block or minimize undesirable elements such as prevailing winds, roadway traffic, excessive noise or lighting, etc. Since this site is mostly clear, these trees will create an effective buffer from vehicular traffic, noise and lights. What is a buffer expected to achieve? As defined, a buffer is used to prevent the damaging or undesirable effects of one land use on another, such as farmland and residential subdivisions. If the uses are the same, they would not be considered undesirable nor would there be negative impacts. This being said, the proposed buffer as shown on the rendering and proposed plans to be located along the west and south of the project would be very effective. Requiring a buffer between the development lots and similar lots on Adams Rd seems to be unnecessary since the use is the same. Families, friends, and neighbors would look forward to the opportunity to purchase homes near one another. If they choose to incorporate a fence, buffer, etc between the two lots, the homeowner should have that choice and option to do so, but not be mandated to do

so. The rear of the site is a wooded parcel owned by DNREC and will almost certainly remain wooded.

2. Minimal use of wetlands and flood plains.

Coastal & Estuarine Research (Evelyn Maurmeyer, PhD) conducted a wetland delineation study and determined that a small area, .07 acres, within the wooded section of the site is wetlands. There are no plans to disturb the wetlands or any of the wooded areas.

3. Preservation of natural and historic features.

The natural feature of this parcel is a gentle rolling field. This will be preserved by moving a minimum amount of soil.

4. Preservation of open space and scenic views.

The concept plan calls for a significant amount (30+%) of open space. Current views to the north and west is the edge of an area owned by DNREC.

5. Minimization of tree, vegetation, and soil removal and grade changes.

There are no plans to remove any of the wooded area at the rear of the property. This will provide an ideal buffer for the development and minimize any disturbance to the natural habitat. The final road design will incorporate a minimum movement of soil and maintain current grade to the extent possible. It is anticipated that final grades will be changed very little.

6. Screening of objectionable features from neighboring properties and roadway.

While there are few objectionable features visible on neighboring properties, the planting of trees on the proposed buffer will limit the views of the neighboring roadway. This tree buffer will also provide a wind buffer as well as a landscape border.

7. Provision for water supply.

Water supply will be from on-site wells.

8. Provision for sewage disposal.

Sewage disposal is proposed to be by on-site septic systems. We have received a letter from DNREC (enclosed) stating that the site is feasible for on-site septic systems.

9. Prevention of pollution of surface and groundwater.

The project design has a system of swales that forces the surface water (rain runoff) to be diverted to designated storm-water management areas (shown on the plans) where it will be slowly released into Pepper's Branch at a controlled rate.

10. Minimization of erosion and sedimentation, changes in groundwater levels, increased rates of runoff, potential for flooding, and maximize groundwater recharge.

This subdivision will greatly reduce erosion and sedimentation, have little impact on ground water levels, decrease the rate of runoff, decrease the potential for flooding and maximize groundwater recharge. Erosion and sedimentation will be reduced since water from this site will not leave as fast as it does currently. It will be slowed by the grassed swales and storm-water controls. Because of the storm-water design, there is a significant decrease in any potential flooding. Groundwater recharge will be increased since the on-site storm water will be kept on site longer and seep slowly back into the earth. The tree buffer will also reduce wind erosion. Each of these areas listed above will be positively impacted by this project.

11. Provision for safe vehicular and pedestrian movement within the site and adjacent ways.

The interior roads are proposed to be built to county specifications. A speed limit of 15 miles per hour is proposed within the development. The proposed entrance is located on Adams Rd, which is categorized by DELDOT as a local rd. With the walking trails we are proposing within the open space, and the project's close proximity to Trap Pond State Park, we are requesting to build the interior street to include a walking path as part of the street design.

12. Effect of property values.

The proposed deed restrictions (enclosed) will provide an attractive well-maintained community. With proposed land/home packages from \$249,000 and up, this project will have a positive effect on property values in the area.

13. Preservation and conservation of farmland.

By approving this project, more lots will be available, therefore some of the market pressure to create additional homes on neighboring farmland will be decreased, thus tending to preserve farmland.

14. Effect on schools, public buildings, etc.

The major effect on schools will be an increase in the amount of tax revenue that is generated from this property. Laurel School District, as well as Sussex County, will reap significant increase in tax revenue from the homes that will be built on this site.

15. Effect on area roadways and public transportation.

There will be a small increase in traffic on Adams Rd as well as Laurel Rd. This increase will not change the classification of the road. The proposed entrance is visible on Adams Road from over 1000 feet in both directions.

16. Compatibility with other area land uses.

The Trap Pond area is not an industrial or commercial area. It is composed of homes and farmland. This subdivision will be very compatible with other land uses.

17. Effect on area waterways.

Pepper's Branch is located to the rear of the subject parcel. With the proposed subdivision in place, erosion and runoff will be significantly reduced and water quality will be improved since most water will be kept on the property longer because of the storm water design

A system of grassy swales will capture the storm-water runoff and direct it to approved storm-water management areas. These storm-water management areas will be able to slow the water and allow it to be discharged at a controlled rate. Based on the soil testing completed on this site, the soils are extremely sandy and will provide for ideal drainage. A feasibility study has been conducted and approved by DNREC for on-site septic systems. Included in the preliminary plan, we have designed approximately 12 acres of open space, 30% of the total project. This open space will provide buffers from neighboring properties. We are proposing to build the roads on this site to county specifications.

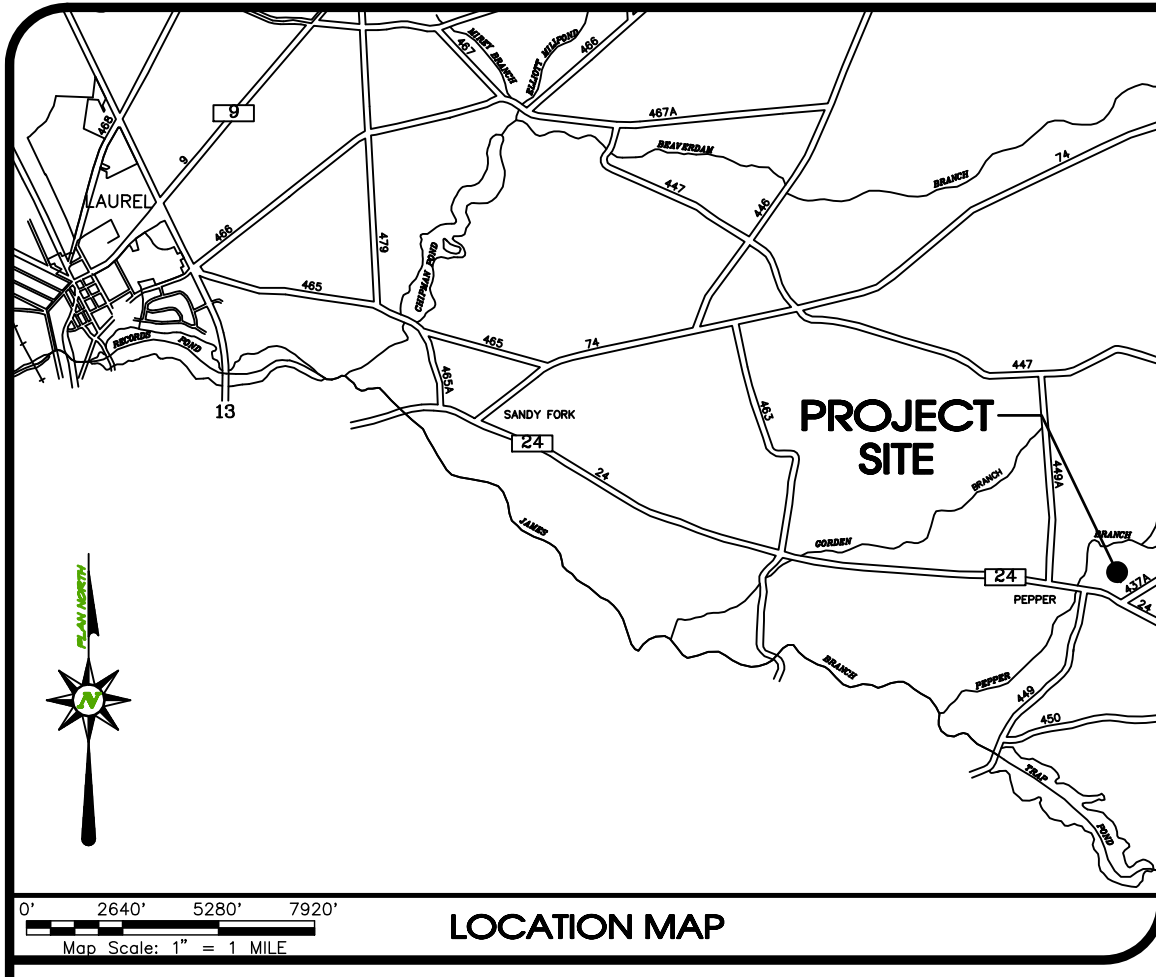
As mentioned earlier, it is anticipated homeowners in this community will include nurses, school teachers, public safety personnel as well as many other types of individuals. This development has been designed with local Sussex County residents in mind.

HOMES

Local residents desire lots and homes that are reasonably priced, yet restricted to preserve long term values. In the current economic market, affordable homes are somewhat difficult to find. This project would allow many people who currently rent to purchase a new home, and ultimately take a step towards financial prosperity. I anticipate lot prices to be \$45,000-\$55,000, with homes selling from \$249,000 - \$275,000. These price points seem to be consistent with the current real estate market sales. With historically low mortgage rates, this subdivision will allow an opportunity for many people who currently rent homes to purchase a home and maintain the same housing payment while building equity at the same time. I have submitted restrictions for this community that allow stick-built, but do NOT allow manufactured homes. An architectural review is also provided to maintain styling and aesthetics within the community. These restrictions provide for 1200 square foot minimum homes. These homes will certainly increase property values in the area. Included in the packet are several photos/renderings of proposed homes in this development. It is our hope that this site will provide a community where affordable housing in the Laurel area can be achieved.

CLOSING

In closing, the proposed subdivision application is a low density, single-family community in a country setting. This request is for a lot density that is significantly lower than the county code allows. We have positively addressed the criteria in 99-9C of the subdivision code. We are planning to help form a homeowner's association to be responsible for maintenance of the streets, buffers, storm-water areas, and other common areas. The subdivision will be a restricted community and will have a positive effect on property values. We respectfully request that you approve this subdivision application since it meets the criteria for development and will provide for more affordable housing for Sussex County families.



PLAN LEGEND

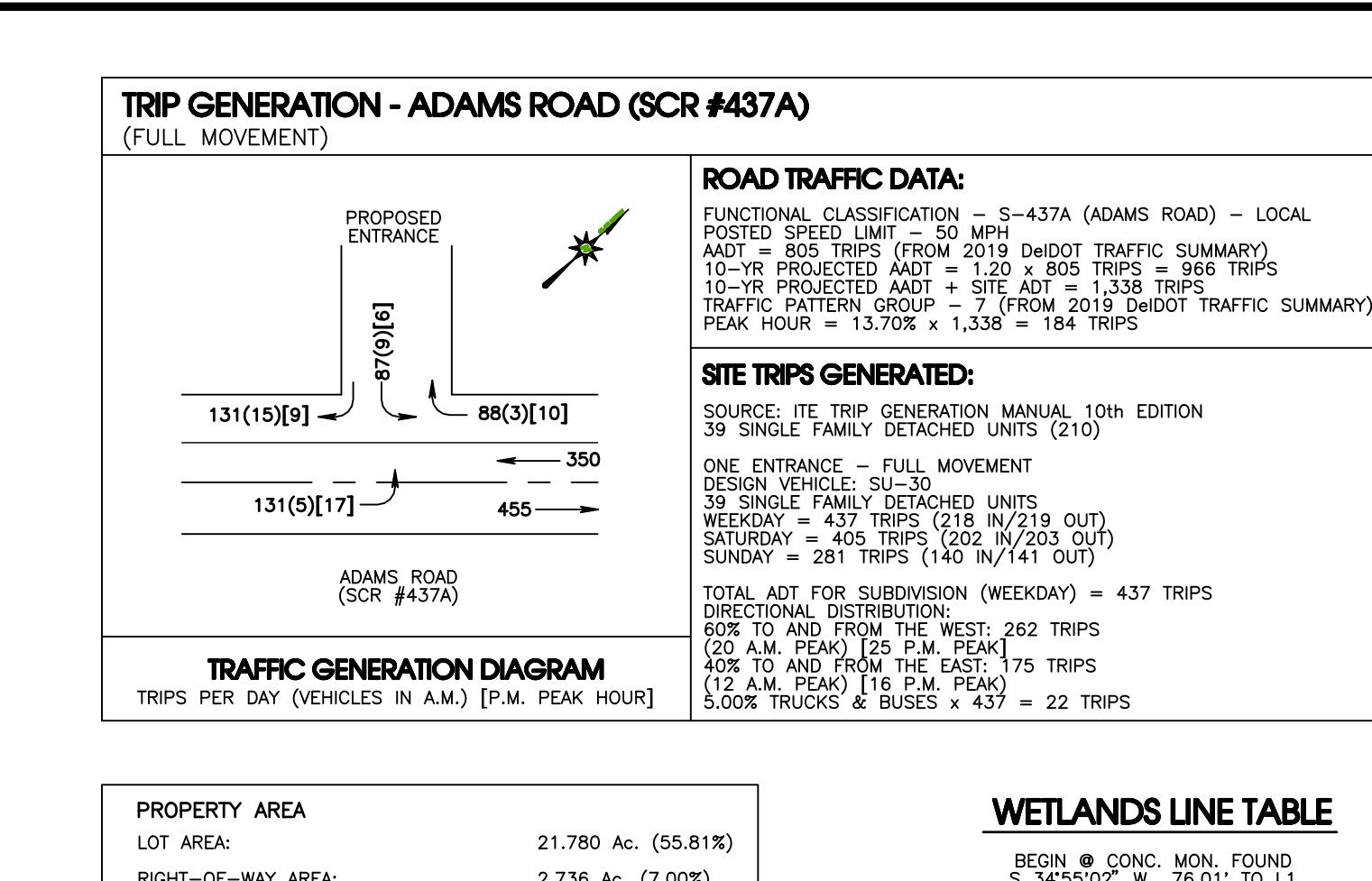
- EXISTING PROPERTY BOUNDARY
- EXISTING ADJACENT LOT LINES
- EXISTING EDGE OF PAVEMENT
- EXISTING CENTERLINE OF ROAD
- EXISTING TREE LINE
- EXISTING WETLANDS LIMITS
- EXISTING BUILDING
- BUILDING RESTRICTION LINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED LOT LINES
- PROPOSED RIGHT-OF-WAY BOUNDARY
- PROPOSED CENTERLINE OF ROAD
- PROPOSED UTILITY EASEMENT
- SUPPLEMENTAL CONTOUR (1' INTERVAL)
- INDEX CONTOUR (5' INTERVAL)
- EXISTING PAVEMENT STRIPING
- EXISTING FLOODZONE LIMITS
- EXISTING UTILITY POLE
- EXISTING SIGN
- IRON ROD FOUND
- CONCRETE MONUMENT FOUND
- PIPE SET
- POINT

SITE DATA and ZONING SCHEDULE

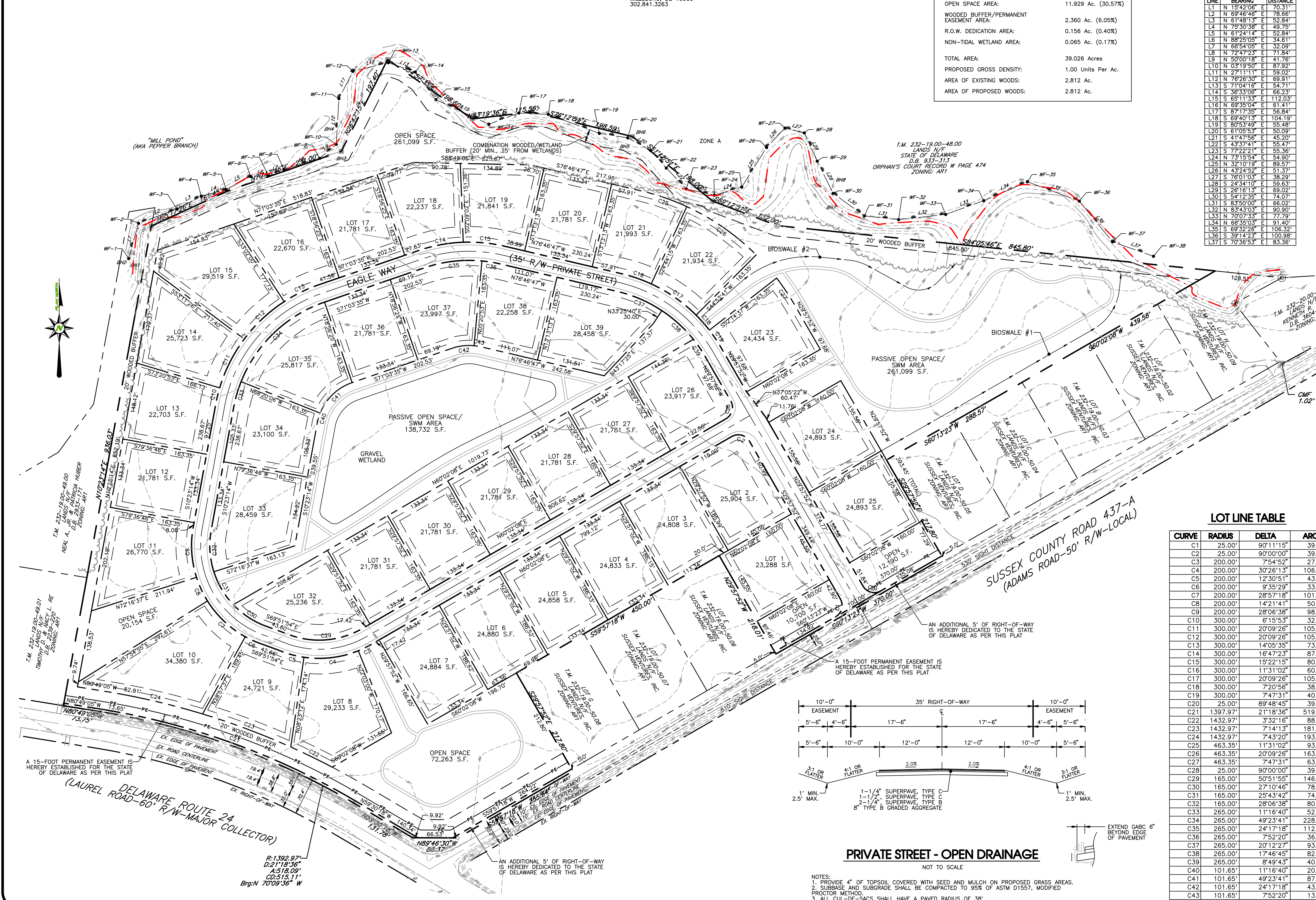
TAX PARCEL No.: 232-19.00-50.01
 PROPERTY ADDRESS: 16201 ADAMS ROAD, LAUREL, DE 19956
 NET DEVELOPMENT AREA: 39.026 Acres
 EXISTING NUMBER OF LOTS: ONE (1)
 EXISTING SITE USE: RESIDENTIAL/AGRICULTURAL
 PROPOSED NUMBER OF LOTS: THIRTY NINE (39)
 PROPOSED SITE USE: SINGLE-FAMILY HOME SUBDIVISION
 EXISTING ZONING: AR-1 (AGRICULTURAL/RESIDENTIAL)
 INVESTMENT LEVEL AREA: LEVEL FOUR (4)

NO TRANSPORTATION IMPROVEMENT DISTRICTS (TIDS) IN THE PROXIMITY OF THE PROJECT

ORDINANCE ITEM	REQUIREMENT:	PROVIDED:
MINIMUM LOT AREA	21,780 Sq. Ft.	23,713 Sq. Ft. (AVG)
MINIMUM LOT WIDTH	100 Ft.	100 Ft.
MINIMUM LOT DEPTH	100 Ft.	100 Ft.
MINIMUM SETBACKS:		
FRONT	30 Ft.	30 Ft.
SIDE	15 Ft.	15 Ft.
REAR	20 Ft.	20 Ft.
MAXIMUM BUILDING HEIGHT	42 Ft./3 Stories	42 Ft./3 Stories
SEWER SERVICE	PRIVATE SEPTIC	PRIVATE SEPTIC
WATER SERVICE	PRIVATE WELL	PRIVATE WELL
PROPERTY OWNER/DEVELOPER		
SUSSEX VENTURES, INC.		
25051 WARD FARM LANE		
MILLSBORO, DE 19966		
302.841.3263		



- ### GENERAL NOTES
- THE PROJECT SITE IS KNOWN AS THE CROSSINGS (T.P. 232-19.00-50.01) AND IS LOCATED AT THE NORTHWEST CORNER OF THE ADAMS ROAD (SCR 437A) AND DELAWARE ROUTE 24 INTERSECTION IN LAUREL, DE.
 - THE PROPERTY BOUNDS, EXISTING FEATURES AND TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY BY MILLER-LEWIS, INC. 1560 MIDLORD ROAD, LAUREL, DE 19956, DELAWARE 19973. TOPOGRAPHY IS BASED ON NAVD83 AND NORTH REFERENCE IS DELAWARE STATE PLANE COORDINATE SYSTEM NAD83.
 - ALL PROPOSED STORMWATER MANAGEMENT FACILITIES ARE TO BE MAINTAINED BY THE DEVELOPER UNTIL SUCH TIME AS A HOMEOWNERS ASSOCIATION CAN PROVIDE FOR SAID MAINTENANCE.
 - ALL SUBDIVISION LOTS SHALL BE ACCESSED FROM THE INTERIOR SUBDIVISION STREETS UNO. NO DIRECT ACCESS SCR 437A SHALL BE PERMITTED.
 - THIS PLAN DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHT-OF-WAYS CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS PROVIDED.
 - THE CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF ANY SITE CONSTRUCTION ACTIVITIES.
 - ALL CONTRACTORS WORKING ON THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST EDITION).
 - CONSTRUCTION MATERIALS AND PROCEDURES SHALL FOLLOW THE SUSSEX COUNTY ENGINEERING DEPARTMENT SPECIFICATIONS AND STANDARD DRAWINGS (LATEST EDITION).
 - EXISTING SUBSURFACE UTILITY INFORMATION INDICATED IS BASED UPON VISUAL FIELD INSPECTION BY MILLER-LEWIS, INC. SUCH INFORMATION IS APPROXIMATE IN NATURE AND HAS BEEN OBTAINED AS AN AID IN THE PROJECT. SUBSURFACE UTILITIES IS APPROXIMATE IN NATURE AND HAS BEEN OBTAINED AS AN AID IN THE PROJECT. THE INFORMATION PROVIDED IS REPRESENTATIVE OF SURFACE CONDITIONS ONLY. LOCATIONS AND DEPTHS WHERE SUCH INFORMATION WAS OBTAINED, THERE IS NO EXPRESSED OR IMPLIED AGREEMENT THAT UTILITY SIZE, LOCATION, DEPTH, QUANTITY, ETC. AS SHOWN EXISTS BETWEEN EXPLORED LOCATIONS. ACCORDINGLY, UTILITY INFORMATION SHOWN SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. IT IS INCUMBENT UPON THE CONTRACTOR TO VERIFY THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF ALL UTILITIES BEFORE CONSTRUCTION.
 - BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) 100299 0440 K, MAP NUMBER 1002990440K, DATED MARCH 16, 2015, THIS PROPERTY IS LOCATED IN A "X" UNSHADED WHICH IS AN AREA DETERMINED TO BE FLOOD PRONE TO 0.2% ANNUAL CHANCE FLOODPLAIN AND A ZONE A, WHICH IS A SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD.
 - THE WETLANDS BOUNDARY SHOWN WAS DELINEATED BY COASTAL & ESTUARINE RESEARCH, INC.
 - ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
 - ALL CUL-DE-SACS ARE TO HAVE A 38' PAVED RADIUS. NO PARKING PERMITTED ON CUL-DE-SAC.
 - AUTOMATIC SPRINKLERS AREA NOT PROPOSED FOR ANY STRUCTURE.
 - ALL PROPOSED BUILDING CONSTRUCTION SHALL BE WOOD FRAME, TYPE II (000), NFPA 101 OCCUPANCY SHALL BE STORAGE, LOW & ORDINARY HAZARD.
 - ALL PROPOSED LOT LINES SUBJECT TO EASEMENTS FOR UTILITY, STORMWATER CONSTRUCTION AND/OR MAINTENANCE, UNLESS OTHERWISE NOTED ON THE PLANS, EASEMENTS AS FOLLOWS:
 FRONT LOT LINES - 10 FEET
 SIDE LOT LINES - 5 FEET
 REAR LOT LINES - 10 FEET
 - IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS PART V, CHAPTER 4, SECTION 4-1.1 THE DEVELOPER SHALL PROVIDE TO THE EMERGENCY DISPATCH CENTER HAVING JURISDICTION, A PLOT PLAN OF THE DEVELOPMENT SHOWING EACH LOT LOCATION. THE DEVELOPER SHALL ALSO ASSIGN NUMBERS TO ALL HOMES IN A CONSECUTIVE MANNER AND HAVE THE ASSIGNED NUMBER IN A READILY VISIBLE LOCATION ON EACH HOME TO ELIMINATE CONFUSION IN THE EVENT THAT AN EMERGENCY VEHICLE IS NEEDED.
 - THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN ESTABLISHED. THE HIGHEST PRIORITY USE STATUS, IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, VIBRATION, AND OTHER CONDITIONS, THE USE AND ENJOYMENT OF PROPERTY IS EXPRESSLY ACCEPTANCE OF ANY AND ALL CONDITIONS OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
 - ALL PROPOSED LANDSCAPE BUFFERS ARE TO BE MAINTAINED BY THE OWNER/DEVELOPER UNTIL SUCH TIME AS A HOMEOWNERS ASSOCIATION CAN PROVIDE FOR SAID MAINTENANCE.



