

**BOARD OF ADJUSTMENT**

DR. LAUREN A. HITCHENS  
NATHAN KINGREE  
SHAWN LOVENGUTH  
JOHN WILLIAMSON



**Sussex County**

DELAWARE  
sussexcountyde.gov  
(302) 855-7878

**AGENDA**

**December 15, 2025**

**6:00 PM**

**Call to Order**

**Pledge of Allegiance**

**Approval of Agenda**

**Approval of the Minutes for October 20, 2025**

**Approval of the Findings of Fact for October 20, 2025**

**Public Hearings**

**13145 - Bryce and Maxine Stander**

seek variances from the front yard setback requirement and side yard setback requirement for a proposed structure (Section 115-34, 115-182 and 115-183(E) of the Sussex County Zoning Code). The property is located on the east side of Keenwik Road. 911 Address: 38075 Keenwik Rd., Selbyville. Zoning District: MR. Tax Map: 533-20.09-146.00

Tax Map: 533-20.09-146.00

**13146 - Jason Russo**

seeks variances from the front yard setback requirement and from the maximum fence height within the front yard setback requirement for a proposed structure (Section 115-34, 115-182 and 115-185) of the Sussex County Zoning Code). The property is located at the corner of Liverpool Lane and Oxford Court. 911 Address: 37405 Liverpool Lane, Rehoboth Beach. Zoning District: MR. Tax Map: 334-13.00-1580.00

**13147 - Michele L. Jerrell**

seeks variances from the side yard setback requirement for existing structures (Section 115-25, 115-183(E) and 115-185) of the Sussex County Zoning Code). The property is located on the northeast side of Hearn's Pond Road. 911 Address: 8415 Hearn's Pond Road, Seaford. Zoning District: AR-1. Tax Map: 331-3.00-104.00

**13148 - Ricky and Deborah Rodriguez-Gummo**

seek a variance from the side yard setback requirement for an existing structure (Section 115-25, 115-183 and 115-185) of the Sussex County Zoning Code). The property is located on the south side of Taft Avenue. 911 Address: 38837 Taft Ave, Selbyville. Zoning District: AR-1. Tax Map: 533-20.18-165.00

**13149 - Anitra Watson**

seeks a variance for an accessory dwelling unit with a floor area greater than 1,000 sq ft or 50% of the floor area of the single-family dwelling located on the same lot. (Sections 115-20 A(15)(c) and 115-42 of the Sussex County Zoning Code). The property is located on the west side of Russell Street. 911 Address: 14388 Russell St., Milton. Zoning District: GR. Tax Map: 235-14.00-138.00

**13150 - Farmers Beach, LLC**

seeks a variance from the front yard setback requirement for a proposed structure (Section 115-34 and 115-182) of the Sussex County Zoning Code). The property is located on the northeast side of N. Bay Shore Drive. 911 Address: 1614 N. Bay Shore Dr., Milton. Zoning District: MR. Tax Map: 230-24.00-68.00

**Additional Business**

\*\*\*\*\*

**-MEETING DETAILS-**

In accordance with 29 Del. C. §10004(e)(2), this Agenda was posted on December 8, 2025, at 4:30 p.m. and at least seven (7) days in advance of the meeting.

The Agenda was prepared by the Director of Planning and Zoning and is subject to change to include the additional or deletion of items, including Executive Sessions, which arise at the time of the meeting.

Agenda items may be considered out of sequence.

The meeting will be streamed live at <https://sussexcountyde.gov/council-chamber-broadcast>

The Board of Adjustment meeting materials, including the “packet” are electronically accessible on the County’s website at: <https://sussexcountyde.gov/>.

If any member of the public would like to submit comments electronically, these may be sent to [pandz@sussexcountyde.gov](mailto:pandz@sussexcountyde.gov). All comments are encouraged to be submitted by 4:30 P.M. on Thursday, December 11, 2025.

####



**Board of Adjustment Application**  
**Sussex County, Delaware**  
Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

Case # 13145  
Hearing Date 12-15-2025  
202513874  
**RECEIVED**

OCT 15 2025

SUSSEX COUNTY  
PLANNING & ZONING

Type of Application: (please check all applicable)

Variance ☒

Special Use Exception ☐

Administrative Variance ☐

Appeal ☐

Existing Condition ☐

Proposed ☒

Code Reference (office use only)

Site Address of Variance/Special Use Exception:

38075 KEENWIK ROAD, SELBYVILLE DE. 19975

Variance/Special Use Exception/Appeal Requested: REQUESTING A VARIANCE FOR FRONT AND SIDE YARD SETBACK REQUIREMENT, TO ADD A SECOND FLOOR OVER EXISTING FOOTPRINT OF HOME. A VARIANCE WAS GRANTED PREVIOUSLY FOR THE FIRST FLOOR ADDITION TO GARAGE, FAM. ROOM, MASTER BEDROOM. IT IS MY UNDERSTANDING THAT AN ADDITIONAL VARIANCE WILL BE REQUIRED TO BUILD ON THIS AREA.

Tax Map #:

Property Zoning:

PLAT BOOK 8 PAGE 167 / PARCEL ID # 5-33-20-09-146

**Applicant Information**

Applicant Name: BRUCE + MAXINE STANDER

Applicant Address: 38075 KEENWIK ROAD

City SELBYVILLE State DE Zip: 19975

Applicant Phone #: 301-370-4684 Applicant e-mail: BRUCE@STANDERASSOCIATES.COM

**Owner Information**

Owner Name: SAME AS Applicant

Owner Address:

City \_\_\_\_\_ State \_\_\_\_\_ Zip: \_\_\_\_\_ Purchase Date: \_\_\_\_\_

Owner Phone #: \_\_\_\_\_ Owner e-mail: \_\_\_\_\_

**Agent/Attorney Information**

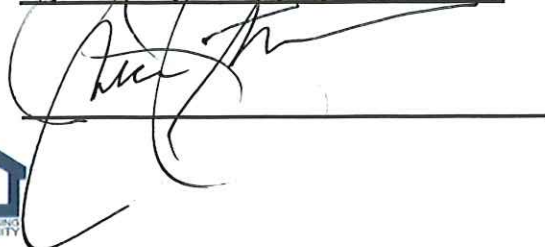
Agent/Attorney Name:

Agent/Attorney Address:

City \_\_\_\_\_ State \_\_\_\_\_ Zip: \_\_\_\_\_

Agent/Attorney Phone #: \_\_\_\_\_ Agent/Attorney e-mail: \_\_\_\_\_

**Signature of Owner/Agent/Attorney**



Date:

10/15/25



**Criteria for a Variance:** (Please provide a written statement regarding each criteria).

*You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.*

*In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.*

**1. Uniqueness of property:**

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

PURCHASED PROPERTY WITH EXISTING VARIANCE (RENO. ADDITION)

**2. Cannot otherwise be developed:**

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

NO OPTION TO EXPAND SPACE OTHER THAN IN EXISTING FOOTPRINT THAT INCLUDES AREA PREVIOUS VARIANCE COVERS.

**3. Not created by the applicant:**

That such exceptional practical difficulty has not been created by the appellant.

NOT CREATED BY APPLICANT. 1<sup>ST</sup> FLOOR VARIANCE BY PREVIOUS OWNER.

**4. Will not alter the essential character of the neighborhood:**

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

ADDING A SECOND FLOOR WILL NOT ALTER THE ESSENTIAL CHARACTER OF THE NEIGHBORHOOD, OR IMPAIR THE USE OR DEVELOPMENT OF ADJACENT PROPERTY.

**5. Minimum variance:**

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

THE REQUESTED VARIANCE IS MINIMUM REQUIRED TO BUILD SECOND STORY ADDITION

Sussex County, DE - BOA Application

**Criteria for a Special Use Exception:** (Please provide a written statement regarding each criteria)

*You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Special Use Exception to be granted.*

1. Such exception will not substantially affect adversely the uses of adjacent and neighboring property.

---

2. Any other requirements which apply to a specific type of special use exception as required by the Sussex County Code. (Ex. Time limitations – 5 year maximum)

---

**Basis for Appeal:** (Please provide a written statement regarding reason for appeal)

---

Sussex County, DE - BOA Application

**Check List for Applications**

The following shall be submitted with the application

- ☐ • **Completed Application**
- ☐ • **Provide a survey of the property (Variance)**
  - Survey shall show the location of building(s), building setbacks, stairs, deck, etc.
  - Survey shall show distances from property lines to buildings, stairs, deck, etc.
  - Survey shall be signed and sealed by a Licensed Surveyor.
- ☐ • **Provide a Site Plan or survey of the property (Special Use Exception)**
- ☐ • **Provide Fee \$400.00**
- ☐ • **Provide written response to criteria for Variance or Special Use Exception** (may be on a separate document if not enough room on the form)
- ☐ • **Copy of Receipt (staff)**
- ☐ • **Optional - Additional information for the Board to consider** (ex. photos, letters from neighbors, etc.)
- ☐ • **Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearing for the application.**

***\*Please be advised that the decision of the Board of Adjustment is only final when the written decision is filed with the Board's secretary. To determine whether the written decision has been filed, you may call the Planning & Zoning Department at 302-855-7878. The written decision is generally completed within thirty (30) to sixty (60) days following the Board's vote on the application or appeal. Please include the case number when calling about the decision.***

***\*Please be advised that any action taken in reliance of the Board's decision prior to the filing of the written decision and the expiration of any applicable appeal period is taken at the Property Owner's Risk.***

The undersigned acknowledges that that he or she has read the application completely and that if the appellant / applicant is unable to convince the Board that the standards for granting relief have been met, the appeal / application will be denied.

**Signature of Owner/Agent/Attorney**

Date: \_\_\_\_\_

**For office use only:**

Date Submitted: \_\_\_\_\_

Fee: \$400.00 Check #: \_\_\_\_\_

Staff accepting application: \_\_\_\_\_

Application & Case #: \_\_\_\_\_

Location of property: \_\_\_\_\_

Subdivision: \_\_\_\_\_

Lot#: \_\_\_\_\_ Block#: \_\_\_\_\_

Date of Hearing: \_\_\_\_\_

Decision of Board: \_\_\_\_\_

Date 10/15/25

38075 Keenwik Road  
Selbyville, DE. 19975

## BOARD OF ADJUSTMENT

We are requesting this variance in order to add a second floor over the existing footprint of the house. This Variance request refers specifically to the area over the garage, family room, and master bedroom. The previous owners were granted a variance in 1997 to build and renovate.

Bruce and Maxine Stander, owners of the property are both in their late 70s. Both have health issues. The addition of a second floor would allow their son and daughter in law to move in and assist with their care, thus allowing them to remain in their home.

Most of the homes in Keenwik On The Bay are two and three story. The proposed addition of a second floor would not impact the neighbors. Photos are included showing neighbors on both sides, and across the street.

Thank you very much for your consideration. Please let us know if you require any additional information.



38075 KEENWIK ROAD  
SELBYVILLE, DE 19975



**NOTES:**

- Other than shown, this plat and survey does not verify the existence or nonexistence of right-of-ways and/or easements pertaining to this property. Including but not limited to Tax Ditch Easements.

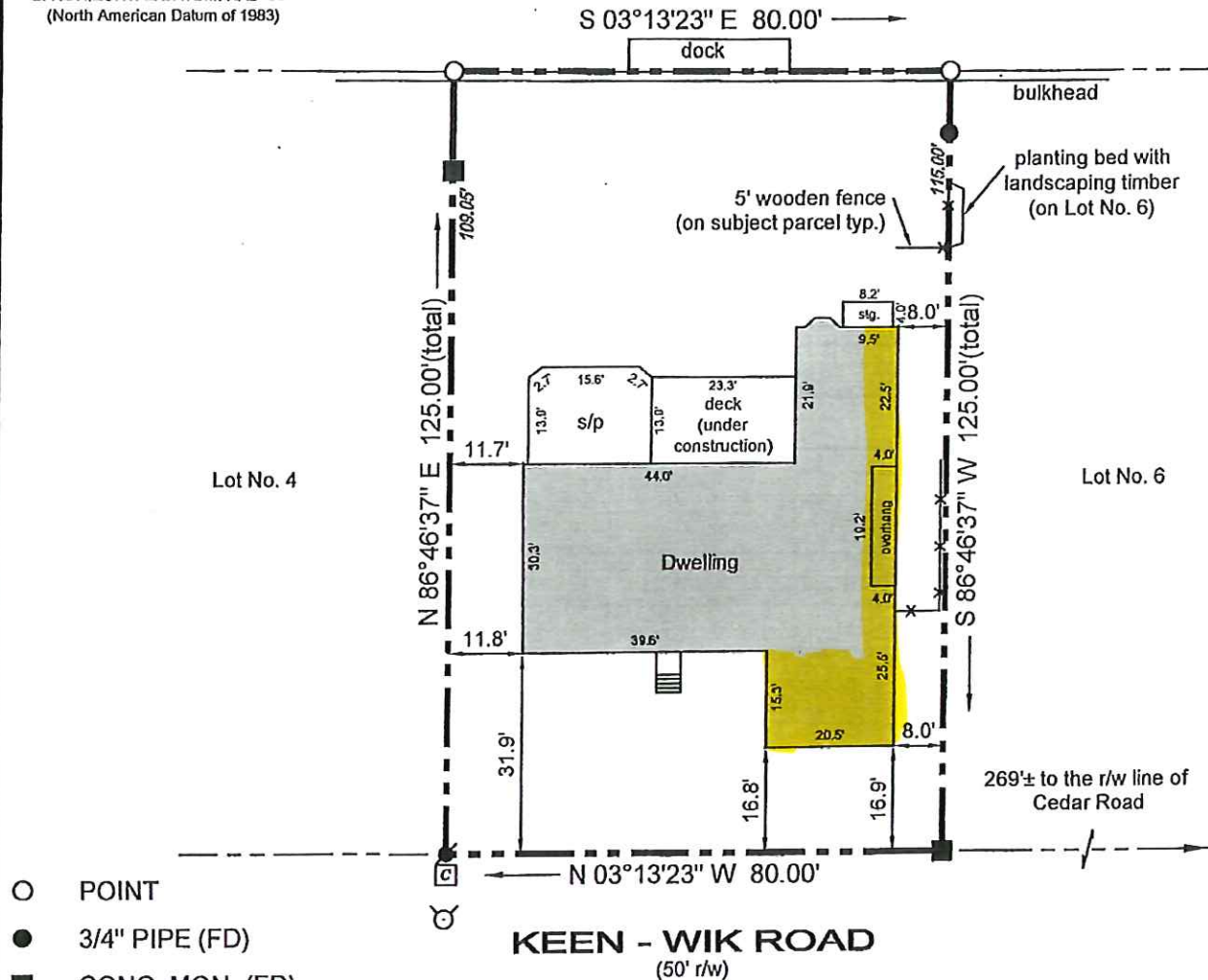
- No title search provided or stipulated.

**REFERENCE DATUM NOTES:**

1. VERTICAL DATUM: NAVD '88  
(North American Vertical Datum of 1988)
2. HORIZONTAL DATUM: NAD '83  
(North American Datum of 1983)



Yacht Basin



- POINT
- 3/4" PIPE (FD)
- CONC. MON. (FD)
- ⊕ FIRE HYDRANT
- ⦿ 5/8" RE-BAR (FD)
- ⊠ CABLE BOX

SCALE: 1"=30'

AREA: 10,000 SQ. FT.

PARCEL ID NO: 5-33-20.09-146

HUNDRED: BALTIMORE

COUNTY: SUSSEX

STATE OF DELAWARE

DATE OF ORIGINAL: 01-03-2024

DRAWN BY: MATT LEVESQUE

REVIEWED BY: MICHAEL LOVELAND

Lands of BRUCE AARON STANDER and MAXINE BETH STANDER, Trustees of the Bruce Aaron Stander and Maxine Beth Stander living trust dated September 09, 2012 and as amended on March 21, 2023. Being known as LOT NO. 5, KEEN - WIK. Ref: Plat Book 8, Page 167.

**FIRM INFORMATION**

100029 - 0654 - K  
MARCH 16, 2015  
ZONE: "AE", B.F.E.= 4  
& "X", Shaded

CLASS "B" SURVE

SEAL

**SIMPLER  
SURVEYING  
& ASSOCIATE, INC.**  
32486 POWELL FARM ROAD, FRANKFORD, DE 19945  
www.delawaresurveyor.com  
PHONE: (302) 539-7873

*Gregory M. Hook*  
01/09/2024

**NOTES:**

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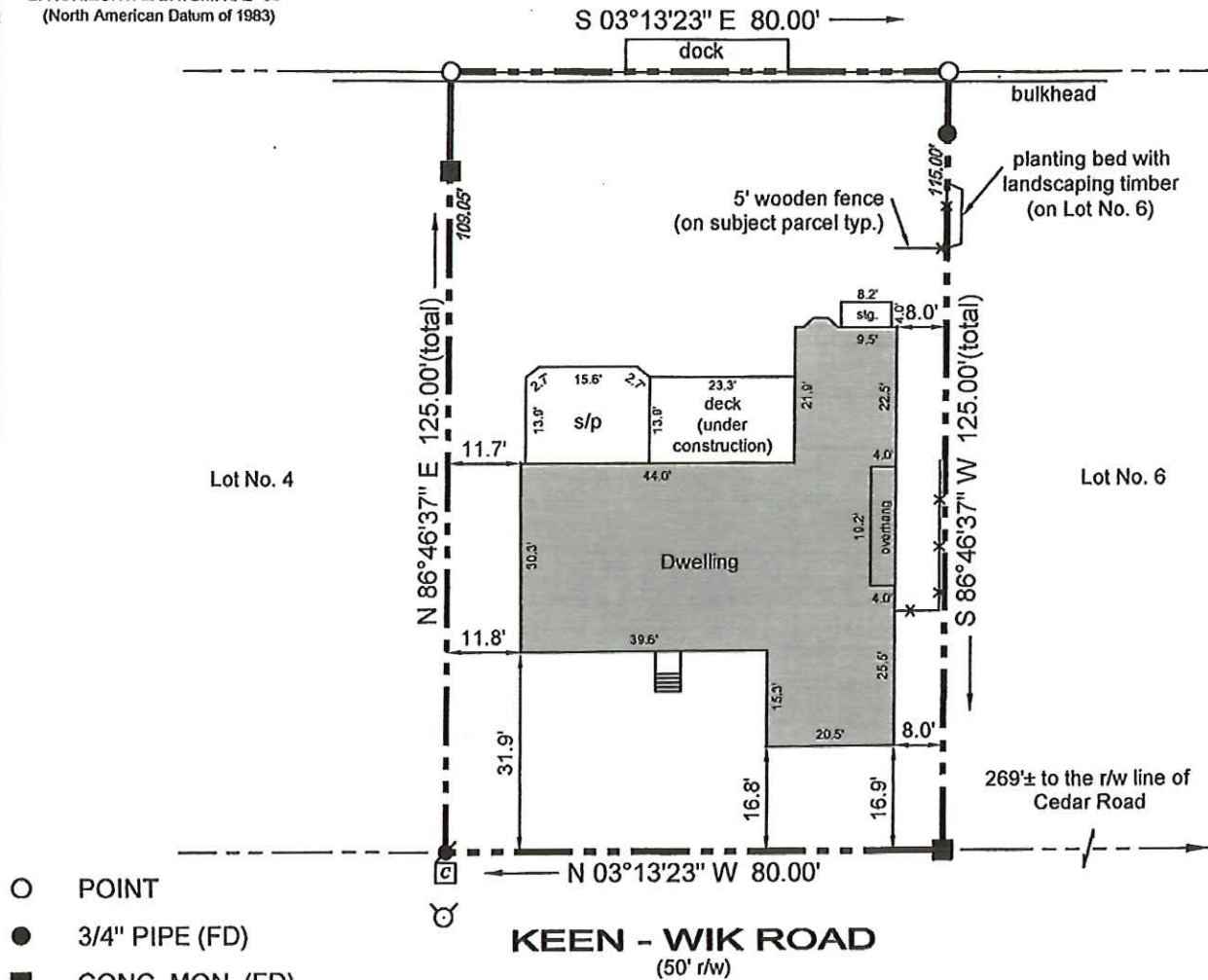
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**REFERENCE DATUM NOTES:**

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(North American Vertical Datum of 1988)
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Yacht Basin



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- 3/4" PIPE (FD)
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COUNTY: SUSSEX

STATE OF DELAWARE

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100029 - 0654 - K  
MARCH 16, 2015  
ZONE: "AE", B.F.E.= 4.1  
& "X", Shaded

CLASS "B" SURVEY

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& ASSOCIATE, INC.**  
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www.delawaresurveyor.com  
PHONE: (302) 539-7873

SEAL

*Gregory M. Hook*  
01/09/2024

Case No. 6465--William L. & Donna D. Adams - East side of Keen Wik Road, 370 feet north of Cedar Road, Lot 5, within Keen Wik Subdivision.  
A variance from the front yard and the side yard setback requirements.

The case was presented by Mr. Rickard. William L. Adams was sworn in and testified, requesting a 12' variance from the 30' front yard setback and a 2' variance from the 10' side yard setback to erect an attached garage and future bedroom. Mr. Adams stated that he lives in Seaford and purchased property within Keen Wik Subdivision and wants to move there full time. He stated that he needs more living space to accommodate his children and grandchildren when they visit. He stated that he had present his request to the Keen Wik Association and had spoken to Mr. Wolfe. He was told that if the County approved the request they would have no problem.

Mr. McCabe cautioned Mr. Adams that he could be in a flood zone and not be able to build as he wants.

Mr. Hills explained that Keen Wik restrictions have precedent over the Board's decision if approved.

Mr. Rickard stated that there have been other variances approved within the Subdivision, but not Mr. Adams road.

Gail Davidson who lives on Lot 6, next door to Mr. Adams, was sworn in and questioned what the Board will allow and if it would restrict her from building on her lot. She stated that she had not seen the plans.

Mr. Adams explained and showed her the plans.

Mr. Davidson stated that she has no objections.

Minutes  
Page 3  
11/17/97

There were no parties present in opposition.

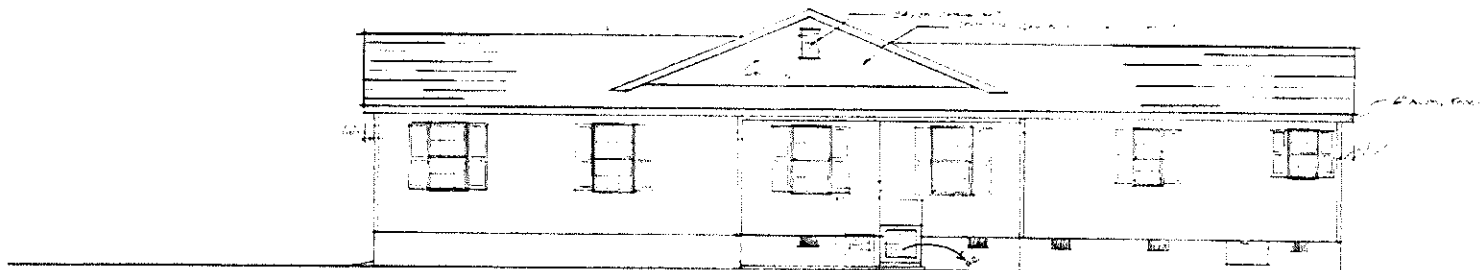
Mr. Rickard read a letter from the Keen Wik Association, Inc., Bill Wolfe, stating their setback restrictions as being 25' from the front, 5' from the sides and 20' from the rear property lines. Mr. Wolfe wrote that he did not remember approving any variance from the Keen Wik restrictions and that they cannot grant variances from the setbacks as set forth in their restrictions. He stated that if there had been a misunderstanding he apologized.

Mr. Adams stated that Keen Wik has no restriction enforcement, and that he feels he and the Keen Wik Association can work out something to satisfy everyone.

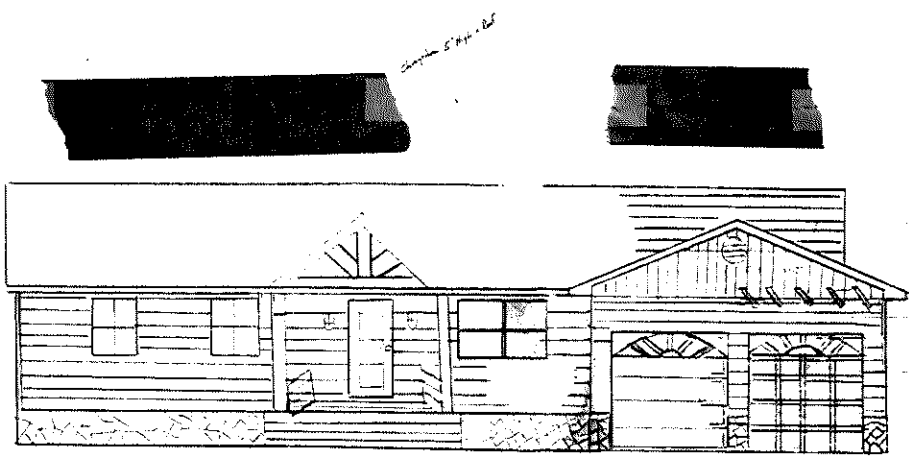
Mr. Jones explained that to Mr. Adams that the Association could take him to court and he will have to abide with the Keen Wik restrictions, and if the County approves his requested variances it will be the County variances only.

Motion was made by Mr. Hills, seconded by Mrs. Hudson and carried unanimously that the 12' front yard variance and the 2' side yard variance be granted. Vote 5-0.





SIDE ELEVATION.



