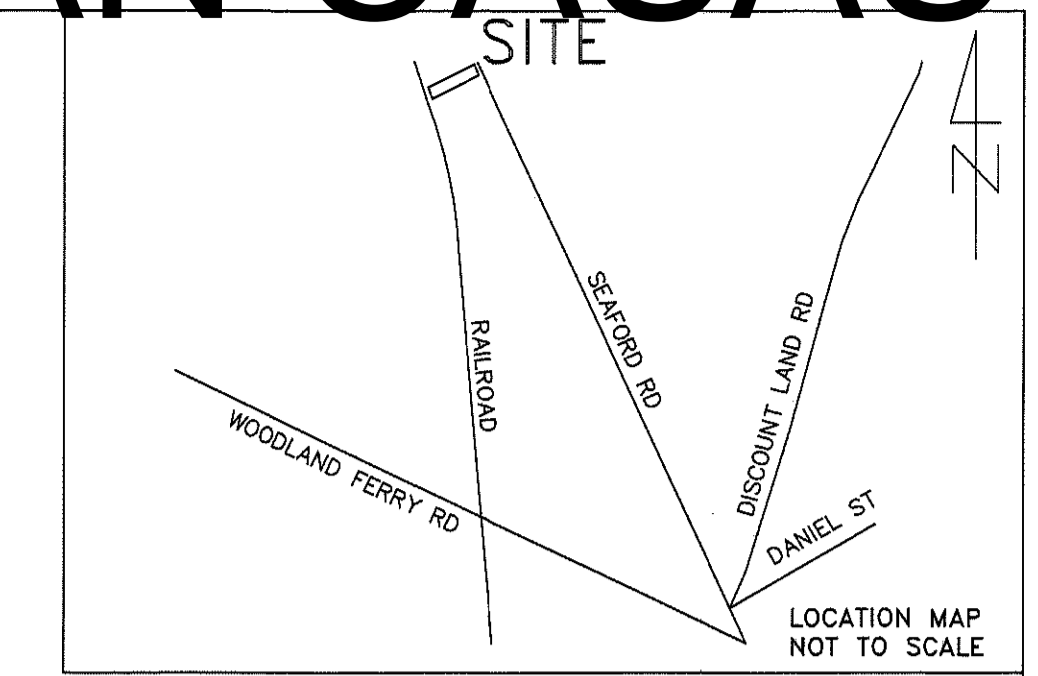
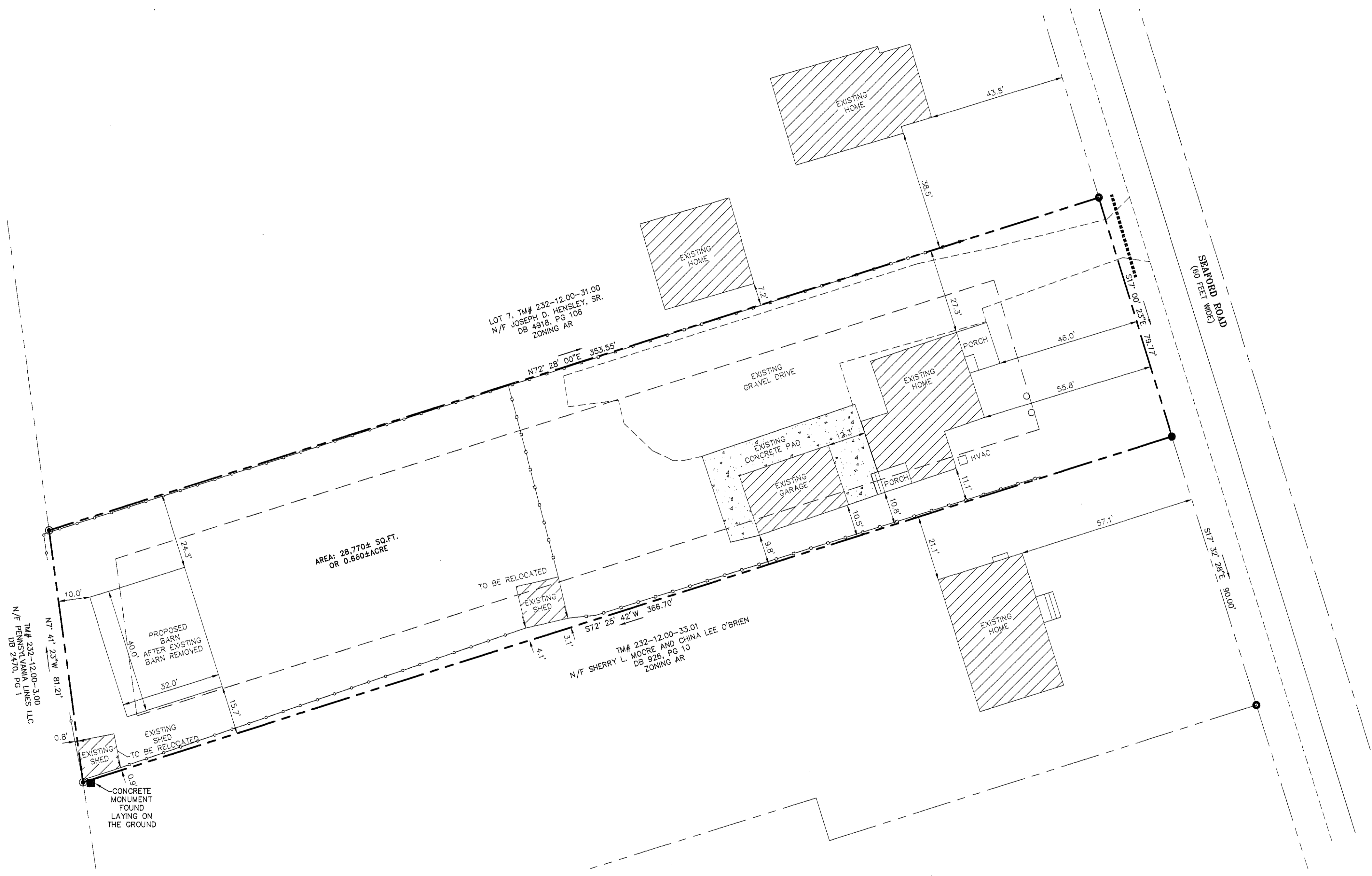