WETLANDS LINE TABLE

BEGIN @ CONC. MON. FOUND S 34°55'02" W 76.01' TO L1

LINE	BEARING	DISTANCE
L1	N 15°42'09" E	70.31'
L2	N 69°46'48" E	78.66'
L3	N 61°48'13" E	52.84'
L4	N 72°30'38" E	49.75'
L5	N 61°24'14" E	52.84'
L6	N 88°25'05" E	34.81'
L7	N 68°24'02" E	32.09'
L8	N 72°47'23" E	71.84'
L9	N 59°07'18" E	41.76'
L10	N 03°19'50" E	87.92'
L11	N 27°11'11" E	59.02'
L12	N 76°26'30" E	69.91'
L13	N 71°04'19" E	54.71'
L14	S 38°33'06" E	66.23'
L15	S 65°11'33" E	112.03'
L16	N 68°55'04" E	61.41'
L17	S 87°17'35" E	58.84'
L18	S 69°43'49" E	104.19'
L19	S 61°05'23" E	55.48'
L20	S 61°05'23" E	50.09'
L21	S 41°49'58" E	45.29'
L22	S 43°37'31" E	55.47'
L23	S 77°22'21" E	55.36'
L24	N 73°15'54" E	54.90'
L25	N 32°10'19" E	89.57'
L26	N 43°24'52" E	51.37'
L27	S 76°01'03" E	38.29'
L28	S 24°34'10" E	59.63'
L29	S 28°18'13" E	69.02'
L30	S 54°12'35" E	74.07'
L31	S 63°04'03" E	66.02'
L32	N 83°43'03" E	90.90'
L33	N 70°07'33" E	77.79'
L34	N 61°07'33" E	91.40'
L35	S 69°32'26" E	106.32'
L36	S 39°14'23" E	100.98'
L37	S 70°26'53" E	83.36'

LOT LINE TABLE

CURVE	RADIUS	DELTA	ARC
C1	25.00'	90°11'15"	39.35'
C2	25.00'	90°00'00"	39.27'
C3	200.00'	75°45'2"	27.63'
C4	200.00'	30°26'13"	106.24'
C5	200.00'	12°30'51"	43.68'
C6	200.00'	9°25'29"	101.89'
C7	200.00'	28°57'18"	101.07'
C8	200.00'	14°21'41"	50.13'
C9	200.00'	28°06'38"	98.12'
C10	300.00'	61°53'3"	32.80'
C11	300.00'	20°09'26"	105.54'
C12	300.00'	20°09'26"	105.54'
C13	300.00'	14°05'55"	73.79'
C14	300.00'	16°47'23"	87.91'
C15	300.00'	15°22'15"	80.48'
C16	300.00'	11°31'02"	60.30'
C17	300.00'	20°09'26"	105.54'
C18	300.00'	7°20'56"	38.48'
C19	300.00'	7°47'31"	40.80'
C20	25.00'	89°23'41"	28.46'
C21	1397.97'	21°18'36"	519.95'
C22	1432.97'	3°32'16"	88.48'
C23	1432.97'	7°14'13"	181.00'
C24	1432.97'	7°43'20"	193.13'
C25	463.35'	11°31'02"	93.14'
C26	463.35'	20°09'26"	163.01'
C27	463.35'	7°47'31"	63.01'
C28	25.00'	90°00'00"	39.27'
C29	165.00'	50°51'55"	146.48'
C30	165.00'	27°10'46"	78.27'
C31	165.00'	25°43'42"	74.09'
C32	165.00'	28°06'38"	80.95'
C33	265.00'	11°16'40"	52.16'
C34	265.00'	49°23'41"	228.46'
C35	265.00'	24°17'18"	112.34'
C36	265.00'	75°20'20"	36.41'
C37	265.00'	20°12'27"	93.46'
C38	265.00'	17°46'45"	82.23'
C39	265.00'	8°49'43"	40.83'
C40	101.65'	11°16'40"	20.01'
C41	101.65'	49°23'41"	87.63'
C42	101.65'	24°17'18"	43.09'
C43	101.65'	75°20'20"	13.97'

- ### DELDOT SITE GENERAL NOTES
- LAST REVISED: MARCH 21, 2019
- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
 - NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
 - SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA FALLS WITHIN THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
 - UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROADSIDE SIGNAGE, MARKERS AND/OR PROJECTS, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
 - PRIVATE STREETS CONSTRUCTION WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER. THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17-131), DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
 - THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SIDEWALK.
 - LOTS WILL BE PERMITTED TO HAVE ACCESS POINTS THAT COMPLY WITH THE DEVELOPMENT COORDINATION MANUAL (DCM) SPACING REQUIREMENTS OF CHAPTER 7 AND LIMITATIONS ON NUMBER OF ACCESS POINTS ESTABLISHED IN DCM CHAPTER 7. HORSESHOE DRIVEWAYS AND SECONDARY ENTRANCES REQUIRE ADDITIONAL DELDOT REVIEW AND SEPARATE PERMITTING RESTRICTIONS AS DESCRIBED IN THE DCM CHAPTER 7. PROJECTS WITH SOME SECONDARY ENTRANCES SHALL BEING GRANTED.
 - TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
 - THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
 - THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.

SUSSEX CONSERVATION DISTRICT CERTIFICATE

RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF SUSSEX COUNTY ON THIS _____ DAY OF _____ 20____.

SECRETARY (ATTEST) _____

COUNTY COUNCIL PRESIDENT _____

PLANNING COMMISSION CERTIFICATE

RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF SUSSEX COUNTY ON THIS _____ DAY OF _____ 20____.

SECRETARY (ATTEST) _____

COUNTY COUNCIL PRESIDENT _____

OWNER CERTIFICATE

I HEREBY CERTIFY THAT I AM THE EQUITABLE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SUSSEX VENTURES, INC.
 25051 WARD FARM LANE
 MILLSBORO, DE 19966
 Phone: 302.841.3263

DATE _____

WETLANDS CERTIFICATION

I, CERTIFY THAT THIS PROPERTY HAS BEEN EXAMINED FOR WETLANDS/WATERS OF THE UNITED STATES IN ACCORDANCE WITH CRITERIA FOUND IN THE 1987 U.S. ARMY CORPS OF ENGINEERS' WETLAND DELINEATION MANUAL AND ASSOCIATED GUIDANCE MEMORANDA. THE DELINEATION HERE SHOWN, IN MY BEST PROFESSIONAL JUDGEMENT, ACCURATELY DEPICTS WETLANDS/WATERS OF THE UNITED STATES PRESENT WITHIN THE SUBJECT PROPERTY BOUNDS. NO STATE WETLANDS ARE PRESENT WITHIN THE SUBJECT PROPERTY BOUNDS.

EVELYN MAURMEYER
 COASTAL & ESTUARINE RESEARCH, INC.
 P.O. BOX 674
 LEWES, DE 19558
 302.645.9610

DATE _____

REVISIONS

NO.	DATE	DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE ORDINANCES OF SUSSEX COUNTY AND THE LAWS OF THE STATE OF DELAWARE.

DESIGN PROFESSIONAL _____ DATE _____

OWNER/APPLICANT: SUSSEX VENTURES, INC.
 25051 WARD FARM LANE
 MILLSBORO, DE 19966
 Phone: 302.841.3263

PARCEL INFORMATION:
 T.P. 232-19.00-50.01
 DEED REF: 5193-39

RECORD PLAN THE CROSSINGS

BROAD GREEK HUNDRED - SUSSEX COUNTY - DELAWARE

OWNER: SUSSEX VENTURES, INC.
 CONSULTING SYSTEMS • ENGINEERING
 37385 REDBOTHAM AVE. UNIT 11 - REDBOTHAM BEACH, DELAWARE 19971
 302.854.9062 (Voice) 302.854.9062 (Fax) www.kerchergroup.com

JOB No: 20-0401
 PLAN DATE: Feb. 9, 2021
 SHEET No.: R1

Aerial showing “The Crossings” site



Proposed Buffer

Green Giant Arborvitae



The Crossings

Proposed Restrictions

Lots 1-39

1. All lots shall be used exclusively for residential purposes and limited to one single family dwelling on any lot.
2. All dwellings shall be of new construction with a minimum of one thousand, two hundred (1200) square feet of living space (exclusive of garages, porches, decks, etc.) for a single-level dwelling, and shall have on a substantial portion of the structure, a minimum roof pitch of 5/12. Any multi-level dwelling shall contain a minimum total square footage of eighteen hundred (1800) square feet, and shall have, on a substantial portion of the structure, a minimum roof pitch of 6/12. In a multi-level dwelling, overall square footage calculations will be based on a four foot knee wall (cape cod style only). All homes shall have a minimum of a 2 car attached garage. Any steps, porches or decks on the front of dwellings must have a masonry structure (cement/brick/etc.)for a base.
3. All homes shall be stick-frame homes. No building, structure, fence, wall, swimming pool or other erection or improvements of any kind shall be commenced, erected, maintained, or used, nor shall any addition to or change or alterations therein, or in the use thereof, be made upon any of the lands conveyed by this deed, no matter what purpose or use, until complete and comprehensive plans and specifications, prepared by a competent residential draftsman, showing the nature, kind, shape, height, materials, elevation, foundation and footing plans, location of such building as well as proposed septic and well location shall have been submitted to and approved in writing by the developer/association. The developer/association shall have the right to refuse to approve any plans or specifications which are not suitable or desirable, in its or their opinion, for aesthetic, safety, health or any other reason, and in so passing upon such plans or specifications, the developer shall have the right to take into consideration such factors which in its or their opinion would affect the desirability or suitability of such proposed improvements. All homes must be built to BOCA code specifications. No mobile homes, or double wide manufactured homes shall be permitted to be placed on any lot.

4. No more than one outbuilding (i.e. sheds), excluding a detached garage and dog house/pen shall be placed on an individual lot. Any shed or outbuildings must be approved by the developer/association prior to any placement or construction on lots. No small metal kit-type sheds are permitted.
5. The only animals permitted are customary household pets and are not to be raised for commercial purposes. Pets shall be kept under the control of the owner at all times and shall not maintain objectionable noise or odor.
6. Inoperable or unlicensed vehicles, or other junked objects (cars, trucks, lawn tractors, etc.) shall not be stored or parked on any lots unless in an enclosed garage. No vehicle with more than two axles may be parked on any lot without written approval of the developer/association.
7. Once construction of any building has begun, the exterior portion shall be finished within six months of commencement.
8. Prior to any construction, a 12" culvert must be installed at the entrance to each lot. All driveways must be covered with stone, millings, cement, or blacktop within one year of occupancy. No seashell driveways are permitted.
9. It shall be the responsibility of each owner to prevent the development of any unclean, unsightly, and unkempt conditions of buildings or grounds upon a lot which will tend to substantially decrease the attractiveness of these parcels. No obnoxious or offensive activity shall be permitted upon any parcel, nor shall anything be done which may cause embarrassment, discomfort, and annoyance or nuisance to owners of other lots.
10. Lots may not be subdivided in such a way as to create an additional parcel.
11. The minimum set-back for building construction shall be thirty-five (35) feet for the front, fifteen (15) for the sides, and twenty (20) feet for the rear. Any auxiliary structures (sheds, garages, etc) shall be in compliance with Sussex County setback codes and guidelines.
12. Fences may be a maximum of three (3) feet in height in the front and may be six (6) feet in height from the rear of the house to the back property line.
13. All fuel tanks must be buried or shielded from view.
14. Except during construction, no advertising sign(s) may be placed on any property. Real Estate signs shall be exempt from this restriction.
15. Burn barrels, as well as burning of leaves, branches, roots, trash, etc. is strictly prohibited.

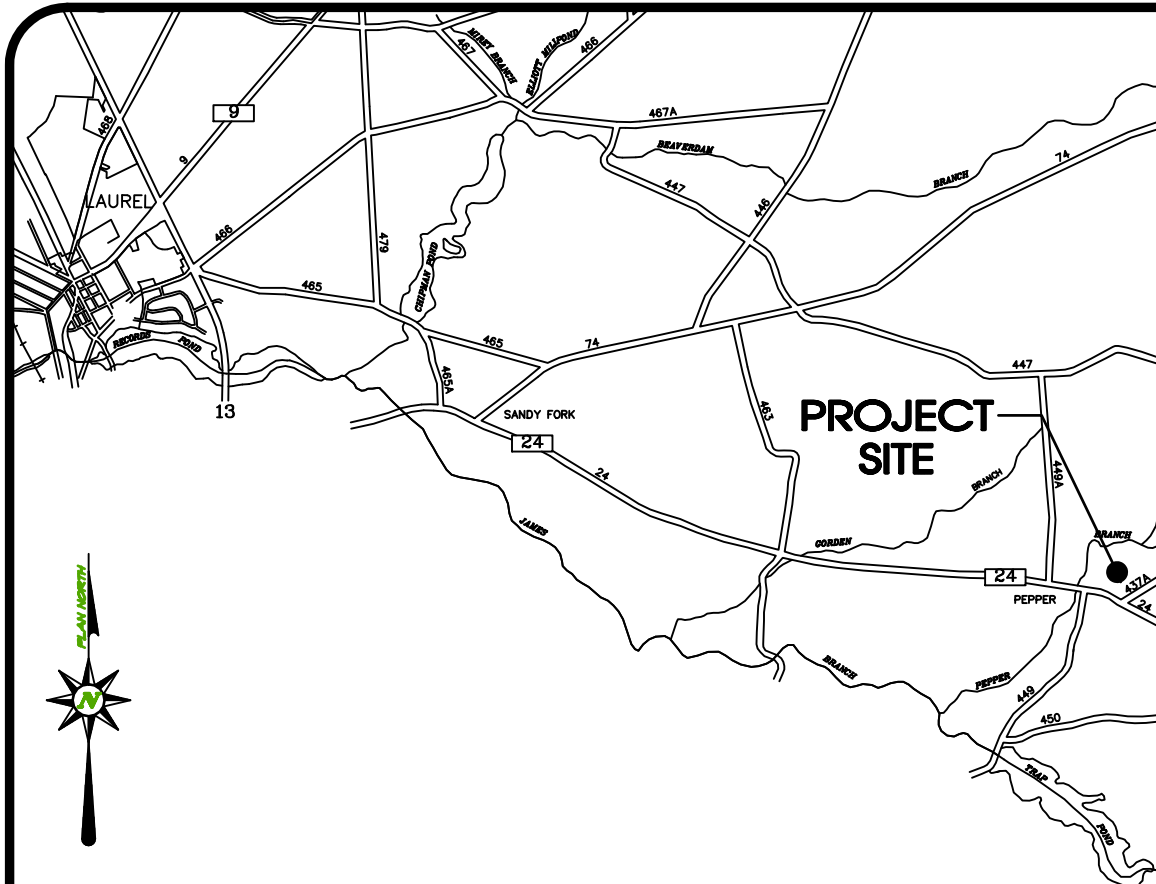
16. These restrictions and covenants may be changed only by the agreement of the owners of at least 75% of the lots covered by these restrictions.
17. Any restriction contained herein shall be null and void if it is in conflict with any law or regulation of the state or county.
18. Lot owners covered under these restrictions shall individually and collectively have the right, power, and authority to enforce the restrictions and covenants that run with the land and are contained herein. If enforcement is required, said property owners, their successors or assigns, shall recover from the offending party, the costs, expenses, and fees incurred in the enforcement.
19. All lot owners shall place septic drain field and well as per master septic plan except in cases where this is not possible because of DNREC regulations. If it is not possible to place septic drain field in accordance with master plan, site evaluation provided by developer will become invalid. If this occurs, a new site evaluation must be done at the lot owner's expense in an area agreed upon by the developer/association.
20. Hunting and discharging of firearms shall be prohibited on all lots.
21. When ½ of the lots in The Crossings have been sold, or earlier as determined by the developer, a Homeowner's Association will be formed which shall have the authority to assess dues and enforce restrictions. All owners of lots in this subdivision shall become members of the Meadow Ridge Homeowners Association and agree to pay such dues and annual assessments as shall be voted by a majority of the members of said Association. In addition to the annual assessment or other assessments, the Developer hereby establishes an initial assessment to be paid by the purchaser upon conveyance of each lot from the Developer. The amount of such initial assessment is set at \$400.00. The Developer may use these funds from the initial assessments to pay the costs of maintaining the Common Areas until the transfer of the street and Common areas to the Association. Annual HOA assessment shall be \$200/yr subject to future HOA policy. Once the subdivision streets have obtained county approval, the Homeowner's Association shall assume ownership and responsibility for the maintenance of the subdivision streets, stormwater management area(s), forested buffer(s), and all common areas and a deed will be recorded transferring ownership of the streets & common areas to the Homeowner's Association. Membership in the Homeowner's

Association is required by all lots covered under these restrictions. Each lot owner has (1) vote in any association voting process.

21. The following property subject to these restrictions shall be exempted from the assessments, dues, charges, and liens created herein:

1. All properties dedicated and devoted to public use.
2. All Common Areas.
3. All lots owned by the Developer, its successors, and assigns and not sold or leased by the Developer, its successors or assigns, including lots or parcels leased for utilities.

This property is located in the vicinity of land used primarily for agricultural purposes on which normal agricultural uses and activities have been afforded the highest priority use status. It can be anticipated that such agricultural uses and activities may now or in the future involve noise, dust, manure, and other odors, the use of agricultural chemicals and nighttime farm operations. The use and enjoyment of this property is expressly conditioned on acceptance of any annoyance, or inconvenience which may result from such normal agricultural uses and activities.



PLAN LEGEND

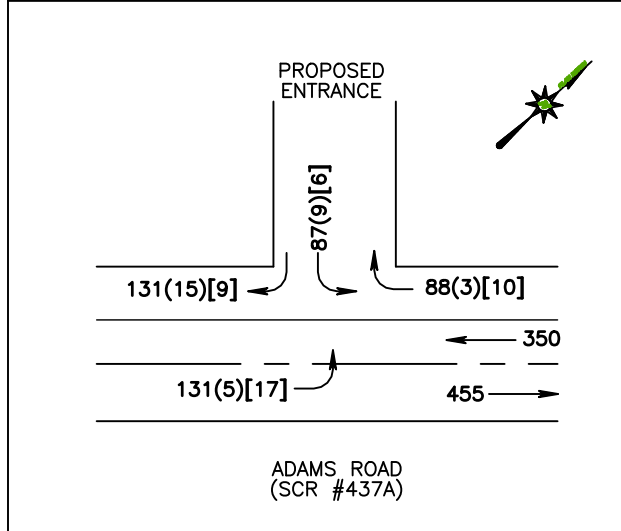
- EXISTING PROPERTY BOUNDARY
- EXISTING ADJACENT LOT LINES
- EXISTING EDGE OF PAVEMENT
- EXISTING CENTERLINE OF ROAD
- EXISTING TREE LINE
- EXISTING WETLANDS LIMITS
- EXISTING BUILDING
- BUILDING RESTRICTION LINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED LOT LINES
- PROPOSED RIGHT-OF-WAY BOUNDARY
- PROPOSED CENTERLINE OF ROAD
- PROPOSED UTILITY EASEMENT
- SUPPLEMENTAL CONTOUR (1' INTERVAL)
- INDEX CONTOUR (5' INTERVAL)
- EXISTING PAVEMENT STRIPING
- EXISTING FLOODZONE LIMITS
- EXISTING UTILITY POLE
- EXISTING SIGN
- IRON ROD FOUND
- CONCRETE MONUMENT FOUND
- PIPE SET
- POINT

SITE DATA and ZONING SCHEDULE

TAX PARCEL No.: 232-19.00-50.01
 PROPERTY ADDRESS: 16201 ADAMS ROAD, LAUREL, DE 19966
 NET DEVELOPMENT AREA: 39.026 Acres
 EXISTING NUMBER OF LOTS: ONE (1)
 EXISTING SITE USE: RESIDENTIAL/AGRICULTURAL
 PROPOSED NUMBER OF LOTS: THIRTY EIGHT (38)
 PROPOSED SITE USE: SINGLE-FAMILY HOME SUBDIVISION
 EXISTING ZONING: AR-1 (AGRICULTURAL/RESIDENTIAL)
 INVESTMENT LEVEL AREA: LEVEL FOUR (4)
 NO TRANSPORTATION IMPROVEMENT DISTRICTS (TIDS) IN THE PROXIMITY OF THE PROJECT

ORDINANCE ITEM	REQUIREMENT:	PROVIDED:
MINIMUM LOT AREA	32,670 Sq. Ft.	32,670 Sq. Ft.
MINIMUM LOT WIDTH	100 Ft.	100 Ft.
MINIMUM LOT DEPTH	100 Ft.	100 Ft.
MINIMUM SETBACKS:		
FRONT	30 Ft.	30 Ft.
SIDE	15 Ft.	15 Ft.
REAR	20 Ft.	20 Ft.
MAXIMUM BUILDING HEIGHT	42 Ft./3 Stories	42 Ft./3 Stories
SEWER SERVICE	PRIVATE SEPTIC	PRIVATE SEPTIC
WATER SERVICE	PRIVATE WELL	PRIVATE WELL
PROPERTY OWNER/DEVELOPER		
SUSSEX VENTURES, INC.		
25051 WARD FARM LANE		
MILLSBORO, DE 19966		
302.841.3263		

TRIP GENERATION - ADAMS ROAD (SCR #437A)
(FULL MOVEMENT)



ROAD TRAFFIC DATA:
 FUNCTIONAL CLASSIFICATION - S-437A (ADAMS ROAD) - LOCAL
 POSTED SPEED LIMIT - 50 MPH
 ADOT = 805 TRIPS (FROM 2019 DELDOT TRAFFIC SUMMARY)
 10-YR PROJECTED ADOT = 1,200 x 805 TRIPS = 966 TRIPS
 10-YR PROJECTED ADOT + SITE ADOT = 1,200 x 805 TRIPS + 805 TRIPS = 1,005 TRIPS
 TRAFFIC PATTERN GROUP - 7 (FROM 2019 DELDOT TRAFFIC SUMMARY)
 PEAK HOUR = 13.70% x 1,338 = 184 TRIPS

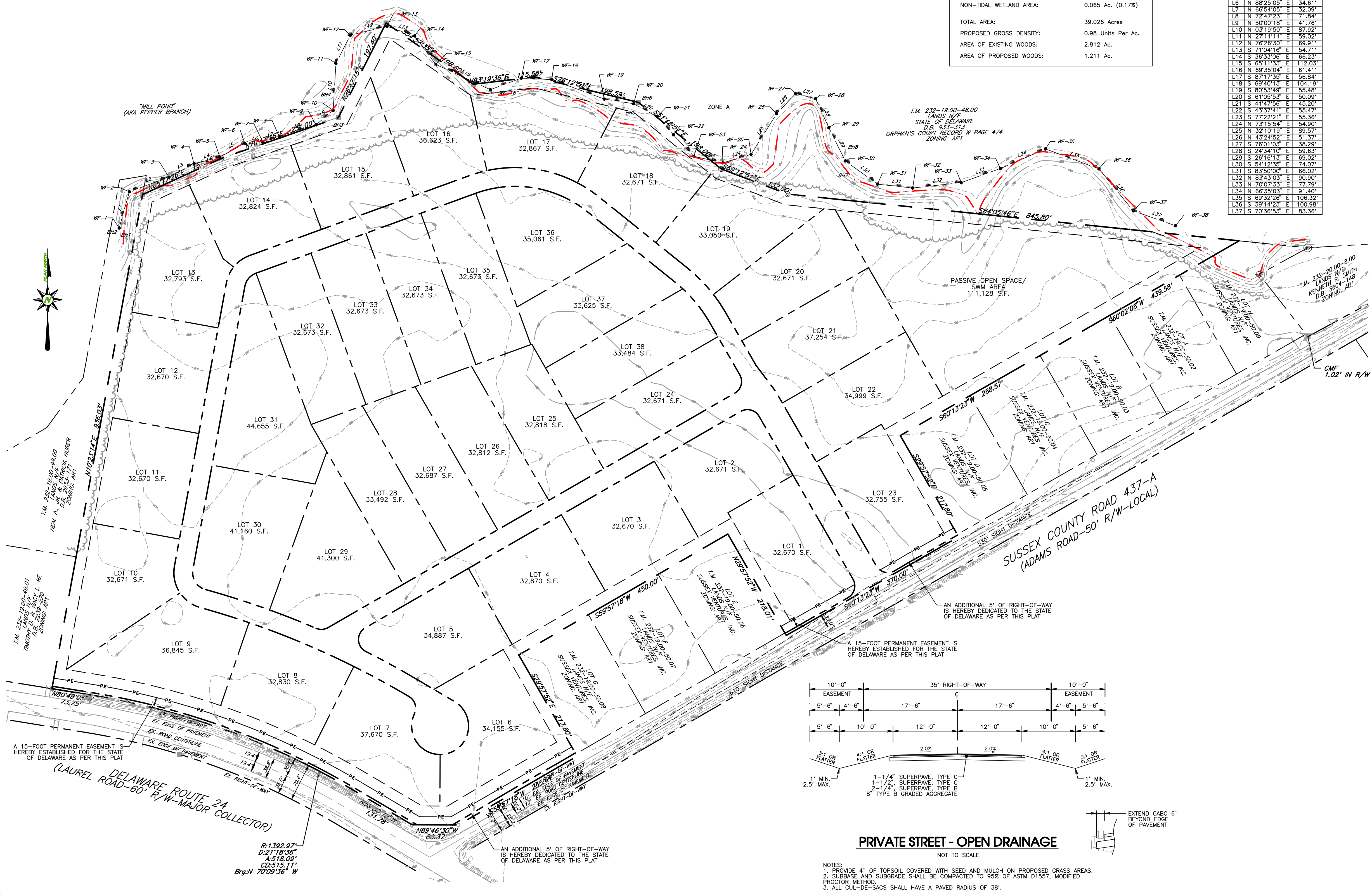
SITE TRIPS GENERATED:
 SOURCE: ITE TRIP GENERATION MANUAL 10th EDITION
 38 SINGLE FAMILY DETACHED UNITS (210)
 ONE ENTRANCE - FULL MOVEMENT
 DESIGN VEHICLES SU-30
 39 SINGLE FAMILY DETACHED UNITS
 WEEKDAY = 437 TRIPS (218 IN/219 OUT)
 SATURDAY = 409 TRIPS (202 IN/207 OUT)
 SUNDAY = 281 TRIPS (140 IN/141 OUT)
 TOTAL ADT FOR SUBDIVISION (WEEKDAY) = 437 TRIPS
 DIRECTIONAL DISTRIBUTION:
 60% TO AND FROM THE WEST: 262 TRIPS
 (20 A.M. PEAK) [25 P.M. PEAK]
 40% TO AND FROM THE EAST: 175 TRIPS
 (12 A.M. PEAK) [16 P.M. PEAK]
 5,000 TRUCKS & BUSES x 437 = 22 TRIPS

TRAFFIC GENERATION DIAGRAM
TRIPS PER DAY (VEHICLES IN A.M.) [P.M. PEAK HOUR]

PROPERTY AREA	PERCENTAGE
LOT AREA:	29.752 Ac. (76.24%)
RIGHT-OF-WAY AREA:	3.264 Ac. (8.36%)
OPEN SPACE AREA:	2.480 Ac. (6.35%)
WOODED BUFFER/PERMANENT EASEMENT AREA:	3.309 Ac. (8.46%)
R.O.W. DEDICATION AREA:	0.156 Ac. (0.40%)
NON-TIDAL WETLAND AREA:	0.065 Ac. (0.17%)
TOTAL AREA:	39.026 Acres
PROPOSED GROSS DENSITY:	0.98 Units Per Ac.
AREA OF EXISTING WOODS:	2.812 Ac.
AREA OF PROPOSED WOODS:	1.211 Ac.

