

BOARD OF ADJUSTMENT

JEFF CHORMAN, CHAIRMAN
KEVIN E. CARSON
JOHN WILLIAMSON
JOHN T. HASTINGS
JORDAN WARFEL



Sussex County

DELAWARE
sussexcountyde.gov

(302) 855-7878

AGENDA

February 5, 2024

6:00 PM

Call to Order

Pledge of Allegiance

Approval of Agenda

Public Hearings

12888 – Walls Sussex Properties, LLC

seeks a special use exception to place a telecommunications tower and a variance from the height requirement for a telecommunications tower (Sections 115-25, 115-194.2, and 115-210 of the Sussex County Zoning Code). The property is located on the north side of Emory Walls Road approximately 1176 ft. from Seashore Highway. 911 Address: N/A. Zoning District: AR-1. Tax Parcel: 231-7.00-21.00

12902 – David L. Banks Revocable Trust

seeks a special use exception to place a telecommunications tower and a variance from the height requirement for a telecommunications tower (Section 115-25, 115-194.2, and 115-210 of the Sussex County Zoning Code). The property is located on the west side of Irons Lane approximately 588.7 feet north of Holts Landing Road. 911 Address: 30240 Irons Lane, Dagsboro. Zoning District: AR-1. Tax Parcel: 134-7.00-127.00

12903 – Pot-Nets Homes, LLC

seeks variances from the separation distance and rear yard setback requirements for existing structures (Sections 115-25 and 115-172 of the Sussex County Zoning Code). The property is located on the southwest side of Beach Plum Road within the Pot Nets Bayside Manufactured Home Park. 911 Address: 34362 Beach Plum Road, Millsboro. Zoning District: AR-1. Tax Parcel: 234-30.00-2.00

12904 – Jay Kevin Green Sr.

seeks a variance from the front and side yard setback requirements for an existing structure (Sections 115-25, 115-182, and 115-183 of the Sussex County Zoning Code). The property is located on the southeast side of Greenhurst Farm Road approximately 1464.38 feet southeast of Woodyard Road. 911 Address: 11853 Greenhurst Farm Road, Greenwood. Zoning District: AR-1. Tax Map: 430-2.00-2.00

12905 – Douglas K. and Irene F. Olson

seek variances from the side yard setback requirements for a proposed structure (Sections 115-25 and 115-183 of the Sussex County Zoning Code). The property is located on the northwest side of North Acorn Way within the Village at Oakwood. 911 Address: 21350 North Acorn Way, Lewes. Zoning District: AR-1. Tax Map: 234-6.00-643.00

Additional Business

-MEETING DETAILS-

In accordance with 29 Del. C. §10004(e)(2), this Agenda was posted on January 29, 2024, at 4:30 p.m. and at least seven (7) days in advance of the meeting.

The Agenda was prepared by the Director of Planning and Zoning and is subject to change to include the additional or deletion of items, including Executive Sessions, which arise at the time of the meeting.

Agenda items may be considered out of sequence.

The meeting will be streamed live at <https://sussexcountyde.gov/council-chamber-broadcast>

The Board of Adjustment meeting materials, including the “packet” are electronically accessible on the County’s website at: <https://sussexcountyde.gov/>.

If any member of the public would like to submit comments electronically, these may be sent to pandz@sussexcountyde.gov. All comments are encouraged to be submitted by 4:30 P.M. on Thursday, February 1, 2024.

####

Case # 12888

Hearing Date 12

202314900

RECEIVED

Board of Adjustment Application

Sussex County, Delaware

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

OCT 24 2023

SUSSEX COUNTY
PLANNING & ZONING

Type of Application: (please check all applicable)

- Variance
- Special Use Exception
- Administrative Variance
- Appeal

- Existing Condition
- Proposed
- Code Reference (office use only)

Site Address of Variance/Special Use Exception:

Emory Walls Road Georgetown DE 19947

Variance/Special Use Exception/Appeal Requested:

A special exception to permit a 158 foot tall telecommunications monopole, + A VARIANCE to construct a 158 foot tall monopole (150 ft permitted)

Tax Map #: 231-7.00-21.00

Property Zoning: AR-1

Applicant Information

Applicant Name: Cellco Partnership (d/b/a Verizon Wireless)
 Applicant Address: 512 Township Line Road Bldg 2 Fl 3
 City Blue Bell State PA Zip: 19422
 Applicant Phone #: 302 571-6740 Applicant e-mail: jtracy@ycst.com

Owner Information

Owner Name: Walls Sussex Properties LLC
 Owner Address: 9 Woods Street
 City Middletown State DE Zip: 19709 Purchase Date: 12/28/16
 Owner Phone #: 302 385 3474 Owner e-mail: rhett4@gmail.com

Agent/Attorney Information

Agent/Attorney Name: John Tracey
 Agent/Attorney Address: 1000 N King Street
 City Wilmington State DE Zip: 19801
 Agent/Attorney Phone #: 302 571-6740 Agent/Attorney e-mail: jtracy@ycst.com

Signature of Owner/Agent/Attorney

[Handwritten Signature]

Date: 10/17/23



Sussex County, DE - BOA Application

Criteria for a Variance: (Please provide a written statement regarding each criteria).

You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.

In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.

1. Uniqueness of property:

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

See attached report

2. Cannot otherwise be developed:

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

3. Not created by the applicant:

That such exceptional practical difficulty has not been created by the appellant.

4. Will not alter the essential character of the neighborhood:

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

5. Minimum variance:

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

Sussex County, DE - BOA Application

Criteria for a Special Use Exception: (Please provide a written statement regarding each criteria)

You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Special Use Exception to be granted.

1. Such exception will not substantially affect adversely the uses of adjacent and neighboring property.

See Attached correspondence to reports

2. Any other requirements which apply to a specific type of special use exception as required by the Sussex County Code. (Ex. Time limitations – 5 year maximum)

Basis for Appeal: (Please provide a written statement regarding reason for appeal)



**YOUNG
CONAWAY**

RECEIVED

OCT 24 2023

SUSSEX COUNTY
PLANNING & ZONING

WILMINGTON
RODNEY SQUARE

NEW YORK
ROCKEFELLER CENTER

John E. Tracey
P 302.571.6740
F 302.576.3382
jtracey@ycst.com

October 23, 2023

VIA HAND DELIVERY

Mr. Jamie Whitehouse, AICP
Sussex County Department of Planning
2 The Circle
P.O. Box 589
Georgetown, DE 19947

Re: Cellco Partnership d/b/a Verizon Wireless; Tax Parcel No. 231-07.00-21.00 (DOV Red Barn)

Dear Mr. Whitehouse:

Enclosed please find the completed “Board of Adjustment Application” and \$500.00 application fee on behalf of Cellco Partnership d/b/a Verizon Wireless (“Cellco”). Cellco is seeking to locate a new 158-foot tall telecommunications tower, including a 5-foot tall lightning rod, north of Route 404, west of the Town of Georgetown. In addition to establishing better coverage for Verizon Wireless in this area, the tower would be designed to accommodate at least two (2) additional carriers as required by the Sussex County Code.

In order to construct this tower in the desired location I understand that Cellco requires a special use exception from the County’s Board of Adjustment, as well as a variance to minimally exceed the 150 foot height limitation contained in the Code.¹ The proposed tower includes the Code-mandated lighting and is designed to meet the required setbacks, as such no other variances are needed for the structure or the enclosure.

Along with the application, enclosed are two copies of the site plan and the RF reports for the tower. As you will note, the RF Reports include the before and after coverage maps for the area, as well as the availability (or lack thereof) of tall structures within two (2) miles of the proposed location, and the justification for the required height of the structure.

¹ Five feet of this eight foot intrusion is created by the lightning rod, an addition to the tower which is hardly visible.

Young Conaway Stargatt & Taylor, LLP
Mr. Jamie Whitehouse, AICP
October 23, 2023
Page 2

As always, should you need any further information or have any questions, please feel free to contact me at (302) 571-6740.

Sincerely yours,


John E. Tracey, Esq.

Enclosures

cc: Mr. James Rodgers (via e-mail and w/o enclosures)

PO Box 165
 Fairview Village, PA 19409
 Phone: 610.304.2024
 Fax: 610.584.5387
info@dBmEng.com



October 12, 2023
 James Rodgers
 Site Acquisition Consultant
 NB&C
 1777 Sentry Parkway
 Blue Bell, PA 19422

Subject: Radio Frequency Design Analysis
“DOV – RED BARN”
EMORY WALLS ROAD
GEORGETOWN, DE 19947
Latitude: N 38° 42’ 11.42” (NAD 83)
Longitude: W 75° 27’ 23.77” (NAD 83)
35.4’ AMSL

Mr. Rodgers:

I have received and executed the request that I perform an independent evaluation and design review for the Verizon Wireless telecommunications facility proposed at the above referenced address. The intention of this study is to provide an objective, professional opinion regarding the proposed facilities from a Radio Frequency design perspective. Specifically, how the site complements the existing network and what service objectives it fulfills. As a registered Professional Engineer, I am bound by a code of ethics to hold paramount the safety, health, and welfare of the public. All statements and calculations offered herein are made in an objective and truthful manner pursuant to that code.

Summary of Findings

In my professional opinion, the proposed facility is extremely well suited to provide enhanced wireless service in the central portions of Sussex County, west of Georgetown, that currently suffer from unreliable Verizon Wireless coverage. Currently, the nearby Verizon Wireless facilities are not providing adequate coverage into the targeted geography resulting in service issues. The proposed facility is the only feasible alternative that will satisfy the design objective for affected areas. The design, location, and proposed antenna height is the least intrusive means of providing adequate service for Verizon Wireless subscribers in the targeted geography. The proposed antenna height is the absolute minimum acceptable to achieve a high percentage of the site’s design goals.

Sincerely,

Andrew M. Petersohn, P.E.
 Registered Professional Engineer
 Delaware license number 14438

Existing Verizon Wireless Service

Currently, Verizon has five (5) existing sites in the area immediately surrounding the proposed facility. These sites would be the first-tier neighbors for the proposed facility. The details and locations of these sites can be seen below:

Name	Structure Type	Antenna Centerline (ft)	Street Address
COKESBURY	Lattice Tower	128	14908 Cokesbury Road
GEORGETOWN	Lattice Tower	147	512 North Dupont Hwy
BRIDGEVILLE HD	Guyed Tower	250	18475 OAK RD
DOV DEER FOREST	Monopole	134	16847 N. Dupont Boulevard
DOV GEORGETOWN CIRCLE	Monopole	100	335 North Race Street

Existing Verizon Wireless Coverage

The in-building (green) and in-vehicle (yellow) coverage footprints from the above existing facilities are illustrated below in figure 1. There is a significant gap in reliable coverage in the areas along and surrounding Seashore Highway (Rt. 18) that the facility is designed to address.

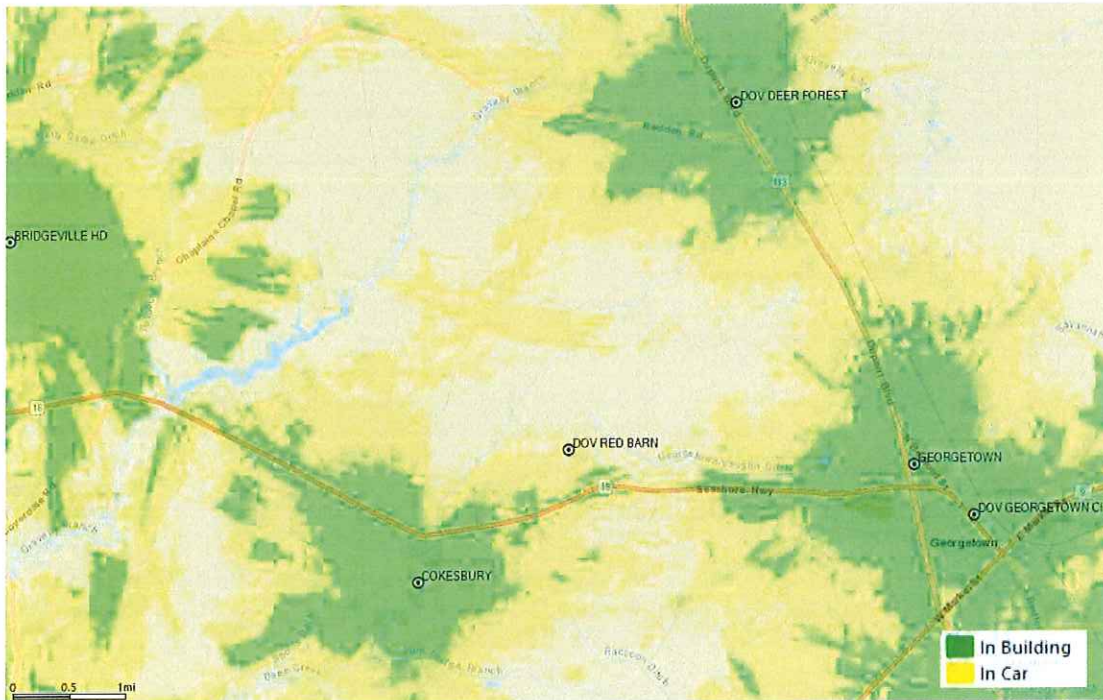


Figure 1 – Existing Coverage

PO Box 165
 Fairview Village, PA 19409
 Phone: 610.304.2024
 Fax: 610.584.5387
info@dBmEng.com



Proposed Verizon Wireless Coverage Improvement

Figure 2 below illustrates the Verizon Wireless anticipated reliable coverage. The proposed facility will remedy the existing coverage issues along and around Rt. 18 and will enable reliable service to the many agricultural uses in the surrounding areas including providing contiguous coverage to the north of Rt 18 to the neighboring “Deep Forest” facility. Any decrease in the height of the proposed facility will significantly diminish the effectiveness of the proposed site.

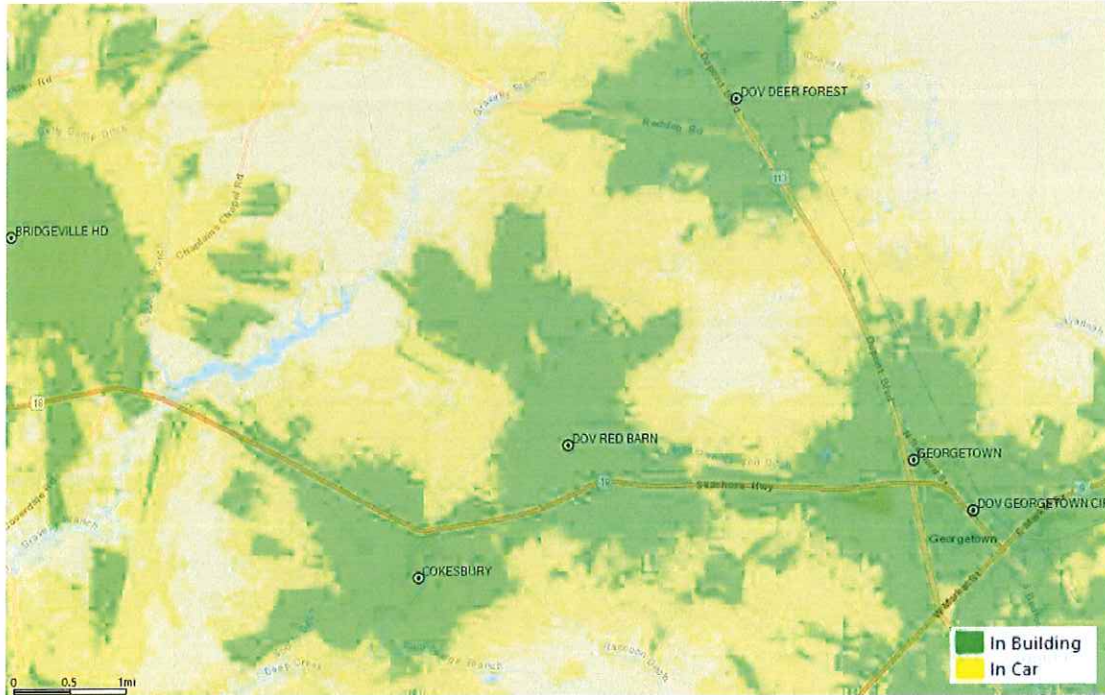


Figure 2 – Proposed Coverage

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 Fairview Village, PA 19409
 Phone: 610.304.2024
 Fax: 610.584.5387
info@dBmEng.com



Alternate Candidate Discussion

It is Verizon Wireless policy and overwhelming preference to utilize existing, tall structures as antenna support platforms when their location, available attachment height, and structural capacity are congruent with Verizon's network requirements. This is because the co-location process is almost always less expensive, faster to market, and less involved from a permitting perspective than the construction of a new tower structure. In this case, the only known antenna support structure within two (2) miles of the proposed facility is the "Cokesbury" lattice tower roughly 1.6 miles west (that Verizon is currently co-located on).

Reliable Service

The term "reliable" is used to describe areas where a Verizon Wireless subscriber has the ability to place, receive, and maintain a phone call. Additionally, the concept of reliable service extends beyond just voice communication; access to the data network with a high probability of success and adequate throughput is now a pre-requisite to reliable service. Reliable service provided from a facility is affected by many factors including surrounding topography, clutter types, foliage, and subscriber loading during the site's hour of heaviest use, its "busy hour". Because the network must maintain reliability under all conditions, these factors are taken into consideration when designing a new facility.

Wireless Substitution

According to the CDC¹ 70.7% of adults and 81.7% of children lived in wireless-only households during the first half of 2022. The increase in the prevalence of adults living in wireless-only households is a continuation of the increasing trend that has been seen over time. Demographic subgroups with the highest percentages of wireless-only adults include adults aged 25–29 (89%) and 30-34 (87.3%), and adults renting their homes (84.5%) As wireless substitution continues to spread, availability of in-building wireless service, both data and voice, becomes increasingly important.

Emergency Services Implications

Wireless devices are widely used by municipal emergency services for voice and data services including those that impact public safety. Additionally enhanced 911 (E911) services, which allow a mobile caller to be located by the dispatch center, are dependent on an adequate service level to provide help in an emergency. It is estimated that approximately 70% of 911 calls originate from mobile devices². In the service challenged areas, an unreliable level of wireless service could, in many cases, negatively affect the ability of an individual in need of emergency services who is dialing 911.

¹ <https://www.cdc.gov/nchs/data/nhis/earlyrelease/wireless202212.pdf>

² <https://transition.fcc.gov/cgb/consumerfacts/wireless911srvc.pdf>

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Technical Parameters of Consideration

The above calculations were based on the equipment configuration information furnished by representatives of Verizon Wireless. Specifically, for this installation, Verizon Wireless plans to install up to up to twelve (12) new panel-style antennas at an antenna centerline height of 150' above grade. The antennas will be organized in three (3) arrays of four (4) antennas per array with sector azimuths evenly spaced in the horizontal plane with respect to true north. Transmitting through these antennas will be four (4) LTE transmit paths in the 700 MHz band (per sector) at a cumulative maximum of 160 watts, up to four (4) LTE transmit paths in the 1900 MHz band (per sector) at a cumulative maximum of 160 watts, up to four (4) LTE and / or 5G NR transmit paths in the 850 MHz band (per sector) at a cumulative maximum of 160 watts, up to eight (8) LTE transmit paths in the 2100 MHz band (per sector) at a cumulative maximum of 160 watts, up to four (4) LTE transmit paths in the 3500 MHz band (per sector) at a cumulative maximum of 20 watts, and up to sixty-four (64) 5G NR transmit paths in the 3700 MHz band (per sector) at a cumulative maximum of 53 dBm radio power.

PO Box 165
Fairview Village, PA 19409
Phone: 610.304.2024
Fax: 610.584.5387
[**info@dBmEng.com**](mailto:info@dBmEng.com)



DECLARATION OF ENGINEER

Andrew M. Petersohn, P.E., hereby states that he is a graduate telecommunications consulting engineer possessing Master and Bachelor Degrees in Electrical Engineering from Lehigh University (2005 and 1999, respectively). His corporation, dBm Engineering, P.C., has been retained by representatives of Verizon Wireless to perform a radio frequency design analysis for a proposed telecommunications facility.

Mr. Petersohn also asserts that the calculations and/or measurements described in this report were made personally and in a truthful and objective manner. Mr. Petersohn is a Registered Professional Engineer licensed in Pennsylvania, Delaware, Maryland, Virginia, New York, Florida and New Jersey. He has over two decades of engineering experience in the field of wireless communications. Mr. Petersohn is an active member of the National Society of Professional Engineers (NSPE) and the Pennsylvania Society of Professional Engineers (PSPE). Mr. Petersohn further states that all facts and statements contained in the foregoing document are true and accurate to the best of his knowledge.



Andrew M. Petersohn, P.E.
Registered Professional Engineer
New Jersey license number GE49376

Executed this the 12th day of October, 2023.

PO Box 165
Fairview Village, PA 19409
Phone: 610.304.2024
Fax: 610.584.5387
info@dBmEng.com



Sussex County



October 31, 2023

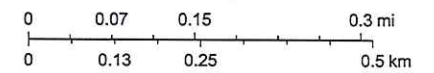
polygonLayer

- Override 1
- Override 2
- Tax Parcels

- Streets
- County Boundaries
- World Imagery
- Low Resolution 15m Imagery

- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations
- 2.4m Resolution Metadata

1:9,028



Sussex County, Sussex County Government, Maxar

CONNECTEXPLORER



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map: Auto (Aerial) - Dates: Latest -



PROJECT NOTES

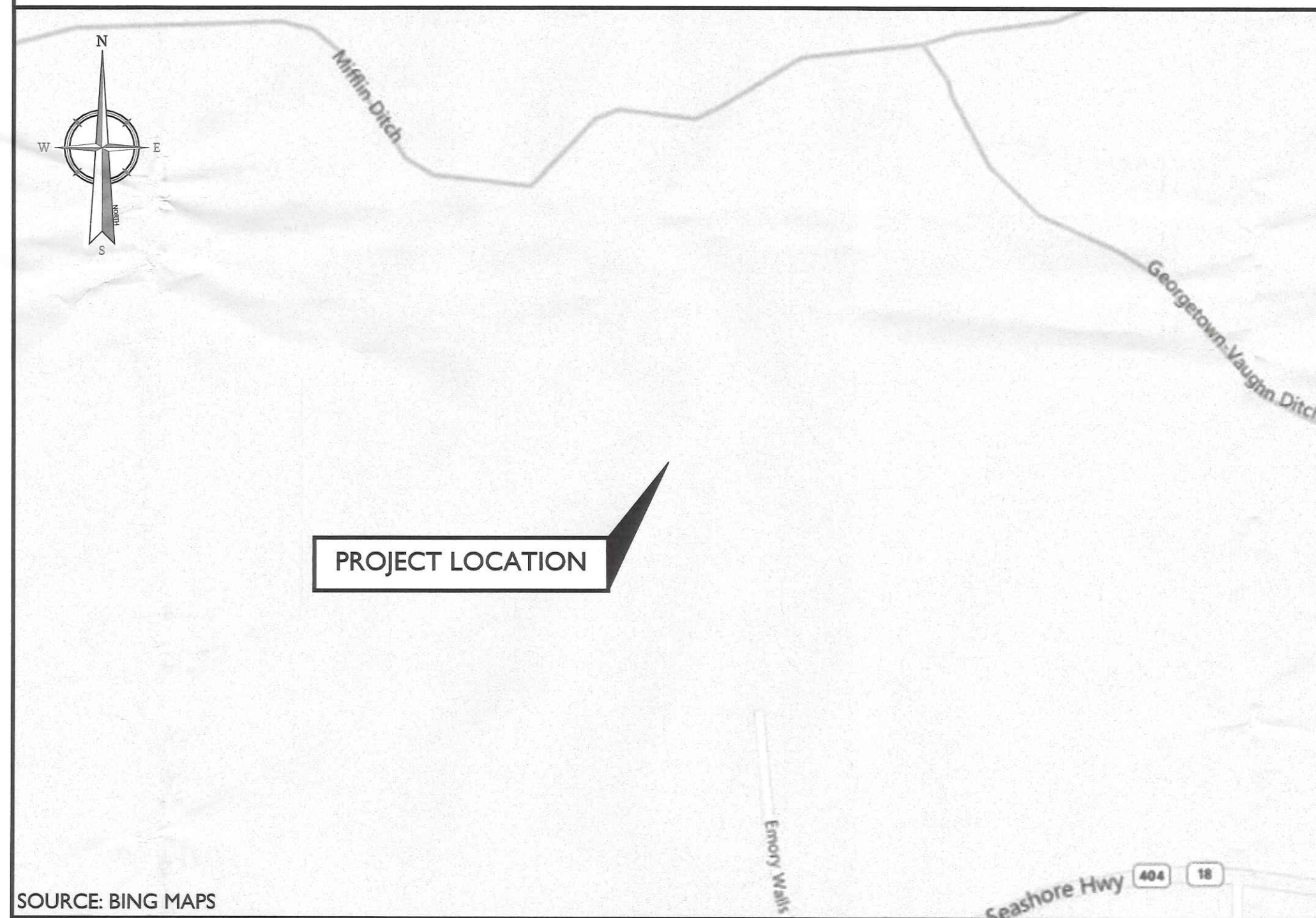
1. SITE INFORMATION OBTAINED FROM THE FOLLOWING:
 - A. CELL SITE SURVEY ENTITLED "DOV RED BARN" PREPARED BY COLLIERS ENGINEERING OF MT. LAUREL, NJ DATED 09/06/23.
 - B. LIMITED FIELD OBSERVATION BY COLLIERS ENGINEERING & DESIGN ON 06/28/23.
2. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, LAWS AND REGULATIONS OF ALL MUNICIPALITIES, UTILITY COMPANIES OR OTHER PUBLIC/GOVERNING AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
4. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, IN WRITING, OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE OF WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE AS A RESULT OF CONSTRUCTION OF THIS FACILITY AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
6. THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
7. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING THE BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND CONSTRUCTION DRAWINGS.
8. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THESE DRAWINGS MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
9. THE PROPOSED FACILITY WILL COMPLY WITH ALL STATE AND LOCAL STORMWATER ORDINANCES.
10. NO NOISE, SMOKE, DUST OR ODOR WILL RESULT FROM THIS FACILITY AS TO CAUSE A NUISANCE.
11. THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION (NO HANDICAP ACCESS IS REQUIRED).
12. THE FACILITY DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
13. CONTRACTOR SHALL VERIFY ANTENNA ELEVATION AND AZIMUTHS WITH RF ENGINEERING PRIOR TO INSTALLATION.
14. ALL STRUCTURAL ELEMENTS SHALL BE HOT DIPPED GALVANIZED STEEL.
15. CONTRACTOR MUST FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
16. CONSTRUCTION SHALL NOT COMMENCE UNTIL COMPLETION OF A PASSING STRUCTURAL ANALYSIS CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER. THE STRUCTURAL ANALYSIS IS TO BE PERFORMED BY OTHERS.
17. CONTRACTOR SHALL CONTACT STATE SPECIFIC ONE CALL SYSTEM THREE WORKING DAYS PRIOR TO ANY EARTH MOVING ACTIVITIES.



SITE NAME: DOV RED BARN

EMORY WALLS ROAD GEORGETOWN, DE 19947 SUSSEX COUNTY

VICINITY MAP



SOURCE: BING MAPS

PROJECT LOCATION

PROJECT INFORMATION

SITE INFORMATION

LATITUDE: N 38° 42' 11.42" (NAD 83)
 LONGITUDE: W 75° 27' 23.77" (NAD 83)
 GROUND ELEVATION: 35.4± AMSL (NAVD 88)
 JURISDICTION: SUSSEX COUNTY
 PARCEL: 231-7.00-21.00

APPLICANT

COMPANY: CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS
 ADDRESS: 512 TOWNSHIP LINE ROAD BUILDING 2, FLOOR 3 BLUE BELL, PA 19422
 CITY, STATE, ZIP:

PROPERTY OWNER

NAME: WALLS SUSSEX PROPERTIES, LLC
 ADDRESS: 9 WOOD STREET
 CITY, STATE, ZIP: MIDDLETOWN, DE 19709

SITE ACQUISITION

COMPANY: NB+C
 CONTACT: JAMES RODGERS
 PHONE: (610) 999-0427

CONSTRUCTION MANAGER

COMPANY: CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS
 ADDRESS: 512 TOWNSHIP LINE ROAD, BUILDING 2, FLOOR 3 BLUE BELL, PA 19422
 CONTACT: MARK LYNCH
 COUNTY: (610) 608-6101

ENGINEERING COMPANY

COMPANY: COLLIERS ENGINEERING & DESIGN, INC
 ADDRESS: 2000 MIDLANTIC DRIVE, SUITE 100 MT. LAUREL, NJ 08054
 CONTACT: MATTHEW GRAUBART, P.E.
 PHONE: (856) 797-0412
 E-MAIL: MATTHEW.GRAUBART@COLLIERSENG.COM

LOCATION INFORMATION

POWER PROVIDER

COMPANY: DELAWARE ELECTRIC COOPERATIVE
 PHONE: (855) 322-9090

TELEPHONE PROVIDER

COMPANY: VERIZON
 PHONE: (800) 837-4966

POLICE

NAME: GEORGETOWN POLICE DEPARTMENT
 ADDRESS: 335 NORTH RACE STREET
 CITY, STATE, ZIP: GEORGETOWN, DE 19947
 PHONE: (302) 856-6613

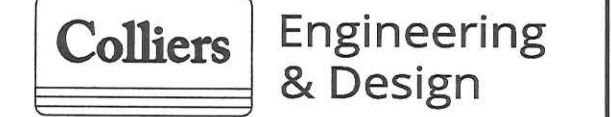
FIRE

NAME: GEORGETOWN FIRE COMPANY
 ADDRESS: 100 SOUTH BEDFORD STREET
 CITY, STATE, ZIP: GEORGETOWN, DE 19947
 PHONE: (302) 856-7700

IN CASE OF EMERGENCY, CALL 9-1-1

SHEET INDEX

SHEET	DESCRIPTION
T-1	TITLE SHEET
Z-1	ZONING INFORMATION
Z-2	SITE PLAN AND SITE NOTES
Z-3	PARTIAL SITE PLAN
Z-4	COMPOUND PLAN AND ELEVATION VIEW
A-1	CONSTRUCTION DETAILS
A-2	CONSTRUCTION DETAILS
A-3	CONSTRUCTION DETAILS
A-4	CONSTRUCTION DETAILS
A-5	CONSTRUCTION DETAILS



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Doing Business as MASER CONSULTING



CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS

512 TOWNSHIP LINE ROAD
BUILDING 2, FLOOR 3
BLUE BELL, PA 19422

811 PROTECT YOURSELF
 ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE.
 Know what's Below. Call before you dig.
 FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

SCALE: AS SHOWN JOB NUMBER: 23960072

REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
0	10/10/23	ISSUED FOR ZONING	RMD	MEG
A	09/21/23	ISSUED FOR REVIEW	RMD	MEG

Matthew E. Graubart
 DELAWARE REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 15147
 COLLIERS ENGINEERING & DESIGN, INC.
 D.E. C.O.A. #: 2840

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SITE NAME:

DOV RED BARN
EMORY WALLS ROAD
GEORGETOWN, DE 19947
SUSSEX COUNTY

Colliers Engineering & Design
 MT. LAUREL
 2000 Midlantic Drive,
 Suite 100
 Mt. Laurel, NJ 08054
 Phone: 856.797.0412
 COLLIERS ENGINEERING & DESIGN, INC.
 DOING BUSINESS AS MASER CONSULTING

SHEET TITLE: TITLE SHEET

SHEET NUMBER: T-1

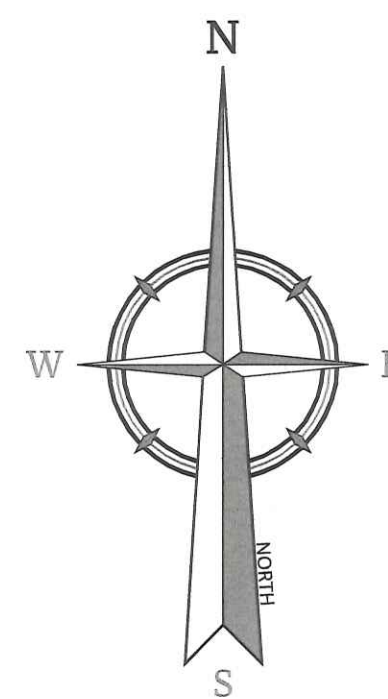
CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

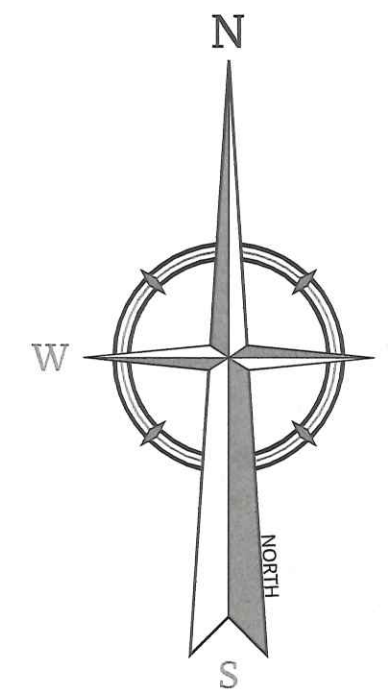
- | | |
|--|---|
| 1. 2018 INTERNATIONAL BUILDING CODE | 8. INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS 81 IEEE C2 LATEST EDITION |
| 2. 2020 DELAWARE STATE ELECTRICAL CODE | 9. TELCORDIA GR-1275 |
| 3. 2021 DELAWARE STATE FIRE CODE | 10. ANSI T1.311 |
| 4. AMERICAN INSTITUTE OF STEEL CONSTRUCTION 360-16 | 11. PROPOSED USE: UNMANNED TELECOM FACILITY
HANDICAP REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS NOT REQUIRED. |
| 5. AMERICAN CONCRETE INSTITUTE | 12. CONSTRUCTION TYPE: IIB |
| 6. TIA-222-H | 13. USE GROUP: U |
| 7. TIA 607 FOR GROUNDING | |

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TAX MAP
 SCALE : 1" = 1000' FOR 22"X34"
 (SCALE : 1" = 2000' FOR 11"X17")



ZONING MAP
 SCALE : 1" = 1000' FOR 22"X34"
 (SCALE : 1" = 2000' FOR 11"X17")

	Residential Planned Community		Agricultural - AR-1		General Commercial - C-1
	State lands		Agricultural - AR-2		Commercial Residential - CR-1
	County lands		Medium Residential - MR		Marine - M
	Federal lands		General Residential - GR		Limited Industrial - LI-1
	Town		High Density Residential		Light Industrial - LI-2
	Water		Vacation, Retire, Resident - VRP		Heavy Industrial - HI-1
	Environmentally Sensitive Developing Districts - ES-1		Neighborhood Business - B-1		

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 DELAWARE REGISTERED PROFESSIONAL ENGINEER
 LICENSE NUMBER: 21147
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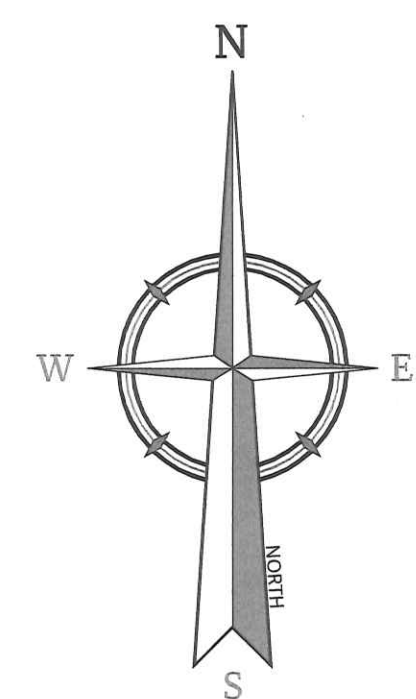
SHEET TITLE:
ZONING INFORMATION

SHEET NUMBER:
Z-1

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

VICINITY MAP

SOURCE: GOOGLE EARTH

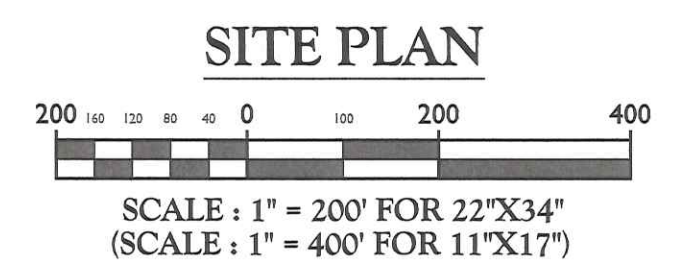
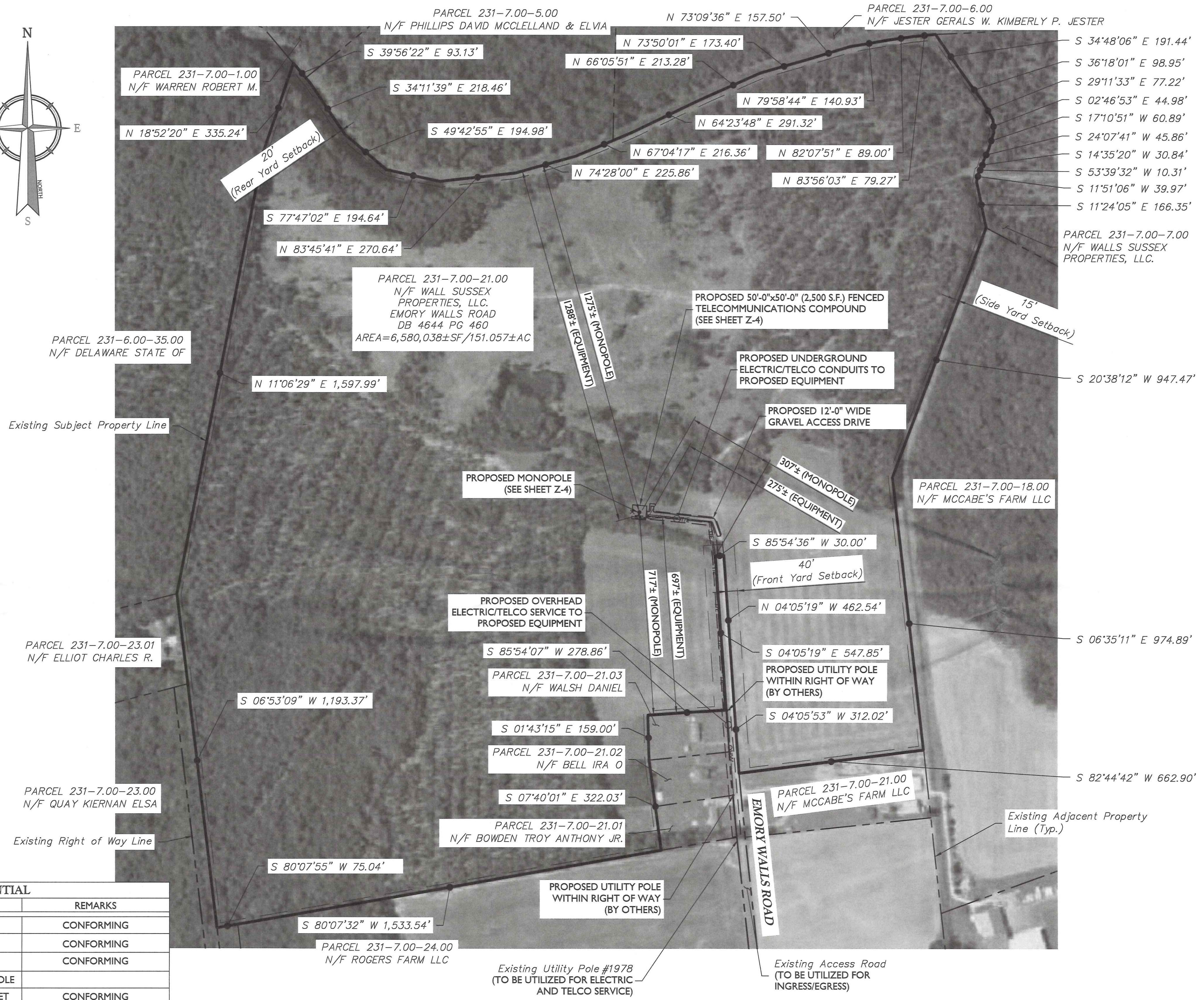


- ### SITE NOTES
- THIS PROPOSAL IS FOR AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF THE PLACEMENT OF PANEL ANTENNAS ON A PROPOSED MONOPOLE AND EQUIPMENT CABINETS ON A PROPOSED CONCRETE PAD, AN OUTDOOR STANDBY GENERATOR AND ASSOCIATED APPURTENANCES WITHIN A PROPOSED FENCED COMPOUND.
 - EXTERIOR SIGNS ARE NOT PROPOSED EXCEPT AS REQUIRED BY THE FCC.
 - DISTURBANCE UNDER THIS PROPOSAL:
TOTAL AREA OF DISTURBANCE - 9,100± S.F.
 - RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
 - CONTRACTOR SHALL CONTACT STATE SPECIFIC ONE CALL SYSTEM THREE WORKING DAYS PRIOR TO ANY EARTH MOVING ACTIVITIES.
 - POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.
 - SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS & INSPECTIONS REQUIRED FOR CONSTRUCTION.
 - SUBCONTRACTOR SHALL DETERMINE EXACT ROUTE OF ANY UNDERGROUND CONDUIT, IF REQUIRED.
 - THIS PROJECT WILL NOT REQUIRE STREETS OR PROPERTY TO BE DEDICATED FOR PUBLIC USE.
 - THIS PROJECT WILL NOT REQUIRE PERMANENT MONUMENTS.
 - ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAPS OF SUSSEX COUNTY, DE (AND INCORPORATED AREAS), FLOOD ZONE MAP NUMBER 1005C0280L PANEL NUMBER 280 OF 660 DATED 06/20/2018, ALL PROPOSED IMPROVEMENTS ARE LOCATED WITHIN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
 - THE PROPOSED INSTALLATION WILL GENERATE ONE (1) VEHICLE TRIP FOR ROUTINE MAINTENANCE EVERY FOUR (4) TO SIX (6) WEEKS.

BULK STANDARDS FOR AR-1 - AGRICULTURAL RESIDENTIAL					
DESCRIPTION	REQUIRED	EXISTING	PROPOSED		REMARKS
MINIMUM LOT AREA	32,670 SF	6,580,038± SF	NO CHANGE		CONFORMING
MINIMUM LOT WIDTH	100 FEET	663± FEET	NO CHANGE		CONFORMING
MINIMUM LOT DEPTH	100 FEET	2,037± FEET	NO CHANGE		CONFORMING
			EQUIPMENT	MONOPOLE	
MINIMUM FRONT YARD SETBACK	40 FEET	N/A	275± FEET	307± FEET	CONFORMING
MINIMUM SIDE YARD SETBACK	15 FEET	N/A	697± FEET	717± FEET	CONFORMING
MINIMUM REAR YARD SETBACK	20 FEET	N/A	1288± FEET	1275± FEET	CONFORMING
MAXIMUM HEIGHT	42 FEET	<42± FEET	11± FEET (CANOPY)		CONFORMING

ARTICLE 115-194.2 - COMMERCIAL COMMUNICATIONS TOWERS AND ANTENNAS				
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	REMARKS
MINIMUM TOWER SETBACK*	53 FEET	N/A	307± FEET	CONFORMING
MINIMUM FENCE HEIGHT	6 FEET	N/A	6 FEET + 1 FOOT BARBED WIRE	CONFORMING
MINIMUM LOT AREA	1 ACRE	151.1± ACRES	NO CHANGE	CONFORMING

*DENOTES 1/3 OF PROPOSED TOWER HEIGHT



- ### LEGEND
- Existing Subject Property Line
 - Existing Right of Way
 - Existing Adjacent Property
 - Setback Line
 - PROPOSED OVERHEAD WIRE
 - PROPOSED CHAIN LINK FENCE
 - PROPOSED UNDERGROUND ELECTRIC/TELCO UTILITY LINES

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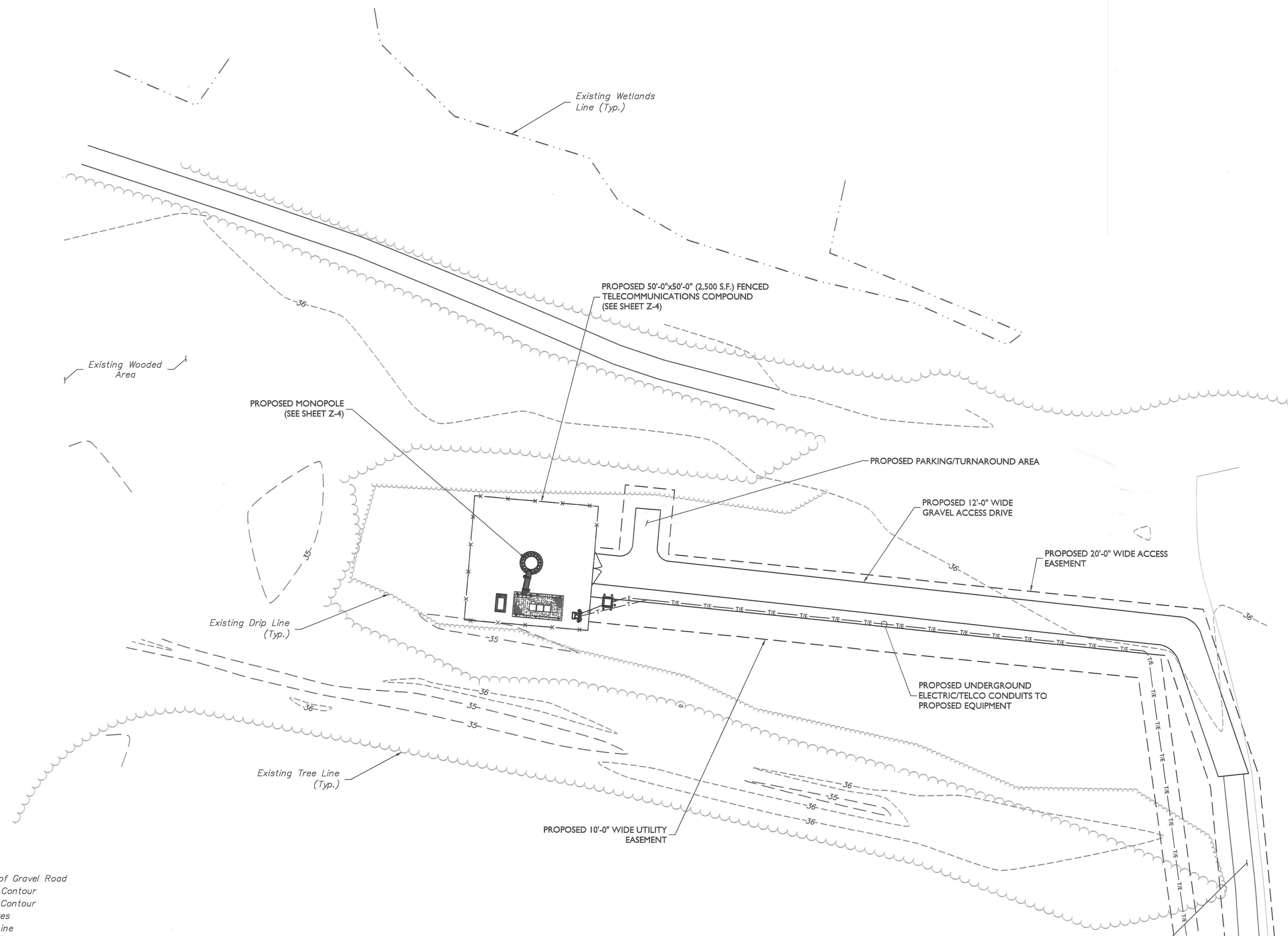
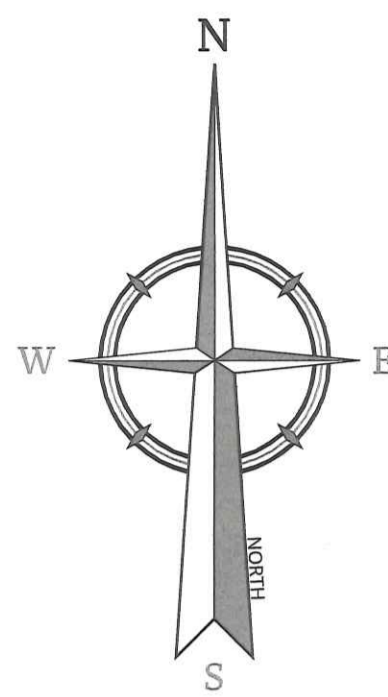
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SHEET TITLE: **SITE PLAN AND SITE NOTES**

SHEET NUMBER: **Z-2**

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



- LEGEND**
- Existing Edge of Gravel Road
 - - - 35 - - - Existing Major Contour
 - - - 36 - - - Existing Minor Contour
 - Existing Features
 - Existing Tree Line
 - Existing Drip Line
 - Existing Wetlands Line
 - PROPOSED EASEMENT
 - x - x - PROPOSED CHAIN LINK FENCE
 - PROPOSED FEATURES
 - T/E - PROPOSED UNDERGROUND ELECTRIC/TELCO UTILITY LINES

PARTIAL SITE PLAN
 SCALE: 1" = 20' FOR 22"X34"
 (SCALE: 1" = 40' FOR 11"X17")

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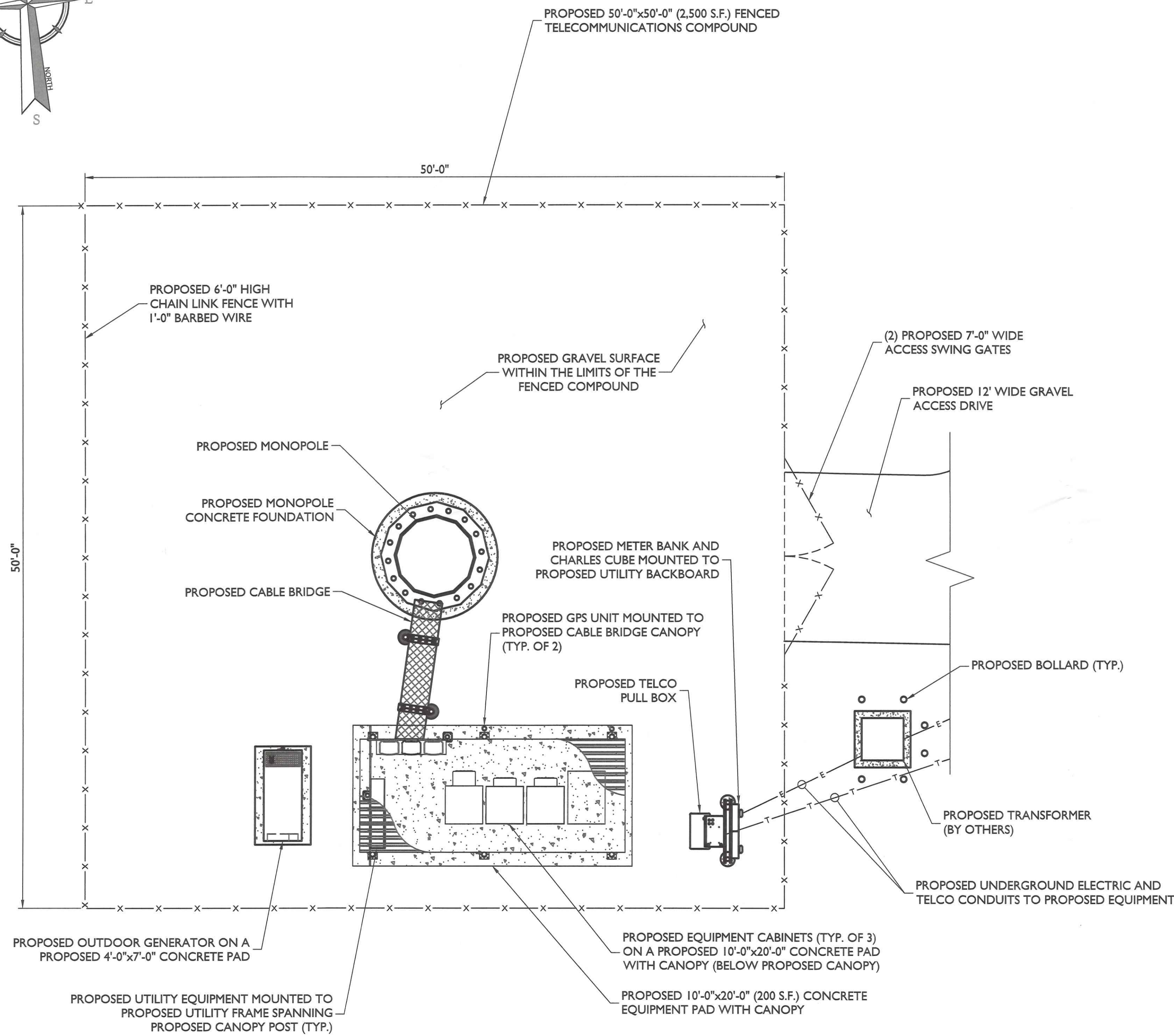
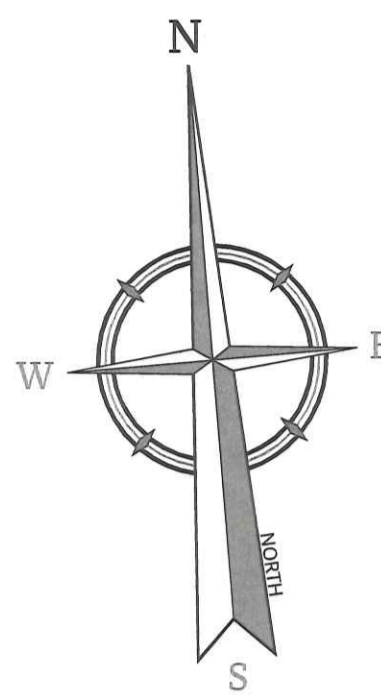
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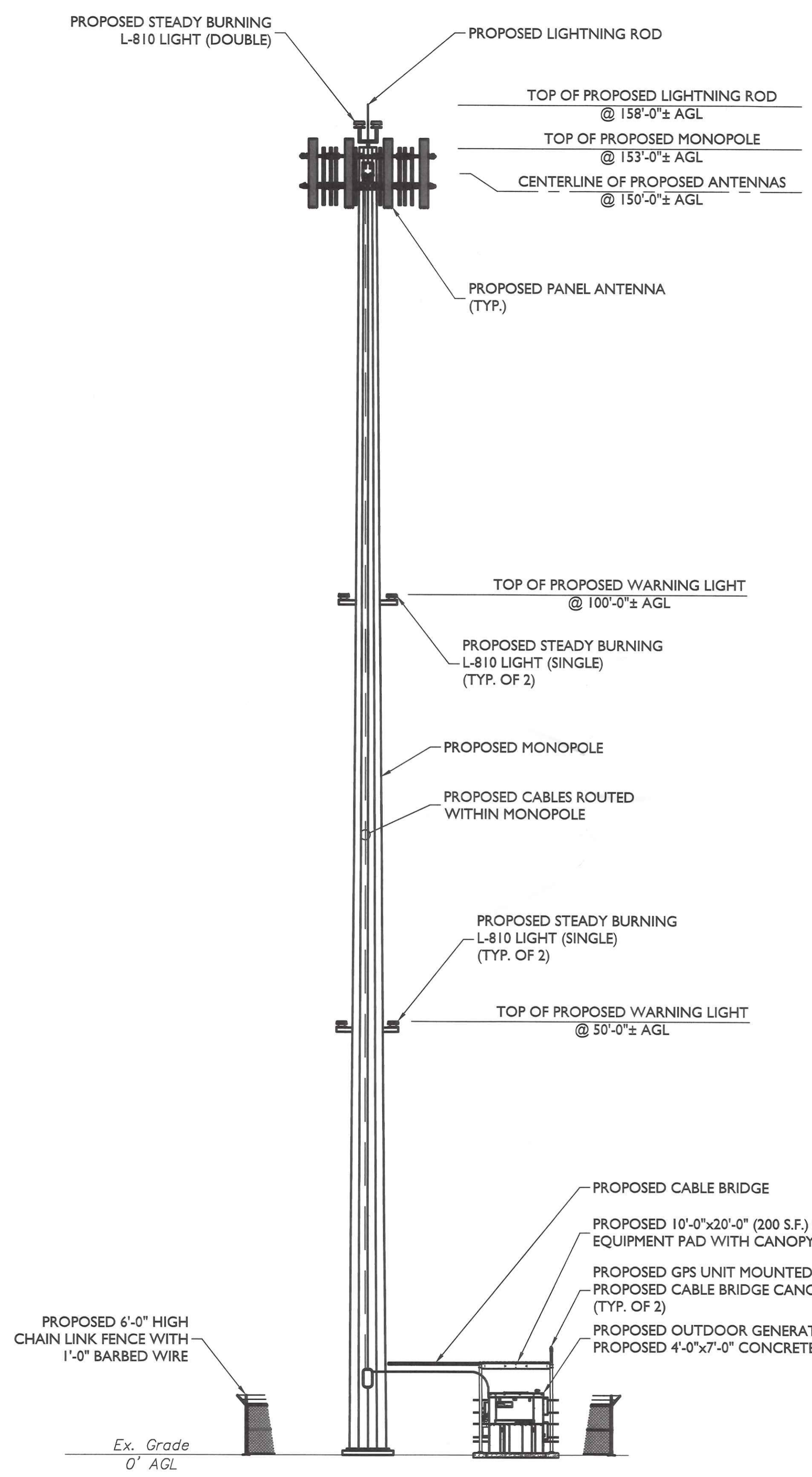
SHEET TITLE: **PARTIAL SITE PLAN**

SHEET NUMBER: **Z-3**

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



COMPOUND PLAN
 SCALE: 1" = 5' FOR 22"X34"
 (SCALE: 1" = 10' FOR 11"X17")



ELEVATION VIEW
 SCALE: 1" = 10' FOR 22"X34"
 (SCALE: 1" = 20' FOR 11"X17")

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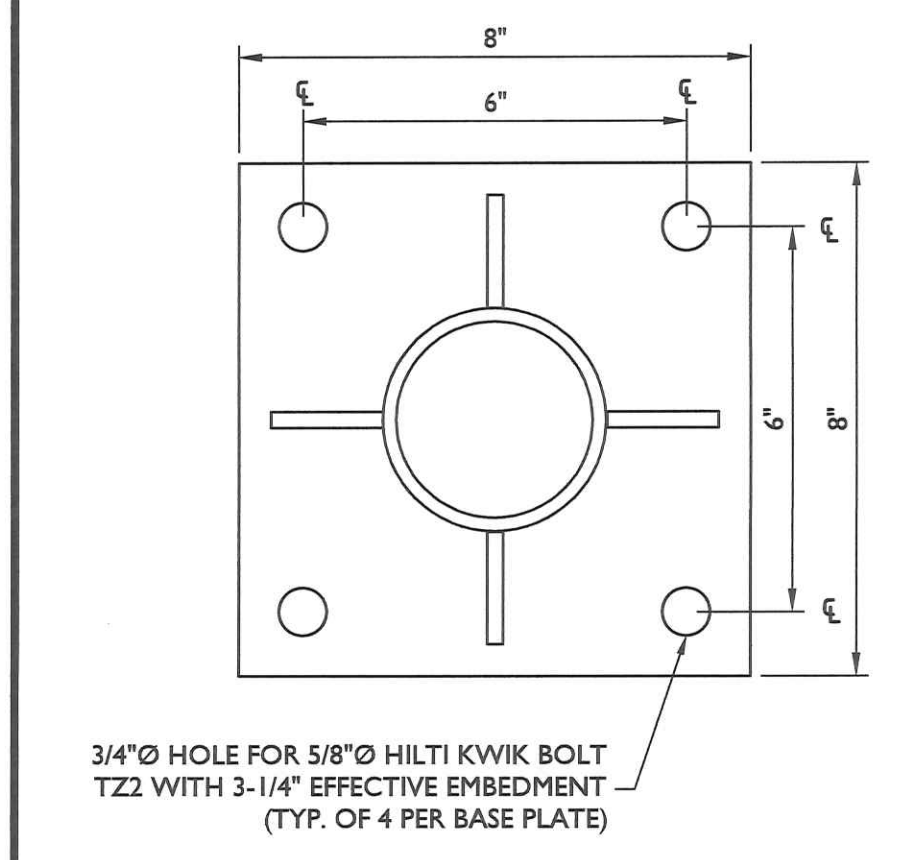
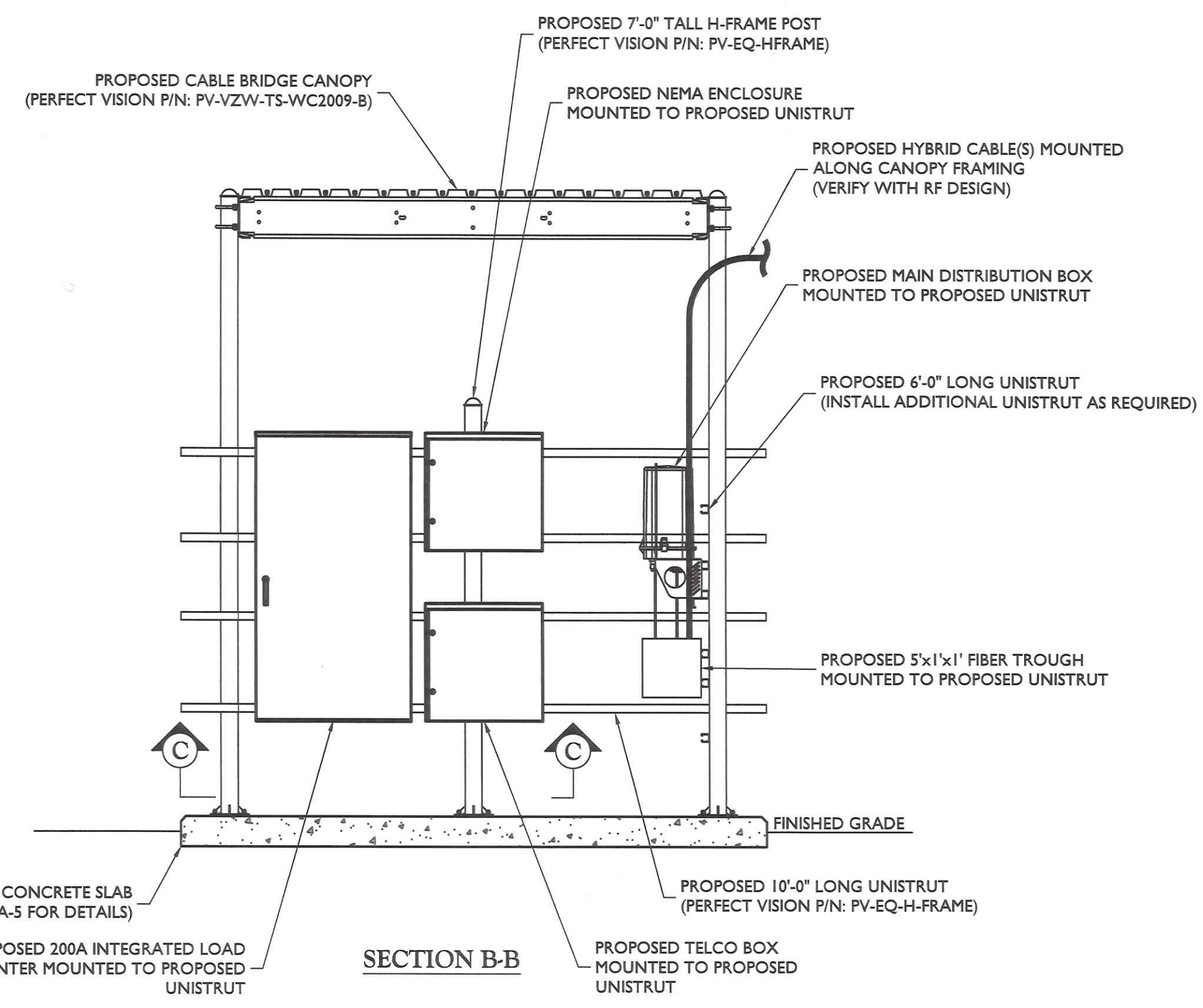
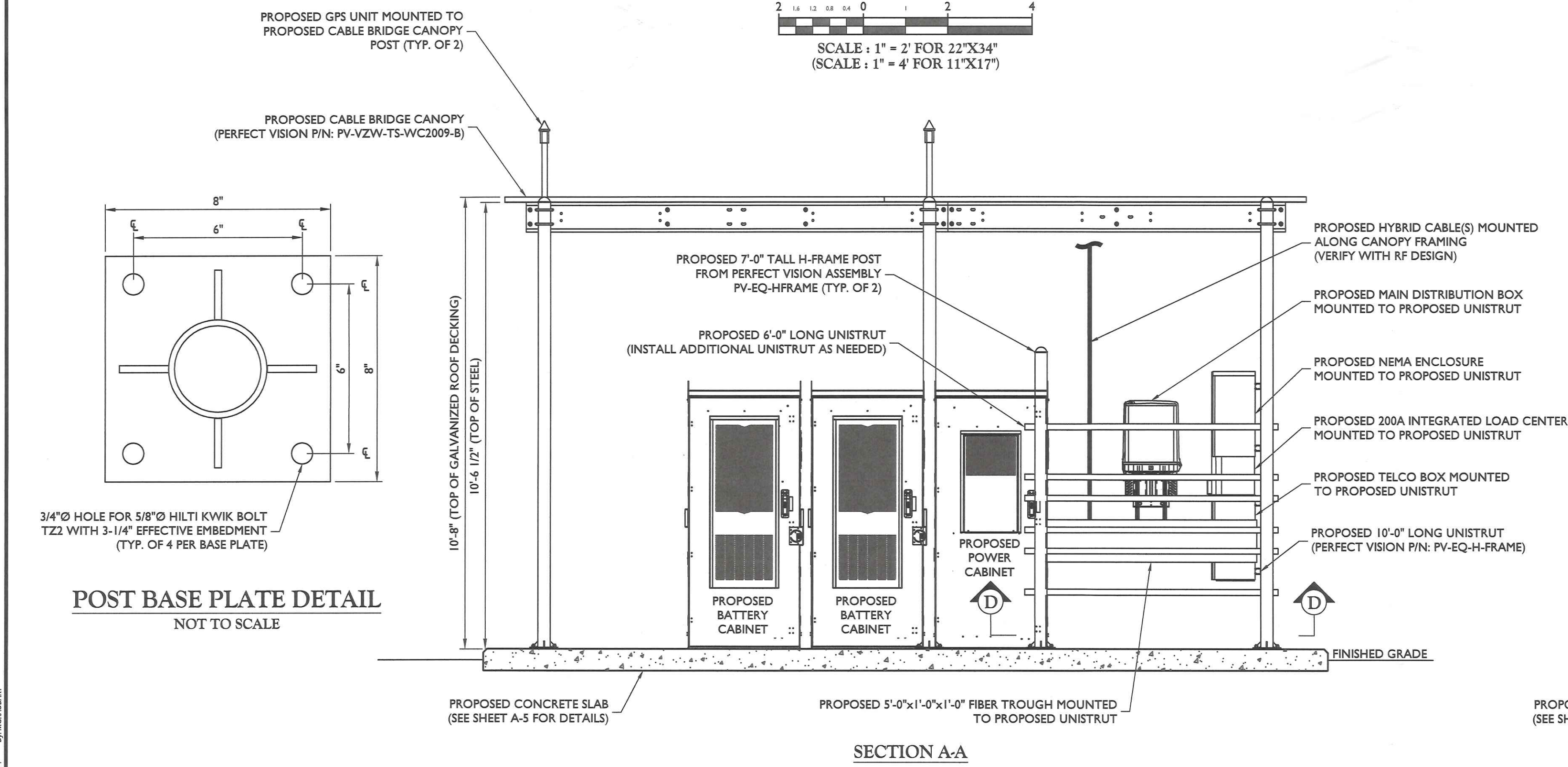
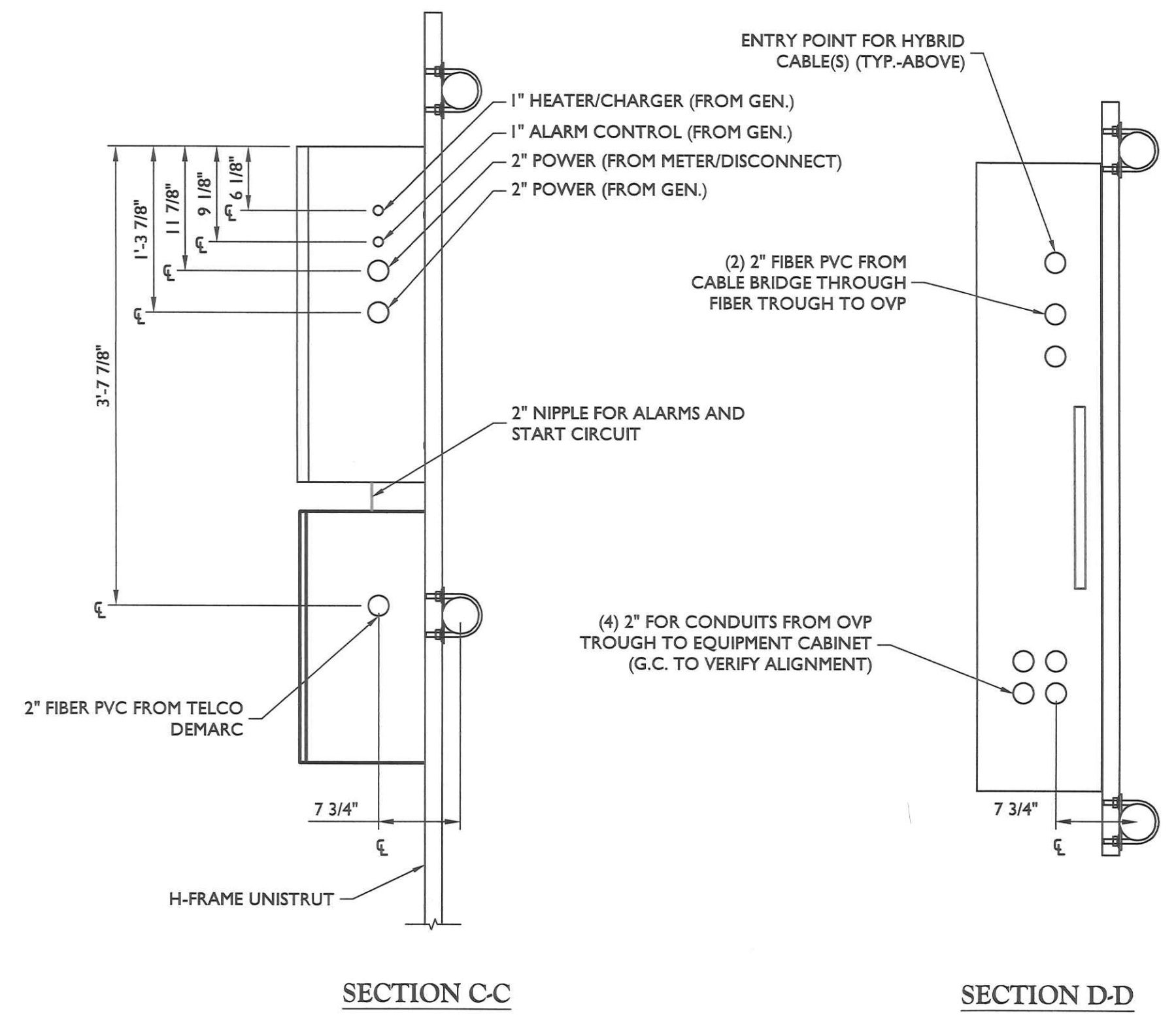
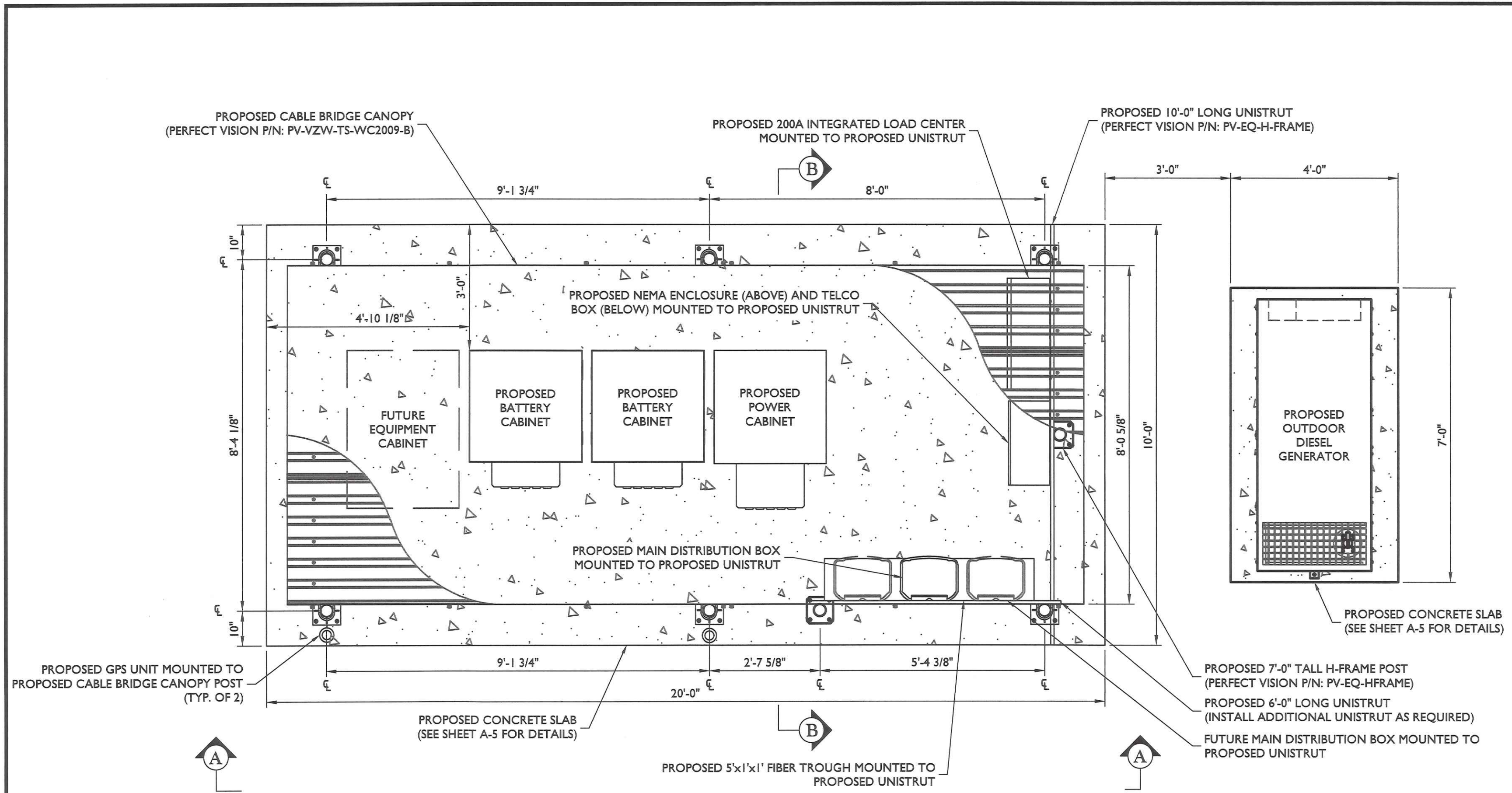
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SHEET TITLE: **COMPOUND PLAN AND ELEVATION VIEW**

SHEET NUMBER: **Z-4**

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V:\Projects\18050000\DOV Red Barn\23 Rev 0.dwg, C.A. By: MGAUMBERT



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CONSTRUCTION DETAILS
SHEET NUMBER: A-1

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SHEET TITLE:
CONSTRUCTION DETAILS

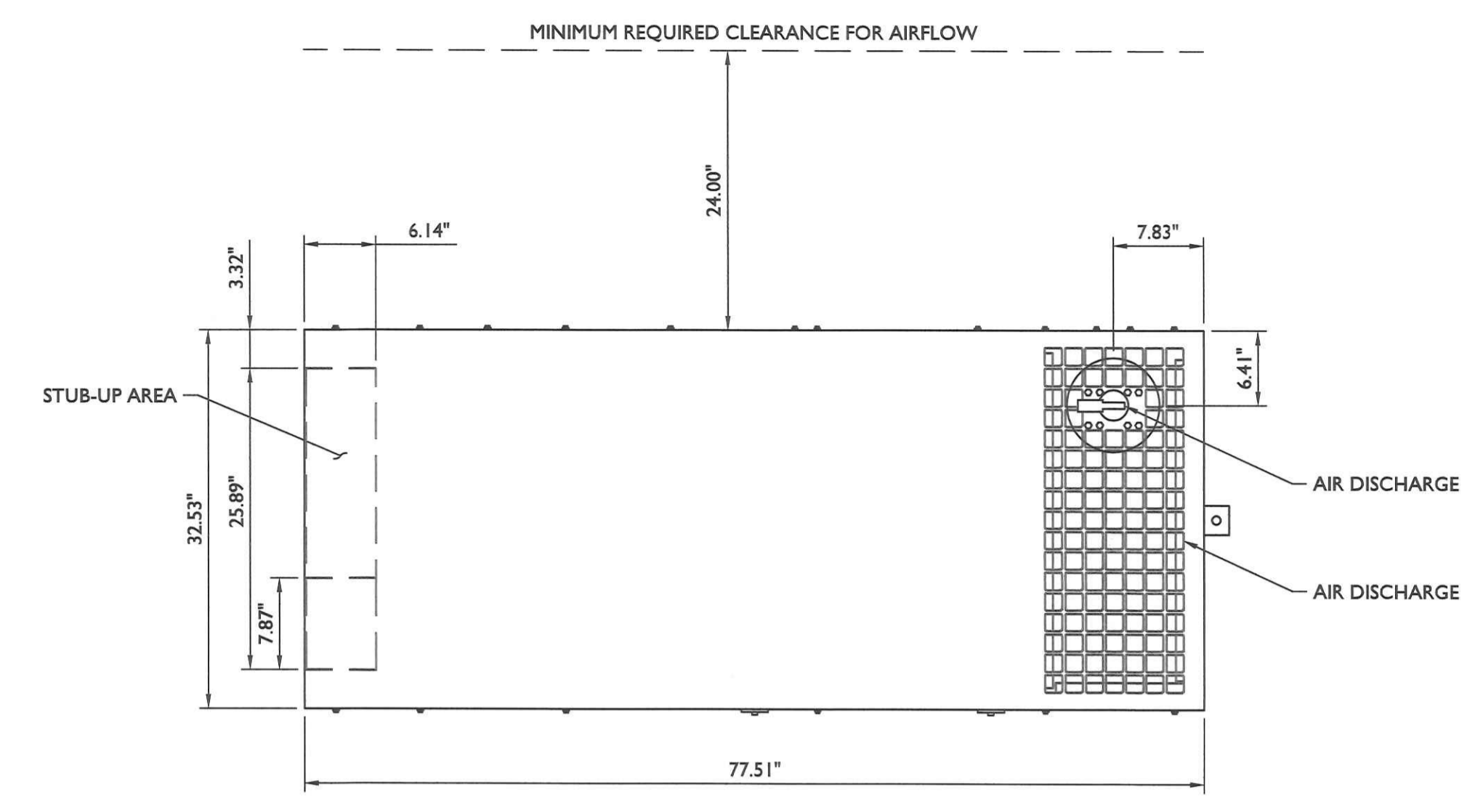
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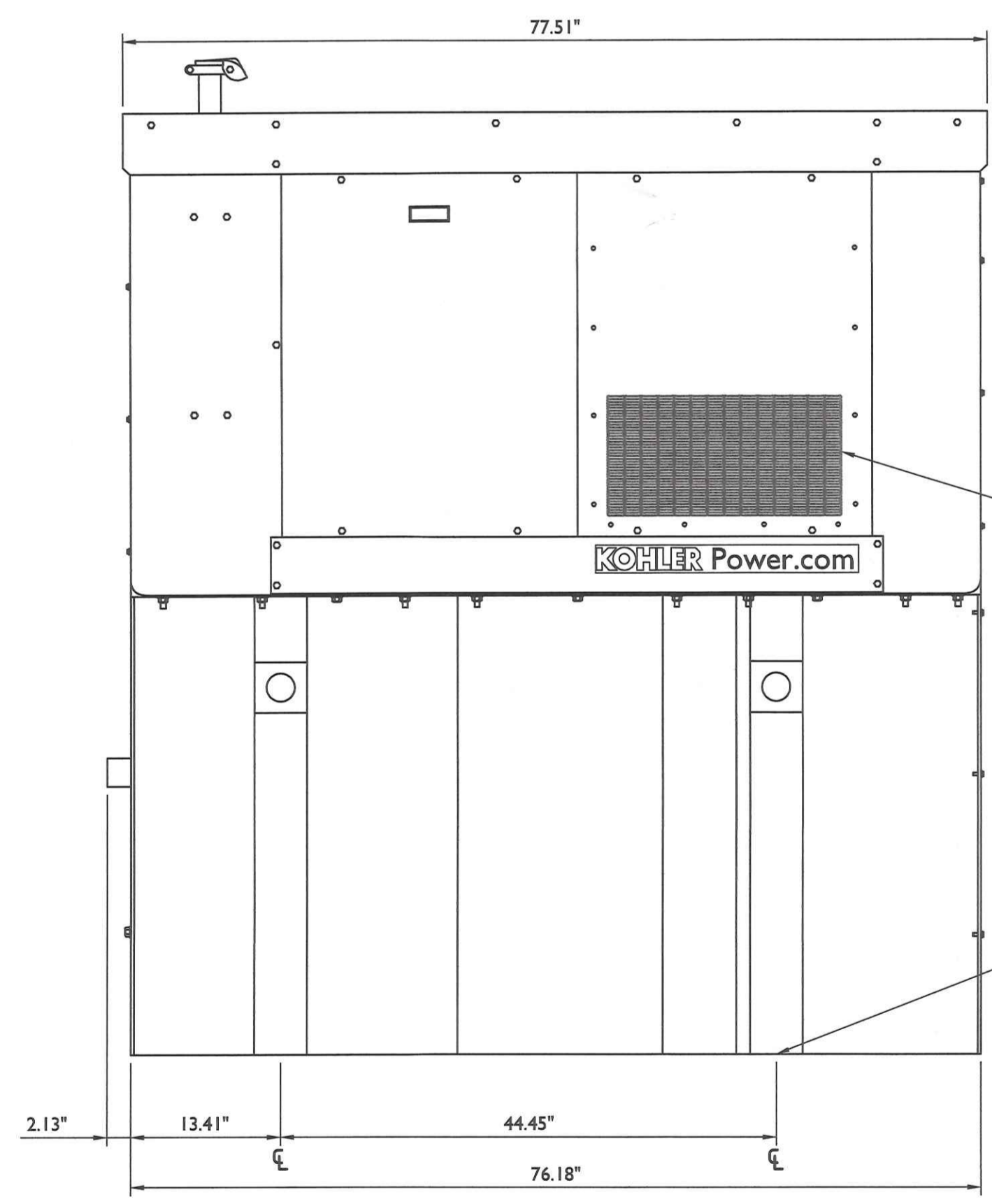
NOTES:

1. THE RIGHT SIDE OF THE GENERATOR IS SERVICE ACCESSIBLE.
2. 6 AMP BATTERY CHARGER.
3. 120VAC ENGINE BLOCK HEATER.
4. GENERATOR MUST BE GROUNDED.
5. SOUND ATTENUATED ENCLOSURE STANDARD WITH GENERATOR.
6. MUST ALLOW FREE FLOW OF DISCHARGE AIR AND EXHAUST.
7. MUST ALLOW FREE FLOW OF AIR INTAKE.
8. EASY ACCESS SERVICE PANEL IS LOCATED ON THE RIGHT SIDE OF THE GENERATOR ONLY.
9. BASE TANK REQUIRES ALL STUB-UPS TO BE IN THE REAR TANK STUB-UP AREA.
10. SEE TABLE FOR SUB-BASE FUEL TANK CAPACITY.
11. TANK EQUIPPED WITH FIRE SAFETY VALVE ON FUEL SUPPLY LINE.
12. IT IS THE RESPONSIBILITY OF THE INSTALLATION TECHNICIAN TO ENSURE THAT THE GENERATOR INSTALLATION COMPLIES WITH ALL APPLICABLE CODES, STANDARDS AND REGULATIONS.
13. GENERATOR IS INSTALLED ON UL-142 RATE DOUBLE WALL SUB-BASE FUEL TANK.
14. 65.4 dBA @ 23 FT (7 M) @ 100% LOAD WITH SOUND ENCLOSURE.

