

JAMIE WHITEHOUSE, AICP  
DIRECTOR OF PLANNING & ZONING  
(302) 855-7878 T  
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**Sussex County**

DELAWARE  
sussexcountyde.gov

## PLEASE NOTE

This paperless packet is published on the County's website for convenience purposes, and only includes information received up to the close of business on the day before a public hearing. Documents received after this, or documents submitted during the public hearing are not uploaded to the Paperless Packet. The legal record is the paper record maintained in the Offices of the Planning & Zoning Department.



COUNTY ADMINISTRATIVE OFFICES  
2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DELAWARE

## BOARD OF ADJUSTMENT

JEFF CHORMAN, CHAIRMAN  
KEVIN E. CARSON  
JOHN WILLIAMSON  
JOHN T. HASTINGS  
JORDAN WARFEL



# Sussex County

DELAWARE  
sussexcountyde.gov

(302) 855-7878

## AGENDA

September 12, 2022

6:00 P.M.

**PLEASE REVIEW MEETING INSTRUCTIONS AT THE BOTTOM OF THE AGENDA\*\***

### Call to Order

### Pledge of Allegiance

### Approval of Agenda

### Approval of Minutes for July 11, 2022

### Approval of Finding of Facts for July 11, 2022

### Approval of Minutes for July 18, 2022

### Approval of Findings of Fact for July 18, 2022

### Approval of Minutes for August 1, 2022

### Approval of Findings of Fact for August 1, 2022

### Old Business

**Case No. 12718– Bradford & Kristi Sutcliffe** seek a special use exception and a variance from the maximum square footage requirement for a proposed garage/studio apartment (Sections 115-23, 115-25, and 115-210 of the Sussex County Zoning Code). The property is located on the northwest side of New Road across from Peach Tree Lane. 911 Address: 16500 New Road, Lewes. Zoning District: AR-1. Tax Parcel: 335-7.00-6.20

**Case No. 12724– Glenn, Brandon and Jamie Fleming** seek a special use exception to operate a commercial dog kennel on a property of less than 5 acres and variances from the 200 ft. required distance from any lot line (Sections 115-20, 115-23 and 115-210 of the Sussex County Zoning Code). The property is located on Woodpecker Road approximately 479 feet from Old Carriage Road. 911 Address: N/A. Zoning District: AR-1. Tax Parcel: 531-14.00-31.00



### **Public Hearings**

**Case No. 12731– Kristi Smith** seeks variances for front yard setback requirements for existing and proposed structures (Sections 115-25, and 115-182 of the Sussex County Zoning Code). The property is located on the corner of Greeners Trail Lane and John J. Williams Highway. 911 Address: 34141 Greener Trail Lane, Lewes. Zoning District: AR-1. Tax Parcel: 334-18.00-39.00

**Case No. 12732– John Bobeck** seeks a variance from the side yard and rear yard setback requirements for an existing garage (Sections 115-34 and 115-183 of the Sussex County Zoning Code). The property is located on the southeast side of Hidden Acre Drive within the Hidden Acres Subdivision. 911 Address: 32113 Hidden Acre Drive, Frankford. Zoning District: MR. Tax Parcel: 134-11.00-76.00

**Case No. 12733– American Storage of Delaware, LLC** seeks a special use exception to place an off-premises sign (Sections 115-80, 115-81, and 115-159.5 of the Sussex County Zoning Code). The property is located on the southeast side of Rt. 1 approximately .35 miles south of Cave Neck Road. 911 Address: 16262 Coastal Highway, Lewes. Zoning District C-1. Tax Parcel: 235-23.00-51.00

**Case No. 12735– C. Price & Sharon G. Fanning** seek variances from the front yard setback requirements for a proposed dwelling (Sections 115-42 and 115-182 of the Sussex County Zoning Code). The property is located on the northwest side of Cerise Lane within the Orchard Manor Subdivision. 911 Address: 28526 Cerise Lane, Millsboro. Zoning District: GR. Tax Parcel: 234-34.12-1.01

**Case No. 12736– Schell Brothers** seek variances from the front yard setback requirement for existing structures (Sections 115-83.22 and 115-182 of the Sussex County Zoning Code). The properties are located on the northwest side of Tanger Boulevard approximately .10 miles from Coastal Highway. 911 Address: 36645 Tanger Boulevard, Rehoboth Beach. Zoning District: C-3. Tax Parcel: 334-13.00-325.52 & 325.53

### **Additional Business**



\*\*\*\*\*

-MEETING DETAILS-

In accordance with 29 Del. C. §10004(e)(2), this Agenda was posted on September 2, 2022 at 4:30 p.m. and at least seven (7) days in advance of the meeting.

The Agenda was prepared by the Director of Planning and Zoning and is subject to change to include the additional or deletion of items, including Executive Sessions, which arise at the time of the meeting.

Agenda items may be considered out of sequence.

The meeting will be streamed live at <https://sussexcountysde.gov/council-chamber-broadcast>

The County is required to provide a dial-in number for the public to comment during the appropriate time of the meeting. **Note, the on-line stream experiences a 30-second delay.** Any person who dials in should listen to the teleconference audio to avoid the on-line stream delay.

To join the meeting via telephone, please dial:

**Conference Number: 1 302 394 5036**  
**Conference Code: 570176**

Members of the public joining the meeting on the telephone will be provided an opportunity to make comments for those items under public hearings on this agenda.

The Board of Adjustment meeting materials, including the “packet” are electronically accessible on the County’s website at: <https://sussexcountysde.gov/agendas-minutes/board-of-adjustment>

If any member of the public would like to submit comments electronically, these may be sent to [pandz@sussexcountysde.gov](mailto:pandz@sussexcountysde.gov). All comments are encouraged to be submitted by 4:30 P.M. on Thursday, September 8, 2022.

####



Board of Adjustment Application  
Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

Case # 12718

Hearing Date 7/18

202206254

Type of Application: (please check all applicable)

Variance

Special Use Exception

Administrative Variance

Appeal

Existing Condition

Proposed

Code Reference (office use only)

115-23 115-210

115-25

Site Address of Variance/Special Use Exception:

16500 New Road, Lewes DE 19958 Lot# 20

Variance/Special Use Exception/Appeal Requested:

Garage Studio Apartment  
Variance for an additional 400 sqft from 800 sqft allowance

Tax Map #: 335-7.00-6.20

Property Zoning: AR-1

Applicant Information

Applicant Name: Bradford and Kristi Sutcliffe

Applicant Address: 11808 Haslet Rd

City Lewes State DE Zip: 19958

Applicant Phone #: 410-463-1399 Applicant e-mail: Kristisutcliffe@gmail.com

Owner Information

Owner Name: Schell Brothers

Owner Address: 20184 Phillips Street

City Rehoboth Beach State DE Zip: 19971 Purchase Date:

Owner Phone #: 302-226-1994 Owner e-mail: natalie@schellbrothers.com

Agent/Attorney Information

Agent/Attorney Name: \_\_\_\_\_

Agent/Attorney Address: \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip: \_\_\_\_\_

Agent/Attorney Phone #: \_\_\_\_\_ Agent/Attorney e-mail: \_\_\_\_\_

Signature of Owner/Agent/Attorney

Kristi Sutcliffe

Date: 4/29/22



**Criteria for a Variance:** (Please provide a written statement regarding each criteria).

You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.

In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.

1. Uniqueness of property:

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

see attachment

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2. Cannot otherwise be developed:

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

see attachment

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3. Not created by the applicant:

That such exceptional practical difficulty has not been created by the appellant.

see attachment

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4. Will not alter the essential character of the neighborhood:

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

see attachment

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5. Minimum variance:

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

see attachment

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1. Uniqueness of property:

Unique physical circumstances and conditions of our property include:

1. The property is surrounded on two sides by a subdivision.
2. The property will be surrounded by a new planned community in the rear.
3. The property is not part of a Homeowners Association.
4. The property is directly across from Peachtree Lane.
5. The property has a shared driveway with Tax map # 335-7.00-6.18

2. Cannot otherwise be developed:

The authorization of a variance is necessary to enable the reasonable use of the property as without the Garage Studio Apartment my parents will be unable to live on the property with us and we will be unable to closefully care for them.

3. Not created by applicant:

At the time our family purchased this property, we did not expect to be closely caring for my parents. Unfortunately, my father's health has begun to decline as he has been diagnosed with Alzheimer's/ Dementia and my mother cannot care for him by herself. Having them on property with us will allow us to be involved with the day to day care of aging parents.

4. Will not alter the essential character of the neighborhood:

- There are several detached garages near the property.
- The Garage Studio Apartment will be aesthetically in keeping with the exterior of our home.
- The Garage Studio Apartment will have the same exterior materials used on the main dwelling.
- The Garage Studio Apartment will not be a manufactured home.

5. Minimum variance:

We are asking for the special use exception as it will afford relief in that we anticipate my parents will need an additional 400 square feet of living space in addition to the 800 square foot living space minimum. This will allow my parents to make the Garage Studio Apartment ADA compliant as well as give them an extra room and accommodations for a caregiver.

**Criteria for a Special Use Exception:** (Please provide a written statement regarding each criteria)

*You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Special Use Exception to be granted.*

1. Such exception will not substantially affect adversely the uses of adjacent and neighboring property.

My parents are elderly and only have one vehicle as my father is unable to drive. Parking will not be an issue as we have a three-car garage.

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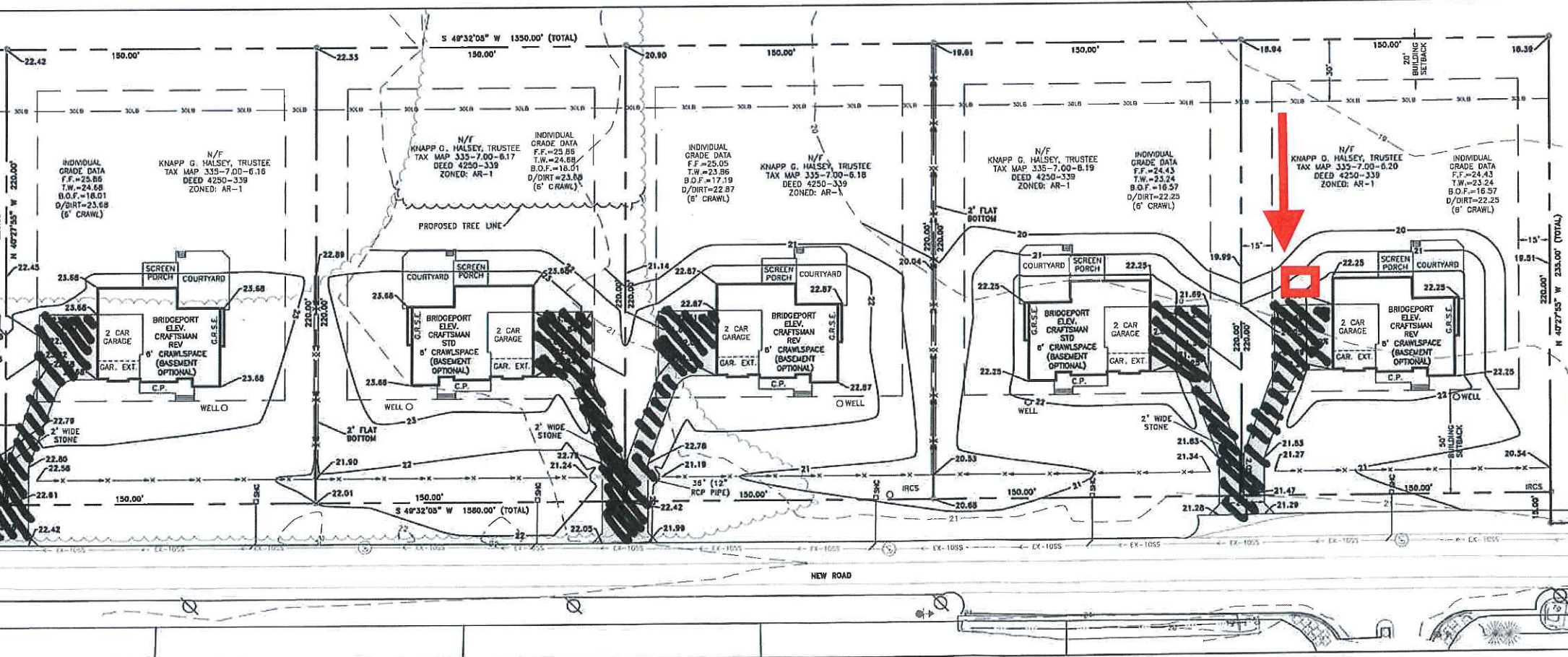
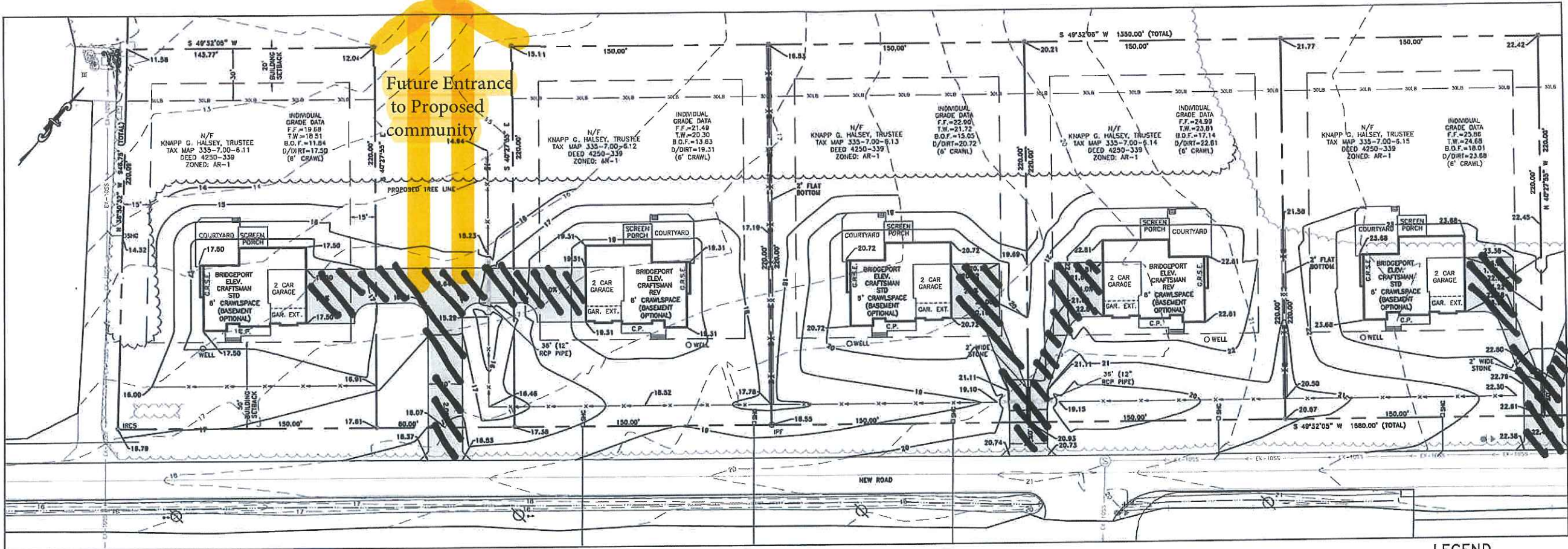
2. Any other requirements which apply to a specific type of special use exception as required by the Sussex County Code. (Ex. Time limitations – 5 year maximum)

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**Basis for Appeal:** (Please provide a written statement regarding reason for appeal)

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**LEGEND**

FF=26.52	FINISHED FIRST FLOOR ELEVATION (INDIVIDUAL GRADE)
T.W.=12.99	TOP OF WALL (INDIVIDUAL GRADE)
B.O.F.=8.16	BOTTOM OF FOOTER (INDIVIDUAL GRADE)
D/DIRT=12.00	DRIVEWAY AND DIRT GRADE ELEVATION
-5.0%	DRIVEWAY SLOPE
[Symbol]	BUILDING RESTRICTION LINE
[Symbol]	DETAILED GRADE CONTOUR
[Symbol]	BULK GRADE CONTOUR
[Symbol]	EXISTING PROPERTY LINE
[Symbol]	EXISTING RIGHT-OF-WAY
[Symbol]	EXISTING SANITARY SEWER MAIN
[Symbol]	EXISTING SANITARY SEWER HOUSE CONNECTION
[Symbol]	EXISTING STORM DRAINAGE
[Symbol]	EASEMENT LINE
[Symbol]	EXISTING TREE LINE
[Symbol]	PROPOSED TREE LINE
[Symbol]	PROPOSED LANDSCAPE BUFFER
[Symbol]	PROPOSED WELL LOCATION
[Symbol]	PROPOSED SPOT ELEVATION
[Symbol]	BUILDING SETBACKS
[Symbol]	FRONT: 50'
[Symbol]	SIDE: 15'
[Symbol]	REAR: 20'

- NOTES**
- HOUSE GRADES AND BASEMENT/ CRAWL SPACE ANALYSIS ARE BASED ON HOUSE TYPE AND/ OR DRIVEWAY LOCATION PER THIS PLAN.
  - BASEMENT/CRAWL ANALYSIS WILL NEED TO BE REVIEWED SHOULD HOUSE TYPE AND/ OR DRIVEWAY LOCATION CHANGE FROM THIS PLAN.
  - ALL FINISHED FLOOR ELEVATIONS ARE BASED ON CRAWL SPACE DESIGN. FINISHED FLOOR ELEVATIONS WILL NEED TO BE REVISED SHOULD BASEMENTS BE PROPOSED.
  - GROUNDWATER ANALYSIS WAS NOT PERFORMED ON THESE LOTS.



DAVIS, BOWEN & FRIEDEL, INC.  
 ARCHITECTS ENGINEERS SURVEYORS  
 1400 N. MARKET STREET, SUITE 100  
 WILMINGTON, DELAWARE 19801  
 PHONE: (302) 426-1144  
 FAX: (302) 426-1145

SITE & GRADING PLAN

**KNAPP PROPERTY (OUTPARCELS)**  
**SINGLE FAMILY LOTS**  
**SUSSEX COUNTY, REHOBOTH BEACH, DELAWARE**

Revisions:  
 08-24-2021  
 REVISED FF

Date: AUGUST 2021  
 Scale: 1"=30'  
 Dwn By: RPK  
 Proj No.: 1319A057  
 Dwg No.:

01

P:\C:\Bentley\AEC\2021\1319A057\1319A057.dwg, Aug 24, 2021, 12:28pm, sldt

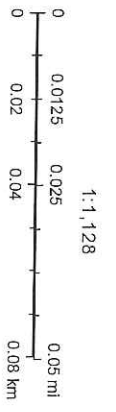


# Sussex County



<b>PIN:</b>	335-7-00-6.20
<b>Owner Name</b>	SHELL BROTHERS LLC
<b>Book</b>	5510
<b>Mailing Address</b>	20184 PHILLIPS ST
<b>City</b>	REHOBOTH BEACH
<b>State</b>	DE
<b>Description</b>	RD PLOTTOWN TO
<b>Description 2</b>	NASSAU
<b>Description 3</b>	LOT 20
<b>Land Code</b>	

- polygon:layer
- Override 1
- polygon:layer
- Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- Tax Ditch Segments
- Tax Ditch Channel
- DelDOT Maintained
- HOA Maintained
- Pipe - DelDOT
- Pipe - Tax Ditch
- Pipe - Private
- Pond Feature
- Special Access ROW
- Well Head Protection Areas
- 2007 Head of Tide Wetlands (not regulatory)
- Municipal Boundaries
- Conditional Use



Johnson, Wayne A

Scan on 7/18/2022 by Michelle Foxwell of 7.15.22 SUSSEX COUNTY PLANNING & ZONING LETTER



VEL NATESAN, MD  
 USHA NATESAN, MD  
 SAMEER SHAIK ABDUL, MD

MELISSA GUNTHER, PA-C  
 LAWRENCE TAWIAH, PA-C  
 CARLY MOORE, PA-C  
 ASHLEY McCREADY, CRNP

July 15, 2022

Sussex County Planning & Zoning Dept.  
 P. O. Box 417  
 Georgetown, DE 19947

Re: Wayne Johnson  
 DOB: 05/24/1940

To Whom It May Concern:

Wayne Johnson has been a patient of Vel Natesan, M.D, P.A. since May 2017. Mr. Johnson's diagnosis includes but is not limited to Alzheimer's Dementia. It is my understanding that Mr. Johnson and his wife plan to relocate to Lewes, Delaware, as their daughter and her husband have a property that offers the Johnsons the opportunity to live on property in a (yet to be built) detached garage studio apartment. I would like to reinforce that living on property with family will be extremely important on many levels, for Mr. Johnson and as the primary caregiver, Mrs. Johnson. In the days ahead, they will each need the support of their family on a physical and emotional level. Should you need any further information, please contact my office. Thank you for your consideration.

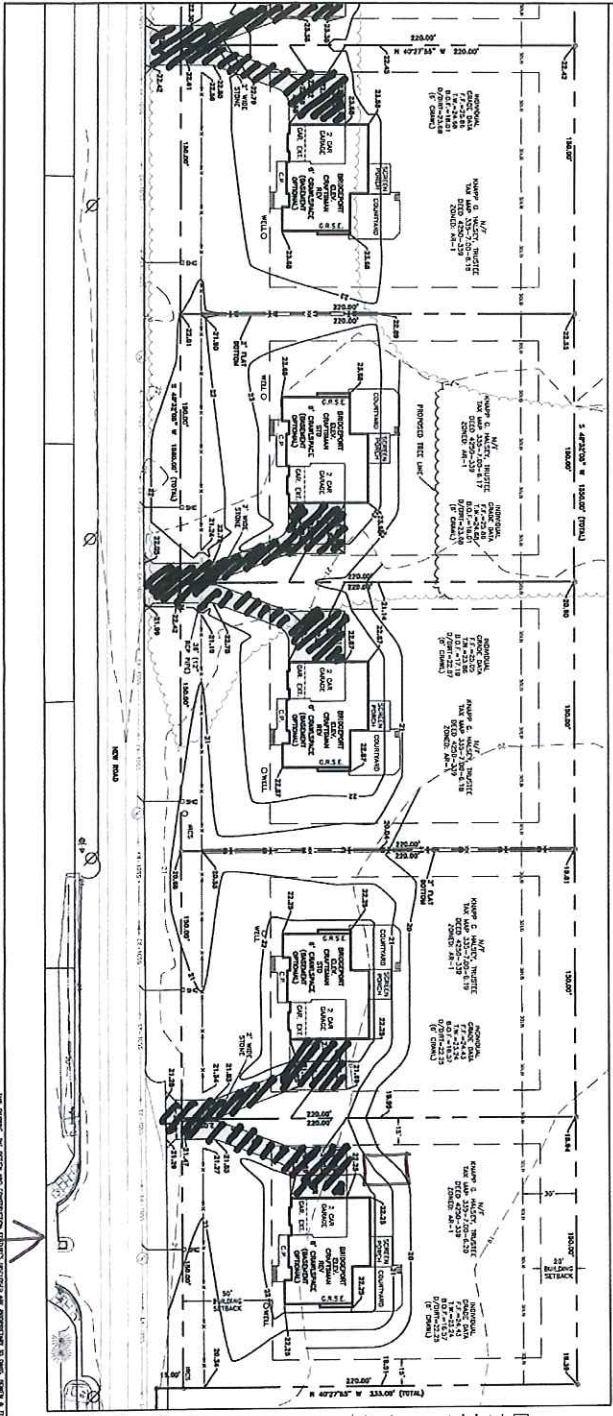
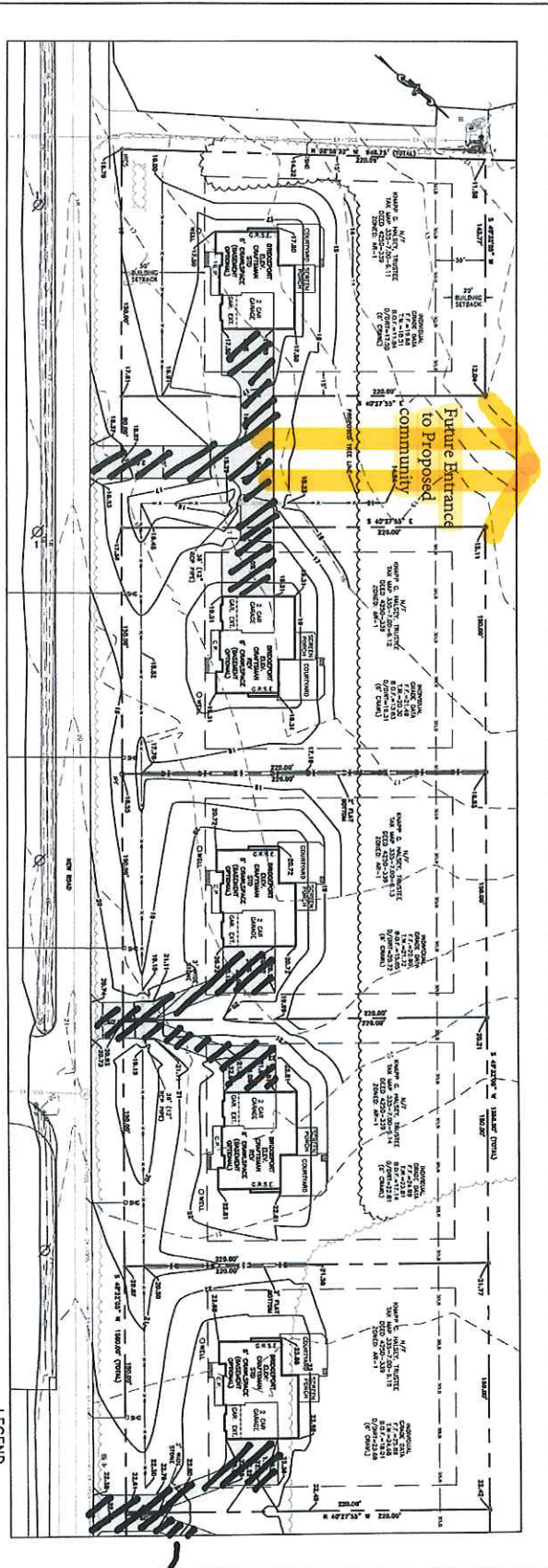
Sincerely,

Vel Natesan, M.D.

Imm

Applicant  
 Exhibit

Case 12718



**LEGEND**

- FINISHED FIRST FLOOR ELEVATION (CONTRIBUTOR SHOWN)
- TOP OF WALL (CONTRIBUTOR SHOWN)
- BOTTOM OF FOUNDATION (CONTRIBUTOR SHOWN)
- DRIVEWAY AND SIDE DRIVE ELEVATION
- DRIVEWAY SLOPE
- BUILDING RESTRICTION LINE
- DETAILED DRIVE COMPOUSE
- DRIVEWAY RESTRICTION LINE
- EXISTING RIGHT-OF-WAY
- EXISTING SANITARY SEWER MAIN
- EXISTING SANITARY SEWER HOUSE CONNECTION
- EXISTING STORM DRAINAGE
- EXISTING TREE LINE
- EXISTING LANDSCAPE BUFFER
- PROPOSED WELL LOCATION
- PROPOSED SHED ELEVATION
- BUILDING SETBACKS
- DRIVEWAY SLOPE
- DRIVEWAY SLOPE

**NOTES**

1. HOUSE GRADE AND BASEMENT/RAW, STAKE ANALYSIS ARE PLACED ON HOUSE TYPE AND/OR DRIVEWAY LOCATION FOR THIS PROJECT.
2. BASEMENT/RAW ANALYSIS WILL NEED TO BE PROVIDED SHOULD HOUSE TYPE AND/OR DRIVEWAY LOCATION CHANGE FROM THIS PLAN.
3. ALL NEW FINISHED FLOOR ELEVATIONS ARE BASED ON DRIVEWAY GRADE UNLESS OTHERWISE SPECIFIED.
4. GROUNDWATER ANALYSIS WAS NOT PERFORMED ON THESE LOTS.

0 20 40 60 80

**DAVIS, BOWEN & FRIEDEL, INC.**  
 ARCHITECTS ENGINEERS SURVEYORS  
 1001 N. MARKET ST., SUITE 200  
 REHOBOTH BEACH, DE 11808  
 PHONE: 302-645-6600  
 FAX: 302-645-6601  
 WWW.DBFRIEDEL.COM

**SITE & GRADING PLAN**

**KNAPP PROPERTY (OUTPARCELS)  
 SINGLE FAMILY LOTS  
 SUSSEX COUNTY, REHOBOTH BEACH, DELAWARE**

DATE:	AUGUST 2021
SCALE:	1"=30'
DRAWN BY:	RWK
PROJECT NO.:	13184027
DATE PLOTTED:	11/18/2021
PLANTING:	01

**Applicant Exhibit**



Case # 12724  
Hearing Date 8-1-22 relative

### Board of Adjustment Application

### Sussex County, Delaware

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

202205548

Type of Application: (please check all applicable)

Variance   
Special Use Exception   
Administrative Variance   
Appeal

Existing Condition   
Proposed   
Code Reference (office use only)  
115-23      115-210  
115-20

Site Address of Variance/Special Use Exception:

4217 Woodpecker Road

Variance/Special Use Exception/Appeal Requested:

Dog Kennel

Tax Map #: 531-14.00-31.00

Property Zoning: AR-1

#### Applicant Information

Applicant Name: Jamie L. Fleming  
Applicant Address: 4217 Woodpecker Road  
City Seaford State DE Zip: 19973  
Applicant Phone #: 410.295.3632 Applicant e-mail: Jayme0831@gmail.com

#### Owner Information

Owner Name: Jamie L. Fleming  
Owner Address: 4217 Woodpecker Road  
City Seaford State DE Zip: 19973 Purchase Date: 2007  
Owner Phone #: 410.295.3632 Owner e-mail: \_\_\_\_\_

#### Agent/Attorney Information

Agent/Attorney Name: \_\_\_\_\_  
Agent/Attorney Address: \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip: \_\_\_\_\_  
Agent/Attorney Phone #: \_\_\_\_\_ Agent/Attorney e-mail: \_\_\_\_\_

#### Signature of Owner/Agent/Attorney

Jamie L. Fleming

Date: 4/19/22



**Criteria for a Variance:** (Please provide a written statement regarding each criteria).

*You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.*

*In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.*

1. Uniqueness of property:

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

2. Cannot otherwise be developed:

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

3. Not created by the applicant:

That such exceptional practical difficulty has not been created by the appellant.

4. Will not alter the essential character of the neighborhood:

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

5. Minimum variance:

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

## Criteria for Variance

Answers to questions 1: Uniqueness of property.

Enclosed is a map of the property which is in an odd shape. Part of the property is on Old Carriage Road The other part is with Woodpecker Road in Seaford Delaware. There is a 2 acre lot that connects to Old Carriage and a little more then 2.5 acre lots that are on Woodpecker. The corner lot is not owned by my family. The kennel would be place on partial lot of the 2 acres in the back and the other half is on the property to the west. Along with part on the right away.

Answer to question 2: Cannot other wise be devoped:

With out a vaious of the 200 feet requirement the kennel would not be able to be built. The footage from the back lot is 200 feet and the footage of the west lot is 200 feet. Due to already having building on the lot, unable to do 200 feet from the not owned property to the west of our lots. The total acres is not the full 5 acres either.

We did at one time owner the corner lot to the east.

Answer to question 3: Not created by the applicant:

The property has been in the family for many years paced down and no intension of leaving the family. The placement of the kennel would be placed in the best way we have found for the most distance from naihborers for noice. Our neighbors on the east are fine with the any noise and supportive. The neighbors to the east and also ok with any noise and supportive too. The neighbors to the north we are trying to place the furthest from the dwelling as possible. Enclosed is the map of the distance of this.

Answer to question 4: Will not alter the essential Character of the neighborhood.

The kennel on the outside would like a usual shed or pole building that would match most of the out building in the neighborhood.

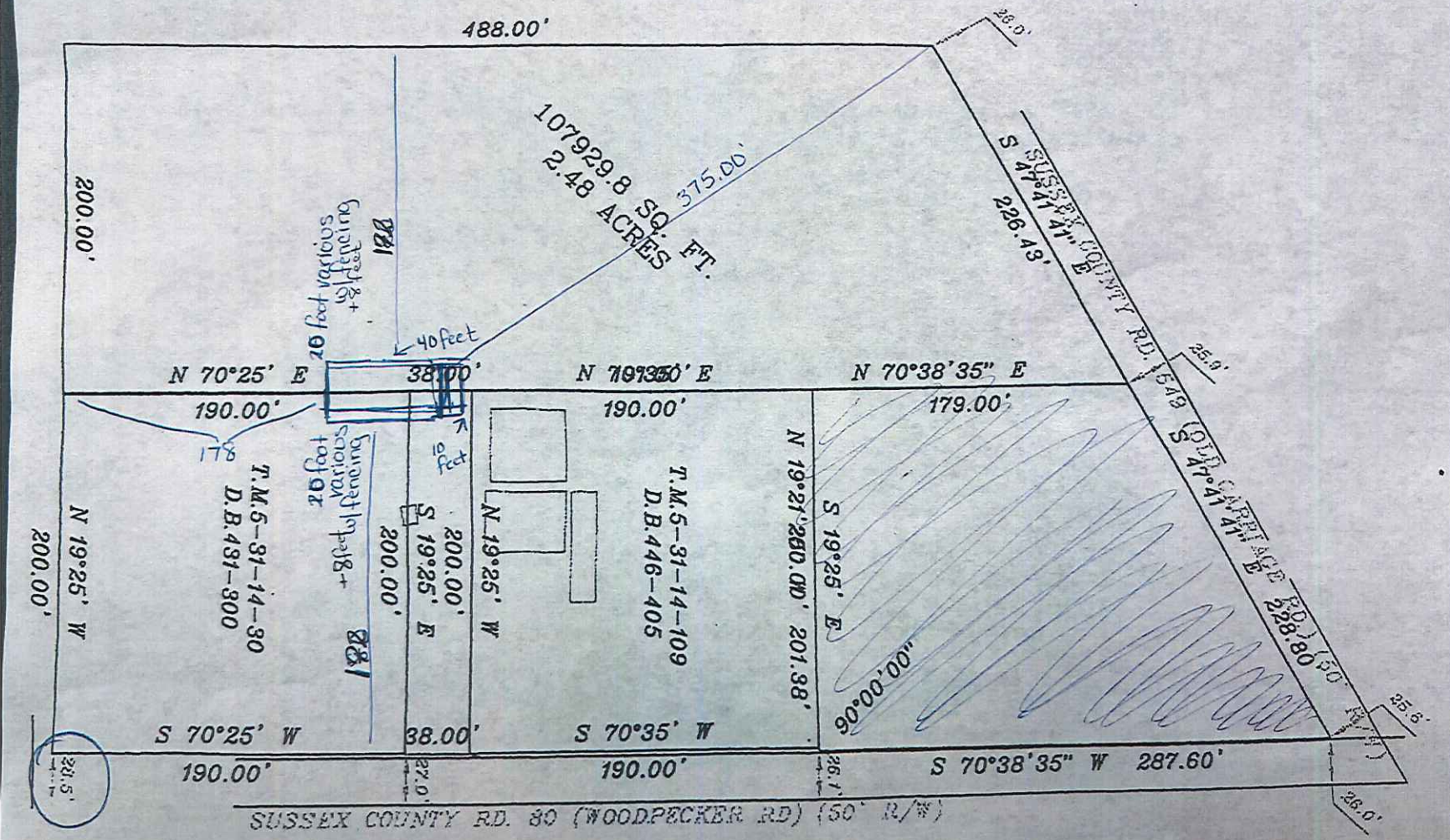
Living in a roral area with farm land. The outside of the kennel would have fencing blocking the view of the outside kennels to not only look more like a normal fence in a yard but to cut down on sound.

Answer to question 5: Minimum Variance:

This breed is not a large breed which does not need a lot of room for the kennels. The inside of the building needs to be at least 20 feet wide to allow plenty of room for inside kenneling from weather. The out side runs which would be off the building we would like at least 8 - 10 feet runs to allow plenty of room to excercise. Along the kennels there will be a fence for noice placed about 3 feet from kennels for protection from unwanted creatures, containment from harm and noice. Behind kennel there is woods lining the property from the north, west and south. There is a pole building to the east of the kennel location. The various allow the placement of the kennel the furthist from dwellings of neighbors and allows most amount of distance from them.



neighbor



**Criteria for a Special Use Exception:** (Please provide a written statement regarding each criteria)

*You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Special Use Exception to be granted.*

1. Such exception will not substantially affect adversely the uses of adjacent and neighboring property.

*Waste will be disposed of in proper container & disposed of  
No parking near neighbors home. Dogs kenneled at night to  
reduce sound  
Dog Kennel / Breeding Kennel License large fence will be placed  
in direction of neighbors to  
also reduce sound*

2. Any other requirements which apply to a specific type of special use exception as required by the Sussex County Code. (Ex. Time limitations – 5 year maximum)

---

**Basis for Appeal:** (Please provide a written statement regarding reason for appeal)

---

## Criteria for Variance

Answers to questions 1: Uniqueness of property.

Enclosed is a map of the property which is in an odd shape. Part of the property is on Old Carriage Road The other part is with Woodpecker Road in Seaford Delaware. There is a 2 acre lot that connects to Old Carriage and a little more then 2.5 acre lots that are on Woodpecker. The corner lot is not owned by my family. The kennel would be place on partial lot of the 2 acres in the back and the other half is on the property to the west. Along with part on the right away.

Answer to question 2: Cannot other wise be devoped:

With out a vaious of the 200 feet requirement the kennel would not be able to be built. The footage from the back lot is 200 feet and the footage of the west lot is 200 feet. Due to already having building on the lot, unable to do 200 feet from the not owned property to the west of our lots. The total acres is not the full 5 acres either.

We did at one time owner the corner lot to the east.

Answer to question 3: Not created by the applicant:

The property has been in the family for many years paced down and no intension of leaving the family. The placement of the kennel would be placed in the best way we have found for the most distance from neighbors for noice. Our neighbors on the east are fine with the any noise and supportive. The neighbors to the east and also ok with any noise and supportive too. The neighbors to the north we are trying to place the furthest from the dwelling as possible. Enclosed is the map of the distance of this.

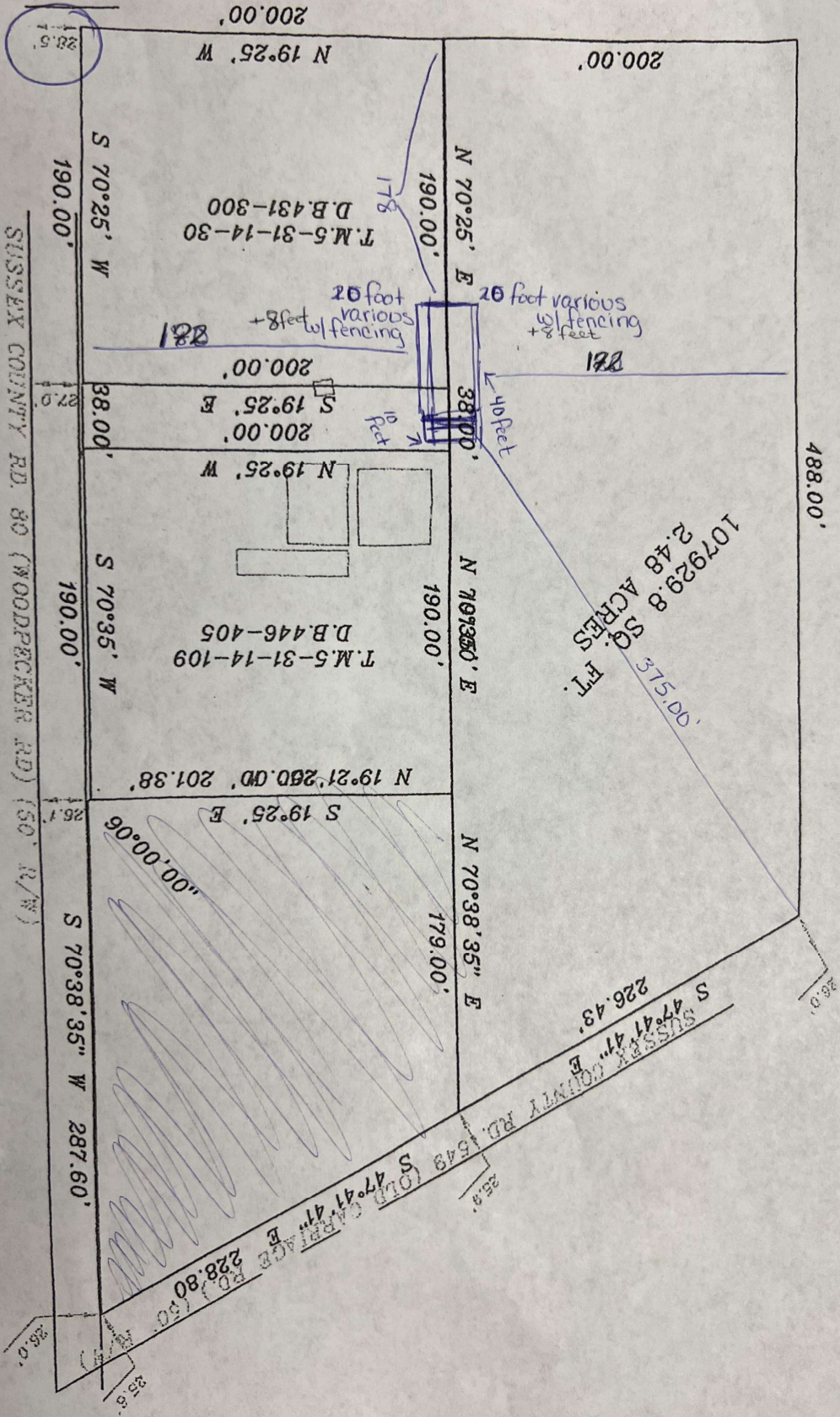
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The kennel on the outside would like a usual shed or pole building that would match most of the out building in the neighborhood.

Living in a roral area with farm land. The outside of the kennel would have fencing blocking the view of the outside kennels to not only look more like a normal fence in a yard but to cut down on sound.

Answer to question 5: Minimum Variance:

This breed is not a large breed which does not need a lot of room for the kennels. The inside of the building needs to be at least 20 feet wide to allow plenty of room for inside kenneling from weather. The out side runs which would be off the building we would like at least 8 - 10 feet runs to allow plenty of room to excercise. Along the kennels there will be a fence for noice placed about 3 feet from kennels for protection from unwanted creatures, containment from harm and noice. Behind kennel there is woods lining the property from the north, west and south. There is a pole building to the east of the kennel location. The various allow the placement of the kennel the furthist from dwellings of neighbors and allows most amount of distance from them.

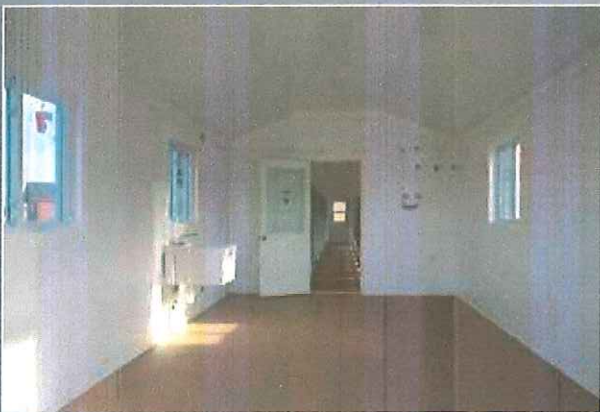


SUSSEX COUNTY RD. 80 (WOODPECKER RD) (50' R/W)

neighbor

107929.8 SQ. FT.  
2.48 ACRES  
375.00'

SUSSEX COUNTY RD. 1549 (OLD CARRIAGE RD.) (50' R/W)  
S 47°41' 41" E 228.80'  
S 47°41' 41" E 226.43'





DEWORMING GUIDELINE				
Mom Day 50	2 Weeks	4 weeks	6 weeks	8 weeks
Safeguard 5 days	Pyrantel	Pyrantel	Safeguard 5 days	Safeguard 3 days

#### GIARDIA IS GOOD AT RE-INFECTING YOUR PUPPY

- Decreasing exposure is key to keeping puppy clean.
  - Exercise yard - puppy needs their own gravel area.

#### BATHE IF YOU SEE AN ISSUE

- Moms on the way into the whelping box
  - If puppies don't get it, you don't have to get rid of it.
- Disinfecting whelp box for giardia
  - Chlorhexidine gets it.

#### MOM BEFORE BIRTH

- Clean her up before puppies are exposed
  - Clip feathers and fur around mammary glands
  - Spray to remove oocyst (eggs)
- Weaned manage the gut.
  - Probiotics here does help - nowhere for bad things to live is the goal.
  - Safeguard 5 to 6 days.
  - 7.5 weeks Safeguard 3 days
- Next home doesn't want to see giardia on fecal at all.

VACCINE GUIDELINE				
5weeks	7 Weeks	9 weeks	12 weeks	16 weeks
Parvo	5 way or DPV	DAP	DAP	Parvo

#### START EARLY - KEEP IT SIMPLE!

- Insurance against the disease.
- Before they see wild virus.
- Puppies need two parvo and one distemper plus kennel cough.
  - Finish one week before leaving.
  - Start straight parvo (your choice)
- Booster with another vaccine strain parvo with distemper.
- Tiny dog breeders use Nobivac DPV booster.

#### PARVO - AGAIN, AGAIN, AND AGAIN!

##### #1 Viral killer of puppies

- Must control exposure.
- Casual Transfer
- Must get immunity up quick
  - Understand how and why
- Start early - keep it simple!

#### KENNEL BREAKS WITH PARVO AT 6 TO 7 WEEKS.

(we get calls at 2 weeks - "it is still an issue!")

- Vaccine must be in one week earlier to prevent.
- Common to break just after shipping
  - Exposure from shipping and stress.
- Get puppy ready to see the wild virus.

##### #2 VIRUS IS DISTEMPER

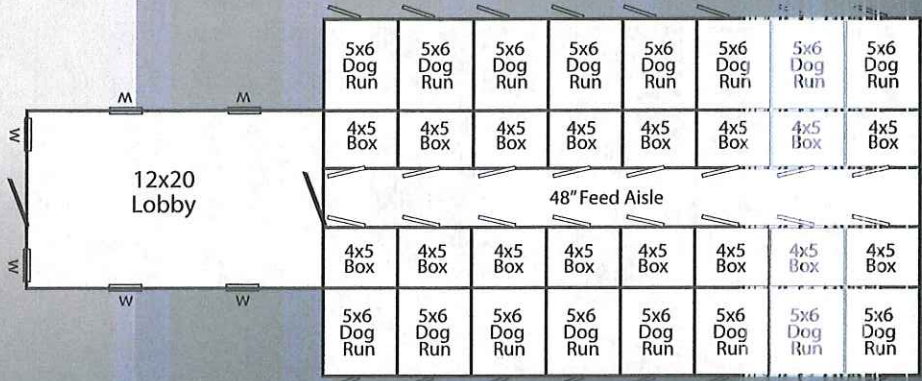
# 24'x60' Kennel

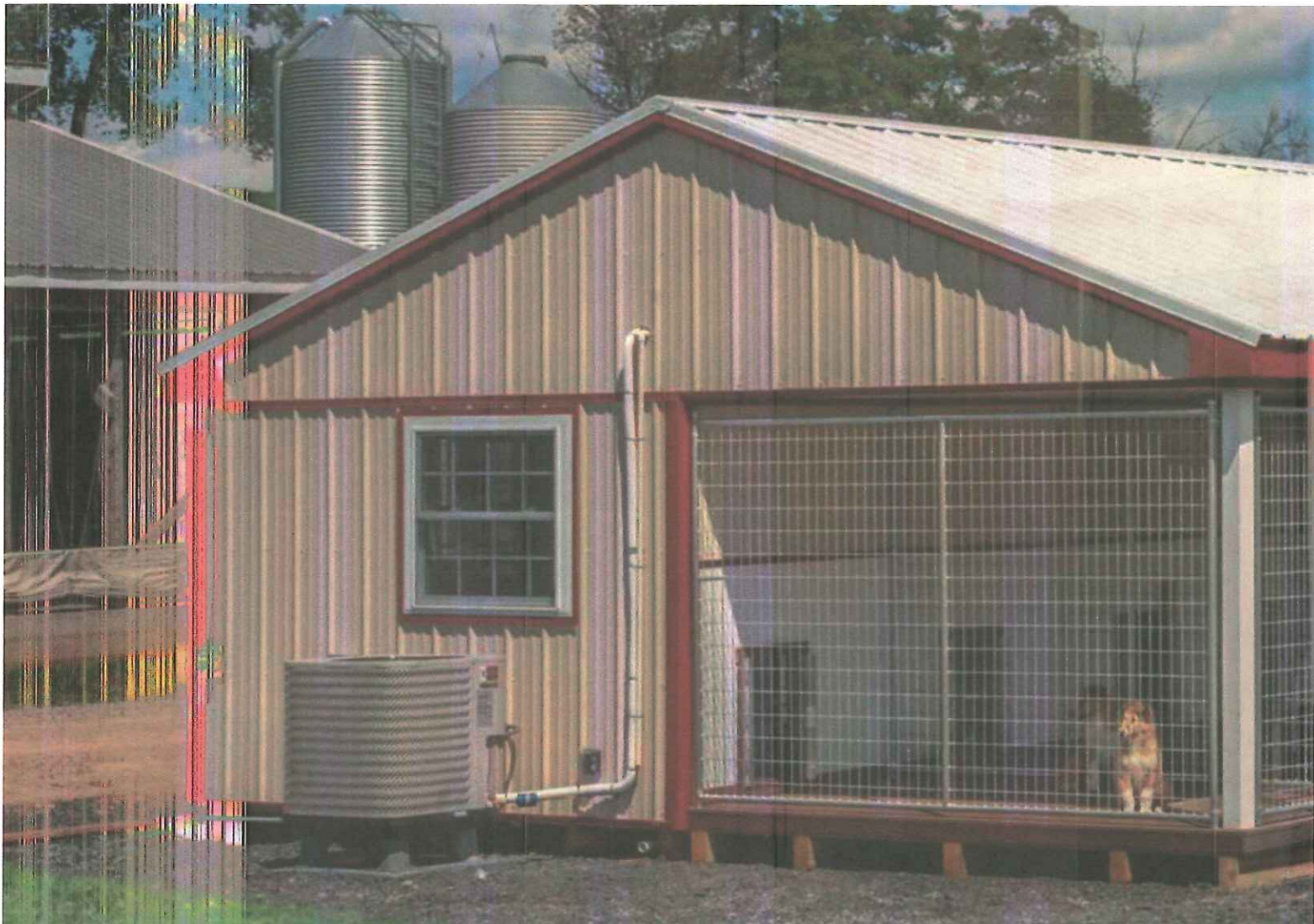
16 Run  
w/12'x20' Lobby

Avocado Paint  
Buckskin Trim  
Bronze Metal Roof  
Standard Trim Package



- Shown with optional:
- Metal Roof
- Welded Wire Panels
- Drains
- 4' Solid Kennel Dividers
- 36"x36" Slider Windows
- Guillotine Dog Doors
- Stainless Steel Channel Drains
- Stainless Steel Water Bowls
- Sink
- Hose Port
- Vent Lite Pre-Hung Man Doors
- Electrical Package





20x60 kennel comes pre-fabricated in two 10' wide sections. Finished on site.



## Amy Hollis

---

**From:** Ann Lepore  
**Sent:** Wednesday, May 18, 2022 9:39 AM  
**To:** Amy Hollis  
**Subject:** FW: #202205548

---

**From:** Jamie Fleming <jayme0831@gmail.com>  
**Sent:** Wednesday, May 18, 2022 9:37 AM  
**To:** Ann Lepore <ann.lepore@sussexcountye.gov>  
**Subject:** #202205548

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Page 2 of the Variance

Criteria for Variance

Answers to questions 1: Uniqueness of property.

Enclosed is a map of the property which is in an odd shape. Part of the property is on Old Carriage Road The other part is with Woodpecker Road in Seaford Delaware. There is a 2 acre lot that connects to Old Carriage and a little more then 2.5 acre lots that are on Woodpecker. The corner lot is not owned by my family. The kennel would be place on partial lot of the 2 acres in the back and the other half is on the property to the west. Along with part on the right away.