CASE NO 12684 - ADAN CASAS

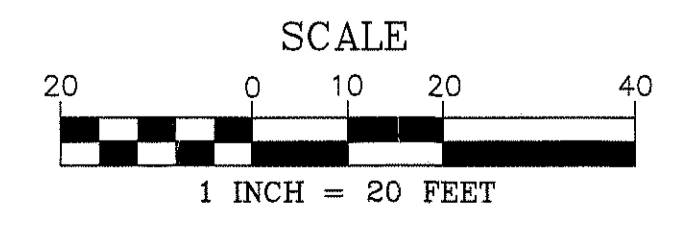
PLAN DATA:
 1. TITLE REFERENCED TO: TM# 232-12.00-32.00, DB 4606, PG 165
 30016 SEAFORD ROAD, LAUREL, DE 19956
 LOT 6 LANDS OF CATHERINE R. MOORE AND BEATRICE M. ALLEN
 BROAD CREEK HUNDRED, SUSSEX COUNTY, STATE OF DELAWARE
 2. NO TITLE REPORT PERFORMED OR FURNISHED IN PREPARATION OF THIS PLAN.
 3. THIS PLAN DOES NOT CERTIFY THE EXISTENCE OR NON-EXISTENCE OF EASEMENTS OR RIGHTS OF WAY AS A FULL AND COMPLETE SEARCH MAY REVEAL IN THE SUSSEX COUNTY RECORDER OF DEEDS
 4. ACCORDING TO SUSSEX COUNTY PLANNING AND ZONING, ZONING IS AR, AND SETBACKS ARE: FRONT-40, SIDE-15, AND REAR-20.



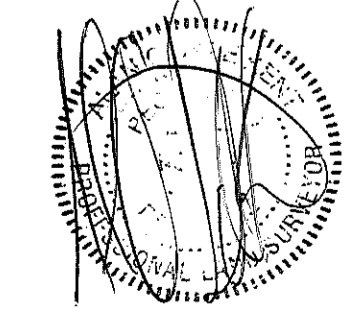
DSEFC/NSRRS 2011



- LEGEND:
- CAPPED IRON PIN SET
 - IRON REBAR FOUND
 - CONCRETE MONUMENT FOUND
 - IRON PIPE FOUND
 - PROPERTY LINE
 - - - ADJOINING PROPERTY LINES
 - - - BUILDING RESTRICTION LINE
 - - - ROAD CROWN
 - - - ROAD EDGE
 - ⋯ EXISTING CULVERT PIPE



SURVEYOR'S CERTIFICATION
 I, ALAN O'DALE KENT, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.