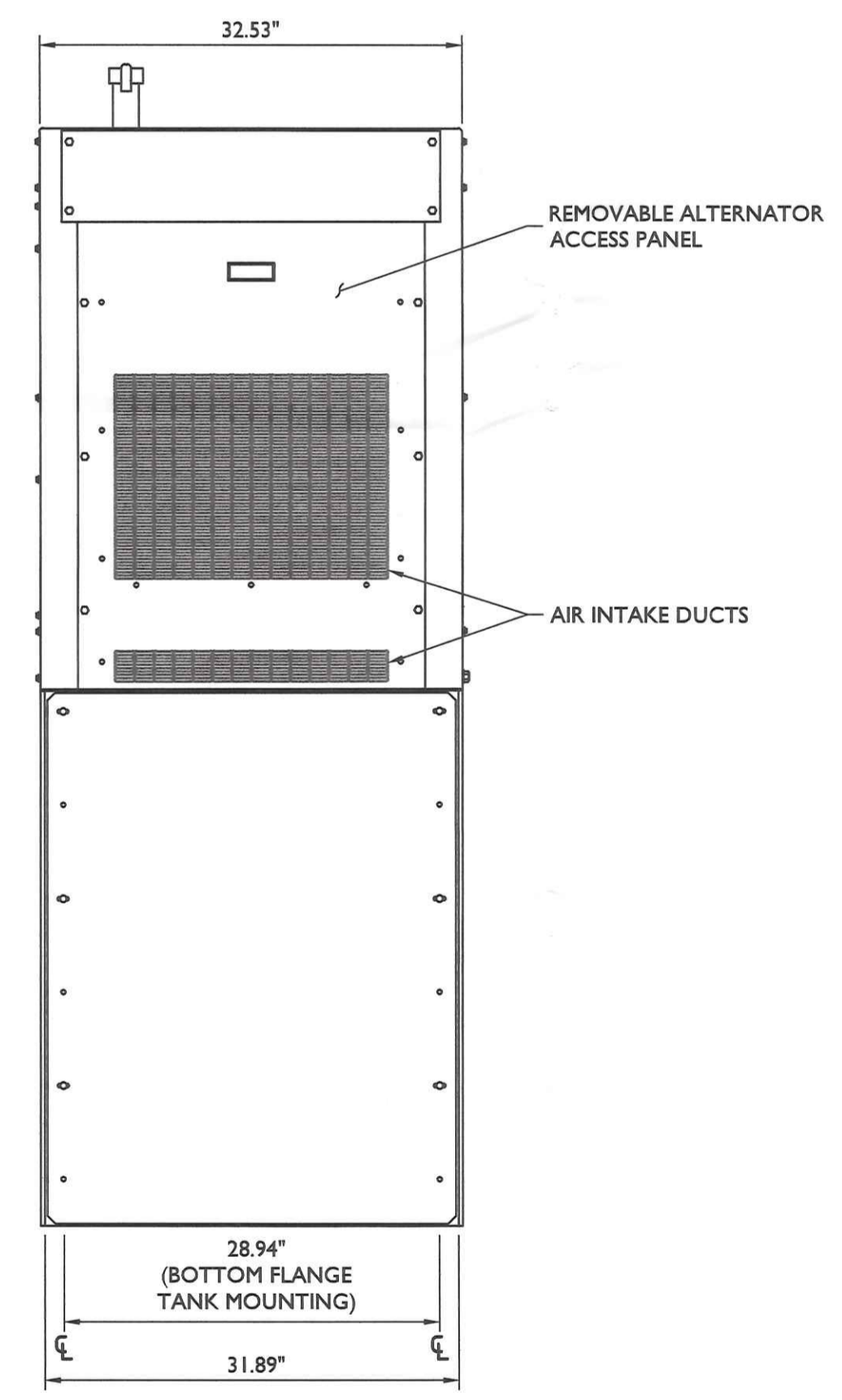
GENSET	TANK P/N	TANK HEIGHT (A)	DESCRIPTION	ASSEMBLY WEIGHT
30REOZK	GM97093-MA2	41.0"	SKID/TANK, 203 GAL	2,114 LBS



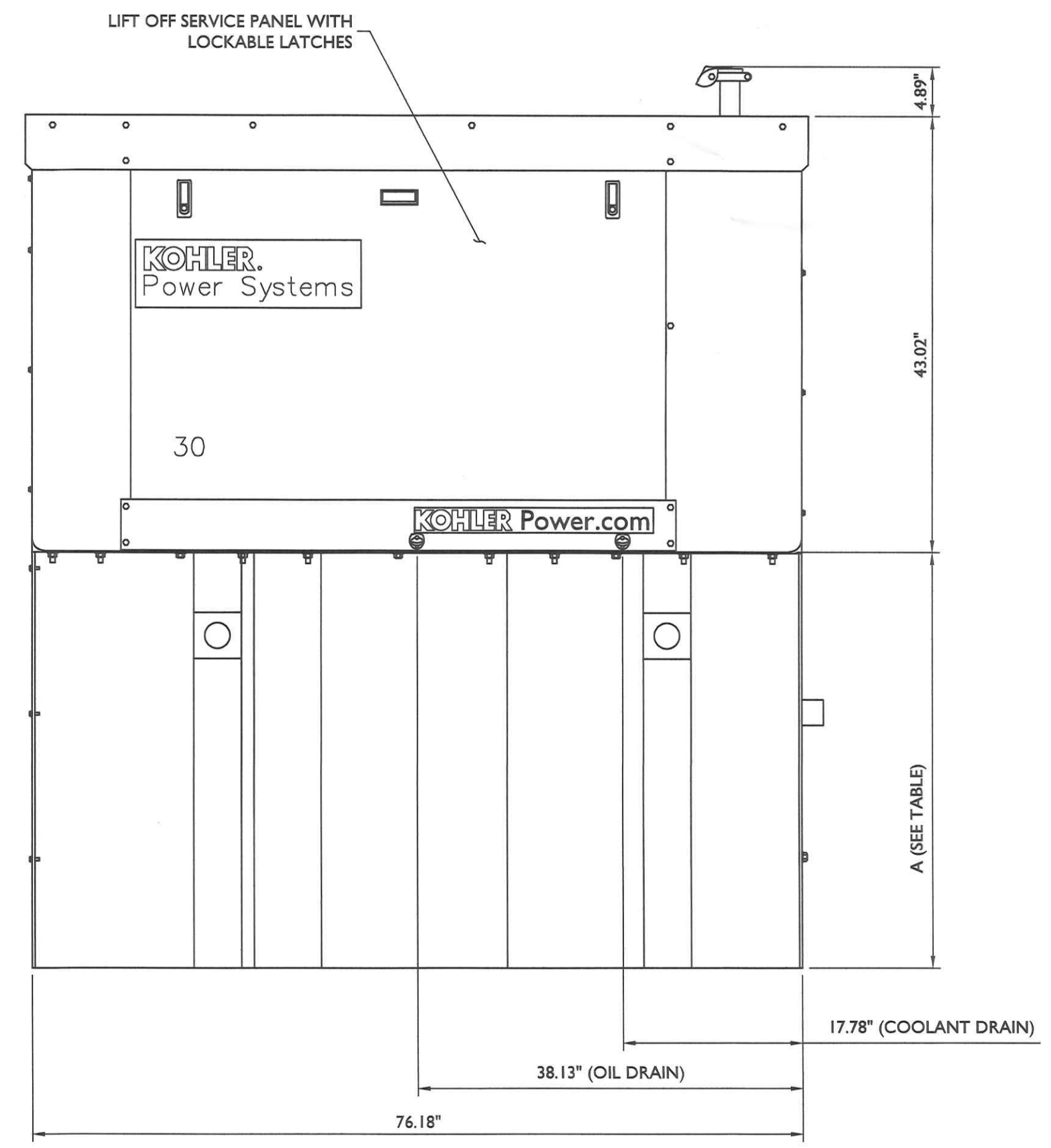
TOP VIEW



LEFT SIDE VIEW

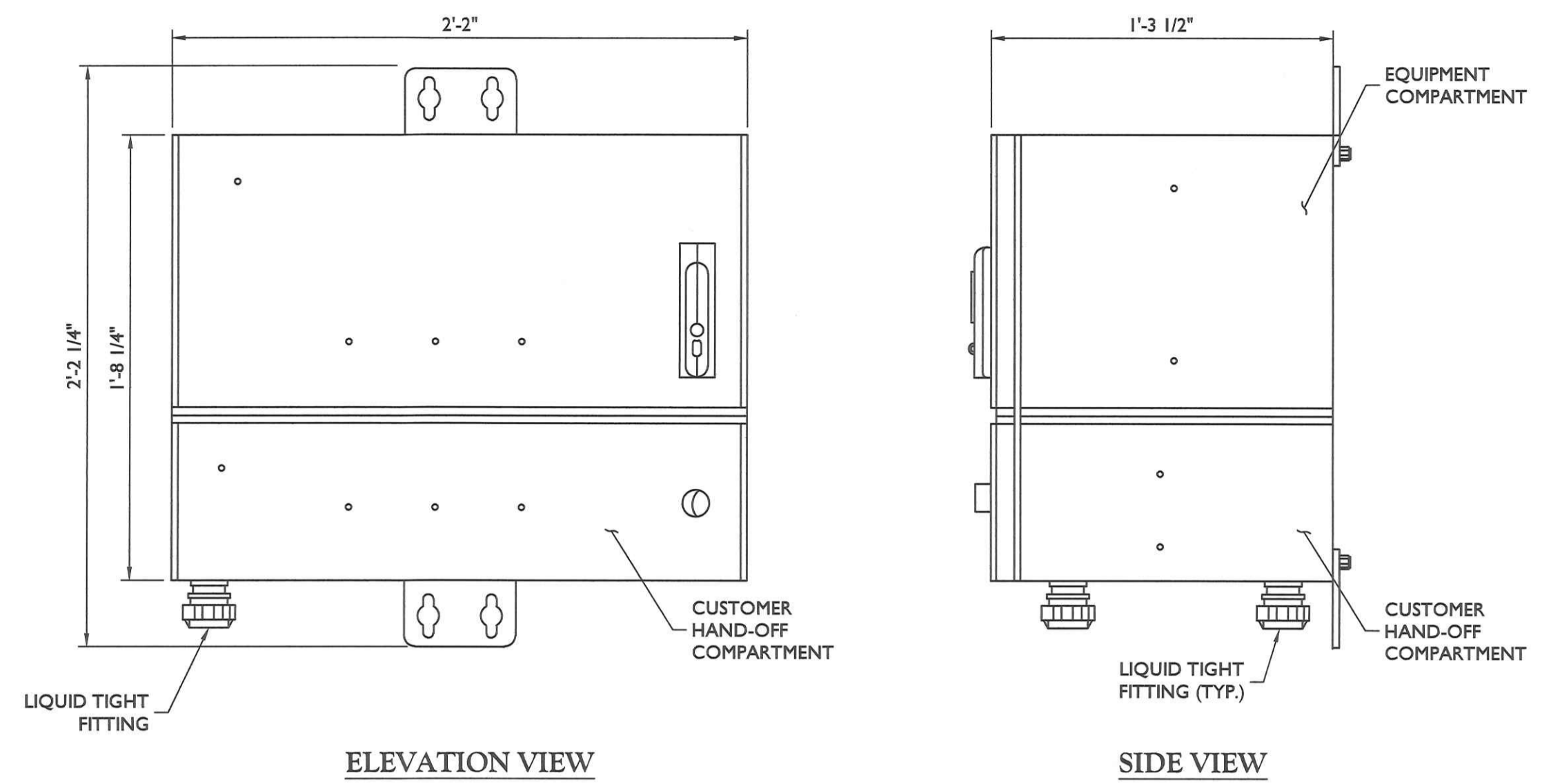


REAR VIEW



RIGHT SIDE VIEW (SERVICE SIDE)

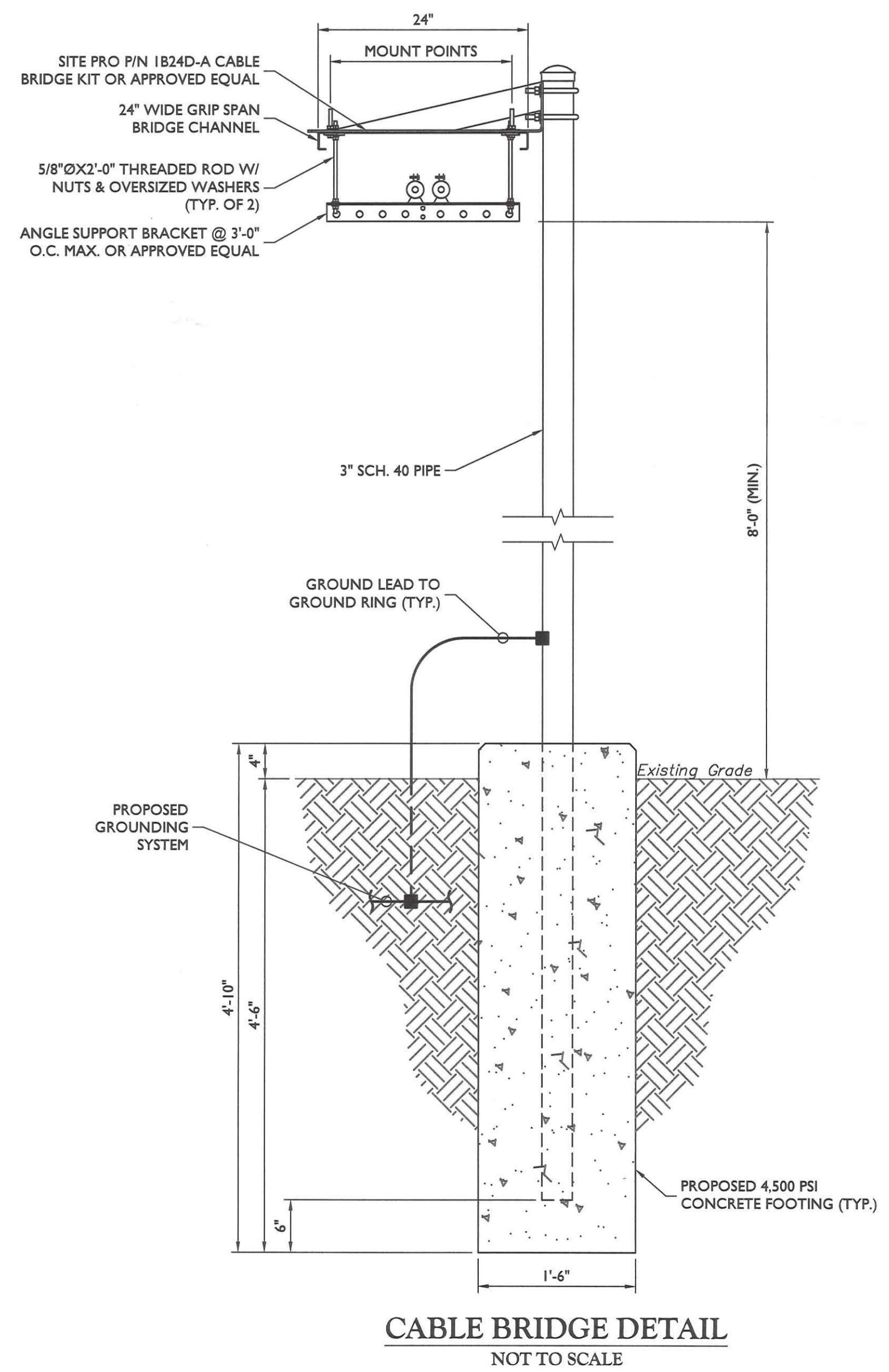
DIESEL SOUND ENCLOSURE WITH LIFT OFF PANEL
30kW KOHLER DIESEL GENERATOR DETAIL
NOT TO SCALE



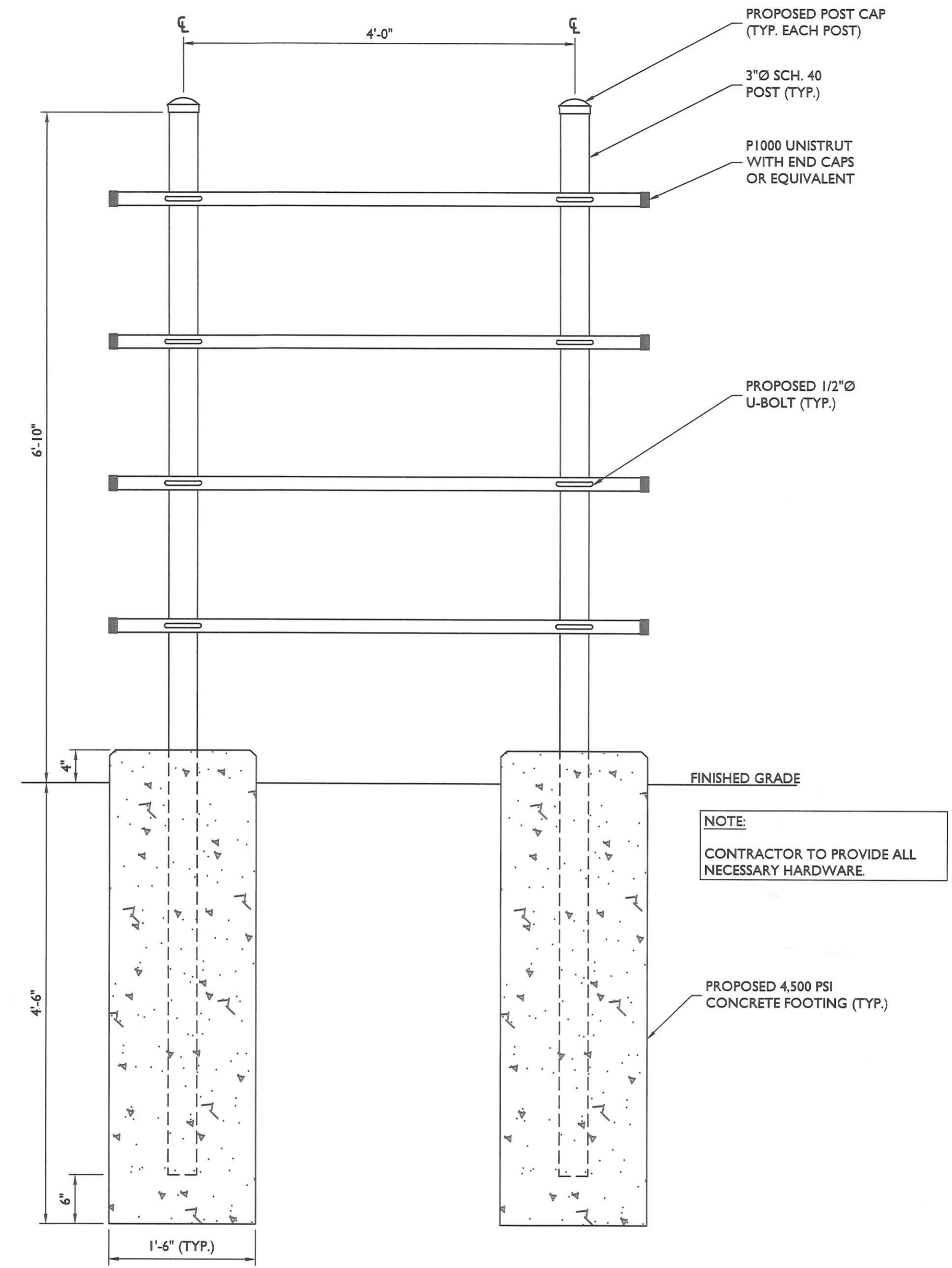
ELEVATION VIEW

SIDE VIEW

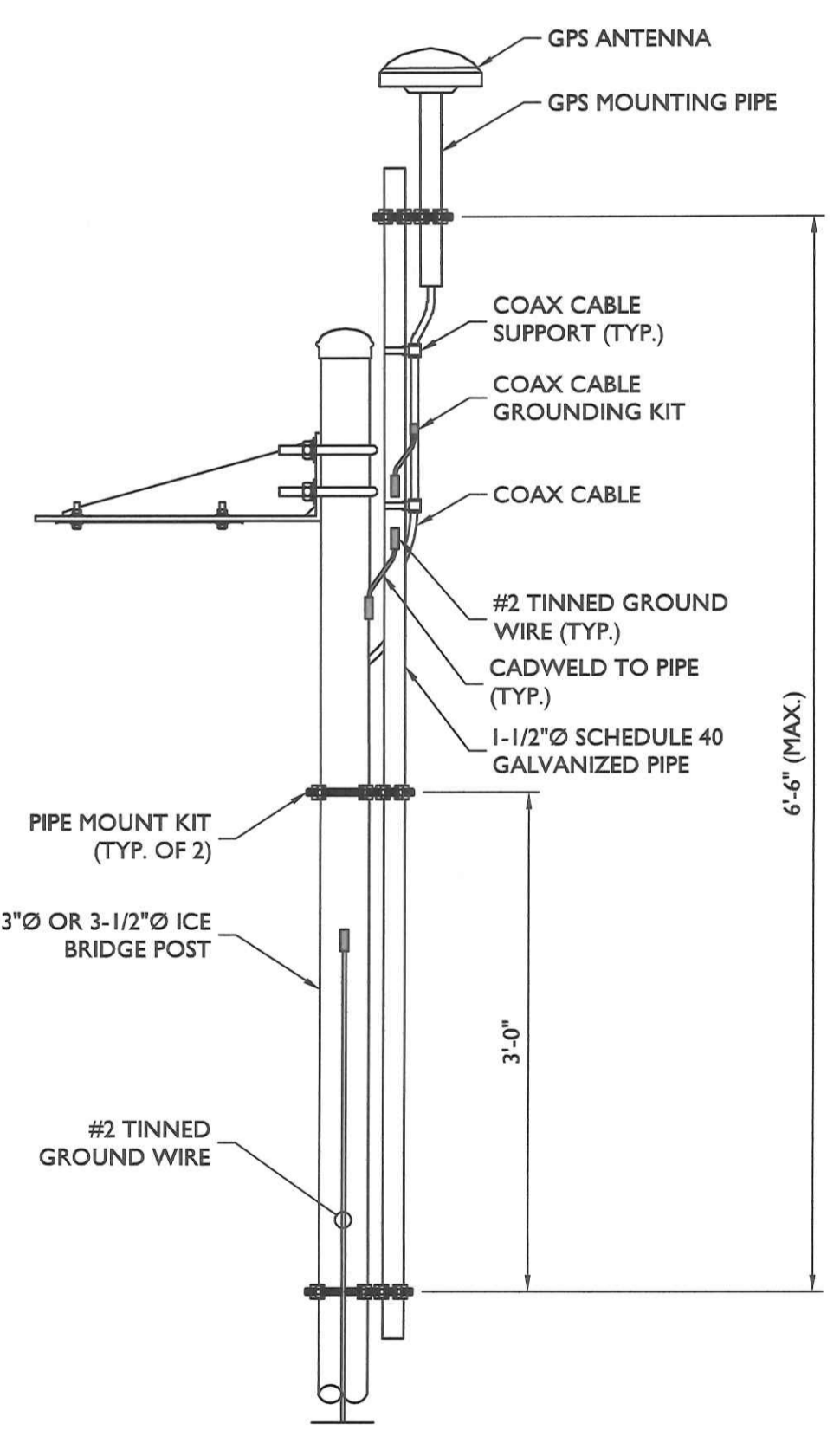
CHARLES INDUSTRIES RL2000A CUBE
NOT TO SCALE



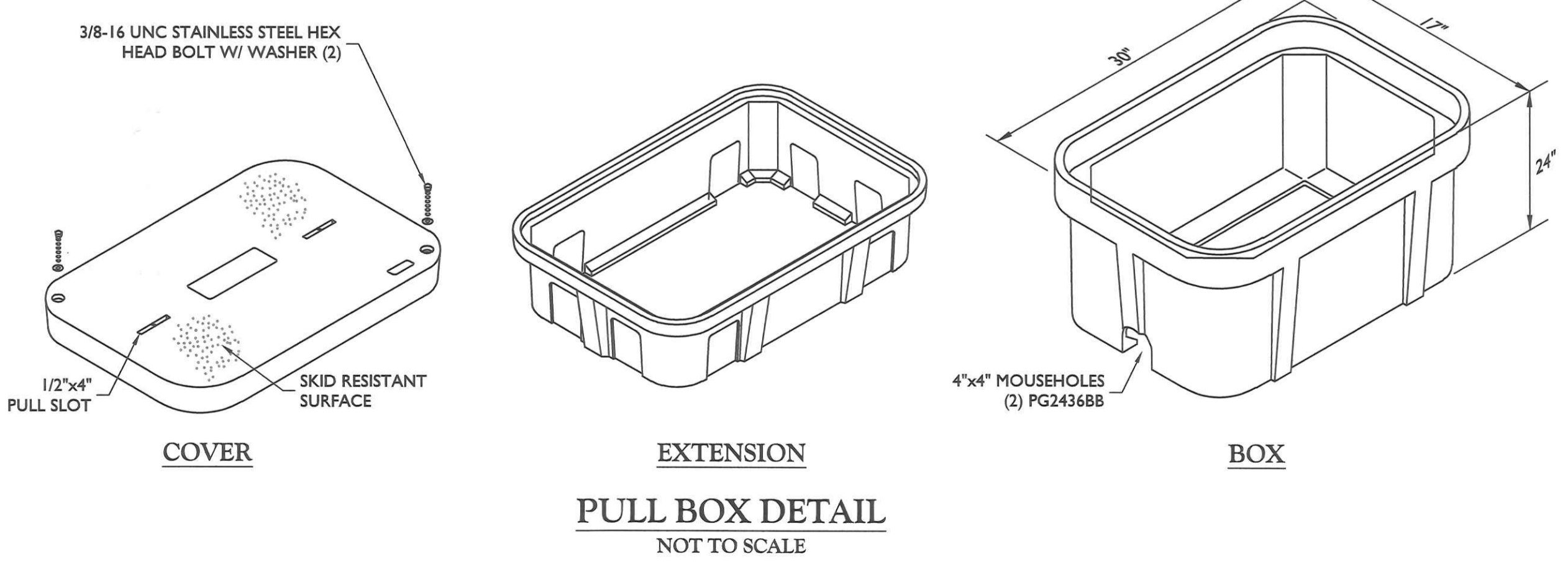
CABLE BRIDGE DETAIL
NOT TO SCALE



BACKBOARD DETAIL
NOT TO SCALE



GPS MOUNTING DETAIL
NOT TO SCALE



COVER

EXTENSION

BOX

PULL BOX DETAIL
NOT TO SCALE

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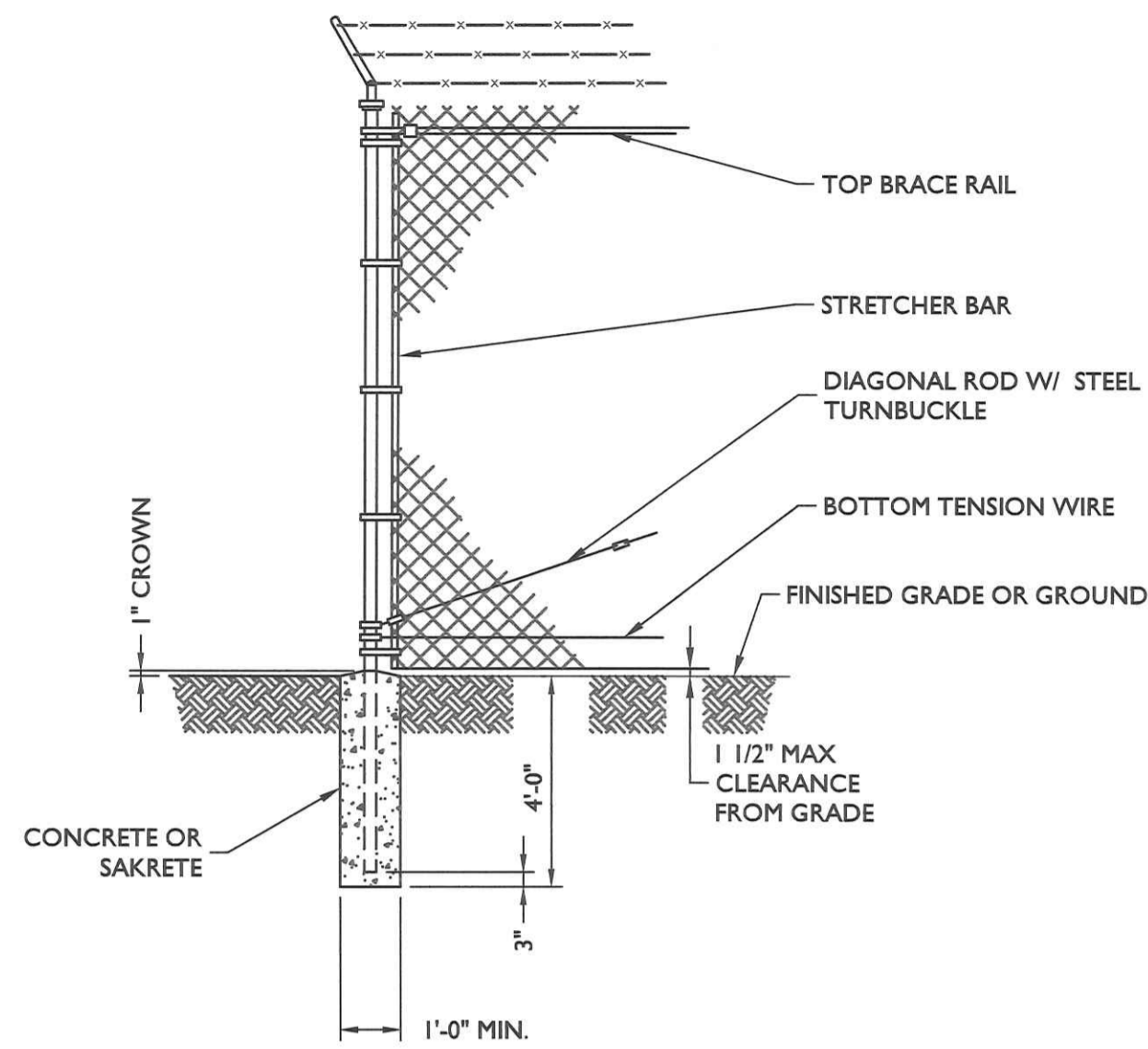
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2000 Midlantic Drive,
Suite 100
Mt. Laurel, NJ 08054
Phone: 856.797.0412
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SHEET TITLE: **CONSTRUCTION DETAILS**

SHEET NUMBER: **A-3**

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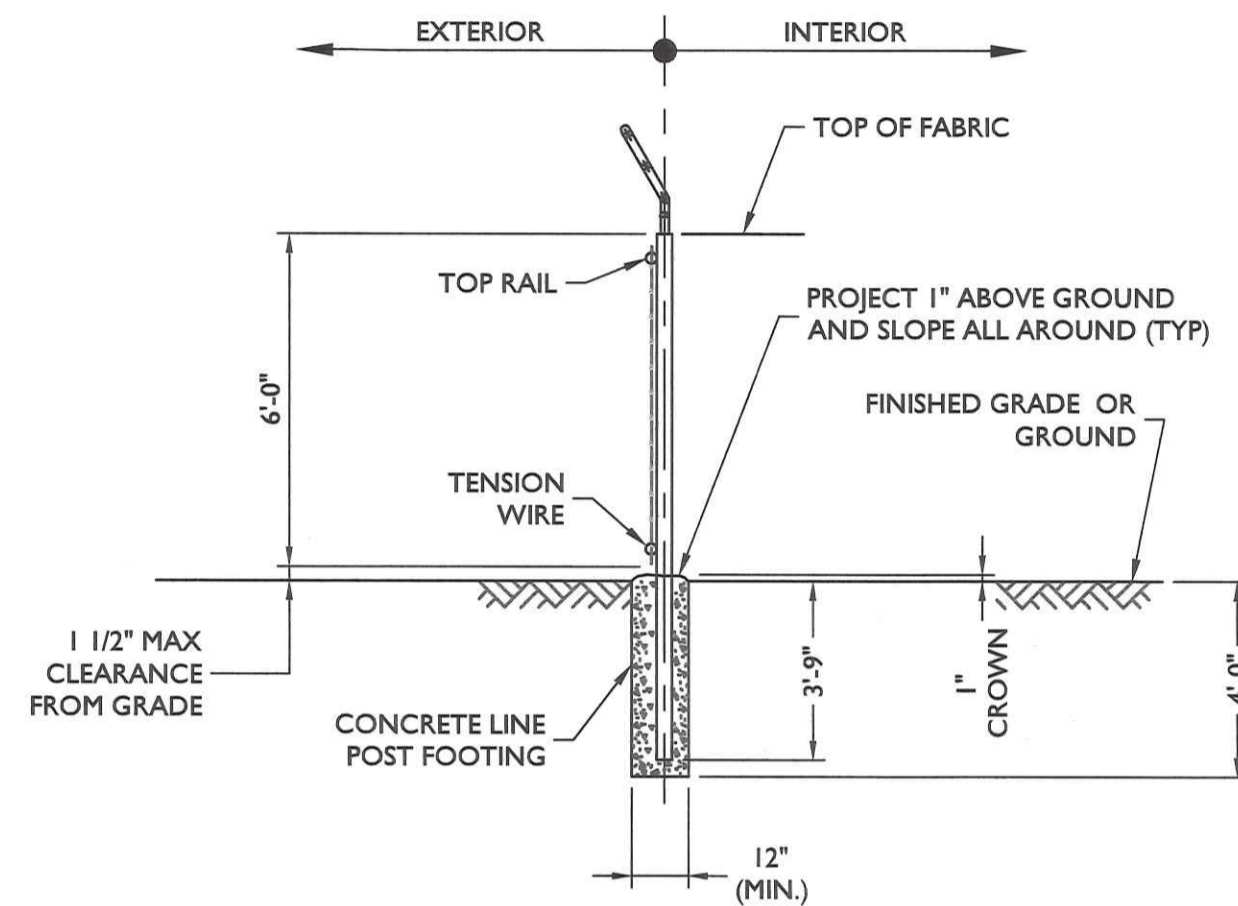
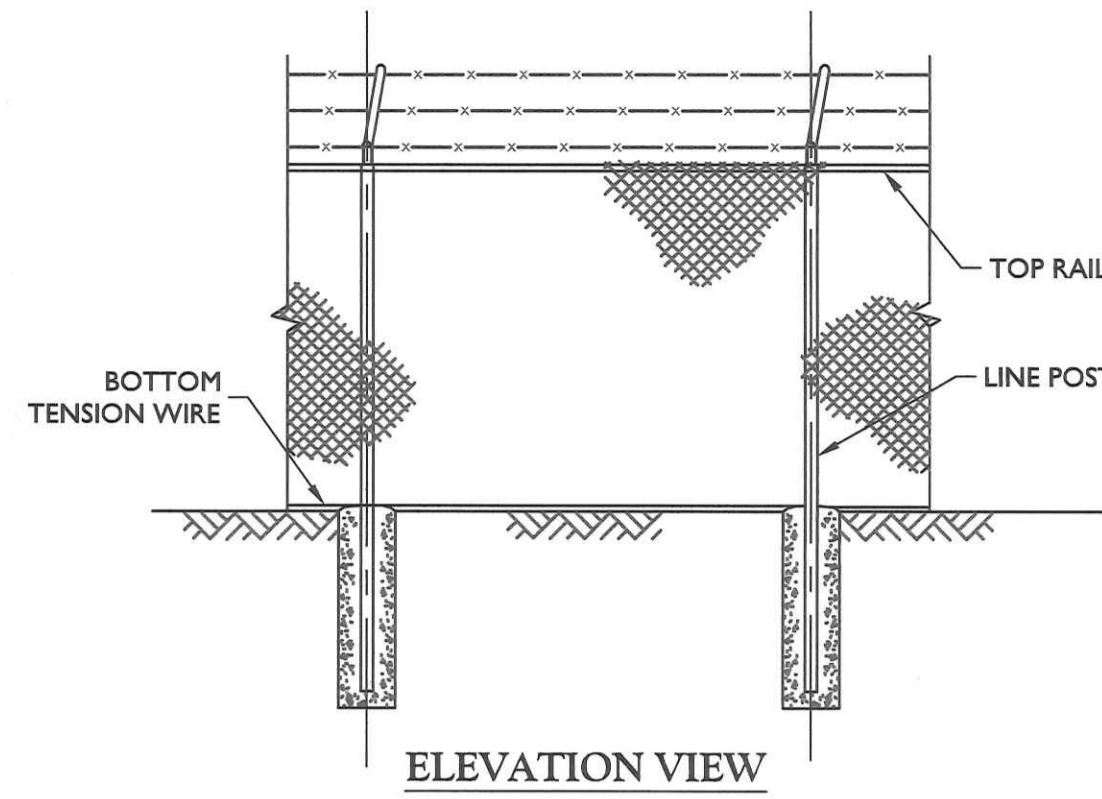
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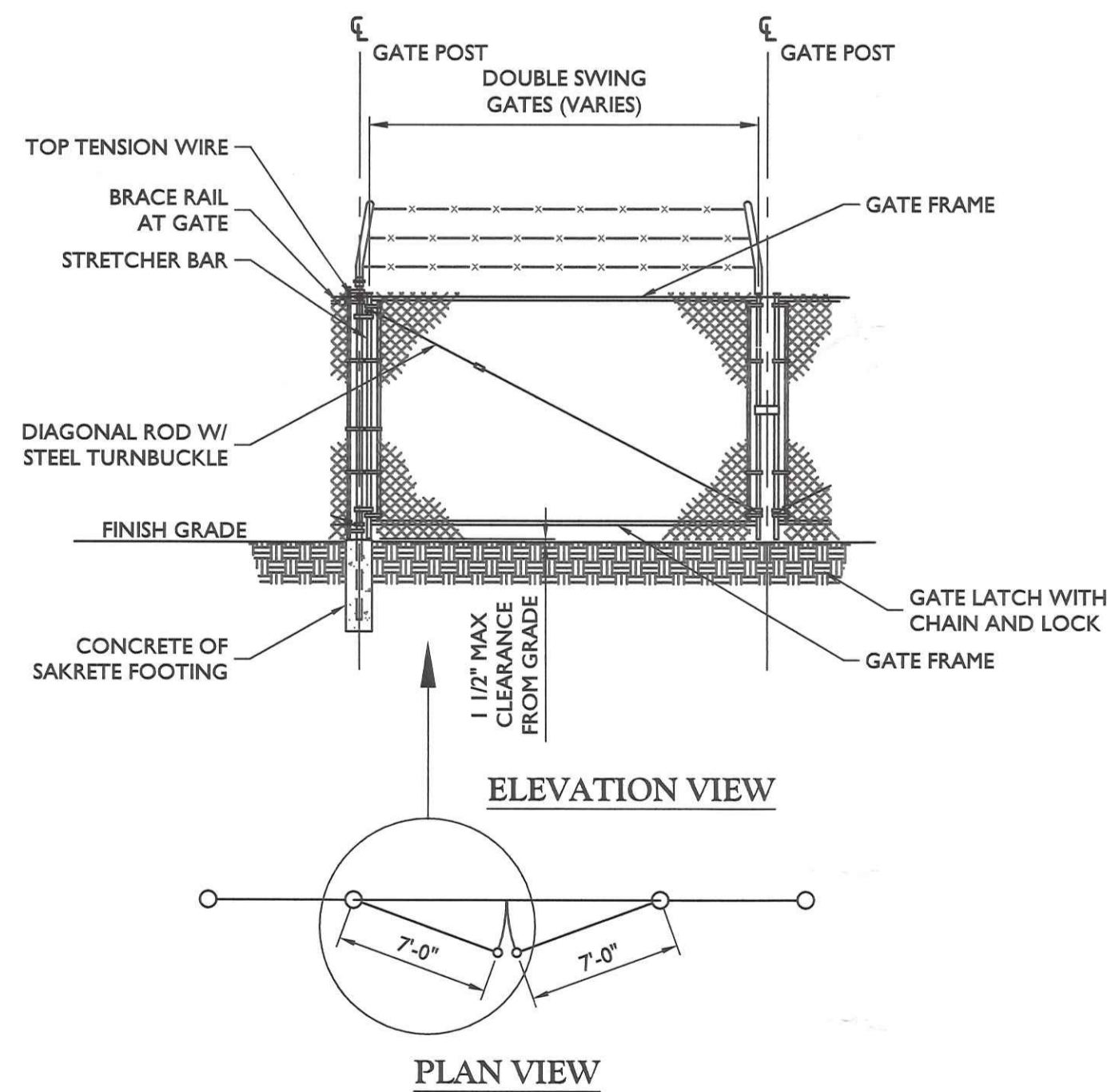
**WOVEN WIRE CORNER,
GATE, END, OR PULL POST**
NOT TO SCALE

FENCE NOTES:

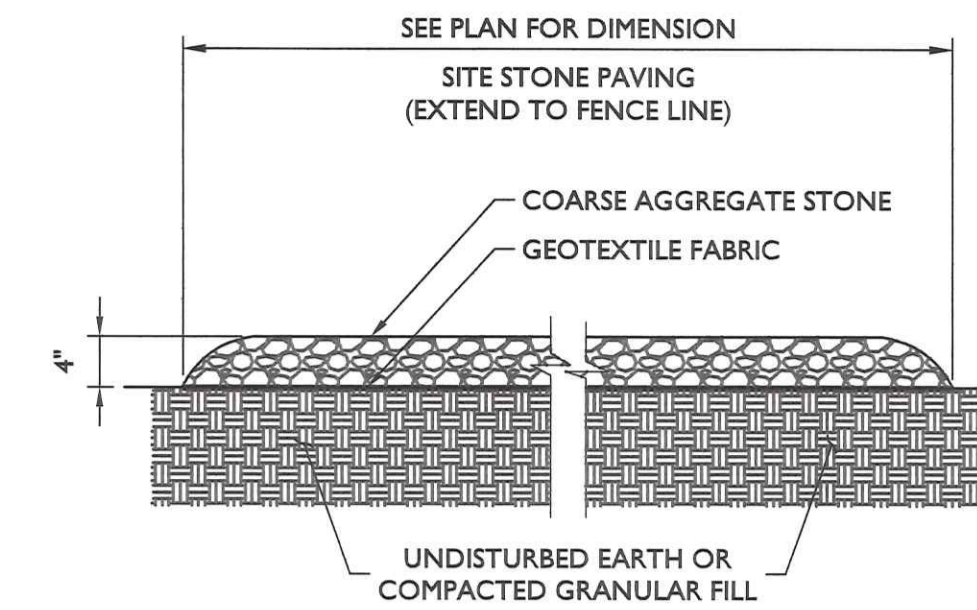
1. GATE POST, CORNER, TERMINAL OR PULL POST SHALL BE 3"Ø SCHEDULE 40 FOR GATE WIDTHS UP THROUGH 7 FEET OR 14 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.
2. LINE POST: 2-3/8"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
3. GATE FRAME: 1 1/2"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
4. TOP RAIL & BRACE RAIL: 1 1/4"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
5. FABRIC: 9 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392 CLASS 1.
6. TIE WIRE: MINIMUM 11 GA GALVANIZED STEEL. INSTALL A SINGLE WRAP TIE WIRE AT POSTS AND RAILS AT MAX. 24" INTERVALS. INSTALL HOG RINGS ON TENSION WIRE AT 24" INTERVALS.
7. TENSION WIRE: 7 GA. GALVANIZED STEEL.
8. BARBED WIRE: 3 STRANDS OF DOUBLE STRANDED 12-1/2 GAUGE TWISTED WIRE, 4 FT. BARBS SPACED ON APPROXIMATELY 5" CENTERS.
9. GATE LATCH: 1-3/8" O.D. PLUNGER ROD W/ MUSHROOM TYPE CATCH AND LOCK.
10. LOCAL ORDINANCE FOR BARBED WIRE PERMIT SHALL GOVERN INSTALLATION.
11. HEIGHT = 6'-0" VERTICAL DIMENSION WITH 1'-0" BARBED WIRE.
12. ALL WORK SHALL CONFORM WITH THE PROJECT SPECIFICATIONS.



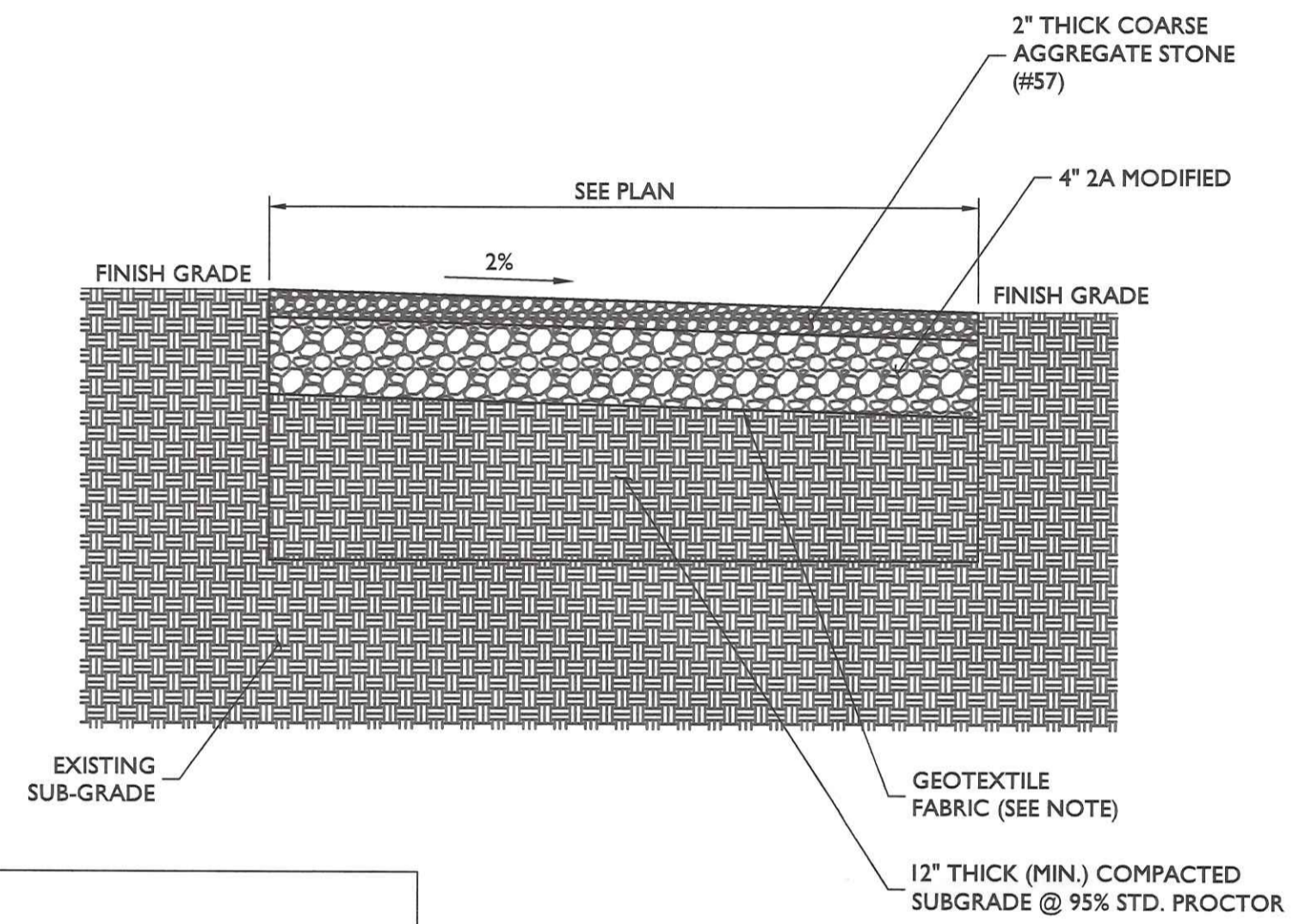
WOVEN WIRE FENCE DETAIL
NOT TO SCALE



WOVEN WIRE SWING GATE, DOUBLE
NOT TO SCALE

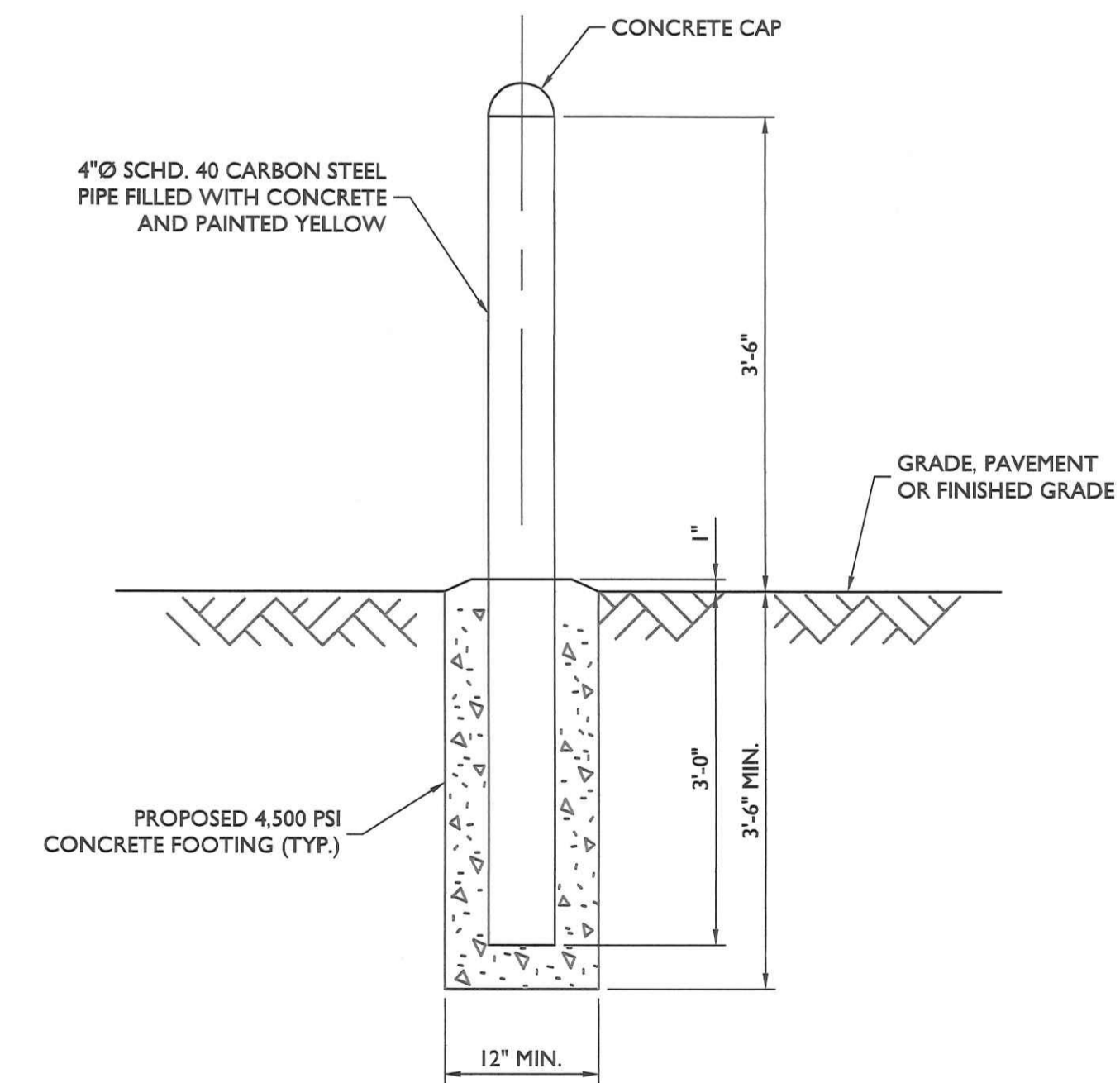


GRAVEL SURFACING
NOT TO SCALE



NOTE:
GEOTEXTILE FABRIC IS TO BE MIRAFI 500X
WOVEN WIRE FABRIC OR APPROVED EQUAL.

GRAVEL DRIVEWAY SURFACING
NOT TO SCALE



BOLLARD DETAIL
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0	10/10/23	ISSUED FOR ZONING	RMD / MEG
A	09/21/23	ISSUED FOR REVIEW	RMD / MEG

Matthew E. Gribart
REGISTERED PROFESSIONAL ENGINEER
LICENSE NO. 21147
COLLIERS ENGINEERING & DESIGN, INC.
D.E. C.O.A. #: 2840

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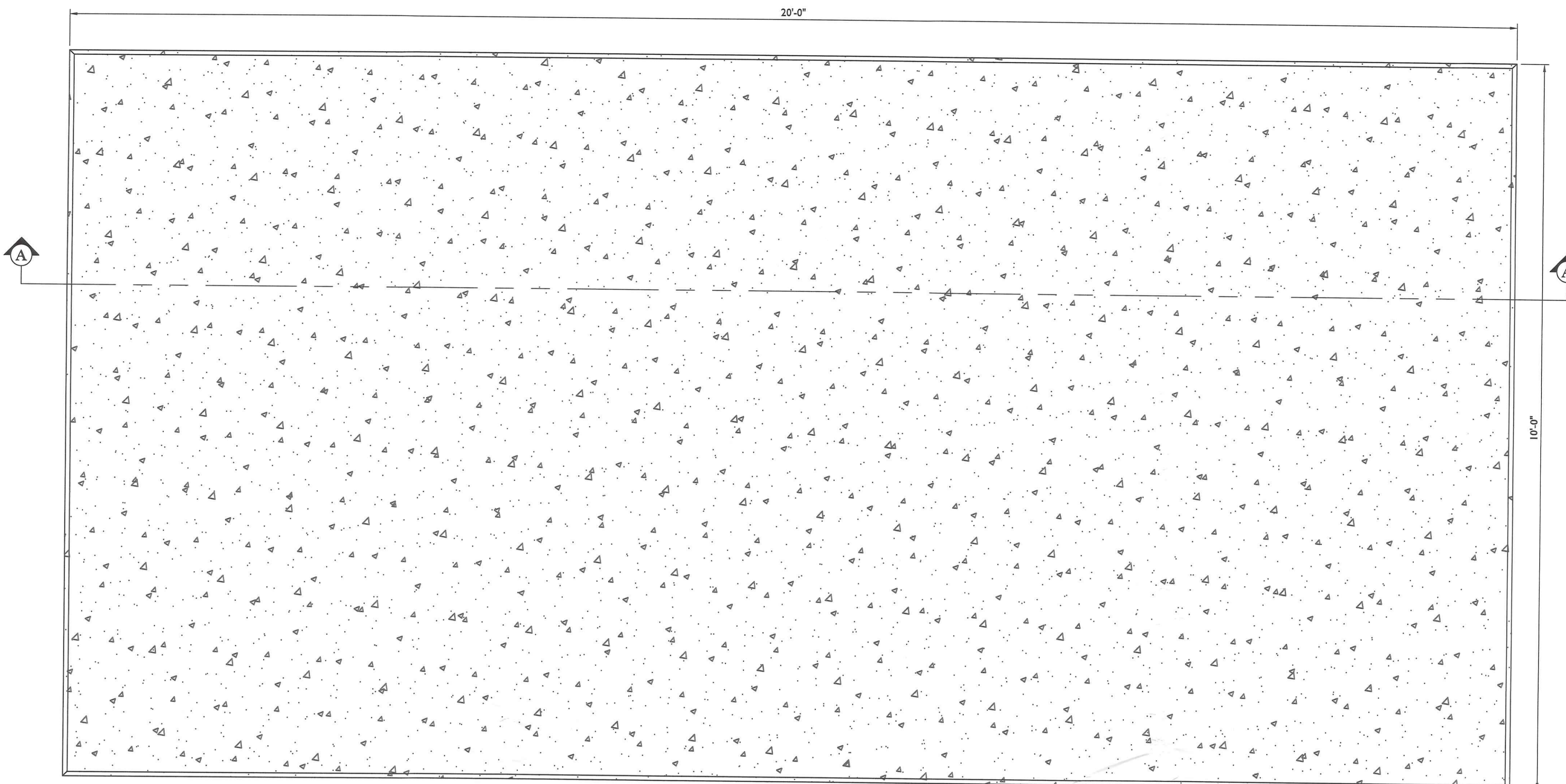
DOV RED BARN
EMORY WALLS ROAD
GEORGETOWN, DE 19947
SUSSEX COUNTY

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Mt. Laurel, NJ 08054
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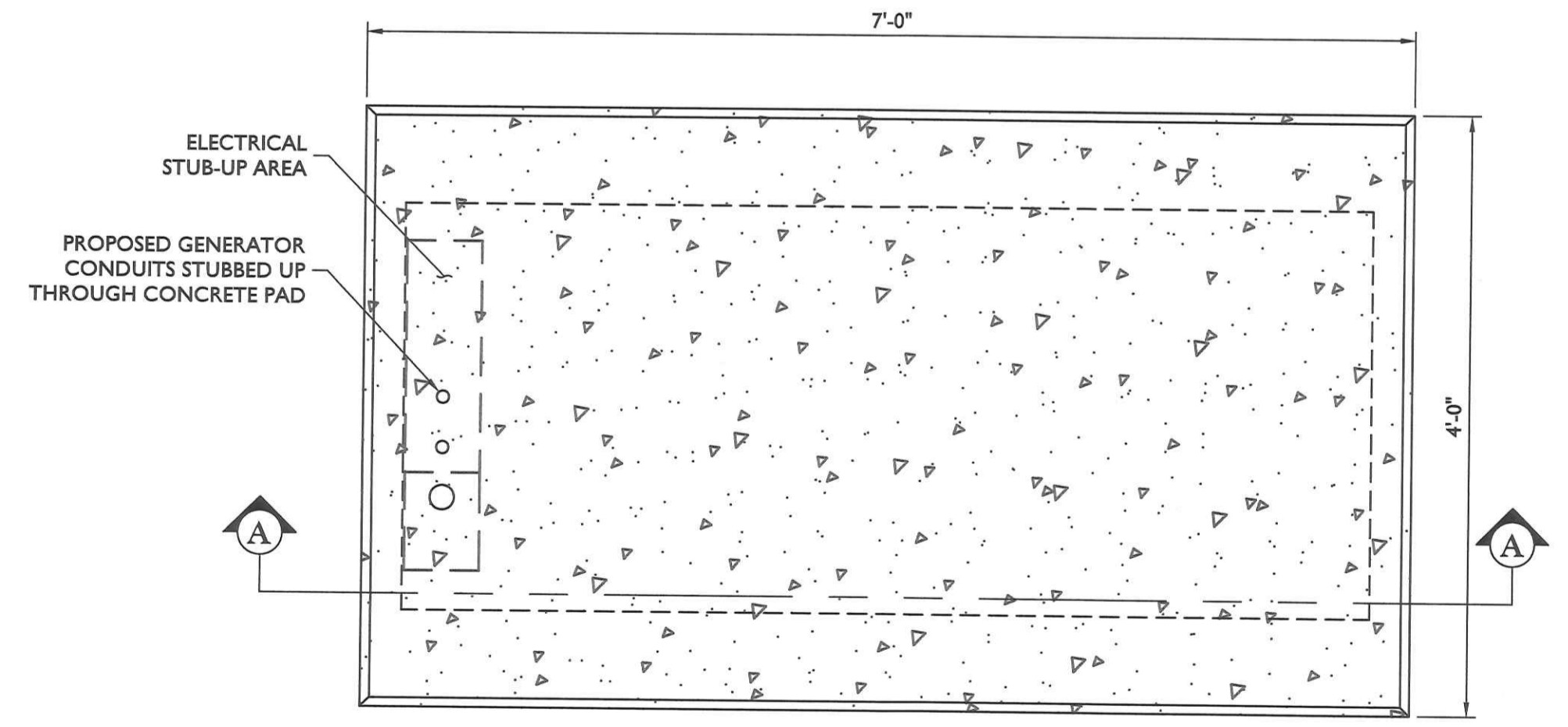
SHEET TITLE:
CONSTRUCTION DETAILS

SHEET NUMBER:
A-4

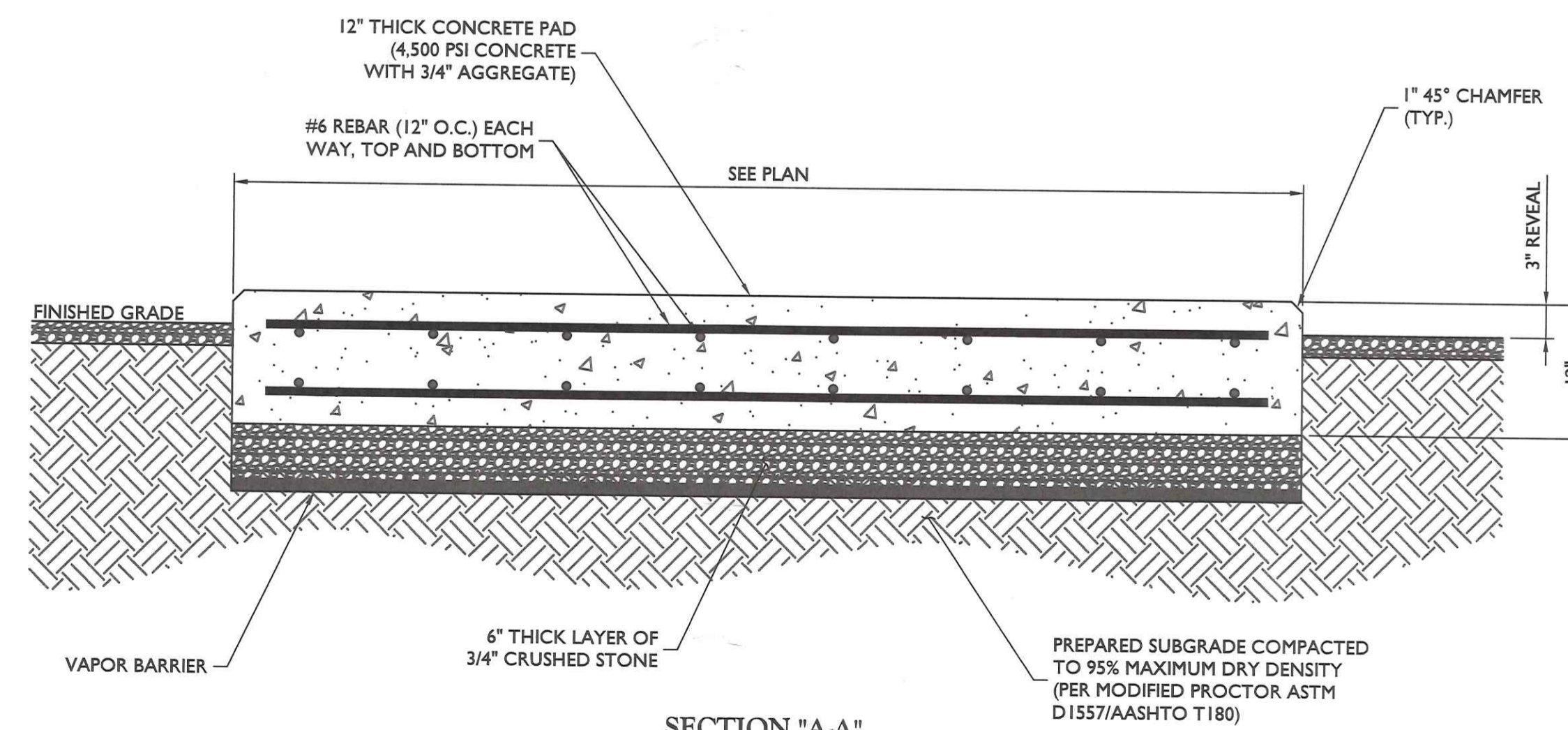
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EQUIPMENT



GENERATOR



CONCRETE EQUIPMENT PAD DETAILS
NOT TO SCALE

CONCRETE NOTES:

DESIGN INFORMATION:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336A, ASTM A184, ASTM A185 AND THE DESIGN & CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. THE DESIGN SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE AS SHOWN ON SHEET T-1.

EARTHWORK:

1. FOUNDATIONS HAVE BEEN DESIGNED TO BEAR ON (UNDISTURBED RESIDUAL SOILS/COMPACTED STRUCTURAL FILL), CAPABLE OF SAFELY SUPPORTING AN ALLOWABLE BEARING PRESSURE OF 1,500 PSF. IF FOUNDATION CONDITIONS PROVE UNACCEPTABLE AT ELEVATIONS SHOWN, EXCAVATION SHALL BE CARRIED DEEPER AND SHALL BE BACKFILLED WITH LEAN CONCRETE TO PLAN FOOTING BOTTOM, OR REDESIGN OF FOUNDATIONS WILL BE REQUIRED AT THE DIRECTION OF THE ENGINEER.
2. DESIGN FURNISH AND INSTALL TEMPORARY SHEETING, SHORING, AND DRAINAGE TO MAINTAIN THE EXCAVATION AND PROTECT SURROUNDING STRUCTURES AND UTILITIES.
3. THOROUGHLY COMPACT ALL BOTTOM OF FOOTINGS PRIOR TO PLACING ANY CONCRETE.

CONCRETE:

1. FORMWORK
 - 1.a. CONCRETE CONSTRUCTION SHALL CONFORM TO "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS." (ACI 301-89).
 - 1.b. FORMWORK SHALL CONFORM TO ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
2. REINFORCEMENT
 - 2.a. REINFORCING STEEL ASTM A615, GRADE 60, WELDED WIRE ASTM A185 (FLAT SHEET), LAPS 40 BAR DIAMETERS UNLESS NOTED. BARS SHALL BE SECURELY HELD IN ACCURATE POSITION BY SUITABLE ACCESSORIES, TIE BARS, SUPPORT BARS, ETC. HOOK LENGTHS SHALL BE 12 BAR DIAMETERS.
 - 2.b. CONCRETE COVER FOR REINFORCING BARS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED.
 - 2.b.1. FOOTINGS AND SLABS CAST AGAINST GROUND: 3"
 - 2.b.2. CONCRETE TO BE IN CONTACT WITH GROUND OR WEATHER AT BARS GREATER THAN 5": 2"
 - 2.b.3. AT BARS #5 OR LESS: 1 1/2"
 - 2.b.4. CONCRETE NOT TO BE EXPOSED TO GROUND OR WEATHER BEAMS, GIRDERS, AND COLUMNS: 1 1/2"
 - 2.b.5. SLABS AND WALLS: 3/4"
 - 2.c. CAST IN PLACE CONCRETE
 - 2.c.1. MINIMUM 28 DAY CYLINDER STRENGTH AND MAXIMUM SLUMP, PRIOR TO ADDITION OF SUPER PLASTICIZERS, AS FOLLOWS:
 - 2.c.1.1. CLASS I FOOTINGS: 4500 PSI 3"
 - 2.c.1.2. CLASS III INTERIOR ELEVATED SLABS AND WALLS: 4000 PSI 4"
 - 2.c.1.3. CLASS V OTHER WORK: 4000 PSI 4"
 - 2.c.1.4. CLASS VI LEAN CONCRETE FOR OVEREXCAVATION OF FOUNDATIONS: 2000 PSI N/A
 - 2.c.2. MIX DESIGN TO BE IN ACCORDANCE WITH ACI 318, CHAPTER 5. NO CALCIUM CHLORIDE ADMIXTURE CONTAINING CHLORIDES SHALL BE USED IN ANY CONCRETE
 - 2.c.3. COARSE AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL CONFORM TO ASTM C33 SIZE #57. COARSE AGGREGATE FOR LIGHTWEIGHT CONCRETE SHALL CONFORM TO ASTM C330 GRADED 3/4" TO 1 1/4".
 - 2.c.4. COLD WEATHER PLACEMENT SHALL COMPLY WITH ACI 306.1
 - 2.c.5. HOT WEATHER PLACEMENT SHALL COMPLY WITH ACI 305 R.
 - 2.c.6. CHAMFER ALL EXPOSED EDGES 3/4"
 - 2.c.7. THE MAXIMUM TEMPERATURE OF ALL CONCRETE AT DELIVERY TO THE SITE SHALL BE 85°F
 - 2.c.8. TOTAL DELIVERY TIME SHALL BE LESS THAN 75 MINUTES.

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REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
0	10/10/23	ISSUED FOR ZONING	RMD	MEG
A	09/21/23	ISSUED FOR REVIEW	RMD	MEG

Matthew E. Gasbarr
DELAWARE PROFESSIONAL ENGINEER
COLLIERS ENGINEERING & DESIGN, INC.
D.E. C.O.A. # 2840

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SHEET TITLE: CONSTRUCTION DETAILS

SHEET NUMBER: A-5

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\\nas01\p050000\Red Barn\23\Rev 2\mpe.dwg By: MEGANBART

Amy Hollis

From: Ann Lepore
Sent: Tuesday, December 5, 2023 12:27 PM
To: Amy Hollis; Jennifer Norwood
Subject: FW: BOA Application Case No. 12888 - Walls Sussex Properties

From: Tracey, John <jtracey@ycst.com>
Sent: Tuesday, December 5, 2023 12:07 PM
To: Jamie Whitehouse <jamie.whitehouse@sussexcountyde.gov>; Ann Lepore <ann.lepore@sussexcountyde.gov>
Subject: BOA Application Case No. 12888 - Walls Sussex Properties

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Jamie

I need to continue this matter off of the agenda for 12/11 as we may need to relocate the location of the tower (by more than just a few feet). I hope to have direction from internal RF at Verizon in the not too distant future.

Let me know if you need anything further from me on this

John



John E. Tracey, Partner
Young Conaway Stargatt & Taylor, LLP
Rodney Square, 1000 North King Street
Wilmington, DE 19801
P: 302.571.6740
jtracey@ycst.com | www.youngconaway.com | [vCard](#)

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Fax: 610.584.5387
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December 12, 2023
James Rodgers
Site Acquisition Consultant
NB&C
1777 Sentry Parkway
Blue Bell, PA 19422

Subject: Electromagnetic Exposure Analysis
“DOV – RED BARN”
EMORY WALLS ROAD
GEORGETOWN, DE 19947
Latitude: N 38° 42’ 03.72” (approx.)
Longitude: W 75° 27’ 11.74” (approx.)
37’ AMSL (approx.)

Mr. Rodgers:

I have received and executed your request that I perform an independent evaluation and certification of the cumulative anticipated radio-frequency exposure levels for the Verizon Wireless telecommunications facility proposed at the above referenced coordinates. The intention of this study is to verify compliance with Federal Communications Commission (hereafter “FCC”) guidelines for human exposure limits to radio-frequency electromagnetic fields as per FCC Code of Federal Regulation 47 CFR 1.1307 and 1.1310. As a registered Professional Engineer, I am bound by a code of ethics to hold paramount the safety, health, and welfare of the public. All statements and calculations offered herein are made in an objective and truthful manner pursuant to that code.

Summary of Findings

The maximum exposure to radio-frequency emissions from the proposed Verizon Wireless equipment will be far below FCC exposure limits. **Using upper limit assumptions for the Verizon Wireless equipment configuration, the cumulative radio-frequency exposure levels would be less than 3.7 % of the applicable FCC standard at all ground level locations of public access.** The following charts specifically illustrate the anticipated exposure levels in areas surrounding the facility. All exposure levels have been calculated using the methods prescribed in FCC Office of Engineering and Technology (OET) Bulletin 65 “Evaluating Compliance with FCC Guidelines for Human Exposure to Radio-frequency Electromagnetic Fields”. These upper-limit conditions include maximum traffic loading, significant antenna down-tilt, maximum pattern gain, and constructive interference from ground reflection. Additionally, signal attenuation due to environmental clutter such as buildings, trees, and roadways has been ignored which will overestimate actual power densities.

Applicability of the National Telecommunications Act of 1996

This Act states that “no state or local government or instrumentality thereof may regulate the placement, construction, and modification of personal wireless service facilities on the basis of the environmental effects of radio-frequency emissions to the extent that such facilities comply with the (Federal Communications) Commission’s regulations concerning such emissions”. As indicated above, this proposed facility will be in full compliance with the FCC’s emissions standards and as such is beyond regulation in that regard.

Technical Parameters of Consideration

The above calculations were based on the equipment configuration information furnished by representatives of Verizon Wireless. Specifically, for this installation, Verizon Wireless plans to install up to twelve (12) new panel-style antennas at an antenna centerline height of 150’ above grade. The antennas will be organized in three (3) arrays of up to four (4) antennas per array with sector azimuths evenly spaced in the horizontal plane with respect to true north. Transmitting through these antennas will be four (4) LTE transmit paths in the 700 MHz band (per sector) at a cumulative maximum of 160 watts, up to four (4) LTE transmit paths in the 1900 MHz band (per sector) at a cumulative maximum of 160 watts, up to four (4) LTE and / or 5G NR transmit paths in the 850 MHz band (per sector) at a cumulative maximum of 160 watts, up to eight (8) LTE transmit paths in the 2100 MHz band (per sector) at a cumulative maximum of 160 watts, up to four (4) LTE transmit paths in the 3500 MHz band (per sector) at a cumulative maximum of 20 watts, and up to sixty-four (64) 5G NR transmit paths in the 3700 MHz band (per sector) at a cumulative maximum of 53 dBm radio power.

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Co-location of Other Wireless Providers

In an attempt to halt the proliferation of telecommunications structures and preserve as much of their natural landscape as possible many municipalities have adopted telecommunications ordinances that specifically require new structures to accommodate additional wireless providers from a structural standpoint. **From the standpoint of radio-frequency exposure**, the installation of the proposed Verizon Wireless equipment would in no way preclude the use of this facility by other providers.

Background Information

In 1985, the FCC first adopted guidelines to be used for evaluating human exposure to RF emissions. The FCC revised and updated these guidelines on August 1, 1996, as a result of a rule-making proceeding initiated in 1993. The new guidelines incorporate limits for Maximum Permissible Exposure (MPE) in terms of electric and magnetic field strength and power density for transmitters operating at frequencies between 300 kHz and 100 GHz.

The FCC's MPE limits are based on exposure limits recommended by the National Council on Radiation Protection and Measurements (NCRP) and, over a wide range of frequencies, the exposure limits were developed by the Institute of Electrical and Electronics Engineers, Inc., (IEEE) and adopted by the American National Standards Institute (ANSI) to replace the 1982 ANSI guidelines. Limits for localized absorption are based on recommendations of both ANSI/IEEE and NCRP.

The FCC's limits, and the NCRP and ANSI/IEEE limits on which they are based, are derived from exposure criteria quantified in terms of specific absorption rate (SAR). The basis for these limits is a whole-body averaged SAR threshold level of 4 watts per kilogram (4 W/kg), as averaged over the entire mass of the body, above which expert organizations have determined that potentially hazardous exposures may occur. The MPE limits are derived by incorporating safety factors that lead, in some cases, to limits that are more conservative than the limits originally adopted by the FCC in 1985. Where more conservative limits exist, they do not arise from a fundamental change in the RF safety criteria for whole-body averaged SAR, but from a precautionary desire to protect subgroups of the general population who, potentially, may be more at risk.