Answer to question 2: Cannot other wise be devoped:

With out a vaious of the 200 feet requirement the kennel would not be able to be built. The footage from the back lot is 200 feet and the footage of the west lot is 200 feet. Due to already having building on the lot, unable to do 200 feet from the not owned property to the west of our lots. The total acres is not the full 5 acres either. We did at one time owner the corner lot to the east.

Answer to question 3: Not created by the applicant:

The property has been in the family for many years paced down and no intension of leaving the family. The placement of the kennel would be placed in the best way we have found for the most distance from naighbors for noice. Our neighbors

on the east are fine with the any noise and supportive. The neighbors to the east and also ok with any noise and supportive too. The neighbors to the north we are trying to place the furthest from the dwelling as possible. Enclosed is the map of the distance of this.

Answer to question 4: Will not alter the essential Character of the neighborhood.

The kennel on the outside would like a usual shed or pole building that would match most of the out building in the neighborhood.

Living in a rural area with farm land. The outside of the kennel would have fencing blocking the view of the outside kennels

to not only look more like a normal fence in a yard but to cut down on sound.

Answer to question 5: Minimum Variance:

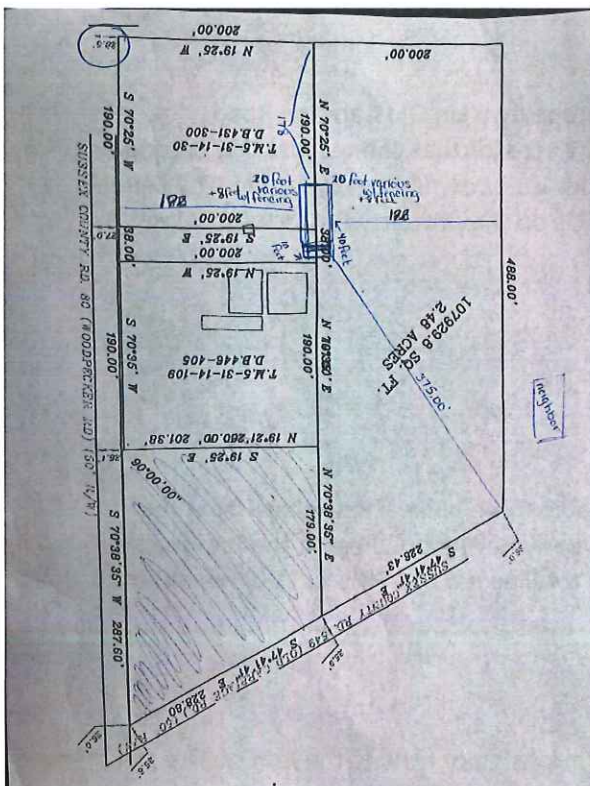
This breed is not a large breed which does not need a lot of room for the kennels. The inside of the building needs to be at least 20 feet wide to allow plenty of room for inside kenneling from weather. The out side runs which would be off the building we

would like at least 8 - 10 feet runs to allow plenty of room to exercise. Along the kennels there will be a fence for noise placed about 3 feet

from kennels for protection from unwanted creatures, containment from harm and noise. Behind kennel there is woods lining the

property from the north, west and south. There is a pole building to the east of the kennel location. The various allow the placement of the

kennel the furthist from dwellings of neighbors and allows most amount of distance from them.



Thank you for all your time and help with all of this.

If you have any questions please contact me 6102953632

Jamie Fleming



# Sussex County



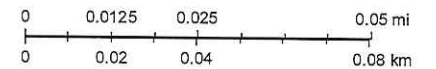
<b>PIN:</b>	531-14.00-31.00
<b>Owner Name</b>	FLEMING GLENN L
<b>Book</b>	5645
<b>Mailing Address</b>	15213 TRAP POND RD
<b>City</b>	LAUREL
<b>State</b>	DE
<b>Description</b>	SW/RD 549
<b>Description 2</b>	N/A
<b>Description 3</b>	N/A
<b>Land Code</b>	

- polygonLayer

  - Override 1
- polygonLayer

  - Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries

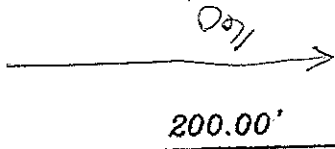
1:1,128



neighbor

488.00'

107929.8 SQ. FT.  
2.48 ACRES



50 foot x 4 foot on each side  
50 foot x 80 foot about  
double building x 50 foot  
Kennel 38.00'

S 47°41'41" E  
226.43'

N 70°38'35" E  
179.00'

N 70°35' E  
190.00'

N 70°25' E  
190.00'

N 70°25' E  
190.00'

SUSSEX COUNTY RD. 1549  
S 47°41'41" E  
228.80'

S 19°25' E  
N 19°21' 260.00' 201.38'

T.M.5-31-14-109  
D.B.446-405

N 19°25' W

200.00'

S 19°25' E

200.00'

T.M.5-31-14-30  
D.B.431-300

N 19°25' W

200.00'

S 70°38'35" W  
287.60'

S 70°35' W  
190.00'

S 70°25' W  
190.00'

S 70°25' W  
190.00'

SUSSEX COUNTY RD. 80 (WOODPECKER RD) (50' R/W)

00.00.06

26.1'

27.0'

28.5'

25.5'

28.0'

Amy Hollis

---

**From:** henryloretta10@gmail.com  
**Sent:** Monday, July 25, 2022 11:39 AM  
**To:** Planning and Zoning  
**Subject:** Case 12724

Opposition  
Exhibit

**CAUTION:** This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

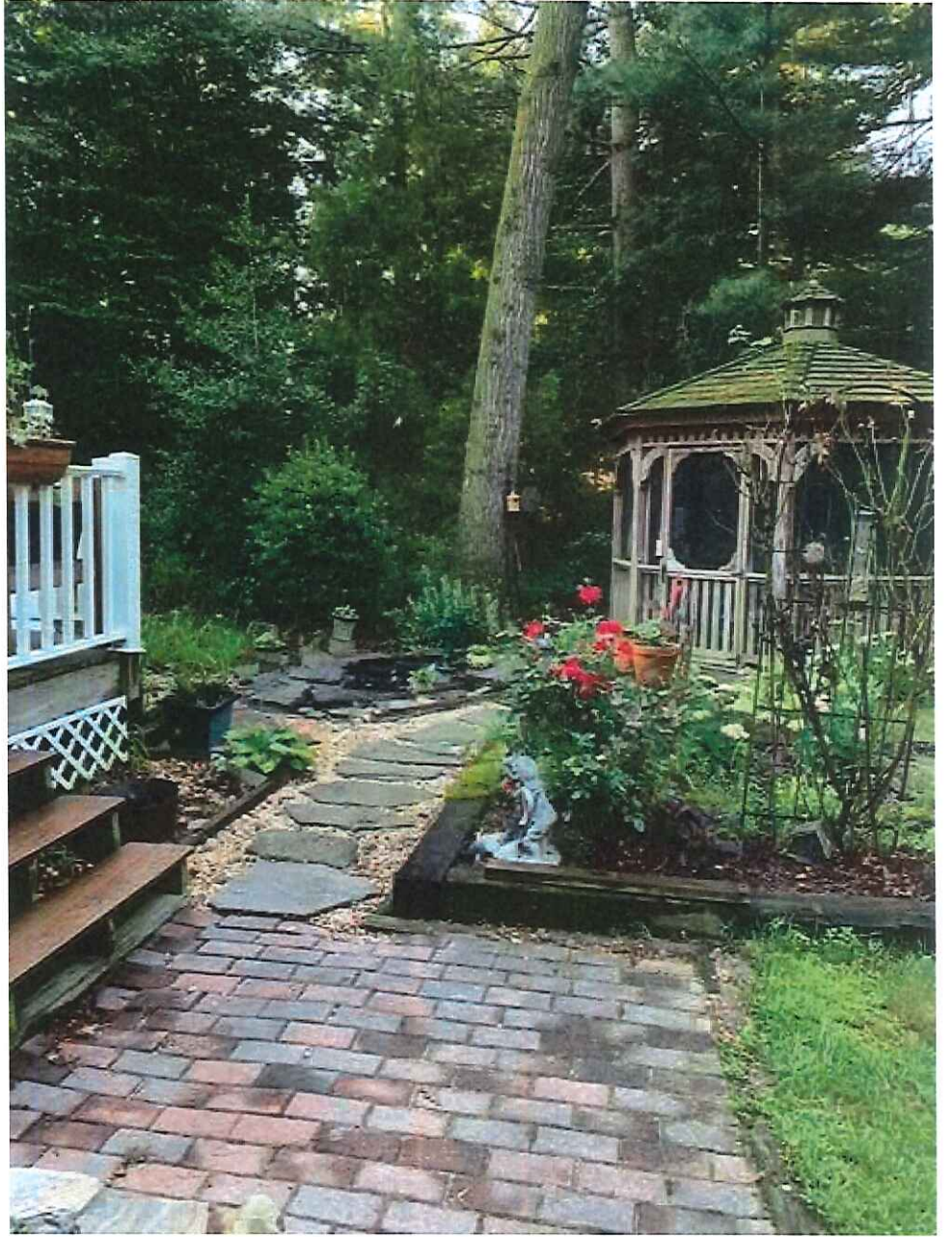
**My name is Loretta Henry and I reside at 26496 Old Carriage Rd. Seaford De. I am writing to voice my objection to the variance that would allow a commercial dog kennel closer than 200 feet to our property line on Old Carriage Rd and the direct impact it will have on our lives. We moved here 17 years ago to retire and enjoy a quiet lifestyle. I was diagnosed in 2003 with systemic lupus and my health has declined over the years. Stress is a big factor that triggers a lupus flare up which makes me very ill. The potential sound of barking dogs close to my house will surely cause unnecessary stress. We are retired and home all day and a dog kennel will be near our backyard gazebo and patio, which we use often to sit outside and relax with**

**friends and enjoy the quiet countryside. We feel having this kennel so close to our property will also diminish our property value. As you can see from the pictures we have worked very hard over the years to landscape our front and back yard to improve the value of our home. The pictures also show our side yard , where the dog kennel will be within our view and hearing. Barking dogs will prevent us from enjoying our own yard and will change our quality of life.**

Could you please acknowledge the receipt of this email? Thank you.

Loretta Henry

410-507-8553









Sent from my iPhone

## Amy Hollis

---

**From:** Jamie Whitehouse  
**Sent:** Monday, August 1, 2022 4:27 PM  
**To:** Amy Hollis  
**Subject:** FW: Submission from: Board of Adjustment contact form

-----Original Message-----

From: webmaster@sussexcountyde.gov <webmaster@sussexcountyde.gov>  
Sent: Sunday, July 31, 2022 4:21 PM  
To: Jamie Whitehouse <jamie.whitehouse@sussexcountyde.gov>  
Subject: Submission from: Board of Adjustment contact form

RECIPIENTS: Ann Lepore, Jamie Whitehouse

Submitted on Sunday, July 31, 2022 - 4:20pm

Name: George Pearson  
Email address: amygeorge8687@gmail.com  
Phone number: 302-841-1813  
Subject: Case 12724 for August 1, 2022

Message:

Case 12724

George and Amy Pearson, 26343 Old Carriage Road, Seaford, DE strongly oppose this variance for a commercial property for several reasons. Safety of the animals being so close to a busy road, traffic and noise involved with a commercial business such as this so close to residential properties. Unfortunately, we will not be in town for this meeting, however, we wanted our opinions heard. Thank you so much for your attention to this matter.

[ceds.org](https://ceds.org)

# kennels

Oppositor.  
Exhibit

12/24

7-9 minutes

---

Dog kennels offer a vitally important service. While most kennels provide nothing but benefits, occasionally they can be difficult to live near.

CEDS surveys, [such as the example below](#), of those living in the vicinity of dog kennels indicates that noise is the most significant quality of life impact. Guiding proposed kennels and other K-9 facilities to locations distant from homes is one way to gain facility benefits without forcing area residents to suffer excessive noise. Other options are available such as sound-reduction treatments for outdoor runs or designing a facility with only indoor runs. CEDS can assist you in ensuring that a proposed kennel or other K-9 facility does not jeopardize the value of your home or quality of life. For assistance contact CEDS at 410-654-3021 or [Help@ceds.org](mailto:Help@ceds.org).

## How noisy are dog kennels?

[One study](#) documented that noise levels in animal shelters regularly exceeds 100 decibels (dB). To put this in context, a motorcycle emits noise at 95 dB and a chain saw 110 dB. A daytime noise level of 65 dB is generally considered the maximum acceptable in residential areas with no more than 55 dB at night.

## Can a dog kennel affect the value of nearby homes?

If barking is continuous and loud enough to be disturbing, then it can affect the amount a prospective home buyer is willing to pay. While there do not appear to be any property value impact studies specific to dog kennels, there is a large body of research showing that excessive noise reduces property value. Here are several examples of these studies:

- [The Impact of Traffic Noise on the Values of Single-family Houses](#),
- [Silence is Golden: Railroad Noise Pollution and Property](#), and
- [Noise effects and real estate prices: A simultaneous analysis of different noise sources](#).

## How far must a kennel be from homes to resolve the noise impact?

Noise declines an average of six decibels for every doubling of distance. If the noise level is 100 dB at a distance of 50 feet from an outside dog run, then the level from an outside run with no noise abatement measures would be 81 dB at the outside of a home 400 feet away and 74 dB at 1,000 feet.

## How to prevent kennel noise?

Eliminating outside runs is the most effective option for preventing kennel noise from disturbing nearby residents. There are methods for reducing the noise from outside runs though these are dependent upon kennel owners installing and maintaining abatement measures. There's also [research](#) showing that options

such as animal conditioning can reduce barking noise. Again, though, the effectiveness of conditioning is dependent upon proper application over the life of the facility.

## **What to do if a dog facility is proposed near your home?**

To answer this question consider the following questions to assess the likelihood that the proposed facility will have a significant effect on your quality of life and that of your neighbors:

- Will dogs be allowed in outside runs or other areas where barking is likely to be an issue?
- If dogs are not allowed outside then will the building be designed to prevent barking from being heard outside? Consider factors such as the need to leave windows open and the ability of exterior walls to contain noise.
- Do those living near similar, existing facilities report excessive noise?
- If the applicant operates an existing facility then have nearby residents ever experienced excessive noise or other issues?

## **How to ensure a proposed dog facility will not impact your quality of life?**

Following is the approach CEDS uses to ensure our clients are not harmed by proposed activities such as dog facilities. Following is sufficient detail so you can pursue this approach on your own or we can do it for you. Our fee for this service is a fraction of what an attorney would charge and frequently results in a successful

outcome at no further expense. To learn more contact CEDS at 410-654-3021 or [Help@ceds.org](mailto:Help@ceds.org).

Like all land uses, dog facilities are only allowed in certain zoning districts established by your local (town, city, county) government. And in many places conditional use, special use, or special exception permits are required.

Your first step must be to determine if a change in zoning is needed and what other permits-approvals are required.

If you're convinced a proposed facility will excessively impact you and your neighbors then is a change in zoning required? If yes, then visit our [Zoning, Rezoning & Sprawl](#) webpage. Blocking the zoning change is usually the easiest way to prevent land near your home from being put to incompatible uses.

If you find that measures such as no outside runs and other noise abatement measures would resolve your concerns, then see if a conditional use, special use, or special exception permit is required. These permits are designed to allow local officials to impose noise and other impact abatement measures as legally, enforceable requirements. For further detail visit the CEDS [Special Exception, Conditional Use & Special Use Permits](#) webpage.

For guidance on negotiating a win-win solution with the applicant or planning-zoning officials visit the CEDS [Equitable Solutions](#) webpage.

If you feel you need an attorney our [Smart Legal Strategies](#) webpage can greatly increase the likelihood of success and minimize legal expenses.

Lastly, we literally wrote the book on *How To Win Land Development Issues*. You can download this 300-page CEDS book for free from our [Publications](#) webpage.

## Survey Example: Existing Kennels & Compatibility

One of the best ways to determine if a proposed dog kennel will adversely affect your quality of life is to survey those living near similar existing kennels. Following is an example of such a survey CEDS conducted among those living near existing dog kennels in Northern Virginia.

CEDS compiled a listing of all the existing dog kennels in Northern Virginia. We visited each to determine if dogs were allowed outside and how far they were to the nearest home. Of the 13 existing kennels we concluded that only two were suitable candidates for the survey, as shown in the attached table.

### Existing Northern Virginia Dog Kennels Based On A Google Search

STATUS	KENNEL	ADDRESS	FEET TO NEAREST HOME	OUTDOOR PET RELIEF AREA	SURVEY CANDIDATE
Open	<a href="#">A Dog's Day Out</a>	2800 A, Gallows Rd, Vienna, VA 22180	231	NO	NO
Open	<a href="#">Dog Tales Daycare</a>	13944 Willard Rd # B, Chantilly, VA 20151	215	NO	NO
Open	<a href="#">Dogtopia of Springfield</a>	7401 Fullerton Rd Suite A, Springfield, VA 22153	>1,000	NO	NO
Open	<a href="#">Healthy Hound Playground</a>	45910 Transamerica Plaza #109, Sterling, VA 20166	290	NO	NO
Open	<a href="#">Hometown Bed &amp; Biscuits</a>	6137 Franconia Rd, Alexandria, VA 22310	627	YES	NO MAJOR HIGHWAY
Closed	<a href="#">Howl of a Good Time</a>	18908 Harmony Church Rd, Leesburg, VA 20175	363	--	NO
Closed	<a href="#">Julie's Pooch Pad</a>	357 Lawyers Rd NW, Vienna, VA 22180	48	--	NO
Open	<a href="#">Montrose Pet Hotel</a>	3879 Pickett Road, Fairfax, VA 22031	484	NO	NO
Open	<a href="#">Olde Towne Pet Resort Sterling</a>	21460 Squire Ct, Sterling, VA 20166	>1,000	YES	TOO FAR
Open	<a href="#">Olde Towne Pet Resort Springfield</a>	8101 Alban Rd, Springfield, VA 22150	>1,000	YES	TOO FAR
Open	<a href="#">Paws Awhile Pet Motel</a>	7353 Woodlawn Ln, Warrenton, VA 20187	600	YES	YES
Open	<a href="#">Pender Pet Retreat at Dulles Gateway</a>	4508 Upper Cub Run Dr, Chantilly, VA 20151	>1,000	YES	NO
?	<a href="#">Shadow's Retreat</a>	22313 Evergreen Mills Rd, Leesburg, VA 20175	700	YES	YES

We sent the following letter to people living near the two candidate kennels.



---

Richard D. Klein, President  
24 Greenshire Lane  
Owings Mills, Maryland 21117

(410) 654-3021  
E-Mail [Rklein@ceds.org](mailto:Rklein@ceds.org)  
Web Page: [www.ceds.org](http://www.ceds.org)

February 7, 2021

Jane Doe  
123 First Street  
Fairfax, Virginia 23222

Dear Ms. Doe:

I understand you live near the the First Street Dog Kennel.

We're helping Fairfax residents who live near the site of a proposed dog kennel that would resemble the one near your home.


Our clients are wondering if the proposed kennel will affect the tranquility of their neighborhood.

They and I would deeply appreciate it if you could let us know what it's like living near a kennel by taking the brief *Dog Kennel Compatibility Survey* you'll find at: [ceds.org/kennel](https://ceds.org/kennel).

While it's okay to complete the survey anonymously, providing your contact info will allow us to forward the results to you and to ask follow up questions. Of course we will not identify you in the results.

If you have any questions I can be reached at 410-654-3021 or [Rklein@ceds.org](mailto:Rklein@ceds.org).

Sincerely,



Richard D. Klein

In the letter we asked folks to tell us about their experience living near a dog kennel by taking an online survey:

<https://www.surveymonkey.com/r/CVGB63T>

As shown in the table above, of the 13 kennels two are out of business.

We assumed it would only be kennels with an outside pet area that could have a negative effect on area residents. Of the remaining 11, six have outside pet areas. And of these six only two are close enough to homes to potentially cause a negative impact. For an aerial view of the eleven operating kennels click

on: <https://ceds.org/wp-content/uploads/2021/04/Kennel-Aerial-Close-Up-View.pdf>

We received only one response from those living near the two existing kennels. The neighbor wrote that the kennel has not adversely affected nearby residents. Usually such a low response indicates that a use, like a kennel, is causing few problems for nearby residents.

Based on this survey CEDS recommended the following measures to reduce the likelihood of a dog kennel causing an adverse effect to area residents.

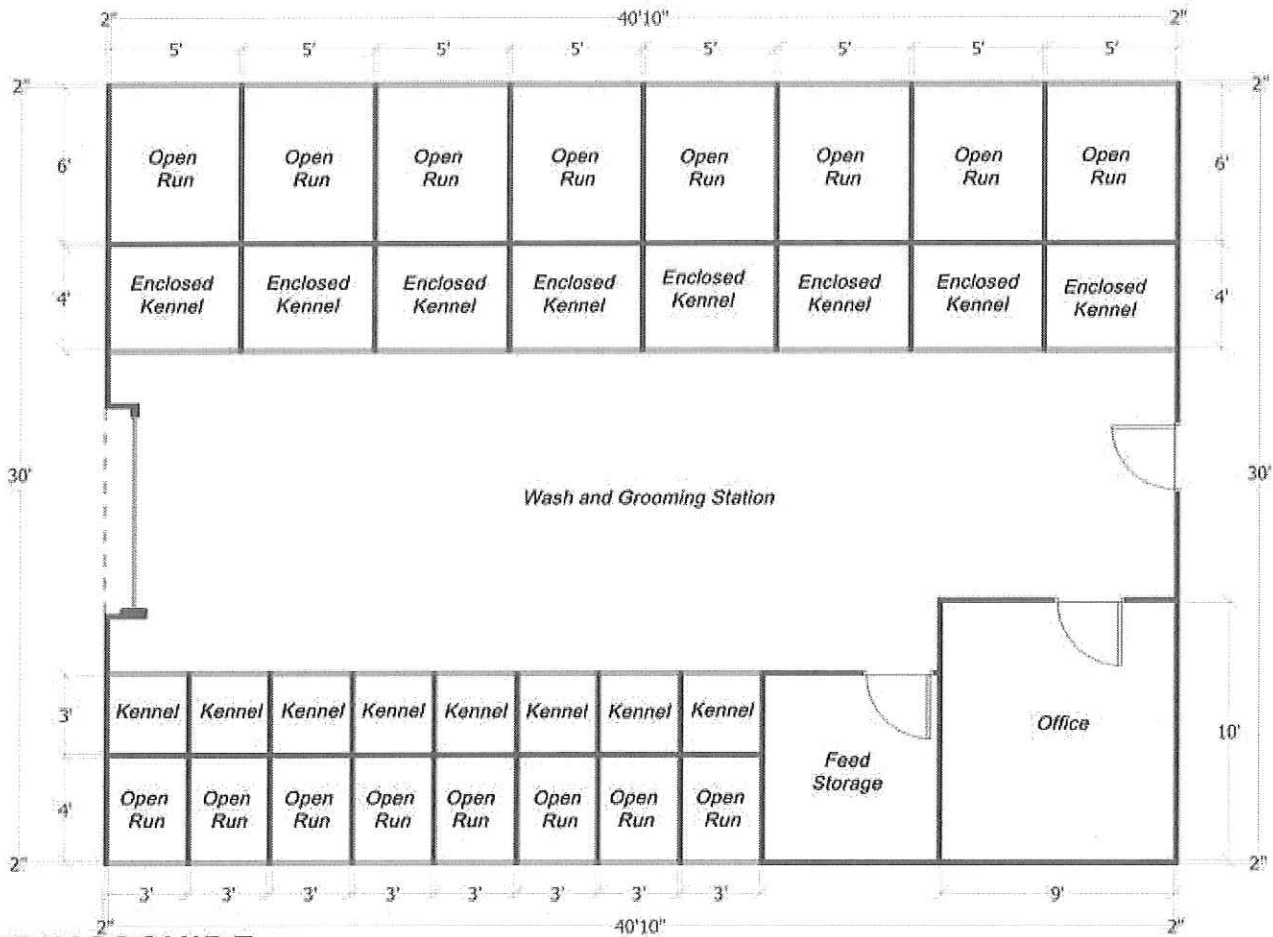
1. New dog kennels should be guided to nonresidential areas.
2. If a kennel is proposed in a residential area and dogs are allowed outside then:
  - It should be at least 400 feet from the nearest home; further if a noise analysis indicates that a greater separation is needed,
  - Dogs should only be allowed outside for the time required for relief, and
  - Only during daylight hours.

GET QUOTES

and power outlets

**Drainage.** Each run will need to be fitted with drainage for easy cleaning and sanitization.

**Play areas** are commonplace in most boarding facilities and other kennels, but those larger areas can be outfitted even further. Dog runs or agility courses help to keep exercise a regular part of their day during their stay.



**BUILDINGGUIDE**

800x500-30x40-kennel-plan

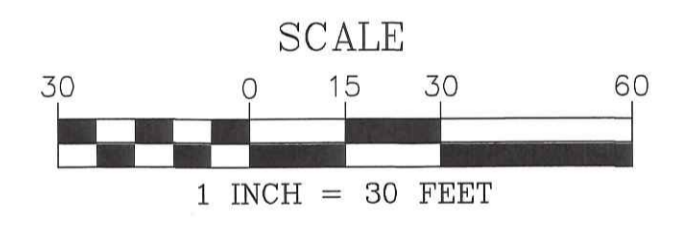
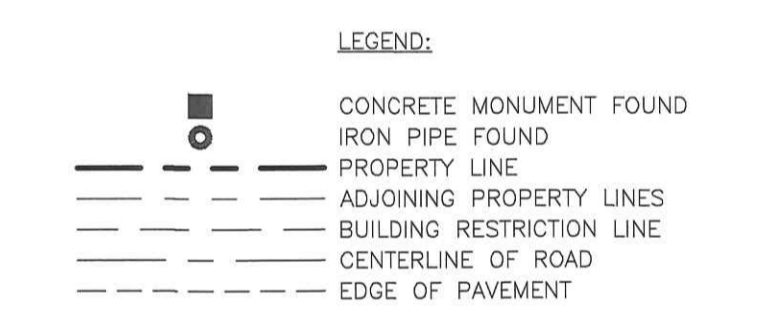
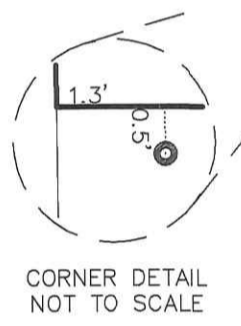
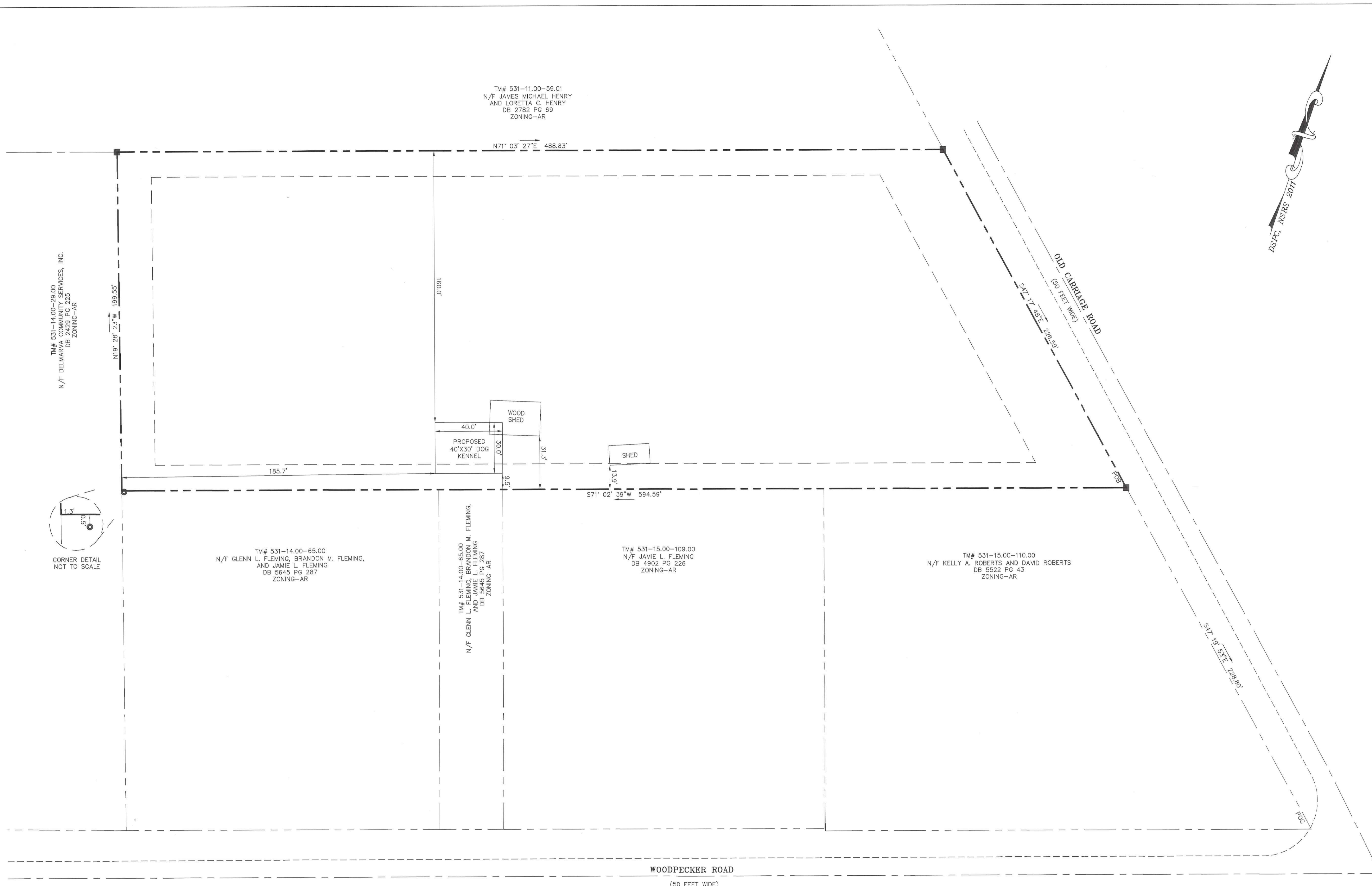
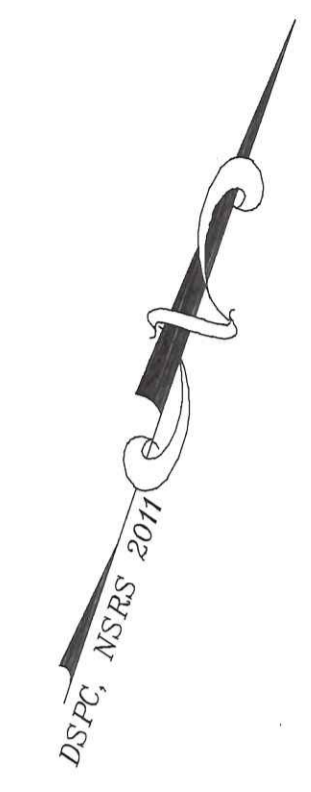
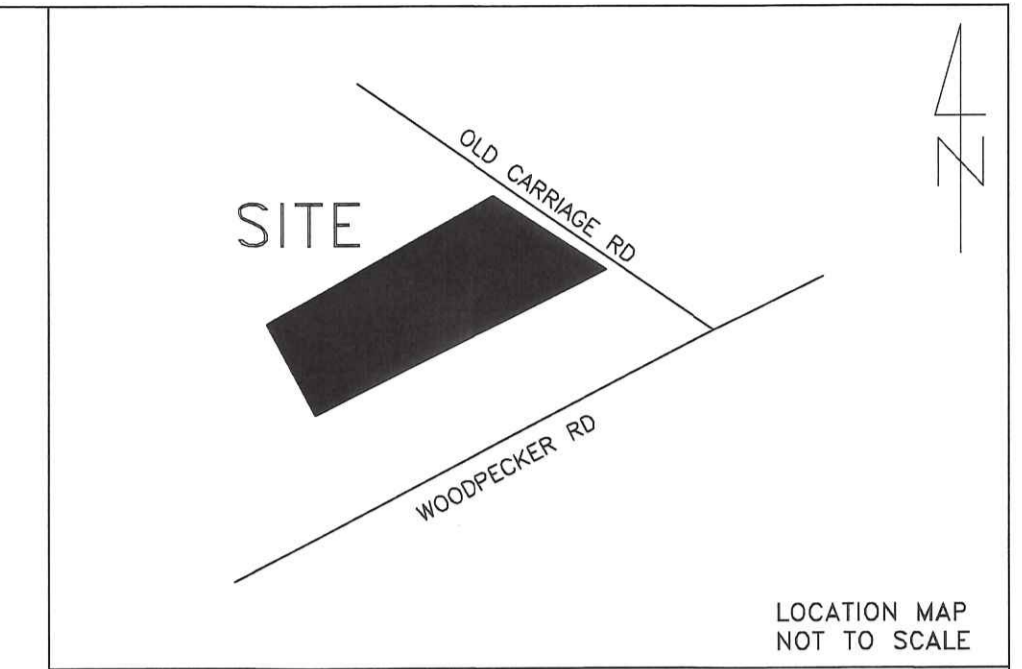
and make sure all staff are well versed in it.

Commercial Kennel Floor Plans

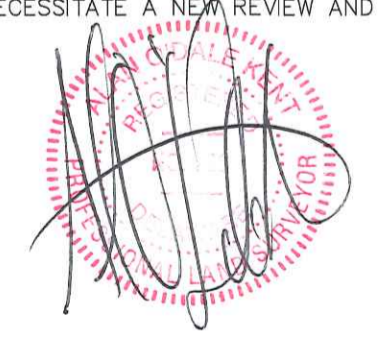
**Applicant  
Exhibit**

30'x40' Kennel Building Plan

12724



I, ALAN O'DALE KENT REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.



ALAN O'DALE KENT, PLS#738  
ALAN O KENT LAND SURVEYING LLC  
9505 SUSSEX STREET  
SEAFORD, DE 19973

*Alan O'Dale Kent*  
DATE

JOB # 2022157

THIS IS A SUBURBAN CLASS SURVEY

PLAN DATA:  
1. TITLE REFERENCED TO: TM# 531-14.00-31.00, DB 5645, PG 285  
OLD CARRIAGE ROAD, SEAFORD, DE 19973  
SEAFORD HUNDRED, SUSSEX COUNTY, STATE OF DELAWARE  
2. NO TITLE REPORT PERFORMED OR FURNISHED IN PREPARATION OF THIS PLAT.  
3. THIS PLAN DOES NOT CERTIFY THE EXISTENCE OR NON-EXISTENCE OF EASEMENTS OR RIGHTS OF WAY AS A FULL AND COMPLETE SEARCH MAY REVEAL IN THE SUSSEX COUNTY RECORDER OF DEEDS  
4. ACCORDING TO SUSSEX COUNTY PLANNING AND ZONING, ZONING IS AR, AND SETBACKS ARE: FRONT-40, SIDE-15, AND REAR-20.

DATE OF PLAN	26 AUG 2022
DATE OF LAST FIELD WORK	25 AUG 2022

**BOUNDARY SURVEY PLAN AND SPECIAL USE EXCEPTION OF THE LANDS NOW OR FORMERLY OF GLENN L. FLEMING, BRANDON M. FLEMING, AND JAMIE L. FLEMING**

PREPARED BY  
ALAN O KENT LAND SURVEYING  
9505 SUSSEX STREET  
SEAFORD, DE 19973

**Board of Adjustment Application  
Sussex County, Delaware**

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

Case # 12731

Hearing Date 8/15 - Tentative  
202208018

RECEIVED  
MAY 27 2022  
SUSSEX COUNTY  
PLANNING & ZONING

**Type of Application: (please check all applicable)**

Variance   
Special Use Exception   
Administrative Variance   
Appeal

Existing Condition   
Proposed   
Code Reference (office use only)  
115-25 115-182

**Site Address of Variance/Special Use Exception:**

34141 Greener Trail Lane, Lewes, DE 19958

**Variance/Special Use Exception/Appeal Requested:**

We are requesting a reduction of 5 feet from the required 30 foot front setback along the Southwest side of the property.

**Tax Map #:** 3-34-18.00-39.00

**Property Zoning:** AR-1

**Applicant Information**

Applicant Name: Kristi Smith  
Applicant Address: 1654 Stanley Avenue  
City Landisville State PA Zip: 17538  
Applicant Phone #: (717) 580-4078 Applicant e-mail: kristismith1234@comcast.net


**Owner Information**

Owner Name: Kristi Smith  
Owner Address: 1654 Stanley Avenue  
City Landisville State PA Zip: 17538 Purchase Date: \_\_\_\_\_  
Owner Phone #: (717) 580-4078 Owner e-mail: kristismith1234@comcast.net

**Agent/Attorney Information**

Agent/Attorney Name: Moonlight Architecture, Inc.  
Agent/Attorney Address: 29003 Lewes Georgetown Hwy  
City Lewes State DE Zip: 19958  
Agent/Attorney Phone #: (302) 645-9361 Agent/Attorney e-mail: freddy@moonlightarch.com

**Signature of Owner/Agent/Attorney**



Date: 5/31/22



**Criteria for a Variance:** (Please provide a written statement regarding each criteria).

*You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.*

*In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.*

**1. Uniqueness of property:**

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

With the respect to the uniqueness of the property, the lot is an existing 143,960 ± Sq.Ft. lot with an existing 50+ year old 1,000 Sq.Ft. ± with an expanding family that has occupied the house for 50+ years.

---

**2. Cannot otherwise be developed:**

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

Due to the expanding family, we are in great need of an additional space.

---

**3. Not created by the applicant:**

That such exceptional practical difficulty has not been created by the appellant.

The house has been on the property for over 50 years, and change of setbacks throughout years, artificially created the situation.

---

**4. Will not alter the essential character of the neighborhood:**

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

The proposed addition for the structure will be keeping in character with the architectural design of adjacent structures.

---

**5. Minimum variance:**

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

We are requesting a reduction of 5 feet from the required 30 foot front setback along the Southwest side of the property.



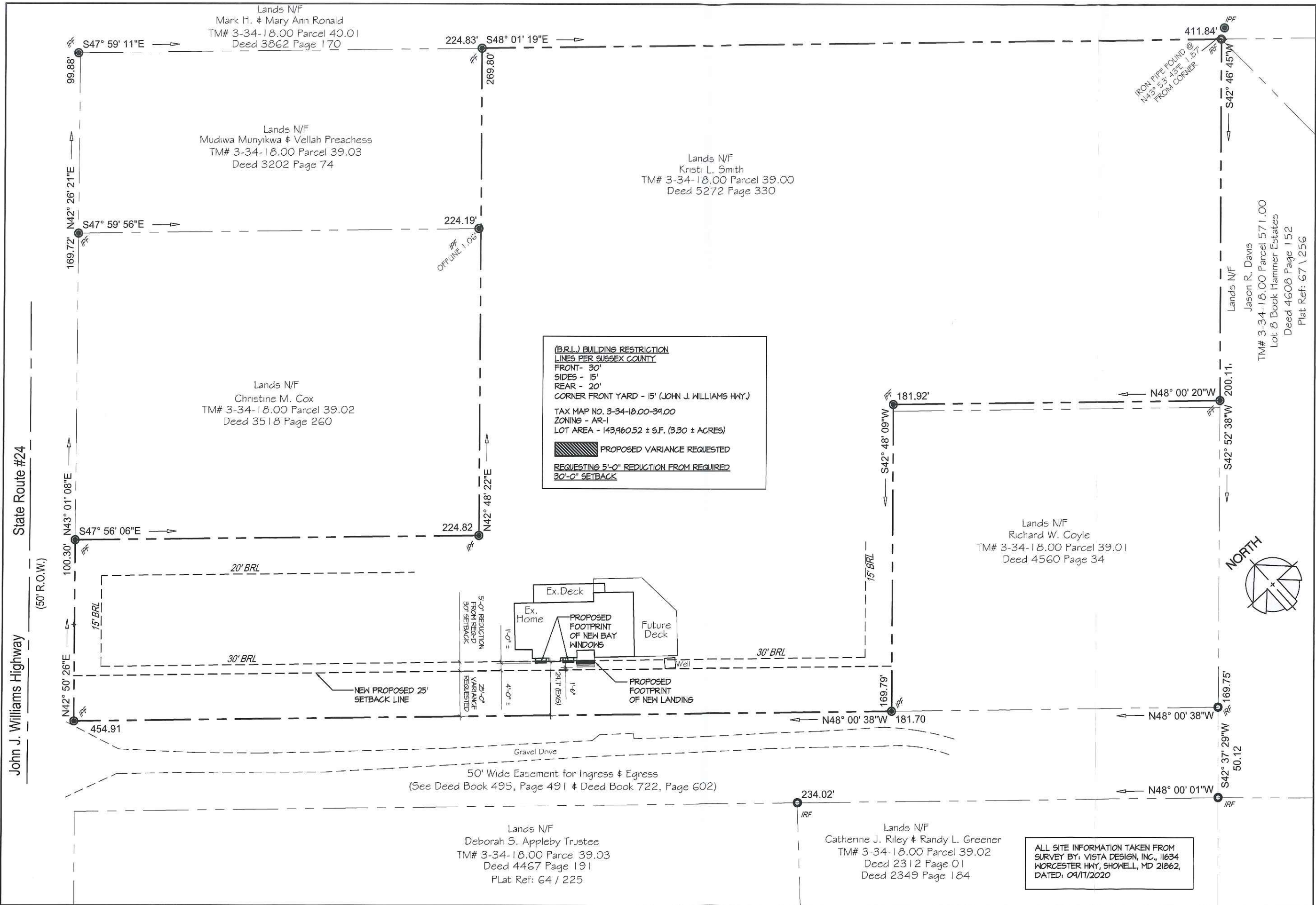
Moonlight Architecture, Inc.

Architecture • Interior Design  
Site Planning

DE (302) 645-9361  
MD (410) 677-4747  
www.moonlightarch.com

All designs, concepts, ideas and arrangements depicted on these drawings are the property of Moonlight Architecture, Inc. and are intended to be used in connection with this specific project only and shall not be used in whole or in part for any other purpose whatsoever without the written consent of Moonlight Architecture, Inc. No changes or deviations shall be allowed without the written consent of Moonlight Architecture, Inc.

CONSTRUCTION DOCUMENTS FOR THE:  
**SMITH RESIDENCE ADDITION**  
34141 GREENER TRAIL LANE,  
LEWES, SUSSEX COUNTY,  
DELAWARE



**(B.R.L.) BUILDING RESTRICTION LINES PER SUSSEX COUNTY**  
FRONT - 30'  
SIDES - 15'  
REAR - 20'  
CORNER FRONT YARD - 15' (JOHN J. WILLIAMS HWY.)  
TAX MAP NO. 3-34-18.00-39.00  
ZONING - AR-1  
LOT AREA - 143,960.52 ± S.F. (3.30 ± ACRES)  
[Hatched Box] PROPOSED VARIANCE REQUESTED  
REQUESTING 5'-0" REDUCTION FROM REQUIRED 30'-0" SETBACK

ALL SITE INFORMATION TAKEN FROM SURVEY BY: VISTA DESIGN, INC., 11634 WORCESTER HWY, SHOWNELL, MD 21862, DATED: 09/17/2020

SCALE:  
1" = 50'-0"  
DRAWING DATE:  
05/31/2022  
SHEET TITLE:  
PROPOSED SITE PLAN

© COPYRIGHT 2022 MOONLIGHT ARCHITECTURE, INC.  
PROJECT NUMBER:  
20093

SHEET #:  
**SK-01**



# Sussex County

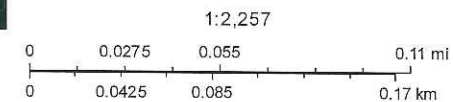


<b>PIN:</b>	334-18.00-39.00
<b>Owner Name</b>	SMITH KRISTI L
<b>Book</b>	5272
<b>Mailing Address</b>	1654 STANLEY AVE
<b>City</b>	LANDISVILLE
<b>State</b>	PA
<b>Description</b>	SE/RT 24
<b>Description 2</b>	3450' SW/RT 284
<b>Description 3</b>	N/A
<b>Land Code</b>	

- polygonLayer

  - Override 1
- polygonLayer

  - Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- Municipal Boundaries





## Amy Hollis

---

**From:** marthabcoyle (null) <marthabcoyle@aol.com>  
**Sent:** Saturday, August 27, 2022 1:08 PM  
**To:** Amy Hollis  
**Subject:** Re: Board of adjust public hearing case no. 12731 Kristi Smith

**CAUTION:** This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

Hello Amy,

Per our conversation regarding this case in the posting of a yellow sign at the end of our lane, we would like to respond to this zoning code change to apply to our neighbors at 34141 Greener Trail Lane, Lewes, DE.

Kristi Smith and her family have been neighbors of ours since 2016, and prior to that our family has been neighbors with her family since 1992. During that time we have enjoyed a wonderful relationship and have watched Kristi's family all come together many times in their beautiful second home. We completely endorse this very modest extension that she is requesting to add to her property, especially seemingly to make it more community and family friendly.

We will not be attending this hearing but would very much like you to pass our comments in this correspondence to the Sussex County Board of adjustment for us.

Thank you so much for your previous assistance and we look forward to Kristi and her family as wonderful neighbors for many years to come.

Most sincerely,

Martha and Coyle

610-405-0094

1113 Butternut Rd., Glen Mills PA 19342, also owners of 34163 Greer Trail Ln., Lewes, DE

# There's a public hearing request in your area

Sussex County Board of Adjustment  
Public Hearing  
**When:** September 12, 2022, 6:00 p.m.  
**Where:** County Council Chambers  
2 The Circle, PO Box 417  
Georgetown, DE

You're invited to a Public Hearing  
Learn more and share your opinion

Please note: Agendas may change due to unforeseen circumstances. Before attending the meeting, please review the agenda on our website at

[www.sussexcountymd.gov](http://www.sussexcountymd.gov). The agenda is available one week before the meeting.



US POSTAGE WILFREY BOWEN



ZIP 19947 \$ 000.57<sup>0</sup>  
02 4R  
0000351113 AUG 18 2022

COYLE RICHARD W  
MARTHA B COYLE  
1113 BUTTERNUT ROAD  
GLEN MILLS, PA 19342

15428511 7011

PL 110 #641111 40706 F0110A00 001105#MENT

## NOTICE: BOARD OF ADJUSTMENT PUBLIC HEARING

Sussex County

This card is to notify all property owners within 200 feet of the subject site of upcoming public hearing before the Board of Adjustment for the following application:

Case No. 12731- Kristi Smith seeks variances for front yard setback requirements for existing and proposed structures (Sections 115-25, and 115-182 of the Sussex County Zoning Code). The property is located on the corner of Greener Trail Lane and John J. Williams Highway. 911 Address: 34141 Greener Trail Lane, Lewes. Zoning District: AR-1. Tax Parcel: 334-18.00-39.00

All persons interested shall have a reasonable opportunity to be heard. If unable to attend the public hearing, written comments will be accepted, however they shall be received prior to the public hearing.

The above application is available for review in the Planning and Zoning Department, County Administrative Office Building, 2 The Circle Georgetown, DE 19947.



Planning & Zoning Director: Jamie Whitehouse, AICP | Phone: (302) 855-7878

On Aug 19, 2022, at 2:39 PM, marthabcoyle (null) <marthabcoyle@aol.com> wrote:

Thank you Amy!  
You were so helpful!  
Martha and Dick Coyle Of Greener Trail Lane

On Aug 19, 2022, at 2:08 PM, Amy Hollis <amy.hollis@sussexcountyde.gov> wrote:

Good Afternoon,

[Sussex County Mapping \(sussexcountyde.gov\)](https://www.sussexcountyde.gov/mapping)

Tax Map #: 334-18.00-39.01

Search by Tax ID

Change BaseMap to ESRI BaseMap Imagery



Thank you,

Amy Hollis  
Clerk III  
Sussex County Planning and Zoning  
2 The Circle, Georgetown, DE 19947  
302-855-7878  
[Amy.Hollis@SussexCountyDE.GOV](mailto:Amy.Hollis@SussexCountyDE.GOV)

Case # 12732  
Hearing Date 8-15-22

# Board of Adjustment Application Sussex County, Delaware

Application # 202208145

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check all applicable)

Variance

Special Use Exception

Administrative Variance

Appeal

Existing Condition

Proposed

Code Reference (office use only)

115-25 115-183

Site Address of Variance/Special Use Exception:

32113 Hidden Acre Dr. Frankford Delaware 19945

Variance/Special Use Exception/Appeal Requested:

Tax Map #: 1-34-11.00-76.00

Property Zoning: MR

### Applicant Information

Applicant Name: John Bobeck

Applicant Address: 563 Lake Dr W.

City Smyrna State De Zip: 19977

Applicant Phone #: (302) 383-5133 Applicant e-mail: 563jack@gmail.com

### Owner Information

Owner Name: same as above

Owner Address:

City State Zip: Purchase Date:

Owner Phone #: Owner e-mail:

### Agent/Attorney Information

Agent/Attorney Name:

Agent/Attorney Address:

City State Zip:

Agent/Attorney Phone #: Agent/Attorney e-mail:

### Signature of Owner/Agent/Attorney

*John E Bobeck*

Date: 6/3/2022



**Criteria for a Variance:** (Please provide a written statement regarding each criteria).

*You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.*

*In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.*

**1. Uniqueness of property:**

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

Due to size of the property it was determined that the Pole could be placed in one spot only because of underground services. Due to the inability of finding previous survey pins and no maps provided by the county my pole building location was based on the information of the original owner.

**2. Cannot otherwise be developed:**

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

Because of the property size, the Pole building was placed where it is because we thought we met the physical conditions of 10 foot set backs. All of which was provided to me by the original owner.

**3. Not created by the applicant:**

That such exceptional practical difficulty has not been created by the appellant.

I had the understanding that I placed the pole Building in the only area that it would fit based on the information I received and the permit was approved by Sussex county.

**4. Will not alter the essential character of the neighborhood:**

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

Behind the pole building is wild growth acting as a buffer zone for the farmer. The left side has wild growth and open field that can not be developed due to a lack of road availability. The property is boxed in on the left side of the Pole building.

**5. Minimum variance:**

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

The variance will represent the minimum modification possible in order to provide relief for the builder and owner. The rear of the building is woods and may not be developed, but never say never. The left side is an extended lot that can't be developed unless access to Omar Rd is provided by the new owner.