ALAN O'DALE KENT, PLS#738
 ALAN O KENT LAND SURVEYING LLC
 9505 SUSSEX STREET
 SEAFORD, DE 19973

[Signature] DATE

JOB # 2022122

THIS IS A SUBURBAN CLASS SURVEY

DATE OF PLAN
20 JUN 2022

DATE OF LAST FIELD WORK
17 JUN 2022

**BOUNDARY SURVEY PLAN
 AND VARIANCE REQUEST
 OF THE LANDS NOW OR FORMERLY OF
 ADAN CASAS**

PREPARED BY
 ALAN O KENT LAND SURVEYING
 9505 SUSSEX STREET
 SEAFORD, DE 19973
 (302) 745-1735

12"X60" WINDOW

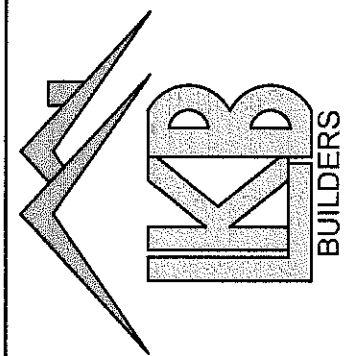
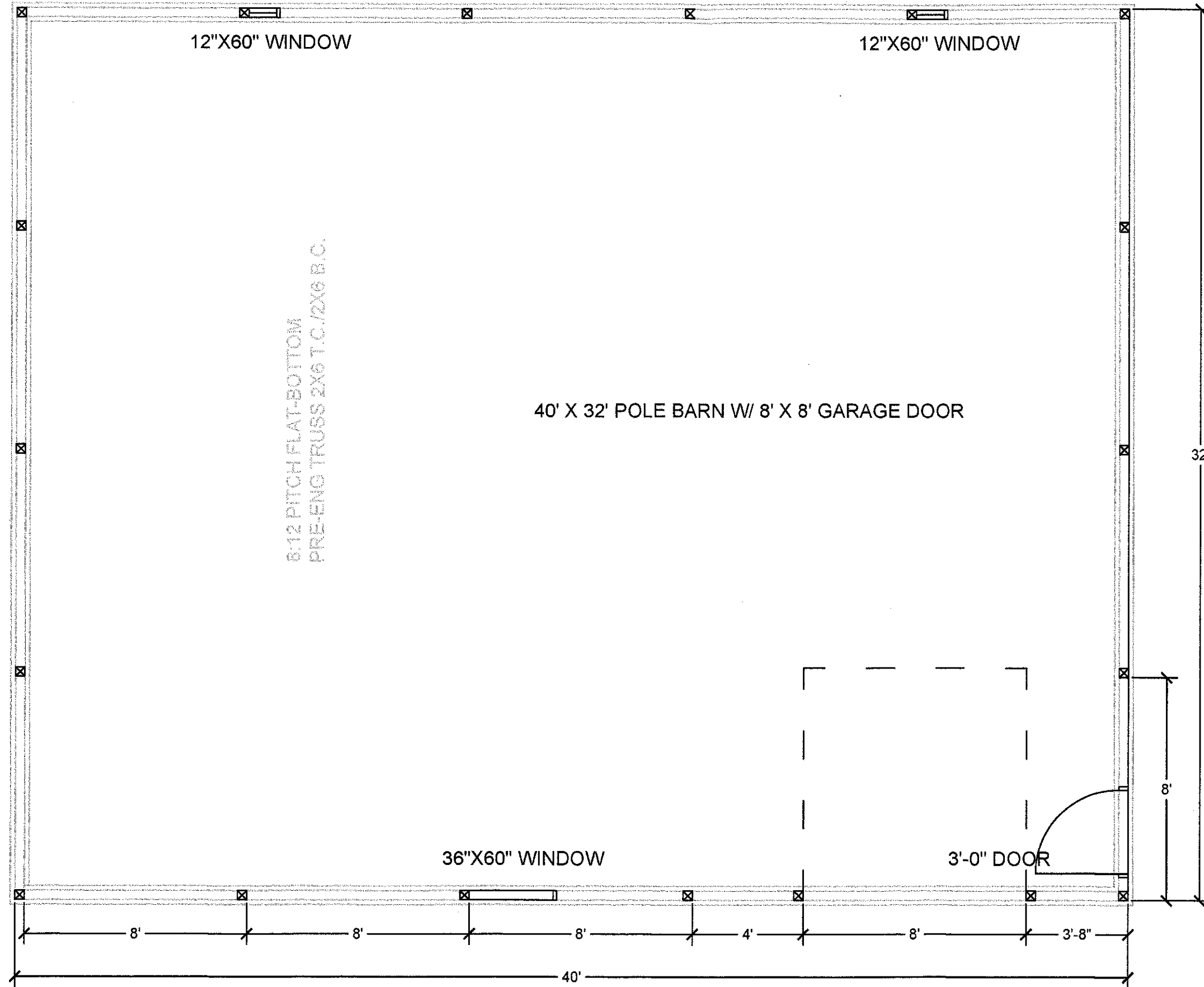
12"X60" WINDOW