The FCC exposure limits are also based on data showing that the human body absorbs RF energy at some frequencies more efficiently than at others. The most restrictive limits occur in the frequency range of 30-300 MHz where whole-body absorption of RF energy by human beings is most efficient. At other frequencies, whole-body absorption is less efficient, and consequently, the MPE limits are less restrictive.

MPE limits are defined in terms of power density (units of milliwatts per centimeter squared: mW/cm^2), electric field strength (units of volts per meter: V/m) and magnetic field strength (units of amperes per meter: A/m). The far-field of a transmitting antenna

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is where the electric field vector (E), the magnetic field vector (H), and the direction of propagation can be considered to be all mutually orthogonal ("plane-wave" conditions).

Occupational / controlled exposure limits apply to situations in which persons are exposed as a consequence of their employment and in which those persons who are exposed have been made fully aware of the potential for exposure and can exercise control over their exposure. Occupational/controlled exposure limits also apply where exposure is of a transient nature as a result of incidental passage through a location where exposure levels may be above general population/uncontrolled limits, as long as the exposed person has been made fully aware of the potential for exposure and can exercise control over his or her exposure by leaving the area or by some other appropriate means.

General population / uncontrolled exposure limits apply to situations in which the general public may be exposed or in which persons who are exposed as a consequence of their employment may not be made fully aware of the potential for exposure or cannot exercise control over their exposure. Therefore, members of the general public would always be considered under this category when exposure is not employment-related, for example, in the case of a telecommunications tower that exposes persons in a nearby residential area. **In the case of this study, the general population exposure limits have been applied as they are the more conservative set of standards.**

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Additional Remarks

The radio-frequency emission levels from Verizon Wireless and other communications base stations are similar to that of other two-way communications systems like those used by police, fire and ambulance personnel. In contrast, commercial broadcast systems like television and radio often transmit at power levels ten times greater or more than the systems discussed above. The FCC exposure limits already include a significant margin of safety. Continuous exposure up to 100% of FCC limit is considered by the scientific community to be just as safe as continuous exposure at 1% of FCC limit.

The biological effects on humans of non-ionizing radio-frequency exposure have been studied extensively now for decades. There have been thousands of reports produced by government agencies, universities, and private research groups that support the standards adopted by the FCC. **To date, there have been no credible studies conducted whose results showed evidence of any adverse health effects at the applicable FCC exposure limits.**

Sincerely,



Andrew M. Petersohn, P.E.
Registered Professional Engineer
Delaware license number 14438



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Fax: 610.584.5387
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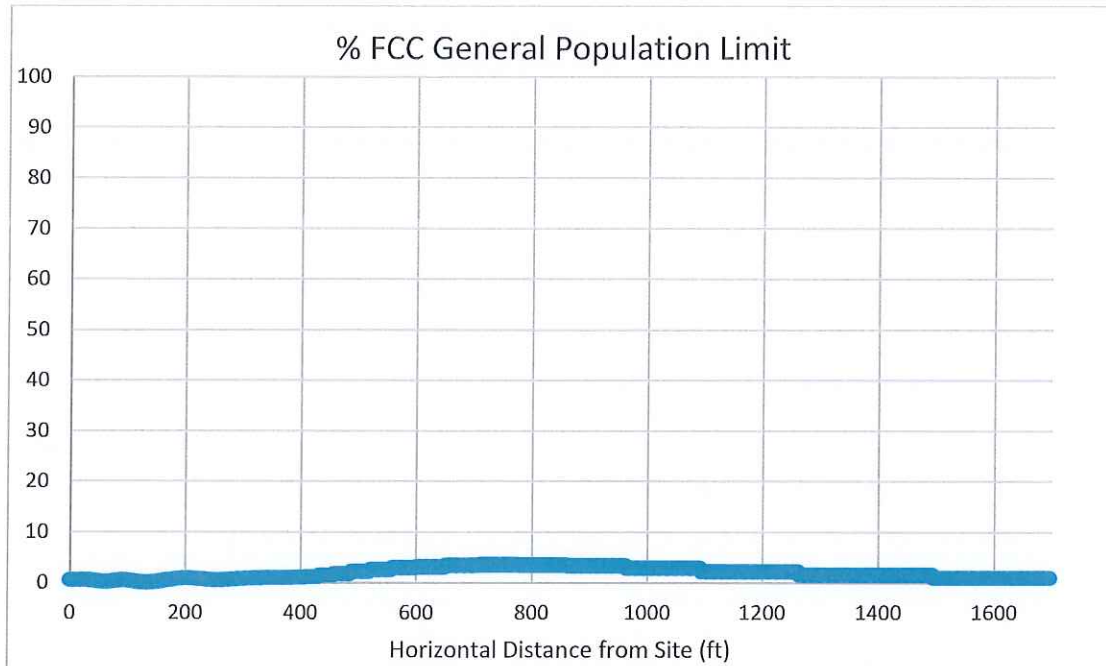


Figure-1 – calculated cumulative exposure level surrounding the proposed telecommunications facility expressed in percentage of the applicable FCC standard

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Horizontal Distance from Facility (Ft.)	Relative Height Above Ground (Ft.)	Maximum Power Density $\mu\text{W}/\text{cm}^2$ (micro-watts per square centimeter)							% of FCC Limit							Cumulative % of FCC limit across all bands
		700 MHz	850 MHz	1900 MHz	2100 MHz	3500 MHz	3700 MHz	28 GHz	700 MHz	850 MHz	1900 MHz	2100 MHz	3500 MHz	3700 MHz	28 GHz	
0	6	0.14	0	0.04	0	0.12	5.78	NA	0.03	0	0.004	0	0.012	0.578	NA	0.624
300	6	0.28	0.96	0.01	0.12	0.12	5.87	NA	0.06	0.17	0.001	0.012	0.012	0.587	NA	0.842
600	6	3.6	4.25	0.31	0.11	0.33	16.38	NA	0.77	0.75	0.031	0.011	0.033	1.638	NA	3.233
1320 (1/4 mi.)	6	0.33	0.45	1.1	1.18	0.26	12.78	NA	0.07	0.08	0.11	0.118	0.026	1.278	NA	1.682
FCC Exposure Limits for General Population ($\mu\text{W}/\text{cm}^2$)		467	567	1000	1000	1000	1000	1000								

Figure-2 – sample calculated exposure levels near the proposed telecommunications facility

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DECLARATION OF ENGINEER

Andrew M. Petersohn, P.E., hereby states that he is a graduate telecommunications consulting engineer possessing Master and Bachelor Degrees in Electrical Engineering from Lehigh University (2005 and 1999, respectively). His corporation, dBm Engineering, P.C., has been retained by representatives of Verizon Wireless to perform an electromagnetic emissions analysis for a proposed telecommunications facility.

Mr. Petersohn also asserts that the calculations and/or measurements described in this report were made personally and in a truthful and objective manner. Mr. Petersohn is a Registered Professional Engineer licensed in Pennsylvania, Delaware, Maryland, Virginia, New York, Florida and New Jersey. He has over two decades of engineering experience in the field of wireless communications. Mr. Petersohn is an active member of the National Society of Professional Engineers (NSPE) and the Pennsylvania Society of Professional Engineers (PSPE). Mr. Petersohn further states that all facts and statements contained in the foregoing document are true and accurate to the best of his knowledge. He believes, under penalty of perjury, the foregoing to be correct.



Andrew M. Petersohn, P.E.
Registered Professional Engineer
Delaware license number 14438



Executed this the 12th day of December, 2023.

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December 13, 2023
 James Rodgers
 Site Acquisition Consultant
 NB&C
 1777 Sentry Parkway
 Blue Bell, PA 19422

Subject: Radio Frequency Design Analysis
"DOV – RED BARN"
EMORY WALLS ROAD
GEORGETOWN, DE 19947
Latitude: N 38° 42' 03.72" (approx.)
Longitude: W 75° 27' 11.74" (approx.)
37' AMSL (approx.)

Mr. Rodgers:

I have received and executed the request that I perform an independent evaluation and design review for the Verizon Wireless telecommunications facility proposed at the above referenced address. The intention of this study is to provide an objective, professional opinion regarding the proposed facilities from a Radio Frequency design perspective. Specifically, how the site complements the existing network and what service objectives it fulfills. As a registered Professional Engineer, I am bound by a code of ethics to hold paramount the safety, health, and welfare of the public. All statements and calculations offered herein are made in an objective and truthful manner pursuant to that code.

Summary of Findings

In my professional opinion, the proposed facility is extremely well suited to provide enhanced wireless service in the central portions of Sussex County, west of Georgetown, that currently suffer from unreliable Verizon Wireless coverage. Currently, the nearby Verizon Wireless facilities are not providing adequate coverage into the targeted geography resulting in service issues. The proposed facility is the only feasible alternative that will satisfy the design objective for affected areas. The design, location, and proposed antenna height is the least intrusive means of providing adequate service for Verizon Wireless subscribers in the targeted geography. The proposed antenna height is the absolute minimum acceptable to achieve a high percentage of the site's design goals.

Sincerely,

A handwritten signature in black ink, appearing to read "Andrew M. Petersohn".

Andrew M. Petersohn, P.E.
 Registered Professional Engineer
 Delaware license number 14438

Existing Verizon Wireless Service

Currently, Verizon has five (5) existing sites in the area immediately surrounding the proposed facility. These sites would be the first-tier neighbors for the proposed facility. The details and locations of these sites can be seen below:

Name	Structure Type	Antenna Centerline (ft)	Street Address
COKESBURY	Lattice Tower	128	14908 Cokesbury Road
GEORGETOWN	Lattice Tower	147	512 North Dupont Hwy
BRIDGEVILLE HD	Guyed Tower	250	18475 OAK RD
DOV DEER FOREST	Monopole	134	16847 N. Dupont Boulevard
DOV GEORGETOWN CIRCLE	Monopole	100	335 North Race Street

Existing Verizon Wireless Coverage

The in-building (green) and in-vehicle (yellow) coverage footprints from the above existing facilities are illustrated below in figure 1. There is a significant gap in reliable coverage in the areas along and surrounding Seashore Highway (Rt. 18) that the facility is designed to address.



Figure 1 – Existing Coverage

PO Box 165
 Fairview Village, PA 19409
 Phone: 610.304.2024
 Fax: 610.584.5387
info@dBmEng.com



Proposed Verizon Wireless Coverage Improvement

Figure 2 below illustrates the Verizon Wireless anticipated reliable coverage. The proposed facility will remedy the existing coverage issues along and around Rt. 18 and will enable reliable service to the many agricultural uses in the surrounding areas including providing contiguous coverage to the north of Rt 18 to the neighboring “Deep Forest” facility. Any decrease in the height of the proposed facility will significantly diminish the effectiveness of the proposed site.

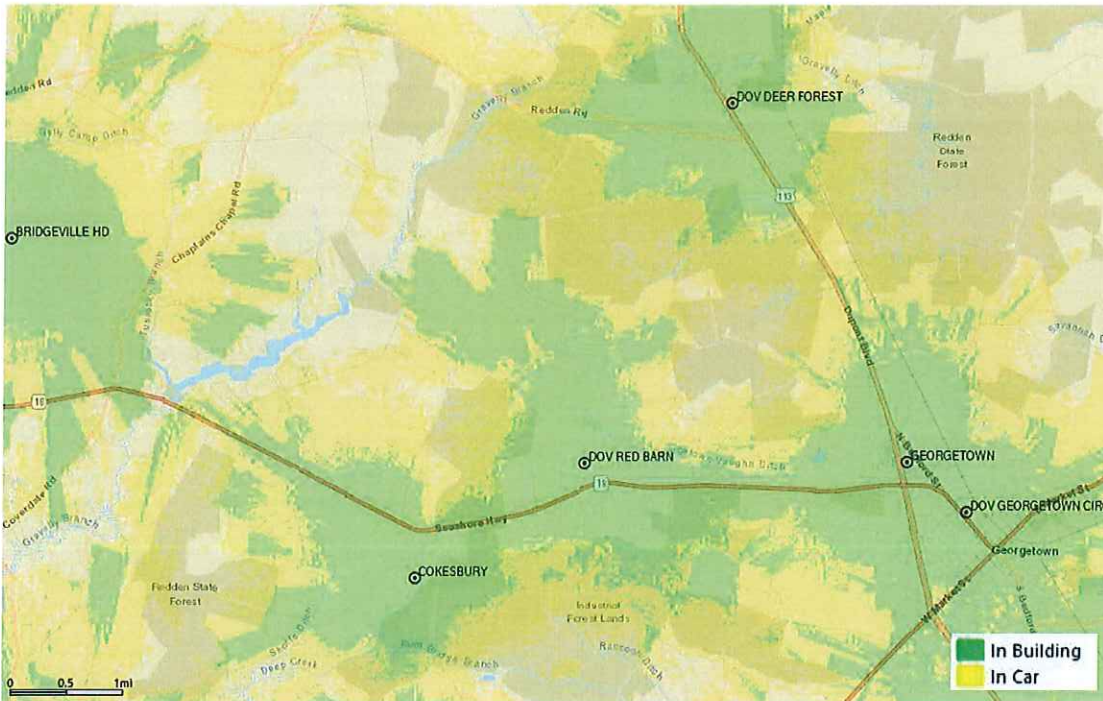


Figure 2 – Proposed Coverage

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dBm
ENGINEERING, P.C.

Alternate Candidate Discussion

It is Verizon Wireless policy and overwhelming preference to utilize existing, tall structures as antenna support platforms when their location, available attachment height, and structural capacity are congruent with Verizon's network requirements. This is because the co-location process is almost always less expensive, faster to market, and less involved from a permitting perspective than the construction of a new tower structure. In this case, the only known antenna support structure within two (2) miles of the proposed facility is the "Cokesbury" lattice tower roughly 1.6 miles west (that Verizon is currently co-located on).

Reliable Service

The term "reliable" is used to describe areas where a Verizon Wireless subscriber has the ability to place, receive, and maintain a phone call. Additionally, the concept of reliable service extends beyond just voice communication; access to the data network with a high probability of success and adequate throughput is now a pre-requisite to reliable service. Reliable service provided from a facility is affected by many factors including surrounding topography, clutter types, foliage, and subscriber loading during the site's hour of heaviest use, its "busy hour". Because the network must maintain reliability under all conditions, these factors are taken into consideration when designing a new facility.

Wireless Substitution

According to the CDC¹ 72.6% of adults and 81.9% of children lived in wireless-only households during the second half of 2022. The increase in the prevalence of adults living in wireless-only households is a continuation of the increasing trend that has been seen over time. Demographic subgroups with the highest percentages of wireless-only adults include adults aged 25–29 (87.6%) and 30-34 (88.4%), and adults renting their homes (85.3%) As wireless substitution continues to spread, availability of in-building wireless service, both data and voice, becomes increasingly important.

Emergency Services Implications

Wireless devices are widely used by municipal emergency services for voice and data services including those that impact public safety. Additionally enhanced 911 (E911) services, which allow a mobile caller to be located by the dispatch center, are dependent on an adequate service level to provide help in an emergency. It is estimated that approximately 70% of 911 calls originate from mobile devices². In the service challenged areas, an unreliable level of wireless service could, in many cases, negatively affect the ability of an individual in need of emergency services who is dialing 911.

¹ <https://www.cdc.gov/nchs/data/nhis/earlyrelease/wireless202305.pdf>

² <https://transition.fcc.gov/cgb/consumerfacts/wireless911srv.pdf>

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Technical Parameters of Consideration

The above calculations were based on the equipment configuration information furnished by representatives of Verizon Wireless. Specifically, for this installation, Verizon Wireless plans to install up to up to twelve (12) new panel-style antennas at an antenna centerline height of 150' above grade. The antennas will be organized in three (3) arrays of four (4) antennas per array with sector azimuths evenly spaced in the horizontal plane with respect to true north. Transmitting through these antennas will be four (4) LTE transmit paths in the 700 MHz band (per sector) at a cumulative maximum of 160 watts, up to four (4) LTE transmit paths in the 1900 MHz band (per sector) at a cumulative maximum of 160 watts, up to four (4) LTE and / or 5G NR transmit paths in the 850 MHz band (per sector) at a cumulative maximum of 160 watts, up to eight (8) LTE transmit paths in the 2100 MHz band (per sector) at a cumulative maximum of 160 watts, up to four (4) LTE transmit paths in the 3500 MHz band (per sector) at a cumulative maximum of 20 watts, and up to sixty-four (64) 5G NR transmit paths in the 3700 MHz band (per sector) at a cumulative maximum of 53 dBm radio power.

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DECLARATION OF ENGINEER

Andrew M. Petersohn, P.E., hereby states that he is a graduate telecommunications consulting engineer possessing Master and Bachelor Degrees in Electrical Engineering from Lehigh University (2005 and 1999, respectively). His corporation, dBm Engineering, P.C., has been retained by representatives of Verizon Wireless to perform a radio frequency design analysis for a proposed telecommunications facility.

Mr. Petersohn also asserts that the calculations and/or measurements described in this report were made personally and in a truthful and objective manner. Mr. Petersohn is a Registered Professional Engineer licensed in Pennsylvania, Delaware, Maryland, Virginia, New York, Florida and New Jersey. He has over two decades of engineering experience in the field of wireless communications. Mr. Petersohn is an active member of the National Society of Professional Engineers (NSPE) and the Pennsylvania Society of Professional Engineers (PSPE). Mr. Petersohn further states that all facts and statements contained in the foregoing document are true and accurate to the best of his knowledge.



Andrew M. Petersohn, P.E.
Registered Professional Engineer
Delaware license number 14438

Executed this the 13th day of December, 2023.



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December 12, 2023
 James Rodgers
 Site Acquisition Consultant
 NB&C
 1777 Sentry Parkway
 Blue Bell, PA 19422

Subject: Interference Analysis
Proposed Telecommunications Facility:
“DOV – RED BARN”
EMORY WALLS ROAD
GEORGETOWN, DE 19947
Latitude: N 38° 42’ 03.72” (approx.)
Longitude: W 75° 27’ 11.74” (approx.)
37’ AMSL (approx.)

Mr. Rodgers:

I have received and executed the request that I perform an independent evaluation of the potential for harmful interference generated by the proposed Verizon Wireless telecommunications facility at the location referenced above. The intention of this study is to determine if the manifestation of harmful interference is a viable concern through the close examination of the radio frequency (hereafter RF) parameters of the installation. As a registered professional engineer, I am bound by a code of ethics to hold paramount the safety, health, and welfare of the public. All statements and calculations offered herein are made in an objective and truthful manner pursuant to that code.

Summary of Findings

After close examination of the details of this proposal, it is my professional opinion that **no potential exists for the manifestation of harmful interference** as a result of the proposed Verizon Wireless telecommunications facility. My findings indicate that Verizon Wireless will be operating in full compliance with all applicable standards as outlined in their Federal Communications Commission licensure.

Sincerely,

Andrew M. Petersohn, P.E.
 Registered Professional Engineer
 Delaware license number 14438



Licensure Discussion

Verizon Wireless is bound by its Federal Communications Commission (hereafter FCC) licensure to transmit only the specific frequencies and power levels for which they are licensed. In Sussex County, Delaware these licenses include the 'B' Cellular Band, the 'E' and 'F' PCS band, the 'A', 'B', and 'J' AWS bands, the upper 'C' 700 MHz band, portions of the "UU" (28 GHz) bands, and portions of the 3.7 GHz 'C' band licenses. Other communication facilities and services such as emergency responders, television broadcasting, AM/FM broadcasting, mobile to mobile radios, and home electronics operate at different frequencies, once again, allocated by the FCC. For this reason, the manifestation of **direct**, harmful interference is precluded by virtue of Verizon Wireless being the only entity licensed to utilize these specifically defined portions of the RF spectrum. As such, there will be no direct, significant radio frequency emissions that fall into any band other than that for which Verizon Wireless is licensed. However, when non-linear elements (such as amplifiers) are introduced in the RF path the possibility exists for **indirect** interference caused by harmonic and inter-modulated frequency emissions that may fall outside the licensed spectrum. Due to the fact that the harmonic and inter-modulated output of Cellular and PCS transmitters is extremely low (as required by FCC type approval), this only becomes a concern when there are multiple telecommunication installations in close proximity to one another. This problem is easily avoided by insuring adequate vertical separation (roughly 10') when service providers co-locate on a structure. In this specific installation, the point is moot as Verizon is the only service provider currently proposing use of the rooftop. **In the unlikely event that future radio frequency interference is reported, it is Verizon Wireless policy to identify and mitigate any interference issues as quickly as possible.**

Facility Discussion

According to the information supplied by representatives of Verizon Wireless the proposed design for this facility includes a total of up to twelve (12) new panel-style antennas at an antenna centerline height of 150' above grade. The antennas will be arranged with sector azimuths evenly spaced in the horizontal plane with respect to true north. Transmitting through these antennas will be four (4) LTE transmit paths in the 700 MHz band (per sector) at a cumulative maximum of 160 watts, up to four (4) LTE transmit paths in the 1900 MHz band (per sector) at a cumulative maximum of 160 watts, up to four (4) LTE and / or 5G NR transmit paths in the 850 MHz band (per sector) at a cumulative maximum of 160 watts, up to eight (8) LTE transmit paths in the 2100 MHz band (per sector) at a cumulative maximum of 160 watts, four (4) LTE transmit paths in the 3500 MHz band (per sector) at a cumulative maximum of 20 watts and up to sixty-four (64) 5G NR transmit paths in the 3700 MHz 'C' band (per sector) at a cumulative maximum of 53 dBm radio power.

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Additional Remarks

The radio frequency emission levels from Verizon Wireless and other PCS and Cellular communications base stations are similar to that of other two-way communications systems such as those used by police, fire and ambulance personnel. In contrast, commercial broadcast systems such as television and radio often transmit at power levels ten times greater or more than the systems discussed above. Due to the relatively low power output, the potential for harmful interference is greatly reduced as the harmonic and inter-modulated emissions are typically in the noise floor of most receivers when only a few hundred feet away.

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[**info@dBmEng.com**](mailto:info@dBmEng.com)



DECLARATION OF ENGINEER

Andrew M. Petersohn, P.E., hereby states that he is a graduate telecommunications consulting engineer possessing Master and Bachelor Degrees in Electrical Engineering from Lehigh University (2005 and 1999, respectively). His corporation, dBm Engineering, P.C., has been retained by representatives of Verizon Wireless to perform an interference analysis for a proposed telecommunications facility.

Mr. Petersohn asserts that the calculations and/or measurements described in this report were made personally and in a truthful and objective manner. Mr. Petersohn is a Registered Professional Engineer licensed in Pennsylvania, Delaware, Maryland, Virginia, New York, Florida and New Jersey. He has over two decades of engineering experience in the field of wireless communications. Mr. Petersohn is an active member of the National Society of Professional Engineers (NSPE) and the Pennsylvania Society of Professional Engineers (PSPE). Mr. Petersohn further states that all facts and statements contained in the foregoing document are true and accurate to the best of his knowledge. He believes, under penalty of perjury, the foregoing to be correct.



Andrew M. Petersohn, P.E.
Registered Professional Engineer
Delaware license number 14438



Executed this the 12th day of December, 2023.

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Fairview Village, PA 19409
Phone: 610.304.2024
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info@dBmEng.com



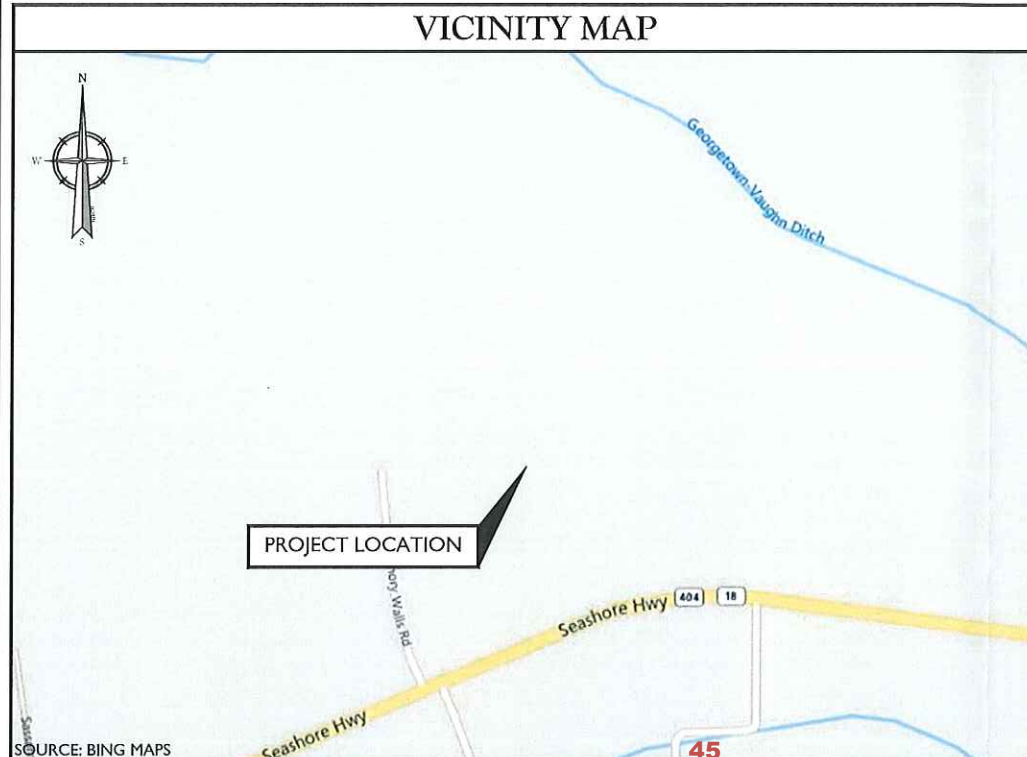
PROJECT NOTES

1. SITE INFORMATION OBTAINED FROM THE FOLLOWING:
 - A. CELL SITE SURVEY ENTITLED "DOV RED BARN" PREPARED BY COLLIERS ENGINEERING OF MT. LAUREL, NJ DATED 09/06/23.
 - B. LIMITED FIELD OBSERVATION BY COLLIERS ENGINEERING & DESIGN ON 06/28/23.
2. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, LAWS AND REGULATIONS OF ALL MUNICIPALITIES, UTILITY COMPANIES OR OTHER PUBLIC/GOVERNING AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
4. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, IN WRITING, OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE OF WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE AS A RESULT OF CONSTRUCTION OF THIS FACILITY AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
6. THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
7. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING THE BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND CONSTRUCTION DRAWINGS.
8. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THESE DRAWINGS MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
9. THE PROPOSED FACILITY WILL COMPLY WITH ALL STATE AND LOCAL STORMWATER ORDINANCES.
10. NO NOISE, SMOKE, DUST OR ODOR WILL RESULT FROM THIS FACILITY AS TO CAUSE A NUISANCE.
11. THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION (NO HANDICAP ACCESS IS REQUIRED).
12. THE FACILITY DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
13. CONTRACTOR SHALL VERIFY ANTENNA ELEVATION AND AZIMUTHS WITH RF ENGINEERING PRIOR TO INSTALLATION.
14. ALL STRUCTURAL ELEMENTS SHALL BE HOT DIPPED GALVANIZED STEEL.
15. CONTRACTOR MUST FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
16. CONSTRUCTION SHALL NOT COMMENCE UNTIL COMPLETION OF A PASSING STRUCTURAL ANALYSIS CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER. THE STRUCTURAL ANALYSIS IS TO BE PERFORMED BY OTHERS.
17. CONTRACTOR SHALL CONTACT STATE SPECIFIC ONE CALL SYSTEM THREE WORKING DAYS PRIOR TO ANY EARTH MOVING ACTIVITIES.



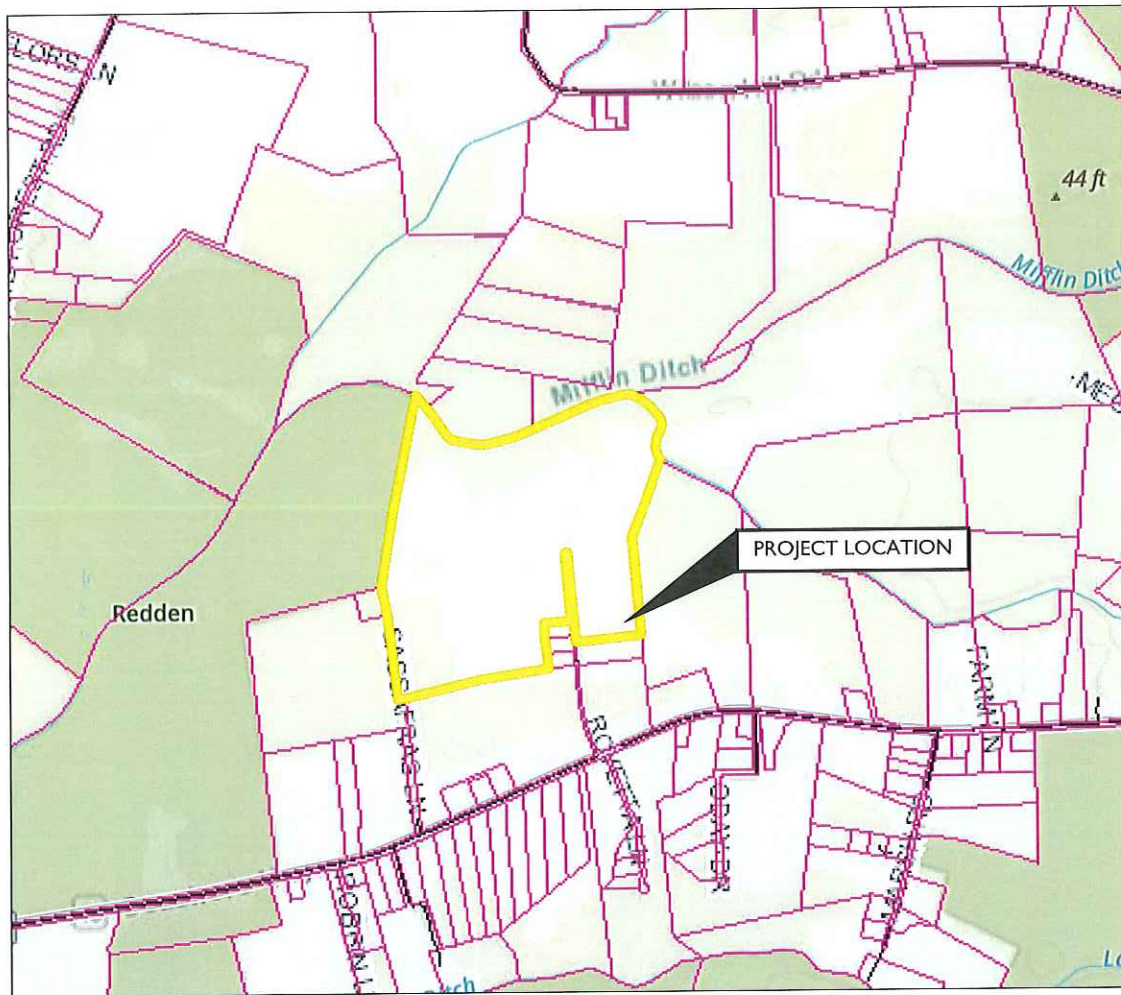
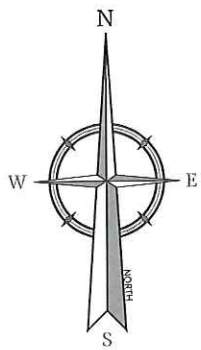
SITE NAME: DOV RED BARN

EMORY WALLS ROAD
 GEORGETOWN, DE 19947
 SUSSEX COUNTY

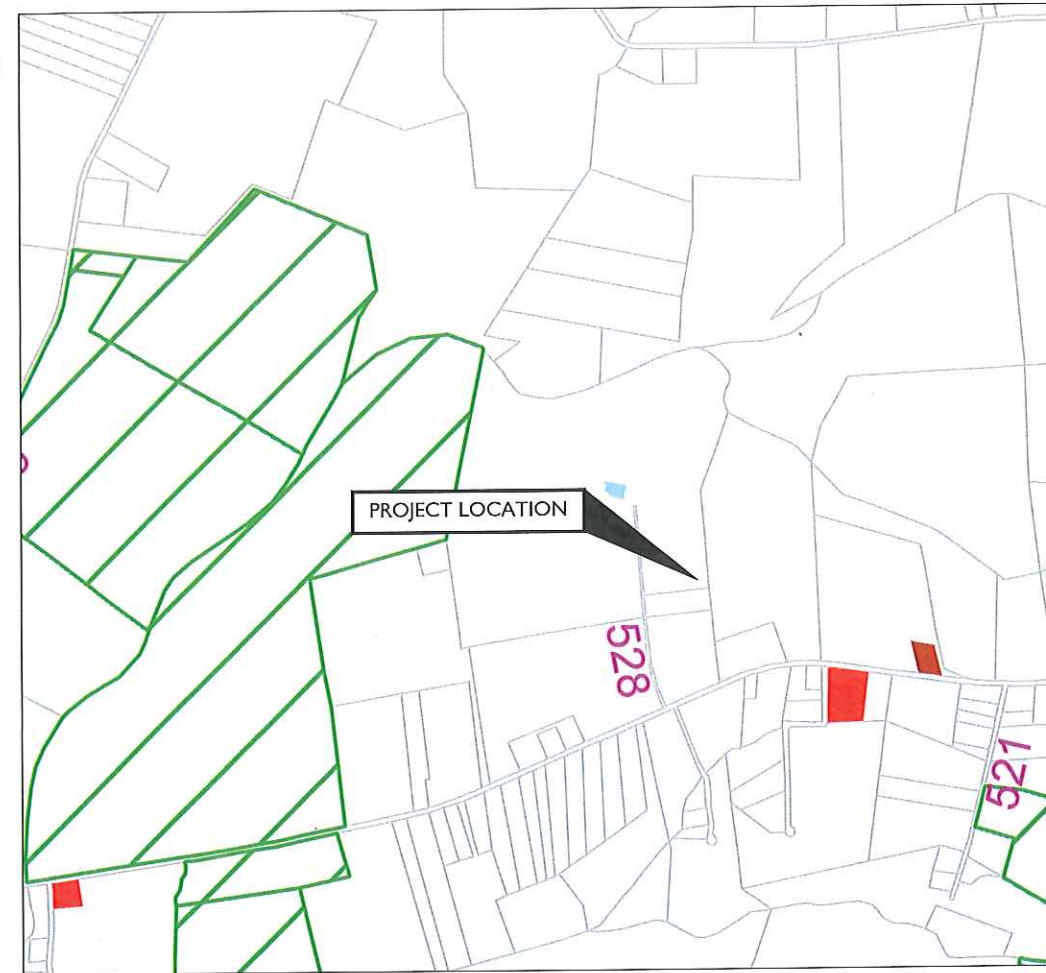
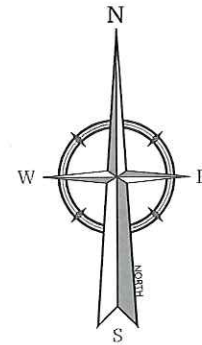


PROJECT INFORMATION	
<u>SITE INFORMATION</u>	
LATITUDE:	N 38° 42' 3.62" (NAD 83)
LONGITUDE:	W 75° 27' 11.82" (NAD 83)
GROUND ELEVATION:	37± AMSL (NAVD 88)
JURISDICTION:	SUSSEX COUNTY
PARCEL:	231-7.00-21.00
<u>APPLICANT</u>	
COMPANY:	CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS
ADDRESS:	512 TOWNSHIP LINE ROAD BUILDING 2, FLOOR 3
CITY, STATE, ZIP:	BLUE BELL, PA 19422
<u>PROPERTY OWNER</u>	
NAME:	WALLS SUSSEX PROPERTIES, LLC
ADDRESS:	9 WOOD STREET
CITY, STATE, ZIP:	MIDDLETOWN, DE 19709
<u>SITE ACQUISITION</u>	
COMPANY:	NB+C
CONTACT:	JAMES RODGERS
PHONE:	(610) 999-0427
<u>CONSTRUCTION MANAGER</u>	
COMPANY:	CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS
ADDRESS:	512 TOWNSHIP LINE ROAD, BUILDING 2, FLOOR 3
CITY, STATE, ZIP:	BLUE BELL, PA 19422
CONTACT:	MARK LYNCH

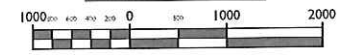
LOCATION INFORMATION	
<u>POWER PROVIDER</u>	
COMPANY:	DELAWARE ELECTRIC
PHONE:	(855) 322-9090
<u>TELEPHONE PROVIDER</u>	
COMPANY:	VERIZON
PHONE:	(800) 837-4966
<u>POLICE</u>	
NAME:	GEORGETOWN POLICE
ADDRESS:	335 NORTH RACE STREET
CITY, STATE, ZIP:	GEORGETOWN, DE 19947
PHONE:	(302) 856-6613
<u>FIRE</u>	
NAME:	GEORGETOWN FIRE COMPANY
ADDRESS:	100 SOUTH BEDFORD STREET
CITY, STATE, ZIP:	GEORGETOWN, DE 19947
PHONE:	(302) 856-7700
IN CASE OF EMERGENCY, CALL 9-1-1	
SHEET INDEX	
SHEET	DESCRIPTION
T-1	TITLE SHEET
Z-1	ZONING INFORMATION
Z-2	SITE PLAN AND SITE NOTES
Z-3	PARTIAL SITE PLAN
Z-4	COMPOUND PLAN AND ELEVATION



TAX MAP



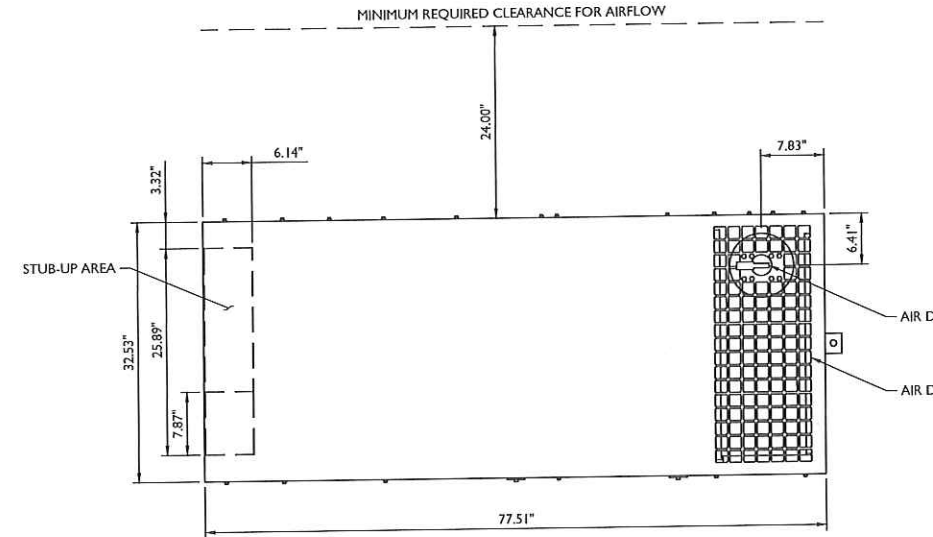
ZONING MAP



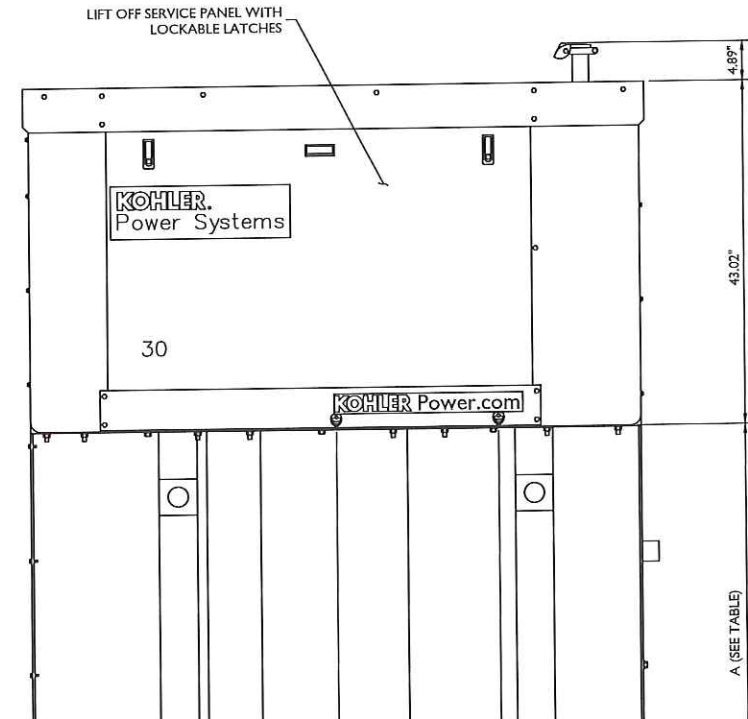
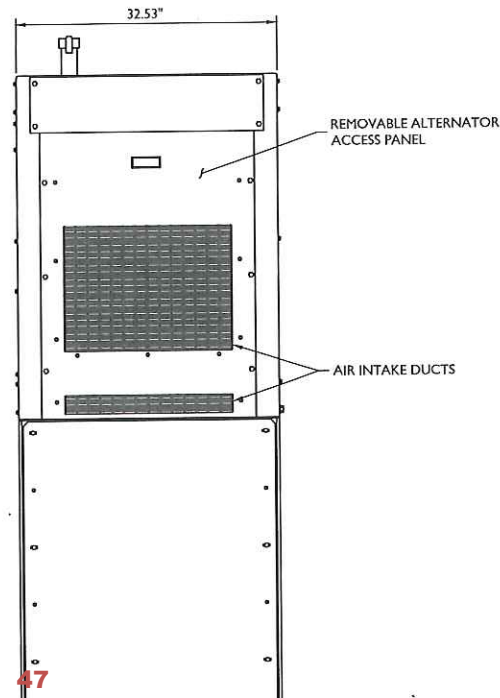
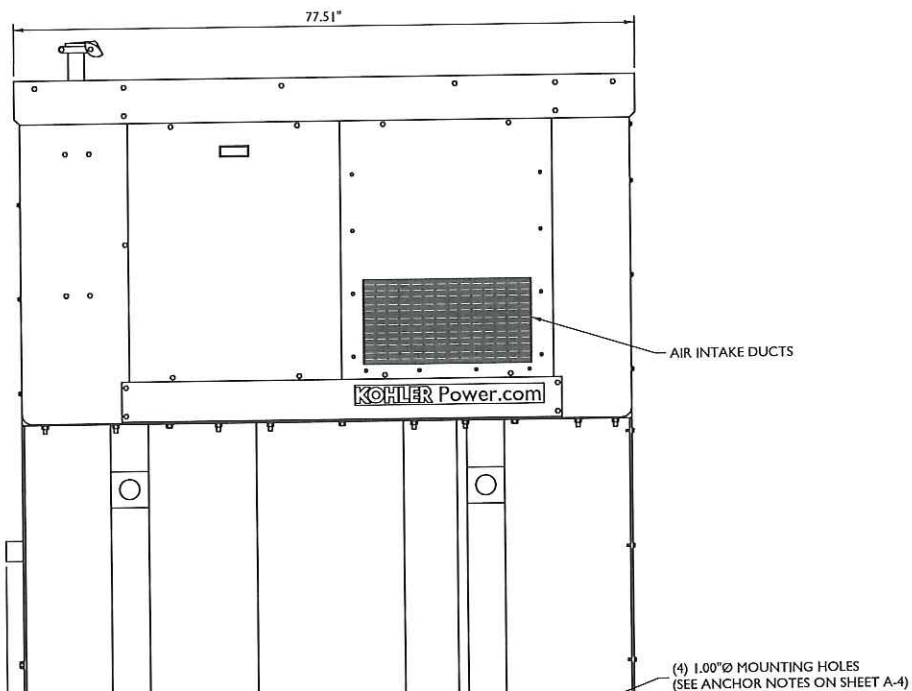
NOTES:

1. THE RIGHT SIDE OF THE GENERATOR IS SERVICE ACCESSIBLE.
2. 6 AMP BATTERY CHARGER.
3. 120VAC ENGINE BLOCK HEATER.
4. GENERATOR MUST BE GROUNDED.
5. SOUND ATTENUATED ENCLOSURE STANDARD WITH GENERATOR.
6. MUST ALLOW FREE FLOW OF DISCHARGE AIR AND EXHAUST.
7. MUST ALLOW FREE FLOW OF AIR INTAKE.
8. EASY ACCESS SERVICE PANEL IS LOCATED ON THE RIGHT SIDE OF THE GENERATOR ONLY.
9. BASE TANK REQUIRES ALL STUB-UPS TO BE IN THE REAR TANK STUB-UP AREA.
10. SEE TABLE FOR SUB-BASE FUEL TANK CAPACITY.
11. TANK EQUIPPED WITH FIRE SAFETY VALVE ON FUEL SUPPLY LINE.
12. IT IS THE RESPONSIBILITY OF THE INSTALLATION TECHNICIAN TO ENSURE THAT THE GENERATOR INSTALLATION COMPLIES WITH ALL APPLICABLE CODES, STANDARDS AND REGULATIONS.
13. GENERATOR IS INSTALLED ON UL-142 RATE DOUBLE WALL SUB-BASE FUEL TANK.
14. 65.4 dBA @ 23 FT (7 M) @ 100% LOAD WITH SOUND ENCLOSURE.

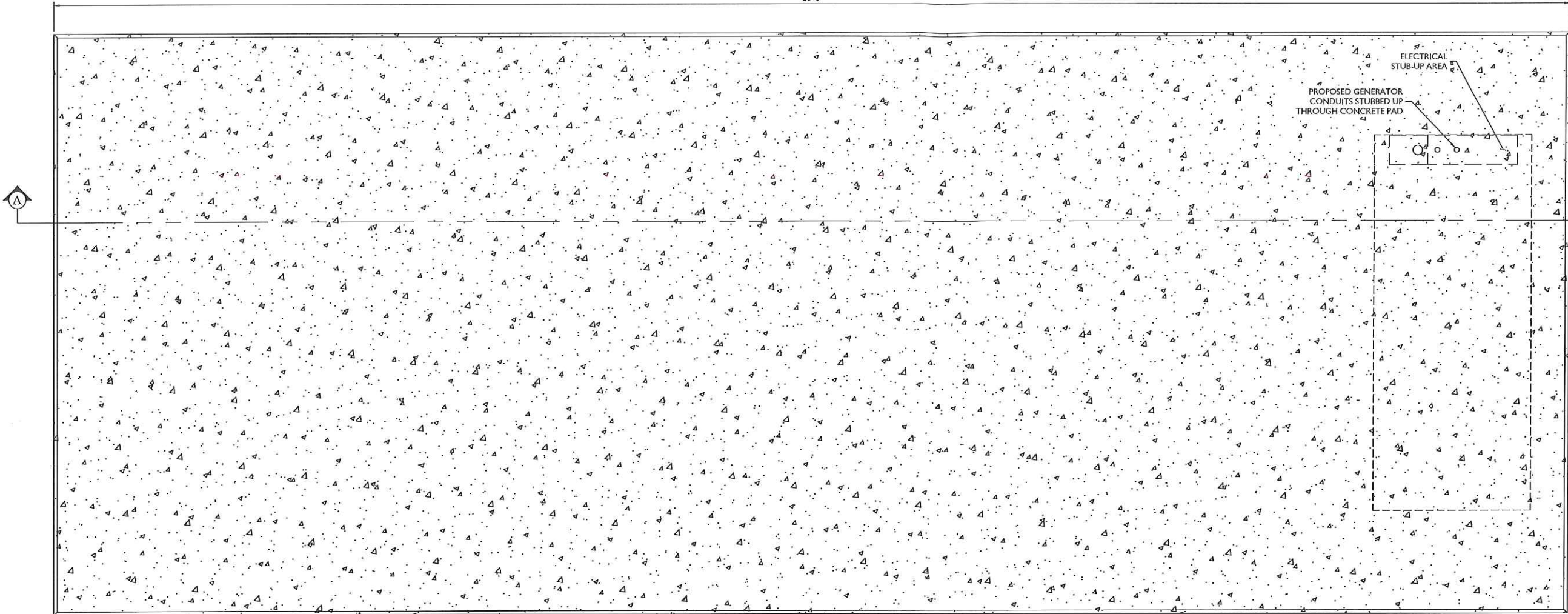
GENSET	TANK P/N	TANK HEIGHT (A)	DESCRIPTION	ASSEMBLY WEIGHT
30RE0ZK	GM97093-MA2	41.0"	SKID/TANK, 203 GAL	2,114 LBS



TOP VIEW



26'-0"



EQUIPMENT

CONCRETE NOTES:

DESIGN INFORMATION:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336A, ASTM A184, ASTM A185 AND THE DESIGN & CONSTRUCTION SPECIFICATION FOR CONCRETE.
2. THE DESIGN SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE AS SHOWN ON SHEET T-1.

EARTHWORK:

1. FOUNDATIONS HAVE BEEN DESIGNED TO BEAR ON (UNDISTURBED RESIDUAL SOILS/COMPACTED STRUCTURAL FILL), CAPABLE OF SAFELY SUPPORTING AN ALLOWABLE BEARING CAPACITY OF 2,000 PSF. IF FOUNDATION CONDITIONS PROVE UNACCEPTABLE AT ELEVATIONS SHOWN, EXCAVATION SHALL BE CARRIED DEEPER AND SHALL BE BACKFILLED WITH LEAN CONCRETE TO ORIGINAL FOOTING BOTTOM, OR REDESIGN OF FOUNDATIONS WILL BE REQUIRED AT THE DIRECTION OF THE ENGINEER.
2. DESIGN FURNISH AND INSTALL TEMPORARY SHEETING, SHORING, AND DRAINAGE TO MAINTAIN THE EXCAVATION AND PROTECT SURROUNDING STRUCTURES AND UTILITIES.
3. THOROUGHLY COMPACT ALL BOTTOM OF FOOTINGS PRIOR TO PLACING ANY CONCRETE.

CONCRETE:

1. FORMWORK
 - 1.a. CONCRETE CONSTRUCTION SHALL CONFORM TO "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS." (ACI 301-89).
 - 1.b. FORMWORK SHALL CONFORM TO ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
2. REINFORCEMENT

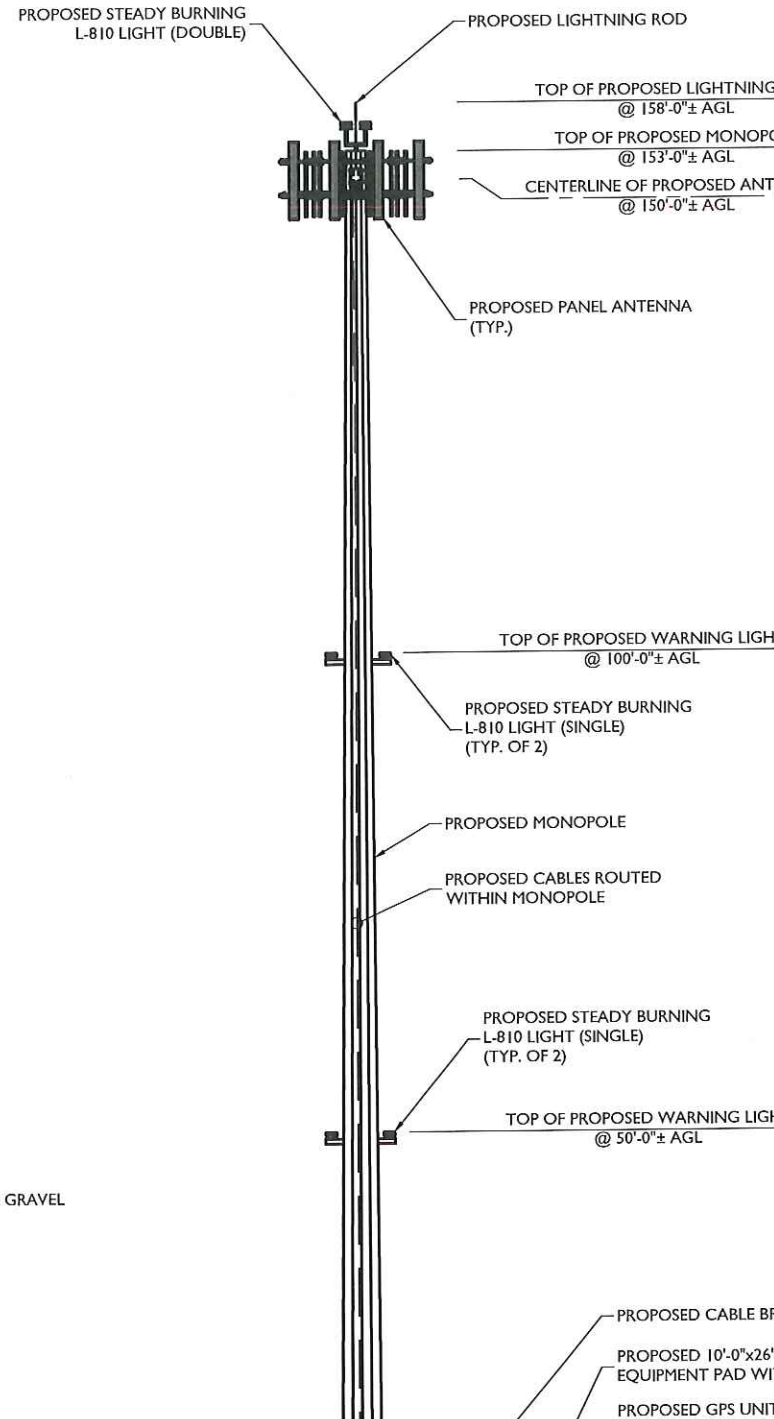
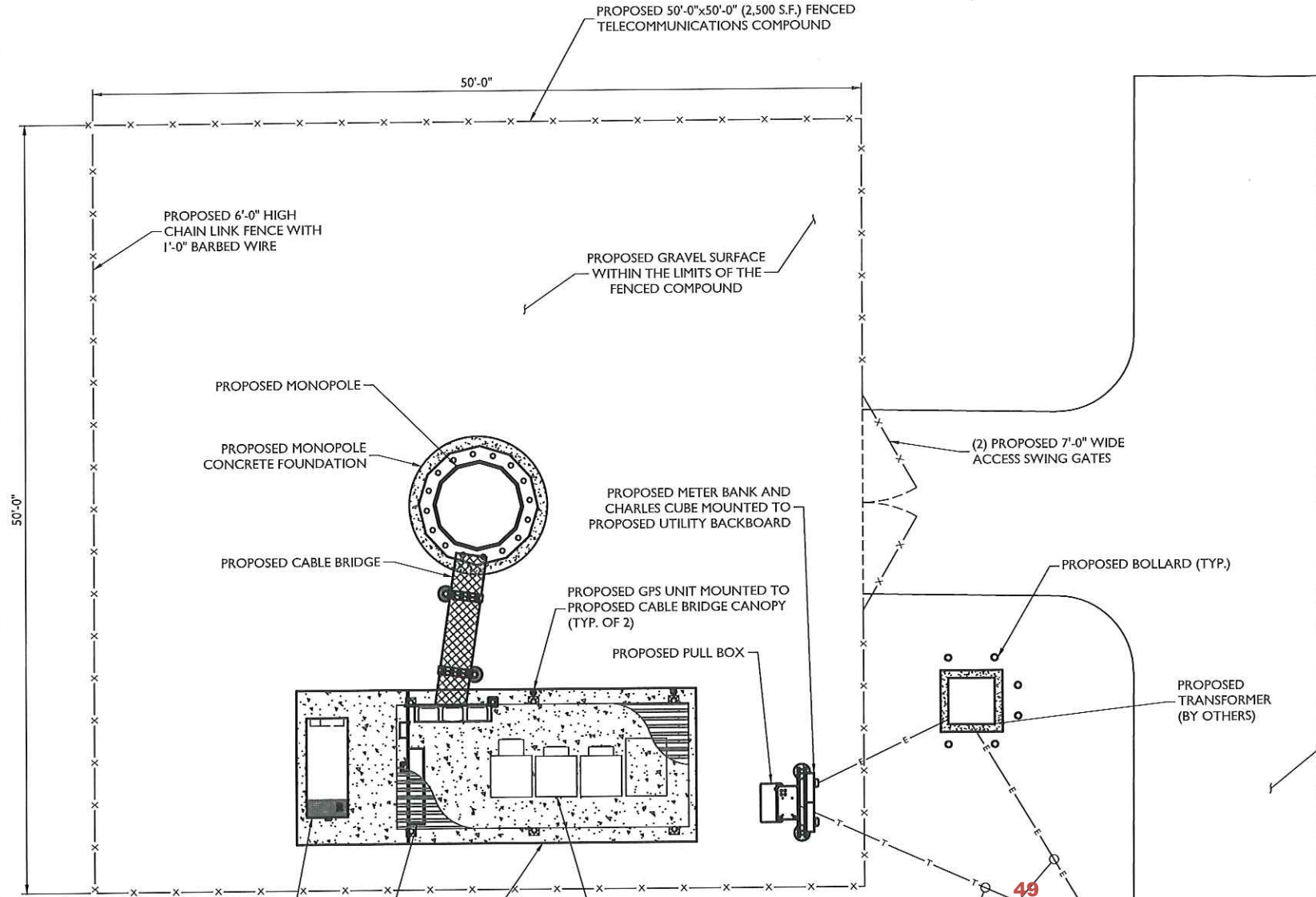
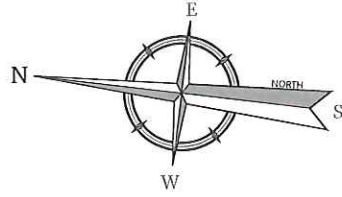
12" THICK CONCRETE PAD
(4,500 PSI CONCRETE
WITH 3/4" AGGREGATE)

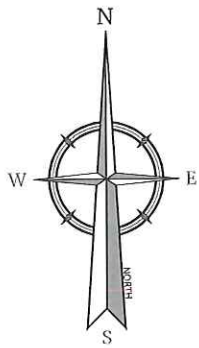
#6 REBAR (12" O.C.) EACH
WAY, TOP AND BOTTOM

SEE PLAN

1" 45° CHAMFER
(TYP.)

3" REVEAL





PROPOSED 50'-0" x 50'-0" (2,500 S.F.) FENCED TELECOMMUNICATIONS COMPOUND (SEE SHEET Z-4)

Existing Corn Fields

575'± (EQUIPMENT)

593'± (MONOPOLE)

57'± (MONOPOLE)

PROPOSED MONOPOLE (SEE SHEET Z-4)

58'± (MONOPOLE)

72'± (EQUIPMENT)

PROPOSED 12'-0" WIDE GRAVEL ACCESS DRIVE

PROPOSED UNDERGROUND ELECTRIC/TELCO CONDUITS TO PROPOSED EQUIPMENT

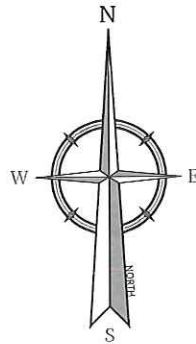
28'± (EQUIPMENT)

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VICINITY MAP



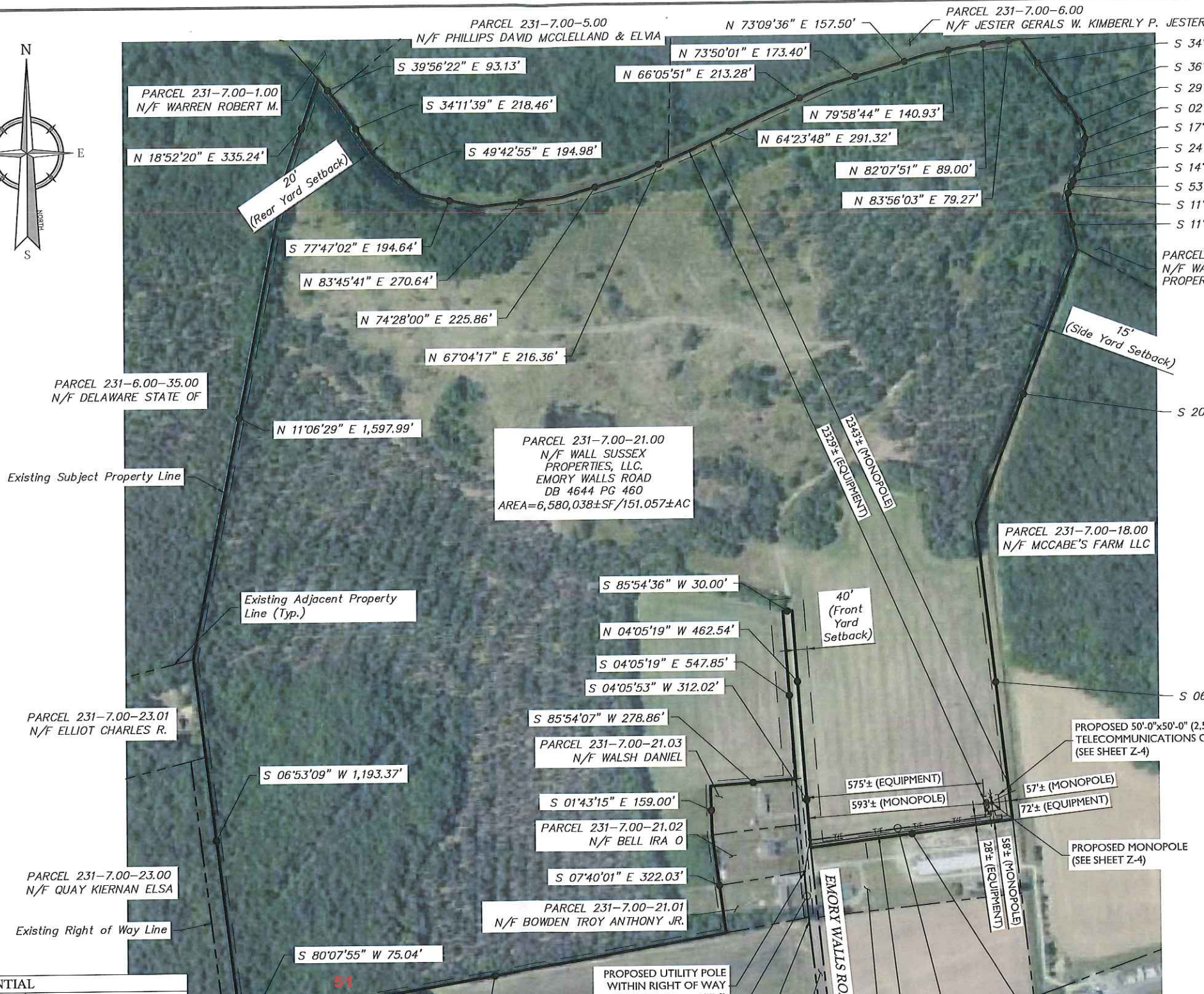
SOURCE: GOOGLE EARTH

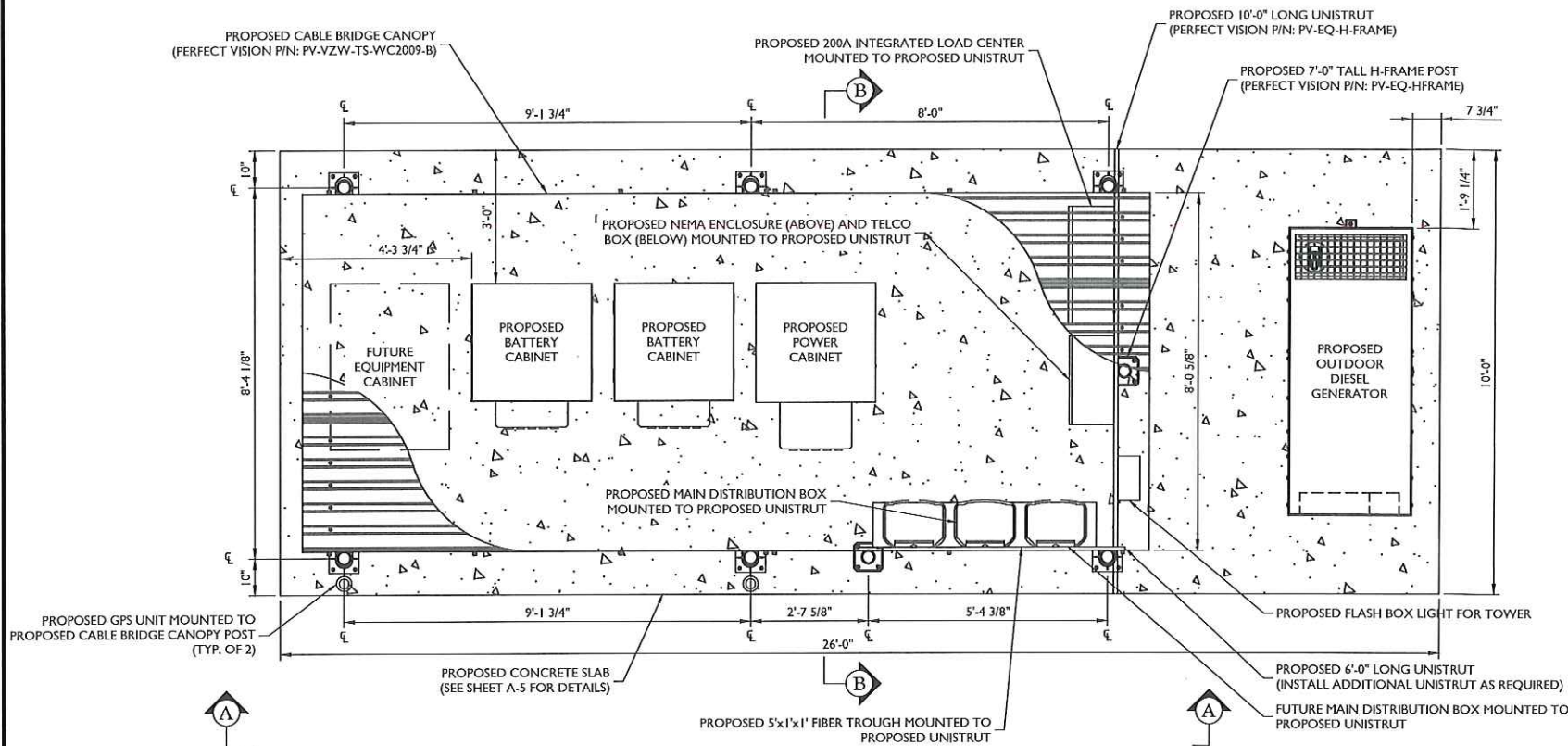


SITE NOTES

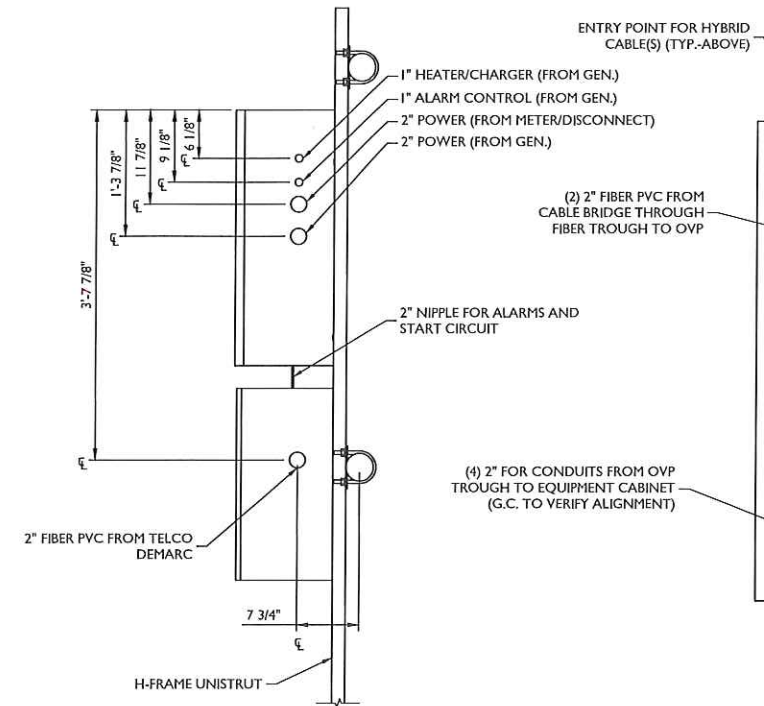
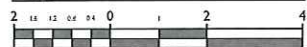
1. THIS PROPOSAL IS FOR AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF THE PLACEMENT OF PANEL ANTENNAS ON A PROPOSED MONOPOLE AND EQUIPMENT CABINETS ON A PROPOSED CONCRETE PAD, AN OUTDOOR STANDBY GENERATOR AND ASSOCIATED APPURTENANCES WITHIN A PROPOSED FENCED COMPOUND.
2. EXTERIOR SIGNS ARE NOT PROPOSED EXCEPT AS REQUIRED BY THE FCC.
3. DISTURBANCE UNDER THIS PROPOSAL:
TOTAL AREA OF DISTURBANCE - 13,875± S.F.
4. RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
5. CONTRACTOR SHALL CONTACT STATE SPECIFIC ONE CALL SYSTEM THREE WORKING DAYS PRIOR TO ANY EARTH MOVING ACTIVITIES.
6. POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.
7. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS & INSPECTIONS REQUIRED FOR CONSTRUCTION.
8. SUBCONTRACTOR SHALL DETERMINE EXACT ROUTE OF ANY UNDERGROUND CONDUIT, IF REQUIRED.
9. THIS PROJECT WILL NOT REQUIRE STREETS OR PROPERTY TO BE DEDICATED FOR PUBLIC USE.
10. THIS PROJECT WILL NOT REQUIRE PERMANENT MONUMENTS.
11. ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAPS OF SUSSEX COUNTY, DE (AND INCORPORATED AREAS), FLOOD ZONE MAP NUMBER 1005C0280L PANEL NUMBER 280 OF 660 DATED 06/20/2018, ALL PROPOSED IMPROVEMENTS ARE LOCATED WITHIN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
12. THE PROPOSED INSTALLATION WILL GENERATE ONE (1) VEHICLE TRIP FOR ROUTINE MAINTENANCE EVERY FOUR (4) TO SIX (6) WEEKS.

BULK STANDARDS FOR AR-1 - AGRICULTURAL RESIDENTIAL



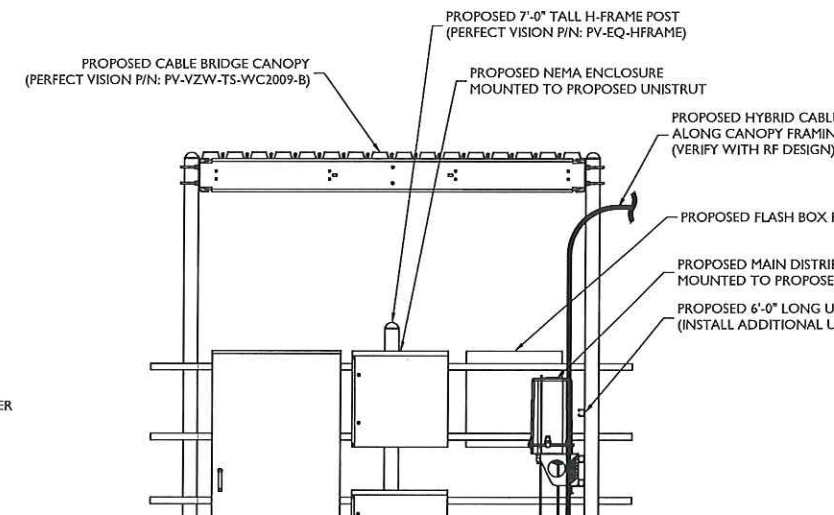
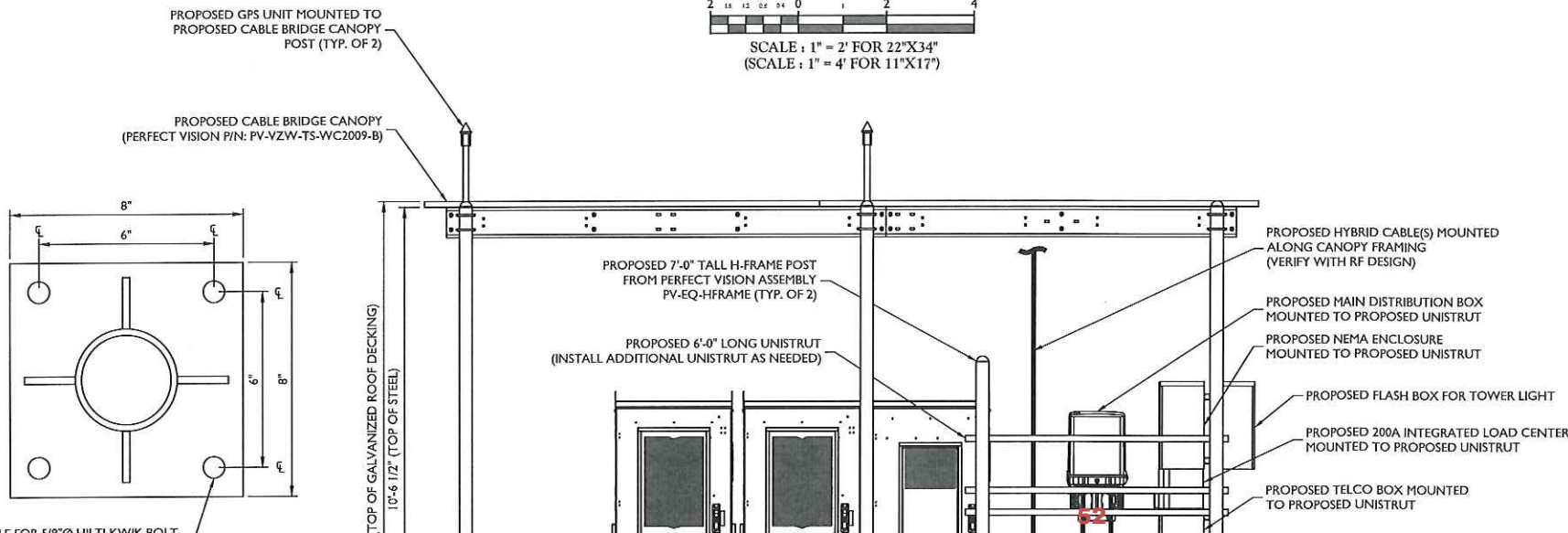
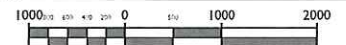


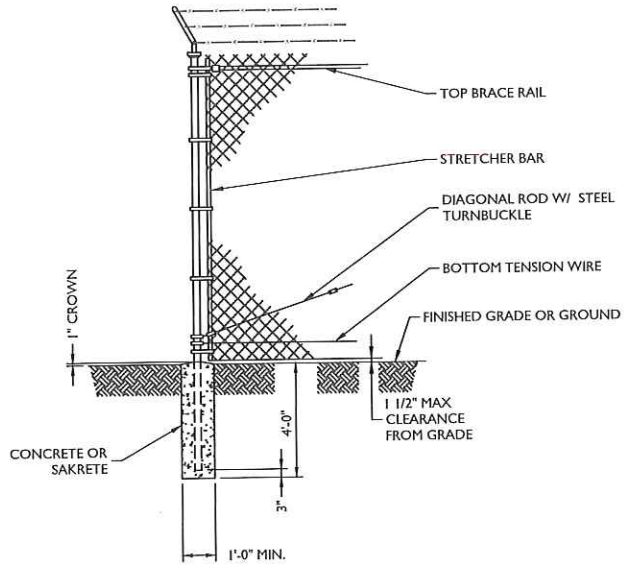
EQUIPMENT LAYOUT



SECTION C-C

EQUIPMENT SECTION VIEW

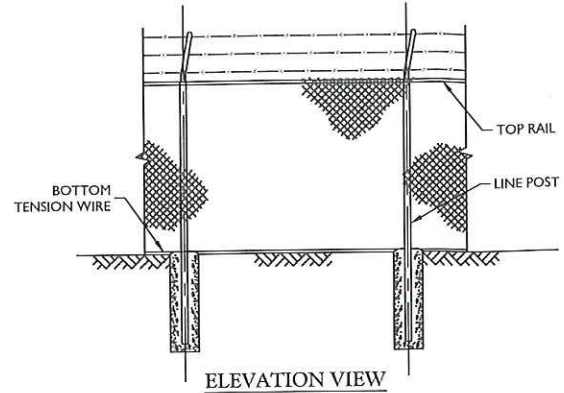




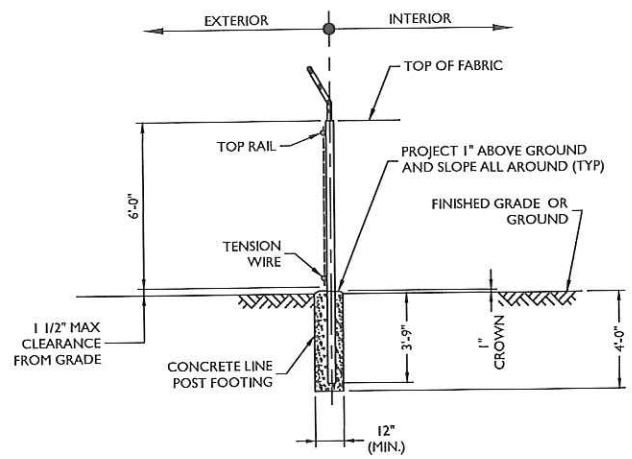
WOVEN WIRE CORNER, GATE, END, OR PULL POST
NOT TO SCALE

FENCE NOTES:

1. GATE POST, CORNER, TERMINAL OR PULL POST SHALL BE 3"Ø SCHEDULE 40 FOR GATE WIDTHS UP THROUGH 7 FEET OR 14 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.
2. LINE POST: 2-3/8"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
3. GATE FRAME: 1 1/2"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
4. TOP RAIL & BRACE RAIL: 1 1/4"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
5. FABRIC: 9 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392 CLASS I.
6. TIE WIRE: MINIMUM 11 GA GALVANIZED STEEL INSTALL A SINGLE WRAP TIE WIRE AT POSTS AND RAILS AT MAX. 24" INTERVALS. INSTALL HOG RINGS ON TENSION WIRE AT 24" INTERVALS.
7. TENSION WIRE: 7 GA. GALVANIZED STEEL.
8. BARBED WIRE: 3 STRANDS OF DOUBLE STRANDED 12-1/2 GAUGE TWISTED WIRE, 4 PT. BARBS SPACED ON APPROXIMATELY 5" CENTERS.
9. GATE LATCH: 1-3/8" O.D. PLUNGER ROD W/ MUSHROOM TYPE CATCH AND LOCK.
10. LOCAL ORDINANCE FOR BARBED WIRE PERMIT SHALL GOVERN INSTALLATION.
11. HEIGHT = 6'-0" VERTICAL DIMENSION WITH 1'-0" BARBED WIRE.
12. ALL WORK SHALL CONFORM WITH THE PROJECT SPECIFICATIONS.