**Criteria for a Special Use Exception:** (Please provide a written statement regarding each criteria)

*You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Special Use Exception to be granted.*

1. Such exception will not substantially affect adversely the uses of adjacent and neighboring property.

N/A

---

2. Any other requirements which apply to a specific type of special use exception as required by the Sussex County Code. (Ex. Time limitations – 5 year maximum)

N/A

---

**Basis for Appeal:** (Please provide a written statement regarding reason for appeal)

N/A

---

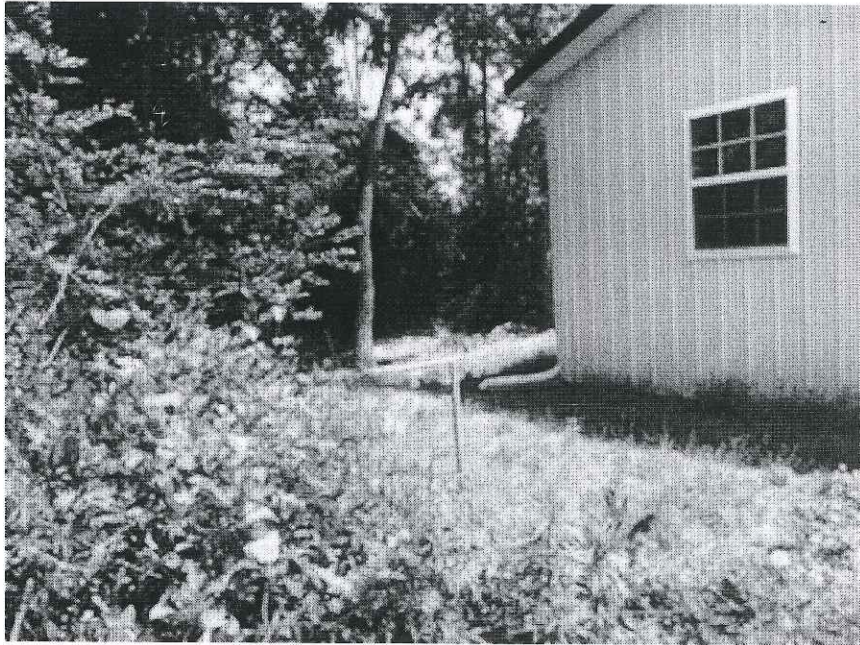


Right side





BACK side



LEFT side



FRONT

Inspection Entry [Sussex County, DE]

A

- Back
- Browse
- Add
- Update
- Delete
- Excel
- Word
- Email
- Schedule
- Attach
- Map
- Scheduling
- Results
- Field Sheet
- Mass Schedule
- Quick Find
- Auto-Assign
- Import Results
- Close/Deny
- App Profile
- Permit Alerts
- Property
- Reassign

Inspection

Inspection ID: 347386	Source: APP	Violation ref: [ ]	Application ref: 202113264
Originating dept: 113 - Building Code		Project/Activity: ACC STRUCT 400+	Business ID: [ ]
Parcel: 134-11.00-76.00	Seq: 0	License number: [ ]	License location: [ ]
Location ID: [ ]	Record ID: 19338	Inspection Area: DISTRICT 134	Lot number: 1
Location: BOBECK JOHN 32113 HIDDEN ACRE DRIVE FRANKFORD DE 19945			
Municipality: FR FRANKFORD			

MAIN FEES REQ/MISC TEXT

Scheduled

Inspection type \* Z035 PLANNING & ZONING FINAL

Trade type: [ ]

Level: 400  Required to close

Requested on: 02/24/2022 at [ ]

Priority: [ ]

Scheduled for: 02/24/2022 at A by HP

Inspector: JW JEFF WHALEY

Permit: [ ]

Permit number: [ ] Expires: [ ]

Contractor: 45255 DELMARVA POLE BUILDING SUPPLY, INC

Last scheduled: [ ]

Comment

Comment code: [ ]

Results

Result: F F FAIL

Score: 0

Performed on: 02/24/2022 11:29:39

Travel time: 0

Onsite time: 0

Mileage: .00

Create reinspect: X [ ]

Reinspection cd: [ ]

C of I reference: [ ] WO# [ ]

Create a violation

- Checklist
- Complaints/Violations
- Building Systems
- Special Conditions
- Find Related
- Text
- Compl/Viol Codes

# Inspections Text



Back



Output



Display



PDF



Save



Stamp Top



Stamp Bottom

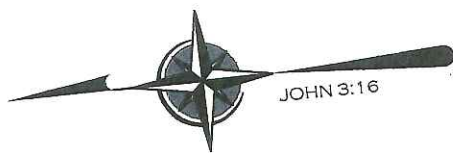


Display  
as HTML

From mobile - JEFF WHALEY - 02/24/2022 11:29:17

Measured 10th to rear, measured 9'6" to left side - need as-built survey to verify setbacks before inspection can be passed

Reinspection 347592 created on 02/24/2022 by jeffrey.whaley

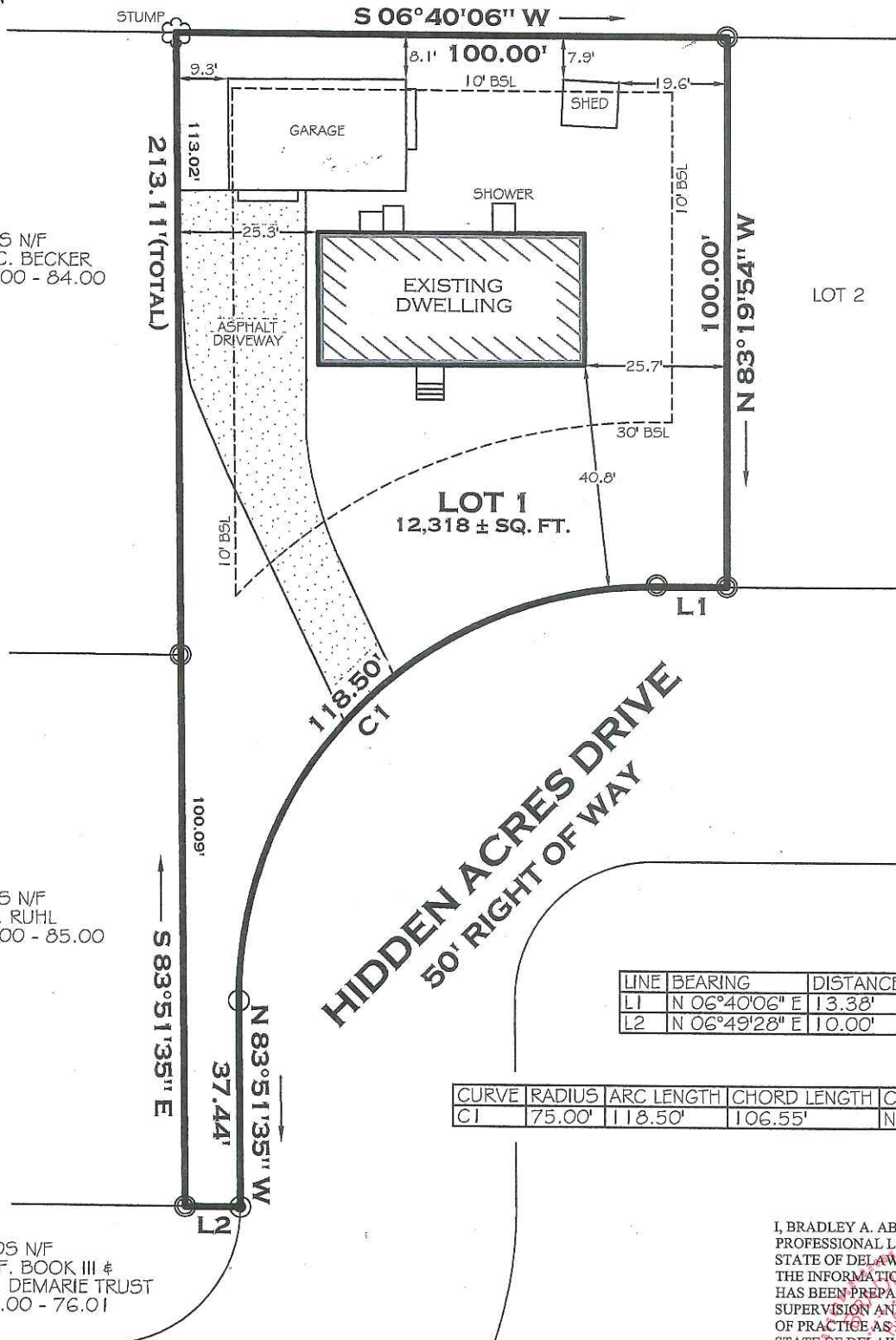


LANDS N/F  
SUSAN J. & JOHN E. MARSETT  
1 - 34 - 11.00 - 82.00

LANDS N/F  
THOMAS C. BECKER  
1 - 34 - 11.00 - 84.00

LANDS N/F  
ZOE G. RUHL  
1 - 34 - 11.00 - 85.00

LANDS N/F  
RAYMOND F. BOOK III &  
THE GEORGIA L. DEMARIE TRUST  
1 - 34 - 11.00 - 76.01



LINE	BEARING	DISTANCE
L1	N 06°40'06" E	13.38'
L2	N 06°49'28" E	10.00'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	75.00'	118.50'	106.55'	N 38°35'44" W

I, BRADLEY A. ABSHER, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS; ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

BRADLEY A. ABSHER, DE PLS # 735  
DATE 5.2.22

**NOTES**

1. CLASSIFICATION OF SURVEY: SUBURBAN
  2. ZONE: MR
  3. BUILDING SETBACK LINES (BSL)
    - FRONT 30'
    - SIDE 10'
    - REAR 10'
- ALL SETBACKS ARE THE RESPONSIBILITY OF THE HOME OWNER AND/OR GENERAL CONTRACTOR. SETBACKS SHOWN AS PER SUSSEX COUNTY & MAY DIFFER FROM THE HOME OWNERS ASSOCIATION (HOA) SETBACKS. ANY USER OF SAID INFORMATION IS URGED TO DIRECTLY CONTACT THE LOCAL AGENCY AND HOA, IF APPLICABLE, TO VERIFY IN WRITING ALL SETBACKS & REQUIREMENTS.
4. NO TITLE REPORT WAS PROVIDED FOR OUR USE, THEREFORE THIS BOUNDARY SURVEY IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS, AND/OR RIGHTS OF WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH.
  5. ALL SIDE AND REAR LOT LINES ARE RESERVED FOR THE CENTERLINE OF A 10' DRAINAGE AND/OR UTILITY EASEMENT.

**LEGEND**

- IRON PIPE FOUND
- UNMARKED POINT
- IRON ROD W/ CAP SET

TAX MAP	1-34 - 11.00 - 76.00
STATE	DELAWARE
COUNTY	SUSSEX
HUNDRED	BALTIMORE
TOWN	---
AREA	12,318 ± SQ. FT.
DEED REF.	5409 / 199
PLAT REF.	10 / 23
DRAWN BY	MCS
DATE	05 / 02 / 2022
SCALE	1" = 30'
SURVEY #	DE - 08823

**BOUNDARY SURVEY PLAN**

**LOT 1  
HIDDEN ACRES**

FOR  
**JOHN & PAULA BOBECK**

**32113 HIDDEN ACRES DRIVE, FRANKFORD, DE 19945**

**TRUE NORTH**



**LAND SURVEYING**

35380 ATLANTIC AVENUE  
MILLVILLE, DE 19967  
302-539-2488

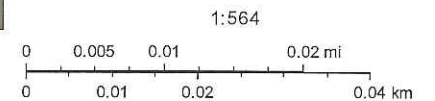


# Sussex County



<b>PIN:</b>	134-11.00-76.00
<b>Owner Name</b>	BOBECK JOHN
<b>Book</b>	5409
<b>Mailing Address</b>	563 LAKE DR
<b>City</b>	SMYRNA
<b>State</b>	DE
<b>Description</b>	HIDDEN ACRES
<b>Description 2</b>	LOT 1
<b>Description 3</b>	N/A
<b>Land Code</b>	

- polygonLayer**
- Override 1
- polygonLayer**
- Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- Municipal Boundaries



Case # 12733  
Hearing Date 8/15  
2022 08105

**Board of Adjustment Application  
Sussex County, Delaware**

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check all applicable)

Variance  Existing Condition   
Special Use Exception  Proposed   
Administrative Variance  Code Reference (office use only)  
Appeal  115-80 115-81  
115-159.5

Site Address of Variance/Special Use Exception:

16262 Coastal Highway, Lewes, DE 19958

Variance/Special Use Exception/Appeal Requested:

Special Use Exception to place an off-premises, ground mounted sign pursuant to Sections 115-18B and subject to provisions of 115- 81A(2).

Tax Map #: 235-23.00-51.00

Property Zoning: C-1

**Applicant Information**

Applicant Name: American Storage of Delaware, LLC  
Applicant Address: 113 Dickinson Street  
City Dewey Beach State DE Zip: 19971  
Applicant Phone #: (202) 905-6706 Applicant e-mail: farmerslawyer@aol.com

**Owner Information**

Owner Name: See Applicant Information.  
Owner Address: \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip: \_\_\_\_\_ Purchase Date: \_\_\_\_\_  
Owner Phone #: \_\_\_\_\_ Owner e-mail: \_\_\_\_\_

**Agent/Attorney Information**

Agent/Attorney Name: Baird Mandalas Brockstedt LLC c/o Mackenzie Peet, Esq.  
Agent/Attorney Address: 1413 Savannah Road, Suite 1  
City Lewes State DE Zip: 19958  
Agent/Attorney Phone #: (302) 645-2262 Agent/Attorney e-mail: mackenzie@bmbde.com

**Signature of Owner/Agent/Attorney**



Date: 06/01/2022





**Criteria for a Variance:** (Please provide a written statement regarding each criteria).

*You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.*

*In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.*

1. Uniqueness of property:

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

N/A

---

2. Cannot otherwise be developed:

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

N/A

---

3. Not created by the applicant:

That such exceptional practical difficulty has not been created by the appellant.

N/A

---

4. Will not alter the essential character of the neighborhood:

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

N/A

---

5. Minimum variance:

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

See Attached.

**Criteria for a Special Use Exception:** (Please provide a written statement regarding each criteria)

*You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Special Use Exception to be granted.*

1. Such exception will not substantially affect adversely the uses of adjacent and neighboring property.

See Attached.

---

2. Any other requirements which apply to a specific type of special use exception as required by the Sussex County Code. (Ex. Time limitations – 5 year maximum)

See Attached.

---

**Basis for Appeal:** (Please provide a written statement regarding reason for appeal)

N/A

---

## SPECIAL USE ATTACHMENT

**Re:** American Storage of Delaware, LLC Off-premises Sign

**Property:** 16262 Coastal Highway, Lewes, DE 199581

**TMP:** 235-23.00-51.00

Applicant seeks a special use exception to place an off-premises, ground mounted sign pursuant to §115-80B and subject to the provisions of §115-81A(2).

## SPECIAL USE CRITERIA

*A special use exception to place an off-premises, ground mounted sign pursuant to §115-80B and subject to the provisions of §115-81A(2).*

1. Such exception will not substantially affect adversely the uses of adjacent and neighboring property.
2. Any other requirements which apply to a specific type of special use exception as required by the Sussex County Code.

The Property is located on the southbound side of Route 1 in Lewes Delaware, consisting of 2.61 Acres, more or less. The Property is located in C-1 General Commercial District. The Property is located near the Red Mill Inn, Harvard Business Services, Inc. and Heritage Antiques Store. Each business has an on-premises sign.

The Applicant proposes an off-premises sign, a use permitted as a special use pursuant to Section 115-80B. The off-premises sign will be used to advertise on other properties and will not be used to advertise the on-premises businesses or uses. The off-premises sign will measure 576 square feet per side and will be smaller than the maximum size requirement for such signs. The sign will measure 35 feet tall, and the bottom of the sign will be 23 feet from ground level. The sign will be back-to-back and will be wrapped in poster and/or painted.

The sign will meet all height, size, and setback requirements. The closest off-premises sign is approximately 1000 feet and the closest on-premises sign is approximately 340 feet from the proposed off-premises sign. Therefore, there are no on-premises signs within 50 feet of the proposed off-premises sign and there are no off-premises signs within 600 feet of the proposed off-premises sign.

The off-premises sign will be illuminated. The off-premises sign will not be an electronic message center.

The sign will be located on a property that will operate as a commercial business, and the sign will not adversely affect the use of neighboring properties because there are nearby commercial properties in vicinity of the Site and there are no dwellings, churches, schools, or public lands within 150 feet of the proposed off-premises sign. There is no adverse impact of fire, hazard, public health, or safety, and no variances are being requested.

## Planning & Zoning Project Contact List

### Applicant Information

Applicant Name: American Storage of Delaware, LLC  
Applicant Address: 113 Dickinson Street  
City: Dewey Beach State: DE Zip: 19971  
Phone #: (202) 905-6706 E-mail: farmerslawyer@aol.com

### Owner Information

Owner Name: See Applicant Information.  
Owner Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

### Engineer/Surveyor Information

Engineer/Surveyor Name: Scaled Engineering c/o Carlton Savage, Jr., P.E.  
Engineer/Surveyor Address: 20246 Coastal Highway  
City: Rehoboth Beach State: DE Zip: 19971  
Phone #: (302) 236-3600 E-mail: carlton@scaledengineering.com

### Agent/Attorney Information

Agent/Attorney/Name: Baird Mandalas Brockstedt, LLC c/o Stephen W. Spence, Esq.  
Agent/Attorney/Address: 1413 Savannah Road, Suite 1  
City: Lewes State: DE Zip: 19958  
Phone #: (302) 645-2262 E-mail: mackenzie@bmbde.com

### Other

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_



# Mailing List Application Form

For Applications requiring a Public Hearing in Sussex County

Please fill out this form and return it with your application. As a part of your application a Public Hearing is required. The property owners within 200' of the site of the application will be notified. Staff will notify the property owners.

## Application Information:

Site Address: 16262 Coastal Highway

Lewes, DE 19958

Parcel #: 235-23.00-51.00

Site Address: \_\_\_\_\_

Parcel #: \_\_\_\_\_

Applicant Name: American Storage of Delaware, LLC

Owner Name: American Storage of Delaware, LLC

## Type of Application:

- Conditional Use:
- Change of Zone:
- Subdivision:
- Board of Adjustment:

Date Submitted: \_\_\_\_\_

## For office use only:

Date of Public Hearing: \_\_\_\_\_

File #: \_\_\_\_\_

Date list created: \_\_\_\_\_

List created by: \_\_\_\_\_

Date letters mailed: \_\_\_\_\_

Letters sent by: \_\_\_\_\_

# Exhibit A

## Property and Deed Information

**Property Information**

Property Location: 16262 COASTAL HWY  
 Unit:  
 City: LEWES  
 Zip: 19958  
 State: DE  
 Class: RES-Residential  
 Use Code (LUC): RS-RESIDENTIAL SINGLE FAMILY  
 Town: 00-None  
 Tax District: 235 - BROAD KILL  
 School District: 6 - CAPE HENLOPEN  
 Council District: 3-Schaeffer  
 Fire District: 82-Lewes  
 Deeded Acres: 2.6100  
 Frontage: 0  
 Depth: .000  
 Irr Lot:  
 Plot Book Page: 73 51/PB  
 100% Land Value: \$10,200  
 100% Improvement Value: \$21,900  
 100% Total Value: \$32,100

**Legal**

Legal Description: SW/RT1 SE/CAVE NECK  
 RD LOTS 6/7 P/O LOT  
 8910 WITH IMP

**Owners**

Owner	Co-owner	Address	City	State	Zip
AMERICAN STORAGE OF DELAWARE LLC		113 DICKINSON ST STE 100	DEWEY BEACH	DE	19971

**Sales**

Sale Date	Book/Page	Sale Price	Stamp Value	Parcels Sold	Grantee/Buyer
09/15/2021	5552/84	\$975,000.00			AMERICAN STORAGE OF DELAWARE LLC
11/29/1986	2394/108	\$109,000.00	\$2,180.00	0	

**Owner History**

Tax Year:	Owner:	Co-owner	Address:	City:	State:	Zip:	Deed Book/Page:
2021	AMERICAN STORAGE OF DELAWARE LLC		113 DICKINSON ST STE 100	DEWEY BEACH	DE	19971	5552/84
2020	WILSON WALTER T		23422 WINDING PINES LN	GEORGETOWN	DE	19947	2394/108
2019	WILSON WALTER T		23422 WINDING PINES LN	GEORGETOWN	DE	19947	2394/108
2018	WILSON WALTER T		23422 WINDING PINES LN	GEORGETOWN	DE	19947	2394/108
2017	WILSON WALTER T		23422 WINDING PINES LN	GEORGETOWN	DE	19947	2394/108
2015	WILSON WALTER T		23422 WINDING PINES LN	GEORGETOWN	DE	19947	2394/108
2009	WILSON WALTER T		23422 WINDING PINES LN	GEORGETOWN	DE	19947	2394/108
2008	WILSON WALTER T		111 HERONWOOD DR	MILTON	DE	19947	2394/108
2007	WILSON WALTER T		111 HERONWOOD DR	MILTON	DE	19968	2394/108
2006	WILSON WALTER T		475 HIGHWAY ONE	LEWES	DE	19958	2394/108
2003	WILSON WALTER T		475 HIGHWAY ONE	LEWES	DE	19958	2394/108
2002	WILSON WALTER T		475 HIGHWAY ONE	LEWES	DE	19958	2394/108
1900	BROWN RUTH E					0	1457/169

**Land**

Line	Class	Land Use Code	Act Front	Depth	Calculated Acres	Ag
1	RES	RS	0	0	2.6100	

**Land Summary**

Line	1
100% Land Value	10,200

**100% Values**

100% Land Value	100% Improv Value	100% Total Value
\$10,200	\$21,900	\$32,100

50% Values

---

50% Land Value	50% Improv Value	50% Total Value
\$5,100	\$10,950	\$16,050

Permit Details

---

Permit Date:	Permit #:	Amount:	Note 1
02-OCT-1989	58319-1	\$2,500	REMODELING-N/A



Electronically Recorded Document# 2021000057689 BK: 5552 PG: 84  
Recorder of Deeds, Scott Dailey On 9/15/2021 at 10:02:44 AM Sussex County, DE  
Consideration: \$975,000.00 County/Town: \$14,625.00 State: \$24,375.00 Total: \$39,000.00  
Doc Surcharge Paid Town: SUSSEX COUNTY

TAX MAP AND PARCEL #: 2-35 23.00 51.00  
PREPARED BY & RETURN TO:  
Baird Mandalas Brockstedt, LLC  
1413 Savannah Road  
Suite 1  
Lewes, DE 19958  
File No. RE21-1426/SWS

THIS DEED, made this 16<sup>th</sup> day of September, 2021,

- BETWEEN -

WALTER T. WILSON, of 23422 Winding Pines Lane, Georgetown, DE 19947, party  
of the first part,

- AND -

AMERICAN STORAGE OF DELAWARE, LLC, of 113 Dickinson Street, Suite 100,  
Dewey Beach, DE 19971, party of the second part.

**WITNESSETH:** That the said party of the first part, for and in consideration of the sum  
of **ONE and 00/100 Dollars (\$1.00)**, lawful money of the United States of America, the receipt  
whereof is hereby acknowledged, hereby grants and conveys unto the party of the second part,  
and its heirs and assigns, in fee simple, the following described lands, situate, lying and being in  
Sussex County, State of Delaware:

**ALL** that certain tract, piece or parcel of land lying and being situate in Broadkill  
Hundred, Sussex County, Delaware, lying on the Southwest side of U.S. Route No. 1, and being  
known and designated as Lot Nos. 6 and 7, as shown on the plot of lots made by T.B. Pepper in  
the Office of the Recorder of Deeds, in and for Sussex County, at Georgetown, Delaware in  
Deed Book 338, page 599, and being more particularly described as follows, to wit:

**BEGINNING** at a concrete monument found on the Southwesterly right-of-way line of  
Delaware Route One, said iron pipe marking a corner for these lands and lands now or formerly  
of Ramachandra U. & Kusuma R. Hosmane; thence from said point of beginning and running  
along and with the line of lands now or formerly of Hosmane, South 38 degrees 21 minutes 47  
seconds West, passing over a concrete monument found at 329.13 feet, a distance of 330.45 feet  
to a point in line of lands now or formerly of Howard E. Millman; thence turning and running  
with the line of lands now or formerly of Millman, North 48 degrees 15 minutes 00 seconds  
West 199.63 feet to an iron pipe found, a corner for these lands and lands now or formerly of W.

T. Wilson, Inc.; thence turning and running with the line of lands now or formerly of Wilson, North 37 degrees 53 minutes 32 seconds East 337.41 feet to an iron pipe found along the Southwesterly right-of-way line of Delaware Route One; thence turning and running with the line of Delaware Route One, South 46 degrees 20 minutes 14 seconds East 202.92 feet to a concrete monument found, the point and place of beginning, said to contain 1.54 acres of land, be the same more or less, together with all of the improvements located thereon, as surveyed by Design Consultants Group, L.L.C., Kenneth K Christenbury, Professional Engineer, May 25, 1999.

**AND**

**ALL** that certain tract, piece and parcel of land situate, lying and being in Broadkill Hundred, Sussex County and State of Delaware, more particularly described as follows, to wit:

**BEGINNING** at an iron pipe found along the Southwesterly right-of-way line of Delaware Route One (Southbound), a corner for these lands and lands of Walter T. Wilson; thence from said point of beginning, South 37 degrees 53 minutes 32 seconds West 337.41 feet to an iron pipe found in line of lands now or formerly of Howard E. Millman; thence turning and running with the line of lands now or formerly of Millman, North 48 degrees 15 minutes 00 seconds West 90.00 feet to an iron pipe set, a corner for remaining lands of W.T. Wilson, Inc.; thence turning and running the three (3) following courses and distances: (1) North 37 degrees 53 minutes 52 seconds East 106.00 feet to an iron pipe set; thence (2) North 05 degrees 38 minutes 54 seconds East 185.92 feet to an iron pipe set; thence (3) North 37 degrees 53 minutes 32 seconds East 88.00 feet to an iron pipe set along the Southwesterly right-of-way line of Delaware Route One; thence turning and running South 46 degrees 20 minutes 14 seconds East 190.00 feet to the point and place of beginning, said to contain 1.07 acres of land, be the same more or less, as surveyed by Design Consultants Group, LLC, November 19, 2001, a copy of said survey being filed for record in the Office of the Recorder of Deeds, in and for Sussex County, Delaware, in Plot Book 73, page 51.

**BEING** the same lands conveyed to Walter T. Wilson from Ruth E. Miller, by Deed dated June 8, 1999, recorded in the Office of the Recorder of Deeds in and for Sussex County, Delaware, on June 8, 1999, in Deed Book 2394, Page 108.

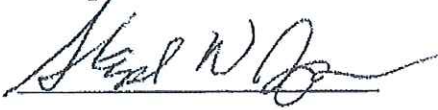
**AND**

**BEING** the same lands conveyed to Walter T. Wilson from W.T. Wilson, Inc., by Deed dated November 21, 2014, recorded in the Office of the Recorder of Deeds in and for Sussex County, Delaware, on November 21, 2014, in Deed Book 4334, Page 133.

**SUBJECT** to any and all restrictions, reservations, conditions, easements and agreements of record in the Office of the Recorder of Deeds in and for Sussex County, Delaware.

IN WITNESS WHEREOF, the party of the first part has hereunto set his hand and seal the day and year first above written.

Signed, Sealed and Delivered in the presence of:



 (SEAL)  
Walter T. Wilson

STATE OF DELAWARE, COUNTY OF SUSSEX: to-wit

BE IT REMEMBERED, that on September 10<sup>th</sup>, 2021, personally came before me, the subscriber, Walter T. Wilson, party of the first part to this Indenture, known to me personally to be such, and acknowledged this Indenture to be his act and deed.

GIVEN under my Hand and Seal of Office the day and year aforesaid.

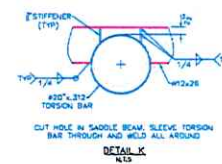
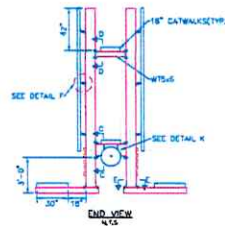
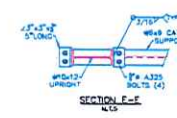
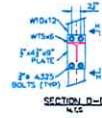
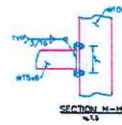
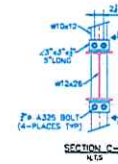
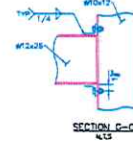
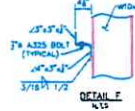
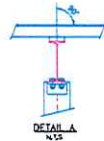
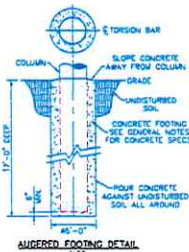
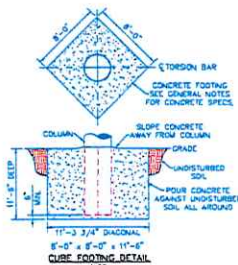
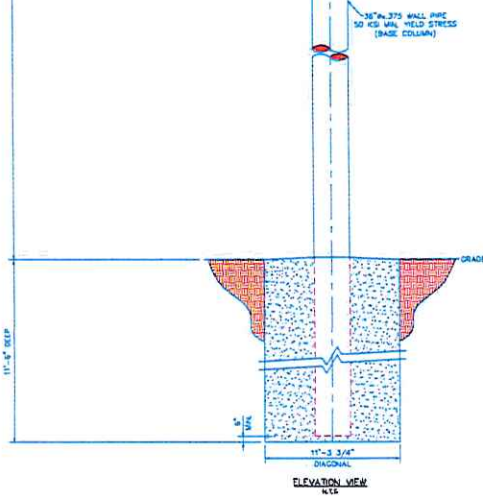
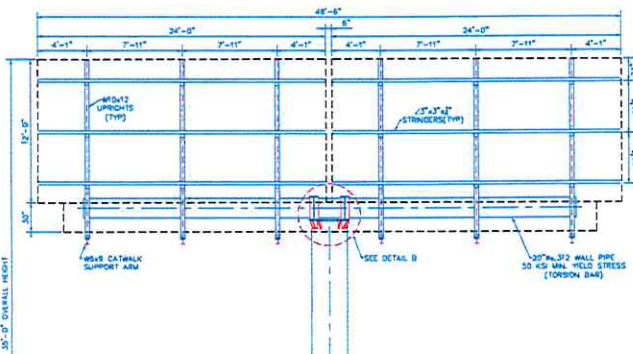
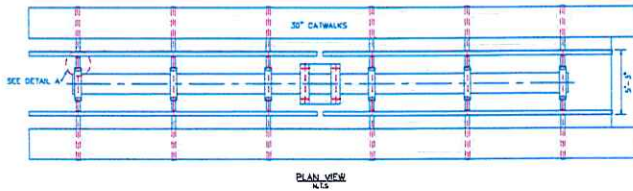
  
Notary Public  
My Commission Expires: \_\_\_\_\_

Grantee's Address:  
113 Dickinson Street  
Suite 100  
Dewey Beach, DE 19971

STEPHEN W. SPENCE  
Attorney at Law - State of Delaware  
Notarial Officer Pursuant to  
29 Del.C. § 4323(a)(3)  
My Commission Has No Expiration

Exhibit B  
Off-premises Sign Plan

NOTE: 18" UPPER & LOWER WIDE CATWALKS NOT SHOWN FOR CLARITY



Selective Structures, LLC  
811 East Avenue  
Athens, TN 37303

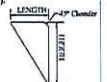
**NOTES**

- 1) IMPORTANT-FULL FLAG COLUMN PIPE TO BE BACKSET 6" PER FOOT, IN THE DIRECTION AWAY FROM THE FLAG, TO CORRECT BRACED LOAD DEFLECTION.
- 2) PROVIDE 1" CAP PLATES FOR ENDS OF TORSION PIPE. PLATE TO BE WELDED ALL AROUND TO PIPE.
- 3) FOUNDATION BASED ON SOIL CONDITIONS OF COMPACT FINE SAND OR BETTER. (Allowable soil pressure=250 psf/ft. of depth).
- 4) CONTRACTOR TO NOTIFY ENGINEER IF OTHER THAN THESE SOIL CONDITIONS EXIST.
- 4) ATTACH CATWALK ANGLES USING W8 @ 4-12 BOLT (1" ANGLE).
- 5) CATWALK GRATING TO BE 3/4" PSF EXPANDED METAL GRATING, WELDED WITH 1/4" FILLET, 1" LONG AND 12" ON TO ANGLE.
- 6) PLACE GUSSET AS CLOSE TO HOLES AS POSSIBLE ALLOWING FOR BOLT TIGHTENING.

**TYPICAL GUSSET DETAIL**

(Use this criteria for all gussets)

- Length & height of gusset to be determined by fabricator if not specified.
- Use maximum length & height possible & weld allow for welding all around.
- depth of 45° chamfer to be minimum required to clear weld or fillet.



**GENERAL NOTES**

- All nuts and bolts are to be zinc plated. (Except A-490 bolts which are not to be plated, but galvanized and painted after installation).
- The contractor shall verify all dimensions and conditions in the field before fabrication or construction, and notify engineer of any discrepancies.
- Any deviation from this note must be approved by Engineer.
- All structural steel shall conform to the requirements of ASTM A-36, (except structural tubing, which shall conform to A-500 grade B).
- All W-Shape beams shall conform to A-572 (50 ksi minimum yield).
- All steel pipe shall conform to the requirements of ASTM A-53 grade B or A-252 grade 2, unless otherwise noted.
- Concrete shall attain a minimum compressive strength of  $F_c = 2500$  psi in 28 days, unless otherwise noted.
- All structural steel shall be preheated, fabricated, and erected according to latest ABC Specifications and Standard Practice.
- All welding shall be in accordance with AWS Structural. Welding to be performed by certified welders using E-70 electrodes.
- Contractor to ensure that all work is performed in accordance with federal, state, and local codes & ordinances; and OSHA safety regulations.
- Splicing of pipes having an equal diameter, wall & yield is permitted. A full penetration weld joint instead (Per AWS D1.1) shall be used and must be performed by a certified welder. Splices shall not be within one half of the foundation depth below grade, within 10' above grade or within 10' above telescoping splices. Unless specified otherwise.

THE UNDERSIGNED ENGINEER WILL NOT SUPERVISE THE FABRICATION AND/OR ERECTION OF THIS STRUCTURE.

**APPLICABLE BUILDING CODE AND WIND SPEED:**

International Building Code 2015 Edition,  
(120 mph Exposure-C) 3-Second Gusts

**PROJECT**

12'-0" x 48'-6" CM, BB @ 35'-0" O.A.H.  
Located In: Milton, DE



Effective Engineering Solutions, Ltd.  
61 White Water Court  
New Lenox, IL 60451  
(815) 485-1470

**APPROVAL**

THIS PRINT CONTAINS PRELIMINARY INFORMATION AND SHALL NOT BE USED, REPRODUCED, OR ITS CONTENTS DISCLOSED, IN WHOLE OR IN PART, WITHOUT WRITTEN CONSENT FROM Effective Engineering Solutions, Ltd.

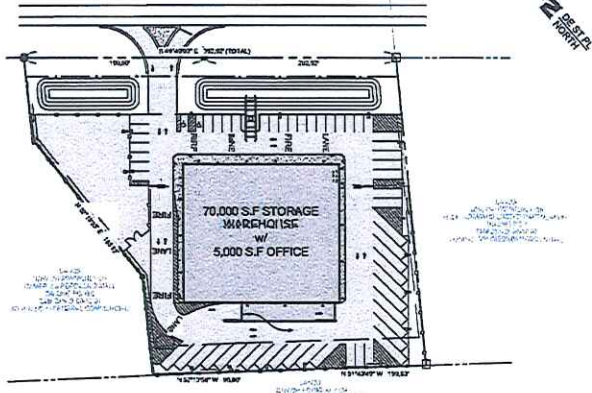
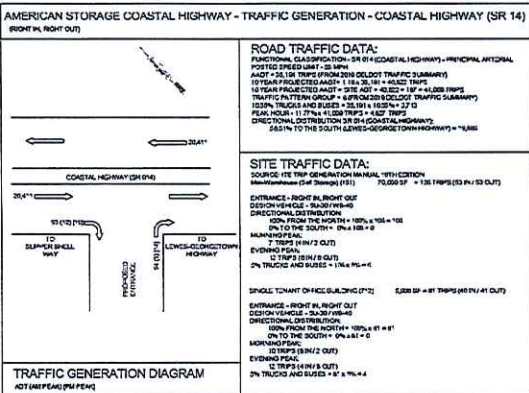
**REVISIONS**

DATE	BY	REVISION
02/14/18	JNS	DATE DRAWN
		NAME
		SCALE
		DRAWING NO.
		SHEET NO.

Exhibit C  
Site Plan

# AMERICAN STORAGE OF DELAWARE (COASTAL HIGHWAY)

LEWES, DELAWARE  
BROADKILL HUNDRED | SUSSEX COUNTY | DELAWARE  
CONSTRUCTION PLANS



**SITE DATA:**

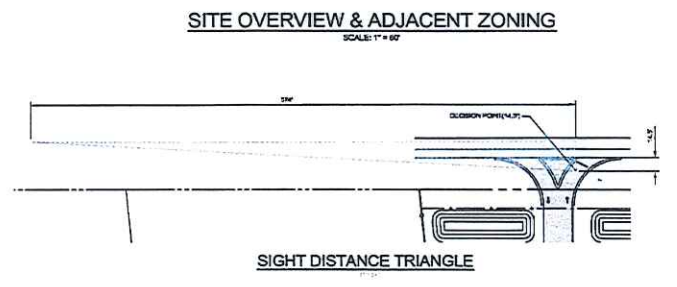
1. TAX MAP NUMBER: 220-21.00-0.140
2. ADDRESS: 1600 CHARLIE HWY, LEWES, DE 19844
3. ZONING: EXISTING: C-1 (GENERAL COMMERCIAL)  
PROPOSED: C-1 (GENERAL COMMERCIAL)
4. USE: EXISTING: VACANT LOT  
PROPOSED: 2 STORY WAREHOUSE (SELF STORAGE) = 10,000 SQ FT  
OFFICE = 5,000 SQ FT  
BUILDING HEIGHT TO BE LESS THAN 42'
5. BUILDING SET BACKS: C-1 (GENERAL COMMERCIAL)  
FRONT 60'  
SIDE 20'  
REAR 30'
6. AREA: EXISTING PROPOSED: 2.81 AC  
2.81 AC
7. NET COVER COEFFICIENT AREA: 2.81 AC
8. SEWER PROVIDER: SUSSEX COUNTY
9. WATER PROVIDER: CURRENT PRIVATE PROPOSED: TOWNEATER
11. THIS PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOOD ZONE (FIRM) UNLESS BY THE NATIONAL FLOOD INSURANCE PROGRAM AS SHOWN AS ON FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 100500100R REVISED MARCH 14, 2015.
12. NO WPTA AND/OR ARE ON SITE PER THE DEPT. OF NATURAL RESOURCES.

**PARKING / LOADING REQUIREMENTS:**  
DEPARTURE PARKING - (DEPT. CODE SECTION 115-10.2 & 115-10.3)  
REQUIRED PARKING:  
WAREHOUSE (STORAGE FACILITY) 0 SPACES REQUIRED  
OFFICE (1 SPACE PER 200 SQ FT) 25 SPACES REQUIRED  
25 SPACES PROVIDED  
HANDICAP PARKING (1-20 PARKING (11M-20)) 1 SPACES PROVIDED

**EXIST. WAREHOUSE OVERLAY:**  
10' X 20' CAR TRUCK SPACES 10 SPACES PROVIDED  
10' X 20' CAR TRUCK SPACES 7 SPACES PROVIDED  
10' X 20' RIBBOAT SPACES 2 SPACES PROVIDED  
10' X 20' RIBBOAT SPACES 1 SPACES PROVIDED  
10' X 20' RIBBOAT SPACES 2 SPACES PROVIDED  
10' X 20' RIBBOAT SPACES 10 SPACES PROVIDED  
10' X 20' RIBBOAT SPACES 10 SPACES PROVIDED  
HANDICAP PARKING 2 SPACES PROVIDED  
61 SPACES PROVIDED

**SPACES TO BE LOANED (FROM EXIST. WAREHOUSE):**  
LOADING WAREHOUSE (STORAGE FACILITY) 0 SPACE REQUIRED  
LOADING SPACES PROVIDED 0 SPACE (10' X 40')  
OFFICE: LOADING SPACES PROVIDED 1 SPACES PROVIDED  
LOADING SPACES PROVIDED 2 SPACE (10' X 40')  
(OFFICE LOADING PROVIDED AT THE REAR OF BUILDING COVERED)

SHEET INDEX	
Sheet Number	Sheet Title
T-1	COVER SHEET
T-2	GENERAL NOTES
EX-1	EXISTING CONDITIONS & DEMOLITION PLAN
C-1	PRELIMINARY SITE PLAN
C-2	SITE DETAILS
U-1	UTILITY PLAN
U-2	UTILITY DETAILS
G-1	GRADING & DRAINAGE PLAN
L-1	LANDSCAPE PLAN
ES-1	EROSION & SEDIMENT PLAN (E&S)
ES-2	E&S NOTES & DETAILS
ES-3	E&S NOTES & DETAILS
ES-4	E&S NOTES & DETAILS
R-1	COVER SHEET
R-2	RECORD PLAN
DA-1	PRE-DEVELOPMENT DRAINAGE AREA PLAN
DA-2	POST-DEVELOPMENT DRAINAGE AREA PLAN
F-1	FIRE MARSHAL PLAN



**DELT DOT NOTES:**

1. IF EXISTING SIGNAGE AND ALL SIGNALS, THEY SHALL CONFORM TO DELAWARE DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL. NO CONSTRUCTION ACTIVITY SHALL OCCUR ON THE RIGHT-OF-WAY WITHOUT A DELDOT PERMIT.
2. SIGNAGE, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
3. MONUMENTATION SET SHALL REFER TO LEGEND FOR SIZE AND TYPE.
4. ALL ENTRANCES SHALL CONFORM TO DELDOTS DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.

CALL Miss Utility of Delmarva  
BEFORE YOU DIG  
800-282-8555 or 811

### PROJECT TEAM

AMERICAN STORAGE OF DELAWARE  
113 DICKINSON ST. STE 100  
DOWNEY BEACH, DE, 19817

SITE ENGINEER  
TODD S. WILSON, P.E.  
2020 COASTAL HIGHWAY  
REHOBOTH BEACH, DE 19817  
DND 227-7420  
GATEWAY@AMERICANSTORAGE.COM

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT  
AUSTIN H. HILL, M.S., AIA  
2000 CALHOUN HWY. 200  
LEWES, DE 19844  
AHH@AIA.COM

### OWNER CERTIFICATION:

WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT WE DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

OWNER NAME: PRINT NAME \_\_\_\_\_ LAST NAME \_\_\_\_\_  
OWNER SIGNATURE \_\_\_\_\_  
DATE \_\_\_\_\_

### ENGINEERS CERTIFICATION

I, CARLTON N. SAVAGE, JR., HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

CARLTON N. SAVAGE, JR., P.E. (LICENSE #16437) DATE \_\_\_\_\_



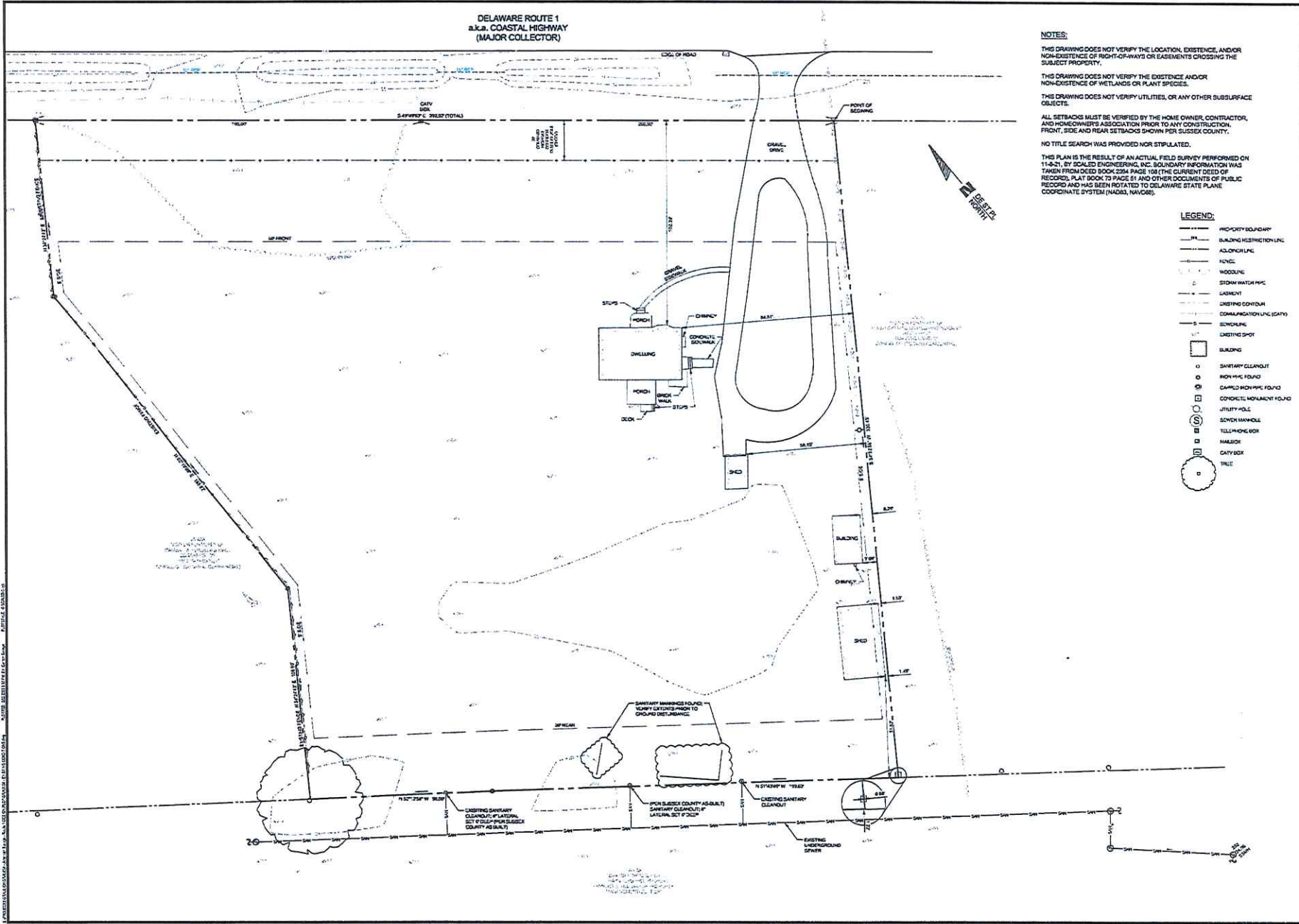
AMERICAN STORAGE OF DELAWARE  
COASTAL HIGHWAY  
TAX MAP: 235-23.00-00.51-00  
16262 COASTAL HWY, LEWES, DE, 19958, BROADKILL HUNDRED

DATE: 01-25-22  
SCALE: 1" = 20'  
DRAWN BY: NEM  
PROJECT NO.: 030428

T-1







DELAWARE ROUTE 1  
a.k.a. COASTAL HIGHWAY  
(MAJOR COLLECTOR)

**NOTES:**  
 THIS DRAWING DOES NOT VERIFY THE LOCATION, EXISTENCE, AND/OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS CROSSING THE SUBJECT PROPERTY.  
 THIS DRAWING DOES NOT VERIFY THE EXISTENCE AND/OR NON-EXISTENCE OF WETLANDS OR PLANT SPECIES.  
 THIS DRAWING DOES NOT VERIFY UTILITIES, OR ANY OTHER SUBSURFACE OBJECTS.  
 ALL SETBACKS MUST BE VERIFIED BY THE HOME OWNER, CONTRACTOR, AND HOMEOWNERS ASSOCIATION PRIOR TO ANY CONSTRUCTION. FRONT, SIDE AND REAR SETBACKS SHOWN PER SUSSEX COUNTY.  
 NO TITLE SEARCH WAS PROVIDED NOR STIPULATED.  
 THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED ON 11-4-21 BY SCALED ENGINEERING, INC. BOUNDARY INFORMATION WAS TAKEN FROM DEED BOOK 2394 PAGE 158 (THE CURRENT DEED OF RECORD), PLAT BOOK 73 PAGE 81 AND OTHER DOCUMENTS OF PUBLIC RECORD AND HAS BEEN ROTATED TO DELAWARE STATE PLANE COORDINATE SYSTEM (NAD83, NAVD83).

- LEGEND:**
- PROPERTY BOUNDARY
  - BUILDING RESTRICTION LINE
  - ALIGNMENT LINE
  - FENCE
  - WOODPILE
  - STEAM WATER PIPE
  - LAMBERT
  - EXISTING CONDUIT
  - COMMUNICATION LINE (CATV)
  - SEWERLINE
  - EXISTING SPOT
  - BUILDING
  - SANITARY CLEANOUT
  - IRON PIPE FOUND
  - CAPED IRON PIPE FOUND
  - CONCRETE MONUMENT FOUND
  - UTILITY POLE
  - SEWER MANHOLE
  - TELEPHONE BOX
  - MAILBOX
  - CIVIL BOX
  - TIE

**SCALED ENGINEERING**  
 Scaled Engineering Inc.  
 1000 North 1st Street  
 Rehoboth Beach, DE 19971  
 Phone: (302) 225-3000

**EXISTING CONDITIONS & DEMOLITION PLAN**

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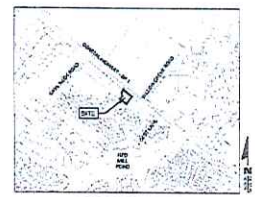
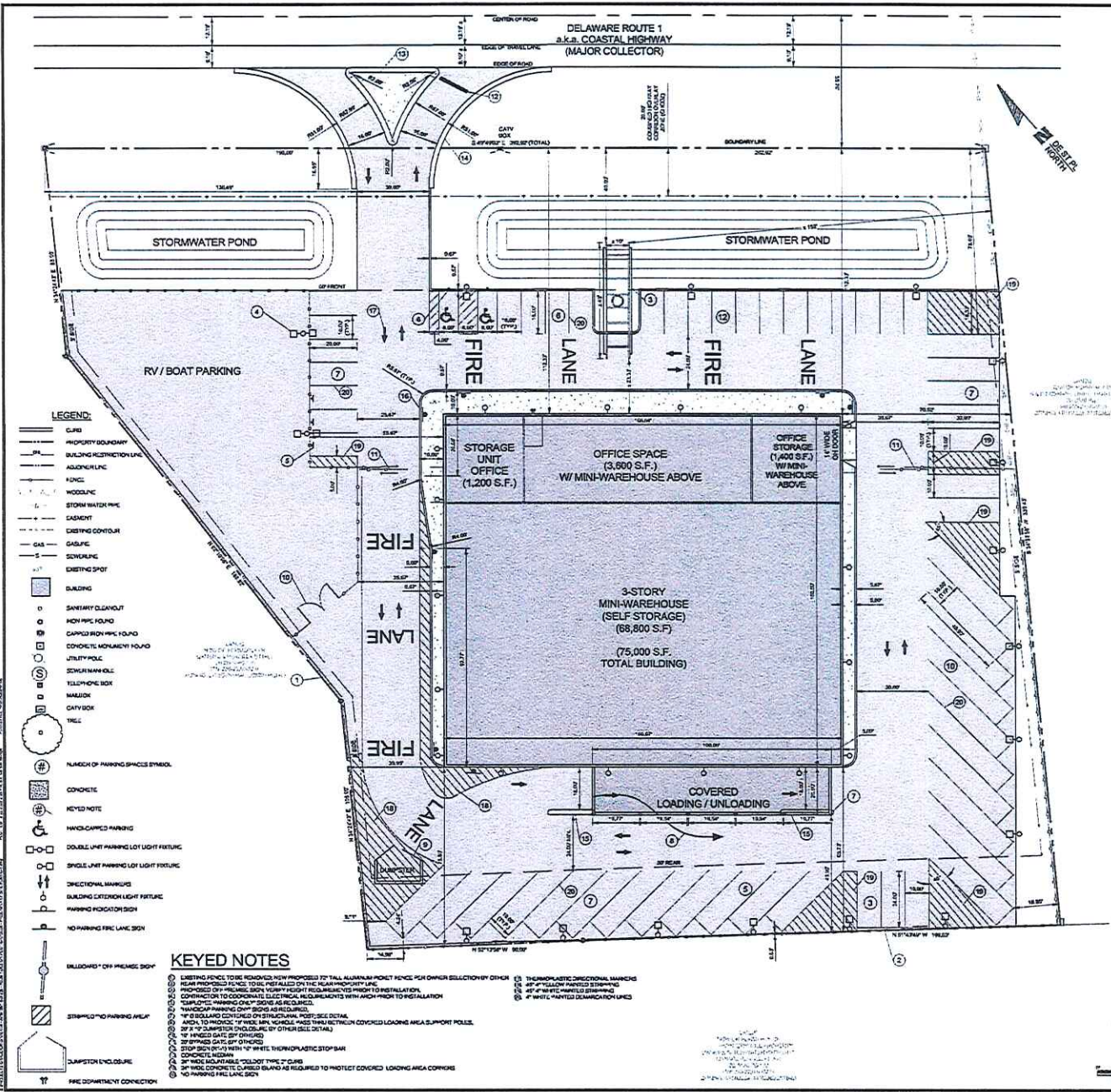
**AMERICAN STORAGE OF DELAWARE  
 COASTAL HIGHWAY**  
 TAX MAP: 235-233.00-51.00  
 16262 COASTAL HWY., LEWES, DE, 19958, BROADKILL HUNDRED

**EX-1**

---

DATE: 11-26-21  
 SCALE: 1"=40'  
 DRAWN BY: JSM  
 PROJECT NO. 23A1004

DATE: 11-26-21  
 SCALE: 1"=40'  
 DRAWN BY: JSM  
 PROJECT NO. 23A1004



**SITE DATA:**

- TAX MAP NUMBER: 235-23-00-51.00
- ADDRESS: 16262 COASTAL HWY LEWES, DE 19958
- OWNERS: AMERICAN STORAGE OF DELAWARE LLC, 113 DICKINSON ST. STE 100, DONEY BEACH, DE, 19971
- ZONING: EXISTING: C-1 (GENERAL COMMERCIAL); PROPOSED: C-1 (GENERAL COMMERCIAL)
- USE: EXISTING: VACANT LOT; PROPOSED: 3 STORY WAREHOUSE (SELF STORAGE) = 76,000 SQ FT OFFICE = 6,000 SQ FT BUILDING HEIGHT TO BE LESS THAN 42'
- BUILDING SETBACKS: C-1 (GENERAL COMMERCIAL); FRONT: 60'; SIDE: 30'; REAR: 30'
- AREAS: EXISTING: 2.61 AC; PROPOSED: 2.61 AC
- NET DEVELOPMENT AREA: 2.61 AC
- SEWER PROVIDER: SUSSEX COUNTY
- WATER PROVIDER: CURRENT PRIVATE; PROPOSED: TIDEWATER
- FLOOD INSURANCE PROGRAM AS SHOWN AS ON FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 100050210K REVISED MARCH 16, 2015
- NO WETLANDS ARE ON SITE PER THE DNREC NAWMAP.