8:12 PITCH FLAT-BOTTOM
PRE-ENG TRUSS 2X6 T.C./2X6 B.C.

40' X 32' POLE BARN W/ 8' X 8' GARAGE DOOR

36"X60" WINDOW

3'-0" DOOR



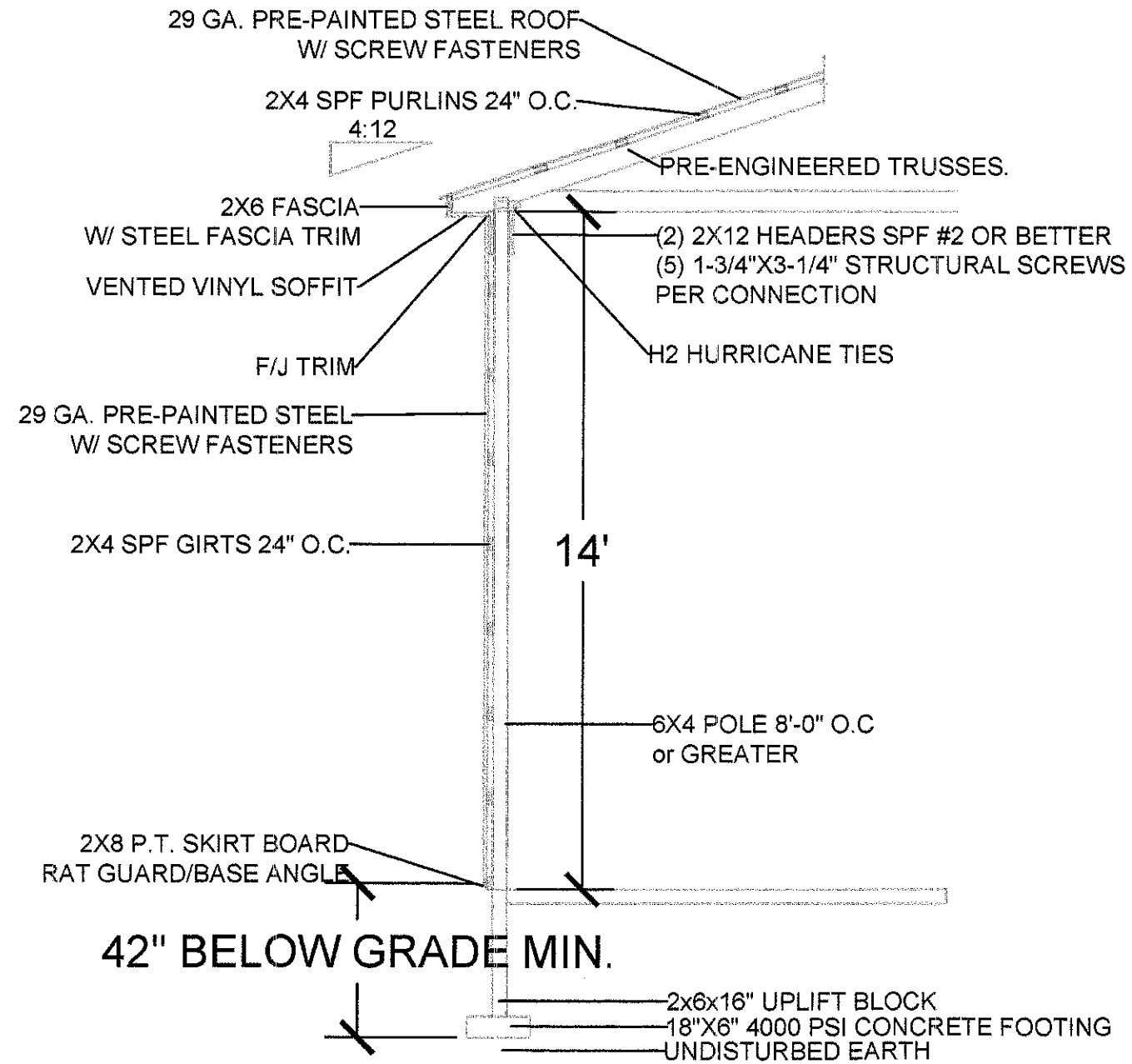
DRAWN FOR:
ADAN CASAS
30016 SEAFORD RD
LAUREL, DE

