

COUNTY COUNCIL

DOUGLAS B. HUDSON, PRESIDENT
JOHN L. RIELEY, VICE PRESIDENT
JANE GRUENEBaum
MATT LLOYD
STEVE C. McCARRON



Sussex County

DELAWARE
sussexcountye.gov
(302) 855-7743

SUSSEX COUNTY COUNCIL

A G E N D A

July 29, 2025

12:30 P.M.

Call to Order

Approval of Agenda

Approval of Minutes - July 22, 2025

[Draft Minutes 072225](#)

Reading of Correspondence

Public Comments

Presentation – Philip Barnes, University of Delaware IPA

Todd Lawson, County Administrator

1. Recognition of Retiree – Bill Pfaff
2. Announcement of new County Economic Development Director
3. Board of Adjustments and Appeals Appointments
4. Administrator's Report



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 589
GEORGETOWN, DELAWARE 19947

12:45 p.m. Public Hearing

1. **“A RESOLUTION APPROVING IN ACCORDANCE WITH SECTION 147(f) OF THE INTERNAL REVENUE CODE OF 1986, AS AMENDED, THE ISSUANCE OF BONDS TO FINANCE PROJECTS FOR TIDALHEALTH NANTICOKE, INC. AND CERTAIN OF ITS AFFILIATES”**

[TidalHealth Nanticoke Inc., Tax Exempt Bond Public Hearing](#)

Gina Jennings, Finance Director

1. **2025 Tax Billing Update**

John Ashman, Director of Utility Planning & Design Review

1. **Permission to Prepare and Post Notices for Ennis-Becker Properties Expansion of the Sussex County Unified Sanitary Sewer District (Johnsons Corner Area)**

Hans Medlarz, Project Manager

1. **South Coastal WRF Treatment Process Upgrade No.3, C19-11A - Inland Bays Extension**

A. M.F. Ronca Change Order No. IB-008 – Site Work incl. S&EC and building pad

[SCWRF CO No IB-008](#)

Bob Bryant, Airport Manager

1. **Construct Parallel Taxiway B, Phase 2**

A. Approval of Change Order No. 1

[Parallel Taxiway B CO No. 1](#)

Grant Requests

1. **Shoes That Fit for their Sussex County shoe program**
[Shoes That Fit](#)
2. **Indian River School District for their marching band drumline**
[Indian River School District](#)
3. **Delaware Seashore Preservation Foundation, Inc. for their preservation project needs**
[Delaware Seashore Preservation Foundation](#)
4. **Delaware State College Association for their band to the beach event**
[Delaware State College Alumni Association](#)

Introduction of Proposed Zoning Ordinances

[Ord Intros CZ2040 CZ2021](#)

Council Members' Comments

Executive Session – Land Acquisition pursuant to 29 Del.C.§10004(b)

Possible action on Executive Session Items

1:30 p.m. Public Hearings

1. [Conditional Use No. 2578 filed on behalf of New Life Bible Fellowship Church](#)

“AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR AN ON-PREMISE ELECTRONIC MESSAGE CENTER SIGN TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN SUSSEX COUNTY, CONTAINING 2.18 ACRES, MORE OR LESS” (property is lying on the east side of Cannon Road [S.C.R. 307], 0.94 mile south of Indian Mission Road [Rt. 5]) (911 Address: 24771 Cannon Road, Millsboro) (Tax Map Parcel: 234-22.00-13.14)

[Public Hearing CU2578](#)

2. [Conditional Use No. 2584 filed on behalf of Martin Pacheco & Agustin Lee Pacheco-Quillen](#)

“AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR AN OUTDOOR ATHLETIC FIELD AND CONCESSION TRAILER/FOOD TRUCK TO BE LOCATED ON CERTAIN PARCELS OF LAND LYING AND BEING IN SUSSEX COUNTY, CONTAINING 8.07 ACRES, MORE OR LESS” (properties are lying on the west side of Camp Road [S.C.R. 532] approximately 915 ft. north of Eskridge Road [S.C.R. 531]) (911 Address: 20924 Camp Road, Bridgeville) (Tax Map Parcels: 331-2.00-18.19 & 18.20)

[Public Hearing CU2584](#)

Adjourn

-MEETING DETAILS-

In accordance with 29 Del.C. §10004(e)(2), this Agenda was posted on July 22,2025 at 4:15 p.m. and at least seven (7) days in advance of the meeting.

This Agenda was prepared by the County Administrator and is subject to change to include the addition or deletion of items, including Executive Sessions, which arise at the time of the meeting.

Agenda items may be considered out of sequence.

The meeting will be streamed live at <https://sussexcountyde.gov/council-chamber-broadcast>.

The County provides a dial-in number for the public to comment during the appropriate time of the meeting. **Note, the on-line stream experiences a 30-second delay.**

Any person who dials in should listen to the teleconference audio to avoid the on-line stream delay.

To join the meeting via telephone, please dial:

Conference Number: 1-302-394-5036

Conference Code: 570176

Members of the public joining the meeting on the telephone will be provided an opportunity to make comments under the Public Comment section of the meeting and during the respective Public Hearing.

The Council meeting materials, including the “packet”, are electronically accessible on the County’s website at: <https://sussexcountyde.gov/agendas-minutes/county-council>.

SUSSEX COUNTY COUNCIL - GEORGETOWN, DELAWARE, JULY 22, 2025

A regularly scheduled meeting of the Sussex County Council was held on Tuesday, July 22, 2025, at 10:00 a.m., in Council Chambers, with the following present:

Douglas B. Hudson	President
John L. Rieley	Vice President
Jane Gruenebaum	Councilwoman
Matt Lloyd	Councilman
Steve C. McCarron	Councilman
Todd F. Lawson	County Administrator
Gina A. Jennings	Finance Director
J. Everett Moore, Jr.	County Attorney

Call to Order	The Invocation and Pledge of Allegiance were led by Mr. Hudson. Mr. Hudson called the meeting to order.
M 316 25 Approve Agenda	A Motion was made by Mr. McCarron, seconded by Ms. Gruenebaum, to approve the Agenda as presented. Motion Adopted: 5 Yeas Vote by Roll Call: Ms. Gruenebaum, Yea; Mr. McCarron, Yea; Mr. Lloyd, Yea; Mr. Rieley, Yea; Mr. Hudson, Yea
Minutes	The minutes from July 15, 2025, were approved by consensus.
Correspondence	Mr. Moore reported that letters were received from Make-A-Wish Foundation and the Town of Blades thanking the Council for their donations.
Public Comments	Public comments were heard. Ms. Jennifer August spoke about the effects of pickleball courts. Ms. Alison White spoke about pending land use applications. A caller spoke about the Planning & Zoning Commission.
Administrator's Report	Mr. Lawson read the following information in his Administrator's Report: 1. <u>Delaware State Police Activity Report</u>

The Delaware State police year-to-date activity report for June

2025 is attached listing the number of violent crime and property crime arrests, as well as total traffic charges and corresponding arrests. In addition, DUI and total vehicle crashes investigated are listed. In total, there were 194 troopers assigned to Sussex County for the month of June.

[Attachments to the Administrator's Report are not attached to the minutes.]

ESRI Agreement **Megan Nehrbas, Senior Manager of GIS, presented an enterprise agreement amendment for Council's consideration.**

M 317 25
Approve
ESRI
Agreement
Amendment **A Motion was made by Mr. Rieley, seconded by Mr. Lloyd, that be it moved that Sussex County Council approve the contract addendum to extend the ESRI license agreement for an additional three-year term at a flat rate of \$190,000 per year.**

Motion Adopted: 5 Yeas

Vote by Roll Call: Ms. Gruenebaum, Yea; Mr. McCarron, Yea;
Mr. Lloyd, Yea; Mr. Rieley, Yea;
Mr. Hudson, Yea

Inland Bays
RWF **Hans Medlarz, Project Manager presented an amendment to M&M farm lease and a matching grant from the DE Resiliency fund afforestation for Council's consideration.**

M 318 25
Approve
M&M Farm
Lease
Amendment **A Motion was made by Ms. Gruenebaum, seconded by Mr. McCarron, that it be moved based on the recommendation of the Sussex County Engineering Department that County Council approve the second revision of the farm lease with M&M Farms, LLC and authorize the execution of documents related to Delaware Forest Resiliency Fund grant.**

Motion Adopted: 5 Yeas

Vote by Roll Call: Ms. Gruenebaum, Yea; Mr. McCarron, Yea;
Mr. Lloyd, Yea; Mr. Rieley, Yea;
Mr. Hudson, Yea

Wolfe Neck
Solar
Lagoon
Solar **Hans Medlarz, Project Manager, presented a lagoon solar permitting agreement for Wolfe Neck Regional Wastewater Facility for Council's consideration.**

M 319 25
Approve
Wolfe Neck
Lagoon **A Motion was made by Mr. McCarron, seconded by Ms. Gruenebaum, that it be moved based on the recommendation of the Sussex County Engineering Department that the County Council approve the permitting agreement for Blacktail I, II, & III as presented.**

- Solar** **Motion Adopted: 5 Yeas**
- Vote by Roll Call: Ms. Gruenebaum, Yea; Mr. McCarron, Yea;**
Mr. Lloyd, Yea; Mr. Rieley, Yea;
Mr. Hudson, Yea
- Old Business/
CU2581** **Under Old Business, Jamie Whitehouse, Planning & Zoning Director presented a Proposed Ordinance entitled “AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR STORAGE/WAREHOUSE BUILDINGS AND A CAR WASH TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN SUSSEX COUNTY, CONTAINING 24.87 ACRES, MORE OR LESS”.**
- The County Council held a Public Hearing on the application at its meeting on July 15, 2025. At the conclusion of the Public Hearing, action on the application was deferred for further consideration.**
- M 320 25** **A Motion was made by Mr. Rieley, seconded by Mr. Lloyd to Amend**
Amend **Condition 10D to remove the first sentence “If a unit is used for business**
Condition **purposes, that business may only use the area for climate-controlled**
10D/CU2581 **storage”.**
- Motion Adopted: 5 Yeas**
- Vote by Roll Call: Ms. Gruenebaum, Yea; Mr. McCarron, Yea;**
Mr. Lloyd, Yea; Mr. Rieley, Yea;
Mr. Hudson, Yea
- M 321 25** **A Motion was made by Mr. Rieley, seconded by Mr. Lloyd to Amend**
Amend **Condition 10L to read “One lighted or unlighted sign, not to exceed 32**
Condition **square feet per side, shall be permitted along Zion Church Road”.**
10L/
CU2581 **Motion Adopted: 5 Yeas**
- Vote by Roll Call: Ms. Gruenebaum, Yea; Mr. McCarron, Yea;**
Mr. Lloyd, Yea; Mr. Rieley, Yea;
Mr. Hudson, Yea
- M 322 25** **A Motion was made by Mr. Rieley, seconded by Mr. Lloyd to Adopt**
Adopt **Ordinance No. 4009 entitled “AN ORDINANCE TO GRANT A**
Ordinance **CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL**
No. 4009/ **RESIDENTIAL DISTRICT FOR STORAGE/WAREHOUSE BUILDINGS**
CU2581 **AND A CAR WASH TO BE LOCATED ON A CERTAIN PARCEL OF**
LAND LYING AND BEING IN SUSSEX COUNTY, CONTAINING 24.87
ACRES, MORE OR LESS” for the reasons and conditions given by the
Planning & Zoning Commission as follows and as amended by this Council:

1. This site was previously approved for a similar use, but without

**M 322 25
Adopt
Ordinance
No. 4009/
CU2581
(continued)**

- commercial or professional office space, on April 9, 2024, as Conditional Use # 2392. This is a new application for the site, keeping the main uses as indoor storage and warehouses, but adding office space as an accessory to the warehouse and storage uses. This recommendation allows the addition of office space, with limitations.
2. Like the prior Application, the purpose of this application is also to create climate-controlled storage and workspace areas for individuals with boats, recreational vehicles, motorcycles, cars and collectibles including an area for a car wash to serve the many individuals in the area who do not have room within their home and property to store or work on such items. This Application eliminates the pool and clubhouse amenity that was part of the prior application. It also reduces some of the land area included in the prior application.
 3. The site is in the vicinity of several areas that have developed with commercially- and - residentially-zoned properties. This includes property in the area with HR-1 (High Density) Zoning, GR (General Residential) Zoning, AR-1 Zoning and multiple business and commercial Zoning districts. This use is compatible with the surrounding uses and Zoning.
 4. Traffic generated by the proposed use will be minimal and will not have a negative impact on the neighboring properties or roadways. DelDOT has stated that the traffic generated by this use will be “minor.”
 5. The use is of a public or semi-public character that is desirable for the general convenience and welfare of the area and the County.
 6. The property is located in the Coastal and Developing Areas, which are both “Growth Areas” according to the Sussex County Comprehensive Plan. The conditional use is consistent with the Plan’s guidelines for these Areas, since it will provide convenient areas for businesses, homeowners, and property owners in this area of Sussex County.
 7. The site will be served by central water and sewer.
 8. There are wetlands that have been preliminarily delineated on the Property, and a 25-foot buffer is proposed from those wetlands except in two locations, which will be mitigated with approval from the Army Corps of Engineers.
 9. With conditions and limitations required as part of this recommendation, the conditional use will not adversely affect the neighboring and adjacent properties.
 10. This recommendation is subject to the following conditions:
 - a. This conditional use shall be limited to 180,500 square feet of warehouse/storage area, and a 2,500 square foot car wash area. The car wash shall be for the exclusive use of the owners and their families and guests; it shall not be operated commercially or used by people not otherwise affiliated with the primary use of this project. No operations that primarily involve or are similar to the following uses shall be permitted: retail; gyms or fitness centers; breweries or brewpubs; or food service.

**M 322 25
Adopt
Ordinance
No. 4009/
CU2581
(continued)**

- b. No unit or area within the conditional use shall be used as a dwelling or for housing. No overnight accommodation shall be allowed.
- c. There shall not be any outside storage, including boats, materials, RVs, or equipment, within the site.
- d. The property shall not be used by a business for manufacturing or industrial purposes, and the office space shall not be isolated or walled off from the remainder of each unit. No unit shall be primarily used as an office. In addition, the property may not be used by a business for meeting customers, as a showroom, or as a “mail-drop” or pick up or delivery location for customers.
- e. An oil and fluid recycling and disposal facility shall be provided, and its location shall be shown on the Final Site Plan.
- f. An RV sewer cleanout shall be provided on the property, and its location shall be shown on the Final Site Plan.
- g. All lighting on the site shall be downward screened so that it does not shine on neighboring properties or roadways.
- h. A fence shall be installed along the perimeter of this project. The location and type of fencing shall be shown on the Final Site Plan.
- i. Any dumpsters must be screened from the view of neighboring properties and roadways. The dumpster locations shall be shown on the Final Site Plan.
- j. The applicant shall comply with all DelDOT requirements for entrance and roadway improvements.
- k. There shall be adequate parking as required by the Code. The parking areas shall be clearly shown on the Final Site Plan and on the site itself. There shall be no parking within the property’s setbacks.
- l. One lighted or unlighted sign, not to exceed 32 square feet per side, shall be permitted along Zion Church Road.
- m. The Applicant shall submit as part of the Final Site Plan a landscape plan showing all “Limits of Disturbance” within the Property. These “Limits of Disturbance” shall be clearly marked on the Property itself.
- n. There shall be an on-site Management Office maintaining the property and the operation of it. It shall be open during regular business hours.
- o. The units shall only have bathrooms with a sink and a toilet. No showers or bathtub- type fixtures or plumbing connections shall be permitted.
- p. Any wetlands will be delineated on the Final Site Plan, and the plan shall also show a 25-foot buffer from those wetlands or a permit from the USACOE for mitigation (fill) in specific locations shown on the Final Site Plan.
- q. The applicant, its successors, and/or assigns, shall cause a condominium association to be formed to be responsible for the maintenance of the roads, parking areas, amenities, stormwater management facilities, and other common areas, and compliance with these conditions, which shall be incorporated into the

- M 322 25**
Adopt
Ordinance
No. 4009/
CU2581
(continued)
- condominium documents.
- r. The Final Site Plan shall include the approval of the Sussex Conservation District for the design and location of all stormwater management areas and erosion and sedimentation control facilities.
 - s. Any violation of these conditions may be grounds for termination of this conditional use.
 - t. The Final Site Plan shall be subject to the review and approval of the Sussex County Planning and Zoning Commission.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Ms. Gruenebaum, Yea; Mr. McCarron, Yea;
Mr. Lloyd, Yea; Mr. Rieley, Yea;
Mr. Hudson, Yea**

Grant
Requests

Mrs. Jennings presented grant requests for Council's consideration.

M 323 25
Town of
Bridgeville

A Motion was made by Mr. McCarron, seconded by Mr. Rieley to give \$1,000 (\$1,000 from Mr. McCarron's Councilmanic Grant Account) to the Town of Bridgeville for their police department's back to school bash.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Ms. Gruenebaum, Yea; Mr. McCarron, Yea;
Mr. Lloyd, Yea; Mr. Rieley, Yea;
Mr. Hudson, Yea**

M 324 25
American
Youth
Football,
Inc.

A Motion was made by Mr. McCarron, seconded by Mr. Rieley to give \$1,000 (\$1,000 from Mr. McCarron's Councilmanic Grant Account) to American Youth Football, Inc. for the Woodbridge AYF 2025 season.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Ms. Gruenebaum, Yea; Mr. McCarron, Yea;
Mr. Lloyd, Yea; Mr. Rieley, Yea;
Mr. Hudson, Yea**

M 325 25
Ocean View
Historical
Society

A Motion was made by Mr. Hudson, seconded by Mr. Rieley to give \$1,000 (\$1,000 from Mr. Hudson's Councilmanic Grant Account) to the Ocean View Historical Society for restoration efforts for their historical village.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Ms. Gruenebaum, Yea; Mr. McCarron, Yea;
Mr. Lloyd, Yea; Mr. Rieley, Yea;
Mr. Hudson, Yea**

M 326 25

A Motion was made by Mr. Hudson, seconded by Mr. Rieley to give \$4,000

Delaware Botanic Gardens (\$2,500 from Mr. Hudson's Councilmanic Grant Account, \$1,000 from Mr. Rieley's Councilmanic Grant Account and \$500 from Ms. Gruenebaum's Councilmanic Grant Account) to Delaware Botanic Gardens for their 2025 annual fundraising dinner.

Motion Adopted: 5 Yeas

Vote by Roll Call: Ms. Gruenebaum, Yea; Mr. McCarron, Yea;
Mr. Lloyd, Yea; Mr. Rieley, Yea;
Mr. Hudson, Yea

Proposed Ordinances Introductions Mr. Lloyd introduced a Proposed Ordinance entitled "AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A BORROW PIT TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN SUSSEX COUNTY, CONTAINING 30 ACRES, MORE OR LESS" filed on behalf of S&J Growers.

Mr. Lloyd introduced a Proposed Ordinance entitled "AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A MASONRY BUSINESS TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN SUSSEX COUNTY, CONTAINING 5.37 ACRES, MORE OR LESS" filed on behalf of Richard & Brandi Gentner, Jr.

Mr. Hudson introduced a Proposed Ordinance entitled "AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN A GR GENERAL RESIDENTIAL DISTRICT TO AMEND CONDITIONAL USE NO. 677 TO ALLOW FOR TWO (2) ADDITIONAL LOTS INTO THE RIVERWINDS (F.K.A. OAK ORCHARD WEST) MANUFACTURED HOME PARK TO BE LOCATED ON A 0.37 ACRE PORTION, MORE OR LESS, OF A CERTAIN PARCEL OF LAND LYING AND BEING IN SUSSEX COUNTY, CONTAINING 35 ACRES MORE OR LESS" filed on behalf of The Crossings at Oak Orchard.

Ms. Gruenebaum introduced a Proposed Ordinance entitled "AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR AN INDEPENDENT CARE FACILITY, RESTAURANT AND FITNESS CENTER TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN SUSSEX COUNTY, CONTAINING 4.833 ACRES, MORE OR LESS" filed on behalf of LIC Housing, LLC.

The Proposed Ordinances will be advertised for a Public Hearing.

CM Comments There were no Council Member comments.

M 327 25 Go Into At 10:45 a.m., a Motion was made by Mr. Rieley, seconded by Mr. McCarron to enter into an Executive Session for the purpose of discussing

Executive Session

matters related to land acquisition.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Ms. Gruenebaum, Yea; Mr. McCarron, Yea;
Mr. Lloyd, Yea; Mr. Rieley, Yea;
Mr. Hudson, Yea**

Executive Session

At 10:52 a.m., an Executive Session was held in the Basement Caucus Room to discuss matters related to land acquisition. The Executive Session concluded at 11:42 a.m.

M 328 25 Reconvene

At 11:48 a.m., a Motion was made by Mr. McCarron seconded by Ms. Gruenebaum to come out of the Executive Session and go back into the Regular Session.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Ms. Gruenebaum, Yea; Mr. McCarron, Yea;
Mr. Lloyd, Yea; Mr. Rieley, Yea;
Mr. Hudson, Yea**

E/S Action

There was no action related to Executive Session matters.

M 329 25 Adjourn

A Motion was made by Mr. Lloyd, seconded by Mr. McCarron to adjourn at 11:48 a.m.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Ms. Gruenebaum, Yea; Mr. McCarron, Yea;
Mr. Lloyd, Yea; Mr. Rieley, Yea;
Mr. Hudson, Yea**

Respectfully submitted,

**Tracy N. Torbert
Clerk of the Council**

{An audio recording of this meeting is available on the County's website.}

GINA A. JENNINGS, MBA, MPA
FINANCE DIRECTOR

(302) 855-7741 T
(302) 855-7749 F
gjennings@sussexcountyde.gov



Sussex County
DELAWARE
sussexcountyde.gov

MEMORANDUM:

TO: Sussex County Council
The Honorable Douglas B. Hudson, President
The Honorable John L. Rieley, Vice President
The Honorable Jane Gruenebaum
The Honorable Matt Lloyd
The Honorable Steve C. McCarron

FROM: Gina A. Jennings
Finance Director/Chief Operating Officer

RE: **TidalHealth Tax-Exempt Bond Public Hearing**

DATE: July 23, 2025

TidalHealth Nanticoke Inc., a nonprofit healthcare organization operating in Sussex County, would like to issue up to \$140,000,000 of tax-exempt bonds, of which, \$84,000,000 will be allocated to be used in Sussex County. A portion of these bonds will finance and/or refinance the acquisition, construction, improvement and/or equipping of healthcare facilities and other related property in Sussex County.

In order for the bonds to qualify as federally tax-exempt, the organization issuing the bonds must hold a public hearing in the county where the services are provided to satisfy Section 147(F) of the Internal Revenue Code. This public hearing will be held at the July 29th County Council meeting.

It is important to note that these bonds are obligations of the nonprofit TidalHealth Nanticoke and not Sussex County Government. The County Government simply provides a platform for the public hearing for the bonds to be tax-exempt.

The Senior Director of Facilities for TidalHealth will be present if you have any questions. Once the public hearing has occurred, Council may adopt the resolution with the short title to confirm the public hearing was held:

A RESOLUTION APPROVING, IN ACCORDANCE WITH SECTION 147(F) OF THE INTERNAL REVENUE CODE OF 1986, AS AMENDED, THE ISSUANCE OF BONDS TO FINANCE PROJECTS FOR TIDALHEALTH NANTICOKE, INC. AND CERTAIN OF ITS AFFILIATES

If you have any questions, please feel free to contact me.