WETLANDS LINE TABLE

LINE	BEARING	DISTANCE
L1	N 15°42'09" E	70.31'
L2	N 69°48'48" E	78.66'
L3	N 61°48'13" E	52.84'
L4	N 72°30'38" E	49.75'
L5	N 61°24'14" E	52.84'
L6	N 68°25'05" E	34.61'
L7	N 68°24'02" E	32.09'
L8	N 72°47'23" E	71.84'
L9	N 59°07'18" E	41.76'
L10	N 03°19'50" E	87.92'
L11	N 27°11'11" E	59.02'
L12	N 76°26'30" E	69.91'
L13	N 71°04'16" E	54.71'
L14	S 36°33'08" E	66.23'
L15	N 65°11'33" E	112.03'
L16	N 68°35'04" E	61.41'
L17	S 87°17'35" E	58.84'
L18	S 69°40'13" E	104.19'
L19	S 89°43'49" E	55.48'
L20	S 61°05'53" E	50.09'
L21	S 41°47'58" E	45.29'
L22	S 43°37'21" E	55.47'
L23	S 77°22'21" E	55.36'
L24	N 73°15'54" E	34.90'
L25	N 32°10'19" E	89.57'
L26	N 43°24'52" E	51.37'
L27	S 76°01'03" E	38.29'
L28	S 24°34'10" E	59.63'
L29	S 28°18'13" E	69.02'
L30	S 54°12'35" E	74.07'
L31	S 83°50'09" E	68.02'
L32	N 83°43'03" E	90.90'
L33	N 70°07'33" E	77.79'
L34	N 66°30'03" E	91.40'
L35	S 69°32'26" E	106.32'
L36	S 39°14'23" E	100.98'
L37	S 70°36'53" E	83.36'



DELDOT SITE GENERAL NOTES

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA FALLS IN A CONSECUTIVE MANNER AND PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROOTS, MANHOLES AND OTHER OBSTACLES AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- PRIVATE STREETS CONSTRUCTION WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER. THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17-131), DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER. THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION, THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SIDEWALK.
- LOTS WILL BE PERMITTED TO HAVE ACCESS POINTS THAT COMPLY WITH THE DEVELOPMENT COORDINATION MANUAL (DCM) SPACING REQUIREMENTS OF CHAPTER 7 AND LIMITATIONS ON NUMBER OF ACCESS POINTS ESTABLISHED IN DCM CHAPTER 7. HORSESHOE DRIVEWAYS AND SECONDARY ENTRANCES REQUIRE ADDITIONAL DELDOT REVIEW AND SEPARATE PERMITTING. RESTRICTIONS AS DESCRIBED IN THE DCM CHAPTER 7 MAY PROHIBIT SOME SECONDARY REQUESTS FROM BEING GRANTED.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.

SUSSEX CONSERVATION DISTRICT CERTIFICATE

I, CERTIFY THAT THIS PROPERTY HAS BEEN EXAMINED FOR WETLANDS/WATERS OF THE UNITED STATES IN ACCORDANCE WITH CRITERIA FOUND IN THE 1987 U.S. ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND ASSOCIATED GUIDANCE MEMORANDA. THE DELINEATION HERE SHOWN, IN MY BEST PROFESSIONAL JUDGEMENT, ACCURATELY DEPICTS THE WETLANDS/WATERS OF THE UNITED STATES BOUNDARIES PRESENT WITHIN THE SUBJECT PROPERTY BOUNDS. NO STATE WETLANDS ARE PRESENT WITHIN THE SUBJECT PROPERTY BOUNDS.

PLANNING COMMISSION CERTIFICATE

RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF SUSSEX COUNTY ON THIS _____ DAY OF _____ 20____.

SECRETARY (ATTEST) _____

COUNTY COUNCIL PRESIDENT _____

OWNER CERTIFICATE

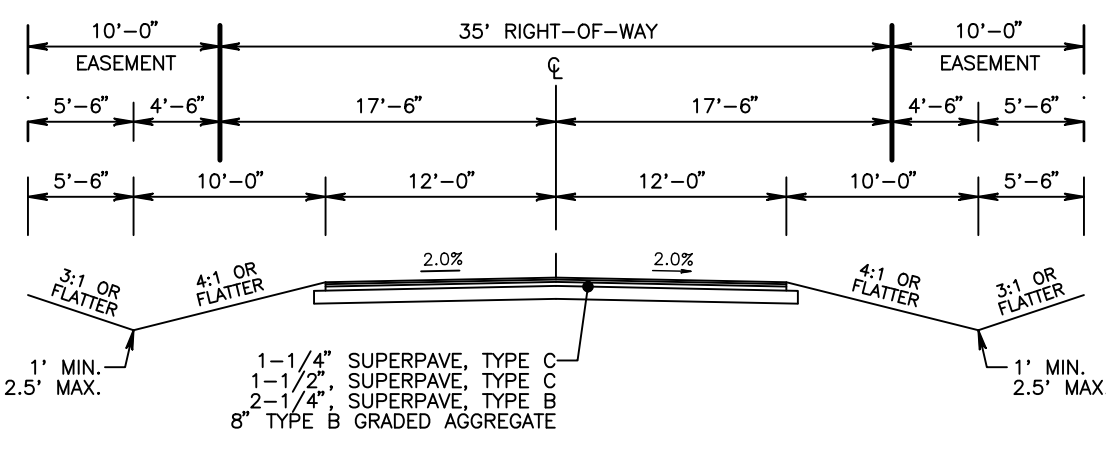
I HEREBY CERTIFY THAT I AM THE EQUITABLE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SUSSEX VENTURES, INC. _____ DATE _____
 25051 WARD FARM LANE
 MILLSBORO, DE 19966
 Phone: 302.841.3263

WETLANDS CERTIFICATION

I, CERTIFY THAT THIS PROPERTY HAS BEEN EXAMINED FOR WETLANDS/WATERS OF THE UNITED STATES IN ACCORDANCE WITH CRITERIA FOUND IN THE 1987 U.S. ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND ASSOCIATED GUIDANCE MEMORANDA. THE DELINEATION HERE SHOWN, IN MY BEST PROFESSIONAL JUDGEMENT, ACCURATELY DEPICTS THE WETLANDS/WATERS OF THE UNITED STATES BOUNDARIES PRESENT WITHIN THE SUBJECT PROPERTY BOUNDS. NO STATE WETLANDS ARE PRESENT WITHIN THE SUBJECT PROPERTY BOUNDS.

EVELYN MAURMEYER _____ DATE _____
 COASTAL & ESTUARINE RESEARCH, INC.
 P.O. BOX 674
 LEWES, DE 19958
 302.645.9610



PRIVATE STREET - OPEN DRAINAGE

NOT TO SCALE

NOTES:
 1. PROVIDE 4" OF TOPSOIL COVERED WITH SEED AND MULCH ON PROPOSED GRASS AREAS.
 2. SUBBASE AND SUBGRADE SHALL BE COMPACTED TO 95% OF ASTM D1557, MODIFIED PROCTOR METHOD.
 3. ALL CUL-DE-SACS SHALL HAVE A PAVED RADIUS OF 38'.

REVISIONS

NO.	DATE	DESCRIPTION

DESIGN PROFESSIONAL DATE

APPROVED BY: _____ DATE: _____

DESIGNED BY: _____ DATE: _____

DRAWN BY: _____ DATE: _____

CHECKED BY: _____ DATE: _____

SCALE: 1" = 100'

DATE: _____

OWNER/APPLICANT: SUSSEX VENTURES, INC.
 25051 WARD FARM LANE
 MILLSBORO, DE 19966
 Phone: 302.841.3263

PARCEL INFORMATION: T.P. 232-19.00-50.01
 DEED REF: 5193-39

RECORD PLAN
 THE CROSSINGS

BROAD CREEK HUNDRED - SUSSEX COUNTY - DELAWARE

THE KERCHER GROUP, INC.
 CONSULTING • SYSTEMS • ENGINEERING
 37585 REDHOTH BEACH, DELAWARE 19971
 302.854.9062 (Voice) 302.854.9064 (Fax) www.kerchergroup.com

JOB No: 20-0401
PLAN DATE: Feb. 9, 2021
SHEET No.: R1

Proposed Homes



1200 Square Feet Rancher



1300 Square Feet Rancher



1300 Square Feet Rancher



STATE OF DELAWARE
**DEPARTMENT OF NATURAL RESOURCES AND
ENVIRONMENTAL CONTROL**

DIVISION OF WATER
21309 BERLIN ROAD, UNIT 2
GEORGETOWN, DELAWARE 19947

**GROUNDWATER
DISCHARGES**

PHONE
(302) 856-4561

February 16, 2021

Sussex Ventures, Inc.
25051 Ward Farm Lane
Millsboro DE 19966

RE: Feasibility Study
Lands of Sussex Ventures, Inc., The Crossings at Trap Pond
Tax Map No.: 232-19.00-50.01, Proposed Lots 1 Through 39

Dear Sussex Ventures, Inc.:

The Department of Natural Resources and Environmental Control (the Department) received a submission from Scaled Engineering, Inc. (SEI) and AAA Environmental Services (AAAES), on February 1, 2021, requesting a non-binding statement of feasibility for subdivision as required by the Regulations Governing the Design, Installation and Operation of On-Site Wastewater Treatment and Disposal Systems, dated January 4, 1985, last amended on January 11, 2014 (the Regulations).

The submission consists of a report titled "SOIL FEASIBILITY REPORT, THE CROSSINGS AT TRAP POND," prepared by SEI and AAAES, dated January 29, 2021, that summarizes the information collected. The report includes, but is not necessarily limited to, the following information:

- A summary of the study,
- a plan titled "Soil Feasibility Plan," prepared by SEI (hereafter referred to as the Plan),
- a plan titled "Preliminary Plan (Not To Be Recorded), RECORD PLAN, THE CROSSINGS AT TRAP POND," prepared by The Kercher Group, Inc., dated 6/9/20, showing the conceptual lot layout of the proposed subdivision, including number and area for each of the proposed lots (metes and bounds not provided),
- soil profile notes and the results of infiltration testing,
- various reference maps, and
- a Sussex County Property Information form as proof of ownership.

Information shown by the Plan includes, but is not limited to, topography at an apparent 1-foot contour, locations of soil borings, test pits and infiltration tests, locations of wells within 150 feet and map units delineated by SEI and AAAES as related to on-site wastewater treatment and disposal system (OWTDS) feasibility.

Background Information

The property is located north of the intersection of Adams Road (437-A) and Laurel Road (SCR 24). The owner/developer proposes to subdivide the 42± acre parcel into 39 single-family residential building lots ranging in size from 0.50± to 0.79± acres. The parcel will hereafter be referred to as the project site. Based on information provided by SEI and AAAEA most of the project site is farmland. A fringe of woods is located along the project site's northern boundaries.

Soils Investigations by SEI and AAAEA and Discussion

Thirty soil borings (SB) and six test pits (TP) were reportedly performed, logged, and submitted by SEI as part of the study. Three mapping units were delineated by SEI and AAAEA including the Potential Gravity OWTDS (GR) map unit, the Potential Low Pressure Pipe OWTDS (LPP) map unit and the Potential Sand Mound OWTDS (SM) map unit. No development is being proposed in the SM map unit and therefore, it will not be discussed.

The GR map unit has estimated limiting zones of 48 to 68 inches below the soil surface and estimated percolation rates of from 35 to 55 minutes per inch (MPI). Falling-head single-ring infiltration tests were performed in the GR map unit resulting in a measured rate of approximately 9 MPI. Estimated limiting zones, estimated percolation rates and the results of in-the-field measured infiltration rates suggest that the GR map unit is feasible for OWTDS.

The LPP map unit has estimated limiting zones of 27 to 46 inches below the soil surface and estimated percolation rates of from 30 to 75 MPI. Falling-head single-ring infiltration tests were performed in the LPP map unit resulting in measured rates of from 7 to 13 MPI. Estimated limiting zones, estimated percolation rates and the results of in-the-field measured infiltration rates suggest that the LPP map unit is feasible for OWTDS.

Conclusions

- Based on information collected, analyzed and presented by SEI and AAAEA, it appears that proposed lots 1 through 39 as depicted by the Plan have sufficient area to accommodate at least an initial OWTDS as long as judicious and coordinated use of land is exercised and areas delineated as being feasible for OWTDS as depicted by the Plan are accurate.

Site Preparation

Removal, disturbance, or compaction of soils mapped as being feasible for OWTDS during any portion of the construction and building phase other than that necessary for system installation may result in the rescission of the site evaluation approval. Soil material from road cuts and other excavated sources should not be placed on any portion of areas proposed for OWTDS. It is best to keep all areas proposed for OWTDS free from any form of disturbance by methods such as staking, flagging, or fencing. The Department reserves the right to inspect the construction site at any time to ensure compliance with the above.

Sussex Ventures, Inc.
February 16, 2021
Page 3 of 3

Future Requirements and Comments

Prior to obtaining individual OWTDS construction permits complete site evaluation reports will be required for all lots in accordance with the Regulations. The Department requires one copy of the **Record Plat** following final subdivision approval by the Planning and Zoning Commission of Sussex County prior to processing and approving any site evaluations.

Non-Binding Statement of Feasibility

Based on the information prepared, analyzed and presented by SEI and AAAEA, it is the opinion of the Department that the proposed subdivision as shown by the Plan would be feasible for at least an initial OWTDS in accordance with the Regulations Governing the Design, Installation and Operation of On-Site Wastewater Treatment and Disposal Systems, dated January 4, 1985, last amended on January 11, 2014, as long as judicious and coordinated use of land is exercised and areas delineated by AE as being feasible for OWTDS as depicted by the Plan are accurate.

The comments in this letter are technical and are not intended to suggest that the Department supports this development proposal. This letter does not in any way suggest or imply that you may receive or may be entitled to permits or other approvals necessary to construct the development you indicate or any subdivision thereof on these lands.

Sincerely,

J. Scott Kline

J. Scott Kline
Environmental Scientist

Cc: Josh Stallings – SEI
Mike Stallings - AAAEA
file

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878 T
302-854-5079 F
JAMIE WHITEHOUSE, MRTPI, AICP
DIRECTOR OF PLANNING & ZONING

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET
Planning Commission Public Hearing Date: May 27th, 2021

Application: CU 2252 Delaware Electric Co-Op

Applicant: Delaware Electric Co-Op, Troy Dickerson
4198 Sussex Hwy.
Greenwood, DE 19950

Owner: Delaware Electric Co-Op, Troy Dickerson
4198 Sussex Hwy.
Greenwood, DE 19950

Site Location: 34139 Cedar Grove Rd.
Lewes, DE 19958

Current Zoning: Medium Residential (MR) Zoning District

Proposed Use: Electrical Substation

Comprehensive Land
Use Plan Reference: Coastal Area

Councilmanic
District: Mr. Schaeffer

School District: Cape Henlopen School District

Fire District: Lewes Fire Department

Sewer: Sussex County

Water: Sussex County

Site Area: 9.1 acres +/-

Tax Map ID.: 334-12.00-2.00





Sussex County



PIN:	334-12.00-2.00
Owner Name	SAYERS EDWARD G TRUSTEE
Book	0
Mailing Address	28 GLOVER CIRCLE
City	WILMINGTON
State	DE
Description	RD.GEORGETOWN TO
Description 2	REHO. 12.46 AC.S.
Description 3	WITH IMP.
Land Code	

polygonLayer

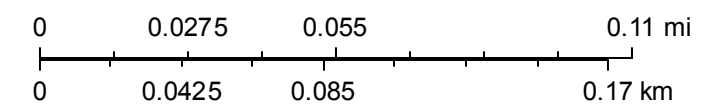
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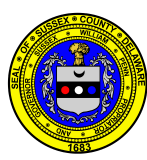
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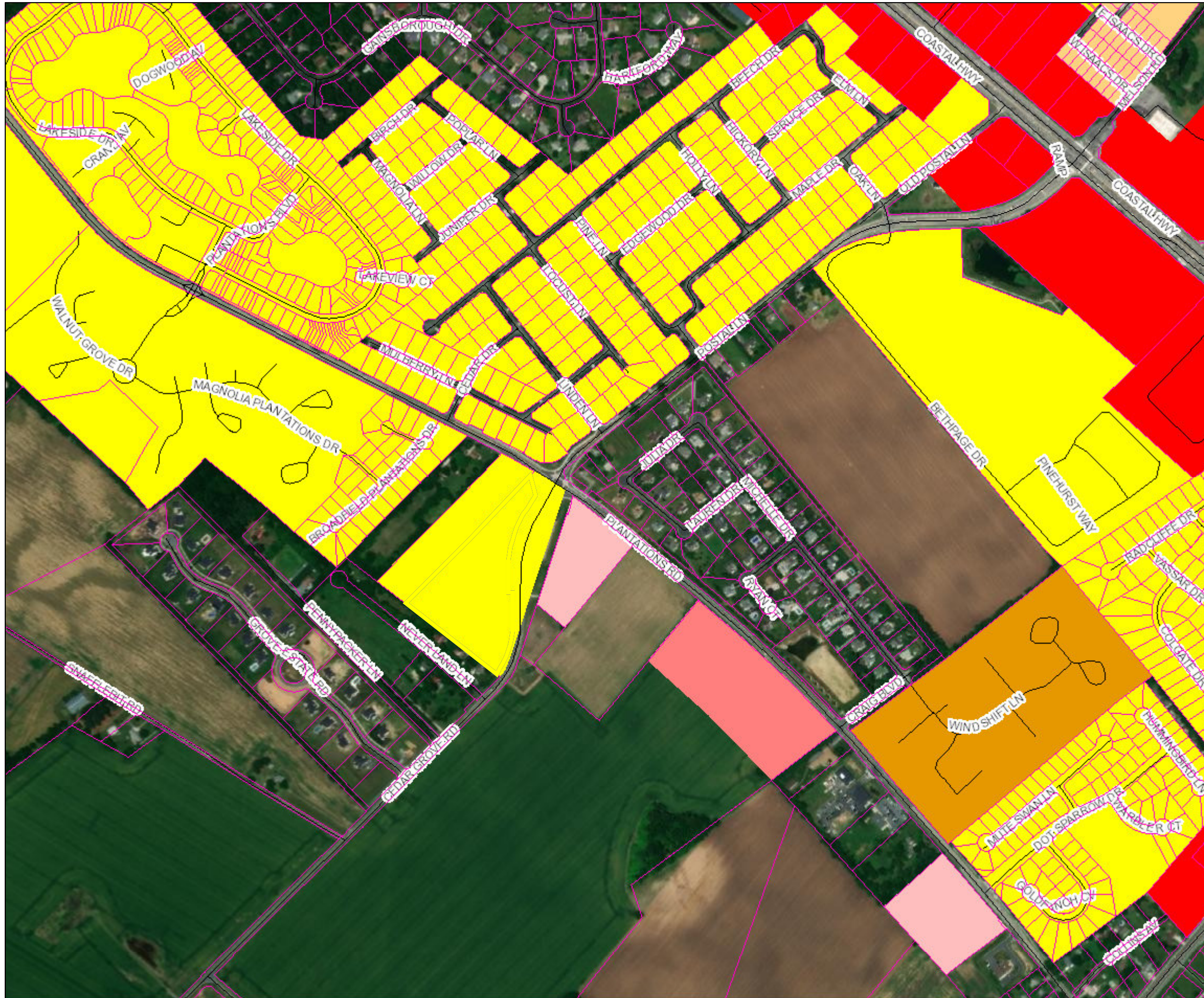
- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- Extent of Right-of-Way
- Municipal Boundaries

1:2,257





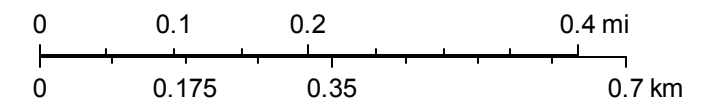
Sussex County

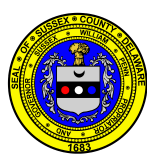


PIN:	334-12.00-2.00
Owner Name	SAYERS EDWARD G TRUSTEE
Book	0
Mailing Address	28 GLOVER CIRCLE
City	WILMINGTON
State	DE
Description	RD.GEORGETOWN TO
Description 2	REHO. 12.46 AC.S.
Description 3	WITH IMP.
Land Code	

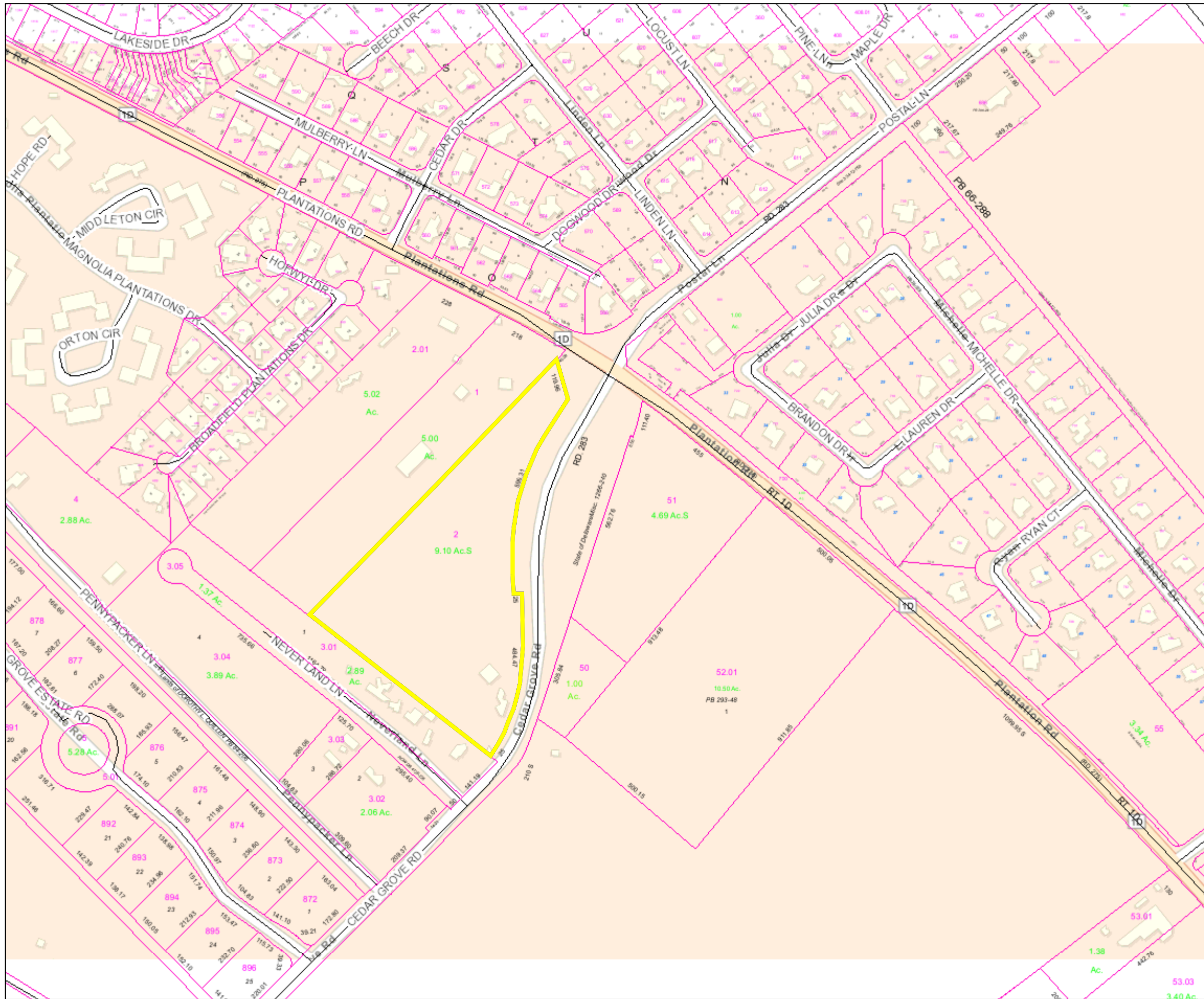
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- Override 1
- polygonLayer**
- Override 1
- Tax Parcels
- Streets

1:9,028





Sussex County



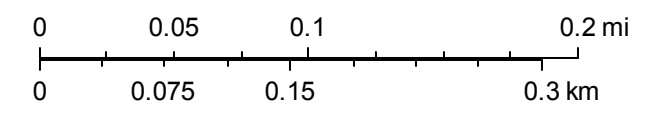
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Description 3	WITH IMP.
Land Code	

- polygonLayer**

 - Override 1
- polygonLayer**

 - Override 1
- Tax Parcels
- Streets
- County Boundaries
- Extent of Right-of-Way
- Municipal Boundaries

1:4,514



JAMIE WHITEHOUSE, AICP, MRTPI
DIRECTOR OF PLANNING & ZONING
(302) 855-7878 T
(302) 854-5079 F
jamie.whitehouse@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

Memorandum

To: Sussex County Planning Commission Members
From: Nicholas Torrance, Planner I
CC: Vince Robertson, Assistant County Attorney and applicant
Date: May 5th, 2021
RE: Staff Analysis for CU 2252 Delaware Electric Co-Op

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CU 2252 Delaware Electric Co-Op to be reviewed during the May 27, 2021 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for Tax Parcels 334-12.00-2.00 to allow for a Conditional Use of land in a Medium Density Residential (MR) Zoning District for an electrical substation. The parcel is located on the southeast corner of Cedar Grove Rd and Plantations Road in Lewes, Delaware. The area of the site is approximately 9.1 acres +/-.

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework for how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the property has the land use designation of the "Coastal Area." All neighboring properties are also designated as "Coastal Area."

The Coastal Area land use designation recognizes that a range of housing types should be permitted in Coastal Area, including single-family homes, townhouses, and multifamily units. Retail and office uses are appropriate but larger shopping centers and office parks should be confined to selected locations with access along arterial roads. Appropriate mixed-use development should also be allowed. It also recognizes a careful mixture of homes with light commercial, office and institutional uses can be appropriate to provide convenient services and to allow people to work close to home.

The property is within a Medium Density Residential (MR) Zoning District. The parcel to the west and the northeast across Plantations Rd are also within an MR Zoning District. The parcels to the south and northeast across Plantations Rd are zone Agricultural Residential District AR-1. The parcel to the east across Cedar Grove Road is zoned Neighborhood Business B-1.

Since 1971, there have been 27 Conditional Use applications within a one-mile radius of the application site. Of the 27 Conditional Use applications within a one-mile radius, 18 have been approved, 4 have been denied, 3 were withdrawn, and 3 are currently pending applications.

