

**BOARD OF ADJUSTMENT**

JEFF CHORMAN, CHAIRMAN  
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**Sussex County**

DELAWARE  
sussexcountyde.gov

(302) 855-7878

**AGENDA**

**December 11, 2023**

**6:00 PM**

**Call to Order**

**Pledge of Allegiance**

**Approval of Agenda**

**Approval of the Minutes for October 2, 2023**

**Approval of the Findings of Fact for October 2, 2023**

**Old Business**

**12867 - Robert Kump**

seeks variances from the rear yard setback for a proposed structure (Sections 115-34 and 115-183 of the Sussex County Zoning Code). The property is located on the northeast side of Sunburst Path within the Peninsula Subdivision. 911 Address: 26961 Sunburst Path, Millsboro. Zoning District: MR. Tax Map: 234-30.00-27.00

**Public Hearings**

**12886 - Destiny LLC**

seeks a special use exception for an off-premises electronic message center (Sections 115-80, 115-81, 115-159.5, 115-161.1, and 115-210 of the Sussex County Zoning Code). The property is located on the northeast side of Parsonage Road approximately 30 ft. from Coastal Highway. 911 Address: 35859 Parsonage Road, Rehoboth Beach. Zoning District: C-1/GR. Tax Parcel: 334-13.00-5.00

**12887 - Joshua Valliant**

seeks variances from the front yard setback requirements for existing and proposed structures (Sections 115-25 and 115-182 of the Sussex County Zoning Code). The property is located on the southeast side of Wilgus Cemetery Road approximately 650 ft. from Honeysuckle Road. 911 Address: 34278 Wilgus Cemetery Road, Frankford. Zoning District: AR-1. Tax Parcel: 533-6.00-109.00

**12888 - Walls Sussex Properties, LLC**

seeks a special use exception to place a telecommunications tower and a variance from the height requirements for a telecommunications tower (Sections 115-25, 115-194.2, and 115-210 of the Sussex County Zoning Code). The property is located on the north

**side of Emory Walls Road approximately 1176 ft. from Seashore Highway. 911 Address: N/A. Zoning District: AR-1. Tax Parcel: 231-7.00-21.00**

**12889 - Abraham L. Huyett**

**seeks variances from the front, side, and rear yard setback requirements for proposed and existing structures (Sections 115-42, 115-182, 115-183, and 115-185 of the Sussex County Zoning Code). The property is located on the northwest side of Thistle Lane within the Oak Meadows Subdivision. 911 Address: 27626 Thistle Lane, Millsboro. Zoning District: GR. Tax Map: 234-29.00-189.00**

**12890 - Geoffrey S. Piotroski**

**seeks a variance from the maximum fence height requirement (Sections 115-25, 115-182, and 115-185 of the Sussex County Zoning Code). The property is located on the corner of Lighthouse Road and Monroe Avenue within the Edgewater Acres Subdivision. 911 Address: 38940 Monroe Avenue, Selbyville. Zoning District: AR-1. Tax Map: 533-20.19-16.00**

**Additional Business**

\*\*\*\*\*



-MEETING DETAILS-

In accordance with 29 Del. C. §10004(e)(2), this Agenda was posted on December 4, 2023, at 4:30 p.m. and at least seven (7) days in advance of the meeting.

The Agenda was prepared by the Director of Planning and Zoning and is subject to change to include the additional or deletion of items, including Executive Sessions, which arise at the time of the meeting.

Agenda items may be considered out of sequence.

The meeting will be streamed live at <https://sussexcountyde.gov/council-chamber-broadcast>

The Board of Adjustment meeting materials, including the “packet” are electronically accessible on the County’s website at: <https://sussexcountyde.gov/>.

If any member of the public would like to submit comments electronically, these may be sent to [pandz@sussexcountyde.gov](mailto:pandz@sussexcountyde.gov). All comments are encouraged to be submitted by 4:30 P.M. on Thursday, December 7, 2023.

####

Case # 12867  
Hearing Date \_\_\_\_\_  
202311946

### Board of Adjustment Application Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check all applicable)

Variance   
Special Use Exception   
Administrative Variance   
Appeal

Existing Condition   
Proposed   
Code Reference (office use only)  
115-34 115-183

Site Address of Variance/Special Use Exception:

26961 Sunburst Path Millsboro De 19966  
Variance/Special Use Exception/Appeal Requested: (The Peninsula)

The Peninsula Lot 16 Phase 1  
Tax Map #: 234-30.00-27.00 Property Zoning: MR

#### Applicant Information

Applicant Name: Robert R Kump  
Applicant Address: 26961 Sunburst Path  
City Millsboro State De Zip: 19966  
Applicant Phone #: 646-509-3253 Applicant e-mail: Robrkump@gmail.com

#### Owner Information

Owner Name: Robert R Kump  
Owner Address: 26961 Sunburst Path  
City Millsboro State De Zip: 19966 Purchase Date: \_\_\_\_\_  
Owner Phone #: 646-509-3253 Owner e-mail: Robr Kump @ gmail.com

#### Agent/Attorney Information

Agent/Attorney Name: \_\_\_\_\_  
Agent/Attorney Address: \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip: \_\_\_\_\_  
Agent/Attorney Phone #: \_\_\_\_\_ Agent/Attorney e-mail: \_\_\_\_\_

#### Signature of Owner/Agent/Attorney

Date: \_\_\_\_\_  
8-23-23



Sussex County, DE - BOA Application

**Criteria for a Variance:** (Please provide a written statement regarding each criteria).

You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.

In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.

1. Uniqueness of property:

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

#1 Given the sharp angular shape of the rear property line, any viable outdoor covered space accessible from the only rear exit of the home would automatically impede into the required rear setback.

2. Cannot otherwise be developed:

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

See answer #1

3. Not created by the applicant:

That such exceptional practical difficulty has not been created by the appellant.

The house was set by the developer with the rear exit within close proximity to the angled property line.

4. Will not alter the essential character of the neighborhood:

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

the rear porch has obtained all approvals of the HOA & the Peninsula ARC committee board.

See attached ARC/HOA Letter

5. Minimum variance:

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

The variance would allow the permitted / approved porch to be completed with minimal affect on any neighboring property.

Sussex County, DE - BOA Application

**Criteria for a Special Use Exception:** (Please provide a written statement regarding each criteria)

*You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Special Use Exception to be granted.*

1. Such exception will not substantially affect adversely the uses of adjacent and neighboring property.

*See attached letter from Peninsula ARC / HOA*

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2. Any other requirements which apply to a specific type of special use exception as required by the Sussex County Code. (Ex. Time limitations – 5 year maximum)

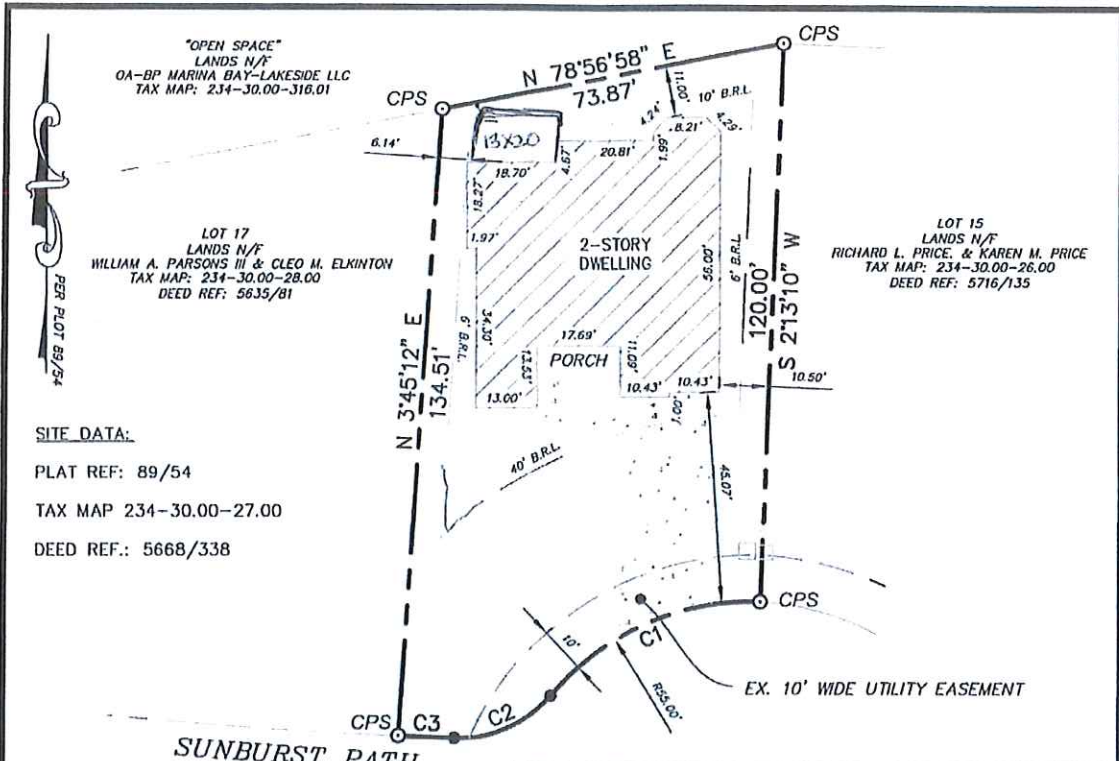
*N/A*

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**Basis for Appeal:** (Please provide a written statement regarding reason for appeal)

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**SITE DATA:**  
 PLAT REF: 89/54  
 TAX MAP 234-30.00-27.00  
 DEED REF.: 5668/338

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHD DIR
C1	55.00'	50.56'	48.80'	S65°52'55\"W
C2	25.00'	23.03'	22.22'	S65°56'00\"W
C3	1238.53'	11.84'	11.84'	N87°24'15\"W

**LEGEND**

- — — — — PROPERTY LINE
- — — — — BUILDING RESTRICTION LINE
- - - - - UTILITY EASEMENT
- CPS CAPPED PIN SET
- COMPUTED POINT
- CONCRETE HATCH

**CONTACT INFO.**  
 CONTACT: CINDY SCOTT  
 SCHELL BROTHERS, LLC  
 20184 PHILLIPS STREET,  
 REHOBOTH, DE 19971  
 PHONE: (320) 226-1994  
 FAX: (302) 226-4216

- NOTES:**
- THIS LOT 16 APPEARS TO BE LOCATED WITHIN ZONE X (UNSHADED) --DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FIRM MAP NUMBER 10005C0481K, MAP REVISED MARCH 16, 2015.
  - THIS IS AN URBAN CLASS BOUNDARY SURVEY.
  - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT WHICH MAY SHOW ADDITIONAL CONVEYANCES, EASEMENTS, COVENANTS, RIGHT-OF-WAY OR MORE STRINGENT BUILDING RESTRICTIONS.
  - FOR EASEMENTS OR ENCUMBRANCES ON THE PARCEL OF LAND SHOWN HEREON, SEE "FINAL SUBDIVISION PLAT - PHASE I - THE PENINSULA ON INDIAN RIVER BAY" FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF DEEDS IN SUSSEX COUNTY, DELAWARE IN PLOT VOLUME 89, PAGE 54.

I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THAT THE SURVEY SHOWN HEREON IS CORRECT. THAT IT IS A SURVEY OF LOT 16 OF 1 - THE PENINSULA ON INDIAN RIVER BAY", DATED NOVEMBER 15, 2004 AND FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF DEEDS IN SUSSEX COUNTY, DELAWARE IN PLOT VOLUME 89, PAGE 54.

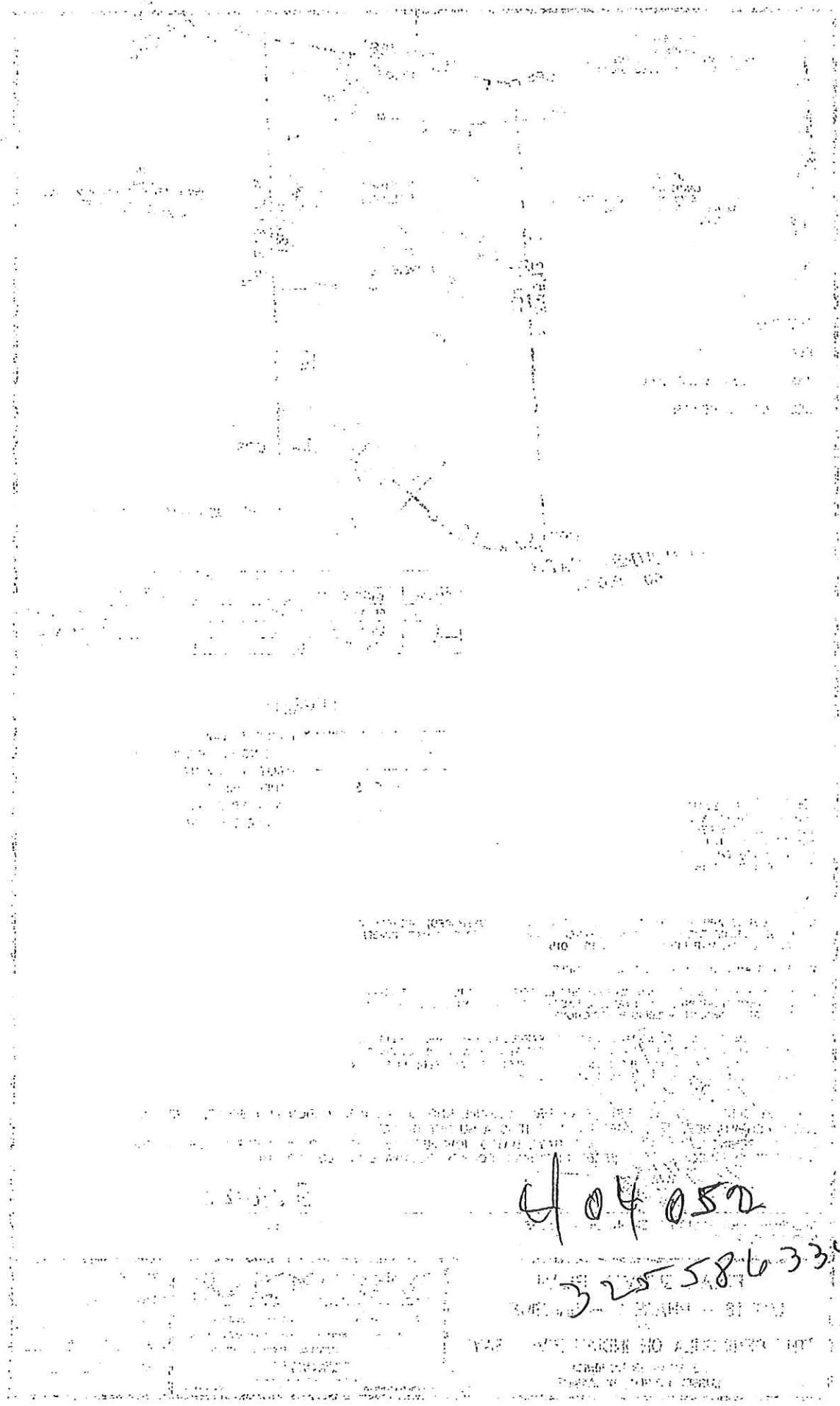
DELAWARE PROFESSIONAL ENGINEER # 13538  
 ROBERT S. KANE

8-2-2022  
 Date

**FINAL SURVEY PLAN**  
**LOT 16 - PHASE 1 - SAILSIDE**  
 AT  
**"THE PENINSULA ON INDIAN RIVER BAY"**  
 INDIAN RIVER HUNDRED  
 SUSSEX COUNTY, DELAWARE

**MICRONE**  
 Engineering • Environmental Sciences  
 Construction Service • Land Planning & Surveying  
 ANNAPOLIS • CENTREVILLE • ELKTON • SALISBURY  
 110 HAVEN HILL ROAD, SUITE #  
 SALISBURY, MD 21781  
 PHONE: 410-266-1100 FAX: 410-266-2033  
 www.microne-engineering.com Copyright © 2022

DRAWN BY EC  
 SCALE 1"=30'  
 DATE 8/01/2022  
 JOB NO. D2040076  
 SHEET No 1



404 052  
325 586 334

Peninsula community association  
Architectural Review Committee  
27525 Sterling Blvd  
Millsboro DE 19966

Robert and Laura Kump  
26961 Sunburst Path  
Millsboro De 19966  
Property address

Sussex county division of zoning and planning:

My name is Eric Blaker Co Chair of the Peninsula Community Association Architectural Review committee. We did a complete review of the application of the 4 season room to 26961 sunburst path and approved their application. We understand it was outside the LCE of the property but within the property lines in one area. The home was built so far back on the property that the Kump's would have been unable to build a deck or sunroom on the rear of the home. We felt they would have been at a disadvantage of other homeowners in the use of this property and approved their application meeting all the criteria required. The ARC is a committee made up of the declarant, builders and homeowners in each of the subdivisions within the Peninsula and have the sole obligation of looking out for all our homeowners. Our development does not require or ask for neighbor input since there is a method of review. We would request the approval of their Zoning variance on this property. I would be more than happy to answer any questions on our review process.

Thank you

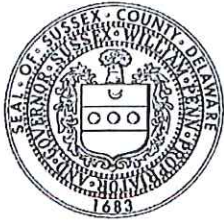
Eric Blaker

ARC co chair

Keepcool1226@gmail.com

443.909.6263





**Sussex County**  
**Building Permit**  
 P.O. Box 589  
 Georgetown, DE 19947  
 302-855-7720

<b>Application Number</b>
202307613
Issue Date: 06/21/2023
Expire Date: 06/20/2024

Permit Type: RES. ADDITION OUT OF TOWN

Parcel ID	Address	Zone Code
234-30.00-27.00	26961 SUNBURST PATH	MR

Owner Information	Applicant Information
Name: KUMP ROBERT R Phone:	Name: PREMIER GLASS &, SCREEN INC Phone:

Contractor Information	
Name: KUMP ROBERT R CID: 327481 Phone:	License Number: License Exp. Date: Insurance Exp. Date:

Building Information
Proposed Use: OPEN PORCH Construction Type: Estimated Cost of Construction: \$ 1,456 Cannot Occupy More than _____ of Total Lot Area Distance from any Dwelling of other Ownership: _____ Distance from any other Mobile Home or Accessory Structure: _____

Property Information
<b>Measurements taken from Property Lines</b> Front Setback: 40.00 / _____ Rear Setback: 10.00 / _____ Side Setback: 6.00 / _____ Corner Setback: _____ / _____ Maximum Building Height: 42' Location Description: _____ <b>FLOOD ZONE</b> THE PENINSULA LOT 16 PHASE 1 Flood Zone: X481K _____ If Initialed, See Attached Flood Plan Construction Review Coastal and Flood-Prone Area Building Requirements.

**Project Description:** RES ADD W/ BC

**Scope of Work:**  
8X13 PORCH

**Permit Details:**

*[Handwritten Signature]*  
 \_\_\_\_\_  
 Signature of Approving Official

*[Handwritten Signature]*  
 \_\_\_\_\_  
 Signature of Owner/Contractor

I fully understand the Zoning Requirements of this permit.

**Building Permit Acknowledgement:**

I/we the undersigned, acknowledge I/we have read and accept the terms of this Building Permit and shall comply with the rules and restrictions related to this building activity. This permit shall expire one (1) year from the date of issue. This permit may be renewed prior to its expiration date if construction has begun and continued in a normal manner and not discontinued for reasons other than those beyond the permit-holder's control. Grading or surface-shaping of the site shall not be considered as actual construction. I/we further acknowledge, ASSESSORS AND INSPECTORS HAVE A RIGHT TO ENTER AND ACCESS THE PREMISES TO ASSESS AND INSPECT PROPERTY. The owner or owners of these premises do hereby consent to Sussex County Officials' right to enter upon said premises during the construction of which this permit is granted, or within a reasonable time thereafter, for the purposes of assessing and inspecting said property. THE APPROVAL OF THIS PERMIT APPLICATION PERTAINS ONLY TO COMPLIANCE WITH SUSSEX COUNTY ZONING ORDINANCES. IT IS NOT TO BE CONSTRUED AS AN APPROVAL FOR THE REQUIREMENTS OF ANY OTHER GOVERNMENTAL AGENCY, WHICH MAY PERTAIN TO THIS SITE. AND FURTHER, IT IS ACKNOWLEDGED AND UNDERSTOOD THAT THIS PERMIT MAY BE REVOKED BY SUSSEX COUNTY FOR ANY VIOLATION OF THE TERMS OF THIS PERMIT OR OF ANY COUNTY, STATE OR FEDERAL LAW APPLICABLE TO THIS PERMIT.

<b>Permit Number</b>	BP-209079	<b>TOTAL FEES:</b>	\$ 14.14
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### Building Description

Total Bedrooms:

Heat Type:

Full Baths:

Half Baths:

Roofing:

Total Rooms:

Exterior Walls:

Basement:

Foundation Type:

Interior Walls:

Fireplace Type:

Flooring:

Air Conditioning: N

### Additional Requirement/Restrictions

\_\_\_\_\_ Accessory Building 900 Square Feet or Greater

No more than four (4) vehicles permitted in structure without a Planning & Zoning Hearing.

\_\_\_\_\_ Agricultural Storage Structures

Storage only. NO LIVESTOCK PERMITTED.

\_\_\_\_\_ Campgrounds

Must conform to the location approved by the park.

\_\_\_\_\_ Farm-Use Permits

Prior to issuance of the Certificate of Occupancy, it must be confirmed that the building will be used for farm use only. Otherwise, the permit will be voided and plans must be submitted to the Building Code Department.

\_\_\_\_\_ Fences

Fence may only be 3.5' tall along the front property line and from the road back to the mandated front yard setback. Thereafter, fence may be a maximum of 7' tall. On corner lots, the fence may only be 3' tall along the corner fronts and 25' from the intersection of property lines. Fence may be installed on property line.

\_\_\_\_\_ Parcel Setbacks

All building structures and improvements shall comply with the parcel setback measurement requirements as mandated in the Sussex County Zoning Ordinance. Failure to comply with the parcel setback measurement requirements is a violation.

\_\_\_\_\_ Pools (Above-Ground)

Must have ladder up and locked at all times when not in use. Pool must be 4' high above grade. If not, a fence is required around perimeter of pool

\_\_\_\_\_ Pools (In-Ground)

A minimum 4' tall fence must be around the perimeter of the pool. A minimum 3' walkway must be between the pool and fence. Gate must be locked at all times when the pool is not in use.

\_\_\_\_\_ Pools or Guest Homes

No Cooking facilities of any kind are permitted in the structure. No separate electrical meters are permitted.

\_\_\_\_\_ Tax Ditch

Property records indicate a State regulated tax ditch appears on this property. All building activity shall comply with the rules and requirements related to State regulated tax ditches and the respective tax ditch easements.

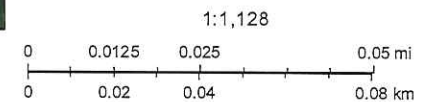


# Sussex County



<b>PIN:</b>	234-30.00-27.00
<b>Owner Name</b>	KUMP ROBERT R
<b>Book</b>	5765
<b>Mailing Address</b>	26961 SUNBURST PATH
<b>City</b>	MILLSBORO
<b>State</b>	DE
<b>Description</b>	THE PENINSULA
<b>Description 2</b>	LOT 16
<b>Description 3</b>	PHASE 1
<b>Land Code</b>	

- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- World Imagery
- Low Resolution 15m Imagery
- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations
- 30cm Resolution Metadata



August 28, 2023



CONNECTEXPLORER

The screenshot displays the CONNECTEXPLORER web application interface. The main view is an aerial orthographic map of a residential neighborhood with several houses and a central circular driveway. A blue polygon highlights a specific parcel. The interface includes a search bar at the top right, a search results panel showing one result for parcel ID 234-30.00-27.00, and various navigation and map controls. The bottom status bar shows the map type as 'Auto (Ortho)', the date as '03/06/2023', and a scale bar indicating 150 feet or 10 meters.

Search

Search by SUSSEXPARCELS -

234-30.00-27.00

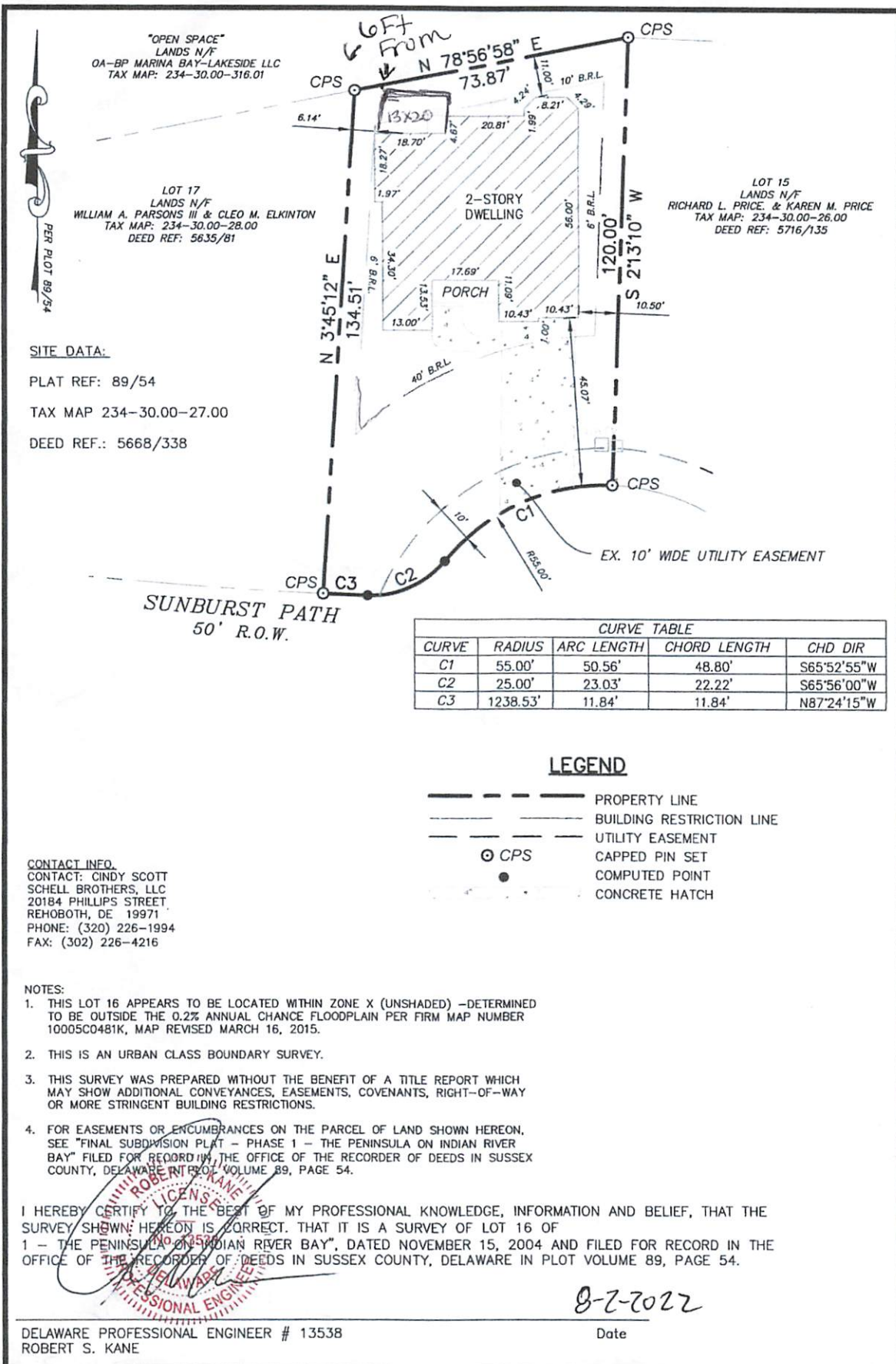
Search results (1) Options -

234-30.00-27.00

© 2023 Eagleview

map: Auto (Ortho) - Dates: Latest - < image 1 of 3 > 03/06/2023

150 ft  
10 m

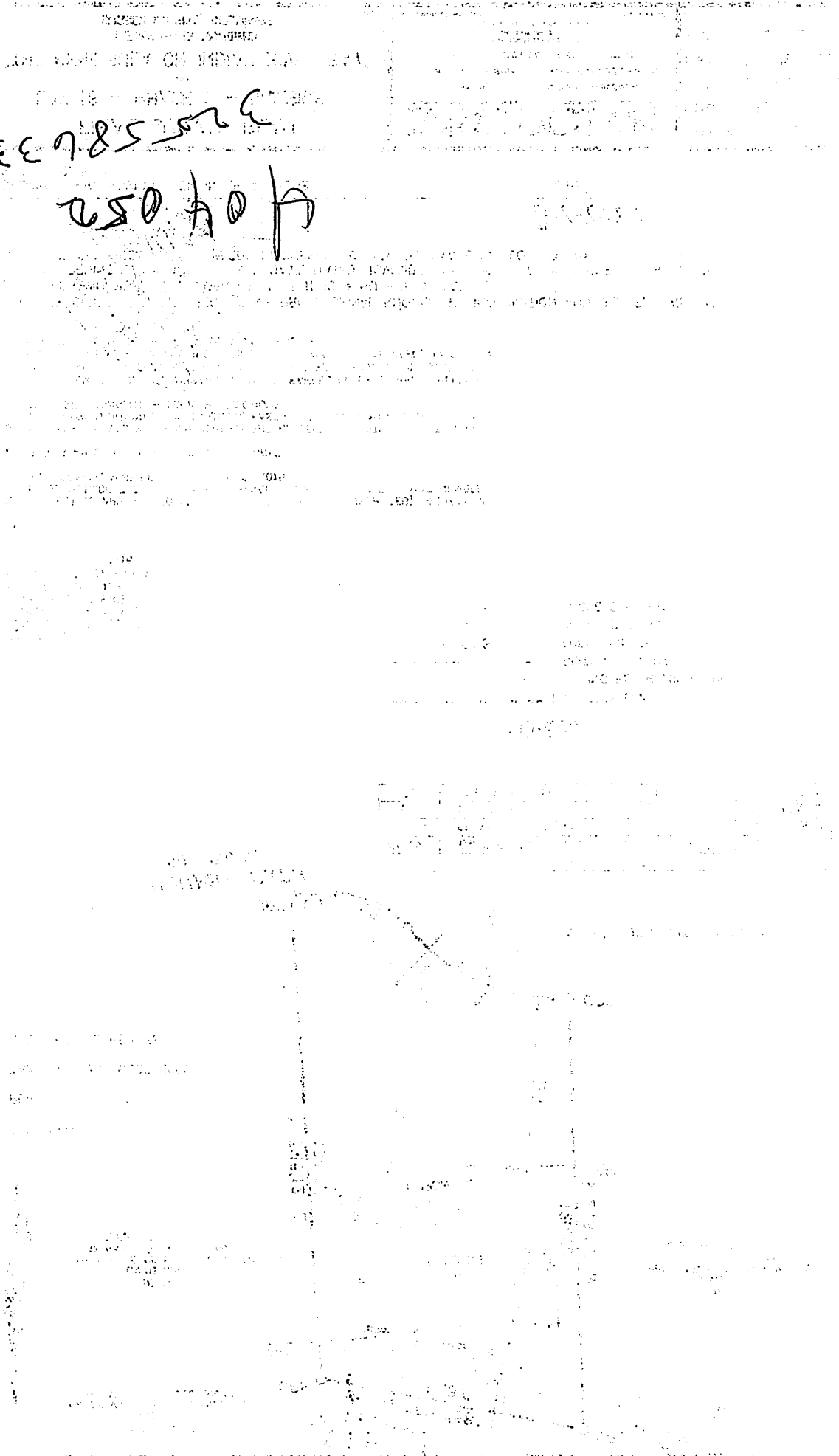


**FINAL SURVEY PLAN**  
**LOT 16 - PHASE 1 - SAILSIDE**  
**AT**  
**"THE PENINSULA ON INDIAN RIVER BAY"**  
INDIAN RIVER HUNDRED  
SUSSEX COUNTY, DELAWARE

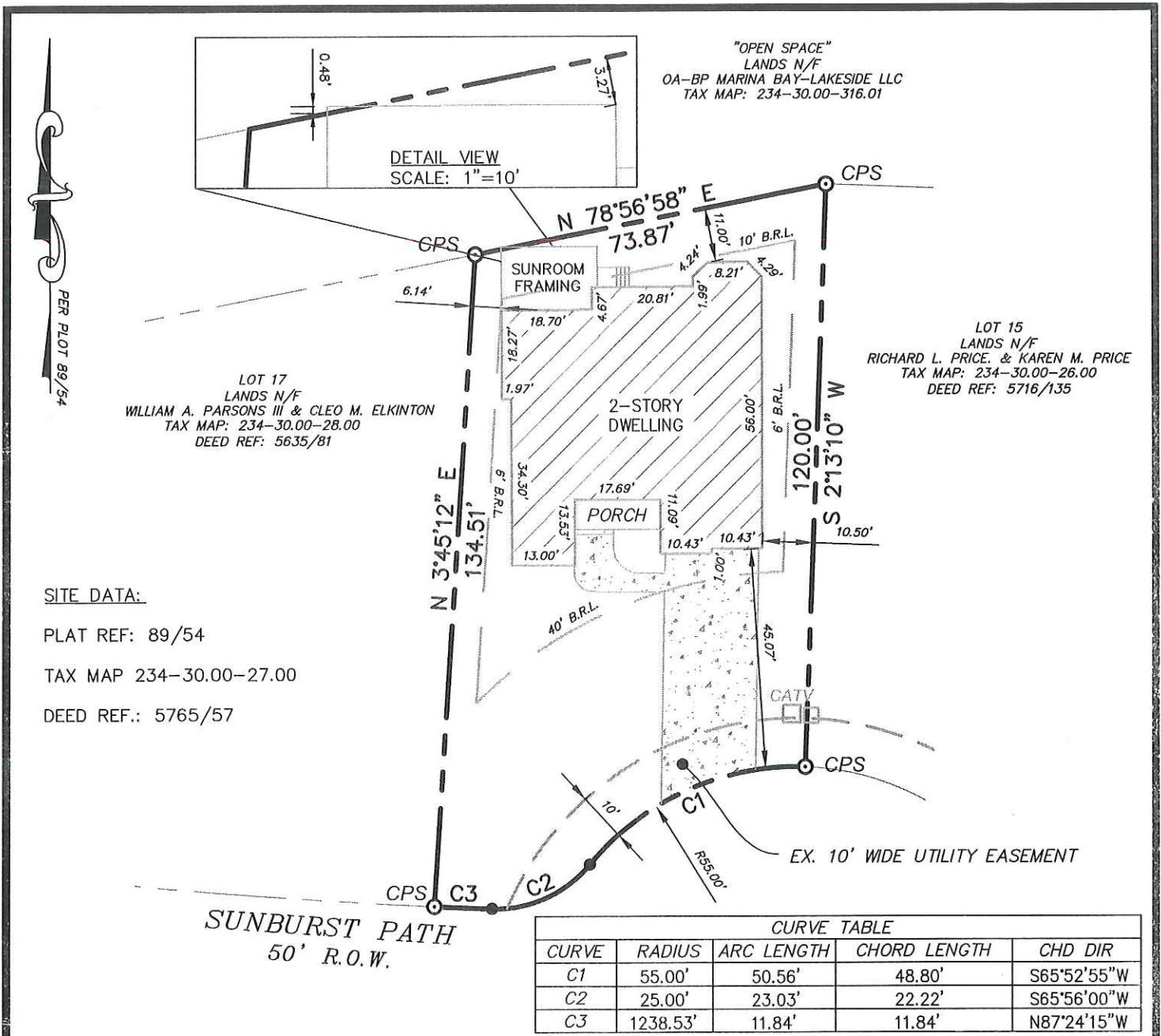
**MCCRONE**  
Engineering Environmental Sciences  
Construction Services Land Planning & Surveying  
ANNAPOLIS • CENTREVILLE • ELKTON • SALISBURY  
119 HAYLOR HILL ROAD, SUITE 6  
SALISBURY, MD 21801  
PHONE: 410-646-1482 • FAX: 410-646-2805  
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DRAWN BY EC  
SCALE 1"=30'  
DATE 8/01/2022  
JOB NO. D2040076  
SHEET No 1

Handwritten notes: 100785252, 250 A0A







**SITE DATA:**

PLAT REF: 89/54  
TAX MAP 234-30.00-27.00  
DEED REF.: 5765/57

**NOTES:**

- THIS LOT 16 APPEARS TO BE LOCATED WITHIN ZONE X (UNSHADED) -DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FIRM MAP NUMBER 10005C0481K, MAP REVISED MARCH 16, 2015.
- THIS IS AN SUBURBAN CLASS BOUNDARY SURVEY.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT WHICH MAY SHOW ADDITIONAL CONVEYANCES, EASEMENTS, COVENANTS, RIGHT-OF-WAY OR MORE STRINGENT BUILDING RESTRICTIONS.
- FOR EASEMENTS OR ENCUMBRANCES ON THE PARCEL OF LAND SHOWN HEREON, SEE "FINAL SUBDIVISION PLAT - PHASE 1 - THE PENINSULA ON INDIAN RIVER BAY" FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF DEEDS IN SUSSEX COUNTY, DELAWARE IN PLOT VOLUME 89, PAGE 54.
- DWELLING MEASUREMENTS SHOWN ARE TO THE FOUNDATION WALL.
- SUNROOM MEASUREMENTS ARE SHOWN TO THE SUNROOM FRAMING.

**LEGEND**

- — — — — PROPERTY LINE
- — — — — BUILDING RESTRICTION LINE
- - - - - UTILITY EASEMENT
- ⊙ CPS CAPPED PIN SET
- COMPUTED POINT
- ▨ CONCRETE HATCH

**LOCATION SURVEY**  
**LOT 16 - PHASE 1 - SAILSIDE**  
**AT**  
**"THE PENINSULA ON INDIAN RIVER BAY"**  
**INDIAN RIVER HUNDRED**  
**SUSSEX COUNTY, DELAWARE**

**McCRONE**

● Engineering ● Environmental Sciences  
● Construction Services ● Land Planning & Surveying

ANNAPOLIS ● CENTREVILLE ● ELKTON ● SALISBURY

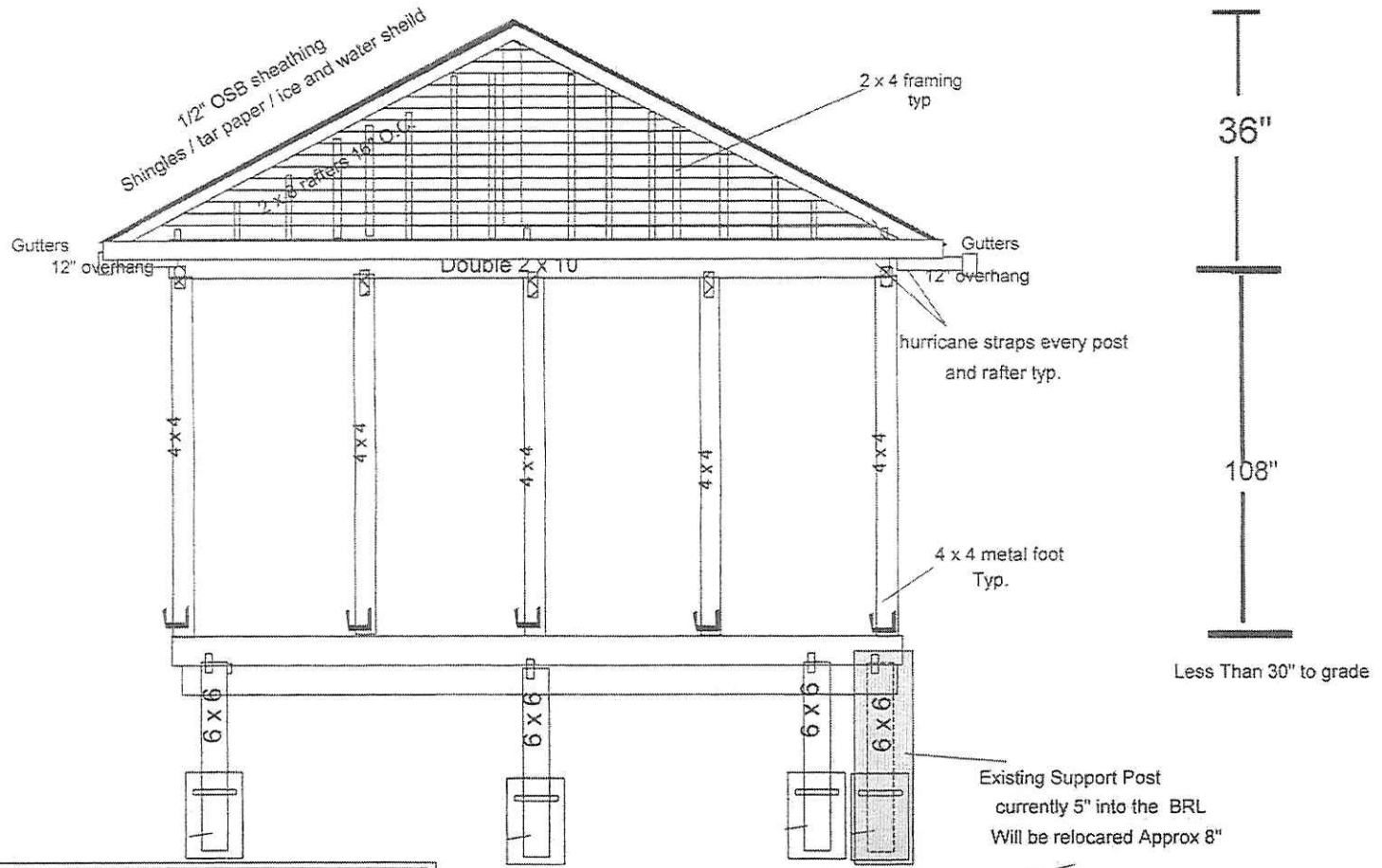
119 NAYLOR MILL ROAD, SUITE 3  
SALISBURY, MD 21801  
PHONE 410 548 1492 \* FAX 410-548-2055

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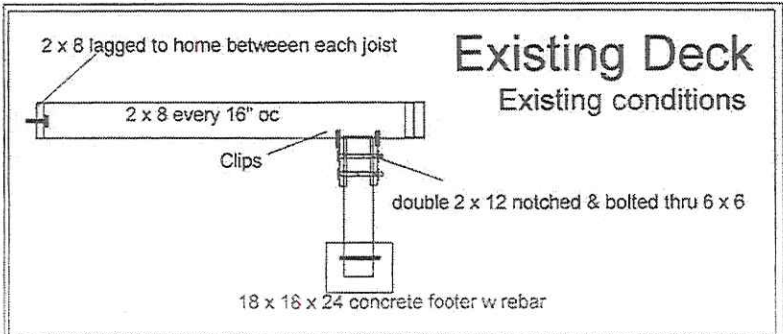
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DATE 10/9/2023  
JOB NO. D2230111  
SHEET No. 1

Kump  
26961 Sunburst Path  
Millsboro DE 19966

# Rear Elevation



Less Than 30" to grade



Premier Glass & Screen Inc  
33937 Premier Dr  
Frankford DE 19945



RECEIVED

NOV 13 2023

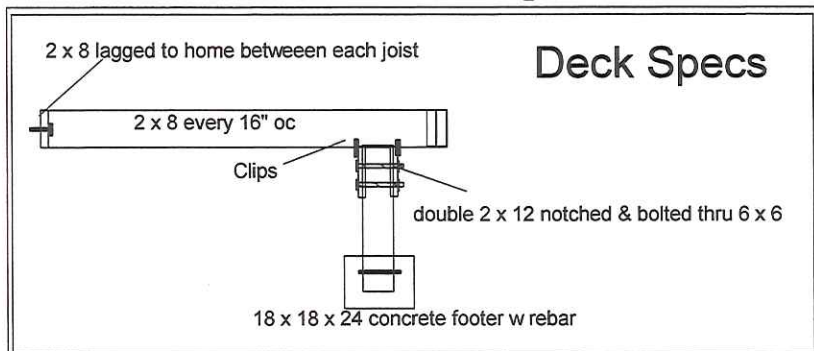
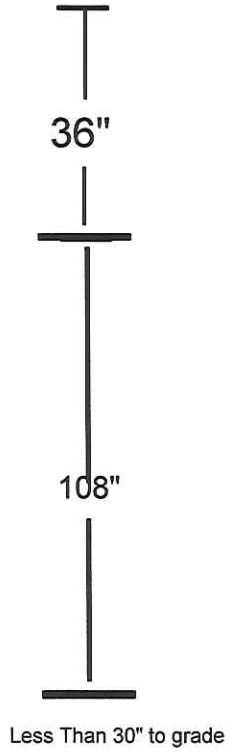
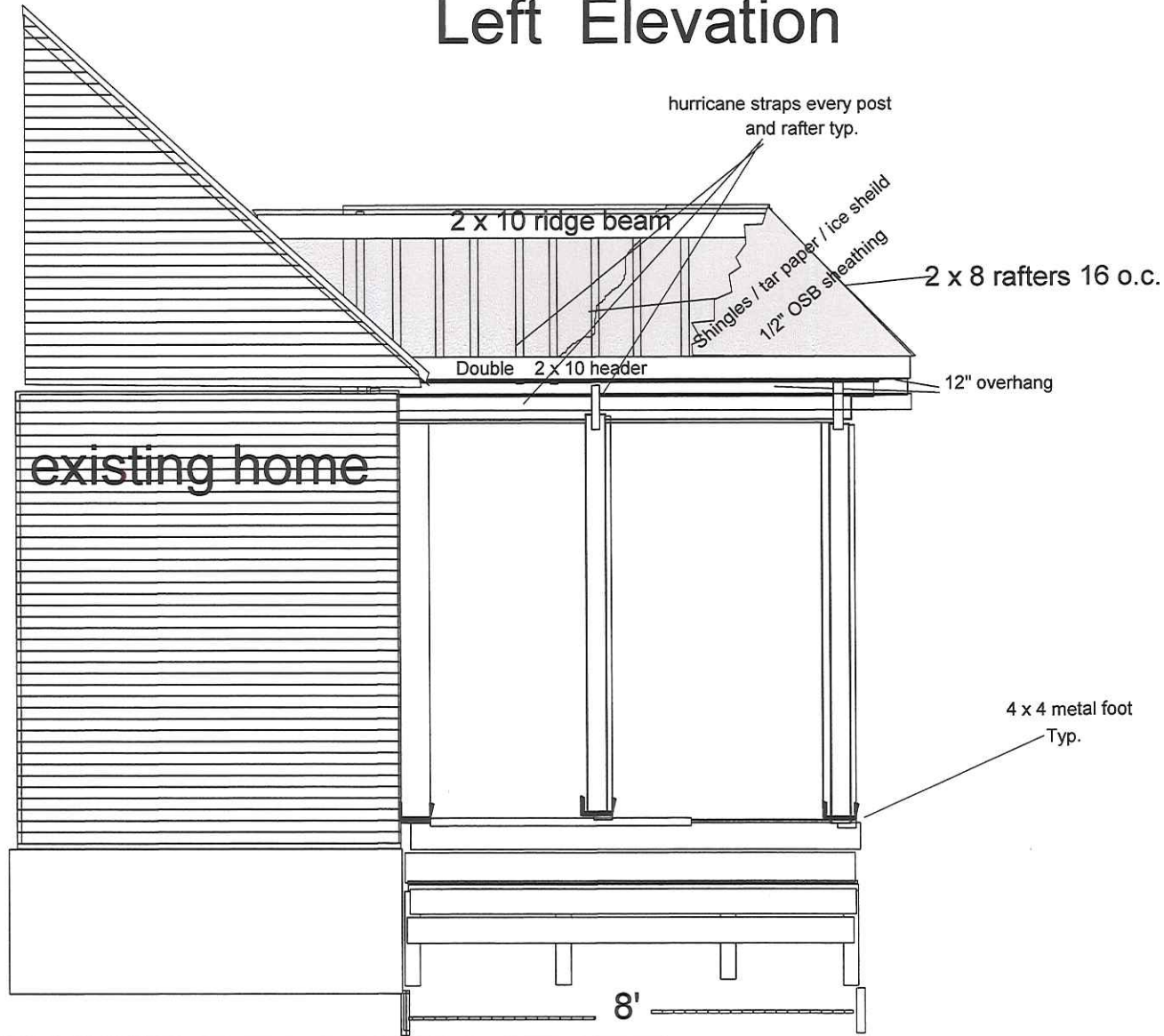
SUSSEX COUNTY  
PLANNING & ZONING





# Left Elevation

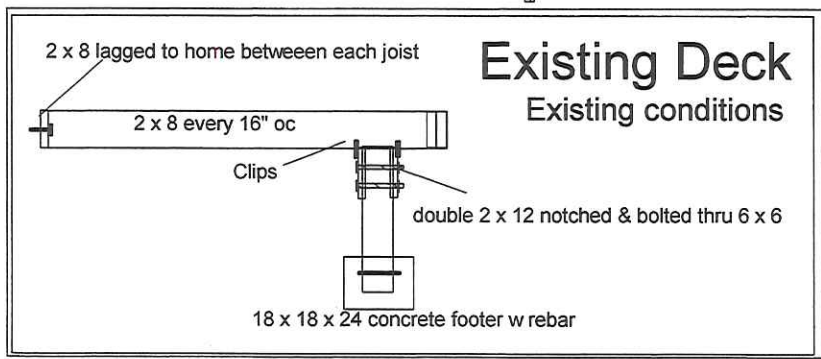
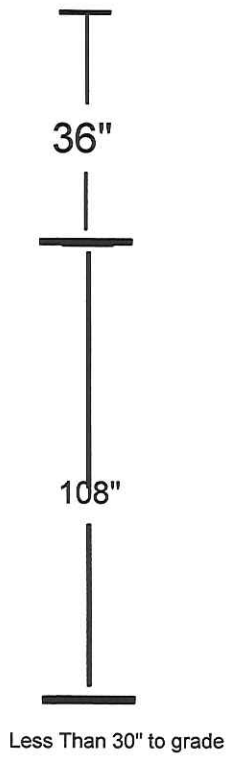
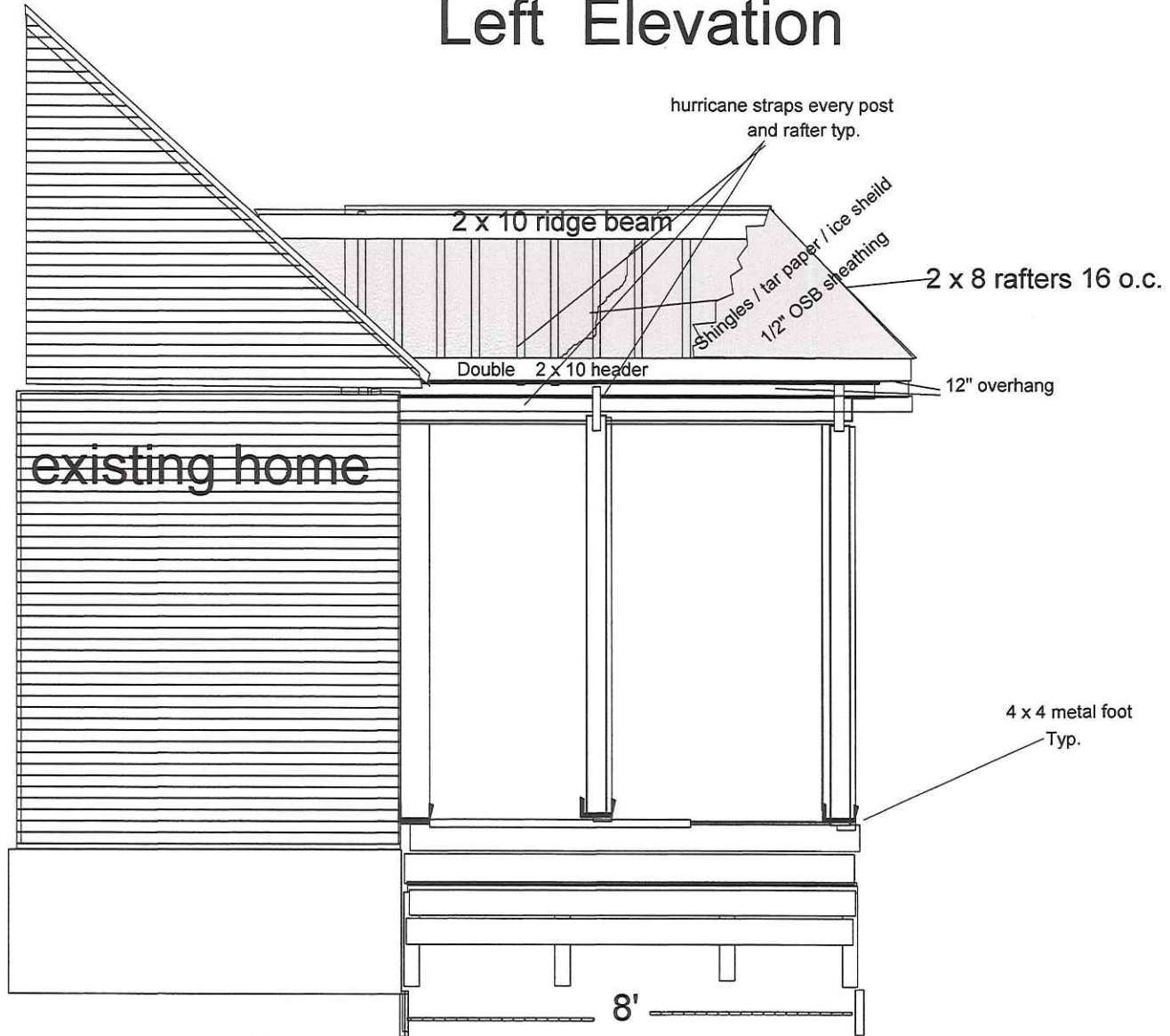
Kump  
26961 Sunburst Path  
Millsboro DE 19966



Premier Glass & Screen Inc  
33937 Premier Dr  
Frankford DE 19945

# Left Elevation

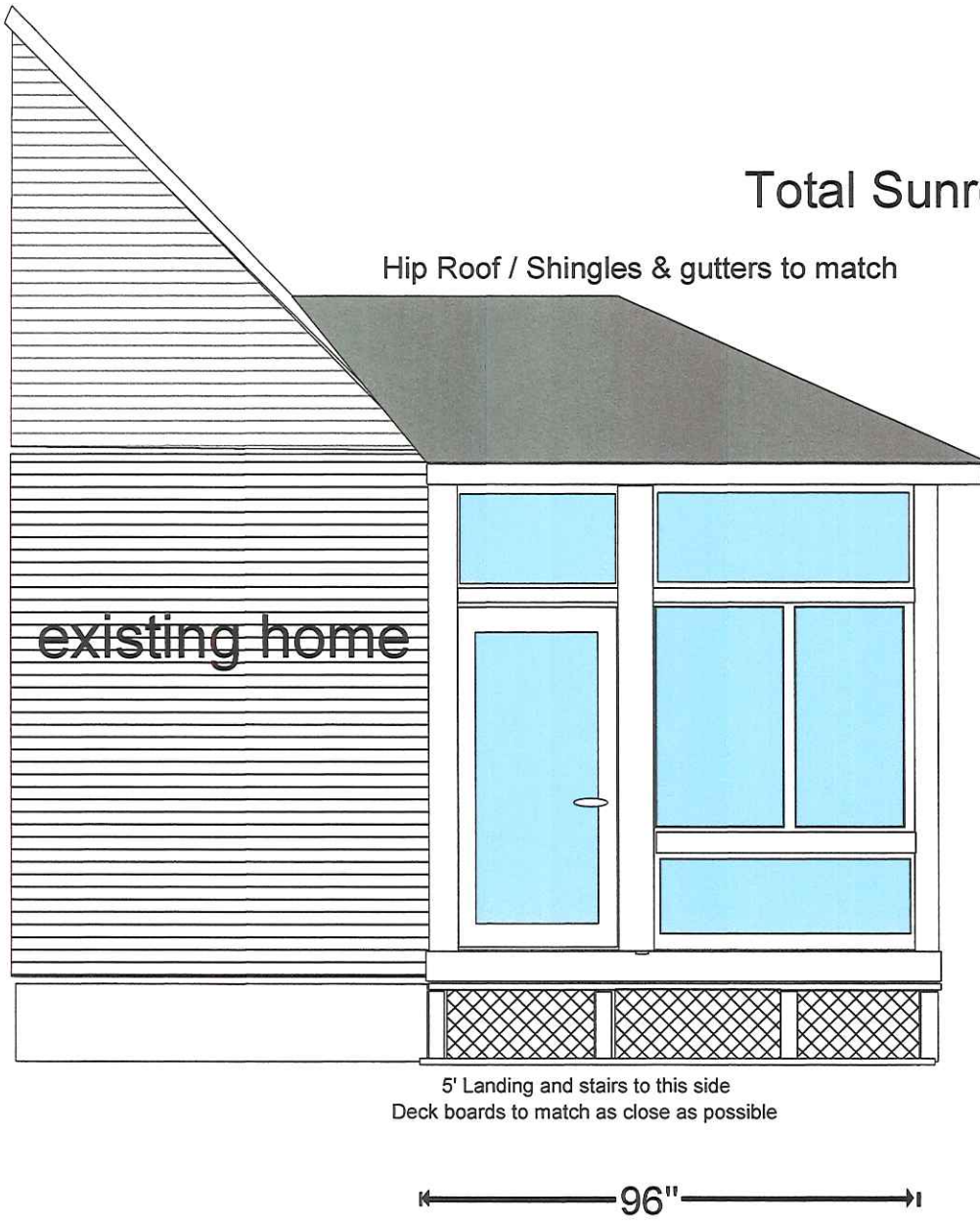
Kump  
26961 Sunburst Path  
Millsboro DE 19966



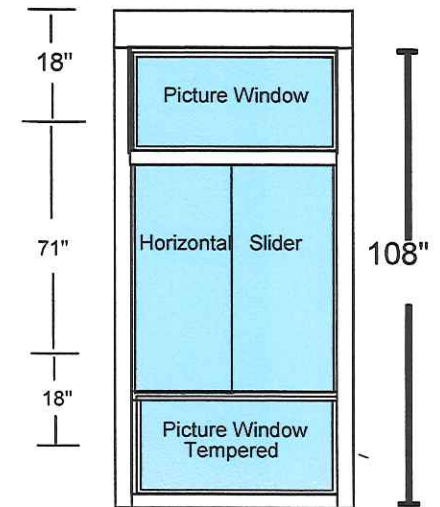
Premier Glass & Screen Inc  
33937 Premier Dr  
Frankford DE 19945

Kump  
26961 Sunburst Path  
Millsboro DE 19966

# Total Sunroom



(less than 30" to grade)

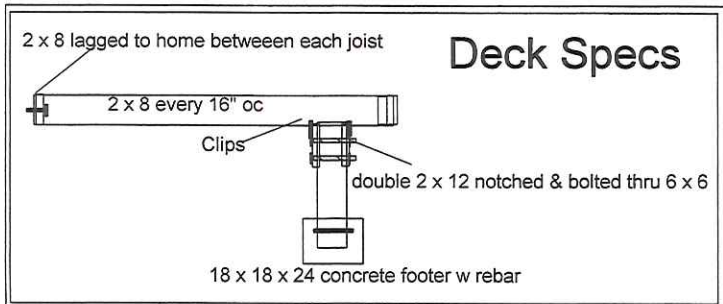
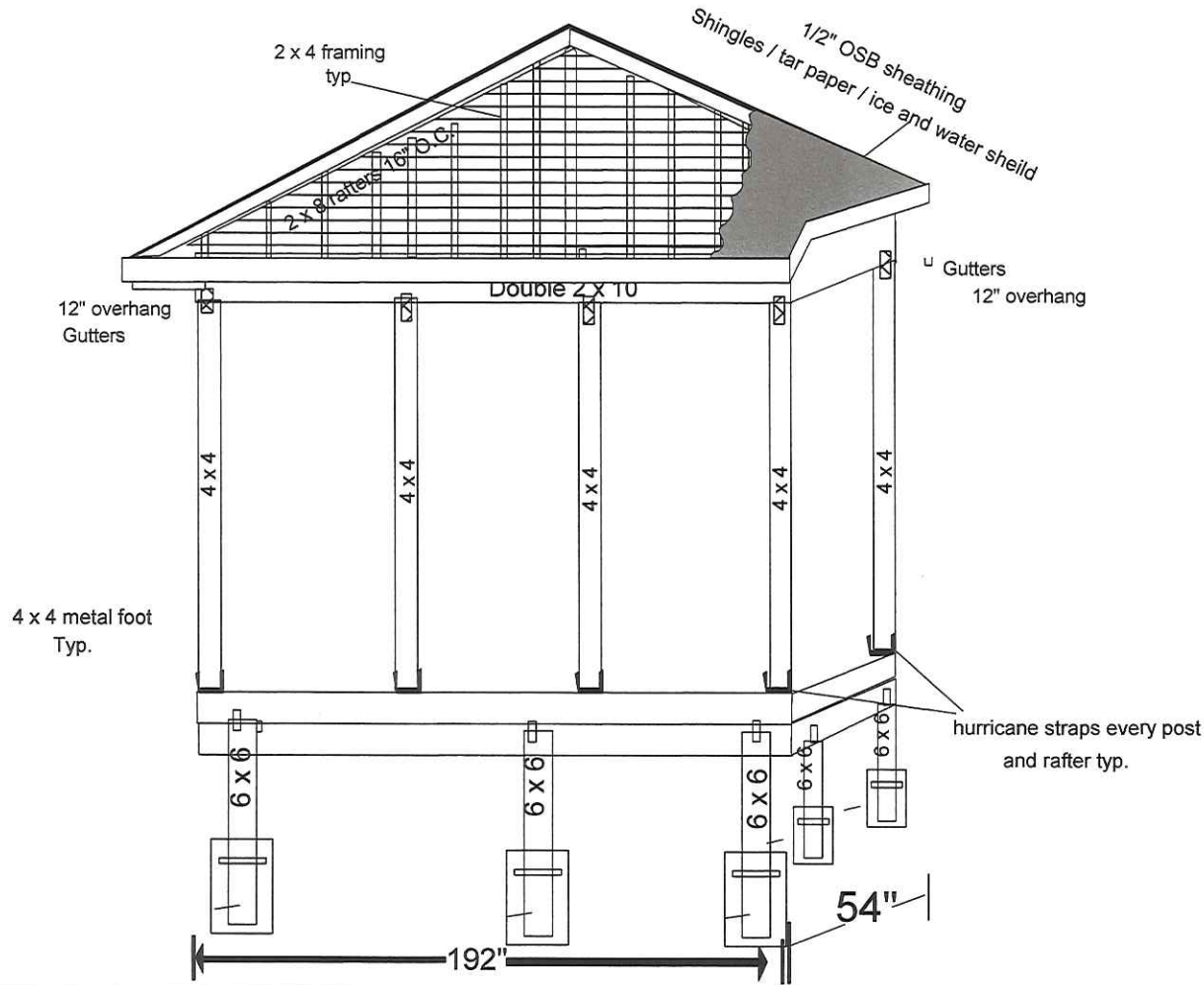


(Window Opening Typical)

Premier Glass & Screen Inc  
33937 Premier Dr  
Frankford DE 19945

Kump  
 26961 Sunburst Path  
 Millsboro DE 19966

# Rear Elevation



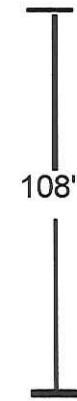
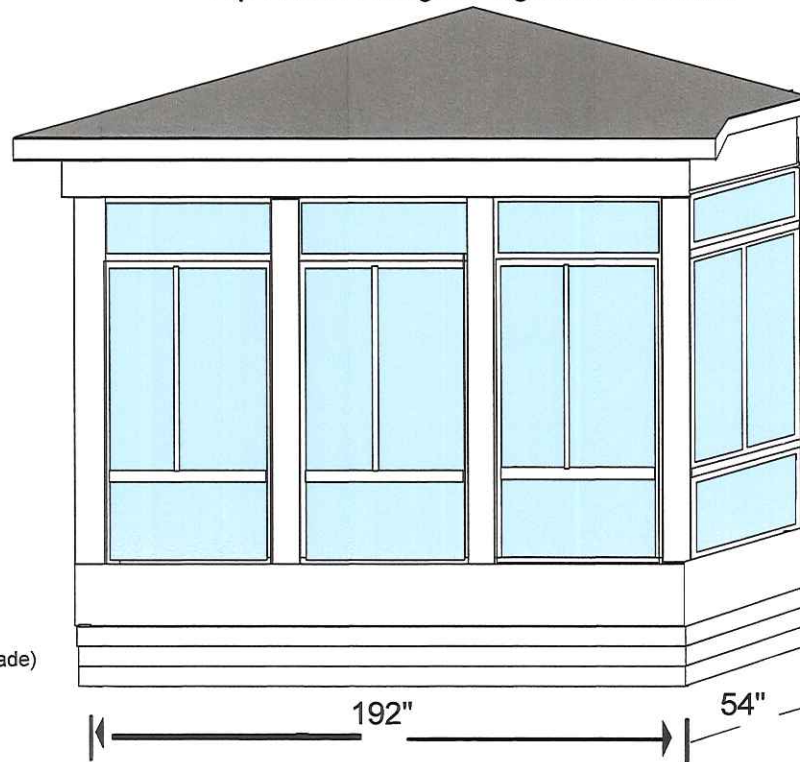
Premier Glass & Screen Inc  
 33937 Premier Dr  
 Frankford DE 19945



Kump  
26961 Sunburst Path  
Millsboro DE 19966

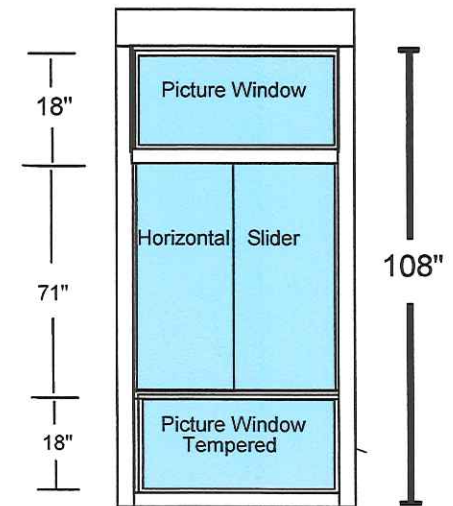
### Total Sunroom

Hip Roof / Shingles & gutters to match



(less than 30" to grade)

### Rear Elevation

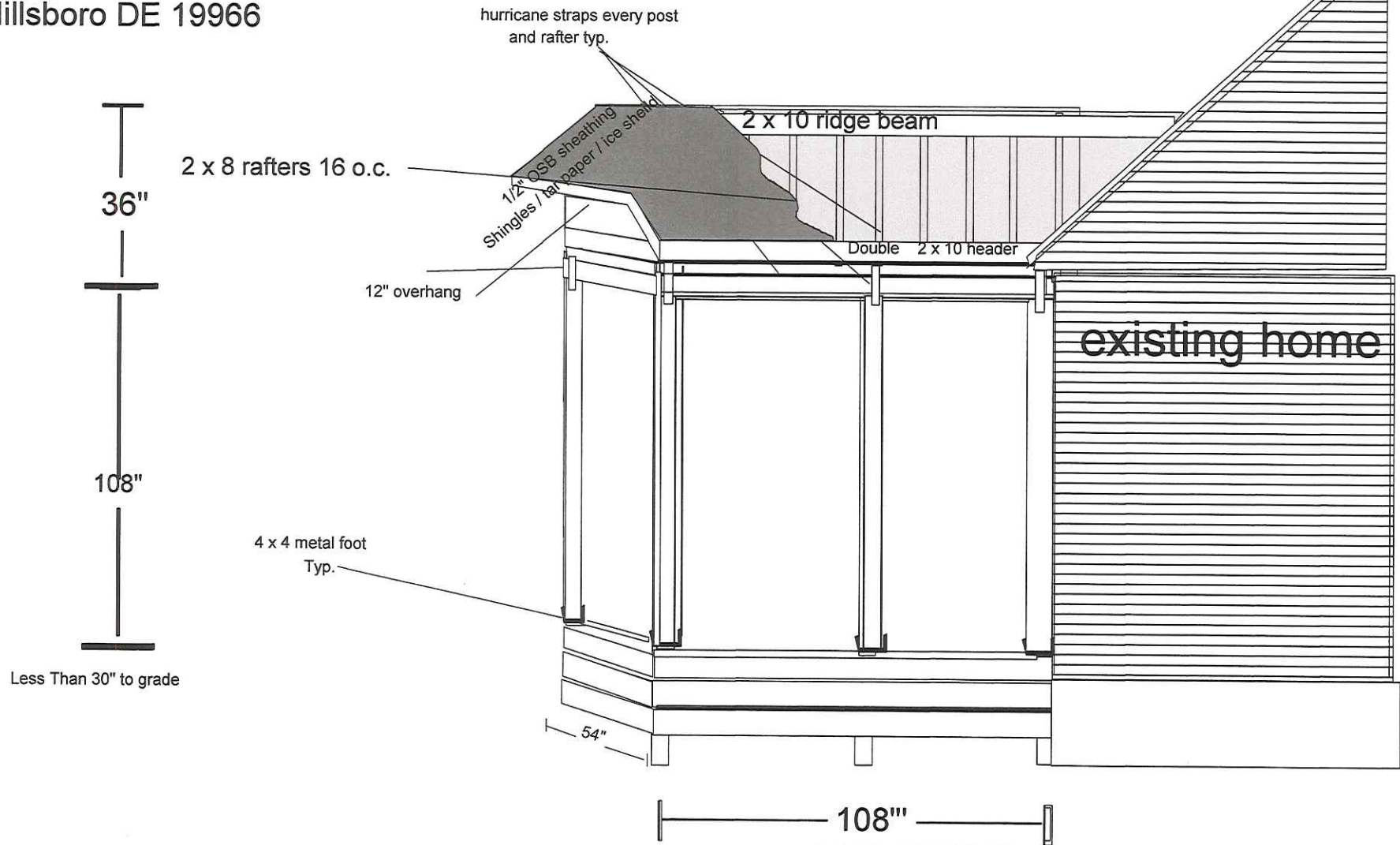


(Window Opening Typical)

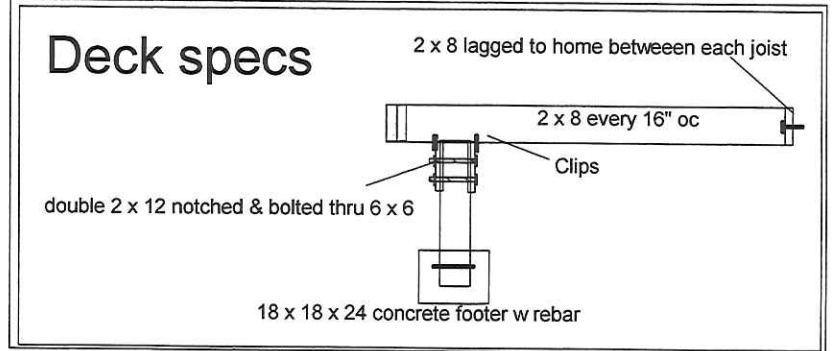
Premier Glass & Screen Inc  
33937 Premier Dr  
Frankford DE 19945

Kump  
26961 Sunburst Path  
Millsboro DE 19966

# Right Elevation



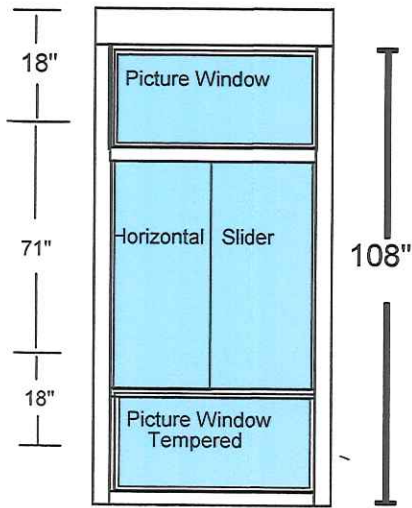
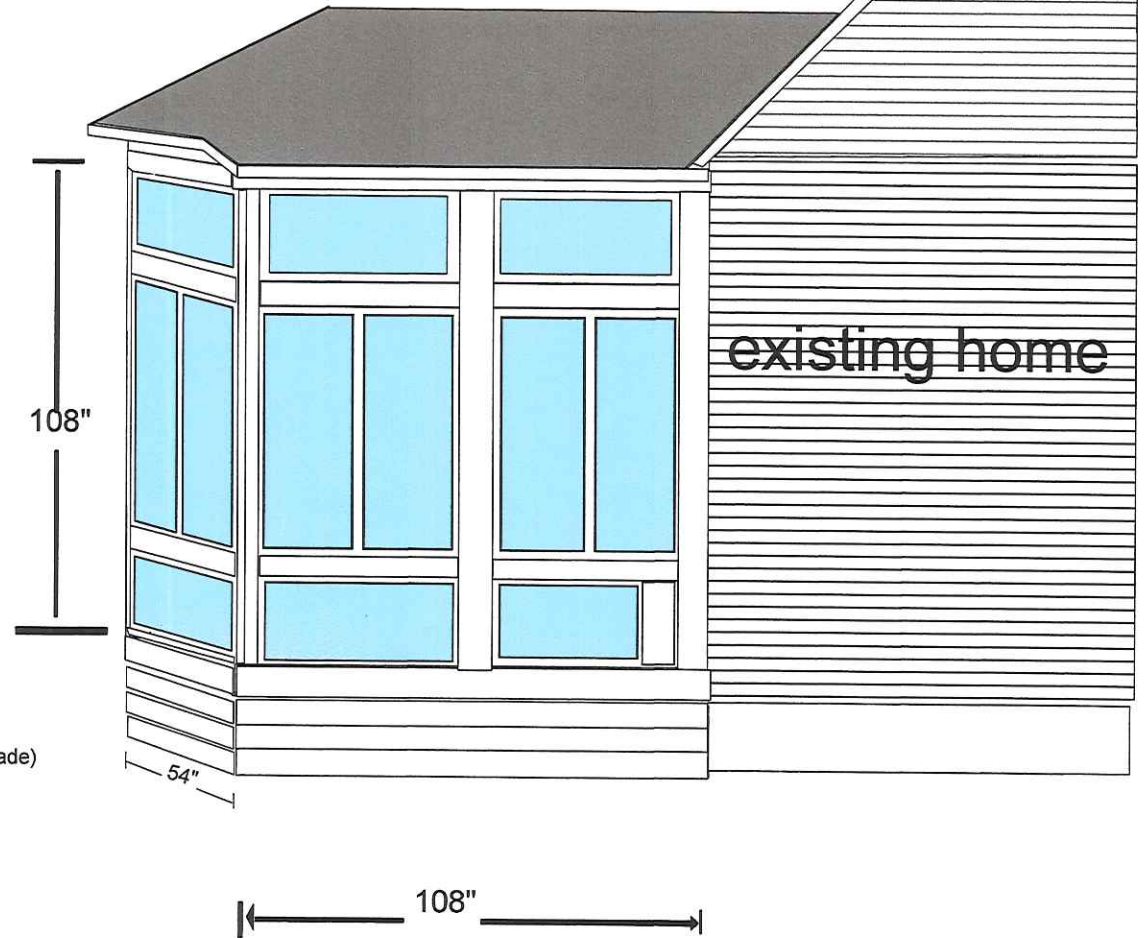
Premier Glass & Screen Inc  
33937 Premier Dr  
Frankford DE 19945



Kump  
26961 Sunburst Path  
Millsboro DE 19966

# Total Sunroom

Hip Roof / Shingles & gutters to match



(Window Opening Typical)

# Right Elevation

Premier Glass & Screen Inc  
33937 Premier Dr  
Frankford DE 19945

RECEIVED

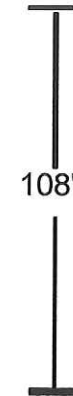
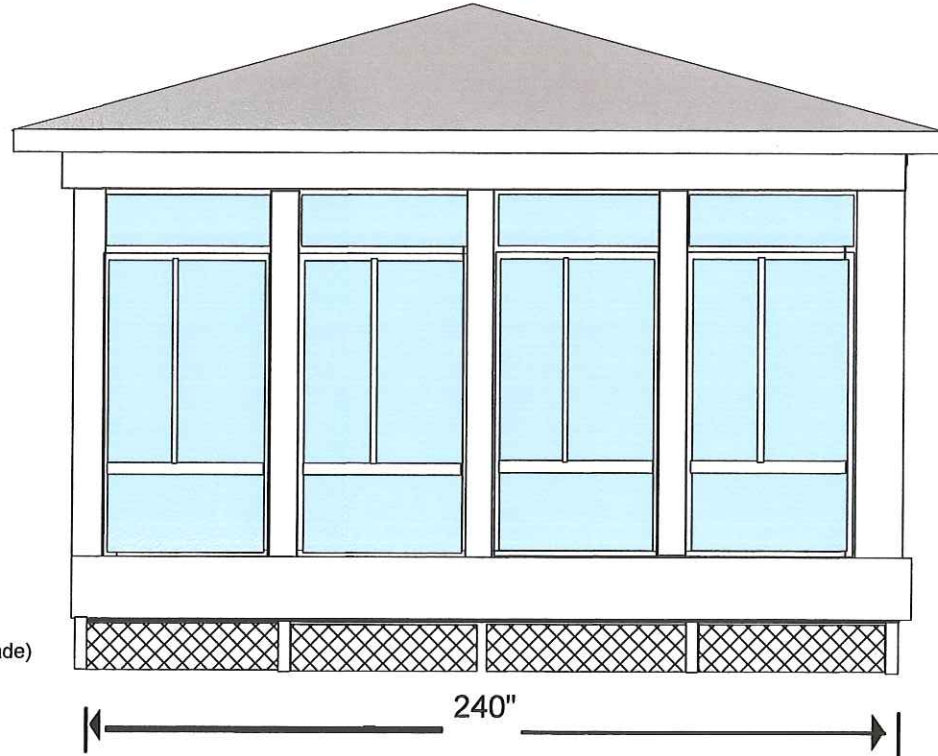
NOV 27 2023

SUSSEX COUNTY  
PLANNING & ZONING

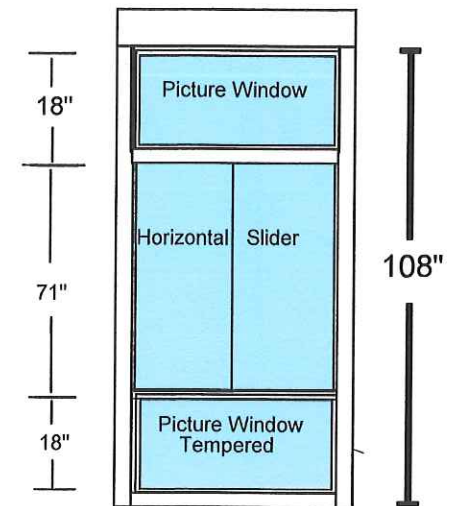
Kump  
26961 Sunburst Path  
Millsboro DE 19966

### Total Sunroom

Hip Roof / Shingles & gutters to match



### Rear Elevation



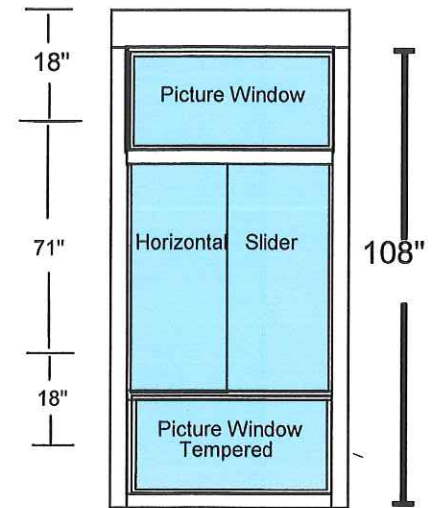
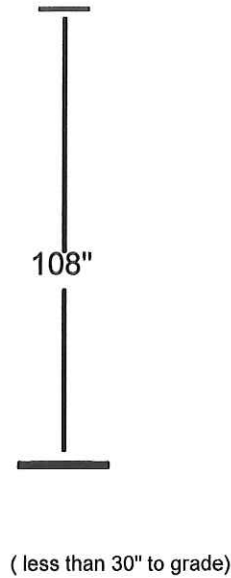
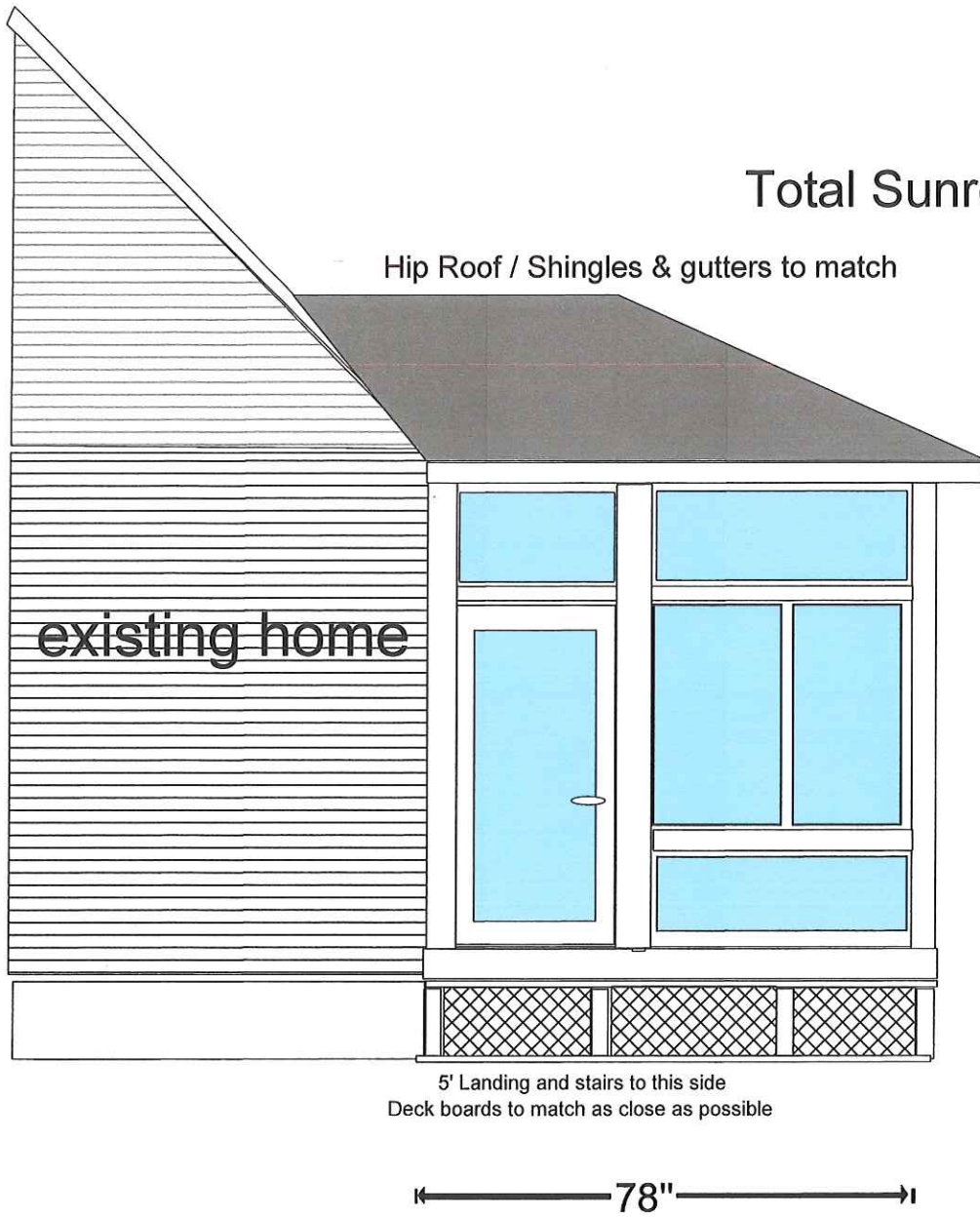
(Window Opening Typical)

Premier Glass & Screen Inc  
33937 Premier Dr  
Frankford DE 19945



Kump  
26961 Sunburst Path  
Millsboro DE 19966

# Total Sunroom



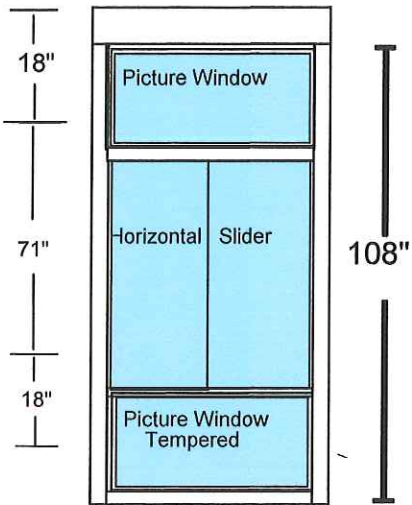
(Window Opening Typical)

Premier Glass & Screen Inc  
33937 Premier Dr  
Frankford DE 19945

Kump  
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Millsboro DE 19966

### Total Sunroom

Hip Roof / Shingles & gutters to match



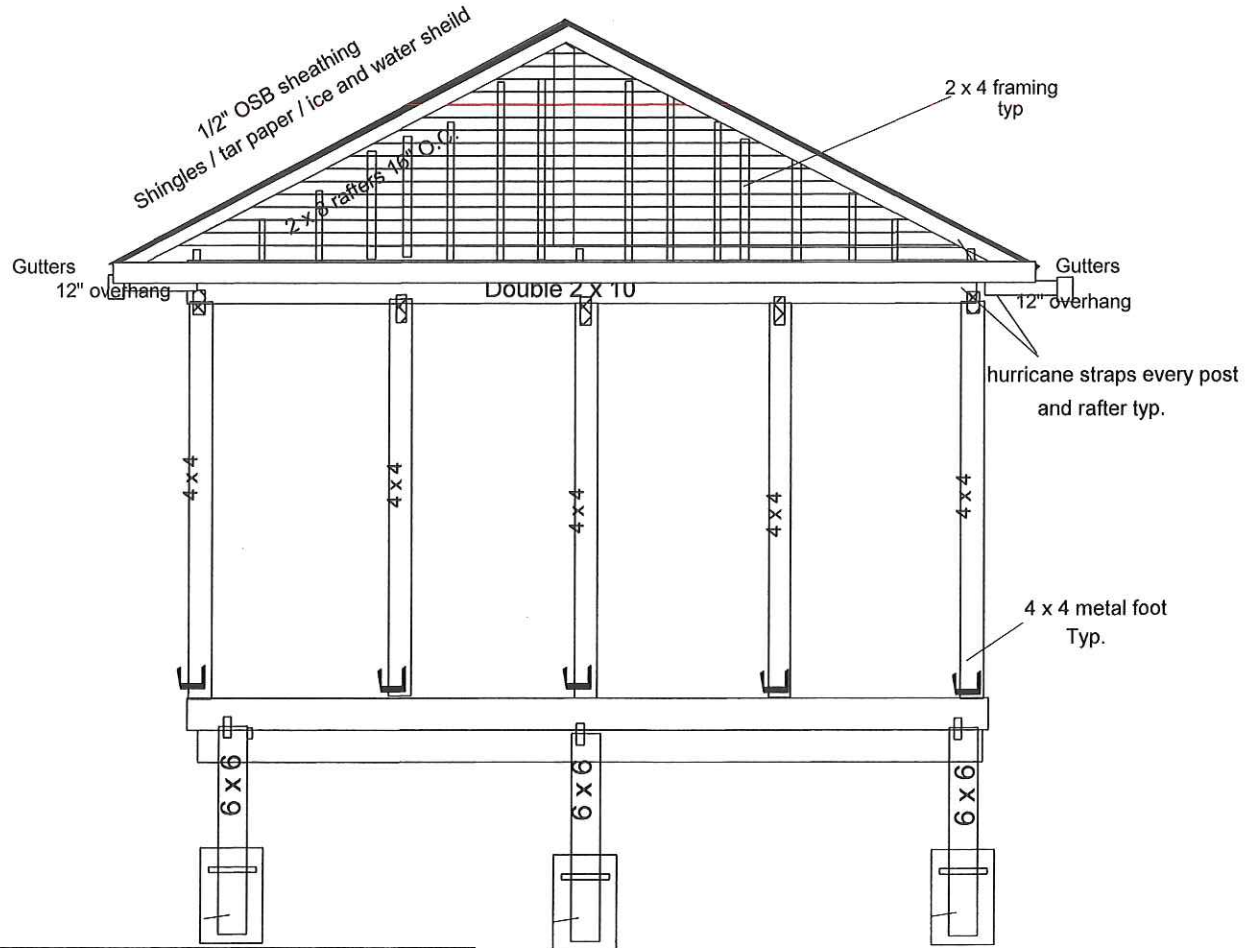
(Window Opening Typical)

### Right Elevation

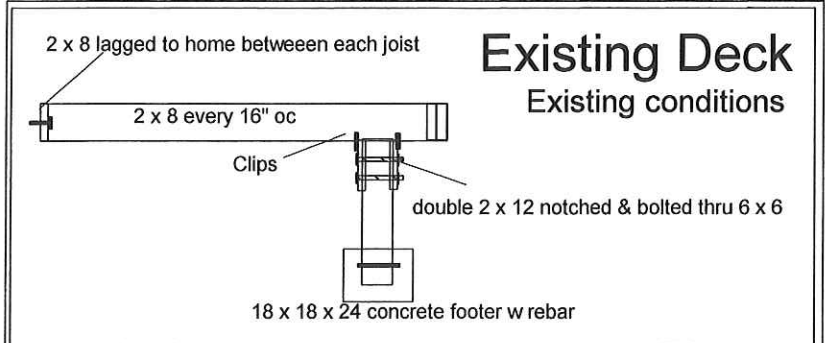
Premier Glass & Screen Inc  
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# Rear Elevation



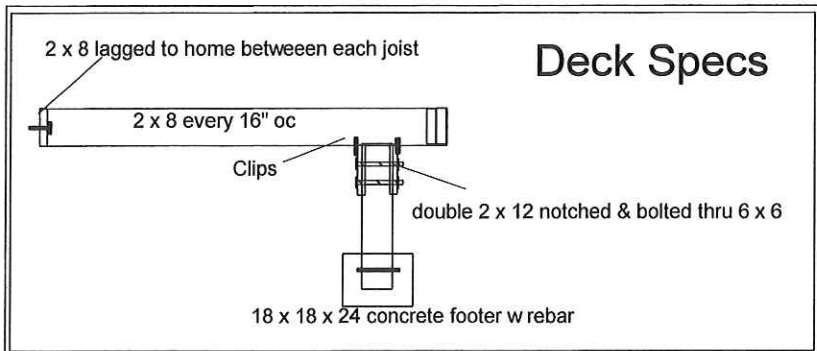
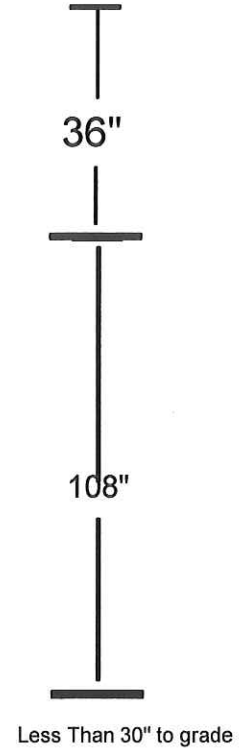
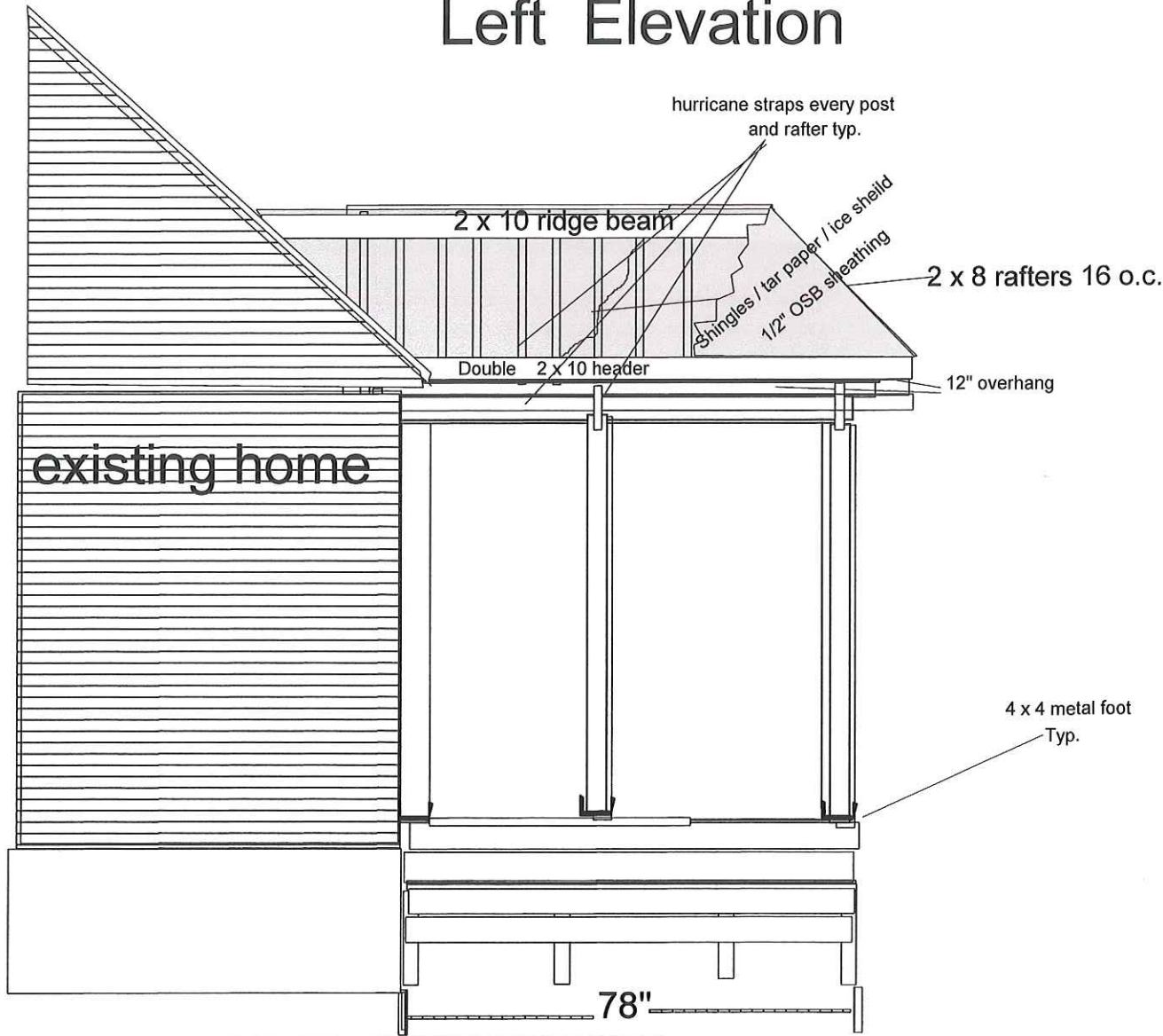
Less Than 30" to grade



Premier Glass & Screen Inc  
33937 Premier Dr  
Frankford DE 19945

# Left Elevation

Kump  
26961 Sunburst Path  
Millsboro DE 19966

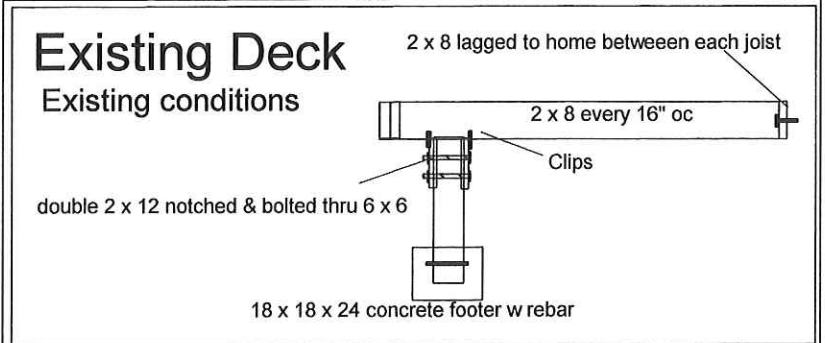
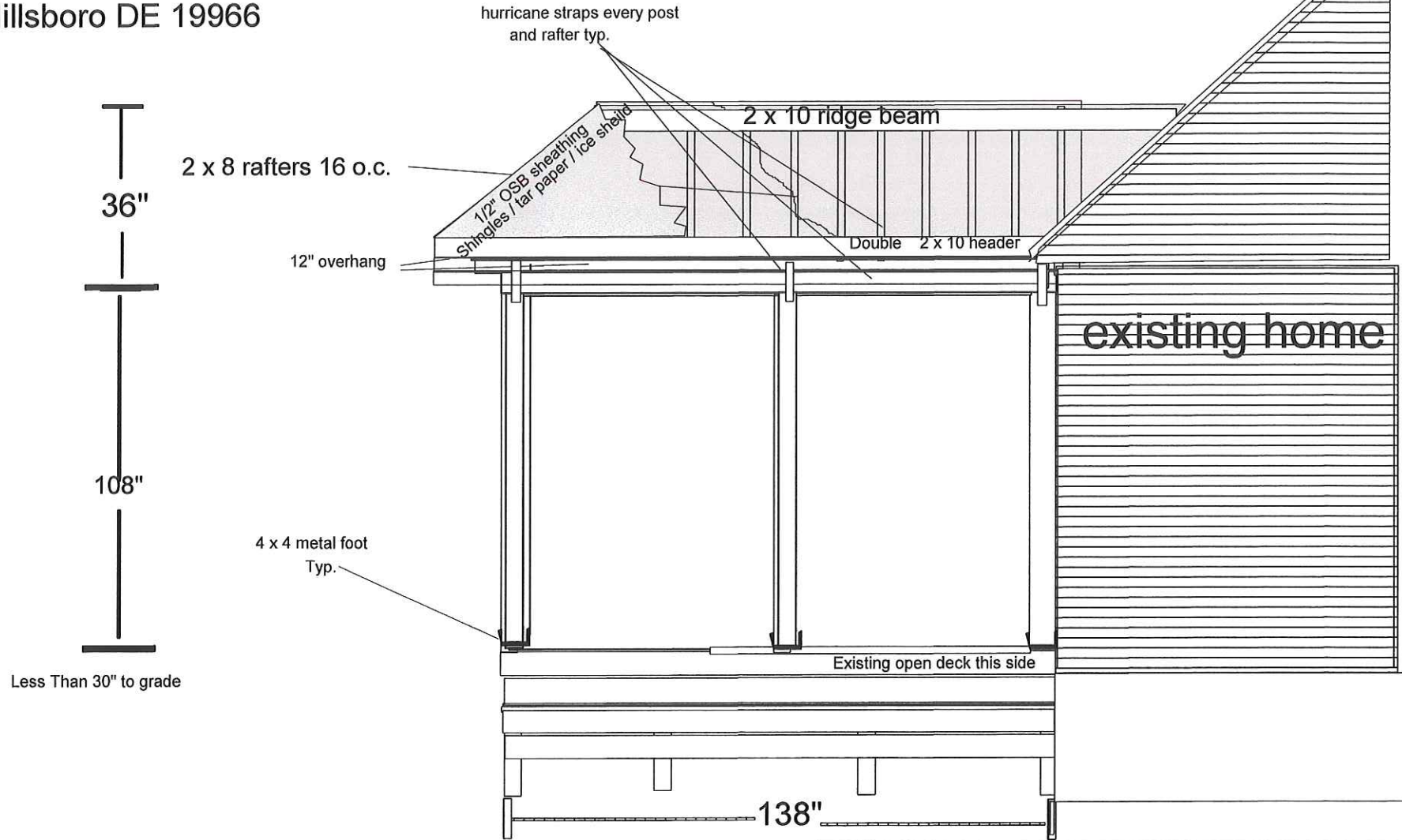


Premier Glass & Screen Inc  
33937 Premier Dr  
Frankford DE 19945



Kump  
26961 Sunburst Path  
Millsboro DE 19966

# Right Elevation



Premier Glass & Screen Inc  
33937 Premier Dr  
Frankford DE 19945

Board of Adjustment Application  
Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

Case # 12886  
Hearing Date 12/11/23  
202313505 *Tentative*

Type of Application: (please check all applicable)

Variance

Special Use Exception

Administrative Variance

Appeal

Existing Condition

Proposed

Code Reference (office use only)

\_\_\_\_\_

\_\_\_\_\_

Site Address of Variance/Special Use Exception:

35859 Parsonage Rd Rehoboth Beach, DE 19971

Variance/Special Use Exception/Appeal Requested:

Install Electronic Billboard 12'x48' to the North Face South Read  
Existing Billboard Structure

Tax Map #: 334-13.00-5.00

Property Zoning: C-1

Applicant Information

Applicant Name: Destiny LLC

Applicant Address: PO Box 1173

City Rehoboth Beac State DE Zip: 19971

Applicant Phone #: (302) 745-6207 Applicant e-mail: \_\_\_\_\_

Owner Information

Owner Name: Destiny LLC

Owner Address: PO Box 1173

City Rehoboth State DE Zip: 10071 Purchase Date: \_\_\_\_\_

Owner Phone #: \_\_\_\_\_ Owner e-mail: \_\_\_\_\_

Agent/Attorney Information

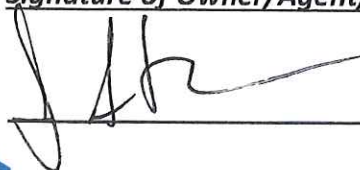
Agent/Attorney Name: JD Sign Co/Jason Dean

Agent/Attorney Address: 411 E. Railroad Ave

City Felton State DE Zip: 19943

Agent/Attorney Phone #: (302) 270-89 Agent/Attorney e-mail: jd@calljd.com

Signature of Owner/Agent/Attorney



Date: 9/26/23



Sussex County, DE - BOA Application

**Criteria for a Special Use Exception:** (Please provide a written statement regarding each criteria)

*You shall demonstrate to the Board of Adjustment that the property meets **all** of the following criteria for a Special Use Exception to be granted.*

1. Such exception will not substantially affect adversely the uses of adjacent and neighboring property.

Property is in the C-1 Zone on Rt One, where many digital signs are existing. This is an existing permitted off premise sign that has existed since May 17th of 2004. This sign is federally regulated to change only every ten seconds, making the transition in less than 1 second. The sign will also have auto dimming controls to manage brightness.

---

2. Any other requirements which apply to a specific type of special use exception as required by the Sussex County Code. (Ex. Time limitations – 5 year maximum)

For all off-premises electronic message centers which are located on properties adjacent to roads which have four or more travel lanes (excluding turn lanes), an off-premises electronic message center shall not be erected within 2,500 feet of another off-premises electronic message center. This separation distance shall be measured from the edge of the off-premises electronic message center and shall apply only to signs which are located on the same side of the road.

---

**Basis for Appeal:** (Please provide a written statement regarding reason for appeal)

Off-premises electronic message centers:

(1)

In the C-1 (General Commercial), CR-1 (Commercial Residential), C-3 (Heavy Commercial), C-4 (Planned Commercial), C-5 (Service/Limited Manufacturing), LI-1 (Limited Industrial), LI-2 (Light Industrial) and HI-1 (Heavy Industrial) Districts, an off-premises sign may be an electronic message center, provided that the owner obtains a special use exception pursuant to § 115-80C and complies with the regulations for off-premises signs pursuant to § 115-15

---



**SQUARE FOOTAGE / PERMIT FEE**

SIZE OF SIGN (sq. ft.)	ANNUAL FEE (per panel)
up to 30	\$5
> 30 - 100	\$10
>100 - 300	\$15
> 300	\$20

Fees are for Permits only

Application  
for  
**Outdoor Advertising Permit**  
or  
**Letter of Permission**



Delaware  
Department of Transportation

**OFFICE USE ONLY**

Date received: \_\_\_\_\_  
Time received: \_\_\_\_\_  
Received by: \_\_\_\_\_  
Date Approved: \_\_\_\_\_

Owner No. Issued: \_\_\_\_\_  
State Permit No. Issued: \_\_\_\_\_

Applying for (check only one): Outdoor Advertising Permit \_\_\_\_\_ Letter of Permission \_\_\_\_\_  
Sign will be attached to a building or other structure that is not specifically a free standing sign structure (check if yes) \_\_\_\_\_  
Application is for a public service / school bus shelter sign (check if yes and attach State Department of Education permission) \_\_\_\_\_

Sign Owner (individual or company responsible for billing): Destiny LLC

Address (for billing & legal notices): PO BOX 1173

City / State / Zip: Rehoboth Beach, DE 19971 Telephone #: 302-745-6207

If Sign Owner is a foreign national, non-resident alien or non-Delaware Corporation, institution or agency, bond may be required (check if yes) \_\_\_\_\_

Property Owner (if different than above): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City / State / Zip: \_\_\_\_\_ Telephone #: \_\_\_\_\_

Sign Installer/Erector (name and phone number): JD SIGN CO 302-270-8916

Sign location (physical street address): 35859 Parsonage Rd Rehoboth DE Tax ID / Map Number: 334-13.00-5.00

Within city/town limits?  Yes  No If yes, name of municipality: \_\_\_\_\_ Zoning: C-1

Is zoning conditional?  Yes  No Setback (distance from r-o-w to edge of sign nearest r-o-w) Existing \_\_\_\_\_ ft.

(if yes, explain on back of form)

Number of Sign Facings  One  Two Number of Panels per Face  One  Two

Face	Panel	Area	Length	Height
Face One	Panel One	576 sq. ft.	48 ft.	12 ft.
	Panel Two	_____ sq. ft.	_____ ft.	_____ ft.
Face Two	Panel One	_____ sq. ft.	_____ ft.	_____ ft.
	Panel Two	_____ sq. ft.	_____ ft.	_____ ft.

Total Annual Fee (example: # panel(s) x \$/panel): \$ \_\_\_\_\_ (no fees for letters of permission or letters of no objection)

Surface Treatment  Poster  Painted  LED  Other Support Type  Wood  Metal  Monument

Will the sign be illuminated?  Yes  No Premise  On-premise  Off-premise

Type of Display  1. Back-to-Back  2. Side-by-Side  3. Single Face  4. V-Type  5. Stacked

Clearance (bottom of sign to ground) 12 ft. Variable Message  Yes  No

A plot plan showing the location of the proposed sign structure (on the Tax ID / Map Number noted) as well as a diagram of the proposed sign structure (with dimensions) must accompany this application. The footprint of the proposed sign structure must be marked on site prior to the field review.



State of Delaware (also Advertising Permit, Letters of Permission, and/or Letters of No Objection) **NOT** be typewritten. You MUST have a copy of a municipal building permit, a letter of permission, or a letter of no objection to legally maintain any type or form of outdoor advertising sign, display, or device. If you erect a sign, display, or device without obtaining local permission or approval, your State Outdoor Advertising permission will be revoked and local authorities will require the sign, display, or device to be REMOVED. Should the sign, display, or device fall into a state of disrepair, the Department reserves the right to revoke any permits issued after 30 days written notice. CONSTRUCTION MUST BEGIN WITHIN 6 MONTHS AND COMPLETED WITHIN 1 YEAR OF THE DATE OF THE APPROVAL LETTER

Use this space to provide details if the sign's location is conditionally zoned, or to provide any other necessary explanations or further details about any of the answers given on the front of this form, or to give any additional information that may be useful to the approval process for the sign, display, or device. (If necessary, attach additional sheets.)

By my signature below, I agree to all terms, conditions, definitions and regulations for Outdoor Advertising as specified in and by this form and its attendant instructions, definitions and advisories, and as further specified in and by the laws of the State of Delaware and in and by the regulations of its Department of Transportation. I further attest by my signature below that the information provided by me and / or my representatives or agents pertaining to this application (including related documents), is true, accurate, and complete to the best of my knowledge.

Signature (must be owner of sign) [Handwritten Signature]  
print name here \_\_\_\_\_

Date: 10/19/21

**AFFIDAVIT (of property owner)**

This form must be notarized **ONLY** if the advertising sign, display, or device is to be erected on **PRIVATE** property that is **NOT** owned by the same person(s) or entity that will be the owner(s) of the advertising sign, display, or device

State of \_\_\_\_\_ County of \_\_\_\_\_

On this \_\_\_\_\_ day of the month of \_\_\_\_\_ in the year \_\_\_\_\_, before me personally appeared \_\_\_\_\_, who being duly sworn according to law doth depose and say that the information given herein and in accompanying documents is true to his / her best knowledge and belief

Property Owners Signature: \_\_\_\_\_  
Notary's Signature \_\_\_\_\_  
commission expires \_\_\_\_\_

**DeIDOT CONTACTS**

North / Canal District (New Castle County)  
Outdoor Advertising Agent, Public Works Section  
250 Bear Christiana Road Bear, DE 19701 (302) 326-4688

Central District (Kent County)  
Outdoor Advertising Agent, Public Works Section  
930 Public Safety Blvd. Dover, DE 19901 (302) 760-2443

South District (Sussex County)  
Outdoor Advertising Agent, Public Works Section  
23697 Dupont Blvd Georgetown, DE 19947 (302) 853-1327



State of Delaware

*Department of Transportation*

23697 DuPont Boulevard

Georgetown, DE 19947

NICOLE MAJESKI  
SECRETARY

October 29, 2021

Destiny, LLC.  
P.O. Box 1773  
Rehoboth Beach, DE 19971

Dear Mr. Dean:

The Roadside Control Section of the Department of Transportation is charged with the responsibility of enforcing statutory regulations pertaining to Outdoor Advertising as set forth under Title 17, Chapter 11, of the Delaware Code.

The Department has received your Outdoor Advertising application for a new off-premise VMS (variable message sign) to be situated on the property belonging to a Destiny, LLC. with a (tax parcel #: 334-13.00-5.00) located on SCR 014 / (Coastal Hwy.) in Sussex County.

I have reviewed the application that was submitted, as well as conducted a field review. The Department is approving the modification of the existing board to the Northbound side only, due to the existing intersection and spacing requirements specified in Title 2, Section 15.5 of Delaware Code. As long as the sign is constructed per the specifications submitted and the required building permits are obtained by the local land use authority, the Department has no objection to the proposed sign application. It is the responsibility of the sign owner to seek approval from the local authority before installation of the sign.

This letter serves as a letter of no objection to assist with your application to the Board of Adjustment. This letter **does not** grant permission to construct the sign. Should the Board of Adjustment approval be granted for this sign structure, you must notify the Department in writing and provide all necessary documentation, including the Board of Adjustment findings and any revisions to the sign structure that may have occurred. Once the Department has received all necessary documentation and verified that conditions for approval have been met, a Notice to Proceed letter will be issued to allow for the construction of the sign.

Mr. Dean  
Page 2  
October 29, 2021

This letter of no objection is provided to you as a courtesy to assist you in securing approval from the appropriate entities prior to construction of the sign structure. **This letter is not a permit.**

Should you have any questions or concerns, or to schedule your pre-construction or final inspection, please contact me at (302) 259-7074.

Sincerely,  


Amber Godwin  
Investigator 1  
South District / DOT

ARG/ag  
By certified mail  
Cc: Christopher King, Roadside Control Manager



**BEFORE THE BOARD OF ADJUSTMENT OF SUSSEX COUNTY**

**IN RE: GEORGE COVERDALE AND PAULINE TEMPLE Case No. 8638 – 2004**

A hearing was held after due notice on May 17, 2004. The Board members present were: Mr. Callaway, Mr. McCabe, Mr. Mills, Mr. Workman and Mr. Hudson.

Nature of the Proceedings

This is an application for a variance from the maximum square footage requirement for a sign and a variance from the side yard setback requirement.

Finding of Facts

The Board found that the Applicant was seeking a variance from the maximum square footage requirement for a sign and a variance from side yard setback requirements north of Road 270A, 30 feet northeast of Route One. The Applicant was requesting a 552-square-foot variance from the 600-square-foot maximum for a sign, and a 50-foot variance from the required 50-foot side yard setback for a sign. After a hearing, the Board made the following findings of fact:

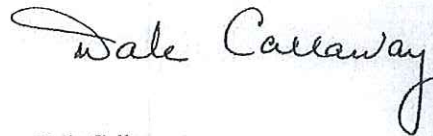
1. The proposed two-sided billboard will be supported by a steel mono-pole structure will replace two older billboards.
2. The proposed billboard will not exceed the size of the existing two (2) billboards.
3. The billboard would be set on the property line of the oddly-shaped property, just as the older billboard is located on the line. The proposed billboard will meet all other requirements.
4. No persons appeared in opposition.

The Board granted the requested variance.

Decision of the Board

Upon motion duly made and seconded, the application was granted. The Board members voting in favor were: Mr. Callaway, Mr. McCabe, Mr. Mills, Mr. Workman and Mr. Hudson; voting against – none.

**BOARD OF ADJUSTMENT  
OF SUSSEX COUNTY**



Dale Callaway  
Chairman

If the use is not established within one (1) year from the date below the application becomes void.

Date August 4 2004



**BEFORE THE BOARD OF ADJUSTMENT OF SUSSEX COUNTY**

**IN RE: GEORGE COVERDALE AND PAULINE TEMPLE Case No. 8556 – 2004**

A hearing was held after due notice on May 17, 2004. The Board members present were: Mr. Callaway, Mr. McCabe, Mr. Mills, Mr. Workman and Mr. Hudson.

Nature of the Proceedings

This is an application for a special use exception to replace an existing billboard as a two-sided billboard.

Finding of Facts

The Board found that the Applicant was seeking a special use exception to replace an existing billboard on a parcel north of Road 270-A, 30 feet northeast of Route One. After a hearing, the Board made the following findings of fact:

1. The proposed two-sided billboard will be supported by a steel mono-pole structure will replace two older billboards.
2. The proposed billboard will not exceed the size of the existing two (2) billboards.
3. The billboard would be set on the property line of the oddly-shaped property, just as the older billboard is located on the line. The proposed billboard will meet all other requirements.
4. The application was originally tabled to allow the Applicant to apply for a variance.

The Board granted the special use exception, finding that it would not affect adversely the uses of neighboring and surrounding properties.

Decision of the Board

Upon motion duly made and seconded, the application was granted. The Board members voting in favor were: Mr. Callaway, Mr. McCabe, Mr. Mills, Mr. Workman and Mr. Hudson; voting against – none.

**BOARD OF ADJUSTMENT  
OF SUSSEX COUNTY**



Dale Callaway  
Chairman

If the use is not established within one (1) year from the date below the application becomes void.

Date August 4, 2004

OF SUSSEX COUNTY  
GEORGETOWN, DELAWARE 19947

228529  
Permit Number  
6/22/04  
Permit Issued  
12/22/04  
Completion Date  
(Maximum Six (6) Months)

Phone (302) 855-7878



576.00  
Permit Fee  
200.00  
Renewal Fee  
6/22/05  
Renewal Date

Applicant CASE # 8556 + 8639 George Coverdale +  
Address Pauline Temple RR 1 Box 96 Rehoboth, DE 19971

Owner same as applicant

Erector ROGERS SIGN CO., INC

Location: (I) Road 270A (N) (S) (E) (W) Side, 30+/- feet

\_\_\_\_\_ miles (N) (S) (E) (W) of Road RT 1

(b) Zoning District C1

Sign Type Ground Billboard On-Premise \_\_\_\_\_ Off-Premise X

Dimensions 12' x 48' each side Square Footage 572 x 2 =

Height 25' Number of Sign Facings TWO 1152 sq'

Setback: Front 25' Setback from nearest: Church 100'

Side 5' Refer to BOA School "

Corner 25' Dwelling "

Type of Construction Steel Billboard Public Lands "

Tax Map No: Dist 3-34 Map 13 Parcel 5 Other Sign "

Lighting: 1. Non-Illuminated \_\_\_\_\_

2. Illuminated X

*replace wood structure*

An application for any sign exceeding thirty-two (32) square feet in any district, must also be made to the State of Delaware Outdoor Advertising, Department of Highways and Transportation. This Department, under authority of Title 17 of the Delaware Code, will also govern all signs exceeding thirty-two (32) square feet in Sussex County in conjunction with the zoning authority of Sussex County pursuant to the Comprehensive Zoning Ordinance.

AFFIDAVIT

(I) (We) \_\_\_\_\_ have on  
this \_\_\_\_\_ day of \_\_\_\_\_ given permission to \_\_\_\_\_  
(applicant)  
to erect an advertising structure on this property.

D. Matthews Agent  
Signature of Owner

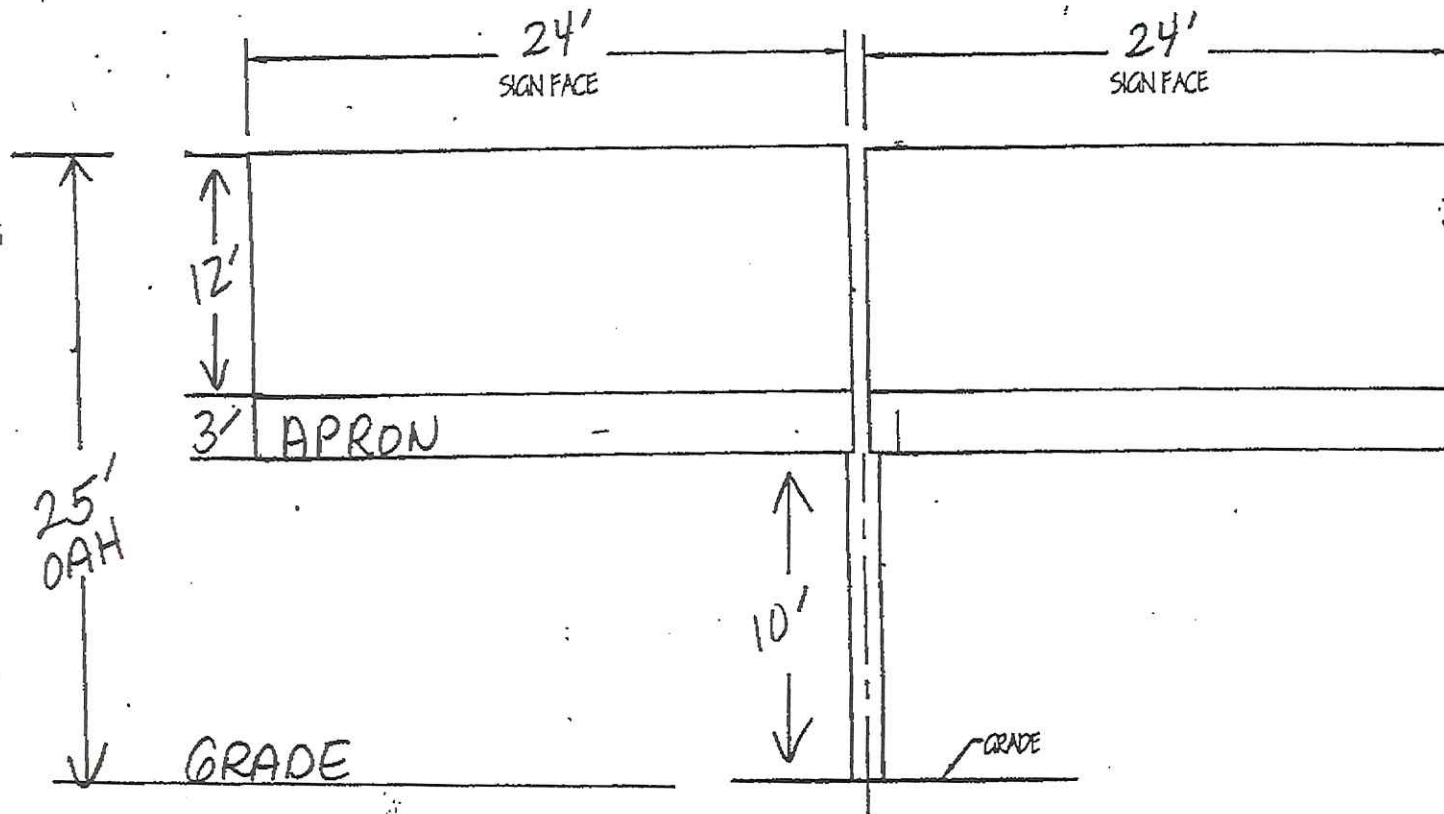
Approved by Susan Jackson Date 6/22/04

The issuance of this permit does not preclude the applicant from securing required permits and abiding by regulations of other government agencies.

George Coverdale &amp; Pauline Temple .

