

COUNTY COUNCIL

MICHAEL H. VINCENT, PRESIDENT
JOHN L. RIELEY, VICE PRESIDENT
CYNTHIA C. GREEN
DOUGLAS B. HUDSON
MARK G. SCHAEFFER



Sussex County

DELAWARE
sussexcountyde.gov
(302) 855-7743

SUSSEX COUNTY COUNCIL

A G E N D A

JULY 13, 2021

10:00 A.M.

PLEASE REVIEW MEETING INSTRUCTIONS AT THE BOTTOM OF THE AGENDA

Call to Order

Approval of Agenda

Approval of Minutes – June 29, 2021

Reading of Correspondence

Public Comments

Todd Lawson, County Administrator

- 1. Administrator’s Report**

Vince Robertson, Assistant County Attorney

- 1. Discussion and Possible Introduction of a Proposed Ordinance entitled “AN ORDINANCE TO AMEND THE CODE OF SUSSEX COUNTY, CHAPTER 115, ARTICLE XX BY AMENDING SECTION 115-156 TO CLARIFY THAT THE LOT AREA WITHIN TABLES II AND III REFERS TO THE LOT AREA WITHIN EACH PARTICULAR ZONING DISTRICT”**

10:15 a.m. Public Hearing

“AN ORDINANCE AUTHORIZING THE ISSUANCE OF UP TO \$4,723,000 OF GENERAL OBLIGATION BONDS OF SUSSEX COUNTY IN CONNECTION WITH THE CONSTRUCTION AND EQUIPPING OF AN EXTENSION OF SANITARY SEWER SERVICES TO LOCHWOOD AND AUTHORIZING ALL NECESSARY ACTIONS IN CONNECTION THEREWITH”



10:30 a.m. Public Hearings

- 1. Zinzer Properties Extension of the Sussex County Unified Sanitary Sewer District (Miller Creek Area)**
- 2. Higgins Re/Max Extension of the Sussex County Unified Sanitary Sewer District (Blades Area)**

10:45 a.m. Executive Session – Personnel and Job Applicants’ Qualifications pursuant to 29 Del.C. §10004(b)

Possible action on Executive Session items

Robert Bryant, Airport Manager

- 1. Assignment of Commercial Lease Agreement – Seneca Flight, LLC**

John Ashman, Director of Utility Planning and Design

- 1. Public Hearing follow-up and possible Resolution on the boundary of the Proposed North Georgetown Area of the Sussex County Unified Sanitary Sewer District**
- 2. Request to prepare and post notices for the Chappell Farm annexation into the Sussex County Unified Sanitary Sewer District (West Rehoboth Area)**

Hans Medlarz, County Engineer

- 1. South Coastal Regional Wastewater Facility Treatment Process Upgrade No. 3 and Rehoboth Beach Wastewater Treatment Plant Capital Improvement Program, Phase 2**
 - A. General Construction, Project C19-11, Change Order No. 12**
- 2. Davis, Bowen & Friedel, Inc. - 2019 Miscellaneous Engineering Base Contract**
 - A. Approval of Amendment No. 4 for Flood Mitigation Project**
- 3. FY 2022 General Labor & Equipment Contract**
 - A. Recommendation to Award**
- 4. Herring Creek Sanitary Sewer District: South Gravity Sewer and Force Main, Project S20-08**
 - A. Recommendation to Award**
- 5. Mulberry Knoll Pump Station & Force Main, Project S20-14**
 - A. Change Order No. 1**

Grant Requests

- 1. Contractors for a Cause Foundation, LLC for the purchase of aluminum ramps for the Helping Hands Program**
- 2. Town of Delmar for a Memorial Stone Marker in Honor of Cpl. Keith Heacock**
- 3. Town of Blades for the National Night Out event expenses**
- 4. ITN Southern Delaware, Inc. for operating expenses**
- 5. Little League Baseball, Inc. for equipment replacement for the Nanticoke Little League**
- 6. Bridgeville Apple Scrapple Festival for event expenses**
- 7. West Side New Beginnings for community safety and community center expenses**

Introduction of Proposed Zoning Ordinances

Council Members' Comments

1:30 Public Hearings

Conditional Use No. 2252 filed on behalf of Delaware Electric Co-Op

“AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN A MR MEDIUM DENSITY RESIDENTIAL DISTRICT FOR A SUBSTATION TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN LEWES AND REHOBOTH HUNDRED, SUSSEX COUNTY, CONTAINING 9.1 ACRES, MORE OR LESS” (property lying on the southwest corner of Plantations Road and Cedar Grove Road [S.C.R. 283]) (Tax I.D. No. 334-12.00-2.00) (911 Address: 34139 Cedar Grove Road, Lewes)

Conditional Use No. 2260 filed on behalf of Ronald Lee Wisseman II

“AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR GUNSMITHING TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN NANTICOKE HUNDRED, SUSSEX COUNTY, CONTAINING 0.96 ACRE, MORE OR LESS” (property lying on the northwest side of Fawn Road (S.C.R. 600) approximately 0.5 mile northeast of Sugar Hill Road [S.C.R. 599]) (Tax I.D. No. 430-11.00-70.00) (911 Address: 10213 Fawn Road, Greenwood)

Conditional Use No. 2280 filed on behalf of Covered Bridge Inn, LLC (Hopkins Henlopen Homestead, LLC)

“AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR AN EVENTS VENUE TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN LEWES AND REHOBOTH HUNDRED, SUSSEX COUNTY, CONTAINING 98.60 ACRES, MORE OR LESS” (property lying on the south side of Fisher Road, approximately 0.38 mile west of Hopkins Road) (Tax I.D. No. 334-10.00-69.01) (911 Address: None Available)

Adjourn

In accordance with 29 Del.C. §10004(e)(2), this Agenda was posted on July 6, 2021 at 4:30 p.m. and at least seven (7) days in advance of the meeting.

This Agenda was prepared by the County Administrator and is subject to change to include the addition or deletion of items, including Executive Sessions, which arise at the time of the meeting.

Agenda items may be considered out of sequence.

Further meeting access instructions are listed below.

-MEETING INSTRUCTIONS-

The Sussex County Council is holding this meeting under the authority issued by Governor John C. Carney through Proclamation No. 17-3292.

The public is encouraged to view the meeting on-line. Any person attending in-person will be required to go through a wellness and security screening, including a no-touch temperature check. The public will be required to wear a facial mask.

Chambers seating capacity is limited and seating assignments will be enforced.

The meeting will be streamed live at <https://sussexcountyde.gov/council-chamber-broadcast>.

The County is required to provide a dial-in number for the public to comment during the appropriate time of the meeting. **Note, the on-line stream experiences a 30-second delay.** Any person who dials in should listen to the teleconference audio to avoid the on-line stream delay.

To join the meeting via telephone, please dial:

Conference Number: 1-302-394-5036

Conference Code: 570176

Members of the public joining the meeting on the telephone will be provided an opportunity to make comments under the Public Comment section of the meeting and during the respective Public Hearing.

The Council meeting materials, including the “packet”, are electronically accessible on the County’s website at: <https://sussexcountyde.gov/agendas-minutes/county-council>.

If any member of the public would like to submit comments electronically, please feel free to send them to rgriffith@sussexcountyde.gov. All comments shall be submitted by 4:30 P.M. on Monday, July 12, 2021.

#

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878 T
302-854-5079 F
JAMIE WHITEHOUSE, MRTPI, AICP
DIRECTOR OF PLANNING & ZONING

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET
Planning Commission Public Hearing Date: May 27th, 2021

Application: CU 2252 Delaware Electric Co-Op

Applicant: Delaware Electric Co-Op, Troy Dickerson
4198 Sussex Hwy.
Greenwood, DE 19950

Owner: Delaware Electric Co-Op, Troy Dickerson
4198 Sussex Hwy.
Greenwood, DE 19950

Site Location: 34139 Cedar Grove Rd.
Lewes, DE 19958

Current Zoning: Medium Residential (MR) Zoning District

Proposed Use: Electrical Substation

Comprehensive Land
Use Plan Reference: Coastal Area

Councilmanic
District: Mr. Schaeffer

School District: Cape Henlopen School District

Fire District: Lewes Fire Department

Sewer: Sussex County

Water: Sussex County

Site Area: 9.1 acres +/-

Tax Map ID.: 334-12.00-2.00



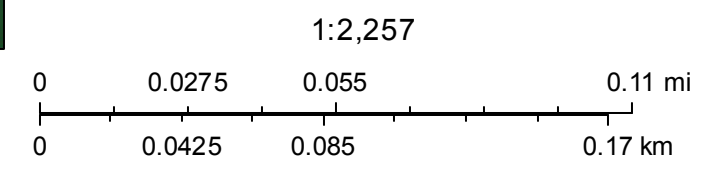


Sussex County



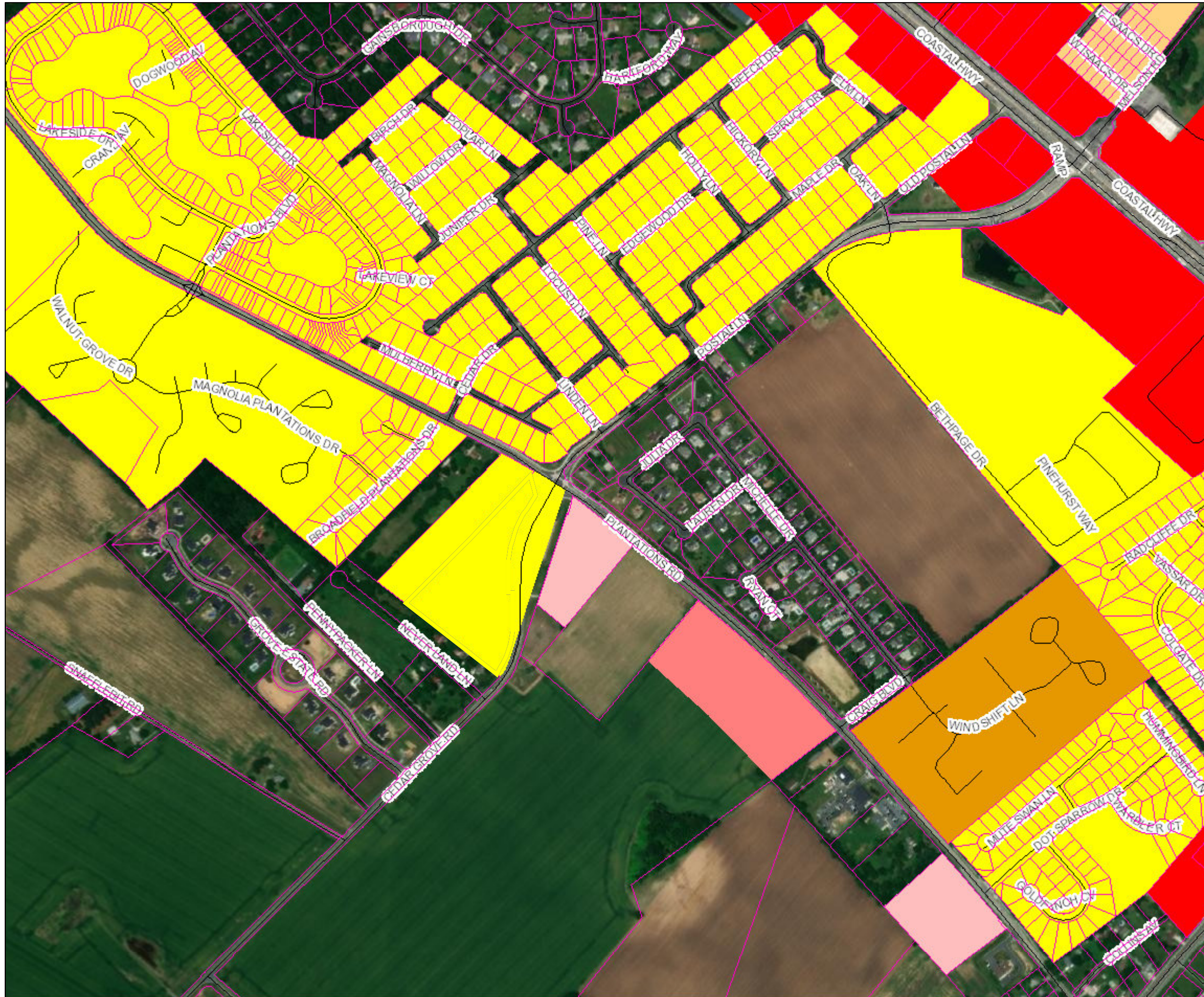
PIN:	334-12.00-2.00
Owner Name	SAYERS EDWARD G TRUSTEE
Book	0
Mailing Address	28 GLOVER CIRCLE
City	WILMINGTON
State	DE
Description	RD.GEORGETOWN TO
Description 2	REHO. 12.46 AC.S.
Description 3	WITH IMP.
Land Code	

- polygonLayer**
 - Override 1
- polygonLayer**
 - Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- Extent of Right-of-Way
- Municipal Boundaries





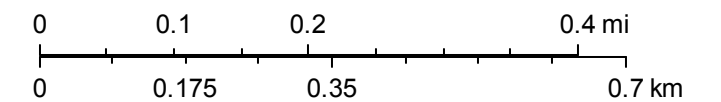
Sussex County



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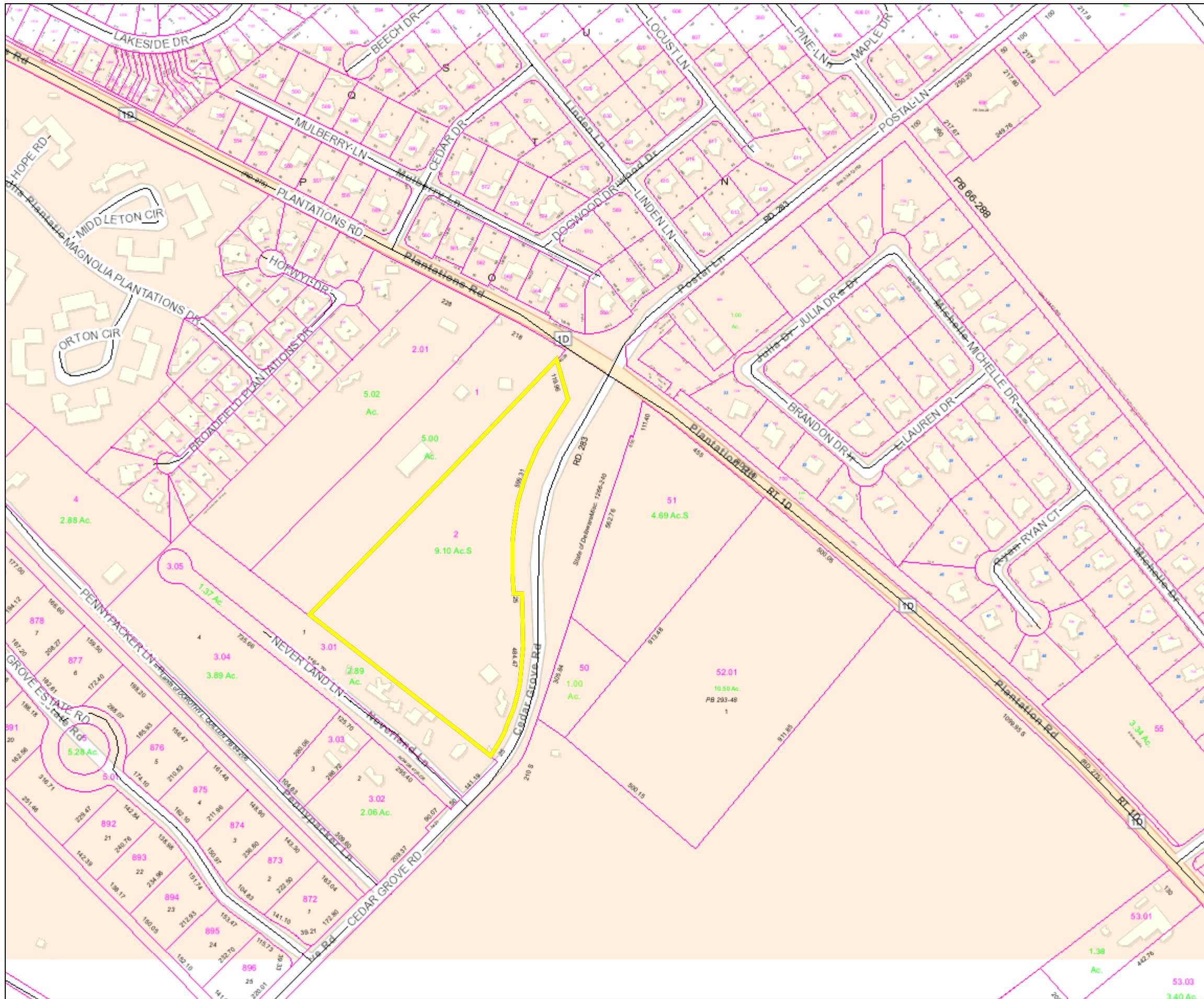
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- Tax Parcels
- Streets

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Sussex County



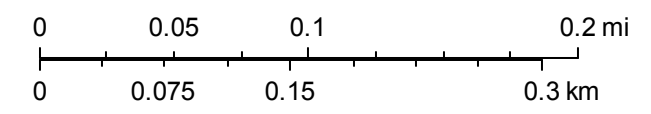
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 - Override 1
- polygonLayer**

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- Streets
- County Boundaries
- Extent of Right-of-Way
- Municipal Boundaries

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JAMIE WHITEHOUSE, AICP, MRTPI
DIRECTOR OF PLANNING & ZONING
(302) 855-7878 T
(302) 854-5079 F
jamie.whitehouse@sussexcountyde.gov



Sussex County

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Memorandum

To: Sussex County Planning Commission Members
From: Nicholas Torrance, Planner I
CC: Vince Robertson, Assistant County Attorney and applicant
Date: May 5th, 2021
RE: Staff Analysis for CU 2252 Delaware Electric Co-Op

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CU 2252 Delaware Electric Co-Op to be reviewed during the May 27, 2021 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for Tax Parcels 334-12.00-2.00 to allow for a Conditional Use of land in a Medium Density Residential (MR) Zoning District for an electrical substation. The parcel is located on the southeast corner of Cedar Grove Rd and Plantations Road in Lewes, Delaware. The area of the site is approximately 9.1 acres +/-.

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework for how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the property has the land use designation of the "Coastal Area." All neighboring properties are also designated as "Coastal Area."

The Coastal Area land use designation recognizes that a range of housing types should be permitted in Coastal Area, including single-family homes, townhouses, and multifamily units. Retail and office uses are appropriate but larger shopping centers and office parks should be confined to selected locations with access along arterial roads. Appropriate mixed-use development should also be allowed. It also recognizes a careful mixture of homes with light commercial, office and institutional uses can be appropriate to provide convenient services and to allow people to work close to home.

The property is within a Medium Density Residential (MR) Zoning District. The parcel to the west and the northeast across Plantations Rd are also within an MR Zoning District. The parcels to the south and northeast across Plantations Rd are zone Agricultural Residential District AR-1. The parcel to the east across Cedar Grove Road is zoned Neighborhood Business B-1.

Since 1971, there have been 27 Conditional Use applications within a one-mile radius of the application site. Of the 27 Conditional Use applications within a one-mile radius, 18 have been approved, 4 have been denied, 3 were withdrawn, and 3 are currently pending applications.