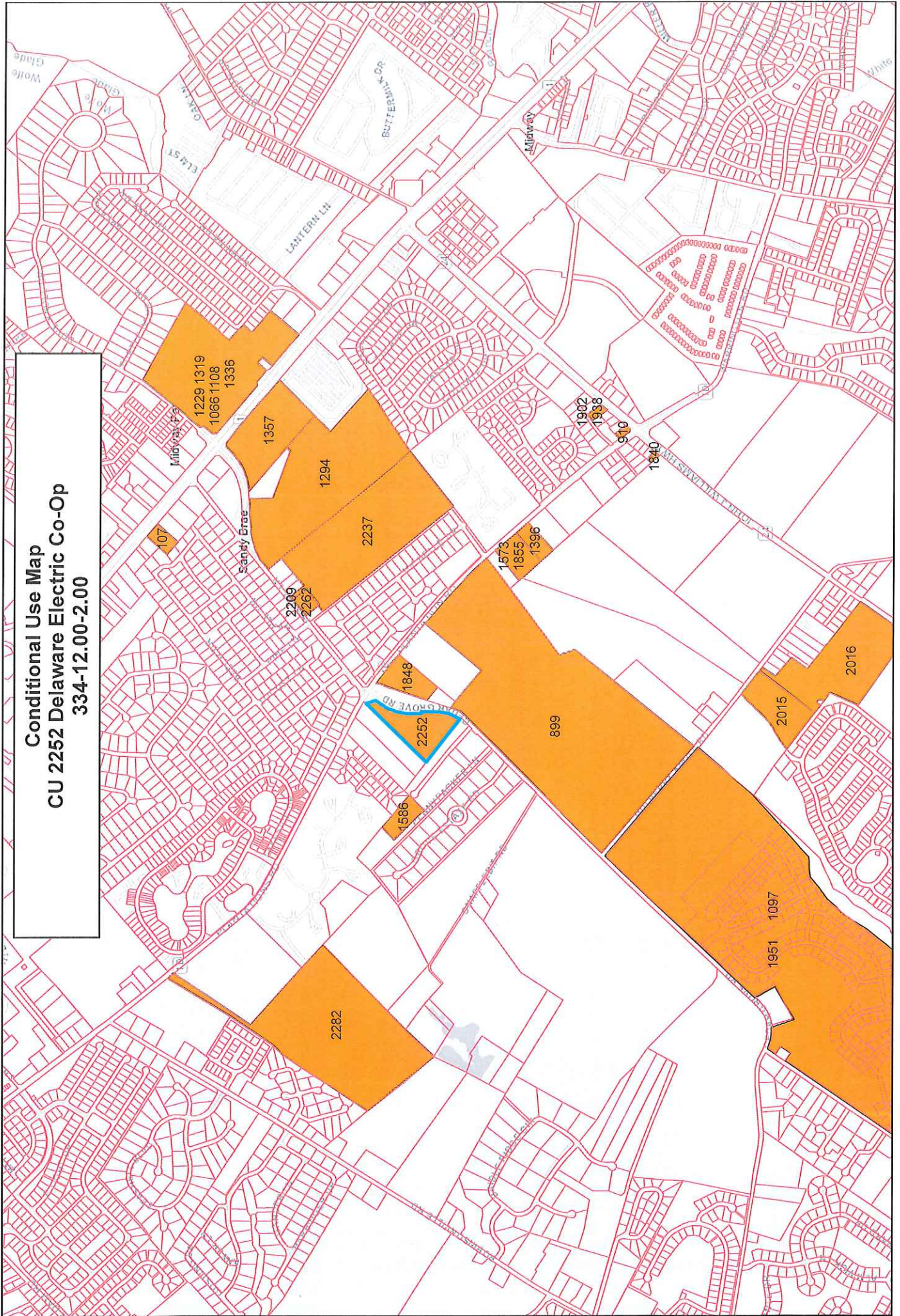
Based on the analysis of the land use, surrounding zoning and uses, the Conditional Use to allow for an electrical substation, subject to considerations of scale and impact, could be considered as being consistent with the land use, area zoning and surrounding uses.





Sussex County

Conditional Use Map
CU 2252 Delaware Electric Co-Op
334-12.00-2.00



CU #	Tax Parcel	APPLICANT	Zoning	Proposed Use	PZ Decision	PZ Decision Date	CC Decision Date	CC Decision
1357	334-6.00-355.04	Super Fresh Food Market	C-1	sales of soft/hard goods off carts	Recommended Denial	9/14/2000	5/1/2001	Approved
107	334-6.00-481.00	Robert W. Palmer	MR	upholstery shop	N/A	<Null>	<Null>	Approved
1938	334-12.00-85.00	Karen L. Barwick	AR-1	Therapist Office and Residence	Recommended Approval	9/6/2012	1/22/2013	Approved
1586	334-12.00-4.00	Far East Capital, Inc.	AR-1	small engine repair	Recommended Approval	2/17/2005	3/1/2005	Approved
1396	334-12.00-53.02	Jerome E. Groll/MD	AR-1	Medical Office Building	Withdrawn	2/23/2001	<Null>	Withdrawn
1855	334-12.00-53.03	Double R. Holdings, LLC	AR-1	Offices	Recommended Approval	10/14/2010	12/7/2010	Approved
1294	334-6.00-355.00	Don Derrickson	AR-1	apartment over golf pro shop	Recommended Approval	7/8/1999	7/27/1999	Approved
1840	334-12.00-58.00	Juliane Olber & William N. Hein	AR-1	printing	Recommended Denial	8/12/2010	9/28/2010	Approved
2237	334-12.00-55.01	Sam Warrington II	AR-1	Outside Boat & RV Storage	Recommended Approval	10/22/2020	12/1/2020	Approved
1336	334-6.00-138.00	Tidewater Utilities	C-1	elevated water storage facility	Recommended Approval	6/22/2000	12/19/2000	Approved
2073	334-6.00-496.00	Delmarva Power & Light Co.	C-1	Expansion to an existing electrical station	Recommended Approval	2/23/2017	3/7/2017	Approved
2016	334-12.00-45.01	Cape Henlopen School District	AR-1	Elementary School	Recommended Approval	5/7/2015	6/16/2015	Approved
2015	334-12.00-16.06	Delaware Division of Facilities Management	AR-1	Public Service Facility (State Police)	Recommended Approval	5/7/2015	6/16/2015	Approved
1951	334-12.00-16.00	Jack Lingo Asset Management	AR-1	RV resort and campground	Recommended Approval	8/22/2013	12/9/2014	Denied
899	334-12.00-52.00	Lewes Fire Department, Inc.	AR-1	substation for fire department	Withdrawn	<Null>	<Null>	Withdrawn
2252	334-12.00-2.00	Delaware Electric Co-Op	MR	Substation		<Null>	<Null>	
1848	334-12.00-51.00	Todd Bariglio	B-1	business/office complex	Recommended Approval	10/4/2009	3/16/2010	Approved
910	334-12.00-81.00	Theodore D. Shaffer	AR-1	hair salon	Recommended Approval	7/20/1989	10/3/1989	Denied
2262	334-6.00-686.00	Matthew Hete	AR-1	multi-family (4-units)		<Null>	<Null>	
1066	334-6.00-138.00	FunSport, Inc.	C-1	Go-Cart Track	Recommended Approval	3/10/1994	3/29/1994	Approved
1097	334-12.00-16.00	Charles P. Moore	AR-1	auto repair & towing service	Recommended Approval	12/22/1994	1/10/1995	Approved
1108	334-6.00-138.00	FunSport, Inc.	C-1	Go Cart Track Expansion/ Amusement Place	Recommended Approval	3/9/1995	3/28/1995	Approved
1229	334-6.00-138.00	FunSport, Inc.	C-1	Expansion of Existing Go Cart Track and				
1319	334-6.00-138.00	FunSport, Inc.	C-1	Wading Pool (CU 1066 & CU 1108)	Recommended Approval	3/26/1998	4/28/1998	Approved
1573	334-12.00-53.03	Robert Burton, Double R Holdings	AR-1	expand waterpark & miniature golf	Recommended Approval	1/13/2000	2/1/2000	Approved
1902	334-12.00-85.00	Dorothy Garvey	AR-1	Medical Offices	Recommended Approval	11/18/2004	11/30/2004	Approved
2209	334-6.00-686.00	Matthew C. Hete	MR	Medical Office	Recommended Denial	7/28/2011	6/5/2012	Withdrawn
2282	334-12.00-7.00	Susan Riter	AR-1	Multi-Family (14 Units)	Recommended Denial	7/9/2020	7/28/2020	Denied
				Borrow Pit		<Null>	<Null>	

File #: CW2252
202014769

Planning & Zoning Commission Application
Sussex County, Delaware

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check applicable)

Conditional Use
Zoning Map Amendment

Site Address of Conditional Use/Zoning Map Amendment

34139 Cedar Grove Road, Lewes, Delaware 19958

Type of Conditional Use Requested:

Delaware Electric Coop; Electrical Substation

Tax Map #: 334-12.00-2.00 **Size of Parcel(s):** 9.1 AC

Current Zoning: MR **Proposed Zoning:** MR **Size of Building:** Less than 500 SF

Land Use Classification: _____

Water Provider: County **Sewer Provider:** Sussex County

Applicant Information

Applicant Name: Delaware Electric Co-Op; Troy Dickerson
Applicant Address: 4198 Sussex Highway
City: Greenwood State: DE Zip Code: 19950
Phone #: (302) 349-3125 E-mail: tdickerson@delaware.coop

Owner Information

Owner Name: Same as applicant
Owner Address: _____
City: _____ State: _____ Zip Code: _____
Phone #: _____ E-mail: _____

Agent/Attorney/Engineer Information

Agent/Attorney/Engineer Name: Century Engineering
Agent/Attorney/Engineer Address: 550 Bay Road
City: Dover State: DE Zip Code: 19901
Phone #: 302-734-9188 E-mail: JSclesky@Centuryeng.com



Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

___ Completed Application

___ Provide eight (8) copies of the Site Plan or Survey of the property

- o Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
- o Provide a PDF of Plans (may be e-mailed to a staff member)
- o Deed or Legal description

___ Provide Fee \$500.00

___ Optional - Additional information for the Commission/Council to consider (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.

___ Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.

___ DeIDOT Service Level Evaluation Request Response

___ PLUS Response Letter (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney

_____ Date: _____

Signature of Owner

_____ Date: _____

For office use only:

Date Submitted: _____ Fee: \$500.00 Check #: _____
Staff accepting application: _____ Application & Case #: _____
Location of property: _____

Subdivision: _____
Date of PC Hearing: _____ Recommendation of PC Commission: _____
Date of CC Hearing: _____ Decision of CC: _____



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. Box 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

November 17, 2020

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning
P.O. Box 417
Georgetown, DE 19947

Dear Mr. Whitehouse:

The Department has completed its review of a Service Level Evaluation Request for the **Delaware Electric Co-Op / Troy Dickerson** conditional use application, which we received on October 16, 2020. This application is for a 9.10-acre parcel (Tax Parcel: 334-12.00-2.00). The subject land is located on the southwest corner of the intersection of Plantations Road (Sussex Road 275) and Cedar Grove Road / Postal Lane (Sussex Road 283). The subject land is currently zoned MR (Medium-Density Residential), and the applicant is seeking a conditional use approval to operate an approximately 500 square-foot electrical substation.

Per the 2019 Delaware Vehicle Volume Summary, the annual average and summer average daily traffic volumes along the segment of Plantations Road where the subject land is located, which is from Beaver Dam Road (Sussex Road 285) to Postal Lane / Cedar Grove Road, are 10,907 and 14,037 vehicles per day, respectively. As the subject land also has frontage along Cedar Grove Road, the annual average and summer average daily traffic volumes along that road segment are 3,713 and 4,779 vehicles per day, respectively.

Based on our review, we estimate that the above land use will generate fewer than 50 vehicle trips per day. This number of trips is below DeIDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. DeIDOT's regulations specify the minimum TIS warrants as 50 vehicle trips in any hour and/or 500 vehicle trips per day. Because the proposed land use would generate fewer than 50 vehicle trips per day, we consider the development's traffic impact to be diminutive in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DeIDOT's description of this application as diminutive with regard to warranting a TIS does not mean that it is diminutive in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.



Mr. Jamie Whitehouse
Page 2 of 2
November 17, 2020

A review of TIS completed in the last three years found that a TIS was completed for the Ocean Park development. That TIS included the intersection of Plantations Road and Cedar Grove Road / Postal Lane. We are providing a copy of that TIS review letter; please find it enclosed with this letter.

If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.
County Coordinator
Development Coordination

TWB:cjm
Enclosure

cc: Delaware Electric Co-Op / Troy Dickerson, Applicant
Russell Warrington, Sussex County Planning & Zoning
Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues
Todd Sammons, Assistant Director, Development Coordination
Gemez Norwood, South District Public Works Manager, Maintenance & Operations
Susanne K. Laws, Sussex County Review Coordinator, Development Coordination
Derek Sapp, Subdivision Manager, Development Coordination
Kevin Hickman, Subdivision Manager, Development Coordination
Brian Yates, Subdivision Manager, Development Coordination
John Andrescavage, Subdivision Manager, Development Coordination
James Argo, South District Project Reviewer, Maintenance & Operations
Troy Brestel, Project Engineer, Development Coordination
Claudy Joinville, Project Engineer, Development Coordination

**SUSSEX COUNTY ENGINEERING DEPARTMENT
UTILITY PLANNING & DESIGN REVIEW DIVISION
C/U & C/Z COMMENTS**

RECEIVED

TO: **Jamie Whitehouse**

REVIEWER: **Chris Calio**

DATE: **5/10/2021**

APPLICATION: **CU 2252 Delaware Electric Co-Op**

APPLICANT: **Delaware Electric Co-Op, Troy Dickerson**

FILE NO: **OM-9.04**

TAX MAP &
PARCEL(S): **334-12.00-2.00**

LOCATION: **34139 Cedar Grove Road, Lewes, DE 19958**

NO. OF UNITS: **Electrical Substation**

GROSS
ACREAGE: **9.1 +/-**

MAY 12 2021

SUSSEX COUNTY
PLANNING & ZONING

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **4**

SEWER:

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?
Yes No
 - a. If yes, see question (2).
 - b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 1**
- (3). Is wastewater capacity available for the project? **Yes** If not, what capacity is available? **N/A**.
- (4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **N/A** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **N/A** If yes, the current System Connection Charge Rate is **Unified \$6,360.00** per EDU. Please contact **N/A** at **302-855-7719** for additional information on charges.
- (6). Is the project capable of being annexed into a Sussex County sanitary sewer

district? **N/A**

Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.

- (7). Is project adjacent to the Unified Sewer District? **N/A**
- (8). Comments: **Click or tap here to enter text.**
- (9). Is a Sewer System Concept Evaluation required? **No**
- (10). Is a Use of Existing Infrastructure Agreement Required? **No**

UTILITY PLANNING APPROVAL:

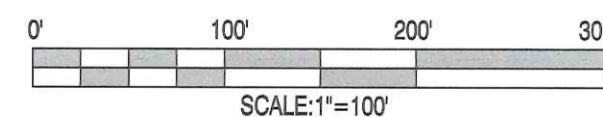
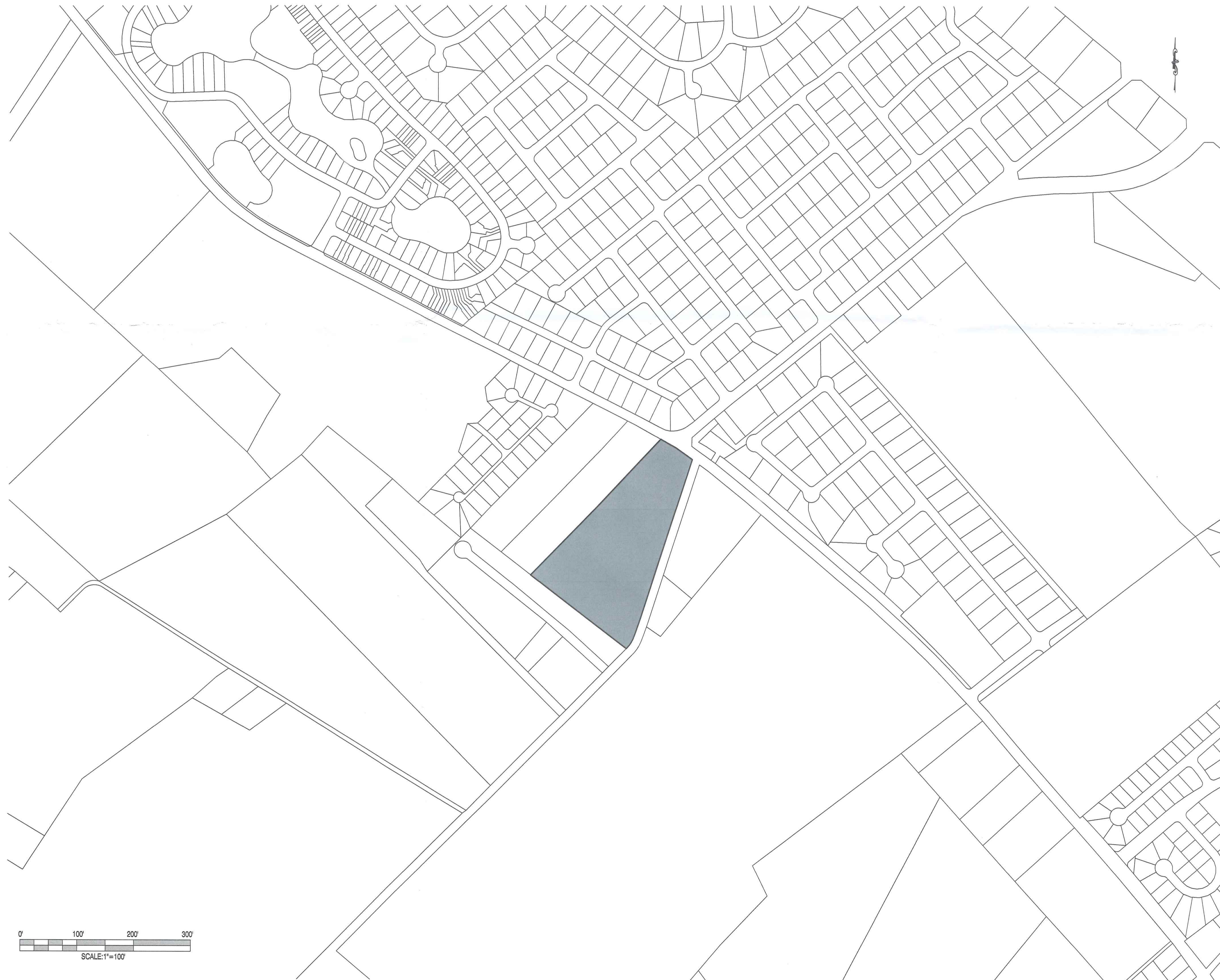


John J. Ashman
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.
Lisa Walls
No Permit Tech Assigned

PRELIMINARY SITE PLAN DELAWARE ELECTRIC CO-OP CEDAR GROVE ROAD, SUBSTATION

334-12.00-2.00
SUSSEX COUNTY, DELAWARE



DATA COLUMN

1. COUNTY TAX MAP: 334-12.00-2.00
2. ADDRESS OF SITE: CEDAR GROVE ROAD
LEWES, DE
3. ZONING: MR-1 (MEDIUM RESIDENTIAL)
4. TOTAL NUMBER OF DWELLING UNITS: 1
5. LOT AREA: 9.10± ACRES (396,396± S.F.)
6. RIGHT OF WAY DEDICATION: XXXXX± ACRES (XXXX± S.F.)
7. NET DEVELOPMENT AREA: XXXXX± ACRES (XXXX± S.F.)
8. PERMANENT EASEMENT: XXXXX± ACRES XXXXX± S.F.)
9. SOURCE OF TITLE: DEED
10. DATUM: VERTICAL - NAVD 88
HORIZONTAL - NAD 83
(PER CONTRACT 309)
11. SETBACK: FRONT: 40'
SIDE: 10'
REAR: 10'
12. FLOODPLAIN: ACCORDING TO FIRM NO. 100050332K, DATED MARCH 16, 2015, THIS SITE LIES OUTSIDE AN AREA OF 0.2% ANNUAL CHANCE OF FLOOD HAZARD.
13. WETLANDS: A SITE VISIT HAS NOT BEEN PERFORMED BY CENTURY ENGINEERING INC.
14. SEWER: NO SEWER OR ON-SITE SEPTIC IS PROPOSED.
15. WATER: NO WATER CONNECTION OR ON-SITE WELL IS PROPOSED.
16. RECREATIONAL AREA: NO RECREATIONAL AREA IS PROPOSED BY THIS PLAN.
17. OPEN SPACE: NO DESIGNATED OPEN SPACE IS PROPOSED BY THIS PLAN.
18. CONSTRUCTION PHASING: PROPOSED CONSTRUCTION IS TO BE COMPLETED IN ONE (1) PHASE.
19. APPLICANT/DEVELOPER: DELAWARE ELECTRIC COOPERATIVE, INC.
14198 SUSSEX HIGHWAY
GREENWOOD, DE 19950
20. CIVIL ENGINEER: CENTURY ENGINEERING, INC.
550 BAY ROAD
DOVER, DE 19901
(302) 734-9188
21. A CONDITIONAL USE FOR THIS SITE WAS APPROVED BY COUNTY COUNCIL, SEE CU2057 AND ORDINANCE 2471.
22. THIS PLAN SHALL SUPERCEDE THE PREVIOUSLY APPROVED SUSSEX COUNTY CONDITIONAL USE #2057, DATED OCTOBER 25, 2016.

GENERAL NOTES:

- CONDITIONS OF APPROVAL:**
1. THE PERIMETER OF THE SUBSTATION WILL BE FENCED.
 2. TWO (2) SIGNS SHALL BE PLACED AROUND THE PROPERTY TO IDENTIFY THE SITE AND EMERGENCY CONTACT INFORMATION.
 3. ANY SECURITY LIGHTING SHALL BE SCREENED OR DIRECTED AWAY FROM NEIGHBORING PROPERTIES AND ROADS.
 4. LANDSCAPING SHALL BE PROVIDED TO SCREEN FACILITY FROM ADJACENT PROPERTIES AND ROADWAYS.
 5. THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.
 6. STORAGE OF MATERIALS OR EQUIPMENT ON SITE SHALL NOT EXCEED A PERIOD OF 30 DAYS.

INDEX OF SHEETS

C100 COVER SHEET

CERTIFICATION OF DEVELOPER

I, STEVE PERRY, HEREBY CERTIFY THAT I AM THE DEVELOPER OF THE PROPERTY SHOWN ON THIS PLAN. THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE IN MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.

STEVE PERRY
DELAWARE ELECTRIC COOPERATIVE, INC.
14198 SUSSEX HIGHWAY
GREENWOOD, DE 19950
(302) 349-3131

DATE

CERTIFICATION OF PLAN ACCURACY

IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

ALEXANDER E. SCHMIDT, P.E., DE NO. 16139
CENTURY ENGINEERING, INC.
550 BAY ROAD
DOVER, DELAWARE 19901
(302) 734-9188

DATE

This drawing is the property of Century Engineering and is prepared for the exclusive use of its clients at the location indicated. No other use is authorized or intended.

CENTURY
ENGINEERING
CONSULTING ENGINEERS & SURVEYORS

ADDRESS: 550 BAY ROAD
DOVER, DE 19901
P: (302) 734-9188 F: (302) 734-4589
WEBSITE: www.centuryeng.com
EMAIL: cel@centuryeng.com

REVISIONS

ADDENDUM

DESCRIPTION	DATE

PROJECT
SHEET TITLE

CEDAR GROVE ROAD SUBSTATION
FOR
DELAWARE ELECTRIC CO-OP
LEWES, SUSSEX COUNTY, DELAWARE 19958
LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DELAWARE

SUSSEX COUNTY
SUBMISSION
OCTOBER, 2020

DRAWN: DMK CHK'D/DESIGNER: AES

SCALE: 1" = 100' SHEET NO.

PROJECT NO.

145015.11



This drawing is the property of Century Engineering and is prepared for the exclusive use of its clients at the location indicated. No other use is authorized or intended.

Century
ENGINEERING
CONSULTING ENGINEERS ■ SURVEYORS

ADDRESS: 550 BAY ROAD DOVER, DE 19901
P: (302) 734-9188 F: (302) 734-4589
WEBSITE: www.centuryeng.com
EMAIL: ces@centuryeng.com



REVISIONS

ADDENDUM

DESCRIPTION	DATE

PROJECT
CEDAR GROVE ROAD SUBSTATION
FOR
DELAWARE ELECTRIC CO-OP
LEWES, SUSSEX COUNTY, DELAWARE 19858
LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DELAWARE

SUSSEX COUNTY
SUBMISSION
OCTOBER, 2020

DRAWN	CHK'D/DESIGNER
DMK	AES
SCALE	SHEET NO.