CASE # 8556 + 8639

Proposed steel billboard



(Quantity 2)  $12' \times 24' = 288 \text{ sq ft} \times 2 = 576 \text{ sq ft per side}$

$576 \text{ sq ft} \times 2 \text{ (requesting to add 2}^{\text{nd}} \text{ side)} = 1152 \text{ total sq ft}$

$1152 - 600 \text{ sq ft max. allowed} =$

$552 \text{ sq ft variance request (1 monopole structure)}$



# Sussex County



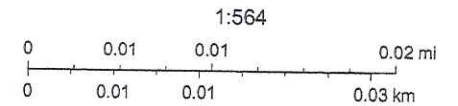
September 26, 2023

pointLayer

- Override 1
- Override 2
- Subdivisions
- Tax Parcels
- 911 Address
- Streets
- County Boundaries

- Building Footprints
- Easements
- World Imagery
- Low Resolution 15m Imagery

- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations
- 15cm Resolution Metadata



State of Delaware, Maxar, Microsoft, Sussex County Government

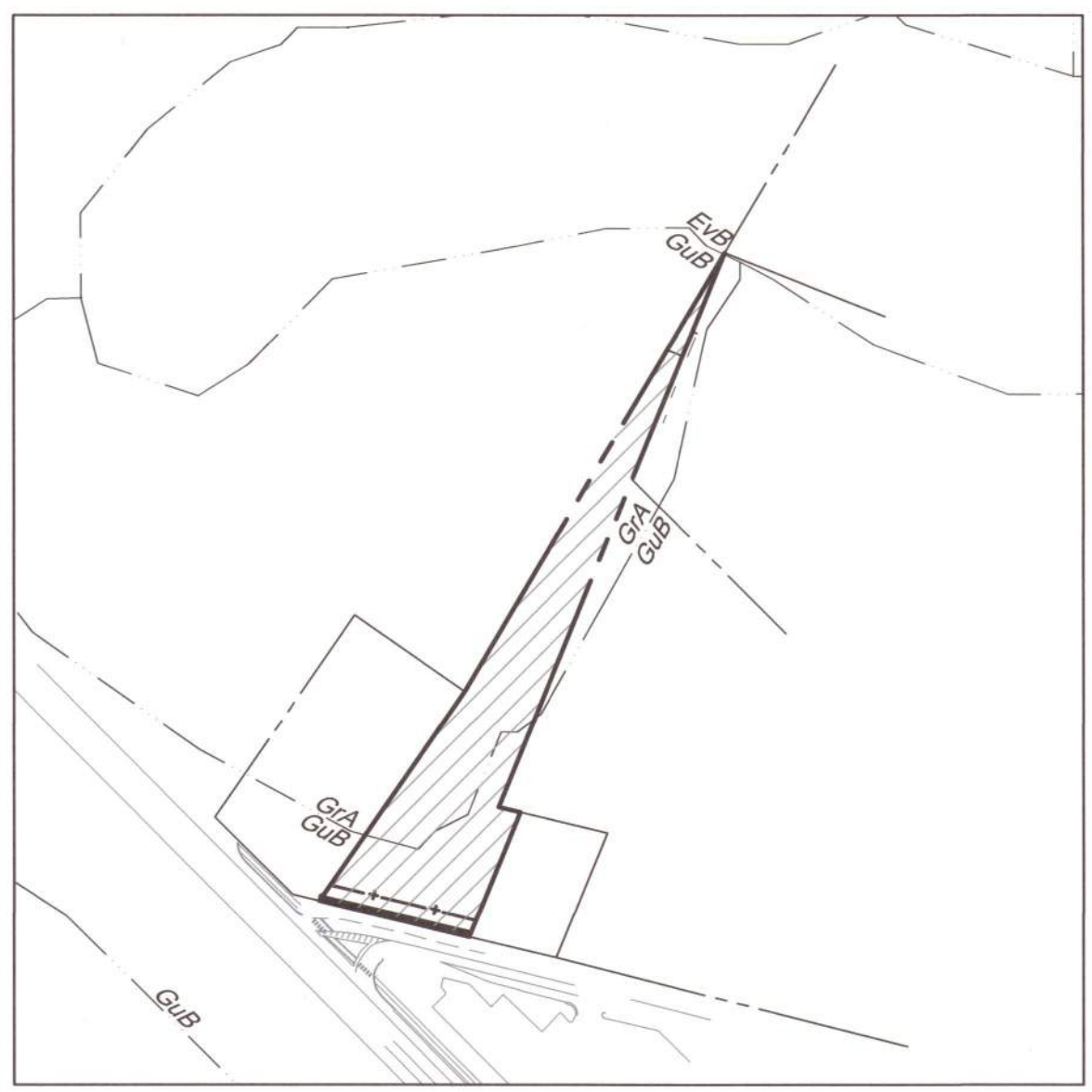


# DESTINY APARTMENTS

## SUSSEX COUNTY, DELAWARE

### FINAL SITE PLAN

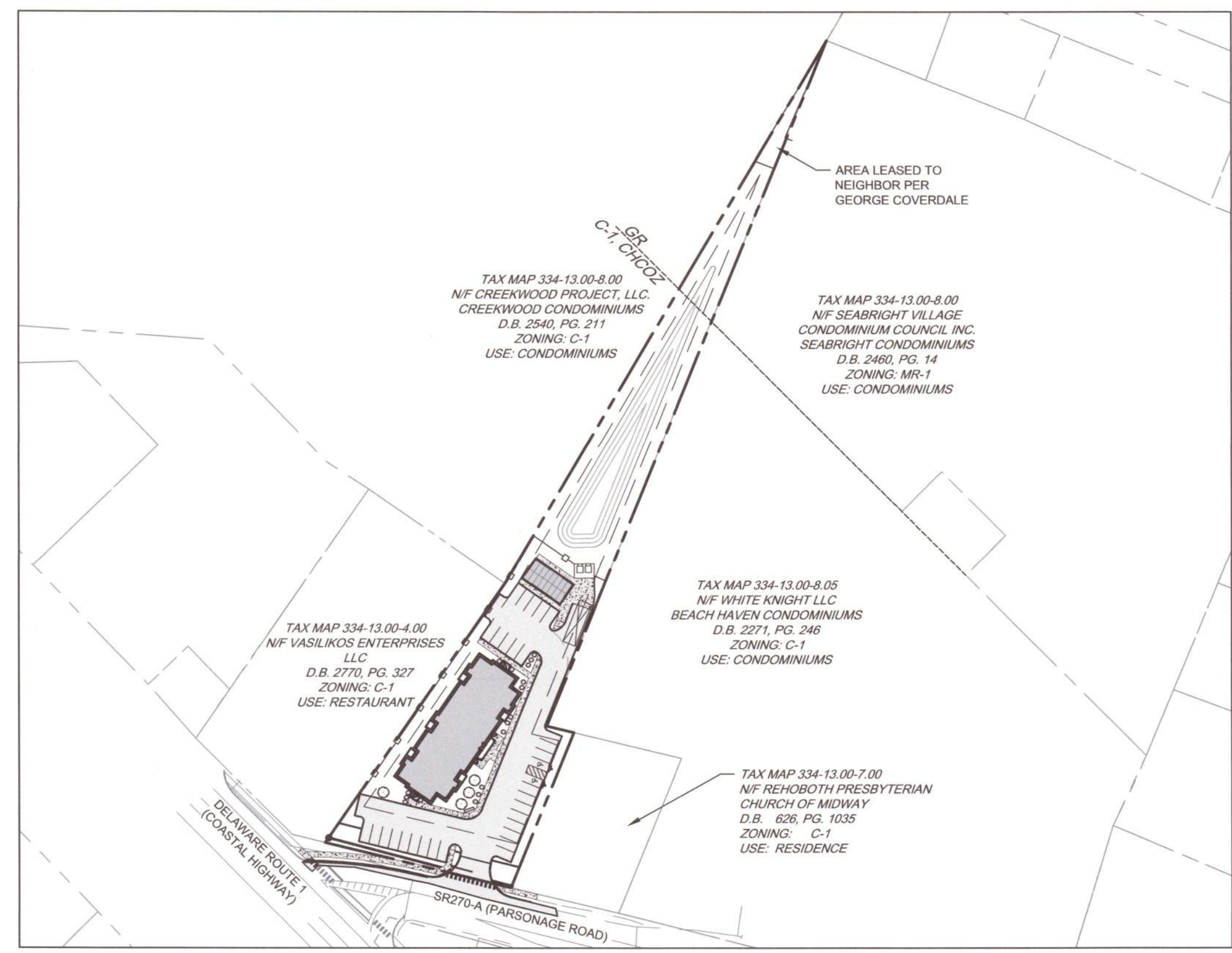
#### SUSSEX COUNTY PROJECT #: S-20-18



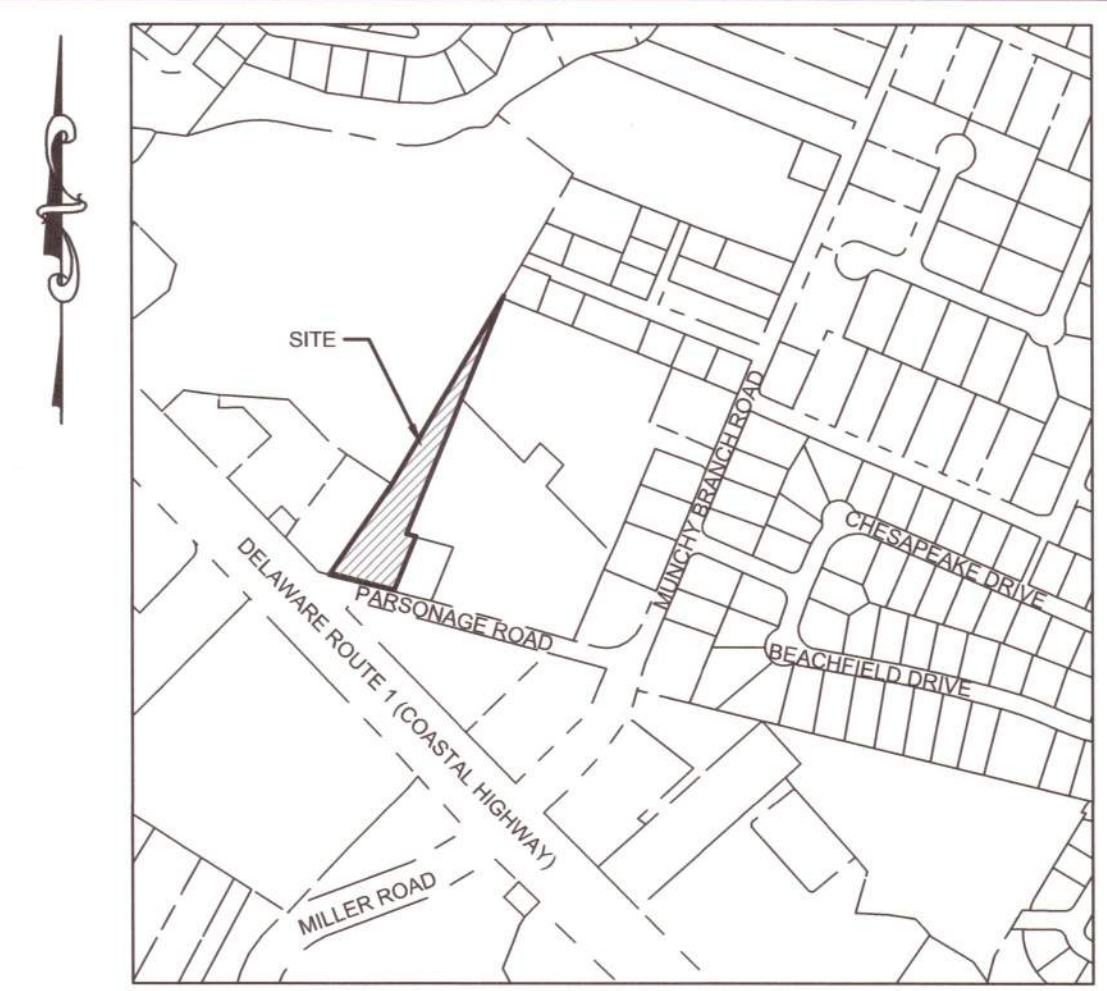
**SOILS MAP**  
SCALE: 1" = 200'

SYMBOL	NAME	SOIL GROUP
EVB	EVEBORO LOAMY SAND, 0 TO 5 PERCENT SLOPES	A
GA	GREENWICH LOAM, 0 TO 2 PERCENT SLOPES	B
GUB	GREENWICH-URBAN LAND COMPLEX, 0 TO 5 PERCENT SLOPES	B

CONFORMED COPY  
Document # 202000065194 BK: 329 PG: 19  
On 12/28/2020 at 3:39:27 PM  
RECORDER OF DEEDS Scott Dunley  
Sussex County  
Consideration: \$0.00



**SITE OVERVIEW & ADJACENT ZONING**  
SCALE: 1" = 100'



**LOCATION MAP**  
SCALE: 1" = 500'

### LEGEND

	EXISTING	PROPOSED
PROPERTY LINE / RIGHT OF WAY	---	---
ADJOINING PROPERTY LINE	---	---
BUILDING RESTRICTION LINE	---	---
EASEMENT	+ + +	+ + +
CENTER LINE OF ROAD	---	---
EDGE OF PAVING	---	---
CURB	---	---
DRIVEWAY	---	---
CONTOURS	---	---
SWALE	---	---
WETLANDS LINE AND FLAG	---	---
FLOODPLAIN	---	---
SOILS/DESIGNATION	---	---
SOIL BORING	---	---
VEGETATION	---	---
WOODS	---	---
FENCE	---	---
SIDEWALK	---	---
BUILDING	---	---
UTILITY POLE/GUY WIRE	---	---
OVERHEAD ELECTRIC	---	---
CABLE TV, PEDESTAL	---	---
TRAFFIC SIGN	---	---
SINGLE & TWIN HEAD SITE LIGHT	---	---
WATER MAIN, FIRE HYDRANT, VALVE, SERVICE ASSEMBLY, AND METER PIT	---	---
SEWER MAIN, MAHNOLE, & CLEANOUT	---	---
SANITARY SEWER FORCEMAIN	---	---
UNDERGROUND ELECTRIC	---	---
TELEPHONE LINE	---	---
STORM WATER PIPE	---	---

### SITE DATA:

- 1) TAX MAP NUMBER: 334-13.00-5.00
- 2) OWNER: DESTINY LLC, 1 PATRIOTS WAY, REHOBOTH BEACH, DE 19971
- 3) DEED BOOK REF: DB 3896 PG 255
- 4) EXISTING USE: APARTMENTS
- 5) PROPOSED USE: APARTMENTS (12 TWO-BEDROOM & 3 THREE-BEDROOM UNITS)
- 6) EXISTING AREA: 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)
- 7) PROPOSED AREA: 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)
- 8) EXISTING ZONING: C-1 (GENERAL COMMERCIAL) & GR-1 (GENERAL RESIDENTIAL W/CHCOZ)
- 9) PROPOSED ZONING: C-1 (GENERAL COMMERCIAL) & GR-1 (GENERAL RESIDENTIAL W/CHCOZ)

	EXISTING	PROPOSED
10) NUMBER OF LOTS:	1	1
<b>BUILDINGS</b>		
EXISTING BUILDING AREA	45,015 SQ FT (FIRST FLOOR FOOTPRINT)	
PROPOSED MULTIFAMILY BUILDING		21,502 SQ FT (TOTAL) (15 UNITS)
PROPOSED STORAGE BUILDING		924 SQ FT
DENSITY		15 UNITS / 1.33 AC = 11.28 UNITS PER ACRE

	REQUIRED	PROPOSED
11) HEIGHT, AREA, AND BULK REQUIREMENTS (CODE SECTION 115-156B)		
MAXIMUM HEIGHT	42 FT	38.9 FT (3 STORIES)
MINIMUM LOT AREA	54,450 SQ FT	58,150 SQ FT
MINIMUM LOT WIDTH (FEET)	75 FT	± 173 FT
MINIMUM LOT DEPTH (FEET)	100 FT	± 823 FT
MINIMUM YARD REQUIREMENTS		
C-1:		
FRONT	40 FT	>40 FT
SIDE	10 FT	15 FT
REAR	10 FT	>10 FT
CORNER	15 FT	>15 FT
GR-1:		
FRONT	30 FT	>30 FT
SIDE	10 FT	15 FT
REAR	10 FT	>10 FT
CORNER	15 FT	>15 FT
CHCOZ:		
		60' SETBACK FROM ROUTE 1 RIGHT-OF-WAY WITH 20' BUFFER

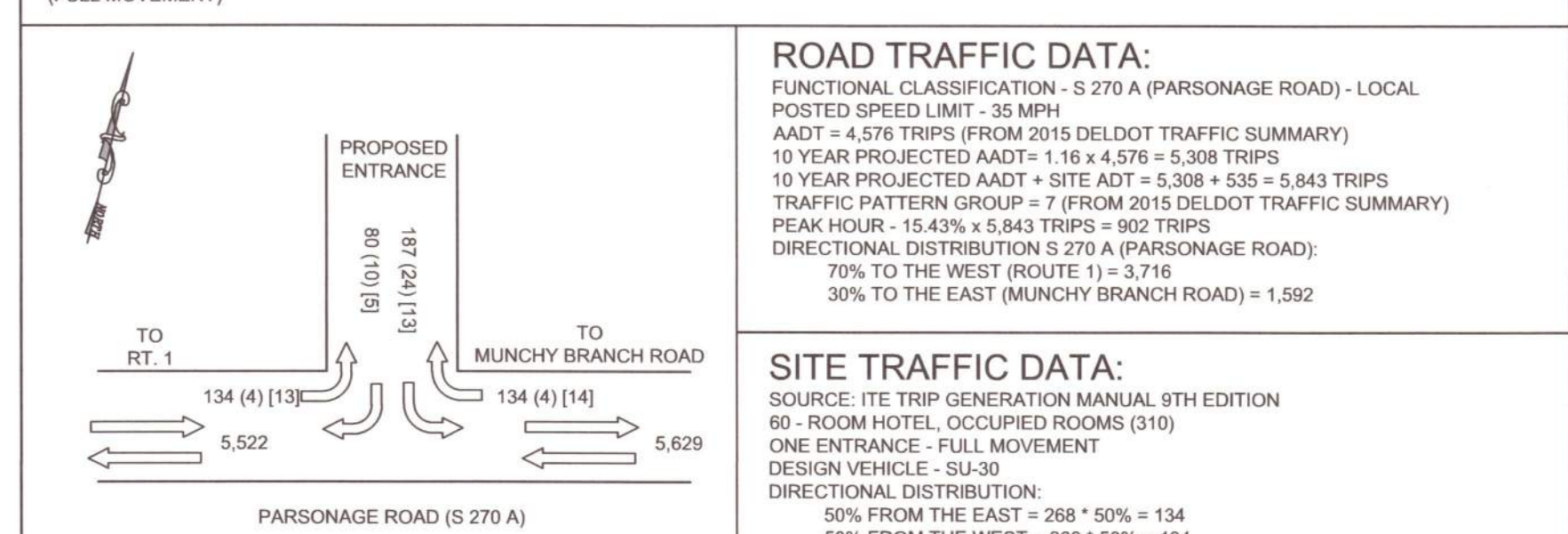
- 12) SERVICES: WATER SUPPLIER: TIDEWATER UTILITIES; SANITARY SEWER SUPPLIER: SUSSEX COUNTY (WEST REHOBOTH DISTRICT)
- 13) FIRE DISTRICT: REHOBOTH BEACH
- 14) VERTICAL DATUM: NAVD 88
- 15) HORIZONTAL DATUM: NAV 83
- 16) POSTED SPEED LIMIT: 35 MPH (PARSONAGE ROAD)
- 17) PROXIMITY TO IDENTIFIED TRANSPORTATION DISTRICT: NOT IN PROXIMITY OF TID
- 18) INVESTMENT LEVEL AREA: LEVEL 2
- 19) SITE ADDRESS: 35863 PARSONAGE ROAD, REHOBOTH BEACH, DE 19971
- 20) WETLAND AREA: 0.00 ACRES
- 21) PROJECT WATERSHED: LEWES-REHOBOTH CANAL
- 22) PROPOSED DISCHARGE LOCATIONS: DELDOT AND INFILTRATION
- 23) FLOOD PLAIN: THE SITE IS LOCATED WITHIN ZONE X, AN AREA DEFINED AS OUTSIDE THE 100 YEAR FLOOD PLAIN, BASED ON FEMA FLOOD PANEL 10005C0332K
- 24) SOILS ON-SITE CONSIST OF EVEBORO LOAMY SAND, 0 TO 5 PERCENT SLOPES (EVB), GREENWICH LOAM, 0 TO 2 PERCENT (GA) AND GREENWICH-URBAN LAND COMPLEX (GUB), 0 TO 5 PERCENT SLOPES
- 25) WELLHEAD PROTECTION SITE AREA: 0 ACRES; PROPOSED IMPERVIOUS COVERAGE = 47%
- 26) PROJECT IS LOCATED IN AN AREA OF GOOD GROUNDWATER RECHARGE POTENTIAL.
- 27) NET DEVELOPMENT AREA = 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)

### PARKING / LOADING REQUIREMENTS:

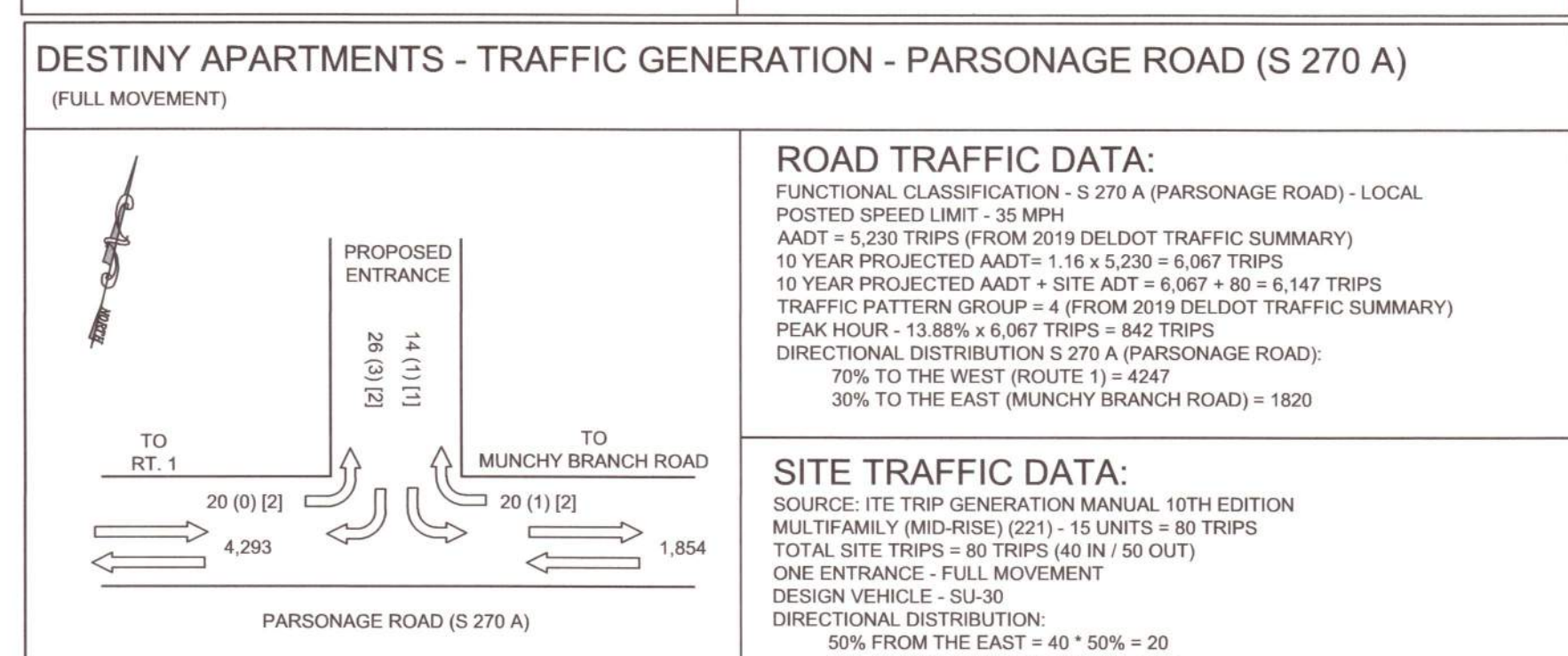
OFF-STREET PARKING - (PER CODE SECTIONS 115-162A & 45-5)	
REQUIRED PARKING	
APARTMENTS - 2 PER UNIT (15 UNITS):	30 SPACES REQUIRED
HANDICAP PARKING (26-50 PARKING SPACES)	2 SPACES REQUIRED
TOTAL PARKING PROVIDED	30 PARKING LOT SPACES + 2 HANDICAP SPACES = 32 TOTAL PARKING SPACES PROVIDED

OFF-STREET LOADING - (PER CODE SECTIONS 115-167)	
LOADING	
NUMBER OF LOADING SPACES REQUIRED	1 SPACE REQUIRED
NUMBER OF LOADING SPACES PROVIDED	1 SPACE (12' x 40')

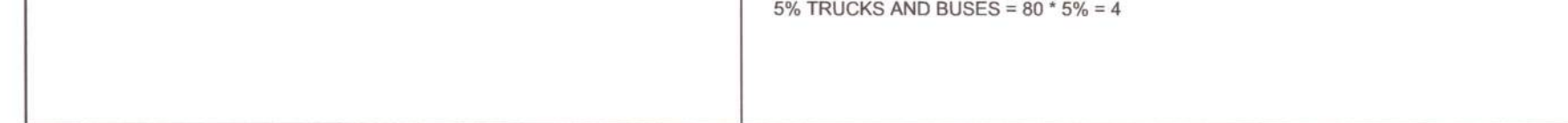
### DAYS INN APPROVED 11/08/2017 - TRAFFIC GENERATION - PARSONAGE ROAD (S 270 A)



### DESTINY APARTMENTS - TRAFFIC GENERATION - PARSONAGE ROAD (S 270 A)



### TRAFFIC GENERATION DIAGRAM



**CALL Miss Utility of Delmarva BEFORE YOU DIG 800-282-8555 or 811**

Final site plan - destiny apartments  
**APPROVED** (S-20-18)  
per SCPO per SCP  
per DELDOT  
SUSSEX COUNTY  
PLANNING & ZONING COMMISSION  
12/28/2020  
9 pages

### SUSSEX CONSERVATION DISTRICT

APPROVED BY: \_\_\_\_\_ DATE \_\_\_\_\_  
APPROVAL OF A SEDIMENT AND STORM WATER PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORM WATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.

### ENGINEERS CERTIFICATION

IT IS HEREBY CERTIFIED THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

CARLTON SAMUEL, PE (LICENSE #18457) DATE 12/28/20  
20246 COASTAL HIGHWAY, REHOBOTH BEACH, DE 19971

### SUSSEX COUNTY

APPROVED BY: \_\_\_\_\_ DATE \_\_\_\_\_

### PROJECT TEAM

- OWNER/DEVELOPER: DESTINY LLC, 1 PATRIOTS WAY, REHOBOTH BEACH, DE 19971 (302) 745-6207
- ARCHITECT: BRUCE J. MONETA, A.I.A., 34073 VILLA CIRCLE, UNIT 304, LEWES, DE 19958 (302) 745-0342
- SITE ENGINEER: SCALED ENGINEERING, INC., 20246 COASTAL HIGHWAY, REHOBOTH BEACH, DE 19971 (302) 236-3600

**DESTINY APARTMENTS**  
TAX PARCEL NO. 334-13.00-5.00  
PARSONAGE ROAD (SR 270-A)  
REHOBOTH BEACH, SUSSEX COUNTY, DE

ISSUE / REVISION BLOCK	
5/26/2020 - SUSSEX COUNTY P & Z	
5/29/2020 - FIRE MARSHAL	
6/25/2020 - SUSSEX COUNTY P & Z	
PRELIMINARY APPROVAL	
9/2/2020 - DELDOT SUBMISSION 1	
9/14/2020 - OFFICE OF DRINKING WATER APPROVAL	
9/18/2020 - SCD COMMENTS	
9/29/2020 - SUSSEX COUNTY DEPT. OF ENGINEERING COMMENTS	
10/08/2020 - SCD SUBMISSION 2	
10/09/2020 - DELDOT SUBMISSION 2	
10/12/2020 - TIDEWATER COMMENTS	
10/29/2020 - SCD FINAL SUBMISSION	
11/09/2020 - TIDEWATER COMMENTS	
12/09/2020 - SUSSEX COUNTY P & Z	

SCALE	PROJECT #	DRAWN BY
AS NOTED	HKS001	GJB
DRAWING NUMBER		

**T-1**

**SCALED ENGINEERING**  
Scaled Engineering Inc.  
20246 Coastal Highway  
Rehoboth Beach, DE 19971  
Phone: (302) 236-3600  
FAX: (302) 236-3600  
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**COVER SHEET**





Scaled Engineering Inc.  
20246 Coastal Highway  
Rehoboth Beach, DE 19971  
Phone: (302) 236-9600

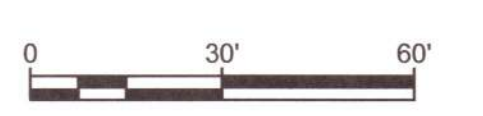


EXISTING CONDITIONS

# DESTINY APARTMENTS TAX PARCEL NO. 334-13.00-5.00 PARSONAGE ROAD (SR 270-A) REHOBOTH BEACH, SUSSEX COUNTY, DE

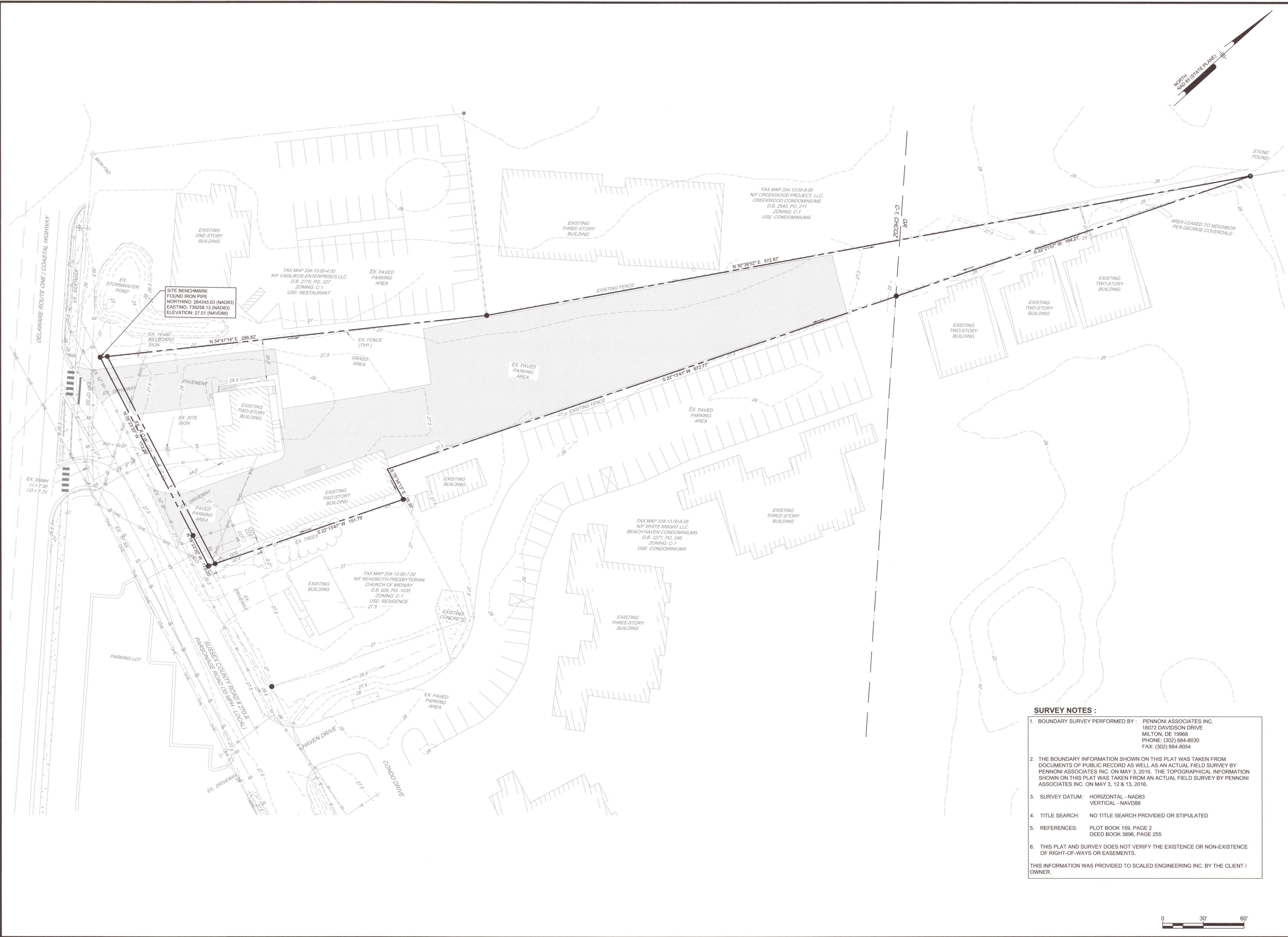
ISSUE / REVISION BLOCK	
5/26/2020	- SUSSEX COUNTY P & Z
5/29/2020	- FIRE MARSHAL
6/25/2020	- SUSSEX COUNTY P & Z PRELIMINARY APPROVAL
9/2/2020	- DELDOT SUBMISSION 1
9/14/2020	- OFFICE OF DRINKING WATER APPROVAL
9/18/2020	- SCD COMMENTS
9/29/2020	- SUSSEX COUNTY DEPT. OF ENGINEERING COMMENTS
10/08/2020	- SCD SUBMISSION 2
10/09/2020	- DELDOT SUBMISSION 2
10/12/2020	- TIDEWATER COMMENTS
10/29/2020	- SCD FINAL SUBMISSION

- SURVEY NOTES :**
- BOUNDARY SURVEY PERFORMED BY : PENNONI ASSOCIATES INC.  
18072 DAVIDSON DRIVE  
MILTON, DE 19968  
PHONE: (302) 684-8030  
FAX: (302) 684-8054
  - THE BOUNDARY INFORMATION SHOWN ON THIS PLAT WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD AS WELL AS AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES INC. ON MAY 3, 2016. THE TOPOGRAPHICAL INFORMATION SHOWN ON THIS PLAT WAS TAKEN FROM AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES INC. ON MAY 3, 12 & 13, 2016.
  - SURVEY DATUM: HORIZONTAL - NAD83  
VERTICAL - NAVD88
  - TITLE SEARCH: NO TITLE SEARCH PROVIDED OR STIPULATED
  - REFERENCES: PLOT BOOK 159, PAGE 2  
DEED BOOK 3896, PAGE 255
  - THIS PLAT AND SURVEY DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS.
- THIS INFORMATION WAS PROVIDED TO SCALED ENGINEERING INC. BY THE CLIENT / OWNER.



SCALE	PROJECT #	DRAWN BY
1" = 30'	HKS001	GJB
DRAWING NUMBER		

# EX-1



PROJECT NUMBER: 20190201/150 AM BY: GJB  
PLOTTER: 11/4/2020 11:50 AM BY: GJB  
PROJECT STYLE: SCALED.DWG





SCALED ENGINEERING  
Sealed Engineering Inc.  
20248 C. Highway  
Rehoboth Beach, DE 19871  
Phone: (302) 246-3600



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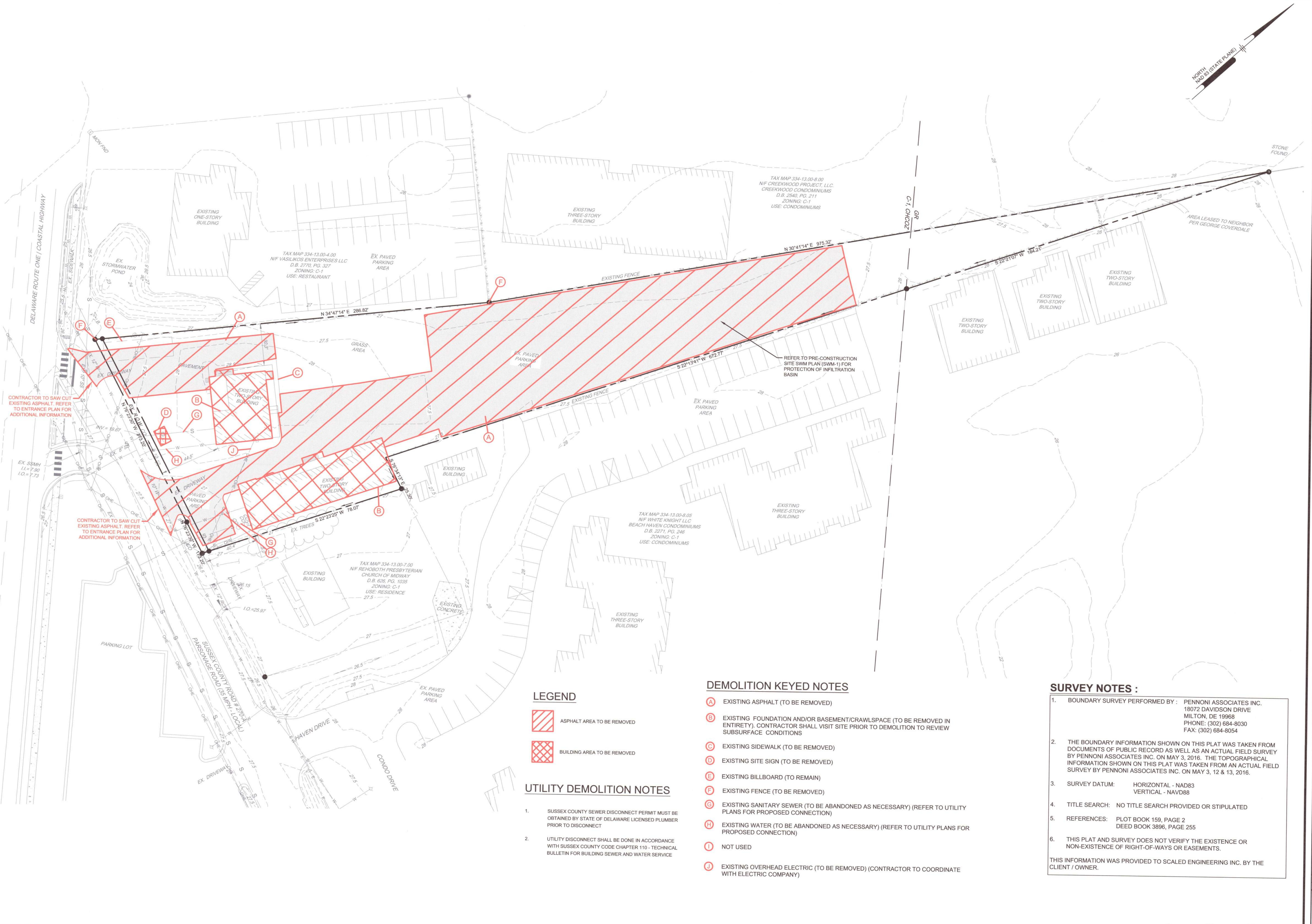
DEMOLITION PLAN

**DESTINY APARTMENTS**  
TAX PARCEL NO. 334-13.00-5.00  
PARSONAGE ROAD (SR 270-A)  
REHOBOTH BEACH, SUSSEX COUNTY, DE

ISSUE / REVISION BLOCK  
5/26/2020 - SUSSEX COUNTY P & Z  
5/29/2020 - FIRE MARSHAL  
6/25/2020 - SUSSEX COUNTY P & Z  
PRELIMINARY APPROVAL  
9/2/2020 - DELDOT SUBMISSION 1  
9/14/2020 - OFFICE OF DRINKING  
WATER APPROVAL  
9/18/2020 - SCD COMMENTS  
9/29/2020 - SUSSEX COUNTY DEPT.  
OF ENGINEERING  
COMMENTS  
10/08/2020 - SCD SUBMISSION 2  
10/09/2020 - DELDOT SUBMISSION 2  
10/12/2020 - TIDEWATER COMMENTS  
10/29/2020 - SCD FINAL SUBMISSION

SCALE PROJECT # DRAWN BY  
1" = 30' HKE001 GJB

DRAWING NUMBER  
**DE-1**



**LEGEND**

-  ASPHALT AREA TO BE REMOVED
-  BUILDING AREA TO BE REMOVED

**UTILITY DEMOLITION NOTES**

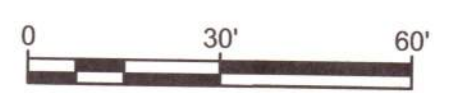
1. SUSSEX COUNTY SEWER DISCONNECT PERMIT MUST BE OBTAINED BY STATE OF DELAWARE LICENSED PLUMBER PRIOR TO DISCONNECT
2. UTILITY DISCONNECT SHALL BE DONE IN ACCORDANCE WITH SUSSEX COUNTY CODE CHAPTER 110 - TECHNICAL BULLETIN FOR BUILDING SEWER AND WATER SERVICE

**DEMOLITION KEYED NOTES**

- (A)** EXISTING ASPHALT (TO BE REMOVED)
- (B)** EXISTING FOUNDATION AND/OR BASEMENT/CRAWLSPACE (TO BE REMOVED IN ENTIRETY). CONTRACTOR SHALL VISIT SITE PRIOR TO DEMOLITION TO REVIEW SUBSURFACE CONDITIONS
- (C)** EXISTING SIDEWALK (TO BE REMOVED)
- (D)** EXISTING SITE SIGN (TO BE REMOVED)
- (E)** EXISTING BILLBOARD (TO REMAIN)
- (F)** EXISTING FENCE (TO BE REMOVED)
- (G)** EXISTING SANITARY SEWER (TO BE ABANDONED AS NECESSARY) (REFER TO UTILITY PLANS FOR PROPOSED CONNECTION)
- (H)** EXISTING WATER (TO BE ABANDONED AS NECESSARY) (REFER TO UTILITY PLANS FOR PROPOSED CONNECTION)
- (I)** NOT USED
- (J)** EXISTING OVERHEAD ELECTRIC (TO BE REMOVED) (CONTRACTOR TO COORDINATE WITH ELECTRIC COMPANY)

**SURVEY NOTES :**

1. BOUNDARY SURVEY PERFORMED BY : PENNONI ASSOCIATES INC. 18072 DAVIDSON DRIVE MILTON, DE 19968 PHONE: (302) 684-8030 FAX: (302) 684-8054
  2. THE BOUNDARY INFORMATION SHOWN ON THIS PLAT WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD AS WELL AS AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES INC. ON MAY 3, 2016. THE TOPOGRAPHICAL INFORMATION SHOWN ON THIS PLAT WAS TAKEN FROM AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES INC. ON MAY 3, 12 & 13, 2016.
  3. SURVEY DATUM: HORIZONTAL - NAD83 VERTICAL - NAVD88
  4. TITLE SEARCH: NO TITLE SEARCH PROVIDED OR STIPULATED
  5. REFERENCES: PLOT BOOK 159, PAGE 2 DEED BOOK 3896, PAGE 255
  6. THIS PLAT AND SURVEY DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS.
- THIS INFORMATION WAS PROVIDED TO SCALED ENGINEERING INC. BY THE CLIENT / OWNER.



SURVEYED BY HARRY REHOBOTH BEACH, DE 19871. DATE: 5/26/2020. PLOT STYLE: SCALED-ENG.DWG. PLOTTED: 11/02/2021 11:58 AM BY: GJB





SCALED ENGINEERING  
Scaled Engineering Inc.  
20246 Coastal Highway  
Rehoboth Beach, DE 19971  
Phone: (302) 236-3600



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SITE PLAN

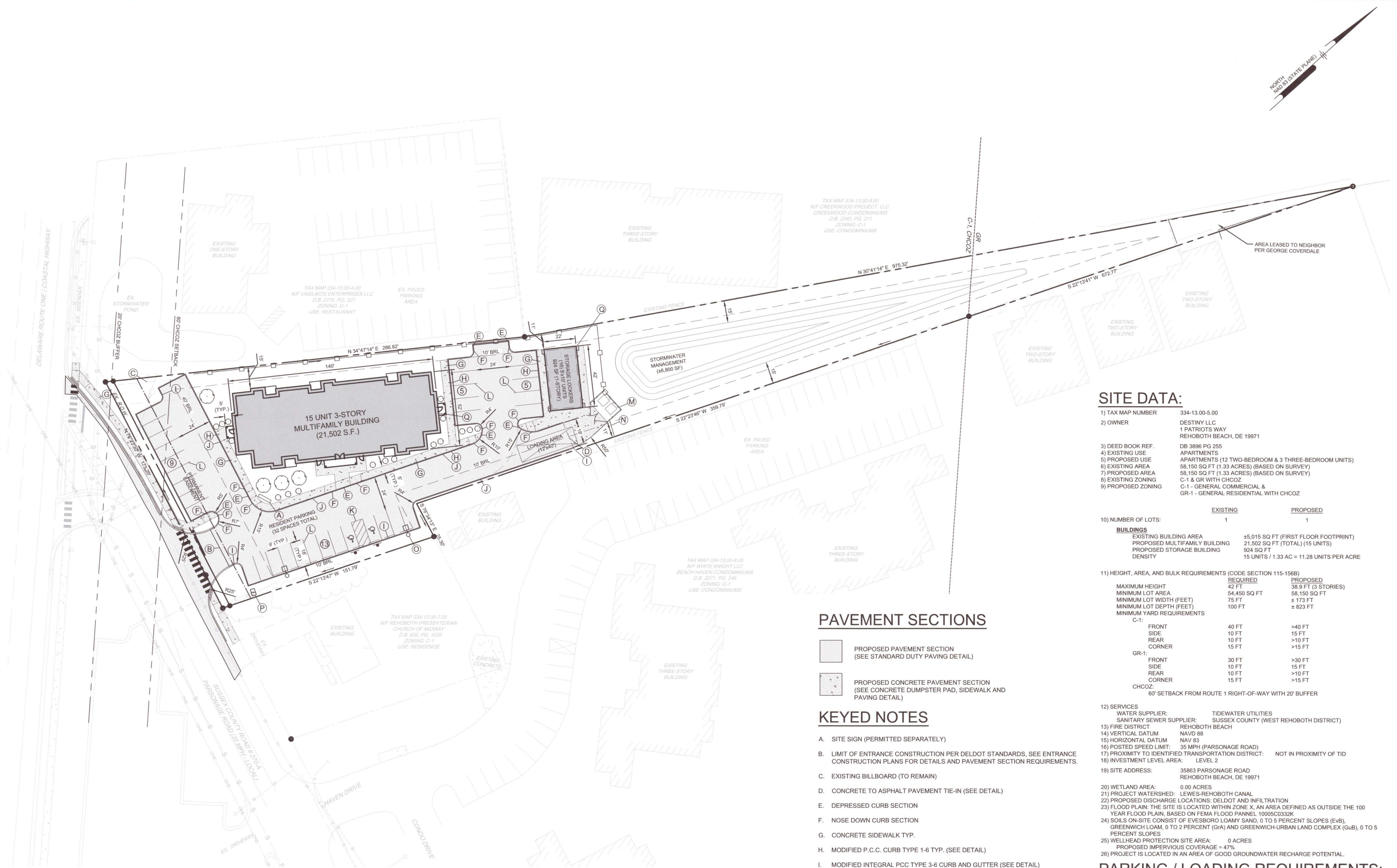
**DESTINY APARTMENTS**  
TAX PARCEL NO. 334-13.00-5.00  
PARSONAGE ROAD (SR 270-A)  
REHOBOTH BEACH, SUSSEX COUNTY, DE

ISSUE / REVISION BLOCK

5/26/2020	- SUSSEX COUNTY P & Z
5/29/2020	- FIRE MARSHAL
6/25/2020	- SUSSEX COUNTY P & Z PRELIMINARY APPROVAL
9/2/2020	- DELDOT SUBMISSION 1
9/14/2020	- OFFICE OF DRINKING WATER APPROVAL
9/18/2020	- SCD COMMENTS
9/29/2020	- SUSSEX COUNTY DEPT. OF ENGINEERING COMMENTS
10/08/2020	- SCD SUBMISSION 2
10/09/2020	- DELDOT SUBMISSION 2
10/12/2020	- TIDEWATER COMMENTS
10/29/2020	- SCD FINAL SUBMISSION
11/09/2020	- TIDEWATER COMMENTS
12/09/2020	- SUSSEX COUNTY P & Z

SCALE	PROJECT #	DRAWN BY
1" = 30'	HKE001	GJB
DRAWING NUMBER		

C-1



**SITE DATA:**

- 1) TAX MAP NUMBER: 334-13.00-5.00
- 2) OWNER: DESTINY LLC, 1 PATRIOTS WAY, REHOBOTH BEACH, DE 19971
- 3) DEED BOOK REF.: DB 3896 PG 255
- 4) EXISTING USE: APARTMENTS
- 5) PROPOSED USE: APARTMENTS (12 TWO-BEDROOM & 3 THREE-BEDROOM UNITS)
- 6) EXISTING AREA: 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)
- 7) PROPOSED AREA: 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)
- 8) EXISTING ZONING: C-1 & GR WITH CHCOZ
- 9) PROPOSED ZONING: C-1 - GENERAL COMMERCIAL & GR-1 - GENERAL RESIDENTIAL WITH CHCOZ

	EXISTING	PROPOSED
10) NUMBER OF LOTS:	1	1
<b>BUILDINGS</b>		
EXISTING BUILDING AREA	±5,015 SQ FT (FIRST FLOOR FOOTPRINT)	
PROPOSED MULTIFAMILY BUILDING	21,502 SQ FT (TOTAL) (15 UNITS)	
PROPOSED STORAGE BUILDING	924 SQ FT	
DENSITY	15 UNITS / 1.33 AC = 11.28 UNITS PER ACRE	

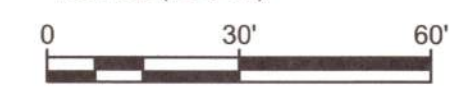
11) HEIGHT, AREA, AND BULK REQUIREMENTS (CODE SECTION 115-156B)		
	REQUIRED	PROPOSED
MAXIMUM HEIGHT	42 FT	38.9 FT (3 STORIES)
MINIMUM LOT AREA	54,450 SQ FT	58,150 SQ FT
MINIMUM LOT WIDTH (FEET)	75 FT	± 173 FT
MINIMUM LOT DEPTH (FEET)	100 FT	± 823 FT
MINIMUM YARD REQUIREMENTS		
C-1:		
FRONT	40 FT	≥40 FT
SIDE	10 FT	15 FT
REAR	10 FT	>10 FT
CORNER	15 FT	>15 FT
GR-1:		
FRONT	30 FT	≥30 FT
SIDE	10 FT	15 FT
REAR	10 FT	>10 FT
CORNER	15 FT	>15 FT
CHCOZ:		
60' SETBACK FROM ROUTE 1 RIGHT-OF-WAY WITH 20' BUFFER		

- 12) SERVICES: WATER SUPPLIER: TIDEWATER UTILITIES; SANITARY SEWER SUPPLIER: SUSSEX COUNTY (WEST REHOBOTH DISTRICT)
- 13) FIRE DISTRICT: REHOBOTH BEACH
- 14) VERTICAL DATUM: NAVD 88
- 15) HORIZONTAL DATUM: NAV 83
- 16) POSTED SPEED LIMIT: 35 MPH (PARSONAGE ROAD)
- 17) PROXIMITY TO IDENTIFIED TRANSPORTATION DISTRICT: NOT IN PROXIMITY OF TID
- 18) INVESTMENT LEVEL AREA: LEVEL 2
- 19) SITE ADDRESS: 35863 PARSONAGE ROAD, REHOBOTH BEACH, DE 19971
- 20) WETLAND AREA: 0.00 ACRES
- 21) PROJECT WATERSHED: LEWES-REHOBOTH CANAL
- 22) PROPOSED DISCHARGE LOCATIONS: DELDOT AND INFILTRATION
- 23) FLOOD PLAIN: THE SITE IS LOCATED WITHIN ZONE X, AN AREA DEFINED AS OUTSIDE THE 100 YEAR FLOOD PLAIN, BASED ON FEMA FLOOD PANNEL 10005C0332K
- 24) SOILS ON-SITE CONSIST OF EVESBORO LOAMY SAND, 0 TO 5 PERCENT SLOPES (EVB), GREENWICH LOAM, 0 TO 2 PERCENT (GRA) AND GREENWICH-URBAN LAND COMPLEX (GUB), 0 TO 5 PERCENT SLOPES
- 25) WELLHEAD PROTECTION SITE AREA: 0 ACRES; PROPOSED IMPERVIOUS COVERAGE = 47%
- 26) PROJECT IS LOCATED IN AN AREA OF GOOD GROUNDWATER RECHARGE POTENTIAL.

**PARKING / LOADING REQUIREMENTS:**

OFF-STREET PARKING - (PER CODE SECTIONS 115-162A & 45-5)	
REQUIRED PARKING	
APARTMENTS - 2 PER UNIT (15 UNITS)	30 SPACES REQUIRED
HANDICAP PARKING (26-50 PARKING SPACES)	2 SPACES REQUIRED
TOTAL PARKING PROVIDED	30 PARKING LOT SPACES + 2 HANDICAP SPACES = 32 TOTAL PARKING SPACES PROVIDED

OFF-STREET LOADING - (PER CODE SECTIONS 115-167)	
LOADING	
NUMBER OF LOADING SPACES REQUIRED	1 SPACE REQUIRED
NUMBER OF LOADING SPACES PROVIDED	1 SPACE (12' x 40')



**PAVEMENT SECTIONS**

- PROPOSED PAVEMENT SECTION (SEE STANDARD DUTY PAVING DETAIL)
- PROPOSED CONCRETE PAVEMENT SECTION (SEE CONCRETE DUMPSTER PAD, SIDEWALK AND PAVING DETAIL)

**KEYED NOTES**

- A. SITE SIGN (PERMITTED SEPARATELY)
- B. LIMIT OF ENTRANCE CONSTRUCTION PER DELDOT STANDARDS, SEE ENTRANCE CONSTRUCTION PLANS FOR DETAILS AND PAVEMENT SECTION REQUIREMENTS.
- C. EXISTING BILLBOARD (TO REMAIN)
- D. CONCRETE TO ASPHALT PAVEMENT TIE-IN (SEE DETAIL)
- E. DEPRESSED CURB SECTION
- F. NOSE DOWN CURB SECTION
- G. CONCRETE SIDEWALK TYP.
- H. MODIFIED P.C.C. CURB TYPE 1-6 TYP. (SEE DETAIL)
- I. MODIFIED INTEGRAL PCC TYPE 3-6 CURB AND GUTTER (SEE DETAIL)
- J. PAINTED YELLOW CURB OR STRIPE (REFER TO FIRE PROTECTION PLANS FOR MORE DETAILS)
- K. VAN ACCESSIBLE ADA PARKING SPACE AND SIGNAGE (SEE DETAIL)
- L. 4" WIDE WHITE PAINTED LINE TO DELINEATE PARKING SPACE (EPOXY)
- M. DUMPSTER ENCLOSURE WITH 6-FOOT PRIVACY FENCE (SEE DETAIL)
- N. 10' WIDE GATE (MATCH FENCE)
- O. 20" HIGH, POLE MOUNTED LED LIGHTING (DOWNWARD SCREENED - HOUSE SIDE SHIELD TO BE INSTALLED TO REDUCE GLARE ON ADJACENT PROPERTY), TYP.
- P. ELECTRIC TRANSFORMER LOCATION (IF NEEDED)
- Q. WALL PACK EXTERIOR LED LIGHTING (REFER TO ARCHITECTURAL PLANS FOR MORE DETAIL), TYP.





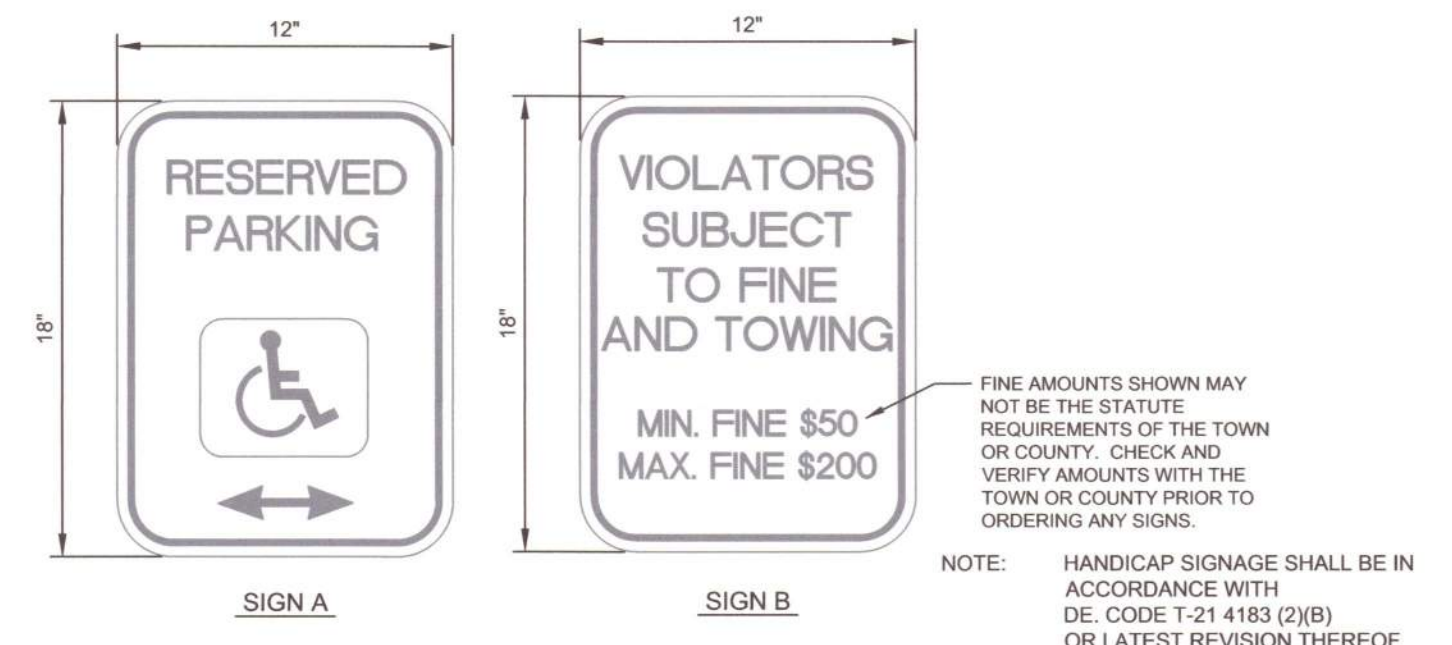
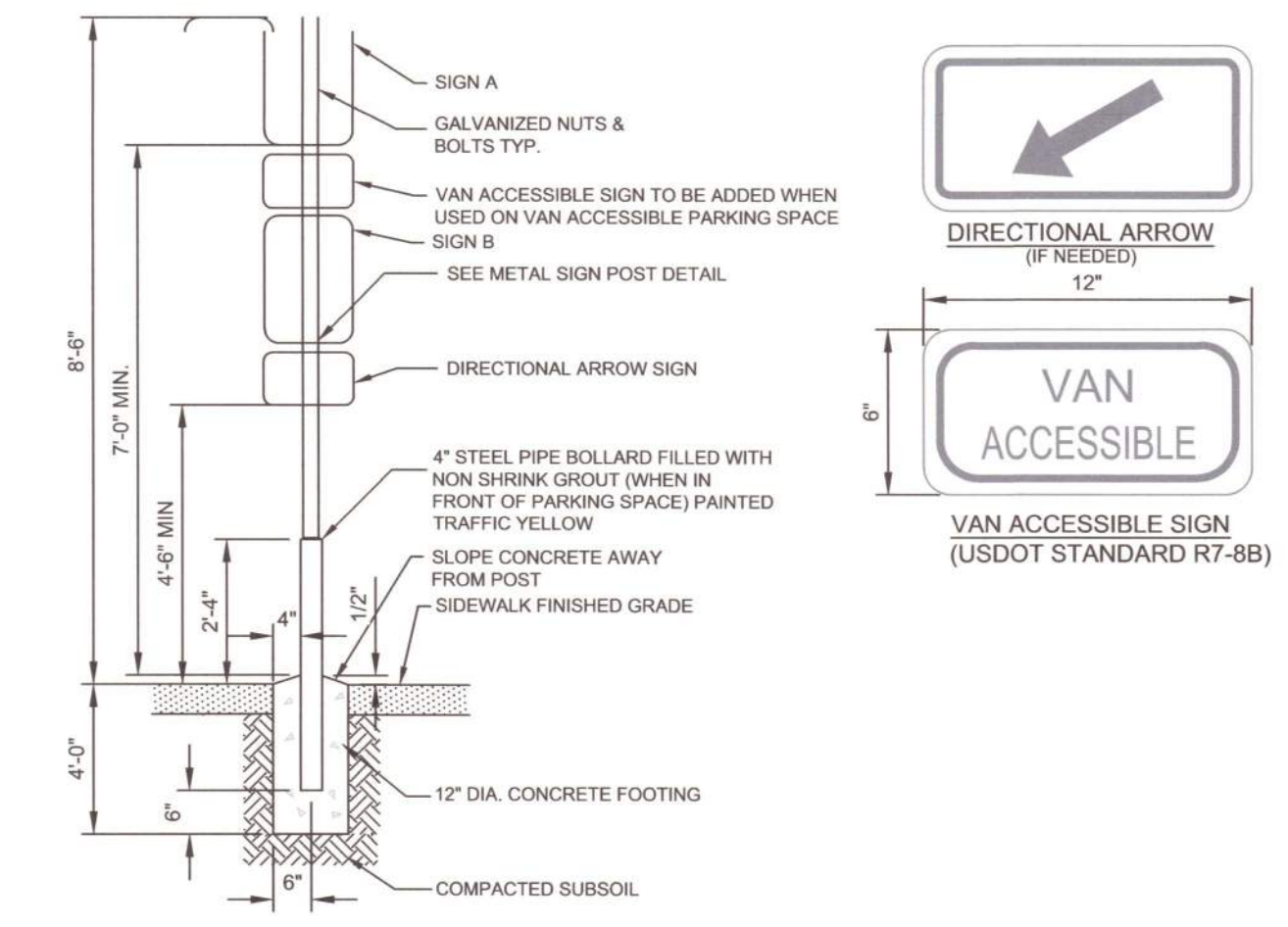
SCALED ENGINEERING  
 Scaled Engineering Inc.  
 20246 Coastal Highway  
 Rehoboth Beach, DE 19971  
 Phone: (302) 236-3600

**DESTINY APARTMENTS**  
 TAX PARCEL NO. 334-13.00-5.00  
 PARSONAGE ROAD (SR 270-A)  
 REHOBOTH BEACH, SUSSEX COUNTY, DE

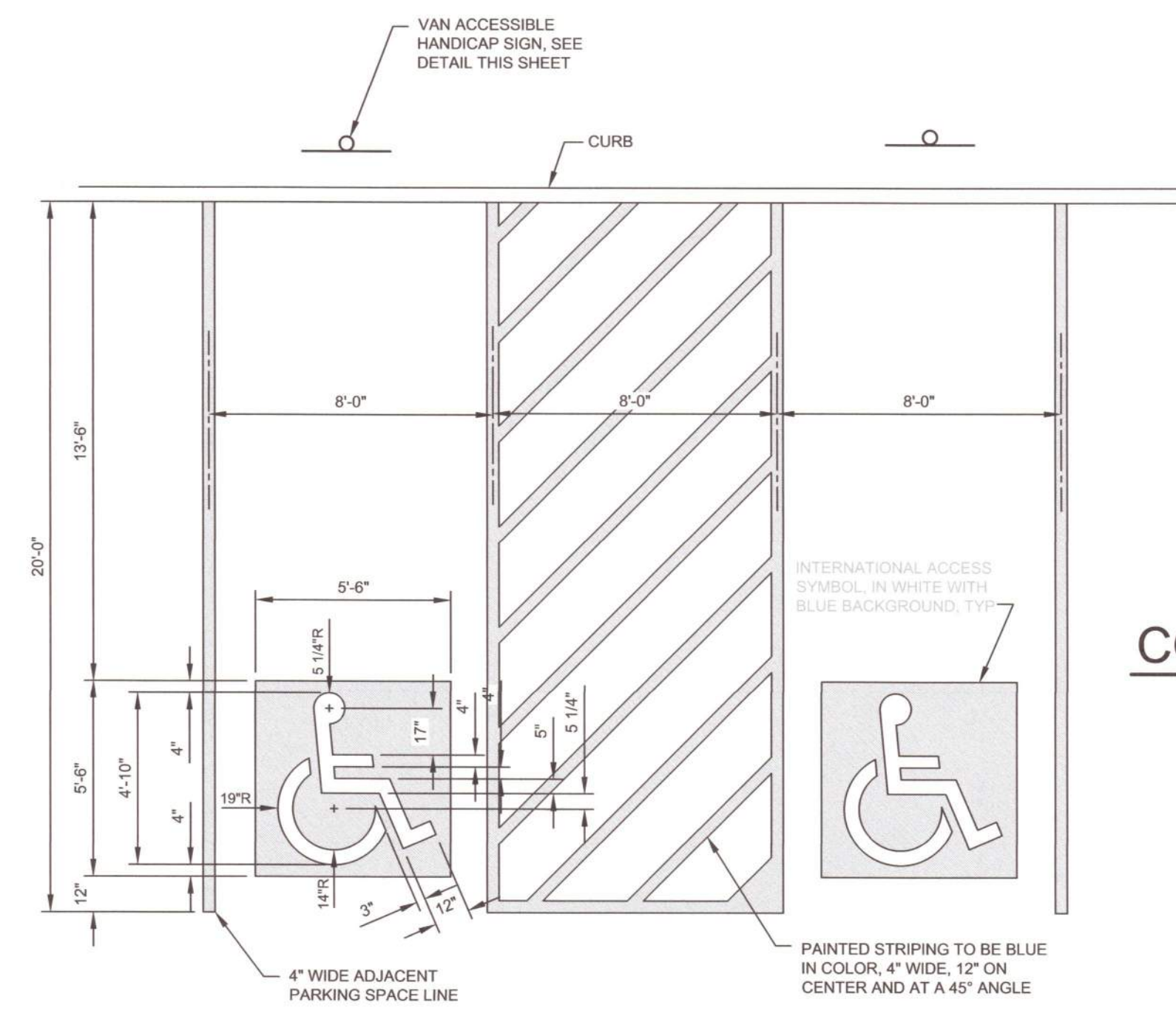
ISSUE / REVISION BLOCK  
 5/26/2020 - SUSSEX COUNTY P & Z  
 6/25/2020 - FIRE MARSHAL  
 9/2/2020 - SUSSEX COUNTY P & Z PRELIMINARY APPROVAL  
 9/14/2020 - DELDOT SUBMISSION 1  
 9/14/2020 - OFFICE OF DRINKING WATER APPROVAL  
 9/18/2020 - SCD COMMENTS  
 9/29/2020 - SUSSEX COUNTY DEPT. OF ENGINEERING COMMENTS  
 10/08/2020 - SCD SUBMISSION 2  
 10/09/2020 - DELDOT SUBMISSION 2  
 10/12/2020 - TIDEWATER COMMENTS  
 10/29/2020 - SCD FINAL SUBMISSION

SCALE	PROJECT #	DRAWN BY
AS NOTED	HKE5001	GJB
DRAWING NUMBER		

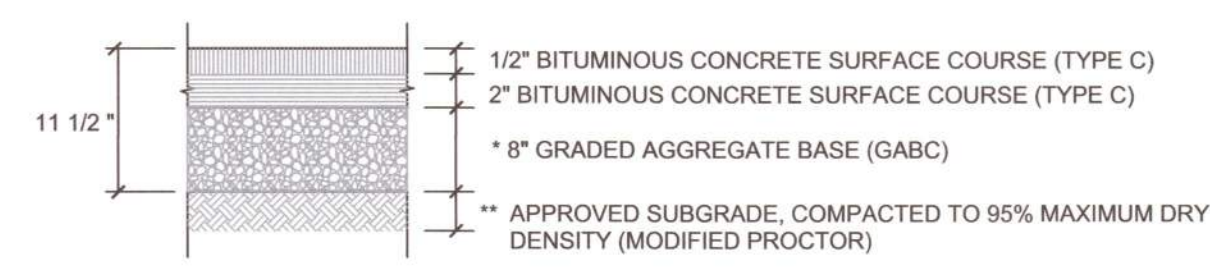
SD-1



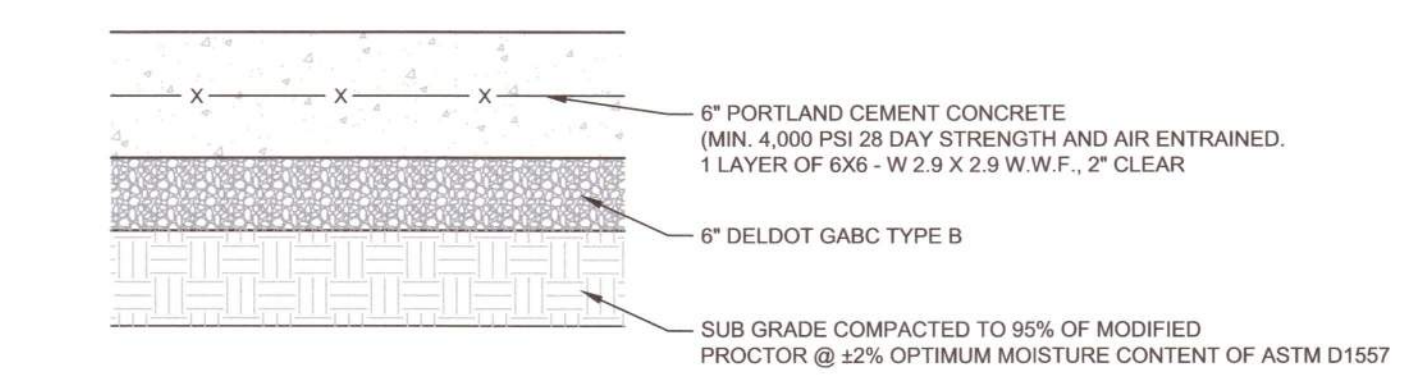
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 NOT TO SCALE



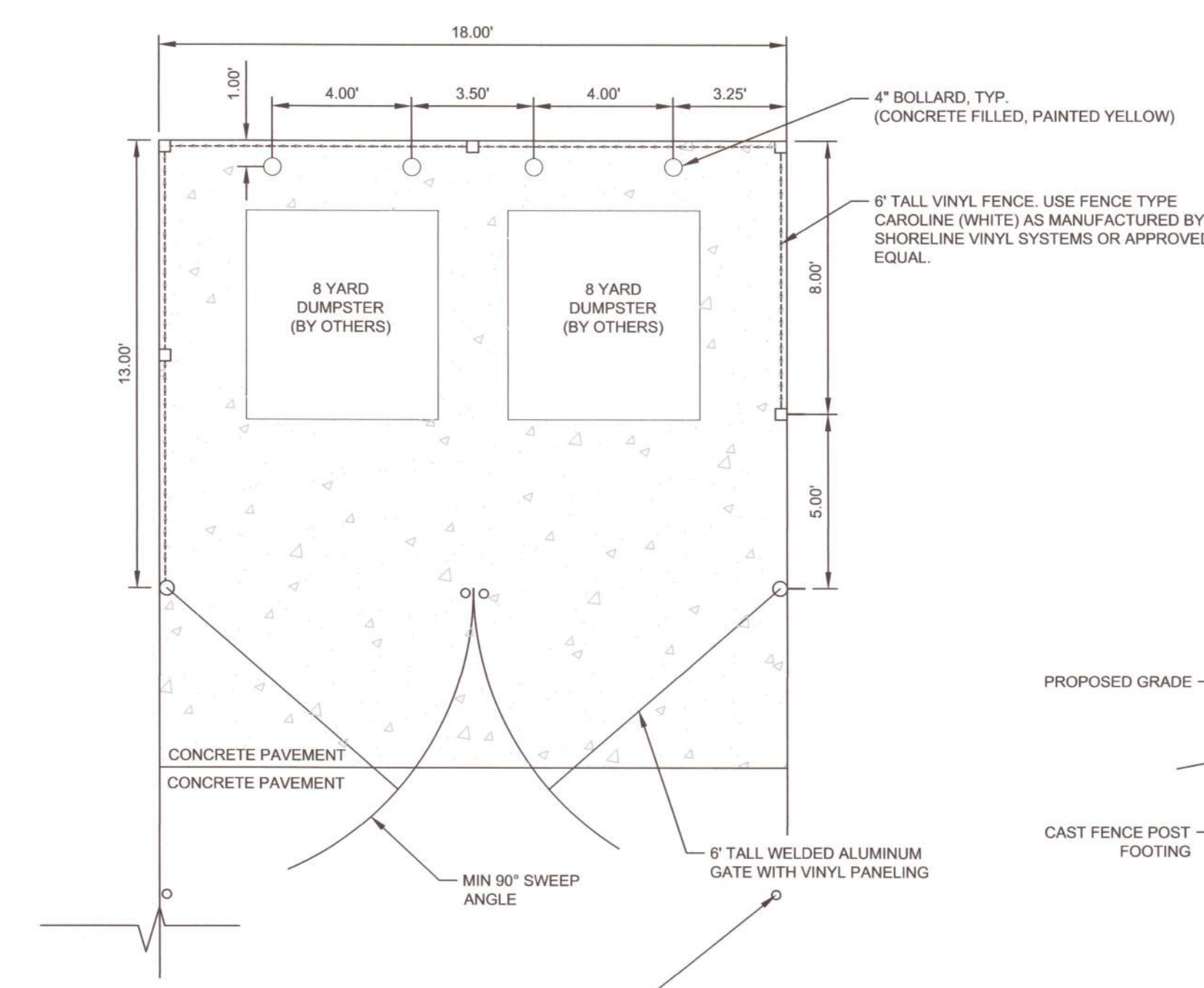
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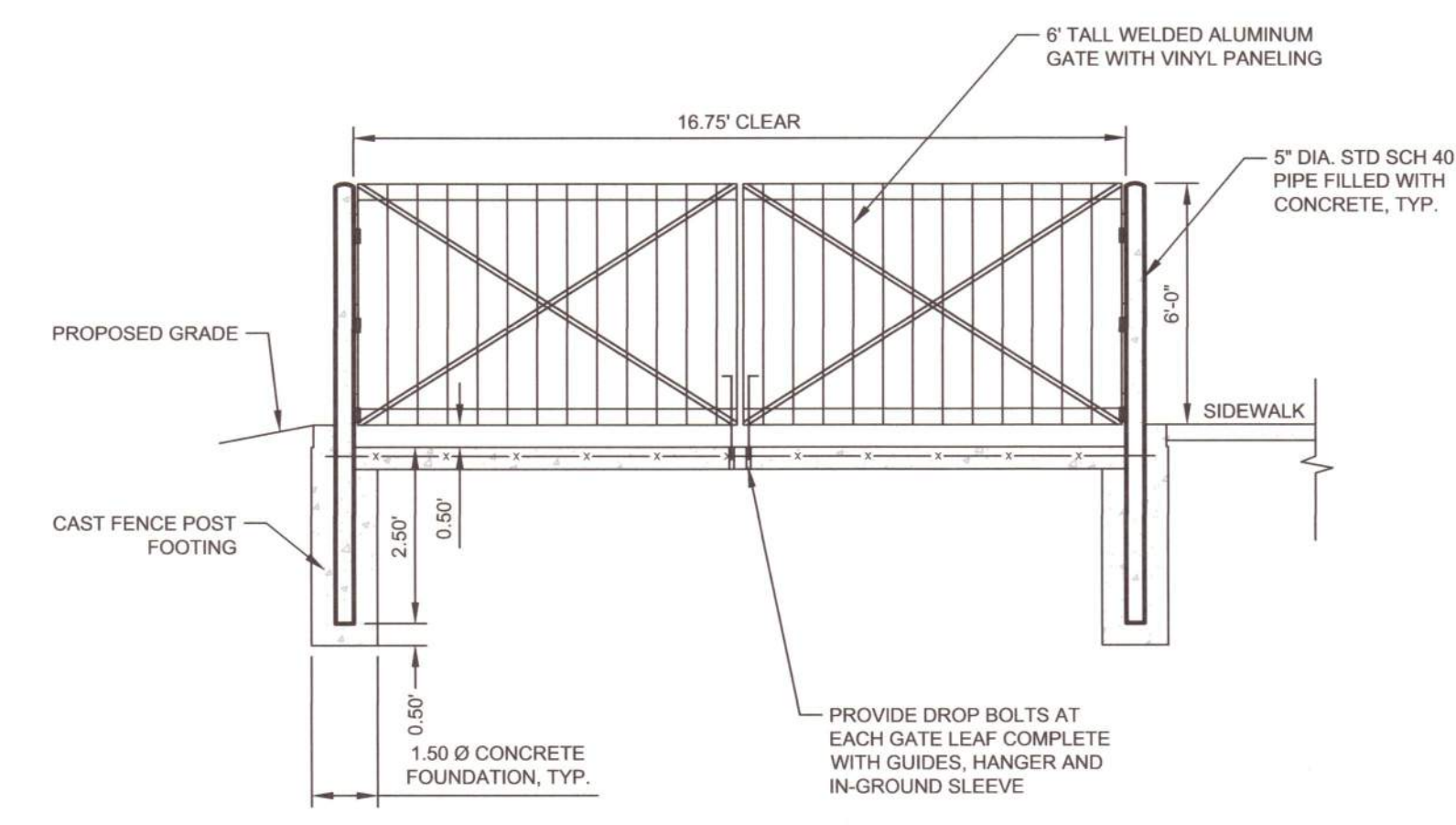
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 NOT TO SCALE



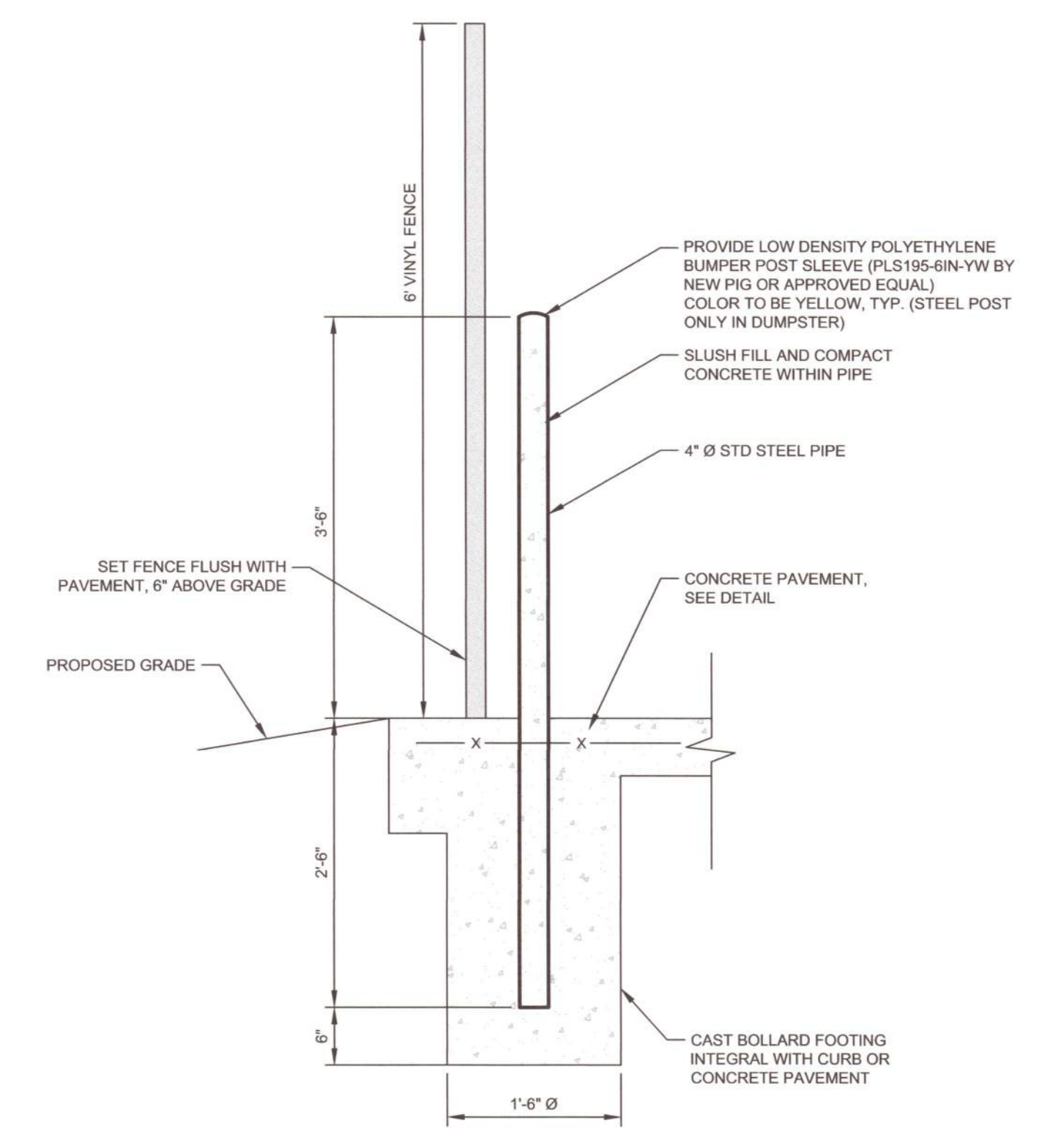
**CONCRETE DUMPSTER PAD & PAVING DETAIL**  
 NOT TO SCALE



**DUMPSTER DETAIL - PLAN**  
 NOT TO SCALE

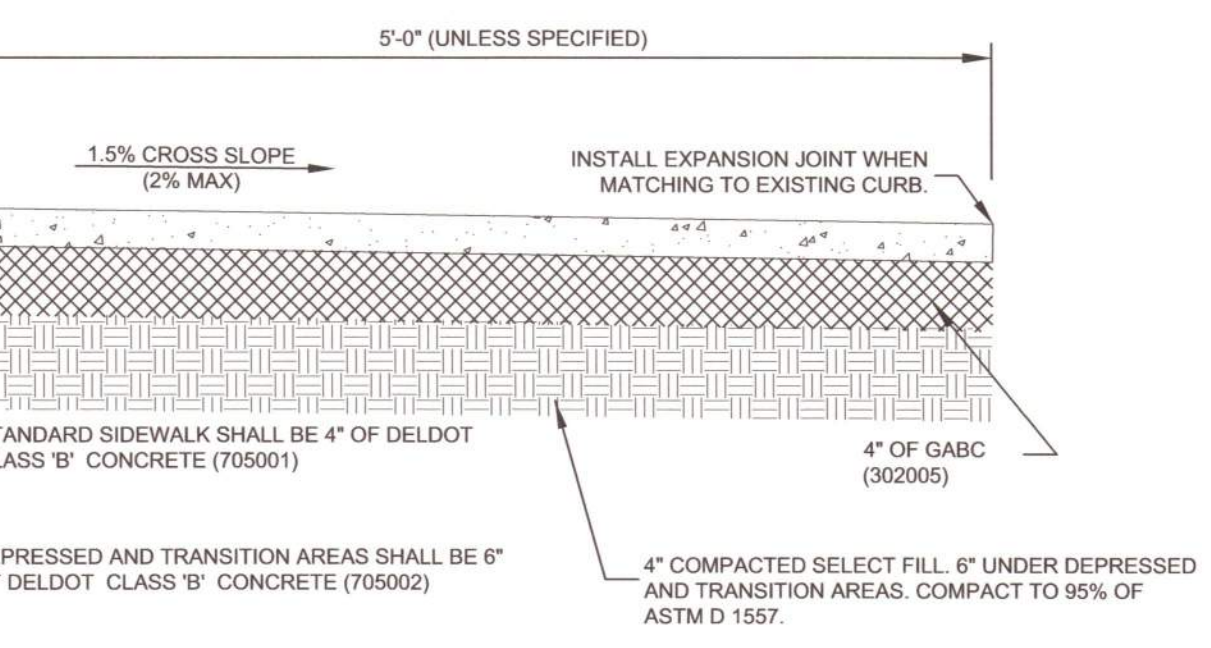
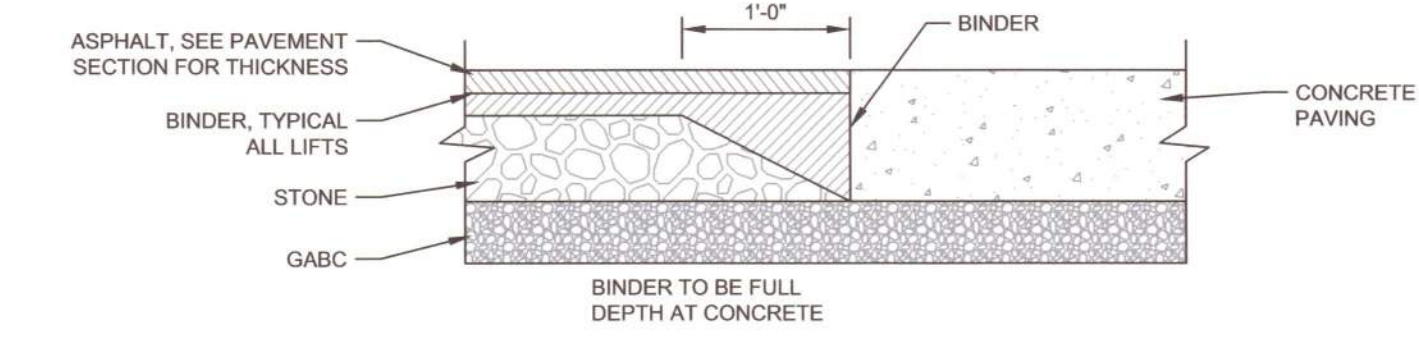


**DUMPSTER DETAIL - GATE**  
 NOT TO SCALE

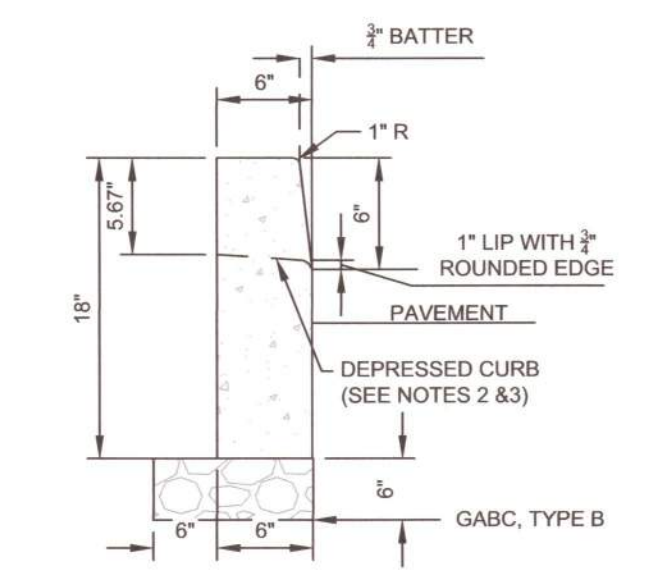


**DUMPSTER DETAIL - BOLLARD**  
 NOT TO SCALE

**CONCRETE TO ASPHALT PAVEMENT TIE-IN DETAIL**  
 NOT TO SCALE



**CONCRETE SIDEWALK DETAIL**  
 NOT TO SCALE

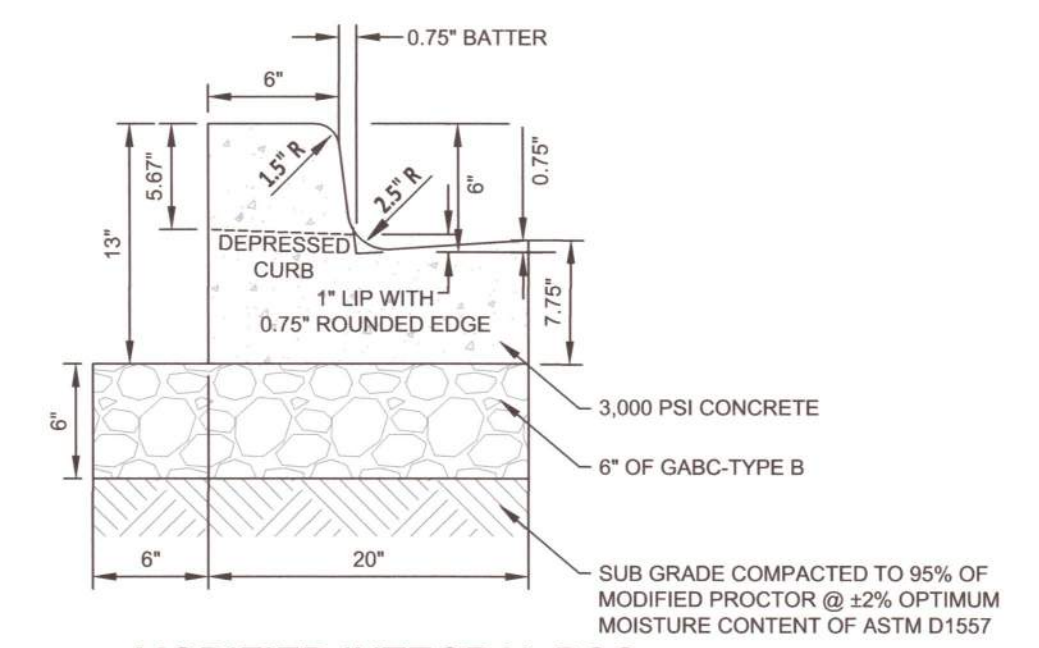


**MODIFIED P.C.C CURB TYPE 1-6**

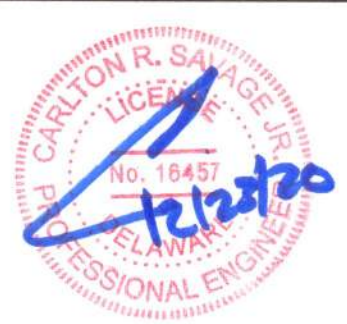
- NOTES:  
 1. PROVIDE 3/4" PRE-MOLDED EXPANSION JOINTS @ 15'-0" MAX. SPACING.  
 2. TAPERED END SECTIONS TO BE USED AT ALL TERMINAL POINTS.  
 3. 3,000 PSI CONCRETE.

**CURB DETAIL**  
 NOT TO SCALE

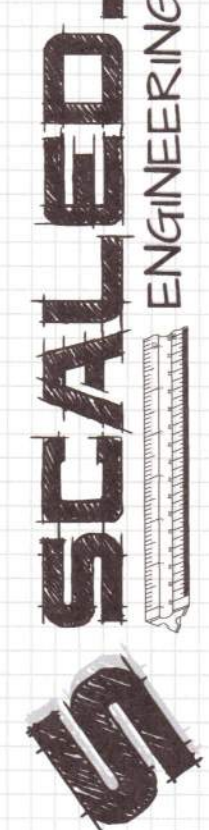
**MODIFIED INTEGRAL PCC CURB AND GUTTER DETAIL**  
 NOT TO SCALE







Scaled Engineering Inc.  
26246 Coastal Highway  
Rehoboth Beach, DE 19711  
Phone: (302) 236-3610



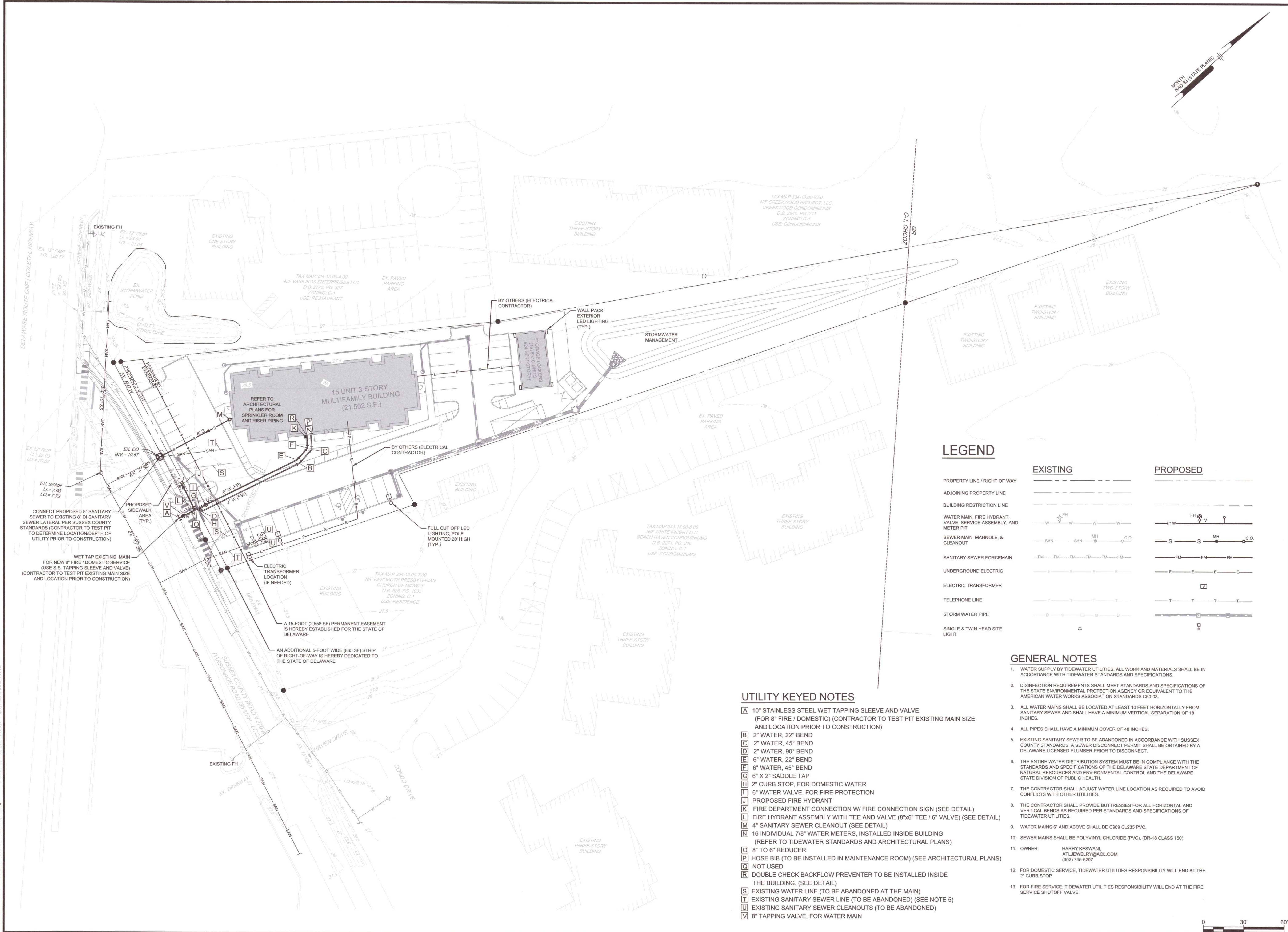
UTILITY PLAN

**DESTINY APARTMENTS**  
TAX PARCEL NO. 334-13.00-5.00  
PARSONAGE ROAD (SR 270-A)  
REHOBOTH BEACH, SUSSEX COUNTY, DE

ISSUE / REVISION BLOCK	DATE	BY
5/28/2020 - SUSSEX COUNTY P & Z		
5/29/2020 - FIRE MARSHAL		
6/25/2020 - SUSSEX COUNTY P & Z PRELIMINARY APPROVAL		
9/2/2020 - DELDOT SUBMISSION 1		
9/14/2020 - OFFICE OF DRINKING WATER APPROVAL		
9/18/2020 - SCD COMMENTS		
9/29/2020 - SUSSEX COUNTY DEPT. OF ENGINEERING COMMENTS		
10/08/2020 - SCD SUBMISSION 2		
10/09/2020 - DELDOT SUBMISSION 2		
10/12/2020 - TIDEWATER COMMENTS		
10/29/2020 - SCD FINAL SUBMISSION		
11/09/2020 - TIDEWATER COMMENTS		
12/09/2020 - SUSSEX COUNTY P & Z		

SCALE	PROJECT #	DRAWN BY
1" = 30'	HKES001	GJB

DRAWING NUMBER  
**U-1**



### LEGEND

	EXISTING	PROPOSED
PROPERTY LINE / RIGHT OF WAY	---	---
ADJOINING PROPERTY LINE	---	---
BUILDING RESTRICTION LINE	---	---
WATER MAIN, FIRE HYDRANT, VALVE, SERVICE ASSEMBLY, AND METER PIT	W	W
SEWER MAIN, MAHNOLE, & CLEANOUT	SAN	SAN
SANITARY SEWER FORCEMAIN	FM	FM
UNDERGROUND ELECTRIC	E	E
ELECTRIC TRANSFORMER	□	□
TELEPHONE LINE	T	T
STORM WATER PIPE	D	D
SINGLE & TWIN HEAD SITE LIGHT	☆	☆

### GENERAL NOTES

- WATER SUPPLY BY TIDEWATER UTILITIES. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH TIDEWATER STANDARDS AND SPECIFICATIONS.
- DISINFECTION REQUIREMENTS SHALL MEET STANDARDS AND SPECIFICATIONS OF THE STATE ENVIRONMENTAL PROTECTION AGENCY OR EQUIVALENT TO THE AMERICAN WATER WORKS ASSOCIATION STANDARDS C60-08.
- ALL WATER MAINS SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM SANITARY SEWER AND SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18 INCHES.
- ALL PIPES SHALL HAVE A MINIMUM COVER OF 48 INCHES.
- EXISTING SANITARY SEWER TO BE ABANDONED IN ACCORDANCE WITH SUSSEX COUNTY STANDARDS. A SEWER DISCONNECT PERMIT SHALL BE OBTAINED BY A DELAWARE LICENSED PLUMBER PRIOR TO DISCONNECT.
- THE ENTIRE WATER DISTRIBUTION SYSTEM MUST BE IN COMPLIANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE STATE DIVISION OF PUBLIC HEALTH.
- THE CONTRACTOR SHALL ADJUST WATER LINE LOCATION AS REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
- THE CONTRACTOR SHALL PROVIDE BUTTRESSES FOR ALL HORIZONTAL AND VERTICAL BENDS AS REQUIRED PER STANDARDS AND SPECIFICATIONS OF TIDEWATER UTILITIES.
- WATER MAINS 6" AND ABOVE SHALL BE C909 CL235 PVC.
- SEWER MAINS SHALL BE POLY(VINYL CHLORIDE) (PVC), (DR-18 CLASS 150)
- OWNER: HARRY KESWANI, ATLIJEWELRY@AOL.COM (302) 745-6207
- FOR DOMESTIC SERVICE, TIDEWATER UTILITIES RESPONSIBILITY WILL END AT THE 2" CURB STOP.
- FOR FIRE SERVICE, TIDEWATER UTILITIES RESPONSIBILITY WILL END AT THE FIRE SERVICE SHUTOFF VALVE.

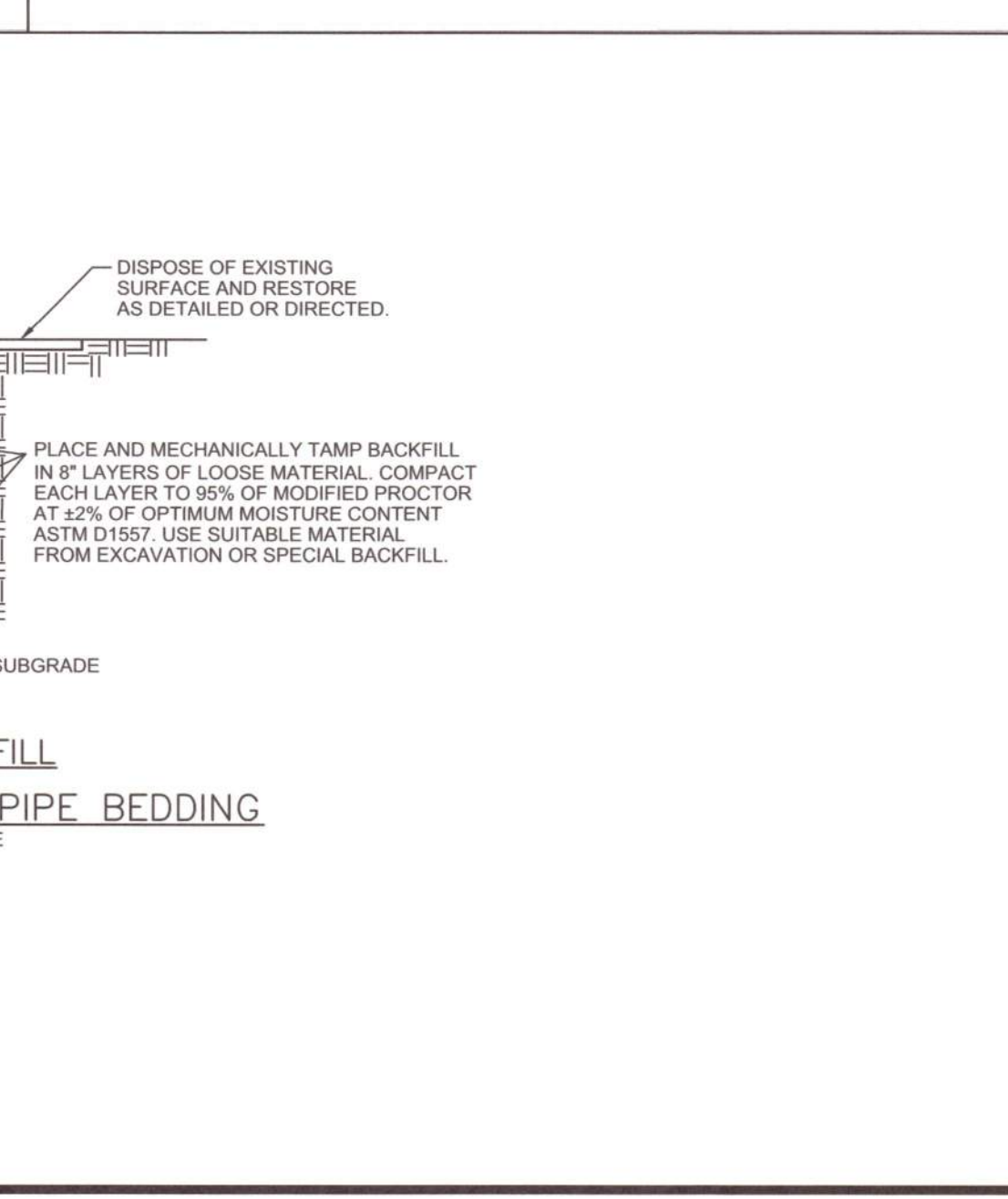
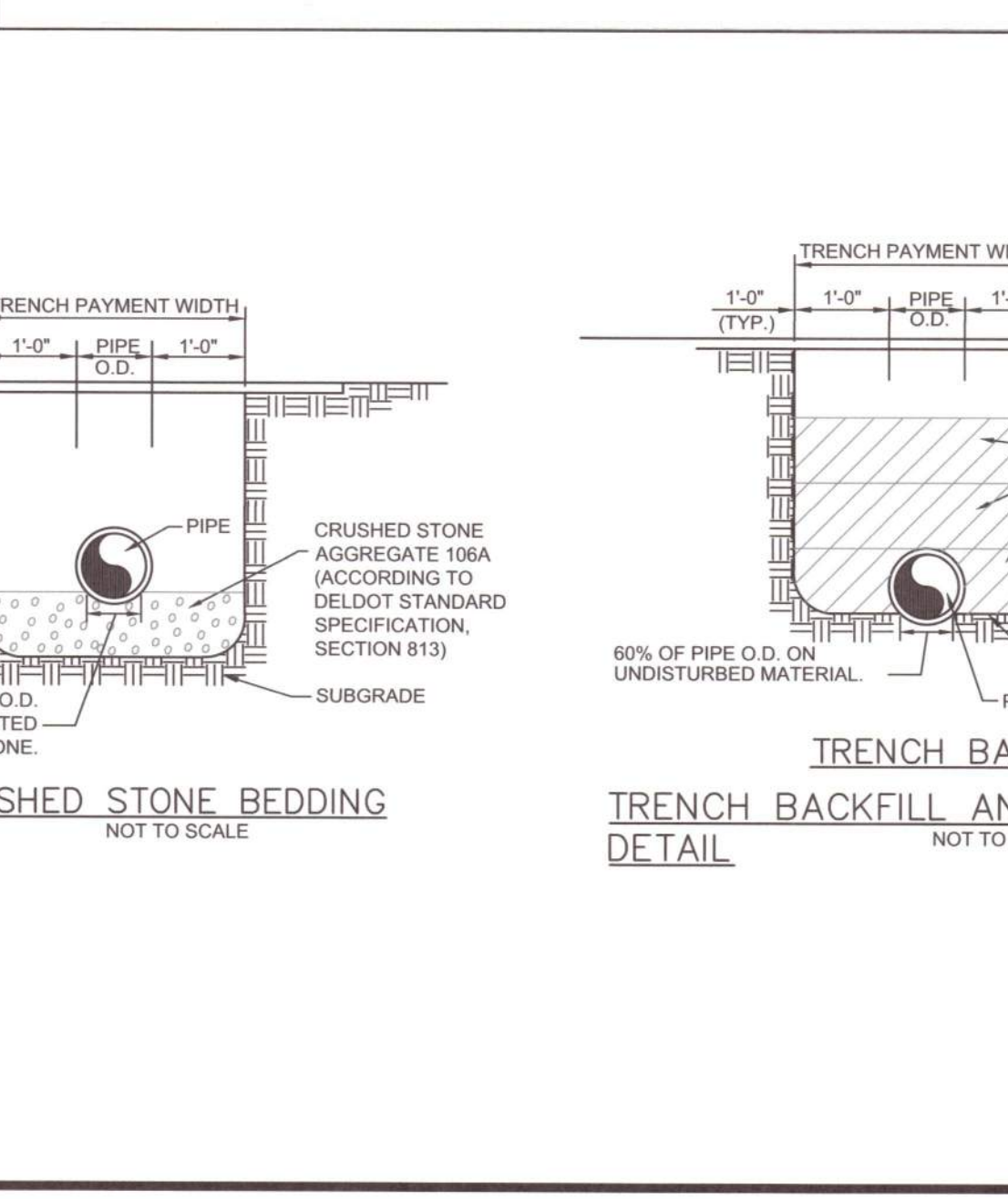
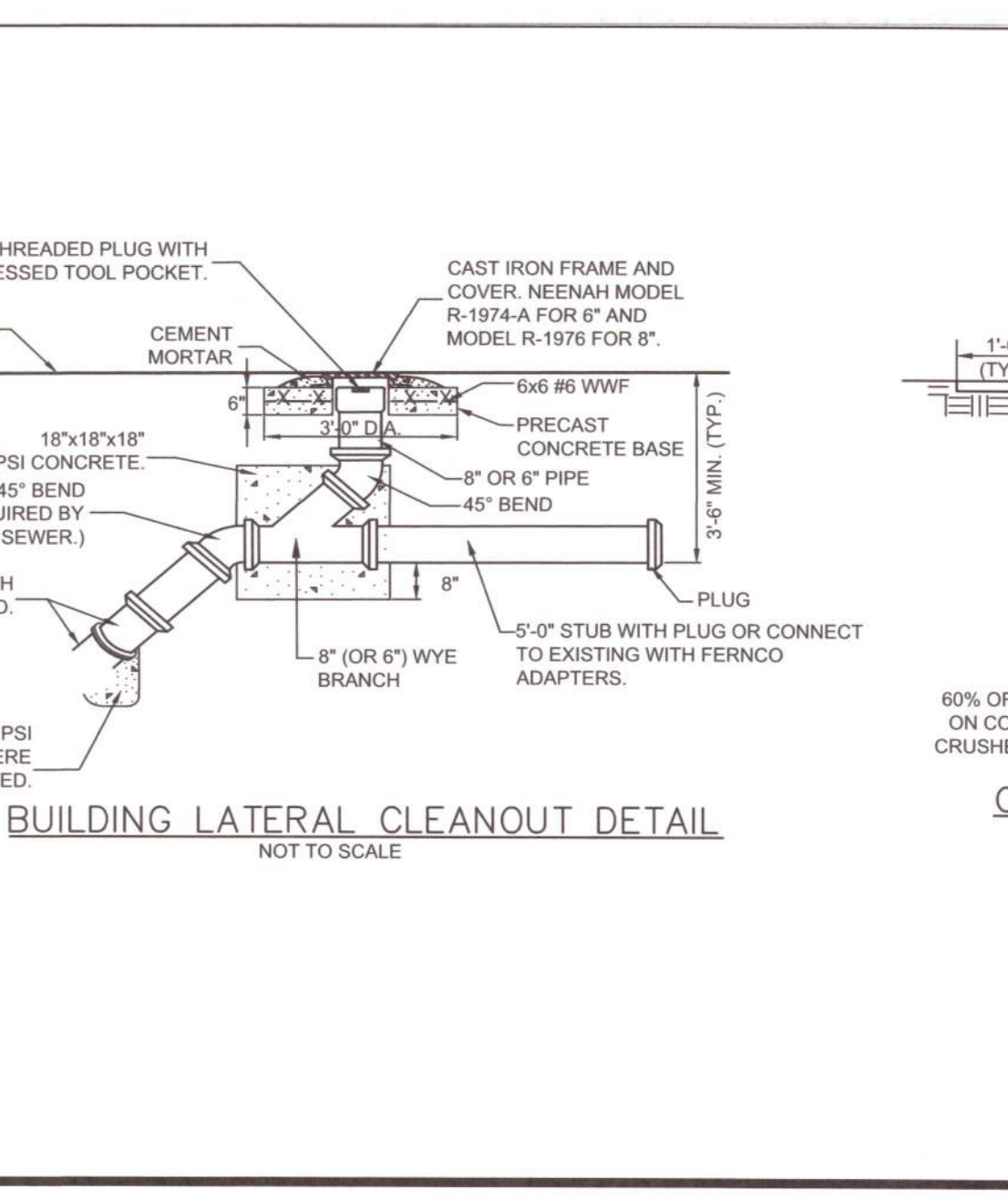
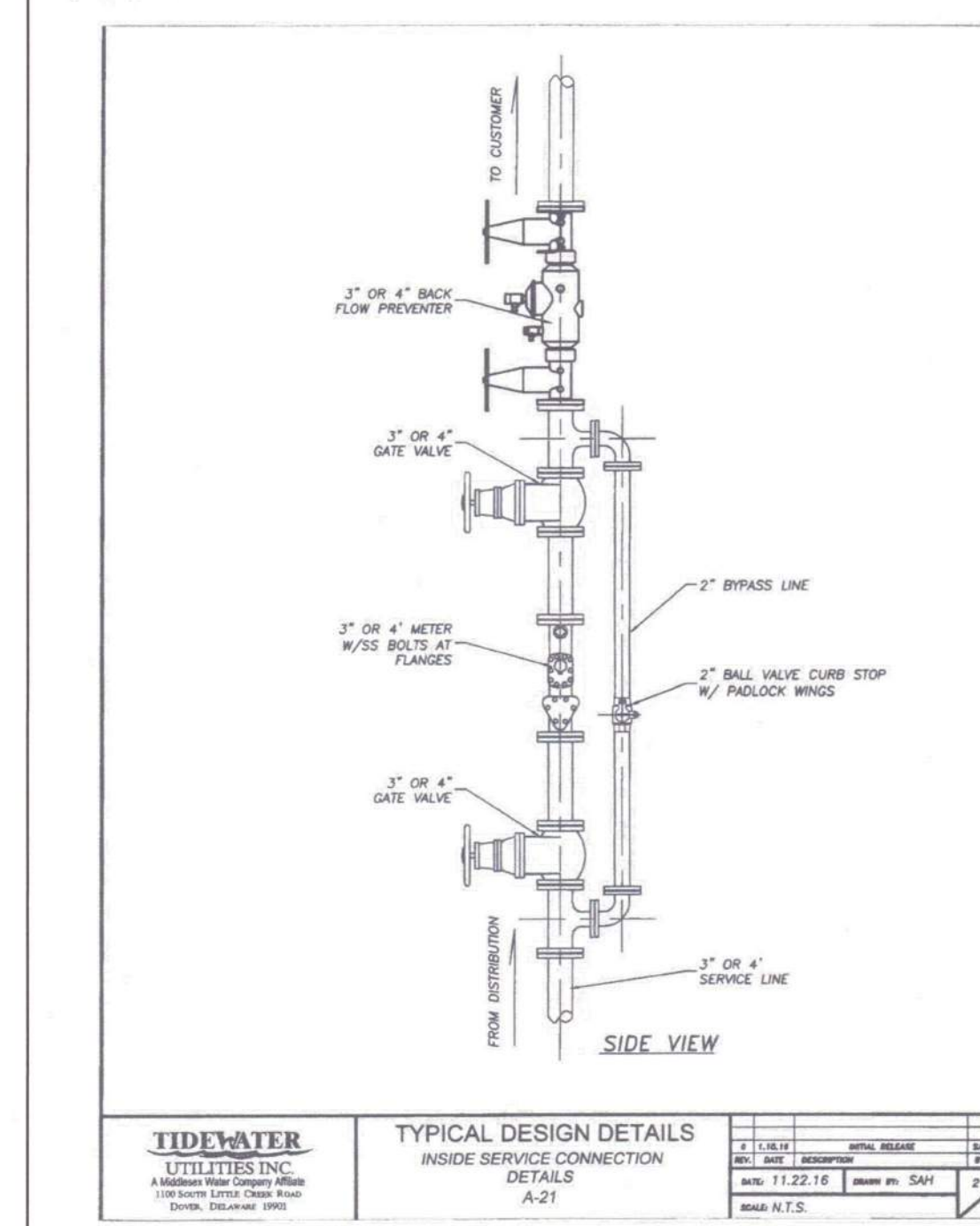
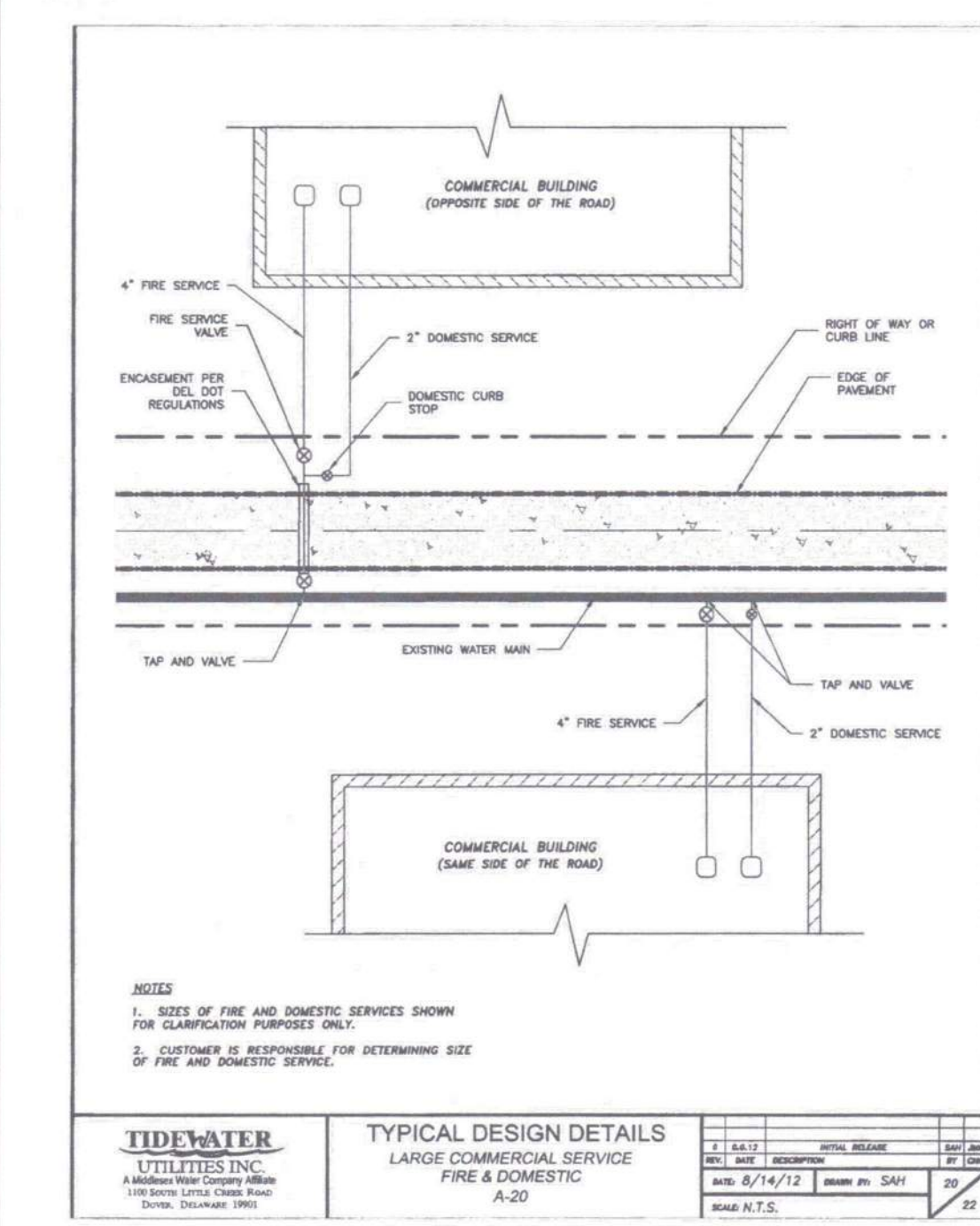
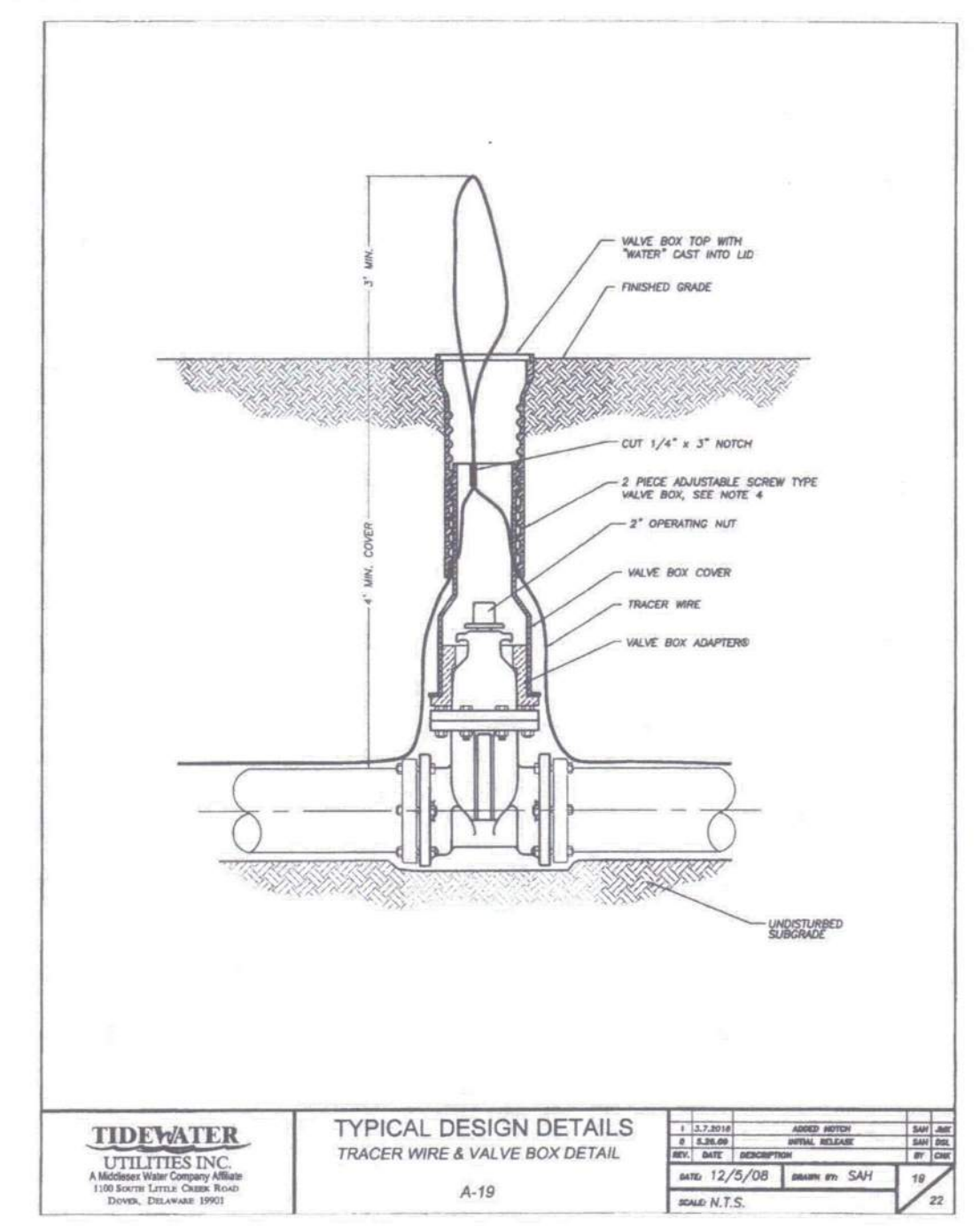
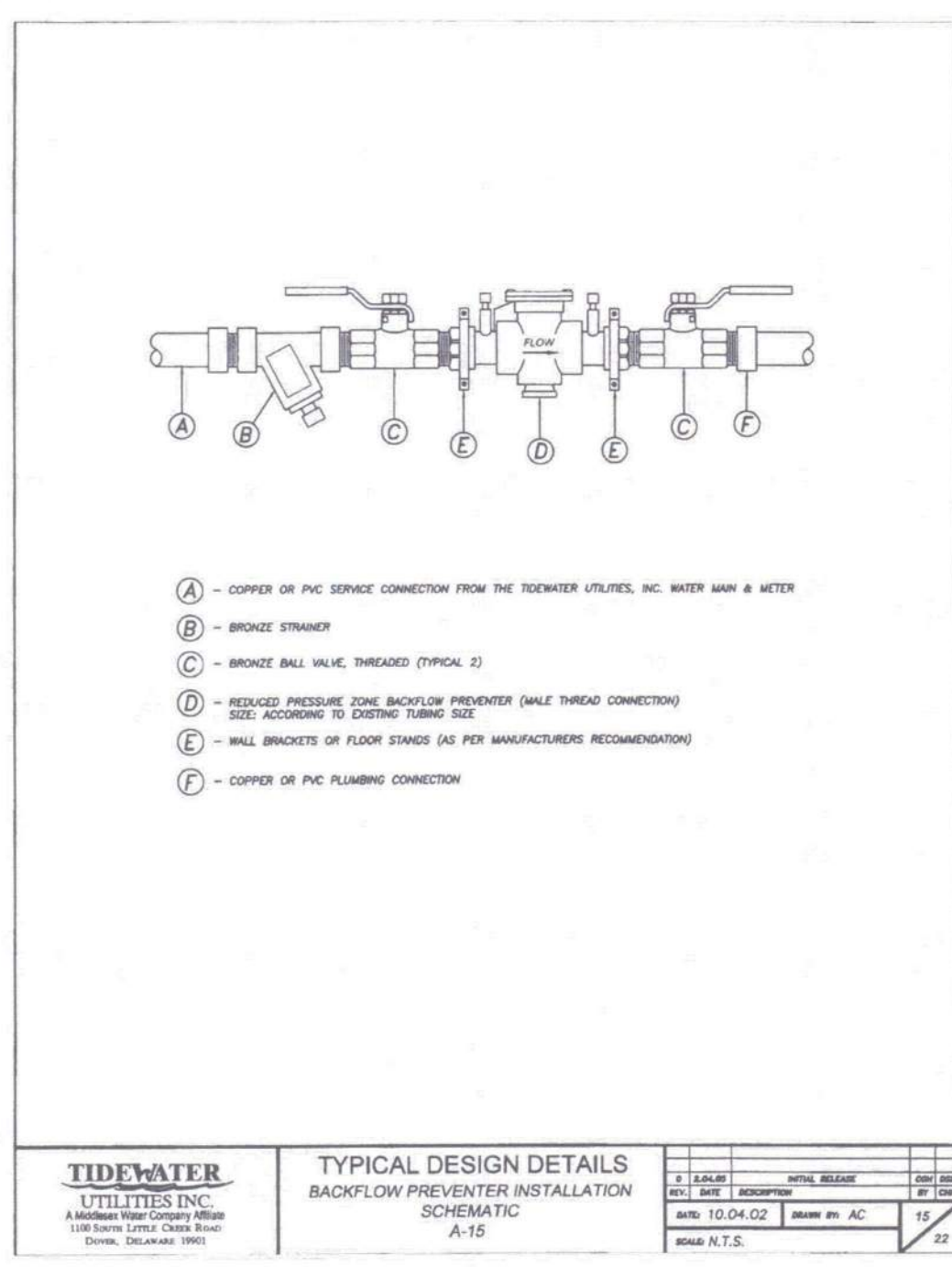
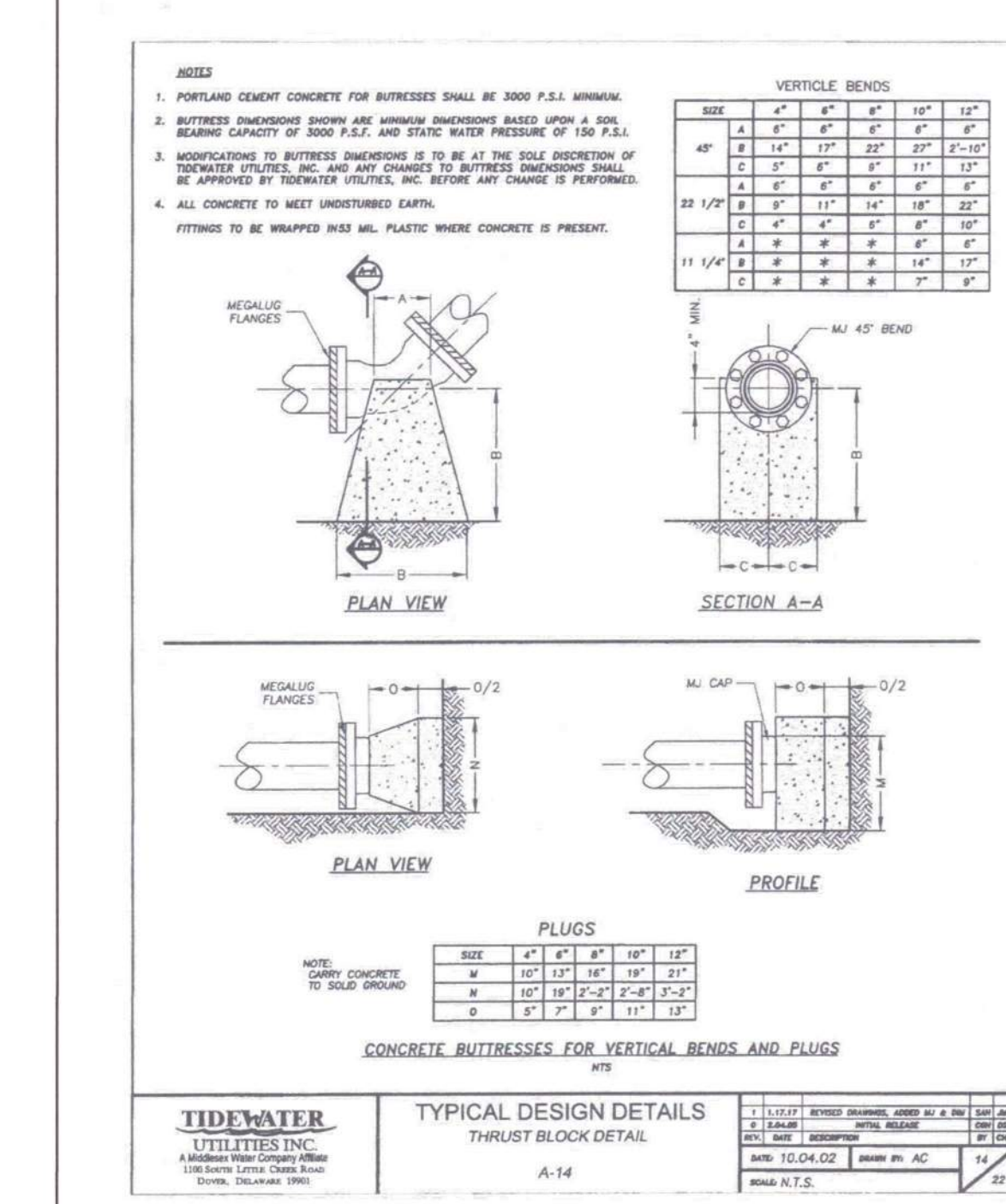
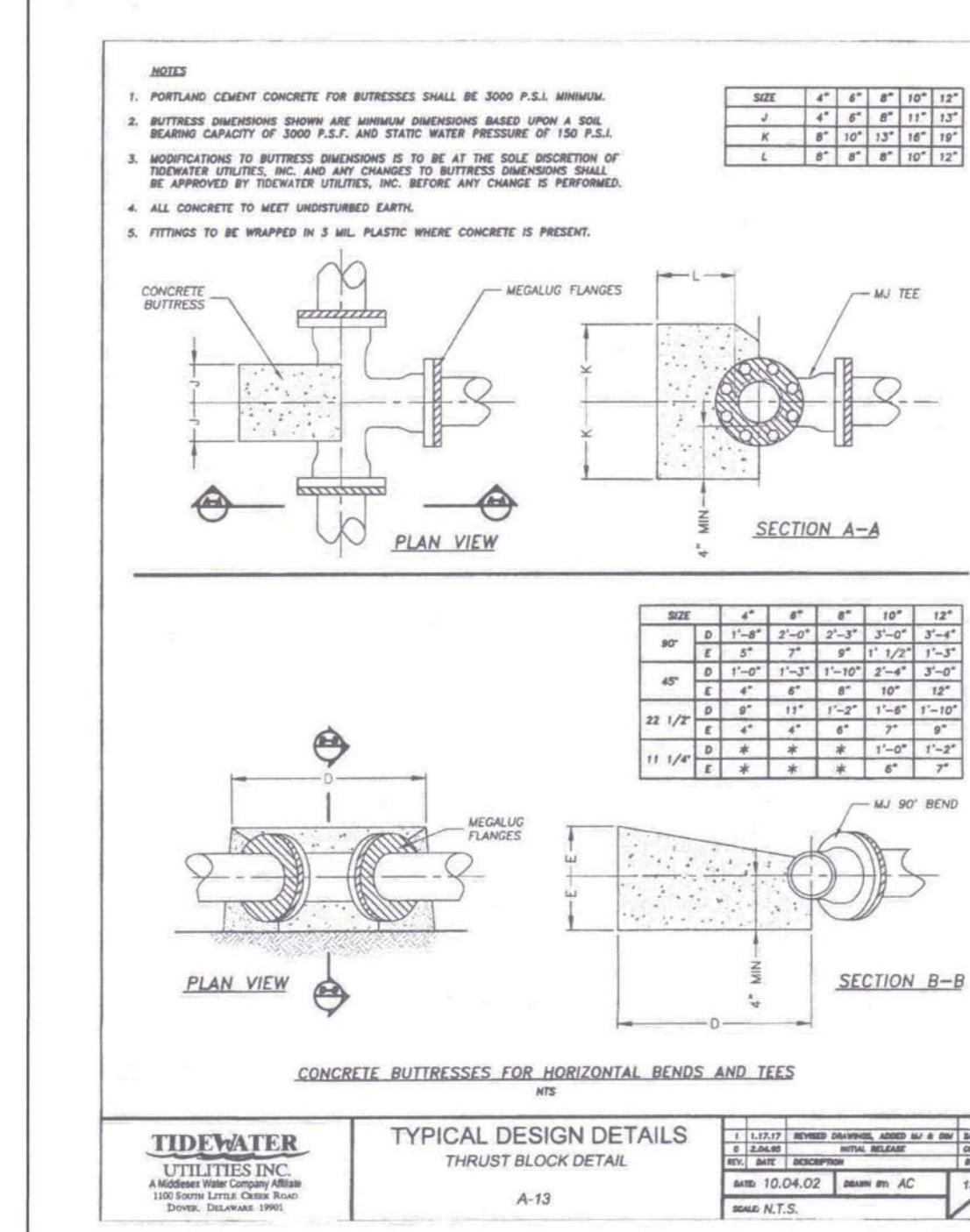
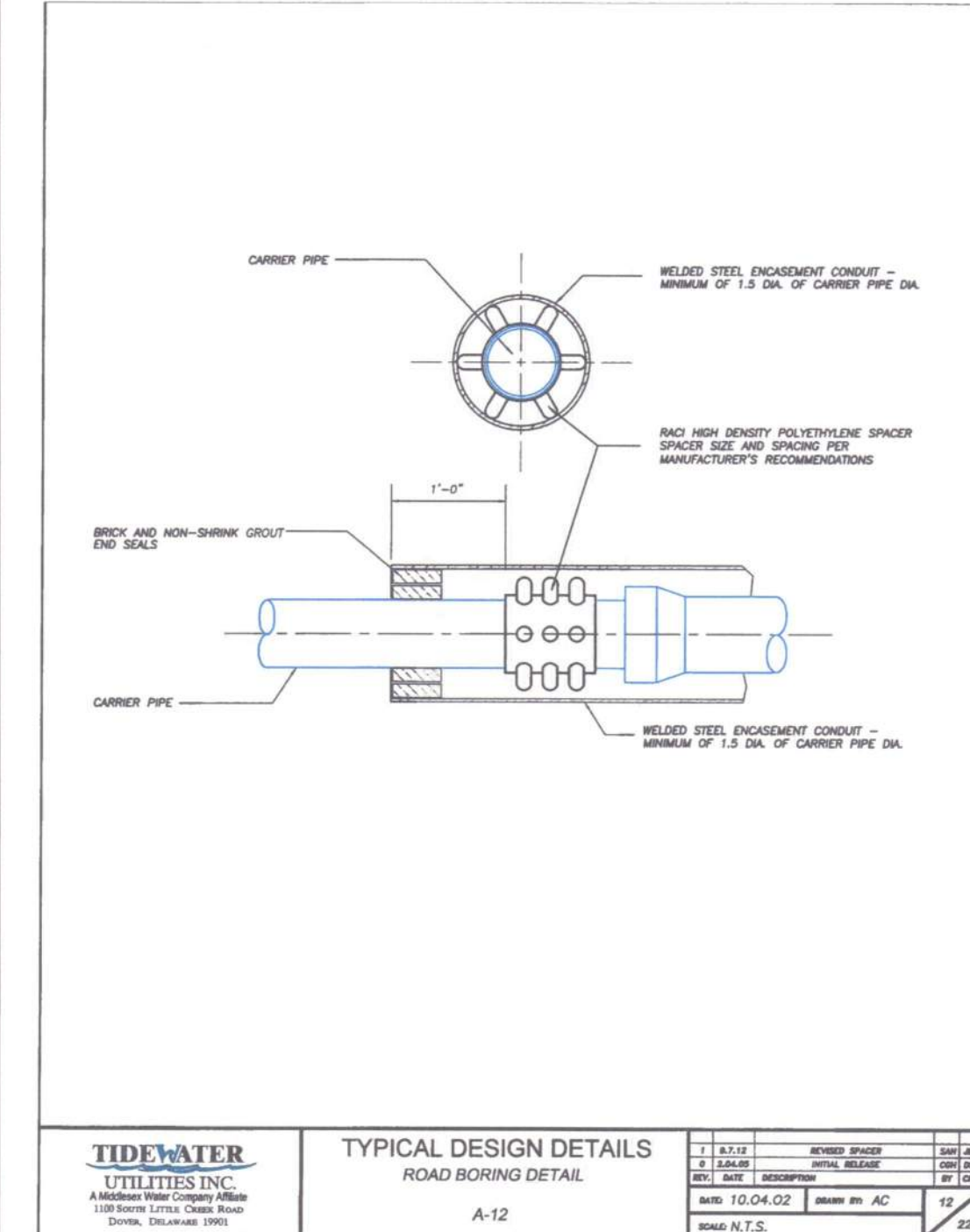
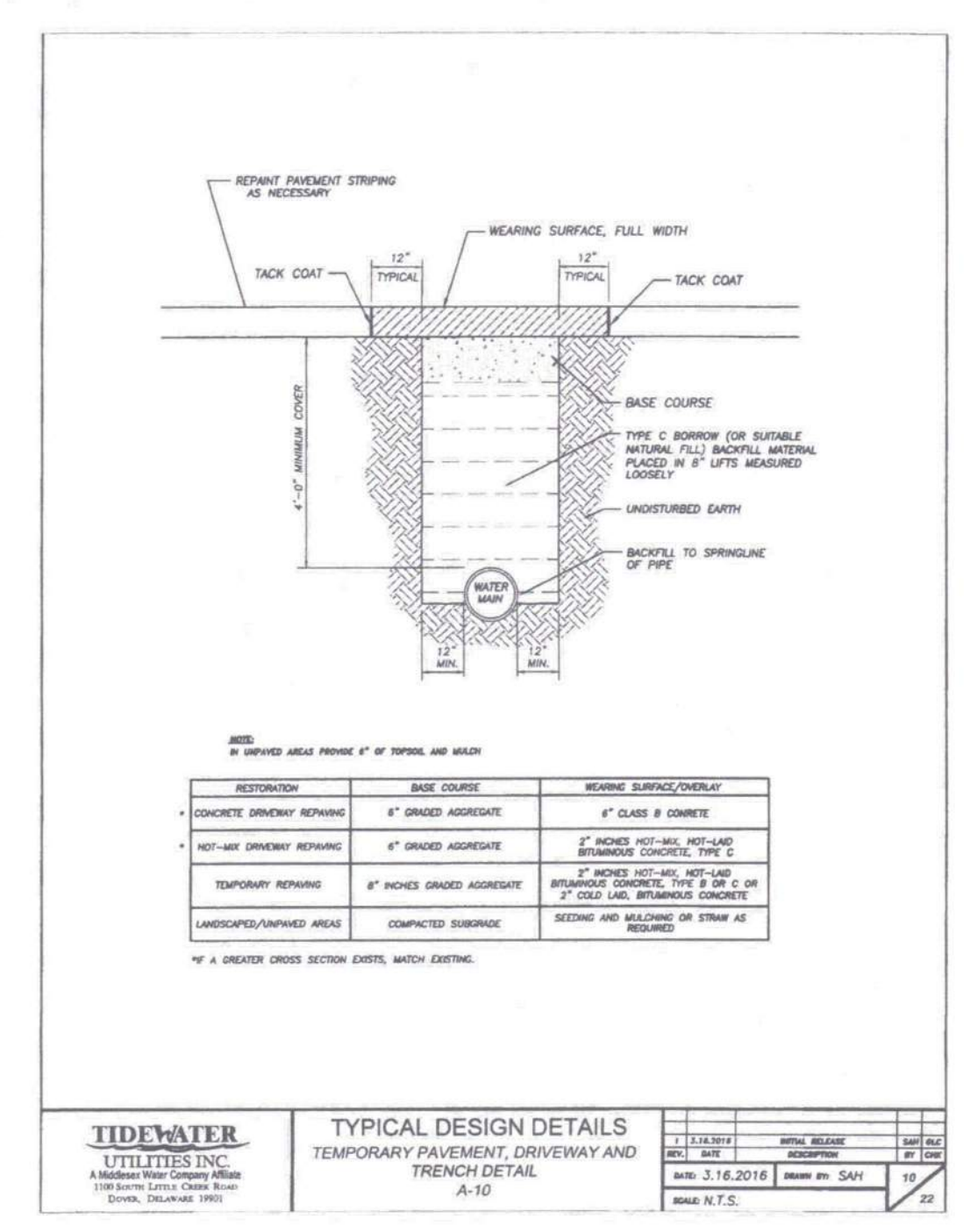
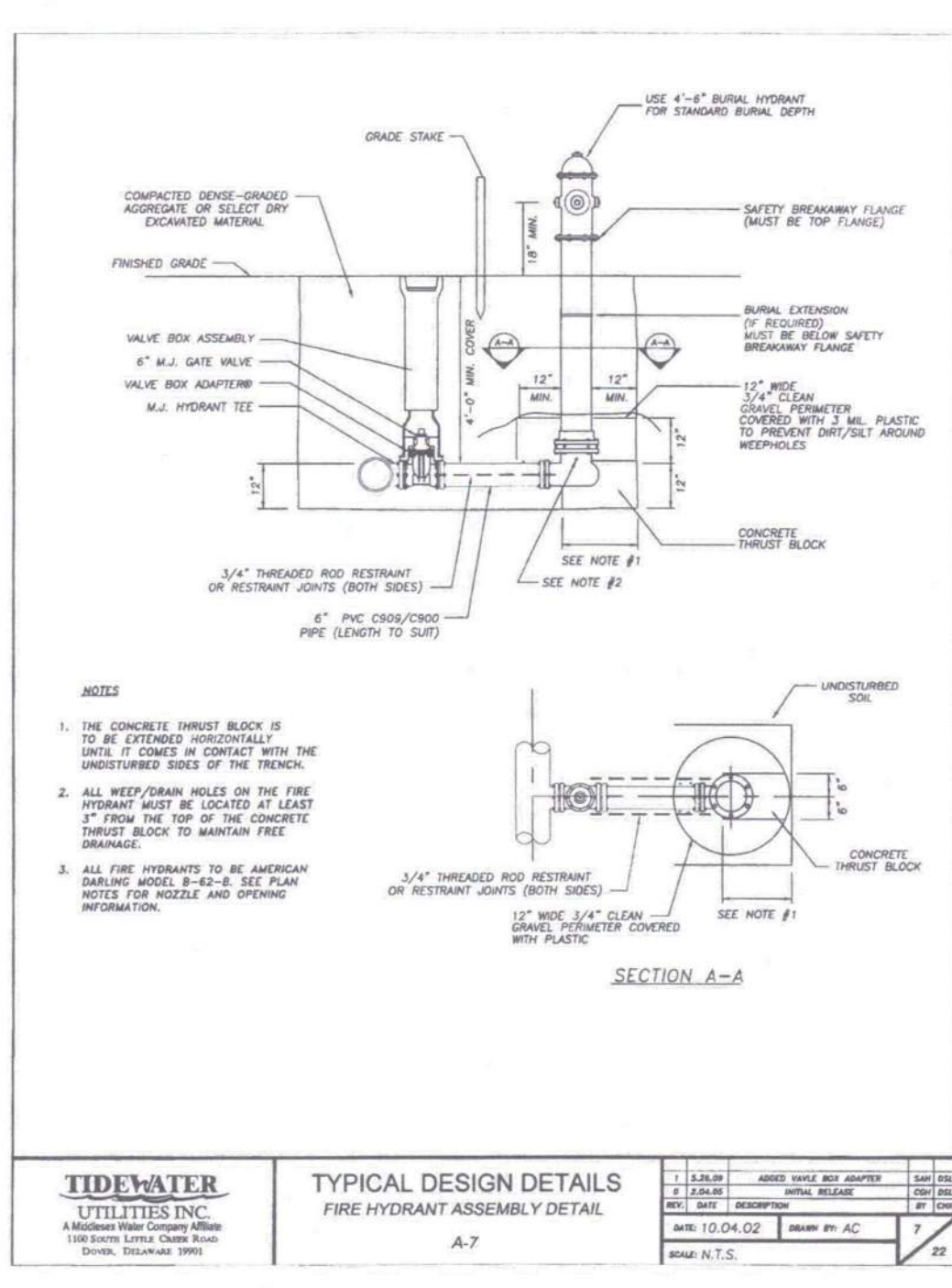
### UTILITY KEYED NOTES