G.A. HASTINGS & ASSOCIATES, INC.  
P.L.L.C.  
OCEAN SPRING, FLORIDA 32957

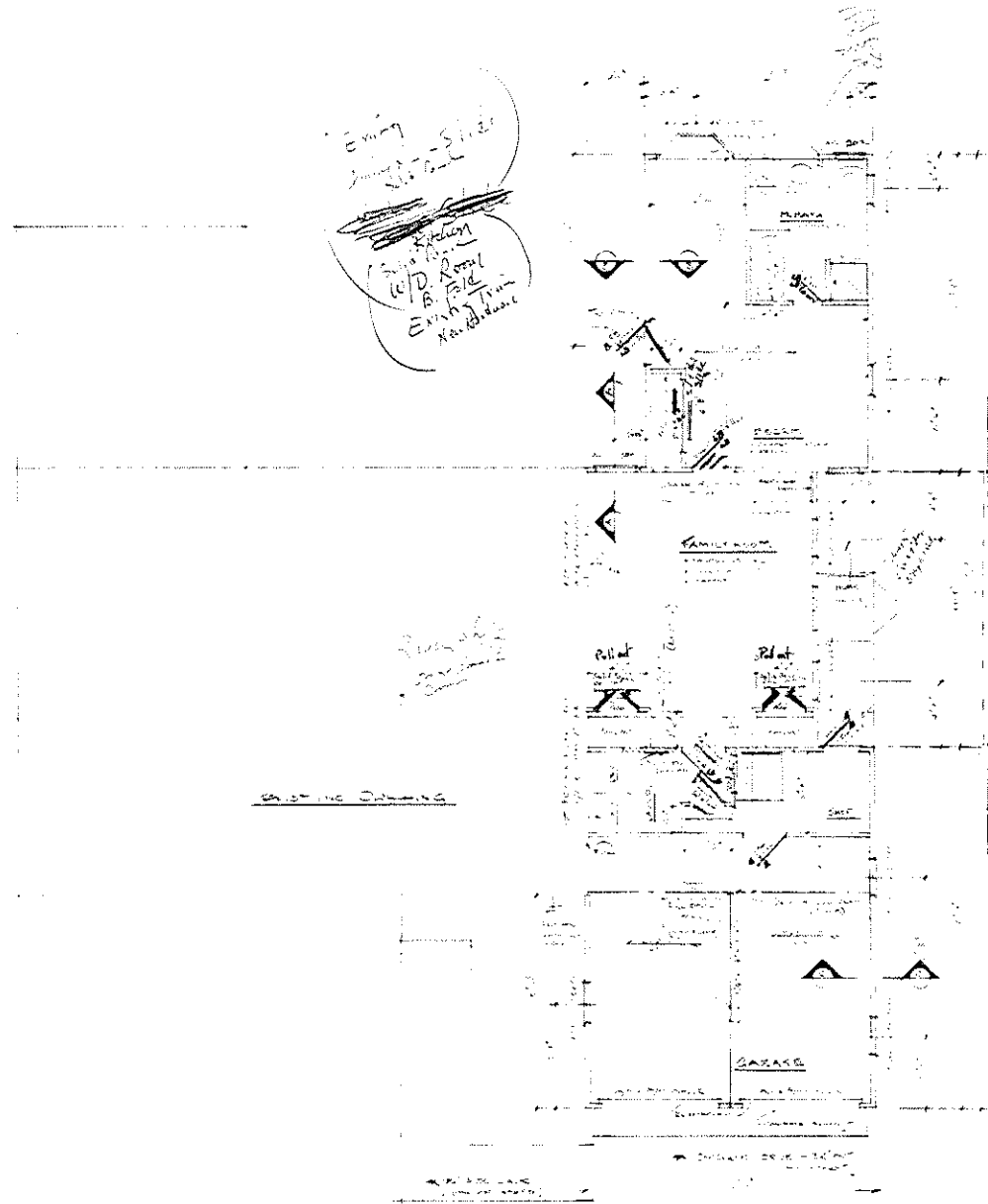
CONTRACTOR  
R.A. BONTING & CO.

PROPOSED ADDITION FOR 2  
MAY, 1984 BY R.A. BONTING & CO.

REVISIONS

DATE  
BY  
REVISION

1084



Living Room  
Dining Room  
Kitchen  
W.D. Room  
B. Room  
Entry  
Halls  
Bathroom

EXISTING OUTLINE

- NOTES:
- 1. REMOVE ALL EXISTING WALLS AND FLOORING
  - 2. NEW FLOOR TO BE Laid ON EXISTING SLAB
  - 3. CEILING TO BE Laid ON EXISTING JOISTS
  - 4. ROOF TO BE Laid ON EXISTING RAFTERS
  - 5. EXISTING FOUNDATION TO REMAIN
  - 6. EXISTING ALL EXISTING WALLS TO REMAIN
  - 7. EXISTING EXTERIOR WALLS TO REMAIN

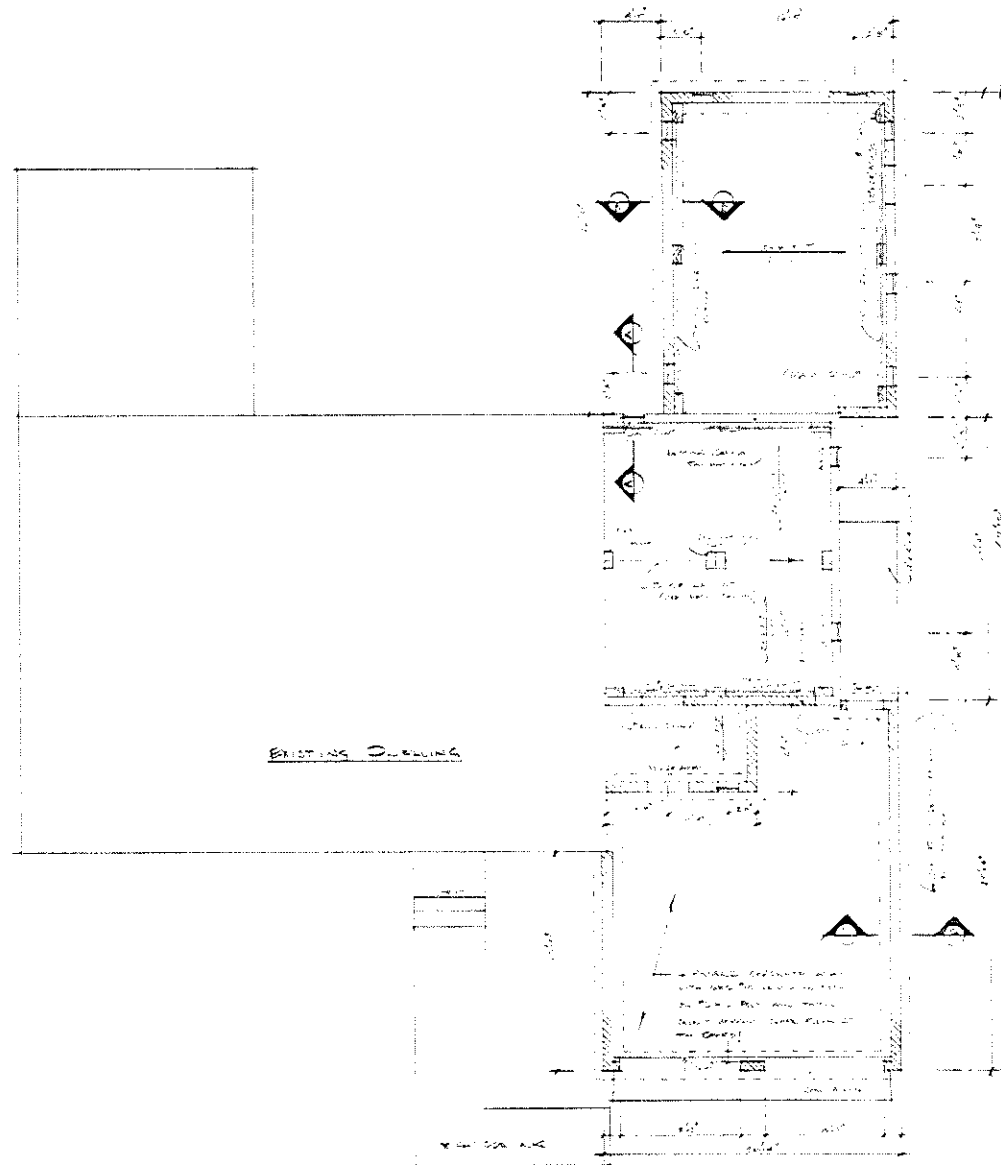
G.A. HASTINGS & ASSOCIATES, INC.  
P.L.L.C.  
OCEAN VIEW, DELAWARE

FLOOR PLAN

AS SHOWN

REVISIONS

DATE  
BY  
APP'D  
REV'D



G.A. HASTINGS & ASSOCIATES, INC.  
PLANNING  
OCEAN VIEW, DELAWARE

FOUNDATION PLAN

ADAMS

REVISIONS

DATE  
BY  
CHECKED  
APPROVED











Sussex County Government  
 Treasury  
 2 The Circle, PO Box 601  
 Georgetown, DE 19947

10/15/2025 02:10PM Catherine  
 Receipt number: 33030510-0061 001247257

PERMITS / INSPECTIONS  
 2025 202513874|2020 \$500.00

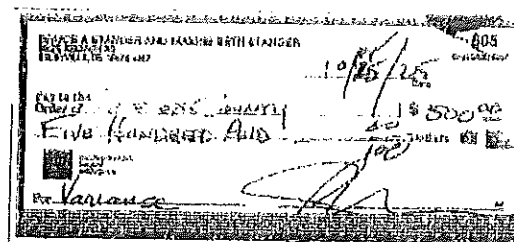
\$500.00

Subtotal \$500.00  
 Total \$500.00

Tenders  
 CHECK \$500.00  
 Check Number 00808

Change due \$0.00

Paid by: BRUCE A STANDER



Thank you for your payment.

CUSTOMER COPY  
 DUPLICATE RECEIPT



Layers
Search
Basemaps
Select Area
Eagleview
Print

Eagleview
Search Results

Selected Features:
Parcels (1)

1) 533-20.09-146.00
Zoom

BOOK	5951
PAGE	306
FULLNAME	STANDER BRUCE AARON TTEE LIV TR
Second_Owner_Name	MAXINE BETH STANDER TTEE LIV TR
MAILINGADDRESS	38075 KEENWIK RD
CITY	SELBYVILLE
STATE	DE
a_account	04-14-146
DESCRIPTION	KEEN-WIK
DESCRIPTION2	LOT 5 SUBDIVISION 10
DESCRIPTION3	
LUC	101
SCHOOL	1
MUNI	00
CAP	2
APRBLDG	358200
APRLAND	528700
PINWASSEMINTINIT	533-20.09-146.00

Selected Features (1)
Clear Selected



Layers
Search
Basemaps
Select Area
Eagleview
Print

Eagleview Search Results

Selected Features: Parcels (1)

1) 533-20.09-146.00 Zoom

BOOK	5951
PAGE	306
FULLNAME	STANDER BRUCE AARON TTEE LIV TR
Second_Owner_Name	MAXINE BETH STANDER TTEE LIV TR
MAILINGADDRESS	38075 KEENWIK RD
CITY	SELBYVILLE
STATE	DE
a_account	04-14-146
DESCRIPTION	KEEN-WIK
DESCRIPTION2	LOT 5 SUBDIVISION 10
DESCRIPTION3	
LUC	101
SCHOOL	1
MUNI	00
CAP	2
APRBLDG	358200
APRLAND	528700
PINWASSEMENTUNIT	533-20.09-146.00

Selected Features (1)
Clear Selected

SUSSEX COUNTY GOVERNMENT | DELAWARE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL | SUSSEX COUNTY, DE

CONNECTEXPLORER™

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# Board of Adjustment Application Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

Case # 13146  
Hearing Date 12-15-25  
202513973

**RECEIVED**

OCT 17 2025

Type of Application: (please check all applicable)

Variance ☒  
Special Use Exception ☐  
Administrative Variance ☐  
Appeal ☐

Existing Condition ☐  
Proposed ☒  
Code Reference (office use only)  
\_\_\_\_\_  
\_\_\_\_\_

SUSSEX COUNTY  
PLANNING & ZONING

Site Address of Variance/Special Use Exception:

37405 Liverpool Lane, Rehoboth Beach, DE 19971

Variance/Special Use Exception/Appeal Requested:

Desire to build an in-ground swimming pool and patio at the side of my property so it was designed for the 10 foot setback from the property line but learned from the Permit Office that it is zoned as continuous frontage so the setback has to be 30 feet from the property line. Requesting a variance of the 30' setback to 10" given the pool will be on the side of the property.

Also,  
Fence  
Height  
From  
3'5" to  
4'0"

Tax Map #: 334-13.00-1580.00

Property Zoning: MR

## Applicant Information

Applicant Name: Jason Russo

Applicant Address: 37405 Liverpool Lane

City Rehoboth Beach State DE Zip: 19971

Applicant Phone #: 302-500-1327 Applicant e-mail: jason@grandpamac.com

## Owner Information

Owner Name: Same as above

Owner Address: \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip: \_\_\_\_\_ Purchase Date: \_\_\_\_\_

Owner Phone #: \_\_\_\_\_ Owner e-mail: \_\_\_\_\_

## Agent/Attorney Information

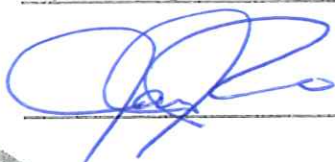
Agent/Attorney Name: N/A

Agent/Attorney Address: \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip: \_\_\_\_\_

Agent/Attorney Phone #: \_\_\_\_\_ Agent/Attorney e-mail: \_\_\_\_\_

## Signature of Owner/Agent/Attorney



Date: 10/14/25



**Criteria for a Variance:** (Please provide a written statement regarding each criteria).

*You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.*

*In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.*

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That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

Please see attached

**2. Cannot otherwise be developed:**

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

Please see attached

**3. Not created by the applicant:**

That such exceptional practical difficulty has not been created by the appellant.

Please see attached

**4. Will not alter the essential character of the neighborhood:**

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

Please see attached

**5. Minimum variance:**

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

Please see attached

**Criteria for a Special Use Exception:** (Please provide a written statement regarding each criteria)

*You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Special Use Exception to be granted.*

1. Such exception will not substantially affect adversely the uses of adjacent and neighboring property.

2. Any other requirements which apply to a specific type of special use exception as required by the Sussex County Code. (Ex. Time limitations – 5 year maximum)

---

**Basis for Appeal:** (Please provide a written statement regarding reason for appeal)

---

## Check List for Applications

The following shall be submitted with the application

- ☒ • Completed Application
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  - Survey shall show distances from property lines to buildings, stairs, deck, etc.
  - Survey shall be signed and sealed by a Licensed Surveyor.
- ☐ • Provide a Site Plan or survey of the property (Special Use Exception)
- ☒ • Provide relevant Application Fee (please refer to fees effective July 1, 2022)
- ☒ • Provide written response to criteria for Variance or Special Use Exception (may be on a separate document if not enough room on the form)
- ☐ • Copy of Receipt (staff)
- ☒ • Optional - Additional information for the Board to consider (ex. photos, letters from neighbors, etc.)
- ☒ • Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearing for the application.

*\*Please be advised that the decision of the Board of Adjustment is only final when the written decision is filed with the Board's secretary. To determine whether the written decision has been filed, you may call the Planning & Zoning Department at 302-855-7878. The written decision is generally completed within thirty (30) to sixty (60) days following the Board's vote on the application or appeal. Please include the case number when calling about the decision.*

*\*Please be advised that any action taken in reliance of the Board's decision prior to the filing of the written decision and the expiration of any applicable appeal period is taken at the Property Owner's Risk.*

The undersigned acknowledges that that he or she has read the application completely and that if the appellant / applicant is unable to convince the Board that the standards for granting relief have been met, the appeal / application will be denied.

Signature of Owner/Agent/Attorney



Date: 10/16/25

For office use only:

Date Submitted: \_\_\_\_\_

Fee: \_\_\_\_\_ Check #: \_\_\_\_\_

Staff accepting application: \_\_\_\_\_

Application & Case #: \_\_\_\_\_

Location of property: \_\_\_\_\_

Subdivision: \_\_\_\_\_

Lot#: \_\_\_\_\_

Block#: \_\_\_\_\_

Date of Hearing: \_\_\_\_\_

Decision of Board: \_\_\_\_\_

## 37405 Liverpool Lane Variance Request

1. The property is unique for the neighborhood as it is the largest lot in the development and has considerable open space on the side of the residence. The applicant planted 8 large trees to enhance the neighborhood and mark the property line. These trees are at the open part of the yard where the bulk of the swimming pool is proposed to be. The design and overall scope of the project was completed to maintain the 10-foot setback from the property line since the pool is technically on the side of the dwelling. If the property were not deemed as frontal property, the entire project is well within all County setback guidelines. Moreover, the entire project is in line with all HOA rules and regulations and the HOA has already stated they will abide by Board's decision. Moreover, the adjacent neighbors have voiced their support.
2. The unique zoning of the entire lot prevents the building of the original design and greatly restricts the building of any desired project. The pool can only be built on the side of the property, so the 30-foot restriction takes away 20 feet of buildable space and significantly alters the size of the pool and decking, which in turn, negatively affects the overall aesthetics of the entire project. The attached pictures provide further evidence of this.
3. The current zoning requiring the 30-foot setback versus the 10-foot setback has created this issue, not the applicant.
4. The pool will not alter the character of the neighborhood in a negative way at all, in fact it will only enhance it. The applicant has taken great care and time to design a project that is visually appealing so it will be a highlight of the development. Also, the immediate neighbors have no objections to the project.
5. The proposed project meets the 10-foot side of the yard setback requirement, in addition to all other setback requirements of the County and the HOA, so it is consistent with the spirit and intent of all current zoning regulations.

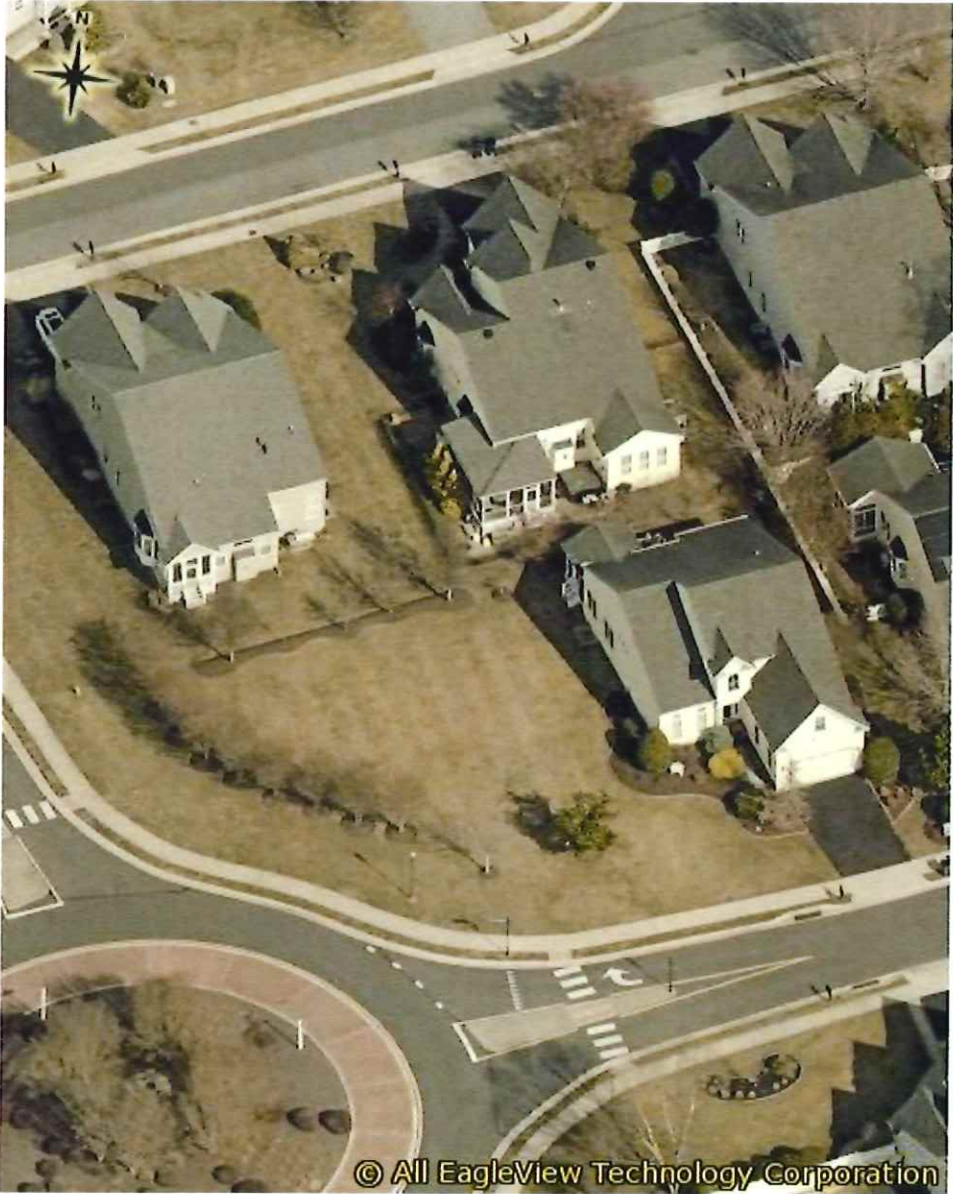








# House 4









# SUSSEX COUNTY

D E L A W A R E

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Eagleview
Search Results
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Selected Features: Parcels (1)

1) 334-13.00-1580.00 Zoom

BOOK	3504
PAGE	114
FULLNAME	RUSSO JASON J
Second_Owner_Name	
MAILINGADDRESS	37405 LIVERPOOL LN
CITY	REHOBOTH BEACH
STATE	DE
a_account	10-10-1580
DESCRIPTION	CANAL POINT
DESCRIPTION2	LOT 133
DESCRIPTION3	
LUC	101
SCHOOL	6
MUNI	00
CAP	
APRBLDG	658500

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Selected Features (1)
 

Clear Selected

Sussex County Government  
Treasury  
2 The Circle, PO Box 601  
Georgetown, DE 19947

10/17/2025 09:32AM Megan D.  
Receipt number: 33030530-0023 001248259

PERMITS / INSPECTIONS  
2025 202513973|2020 \$500.00

\$500.00

Subtotal \$500.00  
TP CC SF \$15.00  
Total \$515.00

Tenders  
TYLER PAYMENTS CC \$515.00  
MasterCard \*\*\*\*\*8636  
Ref=26fb4d2d-5283-4b0b-9044-c2a76cb3216f  
Auth=05967Z

Change due \$0.00

Paid by: RUSSO/JASON J

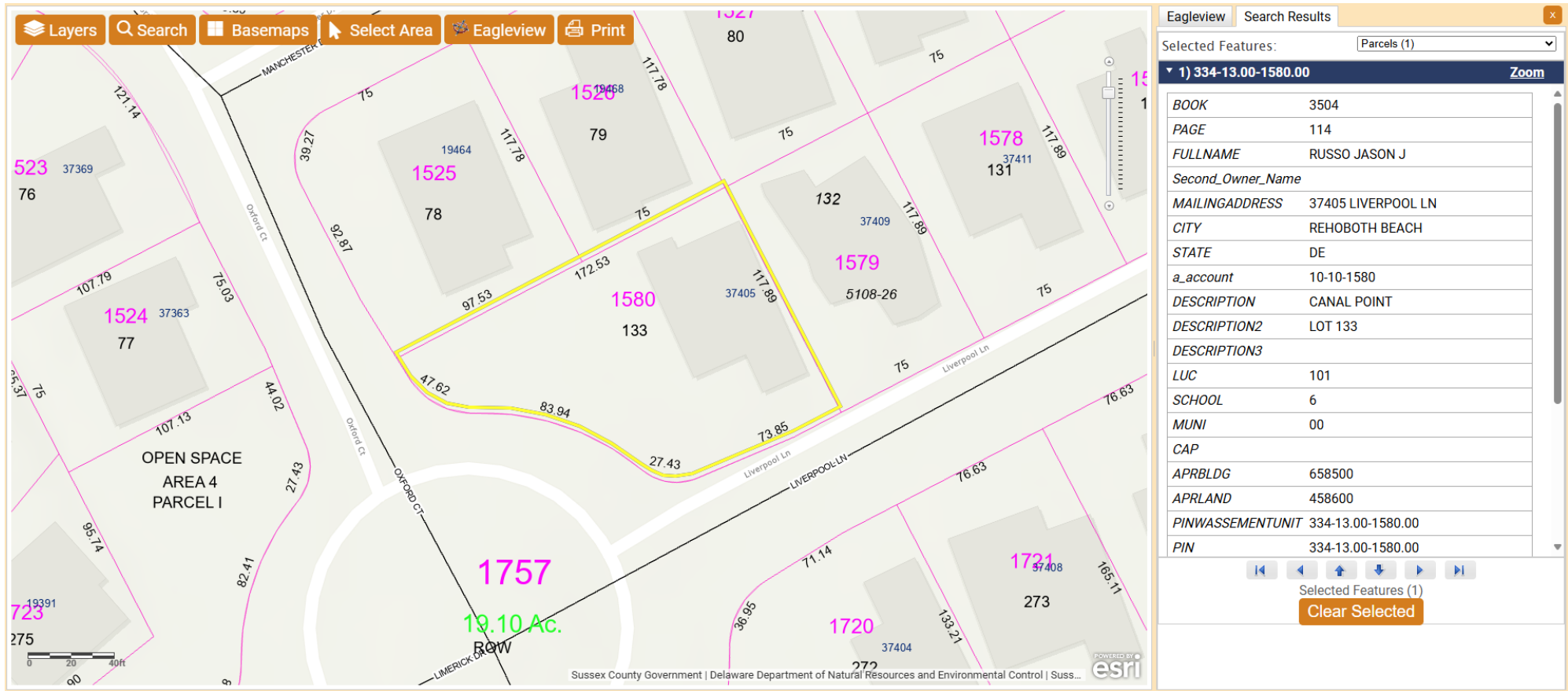
Signature: \_\_\_\_\_

Thank you for your payment.