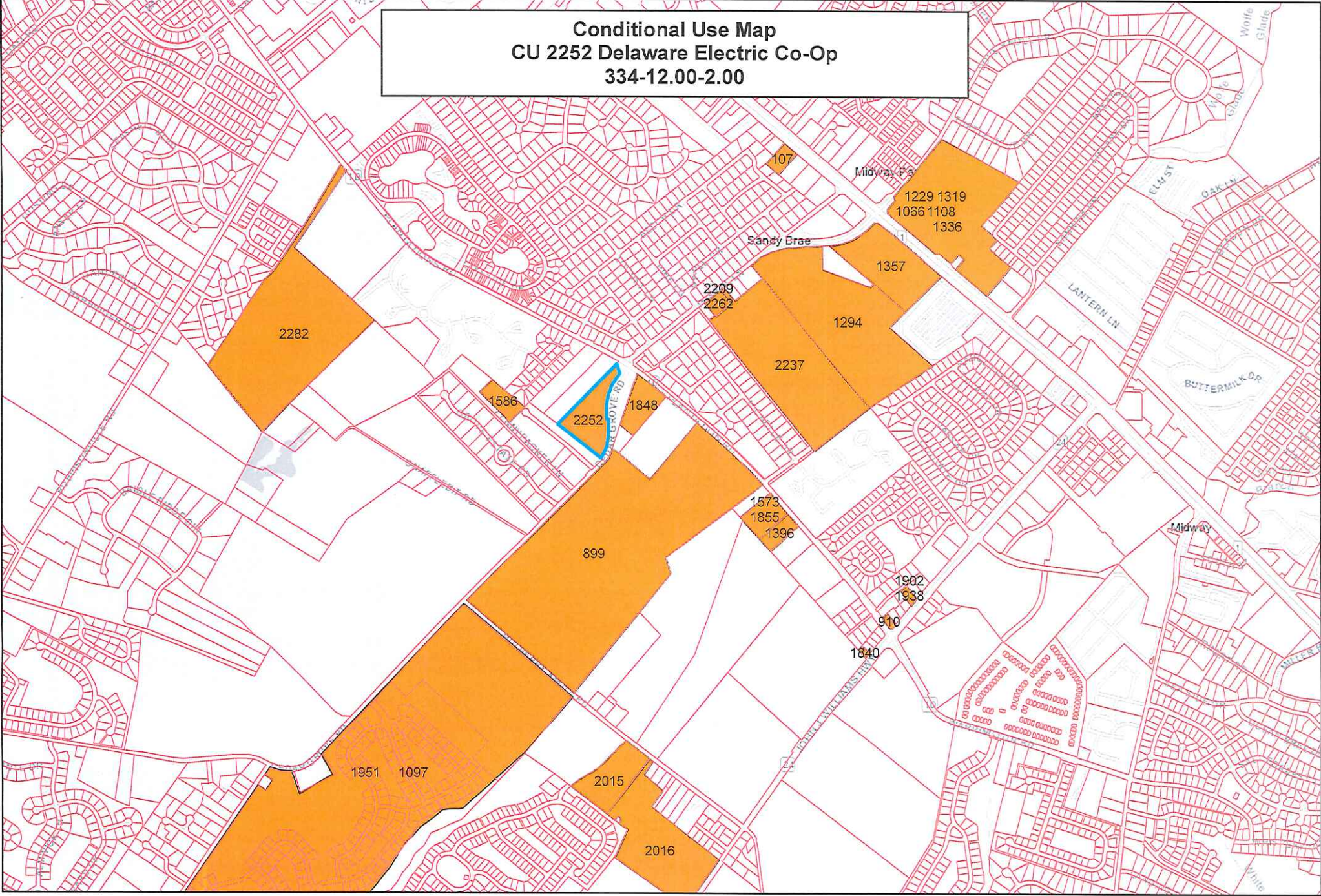
Based on the analysis of the land use, surrounding zoning and uses, the Conditional Use to allow for an electrical substation, subject to considerations of scale and impact, could be considered as being consistent with the land use, area zoning and surrounding uses.





Sussex County

Conditional Use Map
CU 2252 Delaware Electric Co-Op
334-12.00-2.00



CU #	Tax Parcel	APPLICANT	Zoning	Proposed Use	PZ Decision	PZ Decision Date	CC Decision Date	CC Decision
1357	334-6.00-355.04	Super Fresh Food Market	C-1	sales of soft/hard goods off carts	Recommended Denial	9/14/2000	5/1/2001	Approved
107	334-6.00-481.00	Robert W. Palmer	MR	upholstery shop	N/A	<Null>	<Null>	Approved
1938	334-12.00-85.00	Karen L. Barwick	AR-1	Therapist Office and Residence	Recommended Approval	9/6/2012	1/22/2013	Approved
1586	334-12.00-4.00	Far East Capital, Inc.	AR-1	small engine repair	Recommended Approval	2/17/2005	3/1/2005	Approved
1396	334-12.00-53.02	Jerome E. Groll MD	AR-1	Medical Office Building	Withdrawn	2/23/2001	<Null>	Withdrawn
1855	334-12.00-53.03	Double R. Holdings, LLC	AR-1	Offices	Recommended Approval	10/14/2010	12/7/2010	Approved
1294	334-6.00-355.00	Don Derrickson	AR-1	apartment over golf pro shop	Recommended Approval	7/8/1999	7/27/1999	Approved
1840	334-12.00-58.00	Juliane Olber & William N. Hein	AR-1	printing	Recommended Denial	8/12/2010	9/28/2010	Approved
2237	334-12.00-55.01	Sam Warrington II	AR-1	Outside Boat & RV Storage	Recommended Approval	10/22/2020	12/1/2020	Approved
1336	334-6.00-138.00	Tidewater Utilites	C-1	elevated water storage facility	Recommended Approval	6/22/2000	12/19/2000	Denied
2073	334-6.00-496.00	Delmarva Power & Light Co.	C-1	Expansion to an existing electrical station	Recommended Approval	2/23/2017	3/7/2017	Approved
2016	334-12.00-45.01	Cape Henlopen School District	AR-1	Elementary School	Recommended Approval	5/7/2015	6/16/2015	Approved
2015	334-12.00-16.06	Delaware Division of Facilities Management	AR-1	Public Service Facility (State Police)	Recommended Approval	5/7/2015	6/16/2015	Approved
1951	334-12.00-16.00	Jack Lingo Asset Management	AR-1	RV resort and campground	Recommended Approval	8/22/2013	12/9/2014	Denied
899	334-12.00-52.00	Lewes Fire Department, Inc.	AR-1	substation for fire department	Withdrawn	<Null>	<Null>	Withdrawn
2252	334-12.00-2.00	Delaware Electric Co-Op	MR	Substation		<Null>	<Null>	
1848	334-12.00-51.00	Todd Bariglio	B-1	business/office complex	Recommended Approval	10/4/2009	3/16/2010	Approved
910	334-12.00-81.00	Theodore D. Shaffer	AR-1	hair salon	Recommended Approval	7/20/1989	10/3/1989	Denied
2262	334-6.00-686.00	Matthew Hete	AR-1	multi-family (4-units)		<Null>	<Null>	
1066	334-6.00-138.00	FunSport, Inc.	C-1	Go-Cart Track	Recommended Approval	3/10/1994	3/29/1994	Approved
1097	334-12.00-16.00	Charles P. Moore	AR-1	auto repair & towing service	Recommended Approval	12/22/1994	1/10/1995	Approved
1108	334-6.00-138.00	FunSport, Inc.	C-1	Go Cart Track Expansion/ Amusement Place	Recommended Approval	3/9/1995	3/28/1995	Approved
1229	334-6.00-138.00	FunSport, Inc.	C-1	Expansion of Existing Go Cart Track and Wading Pool (CU 1066 & CU 1108)	Recommended Approval	3/26/1998	4/28/1998	Approved
1319	334-6.00-138.00	FunSport, Inc.	C-1	expand waterpark & miniature golf	Recommended Approval	1/13/2000	2/1/2000	Approved
1573	334-12.00-53.03	Robert Burton, Double R Holdings	AR-1	Medical Offices	Recommended Approval	11/18/2004	11/30/2004	Approved
1902	334-12.00-85.00	Dorothy Garvey	AR-1	Medical Office	Recommended Denial	7/28/2011	6/5/2012	Withdrawn
2209	334-6.00-686.00	Matthew C. Hete	MR	Multi-Family (14 Units)	Recommended Denial	7/9/2020	7/28/2020	Denied
2282	334-12.00-7.00	Susan Riter	AR-1	Borrow Pit		<Null>	<Null>	

File #: W2252
202014769

Planning & Zoning Commission Application
Sussex County, Delaware

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check applicable)

Conditional Use X
Zoning Map Amendment ___

Site Address of Conditional Use/Zoning Map Amendment

34139 Cedar Grove Road, Lewes, Delaware 19958

Type of Conditional Use Requested:

Delaware Electric Coop; Electrical Substation

Tax Map #: 334-12.00-2.00 **Size of Parcel(s):** 9.1 AC

Current Zoning: MR **Proposed Zoning:** MR **Size of Building:** Less than 500 SF

Land Use Classification: _____

Water Provider: County **Sewer Provider:** Sussex County

Applicant Information

Applicant Name: Delaware Electric Co-Op; Troy Dickerson
Applicant Address: 4198 Sussex Highway
City: Greenwood State: DE Zip Code: 19950
Phone #: (302) 349-3125 E-mail: tdickerson@delaware.coop

Owner Information

Owner Name: Same as applicant
Owner Address: _____
City: _____ State: _____ Zip Code: _____
Phone #: _____ E-mail: _____

Agent/Attorney/Engineer Information

Agent/Attorney/Engineer Name: Century Engineering
Agent/Attorney/Engineer Address: 550 Bay Road
City: Dover State: DE Zip Code: 19901
Phone #: 302-734-9188 E-mail: JSclesky@Centuryeng.com



Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

___ Completed Application

___ Provide eight (8) copies of the Site Plan or Survey of the property

- o Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
- o Provide a PDF of Plans (may be e-mailed to a staff member)
- o Deed or Legal description

___ Provide Fee \$500.00

___ Optional - Additional information for the Commission/Council to consider (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.

___ Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.

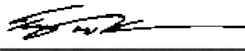
___ DelDOT Service Level Evaluation Request Response

___ PLUS Response Letter (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

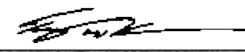
I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney



Date: 05/06/2021

Signature of Owner



Date: 05/06/2021

For office use only:

Date Submitted: _____

Fee: \$500.00 Check #: _____

Staff accepting application: _____

Application & Case #: _____

Location of property: _____

Subdivision: _____

Date of PC Hearing: _____

Recommendation of PC Commission: _____

Date of CC Hearing: _____

Decision of CC: _____



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. Box 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

November 17, 2020

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning
P.O. Box 417
Georgetown, DE 19947

Dear Mr. Whitehouse:

The Department has completed its review of a Service Level Evaluation Request for the **Delaware Electric Co-Op / Troy Dickerson** conditional use application, which we received on October 16, 2020. This application is for a 9.10-acre parcel (Tax Parcel: 334-12.00-2.00). The subject land is located on the southwest corner of the intersection of Plantations Road (Sussex Road 275) and Cedar Grove Road / Postal Lane (Sussex Road 283). The subject land is currently zoned MR (Medium-Density Residential), and the applicant is seeking a conditional use approval to operate an approximately 500 square-foot electrical substation.

Per the 2019 Delaware Vehicle Volume Summary, the annual average and summer average daily traffic volumes along the segment of Plantations Road where the subject land is located, which is from Beaver Dam Road (Sussex Road 285) to Postal Lane / Cedar Grove Road, are 10,907 and 14,037 vehicles per day, respectively. As the subject land also has frontage along Cedar Grove Road, the annual average and summer average daily traffic volumes along that road segment are 3,713 and 4,779 vehicles per day, respectively.

Based on our review, we estimate that the above land use will generate fewer than 50 vehicle trips per day. This number of trips is below DeIDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. DeIDOT's regulations specify the minimum TIS warrants as 50 vehicle trips in any hour and/or 500 vehicle trips per day. Because the proposed land use would generate fewer than 50 vehicle trips per day, we consider the development's traffic impact to be diminutive in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DeIDOT's description of this application as diminutive with regard to warranting a TIS does not mean that it is diminutive in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.



Mr. Jamie Whitehouse
Page 2 of 2
November 17, 2020

A review of TIS completed in the last three years found that a TIS was completed for the Ocean Park development. That TIS included the intersection of Plantations Road and Cedar Grove Road / Postal Lane. We are providing a copy of that TIS review letter; please find it enclosed with this letter.

If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.
County Coordinator
Development Coordination

TWB:cjm
Enclosure

cc: Delaware Electric Co-Op / Troy Dickerson, Applicant
Russell Warrington, Sussex County Planning & Zoning
Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues
Todd Sammons, Assistant Director, Development Coordination
Gemez Norwood, South District Public Works Manager, Maintenance & Operations
Susanne K. Laws, Sussex County Review Coordinator, Development Coordination
Derek Sapp, Subdivision Manager, Development Coordination
Kevin Hickman, Subdivision Manager, Development Coordination
Brian Yates, Subdivision Manager, Development Coordination
John Andrescavage, Subdivision Manager, Development Coordination
James Argo, South District Project Reviewer, Maintenance & Operations
Troy Brestel, Project Engineer, Development Coordination
Claudy Joinville, Project Engineer, Development Coordination

**SUSSEX COUNTY ENGINEERING DEPARTMENT
UTILITY PLANNING & DESIGN REVIEW DIVISION
C/U & C/Z COMMENTS**

RECEIVED

TO: **Jamie Whitehouse**

REVIEWER: **Chris Calio**

DATE: **5/10/2021**

APPLICATION: **CU 2252 Delaware Electric Co-Op**

APPLICANT: **Delaware Electric Co-Op, Troy Dickerson**

FILE NO: **OM-9.04**

TAX MAP &
PARCEL(S): **334-12.00-2.00**

LOCATION: **34139 Cedar Grove Road, Lewes, DE 19958**

NO. OF UNITS: **Electrical Substation**

GROSS
ACREAGE: **9.1 +/-**

MAY 12 2021

SUSSEX COUNTY
PLANNING & ZONING

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **4**

SEWER:

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?
Yes No
 - a. If yes, see question (2).
 - b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 1**
- (3). Is wastewater capacity available for the project? **Yes** If not, what capacity is available? **N/A**.
- (4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **N/A** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **N/A** If yes, the current System Connection Charge Rate is **Unified \$6,360.00** per EDU. Please contact **N/A** at **302-855-7719** for additional information on charges.
- (6). Is the project capable of being annexed into a Sussex County sanitary sewer

district? **N/A**

Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.

- (7). Is project adjacent to the Unified Sewer District? **N/A**
- (8). Comments: **Click or tap here to enter text.**
- (9). Is a Sewer System Concept Evaluation required? **No**
- (10). Is a Use of Existing Infrastructure Agreement Required? **No**

UTILITY PLANNING APPROVAL:

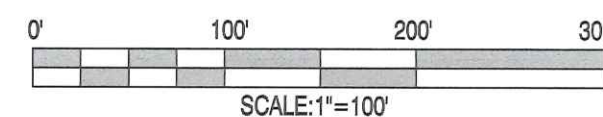
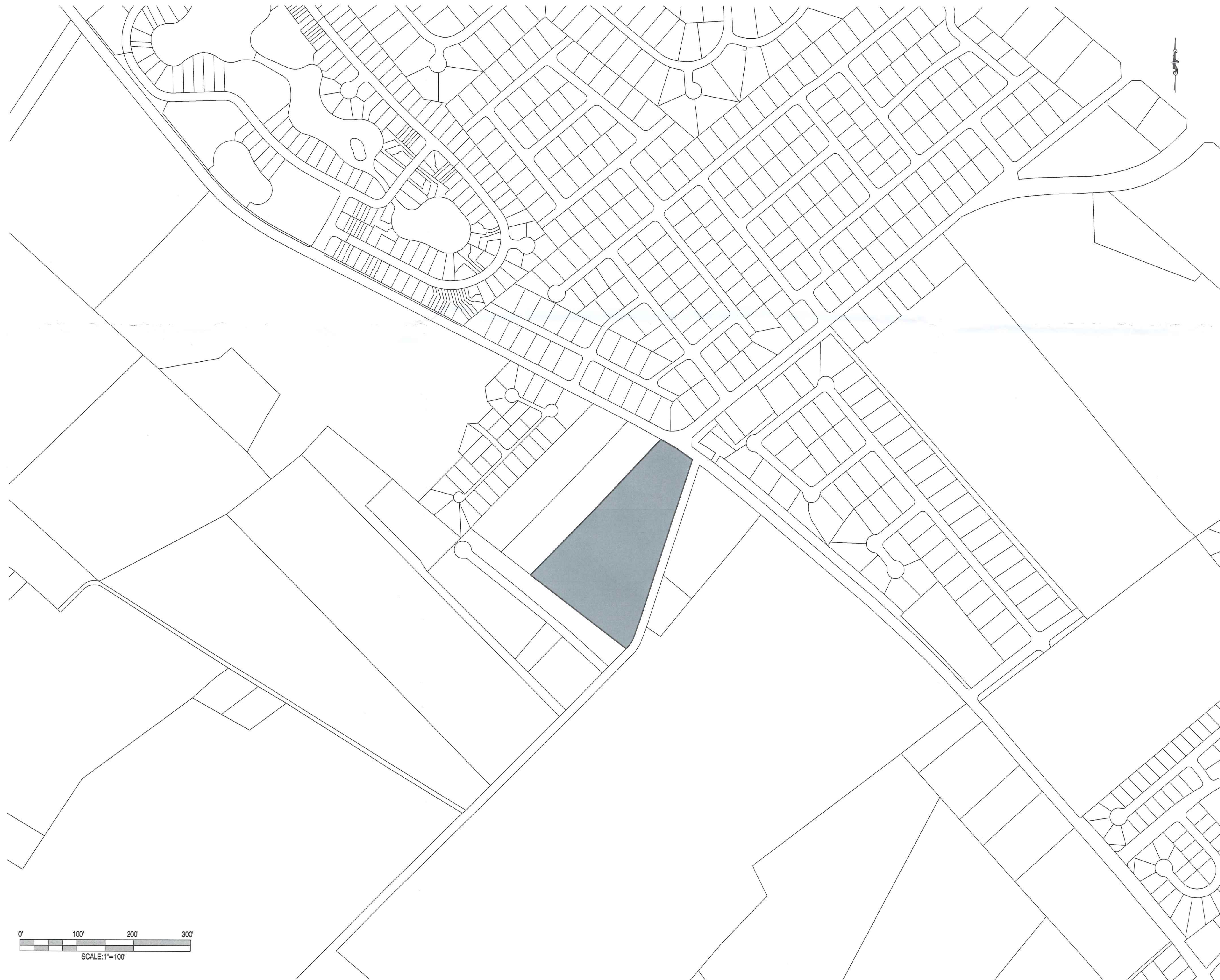


John J. Ashman
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.
Lisa Walls
No Permit Tech Assigned

PRELIMINARY SITE PLAN DELAWARE ELECTRIC CO-OP CEDAR GROVE ROAD, SUBSTATION

334-12.00-2.00
SUSSEX COUNTY, DELAWARE



DATA COLUMN

1. COUNTY TAX MAP: 334-12.00-2.00
2. ADDRESS OF SITE: CEDAR GROVE ROAD
LEWES, DE
3. ZONING: MR-1 (MEDIUM RESIDENTIAL)
4. TOTAL NUMBER OF DWELLING UNITS: 1
5. LOT AREA: 9.10± ACRES (396,396± S.F.)
6. RIGHT OF WAY DEDICATION: XXXXX± ACRES (XXXX± S.F.)
7. NET DEVELOPMENT AREA: XXXXX± ACRES (XXXX± S.F.)
8. PERMANENT EASEMENT: XXXXX± ACRES XXXX± S.F.)
9. SOURCE OF TITLE: DEED
10. DATUM: VERTICAL - NAVD 88
HORIZONTAL - NAD 83
(PER CONTRACT 309)
11. SETBACK: FRONT: 40'
SIDE: 10'
REAR: 10'
12. FLOODPLAIN: ACCORDING TO FIRM NO. 100050332K, DATED MARCH 16, 2015, THIS SITE LIES OUTSIDE AN AREA OF 0.2% ANNUAL CHANCE OF FLOOD HAZARD.
13. WETLANDS: A SITE VISIT HAS NOT BEEN PERFORMED BY CENTURY ENGINEERING INC.
14. SEWER: NO SEWER OR ON-SITE SEPTIC IS PROPOSED.
15. WATER: NO WATER CONNECTION OR ON-SITE WELL IS PROPOSED.
16. RECREATIONAL AREA: NO RECREATIONAL AREA IS PROPOSED BY THIS PLAN.
17. OPEN SPACE: NO DESIGNATED OPEN SPACE IS PROPOSED BY THIS PLAN.
18. CONSTRUCTION PHASING: PROPOSED CONSTRUCTION IS TO BE COMPLETED IN ONE (1) PHASE.
19. APPLICANT/DEVELOPER: DELAWARE ELECTRIC COOPERATIVE, INC.
14198 SUSSEX HIGHWAY
GREENWOOD, DE 19950
20. CIVIL ENGINEER: CENTURY ENGINEERING, INC.
550 BAY ROAD
DOVER, DE 19901
(302) 734-9188
21. A CONDITIONAL USE FOR THIS SITE WAS APPROVED BY COUNTY COUNCIL, SEE CU2057 AND ORDINANCE 2471.
22. THIS PLAN SHALL SUPERCEDE THE PREVIOUSLY APPROVED SUSSEX COUNTY CONDITIONAL USE #2057, DATED OCTOBER 25, 2016.

