



Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager; Lauren DeVore, Planner III; Christin Scott, Planner I; Nicholas Torrance, Planner I; Chase Phillips, Planner I; and Elliott Young, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: July 15, 2021

RE: Other Business for the July 22, 2021 Planning Commission Meeting

This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the July 22, 2021 Planning Commission meeting.

Johnsonville Subdivision (2020-20)

KS

Final Subdivision Plan

This is a Final Subdivision Plan for a revision to an existing and previously approved standard subdivision to divide 42.11 +/- acres into 32 single family lots. The property is located on the northeast and southwest sides of Lawson Road (S.C.R. 296). At their meeting of Thursday, May 27, 2021 the Planning and Zoning Commission partially approved the Preliminary Subdivision Plan. Specifically, the revision included a reduction of the Tree Conservation Easement from 100-ft in depth to 50-ft in depth to the rear of Lots 2-4 and 8-16. The Tree Conservation Easement as shown on the Revised Final Subdivision Plan approved on May 25, 2016 may now be reduced in depth by a maximum of 50-ft from that currently shown for Lots 2-4 and Lots 8-16. However, the Tree Conservation Easement shall remain unchanged for Lots 5, 6 and 7 so that hunting rights for adjoining property owners are not impacted. The Final Subdivision Plan complies with the Sussex County Zoning and Subdivision Code and all Conditions of Approval. Tax Parcels: 234-21.00-141.00, 234-21.00-394.00 through 234-21.00-425.00. Zoning District: AR-1 (Agricultural Residential District). Staff are in receipt of all agency approvals.

Marlin Chase (S-21-14 & C/U 2207)

BM

Preliminary Site Plan & Landscape Plan

This is a Preliminary Site Plan and Landscape Plan for a proposed development to consist of seventy-five (75) multifamily dwellings and associated amenities to include a pool, tot lot, pickleball courts, community garden and dog park to be located on the east side of Cedar Neck Road (Route 357), approximately 0.3 miles north of Hickman Road. Conditional Use No. 2207 was approved by the Sussex County Council at their meeting of Tuesday, April 27, 2021 subject to fifteen (15) conditions and adopted through Ordinance No. 2772. The Preliminary Site Plan complies with the Sussex County Zoning Code and all Conditions of Approval. Tax Parcels: 134-9.00-21.00, 21.03, 21.04, 21.05 & 1227.00-1269.00. Zoning District: MR-RPC (Medium Density Residential, Residential Planned Community). Staff are awaiting agency approvals.

S-20-11 H&S Properties, LLC

KS

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for the establishment of a two-story office addition to an existing one-story building. The plan proposes the relocation of a shed, 7 parking spaces, a standard



size loading space, signage, and other site improvements. Specifically, the addition is proposed to be 1,571 square feet with 1,384 square feet qualifying as floor area. This plan serves Conditional Use No. 2190 which was approved on January 7th, 2020. A previous Revised Preliminary Site Plan was presented before the Planning and Zoning Commission on June 24, 2021. This plan was denied as the parking within the front yard setback did not comply with Condition E. This revision has relocated all parking spaces out of the front yard setback and has shifted the loading space to be located within. This site is within the Henlopen Transportation Improvement District (TID) and the agreement with DelDOT has been signed. This revised plan has received all agency approvals aside from a Letter of No Objection (LONO) from DelDOT as it dependent upon a recorded agreement. The plan complies with the Sussex County Zoning Code and all Conditions of Approval. Tax Parcel: 334-5.00-212.00. Zoning District: AR-1. It is requested that this plan receive preliminary approval and final approval to be granted by staff upon the receipt DelDOT's LONO.

Peninsula – Eigteenth on the Bay Residential Planned Community (RPC)

BM

Revised Final Site Plan

This is a Revised Final Site Plan for changes to the proposed unit types and unit totals within the RPC. Specifically, the Applicant is proposing an addition of 26 single family lots, 3 six-unit detached condominiums, 1 five-unit detached condominium and 2 four-unit detached condominiums. The total number of units after improvements for the entire RPC will be 358 single family lots, 373 single family detached condominiums, 250 single family attached condominiums and 376 multifamily units. These totals meet the provisions of Ordinance No. 2690, through Change of Zone (CZ) 1883 which was approved by the Sussex County Council at their meeting of Tuesday, October 8, 2019. Condition 1 was amended to allow for the provision of up to 358 Single Family Lots total. The current Ordinance caps the number of units to a total of 1,394 units to include 358 single family lots, 388 single-family detached condominiums, 270 single family attached townhomes and 378 multifamily units. The Revised Final Site Plan Complies with the Sussex County Zoning and Subdivision Code and all Conditions of Approval. Tax Parcels: 234-30.00-313.00, 314, 315.01, 315.02, 315.03, 315.04, 315.05, 315.06, 315.07, 315.08, 315.09, 315.10, 315.12 & 315.13. Zoning: MR-RPC (Medium Density Residential, Residential Planned Community) Zoning District. Staff are in receipt of all agency approvals.

SoDel Concepts Office - Rehoboth

KS

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for the establishment of a 3-story 2,903 sq. ft. office building, parking and other site improvements. The property is located on the south west corner of Coastal Highway (Rt. 1) and Ann Avenue. The applicant is requesting a reduction in the parking requirements from 24 spaces to 12 spaces. The Applicant is also requesting to allow for all 12 spaces to be located within the front yard setback. This plan complies with the Sussex County Zoning Code. Tax Parcel: 334-20.13-27.00. Zoning: C-1 (General Commercial) Zoning District. Staff are awaiting agency approvals.

Black Hog Village (S-18-64)

KS

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for the establishment of six (6) retail buildings totaling 21,818 square feet, associated parking and additional site improvements to be located on the south side of New Road (S.C.R. 266). The Revised Preliminary Site Plan for the site was previously deferred by the Planning and Zoning Commission at their meeting of Thursday, June 24, 2021 pending additional details regarding the proposed Outdoor Stage shown on the former plans. The Applicant has since

amended the plans to remove the Outdoor Stage and has opted not to pursue the Outdoor Stage as part of the proposal. The stage that was shown on the former plans was discussed previously as a potential amenity and was conceptual only. The Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 334-5.00-76.00. Zoning: General Commercial (C-1). Staff are in receipt of all agency approvals.

Bayhealth Campus Rt. 9 (S-21-10)

KS

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for the establishment of a 48,500 square foot medical office building, 287 parking spaces and other site improvements to be located on the north west corner of Lewes Georgetown Highway (Rt. 9) and Hudson Road (S.C.R. 258). The site has an approved Change of Zone (C/Z 1866) that was approved by the Sussex County Council on February 5, 2019 through Ordinance No. 2632. The Revised Preliminary Site Plan was deferred by the Planning and Zoning Commission at their meeting of Thursday, July 8, 2021. The Revised Preliminary Site Plan was deferred in order for the applicant to provide more landscaping along Hudson Rd. (S.C.R. 258). The Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 235-27.00-11.01. Zoning: Institutional (I-1). Staff are awaiting agency approvals.

Beacon Engineering, LLC Office (S-21-16)

KH

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for the establishment of a 1,000 sq. ft. home office, parking and other site improvements to an existing home site. The property is located on the west side of Cedar Lane (S.C.R. 318). Conditional Use No. 2180 was approved by the Sussex County Council on August 13, 2019 through Ordinance No. 2675. This plan complies with the Sussex County Zoning Code and all Conditions of Approval. This plan can be considered for both Preliminary and Final approval. Tax Parcel: 133-3.00-1.00. Zoning: AR-1 (Agricultural Residential) Zoning District. Staff are in receipt of all agency approvals.

Asbury Borrow Pit (S-21-12 & C/U 2227)

KH

Preliminary Site Plan

This is a Preliminary Subdivision Plan for a 19.342 +/- acre borrow pit and other site improvements to be located on the northwest side of Asbury Road (S.C.R. 446). Conditional Use No. 2227 was approved by the Sussex County Council at their meeting of Tuesday, September 22, 2020 and adopted through Ordinance No. 2740. The Preliminary Site Plan complies with the Sussex County Zoning Code and all Conditions of Approval. Tax Parcel: 231-15.00-8.00 Zoning: AR-1 (Agricultural Residential) Zoning District. Staff are in receipt of all agency approvals.

Lands of Shady Oak DE, LLC

KH

Minor Subdivision off a 15-ft Easement

This is a Minor Subdivision Plan for the creation of two lots with one of the lots proposed off an existing driveway and proposed 15-foot wide access easement. Lot 1 is proposed off the easement and contains 1.16 acres +/- . Lot 2 will have frontage to South Old State Road (S.C.R. 213) and contains 2.26 acres +/- . Staff note that the Robins Tax Ditch will exist within both parcels, and this right-of-way currently exists 80 feet into each proposed lot as measured from the top of the bank. Staff note a marginal portion of Lot 1 is within a Wellhead Protection Area. The subject property is not located within a Transportation Improvement District. The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 135-3.00-26.03. Zoning: AR-1 (Agricultural

Residential Zoning District). Staff are in receipt of a Letter of No Objection from DelDOT and are awaiting approval from the Office of the State Fire Marshal.

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF AND APPLICABLE.

PHASING NOTES:
 PHASE 1A: LOTS 1-13, 22
 PHASE 1B: LOTS 21
 PHASE 2: LOTS 14-20
 PHASE 3: LOTS 23-32

- UPON THE APPLICATION OF THE 5TH BUILDING PERMIT WITHIN PHASE 1 & 2, THE HENRY WAY NORTH ENTRANCE IMPROVEMENTS SHALL BEGIN CONSTRUCTION.
- UPON APPLICATION OF THE 15TH BUILDING PERMIT WITHIN PHASE 1, THE HENRY WAY NORTH ENTRANCE MUST BE CONSTRUCTED UP TO THE PLACEMENT OF THE TYPE B WARM MIX. THIS SHALL INCLUDE BUT NOT BE LIMITED TO DRAINAGE (OPEN AND CLOSED), NO ADDITIONAL BUILDING PERMITS SHALL BE ISSUED UNTIL IT IS DETERMINED BY DELDOT THAT THE ENTRANCE HAS BEEN SATISFACTORY COMPLETED FOR PHASE 1.
- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, IF THE ENTRANCE HAS NOT BEEN COMPLETED AND FINAL ACCEPTANCE, THE ENTRANCE MUST BE CONSTRUCTED UP TO THE PLACEMENT OF THE TYPE B WARM MIX AND SHALL INCLUDE BUT NOT BE LIMITED TO DRAINAGE ALONG SCR 296.
- UPON THE APPLICATION OF THE 20TH BUILDING PERMIT WITHIN PHASES 1 & 2, THE HENRY WAY SOUTH ENTRANCE, AND THE ROADWAY IMPROVEMENTS SHALL BEGIN CONSTRUCTION.
- UPON APPLICATION OF THE LAST BUILDING PERMIT WITHIN PHASES 1 & 2, THE HENRY WAY SOUTH ENTRANCE, AND THE ROADWAY IMPROVEMENTS SHALL BE COMPLETELY CONSTRUCTED, FINAL INSPECTED AND ACCEPTED BY DELDOT. PHASE 3 WILL NOT BE PERMITTED TO BEGIN CONSTRUCTION UNTIL ALL ENTRANCE AND ROADWAY IMPROVEMENTS ARE COMPLETELY CONSTRUCTED, FINAL INSPECTED AND ACCEPTED BY DELDOT.
- IF ANY PHASE OF THIS DEVELOPMENT IS SOLD, IT WILL BE THE RESPONSIBILITY OF THE NEW OWNER/DEVELOPER TO MAKE AND/OR COMPLETE THE NECESSARY IMPROVEMENTS ASSOCIATED WITH THIS DEVELOPMENT, AS NOTED ON THE RECORD PLAN.

AN ADDITIONAL 5' OF RIGHT-OF-WAY WAS PREVIOUSLY DEDICATED TO THE STATE OF DELAWARE AS RECORDED IN PLOT BOOK 157 - PAGE 86 (TYP. BOTH SIDES OF ROUTE 296)

A 15' WIDE PERMANENT EASEMENT IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAN (TYP. BOTH SIDES OF RT. 296)

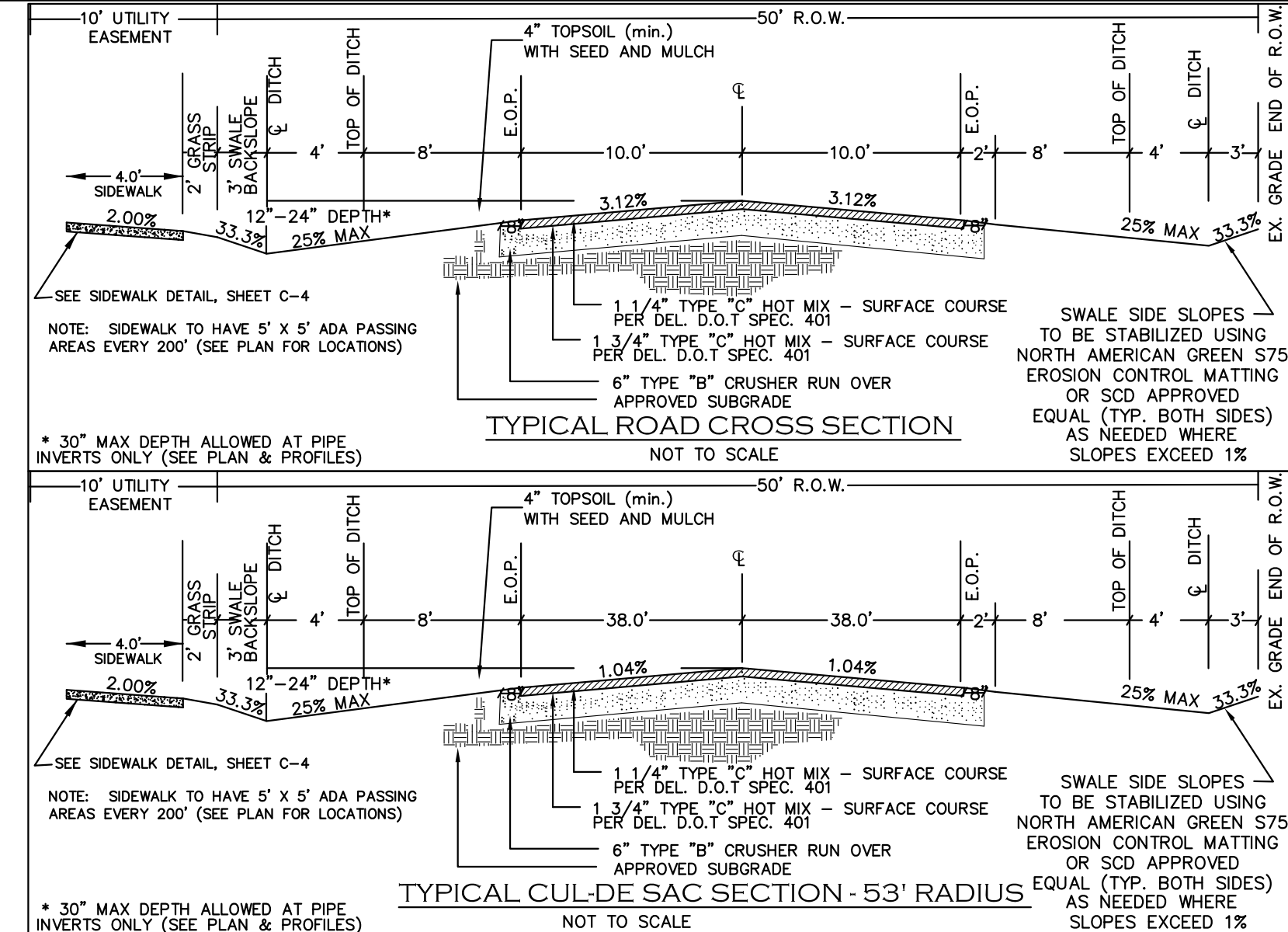
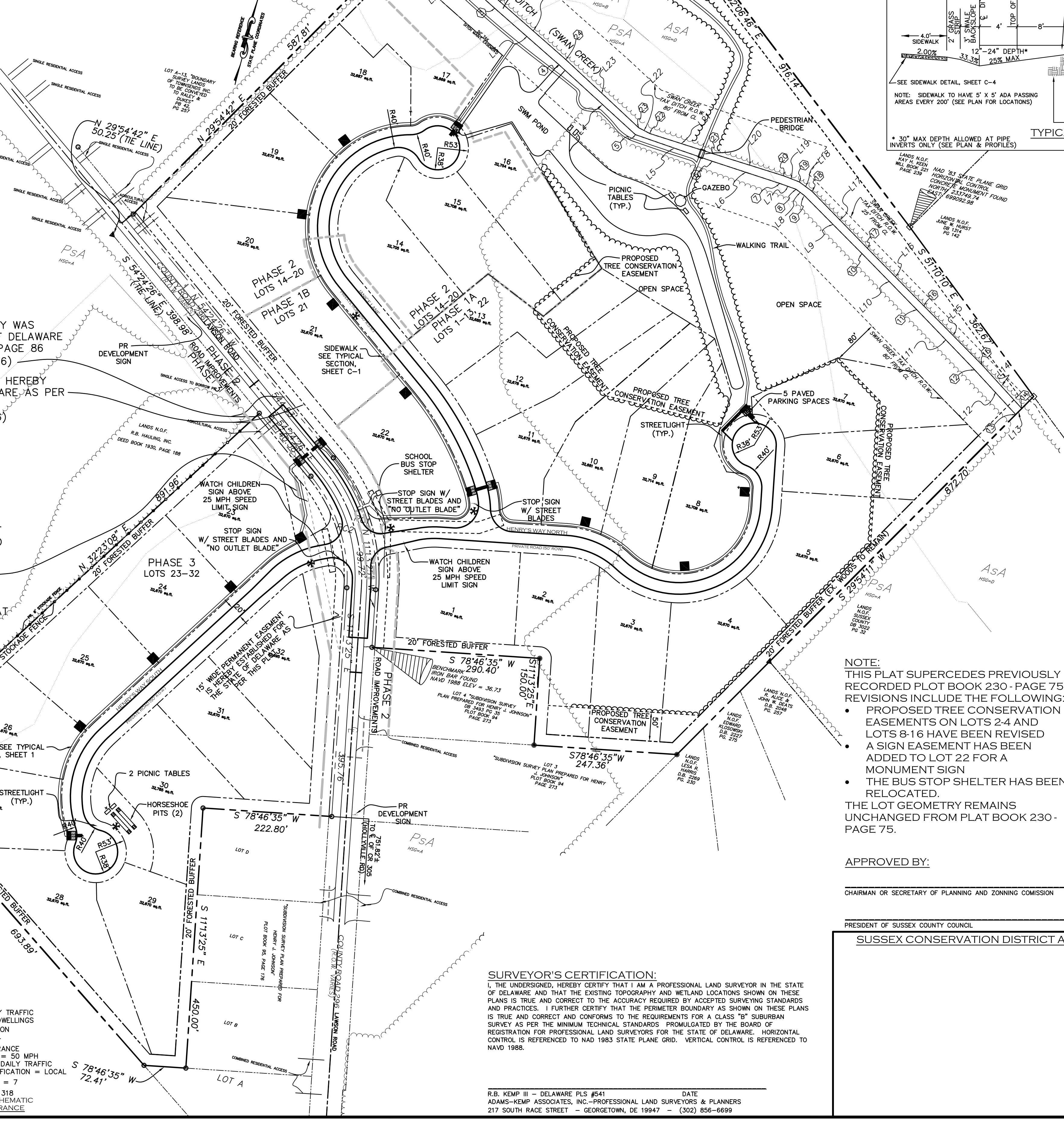
THE 15' WIDE PERMANENT EASEMENT PREVIOUSLY RECORDED IN PLOT BOOK 157 - PAGE 86 IS HEREBY ABANDONED AND RE-ESTABLISHED PER THE GEOMETRY INDICATED ON THIS PLAN

SITE AVERAGE DAILY TRAFFIC
 38 SINGLE FAMILY DWELLINGS
 ITE 9TH EDITION
 ADT = 384

CLASS "C" ENTRANCE
 POSTED SPEED LIMIT = 50 MPH
 ROAD ANNUAL AVERAGE DAILY TRAFFIC
 HIGHWAY FUNCTIONAL CLASSIFICATION = LOCAL
 TRAFFIC GROUP = 7
 2014 ADT = 318
 TRAFFIC FLOW SCHEMATIC
 ROUTE 296 ENTRANCE

RECORD PLAN AND CONSTRUCTION PLAN INDEX SHEET

REVISED	SHEET INDEX	RECORD PLAN AND CONSTRUCTION PLAN INDEX SHEET
6-17-21	C-1	RECORD PLAN
7-14-20	C-2	RECORD PLAN
7-14-20	C-3	GRADING & SWM PLAN
5-9-16	C-4	GRADING & SWM PLAN
8-29-19	C-5	ROAD & SWM PROFILES
5-9-16	C-6	ROAD & SWM PROFILES
8-29-19	C-7	CONSTRUCTION DETAILS
6-14-16	C-8	EROSION & SEDIMENT CONTROL/LANDSCAPE PLAN
7-14-20	C-9	EROSION & SEDIMENT CONTROL/LANDSCAPE PLAN
7-14-20	C-10	EROSION & SEDIMENT CONTROL DETAILS
4-8-16	C-11	POND PLANTING PLAN
4-8-16	C-12	ENTRANCE DRAINAGE PROFILES
4-8-16	C-13	SIGNAGE & STRIPING PLAN
5-9-16	CE-1	SUPERELEVATION GRADING PLAN
5-9-16	CE-2	SUPERELEVATION GRADING PLAN
5-9-16	CE-3	SUPERELEVATION PAVING PLAN
5-9-16	CE-4	SUPERELEVATION PAVING PLAN
5-9-16	CE-5	SUPERELEVATION CROSS SECTIONS
5-9-16	CE-6	SUPERELEVATION CROSS SECTIONS
5-9-16	CE-7	SUPERELEVATION CROSS SECTIONS



- NOTES:**
- FORESTED BUFFERS, STREETS, SIDEWALKS, STORMWATER MANAGEMENT FACILITIES AND OTHER COMMON AREAS SHALL BE MAINTAINED BY THE DEVELOPER UNTIL SUCH TIME AS A HOMEOWNER'S ASSOCIATION CAN PROVIDE FOR REQUIRED MAINTENANCE. SUSSEX COUNTY AND THE STATE OF DELAWARE ASSUME NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE FACILITIES WITHIN THE SITE.
 - ALL ACCESS FOR LOTS WITHIN THE SUBDIVISION SHALL BE FROM INTERNAL SUBDIVISION STREETS. NO DIRECT ACCESS FOR THE LOTS WILL BE PERMITTED FROM SCR296.
 - BASED UPON FLOOD INSURANCE RATE MAP (FIRM) NUMBER 100050325 K, DATED MARCH 16, 2015; THE ENTIRE PROPERTY IS LOCATED IN AN AREA DESIGNATED AS ZONE "X" (UNSHADED), WHICH IS AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
 - THE BOUNDARY, TOPOGRAPHIC AND WETLAND LOCATION INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM A PERIMETER SURVEY PREPARED BY ADAMS KEMP ASSOCIATES, INC. AND IS NOT THE RESULT OF A FIELD SURVEY PREPARED BY AXIOM ENGINEERING, L.L.C.
 - ALL SUBDIVISION LOTS SHALL HAVE FIVE-FOOT-WIDE EASEMENTS ALONG ALL LOT LINES FOR A TOTAL EASEMENT WIDTH OF AT LEAST TEN (10) FEET ALONG A LOT LINE COMMON TO TWO LOTS. EASEMENTS ALONG PERIMETER BOUNDARIES OF THE SUBDIVISION SHALL BE TEN (10) FEET IN WIDTH ON THE INTERIOR SIDE OF THE BOUNDARY. NO BUILDING, STRUCTURE OR OTHER PERMANENT OBSTRUCTION SHALL BE PLACED ON ANY EASEMENT.
 - THIS PLAN DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHT-OF-WAYS CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS PROVIDED.
 - ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS, SEE SHEET C-4.
 - THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PROPERTY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODOORS, THE USE OF AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
 - THE PROJECT SITE IS THE SUBJECT OF AN ON-SITE WASTEWATER DISPOSAL FEASIBILITY STUDY PREPARED BY DELAWARE ENVIRONMENTAL, INC. THE FEASIBILITY STUDY HAS RECEIVED APPROVAL FROM THE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL - WATER RESOURCES DIVISION.
 - NO LANDSCAPING SHALL BE PLACED IN THE SIGHT DISTANCE PERMANENT EASEMENT AREA.
 - ALL TRAFFIC SIGNS TO BE PLACED WITHIN THE STATE OF DELAWARE RIGHT-OF-WAY SHALL BE INSTALLED ON BREAKAWAY POSTS.
 - PORTIONS OF THE PROPERTY ARE LOCATED WITHIN THE MAINTENANCE EASEMENT FOR THE SWAN CREEK TAX DITCH TAX DITCH AND THAT THE SUBDIVISION SHOWN REPRESENTS MY ACT, AND THAT I DESIRE THE PROPERTY TO BE RECORDED AND DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES AND REGULATIONS. I HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THE APPROVED PLAN, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE LAND DISTURBING ACTIVITIES WILL HAVE A SEDIMENT AND STORMWATER MANAGEMENT CERTIFICATION FROM THE DELAWARE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL. I HEREBY AUTHORIZE THE RIGHT OF ENTRY FOR PERIODIC ON SITE INSPECTIONS BY STATE OF DELAWARE, DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL COMPLIANCE PERSONNEL AND/OR AUTHORIZED AGENTS.
 - WETLANDS DELINEATIONS WERE COMPLETED BY GEO-TECHNOLOGY ASSOCIATES, INC. AND FIELD LOCATED BY ADAMS KEMP ASSOCIATES, INC.
 - FOREST BUFFER WAS PREPARED BY FORESTRY SOLUTIONS, INC. BY TIMOTHY A KADEN, CERTIFIED FORESTER #834

NOTE:
 THIS PLAN SUPERCEDES PREVIOUSLY RECORDED PLOT BOOK 230 - PAGE 75. REVISIONS INCLUDE THE FOLLOWING:

- PROPOSED TREE CONSERVATION EASEMENTS ON LOTS 2-4 AND LOTS 8-16 HAVE BEEN REVISED
- A SIGN EASEMENT HAS BEEN ADDED TO LOT 22 FOR A MONUMENT SIGN
- THE BUS STOP SHELTER HAS BEEN RELOCATED.

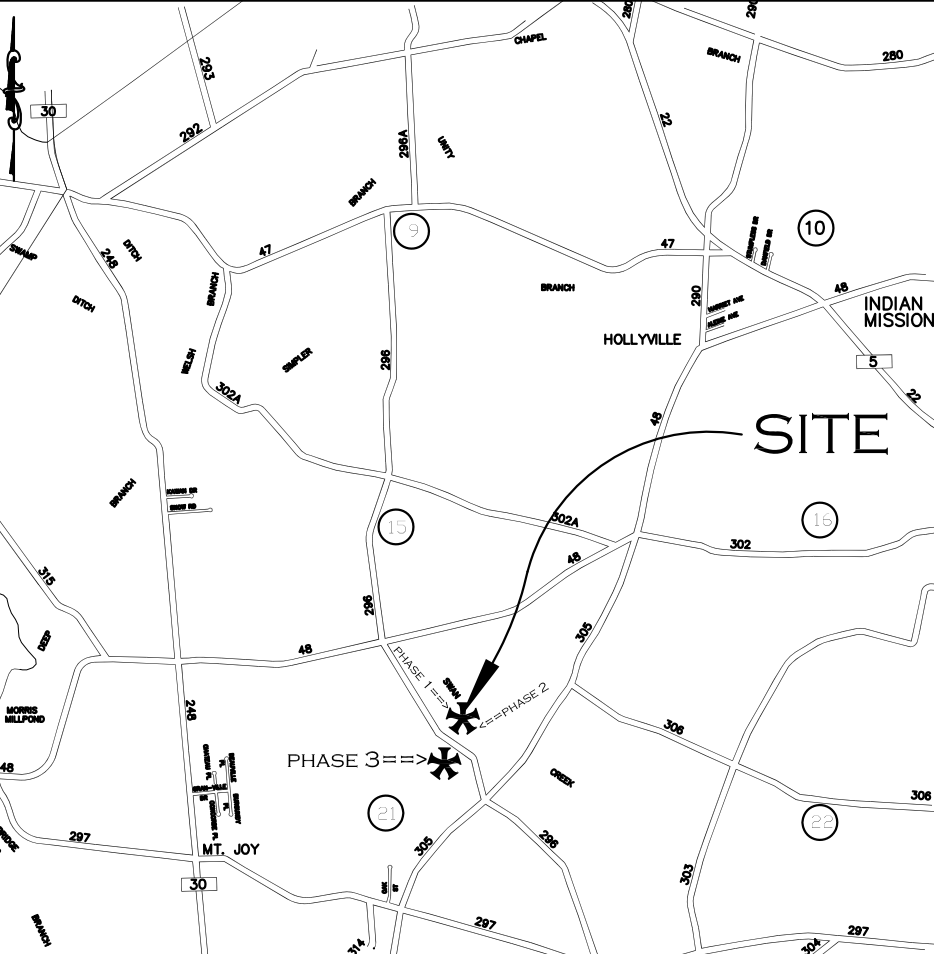
THE LOT GEOMETRY REMAINS UNCHANGED FROM PLAT BOOK 230 - PAGE 75.

APPROVED BY:
 CHAIRMAN OR SECRETARY OF PLANNING AND ZONING COMMISSION DATE
 PRESIDENT OF SUSSEX COUNTY COUNCIL DATE

SUSSEX CONSERVATION DISTRICT APPROVAL:
 DATE

SURVEYOR'S CERTIFICATION:
 I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE AND THAT THE EXISTING TOPOGRAPHY AND WETLAND LOCATIONS SHOWN ON THESE PLANS IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED SURVEYING STANDARDS AND PRACTICES. I FURTHER CERTIFY THAT THE PERIMETER BOUNDARY AS SHOWN ON THESE PLANS IS TRUE AND CORRECT AND CONFORMS TO THE REQUIREMENTS FOR A CLASS "B" SUBURBAN SURVEY AS PER THE MINIMUM TECHNICAL STANDARDS PROMULGATED BY THE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS FOR THE STATE OF DELAWARE. HORIZONTAL CONTROL IS REFERENCED TO NAD 1983 STATE PLANE GRID. VERTICAL CONTROL IS REFERENCED TO NAVD 1988.

R.B. KEMP III - DELAWARE PLS #541 DATE
 ADAMS-KEMP ASSOCIATES, INC. - PROFESSIONAL LAND SURVEYORS & PLANNERS
 217 SOUTH RACE STREET - GEORGETOWN, DE 19947 - (302) 856-6699



SITE DATA

PROPOSED USE	DETACHED SINGLE FAMILY DWELLINGS
EXISTING ZONING	AR-1
PROPOSED ZONING	AR-1
TOTAL AREA	42.11 AC.
LOTS PERMITTED	32
LOTS PROPOSED	32
DENSITY	0.76 DU./AC.
REQUIRED LOT SIZE (MIN.):	
WIDTH	100'
DEPTH	100'
AREA	32,670 SQ. FT. (0.50 AC.)
REQUIRED SETBACKS (MIN.):	
FRONT	30'
SIDE	15'
REAR	20'
WATER SUPPLY	INDIVIDUAL LOT WELLS
SEWER DISPOSAL	INDIVIDUAL LOT SEPTIC SYSTEMS

SITE DATA - PHASE 1 (LOTS 1-10) & PHASE 2 (LOTS 11-22):

TOTAL AREA	31.62 AC.
LOT AREA	17,842 AC.
AREA IN FOREST CONSERVATION	7,734 AC.
STREET R.O.W. AREA	2,352 AC.
DELDOT DEDICATION	2,102 AC.
COMMON AREA (SWM & OPEN SPACE)	11,332 AC.
404 WETLANDS	0.432 AC.
FOREST TO REMAIN	0.902 AC.
FOREST BUFFER TO BE PLANTED	0.872 AC.
STORMWATER MANAGEMENT	0.282 AC.
BIKE PATH EASEMENT	1.062 AC.
OTHER OPEN SPACE	

PHASE 3 (LOTS 23-32):

TOTAL AREA	10.49 AC.
LOT AREA	7,502 AC.
R.O.W. AREA	1,045 AC.
DELDOT DEDICATION	0.092 AC.
COMMON AREA (SWM & OPEN SPACE)	1,862 AC.
PLANTED FOREST BUFFER	1.322 AC.
STORMWATER MANAGEMENT	0.112 AC.
BIKE PATH EASEMENT	0.232 AC.
RECREATION AREA	0.292 AC.

SOILS INFORMATION:

- Asa - Askewsky loamy sand, 0 to 2 percent slopes
- Psa - Pepperbox-Rosedale complex, 0 to 2 percent slopes
- Uba - Udorthents, borrow area, 0 to 5 percent slopes
- Hua - Hurlock loamy sand, 0 to 2 percent slopes

ENGINEER'S CERTIFICATION:
 I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THE PLAN SHOWN AND DESCRIBED HEREON OTHER THAN THE PROPERTY BOUNDARY, WETLANDS LOCATION AND EXISTING TOPOGRAPHY, IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED PROFESSIONAL STANDARDS AND PRACTICES AND BY THE SUSSEX COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO THE EXTENT THAT IT DESCRIBES THE BEARINGS AND DISTANCES OF SUBDIVIDED LOTS.

KENNETH R. CHRISTENBURY, P.E. - DE. LICENSE NO. 11553 DATE

OWNER'S CERTIFICATION:
 I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED ON THIS PLAN, AND THAT THE SUBDIVISION SHOWN REPRESENTS MY ACT, AND THAT I DESIRE THE PROPERTY TO BE RECORDED AND DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES AND REGULATIONS. I HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THE APPROVED PLAN, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE LAND DISTURBING ACTIVITIES WILL HAVE A SEDIMENT AND STORMWATER MANAGEMENT CERTIFICATION FROM THE DELAWARE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL. I HEREBY AUTHORIZE THE RIGHT OF ENTRY FOR PERIODIC ON SITE INSPECTIONS BY STATE OF DELAWARE, DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL COMPLIANCE PERSONNEL AND/OR AUTHORIZED AGENTS.

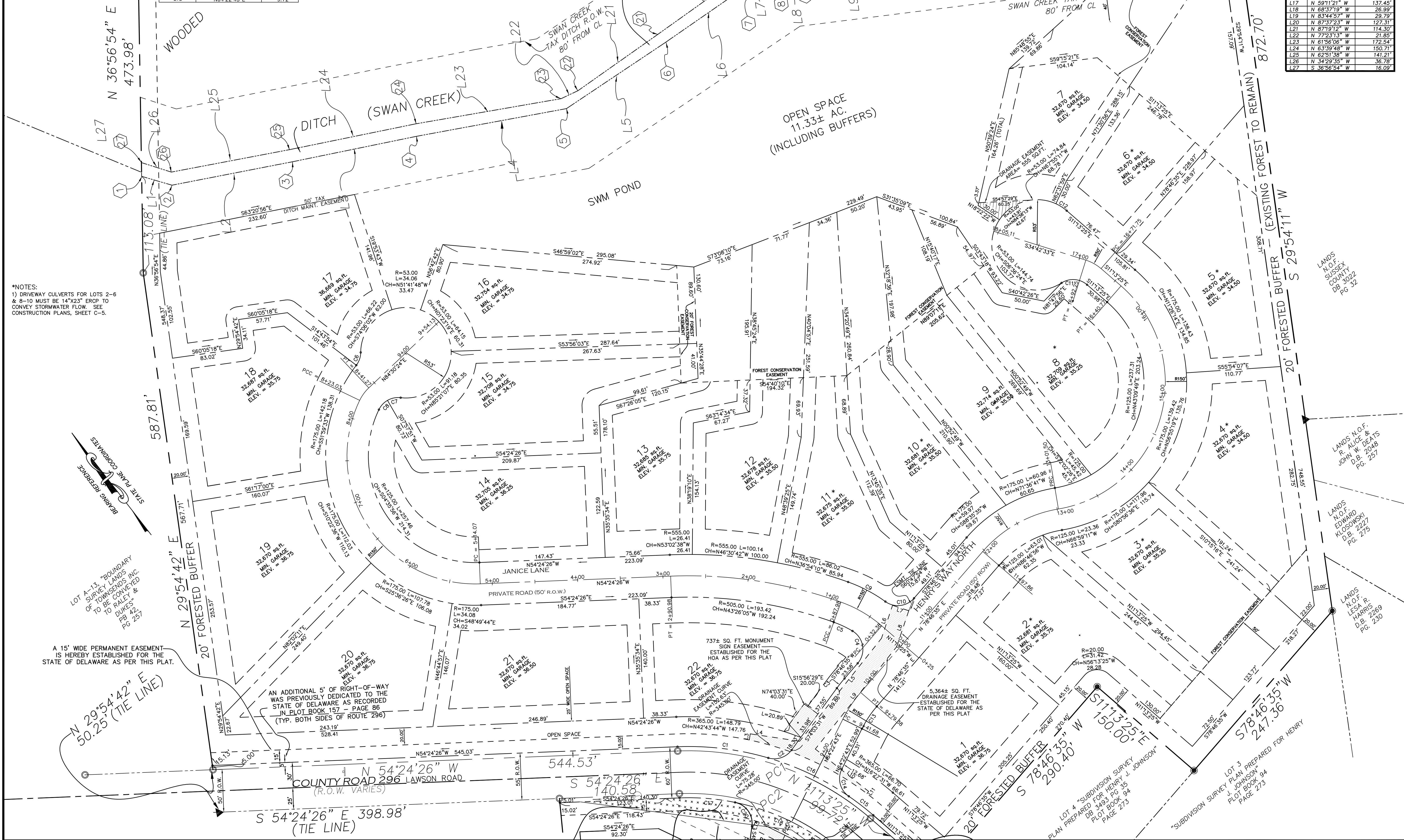
ASHBURN AT JOHNSONVILLE, LLC - C/O JORDAN ASHBURN DATE
 872 WALKER ROAD, SUITE A OF PAVEMENT
 DOVER, DE 19904
 302-363-1026 JORDANASHBURN@GMAIL.COM

LEGEND

EX. PROPERTY LINE	IRON PIPE FOUND
PROPOSED SUBDIVISION LINE	CONCRETE MONUMENT FOUND
EX. ADJACENT PROPERTY LINES	IRON BAR FOUND
WETLANDS FLAG NUMBER	IRON BAR SET
EX. 404 WETLANDS	FEMA FLOODPLAIN BOUNDARY
EX. MINOR CONTOUR	STATE (TIDAL) WETLANDS
EX. MAJOR CONTOUR	PR. CONTOUR
EX. BUILDING RESTRICTION LINES	PR. BUILDING RESTRICTION LINES
EX. ROAD CENTERLINE	PR. ROAD CENTERLINE
EX. EASEMENT	PR. EASEMENT
EX. BUILDING	PR. 5'x5' ADA SIDEWALK PASSING AREA
EX. SWALE	PR. SWALE
EX. SIDEWALK	PR. SIDEWALK W/ DETECTABLE WARNINGS AT EDGE OF PAVEMENT
EX. CURB	PR. CURB
EX. STORM SEWER	PR. STORM SEWER CL
EX. SANITARY SEWER	PR. SANITARY SEWER
EX. WOODS LINE	PR. WOODS SEWER
EX. WATER LINE	PR. WATER LINE
EX. WELL	PR. WELL
EX. TRAFFIC SIGN	EX. ELECTRIC LINES UTILITIES
EX. ZONING BOUNDARY	EX. UTILITY POLES/LIGHT POLES
EX. FENCE	PROPOSED LIGHT POLES
EX. SPOT ELEVATION	PARKING SPACE COUNTS
PR. DELDOT ENTRANCE PAVING	PR. SPOT ELEVATION
PR. ROTOMILL 1 1/4" & OVERLAY	PROPOSED DRAINAGE FLOW
SOIL BORING	ROCK OUTLET PROTECTION
TEST PIT	CONSTRUCTION ENTRANCE
EX. STREAM	LIMIT OF DISTURBANCE
DRAINAGE DIVIDES	SILT FENCE
TIME OF CONCENTRATION	

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO AND APPLICANT.

LINE TABLE			CURVE TABLE				CURVE TABLE			
LINE	BEARING	DISTANCE	CURVE	LENGTH	RADIUS	CHORD	CURVE	LENGTH	RADIUS	CHORD
L1	S64°22'43"W	8.04'	C1	107.62'	330.00'	N 45°03'54" W 107.14'	C14	35.74'	25.00'	S 23°25'37" W 32.77'
L2	N46°24'50"E	7.25'	C2	30.64'	25.00'	S 70°49'55" E 28.76'	C15	36.29'	330.00'	N 14°22'27" W 36.27'
L3	S43°35'10"E	58.55'	C3	14.41'	175.00'	S 76°25'03" W 14.41'	C16	104.81'	330.00'	N 26°37'25" W 104.37'
L4	N76°22'28"E	153.97'	C4	43.70'	25.00'	N 28°42'06" E 38.34'	C17	65.36'	270.00'	N 47°28'20" W 65.20'
L5	N59°24'03"E	40.84'	C5	24.19'	125.00'	N 28°55'04" W 24.16'	C18	125.78'	270.00'	N 27°11'29" W 124.65'
L6	S33°35'57"E	20.00'	C6	16.13'	25.00'	N 56°47'14" E 15.85'	C19	14.50'	270.00'	N 12°18'25" W 14.50'
L7	S56°24'03"W	44.37'	C7	16.00'	25.00'	N 63°41'56" E 15.73'	C20	37.54'	25.00'	N 02°28'51" E 34.11'
L8	S76°22'28"W	153.27'	C8	14.99'	25.00'	S 80°47'05" W 14.77'	C21	17.88'	25.00'	N 13°46'22" W 17.50'
L9	S13°37'32"E	79.74'	C9	49.43'	175.00'	N 24°22'13" W 49.27'	C22	28.62'	25.00'	S 58°44'20" E 27.09'
L10	S75°05'19"W	3.22'	C10	37.06'	25.00'	S 58°45'03" E 33.76'	C23	33.24'	125.00'	S 40°00'14" W 33.14'
L11	N59°24'16"W	21.28'	C11	32.12'	25.00'	N 48°01'56" W 29.96'	C24	36.56'	125.00'	S 56°00'02" W 36.43'
L12	S64°22'43"W	9.89'	C12	15.03'	53.00'	N 19°20'43" W 14.98'	C25	44.41'	25.00'	N 64°44'01" W 38.80'
L13	N25°37'17"W	75.01'	C13	31.41'	125.00'	S 71°34'39" W 31.33'				
L14	N64°22'43"E	9.72'								
L15	N64°22'43"E	9.72'								



*NOTES:
1) DRIVEWAY CULVERTS FOR LOTS 2-6 & 8-10 MUST BE 14"X23" ERCP TO CONVEY STORMWATER FLOW. SEE CONSTRUCTION PLANS, SHEET C-5.

LOT A-13, "BOUNDARY OF SURVEY LANDS INC. TO BE CONVEYED TO DALE, DUKES, & COMPANY, P.C. DB 3022 PG. 257"

A 15' WIDE PERMANENT EASEMENT IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAN.

AN ADDITIONAL 5' OF RIGHT-OF-WAY WAS PREVIOUSLY DEDICATED TO THE STATE OF DELAWARE AS RECORDED IN PLOT BOOK 157 - PAGE 86 (TYP. BOTH SIDES OF ROUTE 296)

WATERS OF THE U.S.		
LINE	BEARING	DISTANCE
L17	S 35°50'23" E	37.03'
L18	S 63°06'36" E	143.87'
L19	S 63°41'54" E	147.72'
L20	S 62°34'40" E	178.93'
L21	S 85°53'02" E	139.69'
L22	S 86°50'21" E	123.12'
L23	S 85°17'06" E	30.05'
L24	S 68°12'23" E	17.61'
L25	S 59°47'40" E	141.71'
L26	S 59°20'51" E	135.53'
L27	S 58°52'18" E	143.93'
L28	S 57°37'13" E	104.79'
L29	N 29°54'11" E	14.73'
L30	N 57°19'09" W	101.92'
L31	N 59°38'05" W	142.66'
L32	N 59°24'30" W	139.49'
L33	N 59°11'21" W	137.45'
L34	N 68°37'19" W	26.99'
L35	N 83°44'57" W	29.79'
L36	N 87°37'23" W	127.31'
L37	N 87°19'12" W	114.30'
L38	N 77°23'13" W	21.85'
L39	N 61°56'06" W	172.54'
L40	N 63°39'48" W	150.71'
L41	N 62°51'38" W	141.21'
L42	N 34°29'35" W	36.78'
L43	S 36°56'54" W	16.09'

RECORD PLAN
JOHNSONVILLE SUBDIVISION
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

AXIOM
ENGINEERING L.L.C.
18 CHESTNUT STREET
GEORGETOWN, DE 19947
PH: 302-855-0810
FAX: 302-855-0811
E-MAIL: AXIOM@AXIOM.COM
WEB: WWW.AXIOM.COM

ENGINEER: KRC
DESIGNER: KRC
DRAFTER: KRC
CHECKED BY: KRC
DATE: 8/15/08
TAX MAP: 2-34-21-141
SCALE: 1" = 50'
WARNING: IF THIS BAR DOES NOT MEASURE 1" NOT TO SCALE



PROJECT NO: 0040-0601
DRAWING: C-2
SHEET: 2 OF 13

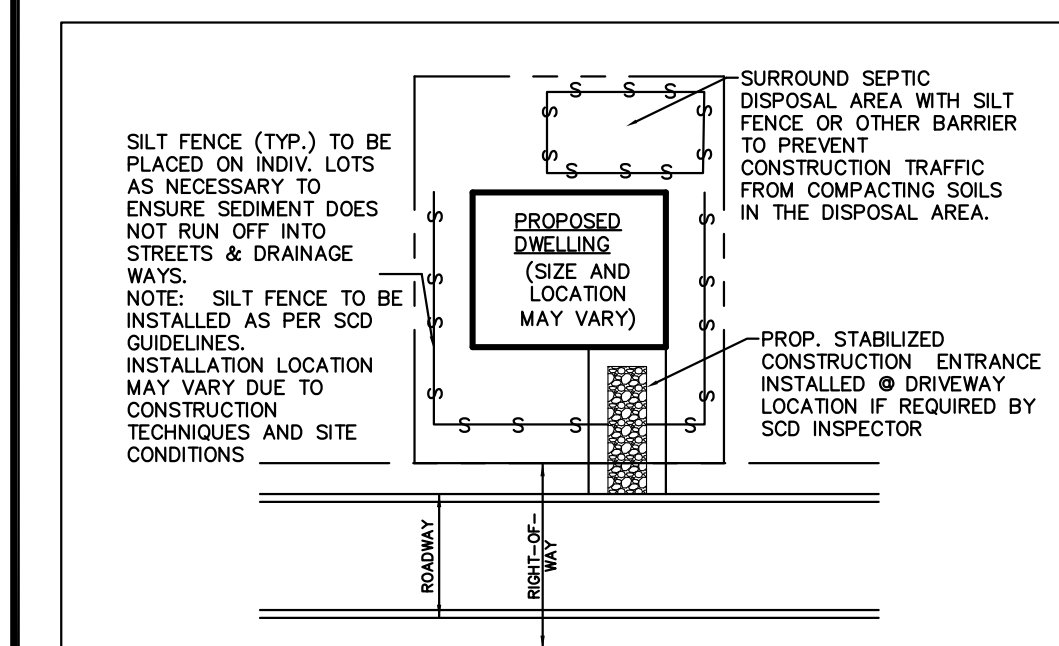
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREON AND APPURTENANT.

PAGE 00
ROUTE 296)
N 54°24'26" W
O.A.D. 296 LAWSON ROAD
(VARIES)
398.98'

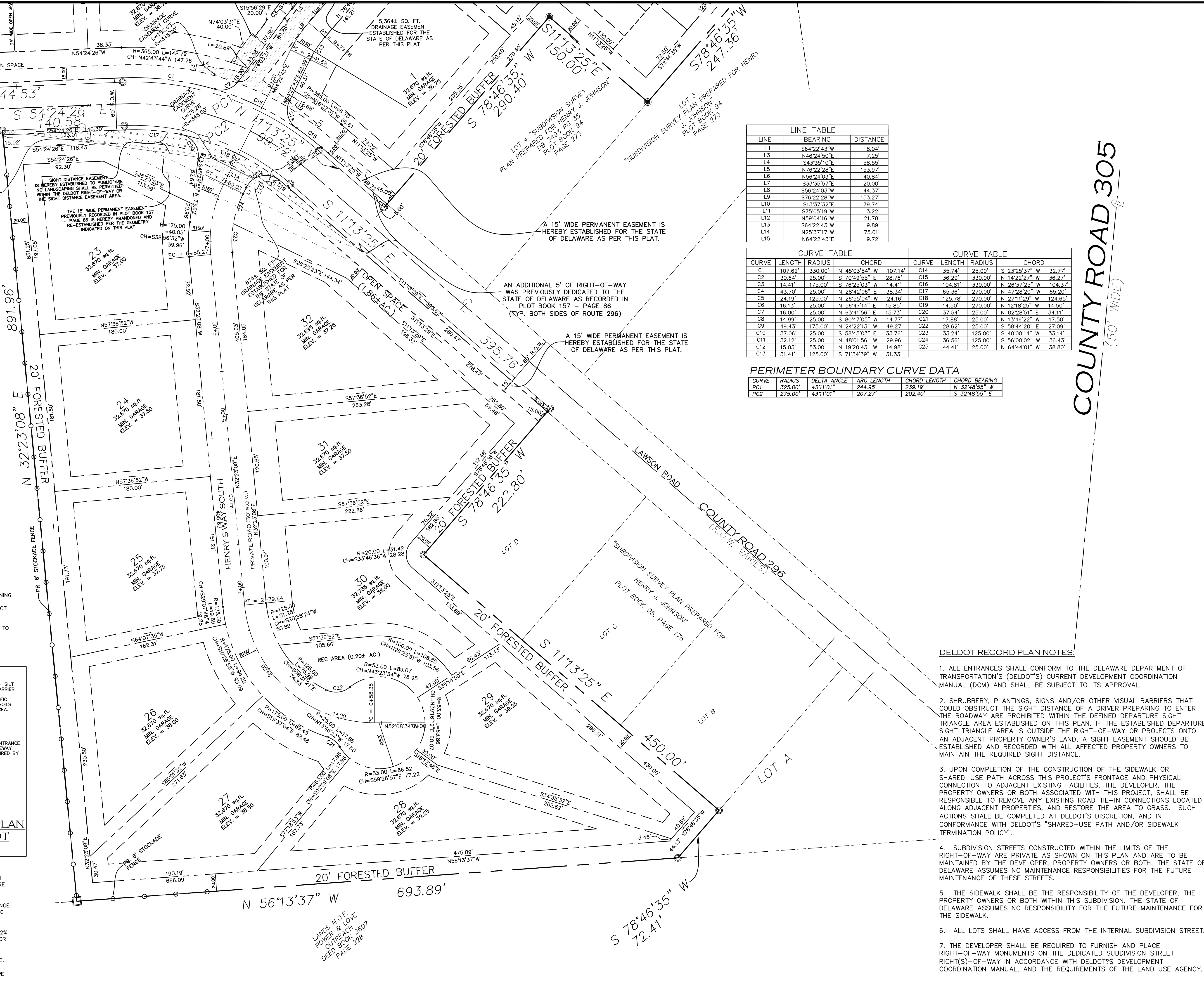
A 15' WIDE PERMANENT EASEMENT IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT.

LANDS N.O.F.
R.B. HAULING, INC.
DEED BOOK 1830, PAGE 188

LANDSCAPE NOTE:
ANY CHANGES TO THE FORESTED BUFFER SHALL BE SUBMITTED TO THE DELAWARE DEPARTMENT OF AGRICULTURE (302) 698-4500 & THE PLANNING AND ZONING COMMISSION FOR REVIEW AND APPROVAL. LANDSCAPE BUFFER ALONG THE ROUTE 296 FRONTAGE SHALL BE SUBJECT TO SIGHT DISTANCE REVIEW BY THE DELAWARE DEPARTMENT OF TRANSPORTATION. ALL LANDSCAPING SHALL BE MAINTAINED BY THE DEVELOPER UNTIL A HOMEOWNERS ASSOCIATION HAS BEEN ESTABLISHED TO PROVIDE REQUIRED MAINTENANCE.



LOT GRADING NOTES:
1) NO LOT GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN SHEETS SHALL OCCUR BEFORE DNREC APPROVAL OF AN ON-SITE WASTEWATER DISPOSAL (SEPTIC) SITE EVALUATION.
2) CONTRACTOR TO SURROUND APPROVED DISPOSAL AREA WITH SILT FENCE OR OTHER DNREC APPROVED BARRIER TO PREVENT CONSTRUCTION TRAFFIC FROM COMPACTING SOILS IN THE PROPOSED DISPOSAL AREA.
3) MIN. FIRST FLOOR ELEVATIONS REFER TO LOWEST FINISHED FLOOR OR GARAGE ELEVATION, WHICHEVER IS LOWER. MINIMUM GRADES REFLECT A 2% SLOPE FROM THE TOP OF ROAD-SIDE SWALE BANK TO THE FINISHED FLOOR AT THE FRONT SETBACK LINE PLUS 0.50'. IF PROPOSED DWELLINGS ARE PLACED FURTHER THAN 30' FROM THE FRONT PROPERTY LINE, A HIGHER FIRST FLOOR ELEVATION MAY BE REQUIRED TO ENSURE POSITIVE DRAINAGE.
4) IN AREAS WHERE FALSE BERMS HAVE BEEN CONSTRUCTED ALONG SUBDIVISION ROADS, FRONT YARDS SHOULD BE FILLED TO ENSURE POSITIVE DRAINAGE.



LINE TABLE

LINE	BEARING	DISTANCE
L1	S64°22'43"W	8.04'
L2	N44°24'50"E	7.25'
L3	S43°35'10"E	58.55'
L4	N76°22'28"E	153.97'
L5	N56°24'03"E	40.84'
L6	S33°35'57"E	20.00'
L7	S56°24'03"W	44.37'
L8	S76°22'28"W	153.27'
L9	S13°37'32"E	79.74'
L10	S75°05'19"W	3.22'
L11	N59°04'16"W	21.78'
L12	S64°22'43"W	9.89'
L13	N25°37'17"W	75.01'
L14	N64°22'43"E	9.72'

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C1	107.62'	330.00'	N 45°03'54" W 107.14'	S 23°25'37" W 32.77'
C2	30.84'	25.00'	S 70°49'55" E 28.76'	S 14°22'27" W 36.27'
C3	14.41'	175.00'	S 76°25'03" W 14.41'	N 26°37'25" W 104.37'
C4	43.70'	25.00'	N 28°42'06" E 38.34'	N 47°28'20" W 65.20'
C5	24.19'	125.00'	N 26°55'04" E 24.16'	N 27°11'29" W 124.65'
C6	16.13'	25.00'	N 56°47'14" E 15.85'	N 12°18'25" W 14.50'
C7	16.00'	25.00'	N 63°41'56" E 15.73'	N 02°28'51" E 34.11'
C8	14.99'	25.00'	S 80°47'05" W 14.77'	N 13°46'22" W 17.50'
C9	49.43'	175.00'	N 24°22'13" W 49.27'	S 58°14'20" E 27.09'
C10	37.06'	25.00'	S 58°45'03" E 33.76'	S 40°00'14" W 33.14'
C11	32.12'	25.00'	N 48°01'56" W 29.96'	S 56°00'02" W 36.43'
C12	15.03'	53.00'	N 19°20'43" W 14.98'	S 32°48'55" E
C13	31.41'	125.00'	S 71°34'39" W 31.33'	

PERIMETER BOUNDARY CURVE DATA

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD LENGTH	CHORD BEARING
PC1	325.00'	43°11'01"	244.95'	239.19'	N 32°48'55" W
PC2	275.00'	43°11'01"	207.27'	202.40'	S 32°48'55" E

- DELDOT RECORD PLAN NOTES:**
- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
 - SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
 - UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S "SHARED-USE PATH AND/OR SIDEWALK TERMINATION POLICY".
 - SUBDIVISION STREETS CONSTRUCTED WITHIN THE LIMITS OF THE RIGHT-OF-WAY ARE PRIVATE AS SHOWN ON THIS PLAN AND ARE TO BE MAINTAINED BY THE DEVELOPER, PROPERTY OWNERS OR BOTH. THE STATE OF DELAWARE ASSUMES NO MAINTENANCE RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
 - THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE FOR THE SIDEWALK.
 - ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION STREET.
 - THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS ON THE DEDICATED SUBDIVISION STREET RIGHT(S)-OF-WAY IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL, AND THE REQUIREMENTS OF THE LAND USE AGENCY.

NO.	DATE	BY	DESCRIPTION
1	08/15/08	KRC	DESIGNER
2	08/15/08	KRC	DRAWN
3	08/15/08	KRC	CHECKED
4	08/15/08	KRC	DATE
5	08/15/08	KRC	TAX MAP
6	08/15/08	KRC	SCALE
7	08/15/08	KRC	WARNING
8	08/15/08	KRC	NOT MEASURED
9	08/15/08	KRC	NOT TO SCALE

RECORD PLAN
JOHNSONVILLE SUBDIVISION
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

AXIOM ENGINEERING L.L.C.
18 CHESTNUT STREET
GEORGETOWN, DE 19947
PH: 302-852-0810
FAX: 302-852-0811
E-MAIL: AXIOM@AXIOM.COM
WEB: WWW.AXIOM.COM

ENGINEER: KRC
DRAFTER: KRC
CHECKED BY: KRC
DATE: 8/15/08
TAX MAP: 2-34-21-141
SCALE: 1" = 50'
WARNING: 1/2" IF THIS BAR DOES NOT MEASURE 1" IS NOT TO SCALE

PROJECT NO: 0040-0601
DRAWING: C-3
SHEET: 3 OF 13

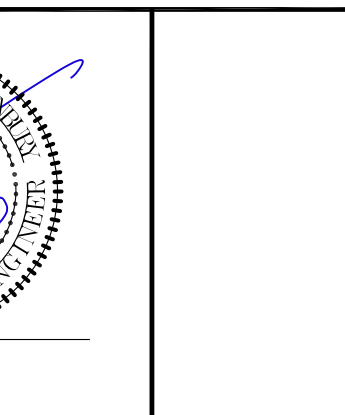
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EROSION AND SEDIMENT CONTROL PLAN
JOHNSONVILLE SUBDIVISION
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

AXIOM ENGINEERING L.L.C.
 18 CHESTNUT STREET
 GEORGETOWN, DE 19947
 (302) 855-0810
 FAX: 855-0812
 E-MAIL: AXIOM@AXENG.COM
 WEB: WWW.AXENG.COM

PROJECT NO:
0040-0601
 DRAWING:
C-10
 SHEET:
10 OF 13

ENGINEER: KRC
 DESIGNER: KRC
 DRAFTER: KRC
 CHECKED BY: KRC
 DATE: 8/15/08
 TAX MAP: 2-34-21, 141
 SCALE: 1" = 50'



WARNING
 1" IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF AND APPURTENANT.

LOT A-13, "BOUNDARY SURVEY LANDS OF TOWNSEDS INC. TO BE CONVEYED TO RALEY & DUKES" PB 42, PG 257

SINGLE RESIDENTIAL ACCESS

SINGLE RESIDENTIAL ACCESS

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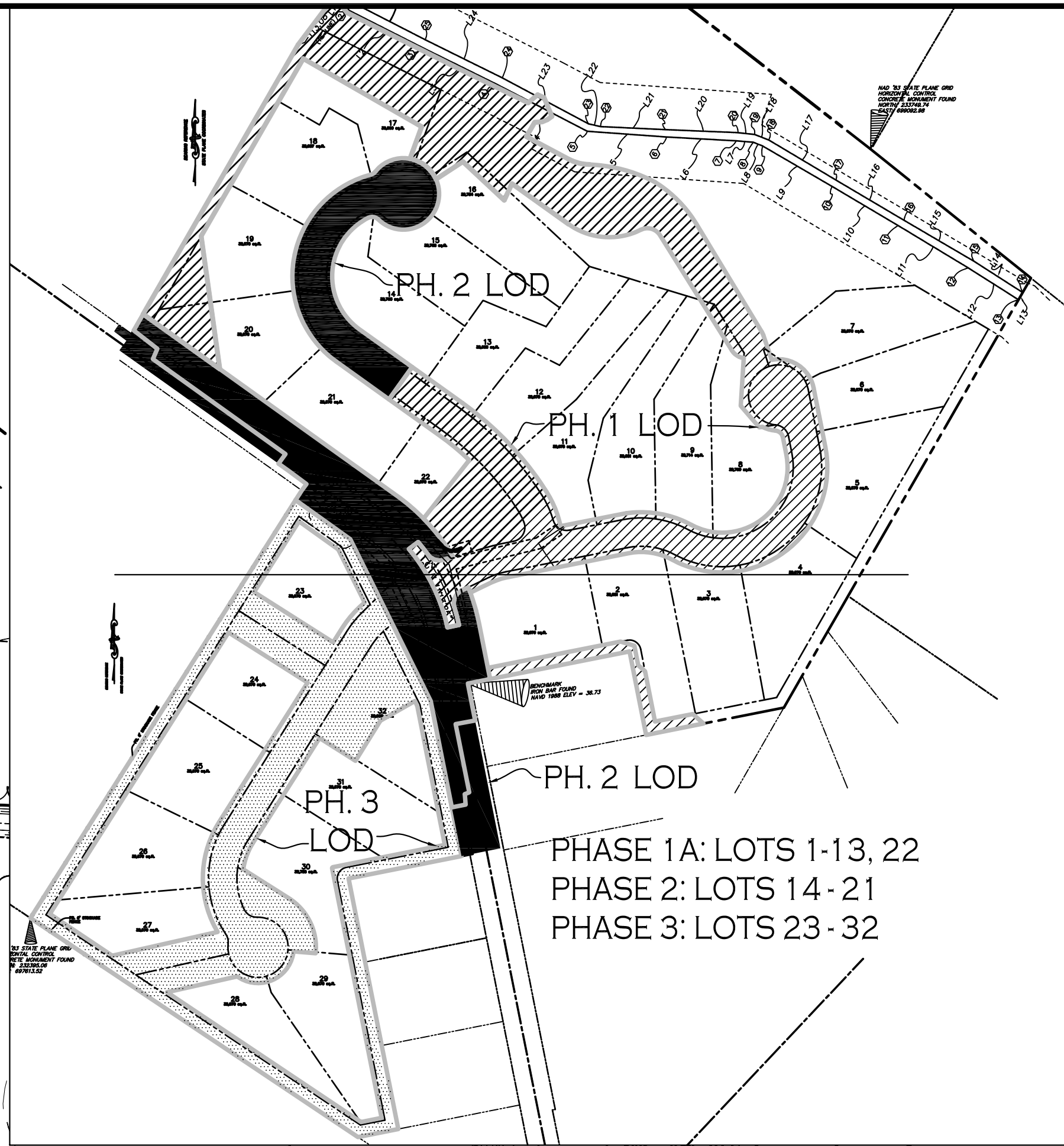
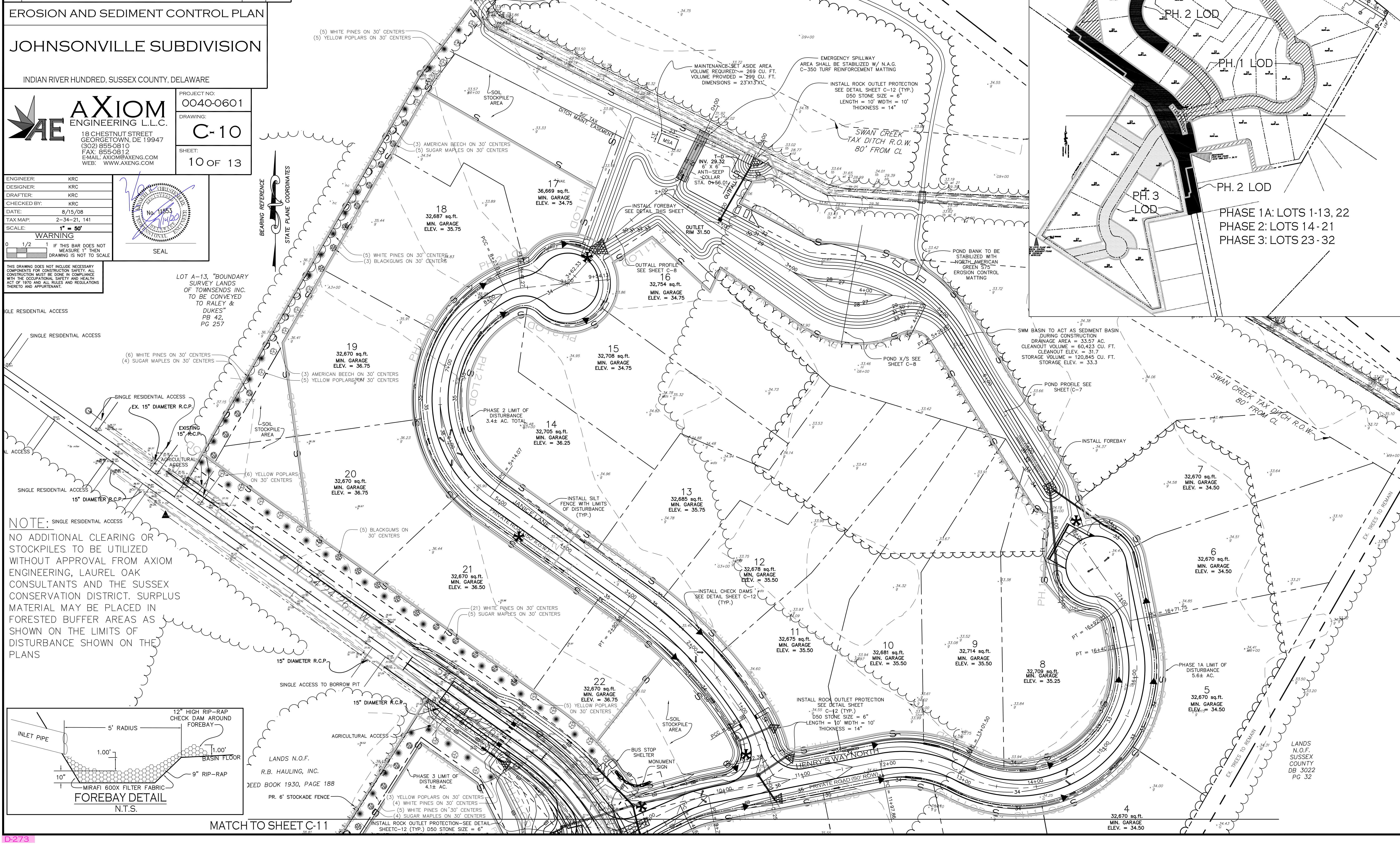
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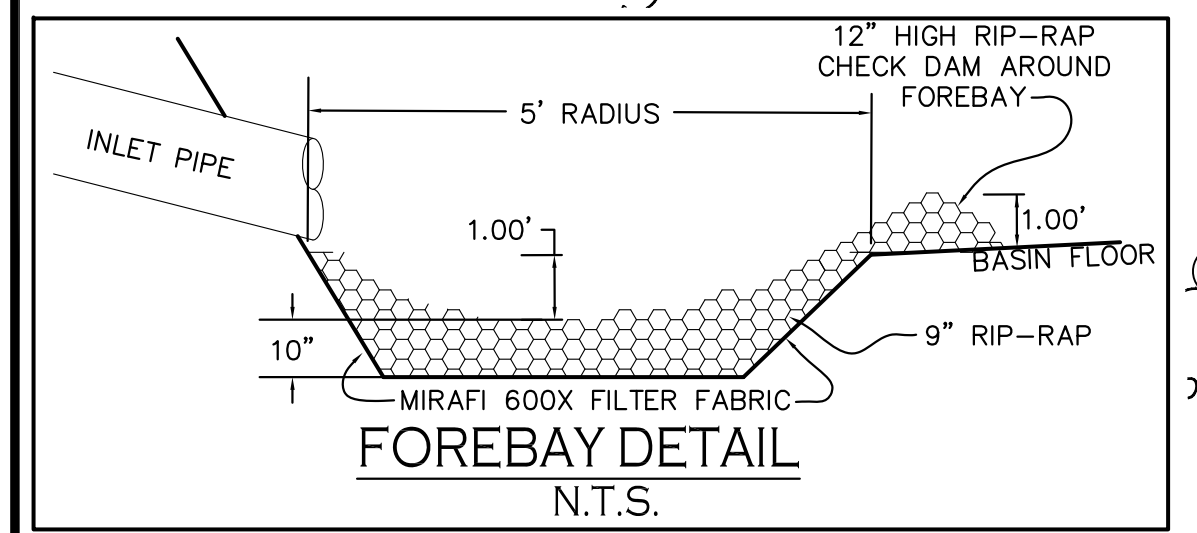
SINGLE RESIDENTIAL ACCESS

TREE LEGEND & TOTALS

- WHITE PINE (129)
- SUGAR MAPLE (50)
- AMERICAN BEECH (22)
- BLACKGUM (37)
- YELLOW POPLAR (61)



NOTE:
 NO ADDITIONAL CLEARING OR STOCKPILES TO BE UTILIZED WITHOUT APPROVAL FROM AXIOM ENGINEERING, LAUREL OAK CONSULTANTS AND THE SUSSEX CONSERVATION DISTRICT. SURPLUS MATERIAL MAY BE PLACED IN FORESTED BUFFER AREAS AS SHOWN ON THE LIMITS OF DISTURBANCE SHOWN ON THE PLANS



MATCH TO SHEET C-11

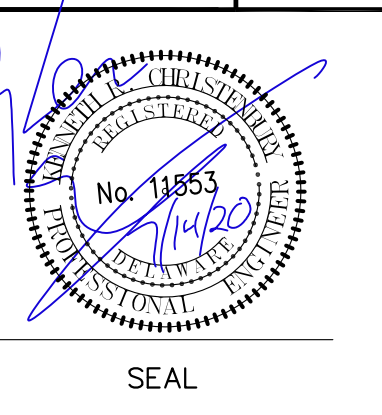
REV	DESCRIPTION OF REVISION	REVISED BY/DATE	CHECKED BY/DATE
18	REVISION FOR COMMENTS	KRC 7/14/20	KRC 7/14/20
17	REVISION FOR COMMENTS	KRC 7/14/20	KRC 7/14/20
16	REVISION FOR COMMENTS	KRC 7/14/20	KRC 7/14/20
15	REVISION FOR COMMENTS	KRC 7/14/20	KRC 7/14/20
14	REVISION FOR COMMENTS	KRC 7/14/20	KRC 7/14/20
13	REVISION FOR COMMENTS	KRC 7/14/20	KRC 7/14/20
12	REVISION FOR COMMENTS	KRC 7/14/20	KRC 7/14/20
11	REVISION FOR COMMENTS	KRC 7/14/20	KRC 7/14/20
10	REVISION FOR COMMENTS	KRC 7/14/20	KRC 7/14/20
9	REVISION FOR COMMENTS	KRC 7/14/20	KRC 7/14/20
8	REVISION FOR COMMENTS	KRC 7/14/20	KRC 7/14/20
7	REVISION FOR COMMENTS	KRC 7/14/20	KRC 7/14/20
6	REVISION FOR COMMENTS	KRC 7/14/20	KRC 7/14/20
5	REVISION FOR COMMENTS	KRC 7/14/20	KRC 7/14/20
4	REVISION FOR COMMENTS	KRC 7/14/20	KRC 7/14/20
3	REVISION FOR COMMENTS	KRC 7/14/20	KRC 7/14/20
2	REVISION FOR COMMENTS	KRC 7/14/20	KRC 7/14/20
1	REVISION FOR COMMENTS	KRC 7/14/20	KRC 7/14/20

EROSION AND SEDIMENT CONTROL PLAN
JOHNSONVILLE SUBDIVISION
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

AXIOM ENGINEERING L.L.C.
 18 CHESTNUT STREET
 GEORGETOWN, DE 19947
 (302) 855-0810
 FAX: 855-0812
 E-MAIL: AXIOM@AXENG.COM
 WEB: WWW.AXENG.COM

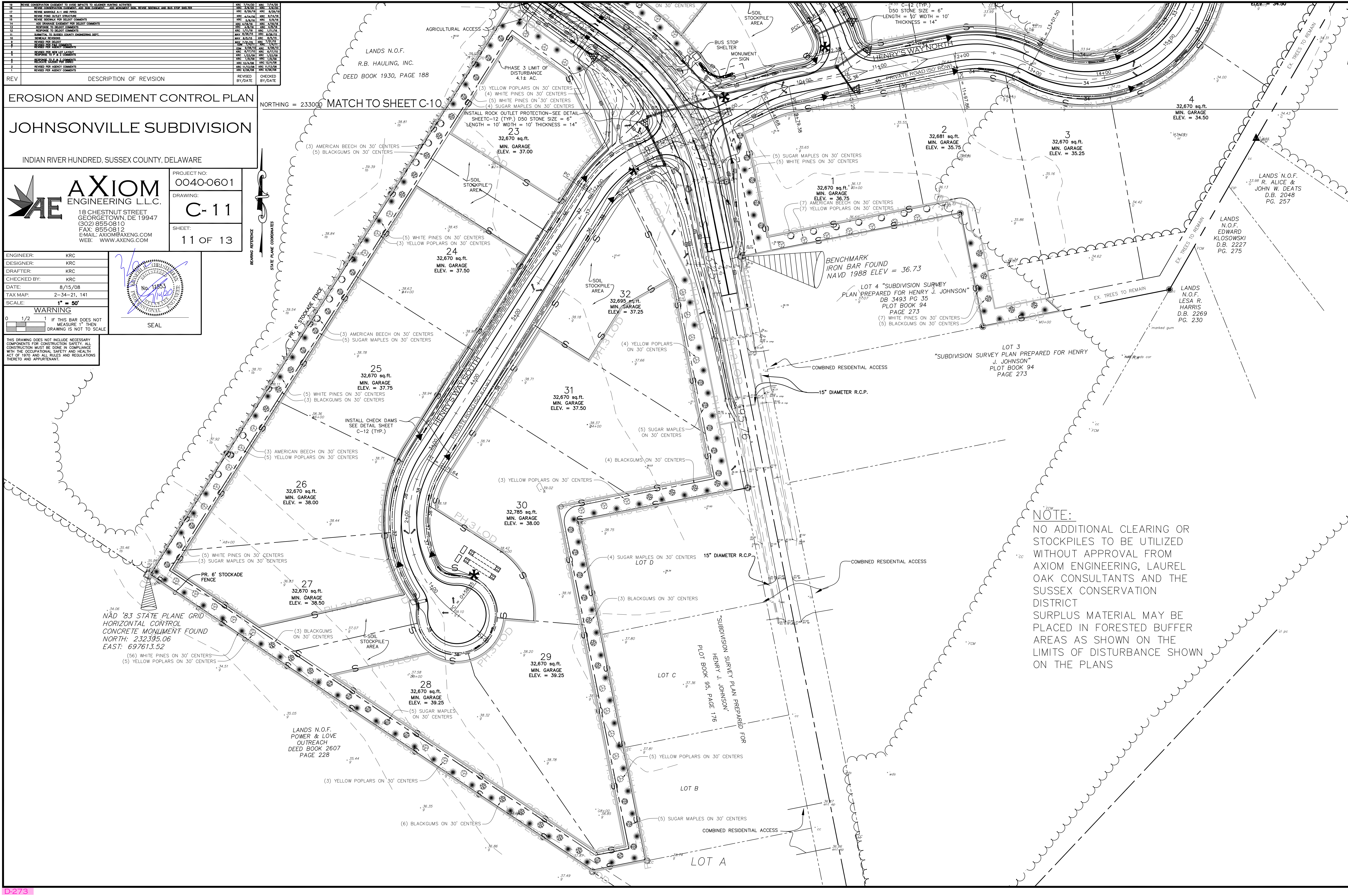
PROJECT NO:
0040-0601
 DRAWING:
C-11
 SHEET:
11 OF 13

ENGINEER: KRC
 DESIGNER: KRC
 DRAFTER: KRC
 CHECKED BY: KRC
 DATE: 8/15/08
 TAX MAP: 2-34-21, 141
 SCALE: 1" = 50'



WARNING
 IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF AND APPURTENANT.



NOTE:
 NO ADDITIONAL CLEARING OR STOCKPILES TO BE UTILIZED WITHOUT APPROVAL FROM AXIOM ENGINEERING, LAUREL OAK CONSULTANTS AND THE SUSSEX CONSERVATION DISTRICT
 SURPLUS MATERIAL MAY BE PLACED IN FORESTED BUFFER AREAS AS SHOWN ON THE LIMITS OF DISTURBANCE SHOWN ON THE PLANS

From: [Jessica Watson](#)
To: [P. E. Ken Christenbury](#)
Cc: [Jordan Ashburn](#); [Axiom](#); [Lauren Devore](#)
Subject: Re: 0040-0601 Johnsonville Subdivision FW: Staff Review Letter- Revised Subdivision Plan - Johnsonville Subdivision (2006-39)
Date: Thursday, April 23, 2020 3:26:44 PM
Attachments: [image001.png](#)

Hello Ken,

We have no objection to the County approving a reduction of the forest conservation easement for this development. Do you need an official letter or will an email suffice?

Jessica



Jessica Watson

Program Manager

jessica.watson@sussexconservation.org

20728 N. Dupont Blvd, Unit 317

Georgetown, DE 19947

302-856-2105 ext. 107 (office)

302-381-6136 (cell)

sussexconservation.org

On Fri, Apr 3, 2020 at 12:16 PM Ken Christenbury <ken@axeng.com> wrote:

Jessica,

Ashburn homes has asked to reduce voluntary forest conservation easements on several lots in the Johnsonville Subdivision that was recorded in May 2016. Potential buyers are finding that by the time a septic system is installed, there is little to no rear yard. A septic permit drawing is included in the attached March 10, 2020 submittal I made to Planning and Zoning, which shows the proposed easement reductions. I marked up the May 25, 2016 Record Plat from Plot Book 230 - Page 75 to show which portions of the easements are affected.

Planning and Zoning has asked that we obtain a letter of no objection from the Sussex Conservation District for this reduction in forest conservation easement. The code mandated 20' wide easement is not being relaxed, and many lot still have a 50' buffer included.

Please let me know if you need any additional information to respond to this request.

Thank you,

Ken

Kenneth R. Christenbury, P.E.

President, Axiom Engineering, LLC

18 Chestnut Street

Georgetown, DE 19947

(302) 855-0810

Fax 855-0812

ken@axeng.com

www.axeng.com



18 Chestnut Street
Georgetown, DE 19947
Phone: 302.855.0810
Fax: 302.855.0812
E-mail: ken@axeng.com
www.axeng.com

**Kenneth R.
Christenbury, P.E.**
President

From: Lauren DeVore [mailto:lauren.devore@sussexcountyde.gov]

Sent: Friday, April 03, 2020 9:45 AM

To: ken@axeng.com

Subject: Staff Review Letter- Revised Subdivision Plan - Johnsonville Subdivision (2006-39)

Good Morning, Ken,

Please find the attached staff review letter for the **Revised Subdivision Plan** for the **Johnsonville Subdivision (2006-39)**.

As always, please let me know if you should have any questions and I will do my best to address them.

Please stay safe with this pandemic going around. I hope that you are working from home as much as possible.

Best Regards,

-Lauren

Lauren DeVore

[Planner III](#)

[Department of Planning & Zoning](#)

[\(302\) 855-7878](#)

[2 The Circle](#)

[P.O. Box 417](#)

Georgetown, DE 19947



6. Condition #15 of CZ # 1926 and Ordinance # 1700 should be amended to state as follows:
“15. Subject to the receipt of all applicable permits from the U.S Army Corps of Engineers, DNREC and any other agencies having jurisdiction, this RPC shall be permitted to have only one dock for the use of residents. This dock shall only be utilized for kayaks and paddleboards. No motorized boats shall be launched or docked at this location. No storage of kayaks, paddleboards, boats or other marine equipment shall be permitted along the dock or landward of it within the RPC. There shall be an amendment to the Canal Pointe Master Plan and a subsequent final site plan showing the dock and its point of access from the RPC. No other piers, docks, boat ramps or other water-related facilities shall be permitted.”

Motion by Mr. Mears, seconded by Ms. Wingate and carried unanimously to recommend approval of C/Z 1926 for CP Townhomes, LLC (Canal Point RPC) for the reasons and conditions stated in the motion. Motion carried 5 – 0.

PUBLIC HEARINGS

Mr. Robertson described the procedures for public hearings before the Planning and Zoning Commission.

2020-20 – Johnsonville (2006-39)

A revision to an existing and previously approved standard subdivision to divide 42.11 +/- acres into 32 single-family lots lying and being in Indian River Hundred, Sussex County. The proposal is to reduce the existing Forest Conservation Easement from 100-ft in-depth to 50-ft in-depth to the rear of Lots 2-16 for the future accommodation of patios, decks, sheds or, swimming pools. The property is lying on the northeast and southwest sides of Lawson Road (S.C.R. 296). Tax Parcel: 234-21.00-141.00, 234-21.00-394.00 through 234-21.00-425.00. Zoning District: AR-1 (Agricultural Residential District).

Mr. Whitehouse advised the Commission that submitted into the record is a copy Applicant's Revised Subdivision Plan, a copy of the previous Notice of Decision for the previous subdivision, a copy of TAC comments including DNREC Division of Fish and Wildlife, a copy of the Delaware Hunting Regulations, a copy of comments from the Sussex County Engineering Department Utility Planning Division, and two letters of support.

The Commission found that Mr. Kenneth Christenbury, P.E. was present on behalf of the Applicant, Johnsonville; that this is a 2006 subdivision that is under construction; that the subject of the amendment is that the original developer proffered 100-ft Forest Conservation Easement and the current developer would like to reduce the Forest Conservation Easement to 50-ft; that would allow homeowners to build patios, decks, sheds or swimming pools; that this matter came before the Commission last year and the Commission requested that it have a public hearing; that a question arose about the protection of hunting rights; that the request is only for lots 2 – 4 and 8 – 16 so, there would be no impact on hunting rights of adjoining property owners; and that lots 5 – 7 would retain the 100-ft Forest Conservation Easement.

Ms. Stevenson and Mr. Hopkins both expressed concerns that the hunting rights of adjoining property owners are not adversely affected.

Mr. Christenbury referred to an aerial map and explained that eliminating lots 5 – 7 from the request, will not affect the hunting rights of adjacent property owners.

The Commission found that Jordan Ashburn spoke in support of the request to revise the previously approved subdivision; that the lots tend to be narrow and deep; that it is difficult for placement of the house on the lot due to the septic systems being placed towards the front of the lots; that many of the clients have interest in having the forested buffer reduced; that this would be of benefit to the residents of the neighborhood; and that the 100-ft buffer will remain on lots 5, 6, and 7 so that it will not affect the hunting rights of adjacent property owners.

The Commission found that John Davidson had questions regarding the request to revise the previously approved subdivision; that he is not necessarily in opposition to the request but would like to know if any buffers on the west side of Lawson Road are being affected by this request.

Chairman Wheatley stated that Mr. Christenbury indicated that the request will not affect any buffers on the west side of Lawson Road.

The Commission found that Jessica Romante was present by teleconference; that she and her husband have purchased lot 7; that she is now concerned to learn that lot 7 is not included in the request; that lot 7 will have a tight backyard; that there are 140 ft of trees behind her lot, does that mean she can remove 40 ft of trees.

Mr. Christenbury explained that the lot line between lots 6 and 7 is 163 ft deep; that after the 30 ft. front yard setback, it would mean there is approximately 133 ft of buildable space and offered to email a copy of the site plan.

The Commission found that Jeff DeLeo was present by teleconference; that the buffer behind his lot is 140 ft and should only be 100 ft.

Chairman Wheatley stated that lots 5, 6 and, 7 are not part of this request and there will be no changes to these lots.

Upon there being no further questions, Chairman Wheatley closed the public hearing.

Prior to the recess, the Commission discussed Application 2020-20 Johnsonville (2006-39) Motion by Ms. Stevenson to defer action for further consideration, seconded by Mr. Hopkins and carried unanimously. Motion carried 5-0.

2021-17 – Toback Subdivision

A standard subdivision to divide 10.15 acres +/- into 5 single-family lots to be located on a certain parcel of land lying and being in Broadkill Hundred, Sussex County. The property is lying on the northwest corner of the intersection of Prettyman Rd. (S.C.R. 254) and Lewes-Georgetown Hwy. (Rt. 9). Tax Parcel: 235-30.00-6.21. Zoning District: AR-1 (Agricultural Residential District).