CUSTOMER COPY  
DUPLICATE RECEIPT

service fee

TYLER PAYMENTS



Layers
Search
Basemaps
Select Area
Eagleview
Print

Eagleview Search Results

Selected Features: Parcels (1)

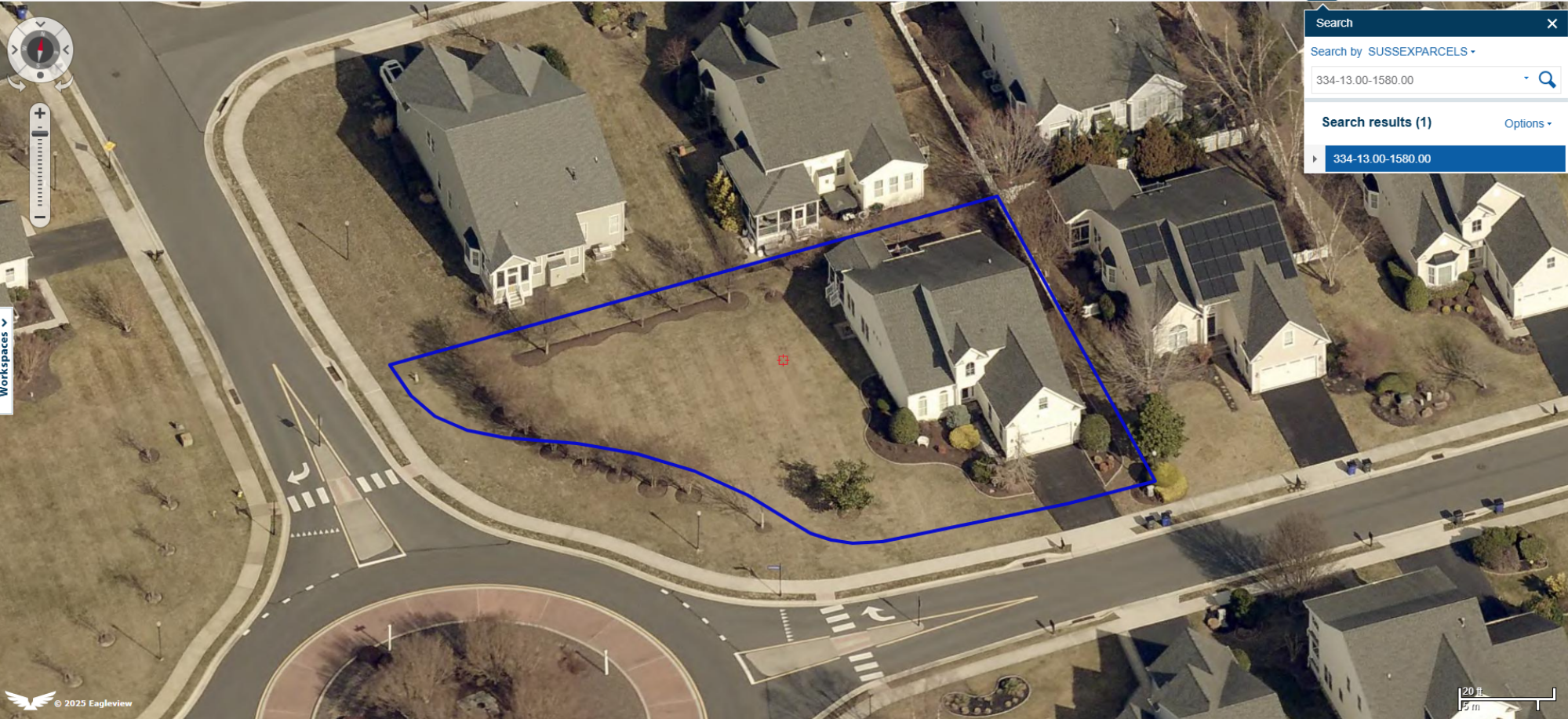
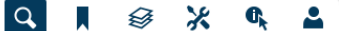
1) 334-13.00-1580.00 Zoom

BOOK	3504
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DESCRIPTION	CANAL POINT
DESCRIPTION2	LOT 133
DESCRIPTION3	
LUC	101
SCHOOL	6
MUNI	00
CAP	
APRBLDG	658500
APRLAND	458600
PINWASSEMENTUNIT	334-13.00-1580.00
PIN	334-13.00-1580.00

Selected Features (1)
Clear Selected



CONNECTEXPLORER™



Search

Search by SUSSEXPARELS

334-13.00-1580.00

Search results (1) Options

334-13.00-1580.00



**Board of Adjustment Application**  
**Sussex County, Delaware**  
 Sussex County Planning & Zoning Department  
 2 The Circle (P.O. Box 417) Georgetown, DE 19947  
 302-855-7878 ph. 302-854-5079 fax

Case # 13147  
 Hearing Date 12/15  
2025-13974

**RECEIVED**

**OCT 17 2025**

**Type of Application: (please check all applicable)**

Variance ☒  
 Special Use Exception ☐  
 Administrative Variance ☐  
 Appeal ☐

Existing Condition ☒ **SUSSEX COUNTY**  
 Proposed ☐ **PLANNING & ZONING**  
 Code Reference (office use only)

**Site Address of Variance/Special Use Exception:**

8415 Hearn Pond Road, Seaford, DE 19973

**Variance/Special Use Exception/Appeal Requested:**

Variance of setback for existing pool and deck.

**Tax Map #:** 3-31-3.00-104.00

**Property Zoning:** R-Reside AR-1

**Applicant Information**

Applicant Name: Ernest Messick, Jr.  
 Applicant Address: 3905 Blackberry Lane  
 City Fredericksburg State VA Zip: 22407  
 Applicant Phone #: (540) 455-3584 Applicant e-mail: \_\_\_\_\_

**Owner Information**

Owner Name: Michele L. Jerrell  
 Owner Address: 8415 Hearn Pond road  
 City Seaford State DE Zip: 19973 Purchase Date: 7/31/25  
 Owner Phone #: \_\_\_\_\_ Owner e-mail: \_\_\_\_\_

**Agent/Attorney Information**

Agent/Attorney Name: Michael F. McGroerty  
 Agent/Attorney Address: 110 N. Pine Street  
 City Seaford State DE Zip: 19973  
 Agent/Attorney Phone #: (302) 628-1000 Agent/Attorney e-mail: realestate@mfmilawoffice.net

**Signature of Owner/Agent/Attorney**

*Michael F. McGroerty*

Date: 10/9/2025



**Criteria for a Variance:** (Please provide a written statement regarding each criteria).

*You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.*

*In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.*

**1. Uniqueness of property:**

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

The flood zone as indicated on the survey of Cotten Engineering dated 07/28/2025, which is attached hereto as Exhibit A and incorporated herein by reference, prevents applicant and owner from moving the pool and deck and is the exceptional physical condition that creates the exceptional practical difficulty.

**2. Cannot otherwise be developed:**

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

Because of the flood zone there is no possibility that the pool can be moved to put it in strict conformity with the provisions of the zoning ordinance.

**3. Not created by the applicant:**

That such exceptional practical difficulty has not been created by the appellant.

The applicant did not create the exceptional practical difficulty.

**4. Will not alter the essential character of the neighborhood:**

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

Leaving the pool where it is will not alter the essential character of the neighborhood or district in which the property is located and will not substantially or permanently impair the appropriate use or development of adjacent property nor be detrimental to the public welfare.

**5. Minimum variance:**

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

If authorized, this variance is the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

Sussex County, DE - BOA Application

**Criteria for a Special Use Exception:** (Please provide a written statement regarding each criteria)

*You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Special Use Exception to be granted.*

1. Such exception will not substantially affect adversely the uses of adjacent and neighboring property.

---

2. Any other requirements which apply to a specific type of special use exception as required by the Sussex County Code. (Ex. Time limitations – 5 year maximum)

---

**Basis for Appeal:** (Please provide a written statement regarding reason for appeal)

---



Sussex County, DE - BOA Application

## Check List for Applications

The following shall be submitted with the application

- ☒ • Completed Application
- ☒ • Provide a survey of the property (Variance)
  - Survey shall show the location of building(s), building setbacks, stairs, deck, etc.
  - Survey shall show distances from property lines to buildings, stairs, deck, etc.
  - Survey shall be signed and sealed by a Licensed Surveyor.
- ☐ • Provide a Site Plan or survey of the property (Special Use Exception)
- ☒ • Provide relevant Application Fee (please refer to fees effective July 1, 2022)
- ☐ • Provide written response to criteria for Variance or Special Use Exception (may be on a separate document if not enough room on the form)
- ☐ • Copy of Receipt (staff)
- ☐ • Optional - Additional information for the Board to consider (ex. photos, letters from neighbors, etc.)
- ☐ • Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearing for the application.

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*\*Please be advised that any action taken in reliance of the Board's decision prior to the filing of the written decision and the expiration of any applicable appeal period is taken at the Property Owner's Risk.*

The undersigned acknowledges that that he or she has read the application completely and that if the appellant / applicant is unable to convince the Board that the standards for granting relief have been met, the appeal / application will be denied.

Signature of Owner/Agent/Attorney



Date: 10/9/2025

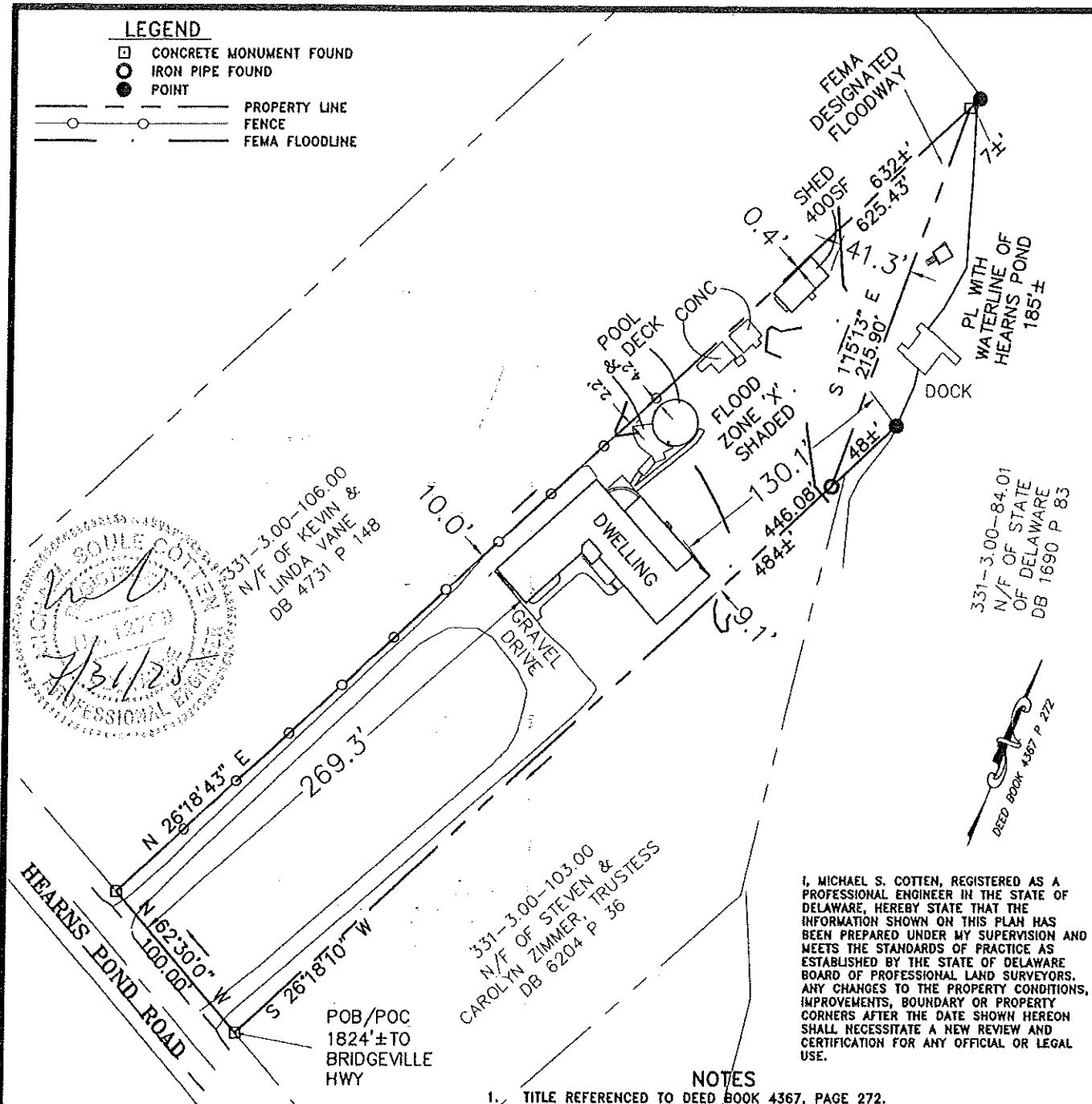
For office use only:

Date Submitted: \_\_\_\_\_ Fee: \_\_\_\_\_ Check #: \_\_\_\_\_  
 Staff accepting application: \_\_\_\_\_ Application & Case #: \_\_\_\_\_  
 Location of property: \_\_\_\_\_

Subdivision: \_\_\_\_\_ Lot#: \_\_\_\_\_ Block#: \_\_\_\_\_  
 Date of Hearing: \_\_\_\_\_ Decision of Board: \_\_\_\_\_

**LEGEND**

- CONCRETE MONUMENT FOUND  
 IRON PIPE FOUND  
 POINT  
 PROPERTY LINE  
 FENCE  
 FEMA FLOODLINE

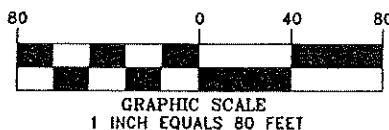


I, MICHAEL S. COTTEN, REGISTERED AS A PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

**NOTES**

1. TITLE REFERENCED TO DEED BOOK 4367, PAGE 272.
2. "SUBURBAN" SURVEY.
3. SUBJECT TO ANY AND ALL RESTRICTIONS, RESERVATIONS, CONDITIONS, EASEMENTS & AGREEMENTS OF RECORD IN THE OFFICE OF RECORDER OF DEEDS, SUSSEX COUNTY, DE. NO TITLE SEARCH PROVIDED.
4. THIS SURVEY DOES NOT CERTIFY AS TO THE EXISTENCE OR NON EXISTENCE OF ANY EASEMENTS OR RIGHT OF WAYS AFFECTING THIS PROPERTY.
5. FEMA FLOOD ZONE LINE PER PANEL 10005C0261K, EFF 06/20/2018.
6. THIS LOT MAY CONTAIN STATE AND/OR FEDERAL WETLANDS. NO DELINEATION WAS PERFORMED OR PROVIDED.

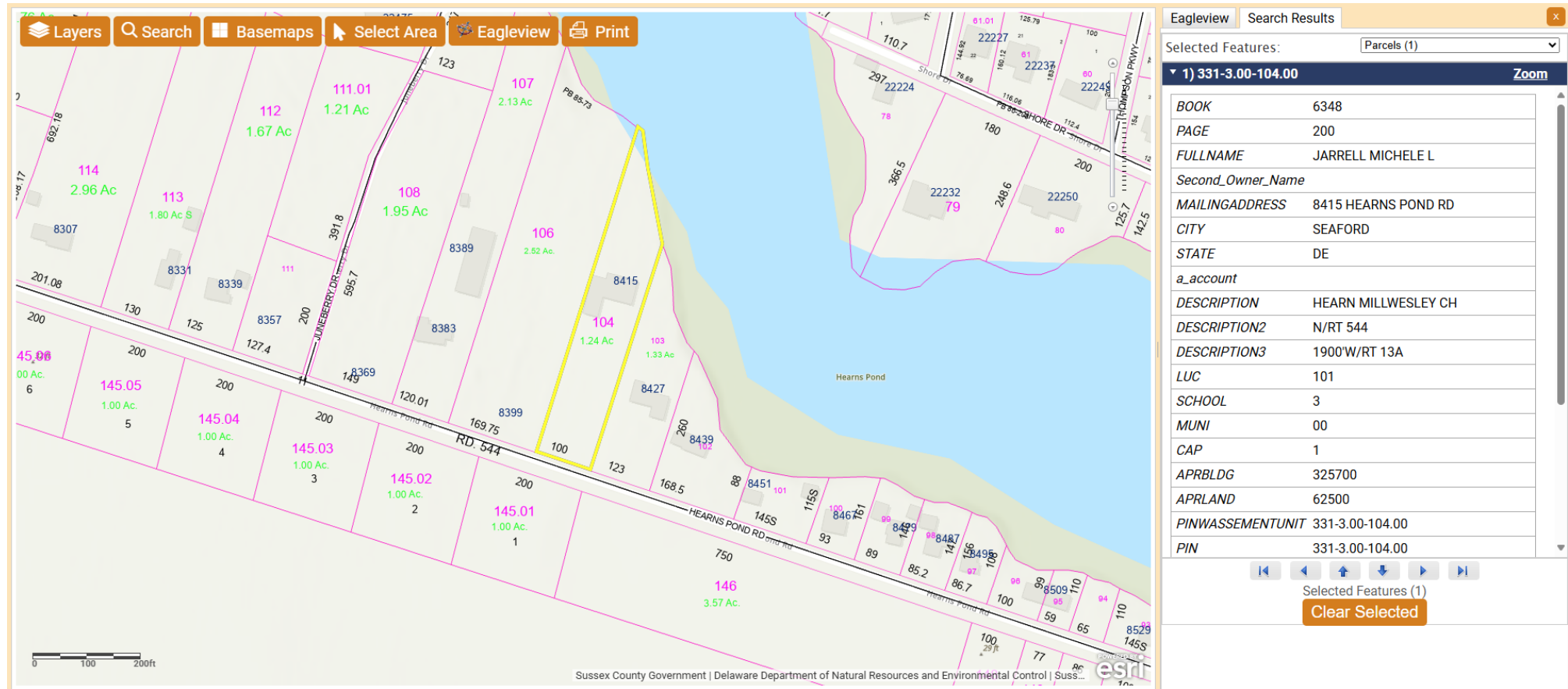
**BOUNDARY SURVEY**  
**FOR MICHELE L. JARRELL**  
**OF LANDS N/F OF ERNEST & SUSAN MESSICK**  
**REVOCABLE TRUST**  
**8415 HEARNS POND ROAD**  
**SEAFORD, DE 19973**  
**SEAFORD HUNDRED**  
**SUSSEX COUNTY, DELAWARE**  
**TAX MAP #331-3.00-104.00**  
**AREA: 57,014±SF / 1.31±ACRES**

**COTTEN ENGINEERING LLC**

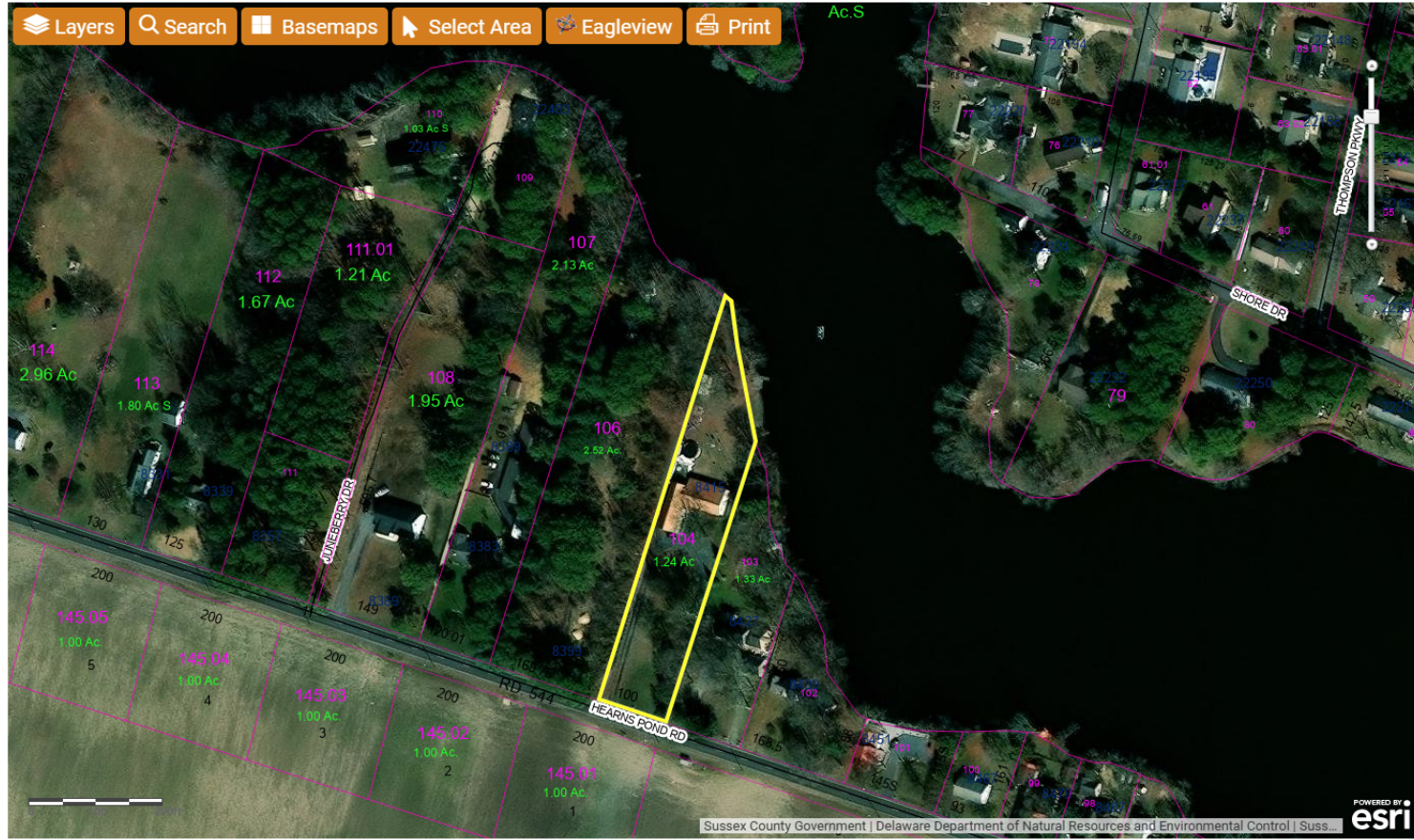
CIVIL ENGINEERS  
 10087 CONCORD RD.  
 SEAFORD DE 19973  
 PHONE/FAX (302) 628-9164

THIS DRAWING, SPECIFICATIONS, AND WORK PRODUCED BY COTTEN ENGINEERING LLC FOR THIS PROJECT ARE INSTRUMENTS OF SERVICE FOR THIS PROJECT ONLY, AND REMAINS THE COPYRIGHTED PROPERTY OF COTTEN ENGINEERING LLC. REUSE OR REPRODUCTION OF ANY OF THE INSTRUMENTS OF SERVICE OF COTTEN ENGINEERING LLC BY THE CLIENT OR ASSOCIATES WITHOUT THE WRITTEN PERMISSION OF COTTEN ENGINEERING LLC WILL BE AT THE CLIENT'S RISK AND BE A VIOLATION OF THE COPYRIGHT LAWS OF THE UNITED STATES OF AMERICA AND THE RESPECTIVE STATE WITHIN WHICH THE WORK WAS COMPLETED.

DESIGNED BY: CE	REV:	JOB # 25-335
DRAWN BY: JCD	DATE: 07/28/2025	SHEET 1 OF 1
CHECKED BY: JCD	SCALE: AS-SHOWN	







Eagleview Search Results	
Selected Features: <span>Parcels (1)</span>	
▼ 1) 331-3.00-104.00 <span>Zoom</span>	
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CITY	SEAFORD
STATE	DE
a_account	
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DESCRIPTION2	N/RT 544
DESCRIPTION3	1900'W/RT 13A
LUC	101
SCHOOL	3
MUNI	00
CAP	1
APRBLDG	325700
APRLAND	62500
PINWASSEMENTUNIT	331-3.00-104.00
PIN	331-3.00-104.00

Selected Features (1)

[Clear Selected](#)





**BEFORE THE BOARD OF ADJUSTMENT OF SUSSEX COUNTY**  
**IN RE: ERNEST MESSICK**  
**(Case No. 13077)**

A hearing was held after due notice on July 21, 2025. The Board members present were: Dr. Kevin Carson, Dr. Lauren Hitchens, Mr. Shawn Lovenguth, and Mr. John Williamson.

Nature of the Proceedings

This is an application for a variance from the side yard setback requirement, a special use exception and variance for an accessory dwelling unit with a floor area greater than 1,000 square feet or 50% of the floor area of the single-family dwelling located on the same lot.

Findings of Fact

The Board found that the Applicant is seeking the following:

1. A special use exception to place an accessory dwelling unit with a floor area greater than 1,000 square feet or 50% of the floor area of the single-family dwelling located on the same lot;
2. A variance of 152 square feet from the 1,000 square foot maximum requirement for a proposed accessory dwelling unit; and
3. A variance of 4.7 feet from the fifteen (15) feet side yard setback requirement on the northwest side for a proposed addition.