**PARKING / LOADING REQUIREMENTS:**

OFF-STREET PARKING - (PER CODE SECTIONS 115-192A.6, 45.5)

REQUIRED PARKING: WAREHOUSE (STORAGE FACILITY) (2 SPACES PER 1,000 SQ FT)	0 SPACES REQUIRED
OFFICE (12 X 40)	25 SPACES REQUIRED
HANDICAP PARKING (1-25 PARKING SPACES)	1 SPACES REQUIRED

<b>TOTAL PARKING PROVIDED:</b>	<b>16 SPACES PROVIDED</b>
10' X 20' CAR/TRUCK SPACES	7 SPACES PROVIDED
10' X 24' CAR/TRUCK SPACES	3 SPACES PROVIDED
10' X 20' RV/BOAT SPACES	1 SPACES PROVIDED
10' X 20' RV/BOAT SPACES	2 SPACES PROVIDED
10' X 20' RV/BOAT SPACES	2 SPACES PROVIDED
10' X 20' RV/BOAT SPACES	14 SPACES PROVIDED
10' X 40' RV/BOAT SPACES	16 SPACES PROVIDED
HANDICAP PARKING	2 VAN SPACES PROVIDED
	61 SPACES PROVIDED

**OFF-STREET LOADING - (PER CODE SECTIONS 115-187)**

<b>LOADING:</b>	
WAREHOUSE (STORAGE FACILITY)	0 SPACES REQUIRED
OFFICE (12 X 40)	0 SPACES (12 X 40)
<b>OFFICE:</b>	
LOADING SPACES REQUIRED	1 SPACE REQUIRED
LOADING SPACES PROVIDED	2 SPACE (12 X 40)
(OFFICE LOADING PROVIDED AT THE REAR OF BUILDING COVERED)	

**OWNER CERTIFICATION:**

WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT WE DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

OWNER NAME PRINTED: \_\_\_\_\_ DATE: \_\_\_\_\_

OWNER SIGNATURE: \_\_\_\_\_

**ENGINEERS CERTIFICATION**

I, CARLTON R. SAUSAGE, JR., HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

CARLTON R. SAUSAGE, JR., P.E. (LICENSE #16457) DATE: \_\_\_\_\_

**KEYED NOTES**

- EXISTING FENCE TO BE REMOVED. NEW PROPOSED 72" TALL ALUMINUM POINT FENCE PER OWNER SELECTION BY OTHER.
- SEMI PROPOSED FENCE TO BE INSTALLED BY THE NEARBY POINT FENCE.
- PROPOSED OFF-WHITE SIGN VISIBLE FROM HIGHWAY REQUIREMENTS PRIOR TO INSTALLATION.
- CONNECTION TO EXISTING ELECTRICAL REQUIREMENTS WITH WORK PRIOR TO INSTALLATION.
- "HANDICAP PARKING ONLY" SIGN AS REQUIRED.
- HANDICAP PARKING "ONLY" SIGN AS REQUIRED.
- "NO ISOLATED IDENTIFIED ON STRUCTURAL POSTS-SEE DETAIL.
- STOP SIGN TO PROVIDE 10' WIDE AND SCHEDULE 40S TRUSS STRUCTURE COVERED LOADING AREA SUPPORT POLES.
- 10' WIDE GATE BY OTHERS.
- 20' WIDE GATE BY OTHERS.
- STOP SIGN BY-10 WITH 10" WHITE THERMOPLASTIC STOP BAR.
- CONCRETE MEDIAN.
- 30" WIDE INSULATED "COLD" TYPE "C" CURB.
- 30" WIDE CONCRETE CURBED BLIND AS REQUIRED TO PROTECT COVERED LOADING AREA CORNERS.
- NO PARKING FIRE LANE SIGN.
- 30" CONCRETE DIRECTIONAL MARKINGS.
- 40" YELLOW PAINTED STRIPING.
- 40" WIDE PAINTED STRIPING.
- 4" WIDE PAINTED DIMENSION LINES.

- LEGEND:**
- CLIPED
  - PROPERTY BOUNDARY
  - BUILDING RESTRICTION LINE
  - ADJACENT LINE
  - FENCE
  - WOODING
  - STORM WATER PIPE
  - CASHELY
  - EXISTING CONTOUR
  - GAULINE
  - SEWERLINE
  - EXISTING SPOT
  - BUILDING
  - SANITARY CLEANOUT
  - HIGH PIPE FOUND
  - CAPPED HIGH PIPE FOUND
  - CONCRETE MONUMENT FOUND
  - UTILITY POLE
  - SEWER MAN HOLE
  - TELEPHONE BOX
  - MALION
  - GATE BOX
  - TREE
  - LANDSCAPE PARKING SPACES SYMBOL
  - CONCRETE
  - KEYED NOTE
  - HANDICAPPED PARKING
  - DOUBLE UNIT PARKING LOT LIGHT FIXTURE
  - SINGLE UNIT PARKING LOT LIGHT FIXTURE
  - DIRECTIONAL MARKING
  - BUILDING RESTRICTION LIGHT FIXTURE
  - PARKING RESTRICTION SIGN
  - NO PARKING FIRE LANE SIGN
  - BUILDING OFF RELEASE SIGN
  - STRIPING TO PARKING AREA
  - CLAMP SIGN ENCLOSURE
  - FIRE DEPARTMENT CONNECTION

**AMERICAN STORAGE OF DELAWARE  
COASTAL HIGHWAY**

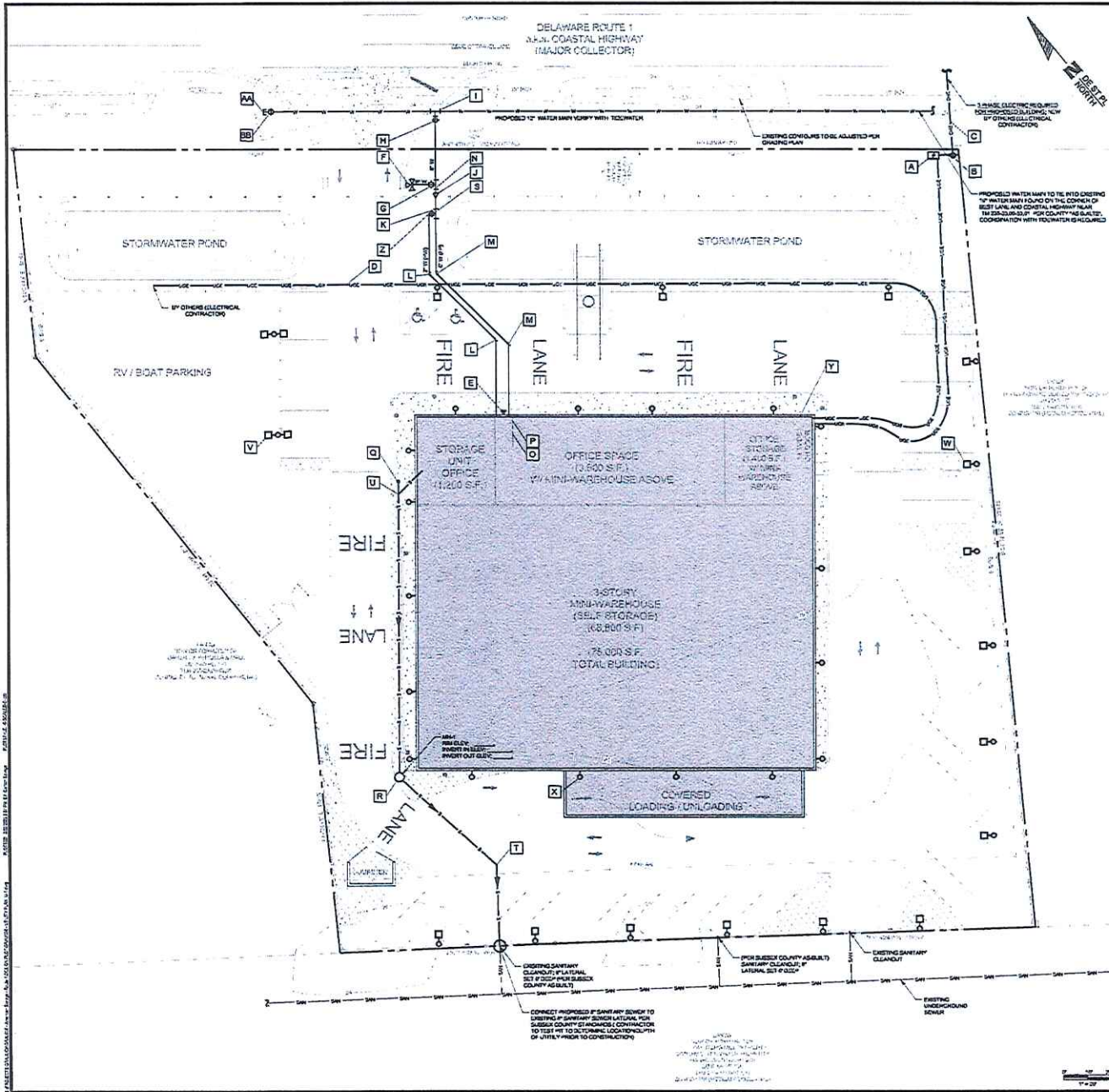
TAX MAP: 235-23-00-51.00  
16262 COASTAL HWY, LEWES, DE, 19958, BROADKILL HUNDRED

**PRELIMINARY SITE PLAN**

C-1







**UTILITY KEYED NOTES**

- (A) PROPOSED ELECTRIC TRANSFORMER LOCATION ONLY (VERIFY WITH ELECTRIC COMPANY)
- (B) NEW ELECTRICAL POLE FOR PROPOSED 3 PHASE ELECTRIC SERVICE (VERIFY WITH ELECTRIC COMPANY)
- (C) NEW 3 PHASE ELECTRIC SERVICE REQUIRED.
- (D) EXISTING ELECTRIC SERVICE IS TO BE ABANDONED AS NECESSARY
- (E) SCHEMATIC UNDERGROUND ELECTRIC SERVICE (CONTRACTOR TO INSTALL CONDUIT AS REQUIRED)
- (F) FIRE DEPARTMENT CONNECTION W/ FIRE CONNECTION SIGN (SEE DETAIL)
- (G) PROPOSED FIRE HYDRANT
- (H) FIRE HYDRANT ASSEMBLY WITH TEE AND VALVE
- (I) 6" VALVE
- (J) 12" X 8" TEE
- (K) 8" TO 6" REDUCER
- (L) 6" X 2" SADDLE TAP
- (M) 2" WATER, 45° BEND
- (N) 6" WATER, 45° BEND
- (O) 6" WATER, 45° BEND
- (P) 6" X 6" TEE / 6" VALVE, FIRE HYDRANT ASSEMBLY (SEE DETAIL)
- (Q) DOUBLE CHECK BACKFLOW PREVENTER TO BE INSTALLED INSIDE THE BUILDING. (SEE DETAIL)
- (R) HOSE BIB TO BE INSTALLED IN MAINTENANCE ROOM (SEE ARCHITECTURAL PLANS)
- (S) 4" SANITARY SEWER CLEANOUT (SEE DETAIL)
- (T) 48" Ø SEWER MAN-HOLE ( CONTRACTOR TO VERIFY PIT DEPTH REQUIRED PRIOR TO CONSTRUCTION)
- (U) 8" X 2" WATER TEE
- (V) 8" SANITARY SEWER, 45° BEND
- (W) 6" SANITARY SEWER, 45° Y TEE
- (X) PARKING LOT DOUBLE UNIT ELECTRICAL LIGHTING BY OTHER
- (Y) PARKING LOT SINGLE UNIT ELECTRICAL LIGHTING BY OTHER
- (Z) BUILDING EXTERIOR ELECTRICAL LIGHTING BY OTHER
- (AA) PROVIDE SEPARATE ELECTRICAL METERS AS REQUIRED FOR THE PROPOSED MULTITRUSE BUILDING, 3 PHASE
- (AB) 2" WATER, 90° BEND
- (AC) 12" CAP
- (AD) 12" VALVE

**GENERAL NOTES**

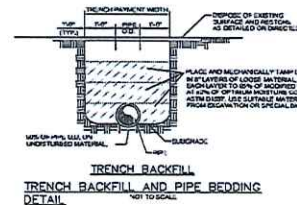
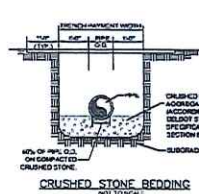
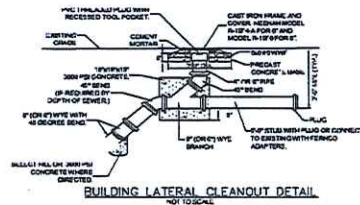
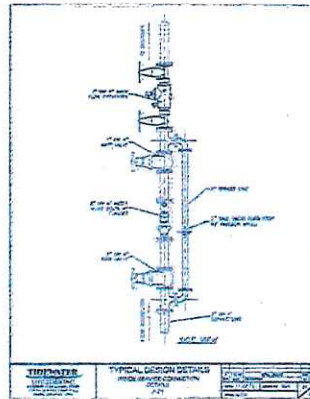
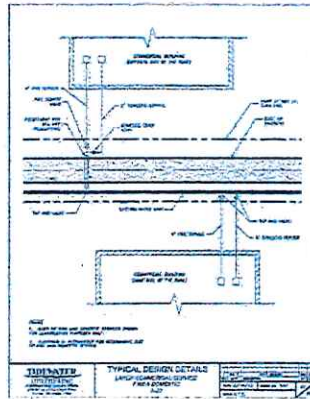
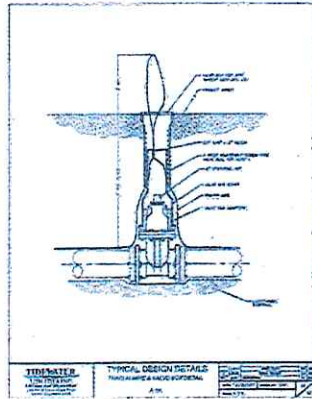
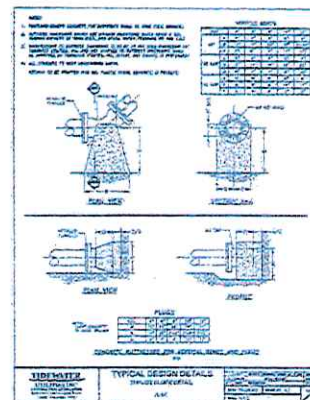
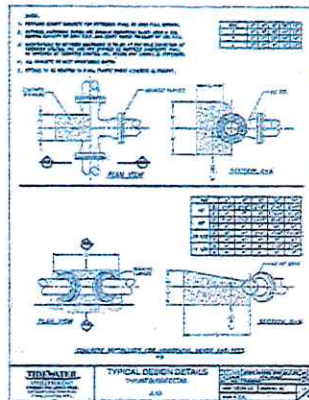
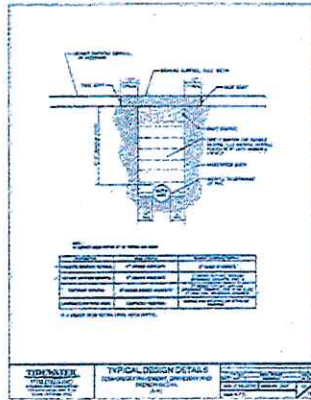
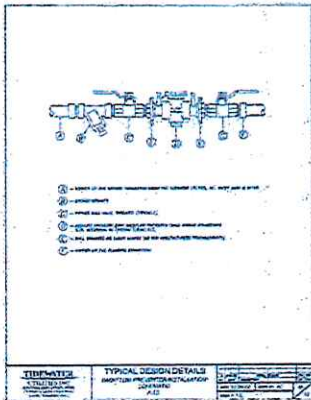
1. WATER SUPPLY BY TOWN WATER UTILITIES. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH TOWN/STATE STANDARDS AND SPECIFICATIONS.
2. DRAINAGE CRITERIA REQUIREMENTS SHALL MEET STANDARDS AND SPECIFICATIONS OF THE STATE ENVIRONMENTAL PROTECTION AGENCY OR EQUIVALENT TO THE AMERICAN WATER WORKS ASSOCIATION STANDARDS CODE.
3. ALL WATER MAINS SHALL BE LOCATED AT LEAST 18 FEET HORIZONTALLY FROM SANITARY SEWER AND SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18 INCHES.
4. ALL PIPES SHALL HAVE A MINIMUM COVER OF 48 INCHES.
5. EXISTING SANITARY SEWER TO BE ABANDONED IN ACCORDANCE WITH SUSSEX COUNTY STANDARDS. A SUNKER DISCONNECT POINT SHALL BE OBTAINED BY A DRAINAGE LICENSEE PRIOR TO DISCONNECT.
6. THE ENTIRE WATER DISTRIBUTION SYSTEM MUST BE IN COMPLIANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE STATE DIVISION OF PUBLIC UTILITIES.
7. THE CONTRACTOR SHALL ASSESS WATER LINE LOCATION AS REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
8. THE CONTRACTOR SHALL PROVIDE UTILITY TRENCHES FOR ALL HORIZONTAL AND VERTICAL BIRDS AS REQUIRED FOR STANDARDS AND SPECIFICATIONS OF TOWN WATER UTILITIES.
9. WATER MAINS 6" AND ABOVE SHALL BE ORN CLIPS PVC.
10. SUNKER MAINS SHALL BE POLYETHYLENE GLYCOL (PE) OR 11 CLASS 150.
11. OWNER: AMERICAN STORAGE OF DELAWARE, LLC, 14111 CONSTRUCTION@AMERICANSTORAGE.COM
12. FOR DOMESTIC SERVICE, TOWN WATER UTILITIES RESPONSIBILITY WILL END AT THE 2" CURB STOP.
13. FOR FIRE SERVICE, TOWN WATER UTILITIES RESPONSIBILITY WILL END AT THE FIRE SERVICE SHUT-OFF VALVE.

**SCALED ENGINEERING**  
 Social Engineering Inc.  
 1000 North Main Street, 3rd Floor  
 Lewes, Delaware 19658  
 Phone: (302) 238-2800

**AMERICAN STORAGE OF DELAWARE**  
**COASTAL HIGHWAY**  
 TAX MAP: 235-23.00-51.00  
 16262 COASTAL HWY, LEWES, DE, 19958, BROADKILL HUNDRED

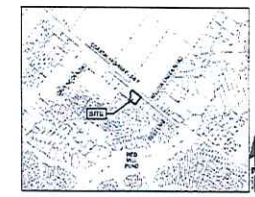
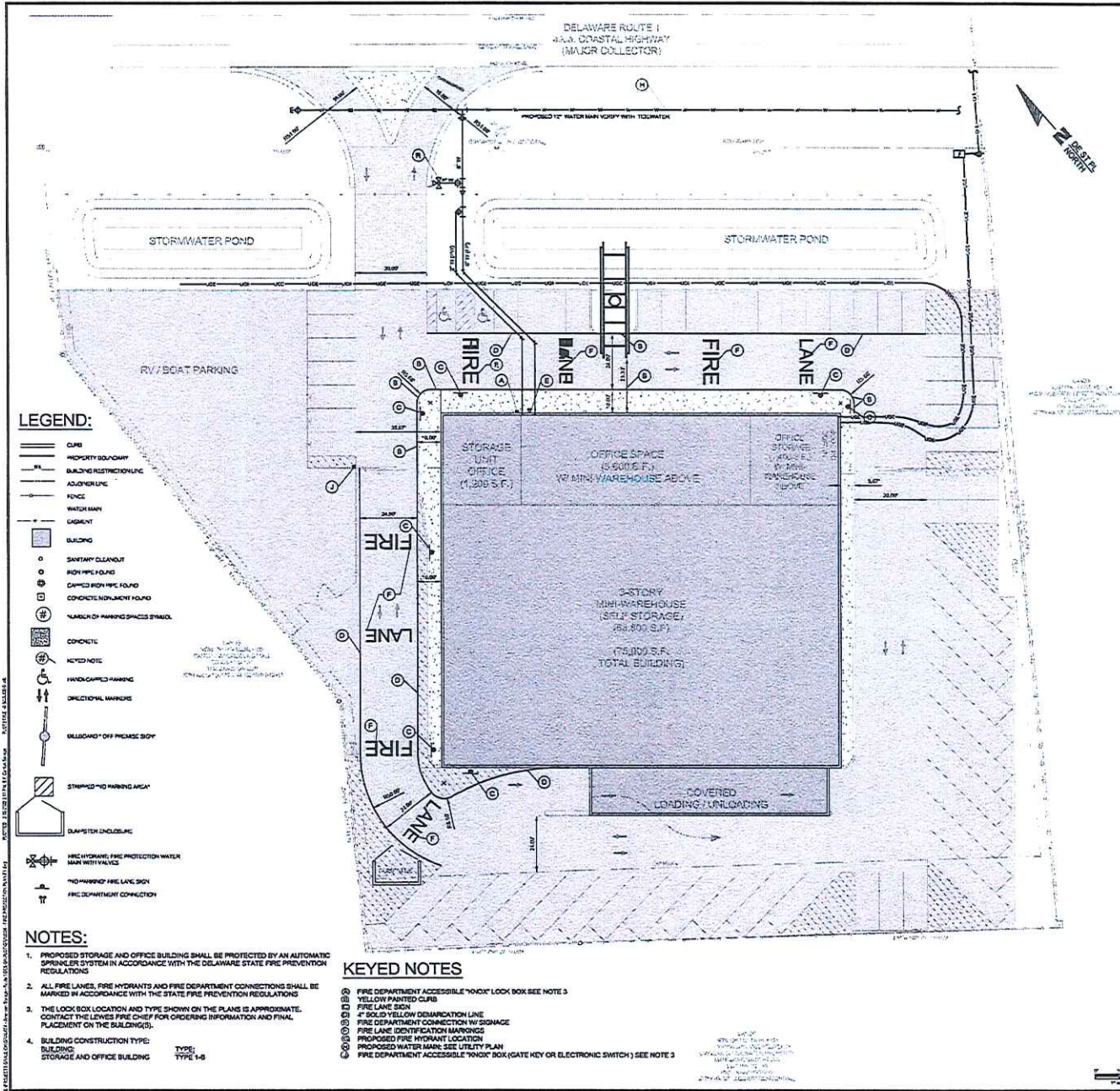
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DRAWN BY:	1004
PROJECT NO.:	240-0004

U-1



AMERICAN STORAGE OF DELAWARE  
COASTAL HIGHWAY  
TAX MAP: 235-23.00-51.00  
16262 COASTAL HWY., LEWES, DE, 19958, BROADKILL HUNDRED

DATE: 11-26-22  
SCALE:  
DRAWN BY: EM  
PROJECT NO.: 044024



LOCATION MAP  
SCALE: 1" = 2,000'

**SITE DATA:**

- TAX MAP NUMBERS: 235-23.00-51.00
- ADDRESS: 16262 COASTAL HWY LEWES, DE 19958
- OWNERS: AMERICAN STORAGE OF DELAWARE LLC, 113 DICKINSON ST., STE 100, DOWNEY BEACH, DE, 19971
- ZONING: EXISTING: C-1 (GENERAL COMMERCIAL); PROPOSED: C-1 (GENERAL COMMERCIAL)
- USE: EXISTING: VACANT LOT; PROPOSED: 3 STORY WAREHOUSE (SELF STORAGE) = 70,000 SQ FT OFFICE = 5,000 SQ FT BUILDING HEIGHT TO BE LESS THAN 42'
- BUILDING SETBACKS: C-1 (GENERAL COMMERCIAL); FRONT: 60'; SIDE: 5'; REAR: 30'
- AREAS: EXISTING: 2.61 AC; PROPOSED: 2.61 AC
- NET DEVELOPMENT AREA: 2.61 AC
- SEWER PROVIDER: SUSSEX COUNTY
- WATER PROVIDER: CURRENT: PRIVATE; PROPOSED: TIDEWATER
- THIS PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOOD ZONE, DELINEATED BY THE NATIONAL FLOOD INSURANCE PROGRAM AS SHOWN AS ON FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 190650218R (REVISED MARCH 16, 2015).
- NO WETLANDS ARE ON SITE PER THE DNRSC NAVMAP.

**PARKING / LOADING REQUIREMENTS:**

OFF-STREET PARKING - (PER CODE SECTIONS 115-152A & 45-6)

REQUIRED PARKING	REQUIREMENTS	PROVIDED
WAREHOUSE (STORAGE FACILITY)	0 SPACES REQUIRED	16 SPACES PROVIDED
OFFICE (1 SPACE PER 200 SQ FT)	25 SPACES REQUIRED	3 SPACES PROVIDED
HANDICAP PARKING (1-2% PARKING SPACES)	1 SPACES REQUIRED	1 SPACES PROVIDED
<b>TOTAL PARKING PROVIDED:</b>		<b>20 SPACES PROVIDED</b>
19' X 30' CAR TRUCK SPACES		7 SPACES PROVIDED
17' X 24' CAR TRUCK SPACES		3 SPACES PROVIDED
10' X 20' RV/BOAT SPACES		1 SPACES PROVIDED
10' X 20' RV/BOAT SPACES		2 SPACES PROVIDED
10' X 20' RV/BOAT SPACES		14 SPACES PROVIDED
10' X 40' RV/BOAT SPACES		10 SPACES PROVIDED
HANDICAP PARKING		2 VAIL SPACES PROVIDED
		<b>61 SPACES PROVIDED</b>

OFF-STREET LOADING - (PER CODE SECTIONS 115-157)

LOADING	REQUIREMENTS	PROVIDED
WAREHOUSE (STORAGE FACILITY)	LOADING SPACES REQUIRED: 0 SPACE REQUIRED	0 SPACE PROVIDED
	LOADING SPACES PROVIDED: 0 SPACE (12' X 40')	
OFFICE	LOADING SPACES REQUIRED: 1 SPACE REQUIRED	1 SPACE PROVIDED
	LOADING SPACES PROVIDED: 2 SPACE (12' X 40')	

(OFFICE LOADING PROVIDED AT THE REAR OF BUILDING COVERED)

**LEGEND:**

- CLUB
- PROPERTY BOUNDARY
- BUILDING RESTRICTION LINE
- ADJACENT LINE
- FENCE
- WATER MAIN
- EGGMENT
- BUILDING
- SANITARY CLEANOUT
- IRON PIPE FOUND
- CAPPED IRON PIPE FOUND
- CONCRETE FOUNDMENT FOUND
- NUMBER OF PARKING SPACES SYMBOL
- CONCRETE
- KEYED NOTE
- HANDICAPPED PARKING
- DIRECTIONAL MARKING
- BILBOARDS OFF PREMISES BOY
- STRIPES "NO PARKING AREA"
- SWAMPY ENCLOSURE
- FIRE HYDRANT, FIRE PROTECTION WATER MAIN WITH VALVES
- "NO PARKING" FIRE LANE SIGN
- FIRE DEPARTMENT CONNECTION

**KEYED NOTES**

- PROPOSED STORAGE AND OFFICE BUILDING SHALL BE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS
- ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS
- THE LOCK BOX LOCATION AND TYPE SHOWN ON THE PLANS IS APPROXIMATE. CONTACT THE LEASES FIRE CHIEF FOR ORDERING INFORMATION AND FINAL PLACEMENT ON THE BUILDING(S).
- BUILDING CONSTRUCTION TYPE: BUILDING STORAGE AND OFFICE BUILDING TYPE: TYPE 1-B

**ENGINEERS CERTIFICATION**

I, CARLTON R. SAVAGE, JR. HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER BY THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

CARLTON R. SAVAGE, JR., P.E. LICENSE #16437 DATE: \_\_\_\_\_

**SEAL**

**AMERICAN STORAGE OF DELAWARE**  
COASTAL HIGHWAY  
TAX MAP: 235-23.00-51.00  
16262 COASTAL HWY, LEWES, DE, 19958, BROADKILL HUNDRED

**FIRE PROTECTION PLAN**

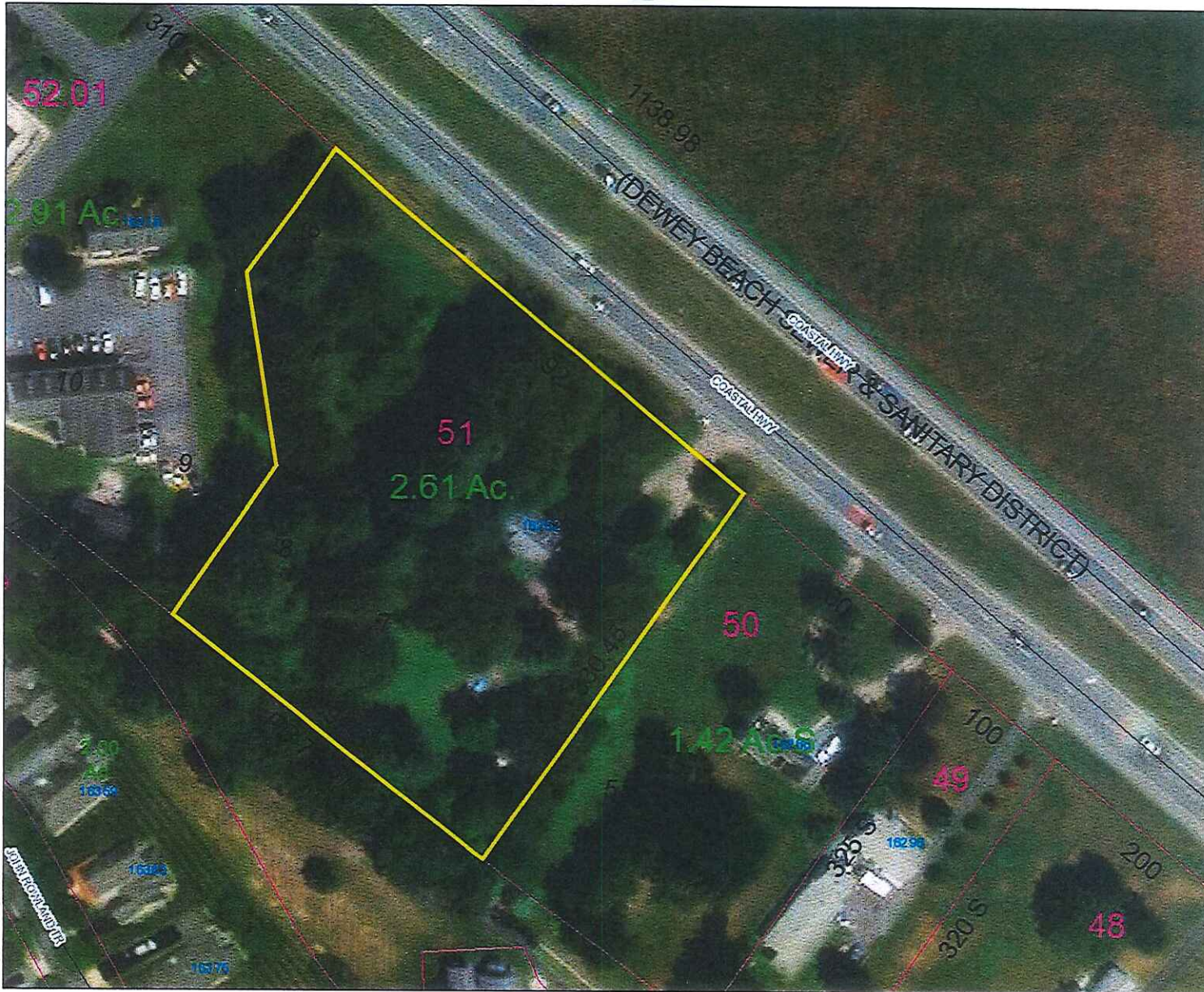
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DRAWN BY: TSM  
PROJECT NO: 23040001

**FP-1**

Exhibit D  
Aerial Maps

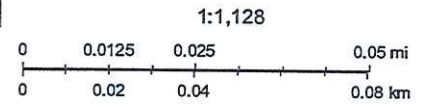


# Sussex County



<b>PIN:</b>	235-23.00-51.00
<b>Owner Name</b>	AMERICAN STORAGE OF DELAWARE LLC
<b>Book</b>	5552
<b>Mailing Address</b>	113 DICKINSON ST STE 100
<b>City</b>	DEWEY BEACH
<b>State</b>	DE
<b>Description</b>	SW/RT1 SE/CAVE NECK
<b>Description 2</b>	RD LOTS 6/7 P/O LOT
<b>Description 3</b>	8910 WITH IMP
<b>Land Code</b>	

- polygonLayer**
- Override 1
- polygonLayer**
- Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries







# Sussex County

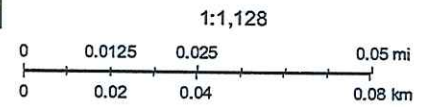


<b>PIN:</b>	235-23.00-51.00
<b>Owner Name</b>	AMERICAN STORAGE OF DELAWARE LLC
<b>Book</b>	5552
<b>Mailing Address</b>	113 DICKINSON ST STE 100
<b>City</b>	DEWEY BEACH
<b>State</b>	DE
<b>Description</b>	SW/RT1 SE/CAVE NECK
<b>Description 2</b>	RD LOTS 6/7 P/O LOT
<b>Description 3</b>	8910 WITH IMP
<b>Land Code</b>	

- polygonLayer**

  - Override 1
- polygonLayer**

  - Override 1
- ⋮ Tax Parcels
- 911 Address
- Streets



March 31, 2022

# Aerial Map

## Legend

- 16262 Coastal Hwy
- Clinic By The Sea
- Feature 1
- Feature 2
- Harvard Business Services, Inc
- NATIONAL WILDLIFE REFUGE
- Red Mill Inn



SQUARE FOOTAGE / PERMIT FEE

SIZE OF SIGN (sq. ft.)	ANNUAL FEE (per panel)
0 to 30	\$5
31 - 100	\$10
101 - 300	\$15
> 300	\$20

Application  
for  
Outdoor Advertising Permit



Delaware  
Department of Transportation

OFFICE USE ONLY

Date received: \_\_\_\_\_  
 Time received: \_\_\_\_\_  
 Received by: \_\_\_\_\_  
 Check No.: \_\_\_\_\_  
 Amount Paid: \_\_\_\_\_  
 Date Approved: \_\_\_\_\_  
 GPS Coord: \_\_\_\_\_  
 Owner ID: \_\_\_\_\_  
 Structure ID: \_\_\_\_\_

Sign will be attached to a building or other structure that is not specifically a free standing sign structure (check if yes)   
 Application is for a public service / school bus shelter sign (check if yes and attach State Department of Education permission)

Sign Owner (Individual or company responsible for billing): American Storage of Delaware, LLC

Address (for billing & legal notices): 113 Dickinson Street

City / State / Zip: Dewey Beach, DE 19971

Telephone #: (202)905-6706

E-Mail: farmerslawyer@aol.com

If Sign Owner is a foreign national, non-resident alien or non-Delaware Corporation, institution or agency, bond may be required (check if yes)

Property Owner (If different than above): See Sign Owner Information.

Mailing Address:

City / State / Zip:

Telephone #:

Sign Installer:

E-Mail:

Telephone #:

The complete footprint of the sign (supports and both outside edges of the advertising area) as well as the Right of Way must be staked in the field prior to approval being granted. Is the sign site completely marked? Yes  No

If no, date site will be marked: \_\_\_\_\_

Sign location (physical street address): 16262 Coastal HWY, Lewes, DE 19958

Tax Parcel ID: 235-23.00-51.00

Within city/town limits?  Yes  No

If yes, name of municipality: Sussex County

Zoning: C-1

Is zoning conditional?  Yes  No

Setback (distance from r-o-w to edge of sign nearest r-o-w) 40 ft.

(If yes, explain on back of form)

Number of Sign Facings  One  Two

Number of Panels per Face  One  Two

Face	Panel	Area	Length	Height
Face One	Panel One	288 sq. ft.	24 ft.	12 ft.
	Panel Two	288 sq. ft.	24 ft.	12 ft.
Face Two	Panel One	288 sq. ft.	24 ft.	12 ft.
	Panel Two	288 sq. ft.	24 ft.	12 ft.

Total Annual Fee (example: # panel(s) x \$/panel): \$ 80.00

Surface Treatment  Poster  Painted  LED  Other

Support Type  Wood  Metal  Monument

Will the sign be illuminated?  Yes  No

Premise  On-premise  Off-premise

Type of Display  1. Back-to-Back  2. Side-by-Side  3. Single Face  4. V-Type  5. Stacked

Clearance (bottom of sign to ground) 35 ft.

Electronic Variable Message  Yes  No

A plot plan showing the location of the proposed sign structure (on the Tax ID / Map Number noted) as well as a diagram of the proposed sign structure (with dimensions) must be submitted with this application.

State of Delaware Outdoor Advertising Permits are **NOT** building permits!

You **MUST** have a county or municipal building permit, a letter of permission, or a letter of no objection to legally maintain any type or form of outdoor advertising sign, display, or device. If you erect a sign, display, or device without obtaining local permission or approval, your State Outdoor Advertising permission will be revoked and the sign, display, or device will be required to be REMOVED. Should the sign, display, or device fall into a state of disrepair, the Department reserves the right to revoke any permits issued after 30 days written notice. CONSTRUCTION MUST BEGIN WITHIN 6 MONTHS AND COMPLETED WITHIN 1 YEAR OF THE DATE OF THE APPROVAL LETTER.

Use this space to provide details if the signs location is conditionally zoned, or to provide any other necessary explanations or further details about any of the answers given on the front of this form, or to give any additional information that may be useful to the approval process for the sign, display, or device. (If necessary, attach additional sheets).

Special Use Exception required for off-premises sign pursuant to Sussex County's Zoning Ordinance.

By my signature below, I agree to all terms, conditions, definitions and regulations for Outdoor Advertising as specified in and by this form and its attendant instructions, definitions and advisories, and as further specified in and by the laws of the State of Delaware and in and by the regulations of its Department of Transportation. I further attest by my signature below that the information provided by me and / or my representatives or agents pertaining to this application (including related documents), is true, accurate, and complete to the best of my knowledge.

Signature (must be owner of sign): [Signature] Date: May 25, 2022  
print name here: American Storage of Delaware by Alexander J Pires Jr, Manager

**AFFIDAVIT (of property owner)**

This form must be notarized **ONLY** if the advertising sign, display, or device is to be erected on **PRIVATE** property that is **NOT** owned by the same person(s) or entity that will be the owner(s) of the advertising sign, display, or device.

State of Delaware County of Sussex  
On this 25 day of the month of May in the year 2022, before me personally appeared Alexander J Pires Jr, who being duly sworn according to law doth depose and say that the information given herein and in accompanying documents is true to his / her best knowledge and belief.

MEGGIN LOUISE HOLTZCLAW  
Notary Public  
State of Delaware  
My Commission Expires on Oct 30, 2022

Property Owners Signature: [Signature]  
Notary's Signature: Meggin Louise Holtzclaw  
commission expires 10/30/22

**DeIDOT CONTACTS**

North / Canal District (New Castle County)  
Outdoor Advertising Agent, Public Works Section  
250 Bear Christiana Road Bear, DE 19701 (302) 326-4688

Central District (Kent County)  
Outdoor Advertising Agent, Public Works Section  
930 Public Safety Blvd. Dover, DE 19901 (302) 760-2443

South District (Sussex County)  
Outdoor Advertising Agent, Public Works Section  
23697 DuPont Blvd. Georgetown, DE 19947 (302) 853-1327



State of Delaware

*Department of Transportation*

23697 DuPont Boulevard

Georgetown, DE 19947

NICOLE MAJESKI  
SECRETARY

July 20, 2022

American Storage of Delaware, LLC.  
113 Dickinson Street  
Dewey Beach, DE 19971

Dear Mr. Pires:

The Roadside Control Section of the Department of Transportation is charged with the responsibility of enforcing statutory regulations pertaining to Outdoor Advertising as set forth under Title 17, Chapter 11, of the Delaware Code.

The Department has received your outdoor advertising application for a new static off-premise billboard to be situated on the property belonging to American Storage of Delaware, LLC. with a (tax parcel #: 235-23.00-51.00) located on SCR 014 / (Coastal Hwy.) in Sussex County.

I have reviewed the proposed site plan that was submitted, as well as the application. As long as the sign is constructed per the specifications submitted, and the required building permits are obtained by the local land use authority, the Department has no objection to the proposed sign application. It is the responsibility of the sign owner to seek approval from the local authority before the installation of the sign.

This letter serves as a letter of no objection to assist with your application to the Board of Adjustment. This letter **does not** grant permission to construct the sign. Should the Board of Adjustment approval be granted for this sign structure, you must notify the Department in writing and provide all necessary documentation, including the Board of Adjustment findings and any revisions to the sign structure that may have occurred. Once the Department has received all necessary documentation and verified that conditions for approval have been met, a Notice to Proceed letter will be issued to allow for the construction of the sign.

Mr. Pires  
Page 2  
July 20, 2022

This letter of no objection is provided to you as a courtesy to assist you in securing approval from the appropriate entities prior to the construction of the sign structure. **This letter is not a permit.**

Should you have any questions or concerns, or schedule your pre-construction or final inspection, please contact me at (302) 259-7074, or by email at [amber.godwin@delaware.gov](mailto:amber.godwin@delaware.gov).

Sincerely,

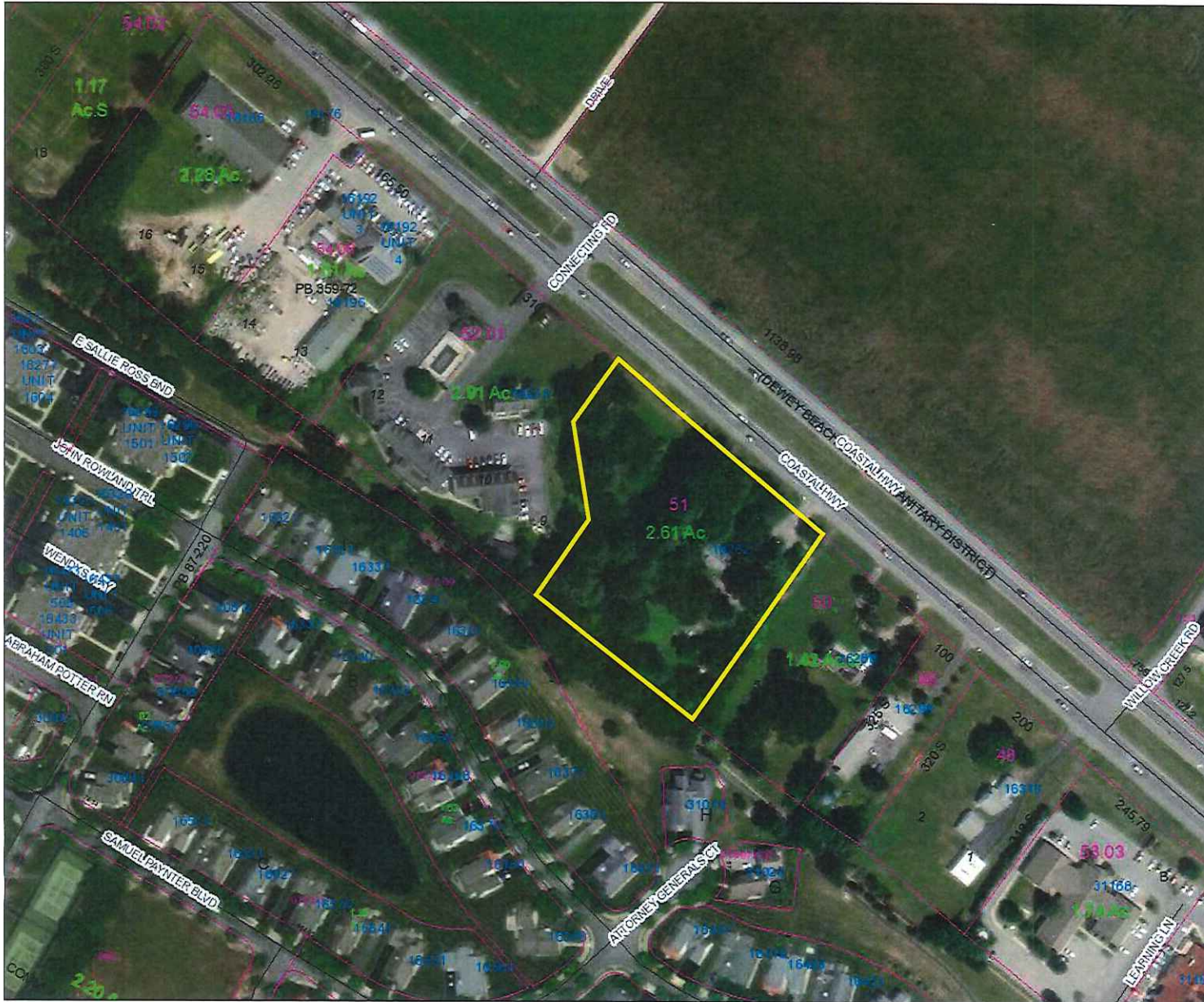


Amber Godwin  
Investigator 1  
South District / DOT

ARG/ag  
By certified mail  
Cc: Christopher King, Roadside Control Manager

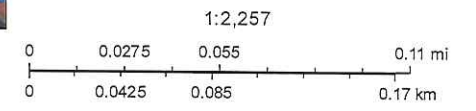


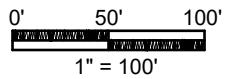
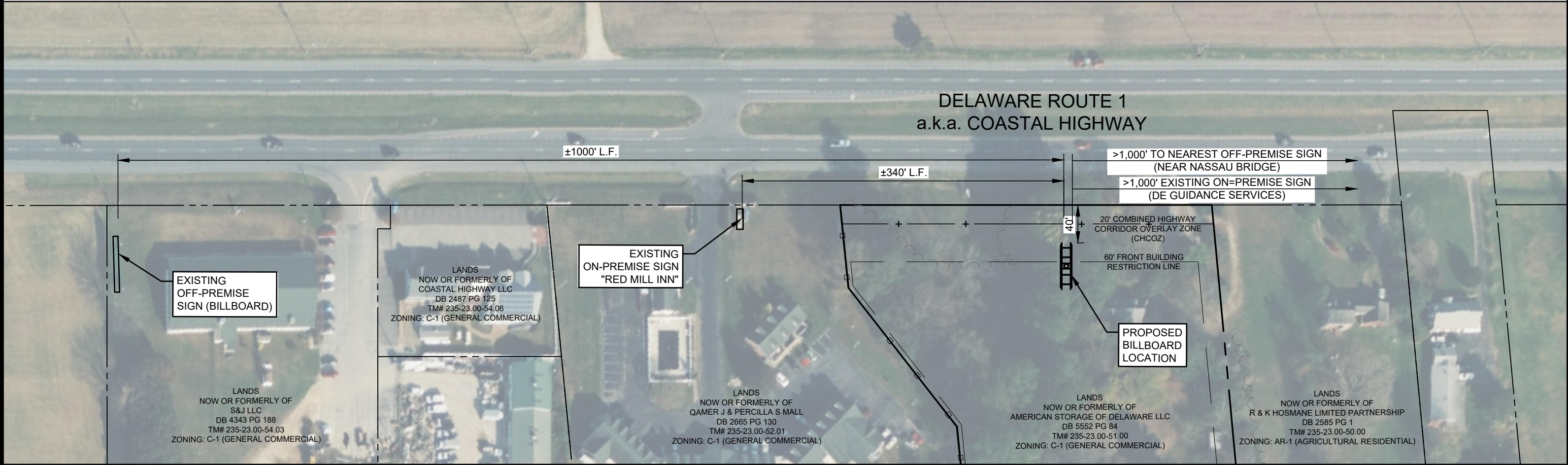
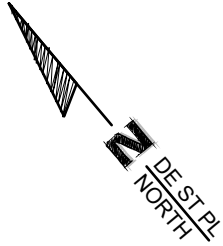
# Sussex County



<b>PIN:</b>	235-23.00-51.00
<b>Owner Name</b>	AMERICAN STORAGE OF DELAWARE LLC
<b>Book</b>	5552
<b>Mailing Address</b>	113 DICKINSON ST STE 100
<b>City</b>	DEWEY BEACH
<b>State</b>	DE
<b>Description</b>	SW/RT1 SE/CAVE NECK
<b>Description 2</b>	RD LOTS 6/7 P/O LOT
<b>Description 3</b>	8910 WITH IMP
<b>Land Code</b>	

- polygonLayer
  - Override 1
- polygonLayer
  - Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- Municipal Boundaries



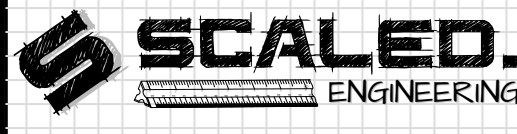


### AMERICAN STORAGE OF DELAWARE, LLC. BILLBOARD EXHIBIT

FOR PROPERTY KNOWN AS:  
16262 COASTAL HWY.  
REHOBOTH BEACH, DE 19971  
TM: # 235-23.00-51.00  
LEWES & REHOBOTH HUNDRED | SUSSEX COUNTY | DELAWARE  
DATE: AUGUST 30, 2022      SCALE: 1" = 100'  
PROJECT: GRAU004

#### LEGEND:

- PROPERTY BOUNDARY
- BUILDING RESTRICTION LINE
- ADJOINER LINE
- FENCE
- WOODLINE
- EASEMENT



Scaled Engineering Inc.  
20246 Coastal Highway  
Rehoboth Beach, DE 19971  
Phone: (302) 227-7808



**Board of Adjustment Application  
Sussex County, Delaware**

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

Case # 12735  
Hearing Date 9-19-22

202208168

**Type of Application: (please check all applicable)**

Variance   
Special Use Exception   
Administrative Variance   
Appeal

Existing Condition   
Proposed   
Code Reference (office use only)  
115-42 115-182

**Site Address of Variance/Special Use Exception:**

28526 Cerise Lane, Millsboro, DE 19966

**Variance/Special Use Exception/Appeal Requested:**

We want to keep new home facing the same direction as current home. This maximizes use of land.