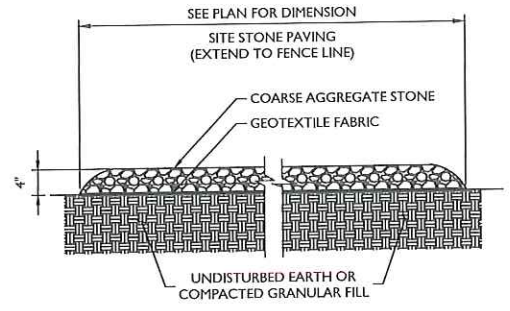
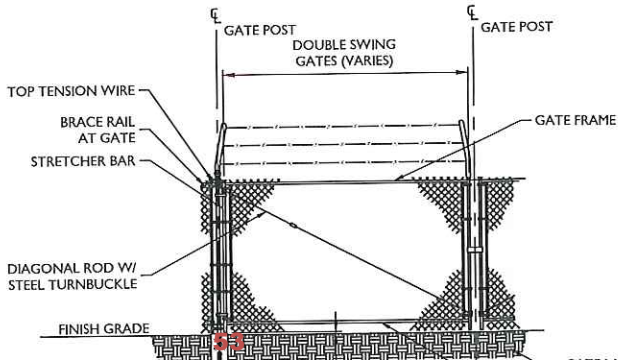


ELEVATION VIEW

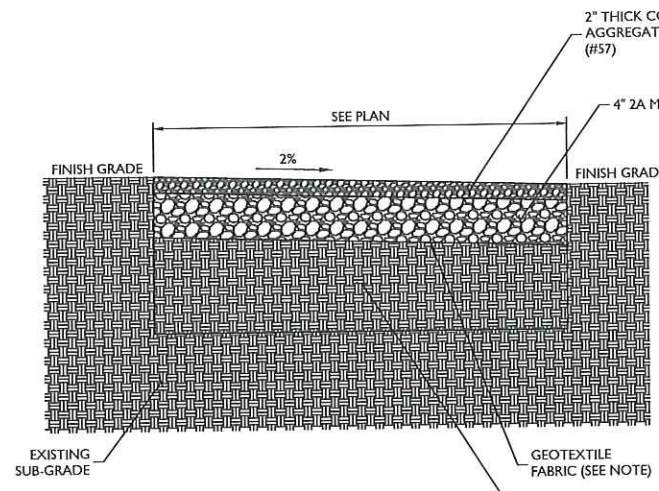


SECTION VIEW

WOVEN WIRE FENCE DETAIL
NOT TO SCALE

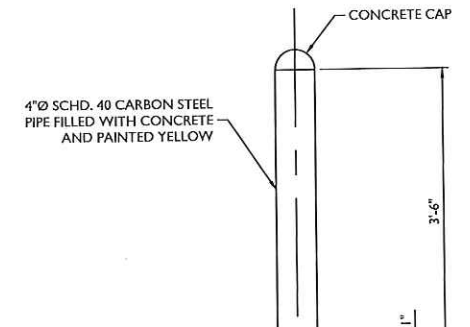


GRAVEL SURFACING
NOT TO SCALE

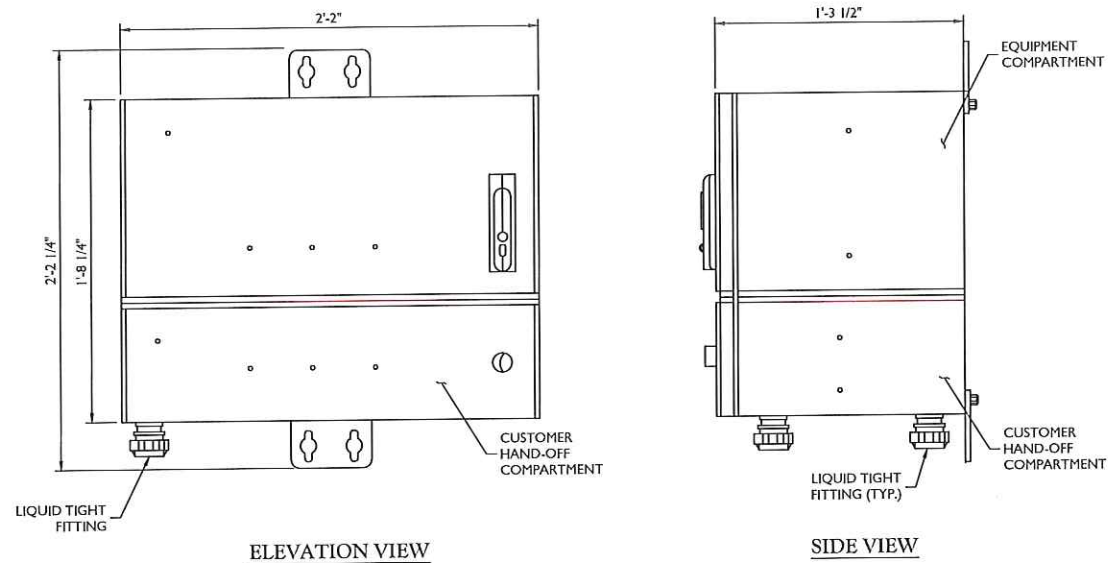


NOTE:
GEOTEXTILE FABRIC IS TO BE MIRAFI 500X WOVEN WIRE FABRIC OR APPROVED EQUAL.

GRAVEL DRIVEWAY SURFACING
NOT TO SCALE



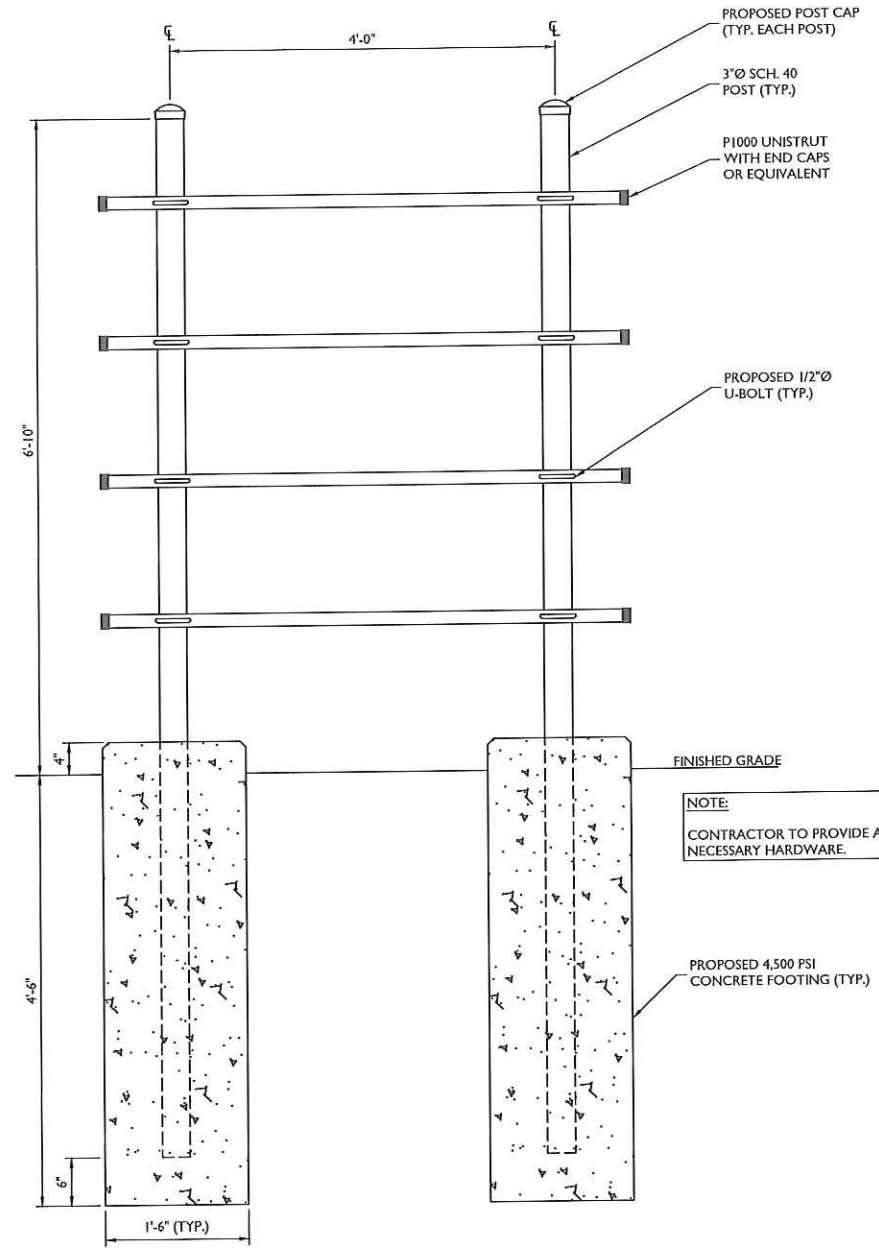
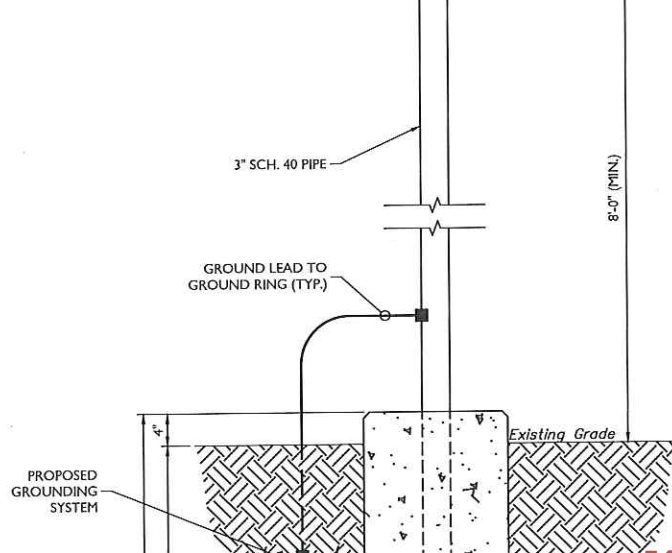
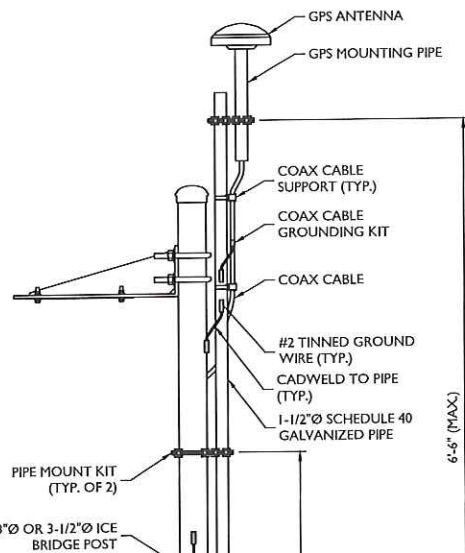
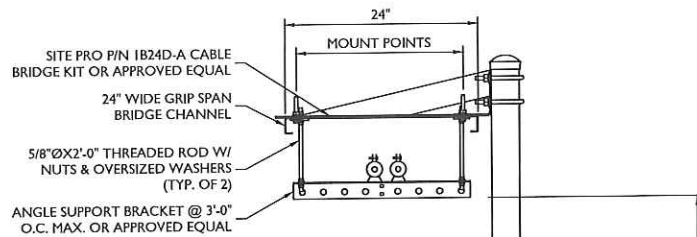
GRADE, PAVI OR FINISHED



ELEVATION VIEW

SIDE VIEW

CHARLES INDUSTRIES RL2000A CUBE
NOT TO SCALE



BACKBOARD DETAIL
NOT TO SCALE

NOTE:
CONTRACTOR TO PROVIDE ALL NECESSARY HARDWARE.

PROPOSED 4,500 PSI CONCRETE FOOTING (TYP.)

3/8-16 UNC STAINLESS STEEL HEX HEAD BOLT W/ WASHER (2)

Case # 12902
Hearing Date 2/5/24 - Tentative
202317332

Board of Adjustment Application
Sussex County, Delaware
Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check all applicable)

Variance Existing Condition
Special Use Exception Proposed
Administrative Variance Code Reference (office use only) _____
Appeal _____

Site Address of Variance/Special Use Exception:

30240 Irons Lane, Dagsboro, DE 19939

Variance/Special Use Exception/Appeal Requested:

A Special Use Exception to permit the construction of a 174 foot tall commercial communications monopole, as well as a height variance to permit the construction of a 174 foot tall commercial communications monopole (to top of lightning rod)

Tax Map #: 134-7.00-127.00 **Property Zoning:** AR-1

Applicant Information

Applicant Name: Cellco Partnership d/b/a Verizon Wireless
Applicant Address: 512 Township Line Road, Building 2, Floor 3
City Blue Bell State PA Zip: 19422
Applicant Phone #: (267) 253-2762 Applicant e-mail: smanchel@watinc.net

Owner Information

Owner Name: David L. Banks, Trustee of the Revocable Trust of David L. Banks
Owner Address: 30190 Whites Neck Road
City Dagsboro State DE Zip: 19939 Purchase Date: 1/1/16
Owner Phone #: (302) 542-4100 Owner e-mail: _____

Agent/Attorney Information

Agent/Attorney Name: John E. Tracey
Agent/Attorney Address: 1000 N. King Street
City Wilmington State DE Zip: 19801
Agent/Attorney Phone #: (302) 571-6740 Agent/Attorney e-mail: jtracey@ycst.com

Signature of Owner/Agent/Attorney



Date: 12/15/23



Sussex County, DE - BOA Application

Criteria for a Variance: (Please provide a written statement regarding each criteria).

*You shall demonstrate to the Board of Adjustment that the property meets **all** of the following criteria for a Variance to be granted.*

In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.

1. Uniqueness of property:

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

See attached materials

2. Cannot otherwise be developed:

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

3. Not created by the applicant:

That such exceptional practical difficulty has not been created by the appellant.

4. Will not alter the essential character of the neighborhood:

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

5. Minimum variance:

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

Sussex County, DE - BOA Application

Criteria for a Special Use Exception: (Please provide a written statement regarding each criteria)

*You shall demonstrate to the Board of Adjustment that the property meets **all** of the following criteria for a Special Use Exception to be granted.*

1. Such exception will not substantially affect adversely the uses of adjacent and neighboring property.

See submitted materials

2. Any other requirements which apply to a specific type of special use exception as required by the Sussex County Code. (Ex. Time limitations – 5 year maximum)

Basis for Appeal: (Please provide a written statement regarding reason for appeal)



**YOUNG
CONAWAY**

WILMINGTON
RODNEY SQUARE

NEW YORK
ROCKEFELLER CENTER

John E. Tracey
P 302.571.6740
F 302.576.3382
jtracey@ycst.com

December 15, 2023

VIA HAND DELIVERY

Mr. Jamie Whitehouse, AICP
Sussex County Department of Planning
2 The Circle
P.O. Box 589
Georgetown, DE 19947

RECEIVED
DEC 18 2023
SUSSEX COUNTY
PLANNING & ZONING

Re: Cellco Partnership d/b/a Verizon Wireless; Tax Parcel No. 134-07.00-127.00 (DOV Cripple Creek)

Dear Mr. Whitehouse:

Enclosed please find the completed "Board of Adjustment Application" and \$500.00 application fee on behalf of Cellco Partnership d/b/a Verizon Wireless ("Cellco"). Cellco is seeking to locate a new 174-foot tall telecommunications tower, including a 4-foot tall lightning rod, southwest of the intersection of Irons Lane and Jen and Jac Road, east of the Town of Dagsboro. In addition to establishing better coverage for Verizon Wireless in this area, the tower would be designed to accommodate at least two (2) additional carriers as required by the Sussex County Code.

In order to construct this tower in the desired location I understand that Cellco requires a special use exception from the County's Board of Adjustment, as well as a variance to exceed the 150 foot height limitation contained in the Code.¹ The proposed tower includes the Code-mandated lighting and is designed to meet the required setbacks, as such no other variances are needed for the structure or the enclosure.

Along with the application, enclosed are two copies of the site plan and the RF reports for the tower. As you will note, the RF Reports include the before and after coverage maps for the area, as well as the availability (or lack thereof) of tall structures within two (2) miles of the proposed location, and the justification for the required height of the structure.

¹ Four feet of this twenty-four (24) foot intrusion is created by the lightning rod, an addition to the tower which is hardly visible.

Young Conaway Stargatt & Taylor, LLP
Mr. Jamie Whitehouse, AICP
December 15, 2023
Page 2

As always, should you need any further information or have any questions, please feel free to contact me at (302) 571-6740.

Sincerely yours,

A handwritten signature in blue ink, appearing to read "John E. Tracey, Esq.", with a stylized flourish extending to the right.

John E. Tracey, Esq.

Enclosures

cc: Ms. Sue Manchel (via e-mail and w/o enclosures)

CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS DOV CRIPPLE CREEK

30240 IRONS LANE DAGSBORO, DELAWARE 19939 FUZE PROJECT ID 16959501 PSLC 791578 / SITE ID 617324475

MOUNT ANALYSIS NOTE

NETWORK CONNEX IS NOT RESPONSIBLE FOR DESIGN OR STRUCTURAL CERTIFICATION OF NEW OR EXISTING ANTENNA AND RRH MOUNTS REQUIRED FOR THE INSTALLATION OF THE PROPOSED EQUIPMENT ASSOCIATED WITH THIS PROJECT. PLEASE REFER TO THE MOUNT ANALYSIS COMPLETED BY OTHERS FOR ALL STRUCTURAL INFORMATION RELATED TO THE ANTENNA AND RRH MOUNTS

NETWORK CONNEX

7151 COLUMBIA GATEWAY DRIVE, SUITE A
COLUMBIA, MARYLAND 21046
PHONE: (443) 367-0003

www.networkconnex.com

CELLCO PARTNERSHIP d/b/a
VERIZON WIRELESS

ONE VERIZON WAY
MAIL STOP 4AW100
BASKING RIDGE, NEW JERSEY 07920

SCHEDULE OF REVISIONS

REV NO.	DATE	DESCRIPTION OF CHANGES
6		
5		
4		
3		
2		
1	11-16-23	REVISED PER COMMENTS
0	10-04-23	ZONING SUBMITTAL
A	09-21-23	90% REVIEW

DRAWN BY: MBM

CHECKED BY: MRL

SCALE: NOTED

JOB NO: 19E0092.001

DRAWING TITLE:

TITLE SHEET

DRAWING SHEET:

T-1

DOV CRIPPLE CREEK
30240 IRONS LANE
DAGSBORO, DELAWARE
19939

SUSSEX COUNTY, DELAWARE

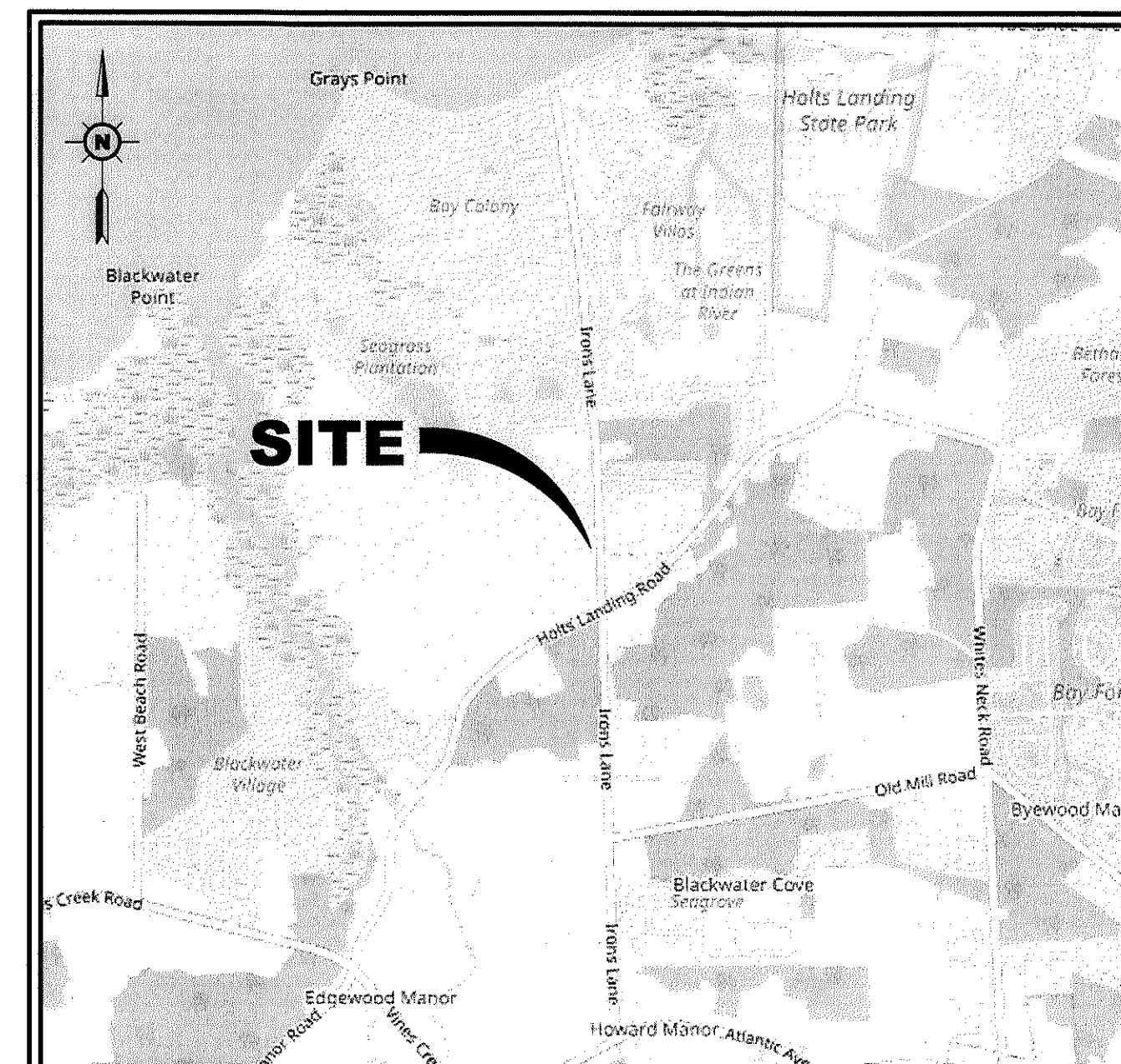
SHEET NO. 1 OF 10

SITE INFORMATION

SITE NAME: DOV CRIPPLE CREEK
SITE ADDRESS: 30240 IRONS LANE
DAGSBORO, DELAWARE 19939
ZONING DISTRICT: AR-1
PIN: 134-7.00-127.00
JURISDICTION: SUSSEX COUNTY, DELAWARE
SITE COORDINATES: N 38° 34' 11.18" (NAD 83)
W 75° 08' 33.30" (NAD 83)
GROUND ELEVATION: 12.6± (NAVD 88)
STRUCTURE TYPE: MONOPOLE
STRUCTURE HEIGHT: 174± AGL (HIGHEST APPURTENANCE)
SIZE OF LEASE AREA: 12'-0"W x 40'-0"L (480.0 S.F.)
ANTENNA RAD CENTER: 165'-0± AGL
LANDLORD NAME: BANKS DAVID L TTEE REV TR
LANDLORD ADDRESS: 30190 WHITE'S NECK ROAD
DAGSBORO, DELAWARE 19939
APPLICANT: CELLCO PARTNERSHIP D/B/A
VERIZON WIRELESS
ONE VERIZON WAY
MAIL STOP 4AW100
BASKING RIDGE, NEW JERSEY 07920

CODE ANALYSIS

BUILDING CODE: IBC 2021
ELECTRICAL CODE: NEC 2020
FIRE CODE: 2021 NFPA 101
USE GROUP: U (UTILITY)
CONSTRUCTION TYPE: IIB



AREA MAP

DAGSBORO, DELAWARE
SCALE: 1" = 2000'-0"

DIRECTIONS

FROM VERIZON OFFICE AT ONE VERIZON WAY: HEAD NORTHWEST ON VERIZON WAY. BEAR RIGHT ONTO NORTH MAPLE AVENUE. TAKE THE RAMP ON THE LEFT FOR I-287 SOUTH. TAKE EXIT 9 FOR RIVER ROAD / COUNTY HIGHWAY-622 TOWARD HIGHLAND PARK. TAKE THE RAMP FOR NJ-18 / JOHN A LYNCH SR MEMORIAL BRIDGE. TAKE THE RAMP ON FOR I-95 SOUTH. KEEP RIGHT, TOWARD TRENTON. TAKE EXIT 4A FOR DE-1 DE-7 SOUTH TOWARD BEACHES / DOVER / MALL ROAD. KEEP LEFT TOWARD BEACHES / DOVER. TAKE DE-1 SOUTH / US-13 SOUTH TOWARD BEACHES / DOVER. KEEP RIGHT ONTO US-113 SOUTH / DE-1 BUS / NORTH DUPONT BOULEVARD. TURN LEFT ONTO DE-20 / DAGSBORO ROAD. TURN LEFT ONTO HOLTS LANDING ROAD. TURN LEFT ONTO IRONS LANE. SITE IS ON THE LEFT.

SHEET INDEX

DRAWING SHEET	DRAWING TITLE
T-1	TITLE SHEET
Z-1	SITE PLAN
Z-2	COMPOUND PLAN
Z-3	ELEVATION
Z-4	EQUIPMENT PAD DETAILS & NOTES
Z-5	CONSTRUCTION DETAILS
Z-6	CONSTRUCTION DETAILS (CONTINUED)
Z-7	GENERATOR DETAILS
Z-8	FUEL SYSTEM DETAILS
Z-9	ANTENNA LAYOUT & DETAILS

DO NOT SCALE DRAWINGS

CONTRACTOR IS TO VERIFY ALL PLANS, EXISTING DIMENSIONS & CONDITIONS RELATING TO THIS PROJECT. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IF THERE ARE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

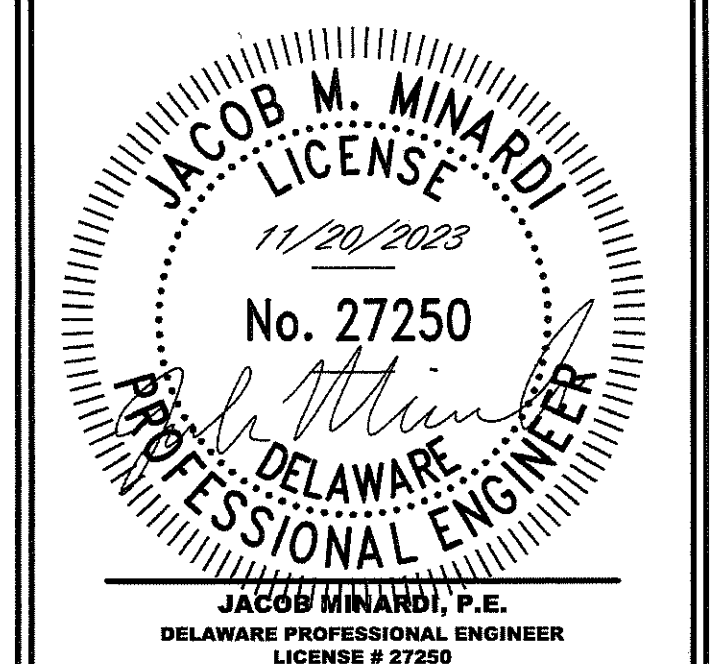
VERIZON REVIEW

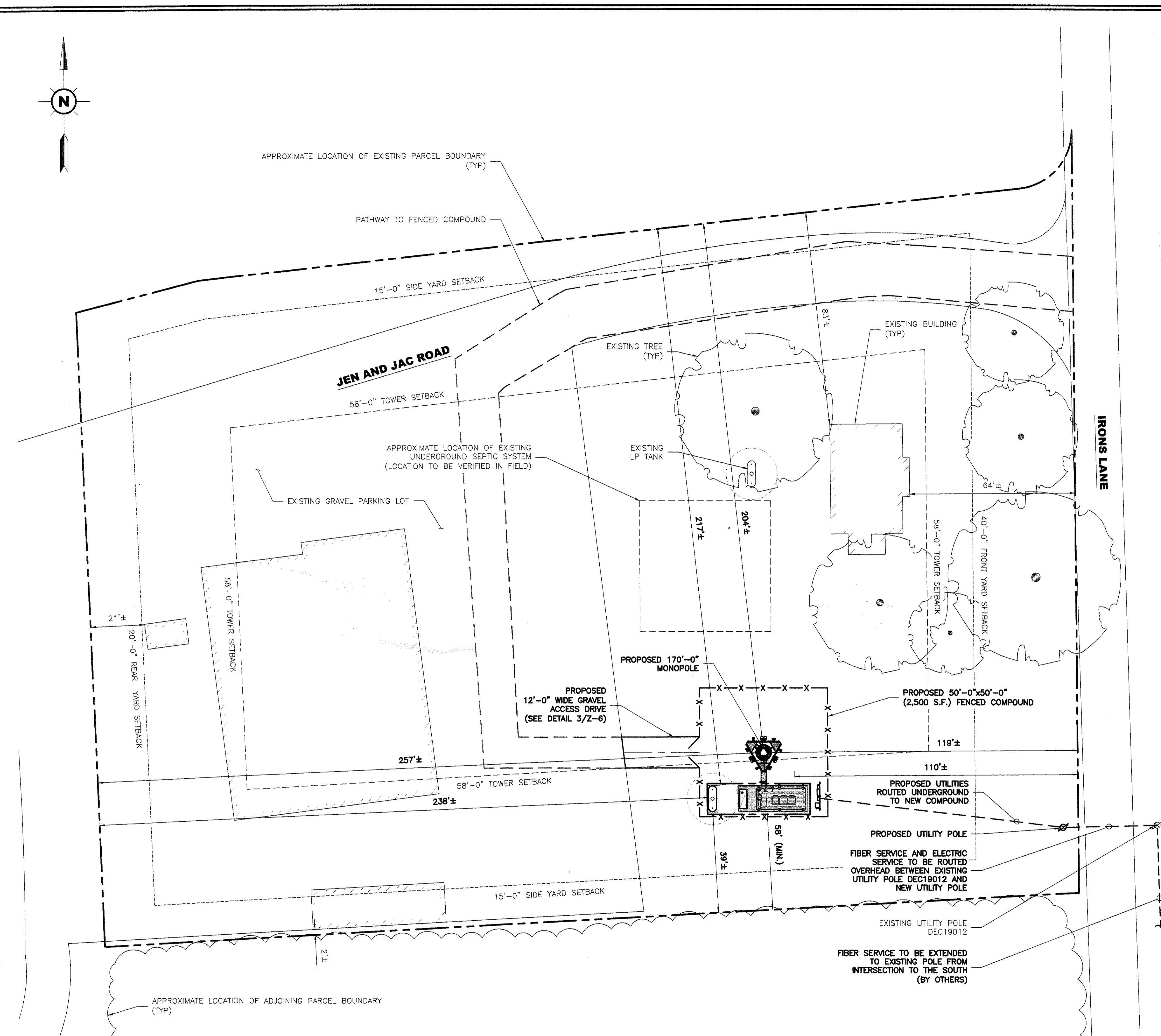
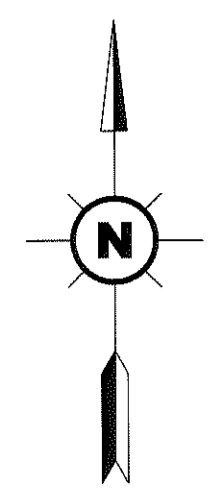
PROJECT MANAGER _____ DATE: _____
CONSTRUCTION _____ DATE: _____



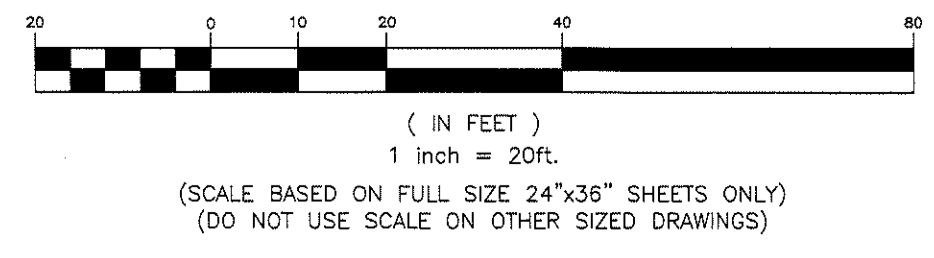
Know what's below.
Call before you dig.

PROTECT YOURSELF. GIVE THREE WORKING DAYS NOTICE.
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.





1 SITE PLAN
Z-1 SCALE: 1" = 20'-0"
GRAPHIC SCALE



SITE INFORMATION

SITE NAME:	DOV CRIPPLE CREEK
SITE ADDRESS:	30240 IRONS LANE DAGSBORO, DELAWARE 19939
ZONING DISTRICT:	AR-1
PIN:	134-7.00-127.00
JURISDICTION:	SUSSEX COUNTY, DELAWARE
SITE COORDINATES:	N 38° 34' 11.16" (NAD 83) W 75° 08' 33.30" (NAD 83)
GROUND ELEVATION:	12.6± (NAVD 88)
STRUCTURE TYPE:	MONOPOLE
STRUCTURE HEIGHT:	174± AGL (HIGHEST APPURTENANCE)
SIZE OF LEASE AREA:	12'-0"W x 40'-0"L (480.0 S.F.)
ANTENNA RAD CENTER:	165'-0± AGL
LANDLORD NAME:	BANKS DAVID L TTEE REV TR
LANDLORD ADDRESS:	30190 WHITE'S NECK ROAD DAGSBORO, DELAWARE 19939
APPLICANT:	CELLCO PARTNERSHIP D/B/A VERIZON WIRELESS ONE VERIZON WAY MAIL STOP 4AW100 BASKING RIDGE, NEW JERSEY 07920

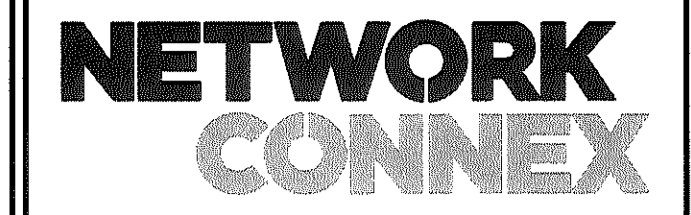
BULK REQUIREMENTS

ZONING DISTRICT:	AR-1		
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MAX. HEIGHT:	42 FT.	<42 FT.	NO CHANGE
MIN. LOT AREA:	20,000 S.F.	87,120 S.F.	NO CHANGE
MIN. LOT WIDTH:	100 FT	272± FT	NO CHANGE
MIN. LOT DEPTH:	100 FT	385± FT.	NO CHANGE
MIN. FRONT YARD:	40 FT	64± FT	NO CHANGE
MIN. SIDE YARD:	15 FT	2± FT	NO CHANGE
MIN. REAR YARD:	20 FT	21± FT	NO CHANGE
§115-194.2 COMMERCIAL COMMUNICATIONS TOWERS AND ANTENNAS			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE:	1 AC.	2.00 AC.	NO CHANGE
FUTURE CARRIERS:	2	N/A	3+
TOWER SETBACK -			
1/3 TOWER HEIGHT:	58 FT	N/A	58 FT
MIN. FENCE HEIGHT:	6 FT	N/A	8 FT

* PRE-EXISTING CONDITION

GENERAL NOTES:

1. PROPERTY LINE INFORMATION WAS PREPARED USING AVAILABLE SITE PLANS, DEEDS, TAX MAPS, AND PLANS OF RECORD. THIS SHOULD NOT BE CONSTRUED AS AN ACCURATE BOUNDARY SURVEY.
2. THE PROPOSED FACILITY WILL CAUSE NO INCREASE IN STORMWATER RUNOFF. NO DRAINAGE STRUCTURES ARE PROPOSED.
3. THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION (THERE IS NO HANDICAP ACCESS REQUIRED).
4. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
5. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
6. THE PROPOSED DEVELOPMENT DOES NOT INCLUDE STREET SIGNS OF ANY TYPE. NO SIGNS WILL BE POSTED EXCEPT THOSE REQUIRED.
7. THE PROPOSED DEVELOPMENT DOES NOT INCLUDE OUTDOOR STORAGE OR ANY SOLID WASTE RECEPTACLES.
8. ACCORDING TO THE F.I.R.M. COMMUNITY PANEL # 10005C0484K, DATED 03-16-2015, THE PROPOSED SITE IS NOT IN A FLOODPLAIN.



7151 COLUMBIA GATEWAY DRIVE, SUITE A
 COLUMBIA, MARYLAND 21046
 PHONE: (443) 367-0003

www.networkconnex.com

**CELLCO PARTNERSHIP d/b/a
 VERIZON WIRELESS**

**ONE VERIZON WAY
 MAIL STOP 4AW100
 BASKING RIDGE, NEW JERSEY 07920**

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DRAWN BY:	MBM
CHECKED BY:	MRL
SCALE:	NOTED
JOB NO:	19E0092.001

DRAWING TITLE:

SITE PLAN

DRAWING SHEET:

Z-1

**DOV CRIPPLE CREEK
 30240 IRONS LANE
 DAGSBORO, DELAWARE
 19939**

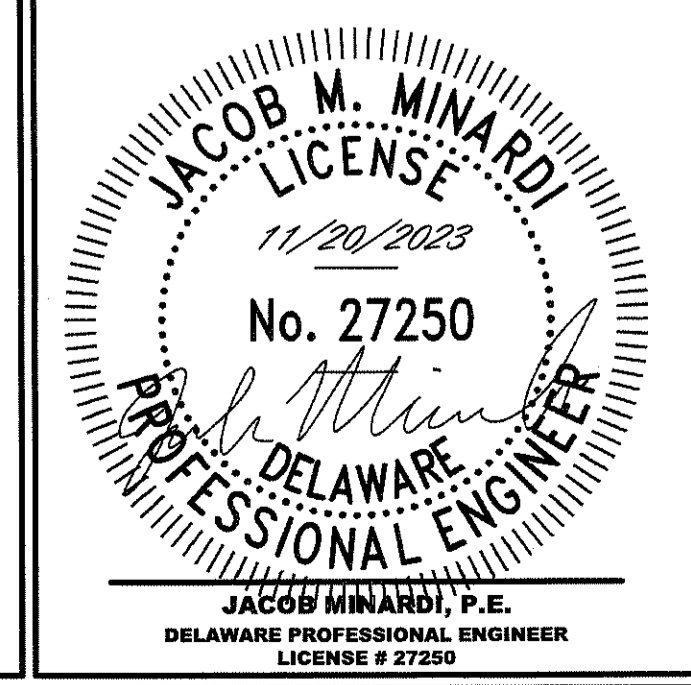
SUSSEX COUNTY, DELAWARE

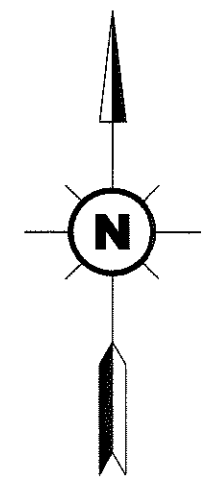
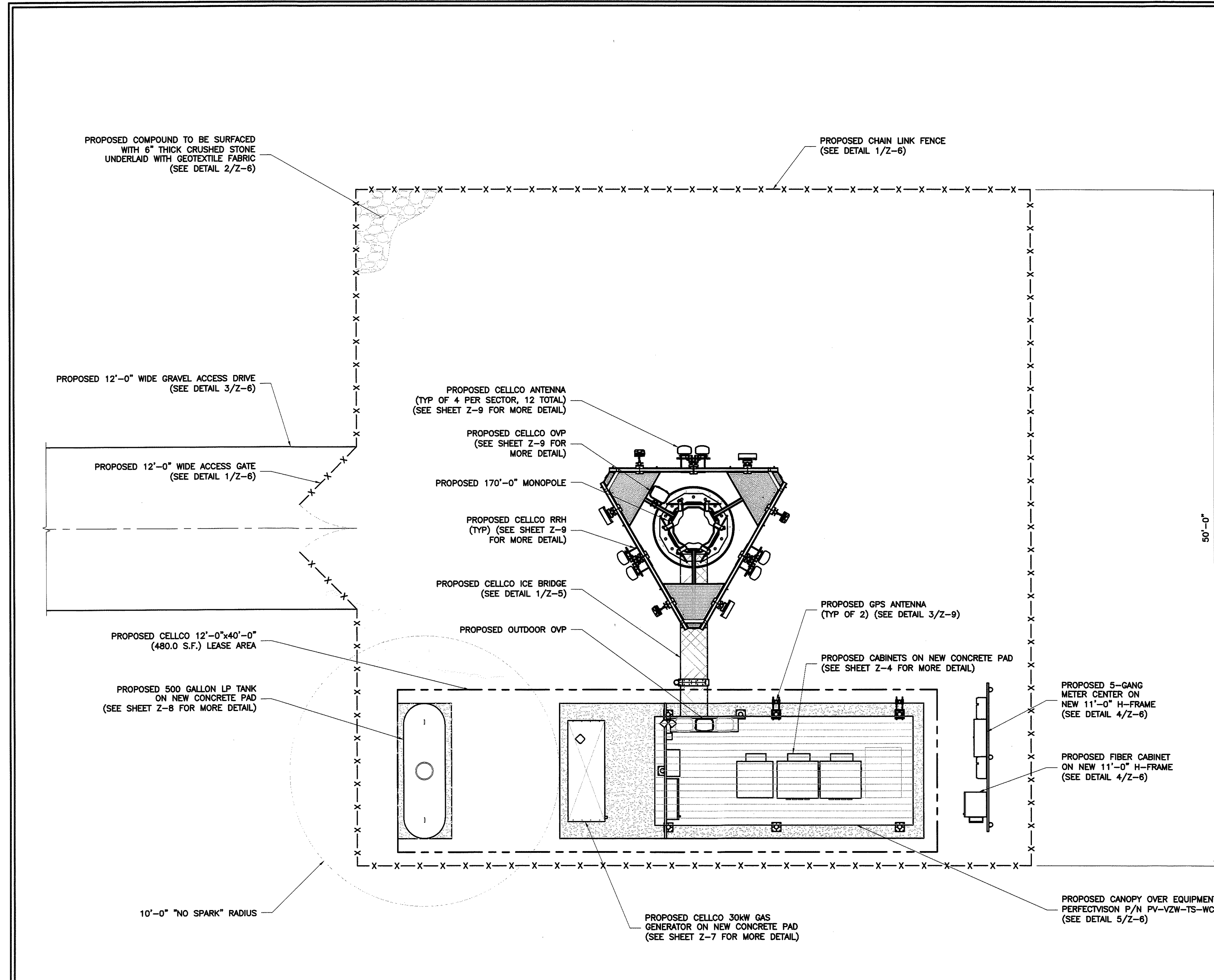
SHEET NO. 2 OF 10



**Know what's below.
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APPLICANT:	CELLCO PARTNERSHIP D/B/A VERIZON WIRELESS ONE VERIZON WAY MAIL STOP 4AW100 BASKING RIDGE, NEW JERSEY 07920

GENERAL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, LAWS AND REGULATIONS OF ALL MUNICIPALITIES, UTILITIES COMPANY OR OTHER PUBLIC AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
3. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, IN WRITING, OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE OF WORK. MINOR OMISSIONS OR ERRORS IN THE BID DOCUMENTS SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR THE OVERALL INTENT OF THESE DRAWINGS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED AS A RESULT OF CONSTRUCTION OF THIS FACILITY.
5. THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
7. THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. (THERE IS NO HANDICAP ACCESS REQUIRED).
8. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
9. THE PROPOSED DEVELOPMENT DOES NOT INCLUDE OUTDOOR STORAGE OR ANY SOLID WASTE RECEPTACLES.
10. THE PROPOSED DEVELOPMENT DOES NOT INCLUDE STREET SIGNS OF ANY TYPE. NO SIGNS WILL BE POSTED EXCEPT THOSE REQUIRED.
11. NO SIGNIFICANT NOISE, SMOKE, DUST OR ODOR WILL RESULT FROM THIS FACILITY.
12. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
13. CONSTRUCTION TO COMMENCE UPON COMPLETION OF A PASSING STRUCTURAL ANALYSIS. STRUCTURAL ANALYSIS TO BE PERFORMED BY OTHERS.
14. CONSTRUCTION TO COMMENCE UPON COMPLETION OF A PASSING MOUNT ANALYSIS. MOUNT ANALYSIS TO BE PERFORMED BY OTHERS.

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**ONE VERIZON WAY
MAIL STOP 4AW100
BASKING RIDGE, NEW JERSEY 07920**

SCHEDULE OF REVISIONS		
6		
5		
4		
3		
2		
1	11-16-23	REVISED PER COMMENTS
0	10-04-23	ZONING SUBMITTAL
A	09-21-23	90% REVIEW
REV. NO.	DATE	DESCRIPTION OF CHANGES

DRAWN BY:	MBM
CHECKED BY:	MRL
SCALE:	NOTED
JOB NO.:	19E0092.001

DRAWING TITLE:

COMPOUND PLAN

DRAWING SHEET:

Z-2

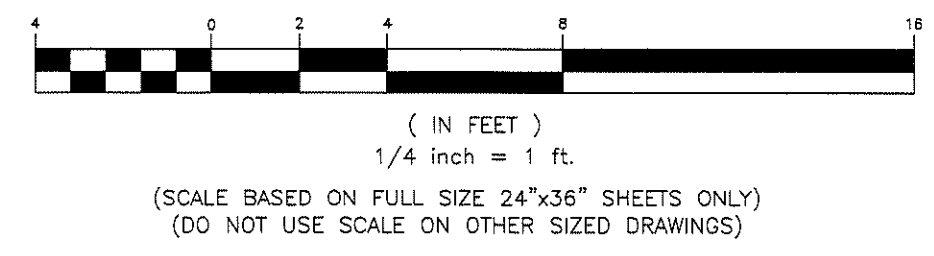
DOV CRIPPLE CREEK

**30240 IRONS LANE
DAGSBORO, DELAWARE
19939**

SUSSEX COUNTY, DELAWARE

SHEET NO. 3 OF 10

1
Z-2 **COMPOUND PLAN**
SCALE: 1/4" = 1'-0"



- NOTE:**
1. TO PREVENT ANY NEGATIVE IMPACT TO THE SENSITIVE RECEPTORS, SEDIMENT AND EROSION CONTROL MEASURES, SUCH AS SILT FENCES, STRAW WATTLES, AND OTHER STORMWATER BEST MANAGEMENT PRACTICES, MUST BE IMPLEMENTED PRIOR TO AND MAINTAINED THROUGHOUT CONSTRUCTION.
 2. ALL WORK SHALL CONFORM TO GOVERNING SOIL CONSERVATION REQUIREMENTS.

811

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JACOB M. MINARDI
LICENSE
11/20/2023
No. 27250
JACOB M. MINARDI, P.E.
DELAWARE PROFESSIONAL ENGINEER
LICENSE # 27250

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DRAWN BY:	MBM
CHECKED BY:	MRL
SCALE:	NOTED
JOB NO:	19E0092.001

DRAWING TITLE:

ELEVATION

DRAWING SHEET:

Z-3

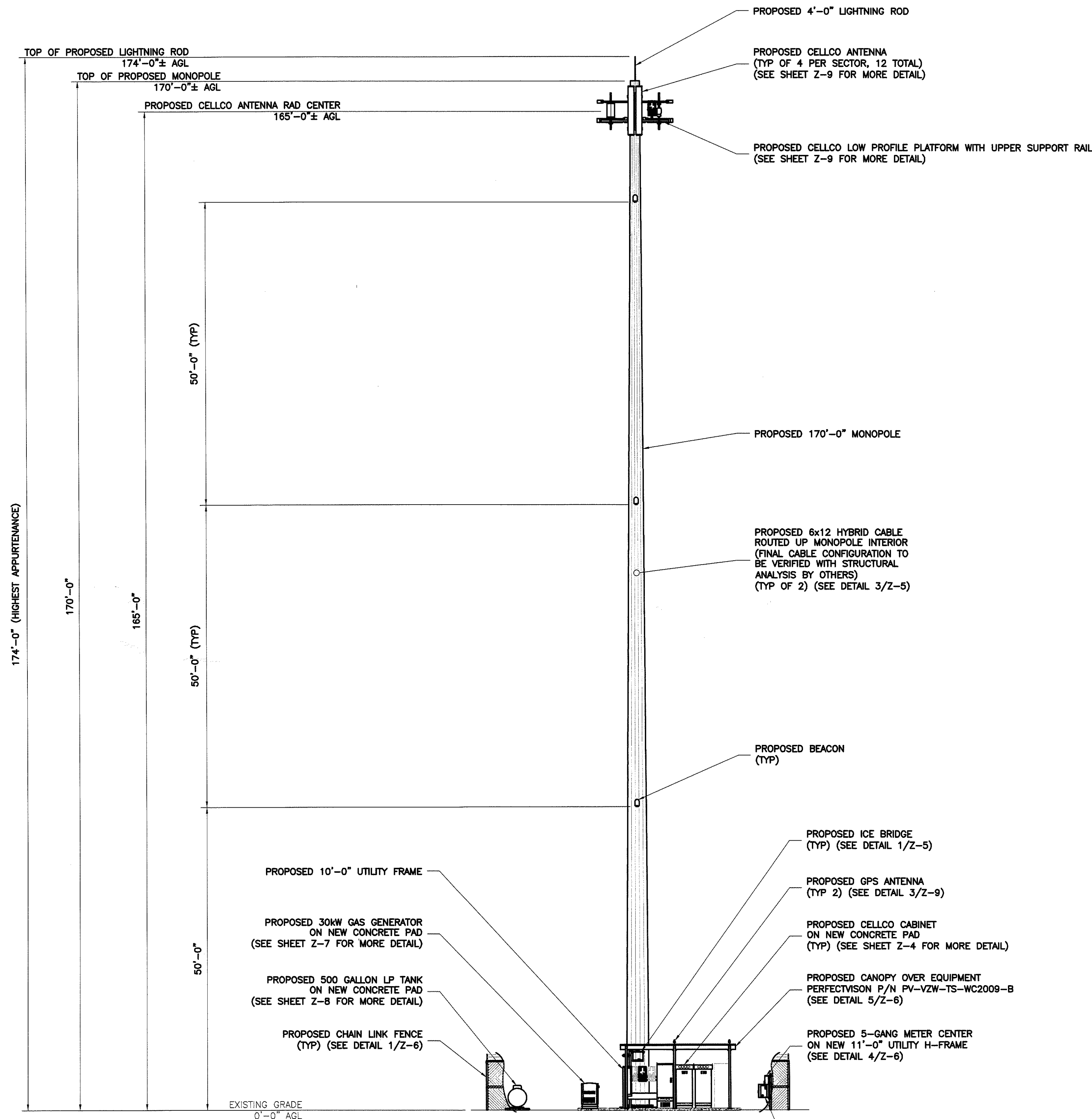
DOV CRIPPLE CREEK

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DAGSBORO, DELAWARE
19939

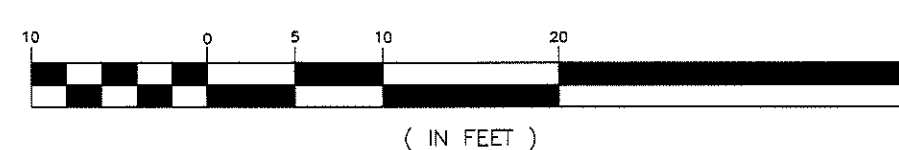
SUSSEX COUNTY, DELAWARE

SHEET NO. 4 OF 10

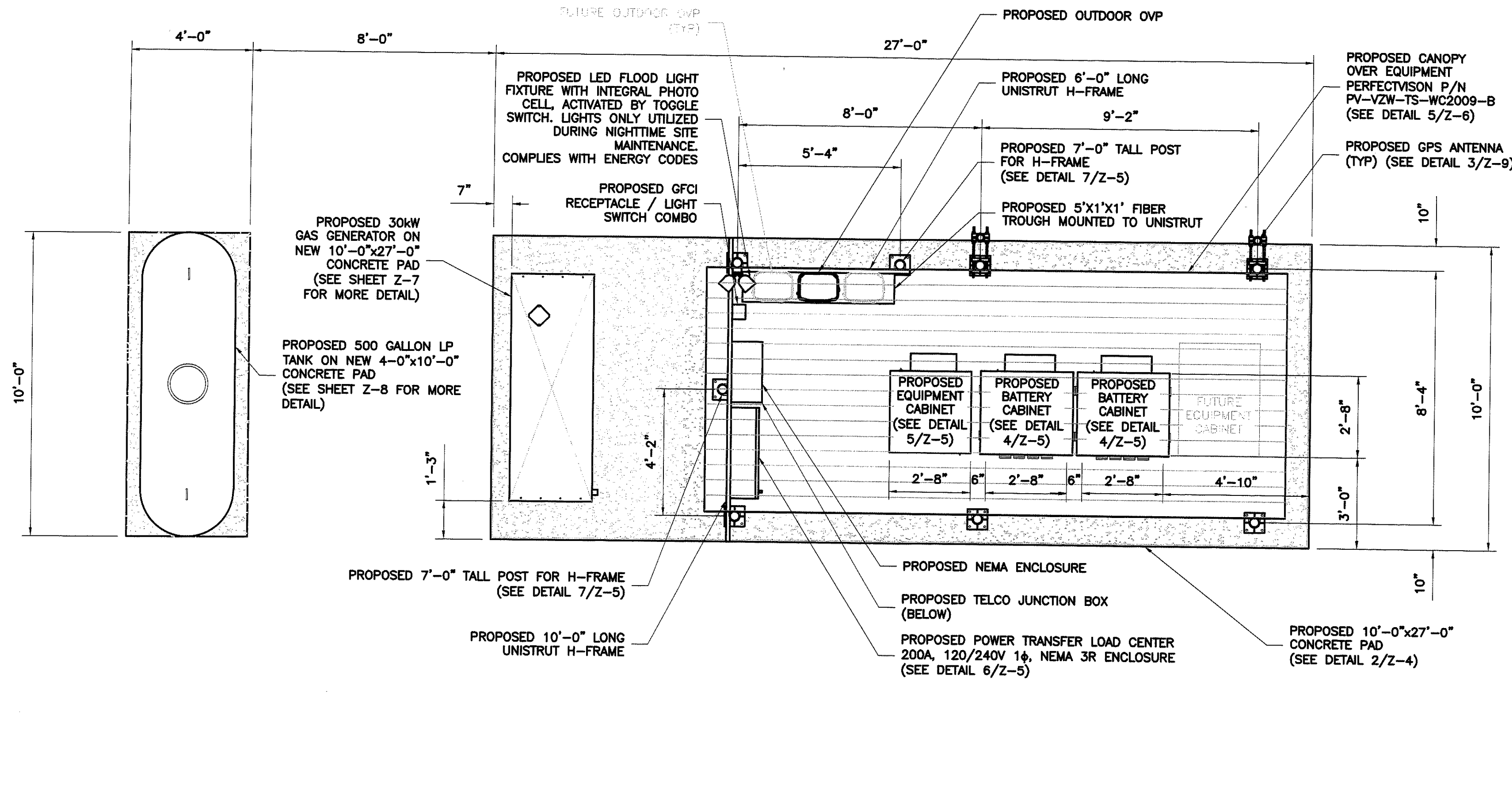
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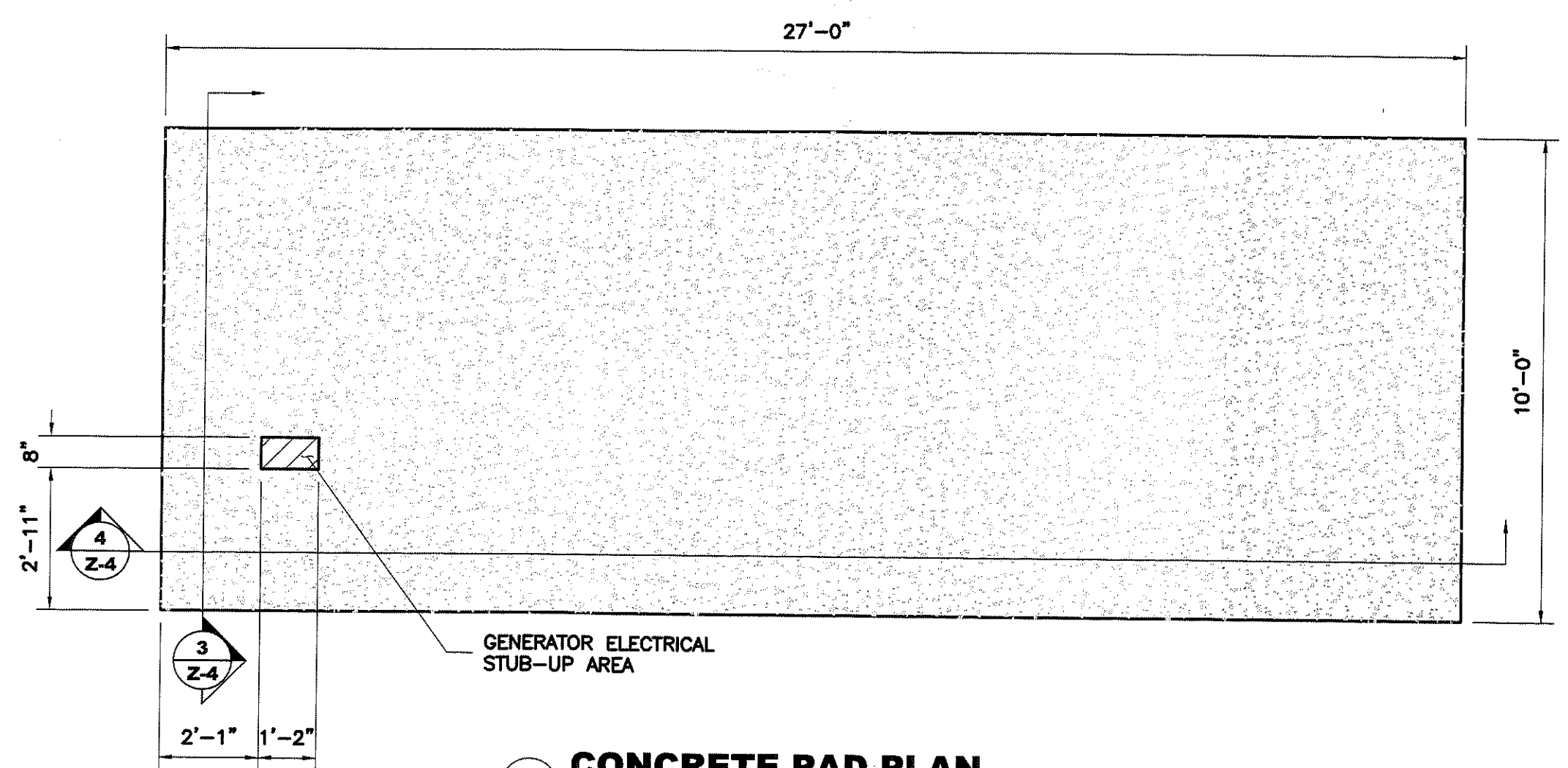
ELEVATION
SCALE: 1" = 10'-0"



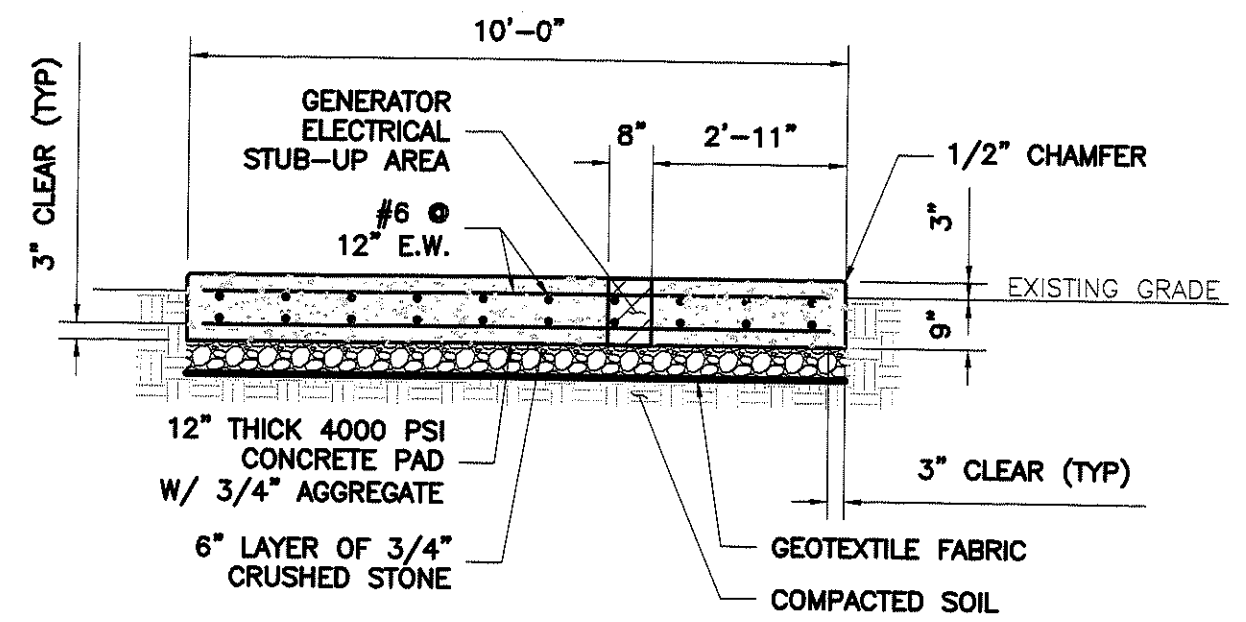
(SCALE BASED ON FULL SIZE 24"x36" SHEETS ONLY)
(DO NOT USE SCALE ON OTHER SIZED DRAWINGS)



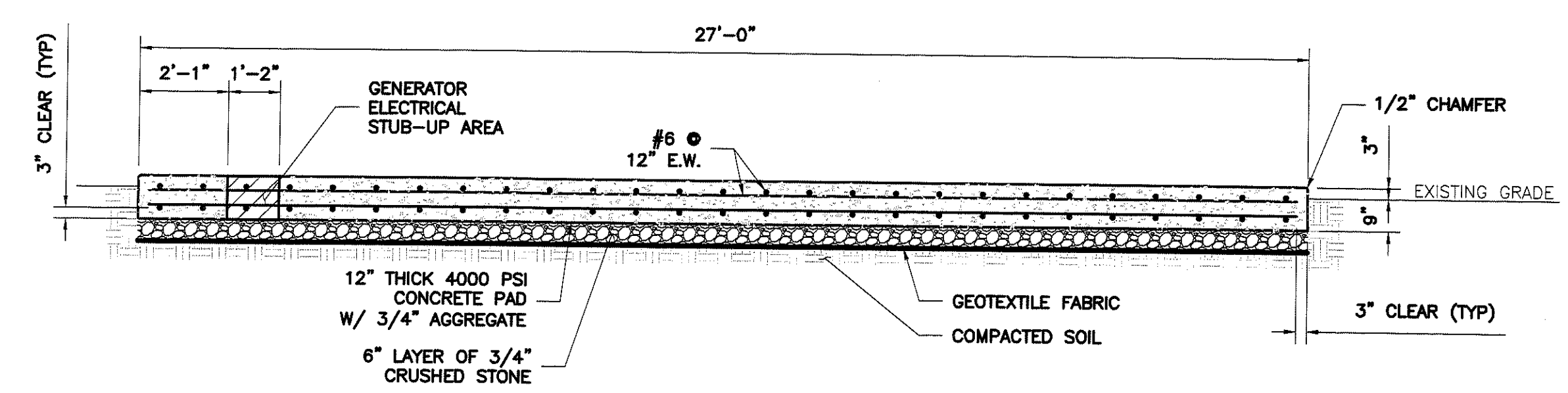
1 EQUIPMENT LAYOUT PLAN
Z-4 N.T.S.



2 CONCRETE PAD PLAN
Z-4 N.T.S.



3 CONCRETE PAD SECTION
Z-4 N.T.S.



4 CONCRETE PAD SECTION
Z-4 N.T.S.

STRUCTURAL NOTES

1. DESIGN INFORMATION AND GENERAL REQUIREMENTS
 - 1.1 CODES
 - a. DESIGN CONFORMS TO INTERNATIONAL BUILDING CODE (IBC) 2021.
 - b. AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," ACI 318-19.
 2. EARTHWORK
 - 2.1 FOUNDATIONS
 - a. FOUNDATIONS HAVE BEEN DESIGNED TO BEAR ON UNDISTURBED RESIDUAL SOILS, CAPABLE OF SAFELY SUPPORTING A NET ALLOWABLE BEARING PRESSURE OF 2000 PSF. IF FOUNDATION CONDITIONS PROVE UNACCEPTABLE AT ELEVATIONS SHOWN, EXCAVATION SHALL BE CARRIED DEEPER AND SHALL BE BACKFILLED WITH LEAN CONCRETE TO PLAN FOOTING BOTTOM, OR REDESIGN OF FOUNDATIONS WILL BE REQUIRED AT THE DIRECTION OF THE ENGINEER.
 - b. DESIGN, FURNISH AND INSTALL ALL TEMPORARY SHEETING, SHORING AND DRAINAGE NECESSARY TO MAINTAIN THE EXCAVATION AND PROTECT SURROUNDING STRUCTURES AND UTILITIES.
 - c. THOROUGHLY COMPACT ALL BOTTOM OF FOOTINGS PRIOR TO PLACING ANY CONCRETE.
 3. CONCRETE
 - 3.1 FORMWORK
 - a. CONCRETE CONSTRUCTION SHALL CONFORM TO "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS," (ACI 301-20).
 - b. FORMWORK SHALL CONFORM TO ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS."
 - 3.2 REINFORCEMENT
 - a. REINFORCING STEEL ASTM A615, GRADE 60. WELDED WIRE ASTM A185 (FLAT SHEET). LAPS 40 BAR DIAMETERS UNLESS NOTED. BARS SHALL BE SECURELY HELD IN ACCURATE POSITION BY SUITABLE ACCESSORIES, TIE BARS, SUPPORT BARS, ETC. HOOK LENGTHS SHALL BE 12 BAR DIAMETERS.
 - b. CONCRETE COVER FOR REINFORCING BARS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED:

FOOTINGS & SLABS CAST AGAINST GROUND	CONCRETE TO BE IN CONTACT WITH GROUND OR WEATHER	CONCRETE NOT TO BE EXPOSED TO GROUND OR WEATHER
3"	2"	1 1/2"
	AT BARS GREATER THAN #5	1 1/2"
	AT BARS #5 OR LESS	3/4"
 - 3.3 CAST-IN-PLACE-CONCRETE
 - a. MINIMUM 28 DAY CYLINDER STRENGTH AND MAXIMUM SLUMP, PRIOR TO ADDITION OF SUPER PLASTICIZERS, AS FOLLOWS:

	F _c (PSI)	SLUMP
CLASS I FOOTINGS	3000	3"
CLASS III INTERIOR ELEVATED SLABS & WALLS	4000	4"
CLASS V OTHER WORK	4000	4"
CLASS VI LEAN CONCRETE FOR OVER-EXCAVATION OF FOUNDATIONS	2000	N/A
 - b. MIX DESIGN TO BE IN ACCORDANCE WITH ACI 318, CHAPTER 5. NO CALCIUM CHLORIDE OR ADMIXTURE CONTAINING CHLORIDES SHALL BE USED IN ANY CONCRETE.
 - c. COARSE AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL CONFORM TO ASTM C33 SIZE #57. COARSE AGGREGATE FOR LIGHT WEIGHT CONCRETE SHALL CONFORM TO ASTM C330 GRADED 3/4" TO 1 1/4".
 - d. COLD WEATHER PLACEMENT SHALL COMPLY WITH ACI 306.1
 - e. HOT WEATHER PLACEMENT SHALL COMPLY WITH ACI 305 R.
 - f. CHAMFER ALL EXPOSED EDGES 3/4".
 - g. THE MAXIMUM TEMPERATURE OF ALL CONCRETE AT DELIVERY TO THE SITE SHALL BE 85°F. TOTAL DELIVERY TIME SHALL BE LESS THAN 75 MIN.
 4. STRUCTURAL STEEL
 - 4.1 MATERIALS
 - a. STRUCTURAL STEEL ASTM A992
 - MISC & PLATE ASTM A36, U.N.O.
 - HSS ASTM A500, GRADE B, F_y=46 ksi
 - PIPES ASTM A53, GRADE B
 - b. BOLTS ASTM A325 U.N.O.
 - c. WELDING ELECTRODES AWS A5.1 (E70XX)
 - d. STEEL CONSTRUCTION SHALL CONFORM TO "SPECIFICATION FOR STRUCTURAL STEEL FOR BUILDINGS".
 - e. WELDING SHALL CONFORM TO AWS D1.1 "STRUCTURAL WELDING CODE".
 - f. THE FABRICATOR SHALL FURNISH CHECKED SHOP AND ERECTION DRAWINGS TO THE ENGINEER, AND OBTAIN APPROVAL PRIOR TO FABRICATING ANY STRUCTURAL STEEL. SHOP DRAWINGS SHALL CONFORM TO AISC "DETAILING FOR STEEL CONSTRUCTION".
 - 4.2 CONNECTIONS
 - a. SHOP CONNECTIONS MAY BE BOLTED OR WELDED.
 - b. FIELD CONNECTIONS BOLTED WITH A325-N BOLTS, (INSTALLED SNUG TIGHT) UNLESS OTHERWISE SPECIFIED OR IF WELDED CONNECTIONS ARE NOTED ON DRAWINGS.
 - c. FIELD CONNECTIONS SHALL BE MADE WITH HIGH TENSILE BOLTS AND HARDENED WASHERS EXCEPT AS INDICATED ON THE DESIGN DRAWINGS.
 - d. CONNECTIONS NOT SHOWN ON DRAWINGS SHALL BE DESIGNED BY THE STEEL FABRICATOR. CONNECTIONS SHALL BE DESIGNED IN ACCORDANCE WITH AISC "SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS" AND AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".
 - e. DO NOT FIELD CUT OR ALTER STRUCTURAL MEMBERS WITHOUT PRIOR WRITTEN APPROVAL OF ENGINEER.
 - 4.3 FINISHES
 - a. STRUCTURAL STEEL SHALL BE HOT DIP GALVANIZED AFTER FABRICATION PER ASTM A123.
 - b. ALL STEEL SHALL BE CLEANED OF RUST, LOOSE MILL SCALE AND OTHER FOREIGN MATERIALS AND BE HOT DIPPED GALVANIZED OR STAINLESS STEEL IF OTHERWISE INDICATED ON PLAN.
 - c. FIELD FABRICATIONS SHALL BE TREATED WITH ZRC COLD GALVANIZING COMPOUND OR EQUAL PRIOR TO ASSEMBLY.
 - d. BOLTS AND NUTS SHALL BE HOT DIP GALVANIZED PER ASTM A153.

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A	09-21-23	90% REVIEW

DRAWN BY: MBM
CHECKED BY: MRL
SCALE: NOTED
JOB NO: 19E0092.001

DRAWING TITLE:

**EQUIPMENT
PAD DETAILS &
NOTES**

DRAWING SHEET:

Z-4

DOV CRIPPLE CREEK

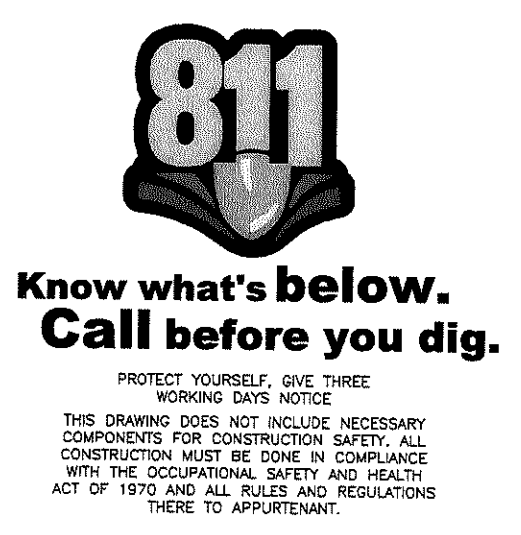
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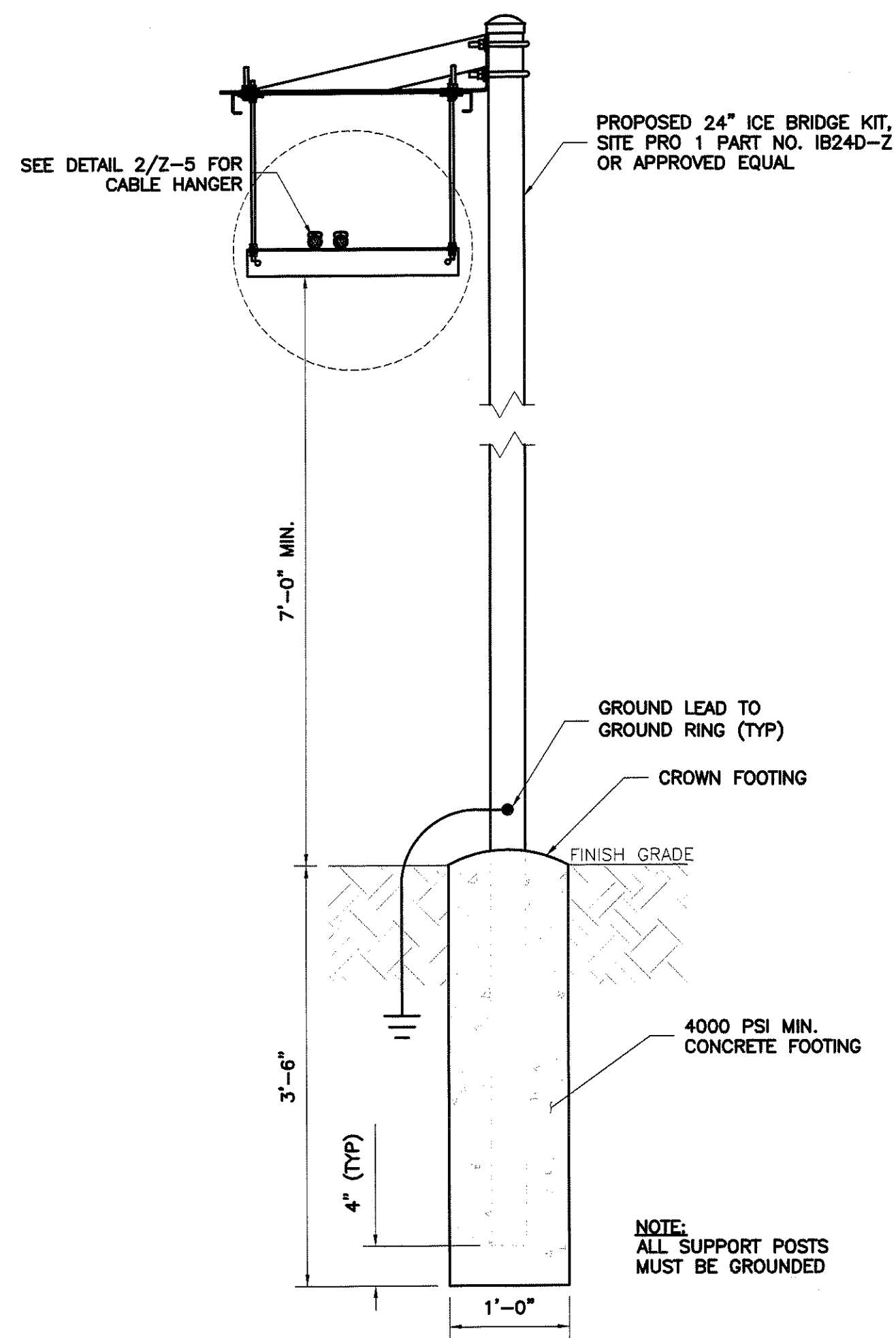
SUSSEX COUNTY, DELAWARE

SHEET NO. 5 OF 10

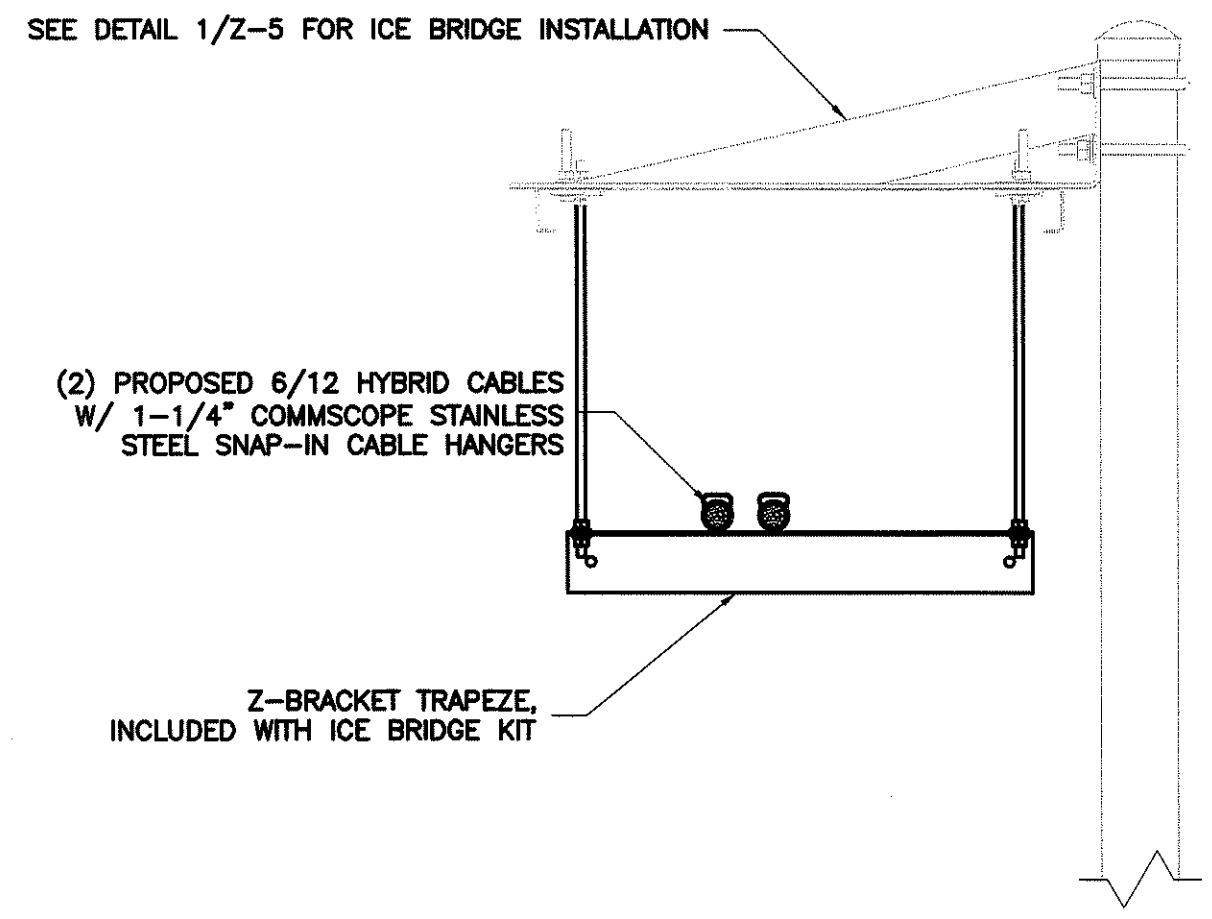
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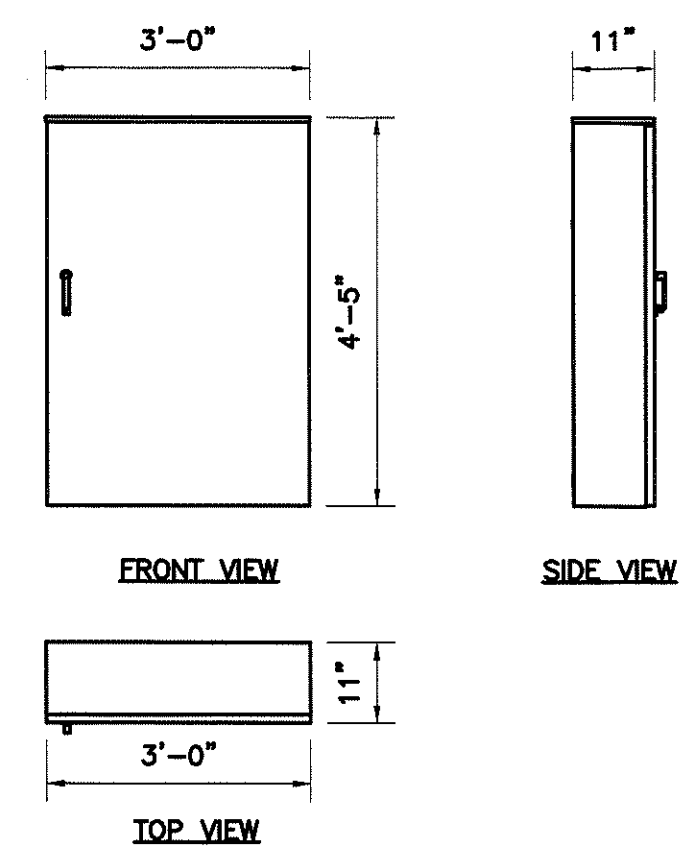




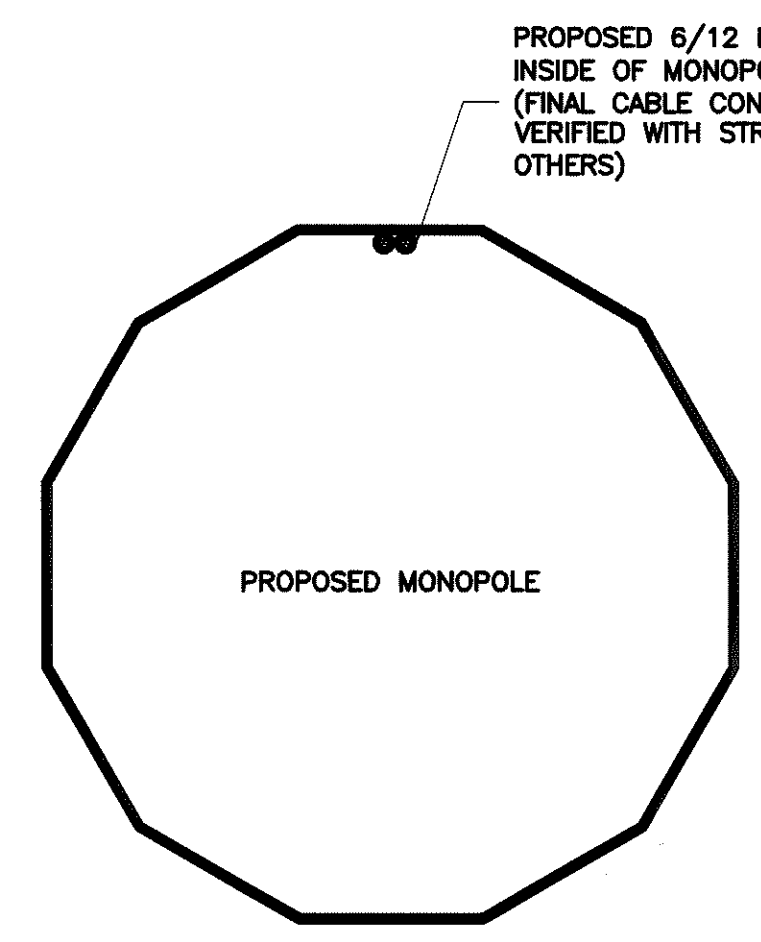
1 ICE BRIDGE SECTION
Z-5 N.T.S.