GENERAL NOTES:

- CONDITIONS OF APPROVAL:**
1. THE PERIMETER OF THE SUBSTATION WILL BE FENCED.
 2. TWO (2) SIGNS SHALL BE PLACED AROUND THE PROPERTY TO IDENTIFY THE SITE AND EMERGENCY CONTACT INFORMATION.
 3. ANY SECURITY LIGHTING SHALL BE SCREENED OR DIRECTED AWAY FROM NEIGHBORING PROPERTIES AND ROADS.
 4. LANDSCAPING SHALL BE PROVIDED TO SCREEN FACILITY FROM ADJACENT PROPERTIES AND ROADWAYS.
 5. THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.
 6. STORAGE OF MATERIALS OR EQUIPMENT ON SITE SHALL NOT EXCEED A PERIOD OF 30 DAYS.

INDEX OF SHEETS

C100 COVER SHEET

CERTIFICATION OF DEVELOPER

I, STEVE PERRY, HEREBY CERTIFY THAT I AM THE DEVELOPER OF THE PROPERTY SHOWN ON THIS PLAN. THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE IN MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.

STEVE PERRY
DELAWARE ELECTRIC COOPERATIVE, INC.
14198 SUSSEX HIGHWAY
GREENWOOD, DE 19950
(302) 349-3131

DATE

CERTIFICATION OF PLAN ACCURACY

IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

ALEXANDER E. SCHMIDT, P.E., DE NO. 16139
CENTURY ENGINEERING, INC.
550 BAY ROAD
DOVER, DELAWARE 19901
(302) 734-9188

DATE

This drawing is the property of Century Engineering and is prepared for the exclusive use of its clients at the location indicated. No other use is authorized or intended.

CENTURY
ENGINEERING
CONSULTING ENGINEERS & SURVEYORS

ADDRESS: 550 BAY ROAD
DOVER, DE 19901
P: (302) 734-9188 F: (302) 734-4589
WEBSITE: www.centuryeng.com
EMAIL: cel@centuryeng.com

REVISIONS

ADDENDUM

DESCRIPTION	DATE

PROJECT
SHEET TITLE

CEDAR GROVE ROAD SUBSTATION
FOR
DELAWARE ELECTRIC CO-OP
LEWES, SUSSEX COUNTY, DELAWARE 19958
LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DELAWARE

SUSSEX COUNTY
SUBMISSION
OCTOBER, 2020

DRAWN: DMK CHK'D/DESIGNER: AES

SCALE: 1" = 100' SHEET NO.

PROJECT NO. 145015.11





D:\Projects\145015.11 Cedar Grove Road Substation\CAD FILES\Sheet\Conceptual\CP100_Conceptual Plan.dwg 1/26/2021 7:57 AM



This drawing is the property of Century Engineering and is prepared for the exclusive use of its clients at the location indicated. No other use is authorized or intended.

Century
ENGINEERING
CONSULTING ENGINEERS ■ SURVEYORS

ADDRESS:
550 BAY ROAD
DOVER, DE 19901
P: (302) 734-9188 F: (302) 734-4589
WEBSITE: www.centuryeng.com
EMAIL: ce@centuryeng.com

REVISIONS	

ADDENDUM	
DESCRIPTION	DATE

PROJECT
CEDAR GROVE ROAD SUBSTATION
FOR
DELAWARE ELECTRIC CO-OP
LEWES, SUSSEX COUNTY, DELAWARE 19958
LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DELAWARE

SHEET TITLE

SUSSEX COUNTY
SUBMISSION
OCTOBER, 2020

DRAWN	CHK'D/DESIGNER
DMK	AES
SCALE	SHEET NO.
1" = 100'	
PROJECT NO.	
145015.11	

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878 T
302-854-5079 F
JAMIE WHITEHOUSE, MRTPI, AICP
DIRECTOR OF PLANNING & ZONING

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET
Planning Commission Public Hearing Date: May 27th, 2021

Application: CU 2260 Ronald Lee Wisseman II

Applicant: Ronald Lee Wisseman II
10213 Fawn Road
Greenwood, DE 19950

Owner: Ronald Lee Wisseman II
10213 Fawn Road
Greenwood, DE 19950

Site Location: 10213 Fawn Road
Greenwood, DE 19950

Current Zoning: Agricultural Residential (AR-1) Zoning District

Proposed Use: Gunsmithing

Comprehensive Land
Use Plan Reference: Low Density

Councilmanic
District: Ms. Green

School District: Woodbridge School District

Fire District: Bridgeville Fire Department

Sewer: Private (septic system)

Water: Private (well)

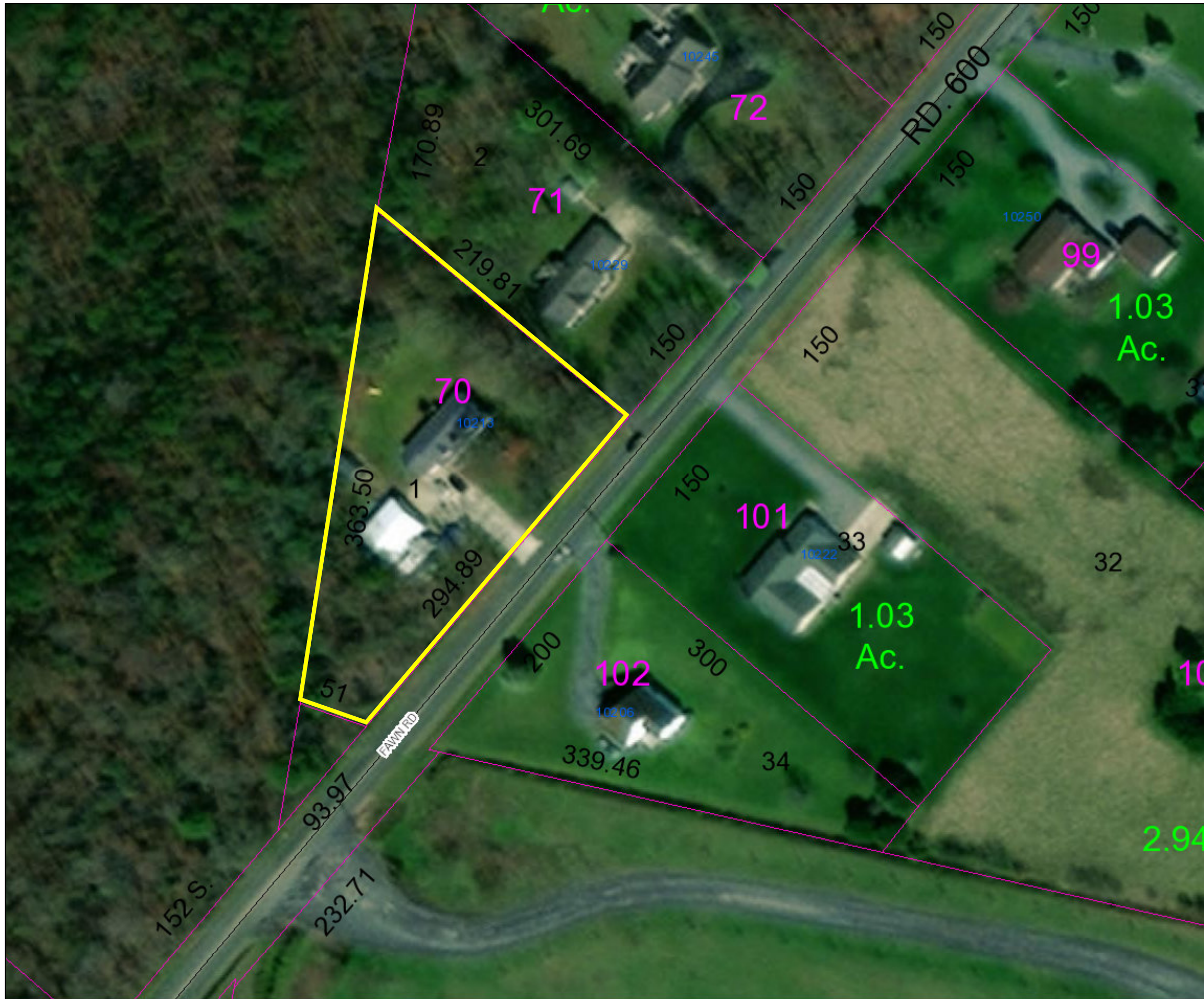
Site Area: 0.96 acres +/-

Tax Map ID.: 430-11.00-70.00





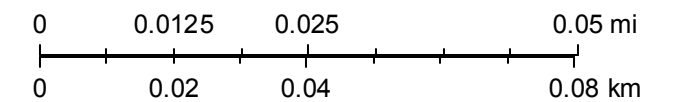
Sussex County



PIN:	430-11.00-70.00
Owner Name	WISSEMAN RONALD L II
Book	4954
Mailing Address	10213 FAWN RD
City	GREENWOOD
State	DE
Description	FAWN GROVE
Description 2	LOT 1
Description 3	NW/RT 600
Land Code	

- polygonLayer**
Override 1
- polygonLayer**
Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- Flood Zones 2018**
- 0.2 PCT ANNUAL CHANCE FLOOD HAZARD
- A
- AE
- AO
- OPEN WATER
- VE
- Extent of Right-of-Way
- Municipal Boundaries

1:1,128





Sussex County



PIN:	430-11.00-70.00
Owner Name	WISSEMAN RONALD L II
Book	4954
Mailing Address	10213 FAWN RD
City	GREENWOOD
State	DE
Description	FAWN GROVE
Description 2	LOT 1
Description 3	NW/RT 600
Land Code	

polygonLayer

Override 1

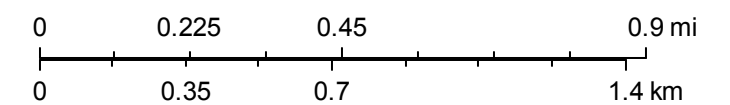
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Override 1

Tax Parcels

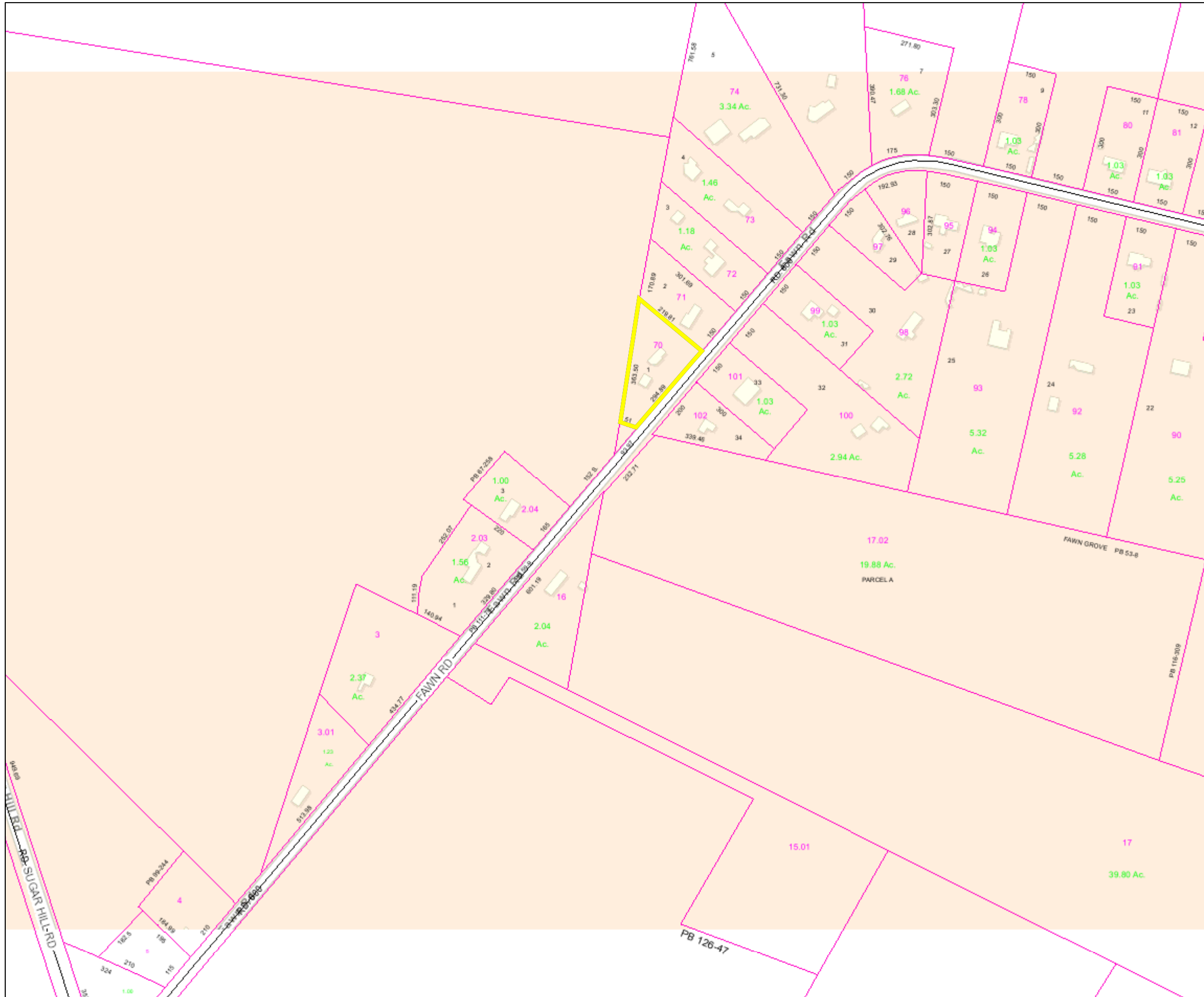
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Sussex County



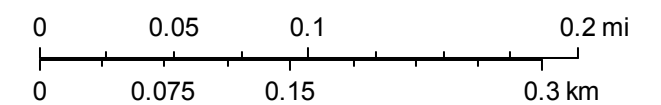
PIN:	430-11.00-70.00
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Description	FAWN GROVE
Description 2	LOT 1
Description 3	NW/RT 600
Land Code	

- polygonLayer**

Override 1
- polygonLayer**

Override 1
- Tax Parcels
- Streets
- County Boundaries
- Municipal Boundaries

1:4,514



JAMIE WHITEHOUSE, AICP, MRTPI
DIRECTOR OF PLANNING & ZONING
(302) 855-7878 T
(302) 854-5079 F
jamie.whitehouse@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

Memorandum

To: Sussex County Planning Commission Members
From: Nicholas Torrance, Planner I
CC: Vince Robertson, Assistant County Attorney and applicant
Date: May 6th, 2021
RE: Staff Analysis for CU 2260 Ronald Lee Wisseman II

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CU 2260 Ronald Lee Wisseman II to be reviewed during the May 27, 2021 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for Tax Parcels 430-11.00-70.00 to allow for a Conditional Use of land in an Agricultural Residential (AR-1) Zoning District for gunsmithing. The parcel is located on the west side of Fawn Rd (S.C.R. 600) in Greenwood, Delaware. The area of the site is approximately 0.96 acres +/-.

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework for how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the property has the land use designation of the "Low Density." All neighboring properties are also designated as "Low Density."

The primary uses envisioned in "Low Density Areas" are agricultural activities and homes. Business development should be largely confined to businesses addressing the needs of these two uses. Industrial and agribusiness uses that support or depend on agriculture should be permitted. The focus of retail and office uses in "Low Density Areas" should be providing convenience goods and services to nearby residents. Commercial uses in these residential areas should be limited in their location, size and hours of operation. More intense commercial uses should be avoided in these areas.

The property is within an Agricultural Residential (AR-1) Zoning District. All surrounding properties are also zoned AR-1.

Since 1971, there have been 5 Conditional Use applications within a one-mile radius of the application site. Of the 5 Conditional Use applications within a one-mile radius, four have been approved and one was denied.

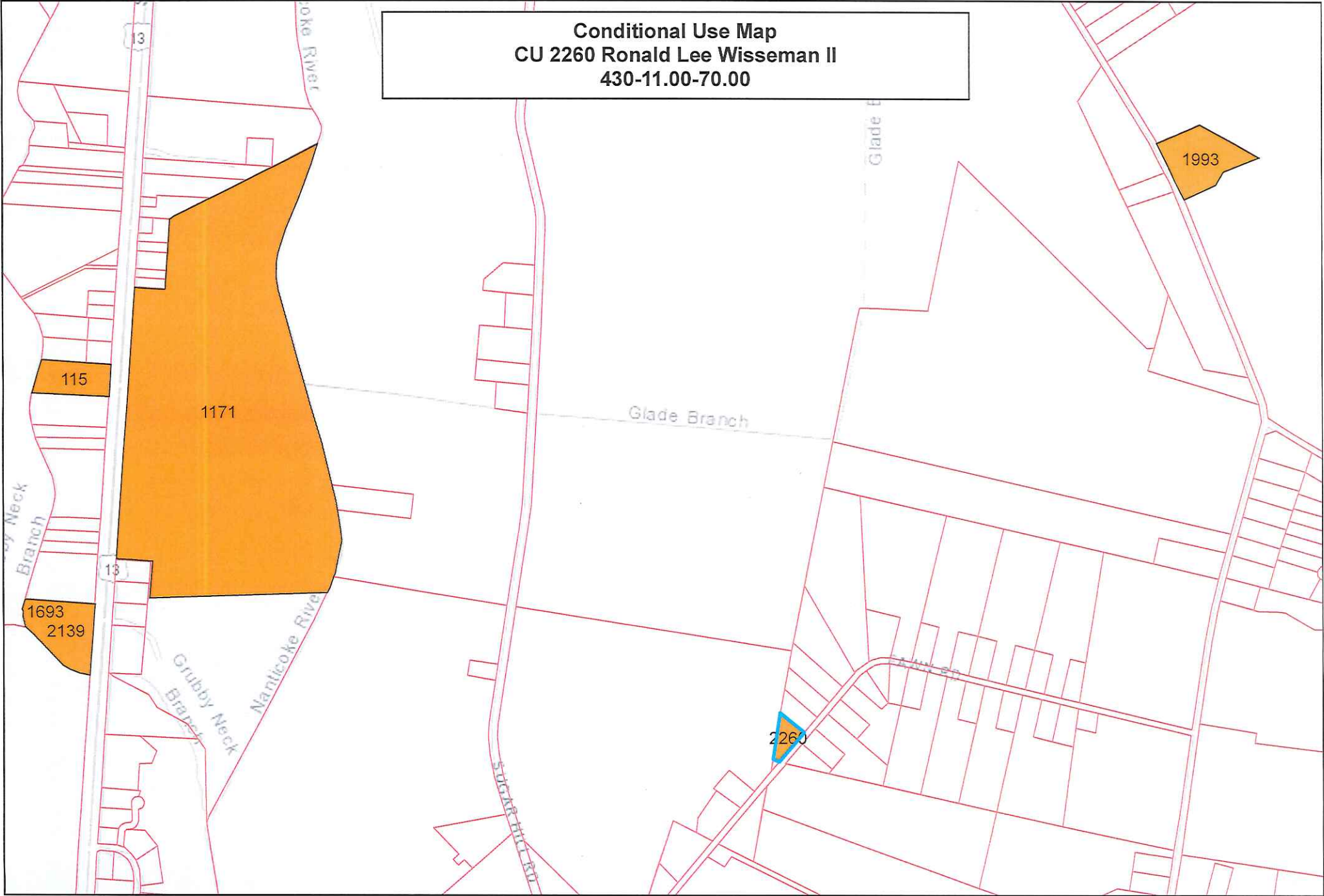
Based on the analysis of the land use, surrounding zoning and uses, the Conditional Use to allow for gunsmithing, subject to considerations of scale and impact, could be considered as being consistent with the land use, area zoning and surrounding uses.