SUSSEX COUNTY, DELAWARE

RESOLUTION

APPROVING, IN ACCORDANCE WITH SECTION 147(f) OF THE INTERNAL REVENUE CODE OF 1986, AS AMENDED, THE ISSUANCE OF BONDS TO FINANCE PROJECTS FOR TIDALHEALTH NANTICOKE, INC. AND CERTAIN OF ITS AFFILIATES

WHEREAS, TidalHealth Nanticoke, Inc., a nonprofit Delaware corporation (“Nanticoke”), and certain of its affiliates (together with its affiliates, the “Borrower”), has requested Maryland Health and Higher Educational Facilities Authority (the “Authority”), a body politic and corporate of the State of Maryland, constituting an instrumentality organized and existing under and by virtue of the Maryland Health and Higher Educational Facilities Authority Act to issue its revenue notes, bonds or other obligations in one or more series from time to time pursuant to a plan of financing (the “Bonds”) to provide financing and refinancing for eligible costs of a project consisting of the acquisition, construction, reconstruction, installation and equipping of certain health care facilities (including the reallocation of proceeds of bonds previously issued by the Authority for the benefit of the Borrower) (the “Project”), a portion of which facilities are or will be located in Sussex County (the “Delaware Project”), at the sites as described in the notice of public hearing attached hereto as Exhibit A; and

WHEREAS, the Bonds will be special limited obligations of the Authority payable solely from the loan repayments to be made by the Borrower to the Authority and certain funds and accounts established by the bond resolution for the Bonds; and

WHEREAS, Section 147(f) of the Internal Revenue Code of 1986, as amended (the “Code”), requires that the applicable elected representative of the governmental unit on behalf of which bonds are issued and of each governmental unit having jurisdiction over the area in which any facilities with respect to which financing is to be provided from the net proceeds of such bonds is located, approve bonds after a public hearing in order for a private activity bond to be a qualified bond under the Code; and

WHEREAS, the Sussex County Council is the applicable elected representative of the governmental unit having jurisdiction over the area in which the Delaware Project is located; and

WHEREAS, in accordance with Section 147(f) of the Code, a public hearing was held in connection with the issuance of the Bonds by this Council on July 29, 2025 in Sussex County Council Chamber, County Administration Building, 2 The Circle, Georgetown, Delaware, following the posting of a notice of such hearing on this County’s website not less than seven days prior to the date of the public hearing and no comments were received from the general public at such hearing; and

WHEREAS, the Borrower has requested that the Sussex County Council approve the issuance of the Bonds and the financing of the Delaware Project in order to satisfy the requirements of Section 147(f) of the Code.

NOW, THEREFORE, BE IT RESOLVED BY THE SUSSEX COUNTY COUNCIL:

SECTION 1. The issuance of the Bonds for the purpose of financing the Delaware Project, which is located in Sussex County, is hereby approved for purposes of Section 147(f) of the Code.

SECTION 2. The Sussex County Council hereby approves the issuance of the Bonds by the Authority for the purpose of financing the Delaware Project. It is the purpose and intent of the Sussex County Council that this Resolution constitutes approval of the issuance of the Bonds by Sussex County, which is one of the governmental units having jurisdiction over the area in which a portion of the Project is located.

SECTION 3. The Bonds are not a debt of Sussex County, the State of Delaware, or any political subdivision thereof and do not, directly, indirectly or contingently, obligate, in any manner, Sussex County, the State of Delaware, or any political subdivision or agency thereof or any political subdivision approving the issuance of the Bonds to levy any tax or to make any appropriation for payment of the Bonds or any costs incidental thereto. Neither the faith and credit nor the taxing power of Sussex County, the State of Delaware or any political subdivision or agency thereof or any political subdivision approving the issuance of the Bonds, shall be pledged to the payment of the principal of, premium, if any, or interest on the Bonds or any costs incidental thereto.

SECTION 4. The foregoing approval is for the purposes of the applicable provisions of the Code, as aforesaid, and does not constitute approval for any permit, license or zoning required for the construction or occupancy of any facilities to be financed or refinanced as part of the Delaware Project.

SECTION 5. The President of the County Council and the County Administrator, and other personnel, at the direction of such officers, of Sussex County are hereby authorized and empowered to take all such further action, and execute additional documents as they may deem appropriate to carry out the purpose of this Resolution.

SECTION 6. Any resolution or part of any resolution conflicting with the provisions of this Resolution is hereby repealed insofar as the same affects this Resolution. This Resolution shall take effect immediately.

**I DO HEREBY CERTIFY THAT THE FOREGOING IS A TRUE AND CORRECT COPY
OF A RESOLUTION ADOPTED BY THE SUSSEX COUNTY COUNCIL ON JULY 29,
2025.**

Tracy N. Torbert
Clerk of the Sussex County Council

NOTICE OF PUBLIC HEARING BEING HELD BY SUSSEX COUNTY, DELAWARE WITH RESPECT TO AN AMOUNT NOT TO EXCEED \$84,000,000 OF BONDS TO BE ISSUED BY MARYLAND HEALTH AND HIGHER EDUCATIONAL FACILITIES AUTHORITY FOR A PROJECT LOCATED IN SUSSEX COUNTY, DELAWARE.

NOTICE IS HEREBY GIVEN that on July 29, 2025, at 12:45 p.m., or as soon thereafter as the matter can be heard, a public hearing as required by Section 147(f) of the Internal Revenue Code of 1986, as amended (the “Code”), will be held by Sussex County, Delaware (the “County”) or by a designee appointed to conduct the hearing, at Council Chambers, Sussex County Administration Building, 2 The Circle, Georgetown, DE 19947, regarding the proposed issuance by Maryland Health and Higher Educational Facilities Authority (the “Authority”) of its revenue notes, bonds or other obligations in one or more series from time to time pursuant to a plan of financing, in an amount not to exceed \$140,000,000 (the “Bonds”), a portion of which in an amount not to exceed \$84,000,000 will be allocated to and used in the County (the “Sussex County Portion”).

The Bonds are expected to be issued by the Authority, a body politic and corporate of the State of Maryland, constituting an instrumentality organized and existing under and by virtue of the Maryland Health and Higher Educational Facilities Authority Act. The Bonds are anticipated to be qualified 501(c)(3) bonds as defined in Section 145 of the Code for healthcare facilities and other expenditures described herein. The Sussex County Portion will be lent to TidalHealth Nanticoke, Inc., a nonprofit Delaware corporation (“Nanticoke”), and certain of its affiliates (together with its affiliates, the “Borrower”), and used to pay all or a portion of the costs of (i) financing or refinancing the acquisition, construction, improvement, and or equipping of healthcare facilities and other related property located at various locations within Sussex County, Delaware, as described on Exhibit A attached hereto (the “Bond-Financed Facilities”), (ii) refinancing bonds previously issued for the benefit of the Borrower, (iii) paying capitalized interest on the Bonds, if any, and (iv) paying certain issuance expenses related to the Bonds (collectively, the “Delaware Project”). The initial legal owners and principal users of the Delaware Project are as set forth on Exhibit A attached hereto.

The Bonds are payable solely from loan repayments to be made by the Borrower and will not be debt obligations of the Authority, the State of Maryland, the County, the State of Delaware or any political subdivision or other governmental entity of either state.

The public is invited to attend the meeting at the location, date and time set forth above and all persons in attendance will be given the opportunity to be heard. The County requests that interested parties submit any comments in writing. All attendance inquiries should be directed to the County, c/o Gina Jennings, Finance Director at gjennings@sussexcountype.gov.

This notice is published in accordance with the requirements of the Code and the regulations promulgated thereunder.

DATE OF NOTICE:

ISSUED BY: SUSSEX COUNTY, DELAWARE

Exhibit A

Bond-Financed Facilities Located in Sussex County, Delaware

The proceeds of the Bonds, including proceeds from previously issued bonds of the Authority, will be or have been lent by the Authority in order to finance or refinance the acquisition, construction, renovation and equipping of healthcare facilities, including (without limitation) to:

(1) finance or refinance (i) the acquisition of land and (ii) the construction thereon and equipping of a three-story, approximately 90,000 square foot medical office building, a parking lot with approximately 770 spaces and site improvements, including, but not limited to, access roads and stormwater management (collectively, the “2025 Project”). The 2025 Project is and will be located at 26870 Dupont Boulevard, Millsboro, Delaware 19966. Nanticoke is the initial legal owner and principal user of the 2025 Project; and

(2) reallocate the use of proceeds of the Authority’s Revenue Bonds, Peninsula Regional Health System Issue, Series 2020A (the “2020A Bonds”) to finance or refinance:

(i) the renovation of existing facilities located at 30265 Commerce Drive, Millsboro, Delaware 19966; TidalHealth Peninsula Regional, Inc. is the initial legal owner and principal user of the project described in this paragraph 2(i);

(ii) (A) the renovation of existing facilities located at 100 Health Services Drive, Seaford, Delaware 19973 and (B) the construction of a new one-story, 6,200 square foot building located on the other side of the street directly opposite the parking lot for 201 Health Services Drive, Seaford, Delaware 19973 with Health Services Drive to the east, Rawlins Drive to the north and Bridgeville Highway to the west; TidalHealth Medical Partners, LLC is the initial legal owner and principal user of the project described in this paragraph 2(ii); and

(iii) the renovation of existing facilities located at 1033 W. Stein Highway, Seaford, Delaware 19973 and 801 Middleford Road, Seaford, Delaware 19973; Nanticoke is the initial legal owner and principal user of the project described in this paragraph 2(iii).

The items listed in subparagraphs (i), (ii) and (iii) are collectively referred to as the “DE 2020A Project”.

The Delaware Project may also include other capital expenditures and the costs of issuing the Bonds and includes land or interests in land, buildings, structures, machinery, equipment, furnishings or other real or personal property located on the same sites as the Delaware Project.

The initial legal owners and principal users and addresses of each portion of the Delaware Project are set forth above. The maximum aggregate principal amount of the Bonds issued with respect to the Sussex County Portion (including reallocated proceeds of the 2020A Bonds) will not exceed \$84,000,000. The maximum aggregate principal amount of the Bonds issued with respect to the 2025 Project will not exceed \$55,000,000. The maximum aggregate principal amount of the

Bonds (including reallocated proceeds of the 2020A Bonds) issued with respect to the DE 2020A Project will not exceed \$30,250,000 (which includes \$6,000,000, \$2,250,000, \$11,500,000 and \$5,500,000, respectively, for the facilities located at (i) 30265 Commerce Drive, Millsboro, Delaware 19966, (ii) 100-201 Health Services Drive, Seaford, Delaware 19973, (iii) 1033 W. Stein Highway, Seaford, Delaware 19973 and (iv) 801 Middleford Road, Seaford, Delaware 19973). The Bonds will be issued pursuant to a plan of financing for the Delaware Project that may entail the financing or refinancing from time to time by the Bonds including the financing and refinancing of the Bonds. Because of the possible inclusion of original issue discount bonds (some of which may be capital appreciation bonds) the total amount of Bonds payable at maturity may exceed the initial stated principal amount of the Bonds.

ENGINEERING DEPARTMENT

MIKE HARMER, P.E.
SUSSEX COUNTY ENGINEER

(302) 855-7370 T
(302) 854-5391 F
mike.harmer@sussexcountype.gov



Sussex County
DELAWARE
sussexcountype.gov

Memorandum

TO: Sussex County Council
The Honorable Douglas B. Hudson, President
The Honorable John L. Rieley, Vice President
The Honorable Jane Gruenebaum
The Honorable Matthew R. Lloyd
The Honorable Steven C. McCarron

FROM: Hans Medlarz, P.E., Project Manager

RE: ***South Coastal WRF Treatment Process Upgrade No.3 – Inland Bays Extension***
A. M.F. Ronca Change Order Nos. IB-008 – Site Work, S&EC, Storage Building Pad, etc.

DATE: July 29, 2025

The multi prime South Coastal RWF Treatment Process Upgrade No.3 was designed and bid in conjunction with the Rehoboth Beach WTP Capital Improvement Program, Phase 2. The **General Construction Project C19-11** was awarded on December 17, 2019, to M.F. Ronca & Sons, Inc. Since then, County Council authorized a series of change orders, granted Substantial Project Completion for the Rehoboth Beach WTP Capital Improvement Program, Phase 2 on November 14, 2022 and on December 10, 2024 for the South Coastal WRF Treatment Process Upgrade No.3 together with the balancing change orders 36.1 & 36.2.

South Coastal's multi prime construction team of M.F. Ronca & Sons, Inc. and BW Electric, Inc. have successfully and effectively executed the highly complex South Coastal's RWF Treatment Process Upgrade No.2. Both expressed their willingness to continue working with the County providing constructability input in the design modification process and pricing of the subsequent series of change orders to bring the most critical elements online in sequential order.

DNREC issued the associated construction and operations permits on June 17, 2024 after a seven (7) years process. Permit compliance was effective July 1, 2024, putting significant strain on the existing facility which should have been upgraded several years earlier.



Furthermore, the County's responses to DNREC's 2020 & 2022 requests for additional information necessitated significant design modifications. In combination, these circumstances require an innovative project implementation approach to establish the critical implementation path and construct individual components out of sequence to assure the best possible permit compliance. Therefore, Council concurred on July 16, 2024 with a staged construction implementation process under a series of change orders based on critical path implementation.

In order to financially separate the South Coastal RWF Treatment Process Upgrade No.3 project from the Inland Bay RWF Phase 2 Project the Finance Department suggested a transfer of retainage via a change order process. On July 15, 2025 Council approved Change Orders No. 37 & No. IB-007-GC to facilitate the transfer of \$500,000.00 in retainage.

On July 16, 2024, County Council had reaffirmed GHD, Inc. as "Engineer of Record" for the County's wastewater treatment process related projects at all facilities through June 30, 2029. Therefore, the Engineering Department met with GHD on several occasions to develop a scope of services Amendment 26 matching the Inland Bay RWF Phase 2 Project implementation method. GHD's scope had eight subcategories grouped in five cost centers. However, the individual cost centers are fluid, and funds can be exchanged between them as the priorities shift. GHD also committed to transition their cohesive South Coastal design team project and on July 16, 2024, Council approved GHD's Amendment 26 in the not to exceed amount of \$5,000,000.00 applied across the entire scope of services associated with the Inland Bays RWF Phase 2 Project fast track implementation.

The first scope item of the Inland Bay RWF Phase 2 project ready for two-stage pricing was the clarifier component under RFP-IB-001&002. The IB-001 included the costs associated with procuring the precast concrete and the equipment, the IB-002 consisted of the full assembly and tie-in of the two (2) new clarifiers and scum pump station. And the associated Change Order IB-001 was approved by Council on December 10, 2024, in the amount of \$3,471,541.57.

M.F. Ronca & Sons, Inc. submitted pricing for the second stage of the clarifier construction comprised of the distribution boxes, scum pump station, yard piping and equipment installations in the amount of \$2,023,505.90.

Ronca also priced the mobilization to the site per RFP-IB-003 in an upfront amount for the one-time expenses of \$208,250.00 and a monthly component covering ongoing overhead expenses in the amount of \$116,000.00 starting with the first construction invoicing. Normally the overhead expenses are included in the mark-up time and material work on a task basis but due to the project complexity and accelerated implementation approach in this particular case the Engineering Department recommended Ronca's staff be on site on a continuous basis.

Council approved M.F. Ronca & Sons, Inc.'s Change Order No. IB-002 in the amount of \$2,023,505.90 and Change Order No. IB-003 in the upfront amount of \$208,250.00 and the monthly amount of \$116,000.00 starting with the first invoice for actual physical work completed onsite.

Subsequently GHD issued RFPs IB-004 covering the integrated headworks and influent distribution structure, IB-005 for the conversion of lagoons 3 & 4 to aeration basins utilizing the equipment package furnished by Bioworks under a direct procurement contract approved by County Council on March 25, 2025 and IB-006 for the associated yard piping.

M.F. Ronca & Sons, Inc. submitted pricing of \$1,405,000.00, \$1,448,000.00 & \$1,637,000.00 respectively. GHD and the County Engineering Department reviewed the pricing and scope and found them competitive and complete. On May 13, 2025, County Council approved Change Order IB-004 in the amount of \$1,405,000.00, Change Order IB-005 in the amount of \$1,448,000.00 and Change Order IB-006 in the amount of \$1,637,000.00 to M.F. Ronca & Sons.

Electrical Construction Project C19-17 was awarded December 17, 2019, to BW Electric Inc. Since then, County Council authorized a series of change orders, granted Substantial Project Completion for the Rehoboth Beach WTP Capital Improvement Program, Phase 2 on November 14, 2022 and on March 21, 2025 for the South Coastal WRF Treatment Process Upgrade No.3 together with the balancing Change Order No. 29.

BW Electric, Inc. offered pricing for mobilization to the Inland Bays site per RFP-IB-003 in an upfront amount for the one-time expenses of \$57,417.94 and a monthly component covering ongoing overhead expenses in the amount of \$3,421.40 starting immediately. BW Electric, Inc., has a much smaller on-site overhead team and therefore chose to include its cost in the fixed percentage markup on a task-by-task basis.

On January 28, 2025, Council approved BW Electric, Inc.'s Change Order No. IB-003 in the upfront amount of \$57,417.94 and the monthly amount of \$3,421.40 starting with the February 2025 invoice.

The County's 5-year capital plan approved in the FY 24 Capital Budget anticipated several large projects at the Inland Bays Regional Wastewater Facility (RWF) including **the Effluent Loop Project** which provides for treated effluent distribution after completion of the Inland Bays RWF Phase 2 Project to County agricultural partners, forested spray sites under DNREC permitting, and a rapid infiltration basin to be constructed and maintained by Artesian Wastewater Resources on leased County property through 7 miles of mostly 18" – 24" diameter ductile iron pipeline with concrete meter vaults at twelve (12) distribution locations. The contract documents were publicly advertised and on April 9, 2024, County Council awarded the Loop Project, S24-01, to Atlantic Contracting & Material Co., Inc., (ACM) in the amount of \$7,649,916.00.

The Engineering Department completed supplemental construction drawings for the forested spray-field header piping in cooperation with the contractor and presented Change Order No.

1, using current unit pricing and new not to exceed costs related only to additional survey, tree clearing done directly by ACM, and labor associated with the atypical pipe assemblies where future distribution & diffuser piping will connect to the spray-field header. On October 15, 2024 Council approved Change Order No.1 for Project S24-01, in the amount of \$2,179,674.00.

The Loop Project was the initial step towards constructing a treated effluent distribution system at RWF including the pump station upgrade and tie-in; forested spray-field diffuser piping; treated effluent elevated storage tank; and electrical powering and communication control of the actuated control valves via integration to SCADA.

The 100,000 gallons treated **effluent elevated storage tank** is the centerpiece of the system pressure control. Two types of tanks were evaluated (i) spheroid and (ii) composite. Both are capable of housing the circulation pumping and chlorination systems in the base. After site selection and geotechnical evaluation GHD developed a performance specification which was distributed to the five (5) known tank manufactures. After a two-stage competitive selection process three (3) bids were received with Pittsburg Tank & Tower Group submitting the lowest responsible bid. On March 4, 2025 County Council issued a purchase order to Pittsburg Tank & Tower Group a purchase order in the amount of \$1,903,250.00.

The Inland Bays RWF Phase 2 Project includes conversion of and an unused original storage lagoon into two aeration basins (3&4) as well upgrade of the aeration system at the two existing basins (1&2) which were converted over ten years ago. GHD developed a Request for Proposals which was distributed to Bioworks and Parkson, the only two (2) companies in the field. After a two-stage competitive selection process both submitted costs and payment.

Based on GHD's and the Department's recommendation County Council approved the issuance of a purchase order to Bioworks in the amount of \$1,397,640.00 on March 25, 2025.

The Inland Bays RWF Phase 2 Project includes conversion of the existing disinfection contact chamber into a tertiary treatment process followed by UV disinfection. Three (3) filter manufacturers were considered. Evoqua was the most expensive due to the stainless-steel filter media while Aqua Aerobics and Nexom, both offered cloth filter media and were priced comparably lower. The Nexom purchase price is slightly more expensive than Aqua Aerobics', but the Nexom equipment will fit into the existing tank structure with less structural modifications and easier accessibility for maintenance. Therefore, the overall capital and lifetime maintenance costs to the County will be lowest using the Nexom equipment.

Of the three (3) UV manufacturers considered, Nuvonic was the most expensive and the closed vessel design was not conducive to installation in the existing contact chamber. Trojan Technologies, in line, and Glasco, vertically, were priced comparably, with Glasco slightly cheaper. On July 15, 2025 Council approved issuance of two purchase orders (i) Nexom for filtration equipment in the amount of \$798,300.00 and (ii) Glasco in the amount \$415,000.00 for UV equipment.

The Engineering Department designed and submitted the permitting for the site improvements, E&SC measures, drainage piping and the storage building pad under RFP-IB-008-GC. M.F. Ronca & Sons, Inc. submitted pricing for Site Work, S&EC, Storage Building Pad, etc. in the total amount of \$1,434,000.00 and unit pricing for column supports. With the final structural design not yet available the number of column supports for the storage building was conservatively estimated and can be adjusted downward using unit prices.

In summary, the Engineering Department recommends the issuance of Change Order No. IB-008-GC to M.F. Ronca & Sons, Inc. in the not to exceed amount of \$1,434,000.00 with the column number to be reduced based on final structural analysis and unit cost.

The Engineering Department prepared a list of outstanding scope items under the critical path staged construction implementation process below. Some of them may be grouped together under an aggregate versus an individual change order. This summary will be updated in subsequent memoranda to Council.

- *Activated sludge recycle and waste pump station no. 2*
- *Disinfection tank conversion to tertiary treatment & UV disinfection*
- *Effluent pump station no.1 rehabilitation*
- *Chemical feed systems incl. equipment*
- *Effluent storage lagoon hydraulic influent/effluent modifications,*
- *Irrigation PS No. 2 compliance monitoring*
- *Sludge pump station using ext. pumps*
- *Dewatering building remodeling*
- *Administration building remodeling under temp. facilities*
- *Modifications to aeration piping via modifications to RFP-004 or RFP-006*
- *Power distribution equipment and motor control center upgrades.*
- *Loop system fiber control components*
- *Additional blower procurement*
- *Second belt filter press procurement*
- *Storage Lagoon no. 1 cover with vendor installed option*



**SUSSEX COUNTY
CHANGE ORDER REQUEST**

A. ADMINISTRATIVE:

1. Project Name: **Inland Bays Expansion – General Construction**
2. Sussex County Project No. C19-11A
3. Change Order No. IB-008
4. Date Change Order Initiated - 07/29/25
5.
 - a. Original Contract Sum \$ 0
 - b. Net Change by Previous Change Orders \$13,477,297.47
 - c. Contract Sum Prior to Change Order \$13,477,297.47
 - d. Requested Change \$ 1,434,000.00
 - e. Net Change (No. of days) 0
 - f. New Contract Amount \$14,911,297.47
 - g. Total Munis Contract \$59,451,179.49
6. Contact Person: Hans Medlarz, P.E.
Telephone No. (302) 855-7370

B. REASON FOR CHANGE ORDER (CHECK ONE)

- ☐ 1. Differing Site Conditions
- ☐ 2. Errors and Omissions in Construction Drawings and Specifications
- ☐ 3. Changes Instituted by Regulatory Requirements
- ☐ 4. Design Change

- ☐ 5. Overrun/Underrun in Quantity
- ☐ 6. Factors Affecting Time of Completion
- ☒ 7. Other (explain below):

C. BRIEF DESCRIPTION OF CHANGE ORDER:

Preparation and installation of a stormwater drainage network, construction of a new concrete storage building pad with apron and construction/extension of access roads.

D. JUSTIFICATION FOR CHANGE ORDER INCLUDED?

Yes ☒ No ☐

E. APPROVALS

1. M.F. Ronca & Sons, Inc., Contractor


 7/25/2025

Signature Date

David A. Ronca, CEO & General Manager

Representative's Name in Block Letters

2. Sussex County Project Engineer

 7/25/25

Signature Date

3. Sussex County Council President

Signature Date

Request for Proposal

Project	Inland Bays RWF Expansion		
Owner	Sussex County		
Contract No.	C19-11: General Construction	GHD Project no.	12645844
Contractor is requested to provide a Change Proposal for the following proposed modifications to the Work. Contractor's proposal shall be submitted to Engineer for review and shall adhere to all requirements of the Contract Documents. If found acceptable to Owner and Engineer, Contractor's Change Proposal will be incorporated into the Work via Change Order.			
RFP No.	IB-008-GC		
RFP Subject	Sediment & Erosion Control, Site Grading; Stormwater Piping; Building Pad w/ Drainage; Paving, etc. *		
Issued By	H. Medlarz, S. Clark	Date	July 15, 2024 rev.