Mr. Whitehouse advised the Commission that submitted into the record is a copy Applicant's Subdivision Plan, a copy of a letter that has been received from Artesian Resources, a copy of the Applicant's Chapter 99.9.C response, a copy of comments from the Sussex County Engineering Department Utility Planning Division. Mr. Whitehouse noted that the Application also requires a waiver from the forested buffer requirements.

Subdivision Codes. Tax Parcel: 135-10.00-15.01. Zoning District: AR-1 (Agricultural Residential District). Staff are awaiting agency approvals.

Motion by Ms. Stevenson, seconded by Ms. Wingate and carried unanimously to approve the Minor Subdivision off a 50' easement with final approval by staff upon receipt of all agency approvals. Motion carried 4-0.

Lands of Matthew L. Smith & Leah B. Wallace

Minor Subdivision off a 50-ft Easement

This is a Minor Subdivision Plan for the subdivision of a 4.25-acre +/- parcel of land for the creation of one (1) lot plus residual lands with Lot 2 having access off a proposed 50-ft ingress/egress access easement. Lot 2 will consist of 2.109 acres +/- . The parcel is located on the east side of Horsey Church Road (S.C.R 510). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 532-12.00-36.01. Zoning District: AR-1 (Agricultural Residential District). Staff are in receipt of all agency approvals.

Motion by Ms. Wingate, seconded by Mr. Mears and carried unanimously to approve the Minor Subdivision off a 50' easement. Motion carried 4-0.

Lands of Jesse Atkinson

Minor Subdivision off a 40-ft Easement

This is a Minor Subdivision Plan for the subdivision of a 5.07-acre +/- parcel of land for the creation of one (1) lot plus residual lands with proposed Lot 2 having access off a proposed 40-ft ingress/egress access easement. Lot 1 will consist of 1.14-acres +/- and the residual lands consisting of 3.93 acres +/- . The parcel is located on the west side of Marsh Road (S.C.R 521). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 231-7.00-38.01. Zoning District: AR-1 (Agricultural Residential District). Staff are awaiting agency approvals.

Motion by Ms. Stevenson, seconded by Ms. Wingate and carried unanimously to approve the Minor Subdivision off a 40' easement with final approval by staff upon receipt of all agency approvals. Motion carried 4-0.

OLD BUSINESS

2020-20 – Johnsonville (2006-39)

A revision to an existing and previously approved standard subdivision to divide 42.11 +/- acres into 32 single-family lots lying and being in Indian River Hundred, Sussex County. The proposal is to reduce the existing Forest Conservation Easement from 100-ft in depth to 50-ft in depth to the rear of Lots 2-16 for the future accommodation of patios, decks, sheds, or swimming pools. The property is lying on the northeast and southwest sides of Lawson Road (S.C.R. 296). Tax Parcel: 234-21.00-141.00, 234-21.00-394.00 through 234-21.00-425.00. Zoning District: AR-1 (Agricultural Residential District).

The Commission discussed this application which has been deferred since May 13, 2021.

Ms. Stevenson moved that the Commission partially approve the request to amend the approved Final Site Plan for Subdivision **2020-20** for **JOHNSONVILLE (2006-39)** based upon the record made during the public hearing and for the following reasons:

MARLIN CHASE (F.K.A. MARLIN RUN) RESIDENTIAL COMMUNITY BALTIMORE HUNDRED SUSSEX, DELAWARE DBF #0818C045 MARCH 2021 COUNTY PROJECT #S-21-14 (CU 2207) RECORD PLANS

DATA COLUMN

TAX MAP ID: 1-34-9.00-21.00 THRU 21.05; 1227.00 THRU 1269.00

DEED REF: D 4429/21

THIS SITE IS CONDITIONAL USE NO. 2207 WHICH WAS APPROVED BY THE SUSSEX COUNTY COUNCIL ON 04/27/2021 AND ADOPTED THROUGH ORDINANCE NO. 2772.

EXISTING ZONING: MR, MR-RPC
PROPOSED ZONING: MR-CU

EXISTING USE: VACANT, APPROVED FOR 75 DWELLING UNITS
PROPOSED USE: 75 SINGLE FAMILY DWELLINGS (CONDO OWNERSHIP)

PROPOSED CONSTRUCTION: WOOD/CONCRETE BLOCK

FLOOD HAZARD MAP: THE PROPERTY IS IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA MAP 10005C0504K (DATED MARCH 16, 2015). THIS PROJECT IS LOCATED IN FLOOD ZONE "AE"

WETLANDS: THE PROPERTY AS SHOWN DOES CONTAIN STATE(TIDAL) & FEDERALLY (404 NON-TIDAL) REGULATED WETLANDS.

FUTURE LAND USE DESIGNATION: PROJECT LIES WITHIN THE COASTAL AREA.

REVERSE WATER PROTECTION: PROJECT IS NOT WITHIN A WELLHEAD PROTECTION AREA. PROJECT IS WITHIN THE "EXCELLENT", AND "GOOD" GROUNDWATER RECHARGE AREAS.

EXISTING SITE AREA: 29.34 ACRES±
PROPOSED SITE AREA: 29.34 ACRES±
STATE WETLANDS AREA: 7.43 ACRES±
NET DEVELOPMENT AREA: 21.91 ACRES±

ALLOWABLE RESIDENTIAL DENSITY: 21.91 ACRES±/10,000 SF PER D.U.=95 UNITS

404 WETLANDS AREA: 4.41 ACRES±
TOTAL WETLANDS AREA: 11.84 ACRES±

PROPOSED UNITS: 75 SINGLE FAMILY DWELLINGS (CONDO OWNERSHIP)

AREAS
ACCESS & UTILITY EASEMENT 2.614 AC.±
CONDOMINIUM HOUSE AREA 6.234 AC.±
ACTIVE OPEN SPACE 0.450 AC.±
PASSIVE OPEN SPACE/STORMWATER 20.038 AC.± (68%)

SETBACK REQUIREMENTS
FRONT YARD: 30 FT.
SIDE YARD: 10 FT.
REAR YARD: 10 FT.
CORNER YARD: 15 FT.

PARKING REQUIREMENTS:
REQUIRED: SINGLE FAMILY DWELLINGS, 2 PER UNIT.
75 UNITS X 2 = 150 PARKING SPACE REQUIRED.
PROVIDED: 2 SPACES PER UNIT (DRIVEWAYS/GARAGES)
31 ADDITIONAL SPACES INCLUDING 2 HANDICAPPED SPACES (AMENITY AREA)

VOLUNTARY NON-TIDAL WETLANDS BUFFER: 20 FT.

PROPOSED MAXIMUM BUILDING HEIGHT: 42 FT. (3-1/2 STORIES)

PROPOSED CONSTRUCTION PHASES: 1

SANITARY SEWER: SUSSEX COUNTY (CEDAR NECK EXPANSION SSD)
WATER SUPPLY: SUSSEX SHORES WATER COMPANY

DATUM
VERTICAL: NAVD 88
HORIZONTAL: NAD 83 (DE STATE PLANE)

TID DISTANCE: 5.65 MILES (HENLOPEN TID UNDER CONSTRUCTION)

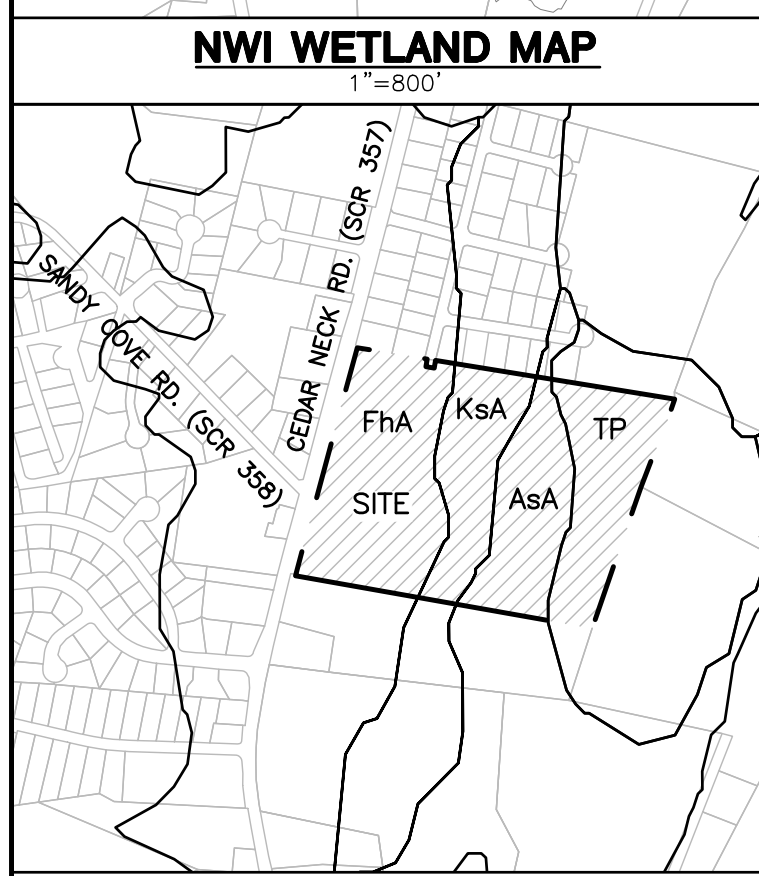
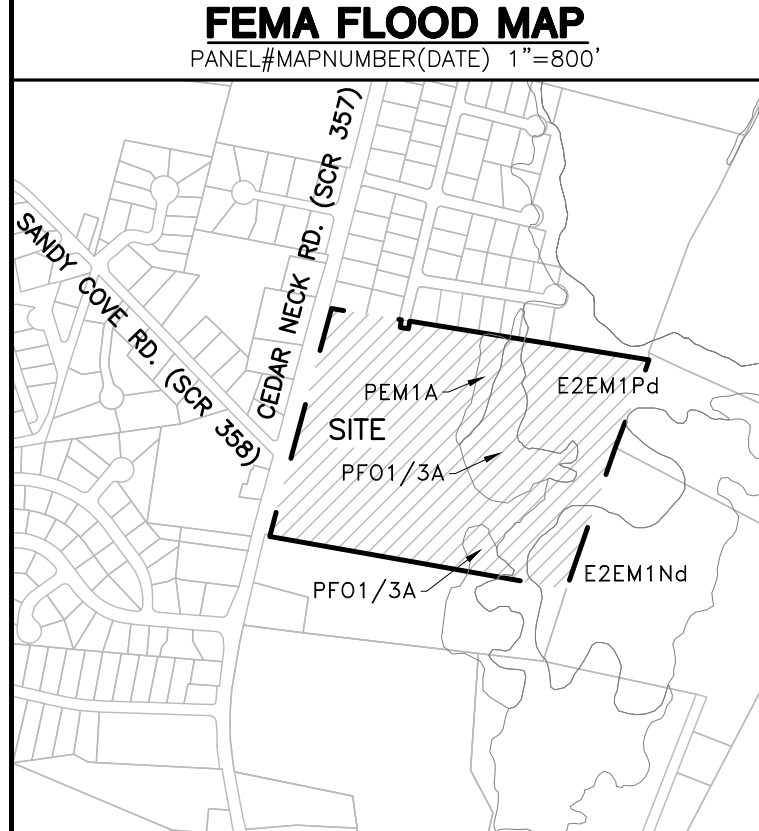
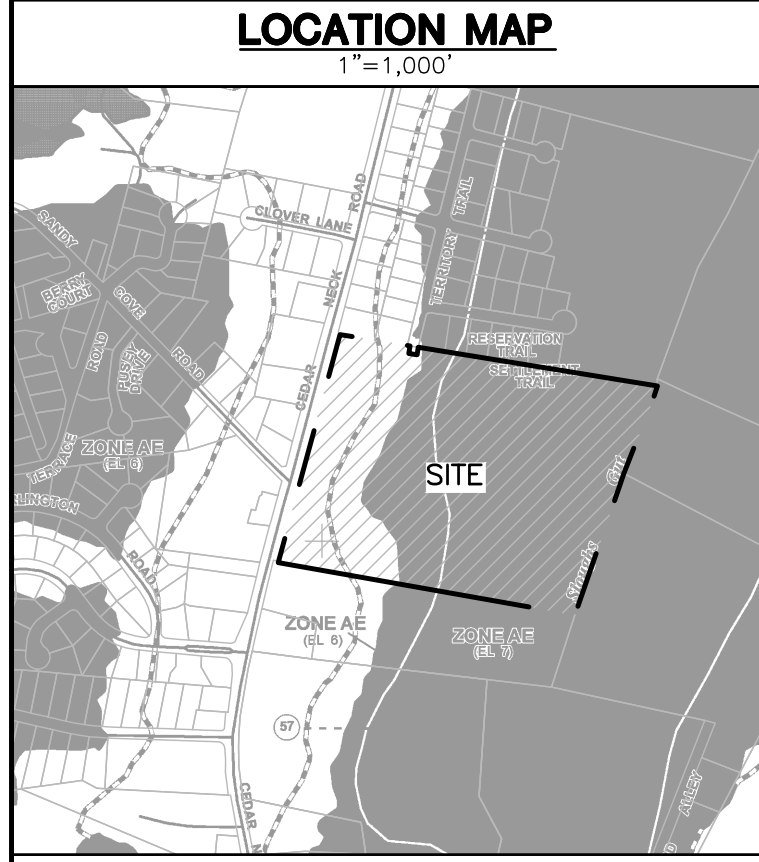
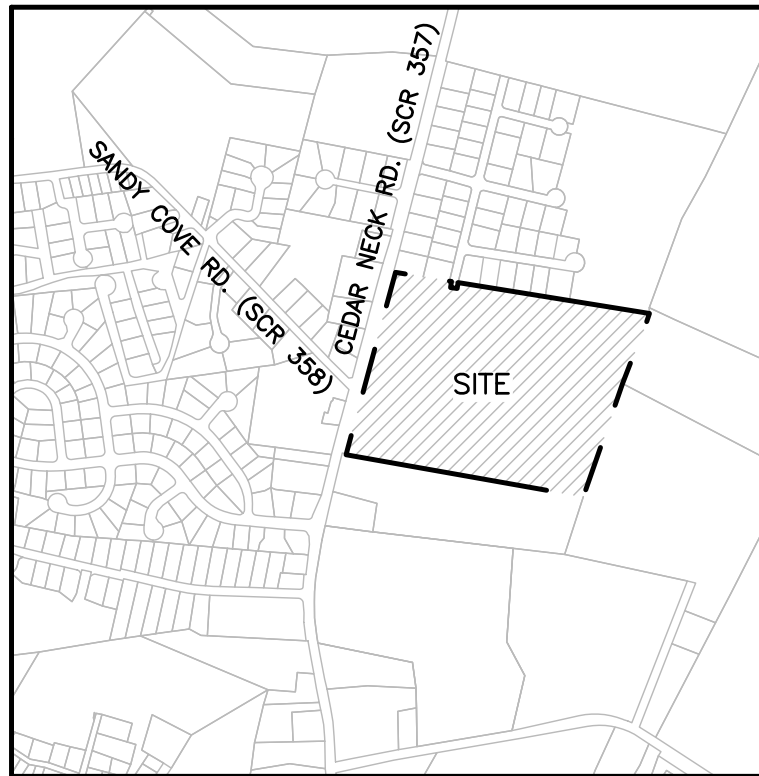
STATE INVESTMENT LEVEL: LEVEL 3

OWNER/DEVELOPER:
OA MARLIN CHASE, LLC.
18949 COASTAL HWY, UNIT 301
REHOBOTH BEACH, DE 19971
PHONE: 302-227-2373
FAX: 302-227-2328

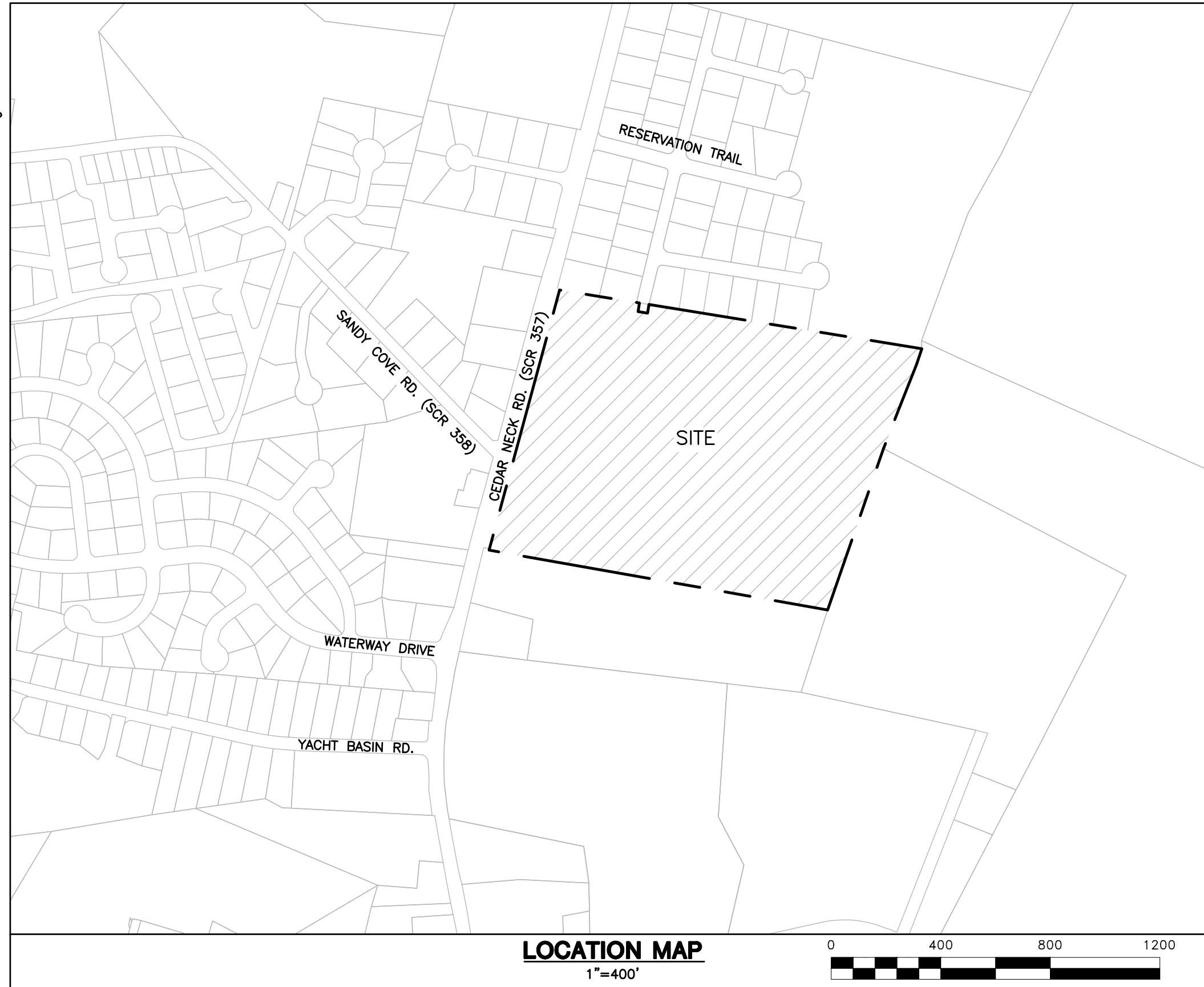
PREPARED BY:
DAVIS, BOWEN & FRIEDEL, INC.
1 PARK AVE.
MILFORD, DE 19963
PHONE: 302-424-1441
FAX: 302-424-0430

CONDITIONS OF CONDITIONAL USE APPROVAL (CU 2207):

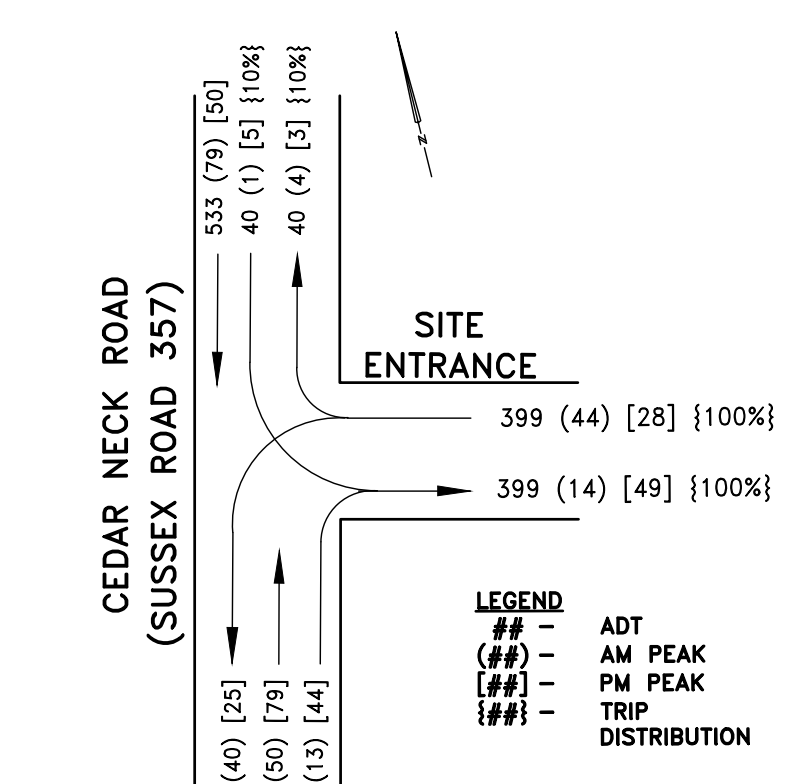
- THERE SHALL BE NO MORE THAN 75 UNITS WITHIN THE CONDITIONAL USE AREA.
- THE APPLICANT SHALL FORM A HOMEOWNERS' OR CONDOMINIUM ASSOCIATION RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF STREETS, ROADS, BUFFERS, STORMWATER MANAGEMENT FACILITIES, EROSION AND SEDIMENTATION CONTROL FACILITIES AND OTHER COMMON AREAS.
- THE STORMWATER MANAGEMENT SYSTEM SHALL MEET OR EXCEED THE REQUIREMENTS OF THE STATE AND COUNTY. IT SHALL BE CONSTRUCTED AND MAINTAINED USING BEST MANAGEMENT PRACTICES.
- THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT FOR THE DESIGN AND LOCATION OF ALL STORMWATER MANAGEMENT AREAS AND EROSION AND SEDIMENTATION CONTROL FACILITIES.
- ALL ENTRANCES SHALL COMPLY WITH ALL OF DELDOT'S REQUIREMENTS, AND AN AREA FOR A SCHOOL BUS STOP SHALL BE ESTABLISHED. THE LOCATION OF THE SCHOOL BUS STOP SHALL BE COORDINATED WITH THE LOCAL SCHOOL DISTRICT.
- ROAD NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY MAPPING AND ADDRESSING DEPARTMENTS.
- AS PROFFERED BY THE APPLICANT, THE FINAL SITE PLAN AND THE RECORDED DECLARATION FOR THE PROPERTY SHALL PROHIBIT THE APPLICATION OF FERTILIZERS OR SIMILAR SOIL ADDITIVES ON THE PROPERTY BY INDIVIDUAL PROPERTY OWNERS. ALL SUCH APPLICANTS SHALL BE MANAGED BY THE HOA AND A CONTRACTOR OF ITS DESIGNATION USING THE BEST MANAGEMENT PRACTICES TO SEEK TO MINIMIZE THE RISK OF RUNOFF INTO THE STORMWATER MANAGEMENT SYSTEM AND THE INLAND BAYS.
- AS PROFFERED BY THE APPLICANT, ALL BUILDINGS SHALL MAINTAIN A 20-FOOT SETBACK FROM THE NON-TIDAL WETLAND LINE AND A 100-FOOT SETBACK FROM THE TIDAL WETLAND LINE. THESE SETBACK AREAS SHALL BE SHOWN ON THE FINAL SITE PLAN.
- THE PROJECT SHALL BE SERVED BY SUSSEX COUNTY SEWER.
- AS PROFFERED BY THE APPLICANT, THE DEVELOPER SHALL CONSTRUCT ALL OF THE RECREATIONAL AMENITIES NO LATER THAN THE ISSUANCE OF THE 40th RESIDENTIAL BUILDING PERMIT FOR THE PROJECT. THE AMENITIES SHALL INCLUDE A POOL, TOT LOT, PICKLEBALL COURTS, COMMUNITY GARDEN AND DOG PARK.
- THERE SHALL BE SIDEWALKS ON THE INTERIOR SIDE OF THE STREET WITHIN THE DEVELOPMENT.
- THERE SHALL BE A BUFFER OF AT LEAST 20 FEET FROM THE SOUTHERN AND WESTERN BOUNDARIES OF THE SITE. THERE SHALL ALSO BE A 35-FOOT SETBACK FROM THE NORTHERN BOUNDARY WHICH SHALL INCLUDE A 20-FOOT BUFFER. THE FINAL SITE PLAN SHALL CONTINUE A LANDSCAPE PLAN FOR ALL OF THOSE BUFFER AREAS, SHOWING ALL OF THE LANDSCAPING AND VEGETATION TO BE INCLUDED IN THE BUFFER AREAS.
- CONSTRUCTION, SITEWORK, GRADING AND DELIVERIES SHALL ONLY OCCUR FROM MONDAY THROUGH SATURDAY BETWEEN THE HOURS OF 7:00 A.M. AND 6:00 P.M.
- THIS PRELIMINARY APPROVAL IS CONTINGENT UPON THE APPLICANT SUBMITTING A REVISED PRELIMINARY SITE PLAN EITHER DEPICTING OR NOTING THE CONDITIONS OF THIS APPROVAL ON IT. STAFF SHALL APPROVE THE REVISED PLAN UPON CONFIRMATION THAT THE CONDITIONS OF APPROVAL HAVE BEEN DEPICTED OR NOTED ON IT.
- THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.



SOILS DATA	
LABEL	MAP UNIT NAME
AsA	Askecsky loamy sand, 0 to 2 percent slopes
FhA	Fort Mott-Henlopen complex, 0 to 2 percent slopes
KsA	Klej loamy sand, 0 to 2 percent slopes
TP	Transquaking and Mispillion soils, very frequently flooded, tidal



ROAD DATA
CEDAR NECK ROAD (SUSSEX ROAD 357)
FUNCTIONAL CLASSIFICATION - MAJOR COLLECTOR
AADT (DELAWARE TRAFFIC SUMMARY 2019) = 918
10 YR PROJECTED AADT = 1.16 X 918 = 1,065
10 YR PROJECTED AADT + SITE ADT (798) = 1,863
DIRECTIONAL SPLIT = 61.35% / 38.65% = 79/50
PEAK HOUR = 12.09% X 1,065 = 129
8.06% TRUCK % X 129 = 10
SPEED - POSTED = 35 MPH
TRAFFIC PATTERN GROUP - 3



INDEX OF SHEETS					
RECORD TITLE					V-101
EXISTING BOUNDARY PLAN					V-102
RECORD PLAN					V-103
RECORD DETAILS					V-104

BENCHMARK INFORMATION			
BM#	DESCRIPTION	LOCATION	ELEVATION
1	IRCS	N:207474.7820 E:752157.8440	13.89' (NAVD 88)
2	IRCS	N:208357.6780 E:752376.9960	12.53' (NAVD 88)

GENERAL NOTES:

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 §131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SHARED-USE PATH SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SHARED-USE PATH.
- ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION STREET.
- DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
- A PERPETUAL CROSS ACCESS INGRESS/EGRESS EASEMENT IS HEREBY ESTABLISHED AS SHOWN ON THIS PLAN.
- NO LANDSCAPING SHALL BE PLACED IN THE PERMANENT EASEMENT FOR THE SHARED-USE PATH ALONG CEDAR NECK RD.
- ANY PROPOSED SIGNAGE WILL REQUIRE A SEPARATE PERMIT ISSUED BY SUSSEX COUNTY.
- ALL LIGHTING IS TO BE DOWNWARD SCREENED TO MINIMIZE GLARE ON ADJACENT PROPERTIES WITHIN A RESIDENTIAL AREA.
- ALL PROPOSED AMENITIES WILL REQUIRE A SEPARATE AMENITIES PLAN.

ENGINEER'S STATEMENT

I, THE UNDERSIGNED, HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

JAMIE L. SECHLER, P.E.
DAVIS, BOWEN & FRIEDEL, INC.
1 PARK AVENUE
MILFORD, DELAWARE, 19963

6/22/2021
DATE

OWNER/DEVELOPER STATEMENT

I, THE UNDERSIGNED, CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE ACT AND DESIRE THE PLAN TO BE RECORDED TO ORDINANCE.

OA MARLIN CHASE, LLC.
18949 COASTAL HWY, UNIT 301
REHOBOTH BEACH, DE 19971

6/22/2021
DATE

APPROVED BY:

CHAIRMAN OF PLANNING COMMISSION _____ DATE _____
PRESIDENT OF SUSSEX COUNCIL _____ DATE _____

SUSSEX CONSERVATION DISTRICT

WETLAND'S STATEMENT

THIS PROPERTY HAS BEEN EXAMINED BY KELLY PIERSON FOR THE PRESENCE OF WATERS OF THE UNITED STATES INCLUDING WETLANDS (SECTION 404 AND SECTION 10), STATE SUBAQUEOUS LANDS AND STATE TIDAL WETLANDS BASED ON THE CRITERIA SET FORTH BY THE REVIEWING AGENCIES IN THE CORM OF MANUALS, POLICIES IN PLACE AT THE TIME THAT THE INVESTIGATION WAS CONDUCTED. ANY OF THE ABOVE RESOURCES THAT WERE FOUND ON THE PROPERTY ARE CLEARLY MAPPED ON THIS PLAN IN ACCORDANCE WITH OUR FIELD INVESTIGATIONS AND DETAILED IN REPORTS PREPARED BY BACKCREEK ENVIRONMENTAL USING BEST PROFESSIONAL JUDGEMENT.

KELLY PIERSON
ENVIRONMENTAL SCIENTIST
BACK CREEK ENVIRONMENTAL
100 W. COMMONS BLVD. SUITE 301
NEW CASTLE, DE 19720

DATE

Revisions:
04-29-2021 SCD COMMENTS
05-25-2021 SCE COMMENTS
06-09-2021 SCE COMMENTS

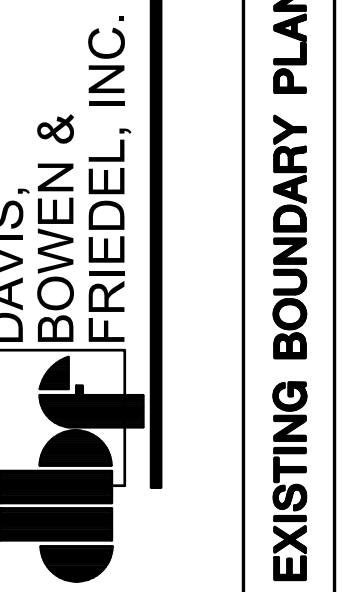
ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
1 PARK AVENUE
MILFORD, DELAWARE 19963
(302) 424-1441
EASTON, MARYLAND (410) 770-1744

MARCH 2021
DBF
DAVIS, BOWEN & FRIEDEL, INC.
MARLIN CHASE 0818C045



06/25/2021

ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
BALTIMORE, MARYLAND
DUBLIN, OHIO
EASTON, MARYLAND



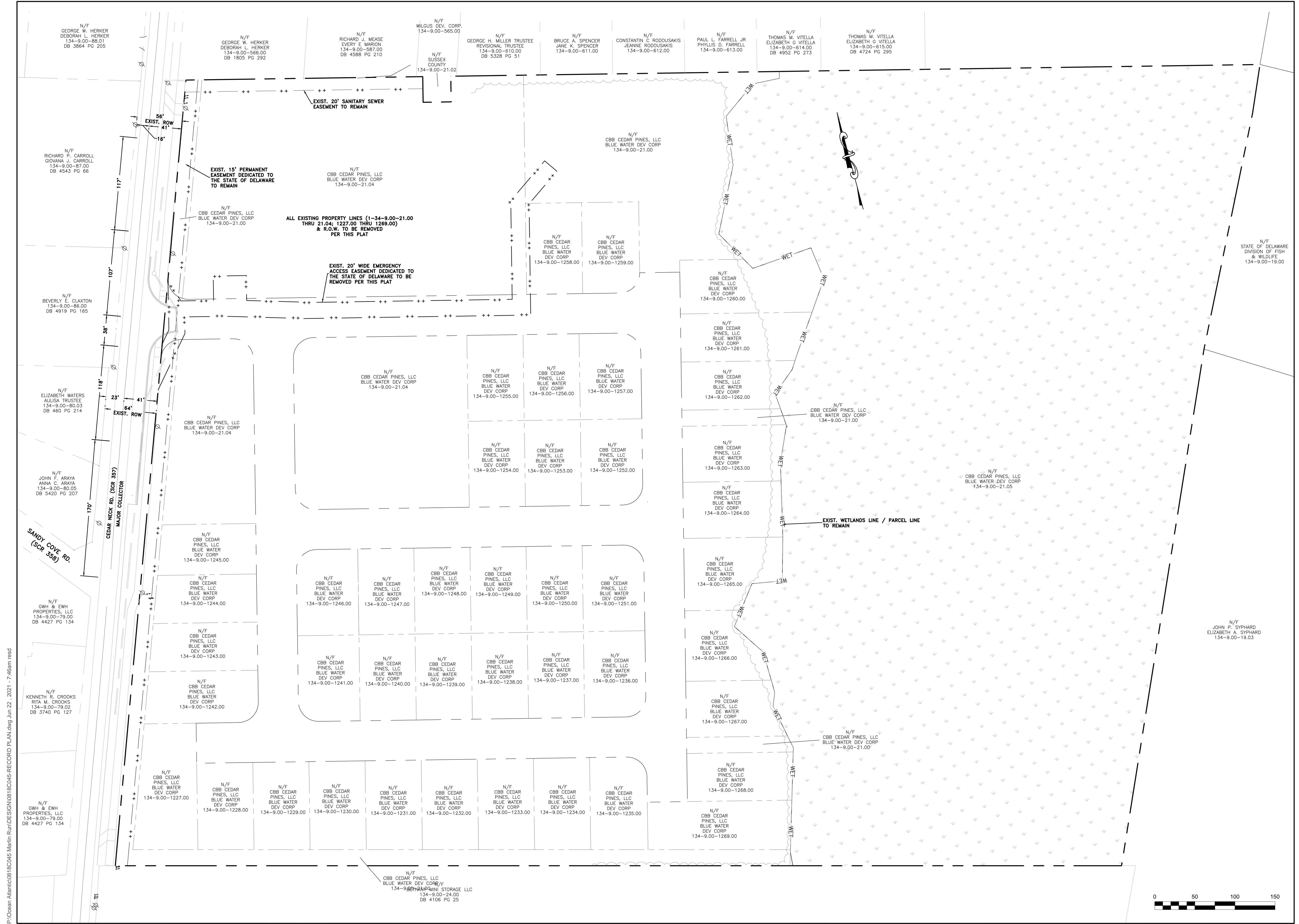
EXISTING BOUNDARY PLAN

MARLIN CHASE RESIDENTIAL COMMUNITY BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE

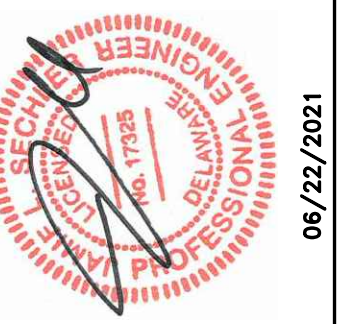
Revisions:
04-29-2021 SCD COMMENTS
05-25-2021 SCE COMMENTS
06-09-2021 SCE COMMENTS

Date: MARCH 2021
Scale: 1"=50'
Dwn. By: DJR
Proj. No.: 0818C045
Dwg. No.:

V-102

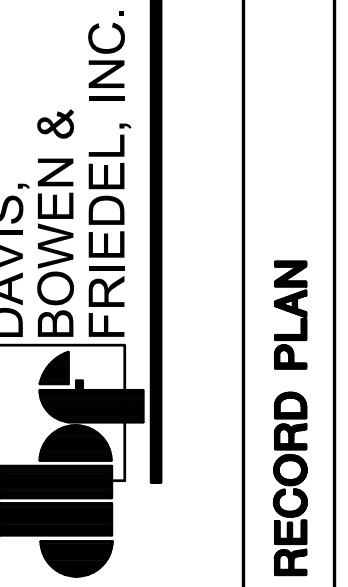


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06/22/2021

ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
BALTIMORE, MARYLAND (301) 427-1441
EASTON, MARYLAND (410) 770-4744



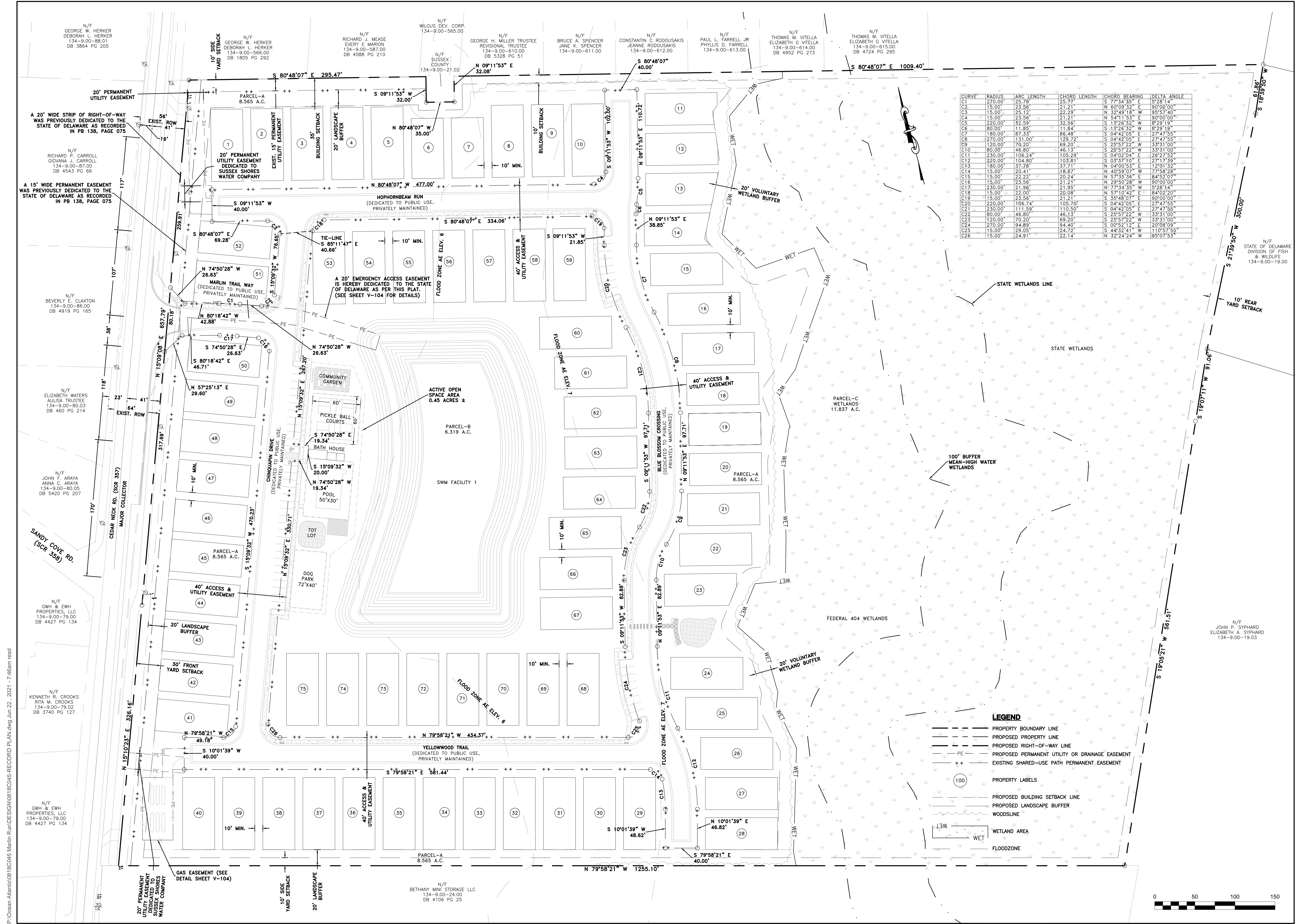
RECORD PLAN

MARLIN CHASE RESIDENTIAL COMMUNITY BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE

Revisions:
04-29-2021 SCD COMMENTS
05-25-2021 SCE COMMENTS
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Date: MARCH 2021
Scale: 1"=50'
Dwn.By: DJR
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Dwg.No.:

V-103



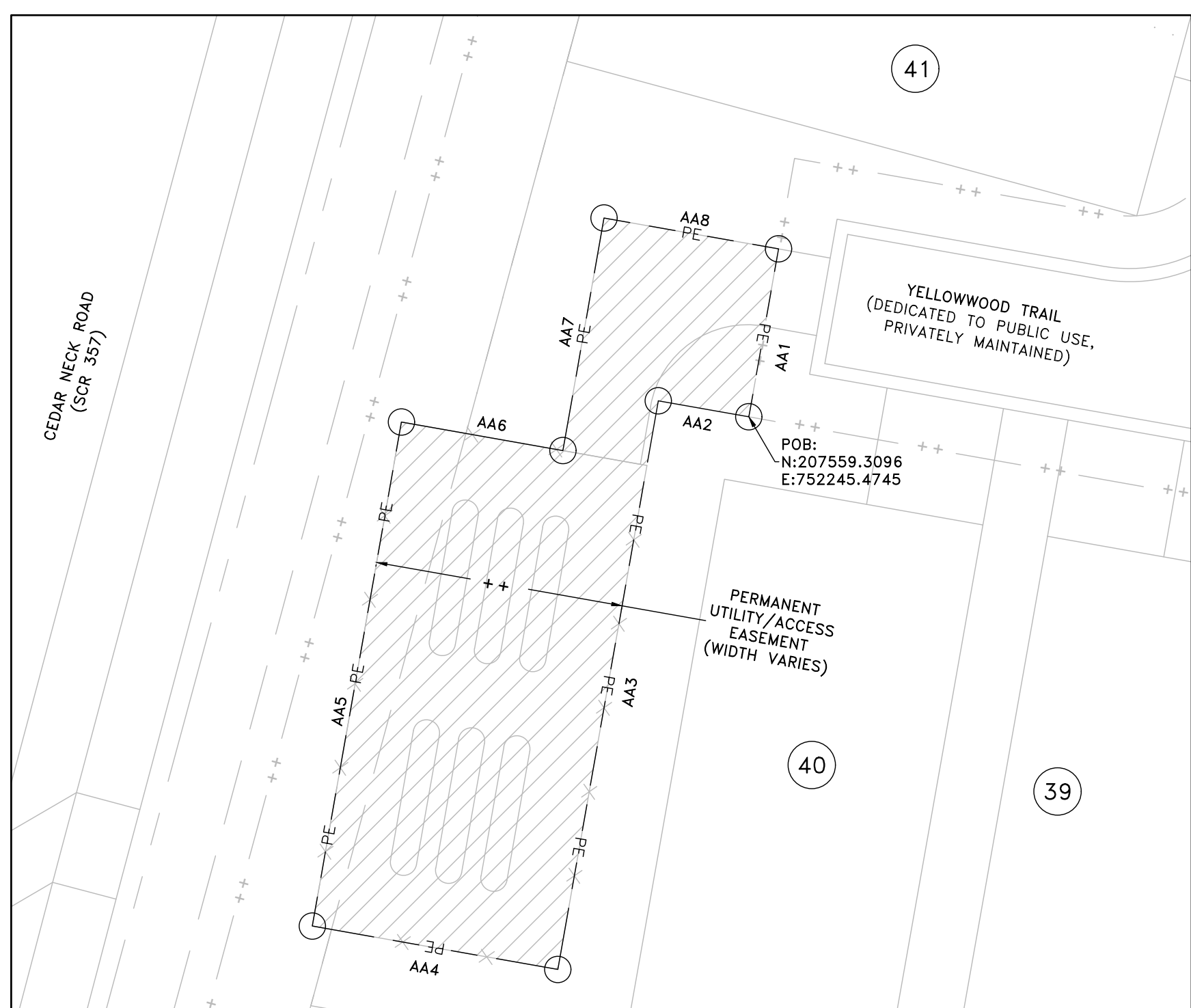
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	270.00	25.74	25.77	S 77°34'35" E	5°28'14"
C2	15.00	23.56	21.21	N 60°09'32" E	90°00'00"
C3	15.00	25.12	22.29	N 32°49'18" W	95°57'40"
C4	15.00	23.56	21.21	N 54°11'53" E	90°00'00"
C5	220.00	32.59	32.56	S 13°28'32" W	8°29'19"
C6	80.00	11.85	11.84	S 13°26'52" W	8°29'19"
C7	180.00	87.33	86.48	S 04°42'05" E	27°47'55"
C8	270.00	131.00	129.79	S 04°42'05" E	27°47'55"
C9	120.00	70.20	69.20	S 25°57'22" W	33°31'00"
C10	80.00	46.80	46.13	S 25°57'22" W	33°31'00"
C11	230.00	106.24	105.29	S 04°02'04" E	26°27'52"
C12	220.00	104.80	103.81	S 03°57'10" E	27°11'39"
C13	180.00	37.78	37.71	N 04°00'53" E	12°01'32"
C14	15.00	20.41	18.87	N 40°59'07" W	77°58'28"
C15	15.00	22.22	20.24	N 57°35'36" E	84°52'07"
C16	15.00	23.56	21.21	N 29°50'28" W	90°00'00"
C17	230.00	21.96	21.95	N 77°34'35" W	5°28'14"
C18	15.00	22.00	20.08	N 57°10'42" E	84°02'20"
C19	15.00	23.56	21.21	S 35°48'07" E	90°00'00"
C20	220.00	106.74	105.70	S 04°42'05" E	27°47'55"
C21	230.00	111.59	110.50	S 04°42'05" E	27°47'55"
C22	80.00	46.80	46.13	S 25°57'22" W	33°31'00"
C23	120.00	70.20	69.20	S 25°57'22" W	33°31'00"
C24	270.00	94.89	94.40	S 00°52'12" E	20°08'09"
C25	15.00	29.05	24.72	S 44°52'41" W	110°57'55"
C26	15.00	24.91	22.14	N 32°24'24" W	95°07'53"

LEGEND

- PROPERTY BOUNDARY LINE
- PROPOSED PROPERTY LINE
- PROPOSED RIGHT-OF-WAY LINE
- PE PROPOSED PERMANENT UTILITY OR DRAINAGE EASEMENT
- EXISTING SHARED-USE PATH PERMANENT EASEMENT
- PROPERTY LABELS
- PROPOSED BUILDING SETBACK LINE
- PROPOSED LANDSCAPE BUFFER
- WOODSLINE
- WETLAND AREA
- FLOODZONE



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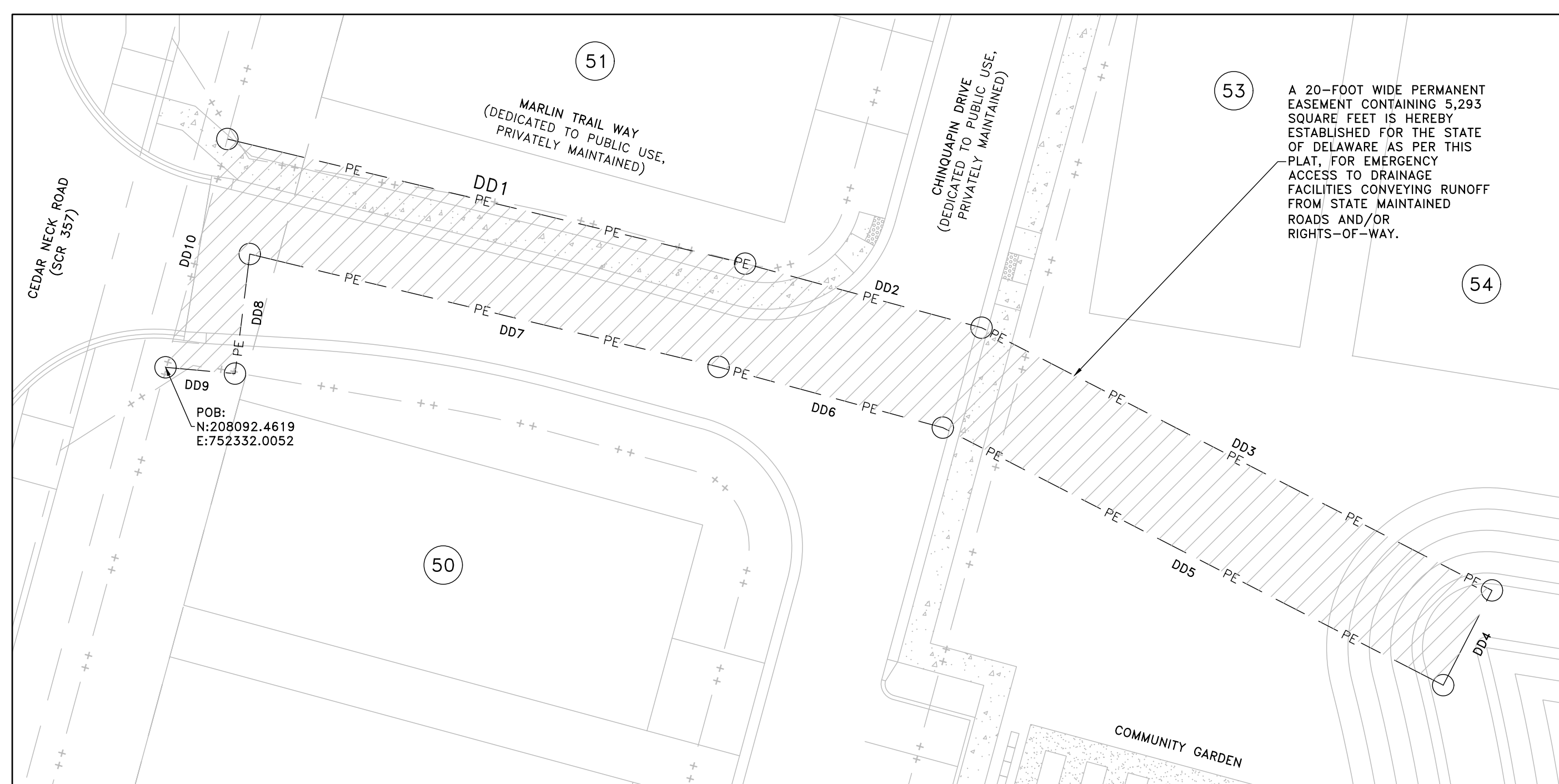
3,796 SF PERMANENT EASEMENT AA
(DEDICATED TO CHESAPEAKE UTILITIES CORPORATION)

LINE	BEARING	DISTANCE
AA1	S 10°01'39" W	26.00'
AA2	N 79°58'21" W	14.01'
AA3	S 10°01'39" W	88.00'
AA4	N 79°58'21" W	38.00'
AA5	N 10°01'39" E	78.00'
AA6	S 79°58'21" E	25.00'
AA7	N 10°01'39" E	36.00'
AA8	S 79°58'21" E	27.01'

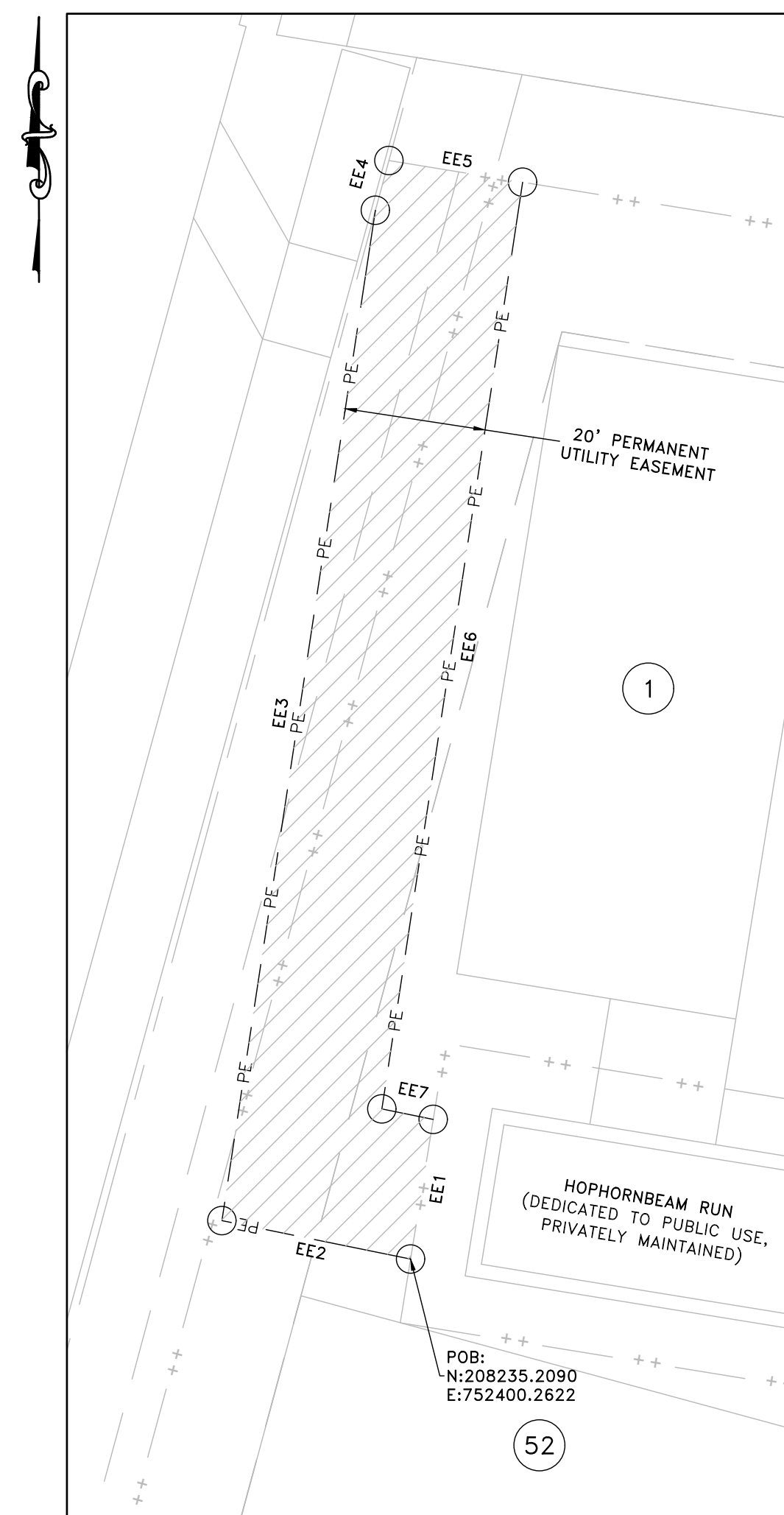
PERMANENT UTILITY EASEMENT AA
SCALE: 1"=20'

5,293 SF PERMANENT EASEMENT DD
(DEDICATED TO THE STATE OF DELAWARE)

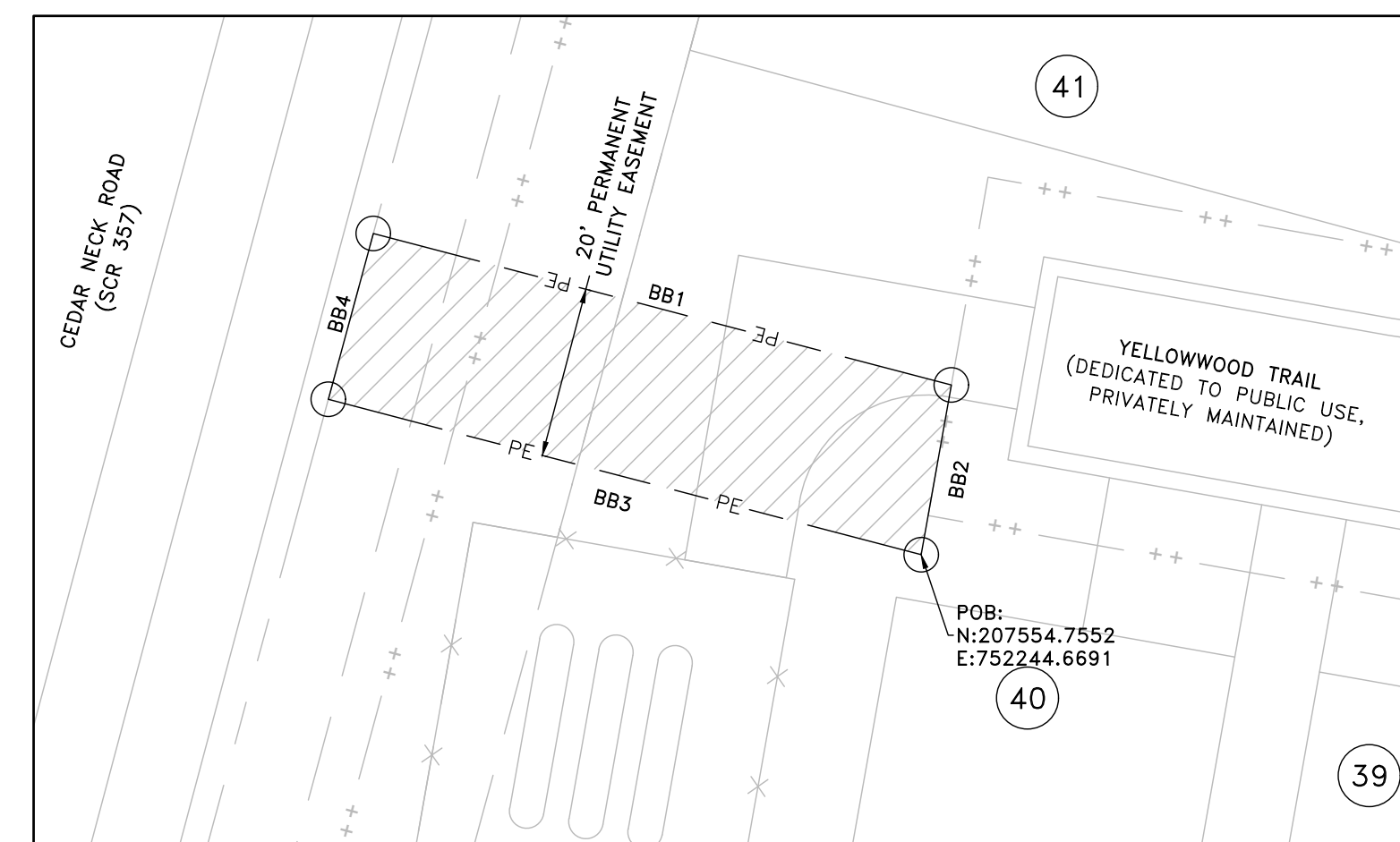
LINE	BEARING	DISTANCE
DD1	S 76°27'39" E	99.87'
DD2	S 74°50'28" E	45.95'
DD3	S 62°45'46" E	107.66'
DD4	S 27°14'14" W	20.00'
DD5	S 62°45'46" E	105.55'
DD6	S 74°50'28" E	43.55'
DD7	S 76°27'39" E	90.44'
DD8	N 07°03'01" E	22.59'
DD9	S 84°48'01" E	13.08'
DD10	N 15°09'08" E	44.36'



PERMANENT UTILITY EASEMENT DD
SCALE: 1"=20'



PERMANENT UTILITY EASEMENT EE
SCALE: 1"=20'



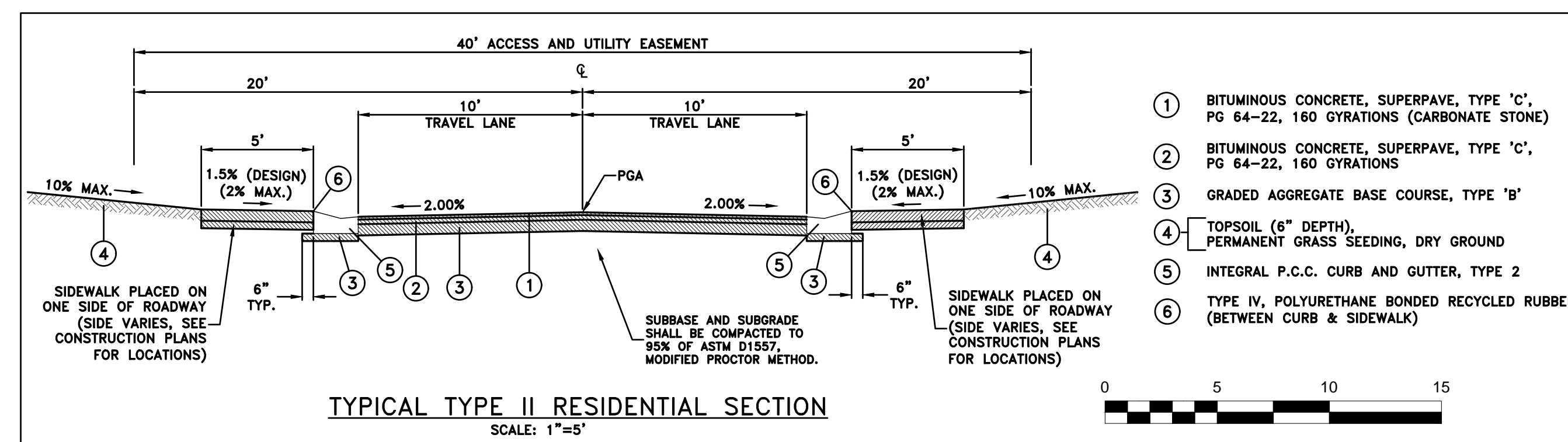
PERMANENT UTILITY EASEMENT BB
SCALE: 1"=20'

1,408 SF PERMANENT EASEMENT BB
(DEDICATED TO SUSSEX SHORES WATER COMPANY)

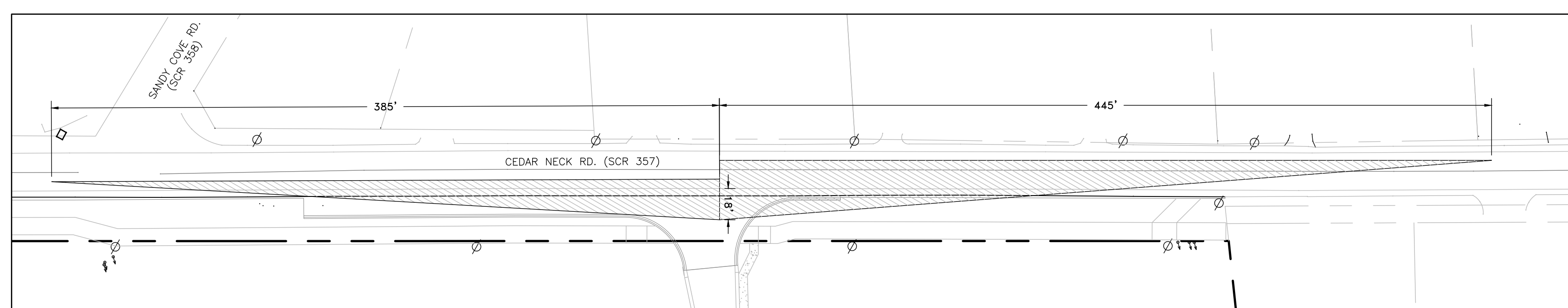
BB1	S 75°18'22" E	69.52'
BB2	S 10°01'39" W	20.07'
BB3	S 75°18'22" E	71.32'
BB4	N 15°10'23" E	20.00'

3,187 SF PERMANENT EASEMENT EE
(DEDICATED TO SUSSEX COUNTY)

EE1	S 09°11'53" W	20.02'
EE2	N 78°27'59" W	27.24'
EE3	N 08°38'33" E	144.53'
EE4	N 15°09'08" E	7.29'
EE5	S 80°48'07" E	19.17'
EE6	S 08°38'33" W	132.57'
EE7	S 78°27'59" E	7.41'



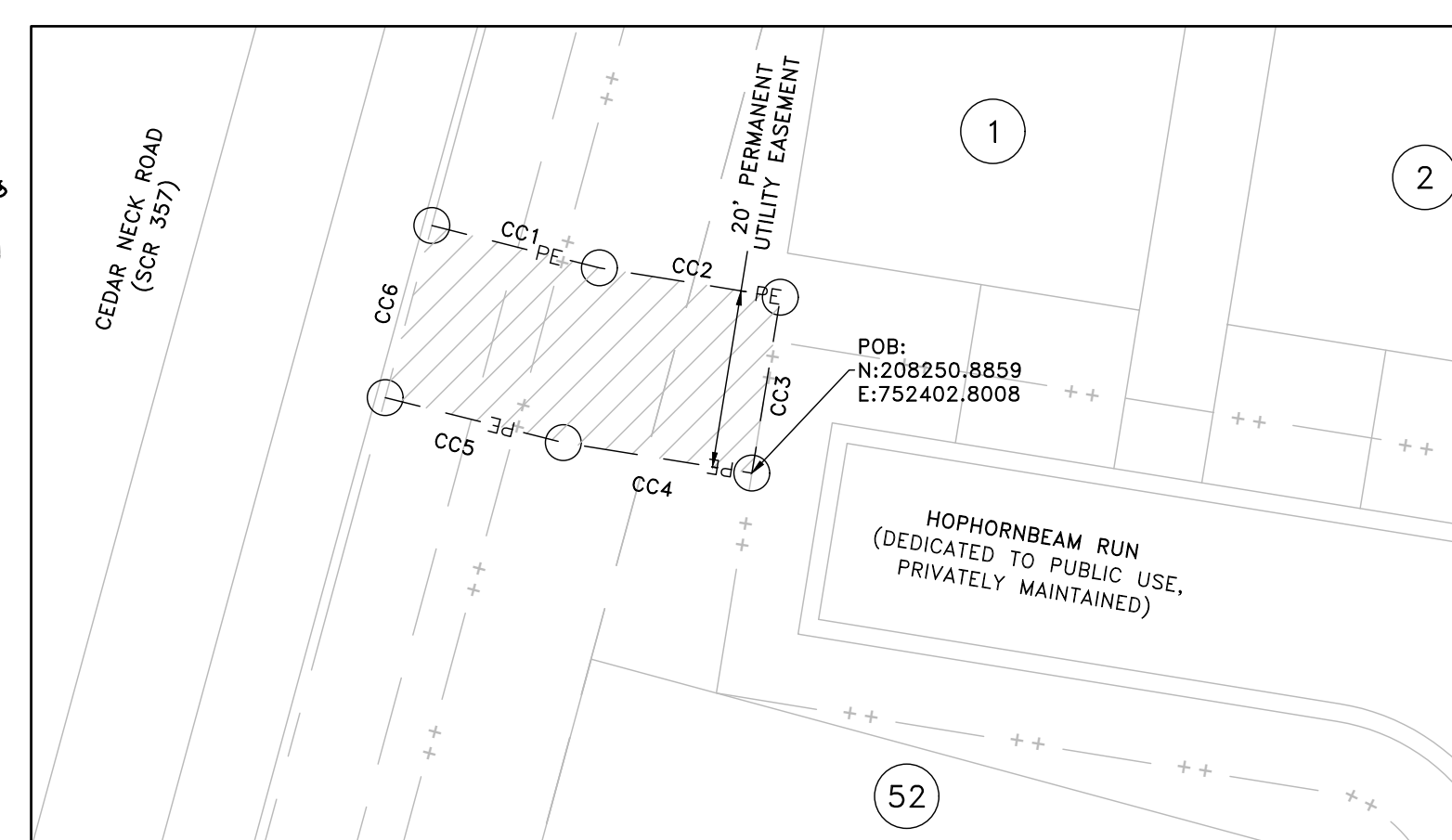
TYPICAL TYPE II RESIDENTIAL SECTION
SCALE: 1"=5'



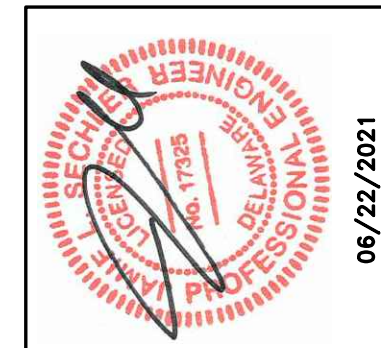
SIGHT DISTANCE TRIANGLE
SCALE: 1"=50'

820 SF PERMANENT EASEMENT CC
(DEDICATED TO SUSSEX SHORES WATER COMPANY)

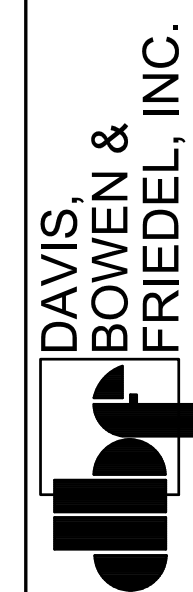
CC1	S 75°48'18" E	19.40'
CC2	S 80°48'07" E	20.56'
CC3	S 09°11'53" W	20.00'
CC4	S 80°48'07" E	21.44'
CC5	S 75°48'18" E	20.61'
CC6	N 15°09'08" E	20.00'



PERMANENT UTILITY EASEMENT CC
SCALE: 1"=20'



ARCHITECTS ENGINEERS SURVEYORS
DAVID S. FRIEDEL
BALTIMORE, DELAWARE (302) 432-1441
EASTON, MARYLAND (410) 770-4744



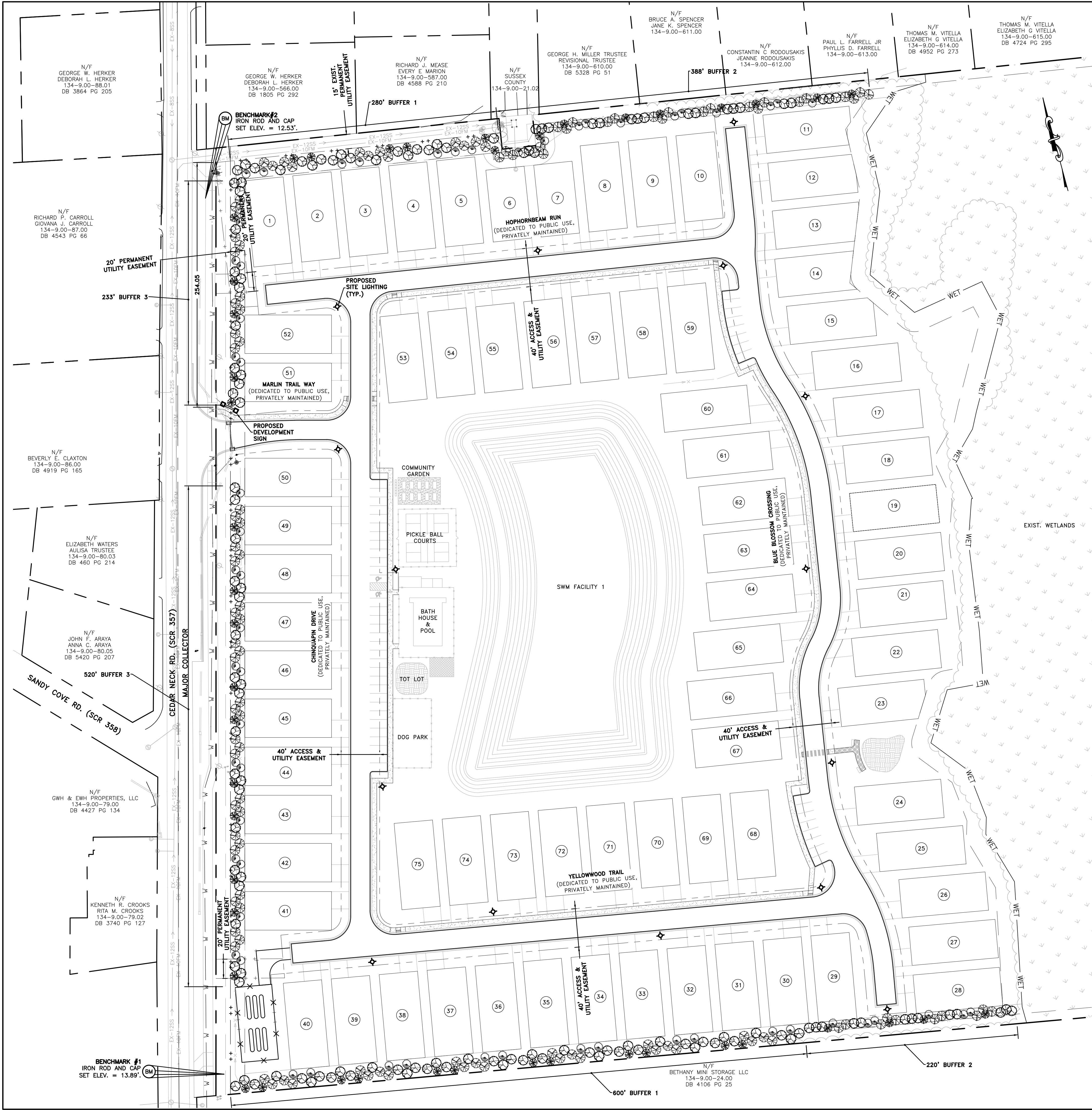
MARLIN CHASE
RESIDENTIAL COMMUNITY
BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE

Revisions:
04-29-2021 SCD COMMENTS
05-25-2021 SCE COMMENTS
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Date: MARCH 2021
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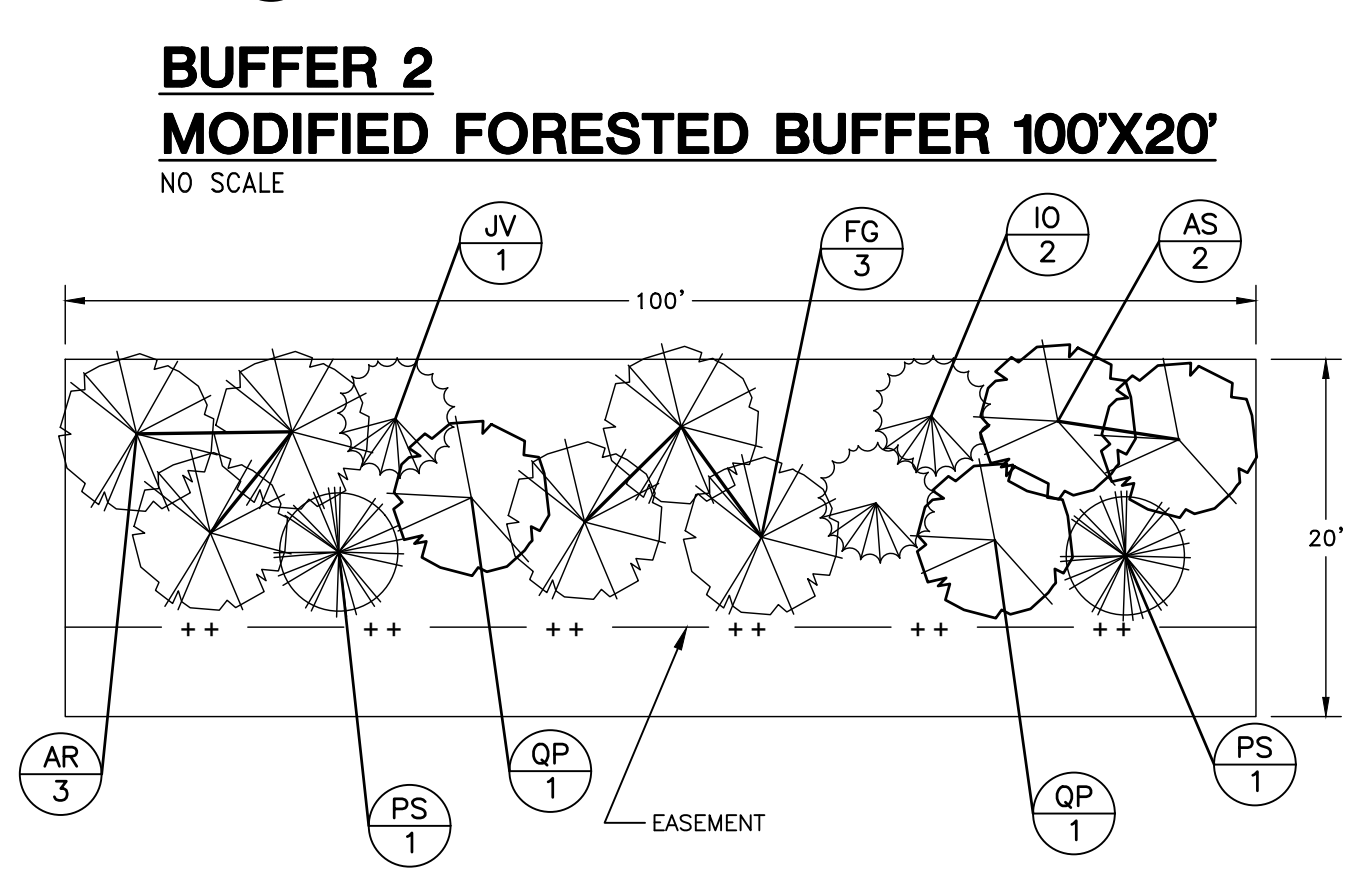
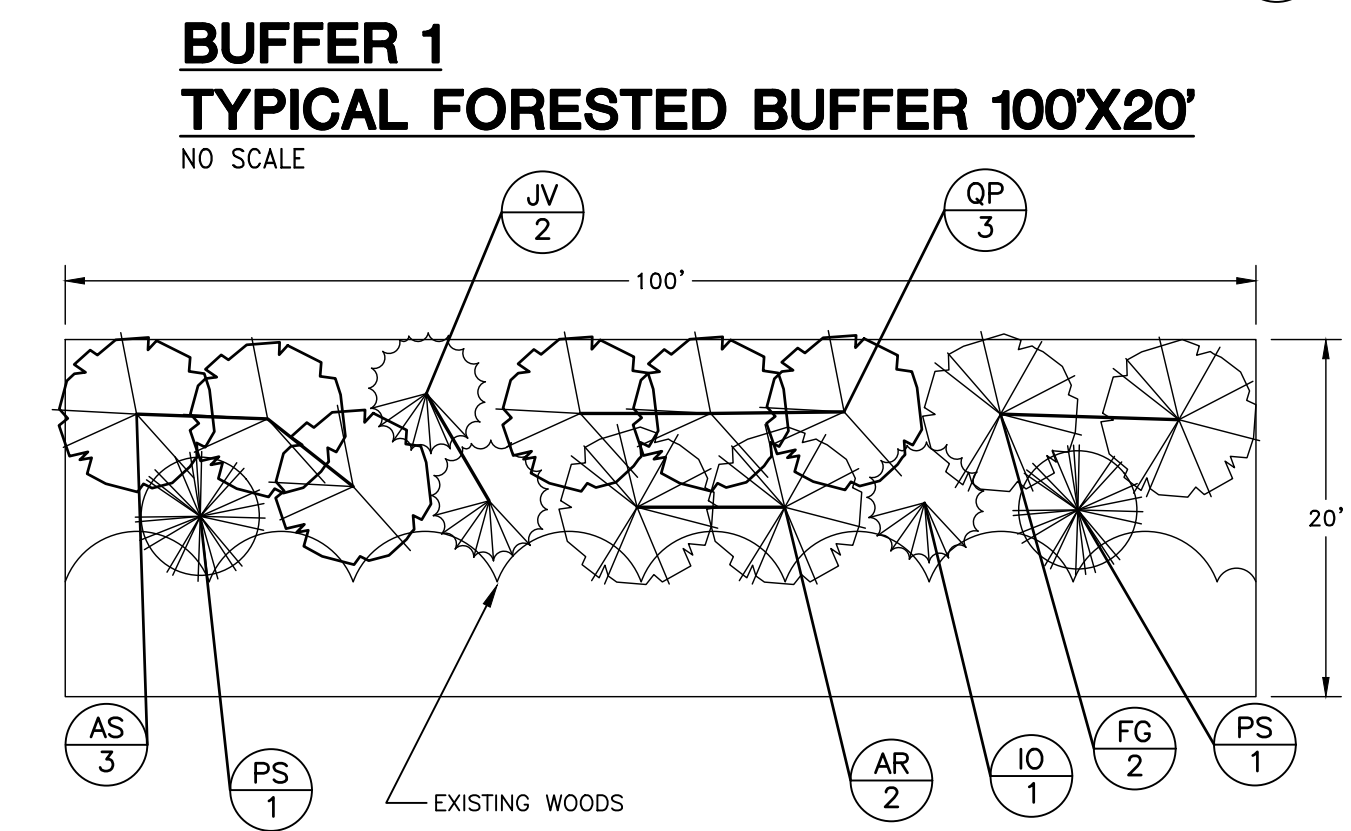
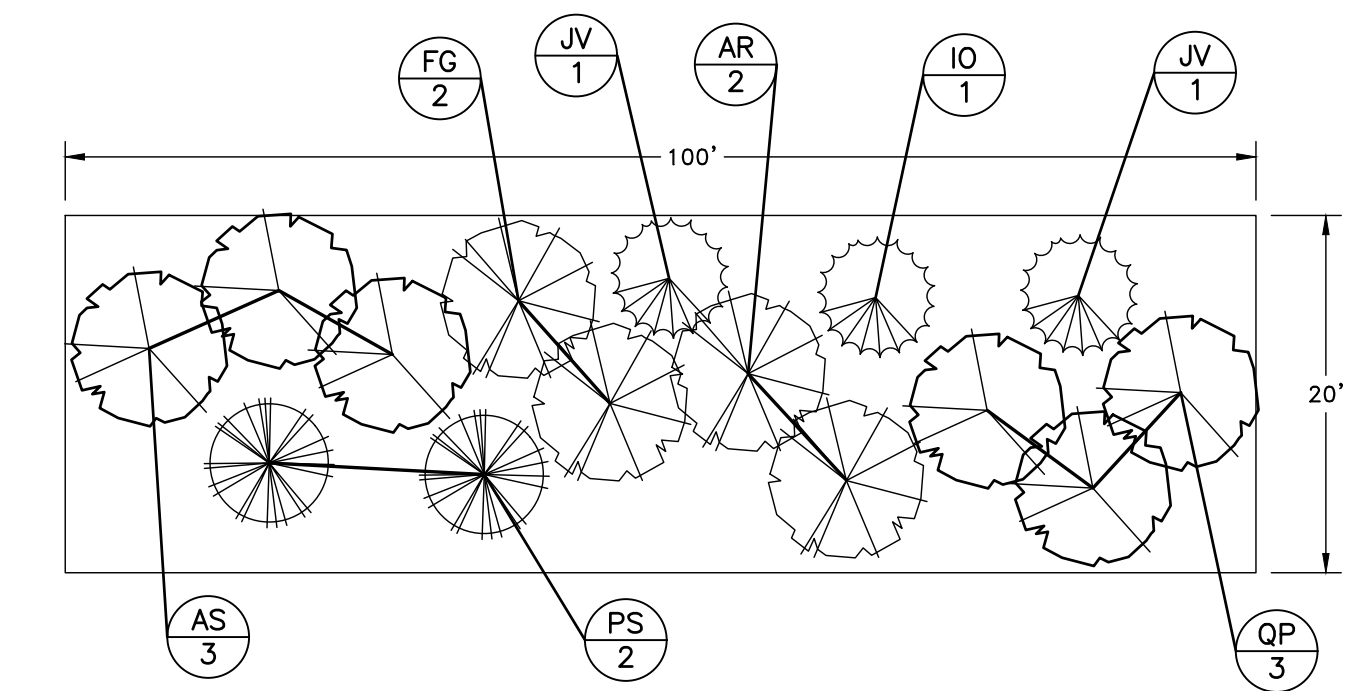
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FORESTED BUFFER PLANT SCHEDULE

SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	BUFFER 1 QUANTITY	BUFFER 2 QUANTITY	BUFFER 3 QUANTITY
DECIDUOUS TREE							
AR	AR	ACER rubrum	RED MAPLE	1 1/2 - 2" Cal., B&B MIN. 6' HT.	28	14	23
AS	AS	ACER saccharum "GREEN MOUNTAIN"	SUGAR MAPLE	1 1/2 - 2" Cal., B&B MIN. 6' HT.	25	21	18
QP	QP	QUERCUS phellos	WILLOW OAK	1 1/2 - 2" Cal., B&B MIN. 6' HT.	27	18	15
FG	FG	FAGUS grandifolia	AMERICAN BEECH	1 1/2 - 2" Cal., B&B MIN. 6' HT.	16	15	21
DECIDUOUS TOTAL					96	68	77
EVERGREEN TREE							
PS	PS	PINUS strobus	EASTERN WHITE PINE	5'-6" Ht., B&B	17	13	15
JV	JV	JUNIPERUS virginiana	EASTERN RED CEDAR	5'-6" Ht., B&B	8	11	7
IO	IO	ILEX opaca	AMERICAN HOLLY	5'-6" Ht., B&B	11	6	15
EVERGREEN TOTAL					36	30	37
TOTAL					132	98	114



LANDSCAPE REQUIREMENTS

- FORESTED AND/OR LANDSCAPED BUFFER 1:**
 REQUIRED: 132 TREES (880 LF/100) X 15 TREES = 132 TREES
 70% DECIDUOUS SHADE TREES + 30% EVERGREEN TREES
 PROVIDED: 36 EVERGREEN (27%)
 96 DECIDUOUS (73%)
 132 TOTAL BUFFER TREES
- FORESTED AND/OR LANDSCAPED BUFFER 2:**
 REQUIRED: 92 TREES (608 LF/100) X 15 TREES = 91.12 TREES
 70% DECIDUOUS SHADE TREES + 30% EVERGREEN TREES
 PROVIDED: 30 EVERGREEN (31%)
 68 DECIDUOUS (69%)
 98 TOTAL BUFFER TREES
- FORESTED AND/OR LANDSCAPED BUFFER 3:**
 REQUIRED: 113 TREES (753 LF/100) X 15 TREES = 112.95 TREES
 70% DECIDUOUS SHADE TREES + 30% EVERGREEN TREES
 PROVIDED: 37 EVERGREEN (32%)
 77 DECIDUOUS (68%)
 114 TOTAL BUFFER TREES



LANDSCAPE PLAN

DAVIS, BOWEN & FRIEDEL, INC.

