



Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager; Lauren DeVore, Planner III; Christin Scott, Planner I; Nicholas Torrance, Planner I; and Elliott Young, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: September 2, 2021

RE: Other Business for the September 9, 2021 Planning Commission Meeting

This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the September 9, 2021 Planning Commission meeting.

Plantation Square (S-18-54)

KS

Final Site Plan

This is a Final Site Plan for two proposed two-story commercial business buildings totaling 49,450 square feet, 253 parking spaces and other site improvements on a 6.058 +/- acre parcel located on the southwest side of Plantations Road within the Henlopen TID. Staff notes there are currently 22 parking spaces that are located within the front setback and the applicant is seeking relief from that requirement. Staff also note that interconnectivity is also shown with the parcel located directly to the south currently zoned AR-1. The Preliminary Site Plan Complies with the Sussex County Zoning Code. Tax Parcel: 334-12.00-57.01. Zoning: B-1 (Neighborhood Business Zoning District). Staff are in receipt of all agency approvals.

Riverside Apartments (F.K.A. Riverside Plaza)

BM

Final Site Plan

This is a Final Site Plan for the establishment of five (5) 24-unit, 3-story apartment buildings, one (1) 22-unit, 3-story apartment building, four (4) parking garages, a 2,500 square foot pool house, pool, parking, and other site improvements. The property is located on the southeast side of John J. Williams Highway (Rt. 24) and Oak Orchard Road (Route 5). The Preliminary Site Plan was approved by the Planning & Zoning Commission at their meeting of Thursday, September 8, 2016. This plan complies with the Sussex County Zoning Code. Tax Parcel: 234-29.00-69.01. Zoning: B-1 (Neighborhood Business) Zoning District. Staff are in receipt of all agency approvals.

Eastern Shore Natural Gas

KS

Preliminary Site Plan

This is a Preliminary Site Plan for Eastern Shore Natural Gas for the creation of a proposed meter & regulator station and other site improvements to be located on the west side of Beaver Dam Road (S.C.R 285) at an existing natural gas site. The Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 234-16.00-12.00. Zoning: GR (General Residential) Zoning District. Staff are awaiting agency approvals.



American Way Warehouse (American Cedar & Millwork)

KS

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for the establishment of a 9,900 square feet, one-story showroom/storage building to an existing site. The property is located on the southwest side of Coastal Highway (Route 1) off American Way. This plan was last viewed by the Planning & Zoning Commission at their meeting off Thursday, July 8, 2021 where the Commission requested interconnectivity to be shown or explained why it cannot be shown. The requested information has been provided. This plan complies with the Sussex County Zoning Code. Tax Parcels: 334-6.00-487.00, 488.00, & 489.00. Zoning: C-1 (General Commercial) Zoning District. Staff are awaiting agency approvals

SoDel Concepts Office - Rehoboth

KS

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for the establishment of a 2-story 2,826 square foot office building, parking and other site improvements. The property is located on the southwest corner of Coastal Highway (Route 1) and Ann Avenue. The applicant is requesting a reduction in the parking requirements from 24 spaces to 12 spaces. The Applicant is also requesting to allow for all 12 spaces to be located within the front yard setback. The plan otherwise complies with the Sussex County Zoning Code. The Revised Preliminary Site Plan was last viewed by the Planning & Zoning Commission at their meeting of Thursday, July 22, 2021 where the Commission requested more detail on what the office will be used for and the elevations of the proposed building. This requested information has been provided. Tax Parcel: 334-20.13-27.00. Zoning: C-1 (General Commercial) Zoning District. Staff are awaiting agency approvals.

Cleanbay Renewables (C/U 2113)

KH

Determination as to whether Substantially Underway

This is to determine whether Conditional Use No. 2113 filed by Cleanbay Renewables, LLC has met the criteria for "Substantially Underway." Conditional Use No. 2113 was approved by the Sussex County Council at their meeting of Tuesday July 31st, 2018 and adopted through Ordinance No. 2589. A Preliminary Site Plan was then submitted and approved by the Sussex County Planning and Zoning Commission at their meeting of Thursday July 8th, 2021. After a staff review of the site and the appropriate documents being provided, the Sussex County Planning and Zoning Staff sent a letter on August 9th, 2021 stating that the Conditional Use had lapsed. The applicant has since provided documentation for reconsideration of staff's findings. The documentation has been provided in the paperless packet. Tax Parcel: 133-6.00-123.00 Zoning: AR-1 (Agricultural Residential) Zoning District

Lands of Kenneth & Donna Bender

KH

Minor Subdivision off a 50-ft Easement

This is a Minor Subdivision Plan for Lands of Kenneth and Donna Bender for the establishment of two (2) proposed lots off a 50-ft ingress/egress access easement. The parcel is located on the southwest side of Memory Road (S.C.R. 613). This proposal is not located within the Henlopen TID. The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Code. Tax Parcels: 430-3.00-22.00, 430-3.00-22.01, 430-3.00-23.00 Zoning: AR-1 (Agricultural Residential) Zoning District. Staff are awaiting agency approvals.

PLANTATION SQUARE

SITE PLAN

PLANTATION ROAD (SCR 275)

LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DELAWARE

SUSSEX COUNTY PLANNING & ZONING #S-18-54 DBF #2261S001

GENERAL NOTES

- DRAINAGE, STORMWATER MANAGEMENT, AND EROSION AND SEDIMENT CONTROLS SHALL BE IN ACCORDANCE WITH THE DELAWARE SEDIMENT & STORMWATER REGULATIONS OF 2014, OR AS LATER AMENDED. MAINTENANCE OF DRAINAGE, STORMWATER MANAGEMENT, AND EROSION & SEDIMENT CONTROL PRACTICES WILL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR DURING THE CONSTRUCTION PHASE OF THE PROJECT, INCLUDING CONSTRUCTION OF THE UTILITIES. WHEN THE PERMANENT DRAINAGE AND STORMWATER MANAGEMENT PRACTICES HAVE BEEN COMPLETED TO THE SATISFACTION OF THE APPLICABLE AGENCIES, MAINTENANCE WILL ULTIMATELY BECOME THE RESPONSIBILITY OF THE PROPERTY OWNERS. THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, MODIFY OR DELETE ANY EROSION AND SEDIMENT CONTROL MEASURE AS DEEMED NECESSARY.
- THERE SHALL BE NO DEBRIS DISPOSAL ON THIS SITE.
- THE BOUNDARY AND BASE TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD SURVEY BY DAVIS, BOWEN & FRIEDEL.
- THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS, AND NIGHTTIME FARM OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
- WATER SUPPLY - TIDEWATER UTILITY WATER SUPPLY IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE STATE DIVISION OF PUBLIC HEALTH.
- SANITARY SEWER - SUSSEX COUNTY ENGINEERING WILL PROVIDE SEWER SERVICE FOR THE PROPERTY. SEWER SERVICE IS SUBJECT TO THE APPROVAL OF THE STATE OF DELAWARE DEPARTMENT OF NATURAL RESOURCES.

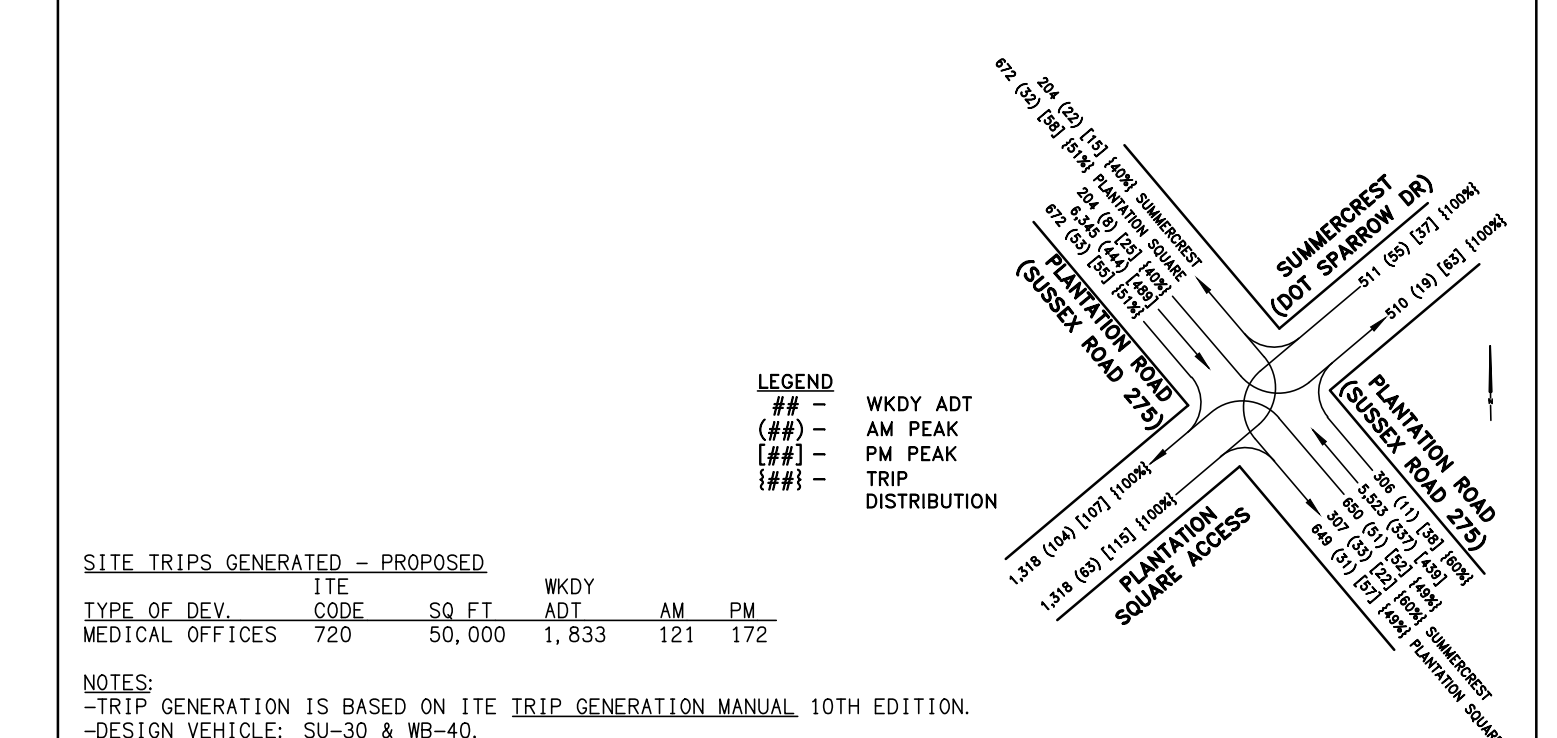
DELDOT GENERAL NOTES

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
- AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR, ANY DAMAGED OR MISSING CURB OR SIDEWALK FOUND ON SITE WILL NEED TO BE REPAIRED OR REPLACED TO MEET CURRENT DELDOT STANDARDS.
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SIDEWALK.
- A PERPETUAL CROSS ACCESS INGRESS/EGRESS EASEMENT IS HEREBY ESTABLISHED AS SHOWN ON THE LONOR-RED PLAN.

TIS (AWSF) NOTES

- SUSSEX COUNTY DOES NOT REQUIRE A TIS.
- THE DEVELOPER PAYS AN AREA WIDE STUDY FEE, CALCULATED BY MULTIPLYING THE AVERAGE DAILY TRAFFIC BY \$10 PER VEHICLE TRIP END, BASED ON AN EARLIER PLAN FOR THE SITE, THE DEVELOPER PAID AN AREA WIDE STUDY FEE OF \$28,360 ON MARCH 4, 2019. AS THE FEE WOULD NOW BE LESS, THAT IS \$18,330, DELDOT WILL CREDIT THE DIFFERENCE TOWARD THE APPLICANT'S CONTRIBUTION TOWARD THE ROUTE 24 PROJECT MENTIONED ABOVE AND DISCUSSED FURTHER BELOW.
- PRIOR TO THE ISSUANCE OF DELDOT'S ENTRANCE PLAN APPROVAL, THE DEVELOPER SHALL ENTER INTO AN AGREEMENT WITH DELDOT TO FUND AN EQUITABLE SHARE OF DELDOT'S IMPROVEMENTS PLANNED TO WIDEN DELAWARE ROUTE 24 FROM MULBERRY KNOLL ROAD TO DELAWARE ROUTE 1 (CONTRACT NO. T200411209).

ROAD DATA	
PLANTATION ROAD (SUSSEX ROAD 275)	
FUNCTIONAL CLASSIFICATION - MAJOR COLLECTOR	
2017 WEEKDAY AADT (2017 DBF ATR COUNTS, TUES-THURS)	= 10,515
2017 AM K-FACTOR: 629/10,515	= 5.98%
2017 AM DIRECTIONAL SPLIT: 246 (NB) / 383 (SB)	= 39.11%/60.89%
2017 WEEKDAY PM PEAK HOUR VOLUME (TUES-THURS)	= 847
2017 PM K-FACTOR: 847/10,515	= 8.06%
2017 PM DIRECTIONAL SPLIT: 409 (NB) / 438 (SB)	= 48.29%/51.71%
12 YR PROJECTED AADT (FUTURE YEAR 2029) = 1,195 X 10,515	= 12,565
12 YR PROJECTED AADT + SITE ADT (935) N OF SITE ACCESS	= 13,541
12 YR PROJECTED AADT + SITE ADT (898) S OF SITE ACCESS	= 13,489
2029 PEAK HOUR TRUCKS: 8.06% TRUCK X 1,013	= 82
SPEED - POSTED	45 MPH
TRAFFIC PATTERN GROUP -	3
TOTAL 2029 ADVANCING NORTHBOUND AADT: 5,684 (THROUGH) + 646 (PLANTATION SQUARE) - 161 (PASS-BY) = 6,169	
TOTAL 2029 OPPOSING SOUTHBOUND AADT: 6,513 (THROUGH) + 672 (PLANTATION SQUARE) - 168 (PASS-BY) = 7,017	
DIRECTIONAL SPLIT = 46.60% (NORTHBOUND) & 53.40% (SOUTHBOUND) = 5,684 & 6,513	
TOTAL 2029 ADVANCING NORTHBOUND AM PEAK HOUR: 286 (THROUGH) + 51 (PLANTATION SQUARE) = 337	
TOTAL 2029 OPPOSING SOUTHBOUND AM PEAK HOUR: 444 (THROUGH) + 53 (PLANTATION SQUARE) = 497	
DIRECTIONAL SPLIT = 39.18% (NORTHBOUND) & 60.82% (SOUTHBOUND) = 286 & 444	
TOTAL 2029 ADVANCING NORTHBOUND PM PEAK HOUR: 475 (THROUGH) + 52 (PLANTATION SQUARE) - 18 (PASS-BY) = 509	
TOTAL 2029 OPPOSING SOUTHBOUND PM PEAK HOUR: 508 (THROUGH) + 55 (PLANTATION SQUARE) - 19 (PASS-BY) = 544	
DIRECTIONAL SPLIT = 48.32% (NORTHBOUND) & 51.68% (SOUTHBOUND) = 475 & 508	



TRAFFIC GENERATION DIAGRAM
PLANTATION ROAD (S275)

Revisions:
2021-07-09
COMMENTS FROM TUI,
DNREC, SCD, SCE & DELDOT
2021-08-03
P&Z COMMENTS
2021-08-17
OWNER REQUEST

DATA COLUMN

TAX MAP NUMBER: 3-34-12.00-57.01
 DATUM: VERTICAL: NAVD 83; HORIZONTAL: NAD 83 (STATE PLANE)
 BENCHMARK #1: IRON ROD (CAPPED) (SET) N: 264852.7503; E: 733461.6720; LAT: 38°43'36.99" N; LON: -75°08'44.65" W; ELEV: 28.17' NE OF NORTH PROPERTY CORNER
 BENCHMARK #2: IRON ROD (CAPPED) (SET) N: 264249.1144; E: 733967.4085; LAT: 38°43'31.00" N; LON: -75°08'38.29" W; ELEV: 29.02' NE OF SOUTH PROPERTY CORNER
 TOPOGRAPHIC SURVEY WAS PERFORMED BY DAVIS, BOWEN & FRIEDEL, INC. DELAWARE ON DECEMBER 6, 2017

PROJECT COORDINATES
 SITE - LAT: 38°43'32.9961" N; LON: -75°08'45.2036" W

ZONING
 EXISTING: NEIGHBORHOOD BUSINESS (B-1)
 PROPOSED: NEIGHBORHOOD BUSINESS (B-1)

LAND USE
 LOCAL AGENCY: SUSSEX COUNTY
 EXISTING USE: AGRICULTURAL
 PROPOSED USE: OFFICE BUILDINGS

PROPOSED SQUARE FOOTAGE
 (1) TWO STORY BUILDING @ 31,050 SQ FT
 (1) TWO STORY BUILDING @ 18,400 SQ FT = 49,450 SQ FT TOTAL

B-1 MINIMUM REQUIREMENTS
 FRONT YARD SETBACK: 60 FT.
 SIDE YARD SETBACK: 20 FT.
 REAR YARD SETBACK: 30 FT.
 LOT AREA: 10,000 SQ FT.
 LOT WIDTH: 75 FT.
 LOT DEPTH: 100 FT.

MAXIMUM REQUIREMENTS
 BUILDING HEIGHT: 42 FT.

AREAS
 TOTAL PARCEL AREA: 6.041± ACRES
 EX. SITE AREA: 6.041 ACRES
 PROP. SITE AREA: 5.784 ACRES

PERCENT IMPERVIOUS CALCULATION:
 TOTAL SITE AREA: (5.784 ACRES) 251,932.07 SF
 TOTAL IMPERVIOUS AREA: 155,267.69 SF
 MAXIMUM IMPERVIOUS COVER: 85%
 PROPOSED IMPERVIOUS COVER: 61.63%
 FUTURE PERVIOUS PAVEMENT BY OTHERS: 7,706.80 SF
 TOTAL FUTURE IMPERVIOUS AREA: 162,974.49 SF
 FUTURE IMPERVIOUS COVER: 64.69%

POSTED SPEED LIMIT: 45 MPH
 INVESTMENT LEVEL: 2

REQUIRED PARKING
 1 SPACE FOR EVERY 200 SQ FT OF FLOOR AREA
 49,450 SQ FT OF COMMERCIAL SPACE
 49,450 / 200 = 247.25 SPACES
 TOTAL SPACES REQUIRED: 248 SPACES
 PROPOSED PARKING PROVIDED: 253 SPACES

LOADING SPACES REQUIRED: 1 SPACE PER BUILDING 5,000 TO 25,000 SF; 2 SPACES PER BUILDING 25,000 TO 100,000 SF
 BUILDING A = 30,050 SF. REQ. 2 SPACES
 BUILDING B = 18,400 SF. REQ. 1 SPACE
 TOTAL LOADING SPACES REQUIRED = 3
 LOADING SPACES PROVIDED: 3 SPACES

UTILITIES
 SEWER PROVIDER: WEST REHOBOTH EXPANSION OF THE DEWEY BEACH SANITARY SEWER DISTRICT
 WATER PROVIDER: TIDEWATER UTILITIES

NEAREST INTERSECTING STREET: ~870' NORTH OF DELAWARE ROUTE 24 JOHN WILLIAMS HIGHWAY

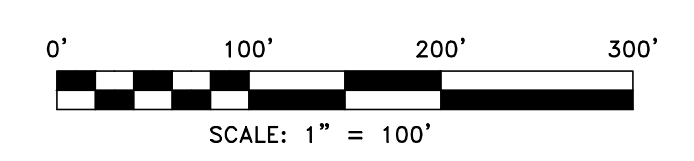
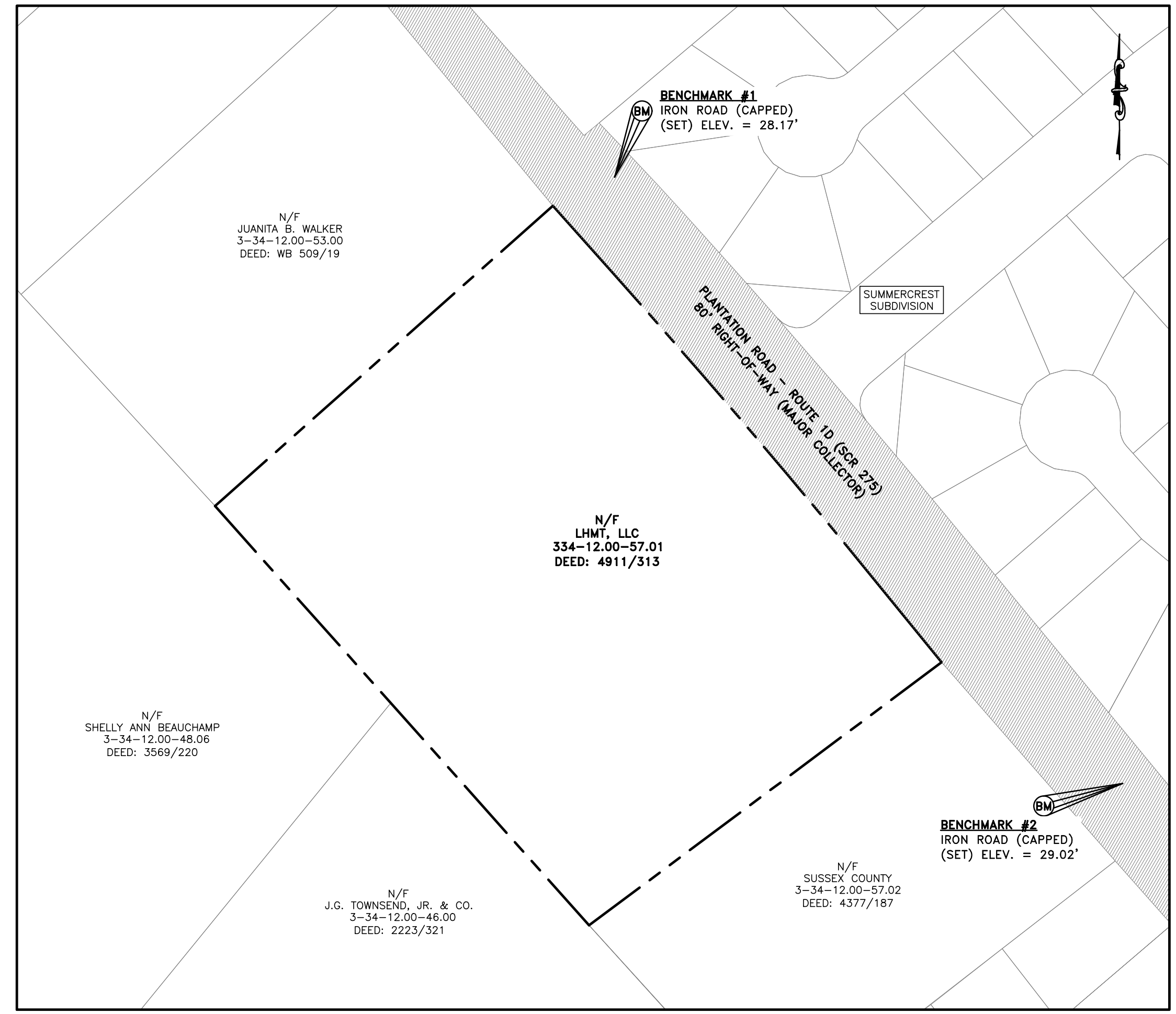
FLOODPLAIN - THE PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA PANEL 10001C0332K.

THIS PARCEL IS LOCATED WITHIN THE HENLOPEN TID. TID PARTICIPATION NOT REQUIRED. SUBJECT TO DEVELOPER DISCRETION.

WETLANDS - THERE ARE NO WETLANDS LOCATED ON THE SITE.

OWNER/DEVELOPER
 LMHT, LLC
 248 REHOBOTH BLVD.
 REHOBOTH BEACH, DE 19971
 302-226-6631
 POC: NICK HAMMONDS

PREPARED BY
 DAVIS, BOWEN, AND FRIEDEL, INC.
 1 PARK AVENUE
 MILFORD, DE 19963
 302-424-1441
 POC: RING W. LARDNER, P.E.



SHEET INDEX	
SITE PLANS	
SITE PLAN - TITLE SHEET	C-101
SITE PLAN	C-102
SIGHT DISTANCE TRIANGLE	C-103

OWNER'S STATEMENT

I, LMHT, LLC, HEREBY STATE THAT WE ARE THE LEGAL OWNERS OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO THE LAW.

LMHT, LLC DATE
 by NICK HAMMONDS

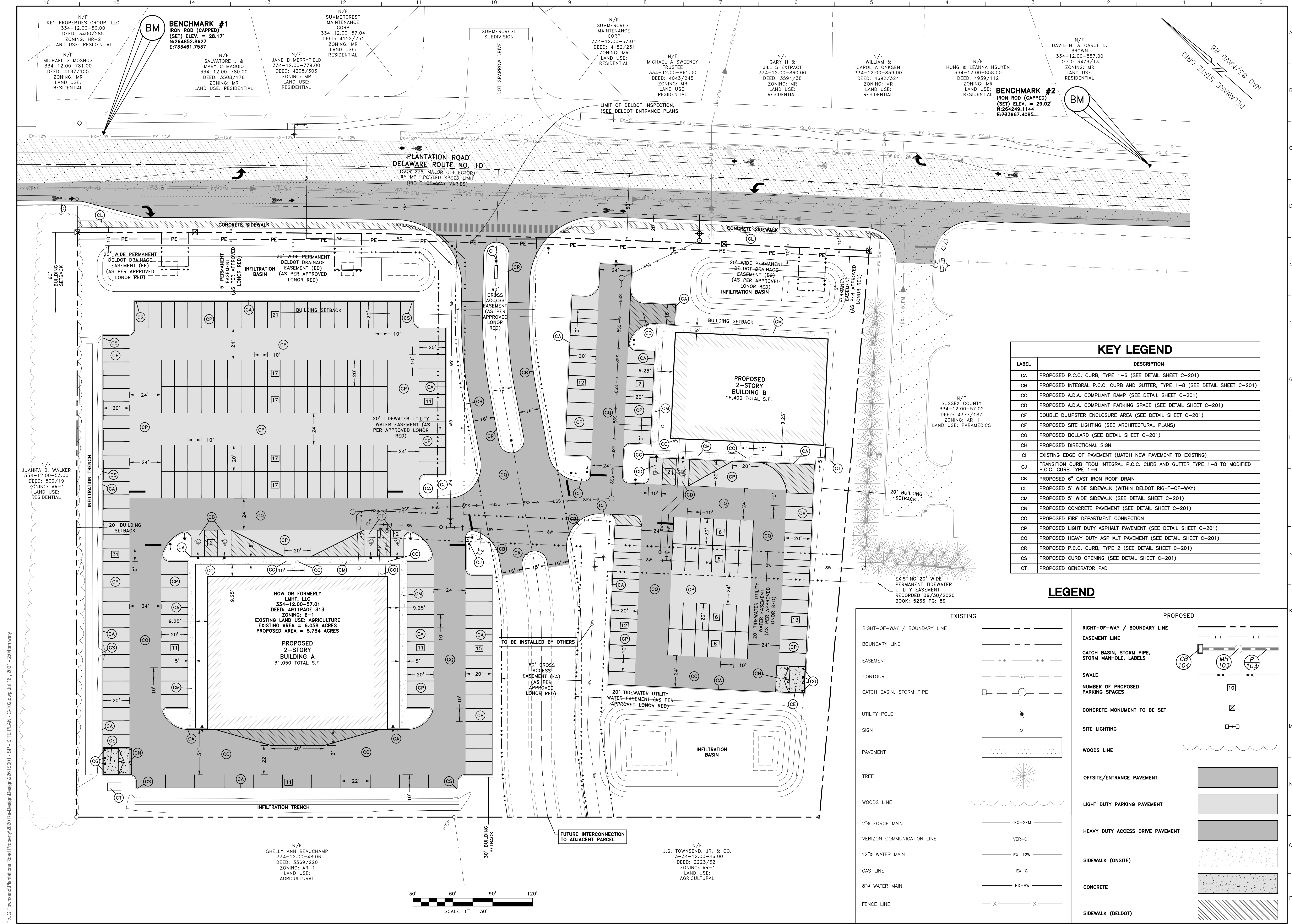
ENGINEER'S STATEMENT

I, RING W. LARDNER, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVIS, BOWEN & FRIEDEL, INC. DATE
 by RING W. LARDNER, P.E.

dbf DAVIS, BOWEN & FRIEDEL, INC.
 ARCHITECTS ENGINEERS SURVEYORS
 SALISBURY, MARYLAND (410) 543-9091
 MILFORD, DELAWARE (302) 424-1441
 EASTON, MARYLAND (410) 770-4744

THIS DRAWING, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO DAVIS, BOWEN & FRIEDEL, INC., AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION. COPYRIGHT © 2021



KEY LEGEND	
LABEL	DESCRIPTION
CA	PROPOSED P.C.C. CURB, TYPE 1-6 (SEE DETAIL SHEET C-201)
CB	PROPOSED INTEGRAL P.C.C. CURB AND GUTTER, TYPE 1-8 (SEE DETAIL SHEET C-201)
CC	PROPOSED A.D.A. COMPLIANT RAMP (SEE DETAIL SHEET C-201)
CD	PROPOSED A.D.A. COMPLIANT PARKING SPACE (SEE DETAIL SHEET C-201)
CE	DOUBLE DUMPSTER ENCLOSURE AREA (SEE DETAIL SHEET C-201)
CF	PROPOSED SITE LIGHTING (SEE ARCHITECTURAL PLANS)
CG	PROPOSED BOLLARD (SEE DETAIL SHEET C-201)
CH	PROPOSED DIRECTIONAL SIGN
CI	EXISTING EDGE OF PAVEMENT (MATCH NEW PAVEMENT TO EXISTING)
CJ	TRANSITION CURB FROM INTEGRAL P.C.C. CURB AND GUTTER TYPE 1-8 TO MODIFIED P.C.C. CURB TYPE 1-6
CK	PROPOSED 6" CAST IRON ROOF DRAIN
CL	PROPOSED 5' WIDE SIDEWALK (WITHIN DELDOT RIGHT-OF-WAY)
CM	PROPOSED 5' WIDE SIDEWALK (SEE DETAIL SHEET C-201)
CN	PROPOSED CONCRETE PAVEMENT (SEE DETAIL SHEET C-201)
CO	PROPOSED FIRE DEPARTMENT CONNECTION
CP	PROPOSED LIGHT DUTY ASPHALT PAVEMENT (SEE DETAIL SHEET C-201)
CQ	PROPOSED HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL SHEET C-201)
CR	PROPOSED P.C.C. CURB, TYPE 2 (SEE DETAIL SHEET C-201)
CS	PROPOSED CURB OPENING (SEE DETAIL SHEET C-201)
CT	PROPOSED GENERATOR PAD

LEGEND	
EXISTING	PROPOSED
RIGHT-OF-WAY / BOUNDARY LINE	RIGHT-OF-WAY / BOUNDARY LINE
BOUNDARY LINE	EASEMENT LINE
EASEMENT	CATCH BASIN, STORM PIPE, STORM MANHOLE, LABELS
CONTOUR	SWALE
CATCH BASIN, STORM PIPE	NUMBER OF PROPOSED PARKING SPACES
UTILITY POLE	CONCRETE MONUMENT TO BE SET
SIGN	SITE LIGHTING
PAVEMENT	WOODS LINE
TREE	OFFSITE/ENTRANCE PAVEMENT
WOODS LINE	LIGHT DUTY PARKING PAVEMENT
2" FORCE MAIN	HEAVY DUTY ACCESS DRIVE PAVEMENT
VERIZON COMMUNICATION LINE	SIDEWALK (ONSITE)
12" WATER MAIN	CONCRETE
GAS LINE	SIDEWALK (DELDOT)
8" WATER MAIN	
FENCE LINE	

PLANTATION SQUARE
PLANTATION ROAD (SCR 275)
LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DE

ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
 1000 MARKET STREET, SUITE 200
 WILMINGTON, DELAWARE 19801
 (302) 424-1441
 FAX (302) 424-1441
 EASTON, MARYLAND (410) 770-4744