- A** 10" STAINLESS STEEL WET TAPPING SLEEVE AND VALVE (FOR 8" FIRE / DOMESTIC) (CONTRACTOR TO TEST PIT EXISTING MAIN SIZE AND LOCATION PRIOR TO CONSTRUCTION)
- B** 2" WATER, 22° BEND
- C** 2" WATER, 45° BEND
- D** 2" WATER, 90° BEND
- E** 6" WATER, 22° BEND
- F** 6" WATER, 45° BEND
- G** 6" X 2" SADDLE TAP
- H** 2" CURB STOP, FOR DOMESTIC WATER
- I** 6" WATER VALVE, FOR FIRE PROTECTION
- J** PROPOSED FIRE HYDRANT
- K** FIRE DEPARTMENT CONNECTION W/ FIRE CONNECTION SIGN (SEE DETAIL)
- L** FIRE HYDRANT ASSEMBLY WITH TEE AND VALVE (8"x6" TEE / 6" VALVE) (SEE DETAIL)
- M** 4" SANITARY SEWER CLEANOUT (SEE DETAIL)
- N** 16 INDIVIDUAL 7/8" WATER METERS, INSTALLED INSIDE BUILDING (REFER TO TIDEWATER STANDARDS AND ARCHITECTURAL PLANS)
- O** 8" TO 6" REDUCER
- P** HOSE BIB (TO BE INSTALLED IN MAINTENANCE ROOM) (SEE ARCHITECTURAL PLANS)
- Q** NOT USED
- R** DOUBLE CHECK BACKFLOW PREVENTER TO BE INSTALLED INSIDE THE BUILDING. (SEE DETAIL)
- S** EXISTING WATER LINE (TO BE ABANDONED AT THE MAIN)
- T** EXISTING SANITARY SEWER LINE (TO BE ABANDONED) (SEE NOTE 5)
- U** EXISTING SANITARY SEWER CLEANOUTS (TO BE ABANDONED)
- V** 8" TAPPING VALVE, FOR WATER MAIN



PROJECT: HARRY KESWANI/DEVELOPMENT/SUSSEX/UTILITY PLAN.dwg PLOTTED: 12/21/2020 10:02 PM BY: JLF PLOTSTYLE: SCALED-ENG.dwt





Scaled Engineering, Inc.  
20246 Coastal Highway  
Rehoboth Beach, DE 19717  
Phone: (302) 236-3600

**SCALED ENGINEERING**  
UTILITY DETAILS

**DESTINY APARTMENTS**  
TAX PARCEL NO. 334-13.00-5.00  
PARSONAGE ROAD (SR 270-A)  
REHOBOTH BEACH, SUSSEX COUNTY, DE

ISSUE / REVISION BLOCK  
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PRELIMINARY APPROVAL  
9/2/2020 - DELDOT SUBMISSION 1  
9/14/2020 - OFFICE OF DRINKING  
WATER APPROVAL  
9/18/2020 - SCD COMMENTS  
9/29/2020 - SUSSEX COUNTY DEPT.  
OF ENGINEERING  
COMMENTS  
10/08/2020 - SCD SUBMISSION 2  
10/09/2020 - DELDOT SUBMISSION 2  
10/12/2020 - TIDEWATER COMMENTS  
10/29/2020 - SCD FINAL SUBMISSION  
11/09/2020 - TIDEWATER COMMENTS  
12/09/2020 - SUSSEX COUNTY P & Z

SCALE PROJECT # DRAWN BY  
AS NOTED HKES001 GJB  
DRAWING NUMBER

**U-2**



# DESTINY APARTMENTS

## SUSSEX COUNTY, DELAWARE

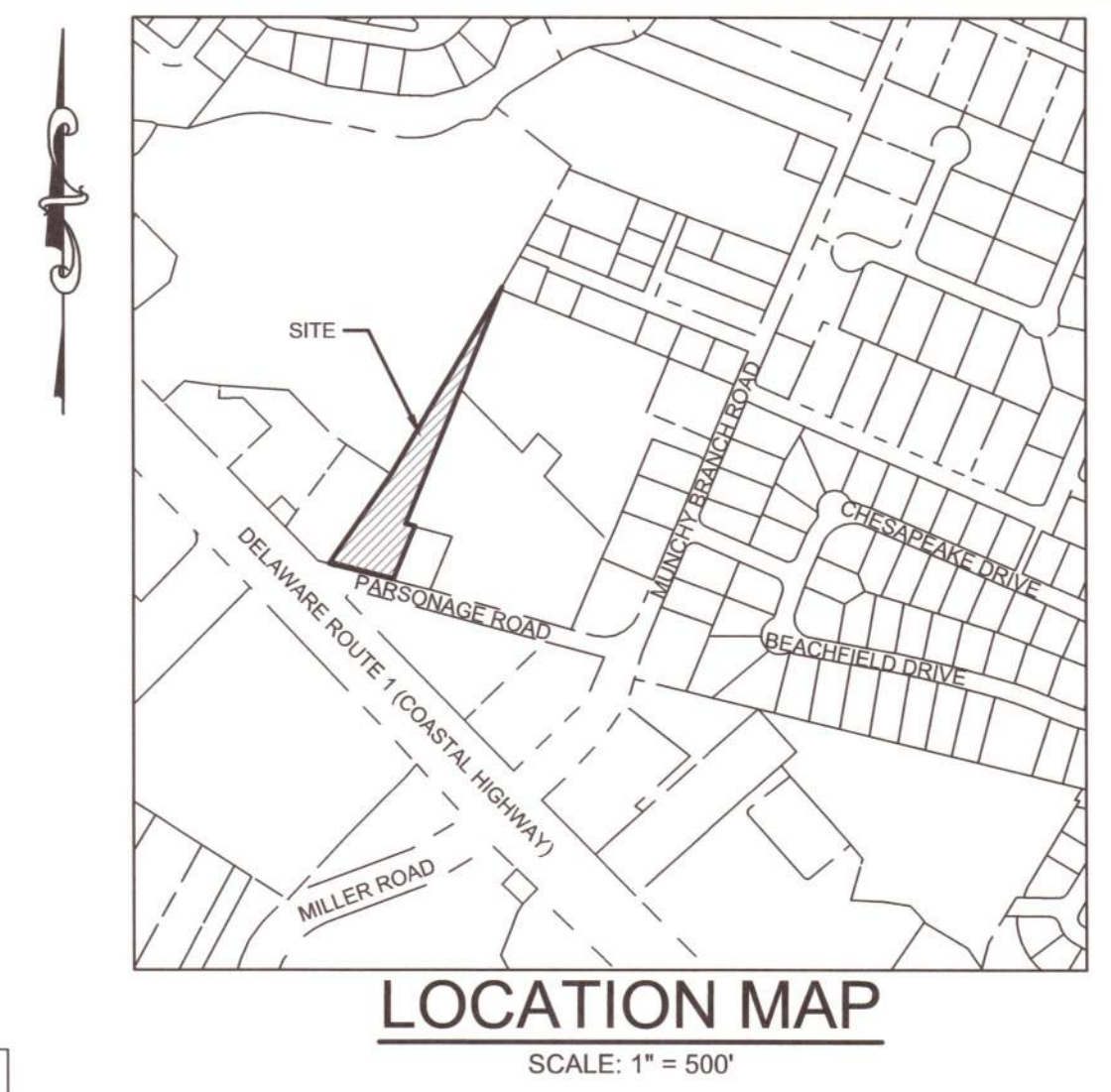
### FINAL SITE PLAN

#### SUSSEX COUNTY PROJECT #: S-20-18



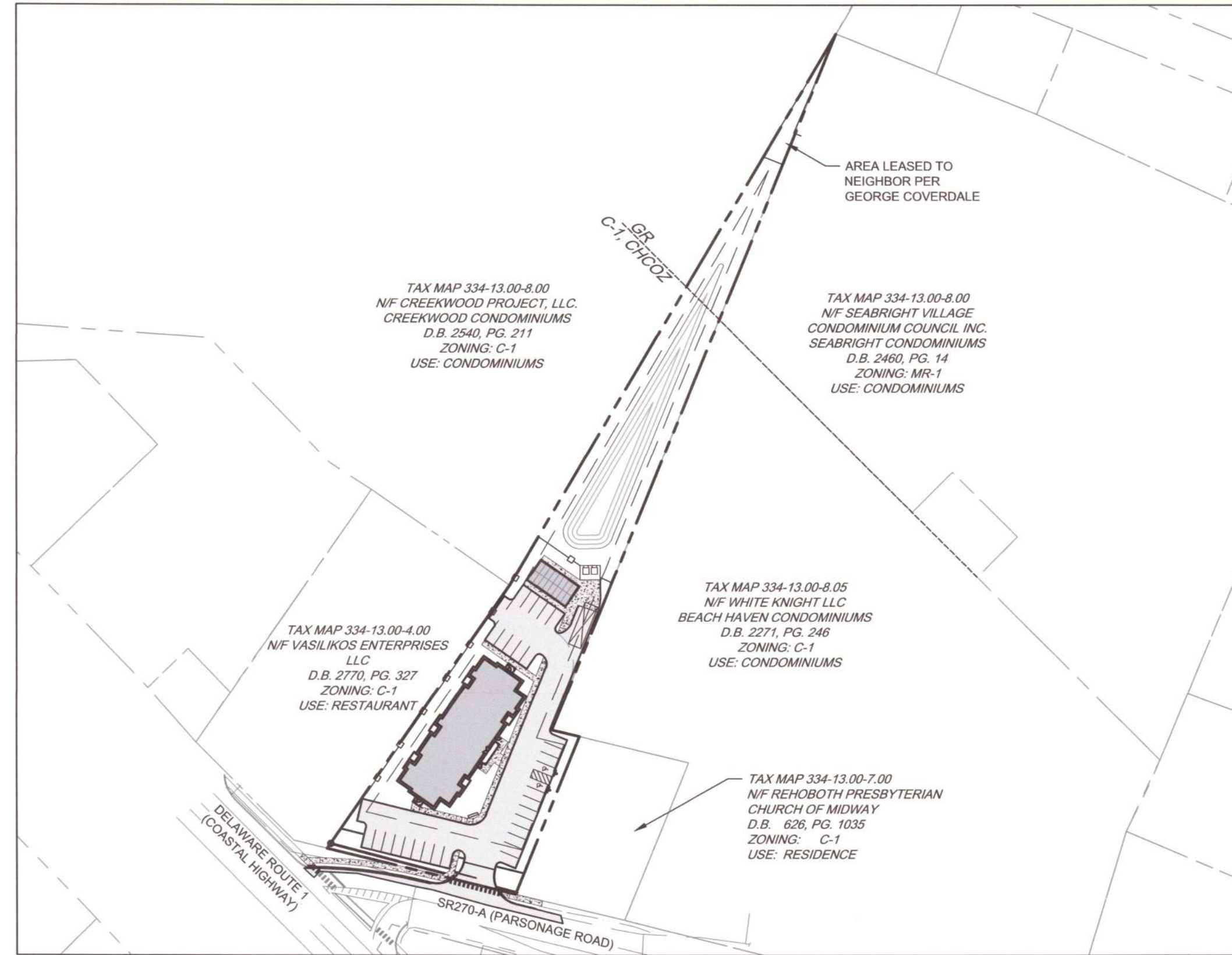
**SOILS MAP**  
SCALE: 1" = 200'

SYMBOL	NAME	SOIL GROUP
EVB	EVESBORO LOAMY SAND, 0 TO 5 PERCENT SLOPES	A
GRB	GREENWICH LOAM, 0 TO 2 PERCENT SLOPES	B
GUB	GREENWICH-URBAN LAND COMPLEX, 0 TO 5 PERCENT SLOPES	B



**LOCATION MAP**  
SCALE: 1" = 500'

LIMIT OF DISTURBANCE: 1.46 ACRES



**SITE OVERVIEW & ADJACENT ZONING**  
SCALE: 1" = 100'

### PROJECT TEAM

**OWNER/DEVELOPER**  
DESTINY LLC  
1 PATRIOTS WAY  
REHOBOTH BEACH, DE 19971  
(302) 745-6207

**ARCHITECT**  
BRUCE J. MONETA, A.I.A.  
34673 VILLA CIRCLE, UNIT 304  
LEWES, DE 19958  
(302) 745-0342

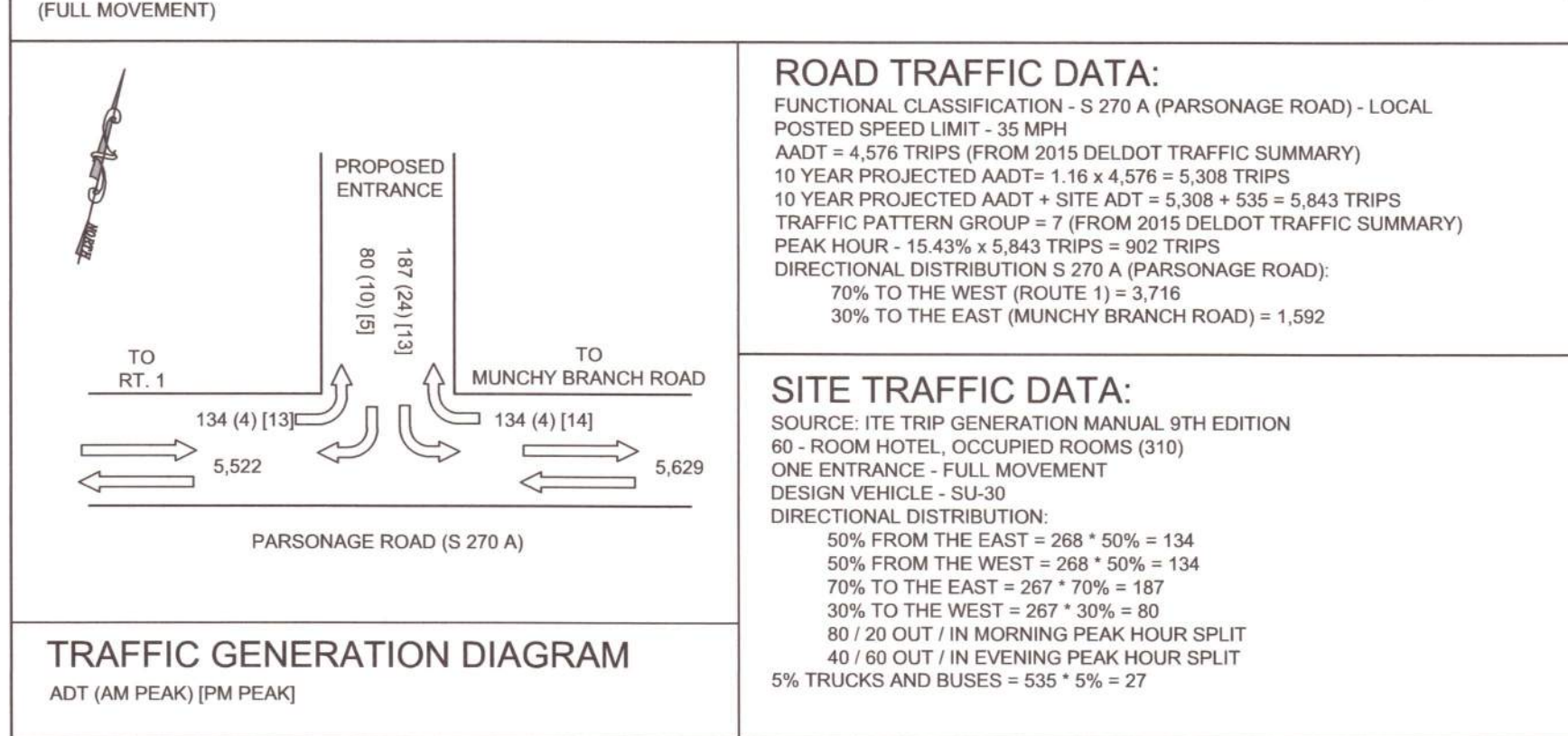
**SITE ENGINEER**  
SCALED ENGINEERING, INC.  
20246 COASTAL HIGHWAY  
REHOBOTH BEACH, DE 19971  
(302) 239-3600

**CALL Miss Utility of Delmarva  
BEFORE YOU DIG  
800-282-8555 or 811**

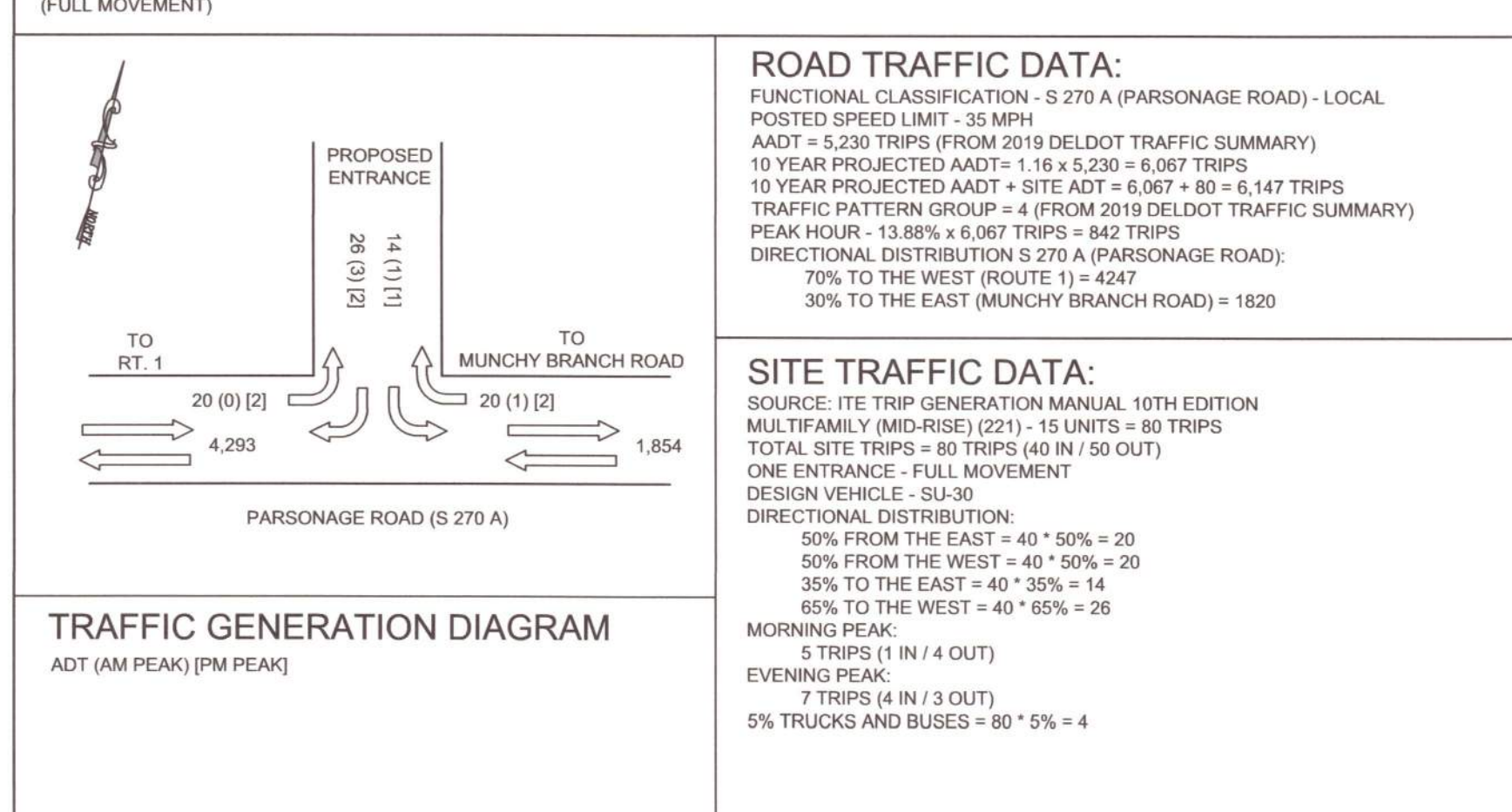
### DELDOT RECORD / SITE PLAN NOTES:

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE IS OUTSIDE THE RIGHT-OF-WAY OF PROJECTS ON AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROJECT OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S "SHARED-USE PATH AND/OR SIDEWALK TERMINATION POLICY".
- PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 §131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE FOR THE SIDEWALK.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
- THIS COMMERCIAL PARCEL IS IN THE PROXIMITY OF COASTAL HIGHWAY (SR 1), WHICH HAS A FUNCTIONAL CLASSIFICATION OF PRINCIPAL ARTERIAL AS DEFINED BY THE STATE OF DELAWARE'S DEPARTMENT OF TRANSPORTATION. PER SECTION 3.6.1 OF THE DELDOT DEVELOPMENT COORDINATION MANUAL (DCM); IT IS THE DEVELOPER'S RESPONSIBILITY TO EVALUATE NOISE LEVELS AND THEIR IMPACTS ON PROPOSED DEVELOPMENT, FOR PROJECTS ADJACENT TO EXISTING TRANSPORTATION FACILITIES WITH THIS FUNCTIONAL CLASSIFICATION. ROADWAYS WITH THIS CLASSIFICATION CAN BE EXPECTED TO GENERATE ELEVATED LEVELS OF ROAD AND TRAFFIC RELATED NOISE, SIMILAR TO WHAT CAN BE EXPECTED IN URBAN AREAS. A DETAILED NOISE ANALYSIS PER DCM 3.6.3-A IS TYPICALLY RECOMMENDED TO HELP GAUGE THE ACTUAL IMPACTS THAT ROADWAY RELATED NOISE MAY HAVE ON VARIOUS POTENTIAL LAND-USES (SUCH AS THOSE DESCRIBED IN DCM FIGURE 3.6.3-A: NOISE ABATEMENT CRITERIA). WITH THE INCLUSION OF THIS NOTE, THE DEVELOPER IS ACKNOWLEDGING THAT THE PROPOSED SITE AND/OR BUILDING LOCATION CAN BE EXPECTED TO EXCEED THE SPECIFIC MAXIMUM NOISE LEVELS FOR CERTAIN COMMERCIAL AND NON-RESIDENTIAL USES AS SHOWN IN DCM FIGURE 3.6.3-A. THE DEVELOPER'S WAIVER OF THE NOISE ANALYSIS AND REVIEW OF POTENTIAL NOISE MITIGATION MEASURES ARE SUPPORTED BY THE INFEASIBILITY OF APPLYING NOISE MITIGATION MEASURES, BASED ON ENGINEERING CONSIDERATIONS AND FACTORS THAT WOULD LIMIT THE ABILITY TO ACHIEVE SUBSTANTIAL NOISE REDUCTION, RELATED TO THE COMMERCIAL USE OF THE SITE AND/OR BUILDINGS. THIS WAIVER ACKNOWLEDGES THAT THE DECIBEL LEVEL FOR THIS PARCEL MAY EXCEED THE APPLICABLE LIMITS FOR SOME CURRENT OR FUTURE PROPOSED USES. THE USE OF THIS NOTE SIGNIFIES THE SUBDIVISION ENGINEER'S CONCURRENCE WITH WAIVING THE DEVELOPER'S COMPLETION OF A DETAILED NOISE STUDY AND SUBSEQUENT REVIEW OF RESULTING NOISE ABATEMENT FINDINGS OR MITIGATION MEASURES. ANY FUTURE COMPLAINTS RELATING TO EXISTING OR FUTURE NOISE LEVELS IMPACTING PROPOSED USES ON THIS SITE AND ALONG THIS EXISTING TRANSPORTATION FACILITY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OR LANDOWNER OR BOTH.

### DAYS INN APPROVED 11/08/2017 - TRAFFIC GENERATION - PARSONAGE ROAD (S 270 A)



### DESTINY APARTMENTS - TRAFFIC GENERATION - PARSONAGE ROAD (S 270 A)



### SITE DATA:

- TAX MAP NUMBER: 334-13.00-5.00
- OWNER: DESTINY LLC, 1 PATRIOTS WAY, REHOBOTH BEACH, DE 19971
- DEED BOOK REF: DB 3896 PG 255
- EXISTING USE: APARTMENTS (12 TWO-BEDROOM & 3 THREE-BEDROOM UNITS)
- PROPOSED USE: APARTMENTS (12 TWO-BEDROOM & 3 THREE-BEDROOM UNITS)
- EXISTING AREA: 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)
- PROPOSED AREA: 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)
- EXISTING ZONING: C-1 (GENERAL COMMERCIAL) & GR-1 (GENERAL RESIDENTIAL W/CHCOZ)
- PROPOSED ZONING: C-1 (GENERAL COMMERCIAL) & GR-1 (GENERAL RESIDENTIAL W/CHCOZ)
- NUMBER OF LOTS: 1 - EXISTING, 1 - PROPOSED
- BUILDINGS: EXISTING BUILDING AREA: ±5,015 SQ FT (FIRST FLOOR FOOTPRINT); PROPOSED MULTIFAMILY BUILDING: 21,502 SQ FT (TOTAL) (15 UNITS); PROPOSED STORAGE BUILDING: 924 SQ FT; DENSITY: 15 UNITS / 1.33 AC = 11.28 UNITS PER ACRE
- HEIGHT, AREA, AND BULK REQUIREMENTS (CODE SECTION 115-156B):

	REQUIRED	PROPOSED
MAXIMUM HEIGHT	42 FT	38.9 FT (3 STORIES)
MINIMUM LOT AREA	54,450 SQ FT	58,150 SQ FT
MINIMUM LOT WIDTH (FEET)	75 FT	± 173 FT
MINIMUM LOT DEPTH (FEET)	100 FT	± 823 FT
- MINIMUM YARD REQUIREMENTS:

	REQUIRED	PROPOSED
FRONT	40 FT	±40 FT
SIDE	10 FT	15 FT
REAR	10 FT	±10 FT
CORNER	15 FT	>15 FT
- GR-1:

	REQUIRED	PROPOSED
FRONT	30 FT	>30 FT
SIDE	10 FT	15 FT
REAR	10 FT	±10 FT
CORNER	15 FT	>15 FT
- CHCOZ: 60' SETBACK FROM ROUTE 1 RIGHT-OF-WAY WITH 20' BUFFER
- SERVICES: WATER SUPPLIER: TIDEWATER UTILITIES; SANITARY SEWER SUPPLIER: SUSSEX COUNTY (WEST REHOBOTH DISTRICT)
- FIRE DISTRICT: REHOBOTH BEACH
- VERTICAL DATUM: NAVD 88
- HORIZONTAL DATUM: NAV 83
- POSTED SPEED LIMIT: 35 MPH (PARSONAGE ROAD)
- PROXIMITY TO IDENTIFIED TRANSPORTATION DISTRICT: NOT IN PROXIMITY OF TID
- INVESTMENT LEVEL AREA: LEVEL 2
- SITE ADDRESS: 35863 PARSONAGE ROAD, REHOBOTH BEACH, DE 19971
- WETLAND AREA: 0.00 ACRES
- PROJECT WATERSHED: LEWES-REHOBOTH CANAL
- PROPOSED DISCHARGE LOCATIONS: DELDOT AND INFILTRATION
- FLOOD PLAIN: THE SITE IS LOCATED WITHIN ZONE X, AN AREA DEFINED AS OUTSIDE THE 100 YEAR FLOOD PLAIN, BASED ON FEMA FLOOD PANEL 1005C0332K
- SOILS ON-SITE CONSIST OF EVESBORO LOAMY SAND, 0 TO 5 PERCENT SLOPES (EVB), GREENWICH LOAM, 0 TO 2 PERCENT (GRB) AND GREENWICH-URBAN LAND COMPLEX (GUB), 0 TO 5 PERCENT SLOPES
- WELLHEAD PROTECTION SITE AREA: 0 ACRES
- PROPOSED IMPERVIOUS COVERAGE = 47%
- PROJECT IS LOCATED IN AN AREA OF GOOD GROUNDWATER RECHARGE POTENTIAL
- NET DEVELOPMENT AREA = 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)

### LEGEND

	EXISTING	PROPOSED
PROPERTY LINE / RIGHT OF WAY	---	---
ADJOINING PROPERTY LINE	---	---
BUILDING RESTRICTION LINE	---	---
EASEMENT	---	---
CENTER LINE OF ROAD	---	---
EDGE OF PAVING	---	---
CURB	---	---
DRIVEWAY	---	---
CONTOURS	---	---
SWALES	---	---
WETLANDS LINE AND FLAG	---	---
FLOODPLAIN	---	---
SOILS/DESIGNATION	---	---
SOIL BORING	---	---
VEGETATION	---	---
WOODS	---	---
FENCE	---	---
SIDEWALK	---	---
BUILDING	---	---
UTILITY POLE/GUY WIRE	---	---
OVERHEAD ELECTRIC	---	---
CABLE TV, PEDESTAL	---	---
TRAFFIC SIGN	---	---
SINGLE & TWIN HEAD SITE LIGHT	---	---
WATER MAIN, FIRE HYDRANT, VALVE, SERVICE ASSEMBLY, AND METER PIT	---	---
SEWER MAIN, MANHOLE, & CLEANOUT	---	---
SANITARY SEWER FORCEMAIN	---	---
UNDERGROUND ELECTRIC	---	---
TELEPHONE LINE	---	---
STORM WATER PIPE	---	---

### ENGINEERS CERTIFICATION

IT IS HEREBY CERTIFIED THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

12/23/20  
CHRISTOPHER SAVAGE, PE (LICENSE #16457)  
20246 COASTAL HIGHWAY  
REHOBOTH BEACH, DE 19971

### OWNER(S) CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE LEGAL OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

DESTINY LLC  
1 PATRIOTS WAY  
REHOBOTH BEACH, DE 19971

**SCALED ENGINEERING**  
Scaled Engineering Inc.  
20246 Coastal Highway  
Rehoboth Beach, DE 19971  
Phone: (302) 239-3600

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**DELDOT COVER SHEET**

**DESTINY APARTMENTS**  
TAX PARCEL NO. 334-13.00-5.00  
PARSONAGE ROAD (SR 270-A)  
REHOBOTH BEACH, SUSSEX COUNTY, DE

ISSUE / REVISION BLOCK

DATE	DESCRIPTION
5/26/2020	- SUSSEX COUNTY P & Z
5/29/2020	- FIRE MARSHAL
6/25/2020	- SUSSEX COUNTY P & Z PRELIMINARY APPROVAL
9/2/2020	- DELDOT SUBMISSION 1
9/14/2020	- OFFICE OF DRINKING WATER APPROVAL
9/18/2020	- SCD COMMENTS
9/29/2020	- SUSSEX COUNTY DEPT. OF ENGINEERING COMMENTS
10/08/2020	- SCD SUBMISSION 2
10/09/2020	- DELDOT SUBMISSION 2
10/12/2020	- TIDEWATER COMMENTS
10/29/2020	- SCD FINAL SUBMISSION
11/09/2020	- TIDEWATER COMMENTS
12/09/2020	- SUSSEX COUNTY P & Z

SCALE: AS NOTED  
PROJECT # HKE5001  
DRAWN BY GJB  
DRAWING NUMBER **RP-1**





Scaled Engineering Inc.  
20246 Coastal Highway  
Rehoboth Beach, DE 19971  
Phone: (302) 236-3600

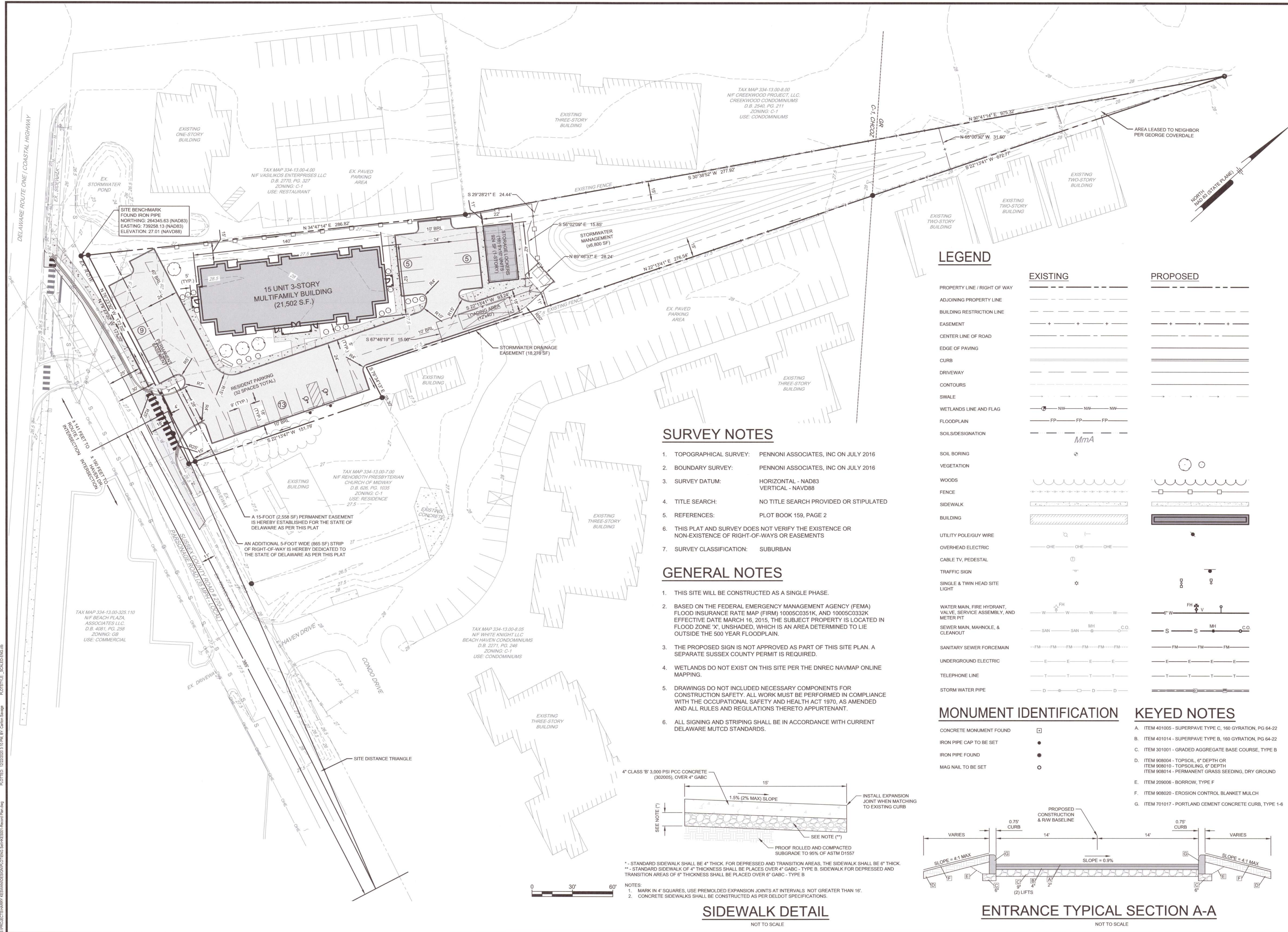


**DESTINY APARTMENTS**  
TAX PARCEL NO. 334-13.00-5.00  
PARSONAGE ROAD (SR 270-A)  
REHOBOTH BEACH, SUSSEX COUNTY, DE

ISSUE / REVISION BLOCK  
5/26/2020 - SUSSEX COUNTY P & Z  
5/29/2020 - FIRE MARSHAL  
6/25/2020 - SUSSEX COUNTY P & Z  
PRELIMINARY APPROVAL  
9/2/2020 - DELDOT SUBMISSION 1  
9/14/2020 - OFFICE OF DRINKING  
WATER APPROVAL  
9/18/2020 - SCD COMMENTS  
9/29/2020 - SUSSEX COUNTY DEPT.  
OF ENGINEERING  
COMMENTS  
10/08/2020 - SCD SUBMISSION 2  
10/09/2020 - DELDOT SUBMISSION 2  
10/12/2020 - TIDEWATER COMMENTS  
10/29/2020 - SCD FINAL SUBMISSION  
11/09/2020 - TIDEWATER COMMENTS  
12/09/2020 - SUSSEX COUNTY P & Z

SCALE PROJECT # DRAWN BY  
1" = 30' HKE5001 GJB  
DRAWING NUMBER

**RP-2**



### SURVEY NOTES

- TOPOGRAPHICAL SURVEY: PENNONI ASSOCIATES, INC ON JULY 2016
- BOUNDARY SURVEY: PENNONI ASSOCIATES, INC ON JULY 2016
- SURVEY DATUM: HORIZONTAL - NAD83  
VERTICAL - NAVD88
- TITLE SEARCH: NO TITLE SEARCH PROVIDED OR STIPULATED
- REFERENCES: PLOT BOOK 159, PAGE 2
- THIS PLAT AND SURVEY DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS
- SURVEY CLASSIFICATION: SUBURBAN

### GENERAL NOTES

- THIS SITE WILL BE CONSTRUCTED AS A SINGLE PHASE.
- BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) 10005C0351K, AND 10005C0322K EFFECTIVE DATE MARCH 16, 2015, THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE 'X', UNSHADED, WHICH IS AN AREA DETERMINED TO LIE OUTSIDE THE 500 YEAR FLOODPLAIN.
- THE PROPOSED SIGN IS NOT APPROVED AS PART OF THIS SITE PLAN. A SEPARATE SUSSEX COUNTY PERMIT IS REQUIRED.
- WETLANDS DO NOT EXIST ON THIS SITE PER THE DNREC NAVMAP ONLINE MAPPING.
- DRAWINGS DO NOT INCLUDED NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL WORK MUST BE PERFORMED IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- ALL SIGNING AND STRIPING SHALL BE IN ACCORDANCE WITH CURRENT DELAWARE MUTCD STANDARDS.

### LEGEND

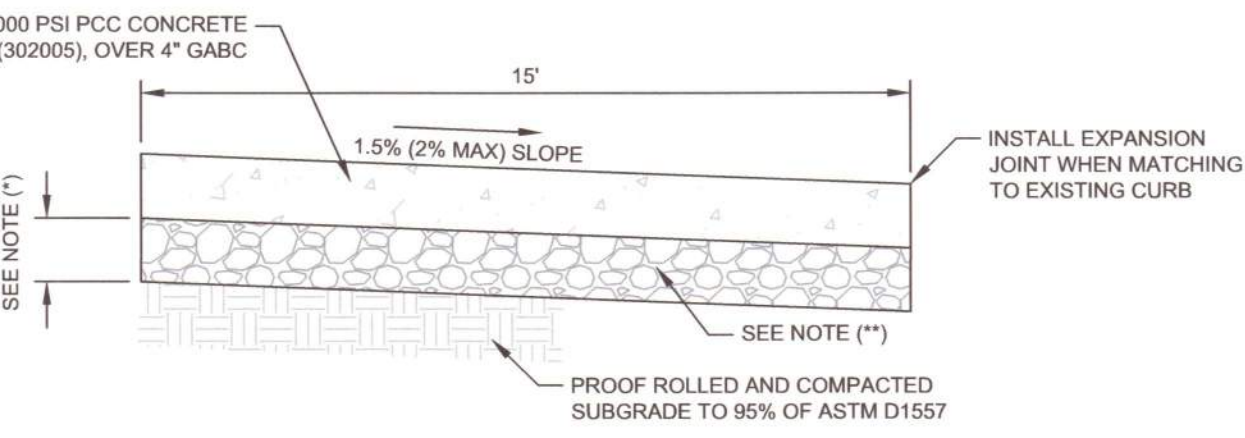
	EXISTING	PROPOSED
PROPERTY LINE / RIGHT OF WAY	---	---
ADJOINING PROPERTY LINE	---	---
BUILDING RESTRICTION LINE	---	---
EASEMENT	---	---
CENTER LINE OF ROAD	---	---
EDGE OF PAVING	---	---
CURB	---	---
DRIVEWAY	---	---
CONTOURS	---	---
SWALE	---	---
WETLANDS LINE AND FLAG	---	---
FLOODPLAIN	---	---
SOILS/DESIGNATION	---	---
SOIL BORING	---	---
VEGETATION	---	---
WOODS	---	---
FENCE	---	---
SIDEWALK	---	---
BUILDING	---	---
UTILITY POLE/GUY WIRE	---	---
OVERHEAD ELECTRIC	---	---
CABLE TV, PEDESTAL	---	---
TRAFFIC SIGN	---	---
SINGLE & TWIN HEAD SITE LIGHT	---	---
WATER MAIN, FIRE HYDRANT, VALVE, SERVICE ASSEMBLY, AND METER PIT	---	---
SEWER MAIN, MAHNOLE, & CLEANOUT	---	---
SANITARY SEWER FORCEMAIN	---	---
UNDERGROUND ELECTRIC	---	---
TELEPHONE LINE	---	---
STORM WATER PIPE	---	---

### MONUMENT IDENTIFICATION

CONCRETE MONUMENT FOUND	□
IRON PIPE CAP TO BE SET	●
IRON PIPE FOUND	●
MAG NAIL TO BE SET	○

### KEYED NOTES

- ITEM 401005 - SUPERPAVE TYPE C, 160 GYRATION, PG 64-22
- ITEM 401014 - SUPERPAVE TYPE B, 160 GYRATION, PG 64-22
- ITEM 301001 - GRADED AGGREGATE BASE COURSE, TYPE B
- ITEM 908004 - TOPSOIL, 6" DEPTH OR ITEM 908010 - TOPSOILING, 6" DEPTH ITEM 908014 - PERMANENT GRASS SEEDING, DRY GROUND
- ITEM 209006 - BORROW, TYPE F
- ITEM 908020 - EROSION CONTROL BLANKET MULCH
- ITEM 701017 - PORTLAND CEMENT CONCRETE CURB, TYPE 1-B



4" CLASS 'B' 3,000 PSI PCC CONCRETE (302009), OVER 4" GABC

1.5% (2% MAX) SLOPE

INSTALL EXPANSION JOINT WHEN MATCHING TO EXISTING CURB

PROOF ROLLED AND COMPACTED SUBGRADE TO 95% OF ASTM D1557

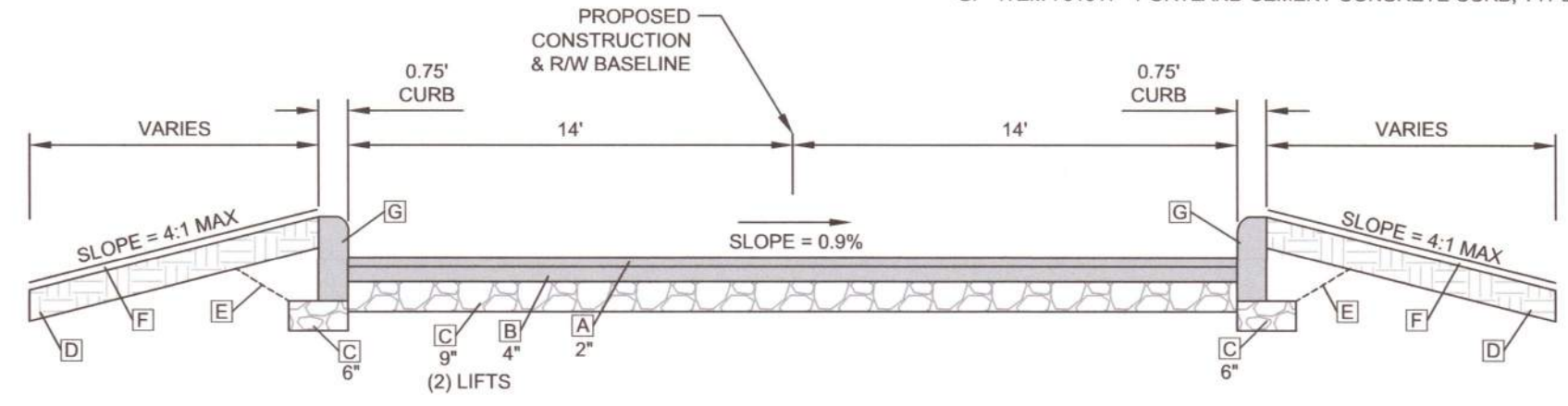
SEE NOTE (\*\*)

\* - STANDARD SIDEWALK SHALL BE 4" THICK. FOR DEPRESSED AND TRANSITION AREAS, THE SIDEWALK SHALL BE 6" THICK.  
\*\* - STANDARD SIDEWALK OF 4" THICKNESS SHALL BE PLACED OVER 4" GABC - TYPE B. SIDEWALK FOR DEPRESSED AND TRANSITION AREAS OF 6" THICKNESS SHALL BE PLACED OVER 6" GABC - TYPE B

NOTES:  
1. MARK IN 4' SQUARES, USE PREMOULDED EXPANSION JOINTS AT INTERVALS NOT GREATER THAN 16'.  
2. CONCRETE SIDEWALKS SHALL BE CONSTRUCTED AS PER DELDOT SPECIFICATIONS.

### SIDEWALK DETAIL

NOT TO SCALE



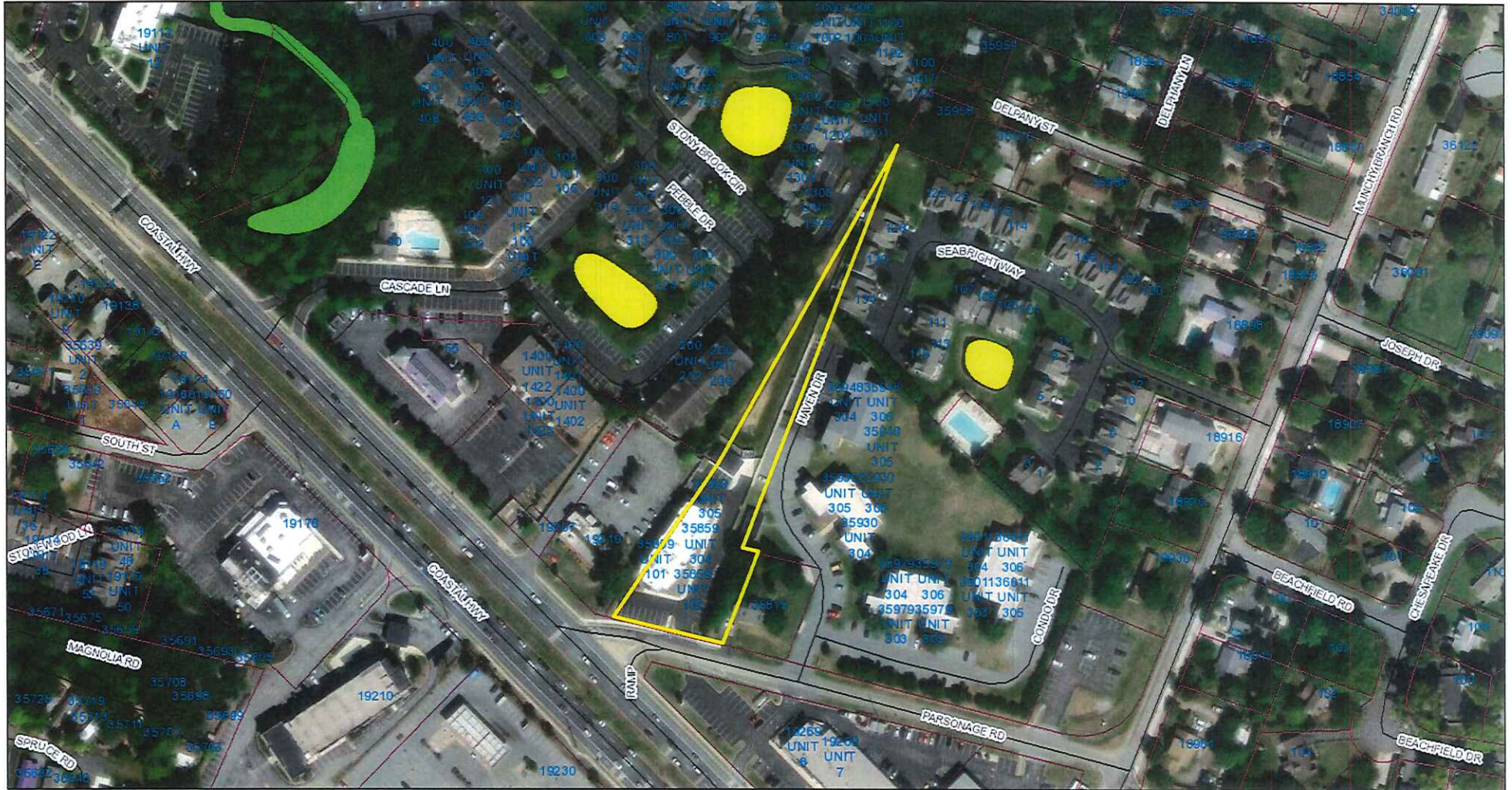
### ENTRANCE TYPICAL SECTION A-A

NOT TO SCALE

S:\PROJECTS\HARRY KESHAWIDESIGN\OTEN\SCALED\RP-2\Record Plan.dwg PLOTTED: 12/22/2023 1:10 PM BY: Carlton Scaled



# Sussex County

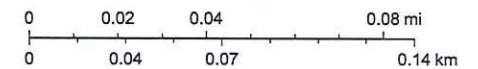


October 31, 2023

- |   |   |   |
|---|---|---|
| <ul style="list-style-type: none"> <li>— polygonLayer</li> <li>— Streets</li> <li>— Override 1</li> <li>— Override 2</li> <li>— Tax Parcels</li> <li>911 Address</li> </ul> | <ul style="list-style-type: none"> <li>— County Boundaries</li> <li>— DE_NWI_2017_Broadkill</li> <li>— DE_2017_NWI_AND_LLWW</li> <li>— Estuarine</li> </ul> | <ul style="list-style-type: none"> <li>— Lentic</li> <li>— Lotic</li> <li>— Marine</li> <li>— Terrene</li> <li>— World Imagery</li> </ul> |
|---|---|---|

- Low Resolution 15m Imagery
- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations
- 60cm Resolution Metadata

1:2,257



Wetland mapping is supported with funding provided by the Environmental Protection Agency, Maxar, Microsoft, DNREC, Division of Watershed Stewardship, Drainage Program, john.inkster@state.de.us, Sussex County, Sussex County Government.



CONNECTEXPLORER

Search

Search by SUSSEXPARELS -

334-13 00-5.00

Search results (1) Options -

334-13 00-5.00

Workspaces v

© 2023 Eagleview

map: Auto (Oblique) - Dates: Latest - < image 1 of 13 > 03/06/2023

50 ft  
20 m

The image shows a screenshot of the CONNECTEXPLORER web application. The main view is an aerial photograph of a residential and commercial area. A specific parcel is highlighted with a blue outline. The interface includes a search bar at the top right with the text 'Search by SUSSEXPARELS -' and a search result '334-13 00-5.00'. On the left side, there is a 'Workspaces v' menu. At the bottom left, the map is identified as 'map: Auto (Oblique)' with the date '03/06/2023'. A scale bar at the bottom right indicates 50 feet or 20 meters. The top left corner shows the application name 'CONNECTEXPLORER' and a navigation compass.

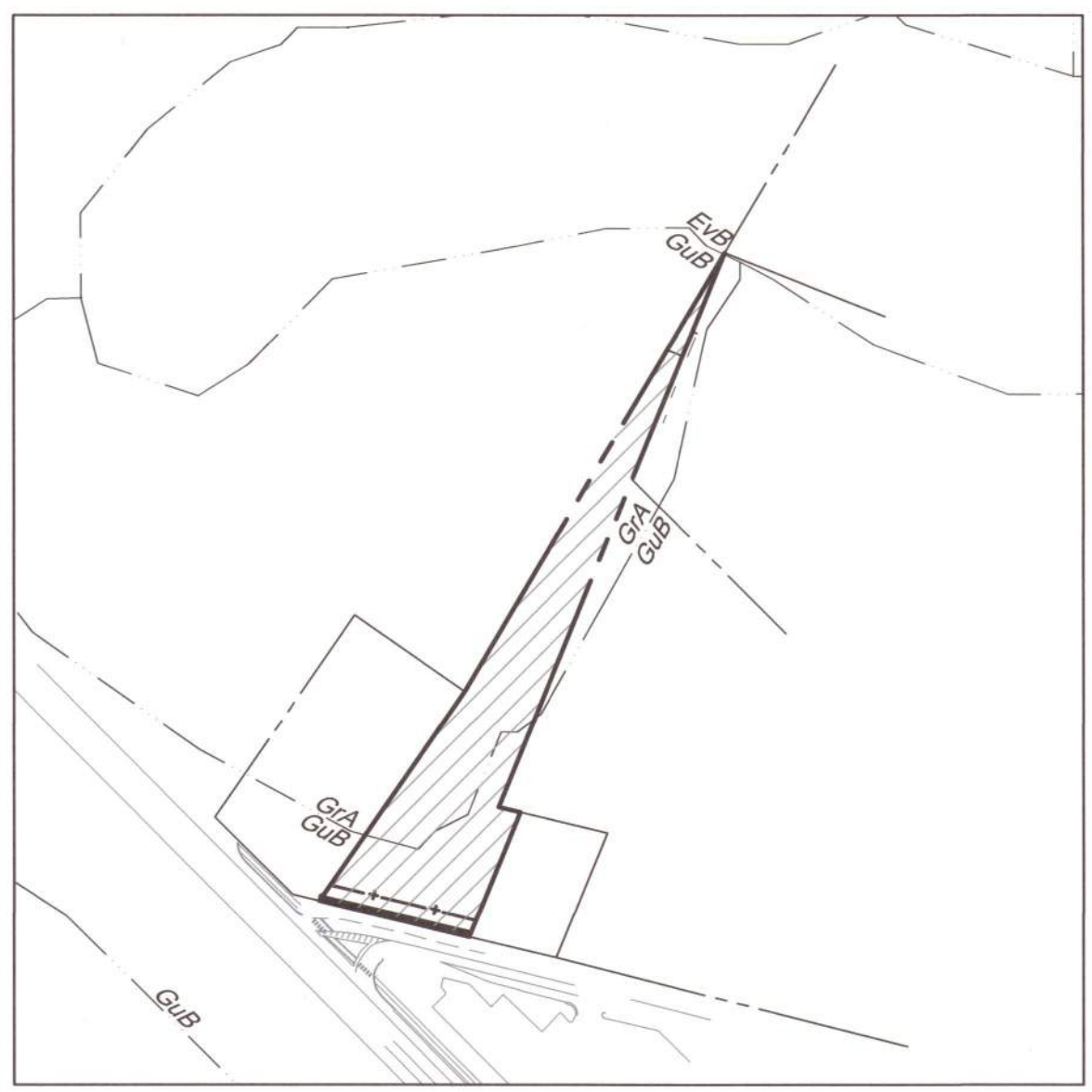


# DESTINY APARTMENTS

## SUSSEX COUNTY, DELAWARE

### FINAL SITE PLAN

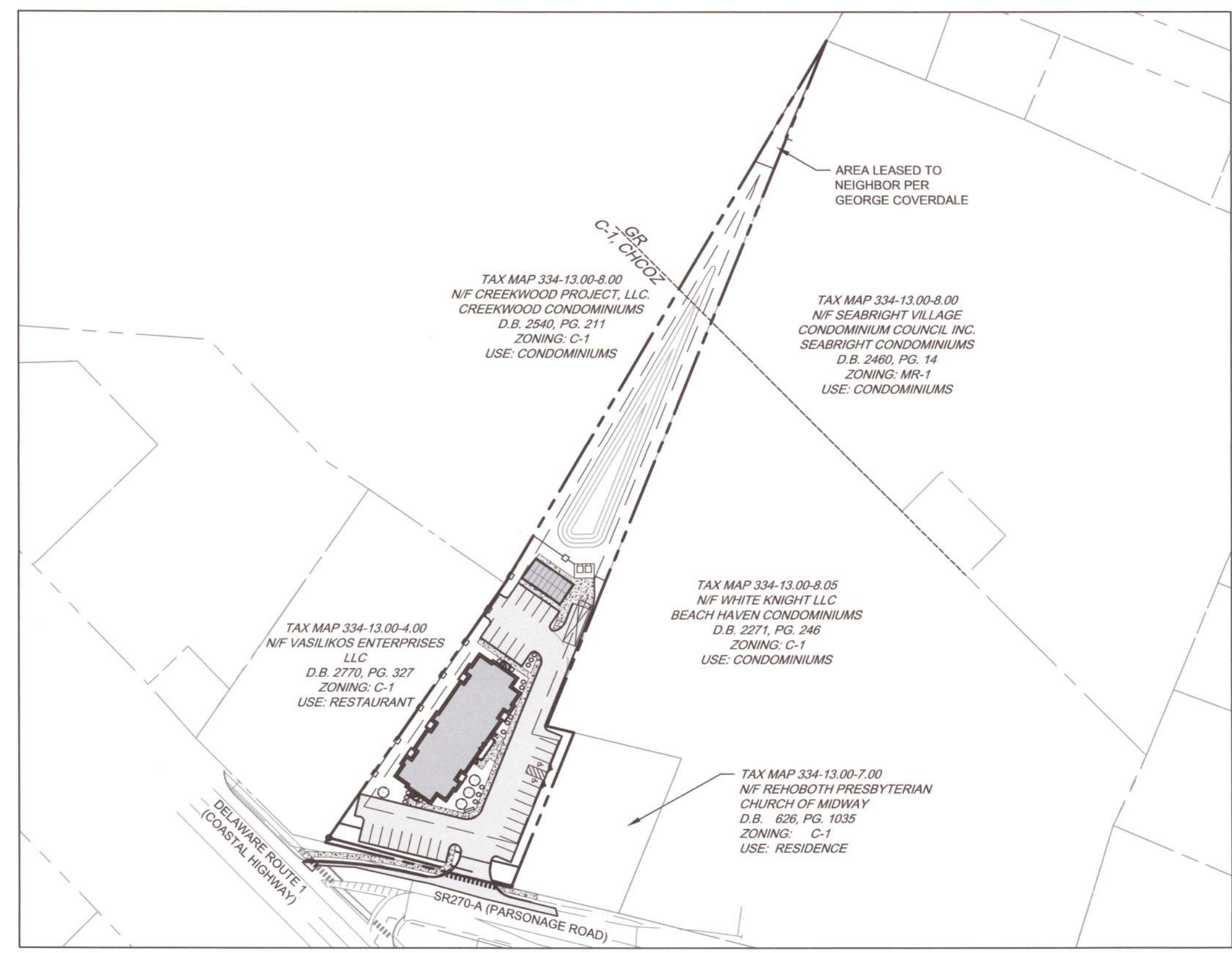
### SUSSEX COUNTY PROJECT #: S-20-18



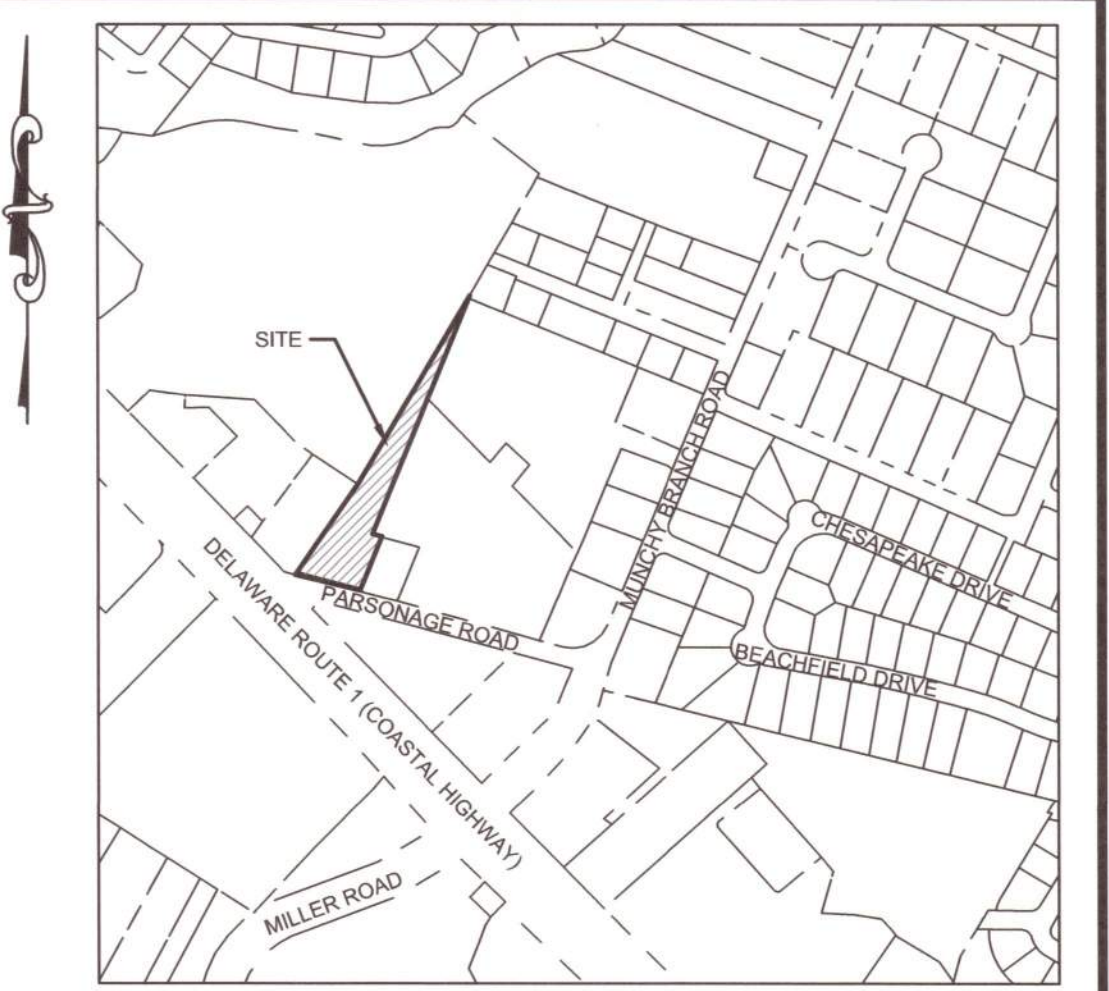
**SOILS MAP**  
SCALE: 1" = 200'

SYMBOL	NAME	SOIL GROUP
EVB	EVESBORO LOAMY SAND, 0 TO 5 PERCENT SLOPES	A
GA	GREENWICH LOAM, 0 TO 2 PERCENT SLOPES	B
GUB	GREENWICH-URBAN LAND COMPLEX, 0 TO 5 PERCENT SLOPES	B

CONFORMED COPY  
Document # 202000065194 BK: 329 PG: 19  
On 12/28/2020 at 3:39:27 PM  
RECORDED OF DEEDS Scott Dunley  
Sussex County  
Consideration: \$0.00



**SITE OVERVIEW & ADJACENT ZONING**  
SCALE: 1" = 100'



**LOCATION MAP**  
SCALE: 1" = 500'

### LEGEND

	EXISTING	PROPOSED
PROPERTY LINE / RIGHT OF WAY	---	---
ADJOINING PROPERTY LINE	---	---
BUILDING RESTRICTION LINE	---	---
EASEMENT	+	+
CENTER LINE OF ROAD	---	---
EDGE OF PAVING	---	---
CURB	---	---
DRIVEWAY	---	---
CONTOURS	---	---
SWALE	---	---
WETLANDS LINE AND FLAG	---	---
FLOODPLAIN	---	---
SOILS/DESIGNATION	---	---
SOIL BORING	---	---
VEGETATION	---	---
WOODS	---	---
FENCE	---	---
SIDEWALK	---	---
BUILDING	---	---
UTILITY POLE/GUY WIRE	---	---
OVERHEAD ELECTRIC	---	---
CABLE TV, PEDESTAL	---	---
TRAFFIC SIGN	---	---
SINGLE & TWIN HEAD SITE LIGHT	---	---
WATER MAIN, FIRE HYDRANT, VALVE, SERVICE ASSEMBLY, AND METER PIT	---	---
SEWER MAIN, MAHNOLE, & CLEANOUT	---	---
SANITARY SEWER FORCEMAIN	---	---
UNDERGROUND ELECTRIC	---	---
TELEPHONE LINE	---	---
STORM WATER PIPE	---	---

### SITE DATA:

- 1) TAX MAP NUMBER: 334-13.00-5.00
- 2) OWNER: DESTINY LLC, 1 PATRIOTS WAY, REHOBOTH BEACH, DE 19971
- 3) DEED BOOK REF: DB 3896 PG 255
- 4) EXISTING USE: APARTMENTS
- 5) PROPOSED USE: APARTMENTS (12 TWO-BEDROOM & 3 THREE-BEDROOM UNITS)
- 6) EXISTING AREA: 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)
- 7) PROPOSED AREA: 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)
- 8) EXISTING ZONING: C-1 (GENERAL COMMERCIAL) & GR-1 (GENERAL RESIDENTIAL W/CHCOZ)
- 9) PROPOSED ZONING: C-1 (GENERAL COMMERCIAL) & GR-1 (GENERAL RESIDENTIAL W/CHCOZ)
- 10) NUMBER OF LOTS: 1
- 11) HEIGHT, AREA, AND BULK REQUIREMENTS (CODE SECTION 115-1566):

	REQUIRED	PROPOSED
MAXIMUM HEIGHT	42 FT	38.9 FT (3 STORIES)
MINIMUM LOT AREA	54,450 SQ FT	58,150 SQ FT
MINIMUM LOT WIDTH (FEET)	75 FT	± 173 FT
MINIMUM LOT DEPTH (FEET)	100 FT	± 823 FT
MINIMUM YARD REQUIREMENTS C-1:		
FRONT	40 FT	>40 FT
SIDE	10 FT	15 FT
REAR	10 FT	>10 FT
CORNER	15 FT	>15 FT
GR-1:		
FRONT	30 FT	>30 FT
SIDE	10 FT	15 FT
REAR	10 FT	>10 FT
CORNER	15 FT	>15 FT
CHCOZ:		
60' SETBACK FROM ROUTE 1 RIGHT-OF-WAY WITH 20' BUFFER		
- 12) SERVICES: WATER SUPPLIER: TIDEWATER UTILITIES; SANITARY SEWER SUPPLIER: SUSSEX COUNTY (WEST REHOBOTH DISTRICT); FIRE DISTRICT: REHOBOTH BEACH; VERTICAL DATUM: NAVD 88; HORIZONTAL DATUM: NAV 83; POSTED SPEED LIMIT: 35 MPH (PARSONAGE ROAD); PROXIMITY TO IDENTIFIED TRANSPORTATION DISTRICT: NOT IN PROXIMITY OF TID; INVESTMENT LEVEL AREA: LEVEL 2; SITE ADDRESS: 35963 PARSONAGE ROAD, REHOBOTH BEACH, DE 19971
- 13) FIRE DISTRICT: REHOBOTH BEACH
- 14) VERTICAL DATUM: NAVD 88
- 15) HORIZONTAL DATUM: NAV 83
- 16) POSTED SPEED LIMIT: 35 MPH (PARSONAGE ROAD)
- 17) PROXIMITY TO IDENTIFIED TRANSPORTATION DISTRICT: NOT IN PROXIMITY OF TID
- 18) INVESTMENT LEVEL AREA: LEVEL 2
- 19) SITE ADDRESS: 35963 PARSONAGE ROAD, REHOBOTH BEACH, DE 19971
- 20) WETLAND AREA: 0.00 ACRES
- 21) PROJECT WATERSHED: LEWES-REHOBOTH CANAL
- 22) PROPOSED DISCHARGE LOCATIONS: DELDOT AND INFILTRATION
- 23) FLOOD PLAIN: THE SITE IS LOCATED WITHIN ZONE X, AN AREA DEFINED AS OUTSIDE THE 100 YEAR FLOOD PLAIN, BASED ON FEMA FLOOD PANEL 10005C0332K
- 24) SOILS ON-SITE CONSIST OF EVESBORO LOAMY SAND, 0 TO 5 PERCENT SLOPES (EVB), GREENWICH LOAM, 0 TO 2 PERCENT (GA) AND GREENWICH-URBAN LAND COMPLEX (GUB), 0 TO 5 PERCENT SLOPES
- 25) WELLHEAD PROTECTION SITE AREA: 0 ACRES; PROPOSED IMPERVIOUS COVERAGE = 47%
- 26) PROJECT IS LOCATED IN AN AREA OF GOOD GROUNDWATER RECHARGE POTENTIAL.
- 27) NET DEVELOPMENT AREA = 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)

10) NUMBER OF LOTS: 1

11) HEIGHT, AREA, AND BULK REQUIREMENTS (CODE SECTION 115-1566)

	REQUIRED	PROPOSED
MAXIMUM HEIGHT	42 FT	38.9 FT (3 STORIES)
MINIMUM LOT AREA	54,450 SQ FT	58,150 SQ FT
MINIMUM LOT WIDTH (FEET)	75 FT	± 173 FT
MINIMUM LOT DEPTH (FEET)	100 FT	± 823 FT
MINIMUM YARD REQUIREMENTS C-1:		
FRONT	40 FT	>40 FT
SIDE	10 FT	15 FT
REAR	10 FT	>10 FT
CORNER	15 FT	>15 FT
GR-1:		
FRONT	30 FT	>30 FT
SIDE	10 FT	15 FT
REAR	10 FT	>10 FT
CORNER	15 FT	>15 FT
CHCOZ:		
60' SETBACK FROM ROUTE 1 RIGHT-OF-WAY WITH 20' BUFFER		

- 12) SERVICES: WATER SUPPLIER: TIDEWATER UTILITIES; SANITARY SEWER SUPPLIER: SUSSEX COUNTY (WEST REHOBOTH DISTRICT); FIRE DISTRICT: REHOBOTH BEACH; VERTICAL DATUM: NAVD 88; HORIZONTAL DATUM: NAV 83; POSTED SPEED LIMIT: 35 MPH (PARSONAGE ROAD); PROXIMITY TO IDENTIFIED TRANSPORTATION DISTRICT: NOT IN PROXIMITY OF TID; INVESTMENT LEVEL AREA: LEVEL 2; SITE ADDRESS: 35963 PARSONAGE ROAD, REHOBOTH BEACH, DE 19971
- 13) FIRE DISTRICT: REHOBOTH BEACH
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- 26) PROJECT IS LOCATED IN AN AREA OF GOOD GROUNDWATER RECHARGE POTENTIAL.
- 27) NET DEVELOPMENT AREA = 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)

### PARKING / LOADING REQUIREMENTS:

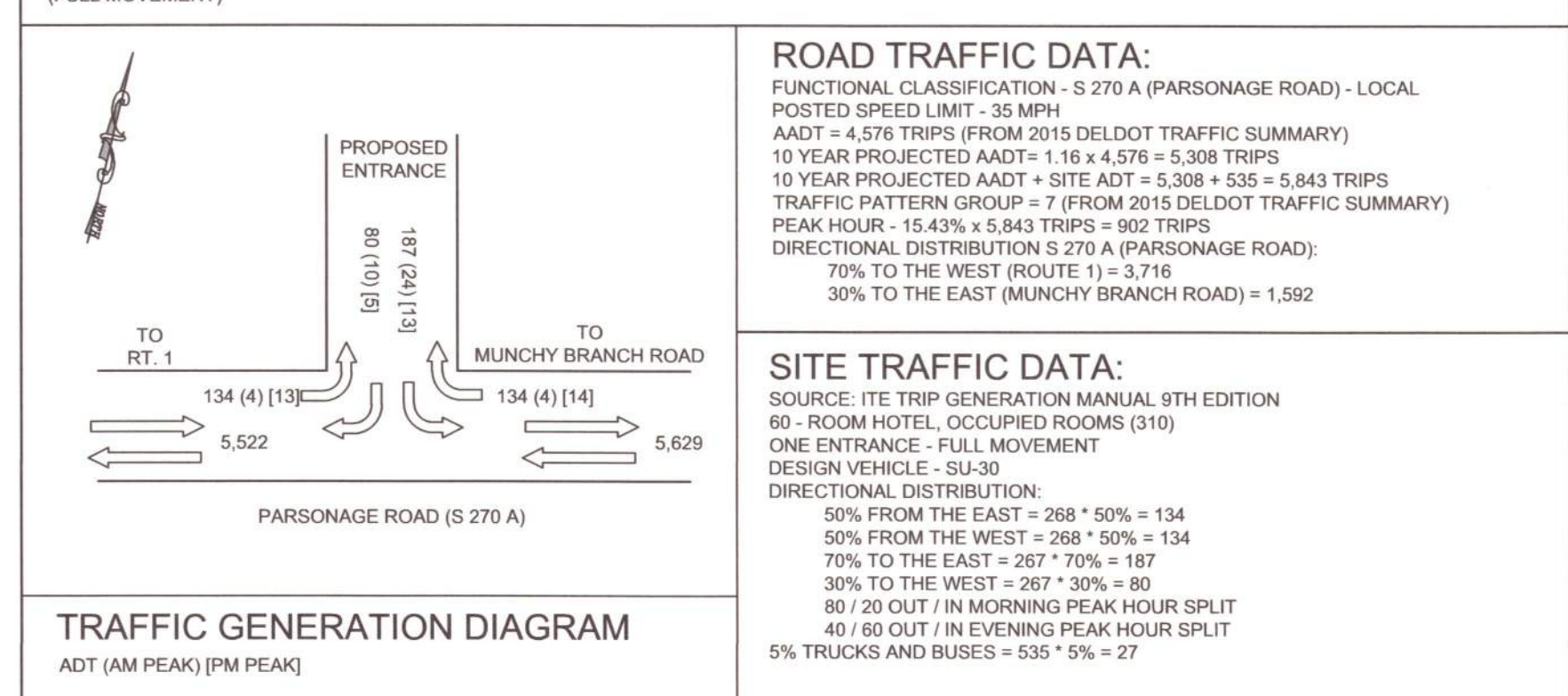
OFF-STREET PARKING - (PER CODE SECTIONS 115-162A & 45-5)

REQUIRED PARKING	
APARTMENTS - 2 PER UNIT (15 UNITS):	30 SPACES REQUIRED
HANDICAP PARKING (26-50 PARKING SPACES)	2 SPACES REQUIRED
TOTAL PARKING PROVIDED	30 PARKING LOT SPACES
	+ 2 HANDICAP SPACES
	= 32 TOTAL PARKING SPACES PROVIDED

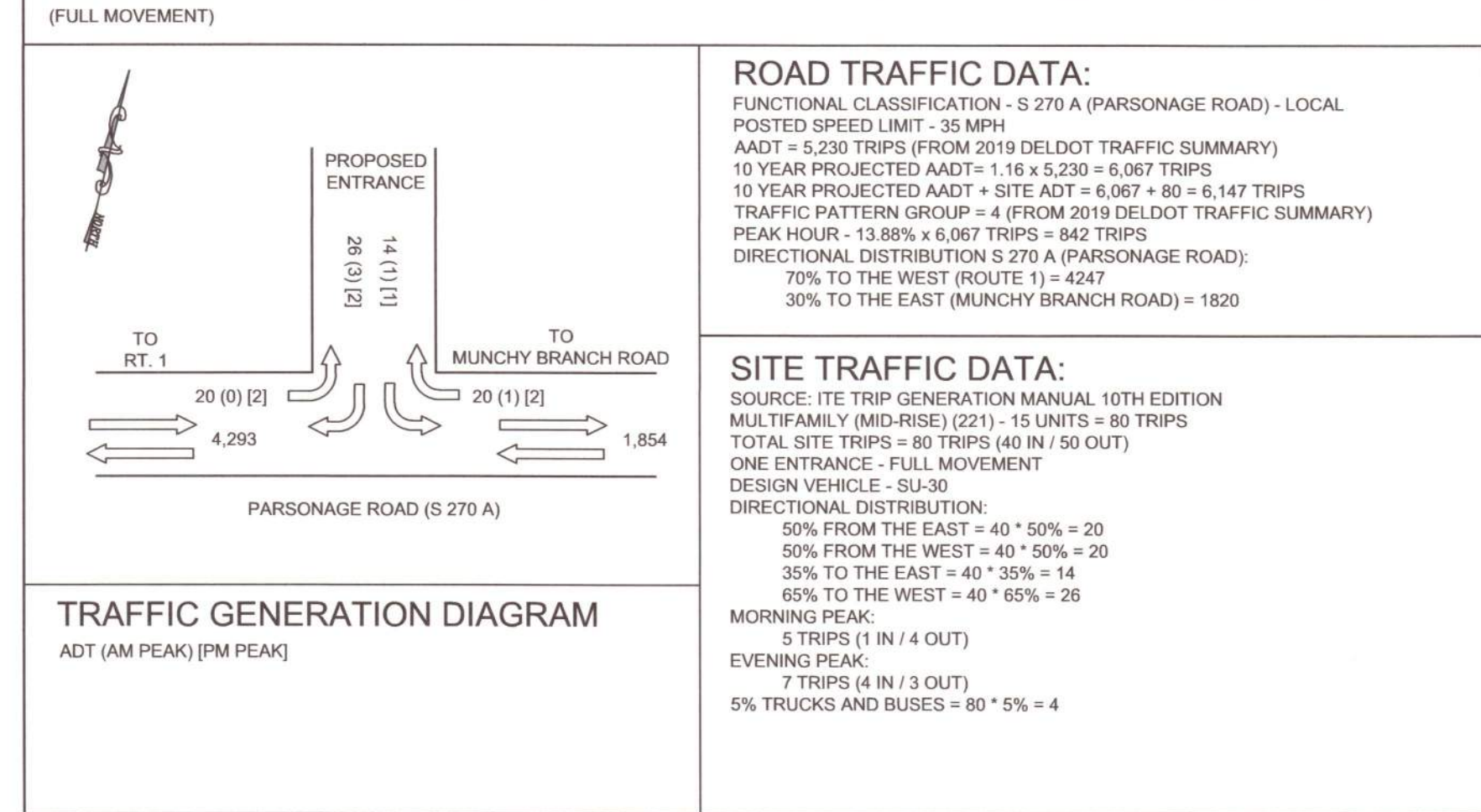
OFF-STREET LOADING - (PER CODE SECTIONS 115-167)

LOADING	
NUMBER OF LOADING SPACES REQUIRED	1 SPACE REQUIRED
NUMBER OF LOADING SPACES PROVIDED	1 SPACE (12' x 40')

### DAYS INN APPROVED 11/08/2017 - TRAFFIC GENERATION - PARSONAGE ROAD (S 270 A)



### DESTINY APARTMENTS - TRAFFIC GENERATION - PARSONAGE ROAD (S 270 A)



**ROAD TRAFFIC DATA:**  
FUNCTIONAL CLASSIFICATION - S 270 A (PARSONAGE ROAD) - LOCAL  
POSTED SPEED LIMIT - 35 MPH  
AADT = 4,576 TRIPS (FROM 2015 DELDOT TRAFFIC SUMMARY)  
10 YEAR PROJECTED AADT = 1,16 x 4,576 = 5,308 TRIPS  
10 YEAR PROJECTED AADT + SITE ADT = 5,308 + 535 = 5,843 TRIPS  
TRAFFIC PATTERN GROUP = 7 (FROM 2015 DELDOT TRAFFIC SUMMARY)  
PEAK HOUR - 15.43% x 5,843 TRIPS = 902 TRIPS  
DIRECTIONAL DISTRIBUTION S 270 A (PARSONAGE ROAD):  
70% TO THE WEST (ROUTE 1) = 3,216  
30% TO THE EAST (MUNCHY BRANCH ROAD) = 1,592

**SITE TRAFFIC DATA:**  
SOURCE: ITE TRIP GENERATION MANUAL, 8TH EDITION  
60+ ROOM HOTEL, OCCUPIED ROOMS (310)  
ONE ENTRANCE - FULL MOVEMENT  
DESIGN VEHICLE - SU-30  
DIRECTIONAL DISTRIBUTION:  
50% FROM THE EAST = 268 \* 50% = 134  
50% FROM THE WEST = 268 \* 50% = 134  
70% TO THE EAST = 267 \* 70% = 187  
30% TO THE WEST = 267 \* 30% = 80  
80 / 20 OUT / IN MORNING PEAK HOUR SPLIT  
40 / 20 OUT / IN EVENING PEAK HOUR SPLIT  
5% TRUCKS AND BUSES = 535 \* 5% = 27

**ROAD TRAFFIC DATA:**  
FUNCTIONAL CLASSIFICATION - S 270 A (PARSONAGE ROAD) - LOCAL  
POSTED SPEED LIMIT - 35 MPH  
AADT = 5,230 TRIPS (FROM 2019 DELDOT TRAFFIC SUMMARY)  
10 YEAR PROJECTED AADT = 1.16 x 5,230 = 6,067 TRIPS  
10 YEAR PROJECTED AADT + SITE ADT = 6,067 + 80 = 6,147 TRIPS  
TRAFFIC PATTERN GROUP = 4 (FROM 2019 DELDOT TRAFFIC SUMMARY)  
PEAK HOUR - 13.88% x 6,067 TRIPS = 842 TRIPS  
DIRECTIONAL DISTRIBUTION S 270 A (PARSONAGE ROAD):  
70% TO THE WEST (ROUTE 1) = 4,247  
30% TO THE EAST (MUNCHY BRANCH ROAD) = 1,820

**SITE TRAFFIC DATA:**  
SOURCE: ITE TRIP GENERATION MANUAL, 10TH EDITION  
MULTIFAMILY (MID-RISE) (221) - 15 UNITS = 80 TRIPS  
TOTAL SITE TRIPS = 80 TRIPS (40 IN / 50 OUT)  
ONE ENTRANCE - FULL MOVEMENT  
DESIGN VEHICLE - SU-30  
DIRECTIONAL DISTRIBUTION:  
50% FROM THE EAST = 40 \* 50% = 20  
50% FROM THE WEST = 40 \* 50% = 20  
35% TO THE EAST = 40 \* 35% = 14  
65% TO THE WEST = 40 \* 65% = 26

MORNING PEAK:  
5 TRIPS (1 IN / 4 OUT)  
EVENING PEAK:  
7 TRIPS (4 IN / 3 OUT)  
5% TRUCKS AND BUSES = 80 \* 5% = 4

**PROJECT TEAM**

OWNER/DEVELOPER  
DESTINY LLC  
1 PATRIOTS WAY  
REHOBOTH BEACH, DE 19971  
(302) 745-6207

ARCHITECT  
BRUCE J. MONETA, A.I.A.  
34073 VILLA CIRCLE, UNIT 304  
LEWES, DE 19958  
(302) 745-0342

SITE ENGINEER  
SCALED ENGINEERING, INC.  
20246 COASTAL HIGHWAY  
REHOBOTH BEACH, DE 19971  
(302) 236-3600

CALL Miss Utility of Delmarva  
BEFORE YOU DIG  
800-282-8555 or 811

### SUSSEX CONSERVATION DISTRICT

APPROVED BY: \_\_\_\_\_ DATE \_\_\_\_\_  
APPROVAL OF A SEDIMENT AND STORM WATER PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORM WATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.

### ENGINEERS CERTIFICATION

IT IS HEREBY CERTIFIED THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

CARLTON SAMUEL, PE (LICENSE #18457) DATE 12/23/20  
REHOBOTH BEACH, DE 19971

**SUSSEX COUNTY**

APPROVED BY: \_\_\_\_\_ DATE \_\_\_\_\_

### OWNER(S) CERTIFICATION - EROSION & SEDIMENT CONTROL

I, THE UNDERSIGNED, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E. BLUE CARD HOLDERS) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS, AND I UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT, AS REFERENCED ON THIS COVERSHEET.

DESTINY LLC  
1 PATRIOTS WAY  
REHOBOTH BEACH, DE 19971

**OWNER(S) CERTIFICATION**

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE LEGAL OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

DESTINY LLC  
1 PATRIOTS WAY  
REHOBOTH BEACH, DE 19971

**SCALED ENGINEERING**  
Scaled Engineering Inc.  
20246 Coastal Highway  
Rehoboth Beach, DE 19971  
Phone: (302) 236-3600  
FAX: (302) 236-3600  
THIS DRAWING INCLUDING DESIGN AND CONSTRUCTION FEATURES ARE PROPRIETARY TO SCALED ENGINEERING INC. AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION. © CONTENTS COPYRIGHT 2019 SCALED ENGINEERING.

**DESTINY APARTMENTS**  
TAX PARCEL NO. 334-13.00-5.00  
PARSONAGE ROAD (SR 270-A)  
REHOBOTH BEACH, SUSSEX COUNTY, DE

ISSUE / REVISION BLOCK

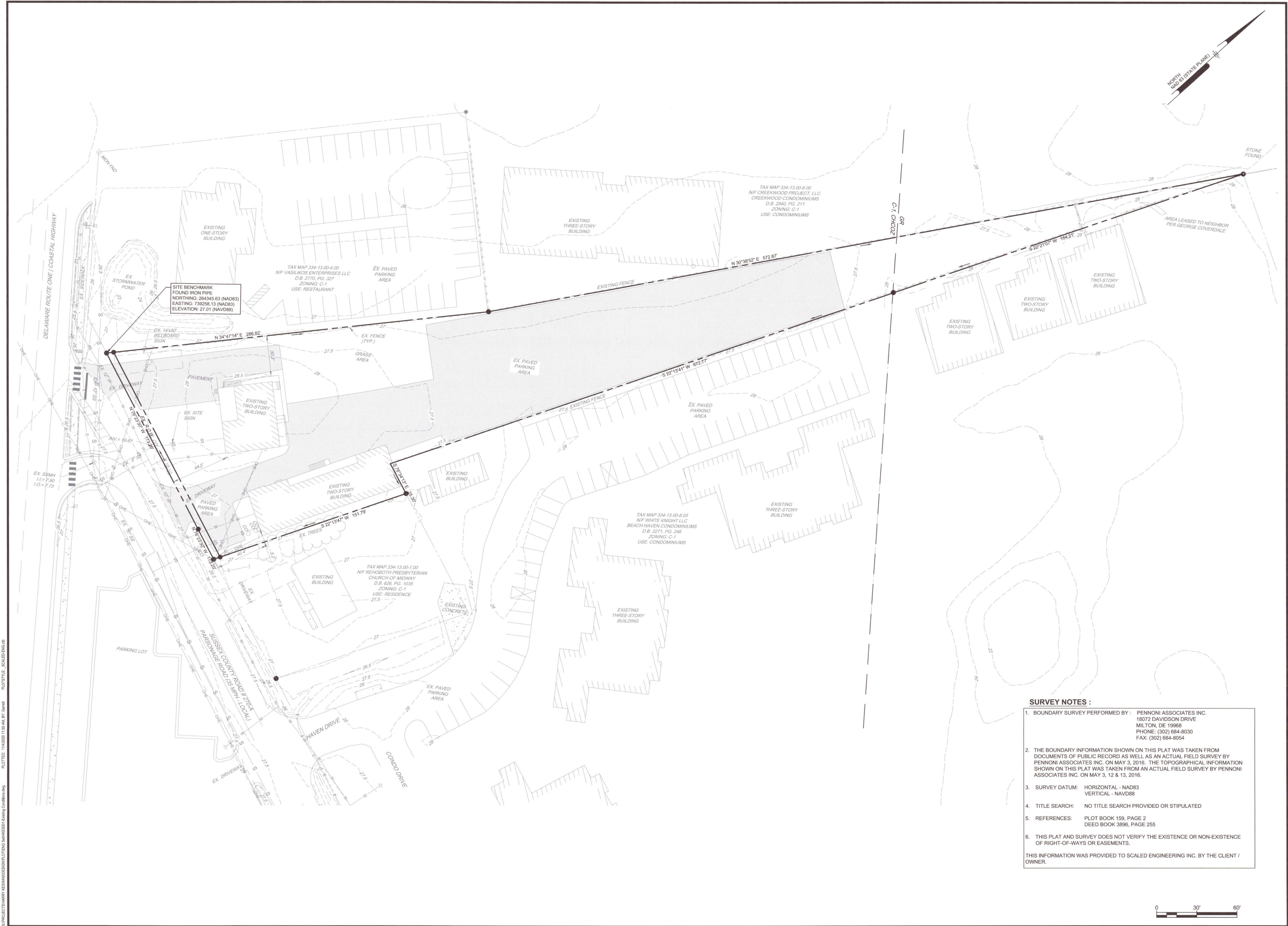
5/26/2020	SUSSEX COUNTY P & Z
5/29/2020	FIRE MARSHAL
6/25/2020	SUSSEX COUNTY P & Z PRELIMINARY APPROVAL
9/2/2020	DELDOT SUBMISSION 1
9/14/2020	OFFICE OF DRINKING WATER APPROVAL
9/18/2020	SCD COMMENTS
9/29/2020	SUSSEX COUNTY DEPT. OF ENGINEERING COMMENTS
10/08/2020	SCD SUBMISSION 2
10/09/2020	DELDOT SUBMISSION 2
10/12/2020	TIDEWATER COMMENTS
10/29/2020	SCD FINAL SUBMISSION
11/09/2020	TIDEWATER COMMENTS
12/09/2020	SUSSEX COUNTY P & Z

SCALE: AS NOTED PROJECT # HKS001 DRAWN BY GJB

DRAWING NUMBER

# T-1





**SCALED ENGINEERING**

Scaled Engineering Inc.  
 20246 Coastal Highway  
 Rehoboth Beach, DE 19971  
 Phone: (302) 236-3600

**EXISTING CONDITIONS**

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**DESTINY APARTMENTS**  
 TAX PARCEL NO. 334-13.00-5.00  
 PARSONAGE ROAD (SR 270-A)  
 REHOBOTH BEACH, SUSSEX COUNTY, DE

**SURVEY NOTES :**

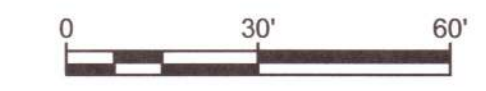
- BOUNDARY SURVEY PERFORMED BY : PENNONI ASSOCIATES INC.  
 18072 DAVIDSON DRIVE  
 MILTON, DE 19968  
 PHONE: (302) 684-8030  
 FAX: (302) 684-8054
- THE BOUNDARY INFORMATION SHOWN ON THIS PLAT WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD AS WELL AS AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES INC. ON MAY 3, 2016. THE TOPOGRAPHICAL INFORMATION SHOWN ON THIS PLAT WAS TAKEN FROM AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES INC. ON MAY 3, 12 & 13, 2016.
- SURVEY DATUM: HORIZONTAL - NAD83  
 VERTICAL - NAVD88
- TITLE SEARCH: NO TITLE SEARCH PROVIDED OR STIPULATED
- REFERENCES: PLOT BOOK 159, PAGE 2  
 DEED BOOK 3896, PAGE 255
- THIS PLAT AND SURVEY DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS.

THIS INFORMATION WAS PROVIDED TO SCALED ENGINEERING INC. BY THE CLIENT / OWNER.

ISSUE / REVISION BLOCK	
5/26/2020	- SUSSEX COUNTY P & Z
5/29/2020	- FIRE MARSHAL
6/25/2020	- SUSSEX COUNTY P & Z PRELIMINARY APPROVAL
9/2/2020	- DELDOT SUBMISSION 1
9/14/2020	- OFFICE OF DRINKING WATER APPROVAL
9/18/2020	- SCD COMMENTS
9/29/2020	- SUSSEX COUNTY DEPT. OF ENGINEERING COMMENTS
10/08/2020	- SCD SUBMISSION 2
10/09/2020	- DELDOT SUBMISSION 2
10/12/2020	- TIDEWATER COMMENTS
10/29/2020	- SCD FINAL SUBMISSION

SCALE	PROJECT #	DRAWN BY
1" = 30'	HKE001	GJB
DRAWING NUMBER		

**EX-1**



PROJECT NUMBER: 20190301-100-01  
 PLOTTED: 11/14/2020 11:58 AM BY: GJB  
 PLOT STYLE: SCALED.DWG





SCALED ENGINEERING  
Sealed Engineering Inc.  
20248 C. Highway  
Rehoboth Beach, DE 19871  
Phone: (302) 236-3600



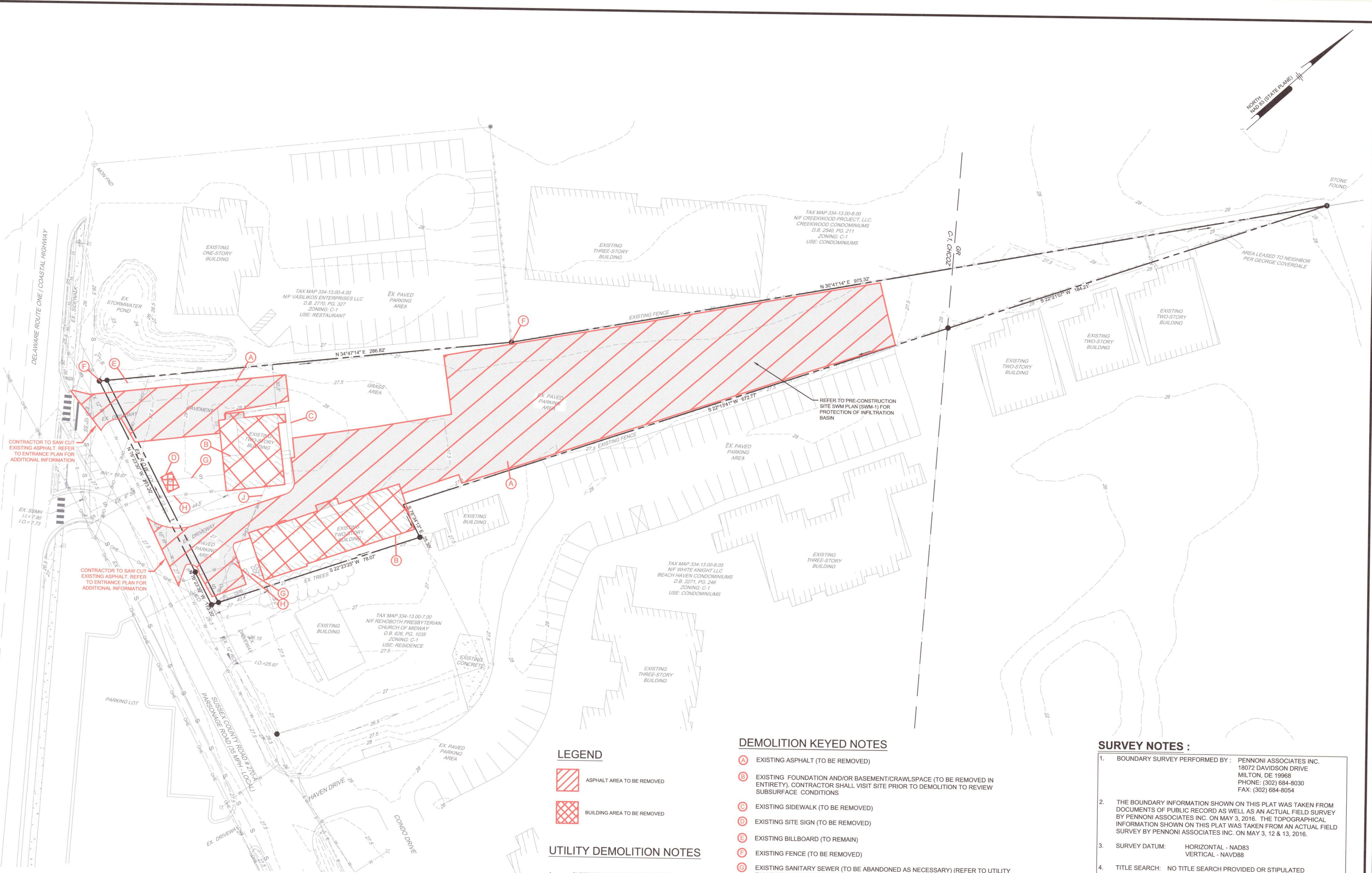
DEMOLITION PLAN

**DESTINY APARTMENTS**  
TAX PARCEL NO. 334-13.00-5.00  
PARSONAGE ROAD (SR 270-A)  
REHOBOTH BEACH, SUSSEX COUNTY, DE

ISSUE / REVISION BLOCK  
5/26/2020 - SUSSEX COUNTY P & Z  
5/29/2020 - FIRE MARSHAL  
6/25/2020 - SUSSEX COUNTY P & Z  
PRELIMINARY APPROVAL  
9/2/2020 - DELDOT SUBMISSION 1  
9/14/2020 - OFFICE OF DRINKING  
WATER APPROVAL  
9/18/2020 - SCD COMMENTS  
9/29/2020 - SUSSEX COUNTY DEPT.  
OF ENGINEERING  
COMMENTS  
10/08/2020 - SCD SUBMISSION 2  
10/09/2020 - DELDOT SUBMISSION 2  
10/12/2020 - TIDEWATER COMMENTS  
10/29/2020 - SCD FINAL SUBMISSION

SCALE PROJECT # DRAWN BY  
1" = 30' HKS001 GJB

DRAWING NUMBER  
**DE-1**



CONTRACTOR TO SAW CUT EXISTING ASPHALT. REFER TO ENTRANCE PLAN FOR ADDITIONAL INFORMATION.

REFER TO PRE-CONSTRUCTION SITE SWM PLAN (SWM-1) FOR PROTECTION OF INFILTRATION BASIN

**LEGEND**

-  ASPHALT AREA TO BE REMOVED
-  BUILDING AREA TO BE REMOVED

**UTILITY DEMOLITION NOTES**

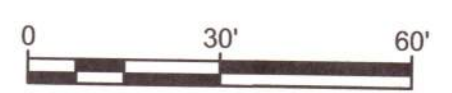
1. SUSSEX COUNTY SEWER DISCONNECT PERMIT MUST BE OBTAINED BY STATE OF DELAWARE LICENSED PLUMBER PRIOR TO DISCONNECT
2. UTILITY DISCONNECT SHALL BE DONE IN ACCORDANCE WITH SUSSEX COUNTY CODE CHAPTER 110 - TECHNICAL BULLETIN FOR BUILDING SEWER AND WATER SERVICE

**DEMOLITION KEYED NOTES**

- (A)** EXISTING ASPHALT (TO BE REMOVED)
- (B)** EXISTING FOUNDATION AND/OR BASEMENT/CRAWLSPACE (TO BE REMOVED IN ENTIRETY). CONTRACTOR SHALL VISIT SITE PRIOR TO DEMOLITION TO REVIEW SUBSURFACE CONDITIONS
- (C)** EXISTING SIDEWALK (TO BE REMOVED)
- (D)** EXISTING SITE SIGN (TO BE REMOVED)
- (E)** EXISTING BILLBOARD (TO REMAIN)
- (F)** EXISTING FENCE (TO BE REMOVED)
- (G)** EXISTING SANITARY SEWER (TO BE ABANDONED AS NECESSARY) (REFER TO UTILITY PLANS FOR PROPOSED CONNECTION)
- (H)** EXISTING WATER (TO BE ABANDONED AS NECESSARY) (REFER TO UTILITY PLANS FOR PROPOSED CONNECTION)
- (I)** NOT USED
- (J)** EXISTING OVERHEAD ELECTRIC (TO BE REMOVED) (CONTRACTOR TO COORDINATE WITH ELECTRIC COMPANY)

**SURVEY NOTES :**

1. BOUNDARY SURVEY PERFORMED BY : PENNONI ASSOCIATES INC. 18072 DAVIDSON DRIVE MILTON, DE 19968 PHONE: (302) 684-8030 FAX: (302) 684-8054
  2. THE BOUNDARY INFORMATION SHOWN ON THIS PLAT WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD AS WELL AS AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES INC. ON MAY 3, 2016. THE TOPOGRAPHICAL INFORMATION SHOWN ON THIS PLAT WAS TAKEN FROM AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES INC. ON MAY 3, 12 & 13, 2016.
  3. SURVEY DATUM: HORIZONTAL - NAD83 VERTICAL - NAVD88
  4. TITLE SEARCH: NO TITLE SEARCH PROVIDED OR STIPULATED
  5. REFERENCES: PLOT BOOK 159, PAGE 2 DEED BOOK 3896, PAGE 255
  6. THIS PLAT AND SURVEY DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS.
- THIS INFORMATION WAS PROVIDED TO SCALED ENGINEERING INC. BY THE CLIENT / OWNER.



SURVEYED BY HARRY REHOBOTH BEACH, DE 19871. PLOTTED: 11/02/2021 11:58 AM BY: GJB





SCALED ENGINEERING  
Scaled Engineering Inc.  
20246 Coastal Highway  
Rehoboth Beach, DE 19971  
Phone: (302) 236-3600

**DESTINY APARTMENTS**  
TAX PARCEL NO. 334-13.00-5.00  
PARSONAGE ROAD (SR 270-A)  
REHOBOTH BEACH, SUSSEX COUNTY, DE

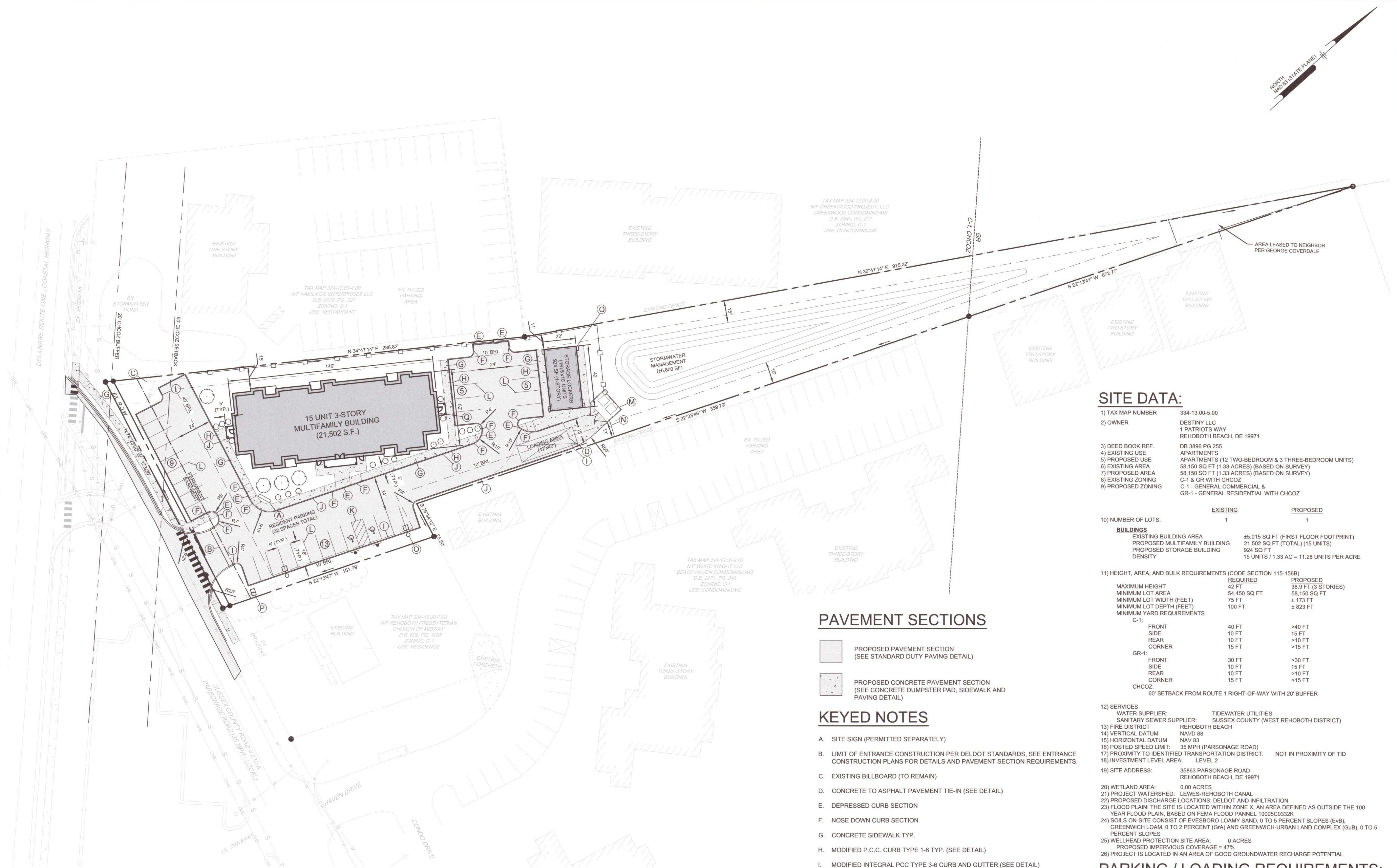
**DESTINY APARTMENTS**  
TAX PARCEL NO. 334-13.00-5.00  
PARSONAGE ROAD (SR 270-A)  
REHOBOTH BEACH, SUSSEX COUNTY, DE

ISSUE / REVISION BLOCK

5/26/2020	- SUSSEX COUNTY P & Z
5/29/2020	- FIRE MARSHAL
6/25/2020	- SUSSEX COUNTY P & Z PRELIMINARY APPROVAL
9/2/2020	- DELDOT SUBMISSION 1
9/14/2020	- OFFICE OF DRINKING WATER APPROVAL
9/18/2020	- SCD COMMENTS
9/29/2020	- SUSSEX COUNTY DEPT. OF ENGINEERING COMMENTS
10/08/2020	- SCD SUBMISSION 2
10/09/2020	- DELDOT SUBMISSION 2
10/12/2020	- TIDEWATER COMMENTS
10/29/2020	- SCD FINAL SUBMISSION
11/09/2020	- TIDEWATER COMMENTS
12/09/2020	- SUSSEX COUNTY P & Z

SCALE	PROJECT #	DRAWN BY
1" = 30'	HKE001	GJB
DRAWING NUMBER		

**C-1**



**SITE DATA:**

- 1) TAX MAP NUMBER: 334-13.00-5.00
- 2) OWNER: DESTINY LLC, 1 PATRIOTS WAY, REHOBOTH BEACH, DE 19971
- 3) DEED BOOK REF.: DB 3896 PG 255
- 4) EXISTING USE: APARTMENTS
- 5) PROPOSED USE: APARTMENTS (12 TWO-BEDROOM & 3 THREE-BEDROOM UNITS)
- 6) EXISTING AREA: 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)
- 7) PROPOSED AREA: 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)
- 8) EXISTING ZONING: C-1 & GR WITH CHCOZ
- 9) PROPOSED ZONING: C-1 - GENERAL COMMERCIAL & GR-1 - GENERAL RESIDENTIAL WITH CHCOZ

	EXISTING	PROPOSED
10) NUMBER OF LOTS:	1	1
<b>BUILDINGS</b>		
EXISTING BUILDING AREA	±5,015 SQ FT (FIRST FLOOR FOOTPRINT)	
PROPOSED MULTIFAMILY BUILDING	21,502 SQ FT (TOTAL) (15 UNITS)	
PROPOSED STORAGE BUILDING	924 SQ FT	
DENSITY	15 UNITS / 1.33 AC = 11.28 UNITS PER ACRE	

11) HEIGHT, AREA, AND BULK REQUIREMENTS (CODE SECTION 115-156B)		
	REQUIRED	PROPOSED
MAXIMUM HEIGHT	42 FT	38.9 FT (3 STORIES)
MINIMUM LOT AREA	54,450 SQ FT	58,150 SQ FT
MINIMUM LOT WIDTH (FEET)	75 FT	± 173 FT
MINIMUM LOT DEPTH (FEET)	100 FT	± 823 FT
<b>MINIMUM YARD REQUIREMENTS</b>		
C-1:		
FRONT	40 FT	≥40 FT
SIDE	10 FT	15 FT
REAR	10 FT	>10 FT
CORNER	15 FT	>15 FT
GR-1:		
FRONT	30 FT	≥30 FT
SIDE	10 FT	15 FT
REAR	10 FT	>10 FT
CORNER	15 FT	>15 FT
CHCOZ:		
60' SETBACK FROM ROUTE 1 RIGHT-OF-WAY WITH 20' BUFFER		

**PAVEMENT SECTIONS**

- PROPOSED PAVEMENT SECTION (SEE STANDARD DUTY PAVING DETAIL)
- PROPOSED CONCRETE PAVEMENT SECTION (SEE CONCRETE DUMPSTER PAD, SIDEWALK AND PAVING DETAIL)

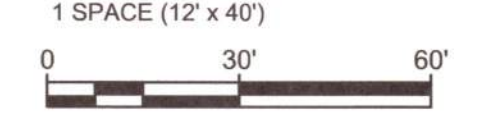
**KEYED NOTES**

- A. SITE SIGN (PERMITTED SEPARATELY)
- B. LIMIT OF ENTRANCE CONSTRUCTION PER DELDOT STANDARDS, SEE ENTRANCE CONSTRUCTION PLANS FOR DETAILS AND PAVEMENT SECTION REQUIREMENTS.
- C. EXISTING BILLBOARD (TO REMAIN)
- D. CONCRETE TO ASPHALT PAVEMENT TIE-IN (SEE DETAIL)
- E. DEPRESSED CURB SECTION
- F. NOSE DOWN CURB SECTION
- G. CONCRETE SIDEWALK TYP.
- H. MODIFIED P.C.C. CURB TYPE 1-6 TYP. (SEE DETAIL)
- I. PAINTED YELLOW CURB OR STRIPE (REFER TO FIRE PROTECTION PLANS FOR MORE DETAILS)
- J. VAN ACCESSIBLE ADA PARKING SPACE AND SIGNAGE (SEE DETAIL)
- L. 4" WIDE WHITE PAINTED LINE TO DELINEATE PARKING SPACE (EPOXY)
- M. DUMPSTER ENCLOSURE WITH 6-FOOT PRIVACY FENCE (SEE DETAIL)
- N. 10' WIDE GATE (MATCH FENCE)
- O. 20" HIGH, POLE MOUNTED LED LIGHTING (DOWNWARD SCREENED - HOUSE SIDE SHIELD TO BE INSTALLED TO REDUCE GLARE ON ADJACENT PROPERTY), TYP.
- P. ELECTRIC TRANSFORMER LOCATION (IF NEEDED)
- Q. WALL PACK EXTERIOR LED LIGHTING (REFER TO ARCHITECTURAL PLANS FOR MORE DETAIL), TYP.