* Excluding the construction staging area, office trailer, associated stabilized construction entrances and perimeter controls covered under IB-003-GC

Description of Proposed Scope Changes:

- a. Install silt fence and super silt fence (either one not already covered under IB-003), stabilized construction entrances and ground protection mats as shown on sheet 6.03A.
- b. Install the initial section of the stormwater drainage network as shown on sheet 6.03A with inlet protection and riprap outlet protection. Install a pump sump within the existing forebay for dewatering to the adjoining existing stormwater pond.
- c. During the excavation of the proposed clarifiers install sump pumps or well points under required DNREC permits with standard geotextile dewatering bag. The associated cost is covered under IB-002. If larger storage volumes are required, construct a compost log sediment trap as shown on sheet C6.06 with contingent cost covered under this RFP.
- d. Remove all aggregate in existing parking lot between fence and proposed storage building pad. Stockpile material to be used as aggregate base course for North Field access road and apron. Place select fill and a minimum of 4" of topsoil. Seed and stabilize per note 21 of the Cover sheet.
- e. Construct the new 4,000 psi concrete storage building pad incl. Permacast columns per sheet C6.09C using imported graded aggregate below concrete slab.
- f. Construct North Field access road and storage building apron per pavement section B on sheet C6.09C using stockpiled aggregate. Secure perimeter with concrete barriers leaving 10-foot openings between each.



TELEPHONE 610/759-5100
FACSIMILE 610/746-0974

CONTRACTORS

179 Mikron Road, Bethlehem, PA 18020

July 24, 2025

Mr. Steven Clark, P.E.
GHD
16701 Melford Boulevard, Suite 330
Bowie, MD 20715

Re: Sussex County
Inland Bays RWF Expansion
Proposed Change Order Request No. 554-01-008
E&S Controls

Dear Mr. Clark:

Pursuant to GHD's RFP-IB-008-GC, Michael F. Ronca & Sons, Inc. hereby proposes to furnish all necessary labor, materials and equipment for installation of the Site Utilities as identified in the RFP, for the Lump Sum Price of One Million Four Hundred Thirty-Four Thousand Dollars and 00 Cents.....\$1,434,000.00.

This proposal is based on all information identified in GHD's RFP IB-008-GC, dated July 15, 2025, Inland Bays RWF Expansion Sediment & Stormwater Management Plan Drawings C6.01, C6.03A, C6.03B, C6.03C, C6.04, C6.05, C6.06, C6.07, C6.08, C6.09A, C6.09B, C6.09C and as further clarified in the "Scope of Work" and "Listing of Qualifications/Exclusions" below.

Scope of Work:

- Install additional silt fence & super silt fence, stabilized construction entrances and stabilized construction access roads as shown on E&S Drawings (not already covered in IB-003). Additional 375LF of super silt fence, beyond those shown on the E&S drawings, is also included per V. Thompson 07.17.25 email request.
- Install entire stormwater drainage network as shown on E&S Drawings and per pipe, structure, and RipRap Schedules including modifications to County furnished Nyloplast inlets as identified on drawing C6.09A and 60LF of 12" Duraslot Drainage Pipe identified on Drawing 06.03.C.
- Construct compost log sediment trap for additional dewatering volumes if determined to be required.
- Remove all aggregate in existing parking lot between fence and proposed storage building pad. Stockpile material to be used as aggregate base course for North Field access road and apron. Place select fill and a minimum of 4" of topsoil. Seed and stabilize per note 21 of the Cover sheet.
- Construct the new 4,000 psi concrete storage building pad incl. Permacast columns per sheet C6.09C using imported graded aggregate below slab.
- Construct North Field access road and storage building apron per pavement section B on sheet C6.09C using stockpiled aggregate and secure perimeter with concrete barriers as shown on drawings.
- Remove temporary stabilized construction access roads and construct/extend the access road to the existing clarifiers as shown on sheet C6.03B per pavement section A on sheet C6.09C using imported aggregate. All excess soil material from the road box out shall be hauled to the designated on-site stockpile area.

July 24, 2025
Mr. Steven Clark, PE
Page Two

- As work progresses, stabilize complete portions using select fill and a minimum 4" of topsoil, fine grade and apply permanent seeding per note 21 on the Cover sheet.
- Flush out the stormwater pipes for any accumulated sediment, and remove sediment from within the forebay, with inspection by the certified construction reviewer and/or SCD construction site reviewer.
- Install all final pavement and site restoration as identified on drawing C6.03C including hot mix paving, gravel roadways, erosion control matting and revegetation.
- Remove the pumping pit and any accumulated sediment from the existing stormwater pond forebay. Dispose of accumulated material in the onsite stockpile.

Listing of Qualifications/Exclusions:

- RFP IB-008-GC Item a., access road for initial construction activities to be stabilized primarily utilizing aggregate and routed to provide most efficient access for construction activities. Timber matting to be utilized for areas which cannot be adequately stabilized utilizing aggregates.
- RFP IB-008-GC Item n., third party construction reviewer and/or SCD construction site reviewer for inspecting storm pipe flushing and cleaning of forebay sediment is assumed to be by GHD and/or Sussex Co. Any costs for an outside agency third party inspector is specifically excluded.
- Proposal does not include removal and revegetation of staging areas covered under IB-003-GC.
- Power and water consumption costs for construction activities is specifically excluded.
- Offsite disposal of excess excavated materials is specifically excluded.
- Proposal includes bond costs for work identified in this proposal.
- Permit fees are specifically excluded.
- Rock removal is specifically excluded, however, not anticipated based on the Geotechnical Report.
- Prevailing wage rates are excluded.
- Domestic steel requirements are specifically excluded.
- Construction testing for compaction, concrete, reinforcing steel, structural steel, etc. is assumed to be by Owner and is specifically excluded.

Thank you for the opportunity to provide this proposal. Should you have any questions concerning the same, or require additional information, please do not hesitate to contact me.

Regards,

Scott Wachinski

Project Manager

cc: HO File 554-01
Hans M. Medlarz, P.E. – Sussex Co.
David A. Ronca – M.F. Ronca

PROPOSED SCHEDULE OF VALUES
SUSSEX COUNTY, DE
INLAND BAYS RWF PHASE 2 EXPANSION
RFP-IB-008-GC (E&S Controls)

Bid Item

No.	Description	U/M	Qty	Unit Price	Amount
RFP-IB-008-GC (E&S Controls)					
010	Bonds	LS	1.00	\$17,990.00	\$17,990.00
020	Silt Fence/Super Silt Fence & Stabilized Access Rds	LS	1.00	\$86,000.00	\$86,000.00
030	Initial Stormwater Piping	LS	1.00	\$124,000.00	\$124,000.00
040	Dewatering Sed Trap	LS	1.00	\$2,000.00	\$2,000.00
050	Remove/Restore Ex. Parking Lot Adjacent to Storage	LS	1.00	\$101,000.00	\$101,000.00
060	CIP Storage Building Foundation	LS	1.00	\$301,010.00	\$301,010.00
070	North Field Access Rd. & Bldg. Apron	LS	1.00	\$80,000.00	\$80,000.00
080	Removed Temp Access Rds. & Extend Perm. To Clarifiers	LS	1.00	\$47,000.00	\$47,000.00
090	Topsoil & Seed Completed Work Portions	LS	1.00	\$85,000.00	\$85,000.00
100	Complete Remaining Stormwater Piping	LS	1.00	\$195,000.00	\$195,000.00
110	Complete Remaining Topsoil & Seeding	LS	1.00	\$109,000.00	\$109,000.00
120	Flush Stormwater Piping and Clean Forebay	LS	1.00	\$63,000.00	\$63,000.00
130	Asphalt Paving and Stone Roadways	LS	1.00	\$185,000.00	\$185,000.00
140	Remove E&S Controls	LS	1.00	\$38,000.00	\$38,000.00
					\$1,434,000.00

The Schedule of Values is for billing purposes only. Accordingly, the Quantities, Unit Cost and Lump Sum Cost Amounts provided herein shall not be considered in development of Contract Change Orders, additions, credits, withholdings or other adjustments thereof.

Total **\$1,434,000.00**

Standard Sediment & Stormwater Construction Notes

1. The Sussex Conservation District shall be notified in writing 5 days prior to commencing with construction. Failure to do so constitutes a violation of the approved Sediment and Stormwater Management Plan.
2. Review and/or approval of the Sediment and Stormwater Management Plan shall not relieve the contractor from his or her responsibilities for compliance with the requirements of the Delaware Sediment and Stormwater Regulations, nor shall it relieve the contractor from errors or omissions in the approved plan.
3. If the approved plan needs to be modified, additional sediment and stormwater control measures may be required as deemed necessary by DNREC or the Delegated Agency.
4. Following soil disturbance or redistribution, permanent or temporary stabilization shall be completed for all perimeter sediment controls, soil stockpiles, and all other disturbed or graded areas on the project site within 14 calendar days unless more restrictive Federal requirements apply.
5. All erosion and sediment control practices shall comply with the Delaware Erosion and Sediment Control Handbook, latest edition.
6. At any time a dewatering operation is used, it shall be previously approved by the Agency Construction Site Reviewer for a non-erosive point of discharge, and a dewatering permit should be approved by the DNREC Well Permitting Branch.
7. Approved plans remain valid for 5 years from the date of approval.
8. Post construction verification documents shall be submitted to Sussex Conservation District within 60-days of stormwater management facility completion.
9. Approval of a Sediment and Stormwater Management Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.
10. The Notice of Intent for Storm Water Discharges Associated with Construction Activity under a NPDES General Permit for this project is # 5918. The permittee of record shall not be relieved of their responsibilities until a Notice of Termination has been processed by the Department.
11. The owner shall be familiar with and comply with all aspects of the NPDES Construction General Permit.
12. The contractor shall at all times protect against sediment or debris laden runoff or wind from leaving the site. Perimeter controls shall be checked daily and adjusted or repaired to fully contain and control sediment from leaving the site. Accumulated sediment shall be removed when it has reached half of the effective capacity of the control. In addition, the contractor may need to adjust or alter measures in times of adverse weather conditions, or as directed by the Agency Construction Site Reviewer.
13. Before any earthwork or excavation takes place, the contractor should call Miss Utility at 811 or 1-800-282-8555 at least 48 hours prior to construction, to have all existing utilities marked onsite.
14. Best available technology (BAT) shall be employed to manage turbid discharges in accordance with requirements of 7 Del.C. Ch. 60 and the current Delaware Construction General Permit (CGP).
15. Documentation of soil testing and materials used for temporary or permanent stabilization including but not limited to soil test results, seed tags, soil amendment tags, etc. shall be provided to Sussex Conservation District to verify that the permanent or temporary stabilization has been completed in accordance with the approved plan.
16. The Sussex Conservation District may require additional soil testing and reapplication of permanent or temporary stabilization in accordance with the specifications in the Delaware Erosion and Sediment Control Handbook, or alternative measures that provide functional equivalency.
17. When directed by Sussex Conservation District, the Owner shall acquire the services of a third party Certified Construction Reviewer (CCR) to perform weekly construction reviews. Sediment and Stormwater Management Plans approved by the District shall have a third party CCR.
18. It shall be the responsibility of the contractor to maintain and repair all erosion and sediment control and stormwater management practices during construction and utility installation.
19. If dust control becomes a problem, contractor shall implement dust control measures as shown on C06.07.
20. It shall be the responsibility of the owner to operate and maintain each Post Construction Stormwater Management Facility.
21. Seeding/Mulch/Topsoil
 - 21.1. Temporary seeding of disturbed areas shall comply with Mix No. 4 from figure 3.4.3, as shown on sheet C06.05.
 - 21.2. Permanent seeding of disturbed areas shall comply with Mix No. 6 from figure 3.4.3, as shown on sheet C06.05.
 - 21.2.1. All areas not covered by buildings or pavement shall be seeded with the permanent seeding mixture listed above.
 - 21.2.2. A minimum of 4" of topsoil shall be applied to all areas requiring seeding. Areas of "cut" shall be undercut and final grades established with a minimum of 4" of topsoil.
 - 21.2.3. Mulch disturbed areas immediately after seeding. Use small grain straw mulch with a minimum application rate of 2 tons/acre. Mulch is to be anchored by hand punching or crimper punching.
22. North American Green SC150BN(SSM-III) erosion control matting or approved equal shall be used on all slopes of 3:1 or greater.
23. All stone (with the exception of check dams) shall be underlain with Mirafi 600X geotextile or approved equal.
24. Compost filter logs shall be 3 mil HDPE.
25. If construction activity is completed or ceases for a period of 14 days, all disturbed areas are to be stabilized with temporary or permanent seeding per this plan.

OWNER'S CERTIFICATION STATEMENT

"I, the undersigned, certify that all land clearing, construction and development should be done pursuant to the approved plan and that responsible personnel (i.e., Blue Card Holder) involved in the land disturbance will have a Certification of Training prior to initiation of the project, at a DNREC sponsored or approved training course for the control of erosion and sediment during construction. In addition, I grant the DNREC Sediment and Stormwater Program and/or the relevant Delegated Agency the right to conduct onsite reviews, and I understand my responsibilities under the NPDES Construction General Permit, as referenced on this Coversheet."

Mark Parker, PE
2 The Circle, Georgetown DE 19947
(302) 855-7382
mark.parker@sussexcountype.gov

ENGINEER'S STATEMENT

"I hereby certify that this plan has been prepared under my supervision and to the best of my knowledge complies with the applicable state and local regulations and ordinances."

Mark Parker, PE
2 The Circle, Georgetown DE 19947
(302) 855-7382
mark.parker@sussexcountype.gov

Inland Bays Regional Wastewater Facility Expansion Sediment & Stormwater Management Plan

Indian River Hundred, Sussex County, Delaware
Inland Bays Watershed, HUC 8: Chincoteague,
HUC 10: Rehoboth Bay
Tax Map# 234-22.00-11.00



Sussex County Engineering Department

2 The Circle, P.O. Box 589, Georgetown, DE 19947

Ph: 302-855-7718, Fax: 302-855-7799

Project Data

Date: November 13, 2024
Owner/Developer/Designer: Sussex County
c/o Mark Parker, PE
Assistant Sussex County Engineer
2 The Circle, P.O. Box 589
Georgetown, DE 19947
Ph: (302) 855-7382
email: mark.parker@sussexcountype.gov
234-22.00-11.00
N/A
3154
29445 Inland Bays Rd, Millsboro, DE 19966
38.637303, -75.229850
53.30 AC
53.30 AC
N/A
Wastewater Treatment Facility
Wastewater Treatment Facility
POA (onsite) 38.635449, -75.225540
53.30 AC
53.30 AC
NAVD 88
NAD 83/91
Yes

Tax Map #:
PLUS #
SCD #
Site Address
Lat/Long:
Existing Site Area:
Proposed Site Area:
Existing Wetland Area:
Existing Condition:
Proposed Condition:
Proposed Discharge Location:
Total LOD per Discharge Location:
Total LOD:
Vertical Datum:
Horizontal Datum:
3rd Party CCR Required:

LEGEND

PROPOSED	EXISTING
— P —	— P —
— R —	— R —
— S —	— S —
— M —	— M —
— J —	— J —
— SF —	— SF —
— SSF —	— SSF —
— SAP —	— SAP —
— LOD —	— LOD —
	12" RCP
	CATCH BASIN /STORM DRAIN
	TREELINE/DENSE VEGETATION
	FLOW ARROW

EROSION & SEDIMENT CONTROL LEGEND

SM-S	STABILIZATION MATTING- SLOPE	CIP	CULVERT INLET PROTECTION
PP-1	PUMPING PIT- TYPE 1	CST	COMPOST LOG SEDIMENT TRAP
IP-1	INLET PROTECTION 1	SP	SOIL STOCKPILE
SM-C	STABILIZATION MATTING- CHANNEL	SCE	STABILIZATION MATTING- SLOPE
ROP-1	RIPRAP OUTLET PROTECTION 1		
ROP-2	RIPRAP OUTLET PROTECTION 2		

SCD APPROVAL

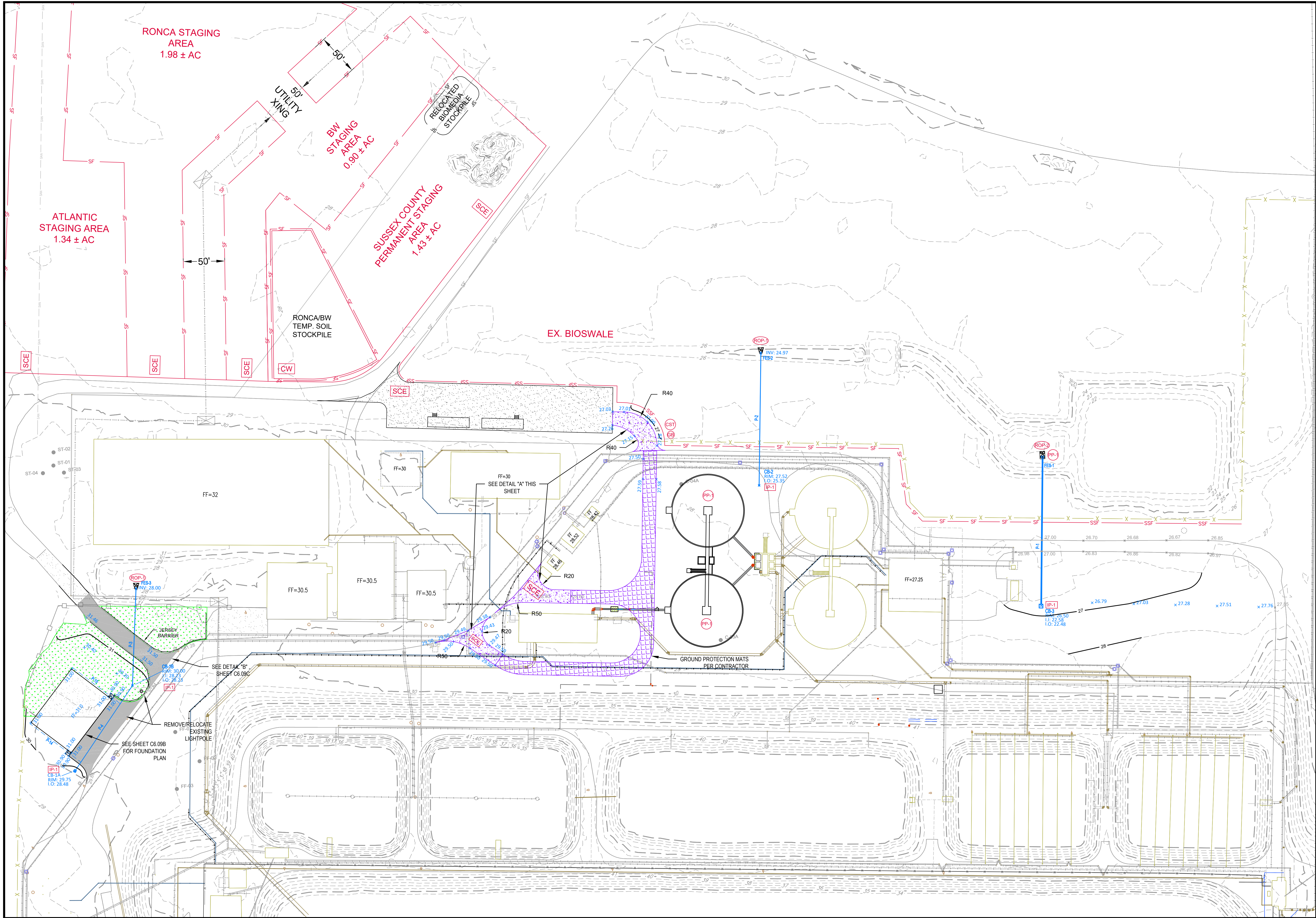



SHEET INDEX	
COVER	C6.01
PHASING PLAN	C6.02
CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN	C6.03A-C6.03C
CONSTRUCTION SITE NOTES & DETAILS	C6.04 TO C6.09B
GENERAL DETAILS	C6.09C
POST CONSTRUCTION STORMWATER MANAGEMENT PLAN	C6.10 TO C6.13



Sheet No.:

C6.01






Sussex County
 Engineering Department
 2 The Circle, P.O. Box 589
 Georgetown, DE 19947
 Ph: 302-855-7718
 Fax: 302-855-7799

Construction Site Stormwater Management Plan, Stage 1	
Rev: PLAN SET UPDATED PER REVISED CONSTRUCTION	Rev: SEQUENCE: 06/10/25
Rev:	Rev:
Rev:	Rev:

Inland Bays RWF Expansion
 Tax Map # 234-22.00-11.00
 Indian River Hundred, Sussex County, DE

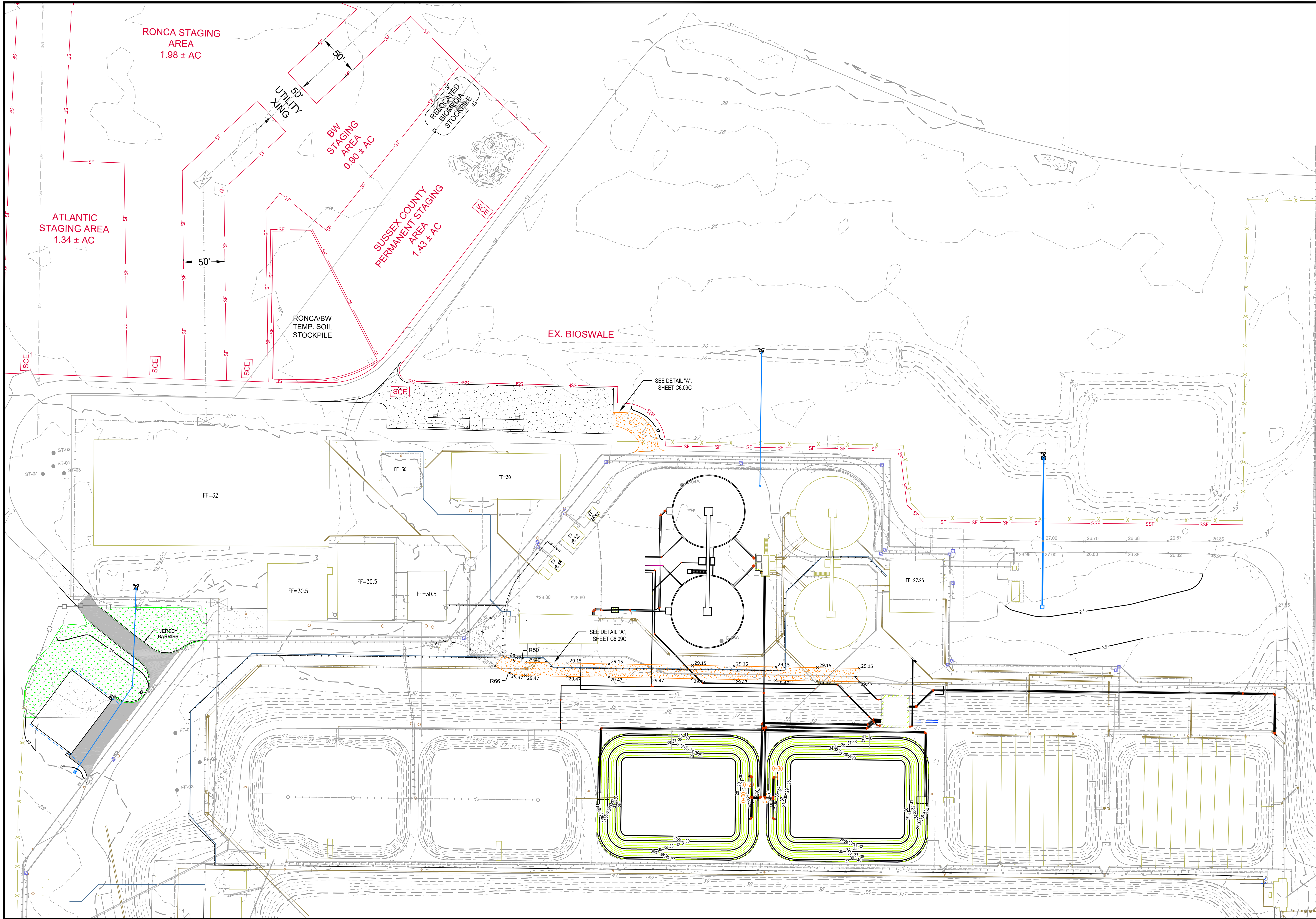
Professional Seal

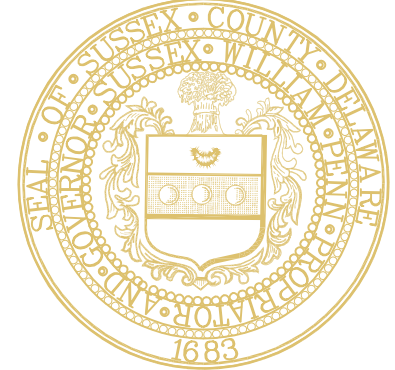


0 50 100 Feet

Drawn By:	Date:
VT	06/10/2025
Project No:	Scale:
S17-16	1" = 50'
Sheet:	