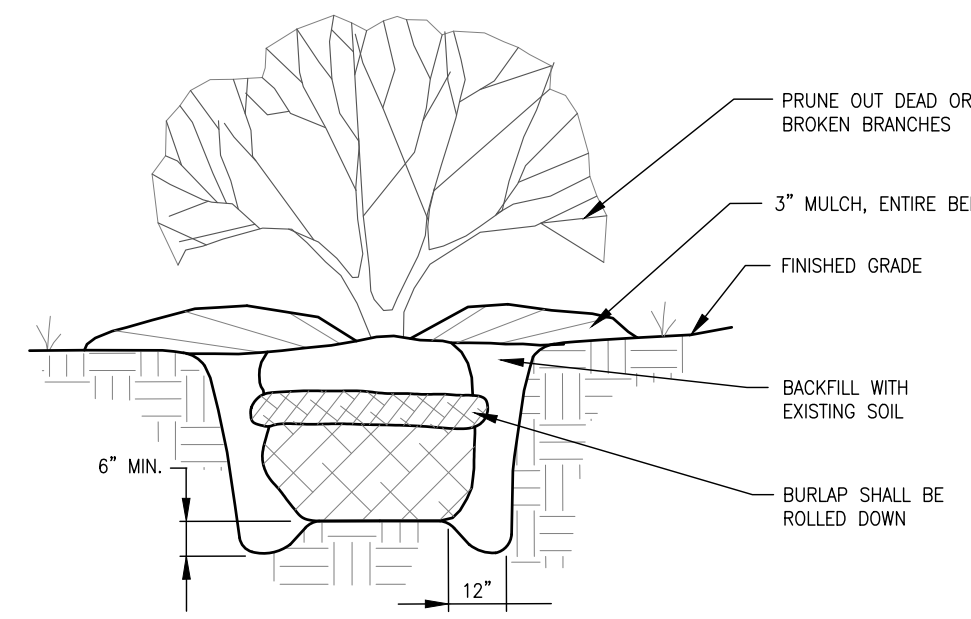
ARCHITECTS ENGINEERS SURVEYORS

GALLERY: WILMINGTON, DELAWARE (302) 427-1441
 OFFICE: WASHINGTON, D.C. (202) 427-1441
 EASTON, MARYLAND (410) 770-4744

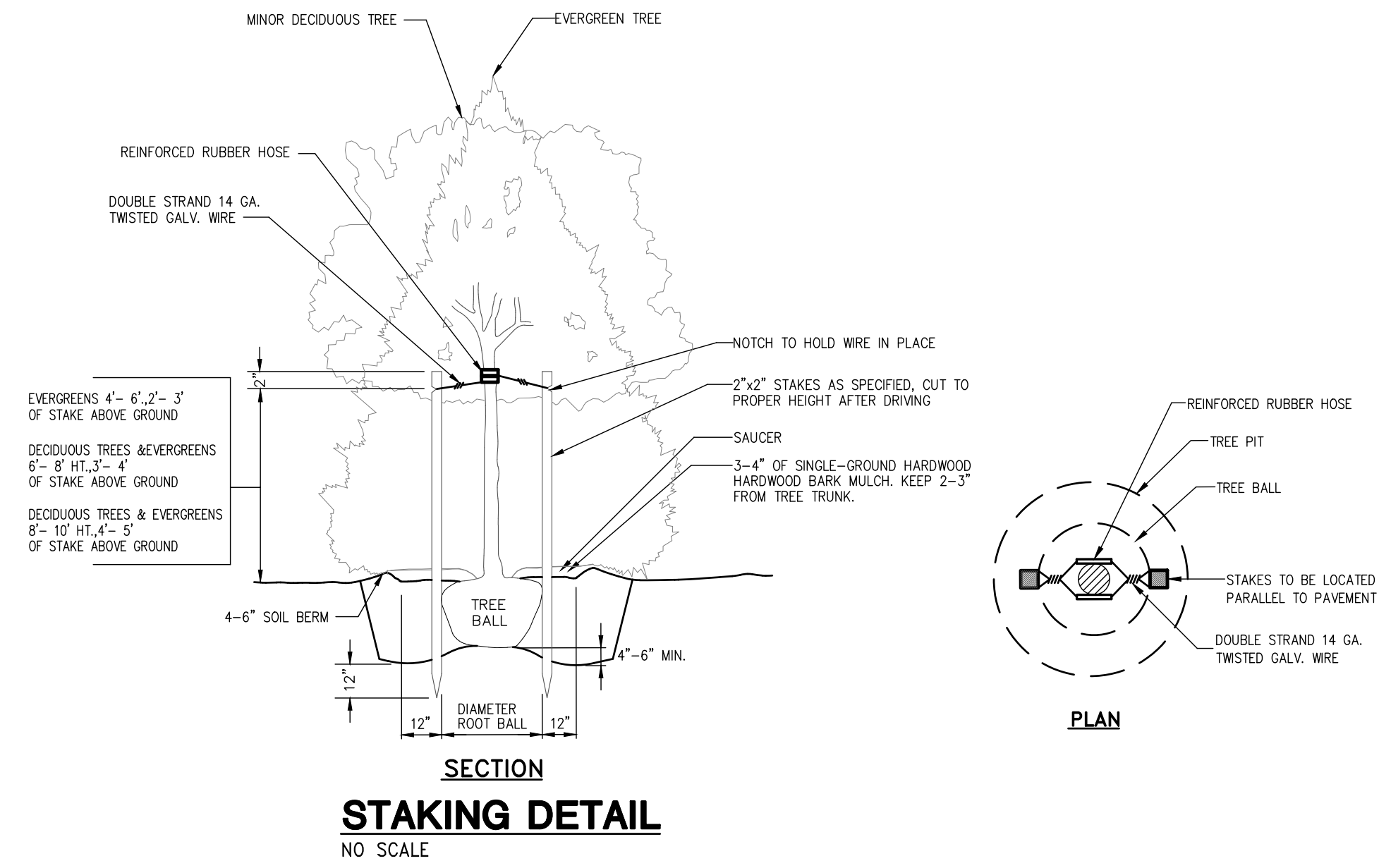
MARLIN CHASE
RESIDENTIAL COMMUNITY
SUSSEX COUNTY, DELAWARE

Revisions:
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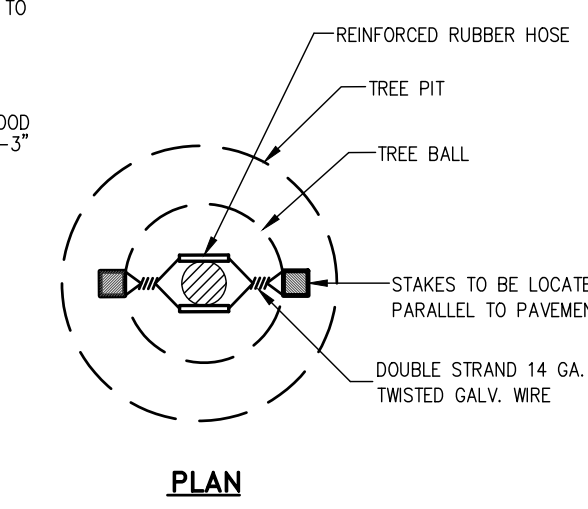
Date: **MARCH 2021**
 Scale: **AS NOTED**
 Dwn. By: **DJR**
 Proj. No.: **0818C045**
 Dwg. No.: **L-101**



SHRUB PLANTING DETAIL
NO SCALE



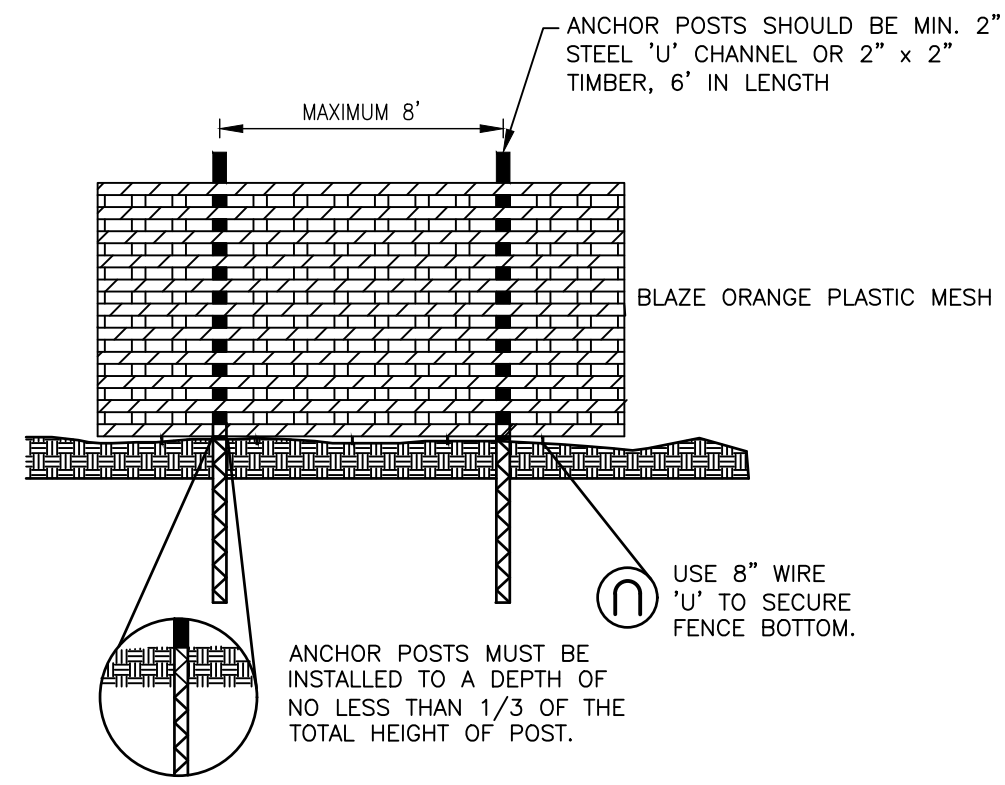
SECTION STAKING DETAIL
NO SCALE



PLAN

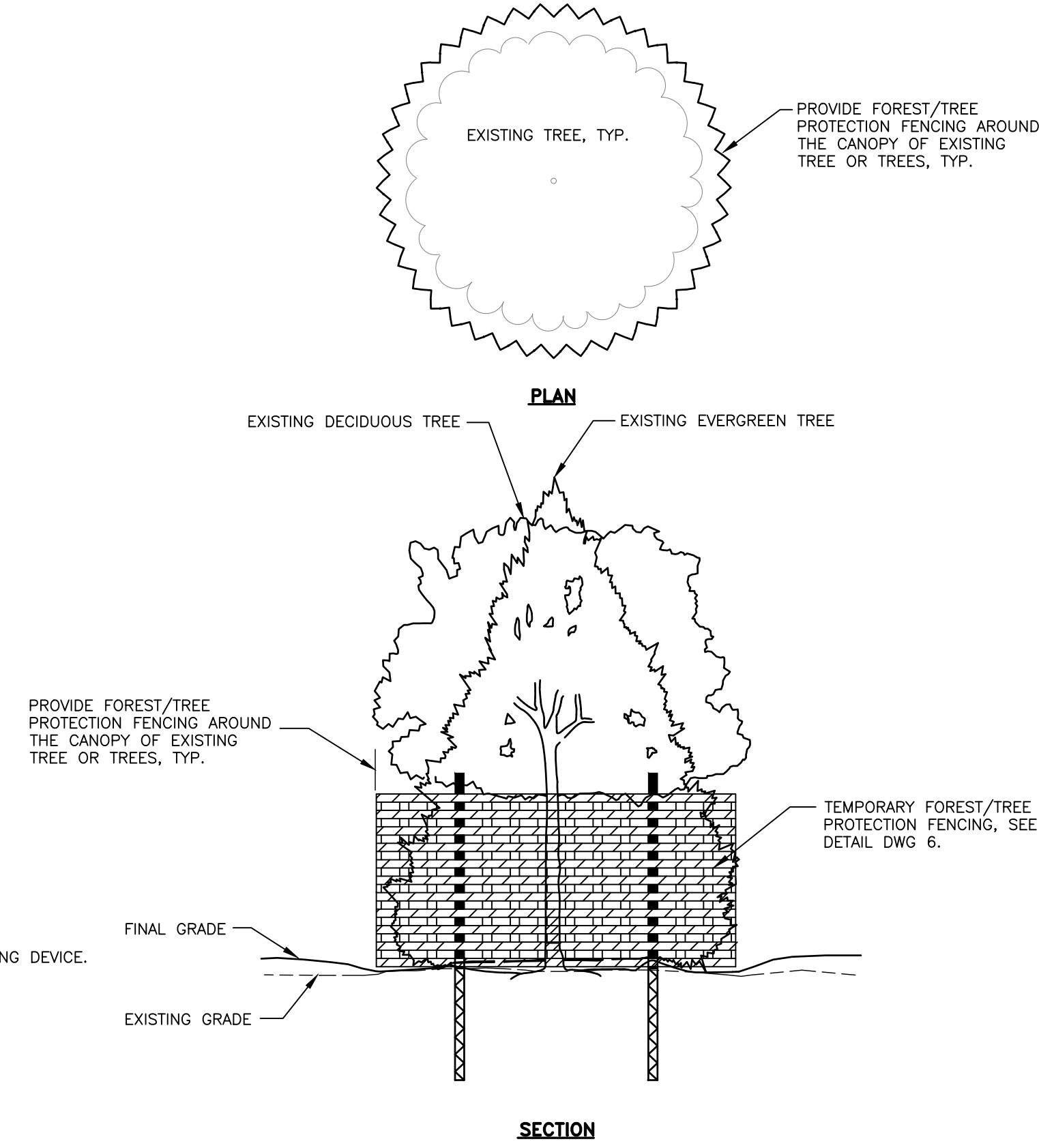
GENERAL LANDSCAPE NOTES

1. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF ROOT BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSEYRMEN "AMERICAN STANDARDS FOR NURSERY STOCK".
2. CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR AFTER INSTALLATION IS COMPLETE AND FINAL ACCEPTANCE OF PHASE I SITE WORK HAS BEEN GIVEN. AT THE END OF ONE YEAR ALL PLANT MATERIAL WHICH IS DEAD OR DYING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AS ORIGINALLY SPECIFIED.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
4. NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER.
5. ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN.)
6. EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
7. ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 7'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STAKING DETAIL SHOWN.
8. THE FULL EXTENT OF ALL PLANTING BEDS SHALL RECEIVE 4" OF TOPSOIL AND 3" OF SHREDDED HARDWOOD MULCH PER SPECIFICATIONS.
9. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
10. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
11. THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.



- NOTES:**
1. FOREST PROTECTION DEVICE ONLY.
 2. RETENTION AREA WILL BE SET AS PART OF THE REVIEW PROCESS.
 3. BOUNDARIES OF RETENTION AREA SHOULD BE STAKED AND FLAGGED PRIOR TO INSTALLING DEVICE.
 4. ROOT DAMAGE SHOULD BE AVOIDED.
 5. PROTECTIVE SIGNAGE MAY ALSO BE USED.
 6. DEVICE SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION.

TEMPORARY FOREST/TREE PROTECTION FENCING
NOT TO SCALE



NOTE: ALL GRADING WILL BE LIMITED TO THE CANOPY AND/OR TEMPORARY FOREST/TREE PROTECTION FENCING.

EXISTING TREE PROTECTION DETAIL
NOT TO SCALE

LANDSCAPE ARCHITECT'S STATEMENT

I, TIMOTHY M. METZNER, HEREBY STATE THAT I AM A REGISTERED LANDSCAPE ARCHITECT IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

by **TIMOTHY M. METZNER,**
DAVIS, BOWEN & FRIEDEL, INC.
1 PARK AVENUE
MILFORD, DELAWARE, 19963

DATE

ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
 OFFICES: MILFORD, DELAWARE (302) 422-1441
 EASTON, MARYLAND (410) 770-4744

LANDSCAPE DETAILS

MARLIN CHASE RESIDENTIAL COMMUNITY SUSSEX COUNTY, DELAWARE

- Revisions:
 04-29-2021 SCD COMMENTS
 05-25-2021 SCE COMMENTS
 06-09-2021 SCE COMMENTS

Date: **MARCH 2021**
 Scale: **AS NOTED**
 Dwn.By: **DJR**
 Proj.No.: **0818C045**
 Dwg.No.:

1. This subdivision received Preliminary Approval as Subdivision 2006-39 on January 28, 2010. The Final Site Plan was approved on March 10, 2011.
2. The Final Site Plan included a “Tree Conservation Easement” to the rear of Lots 2 through 16. The current developer of the subdivision is asking that the Final Site Plan be amended to delete or reduce that “Forest Conservation Easement”.
3. On July 9, 2020, the Commission considered this request as an “Other Business” item and it was determined that a public hearing should be scheduled so that anyone with an interest in this request could be heard, including neighboring property owners who might be impacted by the request.
4. After considering the information presented during the public hearing, I move that the “Tree Conservation Easement” shown on the Revised Final Subdivision Plan approved on May 25, 2016, may be reduced in depth by a maximum of 50 feet from that currently shown for lots 2 through 4 and lots 8-16. However, the “Tree Conservation Easement” shall remain unchanged for lots 5, 6, and 7 so that hunting rights for adjoining property owners are not impacted.
5. A revised Final Site Plan including these amendments shall be subject to the review and approval of the Planning & Zoning Commission.

Motion by Ms. Stevenson, seconded by Ms. Wingate and carried unanimously to approve Subdivision 2020-20 for Johnsonville (2206-39), for the reasons and conditions stated in the motion. Motion carried 4 – 0.

C/Z 1942 – Bay Developers, LLC (Twin Cedars, LLC)

An Ordinance to amend the Comprehensive Zoning Map of Sussex County from a C-1 General Commercial District, CR-1 Commercial Residential District and GR General Residential District to a GR-RPC General Residential District - Residential Planned Community for a certain parcel of land lying and being in Baltimore Hundred, Sussex County, containing 64.32 acres, more or less. The property is lying on the south side of Zion Church Road (Rt. 20), approximately 0.55-mile northwest of Bayard Road. 911 Address: N/A. Tax Parcel: 533-11.00-42.00.

Ms. Wingate stated that she was not prepared to make a motion; that she feels that there is overcrowding on the front of this property; that the previous apartments on this property totaled 48 units and this Application is for 168 apartments, 44 townhomes and 44 single-family lots; that berms are shown on the conceptual site plan but when questioned the Applicant said they may not have sufficient room to install said berms; and that the open space is not usable open space.

The Commission discussed the Application.

Motion by Ms. Wingate to defer action on Application C/Z 1942 – Bay Developers, LLC (Twin Cedars, LLC) for further consideration, seconded by Mr. Mears and carried unanimously. Motion carried 4-0.

C/Z 1922 – Baywood, LLC

An Ordinance to amend the Comprehensive Zoning Map of Sussex County from a B-1 (Neighborhood Business District), C-1 (General Commercial District) and CR-1 (Commercial Residential District) to a HR-RPC High Density Residential District - Residential Planned Community for a certain parcel of land lying and being in Indian River Hundred, Sussex County, containing 54.38 acres, more or less. The property is lying on the north side and south side of Long

MAPPING & ADDRESSING

MEGAN NEHRBAS
MANAGER OF GEOGRAPHIC
INFORMATION SYSTEMS (GIS)
(302) 855-1176 T
(302) 853-5889 F



Sussex County

DELAWARE
sussexcountyde.gov

January 6, 2021

Ocean Atlantic Companies

Attn: Ben Gordy

RE: Change of Sub Division Name(s)/Formally known as:

MARLIN RUN

I have received your request to change the subdivision previously approved as **Marlin Run**, which is located in **Ocean View** (134-9.00-21.00). The name change has been approved and will now be known as:

MARLIN CHASE

Should you have any questions please contact the **Sussex County Addressing Department at 302-853-5888 or 302-855-1176.**

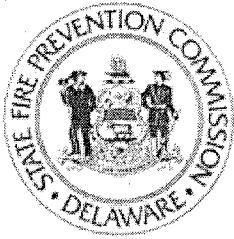
Sincerely,

Terri L. Dukes

Terri L. Dukes
Addressing Technician II

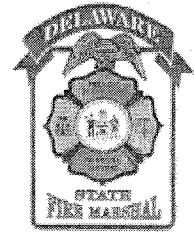
CC: Christin Headley
Planning & Zoning





**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2021-04-206559-MJS-01

Tax Parcel Number: 134-9.00-21.00

Status: Approved as Submitted

Date:

Project

Marlin Chase	East side of Cedar Neck Road at Sandy Cove Road
Marlin Chase	Ocean View DE 19970

Scope of Project

Number of Stories:	
Square Footage:	
Construction Class:	Occupant Load Inside:
Fire District: 84 - Millville Volunteer Fire Co	Occupancy Code: 9601

Applicant

Jamie Sechler
1 Park Avenue
Milford, DE 19963

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

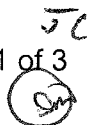
Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:



 John Colpo
 Fire Protection Specialist



FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2021-04-206559-MJS-01

Tax Parcel Number: 134-9.00-21.00

Status: Approved as Submitted

Date:

PROJECT COMMENTS

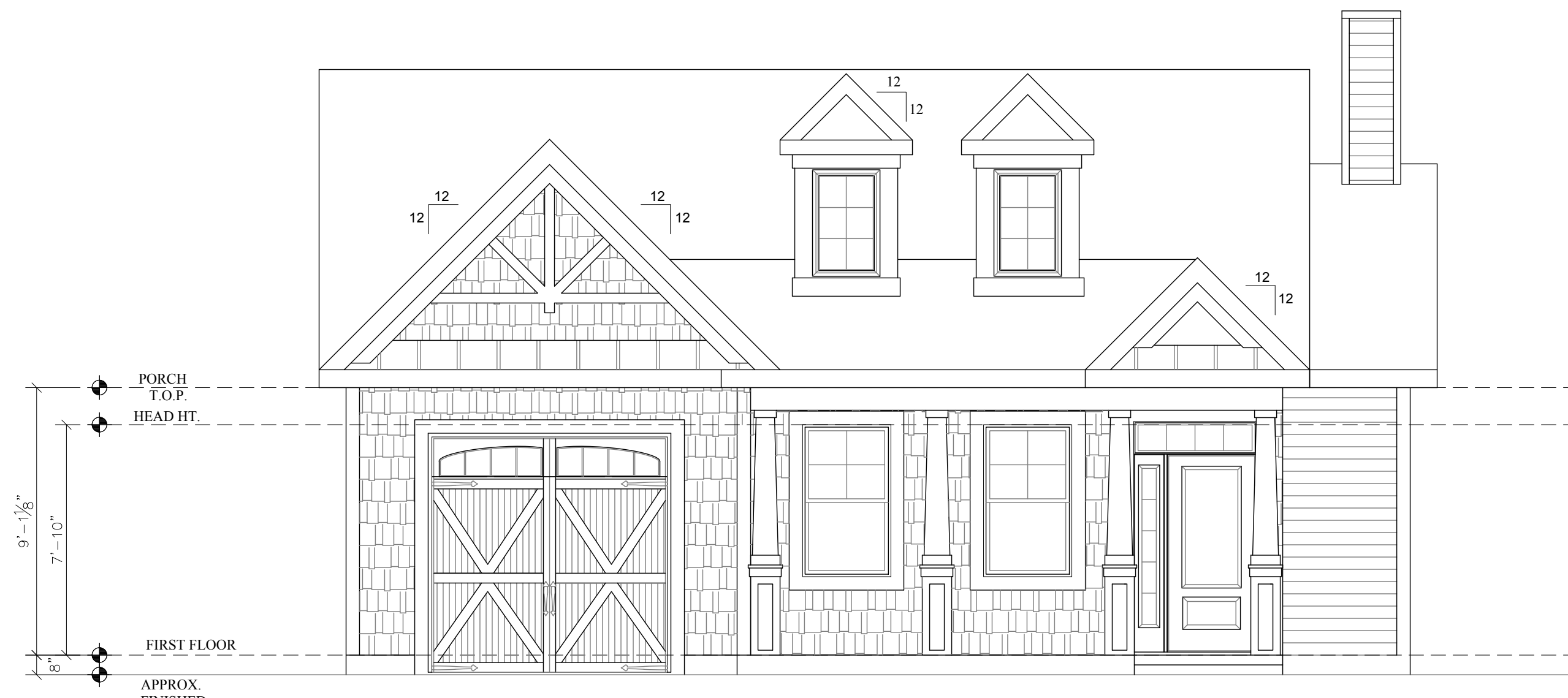
- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1030 A** This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 500 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 1,000' on center.
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1190 A** Separate plan submittal is required for the building(s) proposed for this project.
- 1130 A** Provide a water flow test on the subdivision hydrant(s) once they have been installed, and before they are placed into service (DSFPR Part I, Section 4 4.2 and Part III, Chapter 3). Results are to be forwarded to this Agency for review.
- 1132 A** Fire hydrants shall be color coded in accordance with the DSFPR, Part III, Section 3 4. This includes both color coding the bonnet and 2" reflective tape around the barrel under the top flange.
- 1232 A** All threads provided for fire department connections, to sprinkler systems, standpipes, yard hydrants or any other fire hose connections shall be uniform to those used by the fire department in whose district they are located. DSFPR Part III, Section 1.1.5.1.
- 1432 A** The steamer connection of all fire hydrants shall be so positioned so as to be facing the street or fire lane. (DSFPR Regulation 705, Chapter 5, Section 10). The

center of all hose outlet(s) on fire hydrants shall be not less than 18 inches above finalgrade (NFPA 24, Section 7.3.3).

1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.



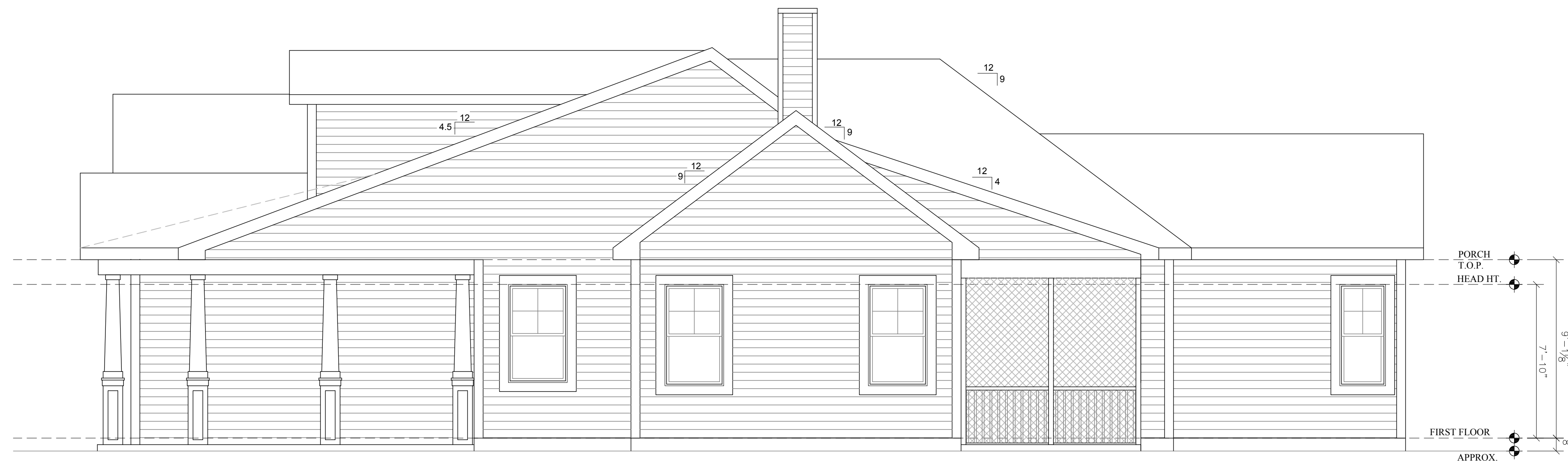
LEFT SIDE ELEVATION
Scale: 1/4" = 1'-0"



FRONT ELEVATION
Scale: 1/4" = 1'-0"



REAR ELEVATION
Scale: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
Scale: 1/4" = 1'-0"

S:\0518\08\01\01\Triton\Homestead\DEC PLANS\UNIT 15 - 2019-12-16--1319A019\UNIT 15-OVERVIEW PLAN.dwg, Jan 10, 2020 - 10:28am

DAVIS, BOWEN & FRIEDEL, INC.
 ARCHITECTS, ENGINEERS, SURVEYORS
 SUSSEX COUNTY, DELAWARE
 401 N. MARKET STREET, SUITE 200
 WILMINGTON, DELAWARE 19801
 TEL: (302) 441-9941
 FAX: (302) 441-9942
 EASTON, MARYLAND (410) 770-1744

CONDOMINIUM DECLARATION PLAN FOR
THE TRUITT HOMESTEAD LEASEHOLD CONDOMINIUM
SINGLE FAMILY UNIT 15
 AGE RESTRICTED
 RESIDENTIAL COMMUNITY
 SUSSEX COUNTY, DELAWARE

Revisions:
Date: JANUARY, 2020
Scale: AS SHOWN
Dwn.By: JDR
Proj.No.: 1319A019.E01
Dwg.No.:

THIS DRAWING, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO DAVIS, BOWEN & FRIEDEL, INC., AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION.

\\sharif\survey\081808\BL001 Truitt Homes\dec\DEC PLANS\UNIT 35-2019-08-07\1319A019-UNIT 35-OVERVIEW PLAN.dwg Aug 09, 2019 - 11:13pm



FRONT ELEVATION
Scale: 1/4" = 1'-0"



REAR ELEVATION
Scale: 1/4" = 1'-0"

Revisions:
Date: AUGUST, 2019
Scale: AS SHOWN
Dwn.By: JDR
Proj.No.: 1319A019.E01
Dwg.No.:



LEFT SIDE ELEVATION
Scale: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
Scale: 1/4" = 1'-0"

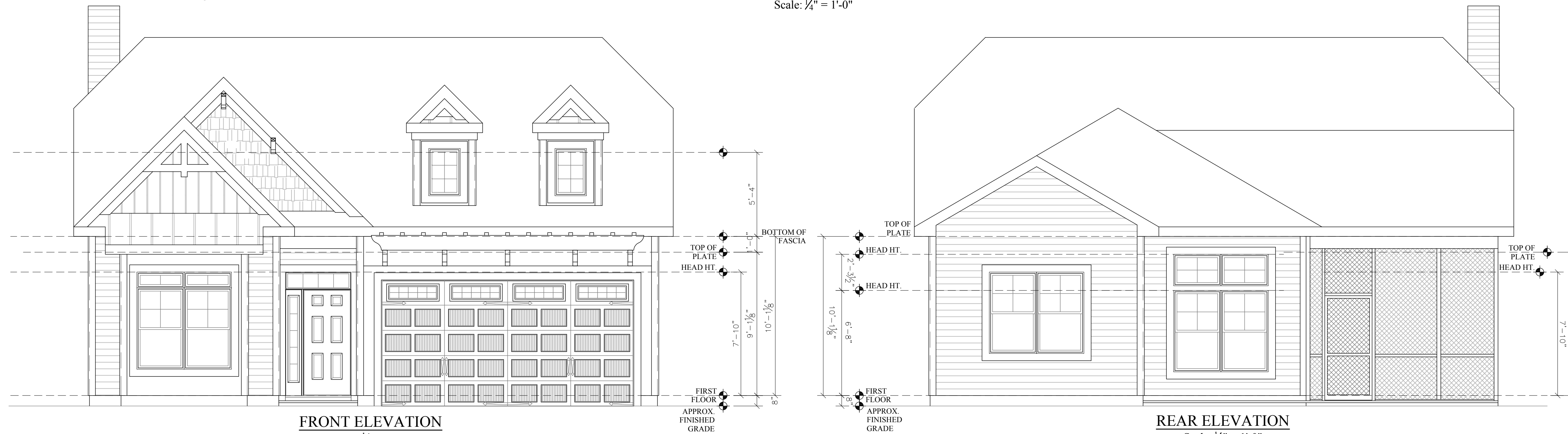
I:\Shed\survey\081808\01 Truitt Homes\dec\DEC PLANS\UNIT 35-2019-08-27\1319A019-UNIT 35-OVERVIEW PLAN.dwg Aug 09, 2019 - 11:15pm

Revisions:

Date: **AUGUST, 2019**
Scale: **AS SHOWN**
Dwn.By: **JDR**
Proj.No.: **1319A019.E01**
Dwg.No.:



LEFT-SIDE ELEVATION
Scale: 1/4" = 1'-0"



FRONT ELEVATION
Scale: 1/4" = 1'-0"

REAR ELEVATION
Scale: 1/4" = 1'-0"



RIGHT-SIDE ELEVATION
Scale: 1/4" = 1'-0"

S:\05\18\08\18\001\Truitt Home\stn\DEC PLANS\UNIT 38 - OVERVIEW PLAN.dwg Nov 05, 2020 - 2:05pm

ARCHITECTS, ENGINEERS, SURVEYORS
MILFORD, DELAWARE (302) 442-9941
MILFORD, DELAWARE (302) 442-9941
EASTON, MARYLAND (410) 770-1744

DAVIS, BOWEN & FRIEDEL, INC.

CONDOMINIUM DECLARATION PLAN FOR
THE TRUITT HOMESTEAD LEASEHOLD CONDOMINIUM
SINGLE FAMILY UNIT 38

AGE RESTRICTED
RESIDENTIAL COMMUNITY
SUSSEX COUNTY, DELAWARE

Revisions:

Date: NOVEMBER, 2020

Scale: AS SHOWN

Dwn.By: JDR

Proj.No.: 1319A019.E01

Dwg.No.:

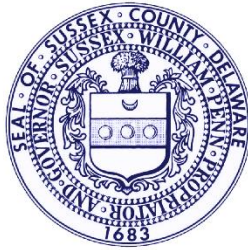
3 OF 3

THIS DRAWING, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO DAVIS, BOWEN & FRIEDEL, INC., AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION.

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MAPPING & ADDRESSING

MEGAN NEHRBAS
MANAGER OF GEOGRAPHIC
INFORMATION SYSTEMS (GIS)
(302) 855-1176 T
(302) 853-5889 F



Sussex County

DELAWARE
sussexcountyde.gov

August 6, 2019

Blue Water Development Corp.
Attn: Steven Kremer

RE: Change of Sub Division Name(s)/Formally known as Oceanside Vista

I have reviewed the name(s) submitted for your proposed subdivision name change, which is located in Ocean View (134-9.00-21.00). In reviewing the proposed name(s) the following has been **approved** for this subdivision:

MARLIN RUN

Should you have any questions please contact the **Sussex County Addressing Department at 302-853-5888 or 302-855-1176.**

Sincerely,

Terri L. Dukes

Terri L. Dukes
Addressing Technician II

CC: Christin Headley
Planning & Zoning



Sussex County 911 Addressing and GIS Services

Sussex County West Complex Administrative Offices
22215 DuPont Blvd 3rd Floor
P.O. Box 589
Georgetown, DE 19947

Phone: (302) 855-1176
Fax: (302) 853-5889



July 23, 2015

Land Tech, LLC.
Attn: Jeffrey Clark
118 Atlantic Av
Ocean View, DE 19970

RE: **Street Names**

I have received proposed street names for Oceanside Vista located in Ocean View. In reviewing the proposed street name(s) the following have been approved:

Marlin Tail Way	Chinquapin Dr	Blue Blossom Crsg
Yellowwood Tr	Hophornbeam Rn	

Use only approved road names that you have written confirmation for or you will be required to rerecord.

Upon final approval, please forward a copy of the recorded site plan to my attention. Our office would appreciate a digital copy if at all possible for the purpose of addressing. Should you have any questions, please contact the **Sussex County Addressing Department** at 302-855-1176.

Sincerely,

A handwritten signature in cursive script that reads "L. Stubbs".

Lindsey D. Stubbs
Addressing Department

CC: Janelle Cornwell
Planning & Zoning



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

NICOLE MAJESKI
SECRETARY

June 29, 2021

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

SUBJECT: Letter of No Objection to Recordation
Marlin Chase
Tax Parcel # 134-9.00-21.00
SCR00357-CEDAR NECK ROAD
Baltimore Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Site Plan, dated June 22, 2021 (last revised June 9, 2021), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawings. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Site Plan is not recorded prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. Entrance plans shall be developed in accordance with DelDOT's [Development Coordination Manual](#) and submitted to the Development Coordination Section for review and approval.

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There

Marlin Chase
Mr. Jamie Whitehouse
Page 2
June 29, 2021

may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction to modify or reject this proposed plan even though DeIDOT has established that these enumerated transportation improvements are acceptable.

If I can be of any further assistance, please call me at (302) 760-2266.

Very truly yours,



R. Stephen McCabe
Sussex County Review Coordinator
Development Coordination

cc: Ben Gordy, Weston Willows, LLC
Jamie Sechler, Davis, Bowen & Friedel, Inc.
William Kirsch, South District Entrance Permit Supervisor
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Matt Schlitter, South District Public Works Engineer
Scott Rust, South District Public Work Manager
James Argo, South District Project Reviewer
Richard Larkin, South District Subdivision Manager
Jennifer Pinkerton, Chief Materials & Research Engineer
Linda Osiecki, Pedestrian Coordinator
John Fiori, Bicycle Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kauffman, DTC Planner
James Kelley, JMT
Wendy L. Polasko, Subdivision Engineer
Kevin Hickman, Sussex County Reviewer



June 4, 2021

Jamie Sechler
Davis, Bowen & Friedel, Inc.
jls@dbfinc.com

RE: **Marlin Chase – Seaford, DE**

Mr. Sechler,

Sussex Conservation District has reviewed the sediment and stormwater management plans submitted for the above referenced project. The District has found the submittal to be acceptable, please provide the District with the following:

- Submit 5 sets of plans for approval.
- Submit 1 set scaled 12 x 18 for approval.
- Submit an electronic copy (PDF) of the project's complete construction set.
- Submit an electronic copy (PDF) of the Stormwater Report (and all exhibits).
- Provide a check for inspection fee for \$6,900 and maintenance fee for \$850. (These fees can be combined on one check.)

Please note:

- Every plan sheet is to be signed and sealed by a qualified design professional.
- The SCD Owners Certification Statement is to be signed in ink on each set of plans.

If plans are submitted with any of the above items missing, they will **not** be approved. Be advised if there are any deficiencies which cannot be addressed within 72 hours the plans will be considered withdrawn and therefore, you will need to entirely resubmit. We appreciate your cooperation in this matter as we are trying to maintain a professional and structured office to better serve you.

If ownership is going to change, the District will require a new application and two sets of plans with the new owner's information and signed certification statement. In addition, the authorization to discharge stormwater under the regulations *Part 2 Special Conditions for Storm*

Water Discharges Associated with Construction Activities, must be transferred by the original owner to the new owner, please contact DNREC at 302-739-9921 for assistance.

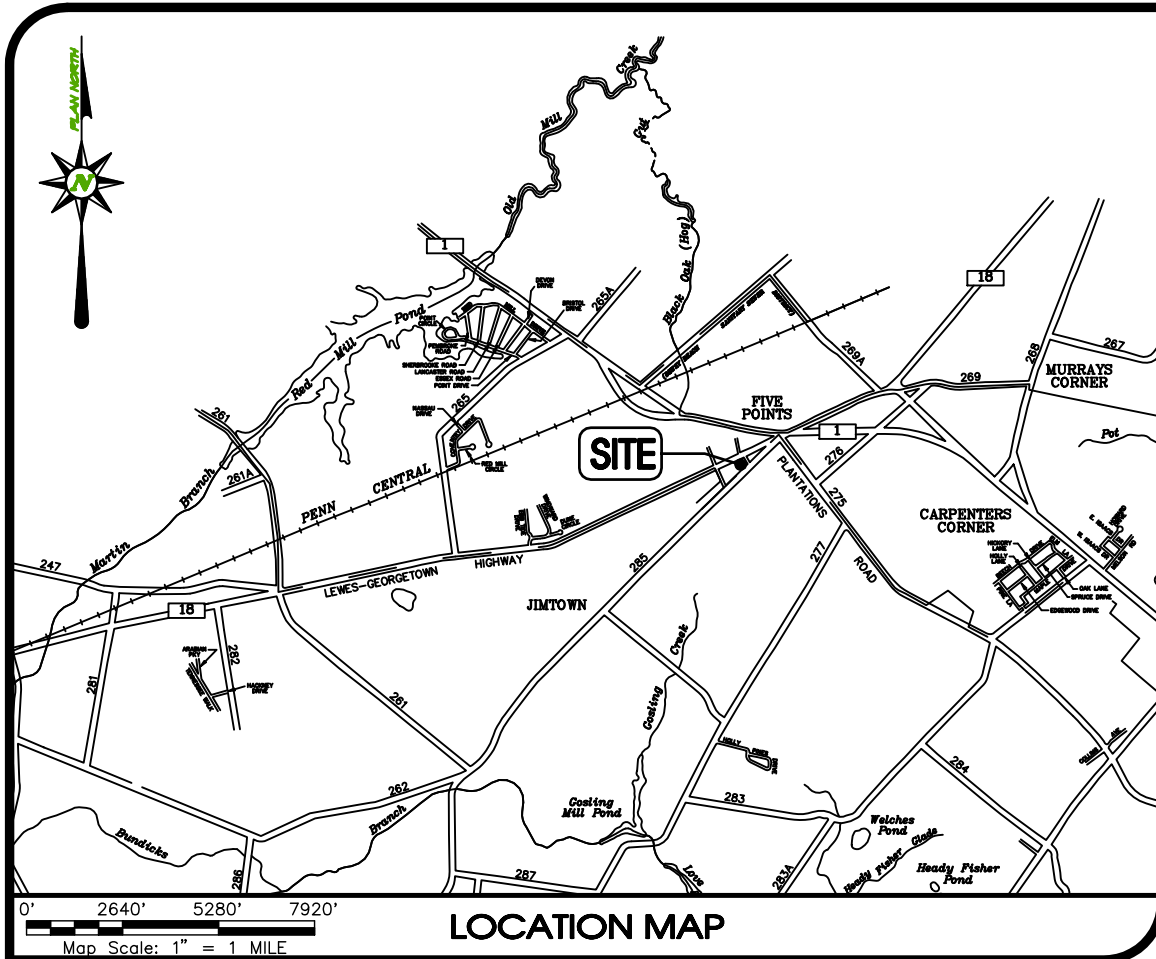
If you have any questions or concerns regarding the aforementioned, please do not hesitate to contact the District at 302-856-2105.

Sincerely,

John Justice

Plan Reviewer

Cc: Chad Warren, DBF,Inc.



PLAN LEGEND

- SUPPLEMENTAL CONTOUR (1' INTERVAL)
- INDEX CONTOUR (5' INTERVAL)
- EXISTING PAVEMENT EXTENTS
- EXISTING PAVEMENT STRIPING
- EXISTING PROPERTY BOUNDARY
- ADJOINING PROPERTY LINE
- EXISTING GAS MAIN
- EXISTING STORM CULVERT
- EXISTING SANITARY SEWER MAIN
- EXISTING ELECTRIC LINE (OVERHEAD)
- EXISTING ELECTRIC LINE (BURIED)
- EXISTING FENCE LINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED BUILDING RESTRICTION LINE
- EXISTING IRON PIPE FOUND
- ▲ EXISTING IRON ROD FOUND
- EXISTING UTILITY POLE
- IRON PIPE TO BE SET

SITE DATA and ZONING SCHEDULE

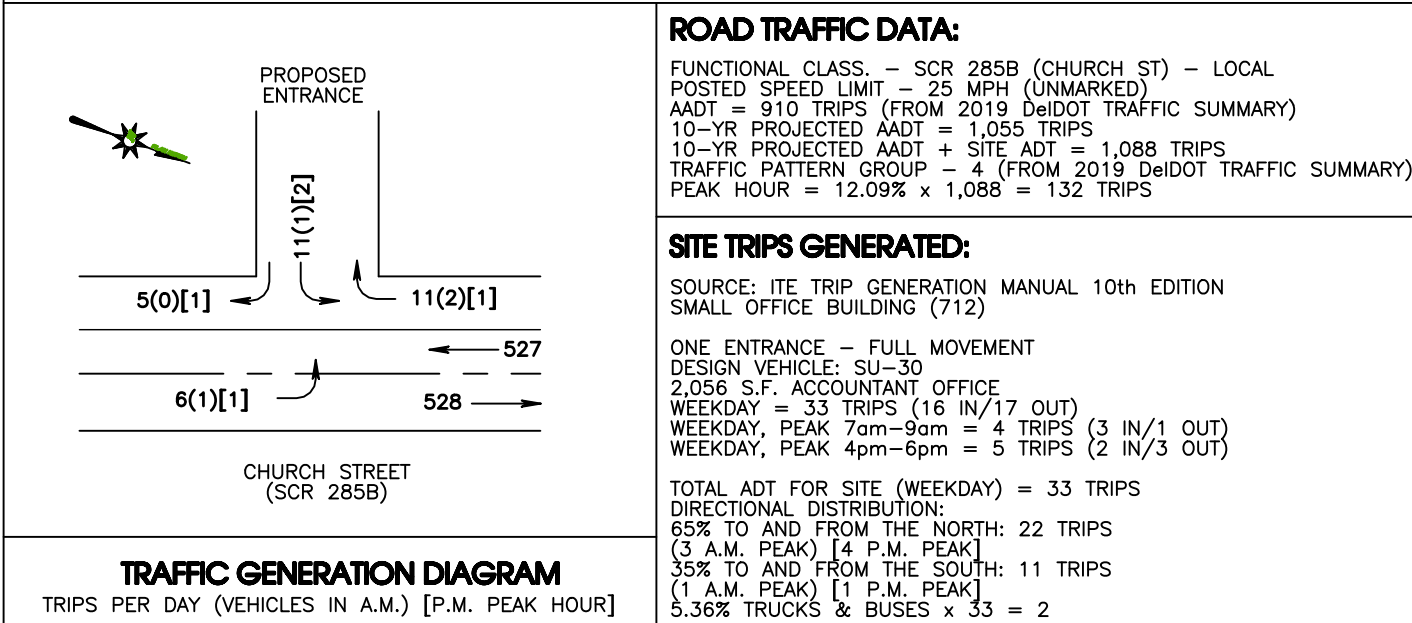
TAX PARCEL No.: 334-5.00-212.00
 PROPERTY ADDRESS: 17662 BEAVER DAM ROAD LEWES, DE 19958
 NET DEVELOPMENT AREA: 11,387 S.F.
 EXISTING NUMBER OF LOTS: ONE (1)
 EXISTING SITE USE: PROFESSIONAL OFFICE
 PROPOSED NUMBER OF LOTS: ONE (1)
 PROPOSED SITE USE: PROFESSIONAL OFFICE
 EXISTING ZONING: AR-1 (AGRICULTURAL/RESIDENTIAL) - CU #2190
 INVESTMENT LEVEL AREA: LEVEL ONE (1)
 LAND USE APPROVAL AGENCY: SUSSEX COUNTY
 EXISTING OFFICE BUILDING SIZE: 485 S.F.
 PROPOSED OFFICE ADDITION SIZE: 785 S.F. (1ST FLOOR)
 786 S.F. (2ND FLOOR)
 TOTAL OFFICE BUILDING SIZE: 2,056 S.F. (1,394 S.F. FLOOR AREA FOR OFFICE USE)
 THIS PROJECT IS LOCATED WITHIN THE HENLOPEN TRANSPORTATION IMPROVEMENT DISTRICT (TID)

ORDINANCE ITEM	REQUIREMENT:	PROVIDED:
MINIMUM LOT AREA	20,000 Sq. Ft.	11,387 Sq. Ft.
MINIMUM LOT WIDTH	100 Ft.	130.67 Ft.
MINIMUM LOT DEPTH	100 Ft.	120.93 Ft.
MINIMUM SETBACKS:		
FRONT	40 Ft.	40 Ft.
FRONT CORNER	15 Ft.	15 Ft.
SIDE	15 Ft.	15 Ft.
REAR	20 Ft.	20 Ft.
MAXIMUM BUILDING HEIGHT	42 Ft./3 Stories	42 Ft./2 Stories
PARKING SPACE QTY. (OFFICE USE)	1,394 S.F./7 SPACES	7 SPACES
SEWER SERVICE	SUSSEX COUNTY	
WATER SERVICE	PRIVATE WELL	
PROPERTY OWNER/DEVELOPER	H&S PROPERTIES, LLC 34561 MICHELLE DRIVE REHOBOTH BEACH, DE 19971 302.644.8634	

GENERAL NOTES

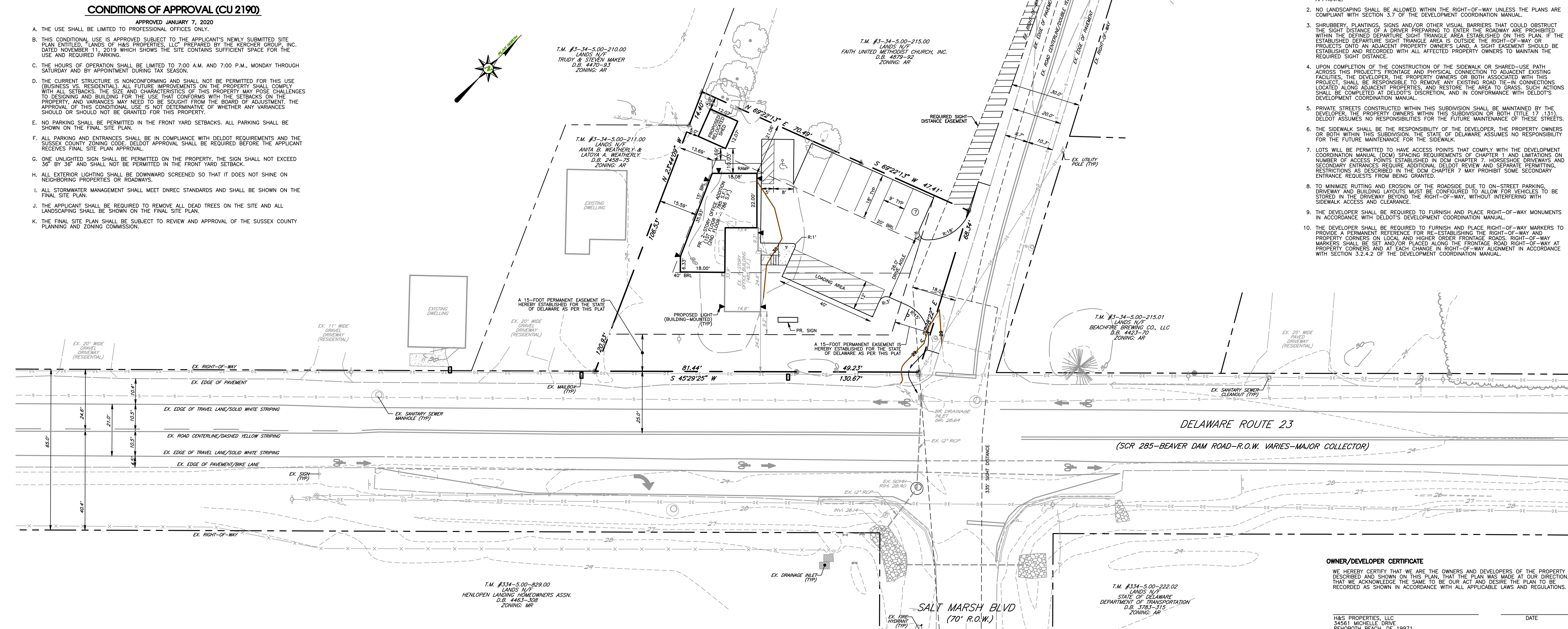
- THE PROJECT SITE IS KNOWN AS LANDS OF H&S PROPERTIES, LLC - PH2 (T.P. 334-5.00-212.00), AND IS LOCATED AT 17662 BEAVER DAM ROAD, LEWES, DE 19958.
- THE PROPERTY BOUNDS, EXISTING FEATURES AND TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY FORESIGHT SERVICES VERTICAL DATUM IS NAVD83 AND HORIZONTAL DATUM IS DELAWARE STATE PLANNING COORDINATE SYSTEM NAD83.
- THE PROPOSED DEVELOPMENT STREETS ARE TO BE PRIVATE AND MAINTAINED BY THE DEVELOPER/PROPERTY OWNER. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- ALL PROPOSED STORMWATER MANAGEMENT FACILITIES ARE TO BE MAINTAINED BY THE DEVELOPER/PROPERTY OWNER.
- THIS PLAN DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHT-OF-WAYS CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS PROVIDED.
- THE CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF ANY SITE CONSTRUCTION ACTIVITIES.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST EDITION).
- CONSTRUCTION MATERIALS AND PROCEDURES SHALL FOLLOW THE DELAWARE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARD DRAWINGS (LATEST EDITION).
- EXISTING SUBSURFACE UTILITY INFORMATION INDICATED IS BASED UPON VISUAL FIELD INSPECTION BY FORESIGHT SERVICES, SUCH INFORMATION CONCERNING THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF SUBSURFACE UTILITIES IS APPROXIMATE IN NATURE AND HAS BEEN OBTAINED AS AN INSTRUMENT OF SERVICE. THERE IS NO EXPRESSED OR IMPLIED AGREEMENT THAT UTILITY SIZE, LOCATION, DEPTH, QUANTITY, ETC. AS SHOWN EXISTS BETWEEN EXISTING INFORMATION AND THE UTILITY INFORMATION SHOWN SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. IT IS INCUMBENT UPON THE CONTRACTOR TO VERIFY THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF ALL UTILITIES BEFORE EXCAVATION.
- BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) 100229 0331 K, MAP NUMBER 10050C0331K, DATED MARCH 16, 2015, THE SUBJECT PROPERTY IS LOCATED IN A ZONE "X" UNDESIGNED WHICH IS AN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- NO STATE OR FEDERAL JURISDICTIONAL WETLANDS EXIST ON THE SUBJECT PROPERTY.
- ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
- IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS PART V, CHAPTER 4, SECTION 4-1.1, THE DEVELOPER SHALL SUBMIT TO THE EMERGENCY DISPATCH CENTER HAVING JURISDICTION, A PLOT PLAN OF THE DEVELOPMENT SHOWING EACH BUILDING LOCATION, THE DEVELOPER SHALL ALSO ASSIGN NUMBERS TO ALL BUILDINGS IN A CONSECUTIVE MANNER AND HAVE PLACED THE ASSIGNED NUMBER IN A READILY VISIBLE LOCATION ON EACH BUILDING TO ELIMINATE CONFUSION IN THE EVENT THAT AN EMERGENCY VEHICLE IS REQUIRED.
- AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.
- THE BUILDING WILL BE ACCESSIBLE TO EMERGENCY APPARATUS A MINIMUM OF 50% OF THE BUILDING WILL BE ACCESSIBLE BY EMERGENCY SERVICES PERSONNEL.
- LOCATION OF FIRE LANES, THEIR WIDTHS, AND THEIR MARKINGS, FIRE LANE SIGNS, WORKING AND 4" LINES OF DEMARCATION, AND YELLOW PAINTED CURBING ARE TO BE SHOWN ON THE PLAN WHERE APPLICABLE.
- ALL PROPOSED LANDSCAPE BUFFERS ARE TO BE MAINTAINED BY THE PROPERTY OWNER/DEVELOPER.
- THE EXISTING BUILDING TYPE IS NPFA (V000).
- THE PROPOSED SIGNAGE DEPICTED ON THE PLAN IS INDICATIVE ONLY. SEPARATE APPLICATIONS SHALL BE REQUIRED FOR ALL SIGNAGE.
- THE OFFICES SHALL BE ACCESSED FROM THE INTERIOR DRIVE AISLES ONLY. NO SECONDARY ACCESS TO SCR 285 OR SCR 285-B SHALL BE PERMITTED.

TRIP GENERATION - CHURCH STREET (SCR 285B) (FULL MOVEMENT)



CONDITIONS OF APPROVAL (CU 2190)

- APPROVED JANUARY 7, 2020
- THE USE SHALL BE LIMITED TO PROFESSIONAL OFFICES ONLY.
 - THIS CONDITIONAL USE IS APPROVED SUBJECT TO THE APPLICANT'S NEWLY SUBMITTED SITE PLAN ENTITLED "LANDS OF H&S PROPERTIES, LLC" PREPARED BY THE KERCHER GROUP, INC. DATED NOVEMBER 11, 2019 WHICH SHOWS THE SITE CONTAINS SUFFICIENT SPACE FOR THE USE AND REQUIRED PARKING.
 - THE HOURS OF OPERATION SHALL BE LIMITED TO 7:00 A.M. AND 7:00 P.M., MONDAY THROUGH SATURDAY AND BY APPOINTMENT DURING TAX SEASON.
 - THE CURRENT STRUCTURE IS NONCONFORMING AND SHALL NOT BE PERMITTED FOR THIS USE (BUSINESS VS. RESIDENTIAL). ALL FUTURE IMPROVEMENTS ON THE PROPERTY SHALL COMPLY WITH ALL SETBACKS, THE SIZE AND CHARACTERISTICS OF THIS PROPERTY MAY POSE CHALLENGES TO DESIGNING AND BUILDING FOR THE USE THAT CONFORMS WITH THE SETBACKS ON THE PROPERTY, AND VARIANCES MAY NEED TO BE SOUGHT FROM THE BOARD OF ADJUSTMENT. THE APPROVAL OF THIS CONDITIONAL USE IS NOT DETERMINATIVE OF WHETHER ANY VARIANCES SHOULD OR SHOULD NOT BE GRANTED FOR THIS PROPERTY.
 - NO PARKING SHALL BE PERMITTED IN THE FRONT YARD SETBACKS. ALL PARKING SHALL BE SHOWN ON THE FINAL SITE PLAN.
 - ALL PARKING AND ENTRANCES SHALL BE IN COMPLIANCE WITH DELDOT REQUIREMENTS AND THE SUSSEX COUNTY ZONING CODE. DELDOT APPROVAL SHALL BE REQUIRED BEFORE THE APPLICANT RECEIVES FINAL SITE PLAN APPROVAL.
 - ONE UNLIGHTED SIGN SHALL BE PERMITTED ON THE PROPERTY, THE SIGN SHALL NOT EXCEED 3'6" BY 3'6" AND SHALL NOT BE PERMITTED IN THE FRONT YARD SETBACK.
 - ALL EXTERIOR LIGHTING SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
 - ALL STORMWATER MANAGEMENT SHALL MEET DNREC STANDARDS AND SHALL BE SHOWN ON THE FINAL SITE PLAN.
 - THE APPLICANT SHALL BE REQUIRED TO REMOVE ALL DEAD TREES ON THE SITE AND ALL LANDSCAPING SHALL BE SHOWN ON THE FINAL SITE PLAN.
 - THE FINAL SITE PLAN SHALL BE SUBJECT TO REVIEW AND APPROVAL OF THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.

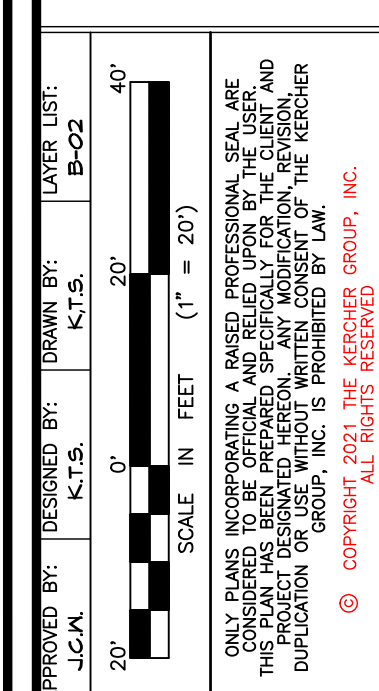


REVISIONS

No.	DATE	DESCRIPTION
1	04/18/21	REVISIONS PER USM COMMENTS
2	04/18/21	REVISIONS PER USM COMMENTS
3	07/26/21	REVISIONS PER PAZ COMMENTS
4	08/30/21	REVISIONS PER PAZ COMMENTS

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE ORDINANCES OF SUSSEX COUNTY AND THE LAWS OF THE STATE OF DELAWARE.

DESIGN PROFESSIONAL DATE



OWNER/APPLICANT: H&S PROPERTIES, LLC
 REHOBOTH BEACH, DE 19971
 Phone: 302.644.8634

PARCEL INFORMATION:
 T.P. 334-5.00-212.00
 GROSSED 20.64 ACRES
 PG 282, PG 82

PRELIMINARY NOT FOR CONSTRUCTION

SITE PLAN

LANDS OF H&S PROPERTIES, LLC - PH2
 LEWES & REHOBOTH HUNDRED - SUSSEX COUNTY - DELAWARE

THE KERCHER GROUP, INC.
 CONSULTING • SYSTEMS • ENGINEERING
 37385 REHOBOTH AVE., UNIT 11 - REHOBOTH BEACH, DELAWARE 19971
 302.854.9062 (Voice) 302.854.9064 (Fax) www.kerchergroup.com

OWNER/DEVELOPER CERTIFICATE

WE HEREBY CERTIFY THAT WE ARE THE OWNERS AND DEVELOPERS OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THAT THE PLAN WAS MADE AT OUR DIRECTION, THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

H&S PROPERTIES, LLC
 34561 MICHELLE DRIVE
 REHOBOTH BEACH, DE 19971
 Phone: 302.644.8634

DATE

JOB No: 19-11046S
 PLAN DATE: March 31, 2021
 SHEET No.: S1



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

NICOLE MAJESKI
SECRETARY

June 25, 2021

Steven and Helene Falcone
34561 Michelle Drive
Rehoboth, DE 19971

Dear Mr. and Ms. Falcone:

Enclosed for recordation is the Henlopen Transportation Improvement District (TID) Infrastructure Recoupment Agreement for the Lands of H&S Properties. This agreement between you, Sussex County, and DelDOT outlines commitments of the parties to implement the Henlopen TID. Please have this agreement recorded with Sussex County, and then send me proof of recordation. A copy of the recordation stamp is sufficient. The recordation information should also be referenced in a note on the record plan documenting TID participation.

If you have any questions or comments, please contact me at Sarah.Coakley@delaware.gov or (302)760-2236.

Sincerely,

A handwritten signature in blue ink, appearing to read "Sarah Coakley".

Sarah Coakley, AICP
Principal Planner

SC: sc
Enclosure

Tax Parcel No.: 334-5.00-212.00

Subdivision No.:

Prepared by/Return To:

Delaware Department of Transportation

Division of Planning

For overnight 800 Bay Road,

Dover, DE 19901

Or

Regular Mail P.O. Box 778

Dover, DE 19901

Henlopen Transportation Improvement District
Infrastructure Recoupment Agreement

This Infrastructure Recoupment Agreement (this “**Agreement**”) is made as of this 15th day of June, 2021, by and between the Delaware Department of Transportation (hereinafter referred to as “**DelDOT**”), Sussex County, a municipal corporation of the State of Delaware (hereinafter referred to as the **County**), and Steven Falcone and Helene Falcone, their heirs, successors and assigns (hereinafter referred to as “**Property Owner**”).

WITNESSETH:

WHEREAS, DelDOT and the County in overseeing the coordination of land use and transportation require construction of various transportation improvements relating to the various anticipated land development projects in accordance with Title 17, Chapter 5, § 507 of the Delaware Code; and

WHEREAS, DelDOT and the County have established the Henlopen Transportation Improvement District (the “**Henlopen TID**”), as outlined in the “Agreement Regarding Henlopen Transportation Improvement District,” executed by both parties on October 30, 2020; and

WHEREAS, the **County** shall set up a fund (hereinafter referred to as the “**Henlopen TID Fund**”) to help fund the planned transportation improvements in lieu of developments preparing a traffic impact study and either phasing their development projects and/or constructing offsite transportation improvements; and

WHEREAS, the **Property Owner** is willing to contribute to the Henlopen TID Fund in recognition of the benefits the new transportation improvements will bring its property, and in order to immediately proceed with the construction and development of its property; and

WHEREAS, said property is located at the northwest corner of SCR 285-B (Church Street) and Delaware Route 23 (Beaver Dam Road), Sussex County, Delaware, being Sussex County Tax Parcel 334-5.00-212.00, consisting of 0.23 acres, more or less, as shown on Exhibit “A” (hereinafter referred to as the “**Property**”).

NOW, THEREFORE, for valuable consideration, the receipt and adequacy of which is hereby acknowledged, and intending to be legally bound, the parties agree as follows:

I. Traffic Impact Study

The **Property Owner** shall not be required to perform a traffic impact study and, in lieu thereof, shall contribute to the Henlopen TID Fund as set forth in this Agreement.

II. Right-of-Way (R/W) Dedication

Dedication of rights-of-way in lieu of some or all of the required fee shall be by agreement between the **Property Owner** and **DeIDOT**, with payment of the fee being required if any party is not amenable to the proposed dedication. The value of the rights-of-way to be dedicated shall be determined in accordance with **DeIDOT** policies and regulations. The creditable area shall be determined based on highway plans acceptable to **DeIDOT** and shall exclude the standard dedications provided in **DeIDOT**'s Development Coordination Manual, rights-of-way for any proposed subdivision streets, and any lands needed to accommodate the site entrance. The form of credit agreement to be utilized in the event of a right-of-way dedication in lieu of some or all of the fee is attached to this Agreement as Exhibit "C".

III. Transportation Improvement Funding

A. Henlopen Transportation Improvement District Fund – The **County** shall create and administer a separate account, the Henlopen TID Fund, to make timely payments to **DeIDOT**, for all engineering professionals and contractors performing work on the Henlopen TID transportation improvements. Subject to the provisions of this Agreement, contributions (defined below) to the Henlopen TID Fund will be made by the **Property Owner** and by other property owners who execute recoupment agreements in substantially the same form as this Agreement, and by **DeIDOT**, as required.

B. Contributions To The Fund

- 1. Contribution Rates** –The established rates for the Henlopen TID are listed on Exhibit "B". Subject to the limitations set forth below, the **Property Owner** shall contribute to the Henlopen TID Fund (hereinafter, the "contribution" or "contributions"), in amounts consistent with the established rates, for the **Property** described on the attached Exhibit "A," which amounts shall be adjusted annually as set forth in paragraph D below. Once contributions for a specific development are paid in full, the **Property Owner** shall have no further obligations under this Agreement for that development.
- 2. Contribution Timing** - Contributions shall be made at the time of **Property Owner** application to the **County** for a building permit for the **Property**. The parties acknowledge and agree that no building permits for a building or project located on the **Property** shall be issued until such time as the contributions to the Henlopen TID Fund associated with the particular building or project phase have been made. Where a project involves residential houses, no building permit for a particular unit shall be issued until the contribution for that unit has been made. For a non-residential building, where contributions are to be made on a square foot basis, no building permit for a particular building shall be issued until the contribution for such building has been made.
- 3. Property Rezoning** - If the **Property** is rezoned from its current zoning designation, or development plans change, future contributions shall be paid in accordance with the use then being made of the **Property**. For example, if a portion of the **Property** is developed residentially, but then the balance of the **Property** is developed for non-residential purposes, the contributions for the residential portion shall be paid at the residential rates, and the non-residential portions based on the appropriate non-residential rates.
- 4. Contribution Notification** - In the event **Property Owner** has elected to execute this Recoupment Agreement, any final site plan for development of lands of said **Property Owner** subject to contribution hereunder shall contain a statement or note that the issuing of

a building permit is contingent upon paying the then applicable portion of the contribution into the Henlopen TID Fund as provided in the Recoupment Agreement for the **Property**.

- C. **Developer Design/Build Credit** - Design and/or construction of physical improvements in lieu of some or all of the required fee shall be by agreement between the **Property Owner**, **DelDOT**, and the **County**, with payment of the fee being required if any party is not amenable to the proposed construction. If a **Property Owner** seeks to design and/or construct physical improvements in lieu of paying into the Henlopen TID Fund, the **Property Owner** shall be required to obtain a minimum of three bids for the work. The bids shall be subject to review and approval by the **DelDOT**. Credit toward the fee shall be based on the **Property Owner**'s payments to the selected contractor. Design and/or construction of improvements required by **DelDOT** and the **County** as part of the development's entrance construction or on-site infrastructure, e.g. subdivision streets, and curb ramps, turn lanes, acceleration lanes at development entrance, shall not be creditable toward the fee. At their discretion, **DelDOT** and the **County** may require improvements beyond the site entrance to correct an unsafe condition that they find would be created or worsened by the proposed development. Such improvements may include, but are not limited to, the addition or widening of shoulders, and/or the construction of a shared-use path or sidewalk along the development's frontage. In that case, the cost of that work shall be determined by **DelDOT**, using the Shared-Use Path and Sidewalk Fee Calculation Form for those items and current comparable contract bid prices as a guide for other items, and shall be creditable toward the fee. The form of credit agreement to be utilized in the event of a design and/or construction in lieu of some or all of the fee is attached to this Agreement as Exhibit "D".
- D. **Escalation** - While transportation improvement projects await construction funding, the costs of constructing the project will escalate at the rate of inflation for highway construction projects. The amounts to be paid by the **Property Owner**, therefore, shall be subject to an increase of up to four percent (4%) per year, not compounded, beginning on January 31, 2021 and increasing by the established amount on January 31 of each year thereafter. The actual amount of the increase shall be set by **DelDOT** in January of each year based upon the change in the Consumer Price Index (CPI) for Delaware Region during the previous year. The established rate of increase shall not exceed four percent (4%) in any one year and escalation shall only apply to contributions unpaid on January 31 of each year.

IV. Property Owner Benefits

- A. **No Individual Off-Site Improvements** – **Property Owner** shall have no obligation for design or construction of any off-site road improvements and **Property Owner**'s obligation for the contributions prescribed in this Agreement shall be in lieu of any and all individual off-site road projects which might otherwise be required by **DelDOT** or the **County** as a condition for approval of the development of the **Property**.
- B. **No Individual Traffic Impact Study** - No Individual Traffic Impact Study will be required as a separate cost for individual developments participating in this Agreement, as a condition of approval by **DelDOT** or the **County**.
- C. **Cost Savings** - Costs for off-site improvements are expected to be reduced due to the proposed comprehensive approach, the cost sharing and the large size of the projects.
- D. **Timing** – Completion of those off-site road improvements to be undertaken by **DelDOT** as part of the Henlopen TID shall not be a condition of **DelDOT** or **County** approval or issuance of permits in connection with **Property Owner**'s development of the **Property**. All other **County** or **DelDOT** development plan, entrance approval, and permitting requirements still apply.

V. Administration of the Agreement

- A. **Existing Record Plan Requirements** – Should existing Record Plan transportation improvement requirements conflict with this agreement, **DelDOT**, the **County**, and the **Property Owner** shall work together to expedite the modification(s) to the Record Plan notes. The revision will be a ministerial review, incorporating the Henlopen TID participation into the Record Plan notes. The **DelDOT** and the **County** review fees for this reconciliation will be considered satisfied from the initial Record Plan Review fees. For any other changes requiring a resubdivision plan and review, the associated fees will be the responsibility of the legal owner.
- B. **Amendments** – This Agreement shall not be modified, changed, or supplemented, nor may any of the obligations and rights be waived, except by a written instrument signed by all parties.
- C. **Notices** – Whenever a notice is to be given or a document is to be delivered to one of the parties hereunder, it shall be in writing and addressed and delivered to:

Property Owner: Steven and Helene Falcone
34561 Michelle Drive
Rehoboth, DE 19971

DelDOT: Director, Division of Planning
Delaware Department of Transportation
P.O. Box 778
Dover, DE 19903

County: Sussex County Administrator
Sussex County
2 The Circle
P.O. Box 417
Georgetown, DE 19947

- D. **Succession of Agreement** – This Agreement shall bind and benefit the parties hereto, their successors and assigns: and shall be a covenant running with the **Property** described in this Agreement.
- E. **Recordation of Agreement** – The **Property Owner** shall record a notice of this Agreement, so as to put potential future purchasers of the **Property** on notice of the obligations created by this Agreement.
- F. **Termination of Agreement** – **Property Owner's** obligations under this Agreement shall terminate once all fees identified in this Agreement have been paid in full. Notwithstanding anything herein to the contrary, payment of a contribution for a specific lot or structure shall relieve that lot or structure from any other obligation under this Agreement. However, that lot or structure shall remain a beneficiary of this Agreement.

IN WITNESS WHEREOF, the parties have set their hands and seals the day and year first written above.

Property Owner:

By: [Signature] (SEAL)
Name: Steven Falcone

STATE OF DELAWARE :
 : SS.
COUNTY OF SUSSEX :

BE IT REMEMBERED, that on this 28 day of May, 2021, before me, a notary public, the undersigned personally appeared, Steven Falcone, who acknowledged himself to be the Property Owner, and that he as such Property Owner is authorized to execute the foregoing Henlopen Transportation Improvement District Infrastructure Recoupment Agreement for the purposes therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.



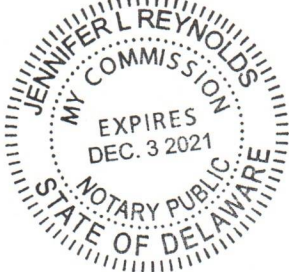
[Signature]
Notary Public
My Commission Expires: 12/3/21

By: [Signature] (SEAL)
Name: Helene Falcone

STATE OF DELAWARE :
 : SS.
COUNTY OF SUSSEX :

BE IT REMEMBERED, that on this 28 day of May, 2021, before me, a notary public, the undersigned personally appeared, Helene Falcone, who acknowledged herself to be the Property Owner, and that she as such Property Owner is authorized to execute the foregoing Henlopen Transportation Improvement District Infrastructure Recoupment Agreement for the purposes therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.



[Signature]
Notary Public
My Commission Expires: 12/3/21

Sussex County, Delaware:

By: Michael H. Vincent (SEAL)

Name: MICHAEL H. VINCENT
President of Council

STATE OF DELAWARE :
: SS.

COUNTY OF SUSSEX :

BE IT REMEMBERED, that on this 15th day of June, 2021, before me, a notary public, the undersigned personally appeared, Michael H. Vincent who acknowledged himself to be the President of Council for the Government of Sussex County, and that he as such President of Council is authorized to execute the foregoing Henlopen Transportation Improvement District Infrastructure Recoupment Agreement for the purposes therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

[Signature]
Notary Public
My Commission Expires: 4/6/23

ROBIN A. GRIFFITH
NOTARY PUBLIC
STATE OF DELAWARE
My Commission Expires on April 6, 2023

Delaware Department of Transportation:

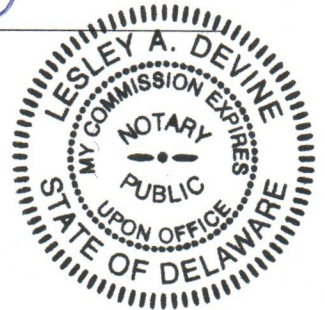
By: *Nicole Majeski* (SEAL)
Name: Nicole Majeski
Secretary

STATE OF DELAWARE :
: SS.
COUNTY OF KENT :

BE IT REMEMBERED, that on this 8 day of June, 2021, before me, a notary public, the undersigned personally appeared, Nicole Majeski, who acknowledged herself to be the Secretary for the Delaware Department of Transportation, and that she as such Secretary is authorized to execute the foregoing Henlopen Transportation Improvement District Infrastructure Recoupment Agreement for the purposes therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

Lesley A. Devine
Notary Public
My Commission Expires: _____



Approved as to form:

By: *George Th...*
Title: Deputy Attorney General



Exhibit A

Map of individual property subject to agreement

334-5.00-212.00 17662 BEAVER DAM RD, LEWES, DE, 19958



May 11, 2021

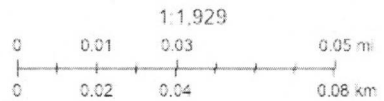


Exhibit B

Henlopen Transportation Improvement District

Initial Contribution Rates

Residential Rates	
Single family detached residential	\$4,900 per unit by phase
	\$5,145 per unit by lot
Multi-family residential, low-rise, 1-2 floors	\$3,822 per unit by phase
	\$4,013 per unit by lot
Multi-family residential, mid-rise, 3 or more floors	\$2,842 per unit by phase
	\$2,984 per unit by lot
Non-Residential Rates	
Under 21 trips per 1,000 SF GFA	\$2.88 per sq ft
At least 21 but less than 34 trips per 1,000 SF GFA	\$3.38 per sq ft
At least 34 but less than 75 trips per 1,000 SF GFA	\$3.88 per sq ft
At least 75 but less than 200 trips per 1,000 SF GFA	\$4.38 per sq ft
200 or more trips per 1,000 SF GFA	\$4.88 per sq ft
Notes: Low-rise Multi-family rate is 78% of single-family detached rate. Mid-rise Multi-family rate is 58% of single-family detached rate. Townhomes are considered low-rise multi-family. All non-residential rates are based on the number of trips per 1,000 square foot of gross floor area. This is based on ITE Trip Generation Manual, 10th Edition.	

Current Contribution Rates

Residential Rates	
Single family detached residential	\$4,968 per unit by phase
	\$5,217 per unit by lot
Multi-family residential, low-rise, 1-2 floors	\$3,875 per unit by phase
	\$4,069 per unit by lot
Multi-family residential, mid-rise, 3 or more floors	\$2,881 per unit by phase
	\$3,025 per unit by lot
Non-Residential Rates	
Under 21 trips per 1,000 SF GFA	\$2.92 per sq ft
At least 21 but less than 34 trips per 1,000 SF GFA	\$3.42 per sq ft
At least 34 but less than 75 trips per 1,000 SF GFA	\$3.93 per sq ft
At least 75 but less than 200 trips per 1,000 SF GFA	\$4.44 per sq ft
200 or more trips per 1,000 SF GFA	\$4.94 per sq ft
Notes: Low-rise Multi-family rate is 78% of single-family detached rate. Mid-rise Multi-family rate is 58% of single-family detached rate. Townhomes are considered low-rise multi-family. All non-residential rates are based on the number of trips per 1,000 square foot of gross floor area. This is based on ITE Trip Generation Manual, 10th Edition.	

Exhibit C

Henlopen TID Recoupment Credit Agreement- ROW Dedication

Agreement No. _____

Development Project

- Development Name _____
- Developer _____
- Total Required Financial Contribution for Development _____
(per Recoupment Agreement)

Henlopen TID Project

- Name of Project _____
- Section of Project _____
(Attach plan)
- Acreage of Right-of-way provided _____
- Total Estimated Cost of Right-of-way Dedication _____
(Attach cost estimate)

Recoupment Calculation

Estimated Cost of Dedication Required for Development	\$ _____
Estimated Cost of Dedication Eligible for Recoupment	\$ _____
TOTAL	\$ _____

(Attach breakout plan)

*Note - Total must equal Total Estimated Cost of Right-of-way Dedication

Agreement

For dedicating additional right-of-way for the above named Henlopen TID Project, the above named development is credited the following amount toward the Henlopen TID Fund required contribution.
\$ _____

Developer Date

Sussex County Date

Delaware Department of Transportation Date

Exhibit D

Henlopen TID Recoupment Credit Agreement - Construction

Agreement No. _____

Development Project

- Development Name _____
- Developer _____
- Total Required Financial Contribution for Development _____
(per Recoupment Agreement)

Henlopen TID Project

- Name of Project _____
- Section of Project _____
(Attach plan)
- Items Constructed _____
- Total Estimated Cost of Section to be Constructed _____
(Attach cost estimate)

Recoupment Calculation

Estimated Cost of Items Required for Development	\$ _____
Estimated Cost of Items Required for Other Developments	\$ _____
Estimated Cost of Items Eligible for Recoupment	\$ _____
TOTAL	\$ _____

(Attach breakout plan)

***Note - Total must equal Total Estimated Cost of Construction**

Agreement

For performing construction work on the above named Henlopen TID Project, the above named development is credited the following amount toward the Henlopen TID Fund required contribution.
\$ _____

Developer Date

Sussex County Date

Delaware Department of Transportation Date



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

January 11, 2021

Mr. John Murray
The Kercher Group
37385 Rehoboth Avenue Unit #11
Rehoboth Beach, Delaware 19971

**SUBJECT: Entrance Plan Approval Letter
Lands of H&S Properties, LLC**
Tax Parcel #334-5.00-212.00
Beaver Dam Road (SCR 285)
Church Street (SCR 285B)
Lewes & Rehoboth Hundred, Sussex County

Dear Mr. Murray:

The Department of Transportation has reviewed the Commercial Entrance Plans dated November 11, 2019, (last revised January 4, 2021) for the referenced project and determined that they are in general conformance with the Department's current regulations, specifications and standard details. By signing and sealing the plan set, the developer's engineer is responsible for accuracy of content. Any errors, omissions or required field changes will be the responsibility of the developer. This plan approval shall be valid a period of **three (3) years**. If an entrance permit has not been obtained within three years, then the plans must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. The following items will be required prior to the permit being issued. A pre-construction meeting may be required as determined by the South District Public Works office.

1. A copy of the recorded Site Plan which is consistent with the DeIDOT "No Objection to Recordation" stamped plan and all appropriate signatures, seals, plot book and page number.
2. Three (3) copies of the approved entrance plans.
3. Completed permit application.
4. Executed agreements (i.e. construction, signal, letter).
5. An itemized construction cost estimate.
6. A 150% security based upon an approved itemized construction cost estimate and W-9 form (if providing escrow).

Lands of H&S Properties, LLC

Mr. Murray

Page 2

January 11, 2021

7. A letter of source of materials, work schedule, list of subcontractors, emergency telephone numbers and names of contact persons.

Please contact the South District Public Works office (302) 853-1340 concerning any questions you may have relative to the aforementioned required items.

Sincerely,



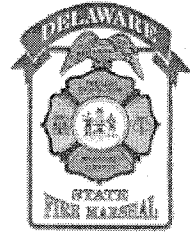
Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

cc: Steven Falcone, H&S Properties, LLC
Jamie Whitehouse, Sussex County Planning & Zoning Commission
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Matt Schlitter, South District Public Works Engineer
Gemez Norwood, South District Public Work Manager
James Argo, South District Project Reviewer
William Kirsch, South District Entrance Permit Supervisor
Jerry Nagyiski, Safety Officer Supervisor
Kerry Yost, Traffic Calming & Subdivision Relations Manager
Jennifer Pinkerton, Chief Materials & Research Engineer
Linda Osiecki, Pedestrian Coordinator
John Fiori, Bicycle Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kauffman, DTC Planner
James Kelley, JMT
Wendy L. Polasko, Subdivision Engineer
Brian Yates, Sussex County Reviewer



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2021-04-206635-MJS-02

Tax Parcel Number: 334-5.00-212.00

Status: Approved as Submitted

Date: 04/20/2021

Project

H & S Office

17662 Beaver Dam Road

Lands of H & S Properties

Lewes DE 19958

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 82 - Lewes Fire Dept Inc

Occupant Load Inside:

Occupancy Code: 9680

Applicant

Kevin Smith

37385 Rehoboth Avenue Unit 11

Rehoboth, DE 19971

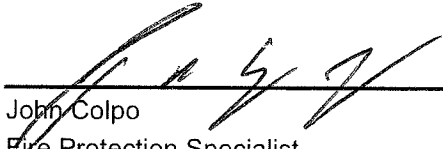
This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:



John Colpo
Fire Protection Specialist

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2021-04-206635-MJS-02

Tax Parcel Number: 334-5.00-212.00

Status: Approved as Submitted

Date: 04/20/2021

PROJECT COMMENTS

1002 A This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.

1010 A The following water for fire protection requirements apply: NONE. On-Site Wells Proposed. this site meets Water Flow Table 1. therefore the provisions of NFPA 1142 shall apply to this site (DSFPR Regulation 702, Chapter 6, Section 3). Since wells are proposed for this site, no additional requirements will be made by this Agency for water for fire protection.