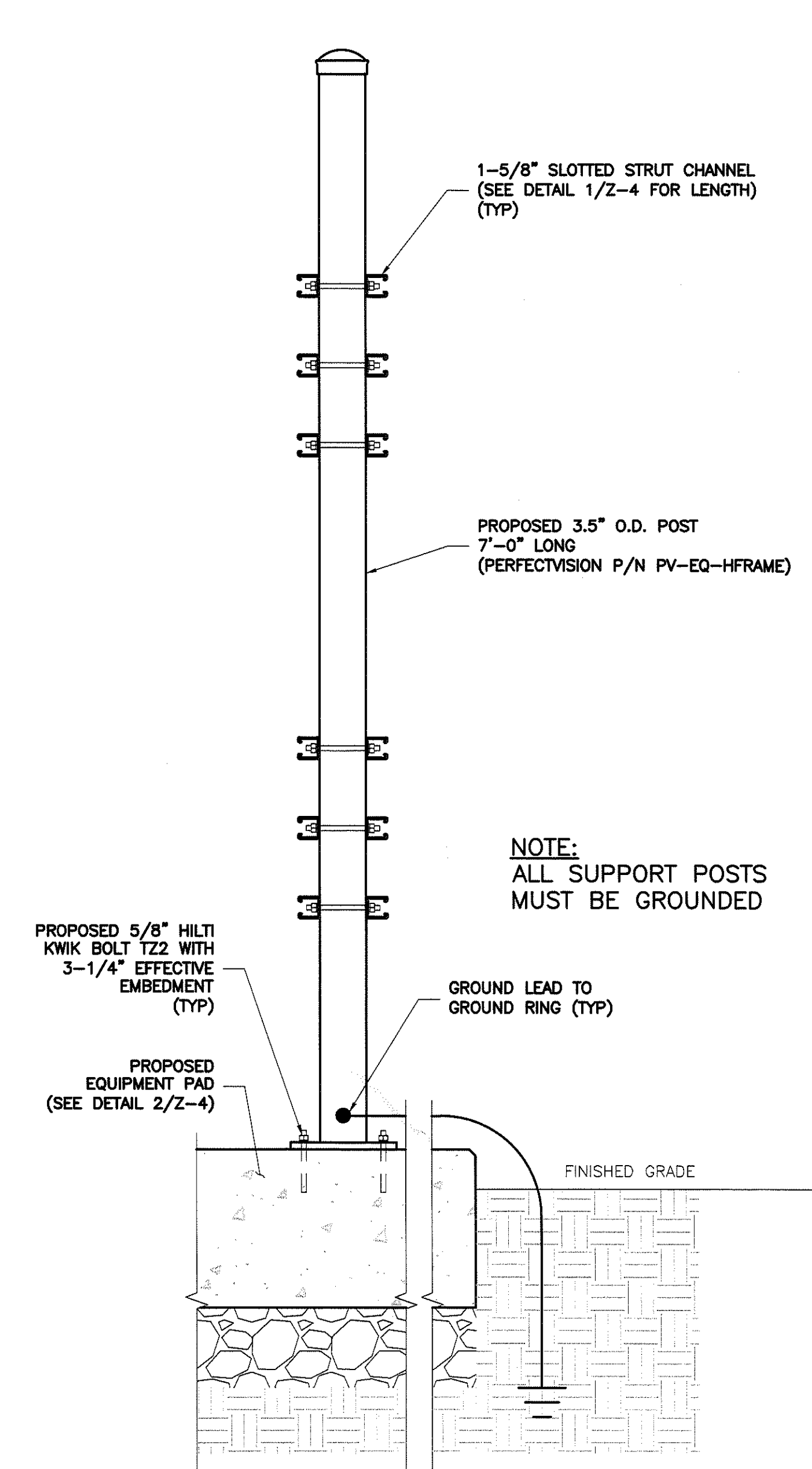
2 CABLE SUPPORT SECTION
Z-5 N.T.S.



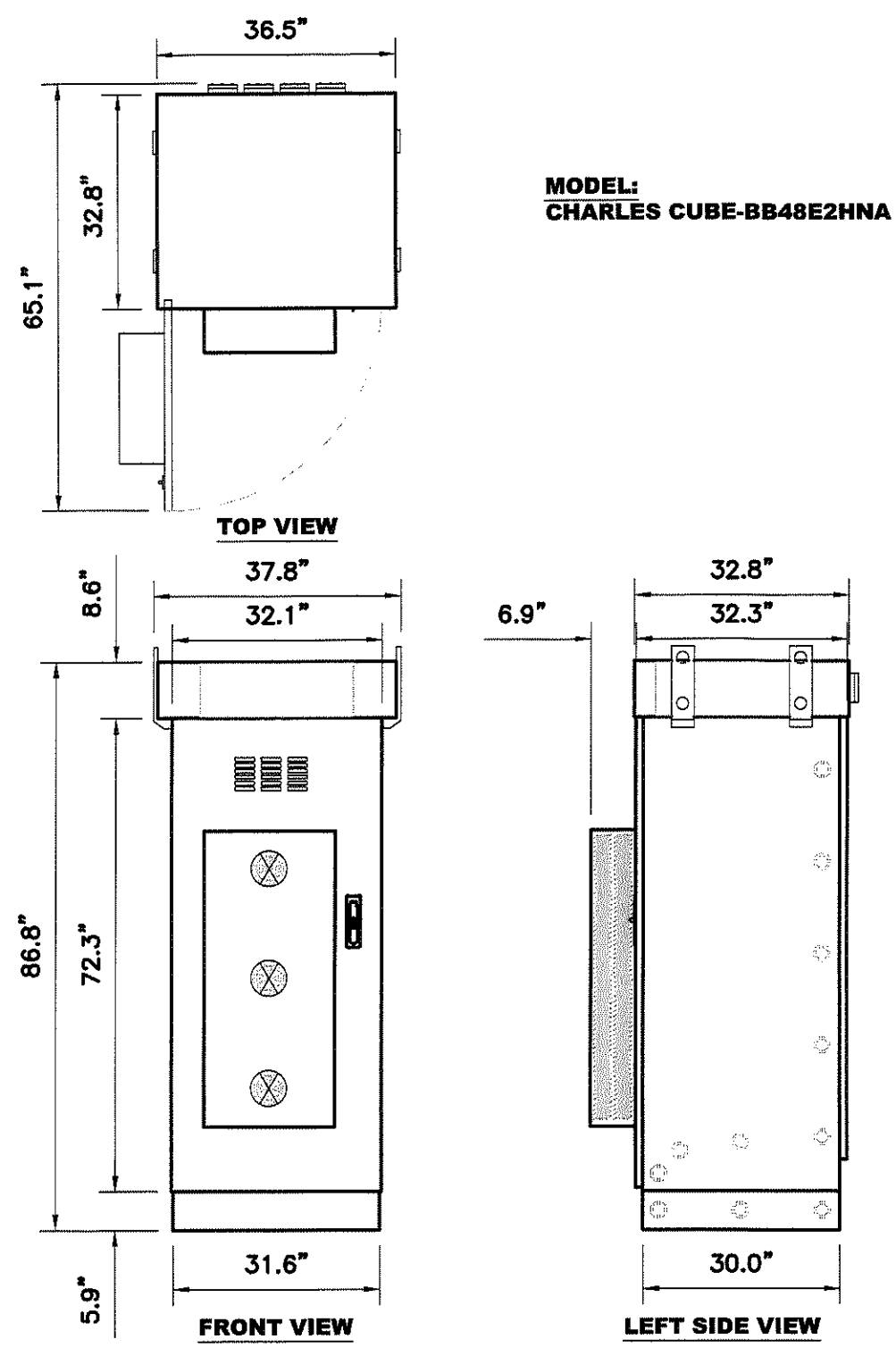
6 POWER TRANSFER LOAD CENTER (PTLC) DETAIL
Z-5 N.T.S.



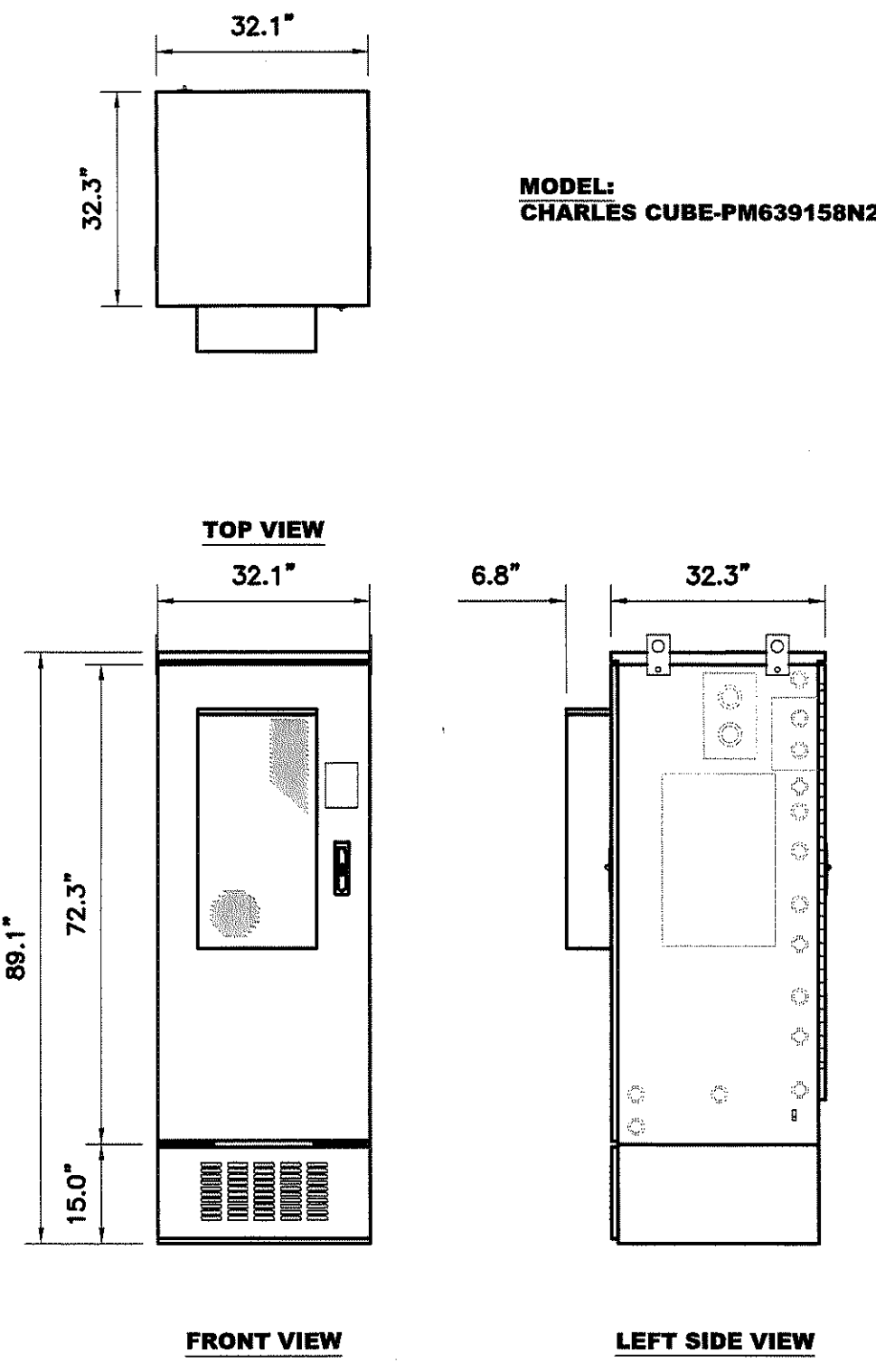
3 CABLE ROUTING SECTION
Z-5 N.T.S.



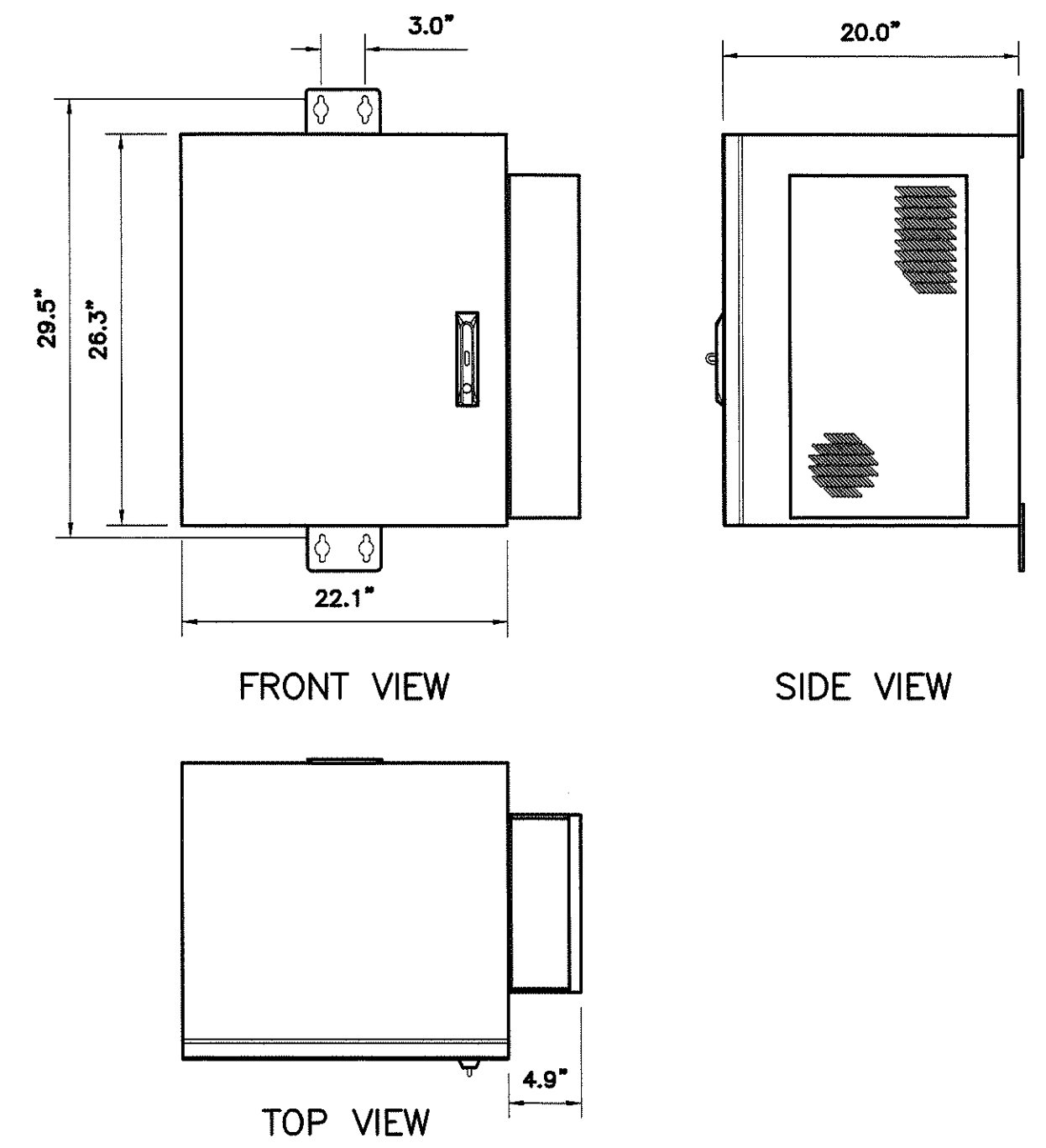
7 EQUIPMENT H-FRAME POST
Z-5 N.T.S.



4 BATTERY CABINET DETAIL
Z-5 N.T.S.



5 EQUIPMENT CABINET DETAIL
Z-5 N.T.S.



8 CHARLES RL1000 CUBE CABINET
Z-5 N.T.S.

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CHECKED BY: MRL
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JOB NO: 19E0092.001

DRAWING TITLE:

CONSTRUCTION DETAILS

DRAWING SHEET:

Z-5

DOV CRIPPLE CREEK
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DAGSBORO, DELAWARE
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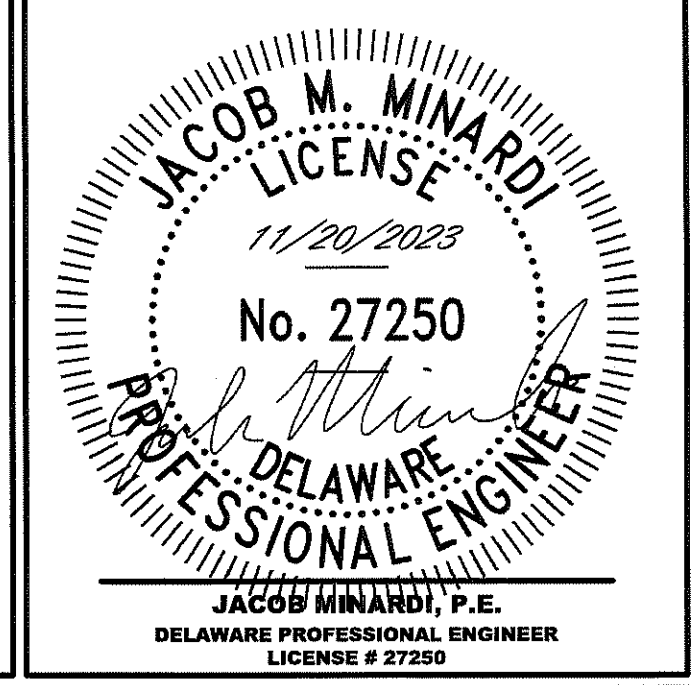
SUSSEX COUNTY, DELAWARE

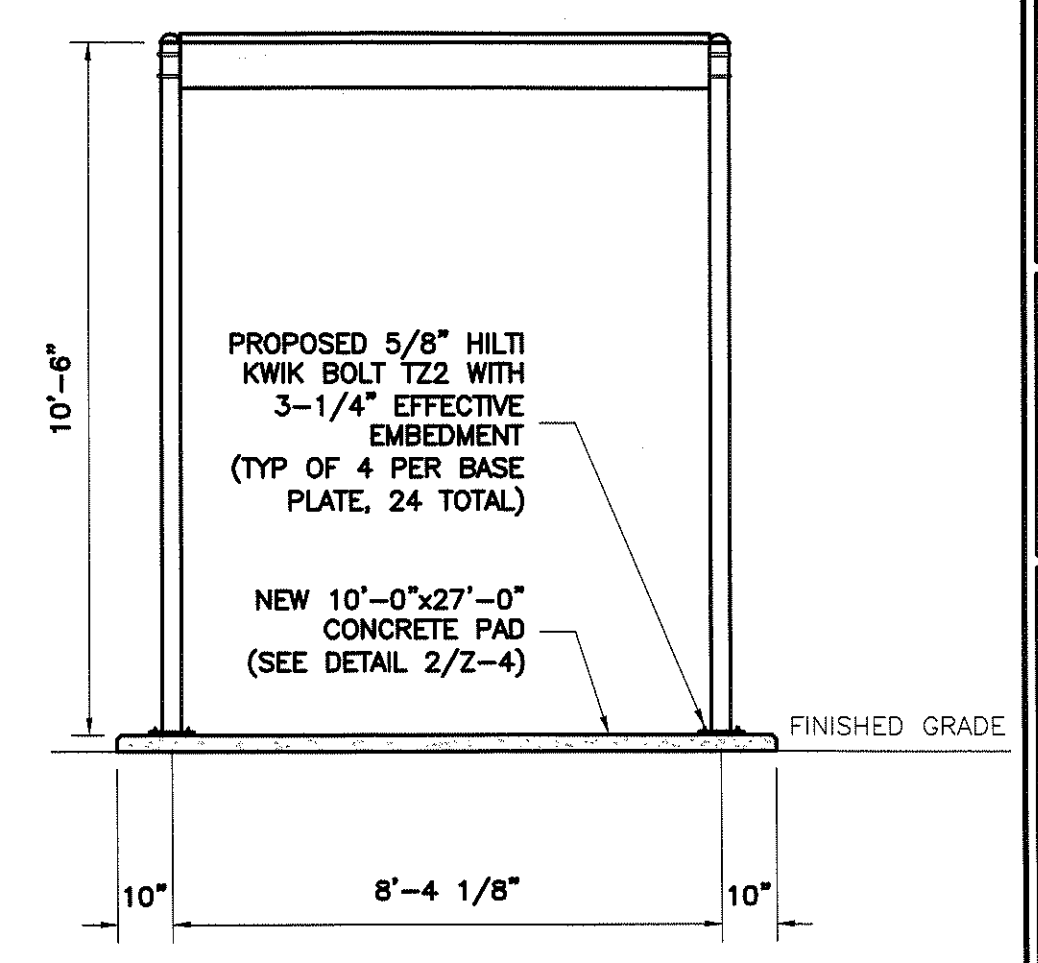
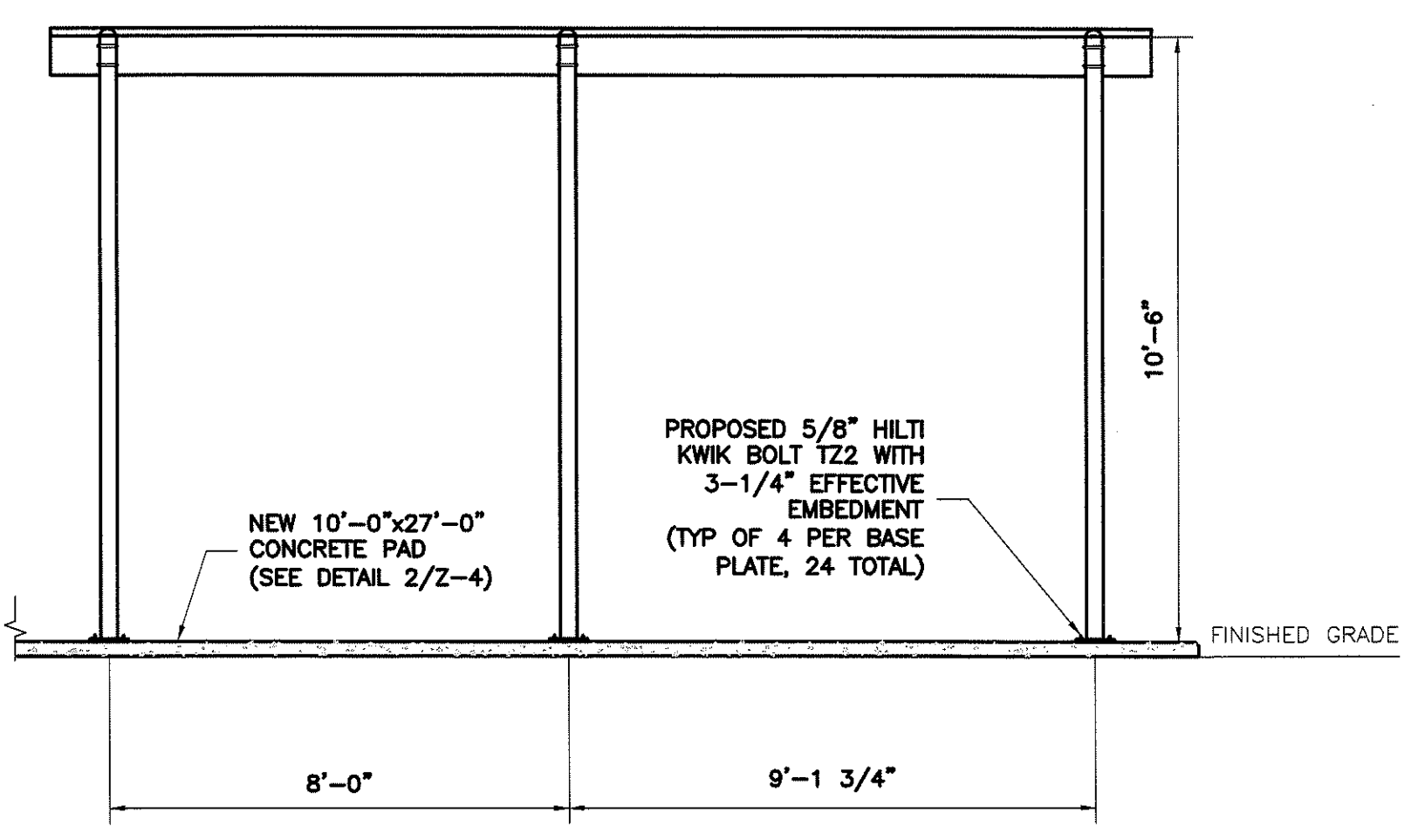
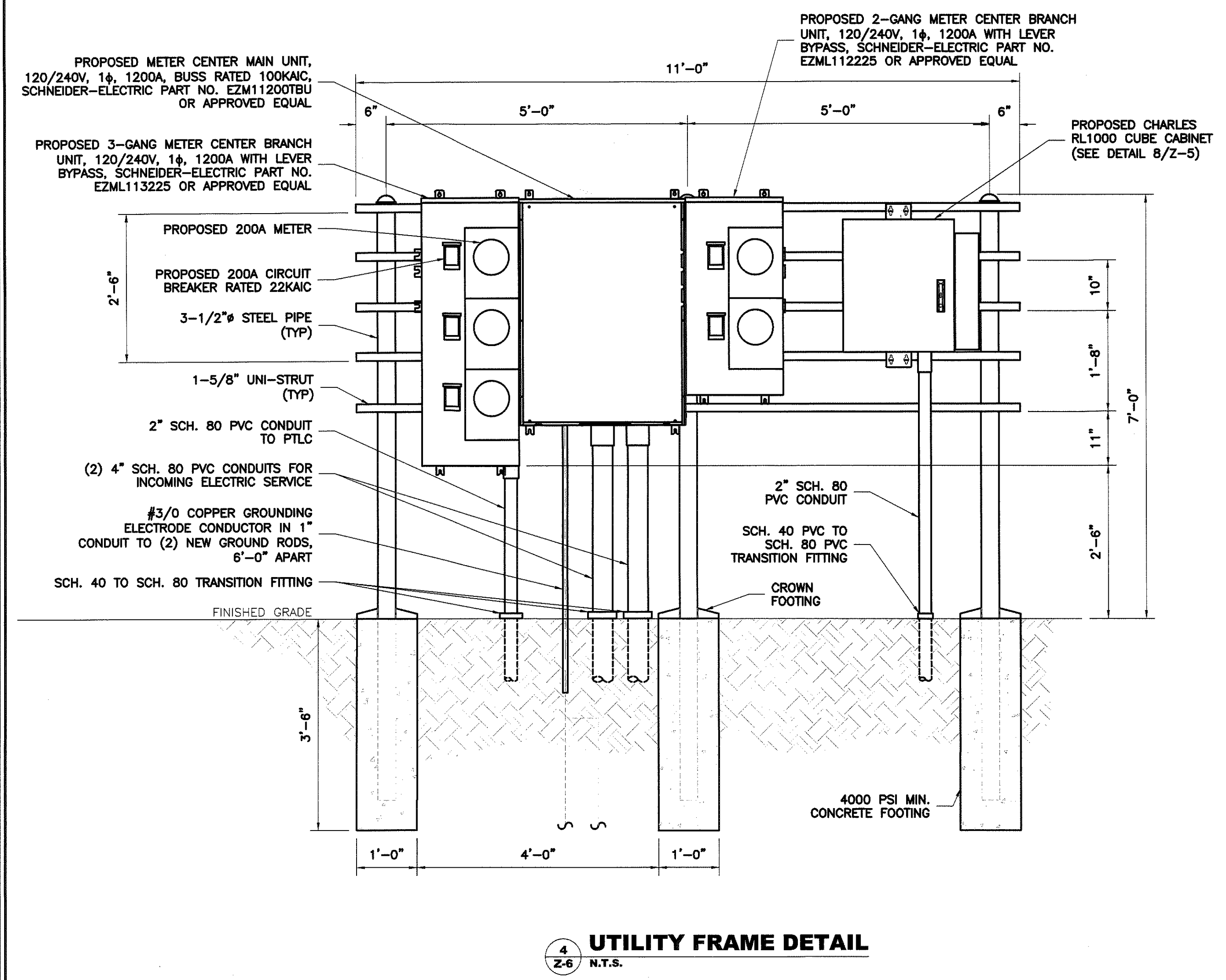
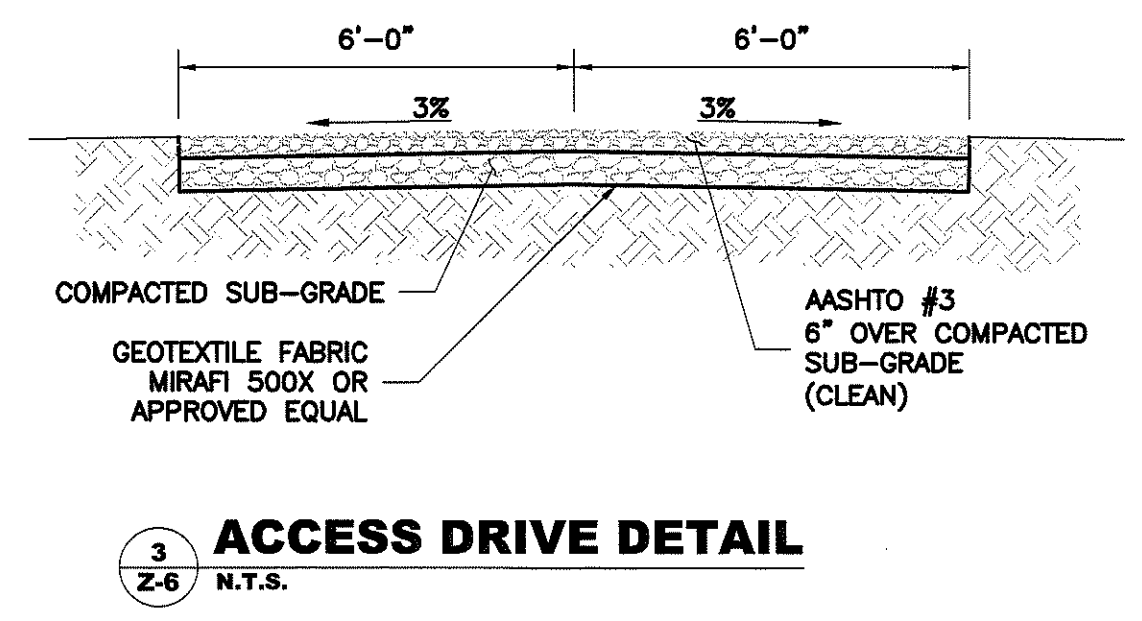
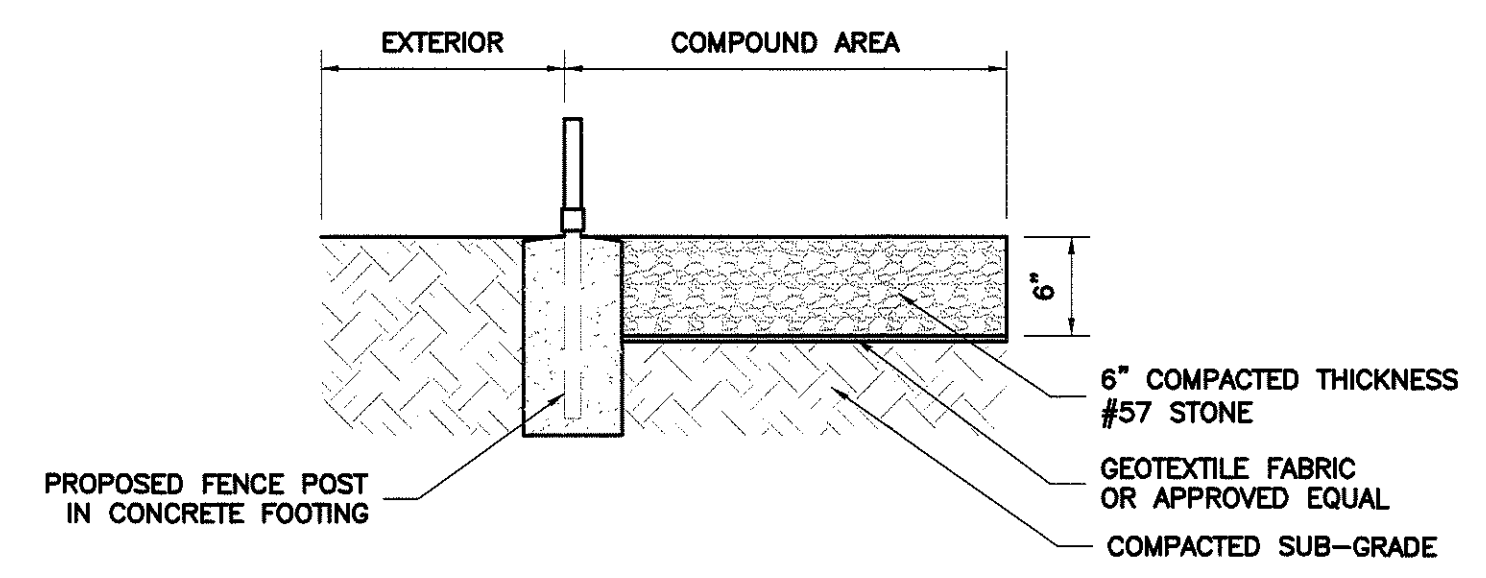
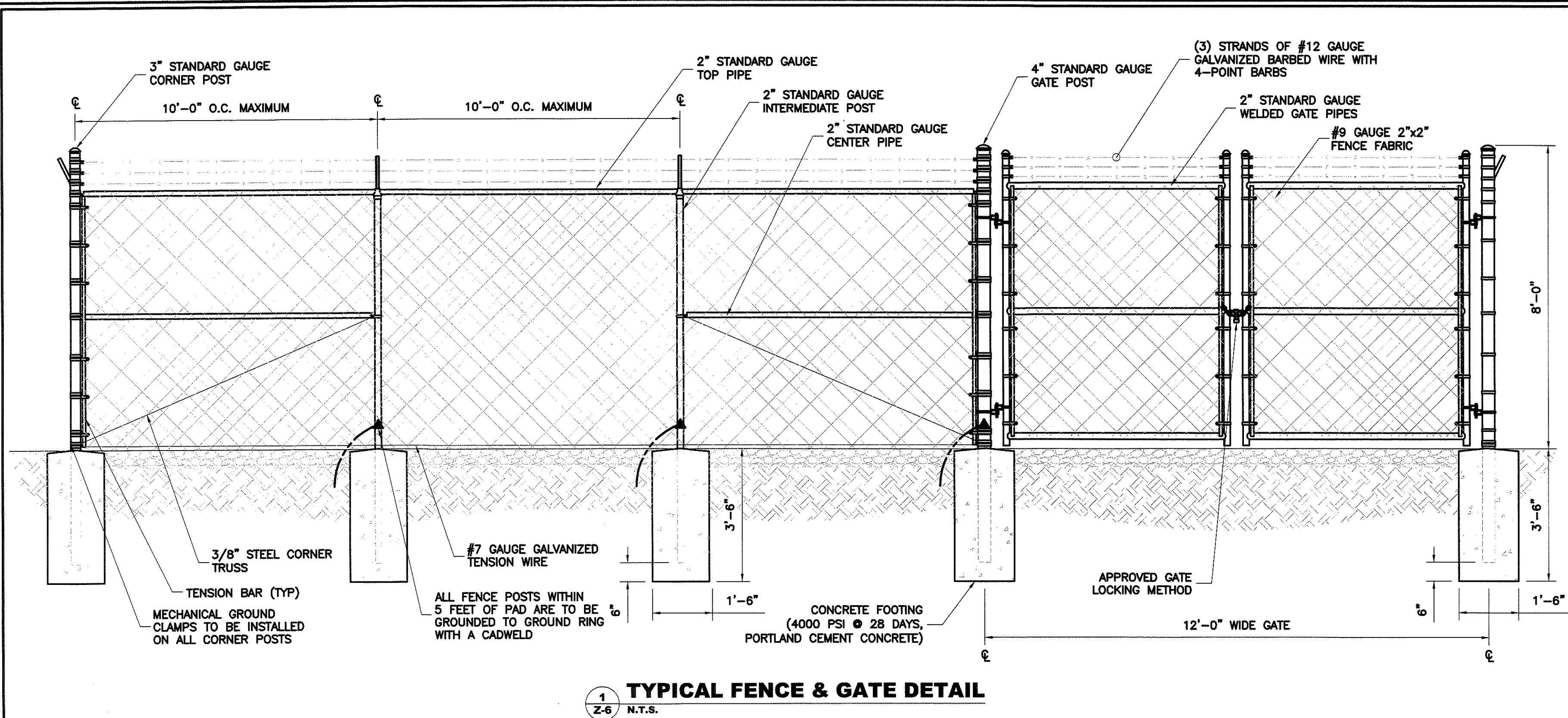
SHEET NO. 6 OF 10



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CHECKED BY: MRL
SCALE: NOTED
JOB NO: 19E0092.001

CONSTRUCTION DETAILS (CONTINUED)

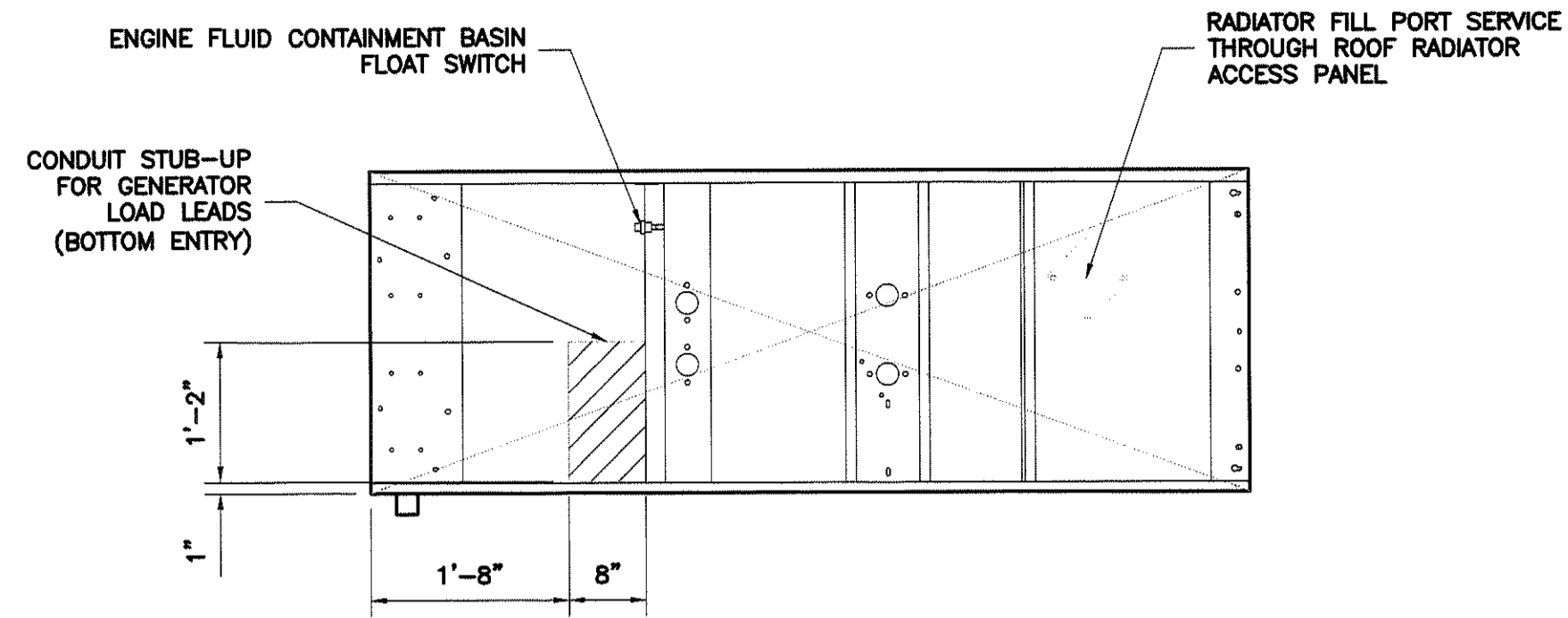
DRAWING SHEET: Z-6

DOV CRIPPLE CREEK
30240 IRONS LANE
DAGSBORO, DELAWARE 19939
SUSSEX COUNTY, DELAWARE

SHEET NO. 7 OF 10

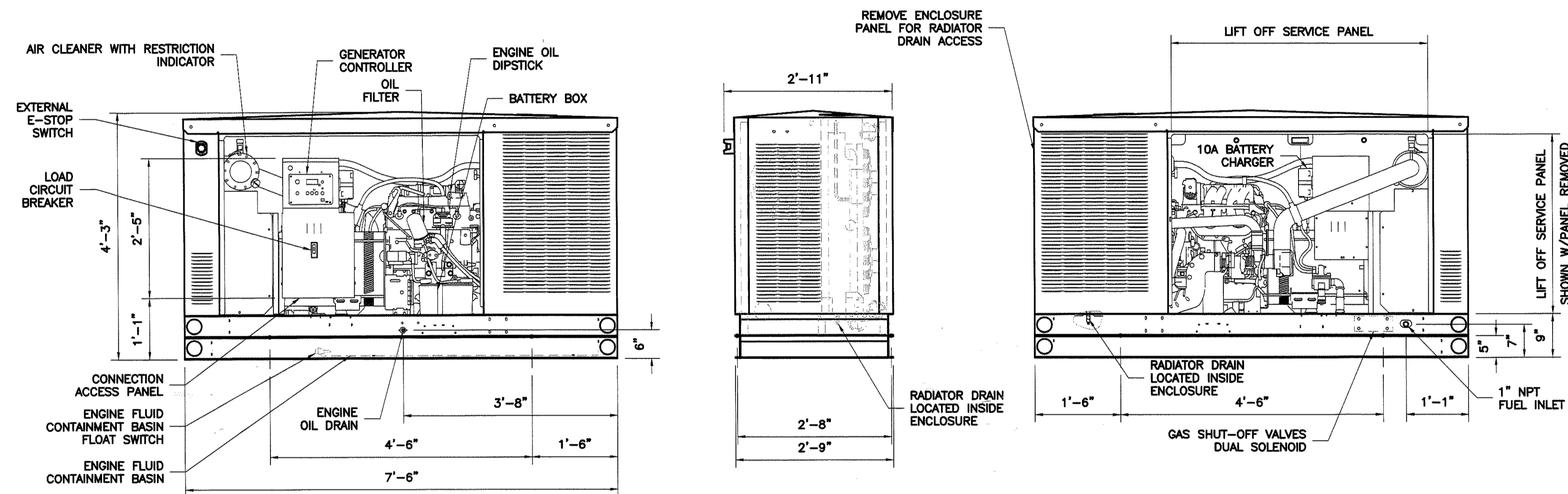
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- NOTES:
1. APPROXIMATE WEIGHT (WET): 1,600LB
 2. ENCLOSURE: ALUMINUM WITH ENCLOSED SILENCER
 3. SOUND LEVEL: 67.7 dB(A) at 7m
 4. FUEL INLET CONNECTION: 1 NPTF
 5. VERIZON PART NUMBERS: 30CCL

FUEL TYPE	INLET PRESSURE (IN H ₂ O)	MAX INPUT (Btu/H)	MAX INLET FLOW
NATURAL GAS	5-11	421,000	421 ft ³ /h @ 1000 Btu/ft ³
LP GAS	5-11	410,000	184 ft ³ /h @ 2500 Btu/ft ³



30kW 30CCL GAS GENERATOR
1
Z-7
N.T.S.

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DRAWING TITLE:

GENERATOR DETAILS

DRAWING SHEET:

Z-7

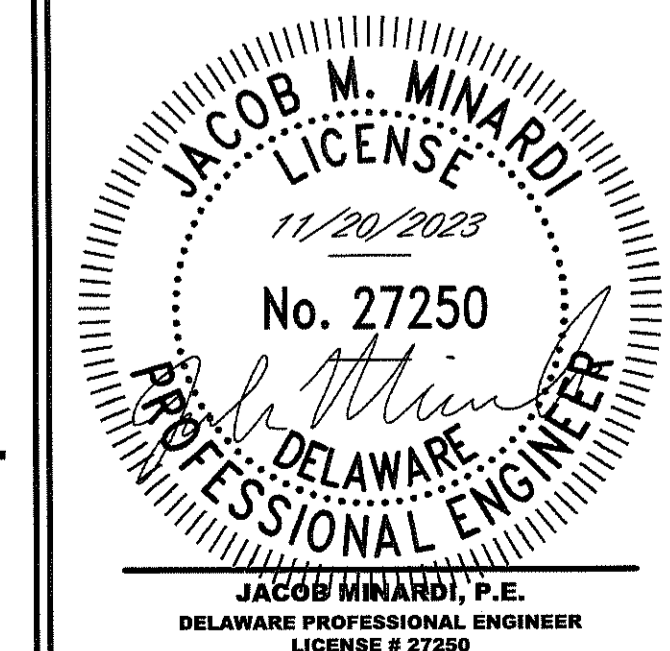
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SHEET NO. 8 OF 10



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A	09-21-23	90% REVIEW

DRAWN BY:	MBM
CHECKED BY:	MRL
SCALE:	NOTED
JOB NO:	19E0092.001

DRAWING TITLE:

FUEL SYSTEM DETAILS

DRAWING SHEET:

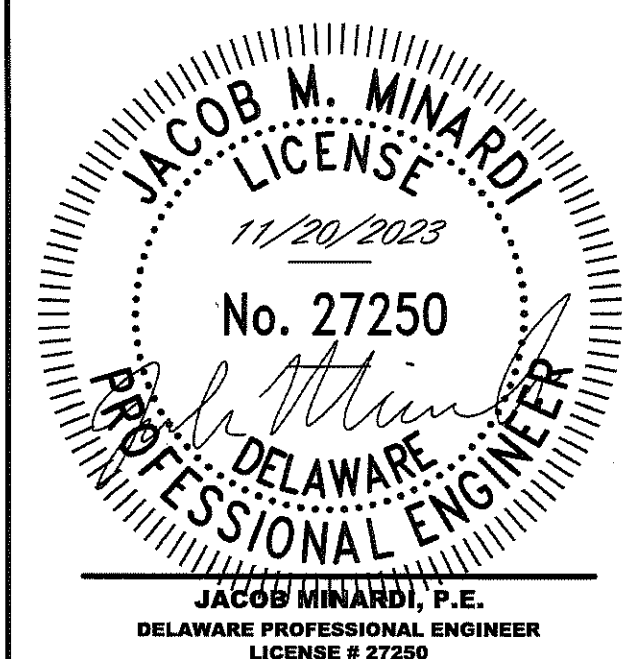
Z-8

DOV CRIPPLE CREEK

**30240 IRONS LANE
DAGSBORO, DELAWARE
19939**

SUSSEX COUNTY, DELAWARE

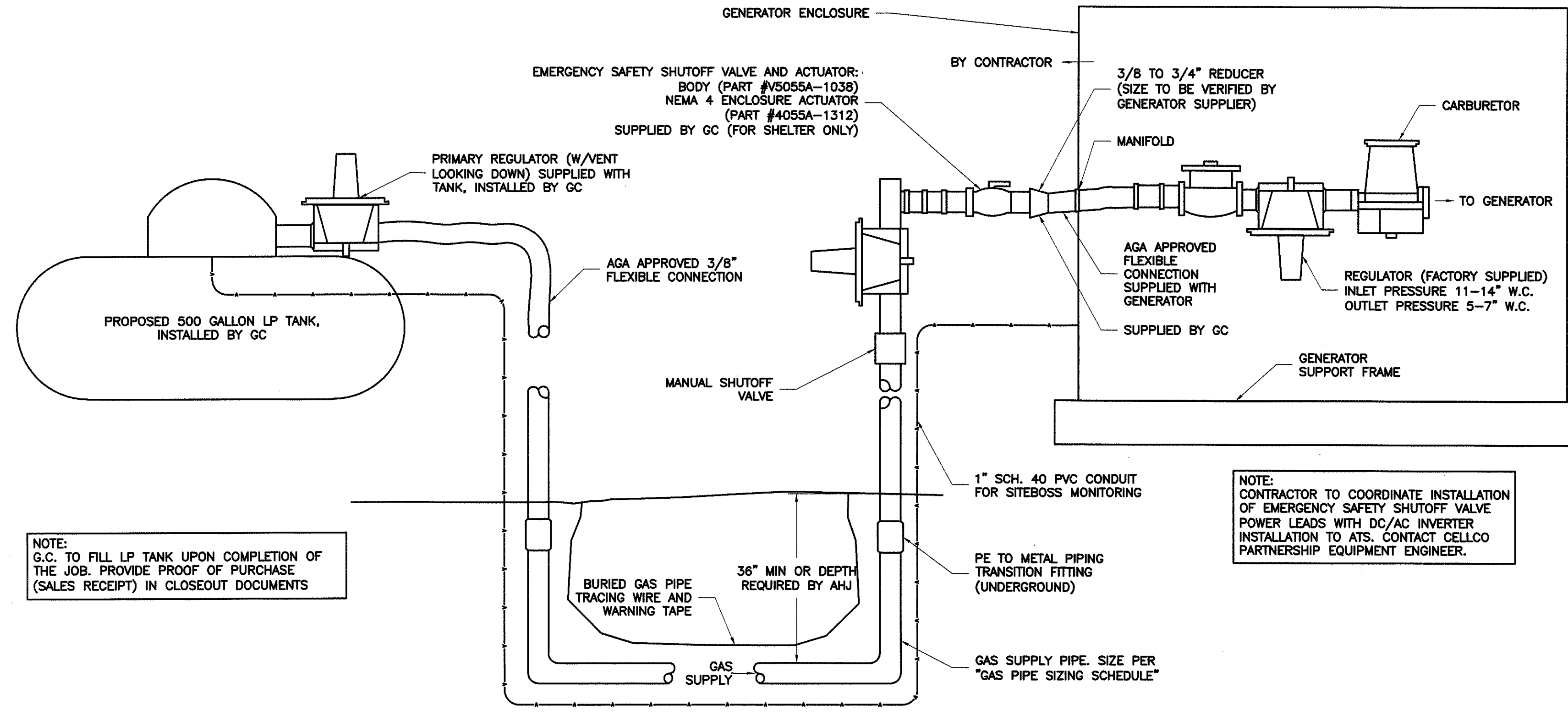
SHEET NO. 9 OF 10



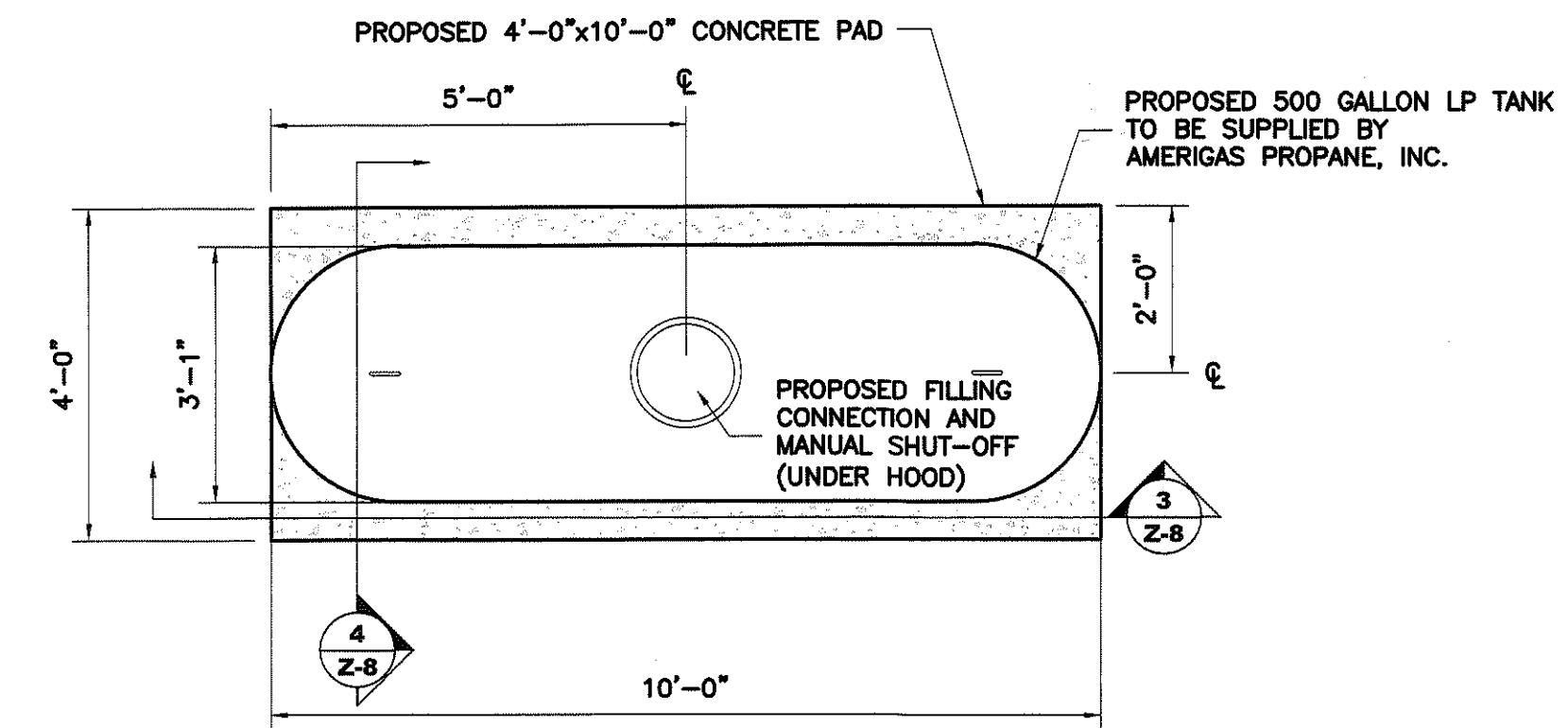
LIQUID PROPANE GAS PIPE SIZING CHART

LENGTH OF PIPE	SIZE OF PIPE								
	1/2"	3/4"	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"	4"
10'-0"	275	567	1071	2205	3307	6221	10140	17990	35710
20'-0"	189	393	732	1496	2299	4331	7046	12510	25520
30'-0"	152	315	590	1212	1858	3465	5695	10110	20620
40'-0"	129	267	504	1039	1559	2992	4778	8481	17300
50'-0"	114	237	448	913	1417	2646	4343	7708	15730
60'-0"	103	217	409	834	1275	2394	3908	6936	14150
80'-0"	89	185	346	724	1086	2047	3329	5908	12050
100'-0"	78	162	307	630	976	1811	2991	5309	10830
125'-0"	69	146	275	567	866	1606	2654	4711	9613
150'-0"	63	132	252	511	787	1496	2412	4281	8736
200'-0"	54	112	209	439	665	1282	2083	3618	7382
250'-0"	48	100	185	390	590	1138	1808	3210	6549
300'-0"	43	90	168	353	534	1030	1637	2905	5927
350'-0"	40	83	155	325	491	947	1505	2671	5450
400'-0"	37	77	144	303	458	887	1404	2492	5084

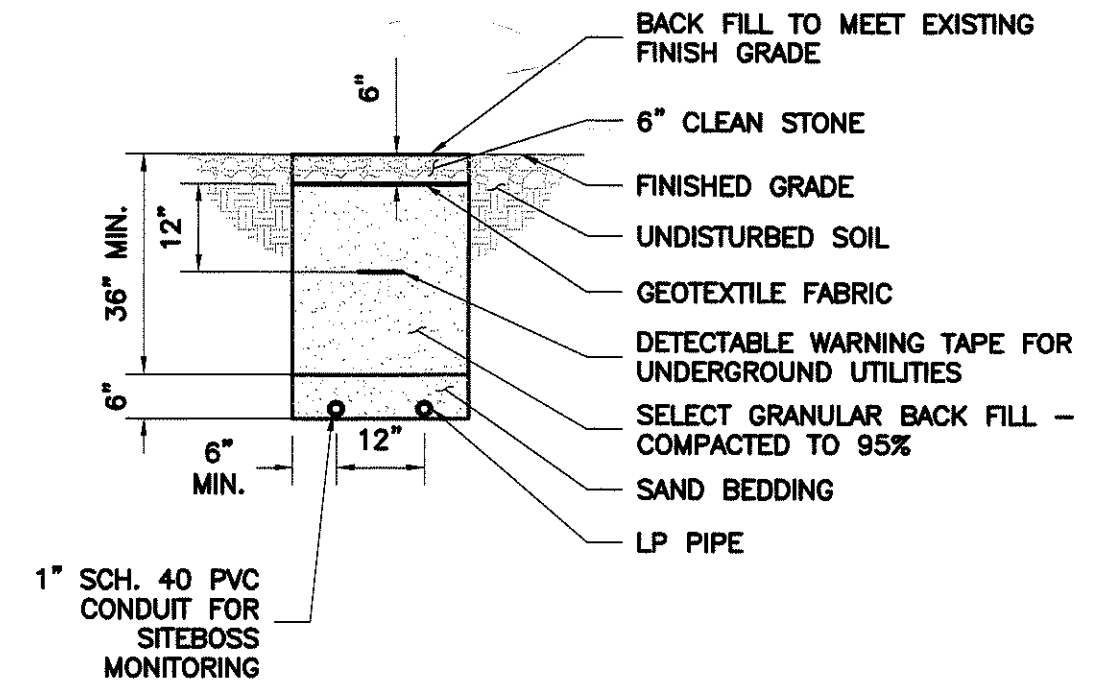
Liquid Propane Gas flow is given in thousands of BTU/hr. - One cubic foot of LP Gas = 2516 BTU
This chart refers to low pressure LP, after regulation. Standard nominal pressure at the burner for Liquid Propane Gas is 11" of water column.
Pipe length must include additional length for all fittings. Add approximately 5 feet of pipe per fitting.



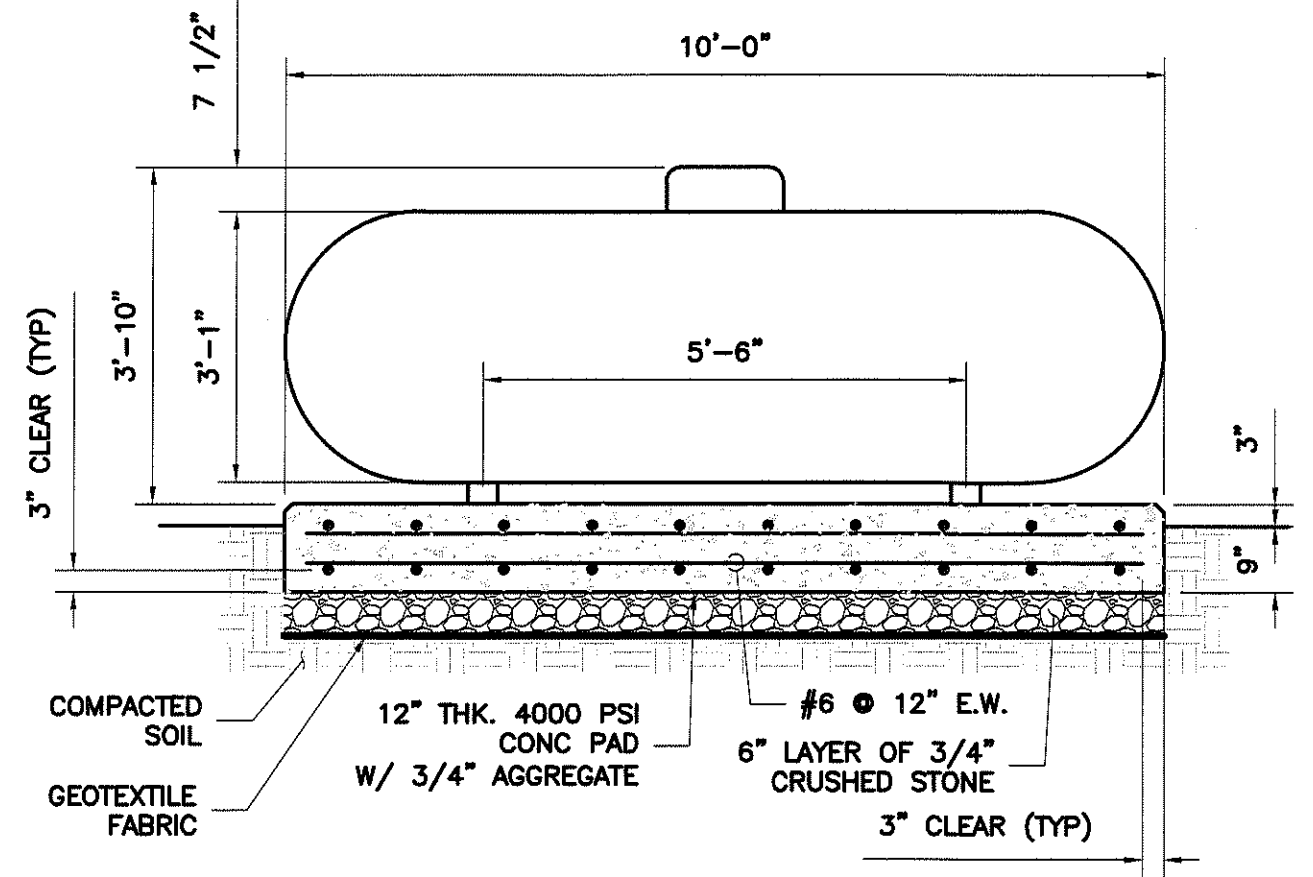
1 LP FUEL SYSTEM
Z-8 N.T.S.



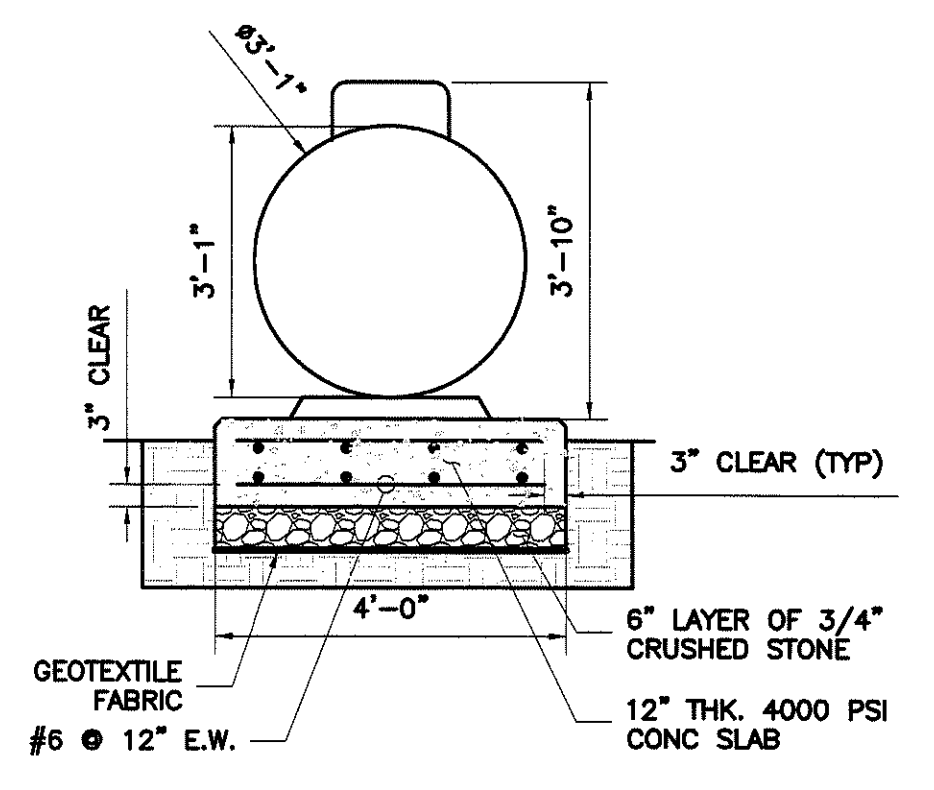
2 LP TANK DETAIL
Z-8 N.T.S.



5 LP PIPE TRENCH DETAIL
Z-8 N.T.S.



3 SECTION
Z-8 N.T.S.



4 SECTION
Z-8 N.T.S.



**What's below.
Call before you dig.**

PROTECT YOURSELF, ONE THREE WORKING DAYS NOTICE
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPROPRIATE.

GENERAL NOTES:

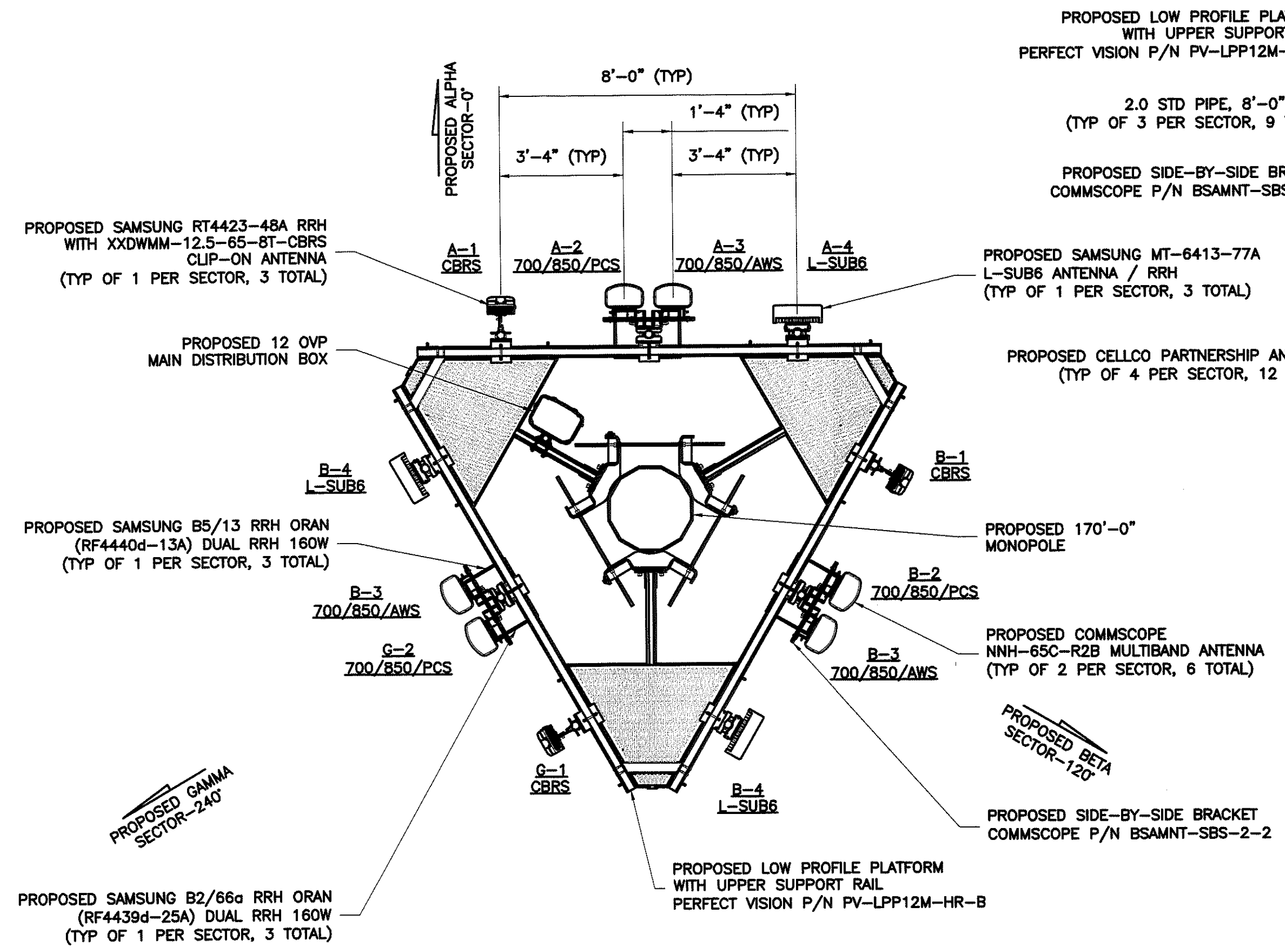
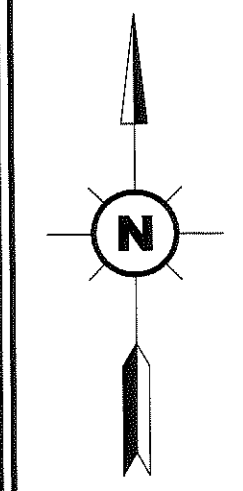
- MAINTAIN MINIMUM 1'-0" VERTICAL AND 1'-0" HORIZONTAL SEPARATION OF GAS LINE FROM OTHER UTILITIES.
- CONNECTION POINT MAY VARY WITH GENERATOR MANUFACTURER.
- MAINTAIN 3 FOOT SERVICE CLEARANCE ON ALL SIDES OF GENERATOR.
- G.C. SHALL ANCHOR GENERATOR BASE TO SLAB OR PLATFORM WITH HOLES PROVIDED.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL EQUIPMENT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL COORDINATE INSTALLATION WITH GAS COMPANY & OTHER DISCIPLINES.
- CONTRACTOR SHALL ADHERE TO APPLICABLE STATE & LOCAL CODES.
- CONTRACTOR SHALL COORDINATE LOCATION OF GAS PIPE WITH OTHER UTILITIES.
- FLEXIBLE CONNECTION TO BE SAME SIZE AS PIPING TIE-IN THAT IS PROVIDED BY THE GENERATOR SUPPLIER.
- CONTRACTOR SHALL PROVIDE PIPING TO BE INSTALLED PER GENERATOR MANUFACTURER'S REQUIREMENTS.

SPECIFICATIONS:

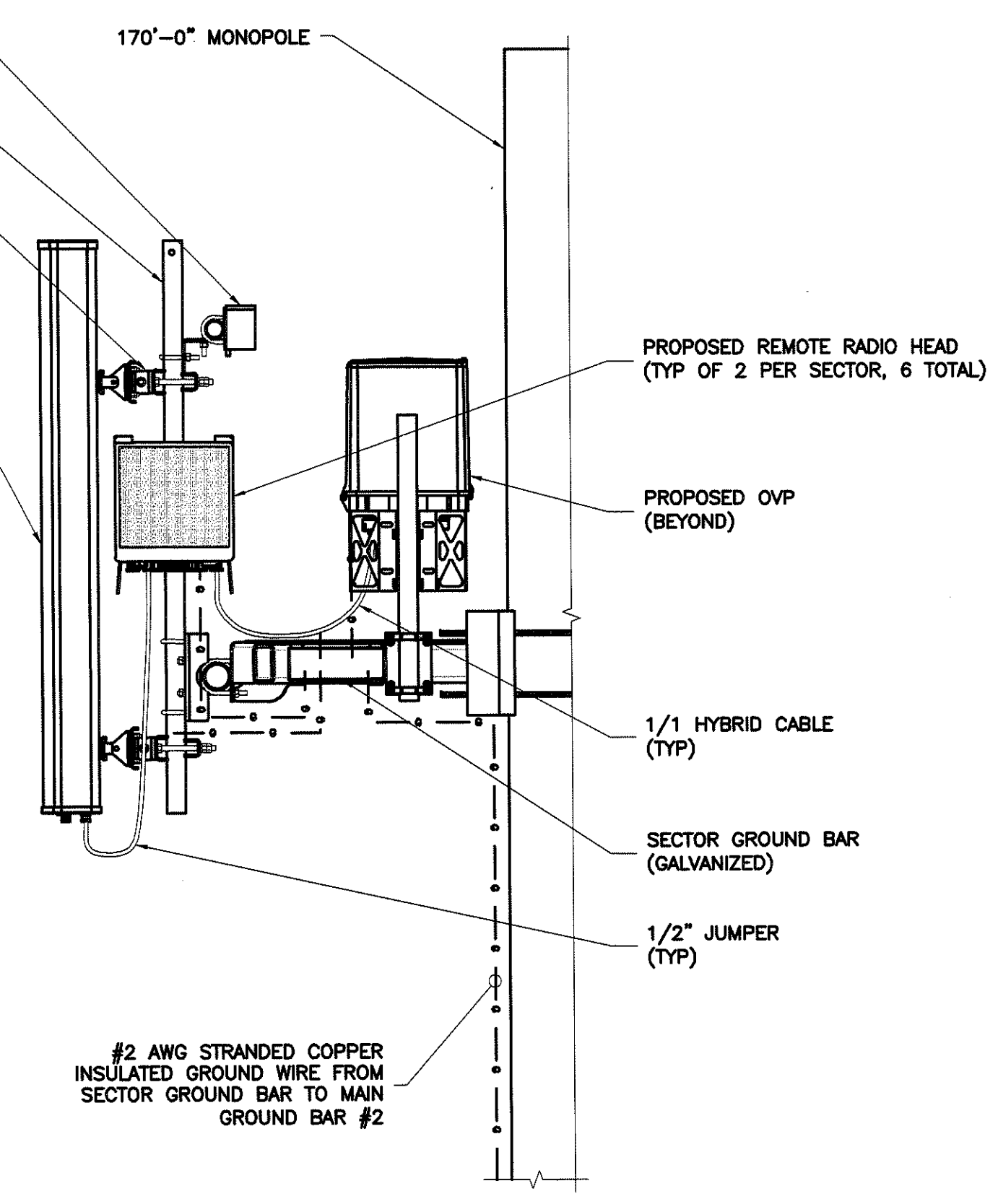
- PIPE (ABOVE GROUND): STEEL PIPE: ASTM A53, TYPE E OR S, ELECTRIC-RESISTANCE WELDED OR SEAMLESS, GRADE A OR B, SCHEDULE 40 BLACK STEEL, PAINTED YELLOW.
- PIPE FITTINGS (ABOVE GROUND):
 - GRAY-IRON THREAD FITTINGS: ASME B16.4, CLASS 125, STANDARD PATTERN.
 - UNIONS: ASME B16.39, CLASS 150, BLACK MALLEABLE IRON, FEMALE PATTERN, BRASS TO IRON SEAT, GROUND JOINT.
 - TRANSITION FITTINGS: TYPE, MATERIAL, AND END CONNECTIONS TO MATCH PIPING BEING JOINED.
 - PROVIDE DI-ELECTRIC UNIONS WHERE REQUIRED BETWEEN DIFFERENT METALLIC PIPE MATERIALS.
- PIPE (UNDERGROUND): POLYETHYLENE (PE) PIPE: ASTM D 2513, SDR 11 OR IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS.
- PE FITTINGS (UNDERGROUND): ASTM D 2683, SOCKET TYPE OR ASTM D 3261, BUTT TYPE WITH DIMENSIONS MATCHING ASTM D 2513, SDR AA, PE PIPE.
- TRANSITION FITTINGS: MANUFACTURED PIPE FITTING FOR CONNECTION TO PE PIPE AND WITH ONE ASTM A53/A53M, SCHEDULED 40, BLACK STEEL PIPE END FOR THREADED CONNECTION TO BLACK STEEL PIPE.
- SERVICE-LINE RISER: MANUFACTURED PIPE FITTING WITH PE PIPE INLET FOR CONNECTION TO UNDERGROUND PE PIPE; PE PIPE RISER SECTION WITH PROTECTIVE-COATED, ANODES, STEEL CASING AND THREADED OUTLET FOR THREADED CONNECTION TO ABOVE GROUND STEEL PIPING.