1" = 60'
PROJECT NO.
145015.11

C:\Projects\145015.00 (DEC 7) 145015.11 Cedar Grove Road Substation\000 FILES\Sheet\Conceptual\CP1000_Conceptual Plan.dwg, 10/22/2020 10:29 AM



PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878 T
302-854-5079 F
JAMIE WHITEHOUSE, MRTPI, AICP
DIRECTOR OF PLANNING & ZONING

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET

Planning Commission Public Hearing Date: May 27th, 2021

Application: CU 2260 Ronald Lee Wisseman II

Applicant: Ronald Lee Wisseman II
10213 Fawn Road
Greenwood, DE 19950

Owner: Ronald Lee Wisseman II
10213 Fawn Road
Greenwood, DE 19950

Site Location: 10213 Fawn Road
Greenwood, DE 19950

Current Zoning: Agricultural Residential (AR-1) Zoning District

Proposed Use: Gunsmithing

Comprehensive Land
Use Plan Reference: Low Density

Councilmanic
District: Ms. Green

School District: Woodbridge School District

Fire District: Bridgeville Fire Department

Sewer: Private (septic system)

Water: Private (well)

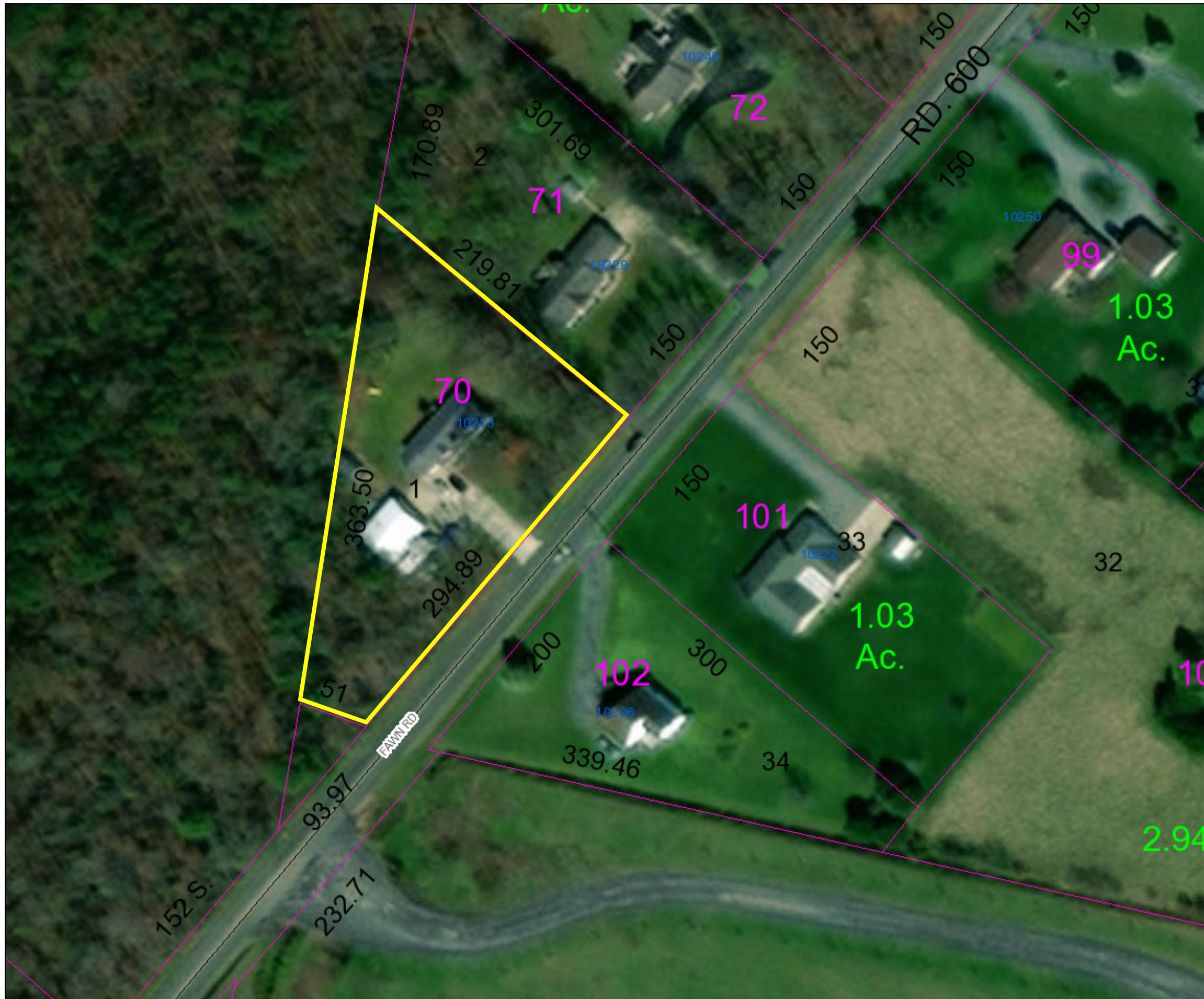
Site Area: 0.96 acres +/-

Tax Map ID.: 430-11.00-70.00





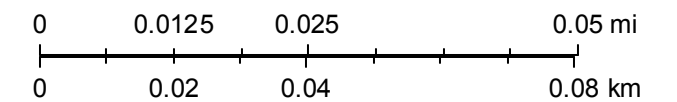
Sussex County



PIN:	430-11.00-70.00
Owner Name	WISSEMAN RONALD L II
Book	4954
Mailing Address	10213 FAWN RD
City	GREENWOOD
State	DE
Description	FAWN GROVE
Description 2	LOT 1
Description 3	NW/RT 600
Land Code	

- polygonLayer**
Override 1
- polygonLayer**
Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- Flood Zones 2018**
- 0.2 PCT ANNUAL CHANCE FLOOD HAZARD
- A
- AE
- AO
- OPEN WATER
- VE
- Extent of Right-of-Way
- Municipal Boundaries

1:1,128





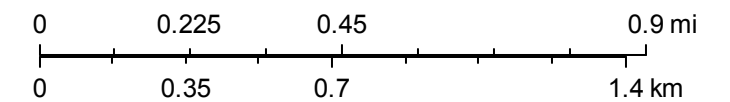
Sussex County

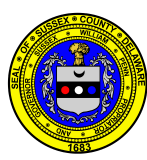


PIN:	430-11.00-70.00
Owner Name	WISSEMAN RONALD L II
Book	4954
Mailing Address	10213 FAWN RD
City	GREENWOOD
State	DE
Description	FAWN GROVE
Description 2	LOT 1
Description 3	NW/RT 600
Land Code	

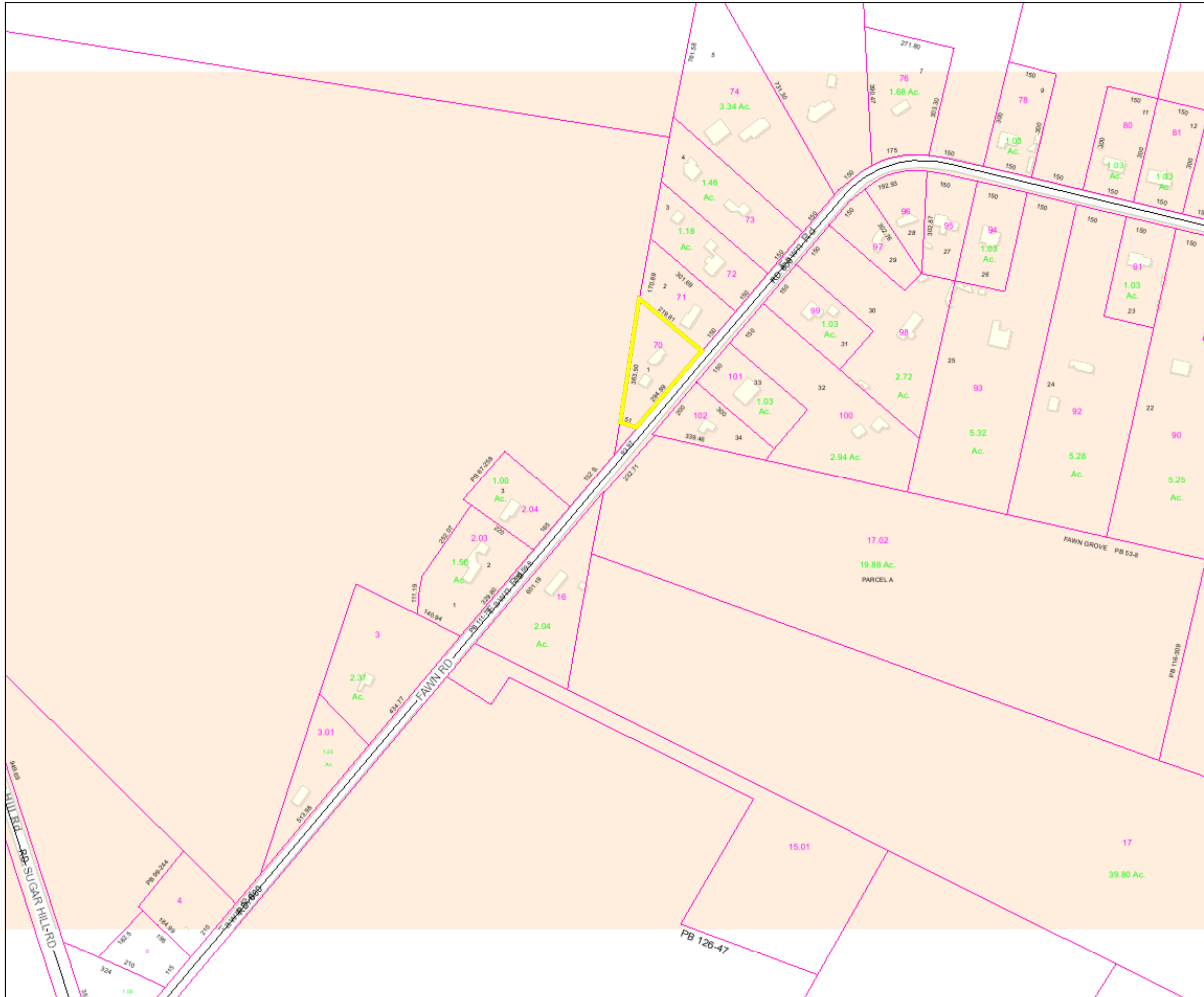
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- Tax Parcels
- Streets

1:18,056





Sussex County



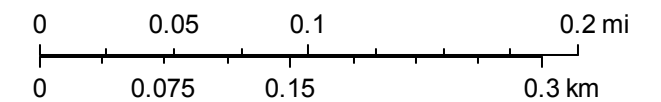
PIN:	430-11.00-70.00
Owner Name	WISSEMAN RONALD L II
Book	4954
Mailing Address	10213 FAWN RD
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Description	FAWN GROVE
Description 2	LOT 1
Description 3	NW/RT 600
Land Code	

- polygonLayer**

Override 1
- polygonLayer**

Override 1
- Tax Parcels
- Streets
- County Boundaries
- Municipal Boundaries

1:4,514



JAMIE WHITEHOUSE, AICP, MRTPI
DIRECTOR OF PLANNING & ZONING
(302) 855-7878 T
(302) 854-5079 F
jamie.whitehouse@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

Memorandum

To: Sussex County Planning Commission Members
From: Nicholas Torrance, Planner I
CC: Vince Robertson, Assistant County Attorney and applicant
Date: May 6th, 2021
RE: Staff Analysis for CU 2260 Ronald Lee Wisseman II

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CU 2260 Ronald Lee Wisseman II to be reviewed during the May 27, 2021 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for Tax Parcels 430-11.00-70.00 to allow for a Conditional Use of land in an Agricultural Residential (AR-1) Zoning District for gunsmithing. The parcel is located on the west side of Fawn Rd (S.C.R. 600) in Greenwood, Delaware. The area of the site is approximately 0.96 acres +/-.

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework for how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the property has the land use designation of the "Low Density." All neighboring properties are also designated as "Low Density."

The primary uses envisioned in "Low Density Areas" are agricultural activities and homes. Business development should be largely confined to businesses addressing the needs of these two uses. Industrial and agribusiness uses that support or depend on agriculture should be permitted. The focus of retail and office uses in "Low Density Areas" should be providing convenience goods and services to nearby residents. Commercial uses in these residential areas should be limited in their location, size and hours of operation. More intense commercial uses should be avoided in these areas.

The property is within an Agricultural Residential (AR-1) Zoning District. All surrounding properties are also zoned AR-1.

Since 1971, there have been 5 Conditional Use applications within a one-mile radius of the application site. Of the 5 Conditional Use applications within a one-mile radius, four have been approved and one was denied.

Based on the analysis of the land use, surrounding zoning and uses, the Conditional Use to allow for gunsmithing, subject to considerations of scale and impact, could be considered as being consistent with the land use, area zoning and surrounding uses.

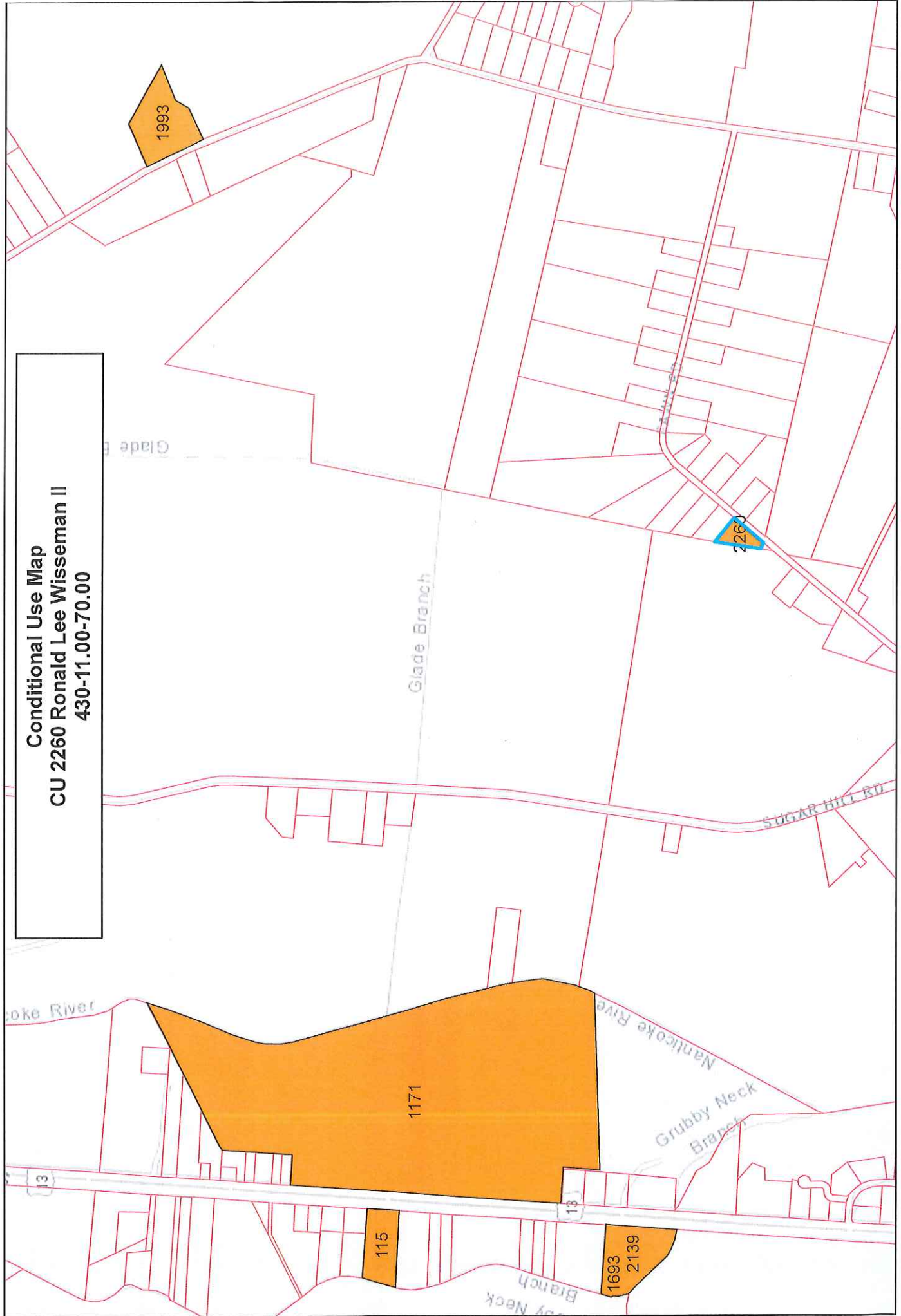




Sussex County

Conditional Use Map

CU 2260 Ronald Lee Wisseman II
430-11.00-70.00



CU #	Tax Parcel	APPLICANT	Zoning	Proposed Use	PZ Recommendation	PZ Decision Date	CC Decision Date	CC Decision
1993	430-8.00-9.02	David J. Bosco	AR-1	Paint Ball Park	Recommended Approval	8/21/2014	10/7/2014	Approved
2260	430-11.00-70.00	Ronald Lee Wisseman II	AR-1	Gunsmithing		<Null>	<Null>	
2139	530-17.00-10.00	Arctec Air Properties, LLC	AR-1	Storage warehouse for small contractors	Recommended Approval	9/13/2018	9/25/2018	Approved
1171	530-17.00-1.00	Hab Nab Transportation, Inc.	AR-1	trucking operation	Recommended Denial	12/5/1996	12/18/1996	Denied
115	530-17.00-2.01	Gerald Campbell	AR-1	cabinet shop	N/A	<Null>	<Null>	Approved
1693	530-17.00-10.00	H&L Land Company LLC	AR-1	Warehousing	Recommended Approval	7/12/2007	8/7/2007	Approved

Planning & Zoning Commission Application Sussex County, Delaware

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check applicable)Conditional Use Zoning Map Amendment **Site Address of Conditional Use/Zoning Map Amendment**10213 Fawn Rd. Greenwood**Type of Conditional Use Requested:**GunsmithingTax Map #: 430-M,00-70.00Size of Parcel(s): 1.48 acresCurrent Zoning: Ag./Res Proposed Zoning: Ag./Res Size of Building: Existing 32x30Land Use Classification: Ag./ResWater Provider: WellSewer Provider: NIA**Applicant Information**Applicant Name: Ronald Lee Wisseman IIApplicant Address: 10213 Fawn Rd.City: GreenwoodState: DEZip Code: 19950Phone #: 302-604-2343E-mail: ronwisseman@gmail.com**Owner Information**Owner Name: Ronald Lee Wisseman IIOwner Address: 10213 Fawn RdCity: GreenwoodState: DEZip Code: 19950Phone #: 302-604-2343E-mail: ronwisseman@gmail.com**Agent/Attorney/Engineer Information**Agent/Attorney/Engineer Name: Scott RustAgent/Attorney/Engineer Address: 10430 Fawn Rd.City: GreenwoodState: DEZip Code: 19950Phone #: 302-519-5224E-mail: scott.r.rust@gmail.com

Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

- Completed Application**
- Provide eight (8) copies of the Site Plan or Survey of the property**
 - Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
 - Provide a PDF of Plans (may be e-mailed to a staff member) *(No New Plans)*
 - Deed or Legal description
- Provide Fee \$500.00**
- Optional - Additional information for the Commission/Council to consider** (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.
- Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.**
- DeIDOT Service Level Evaluation Request Response**
- PLUS Response Letter** (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney



Date: 1-3-2021

Signature of Owner



Date: 1-3-2021

For office use only:

Date Submitted: _____ Fee: \$500.00 Check #: _____
Staff accepting application: _____ Application & Case #: _____
Location of property: _____

Subdivision: _____
Date of PC Hearing: _____ Recommendation of PC Commission: _____
Date of CC Hearing: _____ Decision of CC: _____

The business intends to be ran out of the existing 30x32 building without any modifications to the interior or exterior of the building or property. I would also like for it to be known that although I intend to do gunsmithing work, there will be no shooting range on the property as not to disturb the neighboring properties.

Thank you for your time,

Ronald Wisseman



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

November 19, 2020

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning
P.O. Box 417
Georgetown, DE 19947

Dear Mr. Whitehouse:

The Department has completed its review of a Service Level Evaluation Request for the **Ronald Wisseman II** conditional use application, which we received on October 20, 2020. This application is for an approximately 1.00-acre parcel (Tax Parcel: 430-11.00-70.00). The subject land is located on the northwest side of Fawn Road (Sussex Road 600), approximately 2,500 feet northeast of Sugar Hill Road (Sussex Road 599), northeast of the Town of Bridgeville. The subject land is currently zoned AR-1 (Agricultural Residential), and the applicant is seeking a conditional use approval to utilize the facility to operate a home business.

Per the 2019 Delaware Vehicle Volume Summary, the annual average daily traffic volume along the segment of Fawn Road where the subject land is located, which is from St. Johnstown Road (Sussex Road 600) / Tuckers Road (Sussex Road 597) to E. Newton Road (Sussex Road 582), is 918 vehicles per day.

Based on our review, we estimate that the above land use will generate fewer than 50 vehicle trips per day. This number of trips is below DeIDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. DeIDOT's regulations specify the minimum TIS warrants as 50 vehicle trips in any hour and/or 500 vehicle trips per day. Because the proposed land use would generate fewer than 50 vehicle trips per day, we consider the development's traffic impact to be diminutive in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DeIDOT's description of this application as diminutive with regard to warranting a TIS does not mean that it is diminutive in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.



Mr. Jamie Whitehouse
Page 2 of 2
November 19, 2020

If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.
County Coordinator
Development Coordination

TWB:cjm

cc: Ronald Wisseman II, Applicant
Russell Warrington, Sussex County Planning & Zoning
Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues
Todd Sammons, Assistant Director, Development Coordination
Gemez Norwood, South District Public Works Manager, Maintenance & Operations
Susanne K. Laws, Sussex County Review Coordinator, Development Coordination
Derek Sapp, Subdivision Manager, Development Coordination
Kevin Hickman, Subdivision Manager, Development Coordination
Brian Yates, Subdivision Manager, Development Coordination
John Andrescavage, Subdivision Manager, Development Coordination
James Argo, South District Project Reviewer, Maintenance & Operations
Troy Brestel, Project Engineer, Development Coordination
Claudy Joinville, Project Engineer, Development Coordination

**SUSSEX COUNTY ENGINEERING DEPARTMENT
UTILITY PLANNING & DESIGN REVIEW DIVISION
C/U & C/Z COMMENTS**

TO: **Jamie Whitehouse**
REVIEWER: **Chris Calio**
DATE: **5/10/2021**
APPLICATION: **CU 2260 Ronald Lee Wisseman II**
APPLICANT: **Ronald Lee Wisseman II**
FILE NO: **WSPA-5.01**
TAX MAP &
PARCEL(S): **430-11.00-70.00**
LOCATION: **10213 Fawn Road, Greenwood, DE 19950**
NO. OF UNITS: **Gunsmithing shop**
GROSS
ACREAGE: **0.96 +/-**

RECEIVED
MAY 12 2021
SUSSEX COUNTY
PLANNING & ZONING

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

SEWER:

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?
Yes No
- a. If yes, see question (2).
b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 3**
- (3). Is wastewater capacity available for the project? **N/A** If not, what capacity is available? **N/A**.
- (4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **No** If yes, the current System Connection Charge Rate is **Unified \$6,360.00** per EDU. Please contact **N/A** at **302-855-7719** for additional information on charges.
- (6). Is the project capable of being annexed into a Sussex County sanitary sewer

district? **No**

Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.

(7). Is project adjacent to the Unified Sewer District? **No**

(8). Comments: **The proposed CU is not in an area where the Sussex County Engineering Department has a schedule to provide sanitary sewer service**

(9). Is a Sewer System Concept Evaluation required? **No**

(10). Is a Use of Existing Infrastructure Agreement Required? **No**

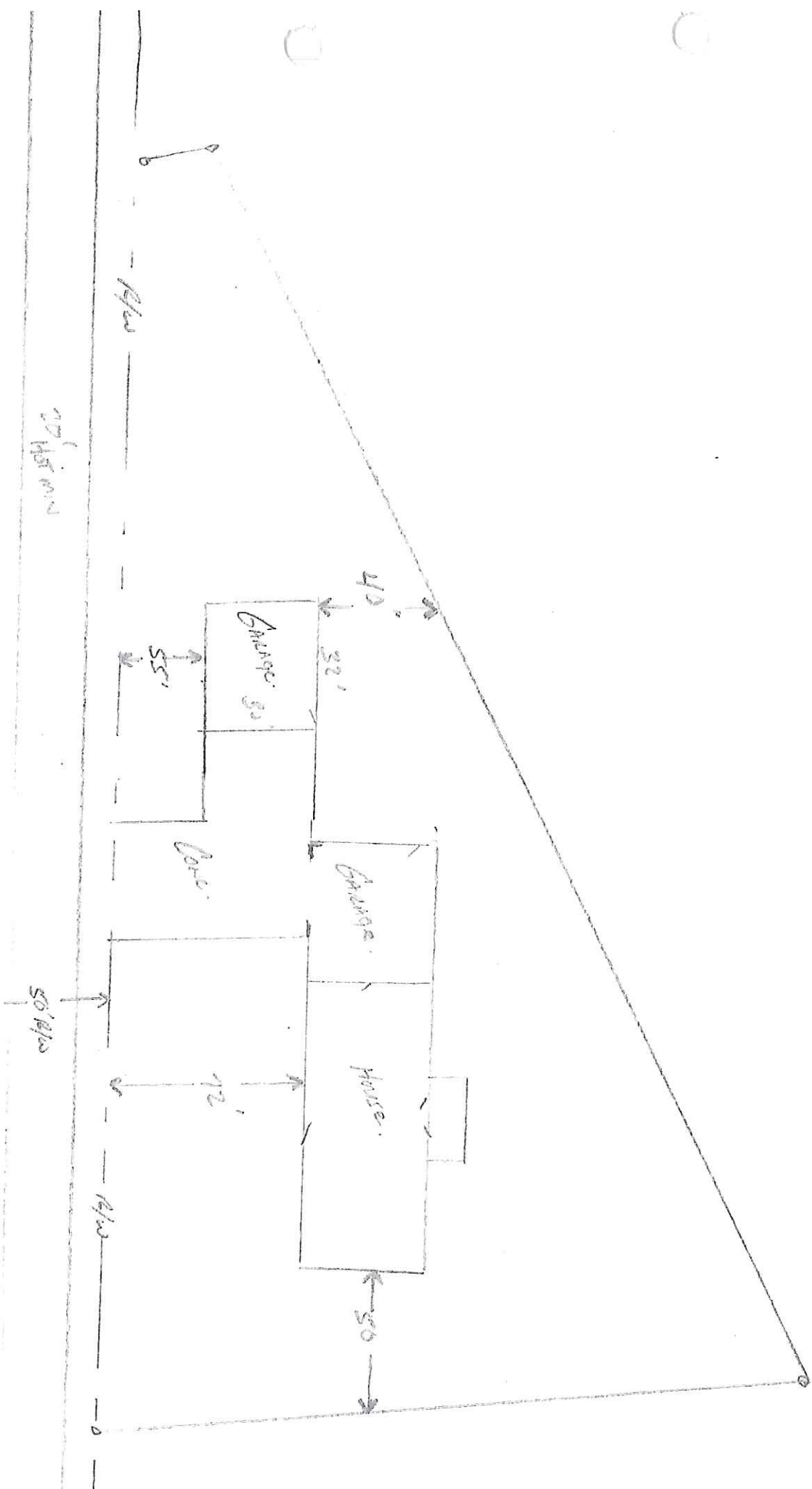
UTILITY PLANNING APPROVAL:



John J. Ashman
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.
Lisa Walls
No Permit Tech Assigned

D



PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878 T
302-854-5079 F
JAMIE WHITEHOUSE, MRTPI, AICP
DIRECTOR

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET
Planning Commission Public Hearing Date: May 27th, 2021

Application: CU 2280 Covered Bridge Inn, LLC (Hopkins Henlopen Homestead, LLC)

Applicant/Owner: Covered Bridge Inn, LLC (c/o Ingrid Hopkins)
30249 Fisher Road
Lewes, DE 19958

Site Location: On the south side of Fisher Rd. (S.C.R. 262) approximately 0.93 miles east of Cool Spring Rd. (S.C.R. 290)

Current Zoning: AR-1 (Agricultural Residential District)

Proposed Use: Events Venue

Comprehensive Land Use Plan Reference: Low Density

Councilmatic District: Mr. Schaeffer

School District: Cape Henlopen School District

Fire District: Lewes Fire Department

Sewer: Private Septic

Water: Private Well

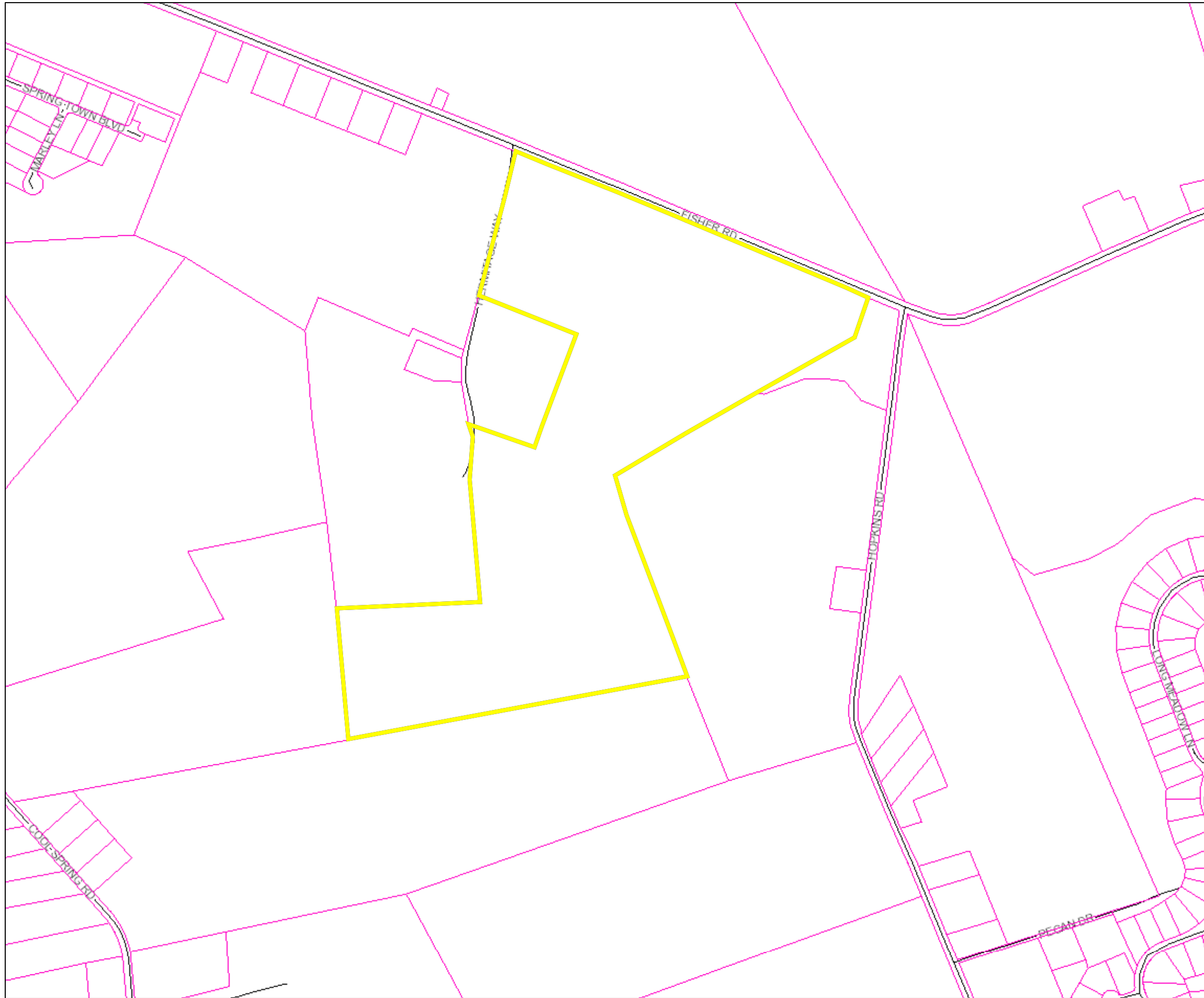
Site Area: 98.60 Acres +/-

Tax Map ID.: 334-10.00-69.01





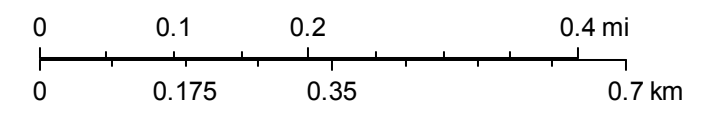
Sussex County



PIN:	334-10.00-69.01
Owner Name	HOPKINS HENLOPEN HOMESTEAD LLC
Book	4229
Mailing Address	18186 DAIRY FARM ROAD
City	LEWES
State	DE
Description	S/RT 262
Description 2	136' W/RT 286
Description 3	FP
Land Code	