1180 A This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.

1190 A Separate plan submittal is required for the building(s) proposed for this project.

1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.



June 15, 2020

Mr. John Murray
The Kercher Group, Inc.
37385 Rehoboth Ave, Unit 11
Rehoboth Beach, DE 19971

RE: **H&S Properties LLC**
TM # 334-5.00-212.00

Dear Mr. Murray,

The Sussex Conservation District has reviewed the proposed site plan for the above referenced property. The total disturbance of the project appears to be less than 5,000 square feet, and is therefore exempt from the Delaware Sediment and Stormwater Regulations. If the project scope or total disturbance should change, please contact the District to obtain a Non-Residential Standard Permit for the construction activity.

If you have any questions, please do not hesitate to contact the District for assistance.

Sincerely,

Valerie Thompson

Plan Reviewer

SITE DATA:

ENGINEER/SURVEYOR

McCRONE, INC.
119 NAYLOR MILL ROAD, SUITE 6
SALISBURY, MD 21801
ATTN: ROBERT KANE, PE
PHONE: (410) 548-1492
FAX: (410) 548-2055

OWNERS OF RECORD:

TAX MAP 2-34-30, PARCELS 313, 314, 315.01, 315.02,
315.03, 315.04, 315.05, 315.06, 315.07, 315.08, 315.09,
315.10, 315.12 AND 315.13.
PENINSULA AT LONGNECK, LLC
BY ODYSSEY DEVELOPMENT, INC.
1495 CHAIN BRIDGE ROAD, SUITE 300
McCLEAN, VA 22101
ATTN: LARRY GOLDSTEIN, PRESIDENT
PHONE: (302) 947-4501
FAX: (302) 947-4502

TAX MAP 2-34-30, PARCEL 315.00 AND 315.11;
PENINSULA PARCEL K, LLC
448 VIKING DRIVE, SUITE 220
VIRGINIA BEACH, VA 23452

ZONING INFORMATION:

TAX MAP: 2-34-30, PARCELS 313, 314, 315.01 THRU 315.10, 315.12 AND 315.13
DEED REFERENCE: 2054153
2-34-30, PARCELS 315.00 AND 315.11
DEED REFERENCE: 3478098

LOT REQUIREMENTS:

Single Family Attached Condominiums (Townhouse)

SETBACKS	
FRONT	20' (40' AGG. FRONT AND REAR)
REAR	10'
SIDES	10' (CORNER UNIT 15')
BETWEEN BUILDINGS	40'
AVERAGE LOT AREA	2630 S.F.
MIN. LOT AREA	1600 S.F.
SINGLE FAMILY LOT	
SETBACKS	
FRONT	20'
REAR	10'
SIDES	6'
LOT WIDTH	60' MIN.
LOT AREA	7,500 S.F. MIN.
BUILDING HEIGHT	42' MAX.
DENSITY PROVIDED	2.51 UNIT/AC

SITE INFORMATION:

TOTAL SITE AREA: 787.787 AC.
PENINSULA 18TH ON THE BAY: 416.329 AC.
IMPERVIOUS AREA: 44.25 AC. OR 26%
OPEN SPACE: 48.21 AC. OR 31.81%
NET DEVELOPMENT AREA: 44.53 AC.
GROSS AREA: 416.329 AC.
NET AREA: 45.57 AC.
FORESTED AREA: 0 AC. (THERE ARE NO FORESTED AREA ON SITE)
WETLAND AREA: 224.38 AC. (TOTAL SITE)
NON-TIDAL STATE: 176.07 AC.
PENINSULA 18TH ON THE BAY HAS NO EVIDENCE OF WETLANDS
MAXIMUM NUMBER OF UNITS:
358 SINGLE FAMILY LOTS
388 SINGLE FAMILY DETACHED CONDOMINIUMS
270 SINGLE FAMILY ATTACHED TOWN HOUSES
378 MULTI-FAMILY UNITS
CURRENT NUMBER OF UNITS:
286 SINGLE FAMILY LOTS
388 SINGLE FAMILY DETACHED CONDOMINIUMS
236 SINGLE FAMILY ATTACHED TOWN HOUSES
295 MULTI-FAMILY UNITS
PREVIOUSLY APPROVED:
13 (6 UNIT) DETACHED CONDOMINIUMS
PROPOSED:
26 SINGLE FAMILY LOTS
3 (6 UNIT) ATTACHED TOWN HOUSES
1 (5 UNIT) ATTACHED TOWN HOUSES
2 (4 UNIT) ATTACHED TOWN HOUSES
TOTAL NUMBER OF UNITS AFTER IMPROVEMENTS:
312 SINGLE FAMILY LOTS
388 SINGLE FAMILY DETACHED CONDOMINIUMS
270 SINGLE FAMILY ATTACHED TOWN HOUSES
295 MULTI-FAMILY UNITS

FLOOD ZONE:

PROPERTY IS LOCATED IN FLOOD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED); ZONE X SHADED (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT; AND ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD) PER FIRM COMMUNITY PANEL 100050485 J, MAP REVISED JANUARY 6, 2005. (THE VERTICAL DATUM FOR THE ABOVE MENTIONED FIRM MAP IS BASED ON NAD83)

DATUM:

VERTICAL DATUM IS BASED ON NGVD 88, HORIZONTAL DATUM DELAWARE STATE PLANE NAD 83.

SANITARY SEWER SERVICE:

PUBLIC SANITARY SEWER - LONG NECK SANITARY SEWER DISTRICT

WATER:

TO BE SUPPLIED BY TIDEWATER UTILITIES, INC.

GENERAL NOTES:

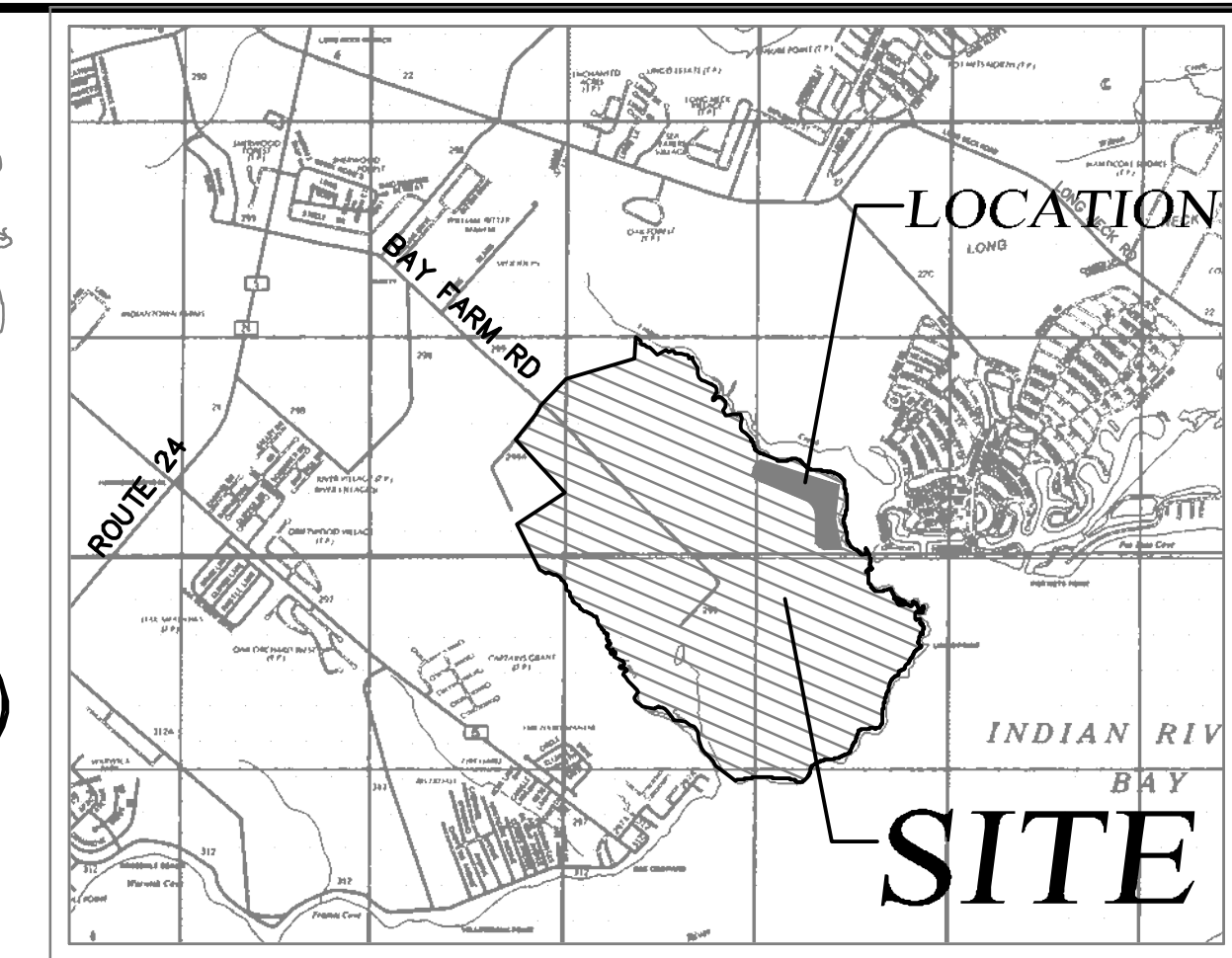
- 1. THERE HAVE BEEN TWO CHANGE OF ZONE APPLICATIONS FOR THE PENINSULA RESIDENTIAL PLANNED COMMUNITY (RPC) AND THEY ARE AS FOLLOWS:
1.1. (CZ) 1475, WHICH WAS RECOMMENDED APPROVAL BY THE PLANNING AND ZONING COMMISSION AT THEIR MEETING OF 9/21/02, APPROVED BY THE SUSSEX COUNTY COUNCIL AT THEIR MEETING OF 11/19/02 AND ADOPTED THROUGH ORDINANCE NO. 1573.
1.2. (CZ) 1883, WHICH WAS RECOMMENDED APPROVAL BY THE PLANNING AND ZONING COMMISSION AT THEIR MEETING OF 6/27/11, APPROVED BY THE SUSSEX COUNTY COUNCIL AT THEIR MEETING OF 10/8/11 AND ADOPTED THROUGH ORDINANCE NO. 2690. IT IS NOTED THAT CONDITION NO. 1 WAS AMENDED TO ALLOW FOR THE PREVISION OF UP TO 358 SINGLE FAMILY LOT TOTAL.
2. THIS PLAN SUPERSEDES THE PLAN PREVIOUSLY RECORDED FOR THE DEVELOPMENT AT PB 116, PG 224.
3. THE PROJECT IS NOT RELATED WITHIN A WELLED PROTECTION AREA.
4. THE PROJECT IS LOCATED WITHIN AN AREA OF "FAIR" GROUNDWATER RECHARGE POTENTIAL.

SEDIMENT AND STORMWATER CONSTRUCTION NOTES:

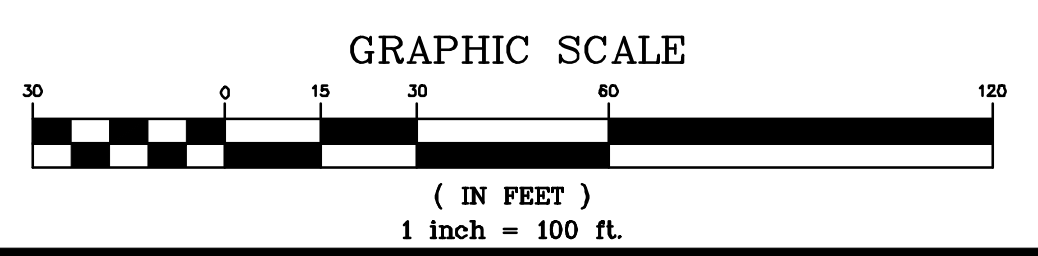
- 1. THE DNREC SEDIMENT AND STORMWATER MANAGEMENT PROGRAM MUST BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- 2. REVIEW AND APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- 3. IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY DNREC.
- 4. FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER SEDIMENT CONTROLS, SOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
- 5. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- 6. AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHALL BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
- 7. APPROVED PLANS REMAIN VALID FOR 3 YEARS FROM THE DATE OF APPROVAL.
- 8. POST CONSTRUCTION VERIFICATION DRAWINGS ARE TO BE SUBMITTED TO THE DISTRICT WITHIN 60-DAYS OF STORMWATER MANAGEMENT FACILITY COMPLETION.
- 9. APPROVAL OF A SEDIMENT AND STORMWATER PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR OBTAINING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
- 10. THE NOTICE OF INTENT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER A NPDES GENERAL PERMIT FOR THIS PROJECT IS #5786. THE PERMITTEE OF RECORD SHALL NOT BE RELIEVED OF THEIR RESPONSIBILITIES UNTIL A NOTICE OF TERMINATION HAS BEEN PROCESSED BY DNREC.
- 11. THE OWNER SHALL BE FAMILIAR WITH AND COMPLY WITH ALL ASPECTS OF THE NPDES CONSTRUCTION GENERAL PERMIT ASSOCIATED WITH THE PROJECT, INCLUDING, BUT NOT LIMITED TO, PERFORMING WEEKLY SITE INSPECTIONS DURING CONSTRUCTION AND AFTER RAIN EVENTS, AND MAINTAINING WRITTEN LOGS OF THESE INSPECTIONS.
- 12. BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CALL MISS UTILITY AT 811 OR 1.800.282.8555 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION TO HAVE ALL EXISTING UTILITIES MARKED ON-SITE.
- 13. THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OF DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SIDE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY BE HELD TO ADJUST OR ALTER MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY SITE REVIEWER.
- 14. BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7 DEL. C. CH 60, REGULATIONS GOVERNING THE CONTROL OF WATER POLLUTION, SECTION 9.102, KNOWN AS SPECIAL CONDITIONS FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND LOCAL POLICIES, PROCEDURES, AND GUIDANCE.
- 15. DOCUMENTATION OF SOIL TESTING AND MATERIALS USED FOR TEMPORARY OR PERMANENT STABILIZATION INCLUDING BUT NOT LIMITED TO SOIL TEST RESULTS, SEED TAGS, SOIL AMENDMENT TAGS, ETC. SHALL BE PROVIDED TO THE DEPARTMENT OR DELEGATED AGENCY TO VERIFY THAT THE PERMANENT OR TEMPORARY STABILIZATION HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLAN AND THE STANDARDS AND SPECIFICATIONS OF THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION. THE DEPARTMENT OF THE DELEGATED AGENCY SHALL HAVE THE DISCRETION TO REQUIRE ADDITIONAL SOIL TESTING AND REAPPLICATION OF PERMANENT OR TEMPORARY STABILIZATION IN ACCORDANCE WITH THE SPECIFICATION PROVIDED WITHIN THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.

PENINSULA 18th ON THE BAY

INDIAN RIVER HUNDRED INDIAN RIVER BAY WATERSHED SUSSEX COUNTY, MILLSBORO, DELAWARE PRELIMINARY CONSTRUCTION DOCUMENTS REVISED FINAL SITE PLAN - RESIDENTIAL PLANNED COMMUNITY (RPC)



VICINITY MAP
N.T.S.



DRAWING INDEX

- C1 COVER SHEET
- C2 EXISTING CONDITIONS KEY SHEET
- C3 EXISTING CONDITIONS & DEMOLITION PLAN
- C4 EXISTING CONDITIONS & DEMOLITION PLAN
- C5 SITE PLAN KEY SHEET
- C6 SITE PLAN
- C7 SITE PLAN
- C8 SITE PLAN DETAILS
- C9 GRADING PLAN
- C10 GRADING PLAN
- C11 OVERALL CONSTRUCTION SITE SWM PLAN
- C12 CONSTRUCTION SITE SWM PLAN
- C13 CONSTRUCTION SITE SWM PLAN
- C14 CONSTRUCTION SITE DETAILS AND NOTES

- C15 CONSTRUCTION SITE DETAILS AND NOTES
- C16 CONSTRUCTION SITE DETAILS AND NOTES
- C17 POST CONSTRUCTION MANAGEMENT PLAN
- C18 POST CONSTRUCTION MANAGEMENT PLAN
- C19 POST CONSTRUCTION MANAGEMENT PLAN
- C20 STORMWATER MANAGEMENT DETAILS
- C21 SANITARY SEWER KEY SHEET
- C22 SANITARY SEWER PLAN
- C23 SANITARY SEWER PLAN
- C24 SANITARY SEWER PLAN DETAILS
- C25 SANITARY SEWER PLAN DETAILS
- C26 WATER SERVICE KEY SHEET
- C27 WATER SERVICE PLAN
- C28 WATER SERVICE PLAN
- C29 WATER SERVICE PLAN DETAILS
- C30 WATER SERVICE PLAN DETAILS

I ROBERT S. KANE HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF DELAWARE, LICENSE NO. 13538, EXPIRATION DATE 06/30/2022

REV. #	DATE	DESCRIPTION

McCRONE
ENGINEERS SURVEYORS PLANNERS
ANNAPOLIS CENTREVILLE ELKTON SALISBURY DELAWARE
119 NAYLOR MILL ROAD, SUITE 6
SALISBURY, MD 21801
(410) 548-1492
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www.mccroneengineers.com

ENGINEER'S CERTIFICATION

IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

ROBERT S. KANE _____ DATE _____
McCRONE
119 NAYLOR MILL, SUITE 6
SALISBURY, MD 21801
LICENSE NUMBER: 13538 EXPIRATION DATE: 06/30/2022

SUSSEX COUNTY APPROVAL

FOR PRELIMINARY PLANS: THESE PRELIMINARY PLANS HAVE BEEN APPROVED BY THE COUNTY COUNCIL AND PLANNING AND ZONING COMMISSION.

COUNTY COUNCIL CHAIR _____ DATE _____
PLANNING AND ZONING COMMISSION _____ DATE _____

SUSSEX COUNTY ENGINEERING APPROVAL

FOR PRELIMINARY PLANS: THESE PRELIMINARY PLANS HAVE BEEN APPROVED BY THE COUNTY ENGINEERING DEPARTMENT. AGREEMENT #615-5.

ENGINEERING DEPARTMENT _____ DATE _____

OWNER'S CERTIFICATION

I, GREG TOBIAS, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E. BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS, AND I UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT.

GREG TOBIAS _____ DATE _____

WETLAND CERTIFICATION

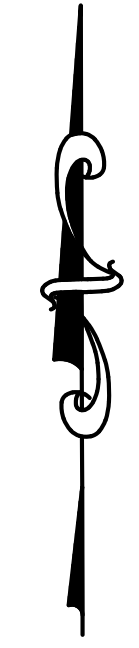
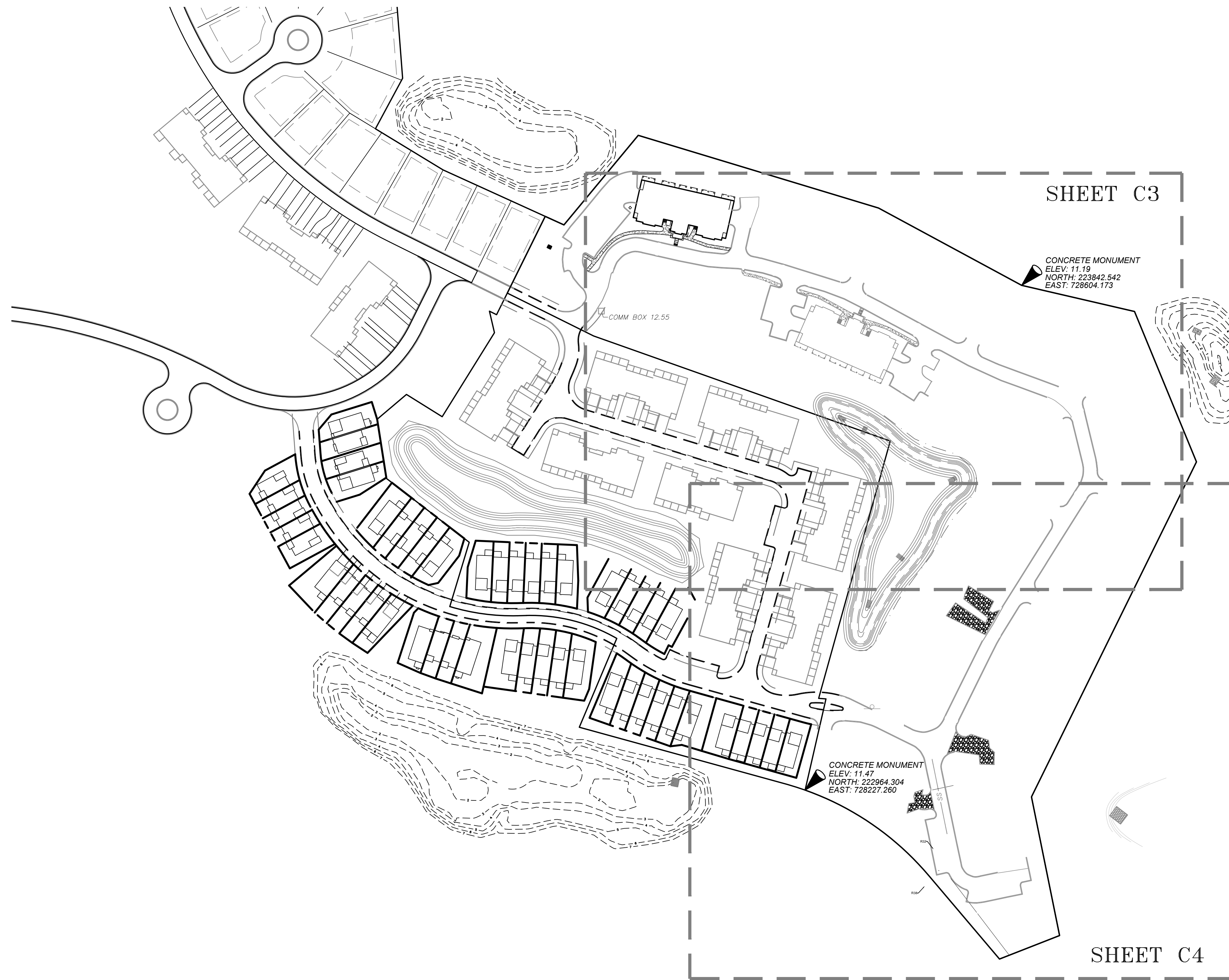
I CERTIFY THAT THERE ARE NO STATE AND/OR FEDERAL WETLAND BOUNDARIES LOCATED WITHIN THE PROJECTS LIMIT OF DISTURBANCE.

WETLAND PROFESSIONAL _____ DATE _____

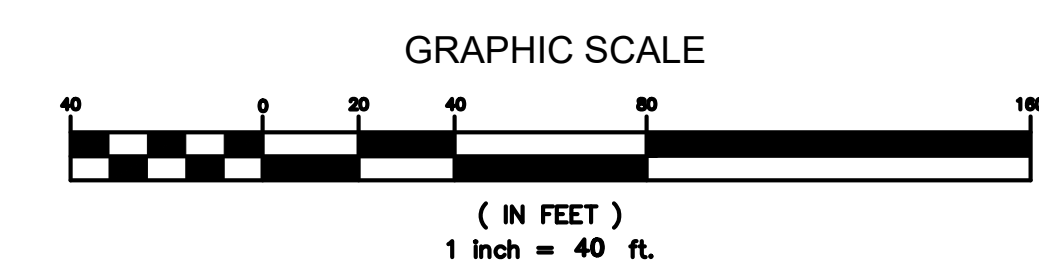
DATE:	04/05/2021
JOB NUMBER:	D2190100
SCALE:	1"=80'
DRAWN BY:	AB
DESIGNED BY:	RC
APPROVED BY:	RK
PHASE:	

COVER SHEET FOR
PENINSULA 18TH ON THE BAY
REVISION
MILLSBORO, SUSSEX COUNTY, DELAWARE
Prepared For: LEMAR HOMES

I ROBERT S. KANE HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF DELAWARE, LICENSE NO. 13538, EXPIRATION DATE 06/30/2022



LEGEND	
EXISTING	PROPOSED
PROPERTY LINE	---
EASEMENT LINE	---
EASEMENT HATCH	▨
SETBACK LINE	---
R.O.W. LINE	---
BENCH MARK	▲ ELEV: 100.00 NORTH: EAST:
HIGH POINT LABEL	× HP: 100.01
LOW POINT LABEL	× LP: 100.01
SPOT ELEV. LABEL	× 100.01
FLOW ARROW	→
MAJOR CONTOUR	-25-
MINOR CONTOUR	24
EDGE OF CONCRETE	---
EDGE OF PAVEMENT	---
CURB	---
PAVEMENT HATCH	▨
CONCRETE HATCH	▨
STORM MANHOLE	⊙
CATCH BASIN	⊙
CURB INLET	⊙
YARD INLET	⊙
STORM PIPE	SD
SANITARY MANHOLE	⊙
SANITARY CLEANOUT	⊙ C/O
SANITARY PIPE	SS
WATER MANHOLE	⊙
WATER VALVE	⊙
WATER METER	⊙
WATER PIPE	W
FIRE HYDRANT	⊙
LIGHT POLE	*
IMPERVIOUS AREAS TO BE REMOVED	▨
UTILITY LINES TO BE REMOVED	▨



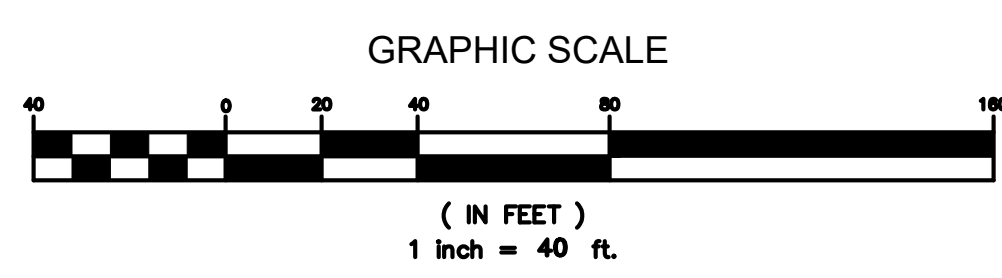
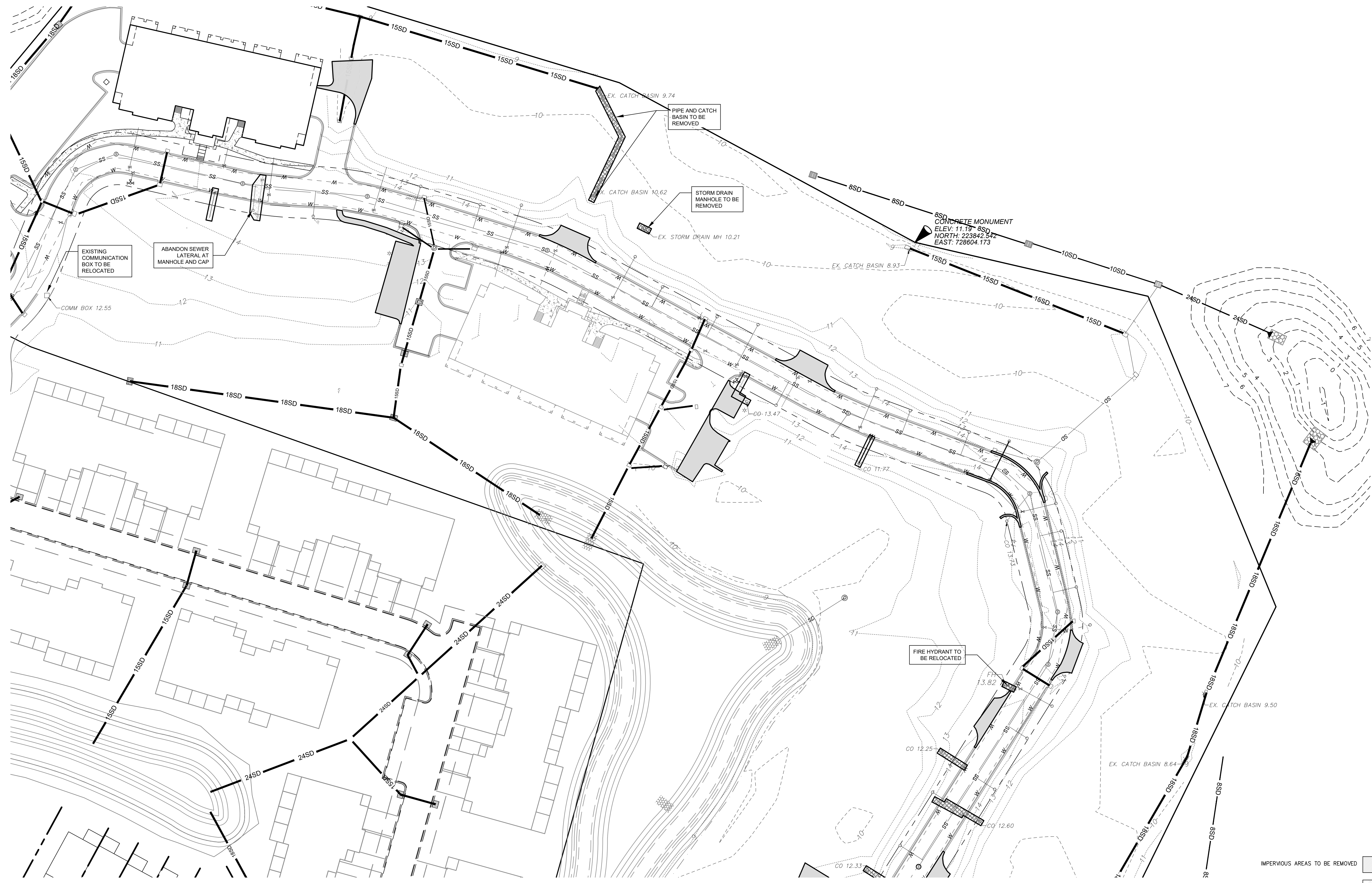
REV. #	DATE	DESCRIPTION

MCCRONE
ENGINEERS ■ SURVEYORS ■ PLANNERS
ANNAPOLIS ■ CENTREVILLE ■ ELKTON ■ SALISBURY ■ DELAWARE
119 NVAW DR. SUITE 201A
SALISBURY, MD 21791
(410) 542-1492
www.mccrone-engineering.com
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DATE:	04/05/2021
JOB NUMBER:	D2190100
SCALE:	1"=40'
DRAWN BY:	AB
DESIGNED BY:	RC
APPROVED BY:	RK
PHASE:	

EXISTING CONDITIONS KEY SHEET
FOR
PENINSULA 18TH ON THE BAY
REVISION
MILLSBORO, SUSSEX COUNTY, DELAWARE
Prepared For: LENAR HOMES

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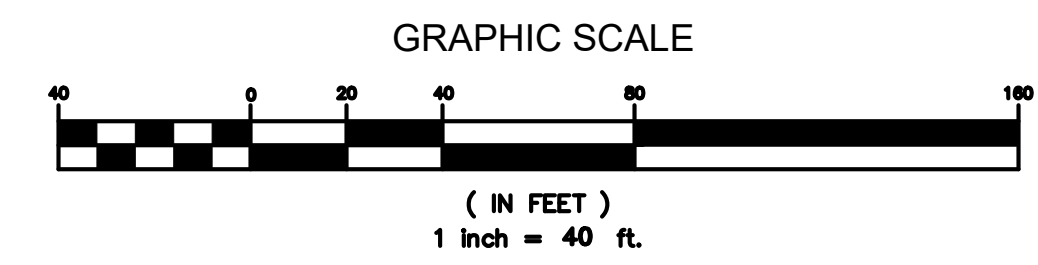
110 NVA WILMINGTON, SUITE 6
SALISBURY, MD 21778
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JOB NUMBER:	D2190100
SCALE:	1"=40'
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DESIGNED BY:	RC
APPROVED BY:	RK
PHASE:	

EXISTING CONDITIONS & DEMOLITION PLAN
FOR
PENINSULA 18TH ON THE BAY
REVISION
MILLSBORO, SUSSEX COUNTY, DELAWARE

Prepared For: LENAR HOMES

I, ROBERT S. KANE HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF DELAWARE, LICENSE NO. 13538, EXPIRATION DATE 06/30/2022



REV. #	DATE	DESCRIPTION

McCRONE
ENGINEERS ■ SURVEYORS ■ PLANNERS
ANNAPOLIS ■ CENTREVILLE ■ ELKTON ■ SALISBURY ■ DELAWARE

110 NVA DR, SUITE 600, SHITE 6
SALISBURY, MD 21778
(410) 546-1492
www.mccrone-engineers.com
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DATE:	04/05/2021
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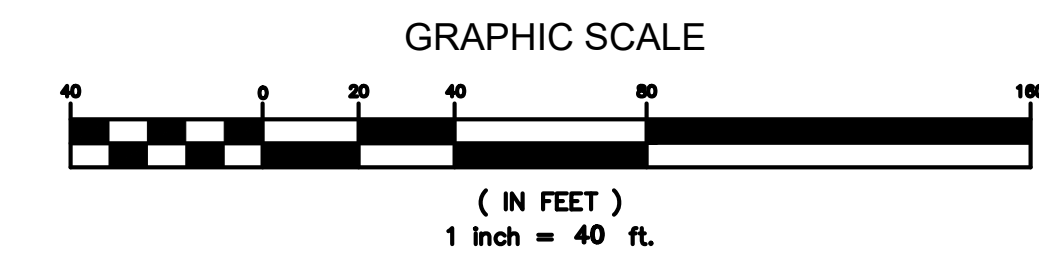
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MILLSBORO, SUSSEX COUNTY, DELAWARE

Prepared For: LENAR HOMES

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		EXISTING	PROPOSED
PROPERTY LINE		---	---
EASEMENT LINE		---	---
EASEMENT HATCH			
SETBACK LINE		---	---
R.O.W. LINE		---	---
BENCH MARK			
HIGH POINT LABEL		x HP: 100.01	x HP: 100.01
LOW POINT LABEL		x LP: 100.01	x LP: 100.01
SPOT ELEV. LABEL		x 100.01	x 100.01
FLOW ARROW			
MAJOR CONTOUR		-25	25
MINOR CONTOUR		24	24
EDGE OF CONCRETE		---	---
EDGE OF PAVEMENT		---	---
CURB		---	---
PAVEMENT HATCH			
CONCRETE HATCH			
STORM MANHOLE			
CATCH BASIN			
CURB INLET			
YARD INLET			
STORM PIPE		SD	ST
SANITARY MANHOLE			
SANITARY CLEANOUT			
SANITARY PIPE		SS	SS
WATER MANHOLE			
WATER VALVE			
WATER METER			
WATER PIPE		W	W
FIRE HYDRANT			
LIGHT POLE		*	*



REV. #	DATE	DESCRIPTION

MCCRONE
 ENGINEERS ■ SURVEYORS ■ PLANNERS
 ANNAPOLIS ■ CENTREVILLE ■ ELKTON ■ SALISBURY ■ DELAWARE
 119 NVAW DR, SUITE 601, SALISBURY, MD 21781
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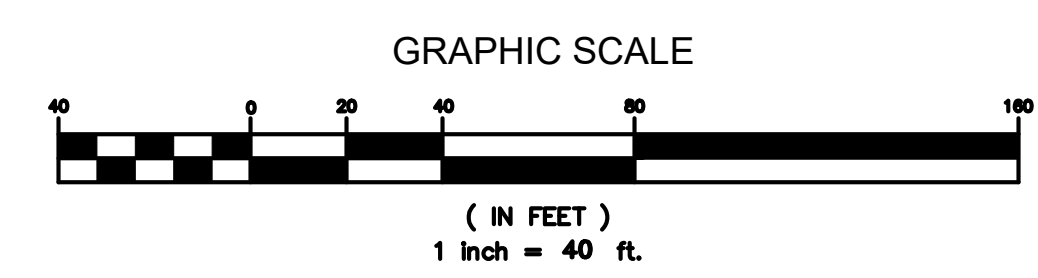
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SITE PLAN KEY SHEET
 FOR
PENINSULA 18TH ON THE BAY
 REVISION
 MILLSBORO, SUSSEX COUNTY, DELAWARE
 Prepared For: LEMAR HOMES

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LOT INFORMATION		
LOT NUMBERS	LOT WIDTH (FT.)	LOT DEPTH (FT.)
128	72.49	123
129	72.42	123
130	72.57	123
131	66.50	123
132	66.50	123
133	66.50	123
134	67.60	123
135	66.50	123
136	68.86	123
137	64.95	123
138	66.43	123
139	70.16	123
140	72.46	123
141	72.50	123
142	72.50	123
143	67.19	123
144	75.53	123
145	72.50	123
146	94.06	123
147	75.34	123
148	68.01	123
149	68.28	133.37
150	60.14	183.12
151	143.30	113.39
152	74.80	147.23
153	83.49	132.40



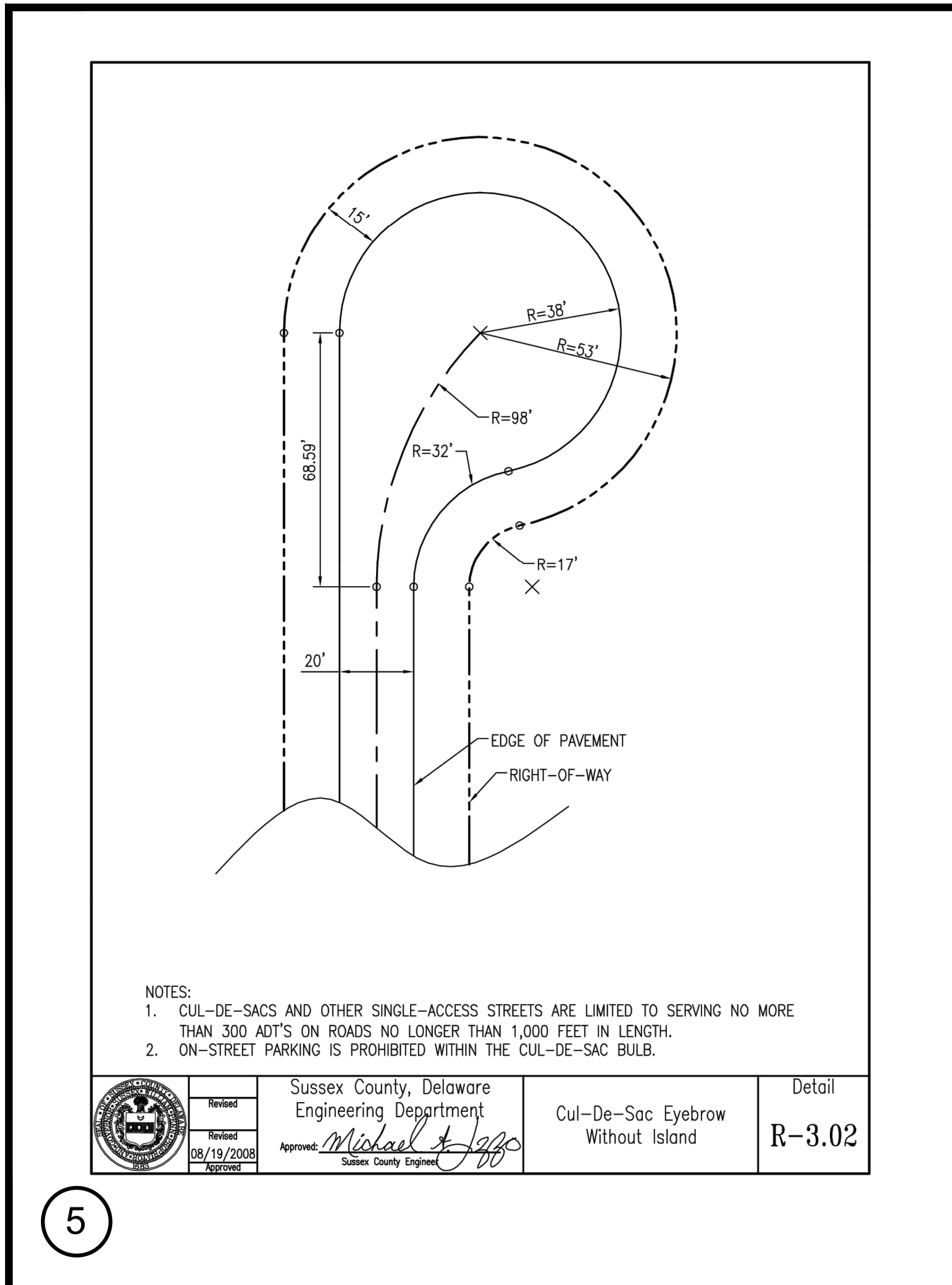
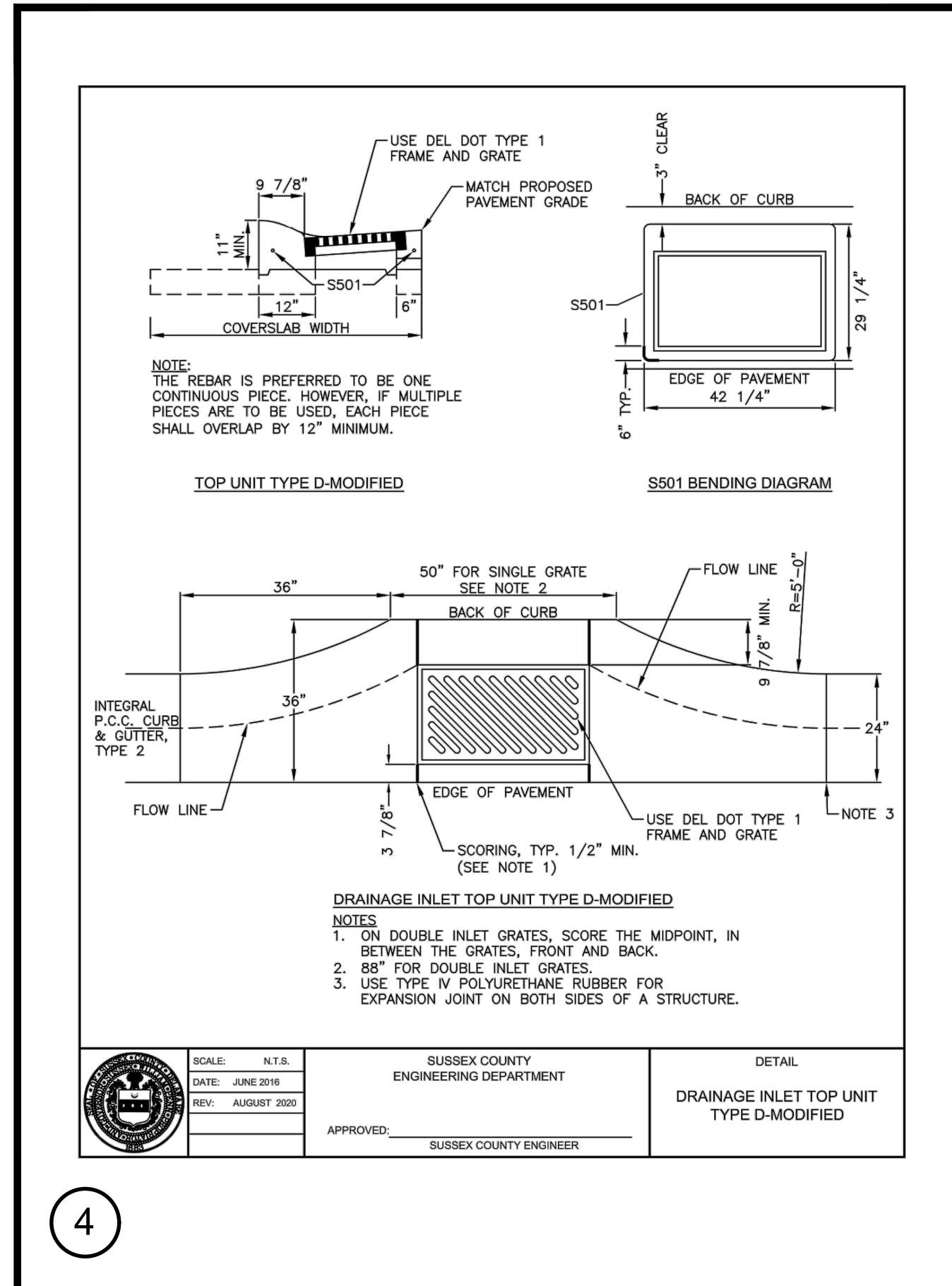
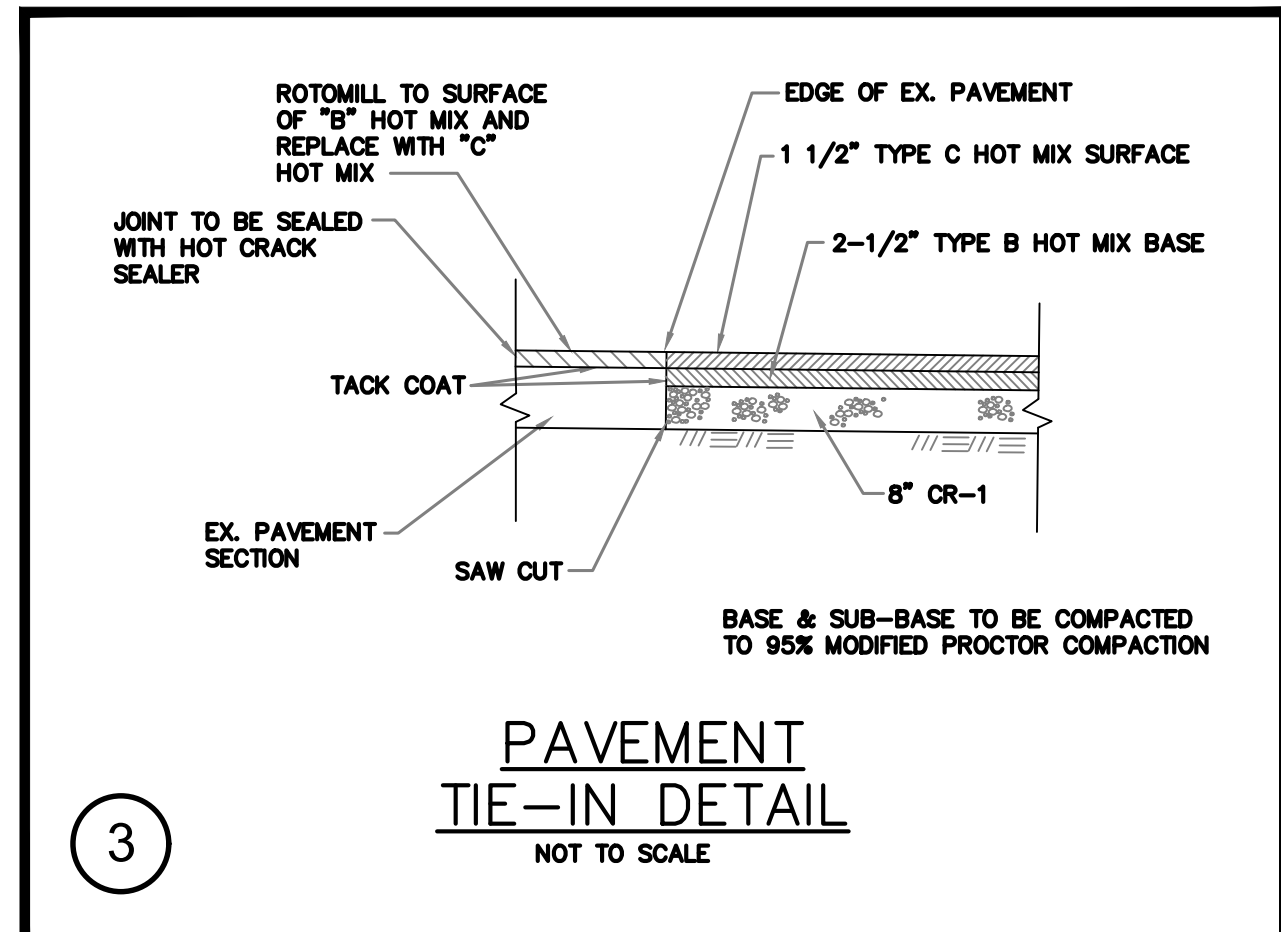
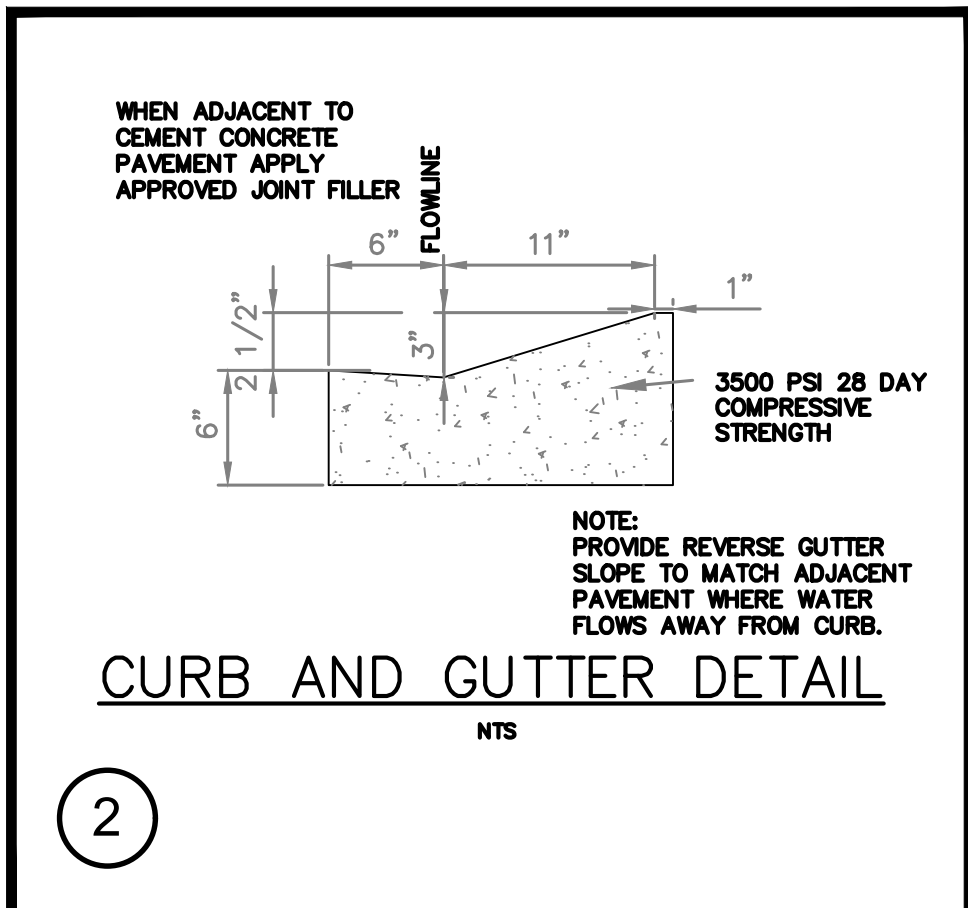
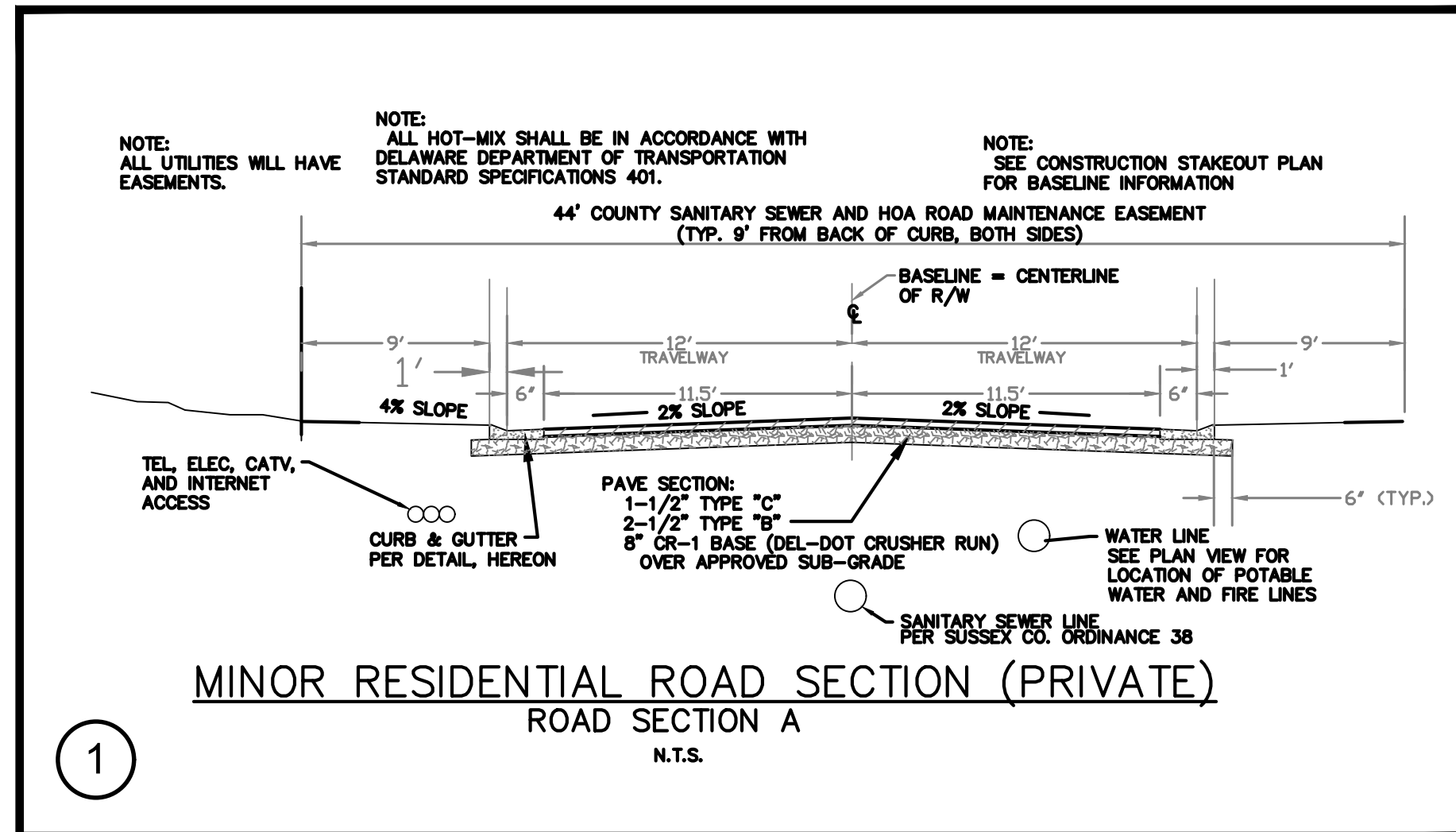
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DRAWN BY:	AB
DESIGNED BY:	RC
APPROVED BY:	RK
PHASE:	

SITE PLAN FOR PENINSULA 18TH ON THE BAY REVISION
 MILLSBORO, SUSSEX COUNTY, DELAWARE
 Prepared For: LENAR HOMES

I ROBERT S. KANE HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF DELAWARE, LICENSE NO. 13538, EXPIRATION DATE 06/30/2022



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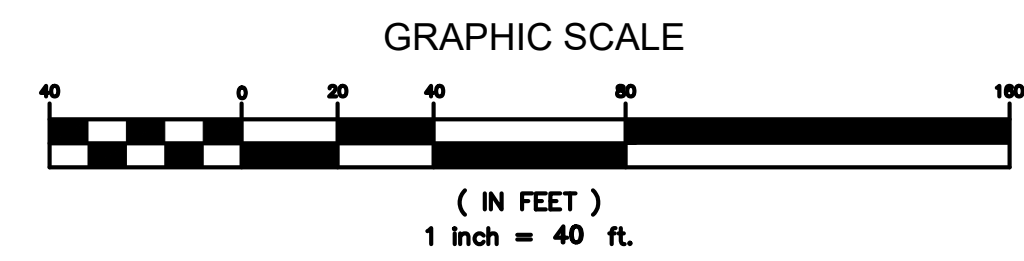
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SITE PLAN DETAILS
FOR
PENINSULA 18TH ON THE BAY
REVISION
MILLSBORO, SUSSEX COUNTY, DELAWARE

Prepared For: LEMAR HOMES

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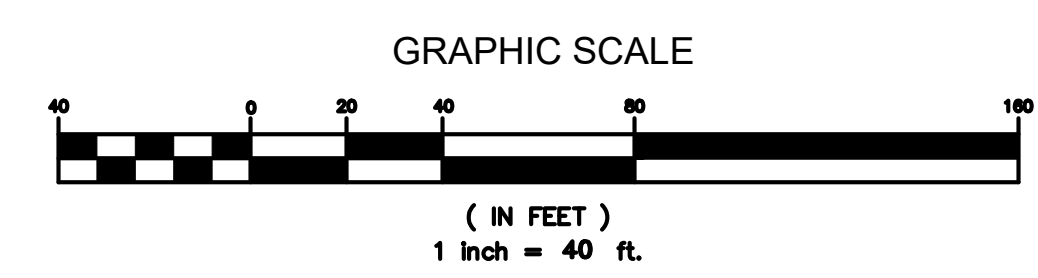
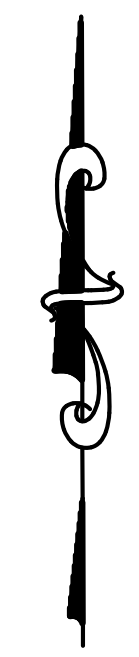
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GRADING PLAN
 FOR
PENINSULA 18TH ON THE BAY
 REVISION
 MILLSBORO, SUSSEX COUNTY, DELAWARE

Prepared For: LENAR HOMES

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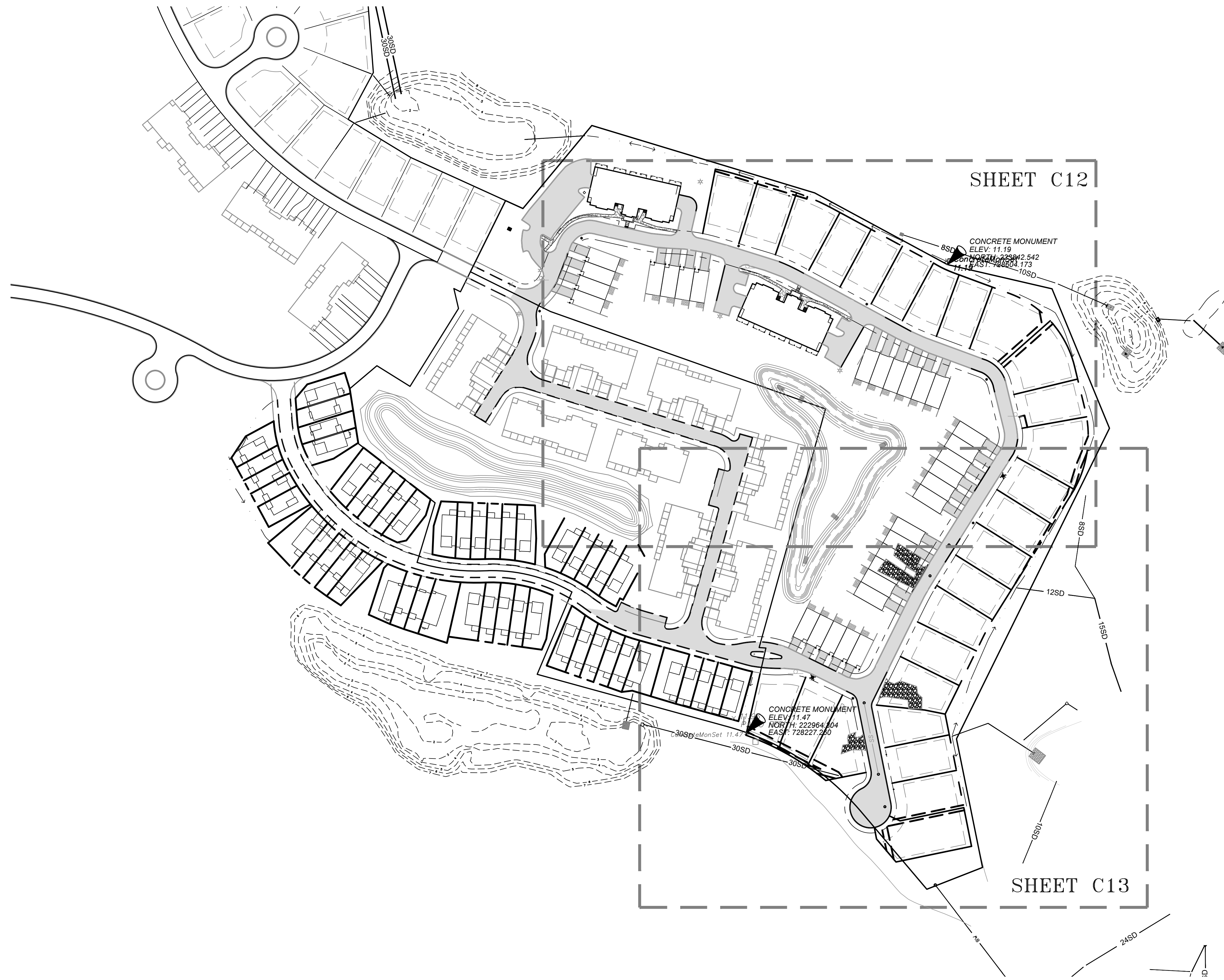
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GRADING PLAN
FOR
PENINSULA 18TH ON THE BAY
REVISION
MILLSBORO, SUSSEX COUNTY, DELAWARE

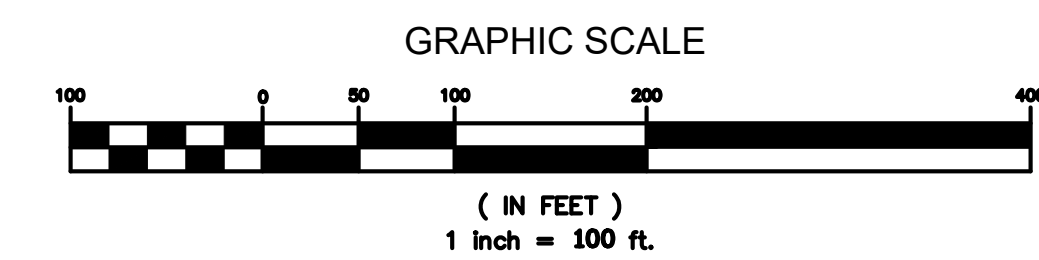
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LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT LINE	---	---
EASEMENT HATCH		
SETBACK LINE	---	---
R.O.W. LINE	---	---
BENCH MARK		
HIGH POINT LABEL	x HP: 100.01	x HP: 100.01
LOW POINT LABEL	x LP: 100.01	x LP: 100.01
SPOT ELEV. LABEL	x 100.01	x 100.01
FLOW ARROW		
MAJOR CONTOUR	-25	25
MINOR CONTOUR	24	24
EDGE OF CONCRETE	---	---
EDGE OF PAVEMENT	---	---
CURB	---	---
PAVEMENT HATCH		
CONCRETE HATCH		
STORM MANHOLE		
CATCH BASIN		
CURB INLET		
YARD INLET		
STORM PIPE	SD	ST
SANITARY MANHOLE		
SANITARY CLEANOUT	CO	CO
SANITARY PIPE	SS	SS
WATER MANHOLE		
WATER VALVE		
WATER METER		
WATER PIPE	W	W
FIRE HYDRANT		
LIGHT POLE	*	*



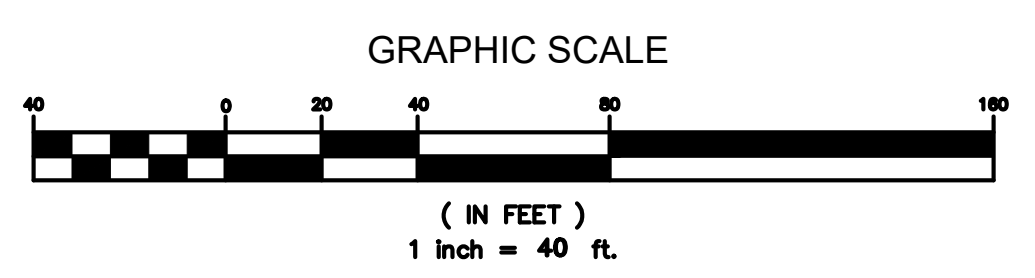
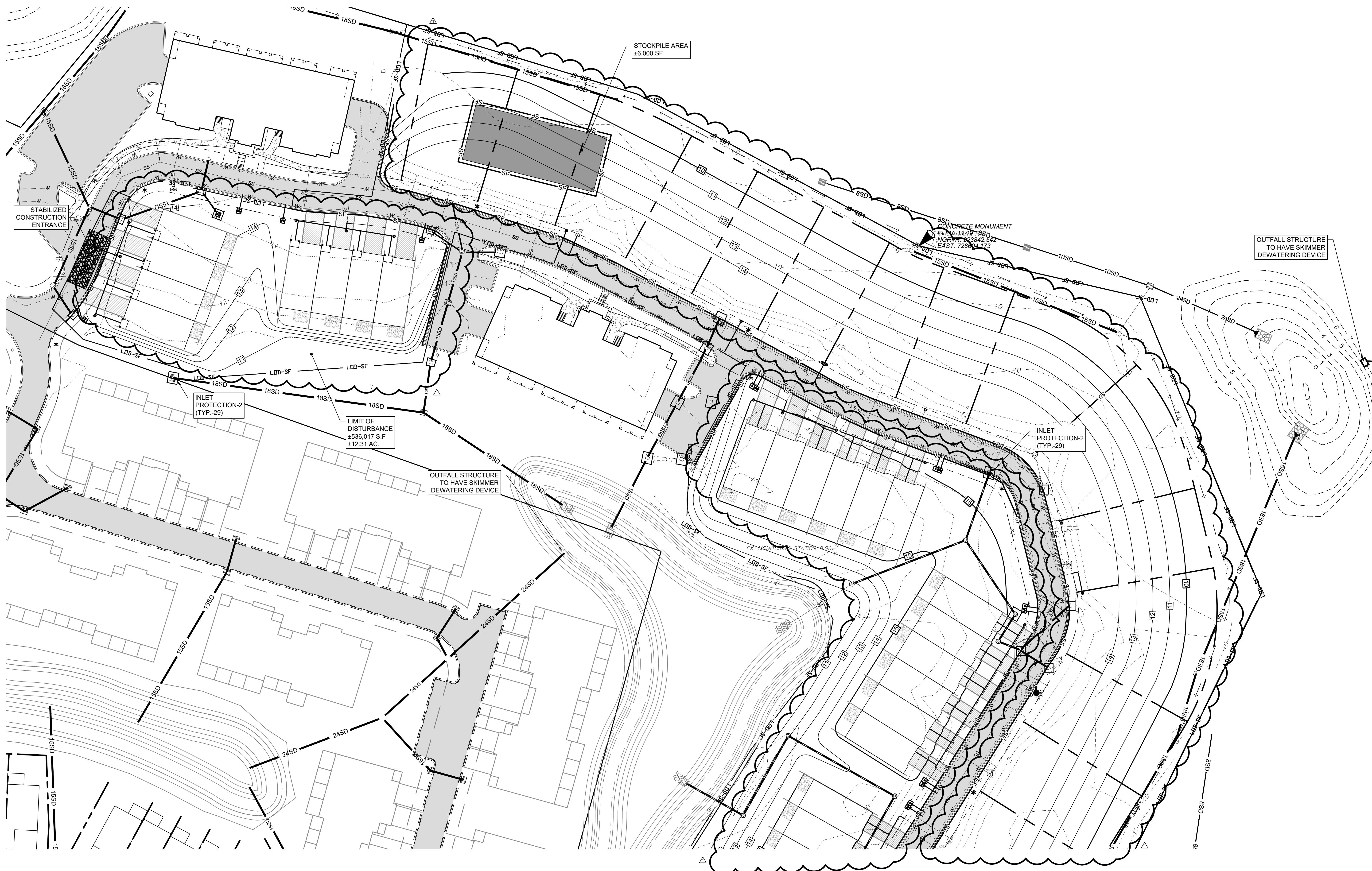
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OVERALL CONSTRUCTION SITE SWM PLAN
FOR
PENINSULA 18TH ON THE BAY
REVISION
MILLSBORO, SUSSEX COUNTY, DELAWARE
Prepared For: LEMAR HOMES

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REV. #	DATE	DESCRIPTION
1	11/16/2020	UPDATE CONDO UNITS AND RESIDENTIAL LOTS

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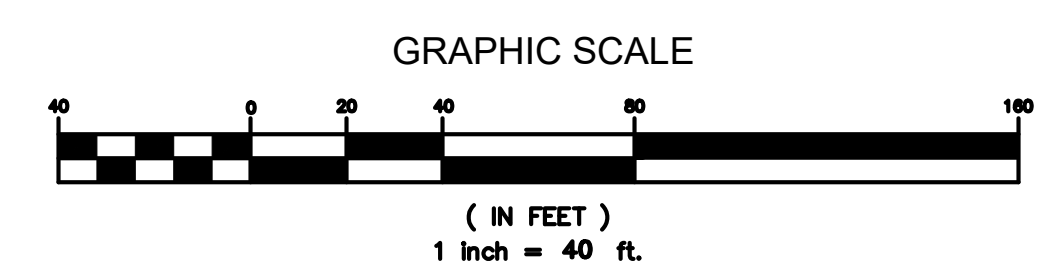
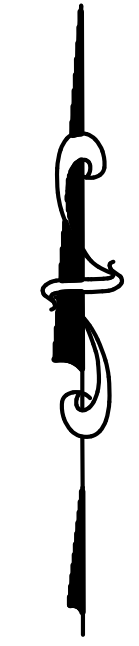
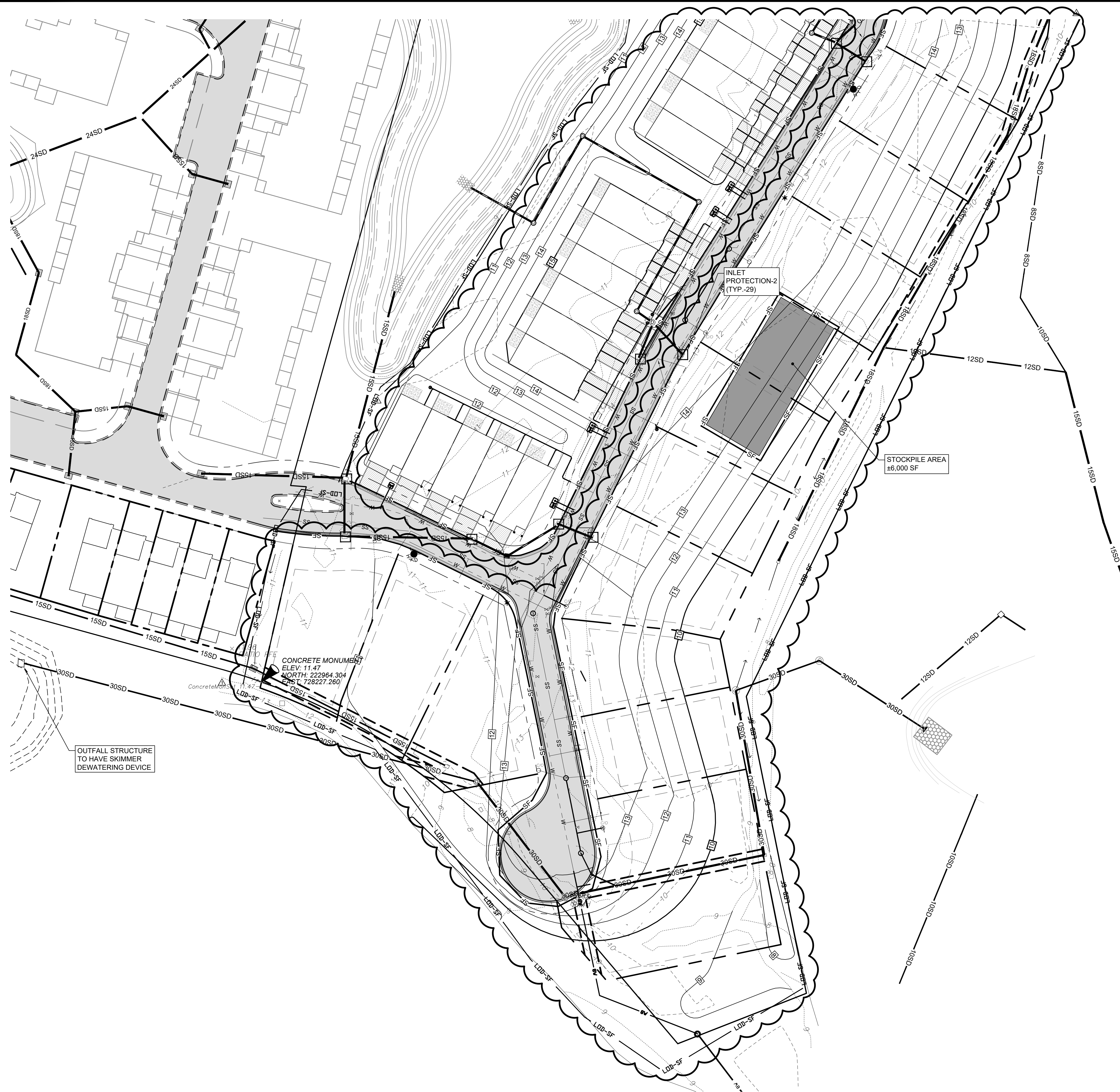
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CONSTRUCTION SITE SWM PLAN
FOR
PENINSULA 18TH ON THE BAY
REVISION
MILLSBORO, SUSSEX COUNTY, DELAWARE

Prepared For: LENAR HOMES

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1	11/02/2020	UPDATE CONDO UNITS AND RESIDENTIAL LOTS

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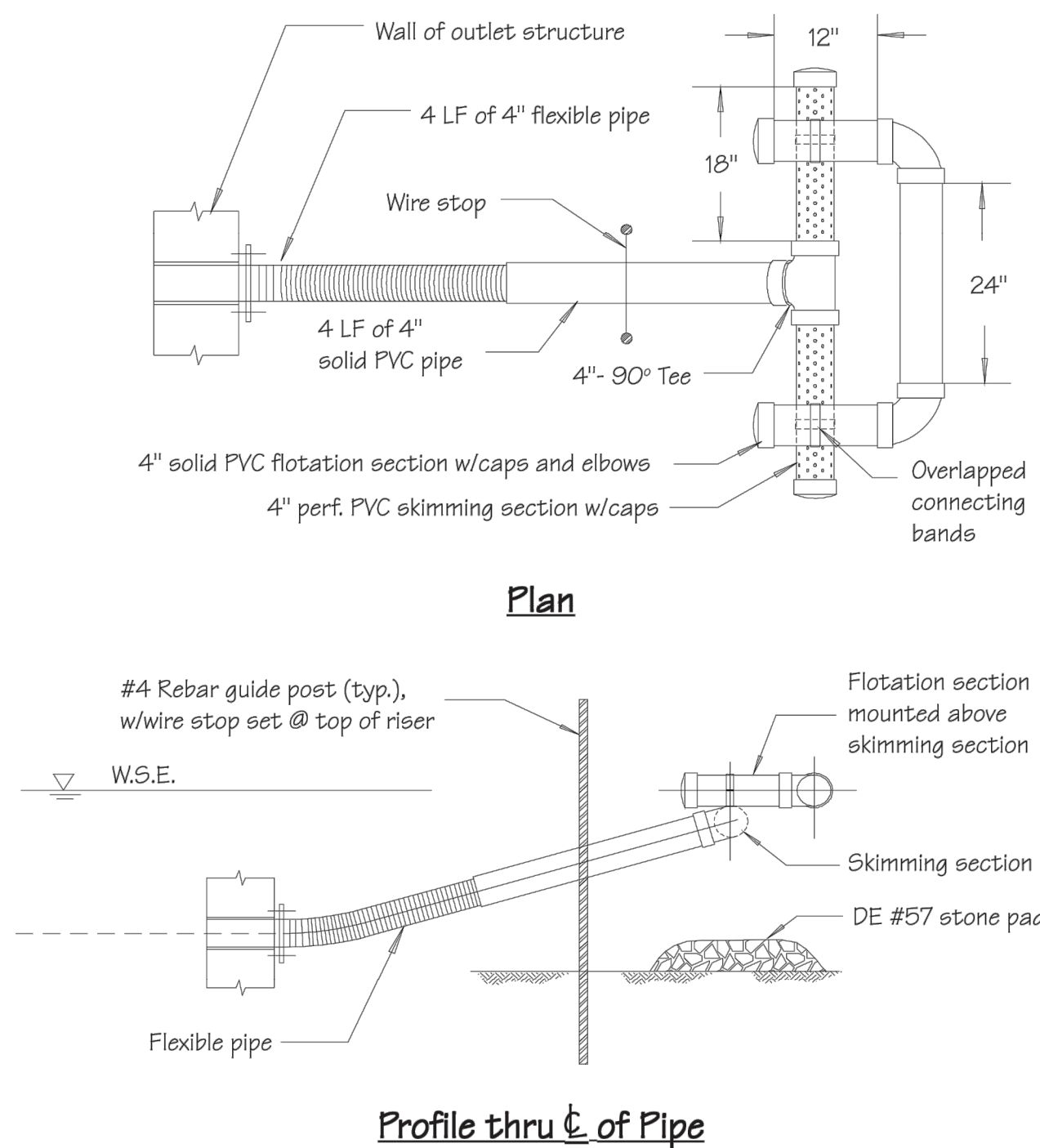
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CONSTRUCTION SITE SWM PLAN
FOR
PENINSULA 18TH ON THE BAY
REVISION
MILLSBORO, SUSSEX COUNTY, DELAWARE

Prepared For: LENAR HOMES

Standard Detail & Specifications
Skimmer Dewatering Device



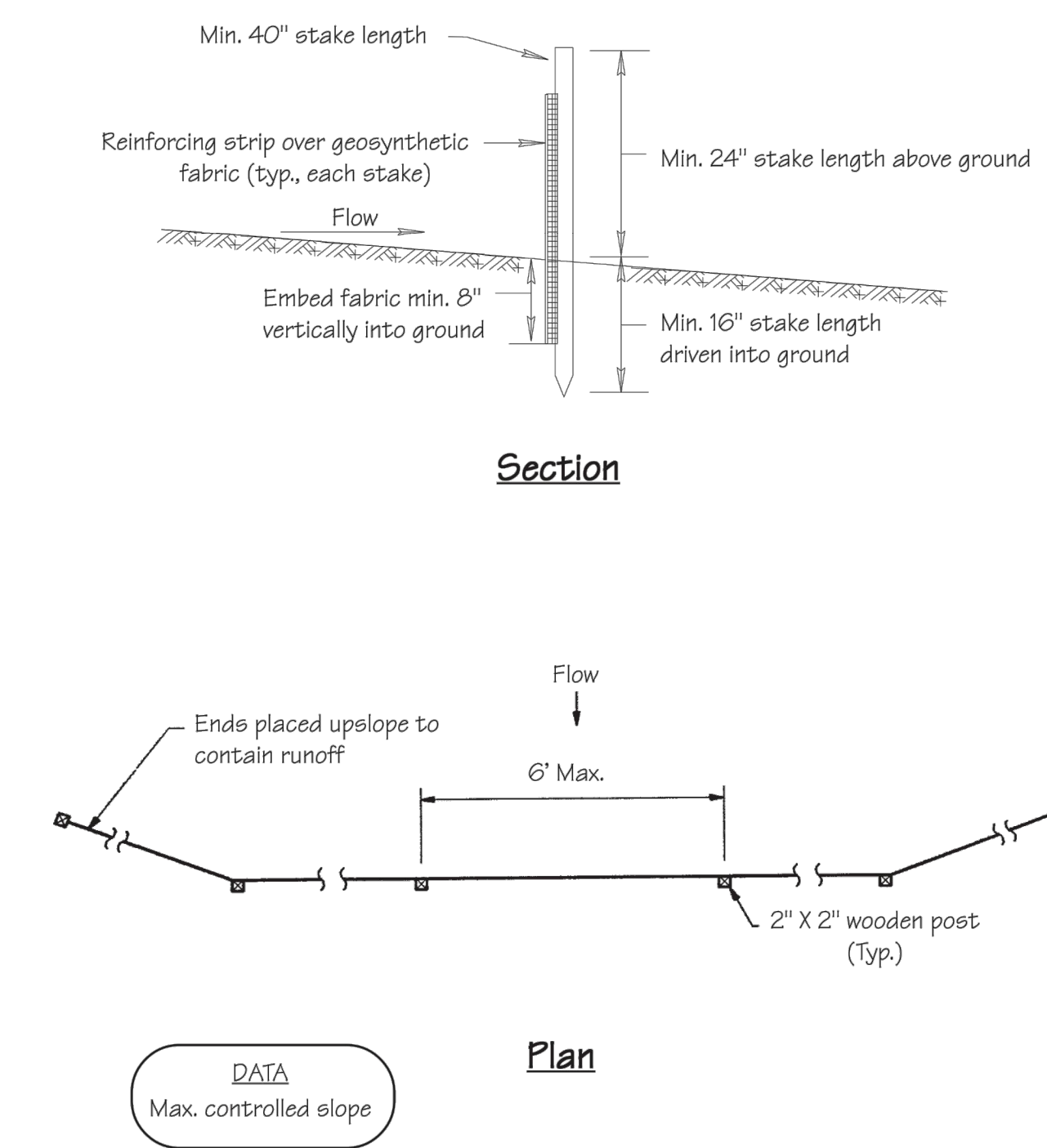
Source: Adapted from drawing by Vandemark & Lynch, Inc.	Symbol: SDD	Detail No. DE-ESC-3.2.3.1 Sheet 1 of 2 Effective FEB 2019
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Standard Detail & Specifications
Skimmer Dewatering Device

- Construction Notes:**
- Pipe flotation section shall be solvent welded to ensure an airtight assembly. Contractor to conduct a test to check for leaks prior to installation.
 - Skimmer section shall have (12) rows of 1/2" dia. holes, 1-1/4" on center. If additional filtration is necessary, the filtering media shall consist of a Type GD-II geotextile fabric wrapped around the perforated portion of the skimmer and attached with plastic snap ties, bands, etc.
 - Flexible pipe shall be inserted into solid pipe and fastened with (2) #8 wood screws.
 - At a minimum, the structure shall be inspected after each rain and repairs made as needed. If vandalism is a problem, more frequent inspection may be necessary.
 - Construction operations shall be carried out in such a manner that erosion and water pollution are minimized.
 - The structure shall only be removed when the contributing drainage area has been properly stabilized.
- Materials:**
- Solid pipe - 4" Sched. 40 PVC
 - Perforated pipe - 4" Sched. 40 PVC
 - 90° Tee (1 ea.) - 4" Sched. 40 PVC
 - 90° Elbow (2 ea.) - 4" Sched. 40 PVC
 - Cap (4 ea.) - 4" Sched. 40 PVC, solid
 - Flexible pipe - 4" corrugated plastic tubing (non-perforated)

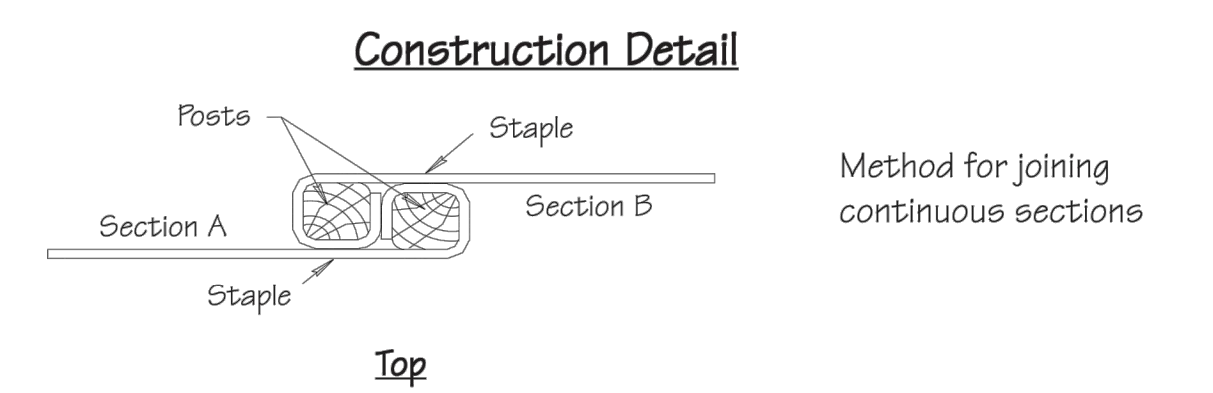
Source: Delaware ESC Handbook	Symbol: SDD	Detail No. DE-ESC-3.2.3.1 Sheet 2 of 2 Effective FEB 2019
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Standard Detail & Specifications
Silt Fence



Source: Adapted from MD Stds. & Specs. for ESC	Symbol: SF	Detail No. DE-ESC-3.1.2.1 Sheet 1 of 2 Effective FEB 2019
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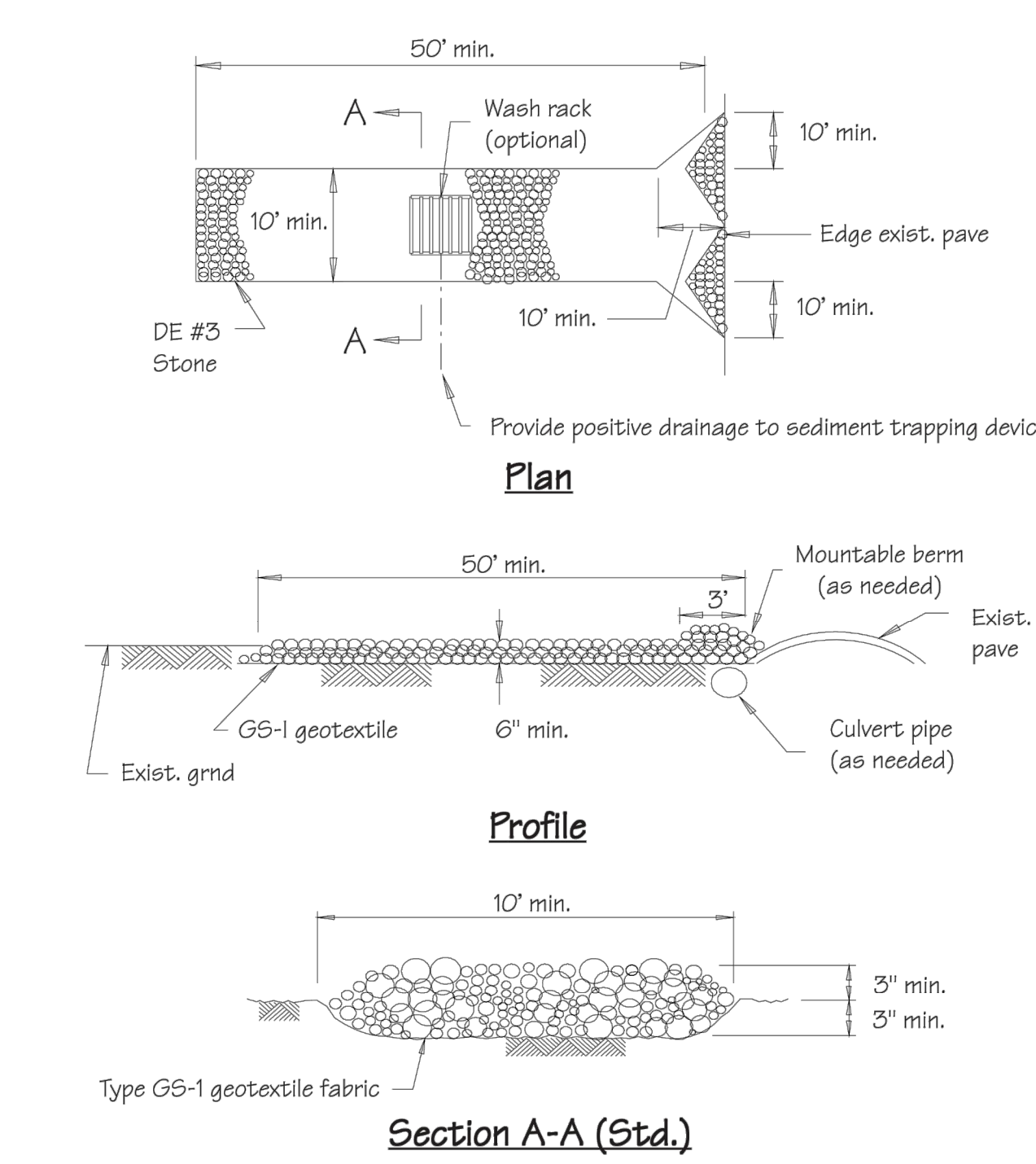
Standard Detail & Specifications
Silt Fence



- Construction Notes:**
- Geosynthetic fabric to be fastened securely to fence posts with wire ties or staples.
 - When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
 - Maintenance shall be performed as needed and material removed when "bulges" develop in the silt fence.
- Materials:**
- Stakes: Steel (either T or U) or 2" x 2" hardwood
 - Geosynthetic Fabric: Type GD-I
 - Reinforcing strip: Wooden lath or plastic strip

Source: Adapted from MD Stds. & Specs. for ESC	Symbol: SF	Detail No. DE-ESC-3.1.2.1 Sheet 2 of 2 Effective FEB 2019
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Standard Detail & Specifications
Stabilized Construct. Entrance



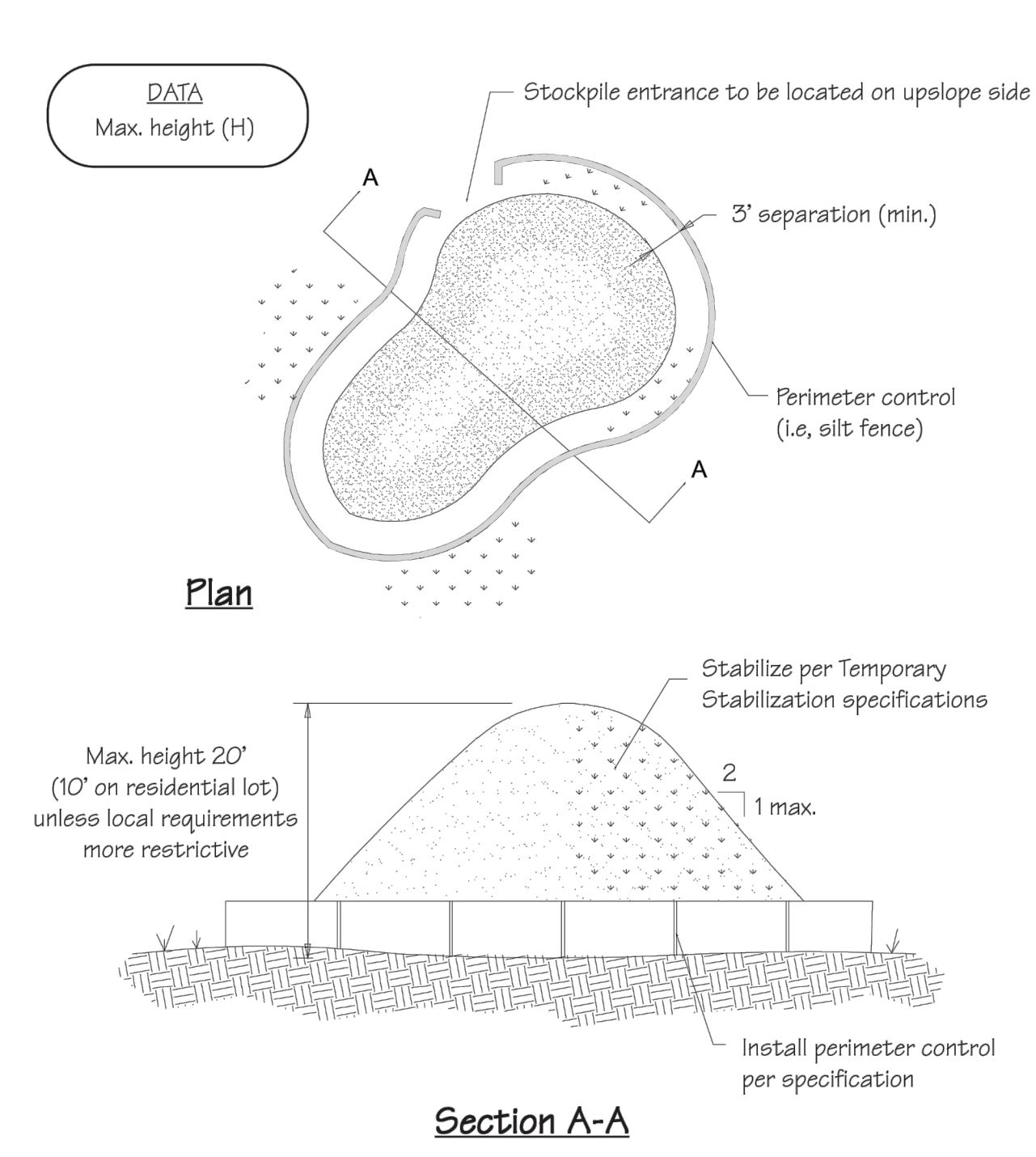
Source: Adapted from VA ESC Handbook	Symbol: SCE	Detail No. DE-ESC-3.4.7 Sheet 1 of 2 Effective FEB 2019
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Standard Detail & Specifications
Stabilized Construct. Entrance

-
- Section A-A (Opt.)** shows an equipment wheel track with a 2' width and space provided for drainage.
- Construction Notes:**
- Stone size** - Use DE #3 stone.
 - Length** - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
 - Thickness** - Not less than size (6) inches.
 - Width** - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
 - Geotextile** - Type GS-1; placed over the entire area prior to placing of stone.
 - Surface Water** - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
 - Maintenance** - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
 - Washing** - Vehicle wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
 - Inspection** - Periodic inspection and needed maintenance shall be provided after each rain.