**Tax Map #:** 2-34-34, 12-01, 01

**Property Zoning:** GR

**Applicant Information**

Applicant Name: C. Price and Sharon G. Fanning  
Applicant Address: 2412 Calf Run Dr  
City Wilmington State DE Zip: 19808  
Applicant Phone #: 302.584.0671 Applicant e-mail: SharonGail26@gmail.com

**Owner Information**

Owner Name: C. Price and Sharon G. Fanning  
Owner Address: 2412 Calf Run Dr.  
City Wilmington State DE Zip: 19808 Purchase Date: 5-26-2004  
Owner Phone #: 302.584.0671 Owner e-mail: SharonGail26@gmail.com

**Agent/Attorney Information**

Agent/Attorney Name: \_\_\_\_\_  
Agent/Attorney Address: \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip: \_\_\_\_\_  
Agent/Attorney Phone #: \_\_\_\_\_ Agent/Attorney e-mail: \_\_\_\_\_

**Signature of Owner/Agent/Attorney**

[Signature]

Date: 6-3-2022



**Criteria for a Variance:** (Please provide a written statement regarding each criteria).

You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.

In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.

**1. Uniqueness of property:**

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

The lot is narrower on one side compared to other. Home is located between a lagoon and the road which can't be changed. There is not enough room to place home on narrow section of land.

**2. Cannot otherwise be developed:**

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

Due to shape of the property this is the placement of the home to maximize use of land due to lagoon and road.

**3. Not created by the applicant:**

That such exceptional practical difficulty has not been created by the appellant.

Property line defined by prior owner and not appellant

**4. Will not alter the essential character of the neighborhood:**

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

Construction of new home has a similar footprint as current home on lot

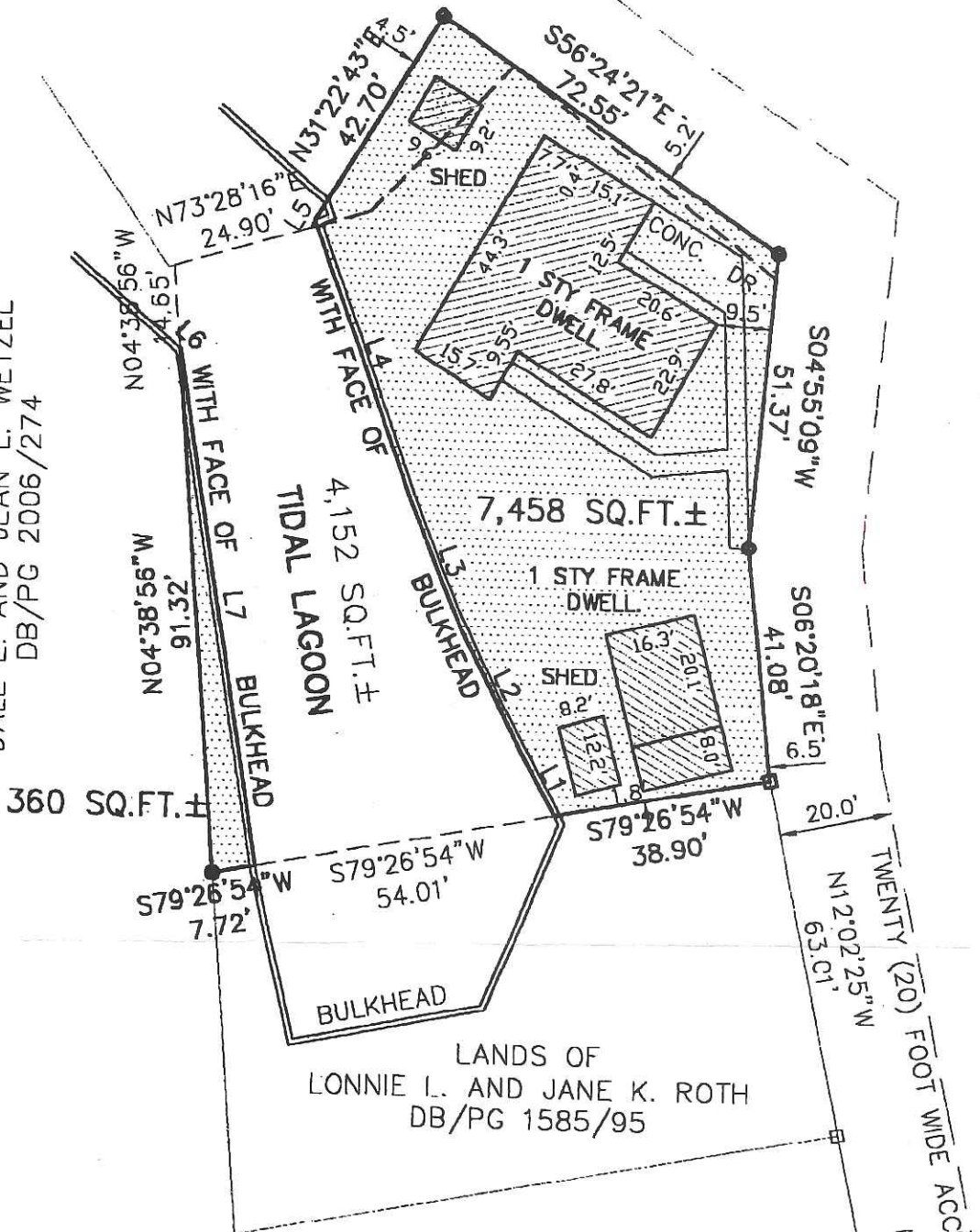
**5. Minimum variance:**

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

Due to lagoon this variance represents the least modification possible

LANDS OF  
OAK WAY, INCORPORATED  
DB/PG 2160/53

LANDS OF  
DALE E. AND JEAN L. WETZEL  
DB/PG 2006/274



RECORD PLAT

1" = 30'

LANDS OF  
OAK WAY, INCORPORATED  
DB/PG 2160/53

- DENOTES IRON PIPE FOUND
- DENOTES CONC. MON. FOUND

LINE TABLE		
LINE	LENGTH	BEARING
L1	12.12	N28°44'27"W
L2	24.01	N27°35'14"W
L3	24.26	N22°51'12"W
L4	51.83	N20°32'00"W
L5	1.64	S31°22'43"W
L6	0.30	N49°37'27"W
L7	90.63	S09°22'32"E

R/W  
CO. RD. 312

THIS PLAT WAS PREPARED WITHOUT A REVIEW OF TITLE, WHICH MAY DISCLOSE RIGHTS-OF-WAYS, EASEMENTS, AND RESTRICTIONS PERTINENT TO THIS PROPERTY. THE PUBLIC/PRIVATE SERVICE UTILITIES SHOWN DO NOT PRECLUDE THE EXISTENCE OF ADDITIONAL PUBLIC/PRIVATE RIGHTS TO THE PROPERTY.

IMPROVEMENT LOCATION SURVEY  
**LANDS OF GEORGE T. AND GERTRUDE D. MONIZ**  
 INDIAN RIVER HD., SUSSEX CO., ST. OF DELAWARE  
 DEED/PAGE 784/27 & 2107/142, PLAT/PAGE 56/3&4, TM 2-34-34.12-1.01  
 SURVEYED BY: DOUGLAS L. PARKER & ASSOCIATES, SEAFORD, DE.  
 MAY 13, 2004, CLASS "B" SURVEY, CAD FILE: \MONIZGT\MONIZGT1

**NOTES:**

• Other than shown, this plat and survey does not verify the existence or nonexistence of right-of-ways and/or easements pertaining to this property. Including but not limited to Tax Ditch Easements.

• No title search provided or stipulated.

**REFERENCE DATUM NOTES:**

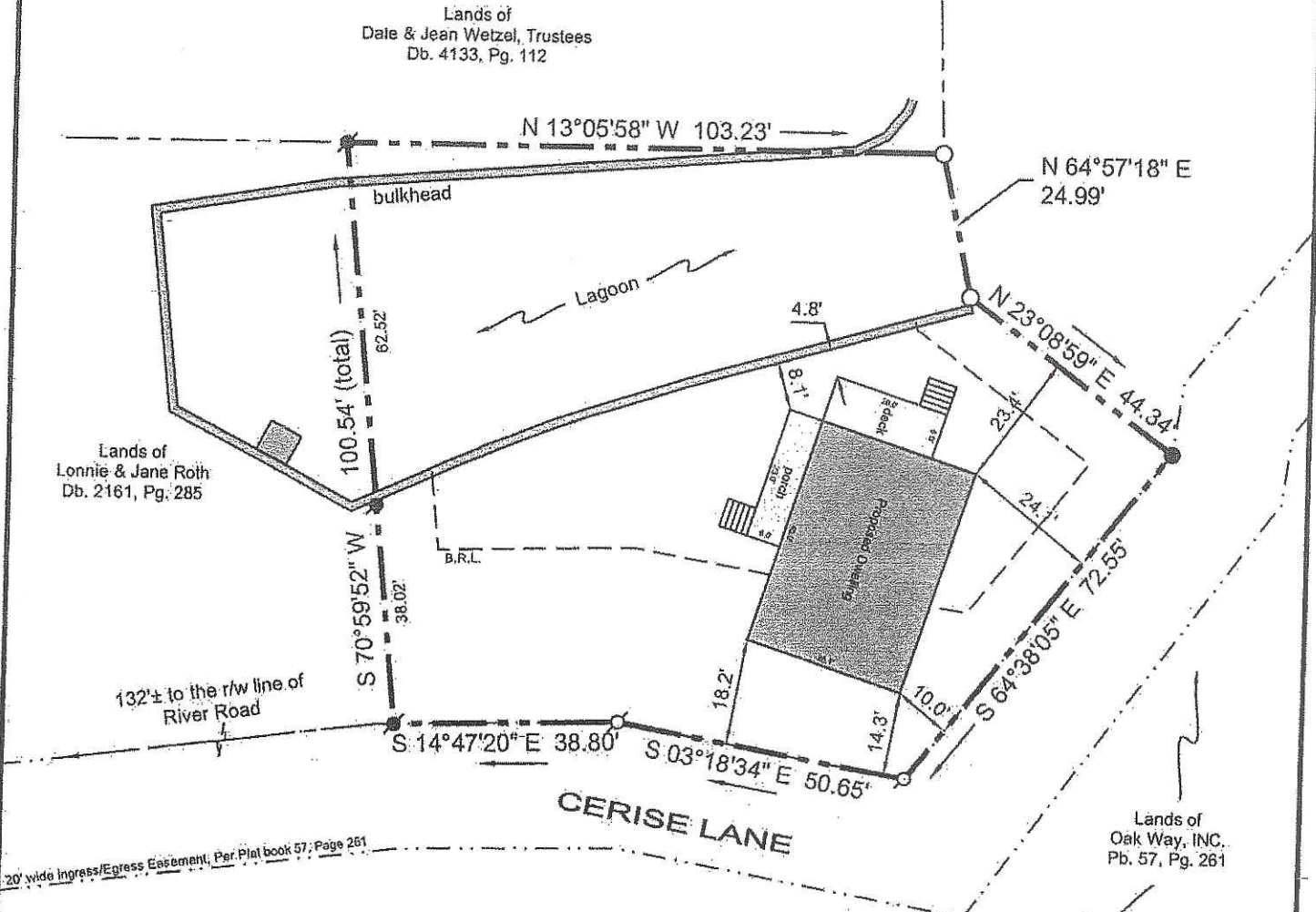
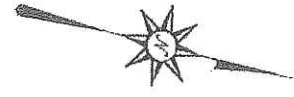
1. VERTICAL DATUM: NAVD '88  
(North American Vertical Datum of 1988)
2. HORIZONTAL DATUM: NAD '83  
(North American Datum of 1983)

**(B.R.L.) BUILDING RESTRICTION LINES  
PER SUSSEX COUNTY**

- FRONT- 30'
- SIDES - 10'
- REAR - 10'
- ZONING - GR

**NOTE:**

• Restrictions shown hereon were obtained by a search of the eCODE360 Library ([www.generalcode.com/library/#DE](http://www.generalcode.com/library/#DE)). No representation is made for the accuracy or completeness of said third party information. This firm is not an expert in the interpretation of complex zoning ordinances, compliance is beyond the scope of this survey. Any user of said information is urged to contact the local agency directly.



- ⊘ 5/8" REBAR (SET)    ○ POINT
- ⊙ 5/8" REBAR (FD)    ● 3/4" PIPE (FD)
- B.R.L. BUILDING RESTRICTION LINE
- SCALE: 1"=30'

Lands of PRICE C. FANNING  
and SHARON G. FANNING.  
Ref: Plat Book 106, Pg. 157.

**FIRM INFORMATION:**  
100029 - 0481 - K  
MARCH 16, 2015  
ZONE: "AE", B.F.E.= 7.0'  
CLASS "B" SURVEY

AREA: 11,685 SQ. FT.  
TAX MAP NO. 2-34-34.12-01.01

Revised: 05-18-2022, Proposed Site plan.  
Revised: 05-23-2022, Proposed decks.

HUNDRED: INDIAN RIVER
COUNTY: SUSSEX
STATE OF DELAWARE
DATE OF ORIGINAL: 05-04-2022
DRAWN BY: MICHAEL LOVELAND

**Simpler Surveying & Associate, Inc.**  
32486 POWELL FARM ROAD, FRANKFORD, DE 19945  
[www.delawaresurveyor.com](http://www.delawaresurveyor.com)  
PHONE: (302) 539-7873 FAX: (302) 539-4336



I, Gregory M. Hook, registered as a Professional Land Surveyor in the State of Delaware, hereby state that the information shown on this plan has been prepared under my supervision and meets the standards of practice as established by the State of Delaware Board of Professional Land Surveyors. Any changes to the property conditions, improvements, boundary or property corners after the date shown hereon shall necessitate a new review and certification for any official or legal use.





# Sussex County

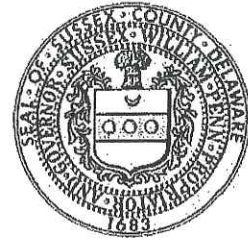
DELAWARE  
PLANNING & ZONING DEPARTMENT

[sussexcountyde.gov](http://sussexcountyde.gov)

302-855-7878 T

302-854-5079 F

JAMIE WHITEHOUSE, AICP, MRTPI  
DIRECTOR



## SETBACK INFORMATION REQUEST

Date of Request 5/2/22 Zoning District GR  
Customer Name Michael Loveland  
Customer Contact mike@delawaresurveyor.com  
Tax Parcel ID 234-34.12-1.01 Lot/Unit Number \_\_\_\_\_  
Parcel Address 28526 Cerise Ln  
Front Yard Setback 30'  
Side Yard Setback 10'  
Rear Yard Setback 10'  
Corner Front Yard Setback N/A  
Maximum Height 42'

The Customer was provided general zoning setbacks, as a specific parcel was not identified. Therefore, the setbacks provided may not be for a specific parcel. The setbacks could be different based on the specific nature of the property.

### Additional Notes:

Principal setbacks only  
Flood Zone: AE  
Wetlands along lagoon subject to 50' buffer

Name of Staff Member Jesse Lindenberg

Checked By

Lauren DeVore, Planner III



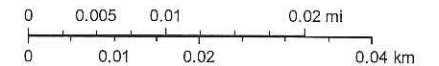
# Sussex County



<b>PIN:</b>	234-34.12-1.01
<b>Owner Name</b>	FANNING C PRICE & SHARON G
<b>Book</b>	2991
<b>Mailing Address</b>	2412 CALF RUN DR
<b>City</b>	WILMINGTON
<b>State</b>	DE
<b>Description</b>	126' N OF RD 312
<b>Description 2</b>	632' W OF S END OF
<b>Description 3</b>	RT 5
<b>Land Code</b>	

- polygonLayer**
  - Override 1
  - Tax Parcels
  - 911 Address
  - Streets
  - County Boundaries
- Tax Ditch Segments**
  - Tax Ditch Channel
  - DeIDOT Maintained
  - HOA Maintained
  - Pipe - DeIDOT
  - Pipe - Tax Ditch
  - Pipe - Private
  - Pond Feature
- Special Access ROW
- Municipal Boundaries

1:564







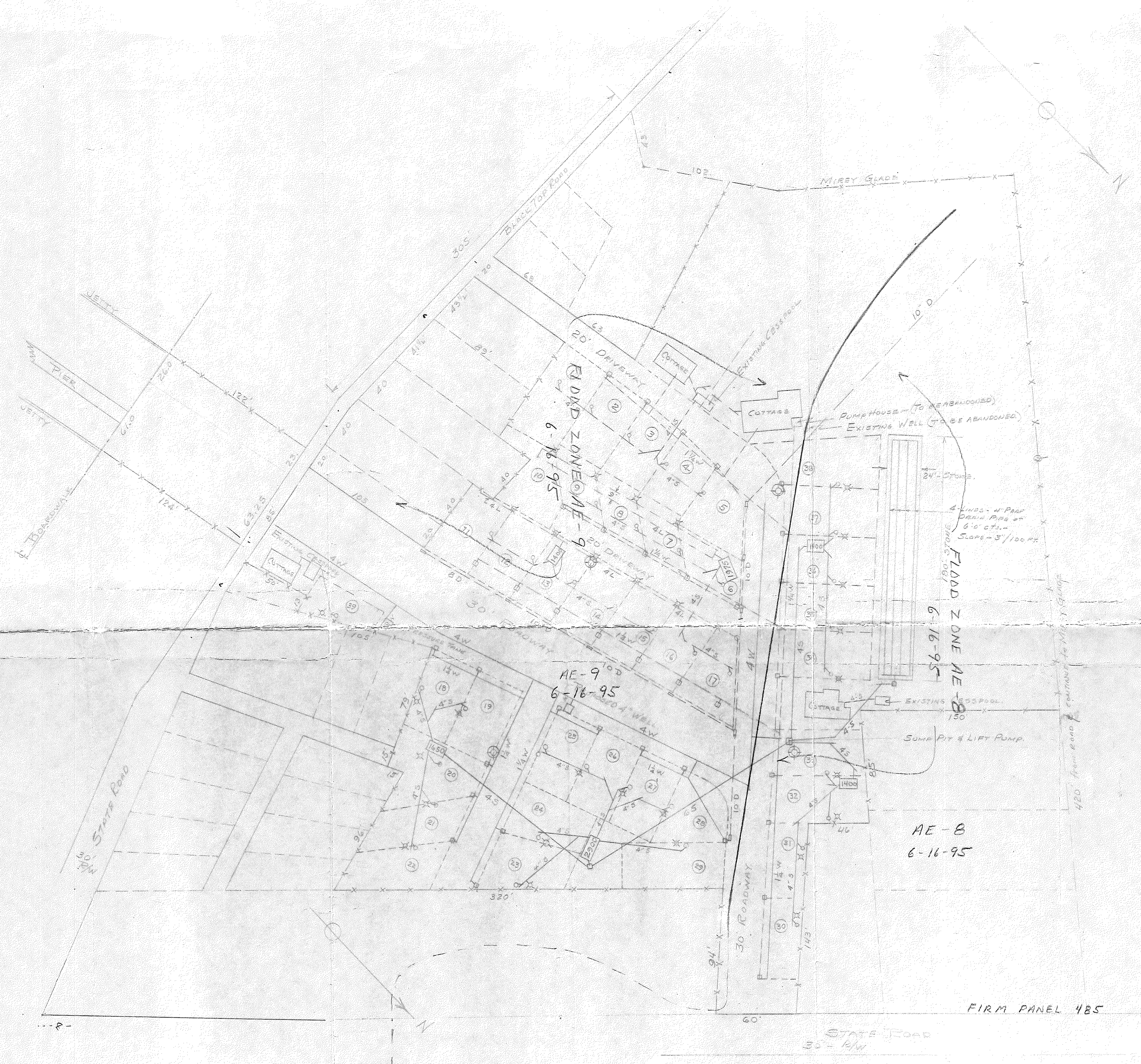
SYMBOLS

- WATER CONNECTION
- ⊕ SEWER CONNECTION
- ⊗ ELECTRIC CONNECTION
- ⊙ YARD LIGHTING
- ▭ CATCH BASIN - SURFACE DRAINAGE
- ▭ (150) SEPTIC TANK \* CAPACITY - Gals.
- 2W WATER LINES \* SIZE  
 Proposed  
 Existing
- 4S SEWER LINES \* SIZE - Slope 1/8" / Ft.  
 Proposed  
 Existing
- 4L PERK LEACHING PIPES \* SIZE - Slope 3" / 100 ft.  
 Proposed  
 Existing
- 10.0 STORM DRAIN LINES \* SIZE  
 Existing

NOTES

PLUMBING AND SEWAGE DISPOSAL SHALL BE INSTALLED IN ACCORDANCE WITH EXISTING STATE PLUMBING CODE -

ELECTRICAL - UNDERGROUND SERVICE SHALL BE INSTALLED TO CONFORM TO NATIONAL ELECTRICAL CODE -



SCALE - 1" = 40'-0"

MOBILE HOME PARK AT  
 OAK ORCHARD, DEL.  
 OWNER - JOHN T. SATTERFIELD  
 L. HARRINGTON, DEL.  
 DEC. 22, 1995

FIRM PANEL 485

Case # 12736  
Hearing Date \_\_\_\_\_  
202208318

**Board of Adjustment Application  
Sussex County, Delaware**

Sussex County Planning & Zoning Department  
2 The Circle (P.O. Box 417) Georgetown, DE 19947  
302-855-7878 ph. 302-854-5079 fax

**Type of Application: (please check all applicable)**

Variance   
Special Use Exception   
Administrative Variance   
Appeal

Existing Condition   
Proposed   
Code Reference (office use only)  
115-83.22 115-102

**Site Address of Variance/Special Use Exception:**

36645 Tanger Boulevard, Rehoboth Beach, DE 19971

**Variance/Special Use Exception/Appeal Requested:**

Currently conducting business on a temporary variance. Applying for a permanent variance.

**Tax Map #:** 334-13.-325.52 & .53

**Property Zoning:** C-3

**Applicant Information**

Applicant Name: Schell Brothers LLC  
Applicant Address: 20184 Phillips Street  
City Rehoboth Beach State DE Zip: 19971  
Applicant Phone #: (302) 381-6111 Applicant e-mail: ALYSSA.TITUS@SCHELLBROTHERS.COM

**Owner Information**

Owner Name: Tanger Factory Outlets Centers, Inc.  
Owner Address: 3200 Northline Avenue Suite 326  
City Greensboro State NC Zip: 27408 Purchase Date: \_\_\_\_\_  
Owner Phone #: (302) 278-1414 Owner e-mail: JOEY.VENEZIA@TANGEROUTLETS.COM

**Agent/Attorney Information**

Agent/Attorney Name: Jonathan Horner, Esq.  
Agent/Attorney Address: 20184 Phillips Street  
City Rehoboth Beach State DE Zip: 19971  
Agent/Attorney Phone #: (443) 614-9447 Agent/Attorney e-mail: JON.HORNER@SCHELLBROTHERS.COM

**Signature of Owner/Agent/Attorney**

JAD

Date: 6/6/22



**Criteria for a Variance:** (Please provide a written statement regarding each criteria).

*You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.*

*In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.*

**1. Uniqueness of property:**

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

Tanger Outlets is a shopping center. The section of this property being sought for permanent variance remained undeveloped by Tanger for several years and there was no plan for them to use this space otherwise.

---

**2. Cannot otherwise be developed:**

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

Due to the unique location, access, topography and what would be required for similar use of this part of the property to be utilized as shopping/parking it was not feasible or cost effective for the owner to develop this section of the property.

---

**3. Not created by the applicant:**

That such exceptional practical difficulty has not been created by the appellant.

Exceptional practical difficult has not been created by the applicant. Excellent use of this portion of the parcel is being successfully utilized by the applicant under a temporary variance.

---

**4. Will not alter the essential character of the neighborhood:**

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

This variance does and will continue to enhance the essential character of the neighborhood and does not affect the appropriate use or development of adjacent property, nor will it be detrimental to the public welfare. The use of this property under the current temporary variance is of great benefit to the owner as well as the community at large.

---

**5. Minimum variance:**

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

A permanent variance will represent the no change to the current temporary variance or modification to the the current regulations of use of this site.

**Criteria for a Special Use Exception:** (Please provide a written statement regarding each criteria)

*You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Special Use Exception to be granted.*

1. Such exception will not substantially affect adversely the uses of adjacent and neighboring property.

This variance does and will continue to enhance the essential character of the neighborhood and does not affect the appropriate use or development of adjacent property, nor will it be detrimental to the public welfare. The use of this property under the current temporary variance is of great benefit to the property owner as well as the community at large.

---

2. Any other requirements which apply to a specific type of special use exception as required by the Sussex County Code. (Ex. Time limitations – 5 year maximum)

None

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**Basis for Appeal:** (Please provide a written statement regarding reason for appeal)

Request for temporary variance to be made permanent as the use of this area of the property has proven to be beneficial to both the current owners, by bringing in more traffic to their retail stores, and to the community at large, giving them wholesome gathering places that are free or low cost during the holiday season and other times of the year.

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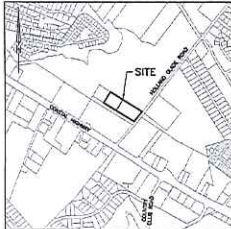
# SCHELLVILLE

## LEWES REHOBOTH CANAL WATERSHED LEWES & REHOBOTH HUNDRED SUSSEX COUNTY, DELAWARE

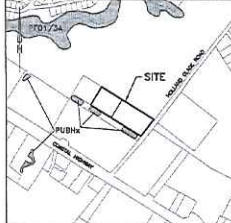
DBF # 1319A059.A01  
SEDIMENT & STORMWATER  
MANAGEMENT PLAN  
SEPTEMBER, 2021  
REVISED: 3-30-2022

### EROSION AND SEDIMENT CONTROL NOTES

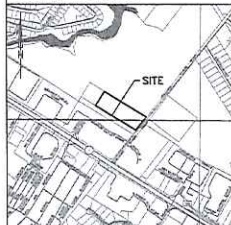
1. THE SUSSEX CONSERVATION DISTRICT MUST BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
2. REVIEW AND APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM EROSION OR SLOPE FAILURE OF THE PROJECT PLAN.
3. IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY ON-SITE OR THE DELEGATED AGENT.
4. FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER SEDIMENT CONTROLS, SOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
5. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
6. AT ANY TIME A DENATURING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY. CONSTRUCTION SITE REVIEWED FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DENATURING PERMIT SHALL BE APPROVED BY THE DIRECTOR WELL PERMITTING BRANCH.
7. APPROVED PLANS REMAIN VALID FOR 5 YEARS FROM THE DATE OF APPROVAL.
8. POST CONSTRUCTION VERIFICATION DOCUMENTS ARE TO BE SUBMITTED TO THE SUSSEX CONSERVATION DISTRICT DESIGN AND STORMWATER PROGRAM WITHIN 60 DAYS OF STORMWATER FACILITY COMPLETION.
9. APPROVAL OF A SEDIMENT AND STORMWATER PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
10. THE NOTICE OF INTENT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER A WAPES GENERAL PERMIT FOR THIS PROJECT IS WAPES 0526. AT ANY TIME THE OWNER/DEVELOPER HAS PROJECT CHANGES, A TRANSFER OF AUTHORIZATION OR A CO-PERMITTE APPLICATION MUST BE SUBMITTED TO DNR. THE PERMITTEE OF RECORD SHALL NOT BE RELIEVED OF THEIR RESPONSIBILITIES UNTIL A NOTICE OF TERMINATION HAS BEEN PROVIDED BY DNR.
11. THE OWNER SHALL BE FAMILIAR WITH AND COMPLY WITH ALL ASPECTS OF THE WAPES CONSTRUCTION GENERAL PERMIT ASSOCIATED WITH THE PROJECT, INCLUDING, BUT NOT LIMITED TO, PERFORMING WEEKLY SITE INSPECTIONS DURING CONSTRUCTION AND AFTER RAIN EVENTS, AND MAINTAINING WRITTEN LOGS OF THESE INSPECTIONS.
12. BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CALL WIS UTILITY AT 811 OR 1-800-328-6800 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION TO HAVE ALL EXISTING UTILITIES MARKED ON-SITE.
13. THE CONTRACTOR SHALL AT ALL TIMES PROTECT ADJACENT SEDIMENT OR DEBRIS LOADED RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHOULD BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENTATION ON THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE SPECIFIC CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR REPAIR MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
14. BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7 DEL. CODE, §§ 62 AND THE CURRENT DELAWARE CONSTRUCTION GENERAL PERMIT (CGP).
15. DOCUMENTATION OF SOIL TESTING AND MATERIALS USED FOR TEMPORARY OR PERMANENT STABILIZATION INCLUDING, BUT NOT LIMITED TO SOIL TEST RESULTS, SEED TAGS, SOIL APPLICATION RATES, ETC. SHALL BE PROVIDED TO THE DEPARTMENT OR DELEGATED AGENT TO VERIFY THAT THE PERMANENT OR TEMPORARY STABILIZATION HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLAN.
16. THE DEPARTMENT OR DELEGATED AGENT MAY REQUIRE ADDITIONAL SOIL TESTING AND REAPPLICATION OF PERMANENT OR TEMPORARY STABILIZATION IN ACCORDANCE WITH THE SPECIFICATIONS IN THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, OR ALTERNATIVE MEASURES THAT PROVIDE FUNCTIONAL EQUIVALENCY.
17. THE SITE CONTRACTOR UNDER THE DIRECTION OF THE OWNER SHALL MAINTAIN AND REPAIR ALL EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT PRACTICES DURING UTILITY INSTALLATION.
18. THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER AFTER CONSTRUCTION IS COMPLETE.
19. SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, MODIFY, OR DELETE ANY EROSION AND SEDIMENT CONTROL MEASURES AS THEY DEEM NECESSARY.
20. ALL AREAS NOT COVERED BY BUILDING OR PAVEMENT WILL BE SEeded USING PERMANENT SEED MIXTURE SHOWN ON THIS PLAN.
21. PROVIDE EROSION CONTROL MATTING ON ALL SLOPES 3:1 OR GREATER, AND IN ALL AREAS OF CONCENTRATED FLOW. PROVIDE EROSION CONTROL WOVEN GEOTEXTILE FABRIC BENEATH ALL STONE APPLICATIONS WITH THE EXCEPTION OF CHECK DAMS.
22. UPON COMPLETION OF STOCKPILING TOPSOIL, SEED AND MULCH USING TEMPORARY SEED MIXTURE SPECIFICATIONS IF TO REMAIN IN PLACE LONGER THAN FORTY-EIGHT (48) DAYS.
23. SEEDING (PERMANENT):
  - A. SHALL BE CONDUCTED AS SOON AS WEATHER PERMITS.
  - B. THE APPLICATION RATES OF FERTILIZER AND LIME SHOULD BE ACCORDING TO THE RECOMMENDATION OF THE ON SITE SOIL TESTS. IF THE SOIL TESTING IS NOT AVAILABLE, THEN THE FOLLOWING SPECIFIED RATES MAY BE USED:
    - C. SEED BED PREPARATION: APPLY 23 LBS. OF 10-10-10 FERTILIZER PER 1000 SQ. FT.; HARROW OR DISC INTO SOIL TO A DEPTH OF 3 TO 4 INCHES; APPLY DOLOMITIC LIMESTONE AT 92 LBS. PER 1000 SQ. FT.
    - C. SEEDING: APPLY 5.0 LBS. PER 1000 SQ. FT. OF KENTUCKY 31 TALL FESCUE ON A MOST SEED BED WITH SUITABLE EQUIPMENT. MINIMUM COVERAGE IS 1/4 INCH.
    - C. MULCHING: IMMEDIATELY AFTER SEEDING, UNDERLAY MULCH ENTIRE AREA WITH UNWEATHERED SMALL GRAIN STRAW AT A RATE OF 82 LBS. PER 1000 SQ. FT. MULCH TO BE ANCHORED WITH MULCH ANCHORING TOOL ON THE CONTIGUOUS.
24. TEMPORARY STABILIZATION:
  - A. SEED BED PREPARATION: APPLY 14 LBS. OF 10-10-10 FERTILIZER PER 1000 SQ. FT.; HARROW OR DISC INTO SOIL TO A DEPTH OF 3 TO 4 INCHES; APPLY DOLOMITIC LIMESTONE AT 45 TO 82 LBS. PER 1000 SQ. FT.
  - B. SEEDING: APPLY 2.5 LBS. PER 1000 SQ. FT. OF FIVE GRASS WHICH SHALL BE CONDUCTED BETWEEN FEBRUARY 1 TO APRIL 30 OR AUGUST 15 TO NOVEMBER 30.
  - C. MULCH STRAW SHALL BE UNWEATHERED SMALL GRAIN STRAW APPLIED AT THE RATE IN 1-1/2 TO 2 TONS PER ACRE, OR 70 TO 80 LBS. (TWO SIZES) PER 1000 SQ. FT. MULCH MATERIALS SHALL BE RELATIVELY FREE OF NAILS AND SHALL BE FREE OF HAZARDOUS WEATHERING AD. TRIMMED, SHORNER BRANCH AND QUADRANGLE SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY. MULCH TO BE ANCHORED WITH MULCH ANCHORING TOOL ON THE CONTIGUOUS.
25. IF TEMPORARY STABILIZATION IS REQUESTED, PERMANENT SEEDING SHALL BE PERFORMED DURING THE NEXT APPLICABLE PERIOD PER NOTE 23 ABOVE.
26. ALL FILL SLOPE AREAS SHOWN HEREON ARE TO BE STABILIZED PER NOTES 23 OR 24 ABOVE IMMEDIATELY AFTER COMPLETION OF GRADING OPERATIONS FOR THESE SLOPES.
27. TEMPORARY VEGETATIVE COVER, MULCHING, AND/OR SPRINKLING WITH WATER SHALL BE THE METHODS USED AS NECESSARY TO CONTROL EROSION.
28. ALL 80+ MAP AND STONE IS TO BE UNDERLAIN WITH A SUITABLE NON-WOVEN GEOTEXTILE FABRIC.
29. THE SITE IS NOT IMPACTED BY THE 100-YEAR FLOOD PLAN AS DEPICTED ON FEMA MAP NO. 1000503331K & 1000503333K (DATED MARCH 18, 2015).
30. THE TOTAL AREA OF DISTURBANCE IS 4.169 ACRES. THE VOLUME OF SPILL/BORROW WILL BE EQUALIZED ON THE SITE.



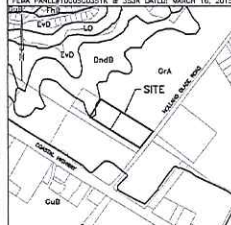
LOCATION MAP SCALE: 1" = 1/4 MILE



NWI WETLANDS SCALE: 1" = 800'

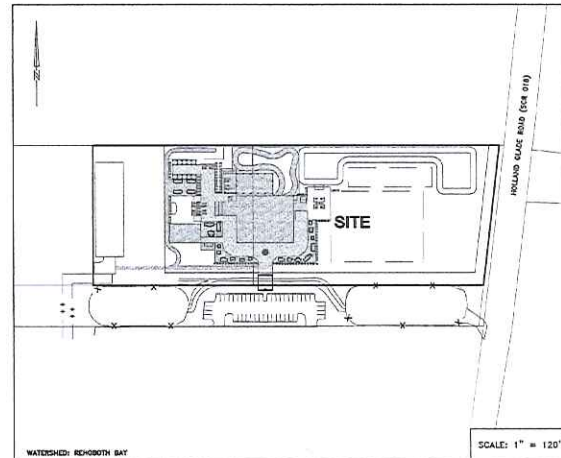
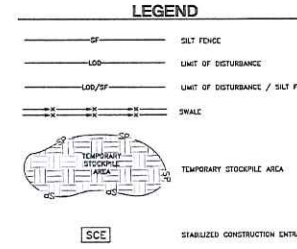


FLOODPLAIN MAP SCALE: 1" = 1000'



SOILS MAP SCALE: 1" = 800'

DBF - OWNER LUMP SUM, 2-35% SLOPES, 100' B  
B - GREENHORN LOAM, 0-2% SLOPES, 100' B



SCALE: 1" = 120'

BN#	DESCRIPTION	LOCATION	ELEVATION
1	80#N PFC FOUND	N82026.2016 E742880.6708	45.32

INDEX OF SHEETS	
C-401	CONVEYMENT AND GENERAL NOTES
C-402	EXISTING CONDITIONS
C-403	SITE PLAN
C-404	CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN
C-405	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN, FACILITY #1
C-406 - C-409	CONSTRUCTION SITE DETAIL AND NOTES

### DATA COLUMN

TAX MAP ID 1034-13-00-325.52 & 325.53  
 LOCATION BENCHMARK #1 (BPT) N82026.1664 E742890.5888  
 ELEV: 34.825  
 NAVD83  
 DATE: 08/18/11

SITE ADDRESS NORTHWEST SIDE OF HOLLAND GLADE RD.  
 +/-722' NORTH-EAST OF COASTAL HIGHWAY

EXISTING LAND USE PROPOSED LAND USE EXISTING/PROPOSED ZONING  
 MAGNET LAND COMMERCIAL/AMUSEMENT  
 C-3 ZONING REQUIREMENTS: 11 ACRE  
 MINIMUM LOT AREA 3500  
 MINIMUM LOT WIDTH 100'  
 MINIMUM LOT DEPTH 100'  
 MAXIMUM BUILDING HEIGHT 4E2

C-3 SETBACK REQUIREMENTS: FRONT SETBACK 80'  
 SIDE SETBACK 20' ADJOINING A RESIDENTIAL DISTRICT  
 REAR SETBACK 30' ADJOINING A RESIDENTIAL DISTRICT

THE PROPERTY IS LOCATED WITHIN ZONE X - (MUNICIPAL FLOODING).  
 FEMA MAP 1000503331K & 1000503333K (MARCH 18, 2015)

THE SITE AS SHOWN HEREON DOES NOT CONTAIN STATE OR FEDERALLY REGULATED SECTION TO WETLANDS, BASED ON PHM AND DNREC WETLAND MAPS.

THE SITE IS LOCATED WITHIN THE REHOBOTH BAT WATERSHED.

UNIT OF DISTURBANCE 4.169 ACRES  
 PERMITS/PAVEMENT COVERAGE 11.26 ACRES(27.0%)  
 GRAVEL COVERAGE 11.26 ACRES(27.0%)  
 GRASS AREA 11.26 ACRES(27.0%)

FIRE DISTRICT REHOBOTH  
 SCHOOL DISTRICT LEWES MEMPHEN  
 LEVY COURT DISTRICT 150

PERMANENT MONUMENTS TO BE PLACED 0  
 PERMANENT BATHM NAVD 88

UTILITIES WATER: TOWACATER UTILITIES, INC.  
 SEWER: SUSSEX COUNTY

INVESTMENT LEVEL AREA 12 AND 3

OWNER/DEVELOPER  
 SCHELL, BROTHERS, LLC  
 20144 PHILLIPS STREET  
 REHOBOTH BEACH, DE 19971  
 302-361-8341  
 CONTACT: TIM CRITCH  
 EMAIL: tpcritch@schellbrothers.com

OWNER'S ENGINEER  
 DAVIS, BOWEN & FRIEDEL, INC.  
 20144 PHILLIPS STREET  
 REHOBOTH BEACH, DE 19971  
 302-361-8341  
 CONTACT: W. ZACHARY CROUCH, P.E.  
 EMAIL: wzc@dbfinc.com

**ENGINEER'S STATEMENT**

I, THE UNDERSIGNED, HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST REPRESENTATION USING SOUND ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

W. ZACHARY CROUCH, P.E.  
 DAVIS, BOWEN & FRIEDEL, INC.  
 1 PARK AVENUE  
 MILFORD, DELAWARE, 19963

DATE: MAY 03 2022

---

**OWNER/DEVELOPER STATEMENT**

I, THE UNDERSIGNED, CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE BY MY ENGINEER AND THAT I ACKNOWLEDGE THE SAME TO BE ACT AND DEEDS OF THE PLAN TO BE RECORDED TO ORDINANCE.

Tom Schell  
 SCHELL BROTHERS, LLC  
 20144 PHILLIPS STREET  
 REHOBOTH BEACH, DELAWARE 19971

DATE: 5/4/22

---

**SUSSEX CONSERVATION DISTRICT**

**dbf** DAVIS, BOWEN & FRIEDEL, INC.  
 ARCHITECTS, ENGINEERS & SURVEYORS

MILFORD, MARYLAND (410) 543-8091  
 MILFORD, DELAWARE (302) 424-1441  
 BANTON, MARYLAND (410) 770-4744

APPROVED  
 SEDIMENT CONTROL & STORMWATER MANAGEMENT  
 Reviewing Engineer: [Signature]  
 Approved by: [Signature] DATE: 5/2/22

C-401

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ARCHITECTS ENGINEERS SURVEYORS  
 13194059.401  
 STATE OF DELAWARE  
 JULY 8, 2022



**SHELLVILLE  
 LEWES & REHOBOTH HUNDRED  
 SUSSEX COUNTY, DELAWARE**

Revisions:  
 2022-01-26 REVISION  
 2022-03-08 SCS  
 SCS

Date: SEPTEMBER 2021  
 Scale: 1"=40'  
 Dwn. by: JMJ  
 Proj. No.: 13194059.401  
 Dwg. No.:

**C-404**

CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN

### LEGEND

	STORM IDENTIFICATION LABELS
	INLET PROTECTION - TYPE 1, 2
	EROSION CONTROL MATTING - SLOPE (NORTH AMERICAN GREEN - SC150BN)
	RIPRAP OUTLET PROTECTION - TYPE 1, 2
	STABILIZED CONSTRUCTION ENTRANCE
	CONCRETE WASHOUT
	LIMIT OF DISTURBANCE (4.166 AC)
	SILTY FENCE
	COMPOST FILTER LOG

### SEQUENCE OF CONSTRUCTION

1. NOTIFY THE SUSSEX CONSERVATION DISTRICT IN WRITING AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
2. THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELAWARE AT 1-800-282-8555 FOR UTILITY LOCATIONS WITHIN AND SURROUNDING CONSTRUCTION AREAS NOT LESS THAN 3 DAYS BEFORE PERFORMING ANY EXCAVATION.
3. A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED AND CONDUCTED WITH THE AGENCY CONSTRUCTION SITE REVIEWER, THE LANDOWNER/DEVELOPER, CONTRACTOR, THIRD PARTY GSA, AND GEOTECHNICAL SCIENTIST OF RECORDS TO BE IN ATTENDANCE AT THE PRE-CONSTRUCTION MEETING; THE DESIGNER IS RECOMMENDED TO ATTEND.
4. CLEAR AND GRUB AS NECESSARY TO INSTALL ALL PRE-BULK EROSION & SEDIMENT CONTROL (ESC) TRENCH, STABILIZED CONSTRUCTION ENTRANCE, ETC. PER SEE DETAILS ON SHEETS C-405 - C-409. ALL PERMITTED CONTROLS ARE TO BE REVIEWED BY THE AGENCY CONSTRUCTION SITE REVIEWER AND APPROVED PRIOR TO PROCEEDING WITH FURTHER SITE DISTURBANCE OR CONSTRUCTION.
5. THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LAIDEN RAINOFF OR WIND FROM LEAVING THE SITE. PROMPTER CONTROLS SHOULD BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENTATION ON THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR REPAIR MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
6. NOTIFY THE PERSON RESPONSIBLE FOR STORMWATER SYSTEM CONSTRUCTION REVIEW AT LEAST 3 DAYS PRIOR TO THE START OF THE STORMWATER SYSTEM CONSTRUCTION; STORMWATER FACILITIES MUST BE REVIEWED THROUGHOUT THEIR CONSTRUCTION.
7. BEGIN CONSTRUCTION OF THE SWM FACILITIES. REFER TO SWM FACILITY SEQUENCE OF CONSTRUCTION ON SHEETS C-405. A CONSTRUCTION REVIEW IS REQUIRED ONCE THE FACILITY IS STABILIZED.
8. STRIP TOPSOIL AND PERFORM BULK GRADING FOR BUILDING AND PARKING AREAS.
9. INSTALL CLOSED STORM DRAINAGE SYSTEM AND ALL OTHER UNDERGROUND UTILITIES.
10. FINISH GRADE SITE FOR BUILDINGS AND PROPOSED PARKING AREAS. BEGIN BUILDING CONSTRUCTION. BEGIN PARKING LOT CONSTRUCTION. PLACE STONE PER PAVEMENT SPECIFICATIONS AND PLANS. UPON COMPLETION OF PAVING AND STABILIZATION OF ALL DISTURBED AREAS, REMOVE SEDIMENT FROM SEDIMENT TRAPS AND STORM DRAINAGE SYSTEM AND STABILIZE DISTURBANCE IMMEDIATELY.

11. RESTORE ALL DISTURBED AREAS NOT TO BE COVERED BY PAVEMENT WITH PERMANENT STABILIZATION IN ACCORDANCE WITH ITEM 22 OF THE EROSION AND SEDIMENT CONTROL NOTES. A CONSTRUCTION REVIEW IS REQUIRED FOR THE PERMANENT VEGETATIVE STABILIZATION.
12. CONVERT STORMWATER FACILITIES FROM SEDIMENT TRAPS TO FINAL DESIGN. WRITTEN APPROVAL IS REQUIRED FROM THE SOIL INSPECTOR PRIOR TO CONVERSION FROM SEDIMENT BASIN TO FINAL DESIGN. REFER TO SWM FACILITY SEQUENCE OF CONSTRUCTION OR SHEETS C-405. NO GROUND DISTURBANCE SHOULD OCCUR AFTER SEDIMENT TRAPS ARE CONVERTED TO THE FINAL STORMWATER FACILITIES.
13. EROSION AND SEDIMENT CONTROL DEVICES TO BE REMOVED ONLY AFTER WORK IN AN AREA HAS BEEN COMPLETED AND STABILIZED, WITH WRITTEN APPROVAL FROM THE AGENCY CONSTRUCTION SITE REVIEWER.
14. CONTACT SUSSEX CONSERVATION DISTRICT FOR INSPECTION.
15. THE TERMINATION OF THE CONSTRUCTION GENERAL PERMIT WILL REQUIRE SUBMISSION AND ACCEPTANCE OF THE POST CONSTRUCTION VERIFICATION DOCUMENT, INCLUDING FINAL STABILIZATION THROUGHOUT THE SITE. ALL ELEMENTS OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN IMPLEMENTED, AND ACCEPTANCE OF THE FINAL OPERATION AND MAINTENANCE PLAN.

### PIPE SCHEDULE

LABEL	DESCRIPTION			INVERT ELEVATION					
	FROM	TO	SIZE (")	UP	DOWN				
P101	D101	FE100	15	HDPE	27	0.20	19.61	19.20	
P102	D102	D101	15	HDPE	107	*	0.30	20.13	19.81
P103	D103	D102	15	HDPE	201	*	0.20	20.05	20.13
P104	D104	D103	15	HDPE	43	*	0.20	20.74	20.60
P105	D105	D102	15	HDPE	57	*	0.20	20.24	20.15
P111	D111	FE110	15	HDPE	138	*	0.20	19.83	19.20
P112	D112	D111	15	HDPE	206	*	0.20	20.70	19.83
P113	D113	D112	15	HDPE	138	*	0.20	20.87	20.70
P114	D114	D113	15	HDPE	143	*	0.20	21.26	20.87

\* = HDPE PIPE SHALL COMPLY WITH AASHTO M252, M254, MPT, AND ASTM 3350. PIPE SHALL BE INSTALLED PER ASTM D2321 AND AS RECOMMENDED BY THE MANUFACTURER. ALL HOPE SHALL HAVE WITHTIGHT CONNECTIONS.

### FLARED END SCHEDULE

LABEL	SIZE (")	TYPE	INVERT
FE100	15	HDPE	19.20
FE110	15	HDPE	19.20

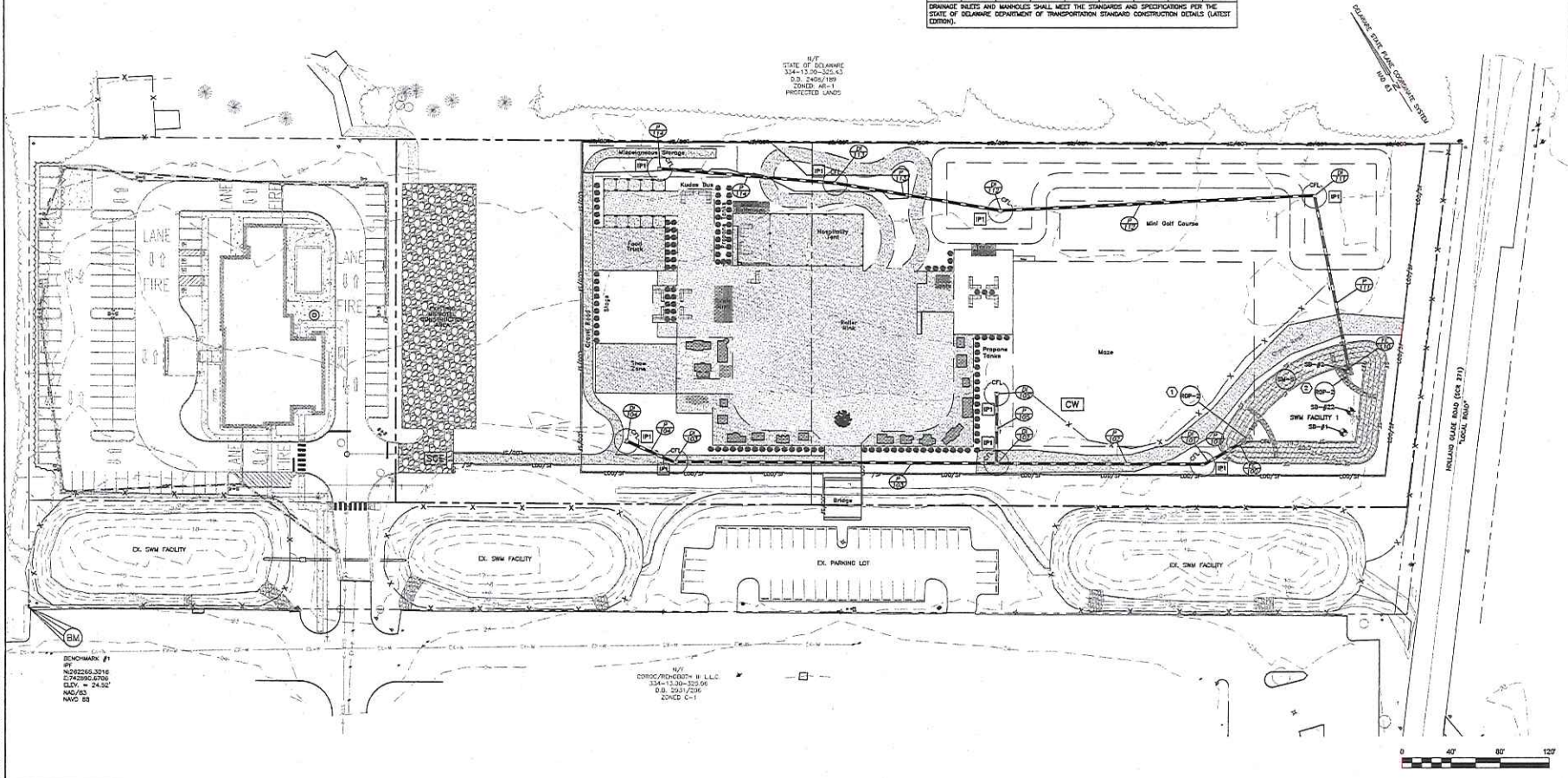
### DRAINAGE INLET & MANHOLE SCHEDULE

LABEL	BOX	TOP UNIT	GRATE	T.C. ELEV.	INVERT IN		INVERT OUT	
					IN	OUT	IN	OUT
D101	34"x24"	A	TYPE 3	23.02			19.61	19.61
D102	34"x24"	A	TYPE 3	23.06		20.13	20.13	20.13
D103	34"x24"	A	TYPE 3	23.86			20.05	20.05
D104	34"x24"	A	TYPE 3	23.96			20.74	20.74
D105	34"x24"	A	TYPE 3	24.71			20.24	20.24
D111	34"x24"	A	TYPE 3	24.70			19.83	19.83
D112	34"x24"	A	TYPE 3	24.12			20.70	20.70
D113	34"x24"	A	TYPE 3	24.71			20.87	20.87
D114	34"x24"	A	TYPE 3	23.84			21.20	21.20

DRAINAGE INLETS AND MANHOLES SHALL MEET THE STANDARDS AND SPECIFICATIONS PER THE STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION DETAILS (LATEST EDITION).