**PARKING / LOADING REQUIREMENTS:**

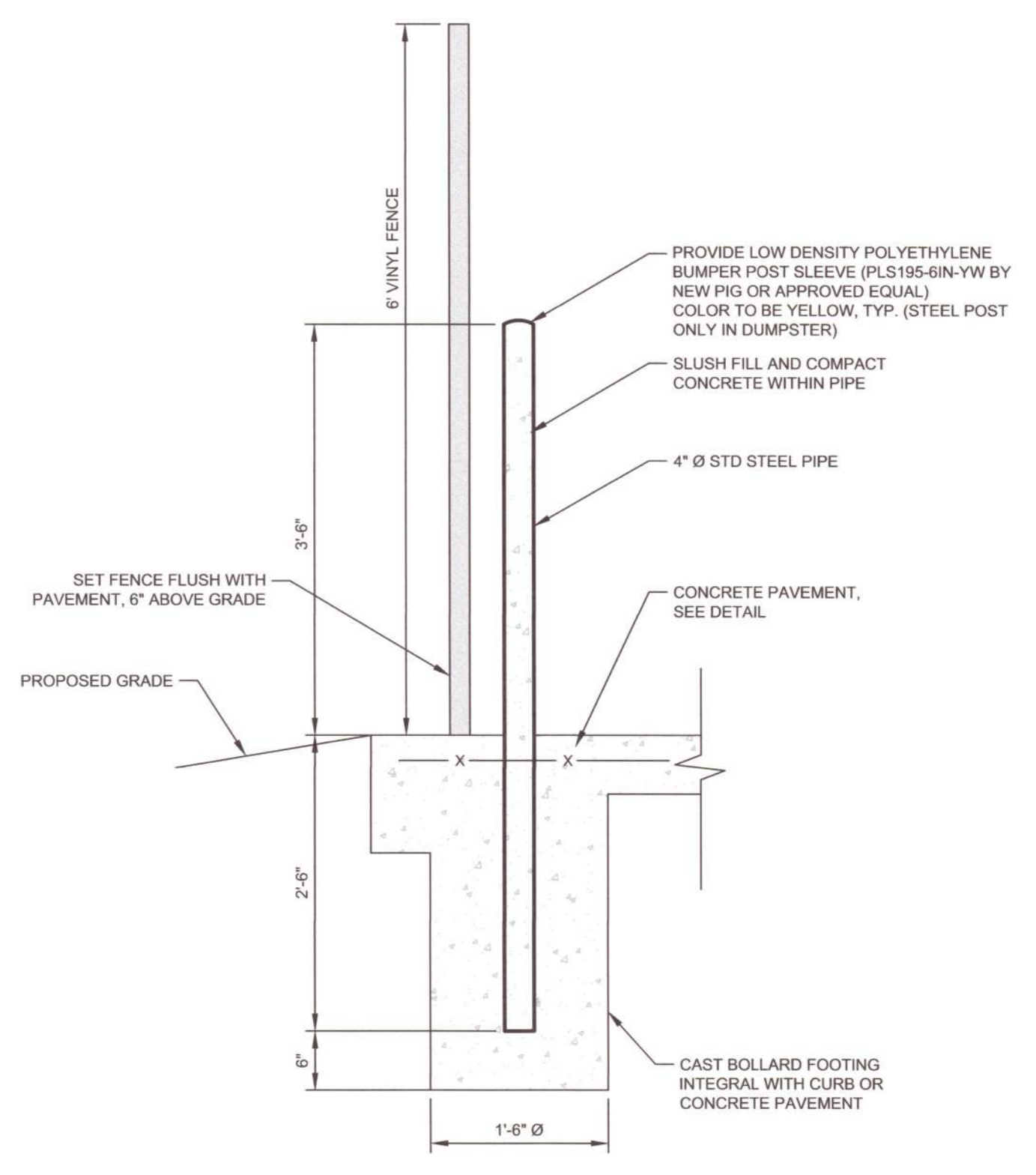
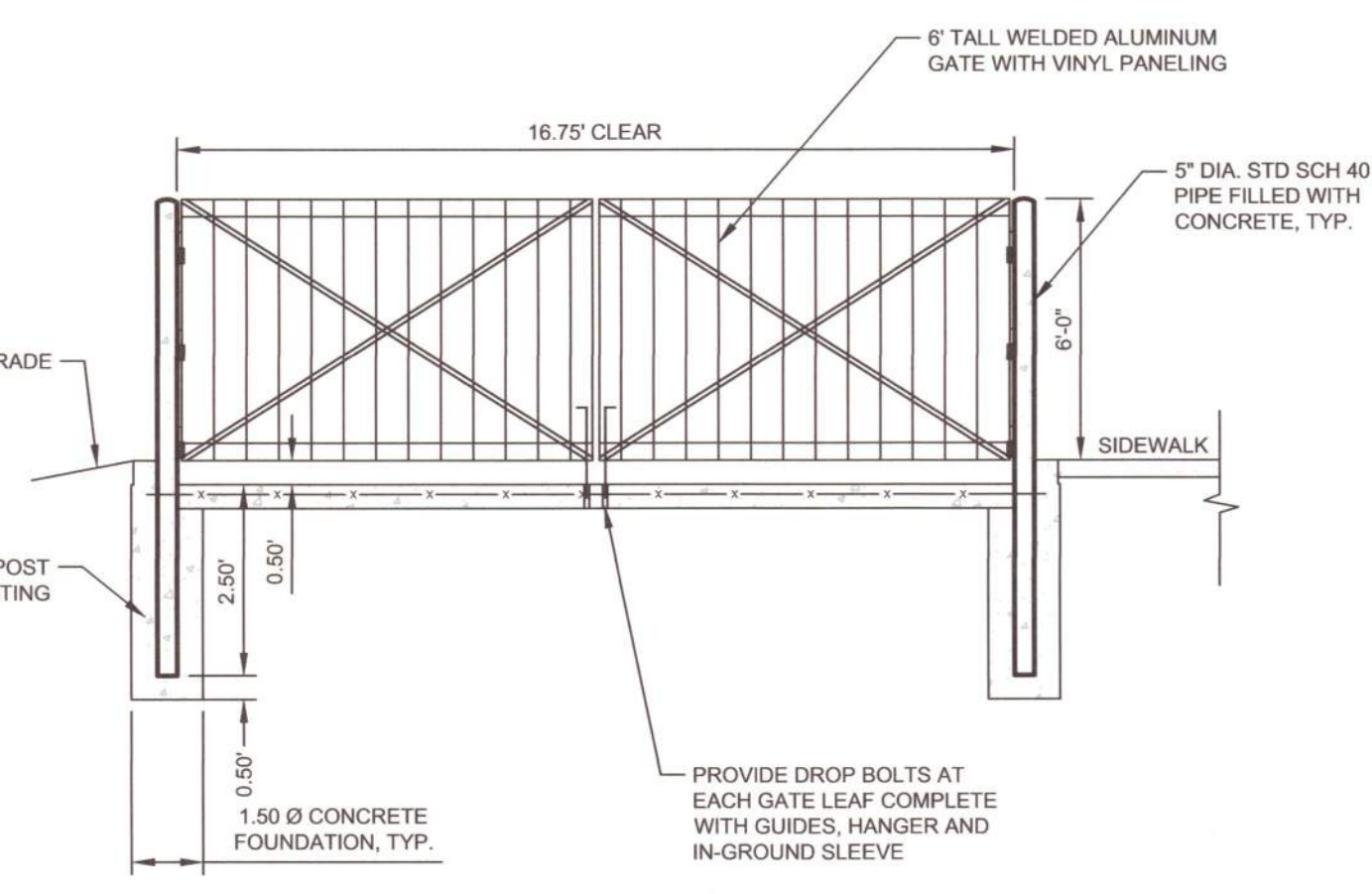
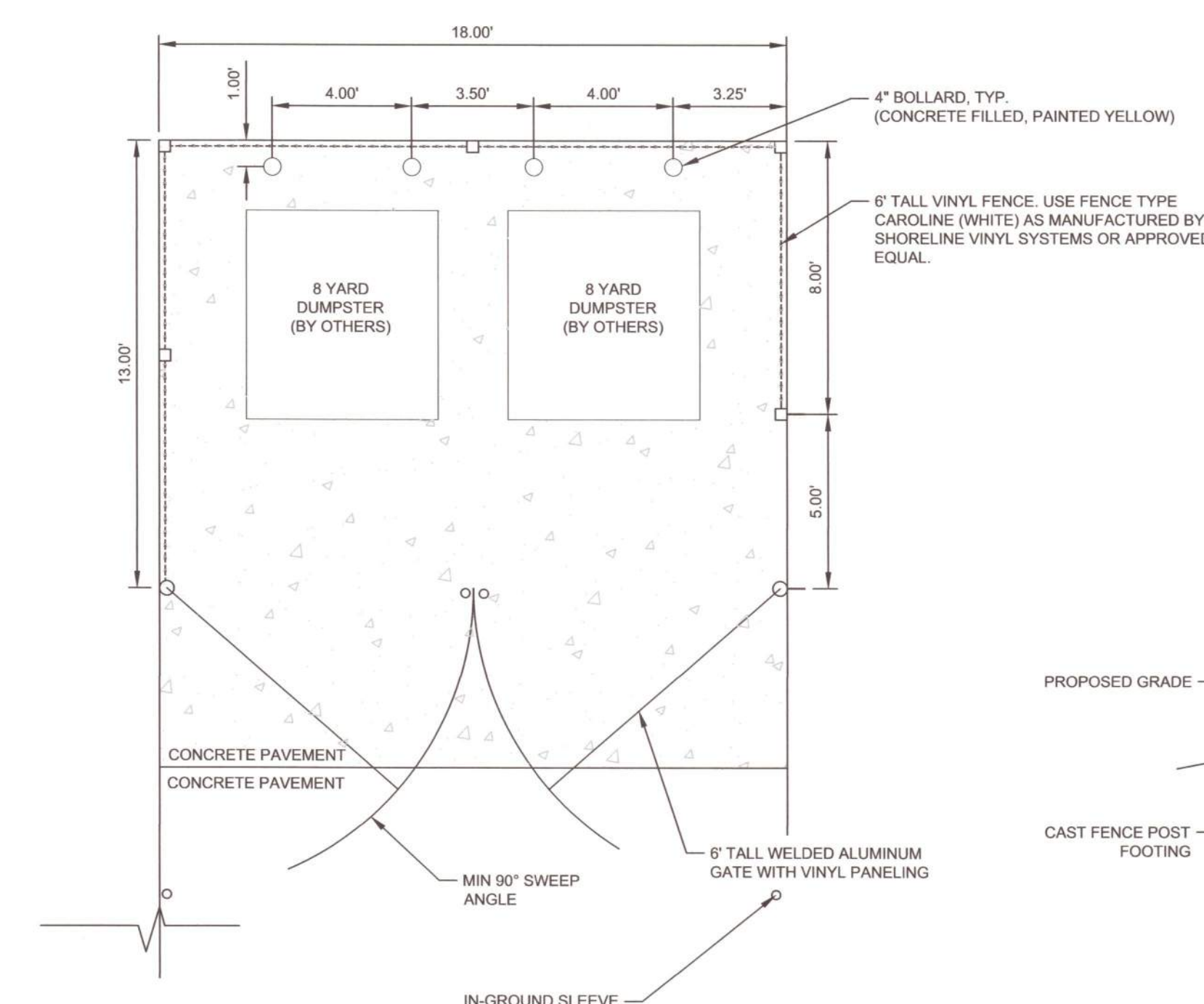
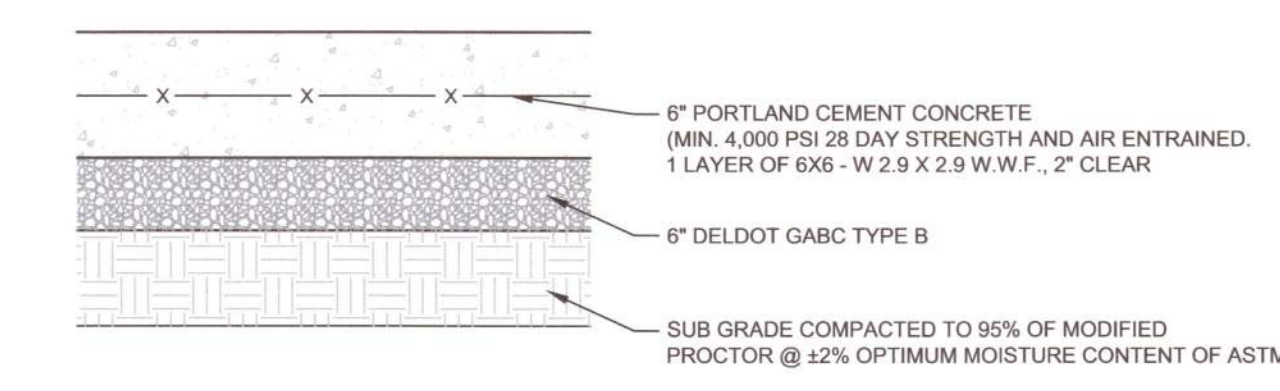
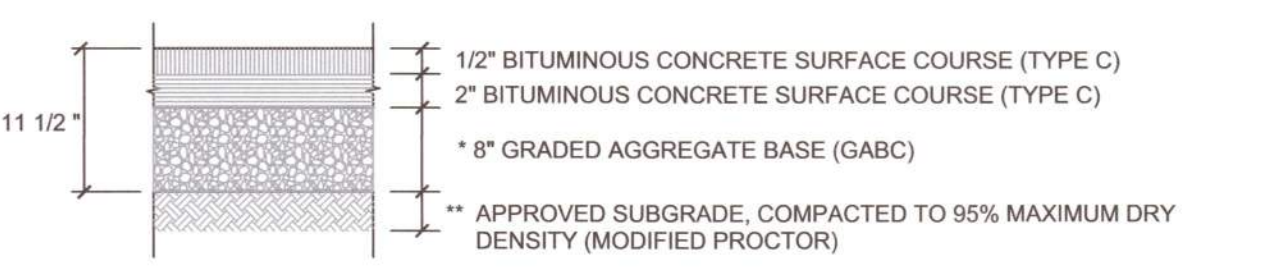
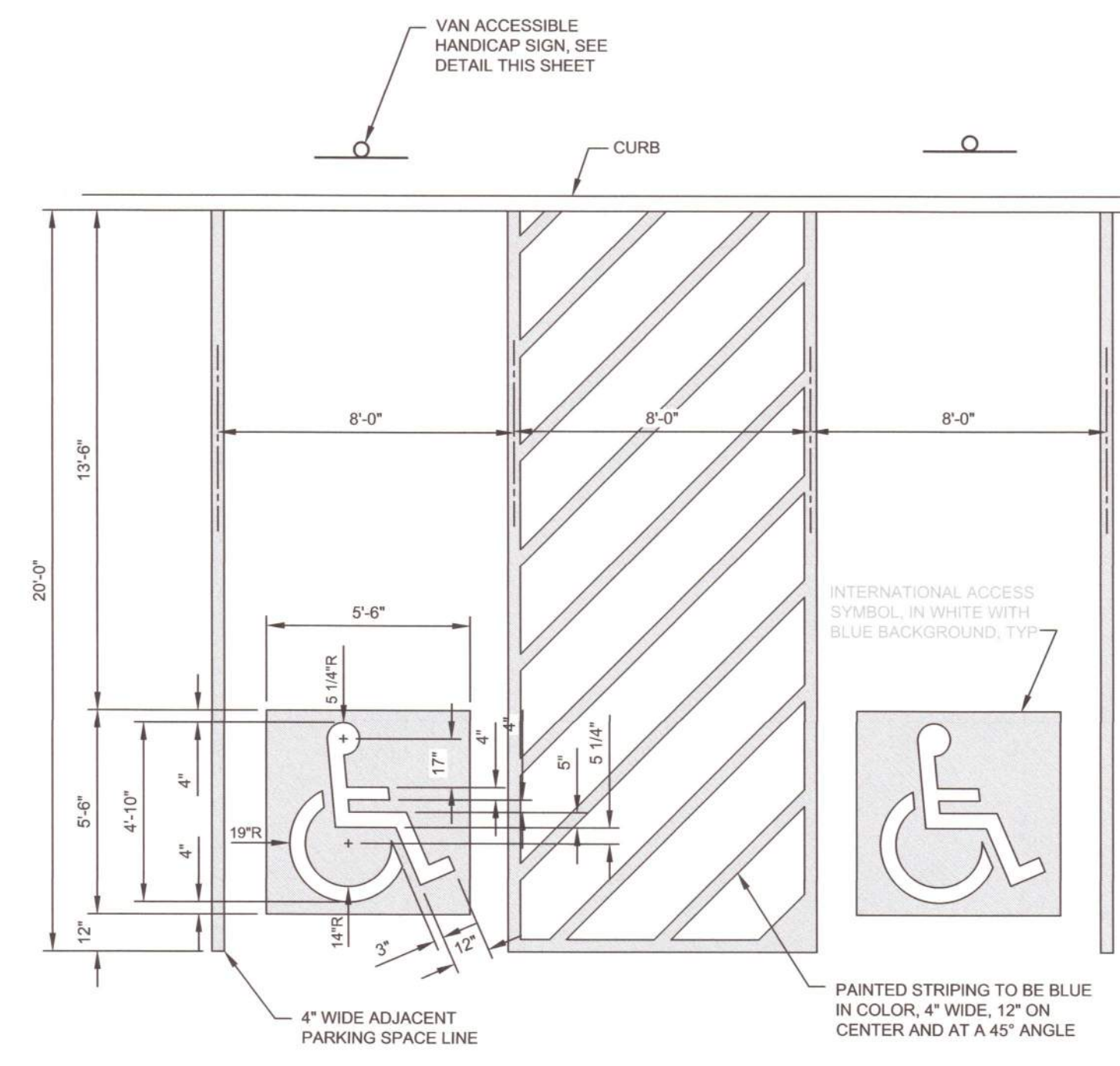
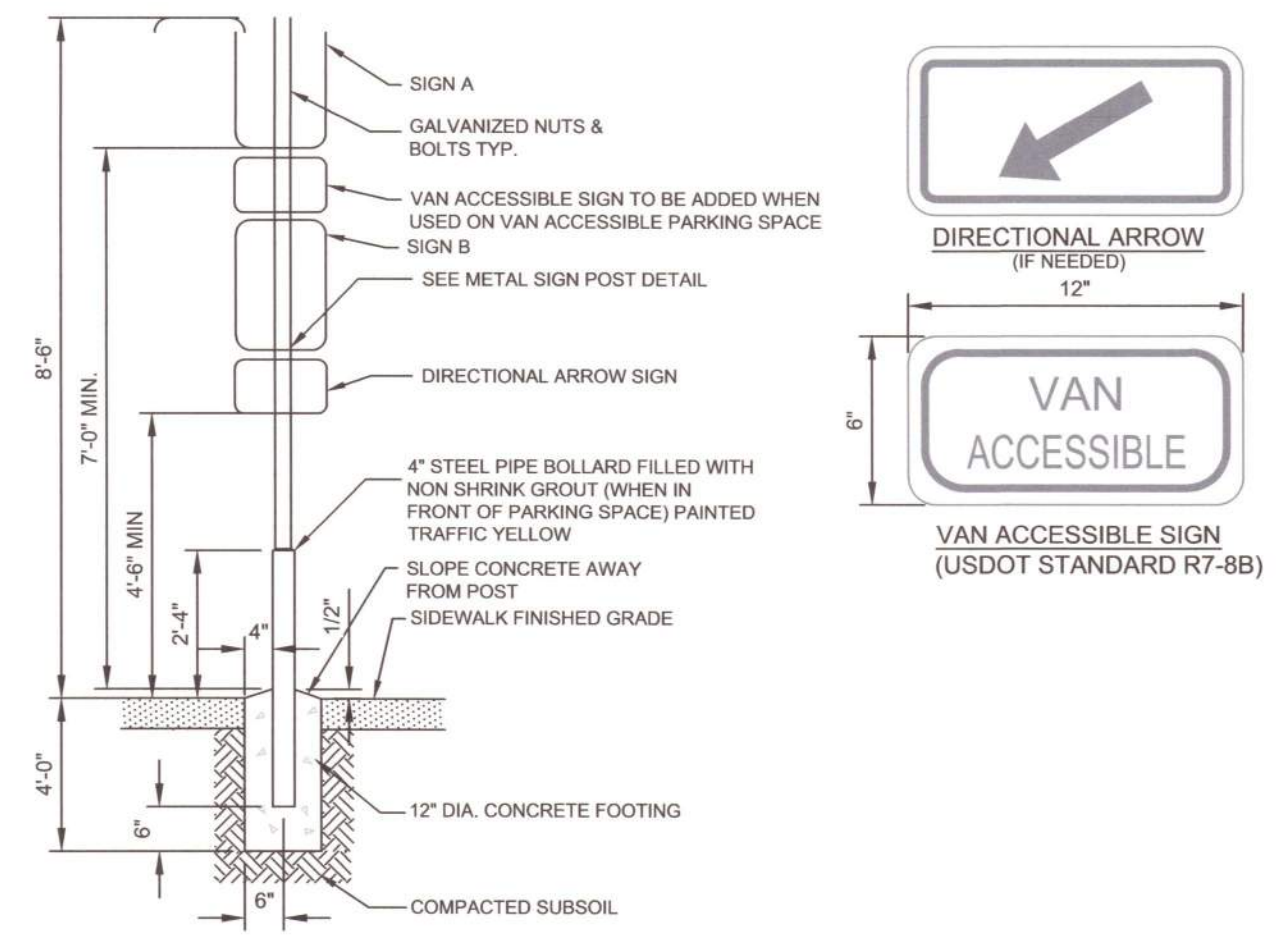
OFF-STREET PARKING - (PER CODE SECTIONS 115-162A & 45-5)	
REQUIRED PARKING	
APARTMENTS - 2 PER UNIT (15 UNITS)	30 SPACES REQUIRED
HANDICAP PARKING (26-50 PARKING SPACES)	2 SPACES REQUIRED
TOTAL PARKING PROVIDED	30 PARKING LOT SPACES + 2 HANDICAP SPACES = 32 TOTAL PARKING SPACES PROVIDED

OFF-STREET LOADING - (PER CODE SECTIONS 115-167)	
LOADING	
NUMBER OF LOADING SPACES REQUIRED	1 SPACE REQUIRED
NUMBER OF LOADING SPACES PROVIDED	1 SPACE (12' x 40')



PROJECTS/HARRY KESWANDES/PL02ENG 24/08/2020/01 PM BY: JHF PLOTSTYLE: SCALED.ENG.DWG

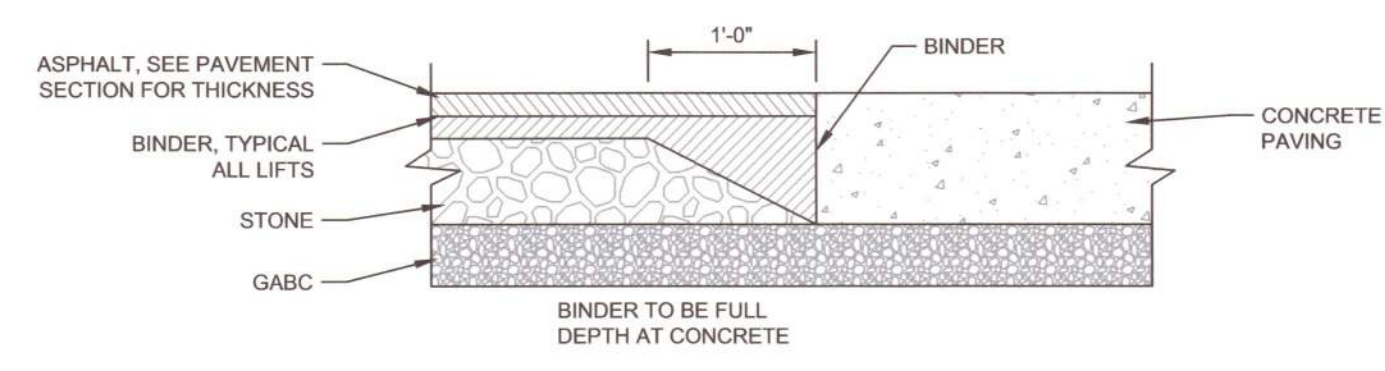




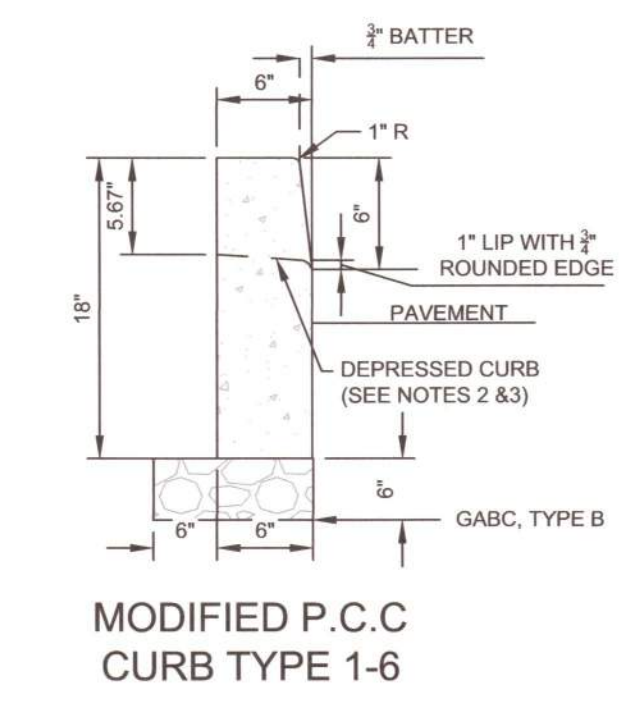
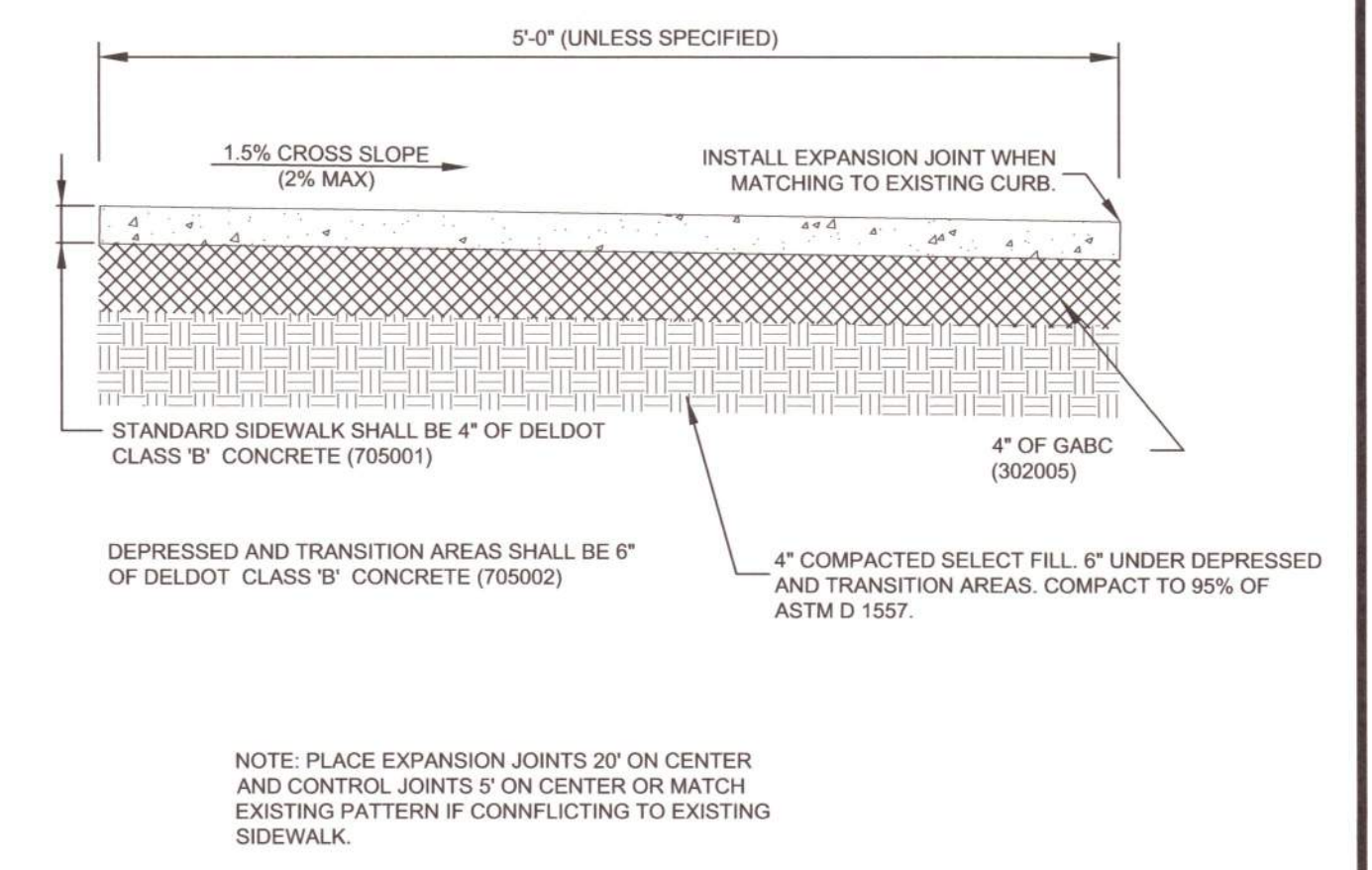
**NOTES:**

- ALL CONCRETE USED SHALL BE PORTLAND CEMENT CONCRETE MIX NO. 7.
- TOOLED CONTRACTION JOINTS ARE TO BE PLACED 10' MAX BOTH DIRECTIONS, OR AS DIRECTED ON THE SITE PLANS OR AS DIRECTED BY THE STRUCTURAL ENGINEER.
- CONSTRUCTION JOINTS ARE TO BE PLACED 20' MAX BOTH DIRECTIONS, OR AS DIRECTED ON THE SITE PLANS OR AS DIRECTED BY THE STRUCTURAL ENGINEER.
- WHEN PLACED ADJACENT TO EXISTING CONCRETE PAVEMENT, NEW OR EXISTING FOUNDATION WALL, CONCRETE CURB & GUTTER OR OTHER STRUCTURE, INSTALL APPROVED EXPANSION JOINT. ADDITIONAL EXPANSION JOINTS ARE TO BE PLACED AS DIRECTED ON THE SITE PLANS OR AS DIRECTED BY THE STRUCTURAL ENGINEER.

**CONCRETE TO ASPHALT PAVEMENT TIE-IN DETAIL**  
NOT TO SCALE

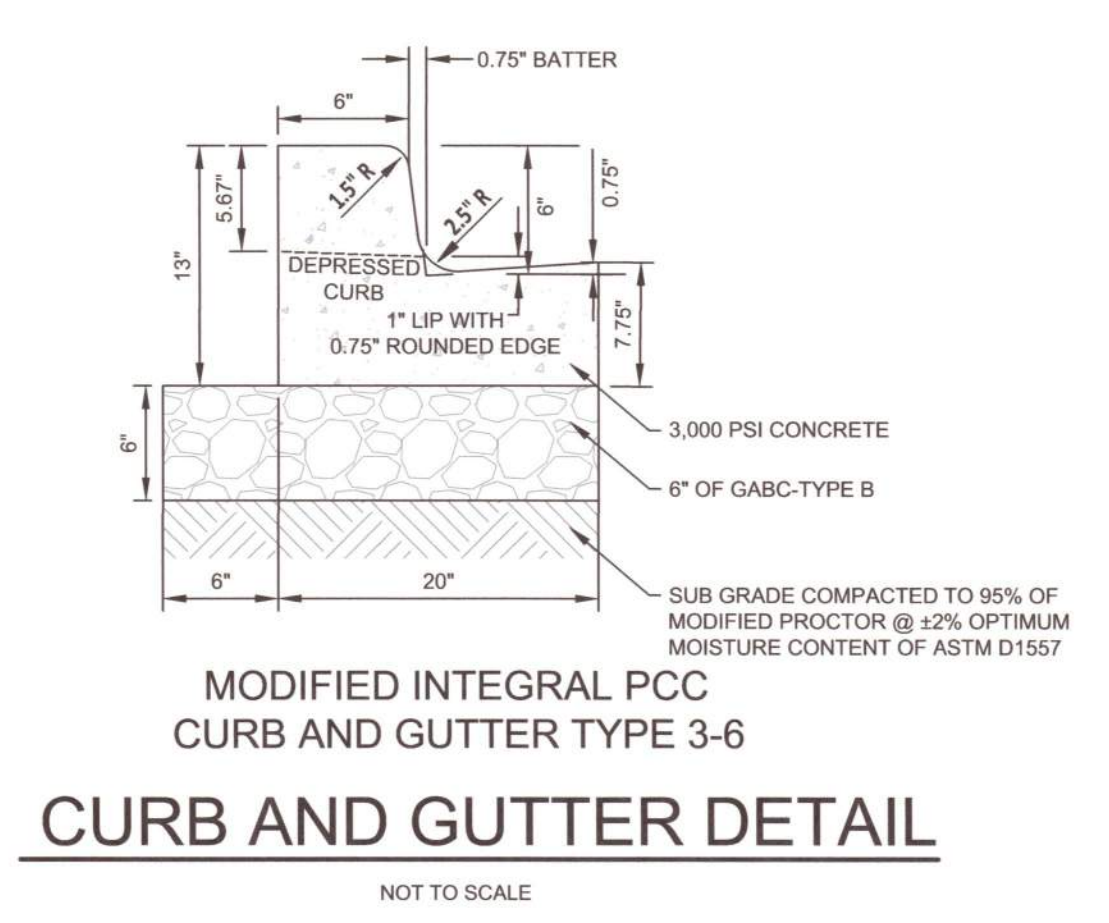


**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



**NOTES:**

- PROVIDE 3/4" PRE-MOLDED EXPANSION JOINTS @ 15'-0" MAX. SPACING.
- TAPERED END SECTIONS TO BE USED AT ALL TERMINAL POINTS.
- 3,000 PSI CONCRETE.



**CURB AND GUTTER DETAIL**  
NOT TO SCALE

**CURB DETAIL**  
NOT TO SCALE

**SCALED ENGINEERING**  
 Scaled Engineering Inc.  
 20246 Coastal Highway  
 Rehoboth Beach, DE 19971  
 Phone: (302) 236-3600

**SITE DETAILS**

**DESTINY APARTMENTS**  
 TAX PARCEL NO. 334-13.00-5.00  
 PARSONAGE ROAD (SR 270-A)  
 REHOBOTH BEACH, SUSSEX COUNTY, DE

**ISSUE / REVISION BLOCK**

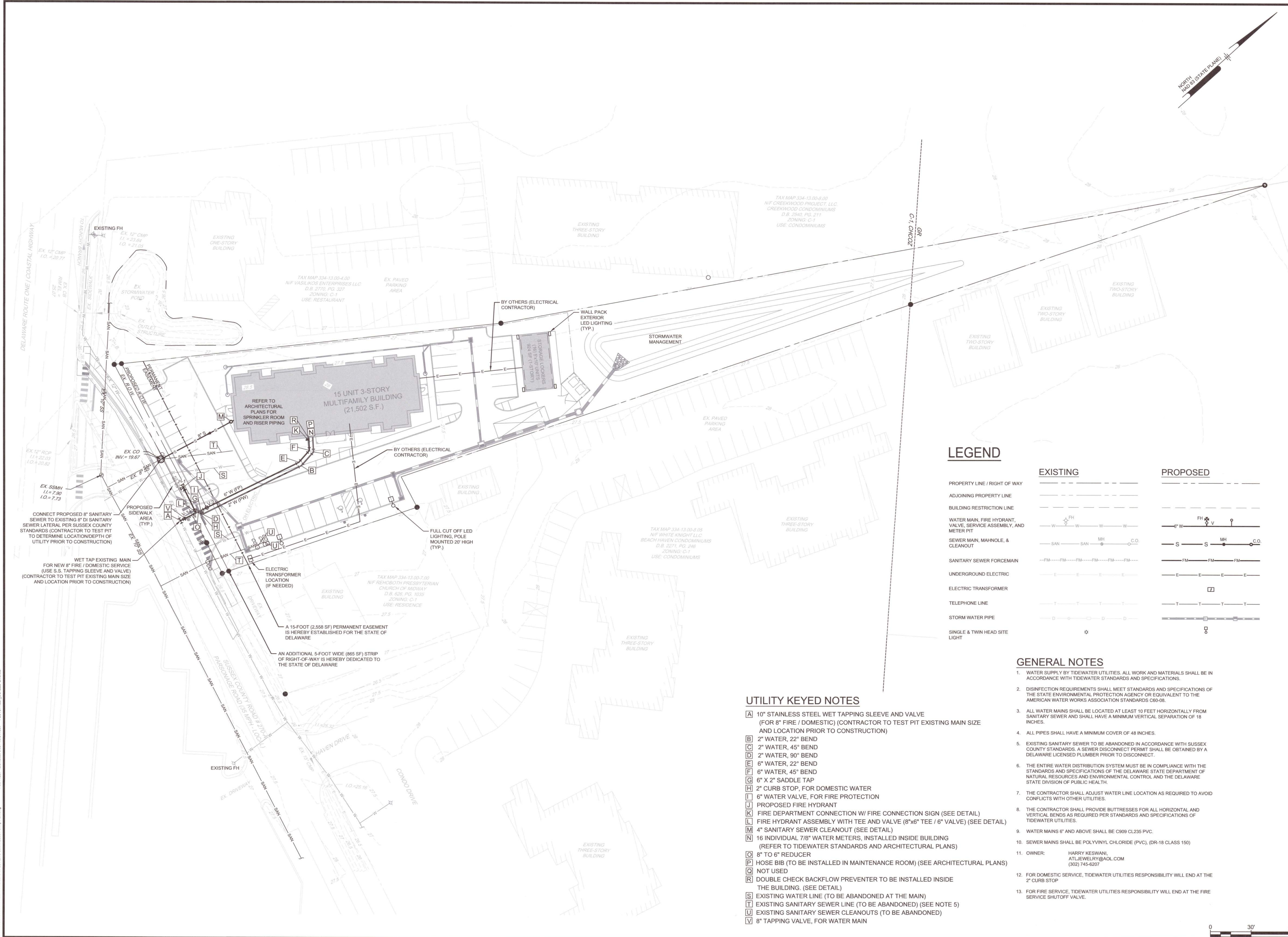
5/26/2020	- SUSSEX COUNTY P & Z
5/29/2020	- FIRE MARSHAL
6/25/2020	- SUSSEX COUNTY P & Z PRELIMINARY APPROVAL
9/2/2020	- DELDOT SUBMISSION 1
9/14/2020	- OFFICE OF DRINKING WATER APPROVAL
9/18/2020	- SCD COMMENTS
9/29/2020	- SUSSEX COUNTY DEPT. OF ENGINEERING COMMENTS
10/08/2020	- SCD SUBMISSION 2
10/09/2020	- DELDOT SUBMISSION 2
10/12/2020	- TIDEWATER COMMENTS
10/29/2020	- SCD FINAL SUBMISSION

SCALE	PROJECT #	DRAWN BY
AS NOTED	HKE5001	GJB
DRAWING NUMBER		

**SD-1**

P: 01/25/2020 11:56 AM BY: GJB  
 S:\PROJECTS\HARRIS RESURFACING\SCD\01\SD\SCD\SD-1.dwg  
 PLOT STYLE: SCALED.DWG





**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE / RIGHT OF WAY	---	---
ADJOINING PROPERTY LINE	---	---
BUILDING RESTRICTION LINE	---	---
WATER MAIN, FIRE HYDRANT, VALVE, SERVICE ASSEMBLY, AND METER PIT	W-W-W-W-W-W-W-W-W-W	W-W-W-W-W-W-W-W-W-W
SEWER MAIN, MAHNOLE, & CLEANOUT	SAN-SAN-SAN-SAN-SAN-SAN-SAN-SAN-SAN-SAN	S-S-S-S-S-S-S-S-S-S
SANITARY SEWER FORCEMAIN	FM-FM-FM-FM-FM-FM-FM-FM-FM-FM	FM-FM-FM-FM-FM-FM-FM-FM-FM-FM
UNDERGROUND ELECTRIC	E-E-E-E-E-E-E-E-E-E	E-E-E-E-E-E-E-E-E-E
ELECTRIC TRANSFORMER	□	□
TELEPHONE LINE	T-T-T-T-T-T-T-T-T-T	T-T-T-T-T-T-T-T-T-T
STORM WATER PIPE	D-D-D-D-D-D-D-D-D-D	D-D-D-D-D-D-D-D-D-D
SINGLE & TWIN HEAD SITE LIGHT	○	○

**GENERAL NOTES**

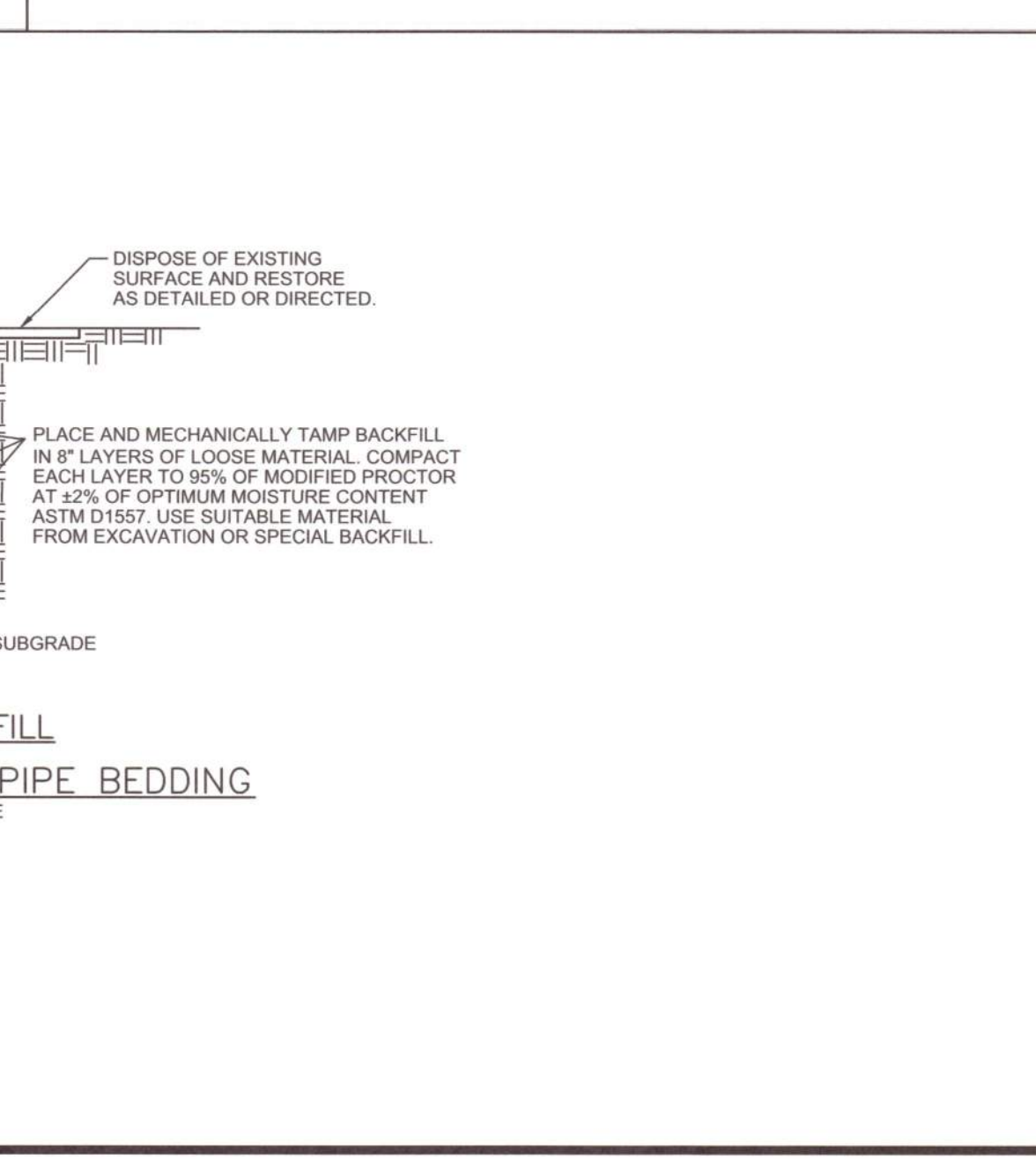
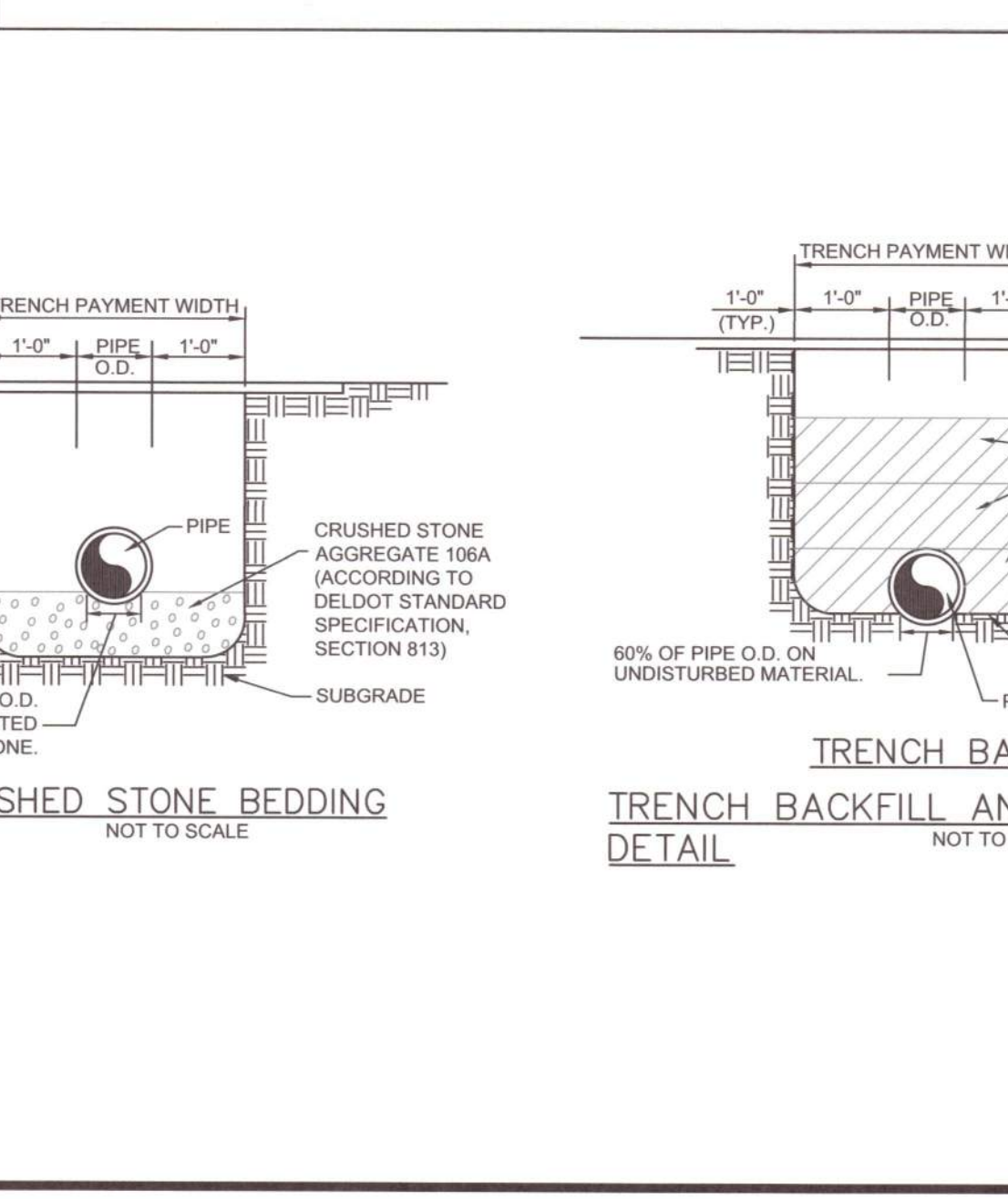
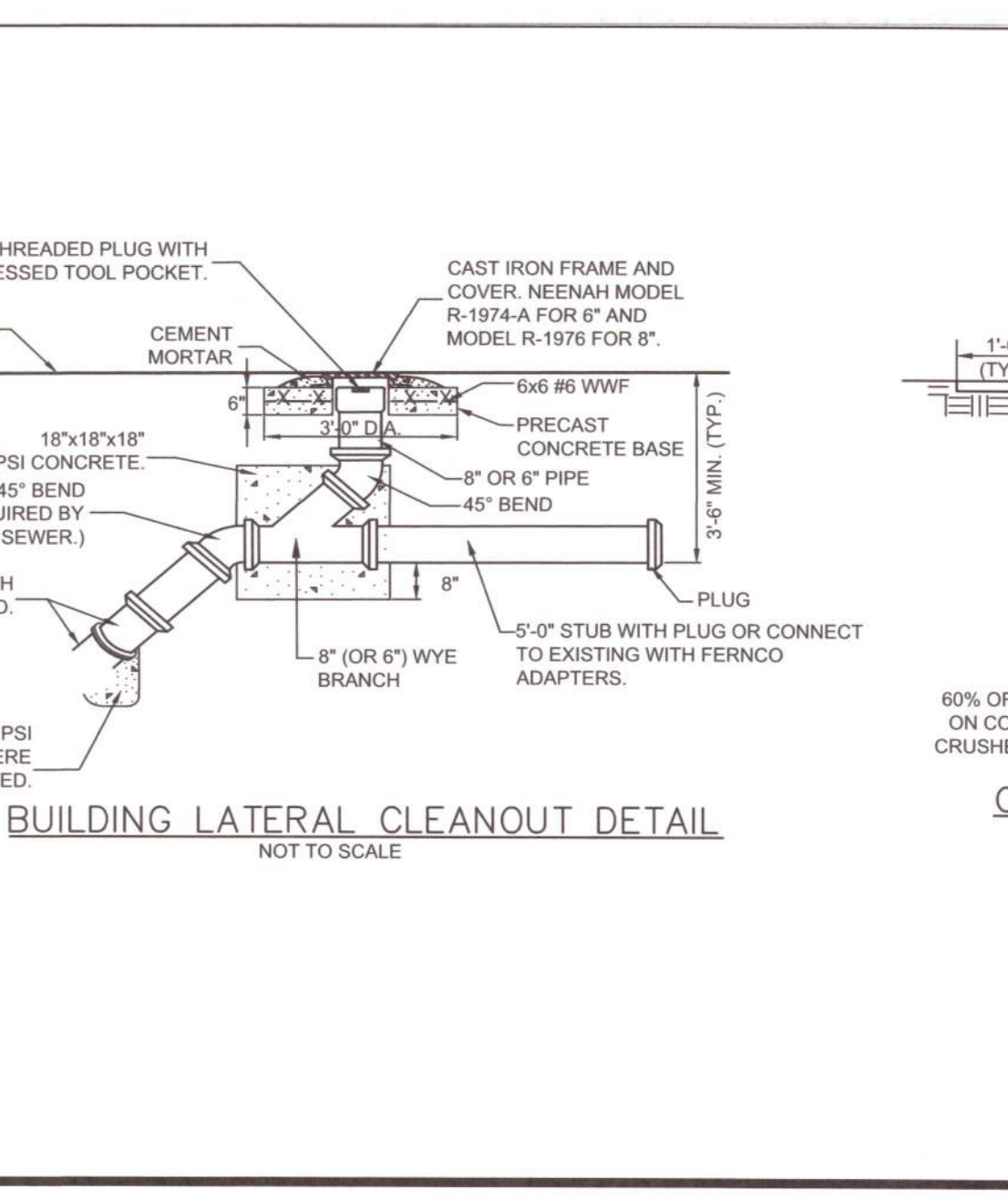
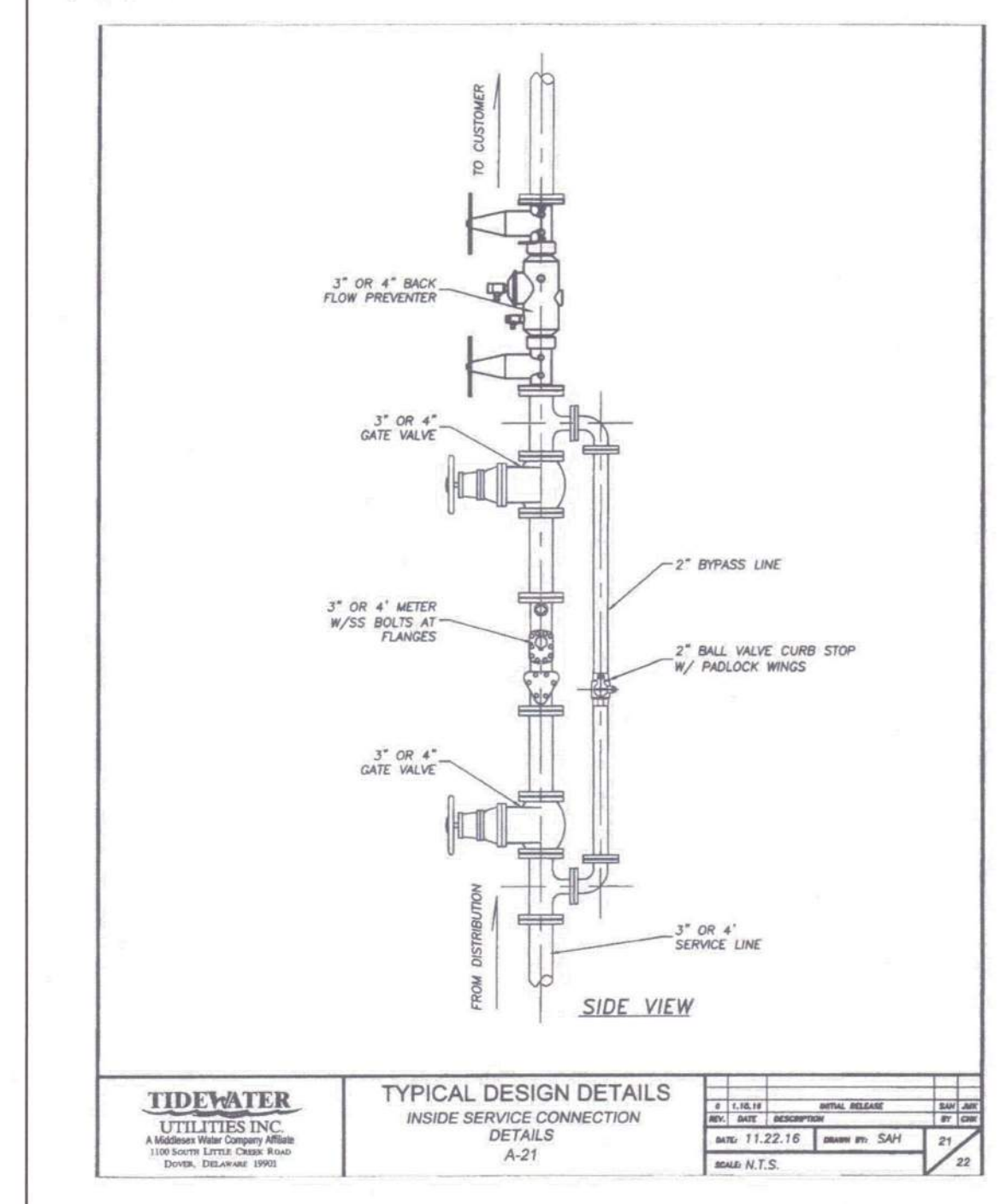
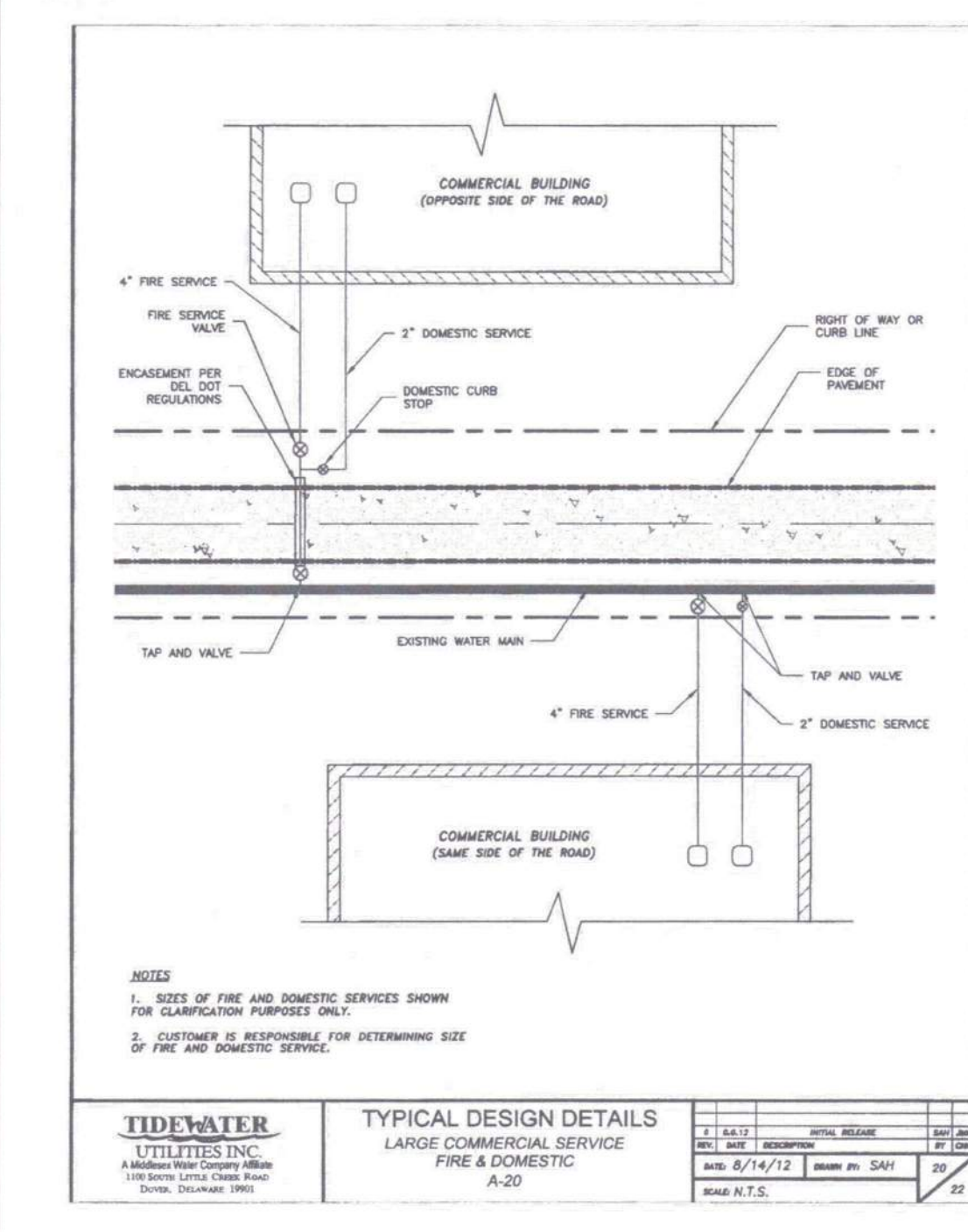
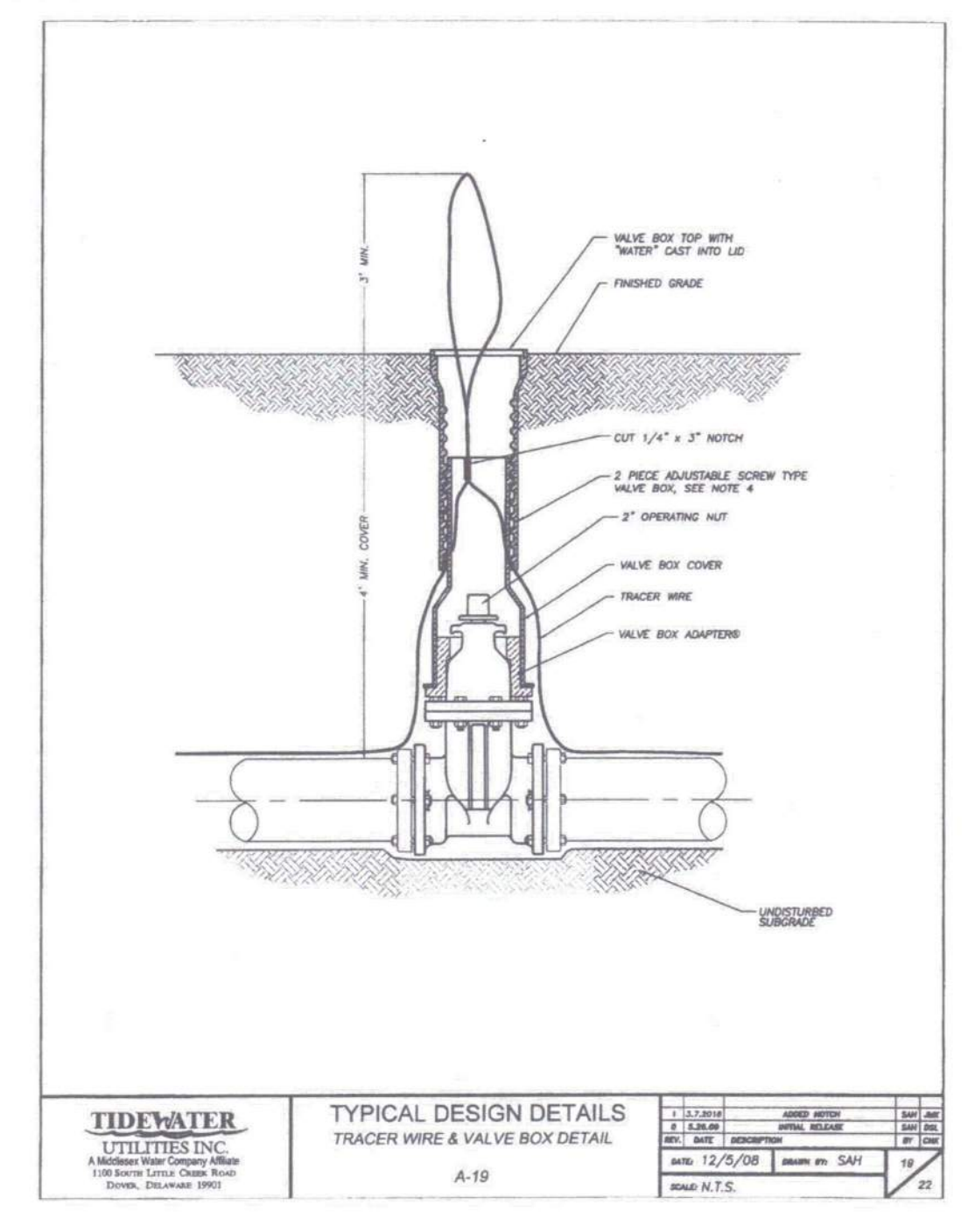
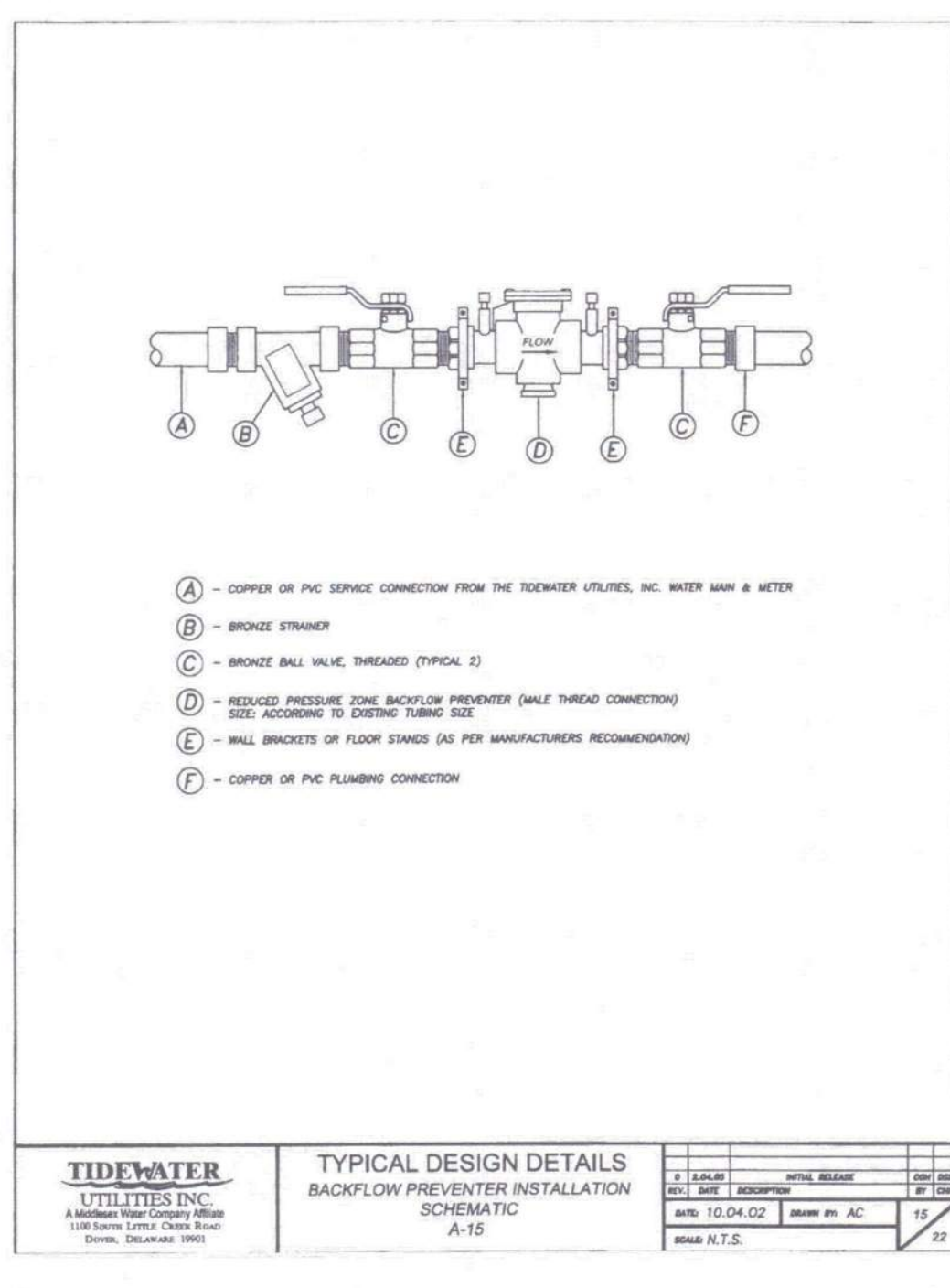
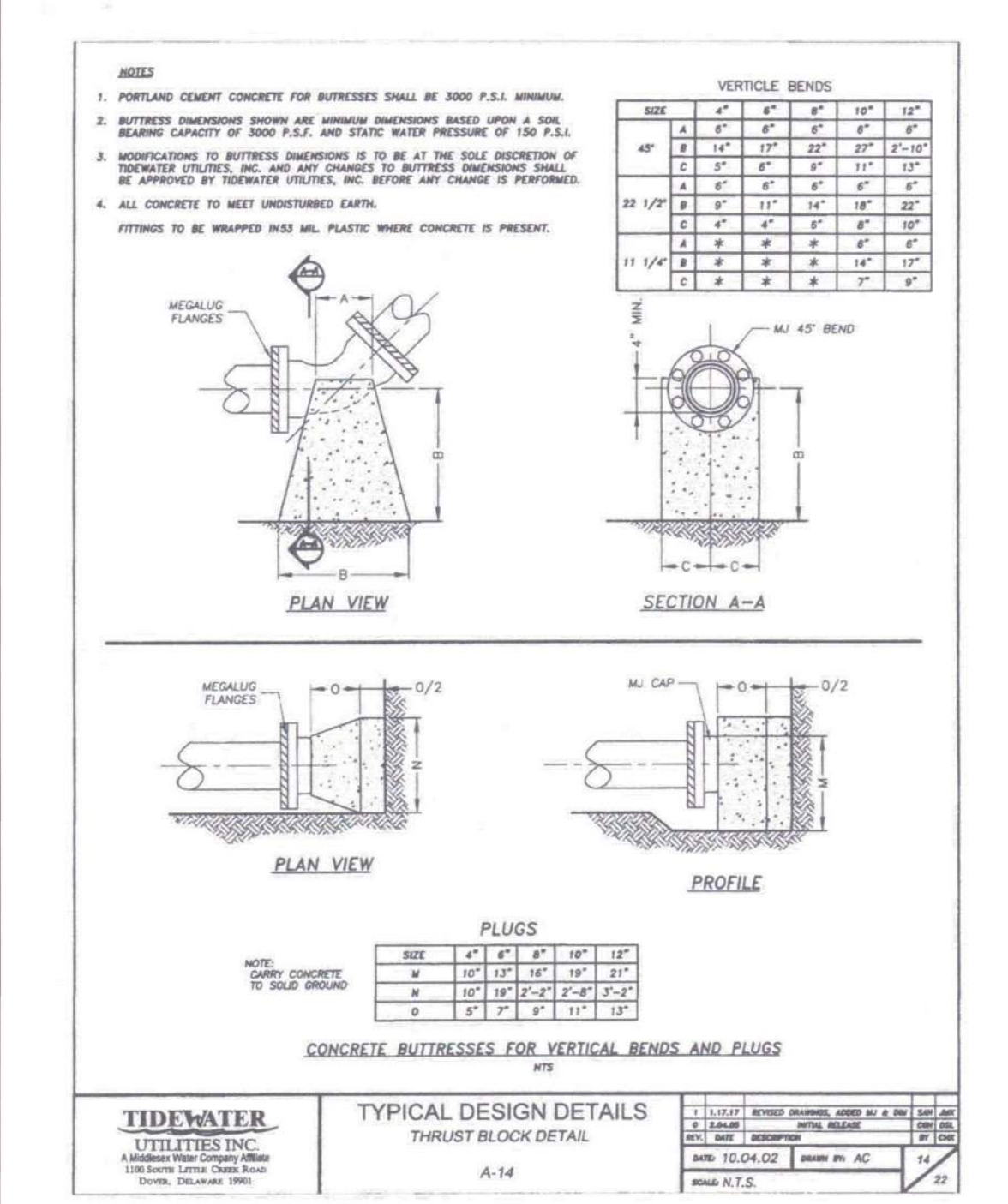
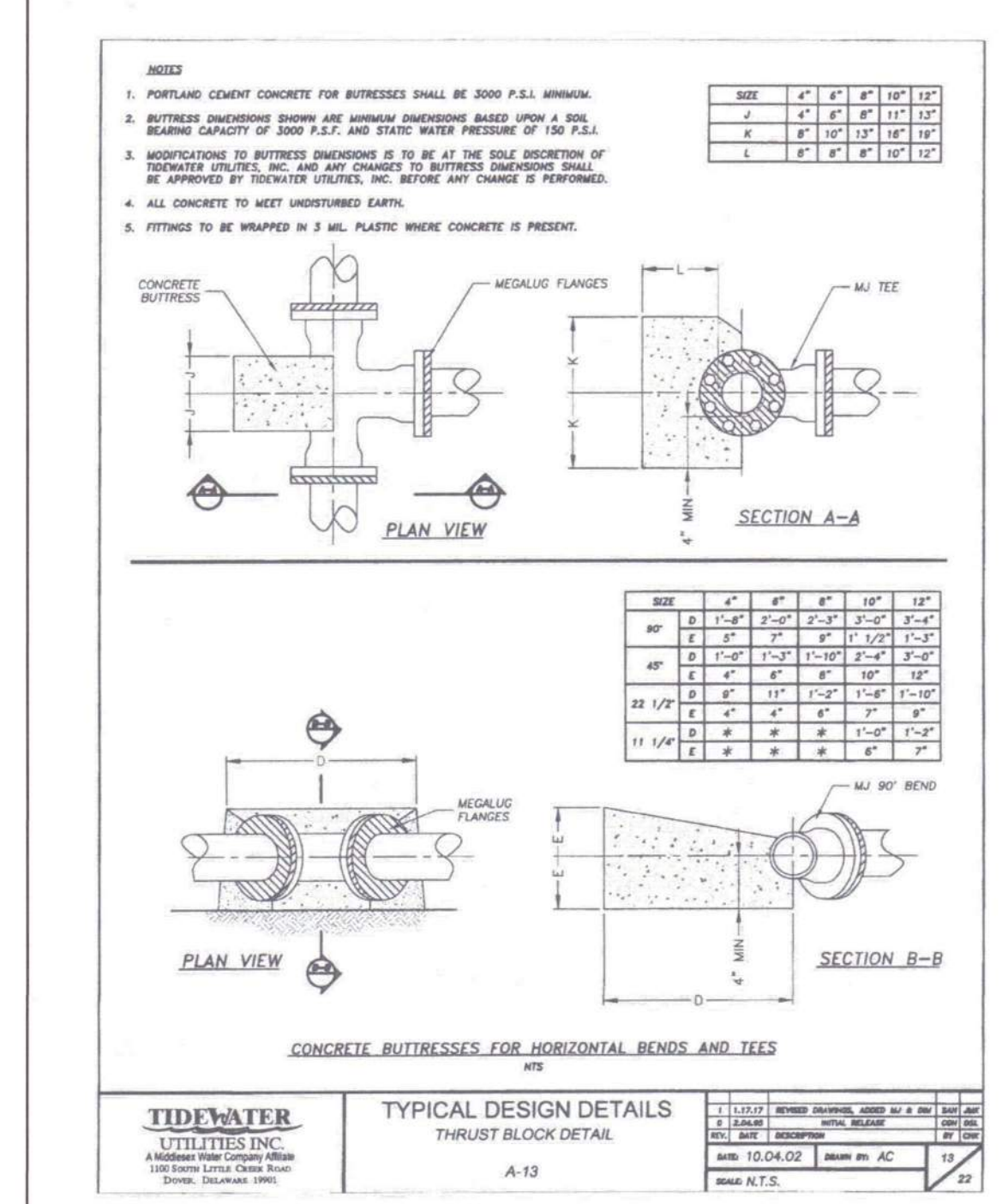
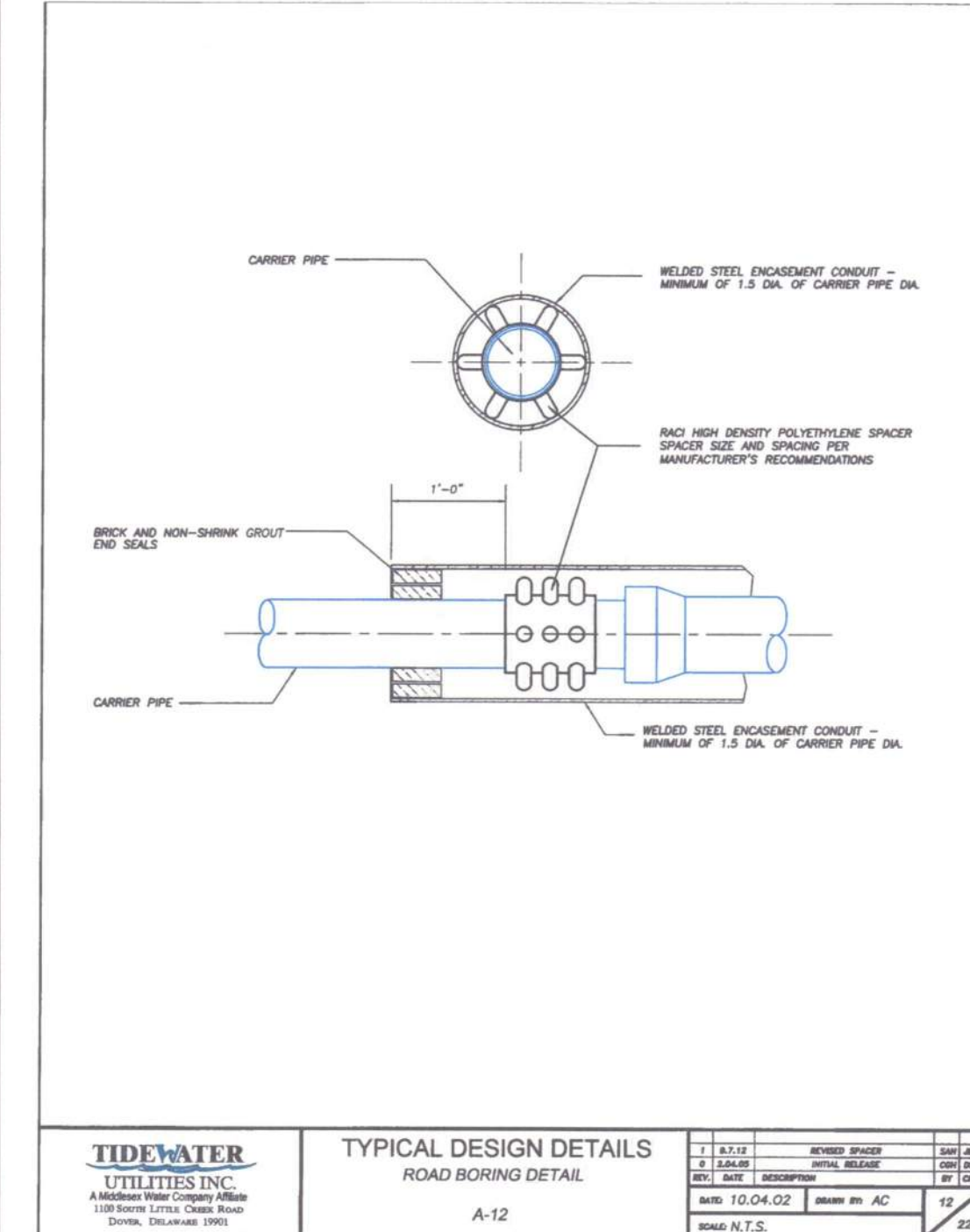
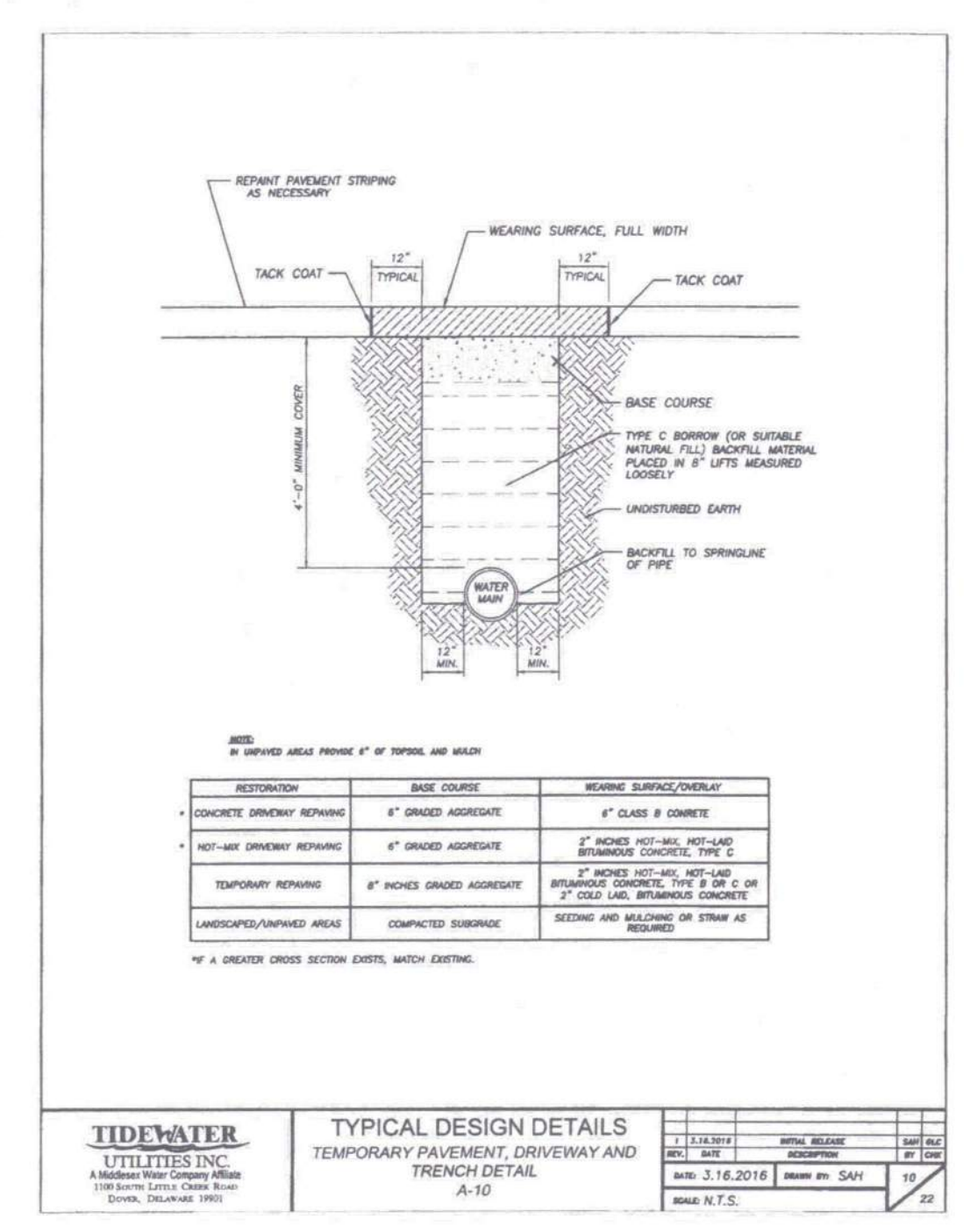
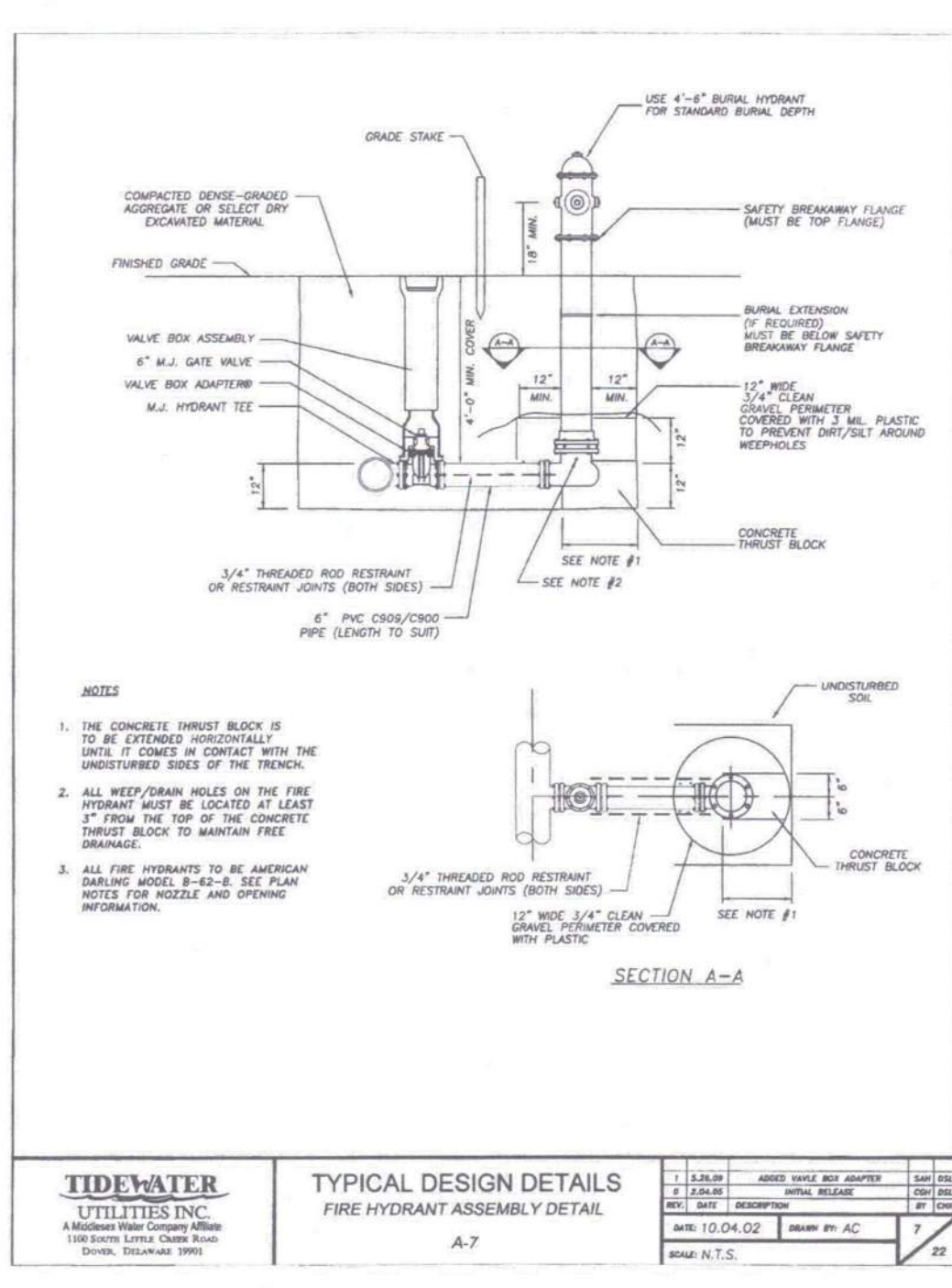
- WATER SUPPLY BY TIDEWATER UTILITIES. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH TIDEWATER STANDARDS AND SPECIFICATIONS.
- DISINFECTION REQUIREMENTS SHALL MEET STANDARDS AND SPECIFICATIONS OF THE STATE ENVIRONMENTAL PROTECTION AGENCY OR EQUIVALENT TO THE AMERICAN WATER WORKS ASSOCIATION STANDARDS C60-08.
- ALL WATER MAINS SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM SANITARY SEWER AND SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18 INCHES.
- ALL PIPES SHALL HAVE A MINIMUM COVER OF 48 INCHES.
- EXISTING SANITARY SEWER TO BE ABANDONED IN ACCORDANCE WITH SUSSEX COUNTY STANDARDS. A SEWER DISCONNECT PERMIT SHALL BE OBTAINED BY A DELAWARE LICENSED PLUMBER PRIOR TO DISCONNECT.
- THE ENTIRE WATER DISTRIBUTION SYSTEM MUST BE IN COMPLIANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE STATE DIVISION OF PUBLIC HEALTH.
- THE CONTRACTOR SHALL ADJUST WATER LINE LOCATION AS REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
- THE CONTRACTOR SHALL PROVIDE BUTTRESSES FOR ALL HORIZONTAL AND VERTICAL BENDS AS REQUIRED PER STANDARDS AND SPECIFICATIONS OF TIDEWATER UTILITIES.
- WATER MAINS 6" AND ABOVE SHALL BE C909 CL235 PVC.
- SEWER MAINS SHALL BE POLY(VINYL CHLORIDE) (PVC), (DR-18 CLASS 150)
- OWNER: HARRY KESWANI, ATJ@WELRY@AOL.COM (302) 745-6207
- FOR DOMESTIC SERVICE, TIDEWATER UTILITIES RESPONSIBILITY WILL END AT THE 2" CURB STOP.
- FOR FIRE SERVICE, TIDEWATER UTILITIES RESPONSIBILITY WILL END AT THE FIRE SERVICE SHUTOFF VALVE.

**UTILITY KEYED NOTES**

- A 10" STAINLESS STEEL WET TAPPING SLEEVE AND VALVE (FOR 8" FIRE / DOMESTIC) (CONTRACTOR TO TEST PIT EXISTING MAIN SIZE AND LOCATION PRIOR TO CONSTRUCTION)
- B 2" WATER, 22° BEND
- C 2" WATER, 45° BEND
- D 2" WATER, 90° BEND
- E 6" WATER, 22° BEND
- F 6" WATER, 45° BEND
- G 6" X 2" SADDLE TAP
- H 2" CURB STOP, FOR DOMESTIC WATER
- I 6" WATER VALVE, FOR FIRE PROTECTION
- J PROPOSED FIRE HYDRANT
- K FIRE DEPARTMENT CONNECTION W/ FIRE CONNECTION SIGN (SEE DETAIL)
- L FIRE HYDRANT ASSEMBLY WITH TEE AND VALVE (8"x6" TEE / 6" VALVE) (SEE DETAIL)
- M 4" SANITARY SEWER CLEANOUT (SEE DETAIL)
- N 16 INDIVIDUAL 7/8" WATER METERS, INSTALLED INSIDE BUILDING (REFER TO TIDEWATER STANDARDS AND ARCHITECTURAL PLANS)
- O 8" TO 6" REDUCER
- P HOSE BIB (TO BE INSTALLED IN MAINTENANCE ROOM) (SEE ARCHITECTURAL PLANS)
- Q NOT USED
- R DOUBLE CHECK BACKFLOW PREVENTER TO BE INSTALLED INSIDE THE BUILDING. (SEE DETAIL)
- S EXISTING WATER LINE (TO BE ABANDONED AT THE MAIN)
- T EXISTING SANITARY SEWER LINE (TO BE ABANDONED) (SEE NOTE 5)
- U EXISTING SANITARY SEWER CLEANOUTS (TO BE ABANDONED)
- V 8" TAPPING VALVE, FOR WATER MAIN







**SCALED ENGINEERING**  
1000 SOUTHWEST CORNER OF 10TH AND 1ST STS. SUITE 100  
REHOBOTH BEACH, FLORIDA 33431  
PHONE: (302) 236-3600  
WWW.SCALEDENGINEERING.COM

Scaled Engineering Inc.  
20246 Coastal Highway  
Rehoboth Beach, DE 19771  
Phone: (302) 236-3600

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**UTILITY DETAILS**

**DESTINY APARTMENTS**  
TAX PARCEL NO. 334-13.00-5.00  
PARSONAGE ROAD (SR 270-A)  
REHOBOTH BEACH, SUSSEX COUNTY, DE

ISSUE / REVISION BLOCK

5/26/2020	- SUSSEX COUNTY P & Z
5/29/2020	- FIRE MARSHAL
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9/18/2020	- SCD COMMENTS
9/29/2020	- SUSSEX COUNTY DEPT. OF ENGINEERING COMMENTS
10/08/2020	- SCD SUBMISSION 2
10/09/2020	- DELDOT SUBMISSION 2
10/12/2020	- TIDEWATER COMMENTS
10/29/2020	- SCD FINAL SUBMISSION
11/09/2020	- TIDEWATER COMMENTS
12/09/2020	- SUSSEX COUNTY P & Z

SCALE PROJECT # DRAWN BY  
AS NOTED HKES001 GJB  
DRAWING NUMBER

**U-2**



# DESTINY APARTMENTS

## SUSSEX COUNTY, DELAWARE

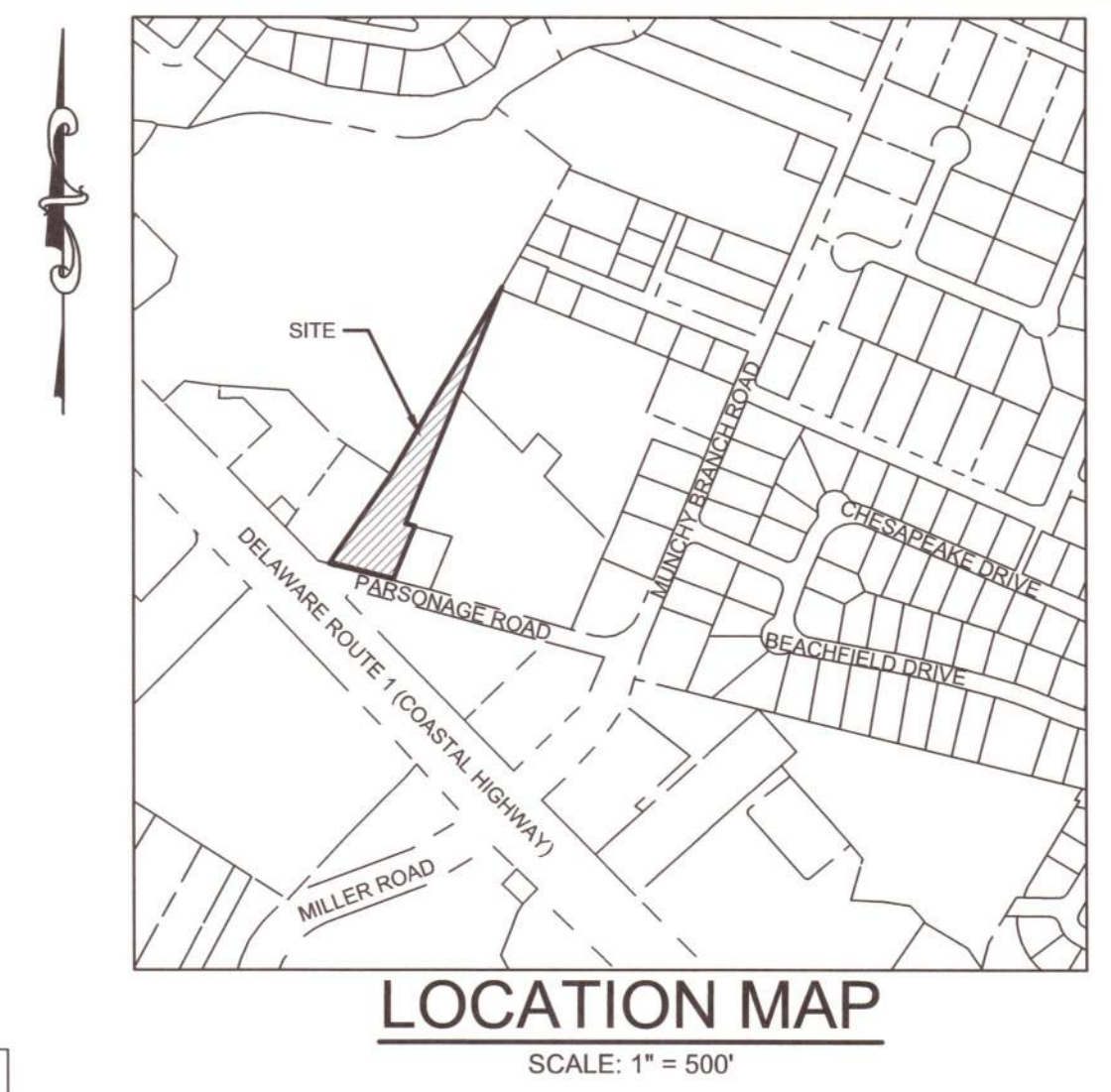
### FINAL SITE PLAN

#### SUSSEX COUNTY PROJECT #: S-20-18



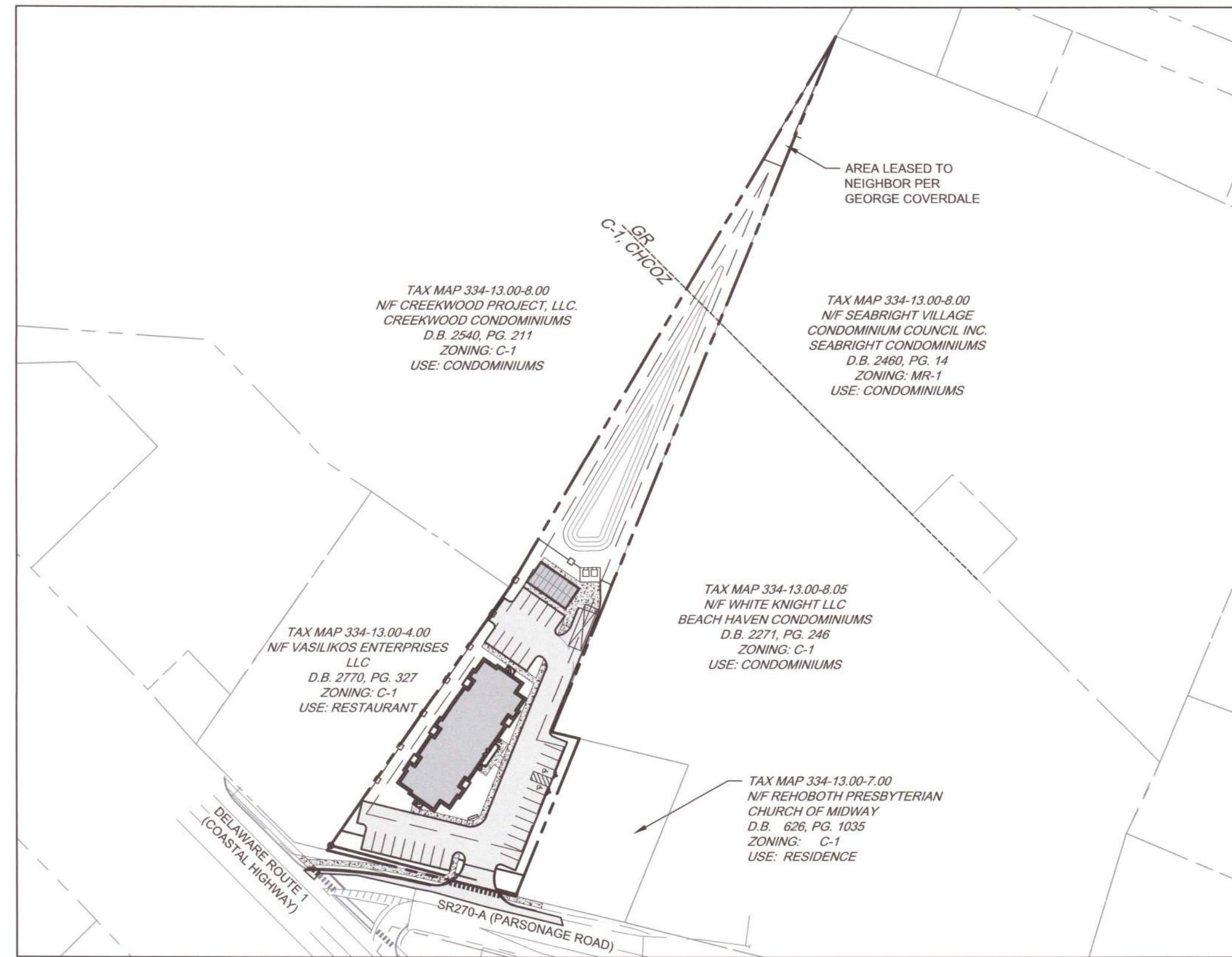
**SOILS MAP**  
SCALE: 1" = 200'

SYMBOL	NAME	SOIL GROUP
EVB	EVESBORO LOAMY SAND, 0 TO 5 PERCENT SLOPES	A
GRB	GREENWICH LOAM, 0 TO 2 PERCENT SLOPES	B
GUB	GREENWICH-URBAN LAND COMPLEX, 0 TO 5 PERCENT SLOPES	B



**LOCATION MAP**  
SCALE: 1" = 500'

LIMIT OF DISTURBANCE: 1.46 ACRES



**SITE OVERVIEW & ADJACENT ZONING**  
SCALE: 1" = 100'

### PROJECT TEAM

**OWNER/DEVELOPER**  
DESTINY LLC  
1 PATRIOTS WAY  
REHOBOTH BEACH, DE 19971  
(302) 745-6207

**ARCHITECT**  
BRUCE J. MONETA, A.I.A.  
34673 VILLA CIRCLE, UNIT 304  
LEWES, DE 19958  
(302) 745-0342

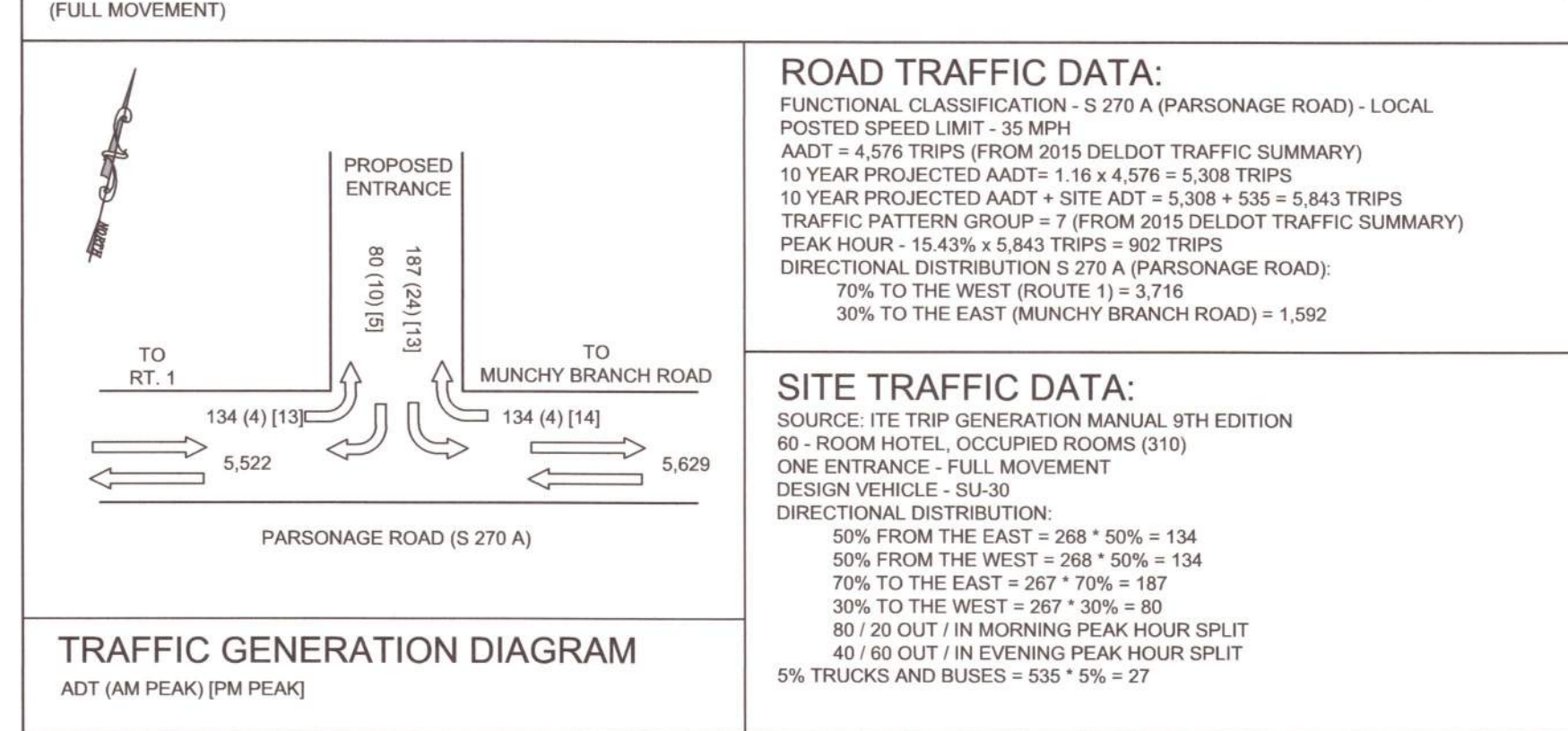
**SITE ENGINEER**  
SCALED ENGINEERING, INC.  
20246 COASTAL HIGHWAY  
REHOBOTH BEACH, DE 19971  
(302) 239-3600

**CALL Miss Utility of Delmarva  
BEFORE YOU DIG  
800-282-8555 or 811**

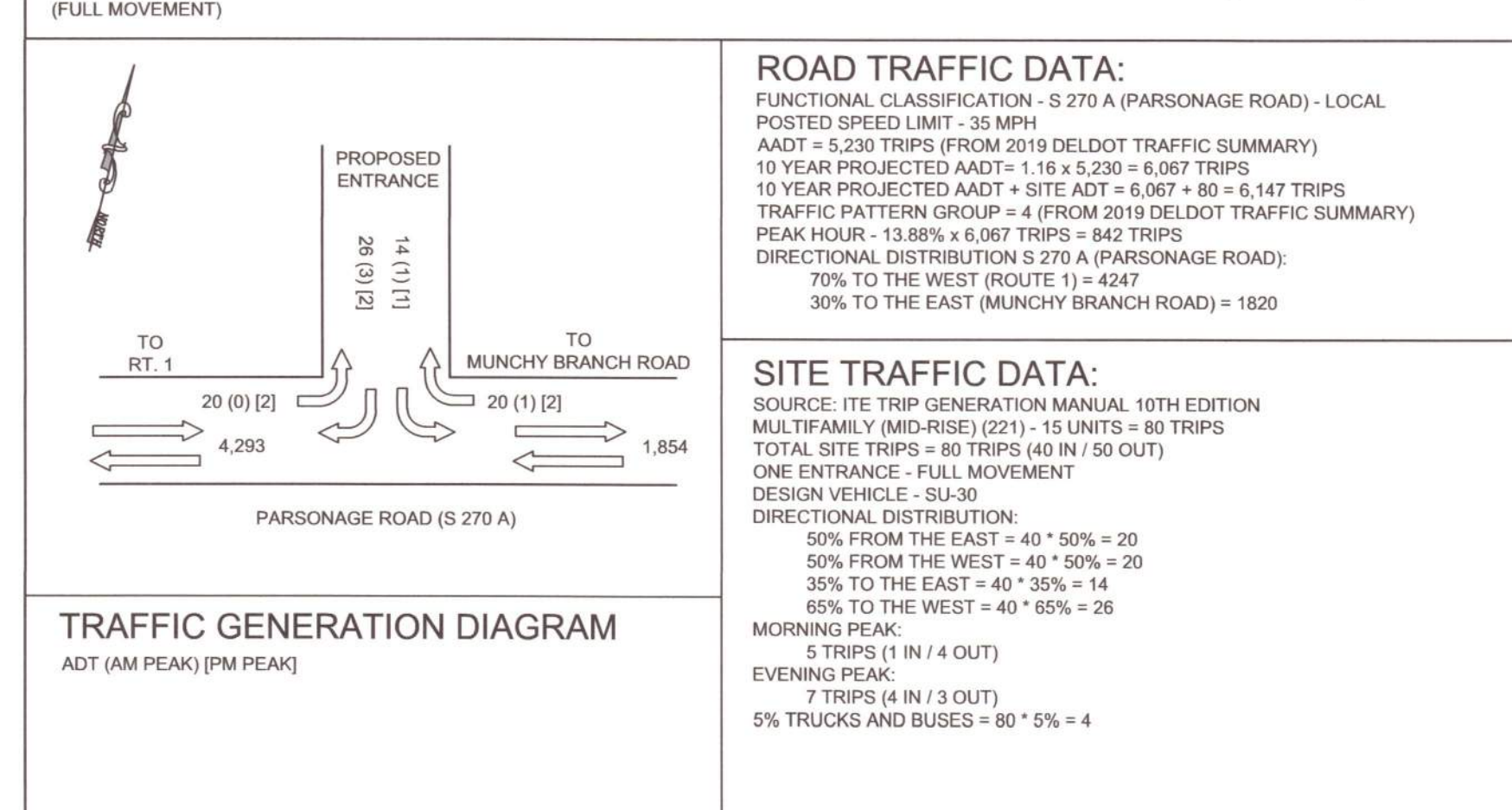
### DELDOT RECORD / SITE PLAN NOTES:

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE IS OUTSIDE THE RIGHT-OF-WAY OF PROJECTS ON AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROJECT OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S "SHARED-USE PATH AND/OR SIDEWALK TERMINATION POLICY".
- PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 §131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE FOR THE SIDEWALK.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
- THIS COMMERCIAL PARCEL IS IN THE PROXIMITY OF COASTAL HIGHWAY (SR 1), WHICH HAS A FUNCTIONAL CLASSIFICATION OF PRINCIPAL ARTERIAL AS DEFINED BY THE STATE OF DELAWARE'S DEPARTMENT OF TRANSPORTATION. PER SECTION 3.6.1 OF THE DELDOT DEVELOPMENT COORDINATION MANUAL (DCM); IT IS THE DEVELOPER'S RESPONSIBILITY TO EVALUATE NOISE LEVELS AND THEIR IMPACTS ON PROPOSED DEVELOPMENT, FOR PROJECTS ADJACENT TO EXISTING TRANSPORTATION FACILITIES WITH THIS FUNCTIONAL CLASSIFICATION. ROADWAYS WITH THIS CLASSIFICATION CAN BE EXPECTED TO GENERATE ELEVATED LEVELS OF ROAD AND TRAFFIC RELATED NOISE, SIMILAR TO WHAT CAN BE EXPECTED IN URBAN AREAS. A DETAILED NOISE ANALYSIS PER DCM 3.6.3-A IS TYPICALLY RECOMMENDED TO HELP GAUGE THE ACTUAL IMPACTS THAT ROADWAY RELATED NOISE MAY HAVE ON VARIOUS POTENTIAL LAND-USES (SUCH AS THOSE DESCRIBED IN DCM FIGURE 3.6.3-A: NOISE ABATEMENT CRITERIA). WITH THE INCLUSION OF THIS NOTE, THE DEVELOPER IS ACKNOWLEDGING THAT THE PROPOSED SITE AND/OR BUILDING LOCATION CAN BE EXPECTED TO EXCEED THE SPECIFIC MAXIMUM NOISE LEVELS FOR CERTAIN COMMERCIAL AND NON-RESIDENTIAL USES AS SHOWN IN DCM FIGURE 3.6.3-A. THE DEVELOPER'S WAIVER OF THE NOISE ANALYSIS AND REVIEW OF POTENTIAL NOISE MITIGATION MEASURES ARE SUPPORTED BY THE INFEASIBILITY OF APPLYING NOISE MITIGATION MEASURES, BASED ON ENGINEERING CONSIDERATIONS AND FACTORS THAT WOULD LIMIT THE ABILITY TO ACHIEVE SUBSTANTIAL NOISE REDUCTION, RELATED TO THE COMMERCIAL USE OF THE SITE AND/OR BUILDINGS. THIS WAIVER ACKNOWLEDGES THAT THE DECIBEL LEVEL FOR THIS PARCEL MAY EXCEED THE APPLICABLE LIMITS FOR SOME CURRENT OR FUTURE PROPOSED USES. THE USE OF THIS NOTE SIGNIFIES THE SUBDIVISION ENGINEER'S CONCURRENCE WITH WAIVING THE DEVELOPER'S COMPLETION OF A DETAILED NOISE STUDY AND SUBSEQUENT REVIEW OF RESULTING NOISE ABATEMENT FINDINGS OR MITIGATION MEASURES. ANY FUTURE COMPLAINTS RELATING TO EXISTING OR FUTURE NOISE LEVELS IMPACTING PROPOSED USES ON THIS SITE AND ALONG THIS EXISTING TRANSPORTATION FACILITY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OR LANDOWNER OR BOTH.

### DAYS INN APPROVED 11/08/2017 - TRAFFIC GENERATION - PARSONAGE ROAD (S 270 A)



### DESTINY APARTMENTS - TRAFFIC GENERATION - PARSONAGE ROAD (S 270 A)



### SITE DATA:

- TAX MAP NUMBER: 334-13.00-5.00
- OWNER: DESTINY LLC, 1 PATRIOTS WAY, REHOBOTH BEACH, DE 19971
- DEED BOOK REF: DB 3896 PG 255
- EXISTING USE: APARTMENTS (12 TWO-BEDROOM & 3 THREE-BEDROOM UNITS)
- PROPOSED USE: APARTMENTS (12 TWO-BEDROOM & 3 THREE-BEDROOM UNITS)
- EXISTING AREA: 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)
- PROPOSED AREA: 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)
- EXISTING ZONING: C-1 (GENERAL COMMERCIAL) & GR-1 (GENERAL RESIDENTIAL W/CHCOZ)
- PROPOSED ZONING: C-1 (GENERAL COMMERCIAL) & GR-1 (GENERAL RESIDENTIAL W/CHCOZ)
- NUMBER OF LOTS: 1 - EXISTING, 1 - PROPOSED
- BUILDINGS: EXISTING BUILDING AREA: ±5,015 SQ FT (FIRST FLOOR FOOTPRINT); PROPOSED MULTIFAMILY BUILDING: 21,502 SQ FT (TOTAL) (15 UNITS); PROPOSED STORAGE BUILDING: 924 SQ FT; DENSITY: 15 UNITS / 1.33 AC = 11.28 UNITS PER ACRE
- HEIGHT, AREA, AND BULK REQUIREMENTS (CODE SECTION 115-156B):

	REQUIRED	PROPOSED
MAXIMUM HEIGHT	42 FT	38.9 FT (3 STORIES)
MINIMUM LOT AREA	54,450 SQ FT	58,150 SQ FT
MINIMUM LOT WIDTH (FEET)	75 FT	± 173 FT
MINIMUM LOT DEPTH (FEET)	100 FT	± 823 FT
MINIMUM YARD REQUIREMENTS		
C-1:		
FRONT	40 FT	≥40 FT
SIDE	10 FT	15 FT
REAR	10 FT	≥10 FT
CORNER	15 FT	≥15 FT
GR-1:		
FRONT	30 FT	≥30 FT
SIDE	10 FT	15 FT
REAR	10 FT	≥10 FT
CORNER	15 FT	≥15 FT
- CHCOZ: 60' SETBACK FROM ROUTE 1 RIGHT-OF-WAY WITH 20' BUFFER
- SERVICES: WATER SUPPLIER: TIDEWATER UTILITIES; SANITARY SEWER SUPPLIER: SUSSEX COUNTY (WEST REHOBOTH DISTRICT)
- FIRE DISTRICT: REHOBOTH BEACH
- VERTICAL DATUM: NAVD 88
- HORIZONTAL DATUM: NAV 83
- POSTED SPEED LIMIT: 35 MPH (PARSONAGE ROAD)
- PROXIMITY TO IDENTIFIED TRANSPORTATION DISTRICT: NOT IN PROXIMITY OF TID
- INVESTMENT LEVEL AREA: LEVEL 2
- SITE ADDRESS: 35863 PARSONAGE ROAD, REHOBOTH BEACH, DE 19971
- WETLAND AREA: 0.00 ACRES
- PROJECT WATERSHED: LEWES-REHOBOTH CANAL
- DISCHARGE LOCATIONS: DELDOT AND INFILTRATION
- FLOOD PLAIN: THE SITE IS LOCATED WITHIN ZONE X, AN AREA DEFINED AS OUTSIDE THE 100 YEAR FLOOD PLAIN, BASED ON FEMA FLOOD PANEL 1005C0332K
- SOILS ON-SITE CONSIST OF EVESBORO LOAMY SAND, 0 TO 5 PERCENT SLOPES (EVB), GREENWICH LOAM, 0 TO 2 PERCENT (GRB) AND GREENWICH-URBAN LAND COMPLEX (GUB), 0 TO 5 PERCENT SLOPES
- WELLHEAD PROTECTION SITE AREA: 0 ACRES
- PROPOSED IMPERVIOUS COVERAGE = 47%
- PROJECT IS LOCATED IN AN AREA OF GOOD GROUNDWATER RECHARGE POTENTIAL
- NET DEVELOPMENT AREA = 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)

### LEGEND

	EXISTING	PROPOSED
PROPERTY LINE / RIGHT OF WAY	---	---
ADJOINING PROPERTY LINE	---	---
BUILDING RESTRICTION LINE	---	---
EASEMENT	---	---
CENTER LINE OF ROAD	---	---
EDGE OF PAVING	---	---
CURB	---	---
DRIVEWAY	---	---
CONTOURS	---	---
SWALES	---	---
WETLANDS LINE AND FLAG	---	---
FLOODPLAIN	---	---
SOILS/DESIGNATION	---	---
SOIL BORING	---	---
VEGETATION	---	---
WOODS	---	---
FENCE	---	---
SIDEWALK	---	---
BUILDING	---	---
UTILITY POLE/GUY WIRE	---	---
OVERHEAD ELECTRIC	---	---
CABLE TV, PEDESTAL	---	---
TRAFFIC SIGN	---	---
SINGLE & TWIN HEAD SITE LIGHT	---	---
WATER MAIN, FIRE HYDRANT, VALVE, SERVICE ASSEMBLY, AND METER PIT	---	---
SEWER MAIN, MANHOLE, & CLEANOUT	---	---
SANITARY SEWER FORCEMAIN	---	---
UNDERGROUND ELECTRIC	---	---
TELEPHONE LINE	---	---
STORM WATER PIPE	---	---

### ENGINEERS CERTIFICATION

IT IS HEREBY CERTIFIED THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

CHRISTOPHER SAVAGE, PE (LICENSE #16457)  
DATE: 12/23/20

### OWNER(S) CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE LEGAL OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

DESTINY LLC  
1 PATRIOTS WAY  
REHOBOTH BEACH, DE 19971

**SCALED ENGINEERING**  
Scaled Engineering Inc.  
20246 Coastal Highway  
Rehoboth Beach, DE 19971  
Phone: (302) 239-3600

**DESTINY APARTMENTS**  
TAX PARCEL NO. 334-13.00-5.00  
PARSONAGE ROAD (SR 270-A)  
REHOBOTH BEACH, SUSSEX COUNTY, DE

ISSUE / REVISION BLOCK

DATE	DESCRIPTION
5/26/2020	- SUSSEX COUNTY P & Z
5/29/2020	- FIRE MARSHAL
6/25/2020	- SUSSEX COUNTY P & Z PRELIMINARY APPROVAL
9/2/2020	- DELDOT SUBMISSION 1
9/14/2020	- OFFICE OF DRINKING WATER APPROVAL
9/18/2020	- SCD COMMENTS
9/29/2020	- SUSSEX COUNTY DEPT. OF ENGINEERING COMMENTS
10/08/2020	- SCD SUBMISSION 2
10/09/2020	- DELDOT SUBMISSION 2
10/12/2020	- TIDEWATER COMMENTS
10/29/2020	- SCD FINAL SUBMISSION
11/09/2020	- TIDEWATER COMMENTS
12/09/2020	- SUSSEX COUNTY P & Z

SCALE: PROJECT # DRAWN BY  
AS NOTED HKE5001 GJB  
DRAWING NUMBER  
**RP-1**





Scaled Engineering Inc.  
20246 Coastal Highway  
Rehoboth Beach, DE 19971  
Phone: (302) 236-3600

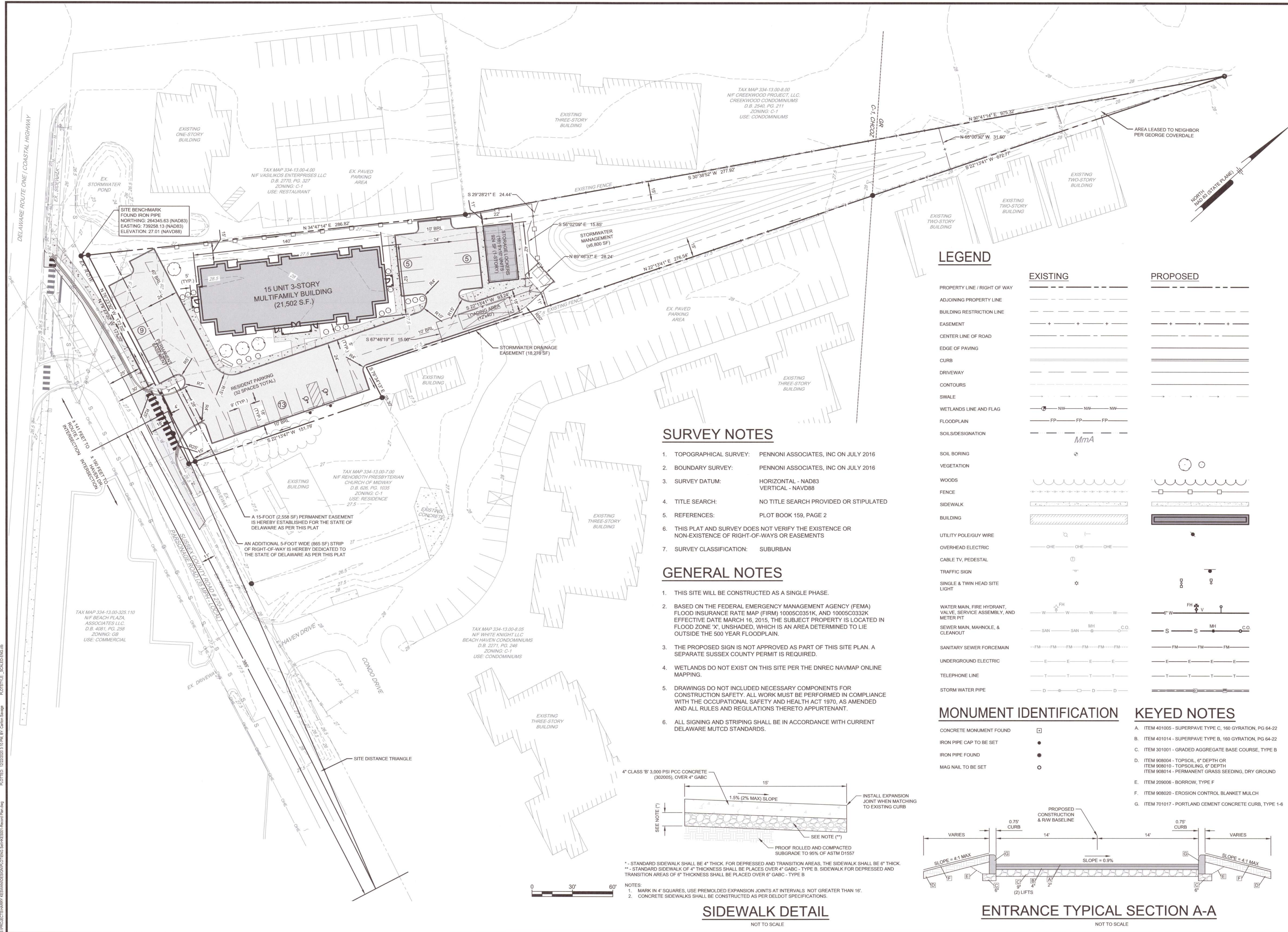


**DESTINY APARTMENTS**  
TAX PARCEL NO. 334-13.00-5.00  
PARSONAGE ROAD (SR 270-A)  
REHOBOTH BEACH, SUSSEX COUNTY, DE

ISSUE / REVISION BLOCK  
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PRELIMINARY APPROVAL  
9/2/2020 - DELDOT SUBMISSION 1  
9/14/2020 - OFFICE OF DRINKING  
WATER APPROVAL  
9/18/2020 - SCD COMMENTS  
9/29/2020 - SUSSEX COUNTY DEPT.  
OF ENGINEERING  
COMMENTS  
10/08/2020 - SCD SUBMISSION 2  
10/09/2020 - DELDOT SUBMISSION 2  
10/12/2020 - TIDEWATER COMMENTS  
10/29/2020 - SCD FINAL SUBMISSION  
11/09/2020 - TIDEWATER COMMENTS  
12/09/2020 - SUSSEX COUNTY P & Z

SCALE PROJECT # DRAWN BY  
1" = 30' HKE5001 GJB  
DRAWING NUMBER

**RP-2**



**LEGEND**

Table with columns for EXISTING and PROPOSED symbols for various features like PROPERTY LINE, ADJOINING PROPERTY LINE, BUILDING RESTRICTION LINE, EASEMENT, CENTER LINE OF ROAD, EDGE OF PAVING, CURB, DRIVEWAY, CONTOURS, SWALE, WETLANDS LINE AND FLAG, FLOODPLAIN, SOILS/DESIGNATION, SOIL BORING, VEGETATION, WOODS, FENCE, SIDEWALK, BUILDING, UTILITY POLE/GUY WIRE, OVERHEAD ELECTRIC, CABLE TV, PEDESTAL, TRAFFIC SIGN, SINGLE & TWIN HEAD SITE LIGHT, WATER MAIN, FIRE HYDRANT, VALVE, SERVICE ASSEMBLY, AND METER PIT, SEWER MAIN, MAHNOLE, & CLEANOUT, SANITARY SEWER FORCEMAIN, UNDERGROUND ELECTRIC, TELEPHONE LINE, STORM WATER PIPE.

**MONUMENT IDENTIFICATION**

Table with symbols for CONCRETE MONUMENT FOUND, IRON PIPE CAP TO BE SET, IRON PIPE FOUND, MAG NAIL TO BE SET.

**KEYED NOTES**

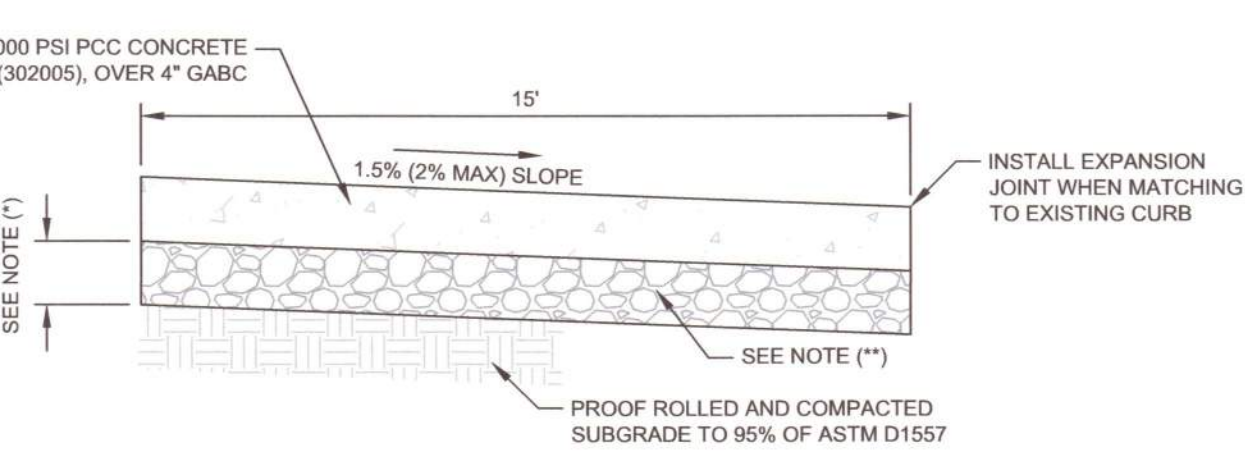
- A. ITEM 401005 - SUPERPAVE TYPE C, 160 GYRATION, PG 64-22
B. ITEM 401014 - SUPERPAVE TYPE B, 160 GYRATION, PG 64-22
C. ITEM 301001 - GRADED AGGREGATE BASE COURSE, TYPE B
D. ITEM 908004 - TOPSOIL, 6" DEPTH OR ITEM 908010 - TOPSOILING, 6" DEPTH ITEM 908014 - PERMANENT GRASS SEEDING, DRY GROUND
E. ITEM 209006 - BORROW, TYPE F
F. ITEM 908020 - EROSION CONTROL BLANKET MULCH
G. ITEM 701017 - PORTLAND CEMENT CONCRETE CURB, TYPE 1-6

**SURVEY NOTES**

- 1. TOPOGRAPHICAL SURVEY: PENNONI ASSOCIATES, INC ON JULY 2016
2. BOUNDARY SURVEY: PENNONI ASSOCIATES, INC ON JULY 2016
3. SURVEY DATUM: HORIZONTAL - NAD83 VERTICAL - NAVD88
4. TITLE SEARCH: NO TITLE SEARCH PROVIDED OR STIPULATED
5. REFERENCES: PLOT BOOK 159, PAGE 2
6. THIS PLAT AND SURVEY DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS
7. SURVEY CLASSIFICATION: SUBURBAN

**GENERAL NOTES**

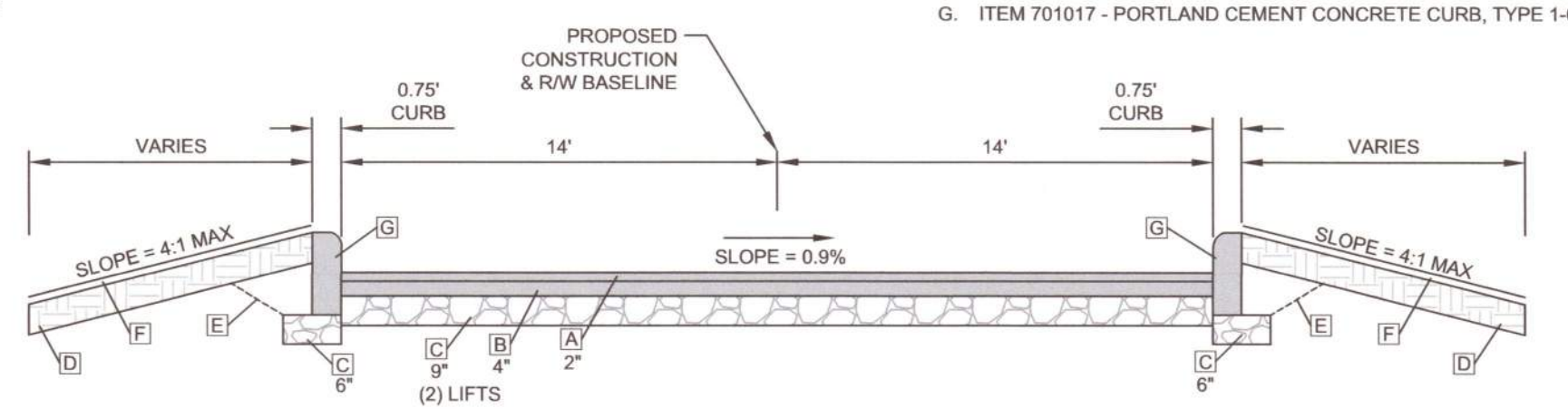
- 1. THIS SITE WILL BE CONSTRUCTED AS A SINGLE PHASE.
2. BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) 10005C0351K, AND 10005C0322K EFFECTIVE DATE MARCH 16, 2015, THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE 'X', UNSHADED, WHICH IS AN AREA DETERMINED TO LIE OUTSIDE THE 500 YEAR FLOODPLAIN.
3. THE PROPOSED SIGN IS NOT APPROVED AS PART OF THIS SITE PLAN. A SEPARATE SUSSEX COUNTY PERMIT IS REQUIRED.
4. WETLANDS DO NOT EXIST ON THIS SITE PER THE DNREC NAVMAP ONLINE MAPPING.
5. DRAWINGS DO NOT INCLUDED NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL WORK MUST BE PERFORMED IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
6. ALL SIGNING AND STRIPING SHALL BE IN ACCORDANCE WITH CURRENT DELAWARE MUTCD STANDARDS.



