

Case No. 12797

Amy Hollis

From: Elliott Young
Sent: Wednesday, February 15, 2023 12:08 PM
To: Amy Hollis
Subject: FW: Grottos Grand Slam - BOA Hearing
Attachments: 2023-02-15 - BOA Letter.pdf; Grotto Grand Slam - Building-Site Plans.pdf

Amy,

Can you make sure these get placed on file for the Grottos BOA application.

Please let me know if you need anything.

Thank you,

Elliott Young, Planner I
Sussex County Planning and Zoning Department
2 The Circle
Georgetown, DE 19947
302-855-7878

From: Timothy M. Metzner <tmm@dbfinc.com>
Sent: Wednesday, February 15, 2023 11:11 AM
To: Elliott Young <elliott.young@sussexcountyde.gov>
Cc: Gosnear, Jeff <jgosnear@grottopizza.com>
Subject: Grottos Grand Slam - BOA Hearing

CAUTION: This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

Elliott,

As stated in the notice for the BOA hearing, attached are additional documents in support of the application to be placed into the record. If you have any questions let me know.

Thanks,
Tim

Timothy M. Metzner, PLA, LEED AP ND

Associate/Sr. Landscape Architect
Davis, Bowen & Friedel, Inc.
Office: 410-543-9091 | Cell: 302-858-1240

February 15, 2023

Sussex County Administrative Building
Planning and Zoning Department
2 The Circle
Georgetown, Delaware 19947

Ring W. Lardner, P.E.
W. Zachary Crouch, P.E.
Michael E. Wheedleton, AIA, LEED GA
Jason P. Loar, P.E.
Jamie L. Sechler, P.E.

Attn: Mr. Jamie Whitehouse, AICP
Planning Director

RE: **Grotto's Grand Slam – BOA Hearing**
Sussex County, DE
Tax Map No: 334-6.00-525.00
DBF # 2313A005.C01

Dear Mr. Whitehouse:

On behalf of our client, Grotto Pizza, Inc., we offer the following explanation in support of the application. The property is unique, as a legally nonconforming lot that was developed as a restaurant and subject to the Zoning Ordinance's previous front yard setback requirement of 40 feet. The Zoning Ordinance was amended, subjecting this property to an increased front yard setback requirement of 60 feet. The amendment to the Code has created an exceptional practical difficulty, not created by the applicant, such that the property owner cannot make reasonable changes to the property that are intended to improve functionality, safety and access to the existing restaurant. The variances, if authorized, will not alter the essential character of the neighborhood or district that is commercial in nature. The proposed improvements will also improve safety for patrons accessing the restaurant. The variances, if authorized, represents the minimum variances that affords relief and represents the least modification possible to improve restaurant access and safety. The variances, as requested, are shown on the Grotto Grand Slam Renovations Site Plan dated August 5, 2022.

If you have any questions or need additional information, please call.

Sincerely,
Davis, Bowen & Friedel, Inc.



Timothy M. Metzner, RLA, LEED AP ND
Associate / Sr. Landscape Architect

TMM
P:\2313\2313A005 - Grotto's Grand Slam\current working folder\docs\2023-02-15 - BOA Letter.docx

General Notes:

- THIS DRAWING IS PRELIMINARY. NOT FOR CONSTRUCTION.

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Revision

Project:

**GROTTO PIZZA
GRAND SLAM
RENOVATIONS**

LEWES, DELAWARE

Set No.:

**FINAL
DESIGN**

Sheet Title:

ELEVATIONS

Proj.No.: 2313A005.A01

Dwn.By: LMP

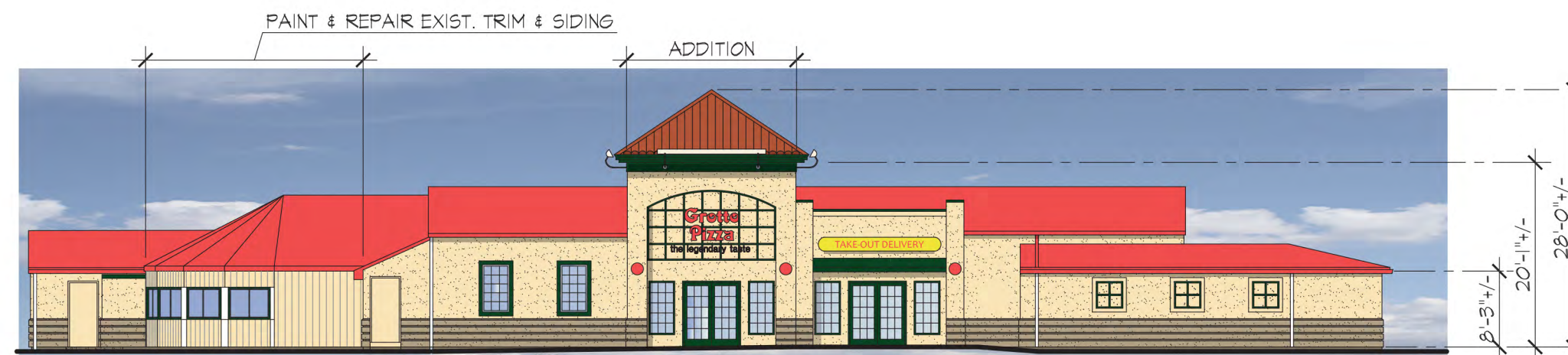
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Date: 7/18/22

