

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878 T
302-854-5079 F
JAMIE WHITEHOUSE, MRTPI, AICP
DIRECTOR OF PLANNING & ZONING

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET

Planning Commission Public Hearing Date: September 10th, 2020

Application: CU 2231 Solid Walls, LLC

Applicant/Owner: Solid Walls, LLC – Mr. Peter Nau
907 Cow Marsh Creek Road
Camden Wyoming, DE 19934

Site Location: On the east side of VFW Road, 288 feet south of Ellendale Forest Road
at 14411 VFW Road, (SCR 607) in Ellendale, Delaware 19941.

Current Zoning: AR-1 (Agricultural Residential District)

Proposed Use: Concrete contractor office, storage and maintenance.

Comprehensive Land
Use Plan Reference: Low Density Area

Councilmatic
District: Mr. Wilson

School District: Milford School District

Fire District: Ellendale Fire Department

Sewer: Private (On-site)

Water: Private (On-site)

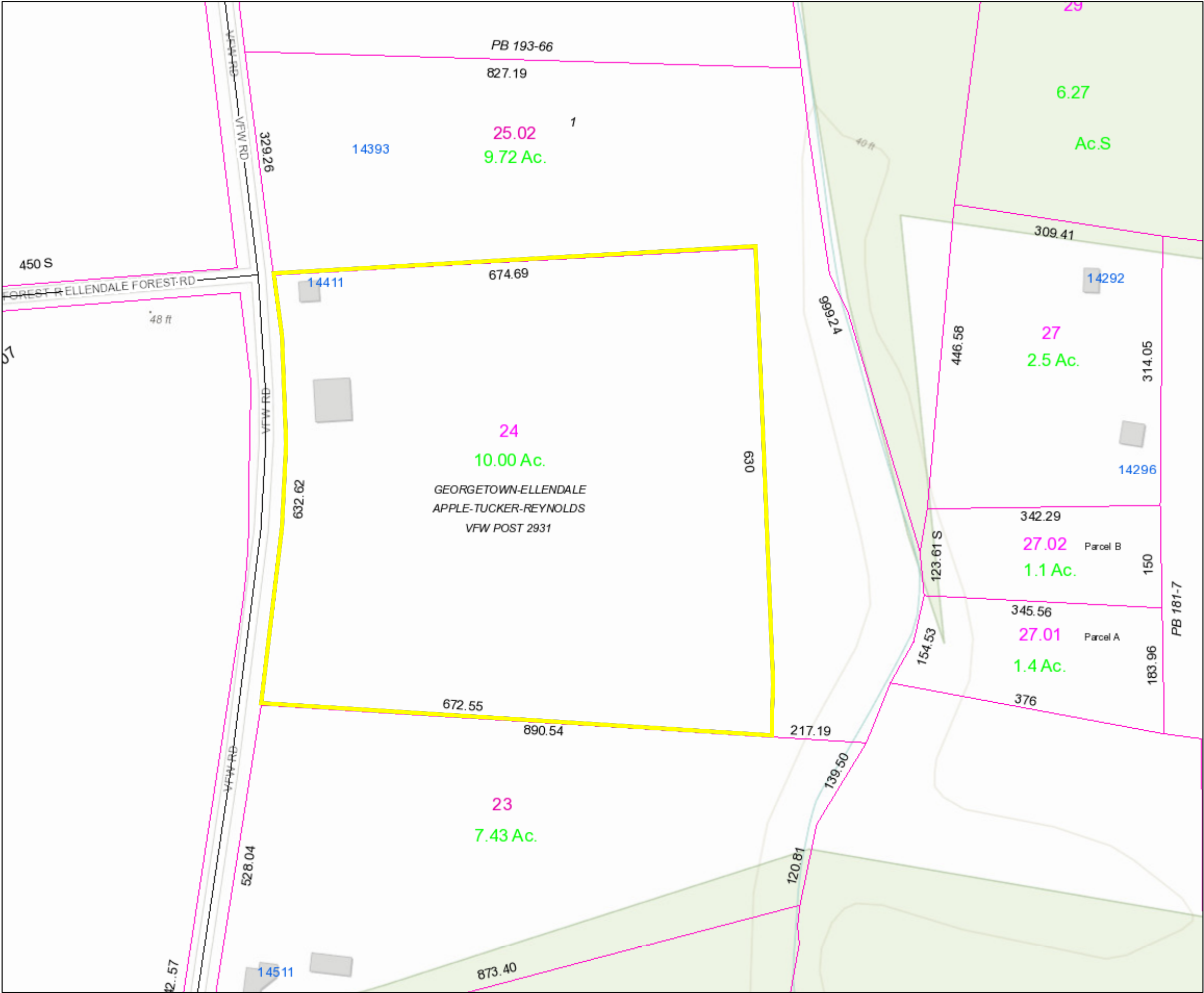
Site Area: 9.51 acres +/-

Tax Map ID.: 230-31.00-24.00





Sussex County

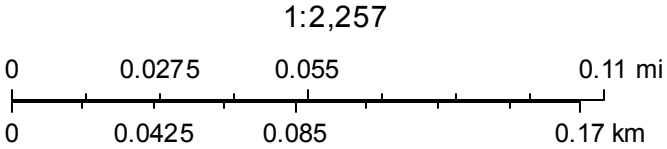


PIN:	230-31.00-24.00		
Owner Name	GEORGETOWN- ELLENDALE POST 2931	VFW	
Book	3680		
Mailing Address	14411 VFW ROAD		
City	ELLENDALE		
State	DE		
Description	E/RT 607		
Description 2	RT 608		
Description 3	ELLENDALE RD 4950		
Land Code			

- polygonLayer

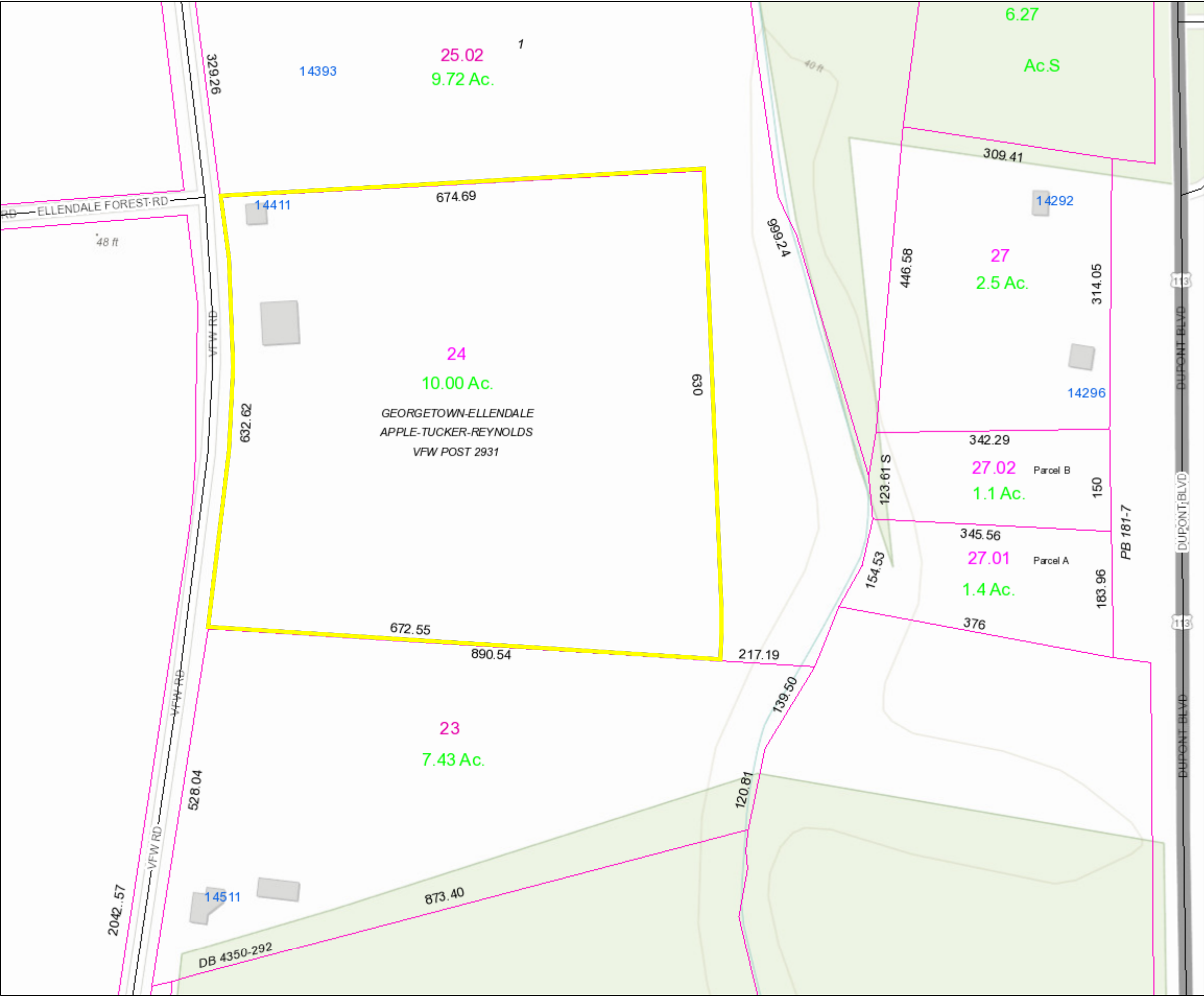
Override 1
- polygonLayer

Override 1
- Tax Parcels
- 911 Address
- Streets





Sussex County



PIN:	230-31.00-24.00		
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polygonLayer

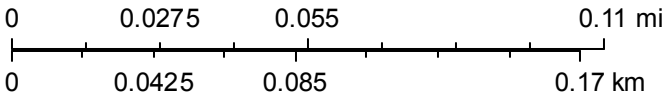
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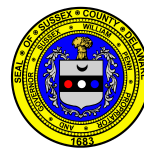
polygonLayer

Override 1

- Tax Parcels
- 911 Address
- Streets

1:2,257





Sussex County






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Book	3680		
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polygonLayer

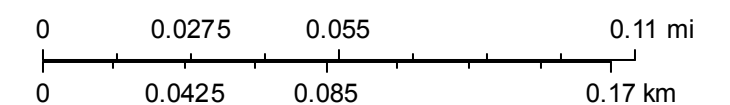
Override 1

polygonLayer

Override 1

-  Tax Parcels
-  911 Address
-  Streets

1:2,257



JAMIE WHITEHOUSE, AICP MRTPI
PLANNING & ZONING DIRECTOR
(302) 855-7878 T
(302) 854-5079 F
jamie.whitehouse@sussexcountye.gov



Sussex County

DELAWARE
sussexcountye.gov

Memorandum

To: Sussex County Planning Commission Members
From: Lauren DeVore, Planner III
CC: Vince Robertson, Assistant County Attorney and applicant
Date: August 24, 2020
RE: Staff Analysis for CU 2231 Solid Walls, LLC

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CU 2231 Solid Walls, LLC to be reviewed during the September 10, 2020 Planning and Zoning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for tax parcel 230-31.00-24.00 to allow for a concrete contractor office, storage and maintenance to be located on the east side of VFW Road, 288 feet south of Ellendale Forest Road. The property address is 14411 VFW Road in Ellendale, Delaware. The size of the property is 9.51 acres +/-

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the property has the land use designation of "Low Density Area."

The adjacent parcels to the north, south, east and west are also designated as "Low Density Areas." The primary uses envisioned in "Low Density Areas" are agricultural activities and homes. Business development should be largely confined to businesses addressing the needs of these two uses. Industrial and agribusiness uses that support or depend on agriculture should be permitted. The focus of retail and office uses in "Low Density Areas" should be providing convenience goods and services to nearby residents. Commercial uses in these residential areas should be limited in their location, size and hours of operation. More intense commercial uses should be avoided in these areas.

Additionally, the property is zoned Agricultural Residential (AR-1) Zoning District. The properties located to the north, south, east and west of the subject site are zoned Agricultural Residential (AR-1) Zoning District. The properties located to the east on the opposite side of VFW Road are also zoned Agricultural Residential (AR-1) Zoning District.

Since 2011, there has been one Conditional Use application within a 1-mile radius of the application site. This application is Conditional Use (CU 2140), which was a proposal to allow for a trucking business, landscape and material storage to be located within an Agricultural Residential (AR-1) Zoning District. The application was approved by County Council at their meeting of Tuesday, September 25, 2018 and adopted through Ordinance No. 2602.



Based on the analysis of the land use, surrounding zoning and uses, the Conditional Use for the abovementioned use, subject to considerations of scale and impact, may be considered as being consistent with the land use, area zoning and surrounding uses.

File #: CU 2231
202005181

Planning & Zoning Commission Application Sussex County, Delaware

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check applicable)

Conditional Use ☒

Zoning Map Amendment ☐

Site Address of Conditional Use/Zoning Map Amendment

14411 VFW ROAD, (SCR 607), ELLENDALE, DELAWARE 19941

Type of Conditional Use Requested:

CONCRETE CONTRACTOR OFFICE, STORAGE AND MAINTENANCE.

Tax Map #: 230-31.00-24.00

Size of Parcel(s): 9.51 +/-

Current Zoning: AR-1

Proposed Zoning: AR-1 CU

Size of Building:

EX: 4,440 SQ FT
PROP: 4,800 SQ FT
TOTAL: 9,240 SQ FT

Land Use Classification: LOW DENSITY | LEVEL 4

Water Provider: COMMERCIAL WELL PRIVATE

Sewer Provider: PRIVATE

Applicant Information

Applicant Name: SOLID WALLS LLC | MR. PETER NAU

Applicant Address: 907 COW MARSH CREEK ROAD

City: CAMDEN WYOMING

State: DE

Zip Code: 19934

Phone #: (302) 284-3493

E-mail: solidwalls1@yahoo.com

Owner Information

Owner Name: GEORGETOWN-ELLENDALE VFW POST 2931

Owner Address: 14411 VFW ROAD

City: ELLENDALE

State: DE

Zip Code: 19941

Phone #: (302) 422-8333

E-mail: _____

Agent/Attorney/Engineer Information

Agent/Attorney/Engineer Name: PENNONI ASSOCIATES | MARK H DAVIDSON

Agent/Attorney/Engineer Address: 18072 DAVIDSON DRIVE

City: MILTON

State: DE

Zip Code: 19968

Phone #: (302) 684-8030

E-mail: MDAVIDSON@PENNONI.COM



Check List for Sussex County Planning & Zoning Applications


The following shall be submitted with the application

- ✓ **Completed Application**
- ✓ **Provide eight (8) copies of the Site Plan or Survey of the property**
 - Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
 - Provide a PDF of Plans (may be e-mailed to a staff member)
 - Deed or Legal description
- ✓ **Provide Fee \$500.00**
- ✓ **Optional - Additional information for the Commission/Council to consider** (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.
- ✓ **Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.**
- ✓ **DeIDOT Service Level Evaluation Request Response**
- ___ **PLUS Response Letter** (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney



Date: 5/18/2020

Signature of Owner

Mark M. Newman

Digitally signed by Mark M. Newman
Date: 2020.05.18 10:02:55 -04'00'

Date: 5/18/20

For office use only:

Date Submitted: _____ Fee: \$500.00 Check #: _____
Staff accepting application: _____ Application & Case #: _____
Location of property: _____
Subdivision: _____
Date of PC Hearing: _____ Recommendation of PC Commission: _____
Date of CC Hearing: _____ Decision of CC: _____



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. Box 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

March 9, 2020

Mr. Jamie Whitehouse, Acting Director
Sussex County Planning & Zoning
P.O. Box 417
Georgetown, DE 19947

Dear Mr. Jamie:

The Department has completed its review of a Service Level Evaluation Request for the **Solid Walls / Peter Nau** conditional use application, which we received on February 10, 2020. This application is for an approximately 10.00-acre parcel (Tax Parcel: 230-31.00-24.00). The subject land is located on the east side of VFW Road (Sussex Road 607), opposite Ellendale Forest Road (Sussex Road 608), southwest of the Town of Ellendale. The subject land is currently zoned as AR-1 (Agricultural Residential), and the applicant is seeking a conditional use approval to build a 5,400 square-foot storage facility for equipment and supplies and a future 1,600 square-foot storage addition for supplies and materials.

Per the 2018 Delaware Vehicle Volume Summary, the annual average daily traffic volume along the segment of VFW Road where the subject land is located is 116 vehicles per day.

Based on our review, we estimate that the above land uses will generate fewer than 50 vehicle trips in any hour and fewer than 500 vehicle trips per day. These numbers of trips are DelDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. Because the proposed land use would not meet these warrants, we consider the development's traffic impact to be negligible in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DelDOT's description of this application as negligible with regard to warranting a TIS does not mean that it is negligible in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.



Mr. Jamie Whitehouse
Page 2 of 2
March 9, 2020

If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.
County Coordinator
Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues
Solid Walls / Peter Nau, Applicant
J. Marc Coté, Assistant Director, Development Coordination
Gemez Norwood, South District Public Works Manager, Maintenance & Operations
Susanne K. Laws, Sussex County Review Coordinator, Development Coordination
Derek Sapp, Subdivision Manager, Development Coordination
Kevin Hickman, Subdivision Manager, Development Coordination
Brian Yates, Subdivision Manager, Development Coordination
John Andrescavage, Subdivision Manager, Development Coordination
James Argo, South District Project Reviewer, Maintenance & Operations
Troy Brestel, Project Engineer, Development Coordination
Claudy Joinville, Project Engineer, Development Coordination

SUSSEX COUNTY ENGINEERING DEPARTMENT
UTILITY PLANNING DIVISION
C/U & C/Z COMMENTS

TO: **Jamie Whitehouse**

REVIEWER: **Chris Calio**

DATE: **8/24/2020**

APPLICATION: **CU 2231 Solid Walls LLC**

APPLICANT: **Solid Walls LLC – Mr. Peter Nau**

FILE NO: **WSPA-5.01**

TAX MAP &
PARCEL(S): **230-31.00-24.00**

LOCATION: **On the east side of VFW Road (SCR 607), 288 feet south of
Ellendale Forest Road at 14411 VFW Road, Ellendale, Delaware
19941.**

NO. OF UNITS: **Concrete contractor office, storage and maintenance yard.**

GROSS
ACREAGE: **9.51 +/-**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

SEWER:

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?
Yes ☐ No ☒
- a. If yes, see question (2).
b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 4**
- (3). Is wastewater capacity available for the project? **N/A** If not, what capacity is available? **N/A**.
- (4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **No** If yes, the current System Connection Charge Rate is **Unified \$6,360.00** per EDU. Please contact **Choose an item.** at **302-855-7719** for additional information on charges.

(6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **No**

☐ Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.