302-604-8049 - LKBBUILDERS@GMAIL.COM

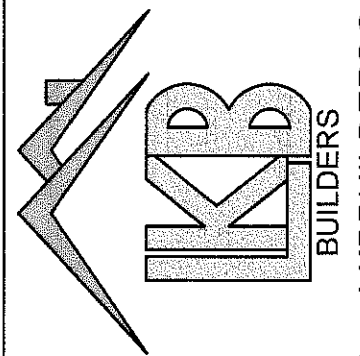
2

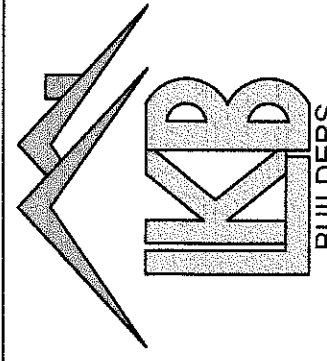
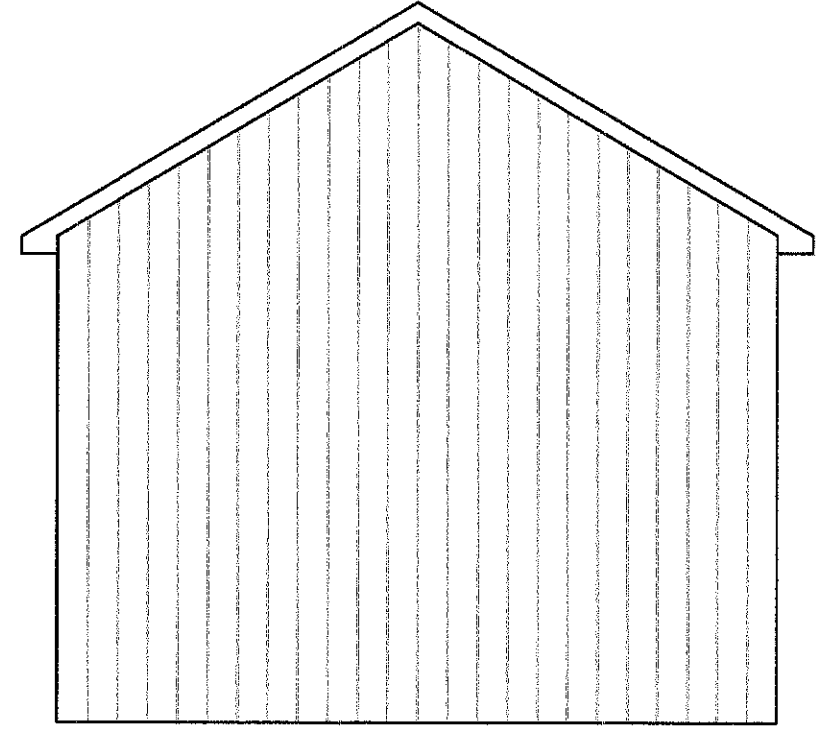
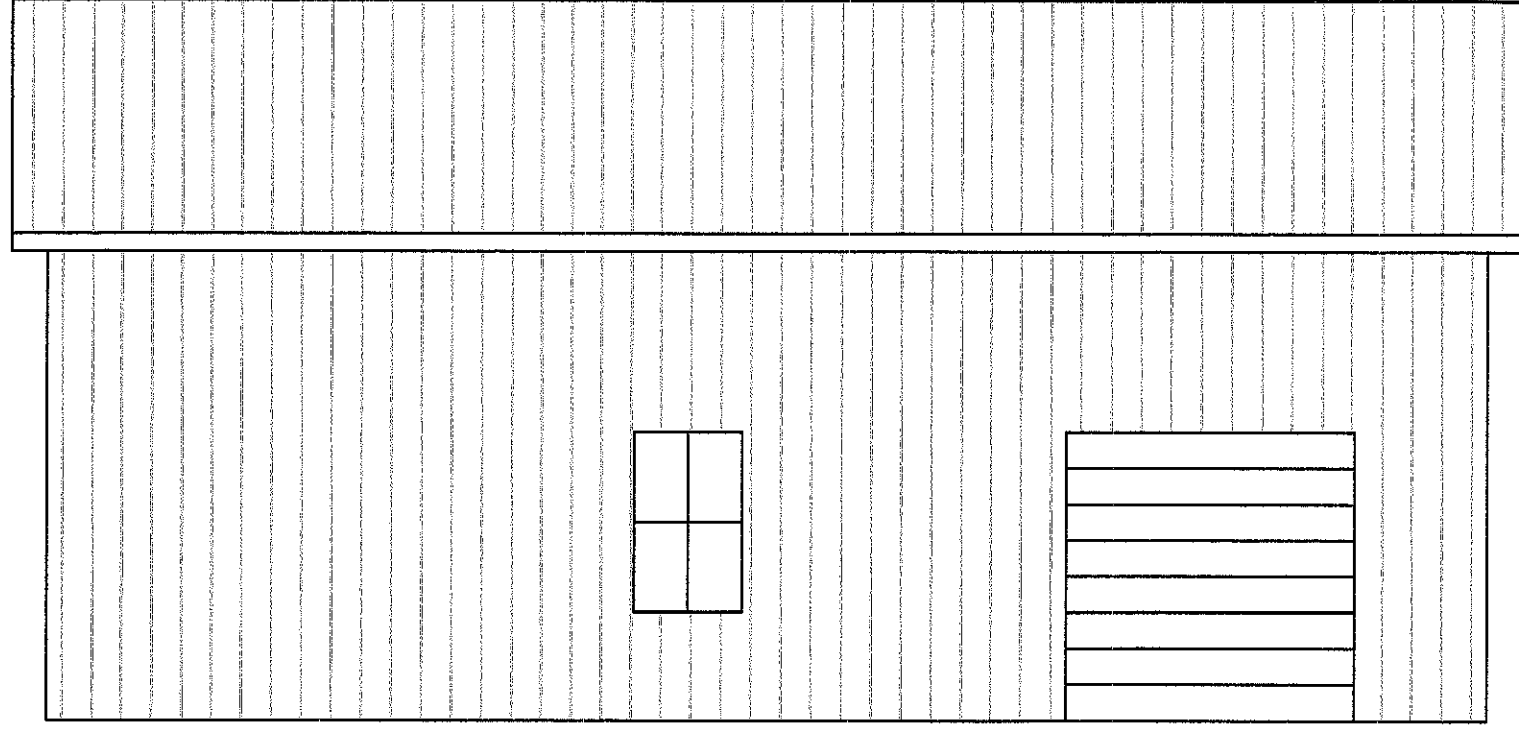
TYPICAL SECTION LEAN TO

Scale: $\frac{1}{8} = 1'-0"$



DRAWN FOR:
ADAN CASAS
30016 SEAFORD RD
LAUREL, DE





302-604-8049 - LKBBUILDERS@GMAIL.COM

DRAWN FOR:
ADAN CASAS
30016 SEAFORD RD
LAUREL, DE

Amy Hollis

From: webmaster@sussexcountyde.gov on behalf of Sussex County DE
<webmaster@sussexcountyde.gov>
Sent: Monday, June 20, 2022 4:38 PM
To: Planning and Zoning
Subject: Submission from: Planning & Zoning Commission contact form

RECIPIENTS: Jamie Whitehouse

Submitted on Monday, June 20, 2022 - 4:38pm

Name: Kenneth A & Nancy R Flacco
Email address: papitbull@aol.com
Phone number: 3023886756
Subject: Case NO. 12708

Message:

We have reviewed the side yard setback and have NO objections to the granting of this variance. It is good for our neighbors and good for Swann Keys to see new homes being brought into the community. Please grant this variance.