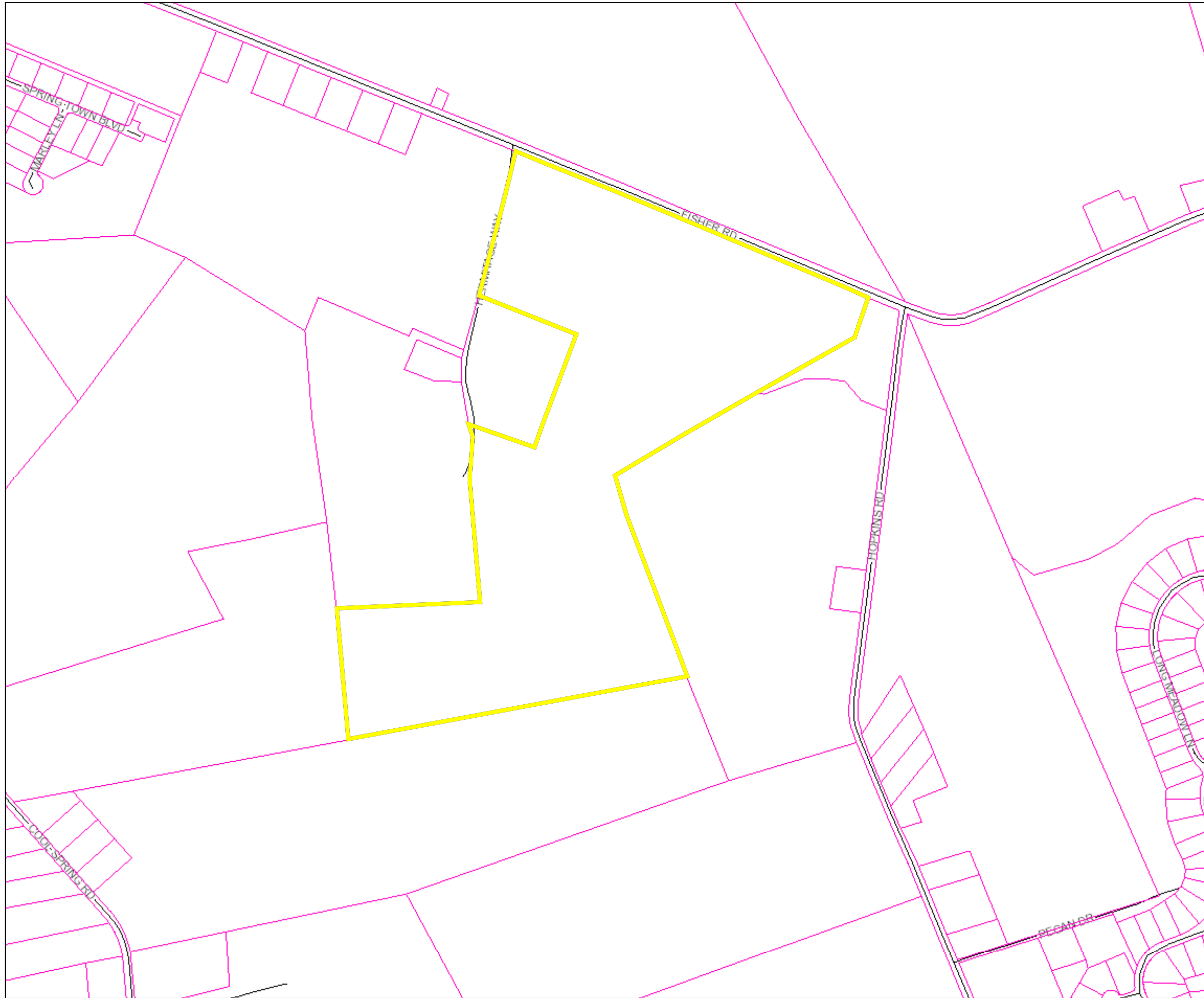
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- polygonLayer**
Override 1
- Tax Parcels
- Streets
- County Boundaries
- Tax Ditch Segments**
- Tax Ditch Channel
- Pond Feature
- Special Access ROW
- Extent of Right-of-Way
- Municipal Boundaries

1:9,028







Sussex County



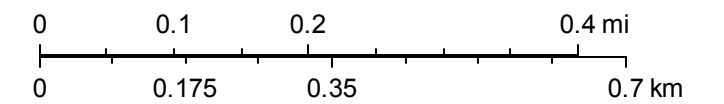
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Description 2	136' W/RT 286
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 - Override 1
- polygonLayer**

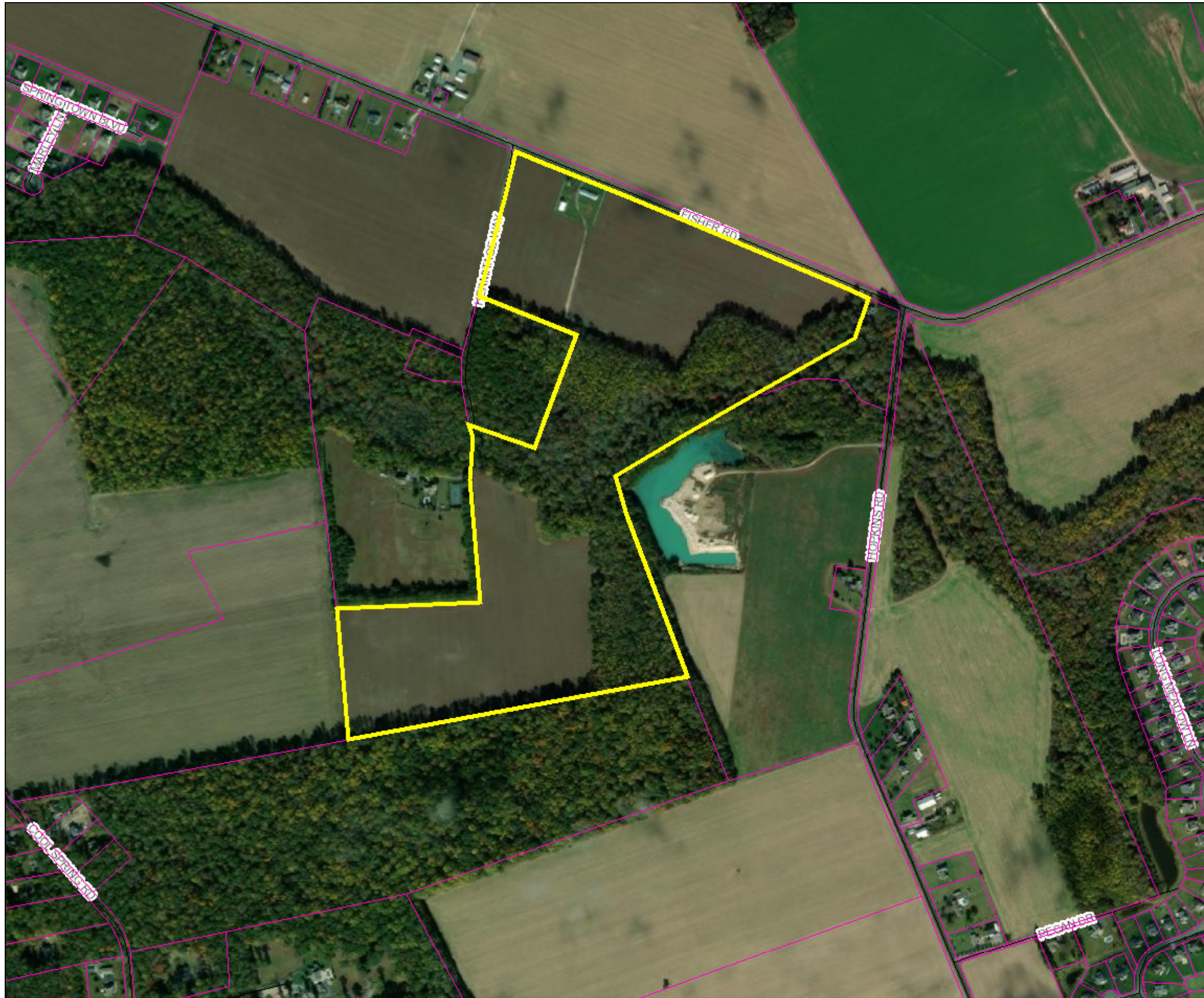
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-  Tax Parcels
-  Streets

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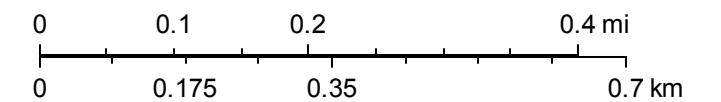
Sussex County



PIN:	334-10.00-69.01
Owner Name	HOPKINS HENLOPEN HOMESTEAD LLC
Book	4229
Mailing Address	18186 DAIRY FARM ROAD
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Override 1
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Override 1
- Tax Parcels
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 - Special Access ROW
 - Extent of Right-of-Way
 - Municipal Boundaries

1:9,028



JAMIE WHITEHOUSE, AICP
DIRECTOR OF PLANNING & ZONING
(302) 855-7878 T
(302) 854-5079 F
jamie.whitehouse@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

Memorandum

To: Sussex County Planning Commission Members
From: Christin Scott, Planner I
CC: Vince Robertson, Assistant County Attorney and applicant
Date: May 20, 2021
RE: Staff Analysis for CU 2280 Covered Bridge Inn, LLC (Hopkins Henlopen Homestead, LLC)

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CU 2280 Covered Bridge Inn, LLC (Hopkins Henlopen Homestead, LLC) to be reviewed during the May 27, 2021 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for parcel 334-10.00-69.01 to allow for an events venue. The size of the property is 98.60 acres +/- . The property is zoned AR-1 (Agricultural Residential Zoning District) and located at on the south side of Fisher Rd. (S.C.R. 262) approximately 0.93 miles east of Cool Spring Rd. (S.C.R. 290).

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework for how land is to be developed. As part of the Comprehensive Plan a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the property has the land use designation of Low-Density Area.

The surrounding parcels to the north, east, west, and south are all designated on the Future Land Use Map as "Low Density Area". The uses that the Low-Density Area land use designation recognizes are primarily agricultural activities and homes. Business development should be largely confined to businesses addressing the needs of these two uses. Industrial and agribusiness uses that support or depend on agriculture should be permitted. The focus of retail and office uses in Low Density should be for providing convenience goods and services to nearby residents. Commercial uses in these residential areas should be limited in their location, size and hours of operation. More intense commercial uses should generally be avoided in these areas.

The property is zoned AR-1 (Agricultural Residential Zoning District). The adjoining and surrounding properties to the north, south, east and west are all also zoned AR-1.

Since 2011, there have been no Conditional Use approvals within a 1-mile radius of the application site.

Based on the analysis of the land use, surrounding zoning and uses, the Conditional Use for the abovementioned use, subject to considerations of scale and impact, could be considered as being consistent with the land use, area zoning and surrounding uses.



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE

Planning & Zoning Commission Application Sussex County, Delaware

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check applicable)

Conditional Use

Zoning Map Amendment

Site Address of Conditional Use/Zoning Map Amendment

30066 Fisher Rd, Milton, DE 19968

Type of Conditional Use Requested: Ag. Preservation land, existing barn to be used as a second event space for the existing venue

The Covered Bridge Inn, LLC.

Tax Map #: 334-10.00-69.01

Size of Parcel(s): 98 acres.

Current Zoning: AR-1

Proposed Zoning: ARI-cond

Size of Building: 2100 sq'

Land Use Classification:

Agricultural Preservation district

Water Provider: well onsite

Sewer Provider: septic onsite

Applicant Information

Applicant Name: Ingrid Hopkins, Owner, Covered Bridge Inn, LLC.

Applicant Address: 30249 Fisher Rd.

City: Lewes

State: DE

Zip Code: 19958

Phone #: 302-542-9605

E-mail: innkeeper@thecoveredbridgeinn.com

Owner Information

Owner Name: Hopkins Kentopen Homestead, c/o Amy Hopkins

Owner Address: 18186 Dairy Farm Rd.

City: Lewes

State: DE

Zip Code: 19958

Phone #: 302-695-9302

E-mail: amyhpkins@gmail.com

Agent/Attorney/Engineer Information

Agent/Attorney/Engineer Name: _____

Agent/Attorney/Engineer Address: _____

City: _____

State: _____

Zip Code: _____

Phone #: _____

E-mail: _____



Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

Completed Application

Provide eight (8) copies of the Site Plan or Survey of the property

- Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
- Provide a PDF of Plans (may be e-mailed to a staff member)
- Deed or Legal description

Provide Fee \$500.00

Optional - Additional information for the Commission/Council to consider (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.

Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.

DeIDOT Service Level Evaluation Request Response

PLUS Response Letter (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

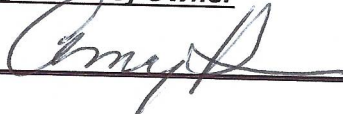
I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney



Date: 4/22/20

Signature of Owner



Date: 4/22/20

For office use only:

Date Submitted: _____

Fee: \$500.00 Check #: _____

Staff accepting application: _____

Application & Case #: _____

Location of property: _____

Subdivision: _____

Date of PC Hearing: _____

Recommendation of PC Commission: _____

Date of CC Hearing: _____

Decision of CC: _____

**SUSSEX COUNTY ENGINEERING DEPARTMENT
UTILITY PLANNING & DESIGN REVIEW DIVISION
C/U & C/Z COMMENTS**

TO: **Jamie Whitehouse**

REVIEWER: **Chris Calio**

DATE: **5/10/2021**

APPLICATION: **CU 2280 Covered Bridge Inn, LLC**

APPLICANT: **Covered Bridge Inn, LLC (c/o Ingrid Hopkins)**

FILE NO: **NCPA-5.03**

TAX MAP &
PARCEL(S): **334-10.00-69.01**

LOCATION: **On the south side of Fisher Road (SCR 262) approximately
0.93 miles east of Cool Spring Road (SCR 290)**

NO. OF UNITS: **Event Venue**

GROSS
ACREAGE: **98.60 +/-**

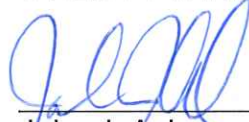
SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

SEWER:

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?
Yes No
- a. If yes, see question (2).
b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 3**
- (3). Is wastewater capacity available for the project? **N/A** If not, what capacity is available? **N/A**.
- (4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **No** If yes, the current System Connection Charge Rate is **Unified \$6,360.00** per EDU. Please contact **N/A** at **302-855-7719** for additional information on charges.

- (6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **No**
- Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.
- (7). Is project adjacent to the Unified Sewer District? **No**
- (8). Comments: **The proposed CU is not in an area where the Sussex County Engineering Department has a schedule to provide sanitary sewer service.**
- (9). Is a Sewer System Concept Evaluation required? **No**
- (10). Is a Use of Existing Infrastructure Agreement Required? **No**

UTILITY PLANNING APPROVAL:



John J. Ashman
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.
Lisa Walls
No Permit Tech Assigned



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. Box 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

May 20, 2020

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning
P.O. Box 417
Georgetown, DE 19947

Dear Mr. Whitehouse:

The Department has completed its review of a Service Level Evaluation Request for the **Ingrid Hopkins, The Covered Bridge Inn, LLC** conditional use application, which we received on April 23, 2020. This application is for an approximately 98.60-acre parcel (Tax Parcel: 334-10.00-69.01). The subject land is located on the southwest side of Fisher Road (Sussex Road 262), approximately 190 feet west of the intersection of Hopkins Road (Sussex Road 286) and Fisher Road, southeast of Milton. The subject land is currently zoned as AR-1 (Agricultural Residential) and the applicant is seeking a conditional use approval to utilize the facility for honey extraction and to operate a 2,100 square-foot small events venue.

Per the 2019 Delaware Vehicle Volume Summary, the annual average daily traffic volume along the segment of Fisher Road where the subject land is located, which is from Beaver Dam Road (Sussex Road 285) to Cool Spring Road (Sussex Road 290), is 1,684 vehicles per day.

The traffic impact of event venues necessarily varies with the frequency and size of the events. Generally, DelDOT bases its decision to require a Traffic Impact Study (TIS) on traffic volumes that recur on a daily or weekly basis. Special events, if large enough, may require coordination with our Transportation Management Center but cannot be properly addressed by the TIS process.

Regarding DelDOT's warrants for requiring a TIS, special events that would generate more than 50 vehicle trips in any hour and more than 500 vehicle trips per day would meet these warrants. Special events generating more than 200 vehicle trips in any hour and / or more than 2,000 vehicle trips per day would be considered to have a Major impact to local area roadways. Because we expect the typical event to generate no more than 50 vehicle trips in any hour and no more than 500 vehicle trips per day, we recommend that this conditional use application be considered without a TIS.



Mr. Jamie Whitehouse

Page 2 of 2

May 20, 2020

If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

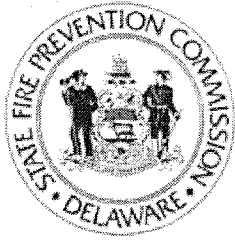
Sincerely,



T. William Brockenbrough, Jr.
County Coordinator
Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues
Ingrid Hopkins, The Covered Bridge Inn, LLC, Applicant
Todd Sammons, Assistant Director, Development Coordination
Gemez Norwood, South District Public Works Manager, Maintenance & Operations
Susanne K. Laws, Sussex County Review Coordinator, Development Coordination
Derek Sapp, Subdivision Manager, Development Coordination
Kevin Hickman, Subdivision Manager, Development Coordination
Brian Yates, Subdivision Manager, Development Coordination
John Andrescavage, Subdivision Manager, Development Coordination
James Argo, South District Project Reviewer, Maintenance & Operations
Troy Brestel, Project Engineer, Development Coordination
Claudy Joinville, Project Engineer, Development Coordination



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2020-04-203718-MJS-02

Tax Parcel Number: 334-10.00-69.01

Status: Approved as Submitted

Date: 05/21/2020

Project

Honey Bee Barn Addition
Hopkins Henlopen Homestead Property

30066 Fisher Road
Milton DE 19968

Scope of Project

Number of Stories:
Square Footage:
Construction Class:
Fire District: 82 - Lewes Fire Dept Inc

Occupant Load Inside: 167
Occupancy Code: 9622

Applicant

Amy Hopkins
18186 Dairy Farm Road
Lewes, DE 19958

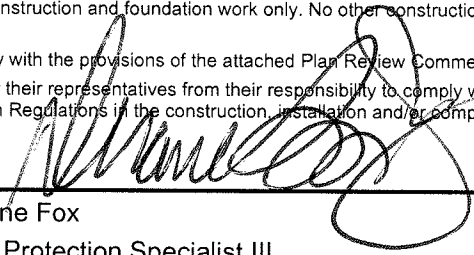
This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:



Duane Fox
Fire Protection Specialist III

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2020-04-203718-MJS-02

Tax Parcel Number: 334-10.00-69.01

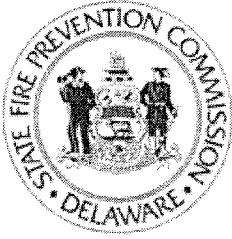
Status: Approved as Submitted

Date: 05/21/2020

PROJECT COMMENTS

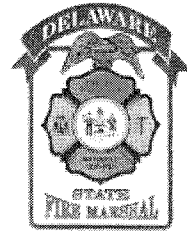
- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1010 A** The following water for fire protection requirements apply: **NONE. On-Site Wells Proposed.** this site meets Water Flow Table 1. therefore the provisions of NFPA 1142 shall apply to this site (DSFPR Regulation 702, Chapter 6, Section 3). Since wells are proposed for this site, no additional requirements will be made by this Agency for water for fire protection.
- 1000** The site plans have been approved as submitted. The Office of DE State Fire Marshal has no objection to recordation.
- 1501 A** If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.





**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



FIRE PROTECTION PLAN REVIEW REPORT

Plan Review Number: 2020-04-203719-ADD-02

Tax Parcel Number: 334-10.00-69.01

Status: Not Approved as Submitted

Date: 05/21/2020

Project

Honey Bee Barn Addition
Honey Bee Barn
Hopkins Henlopen Homestead Property

30066 Fisher Road
Milton DE 19968

Scope of Project

Number of Stories: 1
Square Footage: 2189
Construction Class: V (000) Wood Frame
Fire District: 82 - Lewes Fire Dept Inc

Occupant Load Inside: 167
Occupancy Code: 9622

Applicant

Amy Hopkins
18186 Dairy Farm Road
Lewes, DE 19958

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:



Duane Fox
Fire Protection Specialist III

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2020-04-203719-ADD-02

Tax Parcel Number: 334-10.00-69.01

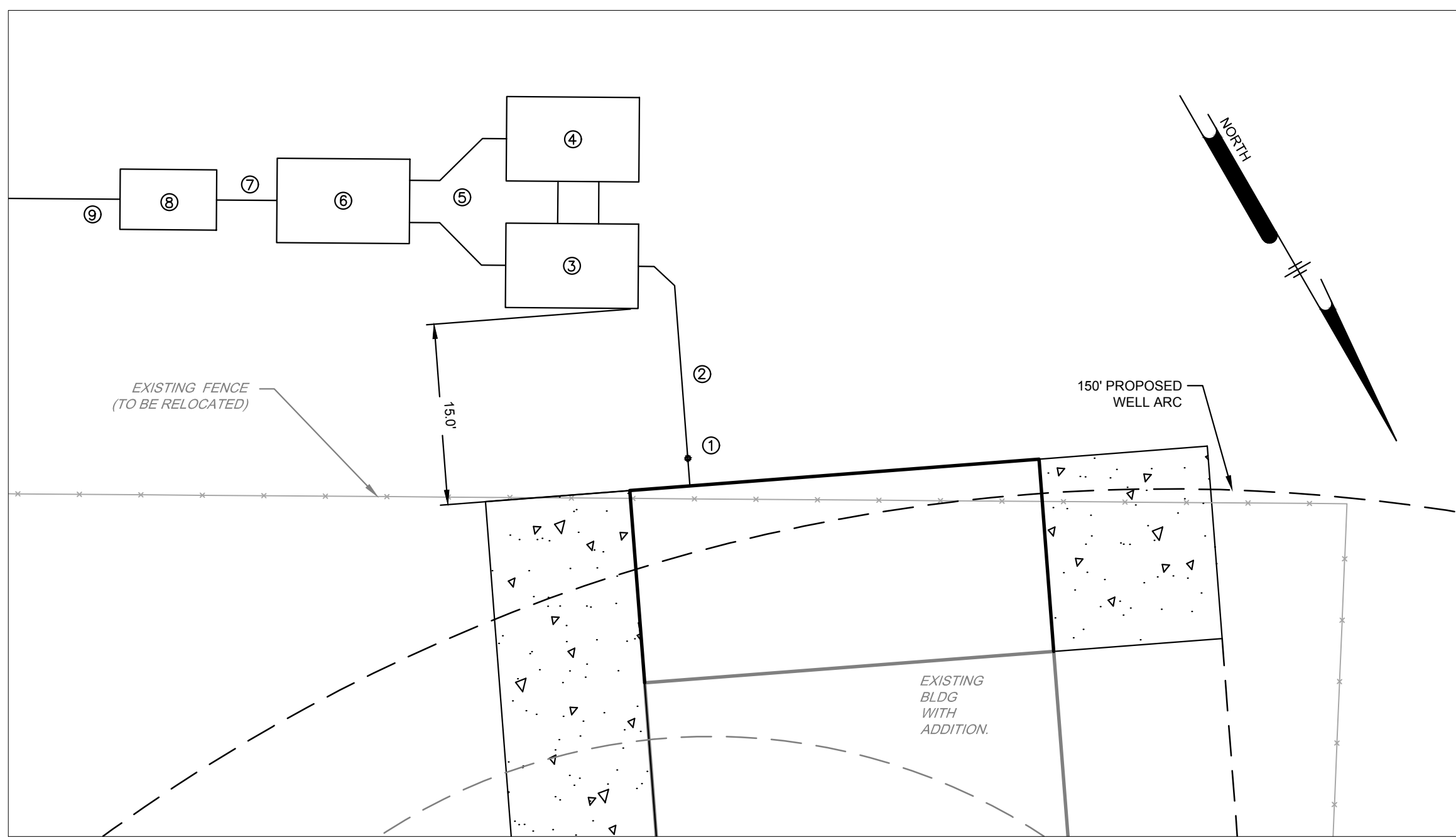
Status: Not Approved as Submitted

Date: 05/21/2020

PROJECT COMMENTS

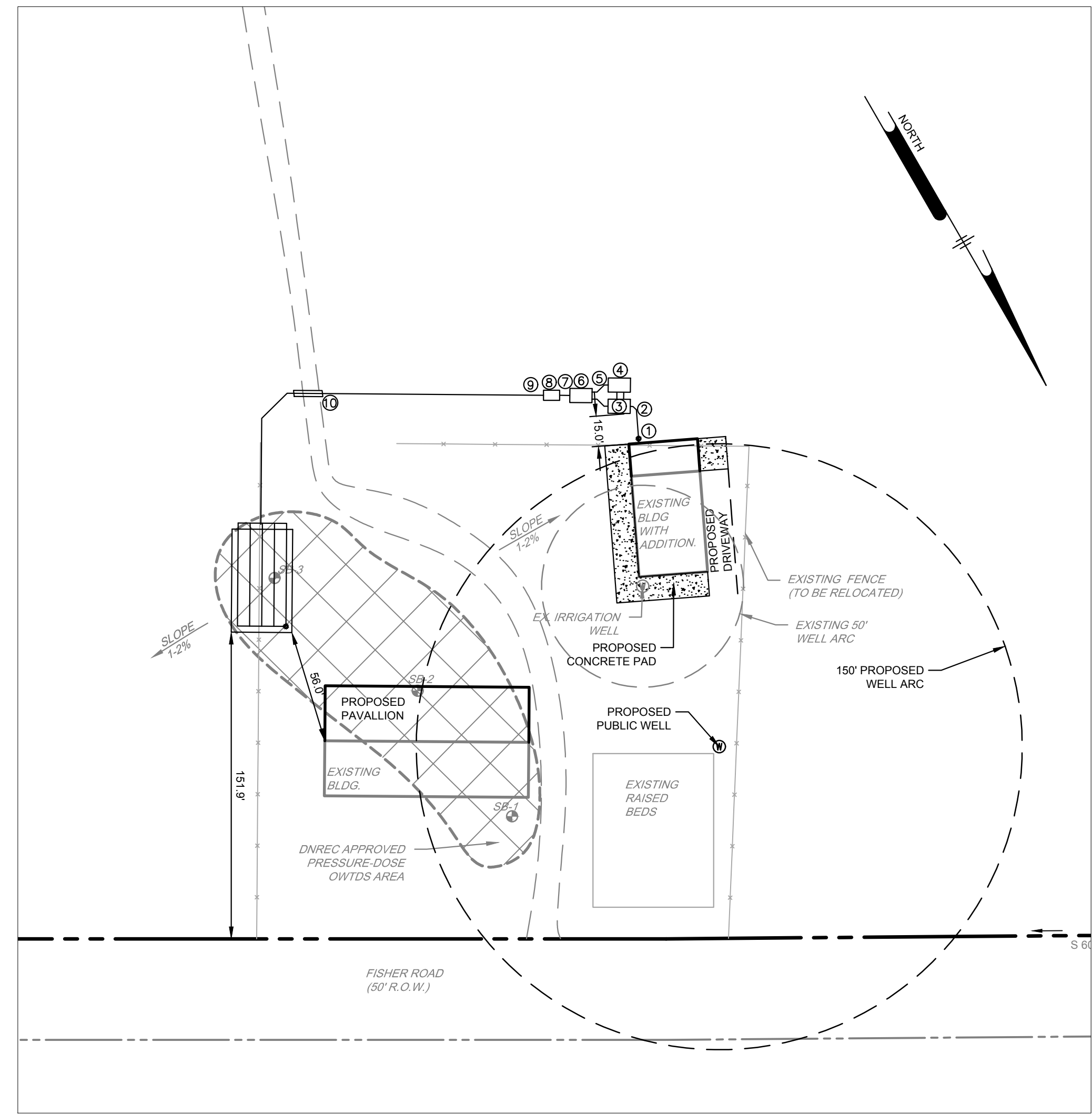
- 2000 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) dated August 11, 2006. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov These plans were not reviewed for compliance with the Americans with Disabilities Act. These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes. Project work must be started within one year from the issuance of the permit, otherwise, the permit will be terminated.
- 2700 A** All plans must be reviewed and approved by this Agency prior to extending project past footers and foundation. Plan review status shall remain "NOT APPROVED AS SUBMITTED" until the following listed deficiencies have been addressed and approved by this Agency. Contact the reviewer of this project for clarification of listed deficiencies.
- 1510 A** The following items have been identified during the plan review as MAJOR DEFICIENCIES. Correct these items and resubmit the required plans, specifications, or documents that address these deficiencies. If there are any questions about these deficiencies please feel free to contact the Fire Protection Specialist who reviewed this project.
- 2050 A** Doors shall swing in the direction of exit travel (outward) where used in an exit enclosure. NFPA 101, Section 7.2.1.4.3 (2000 ed.).
- ** EXIT DOORS SHALL BE PIVOT TYPE IN ACCORDANCE WITH NFPA 101, SECTION 7.2.1.4.1. THE BARN SLIDING DOORS SHALL BE CHANGED TO PIVOT DOORS OR REMOVED. SINCE THEY ARE BOTH BEING USED AS EGRESS THE DOORS SHALL SWING TOWARD THE EXIT. IF A LATCH IS PROVIDED IT SHALL BE PANIC HARDWARE.
- 1501 A** If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.





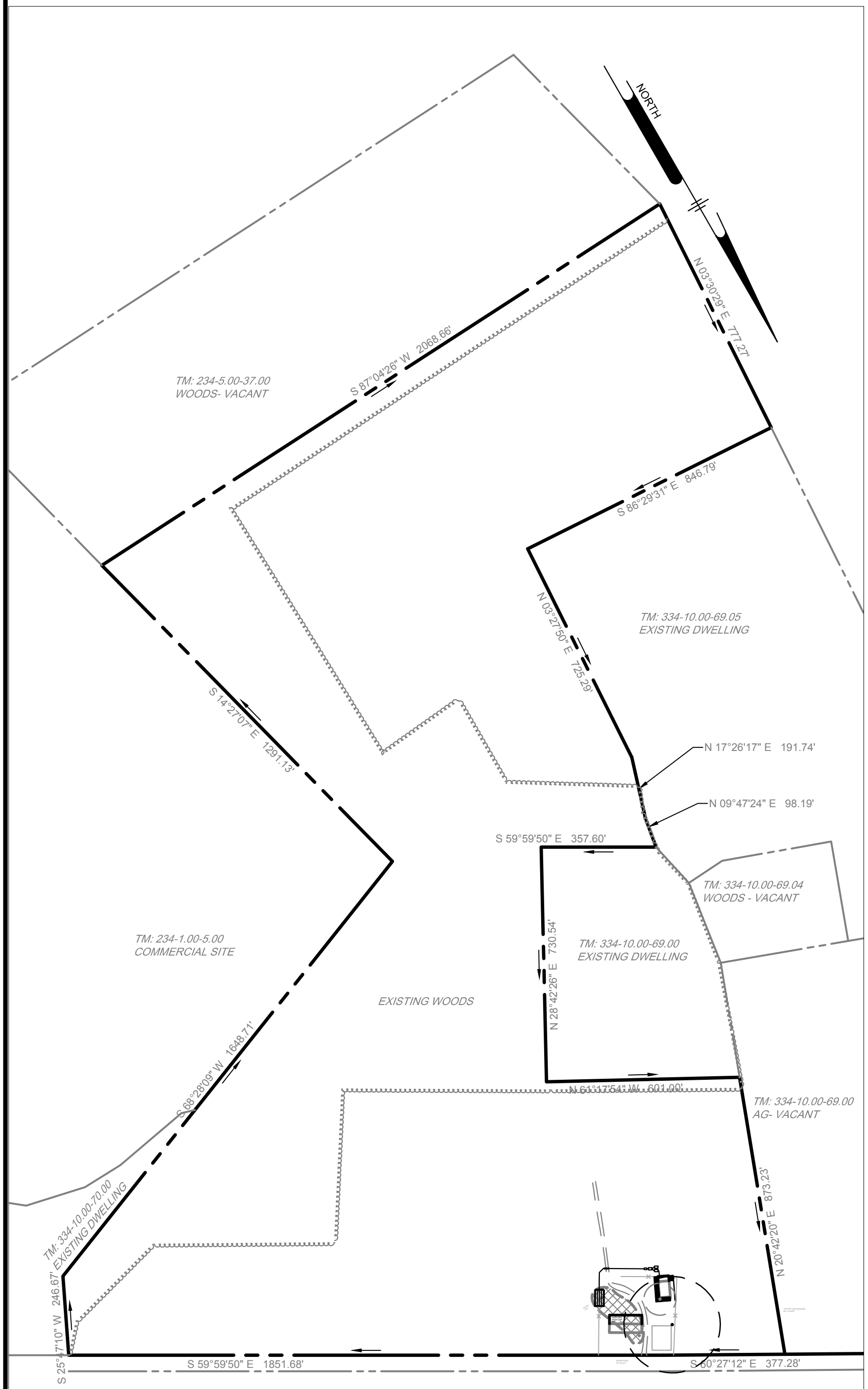
SEPTIC DETAIL
SCALE: 1" = 50'

- 1 CLEANOUT
- 2 4" BLDG SEWER (15.6' LONG)
- 3 1500 GAL SEPTIC TANK
- 4 4" SCH 40 PVC (5.0' LONG)
- 5 1500 GAL SEPTIC TANK
- 6 4" SCH 40 PVC (7.0')
- 7 1500 ESON ECOPOD GAL SEPTIC TANK
- 8 4" SCH 40 PVC (7.0')
- 9 1000 GAL DOSING CHAMBER
- 10 2" TRANSMISSION LINE (187' LONG)
- 11 3" ENCASED SLEEVE
- 12 2" MANIFOLD (45.0' LONG)
- 13 TURN-UP TYP., SET HEAD @ 2.5'
- 14 1" DISTRIBUTION LATERAL (46' LONG), 5/32" HOLES 8' O.C., 5 HOLES/LATERAL (BEGIN 7' EACH END)



CONSTRUCTION PLAN
SCALE: 1" = 50'

- NOTES**
1. ALL TANKS SHALL HAVE WATERTIGHT RISERS AND SHALL EXTEND ABOVE GRADE.
 2. SEPTIC TANK SHALL HAVE AN EFFLUENT FILTER APPROVED BY DNREC.
 3. SPARE TO BE SANDLINED UPGRADE IN INITIAL AREA.
 4. TREES NEED TO BE REMOVED WITH EXTREME CARE PER DNREC GUIDELINES (COPY ATTACHED). INSTALLING A SUBSTANTIAL BARRIER AROUND THE ENTIRE PROPOSED DISPOSAL AREA WHILE LOT DEVELOPMENT IS TAKING PLACE MAY HELP TO AVOID ACCIDENTAL SOIL COMPACTION OR SYSTEM DISTURBANCE.
 5. BOLLARD NOTES
 6. SLEEVE NOTE.



OVERALL SITE PLAN
SCALE: 1" = 300'

U:\Account\GIBBN19001-SD\19001-SD_01.dwg
 PLOTTED: 11/15/2024 10:14 PM BY: Shaw, J. Dana
 PROJECT STATUS: PLOT STYLE: Pennon1.ncs.ctb
 SHEET: 1 OF 5

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

TAX MAP: 334-10.00-69.01
SIRT 262 LEWES
LEWES, DE 19958

OVERALL PLAN

HOPKINS HENLOPEN HOMESTEAD LLC
C/O ROBIN GIBBONS, 2003 SAVANNAH CIRCLE
LEWES, DE 19958

NO.	DATE	REVISIONS	BY

PROJECT	GIBBN19001
DATE	2020-01-03
DRAWN SCALE	AS SHOWN
DRAWN BY	SJD
APPROVED BY	SKC
GIBBN19001-SD	
SHEET	1 OF 5

NOTES

- ALL OPENINGS PASSING THROUGH FIRE-RATED WALLS OR CEILING ARE TO BE FIRE & DRAFT STOPPED WITH 3M FIRE MOLDABLE PUTTY, 3M FIRE BARRIER CP 250B, CAULK, 3M INTERAM FIRE-DAM 150 CAULK OR EQUAL, TO MEET UL 149 DESIGN AND INSTALLATION. SELECT THE APPROPRIATE FIRE AND DRAFT STOPPING MATERIAL BASED ON THE TYPE OF MATERIAL PASSING THROUGH THE OPENING.
- ALL DUCTS PASSING THROUGH FIRE-RATED WALLS OR CEILING ARE TO BE FITTED WITH FIRE-RATED GREEN-CHECK AUTOMATIC DAMPERS OR EQUAL, TO MEET UL 555/555B DESIGN AND INSTALLATION.
- DRAFT STOP / FIRE BLOCKING SHALL BE UL-RATED, NON-COMBUSTIBLE MATERIAL, NO FOAM.

SYMBOLS LEGEND

- (F.E.) FIRE EXTINGUISHER
- (EXIT) EMERGENCY EXIT SIGN AS PER LIFE SAFETY CODE 101 SECTION 5-1
- (EL) EMERGENCY LIGHTING AS PER LIFE SAFETY CODE 101 SECTION 5-5
- (EL/EXIT) COMBINATION UNIT
- (R) REMOTE HEAD (WIRED TO COMBINATION UNIT)

FIRE MARSHAL NOTES:

ALL EXIT DOORS SHALL BE NON-KEYED FROM THE INSIDE (NFPA 101 SECT. 7.2.1.5.2)
THIS CAN BE A LEVER, KNOB, THUMB LATCH OR PANIC BAR (NFPA 101 SECT. 7.2.1.5.4.)

PROVIDE EITHER EXTERNALLY OR INTERNALLY ILLUMINATED EXIT/DIRECTIONAL SIGNS TO MARK ALL EXITS & THE PATHS TO THE EXITS. SIGNS SHALL BE LEGIBLE. (NFPA 101, SECT. 7.10)

PROVIDE EMERGENCY LIGHTING DESIGNED TO LIGHT THE ACCESS PATHS, THE EXITS THEMSELVES & THE EXIT DISCHARGE TO THE PUBLIC WAY.

AI&LES LEADING TO EACH EXIT ARE REQUIRED TO BE MINIMUM CLEAR WIDTH OF 36 INCHES.

PROVIDE PORTABLE FIRE EXTINGUISHERS. A MINIMUM 10-LB. MULTIPURPOSE (A:B:C) W/AT LEAST A 2A-10BC RATING SHALL BE PROVIDED AND SHALL HAVE A DELAWARE INSPECTION TAG ATTACHED (NFPA 10). ALL PORTABLE FIRE EXTINGUISHERS SHALL BE SERVICED ON AN ANNUAL BASIS (EVERY 12 MONTHS) BY AN INDIVIDUAL LICENSED UNDER THE PROVISIONS OF THE D&FPR, PART III CHAPTER 2.

INTERIOR FINISH ON FLOORS, CORRIDORS AND EXITS SHALL BE CLASS I OR CLASS II FLAMESPREAD RATING. PROVIDE MANUFACTURER'S SPECS. (NFPA 101 SECT. 38.3.3.3)

INTERIOR FINISH ON WALLS AND CEILING IN EXITS AND CORRIDORS SHALL BE CLASS A OR B FLAMESPREAD RATING, AND IN OFFICE AREAS CLASS A, B OR C. IF FINISHES OTHER THAN DRYWALL AND PAINT ARE PROPOSED, PROVIDE MANUFACTURER'S SPECS. (NFPA 101, SECT. 38.3.3.2)

HEAT PUMP AND AC ARE ELECTRIC.

CONSTRUCTION TYPE- TYPE VB
OCCUPANCY CLASSIFICATION GROUP A2

THIS BUILDING WILL NOT BE SPRINKLERED.

GENERAL NOTES:

- DO NOT SCALE THESE DRAWINGS. (VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION.)
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION.
- THE 2012 INTERNATIONAL BUILDING CODE AS ADOPTED BY THE COUNTY OF SUSSEX DELAWARE SHALL GOVERN CONSTRUCTION OF THIS PROJECT.
- ALL DIMENSIONS ARE FROM FACE OF STUDS OR FACE OF MASONRY UNITS UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING OR DOUBLE FLOOR JOIST UNDER ALL WALLS PARALLEL TO JOISTS.
- PROVIDE SOLID BRIDGING AT MID-SPAN FOR JOISTS 10' OR GREATER IN LENGTH.
- PROVIDE DOUBLE JOISTS AROUND ALL FLOOR AND ROOF OPENINGS (UNLESS NOTED OTHERWISE).
- BOTTOM OF ALL FOOTINGS SHALL BE A MINIMUM OF 24" BELOW FINISH GRADE OR PER APPLICABLE BUILDING CODE FOR THIS PROJECT (USE GREATER OF THE TWO CONDITIONS).
- CONTRACTOR SHALL NOTIFY MISS UTILITY NOT LESS THAN 2 WORKING DAYS, BUT NOT MORE THAN 10 WORKING DAYS, PRIOR TO EXCAVATION OR DEMOLITION ON THIS PROJECT.
- ALL NEW MATERIALS SHALL BE FREE OF LEAD, ASBESTOS OR MERCURY.
- ALL ELECTRICAL WORK SHALL COMPLY WITH NFPA 70, NATIONAL FIRE CODES AND NATIONAL ELECTRIC CODE (N.E.C.).
- SHOULD ANY WORDS OR NUMBERS THAT ARE NECESSARY FOR A CLEAR UNDERSTANDING OF THE WORK BE ILLEGIBLE OR OMITTED, OR SHOULD AN ERROR OR DISCREPANCY OCCUR IN ANY OF THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOT PROCEED WITH THAT PORTION OF THE WORK UNTIL CLARIFICATION IS RECEIVED. IN THE EVENT THE CONTRACTOR PROCEEDS WITHOUT SO NOTIFYING THE ARCHITECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF CORRECTING SAME, INCLUDING ANY RESULTING DAMAGE.
- ALL DOOR HARDWARE TO BE ADA COMPATIBLE LEVER STYLE HARDWARE. ALL HARDWARE TO BE NON-KEYED FROM EGRESS SIDE.
- ALL FLOOR FINISHES TO BE CLASS 1 OR 2.
- ALL WALL/ CEILING FINISHES TO BE CLASS A,B, OR C.
- HEAT PUMP PROPOSED HVAC SYSTEM WITH DUCT SMOKE DETECTION FOR ALL UNITS WITH GREATER THAN 2000 CFM AS REQUIRED.
- GAS INFARED GAS UNIT FROM THE CEILING.

SCOPE OF WORK:
TENANT FIT-OUT USED FOR ASSEMBLY.

WIND SPEED RISK CATEGORY II- 121 MPH

USE & OCCUPANCY CLASS: (A2)

BUILDING CONSTRUCTION TYPE: VB

BUILDING DOES NOT HAVE SPRINKLER SYSTEM

MAXIMUM ALLOWABLE EXIT TRAVEL DISTANCE: 200'-0"
MAXIMUM PROPOSED EXIT TRAVEL DISTANCE: 50'-0"
MAXIMUM ALLOWABLE COMMON PATH OF TRAVEL: 75'-0"
MAXIMUM PROPOSED COMMON PATH OF TRAVEL: 50'-0"

SQUARE FOOTAGE- 2188.1 SQ FT

OCCUPANCY: ASSEMBLY GROUP (A-2)

RECEPTION AREA: 1632 SQFT./ 1 SQFT. PER OCCUPANT= 233 OCCUPANTS
REQUIRED EGRESS CAPACITY: 233 OCCUPANTS x .2" PER OCCUPANT= 46.6" (2 DOORS)
PROPOSED EGRESS CAPACITY: 180" (5 DOORS)

ADA DETAILS

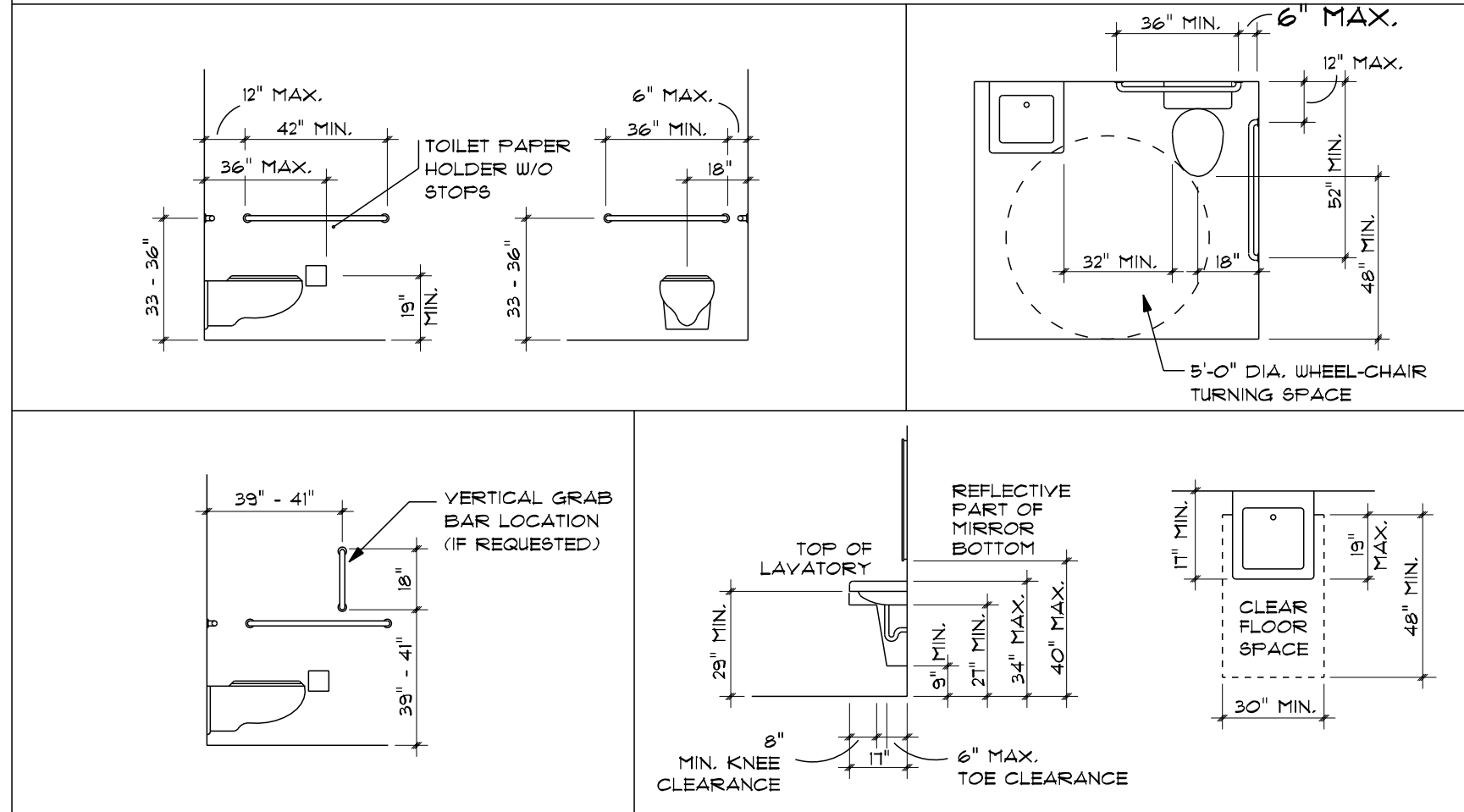


TABLE 602 FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE*

FIRE SEPARATION DISTANCE = X (feet)	TYPE OF CONSTRUCTION	OCCUPANCY GROUP H ¹	OCCUPANCY GROUP F-1, M, S-1 ²	OCCUPANCY GROUP A, B, E, F-2, I, R, S-2 ³ , U ³
X < 5 ^c	All	3	2	1
5 ≤ X < 10	IA	3	2	1
	Others	2	1	1
10 ≤ X < 30	IA, IB	2	1	1 ^d
	IIB, VB Others	1	0	0
X ≥ 30	All	0	1	0

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)

BUILDING ELEMENT	TYPE I		TYPE II		TYPE III		TYPE IV		TYPE V	
	A	B	Ad	B	Ad	B	HT	Ad	B	
Primary structural frame (see Section 202)	3a	2a	1	0	1	0	HT	1	0	
Bearing walls										
Exterior, a	3	2	1	0	2	2	2	1	0	
Interior	3a	2a	1	0	1	0	1/HT	1	0	
Nonbearing walls and partitions	See Table 602									
Exterior										
Nonbearing walls and partitions										
Interior	0	0	0	0	0	0	See Section 602.4.6	0	0	
Floor construction and associated secondary members (see Section 202)	2	2	1	0	1	0	HT	1	0	
Roof construction and associated secondary members (see Section 202)	1/2b	1b.c	1b.c	0c	1b.c	0	HT	1b.c	0	



NOTE: THE FOLLOWING DESIGNS ARE BASED ON 2012 IBC

ARCHOLOG
10115 LUTHER BLVD. SUITE 100
LEWES, DE 19658
PH: (302) 338-5588 WWW.ARCHOLOG.COM

DRAFTING PROVIDED BY:
M.R. Designs, Inc.
26412 BROADHILL RD. MILTON, DE 19688 (302) 684-8082
WWW.MRDESIGNSINC.COM - WWW.FACEBOOK.COM/MRDESIGNSINC

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CONSTRUCTION DRAWING FOR THE NEW: HONEY BEE BARN
FISHER ROAD
LEWES DE 19356

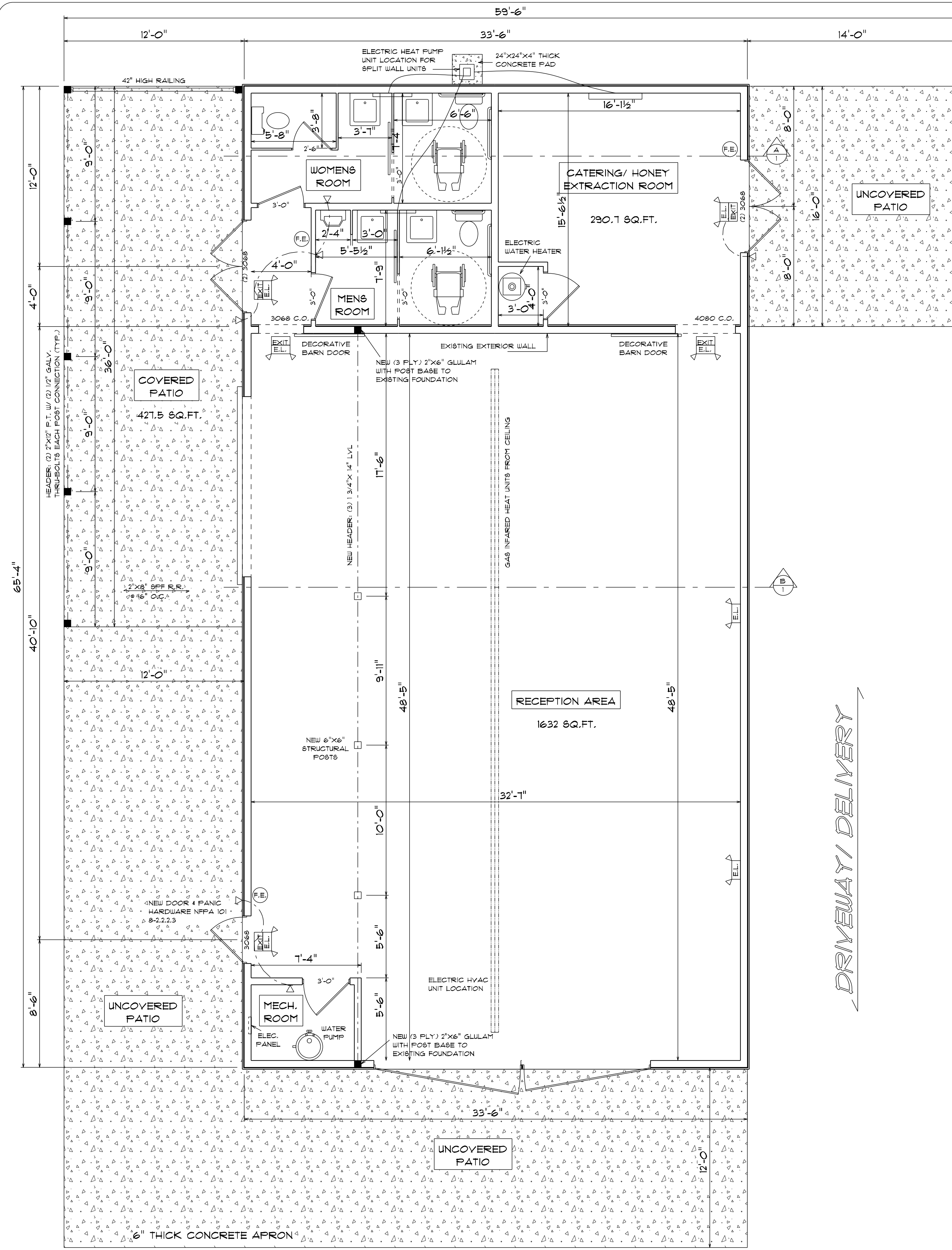
PROJECT #

SCALE 1/4" = 1'-0"