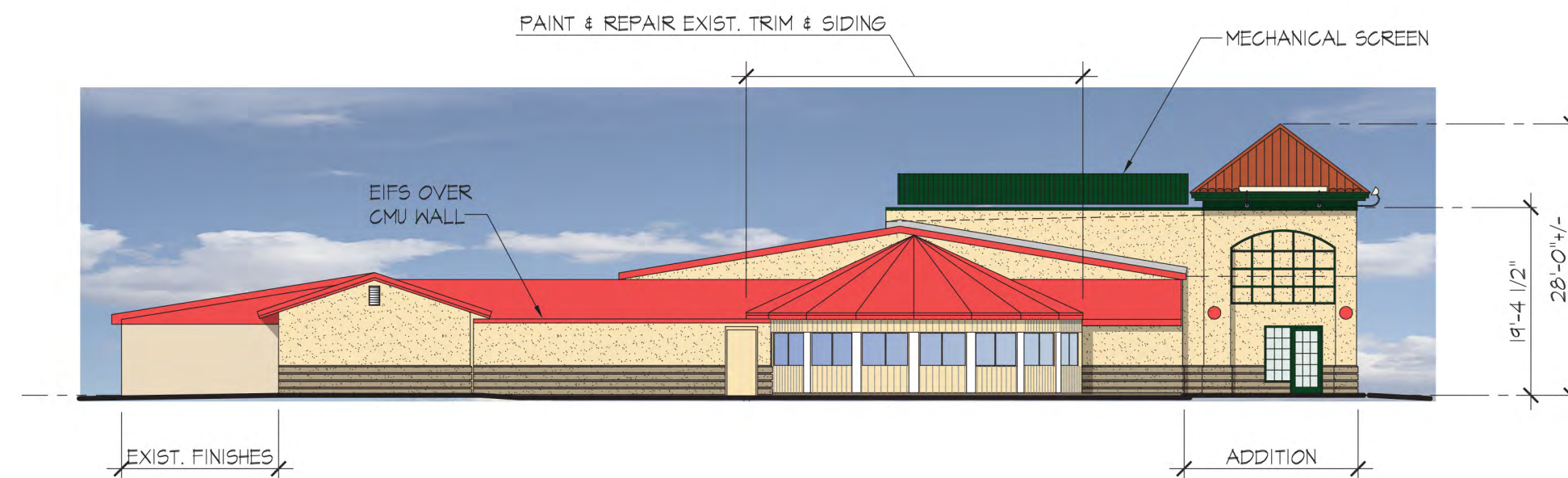
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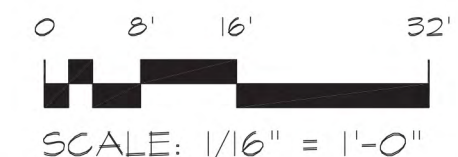
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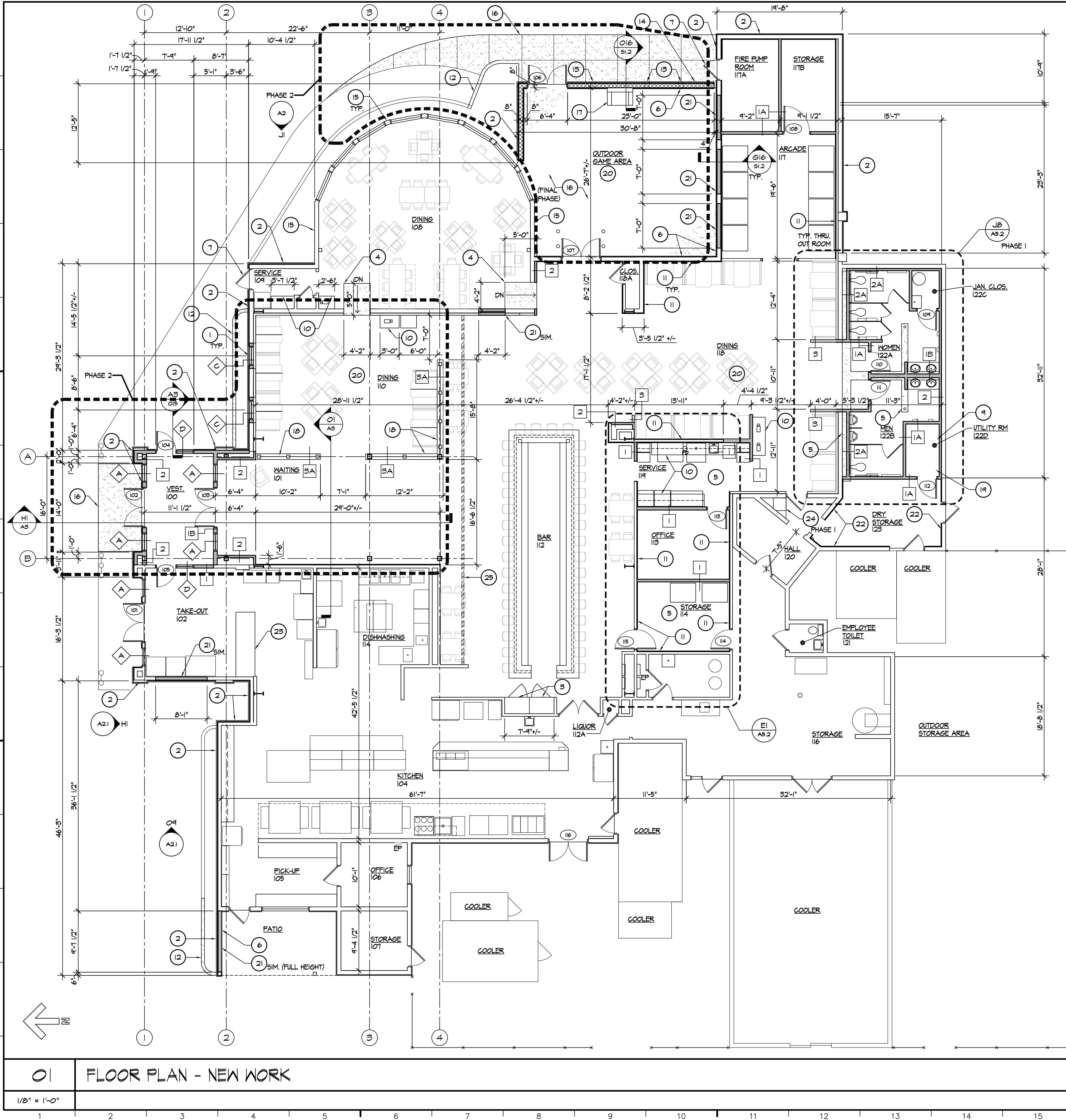