### ROP SCHEDULE

ROP #	INLET	TYPE	PIPE DIAMETER (In.)	APRON LENGTH (Lx)	APRON WIDTH (W)	RIPRAP SIZE (Rn.)	RIPRAP THICKNESS (T)
1	FE100	2	15"	9'	3'	R4	18"
2	FE110	2	15"	9'	5'	R4	18"



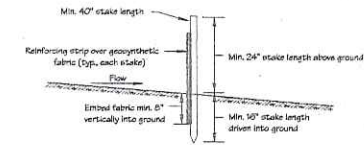
BENCHMARK #1  
 N 292260.3216  
 E 742990.0788  
 ELEV. = 24.32'  
 NAD 83  
 NAD 83

BY/ CONSTRUCTION W. L.L.C.  
 334-1130-322.06  
 P.O. BOX 208  
 ZONED C-1

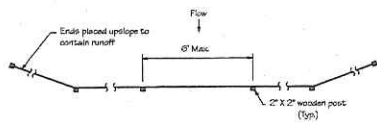
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**Standard Detail & Specifications**  
**Silt Fence**



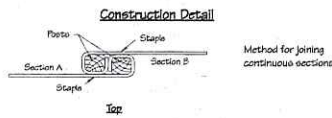
Section



Plan

Source:	Symbol:	Detail No.
Adapted from MD Sds. & Specs. for ESC	SF	DE-ESC-3.1.2.1 Sheet 1 of 2 Effective FEB 2019

**Standard Detail & Specifications**  
**Silt Fence**



**Construction Notes:**

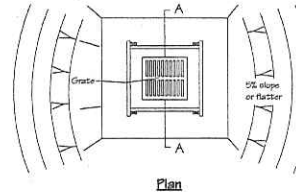
1. Geosynthetic fabric to be fastened securely to fence posts with wire ties or staples.
2. When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
3. Maintenance shall be performed as needed and material removed when "bulges" develop in the silt fence.

**Materials:**

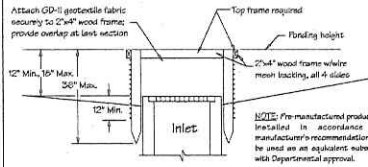
1. **Staples:** Steel (either T or U) or 2" x 2" hardwood
2. **Geosynthetic Fabric:** Type GD-I
3. **Reinforcing strip:** Wooden lath or plastic strip

Source:	Symbol:	Detail No.
Adapted from MD Sds. & Specs. for ESC	SF	DE-ESC-3.1.2.1 Sheet 2 of 2 Effective FEB 2019

**Standard Detail & Specifications**  
**Inlet Protection - Type 1**



Plan



Section A-A

Source:	Symbol:	Detail No.
Adapted from Erosion Draw Manual J. McCullish & Assoc.	IP-1	DE-ESC-3.1.5.1 Sheet 1 of 2 Effective FEB 2019

**Standard Detail & Specifications**  
**Inlet Protection - Type 1**

**Construction Notes:**

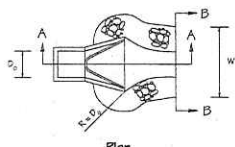
1. Excavate completely around inlet to a depth of 18" below grate elevation.
2. Drive 2' x 4' post 1" into ground at four corners of inlet. Place nail strips between posts on ends of inlet. Assemble top portion of 2' x 4' frame using overlap (joint shown). Top of frame (west) must be 6" below edge of roadway adjacent to inlet.
3. Stretch wire mesh tightly around frame and fasten securely. Ends must meet at post.
4. Stretch geotextile fabric tightly over wire mesh; the cloth must extend from top of frame to 18" below inlet grate elevation. Fasten securely to frame. Ends must meet at post, be overlapped and folded, then fastened down.
5. Backfill around inlet in compacted 6" layers until at least 12" of geotextile fabric is buried.
6. If the inlet is not in a low point, construct a compacted earth dike in the ditchline below it. The top of this dike is to be at least 6" higher than the top of frame (west).
7. This structure must be inspected frequently and the filter fabric replaced when clogged.

**Materials:**

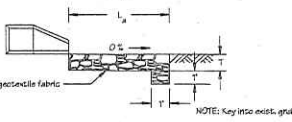
1. Wooden frame is to be constructed of 2" x 4" construction grade lumber.
2. Wire mesh must be of sufficient strength to support filter fabric with water fully impounded against it.
3. Geotextile fabric Type GD-I

Source:	Symbol:	Detail No.
Adapted from Erosion Draw Manual J. McCullish & Assoc.	IP-1	DE-ESC-3.1.5.1 Sheet 2 of 2 Effective FEB 2019

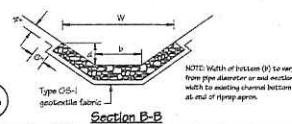
**Standard Detail & Specifications**  
**Riprap Outlet Protection - 2**



Plan



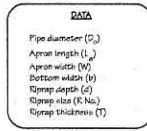
Section A-A



Section B-B

Source:	Symbol:	Detail No.
Adapted from MD E&S Manual	ROP-2	DE-ESC-3.3.10.2 Sheet 1 of 2 Effective FEB 2019

**Standard Detail & Specifications**  
**Riprap Outlet Protection - 2**



**Construction Notes:**

1. The subgrade for the riprap shall be prepared to the required lines and grades as shown on the plan. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
2. The riprap shall conform to the grading limits as shown on the plan.
3. Filter cloth shall be protected from puncturing, cutting or tearing. Any damage other than an occasional small hole shall be repaired by placing another piece of cloth over the damaged area. All connecting joints should overlap a minimum of 1 ft. If the damage is extensive, replace the entire filter cloth.
4. Stone for the riprap or gabion outlets may be placed by equipment. Riprap shall be placed in a manner to prevent damage to the filter cloth. Hand placement will be required to the extent necessary to prevent damage to the conduits, structures, etc.

Source:	Symbol:	Detail No.
Adapted from MD E&S Manual	ROP-2	DE-ESC-3.3.10.2 Sheet 2 of 2 Effective FEB 2019

**Standard Detail & Specifications**  
**Topsoiling**

**Construction Notes:**

1. **Site Preparation** (Where Topsoil is to be added)
  - NOTE: When topsoiling, maintain needed erosion and sediment control practices such as diversions, grade stabilization structures, berms, dikes, waterways and sediment basins.
  - a. **Grading** - Grades on the areas to be topsoiled which have been previously established shall be maintained.
  - b. **Liming** - Where the topsoil is either highly acid or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet). Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
  - c. **Tilling** - After the areas to be topsoiled have been brought to grade, and immediately prior to dumping and spreading the topsoil, the subgrade shall be loosened by discing or by scarifying to a depth of at least 3 inches to permit bonding of the topsoil to the subsoil. Pack by passing a bulldozer up and down over the entire surface area of the slope to create horizontal erosion check slots to prevent topsoil from sliding down the slope.
2. **Topsoil Material and Application**
  - NOTE: Topsoil salvaged from the existing site may often be used but it should meet the same standards as set forth in these specifications. The depth of topsoil to be salvaged shall be no more than the depth described as a representative profile for that particular soil type as described in the soil survey published by USDA-SCS in cooperation with Delaware Agricultural Experimental Station.

Source:	Symbol:	Detail No.
USDA - NRCS		DE-ESC-3.4.1 Sheet 1 of 2 Effective FEB 2019

**Standard Detail & Specifications**  
**Topsoiling**

**Construction Notes (cont.)**

- a. **Materials** - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand or other soil as approved by an agronomist or soil scientist. It shall not have a mixture of contrasting textured subsoil and contain no more than 5 percent by volume of cinders, stones, slag, coarse fragment, gravel, disks, roots, trash or other extraneous materials larger than 1-1/2 inches in diameter. Topsoil must be free of plants or plant parts of bermudagrass, quackgrass, johnsongrass, nutgrass, poison ivy, hickies, or others as specified. All topsoil shall be tested by a reputable laboratory for organic matter content, pH and soluble salts. A pH of 6.0 to 7.5 and an organic content of not less than 1.5 percent by weight is required. A pH value is less than 6.0 lime shall be applied and incorporated with the topsoil to adjust the pH to 6.5 or higher. Topsoil containing soluble salts greater than 500 parts per million shall not be used.
  - NOTE: No soil or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed to permit dissipation of toxic materials.
- b. **Grading** - The topsoil shall be uniformly distributed and compacted to a minimum of four (4) inches. Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets. Topsoil shall not be placed while in a frozen or muddy condition, when the subgrade is excessively wet, or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

NOTE: Topsoil substitutes or amendments as approved by a qualified agronomist or soil scientist, may be used in lieu of natural topsoil. Compost material used to improve the percentage of organic matter shall be provided by a certified supplier.

Compost amendments that are intended to meet specific post-construction stormwater management goals shall further meet the requirements of Appendix 3.06.2 Post Construction Stormwater Management BMP Standards and Specifications, Section 14.0 Soil Amendments.

Source:	Symbol:	Detail No.
USDA - NRCS		DE-ESC-3.4.1 Sheet 2 of 2 Effective FEB 2019



REGISTERED PROFESSIONAL ENGINEER  
STATE OF DELAWARE  
LICENSE NO. 1319A059.J01  
DATE 02/2022

DAVIS, BOWEN & FRIEDEL, INC.  
AGGREGATE ENGINEERS SURVEYORS  
BALTIMORE, MARYLAND  
1000 W. BALTIMORE AVENUE  
SUITE 200  
BALTIMORE, MARYLAND 21201

CONSTRUCTION SITE DETAILS AND NOTES

SHELLVILLE  
LEWES & REHOBOTH HUNDRED  
SUSSEX COUNTY, DELAWARE

Revision: 2022-01-28 PROJECT

Date: SEPTEMBER 2021  
Scale: 1"=40'  
Drawn by: JMJ  
Proj. No.: 1319A059.J01  
Dwg. No.:

C-406

**Standard Detail & Specifications**  
**Vegetative Stabilization**



TEMPORARY SEEDING BY RATE, DEPTH AND DATE

Rate	Depth	Optimum Seeding Dates	Planting Depth
1/2" to 1"	1/2" to 1"	Sept 15 - Oct 15	1/2" to 1"
1" to 2"	1" to 2"	Nov 15 - Dec 15	1" to 2"
2" to 3"	2" to 3"	Jan 15 - Feb 15	2" to 3"
3" to 4"	3" to 4"	Mar 15 - Apr 15	3" to 4"
4" to 5"	4" to 5"	May 15 - Jun 15	4" to 5"
5" to 6"	5" to 6"	Jul 15 - Aug 15	5" to 6"
6" to 7"	6" to 7"	Sep 15 - Oct 15	6" to 7"
7" to 8"	7" to 8"	Nov 15 - Dec 15	7" to 8"
8" to 9"	8" to 9"	Jan 15 - Feb 15	8" to 9"
9" to 10"	9" to 10"	Mar 15 - Apr 15	9" to 10"
10" to 11"	10" to 11"	May 15 - Jun 15	10" to 11"
11" to 12"	11" to 12"	Jul 15 - Aug 15	11" to 12"
12" to 13"	12" to 13"	Sep 15 - Oct 15	12" to 13"
13" to 14"	13" to 14"	Nov 15 - Dec 15	13" to 14"
14" to 15"	14" to 15"	Jan 15 - Feb 15	14" to 15"
15" to 16"	15" to 16"	Mar 15 - Apr 15	15" to 16"
16" to 17"	16" to 17"	May 15 - Jun 15	16" to 17"
17" to 18"	17" to 18"	Jul 15 - Aug 15	17" to 18"
18" to 19"	18" to 19"	Sep 15 - Oct 15	18" to 19"
19" to 20"	19" to 20"	Nov 15 - Dec 15	19" to 20"
20" to 21"	20" to 21"	Jan 15 - Feb 15	20" to 21"
21" to 22"	21" to 22"	Mar 15 - Apr 15	21" to 22"
22" to 23"	22" to 23"	May 15 - Jun 15	22" to 23"
23" to 24"	23" to 24"	Jul 15 - Aug 15	23" to 24"
24" to 25"	24" to 25"	Sep 15 - Oct 15	24" to 25"
25" to 26"	25" to 26"	Nov 15 - Dec 15	25" to 26"
26" to 27"	26" to 27"	Jan 15 - Feb 15	26" to 27"
27" to 28"	27" to 28"	Mar 15 - Apr 15	27" to 28"
28" to 29"	28" to 29"	May 15 - Jun 15	28" to 29"
29" to 30"	29" to 30"	Jul 15 - Aug 15	29" to 30"
30" to 31"	30" to 31"	Sep 15 - Oct 15	30" to 31"
31" to 32"	31" to 32"	Nov 15 - Dec 15	31" to 32"
32" to 33"	32" to 33"	Jan 15 - Feb 15	32" to 33"
33" to 34"	33" to 34"	Mar 15 - Apr 15	33" to 34"
34" to 35"	34" to 35"	May 15 - Jun 15	34" to 35"
35" to 36"	35" to 36"	Jul 15 - Aug 15	35" to 36"
36" to 37"	36" to 37"	Sep 15 - Oct 15	36" to 37"
37" to 38"	37" to 38"	Nov 15 - Dec 15	37" to 38"
38" to 39"	38" to 39"	Jan 15 - Feb 15	38" to 39"
39" to 40"	39" to 40"	Mar 15 - Apr 15	39" to 40"
40" to 41"	40" to 41"	May 15 - Jun 15	40" to 41"
41" to 42"	41" to 42"	Jul 15 - Aug 15	41" to 42"
42" to 43"	42" to 43"	Sep 15 - Oct 15	42" to 43"
43" to 44"	43" to 44"	Nov 15 - Dec 15	43" to 44"
44" to 45"	44" to 45"	Jan 15 - Feb 15	44" to 45"
45" to 46"	45" to 46"	Mar 15 - Apr 15	45" to 46"
46" to 47"	46" to 47"	May 15 - Jun 15	46" to 47"
47" to 48"	47" to 48"	Jul 15 - Aug 15	47" to 48"
48" to 49"	48" to 49"	Sep 15 - Oct 15	48" to 49"
49" to 50"	49" to 50"	Nov 15 - Dec 15	49" to 50"
50" to 51"	50" to 51"	Jan 15 - Feb 15	50" to 51"
51" to 52"	51" to 52"	Mar 15 - Apr 15	51" to 52"
52" to 53"	52" to 53"	May 15 - Jun 15	52" to 53"
53" to 54"	53" to 54"	Jul 15 - Aug 15	53" to 54"
54" to 55"	54" to 55"	Sep 15 - Oct 15	54" to 55"
55" to 56"	55" to 56"	Nov 15 - Dec 15	55" to 56"
56" to 57"	56" to 57"	Jan 15 - Feb 15	56" to 57"
57" to 58"	57" to 58"	Mar 15 - Apr 15	57" to 58"
58" to 59"	58" to 59"	May 15 - Jun 15	58" to 59"
59" to 60"	59" to 60"	Jul 15 - Aug 15	59" to 60"
60" to 61"	60" to 61"	Sep 15 - Oct 15	60" to 61"
61" to 62"	61" to 62"	Nov 15 - Dec 15	61" to 62"
62" to 63"	62" to 63"	Jan 15 - Feb 15	62" to 63"
63" to 64"	63" to 64"	Mar 15 - Apr 15	63" to 64"
64" to 65"	64" to 65"	May 15 - Jun 15	64" to 65"
65" to 66"	65" to 66"	Jul 15 - Aug 15	65" to 66"
66" to 67"	66" to 67"	Sep 15 - Oct 15	66" to 67"
67" to 68"	67" to 68"	Nov 15 - Dec 15	67" to 68"
68" to 69"	68" to 69"	Jan 15 - Feb 15	68" to 69"
69" to 70"	69" to 70"	Mar 15 - Apr 15	69" to 70"
70" to 71"	70" to 71"	May 15 - Jun 15	70" to 71"
71" to 72"	71" to 72"	Jul 15 - Aug 15	71" to 72"
72" to 73"	72" to 73"	Sep 15 - Oct 15	72" to 73"
73" to 74"	73" to 74"	Nov 15 - Dec 15	73" to 74"
74" to 75"	74" to 75"	Jan 15 - Feb 15	74" to 75"
75" to 76"	75" to 76"	Mar 15 - Apr 15	75" to 76"
76" to 77"	76" to 77"	May 15 - Jun 15	76" to 77"
77" to 78"	77" to 78"	Jul 15 - Aug 15	77" to 78"
78" to 79"	78" to 79"	Sep 15 - Oct 15	78" to 79"
79" to 80"	79" to 80"	Nov 15 - Dec 15	79" to 80"
80" to 81"	80" to 81"	Jan 15 - Feb 15	80" to 81"
81" to 82"	81" to 82"	Mar 15 - Apr 15	81" to 82"
82" to 83"	82" to 83"	May 15 - Jun 15	82" to 83"
83" to 84"	83" to 84"	Jul 15 - Aug 15	83" to 84"
84" to 85"	84" to 85"	Sep 15 - Oct 15	84" to 85"
85" to 86"	85" to 86"	Nov 15 - Dec 15	85" to 86"
86" to 87"	86" to 87"	Jan 15 - Feb 15	86" to 87"
87" to 88"	87" to 88"	Mar 15 - Apr 15	87" to 88"
88" to 89"	88" to 89"	May 15 - Jun 15	88" to 89"
89" to 90"	89" to 90"	Jul 15 - Aug 15	89" to 90"
90" to 91"	90" to 91"	Sep 15 - Oct 15	90" to 91"
91" to 92"	91" to 92"	Nov 15 - Dec 15	91" to 92"
92" to 93"	92" to 93"	Jan 15 - Feb 15	92" to 93"
93" to 94"	93" to 94"	Mar 15 - Apr 15	93" to 94"
94" to 95"	94" to 95"	May 15 - Jun 15	94" to 95"
95" to 96"	95" to 96"	Jul 15 - Aug 15	95" to 96"
96" to 97"	96" to 97"	Sep 15 - Oct 15	96" to 97"
97" to 98"	97" to 98"	Nov 15 - Dec 15	97" to 98"
98" to 99"	98" to 99"	Jan 15 - Feb 15	98" to 99"
99" to 100"	99" to 100"	Mar 15 - Apr 15	99" to 100"

1. Water seeding requires 3 tons per acre of straw mulch for proper stabilization.
2. May be applied throughout summer if soil moisture is adequate or seeded area can be irrigated.
3. Apply on slopes 3:1 or less.
4. Fifty pounds per acre of Annual Lupines may be added to 1/2 the seeding rate of any of the above species.
5. Use species normally recommended by Delaware County Extension Office for stabilization.
6. Warm season grasses such as fescue or timothy may be used between 5/1 and 8/1 (lowest). Seed at 5-6 lbs. per acre. Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".

NOTE: Alternative seed mixes may be used with prior approval from the Department or Delegated Agency.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		DE-ESC-3.4.3 Sheet 1 of 4 Effective FEB 2019

**Standard Detail & Specifications**  
**Vegetative Stabilization**



PERMANENT SEEDING AND SEEDING DATES (cont.)

Seeding Method	Seeding Rate	Optimum Seeding Dates	Planting Depth	Remarks
1. Broadcast	150 lbs./acre	Sept 15 - Oct 15	1/2" to 1"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
2. Broadcast	150 lbs./acre	Nov 15 - Dec 15	1" to 2"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
3. Broadcast	150 lbs./acre	Jan 15 - Feb 15	2" to 3"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
4. Broadcast	150 lbs./acre	Mar 15 - Apr 15	3" to 4"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
5. Broadcast	150 lbs./acre	May 15 - Jun 15	4" to 5"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
6. Broadcast	150 lbs./acre	Jul 15 - Aug 15	5" to 6"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
7. Broadcast	150 lbs./acre	Sep 15 - Oct 15	6" to 7"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
8. Broadcast	150 lbs./acre	Nov 15 - Dec 15	7" to 8"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
9. Broadcast	150 lbs./acre	Jan 15 - Feb 15	8" to 9"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
10. Broadcast	150 lbs./acre	Mar 15 - Apr 15	9" to 10"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
11. Broadcast	150 lbs./acre	May 15 - Jun 15	10" to 11"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
12. Broadcast	150 lbs./acre	Jul 15 - Aug 15	11" to 12"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
13. Broadcast	150 lbs./acre	Sep 15 - Oct 15	12" to 13"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
14. Broadcast	150 lbs./acre	Nov 15 - Dec 15	13" to 14"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
15. Broadcast	150 lbs./acre	Jan 15 - Feb 15	14" to 15"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
16. Broadcast	150 lbs./acre	Mar 15 - Apr 15	15" to 16"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
17. Broadcast	150 lbs./acre	May 15 - Jun 15	16" to 17"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
18. Broadcast	150 lbs./acre	Jul 15 - Aug 15	17" to 18"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
19. Broadcast	150 lbs./acre	Sep 15 - Oct 15	18" to 19"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
20. Broadcast	150 lbs./acre	Nov 15 - Dec 15	19" to 20"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
21. Broadcast	150 lbs./acre	Jan 15 - Feb 15	20" to 21"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
22. Broadcast	150 lbs./acre	Mar 15 - Apr 15	21" to 22"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
23. Broadcast	150 lbs./acre	May 15 - Jun 15	22" to 23"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
24. Broadcast	150 lbs./acre	Jul 15 - Aug 15	23" to 24"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
25. Broadcast	150 lbs./acre	Sep 15 - Oct 15	24" to 25"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
26. Broadcast	150 lbs./acre	Nov 15 - Dec 15	25" to 26"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
27. Broadcast	150 lbs./acre	Jan 15 - Feb 15	26" to 27"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
28. Broadcast	150 lbs./acre	Mar 15 - Apr 15	27" to 28"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
29. Broadcast	150 lbs./acre	May 15 - Jun 15	28" to 29"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
30. Broadcast	150 lbs./acre	Jul 15 - Aug 15	29" to 30"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
31. Broadcast	150 lbs./acre	Sep 15 - Oct 15	30" to 31"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
32. Broadcast	150 lbs./acre	Nov 15 - Dec 15	31" to 32"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
33. Broadcast	150 lbs./acre	Jan 15 - Feb 15	32" to 33"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
34. Broadcast	150 lbs./acre	Mar 15 - Apr 15	33" to 34"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
35. Broadcast	150 lbs./acre	May 15 - Jun 15	34" to 35"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
36. Broadcast	150 lbs./acre	Jul 15 - Aug 15	35" to 36"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
37. Broadcast	150 lbs./acre	Sep 15 - Oct 15	36" to 37"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
38. Broadcast	150 lbs./acre	Nov 15 - Dec 15	37" to 38"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
39. Broadcast	150 lbs./acre	Jan 15 - Feb 15	38" to 39"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
40. Broadcast	150 lbs./acre	Mar 15 - Apr 15	39" to 40"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
41. Broadcast	150 lbs./acre	May 15 - Jun 15	40" to 41"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
42. Broadcast	150 lbs./acre	Jul 15 - Aug 15	41" to 42"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
43. Broadcast	150 lbs./acre	Sep 15 - Oct 15	42" to 43"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
44. Broadcast	150 lbs./acre	Nov 15 - Dec 15	43" to 44"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
45. Broadcast	150 lbs./acre	Jan 15 - Feb 15	44" to 45"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
46. Broadcast	150 lbs./acre	Mar 15 - Apr 15	45" to 46"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
47. Broadcast	150 lbs./acre	May 15 - Jun 15	46" to 47"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
48. Broadcast	150 lbs./acre	Jul 15 - Aug 15	47" to 48"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
49. Broadcast	150 lbs./acre	Sep 15 - Oct 15	48" to 49"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
50. Broadcast	150 lbs./acre	Nov 15 - Dec 15	49" to 50"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
51. Broadcast	150 lbs./acre	Jan 15 - Feb 15	50" to 51"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
52. Broadcast	150 lbs./acre	Mar 15 - Apr 15	51" to 52"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
53. Broadcast	150 lbs./acre	May 15 - Jun 15	52" to 53"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
54. Broadcast	150 lbs./acre	Jul 15 - Aug 15	53" to 54"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
55. Broadcast	150 lbs./acre	Sep 15 - Oct 15	54" to 55"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
56. Broadcast	150 lbs./acre	Nov 15 - Dec 15	55" to 56"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
57. Broadcast	150 lbs./acre	Jan 15 - Feb 15	56" to 57"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
58. Broadcast	150 lbs./acre	Mar 15 - Apr 15	57" to 58"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
59. Broadcast	150 lbs./acre	May 15 - Jun 15	58" to 59"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
60. Broadcast	150 lbs./acre	Jul 15 - Aug 15	59" to 60"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
61. Broadcast	150 lbs./acre	Sep 15 - Oct 15	60" to 61"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
62. Broadcast	150 lbs./acre	Nov 15 - Dec 15	61" to 62"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
63. Broadcast	150 lbs./acre	Jan 15 - Feb 15	62" to 63"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
64. Broadcast	150 lbs./acre	Mar 15 - Apr 15	63" to 64"	Good on low fertility and acid soils. Seed after frost breaks at a depth of 1/2".
65. Broadcast	150 lbs./acre	May 15		

### Standard Detail & Specifications Stabilization Matting - Slope

0.75 Staples per Sq. Yd.      1.25 Staples per Sq. Yd.

1.75 Staples per Sq. Yd.      3.25 Staples per Sq. Yd.

NOTE: These patterns are provided for general guidance only. They shall not be used as a substitute for manufacturer's recommendations.

**Stapling Patterns**

Source:	Symbol:	Detail No.
Adapted from North American Green, Inc.	<b>SM-S</b>	DE-ESC-3.4.6.1 Sheet 2 of 2 Effective FEB 2019

### Standard Detail & Specifications Stabilized Construct. Entrance

**Plan**

**Profile**

**Section A-A (Std.)**

Source:	Symbol:	Detail No.
Adapted from VA ESC Handbook	<b>SCE</b>	DE-ESC-3.4.7 Sheet 1 of 2 Effective FEB 2019

### Standard Detail & Specifications Stabilized Construct. Entrance

**Section A-A (Opt.)**

**Construction Notes:**

1. **Staple size** - Use DE #3 stone.
2. **Length** - As required, but not less than 50 feet except on a single residence lot where a 30 foot minimum length would apply.
3. **Thickness** - Not less than 6 inches.
4. **Width** - Ten (10) foot minimum, but not less than the full width of points where ingress or egress occurs.
5. **Geotextile** - Type GS-1 placed over the entire area prior to placing of stone.
6. **Surface/Water** - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 3:1 slopes will be permitted.
7. **Maintenance** - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any materials used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
8. **Washing** - Vehicle wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. **Inspection** - Periodic inspection and needed maintenance shall be provided after each rain.

Source:	Symbol:	Detail No.
Adapted from VA ESC Handbook	<b>SCE</b>	DE-ESC-3.4.7 Sheet 2 of 2 Effective FEB 2019

### Standard Detail & Specifications Dust Control

**Temporary Methods:**

1. Mulches - See DE-ESC-3.4.5, Standard Detail and Specifications for Mulching.
2. Vegetative cover - See DE-ESC-3.4.3, Std. Detail and Specifications for Vegetative Stabilization.
3. Adhesives - Use an mineral salts only that effective on muck soils. Keep traffic off these areas. The following table may be used for general guidance.

Type of Emulsion	Water Dilution	Type of Nozzle	Apply Gal./Ac.
Latex emulsion	12.5:1	Fine spray	235
Rasin-in-water emulsion	4:1	Fine spray	300
Acrylic emulsion (non-traffic)	7:1	Coarse spray	450
Acrylic emulsion (traffic)	3.5:1	Coarse spray	350

4. **Tillage** - For emergency temporary treatment, scarify the soil surface to prevent or reduce the amount of blowing dust until a more appropriate solution can be implemented. Begin the tillage operation on the windward side of the site using a chisel-type plow for best results.
5. **Sprinkling** - Sprinkle site with water until the surface is moist. Repeat as needed.
6. **Calcium Chloride** - Apply as liquid or granular material with a spreader at a rate that will keep the soil surface moist. Re-apply as necessary.

**Permanent Methods:**

1. Vegetative cover - See DE-ESC-3.4.3, Std. Detail and Specifications for Vegetative Stabilization.
2. Stone - Apply layer of crushed stone or coarse gravel to protect soil surface.

Source:	Symbol:	Detail No.
Adapted from VA ESC Handbook		DE-ESC-3.4.8 Sheet 1 of 1 Effective FEB 2019

### Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

**Pollution Prevention - Spill Prevention**

1. Fueling should only take place in signed designated areas, away from downstream drainage facilities and watercourses.
2. Fueling must be with nozzles equipped with automatic shut-off to control drips. Do not top off.
3. Protect the areas where equipment or vehicles are being repaired, maintained, fueled or parked from storm water run-on and runoff.
4. Use barriers such as berms to prevent storm water run-on and runoff, and to contain spills.
5. Place a "Fueling Area" sign next to each fueling area.
6. Store hazardous materials such as fuel, solvents, oil and chemicals in secondary containment.
7. Inspect vehicles and equipment for leaks on each day of use. Repair fluid and oil leaks immediately.
8. Absorbent spill clean-up materials and spill kits must be available in fueling areas and on fuel tanks.
9. If fueling is to take place at night, make sure the fueling area is sufficiently illuminated.
10. Properly dispose of used oil, fluids, lubricants and spill clean-up materials.

**CLEAN UP SPILLS**

1. If it is safe to do so, immediately contain and clean up any chemical and/or hazardous material spills.
2. Properly dispose of used oil, fluids, lubricants and spill clean-up materials.
3. Do not bury spills or wash them down with water.

**LEAKS AND DRIPS**

1. Use drip pans or absorbent pads at all times. Place under and around leaky equipment.
2. Do not allow oil, grease, fuel or chemicals to drip onto the ground.
3. Have spill kits and clean up material on-site.
4. Repair leaky equipment promptly or remove problem vehicles and equipment from the site. Clean up contaminated soil immediately.
5. Store contaminated waste in sealed containers constructed of suitable material. Label these containers properly.
6. Clean up all spills and leaks. Promptly dispose of waste and spent clean up materials.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		DE-ESC-3.6.1 Sheet 1 of 5 Effective FEB 2019

### Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

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Source:	Symbol:	Detail No.
Delaware ESC Handbook		DE-ESC-3.6.1 Sheet 2 of 5 Effective FEB 2019

### Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

**Notes:**

The Construction Site Pollution Prevention Plan should include the following elements:

1. **Material Inventory**  
Document the storage and use of the following materials:
  - a. Concrete
  - b. Degreasers
  - c. Paints (benzoin and latex)
  - d. Cleaning solvents
  - e. Pesticides
  - f. Wood scraps
  - g. Fertilizers
  - h. Petroleum based products
2. **Good housekeeping practices**
  - a. Store only enough product required to do the job.
  - b. All materials shall be stored in a neat, orderly manner in their original labeled containers and covered.
  - c. Substances shall not be mixed.
  - d. When possible, all of a product shall be used up prior to disposal of the container.
  - e. Manufacturers' instructions for disposal shall be strictly adhered to.
  - f. The site foreman shall designate someone to inspect all BMPs daily.
3. **Waste management practices**
  - a. All waste materials shall be collected and stored in securely lidded dumpsters in a location that does not drain to a waterbody.
  - b. Waste materials shall be salvaged and/or recycled whenever possible.
  - c. The dumpsters shall be emptied a minimum of twice per week, or more if necessary. The licensed trash hauler is responsible for cleaning out dumpsters.

Source:	Symbol:	Detail No.
Adapted from USEPA Pub. 840-B-92-002		DE-ESC-3.6.1 Sheet 3 of 5 Effective FEB 2019

### Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

**Notes (cont.)**

- a. Trash shall be disposed of in accordance with all applicable Delaware laws.
- a. Trash cans shall be placed at all lunch spots and littering is strictly prohibited. Recycle bins shall be placed near the construction trailer.
- f. If fertilizer bags can not be stored in a weather-proof location, they shall be kept on a pallet and covered with plastic sheeting which is overlapped and anchored.

4. **Equipment maintenance practices**
  - a. If possible, equipment should be taken to off-site commercial facilities for washing and maintenance.
  - b. If performed on-site, vehicles shall be washed with high-pressure water spray without detergents in an area contained by an impervious berm.
  - c. Drip pans shall be used for all equipment maintenance.
  - d. Equipment shall be inspected for leaks on a daily basis.
  - e. Washout from concrete trucks shall be disposed of in a temporary pit for hardening and proper disposal.
  - f. Fuel nozzles shall be equipped with automatic shut-off valves.
  - g. All used products such as oil, antifreeze, solvents and tires shall be disposed of in accordance with manufacturers' recommendations and local, state and federal laws and regulations.
5. **Spill prevention practices**
  - a. Potential spill areas shall be identified and contained in covered areas with no connection to the storm drain system.
  - b. Warning signs shall be posted in hazardous material storage areas.
  - c. Preventive maintenance shall be performed on all tanks, valves, pumps, pipes and other equipment as necessary.
  - d. Low or non-toxic substances shall be prioritized for use.

Source:	Symbol:	Detail No.
Adapted from USEPA Pub. 840-B-92-002		DE-ESC-3.6.1 Sheet 4 of 5 Effective FEB 2019



ARCHITECTS ENGINEERS SURVEYORS  
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CONSTRUCTION SITE DETAILS AND NOTES

**SCHELLEVILLE**  
**LEWES & REHOBOTH HUNDRED**  
**SUSSEX COUNTY, DELAWARE**

Revision:  
 2023-01-29 REVISION

Date: **SEPTEMBER 2021**  
 Scale: **1"=40'**  
 Drawn by: **JML**  
 Project No.: **1319A059.A01**  
 Drawn by:

**C-408**



DAVIS, BOWEN & FRIEDEL, INC.  
 ARCHITECTS, ENGINEERS, SURVEYORS  
 1000 N. MARKET STREET, SUITE 200  
 WILMINGTON, DELAWARE 19801  
 (302) 739-1414  
 CONSTRUCTION SITE DETAILS AND NOTES

SHELLVILLE  
 LEWES & REHOBOTH HUNDRED  
 SUSSEX COUNTY, DELAWARE

Revisions:  
 2022-01-28 REVISION  
 Date: SEPTEMBER 2021  
 Scale: 1"=40'  
 Drawn by: JMJ  
 Proj. No.: 1319A059.A01  
 Dwg. No.:

C-409

### Standard Detail & Specifications ESC for Minor Development

**LEGEND**

Flow	→	Inlet Protection - Type 1	IP-1
Silt Fence	—SF—	Inlet Protection - Type 2	IP-2
Sensitive Area Protection	—SAP—		
Unfinished Construction Entrance	—SCE—		

Source: Adapted from IN DNR, "Erosion Control for the Home Builder"  
 Symbol: **SAP**  
 Detail No. DE-ESC-3.7.1 Sheet 1 of 2 Effective FEB 2019

### Standard Detail & Specifications Concrete Washout

**Construction Notes:**

- Locate washout area a minimum of 50 feet from open channels, storm drain inlets, wetlands or waterbodies.
- Locate washout area so that it is accessible to concrete equipment (service with a minimum 10 foot wide gravel accessway), but so it is not in a highly active construction area causing accidental damage.
- Minimum dimensions for prefabricated units are 4 feet by 4 feet by 1 foot deep with a minimum 4 mil polyethylene plastic liner. Minimum dimensions for constructed concrete washout areas are 6 feet by 6 feet by 3 feet deep, with a minimum 10mil polyethylene liner, 2:1 side slopes, and a 1 foot high by 1 foot wide compacted fill berm.
- The liner must be free of tears or holes and placed over smooth surfaces to prevent puncturing. For excavated washouts, anchor the liner underneath the berm or overlap with sandbags or concrete blocks to hold in place.
- Provide a sign designating the washout area, and for large construction sites, provide signs throughout directing traffic to its location.
- Allow washed out concrete mixture to harden through evaporation of the wastewater. Once the facility has reached 75 percent of its capacity, remove the hardened concrete by mixing the broken aggregate easily, recycling, or disposing of offsite. The hardened material can be buried on site with minimum of 1 foot of clean, compacted fill.
- Apply a new liner before reusing the station for additional washouts after maintenance has occurred.

Source: Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3  
 Symbol: **CW**  
 Detail No. DE-ESC-3.6.2 Sheet 2 of 2 Effective FEB 2019

### Standard Detail & Specifications Concrete Washout

**Section A-A**

**Alternate Liner Option**

Source: Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3  
 Symbol: **CW**  
 Detail No. DE-ESC-3.6.2 Sheet 1 of 2 Effective FEB 2019

### Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

**Notes (cont.)**

- Contact information for reporting spills through the DNREC 24-Hour Toll Free Number shall be prominently posted.
- Education**
  - Best management practices for construction site pollution control shall be a part of regular progress meetings.
  - Information regarding waste management, equipment maintenance and spill prevention shall be prominently posted in the construction trailer.

**CONTACT INFORMATION**

DNREC 24-Hour Toll Free Number 800-662-8802  
 DNREC Solid & Hazardous Waste Management Section 302-739-9403

Source: Adapted from USEPA Pub. 840-B-92-002  
 Symbol:  
 Detail No. DE-ESC-3.6.1 Sheet 5 of 5 Effective FEB 2019

### Standard Detail & Specifications Sensitive Area Protection

**Construction Notes:**

- Fencing** shall be installed at the extents of all sensitive areas. For trees, the fencing shall be installed outside the drip line (trunk canopy) and at no time within 5 feet of the trunk. Personnel must be instructed to honor protective devices. The devices described are suggested only, and are not intended to exclude the use of other devices which will protect the trees to be retained. If silt fence is to be used for demarcation purposes, appropriate signage shall be provided a minimum of every 20 feet demarcating the area as a sensitive area protection zone.
- Board Fence** - Board fencing consisting of 4-inch square posts set securely in the ground and protruding at least 4 feet above the ground shall be placed at the limits of clearing with a minimum of two horizontal boards between posts. For tree protection, if it is not practical to erect a fence at the drip line, construct a triangular fence nearer the trunk. The limits of clearing will still be located at the drip line, since the root zone within the drip line will still require protection.
- Plastic Fencing** - 40-inch high "interstitial orange" plastic (polyethylene) web fencing secured to conventional metal "T" or "U" posts driven to a minimum depth of 18 inches on 6-foot minimum centers shall be installed at the limits of clearing. The fence should have the following minimum physical qualities:
 

a. Tensile yield:	Average 2,900 lbs. per 4-foot width (ASTM D438)
b. Ultimate tensile yield:	Average 2,900 lbs. per 4-foot width (ASTM D438)
c. Elongation at break (%):	Greater than 1000% (ASTM D438)
d. Chemical resistance:	Inert to most chemicals and acids

**Maintenance:**  
 Fencing and arming devices shall be in place before any excavation or grading is begun, shall be kept in good repair for the duration of construction activities, and shall be the last items removed during the final cleanup after the completion of the project.

Source: Adapted from VA ESC Handbook  
 Symbol: **SAP**  
 Detail No. DE-ESC-3.7.2 Sheet 3 of 3 Effective FEB 2019

### Standard Detail & Specifications Sensitive Area Protection

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**Materials:**

- Snow Fence** - Standard 40-inch high snow fence shall be placed at the limits of clearing or construction on standard steel posts set 6 feet apart.
- Board Fence** - Board fencing consisting of 4-inch square posts set securely in the ground and protruding at least 4 feet above the ground shall be placed at the limits of clearing with a minimum of two horizontal boards between posts. For tree protection, if it is not practical to erect a fence at the drip line, construct a triangular fence nearer the trunk. The limits of clearing will still be located at the drip line, since the root zone within the drip line will still require protection.
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Source: Adapted from VA ESC Handbook  
 Symbol: **SAP**  
 Detail No. DE-ESC-3.7.2 Sheet 2 of 3 Effective FEB 2019

### Standard Detail & Specifications Sensitive Area Protection

**Location of Sensitive Area Protection**

**Methods of Sensitive Area Protection**

Source: Adapted from VA ESC Handbook  
 Symbol: **SAP**  
 Detail No. DE-ESC-3.7.2 Sheet 1 of 3 Effective FEB 2019

### Standard Detail & Specifications ESC for Minor Development

**Construction Notes:**

- Evaluate the Site.
  - Identify Vegetation to Be Saved
  - Protect Trees and Sensitive Areas
- Install Perimeter Erosion And Sediment Controls.
  - Protect down-slope areas with vegetative filter strips.
  - Protect down-slope areas with silt fence.
  - Restrict all lot access to stabilized construction entrance to prevent vehicles from tracking mud onto roadways.
  - Install inlet protection on nearby storm drain inlets.
- Prepare the Site for Construction.
- Salvage and Stockpile the Topsoil/Subsoil
- Build the Structure and Install the Utilities.
- Install Downspout Extenders
- Maintain the Control Practices.
  - Maintain all erosion and sediment control practices until construction is completed and the lot is stabilized.
  - Inspect the control practices a minimum of twice a week and after each storm event, making any needed repairs immediately.
- Revegetate the Building Site.
  - Redistribute the stockpiled subsoil and topsoil.
  - Seed or sod bare areas.
  - Mulch newly seeded areas.
- Remove Remaining Temporary Control Measures.

Source: Adapted from IN DNR, "Erosion Control for the Home Builder"  
 Symbol:  
 Detail No. DE-ESC-3.7.1 Sheet 2 of 2 Effective FEB 2019

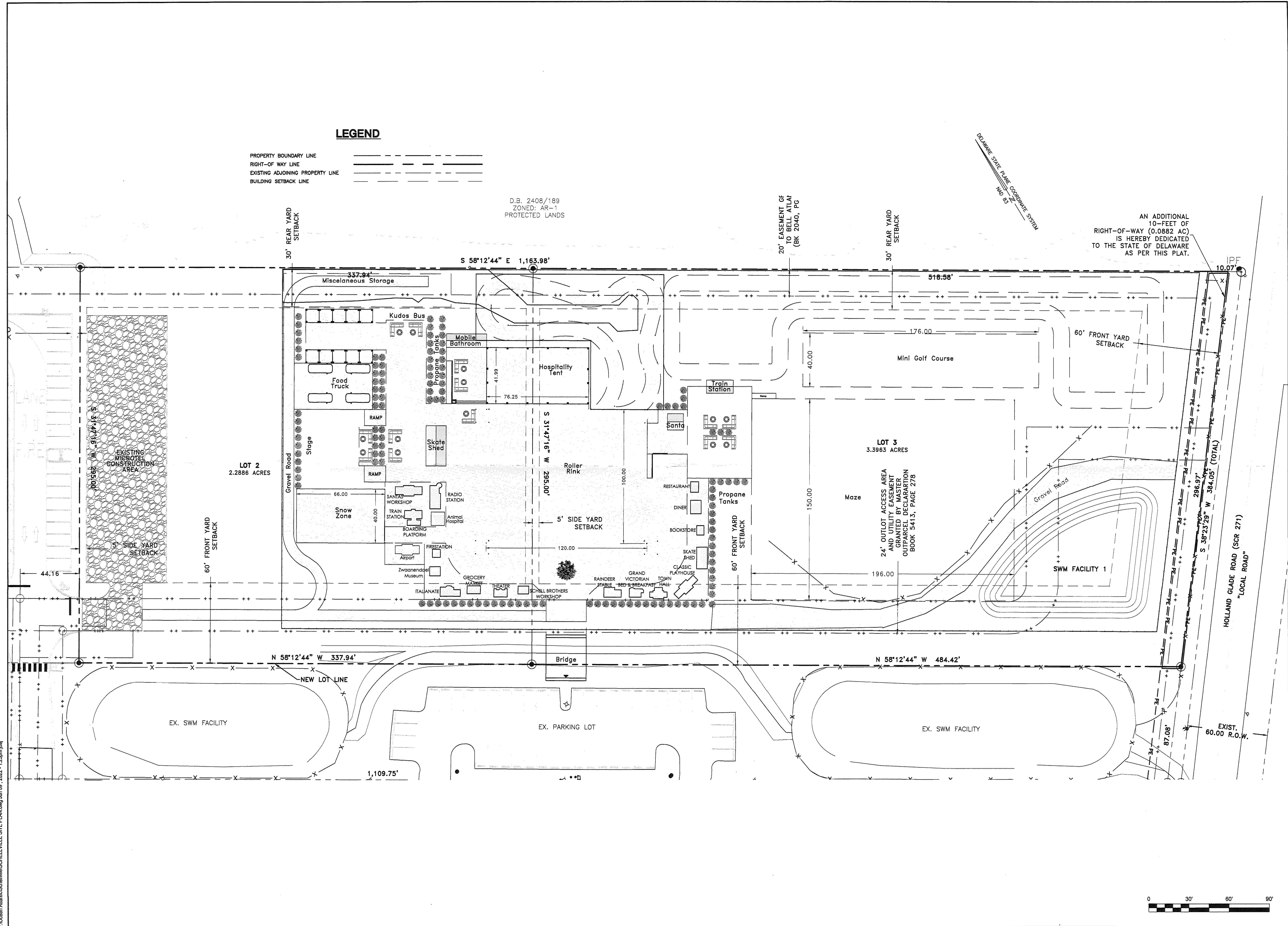
**LEGEND**

- PROPERTY BOUNDARY LINE
- RIGHT-OF-WAY LINE
- EXISTING ADJOINING PROPERTY LINE
- BUILDING SETBACK LINE

D.B. 2408/189  
ZONED: AR-1  
PROTECTED LANDS

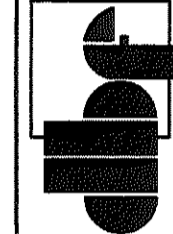
DELAWARE STATE PLANE COORDINATE SYSTEM  
NAD 83

AN ADDITIONAL  
10-FEET OF  
RIGHT-OF-WAY (0.0882 AC)  
IS HEREBY DEDICATED  
TO THE STATE OF DELAWARE  
AS PER THIS PLAT.