Source: Adapted from VA ESC Handbook	Symbol: SCE	Detail No. DE-ESC-3.4.7 Sheet 2 of 2 Effective FEB 2019
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Standard Detail & Specifications
Soil Stockpile



Source: Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3	Symbol: SP	Detail No. DE-ESC-3.7.3 Sheet 1 of 2 Effective FEB 2019
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Standard Detail & Specifications
Soil Stockpile

- Construction Notes:**
- Locate stockpiles so that they are 50 feet from any storm drain inlet, open channel, wetland or waterbody. Redirect any concentrated flow around the stockpile using an approved erosion and sediment control measure.
 - Secure the perimeter of the stockpile with an approved erosion and sediment control perimeter device.
 - If stockpile is to remain inactive for more than 14 calendar days, the stockpile must be vegetated. Follow the temporary vegetation specifications. The vegetation chosen shall last the duration of the stockpile; the stockpile shall be restabilized if the temporary vegetation dies or erosion results.

Source: Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3	Symbol: SP	Detail No. DE-ESC-3.7.3 Sheet 2 of 2 Effective FEB 2019
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CONSTRUCTION SITE DETAILS AND NOTES
FOR
PENINSULA 18TH ON THE BAY
REVISION
MILLSBORO, SUSSEX COUNTY, DELAWARE

Prepared For: LEMAR HOMES

Standard Detail & Specifications Vegetative Stabilization



Mix #	Species*	Seeding Rate lb/1000 sq.ft.	Optimum Seeding Dates ¹						Planting Depth ³	
			Coastal Plain		Piedmont		All			
1	Barley	125	4	O	A	O	O	A	O	1-2 inches 2-3" sandy soils
2	Oats	125	4	O	A	A	O	A	A	1-2 inches 2-3" sandy soils
3	Rye	125	4	O	A	O	O	A	O	1-2 inches 2-3" sandy soils
4	Perennial Ryegrass	125	4	O	A	O	O	A	O	0.5 inches 1-2" sandy soils
5	Annual Ryegrass	125	4	O	A	O	O	A	O	0.5 inches 1-2" sandy soils
6	Winter Wheat	125	4	O	A	O	O	A	O	1-2 inches 2-3" sandy soils
7	Foxtail Millet	30 PLS	0.7		O			O		0.5 inches 1-2" sandy soils
8	Pearl Millet	20 PLS	0.5		O			O		0.5 inches 1-2" sandy soils

- Winter seeding requires 3 tons per acre of straw mulch for proper stabilization.
- May be planted throughout summer if soil moisture is adequate or seeded area can be irrigated.
- Applicable on slopes 3:1 or less.
- Fifty pounds per acre of Annual Lespedeza may be added to 1/2 the seeding rate of any of the above species.
- Use varieties currently recommended for Delaware. Contact a County Extension Office for information.
- Warm season grasses such as Millet or Weeping Lovegrass may be used between 5/1 and 9/1 if desired. Seed at 3-5 lbs. per acre. Good on low fertility and acid areas. Seed after frost through summer at a depth of 0.5".

NOTE: Alternative seed mixes may be used with prior approval from the Department or Delegated Agency.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		DE-ESC-3.4.3 Sheet 1 of 4 Effective FEB 2019

Standard Detail & Specifications Vegetative Stabilization



Mix No.	Certified Seed ¹	Seeding Rate ² lb/1000 sq.ft.	Optimum Seeding Dates ³												Remarks
			Coastal Plain				Piedmont				All ⁴				
1	Fall Fescue Weeping Lovegrass	140 10	3.2 0.23	A O	O A	O A	O A	O A	O A	O A	O A	O A	O A	Add 100 lbs./ac Winter Rye Good erosion control mix. Tolerant of low fertility soils. Good for wildlife cover and food.	
2	Deerfongue Sheep Fescue Common Lespedeza ⁵ (inoculated)	30 30 15	0.69 0.69 0.35	A O O	O A A	O A A	O A A	O A A	O A A	O A A	O A A	O A A	O A A	Add 100 lbs./ac Winter Rye Good erosion control mix. Tolerant of low fertility soils. Good wildlife cover and food.	
3	Fall Fescue (Turf-type) ⁶ Strong Creeping Red Fescue or Perennial Ryegrass <i>plus</i> Flatpea ⁷	50 50 15	1.15 1.15 0.34	O O O	A A A	O O O	O A O	O A O	O A O	O A O	O A O	O A O	O A O	Add 100 lbs./ac Winter Rye Good erosion control mix. Tall Fescue for droughty conditions. Creeping Red Fescue for heavy shade. Flatpea to suppress woody vegetation.	
4	Strong Creeping Red Fescue Kentucky Bluegrass Perennial Ryegrass or Redtop <i>plus</i> White Clover ⁸	100 70 15 5	2.3 1.61 0.35 0.11	O O O O	A A A A	O O O O	O A O O	O A O O	O A O O	O A O O	O A O O	O A O O	O A O O	Add 100 lbs./ac Winter Rye Suitable waterway mix. Canada Bluegrass more drought tolerant. Use Redtop for increased drought tolerance.	
5	Switchgrass ⁹ or Coastal Panicgrass Big Bluestem Little Bluestem Indian Grass	10 10 5 5 5	0.23 0.23 0.11 0.18 0.11	O O O O O	A A A A A	O O O O O	O A O O O	O A O O O	O A O O O	O A O O O	O A O O O	O A O O O	O A O O O	Native warm-season mixture. Tolerant of low fertility soils. Drought tolerant. Poor shade tolerance. N fertilizer discouraged - weeds.	
6	Fall Fescue (Turf-type) (blend of 3 cultivars)	150 20	3.5 0.46	O O	A A	O O	O O	O O	O O	O O	O O	O O	O O	Managed filler strip for nutrient uptake.	
7	Fall Fescue Ky. Bluegrass (blend) Perennial Ryegrass	20 20 20	0.46 0.46 0.46	O O O	A A A	O O O	O O O	O O O	O O O	O O O	O O O	O O O	O O O	Three cultivars of Kentucky Bluegrass. Traffic tolerant.	
8	Big Bluestem ¹⁰ Indian Grass ¹¹ Little Bluestem ¹² Creeping Red Fescue <i>plus one of:</i> Partridge Pea Buck Clover Wild Indigo Shaw Tick-Trefoil	10 10 10 30 5 3 3 2	0.23 0.23 0.18 0.69 0.11 0.07 0.07 0.05	O O O O O O O O	A A A A A A A A	O O O O O O O O	O A O O O O O O	O A O O O O O O	O A O O O O O O	O A O O O O O O	O A O O O O O O	O A O O O O O O	O A O O O O O O	All species are native. Indian Grass and Bluestem have fluffy seeds. Plant with a specialized native seed drill. Creeping Red Fescue will provide erosion protection while the warm season grasses get established.	

NOTE: Alternative seed mixes may be used with prior approval from the Department or Delegated Agency.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		DE-ESC-3.4.3 Sheet 2 of 4 Effective FEB 2019

Standard Detail & Specifications Vegetative Stabilization



Mix No.	Certified Seed ¹	Seeding Rate ² lb/1000 sq.ft.	Optimum Seeding Dates ³												Remarks
			Coastal Plain				Piedmont				All ⁴				
9	Redtop Creeping Bentgrass Sheep Fescue Rough Bluegrass	75 35 30 45	1.72 0.8 0.69 1	O O O O	A A A A	O O O O	O A O O	O A O O	O A O O	O A O O	O A O O	O A O O	O A O O	Add 100 lbs./ac Winter Rye Quick stabilization of disturbed sites and waterways	
10	Reed Canarygrass ⁵	10	0.23	A	O	A	O	A	O	A	O	A	O	Good erosion control, wildlife cover and wetland revegetation.	
Residential Lawns															
11	Fall Fescue Perennial Ryegrass Kentucky Bluegrass Blend	100 25 30	2.3 0.57 0.69	O O O	A A A	O O O	O O O	O O O	O O O	O O O	O O O	O O O	O O O	O O O	High value, high maintenance, light traffic, irrigation necessary. Well drained soils, full sun.
12	Fall Fescue Perennial Ryegrass Sheep Fescue	100 25 25	2.3 0.57 0.57	O O O	A A A	O O O	O O O	O O O	O O O	O O O	O O O	O O O	O O O	Moderate value, low maintenance, traffic tolerant.	
13	Creeping Red Fescue Chewings Fescue Rough Bluegrass Kentucky Bluegrass	50 50 20 20	1.15 1.15 0.4 0.4	O O O O	A A A A	O O O O	O O O O	O O O O	O O O O	O O O O	O O O O	O O O O	O O O O	Shade tolerant, moderate traffic tolerance, moderate maintenance.	
14	Creeping Red Fescue Rough Bluegrass or Chewings Fescue	50 90	1.15 2.1	O O	A A	O O	O O	O O	O O	O O	O O	O O	O O	Shade tolerant, moisture tolerant.	
15	K-31 Tall Fescue	150	3.5	O	A	O	O	O	A	O	O	O	O	Monoculture, but performs well alone in lawns. Discouraged.	

- When hydroseeding is the chosen method of application, the total rate of seed should be increased by 25%.
- Winter seeding requires 3 tons per acre of straw mulch. Planting dates listed above are averages for Delaware. These dates may require adjustment to reflect local conditions.
- All seed shall meet the minimum purity and minimum germination percentages recommended by the Delaware Department of Agriculture. The maximum % of weed seeds shall be in accordance with Section 1, Chapter 24, Title 3 of the Delaware Code.
- Cool season species may be planted throughout summer if soil moisture is adequate or seeded area can be irrigated.
- All leguminous seed must be inoculated.
- Warm season grass mix and Reed Canary Grass cannot be mowed more than 4 times per year.
- Warm season grasses require a soil temperature of at least 50 degrees in order to germinate, and will remain dormant until then.

NOTE: Alternative seed mixes may be used with prior approval from the Department or Delegated Agency.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		DE-ESC-3.4.3 Sheet 3 of 4 Effective FEB 2019

Standard Detail & Specifications Vegetative Stabilization



Construction Notes:

- Site Preparation
 - Prior to seeding, install needed erosion and sediment control practices such as diversions, grade stabilization structures, berms, dikes, grassed waterways, and sediment basins.
 - Final grading and shaping is not necessary for temporary seedings.
- Seedbed Preparation

It is important to prepare a good seedbed to insure the success of establishing vegetation. The seedbed should be well prepared, loose, uniform, and free of large clods, rocks, and other objectionable material. The soil surface should not be compacted or crusted.
- Soil Amendments
 - Lime - Apply liming materials based on the recommendations of a **soil test** in accordance with the approved nutrient management plan. If a nutrient management plan is not required, apply dolomitic limestone at the rate of 1 to 2 tons per acre. Apply limestone uniformly and incorporate into the top 4 to 6 inches of soil.
 - Fertilizer - Apply fertilizer based on the recommendations of a **soil test** in accordance with the approved nutrient management plan. If a nutrient management plan is not required, apply a formulation of 10-10-10 at the rate of 600 pounds per acre. Apply fertilizer uniformly and incorporate into the top 4 to 6 inches of soils.
- Seeding
 - For **temporary stabilization**, select a mixture from **Sheet 1**. For a **permanent stabilization**, select a mixture from **Sheet 2** or **Sheet 3** depending on the conditions. Alternative seed mixes may be used with prior approval from the Department or Delegated Agency.
 - Apply seed uniformly with a broadcast seeder, drill, cultipacker seeder or hydroseeder. All seed will be applied at the recommended rate and planting depth.
 - Seed that has been broadcast should be covered by raking or dragging and then **lightly** tamped into place using a roller or cultipacker. If hydroseeding is used and the seed and fertilizer is mixed, they will be mixed on site and the seeding shall be done immediately and without interruption.
- Mulching

All mulching shall be done in accordance with detail **DE-ESC-3.4.5**.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		DE-ESC-3.4.3 Sheet 4 of 4 Effective FEB 2019

Standard Detail & Specifications Topsoiling



Construction Notes:

- Site Preparation (Where Topsoil is to be added)

Note: When topsoiling, maintain needed erosion and sediment control practices such as diversions, grade stabilization structures, berms, dikes, waterways and sediment basins.

 - Grading - Grades on the areas to be topsoiled which have been previously established shall be maintained.
 - Liming - Where the topsoil is either highly acid or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet). Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
 - Tilling - After the areas to be topsoiled have been brought to grade, and immediately prior to dumping and spreading the topsoil, the subgrade shall be loosened by discing or by scarifying to a depth of at least 3 inches to permit bonding of the topsoil to the subsoil. Pack by passing a bulldozer up and down over the entire surface area of the slope to create horizontal erosion check slots to prevent topsoil from sliding down the slope.
- Topsoil Material and Application

Note: Topsoil salvaged from the existing site may often be used but it should meet the same standards as set forth in these specifications. The depth of topsoil to be salvaged shall be no more than the depth described as a representative profile for that particular soil type as described in the soil survey published by USDA-SCS in cooperation with Delaware Agricultural Experimental Station.

Source:	Symbol:	Detail No.
USDA - NRCS		DE-ESC-3.4.1 Sheet 1 of 2 Effective FEB 2019

Standard Detail & Specifications Topsoiling



Construction Notes (cont.)

- Materials - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand or other soil as approved by an agronomist or soil scientist. It shall not have a mixture of contrasting textured subsoil and contain no more than 5 percent by volume of cinders, stones, slag, coarse fragment, gravel, sticks, roots, trash or other extraneous materials larger than 1-1/2 inches in diameter. Topsoil must be free of plants or plant parts of bermudagrass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistles, or others as specified. All topsoil shall be tested by a reputable laboratory for organic matter content, pH and soluble salts. A pH of 6.0 to 7.5 and an organic content of not less than 1.5 percent by weight is required. If pH value is less than 6.0 lime shall be applied and incorporated with the topsoil to adjust the pH to 6.5 or higher. Topsoil containing soluble salts greater than 500 parts per million shall not be used.

Note: No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed to permit dissipation of toxic materials.
- Grading - The topsoil shall be uniformly distributed and compacted to a minimum of four (4) inches. Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets. Topsoil shall not be placed while in a frozen or muddy condition, when the subgrade is excessively wet, or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

Note: Topsoil substitutes or amendments as approved by a qualified agronomist or soil scientist, may be used in lieu of natural topsoil. Compost material used to improve the percentage of organic matter shall be provided by a certified supplier.

Compost amendments that are intended to meet specific post-construction stormwater management goals shall further meet the requirements of **Appendix 3.06.2 Post Construction Stormwater Management BMP Standards and Specifications, Section 14.0 Soil Amendments**.

Source:	Symbol:	Detail No.
USDA - NRCS		DE-ESC-3.4.1 Sheet 2 of 2 Effective FEB 2019

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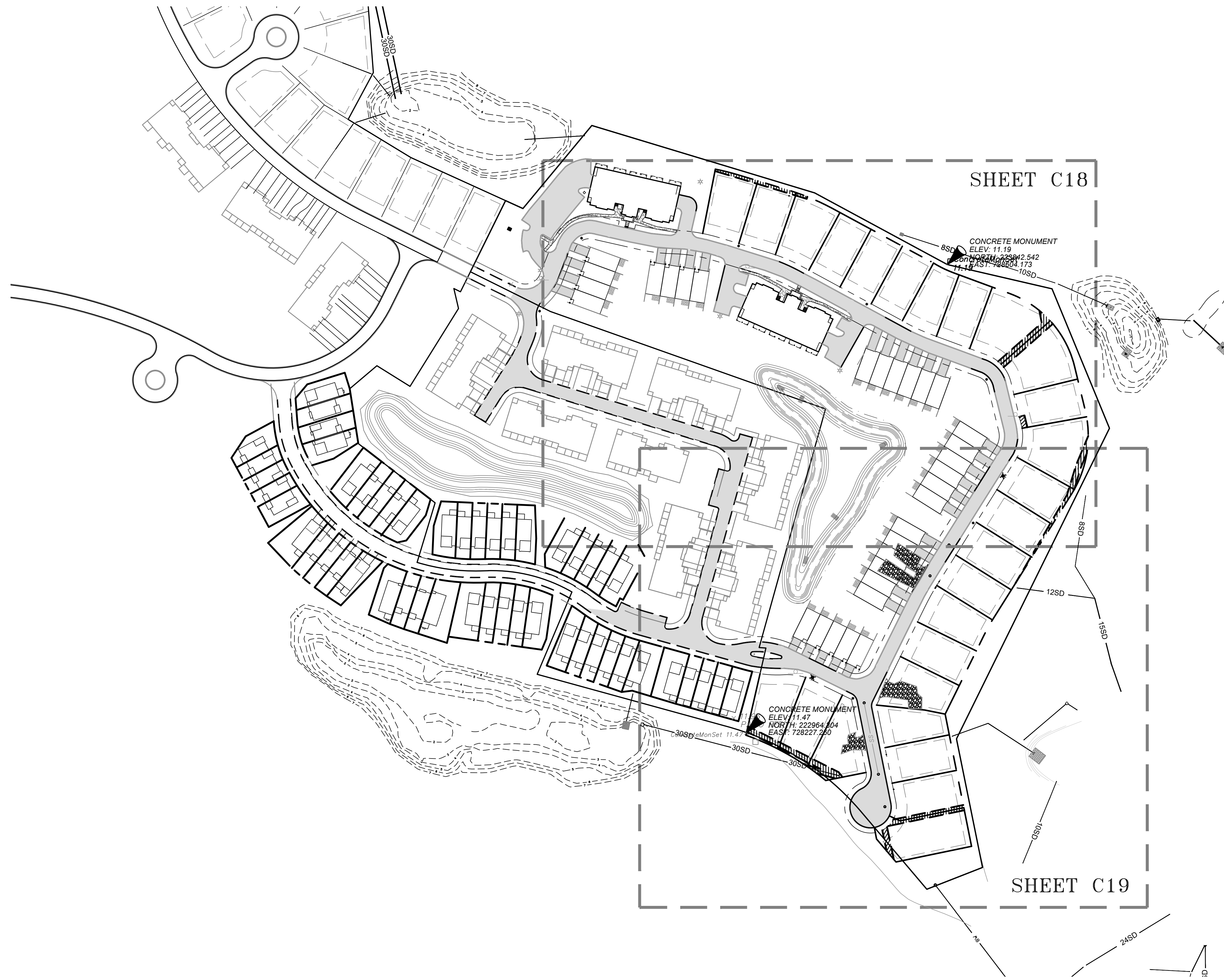
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CONSTRUCTION SITE DETAILS AND NOTES
FOR
PENINSULA 18TH ON THE BAY
REVISION
MILLSBORO, SUSSEX COUNTY, DELAWARE

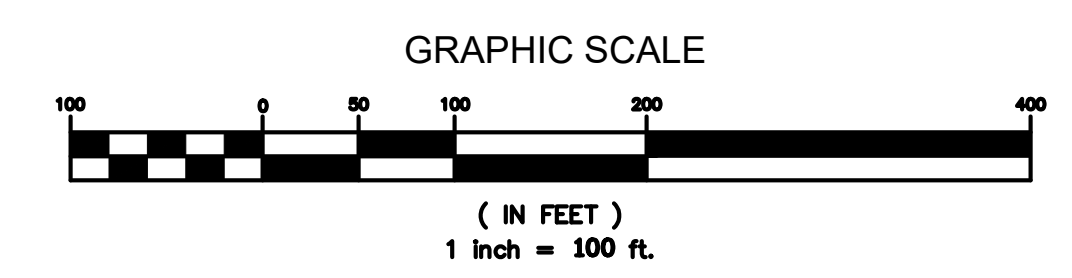
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EASEMENT LINE	---	---
EASEMENT HATCH		
SETBACK LINE	---	---
R.O.W. LINE	---	---
BENCH MARK		
HIGH POINT LABEL	x HP: 100.01	x HP: 100.01
LOW POINT LABEL	x LP: 100.01	x LP: 100.01
SPOT ELEV. LABEL	x 100.01	x 100.01
FLOW ARROW		
MAJOR CONTOUR	-25	25
MINOR CONTOUR	24	24
EDGE OF CONCRETE	---	---
EDGE OF PAVEMENT	---	---
CURB	---	---
PAVEMENT HATCH		
CONCRETE HATCH		
STORM MANHOLE		
CATCH BASIN		
CURB INLET		
YARD INLET		
STORM PIPE	SD	ST
SANITARY MANHOLE		
SANITARY CLEANOUT	CO	CO
SANITARY PIPE	SS	SS
WATER MANHOLE		
WATER VALVE		
WATER METER		
WATER PIPE	W	W
FIRE HYDRANT		
LIGHT POLE	*	*



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POST CONSTRUCTION MANAGEMENT PLAN
FOR
PENINSULA 18TH ON THE BAY
REVISION
MILLSBORO, SUSSEX COUNTY, DELAWARE

Prepared For: LENAR HOMES

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STRUCTURE TABLE		
STRUCTURE NAME	TYPE	RIM
INLET 1	24" X 36" INLET	10.20
INLET 2	24" X 36" INLET	12.08
MH 1	STORM DRAIN MANHOLE	15.20
MH 2	STORM DRAIN MANHOLE	14.80
MH 3	STORM DRAIN MANHOLE	14.75
MH 4	STORM DRAIN MANHOLE	14.75
MH 5	STORM DRAIN MANHOLE	14.61
MH 6	STORM DRAIN MANHOLE	11.90
MH 7	STORM DRAIN MANHOLE	12.15
YD A	12" X 12" YARD INLET	13.50

PIPE TABLE			
PIPE NAME	TYPE	LENGTH	SLOPE
PIPE 1	15" RCP	63.23	0.87%
PIPE 2	15" RCP	107.86	0.32%
PIPE 3	15" RCP	79.06	2.09%
PIPE 4	15" RCP	28.45	1.05%
PIPE 5	15" RCP	20.23	2.97%
PIPE 6	15" RCP	13.47	1.48%
PIPE 7	15" RCP	102.29	1.56%
PIPE 8	15" RCP	108.46	0.92%
PIPE 9	15" RCP	81.20	3.45%
PIPE 10	15" RCP	58.33	0.86%
PIPE 12	15" RCP	46.86	0.58%
PIPE 13	15" RCP	29.37	1.70%
PIPE A	8" HDPE	22.90	2.18%

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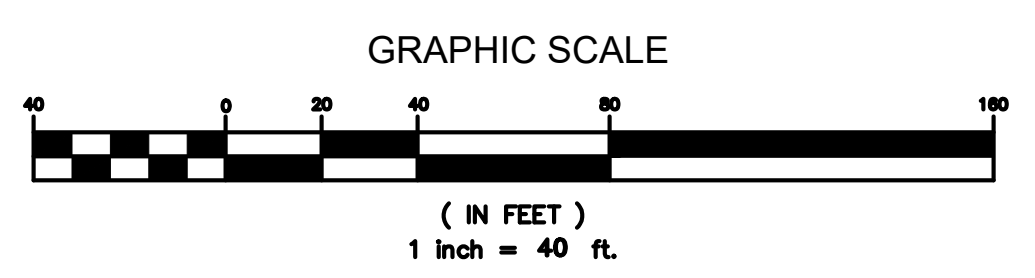
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POST CONSTRUCTION MANAGEMENT PLAN
 FOR
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 REVISION
 MILLSBORO, SUSSEX COUNTY, DELAWARE

Prepared For: LENAR HOMES



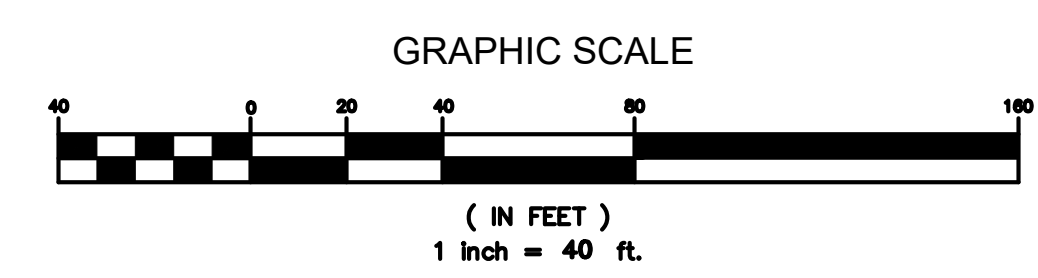
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PIPE 12	15" RCP	46.86	0.58%
PIPE 13	15" RCP	29.37	1.70%
PIPE A	8" HDPE	22.90	2.18%

EXISTING STORM MANHOLE TO BE REPLACED WITH 48" X 48" INLET
RIM EL: 12.28



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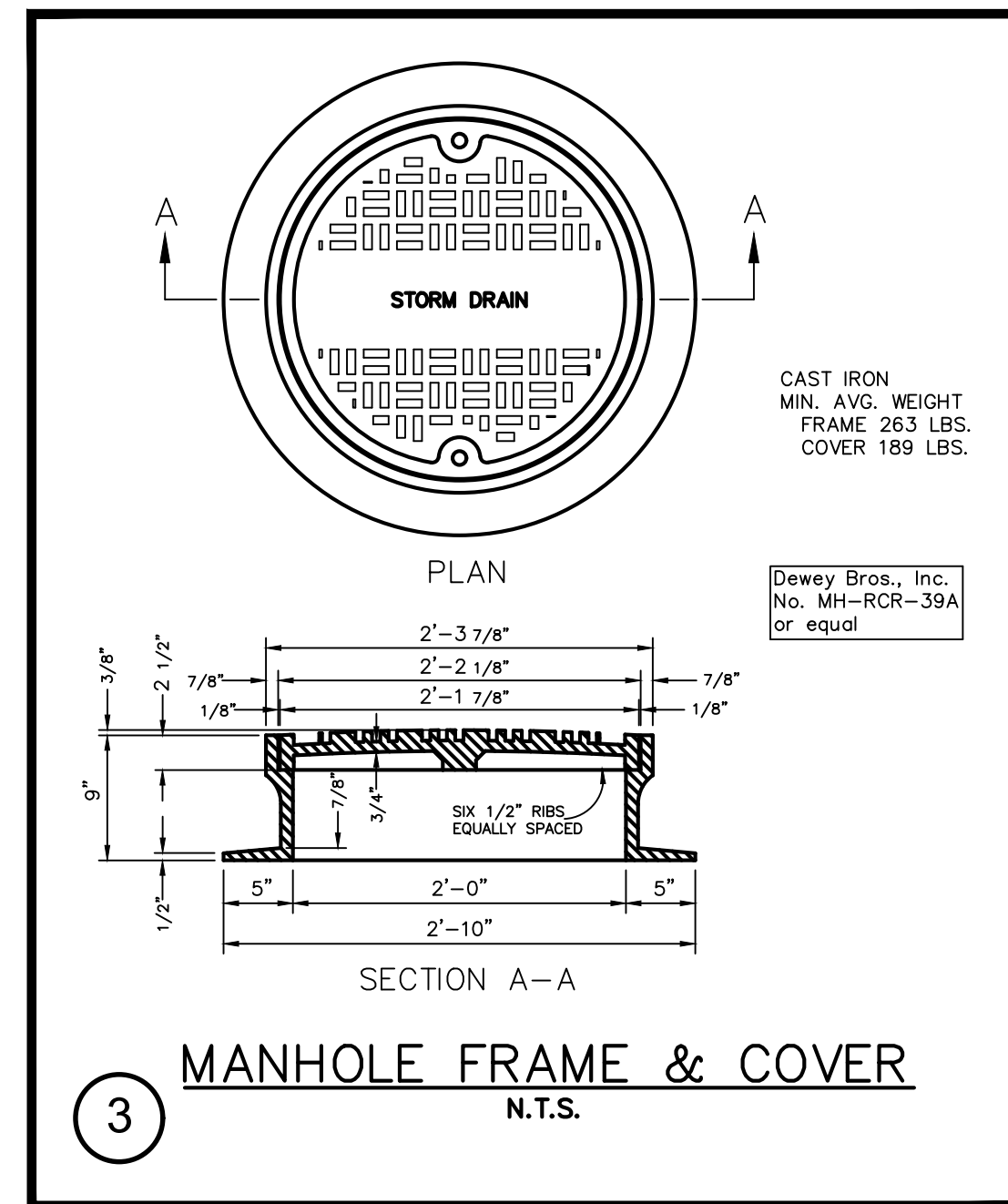
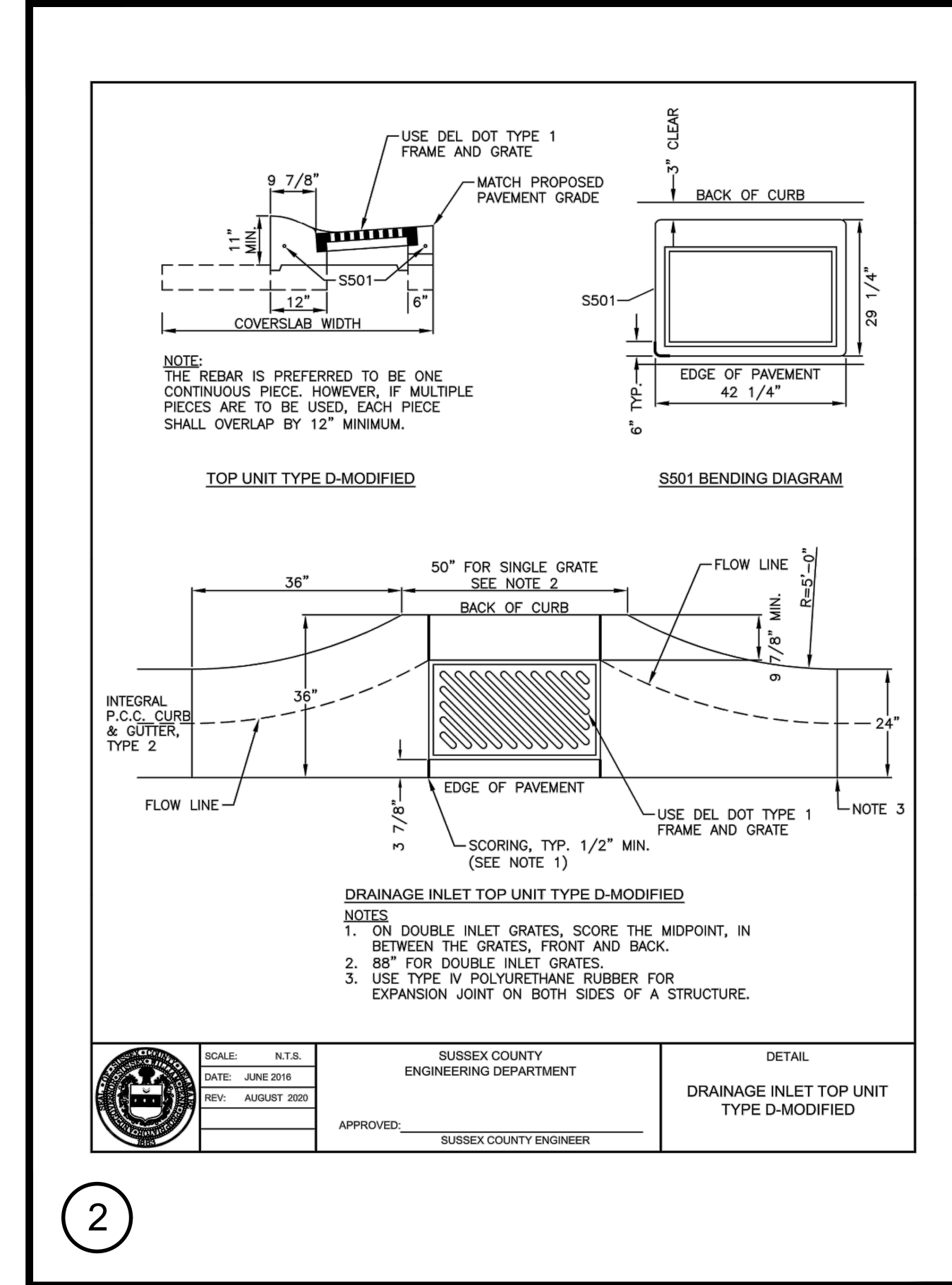
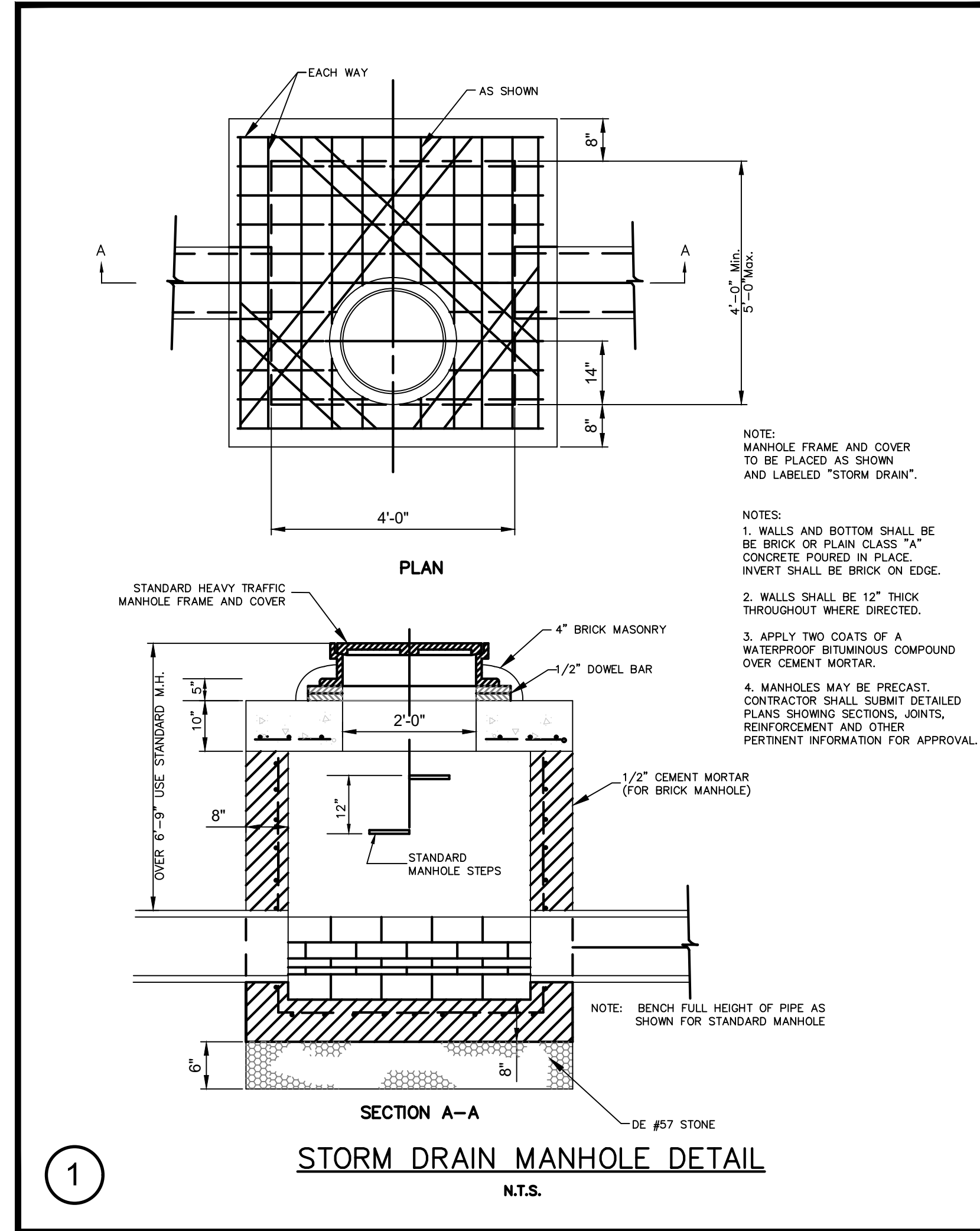
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POST CONSTRUCTION MANAGEMENT PLAN
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MILLSBORO, SUSSEX COUNTY, DELAWARE

Prepared For: LEMAR HOMES



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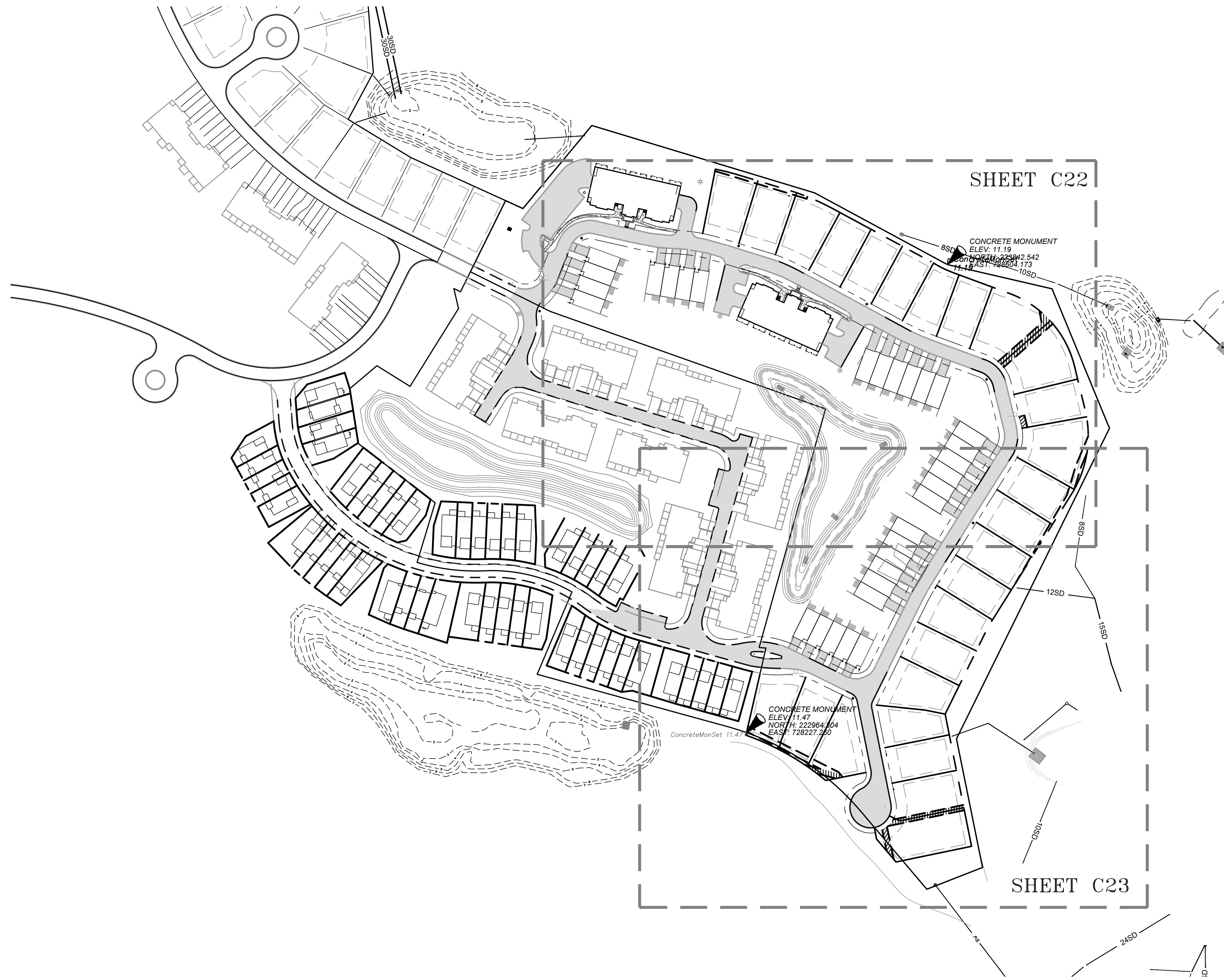
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STORMWATER MANAGEMENT DETAILS

FOR
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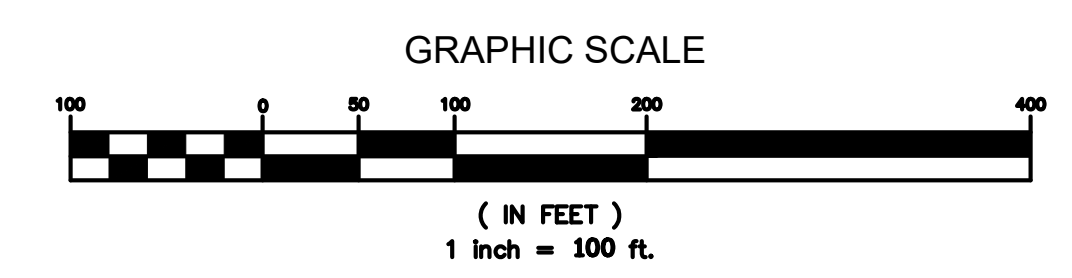
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R.O.W. LINE	---	---
BENCH MARK		
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LOW POINT LABEL	x LP: 100.01	x LP: 100.01
SPOT ELEV. LABEL	x 100.01	x 100.01
FLOW ARROW		
MAJOR CONTOUR	-25	25
MINOR CONTOUR	24	24
EDGE OF CONCRETE	---	---
EDGE OF PAVEMENT	---	---
CURB	---	---
PAVEMENT HATCH		
CONCRETE HATCH		
STORM MANHOLE		
CATCH BASIN		
CURB INLET		
YARD INLET		
STORM PIPE	SD	ST
SANITARY MANHOLE		
SANITARY CLEANOUT		
SANITARY PIPE	SS	SS
WATER MANHOLE		
WATER VALVE		
WATER METER		
WATER PIPE	W	W
FIRE HYDRANT		
LIGHT POLE	*	*



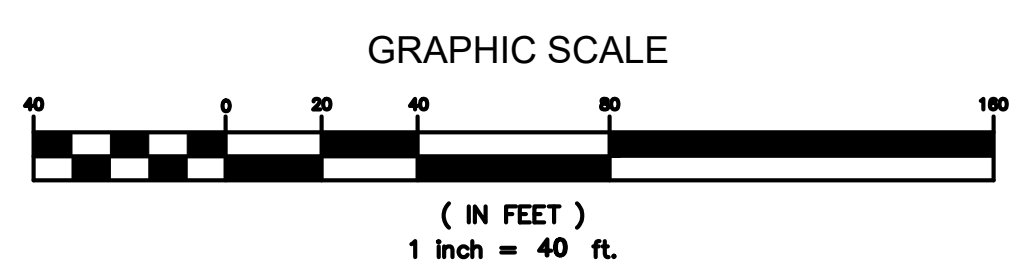
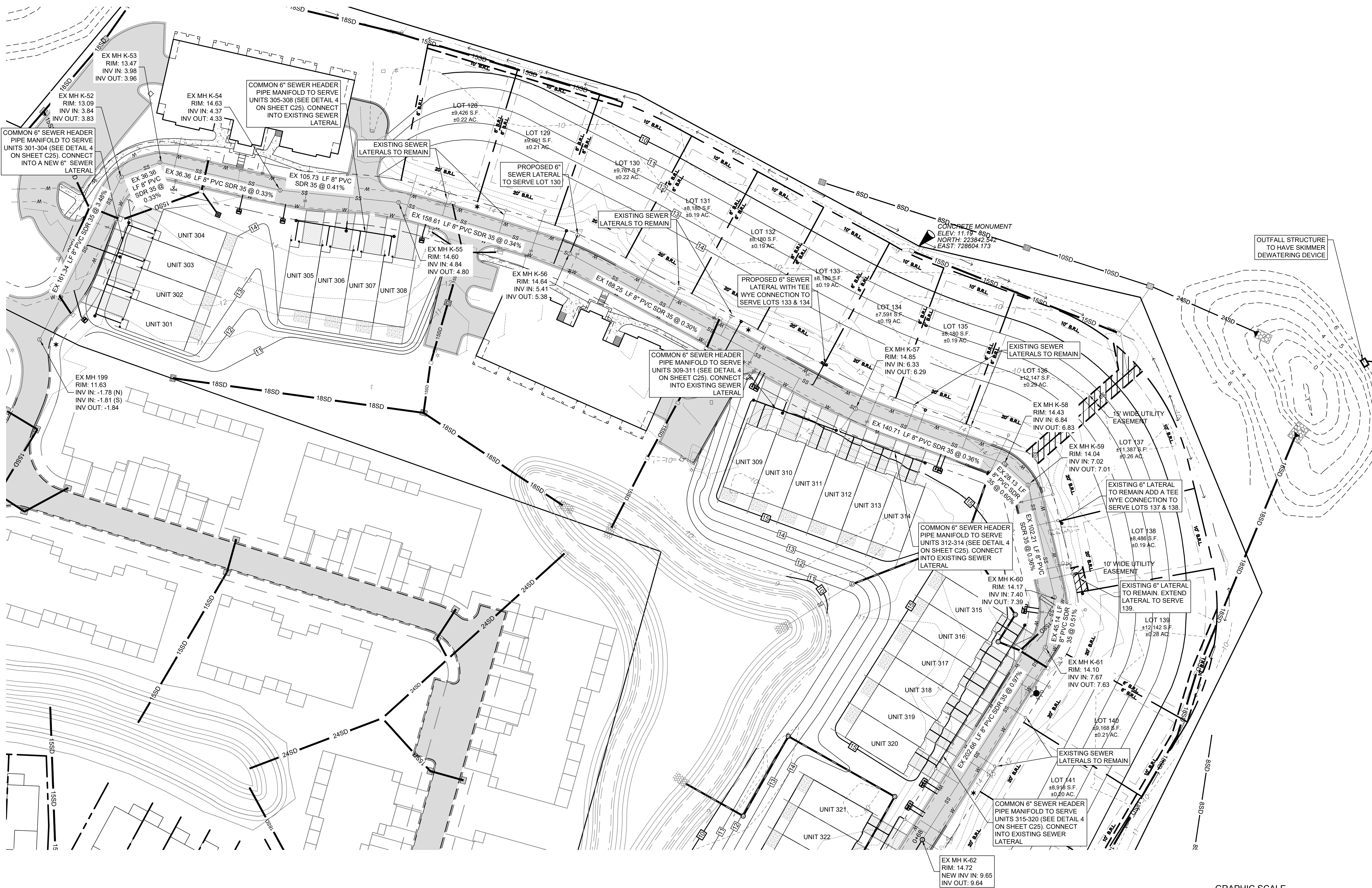
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SANITARY SEWER KEY SHEET
 FOR
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 REVISION
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 Prepared For: LENAR HOMES

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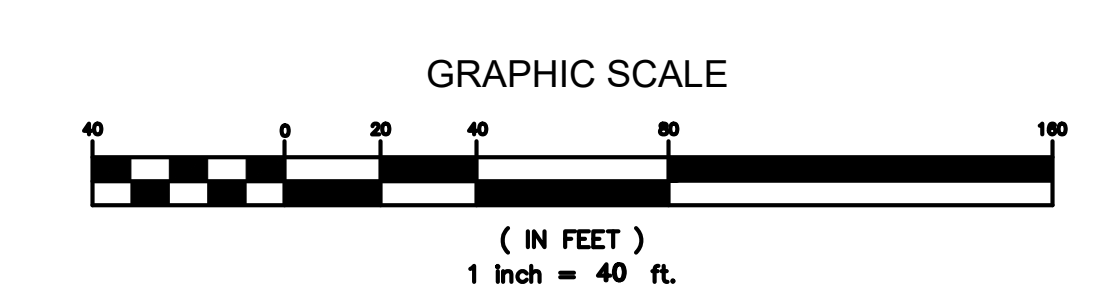
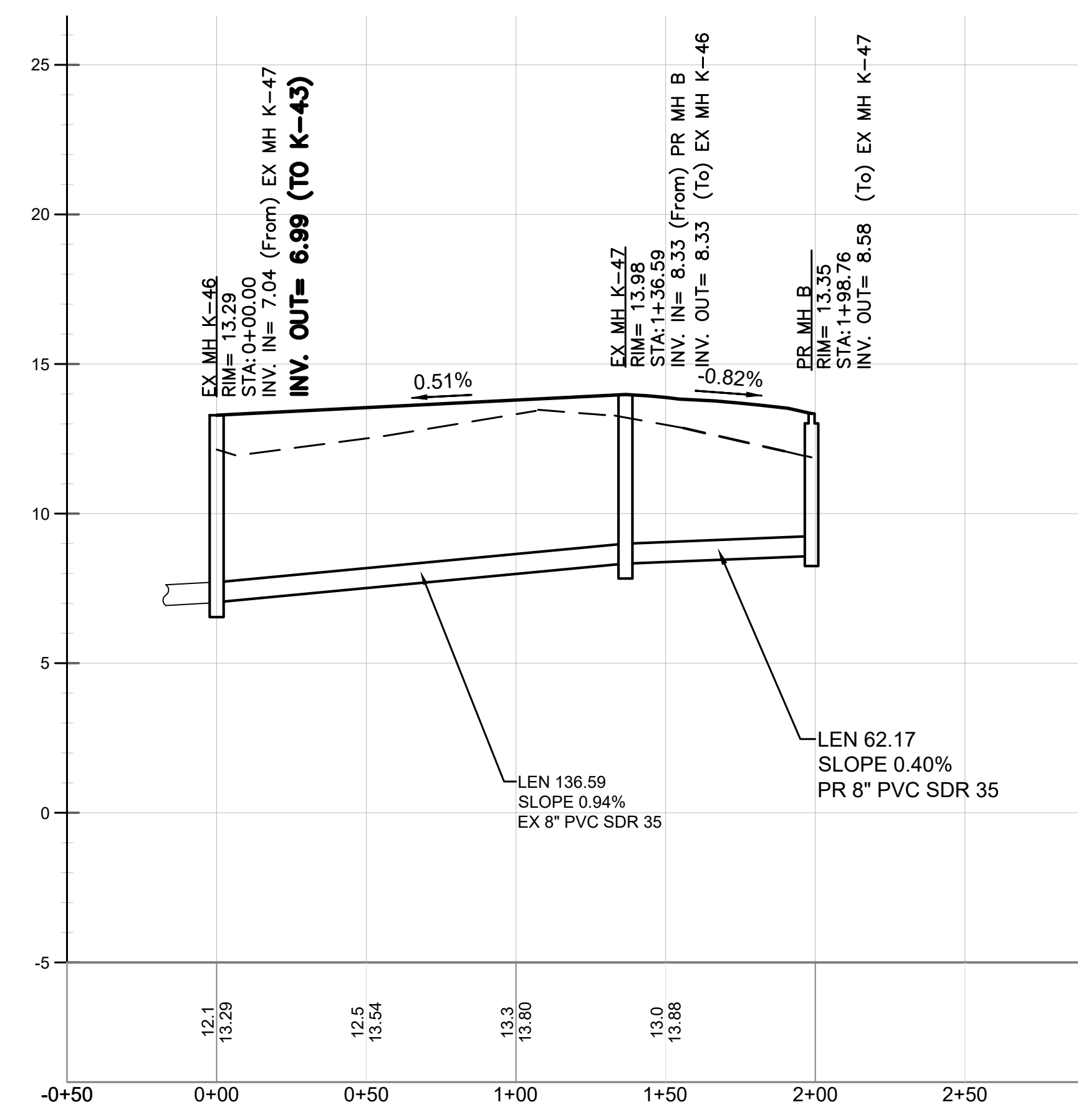
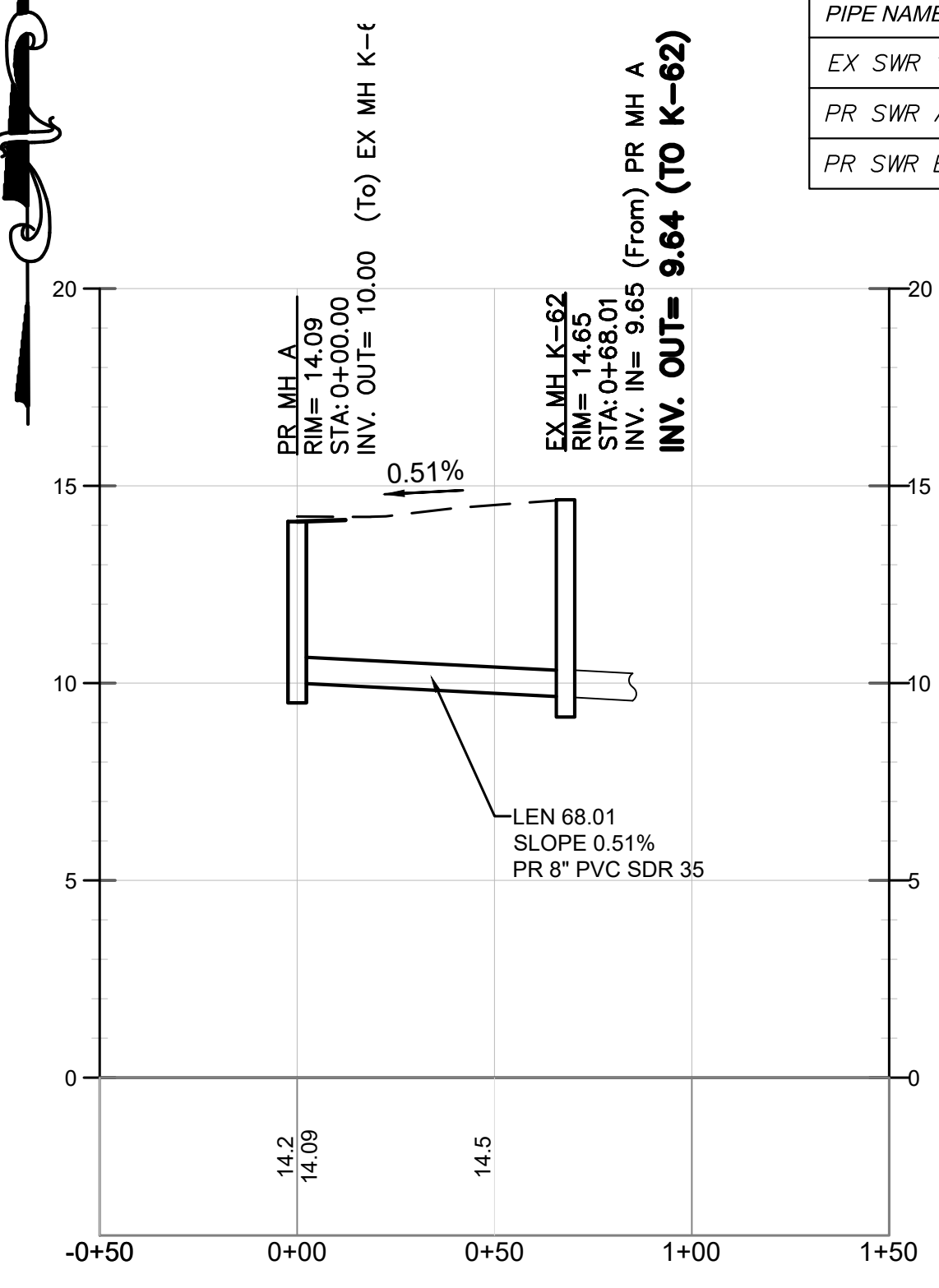
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SANITARY SEWER PLAN
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 MILLSBORO, SUSSEX COUNTY, DELAWARE
 Prepared For: LENAR HOMES

SHEET NO.: **C22**

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PIPE TABLE			
PIPE NAME	TYPE	LENGTH	SLOPE
EX SWR 1	EX 8" PVC SDR 35	136.59	0.94%
PR SWR A	PR 8" PVC SDR 35	68.01	0.51%
PR SWR B	PR 8" PVC SDR 35	62.18	0.40%



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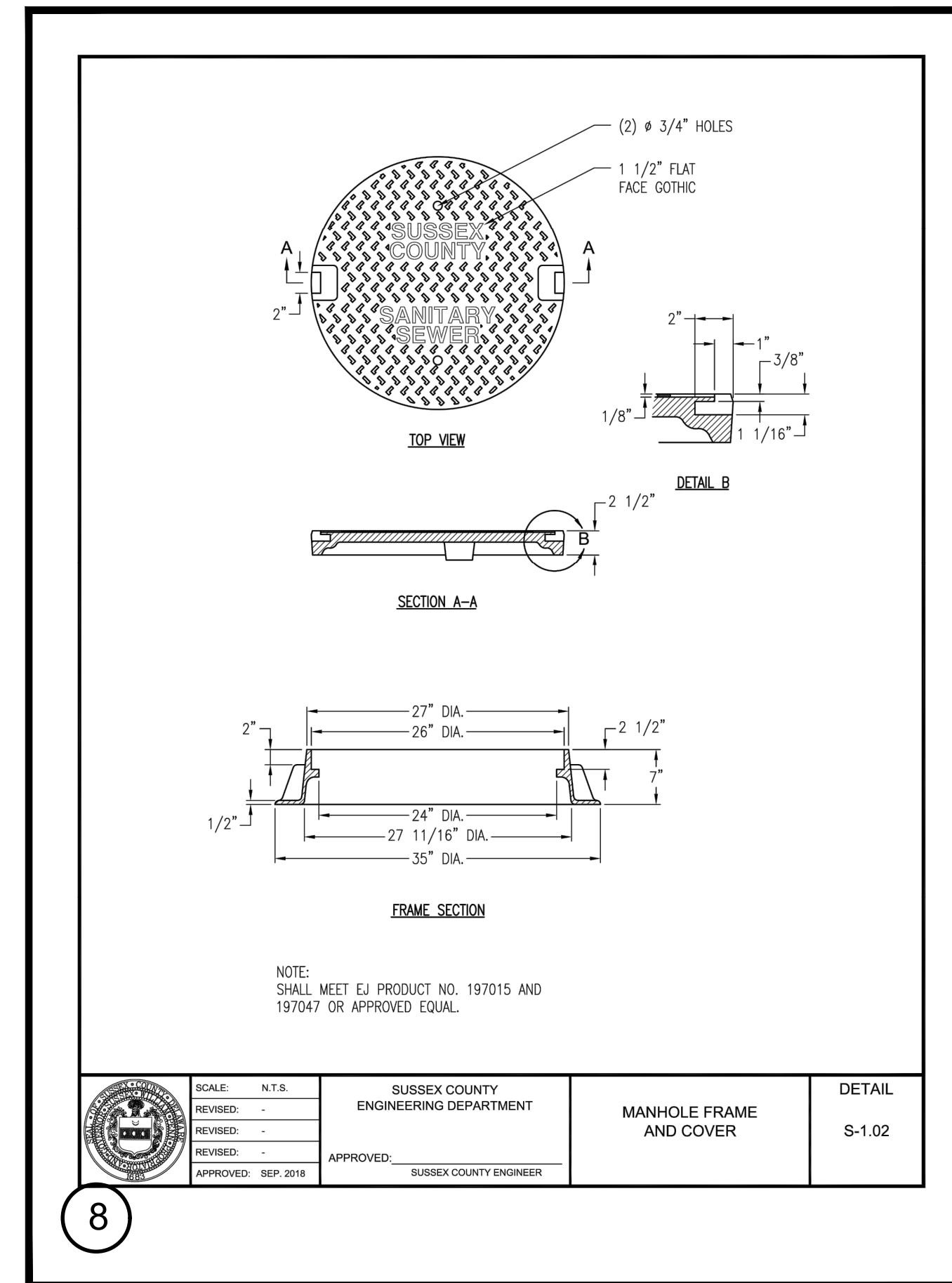
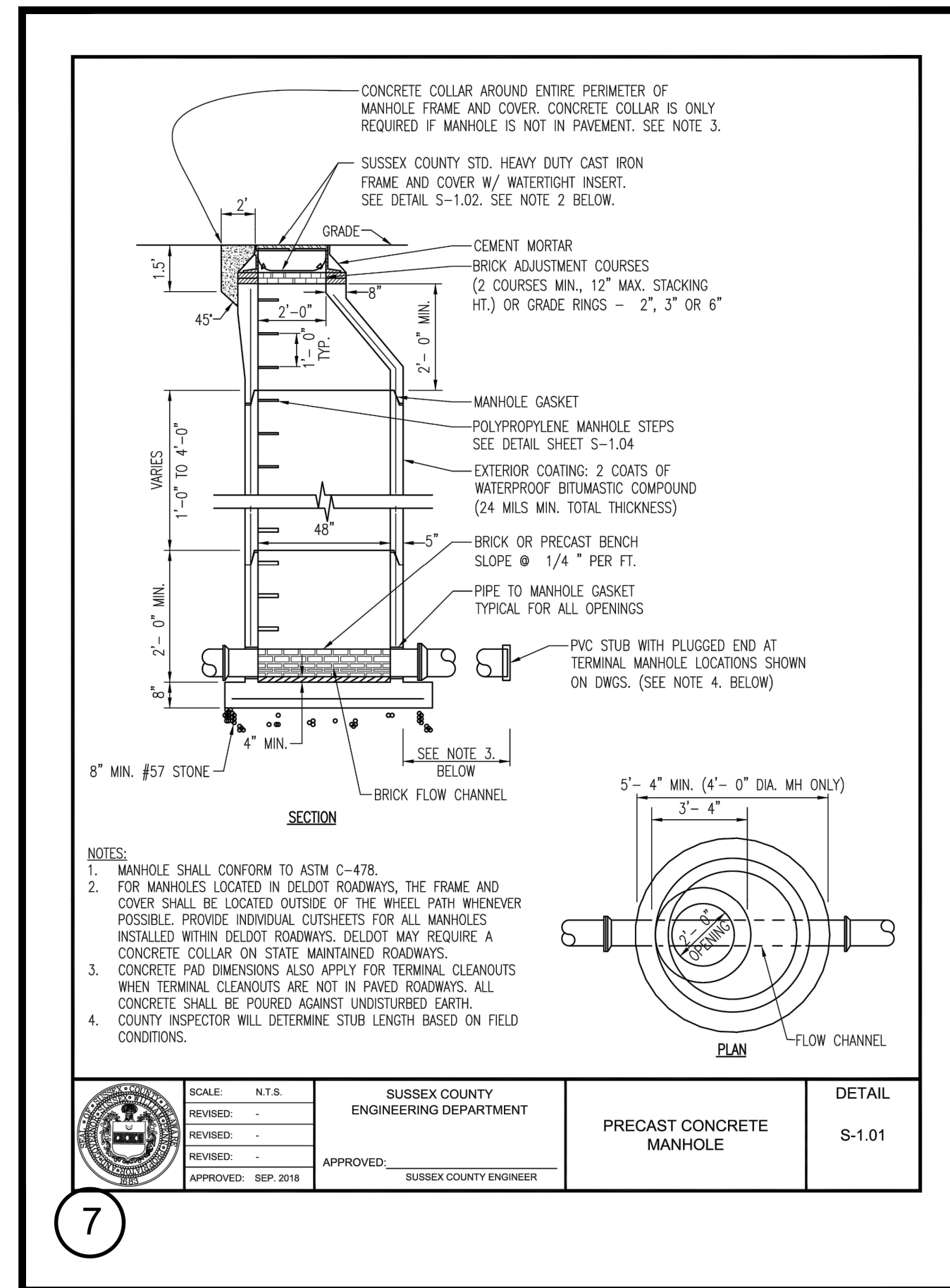
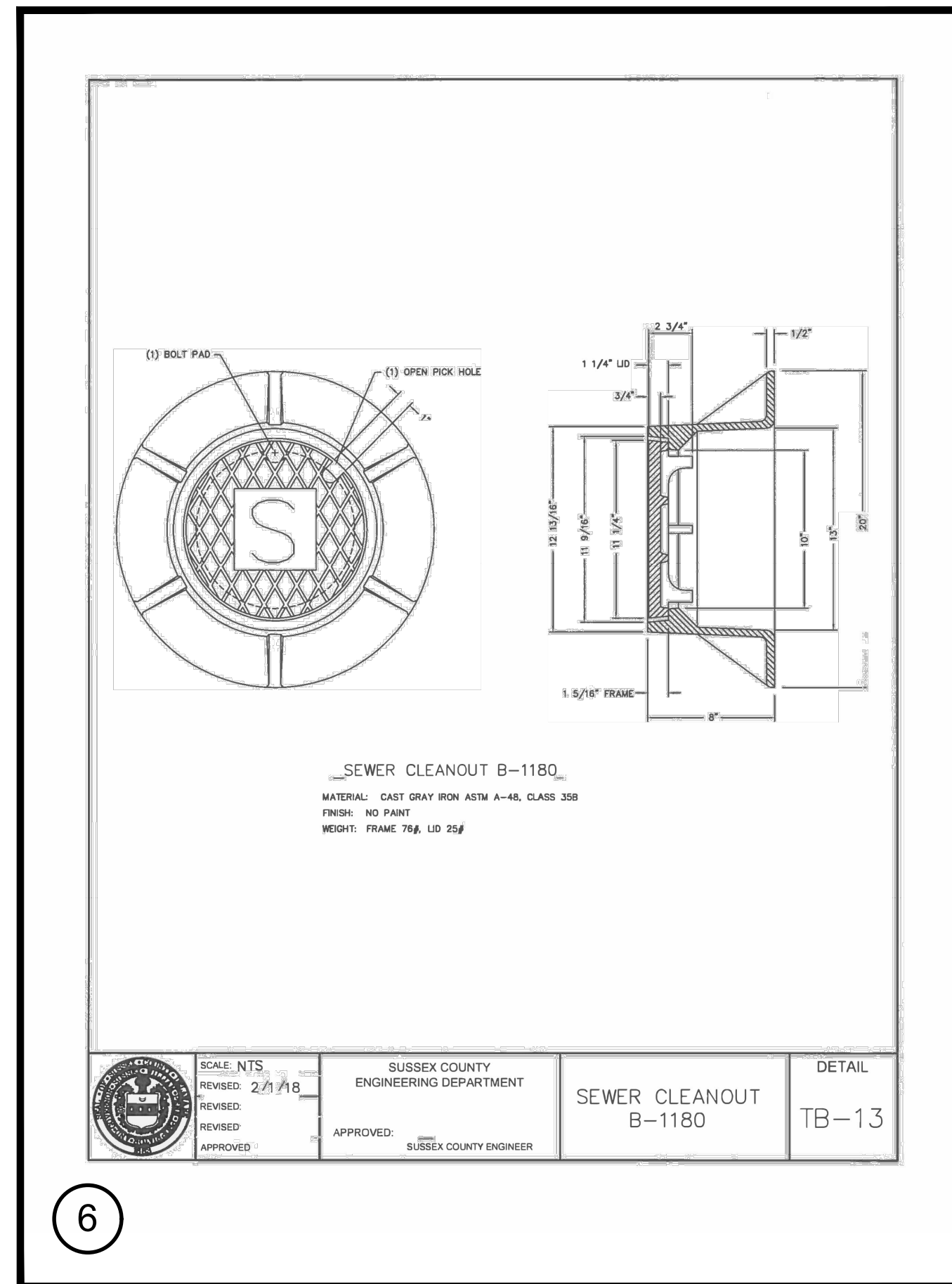
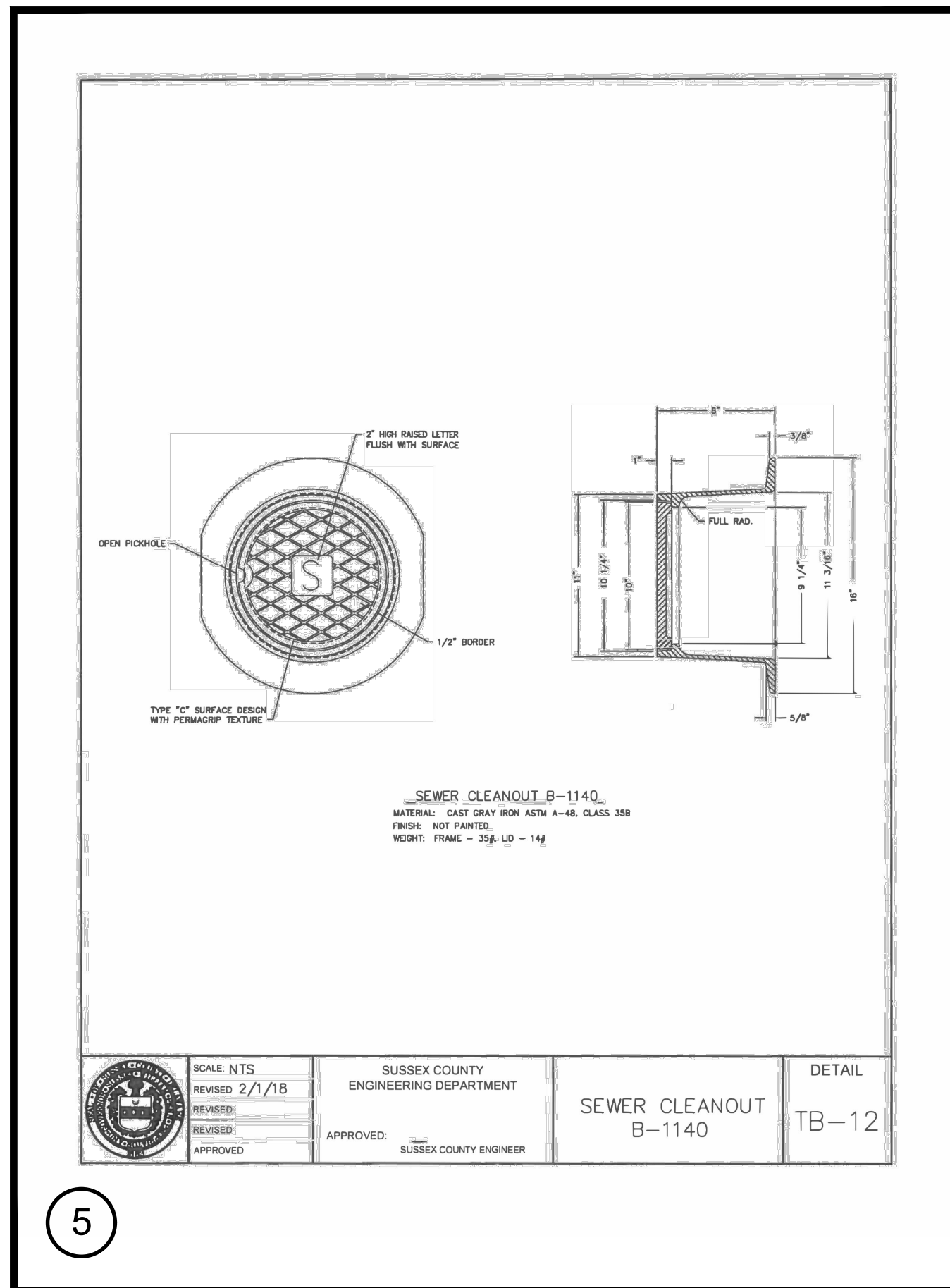
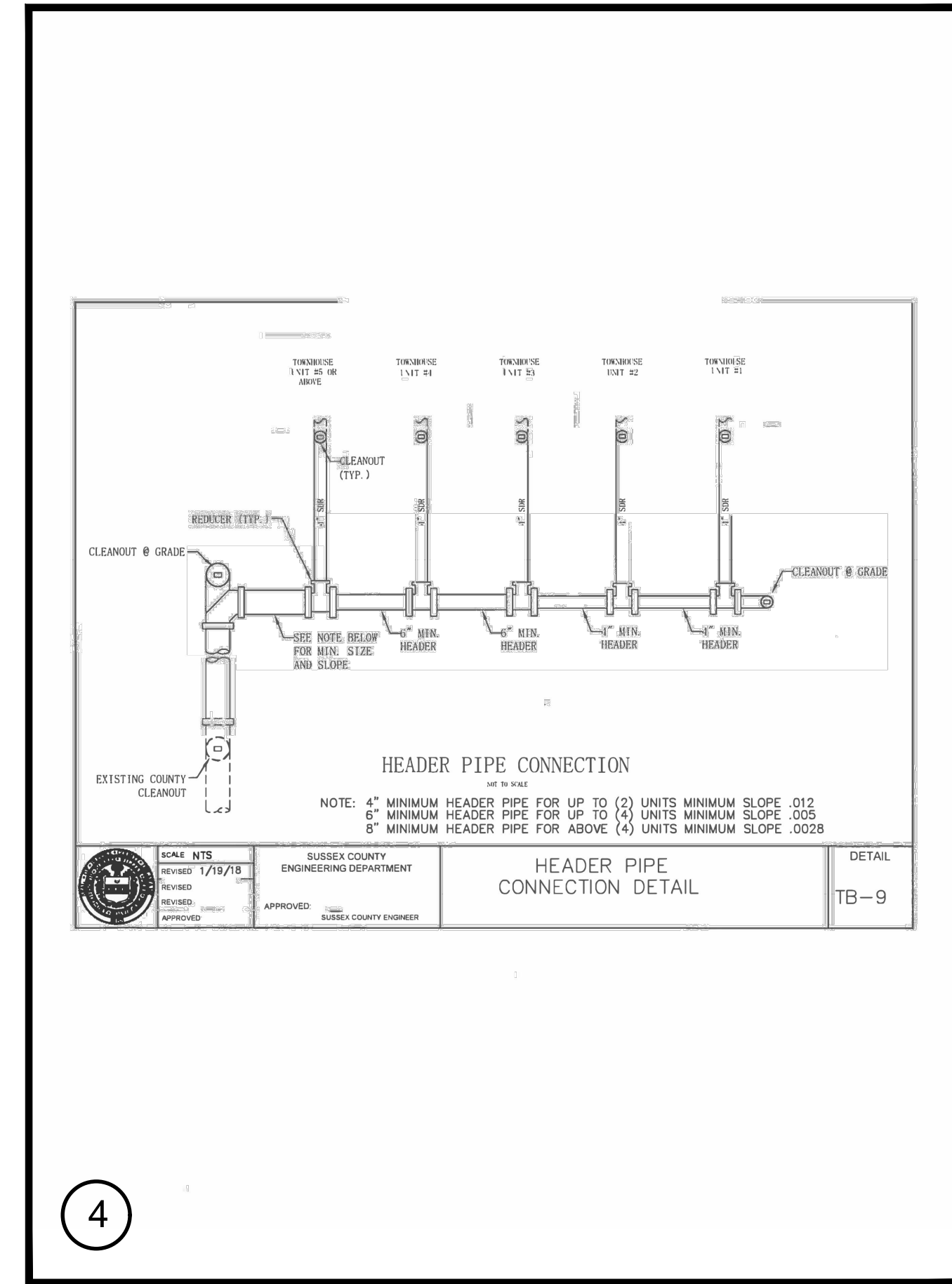
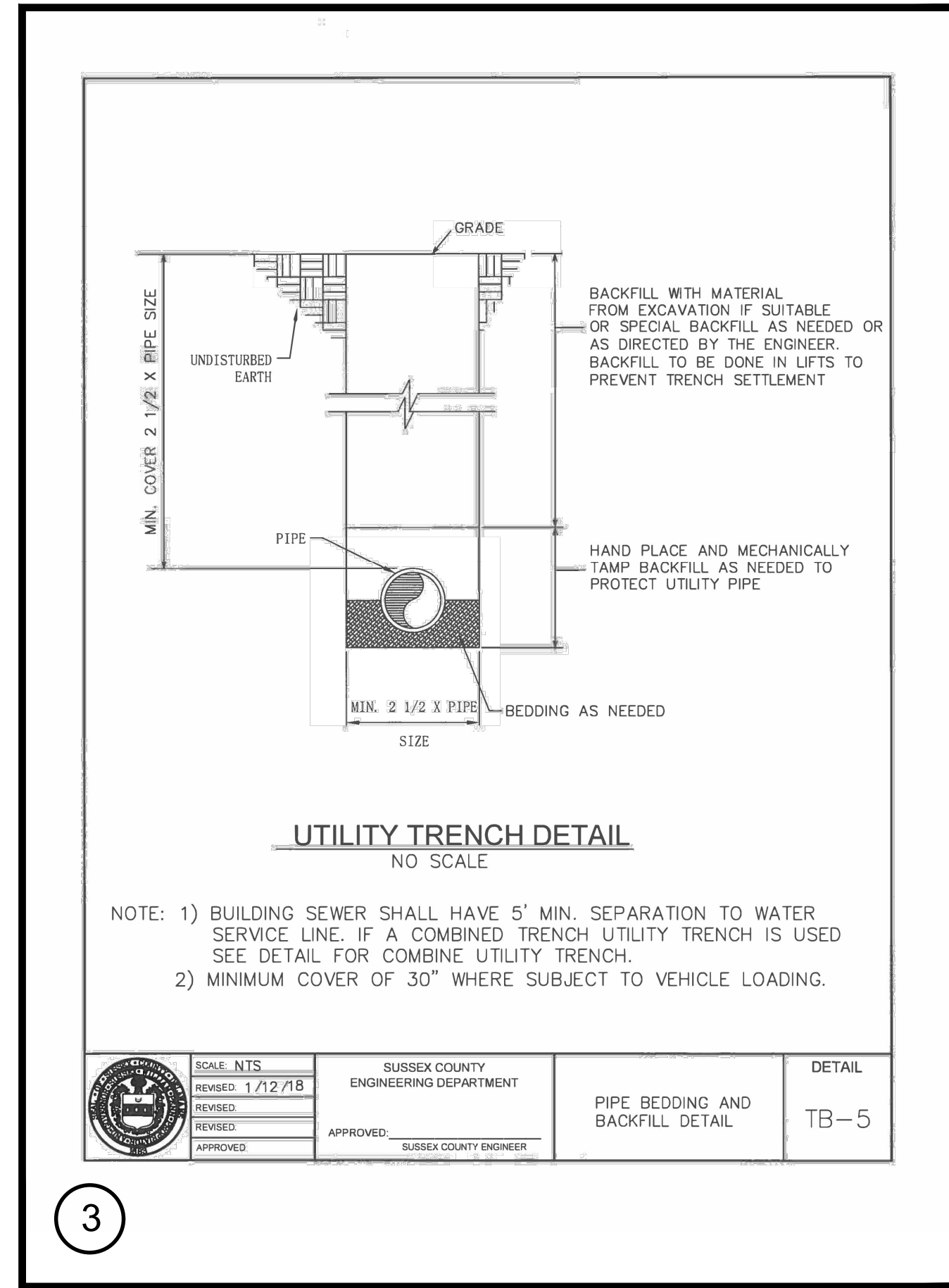
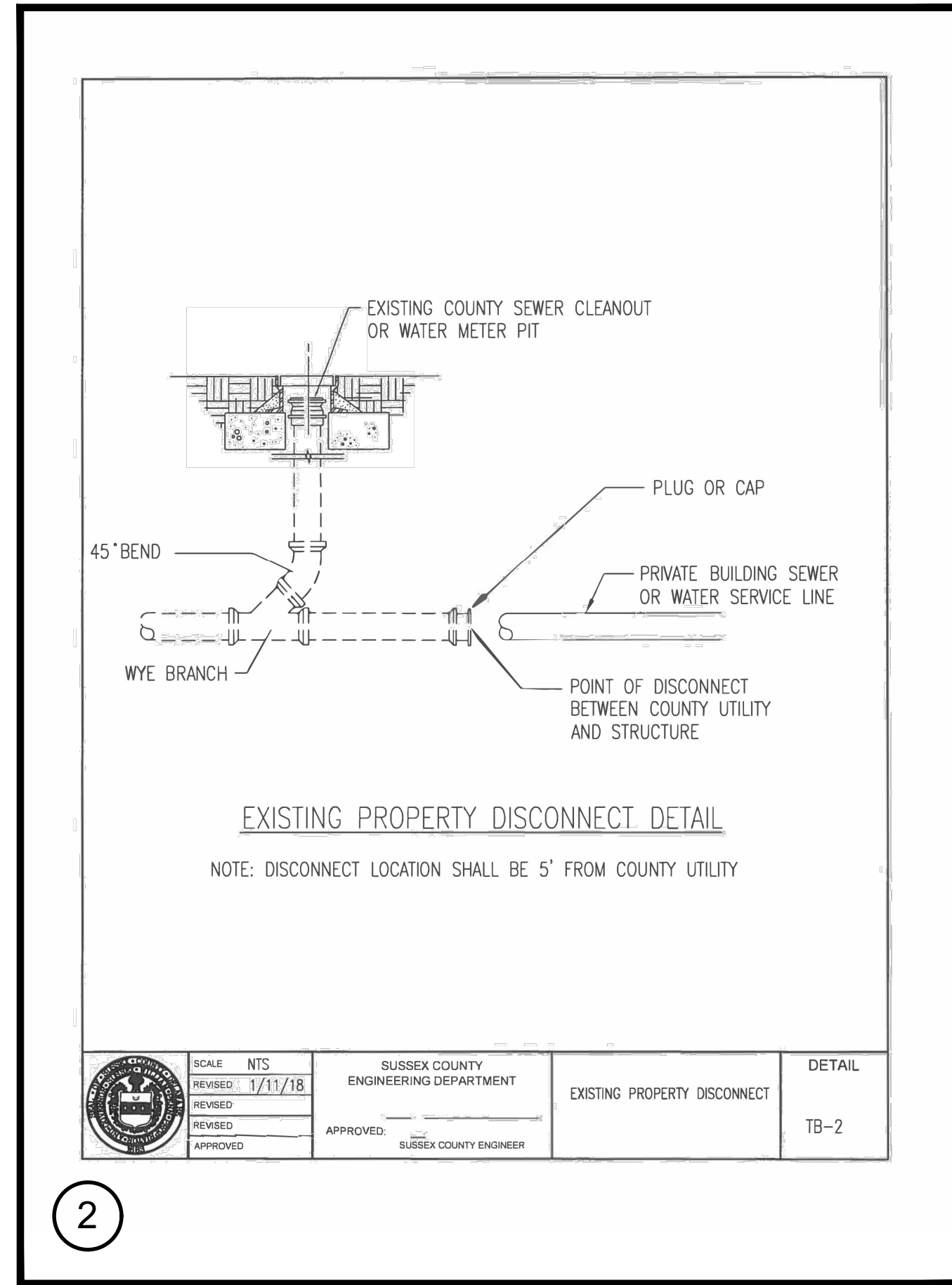
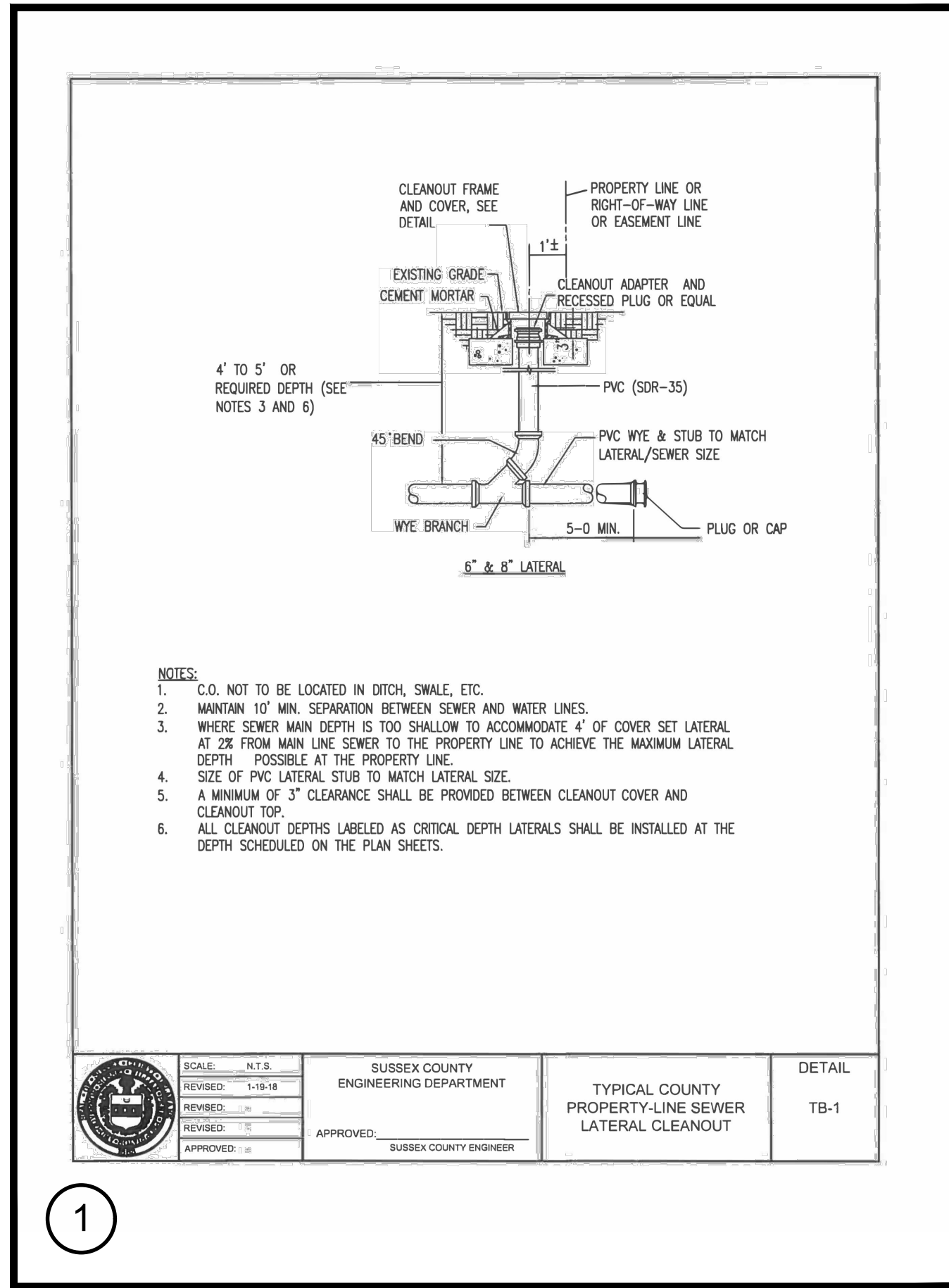
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SCALE:	1"=40'
DRAWN BY:	AB
DESIGNED BY:	RC
APPROVED BY:	RK
PHASE:	