C6.03A



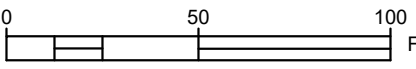



Sussex County
Engineering Department
2 The Circle, P.O. Box 589
Georgetown, DE 19947
Ph: 302-855-7718
Fax: 302-855-7799

Construction Site Stormwater Management Plan, Stage 2			
Rev:	PLAN SET UPDATED PER REVISED CONSTRUCTION	Rev:	
Rev:	SEQUENCE: 06/10/25	Rev:	
Rev:		Rev:	

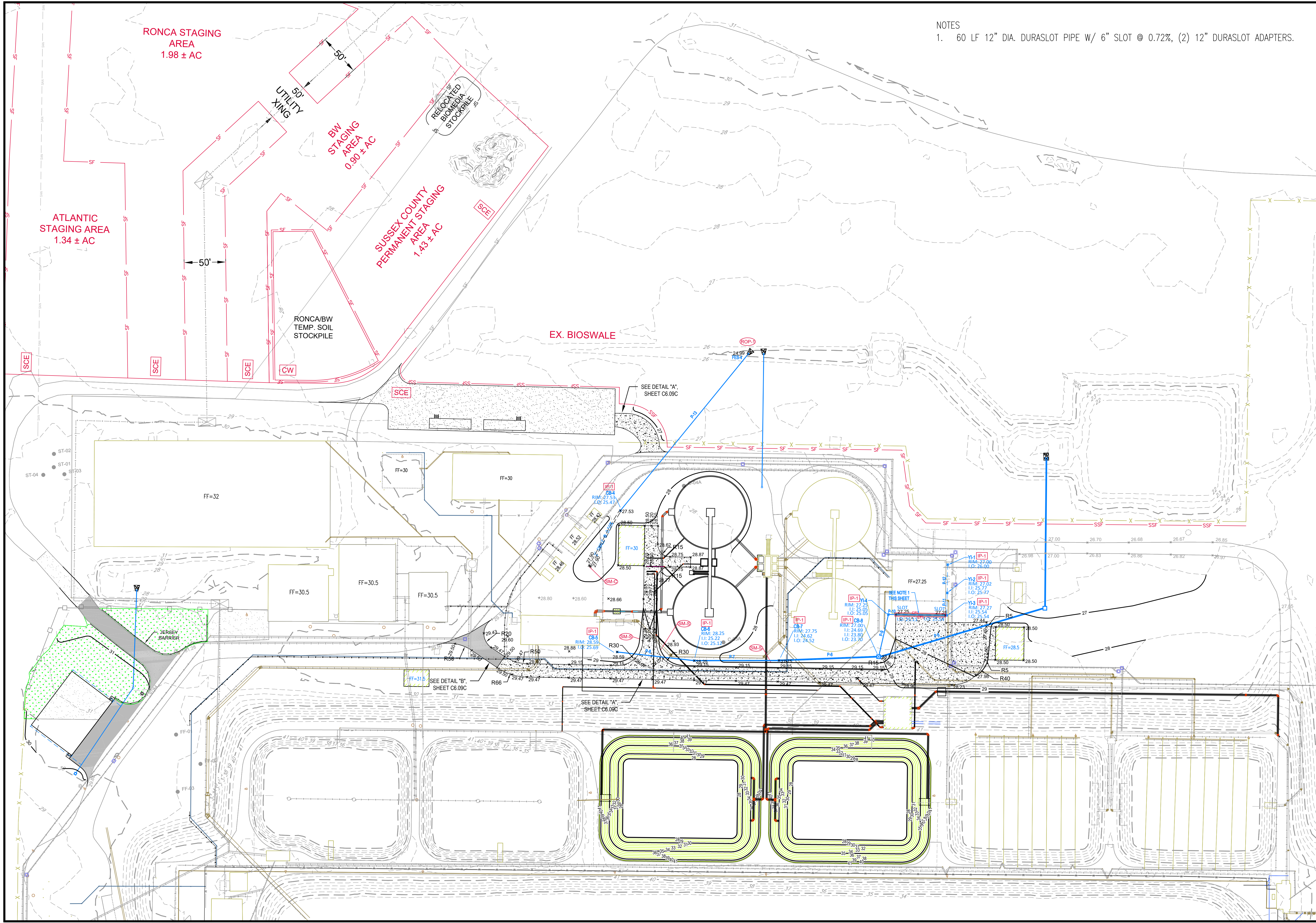
Inland Bays RWF Expansion
Tax Map # 234-22.00-11.00
Indian River Hundred, Sussex County, DE

Professional Seal

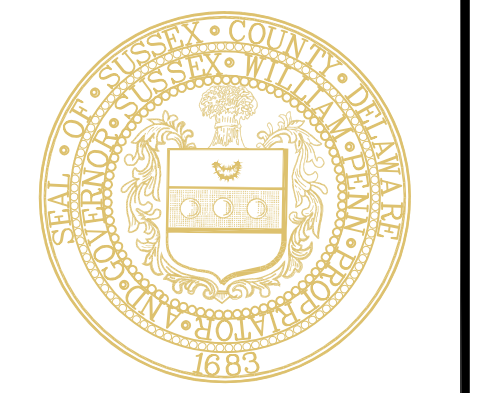


Drawn By:	Date:
VT	06/10/2025
Project No:	Scale:
S17-16	1" = 50'
Sheet:	

C6.03B



- NOTES
- 1. 60 LF 12" DIA. DURASLOT PIPE W/ 6" SLOT @ 0.72%, (2) 12" DURASLOT ADAPTERS.

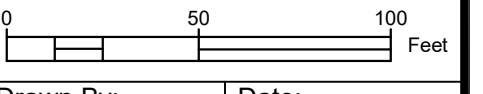
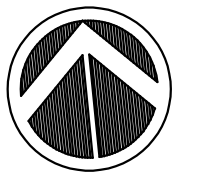


Sussex County
Engineering Department
2 The Circle, P.O. Box 589
Georgetown, DE 19947
Ph: 302-855-7718
Fax: 302-855-7799

Construction Site Stormwater Management Plan, Stage 3			
Rev:	PLAN SET UPDATED PER REVISED CONSTRUCTION		
Rev:	SEQUENCE: 06/10/25		
Rev:			
Rev:			

Inland Bays RWF Expansion
Tax Map # 234-22.00-11.00
Indian River Hundred, Sussex County, DE

Professional Seal



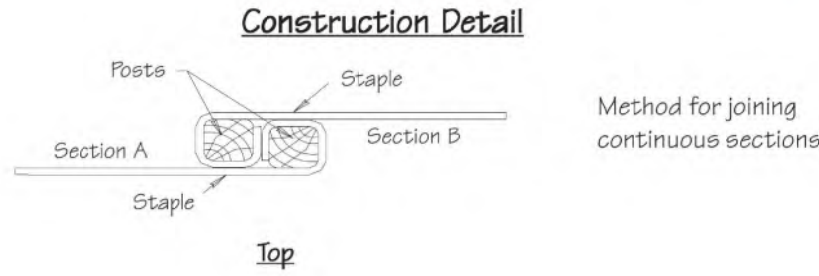
Drawn By:	Date:
VT	06/10/2025
Project No:	Scale:
S17-16	1" = 50'
Sheet:	

C6.03C

SEDIMENT AND STORMWATER SEQUENCE OF CONSTRUCTION

- The Sussex Conservation District must be notified in writing at least five (5) days prior to the start of construction. Failure to do so constitutes a violation of the approved sediment and stormwater management plan.
- Prior to any clearing, installation of sediment control measures or grading, a pre-construction meeting must be scheduled and conducted with the agency construction site reviewer. The landowner/developer, contractor, and certified construction reviewer and Geotech/Soil Scientist of Record are required to be in attendance at the pre-construction meeting; the designer is recommended to attend.
- Conduct a pre-construction meeting.
- Clear and grub all areas necessary for the installation of perimeter controls. Install perimeter controls and all other sediment and erosion control measures as shown or called for on the drawings including stabilized construction entrances and silt fence.
- All perimeter controls are to be reviewed by the agency construction site reviewer and approved prior to proceeding with further site disturbance or construction.
- The contractor shall at all times protect against sediment or debris laden runoff or wind from leaving the site. Perimeter controls should be checked daily and adjusted and/or repaired to fully contain and control sedimentation on the site. Accumulated sediment shall be removed when it has reached half of the effective capacity of the control. In addition, the contractor may need to adjust or repair measures in times of adverse weather conditions, or as directed by the agency construction site reviewer.
- Notify the person responsible for stormwater system construction review at least three (3) days prior to the start of the stormwater system installation; stormwater facilities must be reviewed throughout their construction.
- Establish the construction staging area, soil stockpile locations and contractor trailer yard. Install all applicable stabilized construction entrances and perimeter controls.
- Install the stabilized construction entrances and ground protection mats as shown on sheet 6.03A.
- Install the initial section of the stormwater drainage network as shown on sheet 6.03A. If required, install a pumping pit within the existing pond forebay. Dewater to the adjoining existing stormwater pond. Contractor shall obtain all required dewatering permits. Coordinate pump controls with the plant manager to maintain the design permanent pool. Immediately install all inlet protection and all riprap outlet protection.
- Begin excavation for the proposed clarifiers. If required, install pumping pits and geotextile dewatering bag to facilitate excavation. If larger storage volumes are required, construct a compost log sediment trap as shown on sheet 6.03A. Contractor shall obtain all required dewatering permits. Stabilize all disturbed areas using a minimum of 4" of topsoil. Seed and stabilize per note 21 of the Cover sheet.
- Remove the ground protection mats and extend the access road to the existing clarifiers as shown on sheet 6.03B.
- Construct the headworks, distribution system, and yard piping. All trenches shall be backfilled during the same daylight period that they have been excavated. Any groundwater pumped during excavation shall be discharged to the geotextile dewatering bag. If larger storage volumes are required, construct a compost log sediment trap as shown on sheet 6.03A. Contractor shall obtain all required dewatering permits. Stabilize all disturbed areas using a minimum of 4" of topsoil and select fill. Seed and stabilize per note 21 on the Cover sheet.
- Construct the remaining stormwater drainage network and slot drain as shown on sheet 6.03C.
- Construct the chemical feed building, sludge pump building, pump and blower buildings, and any remaining yard piping facilities. Refer to project documents for a detailed building construction sequence.
- As work progresses, stabilize complete portions using select fill and a minimum 4" of topsoil, fine grade and apply permanent seeding per note 21 on the Cover sheet.
- Complete modifications to the wastewater lagoon system. Refer to project documents for a detailed construction sequence.
- Flush out the stormwater pipes for any accumulated sediment, and remove sediment from within the forebay, with inspection by the certified construction reviewer and/or the agency construction site reviewer. Remove the pumping pit and any accumulated sediment from the existing stormwater pond forebay. Dispose of accumulated material in a DNR/EC approved manner.
- Restore all disturbed areas to final grade per the approved plan. Install site restoration improvements such as new paving and gravel surfaces, fencing, and landscape restoration and revegetation as required and shown on the drawings. Erosion and sediment control devices should be removed only after work in an area has been completed and stabilized with written approval from the agency construction site reviewer.
- The termination of the construction general permit will require submission and acceptance of the Post-Construction Verification Documents, including final stabilization throughout the site, all elements of the Sediment and Stormwater Management Plan implemented, and acceptance of the final Operation and Maintenance Plan.

Standard Detail & Specifications Silt Fence



Construction Notes:

- Geosynthetic fabric to be fastened securely to fence posts with wire ties or staples.
- When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
- Maintenance shall be performed as needed and material removed when "bulges" develop in the silt fence.

Materials:

- Stakes: Steel (either T or U) or 2" x 2" hardwood
- Geosynthetic Fabric: Type GD-1
- Reinforcing strip: Wooden lath or plastic strip

Source:	Symbol:	Detail No.
Adapted from MD Stds. & Specs. for ESC		DE-ESC-3.1.2.1 Sheet 2 of 2 Effective July 2023

Standard Detail & Specifications Vegetative Stabilization

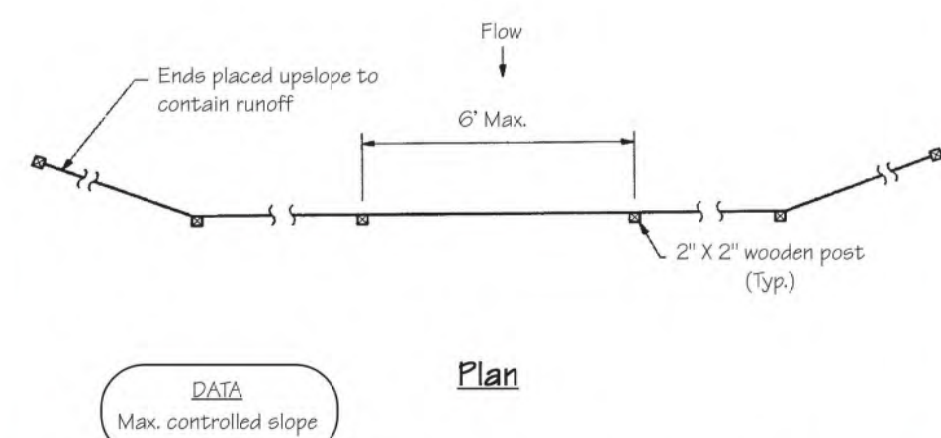
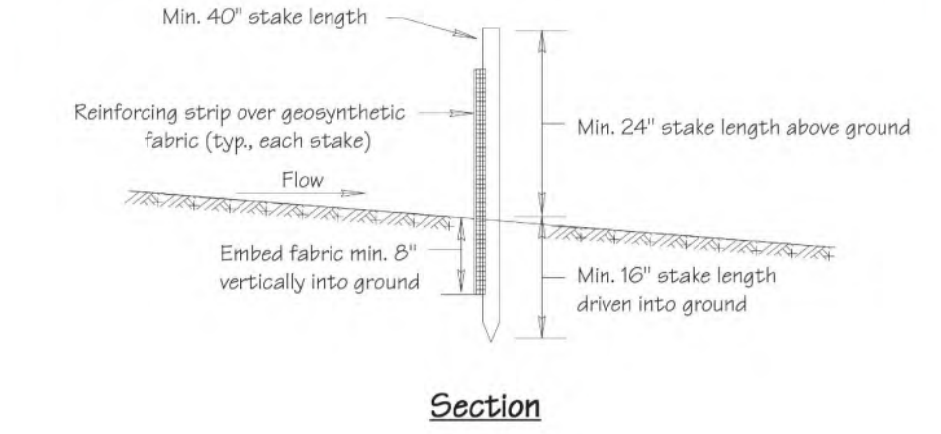
TEMPORARY SEEDING BY RATES, DEPTHS AND DATES												
Mix #	Species ²	Seeding Rate	Optimum Seeding Dates ¹ O = Optimum Planting Period, A = Acceptable Planting Period									Planting Depth ³
			Coastal Plain			Piedmont			All			
			10/1000	10/1000	20/1000	10/1000	10/1000	20/1000	10/1000	10/1000	20/1000	
1	Certified Seed	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	
1	Barley	125	4	O	A	O	O	A	O	A	O	1-2 inches
2	Oats	125	4	O	A	O	O	A	O	A	O	2-3" sandy soils
3	Rye	125	4	O	A	O	O	A	O	A	O	1-2 inches
4	Pennant Ryegrass	125	4	O	A	O	O	A	O	A	O	2-3" sandy soils
5	Annual Ryegrass	125	4	O	A	O	O	A	O	A	O	0.5 inches
6	Winter Wheat	125	4	O	A	O	O	A	O	A	O	1-2" sandy soils
7	Forage Millet	30 PLS	0.7		O			O			O	2-3" sandy soils
8	Pearl Millet	20 PLS	0.5		O			O			O	0.5 inches
												1-2" sandy soils

- Winter seeding requires 3 tons per acre of straw mulch for proper stabilization.
- May be planted throughout summer if soil moisture is adequate or seeded area can be irrigated.
- Applicable on slopes 3:1 or less.
- Use varieties currently recommended for Delaware. Contact a County Extension Office for information.
- Warm season grasses such as Millet may be used between 5/1 and 9/1 if desired. Seed at 3-5 lbs. per acre. Good on low fertility and acid areas. Seed after frost through summer at a depth of 0.5".

NOTE: Alternative seed mixes may be used with prior approval from the Department or Delegated Agency.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		DE-ESC-3.4.3 Sheet 1 of 4 Effective July 2023

Standard Detail & Specifications Silt Fence



Source:	Symbol:	Detail No.
Adapted from MD Stds. & Specs. for ESC		DE-ESC-3.1.2.1 Sheet 1 of 2 Effective July 2023

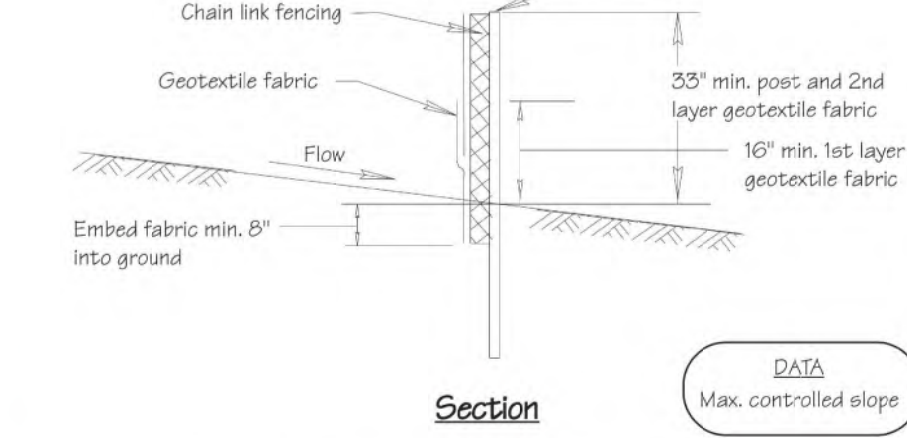
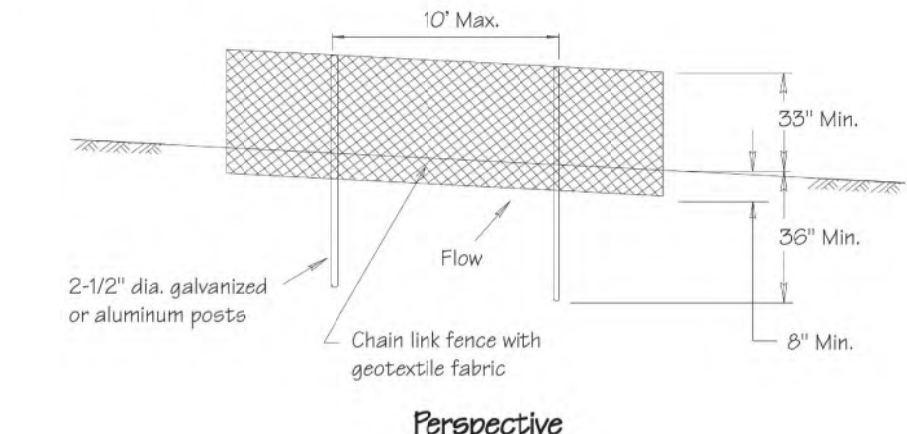
Standard Detail & Specifications Vegetative Stabilization

PERMANENT SEEDING AND SEEDING DATES												
Mix No.	Certified Seed ²	Seeding Rate ¹	Optimum Seeding Dates ¹ O = Optimum Planting Period, A = Acceptable Planting Period									Remarks
			Coastal Plain			Piedmont			All ³			
			10/1000	10/1000	20/1000	10/1000	10/1000	20/1000	10/1000	10/1000	20/1000	
1	Well Drained Soils	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	
1	Tall Fescue	140	3.2	O	A	O	A	O	A	O	A	Good erosion control mix. Ideal for low fertility soils. Good for droughty sites.
2	Creeping Red Fescue	10	0.23	O	A	O	A	O	A	O	A	Good erosion control mix. Ideal for low fertility soils. Use Mulch for increased drought tolerance.
3	Creeping Red Fescue	30	0.68	O	A	O	A	O	A	O	A	Good erosion control mix. Ideal for low fertility soils. Use Mulch for increased drought tolerance.
4	Creeping Red Fescue	30	0.68	O	A	O	A	O	A	O	A	Good erosion control mix. Ideal for low fertility soils. Use Mulch for increased drought tolerance.
5	Creeping Red Fescue	30	0.68	O	A	O	A	O	A	O	A	Good erosion control mix. Ideal for low fertility soils. Use Mulch for increased drought tolerance.
6	Creeping Red Fescue	30	0.68	O	A	O	A	O	A	O	A	Good erosion control mix. Ideal for low fertility soils. Use Mulch for increased drought tolerance.
7	Creeping Red Fescue	30	0.68	O	A	O	A	O	A	O	A	Good erosion control mix. Ideal for low fertility soils. Use Mulch for increased drought tolerance.
8	Creeping Red Fescue	30	0.68	O	A	O	A	O	A	O	A	Good erosion control mix. Ideal for low fertility soils. Use Mulch for increased drought tolerance.
9	Creeping Red Fescue	30	0.68	O	A	O	A	O	A	O	A	Good erosion control mix. Ideal for low fertility soils. Use Mulch for increased drought tolerance.
10	Creeping Red Fescue	30	0.68	O	A	O	A	O	A	O	A	Good erosion control mix. Ideal for low fertility soils. Use Mulch for increased drought tolerance.
11	Creeping Red Fescue	30	0.68	O	A	O	A	O	A	O	A	Good erosion control mix. Ideal for low fertility soils. Use Mulch for increased drought tolerance.
12	Creeping Red Fescue	30	0.68	O	A	O	A	O	A	O	A	Good erosion control mix. Ideal for low fertility soils. Use Mulch for increased drought tolerance.
13	Creeping Red Fescue	30	0.68	O	A	O	A	O	A	O	A	Good erosion control mix. Ideal for low fertility soils. Use Mulch for increased drought tolerance.
14	Creeping Red Fescue	30	0.68	O	A	O	A	O	A	O	A	Good erosion control mix. Ideal for low fertility soils. Use Mulch for increased drought tolerance.
15	Creeping Red Fescue	30	0.68	O	A	O	A	O	A	O	A	Good erosion control mix. Ideal for low fertility soils. Use Mulch for increased drought tolerance.