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MILFORD, DELAWARE (302) 684-1441  
EASTON, MARYLAND (410) 720-4744

**DAVIS, BOWEN & FRIEDEL, INC.**



SITE PLAN

**SHELLVILLE  
LEWES & REHOBOTH HUNDRED  
SUSSEX COUNTY, DELAWARE**

Revisions:  
2022-01-28 REDESIGN  
2022-03-30 SCD

Date: **SEPTEMBER 2021**  
Scale: **1"=30'**  
Dwn.By: **JMJ**  
Proj.No.: **1319A059.A01**  
Dwg.No.:

**C-403**



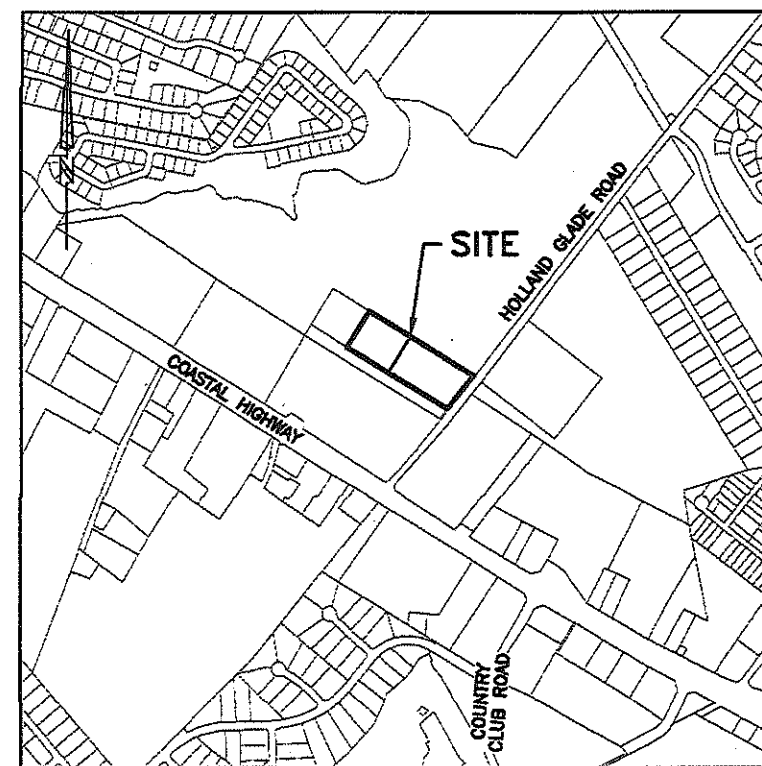
P:\Ocean Atlantic\Schellville\SHELLVILLE SITE PLAN.dwg, Jun 09, 2022, 1:23pm [pl]

# SCHELLVILLE

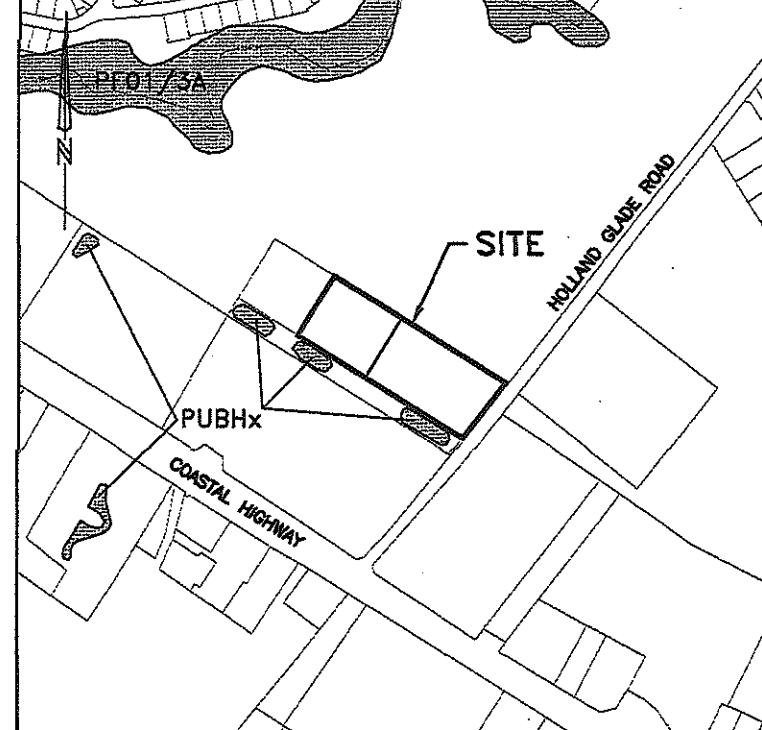
## LEWES REHOBOTH CANAL WATERSHED LEWES & REHOBOTH HUNDRED SUSSEX COUNTY, DELAWARE DBF # 1319A059.A01 SEDIMENT & STORMWATER MANAGEMENT PLAN SEPTEMBER, 2021 REVISED: 3-30-2022

### EROSION AND SEDIMENT CONTROL NOTES

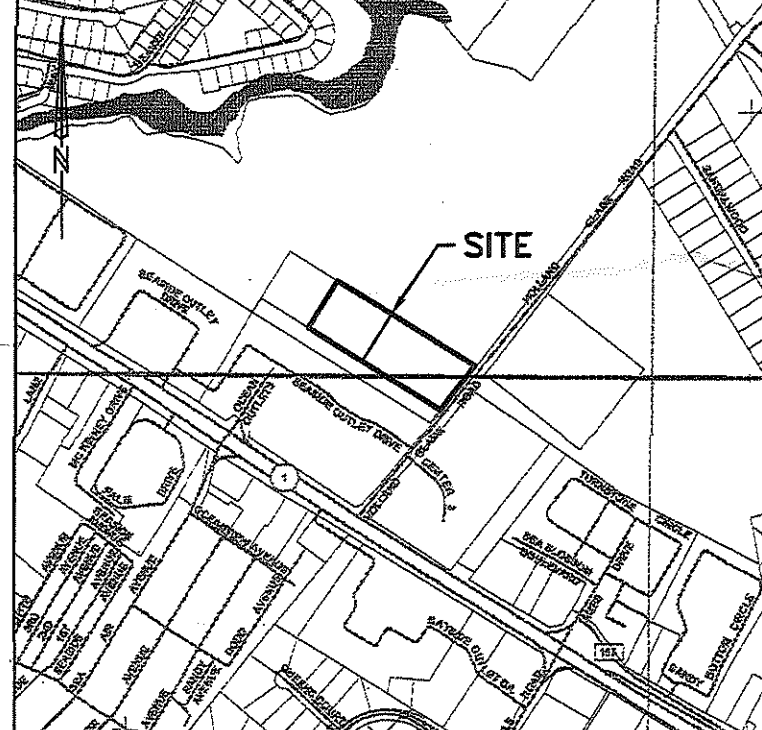
1. THE SUSSEX CONSERVATION DISTRICT MUST BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
2. REVIEW AND APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
3. IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY DNREC OR THE DELEGATED AGENCY.
4. FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER SEDIMENT CONTROLS, SOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
5. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
6. AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHALL BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
7. APPROVED PLANS REMAIN VALID FOR 5 YEARS FROM THE DATE OF APPROVAL.
8. POST CONSTRUCTION VERIFICATION DOCUMENTS ARE TO BE SUBMITTED TO THE SUSSEX CONSERVATION DISTRICT SEDIMENT AND STORMWATER PROGRAM WITHIN 60 DAYS OF STORMWATER MANAGEMENT FACILITY COMPLETION.
9. APPROVAL OF A SEDIMENT AND STORMWATER PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
10. THE NOTICE OF INTENT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER A NPDES GENERAL PERMIT FOR THIS PROJECT IS NO. 8539. AT ANY TIME THE OWNERSHIP FOR THIS PROJECT CHANGES, A TRANSFER OF AUTHORIZATION OR A CO-PERMITTEE APPLICATION MUST BE SUBMITTED TO DNREC. THE PERMITTEE OF RECORD SHALL NOT BE RELIEVED OF THEIR RESPONSIBILITIES UNTIL A NOTICE OF TERMINATION HAS BEEN PROCESSED BY DNREC.
11. THE OWNER SHALL BE FAMILIAR WITH AND COMPLY WITH ALL ASPECTS OF THE NPDES CONSTRUCTION GENERAL PERMIT ASSOCIATED WITH THE PROJECT, INCLUDING, BUT NOT LIMITED TO, PERFORMING WEEKLY SITE INSPECTIONS DURING CONSTRUCTION AND AFTER RAIN EVENTS, AND MAINTAINING WRITTEN LOGS OF THESE INSPECTIONS.
12. BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CALL MISS UTILITY AT 811 OR 1-800-282-8555 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, TO HAVE ALL EXISTING UTILITIES MARKED ONSITE.
13. THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHOULD BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENTATION ON THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR REPAIR MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
14. BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7 DEL.C. CH. 60 AND THE CURRENT DELAWARE CONSTRUCTION GENERAL PERMIT (CGP).
15. DOCUMENTATION OF SOIL TESTING AND MATERIALS USED FOR TEMPORARY OR PERMANENT STABILIZATION INCLUDING BUT NOT LIMITED TO SOIL TEST RESULTS, SEED TAGS, SOIL AMENDMENT TAGS, ETC. SHALL BE PROVIDED TO THE DEPARTMENT OR DELEGATED AGENCY TO VERIFY THAT THE PERMANENT OR TEMPORARY STABILIZATION HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLAN.
16. THE DEPARTMENT OR DELEGATED AGENCY MAY REQUIRE ADDITIONAL SOIL TESTING AND REAPPLICATION OF PERMANENT OR TEMPORARY STABILIZATION IN ACCORDANCE WITH THE SPECIFICATIONS IN THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, OR ALTERNATIVE MEASURES THAT PROVIDE FUNCTIONAL EQUIVALENCE.
17. THE SITE CONTRACTOR, UNDER THE DIRECTION OF THE OWNER SHALL MAINTAIN AND REPAIR ALL EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT PRACTICES DURING UTILITY INSTALLATION.
18. THE OWNER, SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER AFTER CONSTRUCTION IS COMPLETE.
19. SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, MODIFY, OR DELETE ANY EROSION AND SEDIMENT CONTROL MEASURES AS THEY DEEM NECESSARY.
20. ALL AREAS NOT COVERED BY BUILDING OR PAVEMENT WILL BE SEEDING USING PERMANENT SEED MIXTURE SHOWN ON THIS PLAN.
21. PROVIDE EROSION CONTROL MATTING ON ALL SLOPES 3:1 OR GREATER, AND IN ALL AREAS OF CONCENTRATED FLOW. PROVIDE EROSION CONTROL WOVEN GEOTEXTILE FABRIC BENEATH ALL STONE APPLICATIONS WITH THE EXCEPTION OF CHECK DAMS.
22. UPON COMPLETION OF STOCKPILING TOPSOIL, SEED AND MULCH USING TEMPORARY SEED MIXTURE SPECIFICATIONS IF TO REMAIN IN PLACE LONGER THAN FOURTEEN (14) DAYS.
23. SEEDING (PERMANENT):
  - A. SHALL BE CONDUCTED AS SOON AS WEATHER PERMITS.
  - B. THE APPLICATION RATES OF FERTILIZER AND LIME SHOULD BE ACCORDING TO THE RECOMMENDATION OF THE ON SITE SOIL TESTS. IF THE SOIL TESTING IS NOT AVAILABLE, THEN THE FOLLOWING SPECIFIED RATES MAY BE USED.
  - C. SEED BED PREPARATION: APPLY 25 LBS. OF 10-10-10 FERTILIZER PER 1000 SQ. FT.; HARROW OR DISC INTO SOIL TO A DEPTH OF 3 TO 4 INCHES; APPLY DOLOMITIC LIMESTONE AT 92 LBS. PER 1000 SQ. FT.
  - D. SEEDING: APPLY 5.0 LBS. PER 1000 SQ. FT. OF KENTUCKY 31 TALL FESCUE ON A MOIST SEED BED WITH SUITABLE EQUIPMENT. MINIMUM COVERAGE IS 1/4 INCH.
  - E. MULCHING: IMMEDIATELY AFTER SEEDING, UNIFORMLY MULCH ENTIRE AREA WITH UNWEATHERED SMALL GRAIN STRAW AT A RATE OF 92 LBS. PER 1000 SQ. FT. MULCH TO BE ANCHORED WITH MULCH ANCHORING TOOL ON THE CONTOUR.
24. TEMPORARY STABILIZATION:
  - A. SEED BED PREPARATION: APPLY 14 LBS. OF 10-10-10 FERTILIZER PER 1000 SQ. FT.; HARROW OR DISC INTO SOIL TO A DEPTH OF 3 TO 4 INCHES; APPLY DOLOMITIC LIMESTONE AT 46 TO 92 LBS. PER 1000 SQ. FT.
  - B. SEEDING: APPLY 3.2 LBS. PER 1000 SQ. FT. OF RYE GRASS WHICH SHALL BE CONDUCTED BETWEEN FEBRUARY 1 TO APRIL 30 OR AUGUST 15 TO NOVEMBER 30.
  - C. MULCH: STRAW SHALL BE UNROTTED SMALL GRAIN STRAW APPLIED AT THE RATE IN 1-1/2 TO 2 TONS PER ACRE, OR 70 TO 90 LBS. (TWO BALES) PER 1000 SQ. FT.. MULCH MATERIALS SHALL BE RELATIVELY FREE OF WEEDS AND SHALL BE FREE OF NOXIOUS WEEDS SUCH AS: THISTLES, JOHNSON GRASS, AND QUACKGRASS. SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY. MULCH TO BE ANCHORED WITH MULCH ANCHORING TOOL ON THE CONTOUR.
25. IF TEMPORARY STABILIZATION IS REQUESTED, PERMANENT SEEDING SHALL BE PERFORMED DURING THE NEXT APPLICABLE PERIOD PER NOTE 23 ABOVE.
26. ALL FILL SLOPE AREAS SHOWN HEREON ARE TO BE STABILIZED PER NOTES 23 OR 24 ABOVE IMMEDIATELY AFTER COMPLETION OF GRADING OPERATIONS FOR THESE SLOPES.
27. TEMPORARY VEGETATIVE COVER, MULCHING, AND/OR SPRINKLING WITH WATER SHALL BE THE METHODS USED AS NECESSARY TO CONTROL DUST.
28. ALL RIP-RAP AND STONE IS TO BE UNDERLAYED WITH A SUITABLE NON-WOVEN GEOTEXTILE FABRIC.
29. THE SITE IS NOT IMPACTED BY THE 100-YEAR FLOOD PLAIN AS DEPICTED ON FEMA MAP NO: 10005C0351K & 10005C0353K (DATED MARCH 16, 2015).
30. THE TOTAL AREA OF DISTURBANCE IS 4.169 ACRES. THE VOLUME OF SPOIL/BORROW WILL BE EQUALIZED ON THE SITE.



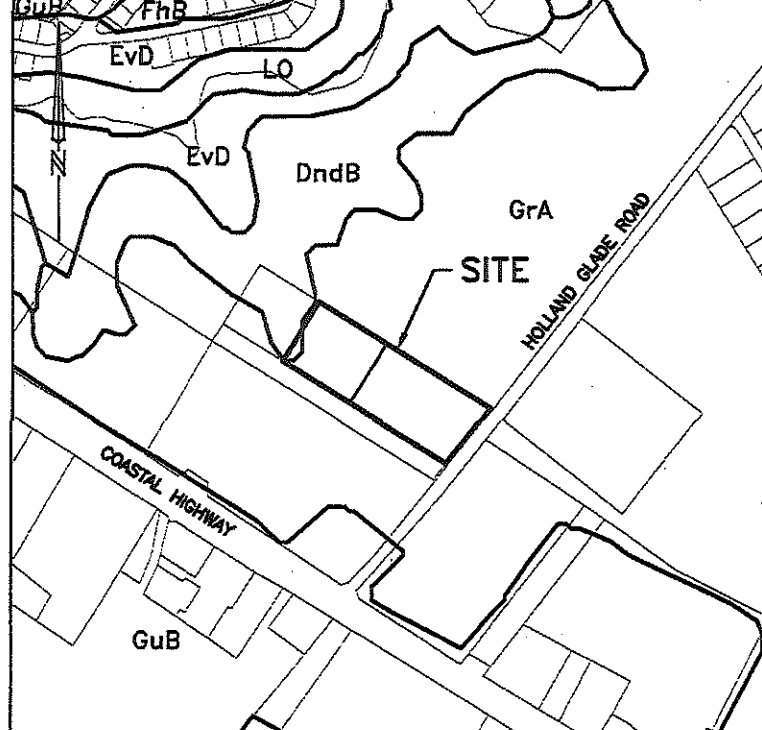
LOCATION MAP SCALE: 1" = 1/4 MILE



NW1 WETLANDS SCALE: 1" = 800'

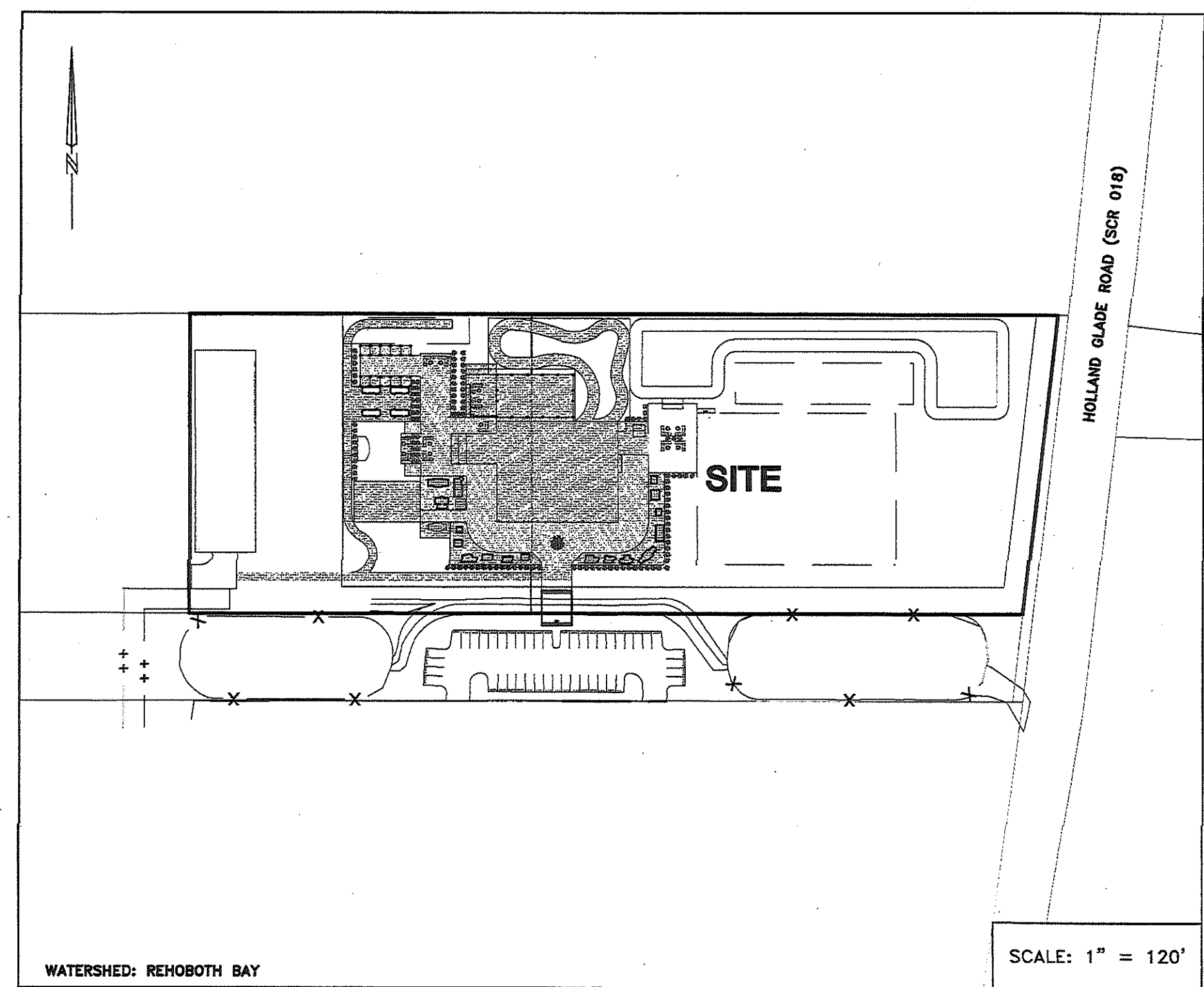
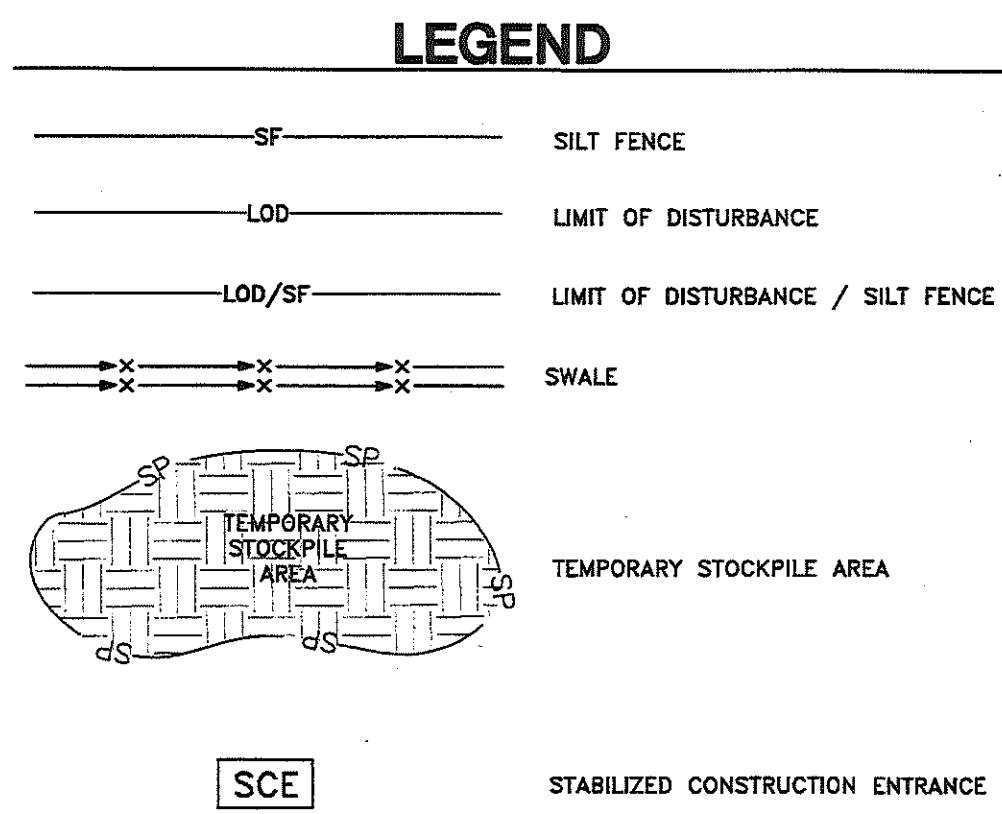


FLOODPLAIN MAP SCALE: 1" = 1000'  
FEMA PANEL #10005C0351K & 353K DATED: MARCH 16, 2015



SOILS MAP SCALE: 1" = 800'

DndB - DOWNER LOAMY SAND, 2-5% SLOPES, HSG B  
GrA - GREENWICH LOAM, 0-2% SLOPES, HSG D



### DATA COLUMN

TAX MAP ID	:334-13.00-325.52 & 325.53
LOCATION	BENCHMARK #1 (PPF) N:262265.1684 E:742890.5986 ELEV= 24.52' NAD/83 NAVD 88
SITE ADDRESS	NORTHWEST SIDE OF HOLLAND GLADE RD, +/-725' NORTHEAST OF COASTAL HIGHWAY
EXISTING LAND USE	:VACANT LAND
PROPOSED LAND USE	:COMMERCIAL/AMUSEMENT
EXISTING/PROPOSED ZONING	:C-3
TOTAL SITE AREA	:5.685 Ac.±
C-3 ZONING REQUIREMENTS:	
MINIMUM LOT AREA	:1 ACRE
MAXIMUM BUILDING COVERAGE	:50%
MINIMUM LOT WIDTH	:75'
MINIMUM LOT DEPTH	:100'
MAXIMUM BUILDING HEIGHT	:42'
C-3 SETBACK REQUIREMENTS:	
FRONT SETBACK	:60'
SIDE SETBACK	:5' / 20' ADJOINING
REAR SETBACK	:5' / 30' ADJOINING
	A RESIDENTIAL DISTRICT
	A RESIDENTIAL DISTRICT
THE PROPERTY IS LOCATED WITHIN ZONE X - (MINIMAL FLOODING). FIRM MAP 10005C0351K & 10005C0353K (MARCH 16, 2015)	
THE SITE AS SHOWN HEREON DOES NOT CONTAIN STATE OR FEDERALLY REGULATED SECTION 10 WETLANDS. BASED ON NW1 AND DNREC WETLAND MAPS.	
THE SITE IS LOCATED WITHIN THE REHOBOTH BAY WATERSHED.	
LIMIT OF DISTURBANCE	:4.169 ACRES
PERVIOUS PAVERS COVERAGE	:0.39 ACRES(7.9%)
GRAVEL COVERAGE	:1.36 ACRES(23.9%)
GRASS AREA	:3.94 ACRES(68.2%)
FIRE DISTRICT	:REHOBOTH
SCHOOL DISTRICT	:CAPE HENLOPEN
LEVY COURT DISTRICT	:3RD
PERMANENT MONUMENTS FOUND	:1
PERMANENT MONUMENTS TO BE PLACED	:0
VERTICAL DATUM	:NAVD 88
UTILITIES:	
WATER	:TIDEWATER UTILITIES, INC.
SEWER	:SUSSEX COUNTY
INVESTMENT LEVEL AREA	:2 AND 3

### BENCHMARK INFORMATION

BM#	DESCRIPTION	LOCATION	ELEVATION
1	IRON PIPE FOUND	N:262265.3016 E:742890.6706	45.52

### INDEX OF SHEETS

Sheet	Description
C-401	COVERSHEET AND GENERAL NOTES
C-402	EXISTING CONDITIONS
C-403	SITE PLAN
C-404	CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN
C-405	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN, FACILITY #1
C-406 - C-409	CONSTRUCTION SITE DETAIL AND NOTES

### ENGINEER'S STATEMENT

I, THE UNDERSIGNED, HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE. THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

*W. Zachary Crouch*  
W. ZACHARY CROUCH, P.E.  
DAVIS, BOWEN & FRIEDEL, INC.  
1 PARK AVENUE  
MILFORD, DELAWARE, 19963  
DATE: MAY 03 2022

### OWNER/DEVELOPER STATEMENT

I, THE UNDERSIGNED, CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE ACT AND DESIRE THE PLAN TO BE RECORDED TO ORDINANCE.

*Jim Beene*  
SCHELL BROTHERS, LLC  
20184 PHILLIPS STREET  
REHOBOTH BEACH, DELAWARE 19971  
DATE: 5/4/22

### SUSSEX CONSERVATION DISTRICT

DAVIS, BOWEN & FRIEDEL, INC.  
ARCHITECTS, ENGINEERS & SURVEYORS

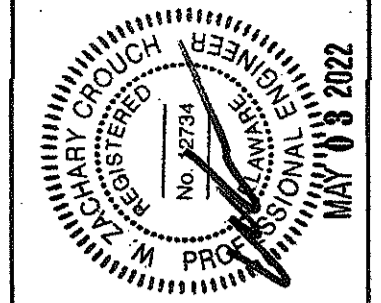
SALISBURY, MARYLAND (410) 543-8081  
MILFORD, DELAWARE (302) 424-1441  
EASTON, MARYLAND (410) 770-4744

APPROVED  
SEDIMENT CONTROL & STORMWATER MANAGEMENT  
Reviewed By: *[Signature]* Date: 5-6-22  
Approved By: *[Signature]* Date: 5-6-22

C-401



DELAWARE STATE PLANE COORDINATE SYSTEM  
 NO. 82



ARCHITECTS ENGINEERS SURVEYORS  
 SALISBURY, MARYLAND (410) 543-2001  
 WILMINGTON, DELAWARE (302) 734-1144  
 EASTON, MARYLAND (410) 725-1144

**DAVIS, BOWEN & FRIEDEL, INC.**  
 EXISTING CONDITIONS

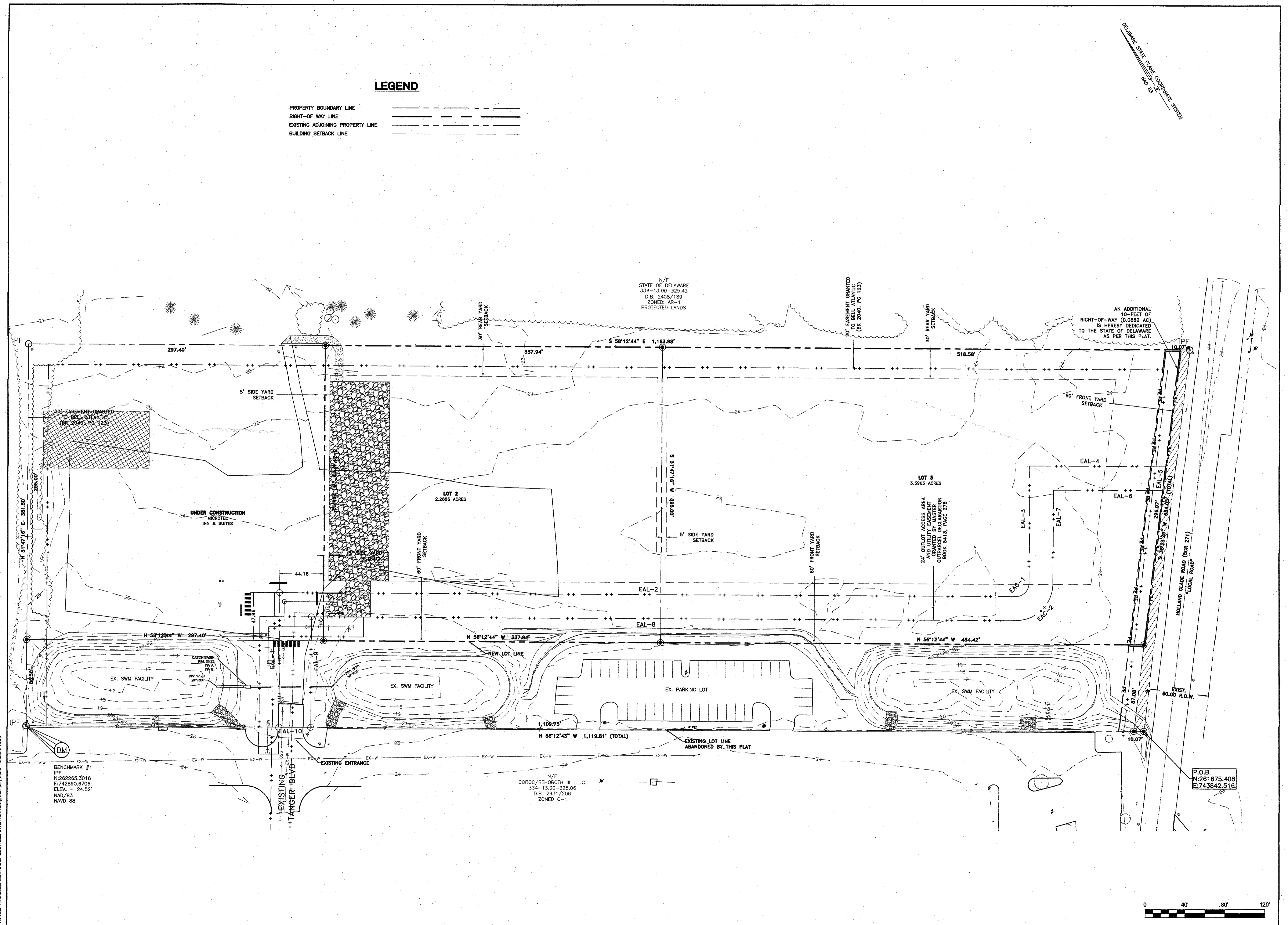
**LEGEND**

PROPERTY BOUNDARY LINE

RIGHT-OF-WAY LINE

EXISTING ADJOINING PROPERTY LINE

BUILDING SETBACK LINE

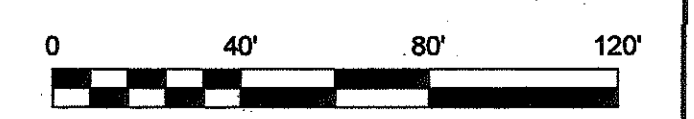


P:\Ocean Atlantic\Schellville\SHELLVILLE SITE PLANNING Mar 30, 2022 - 8:52am.wac

BENCHMARK #1  
 I.P.F.  
 N:262285.3016  
 E:742890.6706  
 ELEV. = 24.52'  
 NAD 83  
 NAVD 88

N/F  
 COROC/REHOBOTH III L.L.C.  
 334-13.00-325.06  
 D.B. 2931/206  
 ZONED C-1

P.O.B.  
 N:261675.408  
 E:743842.516

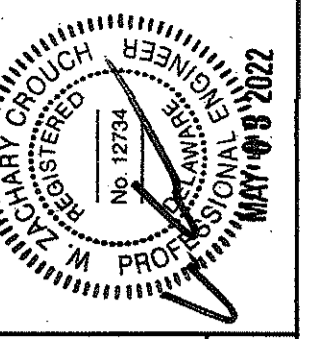


**SHELLVILLE**  
**LEWES & REHOBOTH HUNDRED**  
**SUSSEX COUNTY, DELAWARE**

Revisions:  
 2022-01-28 REDESIGN  
 2022-03-30 SC

Date: **SEPTEMBER 2021**  
 Scale: **1"=40'**  
 Dwn.By: **JMJ**  
 Proj.No.: **1319A059.A01**  
 Dwg.No.:

**C-402**



ARCHITECTS ENGINEERS SURVEYORS  
DARBY, MARYLAND  
ALFORD, DELAWARE  
ESTON, MARYLAND  
(410) 845-2882  
(410) 424-1441  
(410) 770-6744

**DAVIS, BOWEN & FRIEDEL, INC.**

SITE PLAN

**SHELLVILLE  
LEWES & REHOBOTH HUNDRED  
SUSSEX COUNTY, DELAWARE**

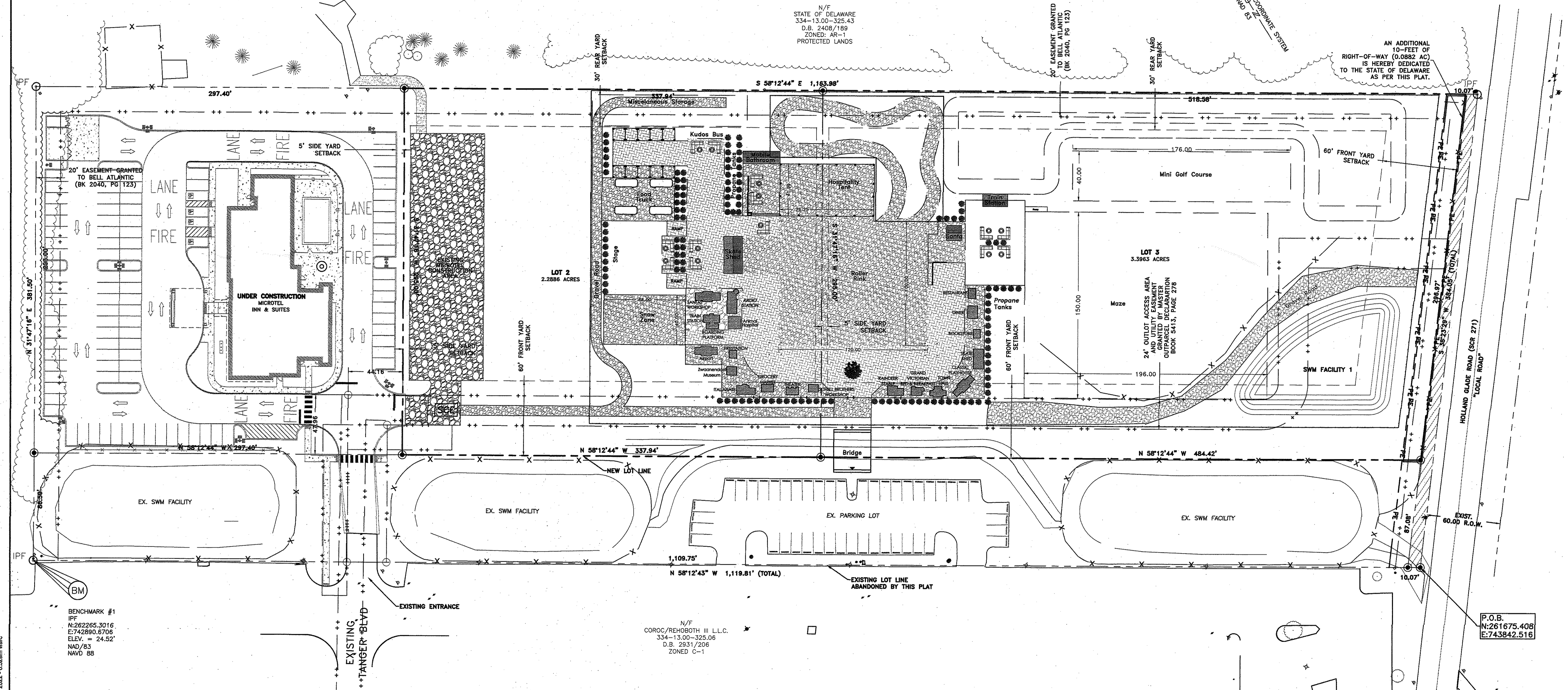
Revisions:  
2022-01-28 REDESIGN  
2022-03-30 SCD

Date: **SEPTEMBER 2021**  
Scale: **1"=40'**  
Dwn.By: **JMJ**  
Proj.No.: **1319A059.A01**  
Dwg.No.:

**C-403**

**LEGEND**

- PROPERTY BOUNDARY LINE
- RIGHT-OF-WAY LINE
- EXISTING ADJOINING PROPERTY LINE
- BUILDING SETBACK LINE



BENCHMARK #1  
IPF  
N:262265.3016  
E:742590.8706  
ELEV. = 24.52'  
NAD/83  
NAVD 88

N/F  
COROC/REHOBOTH III L.L.C.  
334-13.00-325.06  
D.B. 2931/206  
ZONED C-1

P.O.B.  
N:261675.408  
E:743842.516



**LEGEND**

- STORM IDENTIFICATION LABELS
- INLET PROTECTION - TYPE 1, 2
- EROSION CONTROL MATTING - SLOPE (NORTH AMERICAN GREEN - SC150BN)
- RIPRAP OUTLET PROTECTION - TYPE 1, 2
- STABILIZED CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT
- LIMIT OF DISTURBANCE (4.169 AC.)
- SILT FENCE
- COMPOST FILTER LOG

**SEQUENCE OF CONSTRUCTION**

1. NOTIFY THE SUSSEX CONSERVATION DISTRICT IN WRITING AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
2. THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA AT 1-800-282-8555 FOR UTILITY LOCATIONS WITHIN AND SURROUNDING CONSTRUCTION AREAS NOT LESS THAN 3 DAYS BEFORE PERFORMING ANY EXCAVATION.
3. A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED AND CONDUCTED WITH THE AGENCY CONSTRUCTION SITE REVIEWER, THE LANDOWNER/DEVELOPER, CONTRACTOR, THIRD PARTY CCR, AND GEOTECH/SOIL SCIENTIST OF RECORD ARE REQUIRED TO BE IN ATTENDANCE AT THE PRE-CONSTRUCTION MEETING; THE DESIGNER IS RECOMMENDED TO ATTEND.
4. CLEAR AND GRUB AS NECESSARY TO INSTALL ALL PRE-BULK EROSION & SEDIMENT CONTROLS, SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE, ETC. PER E&S DETAILS ON SHEETS C-406 - C-409. ALL PERIMETER CONTROLS ARE TO BE REVIEWED BY THE AGENCY CONSTRUCTION SITE REVIEWER AND APPROVED PRIOR TO PROCEEDING WITH FURTHER SITE DISTURBANCE OR CONSTRUCTION.
5. THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHOULD BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENTATION ON THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR REPAIR MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
6. NOTIFY THE PERSON RESPONSIBLE FOR STORMWATER SYSTEM CONSTRUCTION REVIEW AT LEAST 3 DAYS PRIOR TO THE START OF THE STORMWATER SYSTEM CONSTRUCTION; STORMWATER FACILITIES MUST BE REVIEWED THROUGHOUT THEIR CONSTRUCTION.
7. BEGIN CONSTRUCTION OF THE SWM FACILITIES. REFER TO SWM FACILITY SEQUENCE OF CONSTRUCTION ON SHEETS C-405. A CONSTRUCTION REVIEW IS REQUIRED ONCE THE FACILITY IS STABILIZED.
8. STRIP TOPSOIL AND PERFORM BULK GRADING FOR BUILDING AND PARKING AREAS.
9. INSTALL CLOSED STORM DRAINAGE SYSTEM AND ALL OTHER UNDERGROUND UTILITIES.
10. FINE GRADE SITE FOR BUILDINGS AND PROPOSED PARKING AREAS. BEGIN BUILDING CONSTRUCTION. BEGIN PARKING LOT CONSTRUCTION. PLACE STONE PER PAVEMENT SPECIFICATIONS AND PLANS. UPON COMPLETION OF PAVING AND STABILIZATION OF ALL DISTURBED AREAS, REMOVE SEDIMENT FROM SEDIMENT TRAPS AND STORM DRAINAGE SYSTEM AND STABILIZE DISTURBANCE IMMEDIATELY.
11. RESTORE ALL DISTURBED AREAS NOT TO BE COVERED BY PAVEMENT WITH PERMANENT STABILIZATION IN ACCORDANCE WITH ITEM 22 OF THE EROSION AND SEDIMENT CONTROL NOTES. A CONSTRUCTION REVIEW IS REQUIRED FOR THE PERMANENT VEGETATIVE STABILIZATION.
12. CONVERT STORMWATER FACILITIES FROM SEDIMENT TRAPS TO FINAL DESIGNS. WRITTEN APPROVAL IS REQUIRED FROM THE SCD INSPECTOR PRIOR TO CONVERSION FROM SEDIMENT BASIN TO FINAL DESIGNS. REFER TO SWM FACILITY SEQUENCE OF CONSTRUCTION ON SHEETS C-405. NO GROUND DISTURBANCE SHOULD OCCUR AFTER SEDIMENT TRAPS ARE CONVERTED TO THE FINAL STORMWATER FACILITIES.
13. EROSION AND SEDIMENT CONTROL DEVICES TO BE REMOVED ONLY AFTER WORK IN AN AREA HAS BEEN COMPLETED AND STABILIZED, WITH WRITTEN APPROVAL FROM THE AGENCY CONSTRUCTION SITE REVIEWER.
14. CONTACT SUSSEX CONSERVATION DISTRICT FOR INSPECTION.
15. THE TERMINATION OF THE CONSTRUCTION GENERAL PERMIT WILL REQUIRE SUBMISSION AND ACCEPTANCE OF THE POST CONSTRUCTION VERIFICATION DOCUMENTS, INCLUDING FINAL STABILIZATION THROUGHOUT THE SITE, ALL ELEMENTS OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN IMPLEMENTED, AND ACCEPTANCE OF THE FINAL OPERATION AND MAINTENANCE PLAN.

PIPE SCHEDULE									
LABEL	DESCRIPTION		SIZE (")	TYPE	LENGTH (')	CLASS	SLOPE (%)	INVERT ELEVATION	
	FROM	TO						UP	DOWN
P101	DI101	FE100	15	HDPE	37	*	0.30	19.61	19.50
P102	DI102	DI101	15	HDPE	167	*	0.30	20.13	19.61
P103	DI103	DI102	15	HDPE	261	*	0.20	20.65	20.13
P104	DI104	DI103	15	HDPE	43	*	0.20	20.74	20.65
P105	DI105	DI102	15	HDPE	57	*	0.20	20.24	20.13
P111	DI111	FE110	15	HDPE	139	*	0.30	19.93	19.50
P112	DI112	DI111	15	HDPE	256	*	0.30	20.70	19.93
P113	DI113	DI112	15	HDPE	136	*	0.20	20.97	20.70
P114	DI114	DI113	15	HDPE	143	*	0.20	21.26	20.97

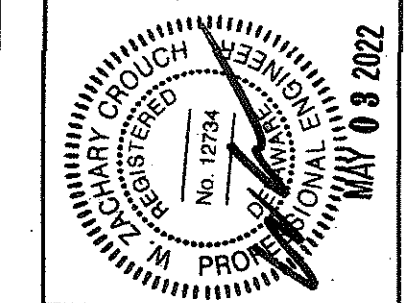
\* = HDPE PIPE SHALL COMPLY WITH AASHTO M252, M294, MP7, AND ASTM 3350. PIPE SHALL BE INSTALLED PER ASTM D2321 AND AS RECOMMENDED BY THE MANUFACTURER. ALL HDPE SHALL HAVE WATERTIGHT CONNECTIONS.

FLARED END SCHEDULE			
LABEL	SIZE (")	TYPE	INVERT
FE100	15	HDPE	19.50
FE110	15	HDPE	19.50

DRAINAGE INLET & MANHOLE SCHEDULE									
LABEL	DESCRIPTION		T.G. ELEV.	INVERT IN	INVERT IN	INVERT IN	INVERT OUT		
	BOX	TOP UNIT						GRATE	INVERT IN
DI101	34"x24"	A	TYPE 3	25.02		19.61	19.61		
DI102	34"x24"	A	TYPE 3	25.08	20.13	20.13	20.13		
DI103	34"x24"	A	TYPE 3	23.86		20.65	20.65		
DI104	34"x24"	A	TYPE 3	23.96			20.74		
DI105	34"x24"	A	TYPE 3	24.71			20.24		
DI111	34"x24"	A	TYPE 3	24.70		19.93	19.93		
DI112	34"x24"	A	TYPE 3	24.12		20.70	20.70		
DI113	34"x24"	A	TYPE 3	24.71		20.97	20.97		
DI114	34"x24"	A	TYPE 3	23.84			21.26		

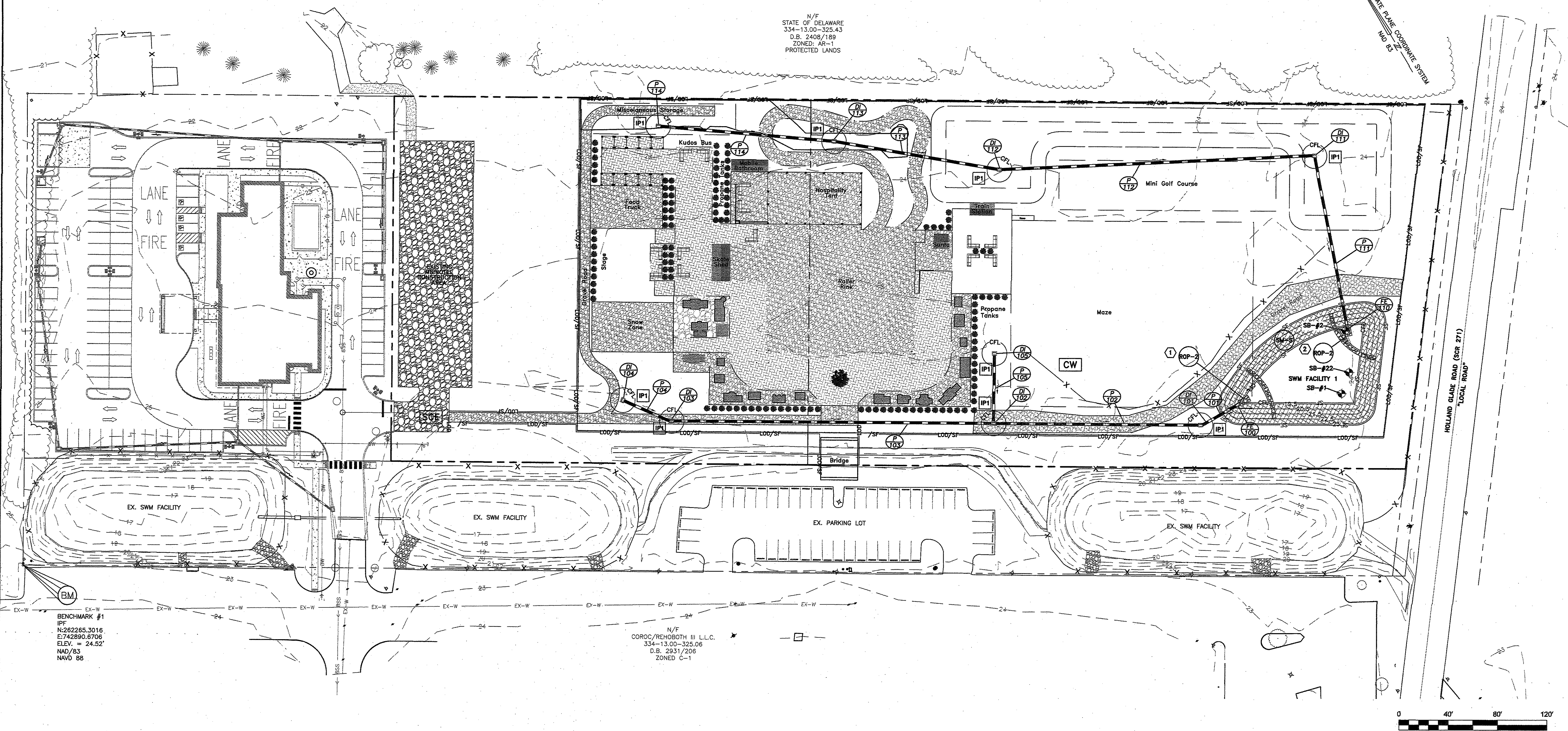
DRAINAGE INLETS AND MANHOLES SHALL MEET THE STANDARDS AND SPECIFICATIONS PER THE STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION DETAILS (LATEST EDITION).

ROP SCHEDULE						
ROP #	INLET	TYPE	PIPE DIAMETER (IN.)	APRON LENGTH (L) (ft)	APRON WIDTH (W) (ft)	RIPRAP SIZE (No.)
1	FE100	2	15"	9'	5'	R4
2	FE110	2	15"	9'	5'	R4



**DAVIS, BOWEN & FRIEDEL, INC.**  
 ARCHITECTS ENGINEERS SURVEYORS  
 100 S. MARKET STREET, SUITE 200  
 WILMINGTON, DELAWARE 19801  
 (302) 776-1144  
 (302) 776-1144  
 (302) 776-1144

CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN



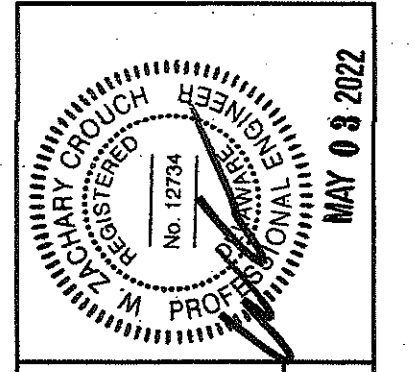
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**SHELLVILLE**  
**LEWES & REHOBOTH HUNDRED**  
**SUSSEX COUNTY, DELAWARE**

Revisions:  
 2022-01-28 REDESIGN  
 2022-03-29 SCD  
 2022-05-03 SCD

Date: SEPTEMBER 2021  
 Scale: 1"=40'  
 Dwn. By: JMJ  
 Proj. No: 1319A059.A01  
 Dwg. No.:

**C-404**



ARCHITECTS ENGINEERS SURVEYORS  
 DAVIS, BOWEN & FRIEDEL, INC.  
 SALISBURY, MARYLAND (410) 543-0000  
 WILMINGTON, DELAWARE (302) 484-1444  
 EASTON, MARYLAND (410) 770-1144  
 POST CONSTRUCTION STORMWATER MANAGEMENT PLAN, FACILITY #1

**SHELLVILLE**  
**LEWES & REHOBOTH HUNDRED**  
**SUSSEX COUNTY, DELAWARE**

Revisions:  
 2022-01-28 REDESIGN  
 2022-05-03 SCD

Date: SEPTEMBER 2021  
 Scale: AS SHOWN  
 Dwn.By: JMJ  
 Proj.No.: 1319A059.A01  
 Dwg.No.: C-405

**INFILTRATION BASIN  
 SEQUENCE OF CONSTRUCTION**

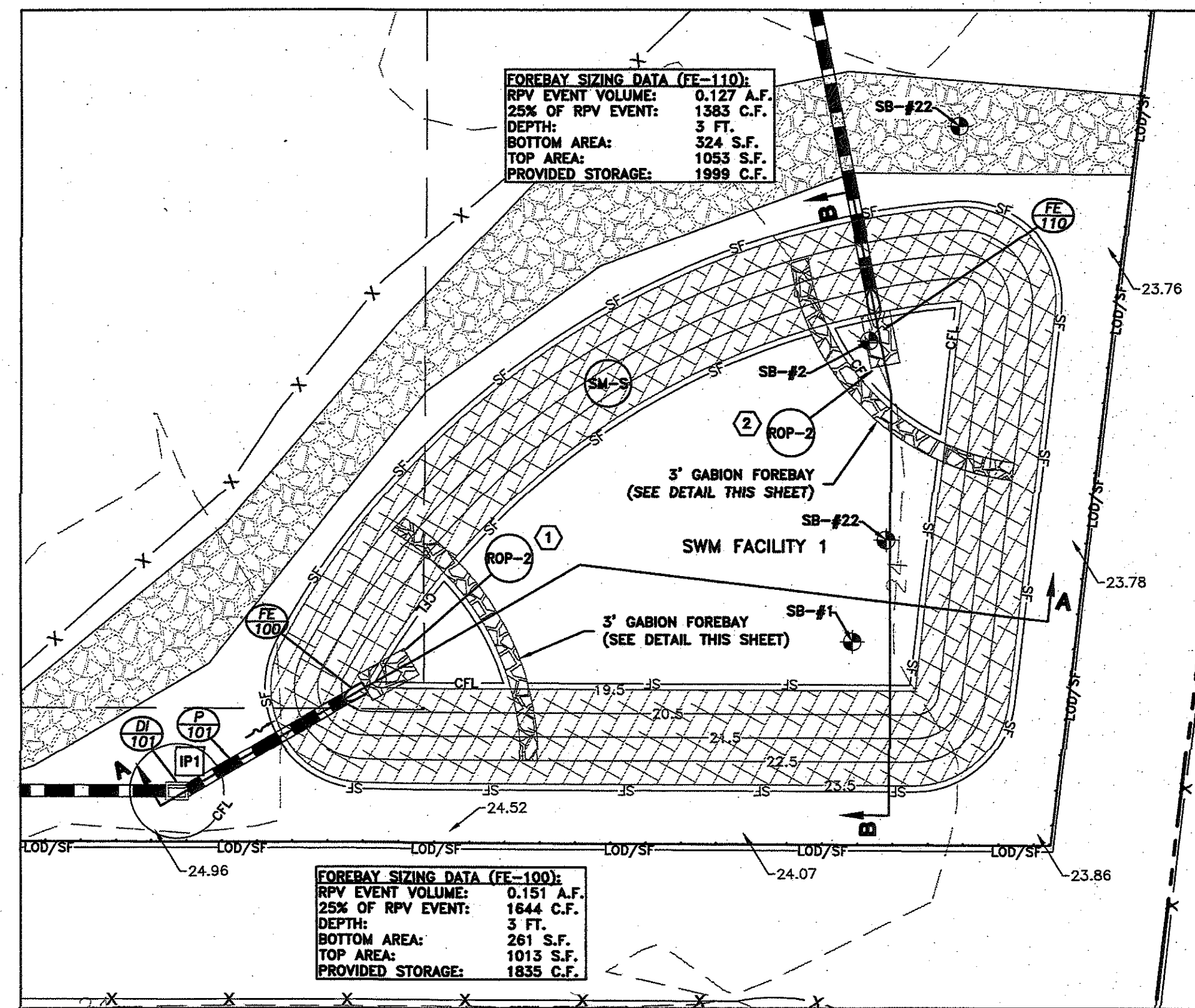
1. NOTIFY THE SUSSEX CONSERVATION DISTRICT OF INTENT TO BEGIN CONSTRUCTION AND SCHEDULE A PRE-CONSTRUCTION MEETING.
2. CONSTRUCT SEDIMENT TRAP. A GEOTECH IS TO BE PRESENT FOR ALL STORMWATER FACILITY CONSTRUCTION. NO HEAVY EQUIPMENT IS TO TRAVERSE THE BMP BOTTOM AT ANY TIME.
  - 2.A. CLEAR AND GRUB BASIN AREAS.
  - 2.B. EXCAVATE BASIN TO THE FINAL ELEVATION. STOCKPILE EXCAVATED MATERIAL IN DESIGNATED STOCKPILE AREAS AND SURROUND WITH SILT FENCE. INSTALL SILT FENCE AT THE TOP AND BOTTOM OF BANKS, AND SM-S STABILIZATION MATTING ON ALL SIDE SLOPES.
  - 2.C. INSTALL INLET PIPES, FLARED END SECTIONS RIP-RAP OUTLET PROTECTION, AND GABION FOREBAYS. INSTALL COMPOST FILTER LOGS INSIDE OF THE GABION FOREBAYS AND AROUND ALL INLETS.
  - 2.D. STABILIZE BASIN IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL NOTES. 2.E. A CONSTRUCTION REVIEW IS REQUIRED AT THIS TIME.
3. UPON COMPLETION OF BUILDINGS, CONVERT STORMWATER FACILITY FROM SEDIMENT TRAP TO INFILTRATION AREAS. NO GROUND DISTURBANCE SHOULD OCCUR AFTER SEDIMENT TRAP IS CONVERTED TO THE FINAL STORMWATER FACILITY. A GEOTECH IS TO BE PRESENT FOR ALL STORMWATER FACILITY CONSTRUCTION. NO HEAVY EQUIPMENT IS TO TRAVERSE THE BMP BOTTOM AT ANY TIME.
  - 3.A. AREAS THAT ARE GRADED OR DEMURED DURING CONSTRUCTION TO BE PLANTED WITH TURF GRASS, NATIVE PLANTINGS OR OTHER APPROVED METHODS OF SOIL STABILIZATION, PER BMP STANDARDS & SPECIFICATIONS, SECTION 13.8.
  - 3.B. INSPECT SEDIMENT TRAPS FOR MAINTENANCE. REMOVE SEDIMENT AS NECESSARY.
  - 3.C. REMOVE THE TEMPORARY SEDIMENT TRAP MEASURES FROM THE BASIN TO INCLUDE THE SILT FENCE AT TOP AND BOTTOM OF BANK AND THE COMPOST FILTER LOGS. A GEO-TECH OF RECORD IS TO BE PRESENT DURING THE CONVERSION FROM A SEDIMENT TRAP TO PERFORM CONFIRMATORY TESTING OF INFILTRATION RATES. REPORT OF FINDINGS TO BE SUBMITTED TO SCD PRIOR TO PROJECT COMPLETION.
  - 3.D. REFRESH RIP RAP OUTLET PROTECTION AND FOREBAYS.
  - 3.E. STABILIZE DISTURBED AREAS IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL DETAILS.
  - 3.F. SUBMIT AS-BUILT SURVEY OF BASIN TO SUSSEX CONSERVATION DISTRICT
  - 3.G. A CONSTRUCTION REVIEW IS REQUIRED AT THIS TIME.