NOTES:
1. MARK IN 4' SQUARES, USE PREMOLDED EXPANSION JOINTS AT INTERVALS NOT GREATER THAN 16'.
2. CONCRETE SIDEWALKS SHALL BE CONSTRUCTED AS PER DELDOT SPECIFICATIONS.

**SIDEWALK DETAIL**

NOT TO SCALE



**ENTRANCE TYPICAL SECTION A-A**

NOT TO SCALE

PROJECTS/HARRY KESHAW/DESIGN/OT/ENG/Scales/301-Record Plan.dwg PLOTTED: 12/22/2023 1:10 PM BY: Carlton Scales PLOTSTYLE: SCALED.BLG



Product Description		Full Color LED	
Pixel Matrix Height	384	Display Area Height	12'
Pixel Matrix Width	1536	Display Area Width	48'
Pixel Pitch MM	9.5	Cabinet Area Height	12'
Est. NIT Rating	8,500	Cabinet Area Width	48'

Electrical Requirements		Service Installation	
AC Power	120	Leads Per Face	24
Maximum Amps Per Face	192	Minimum 20A Circuits Per Project	12
Maximum Amperage Per Project	192	Leads may require different power and won't exceed 16 Amps. Boost power cables are required after every 12th module and may be combined with primary power cables.	
Input voltage up to 240V available; adjust amperage calculations accordingly. Review electrical drawings provided with electrician.			

## DISPLAY FEATURES

<b>Aluminum Frame</b>	Dual Wall Extrusion
<b>Color Capability</b>	281 Trillion / LED SMD
<b>Mounting System</b>	Threaded Nut Frame + Bolt
<b>Viewing Angles</b>	140 Horizontal / 70 Vertical
<b>Light Sensor</b>	Auto Dimming (Manual Backup)
<b>Communication</b>	Cellular Router Included
<b>Available:</b>	Wireless or Direct Connection
<b>Control System</b>	IBX Controller
<b>Sign Software</b>	SM Infinity
<b>Video</b>	60 Frames per Second

## SERVICE PLAN

### NEXT Parts Warranty

60 Months

### NEXT Labor Warranty

0 Months

### 4G Cellular Service

Lifetime of Display



### Project Content

NextLED Library

Lifetime

### Software Training & Upgrades

Lifetime of Display





State of Delaware

*Department of Transportation*

23697 DuPont Boulevard

Georgetown, DE 19947

NICOLE MAJESKI  
SECRETARY

October 29, 2021

Destiny, LLC.  
P.O. Box 1773  
Rehoboth Beach, DE 19971

Dear Mr. Dean:

The Roadside Control Section of the Department of Transportation is charged with the responsibility of enforcing statutory regulations pertaining to Outdoor Advertising as set forth under Title 17, Chapter 11, of the Delaware Code.

The Department has received your Outdoor Advertising application for a new off-premise VMS (variable message sign) to be situated on the property belonging to a Destiny, LLC. with a (tax parcel #: 334-13.00-5.00) located on SCR 014 / (Coastal Hwy.) in Sussex County.

I have reviewed the application that was submitted, as well as conducted a field review. The Department is approving the modification of the existing board to the Northbound side only, due to the existing intersection and spacing requirements specified in Title 2, Section 15.5 of Delaware Code. As long as the sign is constructed per the specifications submitted and the required building permits are obtained by the local land use authority, the Department has no objection to the proposed sign application. It is the responsibility of the sign owner to seek approval from the local authority before installation of the sign.

This letter serves as a letter of no objection to assist with your application to the Board of Adjustment. This letter **does not** grant permission to construct the sign. Should the Board of Adjustment approval be granted for this sign structure, you must notify the Department in writing and provide all necessary documentation, including the Board of Adjustment findings and any revisions to the sign structure that may have occurred. Once the Department has received all necessary documentation and verified that conditions for approval have been met, a Notice to Proceed letter will be issued to allow for the construction of the sign.



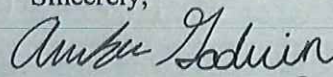


Mr. Dean  
Page 2  
October 29, 2021

This letter of no objection is provided to you as a courtesy to assist you in securing approval from the appropriate entities prior to construction of the sign structure. **This letter is not a permit.**

Should you have any questions or concerns, or to schedule your pre-construction or final inspection, please contact me at (302) 259-7074.

Sincerely,



Amber Godwin  
Investigator 1  
South District / DOT

ARG/ag  
By certified mail  
Cc: Christopher King, Roadside Control Manager

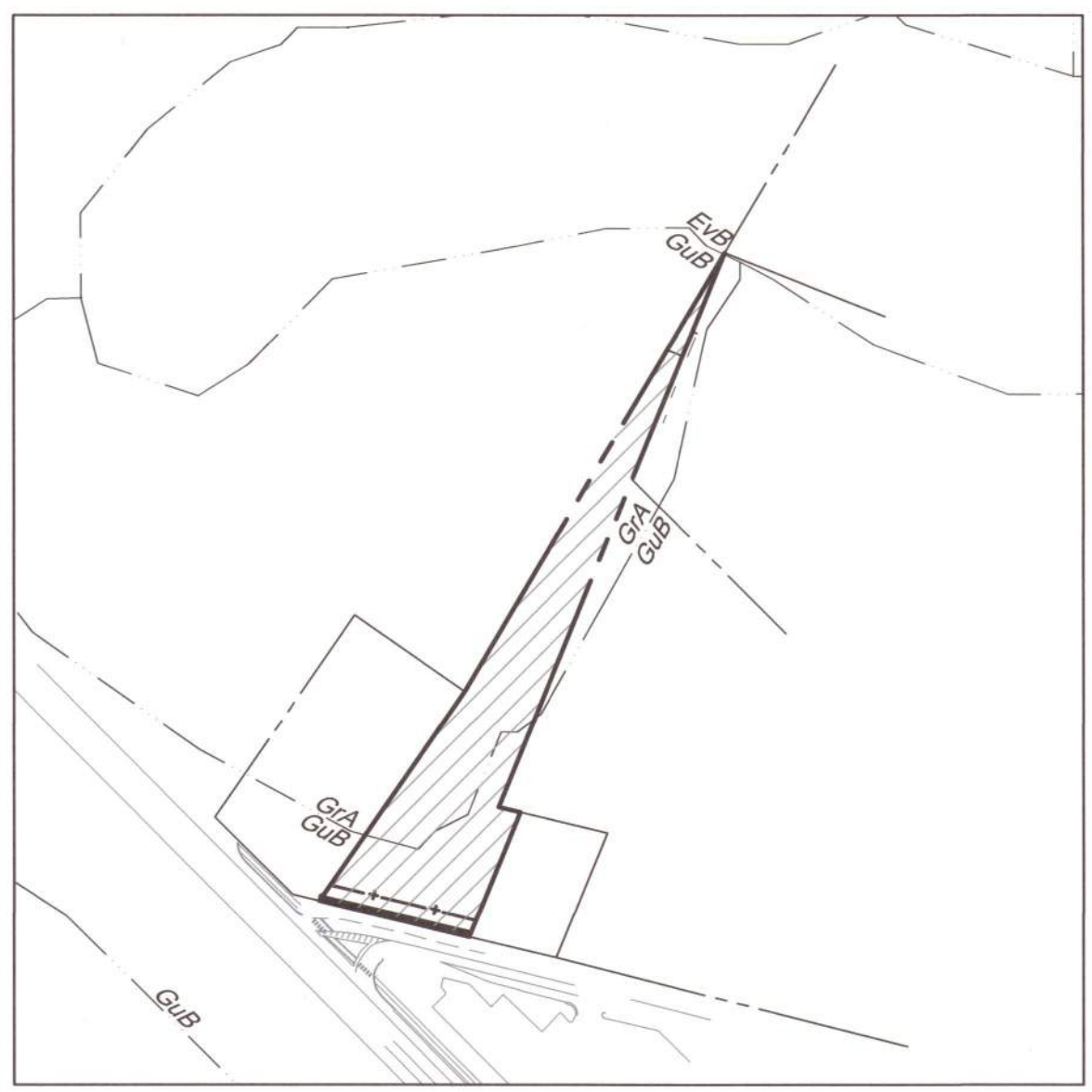


# DESTINY APARTMENTS

## SUSSEX COUNTY, DELAWARE

### FINAL SITE PLAN

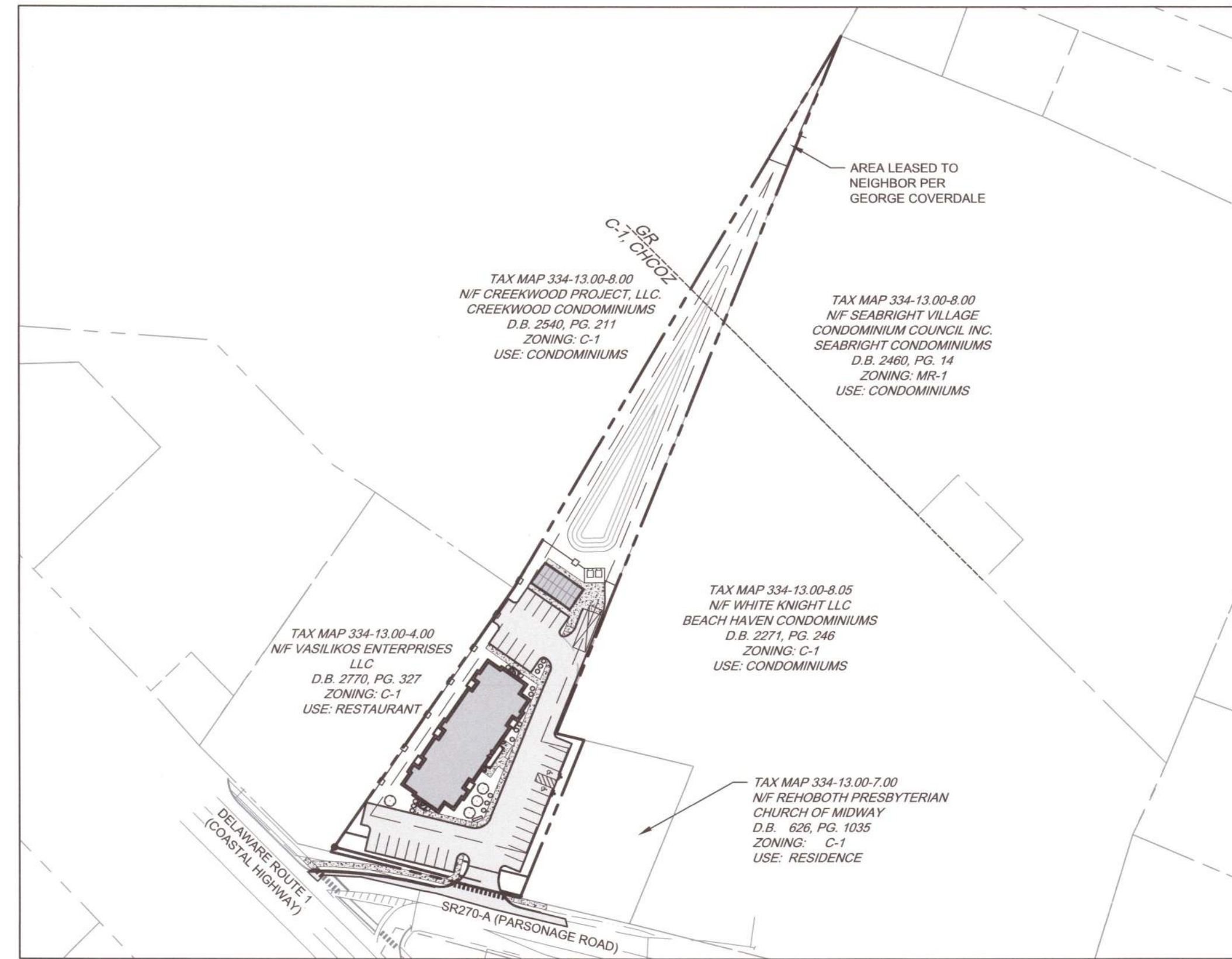
### SUSSEX COUNTY PROJECT #: S-20-18



**SOILS MAP**  
SCALE: 1" = 200'

SYMBOL	NAME	SOIL GROUP
EVB	EVEBORO LOAMY SAND, 0 TO 5 PERCENT SLOPES	A
GA	GREENWICH LOAM, 0 TO 2 PERCENT SLOPES	B
GUB	GREENWICH-URBAN LAND COMPLEX, 0 TO 5 PERCENT SLOPES	B

CONFORMED COPY  
Document # 202000065194 BK: 329 PG: 19  
On 12/28/2020 at 3:39:27 PM  
RECORDER OF DEEDS Scott Dunley  
Sussex County  
Consideration: \$0.00



**SITE OVERVIEW & ADJACENT ZONING**  
SCALE: 1" = 100'

#### SITE DATA:

- TAX MAP NUMBER: 334-13.00-5.00
- OWNER: DESTINY LLC, 1 PATRIOTS WAY, REHOBOTH BEACH, DE 19971
- DEED BOOK REF: DB 3896 PG 255
- EXISTING USE: APARTMENTS
- PROPOSED USE: APARTMENTS (12 TWO-BEDROOM & 3 THREE-BEDROOM UNITS)
- EXISTING AREA: 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)
- PROPOSED AREA: 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)
- EXISTING ZONING: C-1 (GENERAL COMMERCIAL) & GR-1 (GENERAL RESIDENTIAL W/CHCOZ)
- PROPOSED ZONING: C-1 (GENERAL COMMERCIAL) & GR-1 (GENERAL RESIDENTIAL W/CHCOZ)

	EXISTING	PROPOSED
10) NUMBER OF LOTS:	1	1
<b>BUILDINGS</b>		
EXISTING BUILDING AREA	45,015 SQ FT (FIRST FLOOR FOOTPRINT)	
PROPOSED MULTIFAMILY BUILDING		21,502 SQ FT (TOTAL) (15 UNITS)
PROPOSED STORAGE BUILDING		924 SQ FT
DENSITY		15 UNITS / 1.33 AC = 11.28 UNITS PER ACRE

	REQUIRED	PROPOSED
11) HEIGHT, AREA, AND BULK REQUIREMENTS (CODE SECTION 115-156B)		
MAXIMUM HEIGHT	42 FT	38.9 FT (3 STORIES)
MINIMUM LOT AREA	54,450 SQ FT	58,150 SQ FT
MINIMUM LOT WIDTH (FEET)	75 FT	± 173 FT
MINIMUM LOT DEPTH (FEET)	100 FT	± 823 FT
MINIMUM YARD REQUIREMENTS		
C-1:		
FRONT	40 FT	>40 FT
SIDE	10 FT	15 FT
REAR	10 FT	>10 FT
CORNER	15 FT	>15 FT
GR-1:		
FRONT	30 FT	>30 FT
SIDE	10 FT	15 FT
REAR	10 FT	>10 FT
CORNER	15 FT	>15 FT
CHCOZ:		
		60' SETBACK FROM ROUTE 1 RIGHT-OF-WAY WITH 20' BUFFER

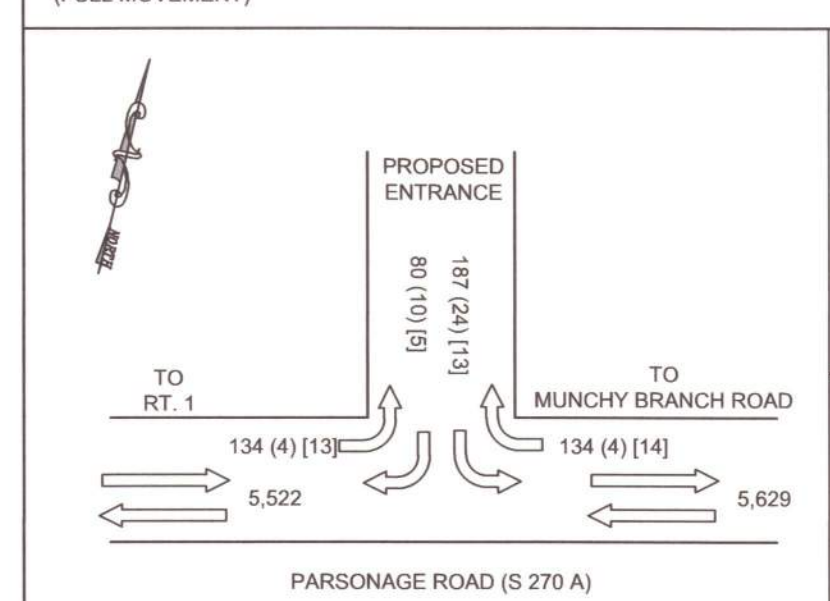
- SERVICES: WATER SUPPLIER: TIDEWATER UTILITIES; SANITARY SEWER SUPPLIER: SUSSEX COUNTY (WEST REHOBOTH DISTRICT)
- FIRE DISTRICT: REHOBOTH BEACH
- VERTICAL DATUM: NAVD 88
- HORIZONTAL DATUM: NAV 83
- POSTED SPEED LIMIT: 35 MPH (PARSONAGE ROAD)
- PROXIMITY TO IDENTIFIED TRANSPORTATION DISTRICT: NOT IN PROXIMITY OF TID
- INVESTMENT LEVEL AREA: LEVEL 2
- SITE ADDRESS: 35863 PARSONAGE ROAD, REHOBOTH BEACH, DE 19971
- WETLAND AREA: 0.00 ACRES
- PROJECT WATERSHED: LEWES-REHOBOTH CANAL
- PROPOSED DISCHARGE LOCATIONS: DELDOT AND INFILTRATION
- FLOOD PLAIN: THE SITE IS LOCATED WITHIN ZONE X, AN AREA DEFINED AS OUTSIDE THE 100 YEAR FLOOD PLAIN, BASED ON FEMA FLOOD PANEL 10005C0332K
- SOILS ON-SITE CONSIST OF EVEBORO LOAMY SAND, 0 TO 5 PERCENT SLOPES (EVB), GREENWICH LOAM, 0 TO 2 PERCENT (GA) AND GREENWICH-URBAN LAND COMPLEX (GUB), 0 TO 5 PERCENT SLOPES
- WELLHEAD PROTECTION SITE AREA: 0 ACRES; PROPOSED IMPERVIOUS COVERAGE = 47%
- PROJECT IS LOCATED IN AN AREA OF GOOD GROUNDWATER RECHARGE POTENTIAL.
- NET DEVELOPMENT AREA = 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)

#### PARKING / LOADING REQUIREMENTS:

OFF-STREET PARKING - (PER CODE SECTIONS 115-162A & 45-5)	
REQUIRED PARKING	
APARTMENTS - 2 PER UNIT (15 UNITS):	30 SPACES REQUIRED
HANDICAP PARKING (26-50 PARKING SPACES)	2 SPACES REQUIRED
<b>TOTAL PARKING PROVIDED</b>	<b>30 PARKING LOT SPACES</b>
	<b>+ 2 HANDICAP SPACES</b>
	<b>= 32 TOTAL PARKING SPACES PROVIDED</b>

OFF-STREET LOADING - (PER CODE SECTIONS 115-167)	
LOADING	
NUMBER OF LOADING SPACES REQUIRED	1 SPACE REQUIRED
NUMBER OF LOADING SPACES PROVIDED	1 SPACE (12' x 40')

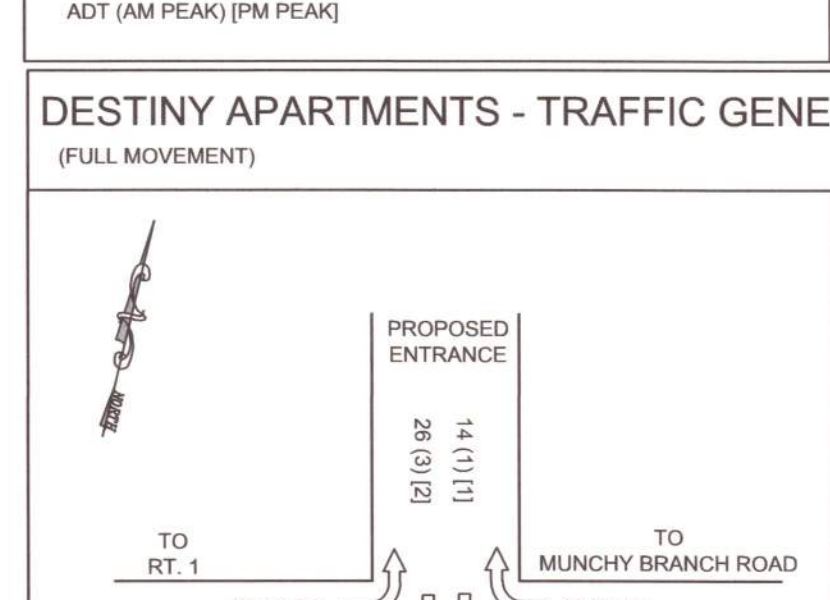
#### DAYS INN APPROVED 11/08/2017 - TRAFFIC GENERATION - PARSONAGE ROAD (S 270 A)



**ROAD TRAFFIC DATA:**  
FUNCTIONAL CLASSIFICATION - S 270 A (PARSONAGE ROAD) - LOCAL  
POSTED SPEED LIMIT - 35 MPH  
AADT = 4,576 TRIPS (FROM 2015 DELDOT TRAFFIC SUMMARY)  
10 YEAR PROJECTED AADT = 1.16 x 4,576 = 5,308 TRIPS  
10 YEAR PROJECTED AADT + SITE ADT = 5,308 + 535 = 5,843 TRIPS  
TRAFFIC PATTERN GROUP = 7 (FROM 2015 DELDOT TRAFFIC SUMMARY)  
PEAK HOUR - 15.43% x 5,843 TRIPS = 902 TRIPS  
DIRECTIONAL DISTRIBUTION S 270 A (PARSONAGE ROAD):  
70% TO THE WEST (ROUTE 1) = 3,216  
30% TO THE EAST (MUNCHY BRANCH ROAD) = 1,592

**SITE TRAFFIC DATA:**  
SOURCE: ITE TRIP GENERATION MANUAL, 8TH EDITION  
60+ ROOM HOTEL, OCCUPIED ROOMS (310)  
ONE ENTRANCE - FULL MOVEMENT  
DESIGN VEHICLE - SU-30  
DIRECTIONAL DISTRIBUTION:  
50% FROM THE EAST = 268 \* 50% = 134  
50% FROM THE WEST = 268 \* 50% = 134  
70% TO THE EAST = 267 \* 70% = 187  
30% TO THE WEST = 267 \* 30% = 80  
80 / 20 OUT / IN MORNING PEAK HOUR SPLIT  
40 / 20 OUT / IN EVENING PEAK HOUR SPLIT  
5% TRUCKS AND BUSES = 535 \* 5% = 27

#### DESTINY APARTMENTS - TRAFFIC GENERATION - PARSONAGE ROAD (S 270 A)



**ROAD TRAFFIC DATA:**  
FUNCTIONAL CLASSIFICATION - S 270 A (PARSONAGE ROAD) - LOCAL  
POSTED SPEED LIMIT - 35 MPH  
AADT = 5,230 TRIPS (FROM 2019 DELDOT TRAFFIC SUMMARY)  
10 YEAR PROJECTED AADT = 1.16 x 5,230 = 6,067 TRIPS  
10 YEAR PROJECTED AADT + SITE ADT = 6,067 + 80 = 6,147 TRIPS  
TRAFFIC PATTERN GROUP = 4 (FROM 2019 DELDOT TRAFFIC SUMMARY)  
PEAK HOUR - 13.88% x 6,067 TRIPS = 842 TRIPS  
DIRECTIONAL DISTRIBUTION S 270 A (PARSONAGE ROAD):  
70% TO THE WEST (ROUTE 1) = 4,247  
30% TO THE EAST (MUNCHY BRANCH ROAD) = 1820

**SITE TRAFFIC DATA:**  
SOURCE: ITE TRIP GENERATION MANUAL, 10TH EDITION  
MULTIFAMILY (MID-RISE) (221) - 15 UNITS = 80 TRIPS  
TOTAL SITE TRIPS = 80 TRIPS (40 IN / 50 OUT)  
ONE ENTRANCE - FULL MOVEMENT  
DESIGN VEHICLE - SU-30  
DIRECTIONAL DISTRIBUTION:  
50% FROM THE EAST = 40 \* 50% = 20  
50% FROM THE WEST = 40 \* 50% = 20  
35% TO THE EAST = 40 \* 35% = 14  
65% TO THE WEST = 40 \* 65% = 26  
MORNING PEAK:  
5 TRIPS (1 IN / 4 OUT)  
EVENING PEAK:  
7 TRIPS (4 IN / 3 OUT)  
5% TRUCKS AND BUSES = 80 \* 5% = 4

**CALL Miss Utility of Delmarva BEFORE YOU DIG 800-282-8555 or 811**

Final site plan - destiny apartments  
**APPROVED** (S-20-18)  
per SCPO per SCP  
per DELDOT  
SUSSEX COUNTY  
PLANNING & ZONING COMMISSION  
12/28/2020  
9 pages

#### PROJECT TEAM

**OWNER/DEVELOPER**  
DESTINY LLC  
1 PATRIOTS WAY  
REHOBOTH BEACH, DE 19971  
(302) 745-6207

**ARCHITECT**  
BRUCE J. MONETA, A.I.A.  
34073 VILLA CIRCLE, UNIT 304  
LEWES, DE 19958  
(302) 745-0342

**SITE ENGINEER**  
SCALED ENGINEERING, INC.  
20246 COASTAL HIGHWAY  
REHOBOTH BEACH, DE 19971  
(302) 236-3600

#### SUSSEX CONSERVATION DISTRICT

APPROVED BY: \_\_\_\_\_ DATE \_\_\_\_\_

APPROVAL OF A SEDIMENT AND STORM WATER PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORM WATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.

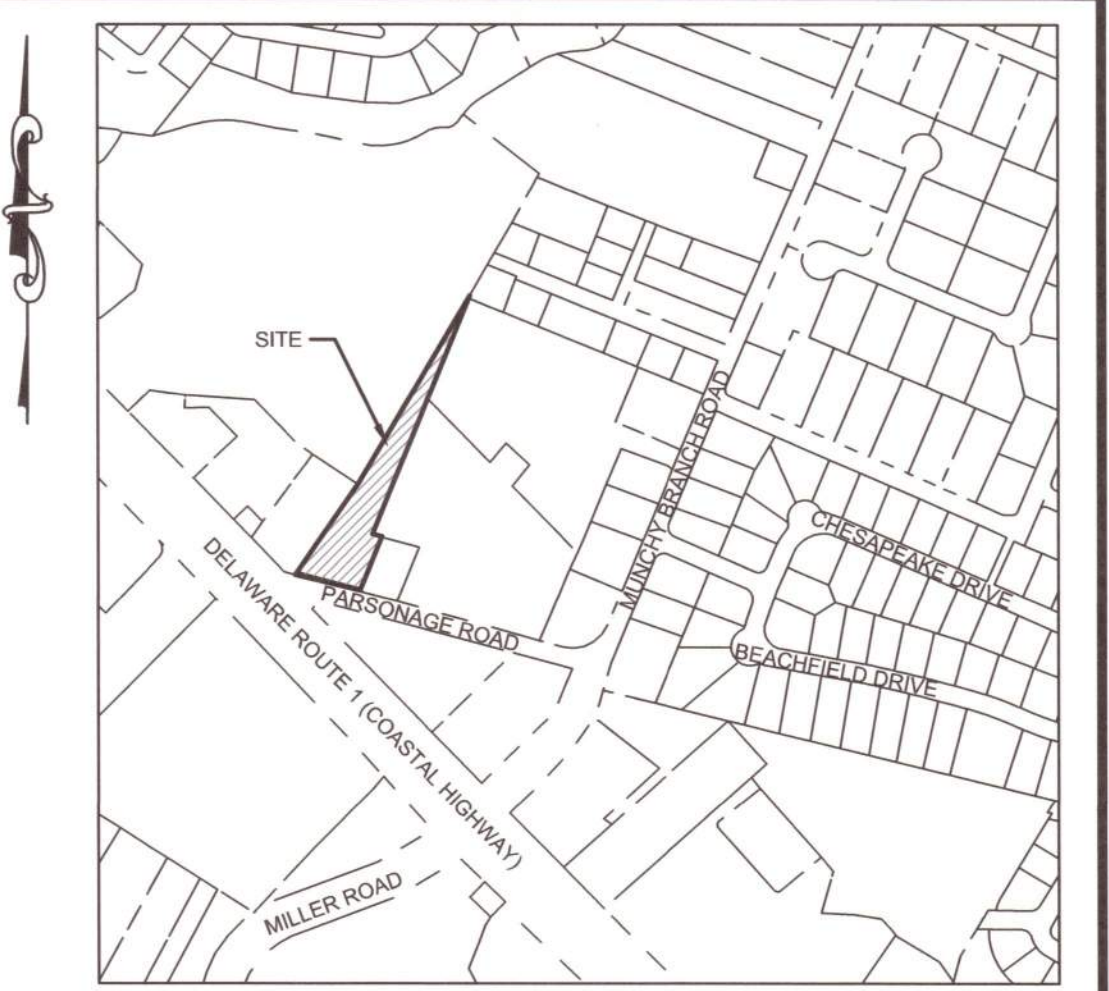
#### ENGINEERS CERTIFICATION

IT IS HEREBY CERTIFIED THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

CARLTON SAMUEL, PE (LICENSE #18457) DATE 12/28/20  
20246 COASTAL HIGHWAY, REHOBOTH BEACH, DE 19971

**SUSSEX COUNTY**

APPROVED BY: \_\_\_\_\_ DATE \_\_\_\_\_



**LOCATION MAP**  
SCALE: 1" = 500'

#### LEGEND

	EXISTING	PROPOSED
PROPERTY LINE / RIGHT OF WAY	---	---
ADJOINING PROPERTY LINE	---	---
BUILDING RESTRICTION LINE	---	---
EASEMENT	+ + +	+ + +
CENTER LINE OF ROAD	---	---
EDGE OF PAVING	---	---
CURB	---	---
DRIVEWAY	---	---
CONTOURS	---	---
SWALE	---	---
WETLANDS LINE AND FLAG	NW NW NW	NW NW NW
FLOODPLAIN	FP FP FP	FP FP FP
SOILS DESIGNATION	MmA	MmA
SOIL BORING	○	○
VEGETATION	---	---
WOODS	---	---
FENCE	---	---
SIDEWALK	---	---
BUILDING	---	---
UTILITY POLE/GUY WIRE	○	○
OVERHEAD ELECTRIC	OHE OHE OHE	OHE OHE OHE
CABLE TV, PEDESTAL	○	○
TRAFFIC SIGN	○	○
SINGLE & TWIN HEAD SITE LIGHT	○	○
WATER MAIN, FIRE HYDRANT, VALVE, SERVICE ASSEMBLY, AND METER PIT	W W W	W W W
SEWER MAIN, MAHNOLE, & CLEANOUT	SAN SAN MH C.O.	SAN SAN MH C.O.
SANITARY SEWER FORCEMAIN	FM FM FM	FM FM FM
UNDERGROUND ELECTRIC	E E E	E E E
TELEPHONE LINE	T T T	T T T
STORM WATER PIPE	D D D	D D D

LIMIT OF DISTURBANCE: 1.46 ACRES

#### OWNER(S) CERTIFICATION - EROSION & SEDIMENT CONTROL

I, THE UNDERSIGNED, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E. BLUE CARD HOLDERS) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS, AND I UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT, AS REFERENCED ON THIS COVERSHEET.

DESTINY LLC  
1 PATRIOTS WAY  
REHOBOTH BEACH, DE 19971

#### OWNER(S) CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE LEGAL OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

DESTINY LLC  
1 PATRIOTS WAY  
REHOBOTH BEACH, DE 19971

**SCALED ENGINEERING**  
Scaled Engineering Inc.  
20246 Coastal Highway  
Rehoboth Beach, DE 19971  
Phone: (302) 236-3600

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**COVER SHEET**

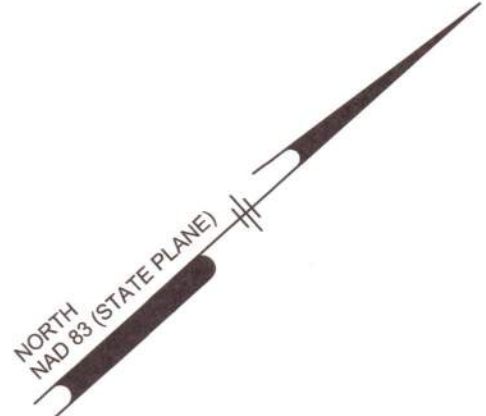
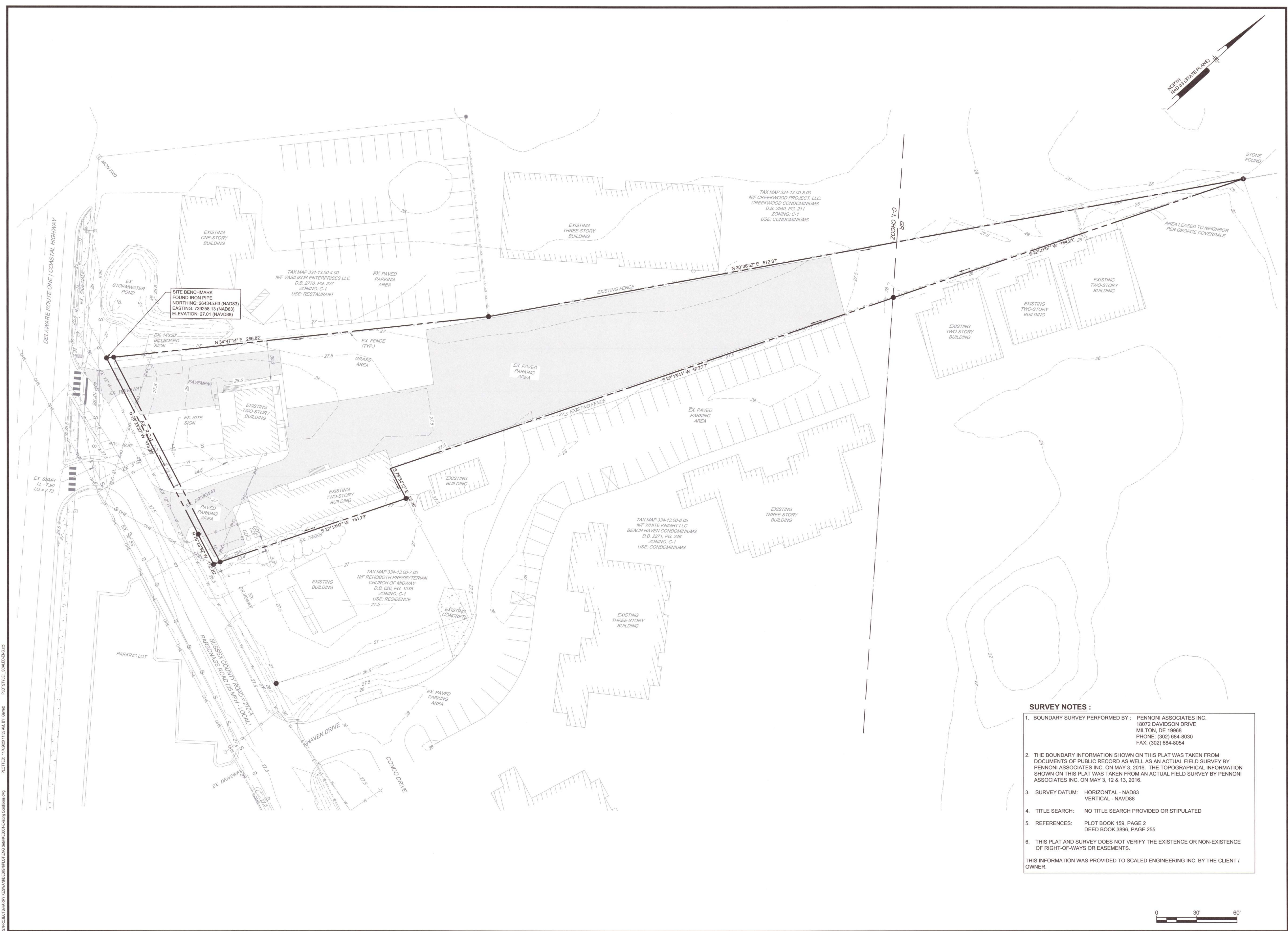
**DESTINY APARTMENTS**  
TAX PARCEL NO. 334-13.00-5.00  
PARSONAGE ROAD (SR 270-A)  
REHOBOTH BEACH, SUSSEX COUNTY, DE

ISSUE / REVISION BLOCK
5/26/2020 - SUSSEX COUNTY P & Z
5/29/2020 - FIRE MARSHAL
6/25/2020 - SUSSEX COUNTY P & Z PRELIMINARY APPROVAL
9/2/2020 - DELDOT SUBMISSION 1
9/14/2020 - OFFICE OF DRINKING WATER APPROVAL
9/18/2020 - SCD COMMENTS
9/29/2020 - SUSSEX COUNTY DEPT. OF ENGINEERING COMMENTS
10/08/2020 - SCD SUBMISSION 2
10/09/2020 - DELDOT SUBMISSION 2
10/12/2020 - TIDEWATER COMMENTS
10/29/2020 - SCD FINAL SUBMISSION
11/09/2020 - TIDEWATER COMMENTS
12/09/2020 - SUSSEX COUNTY P & Z

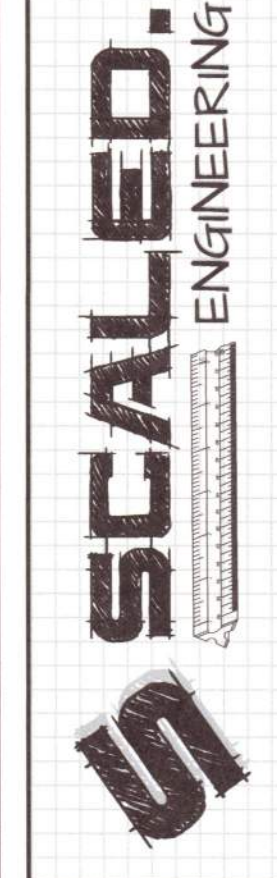
SCALE	PROJECT #	DRAWN BY
AS NOTED	HKS001	GJB
DRAWING NUMBER		

# T-1





Scaled Engineering Inc.  
 20246 Coastal Highway  
 Rehoboth Beach, DE 19971  
 Phone: (302) 235-9600  
 FAX: (302) 235-9600



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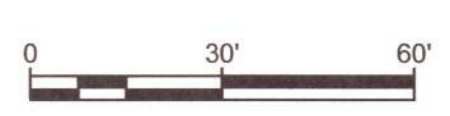
**EXISTING CONDITIONS**

**DESTINY APARTMENTS**  
**TAX PARCEL NO. 334-13.00-5.00**  
 PARSONAGE ROAD (SR 270-A)  
 REHOBOTH BEACH, SUSSEX COUNTY, DE

ISSUE / REVISION BLOCK  
 5/26/2020 - SUSSEX COUNTY P & Z  
 5/29/2020 - FIRE MARSHAL  
 6/25/2020 - SUSSEX COUNTY P & Z  
 PRELIMINARY APPROVAL  
 9/2/2020 - DELDOT SUBMISSION 1  
 9/14/2020 - OFFICE OF DRINKING  
 WATER APPROVAL  
 9/18/2020 - SCD COMMENTS  
 9/29/2020 - SUSSEX COUNTY DEPT.  
 OF ENGINEERING  
 COMMENTS  
 10/08/2020 - SCD SUBMISSION 2  
 10/09/2020 - DELDOT SUBMISSION 2  
 10/12/2020 - TIDEWATER COMMENTS  
 10/29/2020 - SCD FINAL SUBMISSION

**SURVEY NOTES :**

- BOUNDARY SURVEY PERFORMED BY : PENNONI ASSOCIATES INC.  
18072 DAVIDSON DRIVE  
MILTON, DE 19968  
PHONE: (302) 684-8030  
FAX: (302) 684-8054
  - THE BOUNDARY INFORMATION SHOWN ON THIS PLAT WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD AS WELL AS AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES INC. ON MAY 3, 2016. THE TOPOGRAPHICAL INFORMATION SHOWN ON THIS PLAT WAS TAKEN FROM AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES INC. ON MAY 3, 12 & 13, 2016.
  - SURVEY DATUM: HORIZONTAL - NAD83  
VERTICAL - NAVD88
  - TITLE SEARCH: NO TITLE SEARCH PROVIDED OR STIPULATED
  - REFERENCES: PLOT BOOK 159, PAGE 2  
DEED BOOK 3896, PAGE 255
  - THIS PLAT AND SURVEY DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS.
- THIS INFORMATION WAS PROVIDED TO SCALED ENGINEERING INC. BY THE CLIENT / OWNER.



SCALE	PROJECT #	DRAWN BY
1" = 30'	HKS001	GJB
DRAWING NUMBER		

**EX-1**

PROJECT: 1142020.1156 AM BY: Gennet PLOT: 1142020.1156 AM BY: Gennet P: PROJECT: 1142020.1156 AM BY: Gennet PLOT: 1142020.1156 AM BY: Gennet





SCALED ENGINEERING  
Sealed Engineering Inc.  
20248 C. Highway  
Rehoboth Beach, DE 19871  
Phone: (302) 236-3600



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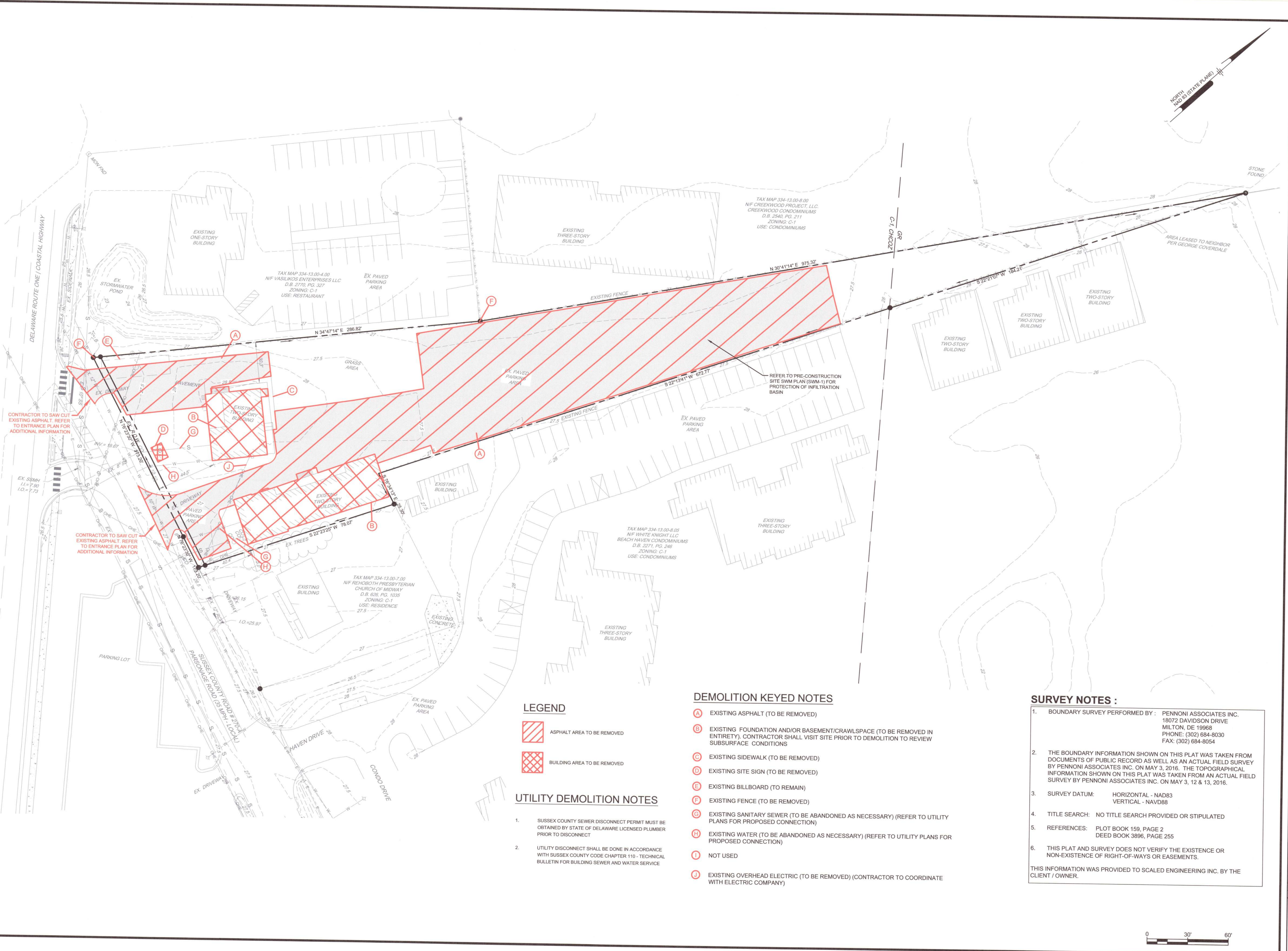
DEMOLITION PLAN

**DESTINY APARTMENTS**  
TAX PARCEL NO. 334-13.00-5.00  
PARSONAGE ROAD (SR 270-A)  
REHOBOTH BEACH, SUSSEX COUNTY, DE

ISSUE / REVISION BLOCK  
5/26/2020 - SUSSEX COUNTY P & Z  
5/29/2020 - FIRE MARSHAL  
6/25/2020 - SUSSEX COUNTY P & Z  
PRELIMINARY APPROVAL  
9/2/2020 - DELDOT SUBMISSION 1  
9/14/2020 - OFFICE OF DRINKING  
WATER APPROVAL  
9/18/2020 - SCD COMMENTS  
9/29/2020 - SUSSEX COUNTY DEPT.  
OF ENGINEERING  
COMMENTS  
10/08/2020 - SCD SUBMISSION 2  
10/09/2020 - DELDOT SUBMISSION 2  
10/12/2020 - TIDEWATER COMMENTS  
10/29/2020 - SCD FINAL SUBMISSION

SCALE PROJECT # DRAWN BY  
1" = 30' HKS001 GJB

DRAWING NUMBER  
**DE-1**



CONTRACTOR TO SAW CUT EXISTING ASPHALT. REFER TO ENTRANCE PLAN FOR ADDITIONAL INFORMATION.

**LEGEND**

-  ASPHALT AREA TO BE REMOVED
-  BUILDING AREA TO BE REMOVED

**UTILITY DEMOLITION NOTES**

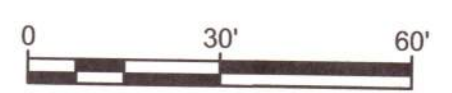
1. SUSSEX COUNTY SEWER DISCONNECT PERMIT MUST BE OBTAINED BY STATE OF DELAWARE LICENSED PLUMBER PRIOR TO DISCONNECT
2. UTILITY DISCONNECT SHALL BE DONE IN ACCORDANCE WITH SUSSEX COUNTY CODE CHAPTER 110 - TECHNICAL BULLETIN FOR BUILDING SEWER AND WATER SERVICE

**DEMOLITION KEYED NOTES**

- (A)** EXISTING ASPHALT (TO BE REMOVED)
- (B)** EXISTING FOUNDATION AND/OR BASEMENT/CRAWLSPACE (TO BE REMOVED IN ENTIRETY). CONTRACTOR SHALL VISIT SITE PRIOR TO DEMOLITION TO REVIEW SUBSURFACE CONDITIONS
- (C)** EXISTING SIDEWALK (TO BE REMOVED)
- (D)** EXISTING SITE SIGN (TO BE REMOVED)
- (E)** EXISTING BILLBOARD (TO REMAIN)
- (F)** EXISTING FENCE (TO BE REMOVED)
- (G)** EXISTING SANITARY SEWER (TO BE ABANDONED AS NECESSARY) (REFER TO UTILITY PLANS FOR PROPOSED CONNECTION)
- (H)** EXISTING WATER (TO BE ABANDONED AS NECESSARY) (REFER TO UTILITY PLANS FOR PROPOSED CONNECTION)
- (I)** NOT USED
- (J)** EXISTING OVERHEAD ELECTRIC (TO BE REMOVED) (CONTRACTOR TO COORDINATE WITH ELECTRIC COMPANY)

**SURVEY NOTES :**

1. BOUNDARY SURVEY PERFORMED BY : PENNONI ASSOCIATES INC. 18072 DAVIDSON DRIVE MILTON, DE 19968 PHONE: (302) 684-8030 FAX: (302) 684-8054
  2. THE BOUNDARY INFORMATION SHOWN ON THIS PLAT WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD AS WELL AS AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES INC. ON MAY 3, 2016. THE TOPOGRAPHICAL INFORMATION SHOWN ON THIS PLAT WAS TAKEN FROM AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES INC. ON MAY 3, 12 & 13, 2016.
  3. SURVEY DATUM: HORIZONTAL - NAD83 VERTICAL - NAVD88
  4. TITLE SEARCH: NO TITLE SEARCH PROVIDED OR STIPULATED
  5. REFERENCES: PLOT BOOK 159, PAGE 2 DEED BOOK 3896, PAGE 255
  6. THIS PLAT AND SURVEY DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS.
- THIS INFORMATION WAS PROVIDED TO SCALED ENGINEERING INC. BY THE CLIENT / OWNER.



SURVEYED BY HARRY REHOBOTH BEACH, DE 19871. PLOTTED: 11/02/20 11:58 AM BY: GJB





SCALED ENGINEERING  
Scaled Engineering Inc.  
20246 Coastal Highway  
Rehoboth Beach, DE 19971  
Phone: (302) 236-3600



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**SITE PLAN**

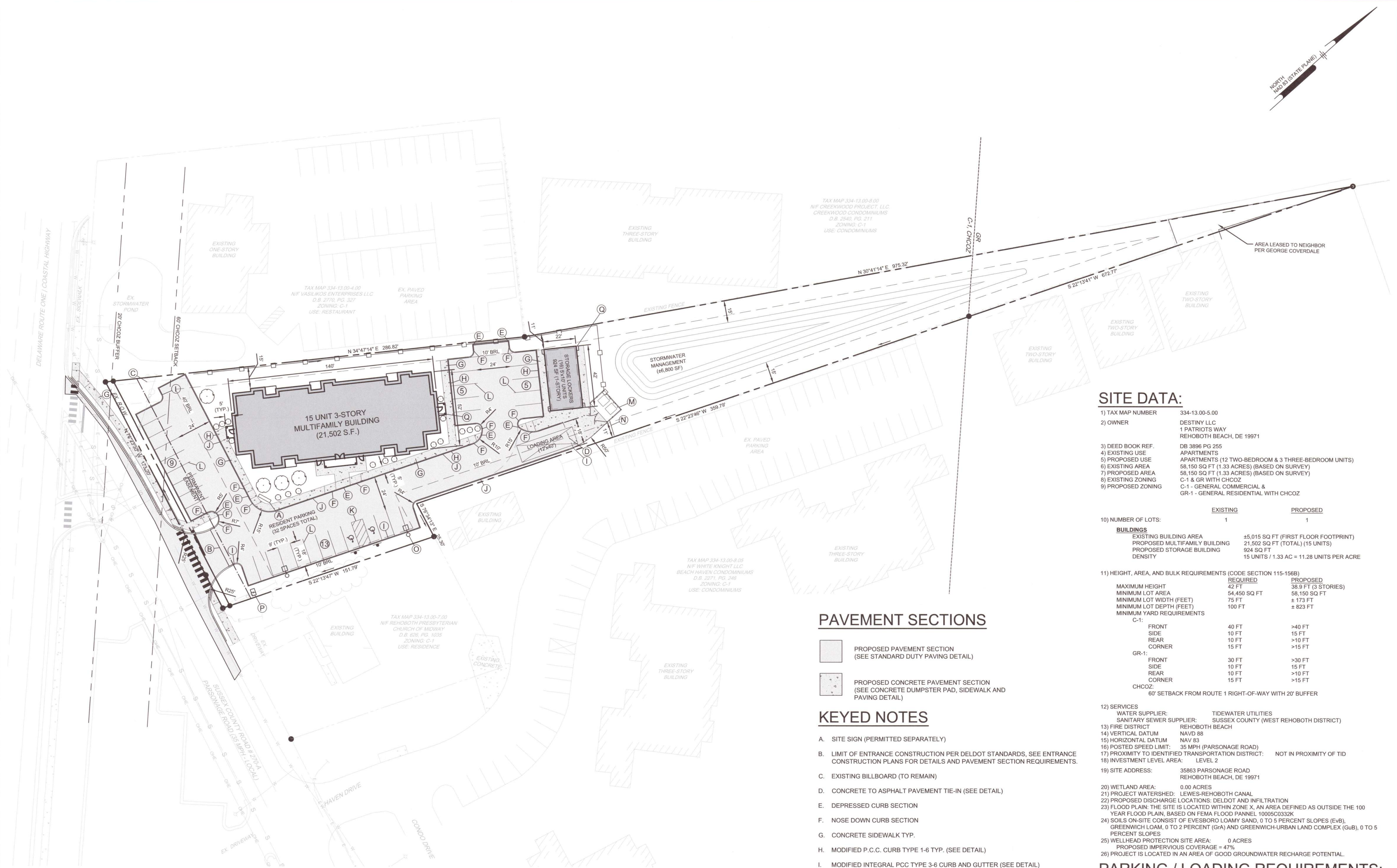
**DESTINY APARTMENTS**  
TAX PARCEL NO. 334-13.00-5.00  
PARSONAGE ROAD (SR 270-A)  
REHOBOTH BEACH, SUSSEX COUNTY, DE

ISSUE / REVISION BLOCK

5/26/2020	- SUSSEX COUNTY P & Z
5/29/2020	- FIRE MARSHAL
6/25/2020	- SUSSEX COUNTY P & Z PRELIMINARY APPROVAL
9/2/2020	- DELDOT SUBMISSION 1
9/14/2020	- OFFICE OF DRINKING WATER APPROVAL
9/18/2020	- SCD COMMENTS
9/29/2020	- SUSSEX COUNTY DEPT. OF ENGINEERING COMMENTS
10/08/2020	- SCD SUBMISSION 2
10/09/2020	- DELDOT SUBMISSION 2
10/12/2020	- TIDEWATER COMMENTS
10/29/2020	- SCD FINAL SUBMISSION
11/09/2020	- TIDEWATER COMMENTS
12/09/2020	- SUSSEX COUNTY P & Z

SCALE	PROJECT #	DRAWN BY
1" = 30'	HKE001	GJB
DRAWING NUMBER		

**C-1**



**SITE DATA:**

- 1) TAX MAP NUMBER: 334-13.00-5.00
- 2) OWNER: DESTINY LLC, 1 PATRIOTS WAY, REHOBOTH BEACH, DE 19971
- 3) DEED BOOK REF.: DB 3896 PG 255
- 4) EXISTING USE: APARTMENTS
- 5) PROPOSED USE: APARTMENTS (12 TWO-BEDROOM & 3 THREE-BEDROOM UNITS)
- 6) EXISTING AREA: 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)
- 7) PROPOSED AREA: 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)
- 8) EXISTING ZONING: C-1 & GR WITH CHCOZ
- 9) PROPOSED ZONING: C-1 - GENERAL COMMERCIAL & GR-1 - GENERAL RESIDENTIAL WITH CHCOZ

	EXISTING	PROPOSED
10) NUMBER OF LOTS:	1	1
<b>BUILDINGS</b>		
EXISTING BUILDING AREA	±5,015 SQ FT (FIRST FLOOR FOOTPRINT)	
PROPOSED MULTIFAMILY BUILDING	21,502 SQ FT (TOTAL) (15 UNITS)	
PROPOSED STORAGE BUILDING	924 SQ FT	
DENSITY	15 UNITS / 1.33 AC = 11.28 UNITS PER ACRE	

	REQUIRED	PROPOSED
11) HEIGHT, AREA, AND BULK REQUIREMENTS (CODE SECTION 115-156B)		
MAXIMUM HEIGHT	42 FT	38.9 FT (3 STORIES)
MINIMUM LOT AREA	54,450 SQ FT	58,150 SQ FT
MINIMUM LOT WIDTH (FEET)	75 FT	± 173 FT
MINIMUM LOT DEPTH (FEET)	100 FT	± 823 FT
MINIMUM YARD REQUIREMENTS		
C-1:		
FRONT	40 FT	≥40 FT
SIDE	10 FT	15 FT
REAR	10 FT	>10 FT
CORNER	15 FT	>15 FT
GR-1:		
FRONT	30 FT	≥30 FT
SIDE	10 FT	15 FT
REAR	10 FT	>10 FT
CORNER	15 FT	>15 FT
CHCOZ:		
60' SETBACK FROM ROUTE 1 RIGHT-OF-WAY WITH 20' BUFFER		

- 12) SERVICES: WATER SUPPLIER: TIDEWATER UTILITIES; SANITARY SEWER SUPPLIER: SUSSEX COUNTY (WEST REHOBOTH DISTRICT)
- 13) FIRE DISTRICT: REHOBOTH BEACH
- 14) VERTICAL DATUM: NAVD 88
- 15) HORIZONTAL DATUM: NAV 83
- 16) POSTED SPEED LIMIT: 35 MPH (PARSONAGE ROAD)
- 17) PROXIMITY TO IDENTIFIED TRANSPORTATION DISTRICT: NOT IN PROXIMITY OF TID
- 18) INVESTMENT LEVEL AREA: LEVEL 2
- 19) SITE ADDRESS: 35863 PARSONAGE ROAD, REHOBOTH BEACH, DE 19971
- 20) WETLAND AREA: 0.00 ACRES
- 21) PROJECT WATERSHED: LEWES-REHOBOTH CANAL
- 22) PROPOSED DISCHARGE LOCATIONS: DELDOT AND INFILTRATION
- 23) FLOOD PLAIN: THE SITE IS LOCATED WITHIN ZONE X, AN AREA DEFINED AS OUTSIDE THE 100 YEAR FLOOD PLAIN, BASED ON FEMA FLOOD PANNEL 10005C0332K
- 24) SOILS ON-SITE CONSIST OF EVESBORO LOAMY SAND, 0 TO 5 PERCENT SLOPES (EVB), GREENWICH LOAM, 0 TO 2 PERCENT (GRA) AND GREENWICH-URBAN LAND COMPLEX (GUB), 0 TO 5 PERCENT SLOPES
- 25) WELLHEAD PROTECTION SITE AREA: 0 ACRES; PROPOSED IMPERVIOUS COVERAGE = 47%
- 26) PROJECT IS LOCATED IN AN AREA OF GOOD GROUNDWATER RECHARGE POTENTIAL.

**PARKING / LOADING REQUIREMENTS:**

OFF-STREET PARKING - (PER CODE SECTIONS 115-162A & 45-5)	
REQUIRED PARKING	
APARTMENTS - 2 PER UNIT (15 UNITS)	30 SPACES REQUIRED
HANDICAP PARKING (26-50 PARKING SPACES)	2 SPACES REQUIRED
TOTAL PARKING PROVIDED	30 PARKING LOT SPACES + 2 HANDICAP SPACES = 32 TOTAL PARKING SPACES PROVIDED

OFF-STREET LOADING - (PER CODE SECTIONS 115-167)	
LOADING	
NUMBER OF LOADING SPACES REQUIRED	1 SPACE REQUIRED
NUMBER OF LOADING SPACES PROVIDED	1 SPACE (12' x 40')

**PAVEMENT SECTIONS**

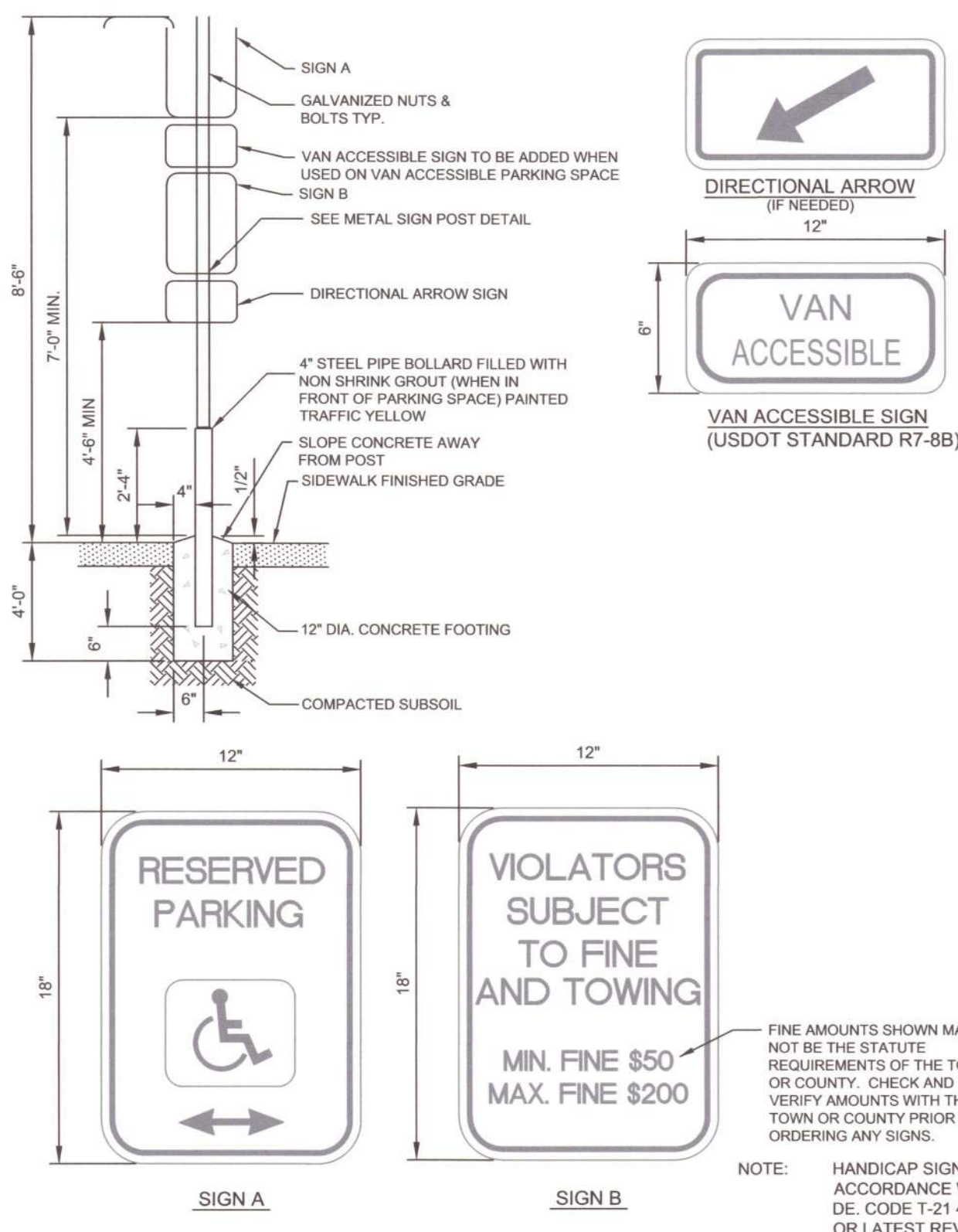
- PROPOSED PAVEMENT SECTION (SEE STANDARD DUTY PAVING DETAIL)
- PROPOSED CONCRETE PAVEMENT SECTION (SEE CONCRETE DUMPSTER PAD, SIDEWALK AND PAVING DETAIL)

**KEYED NOTES**

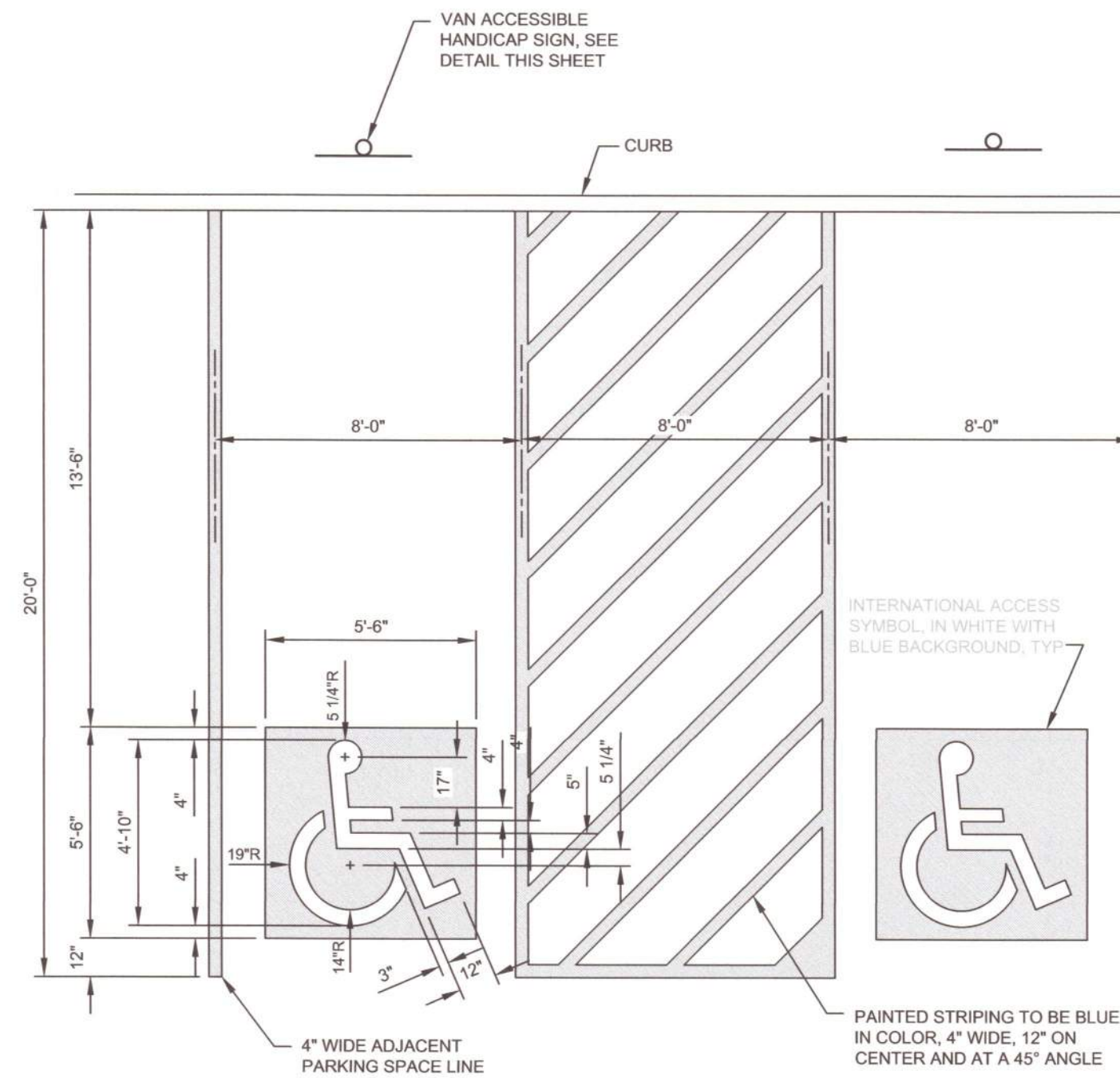
- A. SITE SIGN (PERMITTED SEPARATELY)
- B. LIMIT OF ENTRANCE CONSTRUCTION PER DELDOT STANDARDS, SEE ENTRANCE CONSTRUCTION PLANS FOR DETAILS AND PAVEMENT SECTION REQUIREMENTS.
- C. EXISTING BILLBOARD (TO REMAIN)
- D. CONCRETE TO ASPHALT PAVEMENT TIE-IN (SEE DETAIL)
- E. DEPRESSED CURB SECTION
- F. NOSE DOWN CURB SECTION
- G. CONCRETE SIDEWALK TYP.
- H. MODIFIED P.C.C. CURB TYPE 1-6 TYP. (SEE DETAIL)
- I. MODIFIED INTEGRAL PCC TYPE 3-6 CURB AND GUTTER (SEE DETAIL)
- J. PAINTED YELLOW CURB OR STRIPE (REFER TO FIRE PROTECTION PLANS FOR MORE DETAILS)
- K. VAN ACCESSIBLE ADA PARKING SPACE AND SIGNAGE (SEE DETAIL)
- L. 4" WIDE WHITE PAINTED LINE TO DELINEATE PARKING SPACE (EPOXY)
- M. DUMPSTER ENCLOSURE WITH 6-FOOT PRIVACY FENCE (SEE DETAIL)
- N. 10' WIDE GATE (MATCH FENCE)
- O. 20" HIGH, POLE MOUNTED LED LIGHTING (DOWNWARD SCREENED - HOUSE SIDE SHIELD TO BE INSTALLED TO REDUCE GLARE ON ADJACENT PROPERTY), TYP.
- P. ELECTRIC TRANSFORMER LOCATION (IF NEEDED)
- Q. WALL PACK EXTERIOR LED LIGHTING (REFER TO ARCHITECTURAL PLANS FOR MORE DETAIL), TYP.

PROJECTS/HARRY KESWANDER/PL02ENG 24/08/2020 10:01 PM BY: JHF PLOTSTYLE: SCALED.ENG.DWG

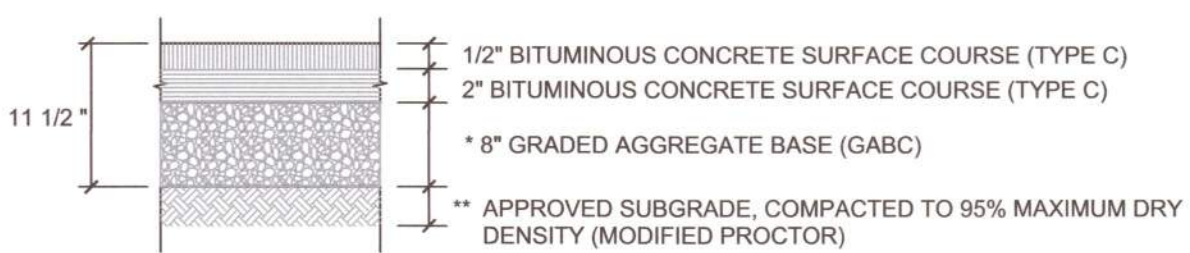




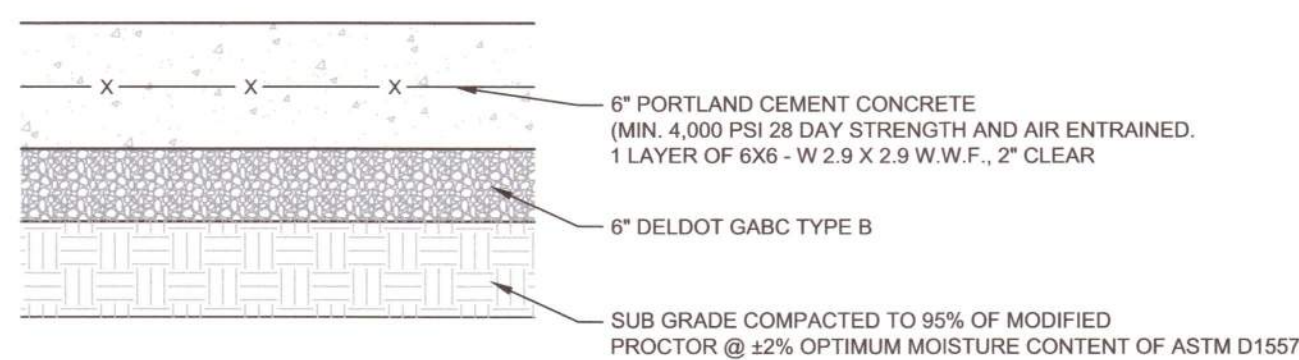
**HANDICAP PARKING SIGNAGE DETAIL**



**HANDICAP PARKING DETAIL**

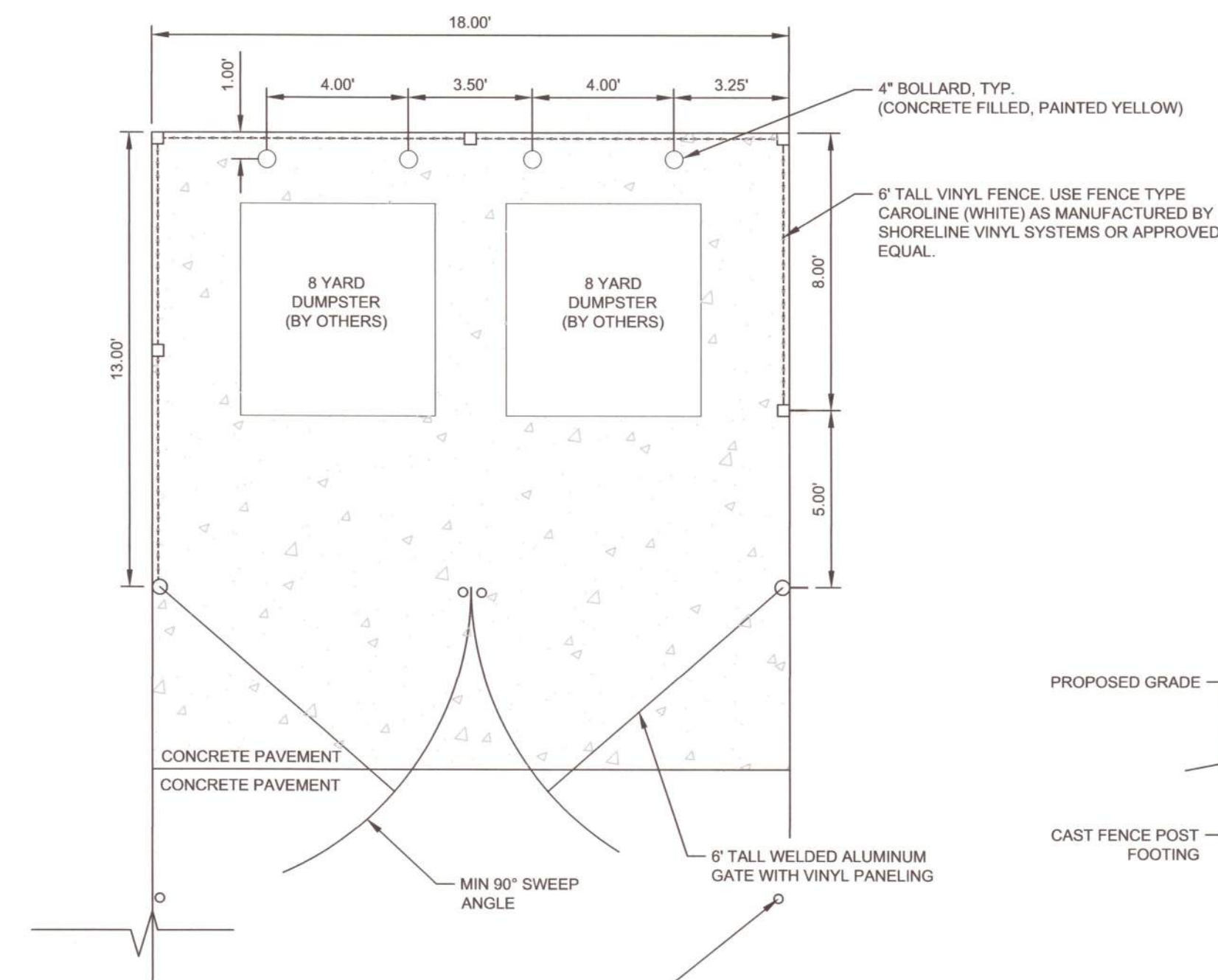


**STANDARD DUTY PAVING SECTION**

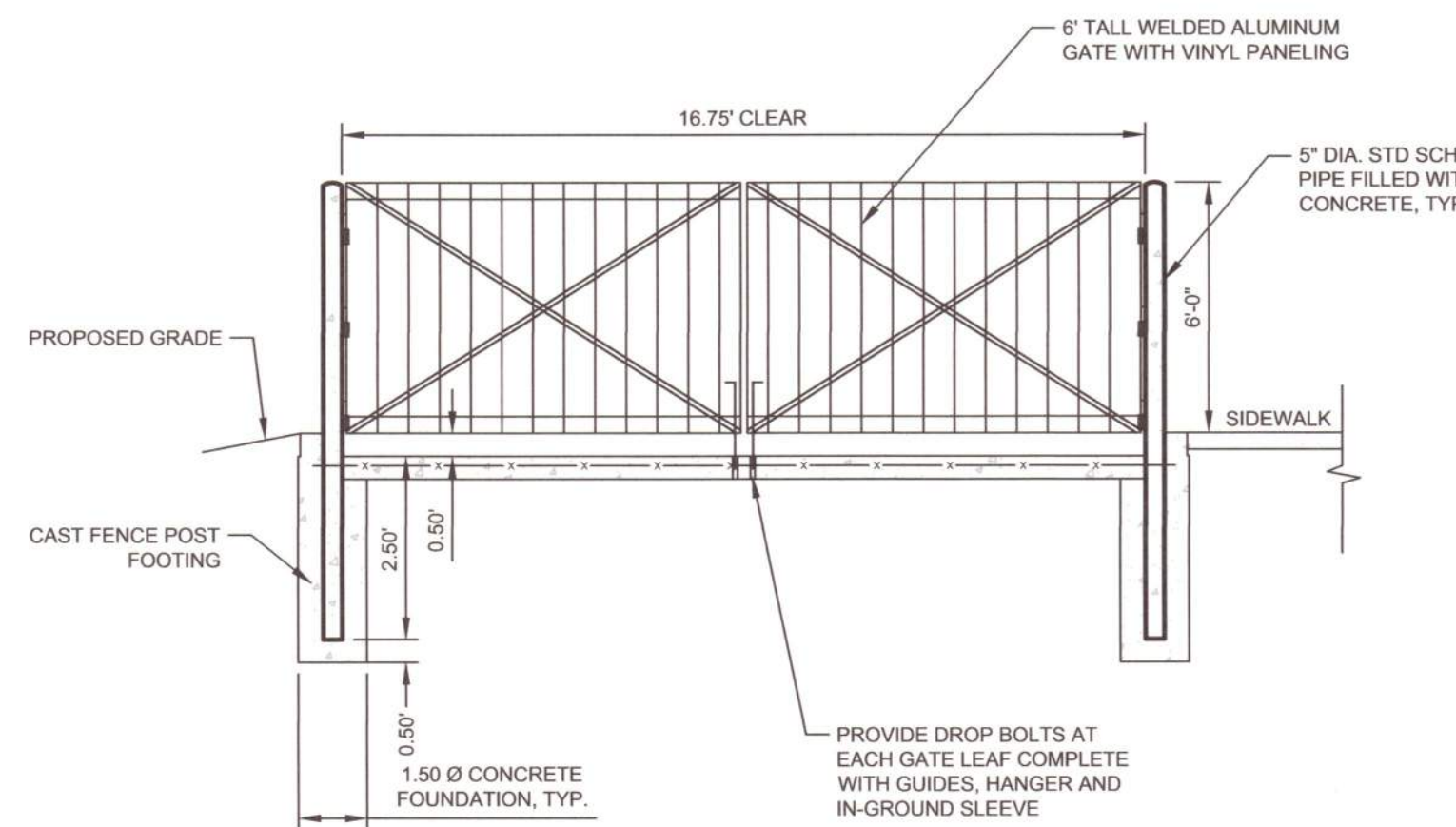


- NOTES:**
- ALL CONCRETE USED SHALL BE PORTLAND CEMENT CONCRETE MIX NO. 7.
  - TOOLED CONTRACTION JOINTS ARE TO BE PLACED 10' MAX BOTH DIRECTIONS, OR AS DIRECTED ON THE SITE PLANS OR AS DIRECTED BY THE STRUCTURAL ENGINEER.
  - CONSTRUCTION JOINTS ARE TO BE PLACED 20' MAX BOTH DIRECTIONS, OR AS DIRECTED ON THE SITE PLANS OR AS DIRECTED BY THE STRUCTURAL ENGINEER.
  - WHEN PLACED ADJACENT TO EXISTING CONCRETE PAVEMENT, NEW OR EXISTING FOUNDATION WALL, CONCRETE CURB & GUTTER OR OTHER STRUCTURE, INSTALL APPROVED EXPANSION JOINT. ADDITIONAL EXPANSION JOINTS ARE TO BE PLACED AS DIRECTED ON THE SITE PLANS OR AS DIRECTED BY THE STRUCTURAL ENGINEER.

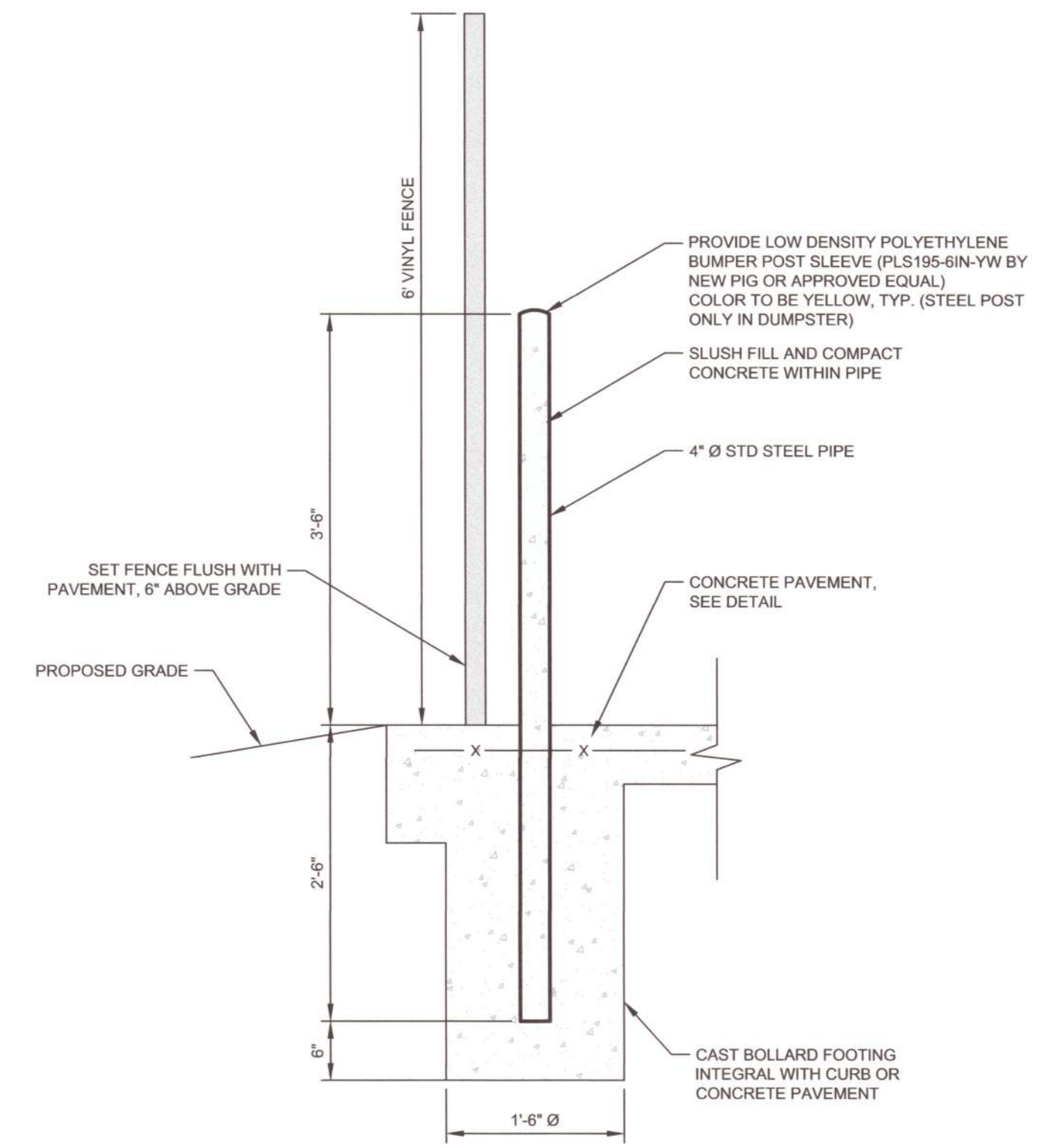
**CONCRETE DUMPSTER PAD & PAVING DETAIL**



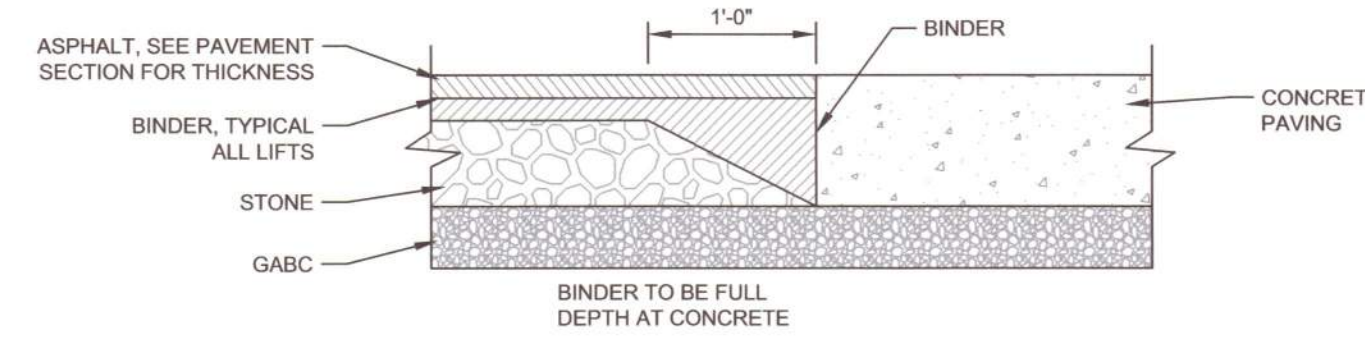
**DUMPSTER DETAIL - PLAN**



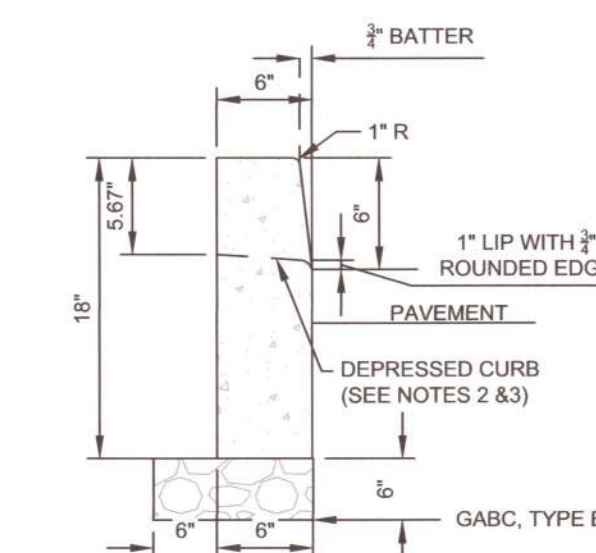
**DUMPSTER DETAIL - GATE**



**DUMPSTER DETAIL - BOLLARD**



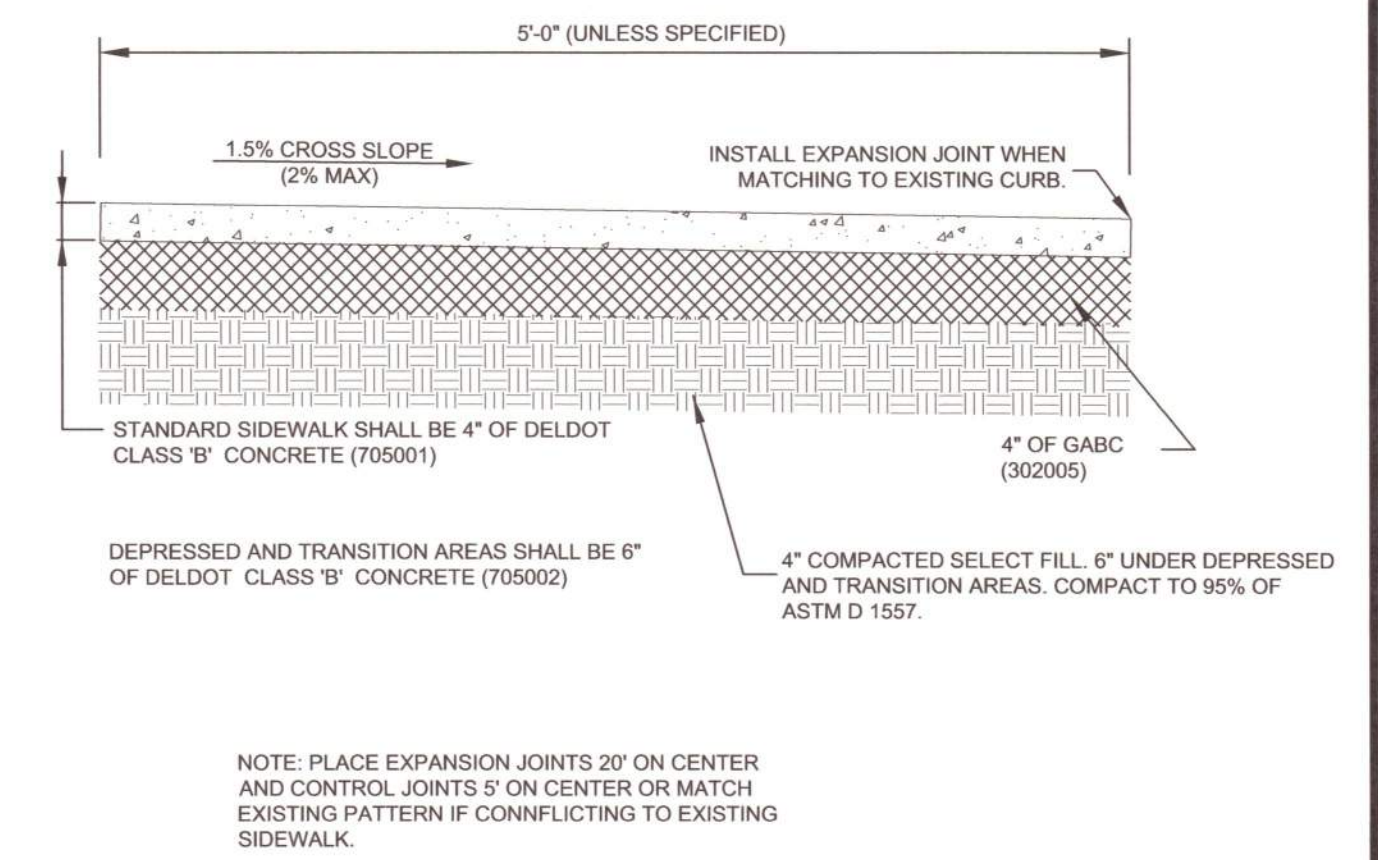
**CONCRETE TO ASPHALT PAVEMENT TIE-IN DETAIL**



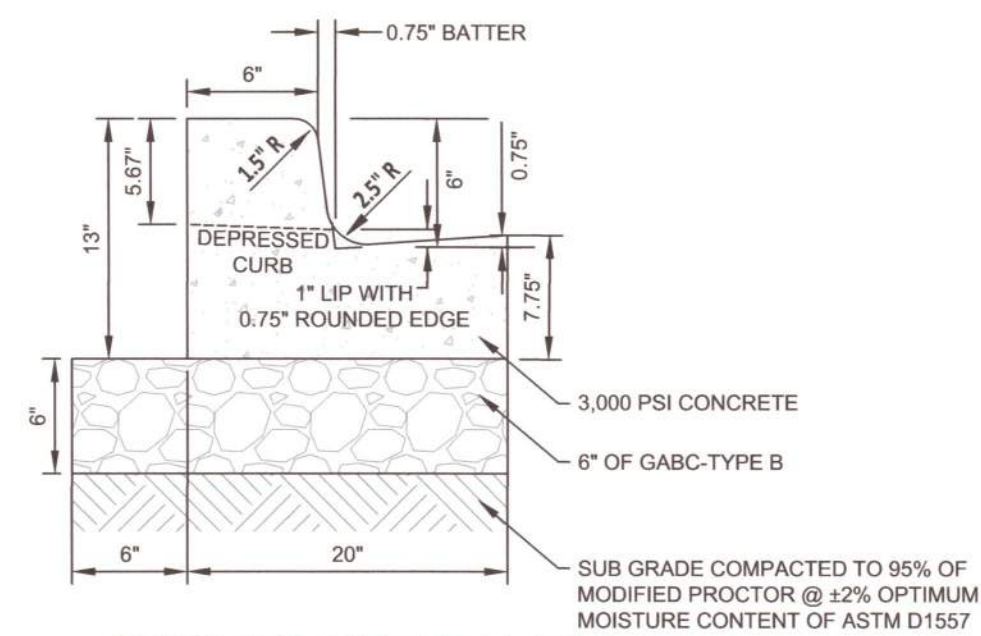
**MODIFIED P.C.C CURB TYPE 1-6**

- NOTES:**
- PROVIDE 3/8" PRE-MOLDED EXPANSION JOINTS @ 15'-0" MAX. SPACING.
  - TAPERED END SECTIONS TO BE USED AT ALL TERMINAL POINTS.
  - 3,000 PSI CONCRETE.

**CURB DETAIL**



**CONCRETE SIDEWALK DETAIL**



**MODIFIED INTEGRAL PCC CURB AND GUTTER TYPE 3-6**

**CURB AND GUTTER DETAIL**



Carlion R. Scales  
Professional Engineer  
No. 19457  
State of Delaware

**SCALED ENGINEERING**  
Scales Engineering Inc.  
20246 Coastal Highway  
Rehoboth Beach, DE 19971  
Phone: (302) 236-3600

**SITE DETAILS**

**DESTINY APARTMENTS**  
TAX PARCEL NO. 334-13.00-5.00  
PARSONAGE ROAD (SR 270-A)  
REHOBOTH BEACH, SUSSEX COUNTY, DE

ISSUE / REVISION BLOCK
5/26/2020 - SUSSEX COUNTY P & Z
5/29/2020 - FIRE MARSHAL
6/25/2020 - SUSSEX COUNTY P & Z PRELIMINARY APPROVAL
9/2/2020 - DELDOT SUBMISSION 1
9/14/2020 - OFFICE OF DRINKING WATER APPROVAL
9/18/2020 - SCD COMMENTS
9/29/2020 - SUSSEX COUNTY DEPT. OF ENGINEERING COMMENTS
10/08/2020 - SCD SUBMISSION 2
10/09/2020 - DELDOT SUBMISSION 2
10/12/2020 - TIDEWATER COMMENTS
10/29/2020 - SCD FINAL SUBMISSION

SCALE	PROJECT #	DRAWN BY
AS NOTED	HKE001	GJB

**SD-1**





Scaled Engineering Inc.  
2426 Coastal Highway  
Room 200  
Rehoboth Beach, DE 19711  
Phone: (302) 236-3610



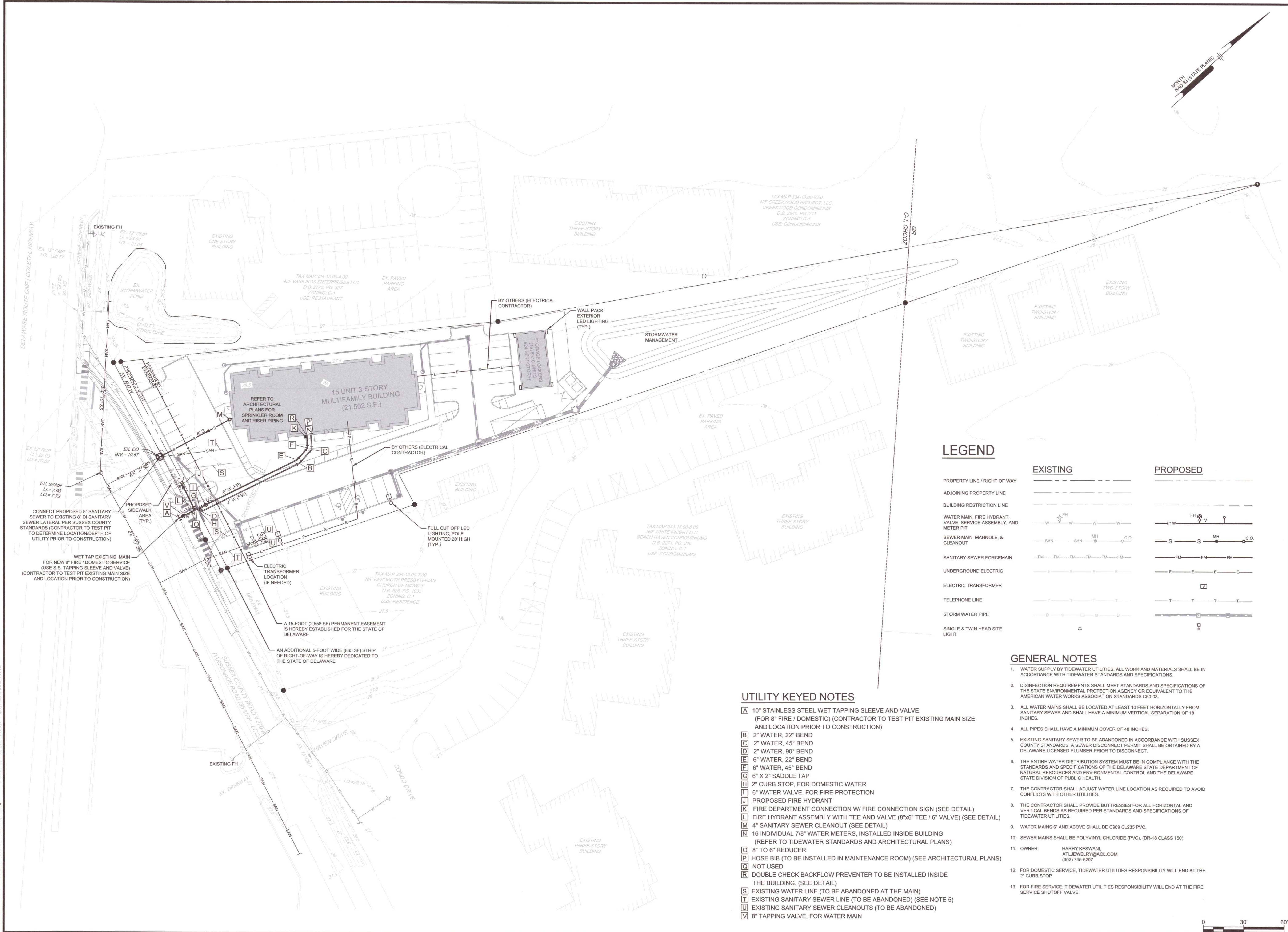
UTILITY PLAN

**DESTINY APARTMENTS**  
**TAX PARCEL NO. 334-13.00-5.00**  
**PARSONAGE ROAD (SR 270-A)**  
**REHOBOTH BEACH, SUSSEX COUNTY, DE**

ISSUE / REVISION BLOCK
5/28/2020 - SUSSEX COUNTY P & Z
5/29/2020 - FIRE MARSHAL
6/25/2020 - SUSSEX COUNTY P & Z PRELIMINARY APPROVAL
9/2/2020 - DELDOT SUBMISSION 1
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10/29/2020 - SCD FINAL SUBMISSION
11/09/2020 - TIDEWATER COMMENTS
12/09/2020 - SUSSEX COUNTY P & Z

SCALE	PROJECT #	DRAWN BY
1" = 30'	HKES001	GJB
DRAWING NUMBER		

**U-1**



**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE / RIGHT OF WAY	---	---
ADJOINING PROPERTY LINE	---	---
BUILDING RESTRICTION LINE	---	---
WATER MAIN, FIRE HYDRANT, VALVE, SERVICE ASSEMBLY, AND METER PIT	W-W-W-W-W-W-W-W-W-W	W-W-W-W-W-W-W-W-W-W
SEWER MAIN, MAHNOLE, & CLEANOUT	SAN-SAN-MH-C.O.	S-S-MH-C.O.
SANITARY SEWER FORCEMAIN	FM-FM-FM-FM-FM-FM-FM	FM-FM-FM-FM-FM-FM-FM
UNDERGROUND ELECTRIC	E-E-E-E-E-E-E-E-E-E	E-E-E-E-E-E-E-E-E-E
ELECTRIC TRANSFORMER	□	□
TELEPHONE LINE	T-T-T-T-T-T-T-T-T-T	T-T-T-T-T-T-T-T-T-T
STORM WATER PIPE	D-D-D-D-D-D-D-D-D-D	D-D-D-D-D-D-D-D-D-D
SINGLE & TWIN HEAD SITE LIGHT	⊙	⊙

**GENERAL NOTES**

- WATER SUPPLY BY TIDEWATER UTILITIES. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH TIDEWATER STANDARDS AND SPECIFICATIONS.
- DISINFECTION REQUIREMENTS SHALL MEET STANDARDS AND SPECIFICATIONS OF THE STATE ENVIRONMENTAL PROTECTION AGENCY OR EQUIVALENT TO THE AMERICAN WATER WORKS ASSOCIATION STANDARDS C60-08.
- ALL WATER MAINS SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM SANITARY SEWER AND SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18 INCHES.
- ALL PIPES SHALL HAVE A MINIMUM COVER OF 48 INCHES.
- EXISTING SANITARY SEWER TO BE ABANDONED IN ACCORDANCE WITH SUSSEX COUNTY STANDARDS. A SEWER DISCONNECT PERMIT SHALL BE OBTAINED BY A DELAWARE LICENSED PLUMBER PRIOR TO DISCONNECT.
- THE ENTIRE WATER DISTRIBUTION SYSTEM MUST BE IN COMPLIANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE STATE DIVISION OF PUBLIC HEALTH.
- THE CONTRACTOR SHALL ADJUST WATER LINE LOCATION AS REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
- THE CONTRACTOR SHALL PROVIDE BUTTRESSES FOR ALL HORIZONTAL AND VERTICAL BENDS AS REQUIRED PER STANDARDS AND SPECIFICATIONS OF TIDEWATER UTILITIES.
- WATER MAINS 6" AND ABOVE SHALL BE C909 CL235 PVC.
- SEWER MAINS SHALL BE POLY(VINYL CHLORIDE) (PVC), (DR-18 CLASS 150)
- OWNER: HARRY KESWANI, ATLEWELRY@AOL.COM (302) 745-6207
- FOR DOMESTIC SERVICE, TIDEWATER UTILITIES RESPONSIBILITY WILL END AT THE 2" CURB STOP.
- FOR FIRE SERVICE, TIDEWATER UTILITIES RESPONSIBILITY WILL END AT THE FIRE SERVICE SHUTOFF VALVE.