Sussex County

Conditional Use Map
CU 2260 Ronald Lee Wisseman II
430-11.00-70.00



CU #	Tax Parcel	APPLICANT	Zoning	Proposed Use	PZ Recommendation	PZ Decision Date	CC Decision Date	CC Decision
1993	430-8.00-9.02	David J. Bosco	AR-1	Paint Ball Park	Recommended Approval	8/21/2014	10/7/2014	Approved
2260	430-11.00-70.00	Ronald Lee Wisseman II	AR-1	Gunsmithing		<Null>	<Null>	
2139	530-17.00-10.00	Arcotec Air Properties, LLC	AR-1	Storage warehouse for small contractors	Recommended Approval	9/13/2018	9/25/2018	Approved
1171	530-17.00-1.00	Hab Nab Transportation, Inc.	AR-1	trucking operation	Recommended Denial	12/5/1996	12/18/1996	Denied
115	530-17.00-2.01	Gerald Campbell	AR-1	cabinet shop	N/A	<Null>	<Null>	Approved
1693	530-17.00-10.00	H&L Land Company LLC	AR-1	Warehousing	Recommended Approval	7/12/2007	8/7/2007	Approved

Planning & Zoning Commission Application Sussex County, Delaware

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check applicable)Conditional Use Zoning Map Amendment **Site Address of Conditional Use/Zoning Map Amendment**10213 Fawn Rd. Greenwood**Type of Conditional Use Requested:**GunsmithingTax Map #: 430-M,00-70.00Size of Parcel(s): 1.48 acresCurrent Zoning: Ag./Res Proposed Zoning: Ag./Res Size of Building: Existing 32x30Land Use Classification: Ag./ResWater Provider: WellSewer Provider: NIA**Applicant Information**Applicant Name: Ronald Lee Wisseman IIApplicant Address: 10213 Fawn Rd.City: GreenwoodState: DEZip Code: 19950Phone #: 302-604-2343E-mail: ronwisseman@gmail.com**Owner Information**Owner Name: Ronald Lee Wisseman IIOwner Address: 10213 Fawn RdCity: GreenwoodState: DEZip Code: 19950Phone #: 302-604-2343E-mail: ronwisseman@gmail.com**Agent/Attorney/Engineer Information**Agent/Attorney/Engineer Name: Scott RustAgent/Attorney/Engineer Address: 10430 Fawn Rd.City: GreenwoodState: DEZip Code: 19950Phone #: 302-519-5224E-mail: scott.r.rust@gmail.com

Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

- Completed Application**
- Provide eight (8) copies of the Site Plan or Survey of the property**
 - Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
 - Provide a PDF of Plans (may be e-mailed to a staff member) *(No New Plans)*
 - Deed or Legal description
- Provide Fee \$500.00**
- Optional - Additional information for the Commission/Council to consider** (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.
- Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.**
- DeIDOT Service Level Evaluation Request Response**
- PLUS Response Letter** (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney



Date: 1-3-2021

Signature of Owner



Date: 1-3-2021

For office use only:

Date Submitted: _____ Fee: \$500.00 Check #: _____
Staff accepting application: _____ Application & Case #: _____
Location of property: _____
Subdivision: _____
Date of PC Hearing: _____ Recommendation of PC Commission: _____
Date of CC Hearing: _____ Decision of CC: _____

The business intends to be ran out of the existing 30x32 building without any modifications to the interior or exterior of the building or property. I would also like for it to be known that although I intend to do gunsmithing work, there will be no shooting range on the property as not to disturb the neighboring properties.

Thank you for your time,

Ronald Wisseman



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

November 19, 2020

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning
P.O. Box 417
Georgetown, DE 19947

Dear Mr. Whitehouse:

The Department has completed its review of a Service Level Evaluation Request for the **Ronald Wisseman II** conditional use application, which we received on October 20, 2020. This application is for an approximately 1.00-acre parcel (Tax Parcel: 430-11.00-70.00). The subject land is located on the northwest side of Fawn Road (Sussex Road 600), approximately 2,500 feet northeast of Sugar Hill Road (Sussex Road 599), northeast of the Town of Bridgeville. The subject land is currently zoned AR-1 (Agricultural Residential), and the applicant is seeking a conditional use approval to utilize the facility to operate a home business.

Per the 2019 Delaware Vehicle Volume Summary, the annual average daily traffic volume along the segment of Fawn Road where the subject land is located, which is from St. Johnstown Road (Sussex Road 600) / Tuckers Road (Sussex Road 597) to E. Newton Road (Sussex Road 582), is 918 vehicles per day.

Based on our review, we estimate that the above land use will generate fewer than 50 vehicle trips per day. This number of trips is below DeIDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. DeIDOT's regulations specify the minimum TIS warrants as 50 vehicle trips in any hour and/or 500 vehicle trips per day. Because the proposed land use would generate fewer than 50 vehicle trips per day, we consider the development's traffic impact to be diminutive in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DeIDOT's description of this application as diminutive with regard to warranting a TIS does not mean that it is diminutive in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.



Mr. Jamie Whitehouse
Page 2 of 2
November 19, 2020

If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.
County Coordinator
Development Coordination

TWB:cjm

cc: Ronald Wisseman II, Applicant
Russell Warrington, Sussex County Planning & Zoning
Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues
Todd Sammons, Assistant Director, Development Coordination
Gemez Norwood, South District Public Works Manager, Maintenance & Operations
Susanne K. Laws, Sussex County Review Coordinator, Development Coordination
Derek Sapp, Subdivision Manager, Development Coordination
Kevin Hickman, Subdivision Manager, Development Coordination
Brian Yates, Subdivision Manager, Development Coordination
John Andrescavage, Subdivision Manager, Development Coordination
James Argo, South District Project Reviewer, Maintenance & Operations
Troy Brestel, Project Engineer, Development Coordination
Claudy Joinville, Project Engineer, Development Coordination

**SUSSEX COUNTY ENGINEERING DEPARTMENT
UTILITY PLANNING & DESIGN REVIEW DIVISION
C/U & C/Z COMMENTS**

TO: **Jamie Whitehouse**
REVIEWER: **Chris Calio**
DATE: **5/10/2021**
APPLICATION: **CU 2260 Ronald Lee Wisseman II**
APPLICANT: **Ronald Lee Wisseman II**
FILE NO: **WSPA-5.01**
TAX MAP &
PARCEL(S): **430-11.00-70.00**
LOCATION: **10213 Fawn Road, Greenwood, DE 19950**
NO. OF UNITS: **Gunsmithing shop**
GROSS
ACREAGE: **0.96 +/-**

RECEIVED
MAY 12 2021
SUSSEX COUNTY
PLANNING & ZONING

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

SEWER:

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?
Yes No
 - a. If yes, see question (2).
 - b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 3**
- (3). Is wastewater capacity available for the project? **N/A** If not, what capacity is available? **N/A**.
- (4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **No** If yes, the current System Connection Charge Rate is **Unified \$6,360.00** per EDU. Please contact **N/A** at **302-855-7719** for additional information on charges.
- (6). Is the project capable of being annexed into a Sussex County sanitary sewer

district? **No**

Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.

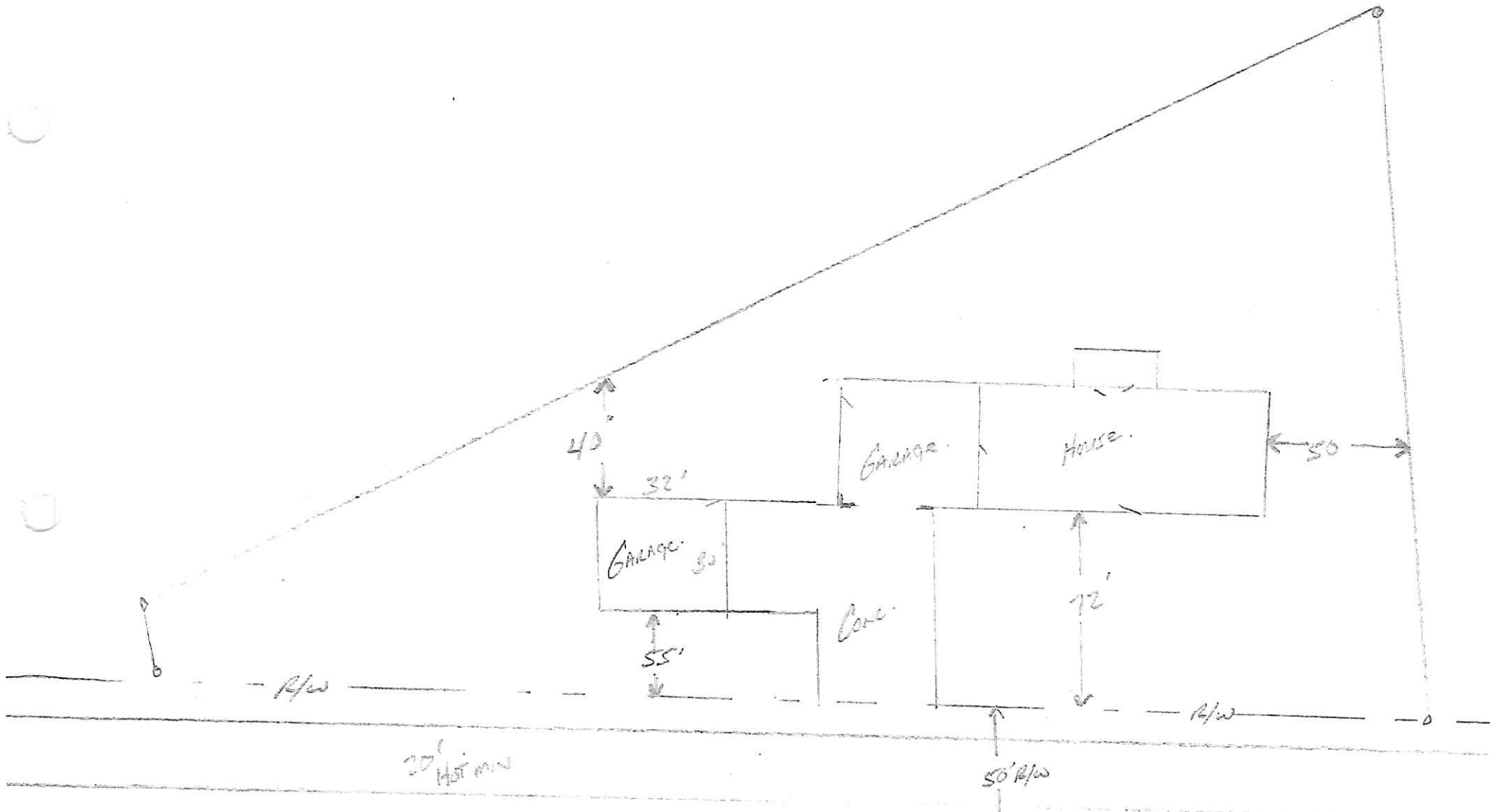
- (7). Is project adjacent to the Unified Sewer District? **No**
- (8). Comments: **The proposed CU is not in an area where the Sussex County Engineering Department has a schedule to provide sanitary sewer service**
- (9). Is a Sewer System Concept Evaluation required? **No**
- (10). Is a Use of Existing Infrastructure Agreement Required? **No**

UTILITY PLANNING APPROVAL:



John J. Ashman
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.
Lisa Walls
No Permit Tech Assigned



PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878 T
302-854-5079 F
JAMIE WHITEHOUSE, MRTPI, AICP
DIRECTOR

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET
Planning Commission Public Hearing Date: May 27th, 2021

Application: CU 2280 Covered Bridge Inn, LLC (Hopkins Henlopen Homestead, LLC)

Applicant/Owner: Covered Bridge Inn, LLC (c/o Ingrid Hopkins)
30249 Fisher Road
Lewes, DE 19958

Site Location: On the south side of Fisher Rd. (S.C.R. 262) approximately 0.93 miles east of Cool Spring Rd. (S.C.R. 290)

Current Zoning: AR-1 (Agricultural Residential District)

Proposed Use: Events Venue

Comprehensive Land Use Plan Reference: Low Density

Councilmatic District: Mr. Schaeffer

School District: Cape Henlopen School District

Fire District: Lewes Fire Department

Sewer: Private Septic

Water: Private Well

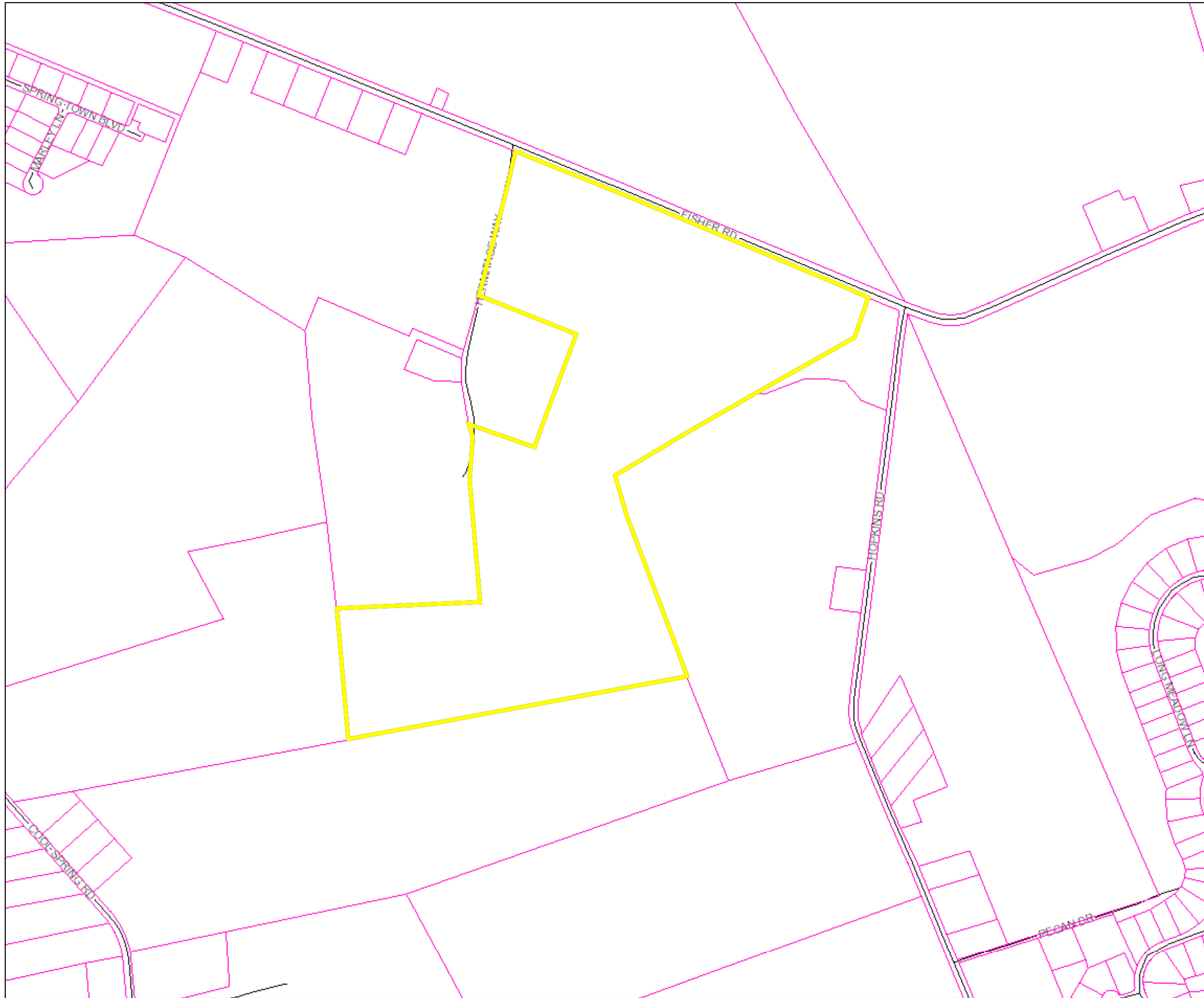
Site Area: 98.60 Acres +/-

Tax Map ID.: 334-10.00-69.01





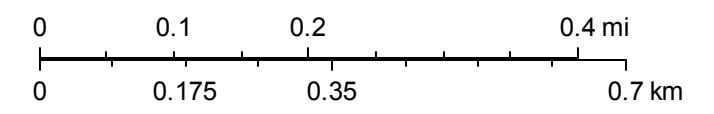
Sussex County

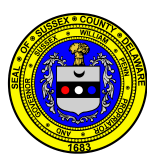


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Book	4229
Mailing Address	18186 DAIRY FARM ROAD
City	LEWES
State	DE
Description	S/RT 262
Description 2	136' W/RT 286
Description 3	FP
Land Code	