This property is located on the north side of Hearn's Pond Road (911 Address: 8415 Hearn's Pond Road, Seaford); said property being identified as Sussex County Tax Map Parcel Number: 331-3.00-104.00 ("the Property"). After a public hearing, the Board made the following findings of fact:

1. The Board was given copies of the Application, a survey of the Property dated November 10, 1997, a drawing of the proposed addition, minutes for Case No. 6379, an aerial photograph of the Property, and a portion of the tax map of the area.
2. The Board found that the Office of Planning & Zoning received no correspondence in support of or in opposition to the Application.
3. The Board found that Michael McGroerty, Esquire, was sworn in to testify about the Application.
4. The Board found that Mr. McGroerty testified that the Applicant had the home with a patio and garage originally and decided to convert the garage area into addition to the home with a bedroom, kitchen, and bathroom. According to Mr. McGroerty, the conversion was completed approximately 20 years ago.
5. The Board found that Mr. McGroerty testified that, due to the County Code this addition is classified as an accessory dwelling unit due to the second kitchen.
6. The Board found that Mr. McGroerty testified that there are four entrances to the addition.
7. The Board found that Mr. McGroerty testified that the unit is not separate from the house as it was built to accommodate the Applicant's mother who had cancer and is now deceased. He noted this space was used for family and was not being rented out.
8. The Board found that Mr. McGroerty testified that the unit has been there for years without complaint. He noted that the immediate neighbor supports the request.



9. The Board found that Mr. McGroerty testified that the utility room is part of the ADU but is used for the entire dwelling.
10. The Board found that Mr. McGroerty testified that the unit was intended as an in-law suite.
11. The Board found that Mr. McGroerty testified that the ADU consists of the entire garage and part of the addition.
12. The Board found that Mr. McGroerty testified that the Property is located in a flood zone and that the original dwelling was built prior to the flood zone determination. He noted that the flood zone determination impacted where the addition could be built.
13. The Board found that Mr. McGroerty testified that the Property is serviced by well and septic.
14. The Board found that Mr. McGroerty testified that the Property is adjacent to Hearn's Pond.
15. The Board found that Mr. McGroerty testified that the Property has plenty of parking for the ADU and the primary dwelling.
16. The Board found that Mr. McGroerty testified that the family is selling the Property and have now found that the addition is non-compliant and, in order for the sale to proceed this application, the addition will need to be approved.
17. The Board found that Steven Zimmer was sworn in to give testimony in support of the Application.
18. The Board found that Mr. Zimmer testified that he lives next door to the Property.
19. The Board found that Mr. Zimmer testified that the septic system is located behind the house.
20. The Board found that Mr. Zimmer testified that the flood zone plans changed several years ago and that the Property is within the flood zone. He noted the Property has not flooded since the dam was fixed.
21. The Board found that two (2) people appeared in support of the Application and no one appeared in opposition to the Application.
22. Based on the findings above and the testimony and evidence presented at the public hearing and the public record, which the Board found credible, persuasive, and un rebutted, the Board determined that the application met the standards for granting a special use exception because the proposed accessory dwelling unit will not substantially affect adversely the uses of neighboring and adjacent properties. The findings below further support the Board's decision to approve the Application.
  - a. The Property is located in a residential area on a parcel consisting of 1.24 acres. The Property is improved by a dwelling. Years ago, the Applicant constructed an addition to be used as an in-law suite for the Applicant's mother who suffered from cancer. The in-law suite had a kitchen, bathroom, and bedroom and was located in a portion of the prior garage and an addition to the dwelling. The footprint of the existing structure exceeds the allowable footprint of an ADU.
  - b. The area surrounding the Property is a residential community and the proposed ADU will be consistent with the residential character of the neighborhood.
  - c. There was no substantial evidence presented by opposition that the special use exception would substantially affect adversely the uses of neighboring and adjacent properties. Rather, the Board heard evidence from an immediate neighbor supporting the request.
  - d. The Applicant presented evidence that the Property has adequate parking to serve the ADU.
  - e. There was no substantial evidence that the ADU would substantially affect adversely the uses of neighboring and adjacent properties with regard to property values, noise, odors, or emissions.

23. Based on the findings above and the testimony and evidence presented at the public hearing and the public record, which the Board found credible, persuasive, and un rebutted, the Board determined that the application for the variance. The findings below further support the Board's decision to approve the variance.
- a. The Property is unique due to its width, development, and location. The Property consists of 1.24 acres, more or less, and is improved by a dwelling, garage, and addition. The Property is 100 feet wide but a large part of the Property is located within a flood zone. The dwelling previously received a variance in 1997 as the dwelling encroached into the side yard setback area. The Applicant later constructed an addition and was limited in where that addition could be located due to the flood zone requirements. As shown on the flood maps and the survey, the flood zone greatly restricts the building envelope of the Property. These unique conditions led to the addition being constructed within the side yard setback. Furthermore, the Applicant needs a variance for the ADU as it exceeds the square footage requirement. Due to the prior development of the Property and the unique conditions of the lot which limit where the addition could be located, the utility room for the dwelling is located within ADU thereby increasing the size of the ADU. Consequently, the ADU is slightly larger than allowed under the Sussex County Zoning Code. It is clear to the Board that the flood zone limitations and the development of the ADU prior to the adoption of the ADU Ordinance have created a unique situation and that these conditions have created an unnecessary hardship and exceptional practical difficulty for the Applicant who seeks to retain an accessory dwelling unit as proposed.
  - b. The unnecessary hardship and exceptional practical difficulty are not being created by the provisions of the Sussex County Zoning Code.
  - c. Due to the uniqueness of the Property, the Property cannot be developed in strict conformity with the Sussex County Zoning Code. The Applicant seeks to develop the Property with a reasonable accessory dwelling unit but is unable to do while complying with the Sussex County Zoning Code. The Board is thus convinced that the variances are necessary to enable the reasonable use of the Property as the variances will allow the Applicant to reasonably develop the Property as proposed.
  - d. The unnecessary hardship and exceptional practical difficulty were not created by the Applicant. As discussed above, the Property has unique conditions which have limited the Applicant's ability to reasonably develop the Property as proposed. The ADU was created prior to the adoption of the ADU Ordinance and the Applicant was limited by the flood zone requirements. The Board was convinced that the Applicant has not created the exceptional practical difficulty and unnecessary hardship. Furthermore, the Board is convinced that the Applicant did not come to the Property with an illegal use in mind. Rather, the Applicant is limited by the physical conditions of the Property and needs the variances to reasonably develop the Property as proposed.
  - e. The variances will not alter the essential character of the neighborhood nor substantially or permanently impair the appropriate use or development of adjacent property, nor be detrimental to the public welfare. The Board is convinced that proposed structure will have no effect on the character of the neighborhood. Except for the side yard setback, the structure will meet all setback requirements and is only slightly larger than allowed. The Property is a large parcel and it is unlikely that the extra 152 square feet would be noticed by neighbors. The unit will be served by appropriate utilities and there was no evidence that the unit will impact traffic, property values, or

other uses in the area. The Board notes that the area is residential in nature and this use is consistent with the character of the neighborhood. There was no substantial evidence from opposition that the variance would somehow alter the essential character of the neighborhood or be detrimental to the public welfare. Rather, the Board received evidence of support from neighbors. Additionally, the addition encroaches no farther into the side yard setback than the existing dwelling which has been on the Property for many years.

- f. The variances sought are the minimum variances necessary to afford relief and the variances requested represent the least modifications possible of the regulations at issue. The Applicant has demonstrated that the variances sought will allow the Applicant to reasonably develop the Property as proposed. No additions or modifications to the ADU are proposed either.
- g. The condition or situation of the Property and the intended use of the Property is not of so general or recurring a nature as to make reasonably practicable the formulation of a general regulation to be adopted as an amendment to the Sussex County Zoning Code

The Board approved the special use exception and variance application finding that it met the standards for granting a special use exception and a variance.

Decision of the Board

Upon motion duly made and seconded, the special use exception and variance were approved. The Board Members in favor were Dr. Kevin Carson, Dr. Lauren Hitchens, Mr. Shawn Lovenguth, and Mr. John Williamson. No Board Member voted against the Motion to approve the special use exception application and variance application.

BOARD OF ADJUSTMENT  
OF SUSSEX COUNTY



John Williamson  
Chair

If the use is not established within two (2)  
years from the date below the application  
becomes void.

Date October 6, 2025.



NOTICE OF APPEAL AND REQUEST FOR VARIANCE  
OR SPECIAL USE EXCEPTION  
COUNTY BOARD OF ADJUSTMENT

To be filled out by Planning & Zoning Office and applicant. All blanks below must be filled in for this application to be processed.

Application No. 6379 Date 6-10-97 Fee \$ 150.00 CHECK # 9681

Name Ernest and Susan Messick Phone 629-8697

Mailing Address R.R. 5 Box 829 Seaford DE 19773

Interest in Property

Owner: (Indicate if different than above)

Name Same As Above

Phone \_\_\_\_\_

Address \_\_\_\_\_

Location: Road 544 (N) (S) (E) (W) side, 1900 (ft)

or (miles) (N) (S) (E) (W) of 13-A

District No. 3.31 Map No. 3.00 Parcel No. 104.00

Subdivision N/A Lot No. N/A Zone AR-1

Hundred Seaford Frontage 100 Depth 625 In. Acres 1.24

Request for a special use exception as provided by: (or)

Request for a variance from the provisions of:

Chapter 115 Article IV Subsection 115-25 Item B

Date property was acquired 1984

Plot plan or drawing attached: Yes ☒ No ☐

State specifically your request and the reason for this request.

Applicant request a variance of 4.7 from the required 15.0  
side yard set-back for an addition to be 10.3.

Ernest S. Messick  
Signature of Applicant

FOR BOARD USE ONLY:

Date of Notice \_\_\_\_\_ Date of Hearing July 27, 1997

Fee Receipt No. 27279

Decision of Board APPROVED

Date of Decision 7/21/97

J. M. Jenkins 6-10-97  
Person Accepting Application

## BEFORE THE BOARD OF ADJUSTMENT OF SUSSEX COUNTY

IN RE: ERNEST &amp; SUSAN MESSICK

Case No. 6379 - 1997

A hearing was held after due notice on July 21, 1997.  
The Board members present were: Mr. Callaway, Mr. McCabe, Mr. Mills, Mrs. Hudson and Mr. Wheatley.

Nature of the Proceedings

This is an application for a variance from the side yard setback requirement.

Finding of Facts

The Board found that the applicants were seeking a variance from the side yard setback requirement for a parcel located on the north side of Route 544. The Board found that the applicants are requesting a variance of 4.7 feet from the required 15 foot side yard setback for an addition. The Board found that the existing home is already non-conforming. A variance is needed for the addition. No persons appeared in opposition.

The Board granted the requested variance.

Decision of the Board

Upon motion duly made and seconded the application was granted. The Board members voting in favor were: Mr. Callaway, Mr. McCabe, Mr. Mills, Mrs. Hudson and Mr. Wheatley; voting against--none.

BOARD OF ADJUSTMENT  
OF SUSSEX COUNTY

*Dale Callaway*  
Dale Callaway  
Chairman

If the use is not established within  
one (1) year from the date below, the  
application becomes void.

Date January 22, 1998

# Board of Adjustment Application Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

Case # 13148  
Hearing Date 12-15-2025  
202514243

Type of Application: (please check all applicable)

Variance ☒  
Special Use Exception ☐  
Administrative Variance ☐  
Appeal ☐

Existing Condition ☒  
Proposed ☐  
Code Reference (office use only)  
\_\_\_\_\_  
\_\_\_\_\_

Site Address of Variance/Special Use Exception:

38837 TAFT AVE, SELBYVILLE, DE 19975

Variance/Special Use Exception/Appeal Requested:

Requesting a side yard variance for spiral staircase.

Tax Map #: 5-33-20.18-165 Property Zoning: AR-1

## Applicant Information

Applicant Name: RICKY RODRIGUEZ-GUMMO  
Applicant Address: 38837 TAFT AVENUE  
City SELBYVILLE State DE Zip: 19975  
Applicant Phone #: (240) 3674459 Applicant e-mail: ragummo@bechtel.com

## Owner Information

Owner Name: RICKY + DEBORAH RODRIGUEZ-GUMMO  
Owner Address: 38837 TAFT AVE  
City SELBYVILLE State DE Zip: 19975 Purchase Date: \_\_\_\_\_  
Owner Phone #: (240) 3674459 Owner e-mail: ragummo@bechtel.com

## Agent/Attorney Information

Agent/Attorney Name: \_\_\_\_\_  
Agent/Attorney Address: \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip: \_\_\_\_\_  
Agent/Attorney Phone #: \_\_\_\_\_ Agent/Attorney e-mail: \_\_\_\_\_

## Signature of Owner/Agent/Attorney



Date: OCT. 22, 2025





**Criteria for a Variance:** (Please provide a written statement regarding each criteria).

You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.

In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.

**1. Uniqueness of property:**

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

THE STAIRCASE HAD TO BE LOCATED WHERE IT IS SO THAT WE COULD GET ACCESS FROM BOTH THE POOL AREA AND FROM DECK. WE TRIED TO KEEP 5'-0" FROM NEIGHBOR BUT FALL WITHIN 2" OF 5'-0".

**2. Cannot otherwise be developed:**

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

THE STAIRCASE IS ALREADY IN PLACE (CONCRETE FOUNDATION) AND MOVING 2" TO EAST WILL MAKE IT DIFFICULT TO HAVE ADEQUATE, SAFE ACCESS FROM POOL AREA & FRONT DECK.

**3. Not created by the applicant:**

That such exceptional practical difficulty has not been created by the appellant.

THE OUTER EDGE OF THE STAIREDWELL THAT IS WITHIN THE 5'-0" DISTANCE IS OVER 8 FT. ABOVE THE GROUND. IT DOES NOT RESTRICT WALKING PATH AT ALL. COMPARED TO ALL CONVENTIONAL WALK WAY, IT IS LEAST INTRUSIVE.

**4. Will not alter the essential character of the neighborhood:**

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

THE SPIRAL STAIRCASE IS AESTHETICALLY PLEASING. (NEIGHBORS LIKE IT).

**5. Minimum variance:**

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

THERE NO WAY THAT IT COULD HAVE BEEN MOVED WITHOUT MAKING IT DIFFICULT TO GET ACCESS FROM FRONT DECK OF HOUSE

## Check List for Applications

The following shall be submitted with the application


- ☐ • Completed Application
- ☐ • Provide a survey of the property (Variance)
  - Survey shall show the location of building(s), building setbacks, stairs, deck, etc.
  - Survey shall show distances from property lines to buildings, stairs, deck, etc.
  - Survey shall be signed and sealed by a Licensed Surveyor.
- ☐ • Provide a Site Plan or survey of the property (Special Use Exception)
- ☐ • Provide relevant Application Fee (please refer to fees effective July 1, 2022)
- ☐ • Provide written response to criteria for Variance or Special Use Exception (may be on a separate document if not enough room on the form)
- ☐ • Copy of Receipt (staff)
- ☐ • Optional - Additional information for the Board to consider (ex. photos, letters from neighbors, etc.)
- ☐ • Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearing for the application.

*\*Please be advised that the decision of the Board of Adjustment is only final when the written decision is filed with the Board's secretary. To determine whether the written decision has been filed, you may call the Planning & Zoning Department at 302-855-7878. The written decision is generally completed within thirty (30) to sixty (60) days following the Board's vote on the application or appeal. Please include the case number when calling about the decision.*

*\*Please be advised that any action taken in reliance of the Board's decision prior to the filing of the written decision and the expiration of any applicable appeal period is taken at the Property Owner's Risk.*

The undersigned acknowledges that that he or she has read the application completely and that if the appellant / applicant is unable to convince the Board that the standards for granting relief have been met, the appeal / application will be denied.

Signature of Owner/Agent/Attorney



Date: Oct 22, 2020

For office use only:

Date Submitted: \_\_\_\_\_ Fee: \_\_\_\_\_ Check #: \_\_\_\_\_  
 Staff accepting application: \_\_\_\_\_ Application & Case #: \_\_\_\_\_  
 Location of property: \_\_\_\_\_

Subdivision: \_\_\_\_\_ Lot#: \_\_\_\_\_ Block#: \_\_\_\_\_  
 Date of Hearing: \_\_\_\_\_ Decision of Board: \_\_\_\_\_





Sussex County Government  
Treasury  
2 The Circle, PO Box 601  
Georgetown, DE 19347

10/22/2025 03:47PM Catherine  
Receipt number: 33030558-0072 001251909

PERMITS / INSPECTIONS  
2025 202514243|2020 \$500.00

\$500.00

Subtotal \$500.00  
IP CC SF \$15.00  
Total \$515.00

Tenders  
TYLER PAYMENTS CC \$515.00  
\*\*\*\*\*1863  
Ref=562ab3fc-c48e-4a5b-a4af-df3b946a8a79  
Auth=154275

Change due \$0.00

Paid by: GUMMO/RICKY RODRIGUEZ

Signature: \_\_\_\_\_

Thank you for your payment.

CUSTOMER COPY

service fee

TYLER PAYMENTS

Layers
Search
Basemaps
Select Area
Eagleview
Print

0 40 20 40ft

Sussex County Government | Sussex County | Sussex County Mapping and Addressing | Esri Community M...

Eagleview
Search Results

Selected Features:

Parcels (1)

1) 533-20.18-165.00
Zoom

BOOK	5724
PAGE	195
FULLNAME	RODRIGUEZ-GUMMO RICKY
Second_Owner_Name	DEBORAH RODRIGUEZ-GUMMO
MAILINGADDRESS	38837 TAFT AVE
CITY	SELBYVILLE
STATE	DE
a_account	04-17-165
DESCRIPTION	CAPE WINDSOR
DESCRIPTION2	LOT 7
DESCRIPTION3	BLK 2
LUC	101
SCHOOL	1
MUNI	00
CAP	2
APRBLDG	507300
APRLAND	478700
PINWASSEMENTUNIT	533-20.18-165.00
PIN	533-20.18-165.00

Selected Features (1)

Clear Selected

Layers
Search
Basemaps
Select Area
Eagleview
Print

Eagleview Search Results

Selected Features: Parcels (1)

1) 533-20.18-165.00 Zoom

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PAGE	195
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APRBLDG	507300
APRLAND	478700
PINWASSEMENTUNIT	533-20.18-165.00
PIN	533-20.18-165.00

Selected Features (1)
Clear Selected





**Accessory Dwelling Unit  
Approval Application  
Sussex County, Delaware**  
Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

13149  
Case # ADU-25-46  
202514270  
Hearing Date \_\_\_\_\_  
(where applicable)

Type of Application: (please check all applicable)

☒ Accessory Dwelling Unit - Detached

☐ Accessory Dwelling Unit - Attached

Existing Structure: ☐  
Proposed Structure: ☐  
Code Reference (office use only) \_\_\_\_\_

Site Address:

14388 Russell Street, Milton DE 19968  
Description of Request:

Accessory Dwelling Unit 1200 sq ft.  
Tax Map #: 235-14.00-138.00 Property Zoning: GR

**Applicant Information**

Applicant Name: S+S LLC  
Applicant Address: P.O. Box 81  
City: Milton State: DE Zip: 19968  
Applicant Phone #: 302-344-5990 Applicant e-mail: juansher@comcast.net

**Owner Information**

Owner Name: Anitra Watson  
Owner Address: 11 WINTER LANE  
City: NEWARK State: DE Zip: 19702 Purchase Date: \_\_\_\_\_  
Owner Phone #: 302-562-2907 Owner e-mail: anawat28@comcast.net

**Agent/Attorney Details**

Agent/Attorney Name: \_\_\_\_\_  
Agent/Attorney Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Agent/Attorney Phone #: \_\_\_\_\_ Agent/Attorney e-mail: \_\_\_\_\_

**Signature of Owner/Agent/Attorney**



Date: 10/23/25



Sussex County, DE - Application for Accessory Dwelling Unit Approval

### Criteria for Accessory Dwelling Units

The following shall be answered for Code Compliance

1. Total lot area of property:

0.53 ACRES

2. Total area of existing dwelling (in square feet):

3887 sq ft

3. Total area of proposed Accessory Dwelling Unit (in square feet):

1200 sq ft

5. Is the property located within a subdivision? ☐ Yes ☒ No

If so, have you obtained approval from the Homeowners Association? ☐ Yes ☐ No

4. Please confirm the ADU is **NOT** a RV, Camper, Motor Home, etc. ☒

Please note: No property is permitted to be occupied with a RV, Camper, Motor Home, etc., unless located within a RV Park.

**Criteria for a Special Use Exception (where applicable):** (Please provide a written statement regarding each criteria)

*Applicant's must demonstrate that the property meets **ALL** of the criteria for a Special Use Exception to be granted.*

1. Such exception will not substantially affect adversely the uses of adjacent and neighboring property:



Sussex County, DE - BOA Application

**Criteria for a Variance:** (Please provide a written statement regarding each criteria).

You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.

In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.

1. Uniqueness of property:

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

The lot is NARROW

2. Cannot otherwise be developed:

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

Due to the property being narrow and the existing well was located in the middle of the property the need for a ADA is needed to assist with septic build.

3. Not created by the applicant:

That such exceptional practical difficulty has not been created by the appellant.

We are in need of more space due to the economy and family needing to move in with owner.

4. Will not alter the essential character of the neighborhood:

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

The building of this ADA will be built to code and add character to the area. It will enhance the area and its surroundings.

5. Minimum variance:

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

I'm asking for 200 sq ft of approval

## Check List for Applications

The following shall be submitted with the application

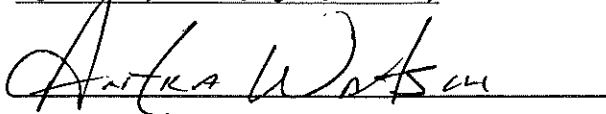
- ☐ • Completed Application
- ☐ • Provide a Site Plan or survey of the property along with a layout/building plans of the ADU
- ☐ • Provide Fee \$500.00
- ☐ • Provide written response to criteria for Special Use Exception (where applicable, may be on a separate document if not enough room on the form)
- ☐ • Copy of Receipt (staff)
- ☐ • Optional - Additional information to be considered (ex. photos of site, photos of similar structures, letters from neighbors, etc.)
- ☐ • Please be aware that an Accessory Dwelling Unit is defined as, "a self-contained dwelling unit that is secondary to the principal dwelling unit on a property and includes independent living facilities, such as a separate entrance and kitchen. The dwelling unit may be attached to, or detached from the primary dwelling on the property and it may also include existing interior space such as a finished basement that is converted into a separate dwelling unit. Accessory dwelling units do not include duplexes, tourist homes, servant quarters, recreational vehicles or guest homes."
- ☐ • Please be aware that the application may be scheduled for a public hearing before the Board of Adjustment if the dimensional requirements of Section 115A(15(c), (d) and (e)) are not met. Staff will place a sign on the site stating the date and time of the Public Hearing for the application. The Applicant, or a representative of the Applicant must be present if a public hearing is scheduled.

*\*Please be advised that the decision of the Director/Board of Adjustment is only final when the written decision is filed with the Board of Adjustment's secretary. To determine whether the written decision has been filed, you may call the Planning & Zoning Department at 302-855-7878. The written decision is generally completed within thirty (30) to sixty (60) days following the Board's vote on the application. Please include the case number when calling about the decision.*

*\*Please be advised that any action taken in reliance of the Board's/Director's decision prior to the filing of the written decision and the expiration of any applicable appeal period is taken at the Property Owner's Risk.*

The undersigned acknowledges that that he or she has read the application completely and that if the appellant / applicant is unable to convince the Director/Board that the standards for a Special Use Exception have been met, the application will be denied.