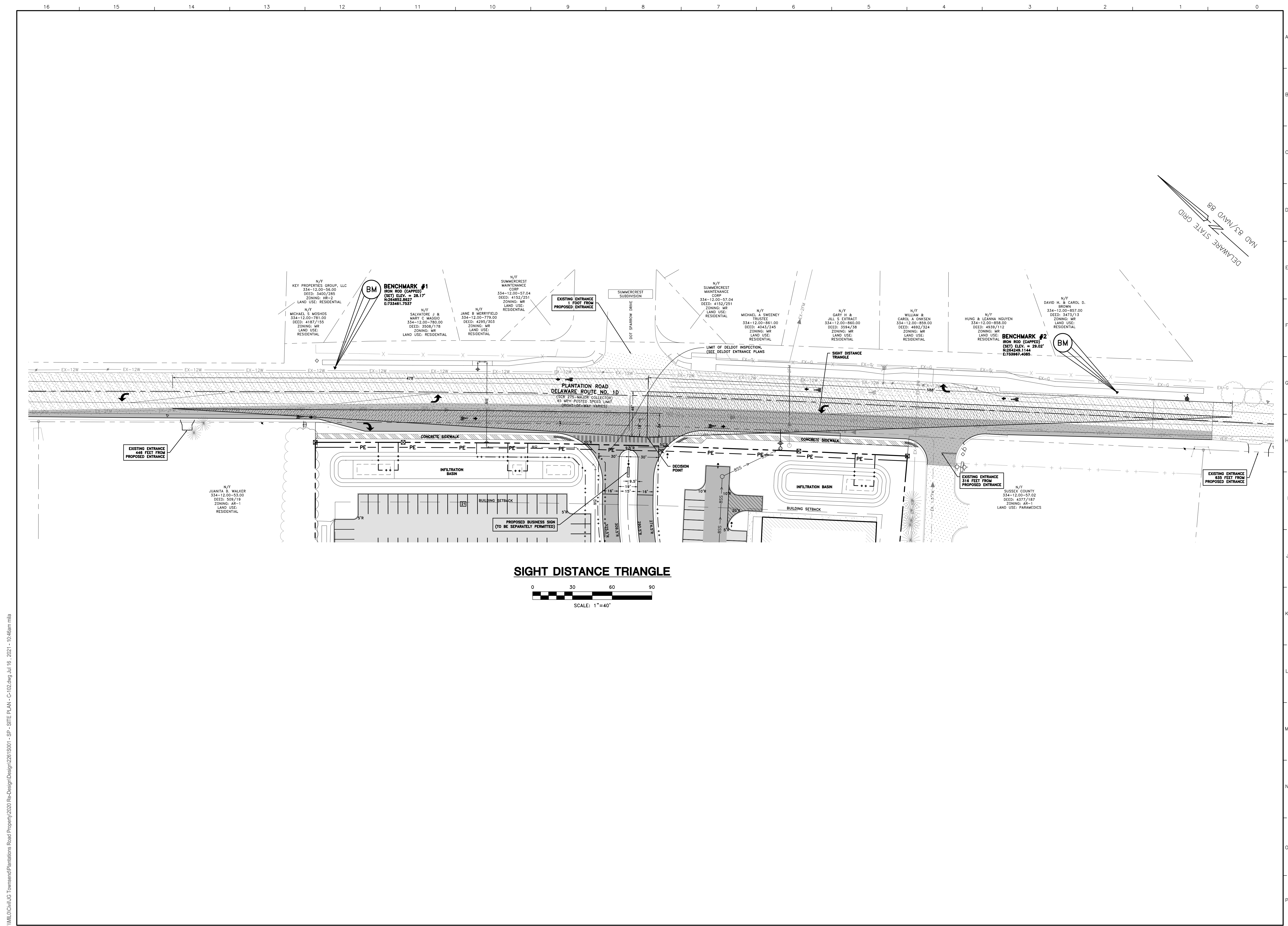
SITE PLAN

Revisions:
 2021-07-09 COMMENTS FROM TUI, DNREC, SCD, SCE & DELDOT

Date: MAY, 2021
 Scale: 1"=30'
 Dwn. By: ACM
 Proj. No.: 2261S001
 Dwg. No.: **C-102**

P:\UG Townsman\Plantations Road Property\2020 Re-Design\Design\2261S001 - SP - SITE PLAN - C-102.dwg, Jul 16, 2021 - 2:04pm vely

THIS DRAWING, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO DAVIS, BOWEN & FRIEDEL, INC., AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION. COPYRIGHT ©2021



\\MIL01\civil\UG Townsend\Plantations Road Property\2020 Rev-Design\Design\2261S001 - SP - SITE PLAN - C-102.dwg, Jul 16, 2021 - 10:48am mila

DAVIS, BOWEN & FRIEDEL, INC.
 ARCHITECTS ENGINEERS SURVEYORS

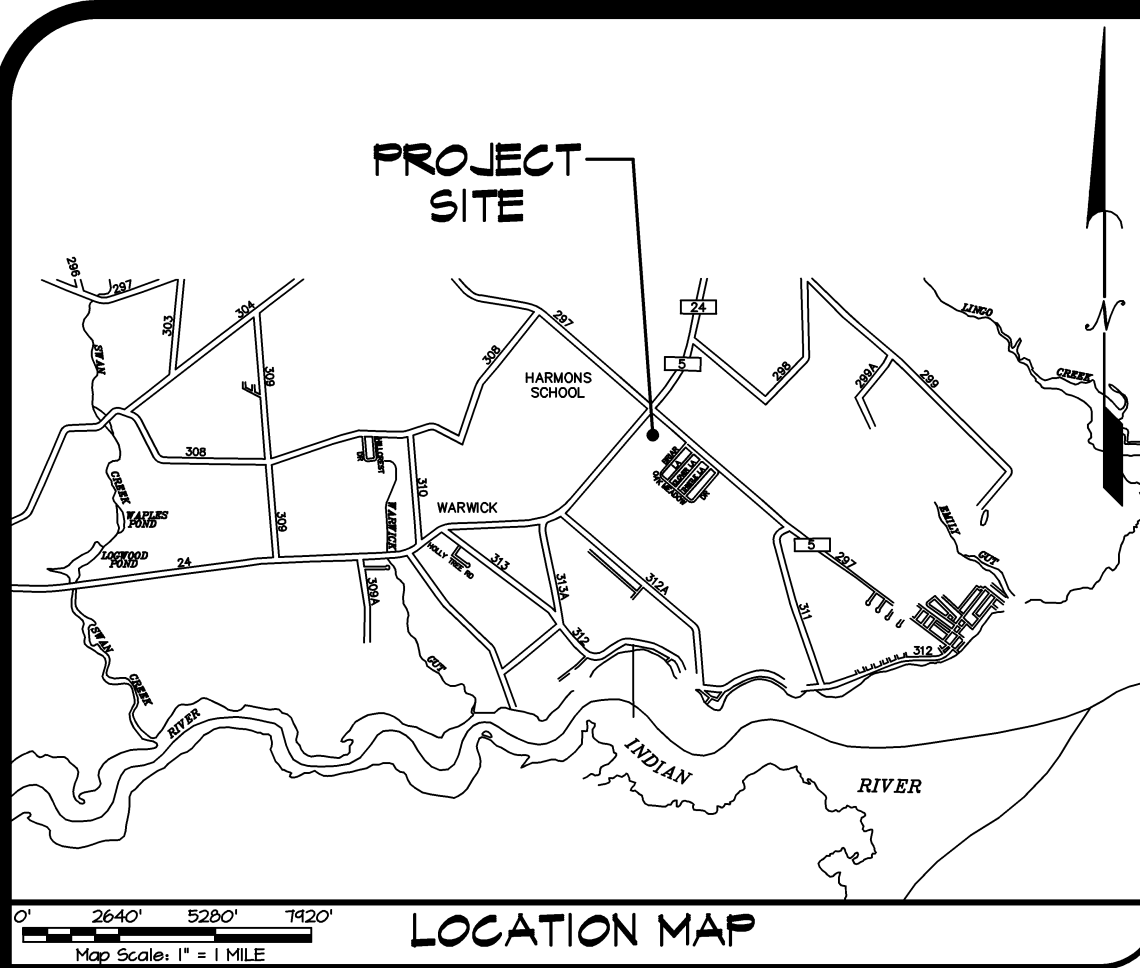
CATHERYNE MARRAS
 MIDDLETOWN, DELAWARE
 (302) 424-1441

ESTON, MARYLAND
 (410) 770-4744

PLANTATION SQUARE
PLANTATION ROAD (SCR 275)
LEWES & REHOBOTH HUNDRED, SUSSEX COUNTY, DE

Revisions:

Date: MAY, 2021
 Scale: 1" = 40'
 Dwn. By: DEG
 Proj. No.: 2261S001
 Dwg. No.: **C-103**



PLAN LEGEND

- SUPPLEMENTAL CONTOUR (1' INTERVAL)
- INDEX CONTOUR (5' INTERVAL)
- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- BUILDING RESTRICTION LINE
- EXISTING CENTERLINE
- EXISTING PAINT STRIPINGS
- EXISTING EDGE OF PAVEMENT
- EXISTING HEDGEROW/TREELINE
- EXISTING FENCE
- EXISTING SOILS LIMITS
- PROPOSED BUILDING
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB
- PROPOSED SIDEWALK/CONCRETE
- PROPOSED PAINT STRIPINGS
- EXISTING UTILITY POLE
- EXISTING TREE
- EXISTING CONCRETE MONUMENT FOUND
- EXISTING IRON PIPE FOUND
- PROPOSED R/W MONUMENT TO BE SET

SITE DATA and ZONING SCHEDULE

TAX PARCEL NO.:	234-2400-64.01
PROPERTY ADDRESS:	OAK ORCHARD ROAD MILLSBORO, DE 19966
EXISTING SITE USE:	VACANT
PROPOSED SITE USE:	142 UNIT, MULTI-FAMILY
ZONING DISTRICT:	B-1 (NEIGHBORHOOD BUSINESS)
GROSS PROPERTY AREA:	21.01 AC.
DEDICATED R.O.M. AREA:	0.00 AC.
NET PROPERTY AREA:	21.01 AC.
EXISTING NO. PARCELS:	1
PROPOSED NO. PARCELS:	1
INVESTMENT LEVEL AREA:	3

ORDINANCE ITEM	REQUIREMENT:	PROVIDED:
MINIMUM LOT AREA	10,000 Sq. Ft.	415,271 Sq. Ft.
MINIMUM LOT WIDTH	75 Ft.	150.01 Ft.
MINIMUM LOT DEPTH	100 Ft.	836.63 Ft.
MINIMUM SETBACKS:		
FRONT (ROUTE 5)	60 Ft.	60 Ft.
SIDE	10 Ft.	20 Ft.
REAR (adjacent to residential district)	20 Ft.	20 Ft.
CORNER FRONT (RT 24)	15 Ft.	15 Ft.
MAXIMUM BUILDING HEIGHT	42 Ft.	42 Ft. (100-600)
		22 Ft. (POOL HOUSE)
		16 Ft. (GARAGES)
NUMBER OF STORIES	N/A	3 STORIES (100-600)
		1 STORY (POOL HOUSE)
		1 STORY (GARAGES)

SEWER SERVICE	SUSSEX COUNTY
WATER SERVICE	TIDEWATER UTILITIES
PARKING SPACES	2 SPACES PER 1ST 50 UNITS 2 SPACES X 0.95 X REMAINING UNITS = 251 SPACES

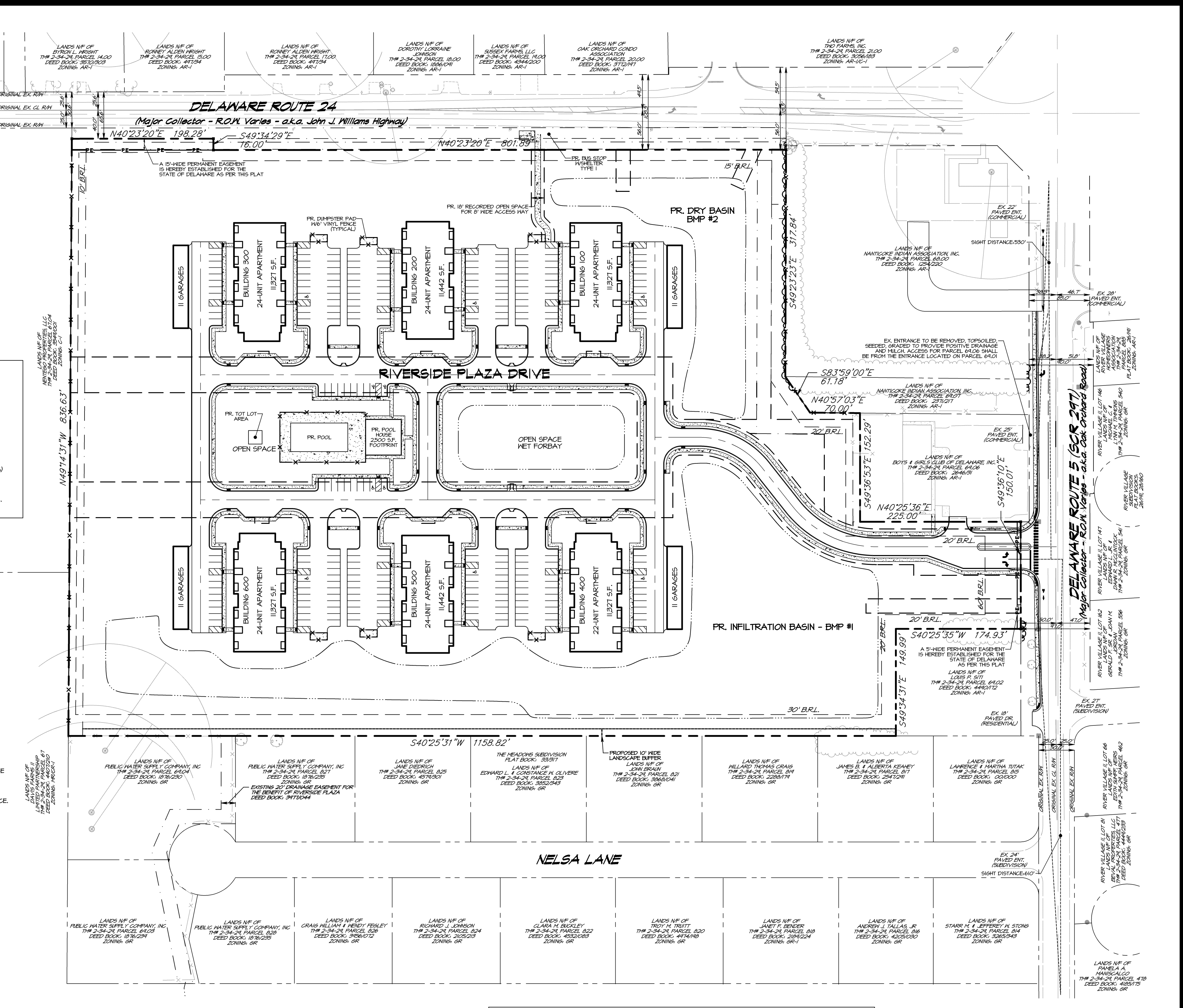
PROPERTY AREA	PROVIDED
BUILDINGS (APARTMENTS):	1.51 AC. (7.145%)
BUILDINGS (GARAGES):	0.22 AC. (0.11%)
BUILDINGS (POOL HOUSE):	0.02 AC. (0.01%)
PAVING:	3.72 AC. (17.71%)
CURBING:	0.13 AC. (0.06%)
SIDEWALK/CONCRETE PAD:	0.85 AC. (4.05%)
POOL:	0.03 AC. (0.01%)
OPEN SPACE/STORMWATER MANAGEMENT:	14.41 AC. (68.27%)
TOTAL AREA:	21.01 AC.
PROPOSED DENSITY:	6.76 UNITS PER AC.

DELDOT RECORD PLAN GENERAL NOTES

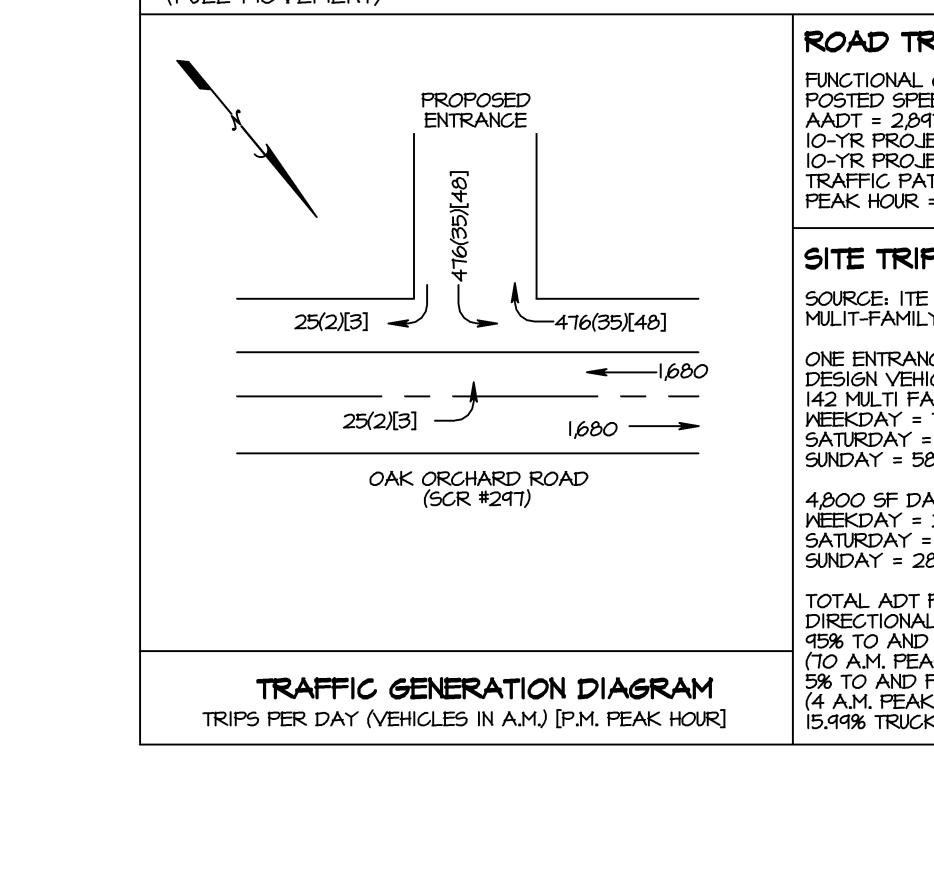
- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.1 OF THE DEVELOPMENT COORDINATION MANUAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHALL BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECTS FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- PRIVATE STREETS CONSTRUCTED WITHIN THIS DEVELOPMENT SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS DEVELOPMENT OR BOTH (TITLE 1) J.U.I. DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS DEVELOPMENT. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE FOR THE SIDEWALK.
- A. ALL UNITS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION STREET.
B. DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
C. UNITS WILL BE PERMITTED TO HAVE ACCESS POINTS THAT COMPLY WITH THE DEVELOPMENT COORDINATION MANUAL (DOM) SPACING REQUIREMENTS OF CHAPTER 1 AND LIMITATIONS ON NUMBER OF ACCESS POINTS ESTABLISHED IN DOM CHAPTER 1. HORSESHOE DRIVEWAYS AND SECONDARY ENTRANCES REQUIRE ADDITIONAL DELDOT REVIEW AND SEPARATE PERMITTING REQUESTS AS DESCRIBED IN THE DOM CHAPTER 1 MAY PRESENT SOME SECONDARY ENTRANCE REQUESTS FROM BEING GRANTED.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONSIDERED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
- A PERPETUAL CROSS ACCESS EGRESS/EGRESS EASEMENT IS HEREBY ESTABLISHED AS SHOWN ON THIS PLAN.

CONDITIONS OF APPROVAL (CU 2045)

- THERE SHALL BE NO MORE THAN 142 MULTI-FAMILY UNITS CONSTRUCTED ON THE SITE.
- ALL ENTRANCES, INTERSECTION, ROADWAY AND MULTI-MODAL IMPROVEMENTS SHALL BE COMPLETED BY THE DEVELOPER IN ACCORDANCE WITH ALL DELDOT REQUIREMENTS.
- THE DEVELOPMENT SHALL BE SERVED BY SUSSEX COUNTY SEWER, AS PART OF THE OAK ORCHARD SANITARY DISTRICT.
- THE RESIDENTIAL DEVELOPMENT SHALL BE SERVED BY A PUBLIC CENTRAL WATER SYSTEM PROVIDING ADEQUATE DRINKING WATER AND FIRE PROTECTION AS REQUIRED BY APPLICABLE REGULATIONS.
- STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE STATE AND COUNTY REQUIREMENTS. THESE FACILITIES SHALL BE OPERATED IN A MANNER THAT IS CONSISTENT WITH BEST MANAGEMENT PRACTICES. THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT.
- THE APPLICANT SHALL SUBMIT AS PART OF THE FINAL SITE PLAN REVIEW A LANDSCAPE PLAN SHOWING THE PROPOSED TREE AND LANDSCAPE DESIGN.
- THE APPLICANT SHALL FORM A HOMEOWNERS OR CONDOMINIUM ASSOCIATION REPRESENTATIVE TO MAINTAIN THE PERPETUAL MAINTENANCE OF STREETS, ROADS, BUFFERS, STORMWATER MANAGEMENT FACILITIES, EROSION AND SEDIMENT CONTROL FACILITIES AND OTHER IMPROVEMENTS.
- ROAD NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE COUNTY MAPPING AND ADDRESSING DEPARTMENT.
- CONSTRUCTION, SITE WORK, GRADING AND DELIVERIES OF CONSTRUCTION MATERIALS, LANDSCAPE MATERIALS AND FILL ON, OFF, OR TO THE PROPERTY SHALL ONLY OCCUR BETWEEN 8:00 AM AND 6:00 PM MONDAY THROUGH FRIDAY AND ON SATURDAY BETWEEN THE HOURS OF 8:00 AM AND NOON.
- AS STATED BY THE APPLICANT, THERE SHALL BE A RECREATION AREA THAT WILL INCLUDE A POOL, BASKETBALL AND PLAYGROUND AREAS. THESE AREAS SHALL BE OPEN AND AVAILABLE TO THE RESIDENTS PRIOR TO THE ISSUANCE OF THE 90TH BUILDING PERMIT.
- AS STATED BY THE APPLICANT, SIDEWALKS SHALL BE PROVIDED THROUGHOUT THE DEVELOPMENT AS SHOWN ON THE PERMITTER SITE PLAN WITH THE ADDITION OF THE SIDEWALK CONNECTING THE BOYS AND GIRLS CLUB.
- A SIX FOOT HIGH PRIVACY FENCE SHALL BE PROVIDED BETWEEN THIS PROPERTY AND THE NANTICOKE INDIAN MUSEUM. DETAILS OF THE FENCE SHALL BE SHOWN ON THE LANDSCAPE PLAN INCLUDED AS PART OF THE FINAL SITE PLAN REVIEW PROCESS.
- AS PROPOSED BY THE APPLICANT, A SIX-FOOT HIGH PRIVACY FENCE SHALL BE ERRECTED ALONG THE WEST SIDE OF THE PROPERTY AND LANDSCAPING AND A MULTI-MODAL PATH SHALL BE INSTALLED ALONG ROUTE 24. ALSO, A 10 FOOT WIDE LANDSCAPING STRIP WITH SCREENING SHALL BE PROVIDED ALONG THE SOUTH SIDE OF THE PROJECT, ADJACENT TO THE OAK MEADOWS SUBDIVISION.
- ANY STREETLIGHTS ASSOCIATED WITH THE PROJECT SHALL BE DOWNWARD SCREENED SO THAT THEY DO NOT SHINE ON ADJACENT PROPERTIES OR ROADWAYS.
- THIS PRELIMINARY APPROVAL IS CONTINGENT UPON THE APPLICANT SUBMITTING A REVISED PRELIMINARY SITE PLAN EITHER PERTAINING OR NOTING THE CONDITIONS OF THIS APPROVAL UPON IT. THE STAFF SHALL REVIEW AND APPROVE THE REVISED SITE PLAN UPON CONFIRMATION THAT THE CONDITIONS OF APPROVAL HAVE BEEN DELETED OR NOTED ON IT.
- THE FINAL SITE PLAN SHALL BE SUBJECT TO REVIEW AND APPROVAL OF THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.
- THE SITE PLAN SHALL DEPICT UP TO AN ADDITIONAL 20 PARKING SPACES FOR THE PURPOSE OF OVERFLOW PARKING FOR GUESTS OF THE RESIDENTS OF THE COMMUNITY.



TRIP GENERATION - OAK ORCHARD ROAD (SCR #291)



FTIS RECOMMENDATIONS

AREA WIDE STUDY FEE AND OFFSITE IMPROVEMENTS MEMORANDUM PREPARED BY DELDOT, 01/24/2014

THE SUBJECT DEVELOPMENT MEETS DELDOT'S VOLUME IMPROVEMENTS TO PAY THE AREA WIDE STUDY FEE IN LIEU OF DOING A TRAFFIC IMPACT STUDY (TIS). THIS MEMORANDUM IS TO ADDRESS THE AMOUNT OF THAT FEE AND THE OFFSITE IMPROVEMENTS THAT SHOULD BE REQUIRED OF THE DEVELOPER IN THE ABSENCE OF A TIS. THE FEE AND IMPROVEMENTS PRESENTED BELOW AN ALTERNATIVE TO THE DEVELOPER DOING A TIS AND THE IMPROVEMENTS IDENTIFIED THROUGH DELDOT'S REVIEW OF THAT STUDY.

1. THE PROPOSED DEVELOPMENT CONSISTS OF 142 MULTI-FAMILY UNITS, CONTAINED IN 3-STORY BUILDINGS. PER LAND USE CODES 221 FROM THE 10TH EDITION OF THE INSTITUTE OF TRANSPORTATION ENGINEERS TRIP GENERATION MANUAL, THE PROPOSED DEVELOPMENT WOULD GENERATE THE AVERAGE DAILY TRIPS, THE FEE IS CALCULATED AT TEN DOLLARS PER DAYLY TRIP. FOR THE PROPOSED DEVELOPMENT, THE FEE WOULD BE \$1700.00. IT SHOULD BE PAID IN CONJUNCTION WITH THE INITIAL STAGE FEE.

2. THE DEVELOPER SHOULD ENTER INTO AN AGREEMENT WITH DELDOT TO MAKE AN EQUITABLE CONTRIBUTION TO THE HIGHWAY SAFETY IMPROVEMENT PROGRAM (HSIP) PROJECT AT THE INTERSECTIONS OF DELAWARE ROUTE 24 / HAY JOY ROAD / OAK ORCHARD ROAD AND DELAWARE ROUTE 24 / BAY FARM ROAD. THE DEVELOPER SHOULD COORDINATE WITH DELDOT'S DEVELOPMENT COORDINATION SECTION ON THE DETAILS OF THIS AGREEMENT.

NO STORMWATER FACILITY FOR THE PROJECT IS WITHIN 20' OF THE STATE RIGHT-OF-WAY

NO STORMWATER FACILITY FOR THE PROJECT IS WITHIN 20' OF THE STATE RIGHT-OF-WAY

THIS PLAN SUPERCEDES

THE RECORD PLAN FOR RIVERSIDE PLAZA DEVELOPMENT CO., LLC WAS PREPARED BY HILLCREST ASSOCIATES, LAST REVISED SEPTEMBER 8, 2020 AND RECORDED IN THE OFFICE OF THE SUSSEX COUNTY RECORDER OF DEEDS AS DOCUMENT # 2020000574 BK134 Pg. 45 ON JUNE 10, 2021.

I HEREBY CERTIFY THAT I AM THE EQUITABLE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THAT THE PLAN WAS MADE AT MY DIRECTION THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS

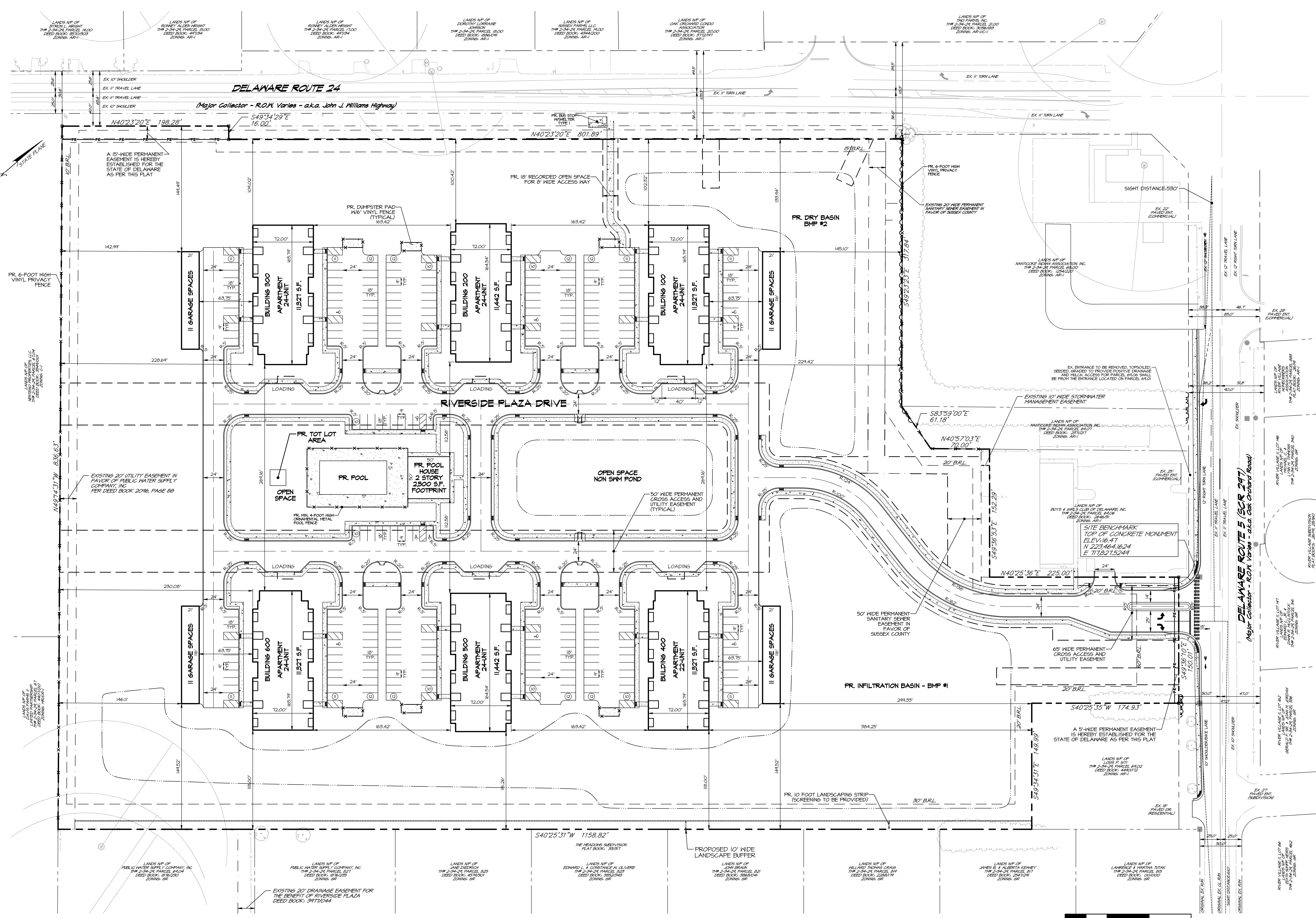
RIVERSIDE APARTMENTS DEVELOPMENT CO., LLC
300 DELAWARE AVENUE, SUITE 1870
WILMINGTON, DE 19801
Phone: 302.267.3045
Fax: 302.267.9999

ARCHITECTURE • ENGINEERING • LAND PLANNING • SURVEYING
P.O. BOX 1180
HOCKESSIN, DE 19707
PH: 610.274.8613
FAX: 610.274.0587