GENERATOR INSTALLATION RESPONSIBILITIES:

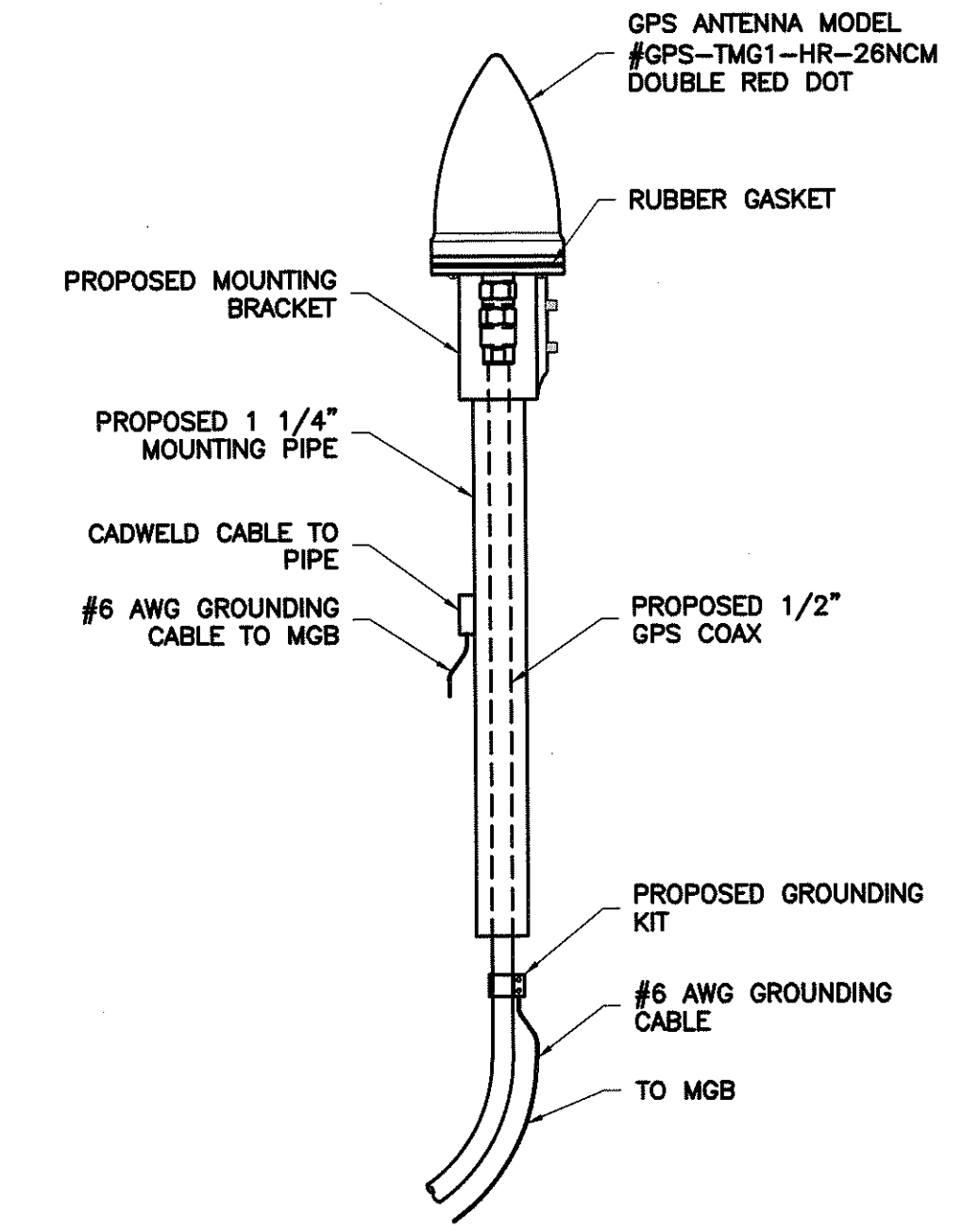
- GENERAL CONTRACTOR:**
- INSTALL ATS
 - SECURE (BOLT IN HOLES PROVIDED) GENERATOR USING RUBBER ISOLATORS UNDER GENERATOR SUPPORT FRAME AND PROPANE TANK TO THE SLAB OR PLATFORM.
 - INSTALL "SHIP LOOSE" ITEMS TO LP TANK TO INCLUDE THE COVER AND LOW FUEL SWITCH.
 - INSTALL REGULATOR DRAINS ARE "FACE DOWN" (REGULATORS ARE TO BE OUTSIDE OF GENERATOR AND LP TANK COVER).
 - RUN STUB UPS FOR LP TO GENERATOR.
- GENERATOR MANUFACTURER CERTIFIED ELECTRICIAN:**
- COMPLETE FUEL CONNECTIONS
 - TERMINATE ALARMS AND CONTROL CIRCUITS TO THE GENERATOR.
 - INSTALL FUEL REGULATORS.
 - FINAL INSPECTION AND STARTUP.
 - NOTIFY OPERATIONS (CELL TECH) TWO DAYS PRIOR TO START-UP SCHEDULE, PLAN ON CELL TECH ARRIVAL EARLY AFTERNOON IF START-UP PROBLEMS INCUR, NOTIFY CELL TECH OF DELAY BEFORE NOON.
 - RUN LOAD TEST (ADDITIONAL COST TO CELCO) AS REQUIRED, MOSTLY IN CORE.
 - E-MAIL COPY OF START-UP CHECK OFF LIST TO CELCO.



1
Z-9
PROPOSED ANTENNA PLAN
SCALE: N.T.S.



2
Z-9
ANTENNA MOUNTING DETAIL (SIDE VIEW)
SCALE: N.T.S.



3
Z-9
GPS ANTENNA ELEVATION DETAIL
SCALE: N.T.S.

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ONE VERIZON WAY
MAIL STOP 4AW100
BASKING RIDGE, NEW JERSEY 07920

SCHEDULE OF REVISIONS		
REV. NO.	DATE	DESCRIPTION OF CHANGES
6		
5		
4		
3		
2		
1	11-16-23	REVISED PER COMMENTS
0	10-04-23	ZONING SUBMITTAL
A	09-21-23	90% REVIEW

DRAWN BY:	MBM
CHECKED BY:	MRL
SCALE:	NOTED
JOB NO:	19E0092.001

DRAWING TITLE:

ANTENNA LAYOUT & DETAILS

DRAWING SHEET:

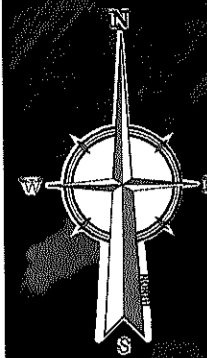
Z-9

DOV CRIPPLE CREEK
30240 IRONS LANE
DAGSBORO, DELAWARE
19939
SUSSEX COUNTY, DELAWARE

SHEET NO. 10 OF 10



VICINITY MAP



SOURCE: GOOGLE EARTH

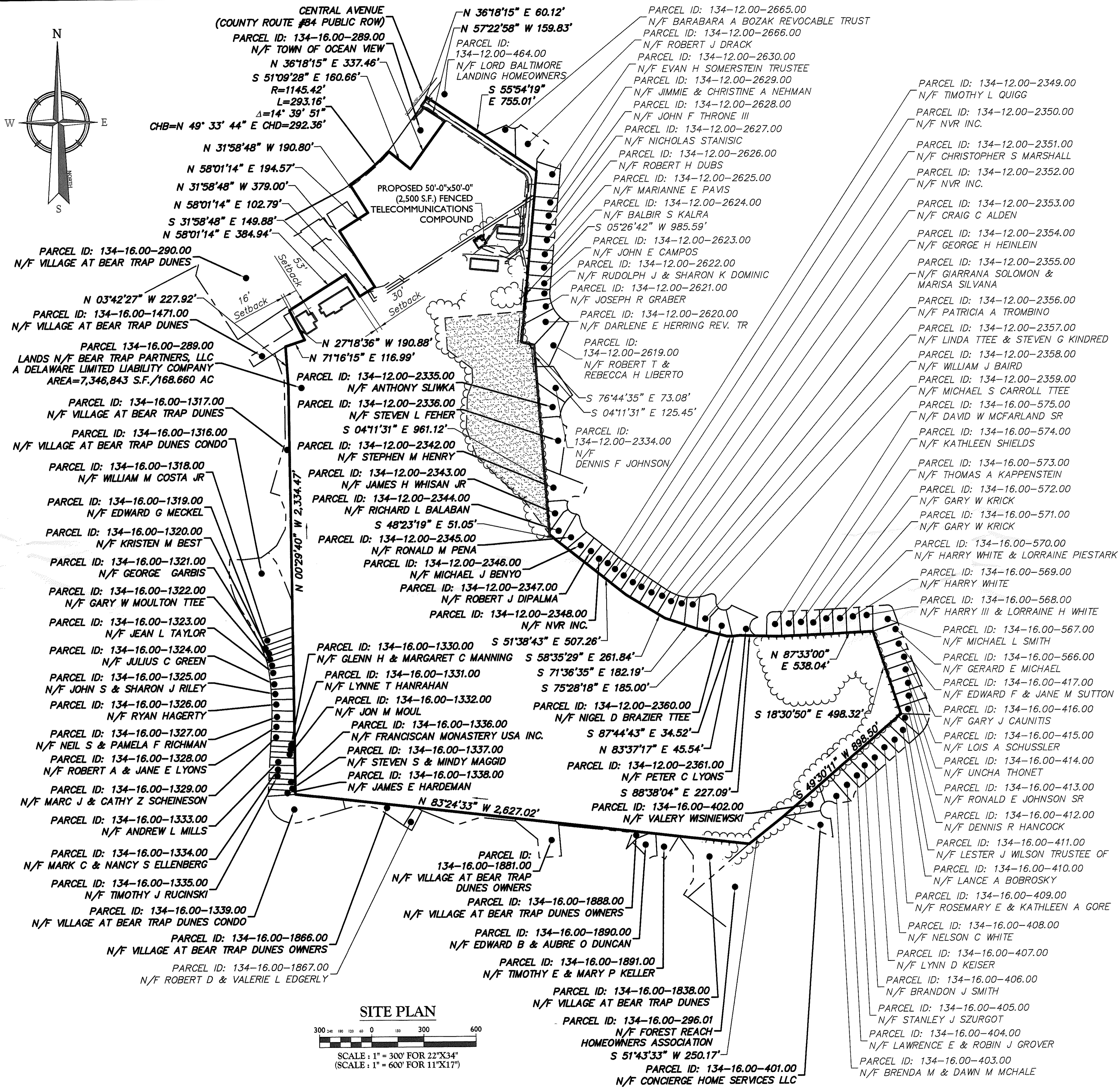
PROJECT LOCATION

SITE NOTES

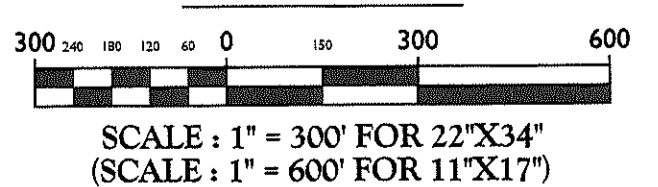
- THIS PROPOSAL IS FOR AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF THE PLACEMENT OF PANEL ANTENNAS ON A PROPOSED MONOPOLE AND EQUIPMENT CABINETS ON A PROPOSED CONCRETE PAD, AN OUTDOOR STANDBY GENERATOR AND ASSOCIATED APPURTENANCES WITHIN A PROPOSED FENCED COMPOUND.
- EXTERIOR SIGNS ARE NOT PROPOSED EXCEPT AS REQUIRED BY THE FCC.
- DISTURBANCE UNDER THIS PROPOSAL:
TOTAL AREA OF DISTURBANCE - 2,830 ± S.F.
- RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
- CONTRACTOR SHALL CONTACT STATE SPECIFIC ONE CALL SYSTEM THREE WORKING DAYS PRIOR TO ANY EARTH MOVING ACTIVITIES.
- POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.
- SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS & INSPECTIONS REQUIRED FOR CONSTRUCTION.
- SUBCONTRACTOR SHALL DETERMINE EXACT ROUTE OF ANY UNDERGROUND CONDUIT, IF REQUIRED.
- THIS PROJECT WILL NOT REQUIRE STREETS OR PROPERTY TO BE DEDICATED FOR PUBLIC USE.
- THIS PROJECT WILL NOT REQUIRE PERMANENT MONUMENTS.
- ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAPS OF SUSSEX COUNTY, DE (ALL JURISDICTIONS), FLOOD ZONE PANEL 511 OF 660 DATED 03/16/2015, ALL PROPOSED IMPROVEMENTS ARE LOCATED WITHIN ZONE X - AREA OF MINIMAL FLOOD HAZARD.
- THE PROPOSED INSTALLATION WILL GENERATE ONE (1) VEHICLE TRIP FOR ROUTINE MAINTENANCE EVERY FOUR (4) TO SIX (6) WEEKS.

LEGEND

- Existing Subject Property Line
- Existing Right of Way
- Existing Edge of Gravel Road
- Existing Structure
- Existing Tree Line
- Existing Overhead Wire Line
- Existing Fence Line
- Existing Features
- Setback Line
- PROPOSED CHAIN LINK FENCE
- PROPOSED FEATURES
- PROPOSED UNDERGROUND ELECTRIC/TELCO UTILITY LINES



SITE PLAN



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SCALE: AS SHOWN JOB NUMBER: 22960035A

REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
D	07/21/23	ISSUED FOR ZONING	MEG	MEG
A	04/11/23	ISSUED FOR REVIEW	FAC	MEG

Matthew E. Grainger
REGISTERED PROFESSIONAL ENGINEER
COLLIERS ENGINEERING & DESIGN, INC.
D.E. CE 04-00-2540

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SUSSEX COUNTY

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2000 Midlantic Drive,
Suite 100
Mt. Laurel, NJ 08054
Phone: 856.797.0412
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SITE PLAN AND SITE NOTES

SHEET NUMBER: Z-2

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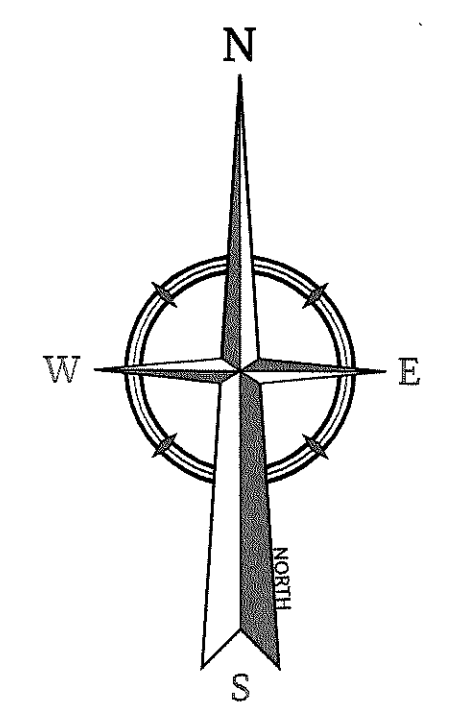
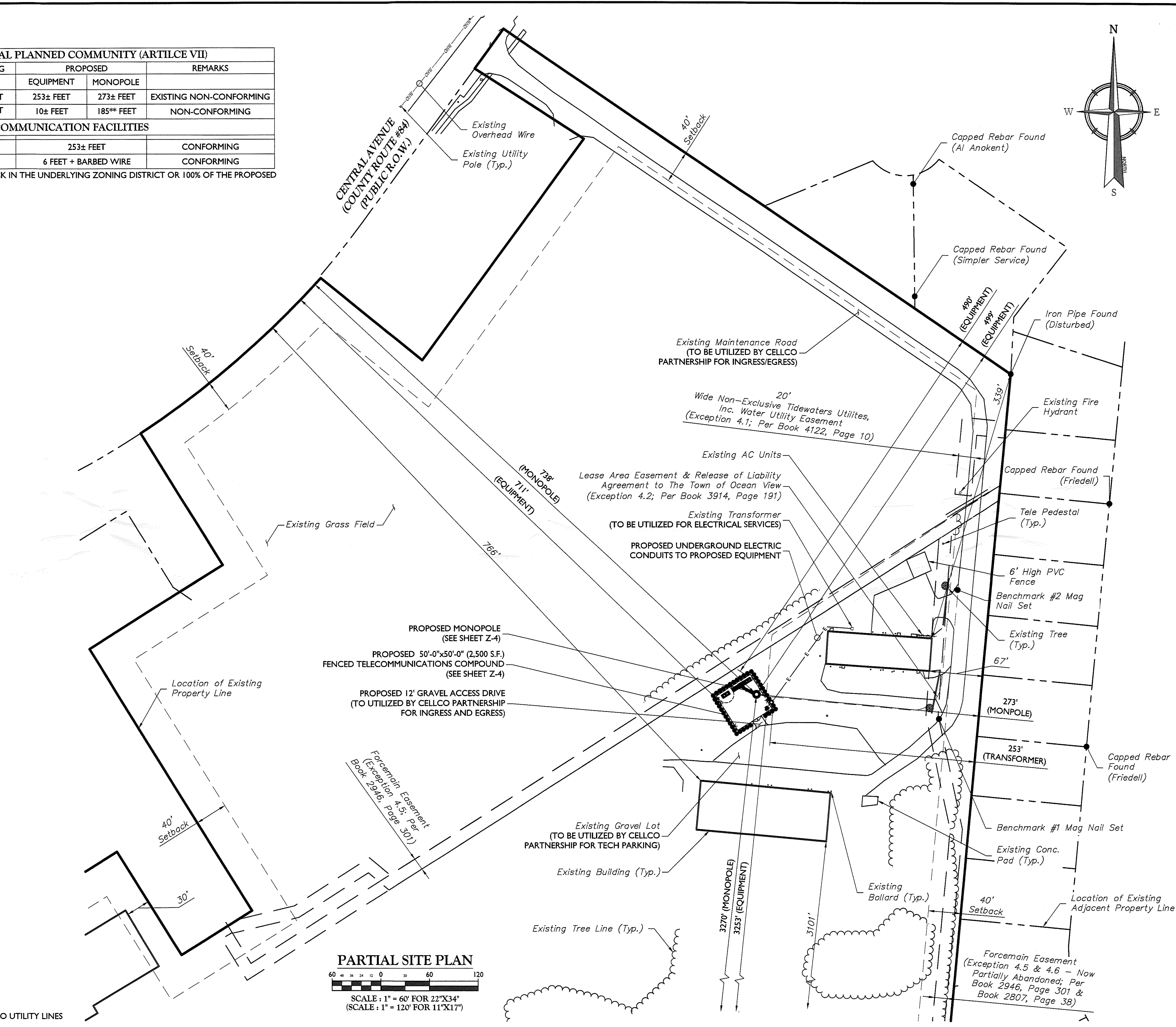
BULK STANDARDS FOR RCP - RESIDENTIAL PLANNED COMMUNITY (ARTILCE VII)					
DESCRIPTION	REQUIRED	EXISTING	PROPOSED		REMARKS
			EQUIPMENT	MONOPOLE	
MINIMUM SETBACK	40 FEET	16± FEET	253± FEET	273± FEET	EXISTING NON-CONFORMING
MAXIMUM BUILDING HEIGHT	42 FEET	<42 FEET	10± FEET	185** FEET	NON-CONFORMING
SECTION 140-131 - WIRELESS COMMUNICATION FACILITIES					
MINIMUM SETBACK*	185** FEET	N/A	253± FEET		CONFORMING
MINIMUM FENCE HEIGHT	6 FEET	N/A	6 FEET + BARBED WIRE		CONFORMING

*LARGEST OF THE FOLLOWING: THE MINIMUM YARD SETBACK IN THE UNDERLYING ZONING DISTRICT OR 100% OF THE PROPOSED ANTENNA SUPPORT STRUCTURE HEIGHT.
 **TOP OF LIGHTING ROD

LEGEND

	Existing Edge of Gravel Road
	Existing Features
	Existing Tree Line
	Existing Overhead Wire Line
	Existing Fence Line
	Zoning Boundary
	Setback Line
	PROPOSED CHAIN LINK FENCE
	PROPOSED FEATURES
	PROPOSED UNDERGROUND ELECTRIC/TELCO UTILITY LINES

PARTIAL SITE PLAN
 SCALE: 1" = 60' FOR 22'X34'
 (SCALE: 1" = 120' FOR 11'X17')



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0	07/21/23	ISSUED FOR ZONING	MEG	MEG
A	04/11/23	ISSUED FOR REVIEW	FAC	MEG

Matthew E. Grajcar
 DELAWARE PROFESSIONAL ENGINEER
 LICENSE NO. 10000000000000000000000000000000
 COLLIERS ENGINEERING & DESIGN, INC.
 D.E. C. 00000000000000000000000000000000

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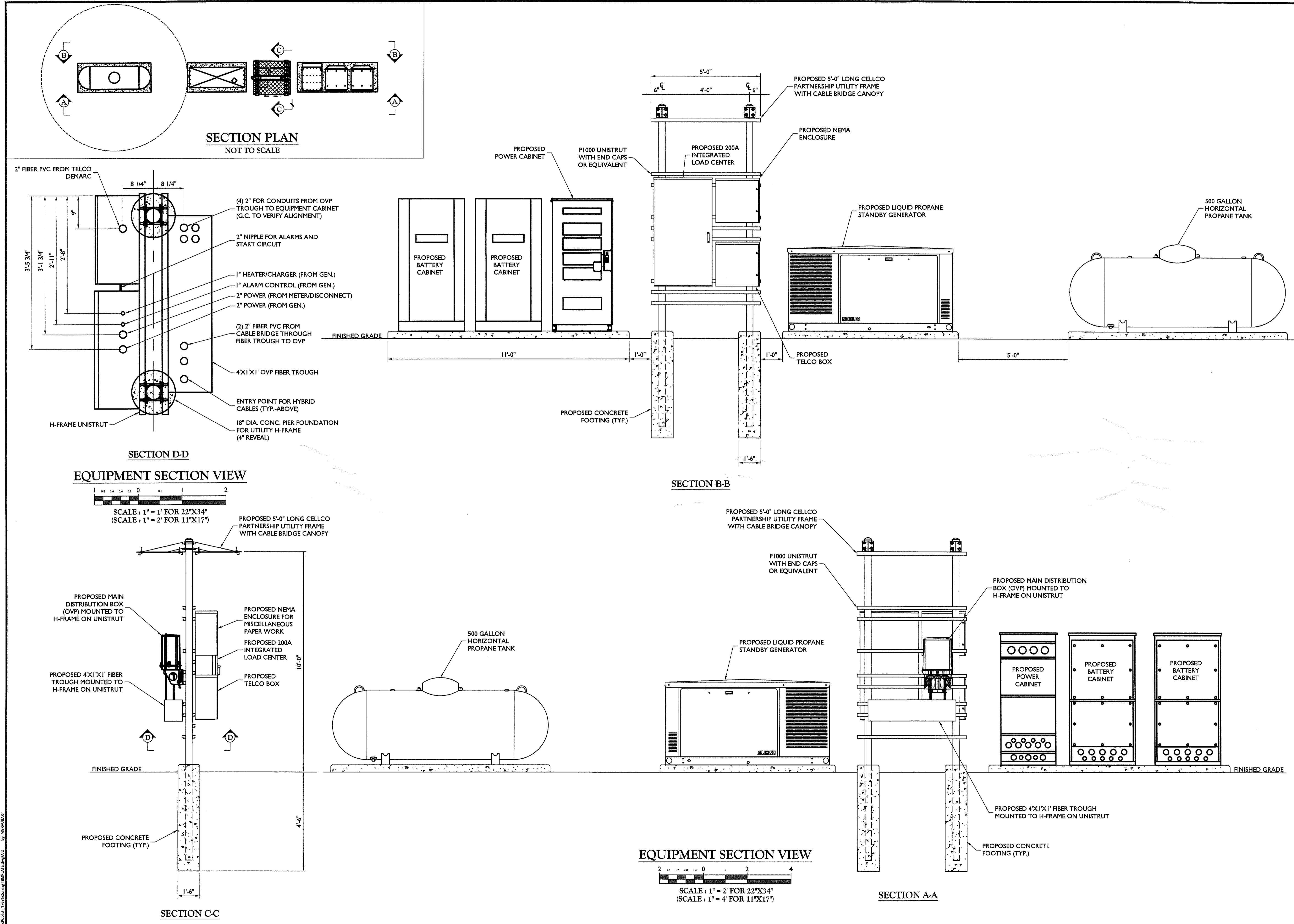
DOV TIDEWATER
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 SUSSEX COUNTY

Colliers Engineering & Design
 MT. LAUREL
 2000 Mt. Laurel Drive, Suite 100
 Mt. Laurel, NJ 08054
 Phone: 856.797.0412
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SHEET TITLE: **PARTIAL SITE PLAN**

SHEET NUMBER: **Z-3**

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A	04/11/23	ISSUED FOR REVIEW	FAC	MEG

Matthew E. Graubart
DELAWARE PROFESSIONAL ENGINEER
COLLIERS ENGINEERING & DESIGN, INC.
D.E. CERT. NO. 2840

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SUSSEX COUNTY

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SHEET TITLE:
CONSTRUCTION DETAILS

SHEET NUMBER:
A-2

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REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
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A	04/11/23	ISSUED FOR REVIEW	FAC	MEG

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LICENSED PROFESSIONAL ENGINEER
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SITE NAME:

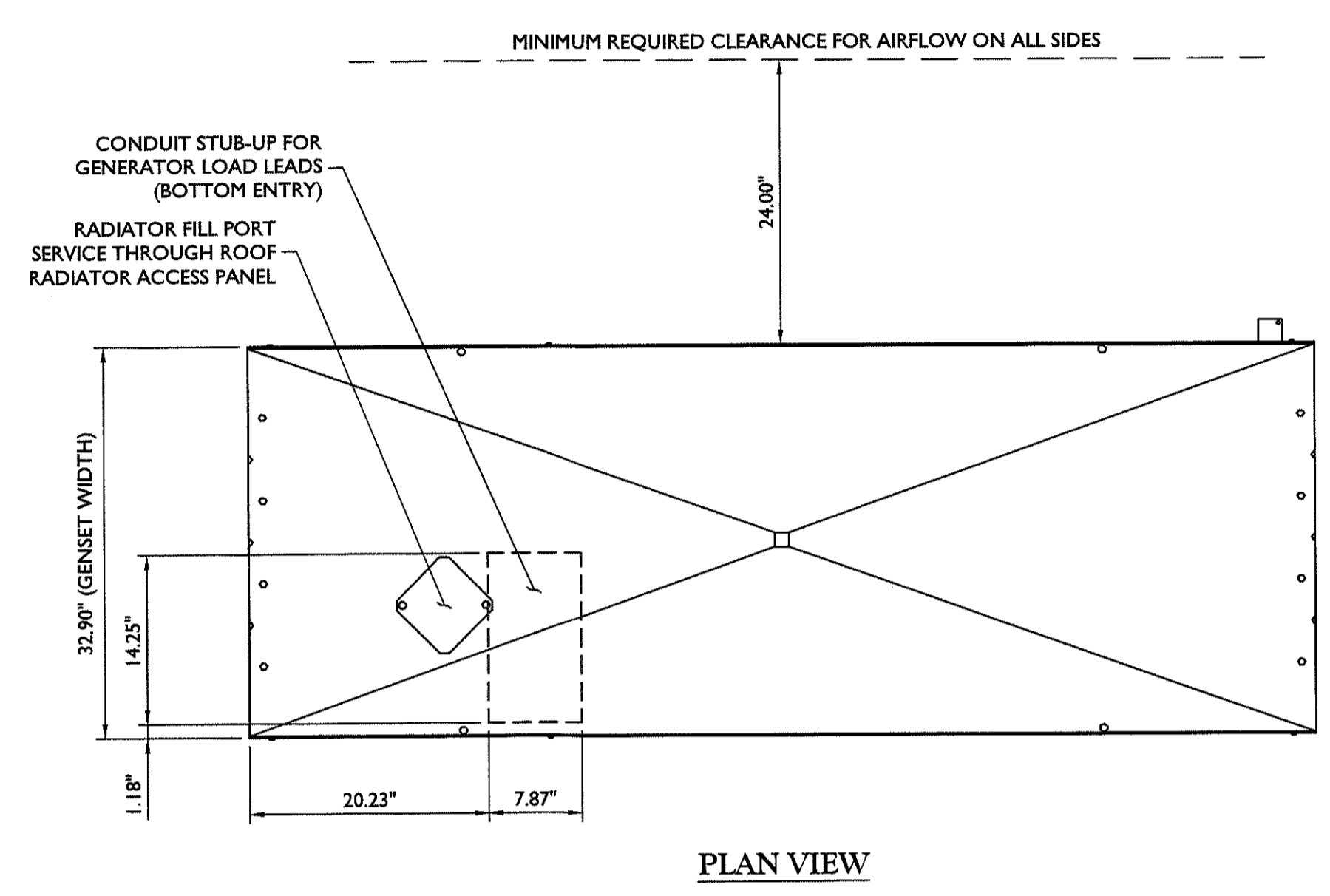
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Mt. Laurel, NJ 08054
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SHEET TITLE:
CONSTRUCTION DETAILS

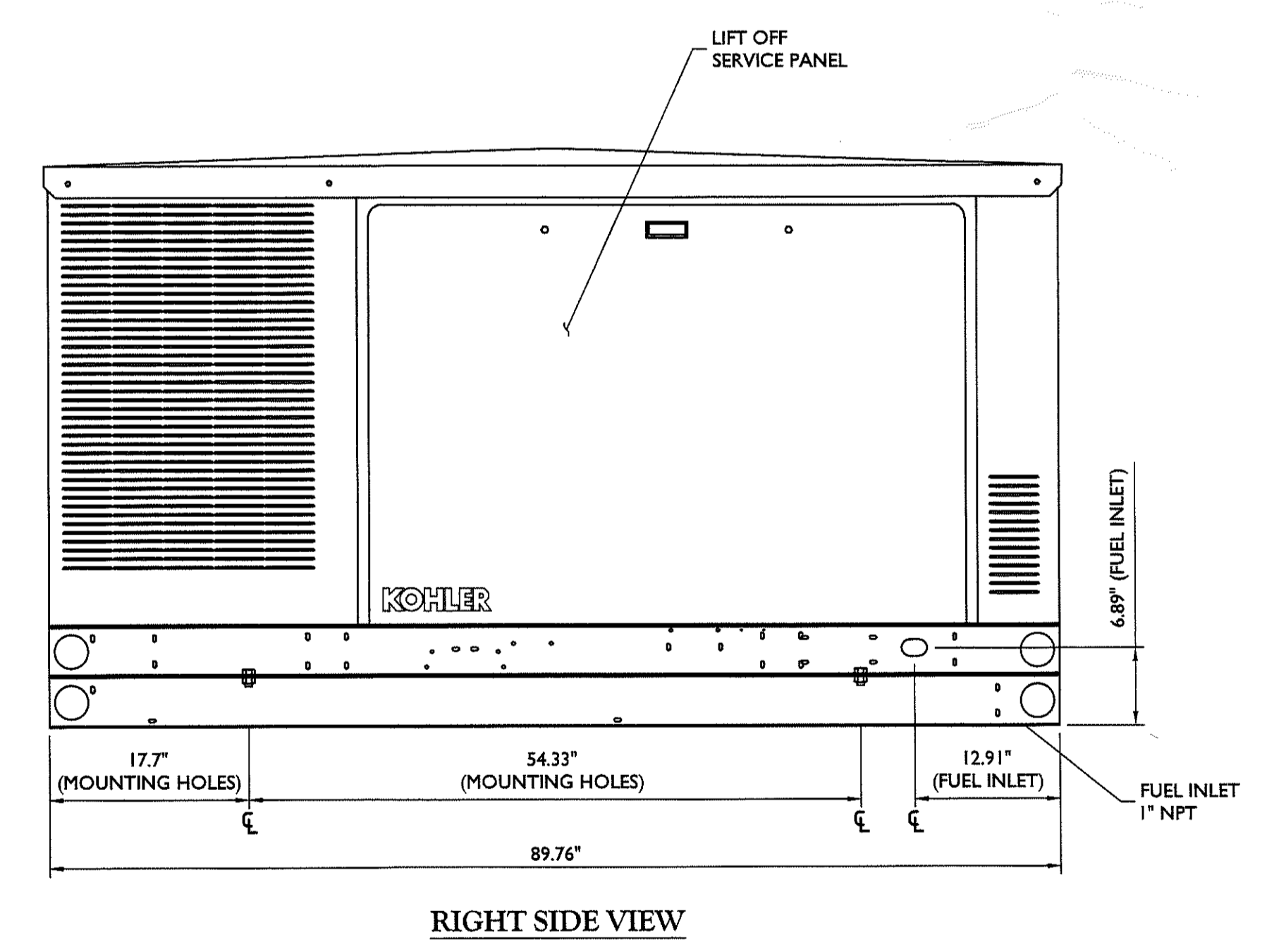
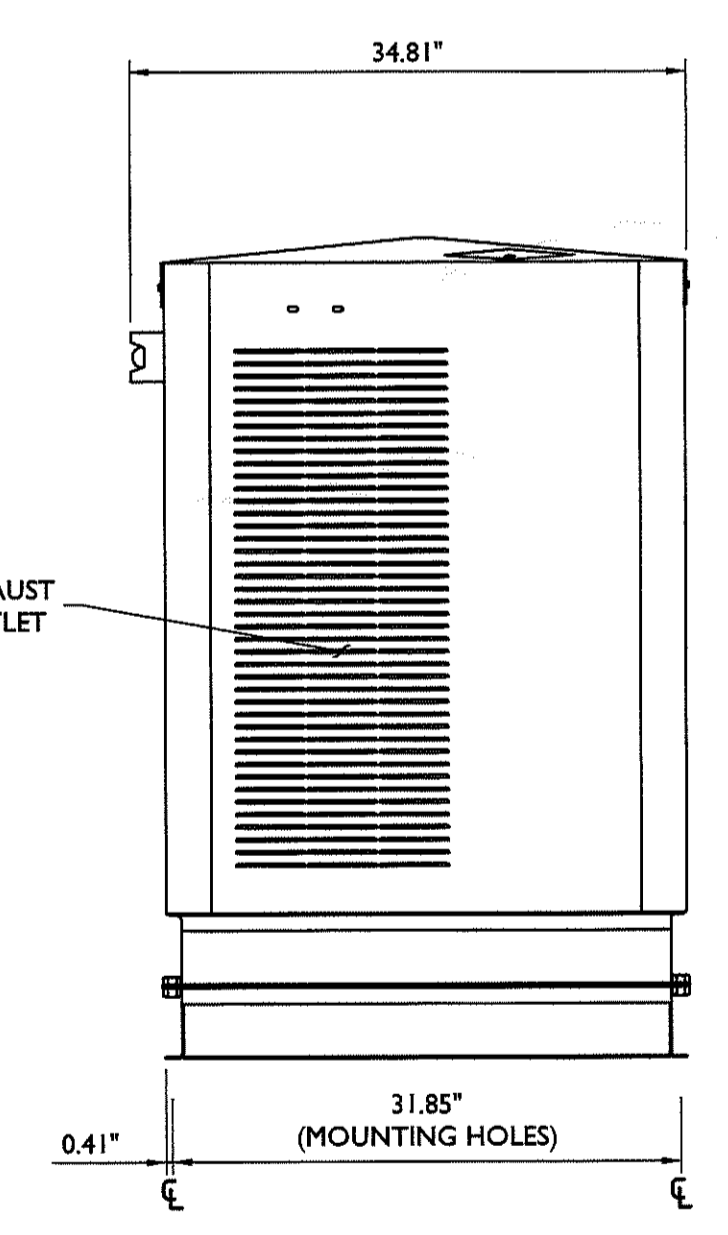
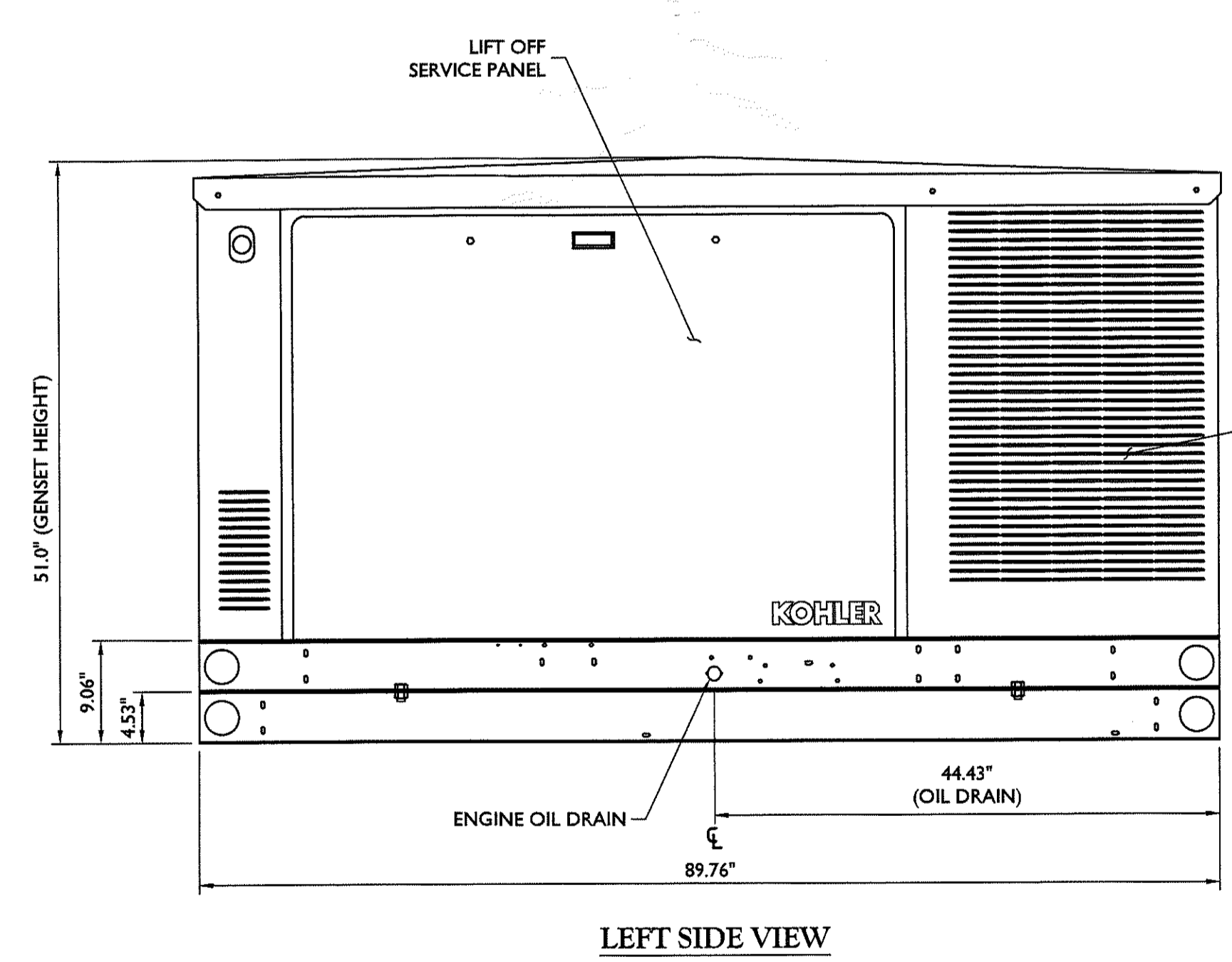
SHEET NUMBER:
A-3

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

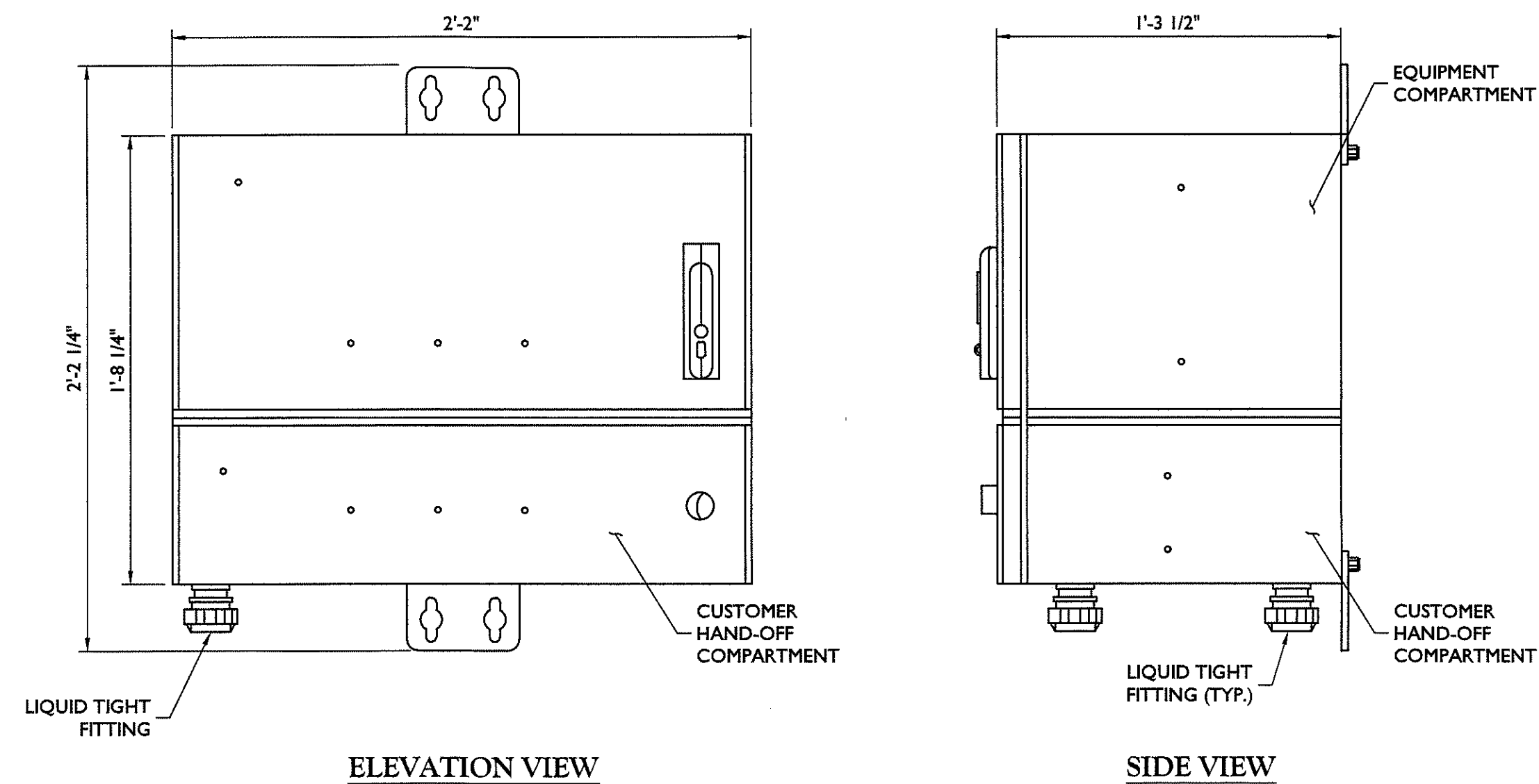


MODEL	ALTERNATOR	GENSET MAXIMUM WEIGHT
25/30CCL	4D/E	1,600 LBS
25/30CCL	4P/Q	1,630 LBS

- NOTES:**
- BOTH SIDES OF THE GENERATOR IS SERVICE ACCESSIBLE WITH EASY ACCESS SERVICE PANELS.
 - 10 AMP BATTERY CHARGER.
 - 120VAC ENGINE BLOCK HEATER.
 - GENERATOR MUST BE GROUNDED.
 - SOUND ATTENUATED ENCLOSURE STANDARD WITH GENERATOR.
 - MUST ALLOW FREE FLOW OF DISCHARGE AIR AND EXHAUST.
 - MUST ALLOW FREE FLOW OF AIR INTAKE.
 - IT IS THE RESPONSIBILITY OF THE INSTALLATION TECHNICIAN TO ENSURE THAT THE GENERATOR INSTALLATION COMPLIES WITH ALL APPLICABLE CODES, STANDARDS AND REGULATIONS.
 - SPRING ISOLATORS TO BE UTILIZED- MODEL MS-2E.
 - GENERATOR TO BE ANCHORED WITH 1 1/16" Ø A325 BOLTS, INSTALLED AND SIZE PER KOHLER RECOMMENDATIONS.
 - GENERATOR SOUND LEVEL IS 67.7 dBA @ 23 FT (7 METERS) WITH SOUND ENCLOSURE.



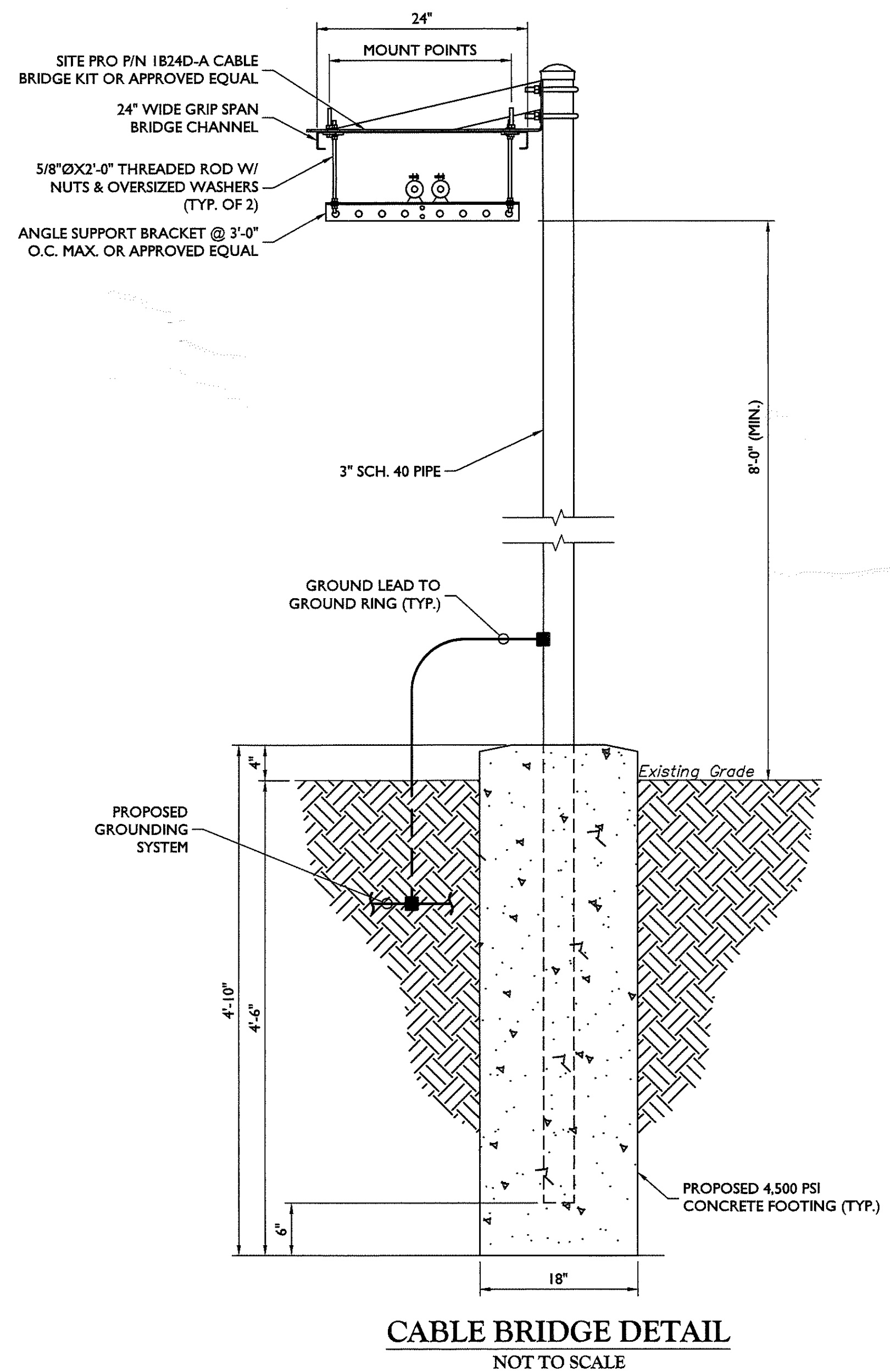
KOHLER PROPANE GAS GENERATOR DETAIL
NOT TO SCALE



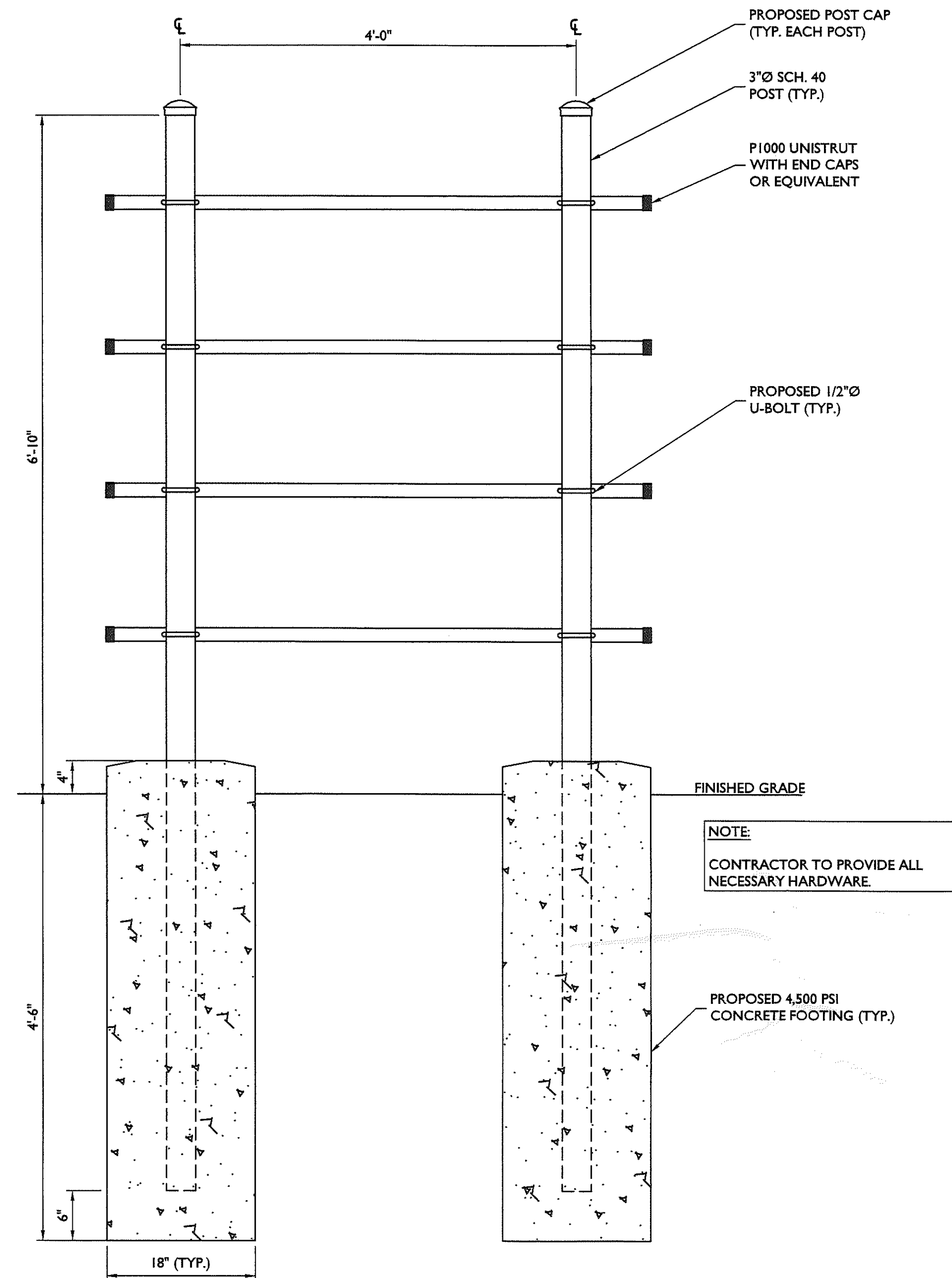
ELEVATION VIEW

SIDE VIEW

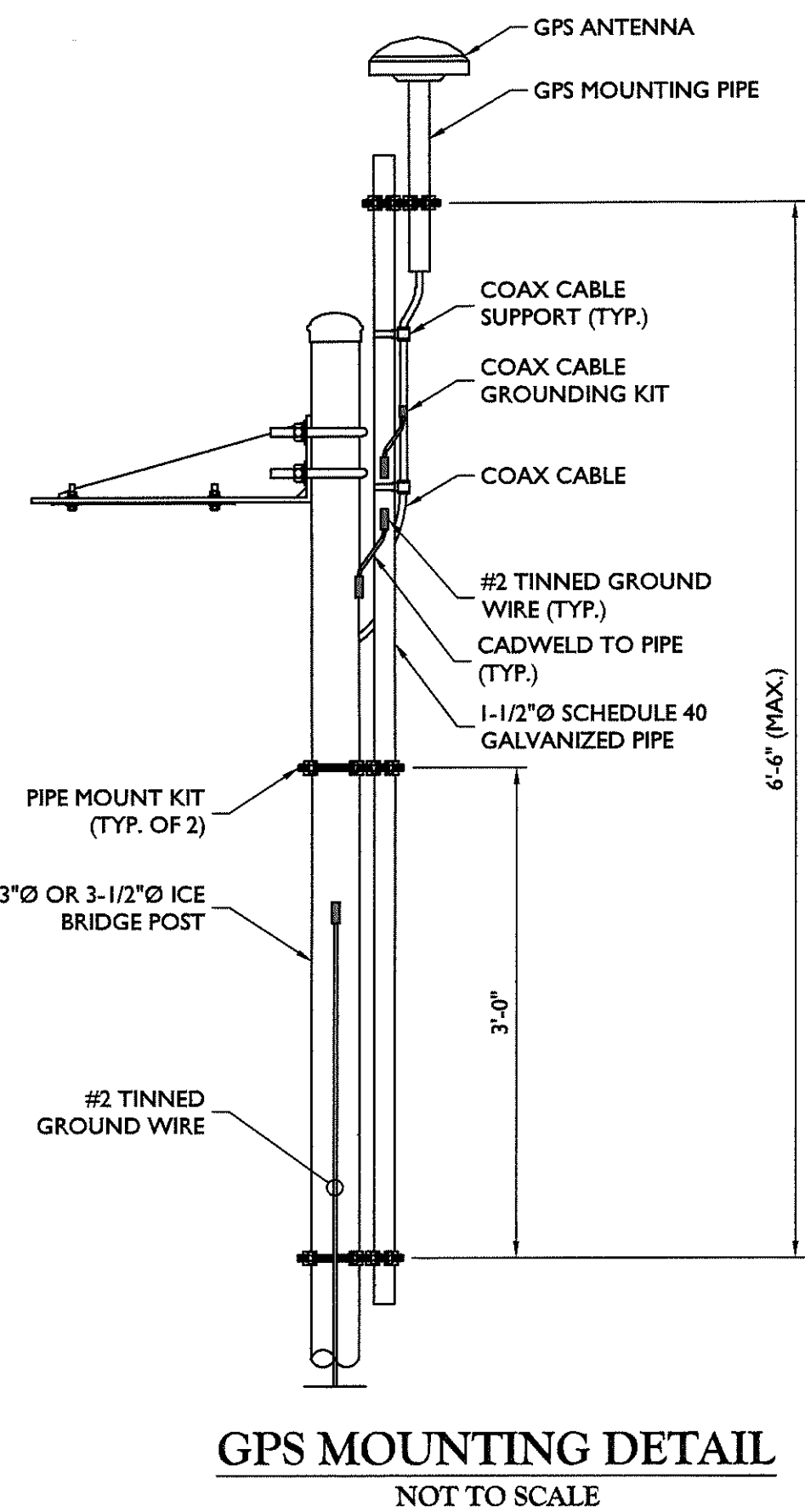
CHARLES INDUSTRIES RL2000A CUBE
NOT TO SCALE



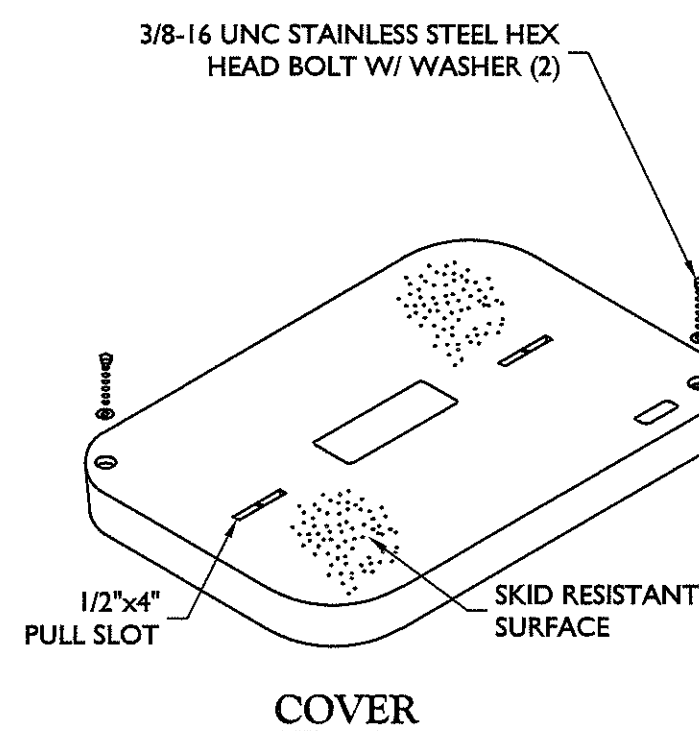
CABLE BRIDGE DETAIL
NOT TO SCALE



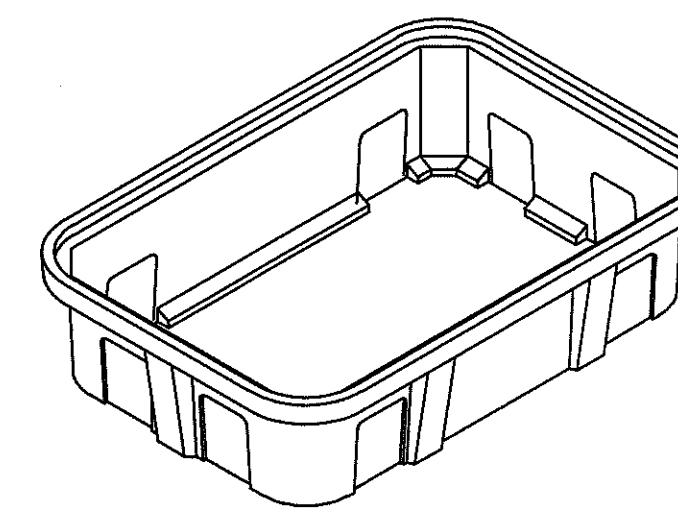
BACKBOARD DETAIL
NOT TO SCALE



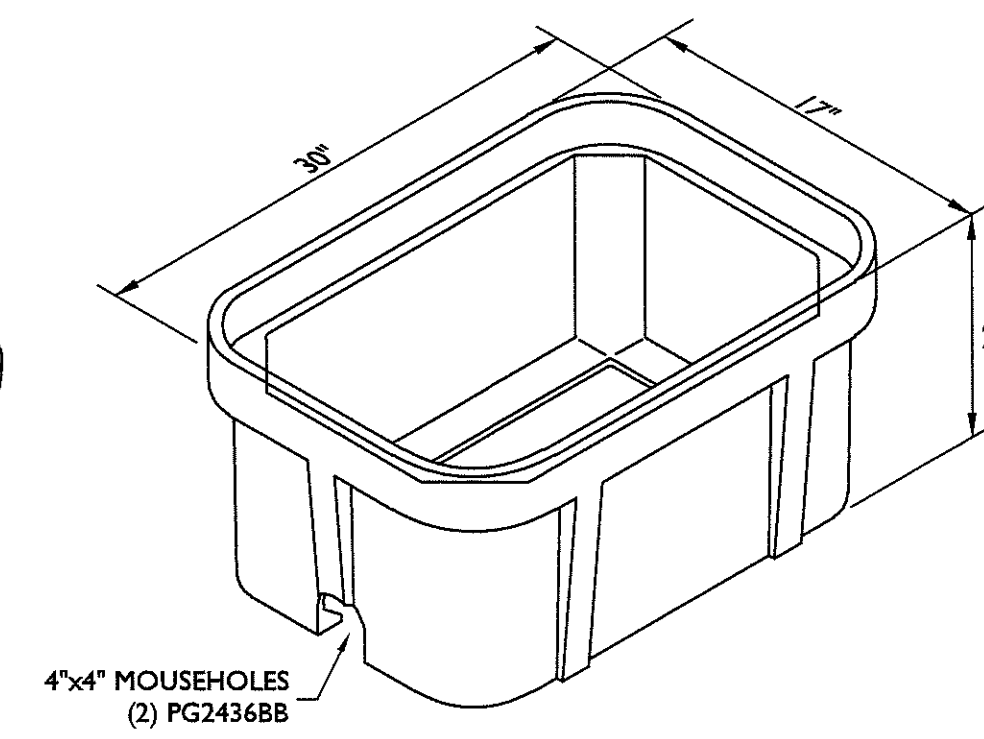
GPS MOUNTING DETAIL
NOT TO SCALE



COVER



EXTENSION



BOX

PULL BOX DETAIL
NOT TO SCALE

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SCALE: AS SHOWN JOB NUMBER: 22960035A

REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
0	07/21/23	ISSUED FOR ZONING	MEG	MEG
A	04/11/23	ISSUED FOR REVIEW	FAC	MEG

Matthew E. Grainger
DELAWARE PROFESSIONAL ENGINEER
COLLIERS ENGINEERING & DESIGN, INC.
D.E. C. 0000002840

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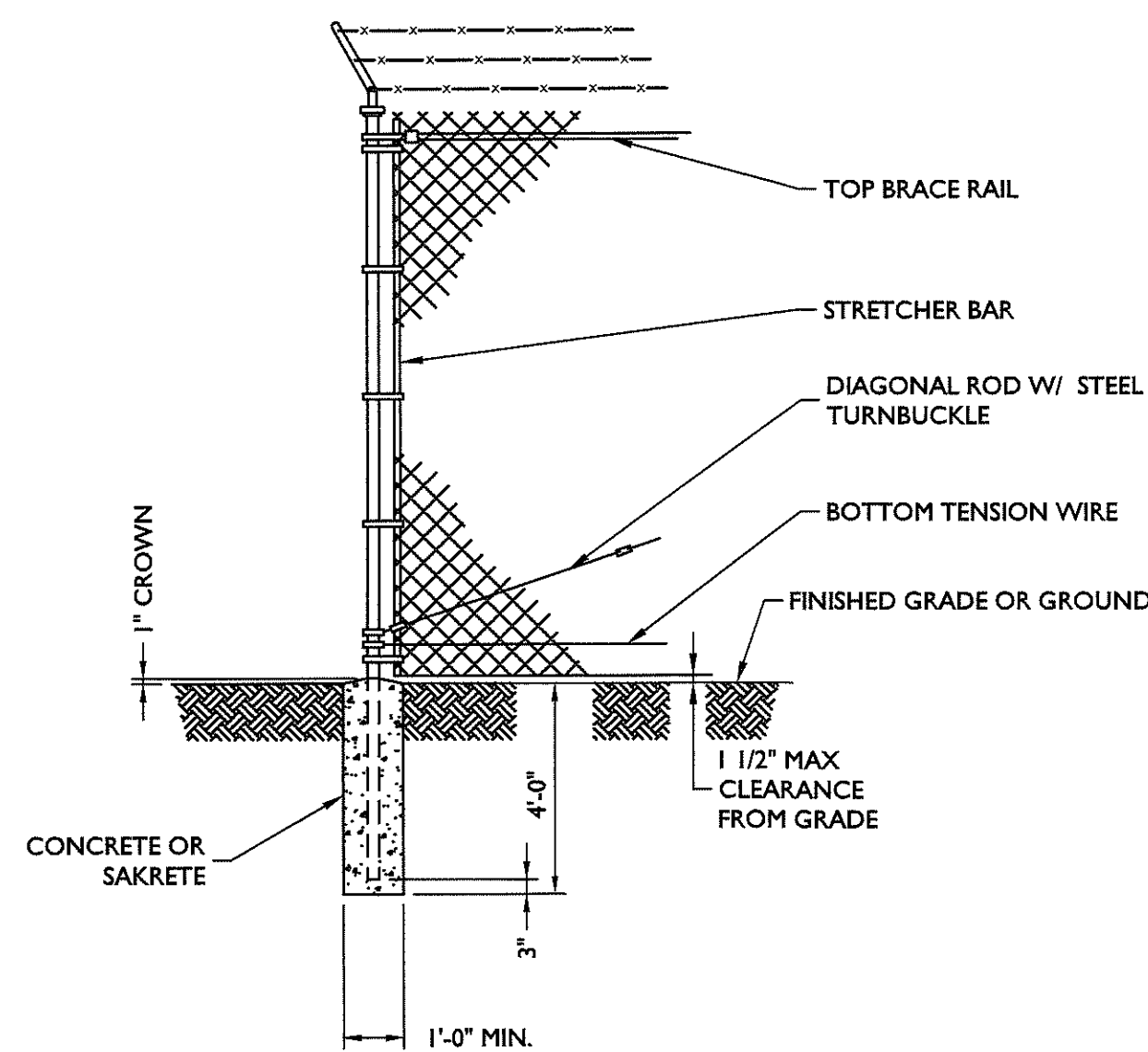
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7 CLUBHOUSE DRIVE
OCEAN VIEW, DE 19970
SUSSEX COUNTY

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2000 Midlantic Drive,
Suite 100
Mt. Laurel, NJ 08054
Phone: 856.797.0412
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CONSTRUCTION DETAILS

SHEET NUMBER:
A-4

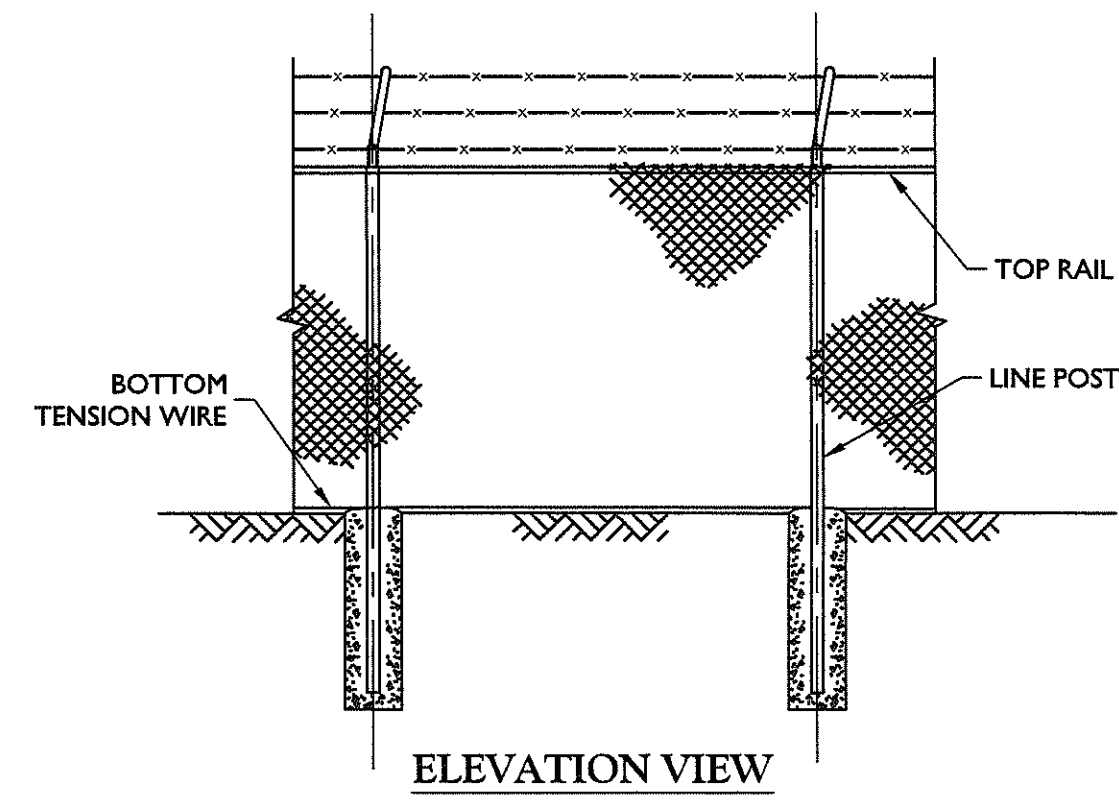
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



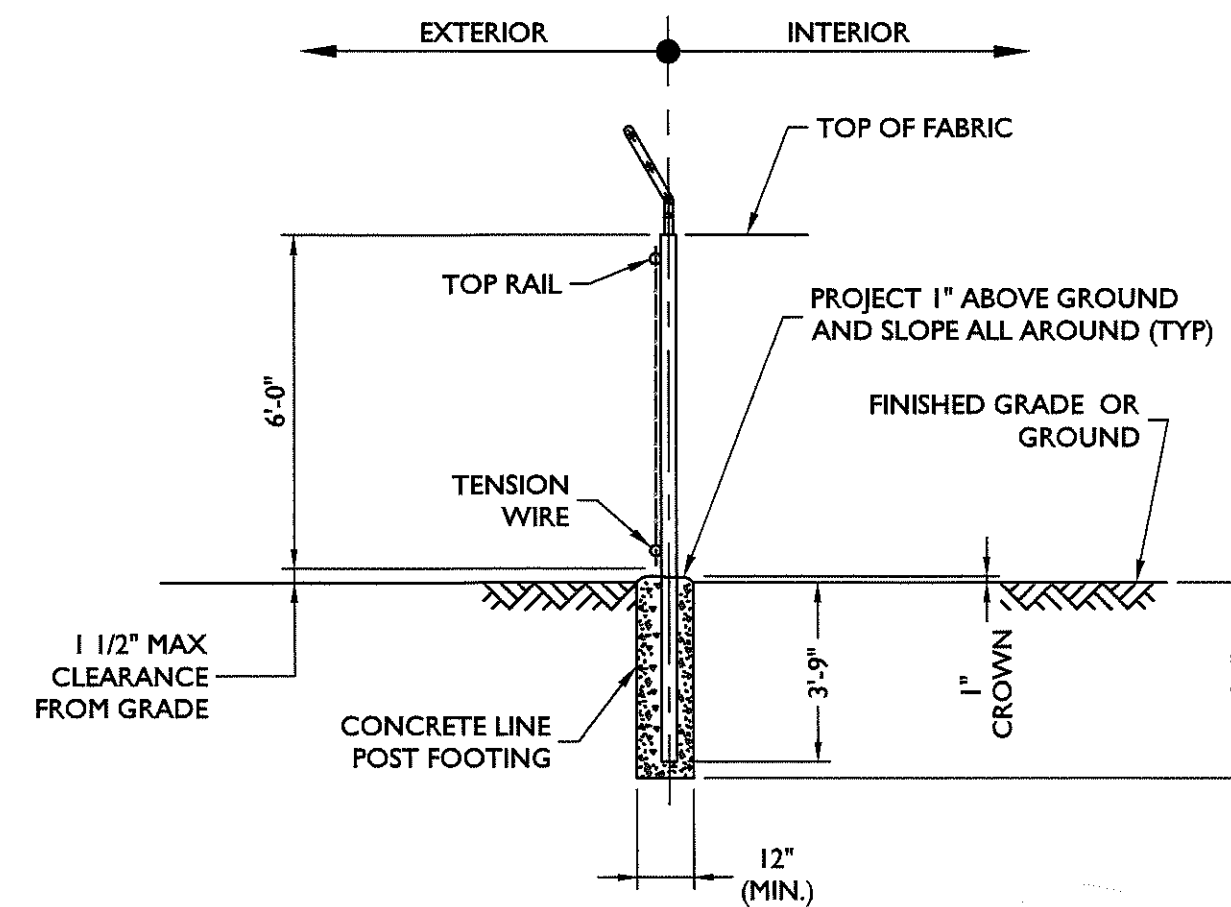
WOVEN WIRE CORNER, GATE, END, OR PULL POST
NOT TO SCALE

FENCE NOTES:

1. GATE POST, CORNER, TERMINAL OR PULL POST SHALL BE 3"Ø SCHEDULE 40 FOR GATE WIDTHS UP THROUGH 7 FEET OR 14 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.
2. LINE POST: 2-3/8"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
3. GATE FRAME: 1 1/2"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
4. TOP RAIL & BRACE RAIL: 1 1/4"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
5. FABRIC: 9 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392 CLASS I.
6. TIE WIRE: MINIMUM 11 GA GALVANIZED STEEL. INSTALL A SINGLE WRAP TIE WIRE AT POSTS AND RAILS AT MAX. 24" INTERVALS. INSTALL HOG RINGS ON TENSION WIRE AT 24" INTERVALS.
7. TENSION WIRE: 7 GA. GALVANIZED STEEL.
8. BARBED WIRE: 3 STRANDS OF DOUBLE STRANDED 12-1/2 GAUGE TWISTED WIRE, 4 FT. BARBS SPACED ON APPROXIMATELY 5" CENTERS.
9. GATE LATCH: 1-3/8" O.D. PLUNGER ROD W/ MUSHROOM TYPE CATCH AND LOCK.
10. LOCAL ORDINANCE FOR BARBED WIRE PERMIT SHALL GOVERN INSTALLATION.
11. HEIGHT = 6'-0" VERTICAL DIMENSION WITH 1'-0" BARBED WIRE.
12. ALL WORK SHALL CONFORM WITH THE PROJECT SPECIFICATIONS.

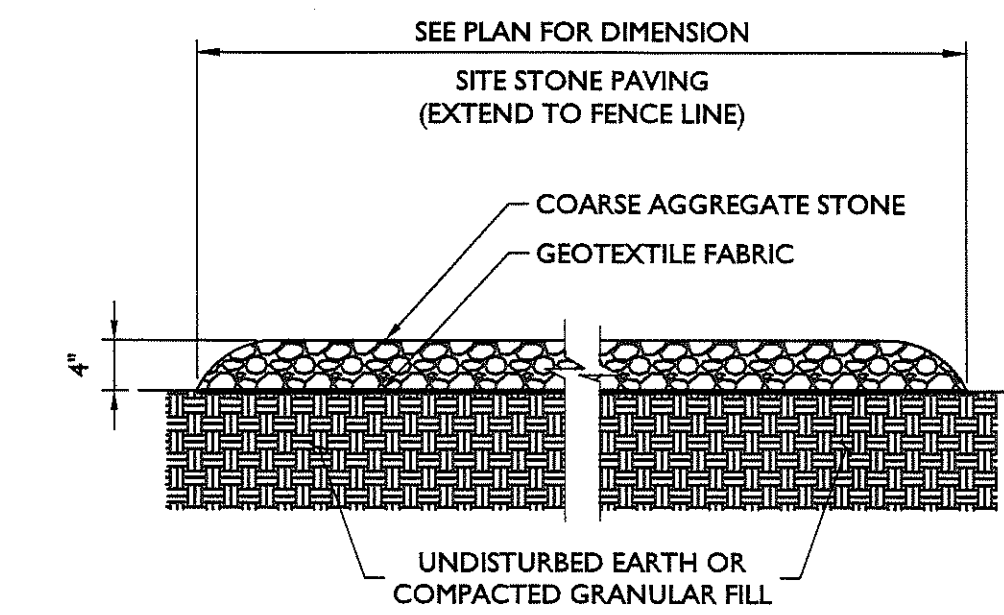


ELEVATION VIEW

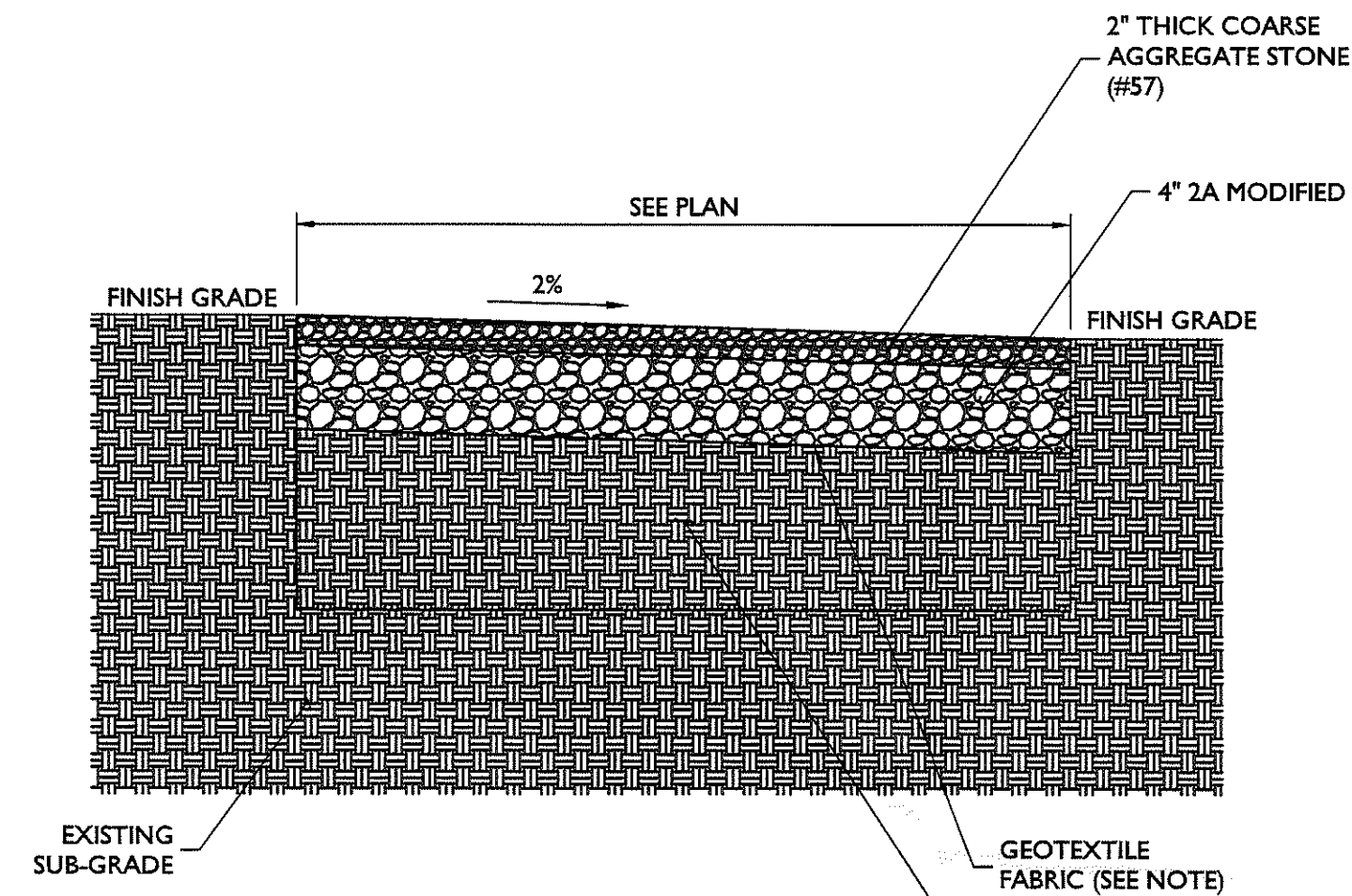


SECTION VIEW

WOVEN WIRE FENCE DETAIL
NOT TO SCALE

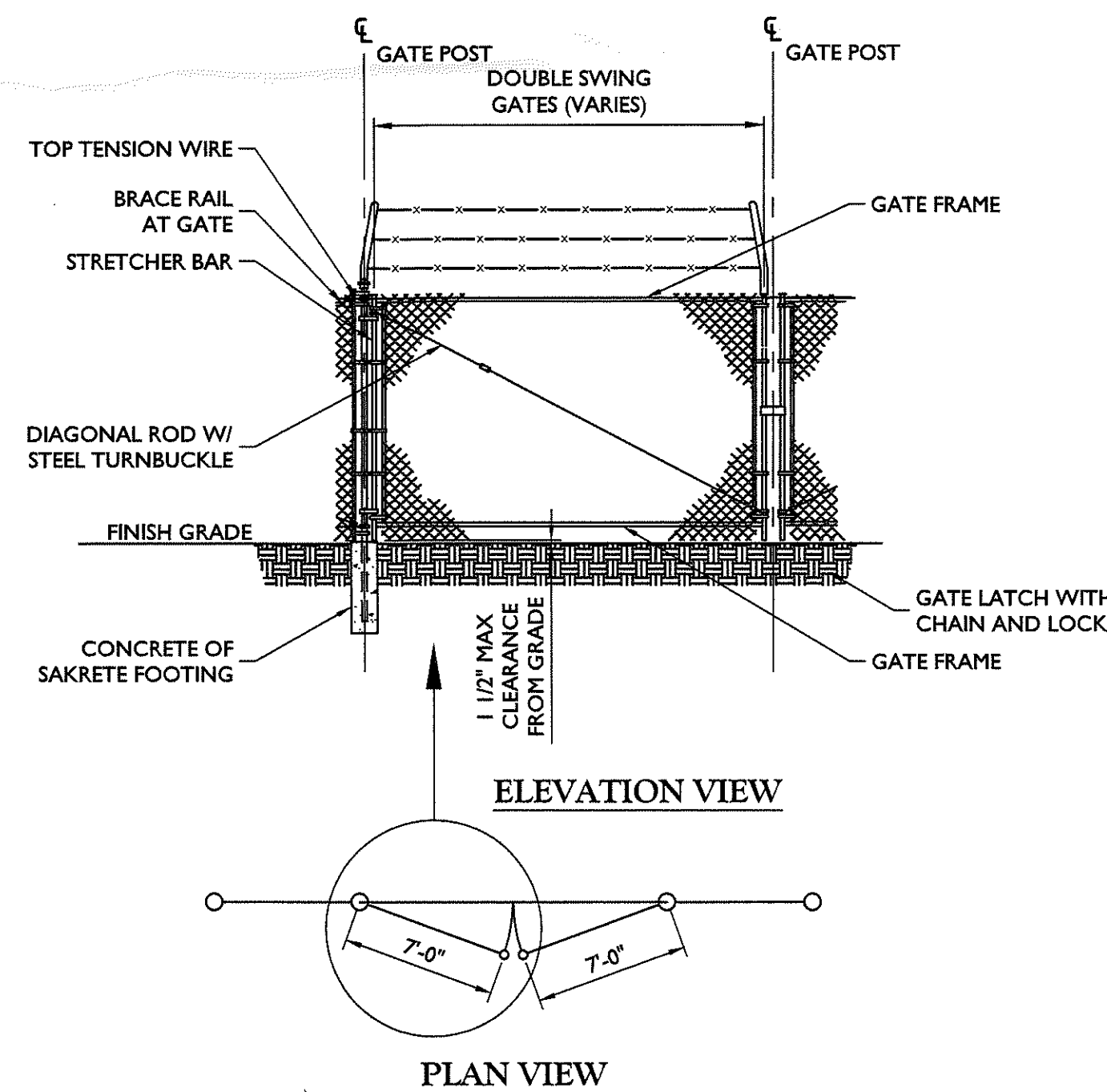


GRAVEL SURFACING
NOT TO SCALE



NOTE:
GEOTEXTILE FABRIC IS TO BE MIRAFI 500X
WOVEN WIRE FABRIC OR APPROVED EQUAL.