(7). Is project adjacent to the Unified Sewer District? **No**

(8). Comments: **The proposed Conditional Use is is a Tier 4 area for sanitary sewer service. Therefore, the Sussex County Engineering Department does not currently have a schedule to provide sanitary sewer service.**

(9). Is a Sewer System Concept Evaluation required? **No**

(10). Is a Use of Existing Infrastructure Agreement Required? **No**

UTILITY PLANNING APPROVAL:



John J. Ashman
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.
Jayne Dickerson
No Permit Tech Assigned

SOLID WALLS LLC

CASE NO. CU 2231

ZONING MAP AMENDMENT FROM AR-1 TO AR-1 CU

OWNER:

GEORGETOWN-ELLENDAL VFW POST 2931
14411 VFW ROAD
ELLENDAL, DE 19941

DEVELOPER:

SOLID WALLS LLC
MR. PETER NAU
907 COW MARSH CREEK ROAD
CAMDEN WYOMING DE 19934

PLANNER/ENGINEER/SURVEYOR:

PENNONI
18072 DAVIDSON DRIVE
MILTON, DE 19968
MARK H. DAVIDSON, PRINCIPAL LAND
PLANNER
ALAN DECKTOR, PE., ENV SP
JOHN W. HAUPT, PLS

ENVIRONMENTAL:

PENNONI & ACCENT ENVIRONMENTAL
WILLIAM J. GANGLOFF, PhD. PROFESSIONAL
SOIL SCIENTIST

TABLE OF CONTENTS:

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- APPLICATION
- PROPERTY CU SITE PLAN

TAB 2 EXHIBITS

- PROPERTY CU SITE PLAN (COLOR)
- SFR RESPONSE LETTER

TAB 3 MAPS/PLANS

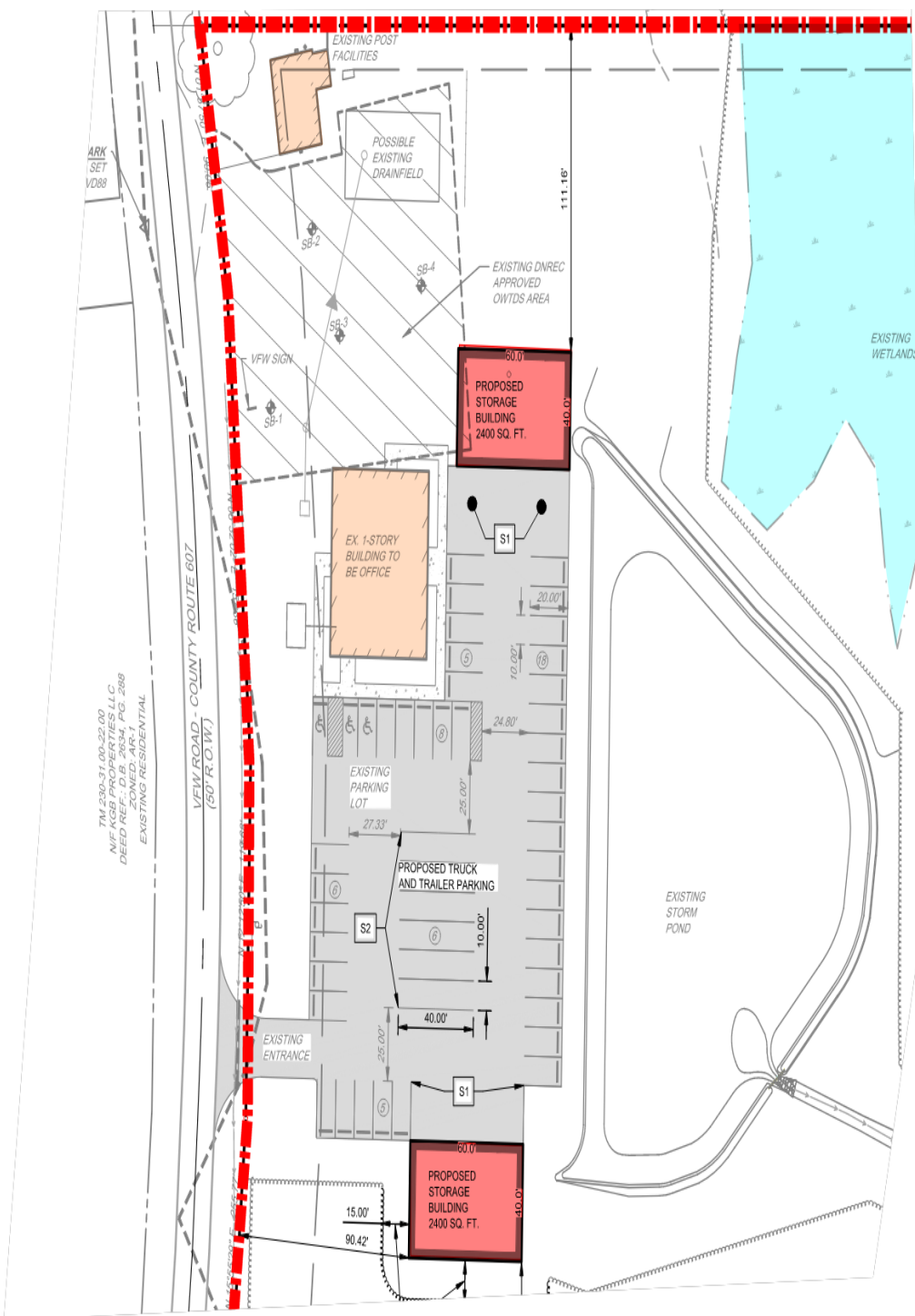
- 2019, 2017, 2012, 2007, 2002, 1997, 1992, 1968, 1961, 1954, AND 1937 ORTHO - 2015 STATE STRATEGIES, COUNTY ZONING, 2012 LAND USE, NRCS SOILS, STATE WETLANDS, FEMA FLOODPLAIN, GROUNDWATER RECHARGE, USGS TOPOGRAPHIC AND AREA COMMERCIAL USES MAP

TAB 4 EX CU APPROVAL

- COUNTY COUNCIL MINUTES
- C101-SP-COND-USE-FINAL
- V.F.W. SWM

TAB 5 FINDINGS

- FINDINGS OF FACT
- CONDITIONS OF APPROVAL



Mark H. Davidson / Vice President

Principal Land Planner/Office Director

EDUCATION

University of Delaware; Civil Engineering,
(1986-1990)

Land Surveying, Delaware Technical &
Community College (1984-1986) and
Wastewater Microbiology Diploma
(1997)

Land Planning, Institute for Public
Administration (2006)

CERTIFICATIONS

DNREC Class A Percolation Tester & Class
B Septic Designer, (DE #2418)

Sediment & Stormwater Management,
Responsible Personnel, DE (#8760) and
MD (#4914)

DNREC Certified Construction Reviewer:
DE (#1270)

Delaware Notary

TRAININGS

Hydrology, Delaware TR-20 (1993)

Reducing Flood Hazard in Coastal
Development (1996)

Law for Managers/Supervisors (1999)

State and Federal Laws (2000)

Advanced Real Estate Law in Delaware
(2002)

Land Conservation and Historic
Preservation (2003)

Land Surveying Business Diploma (1998)

Project Manager Training I, Pennoni
(2015)

PROFESSIONAL AFFILIATIONS

National Onsite Wastewater Recycling
Association

Delaware Onsite Wastewater Recycling
Association

American Planning Association

American Institute of Certified Planners

HONORS/AWARDS

Association of Professionals
Philanthropy, Brandywine Chapter
Fundraising Nominee (2014)

Notable Networker Award, BNI (2013)

EXPERIENCE SUMMARY

Mark H. Davidson serves as Vice President of Pennoni and Office Director for our Southern Delaware, Milton Office. Mark also serves as the Principal Land Planner for Pennoni. He has over 35-years of past experience in Surveying, Engineering, Consulting, Construction and Land Planning. For 12-years he owned a professional engineering, surveying, land planning, environmental and consulting firm that provided professional consulting and design in land planning for residential, industrial, institutional, municipal and commercial applications to a wide range of clients in Delaware and Maryland. Mr. Davidson's project experience includes land development planning, surveying, engineering, environmental design and permitting; construction and project consulting, management and inspection; water resource consulting, management and inspection and municipal consulting, planning and inspection for residential, industrial, institutional, municipal and commercial applications.

Mark is a past director of the Delaware Onsite Wastewater Recycling Association as well as a member of the American Planning Association, American Institute of Certified Planners and has served in the past as a committee member of Delaware Low Impact Development Roundtable Committee, Delaware Pollution Control Strategy Committee, Delaware Sediment & Stormwater Regulatory Advisory Committee, and the Delaware Technical & Community College A/E Curriculum Committee. He was also nominated for the Brandywine Chapter Association of Fundraising Professionals Philanthropy Award and has won the BNI Notable Networker Award.

Along with all the experience and education stated and with many years of combined experience in Surveying, Engineering, Consulting and Land Planning, he has been responsible for providing consulting, layout and design in surveying, engineering and land planning for residential, industrial, institutional, municipal and commercial applications to a wide range of clients in Delaware, Maryland, Virginia and West Virginia. He has project managed, studied, planned, surveyed, designed and engineered sustainable, master-planned communities, commercial and urban redevelopment projects, and the public infrastructure that supports them.

Mark has provided nationwide land planning consulting services to a variety of clientele to help coordinate project startups as well as final construction consulting services when it came to commercial, residential, industrial, municipal, educational and community land planning. Provided additional consulting in civil/site engineering, stormwater management, erosion and sediment control, wastewater collection and disposal, transportation, and environmental. Market areas practiced; Delaware, Maryland, West Virginia, Virginia, North Carolina, South Carolina, North Dakota, Puerto Rico, Canada and Panama.

Additional Project experience includes cutting edge design and technology as well as value engineering to help clients through the ever-changing market including but not limited to solar voltaic and wind generation projects.

He is currently appointed by the Secretary of DNREC to serve 3-years on the On Site Septic Advisory Board for the State of Delaware.



File #: _____

Planning & Zoning Commission Application Sussex County, Delaware

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check applicable)

Conditional Use ☒

Zoning Map Amendment _____

Site Address of Conditional Use/Zoning Map Amendment

14411 VFW ROAD, (SCR 607), ELLENDALE, DELAWARE 19941

Type of Conditional Use Requested:

CONCRETE CONTRACTOR OFFICE, STORAGE AND MAINTENANCE.

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Sewer Provider: PRIVATE

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Applicant Name: SOLID WALLS LLC | MR. PETER NAU

Applicant Address: 907 COW MARSH CREEK ROAD

City: CAMDEN WYOMING

State: DE

Zip Code: 19934

Phone #: (302) 284-3493

E-mail: solidwalls1@yahoo.com

Owner Information

Owner Name: GEORGETOWN-ELLENDALE VFW POST 2931

Owner Address: 14411 VFW ROAD

City: ELLENDALE

State: DE

Zip Code: 19941

Phone #: (302) 422-8333

E-mail: _____

Agent/Attorney/Engineer Information

Agent/Attorney/Engineer Name: PENNONI ASSOCIATES | MARK H DAVIDSON

Agent/Attorney/Engineer Address: 18072 DAVIDSON DRIVE

City: MILTON

State: DE

Zip Code: 19968

Phone #: (302) 684-8030

E-mail: MDAVIDSON@PENNONI.COM



Check List for Sussex County Planning & Zoning Applications

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- ✓ **DelDOT Service Level Evaluation Request Response**
- ___ **PLUS Response Letter** (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney



Date:

5/18/2020

Signature of Owner

Mark M. Newman

Digitally signed by Mark M. Newman
Date: 2020.05.18 10:02:55 -04'00'

Date: 5/18/20

For office use only:

Date Submitted: _____

Fee: \$500.00 Check #: _____

Staff accepting application: _____

Application & Case #: _____

Location of property: _____

Subdivision: _____

Date of PC Hearing: _____

Recommendation of PC Commission: _____

Date of CC Hearing: _____

Decision of CC: _____

20345

BK: 3680 PG: 192

2-30 31.00 24.00

PREPARED BY:

Sergovic & Carmean, P.A.

123 West Market Street

P.O. Box 751

Georgetown, DE 19947-0751

File No. RE-4612

THIS DEED, made this 29th day of May, 2009,

- BETWEEN -

APPEL-TUCKER REYNOLDS V.F.W. POST NO. 2931, by authority of the Veterans of Foreign Wars of the United States, of P.O. Box 881, Georgetown, DE 19947, party of the first part,

- AND -

GEORGETOWN-ELLENDAL E V.F.W. POST NO. 2931, INC., a Delaware corporation, of P.O. Box 881, Georgetown, DE 19947, party of the second part.

WITNESSETH: That the said party of the first part, for and in consideration of the sum of One Dollar (\$1.00), lawful money of the United States of America, the receipt whereof is hereby acknowledged, hereby grants and conveys unto the party of the second part, and its heirs and assigns, the following described lands to be held by said party of the second part/grantee in trust for the Members of the Georgetown-Ellendale V.F.W. Post 2931 upon the condition that if the Membership elects to surrender its charter in accordance with the Veterans of Foreign Wars of the United States Congressional Charter, By-Laws and Manual of Procedure, the property may be conveyed to any entity with a local presence in the Georgetown-Ellendale, Sussex County locality, which is exempt for federal income tax under section 501(c)(19) of the Internal Revenue Code, or the corresponding section of any future federal tax code, as determined by two thirds vote of approval of the members of the Georgetown-Ellendale V.F.W. Post 2931:

ALL that certain tract, piece and parcel of land situate, lying in Cedar Creek Hundred, Sussex County, Delaware, described more particularly as follows, to wit:

BEGINNING at a point in the center of the public road from Ellendale, via the residence of Robert Short, to the Julius Gorlich farm and is distant northerly along said road, 530 feet from a corner for State Forest lands; thence three new lines to wit: (1) South 79 degrees East 700 feet to a stake; thence (2) North 11 degrees East 630 feet to a stake; thence (3) North 79 degrees West 700 feet to the centerline of the aforesaid road; thence with the centerline of said road, following a slight curve, 630 feet to the place of beginning, **containing 10 acres of land**, be the same more or less.

This parcel of land is subject to a tax ditch right-of-way and/or assessment pursuant to Superior Court Order C.A. No. 06M-11-087 dated January 4, 2007 and filed for record in the Office of the Recorder of Deeds, in and for Sussex County at Georgetown, Delaware, in Tax Ditch Book 00001-305.

This parcel of land is also subject to a tax ditch right-of-way and/or assessment pursuant to Superior Court Order C.A. No. 06M-11-025 dated January 4, 2007 and filed for record in the Office of the Recorder of Deeds, in and for Sussex County at Georgetown, Delaware, in Tax Ditch Book 00002-131.

BEING the same lands conveyed to Appel-Tucker Reynolds VFW Post #2931 by a Deed of Appel-Tucker V.F.W. Post No. 9244 dated February 29, 2008 and filed for record in the Office of the Recorder of Deeds, in and for Sussex County at Georgetown, Delaware, in Deed Book 3559, page 52.

IN WITNESS WHEREOF, the party of the first part has hereunto set its hand and seal the day and year first above written.

Signed, Sealed and Delivered
in the presence of:

Leslie C. DiPietro

By: Daniel D. Tidwell (SEAL)
Commander

Leslie C. DiPietro

By: Robert Uhle (SEAL)
Quartermaster

STATE OF DELAWARE, COUNTY OF SUSSEX: to-wit

BE IT REMEMBERED, that on May 29, 2009, personally came before me, the subscriber, Appel-Tucker Reynolds V.F.W. Post NO. 2931 by Commander, Daniel D. Tidwell and Quartermaster, Robert Uhle, parties of the first part to this Indenture, known to me personally to be such, and acknowledged this Indenture to be their act and deed.

Given under my Hand and Seal of office the day and year aforesaid.

Leslie C. DiPietro

Notary Public

Printed Name: _____

My Commission Expires: Leslie Case DiPietro
Attorney
29 Del. C. §4323

RETURN TO:

Georgetown-Ellendale V.F.W. Post No. 2931, Inc.
P.O. Box 881
Georgetown, DE 19947

RECEIVED

JUN 01 2009

**ASSESSMENT DIVISION
OF SUSSEX COUNTY**

Consideration: .00

County .00
State .00
Town Total .00
Received: Mary W Jun 01, 2009

Recorder of Deeds
John F. Brady
Jun 01, 2009 11:40A
Sussex County
Doc. Surcharge Paid

SITE DATA:

1. TAX MAP NUMBER: 230-31.00-24.00
DEED BOOK 3680, PG 192
2. OWNER'S NAME: GEORGETOWN-ELLEDALE VFW POST 2931
3. DEVELOPER NAME: SOLID WALLS LLC
4. DEVELOPER ADDRESS: 907 COW MARSH CREEK ROAD
CAMDEN WYOMING, DE 19934-2936
5. SITE ADDRESS: 14411 VFW ROAD
ELLEDALE, DE 19941
6. HUNDRED: CEDAR CREEK
7. CURRENT ZONING: AR-1 (AGRICULTURAL-RESIDENTIAL)/CU #1835
8. PROPOSED ZONING: AR-1(CONDITIONAL USE
9. PRESENT USE: VFW POST #2931
10. PROPOSED USE: CONTRACTOR OFFICE AND STORAGE
11. REQUIRED SETBACKS:
FRONT - 40 FEET
SIDE - 15 FEET
REAR - 20 FEET
12. BUILDING HEIGHT: 42' ALLOWED
13. PARKING (ARTICLE XXII: OFF-STREET PARKING, CODE SECTION 115-162):
NO SPECIFIC CODE REQUIREMENT
EXISTING PARKING: 66 PARKING SPOTS
PROPOSED PARKING: 48 PARKING SPOTS (INCLUDING 6 TRAILER PARKING SPOTS)
14. WATER SUPPLY: COMMERCIAL WELL
15. SEWER SUPPLY: ON-SITE SEPTIC
16. LATITUDE AND LONGITUDE STATE PLAN COORDINATES:
LONGITUDE: W075° 21' 22.4109" LATITUDE: N038° 42' 11.2112"
17. TOTAL AREA (GROSS): 9.51± ACRES
CONDITIONAL USE AREA: 9.51± ACRES
18. NET DEVELOPMENT AREA: 9.51± AC.
19. WETLAND AREA: 1.05± AC. (DNREC NAVMAP) & RECORD PLANS
20. WATERSHED: NANTICOKE RIVER
21. 2019 FUTURE LAND USE MAP (SUSSEX PLAN) LOW DENSITY
22. 2015 STATE STRATEGIES & INVESTMENT LEVELS: LEVEL 4
23. SITE CALCULATIONS
BUILDING AREA EX. = 4,440 SF - (0.10 AC.) PR. = 9,240 SF (0.21 AC.)
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TOTAL EX. = 414,403 SF (9.51 AC.) PR. = 414,403 SF (9.51 AC.)
24. DELDOT
24.1. ROAD NAME - SCR 607 | VFW ROAD
24.1.1. FUNCTIONAL CLASSIFICATION - LOCAL ROAD
24.1.2. AADT = 120 (2019)
24.2. SPEED LIMIT = 50 MPH
24.3. PROXIMITY TO TRANSPORTATION DISTRICTS: NONE KNOWN

NOTES:

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6. PROPERTY BOUNDARY BEARING SYSTEM IS BASED ON DELAWARE STATE PLANE COORDINATE SYSTEM. HORIZONTAL DATUM NAD83.
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8. THERE ARE WETLANDS ON THE PROPERTY ACCORDING TO THE DNREC ENVIRONMENTAL NAVIGATOR WEBSITE.
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SIDE - 15'
REAR - 20'
11. THE SUBJECT SITE IS LOCATED IN THE NANTICOKE RIVER AREAS OF THE CHESAPEAKE BAY WATERSHED, PER DELAWARE DEPARTMENT OF NATURAL RESOURCES & ENVIRONMENTAL CONTROL (DNREC) ENVIRONMENTAL NAVIGATOR WEBSITE. STORMWATER DISCHARGE WILL BE HANDLED VIA EXISTING DISCHARGE TO THESE WATERSHEDS.
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17. PRIOR TO CONSTRUCTION, CONTRACTOR TO FIELD LOCATE AND RECORD ANY DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REMOVED OR REPLACED, ENGINEER TO VERIFY LOCATION AND EXTENT OF DAMAGE.
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23. THE HEIGHT, LOCATION, AND MATERIAL OF ALL FENCES, WALLS, SCREEN PLANTING AND LANDSCAPING WILL BE SHOWN ON THE FINAL SITE PLAN.
24. ANY PROPOSED SIGN DETAILS WILL BE SUBMITTED SEPARATELY.
25. THE INFORMATION PROVIDED ON THIS PLAN IS TAKEN FROM D.B. 3680, PG. 192, AND AERIAL IMAGING, AND IS NOT THE RESULT OF A FIELD SURVEY BY PENNONI ASSOCIATES INC.

SOLID WALLS LLC

CONDITIONAL USE (#2231) PLAN

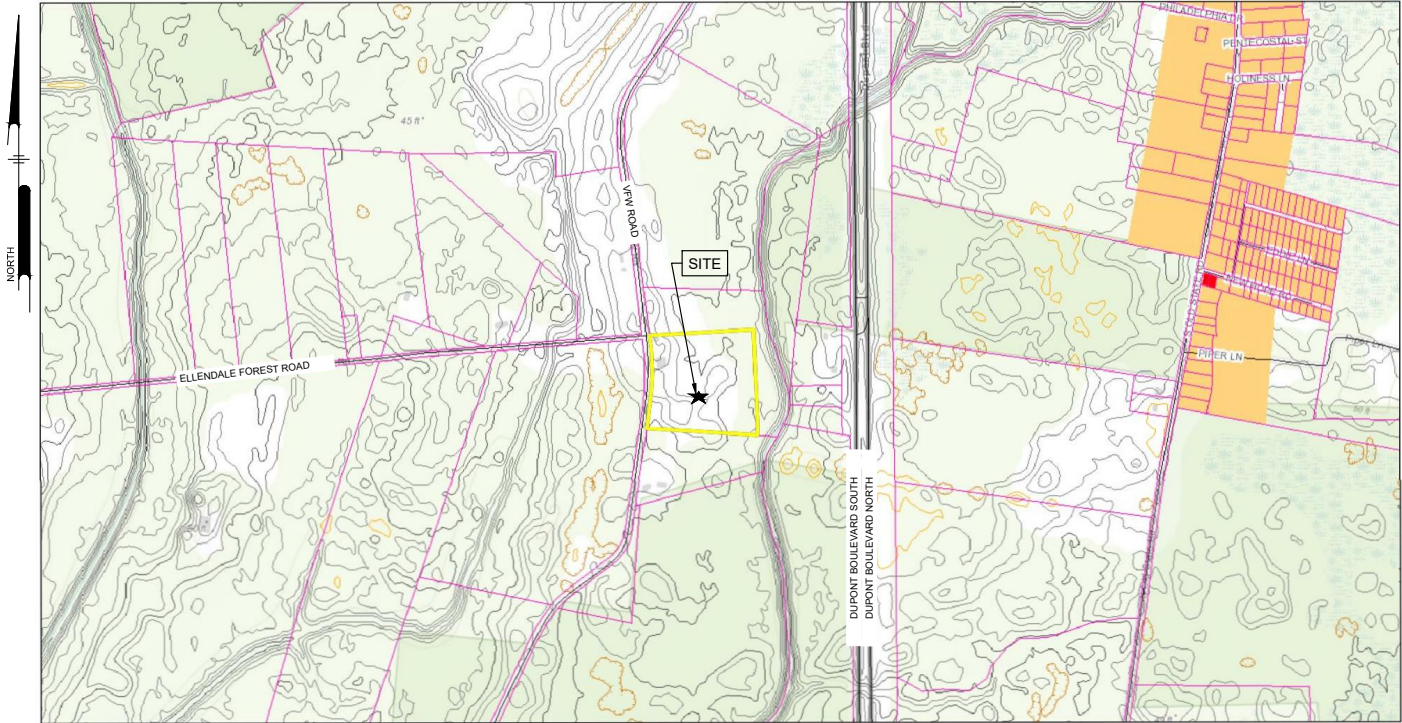
CEDAR CREEK HUNDRED, SUSSEX COUNTY, DELAWARE

PREPARED FOR:

PETER NAU

907 COW MARSH CREEK ROAD
CAMDEN WYOMING, DE 19934-2936
(302) 284-3493

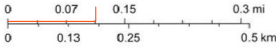
Sussex County



May 6, 2020

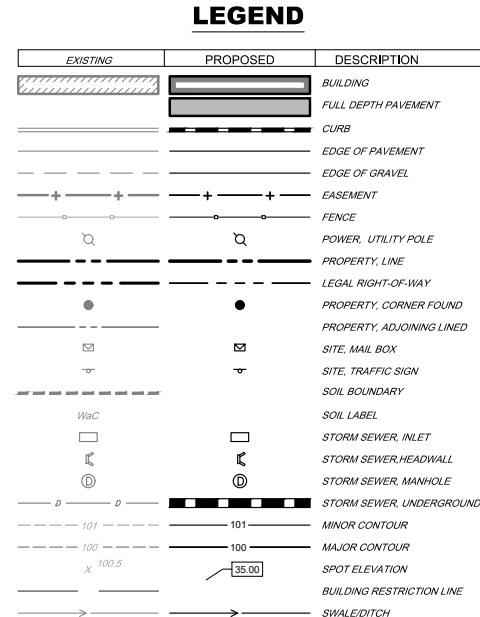


LOCATION MAP



SCALE: 1" = 600'