Signature of Owner/Agent/Attorney



Date: 10/23/25

For office use only:

Date Submitted: \_\_\_\_\_

Fee: \$500.00 Check #: \_\_\_\_\_

Staff accepting application: \_\_\_\_\_

Application & Case #: \_\_\_\_\_

Location of property: \_\_\_\_\_

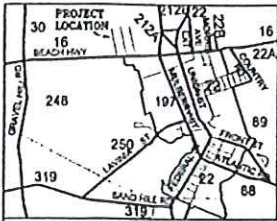
Subdivision: \_\_\_\_\_

Lot#: \_\_\_\_\_

Block#: \_\_\_\_\_

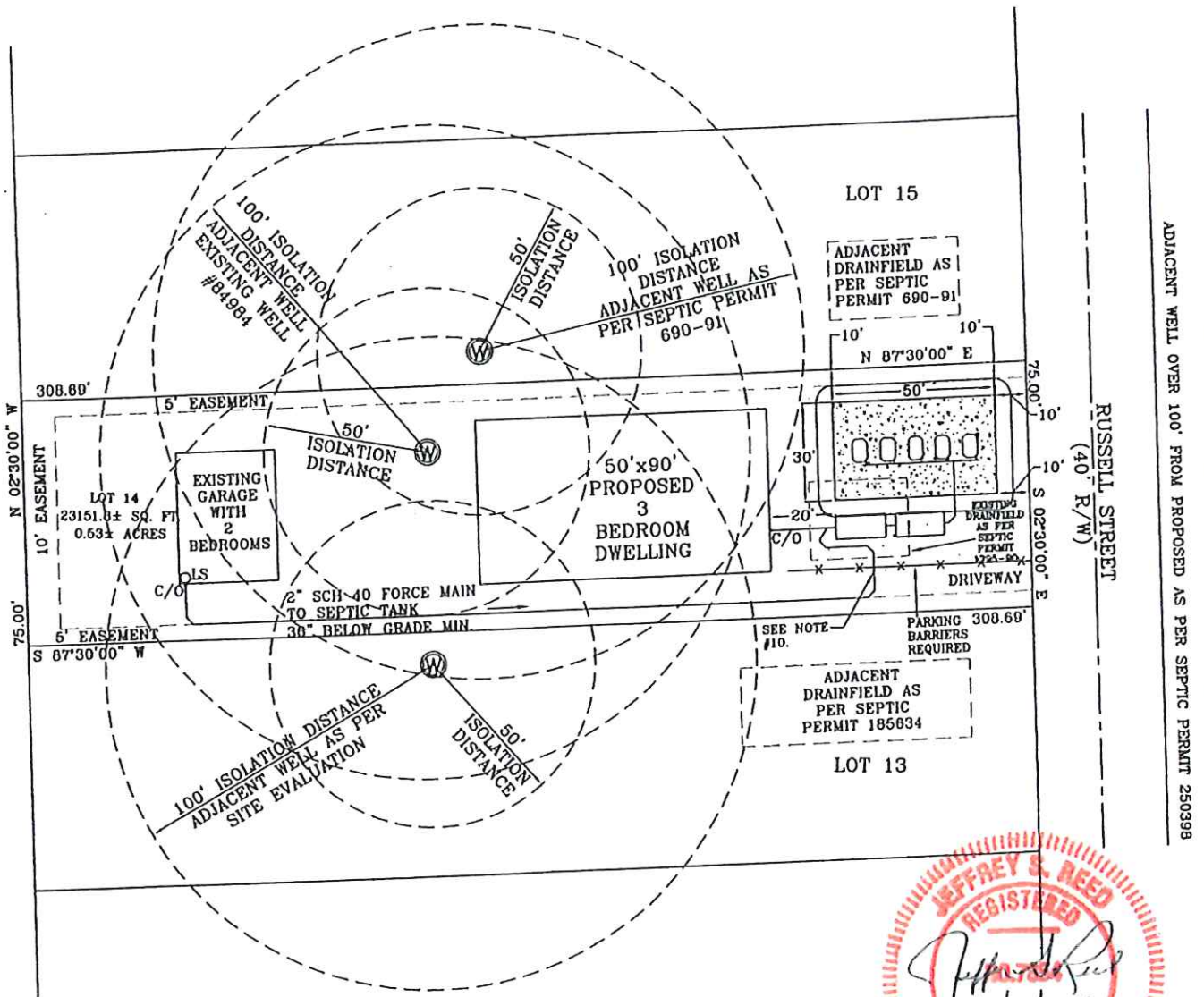
Date of Hearing: \_\_\_\_\_

Decision of Board: \_\_\_\_\_



## NOTES:

1. SURVEY BY OTHERS.
2. SEPTIC PLOT PLAN IS NOT THE RESULT OF A FORMAL SURVEY AND SHOULD NOT BE CONSTRUED AS SUCH.
3. BUILDING SETBACKS ARE THE RESPONSIBILITY OF THE OWNER.
4. SOIL BORINGS, LIMITS OF APPROVED AREA & SLOPES AS PER SITE EVALUATION.
5. SPARE TO BE SAND LINED UPGRADE IN SAME LOCATION AS EXISTING SYSTEM.
6. EXISTING SYSTEM TO BE ABANDONED.
7. AS PER RECORDED PLOT BOOK 40 PAGE 40, ALL INTERIOR SIDE LOT LINES ARE RESERVED FOR THE CENTERLINE OF A TEN FOOT WIDE DRAINAGE AND/OR UTILITY EASEMENT. ALL PERIMETER LOT LINES SHALL HAVE THE EASEMENT WITH THE LOT.
8. TREES WITHIN TEN FEET OF PROPOSED SYSTEM TO BE REMOVED.
9. PARKING BARRIERS REQUIRED.
10. REFER TO DNREC REGULATION 5.3.13.2.4 REGARDING BUILDING SEWERS LOCATED IN TRAFFIC AREAS. ENCASE IN CAST IRON SLEEVE OR INSTALL 36 INCHES MINIMUM DEEP.

OWNER'S/AUTHORIZED AGENT SIGNATURE: Andrea WatsonDATE: 6/11/25

\*A copy of this page must be submitted with both the septic system and well construction report(s).

Scale: 1"=50'  
 Sheet: N/A  
 Date :6/8/25  
 Drawn by: JVR  
 Client: SAEZ  
 Client #:24116

SEPTIC PLOT PLAN  
 LOT 14 SECTION 3  
 COLLINS & RUSSELL DEVELOPMENT

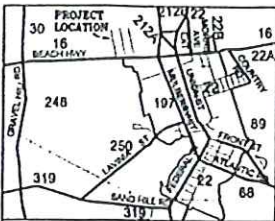
**CITADEL  
 ENGINEERING, INC.**



Jeffrey S. Reed, P.E.  
 17120 Webbs Road  
 Ellendale, DE 19041  
 (302) 422-2524

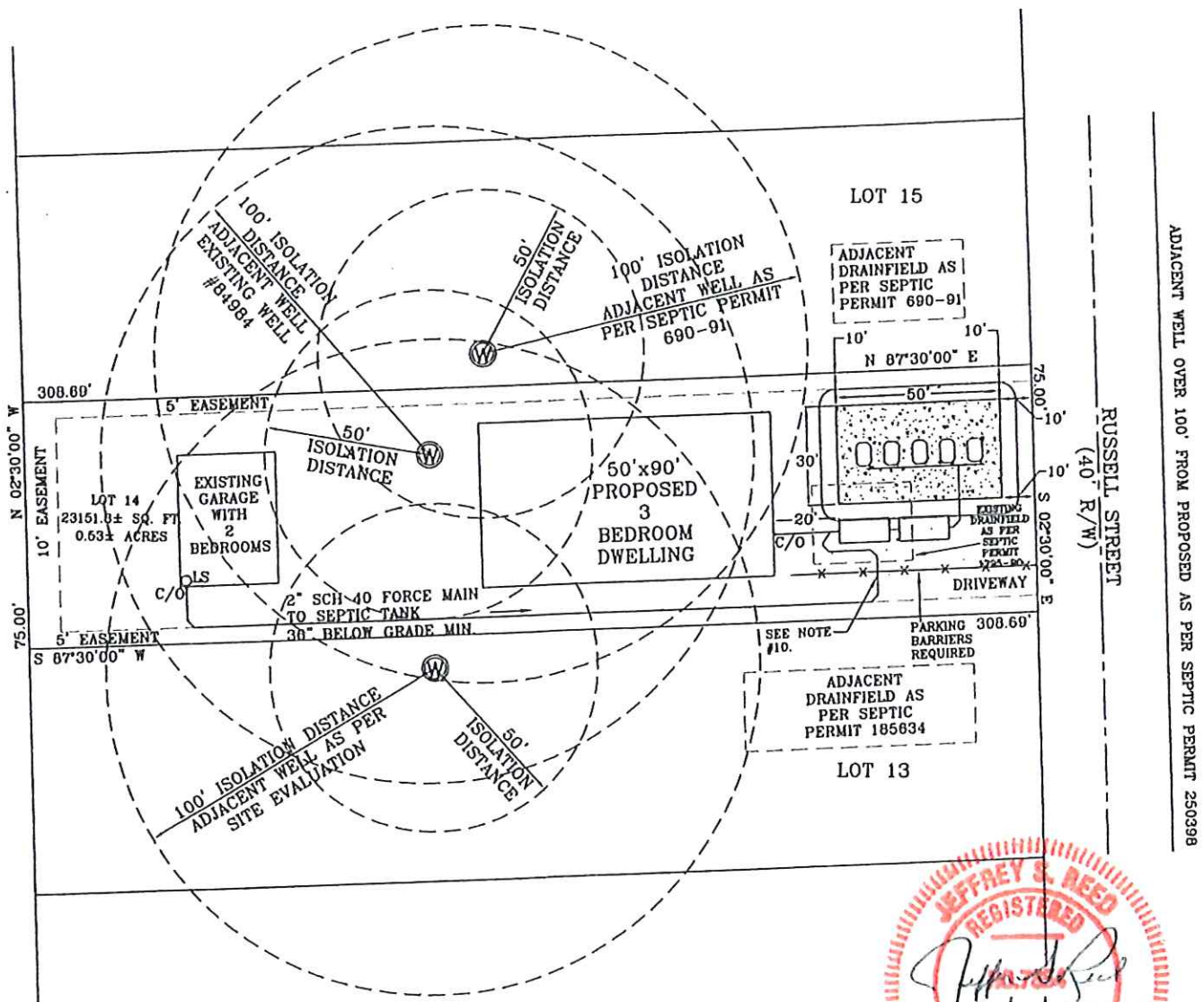






## NOTES:

1. SURVEY BY OTHERS.
2. SEPTIC PLOT PLAN IS NOT THE RESULT OF A FORMAL SURVEY AND SHOULD NOT BE CONSTRUED AS SUCH.
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OWNER'S/AUTHORIZED AGENT SIGNATURE: Andrea WatsonDATE: 6/11/25

\*A copy of this page must be submitted with both the septic system and well construction report(s).

Scale: 1"=50'  
 Sheet: N/A  
 Date :6/8/25  
 Drawn by: JVR  
 Client: SAEZ  
 Client #:24116

SEPTIC PLOT PLAN  
 LOT 14 SECTION 3  
 COLLINS & RUSSELL DEVELOPMENT

**CITADEL  
 ENGINEERING, INC.**

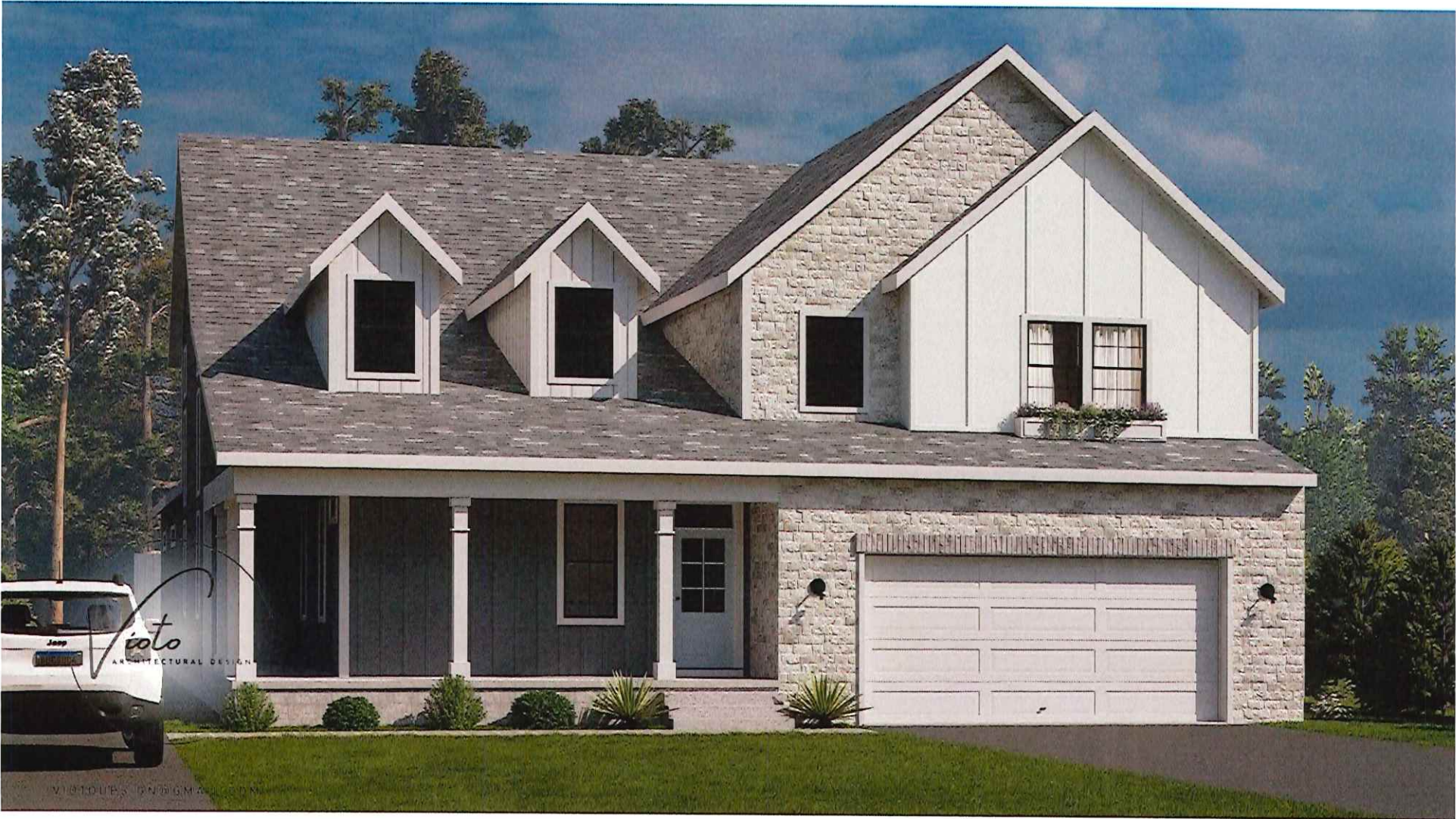
Jeffrey S. Reed, P.E.  
 17120 Webbs Road  
 Ellendale, DE 19941  
 (302) 422-2574





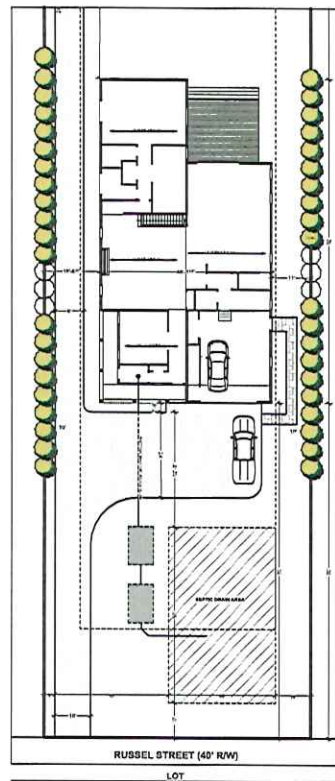
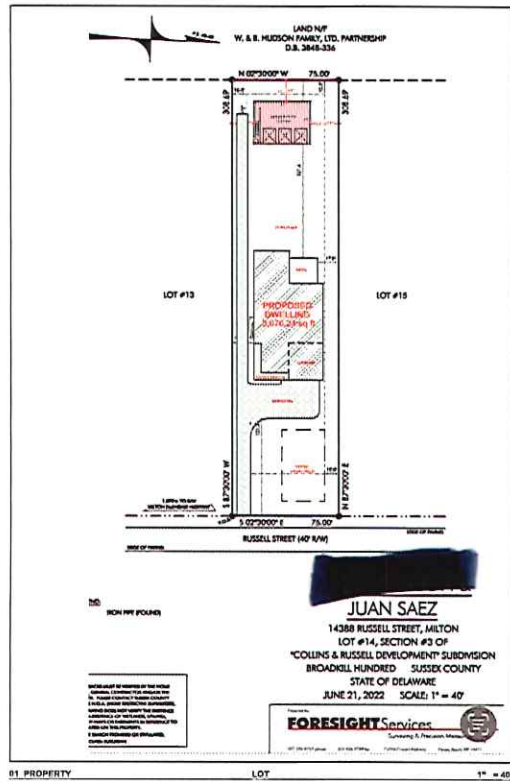
E-04 RIGTH





Project Name SAEZ RESIDENCE		Project Address 1000 N. 100th St., Suite 100, Edina, MN 55425		<b>PRO BUILDERS</b> probuildersonline@gmail.com		Drawing ID A1.01	
Drawing Scale 1/8" = 1'-0"		Date 6/22/2023		Drawing ID A1.01		Layout Name RENDER	
Drawn by Kendra Voth		Date 6/22/2023		Drawing ID A1.01		Layout Name RENDER	





## SAEZ RESIDENCE

14388 RUSSELL STREET, MILTON, DE (LOT#14, SECK#)

## AREA CALCULATIONS:

FIRST FLOOR A/C LIVING	3,055	SQ.FT.
SECOND FLOOR A/C LIVING	1,532	SQ.FT.
TOTAL A/C LIVING	4,587	SQ.FT.
DECK	360	SQ.FT.
FRONT PORCH	225	SQ.FT.
GARAGE	639	SQ.FT.
DRIVEWAY	3,391	SQ.FT.
LOT SIZE	23,152	SQ.FT.

23,152 SQF LOT SIZE ( 100% )  
15,048 SQF ( MAX LOT COVERAGE 65% )  
TOTAL LOT COVERAGE = 14,895 SQF ( 64.2% )  
PROPOSED MAIN STRUCTURE - 4,261 SQF ( 18.40% )

**CONCRETE FOOTINGS & PADS**  
MIN SOIL DESIGN PRESSURE = 2000 PSF  
MIN 2500 PSI CONCRETE W/ #4 REBAR PER PLAN

**CONCRETE SLABS**  
REINFORCEMENT PER IRC 404.1.2 OR AS OTHERWISE NOTED ON PLAN. (ALL REINFORCEMENT TO BE GRADE-60)  
EXPOSED CONCRETE SHALL BE AIR ENTRAINMENT AT 6% +/- 1%  
GARAGE & EXTERIOR SLABS SHALL BE 3500 PSI CONCRETE, MINIMUM

**MASONRY**  
MASONRY UNITS WILL BE UTILIZED ON THIS PROJECT  
OPTIONAL 3,000 PSI CONCRETE STEM WALLS W/ 1 - #4 REBAR VERTICALLY, 72" O/C

**WOOD**  
ACQ (OR EQ) TREATED WOOD IN CONTACT W/ CONCRETE OR SOIL  
FLOOR SYSTEM:

11.8" TJI 1ST FLOOR JOISTS, 16" O/C  
11.8" TJI 1ST FLOOR JOISTS, 12" O/C (BY KITCHEN)  
14" OPEN WEB TRUSSES 2ND FLOOR JOISTS, 16" O/C  
23/32" APA RATED FLOOR SHEATHING, 8D NAILS, 6" O/C AT EDGES & 12" O/C IN FIELD, CONSTRUCTION ADHESIVE AT ALL CONTACT SURFACES (UNLESS OTHERWISE NOTED)  
WALL SYSTEM:

2X6 @ 24" O/C, EXTERIOR WALLS  
7/16" APA RATED SHEATHING, 6D NAILS, 6" O/C AT EDGES & 12" O/C IN FIELD, (UNLESS OTHERWISE NOTED)  
2X4 INTERIOR WALLS, 16" O/C  
MAX. EXTERIOR WALL HEIGHT PER IRC 602.3.1:  
2X4 @ 16" O/C = 12'-0"  
2X6 @ 16" O/C = 18'-0"  
ROOF SYSTEM: ENGINEERED WOOD TRUSS SYSTEM; SEE SEPARATE  
TRUSS LAYOUT & SPECIFICATIONS AS SEALED BY A LICENSED DELAWARE ENGINEER

**MECHANICAL**  
ALL ELECTRICAL EQUIPMENT, WIRING, LIGHTING AND APPLIANCES SHALL BE INSTALLED PER THE PROVISIONS OF THE NATIONAL ELECTRIC CODE & BY THE NATIONAL PLUMBING FIXTURES, PIPING, ETC. SHALL BE INSTALLED PER THE PROVISIONS OF THE INTERNATIONAL PLUMBING CODE RISER DIAGRAMS (AS REQUESTED) WILL BE PROVIDED BY THE PLUMBING CONTRACTOR OF RECORD.  
HVAC LAYOUT & SPECIFICATIONS WILL BE PROVIDED BY THE MECHANICAL CONTRACTOR OF RECORD.

**INSULATION**  
FOUNDATION: 2" RIGID FOAM, R-10  
FLOORS: 2X6 @ 16" O.C., BATT R-23  
ROOF: BLOWN-IN, R-38

BUILDING CODE: IRC 2021  
STRUCTURAL NOTES

1. ALL LUMBER USED AS STRUCTURAL FRAMING SHALL BE SPF NO. 1 / NO. 2 OR BETTER, HAVING AN F<sub>b</sub> = 875 PSI AS DEFINED IN THE LATEST EDITION OF "NATIONAL DESIGN SPECIFICATION PUBLISHED BY NATIONAL FOREST & PAPER ASSOC.  
HANDLER REFERENCES ARE FOR SIMPSON STRONG-TIE CONNECTORS. CONDITIONS SHOULD BE SIMPSON 2-MAX SERIES.  
GENERAL DESIGN DATA:

3. ALL ORDERS, DECK JOISTS, STAIR STRINGERS AND DECKING SHALL BE NO. 2 SOUTHERN PINE OR BETTER, PRESSURE TREATED TO AWPA STANDARD L22. DECK JOISTS SHALL BE CONNECTED TO ORDERS USING HURRICANE TIE.

4. ALL PORTS & COLUMNS WITHIN THE HOUSE SHALL BE PLACED DIRECTLY OVER FOUNDATIONS OR BEAMS BELOW AND SHALL ALIGN WITH POSTS OF LOWER FLOORS. POSTS SHALL REST ON SOLID TIMBER BETWEEN FLOOR JOISTS OR EXTEND THROUGH FLOORS TO BEAMS BELOW.  
TIMBER BELOW POSTS SHALL BE AT LEAST AS LARGE AS THE CROSS-SECTION OF THE POST ABOVE. WHEN USING BUILT-UP POSTS, SELECT LUMBER THAT MINIMIZES THE NUMBER OF KNOTS IN THE SAME LOCATIONS. USE CEMENT-COATED NAILS WHEN JOINING MEMBERS OF BUILT-UP POSTS.

5. ALL INTERNAL LOAD-BEARING WALLS ARE TO HAVE CONTINUOUS HORIZONTAL BLOCKING NAILED TO THE STUDS AT NO GREATER THAN 4'-0" O/C VERTICALLY. BLOCKING SHALL HAVE THE SAME CROSS-SECTION AS THE STUD. BLOCKING BETWEEN STUDS IS REQUIRED AT ALL HORIZONTAL JOINTS IN THE SHEATHING.

6. ALL DOUBLE & TRIPLE LVL'S SHALL BE SPIKED TOGETHER BEFORE LOADING, USING NAILS AS RECOMMENDED BY THE MANUFACTURER OR AS NOTED ON THE DRAWINGS. MINIMUM REQUIREMENTS:

3-PLY LVL — 2-ROWS TRUSSELOK SCREWS @ 18" O/C  
2-PLY LVL — 3-ROWS 156 COMMON NAILS @ 12" O/C

HEADER SCHEDULE UNLESS NOTED ON DRAWINGS:

2X6 WALLS 4'-0" 2-2X8 WITH 2-LAYERS OF 1/2" PLYWOOD  
6'-0" 2-2X10 WITH 2-LAYERS OF 1/2" PLYWOOD  
-6'-0" 2-2X12 WITH 2-LAYERS OF 1/2" PLYWOOD

2X4 WALLS 4'-0" 2-2X8 WITH 1-LAYER OF 1/2" PLYWOOD  
6'-0" 2-2X10 WITH 1-LAYER OF 1/2" PLYWOOD  
-6'-0" 2-2X12 WITH 1-LAYER OF 1/2" PLYWOOD

7. DOUBLE JOISTS ARE REQUIRED UNDER ALL WALLS RUNNING PARALLEL TO THE JOIST SYSTEM.

8. STRUCTURAL W SHAPES SHALL CONFORM TO ASTM A992.

BOLTS ARE TO BE ASTM A325N  
FABRICATION & CONNECTIONS TO BE IN ACCORDANCE WITH AISI SPECIFICATIONS

9. ENGINEERED ROOF & FLOOR TRUSSES ARE TO BE INSTALLED & STIFFENED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND SPECIFICATIONS.  
COPIES OF THE TRUSS LAYOUTS AND DETAILS ARE TO BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW.

NON-LOAD-BEARING WALLS SHOULD NOT BE ATTACHED DIRECTLY TO THE TRUSSER. EXPANSION CLIPS OR SIMILAR SHOULD BE USED TO ALLOW VERTICAL MOVEMENT OF THE TRUSS CAUSED BY CLIMATIC CHANGES.  
DRYWALL SHOULD BE ATTACHED AS RECOMMENDED BY THE GYPSUM ASSOC.

10. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE MINIMUM 3500 PSI. CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.  
REINFORCING BARS SHALL CONFORM TO ASTM A631 GRADE 60.  
WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND BE PROVIDED IN FLAT SHEETS. GRADE 60 SHALL BE SUPPORTED & LOCATED 1" FROM THE TOP OF THE SLAB.

11. FOUNDATIONS DESIGN IS BASED ON SHALLOW SPREAD FOOTINGS BEARING ON SUITABLE NATURAL SOIL, WITH A MINIMUM BEARING CAPACITY OF NOT LESS THAN 2000 PSF.  
CONTRACTOR ADVISED BY GEOTECHNICAL ENGINEER VERIFY BEARING CAPACITY PRIOR TO POURING CONCRETE.

12. MASONRY CONSTRUCTION SHALL CONFORM TO ACI 530.1.  
ALL CONCRETE MASONRY UNITS SHALL BE ASTM C90 GRADE N-TYPE-1 MORTAR SHALL CONFORM TO ASTM C270 TYPE M OR S.  
WHERE INDICATED, GROUT CORES SOLID WITH A HIGH SLUMP MIX IN ACCORDANCE WITH ASTM C476 HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.

13. DESIGN CODE: INTERNATIONAL RESIDENTIAL CODE 2021

EXTERIOR SHEAR WALLS ARE DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AMERICAN FOREST & PAPER ASSOCIATION, WOOD FRAME CONSTRUCTION MANUAL.

EXTERIOR SHEAR WALLS ARE TO BE SHEATHED USING 7/16" WOOD STRUCTURAL PANELS ON THE EXTERIOR ATTACHED WITH #6 COMMON NAILS AT 16" O/C AND 12" O/C ON INTERNAL FRAMING.

ROOF SHEATHING TO BE 1/2" STRUCTURAL PLYWOOD ATTACHED WITH #6 COMMON NAILS AT 4" O/C AT PANEL EDGES AND 12" O/C AT INTERMEDIATE SUPPORTS.

DESIGN CODE: INTERNATIONAL RESIDENTIAL CODE 2021

DESIGN LOADINGS:

DESIGN WIND SPEED 80 MPH  
GROUND SNOW LOAD 30 LB/SQ. FT.  
SLEEPING AREAS 30 LB/SQ. FT.  
OTHER FLOORS 50 LB/SQ. FT.