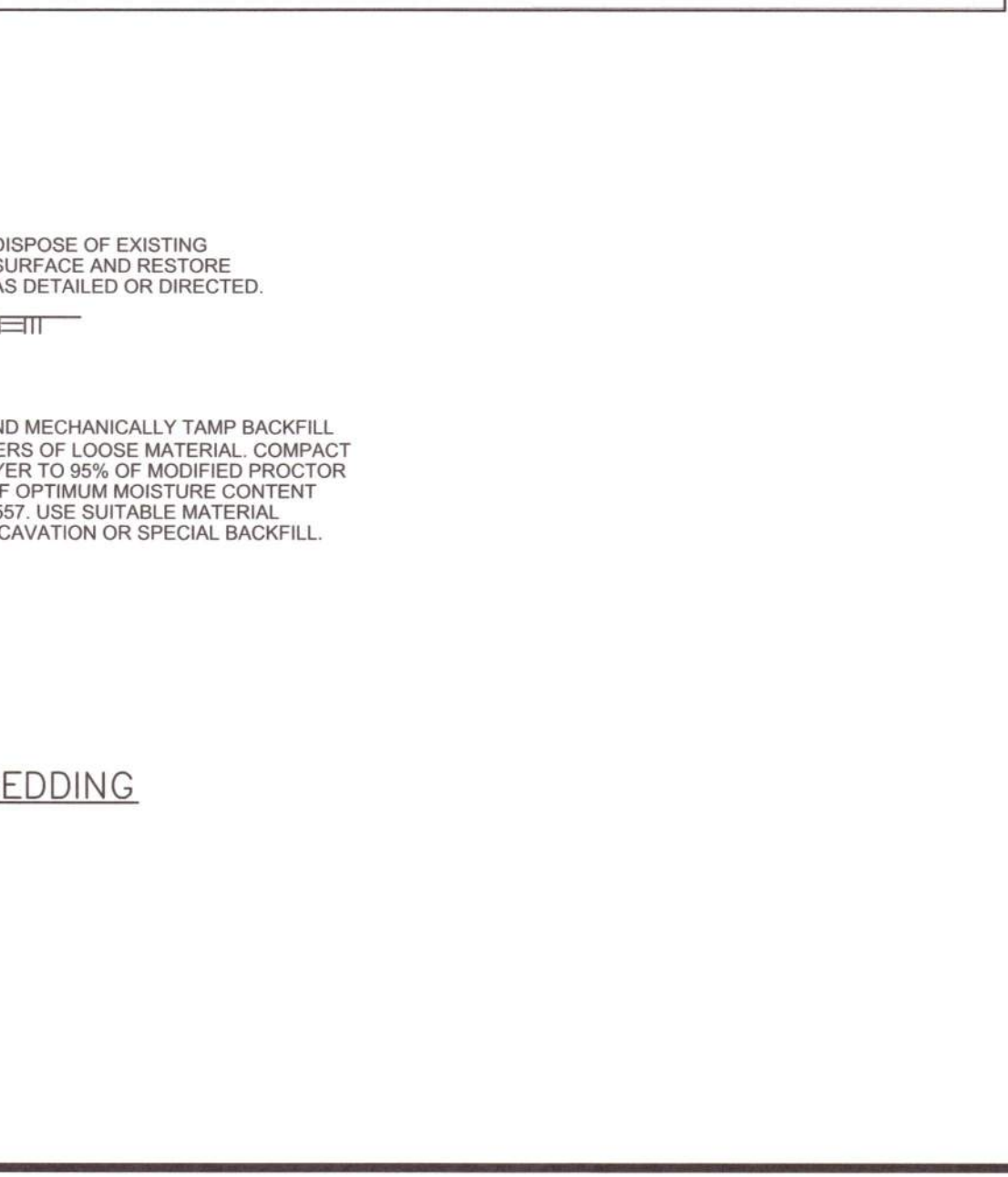
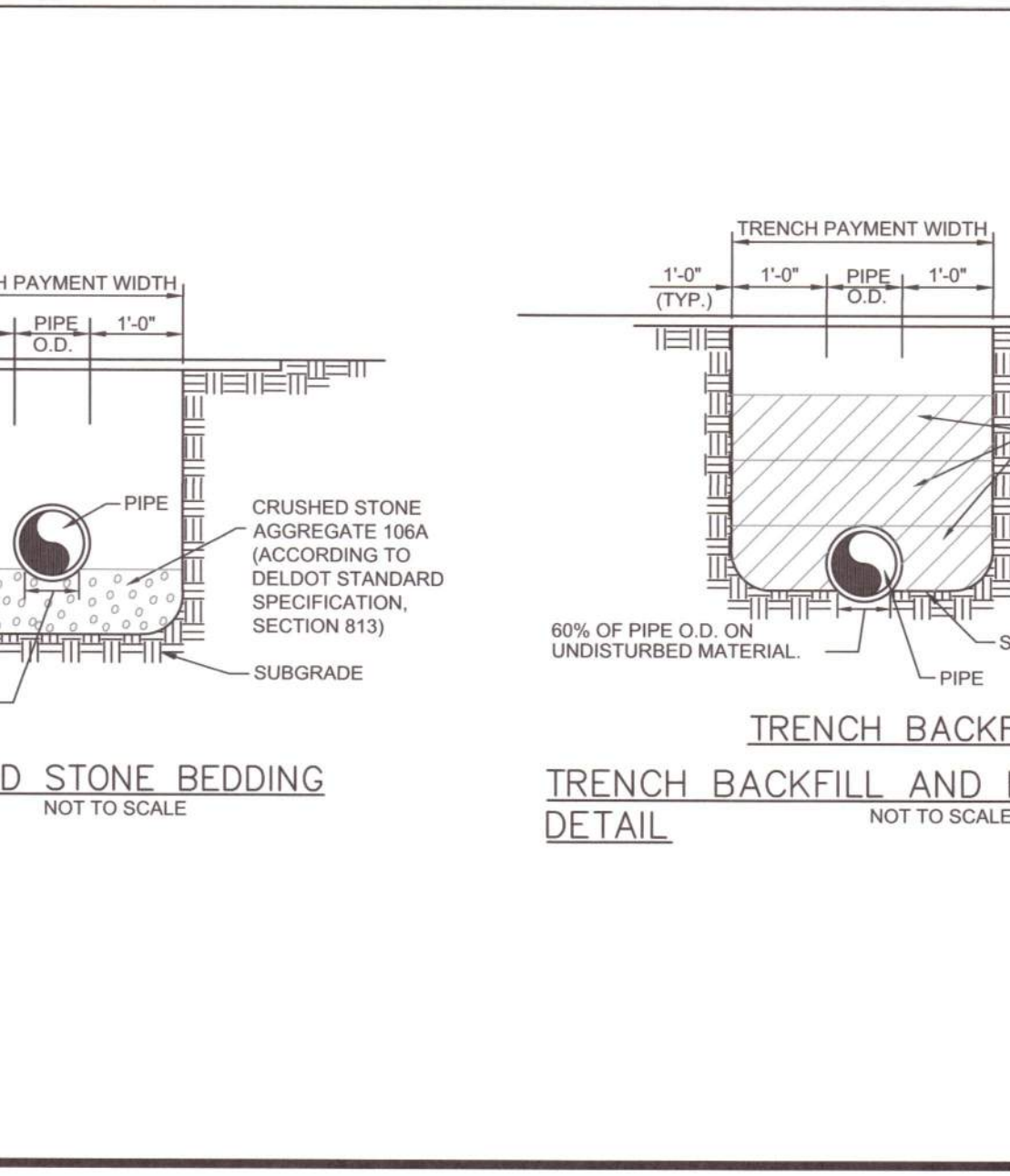
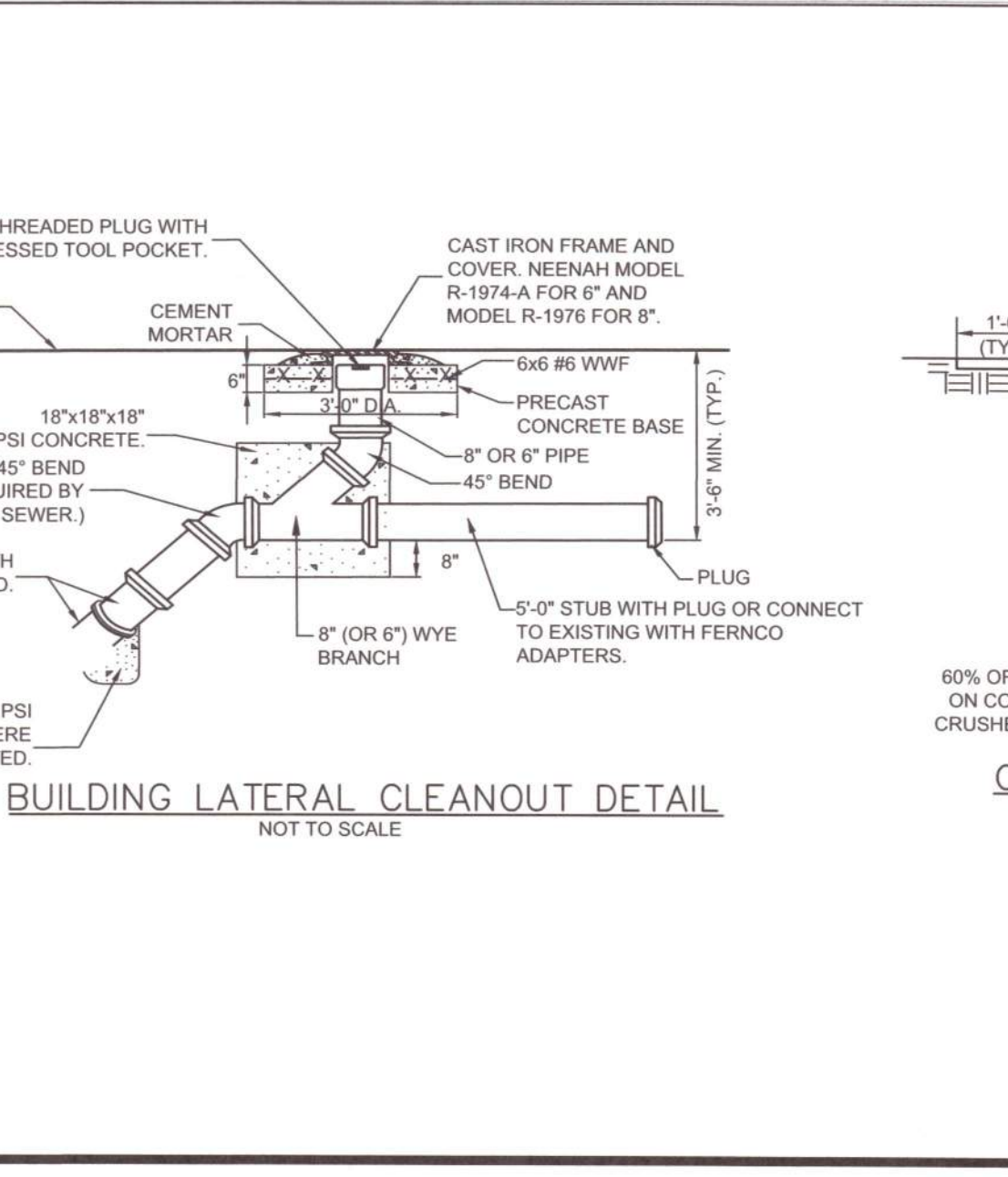
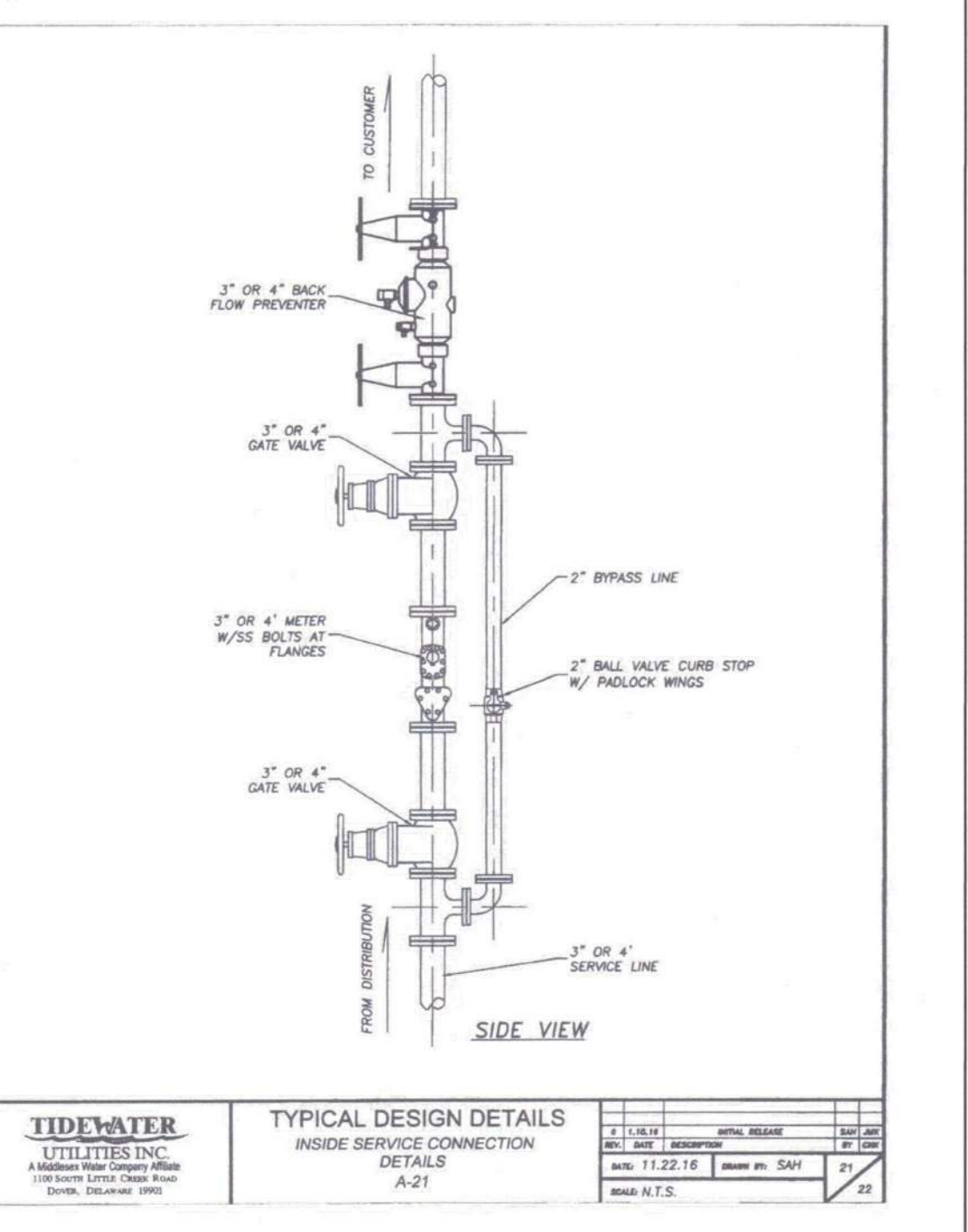
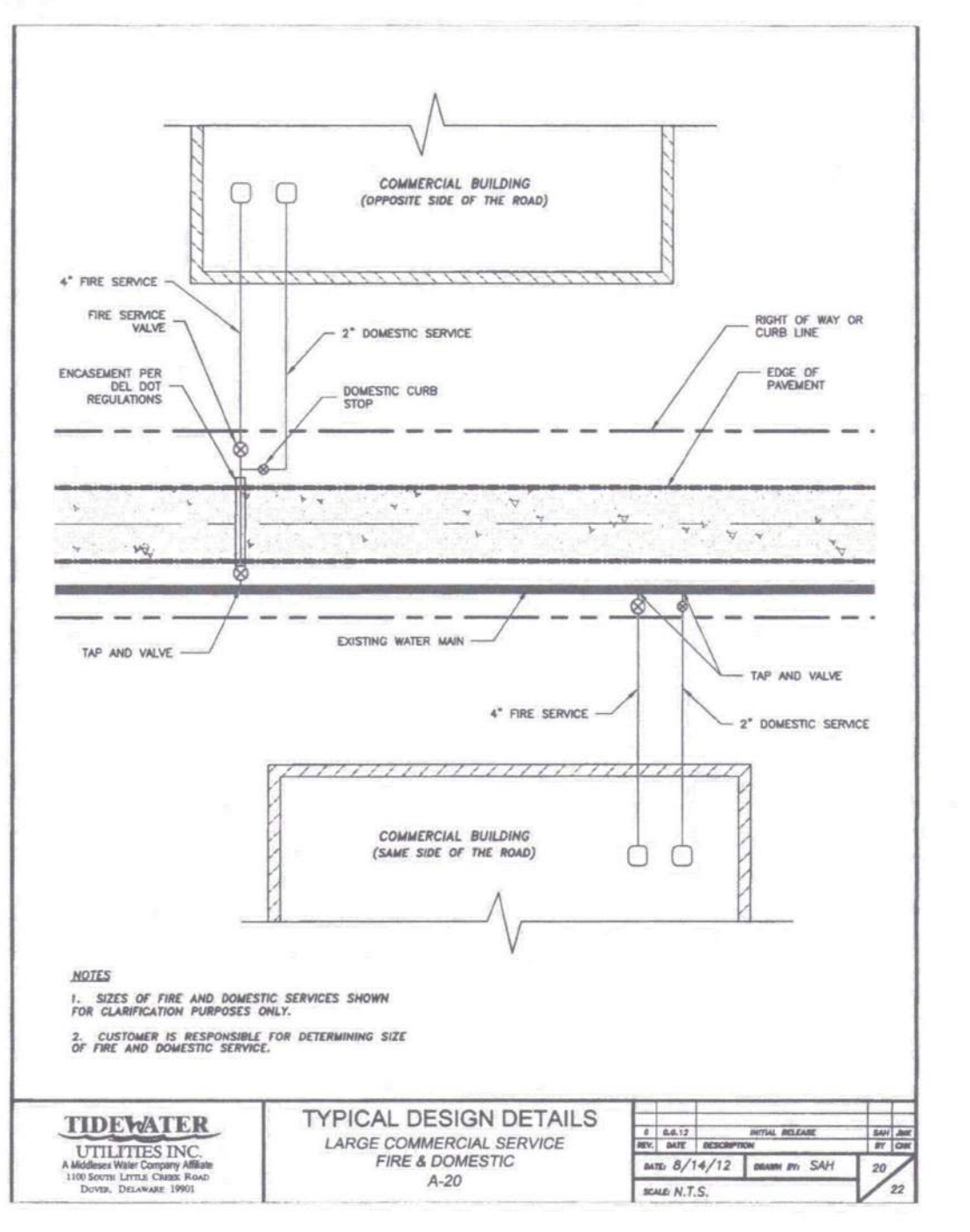
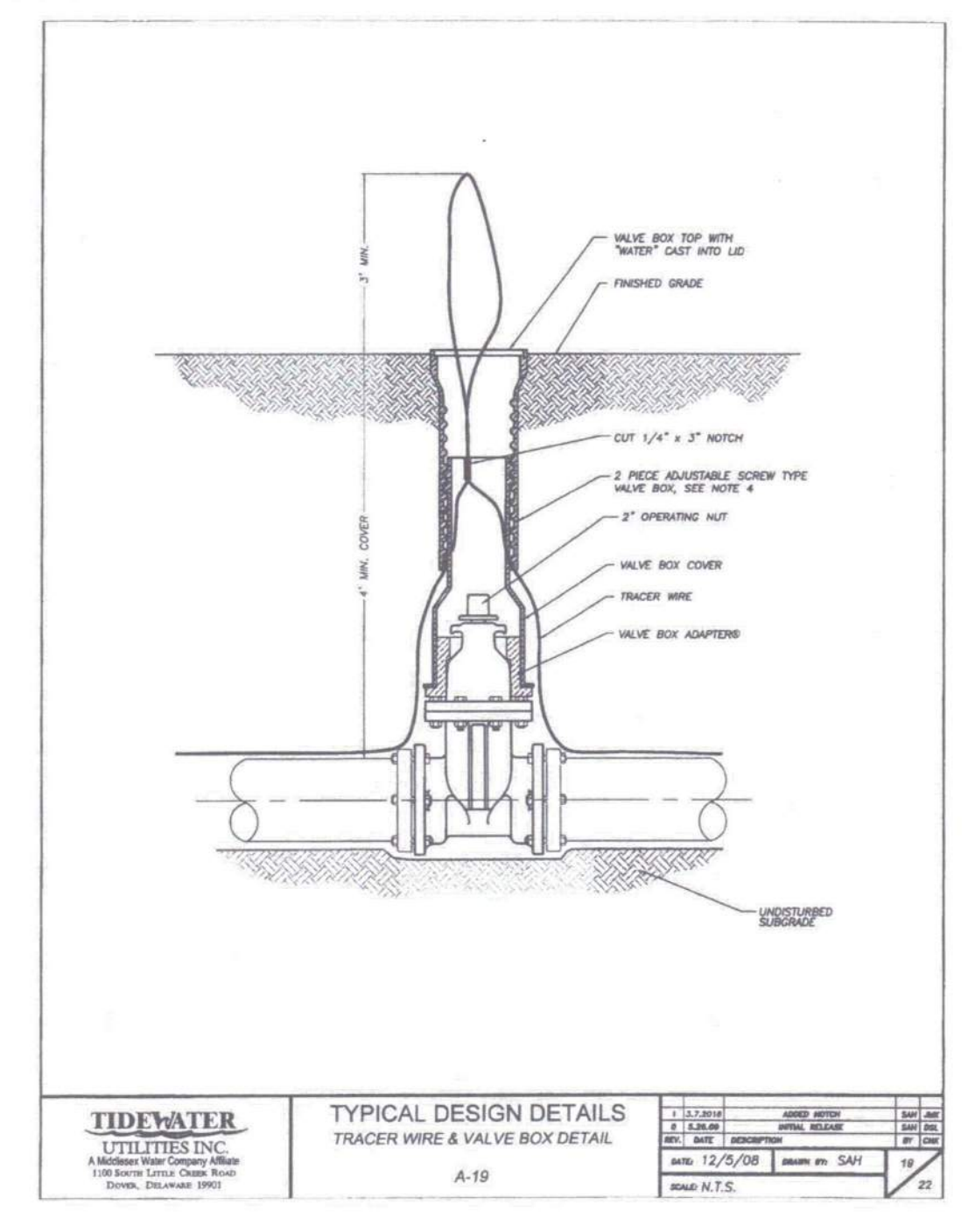
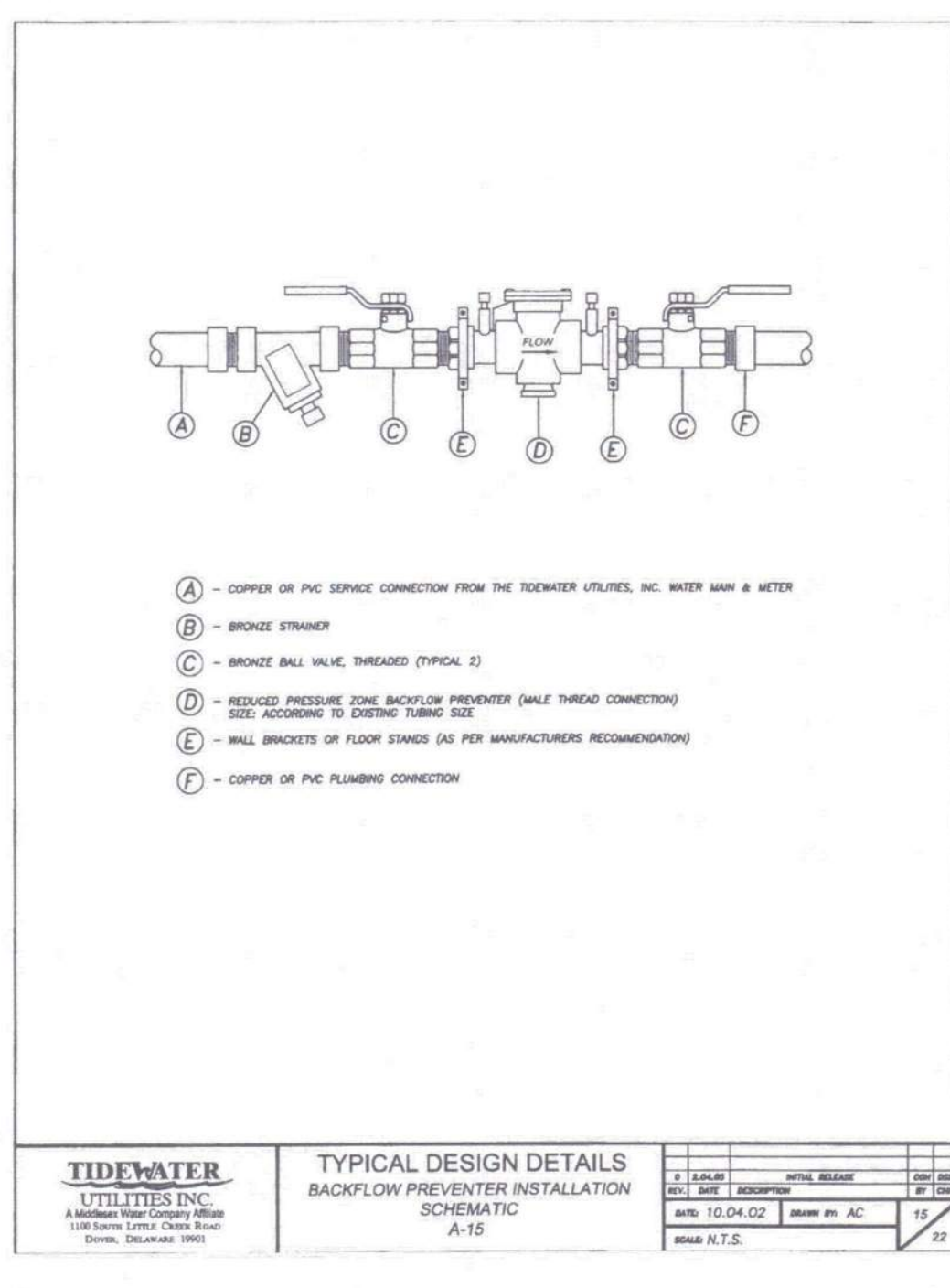
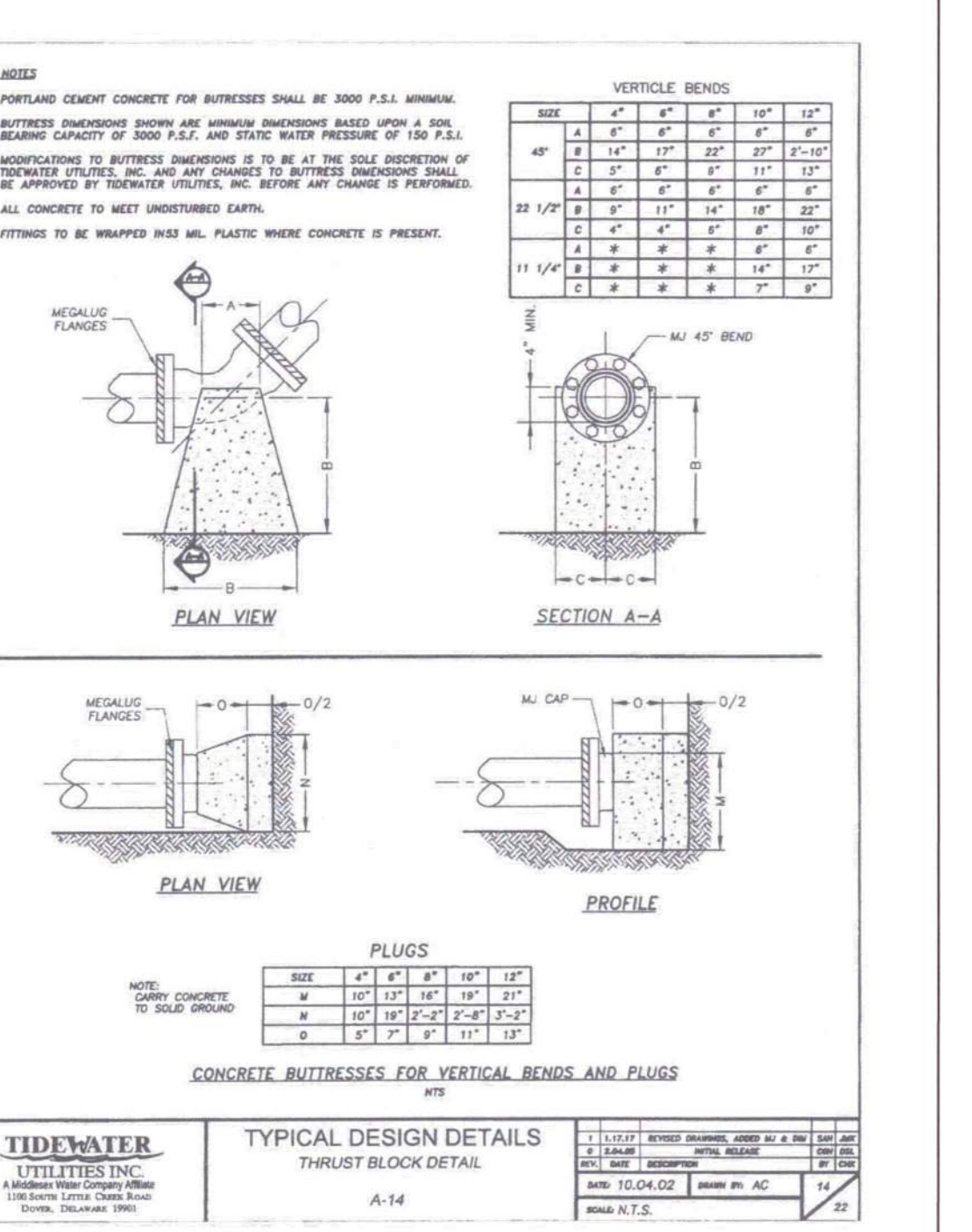
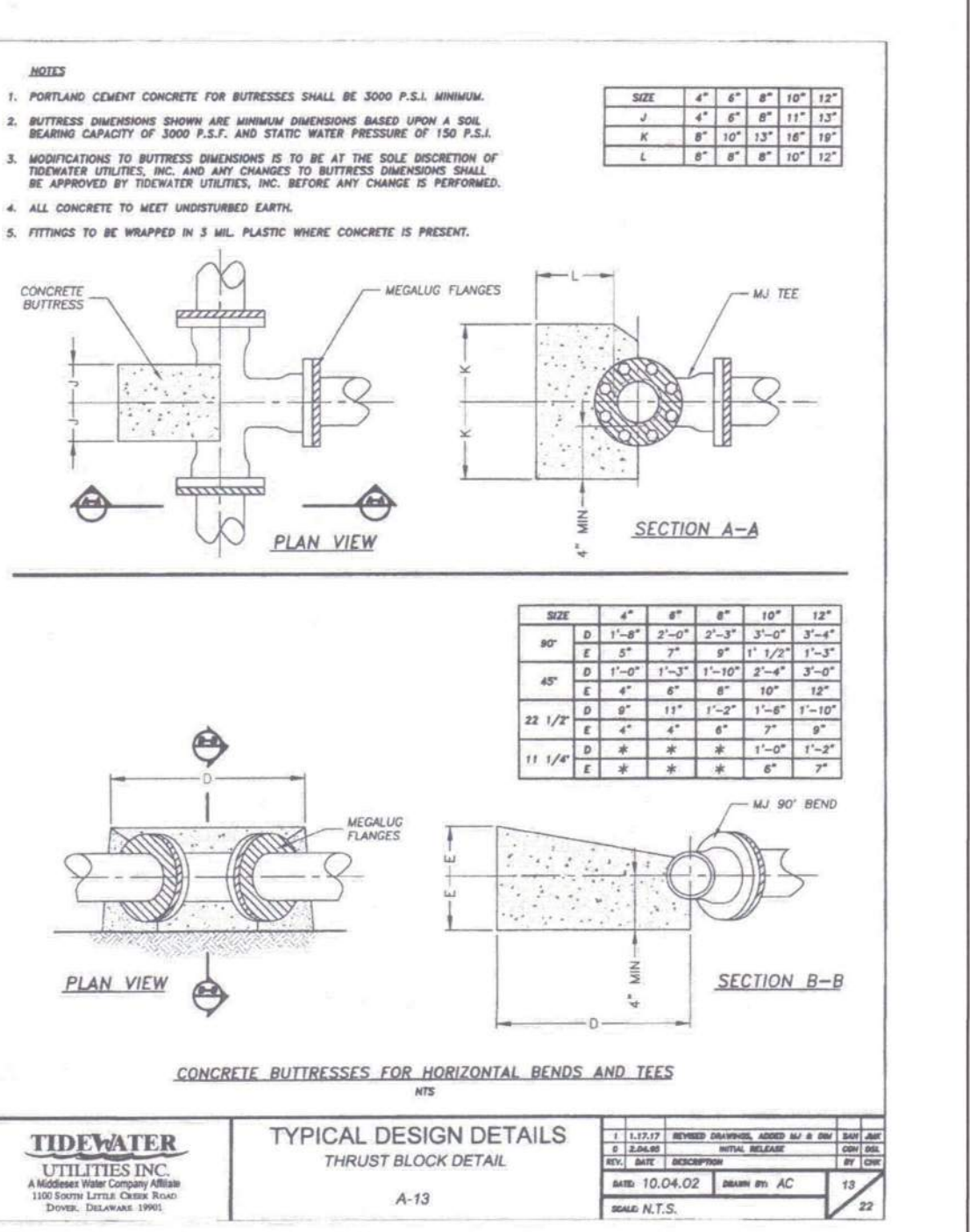
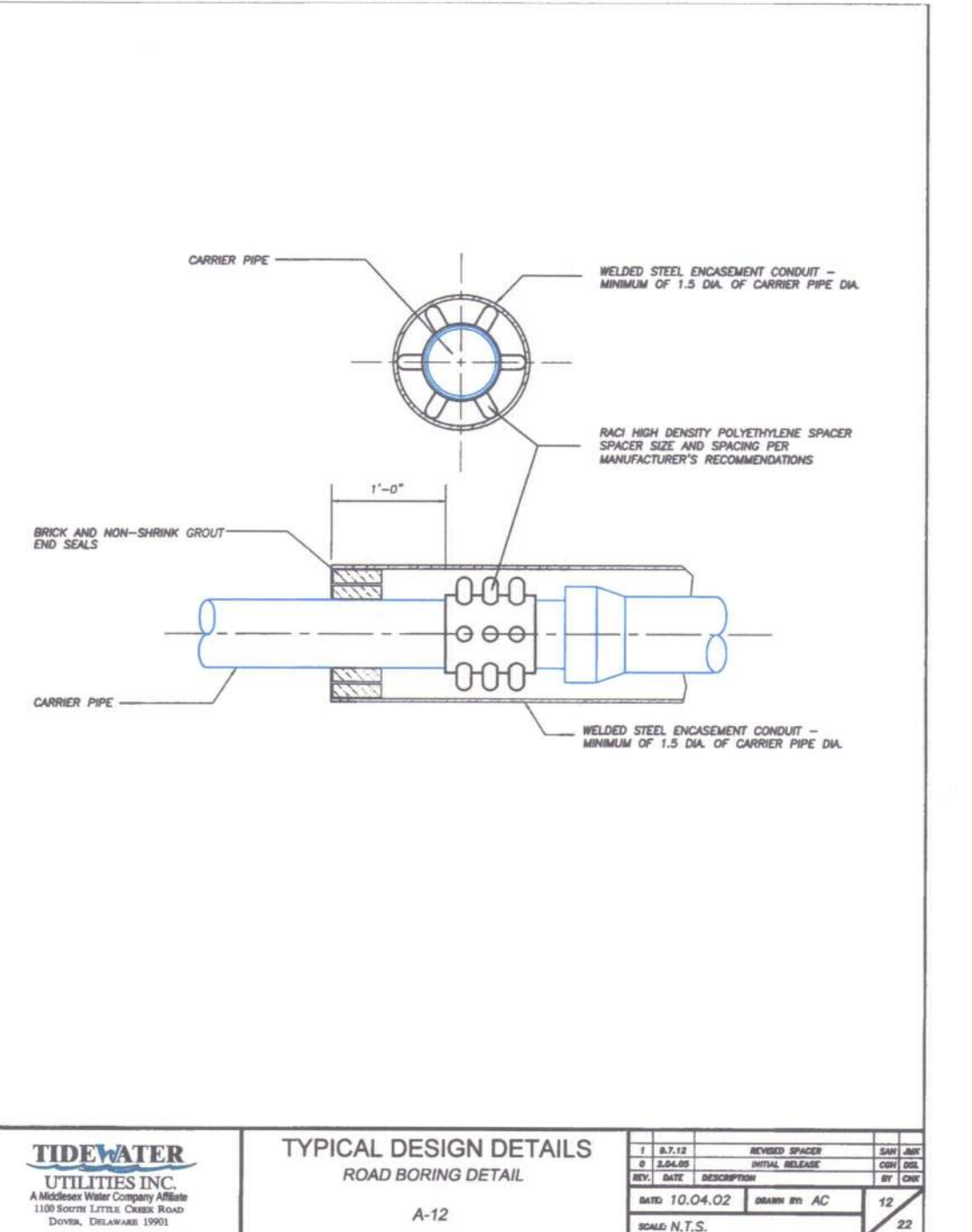
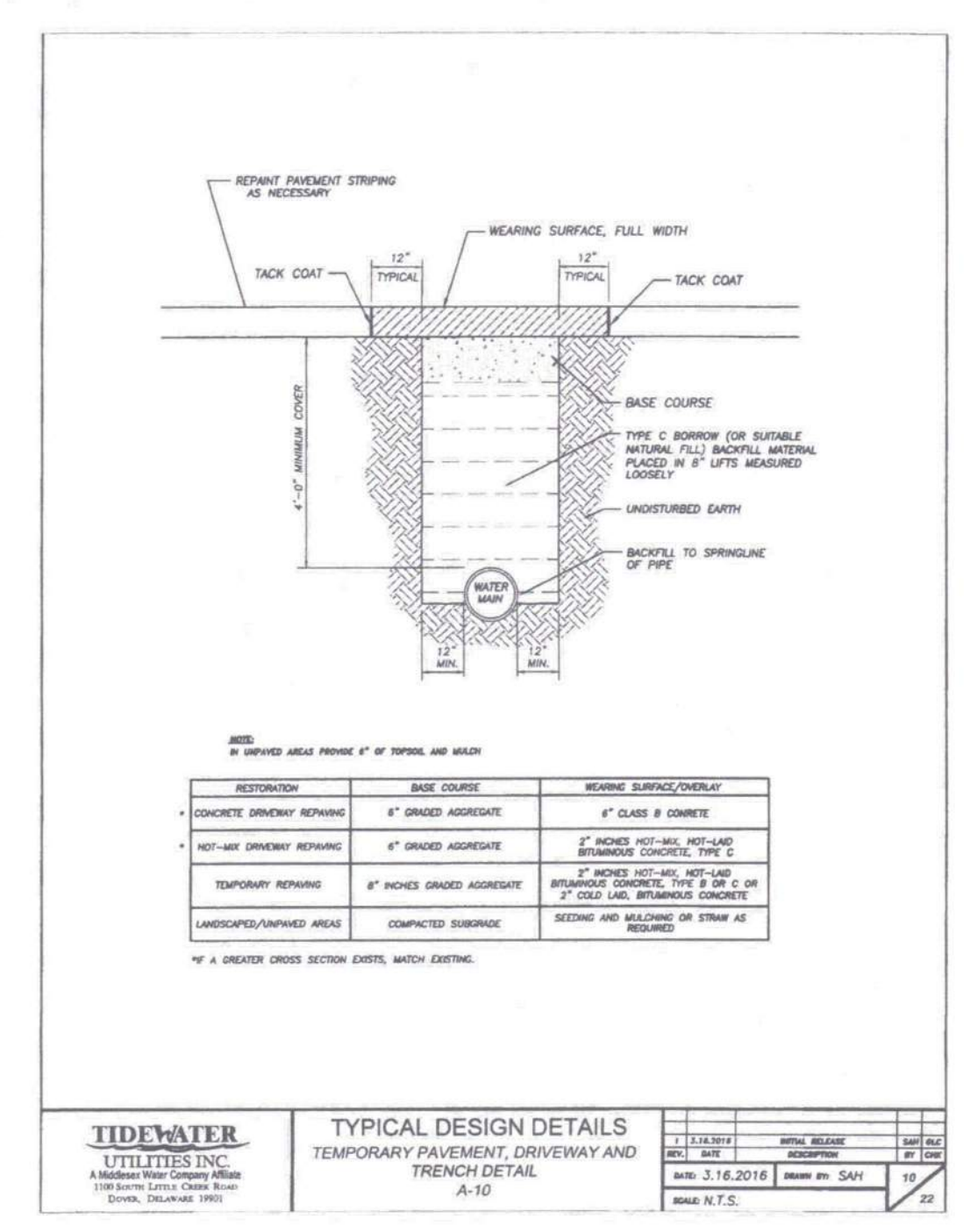
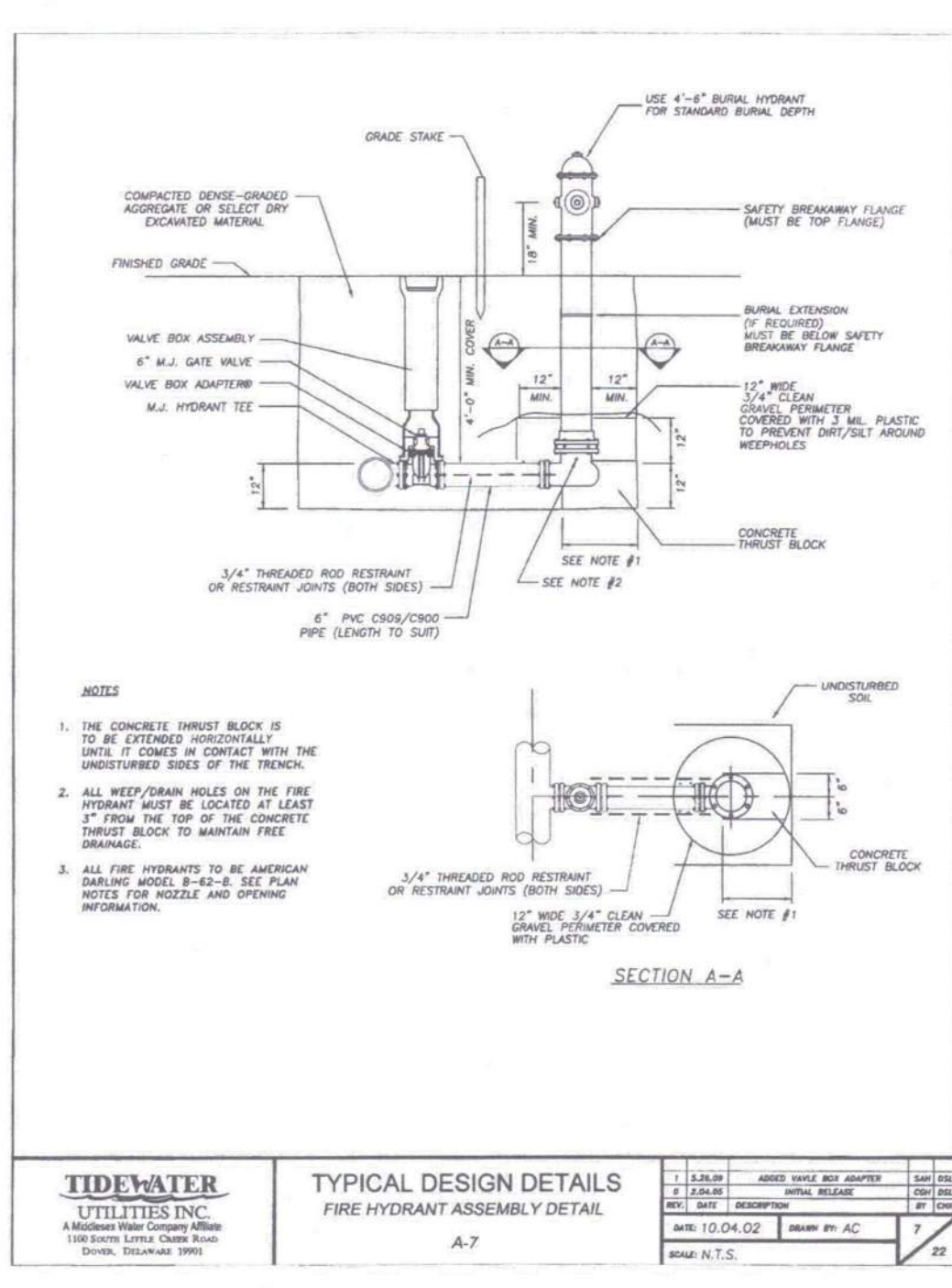
**UTILITY KEYED NOTES**

- A** 10" STAINLESS STEEL WET TAPPING SLEEVE AND VALVE (FOR 8" FIRE / DOMESTIC) (CONTRACTOR TO TEST PIT EXISTING MAIN SIZE AND LOCATION PRIOR TO CONSTRUCTION)
- B** 2" WATER, 22° BEND
- C** 2" WATER, 45° BEND
- D** 2" WATER, 90° BEND
- E** 6" WATER, 22° BEND
- F** 6" WATER, 45° BEND
- G** 6" X 2" SADDLE TAP
- H** 2" CURB STOP, FOR DOMESTIC WATER
- I** 6" WATER VALVE, FOR FIRE PROTECTION
- J** PROPOSED FIRE HYDRANT
- K** FIRE DEPARTMENT CONNECTION W/ FIRE CONNECTION SIGN (SEE DETAIL)
- L** FIRE HYDRANT ASSEMBLY WITH TEE AND VALVE (8"x6" TEE / 6" VALVE) (SEE DETAIL)
- M** 4" SANITARY SEWER CLEANOUT (SEE DETAIL)
- N** 16 INDIVIDUAL 7/8" WATER METERS, INSTALLED INSIDE BUILDING (REFER TO TIDEWATER STANDARDS AND ARCHITECTURAL PLANS)
- O** 8" TO 6" REDUCER
- P** HOSE BIB (TO BE INSTALLED IN MAINTENANCE ROOM) (SEE ARCHITECTURAL PLANS)
- Q** NOT USED
- R** DOUBLE CHECK BACKFLOW PREVENTER TO BE INSTALLED INSIDE THE BUILDING. (SEE DETAIL)
- S** EXISTING WATER LINE (TO BE ABANDONED AT THE MAIN)
- T** EXISTING SANITARY SEWER LINE (TO BE ABANDONED) (SEE NOTE 5)
- U** EXISTING SANITARY SEWER CLEANOUTS (TO BE ABANDONED)
- V** 8" TAPPING VALVE, FOR WATER MAIN



PROJECT: HARRY KESWANI/DEVELOPMENT/SUSSEX/UTILITY PLAN.dwg PLOTTED: 12/21/2020 10:02 PM BY: JLF PLOTSTYLE: SCALED-ENG.ctb





**SCALED ENGINEERING**  
Scaled Engineering, Inc.  
20246 Coastal Highway  
Rehoboth Beach, DE 19771  
Phone: (302) 236-3600

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**UTILITY DETAILS**

**DESTINY APARTMENTS**  
TAX PARCEL NO. 334-13.00-5.00  
PARSONAGE ROAD (SR 270-A)  
REHOBOTH BEACH, SUSSEX COUNTY, DE

ISSUE / REVISION BLOCK

5/26/2020	- SUSSEX COUNTY P & Z
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9/29/2020	- SUSSEX COUNTY DEPT. OF ENGINEERING COMMENTS
10/08/2020	- SCD SUBMISSION 2
10/09/2020	- DELDOT SUBMISSION 2
10/12/2020	- TIDEWATER COMMENTS
10/29/2020	- SCD FINAL SUBMISSION
11/09/2020	- TIDEWATER COMMENTS
12/09/2020	- SUSSEX COUNTY P & Z

SCALE PROJECT # DRAWN BY  
AS NOTED HKES001 GJB  
DRAWING NUMBER

**U-2**



# DESTINY APARTMENTS

## SUSSEX COUNTY, DELAWARE

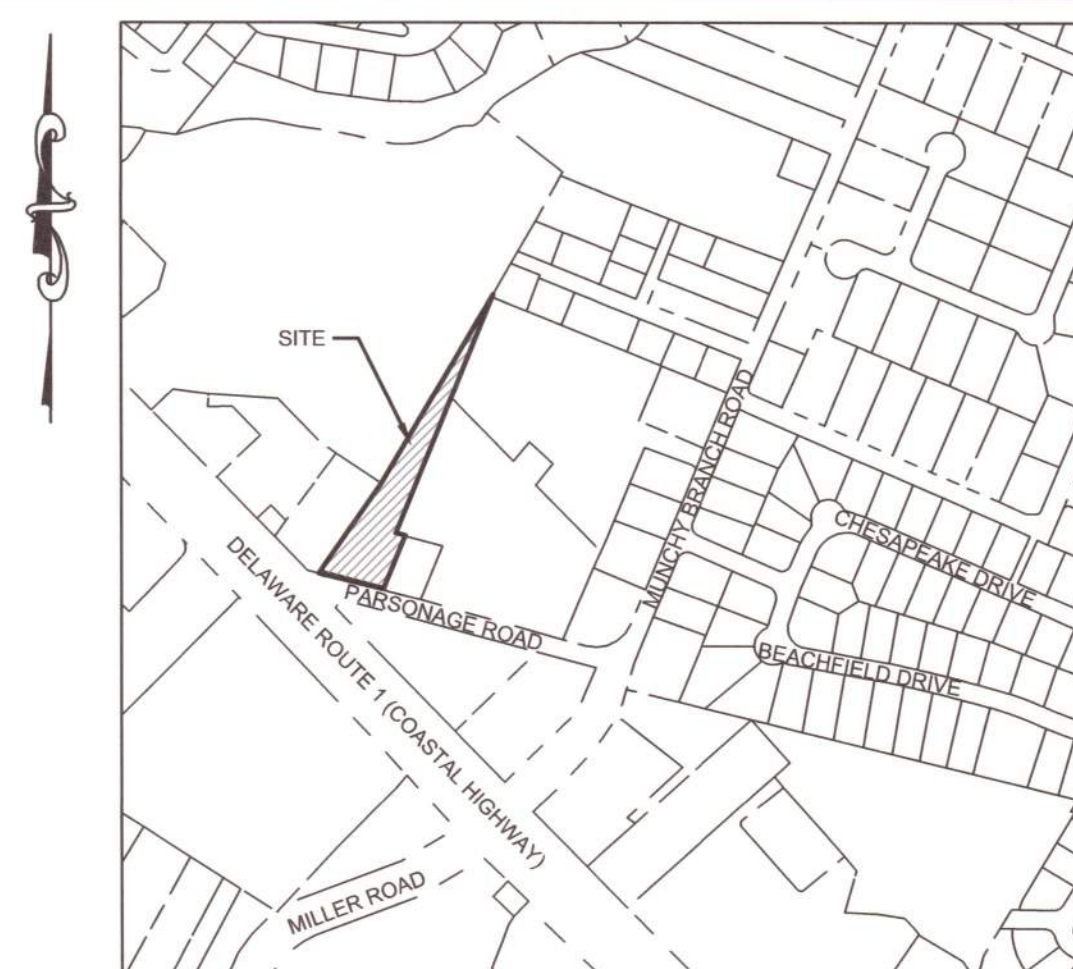
### FINAL SITE PLAN

#### SUSSEX COUNTY PROJECT #: S-20-18



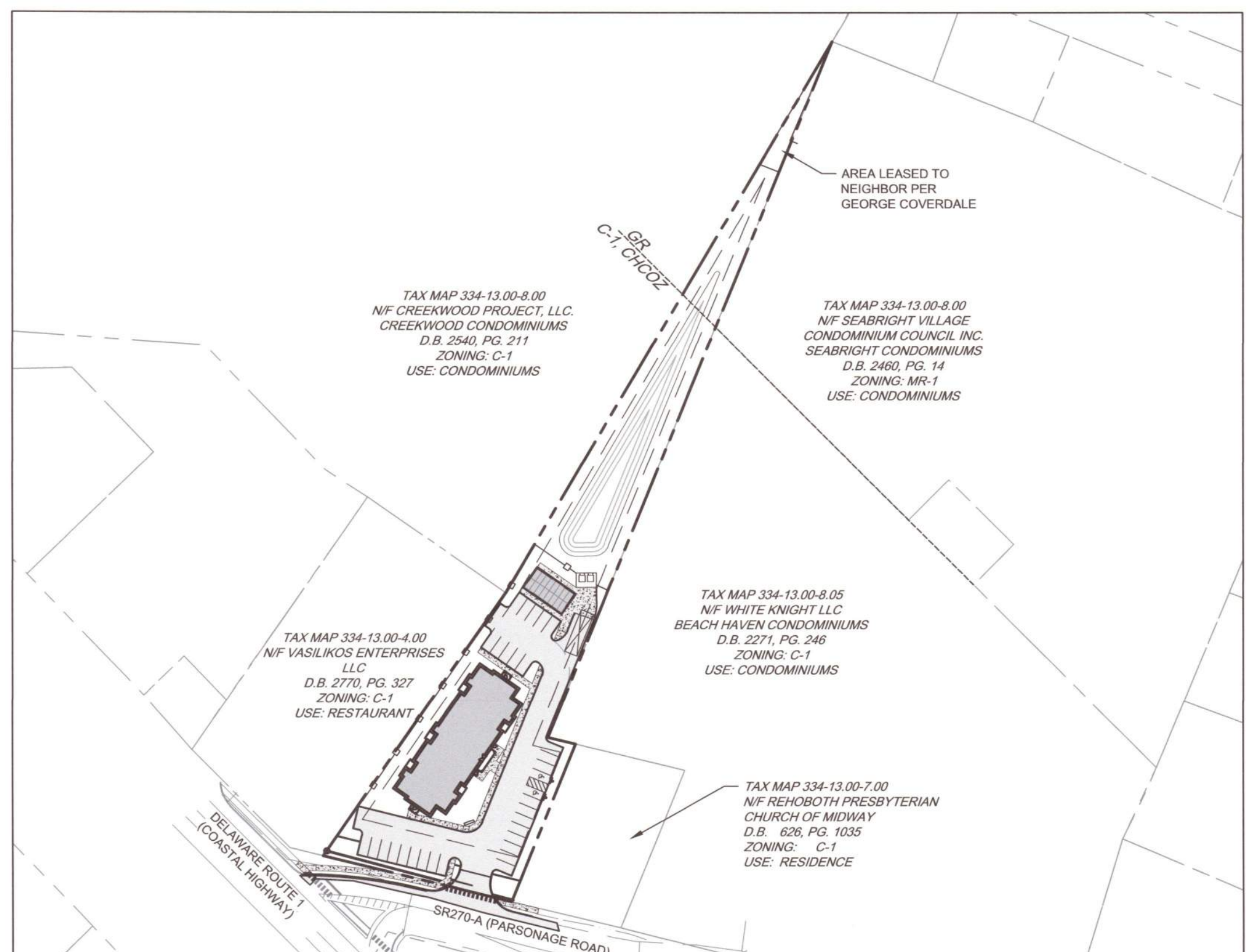
**SOILS MAP**  
SCALE: 1" = 200'

SYMBOL	NAME	SOIL GROUP
EVB	EVESBORO LOAMY SAND, 0 TO 5 PERCENT SLOPES	A
GRB	GREENWICH LOAM, 0 TO 2 PERCENT SLOPES	B
GUB	GREENWICH-URBAN LAND COMPLEX, 0 TO 5 PERCENT SLOPES	B



**LOCATION MAP**  
SCALE: 1" = 500'

LIMIT OF DISTURBANCE: 1.46 ACRES



**SITE OVERVIEW & ADJACENT ZONING**  
SCALE: 1" = 100'

### LEGEND

	EXISTING	PROPOSED
PROPERTY LINE / RIGHT OF WAY	---	---
ADJOINING PROPERTY LINE	---	---
BUILDING RESTRICTION LINE	---	---
EASEMENT	---	---
CENTER LINE OF ROAD	---	---
EDGE OF PAVING	---	---
CURB	---	---
DRIVEWAY	---	---
CONTOURS	---	---
SWALES	---	---
WETLANDS LINE AND FLAG	---	---
FLOODPLAIN	---	---
SOILS/DESIGNATION	---	---
SOIL BORING	---	---
VEGETATION	---	---
WOODS	---	---
FENCE	---	---
SIDEWALK	---	---
BUILDING	---	---
UTILITY POLE/GUY WIRE	---	---
OVERHEAD ELECTRIC	---	---
CABLE TV, PEDESTAL	---	---
TRAFFIC SIGN	---	---
SINGLE & TWIN HEAD SITE LIGHT	---	---
WATER MAIN, FIRE HYDRANT, VALVE, SERVICE ASSEMBLY, AND METER PIT	---	---
SEWER MAIN, MANHOLE, & CLEANOUT	---	---
SANITARY SEWER FORCEMAIN	---	---
UNDERGROUND ELECTRIC	---	---
TELEPHONE LINE	---	---
STORM WATER PIPE	---	---

### PROJECT TEAM

**OWNER/DEVELOPER**  
DESTINY LLC  
1 PATRIOTS WAY  
REHOBOTH BEACH, DE 19971  
(302) 745-6207

**ARCHITECT**  
BRUCE J. MONETA, A.I.A.  
34673 VILLA CIRCLE, UNIT 304  
LEWES, DE 19958  
(302) 745-0342

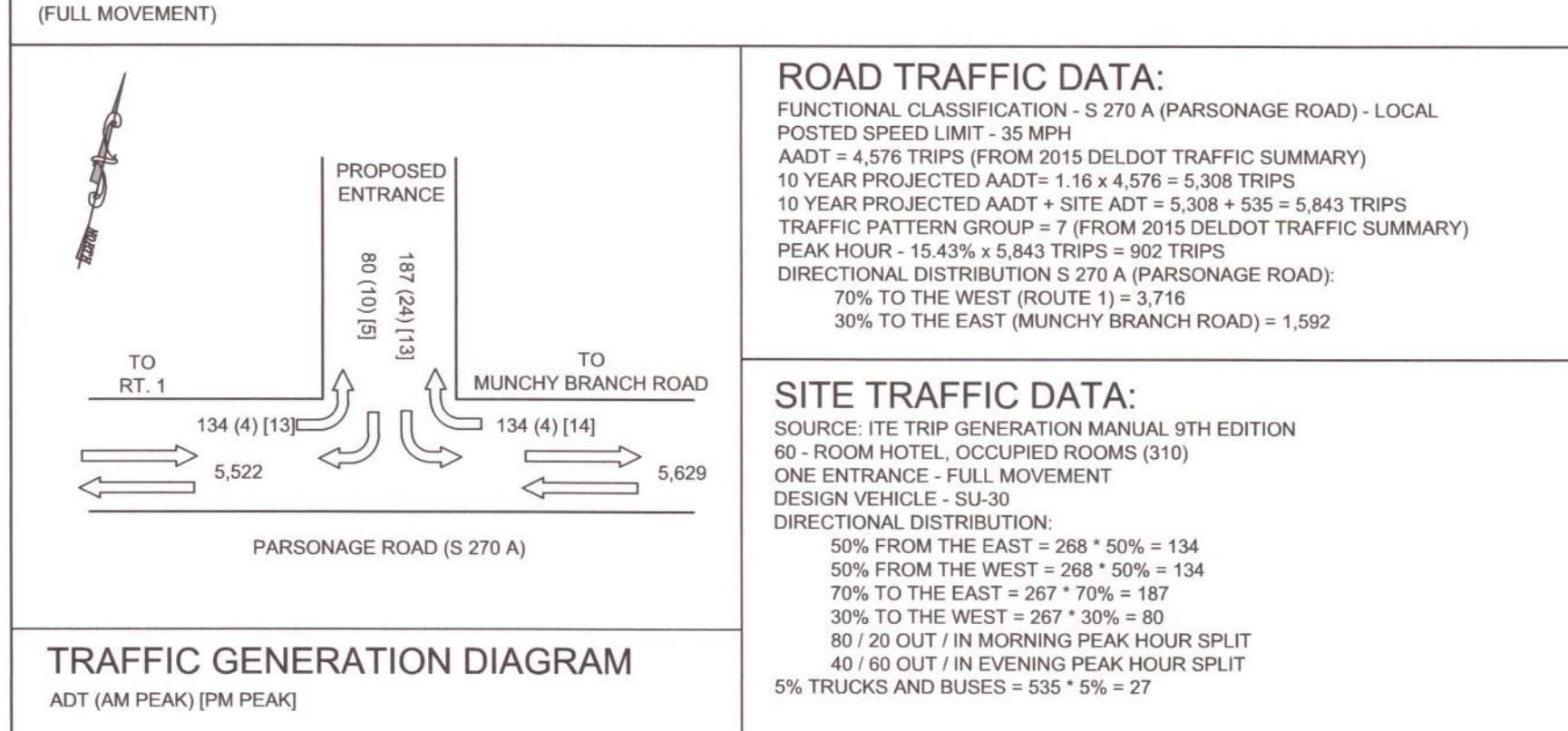
**SITE ENGINEER**  
SCALED ENGINEERING, INC.  
20246 COASTAL HIGHWAY  
REHOBOTH BEACH, DE 19971  
(302) 239-3600

**CALL Miss Utility of Delmarva BEFORE YOU DIG**  
800-282-8555 or 811

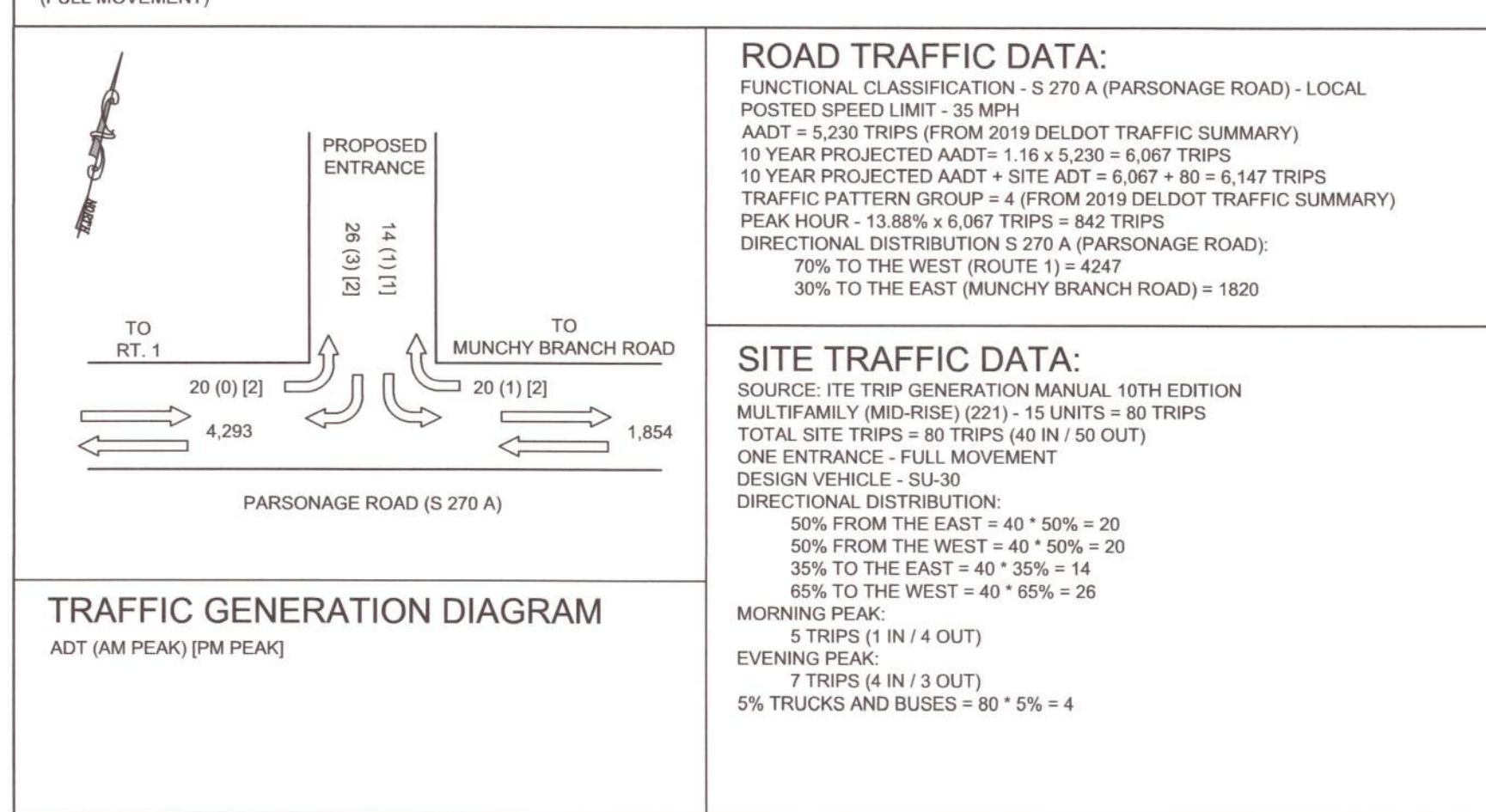
### DELDOT RECORD / SITE PLAN NOTES:

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE IS OUTSIDE THE RIGHT-OF-WAY OF PROJECTS ON AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROJECT OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S "SHARED-USE PATH AND/OR SIDEWALK TERMINATION POLICY".
- PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 §131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE FOR THE SIDEWALK.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
- THIS COMMERCIAL PARCEL IS IN THE PROXIMITY OF COASTAL HIGHWAY (SR 1), WHICH HAS A FUNCTIONAL CLASSIFICATION OF PRINCIPAL ARTERIAL AS DEFINED BY THE STATE OF DELAWARE'S DEPARTMENT OF TRANSPORTATION. PER SECTION 3.6.1 OF THE DELDOT DEVELOPMENT COORDINATION MANUAL (DCM); IT IS THE DEVELOPER'S RESPONSIBILITY TO EVALUATE NOISE LEVELS AND THEIR IMPACTS ON PROPOSED DEVELOPMENT, FOR PROJECTS ADJACENT TO EXISTING TRANSPORTATION FACILITIES WITH THIS FUNCTIONAL CLASSIFICATION. ROADWAYS WITH THIS CLASSIFICATION CAN BE EXPECTED TO GENERATE ELEVATED LEVELS OF ROAD AND TRAFFIC RELATED NOISE, SIMILAR TO WHAT CAN BE EXPECTED IN URBAN AREAS. A DETAILED NOISE ANALYSIS PER DCM 3.6.3-A IS TYPICALLY RECOMMENDED TO HELP GAUGE THE ACTUAL IMPACTS THAT ROADWAY RELATED NOISE MAY HAVE ON VARIOUS POTENTIAL LAND-USES (SUCH AS THOSE DESCRIBED IN DCM FIGURE 3.6.3-A: NOISE ABATEMENT CRITERIA). WITH THE INCLUSION OF THIS NOTE, THE DEVELOPER IS ACKNOWLEDGING THAT THE PROPOSED SITE AND/OR BUILDING LOCATION CAN BE EXPECTED TO EXCEED THE SPECIFIC MAXIMUM NOISE LEVELS FOR CERTAIN COMMERCIAL AND NON-RESIDENTIAL USES AS SHOWN IN DCM FIGURE 3.6.3-A. THE DEVELOPER'S WAIVER OF THE NOISE ANALYSIS AND REVIEW OF POTENTIAL NOISE MITIGATION MEASURES ARE SUPPORTED BY THE INFEASIBILITY OF APPLYING NOISE MITIGATION MEASURES, BASED ON ENGINEERING CONSIDERATIONS AND FACTORS THAT WOULD LIMIT THE ABILITY TO ACHIEVE SUBSTANTIAL NOISE REDUCTION, RELATED TO THE COMMERCIAL USE OF THE SITE AND/OR BUILDINGS. THIS WAIVER ACKNOWLEDGES THAT THE DECIBEL LEVEL FOR THIS PARCEL MAY EXCEED THE APPLICABLE LIMITS FOR SOME CURRENT OR FUTURE PROPOSED USES. THE USE OF THIS NOTE SIGNIFIES THE SUBDIVISION ENGINEER'S CONCURRENCE WITH WAIVING THE DEVELOPER'S COMPLETION OF A DETAILED NOISE STUDY AND SUBSEQUENT REVIEW OF RESULTING NOISE ABATEMENT FINDINGS OR MITIGATION MEASURES. ANY FUTURE COMPLAINTS RELATING TO EXISTING OR FUTURE NOISE LEVELS IMPACTING PROPOSED USES ON THIS SITE AND ALONG THIS EXISTING TRANSPORTATION FACILITY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OR LANDOWNER OR BOTH.

### DAYS INN APPROVED 11/08/2017 - TRAFFIC GENERATION - PARSONAGE ROAD (S 270 A)



### DESTINY APARTMENTS - TRAFFIC GENERATION - PARSONAGE ROAD (S 270 A)



### SITE DATA:

- TAX MAP NUMBER: 334-13.00-5.00
  - OWNER: DESTINY LLC, 1 PATRIOTS WAY, REHOBOTH BEACH, DE 19971
  - DEED BOOK REF: DB 3896 PG 255
  - EXISTING USE: APARTMENTS (12 TWO-BEDROOM & 3 THREE-BEDROOM UNITS)
  - PROPOSED USE: APARTMENTS (12 TWO-BEDROOM & 3 THREE-BEDROOM UNITS)
  - EXISTING AREA: 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)
  - PROPOSED AREA: 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)
  - EXISTING ZONING: C-1 (GENERAL COMMERCIAL) & GR-1 (GENERAL RESIDENTIAL W/CHCOZ)
  - PROPOSED ZONING: C-1 (GENERAL COMMERCIAL) & GR-1 (GENERAL RESIDENTIAL W/CHCOZ)
  - NUMBER OF LOTS: 1 - EXISTING, 1 - PROPOSED
- |  | EXISTING BUILDING AREA               | PROPOSED MULTIFAMILY BUILDING             |
|--|--------------------------------------|---|
|  | ±5,015 SQ FT (FIRST FLOOR FOOTPRINT) | 21,502 SQ FT (TOTAL) (15 UNITS)           |
|  |                                      | 924 SQ FT                                 |
|  |                                      | 15 UNITS / 1.33 AC = 11.28 UNITS PER ACRE |
- |                           | REQUIRED     | PROPOSED            |
|---------------------------|--------------|---------------------|
| MAXIMUM HEIGHT            | 42 FT        | 38.9 FT (3 STORIES) |
| MINIMUM LOT AREA          | 54,450 SQ FT | 58,150 SQ FT        |
| MINIMUM LOT WIDTH (FEET)  | 75 FT        | ± 173 FT            |
| MINIMUM LOT DEPTH (FEET)  | 100 FT       | ± 823 FT            |
| MINIMUM YARD REQUIREMENTS |              |                     |
| C-1:                      |              |                     |
| FRONT                     | 40 FT        | ≥40 FT              |
| SIDE                      | 10 FT        | 15 FT               |
| REAR                      | 10 FT        | ≥10 FT              |
| CORNER                    | 15 FT        | ≥15 FT              |
| GR-1:                     |              |                     |
| FRONT                     | 30 FT        | ≥30 FT              |
| SIDE                      | 10 FT        | 15 FT               |
| REAR                      | 10 FT        | ≥10 FT              |
| CORNER                    | 15 FT        | ≥15 FT              |
- SERVICES: WATER SUPPLIER: TIDEWATER UTILITIES; SANITARY SEWER SUPPLIER: SUSSEX COUNTY (WEST REHOBOTH DISTRICT)
  - FIRE DISTRICT: REHOBOTH BEACH
  - VERTICAL DATUM: NAVD 88
  - HORIZONTAL DATUM: NAV 83
  - POSTED SPEED LIMIT: 35 MPH (PARSONAGE ROAD)
  - PROXIMITY TO IDENTIFIED TRANSPORTATION DISTRICT: NOT IN PROXIMITY OF TID
  - INVESTMENT LEVEL AREA: LEVEL 2
  - SITE ADDRESS: 35863 PARSONAGE ROAD, REHOBOTH BEACH, DE 19971
  - WETLAND AREA: 0.00 ACRES
  - PROJECT WATERSHED: LEWES-REHOBOTH CANAL
  - PROPOSED DISCHARGE LOCATIONS: DELDOT AND INFILTRATION
  - FLOOD PLAIN: THE SITE IS LOCATED WITHIN ZONE X, AN AREA DEFINED AS OUTSIDE THE 100 YEAR FLOOD PLAIN, BASED ON FEMA FLOOD PANEL 1005C0332K
  - SOILS ON-SITE CONSIST OF EVESBORO LOAMY SAND, 0 TO 5 PERCENT SLOPES (EVB), GREENWICH LOAM, 0 TO 2 PERCENT (GRB) AND GREENWICH-URBAN LAND COMPLEX (GUB), 0 TO 5 PERCENT SLOPES
  - WELLHEAD PROTECTION SITE AREA: 0 ACRES
  - PROPOSED IMPERVIOUS COVERAGE = 47%
  - PROJECT IS LOCATED IN AN AREA OF GOOD GROUNDWATER RECHARGE POTENTIAL
  - NET DEVELOPMENT AREA = 58,150 SQ FT (1.33 ACRES) (BASED ON SURVEY)

### ENGINEERS CERTIFICATION

IT IS HEREBY CERTIFIED THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

CHAS. J. SAVAGE, PE (LICENSE #16457) DATE: 12/23/20

### OWNER(S) CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE LEGAL OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

DESTINY LLC  
1 PATRIOTS WAY  
REHOBOTH BEACH, DE 19971

**DESTINY APARTMENTS**  
TAX PARCEL NO. 334-13.00-5.00  
PARSONAGE ROAD (SR 270-A)  
REHOBOTH BEACH, SUSSEX COUNTY, DE

5/26/2020	- SUSSEX COUNTY P & Z
5/29/2020	- FIRE MARSHAL
6/25/2020	- SUSSEX COUNTY P & Z PRELIMINARY APPROVAL
9/2/2020	- DELDOT SUBMISSION 1
9/14/2020	- OFFICE OF DRINKING WATER APPROVAL
9/18/2020	- SCD COMMENTS
9/29/2020	- SUSSEX COUNTY DEPT. OF ENGINEERING COMMENTS
10/09/2020	- SCD SUBMISSION 2
10/09/2020	- DELDOT SUBMISSION 2
10/12/2020	- TIDEWATER COMMENTS
10/29/2020	- SCD FINAL SUBMISSION
11/09/2020	- TIDEWATER COMMENTS
12/09/2020	- SUSSEX COUNTY P & Z

SCALE	PROJECT #	DRAWN BY
AS NOTED	HKE5001	GJB
DRAWING NUMBER		

**RP-1**

**SCALED ENGINEERING**  
Scaled Engineering Inc.  
20246 Coastal Highway  
Rehoboth Beach, DE 19971  
Phone: (302) 239-3600

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**DELDOT COVER SHEET**





**SCALED ENGINEERING**  
 Scaled Engineering Inc.  
 20246 Coastal Highway  
 Rehoboth Beach, DE 19971  
 Phone: (302) 236-3600

**SITE-RECORD PLAN**

**DESTINY APARTMENTS**  
 TAX PARCEL NO. 334-13.00-5.00  
 PARSONAGE ROAD (SR 270-A)  
 REHOBOTH BEACH, SUSSEX COUNTY, DE

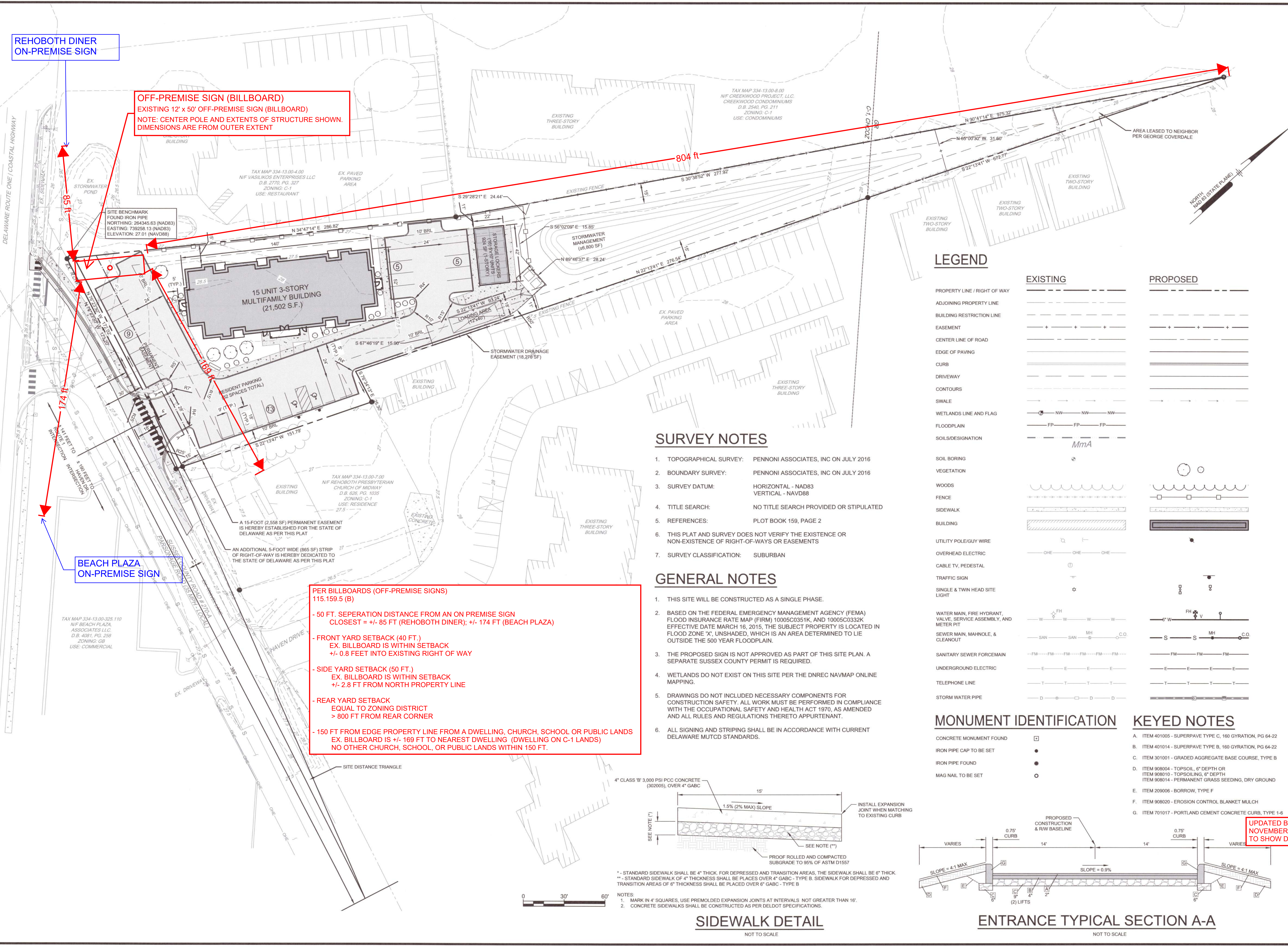
**ISSUE / REVISION BLOCK**

5/26/2020	- SUSSEX COUNTY P & Z
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10/29/2020	- SCD FINAL SUBMISSION
11/09/2020	- TIDEWATER COMMENTS
12/09/2020	- SUSSEX COUNTY P & Z

UPDATED BY SCALED ENGINEERING INC.  
 NOVEMBER 10, 2023  
 TO SHOW DIMENSIONS TO BILLBOARD

SCALE	PROJECT #	DRAWN BY
1" = 30'	HKE5001	GJB
DRAWING NUMBER		

**RP-2**  
 REVISED



**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE / RIGHT OF WAY	---	---
ADJOINING PROPERTY LINE	---	---
BUILDING RESTRICTION LINE	---	---
EASEMENT	---	---
CENTER LINE OF ROAD	---	---
EDGE OF PAVING	---	---
CURB	---	---
DRIVEWAY	---	---
CONTOURS	---	---
SWALE	---	---
WETLANDS LINE AND FLAG	---	---
FLOODPLAIN	---	---
SOILS/DESIGNATION	---	---
SOIL BORING	---	---
VEGETATION	---	---
WOODS	---	---
FENCE	---	---
SIDEWALK	---	---
BUILDING	---	---
UTILITY POLE/GUY WIRE	---	---
OVERHEAD ELECTRIC	---	---
CABLE TV, PEDESTAL	---	---
TRAFFIC SIGN	---	---
SINGLE & TWIN HEAD SITE LIGHT	---	---
WATER MAIN, FIRE HYDRANT, VALVE, SERVICE ASSEMBLY, AND METER PIT	---	---
SEWER MAIN, MAHNOLE, & CLEANOUT	---	---
SANITARY SEWER FORCEMAIN	---	---
UNDERGROUND ELECTRIC	---	---
TELEPHONE LINE	---	---
STORM WATER PIPE	---	---

**SURVEY NOTES**

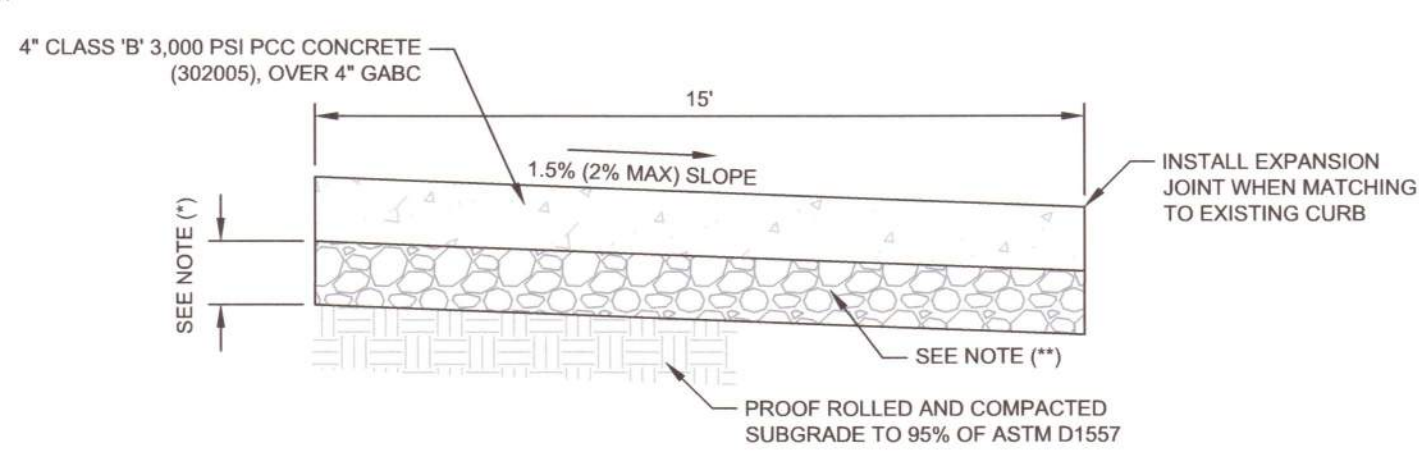
- TOPOGRAPHICAL SURVEY: PENNONI ASSOCIATES, INC ON JULY 2016
- BOUNDARY SURVEY: PENNONI ASSOCIATES, INC ON JULY 2016
- SURVEY DATUM: HORIZONTAL - NAD83  
VERTICAL - NAVD88
- TITLE SEARCH: NO TITLE SEARCH PROVIDED OR STIPULATED
- REFERENCES: PLOT BOOK 159, PAGE 2
- THIS PLAT AND SURVEY DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS
- SURVEY CLASSIFICATION: SUBURBAN

**GENERAL NOTES**

- THIS SITE WILL BE CONSTRUCTED AS A SINGLE PHASE.
- BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) 10005C0351K, AND 10005C0322K EFFECTIVE DATE MARCH 16, 2015, THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE 'X', UNSHADED, WHICH IS AN AREA DETERMINED TO LIE OUTSIDE THE 500 YEAR FLOODPLAIN.
- THE PROPOSED SIGN IS NOT APPROVED AS PART OF THIS SITE PLAN. A SEPARATE SUSSEX COUNTY PERMIT IS REQUIRED.
- WETLANDS DO NOT EXIST ON THIS SITE PER THE DNREC NAVMAP ONLINE MAPPING.
- DRAWINGS DO NOT INCLUDED NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL WORK MUST BE PERFORMED IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- ALL SIGNING AND STRIPING SHALL BE IN ACCORDANCE WITH CURRENT DELAWARE MUTCD STANDARDS.

**PER BILLBOARDS (OFF-PREMISE SIGNS)**  
 115.159.5 (B)

- 50 FT. SEPERATION DISTANCE FROM AN ON PREMISE SIGN  
CLOSEST = +/- 85 FT (REHOBOTH DINER); +/- 174 FT (BEACH PLAZA)
- FRONT YARD SETBACK (40 FT.)  
EX. BILLBOARD IS WITHIN SETBACK  
+/- 0.8 FEET INTO EXISTING RIGHT OF WAY
- SIDE YARD SETBACK (50 FT.)  
EX. BILLBOARD IS WITHIN SETBACK  
+/- 2.8 FT FROM NORTH PROPERTY LINE
- REAR YARD SETBACK  
EQUAL TO ZONING DISTRICT  
> 800 FT FROM REAR CORNER
- 150 FT FROM EDGE PROPERTY LINE FROM A DWELLING, CHURCH, SCHOOL OR PUBLIC LANDS  
EX. BILLBOARD IS +/- 169 FT TO NEAREST DWELLING (DWELLING ON C-1 LANDS)  
NO OTHER CHURCH, SCHOOL, OR PUBLIC LANDS WITHIN 150 FT.



4" CLASS 'B' 3,000 PSI PCC CONCRETE (302009), OVER 4" GABC

15'

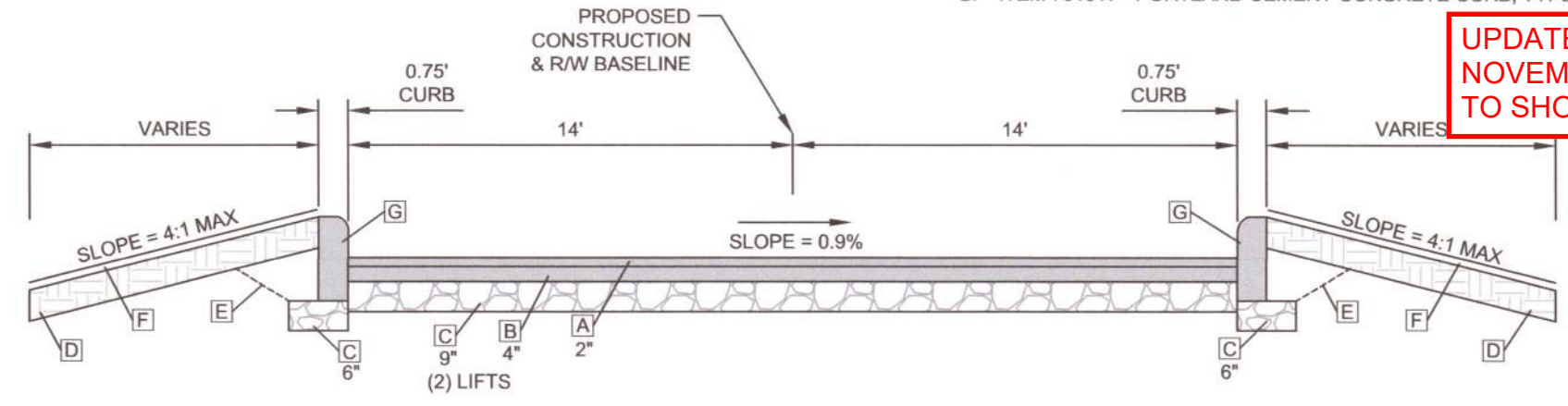
1.5% (2% MAX) SLOPE

INSTALL EXPANSION JOINT WHEN MATCHING TO EXISTING CURB

PROOF ROLLED AND COMPACTED SUBGRADE TO 95% OF ASTM D1557

SEE NOTE (\*\*)

\* - STANDARD SIDEWALK SHALL BE 4" THICK. FOR DEPRESSED AND TRANSITION AREAS, THE SIDEWALK SHALL BE 6" THICK.  
 \*\* - STANDARD SIDEWALK OF 4" THICKNESS SHALL BE PLACED OVER 4" GABC - TYPE B. SIDEWALK FOR DEPRESSED AND TRANSITION AREAS OF 6" THICKNESS SHALL BE PLACED OVER 6" GABC - TYPE B



VARIES

0.75' CURB

14'

0.9%

14'

0.75' CURB

VARIES

SLOPE = 4:1 MAX

SLOPE = 4:1 MAX

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE



Case # 12887  
Hearing Date 12-11-2023  
202314400

### Board of Adjustment Application Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check all applicable)

Variance  Existing Condition \_\_\_\_\_  
Special Use Exception \_\_\_\_\_ Proposed \_\_\_\_\_  
Administrative Variance \_\_\_\_\_ Code Reference (office use only) \_\_\_\_\_  
Appeal \_\_\_\_\_

Site Address of Variance/Special Use Exception: 34278 Wilgus Cemetery Rd.  
Frankford De 19945

Variance/Special Use Exception/Appeal Requested: \_\_\_\_\_  
14.6' Front Yard Variance

Tax Map #: 5-33-06-109 Property Zoning: residential AR-1

#### Applicant Information

Applicant Name: Joshua Valliant  
Applicant Address: 34278 Wilgus Cemetery Rd  
City, State, Zip: Frankford De 19945  
Applicant Phone #: 3024489385 Applicant e-mail: joshvalliant@yahoo.com

#### Owner Information

Owner Name: Josh Valliant  
Owner Address: 34278 Wilgus Cemetery Rd  
City, State, Zip: Frankford De 19945 Purchase Date: \_\_\_\_\_  
Owner Phone #: ~ Owner e-mail: ~

#### Agent/Attorney Information

Agent/Attorney Name: \_\_\_\_\_  
Agent/Attorney Address: \_\_\_\_\_  
City, State, Zip: \_\_\_\_\_  
Agent/Attorney Phone #: \_\_\_\_\_ Agent/Attorney e-mail: \_\_\_\_\_

#### Signature of Owner/Agent/Attorney

JV Date: 10/16/23





Sussex County, DE - BOA Application

**Criteria for a Variance:** (Please provide a written statement regarding each criteria).

You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.

In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.

1. Uniqueness of property:

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

I bought and restored this house that is around 100 yrs. old, and was built fairly close to the road. There was originally a small front porch with roof that I had to remove because it was unsafe.

2. Cannot otherwise be developed:

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

Because this house was originally built in this location with a front porch before there were such regulations.

3. Not created by the applicant:

That such exceptional practical difficulty has not been created by the appellant.

The home was built in this location prior to my purchase. It is a old house that had a small front porch that I had to remove because it was structurally unsafe.

4. Will not alter the essential character of the neighborhood:

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

This construction, if granted, will only improve the character of the neighborhood, and since there was originally a front porch, it should not alter in any negative way.

5. Minimum variance:

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

I am requesting just 8' from the front siding of my house. The original porch, from siding to last brick step was approximately the same. This addition will improve the look of the house and neighborhood.



**NOTES:**

• Other than shown, this plat and survey does not verify the existence or nonexistence of right-of-ways and/or easements pertaining to this property. Including but not limited to Tax Ditch Easements.

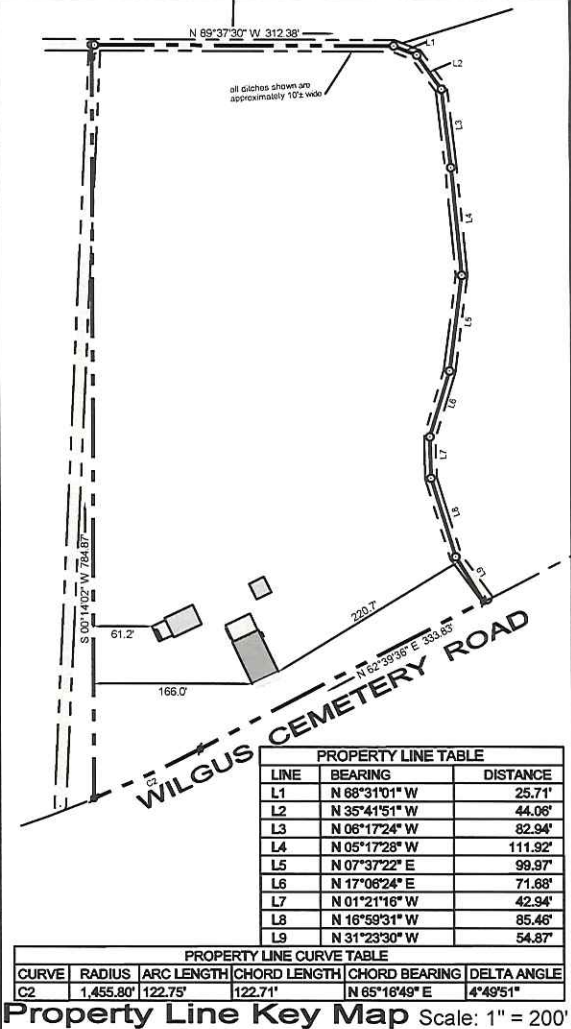
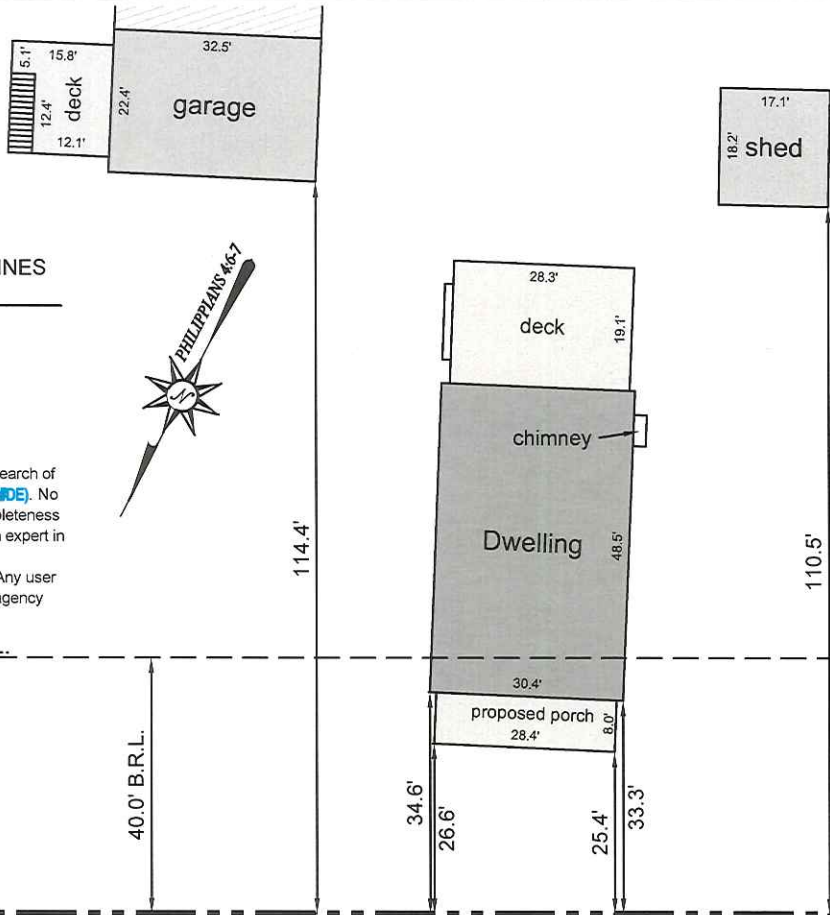
• No title search provided or stipulated.

**(B.R.L.) BUILDING RESTRICTION LINES PER SUSSEX COUNTY**

- FRONT - 40'
- SIDES - 15'
- REAR - 20'
- ZONING - AR-1

**NOTE:**

• Restrictions shown hereon were obtained by a search of the eCODE360 Library ([www.generalcode.com/library/#DE](http://www.generalcode.com/library/#DE)). No representation is made for the accuracy or completeness of said third party information. This firm is not an expert in the interpretation of complex zoning ordinances, compliance is beyond the scope of this survey. Any user of said information is urged to contact the local agency directly.



- POINT
- 5/8" RE-BAR (FD)

SCALE: 1"=30'

AREA: 11.9093 ACRES

PARCEL ID. NO: 5-33-06-109

**WILGUS CEMETERY ROAD**  
(50' r/w)

**Boundary Setback Survey**  
Lands of JOSHUA K. VALLIANT and ALENA D. VALLIANT.  
Ref: Plat Book 206, Page 24.

FIRM INFORMATION:  
100029 - 0635 - K  
MARCH 16, 2015  
ZONE: "X", NON-SHADED  
CLASS "B" SURVEY

HUNDRED: BALTIMORE
COUNTY: SUSSEX
STATE OF DELAWARE
DATE OF ORIGINAL: 09/06/2023
DRAWN BY: ALEX KANSAK
REVIEWED BY: MICHAEL LOVELAND

**SIMPLER SURVEYING & ASSOCIATE, INC.**  
32486 POWELL FARM ROAD, FRANKFORD, DE 19945  
[www.delawaresurveyor.com](http://www.delawaresurveyor.com)  
PHONE: (302) 539-7873 FAX: (302) 539-4336



I, Gregory M. Hook, registered as a Professional Land Surveyor in the State of Delaware, hereby state that the information shown on this plan has been prepared under my supervision and meets the standards of practice as established by the State of Delaware Board of Professional Land Surveyors. Any changes to the property conditions, improvements, boundary or property corners after the date shown hereon shall necessitate a new review and certification for any official or legal use.

P.L.S. 711




June 25, 2021

To whom it may concern

Subject: Zoning variance for a porch on Josh Valiant's House

I live across Wilgus Cemetery Road from Josh Valiant's house.

I approve of the zoning variance for the addition of a porch. I think a front porch would be a very nice addition to his house

  
Fred Cody  
34295 Wilgus Cemetery Road  
Frankford, DE 19945



# Sussex County



October 31, 2023

polygonLayer

Override 1

Override 2

Tax Parcels

911 Address

Streets

County Boundaries

World Imagery

Low Resolution 15m Imagery

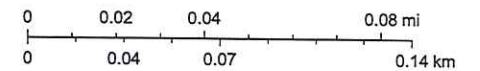
High Resolution 60cm Imagery

High Resolution 30cm Imagery

Citations

60cm Resolution Metadata

1:2,257



Maxar, Microsoft, Sussex County, Sussex County Government



CONNECTEXPLORER

Search

Search by SUSSEXPARELS -

533-6-00-109.00

533-6-00-109.00

Search results (1) Options -

533-6-00-109.00

Workspaces v

© 2023 EagleView

map: Auto (Oblique) - Dates: Latest - < image 1 of 13 > 03/06/2023

50 ft  
20 m



Case # 12888

Hearing Date 12

202314900

RECEIVED

### Board of Adjustment Application

### Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

OCT 24 2023

SUSSEX COUNTY  
PLANNING & ZONING

#### Type of Application: (please check all applicable)

- Variance
- Special Use Exception
- Administrative Variance
- Appeal

- Existing Condition
- Proposed
- Code Reference (office use only)

#### Site Address of Variance/Special Use Exception:

Emory Walls Road Georgetown DE 19947

#### Variance/Special Use Exception/Appeal Requested:

A special exception to permit a 158 foot tall telecommunications monopole, + A VARIANCE to construct a 158 foot tall monopole (150 ft permitted)

Tax Map #: 231-7.00-21.00

Property Zoning: AR-1

#### Applicant Information

Applicant Name: Cellco Partnership (d/b/a Verizon Wireless)  
 Applicant Address: 512 Township Line Road Bldg 2 Fl 3  
 City Blue Bell State PA Zip: 19422  
 Applicant Phone #: 302 571-6740 Applicant e-mail: jtracy@ycst.com

#### Owner Information

Owner Name: Walls Sussex Properties LLC  
 Owner Address: 9 Woods Street  
 City Middletown State DE Zip: 19709 Purchase Date: 12/28/16  
 Owner Phone #: 302 385 3474 Owner e-mail: rhett4@gmail.com

#### Agent/Attorney Information

Agent/Attorney Name: John Tracey  
 Agent/Attorney Address: 1000 N King Street  
 City Wilmington State DE Zip: 19801  
 Agent/Attorney Phone #: 302 571-6740 Agent/Attorney e-mail: jtracy@ycst.com

#### Signature of Owner/Agent/Attorney

[Handwritten Signature]

Date: 10/17/23





Sussex County, DE - BOA Application

**Criteria for a Variance:** (Please provide a written statement regarding each criteria).

*You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.*

*In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.*

1. Uniqueness of property:

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

*See attached report*

---

2. Cannot otherwise be developed:

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

---

3. Not created by the applicant:

That such exceptional practical difficulty has not been created by the appellant.

---

4. Will not alter the essential character of the neighborhood:

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

---

5. Minimum variance:

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.



Sussex County, DE - BOA Application

**Criteria for a Special Use Exception:** (Please provide a written statement regarding each criteria)

*You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Special Use Exception to be granted.*

1. Such exception will not substantially affect adversely the uses of adjacent and neighboring property.

*See Attached correspondence to reports*

---

2. Any other requirements which apply to a specific type of special use exception as required by the Sussex County Code. (Ex. Time limitations – 5 year maximum)

---

**Basis for Appeal:** (Please provide a written statement regarding reason for appeal)

---





**YOUNG  
CONAWAY**

RECEIVED

OCT 24 2023

SUSSEX COUNTY  
PLANNING & ZONING

**WILMINGTON**  
RODNEY SQUARE

**NEW YORK**  
ROCKEFELLER CENTER

**John E. Tracey**  
P 302.571.6740  
F 302.576.3382  
jtracey@ycst.com

October 23, 2023

**VIA HAND DELIVERY**

Mr. Jamie Whitehouse, AICP  
Sussex County Department of Planning  
2 The Circle  
P.O. Box 589  
Georgetown, DE 19947

Re: Cellco Partnership d/b/a Verizon Wireless; Tax Parcel No. 231-07.00-21.00 (DOV Red Barn)

Dear Mr. Whitehouse:

Enclosed please find the completed “Board of Adjustment Application” and \$500.00 application fee on behalf of Cellco Partnership d/b/a Verizon Wireless (“Cellco”). Cellco is seeking to locate a new 158-foot tall telecommunications tower, including a 5-foot tall lightning rod, north of Route 404, west of the Town of Georgetown. In addition to establishing better coverage for Verizon Wireless in this area, the tower would be designed to accommodate at least two (2) additional carriers as required by the Sussex County Code.

In order to construct this tower in the desired location I understand that Cellco requires a special use exception from the County’s Board of Adjustment, as well as a variance to minimally exceed the 150 foot height limitation contained in the Code.<sup>1</sup> The proposed tower includes the Code-mandated lighting and is designed to meet the required setbacks, as such no other variances are needed for the structure or the enclosure.

Along with the application, enclosed are two copies of the site plan and the RF reports for the tower. As you will note, the RF Reports include the before and after coverage maps for the area, as well as the availability (or lack thereof) of tall structures within two (2) miles of the proposed location, and the justification for the required height of the structure.

<sup>1</sup> Five feet of this eight foot intrusion is created by the lightning rod, an addition to the tower which is hardly visible.



Young Conaway Stargatt & Taylor, LLP  
Mr. Jamie Whitehouse, AICP  
October 23, 2023  
Page 2

As always, should you need any further information or have any questions, please feel free to contact me at (302) 571-6740.

Sincerely yours,

  
John E. Tracey, Esq.

Enclosures

cc: Mr. James Rodgers (via e-mail and w/o enclosures)



PO Box 165  
 Fairview Village, PA 19409  
 Phone: 610.304.2024  
 Fax: 610.584.5387  
[info@dBmEng.com](mailto:info@dBmEng.com)



October 12, 2023  
 James Rodgers  
 Site Acquisition Consultant  
 NB&C  
 1777 Sentry Parkway  
 Blue Bell, PA 19422

**Subject: Radio Frequency Design Analysis**  
**“DOV – RED BARN”**  
**EMORY WALLS ROAD**  
**GEORGETOWN, DE 19947**  
**Latitude: N 38° 42’ 11.42” (NAD 83)**  
**Longitude: W 75° 27’ 23.77” (NAD 83)**  
**35.4’ AMSL**

Mr. Rodgers:

I have received and executed the request that I perform an independent evaluation and design review for the Verizon Wireless telecommunications facility proposed at the above referenced address. The intention of this study is to provide an objective, professional opinion regarding the proposed facilities from a Radio Frequency design perspective. Specifically, how the site complements the existing network and what service objectives it fulfills. As a registered Professional Engineer, I am bound by a code of ethics to hold paramount the safety, health, and welfare of the public. All statements and calculations offered herein are made in an objective and truthful manner pursuant to that code.

#### **Summary of Findings**

In my professional opinion, the proposed facility is extremely well suited to provide enhanced wireless service in the central portions of Sussex County, west of Georgetown, that currently suffer from unreliable Verizon Wireless coverage. Currently, the nearby Verizon Wireless facilities are not providing adequate coverage into the targeted geography resulting in service issues. The proposed facility is the only feasible alternative that will satisfy the design objective for affected areas. The design, location, and proposed antenna height is the least intrusive means of providing adequate service for Verizon Wireless subscribers in the targeted geography. The proposed antenna height is the absolute minimum acceptable to achieve a high percentage of the site’s design goals.

Sincerely,

Andrew M. Petersohn, P.E.  
 Registered Professional Engineer  
 Delaware license number 14438



### Existing Verizon Wireless Service

Currently, Verizon has five (5) existing sites in the area immediately surrounding the proposed facility. These sites would be the first-tier neighbors for the proposed facility. The details and locations of these sites can be seen below:

Name	Structure Type	Antenna Centerline (ft)	Street Address
COKESBURY	Lattice Tower	128	14908 Cokesbury Road
GEORGETOWN	Lattice Tower	147	512 North Dupont Hwy
BRIDGEVILLE HD	Guyed Tower	250	18475 OAK RD
DOV DEER FOREST	Monopole	134	16847 N. Dupont Boulevard
DOV GEORGETOWN CIRCLE	Monopole	100	335 North Race Street

### Existing Verizon Wireless Coverage

The in-building (green) and in-vehicle (yellow) coverage footprints from the above existing facilities are illustrated below in figure 1. There is a significant gap in reliable coverage in the areas along and surrounding Seashore Highway (Rt. 18) that the facility is designed to address.

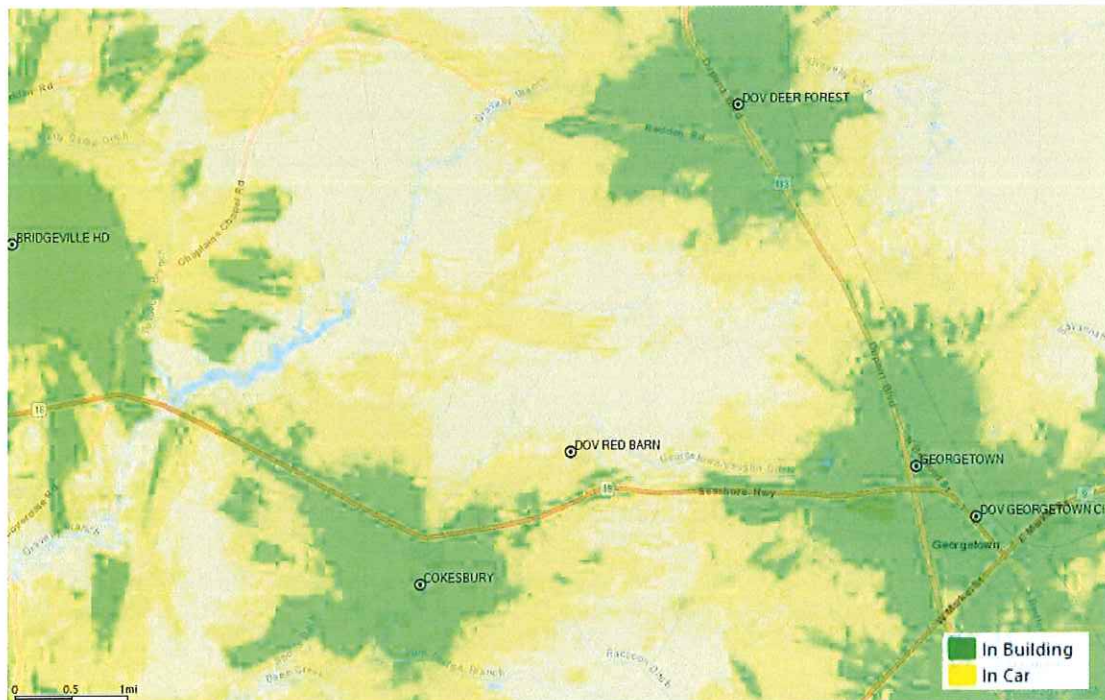


Figure 1 – Existing Coverage

PO Box 165  
 Fairview Village, PA 19409  
 Phone: 610.304.2024  
 Fax: 610.584.5387  
[info@dBmEng.com](mailto:info@dBmEng.com)





### Proposed Verizon Wireless Coverage Improvement

Figure 2 below illustrates the Verizon Wireless anticipated reliable coverage. The proposed facility will remedy the existing coverage issues along and around Rt. 18 and will enable reliable service to the many agricultural uses in the surrounding areas including providing contiguous coverage to the north of Rt 18 to the neighboring “Deep Forest” facility. Any decrease in the height of the proposed facility will significantly diminish the effectiveness of the proposed site.

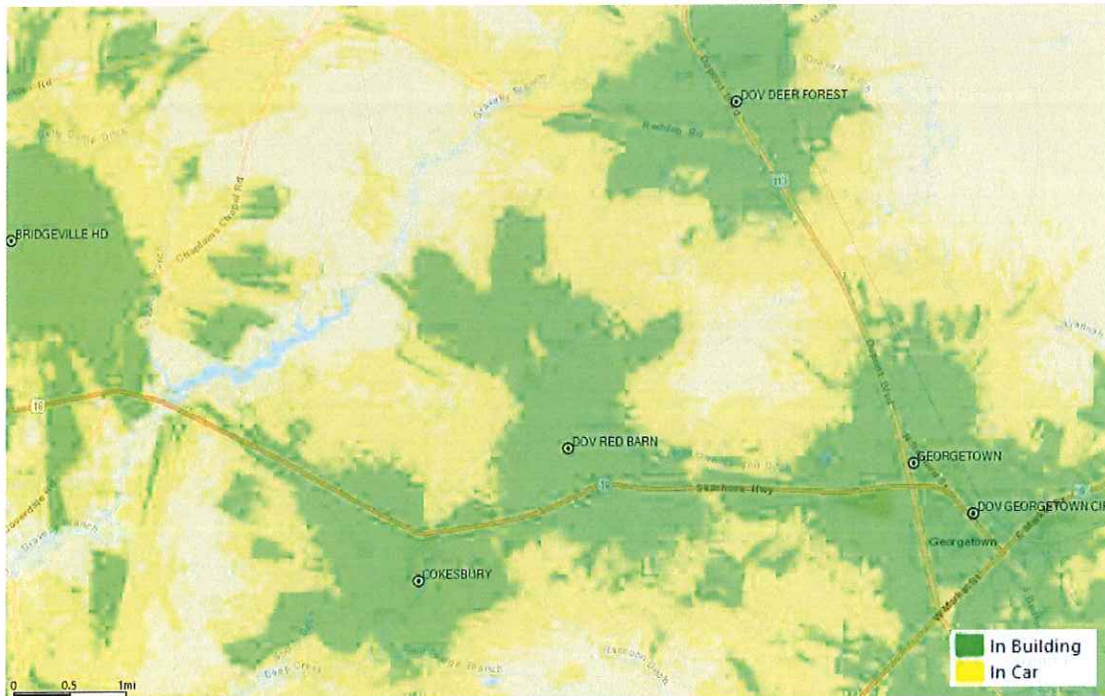


Figure 2 – Proposed Coverage

PO Box 165  
 Fairview Village, PA 19409  
 Phone: 610.304.2024  
 Fax: 610.584.5387  
[info@dBmEng.com](mailto:info@dBmEng.com)





### **Alternate Candidate Discussion**

It is Verizon Wireless policy and overwhelming preference to utilize existing, tall structures as antenna support platforms when their location, available attachment height, and structural capacity are congruent with Verizon's network requirements. This is because the co-location process is almost always less expensive, faster to market, and less involved from a permitting perspective than the construction of a new tower structure. In this case, the only known antenna support structure within two (2) miles of the proposed facility is the "Cokesbury" lattice tower roughly 1.6 miles west (that Verizon is currently co-located on).

### **Reliable Service**

The term "reliable" is used to describe areas where a Verizon Wireless subscriber has the ability to place, receive, and maintain a phone call. Additionally, the concept of reliable service extends beyond just voice communication; access to the data network with a high probability of success and adequate throughput is now a pre-requisite to reliable service. Reliable service provided from a facility is affected by many factors including surrounding topography, clutter types, foliage, and subscriber loading during the site's hour of heaviest use, its "busy hour". Because the network must maintain reliability under all conditions, these factors are taken into consideration when designing a new facility.

### **Wireless Substitution**

According to the CDC<sup>1</sup> 70.7% of adults and 81.7% of children lived in wireless-only households during the first half of 2022. The increase in the prevalence of adults living in wireless-only households is a continuation of the increasing trend that has been seen over time. Demographic subgroups with the highest percentages of wireless-only adults include adults aged 25–29 (89%) and 30-34 (87.3%), and adults renting their homes (84.5%) As wireless substitution continues to spread, availability of in-building wireless service, both data and voice, becomes increasingly important.

### **Emergency Services Implications**

Wireless devices are widely used by municipal emergency services for voice and data services including those that impact public safety. Additionally enhanced 911 (E911) services, which allow a mobile caller to be located by the dispatch center, are dependent on an adequate service level to provide help in an emergency. It is estimated that approximately 70% of 911 calls originate from mobile devices<sup>2</sup>. In the service challenged areas, an unreliable level of wireless service could, in many cases, negatively affect the ability of an individual in need of emergency services who is dialing 911.

<sup>1</sup> <https://www.cdc.gov/nchs/data/nhis/earlyrelease/wireless202212.pdf>

<sup>2</sup> <https://transition.fcc.gov/cgb/consumerfacts/wireless911srvc.pdf>

**PO Box 165**  
**Fairview Village, PA 19409**  
**Phone: 610.304.2024**  
**Fax: 610.584.5387**  
[info@dBmEng.com](mailto:info@dBmEng.com)





### **Technical Parameters of Consideration**

The above calculations were based on the equipment configuration information furnished by representatives of Verizon Wireless. Specifically, for this installation, Verizon Wireless plans to install up to up to twelve (12) new panel-style antennas at an antenna centerline height of 150' above grade. The antennas will be organized in three (3) arrays of four (4) antennas per array with sector azimuths evenly spaced in the horizontal plane with respect to true north. Transmitting through these antennas will be four (4) LTE transmit paths in the 700 MHz band (per sector) at a cumulative maximum of 160 watts, up to four (4) LTE transmit paths in the 1900 MHz band (per sector) at a cumulative maximum of 160 watts, up to four (4) LTE and / or 5G NR transmit paths in the 850 MHz band (per sector) at a cumulative maximum of 160 watts, up to eight (8) LTE transmit paths in the 2100 MHz band (per sector) at a cumulative maximum of 160 watts, up to four (4) LTE transmit paths in the 3500 MHz band (per sector) at a cumulative maximum of 20 watts, and up to sixty-four (64) 5G NR transmit paths in the 3700 MHz band (per sector) at a cumulative maximum of 53 dBm radio power.

---

**PO Box 165**  
**Fairview Village, PA 19409**  
**Phone: 610.304.2024**  
**Fax: 610.584.5387**  
[\*\*info@dBmEng.com\*\*](mailto:info@dBmEng.com)





## DECLARATION OF ENGINEER

Andrew M. Petersohn, P.E., hereby states that he is a graduate telecommunications consulting engineer possessing Master and Bachelor Degrees in Electrical Engineering from Lehigh University (2005 and 1999, respectively). His corporation, dBm Engineering, P.C., has been retained by representatives of Verizon Wireless to perform a radio frequency design analysis for a proposed telecommunications facility.

Mr. Petersohn also asserts that the calculations and/or measurements described in this report were made personally and in a truthful and objective manner. Mr. Petersohn is a Registered Professional Engineer licensed in Pennsylvania, Delaware, Maryland, Virginia, New York, Florida and New Jersey. He has over two decades of engineering experience in the field of wireless communications. Mr. Petersohn is an active member of the National Society of Professional Engineers (NSPE) and the Pennsylvania Society of Professional Engineers (PSPE). Mr. Petersohn further states that all facts and statements contained in the foregoing document are true and accurate to the best of his knowledge.



Andrew M. Petersohn, P.E.  
Registered Professional Engineer  
New Jersey license number GE49376

Executed this the 12<sup>th</sup> day of October, 2023.

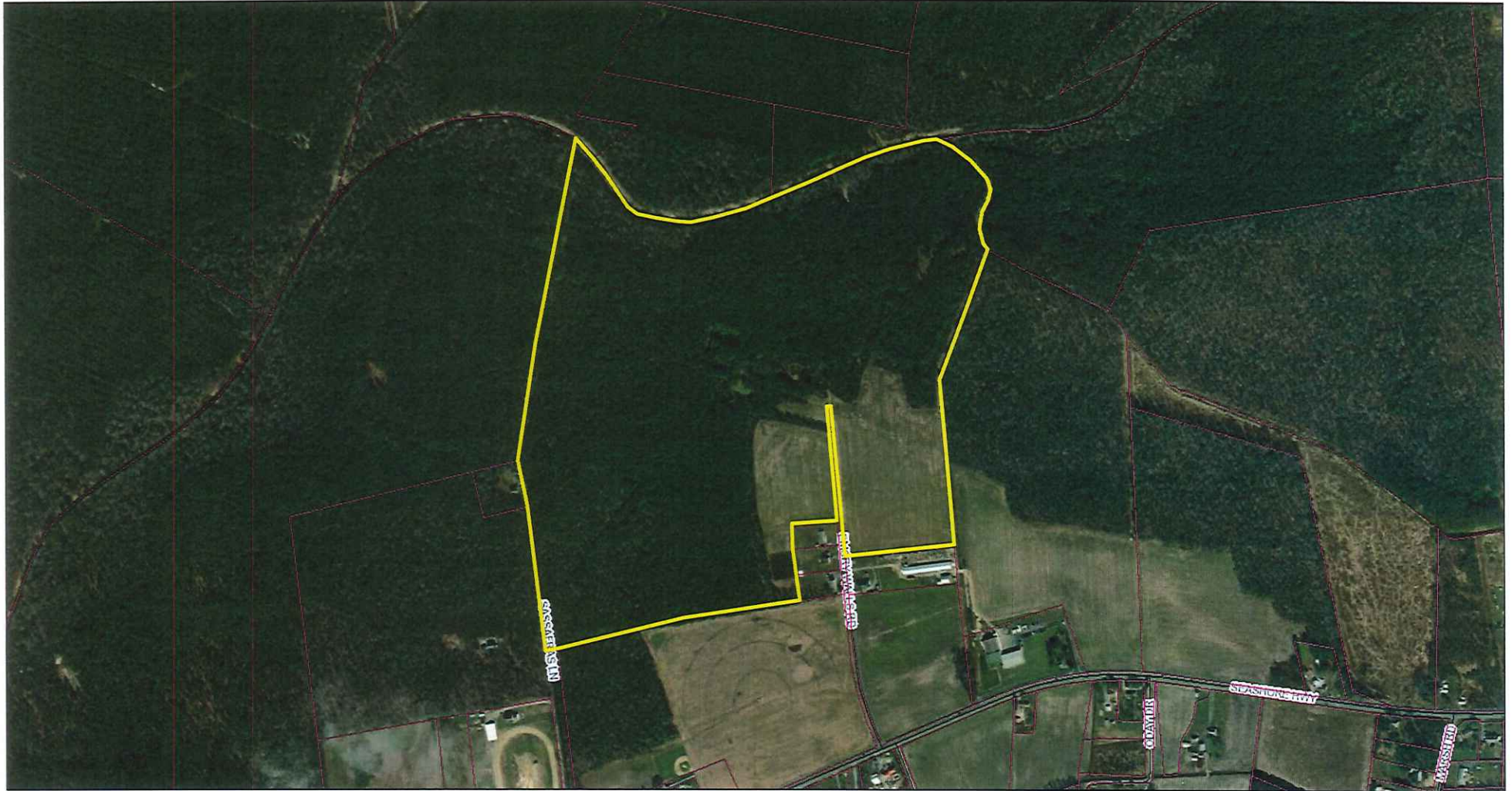
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**PO Box 165**  
**Fairview Village, PA 19409**  
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**Fax: 610.584.5387**  
[\*\*info@dBmEng.com\*\*](mailto:info@dBmEng.com)





# Sussex County



October 31, 2023

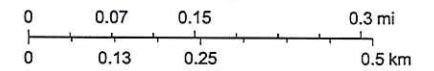
polygonLayer

- Override 1
- Override 2
- Tax Parcels

- Streets
- County Boundaries
- World Imagery
- Low Resolution 15m Imagery

- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations
- 2.4m Resolution Metadata

1:9,028



Sussex County, Sussex County Government, Maxar



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Search

Search by SUSSEXPARCELS -

231-7.00-21.00

Search results (1) Options -

231-7.00-21.00

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map: Auto (Aerial) - Dates: Latest -





### PROJECT NOTES

1. SITE INFORMATION OBTAINED FROM THE FOLLOWING:
  - A. CELL SITE SURVEY ENTITLED "DOV RED BARN" PREPARED BY COLLIERS ENGINEERING OF MT. LAUREL, NJ DATED 09/06/23.
  - B. LIMITED FIELD OBSERVATION BY COLLIERS ENGINEERING & DESIGN ON 06/28/23.
2. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, LAWS AND REGULATIONS OF ALL MUNICIPALITIES, UTILITY COMPANIES OR OTHER PUBLIC/GOVERNING AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
4. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, IN WRITING, OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE OF WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE AS A RESULT OF CONSTRUCTION OF THIS FACILITY AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
6. THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
7. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING THE BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND CONSTRUCTION DRAWINGS.
8. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THESE DRAWINGS MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
9. THE PROPOSED FACILITY WILL COMPLY WITH ALL STATE AND LOCAL STORMWATER ORDINANCES.
10. NO NOISE, SMOKE, DUST OR ODOR WILL RESULT FROM THIS FACILITY AS TO CAUSE A NUISANCE.
11. THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION (NO HANDICAP ACCESS IS REQUIRED).
12. THE FACILITY DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
13. CONTRACTOR SHALL VERIFY ANTENNA ELEVATION AND AZIMUTHS WITH RF ENGINEERING PRIOR TO INSTALLATION.
14. ALL STRUCTURAL ELEMENTS SHALL BE HOT DIPPED GALVANIZED STEEL.
15. CONTRACTOR MUST FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
16. CONSTRUCTION SHALL NOT COMMENCE UNTIL COMPLETION OF A PASSING STRUCTURAL ANALYSIS CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER. THE STRUCTURAL ANALYSIS IS TO BE PERFORMED BY OTHERS.
17. CONTRACTOR SHALL CONTACT STATE SPECIFIC ONE CALL SYSTEM THREE WORKING DAYS PRIOR TO ANY EARTH MOVING ACTIVITIES.



## SITE NAME: DOV RED BARN

## EMORY WALLS ROAD GEORGETOWN, DE 19947 SUSSEX COUNTY



www.colliersengineering.com

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Doing Business as **MASER CONSULTING**



CELLCO PARTNERSHIP d/b/a  
VERIZON WIRELESS

512 TOWNSHIP LINE ROAD  
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REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY

**Matthew E. Graubart**  
DELAWARE PROFESSIONAL ENGINEER  
LICENSE NUMBER: 15147  
COLLIERS ENGINEERING & DESIGN, INC.  
D.E. C.O.A. # 2840

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SITE NAME:

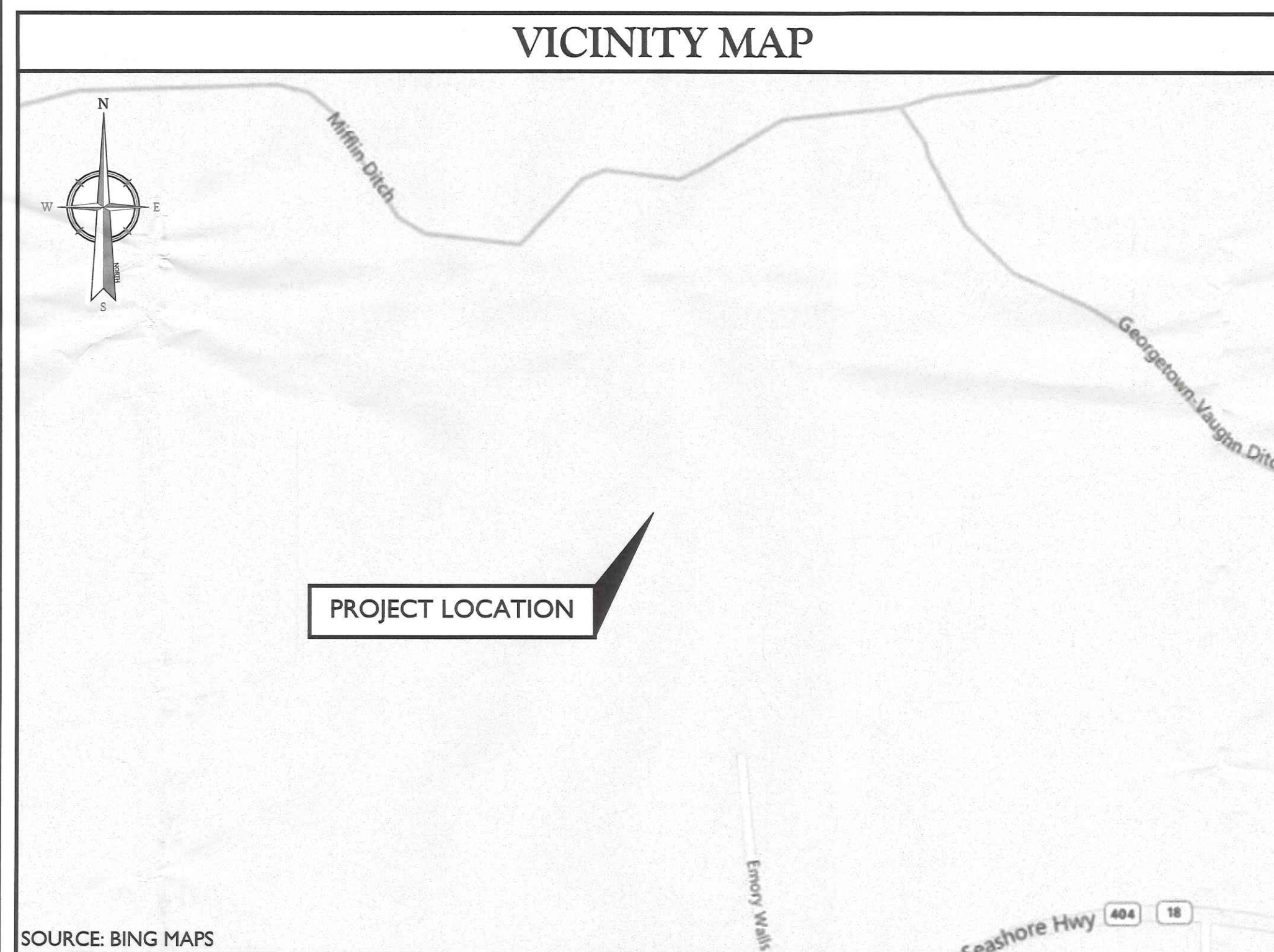
**DOV RED BARN**  
EMORY WALLS ROAD  
GEORGETOWN, DE 19947  
SUSSEX COUNTY

**Colliers Engineering & Design**  
MT. LAUREL  
2000 Midlantic Drive,  
Suite 100  
Mt. Laurel, NJ 08054  
Phone: 856.797.0412  
COLLIERS ENGINEERING & DESIGN, INC.  
DOING BUSINESS AS MASER CONSULTING

SHEET TITLE:  
**TITLE SHEET**

SHEET NUMBER:  
**T-1**

### VICINITY MAP



SOURCE: BING MAPS

### PROJECT INFORMATION

#### SITE INFORMATION

LATITUDE: N 38° 42' 11.42" (NAD 83)  
LONGITUDE: W 75° 27' 23.77" (NAD 83)  
GROUND ELEVATION: 35.4± AMSL (NAVD 88)  
JURISDICTION: SUSSEX COUNTY  
PARCEL: 231-7.00-21.00

#### APPLICANT

COMPANY: CELLCO PARTNERSHIP d/b/a  
VERIZON WIRELESS  
ADDRESS: 512 TOWNSHIP LINE ROAD  
BUILDING 2, FLOOR 3  
BLUE BELL, PA 19422

#### PROPERTY OWNER

NAME: WALLS SUSSEX PROPERTIES, LLC  
ADDRESS: 9 WOOD STREET  
CITY, STATE, ZIP: MIDDLETOWN, DE 19709

#### SITE ACQUISITION

COMPANY: NB+C  
CONTACT: JAMES RODGERS  
PHONE: (610) 999-0427

#### CONSTRUCTION MANAGER

COMPANY: CELLCO PARTNERSHIP d/b/a  
VERIZON WIRELESS  
ADDRESS: 512 TOWNSHIP LINE ROAD,  
BUILDING 2, FLOOR 3  
BLUE BELL, PA 19422  
CONTACT: MARK LYNCH  
CITY, STATE, ZIP: (610) 608-6101

#### ENGINEERING COMPANY

COMPANY: COLLIERS ENGINEERING & DESIGN, INC  
ADDRESS: 2000 MIDLANTIC DRIVE, SUITE 100  
MT. LAUREL, NJ 08054  
CONTACT: MATTHEW GRAUBART, P.E.  
PHONE: (856) 797-0412  
E-MAIL: MATTHEW.GRAUBART@COLLIERSENG.COM

### LOCATION INFORMATION

#### POWER PROVIDER

COMPANY: DELAWARE ELECTRIC COOPERATIVE  
PHONE: (855) 322-9090

#### TELEPHONE PROVIDER

COMPANY: VERIZON  
PHONE: (800) 837-4966

#### POLICE

NAME: GEORGETOWN POLICE DEPARTMENT  
ADDRESS: 335 NORTH RACE STREET  
CITY, STATE, ZIP: GEORGETOWN, DE 19947  
PHONE: (302) 856-6613

#### FIRE

NAME: GEORGETOWN FIRE COMPANY  
ADDRESS: 100 SOUTH BEDFORD STREET  
CITY, STATE, ZIP: GEORGETOWN, DE 19947  
PHONE: (302) 856-7700

IN CASE OF EMERGENCY, CALL 9-1-1

### SHEET INDEX

SHEET	DESCRIPTION
T-1	TITLE SHEET
Z-1	ZONING INFORMATION
Z-2	SITE PLAN AND SITE NOTES
Z-3	PARTIAL SITE PLAN
Z-4	COMPOUND PLAN AND ELEVATION VIEW
A-1	CONSTRUCTION DETAILS
A-2	CONSTRUCTION DETAILS
A-3	CONSTRUCTION DETAILS
A-4	CONSTRUCTION DETAILS
A-5	CONSTRUCTION DETAILS

### CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

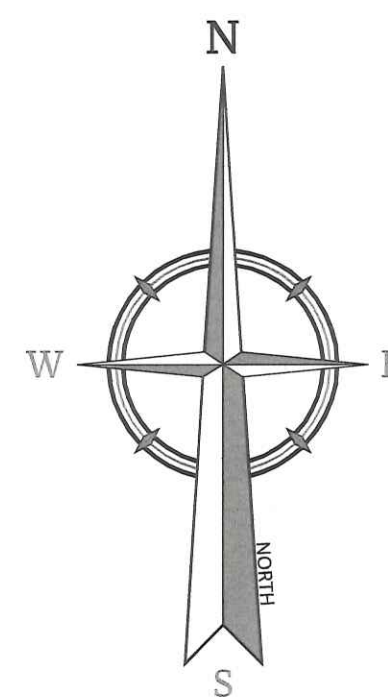
- |  |   |
|--|---|
| 1. 2018 INTERNATIONAL BUILDING CODE                | 8. INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS 81 IEEE C2 LATEST EDITION   |
| 2. 2020 DELAWARE STATE ELECTRICAL CODE             | 9. TELCORDIA GR-1275  |
| 3. 2021 DELAWARE STATE FIRE CODE                   | 10. ANSI T1.311   |
| 4. AMERICAN INSTITUTE OF STEEL CONSTRUCTION 360-16 | 11. PROPOSED USE: UNMANNED TELECOM FACILITY<br>HANDICAP REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS NOT REQUIRED. |
| 5. AMERICAN CONCRETE INSTITUTE                     | 12. CONSTRUCTION TYPE: IIB  |
| 6. TIA-222-H                                       | 13. USE GROUP: U  |
| 7. TIA 607 FOR GROUNDING                           |   |

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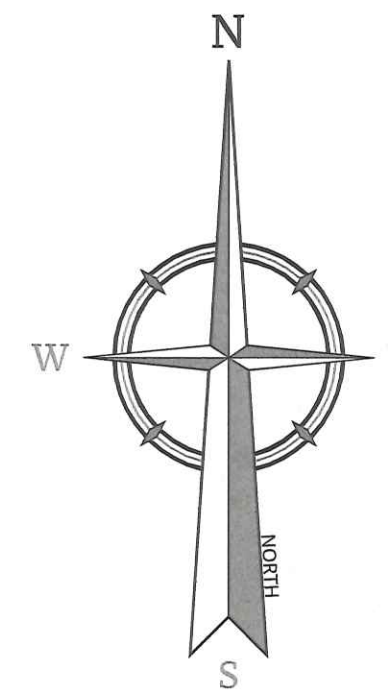
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**TAX MAP**  
 SCALE : 1" = 1000' FOR 22"X34"  
 (SCALE : 1" = 2000' FOR 11"X17")



**ZONING MAP**  
 SCALE : 1" = 1000' FOR 22"X34"  
 (SCALE : 1" = 2000' FOR 11"X17")

	Residential Planned Community		Agricultural - AR-1		General Commercial - C-1
	State lands		Agricultural - AR-2		Commercial Residential - CR-1
	County lands		Medium Residential - MR		Marine - M
	Federal lands		General Residential - GR		Limited Industrial - LI-1
	Town		High Density Residential		Light Industrial - LI-2
	Water		Vacation, Retire, Resident - VRP		Heavy Industrial - HI-1
	Environmentally Sensitive Developing Districts - ES-1		Neighborhood Business - B-1		

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**Matthew E. Giesbart**  
 DELAWARE REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NUMBER: 21147  
 COLLIERS ENGINEERING & DESIGN, INC.  
 D.E. C.O.A. #: 2840

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 GEORGETOWN, DE 19947  
 SUSSEX COUNTY

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 2000 Midatlantic Drive, Suite 100  
 Mt. Laurel, NJ 08054  
 Phone: 856.797.0412  
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SHEET TITLE: **ZONING INFORMATION**

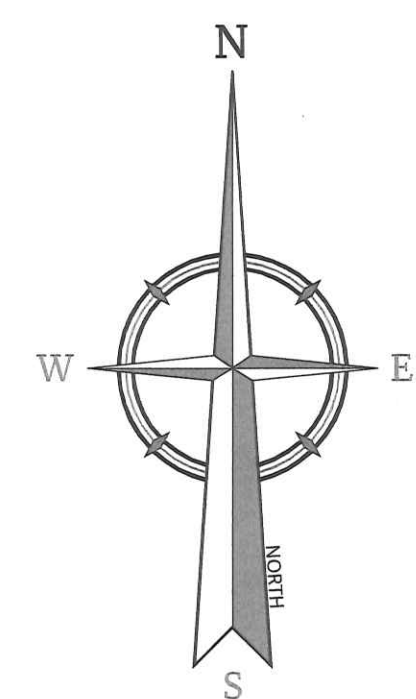
SHEET NUMBER: **Z-1**

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



### VICINITY MAP

SOURCE: GOOGLE EARTH



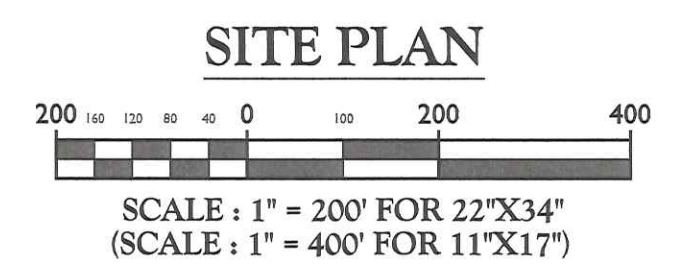
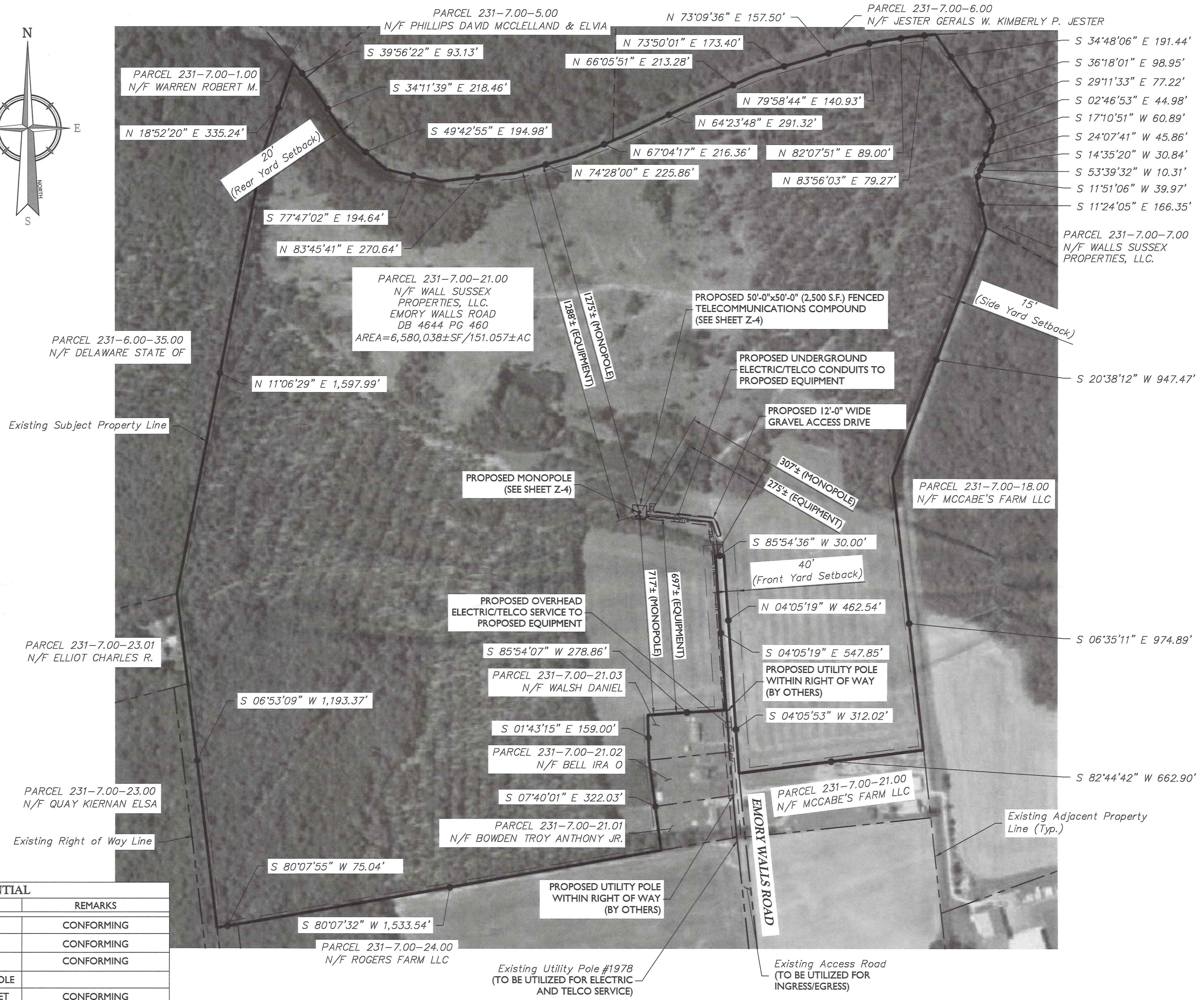
- ### SITE NOTES
- THIS PROPOSAL IS FOR AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF THE PLACEMENT OF PANEL ANTENNAS ON A PROPOSED MONOPOLE AND EQUIPMENT CABINETS ON A PROPOSED CONCRETE PAD, AN OUTDOOR STANDBY GENERATOR AND ASSOCIATED APPURTENANCES WITHIN A PROPOSED FENCED COMPOUND.
  - EXTERIOR SIGNS ARE NOT PROPOSED EXCEPT AS REQUIRED BY THE FCC.
  - DISTURBANCE UNDER THIS PROPOSAL:  
TOTAL AREA OF DISTURBANCE - 9,100± S.F.
  - RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
  - CONTRACTOR SHALL CONTACT STATE SPECIFIC ONE CALL SYSTEM THREE WORKING DAYS PRIOR TO ANY EARTH MOVING ACTIVITIES.
  - POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.
  - SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS & INSPECTIONS REQUIRED FOR CONSTRUCTION.
  - SUBCONTRACTOR SHALL DETERMINE EXACT ROUTE OF ANY UNDERGROUND CONDUIT, IF REQUIRED.
  - THIS PROJECT WILL NOT REQUIRE STREETS OR PROPERTY TO BE DEDICATED FOR PUBLIC USE.
  - THIS PROJECT WILL NOT REQUIRE PERMANENT MONUMENTS.
  - ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAPS OF SUSSEX COUNTY, DE (AND INCORPORATED AREAS), FLOOD ZONE MAP NUMBER 1005C0280L PANEL NUMBER 280 OF 660 DATED 06/20/2018, ALL PROPOSED IMPROVEMENTS ARE LOCATED WITHIN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
  - THE PROPOSED INSTALLATION WILL GENERATE ONE (1) VEHICLE TRIP FOR ROUTINE MAINTENANCE EVERY FOUR (4) TO SIX (6) WEEKS.

BULK STANDARDS FOR AR-1 - AGRICULTURAL RESIDENTIAL					
DESCRIPTION	REQUIRED	EXISTING	PROPOSED		REMARKS
MINIMUM LOT AREA	32,670 SF	6,580,038± SF	NO CHANGE		CONFORMING
MINIMUM LOT WIDTH	100 FEET	663± FEET	NO CHANGE		CONFORMING
MINIMUM LOT DEPTH	100 FEET	2,037± FEET	NO CHANGE		CONFORMING
			EQUIPMENT	MONOPOLE	
MINIMUM FRONT YARD SETBACK	40 FEET	N/A	275± FEET	307± FEET	CONFORMING
MINIMUM SIDE YARD SETBACK	15 FEET	N/A	697± FEET	717± FEET	CONFORMING
MINIMUM REAR YARD SETBACK	20 FEET	N/A	1288± FEET	1275± FEET	CONFORMING
MAXIMUM HEIGHT	42 FEET	<42± FEET	11± FEET (CANOPY)		CONFORMING

ARTICLE 115-194.2 - COMMERCIAL COMMUNICATIONS TOWERS AND ANTENNAS				
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	REMARKS
MINIMUM TOWER SETBACK*	53 FEET	N/A	307± FEET	CONFORMING
MINIMUM FENCE HEIGHT	6 FEET	N/A	6 FEET + 1 FOOT BARBED WIRE	CONFORMING
MINIMUM LOT AREA	1 ACRE	151.1± ACRES	NO CHANGE	CONFORMING

\*DENOTES 1/3 OF PROPOSED TOWER HEIGHT



- ### LEGEND
- Existing Subject Property Line
  - Existing Right of Way
  - Existing Adjacent Property
  - Setback Line
  - PROPOSED OVERHEAD WIRE
  - PROPOSED CHAIN LINK FENCE
  - PROPOSED UNDERGROUND ELECTRIC/TELCO UTILITY LINES

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**Matthew E. Grisbart**  
REGISTERED PROFESSIONAL ENGINEER  
COLLIERS ENGINEERING & DESIGN, INC.  
D.E. C.O.A. #: 2840

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SUSSEX COUNTY

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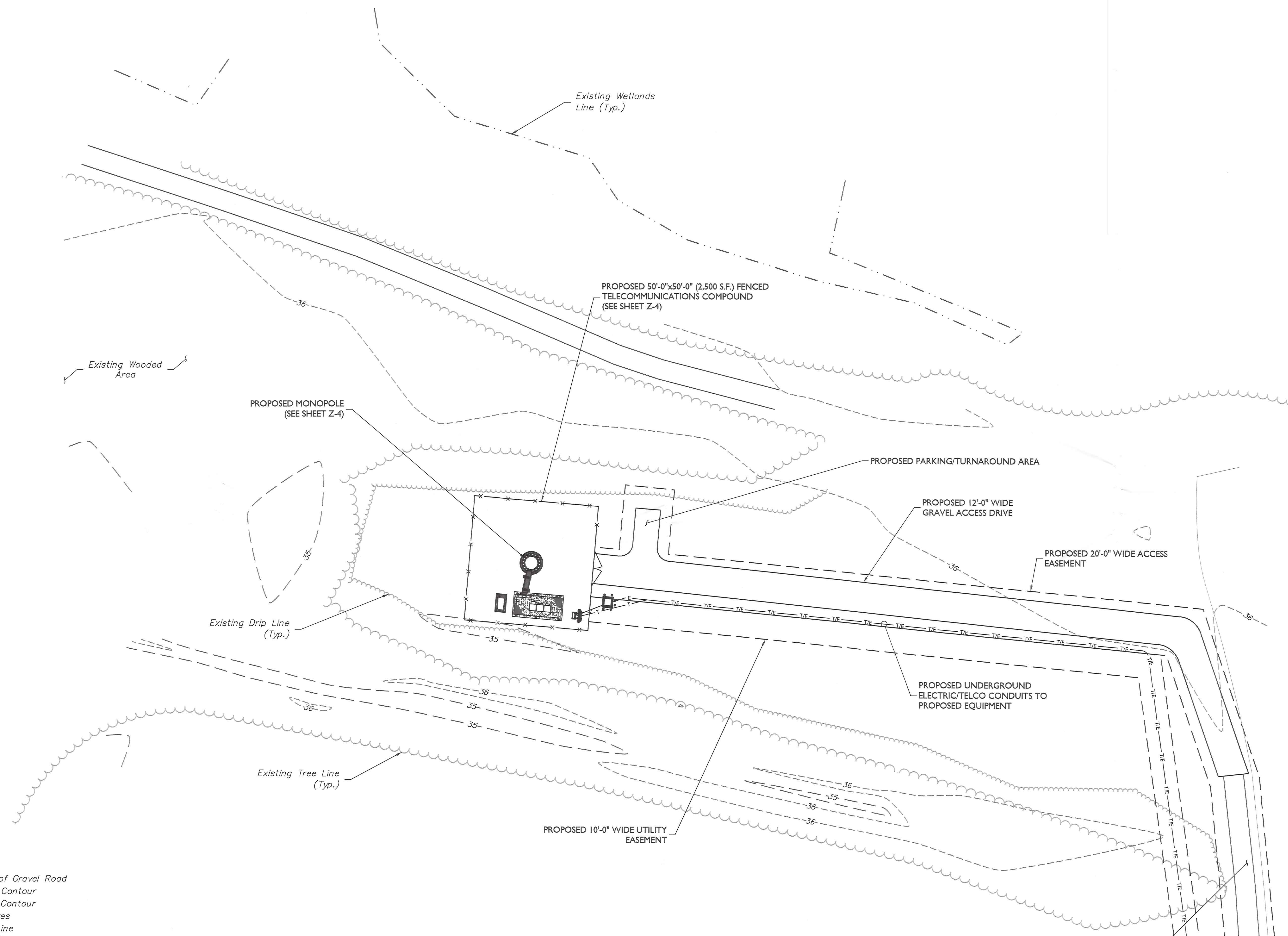
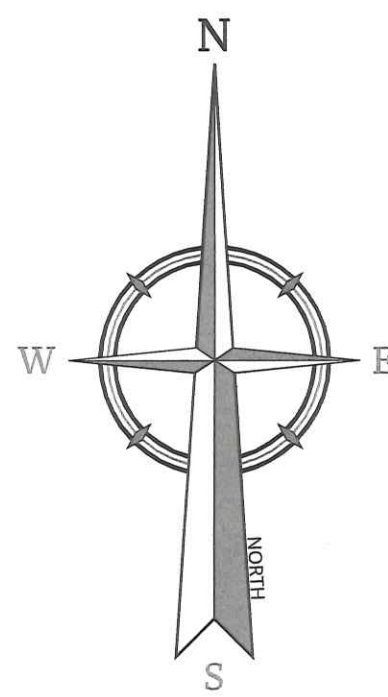
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SHEET TITLE: **SITE PLAN AND SITE NOTES**

SHEET NUMBER: **Z-2**

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.