PROPOSED NORTH ELEVATION



PROPOSED EAST ELEVATION





ROOM FINISH SCHEDULE							
NO.	Name	FLR	Base	Wall	Clg	HT	NOTES
100	VESTIBULE	T-2	WD. ST.	PT	ACT1	9'-0"	1.
101	WAITING	T-2	WD. ST.	PT	ACT1	10'-0"	1.
102	TAKE-OUT	T-2	WD. ST.	PT	ACT2	9'-0"	1, 2, 3.
104	KITCHEN	--	--	--	ACT2	--	2, 3.
105	PICKUP	--	--	--	ACT2	--	2, 3.
106	OFFICE	--	--	--	ACT2	--	
107	STORAGE	--	--	--	--	--	
108	DINING	LP	VINYL	PT	PT	--	
109	SERVICE	LP	--	--	ACT1	--	
110	DINING	LP	WD ST.	PT	PT	--	1.
112	BAR	LP	WD ST.	PT	--	--	1.
112A	LIQUOR	--	--	--	--		
113	OFFICE	LP	VINYL	PT	ACT2	8'-0"	
114	DISHWASHING	--	--	--	ACT2	--	2, 3.
116	PREP ROOM	--	--	--	ACT2	--	2, 3.
117	ARCADE	LP	VINYL	PT	ACT3	--	2.
117A	FIRE PUMP ROOM	LP	VINYL	PT	PT	8'-0" ±	
117B	STORAGE	LP	VINYL	PT	ACT2	8'-0"	2.
118	DINING	LP	WD ST.	PT	ACT1	--	1, 2.
118A	CLOSET	LP	VINYL	PT	ACT2	--	2, 3.
119	SERVICE	T-2	VINYL	GLBD	PT	7'-6"	
120	HALL	--	--	--	PT	--	2.
121	EMPLOYEE TOILET	--	--	--	ACT2	--	2, 3.
122A	WOMENS	T-1	T-1	T-1/PT	ACT2	8'-0"	5.
122B	MENS	T-1	T-1	T-1/PT	ACT2	8'-0"	5.
122C	JAN. CLOS.	T-1	VINYL	GLBD	ACT2	8'-0"	
122D	UTILITY ROOM	EPOXY	EPOXY	GLBD	PT		
123	DRY STORAGE	EPOXY	EPOXY	GLBD	PT	--	

ROOM FINISH SCHEDULE NOTES:

1. ST. WD. MAINSCOT W/ CHAIR RAIL.

2. MATCH EXIST. CLG. HT.

3. PAINT EXIST. CLG. GRID. REPLACE CLG. TILES.

4. GLBD BACKSPASH UNDER COUNTERTOP.

5. T-5 MAINSCOT ACCENT TILE. SEE DRAWING SHEET A5.2. PROVIDE MOISTURE RESISTANT GYP. BOARD THROUGHOUT.

6. ALIGN NEW TILE & GRID WITH ADJACENT EXISTING TILE & GRID.

F16	ROOM FINISH SCHEDULE
<div><div>1. PROVIDE NEW ALUMINUM STOREFRONT WINDOWS IN EXISTING PRE-ENGINEERED BLDG. WALL. PROVIDE METAL FRAMING AS REQUIRED.</div><div>2. PROVIDE EIFS & BLDG. WRAP OVER EXISTING OR NEW WALL SUBSTRATE.</div><div>3. REPLACE FULL HEIGHT PANTRY CABINET.</div><div>4. NEW ADA COMPLIANT CONCRETE RAMP WITH 1:12 MAX. SLOPE. SEE DETAIL 010/S1.2.</div><div>5. PATCH CONCRETE SLAB AS REQUIRED FOR NEW SANITARY PIPING INSTALLATION. SEE PLUMBING DRAWINGS.</div><div>6. PROVIDE BOARD & BATTEN FIBER CEMENT SIDING & BLDG WRAP OVER NEW OR EXISTING WALL SUBSTRATE.</div><div>7. PAINT HOLLOW METAL DOOR & FRAME TO MATCH EIFS FIELD COLOR.</div><div>8. NOT USED.</div><div>9. RELOCATED HVAC EQUIPMENT. SEE MECHANICAL DRAWINGS.</div><div>10. PLASTIC LAMINATE COUNTERTOP WITH METAL SUPPORT BRACKETS. PROVIDE 4" BACKSPASH AT WALLS.</div><div>11. REPLACE INTERIOR WALL SUBSTRATE TO ACCEPT NEW FINISHES. SEE ROOM FINISH SCHEDULE.</div><div>12. PROVIDE CONCRETE CURB AND PLANTING AREA.</div><div>13. PROVIDE THROUGH WALL SCUPPER AT BASE OF WALL FOR STORMWATER DRAINAGE.</div><div>14. PROVIDE CMU WALL WITH WALL FINISHES NOTED AND METAL COPING CAP. SEE DETAIL 016/S1.2.</div><div>15. PAINT EXISTING BOARD AND BATTEN SIDING AND TRIM.</div><div>16. PROVIDE CONCRETE SIDEWALK OR PATIO THROUGHOUT THIS AREA. SEE DETAIL 010/S1.2.</div><div>17. PROVIDE GAS-FIRED OUTDOOR FIREPLACE. SEE MECHANICAL DRAWINGS.</div><div>18. PROVIDE DECORATIVE MILLWORK AND GLAZING ON TOP OF HALF WALL PARTITION.</div><div>19. NOT USED.</div><div>20. FURNITURE TO BE REPLACED IN THIS AREA. SEE DRAWING A5.3.</div><div>21. INFILL EXISTING WALL OPENING. SEE DETAIL G16/S1.2.</div><div>22. INSTALL NEW GLBD. IN THIS AREA.</div><div>23. PLASTIC LAMINATE COUNTERTOP EXIST. OVER LOW WALL AND OPEN FACED BASE CABINETS (EMPLOYEE SIDE). PROVIDE BACKSPASH AT WALL TRANSITIONS.</div><div>24. RELOCATED I.T. RACK (PHASE I). SEE ELECTRICAL DRAWINGS.</div><div>25. TEMPORARY CONSTRUCTION PARTITION. REMOVE AT END OF CONSTRUCTION.</div></div>	

016

SHEET KEYNOTES

dbf

DAVIS BOWEN & FRIEDEL, INC.

ARCHITECTS, ENGINEERS & SURVEYORS
SALISBURY, MARYLAND ■ MILFORD, DELAWARE
410.543.9091 302.424.1441

General Notes:

1. DIMENSIONS ARE TO CENTERLINE OF STUD, FACE OF SHEATHING UNLESS OTHERWISE NOTED.

2. ALL INTERIOR PARTITIONS ARE TO BE TYPE I UNLESS OTHERWISE NOTED.

3. ALL DIMENSIONS OF EXISTING ARE APPROXIMATE. CONTRACTOR TO VERIFY EXISTING CONDITIONS IN THE FIELD AND COORDINATE DEMOLITION WITH NEW WORK.