RECORD PLAN
RIVERSIDE PLAZA
INDIAN RIVER HUNDRED
SUSSEX COUNTY, DELAWARE

DATE: 4-10-18
DRAWN BY: RGI
CHECKED BY: EGI
PROJ. NO.: 452-R
SCALE: 1" = 60'
CAD FILE NAME: 452-RD-FRCO

DWG. NO. S1



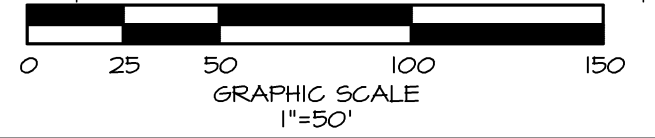
SEAL

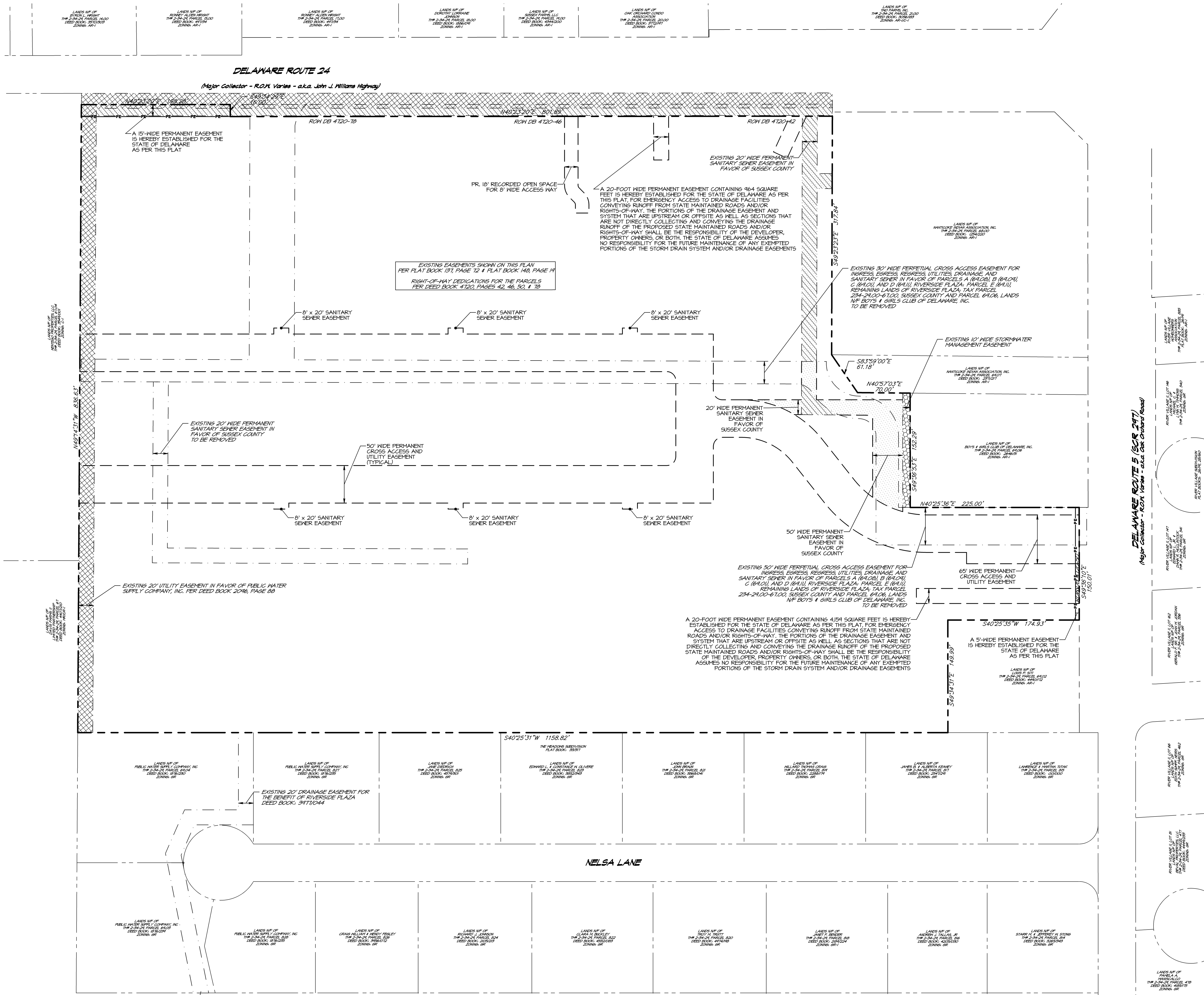
RECORD PLAN
RIVERSIDE PLAZA
 INDIAN RIVER HUNDRED
 SUSSEX COUNTY, DELAWARE

DATE	REVISION
06/27/18	REVISIONS PER AGENCY COMMENTS FOR PERMITS
08/22/18	REVISIONS PER AGENCY COMMENTS FOR PERMITS
09/20/18	REV LAYOUT, BLDG 1 GRADING, A.H.
09/24/18	REV PER PAZ REVIEW 09/21

DATE: 4-10-18
 DRAWN BY: KGI
 CHECKED BY: KGI
 PROJ. NO.: 452R
 SCALE: 1" = 50'
 CAD FILE NAME: 452RBD.FRD

DWG. NO. **S2**





DELAWARE ROUTE 24
 Major Collector - R.O.M. Varian - a.k.a. John J. Williams Highway

DELAWARE ROUTE 5 (S.R. 247)
 Major Collector - R.O.M. Varian - a.k.a. Oak Orchard Road

NELSON LANE

EXISTING EASEMENTS SHOWN ON THIS PLAN PER PLAT BOOK 031, PAGE 22 & PLAT BOOK 148, PAGE 14 RIGHT-OF-WAY DEDICATIONS FOR THE PARCELS PER DEED BOOK 4120, PAGES 42, 46, 50, & 70

A 15'-WIDE PERMANENT EASEMENT IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT

A 20'-FOOT WIDE PERMANENT EASEMENT CONTAINING 964 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS

A 20'-FOOT WIDE PERMANENT EASEMENT CONTAINING 4154 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS

EXISTING 30' WIDE PERPETUAL CROSS ACCESS EASEMENT FOR INGRESS, EGRESS, REGRESS, UTILITIES, DRAINAGE AND SANITARY SEWER IN FAVOR OF PARCELS A (64.00), B (64.00), C (64.00), AND D (64.00), RIVERSIDE PLAZA; PARCEL E (64.00), REMAINING LANDS OF RIVERSIDE PLAZA, TAX PARCEL 234-24.00-61.00, SUSSEX COUNTY AND PARCEL 64.00, LANDS NF BOYS & GIRLS CLUB OF DELAWARE, INC. TO BE REMOVED

EXISTING 10' WIDE STORMWATER MANAGEMENT EASEMENT

65' WIDE PERMANENT CROSS ACCESS AND UTILITY EASEMENT

EXISTING 20' UTILITY EASEMENT IN FAVOR OF PUBLIC WATER SUPPLY COMPANY, INC. PER DEED BOOK 2016, PAGE 99

EXISTING 20' WIDE PERMANENT SANITARY SEWER EASEMENT IN FAVOR OF SUSSEX COUNTY TO BE REMOVED

50' WIDE PERMANENT CROSS ACCESS AND UTILITY EASEMENT (TYPICAL)

50' WIDE PERMANENT SANITARY SEWER EASEMENT IN FAVOR OF SUSSEX COUNTY

EXISTING 50' WIDE PERPETUAL CROSS ACCESS EASEMENT FOR INGRESS, EGRESS, REGRESS, UTILITIES, DRAINAGE AND SANITARY SEWER IN FAVOR OF PARCELS A (64.00), B (64.00), C (64.00), AND D (64.00), RIVERSIDE PLAZA; PARCEL E (64.00), REMAINING LANDS OF RIVERSIDE PLAZA, TAX PARCEL 234-24.00-61.00, SUSSEX COUNTY AND PARCEL 64.00, LANDS NF BOYS & GIRLS CLUB OF DELAWARE, INC. TO BE REMOVED

A 5'-WIDE PERMANENT EASEMENT IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT

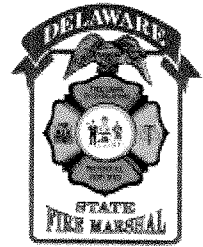
EASEMENT PLAN
RIVERSIDE PLAZA
INDIAN RIVER HUNDRED
SUSSEX COUNTY, DELAWARE

DATE:	4-10-18	REVISION:	
DRAWN BY:	KGI	REVISIONS PER AGENCY COMMENTS (04)	
CHECKD. BY:	KGI	REVISIONS PER AGENCY COMMENTS (05)	
PROJ. NO.:	452R	REVISIONS PER AGENCY COMMENTS (06)	
SCALE:	1" = 50'	REVISIONS PER AGENCY COMMENTS (07)	
CAD FILE NAME:	452R.DWG	REVISIONS PER AGENCY COMMENTS (08)	



OFFICE OF THE STATE FIRE MARSHAL
Technical Services

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2020-04-204178-MJS-01

Tax Parcel Number: 234-29.00-69.01

Status: Approved as Submitted

Date: 07/09/2020

Project

Riverside Plaza

Oak Orchard Road
Millsboro DE 19966

Riverside Plaza

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 80 - Indian River Volunteer Fire Co.,
Inc.

Occupant Load Inside:

Occupancy Code: 9603

Applicant

Joseph Calabro
300 Delaware Avenue Suite 1370
Wilmington, DE 19801

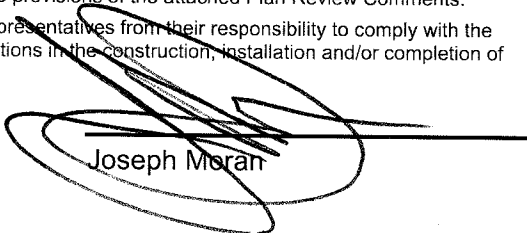
This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:


Joseph Moran

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2020-04-204178-MJS-01

Tax Parcel Number: 234-29.00-69.01

Status: Approved as Submitted

Date: 07/09/2020

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1050 A** This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 1,500 gpm @ 20 psi residual for 2 hours duration. Hydrant Spacing: 800' on center.
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1190 A** Separate plan submittal is required for the building(s) proposed for this project.
- 2710 A** The following items will be field verified by this Agency at the time of final inspection:
- 1132 A** Fire hydrants shall be color coded in accordance with the DSFPR, Part III, Section 3 4. This includes both color coding the bonnet and 2" reflective tape around the barrel under the top flange.
- 1130 A** Provide a water flow test on the subdivision hydrant(s) once they have been installed, and before they are placed into service (DSFPR Part I, Section 4 4.2 and Part III, Chapter 3). Results are to be forwarded to this Agency for review.
- 1032 A** Additional hydrants and/or relocation of proposed hydrants are required for this project (DSFPR Part II Chapter 6). Contact this Agency for location information.

- 1232 A** All threads provided for fire department connections, to sprinkler systems, standpipes, yard hydrants or any other fire hose connections shall be uniform to those used by the fire department in whose district they are located. DSFPR Part III, Section 1.1.5.1.
- 1332 A** The distance between a fire hydrant and the fire lane shall not be greater than seven feet (DSFPR Part V, Chapter 5, Section 5 10.4).
- 1432 A** The steamer connection of all fire hydrants shall be so positioned so as to be facing the street or fire lane. (DSFPR Regulation 705, Chapter 5, Section 10). The center of all hose outlet(s) on fire hydrants shall be not less than 18 inches above finalgrade (NFPA 24, Section 7.3.3).
- 1090 A** Fire Lane Access and Perimeter Access shall be in accordance with Table 5-2. (DSFPR Regulation 705, Chapter 5, Section 4.2)Percent of Perimeter Access requirements shall include the required Percent of Fire Lane Access requirements of Table 5-2. (DSFPR Regulation 705, Chapter 5, Section 4.5.2).
- 1501 A** If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes orrevisions to the plans occur, plans are required to be submitted, reviewed, and approved.



December 21, 2020

Mr. Joseph Calabro
c/o Hillcrest Associates
P.O. Box 1180
Hockessin, DE 19707

RE: Riverside Plaza Revision

Dear Mr. Calabor:

A Sediment and Stormwater Management Plan has been reviewed for compliance with the Sediment and Stormwater Regulations and is approved with conditions (see attached). Enclosed herein please find a revision to the approved plans. Please retain a copy for your use, and provide the contractor with a copy to be retained onsite at all times. Failure to keep an approved plan onsite is a violation of the approved plan.

Approval of a Sediment and Stormwater Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.

This plan approval pertains to compliance with the *Delaware Sediment and Stormwater Regulations*. Please understand that the approval of this plan does not relieve you from complying with any and all federal, state, county, or municipal laws and regulations.

As of January 1, 2014, the Sussex Conservation District began collecting financial guarantees to ensure the construction of stormwater management practices is accomplished in accordance with the approved sediment and stormwater plan. Please refer to the SCD Policy on Bonds located on our website at Sussexconservation.org. If you have any questions concerning the aforementioned, please do not hesitate to call 302 856-7219.

Sincerely,

Jessica Watson
Jessica Watson
Program Manager

JW/jmg

cc: Janelle Cornwell

CONDITIONS OF APPROVAL

NOTIFICATION

1. This revised plan does not extend or change the original sediment and stormwater plan approval date, which is valid for 5 years. If construction does not begin within five years of the original approval date, the approved plan will be considered to have expired, and must be resubmitted to the District for a new review. In addition, if work is not completed within the five-year timeframe, the District must be contacted and a request for an extension submitted. Depending on regulation changes, a new plan may need to be submitted to ensure that all stormwater management facilities are constructed to the most recent standards.
2. Submittal of the Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activities together with this approval of the detailed Sediment and Stormwater Plan provide this project with Federal permit coverage to be authorized to discharge storm water associated with construction activities. It is the owner's responsibility to ensure that permit coverage remains valid throughout construction by submitting the NOI fee annually as requested. The developer is responsible for weekly self-inspection reporting to be retained onsite.
3. Notify the Sussex Conservation District Sediment and Stormwater Management Section of your intent to begin construction in writing five (5) days prior to commencing. Failure to do so constitutes a violation of the approved plan.

CHANGES

4. This project is to be undertaken in accordance with the plans submitted and as approved. If changes are necessary at any time during the completion of the project, submit revised plans, prior to further construction, to the Sussex Conservation District Sediment and Stormwater Program for review and approval of the revision.
5. Should ownership change during the construction period, a revised plan must be submitted for approval showing the new owner's signature on the owner's certification. In addition, a Transfer of Authorization form must be submitted to DNREC to transfer Federal permit coverage to the new owner.

CONSTRUCTION AND CLOSEOUT

6. A pre-construction meeting must take place before any land disturbing activity begins. The meeting may take place on site and be attended by the owner, contractor, design consultant, Certified Construction Reviewer and Sussex Conservation District Sediment and Stormwater Program Construction Reviewer. The owner or the owner's designee shall contact the Sussex Conservation Construction Reviewer to schedule the pre-construction meeting.
7. Keep available onsite, during all phases of construction, a copy of the approved Sediment and Stormwater Management Plan.
8. Keep available onsite, during all phases of construction, copies of the Developers weekly self-inspection reports and/or the CCR Reports.
9. Any sediment transported off-site to roads or road rights-of-way including ditches shall be removed. Any damage to ditches shall be repaired and stabilized to original condition.
10. Grading shall not impair surface drainage, create an erosion hazard, or create a source of sediment to any adjacent watercourse or property owner.
11. Failure to implement the permanent stormwater management practices as mentioned herein constitutes a violation of the conditions of this plan approval; it may result in the suspension or revocation of building permits or grading permits issued by the local jurisdiction; and it may result in legal action by the DNREC to bring the site into compliance with the approved Sediment and Stormwater Management Plan and the *Delaware Sediment and Stormwater Regulations*.
12. The permanent stormwater management facility or facilities must be constructed and accepted by the Sussex Conservation District Sediment and Stormwater Program prior to final closeout of the project site. Post construction verification documentation of the stormwater management facility or facilities must be completed as soon as construction of the facility or facilities is complete so that any necessary modifications may be made during the construction period.

ENGINEERING DEPARTMENT

ADMINISTRATION	(302) 855-7718
AIRPORT & INDUSTRIAL PARK	(302) 855-7774
ENVIRONMENTAL SERVICES	(302) 855-7730
PUBLIC WORKS	(302) 855-7703
RECORDS MANAGEMENT	(302) 854-5033
UTILITY ENGINEERING	(302) 855-7717
UTILITY PERMITS	(302) 855-7719
UTILITY PLANNING	(302) 855-1299
FAX	(302) 855-7799



Sussex County

DELAWARE
sussexcountyde.gov

HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

MICHAEL E. BRADY
DIRECTOR OF PUBLIC WORKS

December 29, 2020

Hillcrest Associates Inc.
PO Box 1180
Hockessin, DE 19707

**RE: Riverside Plaza
SUSSEX COUNTY TAX MAP NUMBERS
234-29.00-69.01, 69.08, 69.09, 69.11
AGREEMENT NO. 1114-1**

Dear Mr. Hill,

The Sussex County Engineering Department has concluded its final review of agreement number **1114-1**.

For FINAL approval please submit the following:

- A completed wastewater construction permit review from DNREC.
- Four (3) sets of 24" x 36"
- One (1) CD or electronic file transfer of PDFs for each sheet. Include all scanned signatures.

All submitted plans must be signed and sealed by the Engineer/Consultant. All cover sheets must have the owner/developer's signature and wetland consultant signature.

After approval, one set of County approved plans will be returned for your files.

If you have questions, my direct number is listed below.

Sincerely,

Ken Briggs
Public Works Engineering Technician II
302-855-7820





STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. Box 778
DOVER, DELAWARE 19903

NICOLE MAJESKI
SECRETARY

July 08, 2021

Mr. Alan Hill
Hillcrest Associates, Inc.
P.O. Box 1180
Hockessin, Delaware 19707

**SUBJECT: Entrance Plan Approval Letter
Riverside Plaza**

Tax Parcel #234-29.00-69.11, 234-29.00-69.09, 234-29.00-69.10, 234-29.00-69.01, 234-29.00-69.08
SCR00297-OAK ORCHARD ROAD
SCR00024-JOHN J WILLIAMS HIGHWAY
Indian River Hundred, Sussex County

Dear Mr. Hill:

The Department of Transportation has reviewed the Commercial Entrance Plans dated March 2, 2021 (last revised March 2, 2021) for the referenced project and determined that they are in general conformance with the Department's current regulations, specifications and standard details. By signing and sealing the plan set, the developer's engineer is responsible for accuracy of content. Any errors, omissions or required field changes will be the responsibility of the developer. This plan approval shall be valid a period of **three (3) years**. If an entrance permit has not been obtained within three years, then the plans must be updated to meet current requirements and resubmitted for review and approval.

This letter does not authorize the commencement of entrance construction. The following items will be required prior to the permit being issued. A pre-construction meeting may be required as determined by the South District Public Works office.

1. A copy of the recorded Site Plan which is consistent with the DeIDOT "No Objection to Recordation" stamped plan and all appropriate signatures, seals, plot book and page number.
2. Three (3) copies of the approved entrance plans.
3. Completed permit application.
4. Executed agreements (i.e. construction, signal, letter).
5. An itemized construction cost estimate.

Riverside Plaza
Mr. Hill
Page 2
July 08, 2021

6. A 150% security based upon an approved itemized construction cost estimate and W-9 form (if providing escrow).
7. A letter of source of materials, work schedule, list of subcontractors, emergency telephone numbers and names of contact persons.

Please contact the South District Public Works office (302) 853-1340 concerning any questions you may have relative to the aforementioned required items.

Sincerely,



R. Stephen McCabe
Sussex County Review Coordinator
Development Coordination

cc: Joseph Calabro, Riverside Plaza Development, LLC
Jamie Whitehouse, Sussex County Planning & Zoning Commission
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Matt Schlitter, South District Public Works Engineer
Scott Rust, South District Public Work Manager
James Argo, South District Project Reviewer
William Kirsch, South District Entrance Permit Supervisor
Jerry Nagyiski, Safety Officer Supervisor
Jennifer Pinkerton, Chief Materials & Research Engineer
Linda Osiecki, Pedestrian Coordinator
John Fiori, Bicycle Coordinator
Mark Galipo, Traffic Development Coordination Engineer
Tim Phillips, Maintenance Support Manager
Dan Thompson, Safety Officer North District
Jared Kauffman, DTC Planner
James Kelley, JMT
Wendy L. Polasko, Subdivision Engineer
Kevin Hickman, Sussex County Reviewer

MAPPING & ADDRESSING

MEGAN NEHRBAS
MANAGER OF GEOGRAPHIC
INFORMATION SYSTEMS (GIS)
(302) 855-1176 T
(302) 853-5889 F



Sussex County
DELAWARE
sussexcountyde.gov

August 24, 2021

Apennine Development Co., LLC

Attn: **Joseph Calabro**

RE: Change of Subdivision Name(s)/Formally known as:

RIVERSIDE PLAZA

I have received your request to change the subdivision previously approved as **RIVERSIDE PLAZA**, located in **Millsboro, DE** (234-29.00-69.01). The name change has been approved and will now be known as:

RIVERSIDE APARTMENTS

Should you have any questions please contact the **Sussex County Addressing Department at 302-855-1176.**

Sincerely,

Brian L. Tolley, GISP, CP
GIS Specialist II

CC: Christin Scott
Planning & Zoning



EASTERN SHORE NATURAL GAS HOLLYMOUNT

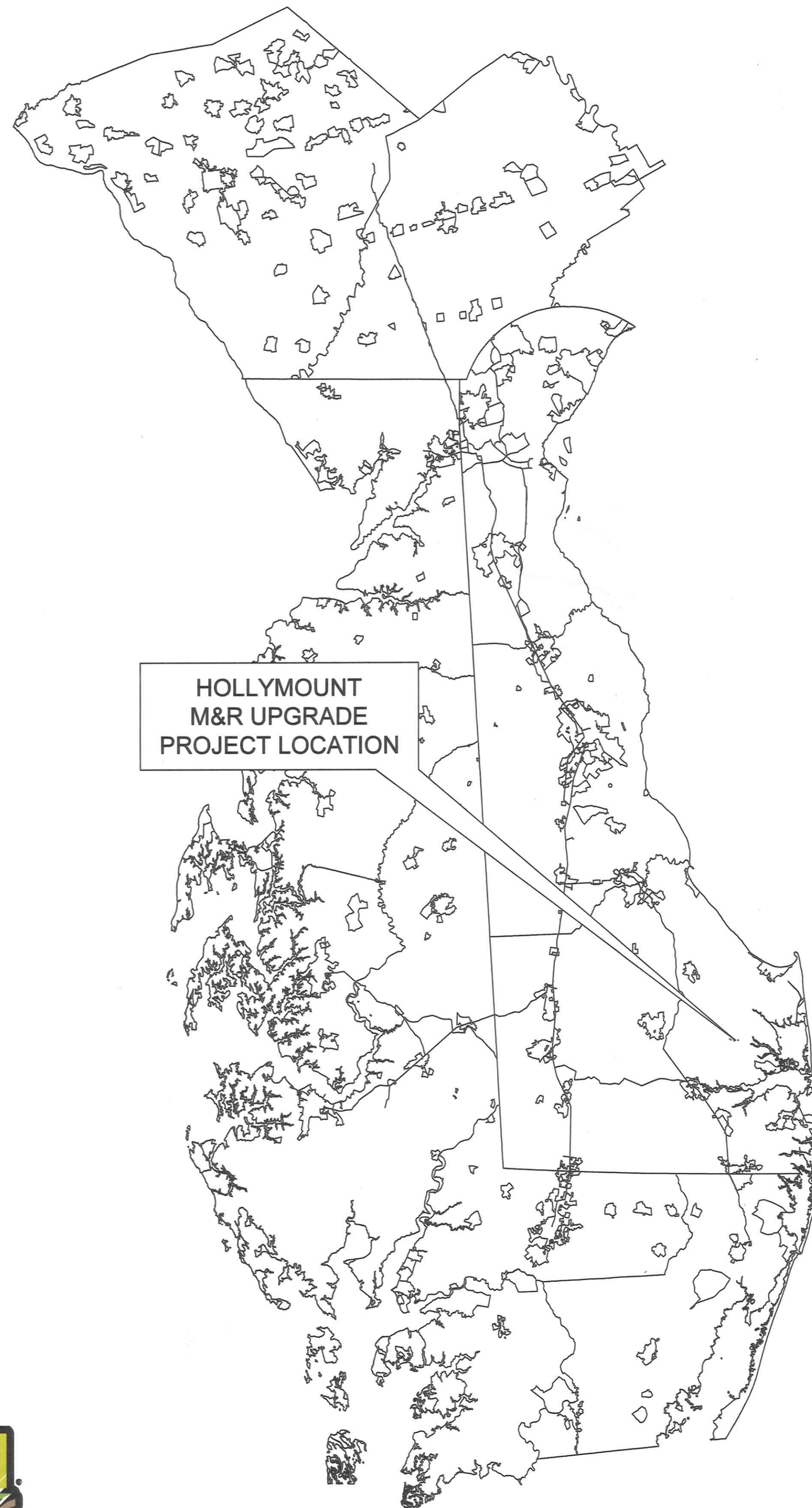
PROPOSED METER & REGULATOR STATION

20928 BEAVER DAM ROAD, HARBESON, DE 19951

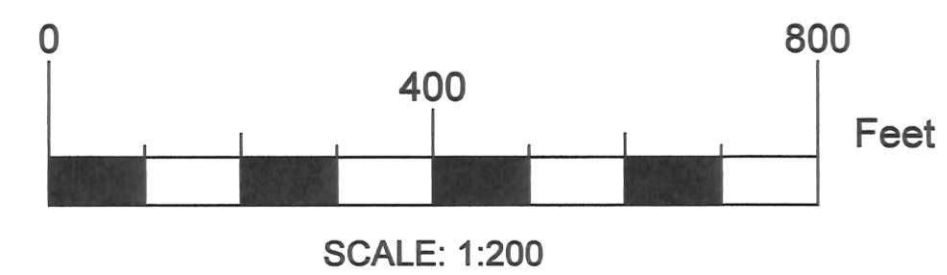
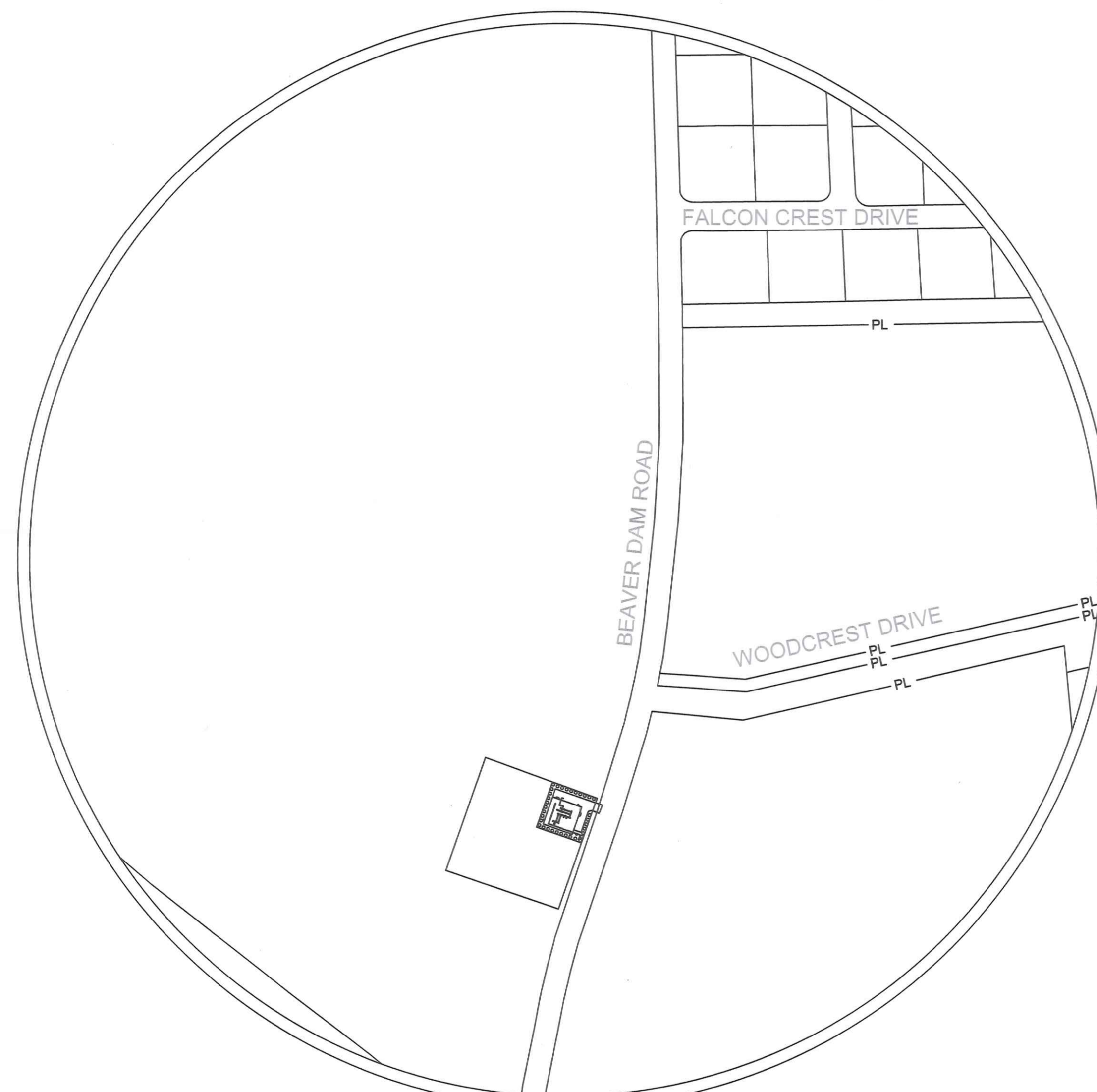
REVISION LOG			
REV #	DATE	DESCRIPTION	REQUEST BY

DRAWING INDEX

SHEET #	SHEET NAME
1	COVER PAGE
2	MAINLINE P&ID
3	STATION P&ID
4-6	E&S CONTROL
7	SITE PLAN - CONSTRUCTION
8	SITE PLAN - FINAL
9	STATION PLAN - CIVIL
10	STATION PLAN - MECHANICAL
11-14	SECTION VIEW
15-16	CONSTRUCTION DETAILS
17-18	STATION ELECTRICAL AND GROUNDING DETAILS
19-20	BILL OF MATERIALS



METER & REGULATOR STATION LOCATION DETAILS



SITE DATA

1. TAX PARCEL NO 234-16.00-12.00
2. EXISTING ZONING: AR-1, AGRICULTURAL RESIDENTIAL
3. PROPOSED TOTAL EASEMENT AREA: 71,780 SQUARE FEET (1.65 ACRES)
4. SETBACKS
FRONT YARD: 40-FEET
SIDE YARD: 15-FEET
REAR YARD: 20-FEET
5. NO WETLANDS ARE PRESENT ON THE LANDS DEPICTED WITHIN THE PROPOSED EASEMENT AREA
6. FLOOD INSURANCE RATE MAP 10005C0340K PANEL 340 OF 680 INDICATES THIS SITE IS NOT LOCATED WITHIN A FLOOD PLAIN

STATION DATA

PARAMETER	VALUE	UNIT
ATLAS ID	DP101	
INLET PRESSURE	720	PSIG
OUTLET PRESSURE	55	PSIG
RUN CAPACITY	300	MCFH



DEPARTMENTAL AUDIT		
DEPARTMENT	SME SIGNATURE	DATE
CONSTRUCTION		
ENGINEERING		
INTEGRITY		
OPERATIONS		
RIGHT-OF-WAY		

NOTES: NO ADDITIONAL REMARKS

EASTERN SHORE
NATURAL GAS

800 ENERGY LANE - SUITE 200, DOVER, DE 19901
TELEPHONE: (302)734-6710 - FAX: (302)735-5601

ISSUE FOR BID

HOLLYMOUNT METER & REGULATOR STATION 20928 BEAVER DAM ROAD, HARBESON, DE 19951	
DRAWING: COVER PAGE	
DRAWN BY: C. BIDDLE	DATE: 3/27/2020
MOC No.: MOC-2018-49	PROJECT ID: ES18080126

SHEET: 01 OF 20

CONTRACTOR TO PLACE STEEL PLATES UNDER REGULATION TRAILER. PLATES SHALL BE PLACED OVER THE STONE

PROPOSED TEMPORARY WORKSPACE

PROPOSED PERMANENT EASEMENT

EXCESS SOIL STOCKPILE

STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL)

PROPOSED HOLLYMOUNT M&R STATION

CONTRACTOR TO PLACE STEEL PLATES UNDER EACH OF THE THREE (3) TRAILER OUTRIGGERS. PLATES SHALL BE PLACED OVER THE STONE

APPROXIMATELY 23,000 SQUARE FEET OF TOPSOIL REMOVED AND MODIFIED FOR TRUCK ACCESS (SEE DETAIL C4)

STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL)

STEEL MOUNTED ORANGE SAFETY FENCE - 4' HIGH

MARLIN CNG TRUCK ROUTE

EXISTING PERMANENT EASEMENT

EXISTING PROPERTY LINE

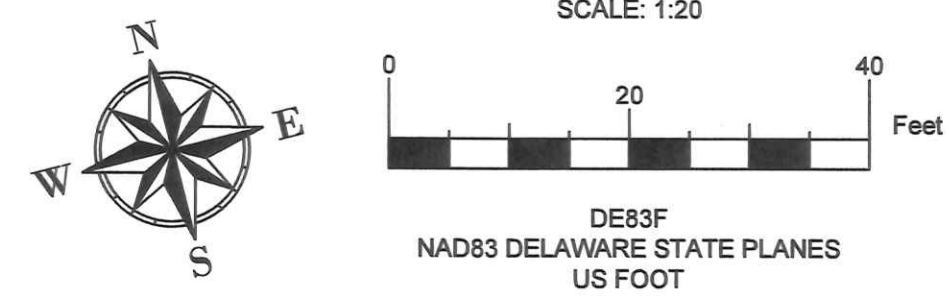
BEAVER DAM ROAD

REVISIONS

NO.	DATE	DESCRIPTION	BY

NOTES:
NO ADDITIONAL REMARKS

- EXCAVATE WITH CAUTION!!! EXACT LOCATION OF EXISTING UNDERGROUND PIPES AND UTILITIES IS UNKNOWN.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.