- LEGEND**
- Existing Edge of Gravel Road
  - - - 35 - - - Existing Major Contour
  - - - 36 - - - Existing Minor Contour
  - Existing Features
  - Existing Tree Line
  - Existing Drip Line
  - Existing Wetlands Line
  - PROPOSED EASEMENT
  - x - x - PROPOSED CHAIN LINK FENCE
  - PROPOSED FEATURES
  - T/E - PROPOSED UNDERGROUND ELECTRIC/TELCO UTILITY LINES

**PARTIAL SITE PLAN**

SCALE: 1" = 20' FOR 22"X34"  
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**Matthew E. Gribart**  
 DELAWARE PROFESSIONAL ENGINEER  
 LICENSE # 2147  
 COLLIERS ENGINEERING & DESIGN, INC.  
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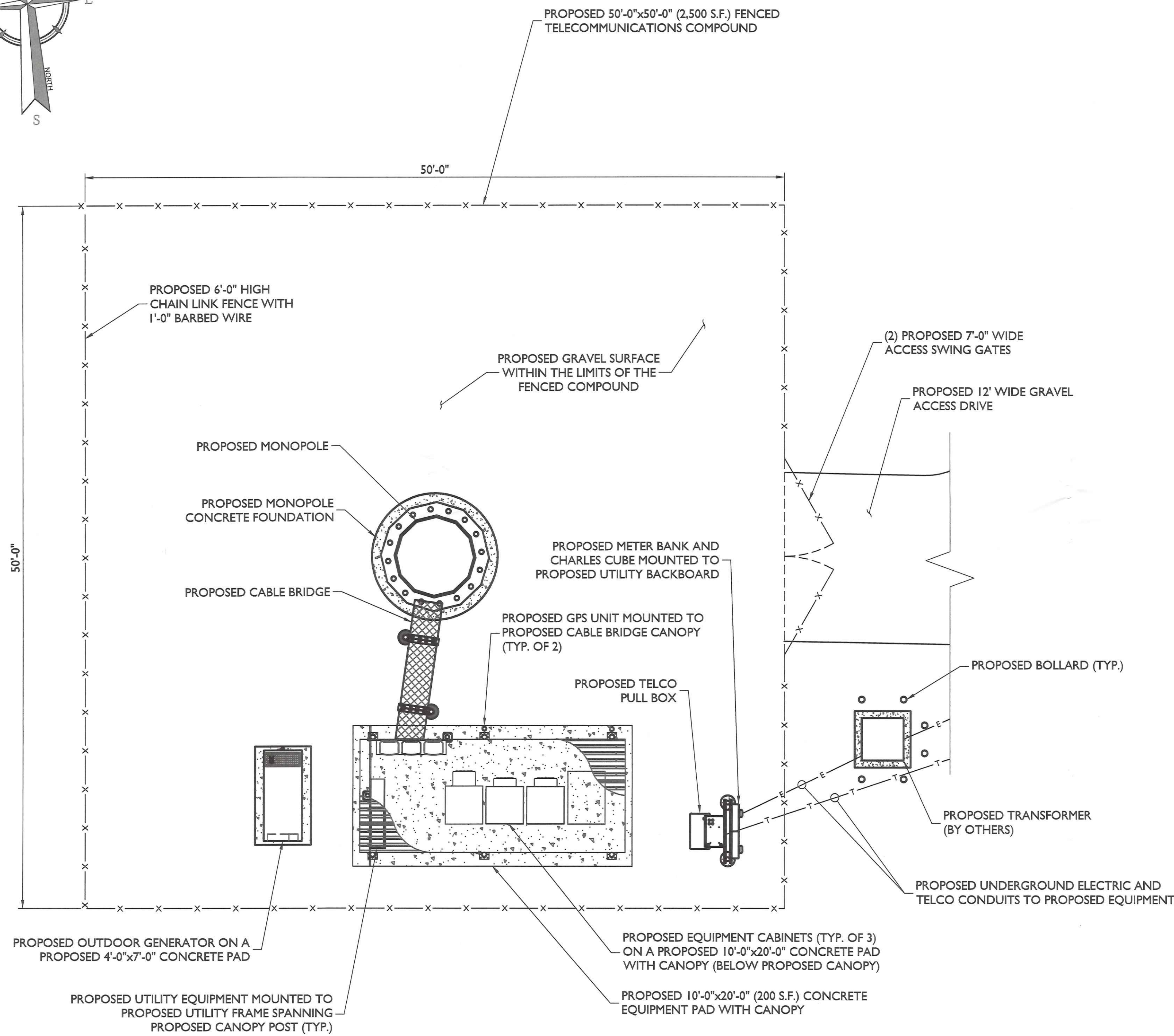
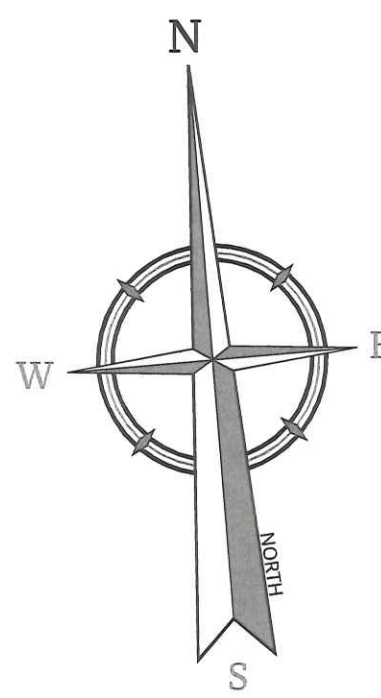
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SHEET TITLE: **PARTIAL SITE PLAN**

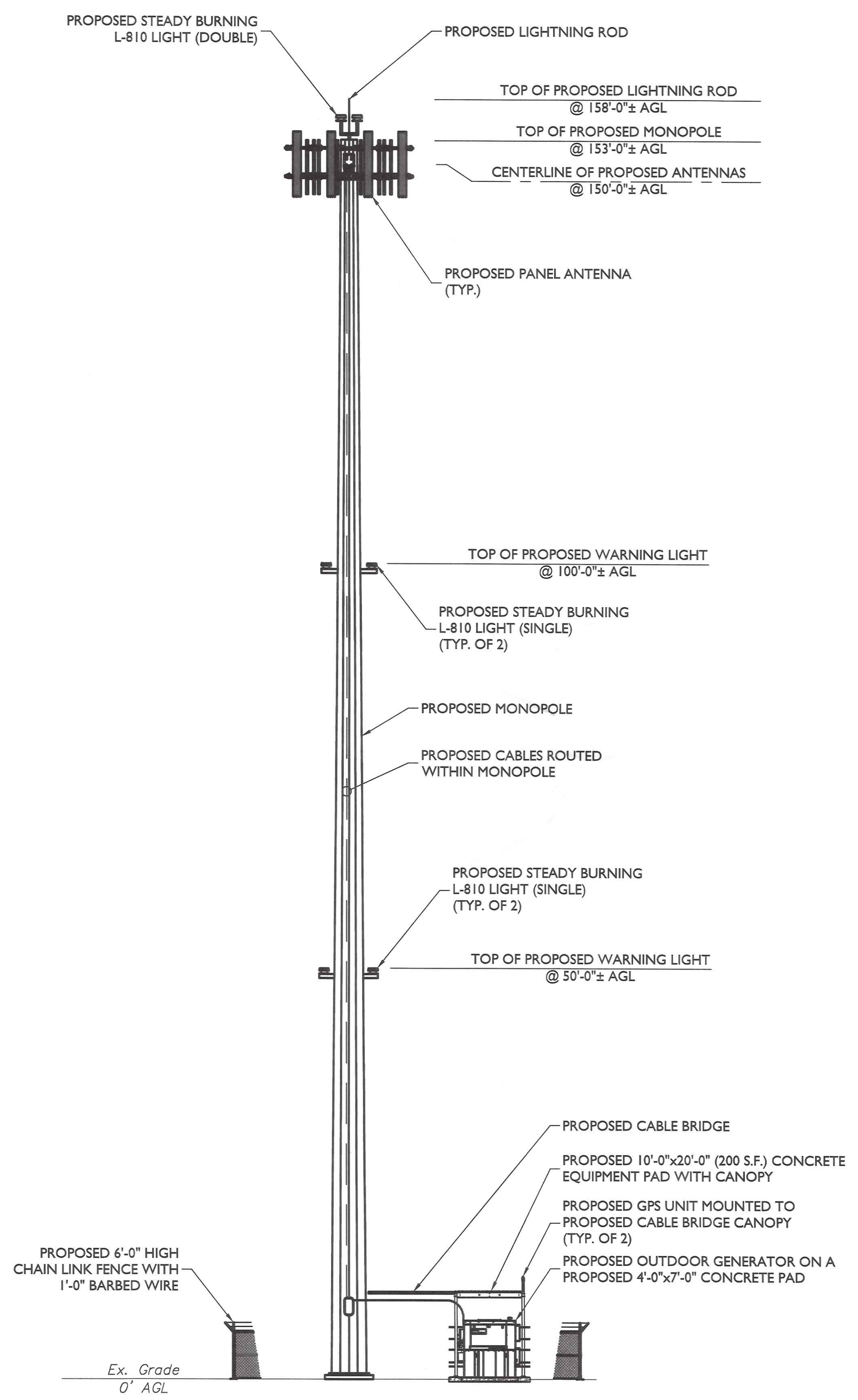
SHEET NUMBER: **Z-3**

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**COMPOUND PLAN**  
 SCALE: 1" = 5' FOR 22"X34"  
 (SCALE: 1" = 10' FOR 11"X17")



**ELEVATION VIEW**  
 SCALE: 1" = 10' FOR 22"X34"  
 (SCALE: 1" = 20' FOR 11"X17")

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 LICENSE NO. 1147  
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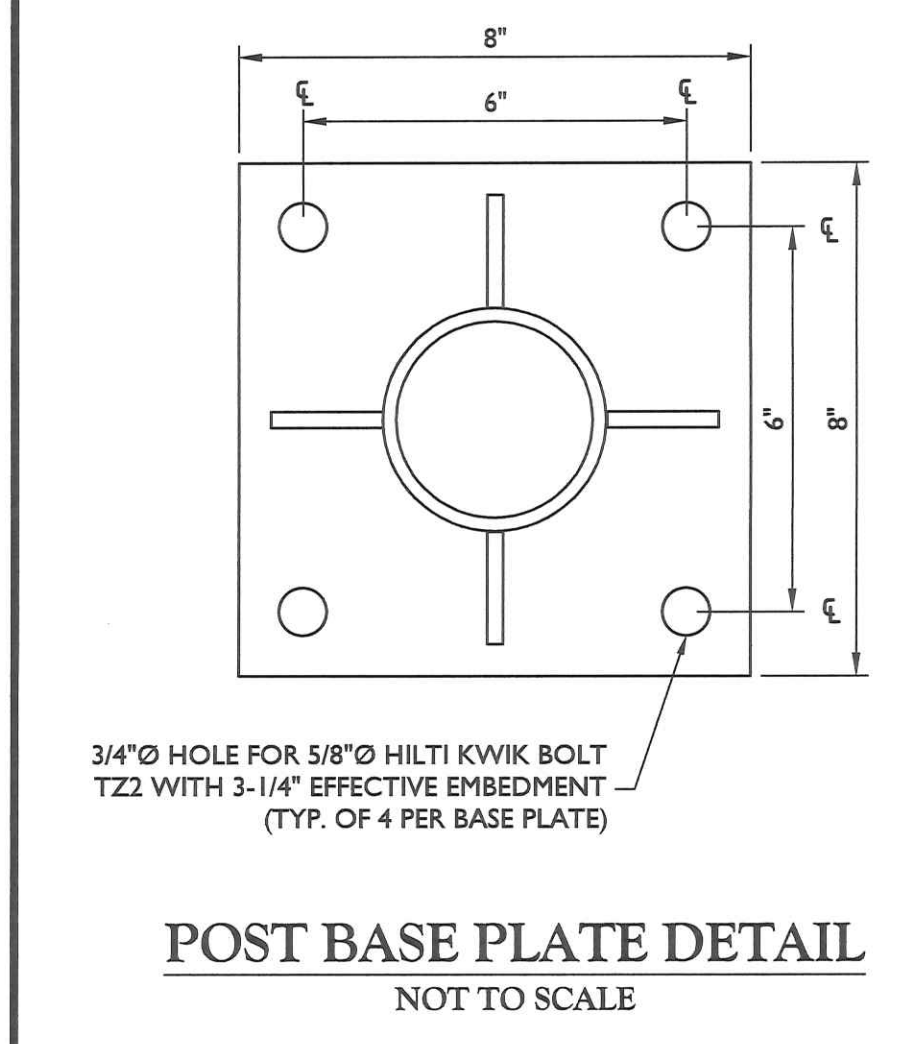
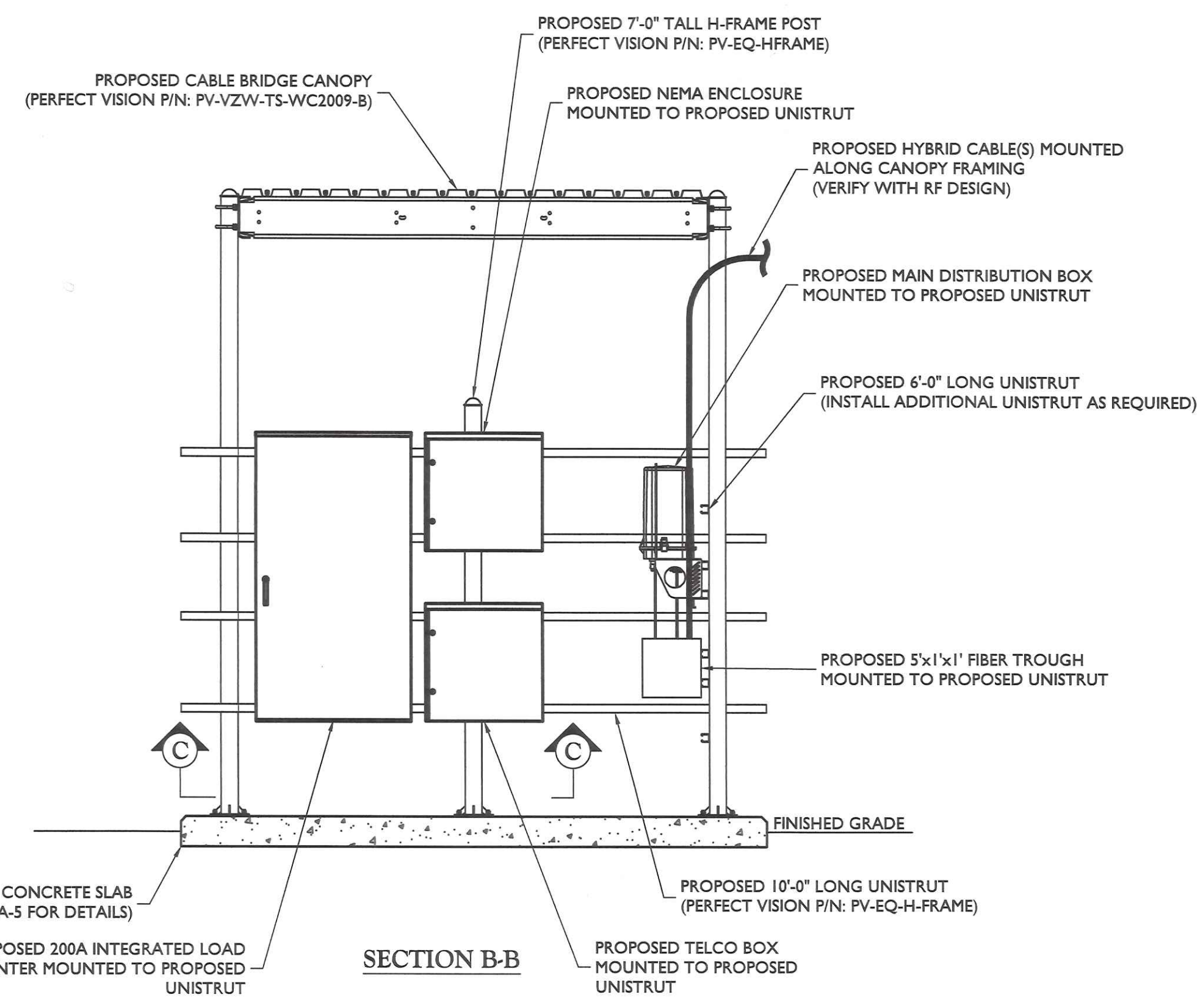
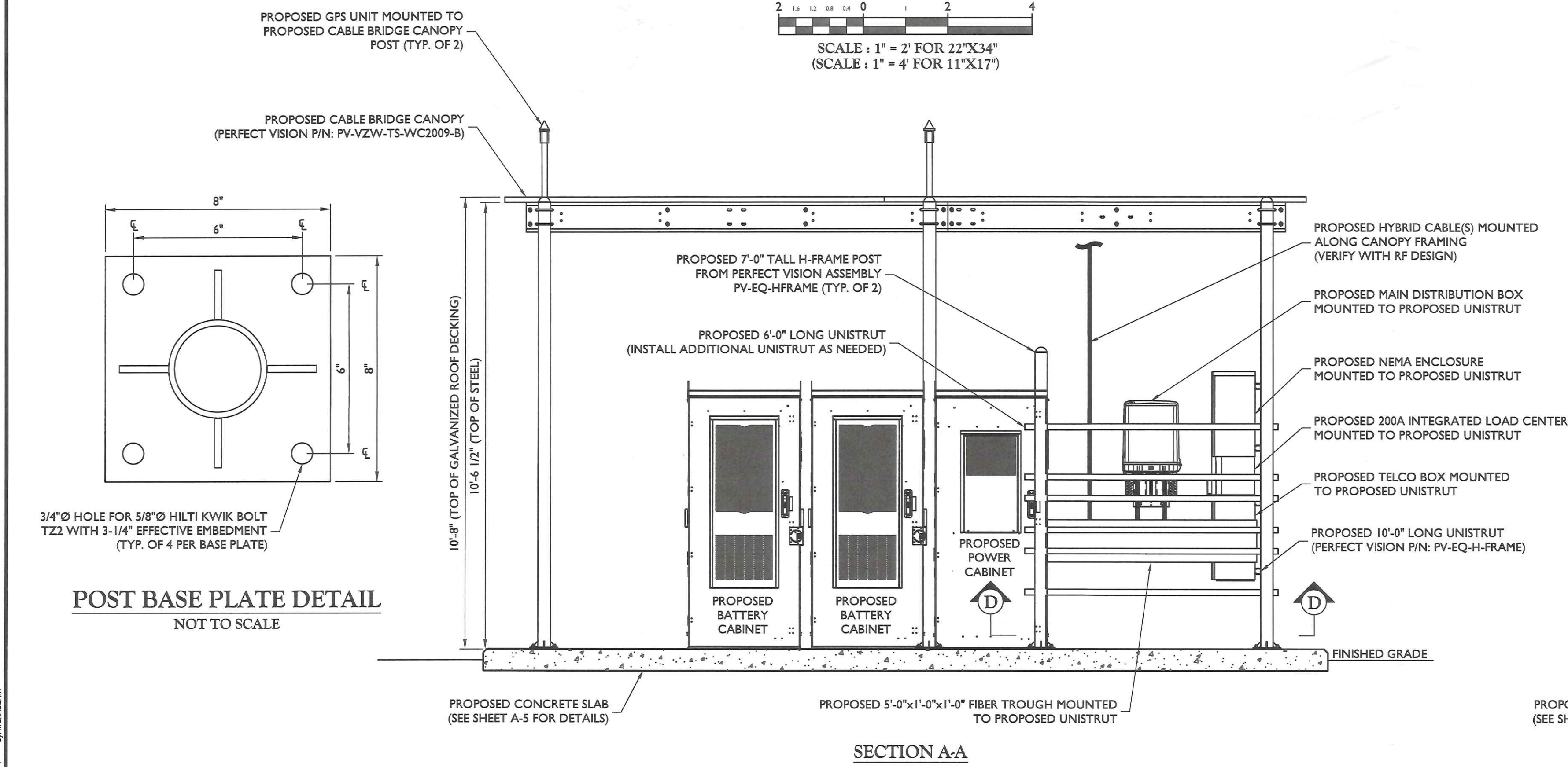
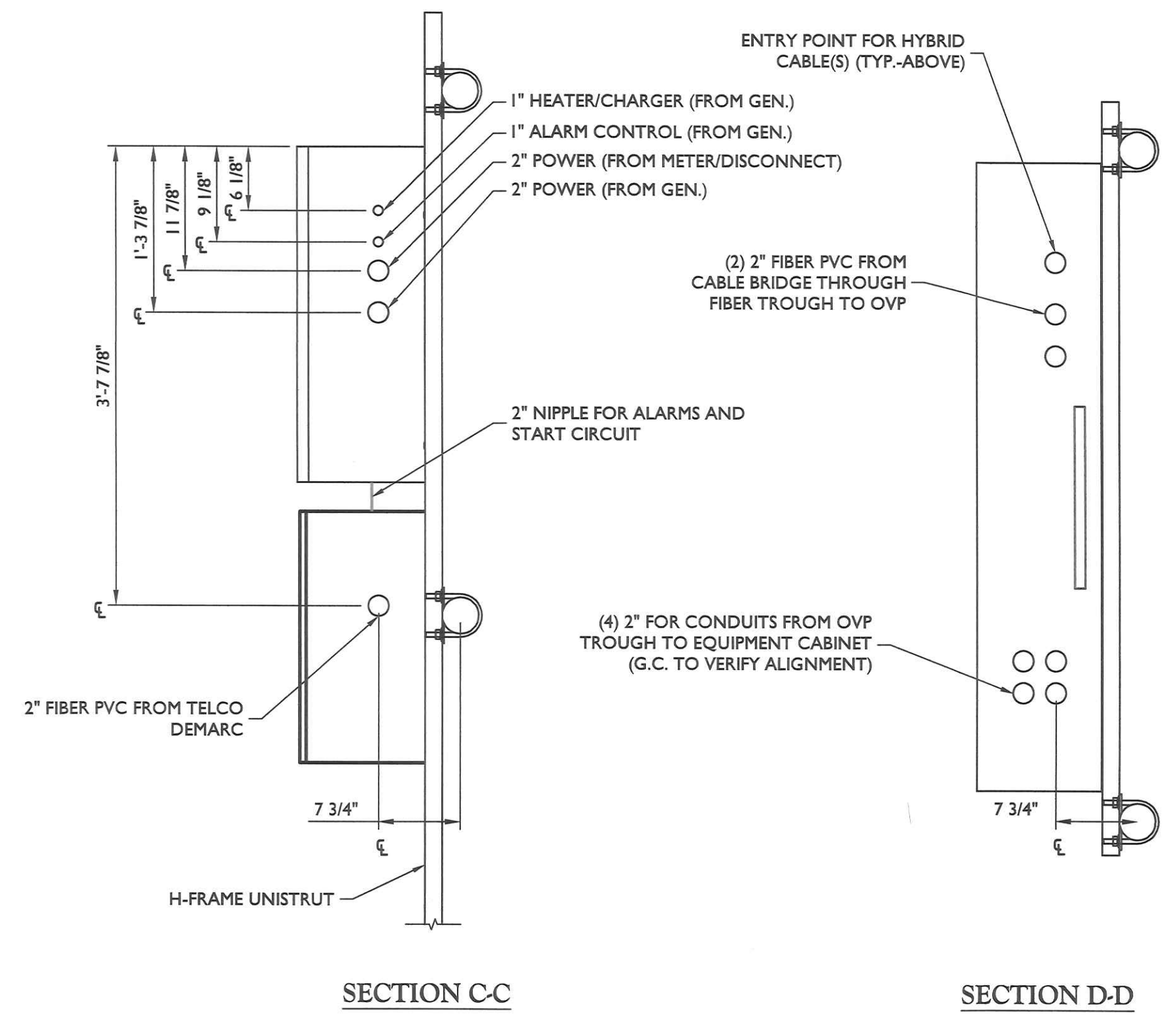
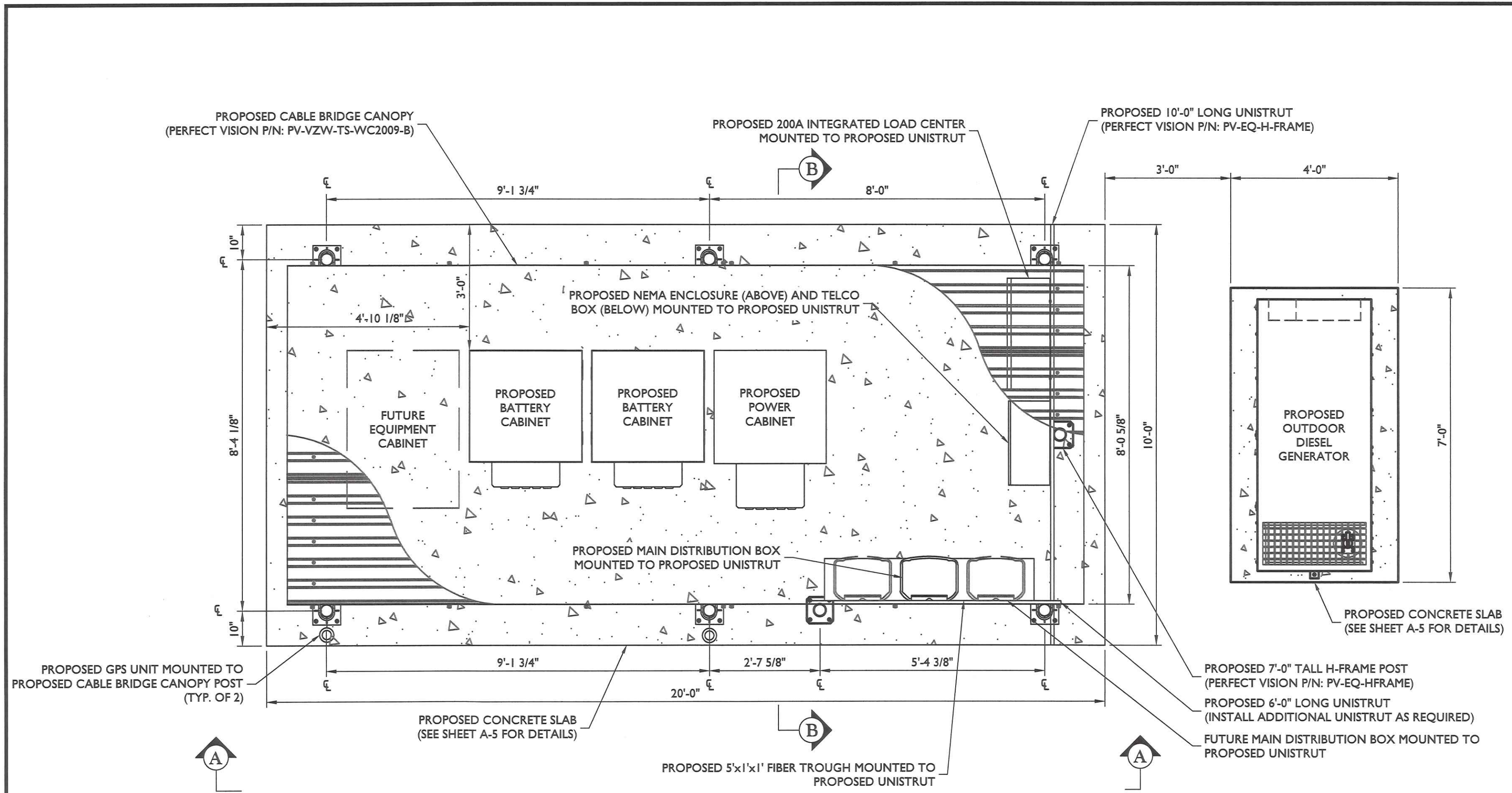
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**COMPOUND PLAN AND ELEVATION VIEW**

SHEET NUMBER: **Z-4**

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**CONSTRUCTION DETAILS**

**A-1**

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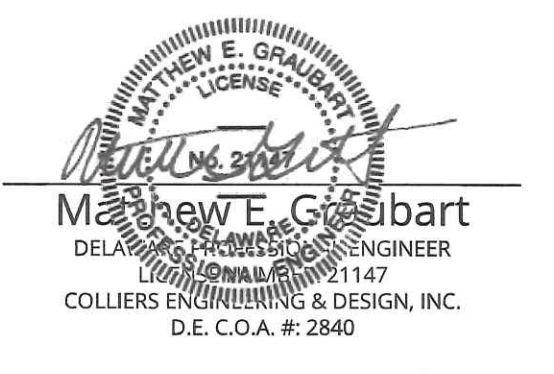


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0	10/10/23	ISSUED FOR ZONING	RMD / MEG
A	09/21/23	ISSUED FOR REVIEW	RMD / MEG



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SITE NAME:

DOV RED BARN  
EMORY WALLS ROAD  
GEORGETOWN, DE 19947  
SUSSEX COUNTY

**Colliers** Engineering & Design  
MT. LAUREL  
2000 Midlantic Drive, Suite 100  
Mt. Laurel, NJ 08054  
Phone: 856.757.0412  
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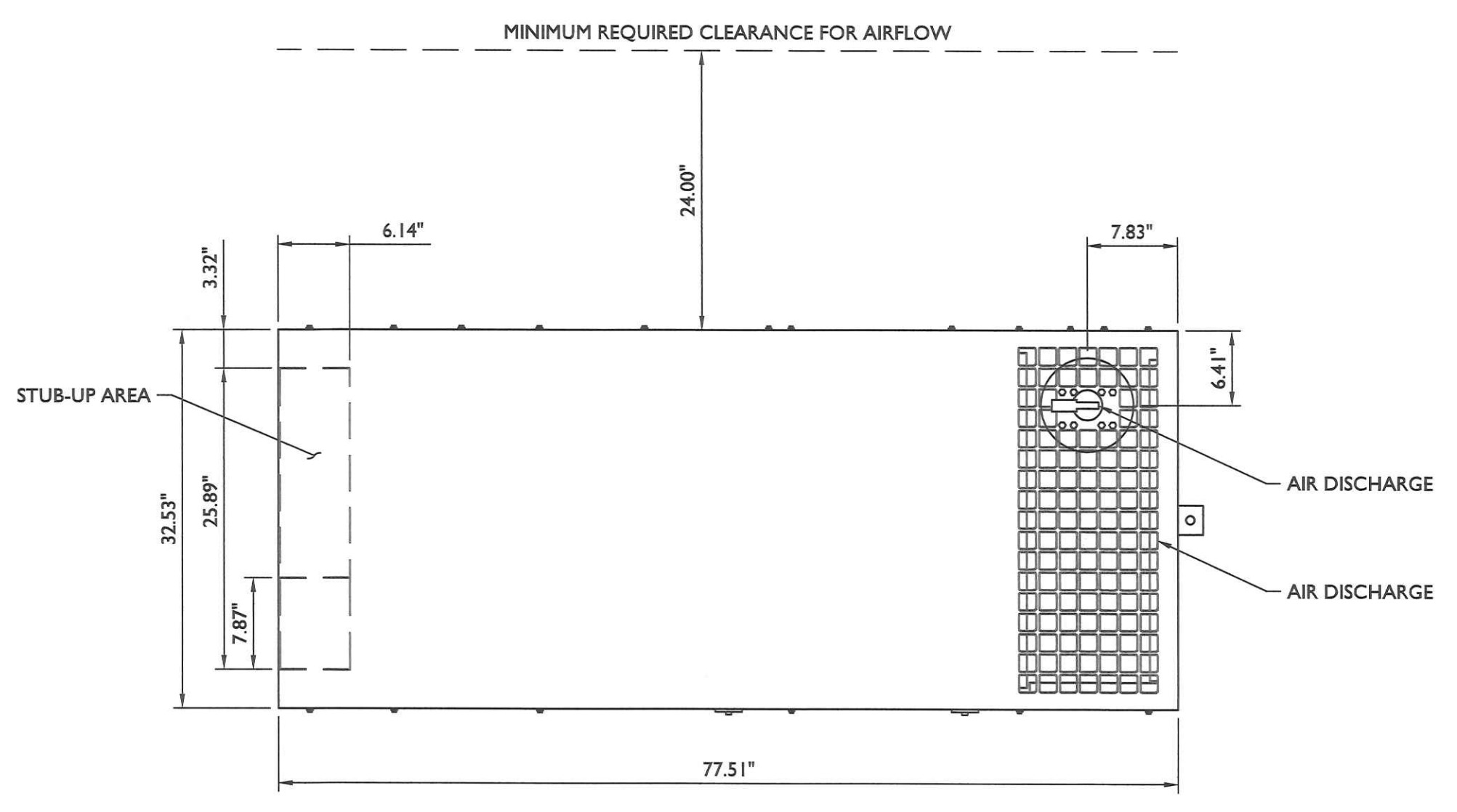
SHEET TITLE:  
**CONSTRUCTION DETAILS**

SHEET NUMBER:  
**A-2**

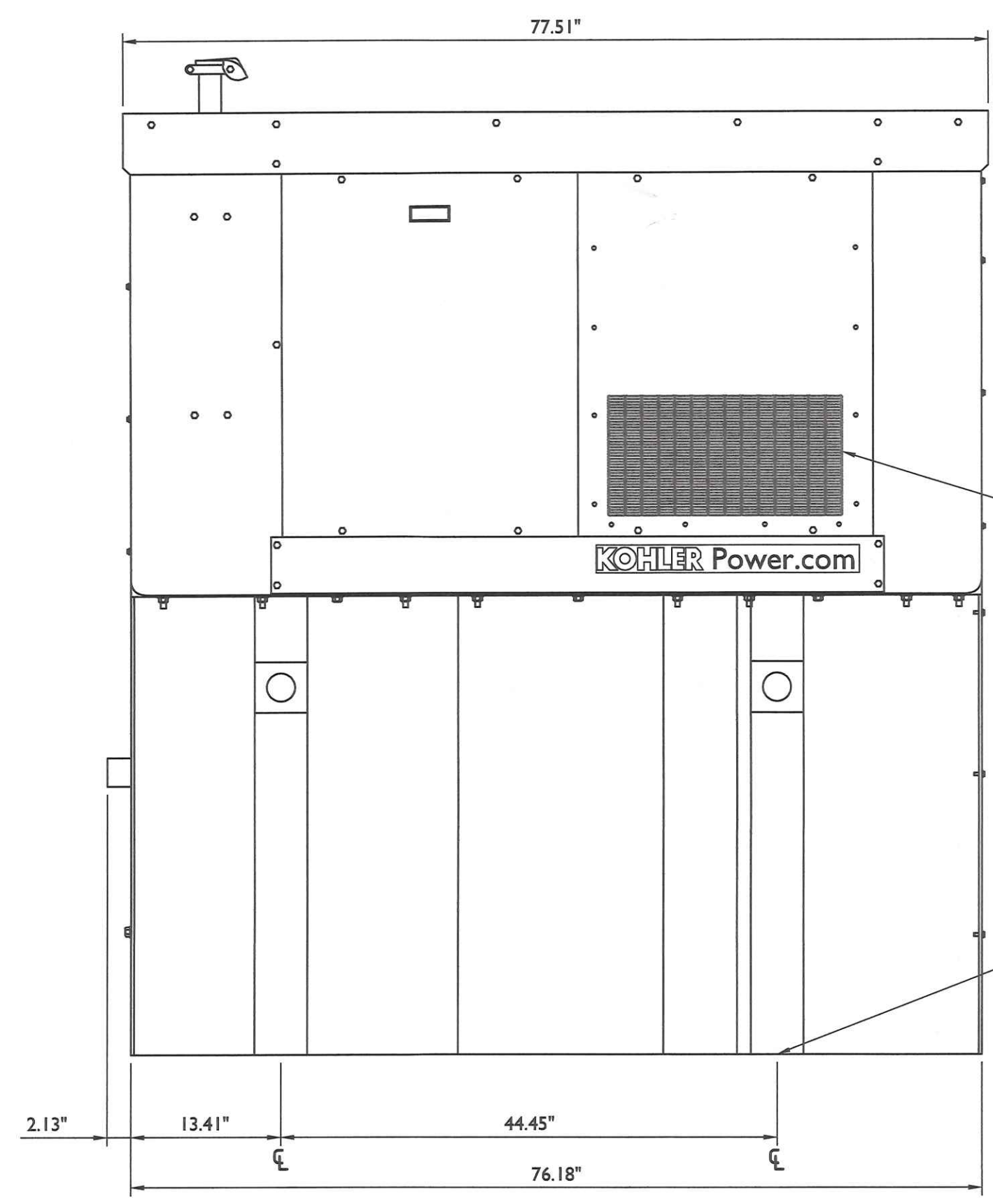
NOTES:

1. THE RIGHT SIDE OF THE GENERATOR IS SERVICE ACCESSIBLE.
2. 6 AMP BATTERY CHARGER.
3. 120VAC ENGINE BLOCK HEATER.
4. GENERATOR MUST BE GROUNDED.
5. SOUND ATTENUATED ENCLOSURE STANDARD WITH GENERATOR.
6. MUST ALLOW FREE FLOW OF DISCHARGE AIR AND EXHAUST.
7. MUST ALLOW FREE FLOW OF AIR INTAKE.
8. EASY ACCESS SERVICE PANEL IS LOCATED ON THE RIGHT SIDE OF THE GENERATOR ONLY.
9. BASE TANK REQUIRES ALL STUB-UPS TO BE IN THE REAR TANK STUB-UP AREA.
10. SEE TABLE FOR SUB-BASE FUEL TANK CAPACITY.
11. TANK EQUIPPED WITH FIRE SAFETY VALVE ON FUEL SUPPLY LINE.
12. IT IS THE RESPONSIBILITY OF THE INSTALLATION TECHNICIAN TO ENSURE THAT THE GENERATOR INSTALLATION COMPLIES WITH ALL APPLICABLE CODES, STANDARDS AND REGULATIONS.
13. GENERATOR IS INSTALLED ON UL-142 RATE DOUBLE WALL SUB-BASE FUEL TANK.
14. 65.4 dBA @ 23 FT (7 M) @ 100% LOAD WITH SOUND ENCLOSURE.

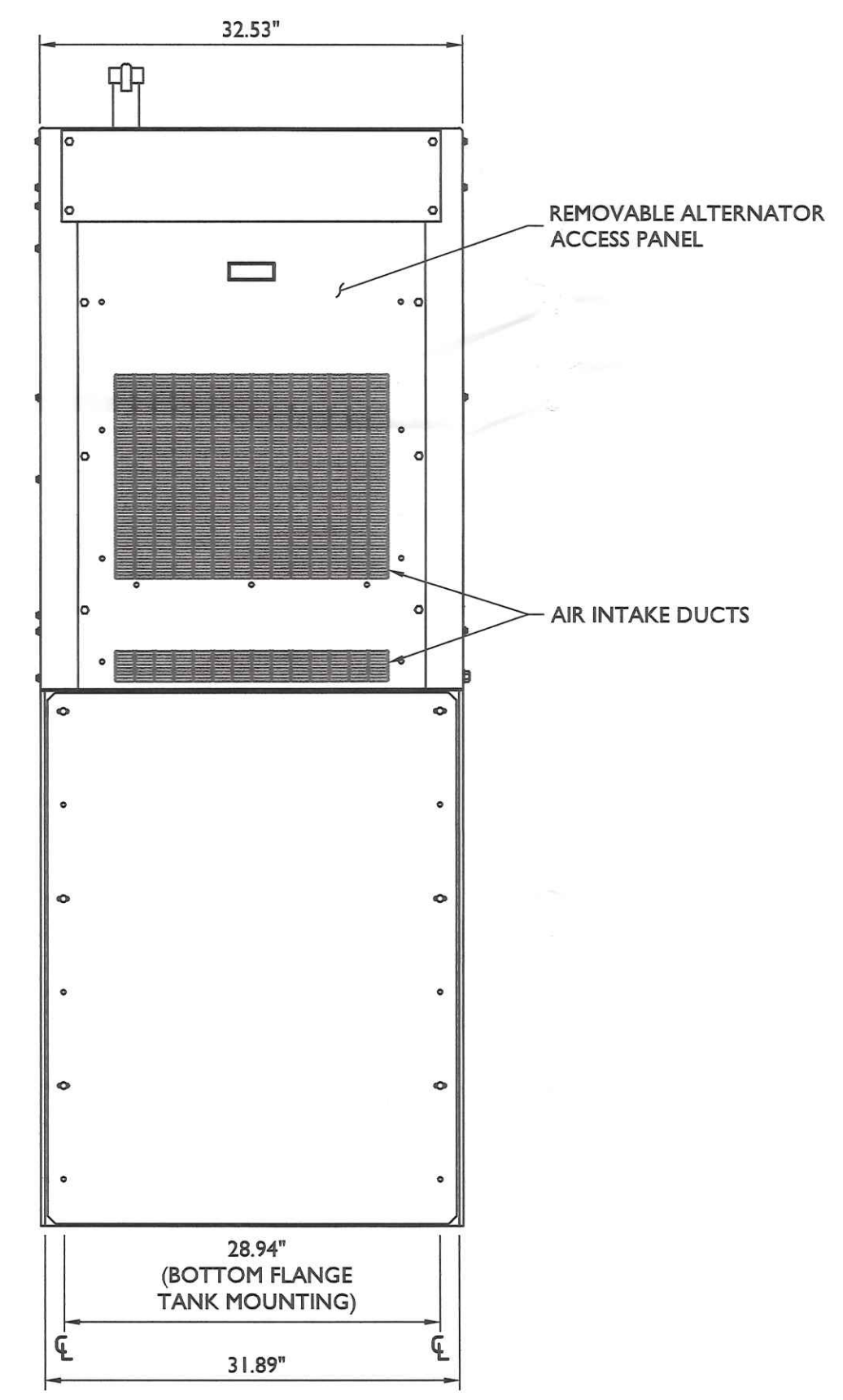
GENSET	TANK P/N	TANK HEIGHT (A)	DESCRIPTION	ASSEMBLY WEIGHT
30REOZK	GM97093-MA2	41.0"	SKID/TANK, 203 GAL	2,114 LBS



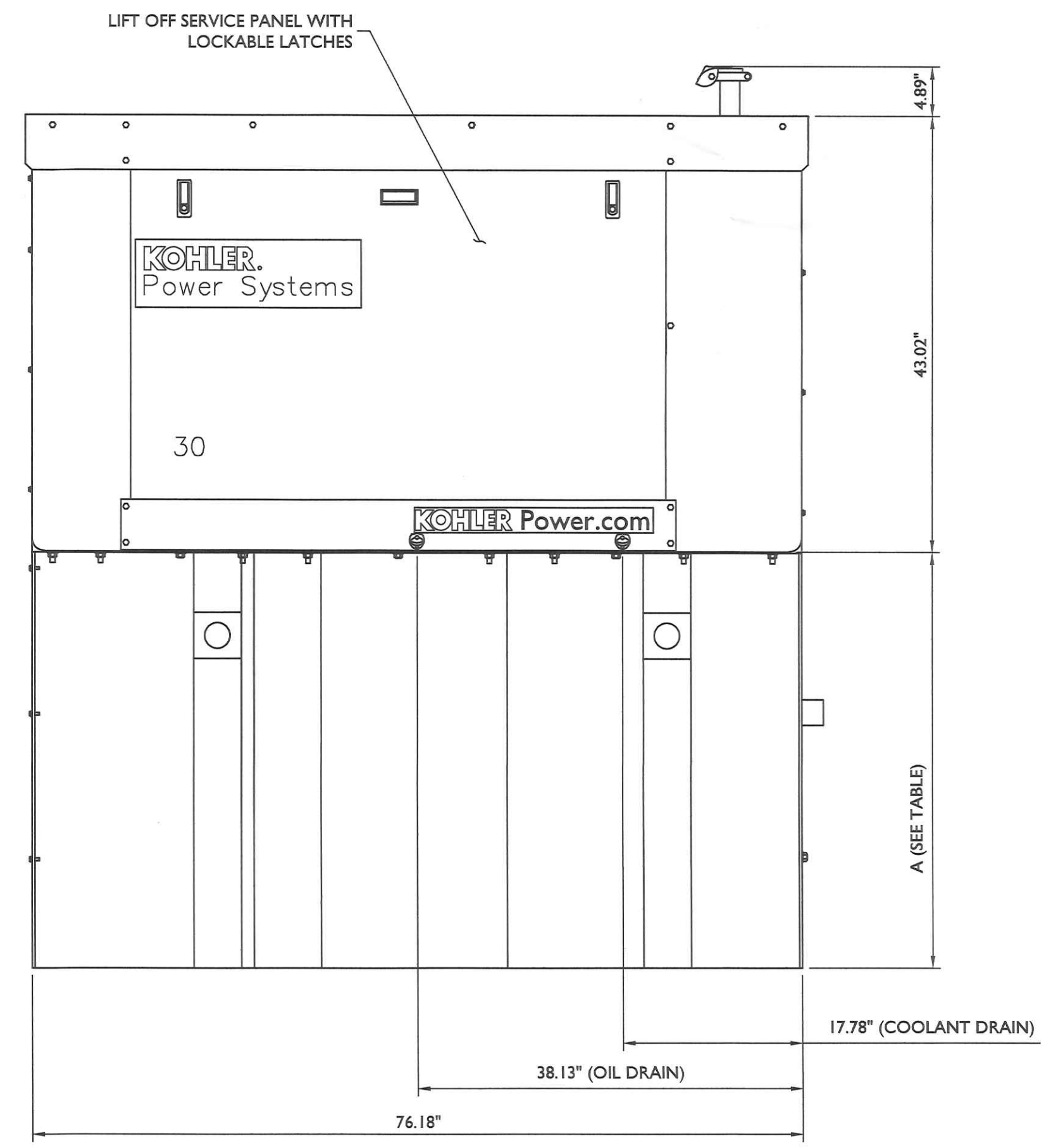
TOP VIEW



LEFT SIDE VIEW



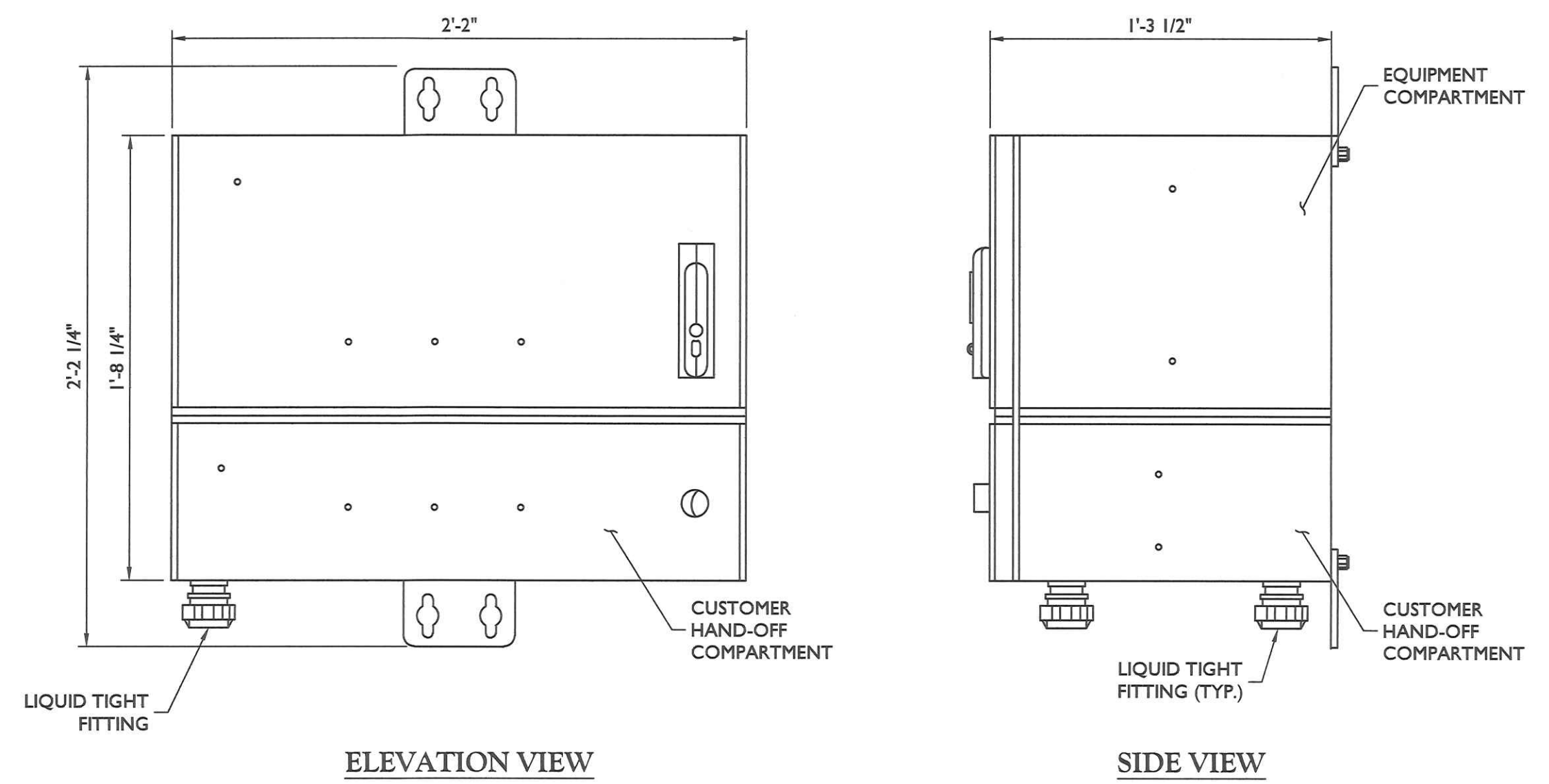
REAR VIEW



RIGHT SIDE VIEW (SERVICE SIDE)

**DIESEL SOUND ENCLOSURE WITH LIFT OFF PANEL**  
**30kW KOHLER DIESEL GENERATOR DETAIL**  
NOT TO SCALE

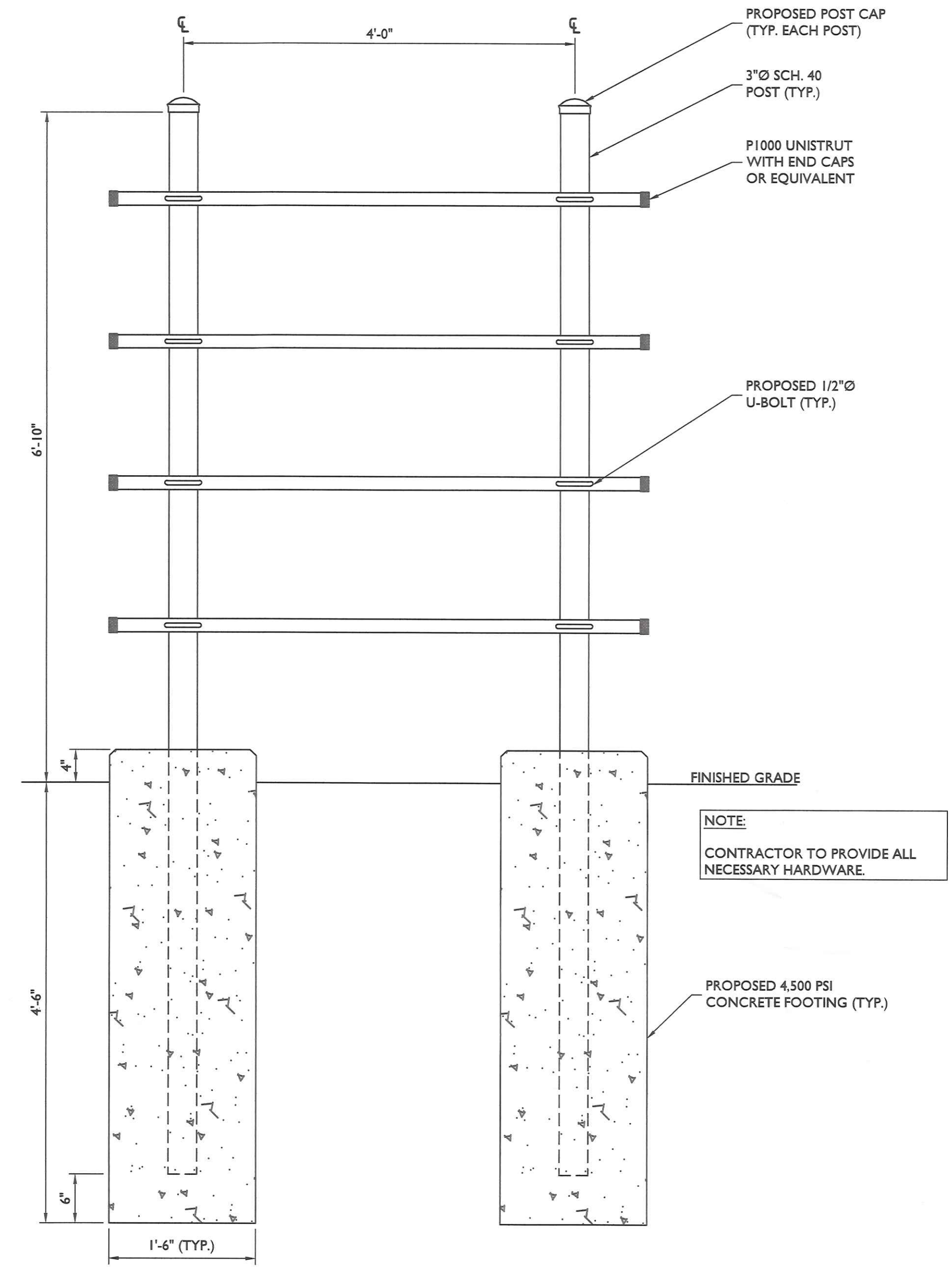




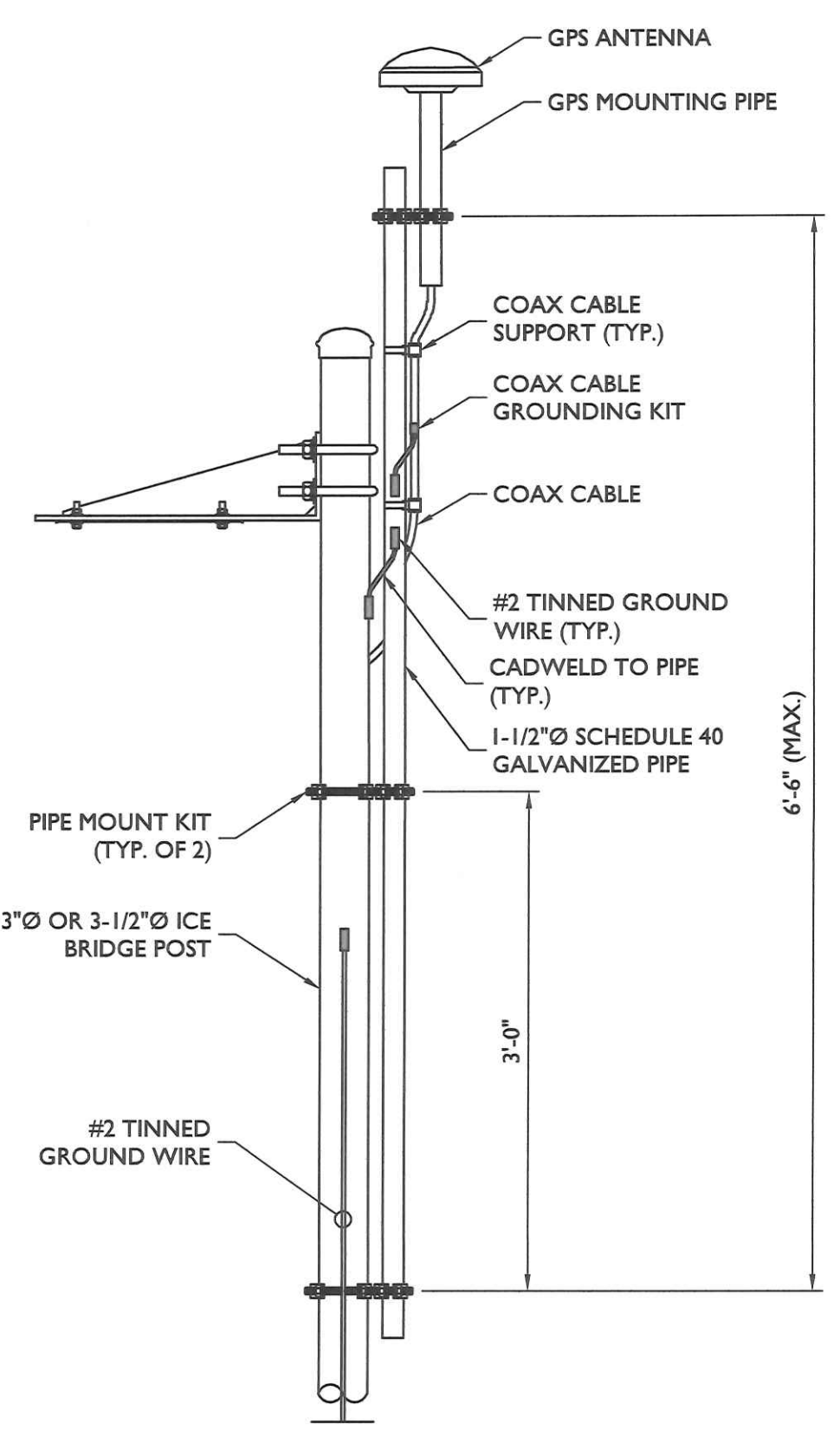
ELEVATION VIEW

SIDE VIEW

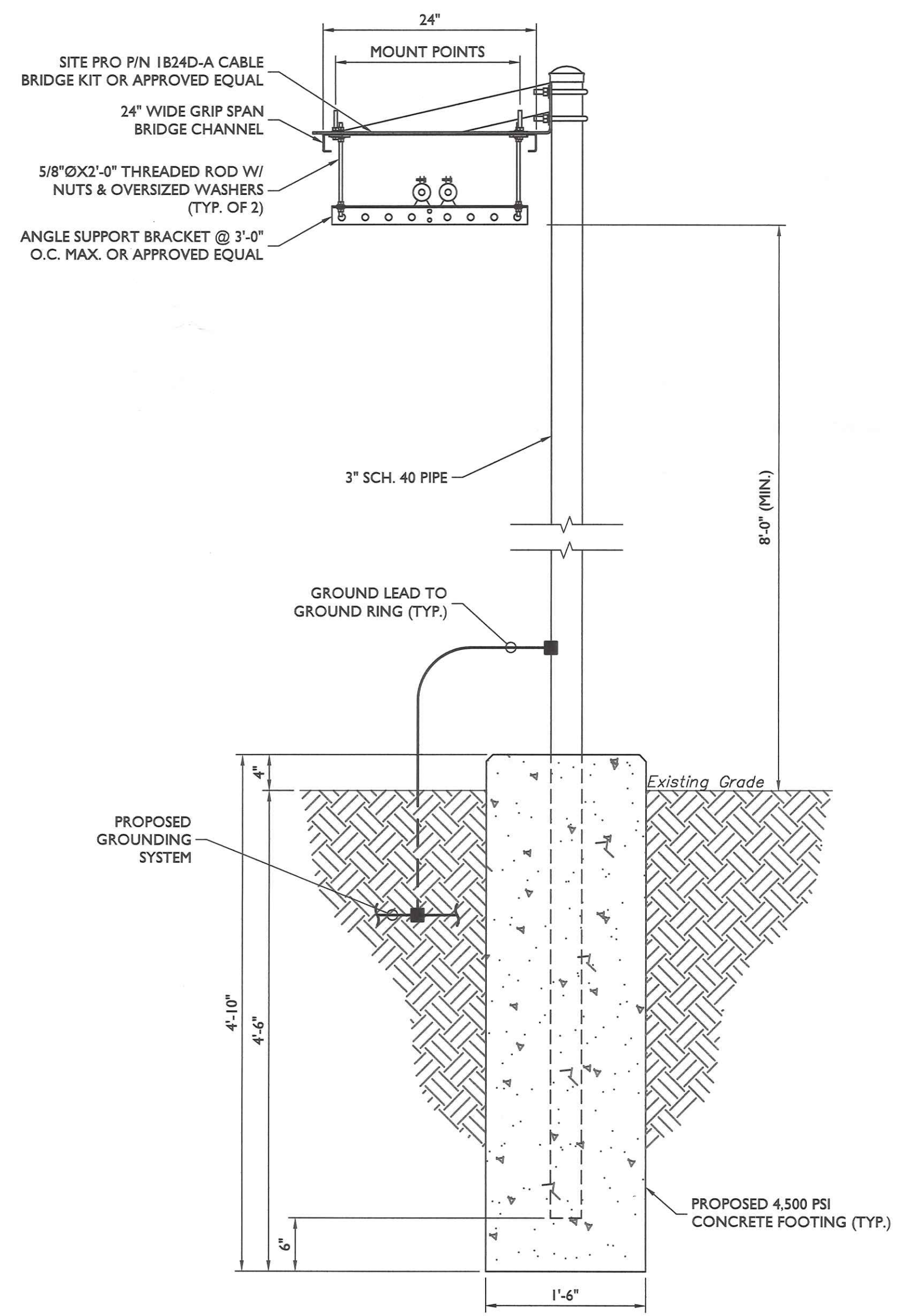
**CHARLES INDUSTRIES RL2000A CUBE**  
NOT TO SCALE



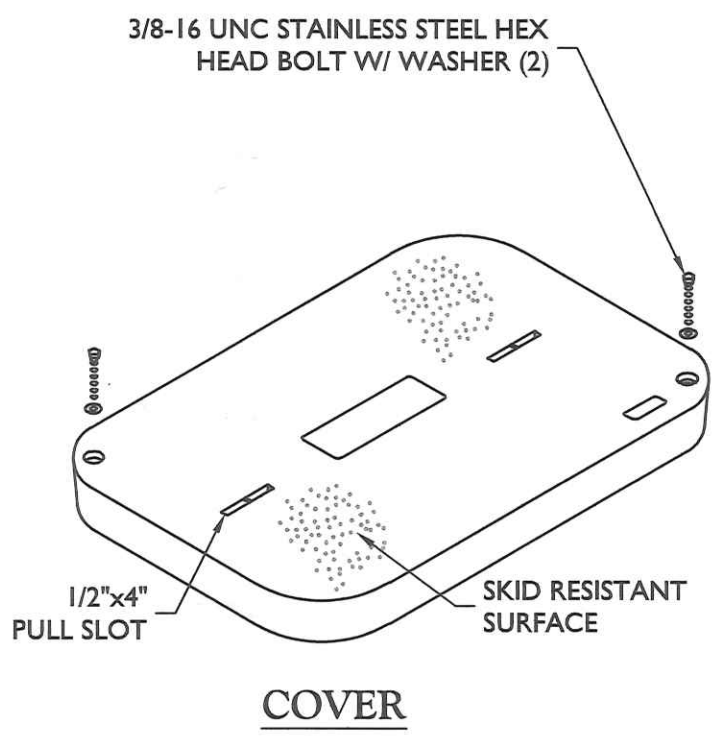
**BACKBOARD DETAIL**  
NOT TO SCALE



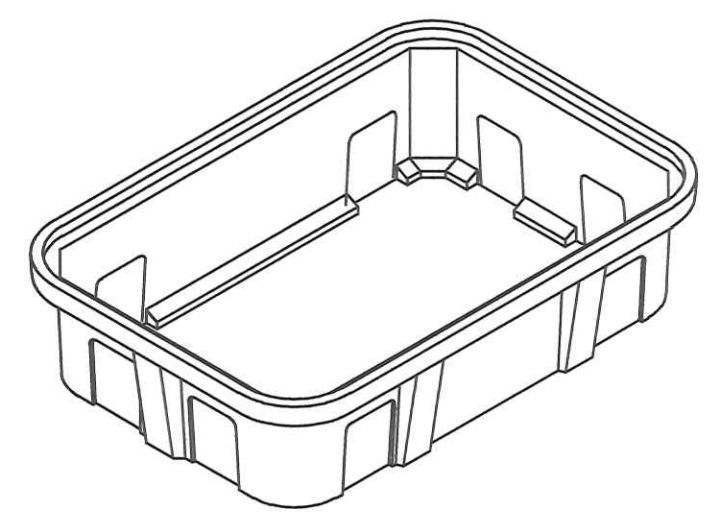
**GPS MOUNTING DETAIL**  
NOT TO SCALE



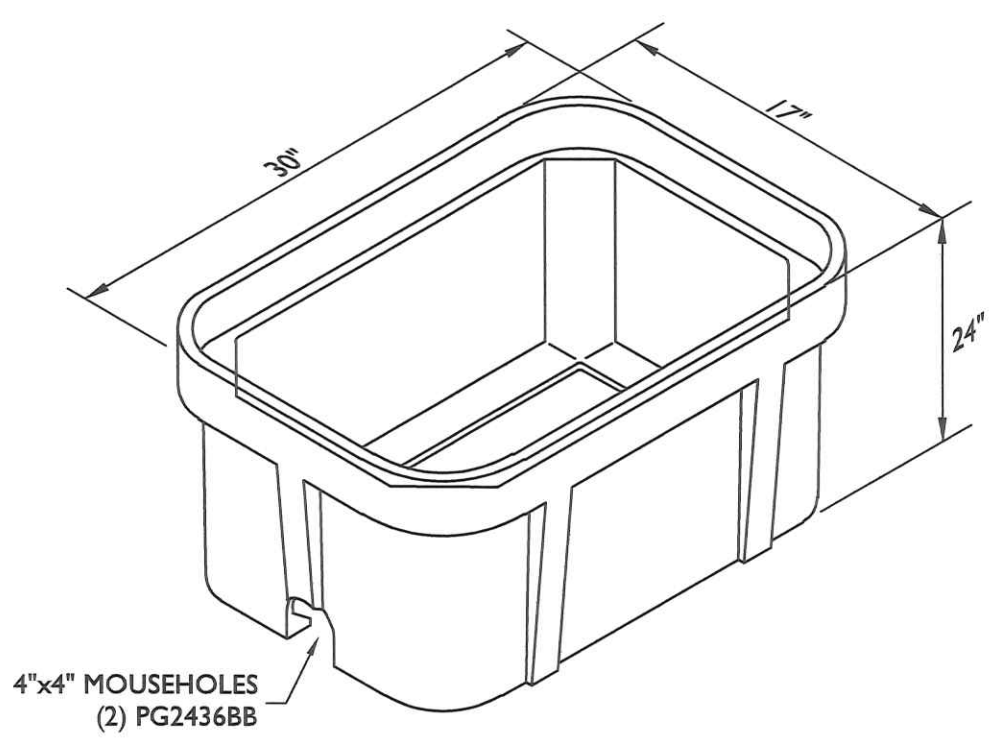
**CABLE BRIDGE DETAIL**  
NOT TO SCALE



**COVER**



**EXTENSION**



**BOX**

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A	09/21/23	ISSUED FOR REVIEW	RMD	MEG

**Matthew E. Gribart**  
REGISTERED PROFESSIONAL ENGINEER  
DELAWARE LICENSE # 21147  
COLLIERS ENGINEERING & DESIGN, INC.  
D.E. C.O.A. #: 2840

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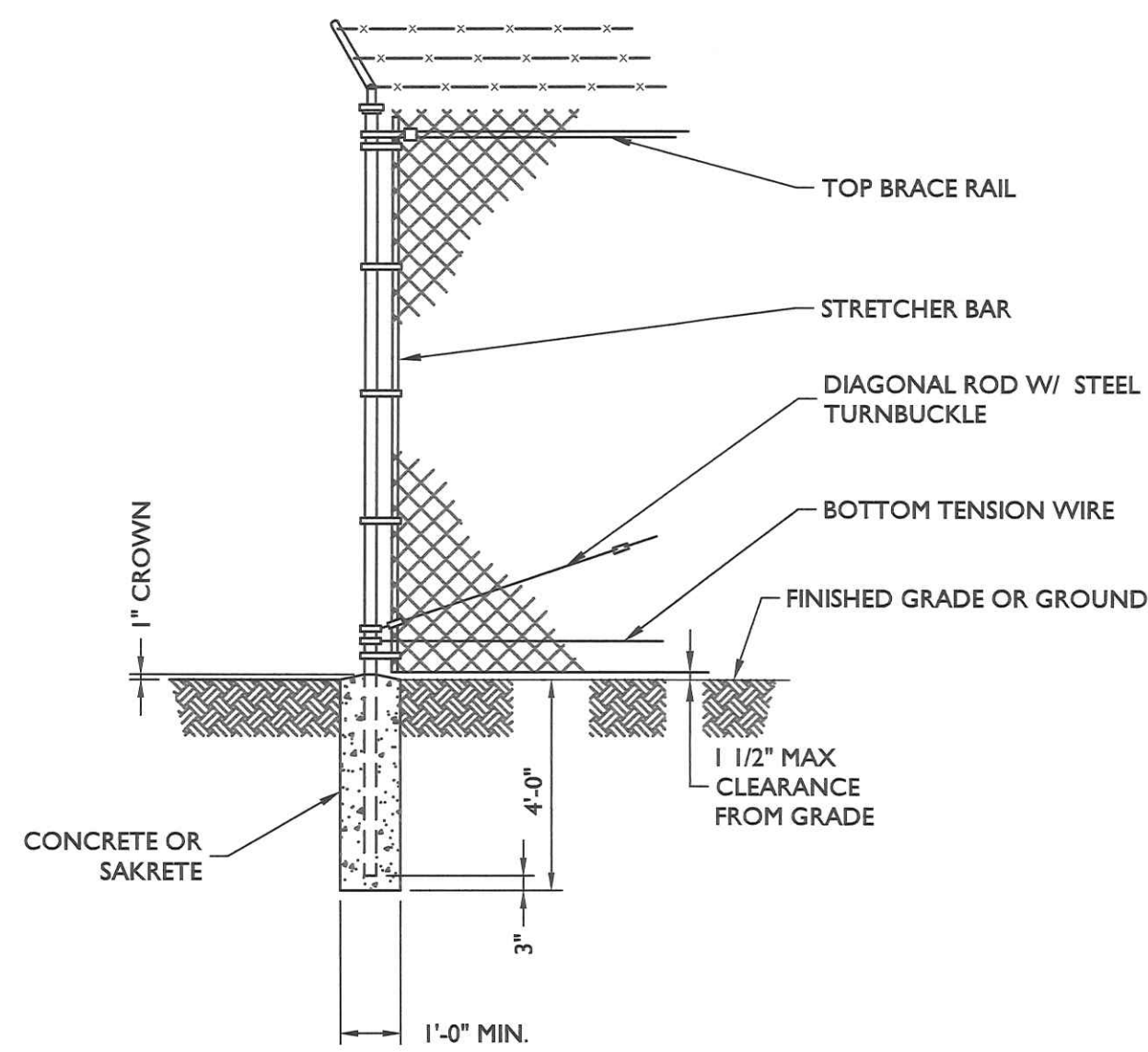
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SHEET TITLE:  
**CONSTRUCTION DETAILS**

SHEET NUMBER:  
**A-3**

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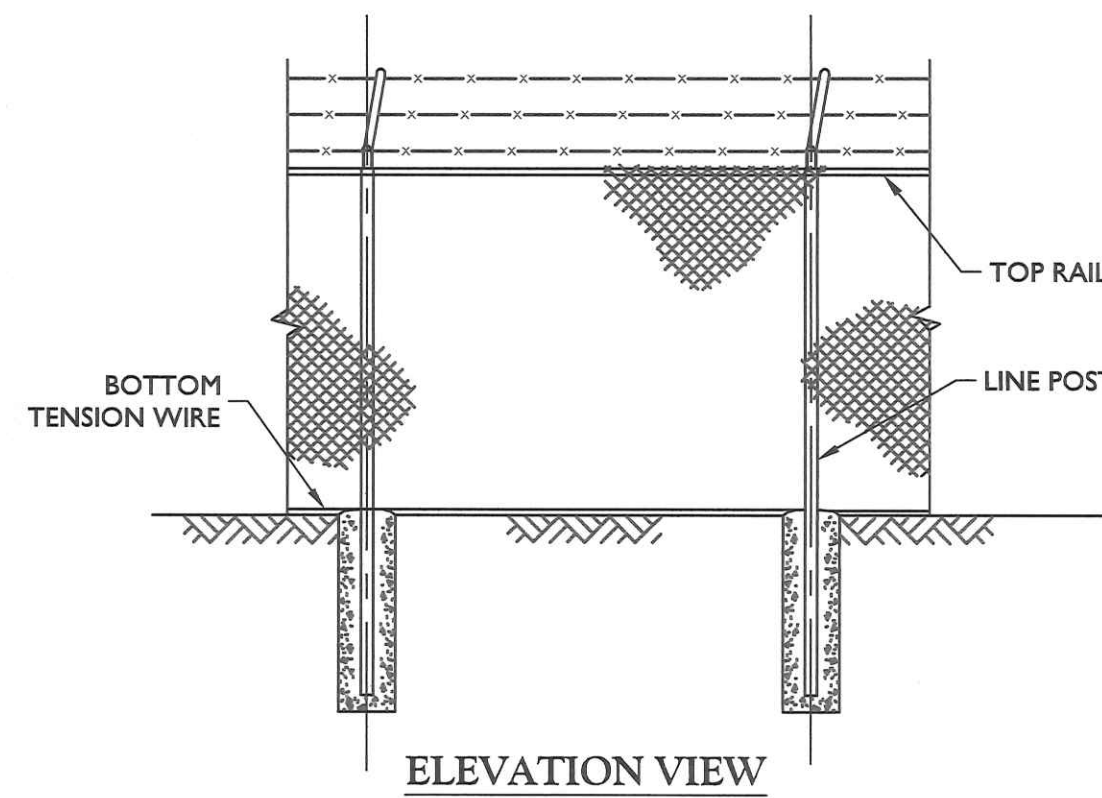




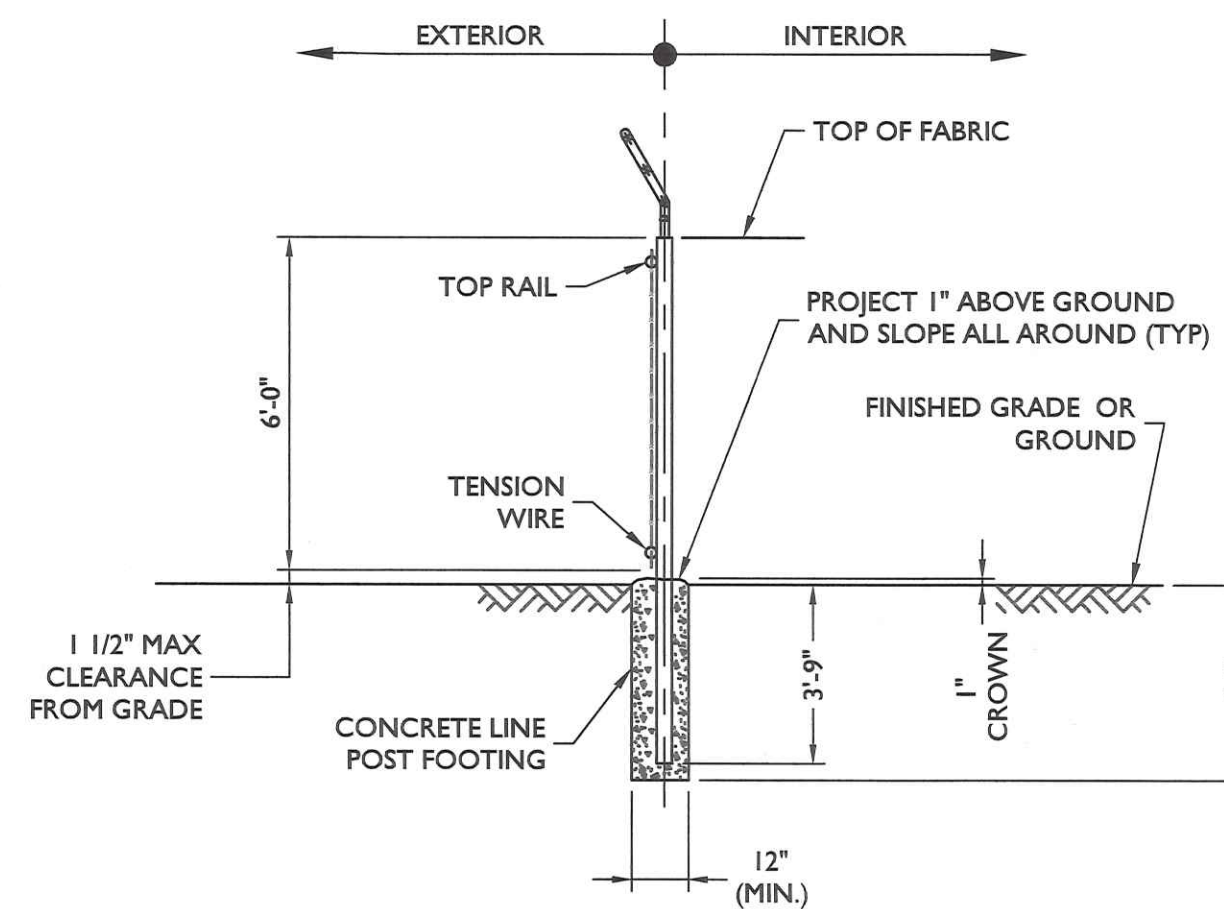
**WOVEN WIRE CORNER, GATE, END, OR PULL POST**  
NOT TO SCALE

**FENCE NOTES:**

1. GATE POST, CORNER, TERMINAL OR PULL POST SHALL BE 3"Ø SCHEDULE 40 FOR GATE WIDTHS UP THROUGH 7 FEET OR 14 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.
2. LINE POST: 2-3/8"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
3. GATE FRAME: 1 1/2"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
4. TOP RAIL & BRACE RAIL: 1 1/4"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
5. FABRIC: 9 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392 CLASS 1.
6. TIE WIRE: MINIMUM 11 GA GALVANIZED STEEL. INSTALL A SINGLE WRAP TIE WIRE AT POSTS AND RAILS AT MAX. 24" INTERVALS. INSTALL HOG RINGS ON TENSION WIRE AT 24" INTERVALS.
7. TENSION WIRE: 7 GA. GALVANIZED STEEL.
8. BARBED WIRE: 3 STRANDS OF DOUBLE STRANDED 12-1/2 GAUGE TWISTED WIRE, 4 FT. BARBS SPACED ON APPROXIMATELY 5" CENTERS.
9. GATE LATCH: 1-3/8" O.D. PLUNGER ROD W/ MUSHROOM TYPE CATCH AND LOCK.
10. LOCAL ORDINANCE FOR BARBED WIRE PERMIT SHALL GOVERN INSTALLATION.
11. HEIGHT = 6'-0" VERTICAL DIMENSION WITH 1'-0" BARBED WIRE.
12. ALL WORK SHALL CONFORM WITH THE PROJECT SPECIFICATIONS.

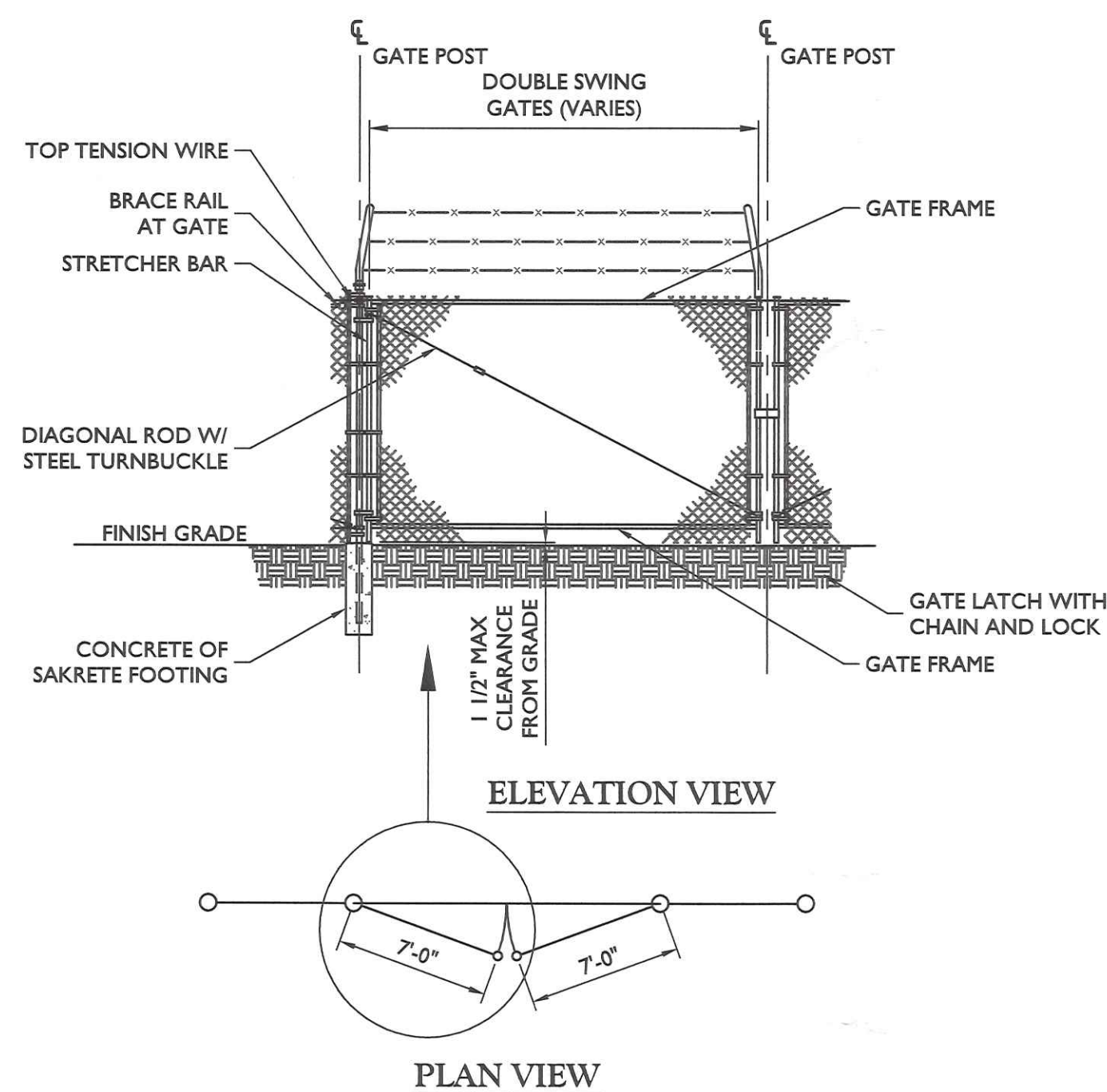


**ELEVATION VIEW**



**SECTION VIEW**

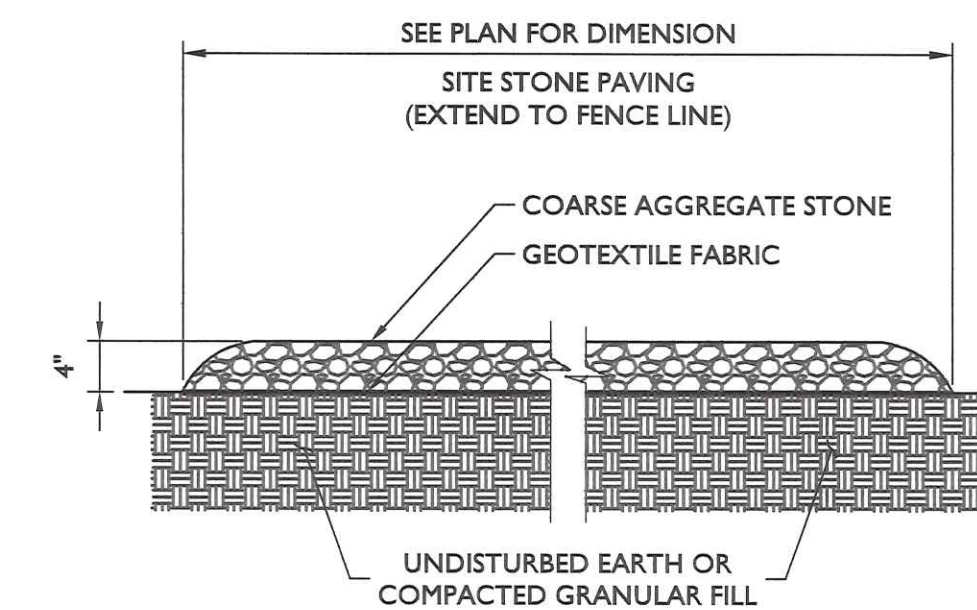
**WOVEN WIRE FENCE DETAIL**  
NOT TO SCALE



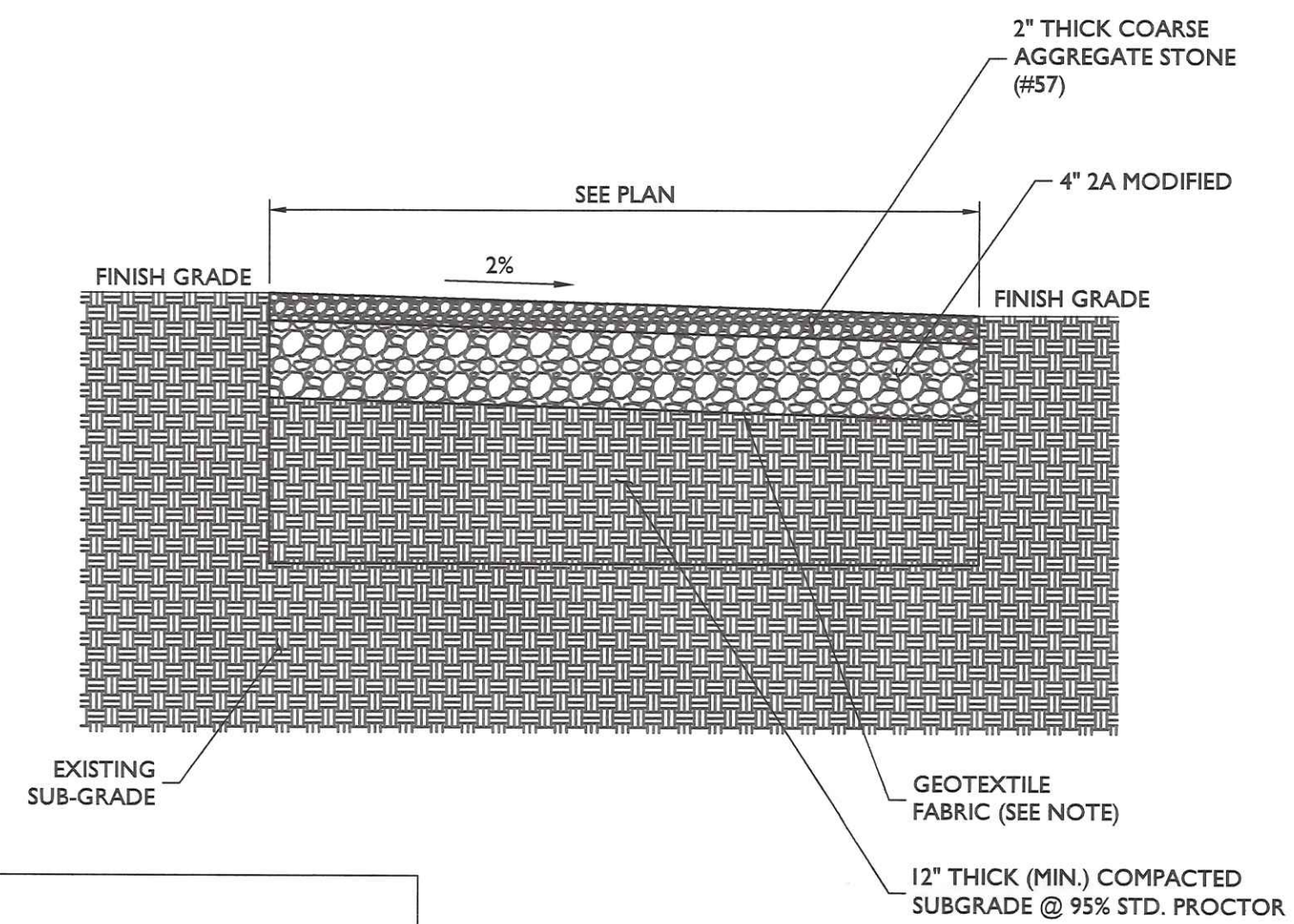
**ELEVATION VIEW**

**PLAN VIEW**

**WOVEN WIRE SWING GATE, DOUBLE**  
NOT TO SCALE

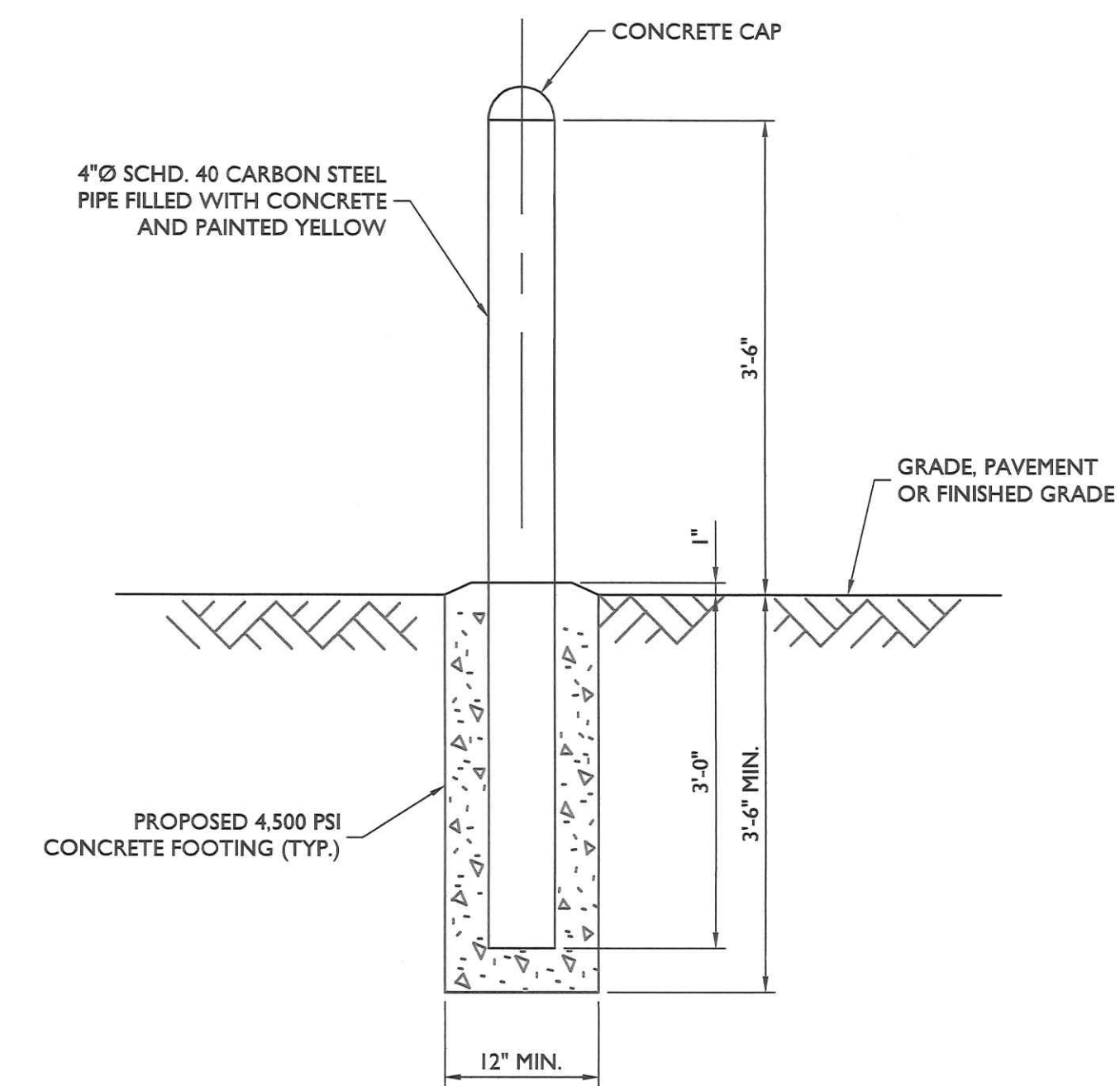


**GRAVEL SURFACING**  
NOT TO SCALE



**NOTE:**  
GEOTEXTILE FABRIC IS TO BE MIRAFI 500X  
WOVEN WIRE FABRIC OR APPROVED EQUAL.

**GRAVEL DRIVEWAY SURFACING**  
NOT TO SCALE



**BOLLARD DETAIL**  
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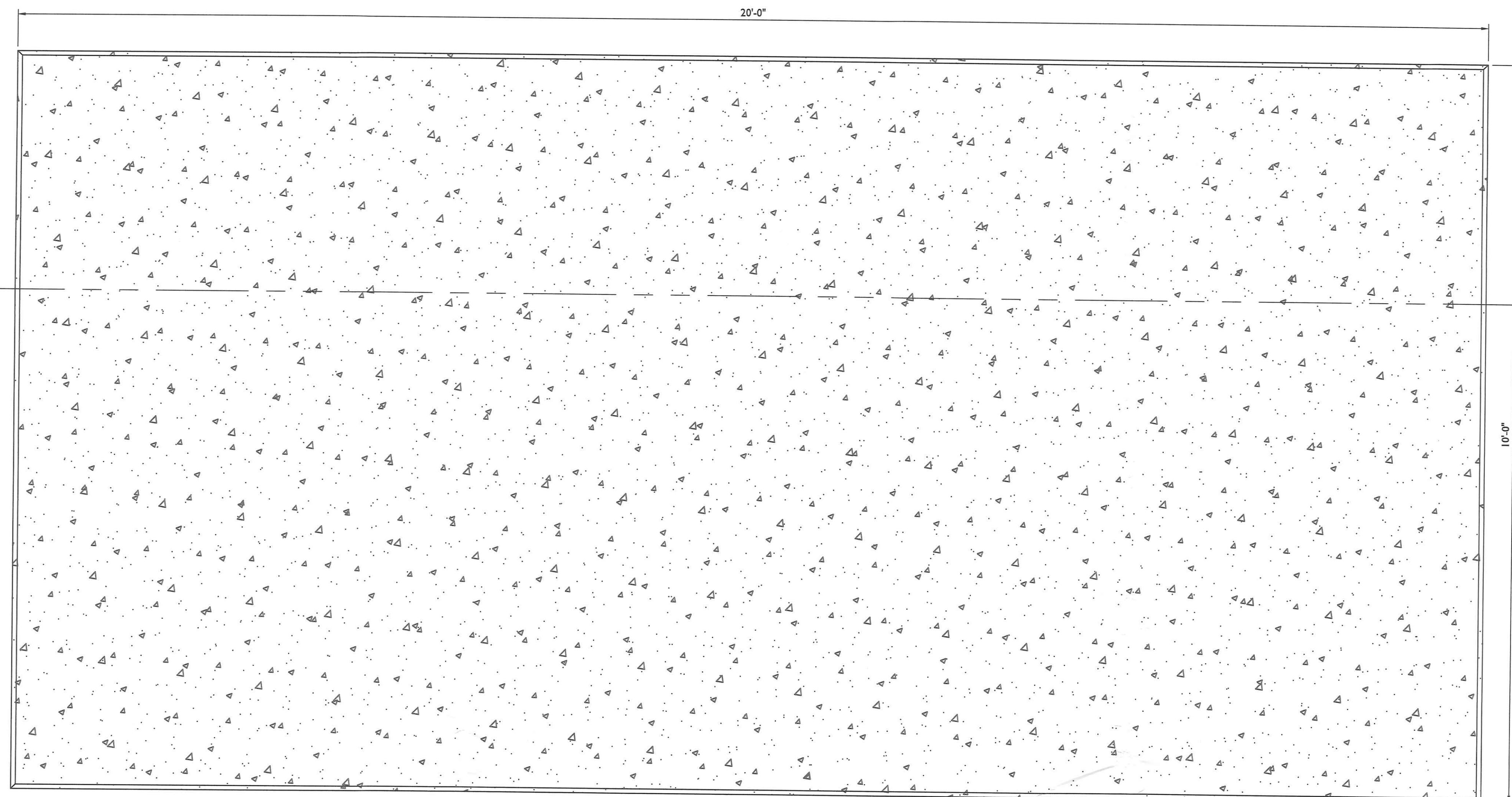
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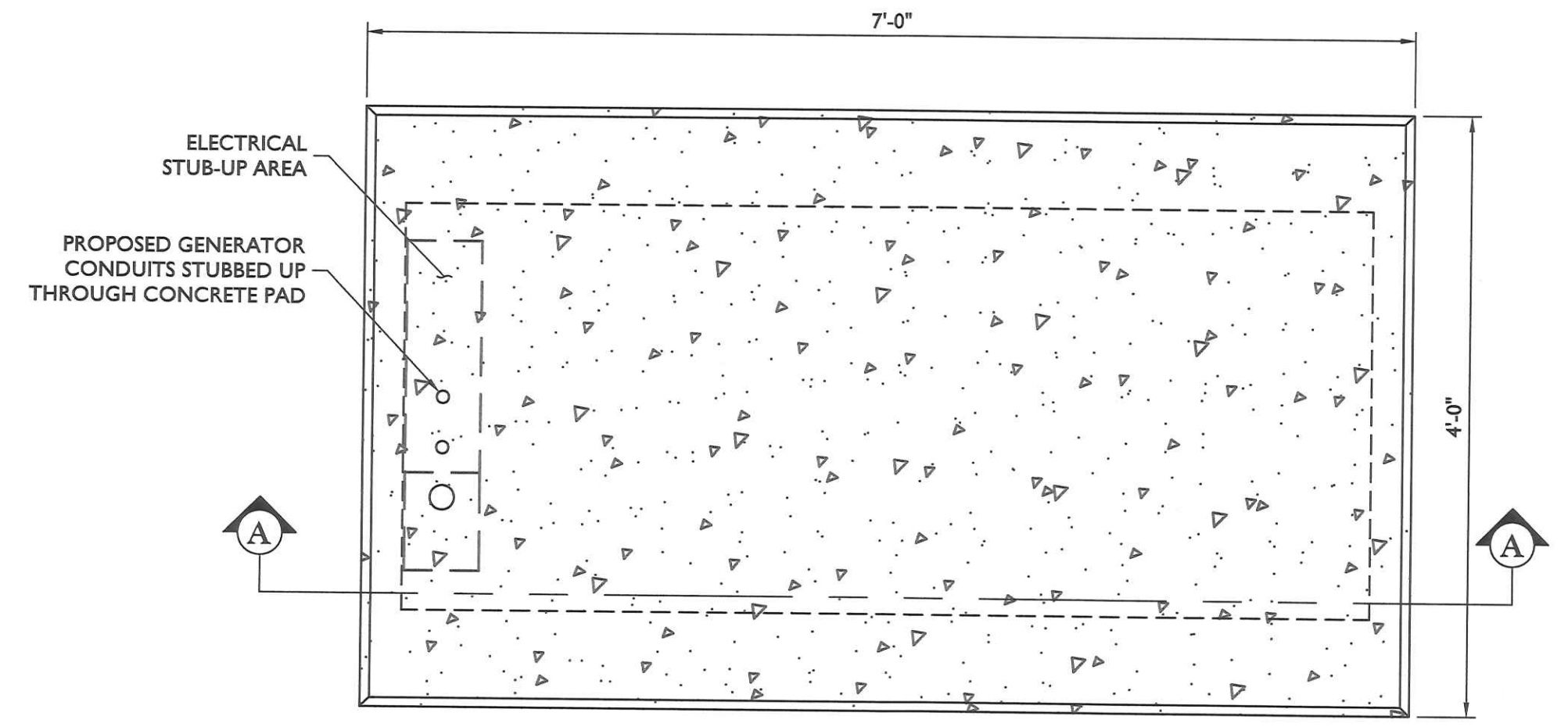
**A-4**

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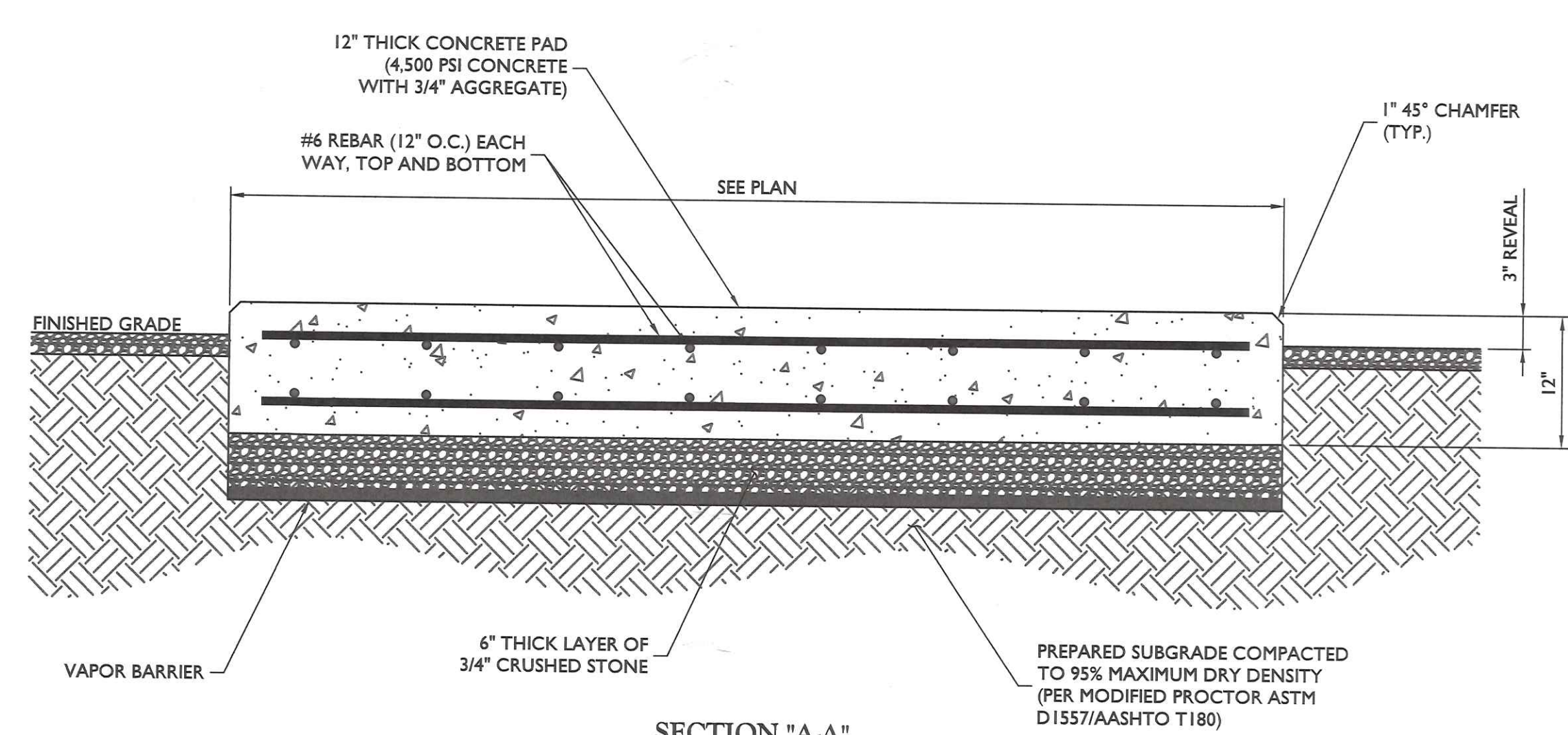




EQUIPMENT



GENERATOR



CONCRETE EQUIPMENT PAD DETAILS  
NOT TO SCALE

**CONCRETE NOTES:**

**DESIGN INFORMATION:**

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336A, ASTM A184, ASTM A185 AND THE DESIGN & CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. THE DESIGN SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE AS SHOWN ON SHEET T-1.

**EARTHWORK:**

1. FOUNDATIONS HAVE BEEN DESIGNED TO BEAR ON (UNDISTURBED RESIDUAL SOILS/COMPACTED STRUCTURAL FILL), CAPABLE OF SAFELY SUPPORTING AN ALLOWABLE BEARING PRESSURE OF 1,500 PSF. IF FOUNDATION CONDITIONS PROVE UNACCEPTABLE AT ELEVATIONS SHOWN, EXCAVATION SHALL BE CARRIED DEEPER AND SHALL BE BACKFILLED WITH LEAN CONCRETE TO PLAN FOOTING BOTTOM, OR REDESIGN OF FOUNDATIONS WILL BE REQUIRED AT THE DIRECTION OF THE ENGINEER.
2. DESIGN FURNISH AND INSTALL TEMPORARY SHEETING, SHORING, AND DRAINAGE TO MAINTAIN THE EXCAVATION AND PROTECT SURROUNDING STRUCTURES AND UTILITIES.
3. THOROUGHLY COMPACT ALL BOTTOM OF FOOTINGS PRIOR TO PLACING ANY CONCRETE.

**CONCRETE:**

1. FORMWORK
  - 1.a. CONCRETE CONSTRUCTION SHALL CONFORM TO "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS." (ACI 301-89).
  - 1.b. FORMWORK SHALL CONFORM TO ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
2. REINFORCEMENT
  - 2.a. REINFORCING STEEL ASTM A615, GRADE 60, WELDED WIRE ASTM A185 (FLAT SHEET), LAPS 40 BAR DIAMETERS UNLESS NOTED. BARS SHALL BE SECURELY HELD IN ACCURATE POSITION BY SUITABLE ACCESSORIES, TIE BARS, SUPPORT BARS, ETC. HOOK LENGTHS SHALL BE 12 BAR DIAMETERS.
  - 2.b. CONCRETE COVER FOR REINFORCING BARS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED.
    - 2.b.1. FOOTINGS AND SLABS CAST AGAINST GROUND: 3"
    - 2.b.2. CONCRETE TO BE IN CONTACT WITH GROUND OR WEATHER AT BARS GREATER THAN 5": 2"
    - 2.b.3. AT BARS #5 OR LESS: 1 1/2"
    - 2.b.4. CONCRETE NOT TO BE EXPOSED TO GROUND OR WEATHER BEAMS, GIRDERS, AND COLUMNS: 1 1/2"
    - 2.b.5. SLABS AND WALLS: 3/4"
  - 2.c. CAST IN PLACE CONCRETE
    - 2.c.1. MINIMUM 28 DAY CYLINDER STRENGTH AND MAXIMUM SLUMP, PRIOR TO ADDITION OF SUPER PLASTICIZERS, AS FOLLOWS:
      - 2.c.1.1. CLASS I FOOTINGS: 4500 PSI 3"
      - 2.c.1.2. CLASS III INTERIOR ELEVATED SLABS AND WALLS: 4000 PSI 4"
      - 2.c.1.3. CLASS V OTHER WORK: 4000 PSI 4"
      - 2.c.1.4. CLASS VI LEAN CONCRETE FOR OVEREXCAVATION OF FOUNDATIONS: 2000 PSI N/A
    - 2.c.2. MIX DESIGN TO BE IN ACCORDANCE WITH ACI 318, CHAPTER 5. NO CALCIUM CHLORIDE ADMIXTURE CONTAINING CHLORIDES SHALL BE USED IN ANY CONCRETE
    - 2.c.3. COARSE AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL CONFORM TO ASTM C33 SIZE #57. COARSE AGGREGATE FOR LIGHTWEIGHT CONCRETE SHALL CONFORM TO ASTM C330 GRADED 3/4" TO 1 1/4".
    - 2.c.4. COLD WEATHER PLACEMENT SHALL COMPLY WITH ACI 306.1
    - 2.c.5. HOT WEATHER PLACEMENT SHALL COMPLY WITH ACI 305 R.
    - 2.c.6. CHAMFER ALL EXPOSED EDGES 3/4"
    - 2.c.7. THE MAXIMUM TEMPERATURE OF ALL CONCRETE AT DELIVERY TO THE SITE SHALL BE 85°F
    - 2.c.8. TOTAL DELIVERY TIME SHALL BE LESS THAN 75 MINUTES.

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**Matthew E. Gasbarr**  
DELAWARE PROFESSIONAL ENGINEER  
COLLIERS ENGINEERING & DESIGN, INC.  
D.E. C.O.A. # 2840

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CONSTRUCTION DETAILS

SHEET NUMBER:  
A-5

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10/23/23 8:50:00 PM Red Barn-23 Rev 02.mxd By: MEGANBART



RECEIVED

OCT 31 2023

SUSSEX COUNTY  
PLANNING & ZONING

### Board of Adjustment Application Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

Case # 12889  
Hearing Date 12/10/23  
202315208

Type of Application: (please check all applicable)

Variance   
Special Use Exception   
Administrative Variance   
Appeal

Existing Condition   
Proposed   
Code Reference (office use only)  
\_\_\_\_\_  
\_\_\_\_\_

Site Address of Variance/Special Use Exception:

27626 THISTLE LANE MILLS BORO DE.

Variance/Special Use Exception/Appeal Requested:

14 FOOT FRONT VARIANCE  
REAR ~~14~~ VARIANCE

Tax Map #: 234-29-00-189-00

Property Zoning: GR

#### Applicant Information

Applicant Name: ABRAHAM L. HUYETT  
Applicant Address: 27626 THISTLE LANE  
City MILLS BORO State DE Zip: 19966  
Applicant Phone #: 610-301-4288 Applicant e-mail: AHUYETT1@GMAIL.COM

#### Owner Information

Owner Name: ABRAHAM L. HUYETT  
Owner Address: 27626 THISTLE LANE  
City MILLS BORO State DE Zip: 19966 Purchase Date: \_\_\_\_\_  
Owner Phone #: 610-301-4288 Owner e-mail: AHUYETT1@GMAIL.COM

#### Agent/Attorney Information

Agent/Attorney Name: \_\_\_\_\_  
Agent/Attorney Address: \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip: \_\_\_\_\_  
Agent/Attorney Phone #: \_\_\_\_\_ Agent/Attorney e-mail: \_\_\_\_\_

#### Signature of Owner/Agent/Attorney

Abraham L. Huyett

Date: 10/31/23





Sussex County, DE - BOA Application

**Criteria for a Variance:** (Please provide a written statement regarding each criteria).

You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.

In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.

1. Uniqueness of property:

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

The uniqueness of property is that you need to be off front property line 30 feet. We would only be off front property line 16 foot with proposed building once it is erected. The lean to for wood is 1' 4" from back prop. line and 1' from side ~~prop.~~ prop. line. It would be more appealing to the eye to see a lean to covering wood than a flapping tarp.

2. Cannot otherwise be developed:

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

There is no physical circumstances or conditions applying to this property. The only need for a variance is the property setbacks. From the front for garage and the side and back for the lean to in the back yard.

3. Not created by the applicant:

That such exceptional practical difficulty has not been created by the appellant. We are asking for this variance for garage to ~~park~~ park a vehicle in to keep it out of the weather and extra storage. The variance for the lean to is so we don't have to remove roof and put a tarp on top to keep wood dry. The lean to has 6 pole and a tin roof. All side are open.

4. Will not alter the essential character of the neighborhood:

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

An additional garage built on this property attached to house will only improve curb appeal and the neighborhood. If we can keep the lean to for wood it will also improve the look of property. Tarps are unsightly, noisy and can blow off. That is why we use the lean to.

5. Minimum variance:

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

We are only asking approval of two things. That would be the setbacks for front property line. The new addition would be a one car garage attached to house would be 16' from front prop. line instead on 30'. The 2nd would be to keep the lean to where it is with its roof to keep our fire wood dry.



**PERMIT FOR ENTRANCE CONSTRUCTION**

PERMIT NO. : SC-0213-23RS

STATE OF DELAWARE  
DEPARTMENT OF  
TRANSPORTATIONDIVISION OF  
MAINTENANCE &  
OPERATIONS23697 Dupont Blvd  
Georgetown, DE 19947DISTRICT Sussex AREA 4 PERMIT NO. SC-0213-23RS DATE 09/05/2023Type Of Access : **Residential** Bonding Company : \_\_\_\_\_

Maintenance Road No.: \_\_\_\_\_ Delaware Grid Coordinate : \_\_\_\_\_

Issue To : Abraham Huyett Phone No.: 610-301-4288  
(Owner)Address : 27626 thistle lane , Millsboro, De 19966Type Of Security Furnished : \_\_\_\_\_ Amount : \_\_\_\_\_  
(150% of cost)Estimated Construction Cost : \_\_\_\_\_ Expiration Date : 03/05/2024PARCEL ID NO. 234-29.00-189.00**DESCRIPTION OF CONSTRUCTION****Residential Entrance Permit**

Entrance Location: On 27626 Thistle Lane Millsboro, DE. is approved single access entrance with existing.

Results of Inspection: Permit applicant is granted permission to construct one single access only at the above location conforming to the Division of Highways Operations specifications. With no pipe needed at the access, existing grade must be maintained to ensure positive drainage. DeIDOT limit one residential access per tax parcel. Entrance must be a minimum of 5' from adjacent property.

No structures or obstructions which the State considers a hazard such as driveways that are hot mixed, concrete, etc., mail/paper boxes on wooden posts greater than 4" x 4" or 4 1/2" in diameter, mailboxes on metal posts greater than 2" in diameter will be permitted.

Property Owner shall notify the South District DeIDOT Entrance Manager after installation of the entrance for final inspection. Please call 302-853-1340.



# PERMIT FOR ENTRANCE CONSTRUCTION

PERMIT NO. : SC-0213-23RS

It is hereby agreed by the owner of the property affected, and all heirs, assigns, and/or successors in interest, that all construction covered by this permit shall be performed in accordance with the approved construction plan and the current Standard Specifications published by the Department of Transportation. The plan and specifications are incorporated herein by reference, and made part of this permit. Work is to begin within 90 days of the date of this permit, and it is to be completed on or before the above completion date. Requests for an extension of this permit shall be submitted in writing to the Permit Section 30 days prior to expiration.

The Owner agrees not to sell, lease, or change the use of the property to significantly alter the flow and/or volume of traffic and/or drainage as determined within the sole discretion of the Division, and/or transfer his/her interest in the property without obtaining a new permit from the Division of Maintenance & Operations. Such failure automatically voids this permit.

The holder of this permit shall indemnify and save harmless the Division of Maintenance & Operations and its officers, employees, and/or agents from suits and damages arising from, or on account of the above described construction herein permitted on State rights-of-way, or the Division's acceptance thereof consistent with Section 107.14 of the Standard Specifications and all amendments thereto, incorporated herein by reference.

Traffic Control and utility alterations shall be in accordance with current The Division of Maintenance & Operations "Traffic Controls for Streets and Highway Construction Manual" and the "Utilities Policy and Procedure Manual," incorporated herein by reference.

Permittee shall call the Division of Maintenance & Operations Permit Section, (Canal District: 326-4679, Central District: 760-2433, South District: 853-1342) and Miss Utility (1-800-282-8555) prior to any construction on State rights-of-way.

The Division of Maintenance & Operations may require revisions to the approved plans as required by field conditions.

The permittee shall request the Division of Maintenance & Operations make final inspection of the construction when work is completed, and all work must be completed to the satisfaction of said Division of Maintenance & Operations.

This permit shall be wholly conditional upon the satisfactory completion of all provisions set forth herein. If, upon expiration of this permit, work is incomplete or not performed according to the aforesaid plan and specifications, and no extension is applied for and issued, this permit shall become null and void for all legal purposes and the entrance shall be considered illegal with reference to 17 Del.C.§146.

James A. Smith

Abraham Huyett

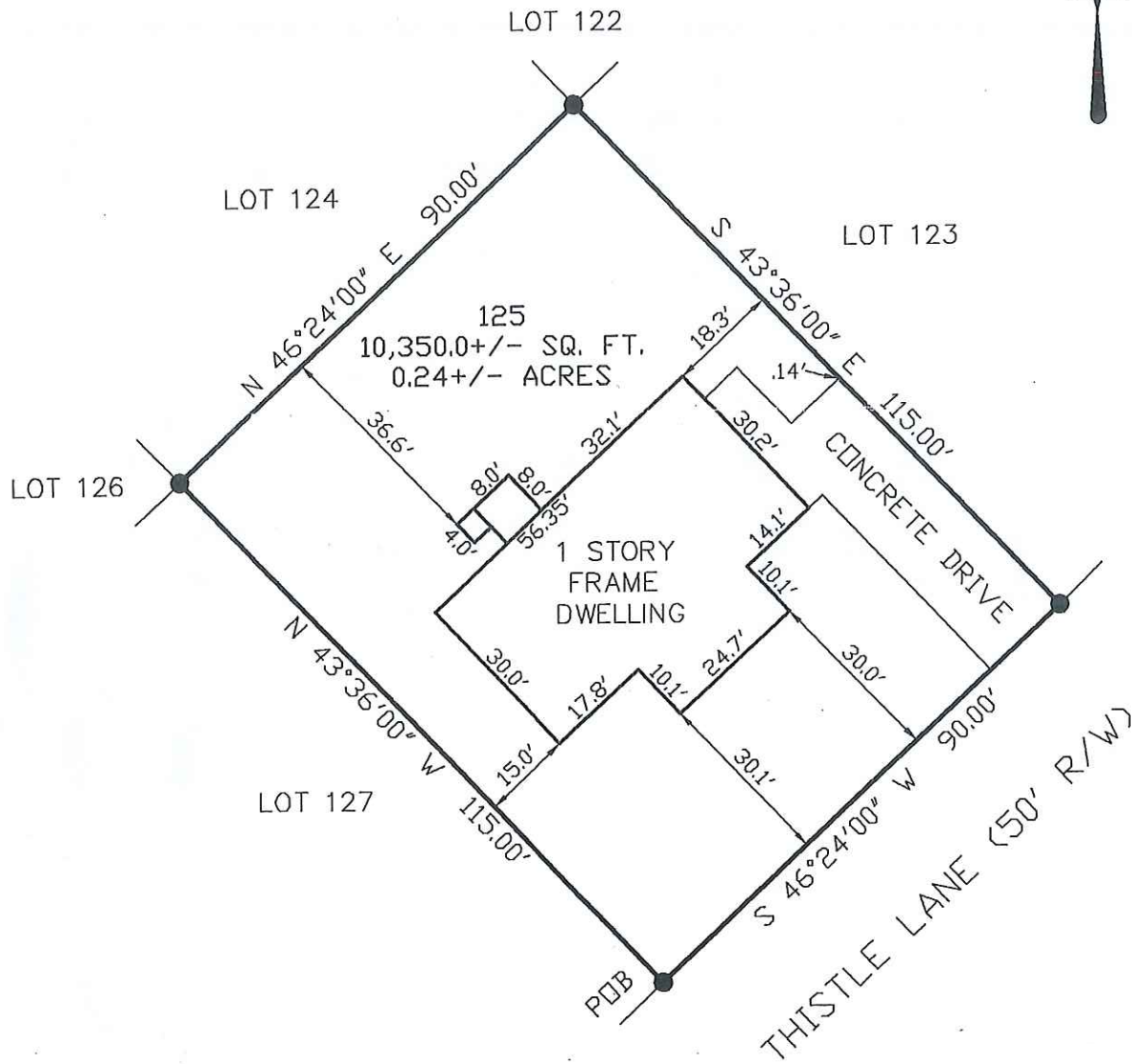
Authorized Representative of Division of Maintenance & Operations

Property Owner



Property Owner Signature





LEGEND:

- IR SET
- IP FOUND
- MON. FOUND
- ◆ IR
- POINT

Prepared For :

ABRAHAM & TAMMY HUYETT

Lot & Location Survey

Thistle Lane  
 Lot 125  
 Oak Meadows  
 Indian River Hundred  
 SUSSEX COUNTY - DELAWARE  
 2-34-29-189

MANN ASSOCIATES  
 SURVEYING, INC.