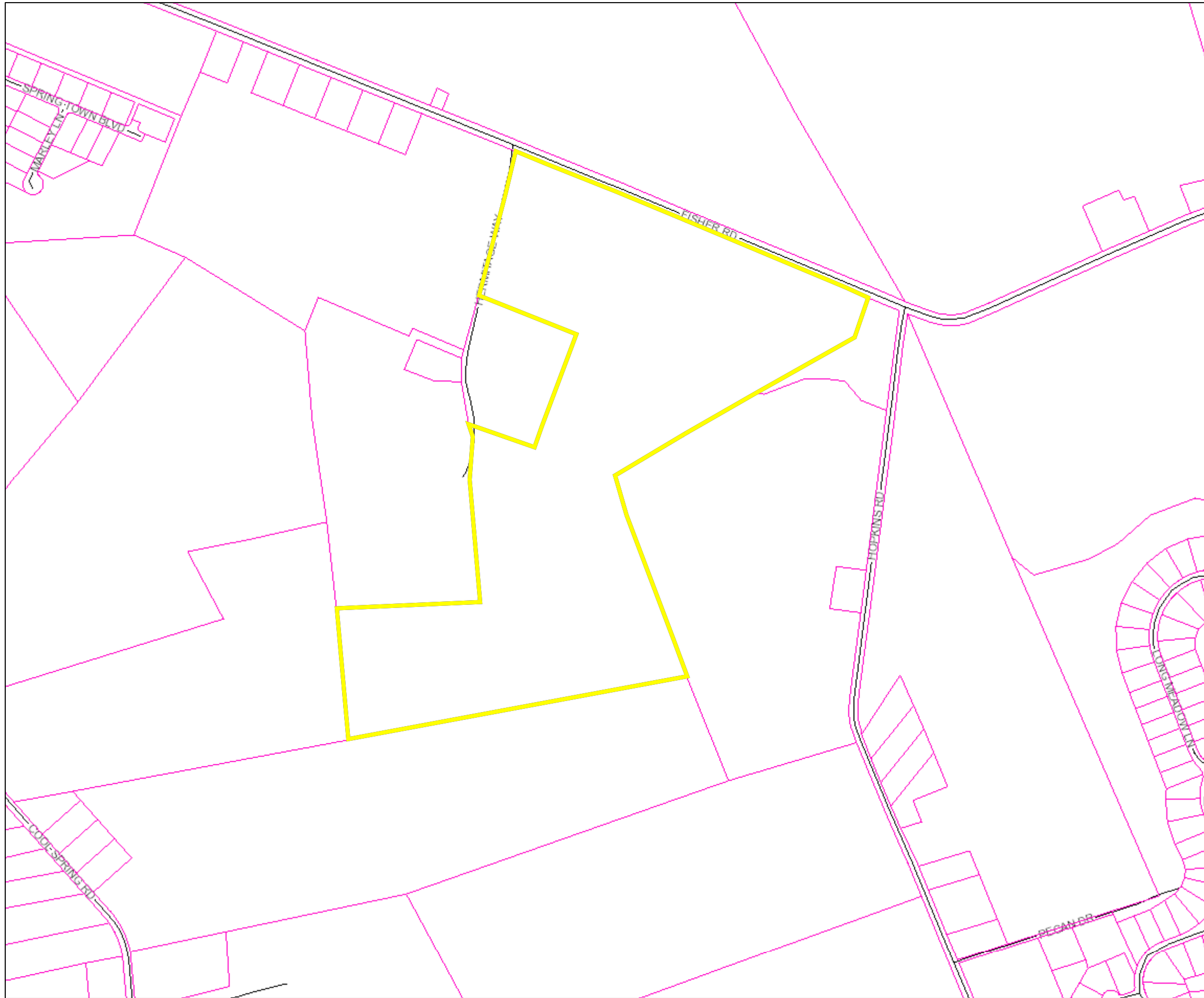
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- polygonLayer**
Override 1
- Tax Parcels
- Streets
- County Boundaries
- Tax Ditch Segments**
- Tax Ditch Channel
- Pond Feature
- Special Access ROW
- Extent of Right-of-Way
- Municipal Boundaries

1:9,028







Sussex County



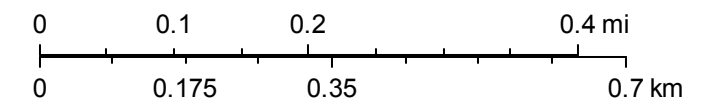
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Book	4229
Mailing Address	18186 DAIRY FARM ROAD
City	LEWES
State	DE
Description	S/RT 262
Description 2	136' W/RT 286
Description 3	FP
Land Code	

- polygonLayer**

Override 1
- polygonLayer**

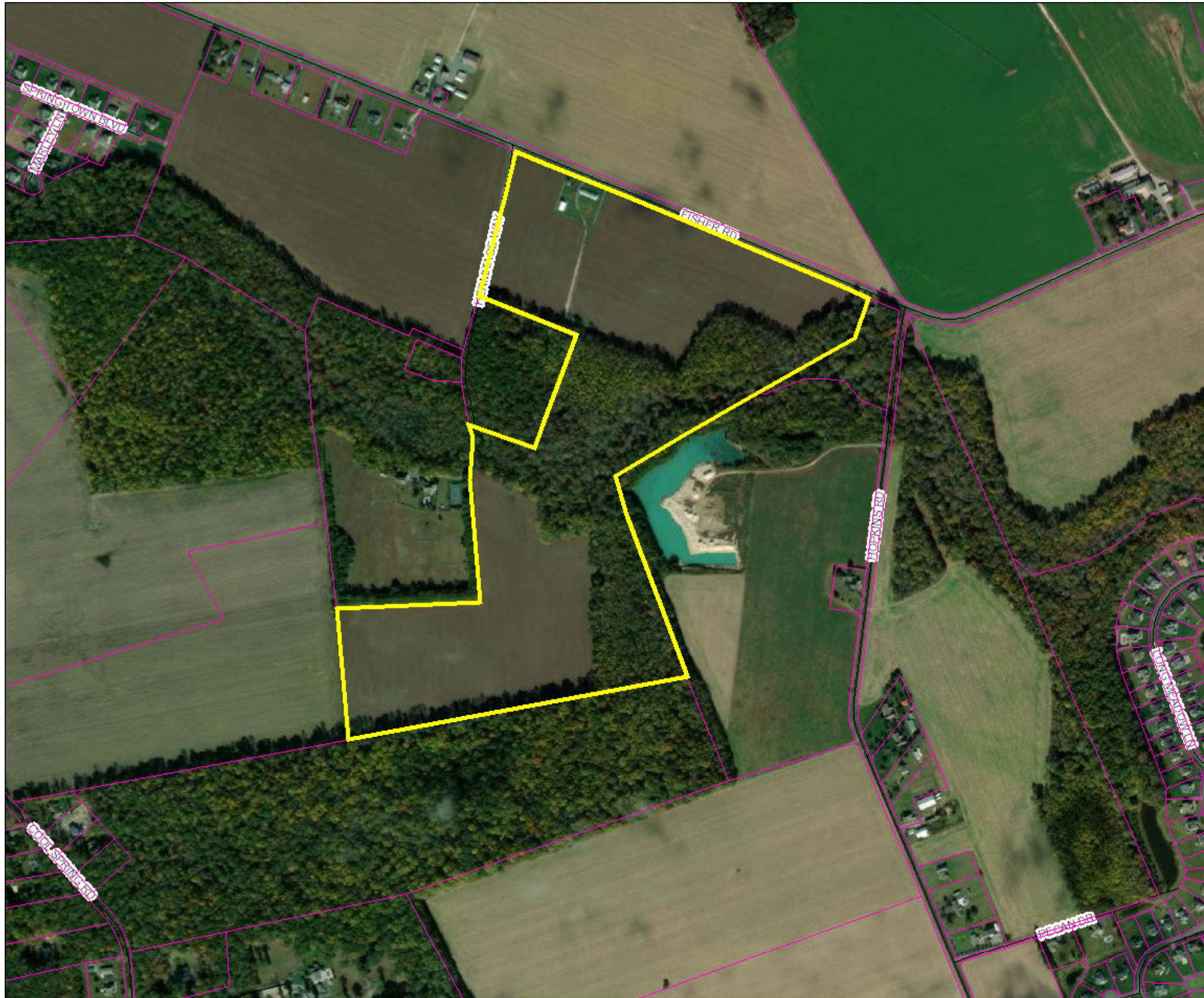
Override 1
-  Tax Parcels
-  Streets

1:9,028





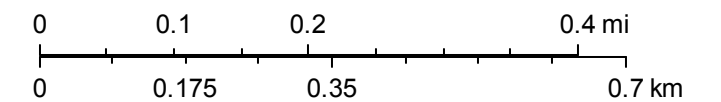
Sussex County



PIN:	334-10.00-69.01
Owner Name	HOPKINS HENLOPEN HOMESTEAD LLC
Book	4229
Mailing Address	18186 DAIRY FARM ROAD
City	LEWES
State	DE
Description	S/RT 262
Description 2	136' W/RT 286
Description 3	FP
Land Code	

- polygonLayer**
- Override 1
- polygonLayer**
- Override 1
- Tax Parcels
- Streets
- County Boundaries
- Tax Ditch Segments**
- Tax Ditch Channel
- Pond Feature
- Special Access ROW
- Extent of Right-of-Way
- Municipal Boundaries

1:9,028



JAMIE WHITEHOUSE, AICP
DIRECTOR OF PLANNING & ZONING
(302) 855-7878 T
(302) 854-5079 F
jamie.whitehouse@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

Memorandum

To: Sussex County Planning Commission Members
From: Christin Scott, Planner I
CC: Vince Robertson, Assistant County Attorney and applicant
Date: May 28, 2021
RE: Revised Staff Analysis for CU 2280 Covered Bridge Inn, LLC (Hopkins Henlopen Homestead, LLC)

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CU 2280 Covered Bridge Inn, LLC (Hopkins Henlopen Homestead, LLC) to be reviewed during the May 27, 2021 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for parcel 334-10.00-69.01 to allow for an events venue. The size of the property is 98.60 acres +/- . The property is zoned AR-1 (Agricultural Residential Zoning District) and located at on the south side of Fisher Rd. (S.C.R. 262) approximately 0.93 miles east of Cool Spring Rd. (S.C.R. 290).

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework for how land is to be developed. As part of the Comprehensive Plan a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the property has the land use designation of Low-Density Area.

The surrounding parcels to the north, east, west, and south are all designated on the Future Land Use Map as "Low Density Area". The uses that the Low-Density Area land use designation recognizes are primarily agricultural activities and homes. Business development should be largely confined to businesses addressing the needs of these two uses. Industrial and agribusiness uses that support or depend on agriculture should be permitted. The focus of retail and office uses in Low Density should be for providing convenience goods and services to nearby residents. Commercial uses in these residential areas should be limited in their location, size and hours of operation. More intense commercial uses should generally be avoided in these areas.

The property is zoned AR-1 (Agricultural Residential Zoning District). The adjoining and surrounding properties to the north, south, east and west are all also zoned AR-1.

Since 2011, there has been one (1) Conditional Use approval within a 1-mile radius of the application site. Conditional Use No. 2177 was approved for the use of an events venue by Sussex County Council on July 30, 2019 through Ordinance No. 2670.



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE

Based on the analysis of the land use, surrounding zoning and uses, the Conditional Use for the abovementioned use, subject to considerations of scale and impact, could be considered as being consistent with the land use, area zoning and surrounding uses.

Planning & Zoning Commission Application Sussex County, Delaware

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check applicable)

Conditional Use

Zoning Map Amendment

Site Address of Conditional Use/Zoning Map Amendment

30066 Fisher Rd, Milton, DE 19968

Type of Conditional Use Requested: Ag. Preservation land, existing barn to be used as a second event space for the existing venue

The Covered Bridge Inn, LLC.

Tax Map #: 334-10.00-69.01

Size of Parcel(s): 98 acres.

Current Zoning: AR-1

Proposed Zoning: ARI-cond

Size of Building: 2100 sq'

Land Use Classification: Agricultural Preservation district

Water Provider: well onsite

Sewer Provider: septic onsite

Applicant Information

Applicant Name: Ingrid Hopkins, Owner, Covered Bridge Inn, LLC.

Applicant Address: 30249 Fisher Rd.

City: Lewes

State: DE

Zip Code: 19958

Phone #: 302-542-9605

E-mail: innkeeper@thecoveredbridgeinn.com

Owner Information

Owner Name: Hopkins Kentopen Homestead, c/o Amy Hopkins

Owner Address: 18186 Dairy Farm Rd.

City: Lewes

State: DE

Zip Code: 19958

Phone #: 302-695-9302

E-mail: amyhpkins@gmail.com

Agent/Attorney/Engineer Information

Agent/Attorney/Engineer Name: _____

Agent/Attorney/Engineer Address: _____

City: _____

State: _____

Zip Code: _____

Phone #: _____

E-mail: _____



Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

Completed Application

Provide eight (8) copies of the Site Plan or Survey of the property

- Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
- Provide a PDF of Plans (may be e-mailed to a staff member)
- Deed or Legal description

Provide Fee \$500.00

Optional - Additional information for the Commission/Council to consider (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.

Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.

DeIDOT Service Level Evaluation Request Response

PLUS Response Letter (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

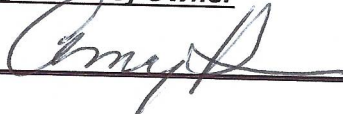
I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney



Date: 4/22/20

Signature of Owner



Date: 4/22/20

For office use only:

Date Submitted: _____

Fee: \$500.00 Check #: _____

Staff accepting application: _____

Application & Case #: _____

Location of property: _____

Subdivision: _____

Date of PC Hearing: _____

Recommendation of PC Commission: _____

Date of CC Hearing: _____

Decision of CC: _____



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. Box 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

May 20, 2020

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning
P.O. Box 417
Georgetown, DE 19947

Dear Mr. Whitehouse:

The Department has completed its review of a Service Level Evaluation Request for the **Ingrid Hopkins, The Covered Bridge Inn, LLC** conditional use application, which we received on April 23, 2020. This application is for an approximately 98.60-acre parcel (Tax Parcel: 334-10.00-69.01). The subject land is located on the southwest side of Fisher Road (Sussex Road 262), approximately 190 feet west of the intersection of Hopkins Road (Sussex Road 286) and Fisher Road, southeast of Milton. The subject land is currently zoned as AR-1 (Agricultural Residential) and the applicant is seeking a conditional use approval to utilize the facility for honey extraction and to operate a 2,100 square-foot small events venue.

Per the 2019 Delaware Vehicle Volume Summary, the annual average daily traffic volume along the segment of Fisher Road where the subject land is located, which is from Beaver Dam Road (Sussex Road 285) to Cool Spring Road (Sussex Road 290), is 1,684 vehicles per day.

The traffic impact of event venues necessarily varies with the frequency and size of the events. Generally, DelDOT bases its decision to require a Traffic Impact Study (TIS) on traffic volumes that recur on a daily or weekly basis. Special events, if large enough, may require coordination with our Transportation Management Center but cannot be properly addressed by the TIS process.

Regarding DelDOT's warrants for requiring a TIS, special events that would generate more than 50 vehicle trips in any hour and more than 500 vehicle trips per day would meet these warrants. Special events generating more than 200 vehicle trips in any hour and / or more than 2,000 vehicle trips per day would be considered to have a Major impact to local area roadways. Because we expect the typical event to generate no more than 50 vehicle trips in any hour and no more than 500 vehicle trips per day, we recommend that this conditional use application be considered without a TIS.



Mr. Jamie Whitehouse

Page 2 of 2

May 20, 2020

If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.
County Coordinator
Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues
Ingrid Hopkins, The Covered Bridge Inn, LLC, Applicant
Todd Sammons, Assistant Director, Development Coordination
Gemez Norwood, South District Public Works Manager, Maintenance & Operations
Susanne K. Laws, Sussex County Review Coordinator, Development Coordination
Derek Sapp, Subdivision Manager, Development Coordination
Kevin Hickman, Subdivision Manager, Development Coordination
Brian Yates, Subdivision Manager, Development Coordination
John Andrescavage, Subdivision Manager, Development Coordination
James Argo, South District Project Reviewer, Maintenance & Operations
Troy Brestel, Project Engineer, Development Coordination
Claudy Joinville, Project Engineer, Development Coordination

**SUSSEX COUNTY ENGINEERING DEPARTMENT
UTILITY PLANNING & DESIGN REVIEW DIVISION
C/U & C/Z COMMENTS**

TO: **Jamie Whitehouse**

REVIEWER: **Chris Calio**

DATE: **5/10/2021**

APPLICATION: **CU 2280 Covered Bridge Inn, LLC**

APPLICANT: **Covered Bridge Inn, LLC (c/o Ingrid Hopkins)**

FILE NO: **NCPA-5.03**

TAX MAP &
PARCEL(S): **334-10.00-69.01**

LOCATION: **On the south side of Fisher Road (SCR 262) approximately
0.93 miles east of Cool Spring Road (SCR 290)**

NO. OF UNITS: **Event Venue**

GROSS
ACREAGE: **98.60 +/-**

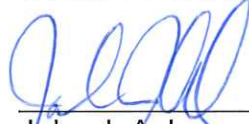
SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

SEWER:

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?
Yes No
- a. If yes, see question (2).
b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 3**
- (3). Is wastewater capacity available for the project? **N/A** If not, what capacity is available? **N/A**.
- (4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **No** If yes, the current System Connection Charge Rate is **Unified \$6,360.00** per EDU. Please contact **N/A** at **302-855-7719** for additional information on charges.

- (6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **No**
- Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.
- (7). Is project adjacent to the Unified Sewer District? **No**
- (8). Comments: **The proposed CU is not in an area where the Sussex County Engineering Department has a schedule to provide sanitary sewer service.**
- (9). Is a Sewer System Concept Evaluation required? **No**
- (10). Is a Use of Existing Infrastructure Agreement Required? **No**

UTILITY PLANNING APPROVAL:



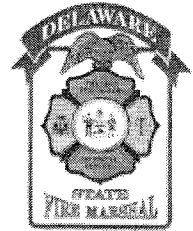
John J. Ashman
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.
Lisa Walls
No Permit Tech Assigned



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2020-04-203718-MJS-02

Tax Parcel Number: 334-10.00-69.01

Status: Approved as Submitted

Date: 05/21/2020

Project

Honey Bee Barn Addition
Hopkins Henlopen Homestead Property

30066 Fisher Road
Milton DE 19968

Scope of Project

Number of Stories:
Square Footage:
Construction Class:
Fire District: 82 - Lewes Fire Dept Inc

Occupant Load Inside: 167
Occupancy Code: 9622

Applicant

Amy Hopkins
18186 Dairy Farm Road
Lewes, DE 19958

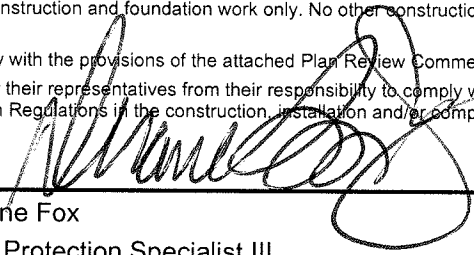
This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:



Duane Fox
Fire Protection Specialist III

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2020-04-203718-MJS-02

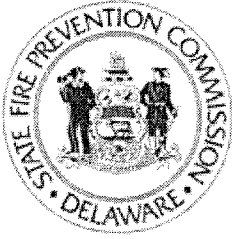
Tax Parcel Number: 334-10.00-69.01

Status: Approved as Submitted

Date: 05/21/2020

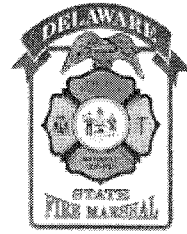
PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1010 A** The following water for fire protection requirements apply: **NONE. On-Site Wells Proposed.** this site meets Water Flow Table 1. therefore the provisions of NFPA 1142 shall apply to this site (DSFPR Regulation 702, Chapter 6, Section 3). Since wells are proposed for this site, no additional requirements will be made by this Agency for water for fire protection.
- 1000** The site plans have been approved as submitted. The Office of DE State Fire Marshal has no objection to recordation.
- 1501 A** If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



FIRE PROTECTION PLAN REVIEW REPORT

Plan Review Number: 2020-04-203719-ADD-02

Tax Parcel Number: 334-10.00-69.01

Status: Not Approved as Submitted

Date: 05/21/2020

Project

Honey Bee Barn Addition
Honey Bee Barn
Hopkins Henlopen Homestead Property

30066 Fisher Road
Milton DE 19968

Scope of Project

Number of Stories: 1
Square Footage: 2189
Construction Class: V (000) Wood Frame
Fire District: 82 - Lewes Fire Dept Inc

Occupant Load Inside: 167
Occupancy Code: 9622

Applicant

Amy Hopkins
18186 Dairy Farm Road
Lewes, DE 19958

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:



Duane Fox
Fire Protection Specialist III

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2020-04-203719-ADD-02

Tax Parcel Number: 334-10.00-69.01

Status: Not Approved as Submitted

Date: 05/21/2020

PROJECT COMMENTS

2000 A This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) dated August 11, 2006. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov These plans were not reviewed for compliance with the Americans with Disabilities Act. These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes. Project work must be started within one year from the issuance of the permit, otherwise, the permit will be terminated.