EASTERN SHORE
NATURAL GAS

500 ENERGY LANE - SUITE 200, DOVER, DE 19901
TELEPHONE: (302)734-6710 - FAX: (302)735-6601

ISSUE FOR CONSTRUCTION

HOLLYMOUNT
METER & REGULATOR STATION
28833 RD 285 HARBESON, SUSSEX COUNTY, DE 19951

DRAWING: 07 - SITE PLAN - CONSTRUCTION

DRAFTER: C. BIDDLE DATE: 03/27/2020

MOC No.: MOC-2018-49 PROJECT ID: ES180801

PROPOSED EASTERN REDBUD (CERCIS CANADENIS) 5'-6" HEIGHT TO BE PLANTED ON CORNERS OF PERMANENT EASEMENT

12 PROPOSED EMERALD GREEN ARBORVITAE (THUJA OCCIDENTALIS) 5'-6" HEIGHT TO BE PLANTED 3' OFF OF PERMANENT EASEMENT LINE AND 8' CENTER TO CENTER

PROPOSED EASTERN REDBUD (CERCIS CANADENIS) 5'-6" HEIGHT TO BE PLANTED ON CORNERS OF PERMANENT EASEMENT

APPROXIMATELY 3,900 SQUARE FEET OF PERVIOUS GRAVEL SURFACE (AASHO #57 STONE) 6" COVER INSIDE OF STATION (SEE DETAIL C3)

12 PROPOSED EMERALD GREEN ARBORVITAE (THUJA OCCIDENTALIS) 5'-6" HEIGHT TO BE PLANTED 3' OFF OF PERMANENT EASEMENT LINE AND 8' CENTER TO CENTER

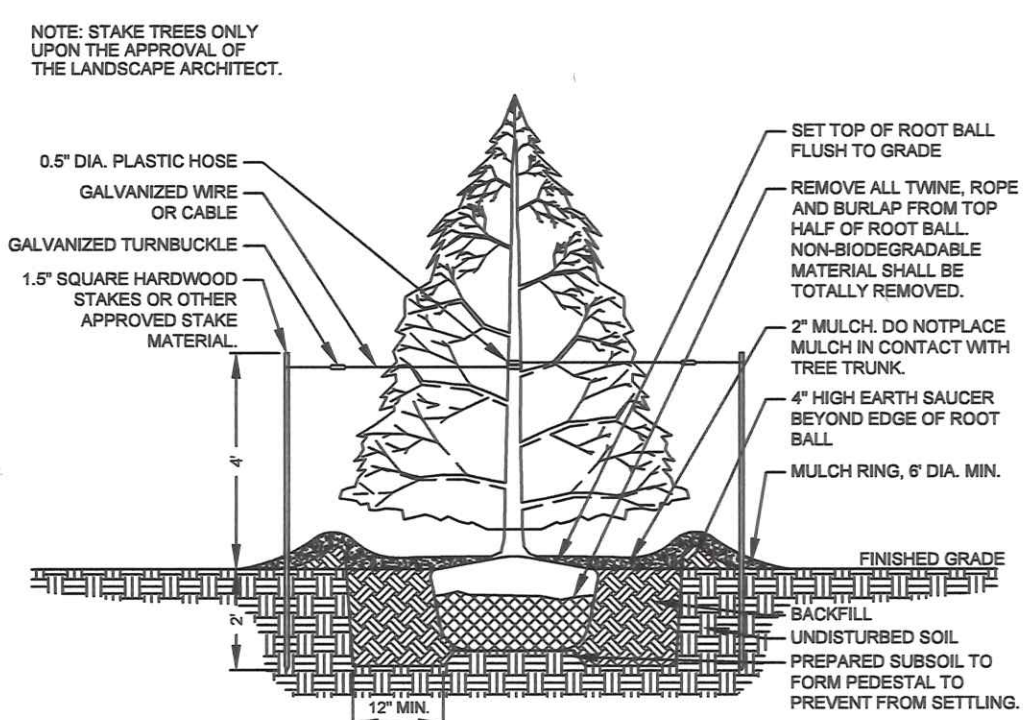
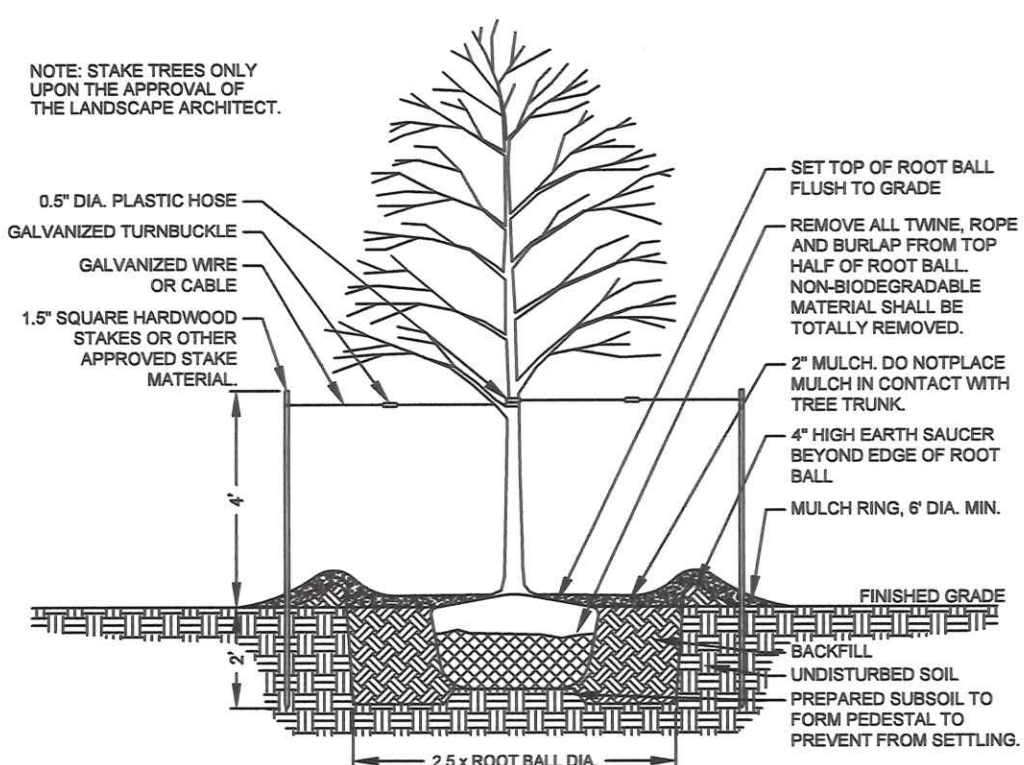
PROPOSED EASTERN REDBUD (CERCIS CANADENIS) 5'-6" HEIGHT TO BE PLANTED ON CORNERS OF PERMANENT EASEMENT

PROPOSED HOT MIX APRON (SEE DETAIL C1)

APPROXIMATELY 2,700 SQUARE FEET OF IMPERVIOUS GRAVEL DRIVEWAY (SEE DETAIL C2)

PROPOSED EASTERN REDBUD (CERCIS CANADENIS) 5'-6" HEIGHT TO BE PLANTED ON CORNERS OF PERMANENT EASEMENT

10 PROPOSED EMERALD GREEN ARBORVITAE (THUJA OCCIDENTALIS) 5'-6" HEIGHT TO BE PLANTED 3' OFF OF PERMANENT EASEMENT LINE AND 8' CENTER TO CENTER



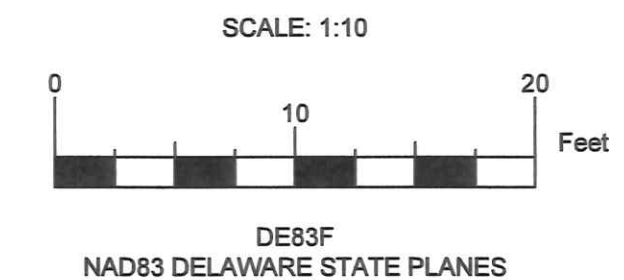
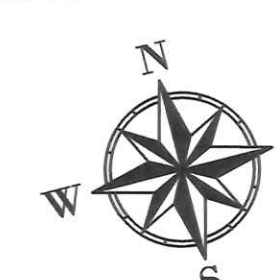
- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS AND CLEANUP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSE FOLIAGE, VIGOROUS ROOT SYSTEMS, AND BE FREE FROM DEFECTS AND INJURIES.
- THE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF THE PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISIONS SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE (1) YEAR FOR TREES AND A MINIMUM OF ONE (1) YEAR FOR SHRUBS. REPLACEMENT SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE. THE DEVELOPER IS EXPECTED TO MAINTAIN PLANTINGS, INCLUDING WATERING ALL PLANTS ANY TIME FROM APRIL TO DECEMBER WHEN NATURAL RAINFALL IS LESS THAN ONE INCH PER WEEK.
- INsofar AS IS PRACTICABLE, PLANT MATERIALS SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE (3) DAY PERIOD AFTER DELIVERY.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF ROOTBALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1-1988 (OR CURRENT EDITION) "AMERICAN STANDARD FOR NURSERY STOCK," LAST REVISION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS SHALL BE PLANTED IN TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACKFILLING PROGRESSES. NOTHING BUT SUITABLE TOPSOIL, FREE OF DRY SOD, STIFF CLAY, LITTER, ETC., SHALL BE USED FOR PLANTING.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK AND BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOTBALL ONLY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE.
- NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO (2) FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
- SET PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT, AFTER SETTLEMENT, A NORMAL OR NATURAL RELATIONSHIP TO THE GROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
- ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES (2" CALIPER AND OVER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES MUST NOT BE CUT BACK. LONG SIDE BRANCHES, HOWEVER, MUST BE SHORTENED.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF THE PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING ONLY WHEN CONDITIONS MERIT. ALL TREES SIX (6) INCHES AND OVER IN CALIPER SHALL BE GUYED. SMALLER TREES SHALL BE STAKED. GUYING WIRES AND STAKES SHALL BE INSTALLED AS INDICATED.
- SHOULD A PLANT BE UNAVAILABLE AT THE TIME OF INSTALLATION, ALL SUBSTITUTIONS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- AREAS TO BE LANDSCAPED SHALL RECEIVE STOCKPILED TOPSOIL TO A MINIMUM DEPTH OF FOUR (4) TO SIX (6) INCHES. ORGANIC MATTER CONTENT OF TOPSOIL SHALL BE A MINIMUM OF 4%. IN THE EVENT THAT ORGANIC MATTER CONTENT IS DEFICIENT, SOIL AMENDMENTS SHALL BE ADDED AS NECESSARY TO ACHIEVE THE REQUIRED PERCENTAGE.
- PLANTING OPERATIONS SHALL INCLUDE THE COMPLETE REMOVAL OF ALL SYNTHETIC MATERIAL (IF USED) FROM THE ROOTBALL PRIOR TO PLANTING.
- ALL DISTURBED AREAS NOT PAVED OR MULCHED SHALL BE SEEDED.
- WHEN TREE GROWTH BEGINS, ALL STAKES AND/OR GUYING SHALL BE REMOVED.
- THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.

REVISIONS

NO.	DATE	DESCRIPTION	BY
01	5/20/2020	REVISE ENTRANCE AND DIMENSION	CHB

NOTES:
NO ADDITIONAL REMARKS

- EXCAVATE WITH CAUTION!!! EXACT LOCATION OF EXISTING UNDERGROUND PIPES AND UTILITIES IS UNKNOWN.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.



EASTERN SHORE
NATURAL GAS

500 ENERGY LANE - SUITE 200, DOVER, DE 19901
TELEPHONE: (302)734-6710 - FAX: (302)735-5601

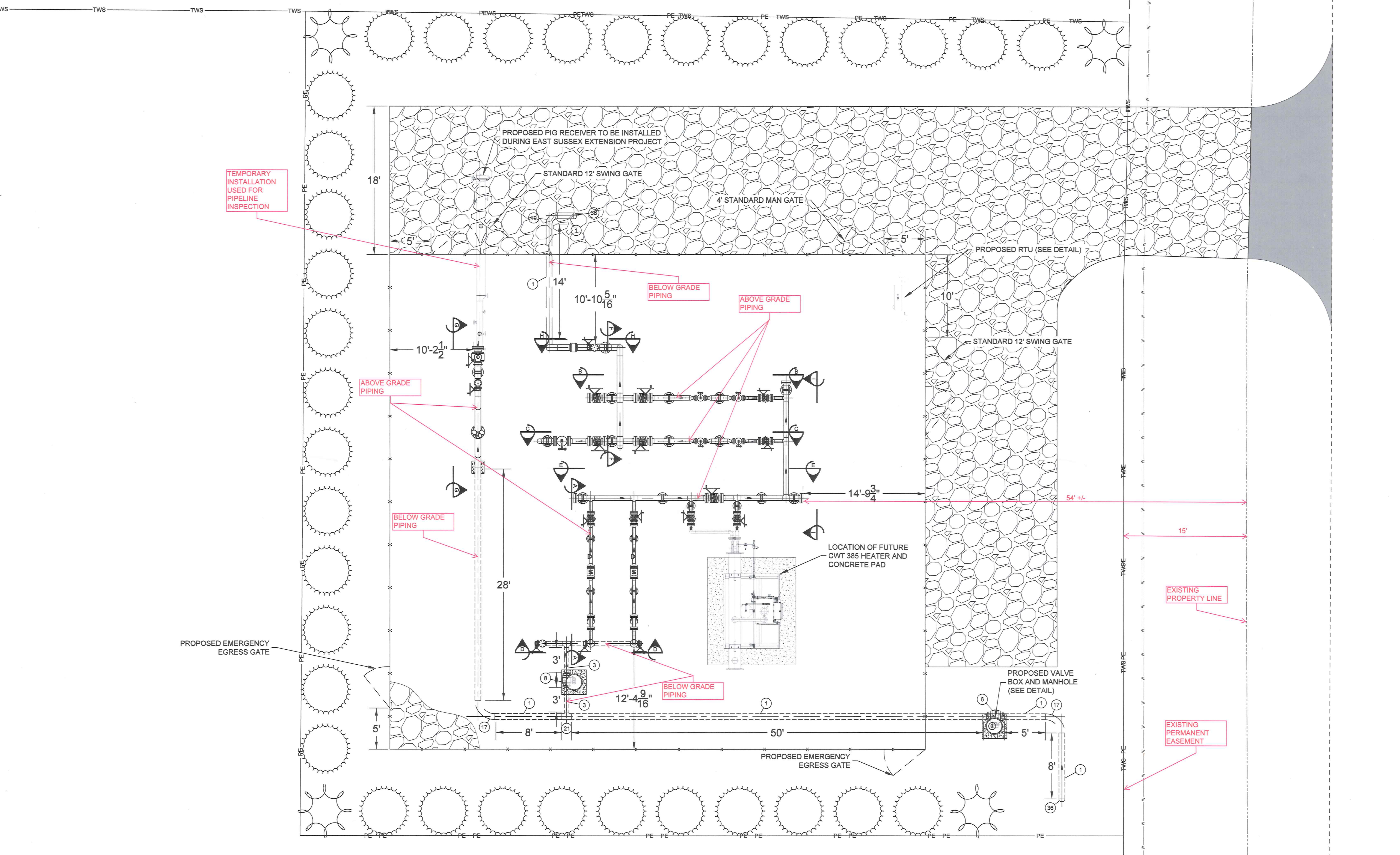
ISSUE FOR CONSTRUCTION

HOLLYMOUNT
METER & REGULATOR STATION
20933 RD 285 HARBESON, SUSSEX COUNTY, DE 19951

DRAWING: 09 - STATION PLAN - CIVIL
DRAFTER: C. BIDDLE
MOC No.: MOC-2018-49

DATE: 05/20/2020
PROJECT ID: ES18080126

SHEET: 09 OF 20



TEMPORARY
INSTALLATION
USED FOR
PIPELINE
INSPECTION

BELOW GRADE
PIPING

ABOVE GRADE
PIPING

ABOVE GRADE
PIPING

BELOW GRADE
PIPING

BELOW GRADE
PIPING

PROPOSED EMERGENCY
EGRESS GATE

EXISTING
PROPERTY LINE

EXISTING
PERMANENT
EASEMENT

811
Know what's below.
Call 811 before you dig.

1. EXCAVATE WITH CAUTION!!! EXACT LOCATION OF EXISTING UNDERGROUND PIPES AND UTILITIES IS UNKNOWN.
2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.

REVISIONS			
NO.	DATE	DESCRIPTION	BY
01	5/20/2020	HOLLYMOUNT M&R IFB REVISION 01	CHB

NOTES:
NO ADDITIONAL REMARKS

SCALE: 1" = 60'

DEB3F
NAD83 DELAWARE STATE PLANES
US FOOT

EASTERN SHORE
NATURAL GAS

500 ENERGY LANE - SUITE 200, DOVER, DE 19901
TELEPHONE: (302)734-8710 - FAX: (302)735-5601

ISSUE FOR CONSTRUCTION

HOLLYMOUNT
METER & REGULATOR STATION
20833 RD 285 HARBESON, SUSSEX COUNTY, DE 19951

DRAWING: 10 - STATION PLAN - MECHANICAL
DRAFTER: C. BIDDLE
MOC No.: MOC-2018-49

DATE: 06/10/2020
PROJECT ID: ES180801

PROPOSED EASTERN REDBUD (CERCIS CANADENSIS) 5'-6' HEIGHT TO BE PLANTED ON CORNERS OF PERMANENT EASEMENT

12 PROPOSED EMERALD GREEN ARBORVITAE (THUJA OCCIDENTALIS) 5'-6' HEIGHT TO BE PLANTED 3' OFF OF PERMANENT EASEMENT LINE AND 8' CENTER TO CENTER

PROPOSED EASTERN REDBUD (CERCIS CANADENSIS) 5'-6' HEIGHT TO BE PLANTED ON CORNERS OF PERMANENT EASEMENT

APPROXIMATELY 3,900 SQUARE FEET OF IMPERVIOUS GRAVEL SURFACE (AASHO #57 STONE) 6" COVER INSIDE OF STATION (SEE DETAIL C3)

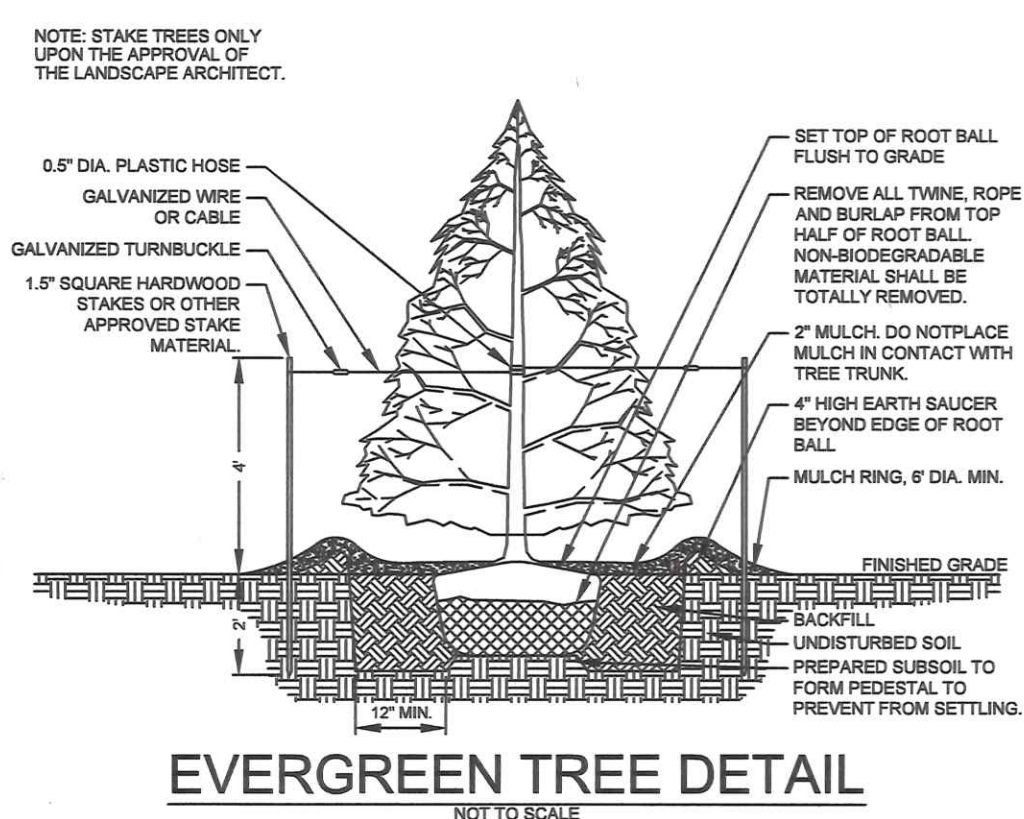
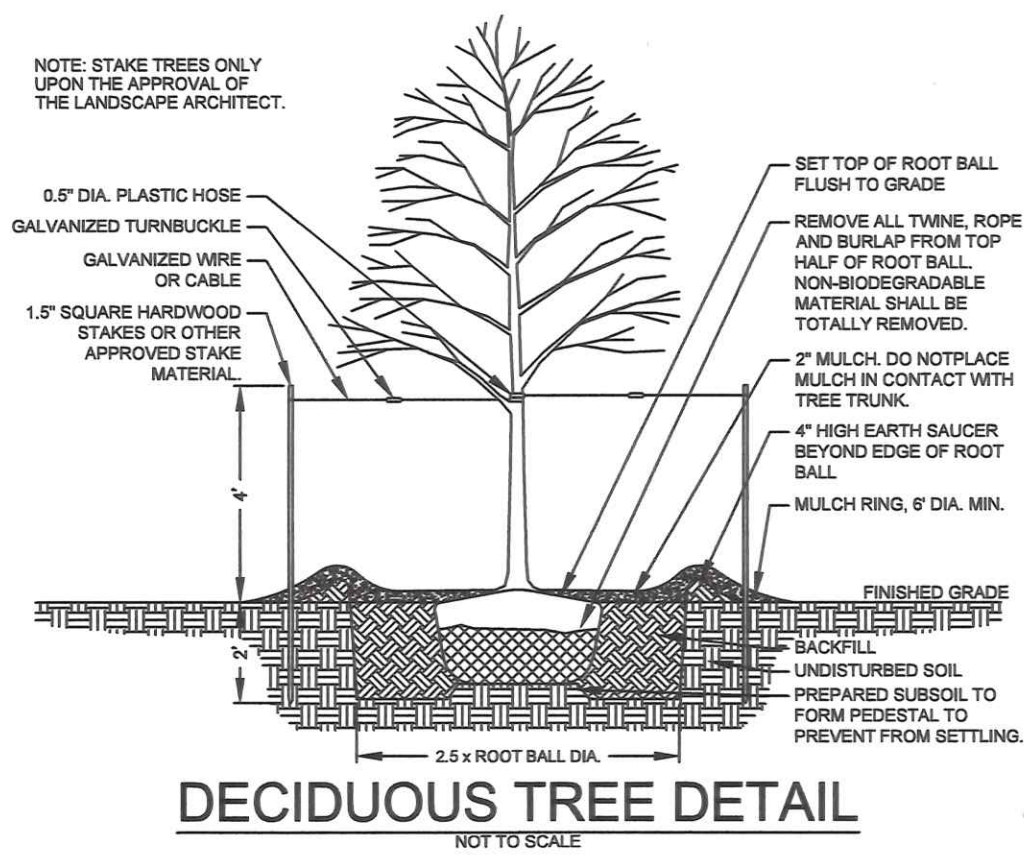
12 PROPOSED EMERALD GREEN ARBORVITAE (THUJA OCCIDENTALIS) 5'-6' HEIGHT TO BE PLANTED 3' OFF OF PERMANENT EASEMENT LINE AND 8' CENTER TO CENTER

PROPOSED EASTERN REDBUD (CERCIS CANADENSIS) 5'-6' HEIGHT TO BE PLANTED ON CORNERS OF PERMANENT EASEMENT

APPROXIMATELY 2,700 SQUARE FEET OF IMPERVIOUS GRAVEL DRIVEWAY (SEE DETAIL C2)

10 PROPOSED EMERALD GREEN ARBORVITAE (THUJA OCCIDENTALIS) 5'-6' HEIGHT TO BE PLANTED 3' OFF OF PERMANENT EASEMENT LINE AND 8' CENTER TO CENTER

PROPOSED EASTERN REDBUD (CERCIS CANADENSIS) 5'-6' HEIGHT TO BE PLANTED ON CORNERS OF PERMANENT EASEMENT



- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS AND CLEANUP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSE FOLIAGE, VIGOROUS ROOT SYSTEMS, AND BE FREE FROM DEFECTS AND INJURIES.
- THE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF THE PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISIONS SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE (1) YEAR FOR TREES AND A MINIMUM OF ONE (1) YEAR FOR SHRUBS. REPLACEMENT SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE. THE DEVELOPER IS EXPECTED TO MAINTAIN PLANTINGS, INCLUDING WATERING ALL PLANTS ANY TIME FROM APRIL TO DECEMBER WHEN NATURAL RAINFALL IS LESS THAN ONE INCH PER WEEK.
- INsofar AS IS PRACTICABLE, PLANT MATERIALS SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE (3) DAY PERIOD AFTER DELIVERY.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF ROOTBALLS SHALL BE IN ACCORDANCE WITH ANSI Z80.1-1988 (OR CURRENT EDITION) "AMERICAN STANDARD FOR NURSERY STOCK," LAST REVISION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS SHALL BE PLANTED IN TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACKFILLING PROGRESSES. NOTHING BUT SUITABLE TOPSOIL, FREE OF DRY SOIL, STIFF CLAY, LITTER, ETC., SHALL BE USED FOR PLANTING.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK AND BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOTBALL ONLY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE.
- NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO (2) FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
- SET PLANTS PLUMB AND STRAIGHT, SET AT SUCH LEVEL THAT, AFTER SETTLEMENT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
- ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES (2" CALIPER AND OVER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES MUST NOT BE CUT BACK. LONG SIDE BRANCHES, HOWEVER, MUST BE SHORTENED.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF THE PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING ONLY WHEN CONDITIONS MERIT. ALL TREES SIX (6) INCHES AND OVER IN CALIPER SHALL BE GUYED. SMALLER TREES SHALL BE STAKED. GUYING WIRES AND STAKES SHALL BE INSTALLED AS INDICATED.
- SHOULD A PLANT BE UNAVAILABLE AT THE TIME OF INSTALLATION, ALL SUBSTITUTIONS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- AREAS TO BE LANDED SHALL RECEIVE STOCK TOPSOIL TO A MINIMUM DEPTH OF FOUR (4) TO SIX (6) INCHES. ORGANIC MATTER CONTENT OF TOPSOIL SHALL BE A MINIMUM OF 4%. IN THE EVENT THAT ORGANIC MATTER CONTENT IS DEFICIENT, SOIL AMENDMENTS SHALL BE ADDED AS NECESSARY TO ACHIEVE THE REQUIRED PERCENTAGE.
- PLANTING OPERATIONS SHALL INCLUDE THE COMPLETE REMOVAL OF ALL SYNTHETIC MATERIAL (IF USED) FROM THE ROOTBALL PRIOR TO PLANTING.
- ALL DISTURBED AREAS NOT PAVED OR MULCHED SHALL BE SEEDDED.
- WHEN TREE GROWTH BEGINS, ALL STAKES AND/OR GUYING SHALL BE REMOVED.
- THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.

EXISTING PROPERTY LINE

EXISTING PERMANENT EASEMENT

BEAVER DAM ROAD

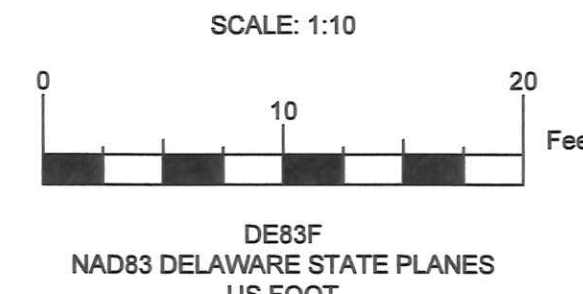
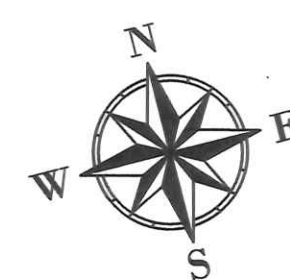


- EXCAVATE WITH CAUTION!!! EXACT LOCATION OF EXISTING UNDERGROUND PIPES AND UTILITIES IS UNKNOWN.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.