HEALTH & SAFETY

FACTORY FIREPLACE PER IRC R1004 & R1002.  
FIRE BLOCKING AT MID-HEIGHT OF BALCONY-FRAMED STUDS, IRC R602.8  
GLAZING AT HAZARDOUS LOCATIONS PER IRC R201.4  
EMERGENCY ESCAPE WINDOW OR DOOR IN SLEEPING ROOMS  
36" MIN STAIRWAY WIDTH PER IRC R311.5  
8 1/4" MAX STAIR RISE, MIN TREAD WIDTH 11" W/ 1 1/4" NOSING IRC R311.5.3  
STAIR HANDRAILS @ 36-38" ABOVE TREAD NOSING PER IRC R311.5.6  
GUARDS @ 36" ON PORCHES, BALCONIES & RAISED FLOOR AREAS LOCATED 27" ABOVE FLOOR OR GRADE BELOW, PER IRC R312  
SMOKE ALARM IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA, & EACH ADDITIONAL STORY OF THE DWELLING PER IRC R313  
FOUNDATION WALLS: 18" OR 12" THICK X 24" HIGH, 3600 PSI POURED CONCRETE  
BASEMENT WALLS: 10" THICK X 9'-4" HIGH, 3600 PSI POURED CONCRETE

## ABBREVIATIONS:

ACQ — ACQUADUR  
APA — AMERICAN PAPER ASSOCIATION  
AWPA — AMERICAN WOOD PRESERVATION ASSOCIATION  
BATT — BATTEN  
BOLTS — BOLT  
BR — BRACKET  
C — CEMENT  
C/C — CENTER TO CENTER  
C/S — CENTER TO SURFACE  
D — DIMENSION  
EQ — EQUIVALENT  
F<sub>b</sub> — BENDING STRENGTH  
F<sub>v</sub> — SHEAR STRENGTH  
F<sub>u</sub> — TENSILE STRENGTH  
G — GRADE  
H — HURRICANE  
I — IRON  
J — JOIST  
K — KNOT  
L — LUMBER  
M — MASONRY  
N — NAIL  
O/C — ON CENTER  
P — PLYWOOD  
P/T — PLYWOOD TREATED  
R — RATED  
S — SOUTHERN  
S/P — SOUTHERN PINE  
T — TREATED  
T/C — TOP TO CENTER  
T/S — TOP TO SURFACE  
U — UNFINISHED  
V — VERTICAL  
W — WOOD  
W/ — WITH  
X — EXTERIOR  
Y — YIELD  
Z — ZONE

1. All Lumber used as structural framing shall be SPF No. 1 / No. 2 or better, having an F<sub>b</sub> = 875 PSI as defined in the latest edition of "National Design Specification" published by National Forest & Paper Assoc.  
2. All exterior bolts, straps & clips shall be hot-dipped galvanized.  
3. All orders, deck joists, stair stringers and decking shall be No. 2 Southern Pine or better, pressure treated to AWPA Standard L22. Deck joists shall be connected to orders using hurricane tie.  
4. All posts & columns within the house shall be placed directly over foundations or beams below and shall align with posts of lower floors. Posts shall rest on solid timber between floor joists or extend through floors to beams below.  
5. All internal load-bearing walls are to have continuous horizontal blocking nailed to the studs at no greater than 4'-0" O/C vertically. Blocking shall have the same cross-section as the stud. Blocking between studs is required at all horizontal joints in the sheathing.  
6. All double & triple LVL's shall be spiked together before loading, using nails as recommended by the manufacturer or as noted on the drawings. Minimum requirements:  
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7. Double joists are required under all walls running parallel to the joist system.  
8. Structural W shapes shall conform to ASTM A992.  
Bolts are to be ASTM A325N  
Fabrication & connections to be in accordance with AISI specifications  
9. Engineered roof & floor trusses are to be installed & stiffened in accordance with the manufacturer's written instructions and specifications.  
Copies of the truss layouts and details are to be submitted to the engineer of record for review.  
Non-load-bearing walls should not be attached directly to the trusser. Expansion clips or similar should be used to allow vertical movement of the truss caused by climatic changes.  
Drywall should be attached as recommended by the gypsum assoc.  
10. Concrete compressive strength at 28 days shall be minimum 3500 PSI. Concrete shall not be placed in water or on frozen ground.  
Reinforcing bars shall conform to ASTM A631 Grade 60.  
Welded wire fabric shall conform to ASTM A185 and be provided in flat sheets. Grade 60 shall be supported & located 1" from the top of the slab.  
11. Foundations design is based on shallow spread footings bearing on suitable natural soil, with a minimum bearing capacity of not less than 2000 PSF.  
Contractor advised by geotechnical engineer verify bearing capacity prior to pouring concrete.  
12. Masonry construction shall conform to ACI 530.1.  
All concrete masonry units shall be ASTM C90 Grade N-Type-1 mortar shall conform to ASTM C270 Type M or S.  
Where indicated, grout cores solid with a high slump mix in accordance with ASTM C476 having a minimum compressive strength of 3000 PSI.  
13. Design code: International Residential Code 2021  
Exterior shear walls are designed in accordance with the requirements of the American Forest & Paper Association, Wood Frame Construction Manual.  
Exterior shear walls are to be sheathed using 7/16" wood structural panels on the exterior attached with #6 common nails at 16" O/C and 12" O/C on internal framing.  
Roof sheathing to be 1/2" structural plywood attached with #6 common nails at 4" O/C at panel edges and 12" O/C at intermediate supports.

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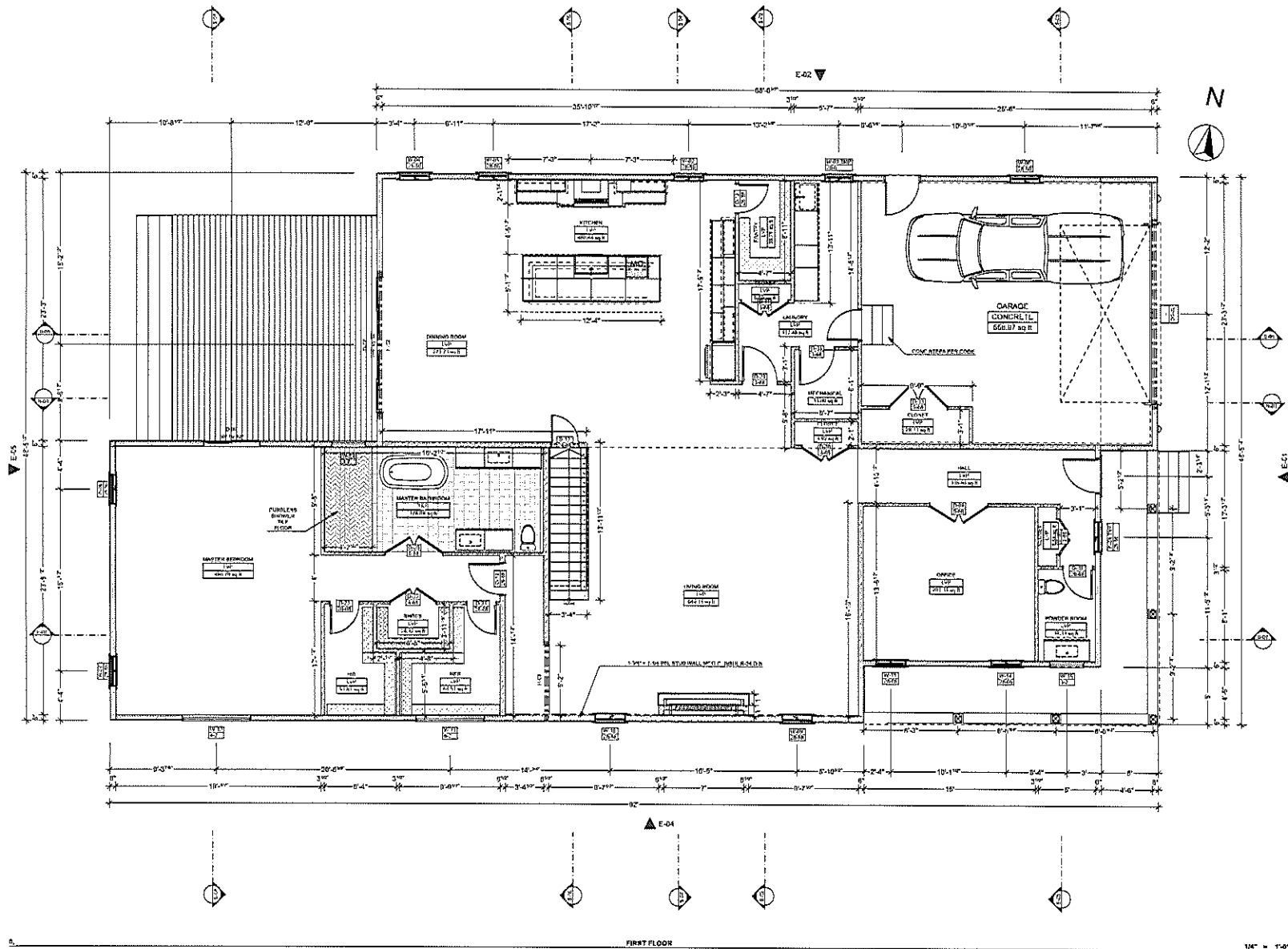
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HEADER SCHEDULE UNLESS NOTED ON DRAWINGS:  
2X6 WALLS 4'-0" 2-2X8 WITH 2-LAYERS OF 1/2" PLYWOOD  
6'-0" 2-2X10 WITH 2-LAYERS OF 1/2" PLYWOOD  
-6'-0" 2-2X12 WITH 2-LAYERS OF 1/2" PLYWOOD  
2X4 WALLS 4'-0" 2-2X8 WITH 1-LAYER OF 1/2" PLYWOOD  
6'-0" 2-2X10 WITH 1-LAYER OF 1/2" PLYWOOD  
-6'-0" 2-2X12 WITH 1-LAYER OF 1/2" PLYWOOD  
7. Double joists are required under all walls running parallel to the joist system.  
8. Structural W shapes shall conform to ASTM A992.  
Bolts are to be ASTM A325N  
Fabrication & connections to be in accordance with AISI specifications  
9. Engineered roof & floor trusses are to be installed & stiffened in accordance with the manufacturer's written instructions and specifications.  
Copies of the truss layouts and details are to be submitted to the engineer of record for review.  
Non-load-bearing walls should not be attached directly to the trusser. Expansion clips or similar should be used to allow vertical movement of the truss caused by climatic changes.  
Drywall should be attached as recommended by the gypsum assoc.  
10. Concrete compressive strength at 28 days shall be minimum 3500 PSI. Concrete shall not be placed in water or on frozen ground.  
Reinforcing bars shall conform to ASTM A631 Grade 60.  
Welded wire fabric shall conform to ASTM A185 and be provided in flat sheets. Grade 60 shall be supported & located 1" from the top of the slab.  
11. Foundations design is based on shallow spread footings bearing on suitable natural soil, with a minimum bearing capacity of not less than 2000 PSF.  
Contractor advised by geotechnical engineer verify bearing capacity prior to pouring concrete.  
12. Masonry construction shall conform to ACI 530.1.  
All concrete masonry units shall be ASTM C90 Grade N-Type-1 mortar shall conform to ASTM C270 Type M or S.  
Where indicated, grout cores solid with a high slump mix in accordance with ASTM C476 having a minimum compressive strength of 3000 PSI.  
13. Design code: International Residential Code 2021  
Exterior shear walls are designed in accordance with the requirements of the American Forest & Paper Association, Wood Frame Construction Manual.  
Exterior shear walls are to be sheathed using 7/16" wood structural panels on the exterior attached with #6 common nails at 16" O/C and 12" O/C on internal framing.  
Roof sheathing to be 1/2" structural plywood attached with #6 common nails at 4" O/C at panel edges and 12" O/C at intermediate supports.

1. All Lumber used as structural framing shall be SPF No. 1 / No. 2 or better, having an F<sub>b</sub> = 875 PSI as defined in the latest edition of "National Design Specification" published by National Forest & Paper Assoc.  
2. All exterior bolts, straps & clips shall be hot-dipped galvanized.  
3. All orders, deck joists, stair stringers and decking shall be No. 2 Southern Pine or better, pressure treated to AWPA Standard L22. Deck joists shall be connected to orders using hurricane tie.  
4. All posts & columns within the house shall be placed directly over foundations or beams below and shall align with posts of lower floors. Posts shall rest on solid timber between floor joists or extend through floors to beams below.  
5. All internal load-bearing walls are to have continuous horizontal blocking nailed to the studs at no greater than 4'-0" O/C vertically. Blocking shall have the same cross-section as the stud. Blocking between studs is required at all horizontal joints in the sheathing.  
6. All double & triple LVL's shall be spiked together before loading, using nails as recommended by the manufacturer or as noted on the drawings. Minimum requirements:  
3-PLY LVL — 2-ROWS TRUSSELOK SCREWS @ 18" O/C  
2-PLY LVL — 3-ROWS 156 COMMON NAILS @ 12" O/C  
HEADER SCHEDULE UNLESS NOTED ON DRAWINGS:  
2X6 WALLS 4'-0" 2-2X8 WITH 2-LAYERS OF 1/2" PLYWOOD  
6'-0" 2-2X10 WITH 2-LAYERS OF 1/2" PLYWOOD  
-6'-0" 2-2X12 WITH 2-LAYERS OF 1/2" PLYWOOD  
2X4 WALLS 4'-0" 2-2X8



Layout ID

Layout Name  
FIRST FLOOR  
PLAN

Drawing Scale  
1/8" = 1'-0"

Drawing ID  
6/22/2023

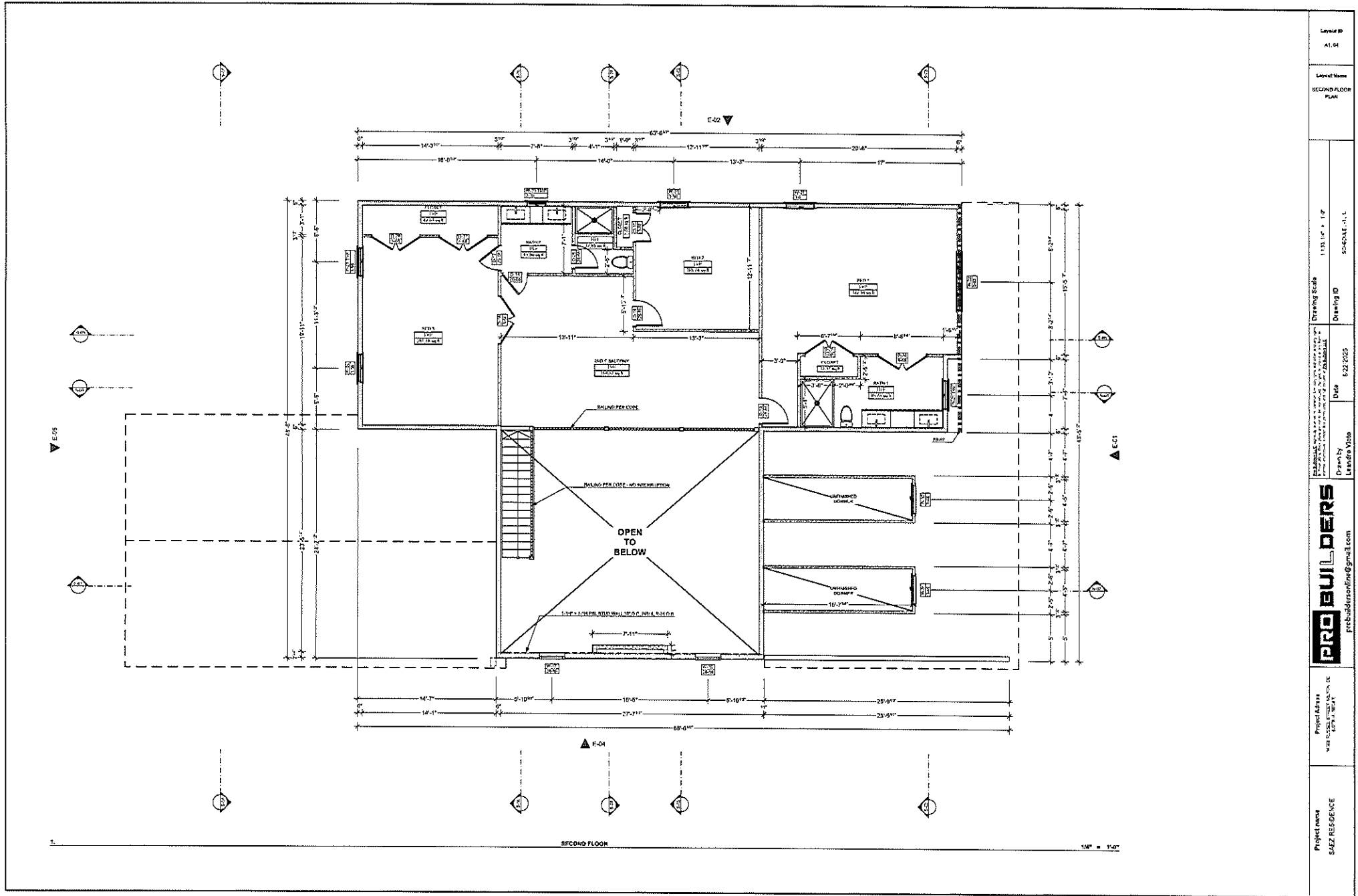
Date  
6/22/2023

Project Name  
SAGE RESIDENCE

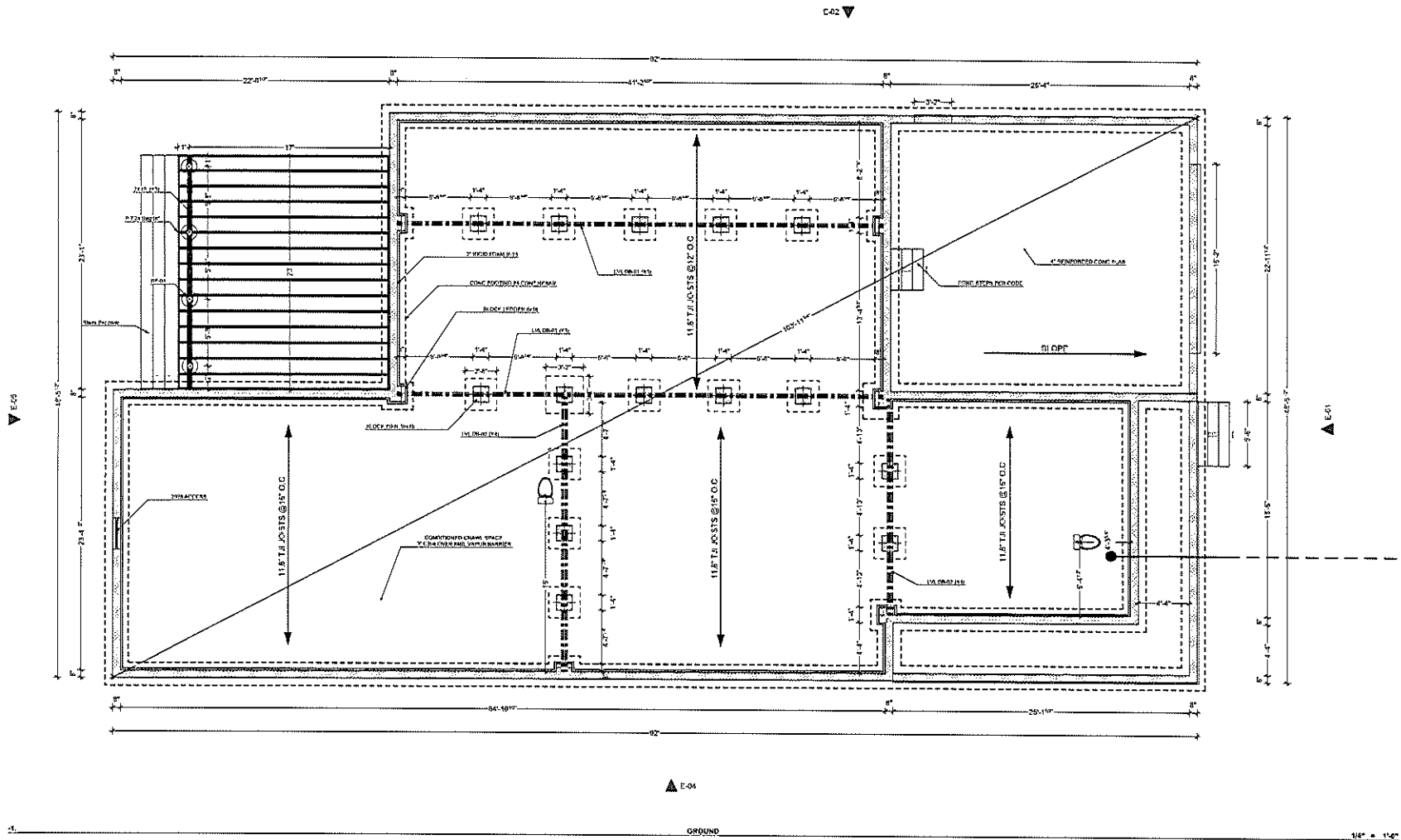
Project Address  
12345 Main St.  
Anytown, CA 90210

Project Name  
SAGE RESIDENCE

Project Name  
SAGE RESIDENCE







Layout ID  
A1.01

Layout Name  
FOUNDATION

Drawing Scale  
1/4" = 1'-0"

Drawing ID  
A1.01

Date  
8/22/2023

Drawn by  
Larissa Vito

Project Address  
11111 1st St, N, NW  
Atlanta, GA 30328

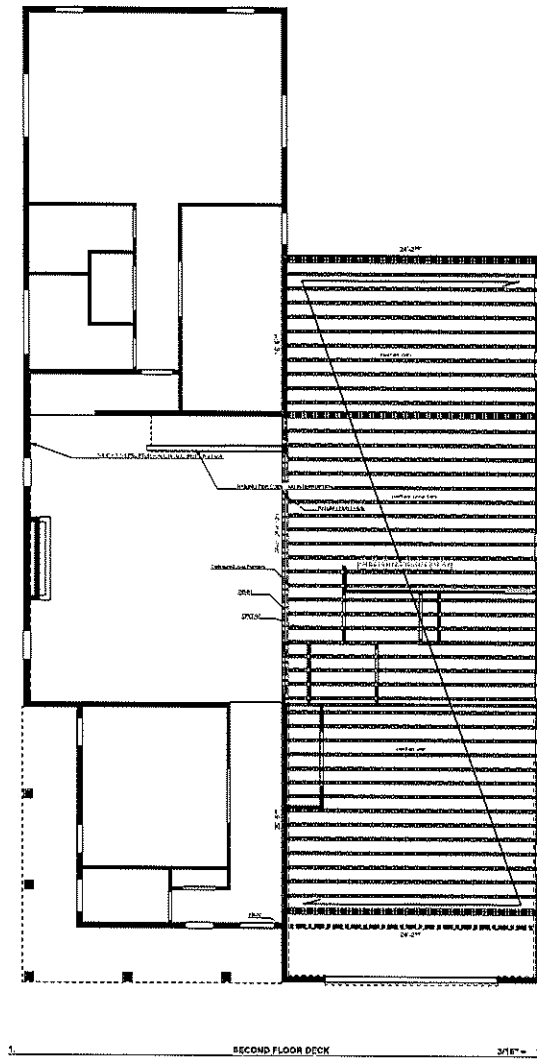
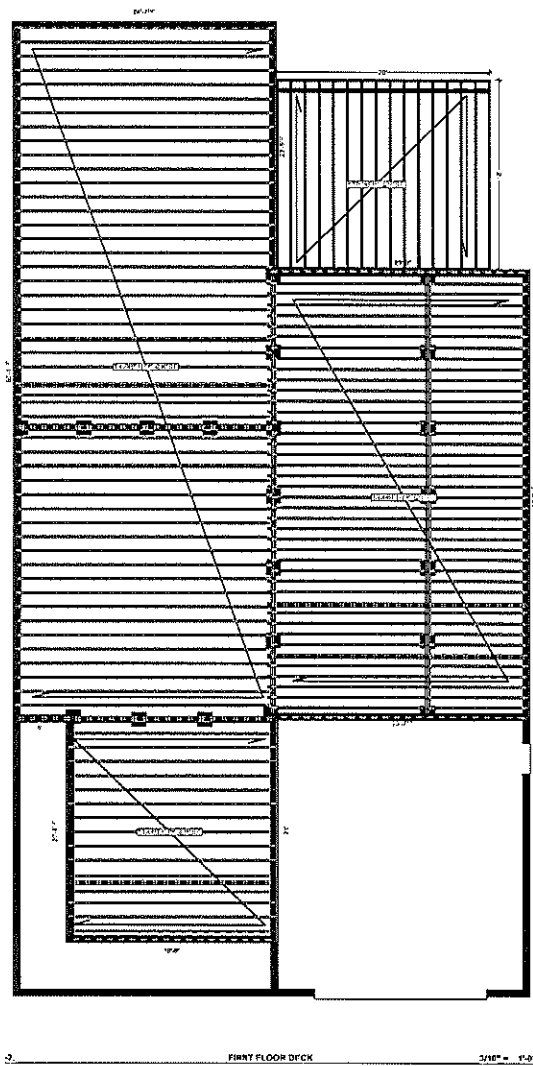
Project Name  
SAEZ RESIDENCE

Project Address  
11111 1st St, N, NW  
Atlanta, GA 30328

Project Name  
SAEZ RESIDENCE

Project Address  
11111 1st St, N, NW  
Atlanta, GA 30328

Project Name  
SAEZ RESIDENCE



# MEANS & METHODS NOTES

- THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE.
- SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES
- AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, CLYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO
- STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.