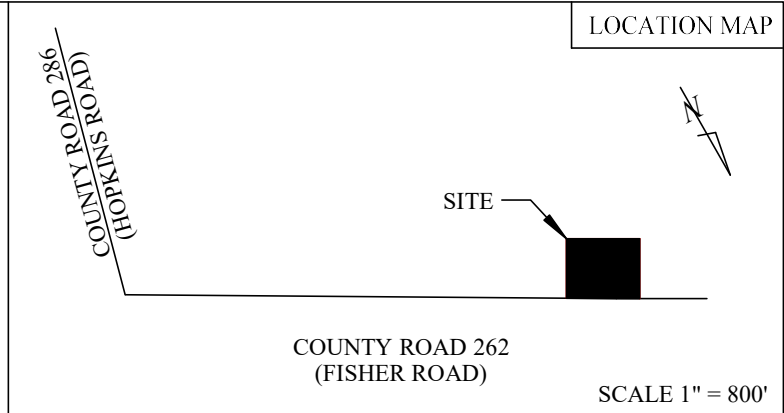
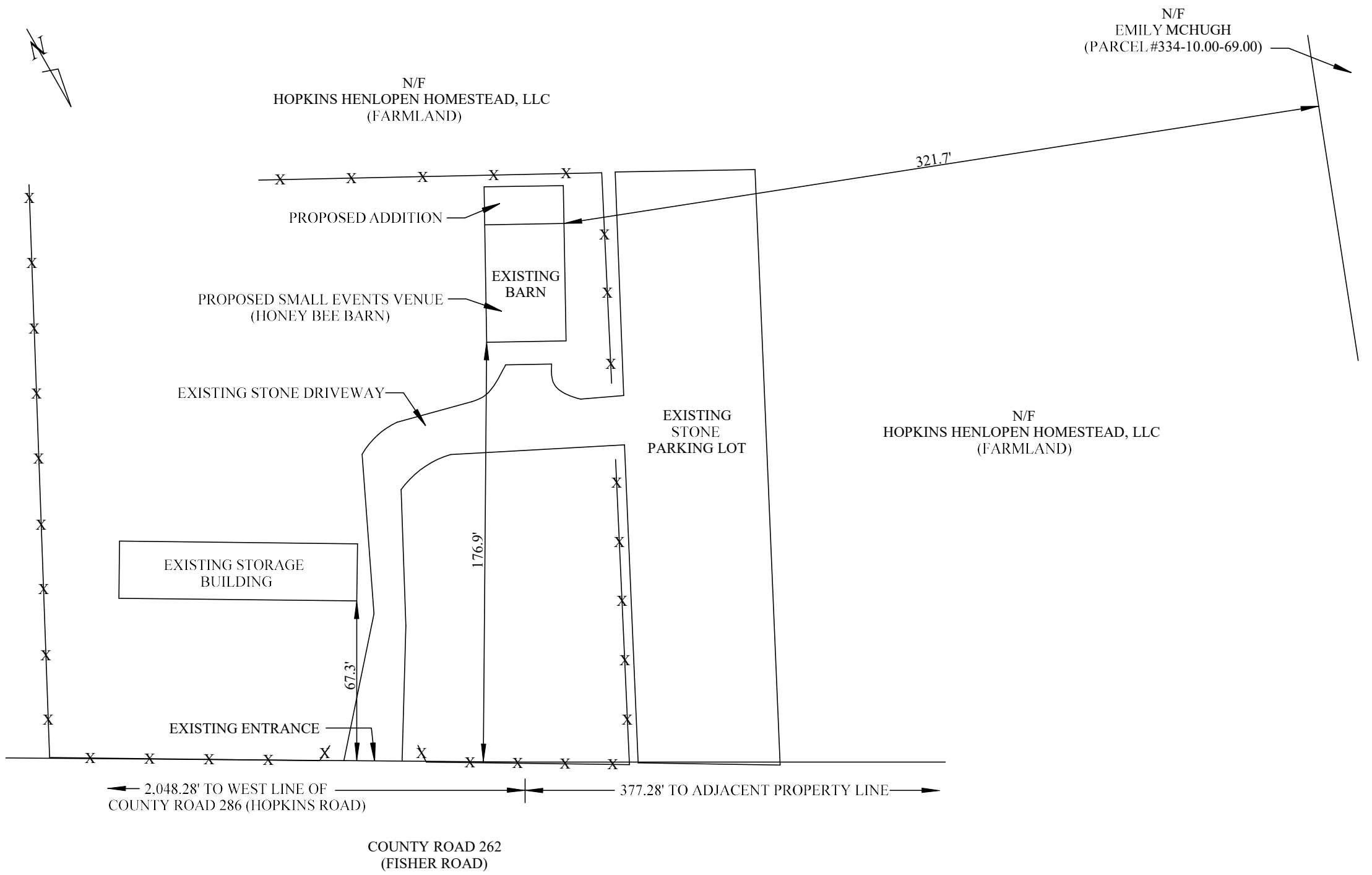
2700 A All plans must be reviewed and approved by this Agency prior to extending project past footers and foundation. Plan review status shall remain "NOT APPROVED AS SUBMITTED" until the following listed deficiencies have been addressed and approved by this Agency. Contact the reviewer of this project for clarification of listed deficiencies.

1510 A The following items have been identified during the plan review as MAJOR DEFICIENCIES. Correct these items and resubmit the required plans, specifications, or documents that address these deficiencies. If there are any questions about these deficiencies please feel free to contact the Fire Protection Specialist who reviewed this project.

2050 A Doors shall swing in the direction of exit travel (outward) where used in an exit enclosure. NFPA 101, Section 7.2.1.4.3 (2000 ed.).

** EXIT DOORS SHALL BE PIVOT TYPE IN ACCORDANCE WITH NFPA 101, SECTION 7.2.1.4.1. THE BARN SLIDING DOORS SHALL BE CHANGED TO PIVOT DOORS OR REMOVED. SINCE THEY ARE BOTH BEING USED AS EGRESS THE DOORS SHALL SWING TOWARD THE EXIT. IF A LATCH IS PROVIDED IT SHALL BE PANIC HARDWARE.

1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.



DATA COLUMN

TAX PARCEL #: 334-10.00-69.01
 ZONING: AR-1 (AGRICULTURAL PRESERVATION EASEMENT)
 PROPERTY ADDRESS: 30066 FISHER ROAD
 MILTON, DE 19968
 OWNER: HOPKINS HENLOPEN HOMESTEAD, LLC
 C/O AMY HOPKINS
 18186 DAIRY FARM ROAD
 LEWES, DE 19958
 APPLICANT: COVERED BRIDGE INN, LLC
 C/O INGRID HOPKINS
 30249 FISHER ROAD
 LEWES, DE 19958
 EXISTING USE: NONE
 PROPOSED USE: HONEY EXTRACTION AND
 SMALL EVENTS VENUE
 WATER PROVIDER: PRIVATE WELL ON SITE
 SEWER PROVIDER: PRIVATE SEPTIC ON SITE
 BUILDING SETBACKS: FRONT - 40'
 SIDE - 15'
 REAR - 20'

LEGEND

VINYL FENCE X

OWNER'S CERTIFICATION:

I HEREBY CERTIFY THAT I AM THE LEGAL OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO THE LAW.

 AMY HOPKINS DATE

ENGINEER'S CERTIFICATION:

I CERTIFY THAT I AM A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF DELAWARE AND THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

 RICHARD K. VETTER, P.E. #10329 DATE

PLAN BASED ON PHYSICAL EVIDENCE DISCOVERED IN THE FIELD AND THE CALL OF DEED BOOK 4229, PAGE 244.

SITE PLAN - HONEY BEE BARN	
LANDS OF HOPKINS HENLOPEN HOMESTEAD, LLC	
LEWES AND REHOBOTH HUNDRED SUSSEX COUNTY, DELAWARE	
RICHARD K. VETTER, P.E. 125 APPLE BLOSSOM DRIVE CAMDEN, DE 19934	
SCALE: 1" = 50'	
PAGE 1 OF 2	MAY 21, 2020



N/F
ELSIE OTTO TRUSTEES
(PARCEL #234-5.00-37.00)

N/F
J.L. CARPENTER FAMILY, L.P.
(PARCEL #234-1.00-2.00)

AREA = 98.60 ACRES +/-

N/F
WALTER & STACY BECK
(PARCEL #334-10.00-69.05)

N/F
HOPKINS BROTHERS, INC.
(PARCEL #234-1.00-5.00)

N/F
TROY TRIMMER
(PARCEL #334-10.00-69.03)

N/F
EMILY MCHUGH
(PARCEL #334-10.00-69.00)

COUNTY ROAD 286
(HOPKINS ROAD)

N/F
JEFFREY & KYLIE PLUMMER
(PARCEL #334-10.00-70.00)

STONE PARKING LOT
BARN
STORAGE BUILDING

COUNTY ROAD 262
(FISHER ROAD)

EXISTING LAYOUT - HONEY BEE BARN

LANDS OF
HOPKINS HENLOPEN HOMESTEAD, LLC

LEWES AND REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

RICHARD K. VETTER, P.E.
125 APPLE BLOSSOM DRIVE
CAMDEN, DE 19934

SCALE: 1" = 400'

NOTES

- ALL OPENINGS PASSING THROUGH FIRE-RATED WALLS OR CEILING ARE TO BE FIRE & DRAFT STOPPED WITH 3M FIRE MOLDABLE PUTTY, 3M FIRE BARRIER CP 250B, CAULK, 3M INTERAM FIRE-DAM 150 CAULK OR EQUAL, TO MEET UL 149 DESIGN AND INSTALLATION. SELECT THE APPROPRIATE FIRE AND DRAFT STOPPING MATERIAL BASED ON THE TYPE OF MATERIAL PASSING THROUGH THE OPENING.
- ALL DUCTS PASSING THROUGH FIRE-RATED WALLS OR CEILING ARE TO BE FITTED WITH FIRE-RATED GREEN-CHECK AUTOMATIC DAMPERS OR EQUAL, TO MEET UL 555/555S DESIGN AND INSTALLATION.
- DRAFT STOP / FIRE BLOCKING SHALL BE UL-RATED, NON-COMBUSTIBLE MATERIAL, NO FOAM.

SYMBOLS LEGEND

- (F.E.) FIRE EXTINGUISHER
- (EXIT) EMERGENCY EXIT SIGN AS PER LIFE SAFETY CODE 101 SECTION 5-7
- (EL) EMERGENCY LIGHTING AS PER LIFE SAFETY CODE 101 SECTION 5-8
- (EL/EXIT) COMBINATION UNIT
- (R) REMOTE HEAD (WIRED TO COMBINATION UNIT)

FIRE MARSHAL NOTES:

ALL EXIT DOORS SHALL BE NON-KEYED FROM THE INSIDE (NFPA 101 SECT. 7.2.1.5.2)
THIS CAN BE A LEVER, KNOB, THUMB LATCH OR PANIC BAR (NFPA 101 SECT. 7.2.1.5.4.)

PROVIDE EITHER EXTERNALLY OR INTERNALLY ILLUMINATED EXIT/DIRECTIONAL SIGNS TO MARK ALL EXITS & THE PATHS TO THE EXITS. SIGNS SHALL BE LEGIBLE. (NFPA 101, SECT. 7.10)

PROVIDE EMERGENCY LIGHTING DESIGNED TO LIGHT THE ACCESS PATHS, THE EXITS THEMSELVES & THE EXIT DISCHARGE TO THE PUBLIC WAY.

AI&LES LEADING TO EACH EXIT ARE REQUIRED TO BE MINIMUM CLEAR WIDTH OF 36 INCHES.

PROVIDE PORTABLE FIRE EXTINGUISHERS. A MINIMUM 10-LB. MULTIPURPOSE (A:B:C) W/AT LEAST A 2A-10BC RATING SHALL BE PROVIDED AND SHALL HAVE A DELAWARE INSPECTION TAG ATTACHED (NFPA 10). ALL PORTABLE FIRE EXTINGUISHERS SHALL BE SERVICED ON AN ANNUAL BASIS (EVERY 12 MONTHS) BY AN INDIVIDUAL LICENSED UNDER THE PROVISIONS OF THE D&FPR, PART III CHAPTER 2.

INTERIOR FINISH ON FLOORS, CORRIDORS AND EXITS SHALL BE CLASS I OR CLASS II FLAMESPREAD RATING. PROVIDE MANUFACTURER'S SPECS. (NFPA 101 SECT. 38.3.3.3)

INTERIOR FINISH ON WALLS AND CEILING IN EXITS AND CORRIDORS SHALL BE CLASS A OR B FLAMESPREAD RATING, AND IN OFFICE AREAS CLASS A, B OR C. IF FINISHES OTHER THAN DRYWALL AND PAINT ARE PROPOSED, PROVIDE MANUFACTURER'S SPECS. (NFPA 101, SECT. 38.3.3.2)

HEAT PUMP AND AC ARE ELECTRIC.

CONSTRUCTION TYPE- TYPE VB
OCCUPANCY CLASSIFICATION GROUP A2

THIS BUILDING WILL NOT BE SPRINKLERED.

GENERAL NOTES:

- DO NOT SCALE THESE DRAWINGS. (VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION.)
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION.
- THE 2012 INTERNATIONAL BUILDING CODE AS ADOPTED BY THE COUNTY OF SUSSEX DELAWARE SHALL GOVERN CONSTRUCTION OF THIS PROJECT.
- ALL DIMENSIONS ARE FROM FACE OF STUDS OR FACE OF MASONRY UNITS UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING OR DOUBLE FLOOR JOIST UNDER ALL WALLS PARALLEL TO JOISTS.
- PROVIDE SOLID BRIDGING AT MID-SPAN FOR JOISTS 10' OR GREATER IN LENGTH.
- PROVIDE DOUBLE JOISTS AROUND ALL FLOOR AND ROOF OPENINGS (UNLESS NOTED OTHERWISE).
- BOTTOM OF ALL FOOTINGS SHALL BE A MINIMUM OF 24" BELOW FINISH GRADE OR PER APPLICABLE BUILDING CODE FOR THIS PROJECT (USE GREATER OF THE TWO CONDITIONS).
- CONTRACTOR SHALL NOTIFY MISS UTILITY NOT LESS THAN 2 WORKING DAYS, BUT NOT MORE THAN 10 WORKING DAYS, PRIOR TO EXCAVATION OR DEMOLITION ON THIS PROJECT.
- ALL NEW MATERIALS SHALL BE FREE OF LEAD, ASBESTOS OR MERCURY.
- ALL ELECTRICAL WORK SHALL COMPLY WITH NFPA 70, NATIONAL FIRE CODES AND NATIONAL ELECTRIC CODE (N.E.C.).
- SHOULD ANY WORDS OR NUMBERS THAT ARE NECESSARY FOR A CLEAR UNDERSTANDING OF THE WORK BE ILLEGIBLE OR OMITTED, OR SHOULD AN ERROR OR DISCREPANCY OCCUR IN ANY OF THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOT PROCEED WITH THAT PORTION OF THE WORK UNTIL CLARIFICATION IS RECEIVED. IN THE EVENT THE CONTRACTOR PROCEEDS WITHOUT SO NOTIFYING THE ARCHITECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF CORRECTING SAME, INCLUDING ANY RESULTING DAMAGE.
- ALL DOOR HARDWARE TO BE ADA COMPATIBLE LEVER STYLE HARDWARE. ALL HARDWARE TO BE NON-KEYED FROM EGRESS SIDE.
- ALL FLOOR FINISHES TO BE CLASS 1 OR 2.
- ALL WALL/ CEILING FINISHES TO BE CLASS A,B, OR C.
- HEAT PUMP PROPOSED HVAC SYSTEM WITH DUCT SMOKE DETECTION FOR ALL UNITS WITH GREATER THAN 2000 CFM AS REQUIRED.
- GAS INFARED GAS UNIT FROM THE CEILING.

SCOPE OF WORK:
TENANT FIT-OUT USED FOR ASSEMBLY.

WIND SPEED RISK CATEGORY II- 121 MPH

USE & OCCUPANCY CLASS: (A2)

BUILDING CONSTRUCTION TYPE: VB

BUILDING DOES NOT HAVE SPRINKLER SYSTEM

MAXIMUM ALLOWABLE EXIT TRAVEL DISTANCE: 200'-0"
MAXIMUM PROPOSED EXIT TRAVEL DISTANCE: 50'-0"
MAXIMUM ALLOWABLE COMMON PATH OF TRAVEL: 75'-0"
MAXIMUM PROPOSED COMMON PATH OF TRAVEL: 50'-0"

SQUARE FOOTAGE- 2188.7 SQ FT

OCCUPANCY: ASSEMBLY GROUP (A-2)

RECEPTION AREA: 1632 SQFT./ 1 SQFT. PER OCCUPANT= 233 OCCUPANTS
REQUIRED EGRESS CAPACITY: 233 OCCUPANTS x .2" PER OCCUPANT= 46.6" (2 DOORS)
PROPOSED EGRESS CAPACITY: 180" (5 DOORS)