NOTE: Alternative seed mixes may be used with prior approval from the Department or Delegated Agency.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		DE-ESC-3.4.3 Sheet 2 of 4 Effective July 2023

Standard Detail & Specifications Super Silt Fence



Source:	Symbol:	Detail No.
Adapted from MD Stds. & Specs. for ESC		DE-ESC-3.1.2.3 Sheet 1 of 2 Effective July 2023

Standard Detail & Specifications Vegetative Stabilization

PERMANENT SEEDING AND SEEDING DATES (cont.)												
Mix No.	Certified Seed ²	Seeding Rate ¹	Optimum Seeding Dates ¹ O = Optimum Planting Period, A = Acceptable Planting Period									Remarks
			Coastal Plain			Piedmont			All ³			
			10/1000	10/1000	20/1000	10/1000	10/1000	20/1000	10/1000	10/1000	20/1000	
1	Poorly Drained Soils	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	lb/Ac ⁴	
9	Rescue	75	1.72	O	A	O	O	A	O	A	O	Quick stabilization of disturbed sites and waterways.
10	Rescue	25	0.58	O	A	O	O	A	O	A	O	Good erosion control, wildlife cover and wetland revegetation.
11	Rescue	25	0.58	O	A	O	O	A	O	A	O	Good erosion control, wildlife cover and wetland revegetation.
12	Rescue	25	0.58	O	A	O	O	A	O	A	O	Good erosion control, wildlife cover and wetland revegetation.
13	Rescue	25	0.58	O	A	O	O	A	O	A	O	Good erosion control, wildlife cover and wetland revegetation.
14	Rescue	25	0.58	O	A	O	O	A	O	A	O	Good erosion control, wildlife cover and wetland revegetation.
15	Rescue	25	0.58	O	A	O	O	A	O	A	O	Good erosion control, wildlife cover and wetland revegetation.

NOTE: Alternative seed mixes may be used with prior approval from the Department or Delegated Agency.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		DE-ESC-3.4.3 Sheet 3 of 4 Effective July 2023

Standard Detail & Specifications Super Silt Fence

Construction Notes:

- The poles do not need to be set in concrete.
- Chain link fence shall be fastened securely to the fence posts with wire ties or staples.
- Geotextile fabric shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
- Geotextile fabric shall be embedded a minimum of 8" into the ground.
- When two sections of geotextile fabric adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence.

Materials:

- Fencing: Fencing shall be 42 inches in height and constructed in accordance with the latest Delaware Department of Transportation (DelDOT) Specifications for Chain Link Fencing (Section 722). The DelDOT specification for a 6 foot fence shall be used, substituting 42 inch fabric and 6 foot length posts.
- Geosynthetic Fabric: Type GD-1

Source:	Symbol:	Detail No.
Adapted from MD Stds. & Specs. for ESC		DE-ESC-3.1.2.3 Sheet 2 of 2 Effective July 2023

Standard Detail & Specifications Vegetative Stabilization

Construction Notes:

- Site Preparation
 - Prior to seeding, install needed erosion and sediment control practices such as diversions, grade stabilization structures, berms, dikes, grassed waterways, and sediment basins.
 - Final grading and shaping is not necessary for temporary seedings.
- Seedbed Preparation
- Soil Amendments
 - Lime - Apply liming materials based on the recommendations of a **soil test** in accordance with the approved nutrient management plan. If a nutrient management plan is not required, apply dolomitic limestone at the rate of 1 to 2 tons per acre. Apply limestone uniformly and incorporate into the top 4 to 6 inches of soil.
 - Fertilizer - Apply fertilizer based on the recommendations of a **soil test** in accordance with the approved nutrient management plan. If a nutrient management plan is not required, apply a formulation of 10-10-10 at the rate of 800 pounds per acre. Apply fertilizer uniformly and incorporate into the top 4 to 6 inches of soil.
- Seeding
 - For temporary stabilization, select a mixture from **Sheet 1**. For a permanent stabilization, select a mixture from **Sheet 2** or **Sheet 3** depending on the conditions. Alternative seed mixes may be used with prior approval from the Department or Delegated Agency.
 - Apply seed uniformly with a broadcast seeder, drill, cultipacker seeder or hydroseeder. All seed will be applied at the recommended rate and planting depth.
 - Seed that has been broadcast should be covered by raking or dragging and then lightly tamped into place using a roller or cultipacker. If hydroseeding is used and the seed and fertilizer is mixed, they will be mixed on site and the seeding shall be done immediately and without interruption.
- Mulching

All mulching shall be done in accordance with detail DE-ESC-3.4.5.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		DE-ESC-3.4.3 Sheet 4 of 4 Effective July 2023

STRUCTURE SCHEDULE

STRUCTURE	TYPE	MATERIAL	GRATE	DIMENSIONS	RIM ELEV. (FT)	INVERT IN ELEV. (FT)	INVERT OUT ELEV. (FT)	INVERT OUT ELEV. (FT)
CB-1A	DELDOT LAWN INLET	CONCRETE	TYPE 6	24" X 24"	29.75'	N/A	N/A	28.48'
CB-3	DELDOT DRAINAGE INLET	CONCRETE	TYPE 1	48" X 48"	26.50	22.58	N/A	22.48
CB-8	DELDOT DRAINAGE INLET	CONCRETE	TYPE 1	48" X 48"	27.00	24.69	23.80	23.70
YI-1	DELDOT LAWN INLET	CONCRETE	TYPE 6	24" X 24"	27.00	N/A	N/A	26.00
YI-2	DELDOT LAWN INLET	CONCRETE	TYPE 6	24" X 24"	27.02	25.77	N/A	25.77
YI-3	DELDOT LAWN INLET	CONCRETE	TYPE 6	24" X 24"	27.27	25.54	N/A	25.54
YI-4	DELDOT LAWN INLET	CONCRETE	TYPE 6	24" X 24"	27.25	25.05	N/A	25.05

PIPE SCHEDULE

PIPE	PIPE DIA. (IN)	LENGTH (FT)	INVERT IN ELEV. (FT)	INVERT OUT ELEV. (FT)	SLOPE (FT/FT)	MATERIAL*
P-1	24"	176.00	22.48	21.50	0.0056	ADS N-12 WT
P-2	12"	159.00	25.35	24.97	0.0024	ADS N-12 WT
P-3	12"	116.00	28.23	28.00	0.0020	ADS N-12 WT
P-4	10"	124.00	28.48	28.23	0.0020	ADS N-12 WT
P-5	24"	208.00	23.70	22.58	0.0054	ADS N-12 WT
P-6	24"	120.00	24.52	23.80	0.0060	ADS N-12 WT
P-7	18"	101.00	25.12	24.62	0.0050	ADS N-12 WT
P-8	15"	93.00	25.69	25.22	0.0051	ADS N-12 WT
P-9	12"	52.00	25.05	24.69	0.0069	ADS N-12 WT
P-10	12"	9.00	25.11	25.05	0.0067	ADS N-12 WT
P-11	6"	25.00	25.77	25.54	0.0092	ADS N-12 WT
P-12	6"	33.00	26.00	25.77	0.0070	ADS N-12 WT
P-13	12"	241.00	25.47	24.99	0.0020	ADS N-12 WT
P-14	6"	77.00	28.61	28.46	0.0019	ADS N-12 WT
P-15	6"	72.00	28.43	28.29	0.0019	ADS N-12 WT

RIPRAP OUTLET SIZING TABLE

FES STRUCTURE	PIPE DIA. (IN)	LENGTH (FT)	WIDTH (FT)	ROP SIZE	THICKNESS (IN)	TOTAL AREA (SF)
FES-1	24	9	6	R4	18	54
FES-2	12	6	7	R4	18	35
FES-3	12	6	7	R4	18	35
FES-4	12	6	7	R4	18	35

Standard Detail & Specifications
Construction Site Pollution Prevention

Delaware NPDES Discharge Permit
General Permit for Discharge of Stormwater from Construction Activities

((Project Name))
((NOI Permit Number))
((Agency Plan Approval ID))
((Contact Name & Number for Additional Site Information))
((Contact Name & Number to Obtain Copy of Approved Plan))

If you observe indicators of stormwater pollutants in the discharge or in the receiving waterbody, call the DNREC Spill Notification 24 HR Hotline at

1-800-662-8802

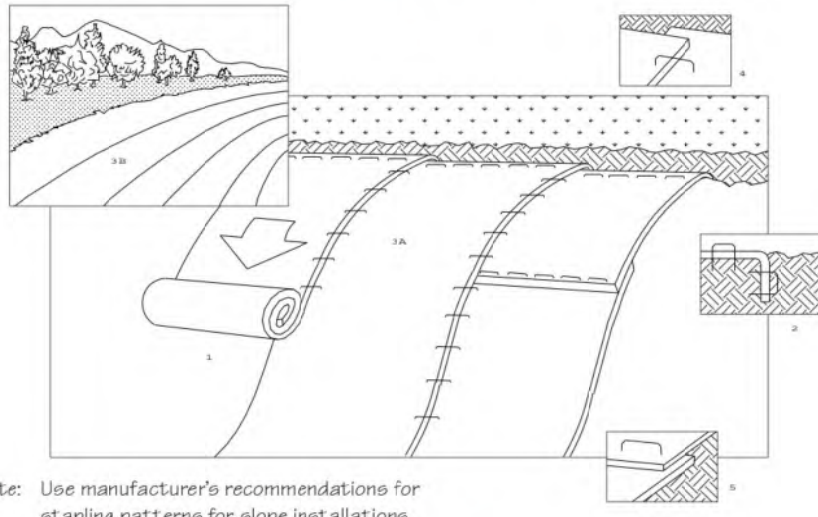
Example Construction General Permit (CGP) Signage

NOTES:

1. Minimum sign size 2' x 2'
2. Minimum text size 1"
3. Sign must be posted at a safe, publicly accessible location close to construction site
4. Sign must be visible from the public road nearest the active construction site
5. Signs posted within a DelDOT or other public road right-of-way (ROW) must be in accordance with all local and/or State requirements in regards to safety, location, orientation, etc.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		DE-ESC-3.6.1 Sheet 1 of 4 Effective July 2023

Standard Detail & Specifications
Stabilization Matting - Slope



Perspective

Construction Notes:

1. Prepare soil before installing matting, including application of lime, fertilizer, and seed.
2. Begin at the top of the slope by anchoring the mat in a 6" deep X 6" wide trench. Backfill and compact trench after stapling.
3. Roll the mats (A) down or (B) horizontally across the slope.
4. The edges of parallel mats must be stapled with approx. 2" overlap.
5. When mats must be spliced down the slope, place mats end over end (shingle style) with approx. 4" overlap. Staple through overlapped area, approx. 12" apart.

Source:	Symbol:	Detail No.
Adapted from North American Green, Inc.	SM-S	DE-ESC-3.4.6.1 Sheet 1 of 2 Effective July 2023

Standard Detail & Specifications
Construction Site Pollution Prevention

Notes:

The Construction Site Pollution Prevention Plan includes the following elements:

1. Material Inventory

Document the storage and use of the following materials:

- a. Concrete
- b. Detergents
- c. Paints (enamel and latex)
- d. Cleaning solvents
- e. Pesticides
- f. Wood scraps
- g. Fertilizers
- h. Petroleum based products

2. Good housekeeping practices

- a. Store only enough product required to do the job.
- b. Store all materials in a neat, orderly manner in their original labeled containers and covered.
- c. Do not mix different substances.
- d. When possible, use all of a product prior to disposal of the container.
- e. Manufacturers' instructions for disposal should be strictly adhered to.
- f. Designate someone to inspect all BMPs daily.

3. Waste management practices

- a. Collect and store all waste materials in securely lidded dumpsters in a location that does not drain to a waterbody.
- b. Salvage and/or recycle waste materials whenever possible.
- c. The dumpsters shall be emptied a minimum of twice per week, or more if necessary. The licensed trash hauler is responsible for cleaning out dumpsters.

Source:	Symbol:	Detail No.
Adapted from USEPA Pub. 840-B-92-002		DE-ESC-3.6.1 Sheet 2 of 4 Effective July 2023

Standard Detail & Specifications
Construction Site Pollution Prevention

Notes (cont.)

- d. Dispose of all trash in accordance with all applicable Delaware laws.
- e. Littering is strictly prohibited. Trash cans should be placed at all lunch spots and recycle bins should be placed near the construction trailer.
- f. If fertilizer bags can not be stored in a weather-proof location, they should be kept on a pallet and covered with plastic sheeting which is overlapped and anchored.

4. Equipment maintenance practices

- a. If possible, equipment should be taken to off-site commercial facilities for washing and maintenance.
- b. If performed on-site, wash vehicles with high-pressure water spray without detergents in an area contained by an impervious berm.
- c. Use drip pans for all equipment maintenance.
- d. Inspect equipment for leaks on a daily basis.
- e. Direct washout from concrete trucks into a temporary pit for hardening and proper disposal.
- f. Equip fuel nozzles with automatic shut-off valves.
- g. Dispose of all used products such as oil, antifreeze, solvents and tires in accordance with manufacturers' recommendations and local, state and federal laws and regulations.

5. Spill prevention practices

- a. Identify potential spill areas and contain them in covered areas with no connection to the storm drain system.
- b. Post warning signs in hazardous material storage areas.
- c. Perform preventive maintenance on all tanks, valves, pumps, pipes and other equipment as necessary.
- d. Prioritize low or non-toxic substances for use.

Source:	Symbol:	Detail No.
Adapted from USEPA Pub. 840-B-92-002		DE-ESC-3.6.1 Sheet 3 of 4 Effective July 2023

Standard Detail & Specifications
Construction Site Pollution Prevention

Notes (cont.)

- e. Prominently post contact information for reporting spills through the DNREC 24-Hour Toll Free Number.

6. Education

- a. Include Best Management Practices (BMPs) for construction site pollution control as part of regular progress meetings.
- b. Information regarding waste management, equipment maintenance and spill prevention should be prominently posted in the construction trailer.

CONTACT INFORMATION

DNREC 24-Hour Toll Free Number 800-662-8802
DNREC Solid & Hazardous Waste Management Section 302-739-9403

Source:	Symbol:	Detail No.
Adapted from USEPA Pub. 840-B-92-002		DE-ESC-3.6.1 Sheet 4 of 4 Effective July 2023

Standard Detail & Specifications
Dust Control

Temporary Methods:

1. Mulches - See DE-ESC-3.4.5, Standard Detail and Specifications for Mulching.
2. Vegetative cover - See DE-ESC-3.4.3, Std. Detail and Specifications for Vegetative Stabilization.
3. Adhesives - Use on mineral soils only (not effective on muck soils). Keep traffic off these areas. The following table may be used for general guidance.

Type of Emulsion	Water Dilution	Type of Nozzle	Apply Gal/Ac.
Latex emulsion	12.5:1	Fine spray	235
Resin-in-water emulsion	4:1	Fine spray	300
Acrylic emulsion (non-traffic)	7:1	Coarse spray	450
Acrylic emulsion (traffic)	3.5:1	Coarse spray	350

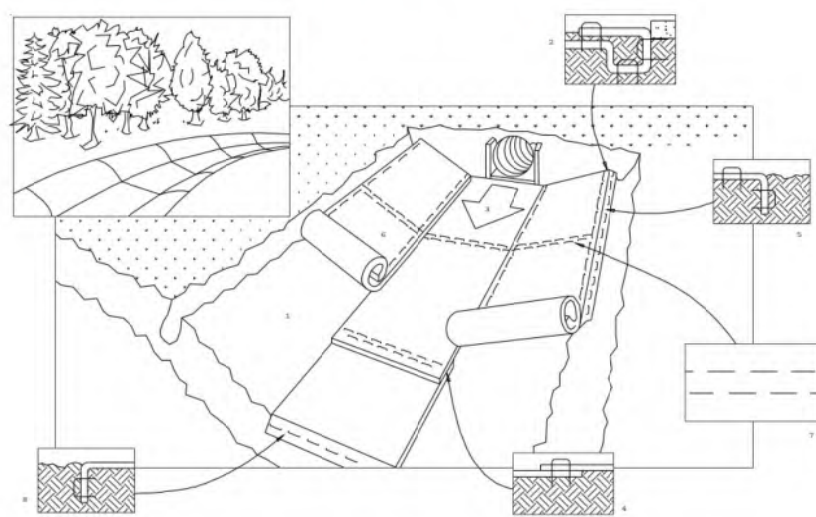
4. Tillage - For emergency temporary treatment, scarify the soil surface to prevent or reduce the amount of blowing dust until a more appropriate solution can be implemented. Begin the tillage operation on the windward side of the site using a chisel-type plow for best results.
5. Sprinkling - Sprinkle site with water until the surface is moist. Repeat as needed.
6. Calcium Chloride - Apply as flakes or granular material with a spreader at a rate that will keep the soil surface moist. Re-apply as necessary.
7. Barriers - Place barriers such as solid board fences, snow fences, hay bales, etc. at right angles to the prevailing air currents at intervals of approx. 10X their height.

Permanent Methods:

1. Vegetative cover - See DE-ESC-3.4.3, Std. Detail and Specifications for Vegetative Stabilization.
2. Stone - Apply layer of crushed stone or coarse gravel to protect soil surface.

Source:	Symbol:	Detail No.
Adapted from VA ESC Handbook		DE-ESC-3.4.8 Sheet 1 of 1 Effective July 2023

Standard Detail & Specifications
Stabilization Matting - Channel



Perspective

CRITICAL POINTS
A. Overlaps and seams
B. Projected waterline
C. Channel bottom/side slope vertices

Note: Horizontal staple spacing should be altered if necessary to allow staples to secure the critical points along the channel surface.

Use manufacturer's recommendations for stapling patterns for channel installations.

Source:	Symbol:	Detail No.
Adapted from North American Green, Inc.	SM-C	DE-ESC-3.4.6.2 Sheet 1 of 3 Effective July 2023

Standard Detail & Specifications
Stabilization Matting - Channel

Construction Notes:

1. Prepare soil before installing matting, including application of lime, fertilizer, and seed.
2. Begin at the top of the channel by anchoring the mat in a 6" deep X 6" wide trench. Backfill and compact the trench after stapling.
3. Roll center mat in direction of water flow on bottom of channel.
4. Place mats end over end (shingle style) with a 6" overlap, use a double row of staggered staples 4" apart to secure mats.
5. Full Length edge of mats at top of side slopes must be anchored in 6" deep X 6" wide trench; backfill and compact the trench after stapling.
6. Mats on side slopes must be overlapped 4" over the center mat and stapled.
7. In high flow channel applications, a staple check slot is recommended at 30 to 40 foot intervals. Use a row of staples 4" apart over entire width of the channel. Place a second row 4" below the first row in a staggered pattern.
8. The terminal end of the mats must be anchored in a 6" X 6" wide trench. Backfill and compact the trench after stapling.

Source:	Symbol:	Detail No.
Adapted from North American Green, Inc.	SM-C	DE-ESC-3.4.6.2 Sheet 2 of 3 Effective July 2023

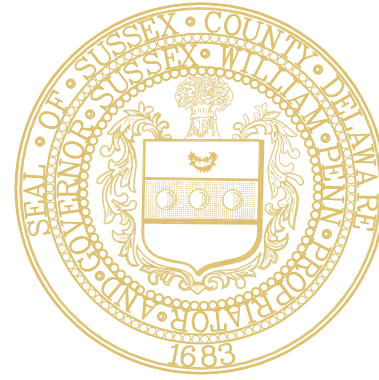
Standard Detail & Specifications
Stabilization Matting - Channel



NOTE: These patterns are provided for general guidance only. They shall not be used as a substitute for manufacturer's recommendations.

Stapling Patterns

Source:	Symbol:	Detail No.
Adapted from North American Green, Inc.	SM-C	DE-ESC-3.4.6.2 Sheet 3 of 3 Effective July 2023



Sussex County
Engineering Department
2 The Circle, P.O. Box 589
Georgetown, DE 19947
Ph: 302-855-7718
Fax: 302-855-7799

Sediment & Stormwater
Management Notes & Details

Rev1 PLAN SET UPDATED PER REVISED CONSTRUCTION SEQUENCE: 06/10/25

Rev2

Rev3

Rev4

Inland Bays RWF Expansion
Tax Map # 234-22.00-11.00
Indian River Hundred, Sussex County, DE

Professional Seal

Drawn By: VT
Project No: S17-16
Date: 06/10/2025
Scale: NO SCALE

Sheet:
C6.05

The diagram illustrates a surface water diversion structure for a slope. It shows a cross-section of a slope with a diversion structure. Key components and labels include:

- Data:** Log diameter (D), Sock Material.
- Disturbed area:** The area where the structure is installed.
- Flow:** Indicated by arrows showing the direction of water flow.
- Compost log sized for application (min. 8"):** The log used in the structure.
- 3" min.:** The minimum thickness of the compost layer.
- 12" min.:** The minimum length of the compost log.
- 2" x 2" hardwood stake:** The stake used to secure the structure.
- Upland end to prevent bypass:** The end of the structure that prevents water from bypassing the diversion.
- Packed compost:** The material used to fill the structure.
- Undisturbed area to be protected:** The area that the structure is designed to protect.
- Surface Option Shown for Slope less than 8:1:** The specific configuration for slopes with a ratio of less than 8:1.
- (NOTE: For steeper slopes, drive stakes perpendicular to surface):** A note indicating that for steeper slopes, the stakes should be driven perpendicular to the surface.
- Flow:** Indicated by arrows showing the direction of water flow.
- Disturbed area:** The area where the structure is installed.
- Compost log sized for application (min. 8"):** The log used in the structure.
- 3" min.:** The minimum thickness of the compost layer.
- 12" min.:** The minimum length of the compost log.
- 2" x 2" hardwood stake:** The stake used to secure the structure.
- Upland end to prevent bypass:** The end of the structure that prevents water from bypassing the diversion.
- Packed compost:** The material used to fill the structure.
- Undisturbed area to be protected:** The area that the structure is designed to protect.

Standard Detail & Specifications

Mulching

- | | | |
|--|---------|---|
| Source:

Delaware ESC Handbook
& Filtrix™ International | Symbol: | Detail No.