REVISIONS

NO.	DATE	DESCRIPTION	BY
01	5/20/2020	REVISE ENTRANCE AND DIMENSION	CHB

NOTES:
NO ADDITIONAL REMARKS



EASTERN SHORE
NATURAL GAS

500 ENERGY LANE - SUITE 200, DOVER, DE 19901
TELEPHONE: (302)734-6710 - FAX: (302)735-5601

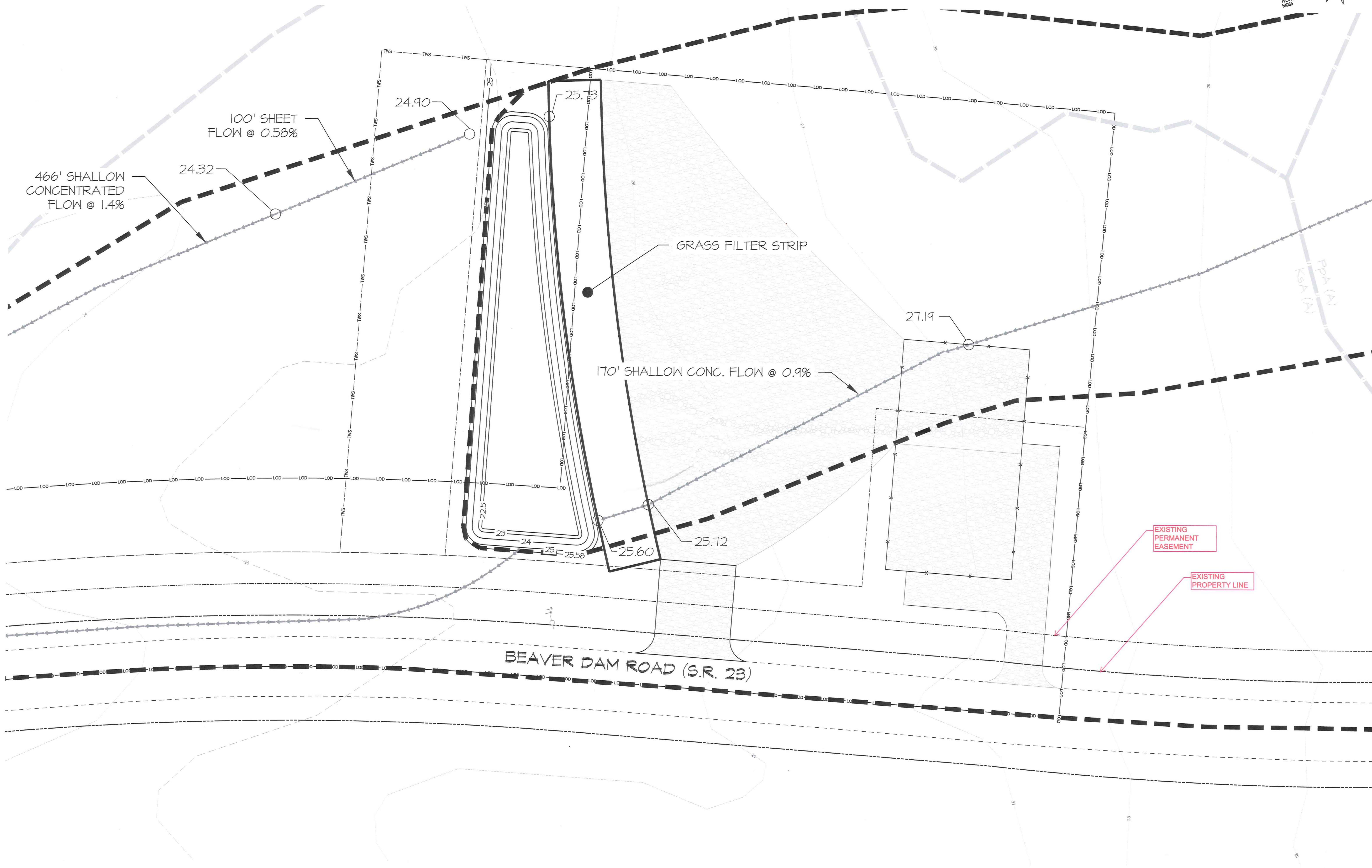
ISSUE FOR CONSTRUCTION

HOLLYMOUNT
METER & REGULATOR STATION
20933 RD 285 HARBESON, SUSSEX COUNTY, DE 19951

DRAWING: 09 - STATION PLAN - CIVIL
DRAFTER: C. BIDDLE
MOC No.: MOC-2018-49

DATE: 05/20/2020
PROJECT ID: ES18080126

SHEET: 08 OF 20



466' SHALLOW
CONCENTRATED
FLOW @ 1.4%

100' SHEET
FLOW @ 0.58%

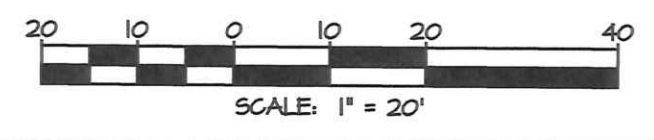
GRASS FILTER STRIP

170' SHALLOW CONC. FLOW @ 0.9%

BEAVER DAM ROAD (S.R. 23)

EXISTING
PERMANENT
EASEMENT

EXISTING
PROPERTY LINE



SITE DATA TABLE:

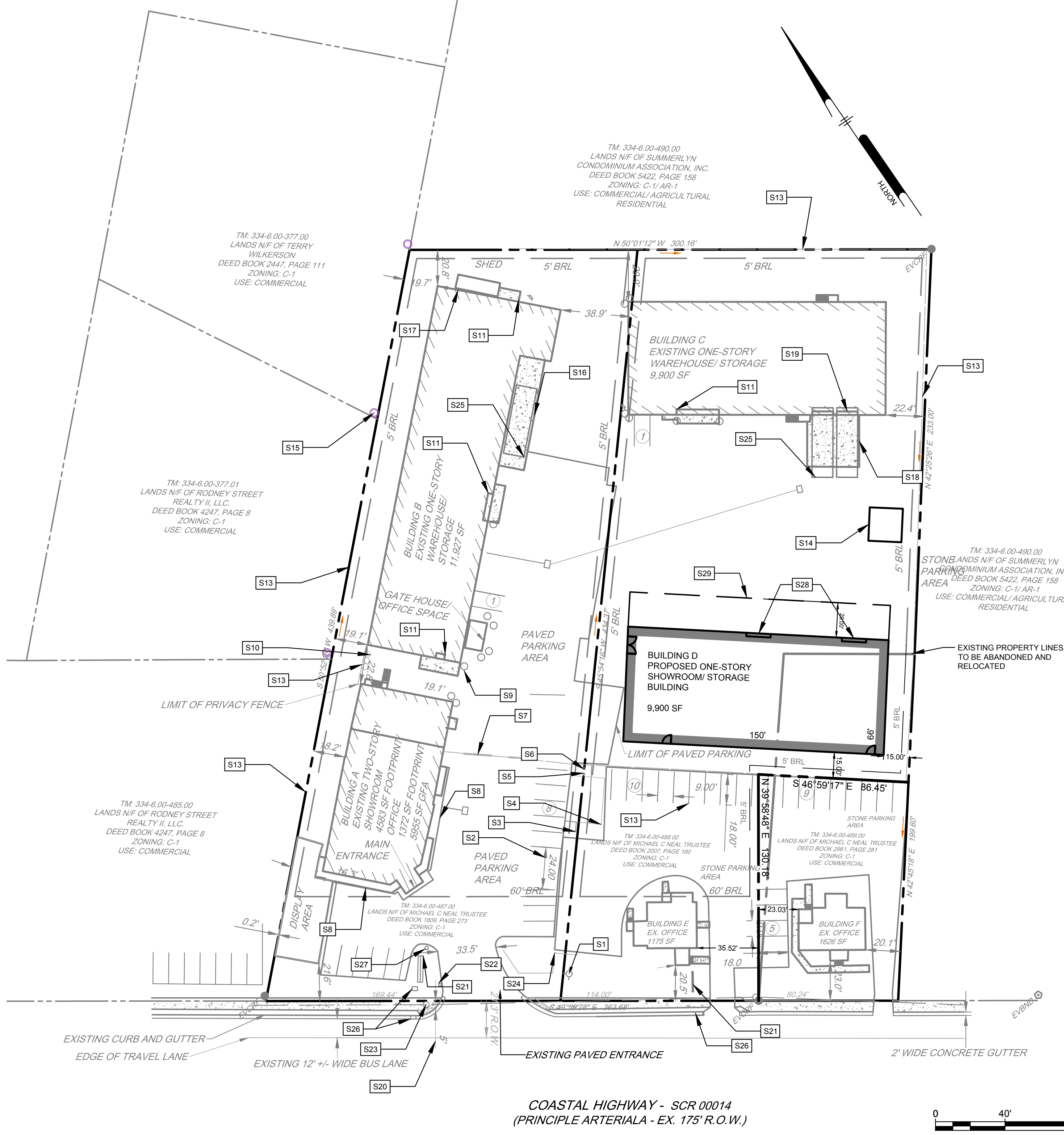
1. TAX MAP NUMBER:	334-6.00-487.00 DEED BOOK: D 1809, PG 273 334-6.00-488.00 DEED BOOK: D 2007, PG 180 334-6.00-489.00 DEED BOOK: D 2961, PG 281
2. DEVELOPER: DEVELOPER ADDRESS:	MORTON BUILDINGS, INC. C/O LENNY CATALANO 3368 YORK ROAD GETTYSBURG, PA 17325
3. OWNER: OWNER ADDRESS:	MICHAEL C NEAL TRUSTEE 17993 AMERICAN WAY LEWES, DE 19958
4. ADDRESS LOCATION: HUNDRED: COUNTY:	17993 AMERICAN WAY LEWES COUNTY, DE 19958 LEWES AND REHOBOTH SUSSEX
5. CURRENT ZONING:	C-1 (GENERAL COMMERCIAL)
6. PRESENT USE:	RETAIL/ WAREHOUSING
7. PROPOSED USE:	RETAIL/ WAREHOUSING
8. REQUIRED SETBACKS (B.R.L.): FRONT: SIDE: REAR:	(PER 115-82 B) 60 FT 5 FT 5 FT
9. BUILDING HEIGHT:	(PER 115-82 C) 42' MAX ALLOWED
10. REQUIRED LOT SIZE (MIN.): DEPTH: WIDTH: AREA:	100 FT (PER 115-82A) 75 FT 10,000 FT (PER 115-82A)
11. PARKING REQUIRED PARKING: RETAIL: WAREHOUSING: OFFICE:	(ARTICLE XXII: OFF-STREET PARKING, CODE SECTION 115-162) 1 SPACE FOR EACH 200 SF OF FLOOR AREA USED FOR SALES/ DISPLAY OF MERCHANDISE PURPOSES AND 1 SPACE PER 2 EMPLOYEES 1 SPACE FOR EVERY 2 EMPLOYEES ON THE MAJOR SHIFT 1 SPACE FOR EACH 200 SF OF FLOOR AREA
PARCEL 487 Building A SHOWROOM TOTAL REQUIRED SPACES: PROVIDED SPACES: HANDICAP SPACES: OFFICE TOTAL REQUIRED SPACES: PROVIDED SPACES: HANDICAP SPACES: Building B TOTAL REQUIRED SPACES: PROVIDED SPACES: HANDICAP SPACES: PARCEL 488 Building C TOTAL REQUIRED SPACES: PROVIDED SPACES: Building D TOTAL REQUIRED SPACES: PROVIDED SPACES: Building E TOTAL REQUIRED SPACES: PROVIDED SPACES: PARCEL 489 Building F TOTAL REQUIRED SPACES: PROVIDED SPACES:	NO REQUIREMENT 1 SPACE 0 SPACES INCLUDED 7 SPACES 7 SPACES 0 SPACES INCLUDED 2 SPACES 1 SPACE 1 SPACE 1 SPACE 6 SPACES 6 SPACES 9 SPACES 9 SPACES 20 26
12. LOADING SPACE REQUIRED: LOADING SPACE PROVIDED:	1 SPACE 3 SPACE
13. PARCEL 487 SITE CALCULATIONS BUILDING AREA PAVEMENT/STONE AREA OPENSOURCE AREA TOTAL PARCEL 488 SITE CALCULATIONS BUILDING AREA PAVEMENT/STONE AREA OPENSOURCE AREA TOTAL PARCEL 489 SITE CALCULATIONS BUILDING AREA PAVEMENT/STONE AREA OPENSOURCE AREA TOTAL	EX = 0.41 AC. PR = 0.41 AC. EX = 0.88 AC. PR = 0.88 AC. EX = 0.09 AC. PR = 0.09 AC. EX = 1.38 AC. PR = 1.38 AC. EX = 0.23 AC. PR = 0.45 AC. EX = 1.14 AC. PR = 1.03 AC. EX = 0.08 AC. PR = 0.08 AC. EX = 1.45 AC. PR = 1.56 AC. EX = 0.04 AC. PR = 0.04 AC. EX = 0.23 AC. PR = 0.12 AC. EX = 0.08 AC. PR = 0.08 AC. EX = 0.35 AC. PR = 0.24 AC.
PERCENTAGE OF IMPERVIOUS COVER: NUMBER OF FORESTED ACRES TO BE REMOVED:	2.82 AC. (91.86%) 0.00 AC. (0.00%)
13. UTILITY SERVICES: SANITARY SEWER SUPPLIER: WATER SUPPLIER:	SUSSEX COUNTY UNIFIED SANITARY SEWER DISTRICT TIDEWATER UTILITIES INC.
14. SECTION 89 - SOURCE WATER PROPERTY:	A. SUBJECT PROPERTY IS WITHIN AN AREA OF "FAIR" GROUNDWATER RECHARGE. B. SUBJECT PROPERTY IS NOT LOCATED IN WELLHEAD PROTECTION AREA.
15. STATE INVESTMENT AREA: FIRE DISTRICT: SUSSEX COUNTY:	LEVEL 1 LEWES FIRE CO. (STATION 82) COMMERCIAL
16. LATITUDE AND LONGITUDE STATE PLANE COORDINATES: LONGITUDE: W 75° 08' 56.832"	LATITUDE: N 38° 44' 27.888"
17. WETLAND AREA:	0.00 ACRES
18. PROPOSED DISCHARGE LOCATION:	DELDOT DRAINAGE SYSTEM
19. WATERSHED:	BROADKILL RIVER
20. LIMIT OF DISTURBANCE:	0.23 ± AC.
21. FLOOD ZONE:	FIRM NUMBER 10005C0332K, DATED MARCH 16, 2015
22. TRANSPORTATION IMPROVEMENT DISTRICT (T10):	NONE
23. DATUM:	HORIZONTAL = NAD83 VERTICAL = NAVD83
24. LOCAL GOVERNMENT RESPONSIBLE FOR LAND USE APPROVAL:	SUSSEX COUNTY

FIRE MARSHAL NOTES:

1. SITE NAME/ADDRESS:	PROPOSED - RETAIL/ WAREHOUSING SUSSEX COUNTY, DE 19958
2. OWNER INFORMATION: CURRENT OWNER/DEVELOPER MORTON BUILDINGS, INC. C/O LENNY CATALANO 3368 YORK ROAD GETTYSBURG, PA 17325	TAX MAP/PARCEL # 334-6.00-487.00 334-6.00-488.00 3.0± ACRES
3. INTENDED USE:	RETAIL/ WAREHOUSING
4. WATER SUPPLIER:	PUBLIC - TIDEWATER UTILITIES
5. MAXIMUM BUILDING HEIGHT:	42'
6. AUTOMATIC SPRINKLERS:	NO
7. FIRE DISTRICT:	LEWES FIRE CO. (STATION 82)

BUILDING USE AND CONSTRUCTION

BUILDING	USE	CONSTRUCTION TYPE	SF	SPRINKLER
EX. BUILDING A	SHOWROOM/ OFFICE	2-STORY TYPE V (000) WOOD FRAME	5,955	NO
EX. BUILDING B	WAREHOUSE/ STORAGE	1-STORY TYPE V (000) WOOD FRAME	11,927	NO
EX. BUILDING C	WAREHOUSE/ STORAGE	1-STORY TYPE V (000) WOOD FRAME	9,900	NO
PR. BUILDING D	SHOWROOM/ STORAGE	1-STORY TYPE V (000) WOOD FRAME	9,900	NO
EX. BUILDING E	OFFICE	2-STORY TYPE V (000) WOOD FRAME	1,175	NO
EX. BUILDING F	OFFICE	2-STORY TYPE V (000) WOOD FRAME	1,626	NO



VICINITY MAP
SCALE: 1"=1000'

LEGEND

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	BUILDING
[Symbol]	[Symbol]	BUILDING RESTRICTION LINE
[Symbol]	[Symbol]	CURB
[Symbol]	[Symbol]	EDGE OF PAVEMENT
[Symbol]	[Symbol]	EDGE OF GRAVEL
[Symbol]	[Symbol]	UTILITY EASEMENT
[Symbol]	[Symbol]	PERMANENT EASEMENT
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	POWER, UTILITY POLE
[Symbol]	[Symbol]	PROPERTY, LINE
[Symbol]	[Symbol]	LEGAL RIGHT-OF-WAY
[Symbol]	[Symbol]	PROPERTY, CORNER FOUND
[Symbol]	[Symbol]	PROPERTY, ADJOINING LINED
[Symbol]	[Symbol]	SITE, MAIL BOX
[Symbol]	[Symbol]	SITE, TRAFFIC SIGN
[Symbol]	[Symbol]	SPOT ELEVATION
[Symbol]	[Symbol]	STORMPIPE, INLET, MANHOLE, & FLARED END
[Symbol]	[Symbol]	MINOR CONTOUR
[Symbol]	[Symbol]	MAJOR CONTOUR
[Symbol]	[Symbol]	LIGHT POLE
[Symbol]	[Symbol]	MARKING, HANDICAP PARKING
[Symbol]	[Symbol]	DETECTABLE WARNING STRIP
[Symbol]	[Symbol]	CONCRETE

KEYED NOTES

- [S1] EXISTING FIRE HYDRANT
- [S2] EXISTING 24" INTERCONNECTION B/W PROPERTIES
- [S3] EXISTING ELECTRIC TRANSFORMER
- [S4] EXISTING WOOD DECK
- [S5] EXISTING ELECTRIC METER
- [S6] EXISTING WELL
- [S7] EXISTING SPEED BUMP
- [S8] EXISTING PORCH/ OVERHANG
- [S9] EXISTING BOLLARDS (TYP)
- [S10] EXISTING PROPANE TANK (TYP)
- [S11] EXISTING OVERHEAD DOOR
- [S12] EXISTING 6" HIGH CHAIN LINK FENCE W/ GATE
- [S13] EXISTING 8" HIGH PRIVACY WOOD FENCE
- [S14] PROPOSED DUMPSTER AREA
- [S15] IRON PIPE FOUND (TYP)
- [S16] EXISTING LOADING RAMP
- [S17] EXISTING STORAGE CONTAINER
- [S18] EXISTING CONCRETE PAD (TYP)
- [S19] EXISTING ELEVATED LOADING DOCKS W/ OVERHEAD DOOR
- [S20] EXISTING 5' WIDE SIDEWALK
- [S21] EXISTING BUSINESS SIGN
- [S22] EXISTING MAILBOX
- [S23] EXISTING UTILITY POLE
- [S24] EXISTING WOOD FENCE
- [S25] 12X 40' LOADING SPACES
- [S26] EXISTING INLET (TYP)
- [S27] EXISTING FLAG POLE
- [S28] PROPOSED LOADING DOORS
- [S29] PROPOSED OVERHANG

OWNER CERTIFICATION:
IT IS HEREBY CERTIFIED THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

ENGINEER CERTIFICATION:
IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE COMPLIES WITH APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SIGNATURE
MICHAEL C NEAL TRUSTEE
LEWES, DE 19958

SIGNATURE
ALAN DEKTOR, PE (DE PE#17771)
PENNONI ASSOCIATES, INC
18072 DAVIDSON DRIVE
MILTON, DE 19968
OFFICE (302) 684-8030 - FAX (302) 684-8054

PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.9030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

AMERICAN WAY WAREHOUSE
17993 AMERICAN WAY
LEWES, DE 19958

PRELIMINARY SITE PLAN
MORTON BUILDING INC.
3368 YORK ROAD
GETTYSBURG, PA 17325

NO.	REVISIONS	DATE	BY

PROJECT: MORTN21001
DATE: 2021-06-07
DRAWING SCALE: 1"=40'
DRAWN BY: LYJ
APPROVED BY: AMD

PP1001
SHEET 1 OF 2

PROJECT: MORTN21001 - American Way Warehouse - PRELIMINARY SITE PLAN - 10/20/21 - 1:14 PM, BY: Ryan Pugh, PL057112, PENNONI ASSOCIATES

July 15, 2021
MORTN21001

Jamie Whitehouse, Director
Sussex County Planning and Zoning Commission
2 The Circle
Georgetown, DE 19958

**RE: Preliminary Site Plan
American Way Warehouse
Tax Map No. 334-6.00 Parcels 487, 488 & 489
Coastal Highway, Lewes, DE 19958**

Dear Mr. Whitehouse:

On behalf of Lands of Michael C. Neal Trustee & American Cedar and Millwork, Pennoni Associates Inc. (Pennoni) is submitting the below responses to the request for cross access interconnectivity to the adjacent properties. That was discussed at the July 8, 2021, Sussex County Planning Commission Meeting which resulted in a "No Action" vote on the preliminary site plan.

We have discussed the easement comment further with Planning and Zoning staff planner Christin Scott. The discussion resulted in asking for a cross access easement to the adjacent commercial property, Parcel 485. It was stated that due to Parcel 490 (Lands of Summerlyn Condominium Association being residential, it was not likely required and would create other necessary requirements and approvals. All properties are fully developed which creates a difficulty in providing easements that are in located in such a way that do not cause a hardship to the existing businesses.

The subject parcel has existing parking and a large display area which is located directly in conflict with the proposed easement. This is very common on the properties along Coastal Highway. The American Cedar business has been a tenant on these properties for many years. The large display area comprises of decking, railing and other outdoor materials they market to their customers. These materials make up about 25% of their business. The proposed easement and future constructed connection will compromise this existing marketing area and will provide a hardship to the business if this display area would have to be removed.

For these reasons we feel the proposed cross access easements will cause a hard ship and difficulty to their existing business and therefore respectfully request that the Planning Commission grant approval of the preliminary site plan as submitted.

If you have any comments or need additional information, please call us at (302) 684-8030.

Sincerely,

PENNONI ASSOCIATES INC.



Alan Decktor, PE, ENV SP
Senior Engineer

CC.

U:\Accounts\MORTN\MORTN21001 - American Way Warehouse\DELIVERABLES\P&Z\2021-06-24 Revised Prelim\2021-07-15 MORTN Easement Waiver.docx

Alan M. Decktor

Subject: FW: American Way - Preliminary Stie Plan

From: Gillen, Tom <tom.gillen1000@millwork1.com>

Sent: Thursday, July 15, 2021 7:03 AM

To: Alan M. Decktor <ADecktor@Pennoni.com>; John Ritson <jritson@millwork1.com>; Rich Brady <rbrady@millwork1.com>

Cc: Leonard Catalano <Leonard.Catalano@mortonbuildings.com>

Subject: RE: American Way - Preliminary Stie Plan

Yes, please proceed.

As far as a hardship, over 25% of my business is decking and railing. Which are displayed in the area they want an easement in.

Having them eliminate the displays for these products would be a serious blow to my business.

It would be safe to say this would constitute a hardship.

Tom Gillen
General Manager
American Cedar & Millwork
17993 American Way
Lewes, Delaware 19958

302-645-9580 Store
302-703-1855 Direct
302-858-3630 Cell
www.millwork1.com

From: Gillen, Tom <tom.gillen1000@millwork1.com>

Sent: Wednesday, July 14, 2021 9:20 AM

To: Alan M. Decktor <ADecktor@Pennoni.com>; John Ritson <jritson@millwork1.com>

Cc: Leonard Catalano <Leonard.Catalano@mortonbuildings.com>; Rich Brady <rbrady@millwork1.com>

Subject: RE: American Way - Preliminary Stie Plan

Alan,

We do not agree to this easement. It compromises our outside selling area and displays.

The checks will be cut on Friday.

Thanks

Tom Gillen
General Manager
American Cedar & Millwork
17993 American Way
Lewes, Delaware 19958



**TO: Sussex County
Planning & Zoning Dept.**

**DATE: 2 August 2021
JOB NO: 21-0403
ATTN: Christin Scott
RE: SoDel Office - Rehoboth**

We are sending you: Attached Under separate cover via: ups
 Shop drawings Prints Plans Specifications
 Copy of letter Change Order Submittals

Copies	Date	No.	Description
1	08/02/21		COVID Intake Document
1	08/02/21		Transmittal
1	07/29/21		Letter (Parking in Setback Waiver Request)
1	07/30/21		Letter (Parking Reduction Waiver Request)
1	07/30/21		Rendering (11x17)
1	07/22/21		Preliminary Site Plan (Revised) (S1)
1	07/22/21		Preliminary Demo Plan (D1)
1	07/30/21		Preliminary Lighting Plan (E-301)
1	07/30/21		Floor Plan Exhibits for Parking Reduction (A-101)
1	07/30/21		Building Elevations (A-201, A-202)

THESE ARE TRANSMITTED as checked below:

- | | |
|--|---|
| <input type="checkbox"/> For approval | <input type="checkbox"/> Approved |
| <input type="checkbox"/> As requested | <input type="checkbox"/> Returned for corrections |
| <input checked="" type="checkbox"/> For review and comment | <input type="checkbox"/> For your signature |
| <input type="checkbox"/> For bids due | <input type="checkbox"/> Approved for payment |
| <input type="checkbox"/> For your use | <input type="checkbox"/> Approved as Noted |
| <input type="checkbox"/> Reviewed | <input type="checkbox"/> Reviewed with Notations |

REMARKS:

Christin:

Attached are revised plans based on Planning & Zoning Commission meeting on July 22, 2021. The Commission deferred action on the project and requested additional information to be provided on the parking reduction waiver request. They asked that documents be provided that give an explanation of how this reduction would actually work for the proposed use and to provide them with building elevations.

Based on meetings with DELDOT, SCD, and the PZ meeting, the client made revisions to the plans per suggestions made by those various agencies. The parking was moved away from the daylight easement for DELDOT, provided 15% reduction in impervious surface for SCD (using Geoblock for overflow parking), and based on comments from PZ, the building was reduced

THE KERCHER GROUP, INC.



which reduces the total number of spaces required. There are still (12) spaces that are paved, however, there are now an additional (7) temporary spaces on a grassed surface using the Geoblock system. The Geoblock system achieves the reduction of impervious as vetted by SCD, plus gives additional spaces PZ asked for.

Also included with this submission, are letters and exhibits related to the parking. Floor plans are being provided that highlight areas used by the employees to justify the number of parking spaces. Building elevations are being provided at the request of the Commission.

Thank you for your help and please do not hesitate to contact me at your earliest convenience if you should have any questions.

SINCERELY

Kevin Smith



July 29, 2021

Mr. Jamie Whitehouse, Director
Sussex County Planning and Zoning Department
P.O. Box 417
Georgetown, DE 19947

RE: SoDel Concepts Office – Rehoboth Beach
TM#: 334-20.13-27.00

Dear Mr. Whitehouse:

As per a Planning & Zoning Commission Meeting on July 22, 2021, the above referenced project was deferred by the Commission. The Commission requested additional information to be provided on the parking reduction waiver request. They asked that documents be provided that explain how this reduction would actually work for the proposed use and to provide them with building elevations. Those plans and exhibits are included with the revised submittal package.

Also discussed by the Commission was the request to allow parking within the front yard and corner yard setbacks. Based on meetings with DELDOT, SCD, and the PZ meeting, the client made revisions to the plans per suggestions made by those various agencies. The parking was moved away from the daylight easement for DELDOT, provided 15% reduction in impervious surface for SCD (using Geoblock for overflow parking), and based on comments from PZ, the building was reduced which reduces the total number of spaces required. It shall be noted that the reduction of the building and calculations for the usable area indicate that only fifteen (15) parking spaces are required. There are still (12) spaces that are paved, however, there are now an additional (7) temporary spaces on a grassed surface using the Geoblock system. The Geoblock system achieves the reduction of impervious as vetted by SCD, plus gives additional spaces PZ asked for. Although revision to the plans were made based on those agency suggestions, parking remains in the front yard and corner yard setbacks. At this meeting, the Commission did not pose any objections to the parking within these setbacks.

Please allow this letter to serve as a formal waiver request to allow four (4) paved parking spaces and seven (7) grassed overflow parking spaces to be located within the front yard and corner front yard setback as well as allow the reduction from the required fifteen (15) parking spaces down to the twelve (12) spaces as shown and dimensioned on the plans, if the grassed overflow parking is not considered for the total parking spaces provided.

A separate letter shall accompany this request regarding the reduction of parking shown on the plans. The applicant has noted that the twelve (12) spaces shall be sufficient for their use with the seven (7) grassed overflow parking spaces being adequate at various times during business operations.

THE KERCHER GROUP, INC.

If you should have any questions regarding a statement made within this document please do not hesitate to contact our office at your earliest convenience.

Thank you for your attention and consideration.

Sincerely,

A handwritten signature in blue ink, consisting of several loops and a long horizontal stroke extending to the right.

The Kercher Group, Inc.
Kevin Smith, Project Manager



7/30/2021

Mr. Jamie Whitehouse, Director
Sussex County Planning and Zoning Department
P.O. Box 417
Georgetown, DE 19947

Re: SoDel Concepts Office – Rehoboth Beach
TM#: 334-20.13-27.00

Dear Mr. Whitehouse,

In response to the planning commissions review and questions regarding our request for the parking waiver our team is offering the following response.

The proposed building is a **two story** structure with access to the attic. The Attic is strictly for mechanical and maintenance of the equipment. We have provided conceptual renderings of the building to reinforce this.

As proposed, 15 spaces are required. We have 12 paved spaces on site and 19 total spaces when including the geogrid. Given the possibility that the geogrid area that adds 7 additional spaces, may not be considered, we offer the following additional information in the hopes to reinforce our position and request for a waiver:

1. Sodel has a significant portion of current employees that work remote. Either from home or from other restaurant locations. This will be the primary reason for the lower occupancy we are requesting. We have created a plan that permits an open work environment so that employees can freely work in different areas. These open areas are for the twelve to sixteen accounted for inhabitants.
2. The Zoning Code requires offices to provide parking at the rate of '1 per 200 square feet of floor area. *Exclusive of basement, if not used for office or customer service purposes*'. Floor Area for commercial, business, etc. is defined as 'the sum of the gross horizontal areas of the several floors of a building measured from the exterior faces of the exterior walls or from the center line of walls separating two buildings, but not including attic or basement storage space, ... mechanical utility equipment areas, rest rooms and stairs.' By excluding these areas, our total floor area comes to 3,734sf. This would require 19 parking spaces. However, when calculating the walking paths and circulation areas (463sf-1st level & 445sf-2nd level) we come to 2,826sf of usable area. This would require the 15 parking spaces noted above.

542 Riverside Drive
Salisbury, MD 21801
(410) 742-0238 (office)
(888) 879-7149 (fax)
fisherarchitecture.com

However, if we look even deeper into the programming of this business, there are additional areas we feel should allow us to reduce the space.

- a. The conference room and communal areas (991sf) will require 5 spaces.
- b. The large private offices (333sf) would require 2 when in reality only one per office is needed.

This would allow us to reduce by another six spaces; which would equate to 11 required spaces. However, we are asking for your permission to provide 12 spaces. We have provided a color coded plan within this package to elaborate exactly where the 12 employees would be. This diagram also clarifies area we consider communal within a department (where employees within that department can sit down together and plan). It also clarifies areas we consider communal for all employees within the building to meet.

3. This site currently has two street entrances, one from Anne Ave and one from Rt.1. DelDot has required that the Rt.1 entrance be closed and that we respect the 20 foot clear sight easement on the corner. These two requirements of this site reduce the amount of space available for additional parking and vehicular circulation.
4. Ownerships current employee base consists of many local residents that currently do and plan to continue to bike to work when attendance in the office is warranted. For that reason, we have also added a bike rack to accommodate.

Sodel has demonstrated on many occasions in the County that they are very responsible neighbors and understand the impact they are making in the immediate surrounding areas; they are committed to making positive impacts when they build. We appreciate your consideration on this matter and look forward to your feedback.