Delaware Geological Survey, Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community, Sussex County, Sussex County Government



OWNER- PARCEL 24.00
GEORGETOWN-ELLEDALE VFW POST 2931
14411 VFW ROAD
ELLEDALE, DE 19941
(302) 422-8333

ENGINEER/SITE DESIGNER
PENNONI ASSOCIATES INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968
(302) 684-8030

SURVEYOR
PENNONI ASSOCIATES INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968
(302) 684-8030

SCHOOL DISTRICT
MILFORD

FIRE DISTRICT
ELLEDALE FIRE DEPARTMENT

WATER UTILITY
COMMERCIAL WELL (PRIVATE)

SEWER UTILITY
ON-SITE SEPTIC (PRIVATE)

TELECOMMUNICATION
VERIZON

POSTAL DISTRICT
ELLEDALE

Sheet List Table		
Sheet Number	Drawing Number	Sheet Title
1	CS0001	COVER SHEET
2	CS1001	CONDITIONAL USE PLAN

ENGINEER CERTIFICATION:
IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE

SIGNATURE _____ DATE _____
SHARON K. CRUZ, PE (DE PE#12576)
PENNONI ASSOCIATES, INC.
18072 DAVIDSON DRIVE MILTON, DE 19968
(302) 684-8030

OWNER'S AND DEVELOPER'S CERTIFICATION:
IT IS HEREBY CERTIFIED THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

PETER NAU _____ DATE _____
907 COW MARSH CREEK ROAD
CAMDEN WYOMING, DE 19934-2936
(302) 284-3493



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

SOLID WALLS LLC

14411 VFW ROAD
ELLEDALE, DE 19941
TM: 230-31.00-24.00

CEDAR CREEK, SUSSEX COUNTY, DELAWARE

COVER SHEET

PETER NAU

907 COW MARSH CREEK ROAD
CAMDEN WYOMING, DE 19934-2936

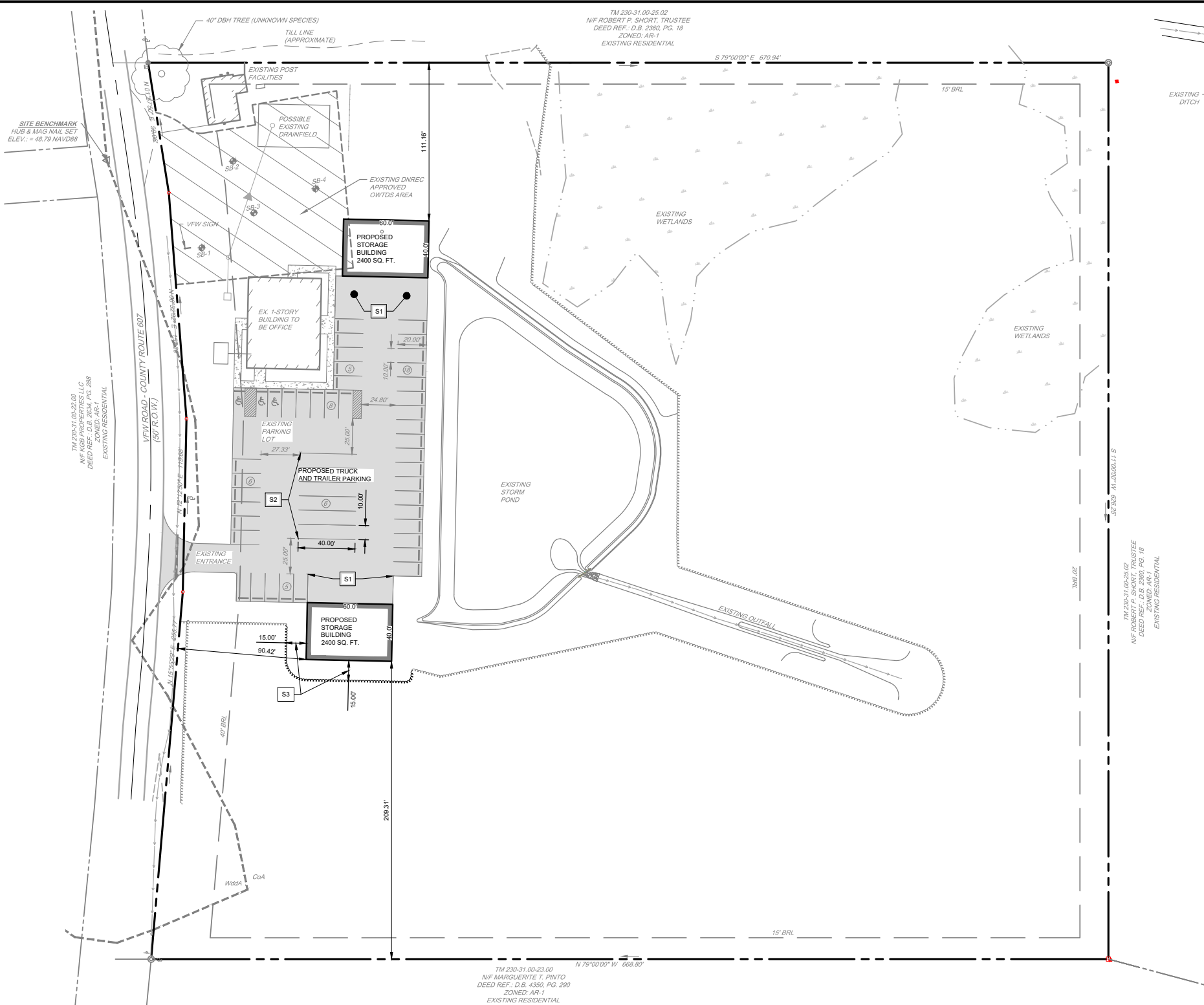
ADDG: CONDITIONAL USE NUMBER	NO.	DATE	REVISIONS	BY
1				

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE. AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	SWALL20000
DATE	2020-05-15
DRAWING SCALE	AS SHOWN
DRAWN BY	SJD
APPROVED BY	MHD

CS0001
SHEET 1 OF 2

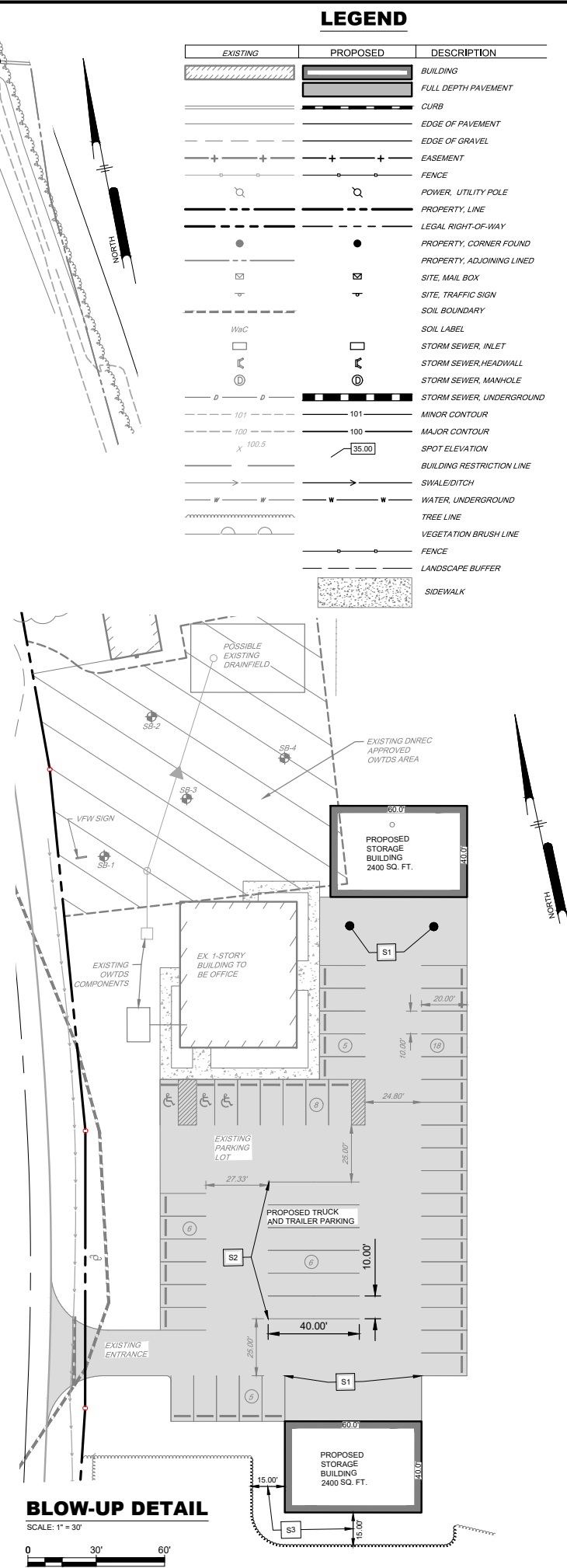
U:\Accounts\SWALLS\SWALLS2000 - VFW POST #281-Camden Landscaping, 06/15/2020 10:09 AM BY: Shaw, J. Date: PROJECT STATUS: PLOTTED: 6/15/2020 10:09 AM BY: Shaw, J. Date: PLOTSTYLE: Penwon\MS.dwg



SITE PLAN
SCALE: 1" = 40'

KEYED NOTES

- S1 EXISTING PARKING SPOTS TO BE REMOVED FOR PROPOSED BUILDING(S)
- S2 EXISTING PARKING SPOTS CONVERTED TO TRUCK AND TRAILER PARKING
- S3 PROPOSED TREELINE TO BE AT LEAST 15' FROM EDGE OF PROPOSED BUILDING



BLOW-UP DETAIL
SCALE: 1" = 30'

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		BUILDING
		FULL DEPTH PAVEMENT
		CURB
		EDGE OF PAVEMENT
		EDGE OF GRAVEL
		EASEMENT
		FENCE
		POWER, UTILITY POLE
		PROPERTY, LINE
		LEGAL RIGHT-OF-WAY
		PROPERTY, CORNER FOUND
		PROPERTY, ADJOINING LINED
		SITE, MAIL BOX
		SITE, TRAFFIC SIGN
		SOIL BOUNDARY
		SOIL LABEL
		STORM SEWER, INLET
		STORM SEWER, HEADWALL
		STORM SEWER, MANHOLE
		STORM SEWER, UNDERGROUND
		MINOR CONTOUR
		MAJOR CONTOUR
		SPOT ELEVATION
		BUILDING RESTRICTION LINE
		SWALE/DITCH
		WATER, UNDERGROUND
		TREE LINE
		VEGETATION BRUSH LINE
		FENCE
		LANDSCAPE BUFFER
		SIDEWALK

PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

SOLID WALLS LLC
1411 VFW ROAD
ELLENDALE, DE 19841
TM: 230-31-00-24.00
CEDAR CREEK, SUSSEX COUNTY, DELAWARE

CONDITIONAL USE PLAN

PETER NAU
907 COW MARSH CREEK ROAD
CAMDEN WYOMING, DE 19884-2936

DATE	NO.	REVISIONS	BY

PROJECT: **SWALL20000**

DATE: 2020-05-15

DRAWING SCALE: 1"= 40'

DRAWN BY: SJD

APPROVED BY: MHD

CS1001

SHEET 2 OF 2

SITE DATA:

1. TAX MAP NUMBER: 230-31.00-24.00
DEED BOOK 3680, PG 192
2. OWNER'S NAME: GEORGETOWN-ELLEDALE VFW POST 2931
3. DEVELOPER NAME: SOLID WALLS LLC
4. DEVELOPER ADDRESS: 907 COW MARSH CREEK ROAD
CAMDEN WYOMING, DE 19934-2936
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REAR - 20 FEET
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24.2. SPEED LIMIT = 50 MPH
24.3. PROXIMITY TO TRANSPORTATION DISTRICTS: NONE KNOWN

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SOLID WALLS LLC

CONDITIONAL USE (#2231) PLAN

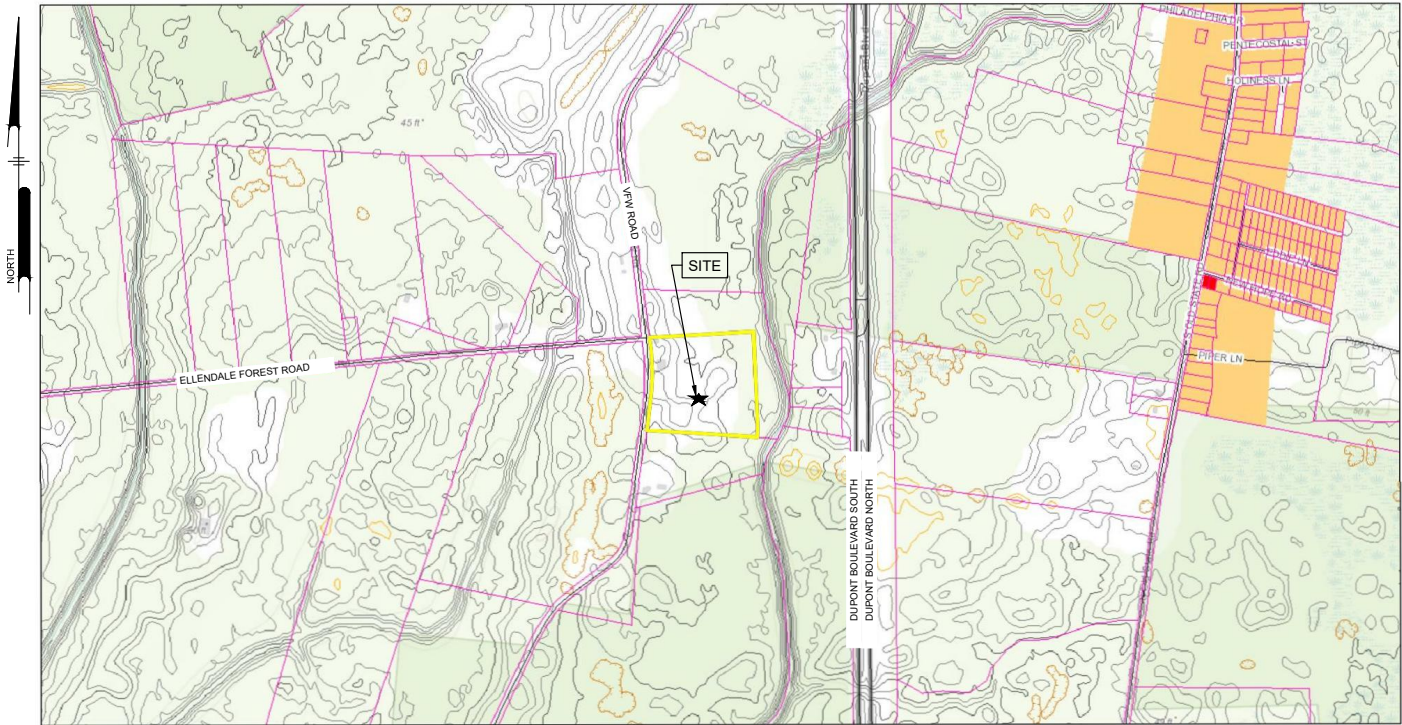
CEDAR CREEK HUNDRED, SUSSEX COUNTY, DELAWARE

PREPARED FOR:

PETER NAU

907 COW MARSH CREEK ROAD
CAMDEN WYOMING, DE 19934-2936
(302) 284-3493

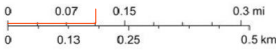
Sussex County



May 6, 2020

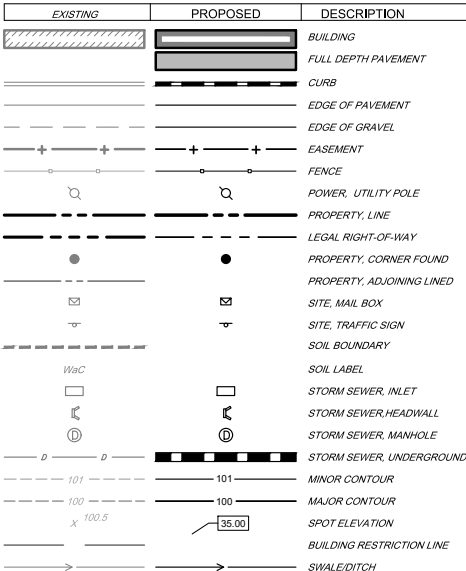


LOCATION MAP



SCALE: 1" = 600'
Delaware Geological Survey, Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community, Sussex County, Sussex County Government

LEGEND



OWNER- PARCEL 24.00
GEORGETOWN-ELLEDALE VFW POST 2931
14411 VFW ROAD
ELLEDALE, DE 19941
(302) 422-8333

ENGINEER/SITE DESIGNER
PENNONI ASSOCIATES INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968
(302) 684-8030

SURVEYOR
PENNONI ASSOCIATES INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968
(302) 684-8030

SCHOOL DISTRICT
MILFORD

FIRE DISTRICT
ELLEDALE FIRE DEPARTMENT

WATER UTILITY
COMMERCIAL WELL (PRIVATE)

SEWER UTILITY
ON-SITE SEPTIC (PRIVATE)

TELECOMMUNICATION
VERIZON

POSTAL DISTRICT
ELLEDALE

Sheet List Table

Sheet Number	Drawing Number	Sheet Title
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2	CS1001	CONDITIONAL USE PLAN

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SIGNATURE _____ DATE _____
SHARON K. CRUZ, PE (DE PE#12576)
PENNONI ASSOCIATES, INC.
18072 DAVIDSON DRIVE MILTON, DE 19968
(302) 684-8030

OWNER'S AND DEVELOPER'S CERTIFICATION:

IT IS HEREBY CERTIFIED THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

PETER NAU _____ DATE _____
907 COW MARSH CREEK ROAD
CAMDEN WYOMING, DE 19934-2936
(302) 284-3493



PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR
AND OWNER MUST BE NOTIFIED OF ANY
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SOLID WALLS LLC

14411 VFW ROAD
ELLEDALE, DE 19941
TM: 230-31.00-24.00

CEDAR CREEK, SUSSEX COUNTY, DELAWARE

COVER SHEET

PETER NAU

907 COW MARSH CREEK ROAD
CAMDEN WYOMING, DE 19934-2936

ADDG: CONDITIONAL USE NUMBER	REVISIONS	DATE
1		

PROJECT SWALL20000

DATE 2020-05-15

DRAWING SCALE AS SHOWN

DRAWN BY SJD

APPROVED BY MHD

CS0001

SHEET 1 OF 2



S1	EXISTING PARKING SPOTS TO BE REMOVED FOR PROPOSED BUILDING(S)
S2	EXISTING PARKING SPOTS CONVERTED TO TRUCK AND TRAILER PARKING
S3	PROPOSED TREELINE TO BE AT LEAST 15' FROM EDGE OF PROPOSED BUILDING



SOLID WALLS LLC
14411 VFW ROAD
ELLENDALE, DE 19041
TM: 230-31.00-24 00
CEDAR CREEK, SUSSEX COUNTY, DELAWARE

[illegible]

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY TO PENNONI ASSOCIATES. PENNONI ASSOCIATES, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	SWALL20000
DATE	2020-05-15
DRAWING SCALE	1"= 40'
DRAWN BY	SJD
APPROVED BY	MHD

CS1001
SHEET 2 OF 2



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. Box 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

March 9, 2020

Mr. Jamie Whitehouse, Acting Director
Sussex County Planning & Zoning
P.O. Box 417
Georgetown, DE 19947

Dear Mr. Jamie:

The Department has completed its review of a Service Level Evaluation Request for the **Solid Walls / Peter Nau** conditional use application, which we received on February 10, 2020. This application is for an approximately 10.00-acre parcel (Tax Parcel: 230-31.00-24.00). The subject land is located on the east side of VFW Road (Sussex Road 607), opposite Ellendale Forest Road (Sussex Road 608), southwest of the Town of Ellendale. The subject land is currently zoned as AR-1 (Agricultural Residential), and the applicant is seeking a conditional use approval to build a 5,400 square-foot storage facility for equipment and supplies and a future 1,600 square-foot storage addition for supplies and materials.

Per the 2018 Delaware Vehicle Volume Summary, the annual average daily traffic volume along the segment of VFW Road where the subject land is located is 116 vehicles per day.

Based on our review, we estimate that the above land uses will generate fewer than 50 vehicle trips in any hour and fewer than 500 vehicle trips per day. These numbers of trips are DelDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. Because the proposed land use would not meet these warrants, we consider the development's traffic impact to be negligible in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DelDOT's description of this application as negligible with regard to warranting a TIS does not mean that it is negligible in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.