401 A N. Central Ave. Laurel, DE 19956  
 TEL: (302) 875-4440 FAX: (302) 875-4440

SCALE: 1"=30'      DATE: 4/27/04      JOB # 404-01

REFERENCE: PB 8-630      Drawn By: LRD

SURVEY CLASS: B      REV. 4/04



*John L. Conner*  
 John L. Conner PLS 538





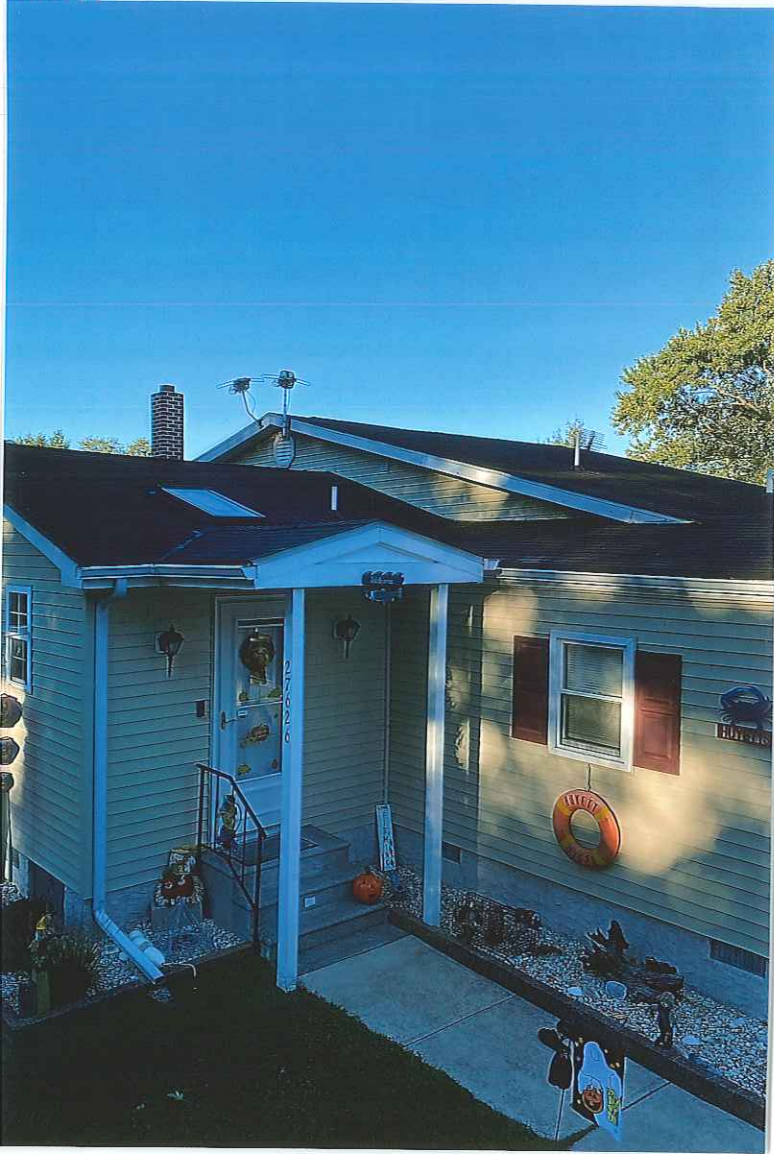




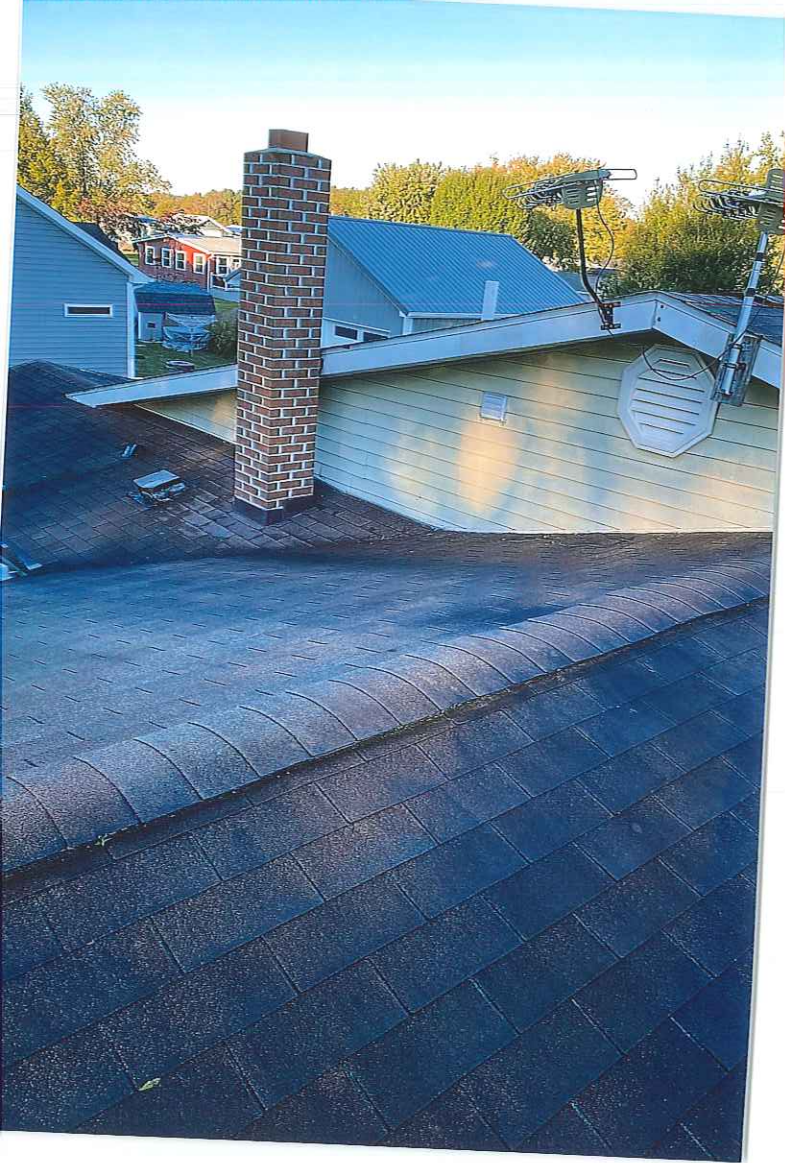
























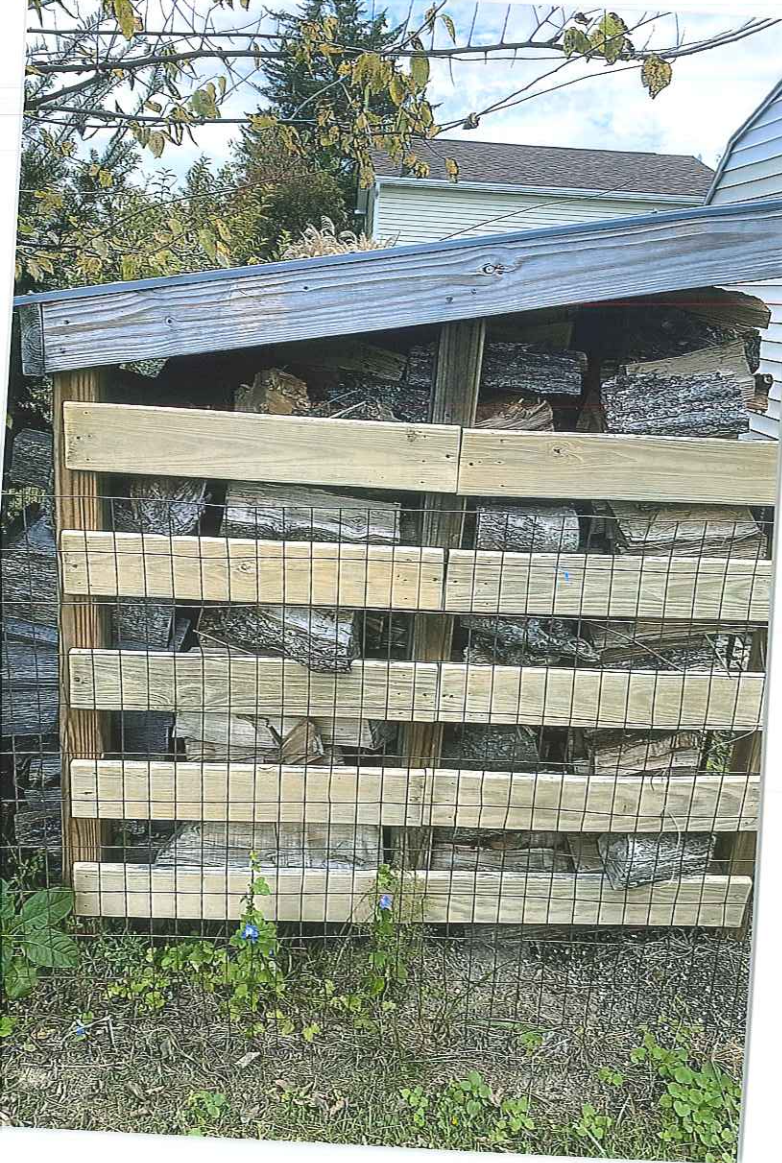








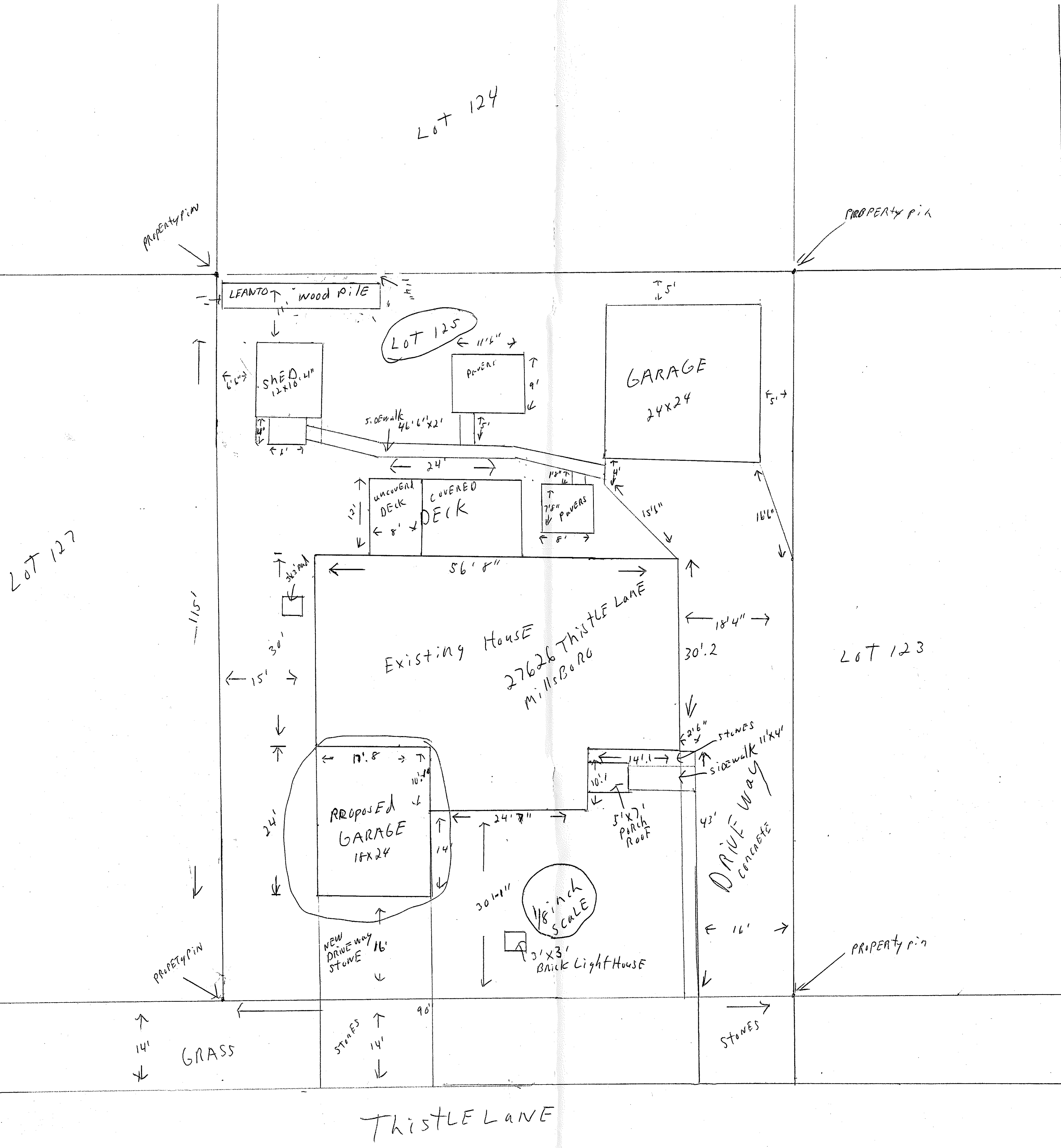




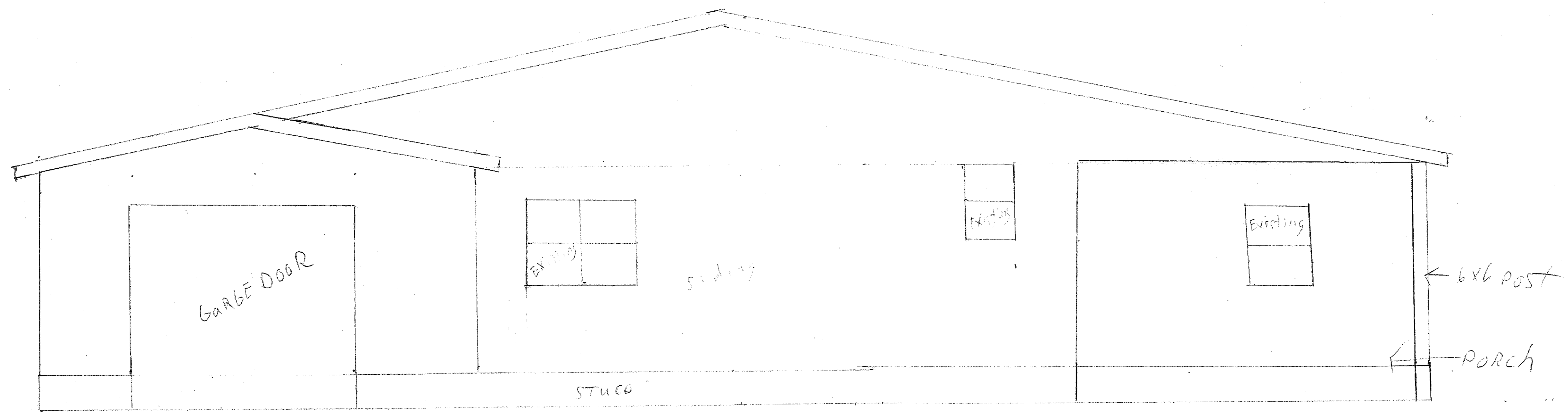
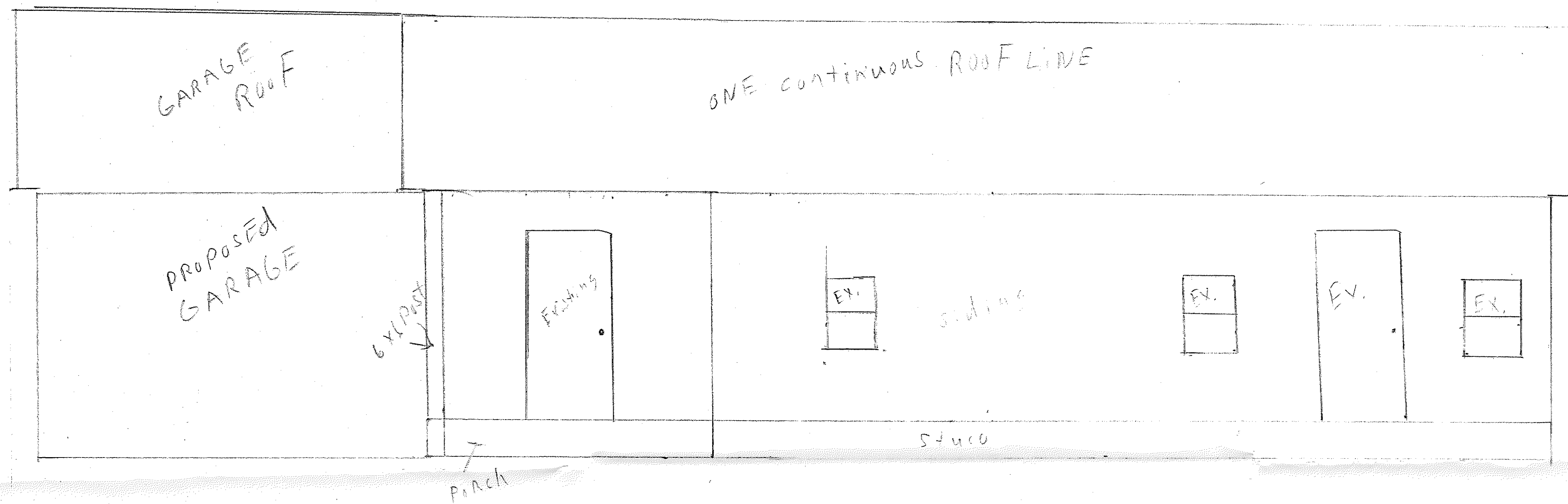














# Sussex County



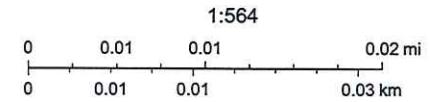
October 31, 2023

polygonLayer

- Override 1
  - Override 2
  - Tax Parcels
- 911 Address

- Streets
- County Boundaries
- World Imagery
- Low Resolution 15m Imagery

- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations
- 15cm Resolution Metadata



State of Delaware, Maxar, Microsoft, Sussex County, Sussex County Government



CONNECTEXPLORER



Search

Search by SUSSEXPARCELS -

234-29 00-189 00

Search results (1) Options -

234-29 00-189 00

Workspaces

© 2023 Eagleview



map: Auto (Oblique) - Dates: All - < image 1 of 67 > 03/06/2023





RECEIVED

NOV 01 2023

SUSSEX COUNTY  
PLANNING & ZONING

**Board of Adjustment Application  
Sussex County, Delaware**

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

Case # 12890  
Hearing Date 2023 10 31

**Type of Application: (please check all applicable)**

Variance   
Special Use Exception   
Administrative Variance   
Appeal

Existing Condition   
Proposed   
Code Reference (office use only)  
\_\_\_\_\_  
\_\_\_\_\_

**Site Address of Variance/Special Use Exception:**

38940 Monroe Avenue, Selbyville, DE 19975

**Variance/Special Use Exception/Appeal Requested:**

A 3.5 ft. height variance from § 115-185(C) to allow for a 7.0 ft. stone fence on the property parallel to DE Route 54 (Old Lighthouse Rd.).

Tax Map #: 533-20,19-16.00

Property Zoning: R-1 AR-1

**Applicant Information**

Applicant Name: Geoffrey S. Piotroski  
Applicant Address: 2309 Fox Hollow Road  
City Harrisburg State PA Zip: 17112  
Applicant Phone #: (717) 346-3635 Applicant e-mail: scott@webclients.net

**Owner Information**

Owner Name: Geoffrey S. Piotroski  
Owner Address: 2309 Fox Hollow Road  
City Harrisburg State DE Zip: 17112 Purchase Date: \_\_\_\_\_  
Owner Phone #: (717) 346-3635 Owner e-mail: scott@webclients.net

**Agent/Attorney Information**

Agent/Attorney Name: Glenn Mandalas, Esq. (Baird Mandalas Brockstedt & Federico)  
Agent/Attorney Address: 1413 Savannah Road  
City Lewes State DE Zip: 19958  
Agent/Attorney Phone #: (302) 645-2262 Agent/Attorney e-mail: glenn@bmbde.com

**Signature of Owner/Agent/Attorney**

*[Handwritten Signature]*

Date: 10/30/2023





Sussex County, DE - BOA Application

**Criteria for a Variance:** (Please provide a written statement regarding each criteria).

*You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.*

*In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.*

**1. Uniqueness of property:**

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

The property is unique as a corner lot on the southwest corner of Monroe Ave, and also fronts Delaware Route 54. The property is uniquely six-sided and has an elevation several feet lower than the elevation of Route 54. Further, the Property is approx. across Route 54 from an approved 70 lot major subdivision, and ~~the possible site of 23 townhomes~~

---

**2. Cannot otherwise be developed:**

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

The authorization of the requested variance is necessary to remedy physical circumstances and conditions stemming from the above mentioned uniqueness of the Property. Because the Property is significantly lower than Route 54, a permitted fence of 3.5 ft. will do little to appropriately shield the Property from the noise and dust created by automobile traffic on Route 54.

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**3. Not created by the applicant:**

That such exceptional practical difficulty has not been created by the appellant.

The exceptional practical difficulty was not created by the Owner-Applicant. Route 54 was constructed several feet in elevation higher than the elevation of the Property. The Property is a six-sided corner lot, requiring more burdensome setbacks than a standard four-sided interior lot.

---

**4. Will not alter the essential character of the neighborhood:**

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

The variance will not alter the essential character of the neighborhood, as the desired fence will be located behind existing vegetated area consisting of multiple thuja trees and at minimum partially shielded from public view. More critically fence height limitations are generally established to prevent obstructions in interior lots. This fence is proposed along Route 54. Finally many other fences and vegetated areas exist

---

**5. Minimum variance:**

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

The variance represents the minimum variance that will afford relief from the Property's location next to Route 54 traffic noise, dust, and congestion and the adverse impacts of new development. See Future Land Use Map Goal 4.4.

---



### Mailing List Application Form

For Applications requiring a Public Hearing in Sussex County

Please fill out this form and return it with your application. As a part of your application a Public Hearing is required. The property owners within 200' of the site of the application will be notified. Staff will notify the property owners.

#### Application Information:

Site Address: 38940 Monroe Avenue  
Selbyville, DE 19975  
Parcel #: 533-20.19-16.00

Site Address: See Above  
  
Parcel #:

Applicant Name: Geoffrey S. Piotroski  
Owner Name: Geoffrey S. Piotroski

#### Type of Application:

- Conditional Use:
- Change of Zone:
- Subdivision:
- Board of Adjustment:

Date Submitted: \_\_\_\_\_

#### For office use only:

Date of Public Hearing: \_\_\_\_\_  
File #: \_\_\_\_\_  
Date list created: \_\_\_\_\_ List created by: \_\_\_\_\_  
Date letters mailed: \_\_\_\_\_ Letters sent by: \_\_\_\_\_



File #: \_\_\_\_\_

## Planning & Zoning Project Contact List

### Applicant Information

Applicant Name: Geoffrey S. Piotroski  
 Applicant Address: 2309 Fox Hollow Road  
 City: Harrisburg State: PA Zip: 17112  
 Phone #: (717) 346-3635 E-mail: scottp@webclients.net

### Owner Information

Owner Name: Geoffrey S. Piotroski  
 Owner Address: 2309 Fox Hollow Road  
 City: Harrisburg State: PA Zip: 17112  
 Phone #: (717) 346-3635 E-mail: scottp@webclients.net

### Engineer/Surveyor Information

Engineer/Surveyor Name: N/A  
 Engineer/Surveyor Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

### Agent/Attorney Information

Agent/Attorney/Name: Baird Mandalas Brockstedt & Federico LLC c/o Glenn C. Mandalas, Esq.  
 Agent/Attorney/Address: 1413 Savannah Road, Suite 1  
 City: Lewes State: DE Zip: 19958  
 Phone #: (302) 645-2262 E-mail: glenn@bmbde.com

### Other

Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_





**EXHIBIT A**  
Property & Deed Information



PARID: 533-20.19-16.00  
 PIOTROSKI GEOFFREY S

ROLL: RP  
 38940 MONROE AV

### Property Information

Property Location: 38940 MONROE AV  
 Unit:  
 City: SELBYVILLE  
 State: DE  
 Zip: 19975

Class: RES-Residential  
 Use Code (LUC): RS-RESIDENTIAL SINGLE FAMILY  
 Town: 00-None  
 Tax District: 533 - BALTIMORE  
 School District: 1 - INDIAN RIVER  
 Fire District: 90-Roxana  
 Deeded Acres: .1148  
 Frontage: 95  
 Depth: 127.000  
 Irr Lot:  
 Plot Book Page: 279 29/PB

100% Land Value: \$20,000  
 100% Improvement Value: \$105,800  
 100% Total Value: \$125,800

### Legal

Legal Description: EDGEWATER ACRES  
 LOTS 12 13  
 BLK 3

### Owners

Owner	Co-owner	Address	City	State	Zip
PIOTROSKI GEOFFREY S		2309 FOX HOLLOW RD	HARRISBURG	PA	17112

### Sales

Sale Date	Book/Page	Sale Price	Stamp Value	Parcels Sold	Grantee/Buyer
08/13/2007	3485/66	\$932,500.00	\$13,987.00	0	
05/03/2005	/	\$345,000.00	\$5,175.00	0	

### Owner History

Tax Year:	Owner:	Co-owner	Address:	City:	State:	Zip:	Deed Book/Page:
2023	PIOTROSKI GEOFFREY S		2309 FOX HOLLOW RD	HARRISBURG	PA	17112	3485/66
2022	PIOTROSKI GEOFFREY S		2309 FOX HOLLOW RD	HARRISBURG	PA	17112	3485/66
2021	PIOTROSKI GEOFFREY S		2309 FOX HOLLOW RD	HARRISBURG	PA	17112	3485/66
2020	PIOTROSKI GEOFFREY S		2309 FOX HOLLOW RD	HARRISBURG	PA	17112	3485/66
2019	PIOTROSKI GEOFFREY S		2309 FOX HOLLOW RD	HARRISBURG	PA	17112	3485/66
2018	PIOTROSKI GEOFFREY S		2309 FOX HOLLOW RD	HARRISBURG	PA	17112	3485/66
2017	PIOTROSKI GEOFFREY S		2309 FOX HOLLOW RD	HARRISBURG	PA	17112	3485/66
2008	PIOTROSKI GEOFFREY S		2309 FOX HOLLOW RD	HARRISBURG	PA	17112	3485/66
2006	LUKOWSKI ROBERT W JR WENDY		LUKOWSKI ROBERT W 601 TENBY LN	COLUMBIA	PA	17512	3137/37
2006	LUKOWSKI ROBERT W JR WENDY		LUKOWSKI ROBERT W 601 TENBY LN	COLUMBIA	PA	17512	3137/37
2005	LUKOWSKI ROBERT W JR WENDY		LUKOWSKI ROBERT W 601 TENBY LN	COLUMBIA	PA	17512	3137/37
2005	LUKOWSKI ROBERT W JR WENDY		LUKOWSKI ROBERT W 601 TENBY LN	COLUMBIA	PA	17512	3137/37
1900	CARR AUDREY					0	0/0
1900	CARR RAYMOND R AUDREY					0	750/280
1900	BRICKNER JOHN W JR SARAH OLIVE					0	708/118

### Land



Line	Class	Land Use Code	Act Front	Depth	Calculated Acres	Ag
1	RES	RS	95	127	.1148	

**Land Summary**

Line	1
100% Land Value	20,000

**Residential**

Card	1
Class	Residential
Style	Single Family
Year Built	2006
Occupancy	1
Stories	3.00
Basement	0-None
Total Fixtures	18
Heating	53 - Heat - Forced Hot Air
Air Condition	DT - A/C Central
Electricity	3-Public
Foundation	31 - Foundation - Masonry
Exterior Wall	1-Frame or Block
Siding	3-Aluminum/Vinyl
Roof Type	2-Gable
Roofing	21 - Roofing - Wood
Elevator	-
Width	
Depth/Length	
Color	
Description	
MH Skirting	
MH Permit #	
MH Serial #	

**Additions**

Card #	Addition #	Area
1	0	219
1	1	550
1	2	800
1	3	216
1	4	550

**Addition Details**

1 of 5

Card #	1
Addition #	0
Lower	-
First	-
Second	-
Third	-
Area	219
Year Built	2006

**Outbuildings**

Card	Line #	Code	Width	Length	Diameter	Area
1	1	BH-BULKHEAD	0	0	0	50
1	2	DK-DOCK	20	5	0	100
1	3	SPG-POOL GOOD	19	30		570
1	4	P2-CONCRETE PATIO				1,021
1	6	GLF2-GARAGE W/LIVE FAIR 301-400	26	15		390

**100% Values**



100% Land Value	100% Improv Value	100% Total Value
\$20,000	\$105,800	\$125,800

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**50% Values**

50% Land Value	50% Improv Value	50% Total Value
\$10,000	\$52,900	\$62,900

---

**Permit Details**

Permit Date:	Permit #:	Amount:	Note 1
28-NOV-2022	202216933	\$20,000	REPLACE SIDING AND PLYWOOD ON HOME DUE TO WATER DAMAGE
19-NOV-2019	201912874	\$6,708	26x15 POOL HOUSE WITH 9X26 PORCH
08-OCT-2019	201911523	\$97,068	30 X 19 INGROUND POOL, 160 LINEAR FT 4' BLACK ALUM
16-SEP-2013	201310762	\$0	FRONT SIDE & REAR YARD VARIANCES
08-AUG-2013	201309326	\$0	FRONT YARD VARIANCE
08-AUG-2013	201309327	\$0	FRONT YARD VARIANCE
13-NOV-2007	101238-2	\$6,365	BOAT/JET SKI LIFT-EDGEWATER ACRES LOT 12
29-JUL-2005	101238-1	\$209,651	DWELLING W/ADDITIONS-EDGEWATER ACRES LOT 12 BLK 3



BK03485 000038466  
PG00066

Return to:  
Grantee Address:  
Geoffrey S. Piotroski  
2309 Fox Hollow Road  
Harrisburg, PA 17112

Parcel #5-33-20.19-16.00  
Prepared by:  
Schab & Barnett, P.A.  
PO Box 755, 9 Chestnut Street  
Georgetown, DE 19947  
File No. 070231AS

**This Deed** is made this 11<sup>th</sup> day of August, 2007, between Robert W. Lukowski, Jr., Wendy Lukowski, Robert W. Lukowski, Sr. and Carole Lukowski, parties of the first part, c/o of 601 Tenby Lane, Columbia, PA 17512,

A N D

Geoffrey S. Piotroski, party of the second part, of 2309 Fox Hollow Road, Harrisburg, PA 17112.

**WITNESSETH:** That the parties of the first part, for and in consideration of the sum of NINE HUNDRED THIRTY TWO THOUSAND FIVE HUNDRED AND 00/100 DOLLARS (\$932,500.00), lawful money of the United States of America, the receipt whereof is hereby acknowledged, hereby grant and convey unto the party of the second part, the following described lands, situate, lying and being in Sussex County, State of Delaware;

ALL THAT CERTAIN LOT, piece or parcel of land situate, lying and being in Baltimore Hundred, Sussex County and State of Delaware, and being known and designated as LOT NO. TWELVE (12), BLOCK NO. 3, on a plot of EDGEWATER ACRES, INC., and more particularly described according to a survey prepared by Delaware Surveying Services, Professional Land Surveyors, dated August 6, 2007, drawing #05-039C, as follows, to wit:

BEGINNING at a P.K. nail found in base of tree, said P.K. nail being situate on the northwestern right-of-way of Monroe Avenue (40' wide), a corner for this lot and Lot 13; thence, running by and along the right-of-way of Monroe Avenue (40' wide), South 27 degrees 52 minutes 30 seconds West 50.00 feet to a found rebar; thence, turning and running by and along a common boundary line with this lot and Lot No. 11, North 62 degrees 07 minutes 30 seconds West 94.35 feet to a found P.K. Nail in bulkhead (typical); thence, turning and running along the bulkhead of a lagoon North 27 degrees 52 minutes 30 seconds East 50.00 feet to a point; thence, turning and running by and along a common boundary line with this lot and Lot No. 13, South 62 degrees 07 minutes 30 seconds East 94.35 feet to a found P.K. nail in base of tree, home to the place of beginning, being the contents what they may, together with any and all improvements located thereon.

BEING the same lands conveyed to Robert W. Lukowski, Jr., Wendy Lukowski, Robert W. Lukowski, Sr. and Carole Lukowski, by Deed of Audrey Carr, by Irene Barthe her Attorney-in-Fact, said Deed dated the 28th day of April, 2005, and filed of record in the Office of the Recorder of Deeds, in and for Sussex County, Delaware, in Deed Book 3137, Page 37.

SUBJECT to any and all restrictions, reservations, conditions, easements and agreements of record in the Office of the Recorder of Deeds in and for Sussex County, Delaware.

*Jew*  
*K5*

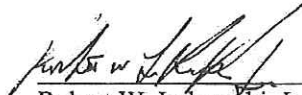
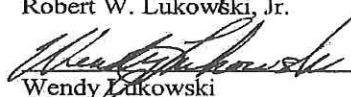
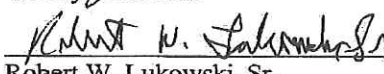
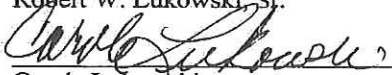


BK03485 000038466  
PG00067

IN WITNESS WHEREOF, the parties of the first part have hereunto set their hands and seals the day and year first above written.

Signed, Sealed and Delivered  
in the presence of:

\_\_\_\_\_  
Witness  
\_\_\_\_\_  
Witness  
\_\_\_\_\_  
Witness  
\_\_\_\_\_  
Witness

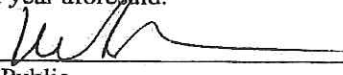
 \_\_\_\_\_ {SEAL}  
Robert W. Lukowski, Jr.  
 \_\_\_\_\_ {SEAL}  
Wendy Lukowski  
 \_\_\_\_\_ {SEAL}  
Robert W. Lukowski, Sr.  
 \_\_\_\_\_ {SEAL}  
Carole Lukowski

State of Delaware     )  
                              :  
County of Sussex     )     S.S.

BE IT REMEMBERED, that on August 10, 2007, personally came before me, the Subscriber, a Notary Public for the State and County aforesaid, Robert W. Lukowski, Jr., Wendy Lukowski, Robert W. Lukowski, Sr. and Carole Lukowski, parties to this Indenture, known to me personally to be such, and acknowledged this Indenture to be their act and deed.

Given under my Hand and Seal of Office, the day and year aforesaid.

**WILLIAM SCHAB, ESQ.**  
**NOTARIAL OFFICER**  
**PURSUANT TO**  
**29 DEL.C.SEC. 4323(a)(3)**

 \_\_\_\_\_  
Notary Public  
Printed Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

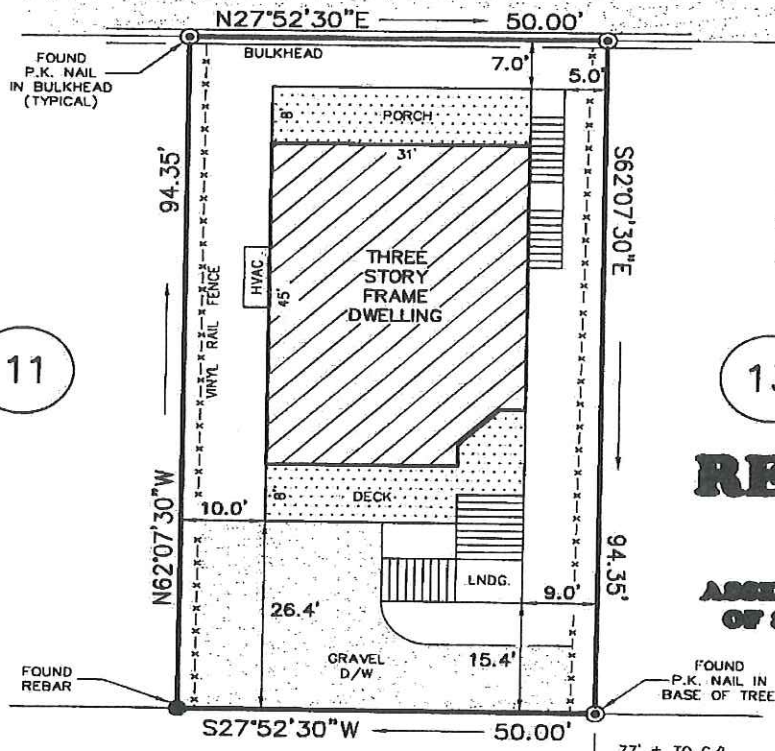
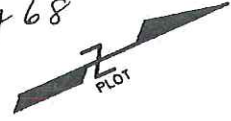
Consideration:	\$932500.00	Exempt Code: A
County	13987.50	State
counter		Total
	Date: 08/13/2007	27975.00



000038466  
BK 3485 PG 00068

BK 3485 Pg 68

**LAGOON**



RECORDER OF DEEDS  
JOHN F. BRADY  
08/13/2007 01:33P  
SUSSEX COUNTY  
DOC. SURCHARGE PAID

11

13

**RECEIVED**

AUG 14 2007

**ASSESSMENT DIVISION  
OF SUSSEX COUNTY**

**MONROE AVENUE**

(40' WIDE)

@ BA # 909849390  
8-8-07 SA  
SUSSEX COUNTY

*M.J.M.*

<b>DELAWARE SURVEYING SERVICES</b> MAXWELL J. MORRIS, PLS P.O. BOX 1121 MILLVILLE, DE. 19970 (302) 537-7094 * FAX (302) 537-6534	DATE: AUGUST 6, 2007	PLOT REF: P.B. 5, P. 31 DEED REF: D.B. 750, P. 280 TAX MAP #: 5-33-20.19-16.00 FLOOD ZONE: AE, ELEV. 5
	SCALE: 1" = 20'	<b>BOUNDARY &amp; LOCATION SURVEY</b> CLASS "B" SURVEY
DESCRIPTION: LOT 12, BLOCK 3, "EDGEWATER ACRES" BALTIMORE HUNDRED * SUSSEX COUNTY * DELAWARE	DRAWING #: <b>05-039C</b>	

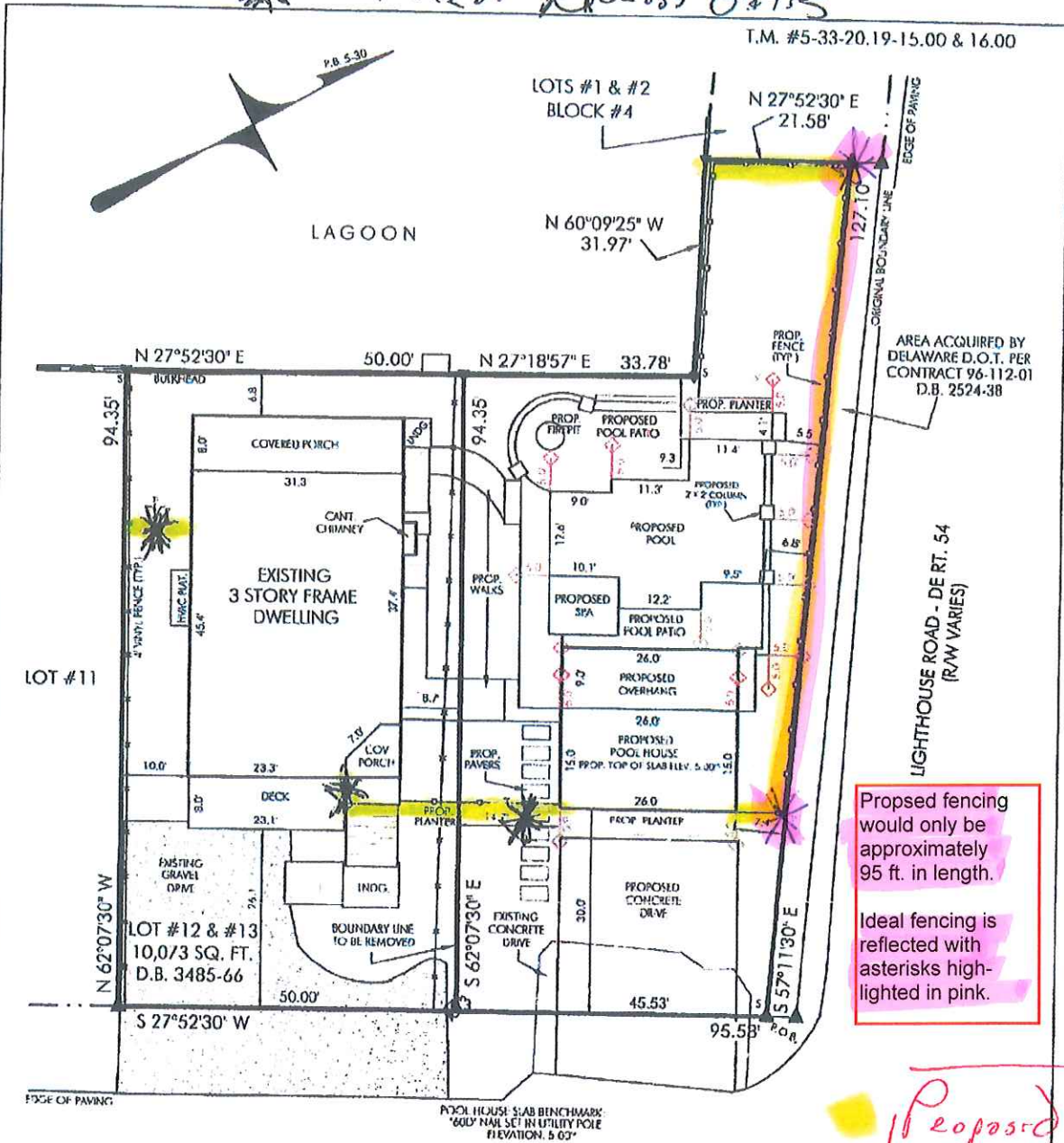


**EXHIBIT B**

Stakeout Plan of Proposed Fencing



*Three Access Gates*



Proposed fencing would only be approximately 95 ft. in length. Ideal fencing is reflected with asterisks highlighted in pink.

*Proposed Pool Fencing*

**FLOOD ZONE CONSTRUCTION NOTES:**  
 BASE FLOOD ELEVATION: 5.00 (NAVD 88)  
 ALL MECHANICALS TO BE ELEVATED TO 5.00 (NAVD 88) INCLUDING DUCTWORK

- LEGEND:**
- ◊ HUB WITH JACK (SET)
  - ▲ IRON ROD (FOUND)
  - ▼ "PK" NAIL (FOUND)
  - ▲ IRON ROD W/ CAP (SET)
  - ▼ "PK" NAIL (SET)

**STAKEOUT PLAN FOR  
 GEOFFREY S. &  
 LYNN M. PIOTROSKI**

LOT #12 & LOT #13, BLOCK 3 OF  
 "EDGEWATER ACRES"  
 BALTIMORE HUNDRED SUSSEX COUNTY  
 STATE OF DELAWARE  
 SEPTEMBER 9, 2019 SCALE: 1" = 20'



**EXHIBIT C**  
Zoning Code



## ZONING

## 115 Attachment 1

Sussex County

TABLE I

General Table of Height, Area and Bulk Requirements  
Sussex County  
(See also § 115-156A)

Article of chapter	District or Use	Maximum Height		Lot Area (square feet)	Width of Lot (feet)	Depth of Lot (feet)	Depth of Front Yard (feet)	Width of Side Yard (2 required) (feet)	Depth of Rear Yard (feet)
		Feet	Stories						
IV (9)	AR-1 District	42 (12)	-- (12)	20,000 (14)	100 (10)	100	40 (7)(8)	15	20
IV (9)	AR-2 District	42 (12)	-- (12)	15,000 (14)	100 (10)	100	40 (7)(8)	15	20
V (9)(6)	MR District	42 (12)	-- (12)	10,000 (14)	75 (10)	100	40 (7)(8)	10	10
VI (9)(6)	GR District	42 (12)	-- (12)	10,000 (14)	75 (10)	100	40 (7)(8)	10	10
VII (6)(9)	Detached single-family dwelling in HR-1 District	52 (12)	-- (12)	7,500 (14)	60 (10)	100	40 (7)(8)	10	10
VII (6)(9)	Detached single-family dwelling in HR-2 District	52 (12)	-- (12)	7,500 (14)	60 (10)	100	40 (7)(8)	10	10
VIII (9)(6)	UR District	42 (12)	-- (12)	10,000 (14)	75 (11)	100	(2)	10	10
IX (9)(6)	UB District	42 (12)	-- (12)	Dwellings 10,000 (14)	75 (11)	100	40 (7)(8)	10	10
		42 (12)	-- (12)	Other 10,000 (14)	75 (11)	100	40 (7)(8)	5 (3)	5 (3)
X (9)(6)	B-1 District	42 (12)	-- (12)	Dwellings 10,000 (14)	75 (10)	100	40 (7)(8)	10	10
		42 (12)	-- (12)	Other 10,000 (14)	75 (10)	100	60 (7)(8)(15)	5 (3)	5 (3)
XI (9)(6)	C-1 District	42 (12)	-- (12)	Dwellings 10,000 (14)	75 (10)	100	40 (7)(8)	10	10
		42 (12)	-- (12)	Other 10,000 (14)	75 (10)	100	60 (7)(8)(15)	5 (3)	5 (3)
XII	M District	42 (12)	-- (12)	Dwellings 10,000 (14)	75 (10)	100	40	10	10
		45 (12)	-- (12)	Other 10,000 (14)	75 (10)	100	40	10 (5)	10 (5)
XIII	LI-1 District	42 (12)	-- (12)	43,560/1 acre (14)	150	200	50	20	20 (4)
XIV	LI-2 District	52 (12)	-- (12)	1 acre	150	200	50	20	20 (4)
XV	HI-1 District	125 (1)	--	2 acre	200	200	50	20	20 (4)
XVI	Manufactured home parks (13)	15	1	5,000	50	50	10	10	10

## NOTES:

- (1) Grain elevators, industrial tanks or towers and other similar structures may exceed 125 feet in height, but whenever such use in the HI-1 District adjoins a residential district, such structure shall not exceed 50 feet in height unless set back one foot from all required yard lines for each foot of additional height above 50 feet).
- (2) See § 115-58.
- (3) None is required when there is a party wall to an adjoining building, except that there shall be a side yard not less than 20 feet in width on the side of a lot adjoining a residential district and there shall be a rear yard not less than 30 feet in depth on the rear side of a lot adjoining a residential district.
- (4) None is required, except that there shall be a rear yard not less than 40 feet in depth on the rear side of a lot adjoining a residential district.



## SUSSEX COUNTY CODE

(NOTES cont'd):

- (5) No rear yard or side yard shall be required on that rear or side of a lot which adjoins a waterway.
- (6) See § 115-50 for tables covering townhouses and multifamily dwellings in HR-1 and HR-2 multifamily residential districts. See Table II for tables covering multifamily dwellings in MR, GR, UR, UB, B-1, M and C-1 Districts.
- (7) On property fronting on highways designated by the Delaware Department of Transportation as Principal Arterials or Minor Arterials, the setback shall be measured from a point not less than 50 feet from the center line of the right-of-way. On property fronting on highways designated by the Delaware Department of Transportation as Major or Minor Collectors, the setback shall be measured from a point not less than 40 feet from the center line of the right-of-way. On property fronting on all other local roads shown on the General Highway Map for Sussex County of 1964, as last revised, the setback shall be measured from a point not less than 30 feet from the center line of the right-of-way. If the existing right-of-way on any of these roads or highways is greater than the minimum dimension listed above, the setback shall be measured from the existing right-of-way line. **[Amended 8-3-2004 by Ord. No. 1711]**
- (8) Any lot fronting on a subdivision street and not fronting on a numbered road shown on the General Highway Map for Sussex County of 1964, as revised January 1979, shall have a setback of not less than 30 feet.
- (9) For buildings located on lots adjacent to waterways, golf courses and similar special situations, the front of such lots may be determined by the Commission. In the event that a Commission ruling makes a rear yard adjacent to the street line, an additional depth of rear yard may be required by the Commission, and an additional setback of accessory buildings from the street line may be required.
- (10) A lot fronting on a numbered road shown on the General Highway Map for Sussex County of 1964, as revised, shall have a minimum lot width of 150 feet. **[Added 11-7-1989 by Ord. No. 632]**
- (11) A lot fronting on a numbered road shown on the General Highway Map for Sussex County of 1964, as revised, shall have a minimum lot width of 90 feet. **[Added 11-7-1989 by Ord. No. 632]**
- (12) **[Amended 10-31-1995 by Ord. No. 1062]**
- (13) **[Amended 3-25-1997 by Ord. No. 1131; 10-12-2010 by Ord. No. 2152]**
- (14) Any lot which is not connected to a central sewer system, as defined by § 115-194A, or which is located within a planning area as defined by a sewer planning study approved by the Sussex County Council, shall have a minimum area of 3/4 acre. **[Added 7-15-1997 by Ord. No. 1157]**
- (15) **[Amended 7-20-1999 by Ord. No. 1328]**
- (16) For any existing approved lot which is not located in a cluster subdivision, Coastal Area cluster subdivision or residential planned community, and consists of less than 10,000 square feet, the following setbacks shall apply: the side yard setback shall be reduced to five feet and the rear yard setback shall be reduced by five feet. For any lot with side or rear yard setbacks reduced by operation of § 115-183D, no structures shall extend or project closer than five feet from the lot line. The front yard setback may be reduced to the average front yard setback of the existing buildings located on the same side of the street or road and being within 300 feet of the structure; provided, however, the front yard setback is not less than five feet. Any vacant lot within 300 feet of the structure shall be calculated as having the required setback for the district. **[Added 3-20-2018 by Ord. No. 2557; amended 5-21-2019 by Ord. No. 2656]**



Sussex County, DE  
 Tuesday, October 3, 2023

## Chapter 115. Zoning

### Article IV. AR-1 and AR-2 Agricultural Residential Districts

#### § 115-25. Height, area and bulk requirements.

[Amended 11-7-1989 by Ord. No. 632; 10-31-1995 by Ord. No. 1062; 7-15-1997 by Ord. No. 1157; 8-3-2004 by Ord. No. 1709]

A. Minimum lot sizes for lots using a wastewater disposal system located entirely on that lot and generally defined as an on-site septic system.

(1) Standard lot option:

District (square feet)	Area (feet)	Width* (feet)	Depth
AR-1	32,670	100	100

**NOTES:**

A lot fronting on a numbered road shown on the latest revision of the General Highway Map for Sussex County shall have a minimum width of 150 feet.

(2) Cluster development option. The minimum lot size may be reduced to one-half acre (21,780 square feet) where soil conditions are suitable as approved by DNREC. The total number of lots allowed shall not exceed the number of lots that would be permitted under the standard lot option. The number of dwelling units permitted shall be determined by dividing the gross area by 32,670 square feet. "Gross area" shall include the lot area and the area of land set aside for common open space or recreational use but shall exclude any area designated as a tidal tributary stream or tidal wetlands by § 115-193. However, if the proposed cluster development lies within a Low-Density Area as described within the Land Use Element and as shown on the Future Land Use Plan of the adopted Sussex County Comprehensive Plan, the total number of lots permitted shall be determined by first reducing the gross area by 25%.

[Amended 1-31-2006 by Ord. No. 1822; 12-4-2018 by Ord. No. 2618]

B. Minimum lot sizes, dimensions and open space for lots using a central sewer system as defined by § 115-194A:

(1) Standard lot option:

District	Area** (square feet)	Width* (feet)	Depth (feet)
AR-1	20,000	100	100

(2) Cluster development option (subject to § 115-25F):

[Amended 5-21-2019 by Ord. No. 2656]



Minimum Tract Size (acres)	Minimum Lot Size (square feet)	Required Open Space
10	7500	30%

**NOTES:**

\* A lot fronting on a numbered road shown on the latest revision of the General Highway Map for Sussex County shall have a minimum width of 150 feet.

\*\* For lots located in the Coastal Area, the Development Districts or the Town Center Districts, the overlay ordinance for that district shall determine the minimum lot size.

- (3) The number of dwelling units permitted shall be determined by dividing the gross area by 21,780 square feet. When a cluster development lies within a Town Center, a Developing Area, or the Coastal Area as described within the Land Use Element and as shown on the Future Land Use Plan of the adopted Sussex County Comprehensive Plan, and the developer has proffered to Sussex County for the purpose of creating open space preservation/active and passive recreation areas a development fee per unit for every unit in excess of two units per acre, then the maximum number of dwelling units that may be permitted by the Planning and Zoning Commission shall be determined by dividing the gross area by 10,890 square feet. The development fee shall not be less than the minimum established by the Sussex County Council and shall be paid prior to recording any lot based upon the fee in effect at the time the application was filed. "Gross area" shall include the lot area and the area of land set aside for common open space or recreational use but shall exclude any area designated as a tidal tributary stream or tidal wetlands by § 115-193. The Sussex County Council prior to the signing of a contract to purchase, shall approve all such land or conservation easement purchases which utilize monies paid to the County under the terms of this act. All such approvals by the Council shall be by a four-fifths majority vote. It is understood that the County shall control all monies and the Sussex County Land Trust will act as a recommending body and partner at the discretion of the County Council.

[Amended 1-31-2006 by Ord. No. 1822; 4-2-2006 by Ord. No. 1842; 12-4-2018 by Ord. No. 2618; 7-27-2021 by Ord. No. 2791]

C. Minimum yard requirements. Minimum yard requirements shall be as follows:

District	Depth of Front Yard (feet)	Width of Side Yard* (feet)	Depth of Rear Yard (feet)	Minimum Lot Width (feet)
AR-1 and AR-2 (Cluster with central sewer)	25	10	10	60
AR- and AR-2 (All others)	40(30)**	15	20	100

**NOTES:**

\* A lot having an area of less than 20,000 square feet or having a width of less than 100 feet, which lot was legally recorded prior to January 1, 1971, shall be subject to the minimum side yard requirements applicable to an MR District rather than to the minimum side yard requirements of this district.

\*\* See also the table of district regulations at the end of this chapter.

D. Maximum height requirements. Maximum height requirements shall be as follows:

District	Feet
AR-1 and AR-2	42

E. Design requirements for cluster development.



- (1) All development shall be in accordance with the latest amendment to the community design standards.
- (2) Housing types in the low-density area, as shown on the Sussex County Comprehensive Plan, are limited to single-family detached dwellings and manufactured homes where permitted by ordinance.
- (3) A forested buffer area with a minimum width of 30 feet shall be provided for lots abutting an agricultural area
- (4) Dwellings located within 50 feet of an existing residential development shall provide adequate transition in density or shall provide a thirty-foot buffer meeting the standards below and maintained by a designated entity.
  - (a) A planting strip at least 30 feet wide near the property line which shall include two canopy trees, four understory trees and 10 shrubs per 100 linear feet of buffer; or
  - (b) A landscaped rolling berm at least four feet in height; or
  - (c) A solid fence or wall a minimum of six feet in height designed with durable materials, texture and colors compatible with adjacent residential development.
- (5) No lots shall have direct access to any state-maintained roads.
- (6) All lots shall be configured to be contained completely outside of all wetlands.
- (7) Any development using the option in Subsection **B(2)** shall have central water and wastewater systems operated and maintained by companies authorized by the State of Delaware to perform such services. Wastewater collection and treatment systems must be designed in accordance with the requirements of Sussex County ordinances and conform to the requirements for a central sewer system as defined in § **115-194A** of the Sussex County Zoning Ordinance.

F. Review procedures for cluster development.

- (1) The developer shall submit an application for a cluster development in accordance with Chapter **99**, Subdivision of Land, of the Sussex County Code and which shall include, at a minimum, a sketch plan showing the location and uses of all open spaces, the extent of existing wooded areas and wetlands and the location of any historical or cultural resources. The Director of Planning and Zoning may waive this requirement when the proposed development does not contain significant natural features or resources.
- (2) The information submitted shall include a plan for the management of all open space.
- (3) The Planning and Zoning Commission shall determine that the following requirements are met before approving any preliminary plan and such application shall be reviewed on an expedited basis.  
[Amended 1-31-2006 by Ord. No. 1822; amended 4-2-2006 by Ord. No. 1842; 12-16-2008 by Ord. No. 2024<sup>[1]</sup>; 12-4-2018 by Ord. No. 2618; 6-11-2019 by Ord. No. 2658]
  - (a) The cluster development sketch plan and the preliminary plan of the cluster subdivision provides for a total environment and design which are superior, in the reasonable judgment of the Planning Commission, to that which would be allowed under the regulations for the standard option. For the purposes of this subsection a proposed cluster subdivision which provides for a total environment and design which are superior to that allowed under the standard option subdivision is one which, in the reasonable judgment of the Planning Commission meets all of the following criteria:  
[Amended 5-17-2022 by Ord. No. 2852]

[1] Homes shall be clustered on the environmentally suitable portions of the tract, specifically those portions of the tract least encumbered by sensitive environmental



features, including but not limited to wetlands, mature woodlands, waterways and other water bodies. This does not inhibit the development of wooded parcels.

- [2] (Reserved)
- [3] Required open space shall comply with the following criteria:
  - [a] All required open space must meet the official definition of acceptable open space contained in § 115-4.
  - [b] Required open space must be designed to be beneficial to the residents or users of the open space. It shall not be constituted of fragmented lands with little open space value. Accordingly, 30% of all required open space shall be located on one contiguous tract of land, except that such open space may be separated by water bodies and a maximum of one street.
  - [c] If one of the following physical conditions exists adjacent to the proposed cluster development tract, at least 30% of all required open space must be adjacent to:
    - [i] An existing or officially planned public park, land preserved by easement, or land preserved as open space and in municipal, County, state, or federal ownership.
    - [ii] Existing wetlands, waterways, wildlife corridors, or other ecology-sensitive land.
    - [iii] Existing farmland and/or woodlands.
    - [iv] If more than one of these physical features exist on adjacent properties, then one of these features will be identified and utilized to satisfy this requirement.
    - [v] If the open space is proposed to be dedicated to a municipality, a County, state, or federal agency or a homeowners' association, an agreement shall be provided, in advance, stipulating that such entity agrees in advance to accept that dedication and maintain that land for public recreation or as a nature preserve.
    - [vi] Open space in a cluster development shall include a pedestrian trail system accessible to residents. This trail system shall connect to an adjacent trail, adjacent neighborhood, adjacent commercial area, or adjacent public open space, if any such areas exist adjacent to the proposed cluster development. Construction materials for the proposed trail shall be identified, and a typical construction detail for the proposed trail shall be shown. Trail construction materials shall be pervious in nature.
- [4] The preliminary plan shall comply with the requirements of § 115-193.
- [5] Stormwater management shall be designed to promote groundwater recharge and protect groundwater quality. Natural drainage flows shall be maintained to the greatest extent possible. Drainage from rooftops shall be directed to vegetated areas or allow green technology. Stormwater detention and retention facilities should be designed to resemble natural ponds as referenced by DNREC in the National Resource Conservation Service's (NRCS) Pond Code 378, Visual Resource Design.
- [6] Removal of healthy mature trees shall be limited.
- [7] Scenic views that can be seen from within the tract should be preserved to the greatest extent possible.
- [8] The applicant for a cluster development shall illustrate that the following sequence and process was followed in the site design of the cluster project:



- [a] Identify lands that should be preserved. First, areas worthy of preservation should be mapped, including wetlands, wooded areas, waterways, other water bodies, and natural drainage areas. Then, other features that are important should be mapped, such as tree lines, scenic views, historic buildings, and prime farmland. The areas with the fewest important natural, scenic and historic features should be considered the "potential development area."
  - [b] Identify developable areas. Next, the most appropriate locations for development should be chosen to minimize the impact to the most important features mapped in the first step.
  - [c] Locate roads and trails. After the developable areas are determined, a road system should be designed to serve those homes. A trail system that links homes to destinations outside of the tract should be designed.
  - [d] Locate lot lines. The last step is to configure lot lines and make necessary adjustments to satisfy the various reviewing agencies' comments.
- [9] Sidewalks shall be required at least on one side of each street, subject to Planning and Zoning Commission approval.
- (b) The cluster development plan will preserve the natural environment and any historic or archeological resources.
  - (c) All of the items in Ordinance Number 1152 (see § **99-9C**) have been addressed and approval of the cluster option for the proposed development will not have an adverse effect on any of the items to be considered.<sup>[2]</sup>
    - [2] *Editor's Note: Former Subsection F(3)(d), which immediately followed and required that the cluster development developer proffer a development fee to the County for the purpose of creating open space for preservation and/or active and/or passive recreation areas was repealed 7-27-2021 by Ord. No. 2791. For current provisions, see Subsection B(3).*
    - [1] *Editor's Note: This ordinance also provided that it shall apply to all cluster subdivision applications filed after 1-1-2009.*
  - (4) The Sussex County Planning and Zoning Commission may add conditions to the approval of any cluster development to protect adjacent properties and the natural environment.
- G. Sussex County Rental Unit development permitted by § **115-20A(17)**. The minimum lot size, lot area per dwelling unit, open space, height and setback requirements for a Sussex County Rental Unit development permitted by § **115-20A(17)** shall be governed by the dimensional requirements set forth in that section.  
[Added 10-18-2022 by Ord. No. 2889]

## Article XXV. Supplementary Regulations

### § 115-183. Side and rear yards.

- A. Where a building in a commercial district is subject to the height, area and bulk requirements applicable to residential development under § **115-178** of this article, the side yard requirements for residential development shall be applied only to the lowest floor (and all floors above it) which contains more than 25% of its area used for dwelling. All floors shall be subject to side yards required by these regulations for commercial buildings adjacent to residential districts.
- B. For the purpose of the side yard regulations, a group of business or industrial buildings separated by common or party walls shall be considered as one building occupying one lot.



- C. Open unenclosed decks, porches, platforms or steps not covered by a roof or canopy and which do not extend above the first floor of the building may be constructed in a side or rear yard no closer than five feet from a side lot line and five feet from a rear lot line. This provision does not apply to manufactured home parks or campgrounds.  
[Amended 11-28-1989 by Ord. No. 639; 2-1-2005 by Ord. No. 1748; 10-12-2010 by Ord. No. 2152; 3-20-2018 by Ord. No. 2562]
- D. For any existing approved lot that is less than 10,000 square feet in size, the side yard setbacks shall be reduced to five feet and the rear yard setback shall be reduced by five feet. For any lot with side or rear setbacks reduced by operation of this § **115-183D**, no structures shall extend or project closer than five feet from the lot line. The provision of this subsection shall not apply to any lot in a cluster subdivision, Coastal Area cluster subdivision or residential planned community.  
[Added 3-20-2018 by Ord. No. 2557; amended 5-21-2019 by Ord. No. 2656]

## § 115-185. Accessory buildings and structures.

- A. Except as herein provided, no accessory building shall project beyond a required yard line along any street.
- B. Filling station pumps and pump islands may occupy the required yards; provided, however, that they are not less than 20 feet from street lines.
- C. Any fence or wall for residential use, not more than 3 1/2 feet in height, may project into or enclose any required front or side yard to a depth from the street line equal to the required depth of the front yard. Any fence, hedge or wall for residential use may project into or enclose other required yards, provided that such fences, hedges and walls do not exceed a height of seven feet. This height limit does not apply to fences or walls used for commercial, industrial or agricultural uses, screening or tennis courts. Every such fence must be approved by the Director.
- D. Accessory swimming pools, open and unenclosed, may occupy a required rear or side yard, provided that they are not located closer than 10 feet to an interior side lot line or six feet to a rear lot line. A walk space at least three feet wide shall be provided between pool walls and protective fences or barrier walls. Every swimming pool shall be protected by a safety fence or barrier at least four feet in height and constructed of chain-link, concrete, stockade-wood or equal.
- E. Permitted accessory storage of a boat, boat trailer or camp trailer shall not be conducted in a front yard.
- F. Accessory buildings which are not a part of the main building may be constructed in a rear yard, provided that such accessory building does not contain more than 600 square feet of area, and may be located five feet from a side lot line and five feet from a rear lot line.



## **EXHIBIT D**

State Review of Channel Point Townhouses

Pending Approval from County





Visit [de.gov/plus](https://de.gov/plus) for updates

**Preliminary Land Use Service (PLUS) Meeting**  
Meeting will be conducted on-line and in person

**Room 321, Haslet Armory**

**122 Martin Luther King Jr. Blvd., South**

Please see <https://publicmeetings.delaware.gov/> for link to on-line access

**February 23, 2022**

**Applicants should arrive at least 15 minutes before their appointed time. Times are approximate and are subject to change.**

- I. 8:30 AM **Pre-Meeting Discussion – PLUS Reviewers**
- II. 9:00 AM **Review and Discussion: Zion Church Road Warehouse 2022-02-15)**  
**Location:** Northeast Corner of Deer Run and Zion Church Road  
**Project:** Review of site plan for 190,000 sq. ft of warehouse and storage space
- III. 9:30 AM **Review and Discussion: Channel Point Townhomes (2022-02-14)**  
**Location:** Route 54 and Bennett Avenue, near Fenwick  
**Project:** Review of a rezoning for 9.2 acres from AR-1 to MR and site plan review for 23 townhomes near Fenwick Island in Sussex County.
- IV. 10:00 AM **Review and Discussion: Town of Milton Comprehensive Plan amendment (2022-02-01)**  
**Project:** Comprehensive Plan amendment to change the Future Land Use of three parcels from Residential to Large Parcel Development  
  
**Review and Discussion: Town of Milton Comprehensive Plan amendment (2022-02-06)**  
**Project:** Review of comprehensive plan amendment to add 36 parcels to the historic district per map included with application  
  
**Review and Discussion: Town of Milton Comprehensive Plan amendment (2022-02-07)**  
**Project:** Review of comprehensive plan amendment to add a source water Protection area to map
- V. 10:30 AM **Review and Discussion: Rehoboth Comp Plan update (2022-02-16)**  
**Project:** Review of the City of Rehoboth Comprehensive Plan







[Return to Calendar](#)

## Application 2018-18 - CANNON PROPERTY - EVERETT CLIFTON AND ALLIE CANNON AND CARL FREEMAN COMPANIES

**Case Number:** 2018-18

**Applicant Name:**

CANNON PROPERTY - EVERETT CLIFTON AND ALLIE CANNON AND CARL FREEMAN COMPANIES

**Application Type:** MAJOR SUBDIVISION

**Application Status:** APPROVED

**Description:**

**Hundreds:** BALTIMORE

**Parcels:** 533-20.00-20.00

CMF CANNON LLC

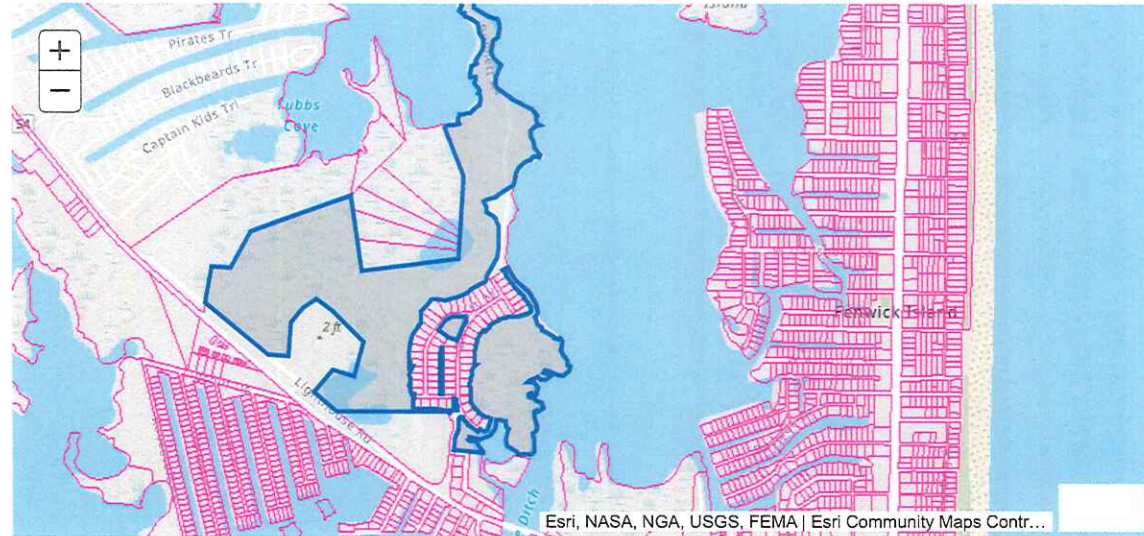
LIGHTKEEPERS WAY 533-20.00-21.00

SELBYVILLE, DE 19975 , DE

533-20.00-22.00 533-20.19-97.00

, DE

, DE



Please note that the above web map shows only the approximate location of the application site and is provided for convenience purposes only. For detailed information regarding the application location, please refer to the maps and information submitted in the application documents.

[MEETINGS \(1\)](#)

[COMMENTS \(0\)](#)

[DOCUMENTS \(0\)](#)

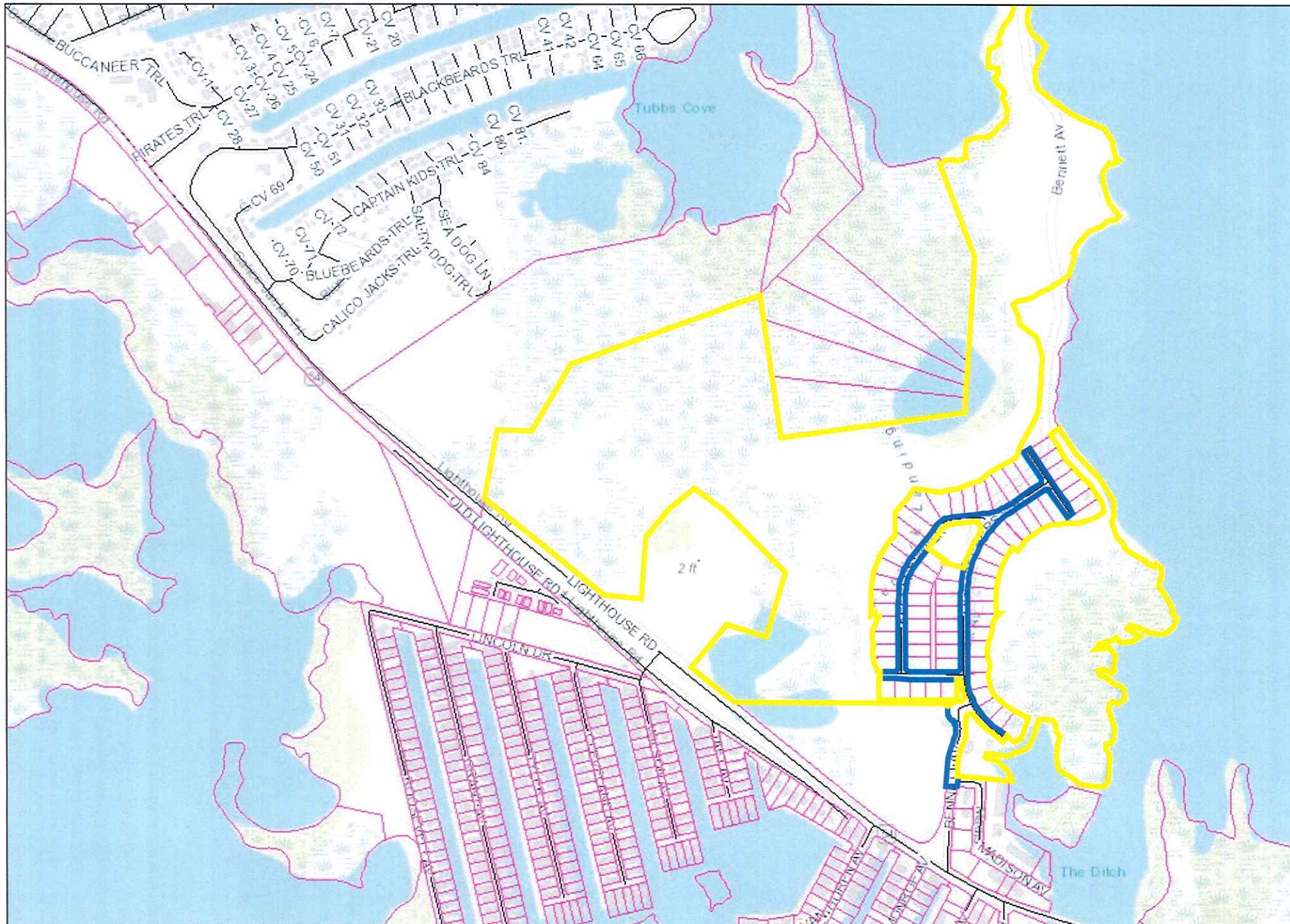
**PLANNING & ZONING COMMISSION:** November 15, 2018

[Meeting Details](#)





# Sussex County





## **EXHIBIT E**

### **Pictures of Applicants Property**

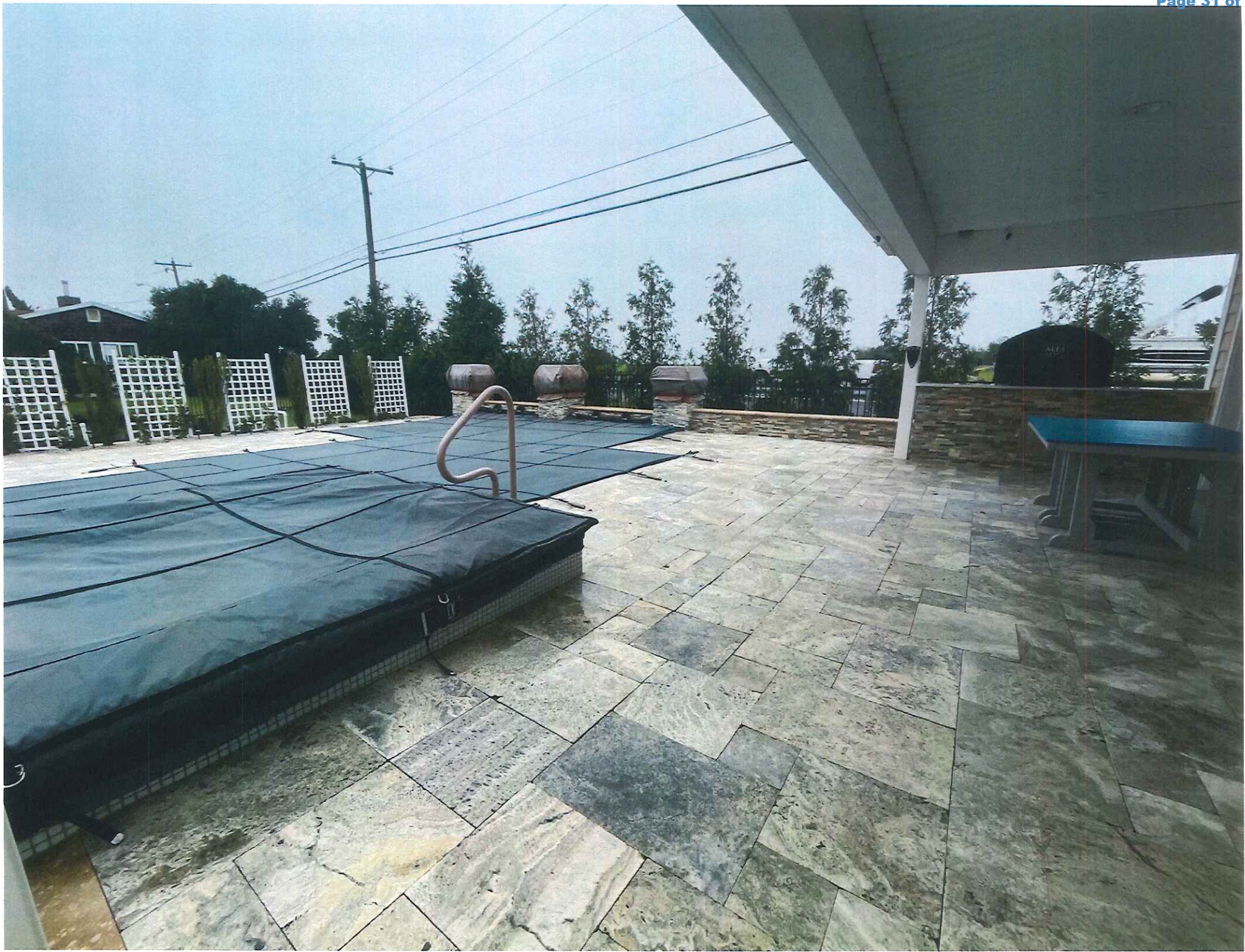






























## **EXHIBIT F**

Pictures of Neighboring Properties & Businesses

Along Route 54





**Fencing across from High Steaks on Rt. 54**





House fencing across from Fire Station on Rt. 54





Fencing at Treasure Island on Rt. 54





Fencing near car wash along Rt. 54





**Neighbors fencing across from canal**





**Fencing on neighbors property across the canal**





House fencing along Rt. 54



# Sussex County



November 1, 2023

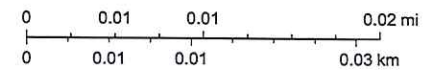
polygonLayer

- Override 1
  - Override 2
  - Tax Parcels
- 911 Address

- Streets
- County Boundaries
- World Imagery
- Low Resolution 15m Imagery

- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations
- 15cm Resolution Metadata

1:564



State of Delaware, Maxar, Microsoft, DNREC, Division of Watershed Stewardship, Drainage Program, john.inkster@state.de.us, Sussex County Government



CONNECTEXPLORER

Search

Search by SUSSEXPARELS

533-20.19-16.00

Search results (1) Options

533-20.19-16.00

150 ft  
10 m

map: Auto (Oblique) | Dates: Latest | image 1 of 12 | 03/02/2023



NOTICE OF APPEAL AND REQUEST FOR VARIANCE  
OR SPECIAL USE EXCEPTION  
COUNTY BOARD OF ADJUSTMENT

To be filled out by Planning & Zoning Office and applicant. All blanks below must be filled in for this application to be processed.

Application No. 9098 Date 4/12/05 Fee \$ 150.00  
Name Robert T. W. Lukowski Sr Phone 717-569-0042  
Mailing Address 2835 Brookfield Rd. Lancaster, PA 17601

Interest in Property

Owner (Indicate if different than above)

Name Robert T. W. Lukowski Sr Phone 717-569-0042  
Address 2835 Brookfield Rd. Lancaster, PA 17601

Location: Road 54 (N) (S) (E) (W) side, W. Edgewater Acres (ft.)  
or (miles) (N) (S) (E) (W) of 17.5 MONROE AVE.

District No. 533 Map No. 20.19 Parcel No. 16.00

Subdivision EDGEWATER ACRES Lot No. 16 Zone ARI

Hundred BAH Frontage 50 Depth 100 Acres -

Request for a special use exception as provided by: (or)

Request for a variance from the provisions of:

Chapter 115 Article IV Subsection 15-25 Item B

Date property was acquired 4-30-05

Plot plan or drawing attached: Yes  No

State specifically your request and the reason for this request.

@ A VARIANCE OF 2 FT. FROM FRONT SETBACK (FOR STEPS).

@ A VARIANCE OF 5 FT. FROM A SIDE SETBACK (FOR STEPS & A HOUSE WALL 9 FT FROM NORTH SIDE SETBACK)

@ A VARIANCE OF 13 FT FROM THE REAR SETBACK OF 20 FT (TO PROVIDE FOR A DECK + HOUSE WALL)

CONFORMS W/ NEIGHBOR'S HOUSE. Robert W. Lukowski Signature of Applicant

FOR BOARD USE ONLY:

Date of Notice 3/17/05 Date of Hearing June 20, 2005

Fee Receipt No. 314797

Decision of Board Final with 7-11-05

Date of Decision 6-20-05 Approved 7-11-05

UNDER SIZED LOT

[Signature]  
Person Accepting Application



In order for the Board of Adjustment to grant a special use exception or variance, the Board must find that the applicant has proven the following:

#### STANDARDS FOR GRANTING OF VARIANCES

1. Uniqueness.

a. Unique physical circumstances or conditions (such as irregularity, narrowness or shallowness of lot size or shape, or exceptional topographical or other physical conditions, peculiar to the property).

b. That unnecessary hardship or exceptional practical difficulty is due to such unique conditions, and not to general circumstances or conditions and cannot be developed in strict conformity.

2. Cannot otherwise be developed.

a. There is no possibility the property can be developed in strict conformity with the zoning ordinance.

b. That the variance is necessary to enable reasonable use of the property.

3. Not created by the applicant.

a. The unnecessary hardship or exceptional practical difficulty cannot have been created by the applicant.

4. Will not alter essential character of neighborhood.

a. The variance will not alter the essential character of the neighborhood.

b. The variance will not substantially or permanently impair the appropriate use or development of adjacent property.

c. The variance will not be detrimental to the public welfare.

5. Minimum variance.

a. The variance is the minimum that will afford relief.

b. The variance will represent the least modification possible of the regulation in issue.

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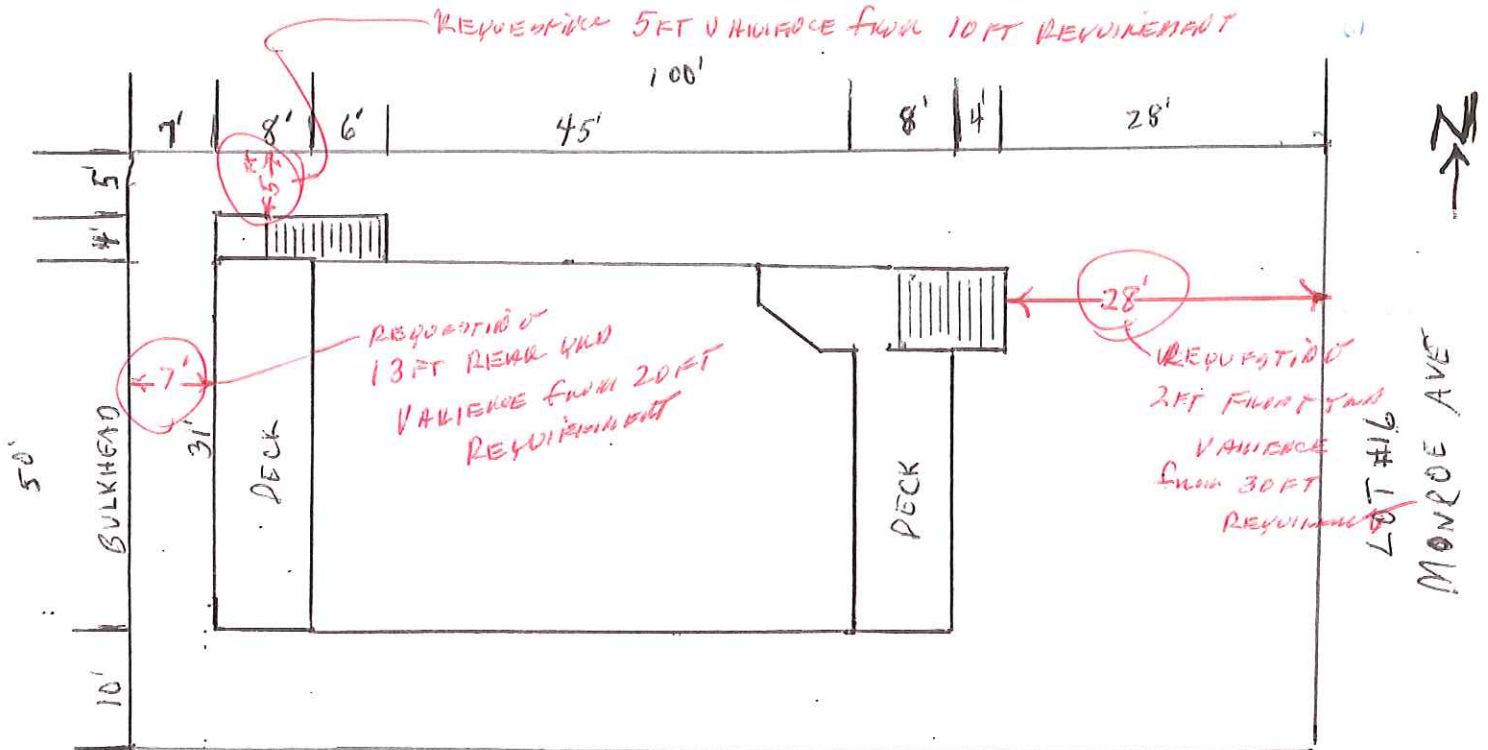
Mar-21-05 11:34A

P.04

RT. 54

Board of Adjustment Application  
Page 3

Draw or attach a drawing indicating what will be located on this lot and give, as accurate as possible, measurements of loc, setbacks and sizes of all structures.



Approved for Advertising.



PLANNING AND ZONING COMMISSION

BOARD OF ADJUSTMENT

CASE NO. \_\_\_\_\_

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535-2019

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626 Willow Grn  
Lantz PA 17543

✓ 2.4.01  
Marion Gordon  
4308 Serpentine Rd

✓ 3.5 Middletown DE 21769  
Richard Tingle  
803 Highfield Dr

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David Landis  
11429 Assateague Rd

✓ 5.13 Berlin MD 21811  
D Brian Gordon  
P.O. Box 548

✓ 6.13.01 Bethany Beach DE 19930  
Caradine Hewitt Jr  
4 Van Buren Ave  
Seaboard DE 19975

Shari Colw

✓ 7.12  
Charles Phillips Jr  
RD 3 Box 296E

✓ 8.15 Seaboard DE 19975  
Ralph Krum  
306 Pond St

✓ 9.17.01 Salisbury MD 21804  
Sharon Mullins  
654 Little Egypt Rd

✓ 10.17 Elkton MD 21921  
Howard Gaul  
1213 St Clair Rd

✓ 11.18 Orland PA 19075  
Paul Nishimoto  
330 Sherwood Dr NE

✓ 12.19 Vienna VA 22180  
David Whitney  
RR 3 Box 297I  
Seaboard DE 19975

4/13/05

Staff Person preparing list

Date



\_\_\_\_\_ PLANNING AND ZONING COMMISSION

\_\_\_\_\_ BOARD OF ADJUSTMENT

CASE NO. \_\_\_\_\_

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RR 3 Box 297C  
Seabymile DE 19973

✓ 2. 27 8.  
Elmer Evans  
RR 4 Box 116

✓ 3. 24 Frankford DE 19945 9.  
Vincent Cicala  
11020 Cone Lane

✓ 4. 23 Silver Spring MD 20910 10.  
John Cicala  
2711 Bel Pre Rd

5. 22 Silver Spring MD 20910 11.

Same

✓ 6. 28 Lafayette Moore 12.  
1009 Washington St.  
New Castle DE 19720

Shari Con

Staff Person preparing list

Date

4/13/05



SEE 5-33-20

SEE 5-33-20

LAGOON

110  
1.54 Ac.S

LAGOON

FENWICK LANDING CONDO

BENNET AVENUE

MADISON AVENUE

GLENN AVENUE

Stip

ACRES

ACRES

ACRES

ACRES

54

LAGOON

GARFIELD AVENUE

LAGOON

HAYES AVE

JEFFERSON AVENUE

EDgewater AVENUE

EDgewater AVENUE

MADISON AVENUE

BALTIMORE

(FENWICK ISLAND SANITARY WATER SE

WORCHESTER STATE OF MA

20.18

SEE 5-3



**BEFORE THE BOARD OF ADJUSTMENT OF SUSSEX COUNTY**

**IN RE:           ROBERT W. LUKOWSKI**

**Case No. 9390 – 2006**

A hearing was held after due notice on February 6, 2006. The Board members present were: Mr. Callaway, Mr. McCabe, Mr. Mills, Mr. Workman and Mr. Hudson.

Nature of the Proceedings

This is an application for a variance from the front yard setback requirement.

Finding of Facts

The Board found that the Applicant was seeking a variance from front yard setback requirements South of Route 54, West of Monroe Avenue, Lot 12, Block 3, Edgewater Acres. The Applicant was requesting a 14.6 foot variance from the required 30 foot front yard setback for steps. After a hearing, the Board made the following findings of fact:

1. The Applicant was granted a variance within the last year, but subsequently found that he was unable to place steps to the second floor addition within setbacks.
2. One of the Applicant's difficulties was with the fact that a survey showed the lot to be less than 95 feet long, contrary to the 100 feet shown on earlier plots.
3. The height of the entryway and the rise for the steps required by the building code add to the difficulty. The stairs lead to the primary entrance for the dwelling.
4. Lots are generally small in the area, making it difficult to expand or improve dwellings. As a result, other variances have been granted, and this one will not alter the essential character of the neighborhood.

The Board granted the requested variance.

Decision of the Board

Upon motion duly made and seconded, the application was granted. The Board members voting in favor were: Mr. Callaway, Mr. McCabe, Mr. Mills, Mr. Workman and Mr. Hudson; voting against – none.

**BOARD OF ADJUSTMENT  
OF SUSSEX COUNTY**

Dale Callaway  
Chairman

If the use is not established within one (1) year from the date below the application becomes void.

Date \_\_\_\_\_.



NOTICE OF APPEAL AND REQUEST FOR VARIANCE  
OR SPECIAL USE EXCEPTION  
COUNTY BOARD OF ADJUSTMENT

To be filled out by Planning & Zoning Office and applicant. All blanks below must be filled in for this application to be processed.

Application No. 9390 Date 12/21/05 Fee \$ 400.00

Name Robert v. Lukowski Phone (717) 569-0042

Mailing Address 2835 Brookfield Rd Lancaster, PA 17601

Interest in Property  
Owner: (Indicate if different than above)

Name SAME Phone -

Address -

Location: Road 54 (N) (S) (E) (W) side, at Edgewater Acres (ft.)

or (miles) (N) (S) (E) (W) of Monroe Ave.

District No. 533 Map No. 20-19 Parcel No. 16.00

Subdivision Edgewater Acres Lot No. 12 Blk 3 Zone ARI

Hundred Block Frontage 50 Depth 100 Acres -

Request for a special use exception as provided by: (or)

Request for a variance from the provisions of:

Chapter 115 Article IV & XX Subsection 115-25 Item B

Date property was acquired 4-30-05 115-182 D

Plot plan or drawing attached: Yes  No

State specifically your request and the reason for this request.

\* A front set back variance of 14.6 feet for steps from required front yard setback

\* Variance was granted for front, side and rear setback  
See attached Survey was uncorrected  
[Signature]  
Signature of Applicant

FOR BOARD USE ONLY:

Date of Notice \_\_\_\_\_ Date of Hearing Feb. 6, 2006

Fee Receipt No. 315921

Decision of Board Approved

Date of Decision 2-6-06

[Signature]  
Person Accepting Application



In order for the Board of Adjustment to grant a special use exception or variance, the Board must find that the applicant has proven the following:

STANDARDS FOR GRANTING OF VARIANCES

1. Uniqueness.

a. Unique physical circumstances or conditions (such as irregularity, narrowness or shallowness of lot size or shape, or exceptional topographical or other physical conditions, peculiar to the property).

b. That unnecessary hardship or exceptional practical difficulty is due to such unique conditions, and not to general circumstances or conditions and cannot be developed in strict conformity.

2. Cannot otherwise be developed.

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Board of Adjustment Application  
Page 3

Draw or attach a drawing indicating what will be located on this lot and give, as accurate as possible, measurements of lot, setbacks and sizes of all structures.

Approved for Advertising.

---



NOTICE OF APPEAL AND REQUEST FOR VARIANCE  
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To be filled out by Planning & Zoning Office and applicant. All blanks below must be filled in for this application to be processed.

Application No. 9098 Date 4/12/05 Fee \$ 150.00  
Name Robert T. W. Lukowski Sr Phone 717-569-0042  
Mailing Address 2835 Brookfield Rd. Lancaster, PA 17601

Interest in Property  
Owner: (Indicate if different than above)  
Name Robert W. Lukowski Sr Phone 717-569-0042  
Address 2835 Brookfield Rd. Lancaster, PA 17601  
Location: Road 54 (N) (S) (E) (W) side, W/ Edgewater Acres (ft.)  
or (miles) (N) (S) (E) (W) of MONROE AVE.

District No. 533 Map No. 20.19 Parcel No. 116.00  
Subdivision EDGEWATER ACRES Lot No. 16 Zone AR1  
Hundred BAH Frontage 50 Depth 100 Acres -

Request for a special use exception as provided by: (or)  
Request for a variance from the provisions of:

Chapter 115 Article IV Subsection 15-23 Item B

Date property was acquired 4-30-05

Plot plan or drawing attached: Yes  No

State specifically your request and the reason for this request.

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- ⓑ A VARIANCE OF 5 FT. FROM A SIDE SETBACK (FOR STEPS & A HOUSE WALL 9 FT FROM NORTH SIDE SETBACK OF 10 FT)
- ⓒ A VARIANCE OF 13 FT FROM THE REAR SETBACK OF 20 FT (TO PROVIDE FOR A DECK + HOUSE WALL CONFORMS W/ NEIGHBOR'S HOUSE.)

Robert W. Lukowski  
Signature of Applicant

FOR BOARD USE ONLY:

Date of Notice \_\_\_\_\_ Date of Hearing June 20, 2005

Fee Receipt No. 314797

Decision of Board Filed with 7-11-05  
open for office approved  
Date of Decision 6-20-05 7-11-05

UNDER SIZED LOT

[Signature]  
Person Accepting Application



PLANNING AND ZONING COMMISSION

BOARD OF ADJUSTMENT

CASE NO. \_\_\_\_\_

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1213 St Clair Rd  
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✓ 11.18  
Paul Nishimoto  
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Vienna VA 22180

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David Whitney  
Rt 3 Box 297I  
Seaboard DE 19975

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Date



PLANNING AND ZONING COMMISSION

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John Cicala  
2711 Bel Pre Rd
- ✓ 5.22 Silver Spring MD 20906 11.  
Sime
- ✓ 6.28 12.  
Lafayette Moore  
1009 Washington St.  
New Castle DE 19720
- Shari Con  
Staff Person preparing list

4/13/05  
Date



**BEFORE THE BOARD OF ADJUSTMENT OF SUSSEX COUNTY**

**IN RE:        ROBERT W. LUKOWSKI, SR.**

**Case No. 9098 – 2005**

A hearing was held after due notice on July 11, 2005. The Board members present were: Mr. Callaway, Mr. McCabe, Mr. Mills, Mr. Workman and Mr. Hudson.

Nature of the Proceedings

This is an application for a variance from the front yard, side yard, and rear yard setback requirements.

Finding of Facts

The Board found that the Applicant was seeking a variance from front yard, side yard and rear yard setback requirements South of Route 54, West of Monroe Avenue, Lot 16, Edgewater Acres. The Applicant was requesting a 2 foot variance from the required 30 foot front yard setback for a deck, a five foot variance from the required 10 foot side yard setback for a proposed dwelling, and a 13 foot variance from the required 20 foot rear yard setback for a deck. After a hearing, the Board made the following findings of fact:

1. There are numerous decks in the development, many of which are already in violation of setbacks.
2. Several individuals appeared in opposition. Jackie Wright, owner of the adjacent property, is a part-timer resident, who objected to the Application. The Board noted, however, that Ms. Wright's property was granted variances on all sides. Marion Gordon also testified in opposition, essentially on grounds that setbacks should be obeyed.
3. Other neighbors are in support of the Application, and the proposed dwelling will be the same height as neighboring dwellings.
4. Planning & Zoning staff pointed out that because the property is in a flood zone, first floor decks can encroach 5 feet into the setback, and that as a result, no front yard variance was necessary. In addition, the actual rear property line exists in the Lagoon, thereby compressing the building envelope.
5. The Application was originally tabled in order to allow staff to report as to the true location of the rear property line. Upon further consideration, the Board determined that the request met all of the standards for granting a variance.

The Board granted the necessary variances.

Decision of the Board

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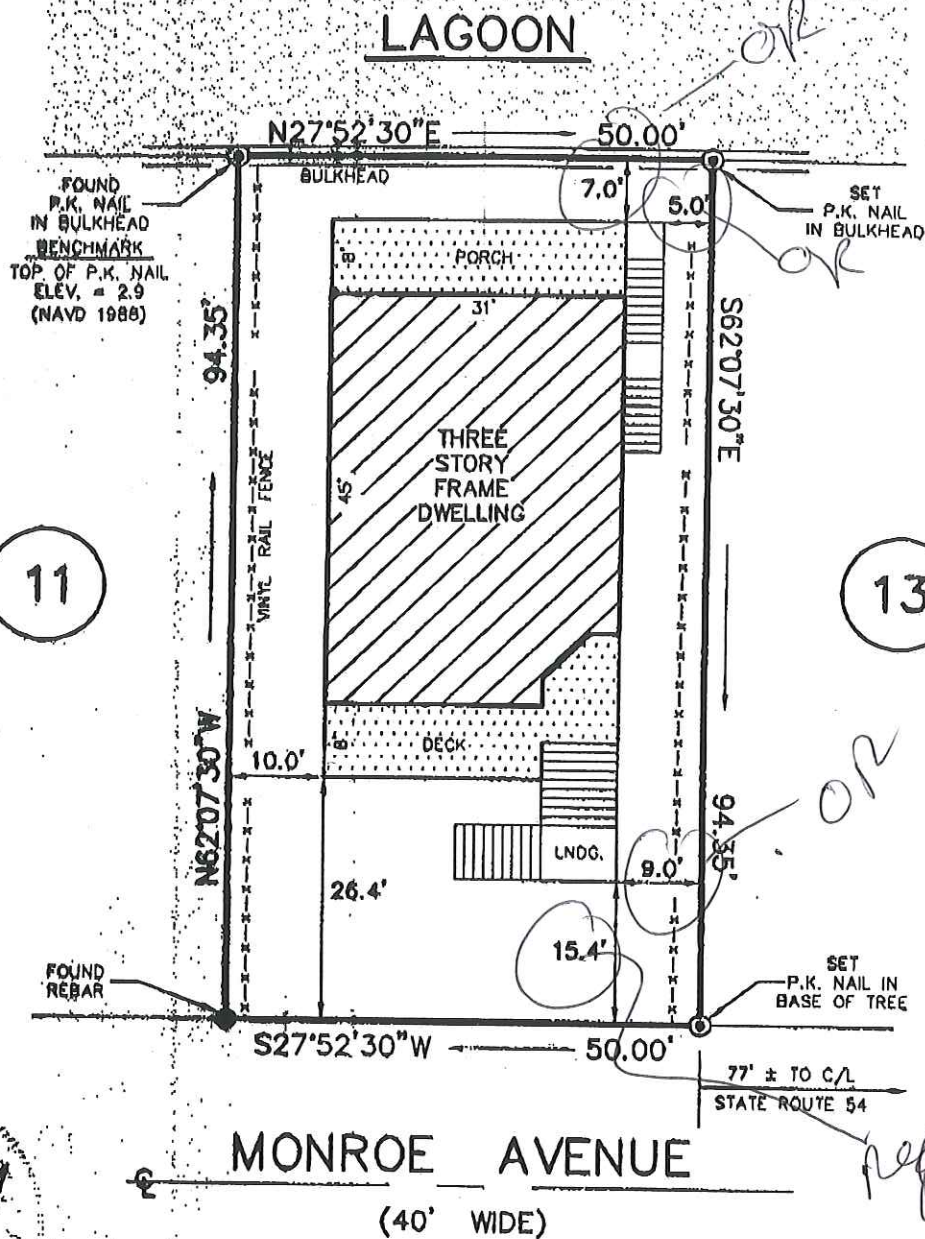
**BOARD OF ADJUSTMENT  
OF SUSSEX COUNTY**

  
 Dale Callaway  
 Chairman

If the use is not established within one (1) year from the date below the application becomes void.

Date September 1, 2005





**DELAWARE SURVEYING SERVICES**  
 MAXWELL J. MORRIS, PLS  
 P.O. BOX 1121  
 MILLYVILLE, DE. 19970  
 (302) 537-7094 \* FAX (302) 537-6534

DATE: DEC. 19, 2005  
 SCALE: 1" = 20'

PLOT REF: P.B. 5, P. 31  
 DEED REF: D.B. 750, P. 280  
 TAX MAP #: 5-33-20,19-16,00  
 FLOOD ZONE: AE, ELEV. 5

**FINAL LOCATION SURVEY**

CLASS "B" SURVEY

DESCRIPTION: **LOT 12, BLOCK 3, "EDGEWATER ACRES"**  
 BALTIMORE HUNDRED \* SUSSEX COUNTY \* DELAWARE

DRAWING  
**05-039A**



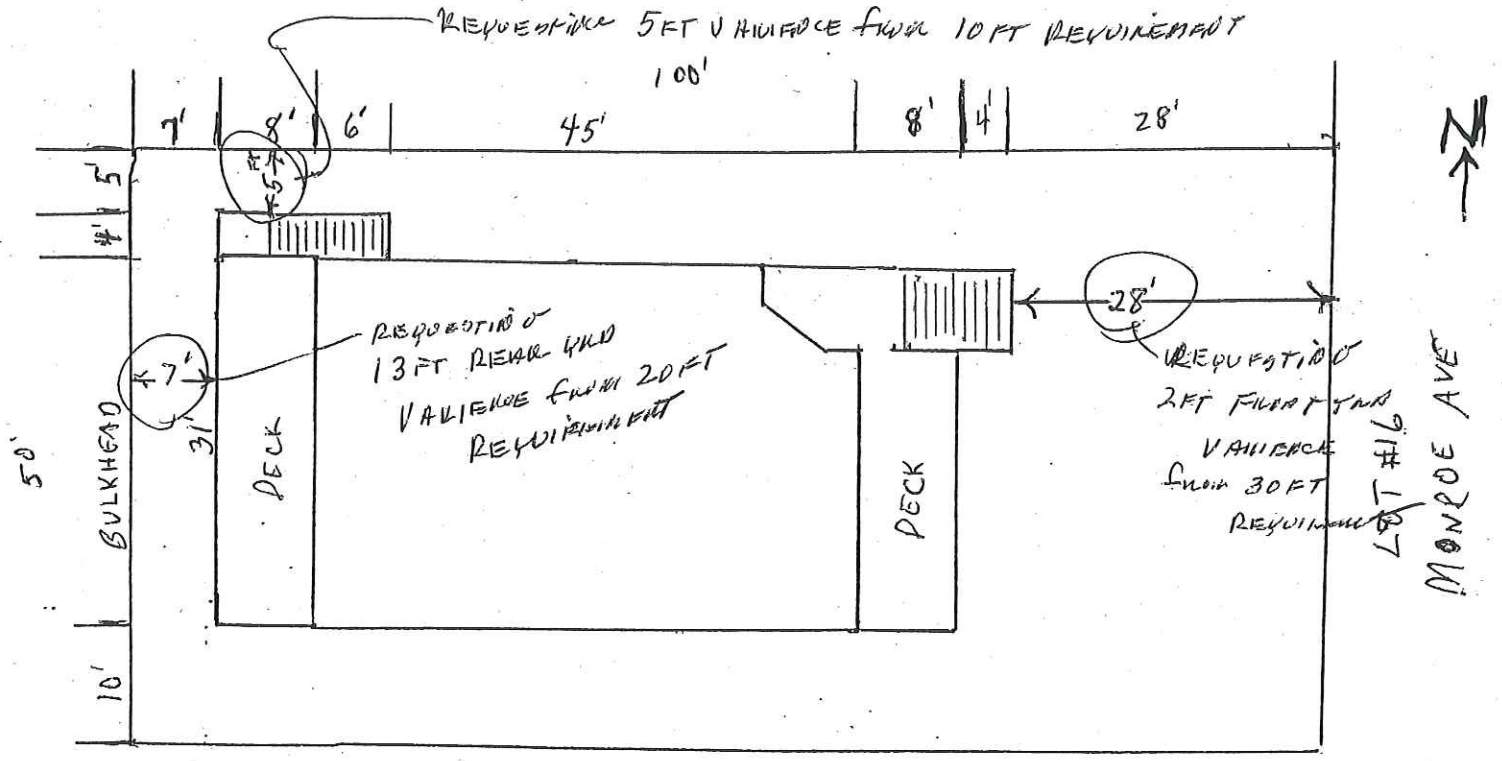
21-05 11:34A

P.04

RT. 54

Board of Adjustment Application  
Page 3

Draw or attach a drawing indicating what will be located on this lot and give, as accurate as possible, measurements of lot, setbacks and sizes of all structures.



Old Casag

Approved for Advertising.



SEE 5-33-20

SEE 5-33-20

LAGOON

110  
1.54 Ac.S

LAGOON

FENWICK LANDING CONDO

BENNET AVENUE

MADISON AVENUE

GLENN AVENUE

54  
1 2 3 4  
5 6 7 8 9 10  
11 12 13 14 15  
16 17 18 19 20  
21 22 23 24 25  
26 27 28 29 30  
31 32 33 34 35 36 37 38  
39 40 41 42 43 44 45 46 47  
48 49 50 51 52 53 54 55 56 57 58

EDGEWATER AVENUE  
MONROE AVENUE  
VAN BUREN AVENUE  
LAGOON

54  
59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83  
84 85 86 87 88 89 90  
91 92 93 94 95 96 97 98 99 100

SEE 5-3

GARFIELD AVENUE

LAGOON

HAYES AVE

JEFFERSON AVENUE

MADISON AVENUE

BALTIMORE ISLAND WATER  
FENWICK ISLAND SANITARY  
WORCHESTER STATE OF MA

20.18



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**BOARD OF ADJUSTMENT  
OF SUSSEX COUNTY**

Dale Callaway  
Chairman

If the use is not established within one (1) year from the date below the application becomes void.

Date \_\_\_\_\_.

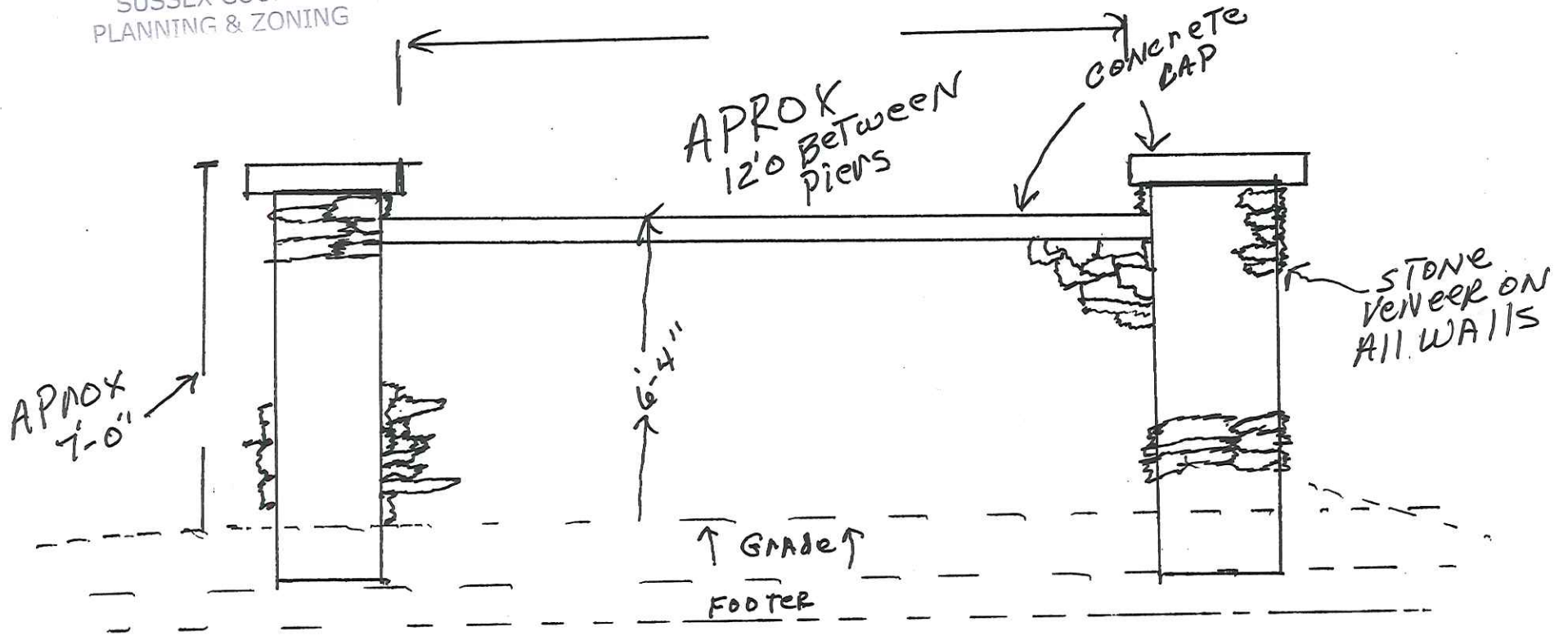


# FRONT WALL SECTION

RECEIVED

NOV 27 2023

SUSSEX COUNTY  
PLANNING & ZONING

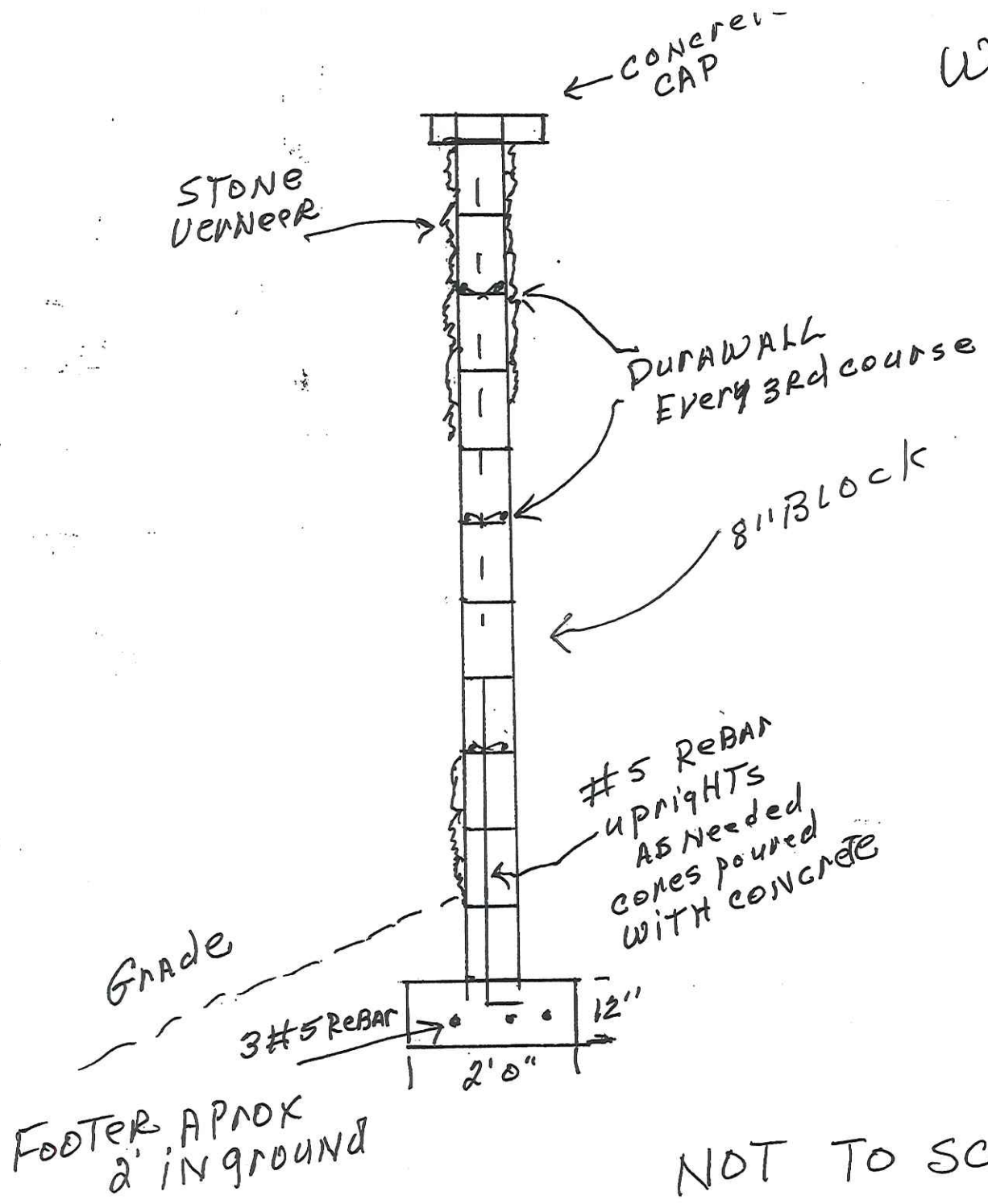


RT 54

NOT TO SCALE



# Wall Detail



RECEIVED

NOV 27 2023

SUSSEX COUNTY  
PLANNING & ZONING

NOT TO SCALE



RECEIVED

NOV 27 2023

SUSSEX COUNTY  
PLANNING & ZONING

TOP  
View

All piers  
20" x 20"

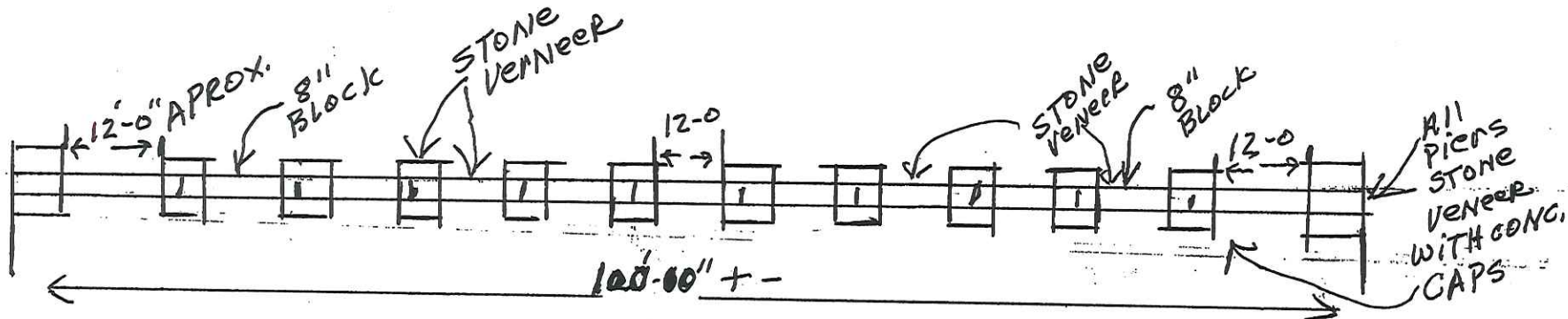
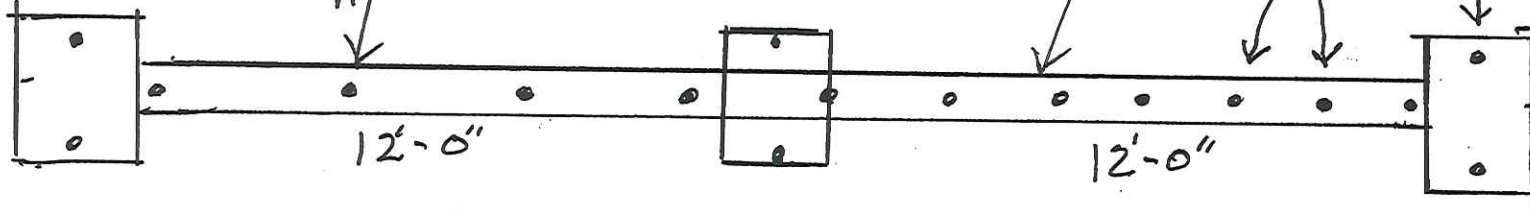
UPRIGHTS  
H.O.C. AS Needed

Footer detail

8" BLOCK

UPRIGHTS

#5 REBAR  
3500 PSI  
CONCRETE



RT 54

NOT TO SCALE





BAIRD  
MANDALAS  
BROCKSTEDT  
& FEDERICO LLC

Glenn C. Mandalas, Esq.  
(302) 645-2262  
glenn@bmbde.com

December 1, 2023

**VIA ELECTRONIC MAIL**

Sussex County Board of Adjustment  
2 The Circle (PO Box 589)  
Georgetown, DE 19947

**RE: Variance Application 12890 – Geoffrey S. Piotroski  
38940 Monroe Avenue, Selbyville, TMP 533-20.19-16.00**

Board of Adjustment Members,

I represent Geoffrey Piotroski who owns the property located at 38940 Monroe Avenue, Selbyville, DE (TMP 533-20.19-16.00) (the “Property”). The Property is in the Agriculture Residential – AR-1 Zoning District and is adjacent to Route 54. This correspondence is a supplement to Sussex County Board of Adjustment Application 12890 previously filed with the Board. Mr. Piotroski desires to construct a 95-foot stone wall parallel to Route 54. Section 115-185(C) of the Zoning Code permits the construction of a wall 3 ½ feet in height. Mr. Piotroski is seeking a 3 ½ foot height variance to permit the proposed wall to be 7 feet in height.

Mr. Piotroski has requested the variance primarily so that his property will be buffered from the noise and dust that is generated by the significant amount of traffic on Route 54. Because Route 54 is elevated significantly higher than Mr. Piotroski’s property, a code-compliant 3 ½ foot wall will not be effective, and therefore a variance to allow the wall to be constructed at 7 feet in height is necessary.

***Variance Requested***

Section 115-185(C) addresses wall heights in the Agriculture Residential – AR-1 Zoning District, providing:

§ 115-185 Accessory buildings and structures.

- C. Any fence or wall for residential use, not more than 3 1/2 feet in height, may project into or enclose any required front or side yard to a depth from the street line equal to the required depth of the front yard. Any fence, hedge or wall for residential use may project into or enclose other required yards, provided that such fences, hedges and walls do not exceed a height of seven feet. This height limit does not apply to fences or walls used for commercial, industrial or agricultural uses, screening or tennis courts. Every such fence must be approved by the Director.

---

1413 Savannah Rd., Suite 1 | Lewes, DE 19958 | (302) 645-2262 | (302) 644-0306 (fax)

www.bmbfclaw.com

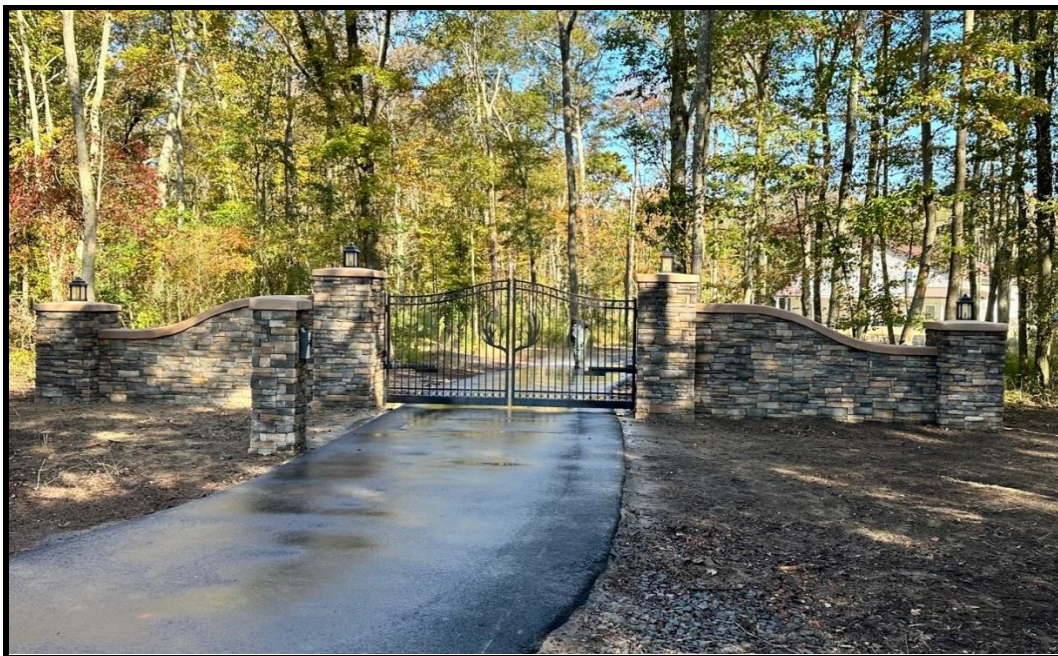
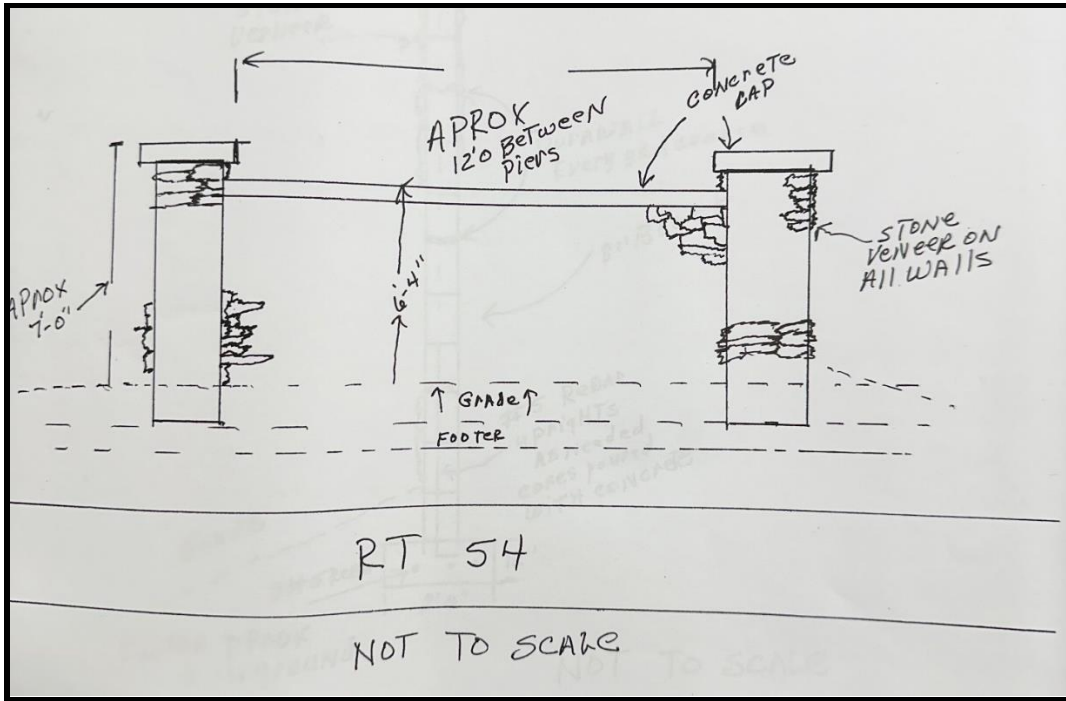
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Baird Mandalas Brockstedt & Federico, LLC

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Mr. Piotroski is seeking a variance to construct a 7-foot-high wall, 95 feet in length, parallel to Route 54, which is 3 ½ feet higher than the Code permits. The illustrations below include a rudimentary depiction of the proposed wall, and a wall constructed with materials similar to those proposed by Mr. Piotroski.





## I. Legal Standard

The Delaware Supreme Court has indicated that an area variance, like the one requested in the current application, does not involve a prohibited use, and “concerns only the practical difficulty in using the particular property for a permitted use.”<sup>1</sup> Unlike a use variance, an area variance is subjected to the relatively less burdensome ‘exceptional practical difficulty’ test.”<sup>2</sup> *In Bd. of Adjustment of New Castle Cty v. Kwik-Check Realty, Inc.*, the Court concluded, “[s]uch [exceptional] practical difficulty is present where the requested dimensional change is minimal and the harm to the applicant if the variance is denied will be greater than the probable effect on the neighboring properties if the variance is granted.”<sup>3</sup> When addressing an application for an area variance, the *Kwik-Check* Court set forth four factors to be considered by a Board of Adjustment:

[1][T]he nature of the zone in which the property lies[;] [2] the character of the immediate vicinity and the uses contained therein[;] [3] whether, if the restriction upon the applicant’s property were removed, such removal would seriously affect such neighboring property and uses; [and] [4] whether, if the restriction is not removed, the restriction would create [hardship] for the owner in relation to his efforts to make normal improvements in the character of that use of the property which is a permitted use under the use provisions of the ordinance.<sup>4</sup>

Additionally, the applicant for an area variance must not have created the exceptional practical difficulty in order for it to be granted.<sup>5</sup>

The current application satisfies each of the factors enumerated in *Kwik-Check*.

### *Exceptional Practical Difficulty*

During recent years, the traffic on Route 54 has increased dramatically. The traffic creates significant dust that is deposited on the Property, and also generates a considerable amount of noise. Additionally, Mr. Piotroski’s wife and daughter have been the victims of unsolicited negative comments from passengers in stopped vehicles when the traffic backs up on Route 54. Naturally, as an addition to the existing stand of tujas that provide some relief, Mr. Piotroski would like to create a more effective buffer from these nuisances by installing a stone wall. However, the exceptional practical difficulty associated with the Property arises from the fact that Route 54’s elevation is significantly higher than the elevation of the Property, making a code-compliant 3 ½ foot wall ineffective.

<sup>1</sup> *Bd. of Adjustment of New Castle Cty v. Kwik-Check Realty, Inc.*, 389 A.2d 1289, 1291 (Del. 1978).

<sup>2</sup> *Id.*

<sup>3</sup> *Id.*

<sup>4</sup> *Id.* (citation omitted), see also, *Wawa*, 929 A.2d at 831; *Holowka v. New Castle County Bd. of Adjustment*, 2003 WL 21001026, at \*5 (Del. Super.).

<sup>5</sup> See 9 Del. C. §6917(3)(c); *Bd. of Adjustment of Sussex Cty v. Verleysen*, 36 A.3d 326, 330 (Del. 2012).



There is little disagreement, if any, that Route 54 is a major artery and, as demonstrated by photographs included with our variance application, other walls and fences taller than 3 ½ feet exist in the area. The proposed wall will create essentially no harm to or effect on neighboring properties. In this instance, the harm to the applicant if the variance is denied will be greater than the probable effect on the neighboring properties if the variance is granted.

## **II. Variance Requested and Application of the Kwik-Check Factors**

Mr. Piotroski is seeking a variance to construct a 7-foot-high wall, 95 feet in length, parallel to Route 54, which is 3 ½ feet higher than the Code permits.

### **Application of the *Kwik-Check* Factors**

In this instance, the “harm to the applicant if the variance is denied will be greater than the probable effect on the neighboring properties if the variance is granted.”<sup>6</sup> Each of the *Kwik-Check* factors are addressed below.

#### ***(1) The nature of the zone in which the property lies***

The Property is located in the Agriculture Residential – AR-1 Zoning District, where residential structures and uses are permitted, as are walls so long as they are limited to 3 ½ feet in front and side yards. However, walls in the rear yard are permitted to be 7 feet—the height requested here. Consequently, the Zoning District recognizes that 7 feet tall walls are appropriate in some locations in the Zoning District. As the busiest travel corridor in the area, significantly elevated higher than the Property, Route 54 creates an ideal location for the creation of a buffer using a 7-foot-high wall.

#### ***(2) The character of the immediate vicinity and the uses contained therein***

As stated above, and demonstrated by the photographs included with variance application, many walls and fences taller than 3 ½ feet exist in the immediate vicinity. Indeed, the Code permits 7-foot-tall walls in the rear yard. Consequently, the proposed wall is in character with the surrounding buildings and residential uses.

#### ***(3) Whether, if the restriction upon the applicant’s property were removed, such removal would seriously affect such neighboring property and uses***

Granting the requested variance would not seriously affect neighboring properties. The Code already permits walls up to 7 feet in height depending upon their location. The proposed location here is not in an area interior to a residential neighborhood where views could be blocked. Rather, the proposed location is adjacent to a busy travel corridor where a stand of tujias taller than the proposed wall already exist.

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<sup>6</sup> *Kwik-Check Realty*, 389 A.2d at 1291.



***4) Whether, if the restriction is not removed, the restriction would create [hardship] for the owner in relation to his efforts to make normal improvements in the character of that use of the property which is a permitted use under the use provisions of the ordinance.***

If the variance is not granted the owners will not be able to enjoy their residential property like others in the same area who are not immediately adjacent to Route 54. The proposed wall is clearly a “normal improvement,” as other properties in the Agriculture Residential – AR-1 Zoning District have walls and fences taller than 3 ½ feet. If the variance were to be denied, the owners would have no ability to create an effective buffer that will permit the enjoyment of their property in ways similar to their neighbors.

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Given that my client has an exceptional practical difficulty, as described above, we respectfully request that the Board grant the requested variance. Thank you for your consideration of this request.

Sincerely,

A handwritten signature in black ink, appearing to read "Glenn C. Mandalas". The signature is fluid and cursive, with a long horizontal stroke at the end.

Glenn C. Mandalas, Esquire

cc:

Mr. Andy Wright  
Mr. Jamie Sharp, Esq.