GRAVEL DRIVEWAY SURFACING
NOT TO SCALE



ELEVATION VIEW

PLAN VIEW

WOVEN WIRE SWING GATE, DOUBLE
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A	04/11/23	ISSUED FOR REVIEW	FAC	MEG

Matthew E. Grainger
DELAWARE PROFESSIONAL ENGINEER
COLLIERS ENGINEERING & DESIGN, INC.
D.E.C. 001012840

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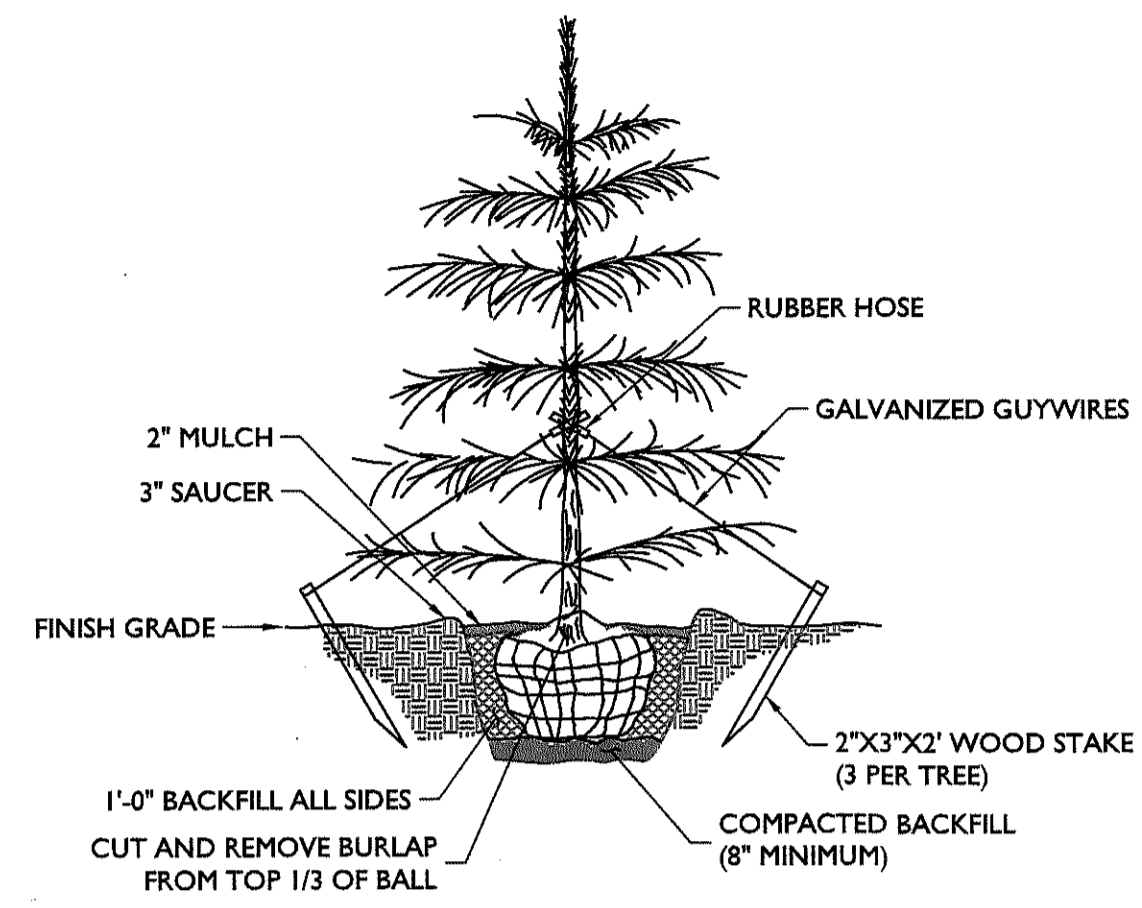
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SHEET TITLE:
CONSTRUCTION DETAILS
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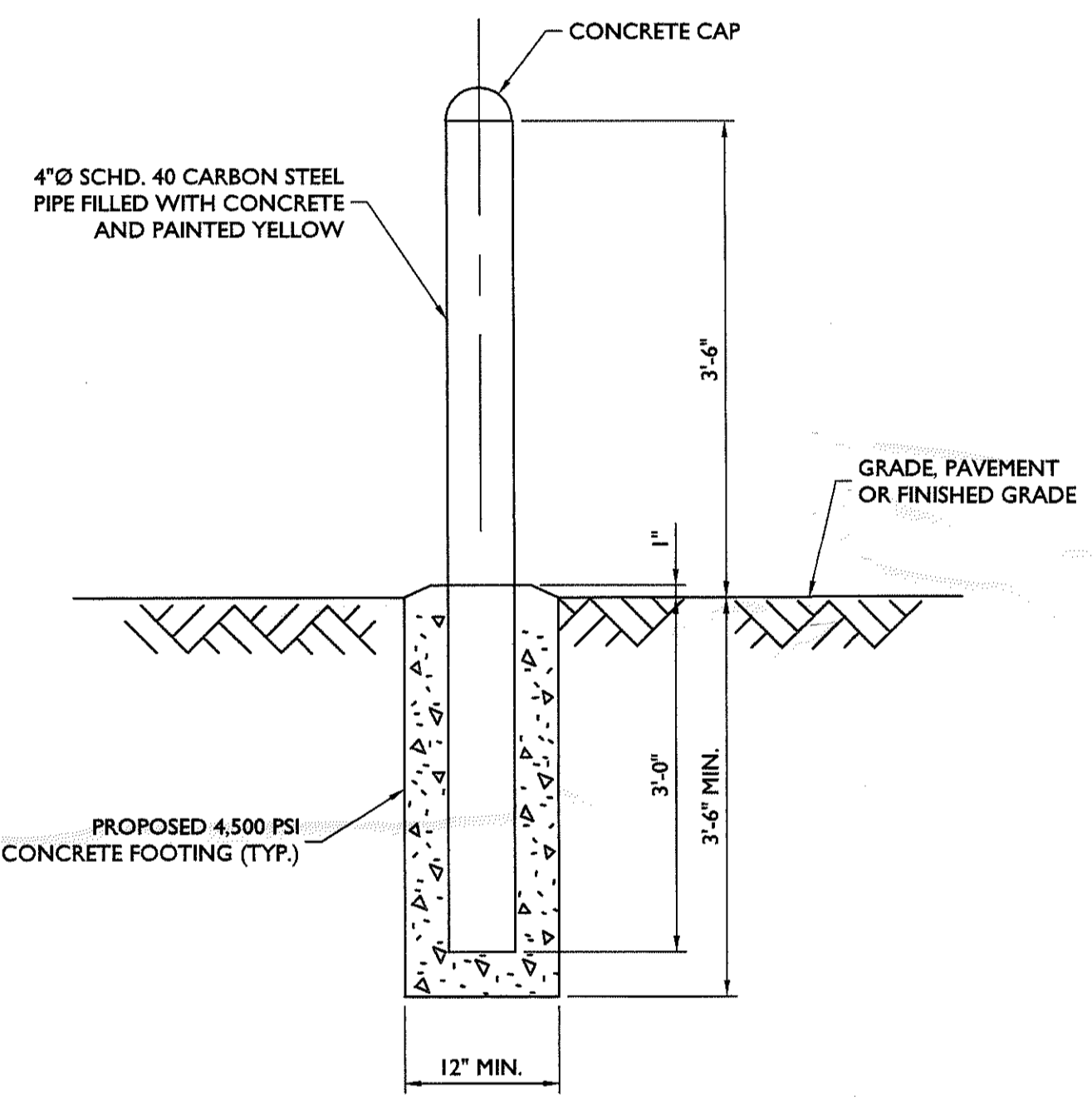


SCIENTIFIC NAME	COMMON NAME	PLANTING HEIGHT	SPACING	CALIPER	TYPE	TOTAL NUMBER
THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	6'	5' O.C.	N/A	B&B	40

LANDSCAPE MAINTENANCE NOTES:

- REFER TO THE ENGINEERING PLANS FOR ADDITIONAL INFORMATION REGARDING THE SITE DEVELOPMENT.
- CONTRACTOR TO REMOVE ANY EXISTING TREE OR SHRUB FROM THE PROPOSED COMPOUND.
- ALL PLANT MATERIAL SHALL CONFORM TO ALL LOCAL LAND DEVELOPMENT REGULATIONS AND ORDINANCES.
- ALL LANDSCAPE PLANTING AREAS SHALL BE MULCHED WITH 4" MINIMUM DEPTH OF SHREDDED HARDWOOD MULCH, EXCEPT TURF AREAS.
- ALL TREES AND SHRUBS SHALL BE GUARANTEED FOR A PERIOD OF 18 MONTHS FROM THE DATE OF PLANTING.
- ALL PLANTING OPERATIONS SHALL BE DONE IN THE APPROPRIATE WEATHER AFTER FINAL GRADING HAS OCCURRED. B&B MATERIAL MAY BE PLANTED AT ANY TIME WHEN THE SOIL AND BACKFILL ARE NOT FROZEN OR IN AN UNSUITABLE CONDITION. OTHER KINDS OF PLANTS SHALL BE PLANTED AT TIMES OF THE YEAR DICTATED BY GOOD HORTICULTURAL PRACTICES AND AVAILABILITY OF PLANT MATERIAL.
- NEWLY INSTALLED TREES AND SHRUBS SHALL BE IRRIGATED WEEKLY FOR THE FIRST GROWING SEASON.
- IN THE EVENT OF ANY DISCREPANCIES WITH THIS PLAN, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY FOR REVIEW AND RESOLUTION.
- BACKFILL MATERIAL FOR PLANTING AREAS SHALL BE COMPOSED OF 80% TOPSOIL AMENDED WITH 10% PEAT MOSS AND 10% FULLY COMPOSTED HORSE OR COW MANURE.
- THE QUALITY AND SIZE OF PLANT MATERIAL, SPREAD OF THE ROOTS AND THE SIZE OF THE ROOT BALL SHALL BE IN ACCORDANCE WITH "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL HAVE NORMAL, WELL-DEVELOPED BRANCHES AND VIGOROUS FIBROUS ROOT SYSTEMS. ALL PLANTS SHALL BE NURSERY-GROWN, UNLESS OTHERWISE STATED. ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR CONDITION, OR WHICH ARE NOT TRUE TO NAME, SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE PLANTS.
- PLANTS SHALL BE MEASURED AS THEY STAND IN THEIR NATURAL POSITION. STOCK FURNISHED SHALL BE A FAIR AVERAGE OF THE MINIMUM SIZES SPECIFIED OR OF THE RANGE GIVEN IN THE U.S.D.A STANDARDS FOR NURSERY STOCK. LARGER PLANTS CUT BACK TO SIZES SPECIFIED SHALL NOT BE ACCEPTED.
- ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICES SHALL BE TAKEN IN PREPARING PLANTS FOR MOVING. ALL BALLED AND BURLAPPED PLANTS SHALL BE DUG TO MEET OR EXCEED U.S.D.A STANDARDS FOR NURSERY STOCK.
- PLANTS SHALL BE PACKED, TRANSPORTED AND HANDLED WITH UTMOST CARE TO ENSURE ADEQUATE PROTECTION AGAINST INJURY. EACH SHIPMENT SHALL BE CERTIFIED BY STATE AND FEDERAL AUTHORITIES TO BE FREE FROM DISEASES AND INFESTATION.
- IN ORDER TO ACHIEVE THE EFFECT ESTABLISHED IN THE PLANTING PLAN, UNIFORMITY OF PLANT MATERIAL IS DESIRED. THE PLANT MATERIAL SHALL BE OF THE SAME SIZE, AGE AND CULTIVAR, AND SHALL HAVE BEEN OBTAINED FROM THE SAME NURSERY.

EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



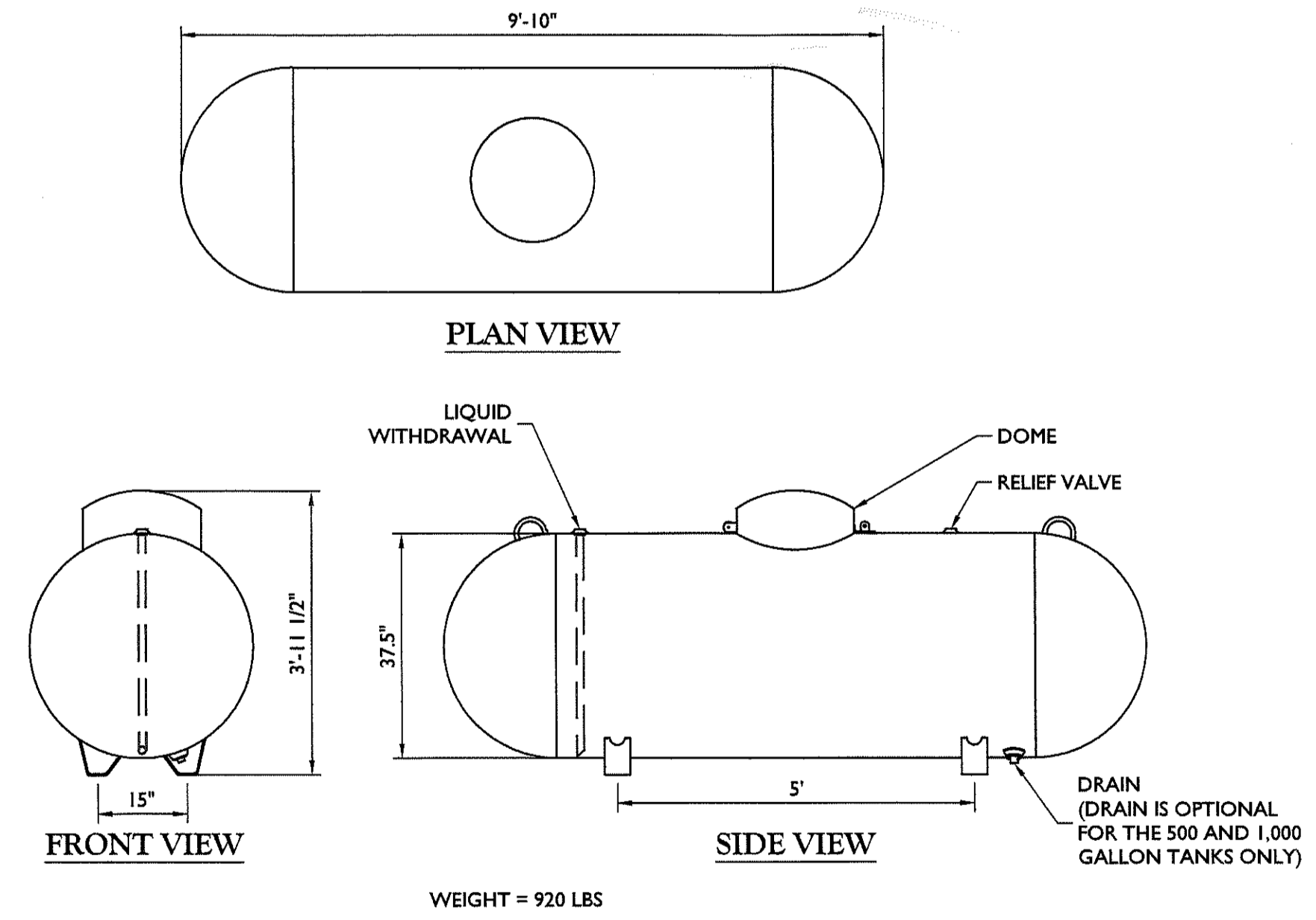
BOLLARD DETAIL
NOT TO SCALE



ABOVEGROUND PROPANE STORAGE TANKS
120 - 1000 Gallons

ABOVEGROUND VESSEL DIMENSIONS & SPECIFICATIONS
(All Vessel Dimensions are Approximate)

Part Number	Description	Water Capacity Gall	Outside Diameter In/mm	Head Type	Overall Length In/mm	Overall Height In/mm	Leg Width In/mm	Leg Spacing In/mm	Weight Lbs/Kg	Quantity Full Load	Per Stack
68268**	120 Gallon Aboveground Storage Tank	120	24" / 609.6	Ellip	5' 8" / 1727.2	2' 10 1/4" / 870	10 1/8" / 257.2	3' 0" / 914.4	310 / 140.6	96	12
68270**	250 Gallon Aboveground Storage Tank	250	30" / 762	Hemi	7' 10" / 2387.6	3' 4 3/16" / 1020.8	12 3/4" / 323.9	3' 6" / 1066.8	471 / 213.6	54	9
68272**	320 Gallon Aboveground Storage Tank	320	30" / 762.0	Hemi	9' 7" / 2921	3' 4 3/16" / 1020.8	12 3/4" / 323.9	4' 0 1/4" / 1225.6	566 / 256.7	45	9
68274**	500 Gallon Aboveground Storage Tank	500	37.5" / 952.5	Hemi	9' 10" / 2997.2	3' 11 1/2" / 1206.5	15" / 381	5' 0" / 1524	920 / 417.3	30	6
68303*	1000 Gallon Aboveground Storage Tank	1000	41" / 1041.4	Hemi	15' 11" / 4851.4	4' 2 15/16" / 1293.8	16 1/4" / 412.8	9' 0" / 2743.2	1737 / 787.9	15	5



MANCHESTER PROPANE TANK 500 GALLON
ABOVEGROUND STORAGE DETAIL
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AS SHOWN	22960035A			
0	07/21/23	ISSUED FOR ZONING	MEG	MEG
A	04/11/23	ISSUED FOR REVIEW	FAC	MEG
REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY

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DELAWARE PROFESSIONAL ENGINEER
COLLIERS ENGINEERING & DESIGN, INC.
D.E. LICENSE NO. 2840

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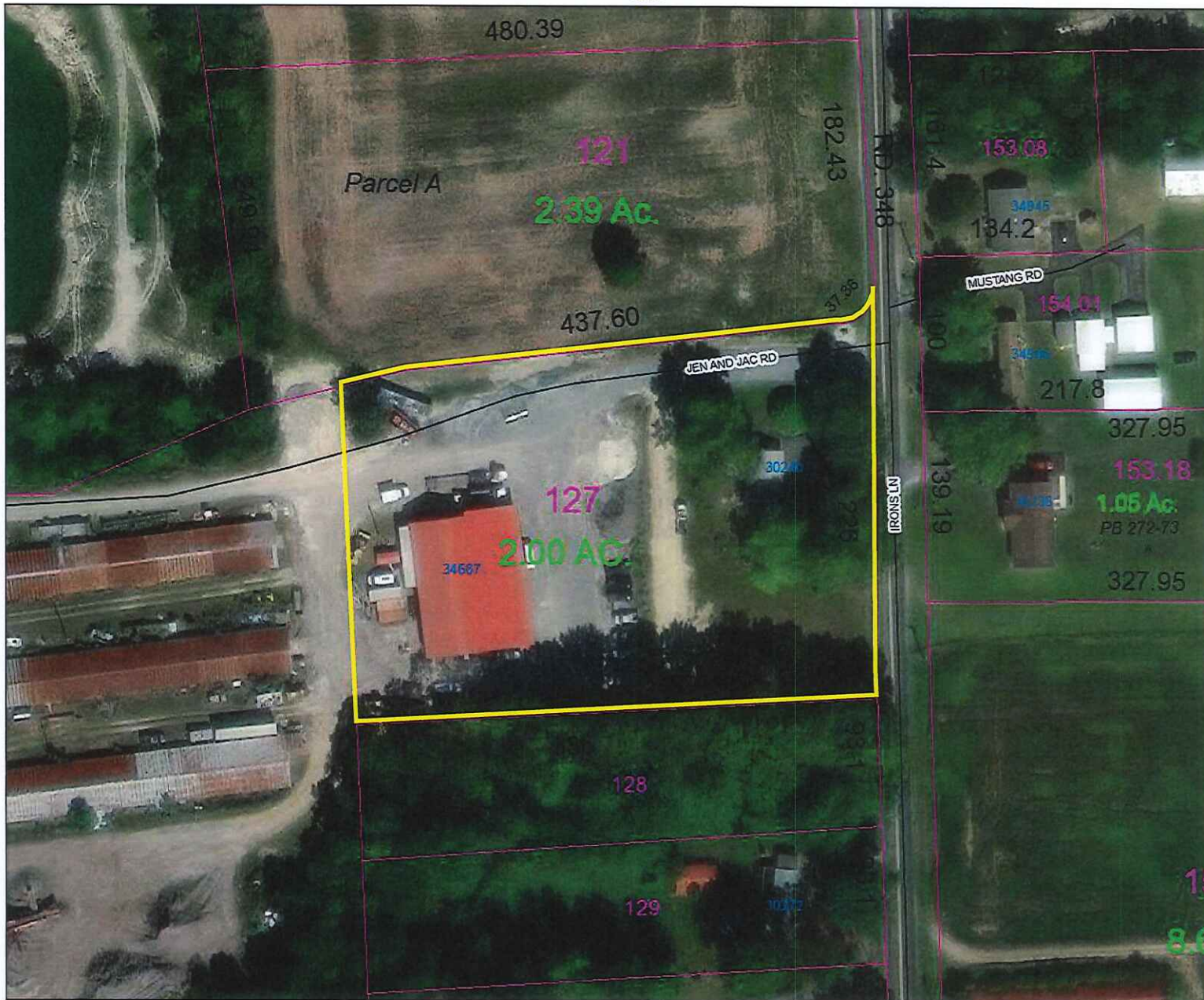
SHEET TITLE:
CONSTRUCTION DETAILS

SHEET NUMBER:
A-6

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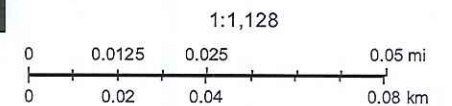


Sussex County



PIN:	134-7.00-127.00
Owner Name	BANKS DAVID L TTEE REV TR
Book	5820
Mailing Address	30190 WHITE'S NECK RI
City	DAGSBORO
State	DE
Description	RD CLARKSVILLE
Description 2	TO IRONS LANE
Description 3	2 ACRES WITH IMP.
Land Code	

- polygonLayer
- Override 1
- polygonLayer
- Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries



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Search

Search by SUSSEXPARCELS -

134-7.00-127.00

Search results (1) Options -

134-7.00-127.00

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map: Auto (Oblique) - Dates: Latest - < Image 1 of 7 > 03/02/2023

150 ft
120 m

Case # 12903
Hearing Date 2/5/2024
202317206

Board of Adjustment Application
Sussex County, Delaware
Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check all applicable)

Variance Existing Condition
Special Use Exception Proposed
Administrative Variance Code Reference (office use only) _____
Appeal _____

Site Address of Variance/Special Use Exception:

34362 Beach Plum Road (Lot #467), Long Neck, DE 19966

Variance/Special Use Exception/Appeal Requested:

Applicant requests that a variance be granted to allow the required 20-foot minimum separation distance between the home on Lot #467, and the carport on Lot #468, be reduced to 14.49 feet.

Tax Map #: 234-30.00-3.00-~~507418~~ Property Zoning: AR-1

Applicant Information

Applicant Name: Pot-Nets Homes, LLC
Applicant Address: 34026 Anna's Way, Suite 3
City Long Neck State DE Zip: 19966
Applicant Phone #: (302) 945-9300 Applicant e-mail: Lincoln@potnets.com


Owner Information

Owner Name: Pot-Nets Homes, LLC
Owner Address: 34026 Anna's Way, Suite 3
City Long Neck State D Zip: 19966 Purchase Date: 11/7/23
Owner Phone #: (302) 945-9300 Owner e-mail: Lincoln@potnets.com

Agent/Attorney Information

Agent/Attorney Name: Not applicable.
Agent/Attorney Address: _____
City _____ State _____ Zip: _____
Agent/Attorney Phone #: _____ Agent/Attorney e-mail: _____

Signature of Owner/Agent/Attorney



Date: 12/08/2023



Sussex County, DE - BOA Application

Criteria for a Variance: (Please provide a written statement regarding each criteria).

You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.

In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.

1. Uniqueness of property:

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

The subject property (#467) is an unusual shaped corner lot, containing a newly constructed home with a detached 14x14 shed. The new home & shed are constructed within all setback lines (10-ft), however there is a pre-existing carport/enclosure on the adjacent homesite (#468), which is only 14.49 feet from the shed, and 4.49 feet from the property boundary.

2. Cannot otherwise be developed:

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

The carport/enclosure on the adjacent homesite (#468) is actively in use. It's removal would require significant demolition of conditioned space, and the loss of a covered parking area for the owners of #468.

3. Not created by the applicant:

That such exceptional practical difficulty has not been created by the appellant.

Several decades ago, the owner of the adjacent property (#468) constructed their carport/enclosure as close as 4.49 feet to the shared property boundary. This improvement was never added to the master layout for Pot-Nets, and was not recognized until after the home/shed on #467 were complete. The new home and shed on #467 was placed within all setback lines, without realizing the encroachment of #468 to the boundary.

4. Will not alter the essential character of the neighborhood:

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

The carport/enclosure on #468 has been in place for several decades, and has never caused detriment to adjacent properties, homeowners, property values or the public. As a pre-existing condition within Pot-Nets, it is already reflective of the character of the neighborhood.

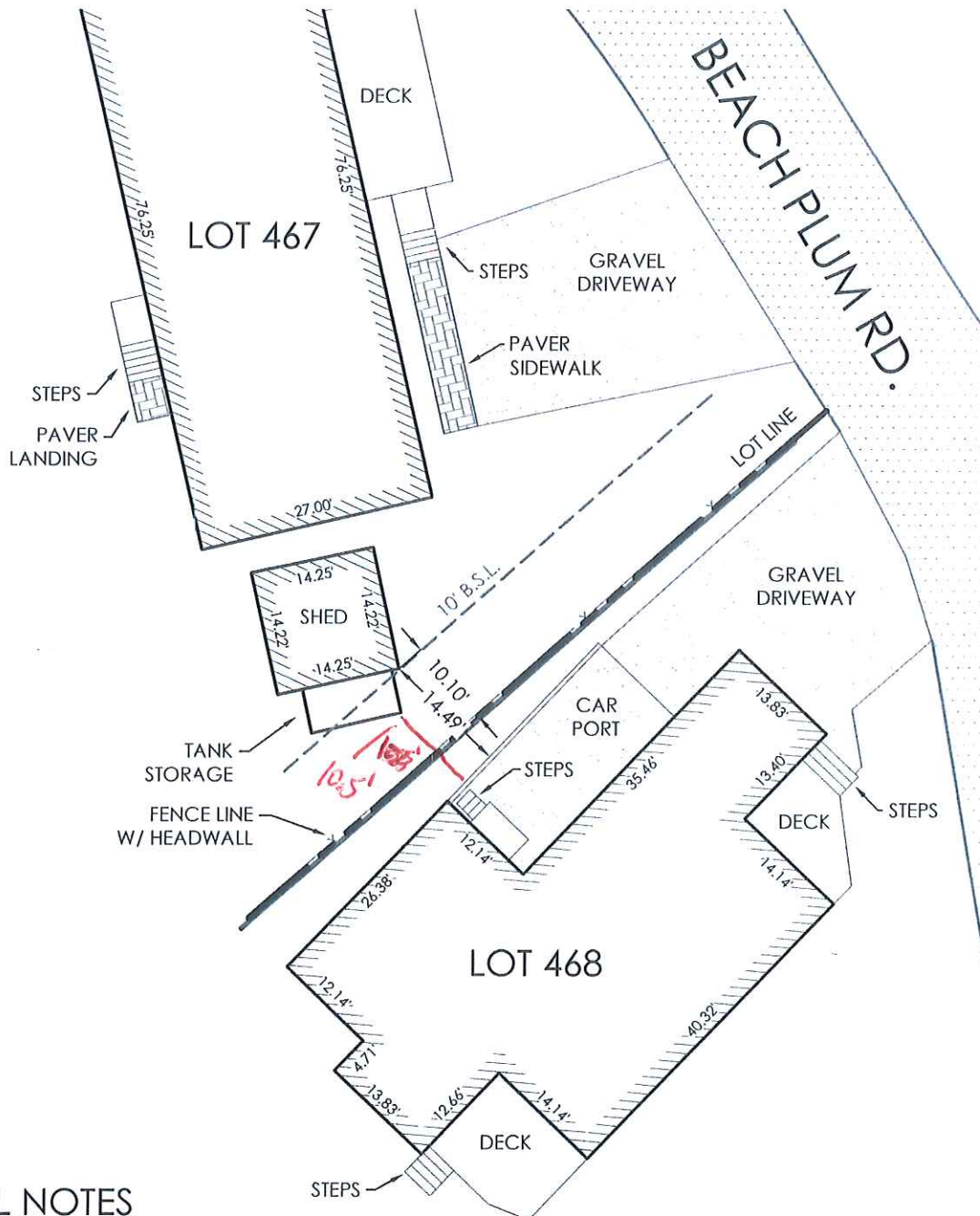
5. Minimum variance:

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

The continued use of the carport/enclosure on #468 would afford relief to the current homeowner of #468. The variance will eventually self-correct, as the ground lessor (Pot-Nets Bayside LLC) will either require the carport/enclosure to be removed from the home (#468) prior to any resale, or will require the home to be removed from the homesite upon expiration of the lease, permanently correcting the building separation variance.

Exhibit to Variance Application
34362 Beach Plum Road (lot #467), Long Neck, DE 19966
Tax Map #: 234-30.00-3.00-56748





GENERAL NOTES

1. CURRENT OWNER: POT-NETS BAYSIDE LLC.
34026 ANNAS WAY UNIT 1
MILLSBORO, DE. 19966
2. TAX REFERENCE: 234-30.00-2.00
3. BASED UPON F.E.M.A. FLOOD INSURANCE RATE MAP NUMBER 10005C0482K, PANEL 482 OF 660, WITH AN EFFECTIVE DATE OF MARCH 16, 2015, THIS SITE IS LOCATED WITHIN FLOOD ZONE AE (ELEV. 7') BASE FLOOD ELEVATIONS DETERMINED.
4. SETBACKS: FRONT = 10'
SIDE = 10'
REAR = 10'
5. ZONED: AR-1

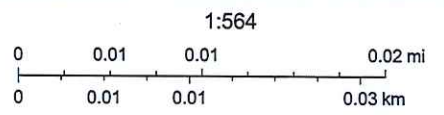


Sussex County



December 22, 2023

- | | | |
|---------------|----------------------------|------------------------------|
| pointLayer | — Streets | High Resolution 60cm Imagery |
| ■ Override 1 | ▭ County Boundaries | High Resolution 30cm Imagery |
| ● Override 2 | World Imagery | Citations |
| ▭ Tax Parcels | Low Resolution 15m Imagery | 15cm Resolution Metadata |
| 911 Address | | |



State of Delaware, Maxar, Microsoft, Sussex County Government, Sussex County Mapping and Addressing

CONNECTEXPLORER



map: Auto (Ortho) ▾ Dates: Latest ▾ < Image 1 of 6 > 03/02/2023



Exhibit to Variance Application
34362 Beach Plum Road(lot #467), Long Neck, DE 19966
Tax Map #: 234-30.00-3.00-56748



Exhibit to Variance Application
34362 Beach Plum Road(lot #467), Long Neck, DE 19966
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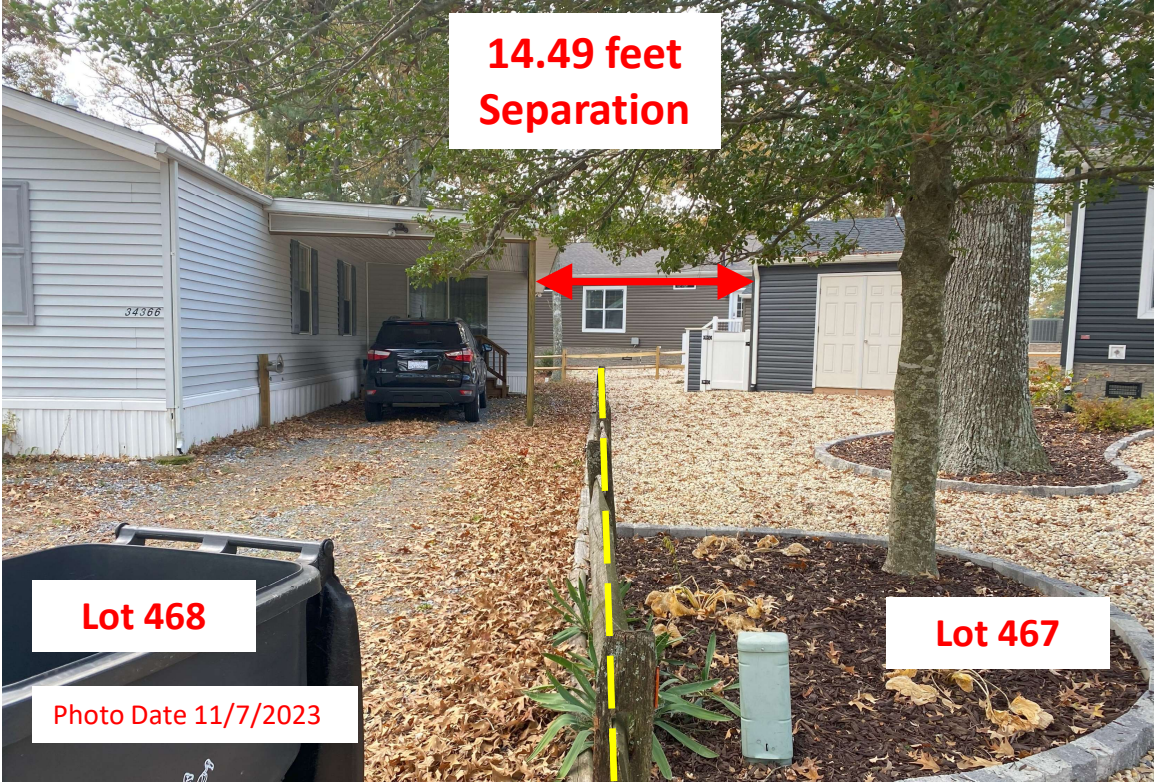
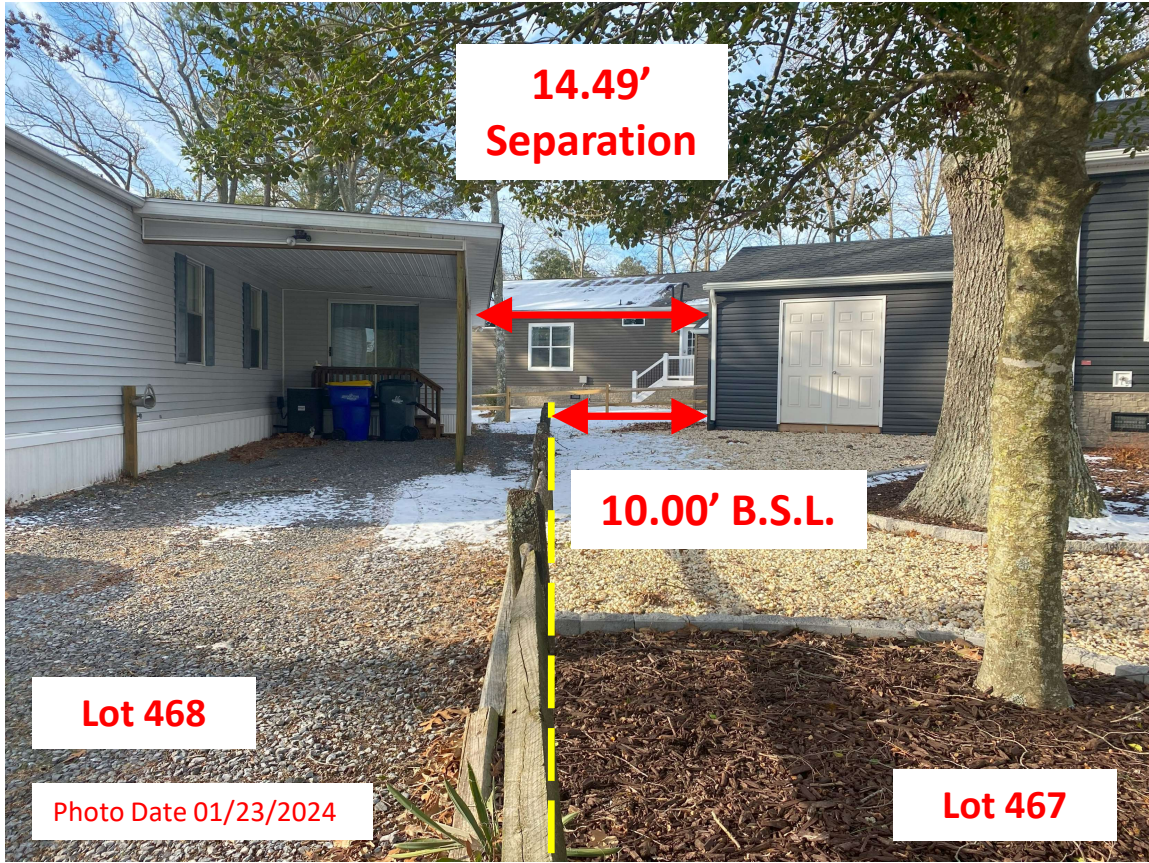


Exhibit to Variance Application (revised 1/23/2024)
34362 Beach Plum Road(lot #467), Long Neck, DE 19966
Tax Map #: 234-30.00-3.00-56748



From: Lincoln Davis
Sent: Tue, 23 Jan 2024 15:19:19 +0000
To: Jennifer Norwood
Cc: Amy Hollis; Marina Truitt
Subject: RE: 34362 Beach Plum Rd Lot 467 Pot Nets Bayside Variance Application Case No. 12903
Attachments: 467 Beach Plum Variance photo exhibit C.pdf, S19079 PN-Bayside - Lot 467 Variance Exhibit - updated 1-19-2024.pdf

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Good Morning Jenny,

We decided to remove the fence enclosure.

Attached are two updated exhibits:

- 1) photo exhibit showing site dimensions without fence enclosure (dated 1/23/24), and
- 2) updated survey without fence enclosure (dated 1/19/24).

I'd be grateful if you could confirm amending our application with these exhibits.

Thanks,

Linc

Lincoln Davis
 Executive Director
 Tunnell Companies, L.P.

From: Jennifer Norwood <jnorwood@sussexcountyde.gov>
Sent: Tuesday, January 9, 2024 3:10 PM
To: Lincoln Davis <lincoln@potnets.com>
Cc: Amy Hollis <amy.hollis@sussexcountyde.gov>; Marina Truitt <marina.truitt@sussexcountyde.gov>
Subject: RE: 34362 Beach Plum Rd Lot 467 Pot Nets Bayside Variance Application Case No. 12903

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Lincoln,

Thank you for the additional photos, because the fence enclosure is attached to the shed we will have to include it in the variance request.

Can you have the survey revised to show that distance or verify the distance?

Thanks,

Jenny

From: Lincoln Davis <lincoln@potnets.com>
Sent: Tuesday, January 9, 2024 9:50 AM
To: Jennifer Norwood <jnorwood@sussexcountyde.gov>
Cc: Amy Hollis <amy.hollis@sussexcountyde.gov>; Marina Truitt <marina.truitt@sussexcountyde.gov>
Subject: RE: 34362 Beach Plum Rd Lot 467 Pot Nets Bayside Variance Application Case No. 12903

CAUTION: This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

Hi Jennifer,

I appreciate your review and comments. If it saves a trip, I've attached photos of the "tank storage" area.

That fence enclosure is mislabeled, and is actually for the storage of trash cans. It is attached to the side wall of the shed. The propane tanks are on the opposite side of the home.

Does the use of the fence enclosure for trash cans only (no tanks) allow it to stay out of the variance request?

Thank you,

Linc

Lincoln Davis
 Executive Director
 Tunnell Companies, L.P.

From: Jennifer Norwood <jnorwood@sussexcountyde.gov>
Sent: Wednesday, January 3, 2024 10:51 AM
To: Lincoln Davis <lincoln@potnets.com>
Cc: Amy Hollis <amy.hollis@sussexcountyde.gov>; Marina Truitt <marina.truitt@sussexcountyde.gov>
Subject: RE: 34362 Beach Plum Rd Lot 467 Pot Nets Bayside Variance Application Case No. 12903

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Lincoln,

I am reviewing the variance application submitted for the above referenced lot and wanted to verify the tank storage area shown on the survey and picture. The area used for tank storage is enclosed with fencing/walls, is this attached to the shed? If so this portion will need to be included in the variance request, if attached to the shed it must also meet the separation and setback requirements.

The survey shows this area to extend beyond the 10-ft setback requirement and will also encroach into the 20-ft separation requirement you are seeking for the shed. We can include it as part of your

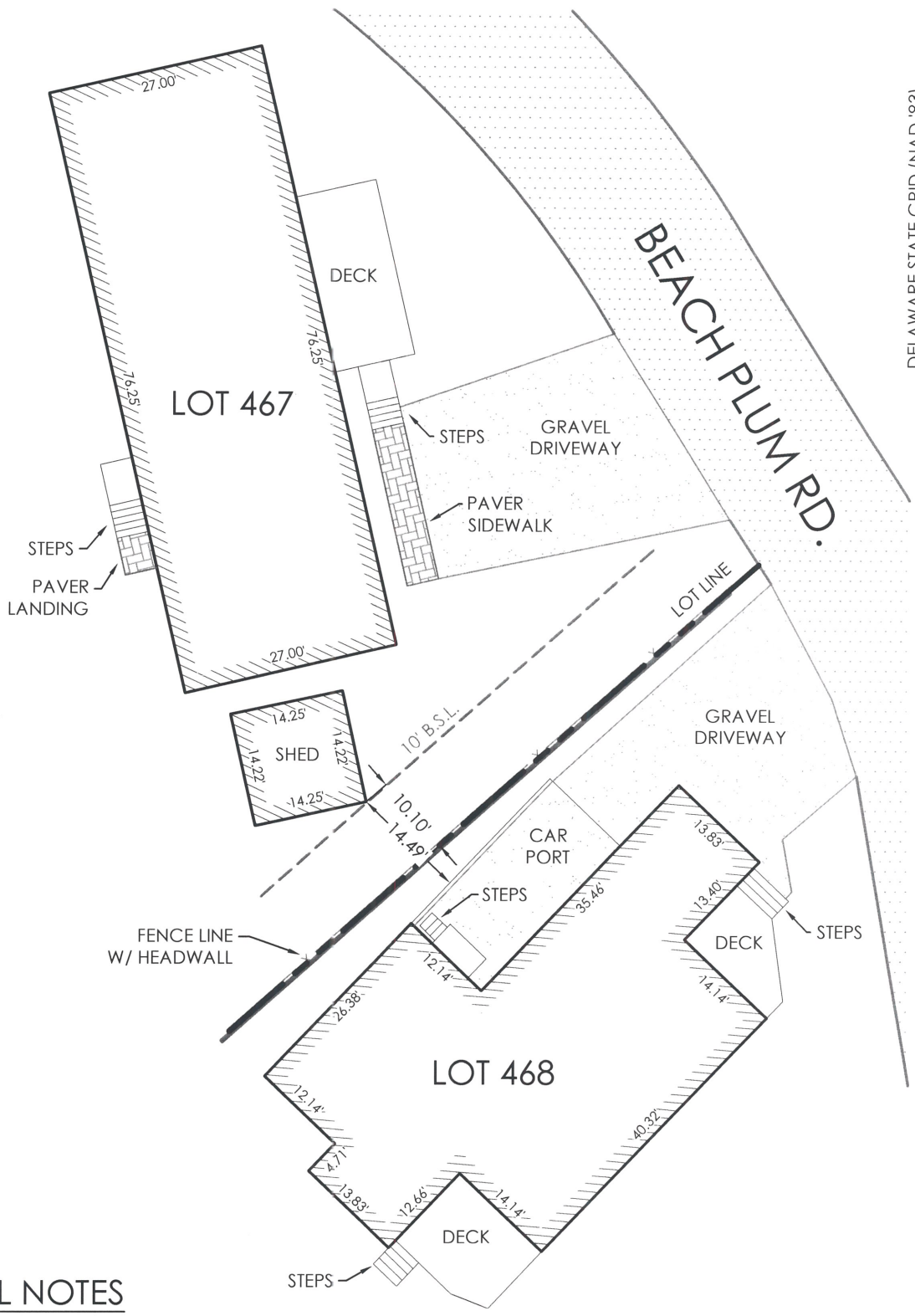
application, we would just need a revised survey to show the exact distance the tank storage is from the neighbor's carport and manufactured home along with the distance from the lot line.

Please let me know if you have any additional questions or if we need to further discuss the tank storage area.

Thanks,
Jenny

Jennifer Norwood

Planning Manager
Planning and Zoning Department
2 The Circle
PO Box 417
Georgetown, DE 19947
Office Phone (302)855-7878
Direct Line (302)858-5501
jnorwood@sussexcountyde.gov



DELAWARE STATE GRID (NAD '83)

GENERAL NOTES

- 1. CURRENT OWNER: POT-NETS BAYSIDE LLC.
34026 ANNAS WAY UNIT 1
MILLSBORO, DE. 19966
- 2. TAX REFERENCE: 234-30.00-2.00
- 3. BASED UPON F.E.M.A. FLOOD INSURANCE RATE MAP NUMBER 10005C0482K, PANEL 482 OF 660, WITH AN EFFECTIVE DATE OF MARCH 16, 2015, THIS SITE IS LOCATED WITHIN FLOOD ZONE AE (ELEV. 7') BASE FLOOD ELEVATIONS DETERMINED.
- 4. SETBACKS: FRONT = 10'
SIDE = 10'
REAR = 10'
- 5. ZONED: AR-1



solutions
Integrated Planning
Engineering & Management, LLC

3003 Merritt Mill Road
Salisbury, MD 21804
T. 401.572.8833
www.solutionsipem.com
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Drawn by: CAT
Job No.: S19079

BUILDING LOCATION
LOT 467 & 468
POT-NETS BAYSIDE
INDIAN RIVER HUNDRED,
SUSSEX COUNTY, DELAWARE

Scale: 1" = 20' Date: 11/13/2023 Sheet 1 of 1

RECEIVED

DEC 19 2023

SUSSEX COUNTY
PLANNING & ZONING

Board of Adjustment Application
Sussex County, Delaware

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Case # 12904
Hearing Date 2-5-2024
202317429

Type of Application: (please check all applicable)

Variance
Special Use Exception
Administrative Variance
Appeal

Existing Condition
Proposed
Code Reference (office use only)

Site Address of Variance/Special Use Exception:

11853 Greenhurst Farm Road, Lot 2, Greenwood, DE 19950

Variance/Special Use Exception/Appeal Requested:

Variance request in the amount of 12" (1 foot) for a pre-existing equipment shed from the 15 *foot* *side* yard setback on Lot 2.

Tax Map #: 430-2.00-2.00

Property Zoning: AR-1

Applicant Information

Applicant Name: Jay Kevin Green, Sr.
Applicant Address: 404 Marsh Branch Road
City Greenwood State DE Zip: 19950
Applicant Phone #: (302) 542-6588 Applicant e-mail: bgreen1212@yahoo.com

Owner Information

Owner Name: Multiple Owners, see information sheet attached
Owner Address: _____
City _____ State _____ Zip: _____ Purchase Date: _____
Owner Phone #: _____ Owner e-mail: _____

Agent/Attorney Information

Agent/Attorney Name: N/A
Agent/Attorney Address: _____
City _____ State _____ Zip: _____
Agent/Attorney Phone #: _____ Agent/Attorney e-mail: _____

Signature of Owner/Agent/Attorney

Jay K Green Sr

Date: 12/18/2023



Sussex County, DE - BOA Application

Criteria for a Variance: (Please provide a written statement regarding each criteria).

You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.

In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.

1. Uniqueness of property:

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

This is an 86-acre farm, recently subdivided into four (4) equal lots per Court Order. Lot lines were court ordered and surveyed therein.

2. Cannot otherwise be developed:

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

To settle Court Order to meet Order requirements.

3. Not created by the applicant:

That such exceptional practical difficulty has not been created by the appellant.

Lot lines were not self-made, they were ordered by Court of Chancery Order.

4. Will not alter the essential character of the neighborhood:

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

Land is currently in the Agricultural district and was previously used for farming.

5. Minimum variance:

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

1 foot variance to remain in compliance with the regulated setback.

Sussex County, DE - BOA Application

Criteria for a Special Use Exception: (Please provide a written statement regarding each criteria)

You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Special Use Exception to be granted.

1. Such exception will not substantially affect adversely the uses of adjacent and neighboring property.

N/A

2. Any other requirements which apply to a specific type of special use exception as required by the Sussex County Code. (Ex. Time limitations – 5 year maximum)

N/A

Basis for Appeal: (Please provide a written statement regarding reason for appeal)

N/A

Mailing List Application Form

For Applications requiring a Public Hearing in Sussex County

Please fill out this form and return it with your application. As a part of your application a Public Hearing is required. The property owners within 200' of the site of the application will be notified. Staff will notify the property owners.

Application Information:

Site Address: 11853 Greenhurst Farm Road, Lot 2
Greenwood, DE 19950

Parcel #: 430-2.00-2.00

Site Address: See Above

Parcel #: _____

Applicant Name: Jay Kevin Green, Sr.

Owner Name: See attached multiple owner information sheet

Type of Application:

- Conditional Use:
- Change of Zone:
- Subdivision:
- Board of Adjustment:

Date Submitted: _____

For office use only:

Date of Public Hearing: _____

File #: _____

Date list created: _____

List created by: _____

Date letters mailed: _____

Letters sent by: _____

File #: _____

Planning & Zoning Project Contact List

Applicant Information

Applicant Name: Jay Kevin Green, Sr.
Applicant Address: 404 Marsh Branch Road
City: Greenwood State: DE Zip: 19950
Phone #: (302) 542-6588 E-mail: bgreen1212@yahoo.com

Owner Information

Owner Name: See attached multiple owner information sheet
Owner Address: _____
City: _____ State: _____ Zip: _____
Phone #: _____ E-mail: _____

Engineer/Surveyor Information

Engineer/Surveyor Name: Miller & Lewis, Inc. Land Surveying
Engineer/Surveyor Address: 1560 Middleford Road
City: Seaford State: DE Zip: 19973
Phone #: (302) 629-9895 E-mail: n/a

Agent/Attorney Information

Agent/Attorney/Name: N/A
Agent/Attorney/Address: N/A
City: N/A State: _____ Zip: _____
Phone #: _____ E-mail: _____

Other

Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Phone #: _____ E-mail: _____



Owner Information

11853 Greenhurst Farm Road
Greenwood, DE 19950

1. Jay Kevin Green, Sr.
404 Marsh Branch Road
Greenwood, DE 19950
Email: bgreen1212@yahoo.com
2. Lewis Green, Sr.
10709 Forest Lane
Greenwood, DE 19950
Email: Lgreen8688@gmail.com
3. Lawrence Green
11164 Coon Den Road
Greenwood, DE 19950
Email: Lawgreen1313@gmail.com
4. Rene' G. Johnson
303 Columbia Street
Milford, DE 19963
Email: Maillady417@aol.com

EXHIBIT A
Property & Deed Information

PARID: 430-2.00-2.00
GREEN FLORENCE B*FOR LIFE*

ROLL: RP
11853 GREENHURST FARM RD

Property Information

Property Location:	11853 GREENHURST FARM RD
Unit:	
City:	GREENWOOD
State:	DE
Zip:	19950
Class:	AGR-Agriculture
Use Code (LUC):	FH-AG W/ HOMESITE IN FAA
Town:	00-None
Tax District:	430 - NANTICOKE
School District:	5 - WOODBRIDGE
Fire District:	78-Greenwood
Deeded Acres:	89.5301
Frontage:	0
Depth:	.000
Irr Lot:	
Plot Book Page:	182 49/PB
100% Land Value:	\$3,000
100% Improvement Value:	\$61,200
100% Total Value:	\$64,200

Legal

Legal Description	E/RT 612A 1800'N/RT 36 FX T#54062
-------------------	---

Owners

Owner	Co-owner	Address	City	State	Zip
GREEN FLORENCE B*FOR LIFE*	JAY KEVIN GREEN LEWIS CURT GREEN SR ETA	11853 GREENHURST FARM RD	GREENWOOD	DE	19950

Owner History

Tax Year:	Owner:	Co-owner	Address:	City:	State:	Zip:	Deed Book/Page:
2023	GREEN FLORENCE B*FOR LIFE*	JAY KEVIN GREEN LEWIS CURT GREEN SR ETA	11853 GREENHURST FARM RD	GREENWOOD	DE	19950	4126/48
2022	GREEN FLORENCE B*FOR LIFE*	JAY KEVIN GREEN LEWIS CURT GREEN SR ETA	11853 GREENHURST FARM RD	GREENWOOD	DE	19950	4126/48
2021	GREEN FLORENCE B*FOR LIFE*	JAY KEVIN GREEN LEWIS CURT GREEN SR ETA	11853 GREENHURST FARM RD	GREENWOOD	DE	19950	4126/48
2021	GREEN FLORENCE B*FOR LIFE*	JAY KEVIN GREEN LEWIS CURT GREEN SR ETA	PO BOX 1185	MILFORD	DE	19963	4126/48
2020	GREEN FLORENCE B*FOR LIFE*	JAY KEVIN GREEN LEWIS CURT GREEN SR ETA	PO BOX 1185	MILFORD	DE	19963	4126/48
2019	GREEN FLORENCE B*FOR LIFE*	JAY KEVIN GREEN LEWIS CURT GREEN SR ETA	PO BOX 1185	MILFORD	DE	19963	4126/48
2019	GREEN FLORENCE B*FOR LIFE*	JAY KEVIN GREEN	PO BOX 1185	MILFORD	DE	19963	4126/48
2018	GREEN FLORENCE B*FOR LIFE*	JAY KEVIN GREEN	PO BOX 1185	MILFORD	DE	19963	4126/48
2017	GREEN FLORENCE B*FOR LIFE*	JAY KEVIN GREEN	PO BOX 1185	MILFORD	DE	19963	4126/48
2014	GREEN FLORENCE BFOR LIFE		JAY KEVIN GREEN 7 MEWS RD	MILFORD	DE	19963	4126/48
2014	GREEN FLORENCE BFOR LIFE		JAY KEVIN GREEN 7 MEWS RD	MILFORD	DE	19963	4126/48
2013	GREEN FLORENCE BFOR LIFE		JAY KEVIN GREEN 7 MEWS RD	MILFORD	DE	19963	4126/48
2013	GREEN FLORENCE BFOR LIFE		JAY KEVIN GREEN LEWIS 7 MEWS RD	MILFORD	DE	19963	3920/224
2012	GREEN FLORENCE BFOR LIFE		JAY KEVIN GREEN LEWIS 7 MEWS RD	MILFORD	DE	19963	3920/224
2012	GREEN FLORENCE BFOR LIFE		JAY KEVIN GREEN LEWIS 7 MEWS RD	MILFORD	DE	19963	3920/224

2012	GREEN FLORENCE BFOR LIFE	JAY KEVIN GREEN LEWIS 7 MEWS RD	MILFORD	DE	19950	3920/224
2012	GREEN FLORENCE BFOR LIFE	JAY KEVIN GREEN LEWIS 7 MEWS RD	MILFORD	DE	19963	3920/224
2012	GREEN FLORENCE BFOR LIFE	JAY KEVIN GREEN LEWIS 11853 GREENHURST FARM RD	GREENWOOD	DE	19963	3920/224
2012	GREEN FLORENCE BFOR LIFE	JAY KEVIN GREEN LEWIS 7 MEWS RD	MILFORD	DE	19963	3920/224
2011	GREEN FLORENCE BFOR LIFE	JAY KEVIN GREEN LEWIS 7 MEWS RD	MILFORD	DE	19963	3756/293
2011	GREEN JAY KEVIN LEWIS CURT	GREEN SR LAWRENCE LEE 11853 GREENHURST FARM RD	GREENWOOD	DE	19950	3756/293
2010	GREEN JAY KEVIN LEWIS CURT	GREEN SR LAWRENCE LEE 11853 GREENHURST FARM RD	GREENWOOD	DE	19950	3756/293
2010	GREEN FLORENCE B	F B GREEN SWARTZENTRUBER 11853 GREENHURST FARM RD	GREENWOOD	DE	19963	201/94
2007	GREEN FLORENCE B	F B GREEN SWARTZENTRUBER 11853 GREENHURST FARM RD	GREENWOOD	DE	19950	201/94
2004	GREEN FLORENCE B	F B GREEN SWARTZENTRUBER 11853 GREENHURST FARM RD	GREENWOOD	DE	19950	201/94
2003	GREEN FLORENCE B	F B GREEN SWARTZENTRUBER 11853 GREENHURST FARM RD	GREENWOOD	DE	19950	201/94
2003	GREEN FLORENCE B	F B GREEN SWARTZENTRUBER 11853 GREENHURST FARM RD	GREENWOOD	DE	19950	201/94
2003	GREEN FLORENCE B	F B GREEN SWARTZENTRUBER 11853 GREENHURST FARM RD	GREENWOOD	DE	19950	201/94
2003	GREEN FLORENCE B	F B GREEN SWARTZENTRUBER 11853 GREENHURST FARM RD	GREENWOOD	DE	19950	201/94
2002	GREEN FLORENCE B	F B GREEN SWARTZENTRUBER 11853 GREENHURST FARM RD	GREENWOOD	DE	19950	0/0
1900	GREEN FLORENCE B.				0	201/94
1900	SCHLABACH E EVANGEL MABEL E				0	653/802
1900	GREEN GEORGE L. FLORENCE B.				0	1123/197

Land

Line	Class	Land Use Code	Act Front	Depth	Calculated Acres	Ag
1	AGR	FH	0	0	89.5301	Y
2	AGR	FH	0	0	89.5301	Y

Land Summary

1 of 2

Line	1
100% Land Value	1,000

Agricultural Land

Line:	CAMA Line:	Ag Use	Use:	Grade:	Acreage	Rate	Value:
1	1		FH		.0001		1000
2	2		FH		.0001		2000

Agriculture Totals

Agricultural Acres	89.5300
--------------------	---------

Residential

Card	1
Class	Agricultural
Style	Mixed Use Residential and Agricultural
Year Built	1899
Occupancy	1
Stories	2.00
Basement	2-1/2
Total Fixtures	6
Heating	54 - Heat - Steam/Hot Water
Air Condition	DN - A/C None
Electricity	3-Public

Foundation	31 - Foundation - Masonry
Exterior Wall	1-Frame or Block
Siding	2-Shingle
Roof Type	2-Gable
Roofing	21 - Roofing - Wood
Elevator	-
Width	
Depth/Length	
Color	
Description	
MH Skirting	
MH Permit #	
MH Serial #	

Additions

Card #	Addition #	Area
1	0	576
1	1	512
1	2	428
1	3	48
1	4	672
1	5	496

Addition Details

1 of 6

Card #	1
Addition #	0
Lower	-
First	-
Second	-
Third	-
Area	576
Year Built	1899

100% Values

100% Land Value	100% Improv Value	100% Total Value
\$3,000	\$61,200	\$64,200

50% Values

50% Land Value	50% Improv Value	50% Total Value
\$1,500	\$30,600	\$32,100

Permit Details

Permit Date:	Permit #:	Amount:	Note 1
26-SEP-2006	86508-3	\$1,113	RAMP W/DECK-E/RD 612A 1800' N/RD 36
02-MAR-1999	86508-2	\$9,600	MANURE SHED/COMPOST-E/612A1800'N/36
24-JAN-1992	86508-1	\$3,500	A-ROOF-E/612A1800'N/36

18928

BK: ~~4125~~ PG: ~~107~~

19188

BK: 4126 PG: 48

Tax Map Parcel No.: 4-30 2.00 2.00
Prepared by and return to:
George B. Smith, Esquire
Smith Feinberg McCartney & Berl, LLP
406 South Bedford Street, P.O. Box 588
Georgetown, Delaware 19947-0588

NO TITLE SEARCH, LIEN SEARCH OR SURVEY REQUESTED OR PERFORMED

THIS DEED, made this 9 day of May, in the year of our LORD two thousand thirteen (2013),

BETWEEN, JAY KEVIN GREEN, LEWIS CURT GREEN, SR., and LAWRENCE LEE GREEN, of 11853 Greenhurst Farm Road, Greenwood, Delaware, 19950, parties of the first part,

- AND -

JAY KEVIN GREEN, LEWIS CURT GREEN, SR., LAWRENCE LEE GREEN and RENE G. JOHNSON, of 11853 Greenhurst Farm Road, Greenwood, Delaware, 19950, parties of the second part, as equal tenants in common,

WITNESSETH, that the said parties of the first part, for and in consideration of the sum of **ONE DOLLAR (\$1.00)** lawful money of the United States of America and other valuable considerations, the receipt whereof is hereby acknowledged, hereby grant and convey unto the said parties of the second part, their heirs and assigns,

ALL that certain tract, piece, and parcel of land, situate, lying and being in Nanticoke Hundred, Sussex County, and State of Delaware, lying on the Northeasterly right of way line of Highway No. 612A, more fully described as follows, to wit:

BEGINNING in the center line of the Northeasterly side of bridge, (said bridge crossing over Route No. 612A); thence by and with the Northeasterly right of way line of Highway No. 612A, South 46 degrees East 15.7 perches, and thence continuing with said road South 23 degrees East 98.4 perches to a stake and in line of lands now or formerly of Millard Benner; thence by and with these lands and in line of lands of Millard Benner, Adolph Wiederkehr, and Donald O'Bier, North 54-1/2 degrees East 176 perches to line of lands now or formerly of John Greene; thence by and with these lands and in line of lands of said John Greene, North 55 degrees West 112 perches to the center of Beaver Dam Ditch, formerly known as Kent and Sussex Ditch; thence by and with the center of said ditch, in a Southwesterly direction 119 perches to the bridge, the place of beginning, containing 101-3/4 acres of land, more or less, with all improvements thereon.

PP

~~BK# 4125 PG# 108~~
BK# 4126 PG# 49

EXCEPTING AND RESERVING THEREOUT AND THEREFROM: All that piece and parcel of land conveyed unto Lewis C. Green and Sandy L. Green, by deed of record in and for Sussex County Recorder of Deeds Office in Deed Book 2714, at Page 286. Said piece and parcel of land said to contain 9.94 acres of land more or less and known as Tax Map Parcel Number 4-30 2.00 2.01.

SUBJECT to any and all restrictions, reservations, conditions, easements and agreements of record in the Office of the Recorder of Deeds, in and for Sussex County, Delaware.

EXCEPTING AND RESERVING UNTO THE FLORENCE B. SWARTZENTRUBER A LIFE ESTATE WITH NO POWER OF SALE in and to the above-described property.

BEING the same lands and premises granted and conveyed unto Jay Kevin Green, Lewis Curt Green, Sr. and Lawrence Lee Green, by deed of Renee G. Johnson, dated August 12, 2011, of record in the Office of the Recorder of Deeds, Georgetown, Delaware, in Deed Book 3920, at Page 224. **FURTHER BEING** the same lands and premises granted and conveyed unto Jay Kevin Green, Lewis Curt Green, Sr., Lawrence Lee Green and Rene G. Johnson, by life estate deed of Florence B. Swartzentruber, dated February 1, 2010, of record in the Office of the Recorder of Deeds, Georgetown, Delaware, in Deed Book 3756, at Page 293.

IN WITNESS WHEREOF, the said party of the first part has hereunto set his hand and seal the day and year aforesaid.

SIGNED, SEALED, DELIVERED,
and witnessed in the presence of

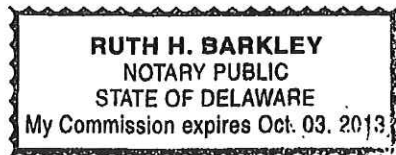
_____ Jay Kevin Green (SEAL)
JAY KEVIN GREEN

STATE OF DELAWARE)
) SS.
SUSSEX COUNTY)

BE IT REMEMBERED, that on this 9 day of May, 2013, personally appeared before me, the Subscriber, a Notary Public for the State and County aforesaid, **JAY KEVIN GREEN**, party to this Indenture, known to me personally to be such, and he acknowledged this Indenture to be his act and deed.

GIVEN under my hand and seal of office, the day and year aforesaid.

Ruth Barkley
Notary Public
My Commission Expires: 10/13



~~BK: 4125 PG: 109~~

BK: 4126 PG: 50

IN WITNESS WHEREOF, the said party of the first part has hereunto set his hand and seal the day and year aforesaid.

SIGNED, SEALED, DELIVERED,
and witnessed in the presence of

Lewis Curt Green, Sr. (SEAL)
LEWIS CURT GREEN, SR.

STATE OF DELAWARE)
) SS.
SUSSEX COUNTY)

BE IT REMEMBERED, that on this 3rd day of March, 2013, personally appeared before me, the Subscriber, a Notary Public for the State and County aforesaid, LEWIS CURT GREEN, SR., party to this Indenture, known to me personally to be such, and he acknowledged this Indenture to be his act and deed.

GIVEN under my hand and seal of office, the day and year aforesaid.

Ruth Barkley
Notary Public

My Commission Expires: 10/13

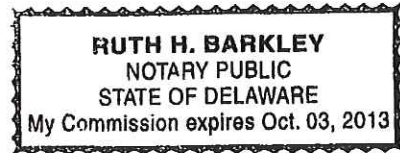
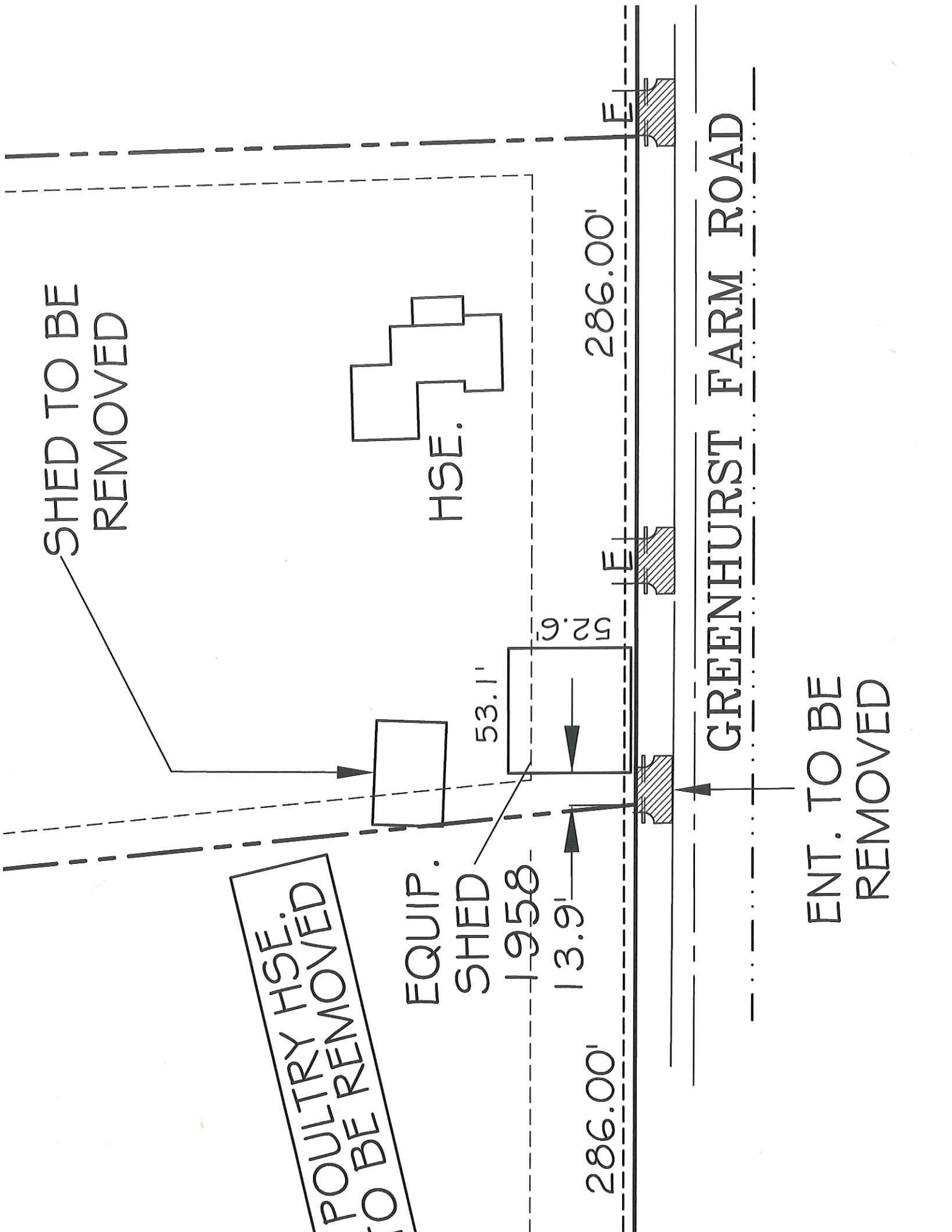


EXHIBIT B
Survey



SHED TO BE REMOVED

HSE.

286.00'

GREENHURST FARM ROAD

ENT. TO BE REMOVED

POULTRY HSE.
TO BE REMOVED

EQUIP.
SHED

1958

13.9'

53.1'

52.6'

286.00'

EXHIBIT C
Zoning Code

ZONING

115 Attachment 1

Sussex County

TABLE I

General Table of Height, Area and Bulk Requirements
Sussex County
(See also § 115-156A)

Article of chapter	District or Use	Maximum Height		Lot Area (square feet)	Width of Lot (feet)	Depth of Lot (feet)	Depth of Front Yard (feet)	Width of Side Yard (2 required) (feet)	Depth of Rear Yard (feet)
		Feet	Stories						
IV (9)	AR-1 District	42 (12)	-- (12)	20,000 (14)	100 (10)	100	40 (7)(8)	15	20
IV (9)	AR-2 District	42 (12)	-- (12)	15,000 (14)	100 (10)	100	40 (7)(8)	15	20
V (9)(6)	MR District	42 (12)	-- (12)	10,000 (14)	75 (10)	100	40 (7)(8)	10	10
VI (9)(6)	GR District	42 (12)	-- (12)	10,000 (14)	75 (10)	100	40 (7)(8)	10	10
VII (6)(9)	Detached single-family dwelling in HR-1 District	52 (12)	-- (12)	7,500 (14)	60 (10)	100	40 (7)(8)	10	10
VII (6)(9)	Detached single-family dwelling in HR-2 District	52 (12)	-- (12)	7,500 (14)	60 (10)	100	40 (7)(8)	10	10
VIII (9)(6)	UR District	42 (12)	-- (12)	10,000 (14)	75 (11)	100	(2)	10	10
IX (9)(6)	UB District	42 (12)	-- (12)	Dwellings 10,000 (14)	75 (11)	100	40 (7)(8)	10	10
		42 (12)	-- (12)	Other 10,000 (14)	75 (11)	100	40 (7)(8)	5 (3)	5 (3)
X (9)(6)	B-1 District	42 (12)	-- (12)	Dwellings 10,000 (14)	75 (10)	100	40 (7)(8)	10	10
		42 (12)	-- (12)	Other 10,000 (14)	75 (10)	100	60 (7)(8)(15)	5 (3)	5 (3)
XI (9)(6)	C-1 District	42 (12)	-- (12)	Dwellings 10,000 (14)	75 (10)	100	40 (7)(8)	10	10
		42 (12)	-- (12)	Other 10,000 (14)	75 (10)	100	60 (7)(8)(15)	5 (3)	5 (3)
XII	M District	42 (12)	-- (12)	Dwellings 10,000 (14)	75 (10)	100	40	10	10
		45 (12)	-- (12)	Other 10,000 (14)	75 (10)	100	40	10 (5)	10 (5)
XIII	LI-1 District	42 (12)	-- (12)	43,560/1 acre (14)	150	200	50	20	20 (4)
XIV	LI-2 District	52 (12)	-- (12)	1 acre	150	200	50	20	20 (4)
XV	HI-1 District	125 (1)	--	2 acre	200	200	50	20	20 (4)
XVI	Manufactured home parks (13)	15	1	5,000	50	50	10	10	10

NOTES:

- (1) Grain elevators, industrial tanks or towers and other similar structures may exceed 125 feet in height, but whenever such use in the HI-1 District adjoins a residential district, such structure shall not exceed 50 feet in height unless set back one foot from all required yard lines for each foot of additional height above 50 feet).
- (2) See § 115-58.
- (3) None is required when there is a party wall to an adjoining building, except that there shall be a side yard not less than 20 feet in width on the side of a lot adjoining a residential district and there shall be a rear yard not less than 30 feet in depth on the rear side of a lot adjoining a residential district.
- (4) None is required, except that there shall be a rear yard not less than 40 feet in depth on the rear side of a lot adjoining a residential district.

SUSSEX COUNTY CODE

(NOTES cont'd):

- (5) No rear yard or side yard shall be required on that rear or side of a lot which adjoins a waterway.
- (6) See § 115-50 for tables covering townhouses and multifamily dwellings in HR-1 and HR-2 multifamily residential districts. See Table II for tables covering multifamily dwellings in MR, GR, UR, UB, B-1, M and C-1 Districts.
- (7) On property fronting on highways designated by the Delaware Department of Transportation as Principal Arterials or Minor Arterials, the setback shall be measured from a point not less than 50 feet from the center line of the right-of-way. On property fronting on highways designated by the Delaware Department of Transportation as Major or Minor Collectors, the setback shall be measured from a point not less than 40 feet from the center line of the right-of-way. On property fronting on all other local roads shown on the General Highway Map for Sussex County of 1964, as last revised, the setback shall be measured from a point not less than 30 feet from the center line of the right-of-way. If the existing right-of-way on any of these roads or highways is greater than the minimum dimension listed above, the setback shall be measured from the existing right-of-way line. [Amended 8-3-2004 by Ord. No. 1711]
- (8) Any lot fronting on a subdivision street and not fronting on a numbered road shown on the General Highway Map for Sussex County of 1964, as revised January 1979, shall have a setback of not less than 30 feet.
- (9) For buildings located on lots adjacent to waterways, golf courses and similar special situations, the front of such lots may be determined by the Commission. In the event that a Commission ruling makes a rear yard adjacent to the street line, an additional depth of rear yard may be required by the Commission, and an additional setback of accessory buildings from the street line may be required.
- (10) A lot fronting on a numbered road shown on the General Highway Map for Sussex County of 1964, as revised, shall have a minimum lot width of 150 feet. [Added 11-7-1989 by Ord. No. 632]
- (11) A lot fronting on a numbered road shown on the General Highway Map for Sussex County of 1964, as revised, shall have a minimum lot width of 90 feet. [Added 11-7-1989 by Ord. No. 632]
- (12) [Amended 10-31-1995 by Ord. No. 1062]
- (13) [Amended 3-25-1997 by Ord. No. 1131; 10-12-2010 by Ord. No. 2152]
- (14) Any lot which is not connected to a central sewer system, as defined by § 115-194A, or which is located within a planning area as defined by a sewer planning study approved by the Sussex County Council, shall have a minimum area of 3/4 acre. [Added 7-15-1997 by Ord. No. 1157]
- (15) [Amended 7-20-1999 by Ord. No. 1328]
- (16) For any existing approved lot which is not located in a cluster subdivision, Coastal Area cluster subdivision or residential planned community, and consists of less than 10,000 square feet, the following setbacks shall apply: the side yard setback shall be reduced to five feet and the rear yard setback shall be reduced by five feet. For any lot with side or rear yard setbacks reduced by operation of § 115-183D, no structures shall extend or project closer than five feet from the lot line. The front yard setback may be reduced to the average front yard setback of the existing buildings located on the same side of the street or road and being within 300 feet of the structure; provided, however, the front yard setback is not less than five feet. Any vacant lot within 300 feet of the structure shall be calculated as having the required setback for the district. [Added 3-20-2018 by Ord. No. 2557; amended 5-21-2019 by Ord. No. 2656]

Sussex County, DE
Tuesday, November 21, 2023

Chapter 115. Zoning

Article IV. AR-1 and AR-2 Agricultural Residential Districts

§ 115-19. Purpose.

The purpose of these districts is to provide for a full range of agricultural activities and to protect agricultural lands, as one of the county's most valuable natural resources, from the depreciating effect of objectional, hazardous and unsightly uses. They should also protect established agricultural operations and activities. These districts are also intended for protection of watersheds, water resources, forest areas and scenic values and, at the same time, to provide for low-density single-family residential development, together with such churches, recreational facilities and accessory uses as may be necessary or are normally compatible with residential surroundings. The AR regulations seek to prevent untimely scattering of more-dense urban uses, which should be confined to areas planned for efficient extension of public services.

§ 115-25. Height, area and bulk requirements.

[Amended 11-7-1989 by Ord. No. 632; 10-31-1995 by Ord. No. 1062; 7-15-1997 by Ord. No. 1157; 8-3-2004 by Ord. No. 1709]

A. Minimum lot sizes for lots using a wastewater disposal system located entirely on that lot and generally defined as an on-site septic system.

(1) Standard lot option:

District (square feet)	Area (feet)	Width* (feet)	Depth
AR-1	32,670	100	100

NOTES:

A lot fronting on a numbered road shown on the latest revision of the General Highway Map for Sussex County shall have a minimum width of 150 feet.

(2) Cluster development option. The minimum lot size may be reduced to one-half acre (21,780 square feet) where soil conditions are suitable as approved by DNREC. The total number of lots allowed shall not exceed the number of lots that would be permitted under the standard lot option. The number of dwelling units permitted shall be determined by dividing the gross area by 32,670 square feet. "Gross area" shall include the lot area and the area of land set aside for common open space or recreational use but shall exclude any area designated as a tidal tributary stream or tidal wetlands by § 115-193. However, if the proposed cluster development lies within a Low-Density Area as described within the Land Use Element and as shown on the Future Land Use Plan of the adopted Sussex County Comprehensive Plan, the total number of lots permitted shall be determined by first reducing the gross area by 25%.