Mr. Jamie Whitehouse
Page 2 of 2
March 9, 2020

If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.
County Coordinator
Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues
Solid Walls / Peter Nau, Applicant
J. Marc Coté, Assistant Director, Development Coordination
Gemez Norwood, South District Public Works Manager, Maintenance & Operations
Susanne K. Laws, Sussex County Review Coordinator, Development Coordination
Derek Sapp, Subdivision Manager, Development Coordination
Kevin Hickman, Subdivision Manager, Development Coordination
Brian Yates, Subdivision Manager, Development Coordination
John Andrescavage, Subdivision Manager, Development Coordination
James Argo, South District Project Reviewer, Maintenance & Operations
Troy Brestel, Project Engineer, Development Coordination
Claudy Joinville, Project Engineer, Development Coordination

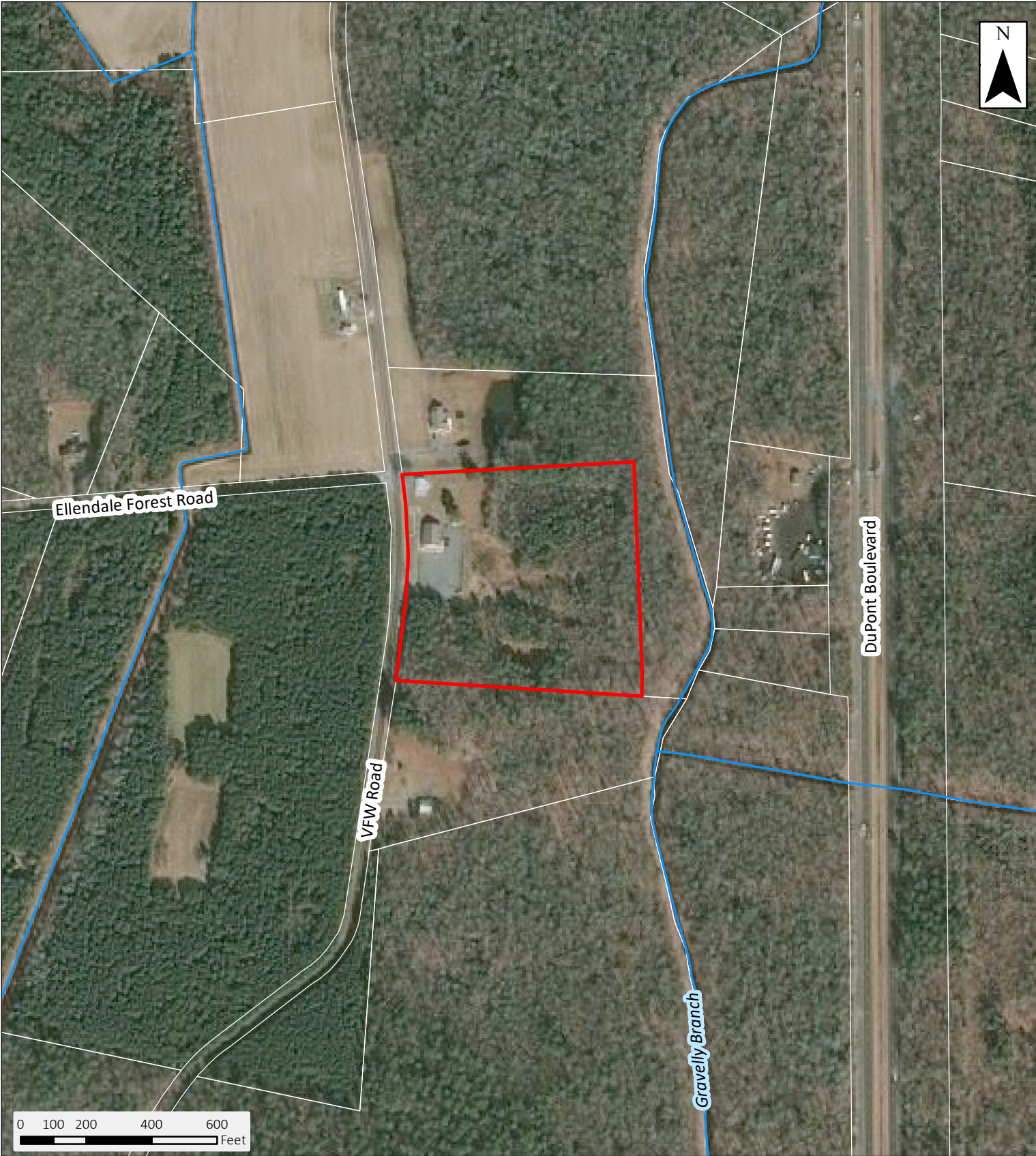


Figure 1 of 20. 1	2019 Aerial Image		<div><div>Streams</div><div><div></div>Subject Property</div><div><div></div>Other Tax Parcels</div></div>
	Solid Walls LLC		
	SWALL20000		



Figure 2 of 20. 2	2017 Orthophoto		<div><div>Streams</div><div><div></div> Subject Property</div><div><div></div> Other Tax Parcels</div></div>
	Solid Walls LLC		
	SWALL20000		



Figure 3 of 20. 3	2012 Orthophoto		<div><div>Streams</div><div><div></div>Subject Property</div><div><div></div>Other Tax Parcels</div></div>
	Solid Walls LLC		
	SWALL20000		


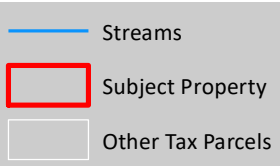


Figure 4 of 20. 4	2007 Orthophoto		<div><div><div></div><div>Streams</div></div><div><div></div><div>Subject Property</div></div><div><div></div><div>Other Tax Parcels</div></div></div>
	Solid Walls LLC		
	SWALL20000		



Figure 5 of 20. 5	2002 Orthophoto		<div><div><div></div>Streams</div><div><div></div>Subject Property</div><div><div></div>Other Tax Parcels</div></div>
	Solid Walls LLC		
	SWALL20000		



Figure 6 of 20. 6	1997 Orthophoto		
	Solid Walls LLC		
	SWALL20000		

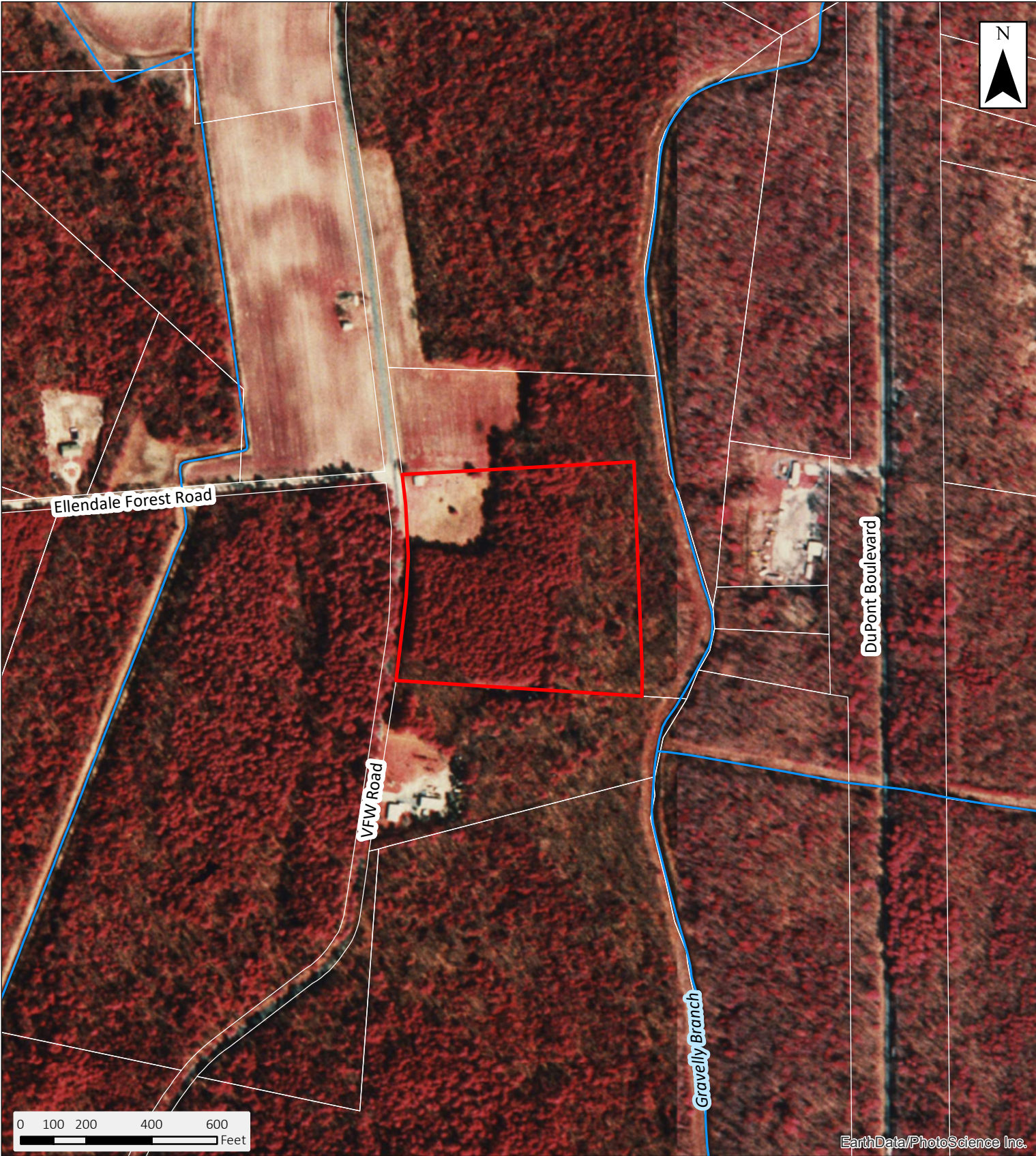


Figure 7 of 20. 7	1992 Orthophoto		<div><div>Streams</div><div><div></div>Subject Property</div><div><div></div>Other Tax Parcels</div></div>
	Solid Walls LLC		
	SWALL20000		



Figure 8 of 20. 8	1968 Orthophoto		<div><div><div></div>Streams</div><div><div></div>Subject Property</div><div><div></div>Other Tax Parcels</div></div>
	Solid Walls LLC		
	SWALL20000		



Figure 9 of 20. 9	1961 Orthophoto		<div><div>Streams</div><div><div></div>Subject Property</div><div><div></div>Other Tax Parcels</div></div>
	Solid Walls LLC		
	SWALL20000		





Figure 10 of 20. 10	1954 Orthophoto		<div><div><div></div>Streams</div><div><div></div>Subject Property</div><div><div></div>Other Tax Parcels</div></div>
	Solid Walls LLC		
	SWALL20000		



Figure 11 of 20. 11	1937 Orthophoto		<div><div><div></div><div>Streams</div></div><div><div></div><div>Subject Property</div></div><div><div></div><div>Other Tax Parcels</div></div></div>
	Solid Walls LLC		
	SWALL20000		

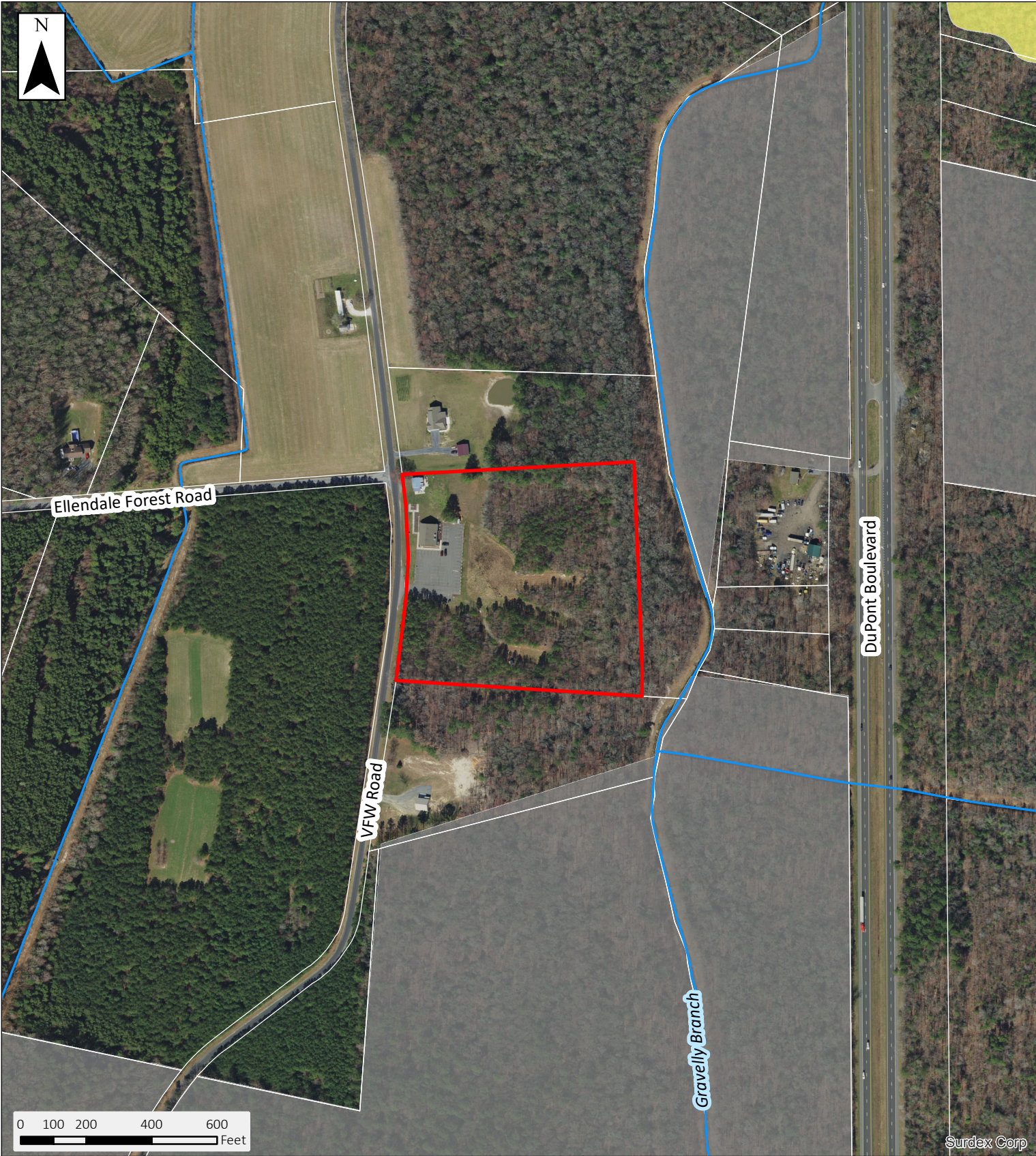






Figure 12 of 20. 12	2015 State Strategies & Investment Levels		Investment Level	
	Solid Walls LLC		 Level 3	
	SWALL20000		 Level 4 (Unshaded)	
			 Out Of Play	

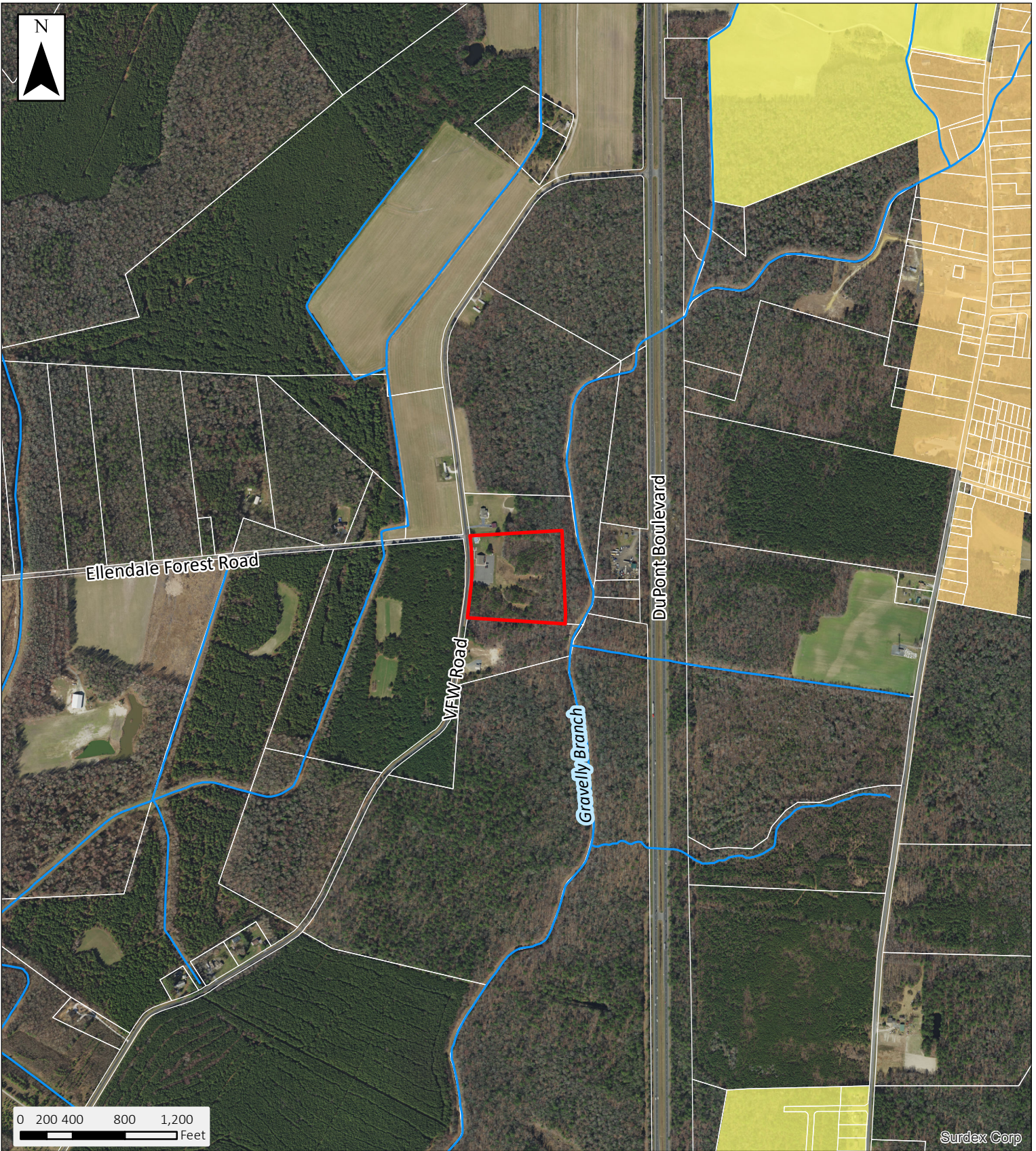
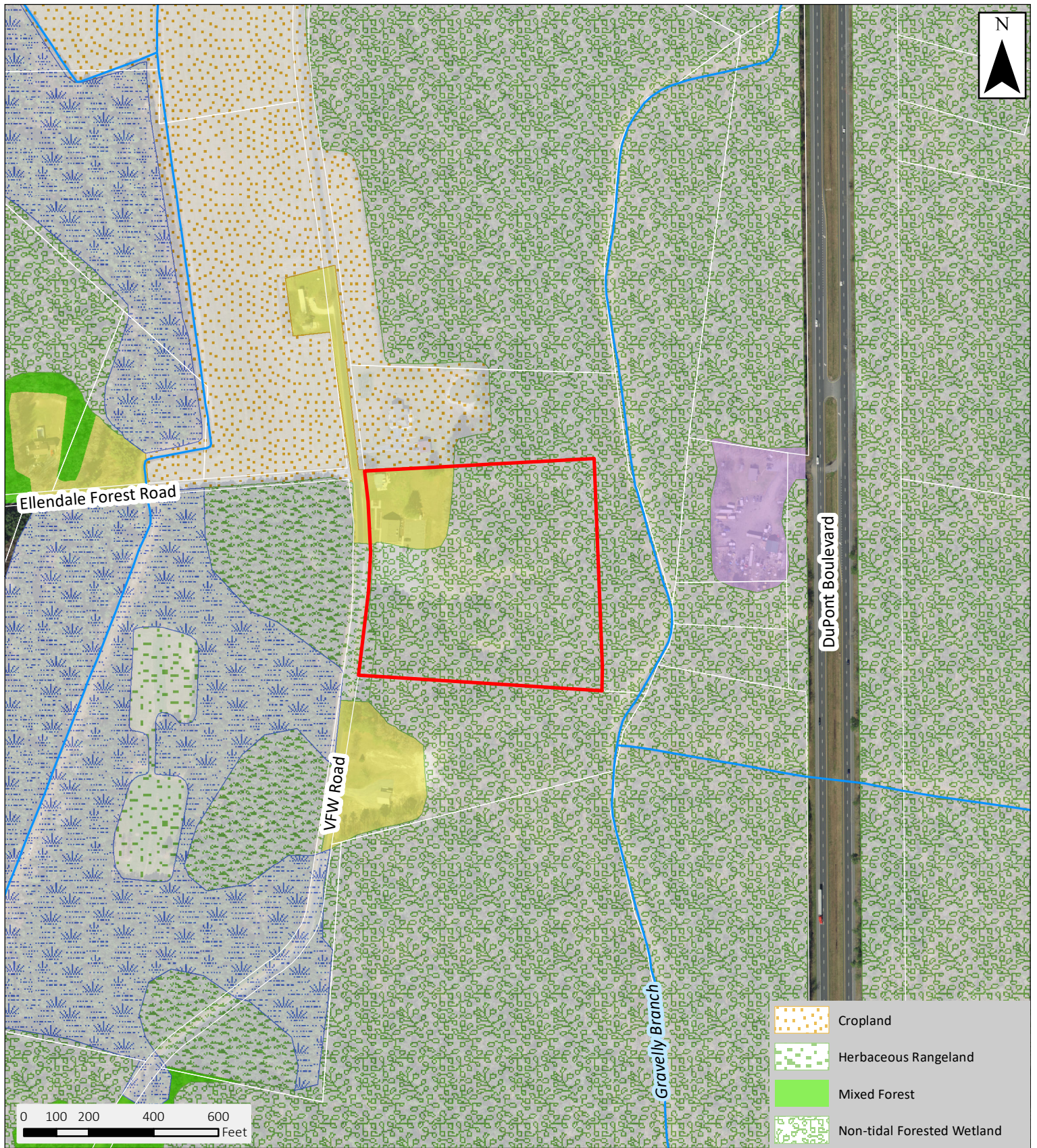


Figure 13 of 20. <div>13</div>	County Zoning		<div> <div></div> Agricultural Residential (Unshaded) <div></div> General Residential <div></div> Medium Residential </div>
	Solid Walls LLC		
	SWALL20000		











-  Cropland
-  Herbaceous Rangeland
-  Mixed Forest
-  Non-tidal Forested Wetland
-  Non-tidal Scrub/Shrub Wetland
-  Shrub/Brush Rangeland
-  Single Family Dwellings
-  Vehicle Related Activities

Figure 14 of 20.