## FRAMING NOTES:

- Joist Spans were determined on the basis of the allowable stresses per 2021 IRC
- Provide double joists below all partial partitions, and above and around all openings not indicated on drawings.
- Provide solid blocking between floor joists under walls that are perpendicular to floor joists.
- Sheath all exterior walls with nominal 1/2" structural grade 2 plywood or nominal 1/2" ODD.
- Provide minimum double jamb for all beams u.n.o. (unless noted otherwise)
- Provide minimum triple jamb for all girder trusses u.n.o.
- Provide solid blocking below all columns to transfer load directly to framing.
- Balloon frame all end walls with cathedral ceilings u.n.o.
- All flush framed LVL or PSL beam to beam connections to be fastened with beam hangers, designed and provided by LVL or PSL manufacturer, unless a specific hanger connector is called for.
- Joist hangers are to be a minimum of 16 gauge, size and profile to suit application, u.n.o., provide hangers for all flush framed joists.
- Joist hangers, hurricane clips, post bases, post caps and other framing specialties are to be used only in strict accordance with manufacturer's written specifications.
- Use "H" clips for all unsupported roof sheathing butt joints.
- Where decks fasten to house framing, provide a continuous treated ledger thru bolted to floor structure per IRC 2021 R507.
- Wood exposed to the environment, attached directly to concrete better and or treated designated in accordance as "Treated" with shall be the American #2 Southern Wood Preservative Association (AWPA) Glendred2.
- per Engineer written specifications joists/trusses by manufacturer shall be manufactured and installed.
- Post solid beneath all part with loads to foundation or supporting members below with min (2) 2 x 4, u.n.o.

Item ID	Length	Quantity	Location	1D Avail.	2D Plan	3D Cross Sect.	DESCRIPTION	NOTE
JOIST 001	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
JOIST 002	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
JOIST 003	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
JOIST 004	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
JOIST 005	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
JOIST 006	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
JOIST 007	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
JOIST 008	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
JOIST 009	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
JOIST 010	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
JOIST 011	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
JOIST 012	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
JOIST 013	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
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JOIST 090	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
JOIST 091	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
JOIST 092	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
JOIST 093	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
JOIST 094	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
JOIST 095	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
JOIST 096	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
JOIST 097	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
JOIST 098	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
JOIST 099	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"
JOIST 100	10'0"	1	Garage	10'0"	10'0"	10'0"	10'0" x 10'0" x 10'0" GARAGE JOIST	10'0" x 10'0"

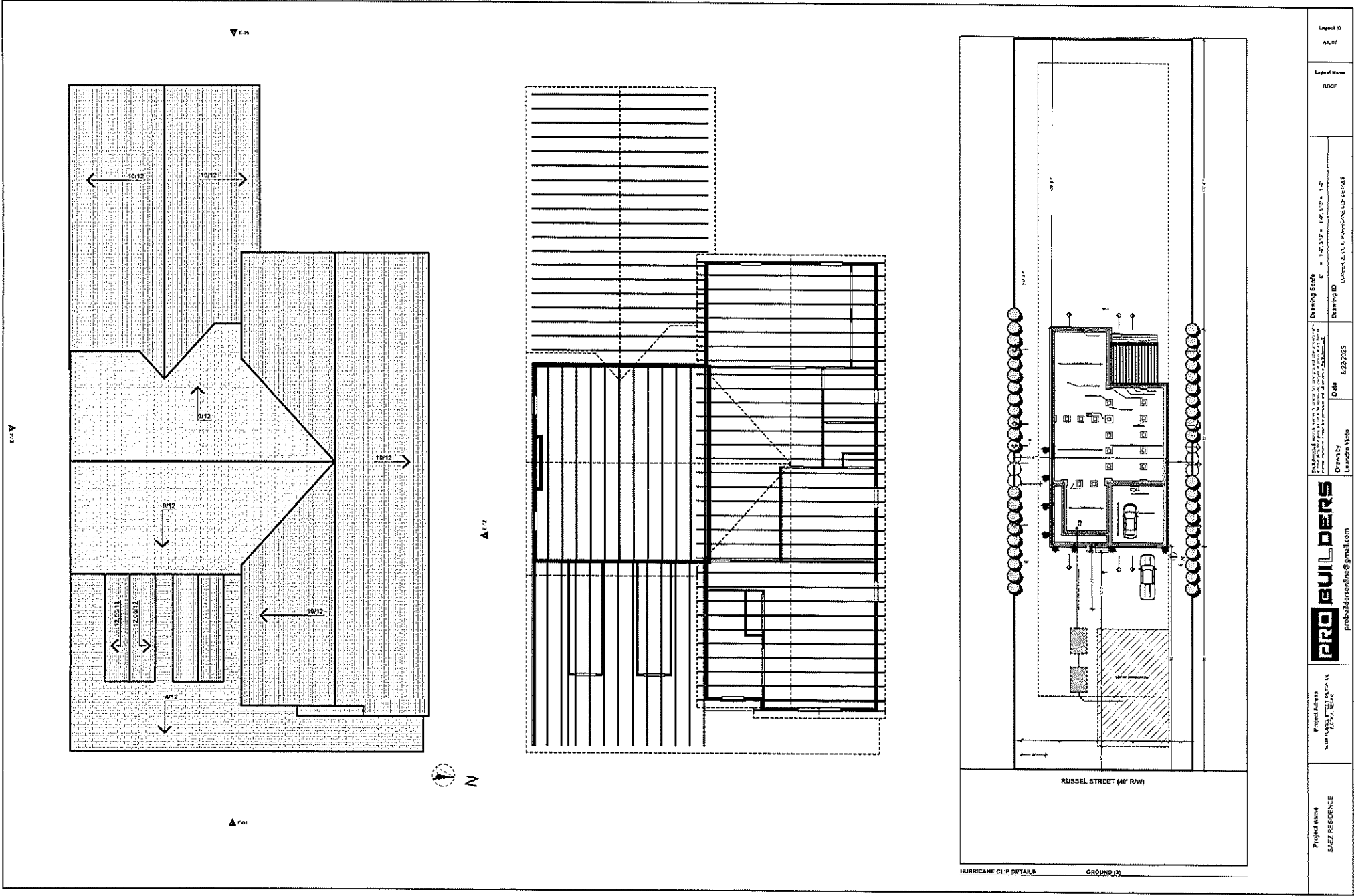
Layout ID

AT 08

Layout Name

DECA LAYOUT

Drawing Scale







FRONT 1/4" = 1'-0"



BACK 1/4" = 1'-0"

Layout ID  
A1.01

Layout Name  
ELEVATIONS

Drawing Scale  
1/4" = 1'-0"

Drawing ID  
ECL1505

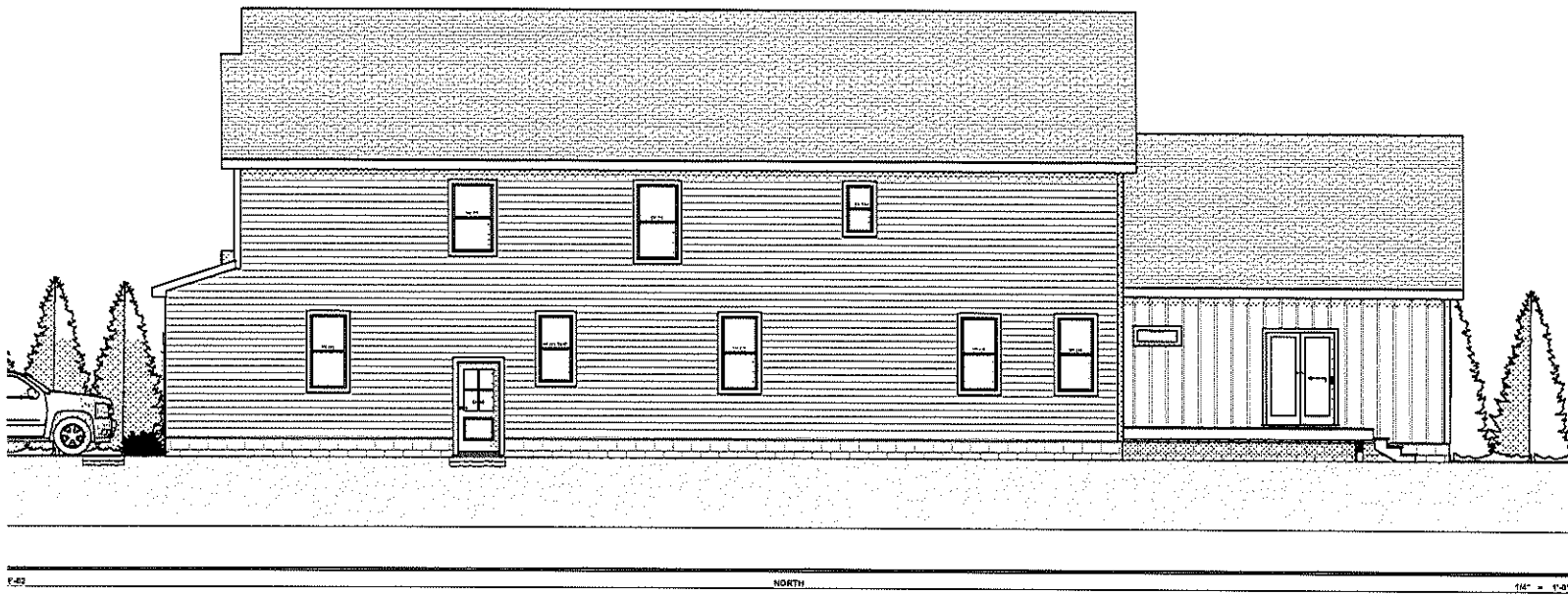
Date  
8/22/2015

Drawn by  
Larinda Wise

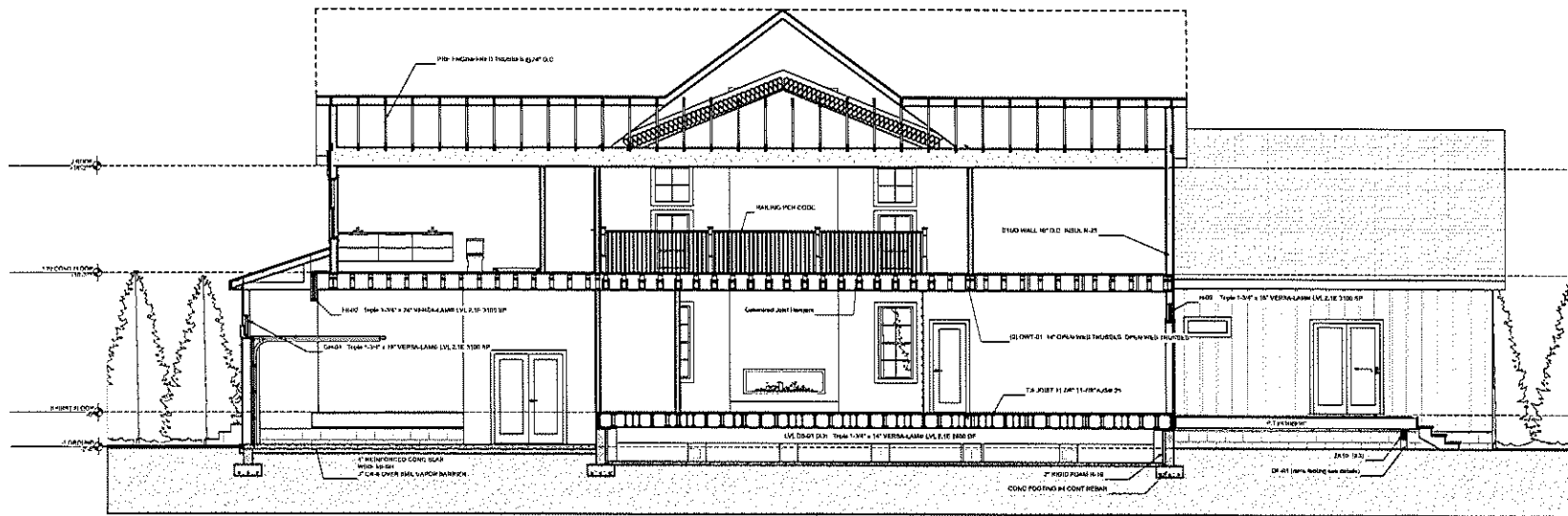
**PRO BUILDERS**  
probuildersinc@gmail.com

Project Address  
1000 N. 10TH ST.  
TULSA, OK 74104

Project Name  
SAFARI RESIDENCE

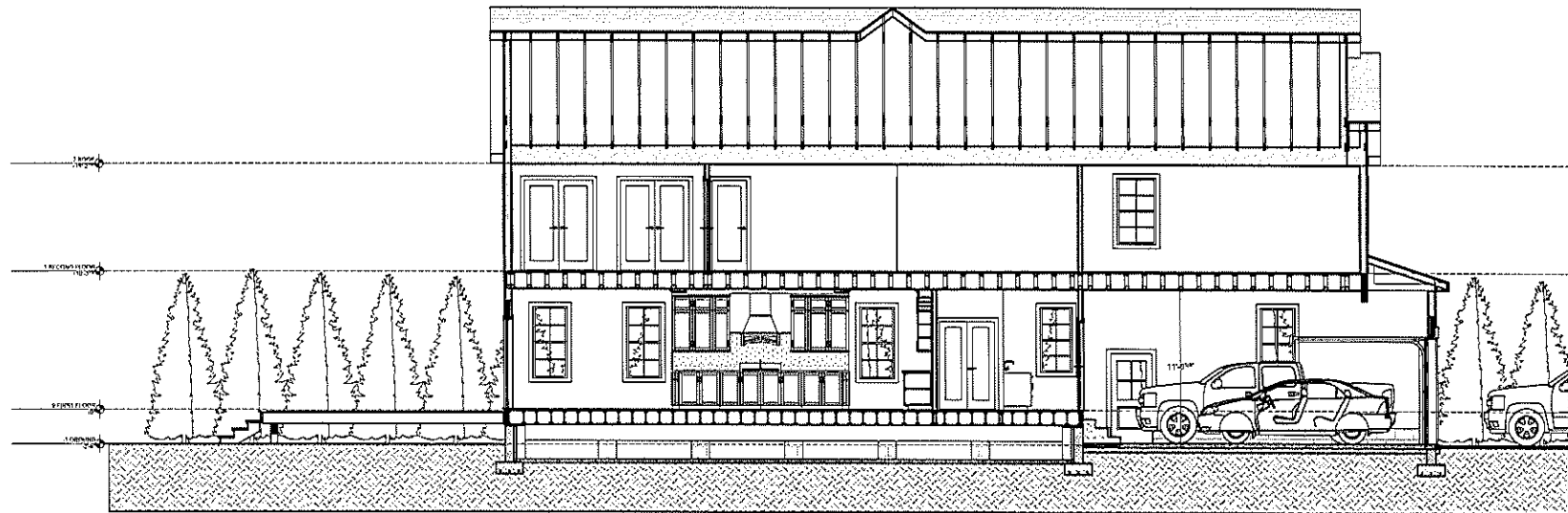


Project Name SALE RESIDENCE	Project Address 1000 N. 10th St. Tomball, TX 77454	<b>PRO BUILDERS</b> pro-builders@gmail.com	Drawing Scale 1/4" = 1'-0"	
			Drawing ID E02-04	Date 6/22/2023
			Drawn by Lorena Hino	
			Layout Name ELEVATIONS	
		Layout ID A1.00		



S-11

1/4" = 1'-0"

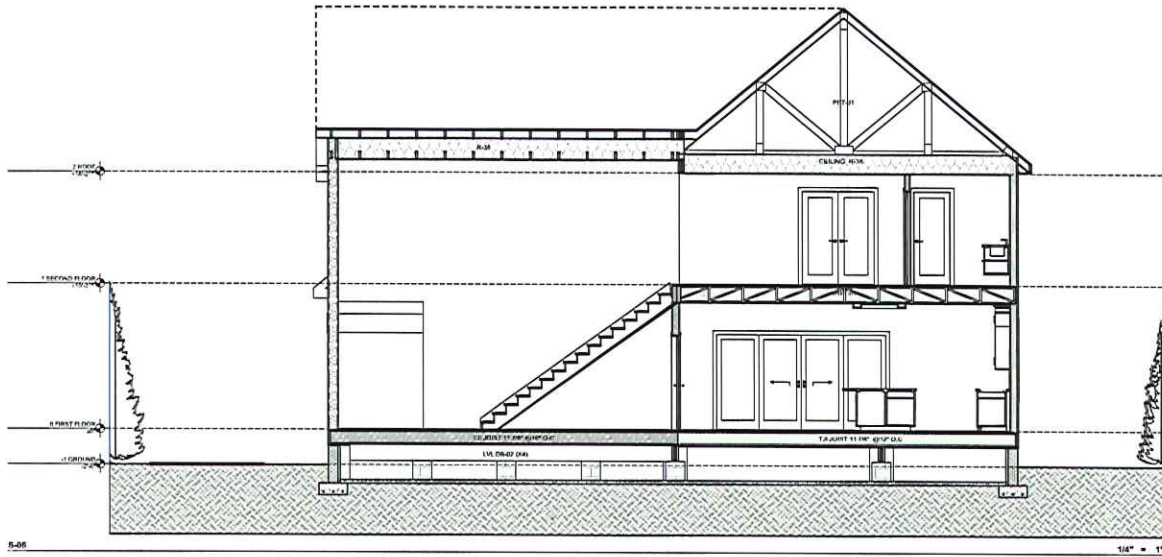
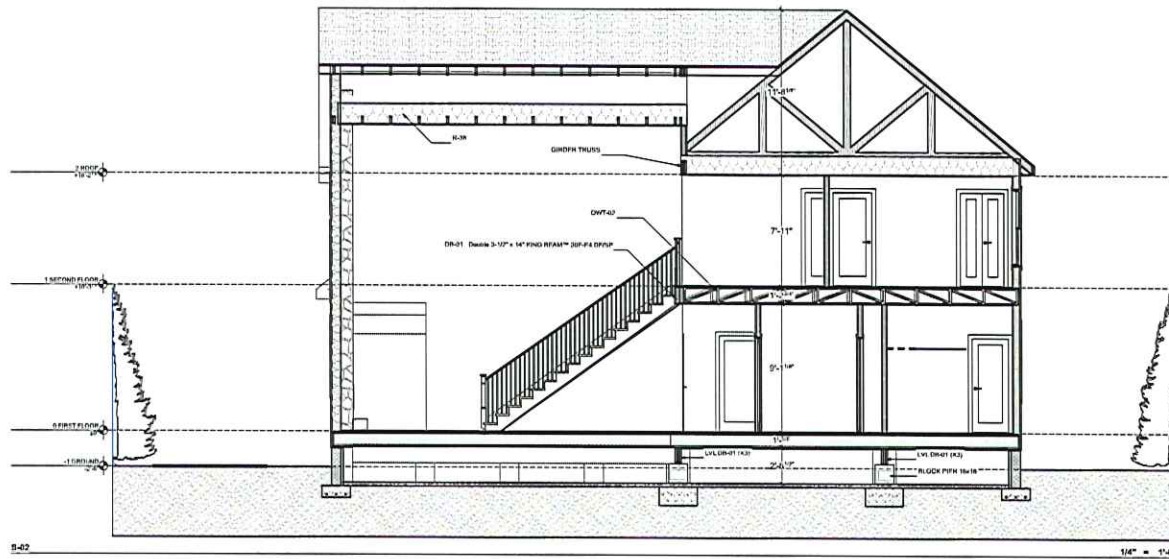


S-12

1/4" = 1'-0"

Project name SAEZ RESIDENCE	Project address 1000 N. 10th St., Suite 100 Tulsa, OK 74103	PRO BUILDERS pro-builders-inc@gmail.com	Drawn by Larissa Vito	Date 6/22/2025	Drawing ID S-11, S-12	Drawing Scale 1/4" = 1'-0"	Layout Name SECTIONS	Layout ID A1-10
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Layout ID  
A1.11

Layout Name  
SECTIONS

Drawing Scale  
1/8" = 1'-0"

Drawing ID  
S-02 S-05

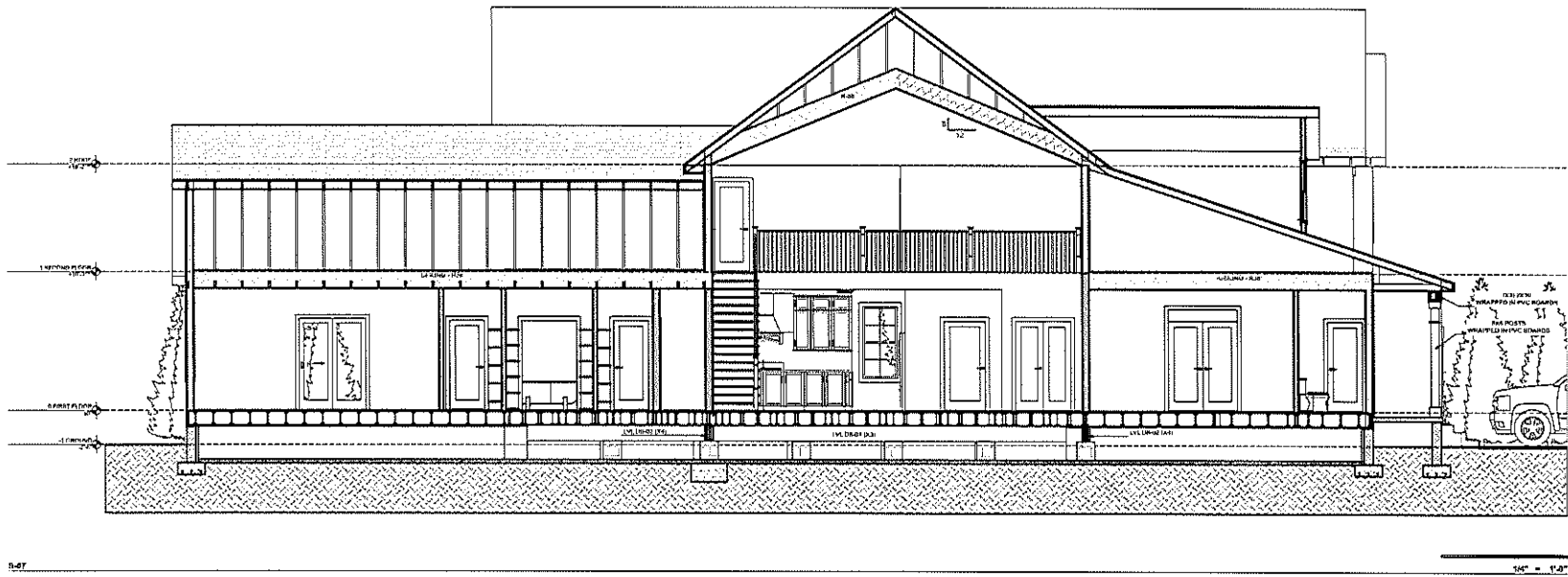
Date  
6.22.2025

Drawn by  
Laranda Visto

**PRO BUILDERS**  
prebuildersonline@gmail.com

Project Address  
1000 N. 10TH STREET, AUSTIN, TX  
78701-1010

Project name  
SAZZ RESIDENCE



Layout ID  
A1.12

Layout Name  
SECTION

Drawing Scale  
1/4" = 1'-0"

Drawing ID  
5-27

Date  
6.22.2025

Drawn by  
Landon White

**PRO BUILDERS**  
probuilders@gmail.com

Project Address  
1408 S. 12th Street, Apt. 101, DE  
60714, IL, USA

Project Name  
SAEZ RESIDENCE





DOORS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																												
Exterior					Interior																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
Element ID	D-01	D-04	D-08	D-07	D-02	D-03	D-06	D-09	D-11	D-10	D-13	D-14	D-15	D-16	D-17	D-18	D-19	D-20	D-21	D-22	D-23	D-24	D-25	D-26	D-27	D-28	D-29	D-30	D-31	D-32	D-33																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																													
Width	3'	3'	3'	3'	3'	3'-4"	3'	3'	3'-4"	4'	3'-4"	3'-4"	3'-4"	3'	3'-4"	3'-4"	3'	3'-4"	3'	3'-4"	4'	3'-4"	3'	3'	3'-4"	3'	3'	3'-4"	3'	4'	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3'-4"	3'	3

		WINDOWS																																
Element ID	W-01	W-02	W-03	W-04	W-05	W-06	W-07	W-08	W-09	W-10	W-11	W-12	W-13	W-14	W-15	W-16	W-17	W-18	W-19	W-20	W-21	W-22	W-23	W-24	W-25	W-26	W-27	W-28	W-29	W-30	W-31	W-32	W-33	
Width	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
Height	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"
Head Thickness	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"
HEADER CONSTRUCTION	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	(1) 2X8	
WFO Headboard Head Height	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"
WFO Headboard Sill Height	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"
Frame Name	W-01	W-02	W-03	W-04	W-05	W-06	W-07	W-08	W-09	W-10	W-11	W-12	W-13	W-14	W-15	W-16	W-17	W-18	W-19	W-20	W-21	W-22	W-23	W-24	W-25	W-26	W-27	W-28	W-29	W-30	W-31	W-32	W-33	
Quantity	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
3D Plan Preview																																		
3D Back View																																		
Operating	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	