4. SEE DRAWING SHEET A5.1 FOR ROOM FINISH TYPES.

SYMBOLS LEGEND

EXISTING WALL

NEW CMU WALL

NEW STUD WALL

DOOR TAG (SEE DOOR SCHEDULE)

WINDOW TAG (SEE WINDOW TYPES)

SECTION

ELEVATION

SHEET KEYNOTE

PARTITION TYPES (SEE DRAWING A2.3)

ROOM NAME

ROOM NUMBER

2A:10:B:C MINIMUM RATED FIRE EXTINGUISHER

TOILET ACCESSORY (SEE DRAWING A5.2)

Consultant:

e²

ENGINEERING

Mechanical | Electrical | Systems Engineering
PO Box 498, Smyrna, DE 19977 302-659-9090

Revision

1

STRUCTURAL REVISIONS 8-10-22

2

PROJECT PHASING ADDED 11/18/22

Project:

GROTTO GRAND SLAM RENOVATIONS

17467 SHADY RD LEWES, DELAWARE

Set No.: PERMIT SET

Sheet Title: FLOOR PLAN

Proj.No.: 2313A005.D01

Scale: AS NOTED

Down By: DSR

Date: 8-5-22

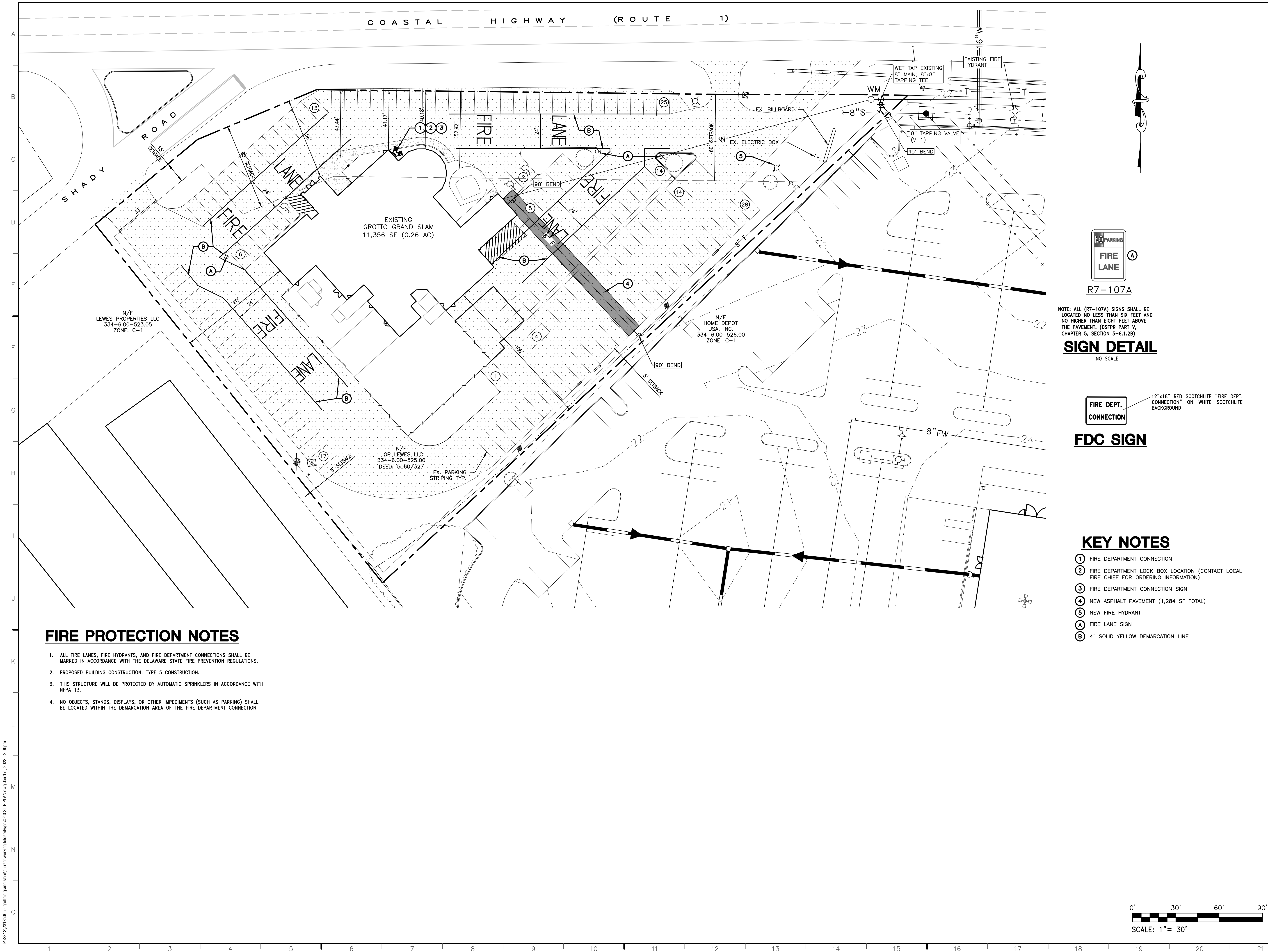
Sheet No.:

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A1.1

P:\213\2133005 - grotto grand slam\current working folder\design\21 SITE PLAN.dwg, Jan 17, 2023, 2:00pm



FIRE PROTECTION NOTES

- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
- PROPOSED BUILDING CONSTRUCTION: TYPE 5 CONSTRUCTION.
- THIS STRUCTURE WILL BE PROTECTED BY AUTOMATIC SPRINKLERS IN ACCORDANCE WITH NFPA 13.
- NO OBJECTS, STANDS, DISPLAYS, OR OTHER IMPEDIMENTS (SUCH AS PARKING) SHALL BE LOCATED WITHIN THE DEMARCATION AREA OF THE FIRE DEPARTMENT CONNECTION

NOTE: ALL (R7-107A) SIGNS SHALL BE LOCATED NO LESS THAN SIX FEET AND NO HIGHER THAN EIGHT FEET ABOVE THE PAVEMENT. (DSFPR PART V, CHAPTER 5, SECTION 5-6.1.2B)

SIGN DETAIL

NO SCALE

FIRE DEPT.
CONNECTION

12"x18" RED SCOTCHLITE "FIRE DEPT. CONNECTION" ON WHITE SCOTCHLITE BACKGROUND

FDC SIGN

KEY NOTES

- FIRE DEPARTMENT CONNECTION
- FIRE DEPARTMENT LOOK BOX LOCATION (CONTACT LOCAL FIRE CHIEF FOR ORDERING INFORMATION)
- FIRE DEPARTMENT CONNECTION SIGN
- NEW ASPHALT PAVEMENT (1,284 SF TOTAL)
- NEW FIRE HYDRANT
- FIRE LANE SIGN
- 4" SOLID YELLOW DEMARCATION LINE

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SAUSURY, MARYLAND MILFORD, DELAWARE
410.543.9091 302.424.1441

General Notes:

LEGEND

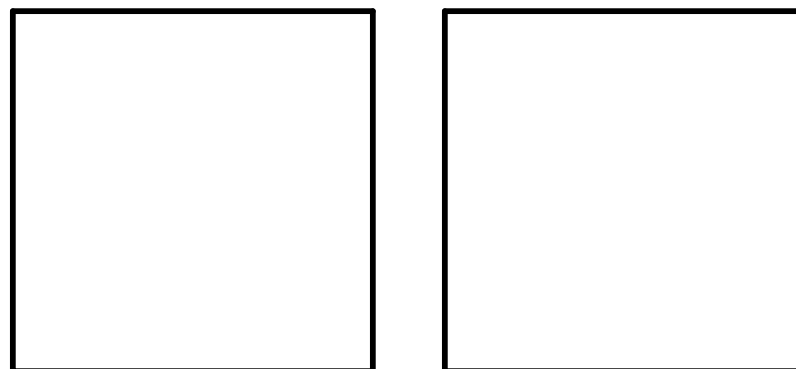
PROPOSED

- PROPERTY LINE OR RIGHT-OF-WAY LINE
 - PUBLIC UTILITY EASEMENT
 - FENCE
 - 24' CONTOUR
 - SWALE
 - EDGE OF WOODS, LIMITS OF CLEARING LINE
 - SEWER MAIN, MANHOLE, AND CLEANOUT
 - WATER MAIN, HYDRANT, VALVE, AND METER
 - STORMDRAIN, MANHOLE, AND INLET
 - CURB, CURB AND GUTTER
 - CONCRETE SIDEWALK, CONCRETE PAD, OR CONCRETE PAVING
 - BITUMINOUS PAVING
 - BUILDING
 - DECIDUOUS TREE, EVERGREEN TREE, AND SHRUBS
 - ROAD SIGN, MAIL BOX
 - LIGHT POLE
 - UTILITY POLE WITH GUY WIRES
- ABBREVIATIONS**
- | | |
|------|--------------|
| PR | PROPOSED |
| EX | EXISTING |
| D.I. | DUCTILE IRON |

Consultant:



Mechanical | Electrical | Systems Engineering
PO Box 498, Smyrna, DE 19977 302-659-9090



Revision

- | | |
|---|--------------------------------|
| 1 | STRUCTURAL REVISIONS 8-10-22 |
| 2 | PROJECT PHASING ADDED 11/18/22 |

Project:

**GROTTO GRAND SLAM
RENOVATIONS**
17467 SHADY RD
LEWES, DELAWARE

Set No.:

**PERMIT
SET**

Sheet Title:

SITE PLAN PHASE 1

Proj.No.:

2313A005.D01

Scale:

AS NOTED

Own.By:

DSR

Date:

8-5-22

Sheet No.:

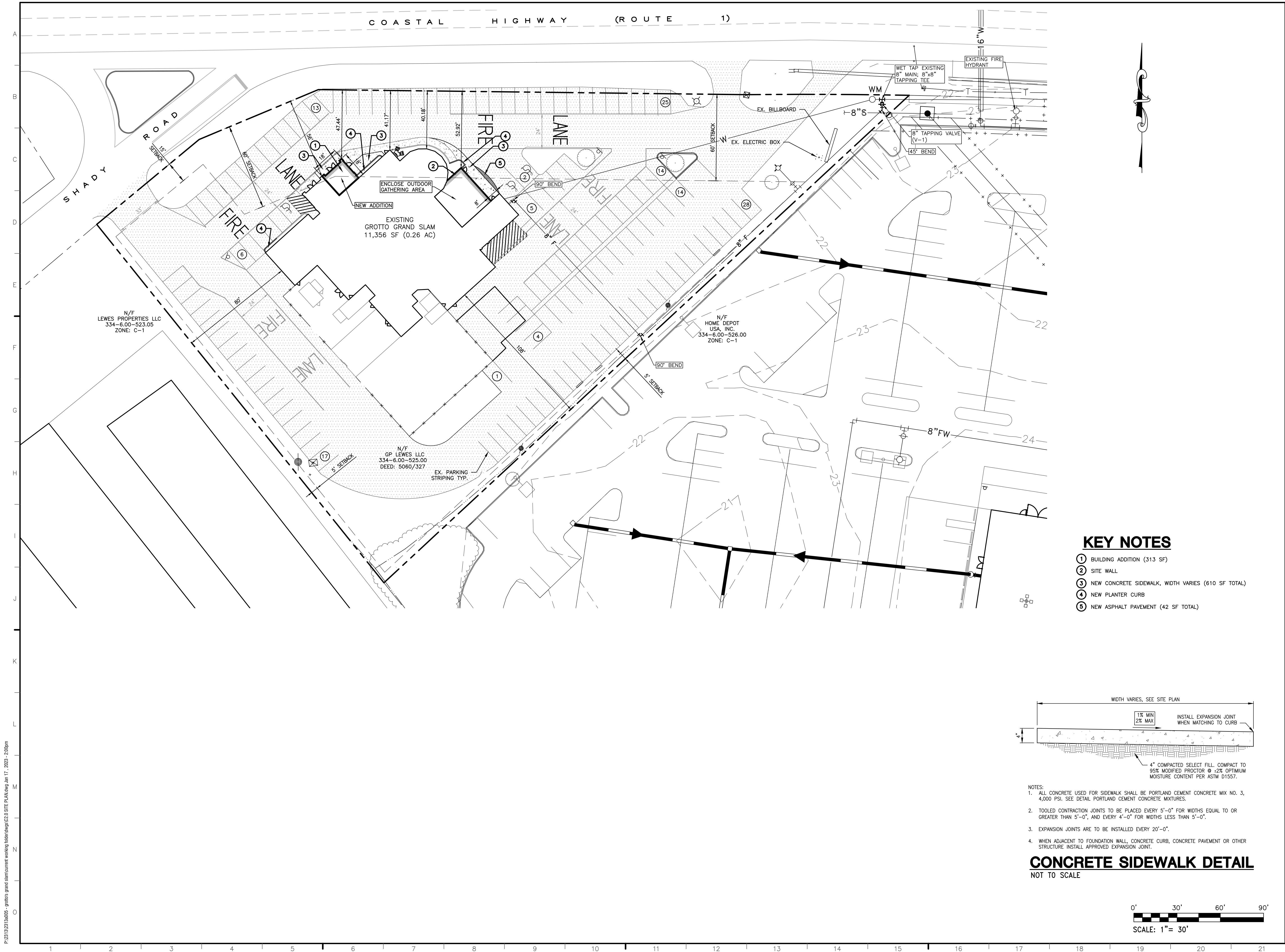
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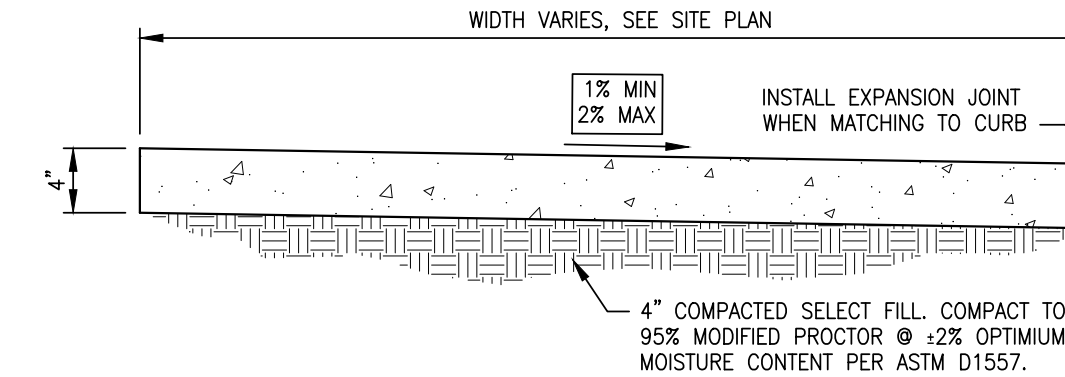
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SCALE: 1"= 30'