14

2012 Land Use Land Cover

Solid Walls LLC

SWALL20000



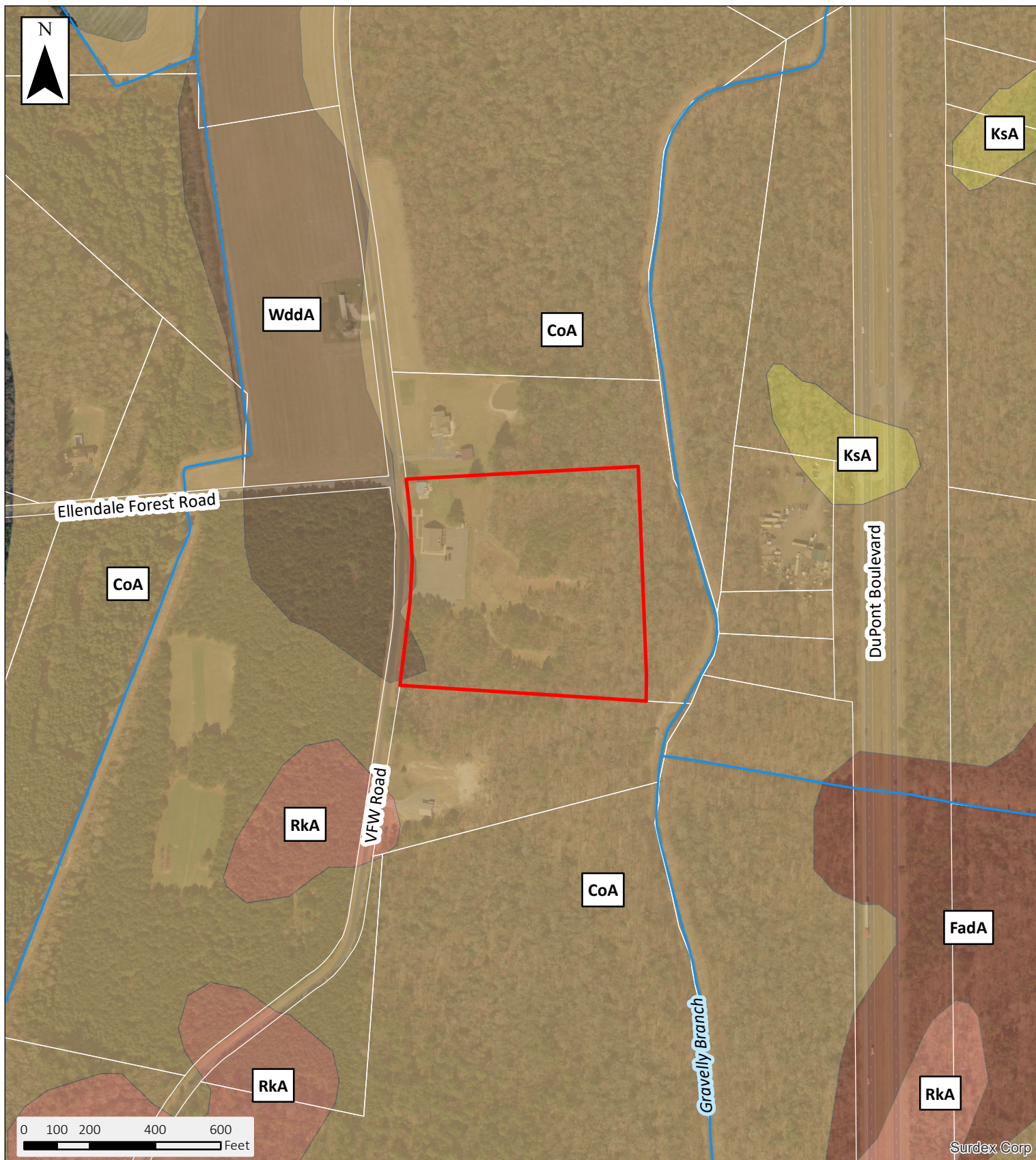


Figure 15 of 20.

15

NRCS Soils Mapping

Solid Walls LLC

SWALL20000



Soil Types:

CoA - Corsica mucky loam,
0-2% slopes, Group B/D
WddA - Woodstown sandy loam,
Northern Tidewater Area
0-2% slopes, Group C

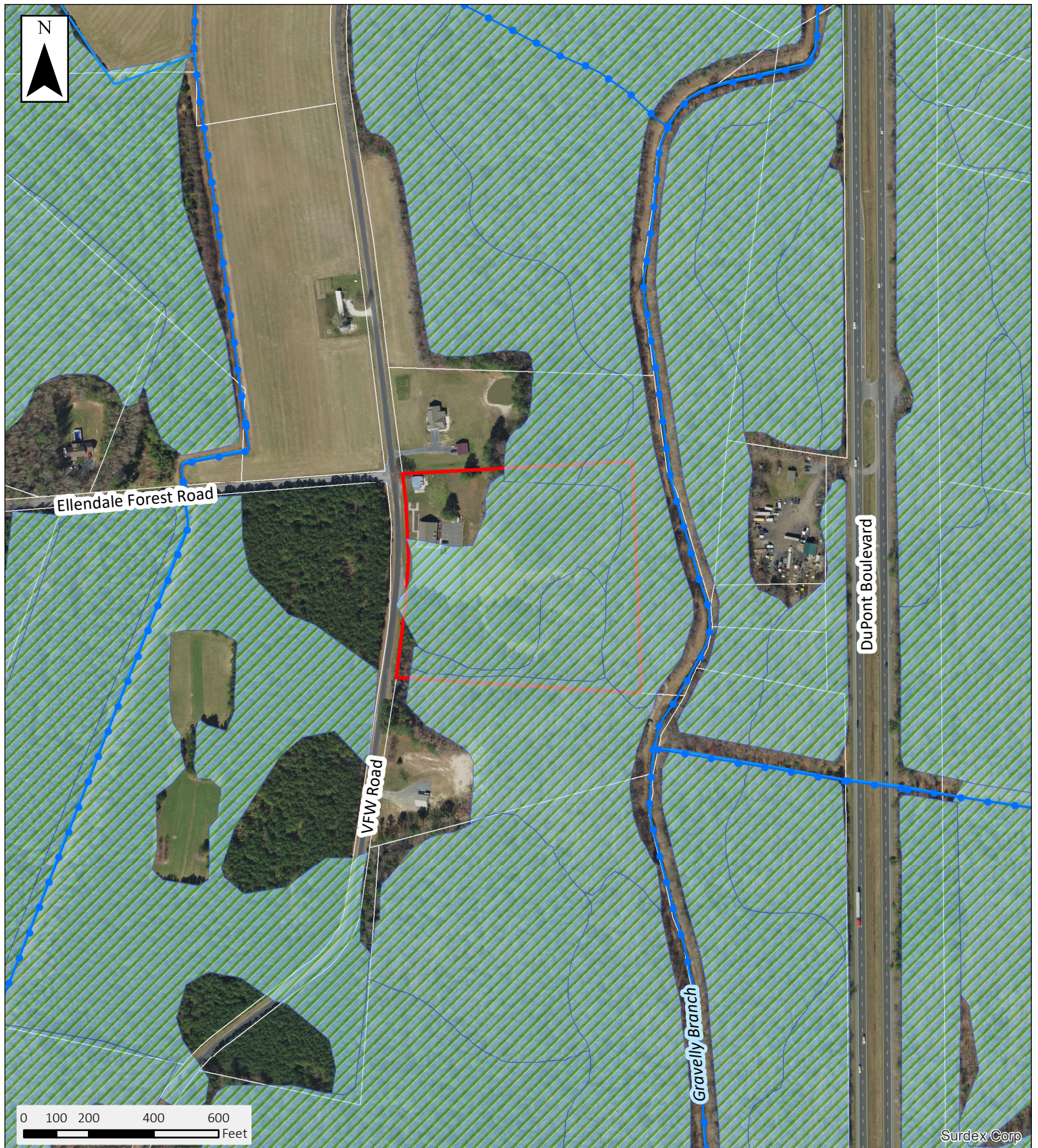


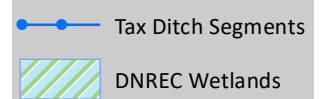
Figure 16 of 20.

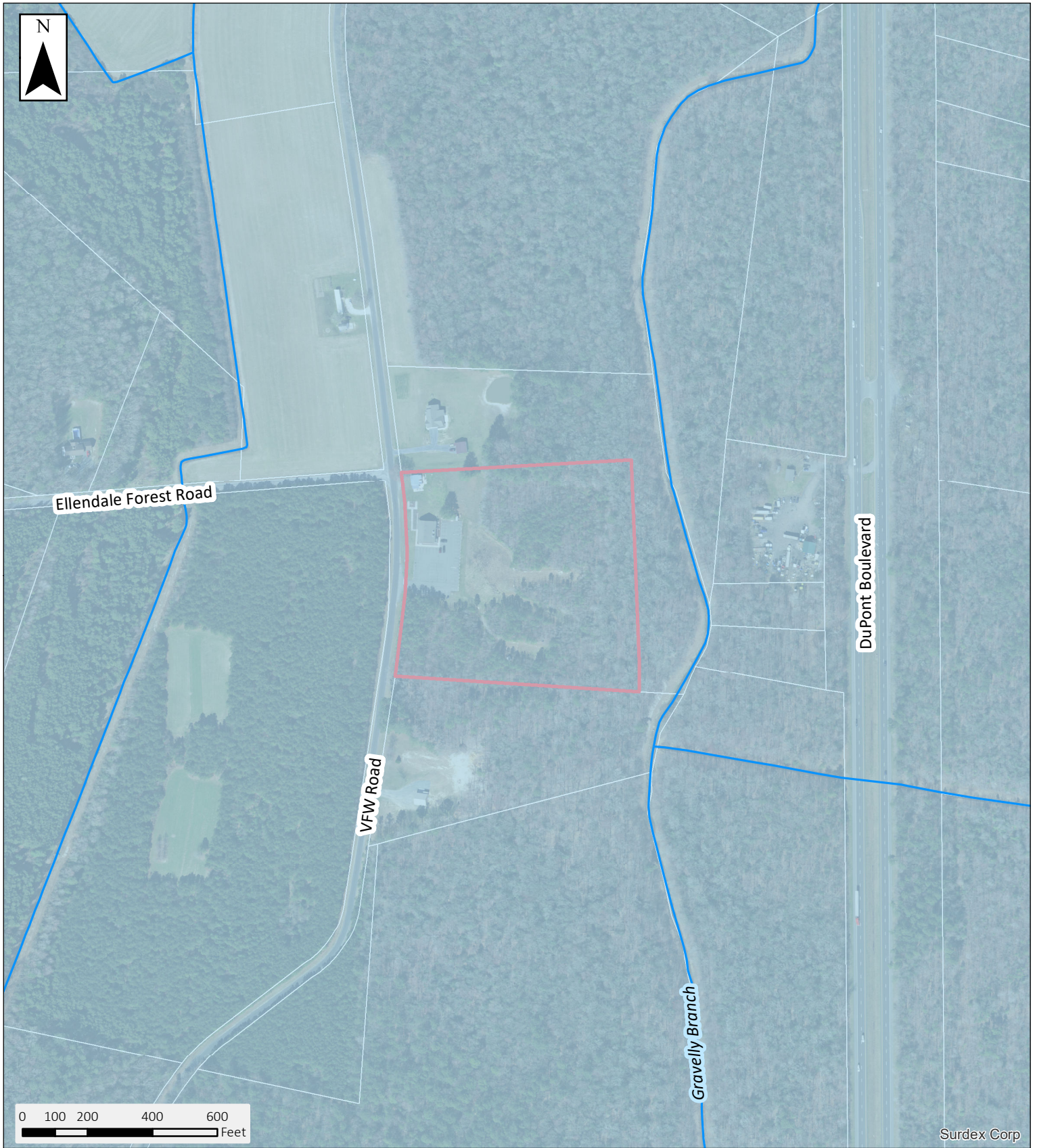
16

State Wetlands Mapping

Solid Walls LLC

SWALL20000







<p>Figure 17 of 20.</p> <p>17</p>	<p>FEMA Flood Plain Mapping</p>		<div data-bbox="1219 1854 1398 1906">  <p>Zone X</p> </div> <p>FEMA Flood Map #10005C0140K (3/16/15)</p>
	<p>Solid Walls LLC</p>		
	<p>SWALL20000</p>		




Figure 18 of 20. 18	Groundwater Recharge Potential		<div><div><div></div> Good</div><div><div></div> Fair</div></div> <div><div></div> Poor</div> <div><div></div> Water Area</div>
	Solid Walls LLC		
	SWALL20000		



Figure 19 of 20.

USGS Topographic Map

19

Solid Walls LLC

SWALL20000



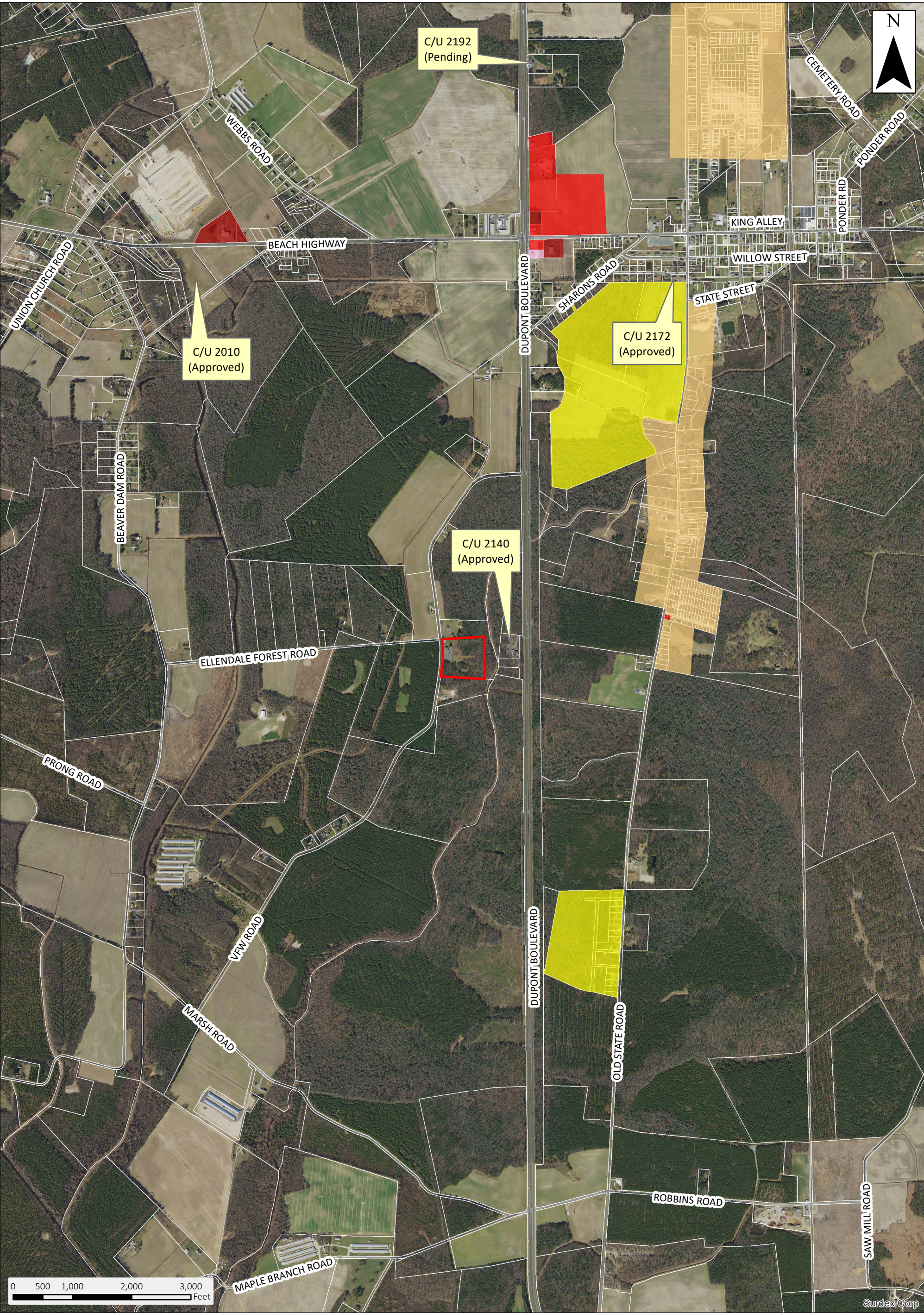


Figure 20 of 20. 20	Area Conditional Use Applications		County Zoning	AR-1	GR
	Solid Walls, LLC			CR-1	MR
	SWALL20000			C-1	B-1

**Mr. Wilson, Yea; Mr. Cole, Yea;
Mr. Phillips, Yea**

**FOIA
Decision/
Attorney
General's
Office
(continued)**

Mr. Griffin reported that Sussex County received a decision from the Attorney General's Office regarding FOIA complaints filed in early April 2009 by Mr. Kramer and Mr. Gaffney. The Decision indicated that the County would be allowed to charge for the 8 hours of employees' time involved in compiling requested emails from August 2008 to January 2009. Mr. Griffin also reported that Mr. Kramer has asked the Attorney General's Office to reconsider, which will result in a later decision.

**M 376 09
Recess**

At 5:39 p.m., a Motion was made by Mr. Cole, seconded by Mrs. Deaver, to recess until 6:00 p.m. Motion Adopted by Voice Vote.

Reconvene

Mr. Phillips called the Council back into session at 6:06 p.m.

**Public
Hearing/
C/U
No. 1835**

A Public Hearing was held on the Proposed Ordinance entitled "AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A VFW POST (PRIVATE CLUB) TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN CEDAR CREEK HUNDRED, SUSSEX COUNTY, CONTAINING 10.00 ACRES, MORE OR LESS" (Conditional Use No. 1835) filed on behalf of Appel - Tucker - Reynolds V.F.W. Post No. 2931.

The Planning and Zoning Commission held a Public Hearing on this application on May 28, 2009 at which time they recommended approval with conditions.

(See the minutes of the meeting of the Planning and Zoning Commission dated May 28, 2009.)

Lawrence Lank, Director of Planning and Zoning, read a summary of the Commission's Public Hearing.

Mr. Lank distributed Exhibit Books which were provided by the Applicant.

Mr. Lank reported that the following letters of support were received and made a part of the record: Delores Price, President, Ellendale Town Council; Ellendale Volunteer Fire Co., Inc.; Clifford Short, Vice President, Ellendale Ruritan Club; Margaret Robinson, Major Nathaniel Mitchell Chapter of the Daughters of the American Revolution; and Barbara McGowan, Ladies Auxiliary to Veterans of Foreign Wars of the United States (VFW) Post 2931.

David Tidwell, Project Coordinator for the Applicant; Shannon Carmean, Attorney from Sergovic & Ellis, P.A., and Steve McCabe, P.E. from George, Miles & Buhr, LLC, were present and stated that they have applied for a Conditional Use to construct and expand the use of this site for the VFW

Public
Hearing/
C/U
No. 1835
(continued)

Post; that the site contains approximately 10 acres and is improved by an existing 900 square foot building used for VFW events; that they propose to replace the existing building with a 3,280 square foot one-story building; that the existing building is intended to be converted to a storage building; that the VFW Post building will be utilized as a private club facility; that a private club is a listed Conditional Use; that the use meets the purpose of a Conditional Use since it a semi-public use and meeting place; that the use meets the purpose of the Comprehensive Plan in a Low Density Area which permits non-residential uses; that the site has been utilized for a VFW Post for many years; that they are not aware of any former complaints about the use; that Sussex County Mapping and Addressing has acknowledged the history of the use at this location by naming the road “VFW Road”; that the site is surrounded by agricultural lands and wooded lands; that there should be no negative impact on traffic; that there will not be any disturbance of the wetlands; that the improvements will meet or exceed the needs of the members of the VFW Post; that the proposed improvements will be an improvement for public safety by providing modern conveniences, handicap accessibility, and adequate parking; that DelDOT has approved the entrance location; that the entrance location will be improved and made safer; that the entrance will be located farther away from the intersection; that the Office of the State Fire Marshal has approved the site plan; that the Sussex Conservation District has approved the site for maintenance with Best Management Practices; that the original building has a non-conforming septic system; that a LPP Septic System is proposed subject to receipt of an approval from DNREC; that the VFW Post was chartered in Georgetown in 1947; that the members have a need for more space; that the veterans serve the community by having social functions and raising money for the community; that the VFW Post presently has 140 members; that the existing building is out-dated with poor heating and no handicap accessibility; that the general drainage of the area is to the tax ditches; that they cannot create any more runoff than the runoff that already exists; that a larger kitchen facility is proposed; that the existing sign will remain and hopefully, can be replaced in the future with a larger sign; that they would like a flexibility in the hours; that they may in the future want to change their hours to accommodate the membership; that hours from 9:00 a.m. through 1:00 a.m. would be acceptable seven (7) days per week; that the facility is not open to the general public unless they are guests; that a small bar will be available; and that the seating capacity of the building is limited to 120 seats.

Persons present demonstrated their support by a show of hands.

There were no persons present in opposition to the application.

There were no public comments and the Public Hearing was closed.