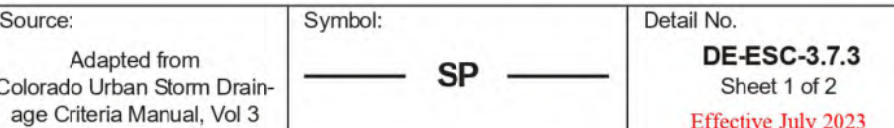
DE-ESC-3.4.5
Sheet 2 of 3
Effective July 2023 |
|--|---------|---|

Mulching

Source: Delaware ESC Handbook & Filtrex™ International	Symbol:	Detail No. DE-ESC-3.4.5 Sheet 3 of 3 Effective July 2023
--	---------	--

Standard Detail & Specifications

Soil Stockpile



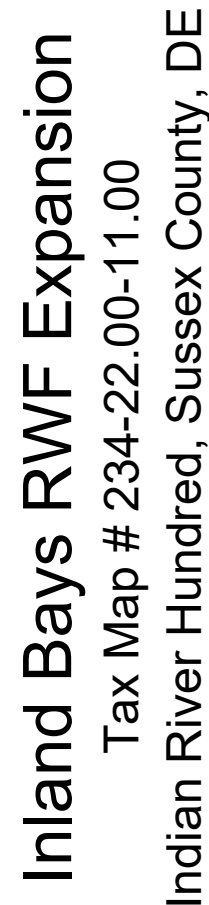
Standard Detail & Specifications

Soil Stockpile

Source: Adapted from Colorado Urban Storm Drain- age Criteria Manual, Vol 3	Symbol: ———— SP ————	Detail No. DE-ESC-3.7.3 Sheet 2 of 2 <i>Effective July 2023</i>
--	-----------------------------	---

Standard Detail & Specifications

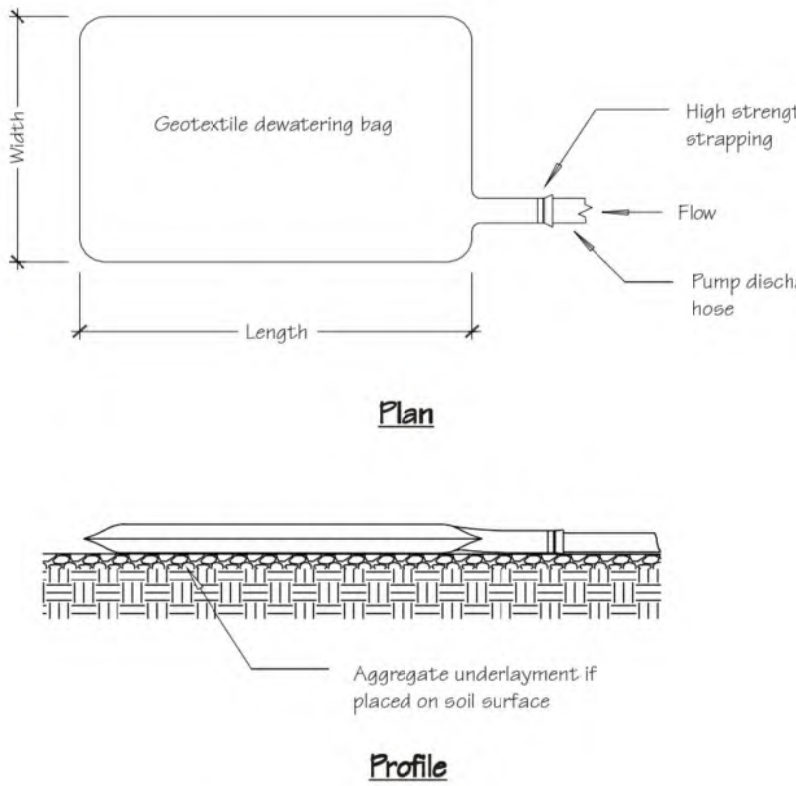
Source: Adapted from USDOT/FHWA TD-09-001	Symbol:	Detail No. DE-ESC-3.1.8 Sheet 1 of 3 Effective July 2023
---	---------	--



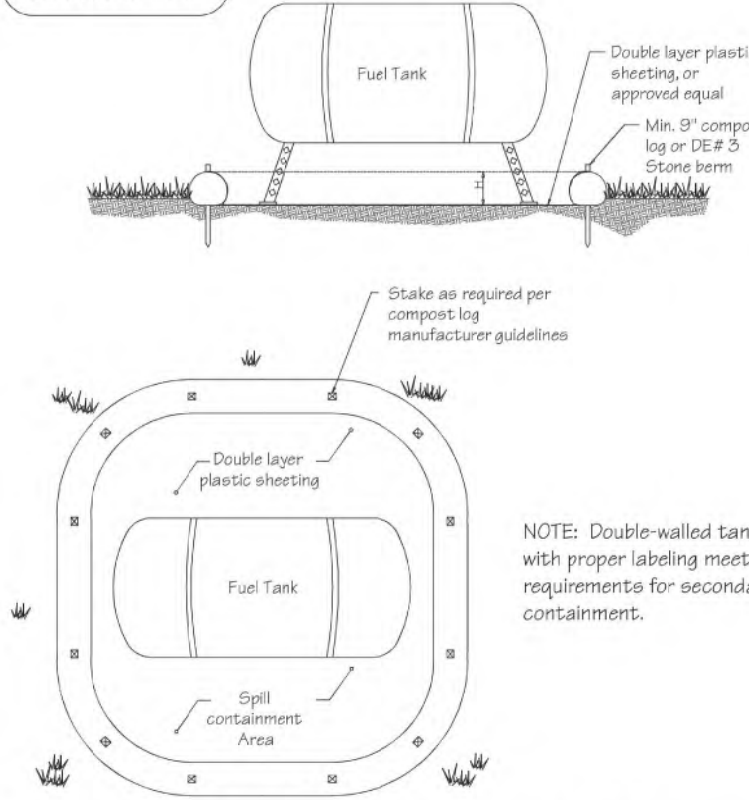
C6.06

Standard Detail & Specifications Flocculation		
<p>b. One flocculent that has been commonly used for stormwater applications is Polyacrylamide (PAM). Two versions of PAM are available, cationic and anionic. Only anionic PAM should be used, as cationic PAM is considered highly toxic. Anionic PAM has been used for many years in the water and wastewater industry and is considered safe for humans and aquatic life when used at the recommended rates.</p> <p>c. Chitosan is another flocculent that is derived from the exoskeletons of crustaceans. It is generally considered safe for use in stormwater and water bodies.</p> <p>d. Selection of an appropriate flocculent is highly dependent on the soil particle type and concentration. Analysis of a sample of the contaminated water is usually required to select the proper product and application rate. Manufacturers of these products will normally assist in this process.</p> <p>4. Flocculation System Design</p> <p>a. Flocculation procedures shall be designed in accordance with the manufacturer's recommendations. Ponds or portable tanks are typically used for treatment. Flow-through systems with no means to trap or filter the flocculant are not permitted.</p> <p>b. A typical flocculation system may contain various components, including but not limited to a stormwater conveyance system, a storage pond, filter, pumps, a chemical feed system, treatment cells, and interconnecting piping.</p> <p>c. It is recommended that storage ponds or other holding areas have a capacity of 1.5 times the volume to be treated. Bypass should be provided around the system to accommodate extreme storm events.</p> <p>d. Primary settling should be encouraged in the storage pond. A forebay is helpful.</p> <p>e. Treatment cell sizing should consider the discharge flow rate and the desired drawdown time.</p> <p>f. Discharge rates off site must meet all applicable requirements.</p> <p>5. Monitoring</p> <p>a. Operational monitoring should include pH, conductivity (as a surrogate for alkalinity), turbidity and temperature of untreated stormwater. Other important quantities include total volume treated, amount of polymer used for treatment and settling time.</p> <p>b. Discharge monitoring should include pH, turbidity and toxicity of treated stormwater, as well as discharge rates.</p> <p>c. Any other monitoring necessary to meet federal, state and local water quality standards.</p> <p>6. Education</p> <p>a. Each contractor who intends to use chemical treatment should be extensively trained by experienced personnel.</p> <p>b. If a different contractor is used for chemical stormwater treatment than the general construction site contractor, regular coordination meetings should be held between all responsible parties.</p>		
Source: Adapted from USDOT/FHWA TD-09-001	Symbol:	Detail No. DE-ESC-3.1.8 Sheet 2 of 3 Effective July 2023

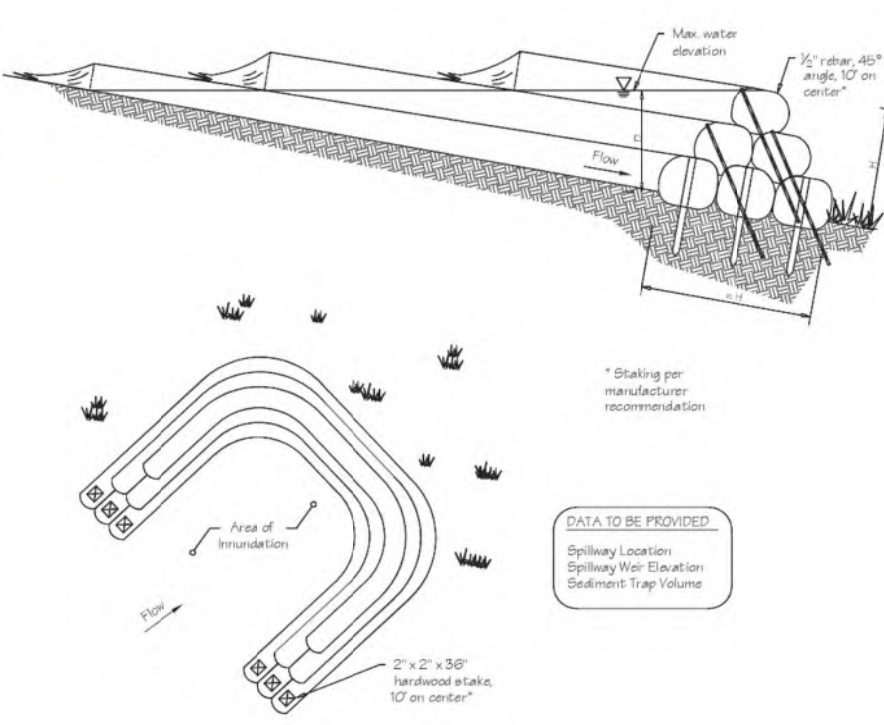
Standard Detail & Specifications Flocculation		
<p>7. Maintenance:</p> <p>Pretreatment and treatment ponds and cells should be cleaned out periodically, and sediment or floc properly disposed of. Pumps and feed systems must be maintained in good working order. Conveyance systems need to be inspected and maintained in order to function as designed. Check discharge points to ensure that no erosion is occurring from the release of treated runoff.</p> <p>8. Limitations:</p> <p>If approval of the chemical treatment system is not received during the application phase of the project, an addendum will be necessary and may result in project delays. Extensive monitoring may be necessary to ensure not only that turbidity reduction goals are being met, but that toxicity of the treated discharge is not an issue. The space necessary for pumps, treatment cells and chemical feed systems can be a problem on smaller sites.</p>		
Source: Adapted from USDOT/FHWA TD-09-001	Symbol:	Detail No. DE-ESC-3.1.8 Sheet 3 of 3 Effective July 2023

Standard Detail & Specifications Geotextile Dewatering Bag		
 <p>NOTE: Pre-manufactured products installed in accordance with manufacturer's recommendations may be used as an equivalent substitute with Departmental approval.</p>		
Source: Adapted from ACF Products, Inc.	Symbol: GB	Detail No. DE-ESC-3.2.1.2 Sheet 1 of 2 Effective July 2023

Standard Detail & Specifications Geotextile Dewatering Bag								
<p>Construction Notes:</p> <p>1. The dewatering bag should be placed so the incoming water flows into and through the bag, and then flow off the site without creating more erosion. The neck should be tied off tightly to stop the water from flowing out of the bag without going through the walls. The dewatering bag should be placed on a gravel bed to allow water to flow in all directions.</p> <p>2. The dewatering bag is considered full and should be disposed when it is impractical for the bag to filter the sediment out at a reasonable flow rate. At this point, it should be replaced with a new bag.</p> <p>3. Disposal may be accomplished as directed by the construction reviewer. If the site allows, the bag may be buried on site and seeded, visible fabric removed and seeded or removed from site to a proper disposal area.</p> <p>Materials:</p> <p>1. The geotextile fabric shall be a Type GD-IV.</p> <p>2. The dewatering bag shall be sewn with a double needle machine using high strength thread. All structural seams will be sewn with high strength, double stitched "J" type. Seam strength test will have the following minimum average roll values:</p> <table><thead><tr><th>Type</th><th>TEST METHOD</th><th>TEST RESULT</th></tr></thead><tbody><tr><td>Heavy duty</td><td>ASTM D-4884</td><td>100 lb / in</td></tr></tbody></table> <p>3. The dewatering bag shall have an opening large enough to accommodate a four (4) inch discharge hose with attached strap to be off the hose to prevent the pumped water from escaping from the bag without being filtered.</p>			Type	TEST METHOD	TEST RESULT	Heavy duty	ASTM D-4884	100 lb / in
Type	TEST METHOD	TEST RESULT						
Heavy duty	ASTM D-4884	100 lb / in						
Source: Adapted from ACF Products, Inc.	Symbol: GB	Detail No. DE-ESC-3.2.1.2 Sheet 2 of 2 Effective July 2023						

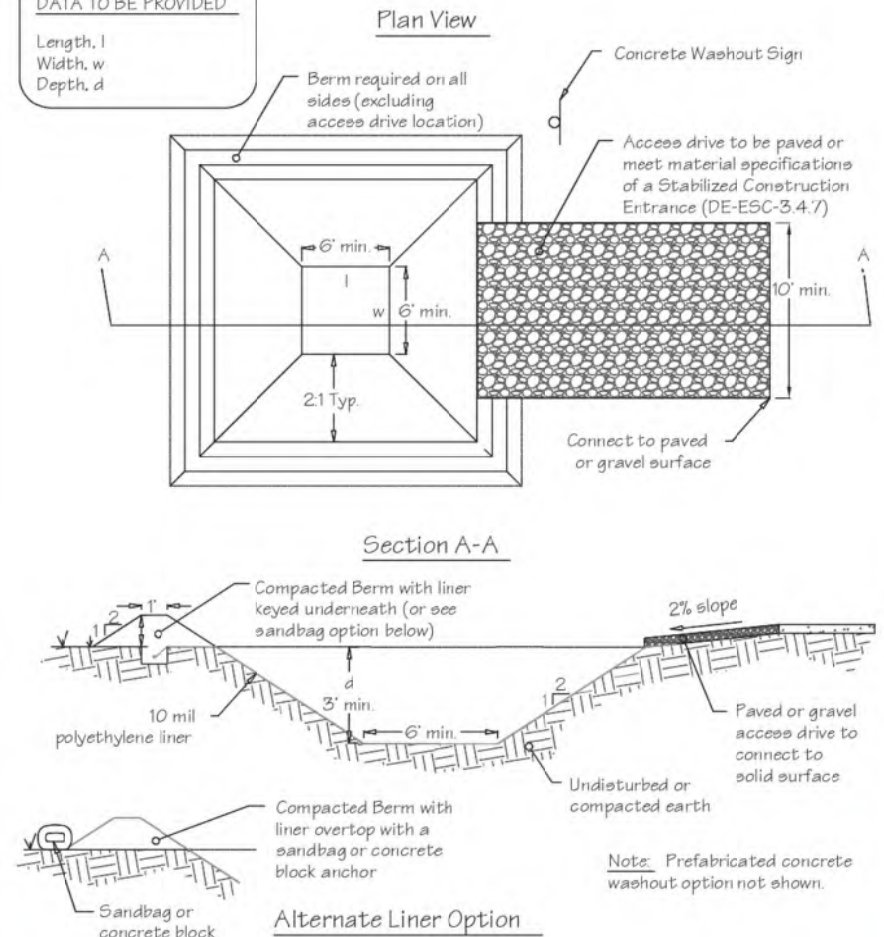
Standard Detail & Specifications Fueling & Spill Control		
<p>DATA TO BE PROVIDED:</p> <p>Volume of Potential Pollution Height of containment Area of containment Volume of containment</p>  <p>NOTE: Double-walled tanks with proper labeling meet EPA requirements for secondary containment.</p>		
Source: Delaware ESC Handbook	Symbol:	Detail No. DE-ESC-3.6.4 Sheet 1 of 2 Effective July 2023

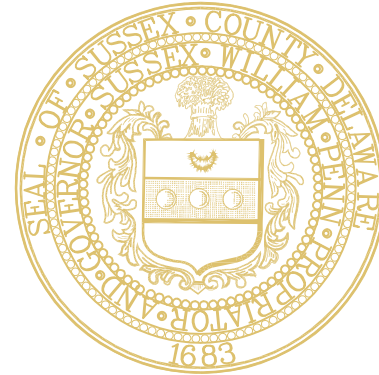
Standard Detail & Specifications Fueling & Spill Control		
<p>Pollution Prevention – Fueling & Spill Control</p> <p>1. Fueling should only take place in signed designated areas, away from downstream drainage facilities and watercourses.</p> <p>2. Fueling must be with nozzles equipped with automatic shut-off to control drips. Do not top off.</p> <p>3. Protect the areas where equipment or vehicles are being repaired, maintained, fueled or parked from storm water run-on and runoff.</p> <p>4. Use barriers such as berms to prevent storm water run-on and runoff, and to contain spills.</p> <p>5. Place a "Fueling Area" sign next to each fueling area.</p> <p>6. Store hazardous materials such as fuel, solvents, oil and chemicals in secondary containment.</p> <p>7. Inspect vehicles and equipment for leaks on each day of use. Repair fluid and oil leaks immediately.</p> <p>8. Absorbent spill clean-up materials and spill kits must be available in fueling areas and on fuel trucks.</p> <p>9. If fueling is to take place at night, make sure the fueling area is sufficiently illuminated.</p> <p>10. Properly dispose of used oil, fluids, lubricants and spill clean-up materials.</p> <p>CLEAN UP SPILLS</p> <p>1. If it is safe to do so, immediately contain and clean up any chemical and/or hazardous material spills.</p> <p>2. Properly dispose of used oil, fluids, lubricants and spill clean-up materials.</p> <p>3. Do not bury spills or wash them down with water.</p> <p>LEAKS AND DRIPS</p> <p>1. Use drip pans or absorbent pads at all times. Place under and around leaky equipment.</p> <p>2. Do not allow oil, grease, fuel or chemicals to drip onto the ground.</p> <p>3. Have spill kits and clean up material on-site.</p> <p>4. Repair leaky equipment promptly or remove problem vehicles and equipment from the site. Clean up contaminated soil immediately.</p> <p>5. Store contaminated waste in sealed containers constructed of suitable material. Label these containers properly.</p> <p>6. Clean up all spills and leaks. Promptly dispose of waste and spent clean up materials.</p>		
Source: Delaware ESC Handbook	Symbol:	Detail No. DE-ESC-3.6.4 Sheet 2 of 2 Effective July 2023

Standard Detail & Specifications Compost Log Sediment Trap		
 <p>DATA TO BE PROVIDED:</p> <p>Setback Location Setback Vol. Elevation Setback Trap Volume</p>		
Source: Adapted from Filtrex™ International	Symbol: CST	Detail No. DE-ESC-3.1.3.4 Sheet 1 of 3 Effective July 2023

Standard Detail & Specifications Compost Log Sediment Trap		
<p>Construction Notes:</p> <p>1. Compost log sediment traps should be placed on low grade or level contours to maximize runoff sediment volume containment.</p> <p>2. Compost logs are stacked so the horizontal base width is at least equivalent to the effective height (1H:1V); traps shall be installed so the effective height is at least 3 feet.</p> <p>3. The volume of sediment storage shall be 3500 cubic feet per acre of drainage area.</p> <p>4. Stakes shall be installed through the middle of the compost logs using 2 inches by 2 inches by 3 feet wooden hardwood stakes on 10 feet centers. Stakes shall be placed in a pyramid configuration perpendicular to compost logs where stakes cross at the apex of the compost log trap. Stakes shall be joined and secured with wire wrapping at apex using 16 gauge or multi-strand 20 gauge wire allowing 12 inches of stake above the compost log trap.</p> <p>5. All base layers shall be staked on 5 feet centers; placed opposite the pyramid staking where staking is present every 2.5 feet Half inch rebar may also be used when ground is frozen or extremely compacted. Staking depth for all soil types shall be a minimum 12 inches into native soil.</p> <p>6. Concentrated flows, channels, or ditches directing flow into the trap shall employ energy flow dissipaters prior to flow contact with the trap compost logs or entry into the trap system. Dissipaters shall be placed at a minimum distance of 20 feet from the base course of the trap.</p> <p>7. In order to prevent water flowing around the ends of the sediment trap, the ends of the trap must be constructed pointing upslope so the ends are at a minimum 1 foot higher elevation than the lowest point (mid-section) of the sediment trap. The mid-section of the sediment trap shall be the point of lowest elevation. A minimum of 10 linear feet per end each placed at a 30 degree angle is recommended.</p> <p>8. The design engineer will determine the location of a controlled outfall which will also serve as the minimum freeboard location for the trap. Erosion control matting or appropriately sized riprap shall be installed under the first row of compost logs and extend from the trap a distance no less than 30 feet.</p> <p>9. The compost log sediment trap must be reviewed on a regular basis to ensure that it is in a functional condition at all times. Remove the sediment at the base of the upslope side of the sediment trap when accumulation has reached one half (1/2) of the effective height of the trap.</p>		
Source: Adapted from Filtrex™ International	Symbol: CST	Detail No. DE-ESC-3.1.3.4 Sheet 2 of 3 Effective July 2023

Standard Detail & Specifications Compost Log Sediment Trap		
<p>10. The compost medium in the logs will be dispersed on site once the upgrade disturbed area has been permanently stabilized and approval is granted by the local delegated agency to remove the trap. The compost medium may be dispersed with a loader, rake, bulldozer or similar device and may be incorporated into the soil as an amendment or left on the soil surface to aid in permanent seeding or landscaping. The compost log mesh netting must be extruded and disposed of properly. In the case where biodegradable mesh netting has been used, the netting may remain incorporated with the compost medium when being spread on site.</p> <p>Materials</p> <p>1. Stakes: 2" x 2" x 36" hardwood.</p> <p>2. Compost media : See requirements in Standard Detail and Specifications for Compost Logs (DE-ES-3.1.7).</p> <p>3. Filter sock: See requirements in Standard Detail and Specifications for Compost Logs (DE-ES-3.1.7).</p> <p>4. Rebar: 1/2" nominal.</p> <p>MAXIMUM DRAINAGE AREA: 5 ACRES</p>		
Source: Adapted from Filtrex™ International	Symbol: CST	Detail No. DE-ESC-3.1.3.4 Sheet 3 of 3 Effective July 2023

Standard Detail & Specifications Concrete Washout		
<p>DATA TO BE PROVIDED:</p> <p>Length, l Width, w Depth, d</p>  <p>Alternate Liner Option</p>		
Source: Adapted from Colorado Urban Storm Drainage Criteria Manual, Vol 3	Symbol: CW	Detail No. DE-ESC-3.6.2 Sheet 1 of 2 Effective July 2023



Sussex County
Engineering Department
2 The Circle, P.O. Box 589
Georgetown, DE 19947
Ph: 302-855-7718
Fax: 302-855-7999

Sediment & Stormwater
Management Notes & Details

Rev1 PLAN SET UPDATED PER REVISED CONSTRUCTION
SEQUENCE: 06/10/25

Rev2

Rev3

Rev4

Inland Bays RWF Expansion
Tax Map # 234-22.00-11.00
Indian River Hundred, Sussex County, DE

Professional Seal

Drawn By: VT
Date: 06/10/2025
Project No: S17-16
Scale: NO SCALE

Sheet:
C6.07

DATA TO BE PROVIDED

Length, L
Width, W
Depth, d

Plan View

Berm required on all sides (including access drive location)

Concrete Washout Sign

Access drive to be paved or most material specifications of a Standard Construction Entrance (DE-ESC-3.4.7)

6" min.

6" min.

21" typ.

10' min.

Connect to paved or gravel surface

Section A-A

Compacted Berms with liner system underneath (or see sanding option below)

10 mil polyethylene liner

3' min.

6" min.

2% slope

Fluid or gravel access drive to connect to solid surface

Undisturbed or compacted earth

Alternate Liner Option

Compacted Berm with liner overlay with a sanding or concrete block anchor

Sanding or concrete block

Note: Prefabricated concrete washout option not shown.

CW

1. Locate washout area so a minimum of 50 feet from open channels, stormdrain inlets, wetlands or waterbodies.
2. Locate washout area so that it is accessible to construction equipment (service with a minimum 10 foot wide gravel accessway), but is not in a highly active construction area causing accidental damage.
3. Minimum dimensions for prefabricated units are 4 feet by 4 feet by 1 foot deep with a minimum 4mil polyethylene plastic liner. Minimum dimensions for constructed concrete washout areas are 6 feet by 6 feet by 3 feet deep, with a minimum 10mil polyethylene liner, 2:1 side slopes, and a 1 foot high by 1 foot wide compacted fill berm.
4. The liner must be free of tears and placed over smooth surfaces to prevent puncturing. For excavated washouts, anchor the liner underneath the berm or overlap with sandbags or concrete blocks to hold in place.
5. Provide a sign designating the washout area, and for large construction sites, provide signs throughout directing traffic to its location.
6. Allow washed out concrete mixture to harden through evaporation of the wastewater. Once the facility has reached 75 percent of its capacity, remove the hardened concrete by reusing the broken aggregate onsite, recycling, or disposing of offsite. The hardened material can be buried on site with minimum of 1 foot of clean, compacted fill.
7. Apply a new liner before reusing the station for additional washouts after maintenance has occurred.

CW

Plan

50' min.

10' min.

Wash rack (optional)

Edges exist. pav.

10' min.

DE #3 Stone

Provide positive drainage to sediment trapping

Profile

50' min.

6' min.

Mountable berm (as needed)

Culvert pipe (as needed)

GS-1 geotextile

Exist. gnd

Detail

10' min.

3' min.

3' min.

Type GS-1 geotextile fabric

Section 4.4 (Cont.)

SCE

Equipment wheel track + 2'

Set in reinforced conc.

Provide space for drainage

Section A-A (Opt.)

Construction Notes:

1. Stone size - Use DE #3 stone.
2. Length - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
3. Thickness - Not less than six (6) inches.
4. Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
5. Grout/Tile - Type GS-1, placed over the entire area prior to placing of stone.
6. Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable beam with 5.1 slopes will be permitted.
7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flow of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or removal of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
8. Washing - Vehicle wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. Inspection - Periodic inspection and needed maintenance shall be provided after each rain.