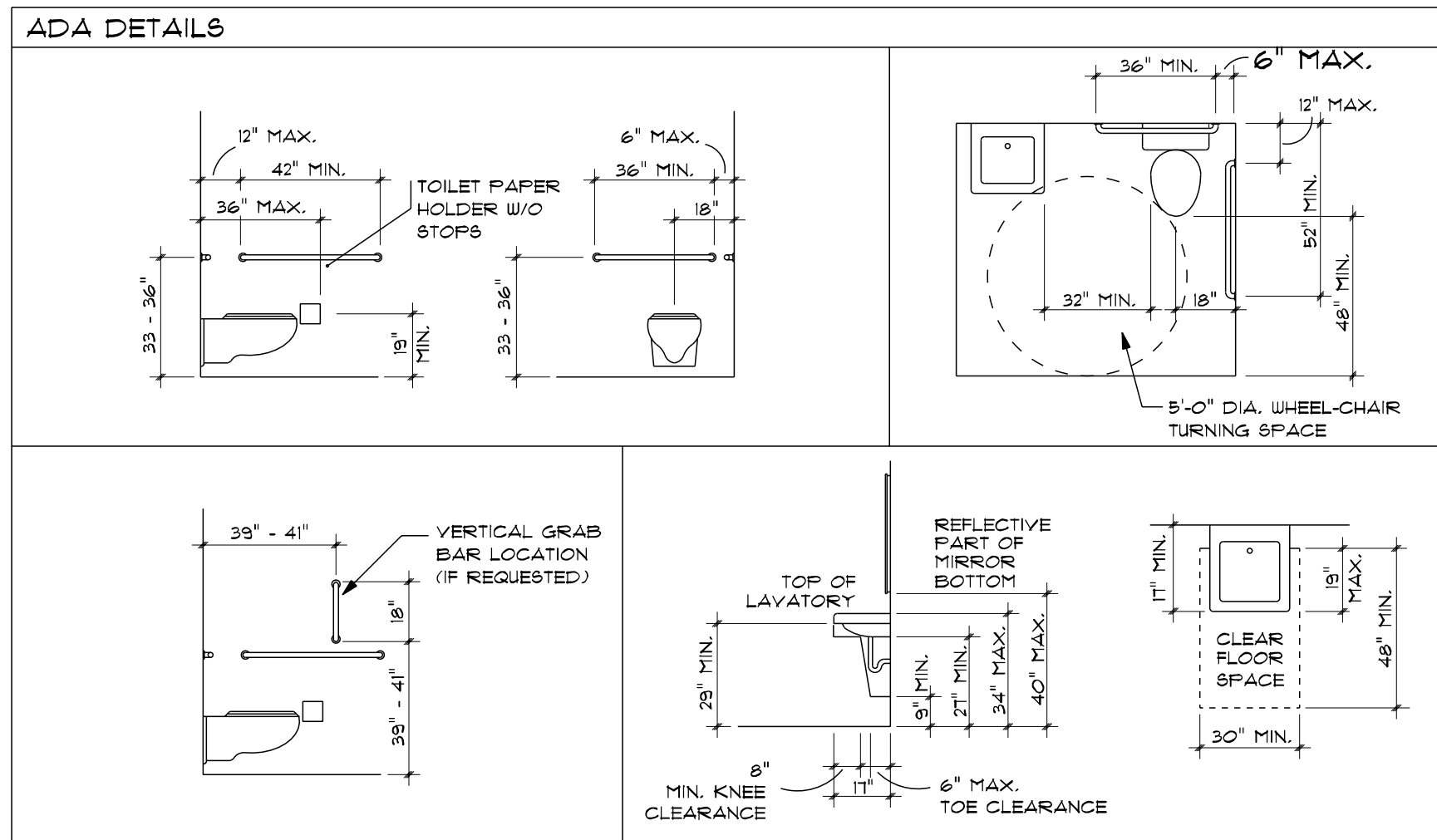
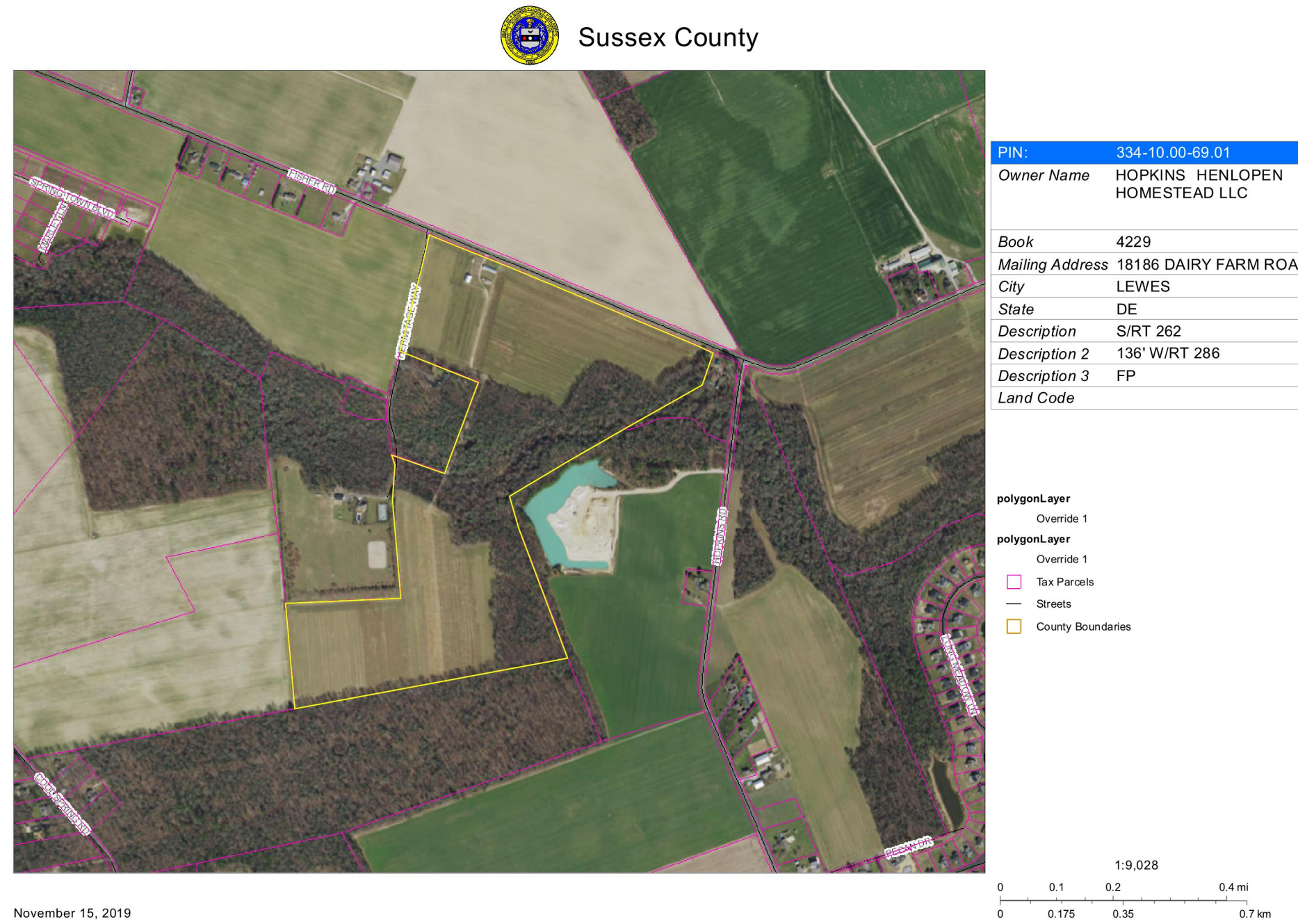


TABLE 602 FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE*

FIRE SEPARATION DISTANCE = X (feet)	TYPE OF CONSTRUCTION	OCCUPANCY GROUP H ¹	OCCUPANCY GROUP F-1, M, S-1 ²	OCCUPANCY GROUP A, B, E, F-2, I, R, S-2 ³ , U ³
X < 5 ^c	All	3	2	1
5 ≤ X < 10	IA	3	2	1
	Others	2	1	1
10 ≤ X < 30	IA, IB	2	1	1 ^d
	IIB, VB Others	1	0	0
X ≥ 30	All	0	1	0

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)

BUILDING ELEMENT	TYPE I		TYPE II		TYPE III		TYPE IV		TYPE V	
	A	B	Ad	B	Ad	B	HT	Ad	B	
Primary structural frame (see Section 202)	3a	2a	1	0	1	0	HT	1	0	
Bearing walls										
Exterior, a	3	2	1	0	2	2	2	1	0	
Interior	3a	2a	1	0	1	0	1/HT	1	0	
Nonbearing walls and partitions	See Table 602									
Exterior										
Nonbearing walls and partitions										
Interior	0	0	0	0	0	0	See Section 602.4.6	0	0	
Floor construction and associated secondary members (see Section 202)	2	2	1	0	1	0	HT	1	0	
Roof construction and associated secondary members (see Section 202)	1/2b	1b.c	1b.c	0c	1b.c	0	HT	1b.c	0	



NOTE: THE FOLLOWING DESIGNS ARE BASED ON 2012 IBC

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CONSTRUCTION DRAWING FOR THE NEW: **HONEY BEE BARN**
 FISHER ROAD
 LEWES DE 19356

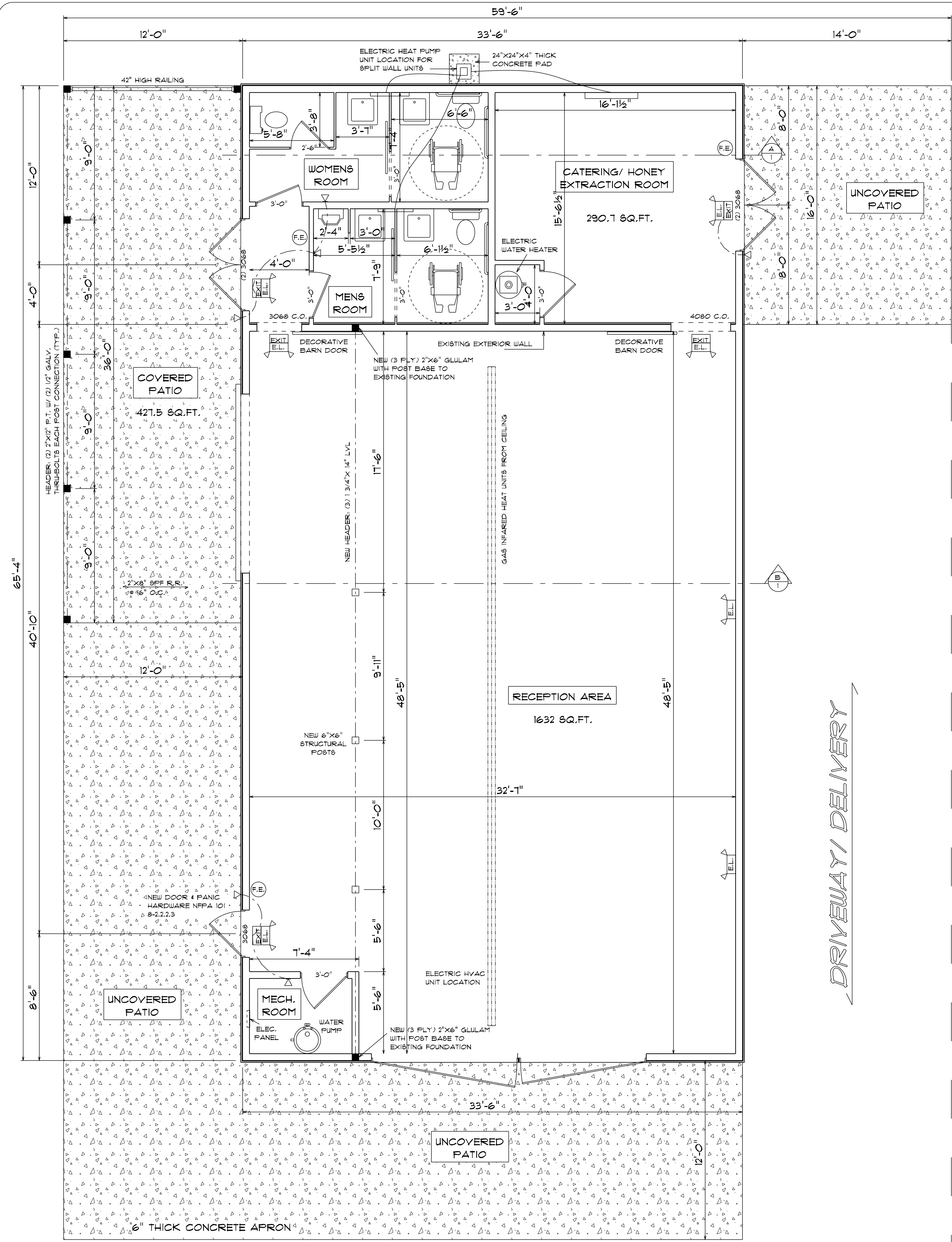
PROJECT #

SCALE 1/4" = 1'-0"

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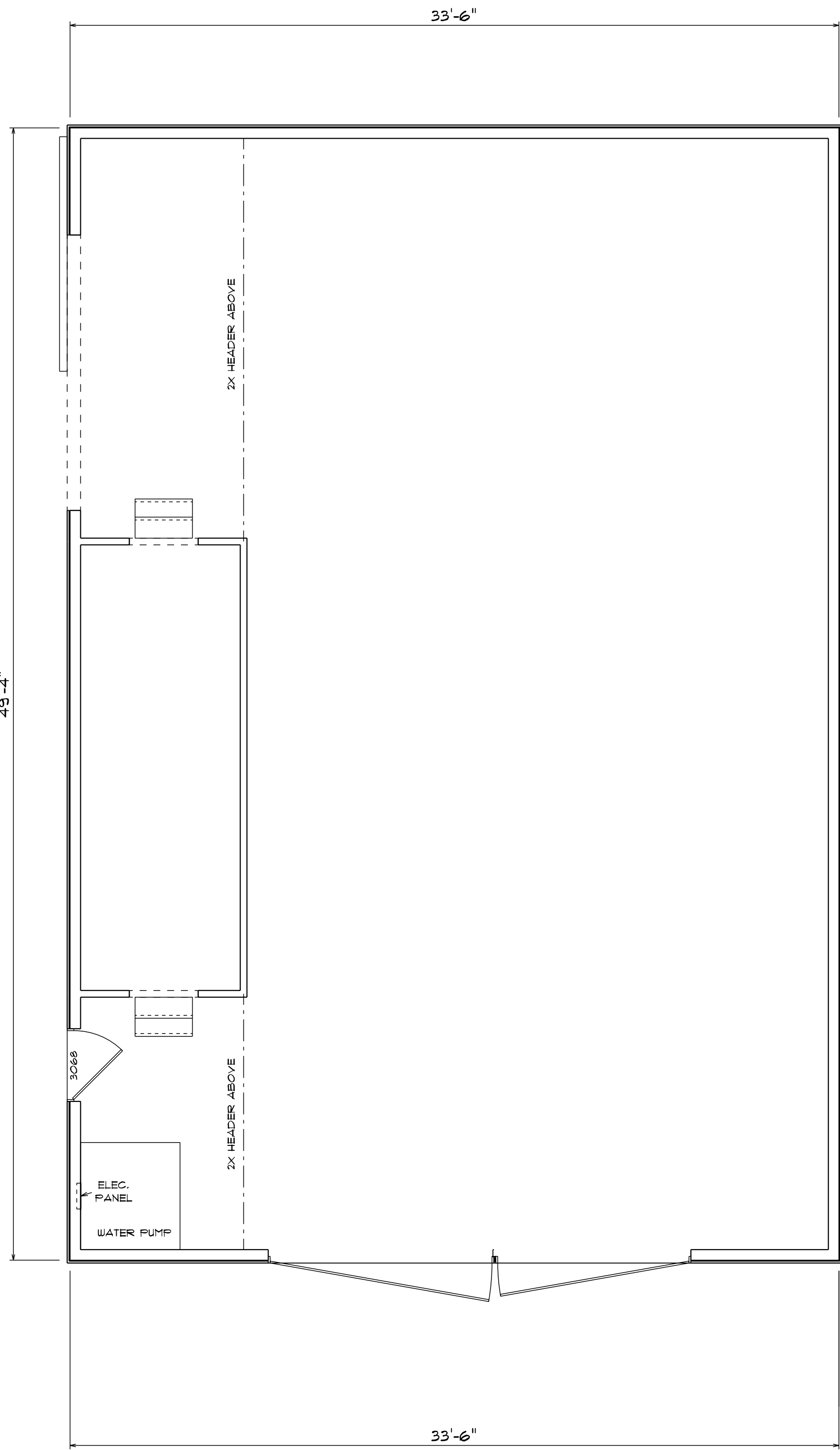
DATE:
 Tuesday, April 28, 2020

SHEET #
1



PROPOSED FLOOR PLAN (OPTION #4)

AREA SCHEDULE	
NAME	AREA
RECEPTION AREA	1631.5 sq. ft.
CATERING ROOM	290.7 sq. ft.
BATHROOM AREA	249.3 sq. ft.
COVERED PATIO	427.5 sq. ft.



EXISTING FLOOR PLAN

NOTE: THE FOLLOWING DESIGNS ARE BASED ON 2012 IBC

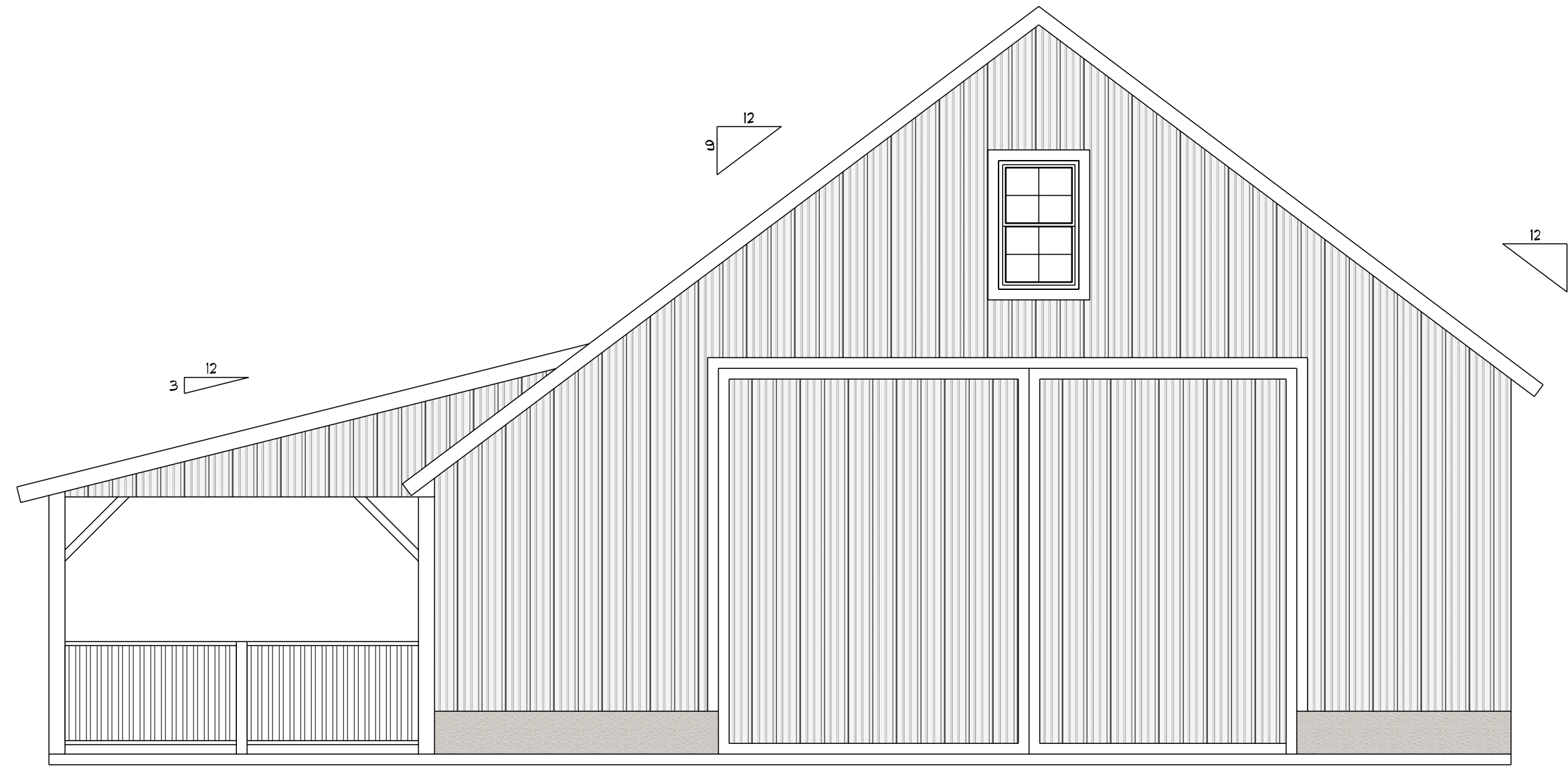
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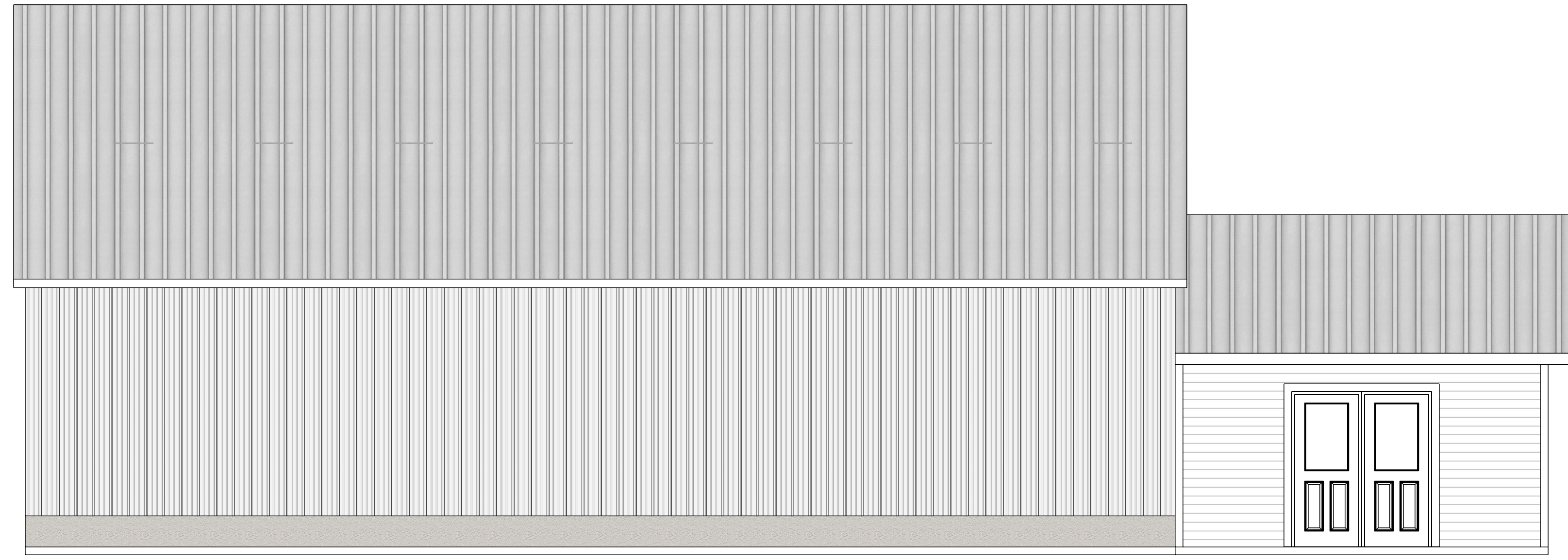
CONSTRUCTION DRAWING FOR THE NEW: HONEY BEE BARN FISHER ROAD LEWES DE FLOOR PLANS SCALE 1/4" = 1'-0"