M 377 09
Adopt
Ordinance

A Motion was made by Mr. Wilson, seconded by Mrs. Deaver, to Adopt Ordinance No. 2062 entitled “AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL

**No. 2062
(C/U
No. 1835)** **RESIDENTIAL DISTRICT FOR A VFW POST (PRIVATE CLUB) TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN CEDAR CREEK HUNDRED, SUSSEX COUNTY, CONTAINING 10.00 ACRES, MORE OR LESS” (Conditional Use No. 1835) filed on behalf of Appel - Tucker - Reynolds V.F.W. Post No. 2931, with the following conditions:**

**M 377 09
Adopt
Ordinance
No. 2062
(C/U
No. 1835)
(continued)**

- 1. There is currently lighting on the property. Any additional lighting shall be screened so that it does not shine on roadways or adjacent properties.**
- 2. One lighted sign shall be permitted, not to exceed 32 square feet per side.**
- 3. The parking shall meet or exceed the requirements of the Zoning Code.**
- 4. The property is not to be rented by any outside groups that are not affiliated with a veteran’s organization.**
- 5. All entrances shall comply with all of DelDOT’s requirements.**
- 6. The hours of operation shall be limited to 9:00 a.m. through 1:00 a.m., seven (7) days per week.**
- 7. The Final Site Plan shall be subject to the review and approval of the Planning and Zoning Commission**

Motion Adopted: 5 Yeas.

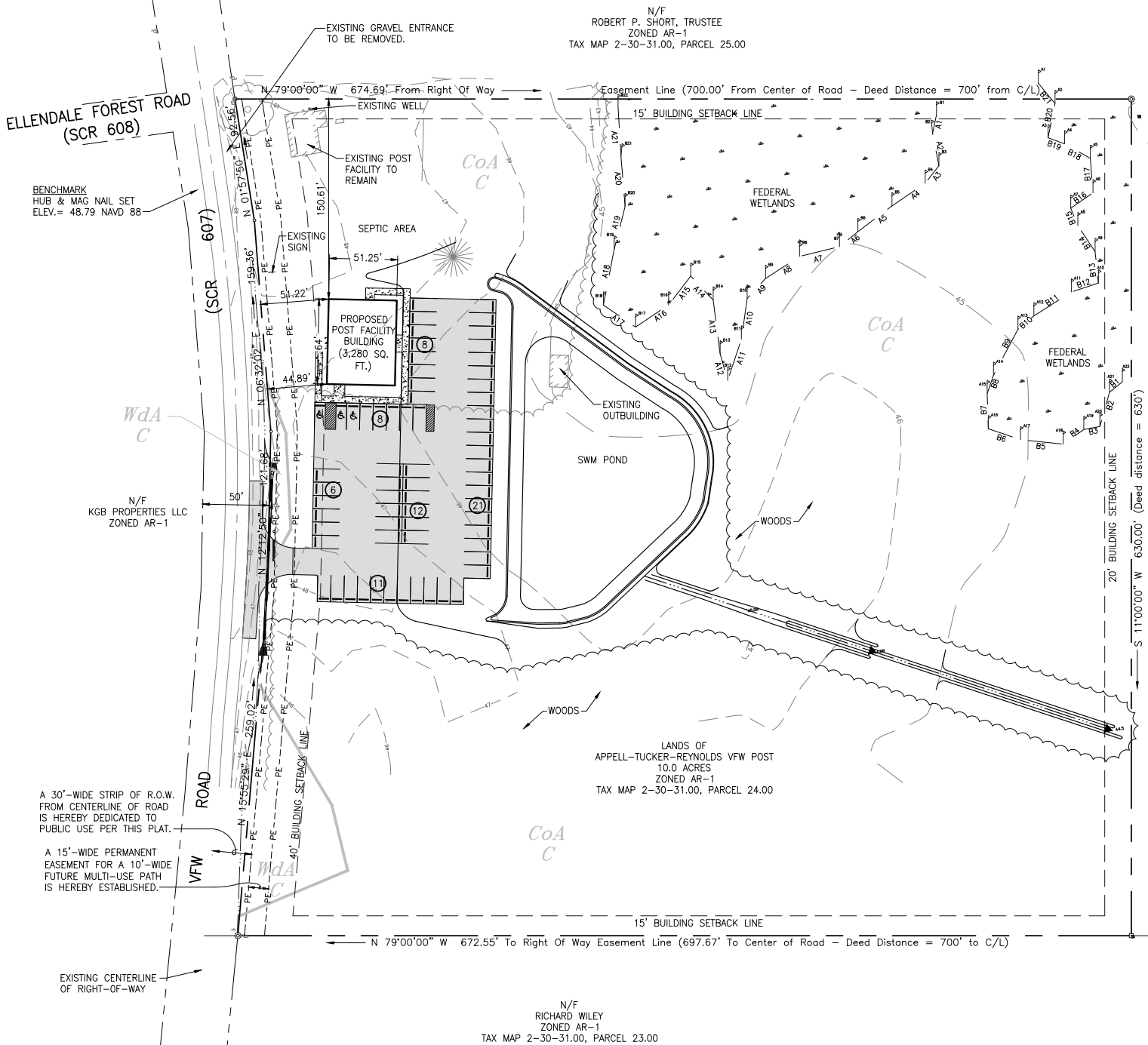
**Vote by Roll Call: Mrs. Deaver, Yea; Mr. Vincent, Yea;
Mr. Wilson, Yea; Mr. Cole, Yea;
Mr. Phillips, Yea**

**Public
Hearing/
C/Z
No. 1643**

A Public Hearing was held on the Proposed Ordinance entitled “AN ORDINANCE TO AMEND THE COMPREHENSIVE ZONING MAP OF SUSSEX COUNTY FROM A GR GENERAL RESIDENTIAL DISTRICT TO A B-1 NEIGHBORHOOD BUSINESS DISTRICT FOR A CERTAIN PARCEL OF LAND LYING AND BEING IN BALTIMORE HUNDRED, SUSSEX COUNTY, CONTAINING 1.848 ACRES, MORE OR LESS” (Change of Zone No. 1643) filed on behalf of Landh Investments, L.L.C.

The Planning and Zoning Commission held a Public Hearing on this application on May 28, 2009 at which time they deferred action. On June 11, 2009, the Commission recommended that the application be approved.

(See the minutes of the meeting of the Planning and Zoning Commission dated May 28 and June 11, 2009.)



WETLANDS LINE TABLES		
LINE	BEARING	DISTANCE
A 1	S 22°52'54" W	14.14
A 2	S 0°4'36" W	24.87
A 3	S 48°55'31" W	16.86
A 4	S 66°47'8" W	30.19
A 5	S 63°57'27" W	32.20
A 6	S 61°31'58" W	17.86
A 7	S 87°23'11" W	30.98
A 8	S 67°59'49" W	30.52
A 9	S 53°35'53" W	20.38
A 10	S 19°01'51" W	30.88
A 11	S 29°25'38" W	32.88
A 12	N 4°42'11" W	20.75
A 13	N 3°33'18" E	40.89
A 14	N 32°7'1" W	24.72
A 15	S 48°28'29" W	27.39
A 16	S 67°11'27" W	29.84
A 17	N 44°41'45" W	29.36
A 18	N 21°56'21" E	43.01
A 19	N 25°18'59" E	32.95
A 20	N 6°22'5" E	37.58
A 21	N 7°35'2" E	37.17

LINE	BEARING	DISTANCE
B 1	S 61°44'37" W	12.46
B 2	S 26°40'31" W	26.75
B 3	N 89°48'37" W	12.30
B 4	S 65°48'7" W	19.06
B 5	N 63°57'27" W	32.27
B 6	N 60°10'14" W	25.63
B 7	N 9°16'5" E	26.50
B 8	N 30°0'38" E	14.51
B 9	N 38°58'31" E	39.23
B 10	N 60°59'13" E	15.69
B 11	N 68°21'19" E	33.44
B 12	N 82°47'18" E	21.45
B 13	N 5°6'15" E	23.77
B 14	N 22°42'2" W	23.49
B 15	N 10°57'21" W	14.18
B 16	N 66°15'9" E	20.33
B 17	N 6°43'10" E	26.03
B 18	N 49°38'55" W	22.31
B 19	N 58°48'40" W	13.26
B 20	N 22°34'20" E	26.32
B 21	N 28°22'36" W	19.81

WETLANDS DELINEATION STATEMENT:

THIS PROPERTY HAS BEEN EXAMINED BY JCM ENVIRONMENTAL FOR THE PRESENCE OF WATERS OF THE UNITED STATES INCLUDING WETLANDS (SECTION 404 AND SECTION 10), STATE SUBAQUEOUS LANDS AND STATE TIDAL WETLANDS BASED ON THE CRITERIA SET FORTH BY THE REVIEWING AGENCIES IN THE FORM OF MANUALS, POLICIES AND PROCEDURES IN PLACE AT THE TIME THAT THE INVESTIGATION WAS CONDUCTED. ANY OF THE ABOVE RESOURCES THAT WERE FOUND ON THE PROPERTY ARE CLEARLY MAPPED ON THIS PLAN IN ACCORDANCE WITH OUR FIELD INVESTIGATIONS AND DETAILED IN THE REPORT DATED DECEMBER 29, 2008 PREPARED BY JCM ENVIRONMENTAL USING BEST PROFESSIONAL JUDGMENT.

JCM ENVIRONMENTAL
100 LAKE DRIVE, SUITE 3
NEWARK, DELAWARE 19702

OWNERS CERTIFICATION:

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY AS SHOWN BY THIS PLAN AND THAT THIS PLAN HAS BEEN PREPARED UNDER MY DIRECTION.

OWNER _____ DATE _____

ENGINEERS CERTIFICATION:

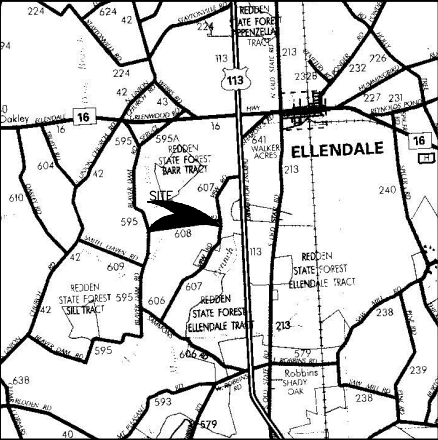
"I, JUDY A. SCHWARTZ, P.E. HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HERE ON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE."

ENGINEER'S SIGNATURE _____ DATE _____

LEGEND	
EXISTING	PROPOSED
PROPERTY LINE/RIGHT OF WAY	N/A
PAVEMENT	
CONCRETE SIDEWALK	
BUILDING	
ELEVATION CONTOUR	N/A
TREELINE	
PROPERTY CORNERS	N/A
UTILITY POLE	N/A
BUILDING SETBACK	
USDA SOIL TYPE AND LINE	N/A

CONDITIONAL USE #1835 CONDITIONS OF APPROVAL

1. THERE IS CURRENTLY LIGHTING ON THE PROPERTY. ANY ADDITIONAL LIGHTING SHALL BE SCREENED SO THAT IT DOES NOT SHINE ON ROADWAYS OR ADJACENT PROPERTIES.
2. ONE LIGHTED SIGN SHALL BE PERMITTED, NOT TO EXCEED 32 SQUARE FEET PER SIDE.
3. THE PARKING SHALL MEET OR EXCEED THE REQUIREMENTS OF THE ZONING CODE.
4. THE PROPERTY IS NOT TO BE RENTED BY ANY OUTSIDE GROUPS THAT ARE NOT AFFILIATED WITH A VETERAN'S ORGANIZATION.
5. ALL ENTRANCES SHALL COMPLY WITH ALL OF DELDOT'S REQUIREMENTS.
6. THE HOURS OF OPERATION SHALL BE LIMITED TO 9:00 A.M. THROUGH 1:00 A.M. SEVEN (7) DAYS PER WEEK.
7. THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.



LOCATION MAP
SCALE: 1" = 1 MILE

GENERAL NOTES

1. PERIMETER BOUNDARY AND TOPOGRAPHIC INFORMATION WERE TAKEN FROM SURVEYS PREPARED BY COMPASS POINT ASSOCIATES.
2. ADJACENT PROPERTY INFORMATION IS BASED UPON SUSSEX COUNTY TAX MAP INFORMATION AND IS NOT THE RESULT OF A TITLE SEARCH AND/OR SURVEY.
3. IN ACCORDANCE WITH A WETLAND SURVEY PERFORMED BY JCM ENVIRONMENTAL THIS SITE CONTAINS FEDERAL JURISDICTIONAL WETLANDS. NO STATE WETLANDS EXIST ON THIS SITE. NO WETLANDS WILL BE DISTURBED UNDER THIS APPLICATION.
4. THIS PROPERTY IS OUTSIDE THE 100 YEAR FLOOD PLAIN PER FIRM # 10005C0150J, DATED JANUARY 6, 2005.

SITE DATA

1. OWNER: APPEL-TUCKER-REYNOLDS VFW POST 2931
14411 VFW ROAD
ELLENDALE, DELAWARE 19941
2. ENGINEER: GEORGE, MILES & BUHR, LLC
400 HIGH STREET
SEAFORD, DELAWARE 19973
CONTACT: RICHARD S. McCABE, P.E.
3. APPLICANT: APPELL-TUCKER-REYNOLDS VFW POST 2931
P.O. BOX 881
GEORGETOWN, DELAWARE 19947
CONTACT: DAVID TIDWELL
4. MINIMUM BUILDING SETBACK LINES: FRONT - 40', REAR - 20', SIDES - 15'.
5. TAX MAP LOCATION: TAX MAP 2-30-31.00, PARCEL 24.00.
6. A 5-FOOT WIDE STRIP OF LAND IS HEREBY DEDICATED AND ASSIGNED TO THE STATE OF DELAWARE, BY AND THROUGH THE DEPARTMENT OF TRANSPORTATION, AS PER THIS PLAN.
7. PARCEL AREA = 9.52 ACRES.
8. PORTION OF PARCEL AREA DEVOTED TO BUILDINGS: 0.9%.
9. PORTION OF PARCEL AREA DEVOTED TO OFF-STREET PARKING: 5.9%.
10. NET DEVELOPMENT AREA = 8.48 ACRES.
11. BUILDING HEIGHT = DOES NOT EXCEED 42'.
12. PARKING SPACES REQUIRED: COMMUNITY CENTER
(1 SPACE PER 50 SQ. FT. OF GROSS FLOOR AREA).
NUMBER OF PARKING REQUIRED: 66
NUMBER OF HANDICAPPED REQUIRED: 3
NUMBER OF SPACES PROVIDED: 66

FINAL PLANS
PRINTS ISSUED FOR:
PERMITS

DATE	09/01/09
REVISIONS	
NO.	1

GMB
GEORGE, MILES & BUHR, LLC
ARCHITECTS & ENGINEERS
BALTIMORE • LEWIS • SEAFORD • YORK
www.gmbnet.com

APPEL - TUCKER - REYNOLDS
V.F.W. POST NO. 2931
NEAR ELLENDALE
CEDAR CREEK HUNDRED
SUSSEX COUNTY, DELAWARE

FINAL
SITE
PLAN

SCALE : 1" = 50'	C-1
DESIGN BY : JWK, JTD	
DRAWN BY : JWK, JTD	
CHECKED BY: RSM, JAS	
GMB FILE : 2008151	
DATE : JUNE 2009	

CONSULTANT TEAM

DEVELOPER: APPEL-TUCKER-REYNOLDS VFW POST
14411 VFW ROAD
ELLENDALE, DELAWARE 19941

CIVIL ENGINEER/LAND PLANNER: GEORGE MILES & BUHR, LLC
206 WEST MAIN STREET
SALISBURY, MARYLAND 21801

CONTACT: JUDY A. SCHWARTZ, P.E.
410-742-3115

SURVEYOR: COMPASS POINT ASSOCIATES
26353 LEWES GEORGETOWN HIGHWAY
HEBESON, DELAWARE 19951

CONTACT: 302-684-2580

SITE IMPROVEMENTS
APPEL - TUCKER - REYNOLDS
V.F.W. POST NO. 2931

SHEET LIST

G1.0 COVER SHEET
C1.0 OVERALL SITE PLAN
C1.1 POND PROFILE
C2.1 SITE NOTES AND DETAILS
C2.2 SITE NOTES AND DETAILS
C2.3 SITE NOTES AND DETAILS

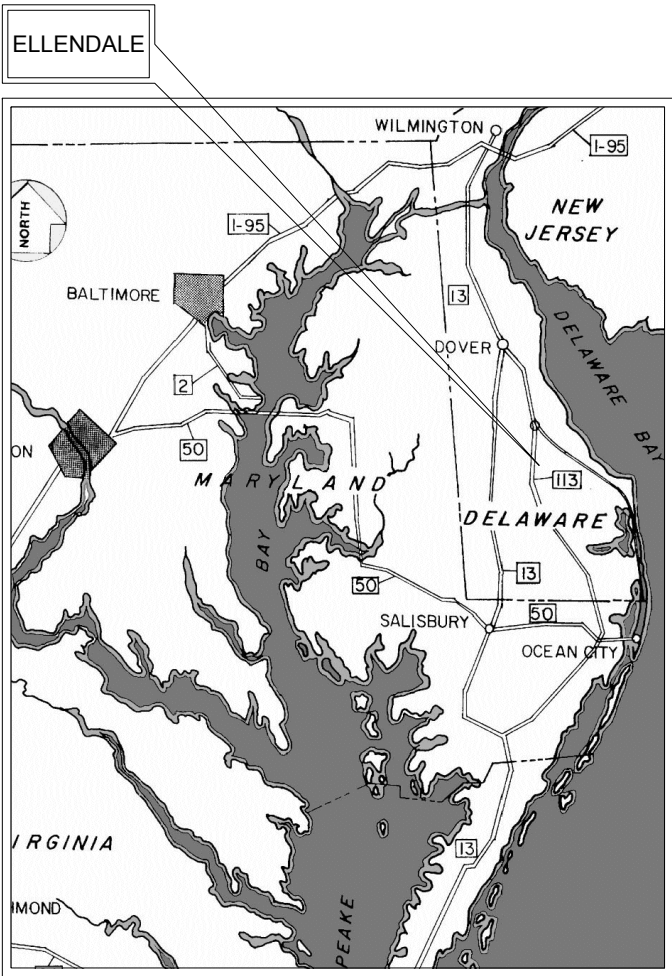
SITE DATA

SITE LOCATION: ELLENDALE, DELAWARE

TAX MAP PARCEL NUMBERS: 2-30-31.00 PARCEL 24.00

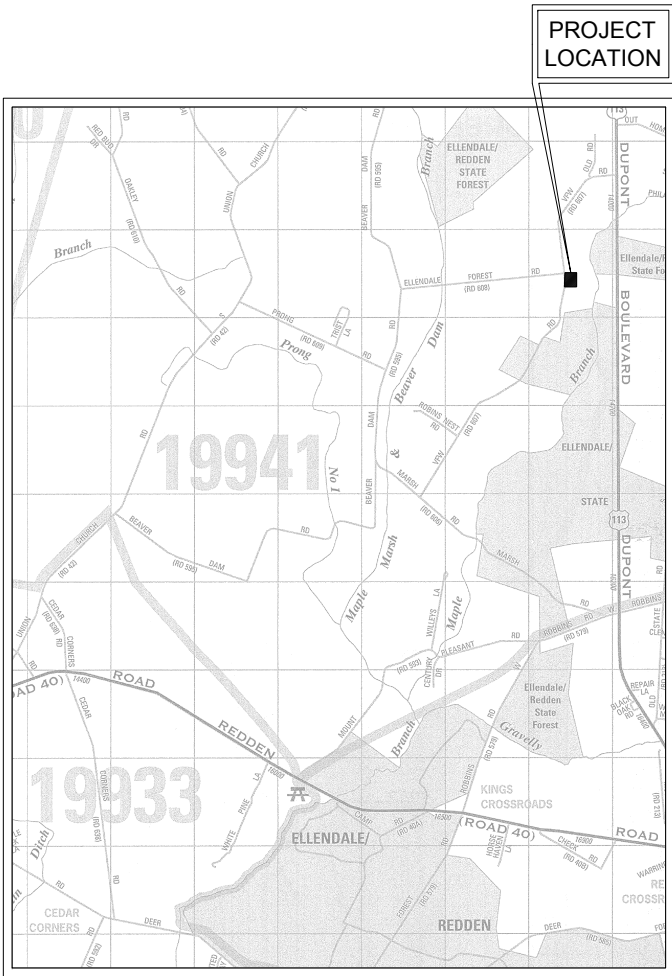
SITE AREA: 9.52± ACRES

TOTAL DISTURBED AREA: 3.0± ACRES



VICINITY MAP

SCALE: 1" = 20 MILES



LOCATION MAP

SCALE: 1" = 2000'



GENERAL NOTES

1. PERIMETER BOUNDARY AND TOPOGRAPHIC INFORMATION WERE TAKEN FROM SURVEYS PREPARED BY COMPASS POINT ASSOCIATES.
2. NAME OF THIS PROPOSED PROJECT: APPEL-TUCKER REYNOLDS V.F.W. POST NO. 2931.
3. SUSSEX COUNTY PLANNING AND ZONING COMMISSION REFERENCE NUMBER: TO BE DETERMINED.
4. INTENDED USE OF BUILDINGS: PRIVATE CLUB.
5. NAME OF WATER SUPPLIER: N/A. PRIVATE INDIVIDUAL WELL. THERE IS NO EXISTING PUBLIC WATER SERVICE IN THE VICINITY.
6. LOCATION OF FIRE HYDRANTS: NONE.
7. LOCATION AND DIAMETER OF WATER MAINS SUPPLYING FIRE PROTECTION WATER: N/A. THERE IS NO EXISTING PUBLIC WATER SERVICE IN THE VICINITY.
8. MAXIMUM HEIGHT OF BUILDING: DOES NOT EXCEED 35'.
9. PROPOSED BUILDING CONSTRUCTION: WOOD FRAME.
10. BUILDING WILL NOT BE PROTECTED BY SPRINKLERS.
11. LOCATION OF FIRE LANES AND THEIR WIDTHS: N/A.
12. "ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS."
13. INDIVIDUAL DWELLINGS SHALL NOT EXCEED 35' OR THREE STORIES IN HEIGHT, 10,000 AGGREGATE GROSS SQUARE FOOTAGE IN FLOOR AREA, AND SHALL BE LOCATED A MINIMUM OF 15' FROM ALL PROPERTY LINES AND 10' FROM EXPOSURE HAZARDS ON THE SAME PROPERTY.
14. MINIMUM BUILDING SETBACK LINES: FRONT - 40', REAR - 20', SIDES - 15'.
15. TAX MAP LOCATION: TAX MAP 2-30-31.00, PARCEL 24.00.
16. TOTAL PARKING SPACES REQUIRED IS 60.
TOTAL PARKING SPACES PROVIDED IS 64.
17. NUMBER OF HANDICAPPED SPACES PROVIDED IS 3.