SANITARY SEWER PLAN
FOR
PENINSULA 18TH ON THE BAY
REVISION
MILLSBORO, SUSSEX COUNTY, DELAWARE

Prepared For: LEMAR HOMES

SHEET NO.: **C23**



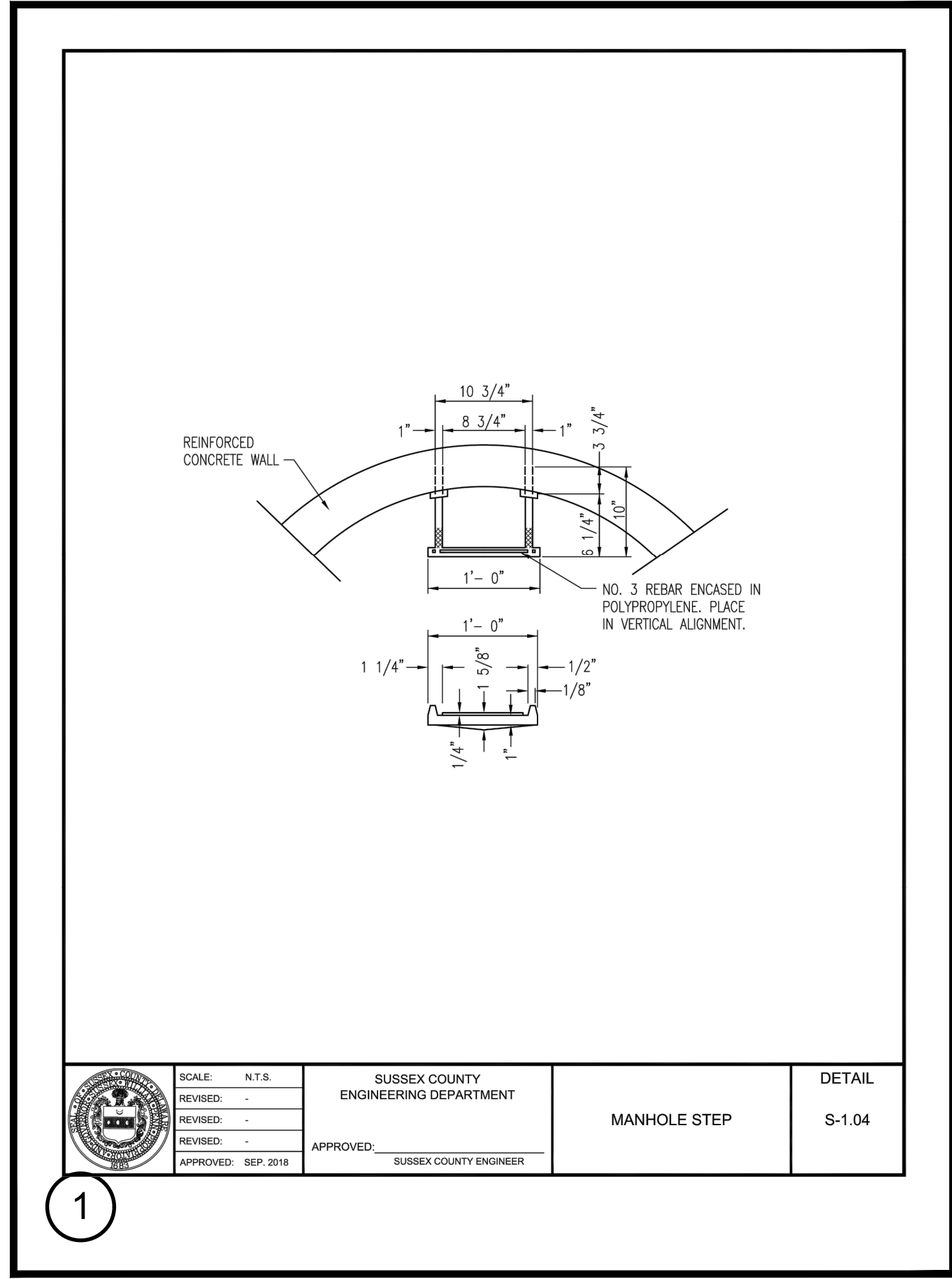
REV. #	DATE	DESCRIPTION

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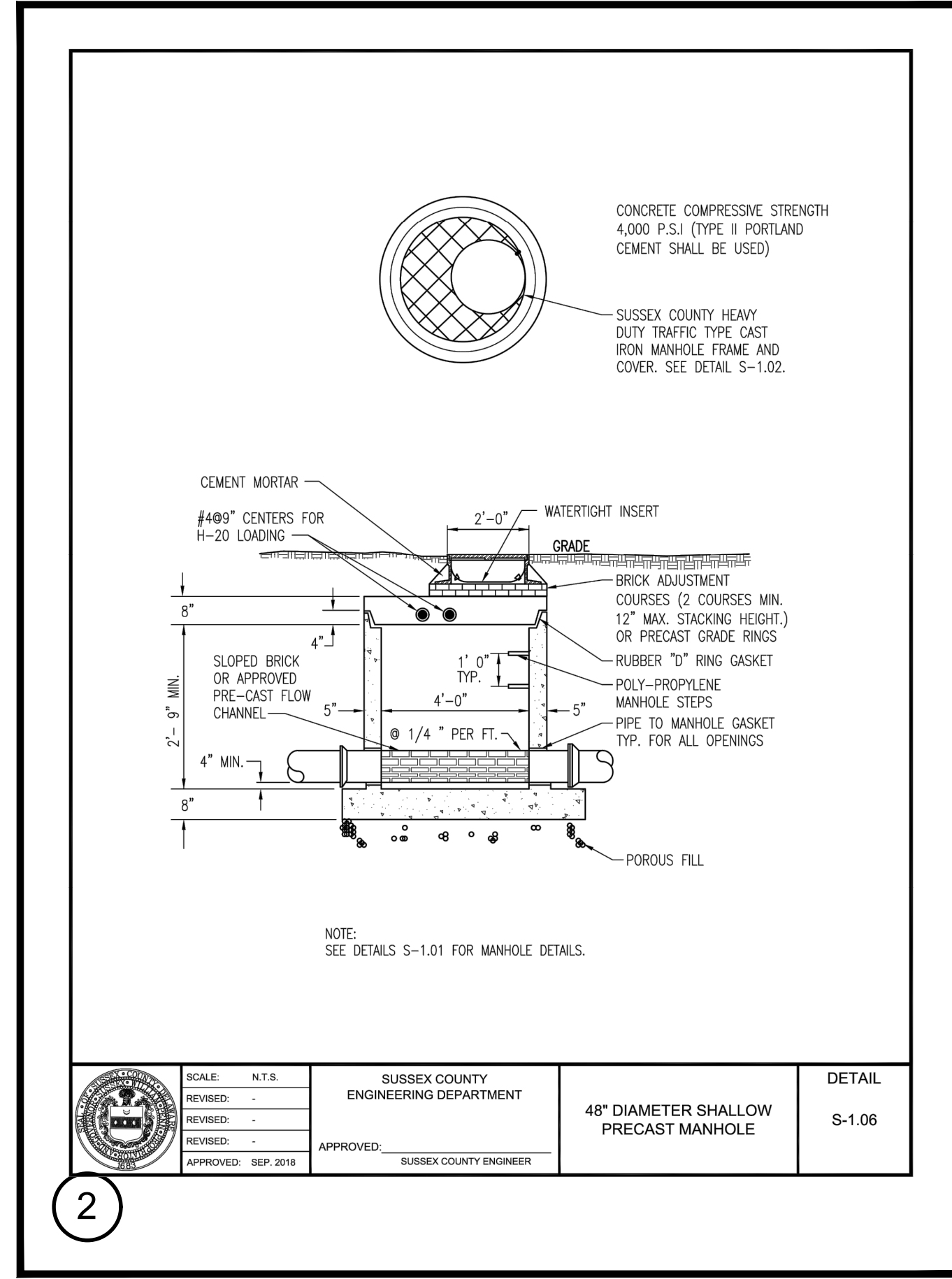
DATE:	04/05/2021
JOB NUMBER:	D2190100
SCALE:	N/A
DRAWN BY:	AB
DESIGNED BY:	RC
APPROVED BY:	RK
PHASE:	

SANITARY SEWER PLAN DETAILS
 FOR
PENINSULA 18TH ON THE BAY
 REVISION
 MILLSBORO, SUSSEX COUNTY, DELAWARE
 Prepared For: LEMAR HOMES

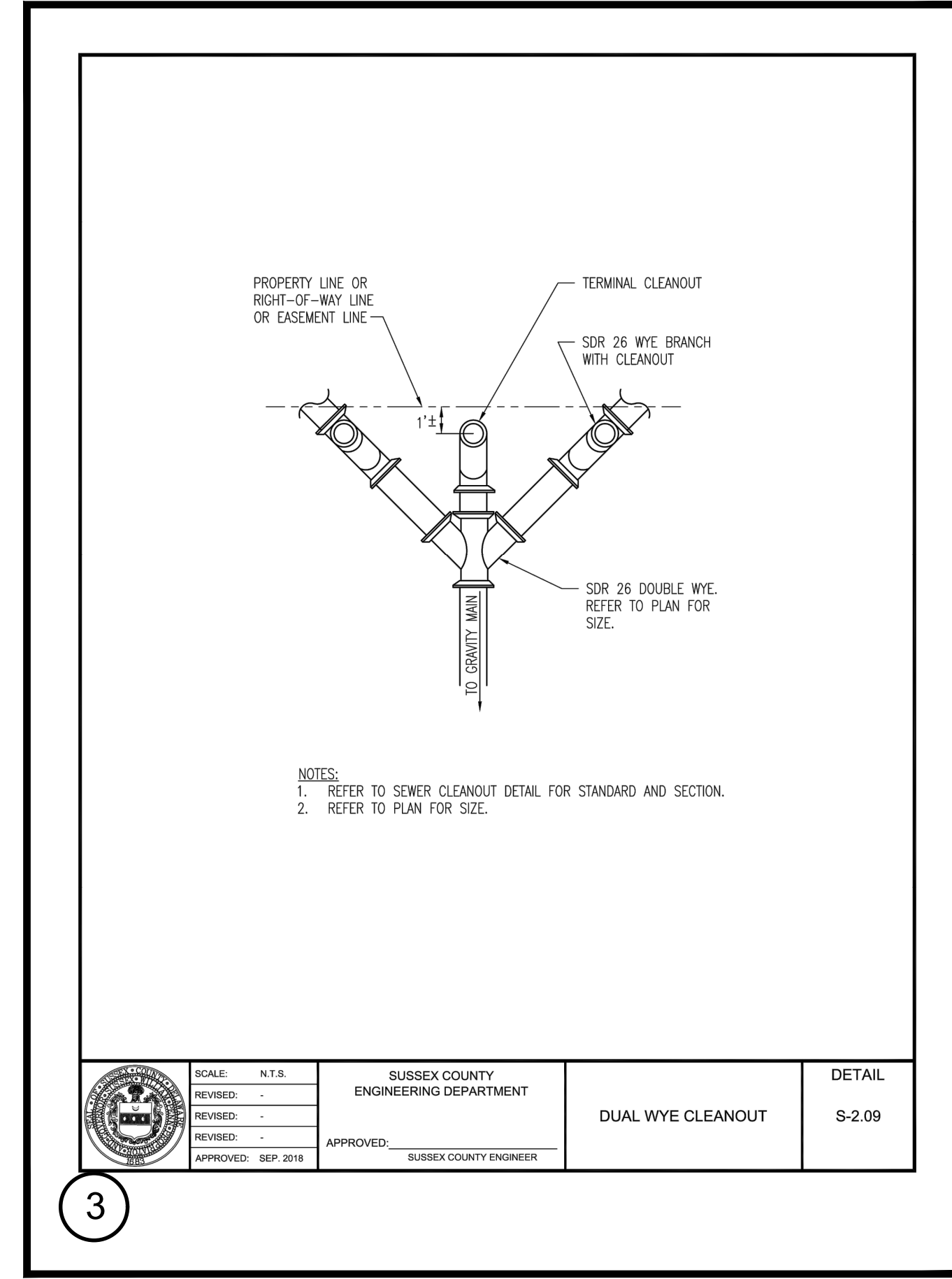
I, ROBERT S. KANE HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF DELAWARE, LICENSE NO. 13538, EXPIRATION DATE 06/30/2022



SCALE: N.T.S.	SUSSEX COUNTY ENGINEERING DEPARTMENT	DETAIL
REVISED: -		MANHOLE STEP
REVISED: -	APPROVED: SEP. 2018	S-1.04
REVISED: -	SUSSEX COUNTY ENGINEER	



SCALE: N.T.S.	SUSSEX COUNTY ENGINEERING DEPARTMENT	DETAIL
REVISED: -		48\"/>
REVISED: -	APPROVED: SEP. 2018	S-1.06
REVISED: -	SUSSEX COUNTY ENGINEER	



SCALE: N.T.S.	SUSSEX COUNTY ENGINEERING DEPARTMENT	DETAIL
REVISED: -		DUAL WYE CLEANOUT
REVISED: -	APPROVED: SEP. 2018	S-2.09
REVISED: -	SUSSEX COUNTY ENGINEER	

REV. #	DATE	DESCRIPTION

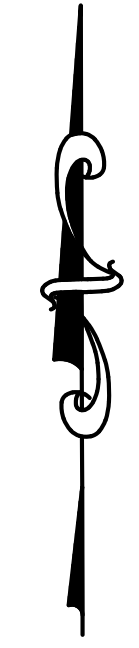
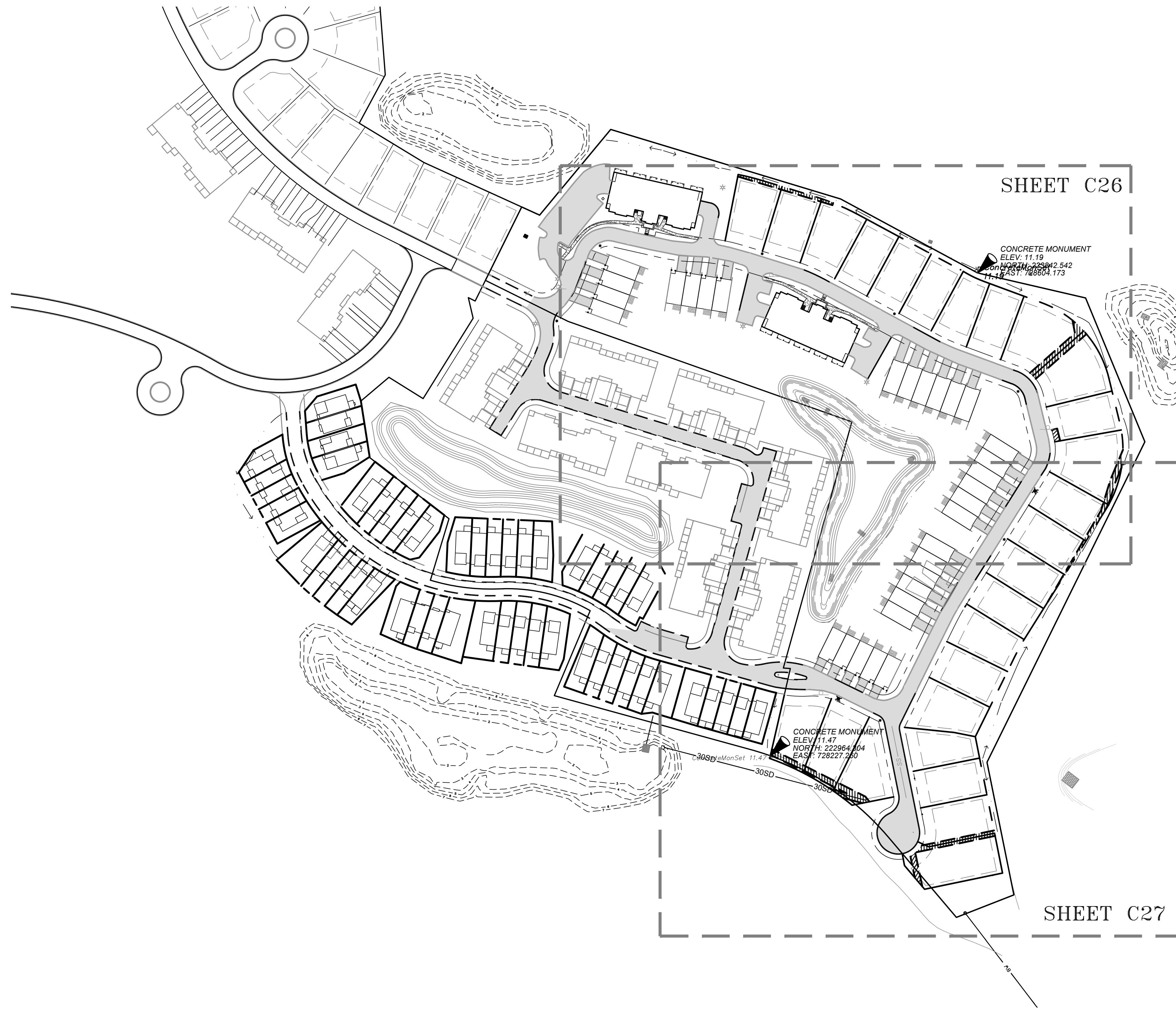
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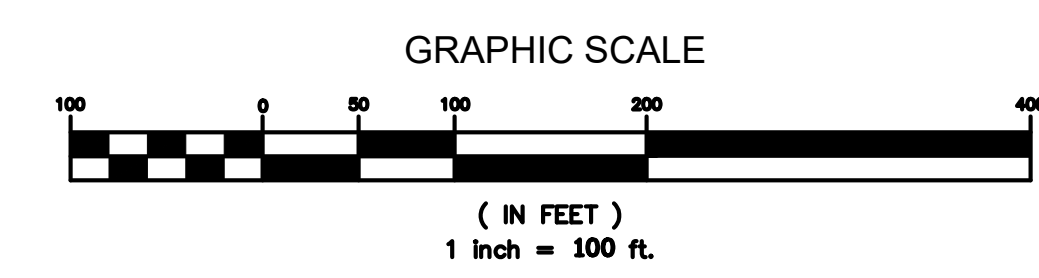
DATE: 04/05/2021	JOB NUMBER: DZ190100	SCALE: N/A	DRAWN BY: AB	DESIGNED BY: RC	APPROVED BY: RK	PHASE:
SANITARY SEWER PLAN DETAILS FOR PENINSULA 18TH ON THE BAY REVISION MILLSBORO, SUSSEX COUNTY, DELAWARE Prepared For: LENAR HOMES						

I, ROBERT S. KANE HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF DELAWARE, LICENSE NO. 13538, EXPIRATION DATE 06/30/2022



LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT LINE	---	---
EASEMENT HATCH		
SETBACK LINE	---	---
R.O.W. LINE	---	---
BENCH MARK		
HIGH POINT LABEL	x HP: 100.01	x HP: 100.01
LOW POINT LABEL	x LP: 100.01	x LP: 100.01
SPOT ELEV. LABEL	x 100.01	x 100.01
FLOW ARROW		
MAJOR CONTOUR	-25	25
MINOR CONTOUR	24	24
EDGE OF CONCRETE	---	---
EDGE OF PAVEMENT	---	---
CURB	---	---
PAVEMENT HATCH		
CONCRETE HATCH		
STORM MANHOLE		
CATCH BASIN		
CURB INLET		
YARD INLET		
STORM PIPE	SD	ST
SANITARY MANHOLE		
SANITARY CLEANOUT	CO	CO
SANITARY PIPE	SS	SS
WATER MANHOLE		
WATER VALVE		
WATER METER		
WATER PIPE	W	W
FIRE HYDRANT		
LIGHT POLE	*	*



REV. #	DATE	DESCRIPTION

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APPROVED BY:	RK
PHASE:	

WATER SERVICE KEY SHEET
FOR
PENINSULA 18TH ON THE BAY
REVISION
MILLSBORO, SUSSEX COUNTY, DELAWARE
Prepared For: LENAR HOMES

I, ROBERT S. KANE HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF DELAWARE, LICENSE NO. 13538, EXPIRATION DATE 06/30/2022

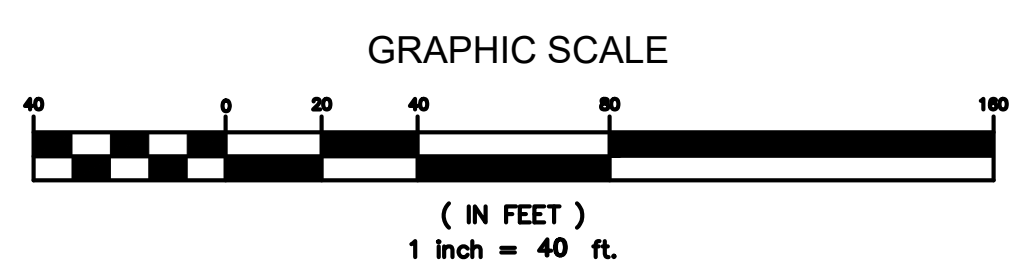


REV. #	DATE	DESCRIPTION

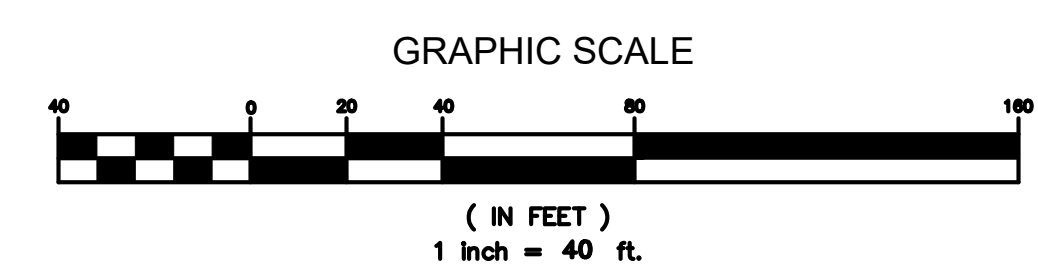
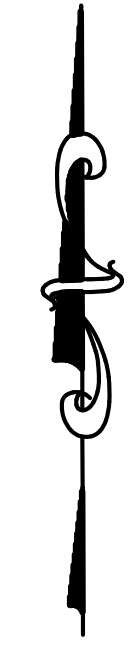
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JOB NUMBER:	D2190100
SCALE:	1"=40'
DRAWN BY:	AB
DESIGNED BY:	RC
APPROVED BY:	RK
PHASE:	

WATER SERVICE PLAN
 FOR
PENINSULA 18TH ON THE BAY
 REVISION
 MILLSBORO, SUSSEX COUNTY, DELAWARE
 Prepared For: LEMAR HOMES



I, ROBERT S. KANE HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF DELAWARE, LICENSE NO. 13538, EXPIRATION DATE 06/30/2022

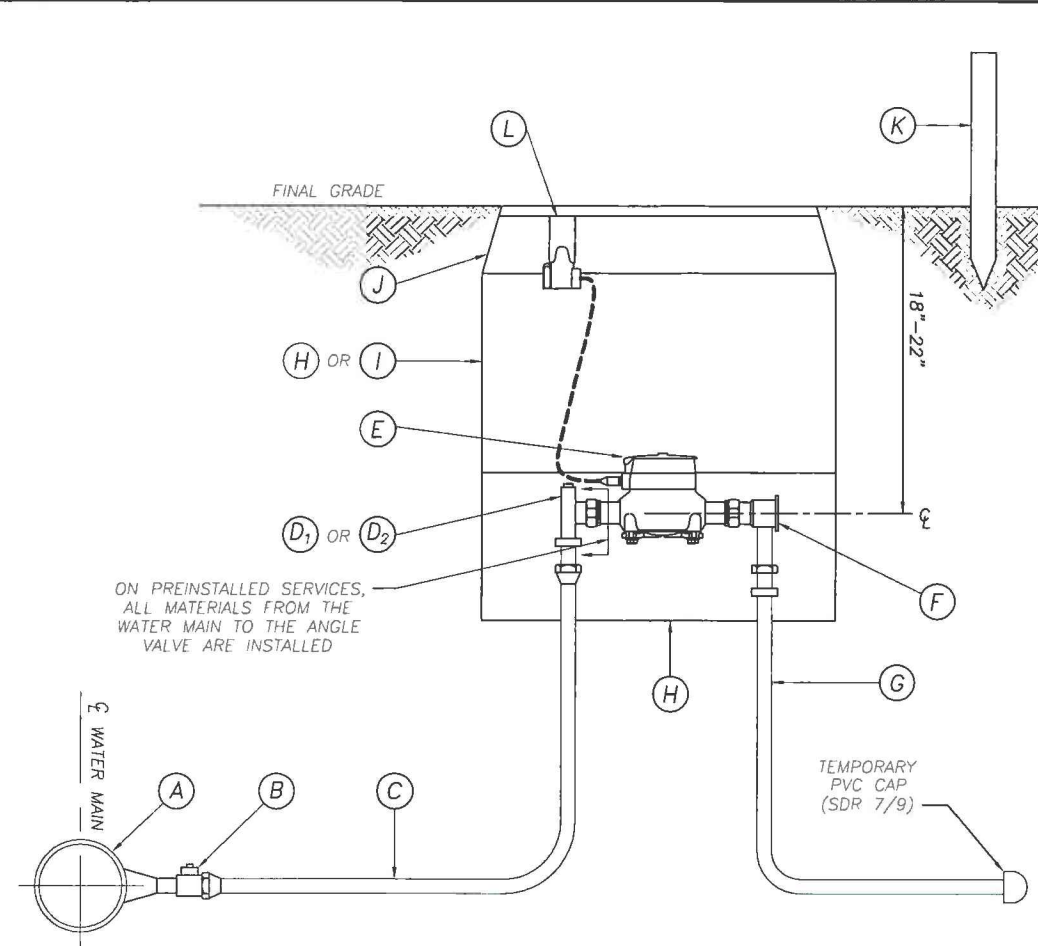


REV. #	DATE	DESCRIPTION

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DATE:	04/05/2021
JOB NUMBER:	D2190100
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APPROVED BY:	RK
PHASE:	

WATER SERVICE PLAN
 FOR
PENINSULA 18TH ON THE BAY
 REVISION
 MILLSBORO, SUSSEX COUNTY, DELAWARE
 Prepared For: LEMAR HOMES

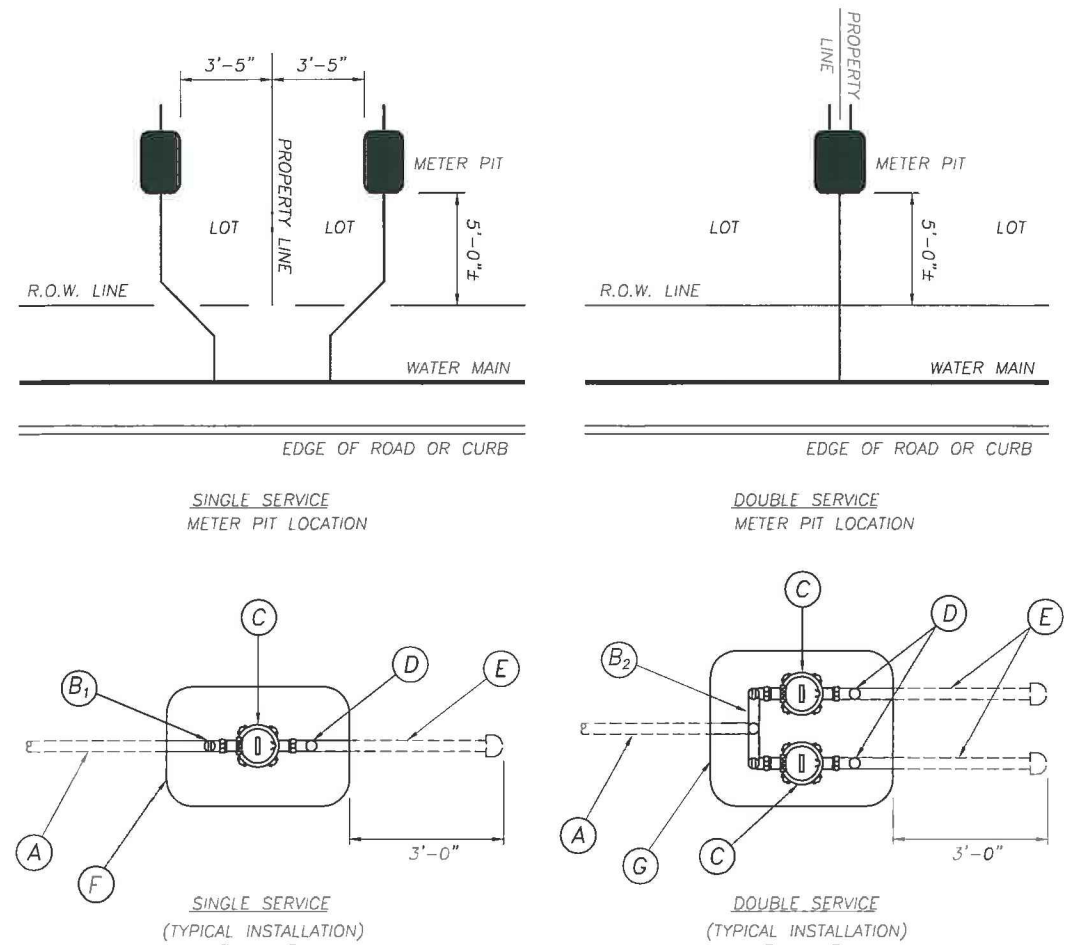


DESIGNATION	DESCRIPTION	MANUFACTURER	SERVICE TYPE	MODEL NUMBER	SIZE
A	SERVICE SADDLE	FORD	SINGLE/DOUBLE	FS202-558-CC4	4"
B	SERVICE SADDLE	FORD	SINGLE/DOUBLE	FS202-760-CC4	6"
C	COMP. STOP	FORD	SINGLE/DOUBLE	FS202-979-CC4	8"
D	TUBING	FORD	SINGLE/DOUBLE	F-1000-40	1" x 1/2"
E	ANGLE METER VALVE	FORD	SINGLE	KV43-341	1" COMP. x 5/8" THRD.
F	BRANCH VALVE ASSEMBLY	FORD	DOUBLE	UV43-41	1" COMP. x 5/8" THRD.
G	METER	SENSUS	SINGLE/DOUBLE	SRB	5/8"
H	METER	SENSUS	SINGLE/DOUBLE	SRB	3/4"
I	METER	SENSUS	SINGLE/DOUBLE	SRB	1"
J	ANGLE CHECK VALVE	FORD	SINGLE/DOUBLE	NA31-313	5/8" x 3/4" THRD.
K	STUB PIPING	AMETEX	SINGLE	PVC SCHED. 40	3/4" SOCKET WELD.
L	JUMBO METER BOX	AMETEX	DOUBLE		DOUBLE SERVICE
M	METER BOX EXTENSION	AMETEX	SINGLE/DOUBLE		SINGLE SERVICE
N	TRANSMITTER W/ BRACKET	TRON	SINGLE/DOUBLE	EDW	SINGLE SERVICE
O	GROUND MARKER				TO BE A WOOD OR STEEL STAKE/SPRUE PAINTED BLUE TO CLEARLY MARK THE LOCATION OF THE STUB.

TIDEWATER UTILITIES INC.
A Midstate Water Company Affiliate
1100 SOUTH LITTLE CHASE ROAD
DOWNS, DELAWARE 19922

TYPICAL DESIGN DETAILS
METER PIT DETAIL PROFILE
A-1

1 2.18.10 METER MAIN/MODEL # ADD TRANSMITTER SANI MAIN
1 1.16.08 CHANGED METER DEPTH TO 18"-22" CHN DSI
2 2.24.09 INITIAL RELEASE BY CHN
REV. DATE DESCRIPTION
DATE: 10.04.02 DRAWN BY: AC 1
SCALE: N.T.S. 17

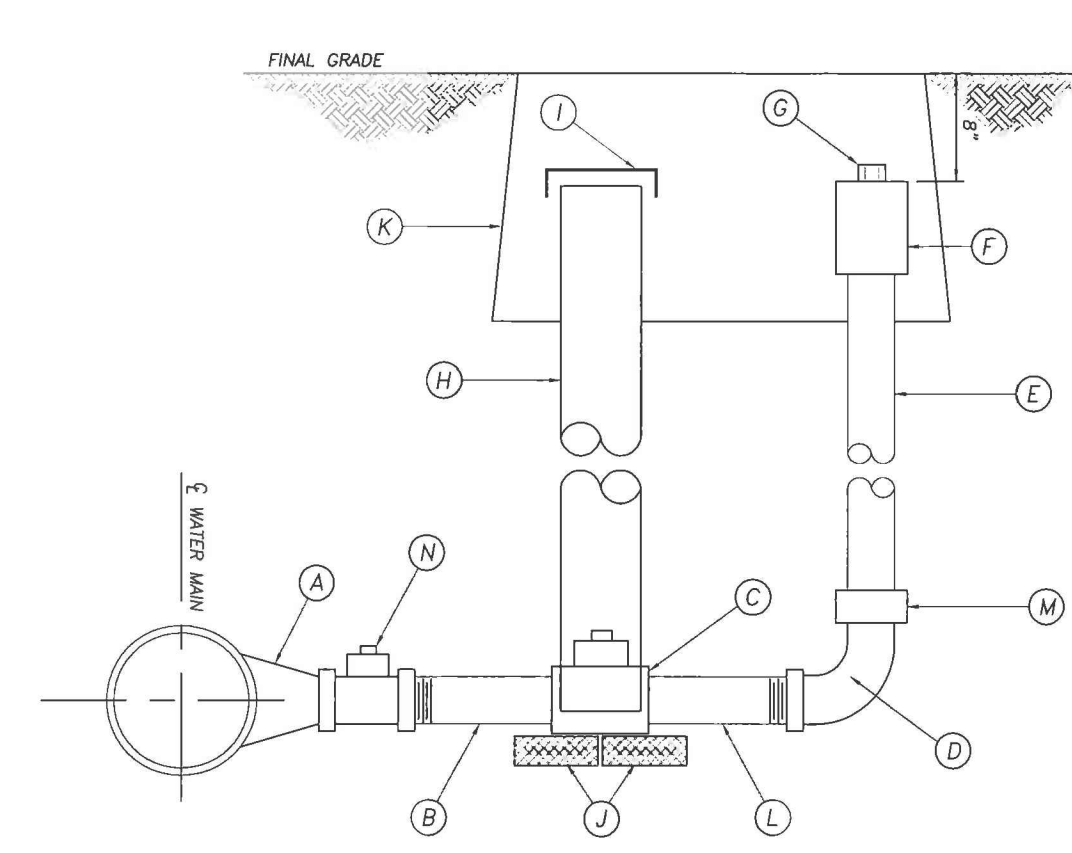


DESIGNATION	DESCRIPTION	MANUFACTURER	SERVICE TYPE	MODEL NUMBER	SIZE
A	TUBING		SINGLE/DOUBLE	POLYETHYLENE	1"
B1	ANGLE METER VALVE	FORD	SINGLE	KV43-341	1" COMP. x 5/8" THRD.
B2	BRANCH VALVE ASSEMBLY	FORD	DOUBLE	UV43-41	1" COMP. x 5/8" THRD.
C	METER	SENSUS	SINGLE/DOUBLE	SRB	5/8"
D	METER	SENSUS	SINGLE/DOUBLE	SRB	3/4"
E	METER	SENSUS	SINGLE/DOUBLE	SRB	1"
F	ANGLE CHECK VALVE	FORD	SINGLE/DOUBLE	NA31-313	5/8" x 3/4" THRD.
G	STUB PIPING	AMETEX	SINGLE/DOUBLE	PVC SCHED. 40	3/4" SOCKET WELD.
H	JUMBO METER BOX	AMETEX	SINGLE		SINGLE SERVICE
I	JUMBO METER BOX	AMETEX	DOUBLE		DOUBLE SERVICE

TIDEWATER UTILITIES INC.
A Midstate Water Company Affiliate
1100 SOUTH LITTLE CHASE ROAD
DOWNS, DELAWARE 19922

TYPICAL DESIGN DETAILS
METER PIT DETAIL PLAN AND LOCATION
A-3

1 2.18.10 CHANGED METER MAIN/MODEL # ADD TRANSMITTER SANI MAIN
2 2.24.09 INITIAL RELEASE BY CHN
REV. DATE DESCRIPTION
DATE: 10.04.02 DRAWN BY: AC 3
SCALE: N.T.S. 17

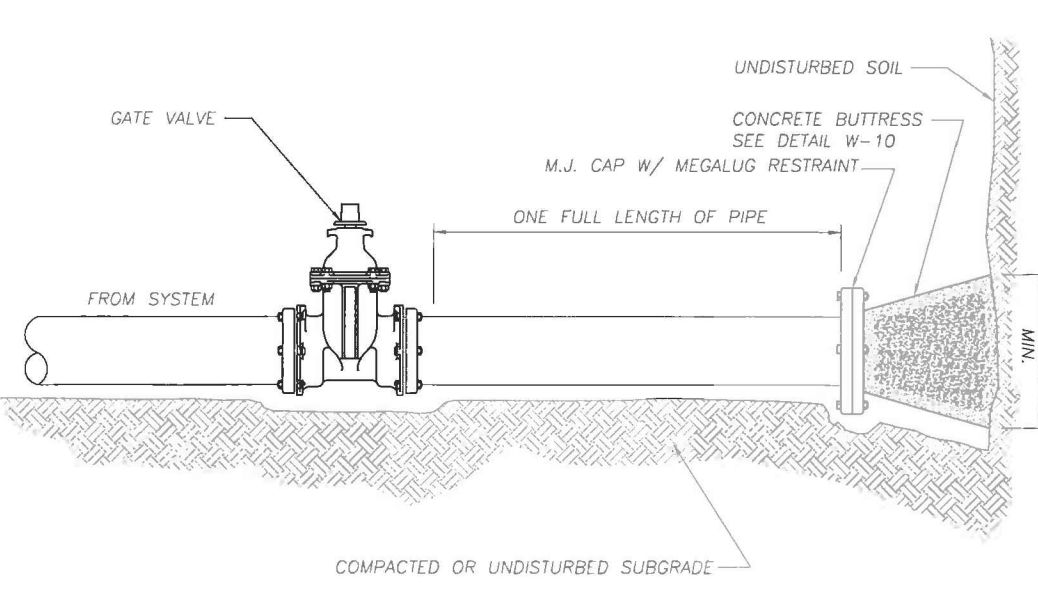


DESIGNATION	MAIN SIZE	DESCRIPTION	MANUFACTURER	MODEL NUMBER	SIZE
A	4"	SADDLE	FORD	FS202-526-IP7	2"
B	8"	SADDLE	FORD	FS202-760-IP7	2"
C	UP TO 8"	CURB STOP	FORD	B11-777	2"
D	90° ELBOW	BRASS			2"
E	PIPE	PVC SCHED. 80			2"
F	FEMALE ADAPTER	PVC SCHED. 80			2"
G	DWY PLUG	PVC SCHED. 80			2"
H	8"	PIPE			SDR-35
I	6"	CAP (SLIP)			SDR-35
J		CEMENT BRICK			
K		ENCLOSURE			2" x 6"
L		BRASS NIPPLE			2" x 6"
M		MALE ADAPTER			PVC SCHED. 80
N		COMP. STOP	FORD	FB700-7	2"

TIDEWATER UTILITIES INC.
A Midstate Water Company Affiliate
1100 SOUTH LITTLE CHASE ROAD
DOWNS, DELAWARE 19922

TYPICAL DESIGN DETAILS
4" - 8" BLOW OFF DETAIL
A-4

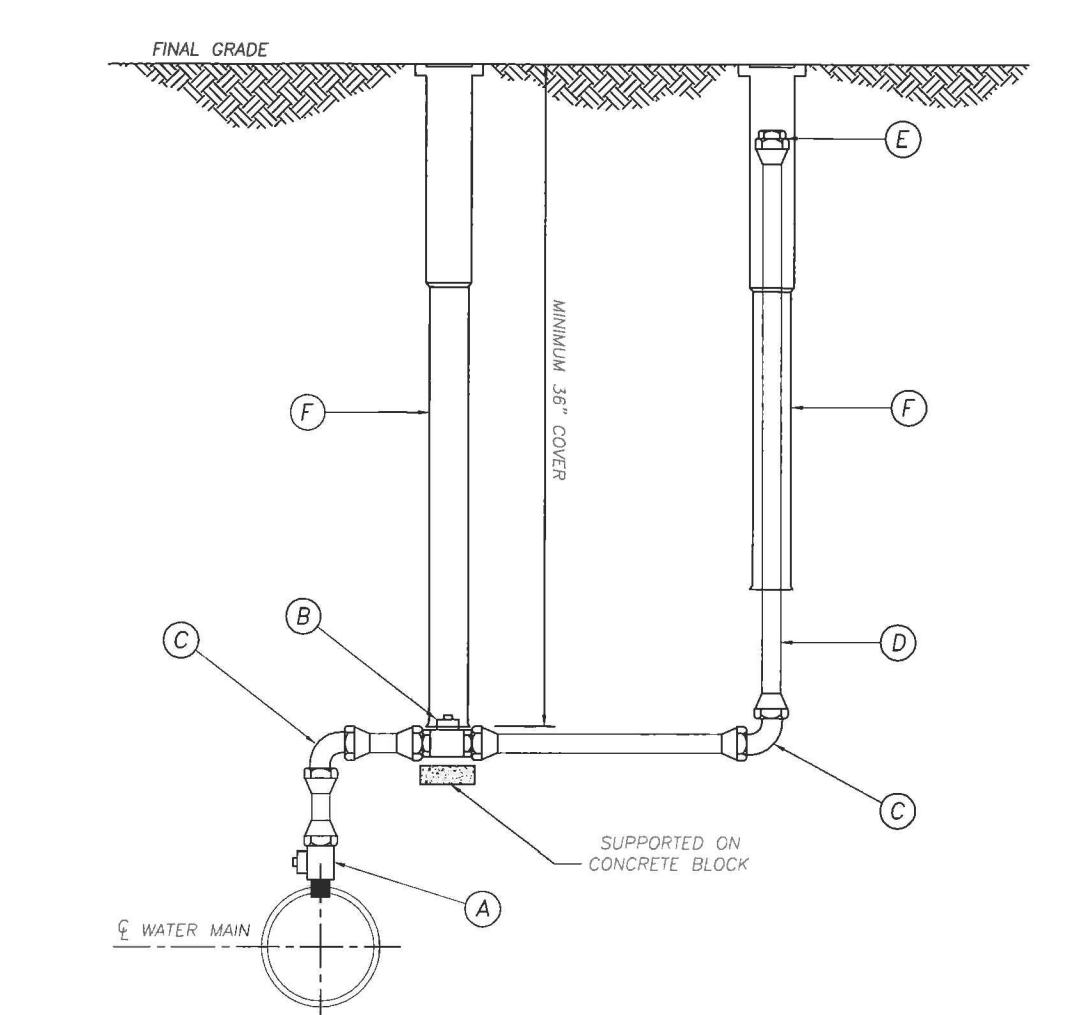
1 2.03.09 REV. MAT. # TO SHOW 8" NIPPLE SANI DSI
2 2.04.09 ADDED BY CHN DSI
1 1.08.08 ADDED L & M, MODIFIED D CHN DSI
2 2.24.09 INITIAL RELEASE BY CHN
REV. DATE DESCRIPTION
DATE: 10.04.02 DRAWN BY: AC 4
SCALE: N.T.S. 17



TIDEWATER UTILITIES INC.
A Midstate Water Company Affiliate
1100 SOUTH LITTLE CHASE ROAD
DOWNS, DELAWARE 19922

TYPICAL DESIGN DETAILS
END CAP/PLUG DETAIL
A-5

1 2.24.09 INITIAL RELEASE BY CHN
REV. DATE DESCRIPTION
DATE: 10.04.02 DRAWN BY: AC 5
SCALE: N.T.S. 17

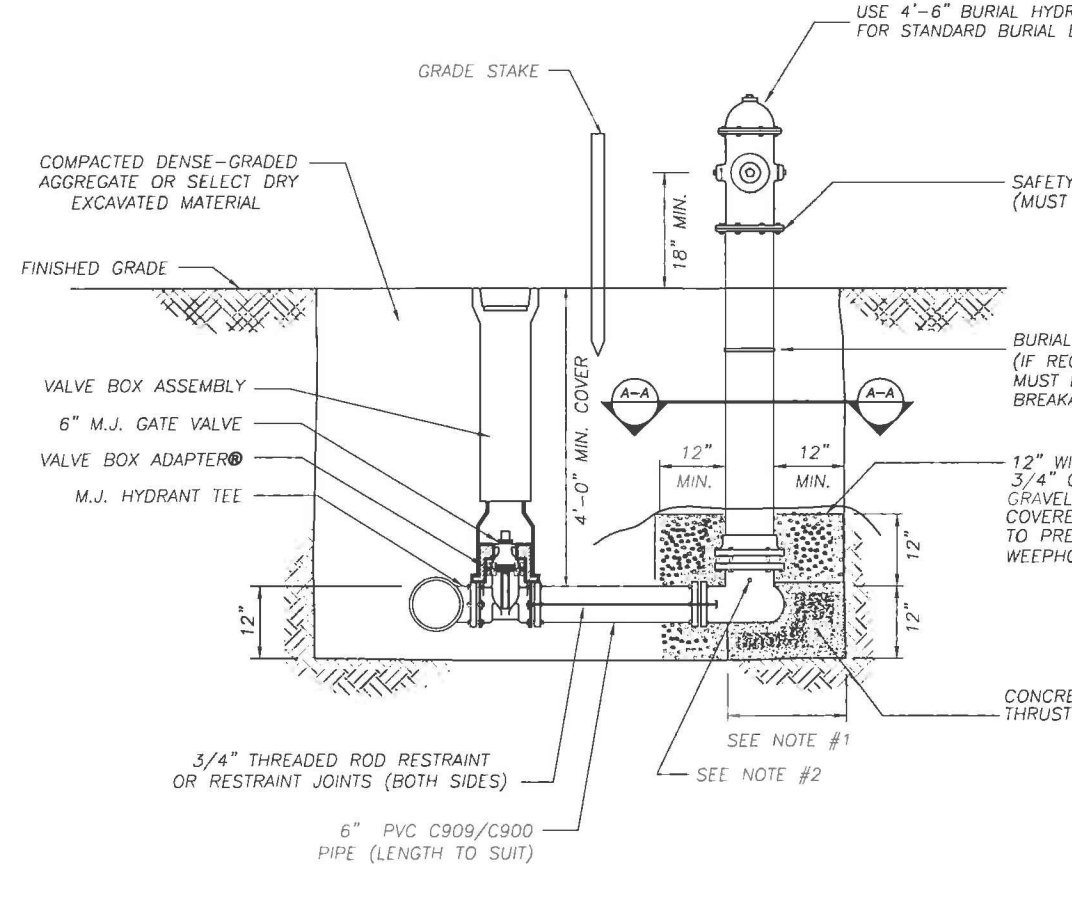


DESIGNATION	DESCRIPTION	MANUFACTURER	MODEL NUMBER	SIZE
A	1" CORPORATION STOP	FORD	F800	ANNA TAPER CC x FLARED COPPER
B	1" CURB STOP	FORD	B22-444	
C	FLARED COPPER 90° ELBOW	FORD		1" CTS x 1" CTS
D	COPPER TURNING			
E	CAP			FLARED COPPER x THREADED
F	CAST IRON VALVE BOX			

TIDEWATER UTILITIES INC.
A Midstate Water Company Affiliate
1100 SOUTH LITTLE CHASE ROAD
DOWNS, DELAWARE 19922

TYPICAL DESIGN DETAILS
MANUAL AIR RELIEF DETAIL
A-6

1 2.24.09 INITIAL RELEASE BY CHN
REV. DATE DESCRIPTION
DATE: 10.04.02 DRAWN BY: AC 6
SCALE: N.T.S. 17



- NOTES**
- THE CONCRETE THRUST BLOCK IS TO BE EXTENDED HORIZONTALLY UNTIL IT COMES IN CONTACT WITH THE UNDISTURBED SIDES OF THE TRENCH.
 - ALL WEEP/DRAIN HOLES ON THE FIRE HYDRANT MUST BE LOCATED AT LEAST 3" FROM THE TOP OF THE CONCRETE THRUST BLOCK TO MAINTAIN FREE DRAINAGE.
 - ALL FIRE HYDRANTS TO BE AMERICAN DARLING MODEL 81-82-8. SEE PLAN NOTES FOR HOZZLE AND OPENING INFORMATION.

TIDEWATER UTILITIES INC.
A Midstate Water Company Affiliate
1100 SOUTH LITTLE CHASE ROAD
DOWNS, DELAWARE 19922

TYPICAL DESIGN DETAILS
FIRE HYDRANT ASSEMBLY DETAIL
A-7

1 2.24.09 ADDED VALVE BOX ADAPTER SANI DSI
2 2.24.09 INITIAL RELEASE BY CHN
REV. DATE DESCRIPTION
DATE: 10.04.02 DRAWN BY: AC 7
SCALE: N.T.S. 17

I ROBERT S. KANE HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF DELAWARE, LICENSE NO. 13538, EXPIRATION DATE 06/30/2022

REVISIONS

REV. #	DATE	DESCRIPTION

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(410) 546-1922
www.mccormone-engineering.com

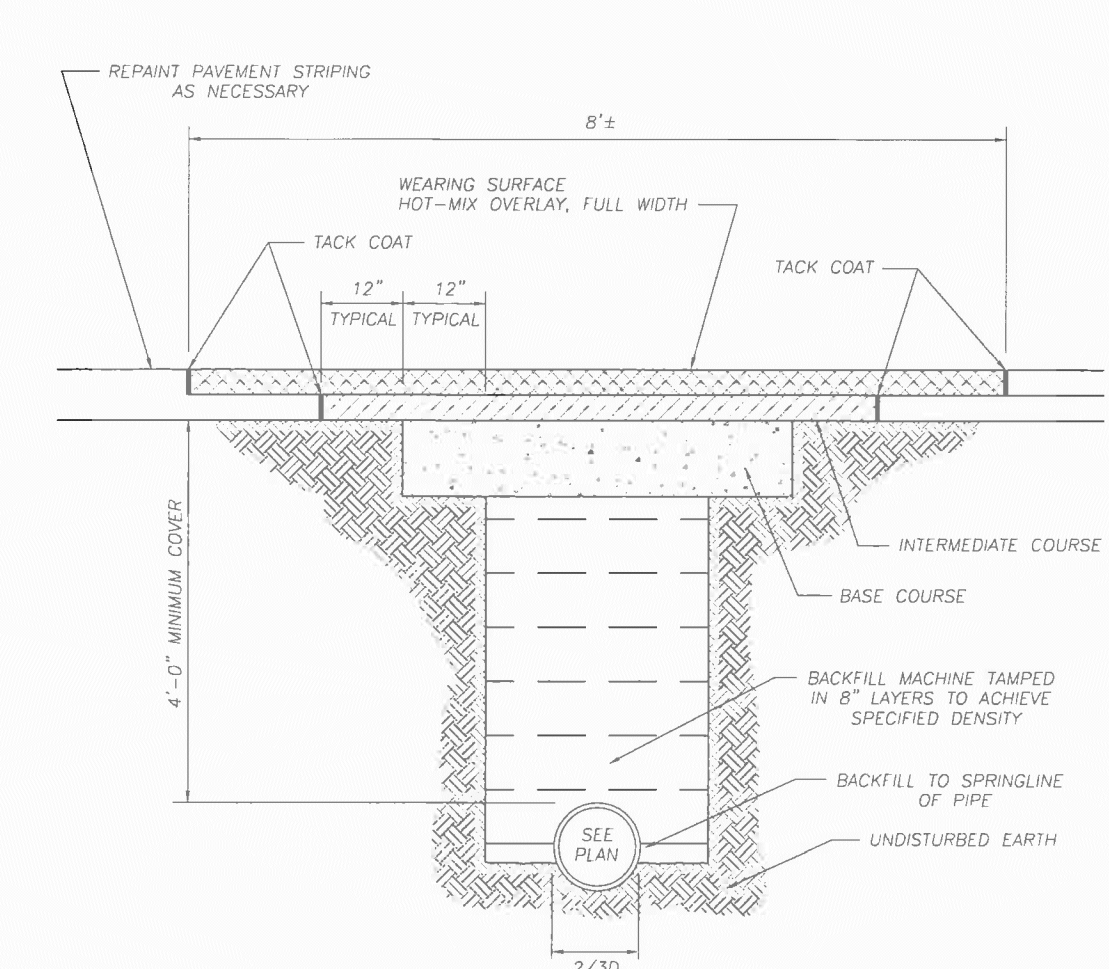
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04/05/2021	D2190100	N/A	AB	RC	RK	

WATER SERVICE PLAN DETAILS
FOR
PENINSULA 18TH ON THE BAY
REVISION
MILLSBORO, SUSSEX COUNTY, DELAWARE

Prepared For: LEMAR HOMES

I, ROBERT S. KANE HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF DELAWARE, LICENSE NO. 13538, EXPIRATION DATE 06/30/2022



NOTE:
IN UNPAVED AREAS PROVIDE 4" OF TOPSOIL AND MULCH

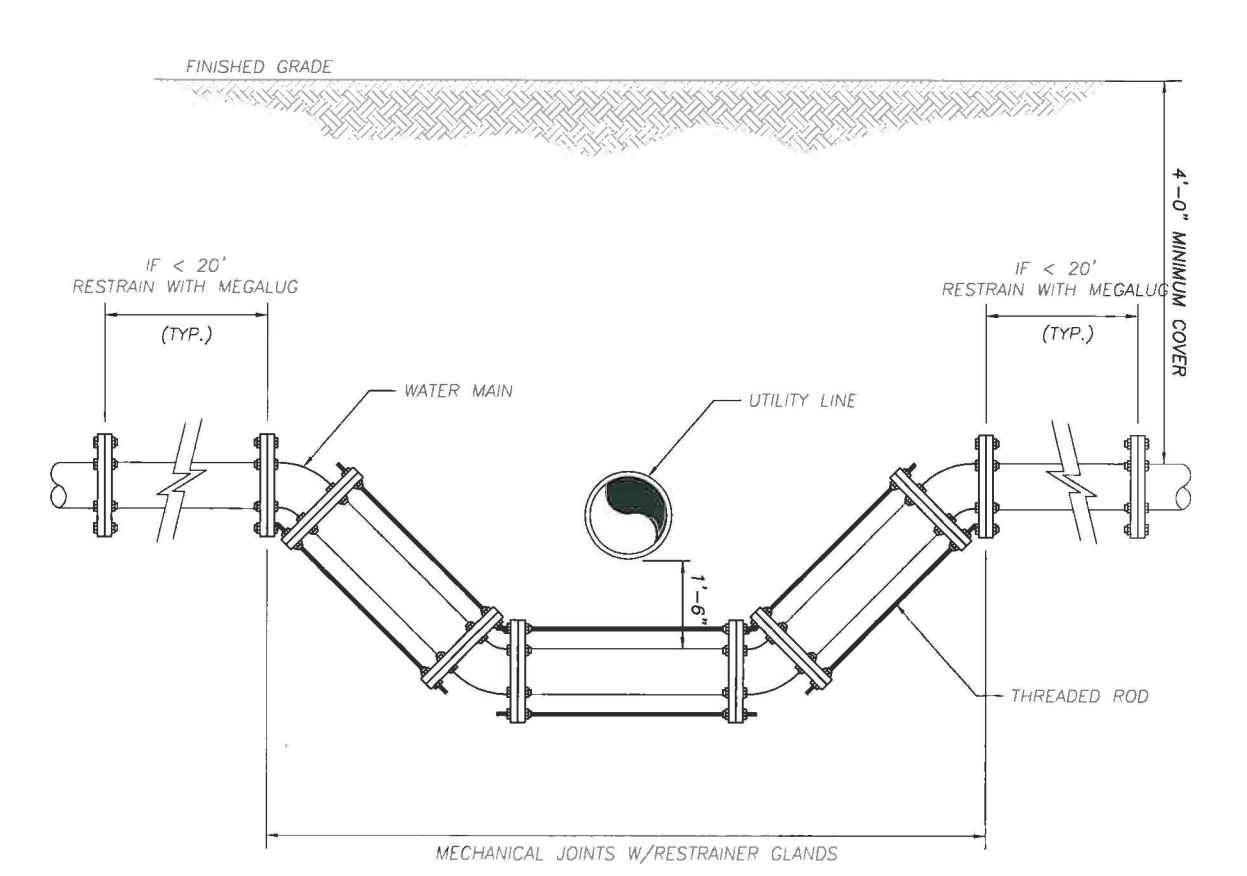
RESTORATION	BASE COURSE	INTERMEDIATE COURSE	WEARING SURFACE/OVERLAY
CONCRETE PATCH REPAIRING	8" INCHES HIGH EARLY STRENGTH PORTLAND CEMENT CONCRETE		2" INCHES HOT-MIX, HOT-LEAD BITUMINOUS CONCRETE, TYPE C
HOT-MIX TRENCH REPAIRING	8" INCHES GRADED AGGREGATE TYPE B	2" INCHES HOT-MIX, HOT-LEAD BITUMINOUS CONCRETE, TYPE B OR C	2" INCHES HOT-MIX, HOT-LEAD BITUMINOUS CONCRETE, TYPE C
TEMPORARY REPAIRING	8" INCHES GRADED AGGREGATE TYPE B	2" INCHES HOT-MIX, HOT-LEAD BITUMINOUS CONCRETE, TYPE B OR C OR 2" COLE LAB. BITUMINOUS CONCRETE	
LANDSCAPED/UNPAVED AREAS	COMPACTED SUBGRADE	4" GRADED TOPSOIL	SEEDING AND MULCHING OR STRAW AS REQUIRED

TIDEWATER UTILITIES INC.
A Midstate Water Company Affiliate
1100 SOUTH LITTLE CHERRY ROAD
DUNN, DELAWARE 19831

TYPICAL DESIGN DETAILS
REPAVING AND TRENCH DETAIL
A-8

REV. DATE DESCRIPTION	BY	CHK
0 2.04.05 INITIAL RELEASE		
DATE: 10.04.02 DRAWN BY: AC		8
SCALE: N.T.S.		17

7

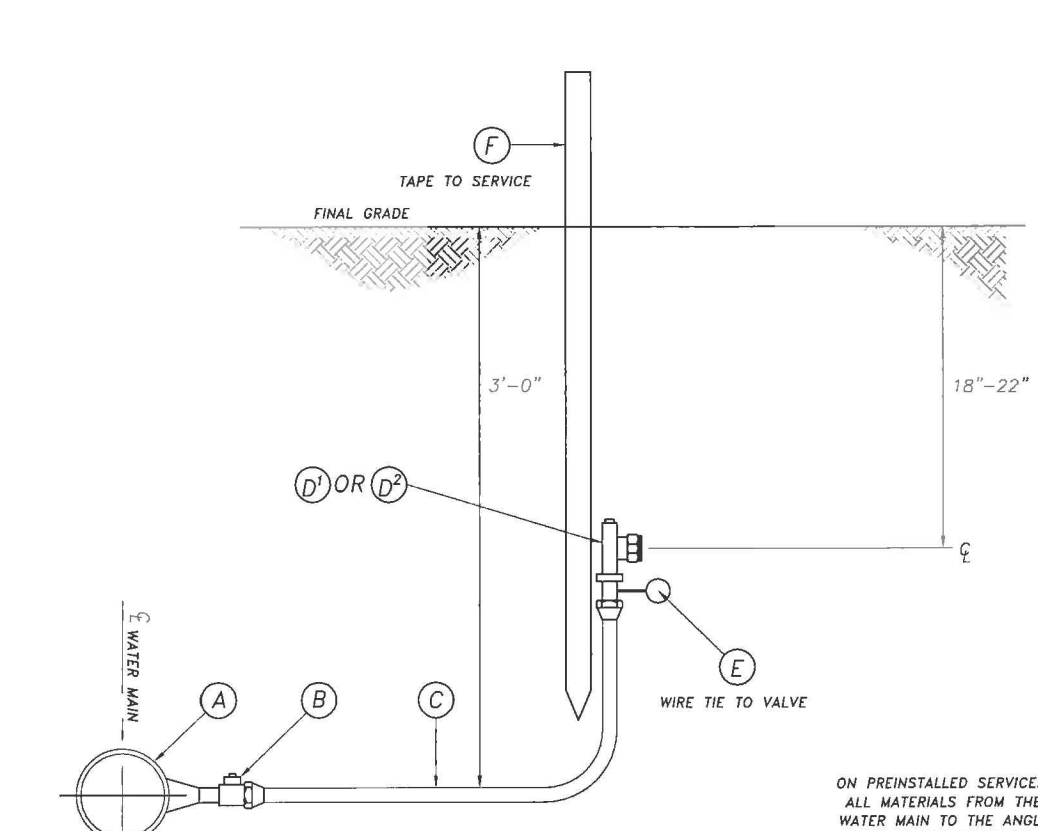


TIDEWATER UTILITIES INC.
A Midstate Water Company Affiliate
1100 SOUTH LITTLE CHERRY ROAD
DUNN, DELAWARE 19831

TYPICAL DESIGN DETAILS
WATER MAIN CROSSING UTILITY DETAIL
A-9

REV. DATE DESCRIPTION	BY	CHK
2 2.05.06 ADDED 20" MIN. FOR MEGALUG		
1 1.05.06 ADDED THREADED RODS		
0 2.04.05 INITIAL RELEASE		
DATE: 10.04.02 DRAWN BY: AC		9
SCALE: N.T.S.		17

8



DESIGNATION	DESCRIPTION	MANUFACTURER	SERVICE TYPE	MODEL NUMBER	SIZE
A	SERVICE SADDLE	FORD	SINGLE/DOUBLE	FS202-525-CC4	4"
	SERVICE SADDLE	FORD	SINGLE/DOUBLE	FS202-785-CC4	6"
B	SERVICE SADDLE	FORD	SINGLE/DOUBLE	FS202-979-CC4	8"
C	CORP. STOP	FORD	SINGLE/DOUBLE	F-1005-4G	1"x1g
D1	ANGLE METER VALVE	FORD	SINGLE	KM43-341	1" COMP. x 5/8" THRD.
D2	BRANCH VALVE ASSEMBLY	FORD	DOUBLE	VM43-41	1" COMP. x 5/8" THRD.
E	LOCATOR BALL				
F	GROUND MARKER INDICATING THE LOCATION OF THE END OF EACH STUB. THE GROUND MARKER TO BE A 1/2" x 1/2" x 1/2" WOOD OR STEEL STAKE/SPIKE PAINTED BLUE TO CLEARLY MARK THE LOCATION OF THE STUB.				

TIDEWATER UTILITIES INC.
A Midstate Water Company Affiliate
1100 SOUTH LITTLE CHERRY ROAD
DUNN, DELAWARE 19831

TYPICAL DESIGN DETAILS
PRE-INSTALL SERVICE DETAIL PROFILE
A-15

REV. DATE DESCRIPTION	BY	CHK
0 2.04.05 INITIAL RELEASE		
DATE: 10.04.02 DRAWN BY: AC		16
SCALE: N.T.S.		17

9

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REV. #	DATE	DESCRIPTION

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DATE:	04/05/2021
JOB NUMBER:	D2190100
SCALE:	N/A
DRAWN BY:	AB
DESIGNED BY:	RC
APPROVED BY:	RK
PHASE:	

WATER SERVICE PLAN DETAILS
FOR
PENINSULA 18TH ON THE BAY
REVISION
MILLSBORO, SUSSEX COUNTY, DELAWARE

Prepared For: LENAR HOMES

ENGINEERING DEPARTMENT

JOHN J. ASHMAN
SR. MANAGER OF UTILITY PLANNING
& DESIGN REVIEW

(302) 855-7370 T
(302) 854-5391 F
jashman@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

June 23, 2021

McCrone
119 W. Naylor Mill Road, Suite 6
Salisbury, MD 21801
Attn: Robert S. Kane, P.E.

**RE: PENINSULA – 18th ON THE BAY - AREA 2
LONG NECK SANITARY SEWER DISTRICT
SUSSEX COUNTY TAX MAP NUMBERS 2-34-30.00-315.00 – CLASS-1
AGREEMENT NO. 615-5 – REVISION 5 – ADJUSTED LOTS AND
SANITARY SEWER**

Dear Mr. Kane,

A review of the above referenced plans has been completed by the Sussex County Engineering Department. Provide five (5) sets of plans in a size of 24" x 36", and one (1) CD or file transfer of PDFs for each sheet. One set of plans will be returned to the Engineer/Consultant for their record.

Each sheet must be signed and sealed by the Engineer and the cover sheet of the plan shall have the owner/developer's and wetland consultant signature, this includes PDFs being submitted prior to Sussex County Engineering Department approval.

Should you have any questions, please do not hesitate to contact me.

Sincerely,

SUSSEX COUNTY ENGINEERING DEPARTMENT

Scott A. Thornton
Engineering Technician IV





January 21, 2021

REVISED APPROVAL

Mr. Ryan Conway
McCrone
119 Naylor Mill Road
Building 1, Suite 6
Salisbury, MD 21801

TIDEWATER UTILITIES, INC
Meadows District
PWS #DE0000271
Approval #05W265 REV 1

Re: Peninsula 18th on the Bay

Dear Mr. Conway:

The Division of Public Health Office of Engineering has reviewed the revised water distribution plans for Peninsula 18th on the Bay, previously known as The Peninsula Marina Bay Phase 2 Area 2 submitted by McCrone. The plans consist of:

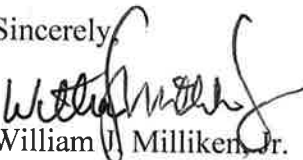
1. Transmittal letter dated January 15, 2021.
2. One set of plans entitled "Peninsula 18th On The Bay" dated December 29, 2019.

These plans will Accompany the previous plans, Approval to Construct # 05W265. The Approval to Construct number, 05W265, and conditions dated December 13, 2005 will remain the same. Thank you for bringing the changes to our attention.

One set of as-built drawings, including profile markups, must be submitted with satisfactory bacteriological results before an Approval to Operate will be issued. A profile will be required where the 6-inch main to the relocated fire hydrant crosses the existing sanitary sewer by Lot 140 on sheet C4.

Please do not hesitate to contact me at (302) 741-8646 with questions or concerns.

Sincerely,


William V. Milliken, Jr.
Engineer III
Office of Engineering

Cc: Alexis Virdin-Gede



February 2, 2021

Mr. Ryan Conway
McCrone, Inc.
119 Naylor Mill Road
Salisbury, MD 21801

RE: Peninsula – 18th on the Bay Revision

Dear Mr. Conway:

A Sediment and Stormwater Management Plan has been reviewed for compliance with the Sediment and Stormwater Regulations and is approved with conditions (see attached). Enclosed herein please find a revision to the approved plans. Please retain a copy for your use, and provide the contractor with a copy to be retained onsite at all times. Failure to keep an approved plan onsite is a violation of the approved plan.

Approval of a Sediment and Stormwater Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.

This plan approval pertains to compliance with the *Delaware Sediment and Stormwater Regulations*. Please understand that the approval of this plan does not relieve you from complying with any and all federal, state, county, or municipal laws and regulations.

As of January 1, 2014, the Sussex Conservation District began collecting financial guarantees to ensure the construction of stormwater management practices is accomplished in accordance with the approved sediment and stormwater plan. Please refer to the SCD Policy on Bonds located on our website at Sussexconservation.org. If you have any questions concerning the aforementioned, please do not hesitate to call 302 856-7219.

Sincerely,

Jessica Watson
Jessica Watson
Program Manager

JW/jmg

cc:

CONDITIONS OF APPROVAL

NOTIFICATION

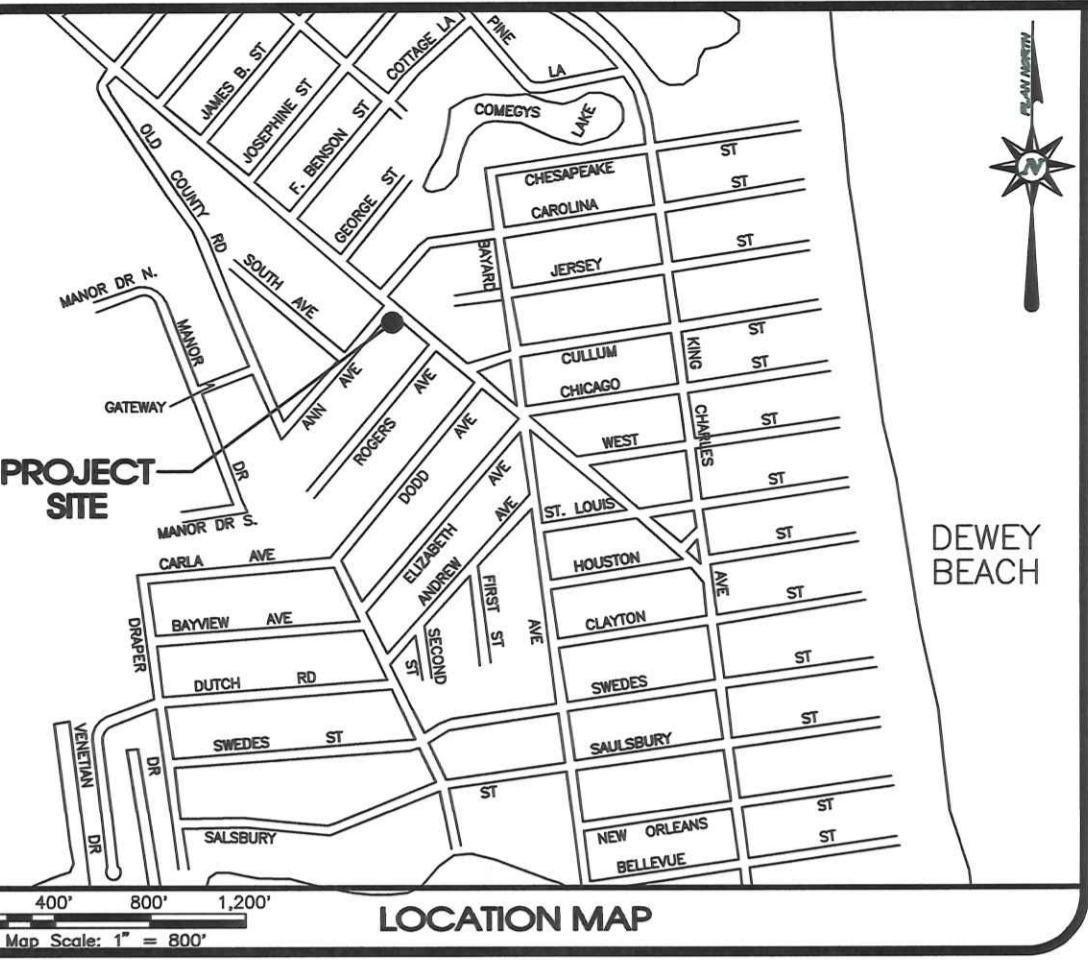
1. This revised plan does not extend or change the original sediment and stormwater plan approval date, which is valid for 5 years. If construction does not begin within five years of the original approval date, the approved plan will be considered to have expired, and must be resubmitted to the District for a new review. In addition, if work is not completed within the five-year timeframe, the District must be contacted and a request for an extension submitted. Depending on regulation changes, a new plan may need to be submitted to ensure that all stormwater management facilities are constructed to the most recent standards.
2. Submittal of the Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activities together with this approval of the detailed Sediment and Stormwater Plan provide this project with Federal permit coverage to be authorized to discharge storm water associated with construction activities. It is the owner's responsibility to ensure that permit coverage remains valid throughout construction by submitting the NOI fee annually as requested. The developer is responsible for weekly self-inspection reporting to be retained onsite.
3. Notify the Sussex Conservation District Sediment and Stormwater Management Section of your intent to begin construction in writing five (5) days prior to commencing. Failure to do so constitutes a violation of the approved plan.

CHANGES

4. This project is to be undertaken in accordance with the plans submitted and as approved. If changes are necessary at any time during the completion of the project, submit revised plans, prior to further construction, to the Sussex Conservation District Sediment and Stormwater Program for review and approval of the revision.
5. Should ownership change during the construction period, a revised plan must be submitted for approval showing the new owner's signature on the owner's certification. In addition, a Transfer of Authorization form must be submitted to DNREC to transfer Federal permit coverage to the new owner.

CONSTRUCTION AND CLOSEOUT

6. A pre-construction meeting must take place before any land disturbing activity begins. The meeting may take place on site and be attended by the owner, contractor, design consultant, Certified Construction Reviewer and Sussex Conservation District Sediment and Stormwater Program Construction Reviewer. The owner or the owner's designee shall contact the Sussex Conservation Construction Reviewer to schedule the pre-construction meeting.
7. Keep available onsite, during all phases of construction, a copy of the approved Sediment and Stormwater Management Plan.
8. Keep available onsite, during all phases of construction, copies of the Developers weekly self-inspection reports and/or the CCR Reports.
9. Any sediment transported off-site to roads or road rights-of-way including ditches shall be removed. Any damage to ditches shall be repaired and stabilized to original condition.
10. Grading shall not impair surface drainage, create an erosion hazard, or create a source of sediment to any adjacent watercourse or property owner.
11. Failure to implement the permanent stormwater management practices as mentioned herein constitutes a violation of the conditions of this plan approval; it may result in the suspension or revocation of building permits or grading permits issued by the local jurisdiction; and it may result in legal action by the DNREC to bring the site into compliance with the approved Sediment and Stormwater Management Plan and the *Delaware Sediment and Stormwater Regulations*.
12. The permanent stormwater management facility or facilities must be constructed and accepted by the Sussex Conservation District Sediment and Stormwater Program prior to final closeout of the project site. Post construction verification documentation of the stormwater management facility or facilities must be completed as soon as construction of the facility or facilities is complete so that any necessary modifications may be made during the construction period.