Sincerely,



Keith P. Fisher AIA LEED AP

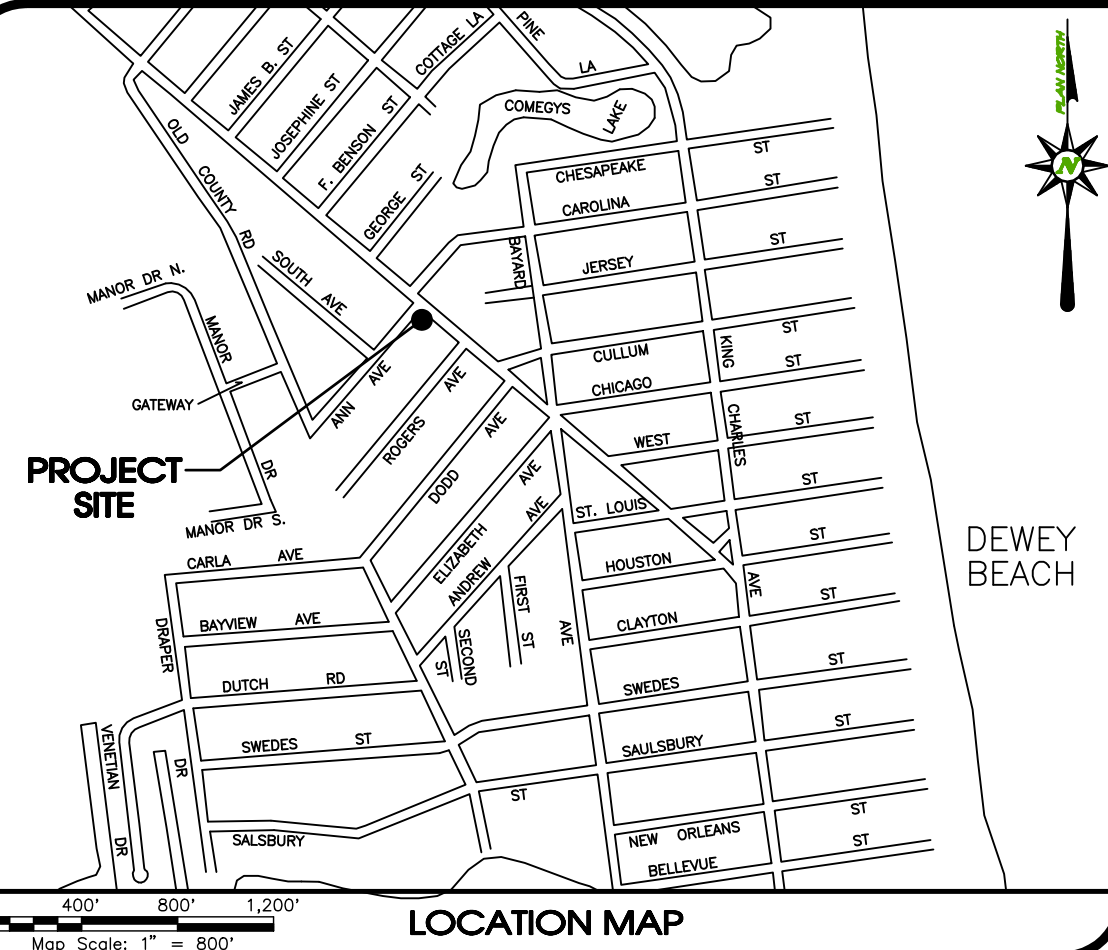
Principal

Fisher Architecture, LLC

542 Riverside Dr.

Salisbury MD. 21801





PLAN LEGEND

- SUPPLEMENTAL CONTOUR (1' INTERVAL)
INDEX CONTOUR (5' INTERVAL)
EXISTING PAVEMENT EXTENTS
EXISTING PAVEMENT STRIPING
EXISTING PROPERTY BOUNDARY
ADJOINING PROPERTY LINE
EXISTING SANITARY SEWER MAIN
EXISTING FENCE LINE (CHAIN LINK)
EXISTING FENCE LINE (WOOD STOCKADE)
PROPOSED BUILDING RESTRICTION LINE
PROPOSED EDGE OF PAVEMENT
PROPOSED PAINT/PARKING STALLS
PROPOSED BUILDING
PROPOSED SIDEWALK
EXISTING CONCRETE
PROPOSED CONCRETE
EXISTING SANITARY MANHOLE
EXISTING DRAINAGE INLET
EXISTING SIGN
EXISTING MAILBOX
EXISTING WATER METER
EXISTING FIRE HYDRANT
EXISTING CATV BOX
EXISTING PHONE BOX
EXISTING ELECTRIC BOX
EXISTING UTILITY POLE
PROPOSED LIGHT POLE
PROPOSED BUILDING MOUNTED LIGHT

SITE DATA and ZONING SCHEDULE

TAX PARCEL No.: 334-20.13-27.00
PROPERTY ADDRESS: 20968 ANN AVENUE REHOBOTH BEACH, DE 19971
NET DEVELOPMENT AREA: 10,000 S.F.
EXISTING NUMBER OF LOTS: ONE (1)
EXISTING SITE USE: HAIR SALON
PROPOSED NUMBER OF LOTS: ONE (1)
PROPOSED SITE USE: PROFESSIONAL OFFICE
EXISTING ZONING: C-1 (COMMERCIAL)
INVESTMENT LEVEL AREA: LEVEL ONE (1)
LAND USE APPROVAL AGENCY: SUSSEX COUNTY
EXISTING BUILDING FOOTPRINT: 1,707 S.F. (TO BE REMOVED)
PROPOSED BUILDING FOOTPRINT: 2,560 S.F.
PROPOSED BUILDING USABLE AREA: 1,343 S.F. (1st Floor), 1,483 S.F. (2nd Floor), 2,826 S.F. (Total)
PROPOSED NUMBER OF EMPLOYEES: 12
THIS PROJECT IS NOT LOCATED WITHIN A TRANSPORTATION IMPROVEMENT DISTRICT (TID)
ORDINANCE ITEM REQUIREMENT PROVIDED:
MINIMUM LOT AREA 10,000 Sq. Ft. 10,000 Sq. Ft.
MINIMUM LOT WIDTH 75 Ft. 100.00 Ft.
MINIMUM LOT DEPTH 100 Ft. 100.00 Ft.
MINIMUM SETBACKS: 30 Ft. 30 Ft., 15 Ft. 15 Ft., 5 Ft. 5 Ft., 5 Ft. 5 Ft.
MAXIMUM BUILDING HEIGHT 42 Ft./3 Stories 34'-10"

Table with columns: TYPE, EXISTING, PROPOSED, DIFFERENCE. Rows include BUILDING, CONCRETE, ASPHALT, GRAVEL, TOTAL.

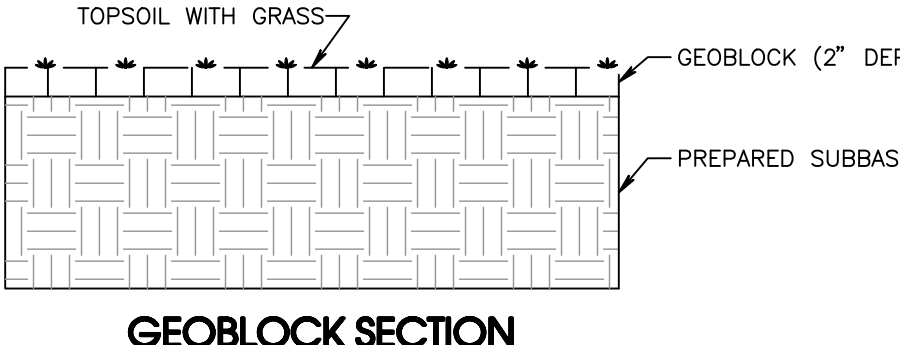
Table with columns: HYDRANT #1, FLOW HYDRANTS, SIZE, SPIRING, COEFFICIENT, PILOT READING, GPM, TOTAL FLOW DURING TEST, STATIC READING, RESULTS, REMARKS.

GENERAL NOTES

- 1. THE PROJECT SITE IS KNOWN AS SODEL OFFICE - REHOBOTH, (TM# 334-20.13-27.00), AND IS LOCATED AT 20968 ANN AVENUE REHOBOTH BEACH, DE 19971.
2. THE PROPERTY BOUNDS, EXISTING FEATURES AND TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY ATLANTIC SURVEYING & MAPPING, VERTICAL DATUM IS NAVD83 AND HORIZONTAL DATUM IS DELAWARE STATE PLANE COORDINATE SYSTEM NAD83.
3. THE PROPOSED PARKING AREA IS TO BE PRIVATE AND MAINTAINED BY THE DEVELOPER/PROPERTY OWNER. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE AREAS.
4. ALL PROPOSED STORMWATER MANAGEMENT FACILITIES ARE TO BE MAINTAINED BY THE DEVELOPER/PROPERTY OWNER.
5. THIS PLAN DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHT-OF-WAYS CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS PROVIDED.
6. THE CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF ANY SITE CONSTRUCTION ACTIVITIES.
7. ALL CONTRACTORS WORKING ON THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST EDITION).
8. CONSTRUCTION MATERIALS AND PROCEDURES SHALL FOLLOW THE DELAWARE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARD DRAWINGS (LATEST EDITION).
9. EXISTING SUBSURFACE UTILITY INFORMATION INDICATED IS BASED UPON VISUAL FIELD INSPECTION BY ATLANTIC SURVEYING & MAPPING. SUCH INFORMATION CONCERNING THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF SUBSURFACE UTILITIES IS APPROXIMATE IN NATURE AND HAS BEEN OBTAINED AS AN ADJACENT TO THE PROJECT. THERE IS NO INFORMATION PROVIDED IS REPRESENTATIVE OF SUBSURFACE CONDITIONS ONLY AT LOCATIONS AND DEPTHS WHERE SUCH INFORMATION WAS OBTAINED. THERE IS NO EXPRESSED OR IMPLIED AGREEMENT THAT UTILITY SIZE, LOCATION, DEPTH, QUANTITY, ETC. AS SHOWN EXISTS BETWEEN EXPLORED LOCATION AND UNEXPLORED INFORMATION. INFORMATION SHOWN SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. IT IS INCUMBENT UPON THE CONTRACTOR TO VERIFY THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF ALL UTILITIES BEFORE EXCAVATION.
10. BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) 100229 0354 K, MAP NUMBER 10050C0354K, DATED MARCH 16, 2015, THE SUBJECT PROPERTY IS LOCATED IN A ZONE X-UNSHRINDED WHICH IS AN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
11. NO STATE OR FEDERAL JURISDICTIONAL WETLANDS EXIST ON THE SUBJECT PROPERTY.
12. ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
13. IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS PART V, CHAPTER 4, SECTION 4-1.1, THE DEVELOPER SHALL PROVIDE TO THE FIRE EMERGENCY DISPATCH CENTER HAVING JURISDICTION, A PLOT PLAN OF THE DEVELOPMENT SHOWING EACH BUILDING LOCATION. THE DEVELOPER SHALL ALSO ASSIGN NUMBERS TO ALL BUILDINGS IN A CONSECUTIVE MANNER AND HAVE PLACED THE ASSIGNED NUMBER IN A READILY VISIBLE LOCATION ON EACH BUILDING TO ELIMINATE CONFUSION IN THE EVENT THAT AN EMERGENCY VEHICLE IS REQUIRED.
14. AUTOMATIC FIRE SPRINKLERS ARE PROPOSED FOR THIS STRUCTURE.
15. THE BUILDING WILL BE ACCESSIBLE TO EMERGENCY APPARATUS. A MINIMUM OF 50% OF THE BUILDING WILL BE ACCESSIBLE BY EMERGENCY SERVICES PERSONNEL.
16. LOCATION OF FIRE LANES, THEIR WIDTHS, AND THEIR MARKINGS, FIRE LANE SIGNS, WORKING AND 4" LINES OF DEMARCATION, AND YELLOW PAINTED CURBING ARE TO BE SHOWN ON THE PLAN WHERE APPLICABLE.
17. ALL PROPOSED LANDSCAPE BUFFERS ARE TO BE MAINTAINED BY THE PROPERTY OWNER/DEVELOPER.
18. THE EXISTING BUILDING TYPE IS NFPA (000).
19. THE PROPOSED SIGNAGE DEPICTED ON THE PLAN IS INDICATIVE ONLY. SEPARATE APPLICATIONS SHALL BE REQUIRED FOR ALL SIGNAGE.
20. THE OFFICES SHALL BE ACCESSED FROM THE INTERIOR DRIVE AISLES ONLY. NO SECONDARY ACCESS TO ANN AVENUE OR ROUTE ONE SHALL BE PERMITTED.
21. THIS PARCEL IS NOT LOCATED IN A WELLEDGE PROTECTION AREA AS PER CHAPTER 89 SOURCE WATER PROTECTION OF SUSSEX COUNTY CODE (89-6).
22. THIS PARCEL IS LOCATED IN AN AREA OF GOOD GROUNDWATER RECHARGE POTENTIAL AS PER CHAPTER 89 SOURCE WATER PROTECTION OF SUSSEX COUNTY CODE (89-7).
23. BUILDING(S) SHALL HAVE STRIPPIES INSTALLED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS AND NFPA 14.
24. LOCK BOX REQUIRED. CONTACT LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF BOX ON THE BUILDING.

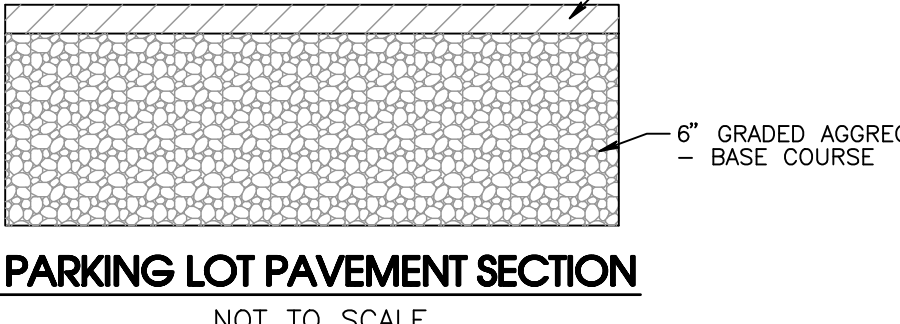
REVISIONS

Table with columns: NO., DATE, DESCRIPTION. Lists revision history for the drawing.



GEOBLOCK SECTION

NOT TO SCALE



PARKING LOT PAVEMENT SECTION

NOT TO SCALE

DELDOT SITE GENERAL NOTES

LAST REVISED: MARCH 21, 2019

- 1. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
2. NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
3. SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
4. UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
5. PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17.13). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
6. THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE FOR THE SIDEWALK.
7. LOTS WILL BE PERMITTED TO HAVE ACCESS POINTS THAT COMPLY WITH THE DEVELOPMENT COORDINATION MANUAL (DCM) SPACING REQUIREMENTS OF CHAPTER 1 AND LIMITATIONS ON NUMBER OF ACCESS POINTS ESTABLISHED IN DOM CHAPTER 7. HORSESHOE DRIVEWAYS AND SECONDARY ENTRANCES REQUIRE ADDITIONAL DELDOT REVIEW AND SEPARATE PERMITTING. RESTRICTIONS AS DESCRIBED IN THE DCM CHAPTER 7 MAY PROHIBIT SOME SECONDARY ENTRANCE REQUESTS FROM BEING GRANTED.
8. TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
9. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
10. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.

SOILS DATA

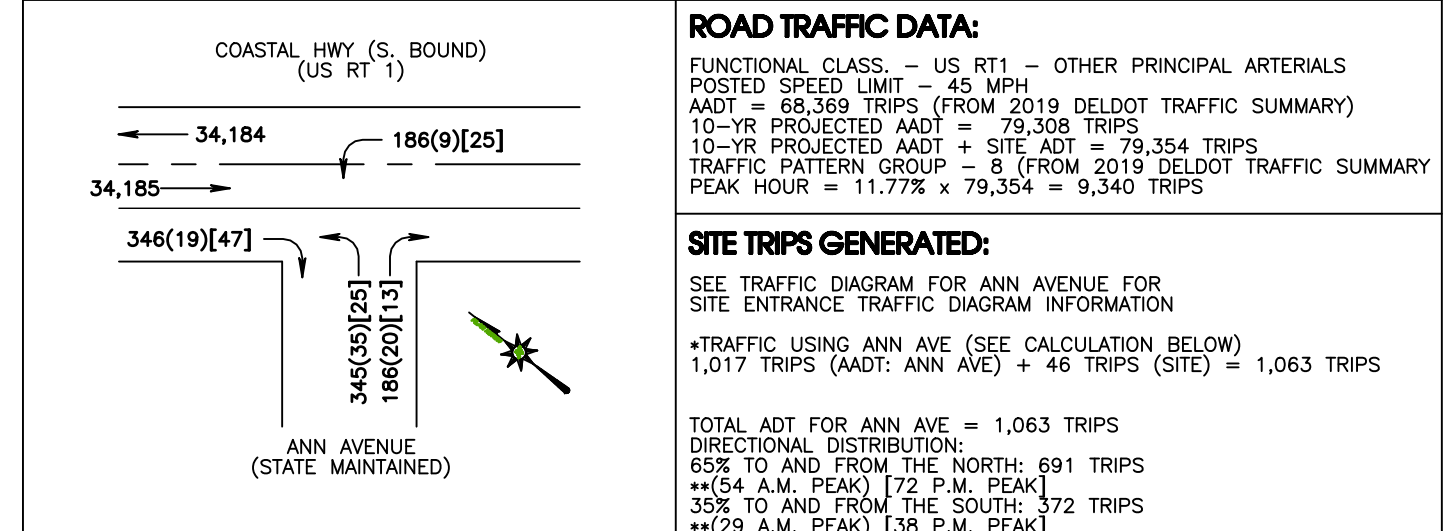
Table with columns: Soils Name, Slopes, Hydrolic Soil Group. Entry: GuB Greenwch-Urban land complex, 0 to 5 percent slopes, B.

OWNER/DEVELOPER CERTIFICATE

WE HEREBY CERTIFY THAT WE ARE THE OWNERS AND DEVELOPERS OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THAT THE PLAN WAS MADE AT OUR DIRECTION, THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SODEL DEVELOPMENT, LLC DATE
220 REHOBOTH AVE, UNIT A REHOBOTH BEACH, DE 19971
Phone: (410) 742-0238

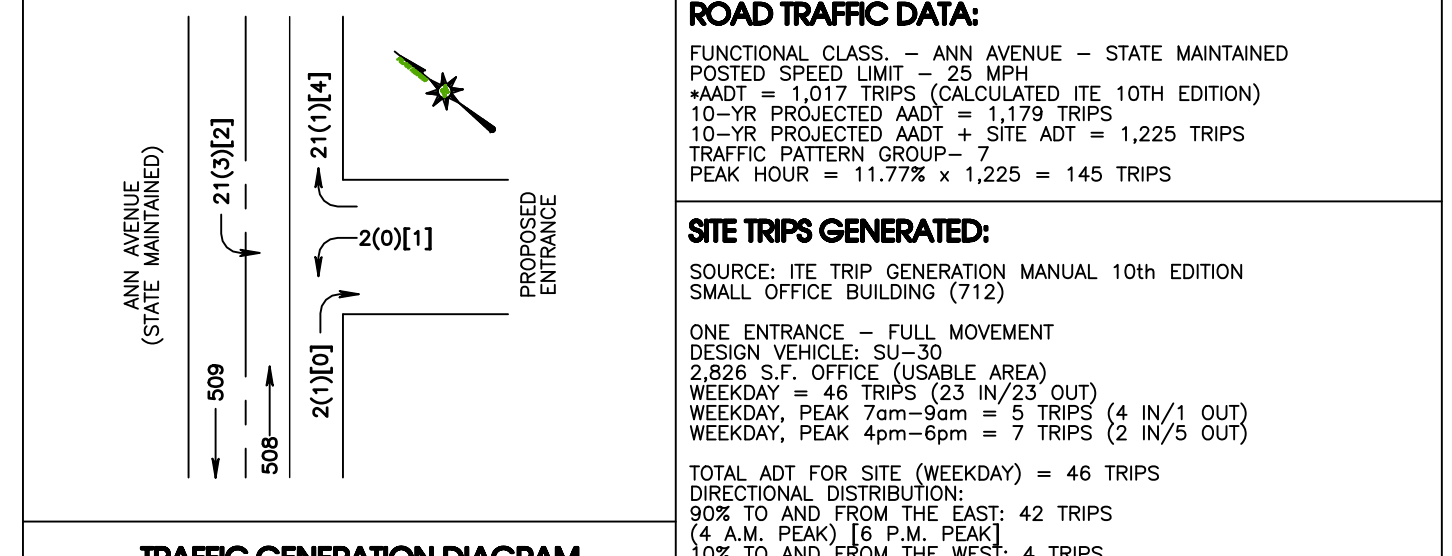
TRIP GENERATION - COASTAL HWY (US RT 1)



TRAFFIC GENERATION DIAGRAM

SOURCE: ITE TRIP GENERATION MANUAL 10TH EDITION
SINGLE FAMILY DETACHED HOUSING (210) & MULTIFAMILY HOUSING (220)
ESTIMATED USES FOR ANN AVE. & RT 1 INTERSECTION: ANN AVE: 13 SINGLE FAMILY RESIDENCES, 10 CONDOS, SOUTH AVE: 11 SINGLE FAMILY RESIDENCES, 9 CONDOS, OLD BAY RD: 18 SINGLE FAMILY RESIDENCES (50% TRIPS TO ANN AVE), COUNTRY MANOR SUBD: 119 SINGLE FAMILY RESIDENCES (50% TRIPS TO ANN AVE)
MADIT USING ANN AVE/RT 1 INTERSECTION: WEEKDAY = 1,017 TRIPS (408 IN/509 OUT) WEEKDAY, PEAK 7am-9am = 78 TRIPS (19 IN/59 OUT) WEEKDAY, PEAK 4pm-6pm = 103 TRIPS (65 IN/38 OUT)

TRIP GENERATION - ANN AVENUE (STATE MAINTAINED)



TRAFFIC GENERATION DIAGRAM

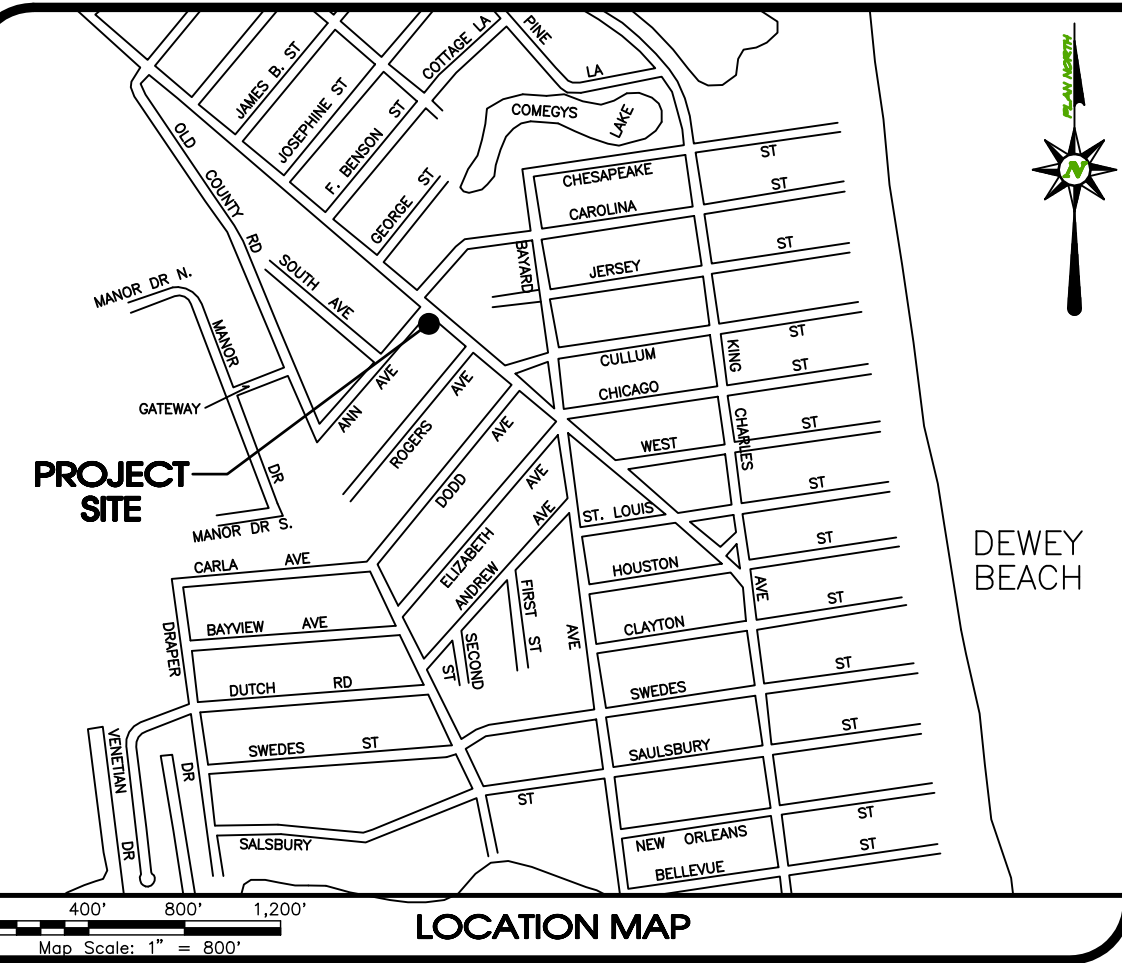
SOURCE: ITE TRIP GENERATION MANUAL 10TH EDITION SMALL OFFICE BUILDING (712)
DESIGN VEHICLE: SU-30
2,826 S.F. OFFICE (USABLE AREA) WEEKDAY = 48 TRIPS (23 IN/25 OUT) WEEKDAY, PEAK 7am-9am = 5 TRIPS (4 IN/1 OUT) WEEKDAY, PEAK 4pm-6pm = 7 TRIPS (2 IN/5 OUT)
TOTAL ADT FOR SITE (WEEKDAY) = 46 TRIPS
DIRECTIONAL DISTRIBUTION: 10% TO AND FROM THE EAST: 4 TRIPS (1 A.M. PEAK) [1 P.M. PEAK] 10% TO AND FROM THE WEST: 4 TRIPS (1 A.M. PEAK) [1 P.M. PEAK] 5% TRUCKS & BUSES x 46 = 3

PRELIMINARY PLAN (Not To Be Recorded)
SITE PLAN
SODEL OFFICE - REHOBOTH
LEWES & REHOBOTH HUNDRED - SUSSEX COUNTY - DELAWARE

THE KERCHER GROUP, INC. CONSULTING & SYSTEMS ENGINEERING
37385 REHOBOTH AVE., UNIT 11 - REHOBOTH BEACH, DELAWARE 19971
302.854.9062 (Voice) 302.854.9064 (Fax) www.kerchergroup.com

JOB No: 21-0403
PLAN DATE: May 14, 2021
SHEET No.:

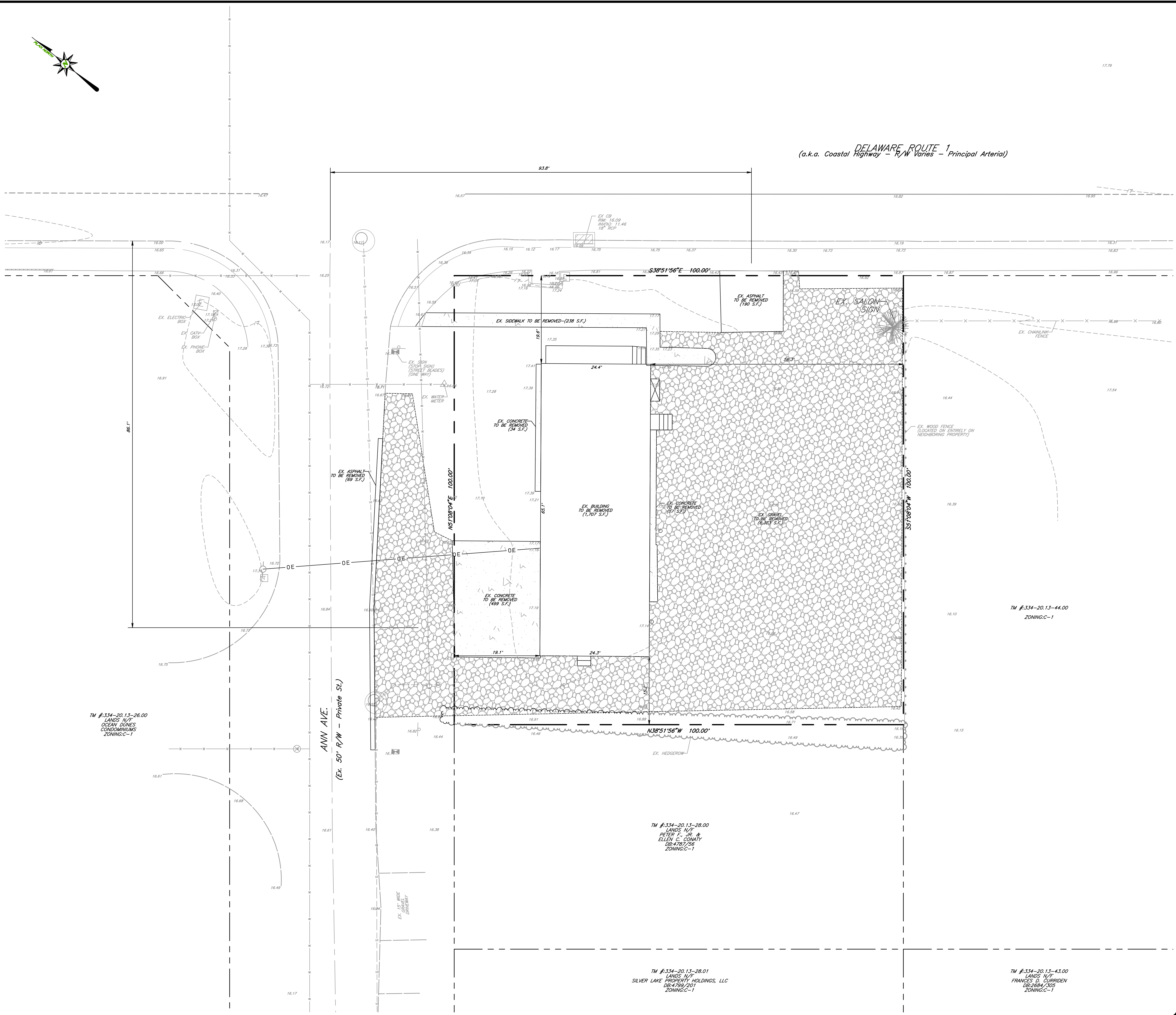
S1



PLAN LEGEND

- SUPPLEMENTAL CONTOUR (1' INTERVAL)
- INDEX CONTOUR (5' INTERVAL)
- EXISTING PAVEMENT EXTENTS
- EXISTING PAVEMENT STRIPING
- EXISTING PROPERTY BOUNDARY
- ADJOINING PROPERTY LINE
- EXISTING SANITARY SEWER MAIN
- x-x- EXISTING FENCE LINE (CHAIN LINK)
- x-x- EXISTING FENCE LINE (WOOD STOCKADE)
- EXISTING CURB
- EXISTING SIDEWALK
- EXISTING CENTERLINE OF ROAD
- EXISTING CONCRETE
- EXISTING GRAVEL
- EXISTING SANITARY MANHOLE
- EXISTING DRAINAGE INLET
- + EXISTING SIGN
- EXISTING MAILBOX
- EXISTING UTILITY POLE

EXISTING IMPERVIOUS TO BE REMOVED	
BUILDING:	1,707 Sq. Ft.
CONCRETE:	829 Sq. Ft.
ASPHALT:	260 Sq. Ft.
GRAVEL:	6,363 Sq. Ft.
TOTAL:	9,179 Sq. Ft.



NO.	DATE	DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE ORDINANCES OF SUSSEX COUNTY AND THE LAWS OF THE STATE OF DELAWARE.

DESIGN PROFESSIONAL: _____ DATE: _____

APPROVED BY: _____

SCALE: 1" = 100'

© COPYRIGHT 2021 THE KERCHER GROUP, INC.

OWNER/APPLICANT: SODEL DEVELOPMENT, LLC
 37585 REHOBOTH AVE., UNIT 11 - REHOBOTH BEACH, DE 19971
 Email: kerd@kerchergroup.com

PARCEL INFORMATION: TM# 334-20.13-28.00
 PARCEL AREA: 10,000 Sq. Ft.
 DEED BOOK: 5362/122

PRELIMINARY PLAN (Not To Be Recorded)
EXISTING FEATURES & DEMO PLAN
SODEL OFFICE - REHOBOTH
 LEWES & REHOBOTH HUNDRED - SUSSEX COUNTY - DELAWARE

THE KERCHER GROUP, INC.
 CONSULTING • SYSTEMS • ENGINEERING
 37585 REHOBOTH AVE., UNIT 11 - REHOBOTH BEACH, DELAWARE 19971
 302.854.9062 (Voice) 302.854.9064 (Fax) www.kerchergroup.com

JOB No: 21-0403
 PLAN DATE: May 14, 2021
 SHEET No.: **D1**

ABBREVIATED LIGHTING FIXTURE SCHEDULE								
TYPE	MANUFACTURER	CATALOG #	LAMPS	VOLT	MOUNTING	REMARKS	QTY	WATTS
G1	PHILIPS/STONCO	LPW-16-50-NW-G3-2-UNV-xx	80 CRI, 74,000K, 5,400 LUMEN LED	120	SURFACE	SLIM EXTERIOR SURFACE MOUNTED LED FIXTURE W/TYPE 2 DISTRIBUTION. UL LISTED FOR WET LOCATIONS. FINISH SELECTED BY OTHERS.	5	48
H	PHILIPS/GARDCO	ECF-S-32L-1A-NW-G2-AR-3-UNV-F1-RPA-xx	70 CRI, 4,000K, 13,000 LUMEN LED	120	POLE	ARCHITECTURAL OUTDOOR LOW PROFILE POLE ARM MOUNTED FIXTURE WITH TYPE III DISTRIBUTION, ROLE POLE ADAPTER, SINGLE FUSE, & DIFFUSING LENS. PROVIDE 20' TALL, ROUND POLE, FINISHED SELECTED BY OTHERS.	2	106

NOTES:

1. ALL LIGHTING FIXTURES SHALL BE APPROVED BY THE OWNER / ARCHITECT PRIOR TO ORDERING AND INSTALLING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ORDERING AND COORDINATION ALL FIXTURE OPTIONS AND ACCESSORIES TO ENSURE A COMPLETE QUALITY INSTALLATION

DELAWARE ROUTE 1

D.A.D. Coastal Highway - 110' R/W Ref.: DELDOT Contract 67-10-01.