DEVELOPER'S CERTIFICATION:

I HEREBY CERTIFY THAT I AM THE DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN AND THAT THE PLAN WAS MADE AT MY DIRECTION.

DATE

ENGINEER'S CERTIFICATION:

"I, JUDY A. SCHWARTZ, P.E., HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HERE HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEVE REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE."

DATE

JUDY A. SCHWARTZ, P.E.
GEORGE, MILES & BUHR, LLC



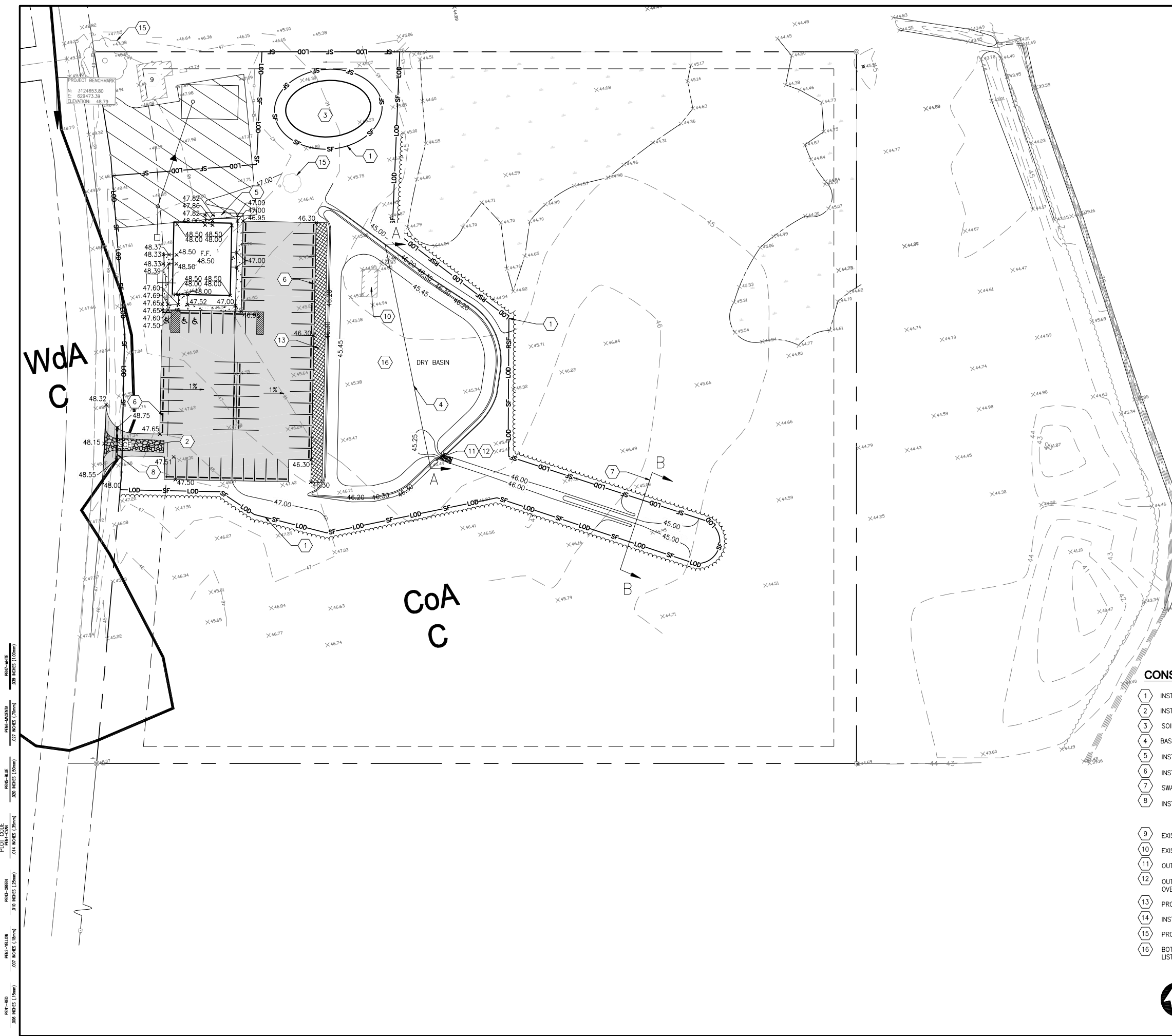
GEORGE, MILES & BUHR, LLC
ARCHITECTS & ENGINEERS
SALISBURY • BALTIMORE • LEWES • SEAFORD • YORK
206 WEST MAIN STREET
SALISBURY, MARYLAND 21801
410-742-3115, FAX 410-548-5790
www.gmbnet.com

APPEL - TUCKER - REYNOLDS
V.F.W. POST NO. 2931
CEDAR CREEK HUNDRED
SUSSEX COUNTY, DELAWARE

COVER SHEET

SCALE	SHEET NO.
DESIGN BY : JUS/RAS	G1.0
DRAWN BY : BGA	
CHECKED BY :	
GMB FILE : 2008151	
DATE : JAN 2009	

© COPYRIGHT 2008 GEORGE, MILES & BUHR, LLC



LEGEND

- EXISTING
- PROPERTY LINE/RIGHT OF WAY
 - BUILDING SETBACK LINE
 - PE - PERMANENT ELECTRIC
 - TREE LINE
 - NON REGULATED WETLANDS
 - SOIL BOUNDARY LINE
- PROPOSED
- PAVED ROAD
 - SIDEWALK
 - SANITARY DRAINAGE AREA
 - STABILIZED CONSTRUCTION ENTRANCE
 - LIMIT OF TREE LINE CLEARING
 - LOD - SILT FENCE AND LIMIT OF DISTURBANCE
 - RSF - REINFORCED SILT FENCE
 - GRASSED FILTER STRIP
 - SOIL STOCK PILE

CONSTRUCTION NOTES

1. INSTALL SILT FENCE (TYP). SEE DETAIL ON SHEET C2.2.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE. SEE DETAIL ON SHEET C2.2.
3. SOIL STOCKPILE.
4. BASIN PROFILE SECTION LINE. SEE POND PROFILE SHEET C1.1.
5. INSTALL SIDEWALK (TYP). SEE DETAIL ON SHEET C2.3.
6. INSTALL CURB STOP (TYP). SEE DETAIL ON SHEET C2.3.
7. SWALE PROFILE SECTION LINE. SEE SWALE PROFILE SHEET C1.1.
8. INSTALL 30LF 15" CLASS V RCP.
UPSTREAM INVERT = 46.67'
DOWNSTREAM INVERT = 46.59'
9. EXISTING STRUCTURE TO REMAIN.
10. EXISTING STRUCTURE TO BE REMOVED.
11. OUTFALL STRUCTURE CONCRETE WEIR. SEE DETAIL ON SHEET C1.1.
12. OUTFALL PROTECTION LENGTH=10', WIDTH=6', THICKNESS=14", D50=6", LAID OVER 600X MIRAFI FABRIC.
13. PROPOSED FILTER STRIP. SEE DETAIL ON SHEET C2.3.
14. INSTALL REINFORCED SILT FENCE. SEE DETAIL ON SHEET C2.2.
15. PROTECT AND PRESERVE EXISTING TREE.
16. BOTTOM OF BASIN IS TO BE SEEDED WITH WATER TOLERANT SEED MIX. LIST OF WATER TOLERANT SEED MIX ON SHEET C2.1.



DATE	

REVISIONS	

NO.	

GEORGE, MILES & BUHR, LLC
ARCHITECTS & ENGINEERS
SALISBURY • BALTIMORE • LEWES • SEAFORD • YORK
206 WEST MAIN STREET
SALISBURY, MARYLAND 21801
410-742-3115, FAX 410-548-5790
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APPEL - TUCKER - REYNOLDS
V.F.W. POST NO. 2931

CEDAR CREEK HUNDRED
SUSSEX COUNTY, DELAWARE

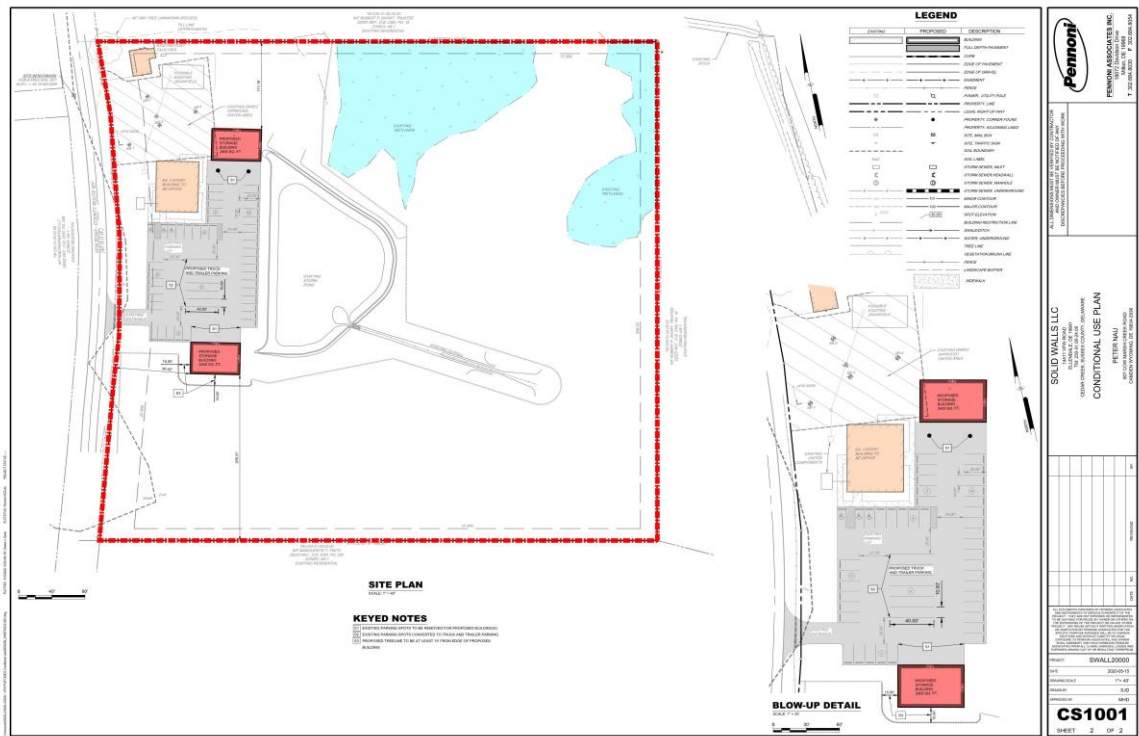
OVERALL SITE
PLAN

SCALE	1" = 40'	SHEET NO.
DESIGN BY	JJS/RAS	C1.0
DRAWN BY	JBGA	
CHECKED BY		
GMB FILE	:2008151	
DATE	:JAN 2009	

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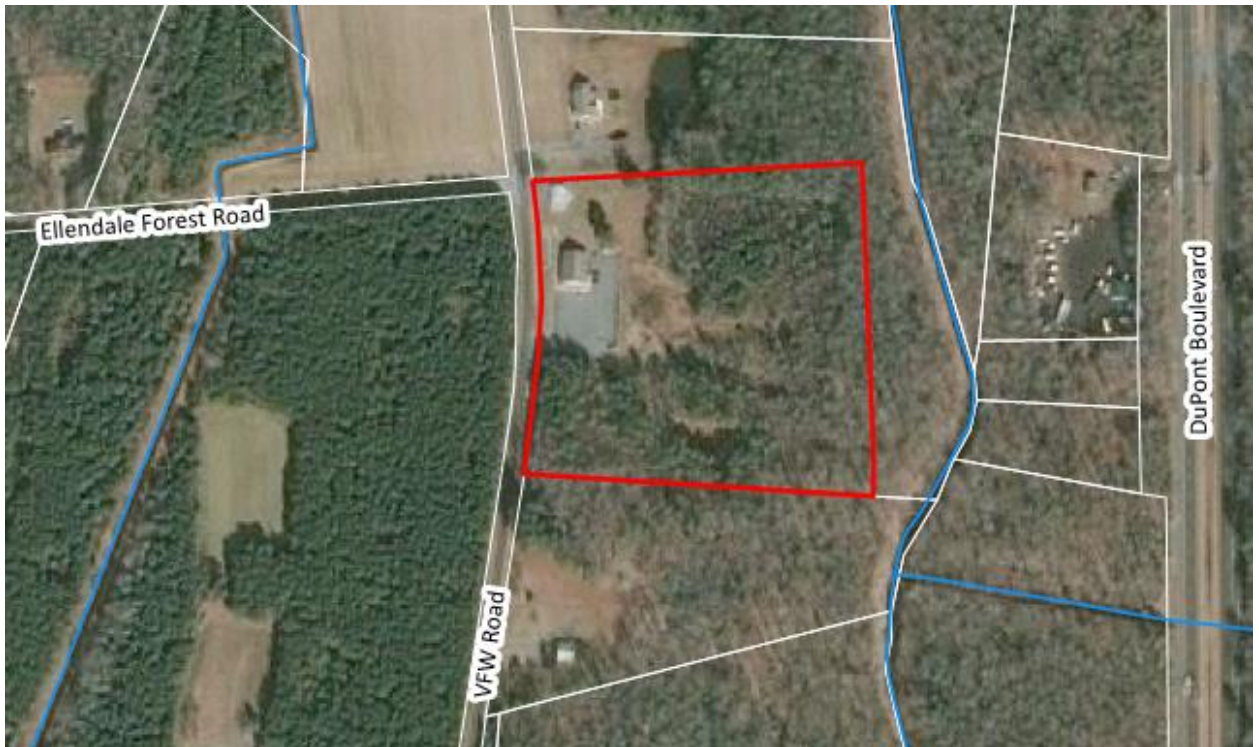
SOLID WALLS, LLC
CONDITIONAL USE #2231

1. This is an application to grant a conditional use of lands in a AR-1 Agricultural Residential District located on 9.51 acres property, more or less, in the Cedar Creek Hundred located on the east side of VFW Road a.k.a. Sussex County Road 607.



2. The applicant is Peter Nau President and Owner of Solid Walls, LLC. Mr. Nau has the property under contract to purchase.
3. The property is identified on the tax maps of the Sussex County Department of Finance as Tax Map No. 230-31.00 Parcel 24.00.
4. The property is the site of the Georgetown-Ellendale VFW Post 2931 which is part of an existing Conditional Use #1835 approved on June 16, 2009.

5. The properties are bordered on:
- a. North and East by a single-family detached residence on wooded lands;
 - b. South by a single-family detached residence on wooded lands;
 - c. West by VFW road which is a local road with connections to US Route 113 and Sammons Road which will provide easy and safe access to Georgetown, Ellendale and Milford



6. The proposed Conditional Use is for Concrete Contractor Office, Storage and Maintenance for Solid Walls, LLC.
7. Since 2005, Solid Walls, LLC has been a leading Delaware Company in the poured foundation industry providing poured concrete foundations, basements and slab floors to contractors and private homeowners in Delaware and Maryland. Solid Walls does business with over 30 residential contractors and employs up to 50-employees.

8. The purpose of the Conditional Use is to provide for certain uses which cannot be well adjusted to their environment in particular locations with full protection offered to surrounding properties by rigid application of the district regulations. These uses are generally of a public or semipublic character and are essential and desirable for the general convenience and welfare but, because of the nature of the use, the importance of the relationship to the Comprehensive Plan and possible impact not only on neighboring properties but on a large section of the county, require the exercise of planning judgment on location and site plan. The Conditional Use Site Plan Submitted shows the existing buildings that were used by the VFW in the past. These buildings will be utilized to support the office needs for Solid Walls, LLC. The site has an existing permitted entrance and sufficient parking that will be used for the business. The parking spaces will be used for employees and for the trucks and trailers used for the business. Two (2) additional storage and maintenance buildings are being proposed that will allow Solid Walls to store all materials out of site of the general public. Maintenance to work vehicles will be done inside of these buildings. In general, with the objective of ensuring a durable, harmonious and appropriate use of the land in accordance with the objectives of the Comprehensive Plan, the Conditional Use Site Plan presented with the application, assures a good arrangement and appearance and ensuring harmony with the neighborhood.
9. In the 2019 Sussex County Comprehensive Plan – the area for the proposed Conditional Use is identified to be in a Low-Density. The focus of business uses in Low Density Areas should be providing services to nearby residents. Commercial uses in these residential areas should be limited in their location, size and hours of operation. The Sussex Plan suggests that each application should be reviewed on its own merit and does not have a negative impact on the surrounding area or the county in general.
10. The 2015 Strategies for State Policies and Spending Map identifies the area as Investment 4.

11. The project will be subject to the “Conditions of Approval” which have been submitted as a part of this application.
12. The Conditional Use will be subject to Preliminary and Final Site Plan review and approval by the Planning & Zoning Commission.
13. The proposed conditional use meets the general purpose of the Zoning Ordinance being located in an appropriate location meeting the purpose of this district and the comprehensive plan by providing sufficient space in appropriate locations for certain uses which cannot be well adjusted to their environment in particular locations with full protection offered to surrounding properties by rigid application of the district regulations, which is essential and desirable for the general convenience, orderly growth, prosperity and welfare of the County.

SOLID WALLS, LLC
CONDITIONAL USE #2231
CONDITIONS OF APPROVAL

Conditional Use approval is subject to the following conditions:

- A. This use shall be limited to office, storage and maintenance for Solid Walls, LLC. No other businesses shall be conducted from the site and no vehicles associated with any other businesses shall be parked on the site. No retail sales shall be conducted from the site.
- B. To enhance the general character of the district and its compatibility with its residential and agricultural surroundings, one indirectly illuminated on-premises sign, not to exceed 32 square feet of sign area per side shall be permitted for the business.
- C. The hours of operation shall be limited to 6:00 am through 6:00 pm, Monday through Friday and 7:00 am through 2:00pm on Saturday. There shall not be any Sunday hours of operation.
- D. Any security lighting shall be screened so that it does not shine on neighboring properties or roadways.
- E. The applicant shall comply with all DelDOT requirements, including any entrance or roadway improvements.
- F. All stormwater management facilities shall be subject to the review and approval of the Sussex Conservation District. The final Site Plan shall include the approval of the Sussex Conservation District for the design and location of the stormwater management areas.
- G. There shall not be any dumping on the site and all dumpsters permitted on the site shall be screened from the view of neighboring properties and roadways.
- H. The Final Site Plan shall clearly show all areas for vehicle and equipment storage and parking, and these areas shall be clearly marked on the site itself.
- I. All equipment, trailer and vehicle maintenance and repair shall occur indoors.
- J. All loading areas, storage areas and trash container areas shall be screened and be located at least 50-feet from all property lines. This buffer area shall be shown on the Final Site Plan.
- K. Failure to comply with any of these conditions shall be grounds for termination of the Conditional Use Approval.
- L. The Final site Plan shall be subject to the review and approval of the Planning and Zoning Commission.

SITE DATA:

1. TAX MAP NUMBER:

230-31.00-24.00
DEED BOOK 3680, PG 192
2. OWNER'S NAME:

GEORGETOWN-ELLENDALE VFW POST 2931
3. DEVELOPER NAME:

SOLID WALLS LLC
4. DEVELOPER ADDRESS:

907 COW MARSH CREEK ROAD
CAMDEN WYOMING, DE 19934-2936
5. SITE ADDRESS:

14411 VFW ROAD
ELLENDALE, DE 19941
6. HUNDRED:

CEDAR CREEK
7. CURRENT ZONING:

AR-1 (AGRICULTURAL-RESIDENTIAL)/CU #1835
8. PROPOSED ZONING:

AR-1/CONDITIONAL USE
9. PRESENT USE:

VFW POST #2931
10. PROPOSED USE:

CONTRACTOR OFFICE AND STORAGE
11. REQUIRED SETBACKS:

FRONT - 40 FEET
SIDE - 15 FEET
REAR - 20 FEET
12. BUILDING HEIGHT:

42' ALLOWED
13. PARKING (ARTICLE XXII: OFF-STREET PARKING, CODE SECTION 115-162):

NO SPECIFIC CODE REQUIREMENT

EXISTING PARKING: 66 PARKING SPOTS
PROPOSED PARKING: 48 PARKING SPOTS (INCLUDING 6 TRAILER PARKING SPOTS)
14. WATER SUPPLY:

COMMERCIAL WELL
15. SEWER SUPPLY:

ON-SITE SEPTIC
16. LATITUDE AND LONGITUDE STATE PLAN COORDINATES:

LONGITUDE: W075° 21' 22.4109" LATITUDE: N038° 42' 11.2112"
17. TOTAL AREA (GROSS):

9.51± ACRES
- CONDITIONAL USE AREA:

9.51± ACRES
18. NET DEVELOPMENT AREA:

9.51± AC.
19. WETLAND AREA:

1.05± AC. (DNREC NAVMAP) & RECORD PLANS
20. WATERSHED:

NANTICOKE RIVER
21. 2019 FUTURE LAND USE MAP (SUSSEX PLAN) LOW DENSITY
22. 2015 STATE STRATEGIES & INVESTMENT LEVELS:

LEVEL 4
23. SITE CALCULATIONS

BUILDING AREA

EX. = 4,440 SF - (0.10 AC.)

PR. = 9,240 SF (0.21 AC.)