**STORMWATER FACILITY OPERATION  
 AND MAINTENANCE NOTES**

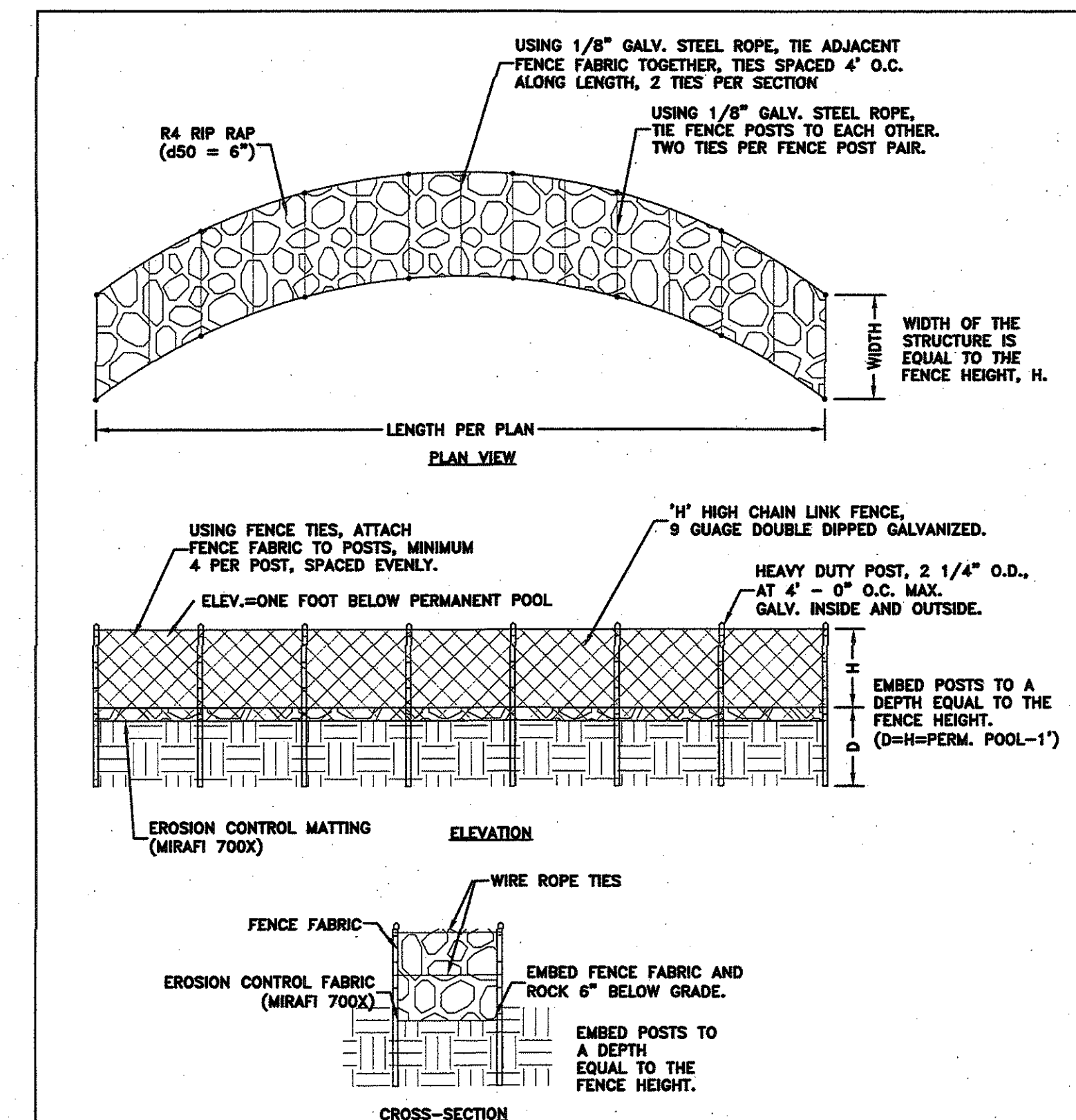
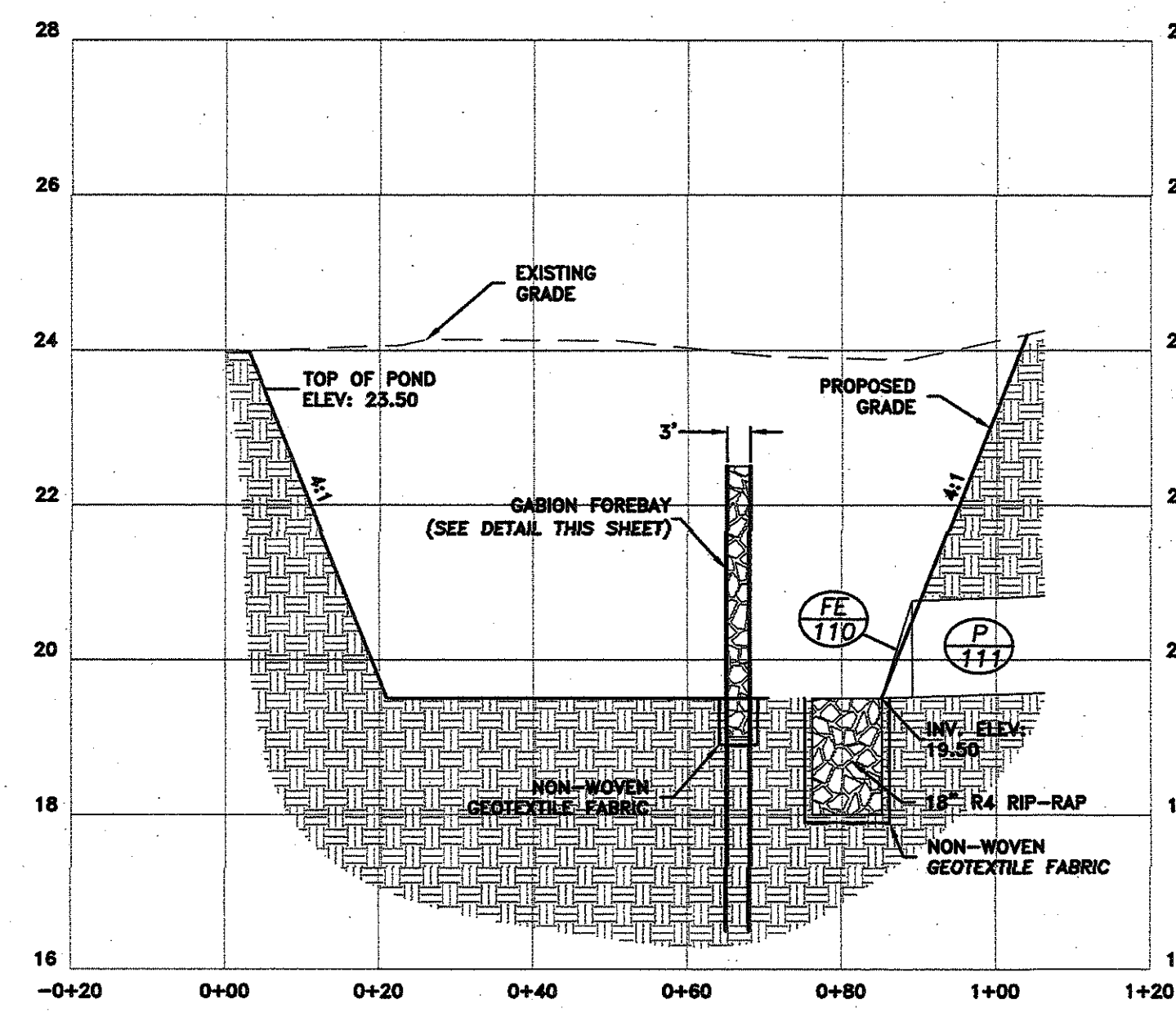
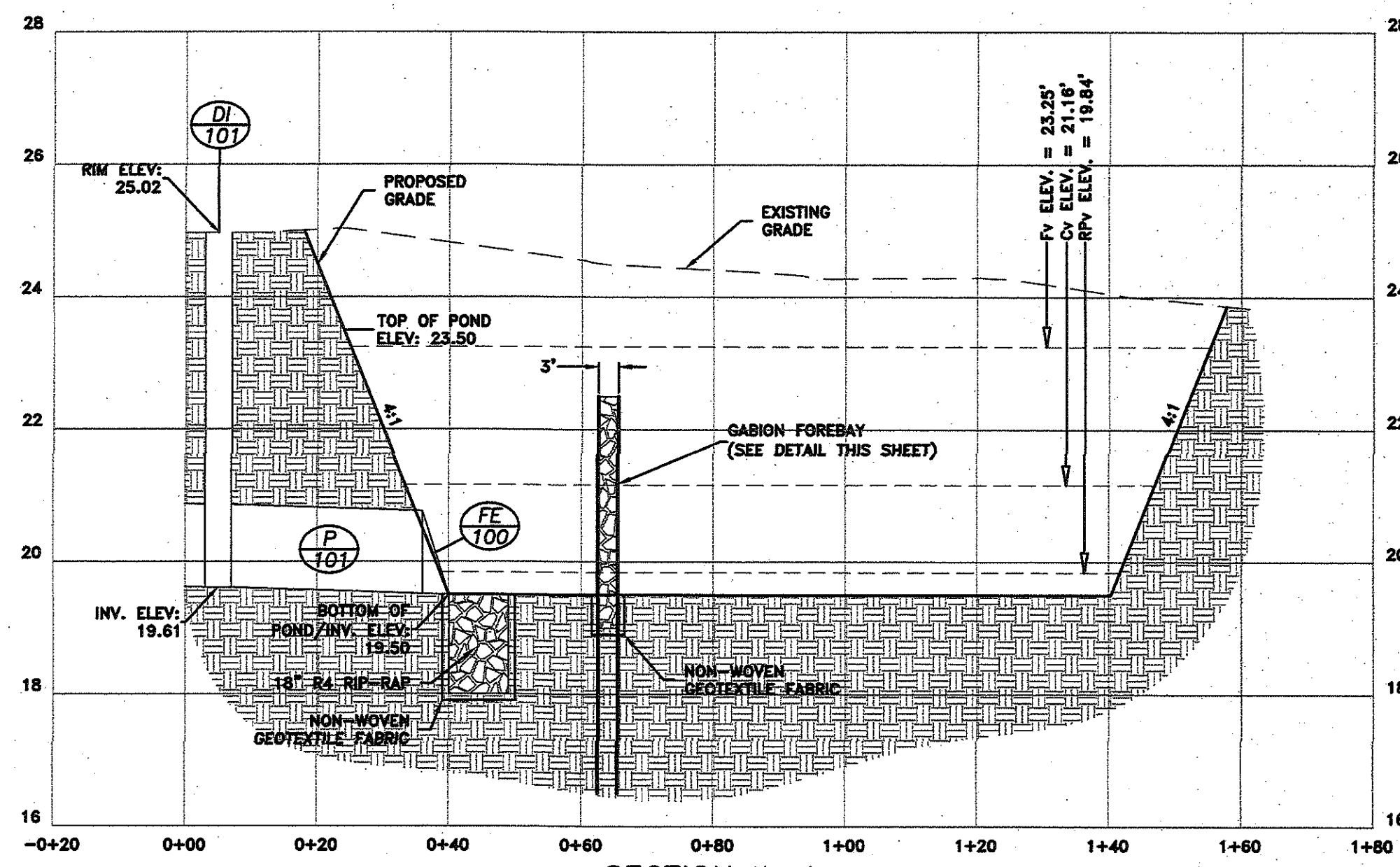
1. THE OPERATIONS AND MAINTENANCE FOR THE STORMWATER MANAGEMENT FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER
2. THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY RESERVES THE RIGHT TO ENTER PRIVATE PROPERTY FOR PURPOSES OF PERIODIC SITE REVIEWS.
3. THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY SHALL BE NOTIFIED WITHIN 30 BUSINESS DAYS IF THE PROPERTY OWNERSHIP IS TRANSFERRED TO A NEW PERSON OR ENTITY.
4. THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY MAY SEEK ENFORCEMENT ACTION AGAINST ANY OWNER DEEMED NEGLIGENT IN FULFILLING THE OPERATION AND MAINTENANCE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS.
5. THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY SHOULD BE CONTACTED IF A CONCERN ARISES REGARDING A STORMWATER MANAGEMENT FACILITY, BEFORE ANY NON-ROUTINE MAINTENANCE, OR IF MODIFICATIONS TO THE FACILITY ARE DESIRED.
6. ANY DESIGN MODIFICATIONS MADE TO THE STORMWATER SYSTEM SHALL REQUIRE THE CREATION OF A NEW POST CONSTRUCTION STORMWATER MANAGEMENT PLAN AND/OR OPERATIONS AND MAINTENANCE PLAN, WITH APPROVAL OF THE PLAN(S) BY THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY.
7. FOR ALL STORMWATER EASEMENT AREAS (I.E., ACCESS, MAINTENANCE, OR OFFSITE) AND THE MINIMUM 15-FOOT WIDE ACCESSWAYS TO ALL STORMWATER FACILITIES AND THEIR STRUCTURAL COMPONENTS, REGULAR MOWING SHOULD BE PERFORMED TO KEEP THE GRASS 6 INCHES OR LESS; NO TREES OR SHRUBS SHOULD BE PLANTED, AND ANY FOUND GROWING SHOULD BE REMOVED; AND NO PERMANENT STRUCTURES, SUCH AS FENCES OR SHEDS, SHOULD BE LOCATED WITHIN THE EASEMENT OR ACCESSWAY.
8. TREES SHOULD NOT BE PLANTED, AND SHOULD BE REMOVED IF FOUND GROWING, ON AND WITHIN 15 FEET OF ALL POND EMBANKMENTS, ON POND SLOPES OR SAFETY BENCHES, AND WITHIN 10 FEET OF STRUCTURAL COMPONENTS, SUCH AS PIPE INLETS.
9. WHEN THE FACILITY IS EXCAVATED TO REMOVE ACCUMULATED SEDIMENT, THE DISPOSAL AREA SHALL BE PERMANENTLY STABILIZED SO THAT IT DOES NOT RECREATE AN EROSION PROBLEM. ANY MATERIAL TAKEN OFFSITE SHALL STILL BE USED OR DISPOSED OF IN AN APPROVED DNREC MANNER.

**INFILTRATION BASIN OPERATION  
 AND MAINTENANCE NOTES**

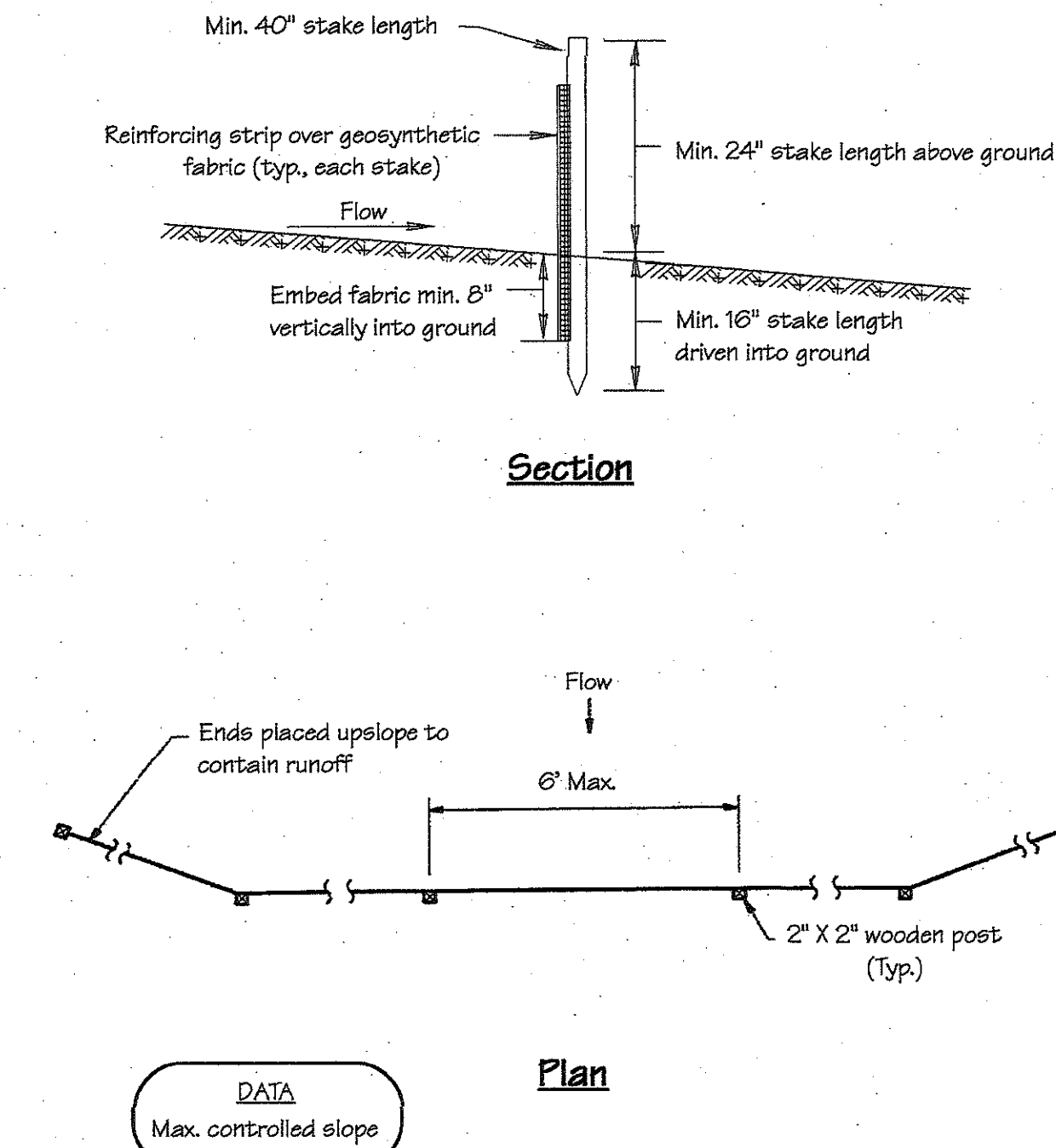
1. BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHOULD CALL MISS UTILITY AT 811 OR 1-800-282-8555 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, TO HAVE ALL EXISTING UTILITIES MARKED ONSITE.
2. THIS FACILITY IS DESIGNED TO INFILTRATE WATER AND REMOVE POLLUTANTS FROM STORMWATER ALONG THE BOTTOM AND SIDE SLOPES OF THE FACILITY. DO NOT COMPACT THE SIDE SLOPES IN ANY WAY. THIS INCLUDES THE USE OF HEAVY EQUIPMENT OR MACHINERY. COMPACTION MAY LEAD TO SYSTEM FAILURE.
3. SELF INSPECT SEMI-ANNUALLY (SPRING AND FALL) AND AFTER STORM EVENTS OF 2 INCHES OR MORE.
4. REMOVE TRASH AND DEBRIS ON A REGULAR BASIS. IT IS ESPECIALLY IMPORTANT TO REMOVE DEBRIS FROM ALL INLETS.
5. SOILS ON SIDE SLOPES OF POND SHOULD BE TESTED ANNUALLY TO ENSURE PROPER PH AND FERTILITY INCLUDING: ORGANIC MATTER, MAGNESIUM (MG), PHOSPHORUS (P2O5), NITROGEN (N), POTASSIUM (K2O), AND SOLUBLE SALTS. IF REQUIRED, FERTILIZERS SHOULD ONLY BE APPLIED IN THE FALL.
6. IF BARE SOIL EXISTS ON POND SIDE SLOPES OR EMBANKMENT, RESEED AND/OR REPLANT AS REQUIRED BASED UPON INSPECTION FINDINGS. STABILIZE APPLICABLE ERODED AREAS WITH REINFORCING EROSION CONTROL PRODUCTS (RECP) OR TURF REINFORCING MATS (TRM), AS REQUIRED. IF RECP IS APPLIED, IT IS RECOMMENDED TO USE TRULY BIODEGRADABLE PRODUCTS TO AID IN MOWING MAINTENANCE AND DETER WILDLIFE ENTANGLEMENT. THESE PRODUCTS CAN BE RECOGNIZED AS HAVING "BN" FOR BIONETTING OR "B" FOR BIODEGRADABLE.
7. MOW AROUND BASIN WEEKLY DURING PEAK GROWING SEASON (APRIL - NOVEMBER). MOW 15-FOOT WIDE ACCESS PATH TO ALL INLET AND OUTLET STRUCTURES, ALSO MOWING AROUND THESE STRUCTURES REGULARLY. USE MULCHING MOWER TO ENSURE THAT NUTRIENTS ARE RECYCLED. FOR WARM SEASON GRASSES, THE PREVIOUS SEASON'S STALKS SHOULD BE CUT DOWN TO 8-12 INCHES IN EARLY SPRING (MID MARCH), BEFORE NEW SEASON'S GROWTH EMERGES.
8. LEAVING A BUFFER (NO MOW ZONE) IS OPTIONAL, AND RECOMMENDED TO BE AT LEAST 10 TO 15-FOOT WIDE. IF A BUFFER IS PREFERRED, MOW AT LEAST ONCE A YEAR TO DETERIORATE GROWTH OF SAPLINGS. MOW BETWEEN SEPTEMBER 1 AND 30 TO ALLOW FOR RE-GROWTH OF WINTER COVER WHILE AVOIDING POTENTIAL NEGATIVE EFFECTS ON NESTING BIRDS.
9. FENCING IS NOT RECOMMENDED AND NOT REQUIRED; HOWEVER, IF A FENCE IS PREFERRED, ENSURE THAT IT IS IN GOOD REPAIR AND PROVIDES ACCESS FOR MAINTENANCE AND INSPECTIONS.



**SWM FACILITY 1**  
 SCALE: 1"=20'

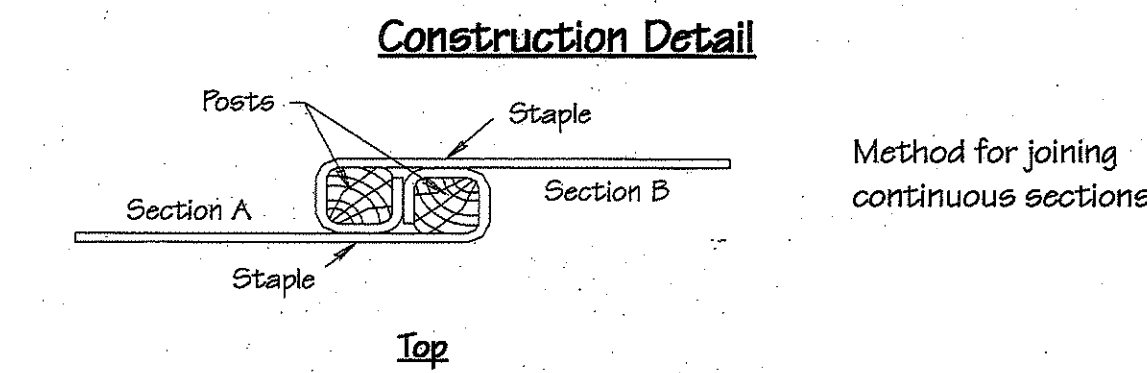


**Standard Detail & Specifications**  
**Silt Fence**



Source: Adapted from MD Sids. & Specs. for ESC	Symbol: <b>SF</b>	Detail No. <b>DE-ESC-3.1.2.1</b> Sheet 1 of 2 Effective FEB 2019
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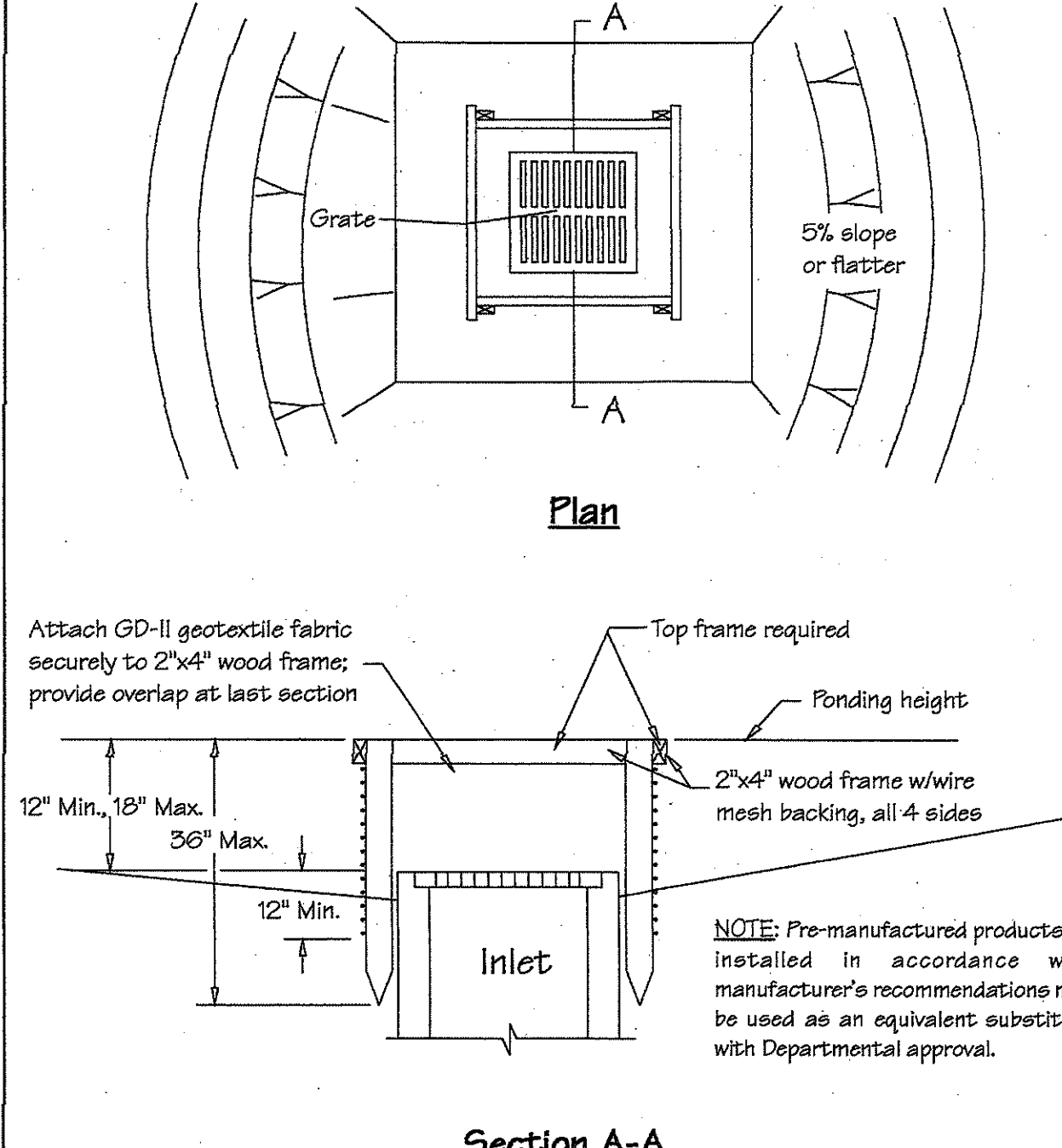
**Standard Detail & Specifications**  
**Silt Fence**



- Construction Notes:**
- Geosynthetic fabric to be fastened securely to fence posts with wire ties or staples.
  - When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
  - Maintenance shall be performed as needed and material removed when "bulges" develop in the silt fence.
- Materials:**
- Stakes: Steel (either T or U) or 2" x 2" hardwood
  - Geosynthetic Fabric: Type GD-I
  - Reinforcing strip: Wooden lath or plastic strip

Source: Adapted from MD Sids. & Specs. for ESC	Symbol: <b>SF</b>	Detail No. <b>DE-ESC-3.1.2.1</b> Sheet 2 of 2 Effective FEB 2019
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**Standard Detail & Specifications**  
**Inlet Protection - Type 1**



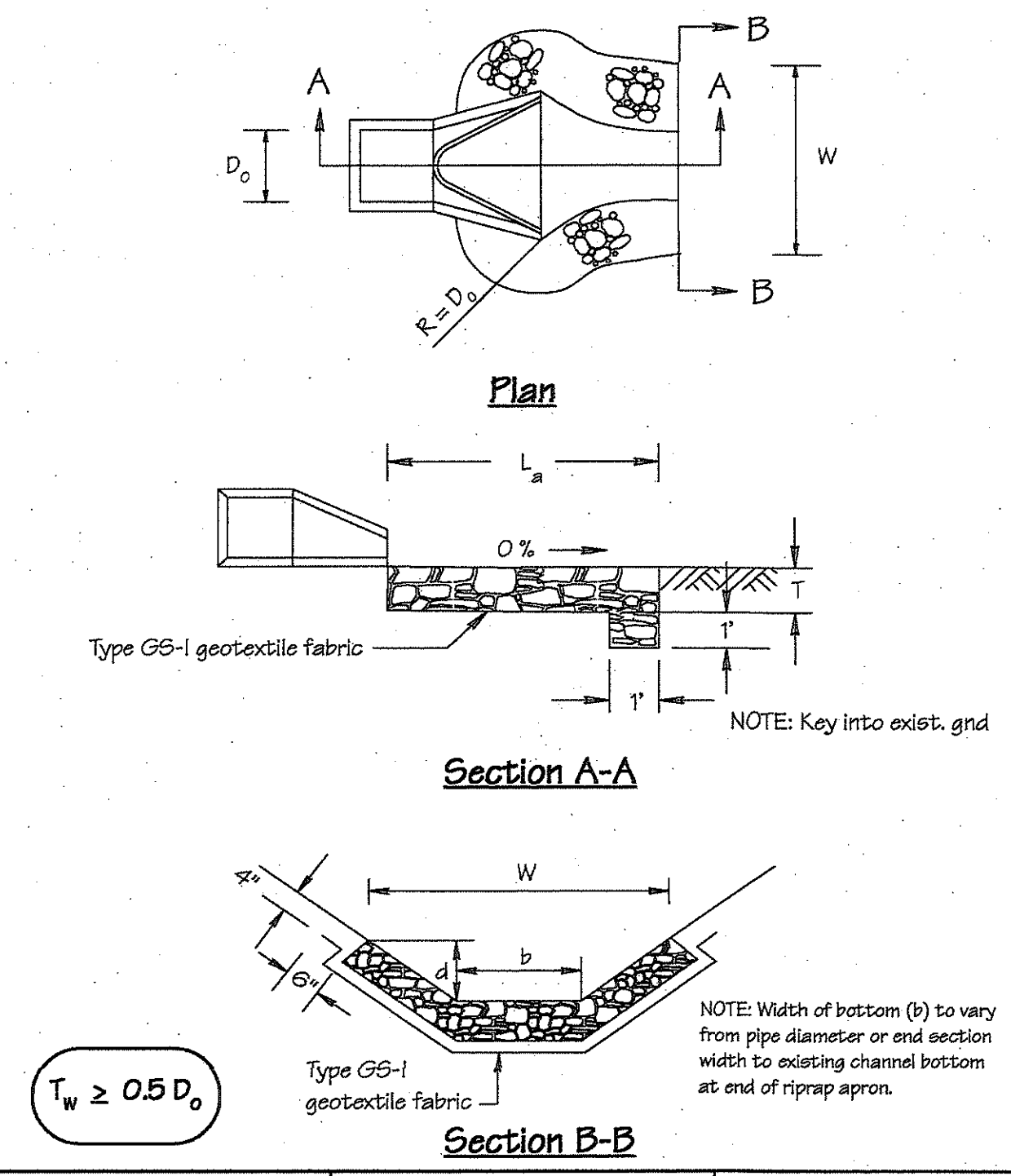
Source: Adapted from Erosion Draw Manual J. McCullah & Assoc.	Symbol: <b>IP-1</b>	Detail No. <b>DE-ESC-3.1.5.1</b> Sheet 1 of 2 Effective FEB 2019
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**Standard Detail & Specifications**  
**Inlet Protection - Type 1**

- Construction Notes:**
- Excavate completely around inlet to a depth of 18" below grate elevation.
  - Drive 2" x 4" post 1" into ground at four corners of inlet. Place nail strips between posts on ends of inlet. Assemble top portion of 2" x 4" frame using overlap joint shown. Top of frame (weir) must be 6" below edge of roadway adjacent to inlet.
  - Stretch wire mesh tightly around frame and fasten securely. Ends must meet at post.
  - Stretch geotextile fabric tightly over wire mesh, the cloth must extend from top of frame to 18" below inlet grate elevation. Fasten securely to frame. Ends must meet at post, be overlapped and folded, then fastened down.
  - Backfill around inlet in compacted 6" layers until at least 12" of geotextile fabric is buried.
  - If the inlet is not in a low point, construct a compacted earth dike below it. The top of this dike is to be at least 6" higher than the top of frame (weir).
  - This structure must be inspected frequently and the filter fabric replaced when clogged.
- Materials:**
- Wooden frame is to be constructed of 2" x 4" construction grade lumber.
  - Wire mesh must be of sufficient strength to support filter fabric with water fully impounded against it.
  - Geotextile fabric: Type GD-II

Source: Adapted from Erosion Draw Manual J. McCullah & Assoc.	Symbol: <b>IP-1</b>	Detail No. <b>DE-ESC-3.1.5.1</b> Sheet 2 of 2 Effective FEB 2019
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**Standard Detail & Specifications**  
**Riprap Outlet Protection - 2**



Source: Adapted from MD E&S Manual	Symbol: <b>ROP-2</b>	Detail No. <b>DE-ESC-3.3.10.2</b> Sheet 1 of 2 Effective FEB 2019
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**Standard Detail & Specifications**  
**Riprap Outlet Protection - 2**

- DATA**
- Pipe diameter ( $D_o$ )
  - Apron length ( $L_a$ )
  - Apron width ( $W$ )
  - Bottom width ( $b$ )
  - Riprap depth ( $d$ )
  - Riprap size ( $R$ , No.)
  - Riprap thickness ( $T$ )

- Construction Notes:**
- The subgrade for the riprap shall be prepared to the required lines and grades as shown on the plan. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
  - The riprap shall conform to the grading limits as shown on the plan.
  - Filter cloth shall be protected from punching, cutting or tearing. Any damage other than an occasional small hole shall be repaired by placing another piece of cloth over the damaged area. All connecting joints should overlap a minimum of 1 ft. If the damage is extensive, replace the entire filter cloth.
  - Stone for the riprap or gabion outlets may be placed by equipment. Riprap shall be placed in a manner to prevent damage to the filter cloth. Hand placement will be required to the extent necessary to prevent damage to the conduits, structures, etc.

Source: Adapted from MD E&S Manual	Symbol: <b>ROP-2</b>	Detail No. <b>DE-ESC-3.3.10.2</b> Sheet 2 of 2 Effective FEB 2019
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**Standard Detail & Specifications**  
**Topsoiling**

- Construction Notes:**
- Site Preparation** (Where Topsoil is to be added)
 

NOTE: When topsoiling, maintain needed erosion and sediment control practices such as diversions, grade stabilization structures, berms, dikes, waterways and sediment basins.

    - Grading - Grades on the areas to be topsoiled which have been previously established shall be maintained.
    - Liming - Where the topsoil is either highly acid or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet). Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
    - Tilling - After the areas to be topsoiled have been brought to grade, and immediately prior to dumping and spreading the topsoil, the subgrade shall be loosened by discing or by scarifying to a depth of at least 3 inches to permit bonding of the topsoil to the subsoil. Pack by passing a bulldozer up and down over the entire surface area of the slope to create horizontal erosion check slots to prevent topsoil from sliding down the slope.
  - Topsoil Material and Application**

NOTE: Topsoil salvaged from the existing site may often be used but it should meet the same standards as set forth in these specifications. The depth of topsoil to be salvaged shall be no more than the depth described as a representative profile for that particular soil type as described in the soil survey published by USDA-SCS in cooperation with Delaware Agricultural Experimental Station.

Source: USDA - NRCS	Symbol: <b>TOP</b>	Detail No. <b>DE-ESC-3.4.1</b> Sheet 1 of 2 Effective FEB 2019
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**Standard Detail & Specifications**  
**Topsoiling**

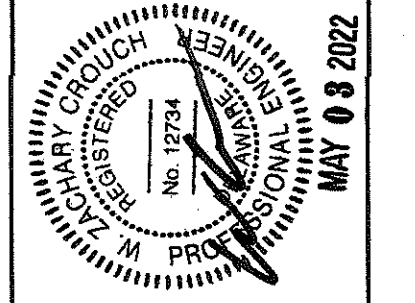
- Construction Notes (cont.)**
- Materials - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand or other soil as approved by an agronomist or soil scientist. It shall not have a mixture of contrasting textured subsoil and contain no more than 5 percent by volume of cinders, stones, slag, coarse fragment, gravel, sticks, roots, trash or other extraneous materials larger than 1-1/2 inches in diameter. Topsoil must be free of plants or plant parts of bermudagrass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistles, or others as specified. All topsoil shall be tested by a reputable laboratory for organic matter content, pH and soluble salts. A pH of 6.0 to 7.5 and an organic content of not less than 1.5 percent by weight is required. If pH value is less than 6.0 lime shall be applied and incorporated with the topsoil to adjust the pH to 6.5 or higher. Topsoil containing soluble salts greater than 500 parts per million shall not be used.
 

NOTE: No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed to permit dissipation of toxic materials.
  - Grading - The topsoil shall be uniformly distributed and compacted to a minimum of four (4) inches. Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets. Topsoil shall not be placed while in a frozen or muddy condition, when the subgrade is excessively wet, or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.
 

NOTE: Topsoil substitutes or amendments as approved by a qualified agronomist or soil scientist, may be used in lieu of natural topsoil. Compost material used to improve the percentage of organic matter shall be provided by a certified supplier.

Compost amendments that are intended to meet specific post-construction stormwater management goals shall further meet the requirements of Appendix 3.06.2 Post Construction Stormwater Management BMP Standards and Specifications, Section 14.0 Soil Amendments.

Source: USDA - NRCS	Symbol: <b>TOP</b>	Detail No. <b>DE-ESC-3.4.1</b> Sheet 2 of 2 Effective FEB 2019
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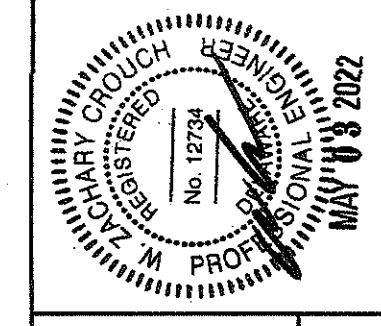
DAVIS, BOWEN & FRIEDEL, INC.  
ARCHITECTS ENGINEERS SURVEYORS  
SALSBURY, MARYLAND (410) 543-8001  
MILFORD, DELAWARE (302) 424-1444  
DORCHESTER, MASSACHUSETTS (508) 725-7474  
CONSTRUCTION SITE DETAILS AND NOTES

SCHELLVILLE  
LEWES & REHOBOTH HUNDRED  
SUSSEX COUNTY, DELAWARE

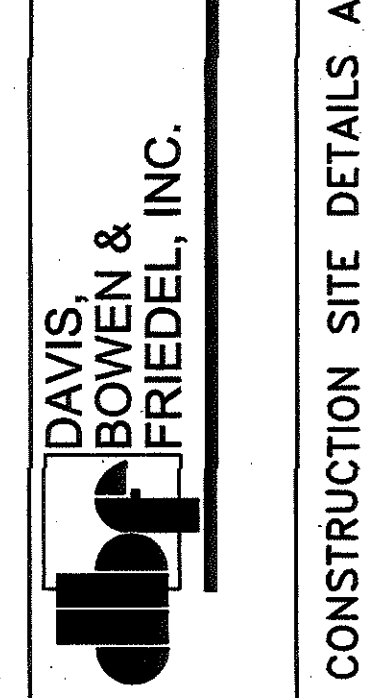
Revisions:  
2022-01-28 REDESIGN

Date: SEPTEMBER 2021  
Scale: 1"=40'  
Dwn.By: JMJ  
Proj.No.: 1319A059.A01  
Dwg.No.: C-406





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CONSTRUCTION SITE DETAILS AND NOTES

SCHELLVILLE  
LEWES & REHOBOTH HUNDRED  
SUSSEX COUNTY, DELAWARE

Revisions:  
2022-01-28 REDESIGN

Date: SEPTEMBER 2021  
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Proj. No.: 1319A059.A01  
Dwg. No.:

C-408

### Standard Detail & Specifications Stabilization Matting - Slope

0.7 Staples per Sq. Yd.  
1.2 Staples per Sq. Yd.  
1.75 Staples per Sq. Yd.  
3.5 Staples per Sq. Yd.  
3.75 Staples per Sq. Yd.

NOTE: These patterns are provided for general guidance only. They shall not be used as a substitute for manufacturer's recommendations.

**Stapling Patterns**

Source:	Symbol:	Detail No.
Adapted from North American Green, Inc.	<b>SM-S</b>	<b>DE-ESC-3.4.6.1</b> Sheet 2 of 2 Effective FEB 2019

### Standard Detail & Specifications Stabilized Construct. Entrance

**Plan**  
50' min.  
10' min.  
10' min.  
10' min.  
10' min.  
Wash rack (optional)  
Edge exist. pave  
Provide positive drainage to sediment trapping device

**Profile**  
50' min.  
3" min.  
6" min.  
3" min.  
3" min.  
Mountable berm (as needed)  
Exist. pave  
Exist. gmd  
Type GS-1 geotextile fabric  
Culvert pipe (as needed)

**Section A-A (Std.)**

Source:	Symbol:	Detail No.
Adapted from VA ESC Handbook	<b>SCE</b>	<b>DE-ESC-3.4.7</b> Sheet 1 of 2 Effective FEB 2019

### Standard Detail & Specifications Stabilized Construct. Entrance

Equipment wheel track + 2'

Metal bars set in reinforced conc. (traffic bearing grates, timber mats or other approved equiv. may be substituted)  
Provide space for drainage

**Section A-A (Opt.)**

**Construction Notes:**

1. **Stone size** - Use DE #3 stone.
2. **Length** - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
3. **Thickness** - Not less than size (6) inches.
4. **Width** - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
5. **Geotextile** - Type GS-1; placed over the entire area prior to placing of stone.
6. **Surface Water** - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
7. **Maintenance** - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
8. **Washing** - Vehicle wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. **Inspection** - Periodic inspection and needed maintenance shall be provided after each rain.

Source:	Symbol:	Detail No.
Adapted from VA ESC Handbook	<b>SCE</b>	<b>DE-ESC-3.4.7</b> Sheet 2 of 2 Effective FEB 2019

### Standard Detail & Specifications Dust Control

**Temporary Methods:**

1. **Mulches** - See DE-ESC-3.4.5, Standard Detail and Specifications for Mulching.
2. **Vegetative cover** - See DE-ESC-3.4.3, Std. Detail and Specifications for Vegetative Stabilization.
3. **Adhesives** - Use on mineral soils only (not effective on muck soils). Keep traffic off these areas. The following table may be used for general guidance.

Type of Emulsion	Water Dilution	Type of Nozzle	Apply Gal./Ac.
Latex emulsion	12.5:1	Fine spray	235
Resin-in-water emulsion	4:1	Fine spray	300
Acrylic emulsion (non-traffic)	7:1	Coarse spray	450
Acrylic emulsion (traffic)	3.5:1	Coarse spray	350

4. **Tillage** - For emergency temporary treatment, scarify the soil surface to prevent or reduce the amount of blowing dust until a more appropriate solution can be implemented. Begin the tillage operation on the windward side of the site using a chisel-type plow for best results.
5. **Sprinkling** - Sprinkle site with water until the surface is moist. Repeat as needed.
6. **Calcium Chloride** - Apply as flakes or granular material with a spreader at a rate that will keep the soil surface moist. Re-apply as necessary.
7. **Barriers** - Place barriers such as soil board fences, snow fences, hay bales, etc. at right angles to the prevailing air currents at intervals of approx. 10X their height.

**Permanent Methods:**

1. **Vegetative cover** - See DE-ESC-3.4.3, Std. Detail and Specifications for Vegetative Stabilization.
2. **Stone** - Apply layer of crushed stone or coarse gravel to protect soil surface.

Source:	Symbol:	Detail No.
Adapted from VA ESC Handbook		<b>DE-ESC-3.4.8</b> Sheet 1 of 1 Effective FEB 2019

### Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

**DATA TO BE PROVIDED**  
Volume of Potential Pollution  
Height of containment  
Area of containment  
Volume of containment

Fuel Tank  
Double layer plastic sheeting, or approved equal  
Min. 9" compact log or DE #3 Stone berm  
Stake as required per manufacturer guidelines  
Double layer plastic sheeting  
Fuel Tank  
Spill containment Area

Source:	Symbol:	Detail No.
Delaware ESC Handbook		<b>DE-ESC-3.6.1</b> Sheet 1 of 5 Effective FEB 2019

### Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

**Pollution Prevention - Spill Prevention**

1. Fueling should only take place in signed designated areas, away from downstream drainage facilities and watercourses.
2. Fueling must be with nozzles equipped with automatic shut-off to control drips. Do not top off.
3. Protect the areas where equipment or vehicles are being repaired, maintained, fueled or parked from storm water run-on and runoff.
4. Use barriers such as berms to prevent storm water run-on and runoff, and to contain spills.
5. Place a "Fueling Area" sign next to each fueling area.
6. Store hazardous materials such as fuel, solvents, oil and chemicals in secondary containment.
7. Inspect vehicles and equipment for leaks on each day of use. Repair fluid and oil leaks immediately.
8. Absorbent spill clean-up materials and spill kits must be available in fueling areas and on fuel trucks.
9. If fueling is to take place at night, make sure the fueling area is sufficiently illuminated.
10. Properly dispose of used oil, fluids, lubricants and spill clean-up materials.

**CLEAN UP SPILLS**

1. If it is safe to do so, immediately contain and clean up any chemical and/or hazardous material spills.
2. Properly dispose of used oil, fluids, lubricants and spill clean-up materials.
3. Do not bury spills or wash them down with water.

**LEAKS AND DRIPS**

1. Use drip pans or absorbent pads at all times. Place under and around leaky equipment.
2. Do not allow oil, grease, fuel or chemicals to drip onto the ground.
3. Have spill kits and clean up material on-site.
4. Repair leaky equipment promptly or remove problem vehicles and equipment from the site. Clean up contaminated soil immediately.
5. Store contaminated waste in sealed containers constructed of suitable material. Label these containers properly.
6. Clean up all spills and leaks. Promptly dispose of waste and spent clean up materials.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		<b>DE-ESC-3.6.1</b> Sheet 2 of 5 Effective FEB 2019

### Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

**Notes:**  
The Construction Site Pollution Prevention Plan should include the following elements:

1. **Material inventory**  
Document the storage and use of the following materials:
  - a. Concrete
  - b. Detergents
  - c. Paints (enamel and latex)
  - d. Cleaning solvents
  - e. Pesticides
  - f. Wood scraps
  - g. Fertilizers
  - h. Petroleum based products
2. **Good housekeeping practices**
  - a. Store only enough product required to do the job.
  - b. All materials shall be stored in a neat, orderly manner in their original labeled containers and covered.
  - c. Substances shall not be mixed.
  - d. When possible, all of a product shall be used prior to disposal of the container.
  - e. Manufacturers' instructions for disposal shall be strictly adhered to.
  - f. The site foreman shall designate someone to inspect all BMPs daily.
3. **Waste management practices**
  - a. All waste materials shall be collected and stored in securely lidded dumpsters in a location that does not drain to a waterbody.
  - b. Waste materials shall be salvaged and/or recycled whenever possible.
  - c. The dumpsters shall be emptied a minimum of twice per week, or more if necessary. The licensed trash hauler is responsible for cleaning out dumpsters.

Source:	Symbol:	Detail No.
Adapted from USEPA Pub. 840-B-92-002		<b>DE-ESC-3.6.1</b> Sheet 3 of 5 Effective FEB 2019

### Standard Detail & Specifications Construction Site Waste Mgt & Spill Control

**Notes (cont.)**

- d. Trash shall be disposed of in accordance with all applicable Delaware laws.
- e. Trash cans shall be placed at all lunch spots and littering is strictly prohibited. Recycle bins shall be placed near the construction trailer.
- f. Fertilizer bags can not be stored in a weather-proof location, they shall be kept on a pallet and covered with plastic sheeting which is overlapped and anchored.

4. **Equipment maintenance practices**
  - a. If possible, equipment should be taken to off-site commercial facilities for washing and maintenance.
  - b. If performed on-site, vehicles shall be washed with high-pressure water spray without detergents in an area contained by an impervious berm.
  - c. Drip pans shall be used for all equipment maintenance.
  - d. Equipment shall be inspected for leaks on a daily basis.
  - e. Washout from concrete trucks shall be disposed of in a temporary pit for hardening and proper disposal.
  - f. Fuel nozzles shall be equipped with automatic shut-off valves.
  - g. All used products such as oil, antifreeze, solvents and tires shall be disposed of in accordance with manufacturers' recommendations and local, state and federal laws and regulations.
5. **Spill prevention practices**
  - a. Potential spill areas shall be identified and contained in covered areas with no connection to the storm drain system.
  - b. Warning signs shall be posted in hazardous material storage areas.
  - c. Preventive maintenance shall be performed on all tanks, valves, pumps, pipes and other equipment as necessary.
  - d. Low or non-toxic substances shall be prioritized for use.

Source:	Symbol:	Detail No.
Adapted from USEPA Pub. 840-B-92-002		<b>DE-ESC-3.6.1</b> Sheet 4 of 5 Effective FEB 2019









# Sussex County



<b>PIN:</b>	334-13.00-325.52
<b>Owner Name</b>	COROC/REHOBOTH III LLC
<b>Book</b>	Text
<b>Mailing Address</b>	3200 NORTHLINE AVE #360
<b>City</b>	GREENSBORO
<b>State</b>	NC
<b>Description</b>	NW/HOLLAND GLADE RD
<b>Description 2</b>	LOT 2
<b>Description 3</b>	
<b>Land Code</b>	

- |              |     |                      |
|--------------|-----|----------------------|
| polygonLayer | +   | Special Access ROW   |
| Override 1   | --- | Municipal Boundaries |
- |              |  |                   |
|--------------|--|-------------------|
| polygonLayer |  |                   |
| Override 1   |  |                   |
| ...          |  | Tax Parcels       |
| ...          |  | 911 Address       |
| ---          |  | Streets           |
| ---          |  | County Boundaries |
- |                           |                   |
|---------------------------|-------------------|
| <b>Tax Ditch Segments</b> |                   |
| ---                       | Tax Ditch Channel |
| ---                       | DelDOT Maintained |
| ---                       | HOA Maintained    |
| ---                       | Pipe - DelDOT     |
| ---                       | Pipe - Tax Ditch  |
| ---                       | Pipe - Private    |
| ---                       | Pond Feature      |

1:2,257