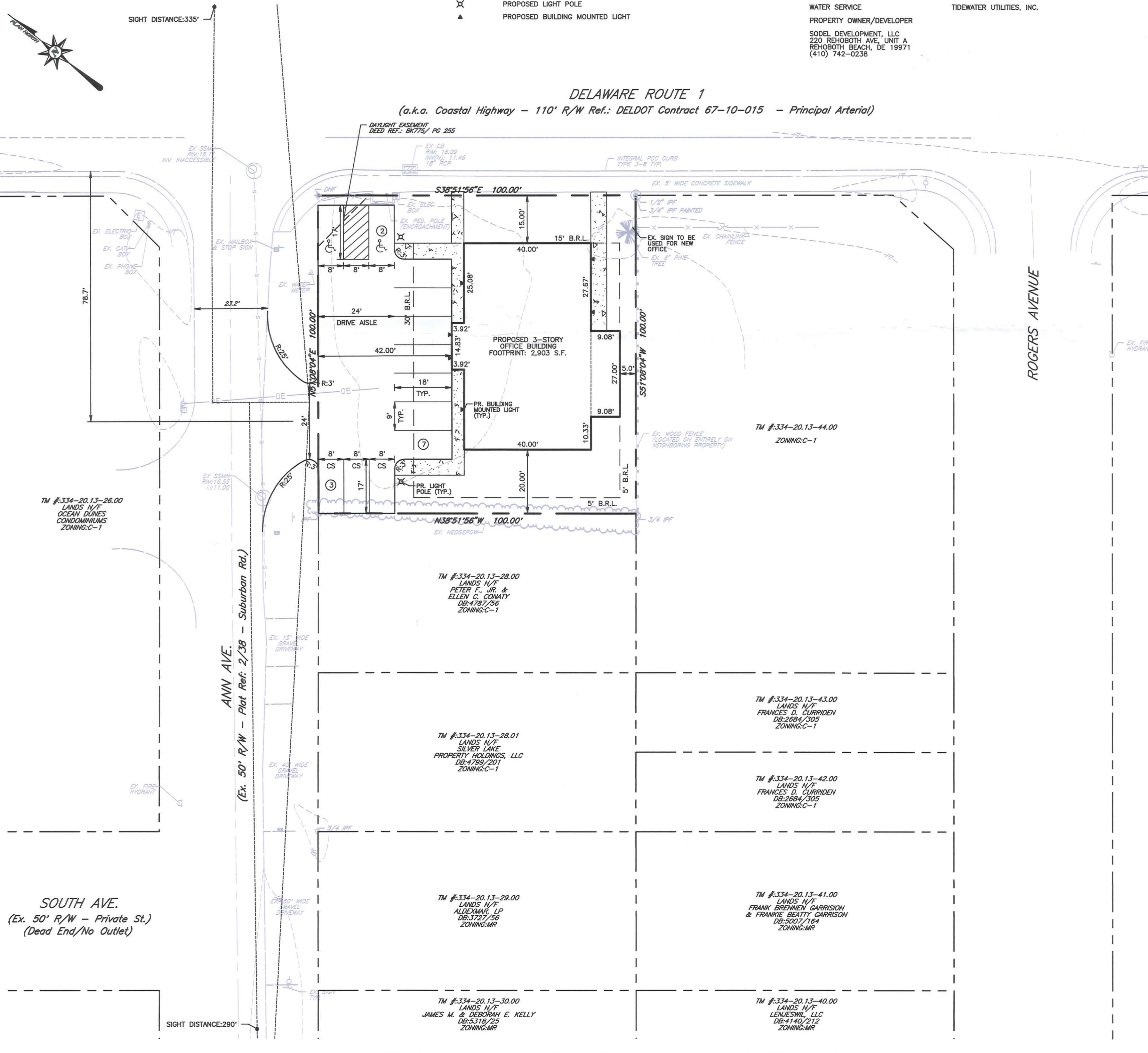
PLAN LEGEND		
[Symbol]	SUPPLEMENTAL CONTOUR (1' INTERVAL)	
[Symbol]	INDEX CONTOUR (5' INTERVAL)	
[Symbol]	EXISTING PAVEMENT EXTENTS	
[Symbol]	EXISTING PAVEMENT STRIPING	
[Symbol]	EXISTING PROPERTY BOUNDARY	
[Symbol]	ADJOINING PROPERTY LINE	
[Symbol]	EXISTING SANITARY SEWER MAIN	
[Symbol]	EXISTING FENCE LINE (CHAIN LINK)	
[Symbol]	EXISTING FENCE LINE (WOOD STOCKADE)	
[Symbol]	EXISTING CURB	
[Symbol]	EXISTING SIDEWALK	
[Symbol]	EXISTING CENTERLINE OF ROAD	
[Symbol]	PROPOSED BUILDING RESTRICTION LINE	
[Symbol]	PROPOSED EDGE OF PAVEMENT	
[Symbol]	PROPOSED PAINT/PARKING STALLS	
[Symbol]	PROPOSED BUILDING	
[Symbol]	PROPOSED SIDEWALK	
[Symbol]	EXISTING CONCRETE	
[Symbol]	PROPOSED CONCRETE	
[Symbol]	EXISTING SANITARY MANHOLE	
[Symbol]	EXISTING DRAINAGE INLET	
[Symbol]	EXISTING SIGN	
[Symbol]	EXISTING MAILBOX	
[Symbol]	EXISTING FIRE HYDRANT	
[Symbol]	EXISTING UTILITY POLE	
[Symbol]	PROPOSED LIGHT POLE	
[Symbol]	PROPOSED BUILDING MOUNTED LIGHT	

SITE DATA and ZONING SCHEDULE		
TAX PARCEL No.:	334-20.13-27.00	
PROPERTY ADDRESS:	20968 ANN AVENUE REHOBOTH BEACH, DE 19971	
NET DEVELOPMENT AREA:	10,000 S.F.	
EXISTING NUMBER OF LOTS:	ONE (1)	
EXISTING SITE USE:	PROFESSIONAL OFFICE	
PROPOSED NUMBER OF LOTS:	ONE (1)	
PROPOSED SITE USE:	PROFESSIONAL OFFICE	
EXISTING ZONING:	C-1 (COMMERCIAL)	
INVESTMENT LEVEL AREA:	LEVEL ONE (1)	
LAND USE APPROVAL AGENCY:	SUSSEX COUNTY	
EXISTING OFFICE BUILDING FOOTPRINT:	1,588 S.F. (TO BE REMOVED)	
PROPOSED OFFICE BUILDING FOOTPRINT:	2,903 S.F.	
PROPOSED OFFICE BUILDING USABLE AREA:	4,752 S.F.	
PROPOSED NUMBER OF EMPLOYEES:	23	
THIS PROJECT IS NOT LOCATED WITHIN A TRANSPORTATION IMPROVEMENT DISTRICT (TID)		
ORDINANCE ITEM REQUIREMENT PROVIDED:		
MINIMUM LOT AREA	10,000 Sq. Ft.	10,000 Sq. Ft.
MINIMUM LOT WIDTH	75 Ft.	100.00 Ft.
MINIMUM LOT DEPTH	100 Ft.	100.00 Ft.
MINIMUM SETBACKS:		
FRONT	30 Ft.	30 Ft.
CORNER	15 Ft.	15 Ft.
SIDE	5 Ft.	5 Ft.
REAR	5 Ft.	5 Ft.
MAXIMUM BUILDING HEIGHT	42 Ft./3 Stories	42 Ft./3 Stories
PARKING SPACE QTY. (OFFICE USE)	4,752 S.F. x 24 SPACES	12 SPACES
SEWER SERVICE	SUSSEX COUNTY	
WATER SERVICE	TIDEWATER UTILITIES, INC.	
PROPERTY OWNER/DEVELOPER SODEL DEVELOPMENT, LLC 220 REHOBOTH AVE. UNIT A REHOBOTH BEACH, DE 19971 (410) 742-0238		

IMPERVIOUS			
TYPE	EXISTING	PROPOSED	DIFFERENCE
BUILDING:	1,707 Sq. Ft.	2,903 Sq. Ft.	+1,196 Sq. Ft.
CONCRETE:	590 Sq. Ft.	686 Sq. Ft.	+96 Sq. Ft.
ASPHALT:	190 Sq. Ft.	4,071 Sq. Ft.	+3,881 Sq. Ft.
GRAVEL:	6,358 Sq. Ft.	0 Sq. Ft.	-6,358 Sq. Ft.
TOTAL:	8,845 Sq. Ft.	7,660 Sq. Ft.	-1,185 Sq. Ft.

- GENERAL NOTES**
- THE PROJECT SITE IS KNOWN AS SODEL OFFICE - REHOBOTH, (TM# 334-20.13-27.00), AND IS LOCATED AT 20968 ANN AVENUE REHOBOTH BEACH, DE 19971.
 - THE PROPERTY BOUNDARY, EXISTING FEATURES AND TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY ATLANTIC SURVEYING & MAPPING, VERTICAL DATUM IS NAVD83 AND HORIZONTAL DATUM IS DELAWARE STATE PLANE COORDINATE SYSTEM MADES.
 - THE PROPOSED PARKING AREA IS TO BE PRIVATE AND MAINTAINED BY THE DEVELOPER/PROPERTY OWNER. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE AREAS.
 - ALL PROPOSED STORMWATER MANAGEMENT FACILITIES ARE TO BE MAINTAINED BY THE DEVELOPER/PROPERTY OWNER.
 - THIS PLAN DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHT-OF-WAYS CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS PROVIDED.
 - THE CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF ANY SITE CONSTRUCTION ACTIVITIES.
 - ALL CONTRACTORS WORKING ON THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST EDITION).
 - CONSTRUCTION MATERIALS AND PROCEDURES SHALL FOLLOW THE DELAWARE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARD DRAWINGS (LATEST EDITION).
 - EXISTING SUBSURFACE UTILITY INFORMATION INDICATED IS BASED UPON VISUAL FIELD INSPECTION BY ATLANTIC SURVEYING & MAPPING. SUCH INFORMATION CONCERNING THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF SUBSURFACE UTILITIES IS APPROXIMATE IN NATURE AND HAS BEEN ESTIMATED AS AN AID IN THE PROJECT DESIGN. THE INFORMATION PROVIDED IS REPRESENTATIVE OF SUBSURFACE CONDITIONS ONLY AT LOCATIONS AND DEPTHS WHERE SUCH INFORMATION WAS OBTAINED. THERE IS NO EXPRESSED OR IMPLIED AGREEMENT THAT UTILITY SIZE, LOCATION, DEPTH, QUANTITY, ETC. AS SHOWN EXISTS BETWEEN EXPLORED LOCATIONS. ACCORDINGLY, UTILITY INFORMATION SHOWN SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. IT IS INCUMBENT UPON THE CONTRACTOR TO VERIFY THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF ALL UTILITIES BEFORE EXCAVATION.
 - BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) 100029 0354 K, MAP NUMBER 10050334K, DATED MARCH 16, 2015, THE SUBJECT PROPERTY IS LOCATED IN ZONE X UNSHADDED WHICH IS AN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
 - NO STATE OR FEDERAL JURISDICTIONAL WETLANDS EXIST ON THE SUBJECT PROPERTY.
 - ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
 - IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS PART V, CHAPTER 4, SECTION 4.1.1, THE DEVELOPER SHALL PROVIDE TO THE EMERGENCY DISPATCH CENTER HAVING JURISDICTION, A PLAN OF THE DEVELOPMENT SHOWING EACH BUILDING LOCATION. THE DEVELOPER SHALL ALSO ASSIGN NUMBERS TO ALL BUILDINGS IN A CONSECUTIVE MANNER AND HAVE PLACED THE ASSIGNED NUMBER IN A READILY VISIBLE LOCATION ON EACH BUILDING TO ELIMINATE CONFUSION IN THE EVENT THAT AN EMERGENCY VEHICLE IS NEEDED.
 - AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.
 - THE BUILDING WILL BE ACCESSIBLE TO EMERGENCY APPARATUS, A MINIMUM OF 50% OF THE BUILDING WILL BE ACCESSIBLE BY EMERGENCY SERVICES PERSONNEL.
 - LOCATION OF FIRE LANES, THEIR WIDTHS, AND THEIR MARKINGS, FIRE LANE SIGNS, WORKING AND 4' LINES OF DEMARCATION, AND YELLOW PAINTED CURBING ARE TO BE SHOWN ON THE PLAN WHERE APPLICABLE.
 - ALL PROPOSED LANDSCAPE BUFFERS ARE TO BE MAINTAINED BY THE PROPERTY OWNER/DEVELOPER.
 - THE EXISTING BUILDING TYPE IS NFPA V(00).
 - THE PROPOSED SIGNAGE DEPICTED ON THE PLAN IS INDICATIVE ONLY. SEPARATE APPLICATIONS SHALL BE REQUIRED FOR ALL SIGNAGE.
 - THE OFFICES SHALL BE ACCESSED FROM THE INTERIOR DRIVE AISLES ONLY. NO SECONDARY ACCESS TO ANN AVENUE OR ROUTE ONE SHALL BE PERMITTED.
 - THIS PARCEL IS NOT LOCATED IN A WELHEAD PROTECTION AREA AS PER CHAPTER 89 SOURCE WATER PROTECTION OF SUSSEX COUNTY CODE (89-6).
 - THIS PARCEL IS LOCATED IN AN AREA OF GOOD GROUNDWATER RECHARGE POTENTIAL AS PER CHAPTER 89 SOURCE WATER PROTECTION OF SUSSEX COUNTY CODE (89-7).

REVISIONS		
No.	DATE	DESCRIPTION
3	07/01/21	REVISED TRAFFIC GENERATION DIAGRAM
2	06/29/21	REVISED PER PZ COMMENTS
1	06/23/21	REVISED TRAFFIC GENERATION DIAGRAM



TRIP GENERATION - COASTAL HWY (US RT 1)
(FULL MOVEMENT)

FUNCTIONAL CLASS. - US RT1 - OTHER PRINCIPAL ARTERIALS
POSTED SPEED LIMIT - 45 MPH
AADT = 68,989 TRIPS (FROM 2019 DELDOT TRAFFIC SUMMARY)
10-YR PROJECTED AADT = 79,508 TRIPS
15-YR PROJECTED AADT = 87,385 TRIPS
TRAFFIC PATTERN GROUP - B (FROM 2019 DELDOT TRAFFIC SUMMARY)
PEAK HOUR = 11.77% x 63,126 = 9,344 TRIPS

ROAD TRAFFIC DATA:
COASTAL HWY (S. BOUND) (US RT 1)
34,184
34,185
191(9)[25]
356(14)[47]
191(21)[17]
356(49)[29]
ANN AVENUE (STATE MAINTAINED)

TRAFFIC GENERATION DIAGRAM
TRIPS PER DAY (VEHICLES IN A.M.) [P.M. PEAK HOUR]

TRIP GENERATION - ANN AVENUE (STATE MAINTAINED)
(FULL MOVEMENT)

FUNCTIONAL CLASS. - ANN AVENUE - STATE MAINTAINED
POSTED SPEED LIMIT - 25 MPH
AADT = 1,017 TRIPS (CALCULATED (10TH EDITION))
10-YR PROJECTED AADT = 1,179 TRIPS
10-YR PROJECTED AADT + SITE AADT = 1,256 TRIPS
TRAFFIC PATTERN GROUP - 7
PEAK HOUR = 11.77% x 1,256 = 148 TRIPS

ROAD TRAFFIC DATA:
ANN AVENUE - STATE MAINTAINED
35(0)[4]
35(0)[7]
31(0)[0]
4(0)[1]
509
508

TRAFFIC GENERATION DIAGRAM
TRIPS PER DAY (VEHICLES IN A.M.) [P.M. PEAK HOUR]

- DELDOT SITE GENERAL NOTES**
- LAST REVISED: MARCH 21, 2019
- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
 - NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
 - SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCES OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND MAINTAINED BY THE PROPERTY OWNER. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
 - UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
 - PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER. THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 131) DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
 - THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER. THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION, THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE FOR THE SIDEWALK.
 - LOTS WILL BE PERMITTED TO HAVE ACCESS POINTS THAT COMPLY WITH THE DEVELOPMENT COORDINATION MANUAL (DOM) SPACING REQUIREMENTS OF CHAPTER 1 AND LIMITATIONS ON NUMBER OF ACCESS POINTS ESTABLISHED IN DOM CHAPTER 7, HORSESHOE DRIVEWAYS AND SECONDARY ENTRANCES REQUIRE ADDITIONAL DELDOT REVIEW AND SEPARATE PERMITTING. RESTRICTIONS AS DESCRIBED IN THE DOM CHAPTER 7 MAY PROHIBIT SOME SECONDARY ENTRANCE REQUESTS FROM BEING GRANTED.
 - TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
 - THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
 - THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.

SOILS DATA

SOILS MAPPED FROM WEB SOIL SURVEY (https://websoilsurvey.sc.egov.usda.gov)

Soils Name	Slopes	Hydrolic Soil Group
Gub Greenwch-Urban land complex	0 to 5 percent slopes	B

OWNER/DEVELOPER CERTIFICATE

WE HEREBY CERTIFY THAT WE ARE THE OWNERS AND DEVELOPERS OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SODEL DEVELOPMENT, LLC
220 REHOBOTH AVE. UNIT A
REHOBOTH BEACH, DE 19971
Phone: (410) 742-0238

DATE _____

DESIGN PROFESSIONAL DATE _____

LAYER LIST:
B-02
K-T-B
K-T-B
K-T-B
K-T-B

SCALE: 1" = 20'

ONLY PLANS INCORPORATING A SEAL ARE VALID. THIS SEAL IS THE PROPERTY OF THE SEALER AND IS NOT TO BE REPRODUCED OR COPIED. THE SEALER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT ONLY. THE SEALER'S LIABILITY IS NOT TO BE EXTENDED TO ANY OTHER PROJECTS OR TO ANY OTHER PARTY. © COPYRIGHT 2021 THE SEALER GROUP, INC. ALL RIGHTS RESERVED.

OWNER/APPLICANT:
SODEL DEVELOPMENT, LLC
220 REHOBOTH AVE. UNIT A
REHOBOTH BEACH, DE 19971
Phone: (410) 742-0238
Email: kramer@soodel.com

PARCEL INFORMATION:
TM# 334-20.13, PARCEL 27.00
PARCEL AREA: 10,000 Sq. Ft.
DEED BOOK: 5,382/125

THE KERCHER GROUP, INC.
CONSULTING • SYSTEMS • ENGINEERING
2005 REHOBOTH AVE. UNIT 114-115
REHOBOTH BEACH, DE 19971
Phone: (410) 742-0238 • www.kerchergroup.com

PRELIMINARY PLAN (Not to Be Recorded)
SITE PLAN
SODEL OFFICE - REHOBOTH
LEWES & REHOBOTH HUNDRED - SUSSEX COUNTY - DELAWARE

JOB No.: 21-0403
PLAN DATE: May 14, 2021
SHEET No.: S1

Scale Office - Rehoboth, Del., July 7, 2021 (18-15)

ABBREVIATED LIGHTING FIXTURE SCHEDULE								
TYPE	MANUFACTURER	CATALOG #	LAMPS	VOLT	MOUNTING	REMARKS	QTY	WATTS
G1	PHILIPS/STONCO	LPW-16-50-NW-G3-2-UNV-xx	80 CRI, 74,000K, 5,400 LUMEN LED	120	SURFACE	SLIM EXTERIOR SURFACE MOUNTED LED FIXTURE W/TYPE 2 DISTRIBUTION. UL LISTED FOR WET LOCATIONS. FINISH SELECTED BY OTHERS.	4	48
H	PHILIPS/GARDCO	ECF-S-32L-1A-NW-G2-AR-3-UNV- F1-RPA-xx	70 CRI, 4,000K, 13,000 LUMEN LED	120	POLE	ARCHITECTURAL OUTDOOR LOW PROFILE POLE ARM MOUNTED FIXTURE WITH TYPE III DISTRIBUTION, ROPE POLE ADAPTER, SINGLE FUSE, & DIFFUSING LENS. PROVIDE 20' TALL, ROUND POLE. FINISHED SELECTED BY OTHERS.	2	106

- NOTES:
- ALL LIGHTING FIXTURES SHALL BE APPROVED BY THE OWNER / ARCHITECT PRIOR TO ORDERING AND INSTALLING.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ORDERING AND COORDINATION ALL FIXTURE OPTIONS AND ACCESSORIES TO ENSURE A COMPLETE QUALITY INSTALLATION

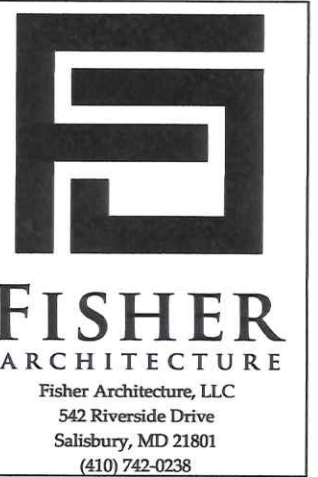
DELAWARE ROUTE 1

GENERAL NOTES:

- REFER TO ELECTRICAL PANEL SCHEDULES FOR WIRE SIZES, BREAKER SIZES, AND OTHER INFORMATION NOT SHOWN ON THIS DRAWING.
- ALL EQUIPMENT, CONDUITS, WIRING ETC. THAT PENETRATIONS INTO FIRE RATED WALLS, PARTITIONS, OR BARRIERS MUST BE SEALED, FIRE RATED, & APPROVED BY THE AHJ.
- PANELBOARDS TO UTILIZE BOLT-ON CIRCUIT BREAKERS.
- ALL LOW-VOLTAGE OUTLETS TO HAVE CONDUIT STUBS UP TO CEILING & TURNED OUT.
- COORDINATE WITH SUPPLIERS OF ALL EQUIPMENT TO ENSURE ALL CONDUITS, CIRCUITS, & POWER CONNECTIONS ARE INSTALLED.
- PROVIDE/COORDINATE MOUNTING BLOCK(S) FOR ALL EXTERIOR LIGHTS AND RECEPTACLES.
- FIELD CALIBRATE OCCUPANCY SENSOR(S) TO AVOID INADVERTENT ACTIVATION OF LIGHT(S).

DRAWING NOTES:

- LIGHTING TO BE CONTROLLED BY TIMECLOCK & PHOTOCELL. COORDINATE "OFF" TIMES WITH OWNER PRIOR TO COMPLETION. TIMECLOCK TO BE LOCATED ADJACENT TO PANEL LR1.
- EXTEND CIRCUITRY BELOW SLAB & TURN UP INTO WALL. EXTEND CIRCUITRY THROUGH BUILDING TO PANEL LR1.



DATE: 05/09/2022
 LICENSE NO.: 15302
 EXPIRATION DATE: 06/30/2022

THE DOCUMENTS PREPARED BY FISHER ARCHITECTURE, LLC ARE SOLELY FOR THE PURPOSES OF THE SPECIFIED PROJECT. THEY ARE NOT INTENDED OR AUTHORIZED FOR USE ON ANY OTHER PROJECT. FISHER ARCHITECTURE, LLC MAKES NO REPRESENTATION AS TO THEIR SUITABILITY FOR ANY OTHER USE. ALL DOCUMENTS PREPARED BY FISHER ARCHITECTURE, LLC ARE THE PROPERTY OF PROFESSIONAL SERVICE BY RESPECT OF THIS PROJECT. THESE DOCUMENTS ARE, AND SHALL REMAIN, THE PROPERTY OF FISHER ARCHITECTURE, LLC.

CONSULTANTS:

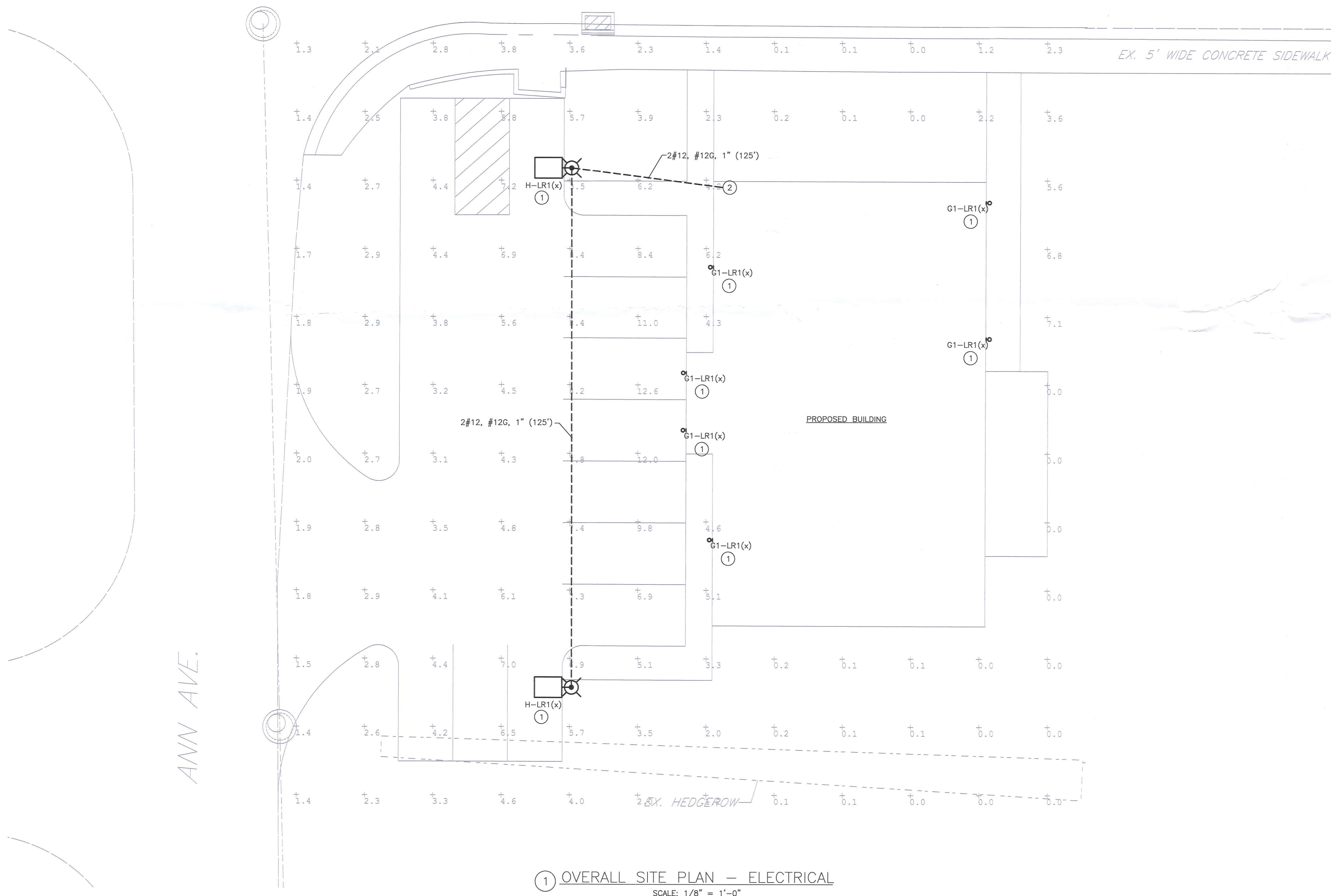
SO-DEL OFFICE
 20968 DE-1
 REHOBOTH BEACH, DE 19371

SHEET INFO:

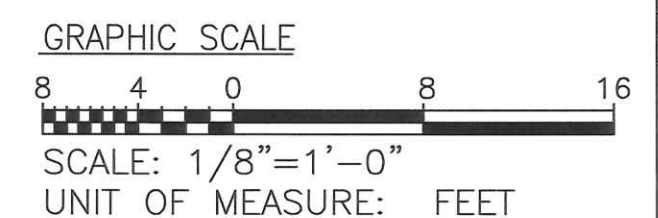
OVERALL
 SITE PLAN
 ELECTRICAL

REV DATE DESCRIPTION
 DATE: 05/09/2022
 PROJECT NO: 20968
 SCALE: AS NOTED
 PROJ. MGR: TFC
 DRAWN BY: CMH
 SHEET NUMBER:

E-301



1 OVERALL SITE PLAN - ELECTRICAL
 SCALE: 1/8" = 1'-0"





6/25/2021

To whom it may concern,

This letter is in reference to the proposed So Del Office to be located at 20968 Ann Avenue Rehoboth Beach Delaware. The proposed Building is a total of 5,806sf. According to Section 115-162 of the Sussex County Zoning Code,

'Offices, Office Buildings, banks or other financial offices require 1 per 200 square feet of floor area, exclusive of basement, if not used for office or customer service purposes'

Therefore, this would equate to 29.03 parking spaces being required for the property; however, only 12 parking spaces have been provided. After reviewing the project with ownership, they have confirmed that due to the nature of the business, they will never have more than 12 employees on site at a time. The nature of this facility is to have a central location to connect the business end of all of their restaurants and the non-profit SoDel Cares. More often than not, the employees that would fill the facility at 20968 Ann Avenue will not be on site, but would be at the restaurants themselves or elsewhere.

Other facilities such as medical offices noted in section 115-162 permit a '1 for 2' parking calculation. Meaning one parking space per two employees. We are writing this letter to request your consideration in allowing this facility to follow an employee count rather than a square footage calculation. Our request is to provide a '1 for 1' meaning one parking space per one employee on the largest shift. Our request aligns with item 115-163, item F

'Except as otherwise provided, the number of employees shall be compiled on the basis of the maximum number of persons employed on the premises at one time on an average day or average night, whichever is greater.'

An average day or night at 20968 Ann Avenue, should never exceed 12 employees. We appreciate your consideration on this matter and look forward to your feedback.

Sincerely,

Heather Morrison

Heather Morrison AIA
Chief Operations Director
Fisher Architecture, LLC

542 Riverside Drive
Salisbury, MD 21801
(410) 742-0238 (office)
(888) 879-7149 (fax)
fisherarchitecture.com

RECEIVED

JUL 09 2021

SUSSEX COUNTY
PLANNING & ZONING



June 24, 2021

Mr. Jamie Whitehouse, Director
Sussex County Planning and Zoning Department
P.O. Box 417
Georgetown, DE 19947

RE: SoDel Concepts Office – Rehoboth Beach
TM#: 334-20.13-27.00

Dear Mr. Whitehouse:

Per the Preliminary Staff Review Letter, dated June 24, 2021, Christin Scott (PZ Planner), noted that the proposed twelve (12) parking were located within the front yard and corner front yard setbacks. It was also noted that twenty-four (24) parking spaces are required but only twelve (12) spaces are provided.

Please allow this letter to serve as a formal waiver request to allow all of the twelve (12) parking spaces be located within the front yard and corner front yard setback as well as allow the reduction from the required twenty-four (24) parking spaces down to the twelve (12) spaces as shown and dimensioned on the plans.

A separate letter shall accompany this request regarding the reduction of parking shown on the plans. The applicant has noted that the twelve (12) spaces shall be sufficient for their use.

If you should have any questions regarding a statement made within this document please do not hesitate to contact our office at your earliest convenience.

Thank you for your attention and consideration.

Sincerely,

Kevin Smith

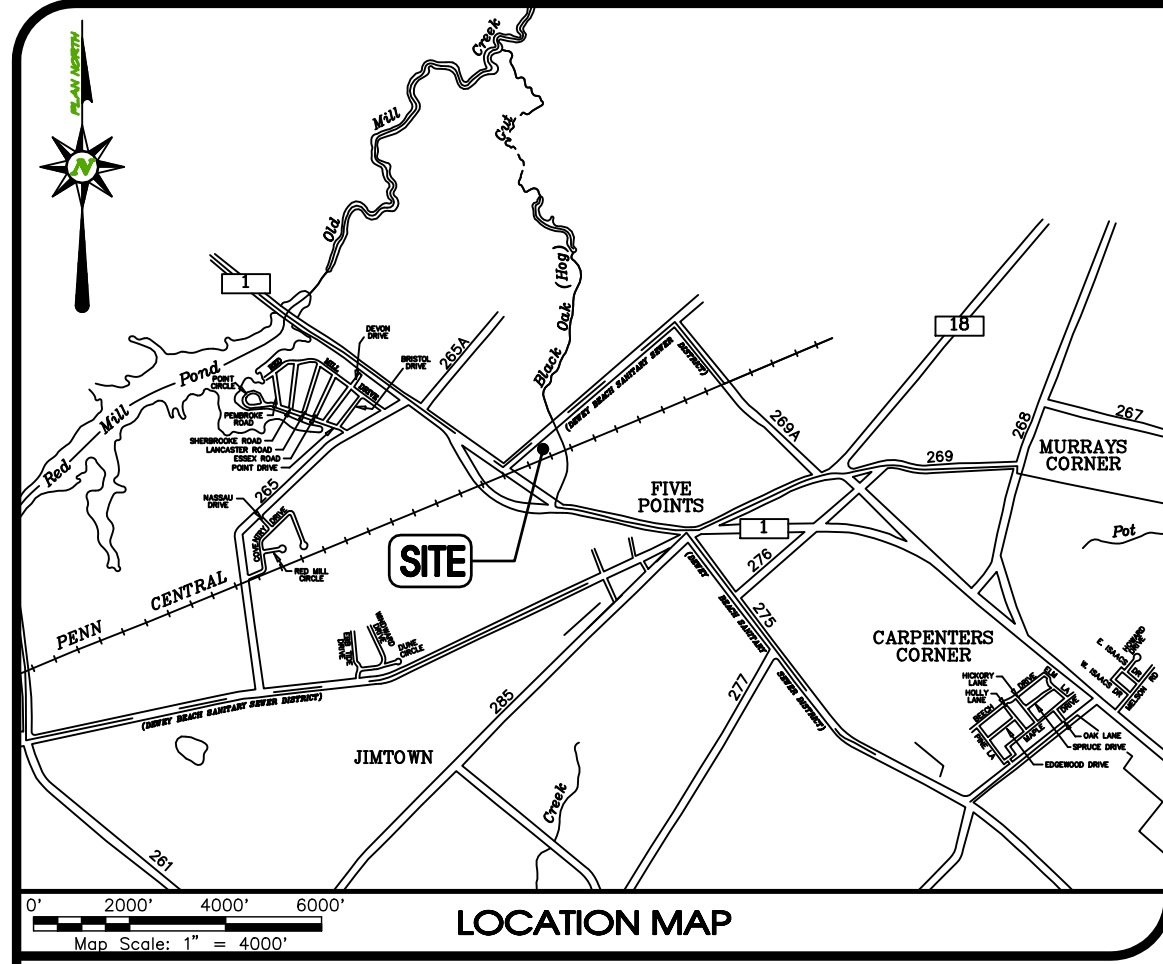
The Kercher Group, Inc.
Kevin Smith, Project Manager

RECEIVED

JUL 09 2021

SUSSEX COUNTY
PLANNING & ZONING

THE KERCHER GROUP, INC.



PLAN LEGEND

- SUPPLEMENTAL CONTOUR (1' INTERVAL)
- INDEX CONTOUR (5' INTERVAL)
- EXISTING ROAD CENTERLINE
- EXISTING PAVEMENT STRIPING
- EXISTING PAVEMENT EXTENTS
- PROPOSED PAVEMENT EXTENTS
- PROPOSED STRUCTURE
- EXISTING CURB LINE
- BUILDING RESTRICTION LINES
- PROPOSED PAVEMENT STRIPING
- EXISTING PROPERTY BOUNDARY
- EXISTING RIGHT-OF-WAY EXTENTS
- ADJOINING PROPERTY BOUNDS
- PROPOSED RIGHT-OF-WAY DEDICATION
- PROPOSED PERMANENT EASEMENT
- FLOOD ZONE LIMITS
- DELINEATED WETLANDS BOUNDARY
- EXISTING FENCE LINE
- IRON PIPE (FOUND)
- POINT ON LINE
- IRON ROD (TO BE SET)
- FENCE POST (FOUND)
- CONCRETE MONUMENT (FOUND)

PARCEL LINE TABLE

LINE	BEARING	DISTANCE
L1	S 09°48'04" E	34.48'
L2	S 12°41'12" E	46.71'

SITE DATA and ZONING SCHEDULE

TAX PARCEL No.:	334-5.00-76.00
PROPERTY ADDRESS:	8275 CANNON ROAD, BRIDGEVILLE, DE 19933
GROSS DEVELOPMENT AREA:	4.37 Acres
WETLAND AREA:	0.13 Ac. (NON-TIDAL, USACE JURISDICTION)
EXISTING SITE USE:	6,345 S.F. PEST CONTROL BUSINESS
PROPOSED SITE USE:	21,818 S.F. RETAIL
EXISTING ZONING:	C-1 (GENERAL COMMERCIAL)
INVESTMENT LEVEL AREA:	LEVEL THREE (3)
FLOORPLAN DESIGNATION:	ZONE "X" UNSHADED, ZONE AE (8)
NET DEVELOPMENT/ IMPERVIOUS AREA:	1.82 AC. (41.7%)

ORDINANCE ITEM	REQUIREMENT:	PROVIDED:
MINIMUM LOT AREA	10,000 Sq. Ft.	190,470 Sq. Ft.
MINIMUM LOT WIDTH	150 Ft.	415.79 Ft.
MINIMUM LOT DEPTH	100 Ft.	376 Ft.
MINIMUM SETBACKS:		
FRONT	60 Ft.	60 Ft.
SIDE	5 Ft.	5 Ft.
REAR	5 Ft.	5 Ft.
MAXIMUM BUILDING HEIGHT	42 Ft. (3 Stories)	2 Stories
PARKING SPACE QTY.	87 TOTAL SPACES	113 SPACES
	RETAIL USE 1 SPACE/200 S.F. DISPLAY AREA + 1 SPACE/2 EMP. ON LARGEST SHIFT 15,658 DISPLAY = 79 SPACES + 16 EMPLOYEES = 8 SPACES	
ADA PARKING SPACES	5 SPACES	10 SPACES
SEWER SERVICE	SUSSEX COUNTY	
WATER SERVICE	PRIVATE WELL	

DELDOT SITE GENERAL NOTES

- NO LANDSCAPING SHALL BE ALLOWED WITHIN R/W UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL (DCM).
- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROXIMATE TO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND SECURED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S "SHARED-USE PATH AND/OR SIDEWALK TERMINATION POLICY".
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE FOR THE SIDEWALK.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 2.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
- THE ENDS OF ALL CURBS SHALL BE TRANSITIONED TO BE FLUSH WITH THE PAVEMENT AT A RATIO OF TWELVE TO ONE (12:1).
- ALL PROPOSED BUILDINGS SHALL BE ACCESSED FROM THE INTERIOR DRIVE AISLES ONLY. NO DIRECT ACCESS SCR 266 SHALL BE PERMITTED.
- THE ENTRANCE GEOMETRY SHOWN ON THIS PLAN IS TEMPORARY AND MEANT ONLY TO SUPPORT ONE (1) OF THE PROPOSED STRUCTURES. AS PART OF DELDOT CONTRACT 1201812501, THIS PERMANENT SITE ENTRANCE WILL BE CONSTRUCTED, CONSISTING OF A RIGHT-TURN DECELERATION LANE AND A PROTECTED LEFT-TURN LANE. A CONTRACTOR SELECTED BY DELDOT WILL CONSTRUCT THESE IMPROVEMENTS AND THEY WILL BE PAID-FOR BY THE DEVELOPER/PROPERTY OWNER.

GENERAL NOTES

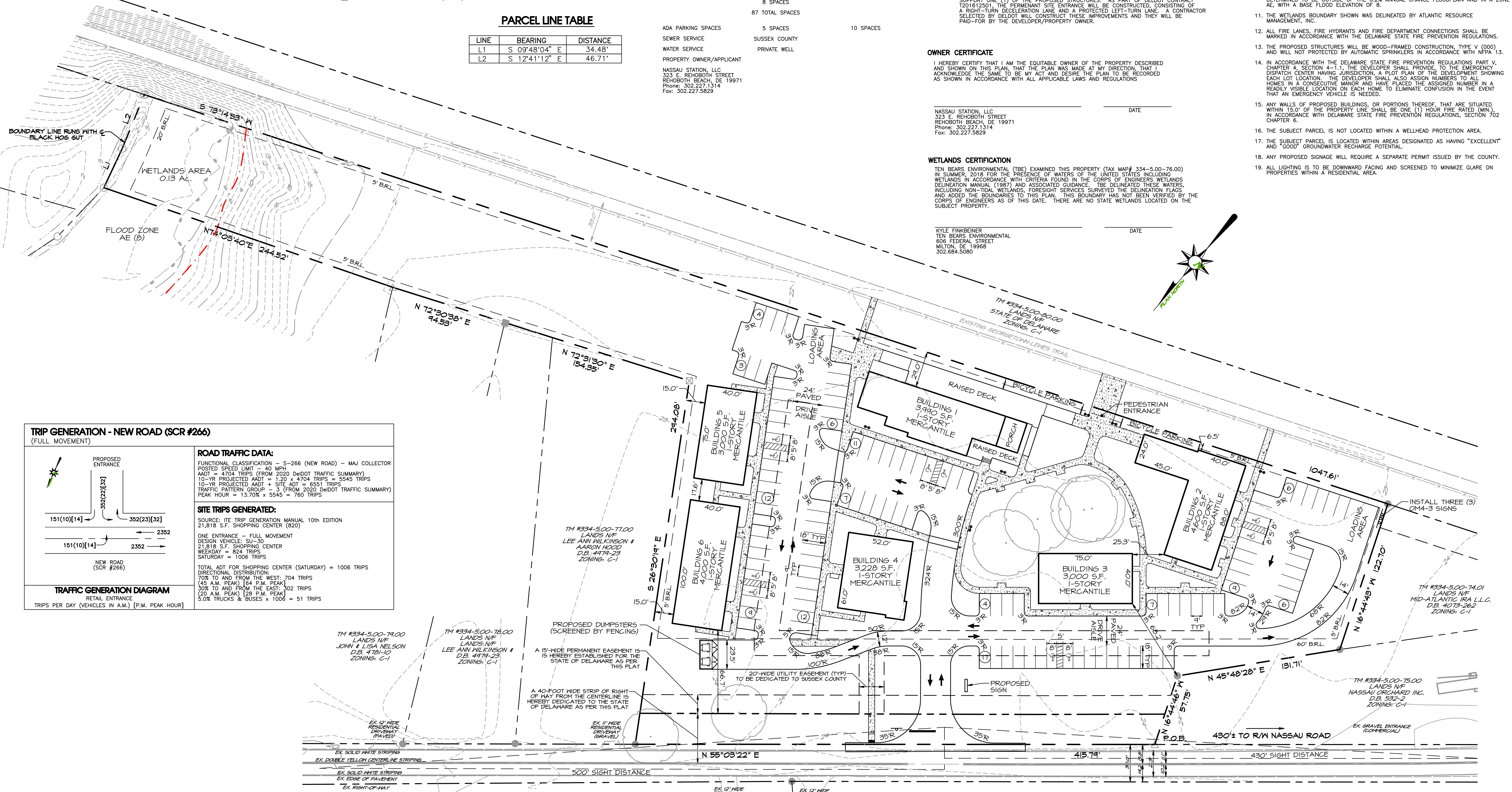
- THE PROJECT SITE IS KNOWN AS BLACK HOG VILLAGE, (T.P. 334-5.00-76.00), AND IS LOCATED ON THE SOUTH SIDE OF NEW ROAD (SCR 266), APPROXIMATELY 450' EAST OF NASSAU ROAD (SCR 266) IN LEWES, DE.
- THE BOUNDARY, EXISTING FEATURES AND TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY BY FORESIGHT SERVICES, INC. 2103A COASTAL HWY. DEWEY BEACH, DELAWARE 19971. TOPOGRAPHY IS BASED ON NAVD88 AND NORTH REFERENCE IS DELAWARE STATE PLANE COORDINATE SYSTEM NAD83.
- ALL DRIVE AISLES AND PARKING AREAS, AS SHOWN ON THIS PLAN, ARE TO BE MAINTAINED BY THE PROPERTY OWNER. THE STATE OF DELAWARE ASSUMES NO MAINTENANCE RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE AREAS.
- ALL PROPOSED STORMWATER MANAGEMENT FACILITIES ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
- THIS PLAN DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHT-OF-WAYS CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS PROVIDED.
- THE CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF ANY SITE CONSTRUCTION ACTIVITIES.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST EDITION).
- CONSTRUCTION MATERIALS AND PROCEDURES SHALL FOLLOW THE SUSSEX COUNTY ENGINEERING DEPARTMENT SPECIFICATIONS AND STANDARD DRAWINGS (LATEST EDITION).
- EXISTING SUBSURFACE UTILITY INFORMATION INDICATED IS BASED UPON VISUAL FIELD INSPECTION BY FORESIGHT SERVICES, INC. SUCH INFORMATION CONCERNING THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF SUBSURFACE UTILITIES IS APPROXIMATE IN NATURE AND HAS BEEN OBTAINED AS AN AID IN THE PROJECT DESIGN. IT IS AS SHOWN EXISTING BETWEEN EXPLORED LOCATIONS. ACCORDINGLY, UTILITY INFORMATION SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. IT IS INCUMBENT UPON THE CONTRACTOR TO VERIFY THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF ALL UTILITIES BEFORE EXCAVATION.
- BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) 100209 0193 K, MAP NUMBER 100500459K, DATED MARCH 16, 2015, PORTIONS OF THIS PROPERTY ARE IN A ZONE AE (8) UNSHADED WHICH IS AN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN AND IN A ZONE AE, WITH A BASE FLOOD ELEVATION OF 8.
- THE WETLANDS BOUNDARY SHOWN WAS DELINEATED BY ATLANTIC RESOURCE MANAGEMENT, INC.
- ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
- THE PROPOSED STRUCTURES WILL BE WOOD-FRAMED CONSTRUCTION, TYPE V, (G00) AND WILL NOT BE PROTECTED BY AUTOMATIC SPRINKLERS IN ACCORDANCE WITH NFPA 1.3.
- IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS PART V, CHAPTER 4, SECTION 4-1.1, THE DEVELOPER SHALL PROVIDE, TO THE EMERGENCY DISPATCH CENTER HAVING JURISDICTION, A FLOT PLAN OF THE DEVELOPMENT SHOWING EACH LOT LOCATION. THE DEVELOPER SHALL ALSO ASSIGN NUMBERS TO ALL HOMES IN A CONSECUTIVE MANOR AND HAVE PLACED THE ASSIGNED NUMBER IN A READY VISIBLE LOCATION ON EACH HOME TO ELIMINATE CONFUSION IN THE EVENT THAT AN EMERGENCY VEHICLE IS NEEDED.
- ANY WALLS OF PROPOSED BUILDINGS, OR PORTIONS THEREOF, THAT ARE SITUATED WITHIN 15.0' OF THE PROPERTY LINE SHALL BE ONE (1) HOUR FIRE RATED (MIN.) IN ACCORDANCE WITH DELAWARE STATE FIRE PREVENTION REGULATIONS, SECTION 702 CHAPTER 6.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA.
- THE SUBJECT PARCEL IS LOCATED WITHIN AREAS DESIGNATED AS HAVING "EXCELLENT" AND "GOOD" GROUNDWATER RECHARGE POTENTIAL.
- ANY PROPOSED SIGNAGE WILL REQUIRE A SEPARATE PERMIT ISSUED BY THE COUNTY.
- ALL LIGHTING IS TO BE DOWNWARD FACING AND SCREENED TO MINIMIZE GLARE ON PROPERTIES WITHIN A RESIDENTIAL AREA.

OWNER CERTIFICATE

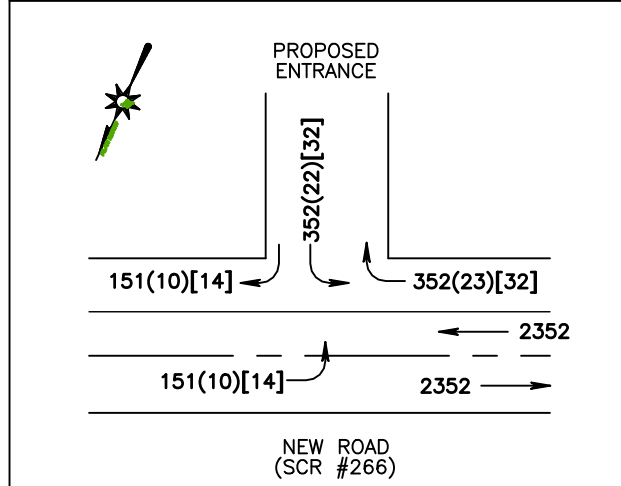
I HEREBY CERTIFY THAT I AM THE EQUITABLE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS

WETLANDS CERTIFICATION

TEN BEARS ENVIRONMENTAL (TBE) EXAMINED THIS PROPERTY (TAX MAP # 334-5.00-76.00) IN SUMMER, 2018 FOR THE PRESENCE OF WATERS OF THE UNITED STATES INCLUDING WETLANDS IN ACCORDANCE WITH CRITERIA FOUND IN THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL (1987) AND ASSOCIATED "BEST MANAGEMENT PRACTICES" INCLUDING NON-TIDAL WETLANDS, FORESIGHT SERVICES SURVEYED THE DELINEATION FLAGS, AND ADDED THE BOUNDARIES TO THIS PLAN. THIS BOUNDARY HAS NOT BEEN VERIFIED BY THE CORPS OF ENGINEERS AS OF THIS DATE. THERE ARE NO STATE WETLANDS LOCATED ON THE SUBJECT PROPERTY.



TRIP GENERATION - NEW ROAD (SCR #266)
(FULL MOVEMENT)



ROAD TRAFFIC DATA:

FUNCTIONAL CLASSIFICATION - S-266 (NEW ROAD) - MAJ COLLECTOR
POSTED SPEED LIMIT - 40 MPH
ADT = 4704 TRIPS (FROM 2020 DVIDOT TRAFFIC SUMMARY)
10-YR PROJECTED ADT = 1,200 x 4704 TRIPS = 5545 TRIPS
10-YR PROJECTED ADT + SITE ADT = 6551 TRIPS
TRAFFIC PATTERN GROUP - 3 (FROM 2020 DVIDOT TRAFFIC SUMMARY)
PEAK HOUR = 13.70% x 5545 = 760 TRIPS

SITE TRIPS GENERATED:

SOURCE: ITE TRIP GENERATION MANUAL 10th EDITION
21,818 S.F. SHOPPING CENTER (820)
DESIGN VEHICLE: SU-30
ONE ENTRANCE - FULL MOVEMENT
21,818 S.F. SHOPPING CENTER
WEEKDAY = 524 TRIPS
SATURDAY = 1006 TRIPS
TOTAL ADT FOR SHOPPING CENTER (SATURDAY) = 1006 TRIPS
DIRECTIONAL DISTRIBUTION:
70% TO AND FROM THE WEST: 704 TRIPS
(4.5 A.M. PEAK) [64 P.M. PEAK]
30% TO AND FROM THE EAST: 302 TRIPS
(2.0 A.M. PEAK) [28 P.M. PEAK]
5.0% TRUCKS & BUSES x 1006 = 51 TRIPS

TRAFFIC GENERATION DIAGRAM

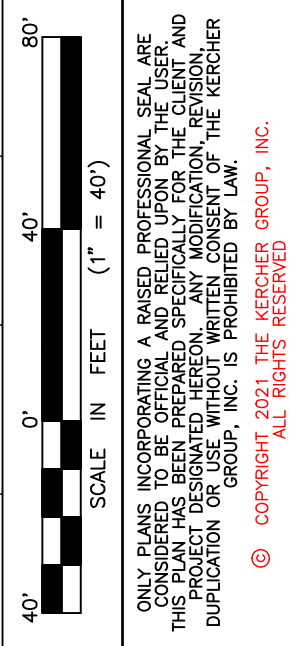
TRIPS PER DAY (VEHICLES IN A.M.) [P.M. PEAK HOUR]

NO.	DATE	DESCRIPTION
1	01/18/18	REVISIONS PER P&Z WRITTEN COMMENTS
2	01/25/18	REVISIONS PER P&Z WRITTEN COMMENTS
3	01/25/18	REVISIONS PER P&Z WRITTEN COMMENTS
4	01/25/18	REVISIONS PER P&Z WRITTEN COMMENTS
5	01/25/18	REVISIONS PER P&Z WRITTEN COMMENTS
6	01/25/18	REVISIONS PER P&Z WRITTEN COMMENTS
7	01/25/18	REVISIONS PER P&Z WRITTEN COMMENTS
8	06/25/21	REMOVE OUTDOOR STAGE

REVISIONS

HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE ORDINANCES OF SUSSEX COUNTY AND THE LAWS OF THE STATE OF DELAWARE.

DESIGN PROFESSIONAL DATE



OWNER/APPLICANT:
NASSAU STATION, LLC
323 E. REHOBOTH STREET
REHOBOTH BEACH, DE 19971
Phone: 302.227.1314
Fax: 302.227.5829

PARCEL INFORMATION:
T.P. # 334-5.00-76.00
D.B. # 478-108
GROSS AREA: 4.37 Acres
NET AREA: 4.37 Acres

SITE PLAN
BLACK HOG VILLAGE
LEWES & REHOBOTH HUNDRED - SUSSEX COUNTY - DELAWARE
THE KERCHER GROUP, INC.
CONSULTING • SYSTEMS • ENGINEERING
37385 REHOBOTH AVE., UNIT 11 - REHOBOTH BEACH, DELAWARE 19971
302.854.9062 (Voice) 302.854.9064 (Fax) www.kerchergroup.com

JOB No: 18-0402EG
PLAN DATE: June 28, 2018
SHEET No.:



January 17, 2020

Mr. Sean McMahon
c/o The Kercher Group
37385 Rehoboth Avenue, Unit II
Rehoboth Beach, DE 19971

RE: Active Pest Solutions – Lewes, DE

Dear Mr. McMahon:

A Sediment and Stormwater Management Plan has been reviewed for compliance with the Sediment and Stormwater Regulations and is approved with conditions (see attached). Enclosed herein please find a copy of the approved application form and approved plan sets. Please retain a copy for your use, and provide the contractor with a copy to be retained onsite at all times. Failure to keep an approved plan onsite is a violation of the approved plan.

Approval of a Sediment and Stormwater Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.

This plan approval pertains to compliance with the *Delaware Sediment and Stormwater Regulations*. Please understand that the approval of this plan does not relieve you from complying with any and all federal, state, county, or municipal laws and regulations.

As of January 1, 2014, the Sussex Conservation District began collecting financial guarantees to ensure the construction of stormwater management practices is accomplished in accordance with the approved sediment and stormwater plan. Please refer to the SCD Policy on Bonds located on our website at Sussexconservation.org. If you have any questions concerning the aforementioned, please do not hesitate to call 302 856-7219.

Sincerely,

Jessica Watson

Jessica Watson
Program Manager

JW/jmg

cc: Janelle Cornwell

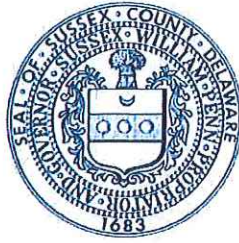
RECEIVED

JAN 23 2020

SUSSEX COUNTY
PLANNING & ZONING

ENGINEERING DEPARTMENT

ADMINISTRATION (302) 855-7718
AIRPORT & INDUSTRIAL PARK (302) 855-7774
ENVIRONMENTAL SERVICES (302) 855-7730
PUBLIC WORKS (302) 855-7703
RECORDS MANAGEMENT (302) 854-5033
UTILITY ENGINEERING (302) 855-7717
UTILITY PERMITS (302) 855-7719
UTILITY PLANNING (302) 855-1299
FAX (302) 855-7799



Sussex County

DELAWARE

sussexcountyde.gov

HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

MICHAEL E. BRADY
DIRECTOR OF PUBLIC WORKS

May 27, 2020

Mr. Jeffrey C. Williams, PE
The Kercher Group, Inc.
37385 Rehoboth Ave., Unit 11
Rehoboth Beach, DE 19971

REF: **BLACK HOG VILLAGE
SUSSEX COUNTY UNIFIED SANITARY SEWER DISTRICT – WEST
REHOBOTH AREA
SUSSEX COUNTY TAX MAP NUMBERS 334-5.00-76.00 – CLASS-1
AGREEMENT NO. 1138**

Dear Mr. Williams:

The above referenced project was approved on May 20, 2020 and one (1) set of the approved plans are enclosed. This approval is valid for three (3) years, unless prior to expiration of that three (3) year period, a time extension is requested and approved by the Department. Plans granted an extension beyond the three (3) period will be required to meet updated standards and specifications.

Also, it is your responsibility to secure approvals and/or permits that may be required by other regulatory agencies.

Please contact Mr. Keith Bryan in the Department's Division of Utility Engineering to initiate pre-construction procedures for sanitary sewer.

Should you have any questions, please do not hesitate to contact me.

Sincerely,

SUSSEX COUNTY ENGINEERING DEPARTMENT

Chris Calio
Planning Technician

cc: Mr. Keith Bryan, w/2 enclosures
Owner/Developer



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 589
GEORGETOWN, DELAWARE 19947



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

December 10, 2019

Mr. John Murray
Kercher Engineering Inc.
37385 Rehoboth Ave Unit #11
Rehoboth Beach, Delaware 19971

SUBJECT: Entrance Plan Approval Letter
Activ Pest Solutions
Tax Parcel #334-5.00-76.00
SCR266-NEW ROAD
Lewes & Rehoboth Hundred, Sussex County

RECEIVED

JAN 23 2020

SUSSEX COUNTY
PLANNING & ZONING

Dear Mr. Murray:

The Department of Transportation has reviewed the Commercial Entrance Plans dated February 6, 2019 (last revised December 3, 2019) for the referenced project and determined that they are in general conformance with the Department's current regulations, specifications and standard details. By signing and sealing the plan set, the developer's engineer is responsible for accuracy of content. Any errors, omissions or required field changes will be the responsibility of the developer. This plan approval shall be valid a period of **three (3) years**. If an entrance permit has not been obtained within three years, then the plans must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. The following items will be required prior to the permit being issued. A pre-construction meeting may be required as determined by the South District Public Works office.

1. A copy of the recorded Site Plan which is consistent with the DelDOT "No Objection to Recordation" stamped plan and all appropriate signatures, seals, plot book and page number.
2. Three (3) copies of the approved entrance plans.
3. Completed permit application.
4. Executed agreements (i.e. construction, signal, letter).
5. An itemized construction cost estimate.
6. A 150% security based upon an approved itemized construction cost estimate and W-9 form (if providing escrow).
7. A letter of source of materials, work schedule, list of subcontractors, emergency telephone numbers and names of contact persons.



Activ Pest Solutions
Mr. Murray
Page 2
December 10, 2019

Please contact the South District Public Works office (302) 853-1340 concerning any questions you may have relative to the aforementioned required items.

Sincerely,



Susanne K. Laws
Sussex County Review Coordinator
Development Coordination

cc: John Murray, Kercher Engineering Inc.
Janelle Cornwell, Sussex County Planning & Zoning Commission
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Gemez Norwood, South District Public Work Manager
James Argo, South District Subdivision Manager
William Kirsch, South District Entrance Permit Supervisor
Jerry Nagyiski, Safety Officer Supervisor
Peter Haag, Chief of Traffic Engineering
Jennifer Pinkerton, Chief Materials & Research Engineer
Linda Osiecki, Consistency Control Engineer
John Fiori, Bicycle Coordinator
Maria Andaya, Pedestrian Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Joseph Ellis, Contech Manager
Jared Kaufman, DTC Planner
James Kelley, JMT
Todd Sammons, Subdivision Engineer
Derek Sapp, Sussex Plan Reviewer



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. Box 778
DOVER, DELAWARE 19903

NICOLE MAJESKI
SECRETARY

March 10, 2021

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

**SUBJECT: Letter of No Objection to Recordation
Black Hog Village**
Tax Parcel # 334-5.00-76.00, 334-5.00-80.01
New Road (SCR266)
Lewes & Rehoboth Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Site Plan, dated June 28, 2018 (last revised March 02, 2021), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawings. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Site Plan is not recorded prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. Entrance plans shall be developed in accordance with DelDOT's [Development Coordination Manual](#) and submitted to the Development Coordination Section for review and approval.

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized.

Black Hog Village
Mr. Jamie Whitehouse
Page 2
March 10, 2021

There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

If I can be of any further assistance, please call me at (302) 760-2266.

Very truly yours,



R. Stephen McCabe
Sussex County Review Coordinator
Development Coordination

cc: Harold Dukes, Harold E. Dukes, Jr.
John Murray, The Kercher Group
William Kirsch, South District Entrance Permit Supervisor
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Matt Schlitter, South District Public Works Engineer
Scott Rust, South District Public Work Manager
James Argo, South District Project Reviewer
William Kirsch, South District Entrance Permit Supervisor
Jennifer Pinkerton, Chief Materials & Research Engineer
Kerry Yost, Traffic Calming & Subdivision Relations
Linda Osiecki, Pedestrian Coordinator
John Fiori, Bicycle Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kauffman, DTC Planner
James Kelley, JMT
Wendy L. Polasko, Subdivision Engineer
Derek Sapp, Subdivision Manager, Development Coordination



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2019-04-200917-MJS-01
Status: Approved as Submitted

Tax Parcel Number: 334-5.00-76.00
Date: 07/05/2019

Project

Activ Pest Control (MJS)
Nassau Station LLC Property

16861 New Road
Lewes DE 19958

Scope of Project

Number of Stories:
Square Footage:
Construction Class:
Fire District: 82 - Lewes Fire Dept Inc

Occupant Load Inside:
Occupancy Code: 9680

Applicant

John Murray
37385 Rehoboth Avenue
Rehoboth Beach, DE 19971

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:

Joseph Moran

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2019-04-200917-MJS-01

Tax Parcel Number: 334-5.00-76.00

Status: Approved as Submitted

Date: 07/05/2019

PROJECT COMMENTS

1002 A	This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov . These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
1014 A	Per Fire Flow Table 1, the following occupancies: Storage, Industrial, and Mercantile Shall not exceed 5,000 aggregate gross square footage; and Shall have a minimum setback of 15' from all property lines and 15' setback from exposure hazards on the same property; OR Shall not exceed 10,000 aggregate square footage; and Shall have a minimum setback of 25' from all property lines and 15' setback from exposure hazards on the same property.
1012 A	Per Fire Flow Table 1, the following occupancies: Health Care, Business, and Education Shall not exceed 10,000 aggregate gross square footage; shall not exceed 30" or two stories; and Shall have a minimum setback of 15" from all property lines and 10" setback from exposure hazards on the same property.
1180 A	This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
1190 A	Separate plan submittal is required for the building(s) proposed for this project.
1501 A	If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2019-04-201315-MJS-02

Tax Parcel Number: 334-5.00-76.00

Status: Approved as Submitted

Date: 09/26/2019

Project

Black Hog Village (MJS)

16861 New Road

Nassau Station LLC Property

Lewes DE 19958

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 82 - Lewes Fire Dept Inc

Occupant Load Inside:

Occupancy Code:

Applicant

John Murray

37385 Rehoboth Avenue

Rehoboth Beach, DE 19971

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:

Desiree McCall

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2019-04-201315-MJS-02

Tax Parcel Number: 334-5.00-76.00

Status: Approved as Submitted

Date: 09/26/2019

PROJECT COMMENTS

1002 A This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.

1014 A Per Fire Flow Table 1, the following occupancies: Storage, Industrial, and Mercantile Shall not exceed 5,000 aggregate gross square footage; and Shall have a minimum setback of 15' from all property lines and 15' setback from exposure hazards on the same property; OR Shall not exceed 10,000 aggregate square footage; and Shall have a minimum setback of 25' from all property lines and 15' setback from exposure hazards on the same property.

* MERCANTILE OCCUPANCY

1180 A This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.

1190 A Separate plan submittal is required for the building(s) proposed for this project.

* EACH BUILDING WILL REQUIRE A SEPARATE SUBMITTAL

1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.



May 11, 2020

Mr. Harold Dukes
c/o The Kercher Group, Inc.
37385 Rehoboth Avenue, Unit 11
Rehoboth Beach, DE 19971

RE: Black Hog Village

Dear Mr. Dukes:

A Sediment and Stormwater Management Plan has been reviewed for compliance with the Sediment and Stormwater Regulations and is approved with conditions (see attached). Enclosed herein please find a copy of the approved application form and approved plan sets. Please retain a copy for your use and provide the contractor with a copy to be retained onsite at all times. Failure to keep an approved plan onsite is a violation of the approved plan.

Approval of a Sediment and Stormwater Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.

This plan approval pertains to compliance with the *Delaware Sediment and Stormwater Regulations*. Please understand that the approval of this plan does not relieve you from complying with any and all federal, state, county, or municipal laws and regulations.

As of January 1, 2014, the Sussex Conservation District began collecting financial guarantees to ensure the construction of stormwater management practices is accomplished in accordance with the approved sediment and stormwater plan. Please refer to the SCD Policy on Bonds located on our website at Sussexconservation.org. If you have any questions concerning the aforementioned, please do not hesitate to call 302 856-7219.

Sincerely,

Jessica Watson

Jessica Watson
Program Manager

JW/jmg

cc: Janelle Cornwell

CONDITIONS OF APPROVAL

NOTIFICATION

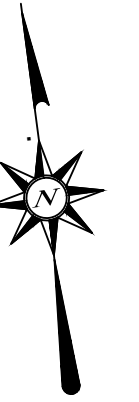
1. This approved plan will remain valid for 5 years from the date of this approval. If construction does not begin within five years, the approved plan will be considered to have expired, and must be resubmitted to the District for a new review. In addition, if work is not completed within the five-year timeframe, the District must be contacted and a request for an extension submitted. Depending on regulation changes, a new plan may need to be submitted to ensure that all stormwater management facilities are constructed to the most recent standards.
2. Submittal of the Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activities together with this approval of the detailed Sediment and Stormwater Plan provide this project with Federal permit coverage to be authorized to discharge storm water associated with construction activities. It is the owner's responsibility to ensure that permit coverage remains valid throughout construction by submitting the NOI fee annually as requested. The developer is responsible for weekly self-inspection reporting to be retained onsite.
3. Notify the Sussex Conservation District Sediment and Stormwater Management Section of your intent to begin construction in writing five (5) days prior to commencing. Failure to do so constitutes a violation of the approved plan.

CHANGES

4. This project is to be undertaken in accordance with the plans submitted and as approved. If changes are necessary at any time during the completion of the project, submit revised plans, prior to further construction, to the Sussex Conservation District Sediment and Stormwater Program for review and approval of the revision.
5. Should ownership change during the construction period, a revised plan must be submitted for approval showing the new owner's signature on the owner's certification. In addition, a Transfer of Authorization form must be submitted to DNREC to transfer Federal permit coverage to the new owner.

CONSTRUCTION AND CLOSEOUT

6. A pre-construction meeting must take place before any land disturbing activity begins. The meeting may take place on site and be attended by the owner, contractor, design consultant, Certified Construction Reviewer and Sussex Conservation District Sediment and Stormwater Program Construction Reviewer. The owner or the owner's designee shall contact the Sussex Conservation Construction Reviewer to schedule the pre-construction meeting.
7. Keep available onsite, during all phases of construction, a copy of the approved Sediment and Stormwater Management Plan.
8. Keep available onsite, during all phases of construction, copies of the Developers weekly self-inspection reports and/or the CCR Reports.
9. Any sediment transported off-site to roads or road rights-of-way including ditches shall be removed. Any damage to ditches shall be repaired and stabilized to original condition.
10. Grading shall not impair surface drainage, create an erosion hazard, or create a source of sediment to any adjacent watercourse or property owner.
11. Failure to implement the permanent stormwater management practices as mentioned herein constitutes a violation of the conditions of this plan approval; it may result in the suspension or revocation of building permits or grading permits issued by the local jurisdiction; and it may result in legal action by the DNREC to bring the site into compliance with the approved Sediment and Stormwater Management Plan and the *Delaware Sediment and Stormwater Regulations*.
12. The permanent stormwater management facility or facilities must be constructed and accepted by the Sussex Conservation District Sediment and Stormwater Program prior to final closeout of the project site. Post construction verification documentation of the stormwater management facility or facilities must be completed as soon as construction of the facility or facilities is complete so that any necessary modifications may be made during the construction period.



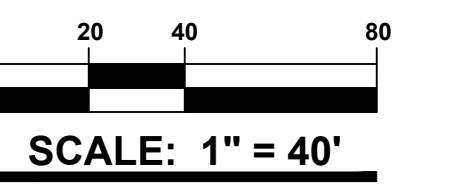
PROJECT TITLE

**BAYHEALTH
ROUTE 9
MOB / FSED**

HUDSON RD. & DE. RT. 9
MILTON, DE 19968
SUSSEX COUNTY

SHEET TITLE

**PRELIMINARY
LANDSCAPE PLAN**



ISSUE BLOCK

MARK	DATE	DESCRIPTION

PROJECT NO.: 2020291.00

DATE: 2021-07-13

SCALE: AS SHOWN

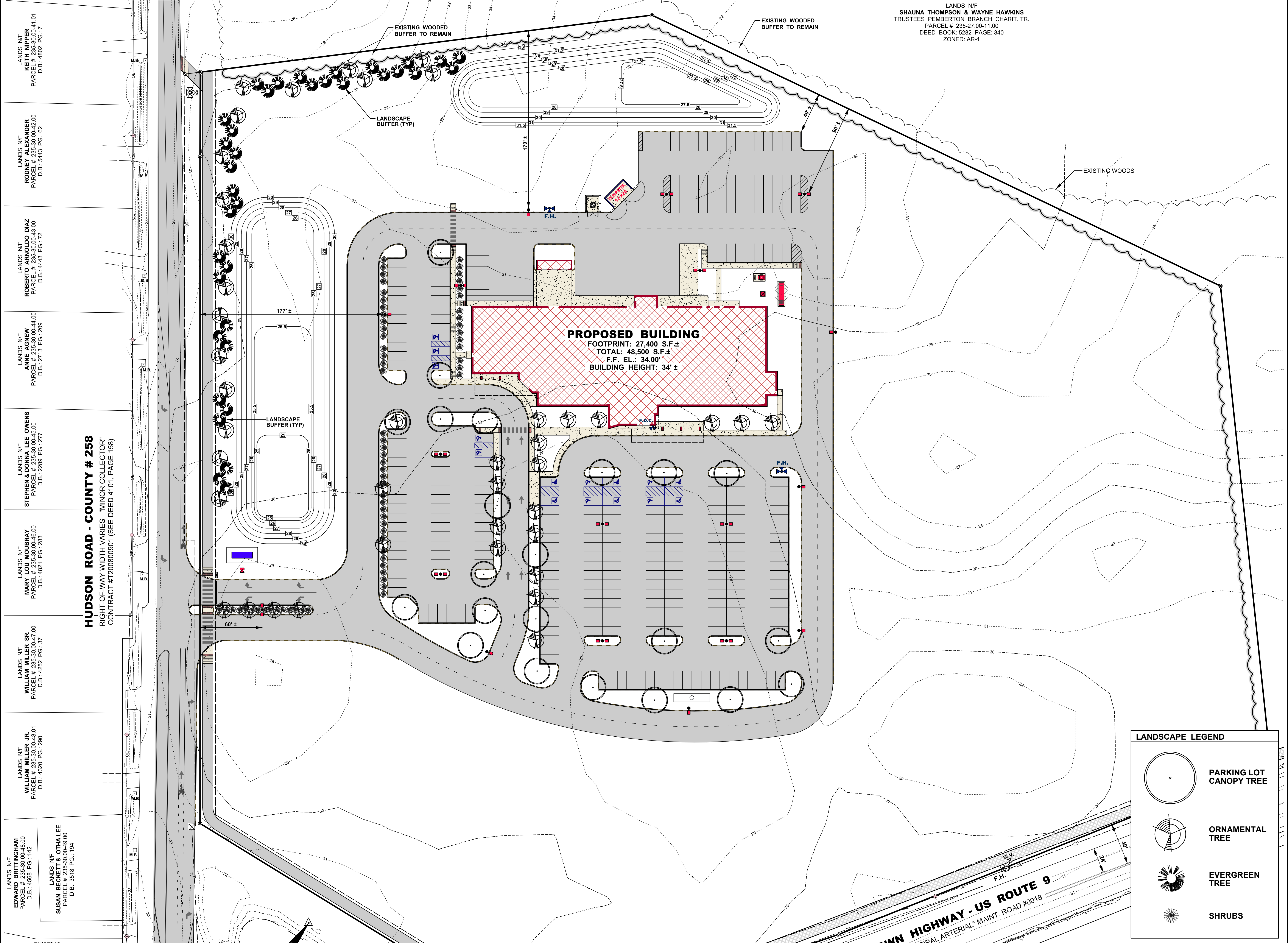
DRAWN BY: C.D.C. PROJ. MGR.: J.S.F.

SHEET

L-001

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LANDS N/F
SHAUNA THOMPSON & WAYNE HAWKINS
TRUSTEES PEMBERTON BRANCH CHARIT. TR.
PARCEL # 235-27.00-11.00
DEED BOOK: 5282 PAGE: 340
ZONED: AR-1



PROPOSED BUILDING
FOOTPRINT: 27,400 S.F.±
TOTAL: 48,500 S.F.±
F.F. EL.: 34.00'
BUILDING HEIGHT: 34' ±

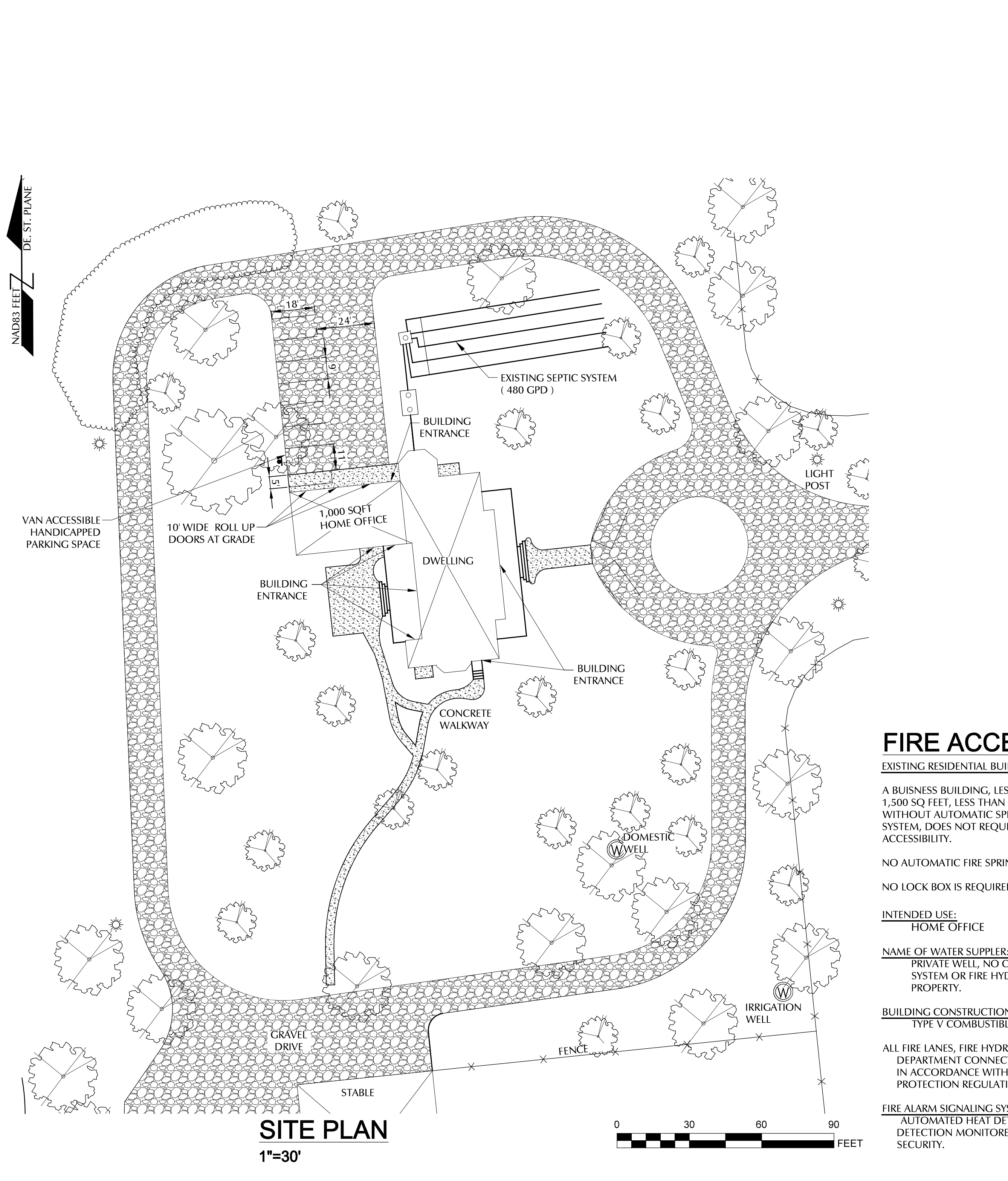
HUDSON ROAD - COUNTY # 258
RIGHT-OF-WAY WIDTH VARIES "MINOR COLLECTOR"
CONTRACT #T20080901 (SEE DEED 4101, PAGE 158)

- LANDS N/F
KEITH W. WEAVER
PARCEL # 235-30.00-41.01
D.B.: 4802 PG.: 7
- LANDS N/F
RODNEY E. WEAVER
PARCEL # 235-30.00-42.00
D.B.: 5443 PG.: 62
- LANDS N/F
ROBERTO ALDO DIAZ
PARCEL # 235-30.00-43.00
D.B.: 4443 PG.: 72
- LANDS N/F
ANDREW
PARCEL # 235-30.00-44.00
D.B.: 2713 PG.: 209
- LANDS N/F
STEPHEN & LEE OWENS
PARCEL # 235-30.00-45.00
D.B.: 2289 PG.: 277
- LANDS N/F
MARY M. WILBRAY
PARCEL # 235-30.00-46.00
D.B.: 4821 PG.: 283
- LANDS N/F
WILLIAM L. LER SR.
PARCEL # 235-30.00-47.00
D.B.: 4232 PG.: 37
- LANDS N/F
WILLIAM L. LER, JR.
PARCEL # 235-30.00-48.01
D.B.: 4320 PG.: 290
- LANDS N/F
EDWARD BRITTINGHAM
PARCEL # 235-30.00-48.00
D.B.: 4588 PG.: 142
- LANDS N/F
SUSAN DEAN & OTHA LEE
PARCEL # 235-30.00-49.00
D.B.: 3518 PG.: 184

ROAD TRAFFIC DATA	
FUNCTIONAL CLASSIFICATION:	CEJAR LANE MINOR COLLECTOR
POSTED SPEED LIMIT:	45 MPH
AADT (2019) VEHICLE VOLUME SUMMARY:	2,965 TRIPS
10 YEAR PROJECTED AADT (1.16 X AADT):	3,318 TRIPS
SITE AADT:	41 TRIPS
10 YEAR PROJECTED + SITE AADT:	3,359 TRIPS
TRAFFIC PATTERN GROUP:	7
PEAK HOUR: 13.70% X (10 YEAR PROJECTED AADT + SITE AADT):	460 TRIPS

SITE TRAFFIC DATA					
SOURCE: ITE TRIP GENERATION MANUAL 10TH EDITION					
DESIGN VEHICLE: SU-40					
TRUCK PERCENTAGE: 5					
ENTRANCE 1 FULL MOVEMENT					
CODE:					
210 SINGLE-FAMILY DETACHED HOUSING (DWELLING UNITS)	1 UNIT	1.00	ADT	(AM PK)	(PM PK)
TOTAL	10		ksf X 9.44	1.00 ksf X 0.76	1.00 ksf X 1
FARM OPERATION (ACTUAL COUNTS)	10		2	4	
8 EMPLOYEES (2.33/EMPLOYEES) - CIVIL ENGINEERING OFFICE (ACTUAL COUNTS)	21		8	8	
TOTAL	41		11	13	

DIRECTIONAL DISTRIBUTION			
50% FROM NORTH 50% FROM SOUTH			
	ADT	(AM PK)	(PM PK)
TOTAL TRIP DISTRIBUTION	41	3	5
	(AM PK)	(PM PK)	
210 SINGLE-FAMILY DETACHED HOUSING (DWELLING UNITS)	26 % ENTERING	74 % EXITING	64 % ENTERING 36 % EXITING



OWNER'S / DEVELOPER'S CERTIFICATION

IT IS HEREBY CERTIFIED THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AS PARCEL #133-3.00-1.00 AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, AND I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN DEVELOPED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

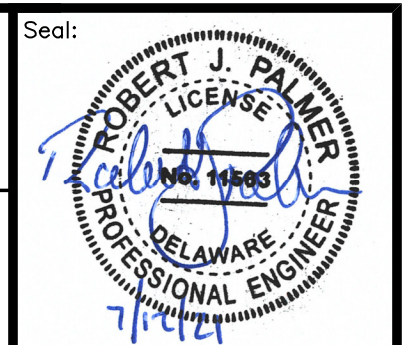
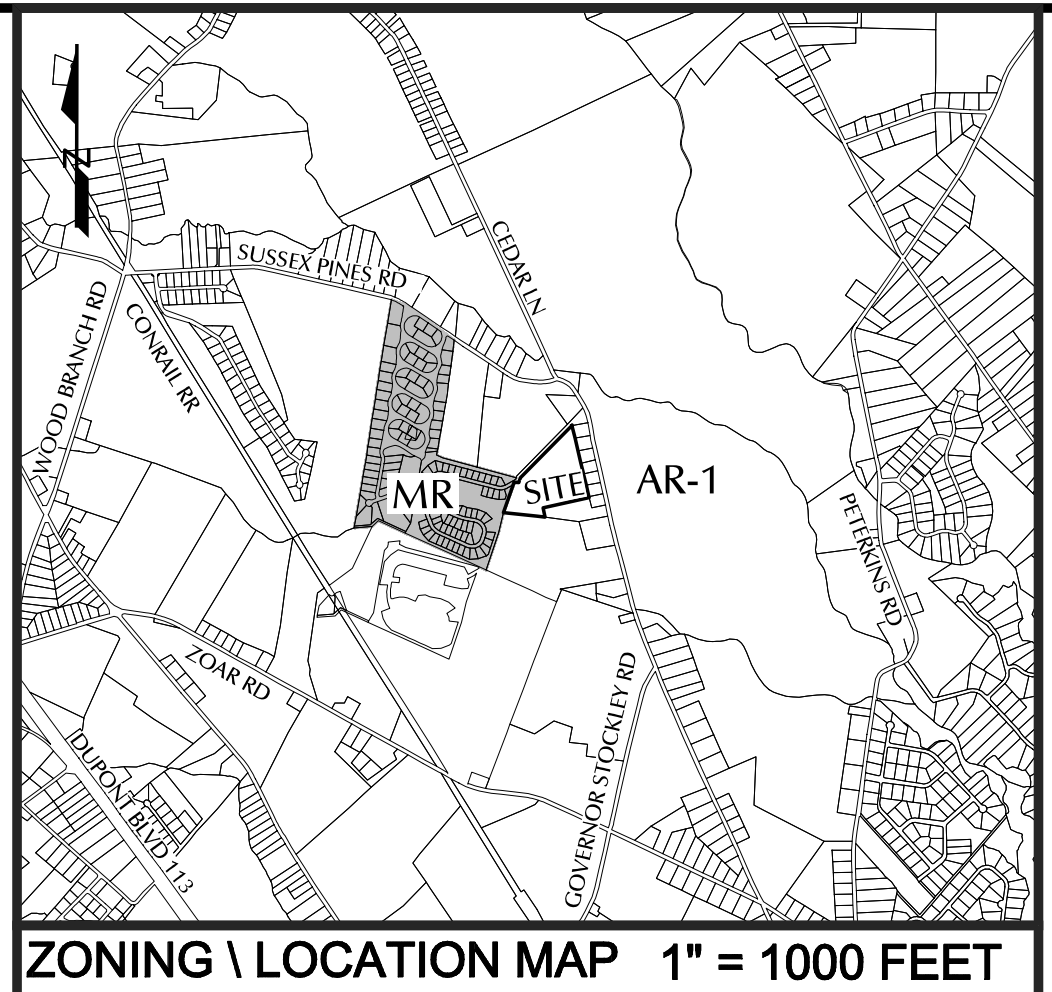
APPLICANT: LAURA M. HUDSON
23318 CEDAR LANE
GEORGETOWN, DELAWARE 19947
PHONE: 302-864-8825
LHUDSON@BEACONENGINEERINGLLC.COM

ENGINEER'S CERTIFICATION

I, ROBERT J. PALMER, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THIS PLAN WAS EITHER PREPARED BY ME OR UNDER MY DIRECTION. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAN COMPLIES WITH THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. MY LICENSE NUMBER IS 11563, AND EXPIRES ON JUNE 30, 2022.