SCE

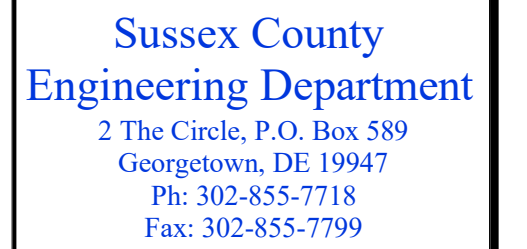
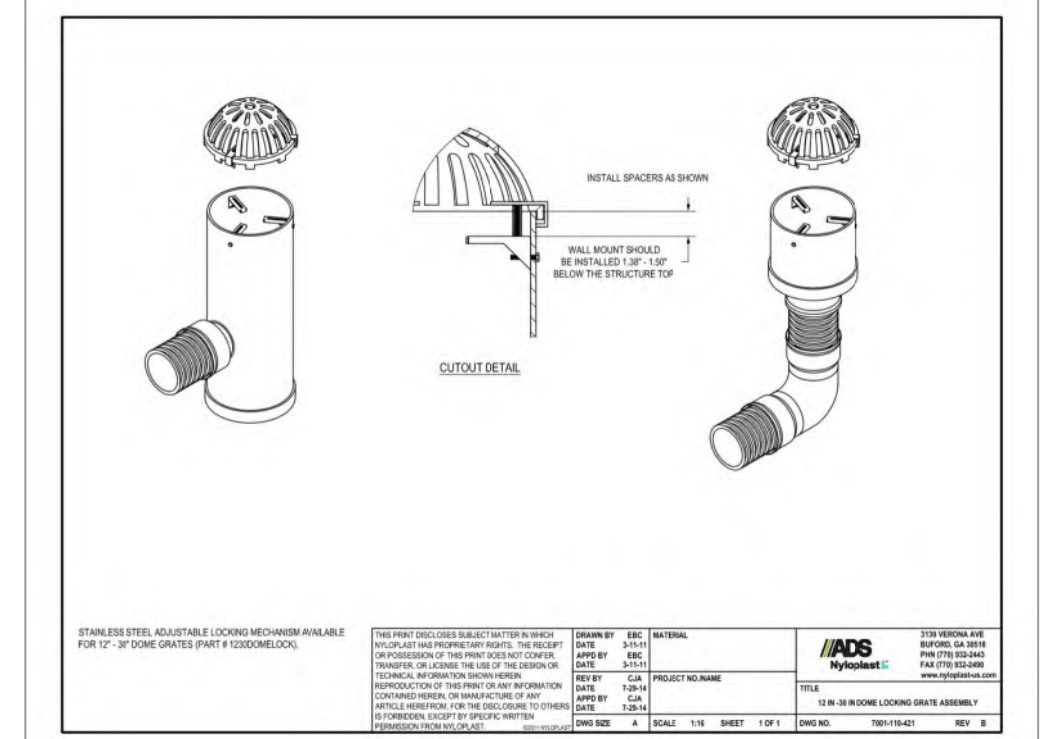
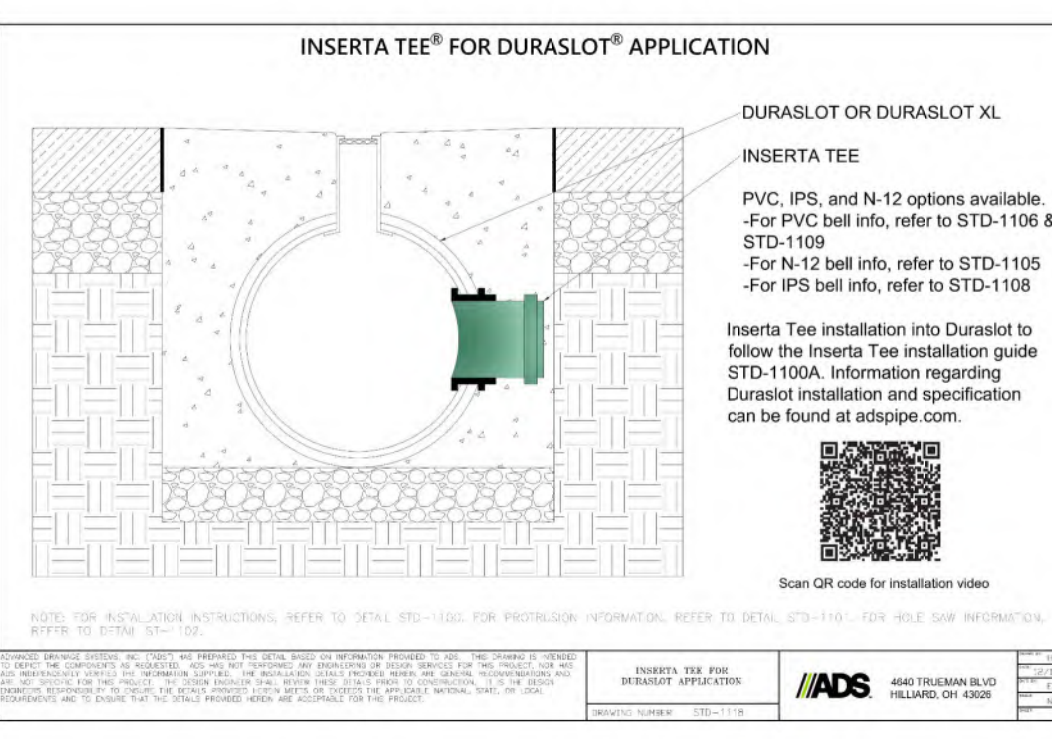
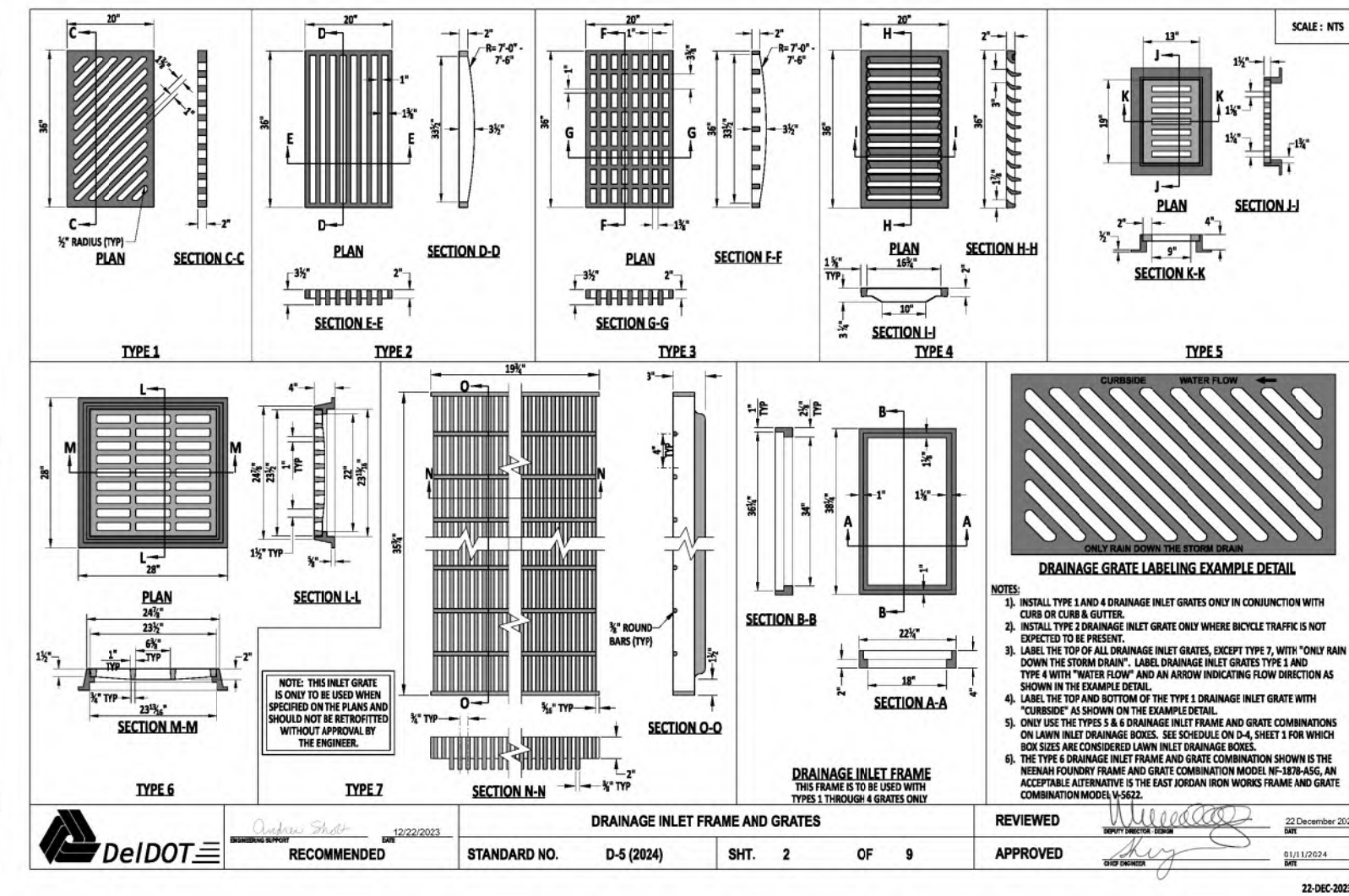
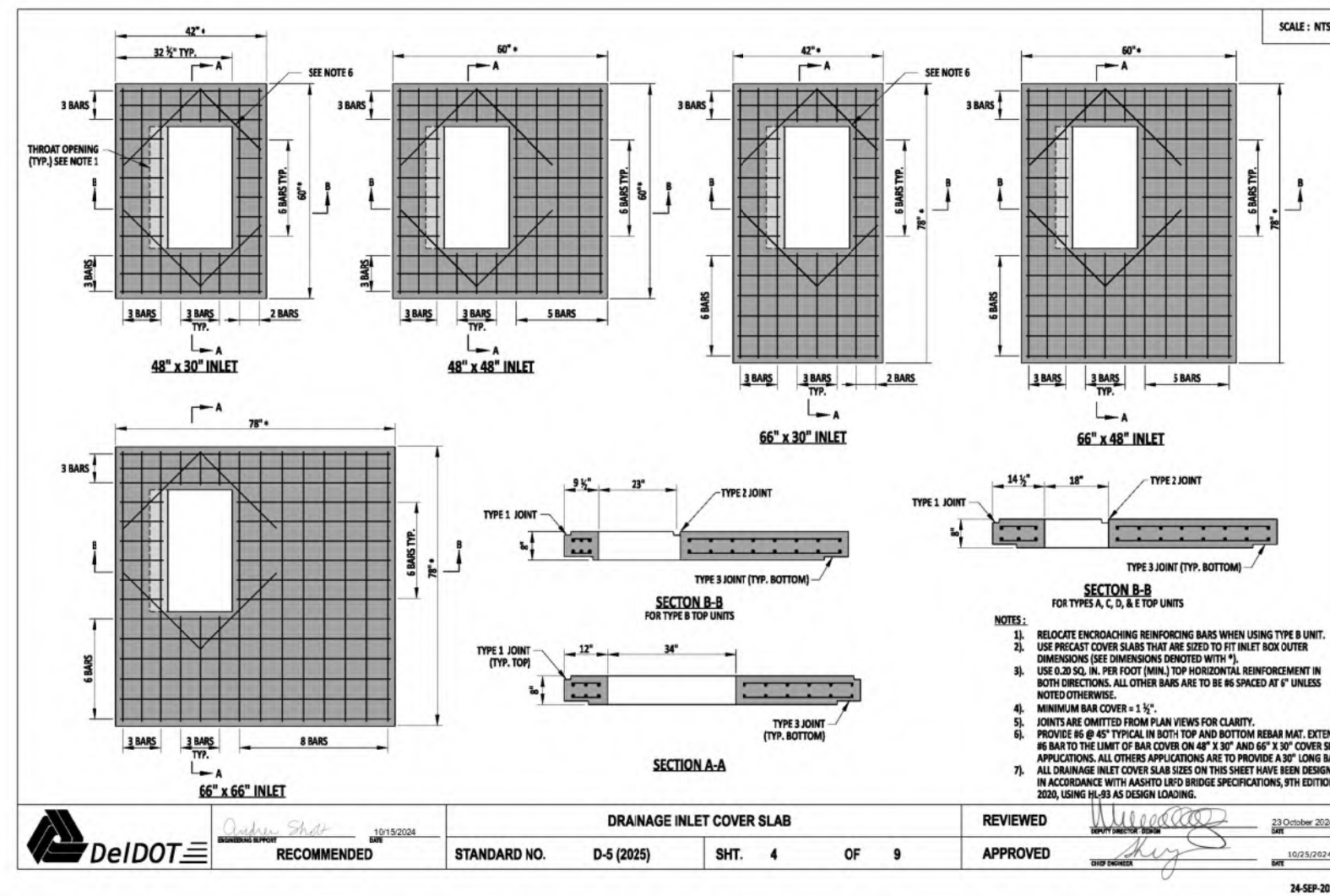
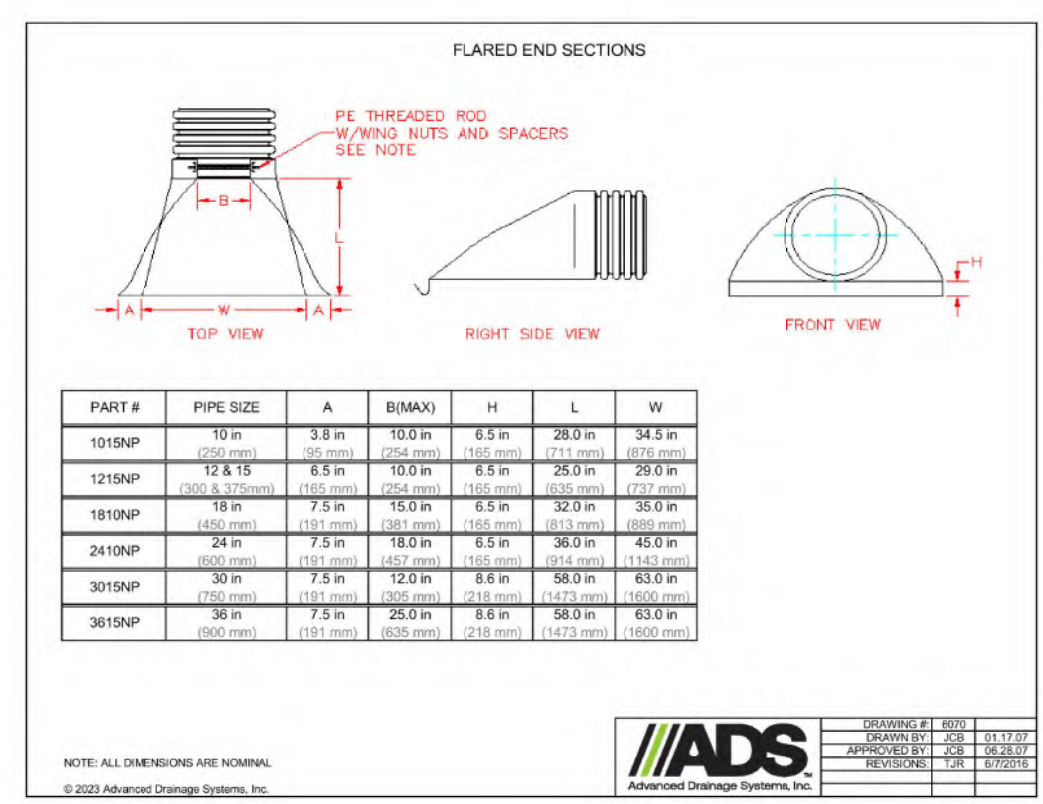
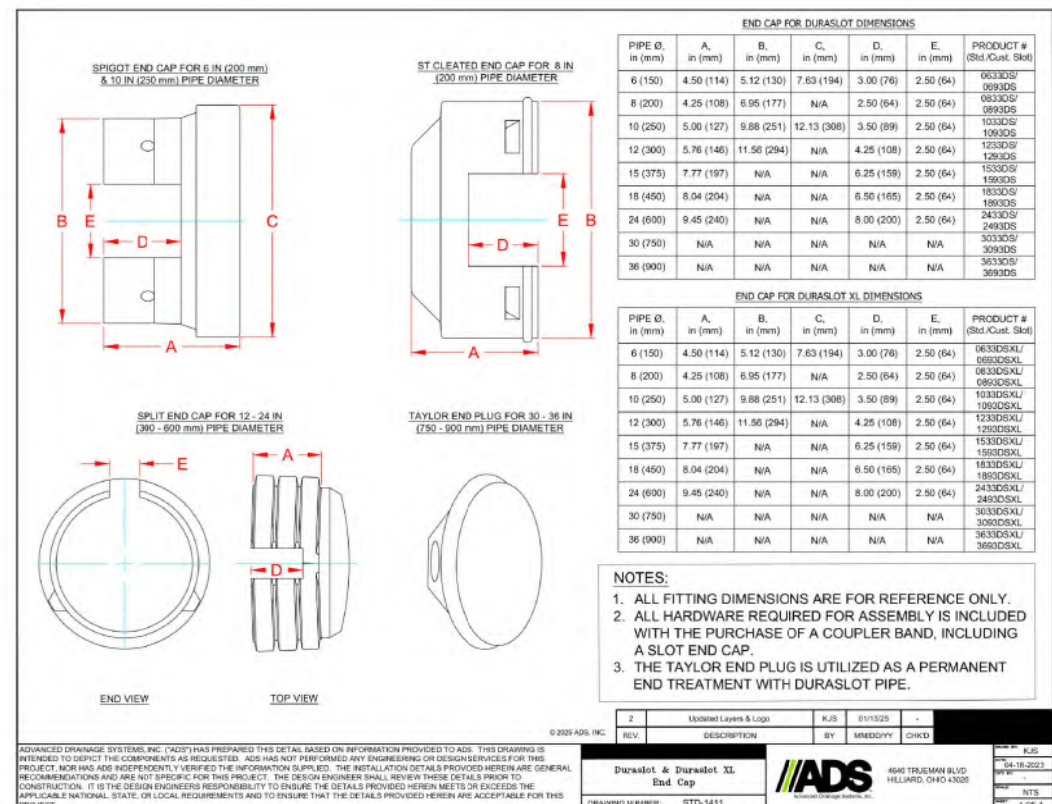
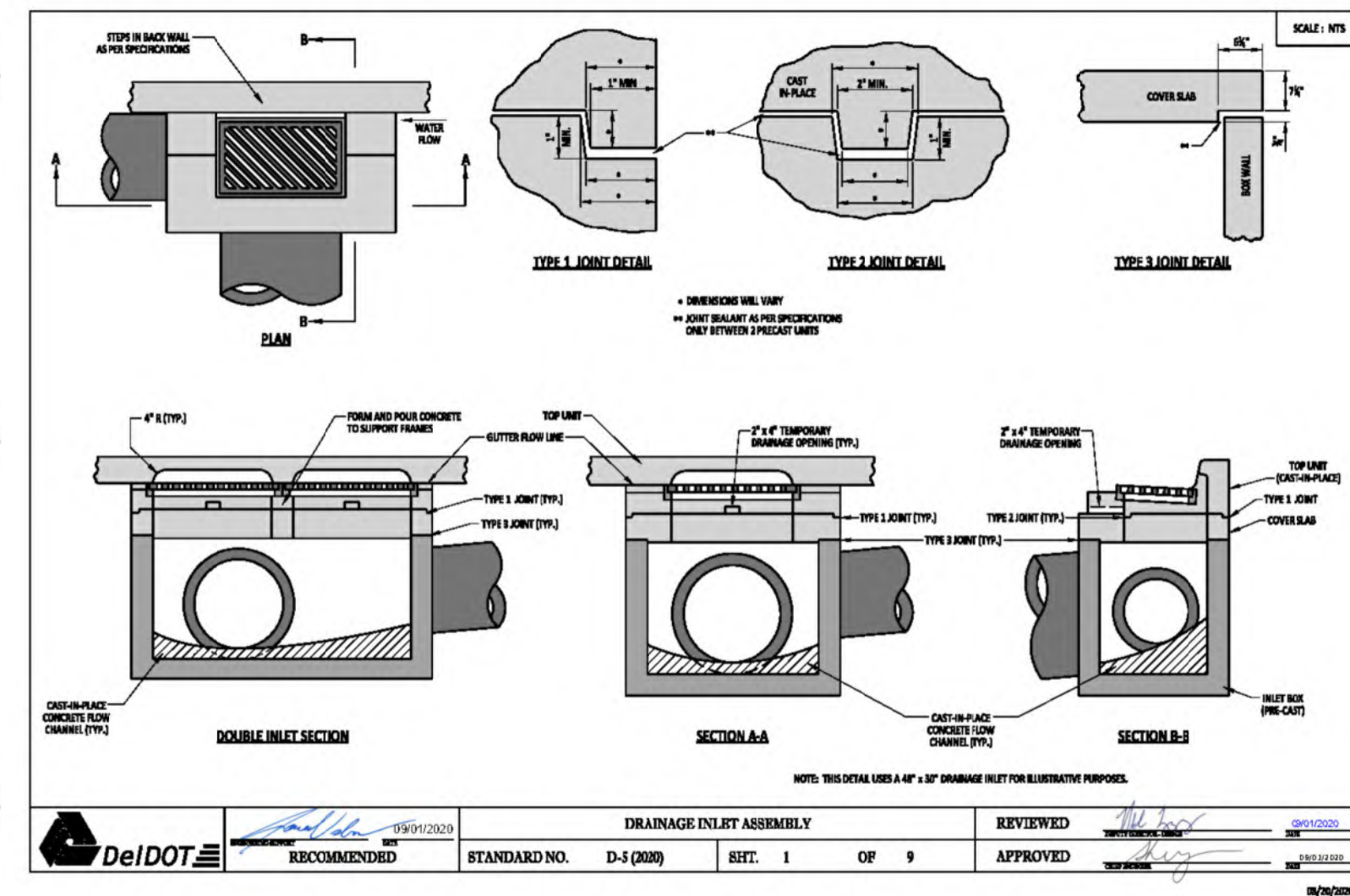
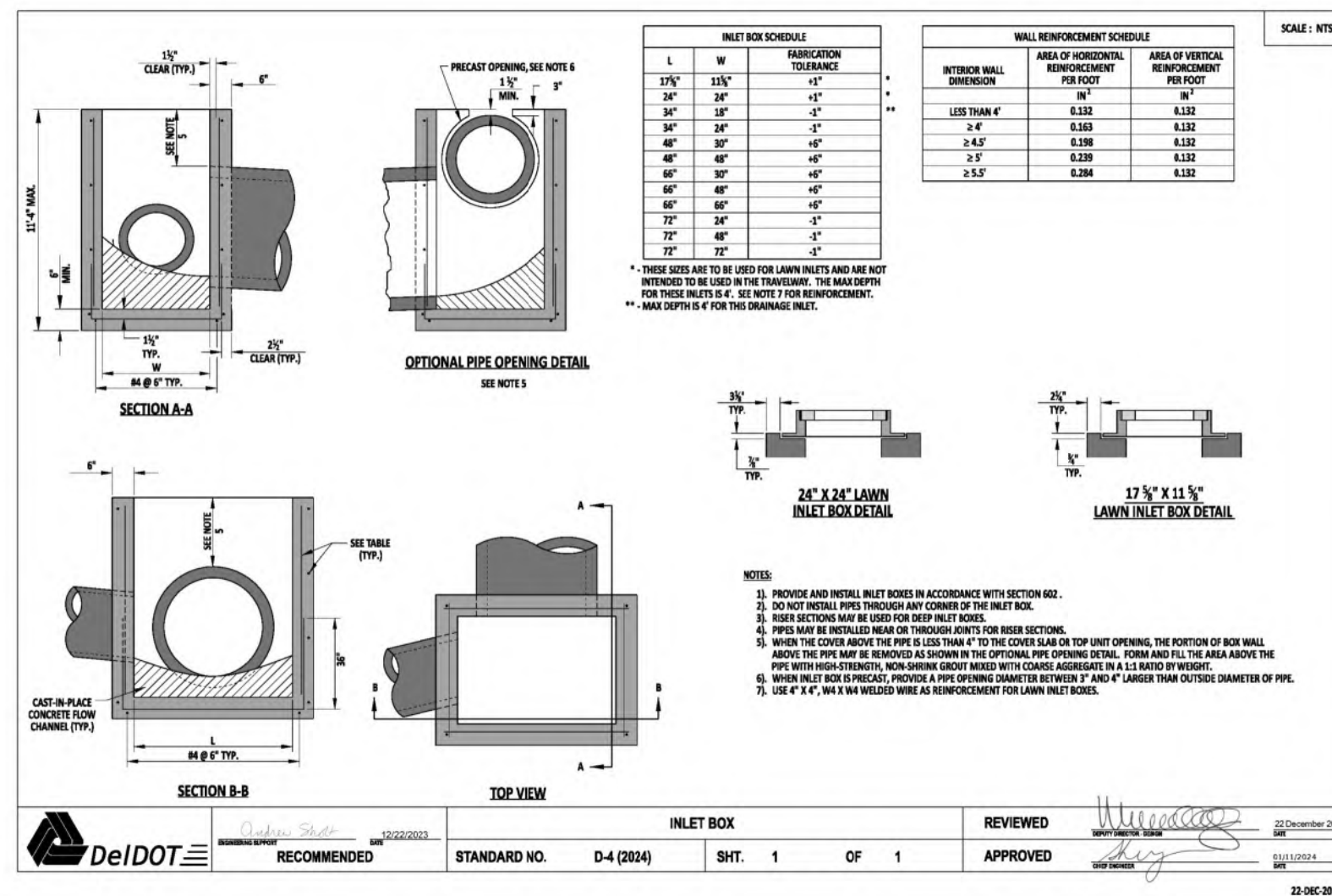
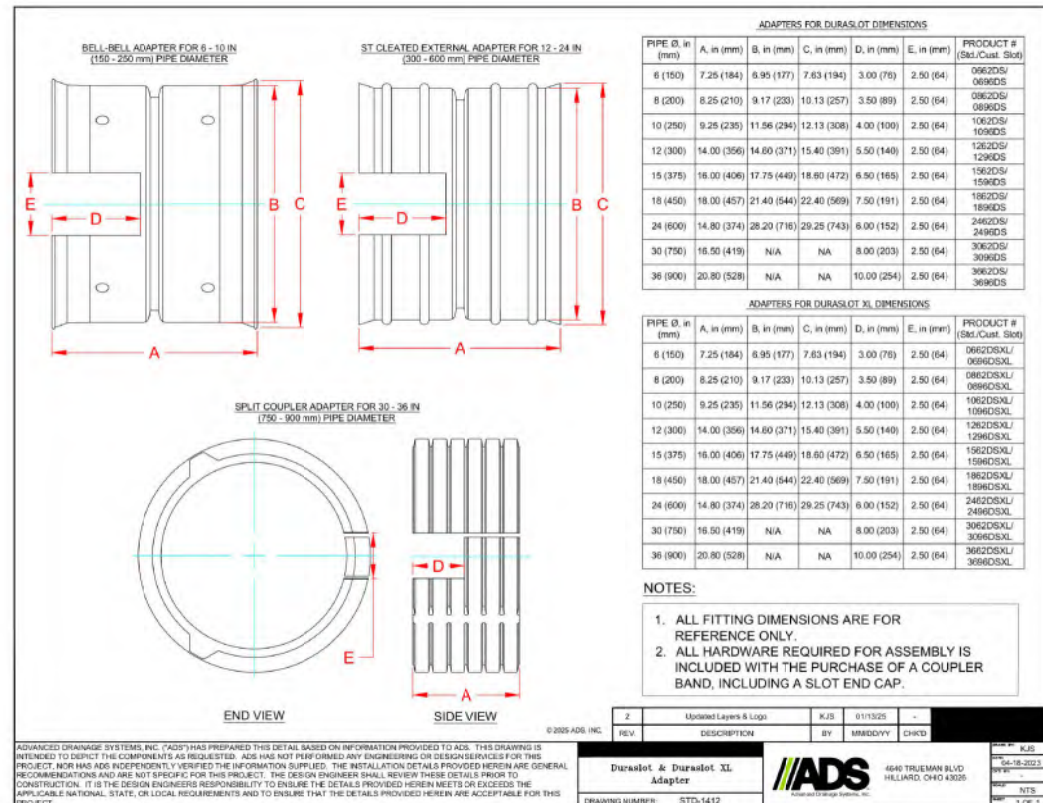
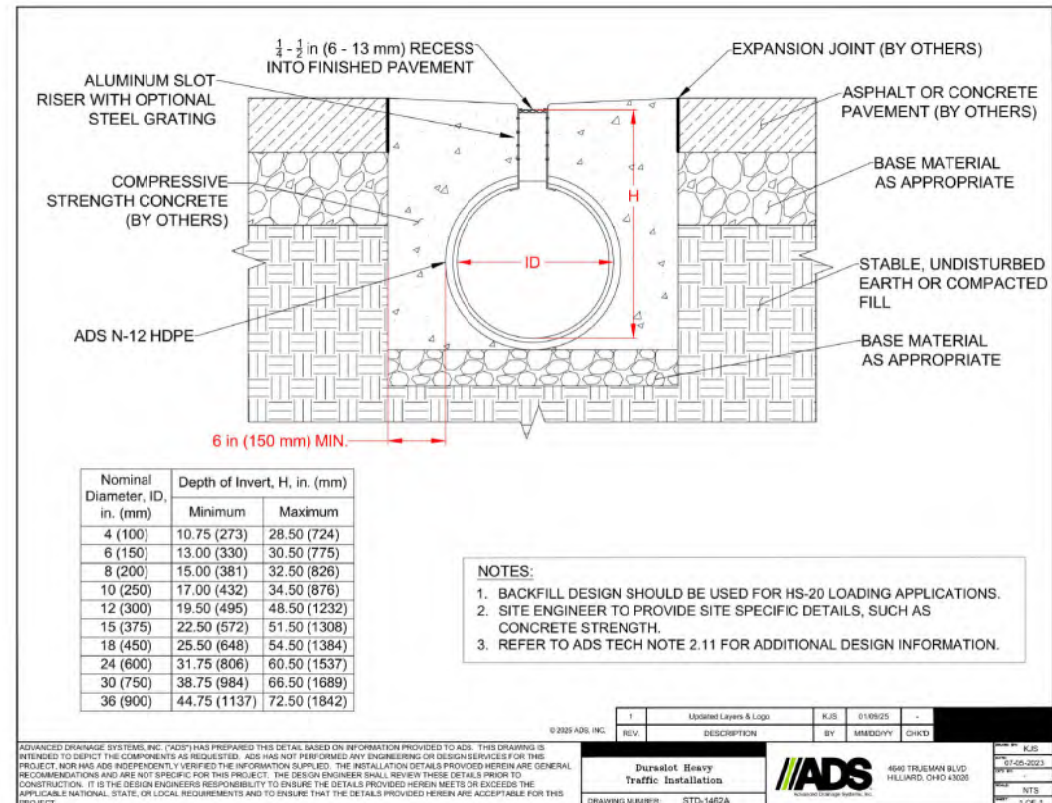
The diagram illustrates the installation of a standpipe for water level measurement. A vertical pipe is shown with a suction line at the top, labeled 'Suction line to pumps (2" max.)'. The top of the standpipe is labeled 'Top of standpipe to extend min. 12"-18" above water level'. The pipe is wrapped with 'Type G2-II geotextile fabric'. The pipe is labeled '12"-24" corrugated metal or plastic pipe with T side perforations at 6" O.C.'. The pipe is labeled 'DE #57 Stone'. The pipe is labeled 'Water-tight cap or plate'. The pipe is labeled '4" Min.'. The pipe is labeled 'Standpipe wrapped with Type G2-II geotextile fabric'. The pipe is labeled 'Side slope (varies)'. The pipe is labeled 'Clean water discharge'. The pipe is labeled '3" min.'. The pipe is labeled 'Place 12" of DE #57 stone before installing stand pipe'. The pipe is labeled 'Section'.