ARCHOLOG, LLC
© 2018

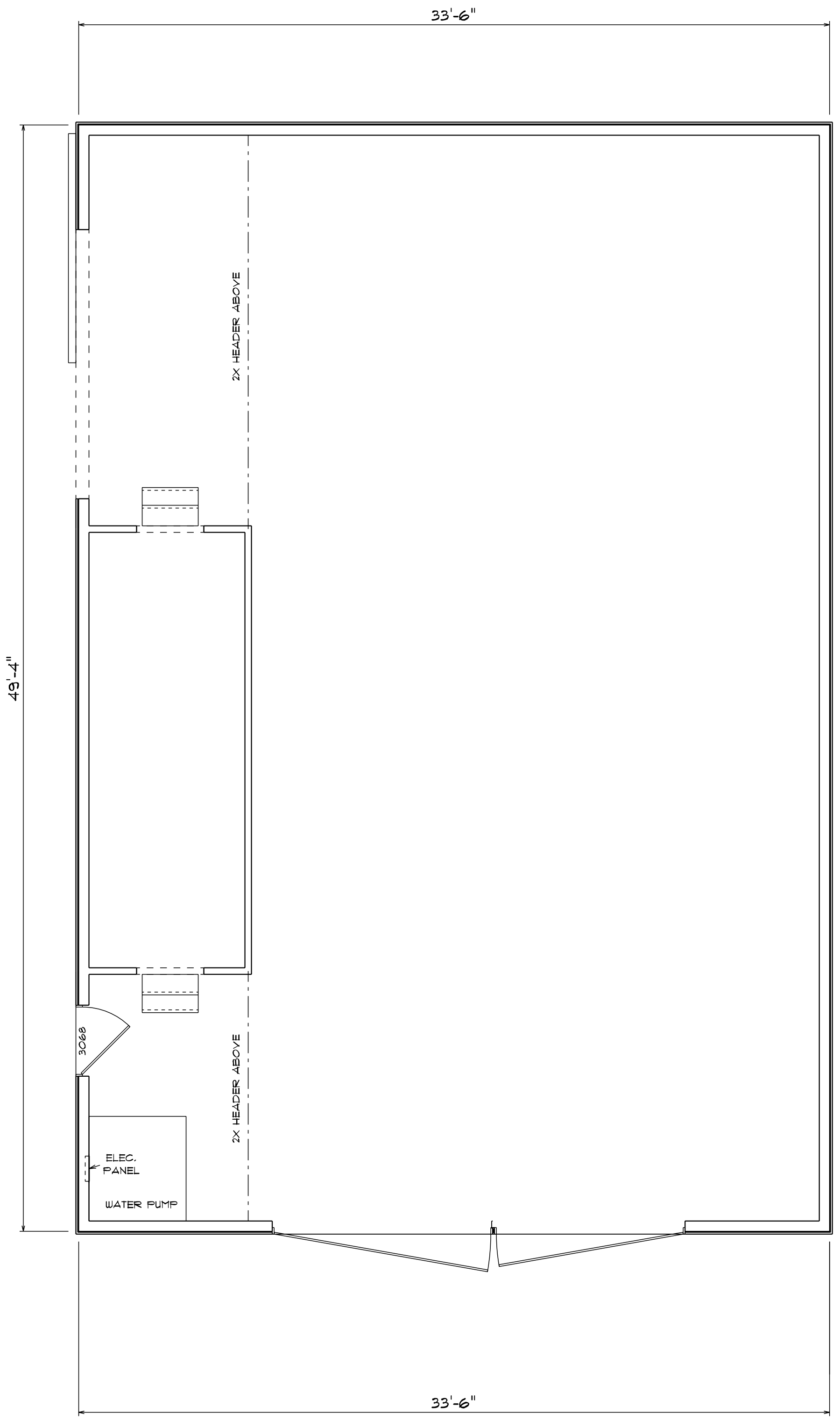
DATE:
Tuesday, April 28, 2020

SHEET #
1



PROPOSED FLOOR PLAN (OPTION #4)

AREA SCHEDULE	
NAME	AREA
RECEPTION AREA	1631.5 sq. ft.
CATERING ROOM	290.7 sq. ft.
BATHROOM AREA	249.3 sq. ft.
COVERED PATIO	427.5 sq. ft.



EXISTING FLOOR PLAN

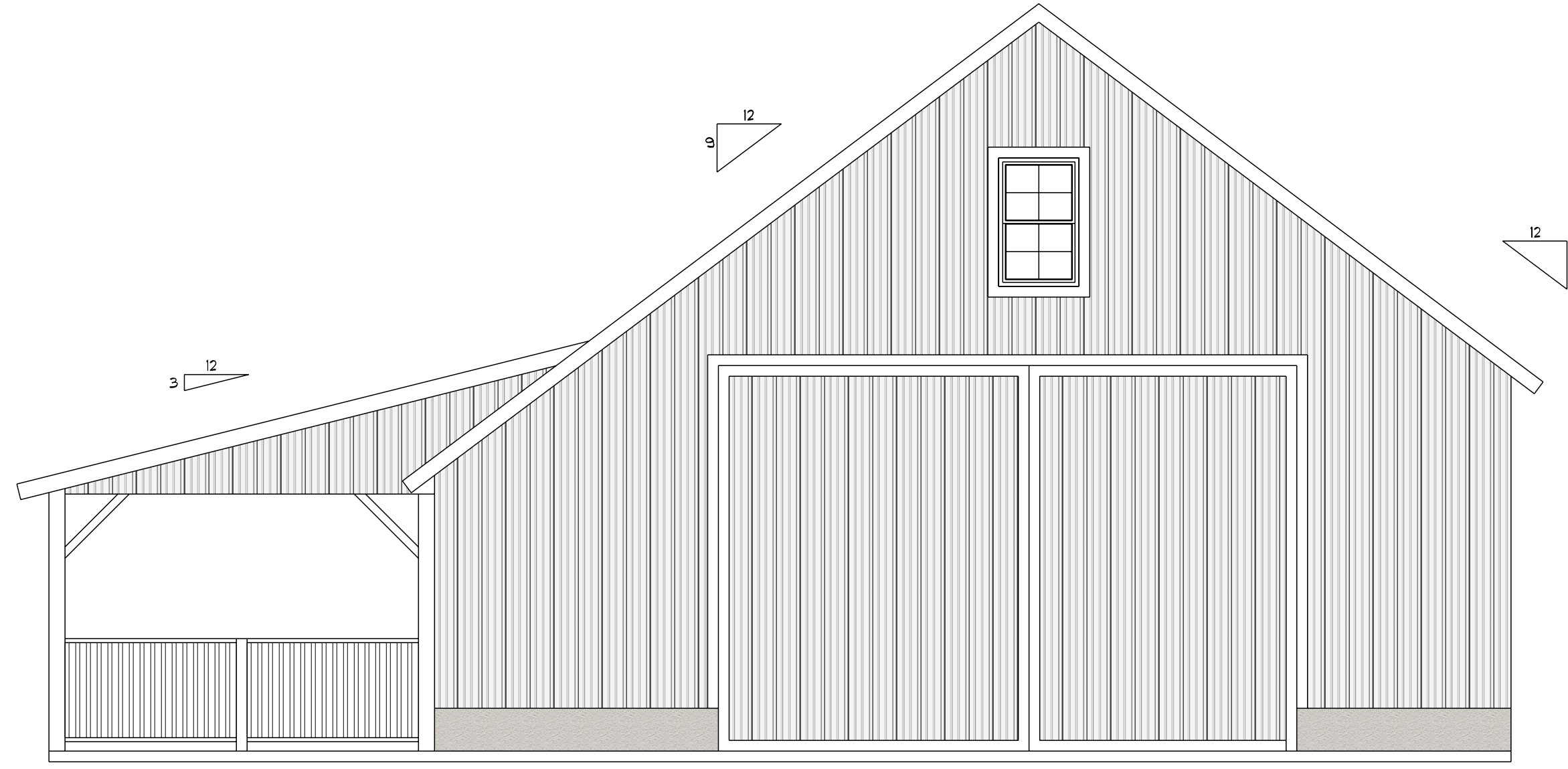
NOTE: THE FOLLOWING DESIGNS ARE BASED ON 2012 IBC

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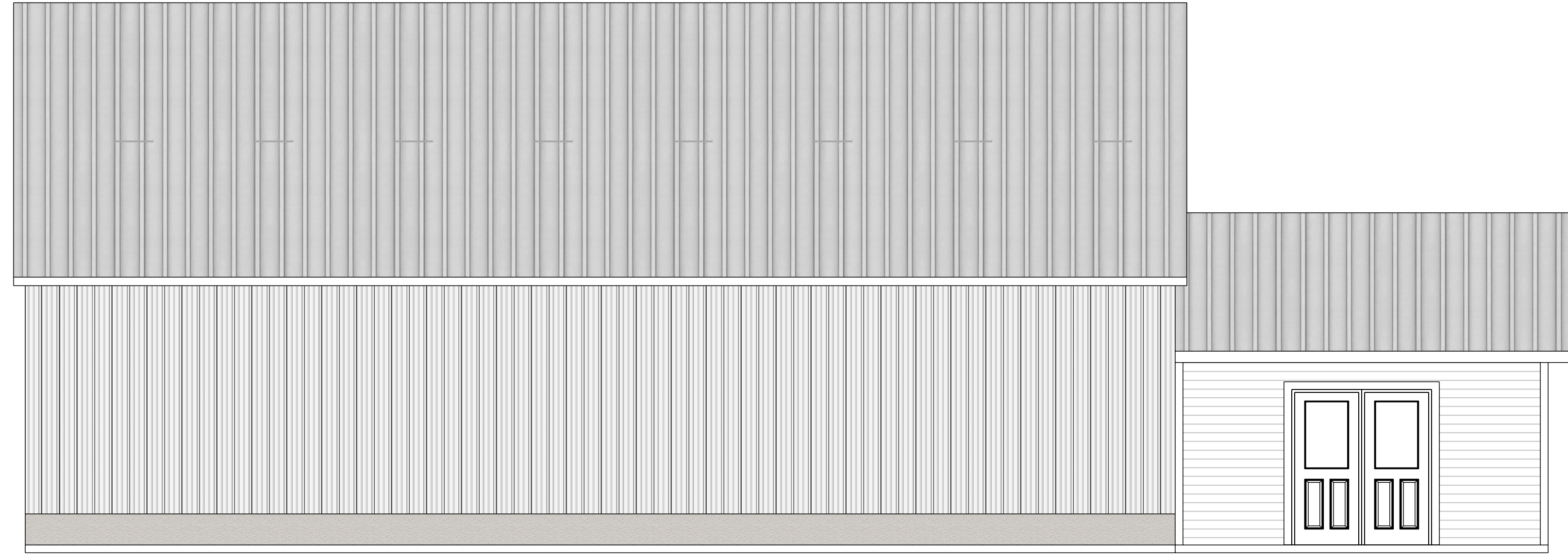
ARCHHOLOG ARCHITECTURE & INTERIORS, LLC
 26412 BROADHILL RD., MILFORD, DE 19968 (302) 684-8082
 www.archholog.com

CONSTRUCTION DRAWING FOR THE NEW:	HONEY BEE BARN
PROJECT #	19356
DATE	DE 19356
SCALE	1/4" = 1'-0"
FLOOR PLANS	
ARCHHOLOG, LLC © 2018	

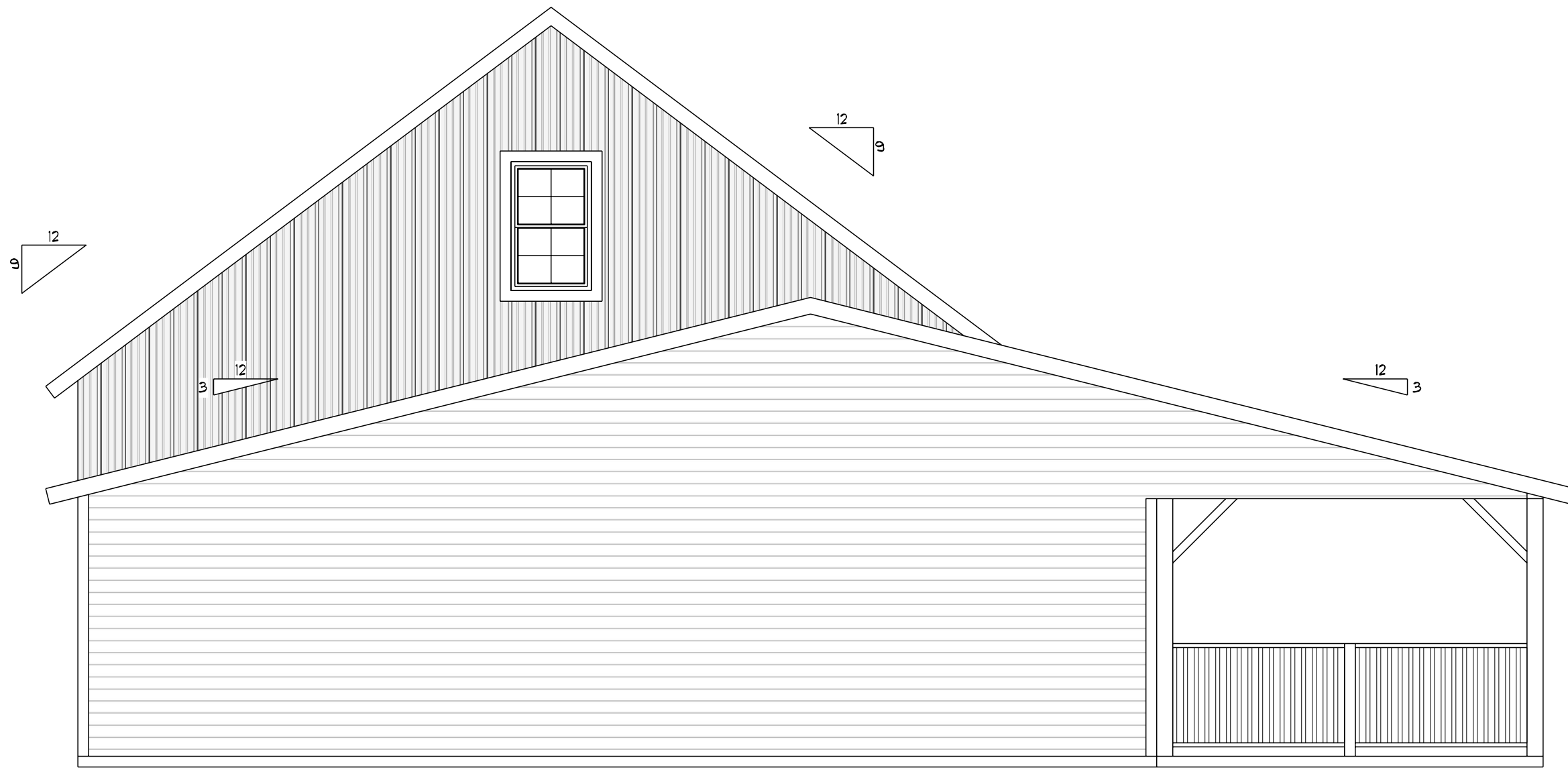
DATE:	Tuesday, April 28, 2020
SHEET #	3



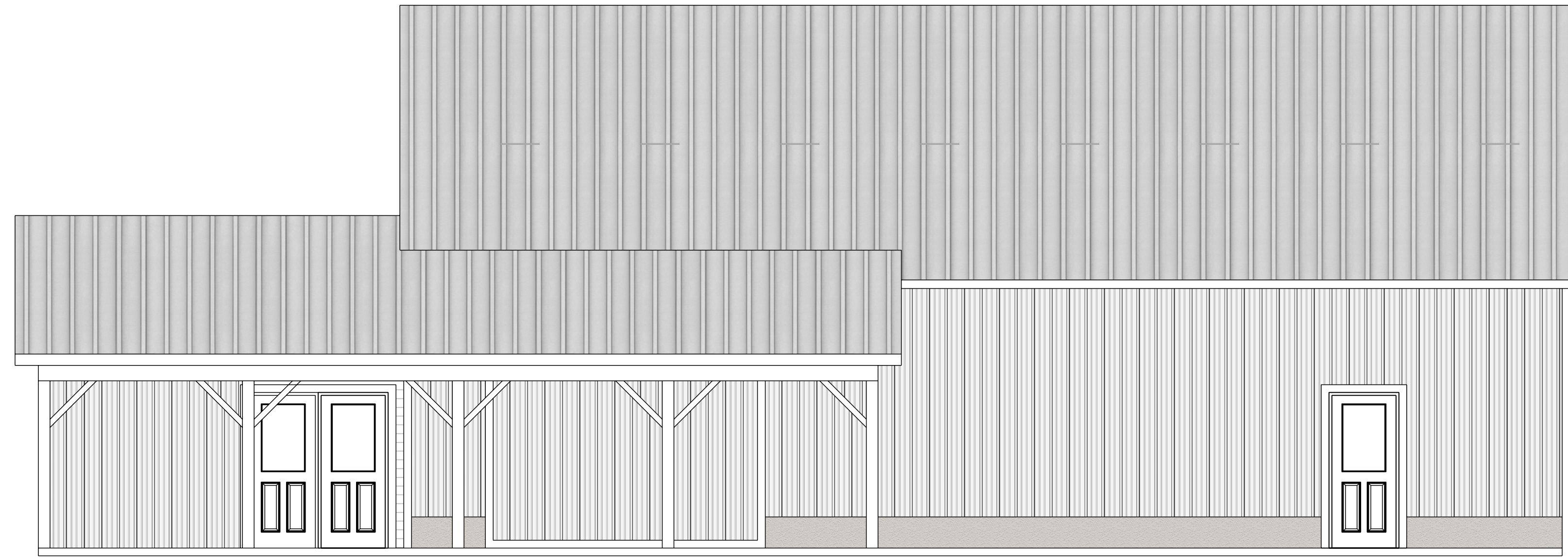
FRONT ELEVATION



RIGHT ELEVATION



BACK ELEVATION



LEFT ELEVATION

NOTE: THE FOLLOWING DESIGNS ARE BASED ON 2012 IBC

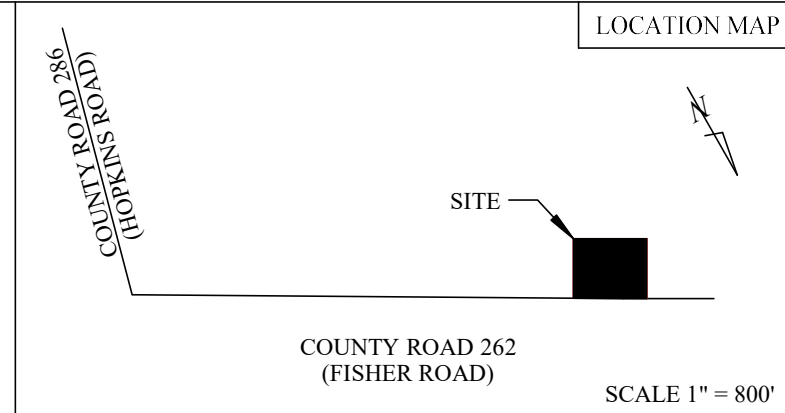
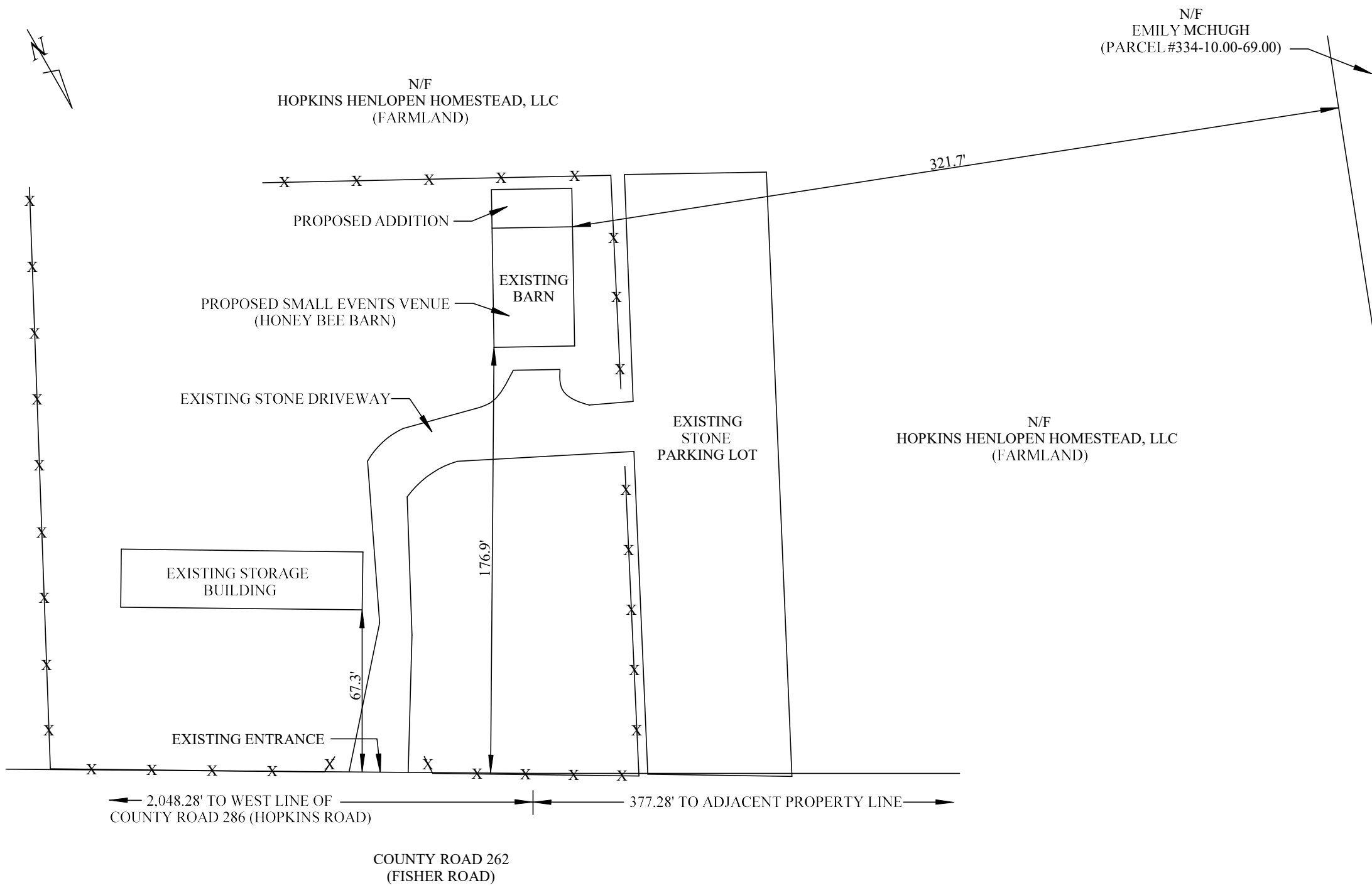
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 26412 BROADHILL RD., MILTON, DE 19668 (302) 684-8082
 www.archholog.com
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M.R. Designs, Inc.
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REV. DATE:	PROJECT #	SCALE	DATE
	19356	1/4" = 1'-0"	Tuesday, April 28, 2020

CONSTRUCTION DRAWING FOR THE NEW: **HONEY BEE BARN**
 FISHER ROAD
 LEWES DE
ELEVATIONS
 PROJECT # 19356
 SCALE 1/4" = 1'-0"

DATE: Tuesday, April 28, 2020
SHEET # 2



DATA COLUMN

TAX PARCEL #: 334-10.00-69.01
 ZONING: AR-1 (AGRICULTURAL PRESERVATION EASEMENT)
 PROPERTY ADDRESS: 30066 FISHER ROAD
 MILTON, DE 19968

OWNER: HOPKINS HENLOPEN HOMESTEAD, LLC
 C/O AMY HOPKINS
 18186 DAIRY FARM ROAD
 LEWES, DE 19958

APPLICANT: COVERED BRIDGE INN, LLC
 C/O INGRID HOPKINS
 30249 FISHER ROAD
 LEWES, DE 19958

EXISTING USE: NONE

PROPOSED USE: HONEY EXTRACTION AND
 SMALL EVENTS VENUE

WATER PROVIDER: PRIVATE WELL ON SITE

SEWER PROVIDER: PRIVATE SEPTIC ON SITE

BUILDING SETBACKS: FRONT - 40'
 SIDE - 15'
 REAR - 20'

LEGEND

VINYL FENCE X

OWNER'S CERTIFICATION:

I HEREBY CERTIFY THAT I AM THE LEGAL OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO THE LAW.

 AMY HOPKINS DATE

ENGINEER'S CERTIFICATION:

I CERTIFY THAT I AM A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF DELAWARE AND THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

 RICHARD K. VETTER, P.E. #10329 DATE

PLAN BASED ON PHYSICAL EVIDENCE DISCOVERED IN THE FIELD AND THE CALL OF DEED BOOK 4229, PAGE 244.

SITE PLAN - HONEY BEE BARN	
LANDS OF HOPKINS HENLOPEN HOMESTEAD, LLC	
LEWES AND REHOBOTH HUNDRED SUSSEX COUNTY, DELAWARE	
RICHARD K. VETTER, P.E. 125 APPLE BLOSSOM DRIVE CAMDEN, DE 19934	
SCALE: 1" = 50'	
PAGE 1 OF 2	MAY 21, 2020



N/F
ELSIE OTTO TRUSTEES
(PARCEL #234-5.00-37.00)

N/F
J.L. CARPENTER FAMILY, L.P.
(PARCEL #234-1.00-2.00)

AREA = 98.60 ACRES +/-

N/F
WALTER & STACY BECK
(PARCEL #334-10.00-69.05)

N/F
HOPKINS BROTHERS, INC.
(PARCEL #234-1.00-5.00)

N/F
TROY TRIMMER
(PARCEL #334-10.00-69.03)

N/F
EMILY MCHUGH
(PARCEL #334-10.00-69.00)

COUNTY ROAD 286
(HOPKINS ROAD)

N/F
JEFFREY & KYLIE PLUMMER
(PARCEL #334-10.00-70.00)

STONE PARKING LOT
BARN
STORAGE BUILDING

COUNTY ROAD 262
(FISHER ROAD)

EXISTING LAYOUT - HONEY BEE BARN

LANDS OF
HOPKINS HENLOPEN HOMESTEAD, LLC

LEWES AND REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

RICHARD K. VETTER, P.E.
125 APPLE BLOSSOM DRIVE
CAMDEN, DE 19934

SCALE: 1" = 400'