GENERAL NOTES:

1. REFER TO ELECTRICAL PANEL SCHEDULES FOR WIRE SIZES, BREAKER SIZES, AND OTHER INFORMATION NOT SHOWN ON THIS DRAWING.
2. ALL EQUIPMENT, CONDUITS, WIRING ETC. THAT PENETRATIONS INTO FIRE RATED WALLS, PARTITIONS, OR BARRIERS MUST BE SEALED, FIRE RATED, & APPROVED BY THE AHJ.
3. PANELBOARDS TO UTILIZE BOLT-ON CIRCUIT BREAKERS.
4. ALL LOW-VOLTAGE OUTLETS TO HAVE CONDUIT STUBS UP TO CEILING & TURNED OUT.
5. COORDINATE WITH SUPPLIERS OF ALL EQUIPMENT TO ENSURE ALL CONDUITS, CIRCUITS, & POWER CONNECTIONS ARE INSTALLED.
6. PROVIDE/COORDINATE MOUNTING BLOCK(S) FOR ALL EXTERIOR LIGHTS AND RECEPTACLES.
7. FIELD CALIBRATE OCCUPANCY SENSOR(S) TO AVOID INADVERTENT ACTIVATION OF LIGHT(S).

DRAWING NOTES:

- ① LIGHTING TO BE CONTROLLED BY TIMECLOCK & PHOTOCELL. COORDINATE "OFF" TIMES WITH OWNER PRIOR TO COMPLETION. TIMECLOCK TO BE LOCATED ADJACENT TO PANEL LR1.
- ② EXTEND CIRCUITRY BELOW SLAB & TURN UP INTO WALL. EXTEND CIRCUITRY THROUGH BUILDING TO PANEL LR1.



SCALE:



DATE: 06-06-2021
 VERSION: 1.000
 EXPIRATION DATE: 06-30-2022

THE DOCUMENTS PREPARED BY FISHER ARCHITECTURE, LLC ARE SOLELY FOR THE PURPOSES OF THE SPECIFIED PROJECT. THEY ARE NOT INTENDED OR AUTHORIZED FOR USE ON ANY OTHER PROJECT. FISHER ARCHITECTURE, LLC MAKES NO REPRESENTATION AS TO THE SUITABILITY FOR ANY OTHER USE. ALL DOCUMENTS PREPARED BY FISHER ARCHITECTURE, LLC ARE INSTRUMENTS OF PROFESSIONAL SERVICE IN RESPECT OF THE PROJECT. THESE DOCUMENTS ARE, AND SHALL REMAIN, THE PROPERTY OF FISHER ARCHITECTURE, LLC.

CONSULTANTS:

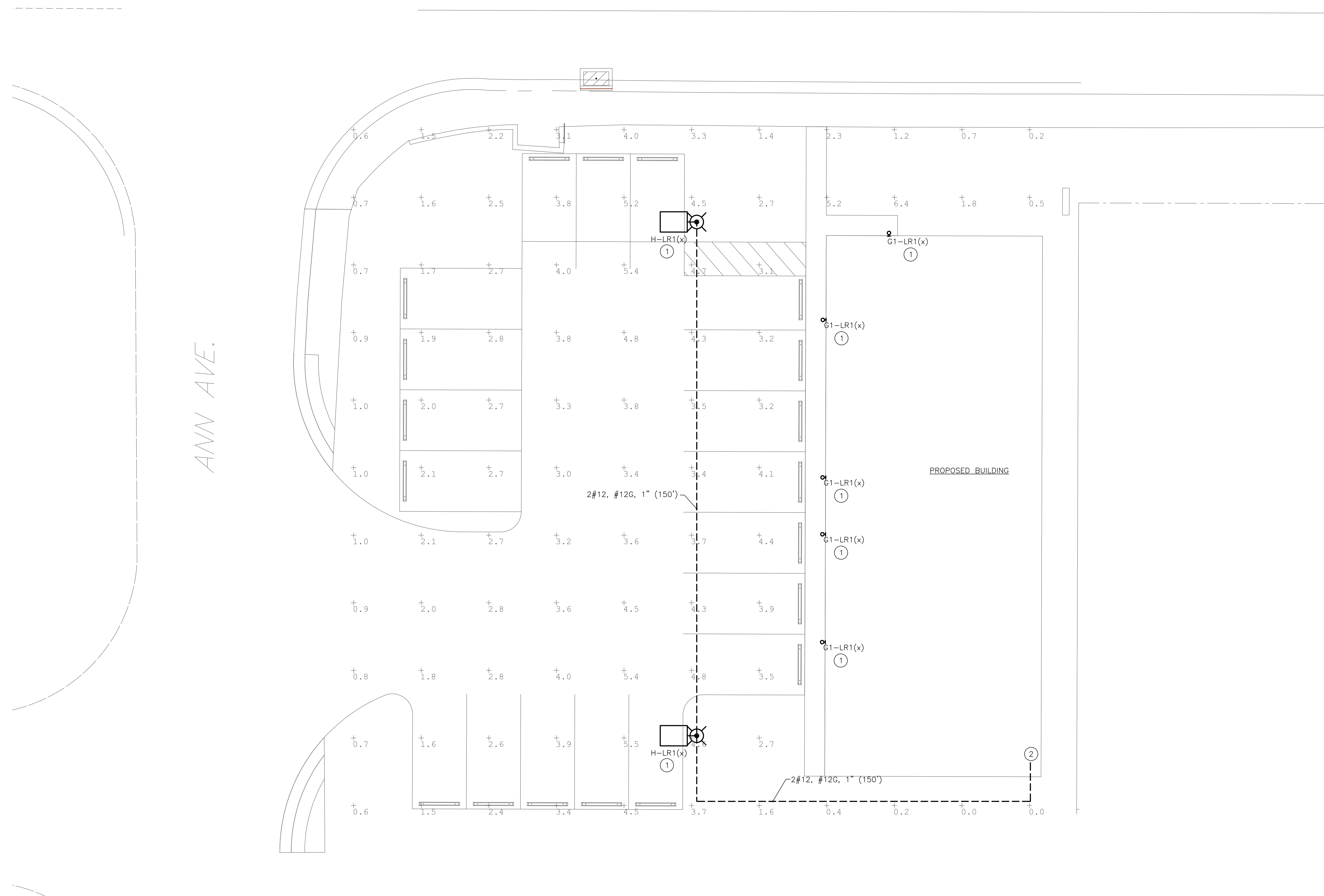
SO-DEL OFFICE
 20968 DE-1
 REHOBOTH BEACH, DE 19371

SHEET INFO:

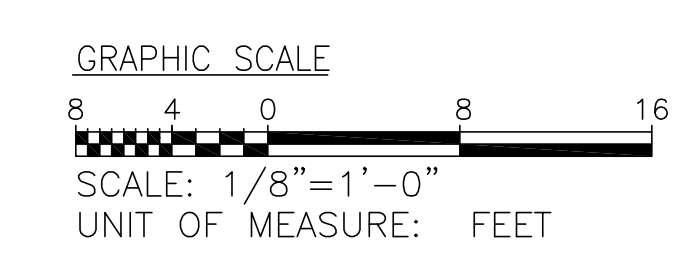
OVERALL SITE PLAN
 ELECTRICAL

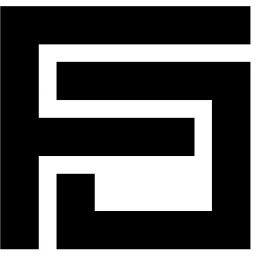
REV	DATE	DESCRIPTION

SHEET NUMBER:
E-301



① OVERALL SITE PLAN - ELECTRICAL
 SCALE: 1/8" = 1'-0"





FISHER
ARCHITECTURE
Fisher Architecture, LLC
542 Riverside Drive
Salisbury, MD 21801
(410) 742-0238

SEAL:

FOR REVIEW
ONLY NOT FOR
CONSTRUCTION

PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM
A LICENSED ARCHITECT UNDER THE LAWS
OF THE STATE OF MARYLAND.

LICENSE NO.: 00139555
EXPIRATION NO.: 09.23.2022

THE DOCUMENTS PREPARED BY FISHER
ARCHITECTURE, LLC, ARE SOLELY FOR
THE PURPOSES OF THE SPECIFIED
PROJECT. THEY ARE NOT TO BE USED OR
AUTHORIZED FOR USE ON ANY OTHER
PROJECT. FISHER ARCHITECTURE, LLC
MAKES NO REPRESENTATION AS TO
THEIR SUITABILITY FOR ANY OTHER USE.
ALL DOCUMENTS PREPARED BY FISHER
ARCHITECTURE, LLC ARE INSTRUMENTS
OF PROFESSIONAL SERVICE IN RESPECT
OF THE PROJECT. THESE DOCUMENTS
ARE, AND SHALL REMAIN, THE PROPERTY
OF FISHER ARCHITECTURE, LLC.

CONSULTANTS:

SODEL OFFICE

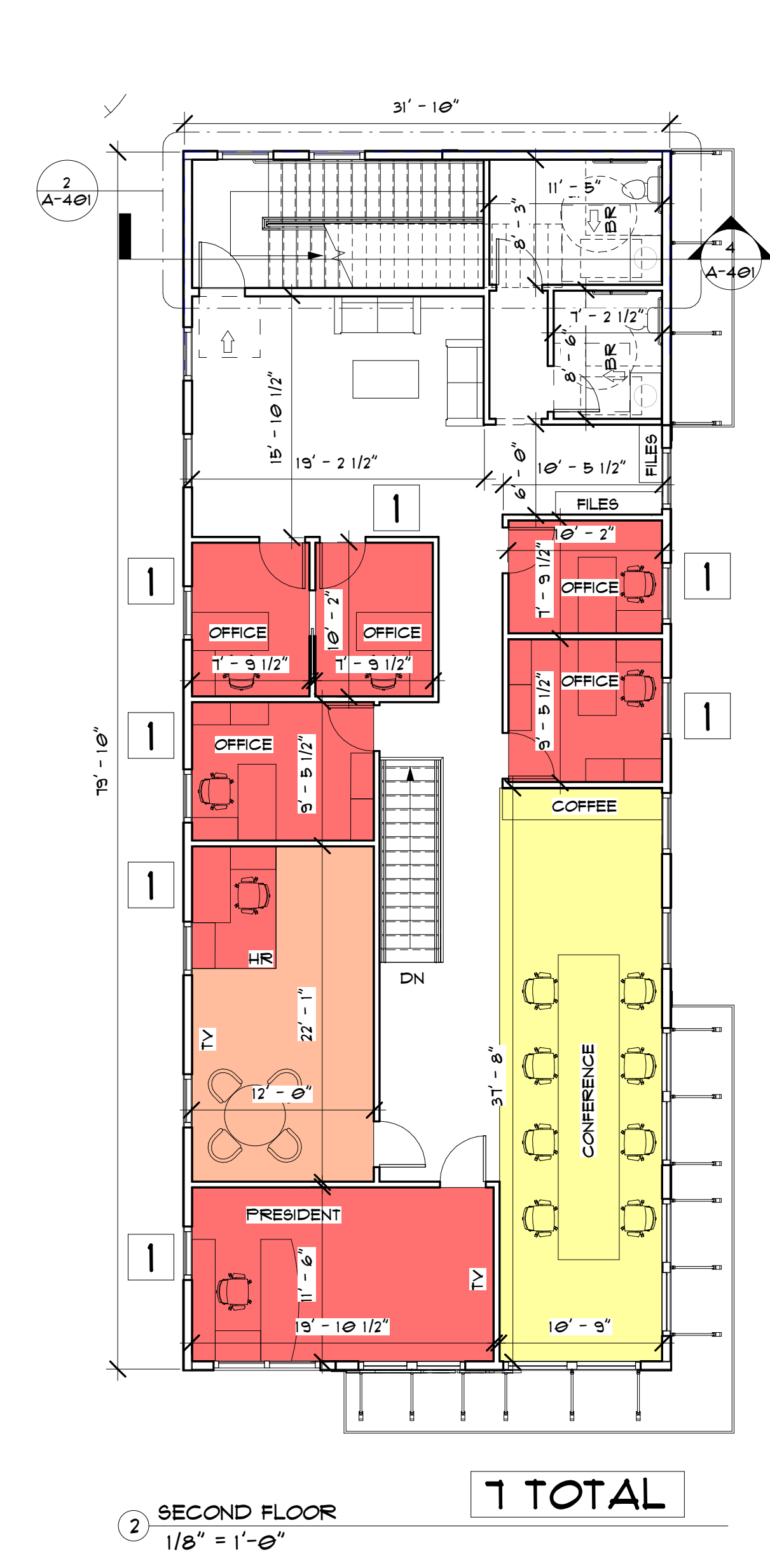
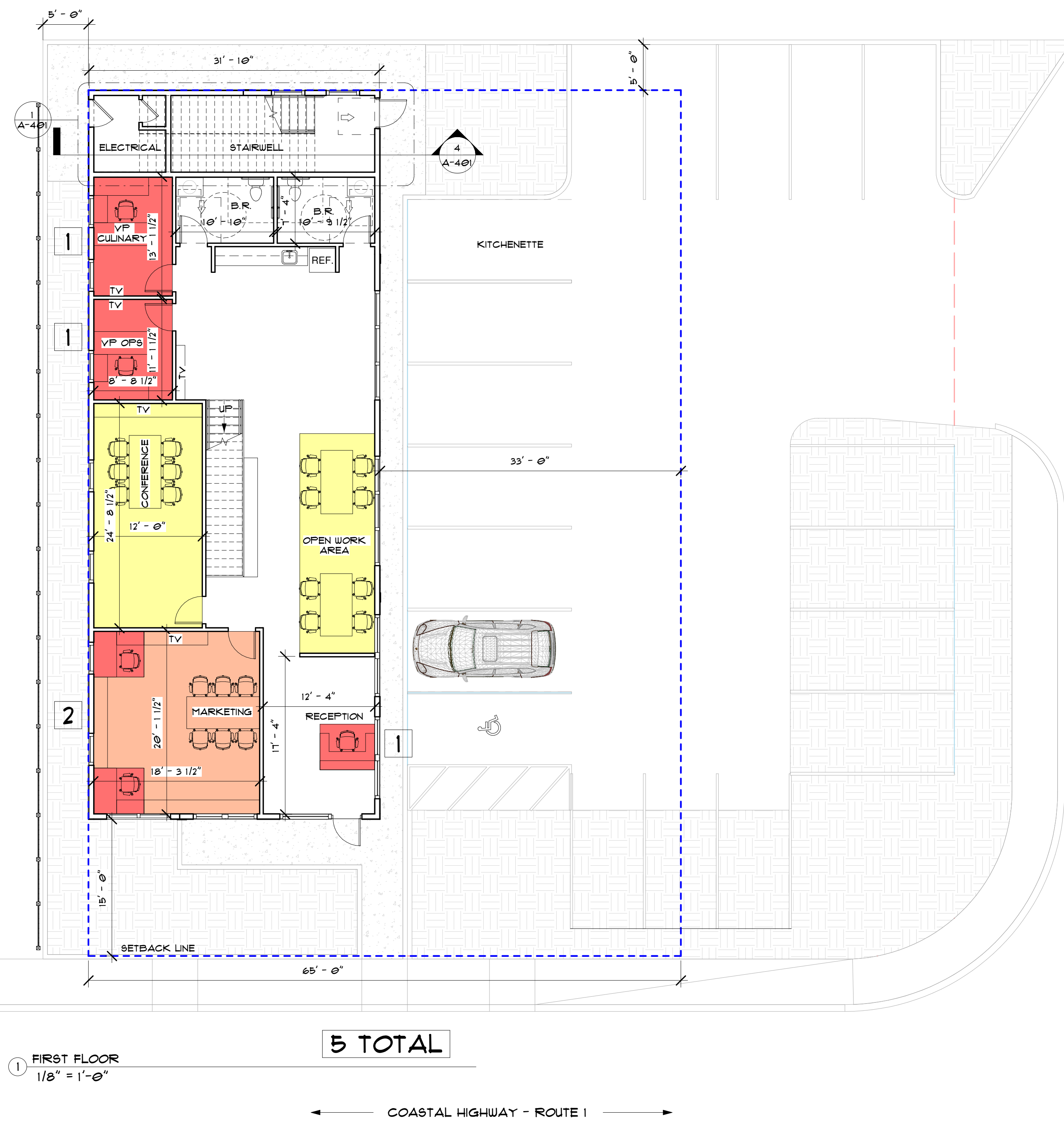
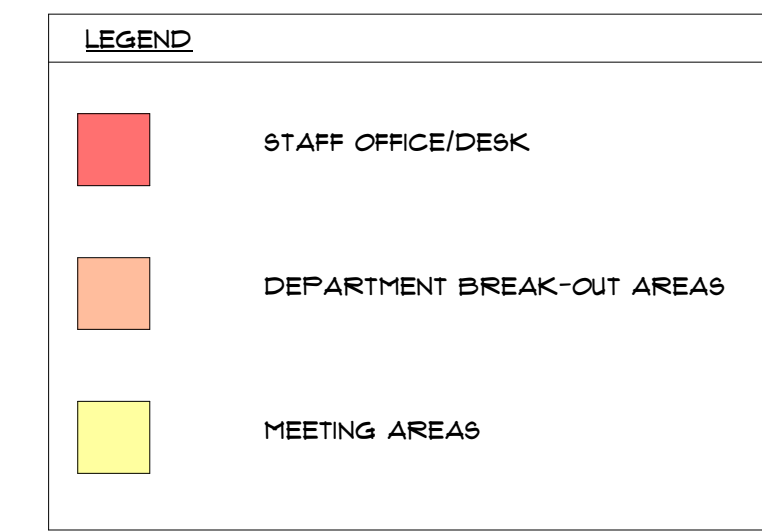
20968 DE-1
REHOBOTH BEACH, DE 19971

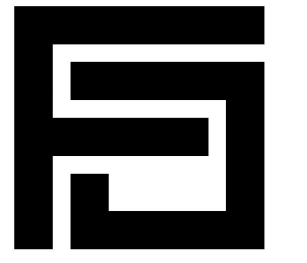
SHEET INFO:

FLOOR PLANS

REV DATE DESCRIPTION
DATE: 01/26/22
PROJECT NO: 2020109
SCALE: 1/8" = 1'-0"
FROM MR: H. MORRISON
DRAWN BY: S. FINCH
SHEET NUMBER:

A-101





FISHER ARCHITECTURE
 Fisher Architecture, LLC
 542 Riverside Drive
 Salisbury, MD 21801
 (410) 742-0238

SEAL:
 FOR REVIEW ONLY NOT FOR CONSTRUCTION

PROFESSIONAL CERTIFICATION:
 I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF DELAWARE.
 LICENSE NO.: S5-0007610
 EXPIRATION NO.: 01.31.2022

THE DOCUMENTS PREPARED BY FISHER ARCHITECTURE, LLC, ARE SOLELY FOR THE PURPOSES OF THE SPECIFIED PROJECT. THEY ARE NOT OVERSEEN OR AUTHORIZED FOR USE ON ANY OTHER PROJECT. FISHER ARCHITECTURE, LLC MAKES NO REPRESENTATION AS TO THEIR SUITABILITY FOR ANY OTHER USE. ALL DOCUMENTS PREPARED BY FISHER ARCHITECTURE, LLC ARE INSTRUMENTS OF PROFESSIONAL SERVICE IN RESPECT OF THE PROJECT. THESE DOCUMENTS ARE, AND SHALL REMAIN, THE PROPERTY OF FISHER ARCHITECTURE, LLC.

CONSULTANTS:

SODEL OFFICE
 209368 DE-1
 REHOBOTH BEACH, DE 19371

SHEET INFO:

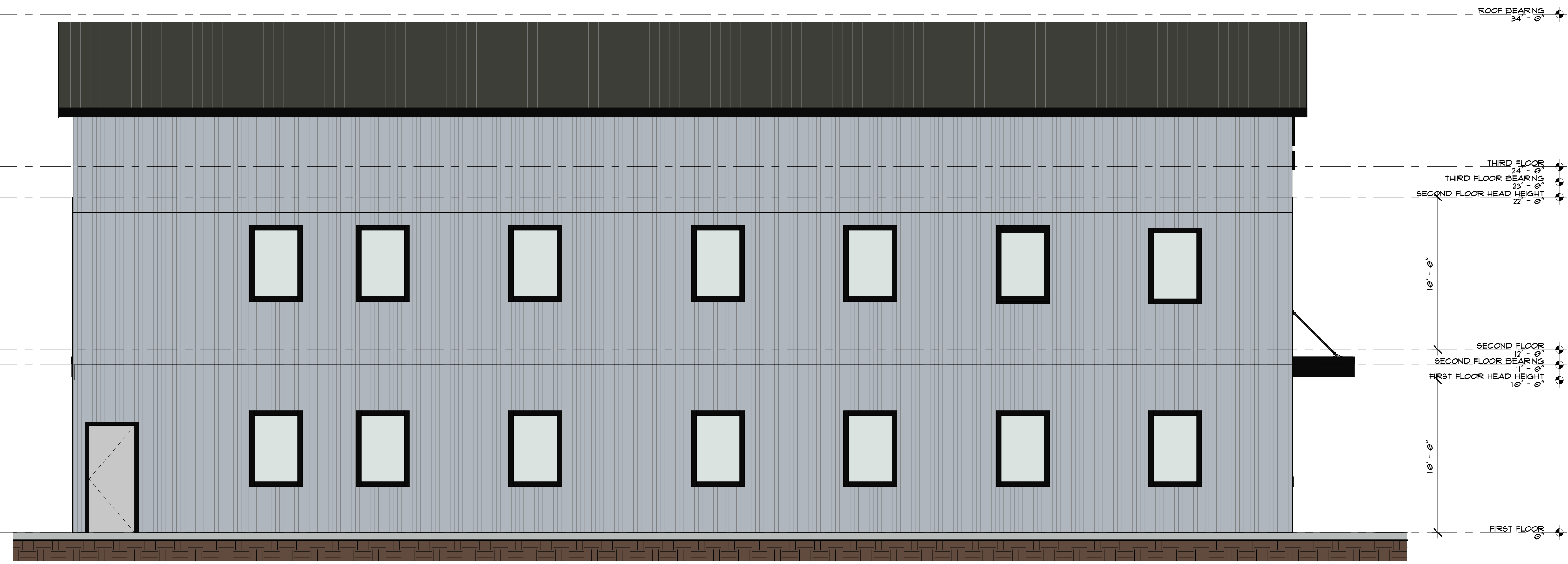
ELEVATIONS

REV	DATE	DESCRIPTION
	12/02/21	07
	2020109	109
	1/4" = 1'-0"	
	H. MORRISON	Author

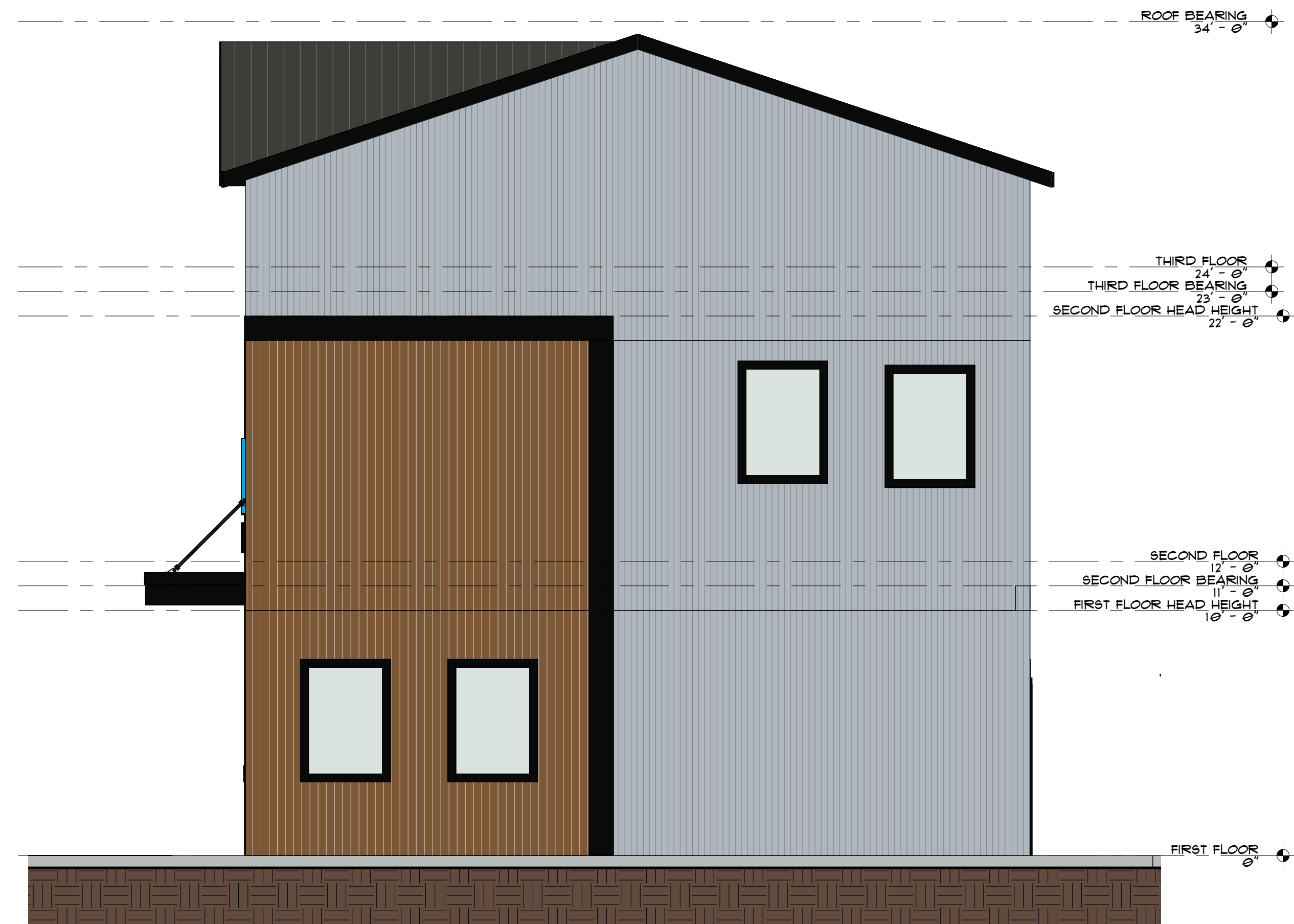
SHEET NUMBER:
A-201



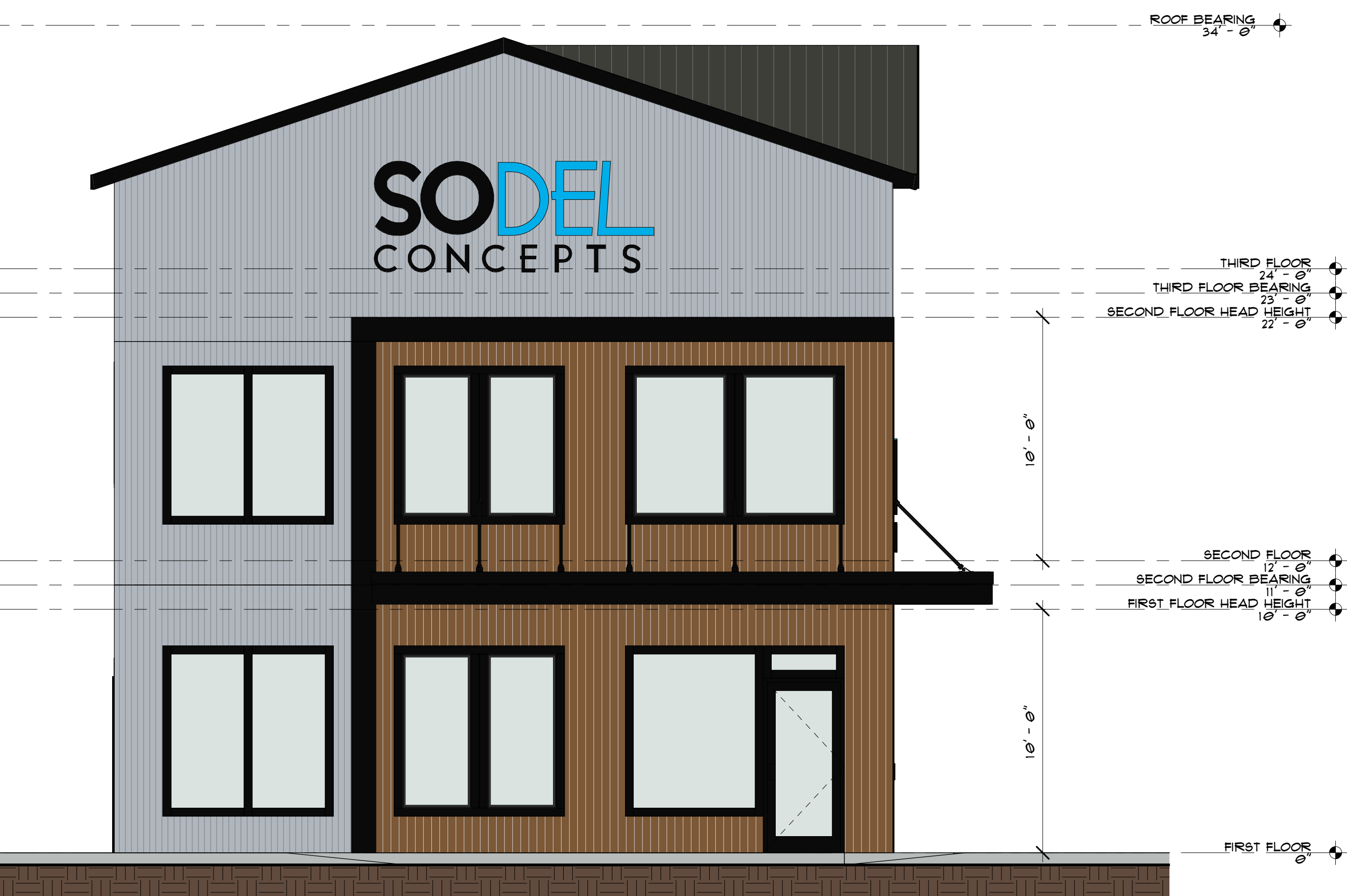
① ELEVATION EAST
 1/4" = 1'-0"



③ ELEVATION WEST
 1/4" = 1'-0"



① ELEVATION NORTH
1/4" = 1'-0"



② ELEVATION SOUTH
1/4" = 1'-0"

SEAL:



PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM
A LICENSED ARCHITECT UNDER THE LAWS
OF THE STATE OF DELAWARE.

LICENSE NO.: 0013955
EXPIRATION NO.: 09.23.2022

THE DOCUMENTS PREPARED BY FISHER
ARCHITECTURE, LLC, ARE SOLELY FOR
THE PURPOSES OF THE SPECIFIED
PROJECT. THEY ARE NOT TO BE USED OR
AUTHORIZED FOR USE ON ANY OTHER
PROJECT. FISHER ARCHITECTURE, LLC
MAKES NO REPRESENTATION AS TO
THEIR SUITABILITY FOR ANY OTHER USE.
ALL DOCUMENTS PREPARED BY FISHER
ARCHITECTURE, LLC ARE INSTRUMENTS
OF PROFESSIONAL SERVICE IN RESPECT
OF THE PROJECT. THESE DOCUMENTS
ARE, AND SHALL REMAIN, THE PROPERTY
OF FISHER ARCHITECTURE, LLC.

CONSULTANTS:

SODEL OFFICE
 20948 DE-1
 REHOBOTH BEACH, DE 19971

SHEET INFO:

ELEVATIONS

REV	DATE	DESCRIPTION

DATE: 01/28/22
PROJECT NO: 2020109
SCALE: 1/4" = 1'-0"
DRAWN BY: Author
SHEET NUMBER:

JAMIE WHITEHOUSE, AICP, MRTPI
DIRECTOR OF PLANNING & ZONING
(302) 855-7878 T
(302) 854-5079 F
jamie.whitehouse@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

August 9, 2021

Dr. Kristi Shaw
Cleanbay Renewables
726 Second St. Suite 3B
Annapolis, MD 21403

By email to: kristi@cleanbayrenewables.com

RE: Expiration of Conditional Use No. 2113 Cleanbay Renewables, LLC for an electrical generation and nutrient recovery facility located on the west side of Dupont Boulevard (Route 113) in Georgetown.

Dear Dr. Shaw:

Conditional Use No. 2113, filed by Cleanbay Renewables, LLC, was approved by the Sussex County Council on July 31st, 2018 and adopted through Ordinance No. 2589.

Persuant to §115-174, a Conditional Use is valid for a period of three (3) years from the date of approval and shall become null and void unless the use is "substantially underway." As stated in §115-174, construction shall be deemed to be substantially underway if *"the right of way has been cleared, the roadways, internal streets and/or parking areas have been rough-graded, the drainage system and/or stormwater management facilities have been rough-graded and erosion and sediment control measures are in place and being actively maintained."*

After a staff review of this project, it appears that this approval has now lapsed.