[Amended 1-31-2006 by Ord. No. 1822; 12-4-2018 by Ord. No. 2618]

B. Minimum lot sizes, dimensions and open space for lots using a central sewer system as defined by § 115-194A:

(1) Standard lot option:

District	Area** (square feet)	Width* (feet)	Depth (feet)
AR-1	20,000	100	100

(2) Cluster development option (subject to § 115-25F):
[Amended 5-21-2019 by Ord. No. 2656]

Minimum Tract Size (acres)	Minimum Lot Size (square feet)	Required Open Space
10	7500	30%

NOTES:

* A lot fronting on a numbered road shown on the latest revision of the General Highway Map for Sussex County shall have a minimum width of 150 feet.

** For lots located in the Coastal Area, the Development Districts or the Town Center Districts, the overlay ordinance for that district shall determine the minimum lot size.

- (3) The number of dwelling units permitted shall be determined by dividing the gross area by 21,780 square feet. When a cluster development lies within a Town Center, a Developing Area, or the Coastal Area as described within the Land Use Element and as shown on the Future Land Use Plan of the adopted Sussex County Comprehensive Plan, and the developer has proffered to Sussex County for the purpose of creating open space preservation/active and passive recreation areas a development fee per unit for every unit in excess of two units per acre, then the maximum number of dwelling units that may be permitted by the Planning and Zoning Commission shall be determined by dividing the gross area by 10,890 square feet. The development fee shall not be less than the minimum established by the Sussex County Council and shall be paid prior to recording any lot based upon the fee in effect at the time the application was filed. "Gross area" shall include the lot area and the area of land set aside for common open space or recreational use but shall exclude any area designated as a tidal tributary stream or tidal wetlands by § 115-193. The Sussex County Council prior to the signing of a contract to purchase, shall approve all such land or conservation easement purchases which utilize monies paid to the County under the terms of this act. All such approvals by the Council shall be by a four-fifths majority vote. It is understood that the County shall control all monies and the Sussex County Land Trust will act as a recommending body and partner at the discretion of the County Council.

[Amended 1-31-2006 by Ord. No. 1822; 4-2-2006 by Ord. No. 1842; 12-4-2018 by Ord. No. 2618; 7-27-2021 by Ord. No. 2791]

C. Minimum yard requirements. Minimum yard requirements shall be as follows:

District	Depth of Front Yard (feet)	Width of Side Yard* (feet)	Depth of Rear Yard (feet)	Minimum Lot Width (feet)
AR-1 and AR-2 (Cluster with central sewer)	25	10	10	60
AR- and AR-2 (All others)	40(30)**	15	20	100

NOTES:

* A lot having an area of less than 20,000 square feet or having a width of less than 100 feet, which lot was legally recorded prior to January 1, 1971, shall be subject to the minimum side yard requirements applicable to an MR District rather than to the minimum side yard requirements of this district.

** See also the table of district regulations at the end of this chapter.

D. Maximum height requirements. Maximum height requirements shall be as follows:

District	Feet
AR-1 and AR-2	42

E. Design requirements for cluster development.

- (1) All development shall be in accordance with the latest amendment to the community design standards.
- (2) Housing types in the low-density area, as shown on the Sussex County Comprehensive Plan, are limited to single-family detached dwellings and manufactured homes where permitted by ordinance.
- (3) A forested buffer area with a minimum width of 30 feet shall be provided for lots abutting an agricultural area
- (4) Dwellings located within 50 feet of an existing residential development shall provide adequate transition in density or shall provide a thirty-foot buffer meeting the standards below and maintained by a designated entity.
 - (a) A planting strip at least 30 feet wide near the property line which shall include two canopy trees, four understory trees and 10 shrubs per 100 linear feet of buffer; or
 - (b) A landscaped rolling berm at least four feet in height; or
 - (c) A solid fence or wall a minimum of six feet in height designed with durable materials, texture and colors compatible with adjacent residential development.
- (5) No lots shall have direct access to any state-maintained roads.
- (6) All lots shall be configured to be contained completely outside of all wetlands.
- (7) Any development using the option in Subsection **B(2)** shall have central water and wastewater systems operated and maintained by companies authorized by the State of Delaware to perform such services. Wastewater collection and treatment systems must be designed in accordance with the requirements of Sussex County ordinances and conform to the requirements for a central sewer system as defined in § **115-194A** of the Sussex County Zoning Ordinance.

F. Review procedures for cluster development.

- (1) The developer shall submit an application for a cluster development in accordance with Chapter **99**, Subdivision of Land, of the Sussex County Code and which shall include, at a minimum, a sketch plan showing the location and uses of all open spaces, the extent of existing wooded areas and wetlands and the location of any historical or cultural resources. The Director of Planning and Zoning may waive this requirement when the proposed development does not contain significant natural features or resources.
- (2) The information submitted shall include a plan for the management of all open space.
- (3) The Planning and Zoning Commission shall determine that the following requirements are met before approving any preliminary plan and such application shall be reviewed on an expedited basis.

[Amended 1-31-2006 by Ord. No. 1822; amended 4-2-2006 by Ord. No. 1842; 12-16-2008 by Ord. No. 2024^[1]; 12-4-2018 by Ord. No. 2618; 6-11-2019 by Ord. No. 2658]

- (a) The cluster development sketch plan and the preliminary plan of the cluster subdivision provides for a total environment and design which are superior, in the reasonable judgment of the Planning Commission, to that which would be allowed under the regulations for the standard option. For the purposes of this subsection a proposed cluster subdivision which provides for a total environment and design which are superior to that allowed under the standard option subdivision is one which, in the reasonable judgment of the Planning Commission meets all of the following criteria:

[Amended 5-17-2022 by Ord. No. 2852]

[1] Homes shall be clustered on the environmentally suitable portions of the tract, specifically those portions of the tract least encumbered by sensitive environmental features, including but not limited to wetlands, mature woodlands, waterways and other water bodies. This does not inhibit the development of wooded parcels.

[2] (Reserved)

[3] Required open space shall comply with the following criteria:

[a] All required open space must meet the official definition of acceptable open space contained in § 115-4.

[b] Required open space must be designed to be beneficial to the residents or users of the open space. It shall not be constituted of fragmented lands with little open space value. Accordingly, 30% of all required open space shall be located on one contiguous tract of land, except that such open space may be separated by water bodies and a maximum of one street.

[c] If one of the following physical conditions exists adjacent to the proposed cluster development tract, at least 30% of all required open space must be adjacent to:

[i] An existing or officially planned public park, land preserved by easement, or land preserved as open space and in municipal, County, state, or federal ownership.

[ii] Existing wetlands, waterways, wildlife corridors, or other ecology-sensitive land.

[iii] Existing farmland and/or woodlands.

[iv] If more than one of these physical features exist on adjacent properties, then one of these features will be identified and utilized to satisfy this requirement.

[v] If the open space is proposed to be dedicated to a municipality, a County, state, or federal agency or a homeowners' association, an agreement shall be provided, in advance, stipulating that such entity agrees in advance to accept that dedication and maintain that land for public recreation or as a nature preserve.

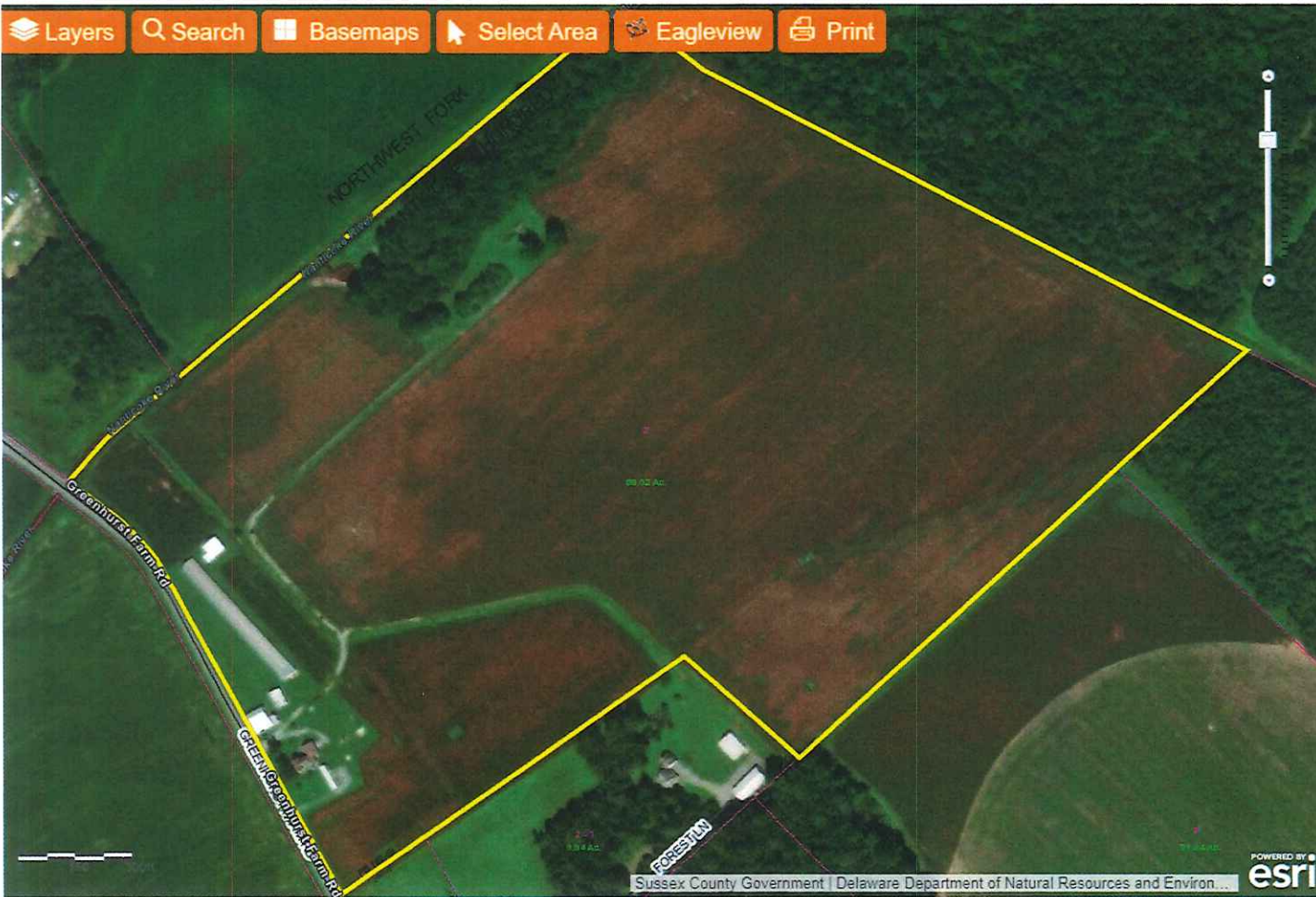
[vi] Open space in a cluster development shall include a pedestrian trail system accessible to residents. This trail system shall connect to an adjacent trail, adjacent neighborhood, adjacent commercial area, or adjacent public open space, if any such areas exist adjacent to the proposed cluster development. Construction materials for the proposed trail shall be identified, and a typical construction detail for the proposed trail shall be shown. Trail construction materials shall be pervious in nature.

[4] The preliminary plan shall comply with the requirements of § 115-193.

- [5] Stormwater management shall be designed to promote groundwater recharge and protect groundwater quality. Natural drainage flows shall be maintained to the greatest extent possible. Drainage from rooftops shall be directed to vegetated areas or allow green technology. Stormwater detention and retention facilities should be designed to resemble natural ponds as referenced by DNREC in the National Resource Conservation Service's (NRCS) Pond Code 378, Visual Resource Design.
- [6] Removal of healthy mature trees shall be limited.
- [7] Scenic views that can be seen from within the tract should be preserved to the greatest extent possible.
- [8] The applicant for a cluster development shall illustrate that the following sequence and process was followed in the site design of the cluster project:
- [a] Identify lands that should be preserved. First, areas worthy of preservation should be mapped, including wetlands, wooded areas, waterways, other water bodies, and natural drainage areas. Then, other features that are important should be mapped, such as tree lines, scenic views, historic buildings, and prime farmland. The areas with the fewest important natural, scenic and historic features should be considered the "potential development area."
- [b] Identify developable areas. Next, the most appropriate locations for development should be chosen to minimize the impact to the most important features mapped in the first step.
- [c] Locate roads and trails. After the developable areas are determined, a road system should be designed to serve those homes. A trail system that links homes to destinations outside of the tract should be designed.
- [d] Locate lot lines. The last step is to configure lot lines and make necessary adjustments to satisfy the various reviewing agencies' comments.
- [9] Sidewalks shall be required at least on one side of each street, subject to Planning and Zoning Commission approval.
- (b) The cluster development plan will preserve the natural environment and any historic or archeological resources.
- (c) All of the items in Ordinance Number 1152 (see § **99-9C**) have been addressed and approval of the cluster option for the proposed development will not have an adverse effect on any of the items to be considered.^[2]
- [2] *Editor's Note: Former Subsection F(3)(d), which immediately followed and required that the cluster development developer proffer a development fee to the County for the purpose of creating open space for preservation and/or active and/or passive recreation areas was repealed 7-27-2021 by Ord. No. 2791. For current provisions, see Subsection B(3).*
- [1] *Editor's Note: This ordinance also provided that it shall apply to all cluster subdivision applications filed after 1-1-2009.*
- (4) The Sussex County Planning and Zoning Commission may add conditions to the approval of any cluster development to protect adjacent properties and the natural environment.
- G. Sussex County Rental Unit development permitted by § **115-20A(17)**. The minimum lot size, lot area per dwelling unit, open space, height and setback requirements for a Sussex County Rental Unit development permitted by § **115-20A(17)** shall be governed by the dimensional requirements set forth in that section.
- [Added 10-18-2022 by Ord. No. 2889]

EXHIBIT D
Aerial Maps

Layers Search Basemaps Select Area Eagleview Print



Eagleview Search Results

Selected Features: Parcels (2)

1) 430-2.00-2.00 Zoom

BOOK	4126
PAGE	48
FULLNAME	GREEN FLORENCE B*FOR LIFE*
Second_Owner_Name	JAY KEVIN GREEN LEWIS CURT GREEN SR ETA
MAILINGADDRESS	11853 GREENHURST FARM RD
CITY	GREENWOOD
STATE	DE
DESCRIPTION	E/RT 612A
DESCRIPTION2	1800'N/RT 36
DESCRIPTION3	FX T#54062
LUC	999
MUNI	00
CAP	1
APRBLDG	61200
APRLAND	3000
PINWASSEMENTUNIT	430-2.00-2.00
PIN	430-2.00-2.00

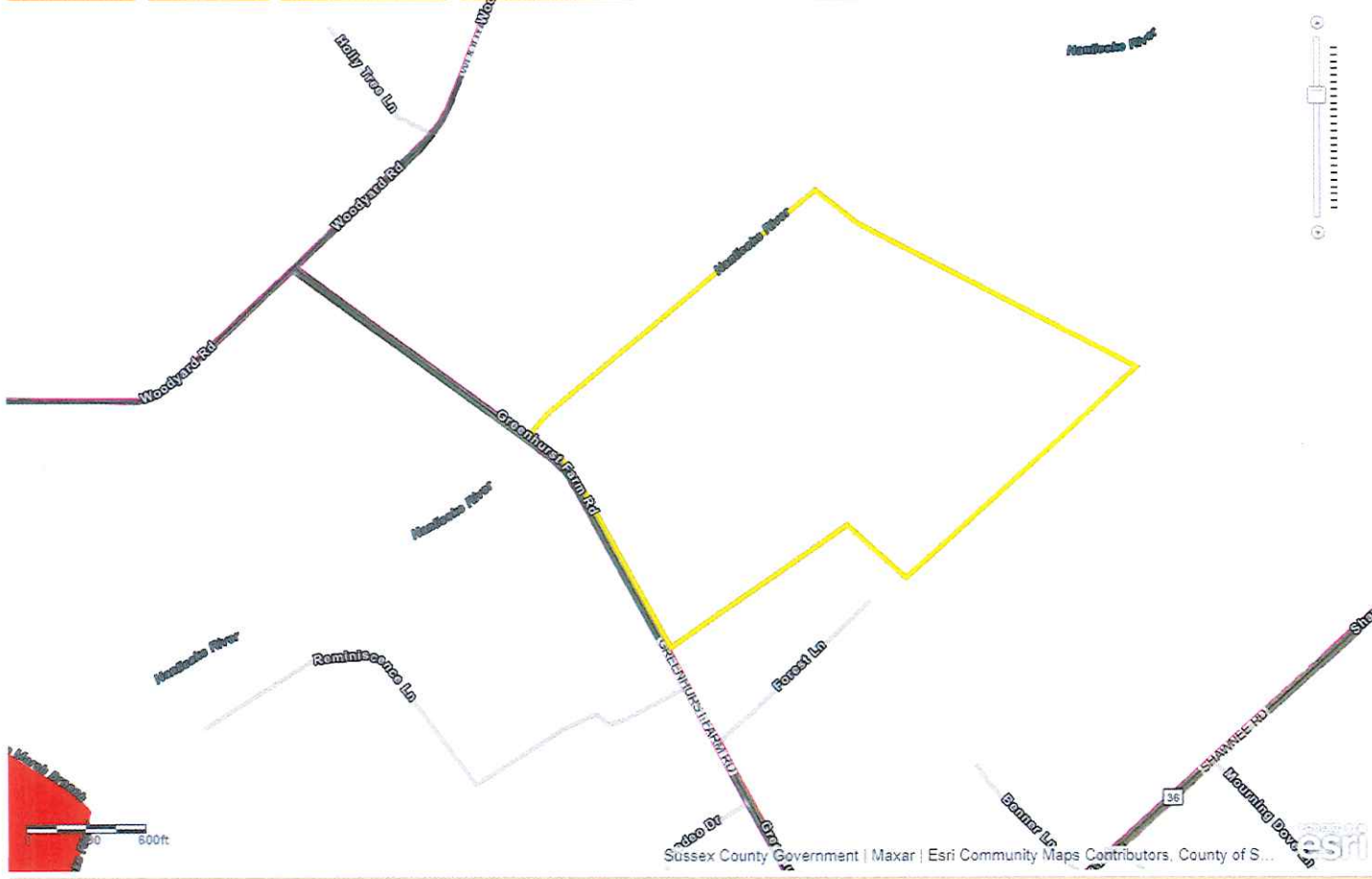
2) 430-2.00-2.00-56984 Zoom



Selected Features (2)

Clear Selected

Layers Search Basemaps Select Area Eagleview Print



Eagleview Search Results

Selected Features: Parcels (2)

1) 430-2.00-2.00 Zoom

BOOK	4126
PAGE	48
FULLNAME	GREEN FLORENCE B*FOR LIFE*
Second_Owner_Name	JAY KEVIN GREEN LEWIS CURT GREEN SR ETA
MAILINGADDRESS	11853 GREENHURST FARM RD
CITY	GREENWOOD
STATE	DE
DESCRIPTION	E/RT 612A
DESCRIPTION2	1800'N/RT 36
DESCRIPTION3	FX T#54062
LUC	999
MUNI	00
CAP	1
APRBLDG	61200
APRLAND	3000
PINWASSEMENTUNIT	430-2 00-2.00
PIN	430-2 00-2 00

2) 430-2.00-2.00-56984 Zoom

Navigation icons: Home, Previous, Next, Full Screen

Selected Features (2)

Clear Selected

EXHIBIT E

Court of Chancery Final Report

Dated November 23, 2022

Signed by Magistrate Patricia W. Griffin

EFiled: Nov 23 2022 09:44AM EST
 Transaction ID 68425833
 Case No. 2019-0787-PWG



COURT OF CHANCERY
 OF THE
 STATE OF DELAWARE

PATRICIA W. GRIFFIN
 MASTER IN CHANCERY

CHANCERY COURTHOUSE
 34 The Circle
 GEORGETOWN, DELAWARE 19947

Date Submitted: November 4, 2022
 Final Report: November 23, 2022

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RE: *Jay Kevin Green and Rene G. Johnson v. Lewis Curt Green, Sr., and
 Lawrence Lee Green*
 C.A. No. 2019-0787-PWG

Dear Counsel:

Pending before me is a dispute involving the partition in kind of approximately 86.4 acres of property in rural Sussex County co-owned by four siblings. The return of the court-appointed commissioners subdivided the property into four parcels of equal size. Two siblings filed objections to the commissioners' return, with the qualification that their objections would be cured depending upon the assignment of the parcels. Applying equitable principles, I assign the parcels in a manner that cures the other objections. I recommend that the Court approve the commissioners' return, and direct that subdivision, demolition and other specified

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 November 23, 2022

costs associated with the partition be shared equally among the siblings. This is a final report.

I. BACKGROUND¹

Petitioners Jay Kevin Green (“Jay”) and Rene G. Johnson (“Rene,” together with Jay, “Petitioners”) with their siblings Lewis Curt Green, Sr. (“Lewis”) and Lawrence Lee Green (“Lawrence,” together with Lewis, “Respondents”), own an approximate 86.4 acre parcel of land located east of Greenwood, Delaware (“Property”), as tenants in common, holding a 25% interest each.² The Property has been in their family since about 1980,³ and has improvements, including an older farmhouse, in which Lawrence’s daughter currently resides,⁴ a non-operating poultry house,⁵ a manure shed, and other storage and equipment sheds.⁶ The entire Property is farmed under a lease arrangement.⁷

¹ I refer to the October 19, 2022 trial transcript, *see* Docket Item (“D.I.”) 52, as “Trial Tr.,” and Petitioners’ trial exhibits as “Pet’rs’ Tr. Ex.” I use first names in pursuit of clarity and intend no familiarity or disrespect.

² D.I. 1. The Property is adjacent to Greenhurst Farm Road and designated as Sussex County Tax Parcel No. 4-30-2.00-2.00. *Id.*, ¶¶ 6, 18. Florence Swartzentruber, the siblings’ mother, deeded the Property to them on February 1, 2010. *Id.*, ¶ 17, Ex. A.

³ Trial Tr. 228:7.

⁴ *Id.* 233:9-11.

⁵ Lewis testified that the poultry house has not been in operation for at least 10-12 years, *see id.* 251:13-15, and has deteriorated so that it is not usable for storage. *Id.* 252:22-253:12.

⁶ *See* D.I. 25.

⁷ Trial Tr. 71:2-6; *id.* 228:21-229:2.

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Petitioners filed a petition seeking partition by sale of the Property on October 1, 2019.⁸ On November 7, 2019, Respondents filed an answer and counterpetition for partition in kind.⁹ On July 9, 2021, the parties agreed to proceed with a partition in kind.¹⁰ On December 10, 2021, Respondents identified three commissioners to be appointed under 25 *Del. C.* §724.¹¹ On January 7, 2022, the Court appointed Lawrence P. Moynihan, Mike Cotten and Richard L. Bryan (“Commissioners”) as commissioners pursuant to 25 *Del. C.* §724, and directed them to “make a just and fair partition [of the Property] amongst the parties in the proportions set out [in the Order (each sibling held a 25% interest in the Property)].”¹²

In a letter dated March 9, 2022, the Commissioners filed their return (“Return”) summarizing their opinion of a just and fair partition of the Property.¹³ The Return noted that the Property is zoned AR-1, Agricultural Residential, under the zoning authority of Sussex County, and there is no public water or sewer

⁸ D.I. 1. Petitioners also sought specific performance of an agreement to convey a parcel of the Property to Rene, and that Respondents account and contribute for farming income on the Property and their use of the farmhouse. *Id.* ¶¶ 25-29, 34-37.

⁹ D.I. 9.

¹⁰ D.I. 19. The parties also agreed that Petitioners would not pursue their specific performance claim. *Id.*

¹¹ D.I. 20. On December 29, 2021, Petitioners indicated that they did not object to the commissioners suggested by Respondents. D.I. 22.

¹² D.I. 24.

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November 23, 2022

The Return stated that the structures on the Property (except for the manure shed) do not contribute any value and should be demolished.¹⁶ In addition, the Return noted that the northernmost lot (Lot 4) fronts the headwaters of the Nanticoke River and is partly in a flood zone, but concluded that any limitation caused by the flood zone area is offset by the “more desirable development potential of the remaining uplands having attractive waterfront orientation.”¹⁷

Finally, the Return suggested, as requested by Lawrence, that the most southerly lot (Lot 1) be assigned to Lewis, since he owns adjoining land, and that the adjacent lot (Lot 2) be assigned to Lawrence.¹⁸ It noted, however, that the Commissioners did not consider ownership of the four parcels in making a just and fair partition and “[f]rom a valuation standpoint, any of the owners could take any of the parcels.”¹⁹ When the Commissioners visited the Property, they met with

¹⁶ D.I. 25. The Return characterized the manure shed as a building of “comparatively nominal value,” but concluded that it “contributes to the land value.” *Id.*

¹⁷ *Id.*; *see also* Trial Tr. 181:9-182:4.

¹⁸ D.I. 25.

¹⁹ *Id.* As to assignment of the lots, Commissioner Moynihan testified that the Commissioners felt since Lewis had adjacent property, it made sense to suggest that he have that parcel, but they didn’t care who received which lot – that you could “[t]hrow it out of a hat.” Trial Tr. 182:12-23. He further testified that the suggested assignments were not “any kind of requirement.” *Id.* 194:17-23.

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Lawrence.²⁰ They did not meet, or have any contact, with Petitioners prior to preparing the Return.²¹

Petitioners filed objections to the Return (“Objections”) on April 19, 2022.²² The Objections disputed the Commissioners’ determinations that: (1) residential development was the highest and best use for the Property;²³ (2) the improvements, including the farmhouse, added no value and should be removed;²⁴ and (3) Lot 4 was equal in value to the other lots.²⁵ Petitioners’ other concerns included the lots’ differing demolition costs, and the Commissioners’ contact with Respondents and not Petitioners.²⁶ They asked the Court to reject the Return and either appoint new commissioners under 25 *Del. C.* §725, or order partition by sale.²⁷

²⁰ See Trial Tr. 145:24-146:2; *id.* 171:8-13; *id.* 193:19-194:9; *id.* 241:1-18.

²¹ See *id.* 65:16-66:3; *id.* 83:3-16; *id.* 145:18-23; *id.* 164:10-14. After Petitioners’ attorney received a copy of the proposed Return from Respondents’ attorney, he sent a letter to the Commissioners explaining Petitioners’ concerns with the proposed Return. See D.I. 29. After receiving the letter, the Commissioners finalized the Return and, subsequently, sent a March 28, 2022 letter detailing all their internal communications with the parties/counsel, in response to Petitioners’ request. See D.I. 27, at 2; D.I. 29.

²² D.I. 31.

²³ They noted that surrounding land is primarily agricultural. *Id.*, at 2.

²⁴ *Id.*, at 3-5.

²⁵ They stated that Lot 4’s waterfront was ditch-like, its flood zone area impacted development potential, and it had served as the Property’s dumping ground, so trash and junk, as well as the remains of an old hog house, needed to be removed. *Id.* at 5-6.

²⁶ *Id.*, at 6-8.

²⁷ *Id.*, at 9.

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An evidentiary hearing on the Objections was held on October 19, 2022.²⁸ The Commissioners and all four siblings testified at the hearing.²⁹ Jay testified that he preferred Lot 2 because of the farmhouse and the buildings.³⁰ Rene testified that she preferred Lot 1 because it has easy road access, “[y]ou can build right away,” and for personal reasons.³¹ Rene and Jay expressed no interest in Lot 3 or Lot 4.³² At the hearing, two of the Commissioners described Lot 4 as the best lot, the choice location.³³ Lawrence testified that Lot 4 was the “most desirable” lot, and both he and Lewis prefer having adjacent lots.³⁴ Lewis expressed an interest in

²⁸ D.I. 48.

²⁹ In addition, Jamie Whitehouse, Director of Planning and Zoning for Sussex County, and Robert Braxton Dees, an MAI certified appraiser, presented testimony. *Id.*

³⁰ Trial Tr. 66:4-16. Petitioners’ post-trial statement stated that Jay wants to reside in the farmhouse. D.I. 51, at 4.

³¹ Trial Tr. 83:17-84:5; *id.* 85:17-86:10 (“Before my mom died, she wanted me to have land on [Lot 1].”).

³² *See supra* notes 30, 31 and accompanying text.

³³ Trial Tr. 213:15-18 (Commissioner Moynihan’s testimony that Lot 4 was “the best of the lots”); *id.* 218:12-21 (Commissioner Bryan’s testimony that Lot 4 was “the choice location on that farm”).

³⁴ *Id.* 241:23-242:1; *id.* 242:3-6. Lawrence testified that he would like to have a little farm next to Lewis on a “nice piece of land,” and would feel the same if he and Lewis were assigned Lots 3 and 4, instead of Lots 1 and 2. *Id.* 237:9-23; *id.* 242:3-6; *id.* 247:2-22. In addition, Lewis and Lawrence expressed no interest in living in the farmhouse. *See id.* 242:7-13; 256:6-9.

Green v. Green
 C.A. No. 2019-0787-PWG
 November 23, 2022

Lot 1 because it adjoins his existing property, but described Lot 4 as “pretty choice,” and said he would take Lot 3 or Lot 4 – that it didn’t matter to him.³⁵

The parties submitted written post-trial statements on November 4, 2022.³⁶ Petitioners ask the Court to assign the lots consistent with the parties’ trial testimony (Lot 1 to Rene, Lot 2 to Jay, Lots 3 and 4 to Lawrence and Lewis), and indicated that such an assignment would cure their other objections, which they would withdraw.³⁷ They also indicate that they “would not oppose the imposition of reasonable conditions, such as a duty to cooperate to ensure access to each lot from the roadway or shared cost of removal of the existing poultry house.”³⁸ Respondents support the Return, acknowledging Respondents’ preference that Lewis get Lot 1 and Lawrence get Lot 2, as the Return suggested, but indicating that they would be “agreeable to the Court assigning the properties as it saw fit.”³⁹

³⁵ *Id.* 255:9-17 (Lewis’ testimony that Lot 4 is “pretty choice ... the view, location, looking down over the river, looking back across the farm ...”); *id.* 256:17. Lewis indicated that he would not reject Lot 4, and that he and Lawrence would be okay with Lots 3 and 4 “as long as we get our fair share in ground. We want some ground.” *Id.* 255:24-256:5. He testified that he and Lawrence had talked about farming their lots, and that he had no intentions of moving into the farmhouse. *Id.* 250:7-20; *id.* 256:7-9.

³⁶ D.I. 50; D.I. 51.

³⁷ D.I. 51, at 3, 14-15.

³⁸ *Id.*, at 3-4. Petitioners disagree with the demolition of the farmhouse. *Id.*, at 4. They argue, alternatively, that the Court should reject the Return and unjust and appoint new commissioners to start the process over. *Id.*, at 4, 15-16.

³⁹ D.I. 50, at 4. Respondents assert that, “[i]f all four parcels are, in fact, of equal value as certified by the Commissioners, the allocation to individuals would be of no moment.” *Id.*

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 C.A. No. 2019-0787-PWG
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They also argue that the demolition costs necessary to achieve subdivision approval should either fall on the assignee of each lot or be allocated evenly among the parties.⁴⁰

II. ANALYSIS

I consider whether the Return should be approved and how the lots, as partitioned, should be assigned to the co-owners. “The Delaware partition statute recognizes the common law equitable right to sever concurrent ownership interests in the same real property.”⁴¹ “Because of the unique nature and quality of land, the Delaware partition statute contemplates ‘as the first and preferred option not the partition sale of land but partition in kind.’”⁴² Under Delaware’s partition scheme, this Court is afforded general equity powers and authority “to make any order or decree not inconsistent with the provisions of this chapter relating to causes in partition, or matters incidental or pertaining thereto, which the right or justice of the cause may demand.”⁴³ In a partition in kind, co-owners “have no legal right to

⁴⁰ *Id.*, at 4-5. Respondents mention the existing crop lease on the Property, which is in place through 2023, and the Property’s enrollment in the Delaware agricultural land preservation program until May 2024 (at least). *Id.*, at 2; Pet’rs’ Tr. Ex. 3; Trial Tr. 73:13-17; *id.* 79:3-7.

⁴¹ *Est. of CTC E., LLC v. Goldstein*, 2022 WL 4592055, at *6 (Del. Ch. Sept. 30, 2022) (citations omitted).

⁴² *Chase v. Chase*, 2021 WL 3930443 at *5 (Del. Ch. Aug. 30, 2021) (citing *In re Real Estate of Roth* (“*Roth*”), 1987 WL 9370, at *1 (Del. Ch. Mar. 16, 1987)).

⁴³ 25 Del. C. §751.

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any particular part or parcel of the land they own as co-tenants.”⁴⁴ This Court applies “equitable principles of fairness in approving an assignment of a particular parcel on in-kind partition of land.”⁴⁵

Petitioners state that their objections to the Return would be cured and withdrawn if Rene is assigned Lot 1 and Jay is assigned Lot 2.⁴⁶ Rene seeks Lot 1 so that she can build right away and for personal reasons,⁴⁷ and Jay seeks Lot 2 to use the farmhouse.⁴⁸ Respondents have not objected to the Return, and assert that it represents a just and fair partition.⁴⁹ Lewis has expressed an interest in Lot 1 because it adjoins his existing property,⁵⁰ and both Lewis and Lawrence expressed the desire to have adjoining lots.⁵¹ I do not rely on the Returns’ suggested lot assignments, considering that the Commissioners spoke only with Respondents

⁴⁴ *Roth*, 1987 WL 9370, at *1.

⁴⁵ *Id.*; see *Lynch v. Thompson*, 2009 WL 707637, at *1-2 (Del. Ch. Mar. 5, 2009), *judgment entered*, 2009 WL 1900464 (Del. Ch. June 29, 2009), *aff’d*, 990 A.2d 432 (Del. 2010) (using the Court’s equitable powers to assign a specific parcel of land in a partition in kind for one co-tenant, and imposing conditions on that co-tenant).

⁴⁶ D.I. 51, at 14-15.

⁴⁷ See *supra* note 31. I take into consideration Rene’s sentimental attachment to Lot 1. See *Chase*, 2021 WL 3930443 at *5.

⁴⁸ See *supra* note 30.

⁴⁹ See D.I. 50.

⁵⁰ See *supra* note 35 and accompanying text.

⁵¹ See *supra* note 34.

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(not Petitioners) prior to making their suggestions,⁵² and the Return stated the suggestions were being provided “as a convenience to the court” and that “any of the owners could take any of the parcels.”⁵³

Further, Lawrence described Lot 4 as the most desirable lot and Lewis called it “pretty choice” because of its view, location, and the ability to hunt and fish.⁵⁴ Lawrence and Lewis discussed farming their lands together and all of the Property, including Lots 3 and 4, can be farmed.⁵⁵ And, unlike Petitioners, Respondents did not reject the possibility of being assigned Lots 3 or 4, and agreed to the Court assigning the properties “as it saw fit.”⁵⁶ Therefore, I find it is equitable and fair to assign the lots described in the Return as follows:

- a. Lot 1 is assigned to Petitioner Rene G. Johnson.
- b. Lot 2 is assigned to Petitioner Jay Kevin Green.
- c. Lot 3 is assigned to Respondent Lawrence Lee Green.⁵⁷

⁵² See *supra* notes 20, 21 and accompanying text.

⁵³ D.I. 25 at 3; see *supra* note 19.

⁵⁴ Trial Tr. 255:11-17. Although Lewis expressed his desire to have Lot 1 or 2, he does not personally farm his land so it would not be detrimental for him to have his parcel separated from the land he currently lives on. *Id.* 256:24-257:19.

⁵⁵ See *supra* note 7 and accompanying text. See also Trial Tr. 154:21-24 (Commissioner Cotten’s testimony that land in a flood zone can be farmed).

⁵⁶ See D.I. 50, at 4.

⁵⁷ Lots 3 and 4’s assignments are subject to change if Lawrence and Lewis agree to a different assignment of those lots between themselves, prior to the entry of the implementing order in this matter.

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d. Lot 4 is assigned to Respondent Lewis Curt Green, Sr.⁵⁸

With those assignments, there are no remaining objections to the Return. The parties shall work together to subdivide the Property into the four lots as described in the Return.

Each co-owner shall share equally in the costs of demolishing the poultry house on the Property, and any other structure on the lots that the assigned owner designates for demolition within (thirty) 30 days of this report becoming final, and for removing the remains of the hog house and the cleanup of Lot 4. They shall contribute their *pro rata* share of those costs and provide reasonable cooperation to ensure access to each lot from the roadway.

III. CONCLUSION

For the reasons stated above, I find that the Property should be partitioned in kind, subdivided consistent with the Commissioners' Return, and assigned to the co-owners as specified in this report. I recommend that the Commissioners' Return's subdivision of the Property be approved. I further recommend that the Court order each co-owner to share equally in subdivision, demolition and other costs as specified in this report, and cooperate to ensure road access for each lot. This is a final report and exceptions may be taken under Court of Chancery Rule 144. Within thirty (30) days after this report becomes final, the parties shall

⁵⁸ See *supra* note 57.

Green v. Green
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submit an implementing order to the Court, and advise the Court as to any outstanding issues that need to be addressed.

Sincerely,

/s/ Patricia W. Griffin

Master in Chancery

EXHIBIT F
Photos of Property & Shed









EXHIBIT G
Letter from Lewis Green, Sr.

Planning & Zoning Department
Attn: Jamie Whitehouse, Director
2 The Circle, P.O. Box 417
Georgetown, DE 19947

Board of Adjustment, Sussex County
2 The Circle, P.O. Box 599
Georgetown, DE 19947

RE: Variance for TMP 430-2.00-2.00, Lot 2

To Whom It May Concern,

Please accept this letter as my formal position to the pending above-referenced application.

I am one of the four existing owners, and will be the owner of newly subdivided Lot 3, which is the neighboring lot to TMP 430-2.00-2.00, Lot 2. I would like to have it notated on record that I have no opposition to either the current location of the pre-existing equipment shed, nor the pending application seeking a variance for the shed.

Thank you for your time and attention to this matter.

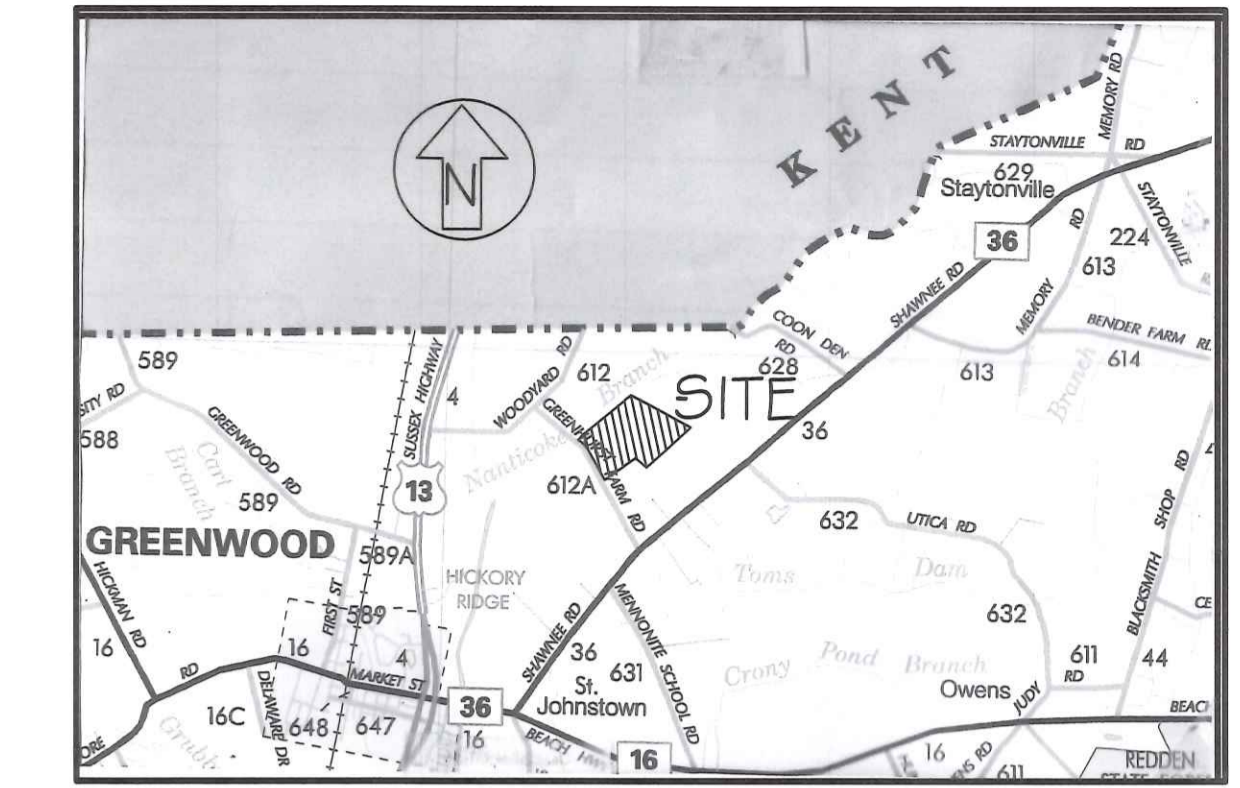
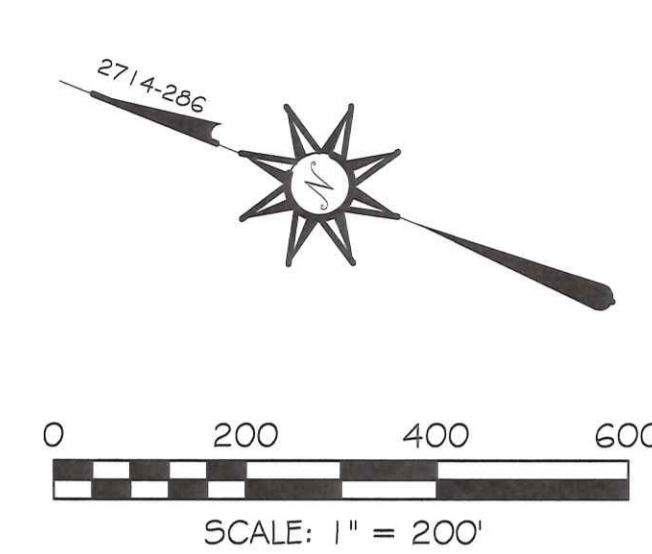
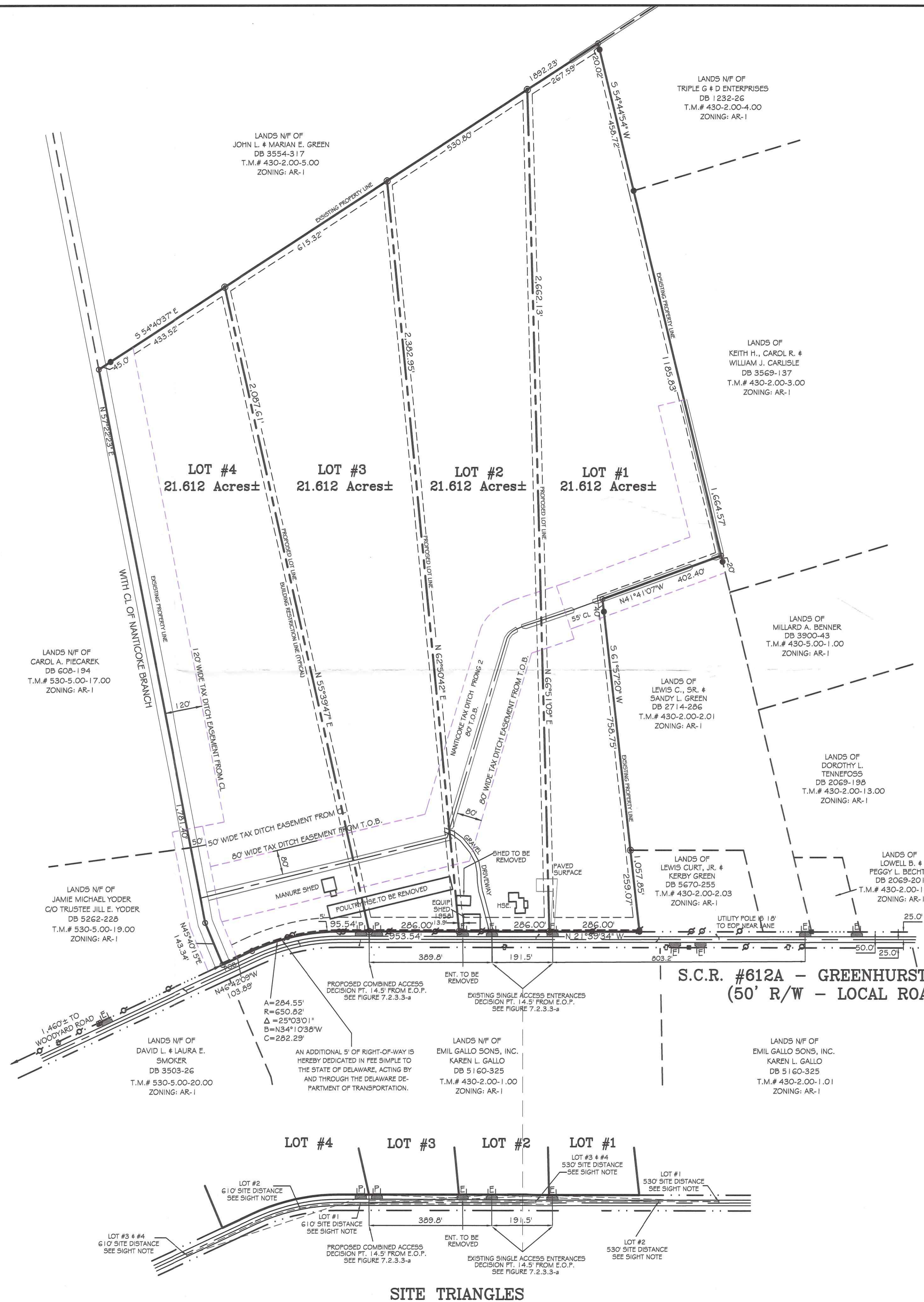
Sincerely,



Lewis Green, Sr.

Dated: 12/18/2023

T. M. #430-2.00-2.00



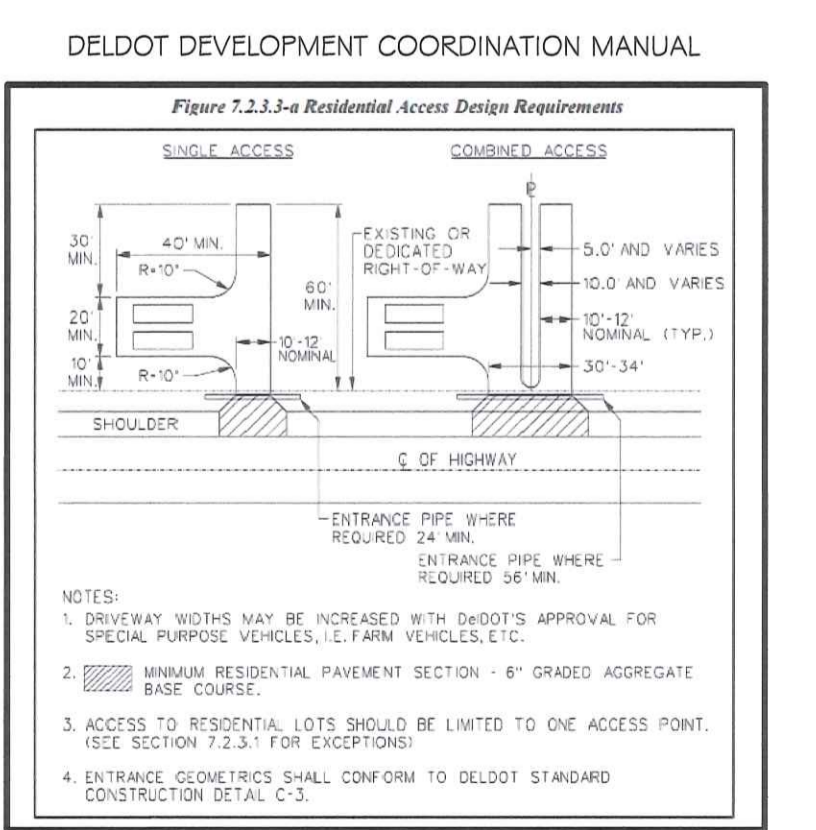
DATA COLUMN:
 T.M. PART #430-2.00-2.00
 ZONING: AR-1
 BUILDING SETBACKS:
 FRONT: 40 FEET FROM MINIMUM STANDARD
 SIDE: 15 FEET
 REAR: 20 FEET
 TRACT AREA: 86.448 ACRES± (INCLUDING RESIDUAL AREA)
 EXISTING LOTS: 1 (TOTAL TRACT)
 PROPOSED LOTS: 4 TOTAL - TOTAL TRACT
 PRESENT USE: AGRICULTURAL/RESIDENTIAL
 PROPOSED USE: AGRICULTURAL/RESIDENTIAL
 ACCESS: S.C.R. #612A (GREENHURST FARM ROAD)
 ROADWAY CLASSIFICATION: LOCAL ROAD
 WATER AND SEWER: INDIVIDUAL ON-SITE
 100 YEAR FLOODPLAIN: SITE IS PARTIALLY IMPACTED AS PER FIRM #1000500104K DATED 03/16/2015.
 1/2 OF LOT #4 IS IMPACTED ALONG THE NANTICOKE BRANCH
 A FINGER OF LOT #3 IS IMPACTED ALONG THE TAX DITCH
 THIS PROJECT IS NOT IN THE PROXIMITY OF A TID
 SPEED LIMIT ON GREENHURST FARM ROAD - 50 MPH (POSTED)

- MONUMENTATION:**
- CONCRETE MONUMENT (FOUND)
 - IRON PIPE (FOUND)
 - ⊙ PIPE TO BE SET
 - ▲ IRON ROD (FOUND)
 - POINT
 - ⌈ EXISTING ENTRANCE
 - ⌋ PROPOSED ENTRANCE
 - ⌈ EXISTING AG. ENTRANCE
 - ☐ MAILBOX
 - ⌋ UTILITY POLE
 - ⌋ TRAFFIC SIGN
 - PHONE PULL BOX

- GENERAL NOTES:**
- IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
 - ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DEL.D.O.T.'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
 - THERE IS A FIFTY FOOT BUILDING SETBACK FROM LANDS USED FOR AGRICULTURAL PURPOSES.
 - THE PROPOSED LOT 3 AND LOT 4 SHALL RETAIN THE EXISTING ENTRANCE TO SCR 612A, GREENHURST FARM ROAD AS SHOWN.
 - THE PROPOSED LOT 1 AND LOT 2 SHALL HAVE A COMBINED ACCESS FROM SCR 612A, GREENHURST FARM ROAD AS SHOWN.
 - AN ADDITIONAL 5 FEET OF RIGHT-OF-WAY IS HEREBY DEDICATED IN FEE SIMPLE TO THE STATE OF DELAWARE, ACTING BY AND THROUGH THE DELAWARE DEPARTMENT OF TRANSPORTATION.
 - THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST MANURE AND OTHER ODORS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES & ACTIVITIES.
 - THERE APPEARS TO BE NO WETLANDS IN THE REAR OF THE SUBJECT TOTAL TRACT ACCORDING TO AND MEASURED FROM THE NATIONAL WETLANDS INVENTORY MAP.

- LEGEND:**
- EXISTING RIGHT-OF-WAY LINE
 - PROPOSED RIGHT-OF-WAY LINE
 - EXISTING LOT LINE
 - PROPOSED LOT LINE
 - NEXT PROPERTY LINE
 - CENTERLINE ROAD
 - EDGE OF PAVING
 - SIGHT TRIANGLE LINE
 - SETBACK LINE
 - TAX DITCH EASEMENT LINE
 - CONTOUR LINE

SIGHT NOTE:
 NOTE: SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT BASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.



**S.C.R. #612A - GREENHURST FARM ROAD
 (50' R/W - LOCAL ROAD)**

NOTE: IF EXISTING ENTRANCES ARE ALTERED THEY SHALL CONFORM TO DELDOT'S 'DEVELOPMENT COORDINATION MANUAL' AND SHALL BE SUBJECT TO ITS APPROVAL.

WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

JAY KEVIN GREEN	DATE
LEWIS CURT GREEN, SR.	DATE
LAWRENCE LEE GREEN	DATE
RENE G. JOHNSON	DATE

**MINOR SUBDIVISION PLAN FOR
 JAY K., LEWIS C., SR. & LAWRENCE L. GREEN
 AND RENE G. JOHNSON**

OWNERS MAILING ADDRESS: 11853 GREENHURST FARM RD.
 GREENWOOD, DE. 19955
 PH: 302-245-3214

DATE	REVISION

SURVEY CLASS: RURAL

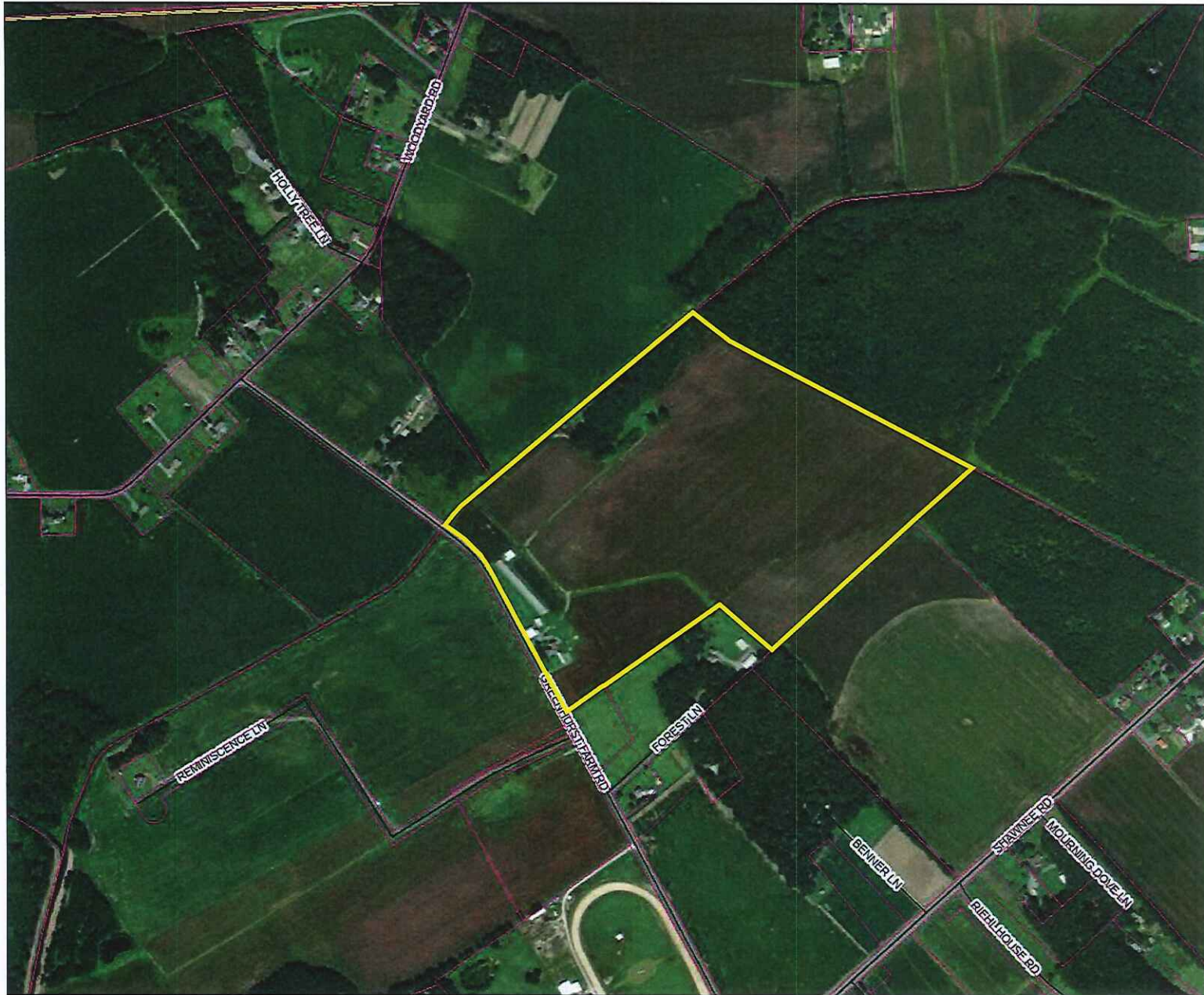
MILLER LEWIS, INC.
 LAND SURVEYING
 1560 MIDDLEFORD RD.
 SEAFORD, DELAWARE 19973
 PH: 302-629-9895 FAX: 302-629-2391

SEPTEMBER 27, 2023

HUNDRED	COUNTY
NANTICOKE	SUSSEX
STATE	DRAWN BY
DELAWARE	D.K. MILLER
REF.	DWG. FILE
DB 4126-48	GREEN
	4-30-2-2

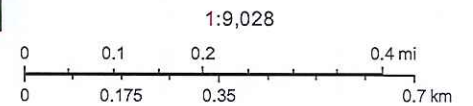


Sussex County

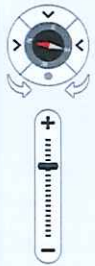


PIN:	430-2.00-2.00
Owner Name	GREEN FLORENCE B*FOR LIFE*
Book	4126
Mailing Address	11853 GREENHURST FA
City	GREENWOOD
State	DE
Description	E/RT 612A
Description 2	1800'N/RT 36
Description 3	FX T#54062
Land Code	

- Tax Parcels
- Streets
- County Boundaries
- World Imagery
- Low Resolution 15m Imagery
- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations
- 2.4m Resolution Metadata



CONNECTEXPLORER



Workspaces ▾



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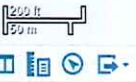
Search by SUSSEXPARCELS -

430-2.00-2.00 [Q]

Search results (1) Options -

- 430-2.00-2.00

map: Auto (Oblique) ▾ Dates: Latest ▾ < Image 1 of 4 > 03/06/2023



Case # 12905
Hearing Date 2-5-2024
202317574

Board of Adjustment Application
Sussex County, Delaware
Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check all applicable)

Variance Existing Condition
Special Use Exception Proposed
Administrative Variance Code Reference (office use only)
Appeal _____

Site Address of Variance/Special Use Exception:

21350 North Acorn Way, Lewes DE 19958

Variance/Special Use Exception/Appeal Requested:

Shed to be attached to the house, which will extend 4.5 feet from the house. Plot shows the property line is 11.9 feet from the house. The variance would be for 2.6 feet.

Tax Map #: 234-6-06-643-00 Property Zoning: AR-1

Applicant Information

Applicant Name: Douglas K. Olson
Applicant Address: 21350 North Acorn Way
City Lewes State DE Zip: 19958
Applicant Phone #: (301) 922-9114 Applicant e-mail: dkolson@verizon.net

Owner Information

Owner Name: Douglas K. Olson
Owner Address: 21350 North Acorn Way
City Lewes State DE Zip: 19958 Purchase Date: 12/31/10
Owner Phone #: (301) 922-9114 Owner e-mail: dkolson@verizon.net

Agent/Attorney Information

Agent/Attorney Name: N/A
Agent/Attorney Address: _____
City _____ State _____ Zip: _____
Agent/Attorney Phone #: _____ Agent/Attorney e-mail: _____

Signature of Owner/Agent/Attorney

Douglas K Olson Date: 12/21/23



Sussex County, DE - BOA Application

Criteria for a Variance: (Please provide a written statement regarding each criteria).

You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Variance to be granted.

In granting any variance the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Zoning Ordinance or Code. The Board is empowered in no case, however, to grant a variance in the use of land or structures thereon.

1. Uniqueness of property:

That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the exceptional practical difficulty is due to such conditions and not to circumstances or conditions generally created by the provisions of the Zoning Ordinance or Code in the neighborhood or district in which the property is located.

The builder put his largest house on a small lot. There is no room anywhere for a stand-alone shed. The builder installed a concrete walk on the garage side of the house, 4.5 feet from the house. The builder put a generator and 2 AC units within that 4.5 feet.

2. Cannot otherwise be developed:

That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of the Zoning Ordinance or Code and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

The shed will be built within the concrete walk and will extend no further than the generator and AC units.

3. Not created by the applicant:

That such exceptional practical difficulty has not been created by the appellant.

The builder left no room for a stand-alone shed.

4. Will not alter the essential character of the neighborhood:

That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located and nor substantially or permanently impair the appropriate use of development of adjacent property, nor be detrimental to the public welfare.

The shed will not alter the essential character of the neighborhood. It has been approved by the Architectural Control Committee of Oakwood Village at Lewes. The immediate neighbor beside it was on the Committee.

5. Minimum variance:

That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

The shed will fit within the walkway and will be narrow but long to represent the minimum modification possible.

Sussex County, DE - BOA Application

Criteria for a Special Use Exception: (Please provide a written statement regarding each criteria)

You shall demonstrate to the Board of Adjustment that the property meets all of the following criteria for a Special Use Exception to be granted.

1. Such exception will not substantially affect adversely the uses of adjacent and neighboring property.

The adjacent neighbor gave permission to the Architectural Control Committee and was on the Committee. He also has a shed near mine.

2. Any other requirements which apply to a specific type of special use exception as required by the Sussex County Code. (Ex. Time limitations – 5 year maximum)

Unknown

Basis for Appeal: (Please provide a written statement regarding reason for appeal)

I wish to move tools and bicycles to the shed to make room for my second car. I am 81 years old and handicapped. I now have difficulty clearing snow, ice and frost from my car and have fallen while clearing snow. If the cars are both inside, it will be safer for me to use them. Also, both of my cars need to be inside for EV charging.

Oakwood Village Property Owners Association, Inc
 PO Box 1056
 Havre de Grace, MD 21078



Architectural Control - Approval

September 3, 2021

Douglas Olson
 Irene Olson
 21350 North Acorn Way
 Lewes, DE 19958

Ref Address: 21350 North Acorn Way
 Ref Account Number: OAK2135ONAW

Email & USPS
 800AK-20201022

Dear Homeowner,

The Architectural Control Committee has reviewed your application for a shed and trash enclosure.

The committee has approved your request with the following conditions:

1. You are responsible for obtaining any government required approvals and permits.
2. A utility locating service must come and mark the utility line(s) prior to any digging.
3. Work completed is limited to the scope of work contained in the approved application.
4. Any damage to association property or existing infrastructure due to the construction or installation of any alteration shall be remedied at your sole expense.
5. All work completed is at your sole risk and expense and in no way shall the association be liable for any costs of the alteration.
6. If hiring a contractor, company, or individual it is your responsibility to hire a person who is properly licensed, insured, and bonded in accordance with state law.
7. Any revision or deviation from this approval will require an additional approval from the Architectural Control Committee or Board of Directors.
8. Please notify the Board upon final completion in order for an inspection to be scheduled. This will confirm that all of the guidelines in the proposal were met and are satisfactory. Please see below for ways to contact the Board.

Questions should be submitted in writing by one of the options below. Please allow time for the Architectural Control Committee or Board of Directors, which is comprised of volunteers, to receive, review, and respond in writing.

Sincerely,
 Oakwood Village Property Owners Association, Inc Architectural Control Committee

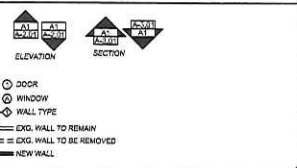
Ways to Communicate with the Board of Directors

Email:
 Admin@InfoHOA.com

U.S. Mail:
 Oakwood Village Property Owners Association, Inc
 PO Box 1056
 Havre de Grace, MD 21078

Fax:
 (866) 724-5497

SYMBOLS

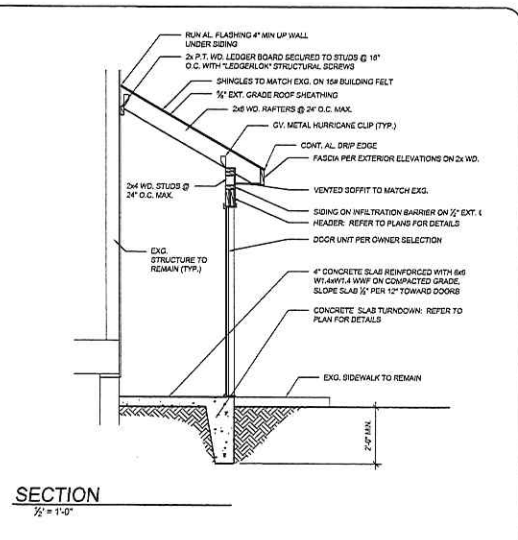
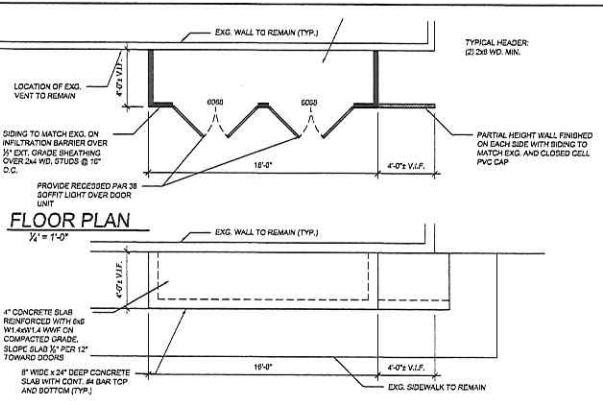


ABBREVIATIONS

Table of abbreviations for architectural elements such as A.C.T. (ACQUISITION/CEILING TILE), A.C. (ANCHOR BOLT), A.F.F. (ABSORBE FINISH FLOOR), etc.

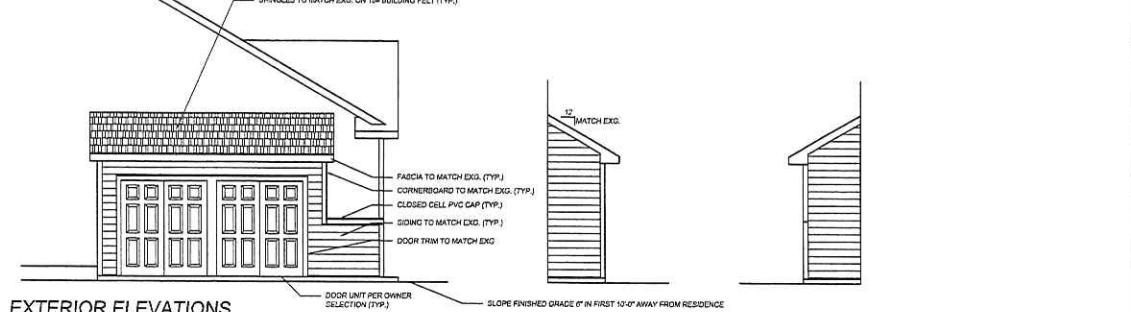
STRUCTURAL SPECIFICATIONS AND NOTES

- 1. CONCRETE SPECIFICATIONS: a. CAST-IN-PLACE CONCRETE DESIGN MIX TO PROVIDE 3,500 PSI 28 DAY COMPRESSIVE STRENGTH... b. PORTLAND CEMENT: ASTM C150, TYPE 1... c. AGGREGATE: NORMAL WEIGHT AGGREGATES, ASTM C33... d. BARS: DEFORMED STEEL, ASTM A618, GRADE 60... e. MESH: WELDED STEEL WIRE FABRIC, ASTM A185... f. FOR SLAB ON GRADE APPLICATIONS, FIBERGLASS REINFORCEMENT CAN BE SUBSTITUTED FOR WELDED WIRE FABRIC... g. ALL MESH MUST BE PROPERLY SUPPORTED ON CHAIRS PRIOR TO POURING CONCRETE... h. CONTRACTOR MAY NOT HOOD AND PULL MESH INTO PROPER PLACEMENT... i. FIBERGLASS REINFORCEMENT: "FIBERMESH 150" OR EQUIVALENT... j. AIR ENTRAINMENT: ASTM C661, AIR ENTRAIN ALL EXTERIOR CONCRETE... k. SLAB CONTROL JOINTS: SAW CUT OR FORM TO 1/4 SLAB DEPTH. CONTROL JOINTS TO BE SPACED @ 20'-0" O.C. MAX (18'-0")... l. SLAB ISOLATION JOINTS: PRE-MOLDED JOINT FILLER... m. COMPLY WITH ACI 308, 308.3, 311, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

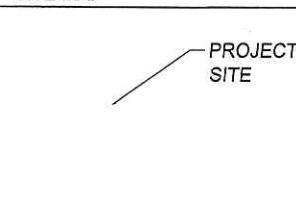


DEMOLITION AND DISPOSAL

- 1. PROTECT WALLS, CEILING, FLOORS, AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN AND ARE EXPOSED DURING SELECTIVE DEMOLITION OPERATIONS... 2. PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT & SETTLEMENT... 3. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS... 4. DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION... 5. PROMPTLY PATCH AND REPAIR HOLES AND DAMAGED SURFACES CAUSED TO ADJACENT CONSTRUCTION BY SELECTIVE DEMOLITION OPERATIONS... 6. WHERE REPAIRS TO EXISTING SURFACES ARE REQUIRED, PATCH TO PRODUCE SURFACES SUITABLE FOR NEW MATERIALS... 7. RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND FINISH RESTORATION INTO ADJACENT CONSTRUCTION TO REMAIN IN A MANNER THAT ELIMINATES EVIDENCE OF PATCHING AND REFINISHING... 8. PATCH AND REPAIR FLOOR AND WALL SURFACES IN THE NEW SPACE WHERE DEMOLISHED WALLS OR PARTITIONS EXTEND ONE FINISHED AREA INTO ANOTHER... 9. PATCH, REPAIR, OR REFINISH EXISTING CEILING AS NECESSARY TO PROVIDE AN UNIFORM SURFACE OF UNIFORM APPEARANCE... 10. DISPOSAL: PROMPTLY REMOVE AND DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. a) DO NOT BURN DEMOLISHED MATERIALS b) TRANSPORT DEMOLISHED MATERIALS OFF OF OWNERS PROPERTY AND LEGALLY DISPOSE OF THEM.



SITE MAP



SHEET INDEX

Table listing sheet titles and corresponding drawing numbers, such as A-0.01 FLOOR PLAN, ELEVATIONS, AND SECTION.

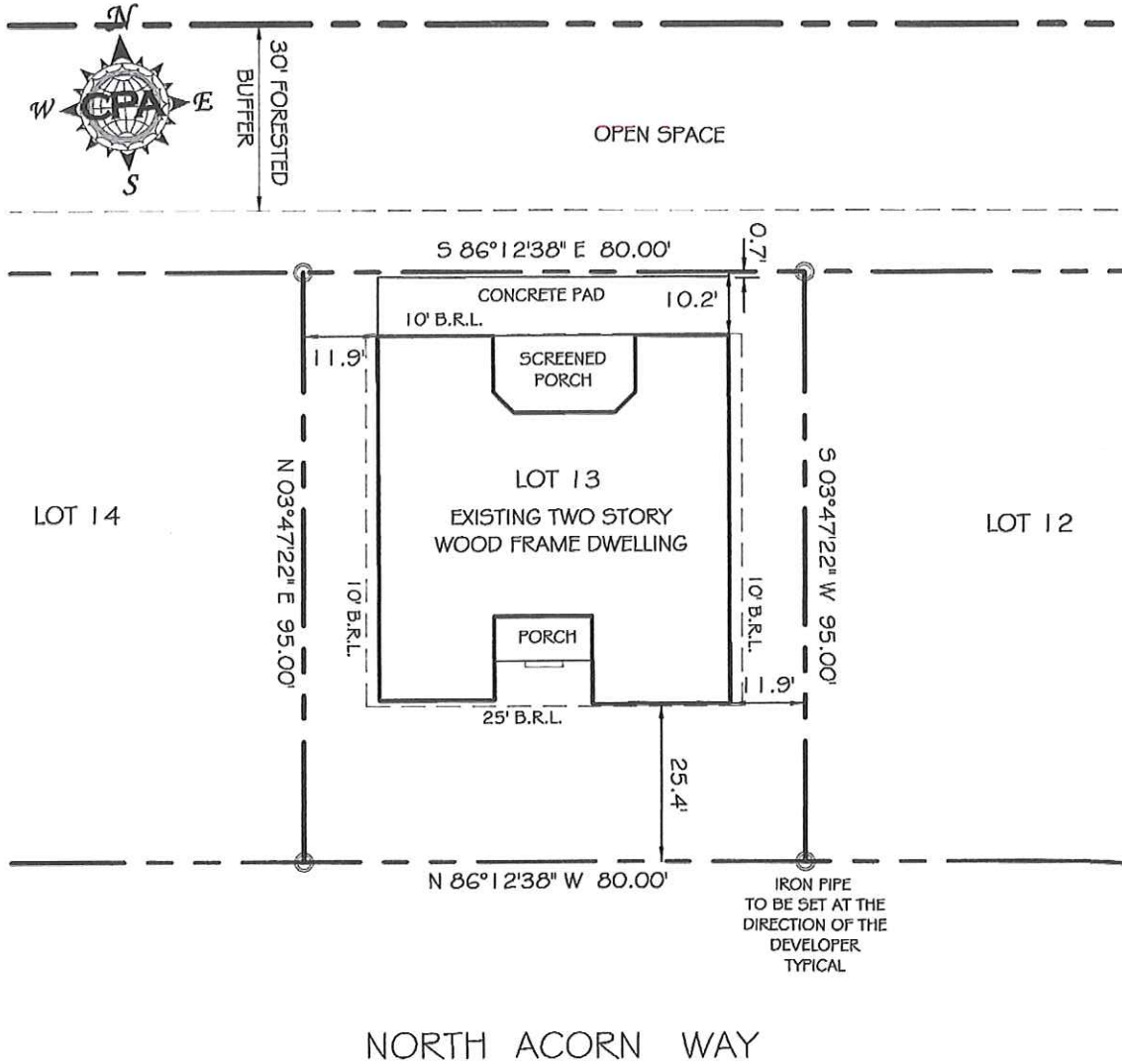
PROJECT DATA

Table containing project information including architect (ARCHITECT), contractor (CONTRACTOR), and project name (ACORN WAY ATTACHED SHED).

GENERAL NOTES

- 1. DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION... 2. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION... 3. THE 2018 INTERNATIONAL RESIDENTIAL CODE AS ADOPTED BY THE COUNTY OF SUSSEX, DELAWARE SHALL GOVERN CONSTRUCTION OF THIS PROJECT... 4. ALL DIMENSIONS ARE FROM FACE OF STUDS OR FACE OF MASONRY UNITS UNLESS NOTED OTHERWISE... 5. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY UNITS OR EXPOSED TO THE ENVIRONMENT SHALL BE PRESURE TREATED WOOD... 6. CONTRACTOR SHALL VERIFY THAT EMERGENCY EGRESS WINDOW UNIT IN EACH NEW FLOOR LEVEL IS IN COMPLIANCE WITH THE APPLICABLE BUILDING CODE FOR THIS PROJECT... 7. CONTRACTOR SHALL NOTIFY MISS UTILITY NOT LESS THAN 2 WORKING DAYS, BUT NOT MORE THAN 10 WORKING DAYS, PRIOR TO EXCAVATION OR DEMOLITION ON THIS PROJECT... 8. ALL MATERIALS SHALL BE FREE OF LEAD, ASBESTOS OR MERCURY... 9. ALL ELECTRICAL WORK SHALL COMPLY WITH NFPA 70, NATIONAL FIRE CODES AND NATIONAL ELECTRICAL CODE (NEC)... 10. SHOULD ANY WORK OR NUMBER THAT ARE NECESSARY FOR A CLEAR UNDERSTANDING OF THE WORK BE OMISSION OR OMITTED, OR SHOULD AN ERROR OR DISCREPANCY OCCUR IN ANY OF THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOT PROCEED WITH THAT PORTION OF THE WORK UNTIL CLARIFICATION IS RECEIVED... 11. IN THE EVENT THE CONTRACTOR PROCEEDS WITHOUT SO NOTIFYING THE ARCHITECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF CORRECTING SAME, INCLUDING ANY RESULTING DAMAGE.

Architectural logo for ARCHOLOG with contact information and a vertical title 'FLOOR PLANS, ELEVATIONS, AND SECTION'.



NOTE:

THIS SURVEY DOES NOT CERTIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS AND RIGHT-OF-WAYS CROSSING SUBJECT PROPERTY.

CLASS "B" SURVEY

MEASURED TO FOUNDATION

[Handwritten Signature]
12/13/10



SURVEYING
LAND PLANNING
P.O. Box 246
Harbeson, Delaware 19951
(302) 684-2980
fax (302) 684-2983

LOCATION SURVEY
LOT 13
OAKWOOD VILLAGE AT LEWES
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

SCALE: 1" = 30'
PLAT REFERENCE: 119/83

SURVEYED BY: H.L.
DRAWN BY: MW
CHECKED BY: P.E.L.
JOB #: 070613
TAX MAP: 2-34-6.00-643.00
DATE: DECEMBER 13, 2010
SHEET NO: 1

December 23, 2010



P.O. Box 246
 Harbeson, Delaware 19951-0246
 (302) 684-2980 – fax (302) 684-2983

**LOT 13
 OAKWOOD VILLAGE AT LEWES
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE**

The following is a description of Lot 13, Oakwood Village at Lewes, northerly side of North Acorn Way, Indian River Hundred, Sussex County, Delaware and more particularly described as follows:

BEGINNING for the purpose of this description, at a point on the northerly right-of-way line of North Acorn Way, said point being a common corner for the Lands being described (Lot 13) and Lot 12, Oakwood Village at Lewes as shown on a Plat entitled *Final Site Plan, prepared by Environmental Consultants International Corporation, dated August 31, 2005 as amended and Recorded in the Office of the Recorder of Deeds in and for Sussex County at Georgetown, Delaware in Plat Book 119, page 83*; thence running by and with said northerly right-of-way line, 1) **North 86 degrees, 12 minutes, 38 seconds West, 80.00 feet** to a point being a common corner for said Lot 13 and Lot 14, Oakwood Village at Lewes; thence running by and with said Lot 14, 2) **North 03 degrees, 47 minutes, 22 seconds East, 95.00 feet** to a point on the southerly outlines of an Open Space Area; thence running by and with a portion of said Open Space Area; 3) **South 86 degrees, 12 minutes, 38 seconds East, 80.00 feet** to a point being a common corner for said Lot 13 and the aforementioned Lot 12; thence running by and with said Lot 12, 4) **South 03 degrees, 47 minutes, 22 seconds West, 95.00 feet** to the point of beginning and **CONTAINING 7,600 Square Feet (0.17 Acres)** of Land more or less.

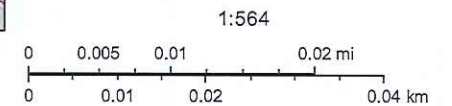


Sussex County



PIN:	234-6.00-643.00
Owner Name	OLSON DOUGLAS K & IRENE F OLSON
Book	3855
Mailing Address	21350 N ACORN WAY
City	LEWES
State	DE
Description	OAKWOOD VILLAGE AT
Description 2	LEWES
Description 3	LOT 13
Land Code	

- Tax Parcels
- 911 Address
- Streets
- County Boundaries
- World Imagery
- Low Resolution 15m Imagery
- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations
- 15cm Resolution Metadata



December 22, 2023

CONNECTEXPLORER



Search [X]

Search by SUSSEXPARELS -

234-6.00-643.00 [Q]

Search results (1) Options -

234-6.00-643.00

map: Auto (Ortho) - Dates: Latest - < Image 5 of 5 > 03/05/2023