OPEN SPACE / PERVIOUS AREA

EX. = 104,979 SF - (2.41 AC.)

PR. = 102,176 SF (2.35 AC.)

PAVEMENT/IMPERVIOUS AREA

EX. = 26,112 SF - (0.60 AC.)

PR. = 26,112 SF (0.60 AC.)

WOODED AREA

EX. = 278,875 SF - (6.40 AC.)

PR. = 276,875 SF (6.35 AC.)

TOTAL

EX. = 414,403 SF (9.51 AC.)

PR. = 414,403 SF (9.51 AC.)
24. DELDOT

24.1. ROAD NAME - SCR 607 | VFW ROAD

24.1.1. FUNCTIONAL CLASSIFICATION - LOCAL ROAD

24.1.2. AADT = 120 (2019)

24.2. SPEED LIMIT = 50 MPH

24.3. PROXIMITY TO TRANSPORTATION DISTRICTS: NONE KNOWN

NOTES:

1. THE TOTAL AREA FOR THE SUBJECT PROPERTY IS 9.51 ACRES.

2. THIS SURVEY DOES NOT VERIFY THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHTS-OF-WAY CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS REQUESTED OR PROVIDED.

3. THIS PROPERTY APPEARS ON SUSSEX COUNTY TAX MAP 230-31.00, PARCEL 24.00, AND IS CURRENTLY ZONED AR-1 (AGRICULTURAL RESIDENTIAL).

4. CLASS OF SURVEY: RURAL.

5. DEED REFERENCE: DEED BOOK 3680, PAGE 192.

6. PROPERTY BOUNDARY BEARING SYSTEM IS BASED ON DELAWARE STATE PLANE COORDINATE SYSTEM. HORIZONTAL DATUM NAD83.

7. THE PROPERTY IS LOCATED IN ZONE "X" (UNSHADED) ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 10005C0140K, LAST REVISED 3/16/2015. ZONE "X" (UNSHADED) IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN.

8. THERE ARE WETLANDS ON THE PROPERTY ACCORDING TO THE DNREC ENVIRONMENTAL NAVIGATOR WEBSITE.

9. THE PROPERTY IS ZONED AR-1 (AGRICULTURAL-RESIDENTIAL DISTRICT).

10. BUILDING SETBACKS (CH. 115-25C):

FRONT - 40'

SIDE - 15'

REAR - 20'

11. THE SUBJECT SITE IS LOCATED IN THE NANTICOKE RIVER AREAS OF THE CHESAPEAKE BAY WATERSHED, PER DELAWARE DEPARTMENT OF NATURAL RESOURCES & ENVIRONMENTAL CONTROL (DNREC) ENVIRONMENTAL NAVIGATOR WEBSITE. STORMWATER DISCHARGE WILL BE HANDLED VIA EXISTING DISCHARGE TO THESE WATERSHEDS.

12. NO UNDERGROUND UTILITY MARKING WAS PERFORMED FOR THIS SURVEY.

13. ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY OWNER.

14. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN THE PLAN.

15. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE REJECTED.

16. DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO BE PERFORMED. IT MUST BE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.

17. PRIOR TO CONSTRUCTION, CONTRACTOR TO FIELD LOCATE AND RECORD ANY DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REMOVED OR REPLACED, ENGINEER TO VERIFY LOCATION AND EXTENT OF DAMAGE.

18. DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REPLACED OR REMOVED DURING CONSTRUCTION SHALL BE IMMEDIATELY REPORTED TO ENGINEER, CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED WORK WITHOUT CHARGE TO THE OWNER.

19. ALL SECURITY LIGHTING (IF NECESSARY) SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.

20. ALL FIRE LANES, EXITS, STANDPIPE AND SPRINKLER CONNECTIONS WILL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS.

21. MISS UTILITY SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO EXCAVATION.

22. MAINTENANCE OF THE STREETS WITHIN THE SITE WILL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR PROPERTY OWNERS WITHIN THE SITE. THE STATE AND COUNTY ASSUME NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.

23. THE HEIGHT, LOCATION, AND MATERIAL OF ALL FENCES, WALLS, SCREEN PLANTING AND LANDSCAPING WILL BE SHOWN ON THE FINAL SITE PLAN.

24. ANY PROPOSED SIGN DETAILS WILL BE SUBMITTED SEPARATELY.

25. THE INFORMATION PROVIDED ON THIS PLAN IS TAKEN FROM D.B. 3680, PG. 192, AND AERIAL IMAGING, AND IS NOT THE RESULT OF A FIELD SURVEY BY PENNONI ASSOCIATES INC.

SOLID WALLS LLC

CONDITIONAL USE (#2231) PLAN

CEDAR CREEK HUNDRED, SUSSEX COUNTY, DELAWARE

PREPARED FOR:

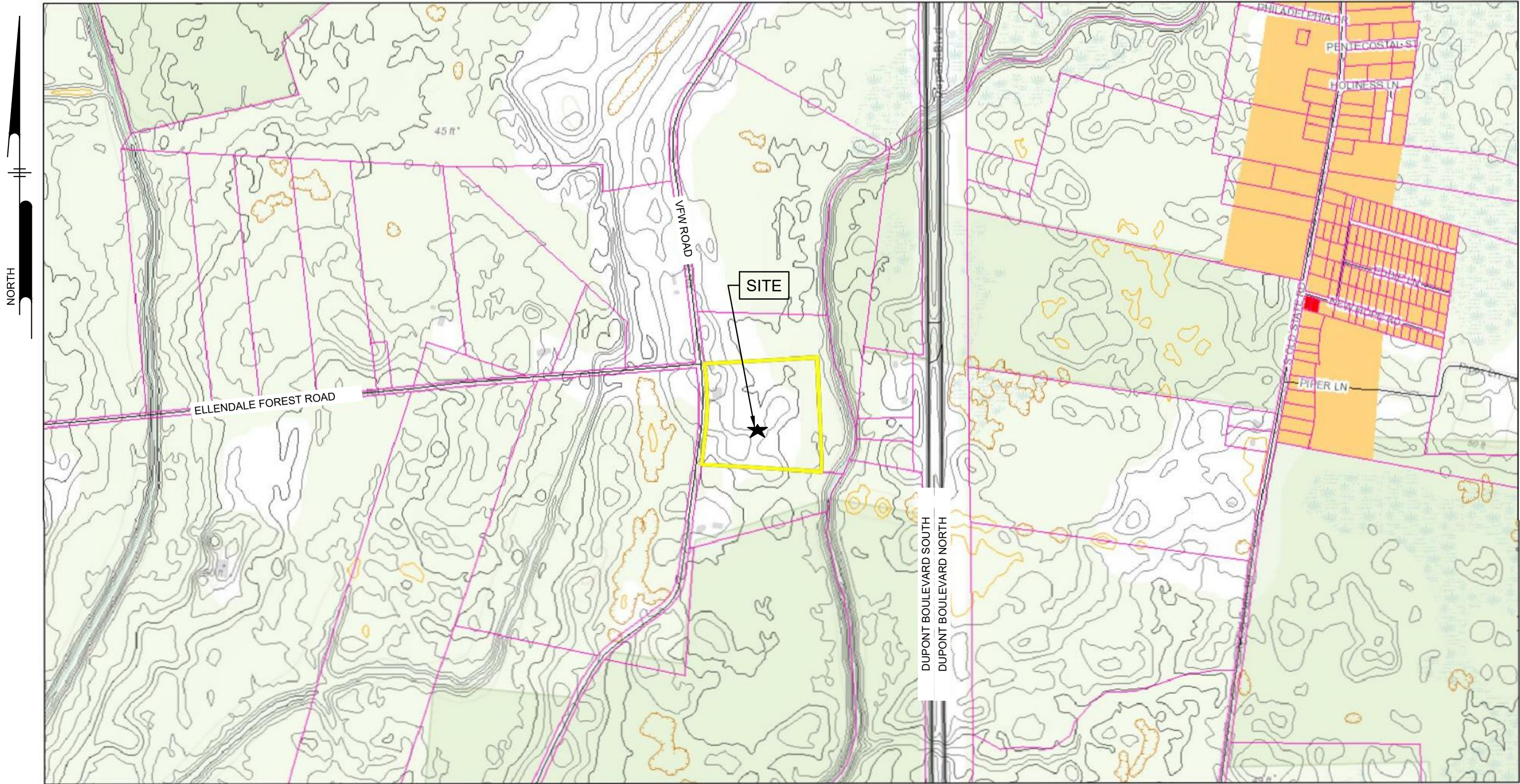
PETER NAU

907 COW MARSH CREEK ROAD

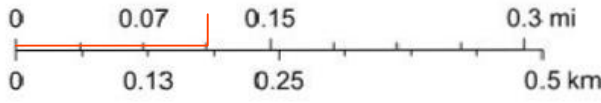
CAMDEN WYOMING, DE 19934-2936

(302) 284-3493

Sussex County



May 6, 2020



SCALE: 1" = 600'
Delaware Geological Survey, Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community, Sussex County, Sussex County Government

LOCATION MAP

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		BUILDING
		FULL DEPTH PAVEMENT
		CURB
		EDGE OF PAVEMENT
		EDGE OF GRAVEL
		EASEMENT
		FENCE
		POWER, UTILITY POLE
		PROPERTY, LINE
		LEGAL RIGHT-OF-WAY
		PROPERTY, CORNER FOUND
		PROPERTY, ADJOINING LINED
		SITE, MAIL BOX
		SITE, TRAFFIC SIGN
		SOIL BOUNDARY
		SOIL LABEL
		STORM SEWER, INLET
		STORM SEWER, HEADWALL
		STORM SEWER, MANHOLE
		STORM SEWER, UNDERGROUND
		MINOR CONTOUR
		MAJOR CONTOUR
		SPOT ELEVATION
		BUILDING RESTRICTION LINE
		SWALE/DITCH

OWNER- PARCEL 24.00
GEORGETOWN-ELLENDALE VFW POST 2931
14411 VFW ROAD
ELLENDALE, DE 19941
(302) 422-8333

ENGINEER/SITE DESIGNER
PENNONI ASSOCIATES INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968
(302) 684-8030

SURVEYOR
PENNONI ASSOCIATES INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968
(302) 684-8030

SCHOOL DISTRICT
MILFORD

FIRE DISTRICT
ELLENDALE FIRE DEPARTMENT

WATER UTILITY
COMMERCIAL WELL (PRIVATE)

SEWER UTILITY
ON-SITE SEPTIC (PRIVATE)

TELECOMMUNICATION
VERIZON

POSTAL DISTRICT
ELLENDALE

Sheet List Table		
Sheet Number	Drawing Number	Sheet Title
1	CS0001	COVER SHEET
2	CS1001	CONDITIONAL USE PLAN

ENGINEER CERTIFICATION:
IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SIGNATURE _____ DATE _____

SHARON K. CRUZ, PE (DE PE#12576)
PENNONI ASSOCIATES, INC.
18072 DAVIDSON DRIVE MILTON, DE 19968
(302) 684-8030

OWNER'S AND DEVELOPER'S CERTIFICATION:
IT IS HEREBY CERTIFIED THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

PETER NAU _____ DATE _____
907 COW MARSH CREEK ROAD
CAMDEN WYOMING, DE 19934-2936
(302) 284-3493



PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR
AND OWNER MUST BE NOTIFIED OF ANY
DISCREPANCIES BEFORE PROCEEDING WITH WORK

SOLID WALLS LLC

14411 VFW ROAD
ELLENDALE, DE 19941
TM: 230-31.00-24.00
CEDAR CREEK, SUSSEX COUNTY, DELAWARE

COVER SHEET

PETER NAU

907 COW MARSH CREEK ROAD
CAMDEN WYOMING, DE 19934-2936

ADREC CONDITIONAL USE NUMBER	NO.	REVISIONS	DATE
1			

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	SWALL20000
DATE	2020-05-15
DRAWING SCALE	AS SHOWN
DRAWN BY	SJD
APPROVED BY	MHD

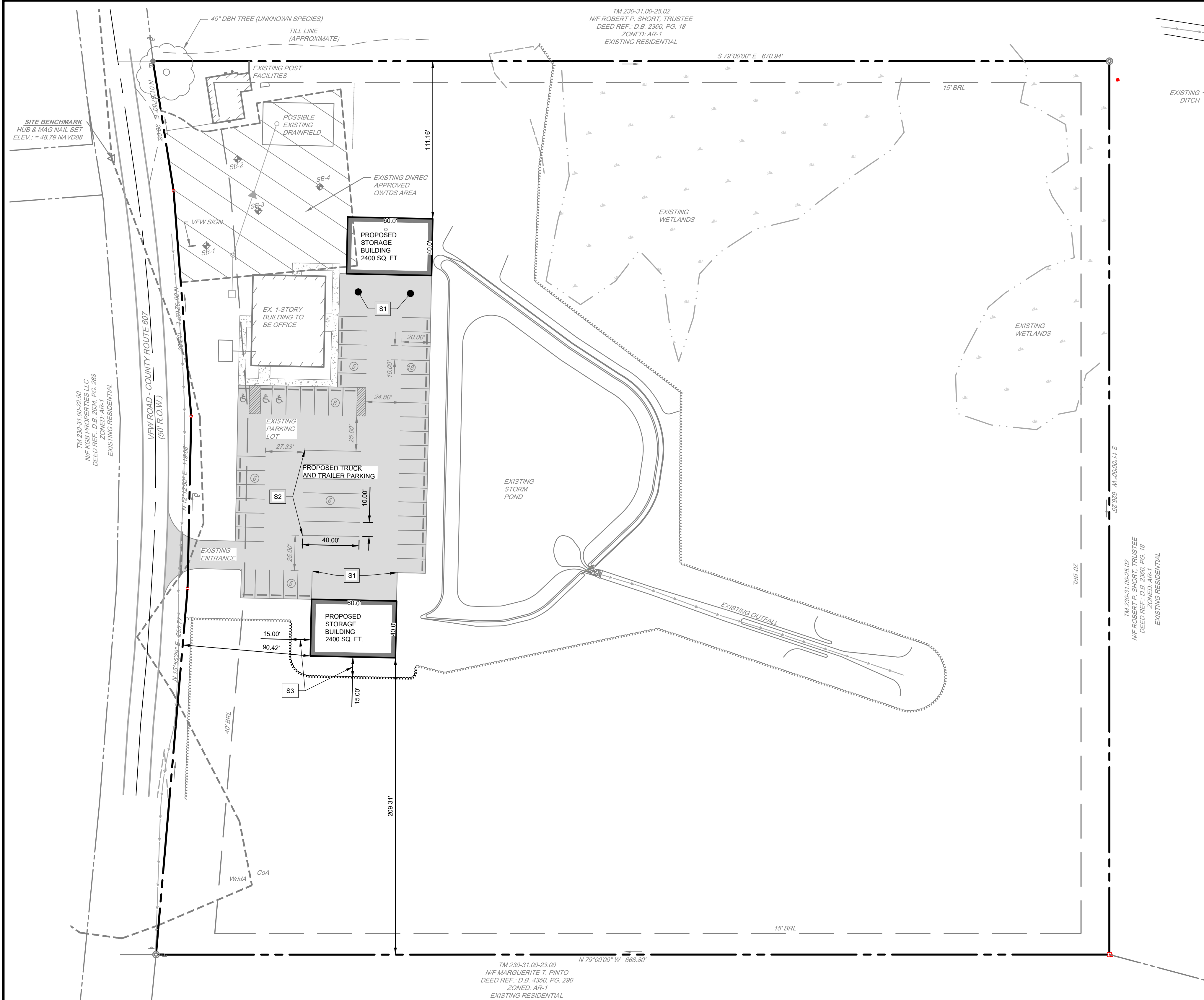
CS0001
SHEET 1 OF 2

U:\Accounts\SWALL\SWALL2000 - VFW POST #281-Conditional Use DESIGN_SHEETS\CS1001.dwg PROJECT: SWALL2000 - VFW POST #281-Conditional Use DESIGN_SHEETS\CS1001.dwg

DATE: 05/15/2020 10:09 AM BY: Shaw, J. Data

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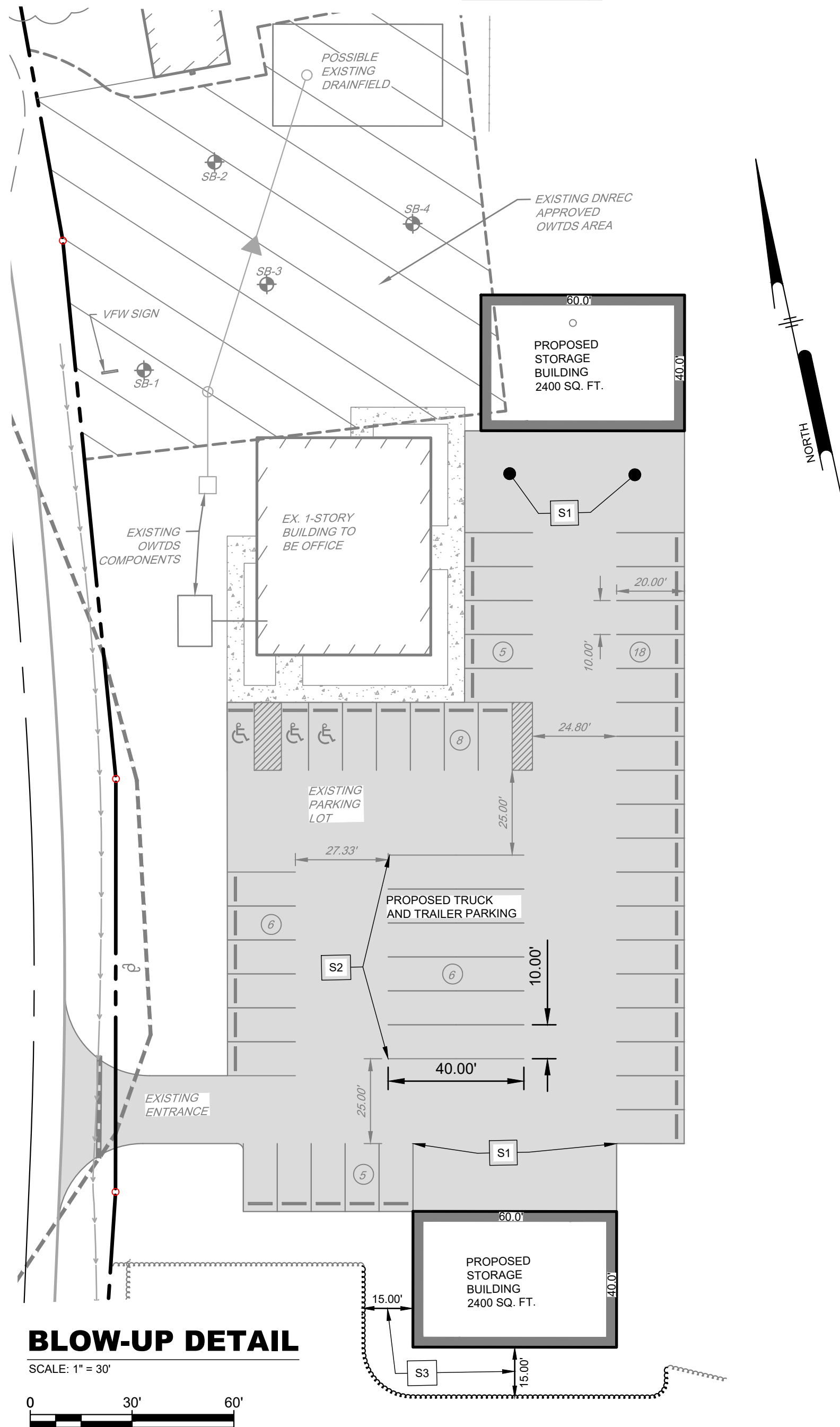
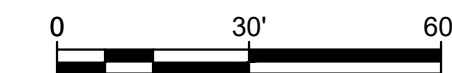


SITE PLAN
SCALE: 1" = 40'

KEYED NOTES

- S1 EXISTING PARKING SPOTS TO BE REMOVED FOR PROPOSED BUILDING(S)
S2 EXISTING PARKING SPOTS CONVERTED TO TRUCK AND TRAILER PARKING
S3 PROPOSED TREELINE TO BE AT LEAST 15' FROM EDGE OF PROPOSED BUILDING

BLOW-UP DETAIL
SCALE: 1" = 30'



LEGEND

EXISTING	PROPOSED	DESCRIPTION
		BUILDING
		FULL DEPTH PAVEMENT
		CURB
		EDGE OF PAVEMENT
		EDGE OF GRAVEL
		EASEMENT
		FENCE
		POWER, UTILITY POLE
		PROPERTY, LINE
		LEGAL RIGHT-OF-WAY
		PROPERTY, CORNER FOUND
		PROPERTY, ADJOINING LINED
		SITE, MAIL BOX
		SITE, TRAFFIC SIGN
		SOIL BOUNDARY
		SOIL LABEL
		STORM SEWER, INLET
		STORM SEWER, HEADWALL
		STORM SEWER, MANHOLE
		STORM SEWER, UNDERGROUND
		MINOR CONTOUR
		MAJOR CONTOUR
		SPOT ELEVATION
		BUILDING RESTRICTION LINE
		SWALE/DITCH
		WATER, UNDERGROUND
		TREE LINE
		VEGETATION BRUSH LINE
		FENCE
		LANDSCAPE BUFFER
		SIDEWALK

SOLID WALLS LLC

14411 VFW ROAD
ELLENDALE, DE 19941
TM: 230-31.00-24.00
CEDAR CREEK, SUSSEX COUNTY, DELAWARE

CONDITIONAL USE PLAN

PETER NAU

907 COW MARSH CREEK ROAD
CAMDEN WYOMING, DE 19834-2936

NO.	DATE	REVISIONS	BY

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PROJECT	SWALL20000
DATE	2020-05-15
DRAWING SCALE	1"= 40'
DRAWN BY	SJD
APPROVED BY	MHD



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