If you disagree with staff's findings, please provide documentation to our office that would deem this project to be substantially underway within the three year time frame.

Please feel free to contact me with any questions during business hours 8:30 A.M. – 4:30 P.M., Monday through Friday at 302-855-7878.

Sincerely,

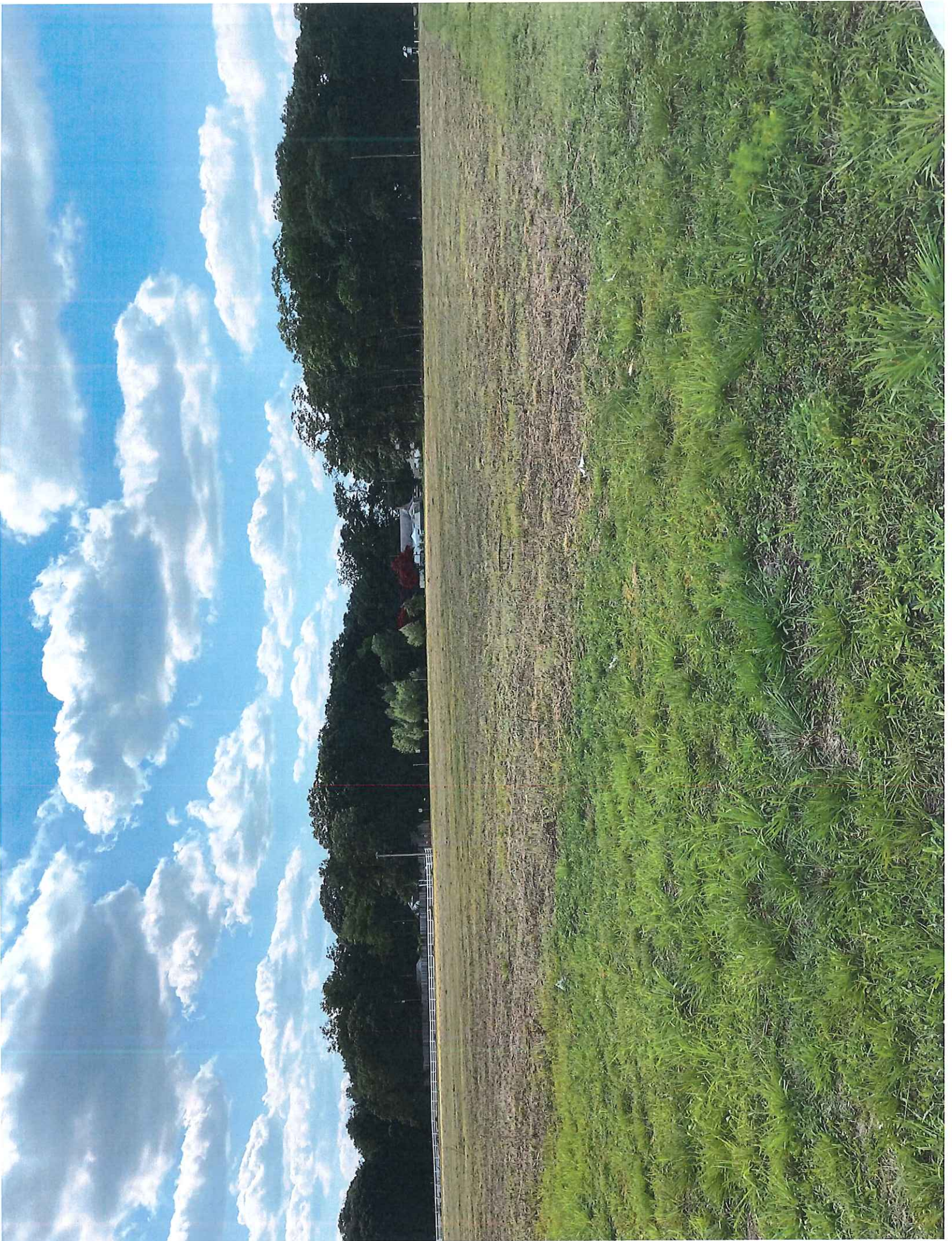
Nick Torrance

Nick Torrance
Planner I



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE 19947

Staff's Photos taken on August 5th, 2021









726 Second Street, Suite 3B
Annapolis, MD 21403

August 10, 2021

Nick Torrance
Planner I
Sussex County Department of Planning and Zoning
2 The Circle
Georgetown, DE 19947

By email to: Nicholas.torrance@sussexcountyde.gov

RE: Expiration of Conditional Use No. 2113 Cleanbay Renewables, LLC for an electrical generation and nutrient recovery facility located on the west side of Dupont Boulevard (Route 113) in Georgetown.

Dear Nick,

Conditional Use No. 2113, filed by Cleanbay Renewables, LLC, was approved by the Sussex County Council on July 31st, 2018 and adopted through Ordinance No. 2589. Pursuant to §115-174 for the continued validity of the Conditional Use, this letter serves to show that construction and land management has been substantially underway based upon the following:

“the right of way has been cleared, the roadways, internal streets and/or parking areas have been rough-graded, the drainage system and/or stormwater management facilities have been rough-graded and erosion and sediment control measures are in place and being actively maintained.”

CleanBay Renewables disagrees with the staff’s findings that the approval for Conditional Use No. 2113 has lapsed. To confirm, photos are attached to demonstrate the clearing of a right of way and roadway/parking areas. The drainage system, stormwater management and erosion and sediment control has been maintained over the prior three years as agricultural ditches and agricultural tillage of the land. We are working closely with Melvin Joseph Construction company on scheduled improvements at the site, which commenced before the end of the 3 year CUA period.

Sincerely,

A handwritten signature in black ink, appearing to be "KS", with a horizontal line extending to the right.

Dr. Kristi Shaw
Director of Environmental & Regulatory Compliance
CleanBay Renewables

Attachments: Photos of site work completed before July 31, 2021.

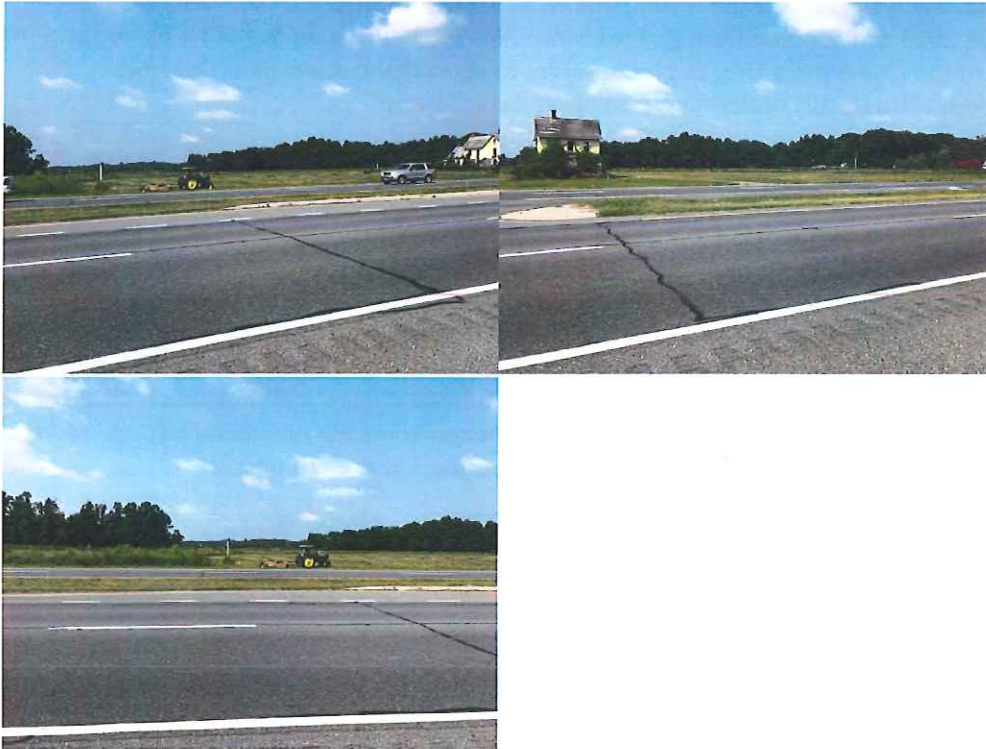


Before, July 2021



After, July 2021

Site work being completed, July 2021.





726 Second Street, Suite 3B
Annapolis, MD 21403

August 24, 2021

By email to: Jamie.Whitehouse@sussexcountyde.gov

Sussex County Planning and Zoning Commission
2 The Circle
Georgetown, DE 19947

RE: Conditional Use No. 2113 Cleanbay Renewables, LLC for an electrical generation and nutrient recovery facility located on the west side of Dupont Boulevard (Route 113) in Georgetown.

Dear Planning and Zoning Commission Members,

Conditional Use No. 2113, applied for by Cleanbay Renewables LLC Sussex I (CBR) on August 31, 2017, was heard before your commission on January 25, 2018, recommended for approval on February 8, 2018, heard by the Sussex County Council on February 20, 2018, approved by the Sussex County Council on July 31, 2018 and adopted through Ordinance No. 2589.

In accordance with the Conditions of Use for No. 2113, CBR has worked diligently with state and local officials on conforming to site plan approval submission requirements, including securing Fire Marshal approval (7/3/2019; Condition "A"), DelDOT approval for a new entrance off of Rt 113 (8/21/2019, Condition "J"), Sussex Conservation District approval for stormwater management and erosion-sediment control measures (4/29/2020; Condition "M") and a Hydrological Assessment, conducted in accord with DNREC (7/27/2020; Condition "O").

Given the nature of the past year of pandemic closures and delays, forward movement in the P&Z process were impacted, including the timeline of site plan review, communications, etc. Following updated site plan submissions made on 3/12/2021, a new planner was assigned to the project on 5/6/2021, a review was received (5/17/2021) and CBR edits were submitted (6/14/2021). The project was placed on the P&Z Commission agenda for 7/8/2021 after final edits were submitted.

Following the approval of final site plans for the CBR project on 7/8/2021, a follow-up email was sent to planners by CBR on 7/28/2021 to confirm steps forward for site plan signatures. In addition, CBR relayed updates regarding site work and schedules as contracted with Melvin Joseph Construction, with the expressed purpose of confirming substantial progress was being made toward site improvement for Conditional Use compliance, before the end of the CUA period on 7/31/2021. The next correspondence received was a letter on 8/9/2021 giving notice that CUA had expired, based upon lack of site work.

Persuant to §115-174 for the continued validity of the Conditional Use, this letter serves to provide additional details show that construction and land management has been substantially underway based upon the following:

"the right of way has been cleared, the roadways, internal streets and/or parking areas have been rough-graded, the drainage system and/or stormwater management facilities have been rough-graded and erosion and sediment control measures are in place and being actively maintained."



CleanBay Renewables disagrees with the staff's findings that the approval for Conditional Use No. 2113 has lapsed. The drainage system, stormwater management and erosion and sediment control has been maintained over the prior three years as agricultural ditches and by agricultural tillage of the land. Right of way onto the property from Rt 113 and a parking area in front of the house structure have been maintained over the prior three years. Following site plan approval on 7/8/2021, we have been working closely with Melvin Joseph Construction company on scheduled improvements at the site, which commenced before the end of the three year CUA period and have included landscape clearing, asbestos removal from the house structure and subsequent demolition of structure. If the work, as scheduled and communicated, was not in alignment with being "substantially underway", we would have hoped for a response to that effect before the expiration of the CUA period on 7/31/2021. If more specific requirements for this parcel to be considered "substantially underway" were implied, §115-174 does not provide language that is specific enough to substantiate a lapse in CUA.

Based upon this information, we request that the Planning and Zoning Commission find CUA No. 2113 in compliance and substantially underway, so that CleanBay Renewables may continue its development of this site.

Sincerely,

A handwritten signature in black ink, appearing to read "KS", with a long horizontal line extending to the right.

Dr. Kristi Shaw

Director of Environmental & Regulatory Compliance

CleanBay Renewables

Attachments: Photos of site work completed before July 31, 2021 and during August 2021.



Before, July 2021



After, July 2021

Site work being completed, July 2021.



House following clearing and asbestos removal, August 2021.



ORDINANCE NO. 2589

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR AN ELECTRICAL GENERATION AND NUTRIENT RECOVERY FACILITY TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN DAGSBORO HUNDRED, SUSSEX COUNTY, CONTAINING 16.71 ACRES, MORE OR LESS

WHEREAS, on the 31ST day of August 2017, a conditional use application, denominated Conditional Use No. 2113, was filed on behalf of CleanBay Renewables, LLC Sussex I; and

WHEREAS, on the 25th day of January 2018, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and on the 8th day of February 2018, said Planning and Zoning Commission recommended that Conditional Use No. 2113 be approved with conditions; and

WHEREAS, on the 31st day of July 2018, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article IV, Subsection 115-22, Code of Sussex County, be amended by adding the designation of Conditional Use No. 2113 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

ALL that certain tract, piece or parcel of land lying and being situate in Dagsboro Hundred, Sussex County, Delaware, and lying on the southwest corner of DuPont Boulevard (Route 113) and Breasure Road, and being more particularly described per the attached deed prepared by Moore & Rutt, P.A., said parcel containing 16.71 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.

This Ordinance was adopted subject to the following conditions:

- A. All improvements for nutrient recovery and electrical generation shall be constructed and maintained in accordance with the Delaware Department of Natural Resources and Environmental Control, the State Fire Marshal, and any other state or federal agencies that have any jurisdiction over the development and use of the site.
- B. As proffered by the applicant, all buildings on the site shall have an agricultural appearance. This shall not apply to the generators, holding and treatment tanks or towers located on the site.
- C. The generators must have sound suppression measures in place and they must be located as far as possible from Breasure Road.
- D. No entrance to the site shall be to or from Breasure Road.
- E. All trucks entering or leaving the site shall be completely enclosed at all times.
- F. All materials brought to the site shall be offloaded from trucks using a conveyor system. No open dumping shall be permitted.
- G. No chicken litter or other materials brought to the site or the end-product from the use shall be stored outside on the site. All materials brought to the site shall be immediately offloaded from trucks into the facility's closed system.
- H. Truck deliveries to the site shall be limited to the hours between 7:00 a.m. and 7:00 p.m., Monday through Saturday. No deliveries shall occur on Sunday, and no trucks containing materials shall remain on the site beyond the delivery hours or on Sundays.
- I. The Final Site Plan shall include a thirty-foot wide "Forested and/or Landscaped Buffer Strip" meeting the planting requirements of Section 99-5 of the Code of Sussex County. Section 99-5 dictates the types of trees and vegetation, the density of the required trees and other plantings, minimum heights, and other requirements. The Final Site Plan shall contain a landscaping plan for these buffer areas.
- J. The Applicant shall comply with all DeldOT requirements for roadway and entrance improvements.
- K. One lighted sign shall be permitted on the site. The sign shall not exceed 32 square feet per side. Small directional signs shall also be permitted at the entrances to the site. The location of the signage shall be shown on the Final Site Plan.
- L. Any violations of the conditions of approval may result in the termination of this Conditional Use.
- M. The Final Site Plan shall contain the approval of the Sussex Conservation District regarding drainage and stormwater management requirements.
- N. Any security lighting shall be designed so that it is downward screened so that it does not shine on neighboring properties or roadways. In addition, all exterior lighting shall automatically be dimmed between 9:00 p.m. and 6:00 a.m.
- O. Prior to Final Site Plan approval, the applicant shall obtain a baseline water quality sample and the report from that shall be submitted to the Office of Planning and Zoning to confirm the groundwater quality prior to any development of the site.
- P. The Final Site Plan shall be subject to the approval of the Sussex County Planning and Zoning Commission.

I DO HEREBY CERTIFY THAT THE FOREGOING IS A TRUE AND CORRECT COPY
OF ORDINANCE NO. 2589 ADOPTED BY THE SUSSEX COUNTY COUNCIL ON THE
31ST DAY OF JULY 2018.


ROBIN A. GRIFFITH
CLERK OF THE COUNCIL

The Council found that the Conditional Use was appropriate legislative action based on the following Findings of Fact:

A. This is the application of CleanBay Renewables, LLC, Sussex I, to consider the Conditional Use of land in an AR-1 Agricultural Residential District for an electrical generation and nutrient recovery facility to be located on a certain parcel of land lying and being in Dagsboro Hundred, Sussex County, containing 16.71 acres, more or less (located at the southwest corner of DuPont Blvd. (Route 113) and Breasure Road) (Tax I.D. No. 133-6.00-123.00 (portion of) (911 Address: None Available).

B. Based on testimony before the Planning & Zoning Commission ("Commission") and the public hearing before the Sussex County Council ("Council"), Council found that the following were present on behalf of this application: Dennis Schrader, Attorney with Morris James Wilson Halbrook & Bayard LLP, and Dr. Kristi Shaw, a doctor of Environmental Science and a Maryland certified Nutrient Management Consultant, were present at the Commission and Council hearings, Thomas Spangler, Principal of CleanBay Renewables, LLC, was present at the Commission hearing and Andy Hallmark was present at the Council hearing; that the site is 16.71 acres and is located adjacent to a borrow pit and former airport; that the Applicant proposes a public utility generation plant; that per the Comprehensive Plan, the site is low density; that it is in the Level 4 State Strategies; that they are not encouraging state spending; that this process has been through State PLUS review; that a letter from Delaware Electric Cooperative was submitted; that there are residences across Breasure Road to the north; that to the west of the property is the former airport and a borrow pit; that a solar farm is proposed across Route 113 to the east; that Breasure Road is used for local residences and for truck access to the Borrow Pit and Melvin Joseph construction site; that the property is currently used for agricultural purposes and contains a dwelling; that the dwelling is old and not habitable and would cost a lot of money to rehab; and that the initial plan is to demolish the house.

C. Council also found that the proposed plant would convert poultry litter and other poultry waste streams into energy; that Breasure Road would be used for trucks and employee entrance; that they would self-impose delivery hours six (6) days a week from 7:00 am to 7:00 pm; that DeDOT minimized the use of Route 113 for an entrance; that the type of trucks used are tractor trailers; that there will be 12 trucks per day maximum and each truck carries 23 tons of poultry litter; that half of those trucks exit empty and the other half exit with a saleable soil amendment by-product similar to what can be found in local garden stores; that they have a contract with litter brokers to obtain material; that the quantity of litter that goes through the facility is approximately 250 tons per day; that the service areas of the litter are generally within 50 miles of litter brokers; that the trucks come in and unload into a hopper type system which goes into enclosed tanks; that the entire process is a closed loop system; that liquid goes into tanks that breaks down the products then goes to other tanks to create gas to electrical generation which connects into the Delaware Electric Cooperative Substation; that some material is piped to the nutrient recovery building and creates approximately one truck load of struvite pellets per day; that they have separated the phosphorous; that they are then left with a soil amendment (nitrogen, potassium and a small amount phosphorous); that it is used as soil amendment for farm use with approximately five truckloads going out daily; that the gas on-site is a wet gas and it is not explosive; that the tanks on site are not explosive; that they would not explode if hit by an airplane; that the adjacent airport is closed; and that the chance of fire or explosion is very low.

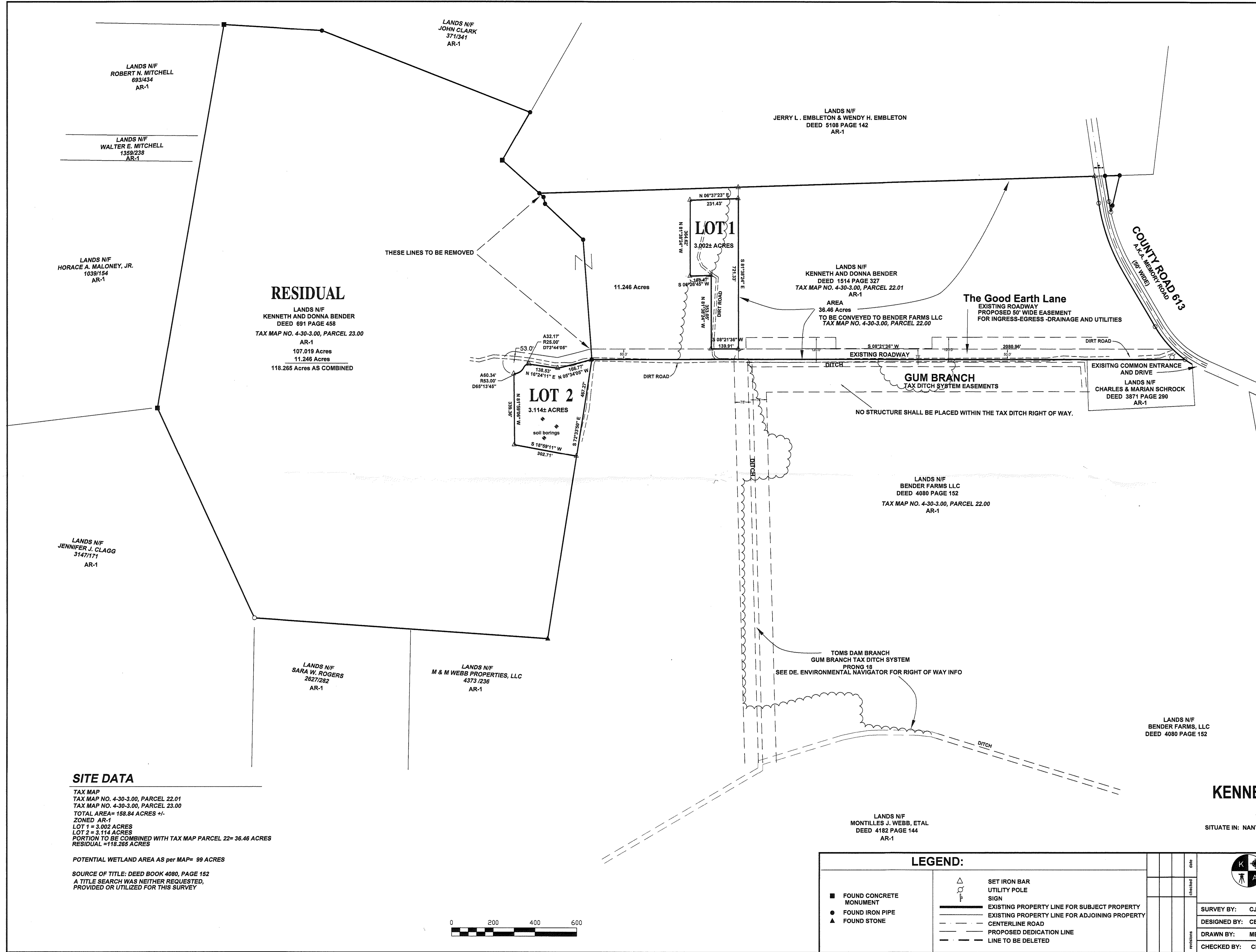
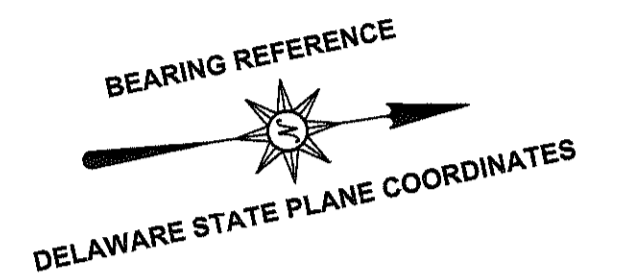
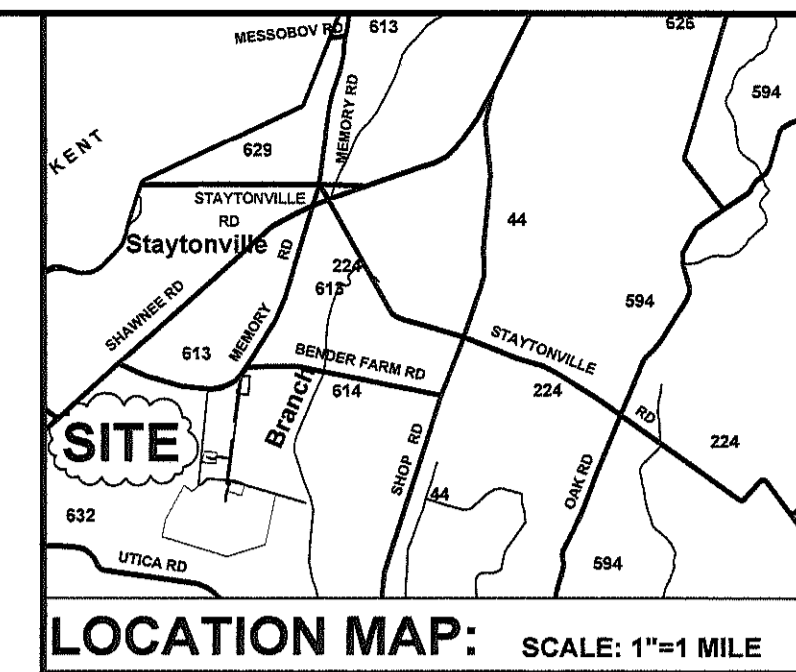
D. Council also found that the architect is designing the facility as an agricultural type campus and will incorporate screening and landscaping for the site; that the plant is a 24 hour 7 day use; that it will provide security lighting and proper signage; that Dr. Shaw stated that the main environmental concerns are stormwater management and they are working with DNREC; that some wetlands are on-site and will be avoided; that the facility will be in compliance with air quality regulations; that the site will be monitored by DNREC for air, water and soil and will obtain proper permits; that Delaware Electric Cooperative supports this site; that the site is adjacent to Route 113 and due to the Corridor Protection status, DelDOT supports truck traffic on Breasure Road entrance; that the facility is a positive facility for the agricultural business community use in the County; that it is in compliance with the Comprehensive Plan to support agricultural use; that Mr. Spangler stated Breasure Road is the main truck access from Melvin Joseph borrow pit and asphalt plant; that the loads coming in are covered and don't have to be uncovered to unload; that they are willing to request them to remain covered while unloading; that it is a hooded conveyor (completely enclosed) while unloading the litter; that the generators are sound suppressed; that the generators will approximately be 300-500 feet from the nearest house; that the noise they would have is 60 decibels at 33 feet away from the containers, which is approximately the sound of air conditioner unit or dishwasher; that they have four generators that are 2.4 megawatts (2,400 kw) per generator; that it is an active sound dampening system containers for the generators which are off the shelf products; that two of the generators are sitting outside of a patient room at Salisbury Hospital; that the soil amendment by-product is pathogen free as a result of the process and will be a valuable commodity for local farmers; and that the homes should not feel or hear anything.

E. Council further found that the Applicant will take DAF and hatchery waste; that they have mitigated the smell while unloading by using an injector type system; that the unloading area is covered by an overhang with a carbon air filtration system approximately 300 feet away from Breasure Road; that screening around the site as well as the design of the facility will also help mitigate smells; that any odor that escapes from the unloading process will fall off by 100 feet from processing area according to odor experts; that it is a 15 minute controlled exposure going into a liquid based system and it is completely different than spreading on a farm field; that DelDOT came up with 84 trips per day based on employees and truck usage; that there will be three shifts; that the number of employees will be 15 to 17 on the major shift; that there will be a landscape buffer with trees and bushes with height; that they would like a 32 square foot lighted sign at the Breasure Road and Rt. 113 intersection or at facility entrance; that there will be security lighting which is motion activated; that it is highly mechanized and automated system; that outside lighting is unexpected after dark; that the trailers back in; and that a three foot height wall will be around the perimeter of unloading area for containment.

F. Based on the record and recommendation of the Planning and Zoning Commission and the Planning and Zoning Commission's Findings (1 through 11) and Conditions (12A through P), as amended, Council found that:

1. The proposed Conditional Use is to establish a facility for nutrient recovery and conversion of poultry litter into electrical generation. The use and process of electrical generation will not include any incineration or composting of poultry waste.
2. The site is a 16.71-acre parcel of land with frontage on Route 113, which is one of the 3 major north-south truck routes through Sussex County. The site is also in close proximity to the existing electrical power grid. This is an appropriate and necessary location for this type of use.
3. The proposed use is consistent with other existing uses in the immediate vicinity, which include a large borrow pit, an asphalt plant, a large construction contractor equipment yard and an airstrip.

4. The proposed use is an agribusiness use which takes chicken litter, a byproduct of the Delmarva poultry industry, and converts it to electrical energy. This is a benefit to the agricultural industry of Sussex County through the re-use of chicken litter. It is also a benefit to residents and businesses within Sussex County by creating an economical alternative energy source for Sussex County and Delaware utility providers.
5. The entire process occurs within a closed system, from the time that the material delivered to the site arrives via truck through the end of the process when the pelletized remnants are removed from the site. There is no open storage of any material on site at any time.
6. There was nothing in the record to indicate that there will be significant odors from the site. And, given the current AR-1 zoning of the site, there are reasonable expectations that the site could currently be used for agricultural purposes that do generate odors associated with farming and poultry operations.
7. While there were concerns about traffic generated by the use, the actual amount of traffic is relatively minor given the prominent location of the site along Route 113 adjacent to other existing heavy uses. The Applicant testified that there are no more than 12 truck deliveries to the site per day and there are few employees associated with the use. And, the Delaware Department of Transportation will dictate entrance and roadway improvements necessitated by the use.
8. The Applicant testified that the use does not generate an extensive amount of noise. Any noise coming from the conversion process or the generators is comparable to the noise already created by traffic along Route 113.
9. The Applicants will be required to obtain all necessary permits and approvals from the Delaware Department of Natural Resources and Environmental Control, particularly those relating to air and water quality controls, and other agencies, prior to any operations on the site.
10. This parcel is appropriate for development given its proximity to the highway and being surrounded by other heavy commercial types of uses. This particular use, with the conditions and limitations placed upon it, will not have an adverse impact upon neighboring properties or the community.
11. This proposed use supports one of the primary goals of the current Sussex County Land Use Plan as stated on page 1 of that document: Conserve the County's agricultural economy. This goal is also restated in the Future Land Use Element of the Plan. This agribusiness use provides a market for the chicken litter byproduct of poultry operations which benefits and helps conserve the agricultural economy of Sussex County.
12. Based on the record and recommendation of the Planning & Zoning Commission, the Conditional Use is approved subject to sixteen (16) conditions (A - P), as amended, which will serve to minimize any potential impacts on the surrounding area and adjoining properties.



SITE DATA

TAX MAP NO. 4-30-3.00, PARCEL 22.01
 TAX MAP NO. 4-30-3.00, PARCEL 23.00
 TOTAL AREA= 158.84 ACRES +/-
 ZONED AR-1
 LOT 1 = 3.002 ACRES
 LOT 2 = 3.114 ACRES
 PORTION TO BE COMBINED WITH TAX MAP PARCEL 22= 36.46 ACRES
 RESIDUAL =118.265 ACRES

POTENTIAL WETLAND AREA AS per MAP= 99 ACRES

SOURCE OF TITLE: DEED BOOK 4080, PAGE 152
 A TITLE SEARCH WAS NEITHER REQUESTED,
 PROVIDED OR UTILIZED FOR THIS SURVEY



**SKETCH PLAN
 PROPOSED 50' WIDE ACCESS
 FOR LOTS 1-2 & RESIDUAL**
 FOR
KENNETH AND DONNA BENDER
 TAX MAP NO. 4-30-3.00, PARCEL 23.00
 TAX MAP NO. 4-30-3.00, PARCEL 22.01
 TAX MAP NO. 4-30-3.00, PARCEL 22.00

SITUATE IN: NANTICOKE HUNDRED, SUSSEX COUNTY, STATE OF DELAWARE

LEGEND:		date
■ FOUND CONCRETE MONUMENT	△ SET IRON BAR	
● FOUND IRON PIPE	○ UTILITY POLE SIGN	
▲ FOUND STONE	— EXISTING PROPERTY LINE FOR SUBJECT PROPERTY	
	- - - EXISTING PROPERTY LINE FOR ADJOINING PROPERTY	
	— CENTERLINE ROAD	
	- - - PROPOSED DEDICATION LINE	
	--- LINE TO BE DELETED	
		checked
		revisions

Karins and Associates ENGINEERS • PLANNERS • SURVEYORS NEWARK, DE • GEORGETOWN, DE www.karinsengineering.com 128 WEST MARKET STREET GEORGETOWN, DELAWARE 19847 PHONE: (302) 858-4331 FAX: (302) 628-2175	
SURVEY BY: CJA	
DESIGNED BY: CEA	
DRAWN BY: MBK	DATE: 06-10-2021 SHEET 1 OF 1
CHECKED BY: CEA	SCALE: 1" = 200' DRAWING NO. G 1184-