ROBERT J. PALMER, P.E.
BEACON ENGINEERING, LLC
23318 CEDAR LANE
GEORGETOWN, DELAWARE 19947
PHONE: 302-864-8825
RPALMER@BEACONENGINEERINGLLC.COM

7/12/21 DATE



BEACON ENGINEERING LLC
23318 Cedar Lane | Georgetown | Delaware | 19947
302.864.8825 | info@beaconengineeringllc.com

DRAWING INDEX:

- SP1.1 SITE PLAN
- CD1.1 CONSTRUCTION NOTES AND DETAILS

EXISTING LEGEND PROPOSED

EXISTING	LEGEND	PROPOSED	SITE DATA
---	PROPERTY LINE	---	OWNER:
---	RIGHT OF WAY	---	ROBERT J. PALMER / LAURA M. HUDSON
---	EASEMENT	---	23318 CEDAR LANE GEORGETOWN, DELAWARE 19947
---	YARD SETBACKS	---	PHONE: 302-864-8825 LHUDSON@BEACONENGINEERINGLLC.COM
---	TREELINE	---	CONSULTANT:
---	CONTOURS	---	BEACON ENGINEERING, LLC
---	PROPERTY MARKER	---	ROBERT J. PALMER, P.E.
---	IRON ROD AND CAP FOUND	---	23318 CEDAR LANE GEORGETOWN, DELAWARE 19947
---	IRON PIPE FOUND	---	PHONE: 302-864-8825 RPALMER@BEACONENGINEERINGLLC.COM
---	CONCRETE MONUMENT FOUND	---	PROPERTY AND ZONING DATA:
---	IRON PIPE AND CAP FOUND	---	TAX MAP ID: 133-3.00-1.00
---	IRON PIPE FOUND	---	SUSSEX COUNTY SITE PLAN NO.: S-21-16
---	STORM PIPE	---	SUSSEX COUNTY CONDITIONAL USE NO.: CU 2180
---	BUILDING	---	TOTAL DEVELOPMENT AREA: 17.42 AC.
---	PAVING	---	LAT : 38.65910955
---	CONCRETE	---	LONG: -75.34038645
---	GRAVEL	---	23318 CEDAR LANE GEORGETOWN, DELAWARE 19947
			PRIVATE - SEPTIC PRIVATE - WELL

AREA AND BULK REQUIREMENTS:

FRONT YARD:	40'
SIDE YARD:	15'
REAR YARD:	20'
HEIGHT MAX.:	42'
NUMBER OF STORIES:	2

SITE ACCESS: PRIVATE
DEED REFERENCE: DB: 4717 PAGE: 193
STATE STRATEGIES
INVESTMENT LEVEL: 3 AND 4
POSTED SPEED LIMIT: 50
NEAREST TOWN: GEORGETOWN

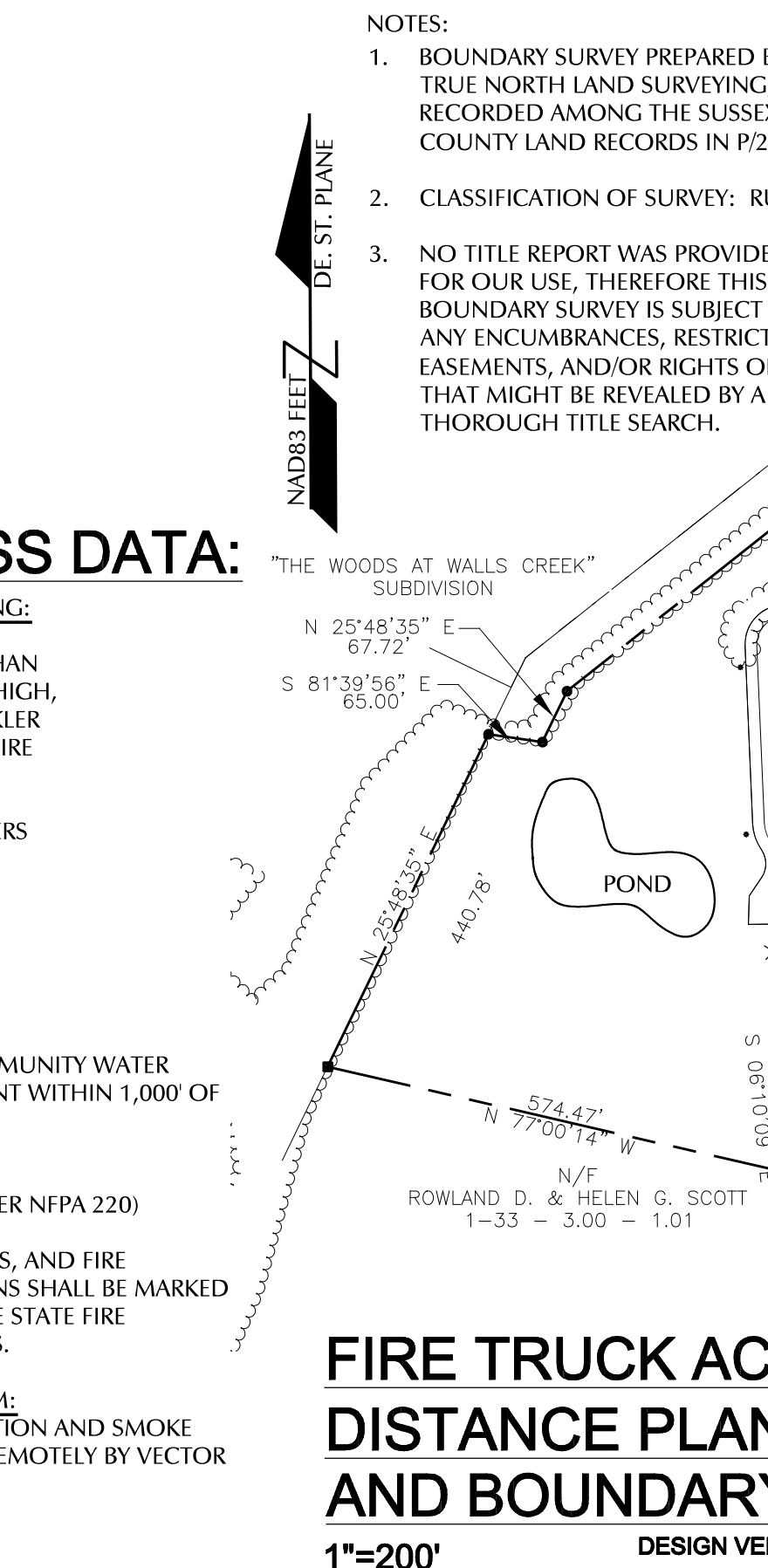
SURVEYOR: TRUE NORTH LAND SURVEYING, INC
DATE OF SURVEY: 2016

LAND USE: AGRICULTURAL
CURRENT USE: AGRICULTURAL AND 1,000 SQFT HOME OFFICE
PROPOSED USE:

ZONING: AR-1

PARKING REQUIREMENTS:	UNIT REQUIREMENT	PARKING REQUIRED	PARKING PROVIDED
1 DWELLING	2 PER FAMILY UNIT	2	2
1,000 SQFT OFFICE	1 PER 200 SQFT	5	7
TOTAL		7	9

EXISTING ENTRANCE PLAN



FIRE ACCESS DATA:

EXISTING RESIDENTIAL BUILDING:

A BUSINESS BUILDING, LESS THAN 1,500 SQ FEET, LESS THAN 35' HIGH, WITHOUT AUTOMATIC SPRINKLER SYSTEM, DOES NOT REQUIRE FIRE ACCESSIBILITY.

NO AUTOMATIC FIRE SPRINKLERS

NO LOCK BOX IS REQUIRED

INTENDED USE: HOME OFFICE

NAME OF WATER SUPPLY: PRIVATE WELL, NO COMMUNITY WATER SYSTEM OR FIRE HYDRANT WITHIN 1,000' OF PROPERTY.

BUILDING CONSTRUCTION: TYPE V COMBUSTIBLE (PER NFPA 220)

ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PROTECTION REGULATIONS.

FIRE ALARM SIGNALING SYSTEM: AUTOMATED HEAT DETECTION AND SMOKE DETECTION MONITORED REMOTELY BY VECTOR SECURITY.

Date:	7/12/2021
By:	BAS
Revision:	DELDOT COMMENTS

BEACON ENGINEERING, LLC
COWBRIDGE-MILLSBORO POND WATERSHED,
DAGSBORO HUNDRED, SUSSEX COUNTY,
DELAWARE TAX MAP # 133-3.00-1.00

SITE PLAN

Date:	JUNE 4, 2021
Scale:	1" = 100'
Dwn. By:	BAS/SKM
Proj. No.:	PAL01-02
Dwg. No.:	SP1.1

DELDOT CONSTRUCTION / ENTRANCE PLAN GENERAL NOTES

REVISION DATE: 03/12/2021

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- ALL MATERIALS AND WORKMANSHIP WITHIN THE STATE OF DELAWARE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CURRENT STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SUPPLEMENTAL SPECIFICATIONS, STANDARD CONSTRUCTION DETAILS, SPECIAL PROVISIONS, PAS MANUAL AND DESIGN GUIDANCE MEMORANDUMS.
- ALL DISTURBED AREAS WITHIN THE STATE RIGHT-OF-WAY, BUT NOT IN THE PAVEMENT, SHALL BE TOP-SOILED (6" MINIMUM), FERTILIZED, SEEDED AND MULCHED. IF SOD IS USED NEXT TO SIDEWALK OR SHARED-USE PATH, CONTRACTOR SHALL GRADE TOPSOIL ADJACENT TO THE SIDEWALK OR SHARED-USE PATH PRIOR TO PLACEMENT OF SOD TO ENSURE THAT SOD IS PLACED FLUSH OR JUST BELOW EDGE OF SIDEWALK OR SHARED-USE PATH TO AVOID WATER PONDING ON THE SIDEWALK OR SHARED-USE PATH.
- A 72-HOUR (MINIMUM) NOTICE SHALL BE GIVEN TO THE DELDOT DISTRICT PERMIT SUPERVISOR PRIOR TO STARTING ENTRANCE CONSTRUCTION.
- MISS UTILITY OF DELAWARE SHALL BE NOTIFIED THREE (3) CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
- AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR, ANY DAMAGED, NON-COMPLIANT OR MISSING CURB OR SIDEWALK FOUND ON SITE WILL NEED TO BE REPAIRED OR REPLACED TO MEET CURRENT DELDOT STANDARDS.
- ALL SIGNING, STRIPING AND MAINTENANCE OF TRAFFIC IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL FOLLOW THE GUIDELINES SHOWN IN THE DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (DELAWARE MUTCD) FOR STREETS AND HIGHWAYS (LATEST EDITION AT THE DATE OF THE ENTRANCE PERMIT APPROVAL). THE DEVELOPER OR PROPERTY OWNERS SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL SIGNS INSTALLED AS PART OF THIS PROJECT.
- PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE DELDOT INSPECTOR.
- A COPY OF THE UP-TO DATE APPROVED CONSTRUCTION DOCUMENTS AND DELDOT APPROVAL LETTERS SHALL BE MAINTAINED ON THE PROJECT SITE AT ALL TIMES AND BE AVAILABLE FOR INSPECTION BY DELDOT PERSONNEL.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN

- CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. THESE DISTURBED AREAS SHALL BE TOP-SOILED (6" MINIMUM), FERTILIZED, SEEDED AND MULCHED. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH THE DEVELOPMENT COORDINATION MANUAL.
- DELDOT WILL NOT PROVIDE THE RESPECTIVE LOCAL LAND USE AGENCY WITH A "NO OBJECTION TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY NOTICE" UNTIL THE ENTRANCE(S) ARE COMPLETED TO THE SATISFACTION OF THE DEPARTMENT.
 - DESIGN, FABRICATION AND INSTALLATION OF ALL PERMANENT SIGNING SHALL BE AS OUTLINED IN THE LATEST VERSION OF THE DELAWARE MUTCD.
 - DESIGN AND INSTALLATION OF ALL PAVEMENT MARKINGS AND STRIPING SHALL BE AS OUTLINED IN THE LATEST VERSION OF THE DELAWARE MUTCD. FOR FINAL PERMANENT PAVEMENT MARKINGS:
 - EPOXY RESIN PAINT SHALL BE REQUIRED FOR LONG LINE STRIPING.
 - THERMO PLASTIC (EXTRUDED OR PREFORMED MATERIAL) WILL BE REQUIRED ON ASPHALT SURFACES, FOR SHORT LINE STRIPING, I.E. SYMBOLS/LEGENDS.
 - PERMANENT PAVEMENT MARKING TAPE (PER DELDOT'S APPROVED MATERIALS LIST) WILL BE REQUIRED ON CONCRETE SURFACES, FOR SHORT LINE STRIPING, I.E. SYMBOLS/LEGENDS.
 - REMOVAL OF PAVEMENT MARKING PAINT OR TAPE SHALL COMPLY WITH SECTION 5.11.2 OF THE DEVELOPMENT COORDINATION MANUAL.
 - BREAKAWAY POSTS SHALL BE USED WHEN INSTALLING ALL SIGNS. REFERENCE DELDOT'S STANDARD CONSTRUCTION DETAILS, SECTION VIII - TRAFFIC, T-15.
 - ALL FIXED OBJECTS ARE TO BE A MINIMUM OF 10-FEET FROM THE EDGE OF TRAVEL LANE AND 5-FEET FROM THE EDGE OF PAVEMENT. REFERENCE SECTION 5.5.5 OF THE DEVELOPMENT COORDINATION MANUAL. ANY FIXED OBJECT THAT DOES NOT MEET THIS REQUIREMENT SHALL BE RELOCATED.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL PAVING WITHIN THE STATE OF DELAWARE RIGHT-OF-WAY IS INSTALLED TO THE ELEVATIONS SHOWN AND NO PONDING OF WATER EXISTS AFTER PAVING IS COMPLETE.
 - ALL STORM DRAIN PIPING DESIGNATED AS REINFORCED CONCRETE PIPE IS TO BE REINFORCED CONCRETE PIPE, MEETING AASHTO M-170 SPECIFICATIONS. SEE PLANS FOR SPECIFIC CLASS OF PIPE.
 - ALL SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM STANDARD T-99 DRY DENSITY.

TEMPORARY TRAFFIC CONTROL NOTES

REVISION DATE: 03/25/2019

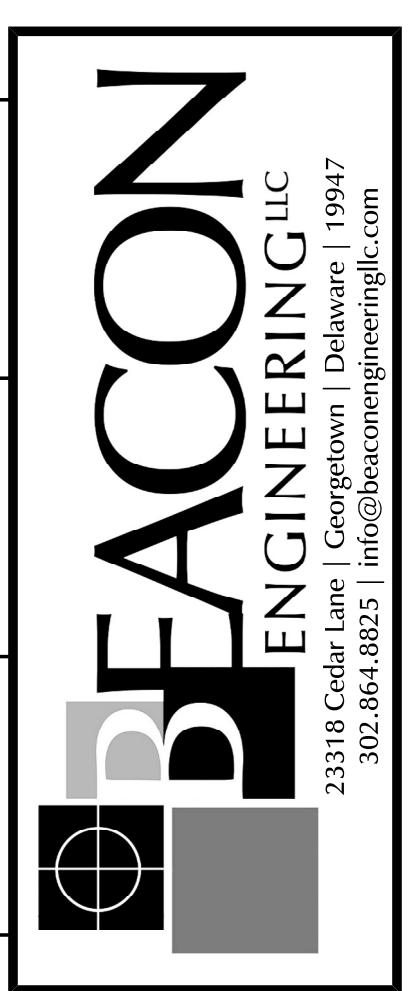
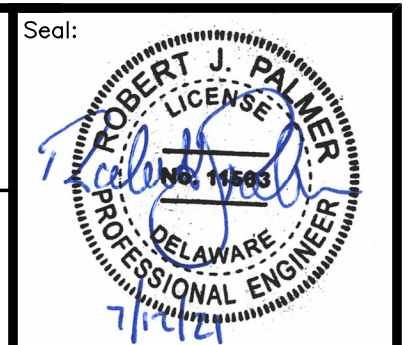
- ALL TEMPORARY TRAFFIC CONTROL AND TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH: THE CONTRACT DOCUMENTS, THE LATEST VERSION OF THE DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (HEREINAFTER REFERRED TO AS THE "DELAWARE MUTCD"), CURRENT STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND SUPPLEMENTAL SPECIFICATIONS, INCLUDING ALL REVISIONS AS OF THE DATE OF THE ENTRANCE PERMIT APPROVAL.
- THE DEPARTMENT RESERVES THE RIGHT TO STOP THE CONTRACTOR'S OPERATIONS, IF, IN THE OPINION OF THE DEPARTMENT'S REPRESENTATIVE, THE CONTRACTOR'S OPERATIONS ARE NOT IN COMPLIANCE WITH THE DELAWARE MUTCD, THE SPECIFICATIONS OR THE PLANS OR IF THE CONTRACTOR'S OPERATIONS ARE DEEMED UNSAFE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE TRANSPORTATION MANAGEMENT CENTER IS NOTIFIED EACH AND EVERY DAY WHEN WORK IS BEING PERFORMED IN STATE RIGHT-OF-WAY. THE CONTRACTOR SHALL IDENTIFY THE TYPE OF WORK, ANY LANE(S) OR SHOULDER(S) CLOSED, THE LENGTH OF TIME FOR WORK, WHEN THE LANE RESTRICTIONS ARE IN PLACE AND WHEN LANE RESTRICTIONS ARE LIFTED, CONTACT PERSON/PHONE NUMBER AND STATE INSPECTOR. THE TRANSPORTATION MANAGEMENT CENTER CAN BE REACHED AT (302) 659-4600.
- ALL PAVEMENT MARKINGS THAT ARE NO LONGER IN USE AND CONFLICT WITH TEMPORARY PAVEMENT MARKINGS SHALL BE REMOVED AND COMPLETELY OBLITERATED BY A METHOD APPROVED BY THE ENGINEER. PAINTING OVER THE CONFLICTING PAVEMENT MARKINGS WILL NOT BE ACCEPTED AS A METHOD OF REMOVAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE LOCAL 911 CENTER, LOCAL SCHOOLS AND DELDOT COMMUNITY RELATIONS OF ALL ROADS AND LANES TO BE CLOSED A MINIMUM OF SEVEN (7) CALENDAR DAYS BEFORE THE CLOSURE.
- ALLOWABLE LANE CLOSURE HOURS SHALL BE IN ACCORDANCE WITH P.I. NUMBER C-09, PLANNED LANE RESTRICTION AND ROAD CLOSURE POLICY, UNLESS DIRECTED OTHERWISE BY DELDOT TRAFFIC SAFETY.
- THE CONTRACTOR SHALL PROVIDE PEDESTRIAN MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH THE DELAWARE MUTCD DURING CONSTRUCTION ACTIVITIES THAT IMPACT EXISTING PEDESTRIAN FACILITIES.
- ACCEPTABLE MATERIALS FOR TEMPORARY PEDESTRIAN PATHS SHALL INCLUDE CONCRETE, HOT-MIX, COMPACTED MILLINGS OR PLYWOOD WALKWAY STRUCTURE. PLYWOOD WALKWAY STRUCTURES SHALL ALSO INCLUDE DETECTABLE EDGING AND RAILINGS IN ACCORDANCE WITH ADA GUIDELINES AND THE DELAWARE MUTCD. STONE OR GRADED AGGREGATE BASE COURSE SHALL NOT BE USED FOR TEMPORARY PEDESTRIAN PATHS.
- ALL STORAGE OF EQUIPMENT AND MATERIAL SHALL COMPLY WITH THE DELAWARE MUTCD, SECTION 6G.21.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF EXISTING PAVEMENT WITHIN THE PROJECT LIMITS FOR THE DURATION OF THE CONTRACT OR AS DIRECTED BY THE ENGINEER.

NOTES

- THE APPLICANT ACKNOWLEDGES AND ACCEPTS ADDITIONAL REQUIREMENTS MAY NEED TO BE CONSTRUCTED IN THE STATE OF DELAWARE RIGHT-OF-WAY TO PROMOTE THE SAFETY AND FUNCTIONALITY OF THE APPLICANT'S NEW COMMERCIAL ENTRANCE FACILITY. THESE CHANGES MAY BE ADDRESSED AS FIELD CHANGES AND COULD INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING ITEMS: SIGN RELOCATION OR PLACEMENT, STRIPING REMOVAL, ADDITIONAL STRIPING, ADDITIONAL PAVING/REPAIRS AND ADDITIONAL TRANSPORTATION FACILITY REPAIRS OR UPGRADES. FURTHER THE APPLICANT AGREES TO ADHERE TO ALL MAINTENANCE OF TRAFFIC REQUIREMENTS THAT WILL BE OUTLINED IN THE PRE-CONSTRUCTION MEETING.
- USE PIPE MATERIALS AS SPECIFIED IN DELDOT DESIGN GUIDANCE MEMORANDUM NUMBER 1-20. THE LONGITUDINAL SLOPE FROM THE ENTRANCE PAVEMENT TO THE TOP OF THE PIPE SHALL BE 6:1. THE MINIMUM PIPE SIZE SHALL BE 15".
- WHEN AN ASPHALT PAVEMENT SECTION IS PROPOSED, THE EXISTING FRONTAGE ROAD PAVEMENT SHALL BE SAWCUT 1' INSIDE THE EDGE OF PAVEMENT. THE TIE-IN SHALL BE DONE PER THE ASPHALT PAVEMENT TIE-IN DETAIL.
- IF STORMWATER RUNOFF FROM A SITE DOES NOT DISCHARGE INTO STATE RIGHT-OF-WAY DURING PRE-EXISTING CONDITIONS, DELDOT WILL NOT ALLOW THE OUTFLOW TO DISCHARGE INTO THE STATE RIGHT-OF-WAY FOR POST CONDITIONS.

DESCRIPTION OF ENTRANCE LOCATION:

- LOCATE CENTER OF ENTRANCE 75' SOUTH FROM THE NORTHERLY PROPERTY CORNER.
- THE EXISTING 12" CMP DRIVEWAY CULVERT IS TO REMAIN. SHOULD THE DEPARTMENT DETERMINE THAT THE EXISTING 12" CMP DRIVEWAY CULVERT IS FAILING AT THE TIME OF THE PRE-CONSTRUCTION MEETING, THE DEVELOPER SHALL BE RESPONSIBLE FOR ITS REPLACEMENT WITH A 15" RCP CULVERT, AT THEIR SOLE EXPENSE.
- THE PROPOSED ENTRANCE FACILITY SHALL BE GRADED SO THAT DRAINAGE WILL NOT BE DIRECTED INTO STATE RIGHT-OF-WAY AND ONTO CEDAR LANE (SCR 318)

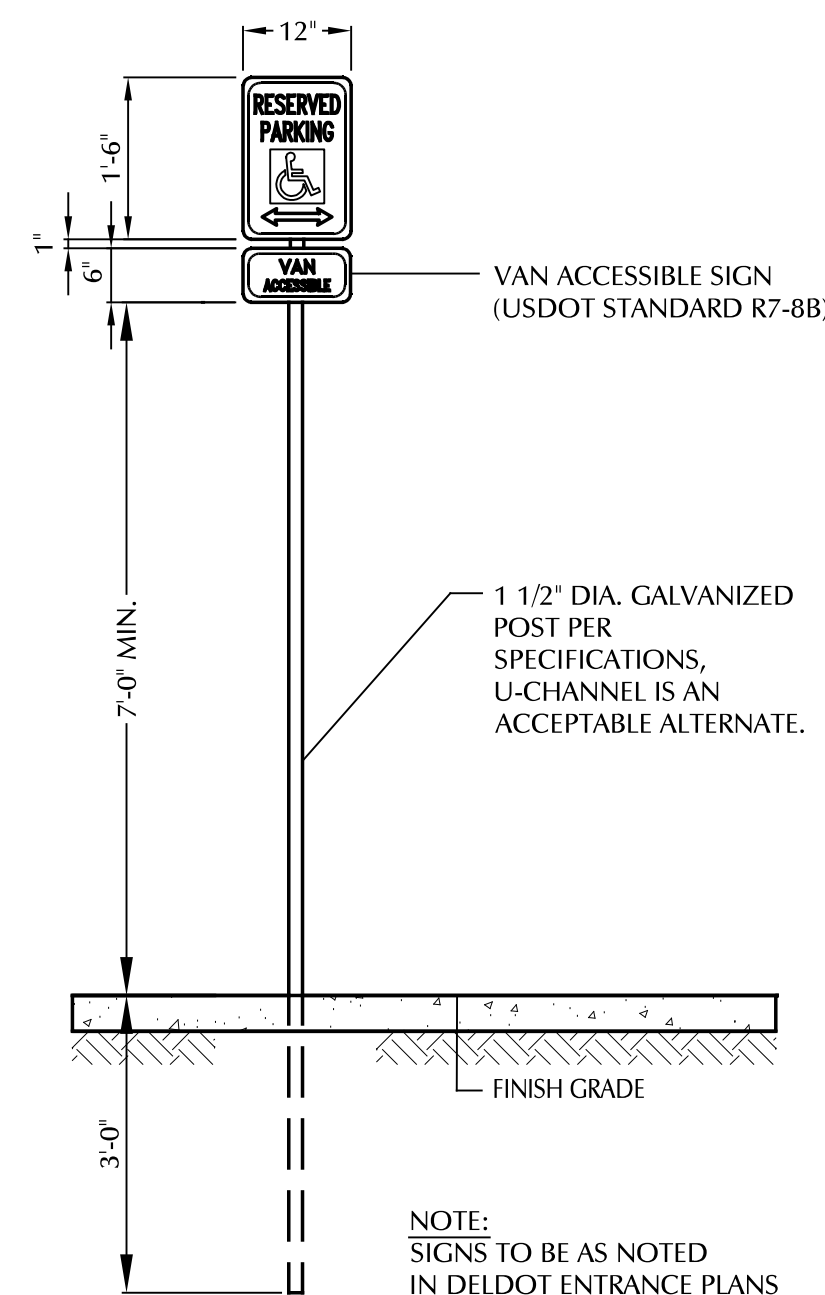


Date:	
By:	
Revision:	

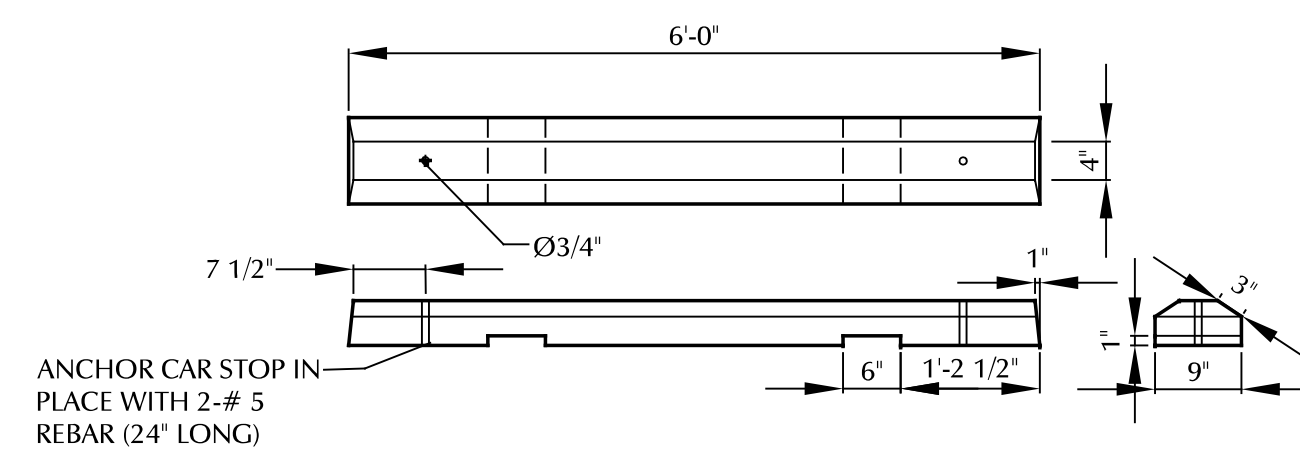


TYPICAL SIGN DETAIL
NOT TO SCALE

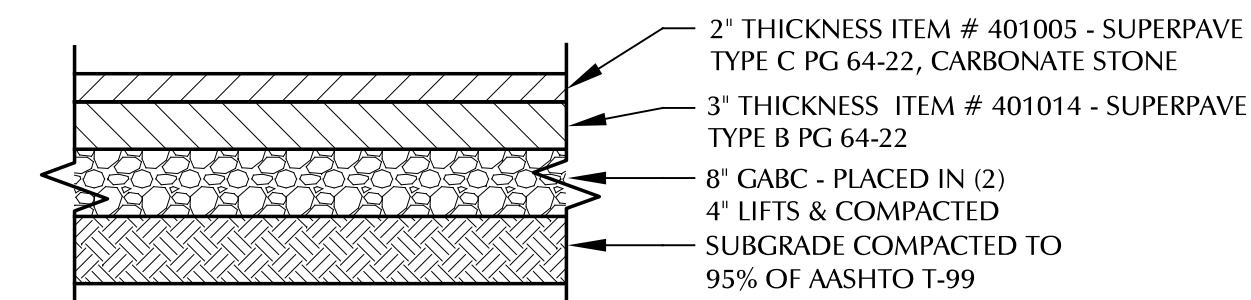
NOTE:
SIGN TO BE INDIRECTLY LIT PER SUSSEX COUNTY SIGN LIGHTING REQUIREMENTS



STREET SIGN DETAIL
NOT TO SCALE

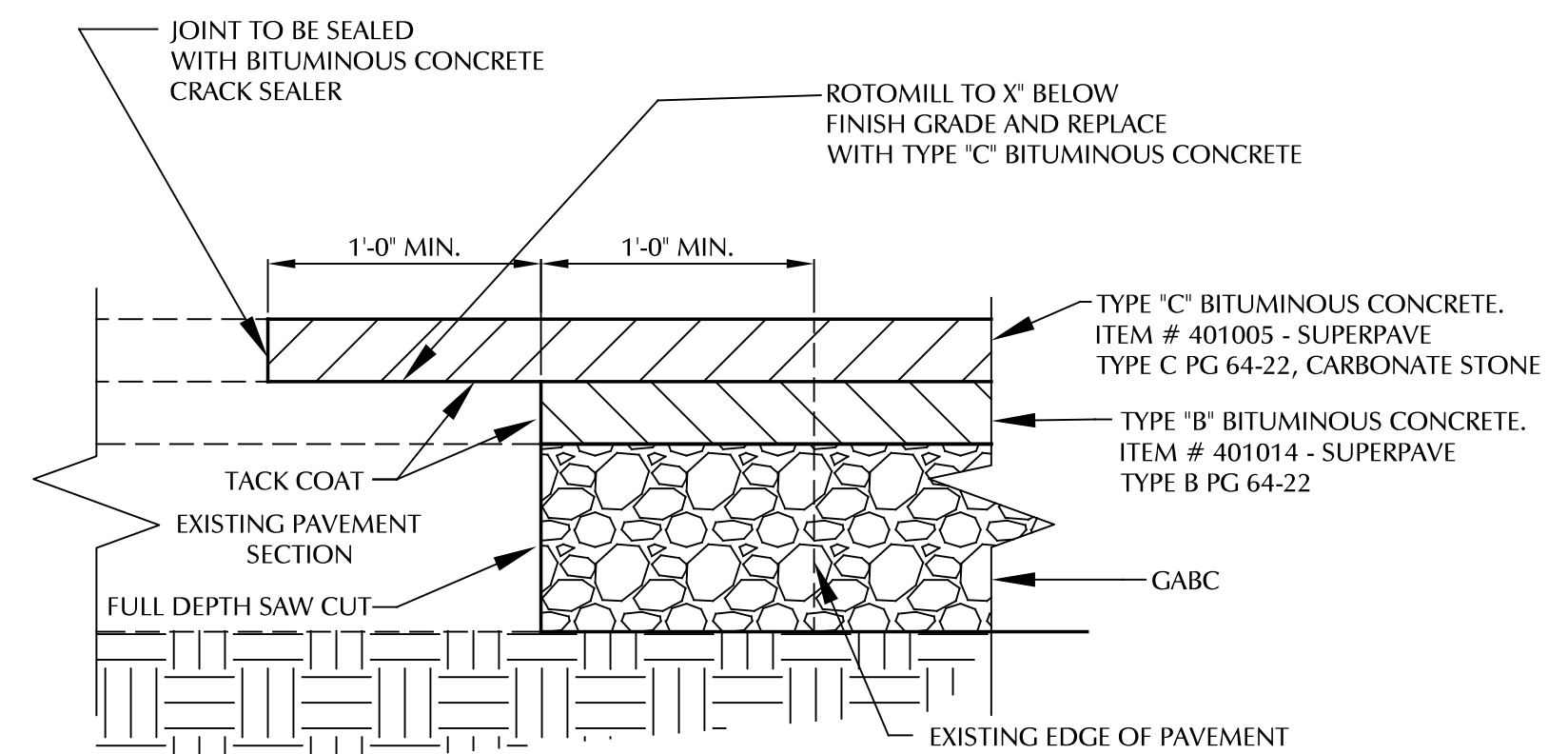


CONCRETE WHEEL STOP DETAIL
NOT TO SCALE



NOTE:
PROVIDE "WARM MIX" PG 64-22 160Gyr
STRUCTURAL NUMBER = 2(0.4)+3(0.4)+8(0.14)=3.12

PAVEMENT SECTION (ENTRANCE)
NOT TO SCALE



TYPICAL PAVEMENT TIE-IN DETAIL
NOT TO SCALE

BEACON ENGINEERING, LLC
COWBRIDGE-MILLSBORO POND WATERSHED,
DAGSBORO HUNDRED, SUSSEX COUNTY,
DELAWARE TAX MAP # 133-3-00-1.00

CONSTRUCTION NOTES AND DETAILS

Date: JULY 2, 2021
Scale: 1" = 100'
Dwn.By: BAS/SKM
Proj.No.: PAL01-02

Dwg.No.: **CD1.1**



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

NICOLE MAJESKI
SECRETARY

July 15, 2021

Mr. Robert Palmer
Beacon Engineering, LLC
23318 Cedar Lane Beacon Engineering, LLC
Georgetown, Delaware 19947

SUBJECT: Authorization to Apply for a Permit for Entrance Construction
Beacon Engineering, LLC
Tax Parcel #133-3.00-1.00, 1.10
Cedar Lane (SCR 318)
Dagsboro Hundred, Sussex County

Dear Mr. Robert Palmer:

The Delaware Department of Transportation (DelDOT) has reviewed your request, dated June 12, 2021, to obtain a Letter of No Contention (LONC) to use an existing commercial building and site entrance for the above referenced project. In coordination with the South District Public Works Office we have determined that your project will require some modifications or enhancements to meet current regulatory requirements. We have therefore determined that this project is eligible to obtain a Permit for Entrance Construction (PEC) to make these modifications. The PEC will include a list of items that must be addressed, as well as requirements for bonding to perform work, where needed, within the State of Delaware right-of-way (ROW). This approval shall be valid for a period of **one (1) year**.

The applicant acknowledges and accepts additional requirements may need to be constructed in the State of Delaware Right-of-Way to promote the safety and functionality of the applicants' entrance facility. These changes may be addressed as 'field changes' and could include but are not limited to the following items: sign relocation or placement, striping removal, additional striping, additional paving/repairs and additional transportation facility repairs or upgrades. Further the applicant agrees to adhere to all Maintenance of Traffic requirements that will be outlined in the Pre-Construction meeting.

Please note: Your Permit for Entrance Construction must be obtained from the South District Public Works Office, before you can start any construction. A pre-construction meeting may be required as determined by the South District Public Works office.

The following conditions are provided with this response letter:

- 1) Site shall have access from the existing entrance located on Cedar Lane (SCR 318).
- 2) Only the modifications/construction or traffic pattern changes that are itemized and authorized under the PEC will be permitted. Please coordinate with the DeIDOT Public Works Office regarding the scope, location and limits of the following items, as well any other items listed in the PEC:
 - a. Pave the existing entrance apron to the limits of existing Right-of-Way per pavement section indicated on the DeIDOT "General Conformity" stamped plan
 - b. The existing frontage road pavement shall be sawcut 1' inside the edge of pavement. The tie-in shall be done per the DeIDOT's asphalt pavement tie-in detail indicated on the DeIDOT "General Conformity" stamped plan
 - c. If stormwater runoff from the site does not discharge into State Right-of-Way during Pre-Existing conditions, DeIDOT will not allow the outflow to discharge into State Right-of-Way for Post Conditions
 - d. The existing 12" CMP driveway culvert is proposed to remain. Should DeIDOT determine that the existing 12" CMP driveway culvert is failing at the time of the Pre-Construction meeting, the Developer shall be responsible for its replacement with a 15" RCP culvert, at their sole expense
- 3) DeIDOT reserves the right to review, modify or revoke this authorization letter and PEC and require additional entrance upgrades in the future if proposed activities create traffic conflicts, safety concerns or operational issues.
- 4) The property owner is responsible to:
 - a. Submit information to DeIDOT, regarding any future operational or site changes, (including but not limited to: rezoning, site layout changes, changes in use, entrance modifications, expanded/additional uses, new uses, etc.). Changes of this nature may alter the flow and/or volume of traffic and could require a new PEC, LONC or formal review for Approvals and/or Permits.
 - b. Establish and maintain clear sight lines at the entrance. There shall be no placement of structures, signs, objects, items for sale or parking of vehicles within State ROW or entrance limits. Shrubbery, Plantings, trees and/or other visual barriers that could obstruct the sight distance of a driver preparing to enter the roadway are prohibited.
- 5) The property owner and applicant are responsible to coordinate with DeIDOT Outdoor Advertising & Roadside Control at (302) 853-1327, for information on obtaining specific permits for sign installation on private property. Permits for Utilities construction within State right-of-way require separate permit applications please contact DeIDOT's South District at (302) 853-1345.

Beacon Engineering, LLC
Mr. Robert Palmer
Page 3
July 15, 2021

The Department would like to thank you for your submittal.

Please contact the South District Public Works office (302) 853-1340 concerning any questions you may have relative to the aforementioned required items.

Sincerely,



R. Stephen McCabe
Sussex County Review Coordinator,
Development Coordination

cc: Jamie Whitehouse, Sussex County Planning & Zoning Commission
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Matt Schlitter, South District Public Works Engineer
Scott Rust, South District Public Works manager
William Kirsch, South District Entrance Permit Supervisor
James Argo, South District Project Reviewer
Wendy L. Polasko, Subdivision Engineer
Brian Yates, Sussex County Reviewer

June 2, 2021

Jamie Whitehouse
Sussex County Engineering Department
2 The Circle – PO Box 589
Georgetown, DE 19947

RE: Letter of No Objection, TM # 1-33-3.00-1.00

Gentlemen:

In response to an inquiry, by Mr. Robert Palmer on June 1, 2021. The Groundwater Discharges Section (GWDS) has **No Objection** to utilize the original septic system with the current plans. The Department has reviewed the calculations of the current plan, which is 40 gallons per day less than the original system design.

This **Letter of No Objection** in no way constitutes approval for any other agency, section, commission or group, other than the GWDS.

If you have any questions, please feel free to contact me at 856-4561.

Sincerely,

Brian Dotterer

Brian Dotterer
Environmental Control Tech III
Groundwater Discharges Section



Transmitted via Email: brian.dotterer@delaware.gov

May 30, 2021

DNREC – Groundwater Discharges Section
21309 Berlin Road
Georgetown, Delaware 19947

Attn: Mr. Brian Dotterer

Re: Septic Permit 158767 – Tax Map 133-3.00-1.00
Septic System Recharacterization
Dagsboro Hundred
Sussex County, Delaware
Project No. PAL01-02(2)

Dear Mr. Dotterer:

Following our discussion from July 2019, I am enclosing demand calculations to demonstrate that recharacterizing the existing system, Permit #158767, to permit use of the system for a proposed home office for Beacon Engineering, LLC. The original home was constructed with 4 bedrooms and a lavatory located in the stables.

When we purchased the property in 2017, we brought with us our home occupation which is Beacon Engineering, LLC. We are the only 2 permanent residents who occupy 1 of the 4 bedrooms. Since the other 3 bedrooms are and will remain vacant, we propose to reallocate a portion of that demand to a planned expansion of our home occupation which would consist of up to 8 full time employees. The enclosed demand calculations consider Laura and I as employees and as the 2 permanent residents. I have elected to double count Laura and me because the projected 40 GPD demand would ordinarily be allocated to an offsite business. Since we live and work on the property, our work demand should be included in the total number of employees, separately from the residential use from occupying 1 bedroom.

During our discussion, you indicated that the lavatory in the stables was incidental to the home and would not be counted in the overall demand calculation. I have conservatively included a demand of 120 GPD for the stables lavatory to account for the 6 boarders that occasionally use that lavatory.

Please note that the office would be located in the main dwelling. No outbuildings are proposed at this time. Should we ever decide to relocate the office to an outbuilding, an alteration to use the existing system application would be filed to document the sanitary connection that would be made.

Mr. Brian Dotterer

May 30, 2021

Page 2 of 2

As you can see from the enclosed calculations, our projected sewer demand would be 440 GPD, nearly 10% less than the design demand. The Sussex County Planning & Zoning Commission has required, as part of a conditional use permit, that Beacon Engineering, LLC demonstrate that the new use of the existing septic system is in harmony with the Delaware Onsite Waste Treatment & Disposal Regulations. Therefore, I respectfully request a letter of no objection be provided from DNREC that the existing system is properly sized to handle the addition of up to 8 employees in an office setting.

Following your review of the enclosed calculations, please let me know if you have any questions.

Regards,

A handwritten signature in blue ink that reads "Robert J. Palmer". The signature is fluid and cursive, with the first name "Robert" and last name "Palmer" clearly legible.

Robert J. Palmer, P.E.
President | Senior Engineer

RJP/lmh

Enclosure



Project: Beacon Engineering, LLC
 Subject: Existing Septic Recharacterization
 Date: 8/1/2019 Revised: _____
 Project Number: PAL01-02(2) Revised: _____
 Tax Map: 133-3.00-1.00

Existing septic system is permitted for a 4-bedroom home under permit 158767.

Design demand = 480 GPD

Proposed Use would be as follows:

Use	Number/Use	Demand/Use (GPD)	Total Demand (GPD)
Bedrooms	1	120	120
Employees	10	20	200
Stables (1-bedroom)	1	120	120
Total			440 GPD

Number of employees includes the 2 permanent residents that occupy the 1-bedroom. The 2 residents are also counted as employees, and are therefore double-counted for the purposes of these calculations.



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2021-04-207360-MJS-01

Tax Parcel Number: 133-3.00-1.00

Status: Approved as Submitted

Date: 06/25/2021

Project

Beacon Engineering LLC

23318 Cedar Lane

Robert Palmer Property

Georgetown DE 19947

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 77 - Georgetown Fire Co Inc

Occupant Load Inside:

Occupancy Code: 9680

Applicant

Robert Palmer
23318 Cedar Lane
Georgetown, DE 19947

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:


John Colpo
Fire Protection Specialist



FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2021-04-207360-MJS-01

Tax Parcel Number: 133-3.00-1.00

Status: Approved as Submitted

Date: 06/25/2021

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1010 A** The following water for fire protection requirements apply: NONE. On-Site Wells Proposed. this site meets Water Flow Table 1. therefore the provisions of NFPA 1142 shall apply to this site (DSFPR Regulation 702, Chapter 6, Section 3). Since wells are proposed for this site, no additional requirements will be made by this Agency for water for fire protection.
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1501 A** If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.



June 24, 2021

Mr. Robert J. Palmer, P.E.
Beacon Engineering, LLC
23318 Cedar Lane
Georgetown, DE 19947

**RE: Beacon Engineering Site Plan S-21-16
No Objection to Conditional Use No. CU2180**

Dear Mr. Palmer,

The Sussex Conservation District has reviewed your submittal on the above referenced project, and we have no objection to the issuance of a conditional use permit.

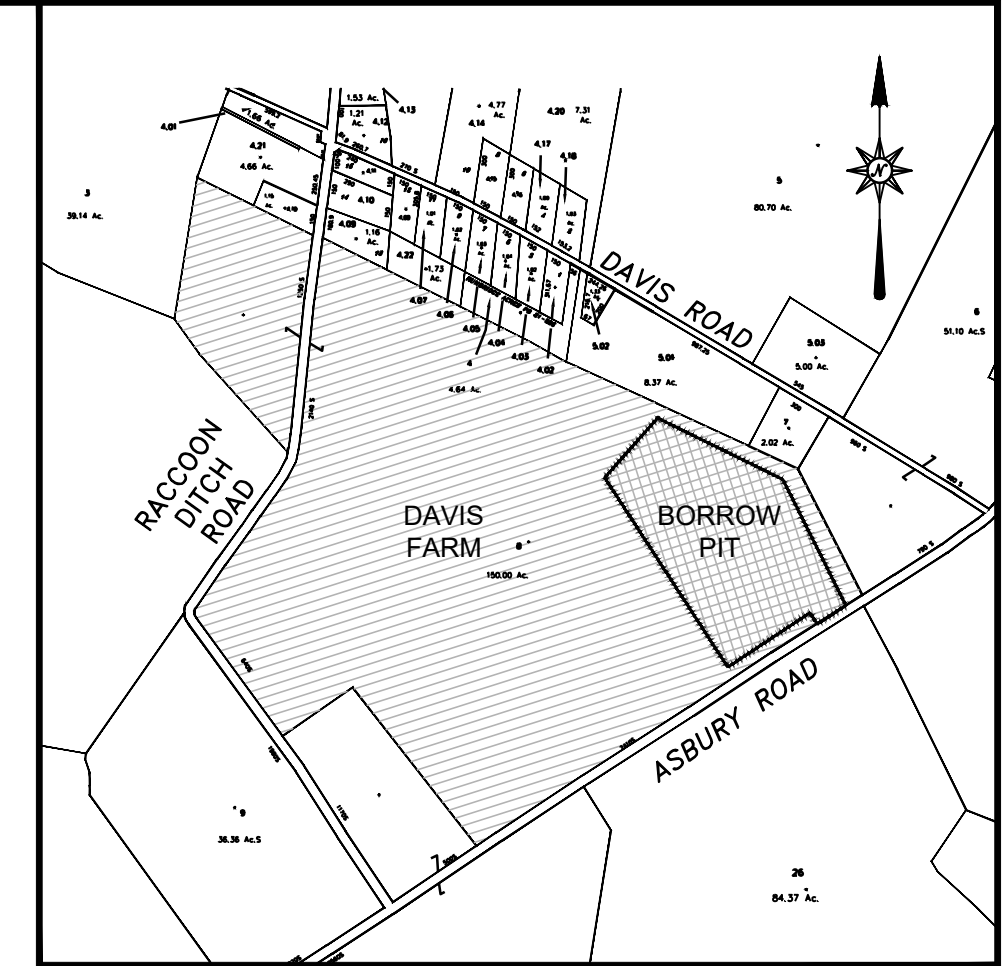
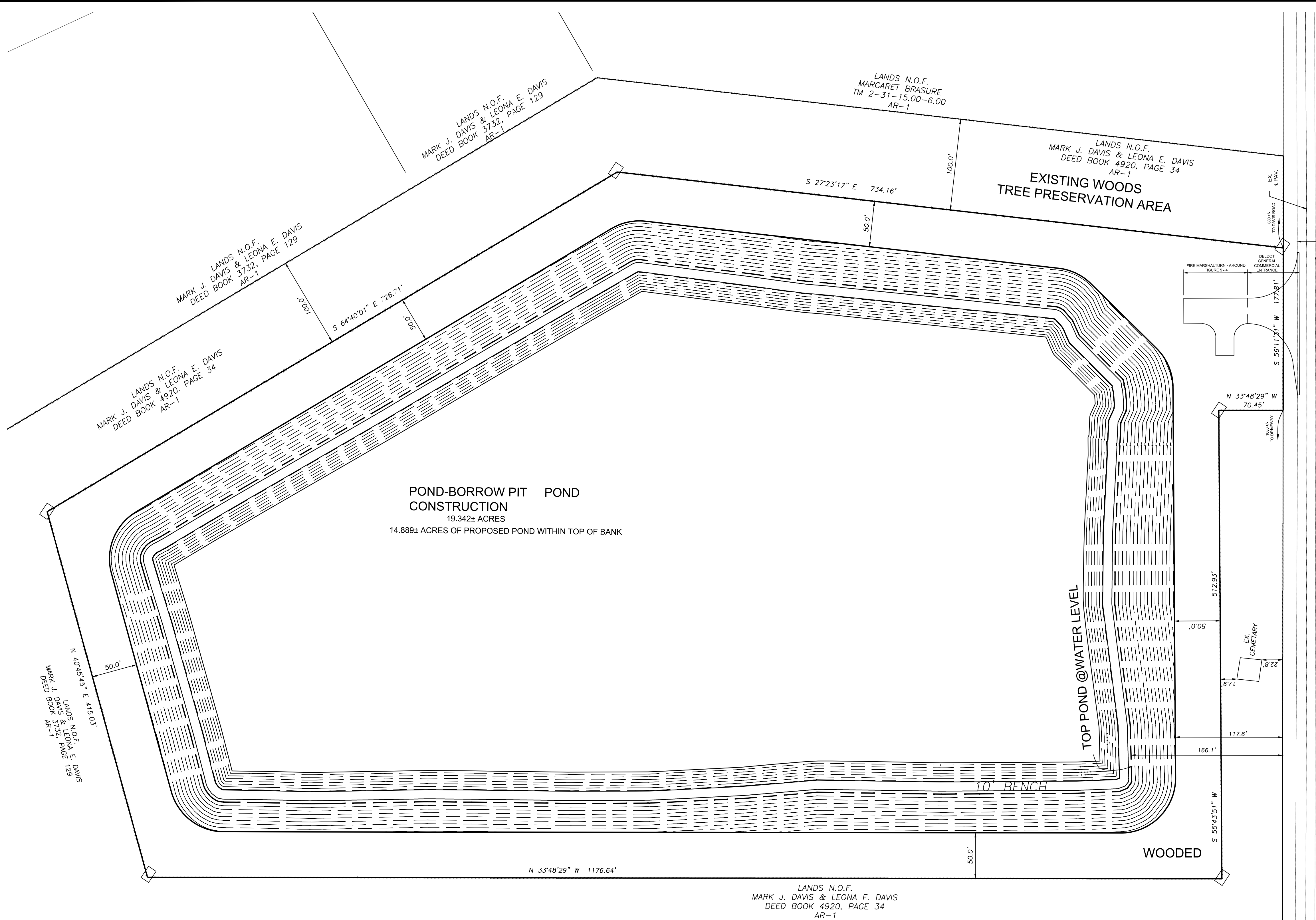
If you have any questions or concerns, please contact the District at 302-856-2105.

Sincerely,

Jessica L. Watson

Jessica L. Watson
Program Manager

CC: Jamie Whitehouse, Planning and Zoning Manager



LOCATION MAP 1" = 1000'

SITE DATA

OWNER: MARK J. DAVIS & LEONA E. DAVIS
 17741 DAVIS ROAD
 GEORGETOWN, DE 19947

TAX PARCEL NO. 231-15-00-8.00
 DEED REF. DB 5358, PG 255
 PARCEL AREA: 150.00 AC +/-
 ZONING: AR-1 (AGRICULTURE RESIDENTIAL)
 CONDITIONAL USE NO. 2227 FOR 19.34 AC +/- 'BORROW PIT'
 (AVERAGE 10 TRUCKS PER DAY)

EXISTING LOTS: 1
 PROPOSED LOTS: 1

September 22nd, 2020, the Sussex County Council approved the Conditional Use application CU 2227 to allow for a borrow pit located at 24294 Asbury Road, Georgetown Tax Parcel: 231-15-00-8.00

This approval has eleven (11) conditions. The Conditional Use shall be substantially underway within three (3) years of the County Council approval otherwise the Conditional Use shall expire. A Final Site Plan showing the conditions of approval shall be reviewed and approved by the Planning Commission prior to commencement of the use of the borrow pit operation. The following are the conditions:

1. This application is for a 19.34 acre borrow pit operation within a 150-acre site.
2. This is the location of a prior borrow pit used by the State of Delaware during the 1960's. A need exists in the area for dirt, sand and gravel, and existing borrow pit sources are becoming depleted. The material removed from this site will be used throughout the County for a variety of residential and commercial uses and road construction.
3. The borrow pit is within a much larger parcel owned by the Applicant that is in Agricultural Preservation. The borrow pit area is not subject to the preservation easement. The preservation area will provide an extensive buffer from the borrow pit operations.
4. The Applicant will provide dust control to keep the area roadways free of dirt and dust from trucks leaving the site.
5. The project, with the conditions and stipulations placed upon it, will not have an adverse impact on traffic or the neighboring properties.
6. As a source of fill dirt and aggregate available to the entire County, the project is essential and desirable for the general convenience, safety and welfare of the current and future residents of the County.
7. The properties near the proposed borrow pit are large parcels that are mainly utilized for agricultural purposes and the nearest dwellings are significantly more than 200 feet from the pit area.
8. The use is subject to approvals from State Agencies including DelDOT, Fire Marshal's Office and DNREC.
9. No parties appeared in opposition to this application.
10. This recommendation for approval is subject to the following conditions and stipulations:
 - a. The conditional use shall comply with all of the requirements of Section 115-1728 of the Sussex County Zoning Code regarding borrow pits.
 - b. No materials shall be brought from off the site for processing, mixing or similar purposes.
 - c. The borrow pit area shall not exceed 20 acres, which includes the 50-foot buffer around the pit area.
 - d. Water or a water truck shall be available to control dust from road traffic when conditions require.
 - e. There shall be a single entrance to the pit. That entrance shall be via Asbury Road and it shall be fenced or gated to prevent unauthorized access.
 - f. Any roadway and entrance improvements required by DelDOT shall be completed by the Applicant.
 - g. Borrow pit operations shall only be between 7:00 a.m. to 5:00 p.m. Monday through Friday and 7:00 am to 2:00 pm on Saturdays. No Sunday hours shall be permitted.
 - h. No materials shall be stored on any access roads or within any buffer area.
 - i. No fuel shall be stored on-site.
 - j. No stumps, branches, debris or similar items shall be buried or placed in the site of the borrow pit.
 - k. Any safety lights shall be downward screened so that they do not shine on neighboring properties or roadways.
 - l. The proposed pit will have a side slope down to a 10 foot level bench, at will be approximately near or 1 foot below the static water surface. Below static water level the borrow pit shall have slopes. The depth of the proposed borrow pit will not exceed 50 feet.
 - m. Permanent concrete markers or signs shall be placed at appropriate locations to designate the boundaries of the subject property and the pit areas. The markers shall be raised and marked so that they are clearly visible to anyone nearing the site.
 - n. A final site plan, including all pit slopes, excavation phasing, and reclamation plans shall be reviewed and approved by the Planning and Zoning Commission prior to the commencement of operations. Reclamation plans shall indicate finished grading, seeding and planting schedules designed to create a pleasing appearance and protect existing and future developments.
 - o. The Applicant shall comply with all State and County erosion and sediment control regulations.
 - p. The borrow pit shall be surrounded by a buffer strip a minimum distance of 100 feet from any street lines, 200 feet from any dwelling of other ownership, and 50 feet from all other property lines of other ownership. The buffer area shall be a vegetated buffer of existing vegetation or native species vegetation.
 - q. This approval shall expire 50 years from the date of approval for the conditional use ordinance.
 - r. The Final Site Plan shall be subject to the review and approval of the Planning and Zoning Commission.
11. The Final Site Plan shall be prepared by a licensed Delaware Surveyor or Engineer and shall contain the conditions of approval on the plan. The Final Site Plan shall be approved prior to the commencement of the use on the property. The Site Plan shall be reviewed and approved by the Planning Commission. Agency approvals include, but are not limited to: DelDOT, Sussex Conservation District, the Office of the State Fire Marshal.

POND-BORROW PIT POND CONSTRUCTION
 19.34± ACRES
 14.889± ACRES OF PROPOSED POND WITHIN TOP OF BANK

ASBURY ROAD
 50' RW
 SCR 446
 FUNCTIONAL CLASSIFICATION: LOCAL
 AADT 1,120
 POSTED SPEED: 40 MPH



PLAN LEGEND

- CONTOUR _____
- BOUNDARY - - - - -
- BELOW WATERLINE CONTOUR _____
- RAISED CONCRETE MONUMENTS/MARKERS ◻

FINAL SITE PLAN FOR DAVIS BORROW PIT
 SITUATE IN: NANTICOKE HUNDRER, SUSSEX COUNTY, DELAWARE

COMMENTS RECEIVED, PLANNING AND ZONING DEPT. 6-14-21 C.A. checked		Karins and Associates ENGINEERS + PLANNERS + SURVEYORS GEORGETOWN, DE & NEWARK, DE www.karinsengineering.com 129 WEST MARKET STREET GEORGETOWN, DELAWARE 19947 PHONE: (302) 858-4331 FAX: (302) 629-2175	
		OWNER: MARK J. DAVIS & LEONA E. DAVIS 17741 DAVIS ROAD GEORGETOWN, DE 19947 302-745-7745	PROPERTY ADDRESS: 24294 ASBURY ROAD GEORGETOWN, DE 19947
SURVEY BY: ADAMS-KEMP DESIGNED BY: CA, JB DRAWN BY: A-K, BR CHECKED BY: CA	SCALE: 1" = 60' 	DATE: 04-22-21 SHEET: 1 OF 1 DRAWING NO.: G1209/S01	COMMENTS RECEIVED, PLANNING AND ZONING DEPT. 6-14-21 C.A. checked

SEED MIX # 1 WETLAND - WATER EDGE

MD Coastal Plain Freshwater OBL Mix
 Mix Composition
 30.0% Carex vulpinoidea, PA Ecotype (Fox Sedge, PA Ecotype)
 15.0% Carex lurida, PA Ecotype (Lurid (Shallow) Sedge, PA Ecotype)
 14.0% Sparganium eurycarpum, PA Ecotype (Giant Bur Reed, PA Ecotype)
 7.0% Carex scoparia, PA Ecotype (Blunt Broom Sedge, PA Ecotype)
 7.0% Scirpus atrovirens, PA Ecotype (Green Bulrush, PA Ecotype)
 5.0% Carex lupulina, PA Ecotype (Hop Sedge, PA Ecotype)
 5.0% Carex squarrosa, VA Ecotype (Squarrose Sedge, VA Ecotype)
 4.0% Verbena hastata, PA Ecotype (Blue Vervain, PA Ecotype)
 3.0% Juncus effusus (Soft Rush)
 2.0% Eupatorium perfoliatum, PA Ecotype (Boneset, PA Ecotype)
 2.0% Helenium autumnale, Northern VA Ecotype (Common Sneezeweed, Northern VA Ecotype)
 2.0% Scirpus cyperinus, PA Ecotype (Woolgrass, PA Ecotype)
 1.0% Asclepias incarnata, PA Ecotype (Swamp Milkweed, PA Ecotype)
 1.0% Carex crinita, PA Ecotype (Fringed (Nodding) Sedge, PA Ecotype)
 1.0% Mimulus ringens, PA Ecotype (Square Stemmed Monkeyflower, PA Ecotype)
 0.5% Ludwigia alternifolia, PA Ecotype (Seedbox, PA Ecotype)
 0.5% Saururus cernuus, NC Ecotype (Lizard's Tail, NC Ecotype)

Seed mix as produced by Ernst Seed co. www.ernstseed.com 800-873-3321
 Item Number: ERNMX-734
 Height: 0.7 - 5.0 Ft
 Seeding Rate: 15 lb per acre

SEED MIXTURE - DISTURBED AREAS - # 2

ERNST SEEDS 800-873-3321
 Pipeline Mix w/Switchgrass

Mix Composition
 33.0% Panicum virgatum, 'Shawnee' (Switchgrass, 'Shawnee')
 25.0% Festuca rubra (Creeping Red Fescue)
 18.0% Lolium multiflorum (Annual Ryegrass)
 16.0% Phleum pratense, Climax (Timothy, Climax)
 5.0% Trifolium hybridum (Alsike Clover)
 3.0% Agrostis alba (Redtop)

General Product Information:
 Designed for areas where wildlife cover is desired without frequent mowing.
 Item Number: ERNMX-102-1
 Product Categories:
 Erosion Control & Revegetation
 Height: 1.0 - 4.3 Ft
 Seeding Rate: 40 lb per acre

All seed shall meet the minimum purity and minimum germination percentages recommended by the Delaware Department of Agriculture. The maximum % of weed seeds shall be in accordance with Section 1, Chapter 24, Title 3 of the Delaware Code.
 Warm season grasses require a soil temperature of at least 50 degrees in order to germinate, and will remain dormant until then

NATIVE GRASS AND PLUG AREA ESTABLISHMENT GUIDELINES

1. Prior to seeding eradicate existing vegetation on undisturbed portions of the site by spraying with glyphosate type herbicide (Round Up OR Rodeo in water sensitive locations)
2. Close mowing two weeks prior to spraying is recommended to stimulate weed growth. A second spray application may be needed to control weed growth.
3. Till under dead weed growth to a minimum depth of 6 inches.
Seeding Method: TRUAX NATIVE SEED DRILL OR EQUAL
4. First mowing: when undesirable vegetation reaches 12"-18" ht., mow to no less than 6". Mowing less than 6" encourages weed species.
5. Second Year: Mow once in the early spring close to the ground to allow ground temperatures to warm quicker and encourage native plant growth.
6. Once established cut to a height of 12" once in the late Winter (LATE MARCH) inspect after large storm events and reseed as needed. Remove invasive plants with spot spraying of or hand removals on a seasonal basis.

PERMANENT MAINTENANCE
 CUT SEED MIX AREAS 1 AND 2 ONCE A YEAR IN LATE MARCH WITH STRING TRIMMERS TO A HEIGHT OF 12" RAKE OFF EXCESS DEAD VEGETATION, AND CLIPPINGS AND COMPOST/ DISPOSE OF OFF SITE. MONITOR MONTHLY FOR INVASIVE PLANTS. REMOVE AS NEEDED DURING THE GROWING SEASON. ENGAGE PROFESSIONALS KNOWLEDGEABLE IN IDENTIFICATION AND ERADICATION OF INVASIVE SPECIES.

200 HP

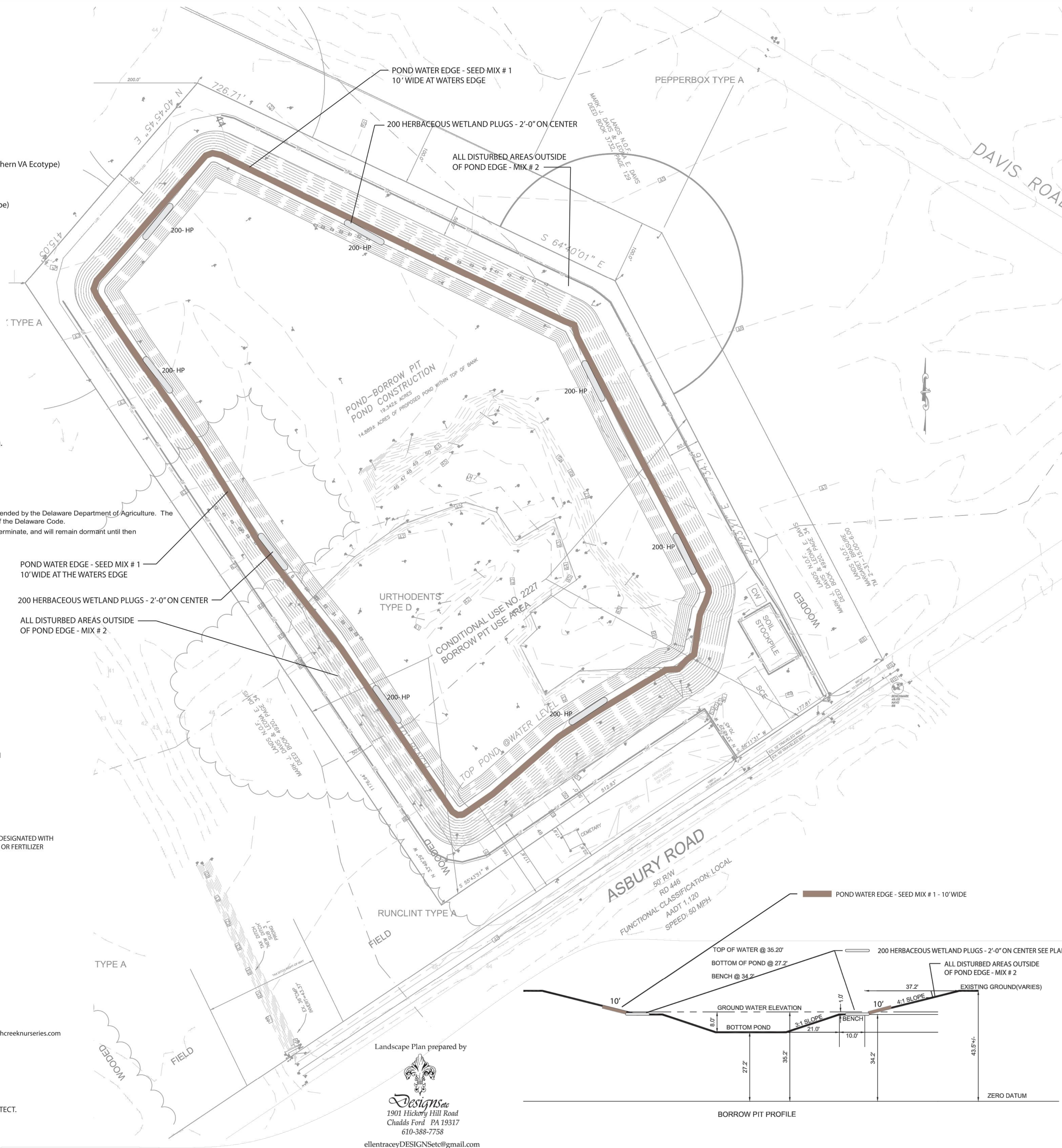
HP : HERBACEOUS PLANTS - 1600
 PLANT AT 2' ON CENTER. MINIMUM SIZE - 2" PLUGS IN THE AREAS DESIGNATED WITH PLANT DIRECTLY IN THE FINISHED GRADED SOIL SURFACE NO AMENDMENTS OR FERTILIZER MIX RANDOMLY THROUGHOUT THE AREAS FOR EACH DEPTH.

- 800 (WATER DEPTH 6" +)
 100 LOBELIA CARDINALIS - CARDINAL FLOWER
 100 VERNONIA NOBILIORA-CENSIS - NEW YORK IRONWEED
 100 ASCLEPIAS TUBEROSA - BUTTERFLY MILKWEED
 100 EUPATORIUM FISTULOSUM - JOE PYE WEED
 100 CAREX LURIDA - SHALLOW SEDGE
 100 CAREX VULPINOIDEA - FOX SEDGE
 100 SPARTINA PECTINATA - PRAIRIE CORD GRASS
 100 PANICUM VIRGATUM SWITCHGRASS

- 800 (WATER DEPTH 6" - 3' - 0")
 200 ACORUS CALAMUS - SWEET FLAG
 100 PONTEDARIA CORDATA - PICKERAL WEED
 50 IRIS VERSICOLOR - BLUE IRIS
 200 JUNCUS EFFUSUS - SOFT RUSH
 50 NELUMBO LUTEA WILLOW-NATIVE AMERICAN LOTUS
 100 SCRIPUS AMERICANUS - BULRUSH
 100 SAGITTARIA LATTIFOLIA - DUCK POTATOE
 SOURCE: AVAILABLE FROM NORTHCREEK NURSERIES www.northcreeknurseries.com

FIELD LOCATE ALL UTILITIES PRIOR TO DIGGING
 ADJUST LOCATIONS OF PLANTINGS TO AVOID CONFLICTS WITH DRAINAGE, UTILITIES, STRUCTURES, AND VEGETATION TO REMAIN.
 IF SOILS UNSUITABLE FOR PLANTING AND PROPER PLANT ESTABLISHMENT ARE ENCOUNTERED, STOP PLANTING AND NOTIFY THE OWNER AND LANDSCAPE ARCHITECT.

PLANTING AND CONSTRUCTION OPERATIONS SHALL CONFORM TO ALL LOCAL STATE AND FEDERAL SAFETY, ENVIRONMENTAL LAWS. CONTRACTORS ARE RESPONSIBLE FOR ALL PERMITS AND SUBMISSIONS REQUIRED FOR THE WORK.



PLAN DATA AND NOTES

1. TAX PARCEL NUMBERS: 231-15.00-8.00
2. ZONING DISTRICT DESIGNATION: AR-1
4. SITE ACREAGE: APPROX. 150.00 ACRES
5. PROPERTY ADDRESS: INTERSECTION OF DAVIS AND ASBURY ROAD, GEORGETOWN
6. BORROW PIT SIZE/ LOD: 19.34 ACRES
7. WETLANDS: THERE ARE NOT WETLANDS TO EFFECTED ON-SITE

KEY

 POND WATER EDGE - SEED MIX # 1
 200 HERBACEOUS WETLAND PLUGS - 2'-0" ON CENTER
 ALL DISTURBED AREAS OUTSIDE OF POND EDGE - MIX # 2

SITE DATA

OWNER: MARK J. DAVIS & LEONA E. DAVIS
 17741 DAVIS ROAD
 GEORGETOWN, DE 19947

TAX PARCEL NO. 231-15.00-8.00
 DEED REF. DB 5358, PG 255
 PARCEL AREA: 150.00 AC +/-
 ZONING: AR-1 (AGRICULTURE RESIDENTIAL)
 CONDITIONAL USE NO.2227 FOR 19.34 AC +/- 'BORROW PIT'

LEGEND

BOUNDARY	—————
LOT LINES	—————
RIGHT-OF-WAY LINE	—————
PROPOSED CONTOURS	—————
SILT FENCE	—SF—
LIMIT OF DISTURBANCE	—LOD—
SOILS	—————

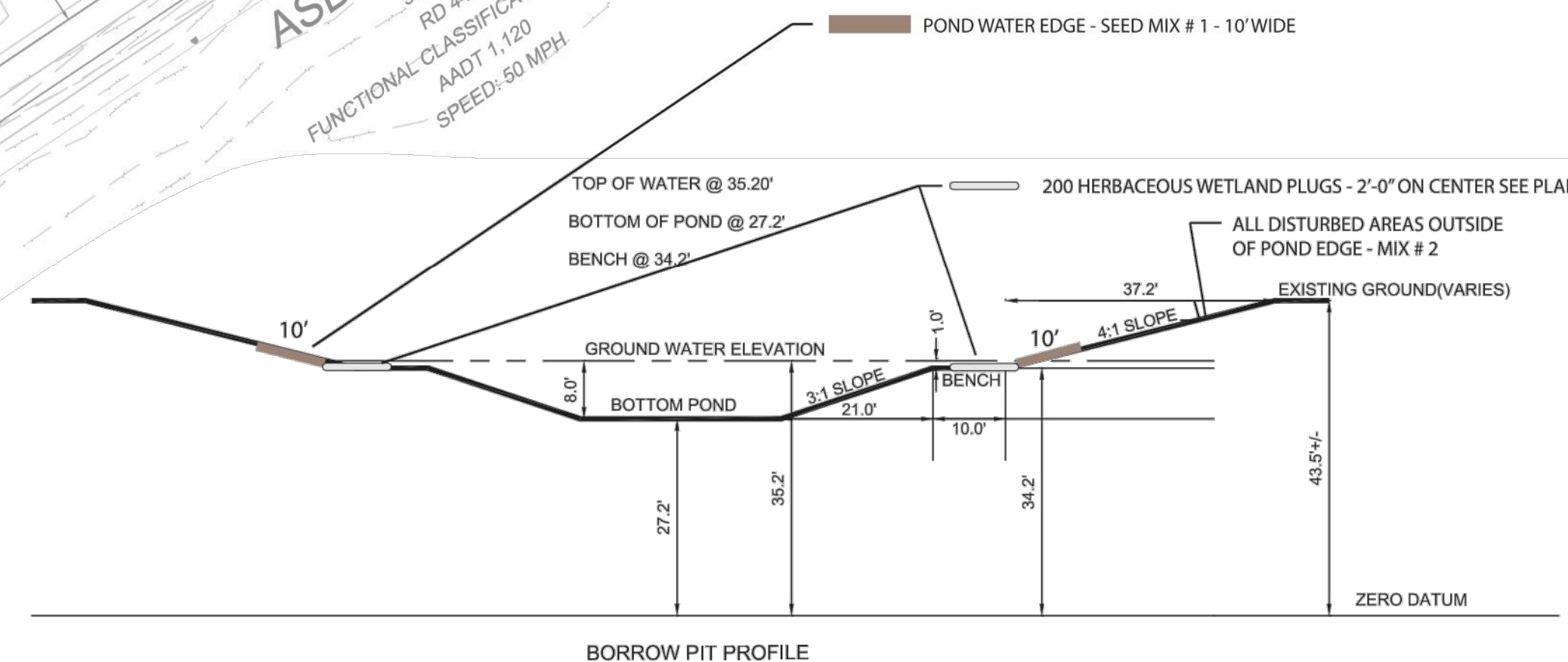
RECLAMATION SITE PLAN

FOR ASBURY BORROW PIT
 SITUATE IN: UN-INCORPORATED SUSSEX COUNTY, DELAWARE

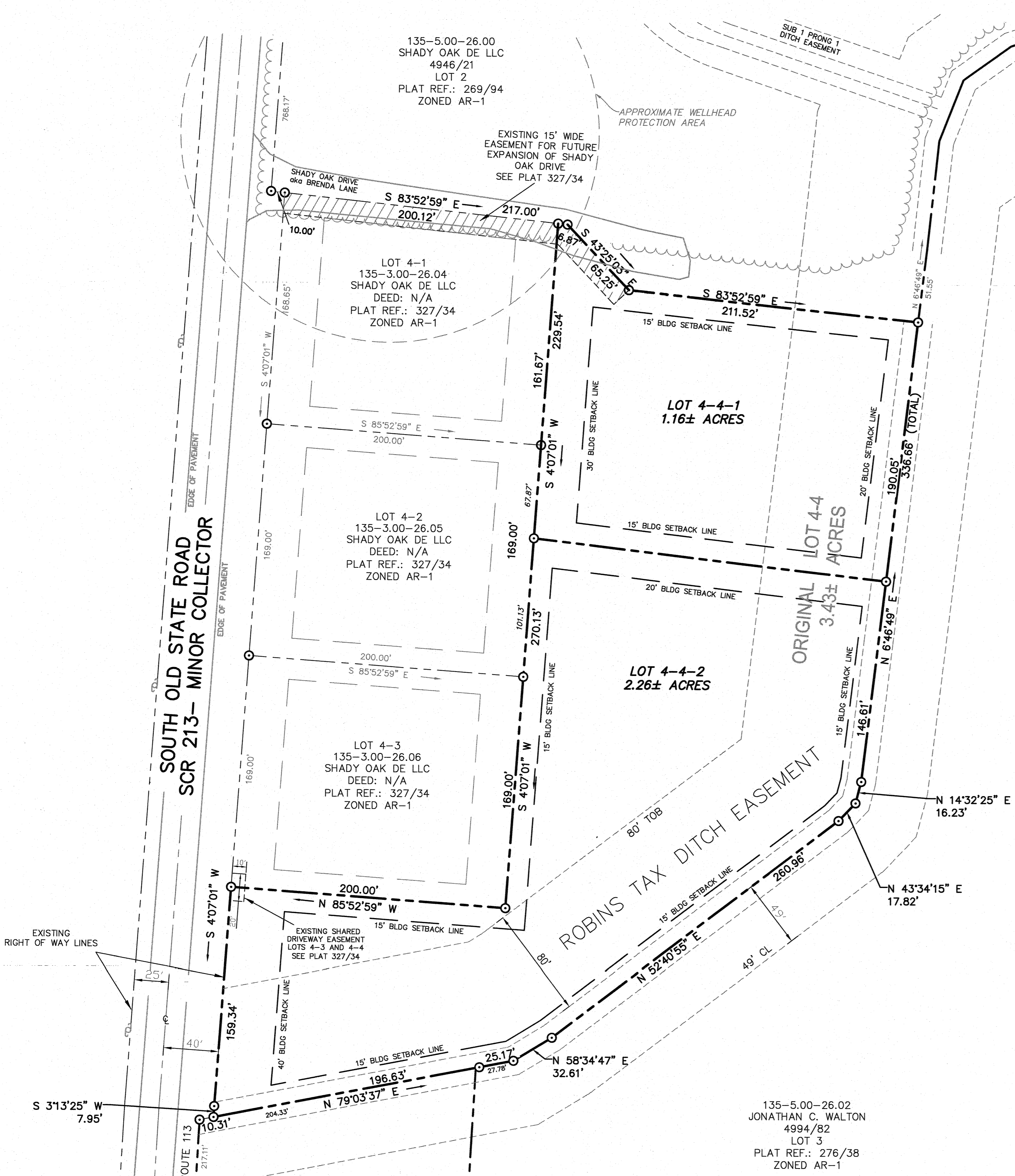
4-05-21	date		Karins and Associates ENGINEERS + PLANNERS + SURVEYORS GEORGETOWN, DE & NEWARK, DE www.karinsengineering.com 128 WEST MARKET STREET GEORGETOWN, DELAWARE 19947 PHONE: (302) 856-6699 FAX: (302) 858-4009	
SCD COMMENTS 4-5-21	checked	SURVEY BY: ADAMS - KEMP DESIGNED BY: DRAWN BY: JB, CA CHECKED BY: JB	SCALE: 1" = 80' 	SHEET: 3 of 5 DRAWING NO.: G1209 - D03
			DATE: 04-05-21	
			ZERO DATUM	

Landscape Plan prepared by

 DesignSetc
 1901 Hickory Hill Road
 Chadds Ford PA 19317
 610-388-7758
 ellentraceyDESIGNSetc@gmail.com



DE STATE GRID
NAD 83/2011



135-5.00-26.02
JONATHAN C. WALTON
4994/82
LOT 3
PLAT REF.: 276/38
ZONED AR-1

SOUTH OLD STATE ROAD
SCR 213 - MINOR COLLECTOR

ROBINS TAX DITCH EASEMENT

OWNER'S CERTIFICATION
I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT ALL PROPOSED MONUMENTS AND MARKERS SHOWN HEREON WILL BE SET AT THE LOCATION INDICATED. WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.
Robert S. Kane 3-17-21
SIGNATURE SHADY OAK DE LLC DATE

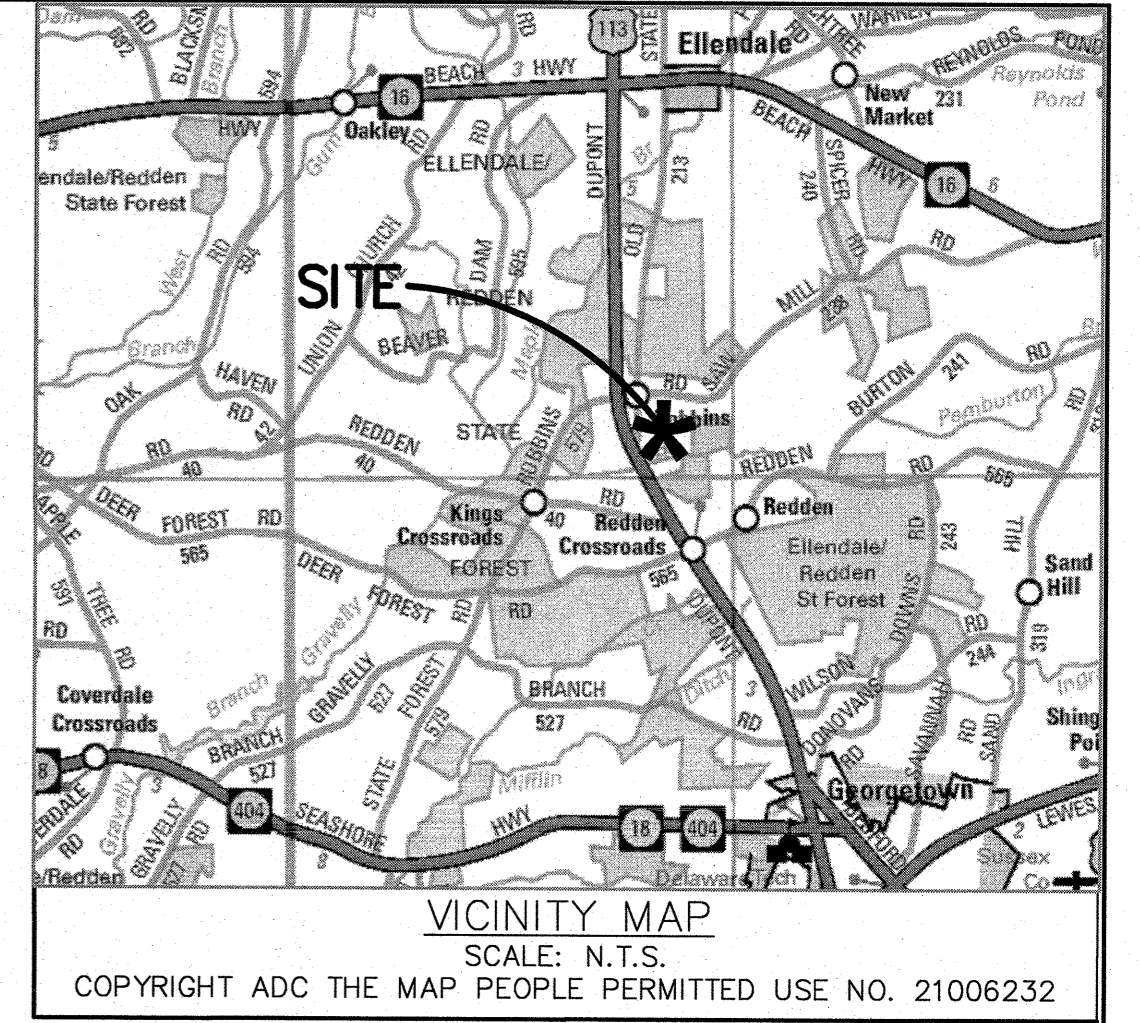
ENGINEER'S CERTIFICATION
I, ROBERT S. KANE, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED BY ME OR UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS THE TRUE AND CORRECT FACTS AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.
SIGNATURE: [Signature] DATE: 6-14-2021

REVISIONS		
REV. #	DATE	DESCRIPTION
1	03/17/2021	ADDRESS DEL DOT COMMENTS
2	06/02/2021	ADDRESS PLANNING AND ZONING COMMENTS

McCRONE
ENGINEERS ■ SURVEYORS ■ PLANNERS
ANNAPOLIS ■ CENTREVILLE ■ ELKTON ■ SALISBURY ■ DELAWARE
119 NAYLOR MILL ROAD, SUITE 6
SALISBURY, MD 21801
(410) 548-1492
www.mccrone-engineering.com Copyright © 2017

DATE: 06/02/2021
JOB NUMBER: D2200013
SCALE: 1"=50'
DRAWN BY: SG
DESIGNED BY: SG
APPROVED BY: MCB/RSK
FOLDER REFERENCE:

RESUBDIVISION PLAT
FOR
SHADY OAK DE LLC
LOT 4 - 4
GEORGETOWN HUNDRED
SUSSEX COUNTY, DELAWARE
SHEET NO.: 1 OF 1
FILE NO.: D2200013-Lot 4-4 RESUB



- NOTES**
- OWNER: SHADY OAK DE LLC
21159 AIRPORT ROAD
GEORGETOWN, DE 19947
TAX PARCEL No. - 135-3.00-26.03
 - SURVEYOR: McCRONE, INC.
119 NAYLOR MILL ROAD, SUITE 6
SALISBURY, MD 21801
CONTACT: MARK BENZIN
(410) 548-1492
FAX (410) 548-2055
 - DEED REF: 4994/82
ZONED: AR-1
SETBACKS; FRONT - 40'
SIDE - 15'
REAR - 20'
 - LOT DATA - 2 LOTS
TOTAL AREA = 3.42± AC
LOT 4-4-1 AREA = 1.16± AC
LOT 4-4-2 AREA = 2.26± AC
 - WATER AND SEWER PROVIDER - INDIVIDUAL ON-SITE WELLS AND SEPTIC SYSTEMS SUBJECT TO APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DIVISION OF PUBLIC HEALTH.
 - ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
 - SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT OF WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
 - THESE LOTS ARE IN FLOOD ZONE X UNSHADED, PER FIRM MAP No. 10005C0143K, MAP REVISED MARCH 16, 2015
 - PRESENT USE IS AGRICULTURAL
 - PROPOSED USE IS SINGLE FAMILY RESIDENTIAL LOTS
 - POSTED SPEED LIMIT IS 40 MPH
 - LOT 4-4-1 SHALL HAVE ACCESS TO SOUTH OLD STATE ROAD VIA SHADY OAK DRIVE APPROXIMATELY ON THIS PLAT PER STATE GIS DATA.
 - THIS SITE IS NOT WITHIN AN "EXCELLENT GROUNDWATER RECHARGE AREA" AS DEFINED BY THE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL
 - THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE, AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
 - THESE LOTS MAY EXIST IN A WETLAND AREA.