DATE: Tuesday, April 28, 2020 SHEET # 3





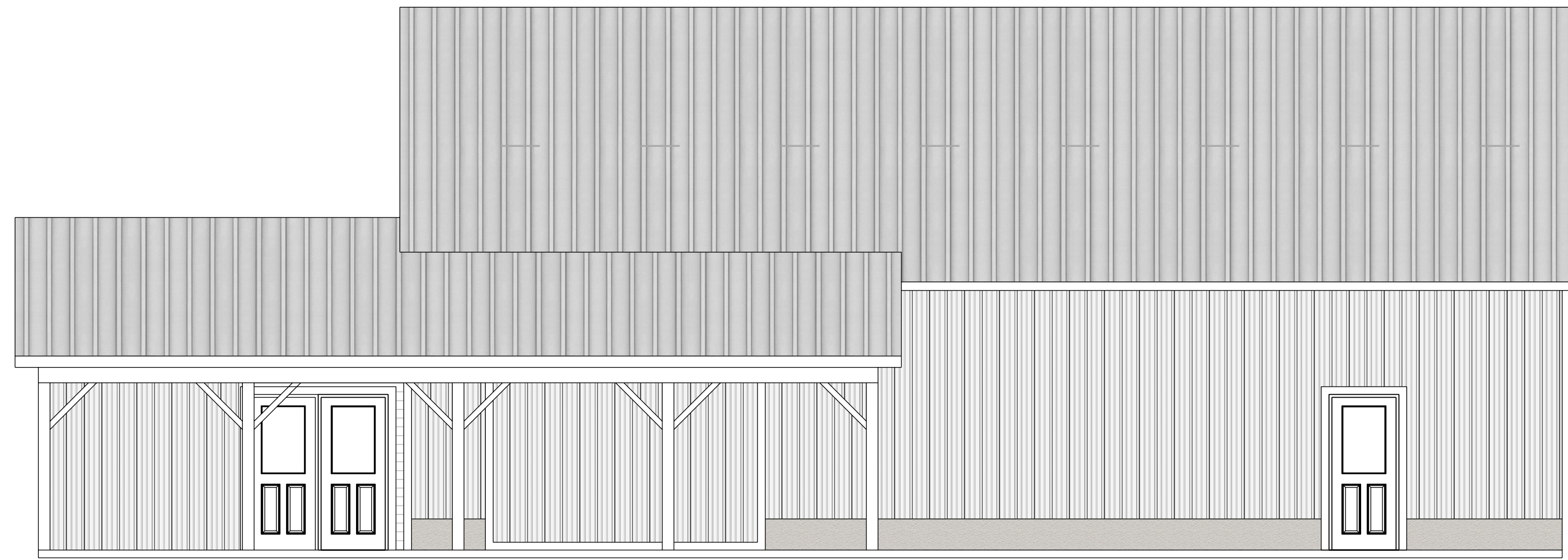
FRONT ELEVATION



RIGHT ELEVATION



BACK ELEVATION



LEFT ELEVATION

NOTE: THE FOLLOWING DESIGNS ARE BASED ON 2012 IBC

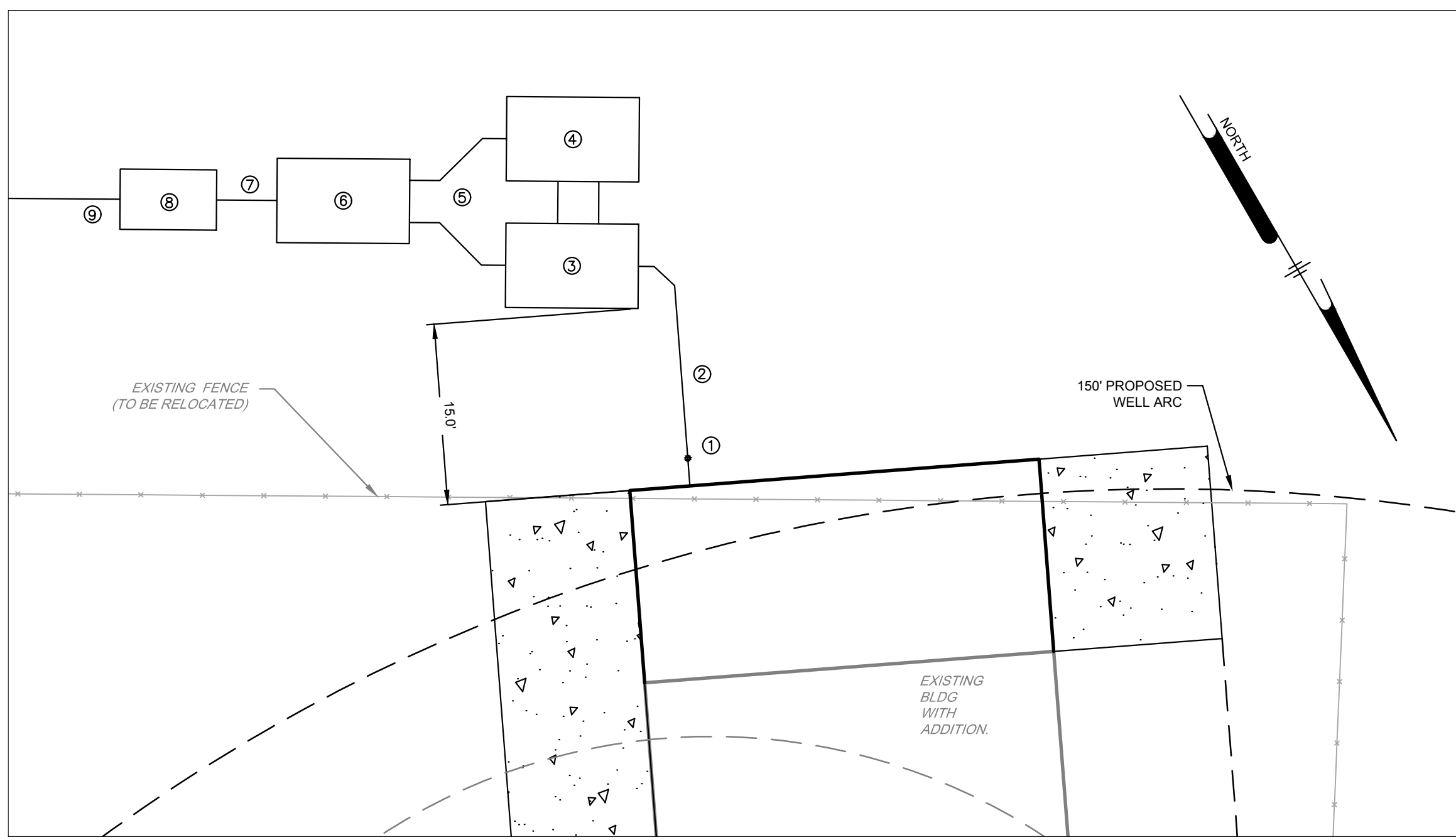
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REV. DATE:	PROJECT #	SCALE	DATE
	19356	1/4" = 1'-0"	Tuesday, April 28, 2020

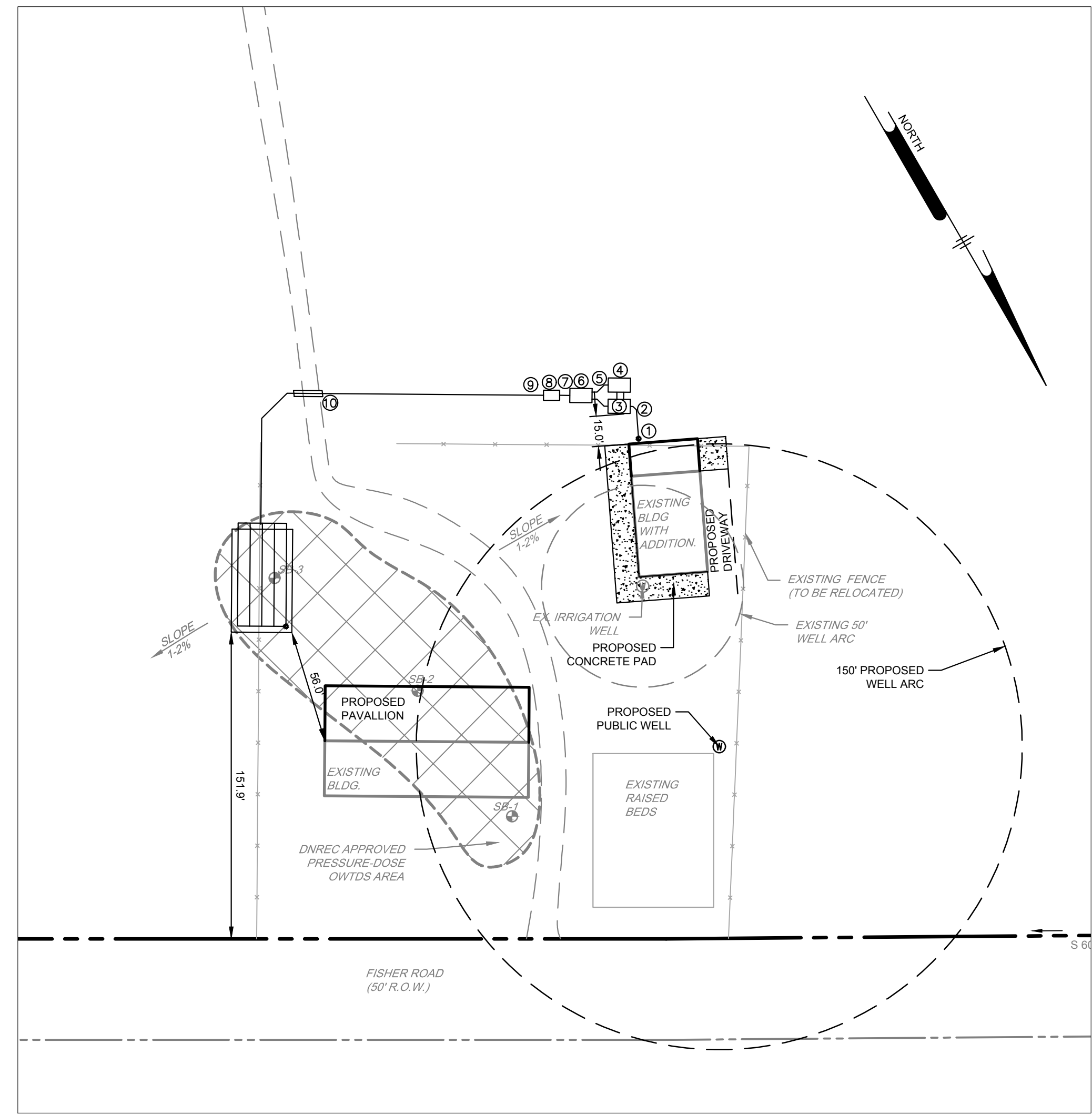
CONSTRUCTION DRAWING FOR THE NEW: **HONEY BEE BARN**
 FISHER ROAD
 LEWES DE
ELEVATIONS

PROJECT #	19356
SCALE	1/4" = 1'-0"
DATE:	Tuesday, April 28, 2020
SHEET #	2



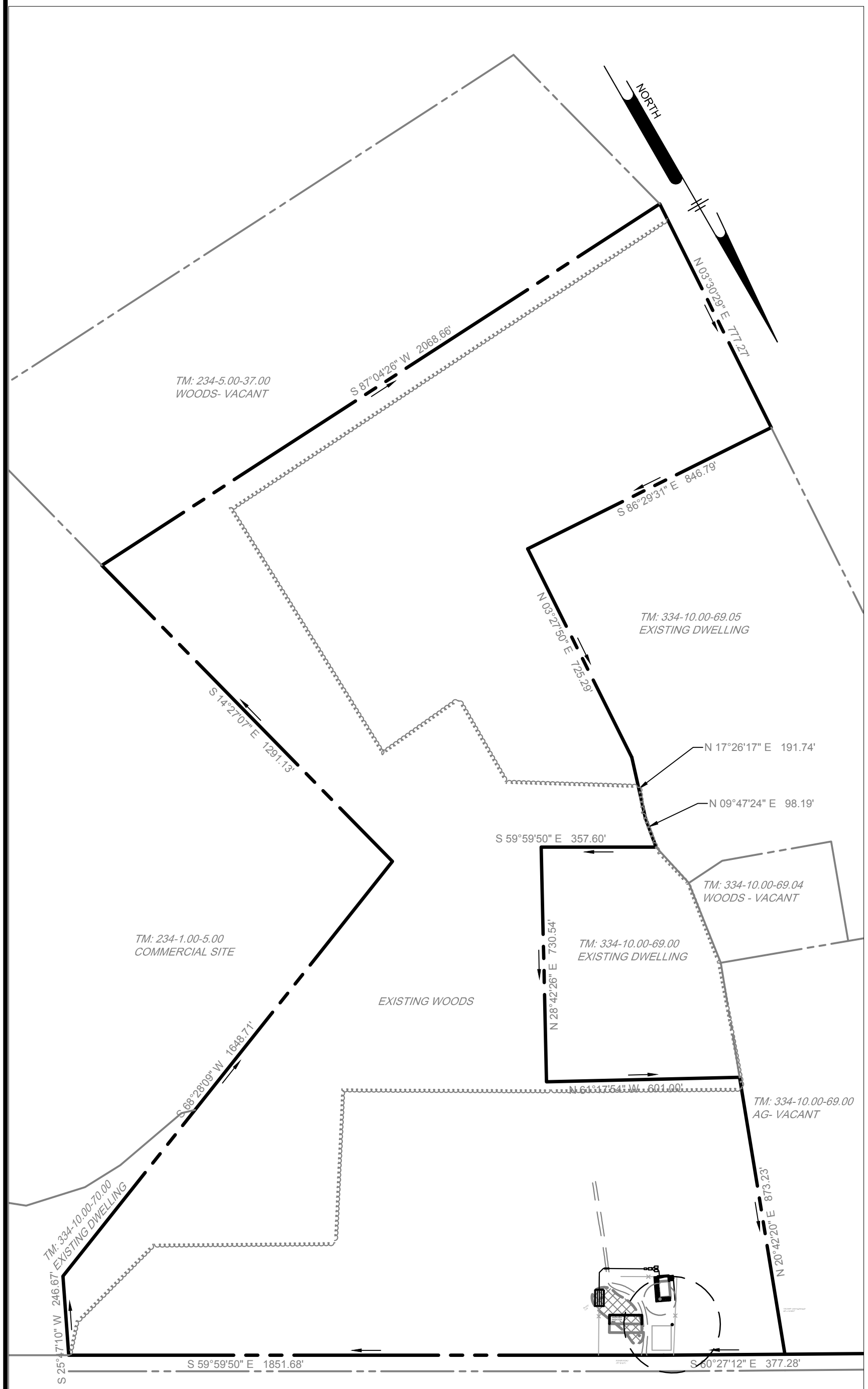
SEPTIC DETAIL
SCALE: 1" = 50'

- 1 CLEANOUT
- 2 4" BLDG SEWER (15.6' LONG)
- 3 1500 GAL SEPTIC TANK
- 4 4" SCH 40 PVC (5.0' LONG)
- 5 1500 GAL SEPTIC TANK
- 6 4" SCH 40 PVC (7.0')
- 7 1500 ESON ECOPOD GAL SEPTIC TANK
- 8 4" SCH 40 PVC (7.0')
- 9 1000 GAL DOSING CHAMBER
- 10 2" TRANSMISSION LINE (187' LONG)
- 11 3" ENCASED SLEEVE
- 12 2" MANHOLE (45.0' LONG)
- 13 TURN-UP TYP., SET HEAD @ 2.5'
- 14 1" DISTRIBUTION LATERAL (46' LONG), 5/32" HOLES 8' O.C., 5 HOLES/LATERAL (BEGIN 7' EACH END)



CONSTRUCTION PLAN
SCALE: 1" = 50'

- NOTES**
1. ALL TANKS SHALL HAVE WATERTIGHT RISERS AND SHALL EXTEND ABOVE GRADE.
 2. SEPTIC TANK SHALL HAVE AN EFFLUENT FILTER APPROVED BY DNREC.
 3. SPARE TO BE SANDLINED UPGRADE IN INITIAL AREA.
 4. TREES NEED TO BE REMOVED WITH EXTREME CARE PER DNREC GUIDELINES (COPY ATTACHED). INSTALLING A SUBSTANTIAL BARRIER AROUND THE ENTIRE PROPOSED DISPOSAL AREA WHILE LOT DEVELOPMENT IS TAKING PLACE MAY HELP TO AVOID ACCIDENTAL SOIL COMPACTION OR SYSTEM DISTURBANCE.
 5. BOLLARD NOTES
 6. SLEEVE NOTE.



OVERALL SITE PLAN
SCALE: 1" = 300'

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

TAX MAP: 334-10.00-69.01
SIRT 262 LEWES
LEWES, DE 19958

OVERALL PLAN

HOPKINS HENLOPEN HOMESTEAD LLC
C/O ROBIN GIBBONS, 2003 SAVANNAH CIRCLE
LEWES, DE 19958

NO.	DATE	REVISIONS	BY

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PROJECT	GIBBN19001
DATE	2020-01-03
DRAWN SCALE	AS SHOWN
DRAWN BY	SJD
APPROVED BY	SKC