P:\213\2133005 - grotto grand slam\current working folder\dwg\21 SITE PLAN.dwg, Jan 17, 2023, 2:03pm



KEY NOTES

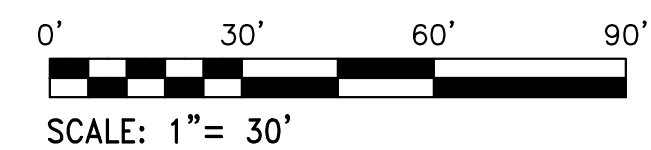
- 1 BUILDING ADDITION (313 SF)
- 2 SITE WALL
- 3 NEW CONCRETE SIDEWALK, WIDTH VARIES (610 SF TOTAL)
- 4 NEW PLANTER CURB
- 5 NEW ASPHALT PAVEMENT (42 SF TOTAL)



- NOTES:
1. ALL CONCRETE USED FOR SIDEWALK SHALL BE PORTLAND CEMENT CONCRETE MIX NO. 3, 4,000 PSI. SEE DETAIL PORTLAND CEMENT CONCRETE MIXTURES.
 2. TOOLED CONTRACTION JOINTS TO BE PLACED EVERY 5'-0" FOR WIDTHS EQUAL TO OR GREATER THAN 5'-0", AND EVERY 4'-0" FOR WIDTHS LESS THAN 5'-0".
 3. EXPANSION JOINTS ARE TO BE INSTALLED EVERY 20'-0".
 4. WHEN ADJACENT TO FOUNDATION WALL, CONCRETE CURB, CONCRETE PAVEMENT OR OTHER STRUCTURE INSTALL APPROVED EXPANSION JOINT.

CONCRETE SIDEWALK DETAIL

NOT TO SCALE



General Notes:

LEGEND

- PROPOSED**
- PROPERTY LINE OR RIGHT-OF-WAY LINE
 - PUBLIC UTILITY EASEMENT
 - FENCE
 - CONTOUR
 - SWALE
 - EDGE OF WOODS, LIMITS OF CLEARING LINE
 - SEWER MAIN, MANHOLE, AND CLEANOUT
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 - CURB, CURB AND GUTTER
 - CONCRETE SIDEWALK, CONCRETE PAD, OR CONCRETE PAVING
 - BITUMINOUS PAVING
 - BUILDING
 - DECIDUOUS TREE, EVERGREEN TREE, AND SHRUBS
 - ROAD SIGN, MAIL BOX
 - LIGHT POLE
 - UTILITY POLE WITH GUY WIRES

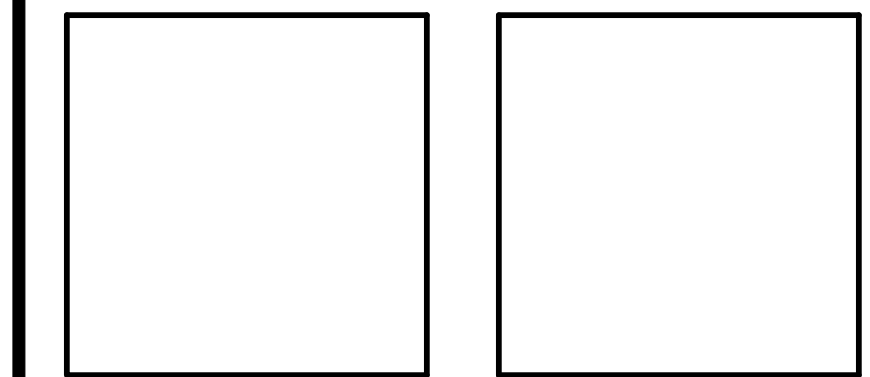
ABBREVIATIONS

- PR PROPOSED
EX EXISTING
D.I. DUCTILE IRON

Consultant:



Mechanical | Electrical | Systems Engineering
PO Box 498, Smyrna, DE 19977 302-659-9090



Revision

1	STRUCTURAL REVISIONS 8-10-22
2	PROJECT PHASING ADDED 11/18/22

Project:

GROTTO GRAND SLAM RENOVATIONS

17467 SHADY RD
LEWES, DELAWARE

Set No.:

PERMIT
SET

Sheet Title:

SITE PLAN PHASE 2

Proj.No.:

2313A005.D01

Scale:

AS NOTED

Dwn.By:

DSR

Date:

8-5-22

Sheet No.:

C2.1

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