SCHEDULE ZONES							
Zone Category	Zone Name	Floor Type	Calculated Area	Walls Surface Area	Zone Net Perimeter	Windows Surface Area	Volume (Net)
Standard Area							
	CLOSET	LVP	53.89	450.89	64'-1 1/8"	0.00	5,456.1
	CHOCES	LVP	24.32	143.63	20'-4 1/8"	0.00	251.90
	BATH-2 PRIVACY	TILE	42.85	170.89	20'-11"	0.00	260.84
	POWDER ROOM	LVP	19.33	211.52	25'-10"	3.96	486.83
	PANTRY	LVP	39.76	162.20	20'-5"	0.00	416.42
	CLOSET	LVP	42.51	202.72	34'-5"	0.00	532.40
	BHS	LVP	51.81	252.69	31'-10"	0.00	534.86
	BATH-2	TILE	51.76	188.34	28'-4 7/8"	7.00	419.84
	HALL	LVP	64.51	371.81	34'-5"	0.00	645.97
	BATH-1	TILE	96.75	309.38	44'-9"	13.50	757.99
	LAUNDRY	LVP	112.48	250.37	56'-2"	12.50	1,161.15
	HALL	LVP	115.88	425.06	62'	14.62	1,195.42
	BED 2	LVP	165.70	350.71	51'-4"	16.50	1,112.66
	MASTER BATHROOM	TILE	178.80	455.51	54'-11"	6.96	1,838.61
	OFFICE	LVP	201.31	447.86	50'-10"	29.33	2,076.15
	DINING ROOM	LVP	271.73	112.16	69'-10"	29.33	2,895.94
	BED 3	LVP	281.78	381.34	68'-1"	33.00	2,220.24
	BED 1	LVP	482.58	611.14	87'-1"	42.00	2,712.11
	PHOTO BALCONY	LVP	364.50	374.79	88'-10"	0.00	2,880.78
	KITCHEN	LVP	480.44	242.95	95'-8"	14.67	4,968.55
	MASTER BEDROOM	LVP	485.79	882.44	114'-3"	15.33	5,034.77
	LIVING ROOM	LVP	589.11	536.42	124'-9"	0.00	13,432.62
			4,184.16 ft²	8,828.99 ft²	1270'-2 3/8"	202.83 ft²	46,896.53 ft³
Unheated Area							
	GARAGE	CONCRETE	556.97	874.11	97'-3"	14.67	5,024.35 ft³
			556.97 ft²	924.11 ft²	97'-3"	14.67 ft²	5,024.35 ft³
			4,741.13 ft²	8,945.10 ft²	1367'-5 3/8"	277.50 ft²	51,720.88 ft³

MATERIAL SIDING	
Area	Total Squares
Material name Siding - Light	
5,179.71	51.80
Material name Siding - VERTICAL	
1,666.22	16.66
6,845.93 ft²	68.46

MATERIAL ROOF - SHINGLES					
Material Name	Element ID	2D Plan Preview	3D Axonometry	Area	Total Bundles
Roof - Asphalt Shingle BLACK HD	ROOF			5,404.60	162.91
				5,404.60 ft²	162.90
					54.30

Layout ID

AT\_14

Layout Name

SCHEDULE

Drawing Scale

1:12.5" = 1'-0"

Drawing ID

5.22.2025

Date

5.22.2025

Project Address

1331 E. 1st St.

Project Name

SAEZ RESIDENCE

Project Manager

Leandro Vizzo

Project Email

prebuilders@gmail.com



Layout ID  
AT\_16

Layout Name  
RENDER INT

Drawing Scale  
Drawing ID

Date  
6/22/2025

Drawn by  
Leandro Vito

**PRO BUILDERS**  
prebuildresonline@gmail.com

Project Address  
1400 N. 100th Ave, Suite 100, SE  
Kennesaw, GA 30144

Project Name  
SAEZ RESIDENCE



NO DORMER



AA DORMER



FARMER DORMER



3D-03

Perspective (1)

3/16" = 1'-0"

Layout ID  
AL-17

Layout Name  
RENDER EXTR

Drawing Scale  
3/16" = 1'-0"

Drawing ID  
3003

Date  
8-22-2025

Drawn by  
Landra Viste

**PRO BUILDERS**  
probuildersonline@gmail.com

Project Address  
1400 N. 10TH STREET, ALTON, IL  
62011-1001

Project Name  
SAGE RESIDENCE



Sussex County Government  
Treasury  
2 The Circle, PO Box 601  
Georgetown, DE 19947

10/23/2025 12:58PM Catherine  
Receipt number: 33030568-0022 001252161

PERMITS / INSPECTIONS  
2025 202514270|Z065 \$500.00

\$500.00

Subtotal  
Total \$500.00  
\$500.00

Tenders  
CASH \$500.00

Change due \$0.00

Paid by: S&S LLC

Thank you for your payment.

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Layers
 Search
 Basemaps
 Select Area
 Eagleview
 Print

Eagleview
Search Results

Selected Features:
Parcels (1)

▼ 1) 235-14.00-138.00
Zoom

BOOK	5735
PAGE	238
FULLNAME	ANITRA WATSON
Second_Owner_Name	
MAILINGADDRESS	11 WINTON LN
CITY	NEWARK
STATE	DE
a_account	
DESCRIPTION	COLLINS RUSSELL
DESCRIPTION2	LOT 14
DESCRIPTION3	SEC 3 T#39593
LUC	108
SCHOOL	6
MUNI	00
CAP	0
APRBLDG	43800
APRLAND	47600
PINWASSEMENTUNIT	235-14.00-138.00
PIN	235-14.00-138.00

Selected Features (1)
Clear Selected

0 30 60ft
10 Sussex County Government | Sussex County | Sussex County Mapping and Addressing | Esri Community M...
esri

Layers
Search
Basemaps
Select Area
Eagleview
Print

Eagleview Search Results

Selected Features: Parcels (1)

1) 235-14.00-138.00

Zoom

BOOK	5735
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PINWASSEMENTUNIT	235-14.00-138.00
PIN	235-14.00-138.00

Selected Features (1)
Clear Selected



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Search by SUSSEXPARELS

235-14.00-138.00

Search results (1) Options

235-14.00-138.00

map: Auto (Oblique) Mar 2025 - Mar 2025 image 1 of 10 03/09/2025





# Board of Adjustment Application Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

Case # 13150  
Hearing Date JAN

2026

202514324

RECEIVED

Type of Application: (please check all applicable)

Variance ☒  
Special Use Exception ☐  
Administrative Variance ☐  
Appeal ☐

Existing Condition ☐  
Proposed ☐  
Code Reference (office use only)  
\_\_\_\_\_  
\_\_\_\_\_

021 2 4 2025

SUSSEX COUNTY  
PLANNING & ZONING

Site Address of Variance/Special Use Exception:

1614 N Bay Shore Dr. Milton DE 19968

Variance/Special Use Exception/Appeal Requested:

Requesting a reduction of the 30 ft. front setback variance along N Bay Shore Dr to enable construction of a second story deck. This deck would extend no further than 10 ft off the existing house keeping a setback of 20 ft.

Tax Map #: 230-24.00-68.00

Property Zoning: MR

## Applicant Information

Applicant Name: Brandon and Ashley Bonk  
Applicant Address: 1614 N Bay Shore Dr  
City Milton State DE Zip: 19968  
Applicant Phone #: (302) 542-2431 Applicant e-mail: Bonkbuilt@aol.com

## Owner Information

Owner Name: Farmers Beach LLC  
Owner Address: 1614 N Bay Shore Dr  
City Milton State DE Zip: 19968 Purchase Date: 6/5/25  
Owner Phone #: (302) 542-2431 Owner e-mail: Bonkbuilt@aol.com

## Agent/Attorney Information

Agent/Attorney Name: \_\_\_\_\_  
Agent/Attorney Address: \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip: \_\_\_\_\_  
Agent/Attorney Phone #: \_\_\_\_\_ Agent/Attorney e-mail: \_\_\_\_\_

## Signature of Owner/Agent/Attorney

Ashley Bonk

Date: 10/24/25



**Criteria for a Variance:** (Please provide a written statement regarding each criteria).

*You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.*

*In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.*

**1. Uniqueness of property:**

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

The lot is shallow being 75 ft by 100 ft. The 30 ft setback on the front and the 5 ft setback on the rear consumes 35 of the 75 ft. The existing house takes up the majority of the buildable space from front to rear setback as shown on the survey.

**2. Cannot otherwise be developed:**

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

The North side of the property contains the septic system. The existing home takes up the lot from front to rear setback. The South side of the property does not have enough space to put a deck due to an outbuilding and trees.

**3. Not created by the applicant:**

That such exceptional practical difficulty has not been created by the appellant.

This property was purchased by us in June 2025 and to our knowledge the home was built in 1974 the difficulty was not created by the applicant.

**4. Will not alter the essential character of the neighborhood:**

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

The request to extend 10 feet out into the current driveway with a deck does not disturb adjacent properties as there are no neighbors to the west of the property (just marsh). The South and East are currently open lots. The property to the North would also not be disturbed as only a driveway and garage sit adjacent to our home.

**5. Minimum variance:**

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

The variance if approved will represent the minimum variance that will afford relief with the least modifications possible. This is a second story deck it still allows for vehicles to utilize the driveway and have a parking area.



## Check List for Applications

The following shall be submitted with the application

- ☐ • Completed Application
- ☐ • Provide a survey of the property (Variance)
  - Survey shall show the location of building(s), building setbacks, stairs, deck, etc.
  - Survey shall show distances from property lines to buildings, stairs, deck, etc.
  - Survey shall be signed and sealed by a Licensed Surveyor.
- ☐ • Provide a Site Plan or survey of the property (Special Use Exception)
- ☐ • Provide relevant Application Fee (please refer to fees effective July 1, 2022)
- ☐ • Provide written response to criteria for Variance or Special Use Exception (may be on a separate document if not enough room on the form)
- ☐ • Copy of Receipt (staff)
- ☐ • Optional - Additional information for the Board to consider (ex. photos, letters from neighbors, etc.)
- ☐ • Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearing for the application.

*\*Please be advised that the decision of the Board of Adjustment is only final when the written decision is filed with the Board's secretary. To determine whether the written decision has been filed, you may call the Planning & Zoning Department at 302-855-7878. The written decision is generally completed within thirty (30) to sixty (60) days following the Board's vote on the application or appeal. Please include the case number when calling about the decision.*

*\*Please be advised that any action taken in reliance of the Board's decision prior to the filing of the written decision and the expiration of any applicable appeal period is taken at the Property Owner's Risk.*

The undersigned acknowledges that that he or she has read the application completely and that if the appellant / applicant is unable to convince the Board that the standards for granting relief have been met, the appeal / application will be denied.

Signature of Owner/Agent/Attorney

Ashley Bank

Date: 10/24/25

For office use only:

Date Submitted: 10/24/25

Fee: \_\_\_\_\_ Check #: \_\_\_\_\_

Staff accepting application: ac

Application & Case #: 202514324

Location of property: \_\_\_\_\_

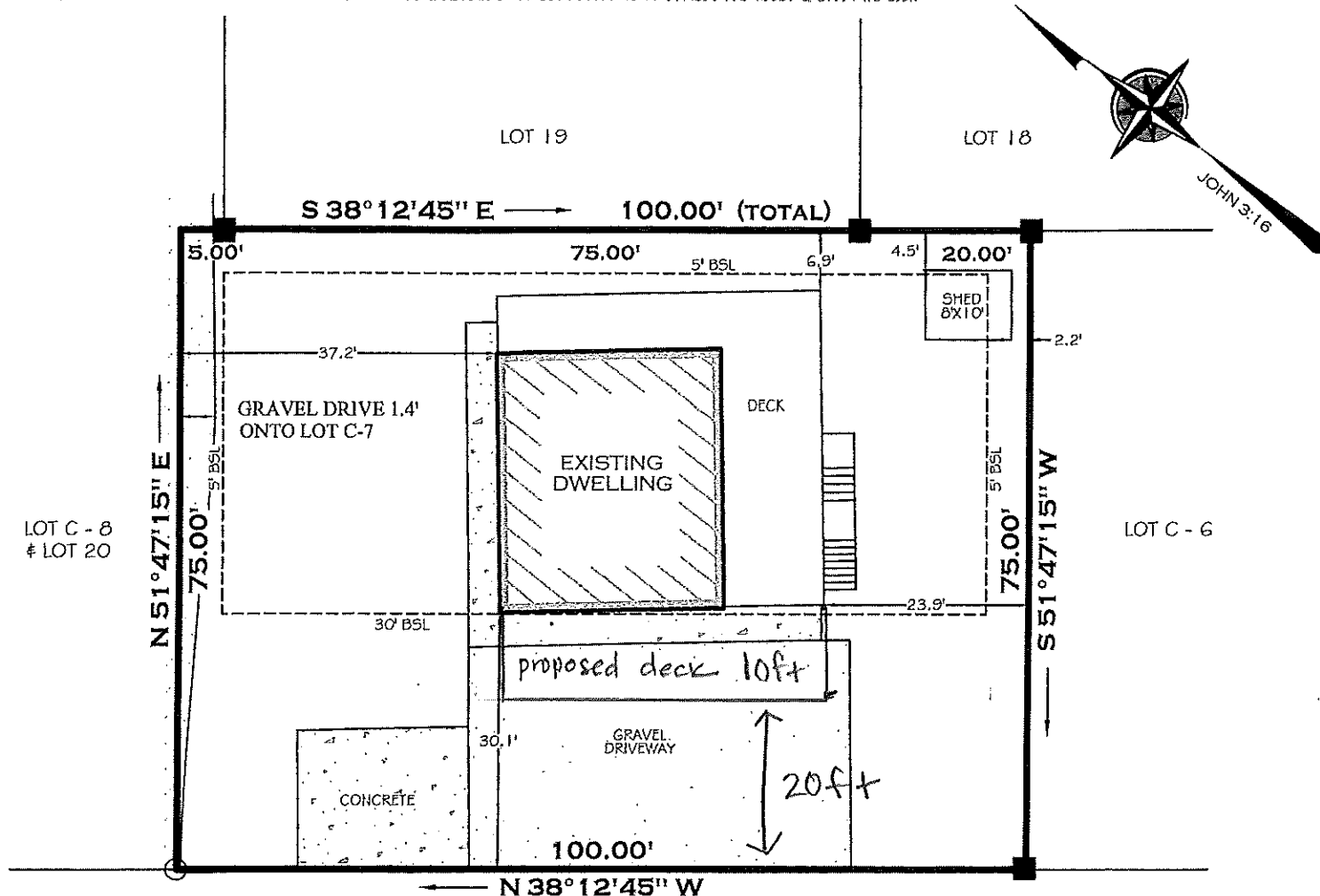
Subdivision: \_\_\_\_\_

Lot#: \_\_\_\_\_ Block#: \_\_\_\_\_

Date of Hearing: \_\_\_\_\_

Decision of Board: \_\_\_\_\_

ONLY PLANS INCORPORATING AN ORIGINAL EMBOSSED / RED SEAL &amp; SIGNATURE ARE CONSIDERED TO BE OFFICIAL AND RELIED UPON BY THE USER



## NORTH BAY SHORE DRIVE

### NOTES

1. CLASSIFICATION OF SURVEY: SUBURBAN

2. ZONE: MR

3. BUILDING SETBACK LINES (BSL)

FRONT 30' OR AVERAGE FRONT YARD WITHIN 300 FT OF THE SAME SIDE OF THE ROAD  
SIDE 5'  
REAR 5'

ALL SETBACKS ARE THE RESPONSIBILITY OF THE HOME OWNER AND/OR GENERAL CONTRACTOR. SETBACKS SHOWN AS PER SUSSEX COUNTY & MAY DIFFER FROM THE HOME OWNERS ASSOCIATION (HOA) SETBACKS. ANY USER OF SAID INFORMATION IS URGED TO DIRECTLY CONTACT THE LOCAL AGENCY AND HOA, IF APPLICABLE, TO VERIFY IN WRITING ALL SETBACKS & REQUIREMENTS.

4. NO TITLE REPORT WAS PROVIDED FOR OUR USE, THEREFORE THIS BOUNDARY SURVEY IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS, AND/OR RIGHTS OF WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH.

I, BRADLEY A. ABSHER, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

BRADLEY A. ABSHER, DE PLS # 735  
DATE

5-23-25

### LEGEND

- IRON ROD FOUND  
■ CONCRETE MONUMENT FOUND

TAX MAP	2-30 - 24.00 - 68.00
STATE	DELAWARE
COUNTY	SUSSEX
HUNDRED	CEDAR CREEK
TOWN	---
AREA	7,500 ± 5Q. FT.
DEED REF.	5672 / 209
PLAT REF.	8 / 91 & 210 / 23
DRAWN BY	JMH
DATE	05 / 23 / 2025
SCALE	1" = 20'
SURVEY #	DE - 11109

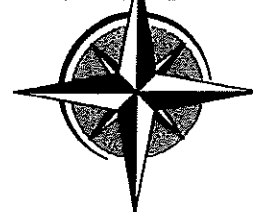
## BOUNDARY SURVEY PLAN

### LOT C-7 BACK BAY DEVELOPMENT

FOR  
FARMERS BEACH LLC

1614 NORTH BAY SHORE DRIVE, MILTON, DE 19968

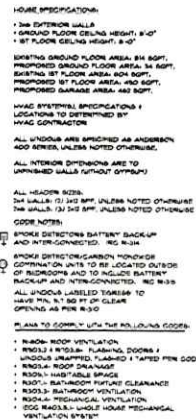
## TRUE NORTH



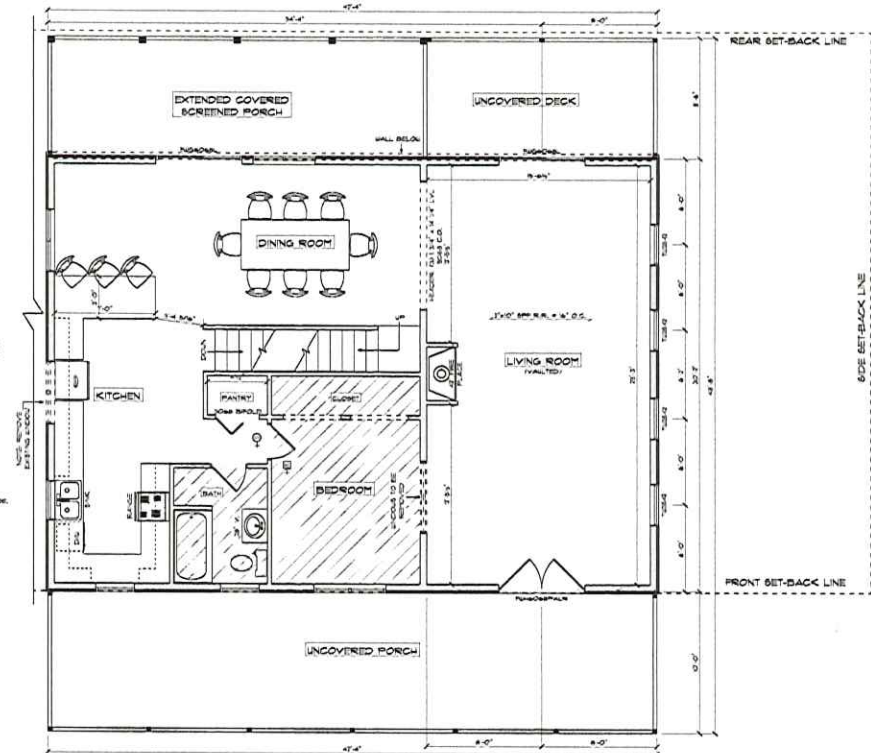
### LAND SURVEYING

35322 BAYARD ROAD  
FRANKFORD, DE 19945  
302-539-2488

proposed  
plan




PROPOSED GROUND FLOOR

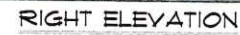
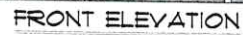


PROPOSED FIRST FLOOR

NOTE: THE FOLLOWING DESIGNS ARE BASED ON 2071 MC

<p><b>M.R. Designs Inc.</b> </p> <p>2002 BRIMLEY RD. #101-10, WILLOWDALE, ONTARIO M2H 3G4  TEL: (416) 491-8200 FAX: (416) 491-8201  WWW.MRDESIGNS.COM</p>	<p><b>BRANDON &amp; ABBEY BONE</b>  1614 NORTH BAYSHORE DR.  MILTON, ONTARIO L9T 6G8</p>
--	--



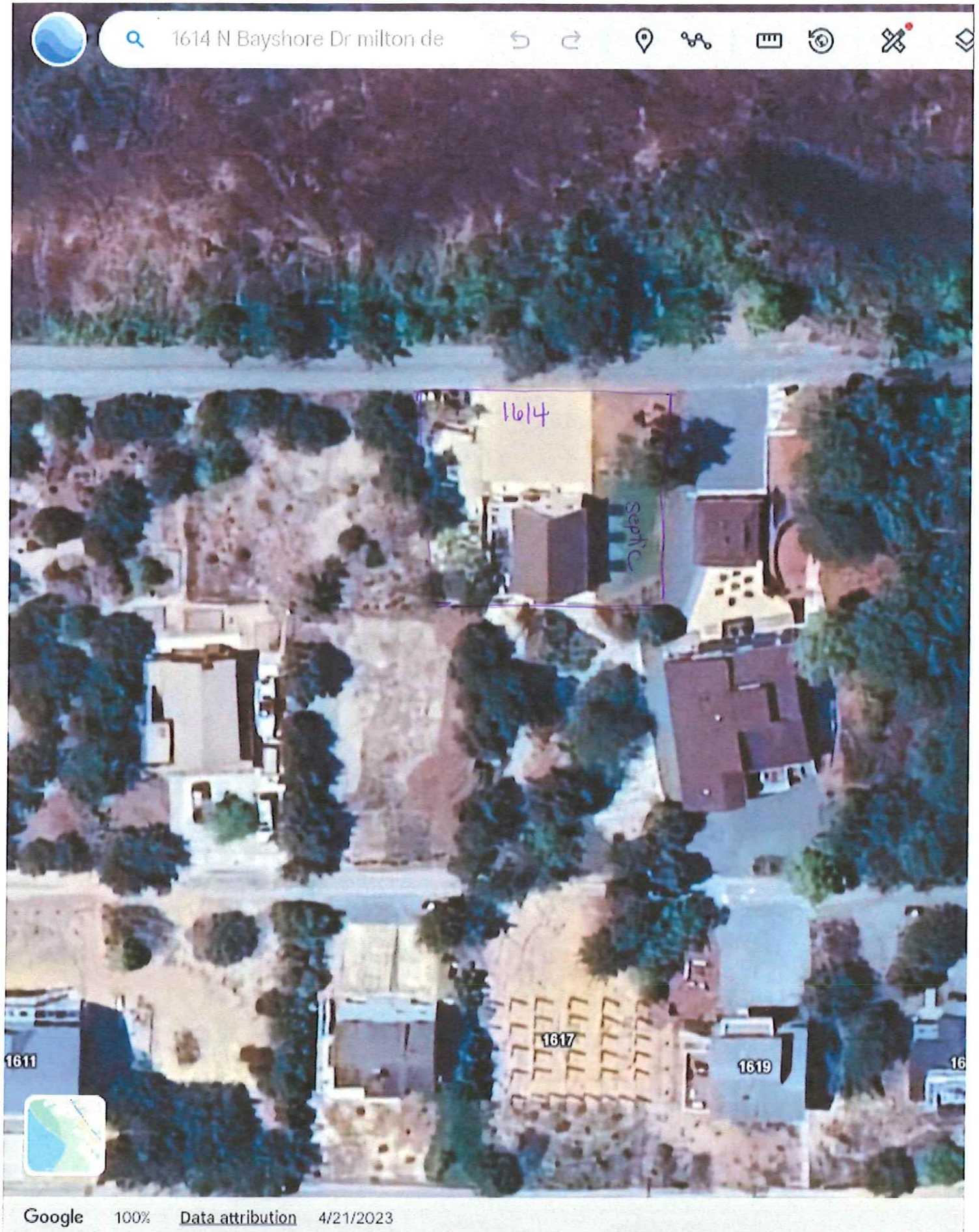


NOTE: THE FOLLOWING DESIGNS ARE BASED ON 207 IRC

RE

PAGE:  
1  
FLOOR PLANS





Aerial view showing  
90 lot and neighboring lots.

Sussex County Government  
 Treasury  
 2 The Circle, PO Box 601  
 Georgetown, DE 19947

10/24/2025 12:05PM Megan D.  
 Receipt number: 33030569-0056 001252558

PERMITS / INSPECTIONS

2025 202514324|2020

\$500.00

\$500.00

Subtotal

\$500.00

Total

\$500.00

Tenders

CHECK

\$500.00

Check Number 3537

Change due

\$0.00

Paid by: ASHLEY BONK

Sussex County Government		10/24/25	3537
Treasury			
TO THE ORDER OF		Sussex County	\$500.00
Five hundred dollars			
For variance		Ashley Bonk	

Thank you for your payment.

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Layers
Search
Basemaps
Select Area
Eagleview
Print

0 20 40ft  
 Sussex County Government | Delaware Department of Natural Resources and Environmental Control | Suss...

esri

Eagleview
Search Results
X

Selected Features:
Parcels (1)

1) 230-24.00-68.00
Zoom

BOOK	6313
PAGE	15
FULLNAME	FARMERS BEACH LLC
Second_Owner_Name	
MAILINGADDRESS	1614 N BAY SHORE DR
CITY	MILTON
STATE	DE
a_account	
DESCRIPTION	BACK BAY DEVELOPMENT
DESCRIPTION2	LOT C7
DESCRIPTION3	
LUC	101
SCHOOL	6
MUNI	00
CAP	0
APRBLDG	373900
APRLAND	307100
PINWASSEMENTUNIT	230-24.00-68.00
PIN	230-24.00-68.00

Selected Features (1)
Clear Selected

Layers
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Basemaps
Select Area
Eagleview
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Eagleview
Search Results
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Selected Features:
Parcels (1)

▼ 1) 230-24.00-68.00
Zoom

BOOK	6313
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FULLNAME	FARMERS BEACH LLC
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APRBLDG	373900
APRLAND	307100
PINWASSEMENTUNIT	230-24.00-68.00
PIN	230-24.00-68.00

Selected Features (1)
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