Construction Notes:

- Pit dimensions are variable.
- The standpipe should be constructed by perforating a 12" to 24" diameter corrugated or PVC pipe. The perforations shall be 1/2" x 6" sills or 1" diameter holes 6" on center.
- A base of DE #57 aggregate should be placed in the pit to a depth of 12". After installing the standpipe, the pit surrounding the standpipe should then be backfilled with DE #57 aggregate.
- The standpipe should extend 12" to 18" above the lip of the pit or riser crest elevation (at the downspout).

NOTE: If discharge will be pumped directly to a storm drainage system, the standpipe should be supported with Type G-40 geotextile fabric before installation. If desired, 2" hardware cloth may be placed around the standpipe, prior to attaching the geotextile fabric. This will increase the rate of water seepage into the pipe.

(PP-1)



Sediment & Stormwater Management Notes & Details

Rev1 PLAN SET UPDATED PER REVISED CONSTRUCTION
SEQUENCE. 06/10/25

Rev2

Rev3

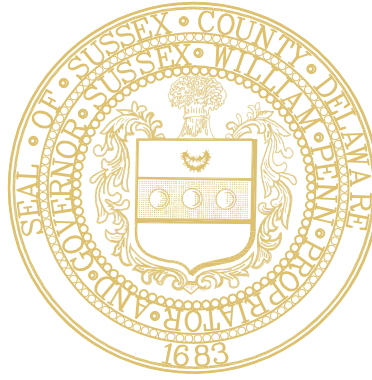
Row 4

Inland Bays RWF Expansion
Tax Map # 234-22.00-11.00
Indian River Hundred, Sussex County, DE

Professional Seal

Drawn By:	Date:
VT	06/10/202
Project No:	Scale:
S17-16	NO SCALE
Sheet:	

C6.08



Sussex County
Engineering Department
2 The Circle, P.O. Box 589
Georgetown, DE 19947
Ph: 302-855-7718
Fax: 302-855-7799

Sediment & Stormwater
Management Notes & Details

Rev1 PLAN SET UPDATED PER REVISED CONSTRUCTION
SEQUENCE: 06/10/25

Rev2

Rev3

Rev4

Inland Bays RWF Expansion
Tax Map # 234-22.00-11.00
Indian River Hundred, Sussex County, DE

Professional Seal

Drawn By: VT
Date: 06/10/2025
Project No: S17-16
Scale: NO SCALE
Sheet:

C6.09A

CB-1B

Nyloplast® DRAIN BASIN SHOP DRAWING
A division of **ADS**

Project Name: CANNON RD SF-279723 Dia: 24 Structure No: CB-9 Qty: 1
Prepared By: Melissa Hickson Nyloplast 470-228-1963 melissa.hickson@ads-pipe.com
Grate: 24" Domed; Accessories:
Rim Elev.: 19.00 ft. Basin Height: 90 in. Sump Depth: 6.00 in.

Stub #	Stub size	Angle	Pipe Type	Invert Elev. ft. AMSL	Production Depth inches
Stub #1	24 in.	0°	ADS N12	12.00 ft.	84.00 in.
Stub #2					
Stub #3					
Stub #4					
Stub #5					
Stub #6					

CUSTOMER NOTES **PART CODES** **PRODUCTION NOTES**

2499C00;
This product is made to order and non-Refundable
Nyloplast, 3130 Verona Ave. Buford, GA 30518, (866) 888-8479
Nyloplast® is a registered trademark of Advanced Drainage Systems®
Nyloplast® is not responsible for accuracy of shop drawings submitted by customer through Basin Configuration. Submission of shop drawings for purchase and fabrication constitutes an approval for production as designed by customer.

STRUCTURE MODIFICATIONS
RIM: 30.00'
INVERT IN: 28.23' (24" EX BRANCH)
INVERT OUT: 28.23' (10" PR ADD-A-BRANCH KIT)
ADD-A-BRANCH ANGLE: 148°
SUMP: 6"
(1) 24" X 12" WT NYLOPLAST REDUCER
GRATE: EX H-20 DOME W/ NEW LOCKING GRATE ASSEMBLY

CB-2

Nyloplast® DRAIN BASIN SHOP DRAWING
A division of **ADS**

Project Name: CANNON RD SF-279723 Dia: 24 Structure No: CB-10 Qty: 1
Prepared By: Melissa Hickson Nyloplast 470-228-1963 melissa.hickson@ads-pipe.com
Grate: 24" Domed; Accessories:
Rim Elev.: 19.00 ft. Basin Height: 90 in. Sump Depth: 6.00 in.

Stub #	Stub size	Angle	Pipe Type	Invert Elev. ft. AMSL	Production Depth inches
Stub #1	24 in.	0°	ADS N12	12.00 ft.	84.00 in.
Stub #2					
Stub #3					
Stub #4					
Stub #5					
Stub #6					

CUSTOMER NOTES **PART CODES** **PRODUCTION NOTES**

2499C00;
This product is made to order and non-Refundable
Nyloplast, 3130 Verona Ave. Buford, GA 30518, (866) 888-8479
Nyloplast® is a registered trademark of Advanced Drainage Systems®
Nyloplast® is not responsible for accuracy of shop drawings submitted by customer through Basin Configuration. Submission of shop drawings for purchase and fabrication constitutes an approval for production as designed by customer.

STRUCTURE MODIFICATIONS
RIM: 27.52'
INVERT OUT: 25.35' (24" EX BRANCH)
SUMP: 6"
(1) 24" X 12" WT NYLOPLAST REDUCER
GRATE: EX H-20 DOME W/ NEW LOCKING GRATE ASSEMBLY

CB-4

Nyloplast® DRAIN BASIN SHOP DRAWING
A division of **ADS**

Project Name: CANNON RD SF-279723 Dia: 24 Structure No: CB-11 Qty: 1
Prepared By: Melissa Hickson Nyloplast 470-228-1963 melissa.hickson@ads-pipe.com
Grate: 24" Domed; Accessories:
Rim Elev.: 19.00 ft. Basin Height: 90 in. Sump Depth: 6.00 in.

Stub #	Stub size	Angle	Pipe Type	Invert Elev. ft. AMSL	Production Depth inches
Stub #1	24 in.	0°	ADS N12	12.00 ft.	84.00 in.
Stub #2					
Stub #3					
Stub #4					
Stub #5					
Stub #6					

CUSTOMER NOTES **PART CODES** **PRODUCTION NOTES**

2499C00;
This product is made to order and non-Refundable
Nyloplast, 3130 Verona Ave. Buford, GA 30518, (866) 888-8479
Nyloplast® is a registered trademark of Advanced Drainage Systems®
Nyloplast® is not responsible for accuracy of shop drawings submitted by customer through Basin Configuration. Submission of shop drawings for purchase and fabrication constitutes an approval for production as designed by customer.

STRUCTURE MODIFICATIONS
RIM: 27.53'
INVERT OUT: 25.47' (24" EX BRANCH)
SUMP: 6"
(1) 24" X 12" WT NYLOPLAST REDUCER
GRATE: EX H-20 DOME W/ NEW LOCKING GRATE ASSEMBLY

CB-5

Nyloplast® DRAIN BASIN SHOP DRAWING
A division of **ADS**

Project Name: CANNON RD SF-279723 Dia: 24 Structure No: CB-12 Qty: 1
Prepared By: Melissa Hickson Nyloplast 470-228-1963 melissa.hickson@ads-pipe.com
Grate: 24" Domed; Accessories:
Rim Elev.: 19.00 ft. Basin Height: 90 in. Sump Depth: 6.00 in.

Stub #	Stub size	Angle	Pipe Type	Invert Elev. ft. AMSL	Production Depth inches
Stub #1	24 in.	0°	AOS N12	12.00 ft.	84.00 in.
Stub #2					
Stub #3					
Stub #4					
Stub #5					
Stub #6					

CUSTOMER NOTES **PART CODES** **PRODUCTION NOTES**

2499C00;
This product is made to order and non-Refundable
Nyloplast, 3130 Verona Ave. Buford, GA 30518, (866) 888-8479
Nyloplast® is a registered trademark of Advanced Drainage Systems®
Nyloplast® is not responsible for accuracy of shop drawings submitted by customer through Basin Configuration. Submission of shop drawings for purchase and fabrication constitutes an approval for production as designed by customer.

STRUCTURE MODIFICATIONS
RIM: 28.59'
INVERT OUT: 25.69' (24" EX BRANCH)
SUMP: 6"
(1) 24" X 15" WT NYLOPLAST REDUCER
GRATE: EX H-20 DOME W/ NEW LOCKING GRATE ASSEMBLY

CB-6

Nyloplast® DRAIN BASIN SHOP DRAWING
A division of **ADS**

Project Name: CANNON RD SF-279723 Dia: 24 Structure No: CB-13 Qty: 1
Prepared By: Melissa Hickson Nyloplast 470-228-1963 melissa.hickson@ads-pipe.com
Grate: 24" Domed; Accessories:
Rim Elev.: 19.00 ft. Basin Height: 90 in. Sump Depth: 6.00 in.

Stub #	Stub size	Angle	Pipe Type	Invert Elev. ft. AMSL	Production Depth inches
Stub #1	24 in.	0°	ADS N12	12.00 ft.	84.00 in.
Stub #2					
Stub #3					
Stub #4					
Stub #5					
Stub #6					

CUSTOMER NOTES **PART CODES** **PRODUCTION NOTES**

2499C00;
This product is made to order and non-Refundable
Nyloplast, 3130 Verona Ave. Buford, GA 30518, (866) 888-8479
Nyloplast® is a registered trademark of Advanced Drainage Systems®
Nyloplast® is not responsible for accuracy of shop drawings submitted by customer through Basin Configuration. Submission of shop drawings for purchase and fabrication constitutes an approval for production as designed by customer.

STRUCTURE MODIFICATIONS
RIM: 28.25'
INVERT IN: 25.22' (PR 15" ADD-A-BRANCH KIT)
INVERT OUT: 25.12' (EX 24" BRANCH)
ADD-A-BRANCH ANGLE: 173°
SUMP: 6"
(1) 24" X 18" WT NYLOPLAST REDUCER
GRATE: EX H-20 DOME W/ NEW LOCKING GRATE ASSEMBLY

CB-7

Nyloplast® DRAIN BASIN SHOP DRAWING
A division of **ADS**

Project Name: CANNON RD SF-279723 Dia: 24 Structure No: CB-14 Qty: 1
Prepared By: Melissa Hickson Nyloplast 470-228-1963 melissa.hickson@ads-pipe.com
Grate: 24" Domed; Accessories:
Rim Elev.: 19.00 ft. Basin Height: 90 in. Sump Depth: 6.00 in.

Stub #	Stub size	Angle	Pipe Type	Invert Elev. ft. AMSL	Production Depth inches
Stub #1	24 in.	0°	ADS N12	12.00 ft.	84.00 in.
Stub #2					
Stub #3					
Stub #4					
Stub #5					
Stub #6					

CUSTOMER NOTES **PART CODES** **PRODUCTION NOTES**

2499C00;
This product is made to order and non-Refundable
Nyloplast, 3130 Verona Ave. Buford, GA 30518, (866) 888-8479
Nyloplast® is a registered trademark of Advanced Drainage Systems®
Nyloplast® is not responsible for accuracy of shop drawings submitted by customer through Basin Configuration. Submission of shop drawings for purchase and fabrication constitutes an approval for production as designed by customer.

STRUCTURE MODIFICATIONS
RIM: 27.75'
INVERT IN: 24.62' (PR 18" ADD-A-BRANCH KIT)
INVERT OUT: 24.52' (24" EX BRANCH)
ADD-A-BRANCH ANGLE: 178°
SUMP: 6"
(1) 24" X 18" WT NYLOPLAST REDUCER
GRATE: EX H-20 DOME W/ NEW LOCKING GRATE ASSEMBLY

Add-A-Branch™ Kit

Nyloplast Add-a-Branch kits are a quick and cost-effective way to connect 4-24" (100-600 mm) diameter lateral pipes to Nyloplast Drain Basins in the field. Using an Add-a-Branch kit provides flexibility during the installation phases of a job site when unknown variables may be expected or encountered.

When you have to make field connections, use Nyloplast and Add-a-Branch to save you time and money. Avoid time to knockout precast concrete and time for grouting and curing of concrete. Add a branch installs 3-4 times faster than traditional connection methods.

Our newest 24" Add-a-Branch kits have the ability to connect a variety of lateral pipe types to the 36" Drain Basins. Add-A-Branch Pipe connections include ADS N-12, PVC Sewer SDR33, PVC Schedule 40 and many more, making them versatile for all storm water installations.



Add-A-Branch Product Numbers

Pipe Size	Part Number	Min Basin Size
4" (100 mm)	6004AG_	8" (200 mm)
6" (150 mm)	6006AG_	10" (250 mm)
8" (200 mm)	6008AG_	12" (300 mm)
10" (250 mm)	6010AG_	15" (375 mm)
12" (300 mm)	6012AG_	18" (450 mm)
15" (375 mm)	6015AG_	24" (600 mm)
4" (100 mm)	6004AG_30	SPEC. TO 30" (750 mm)
6" (150 mm)	6006AG_30	SPEC. TO 30" (750 mm) & 36" (900 mm)
8" (200 mm)	6008AG_30	SPEC. TO 30" (750 mm) & 36" (900 mm)
10" (250 mm)	6010AG_30	SPEC. TO 30" (750 mm) & 36" (900 mm)
12" (300 mm)	6012AG_30	SPEC. TO 30" (750 mm) & 36" (900 mm)
15" (375 mm)	6015AG_30	SPEC. TO 30" (750 mm) & 36" (900 mm)
18" (450 mm)	6018AG_30	SPEC. TO 30" (750 mm) & 36" (900 mm)
24" (600 mm)	6024AG_36	SPEC. TO 36" (900 mm)

* The space in the, part number is either "N" for N-12, "S" for SDR, or "D" for DWV.



ads-pipe.com
1-800-621-6710

Add-A-Branch Kit Specification

Scope

Joint performance between all 4"-24" (100-600 mm) Add-a-Branch adapters and the Nyloplast Drain Basins provide a soil tight connection as specified in ASTM F 2306. Gaskets per ASTM F477

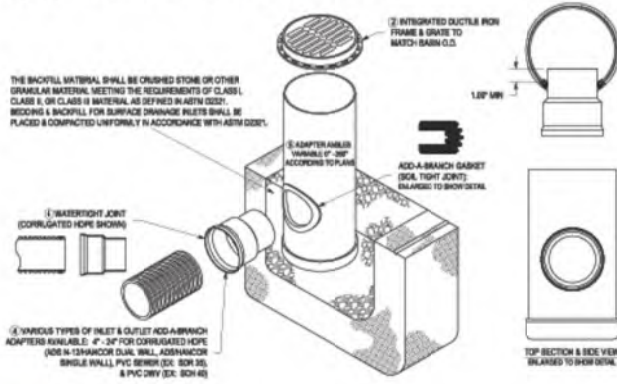
Installation

- Installation of Add-a-Branch structures shall be in accordance with manufacturer's recommended installation guidelines.
- It is recommended that the Add-A-Branch connection be 2 diameters smaller than basin diameter
- This type of field connection can be cut into the basin using jigsaw, sawzaw or other cutting tools. Just stick on the template and follow the cut pattern.
- If multiple branches require field install, follow minimum angle chart.

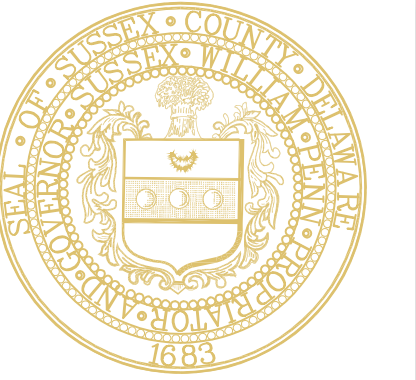
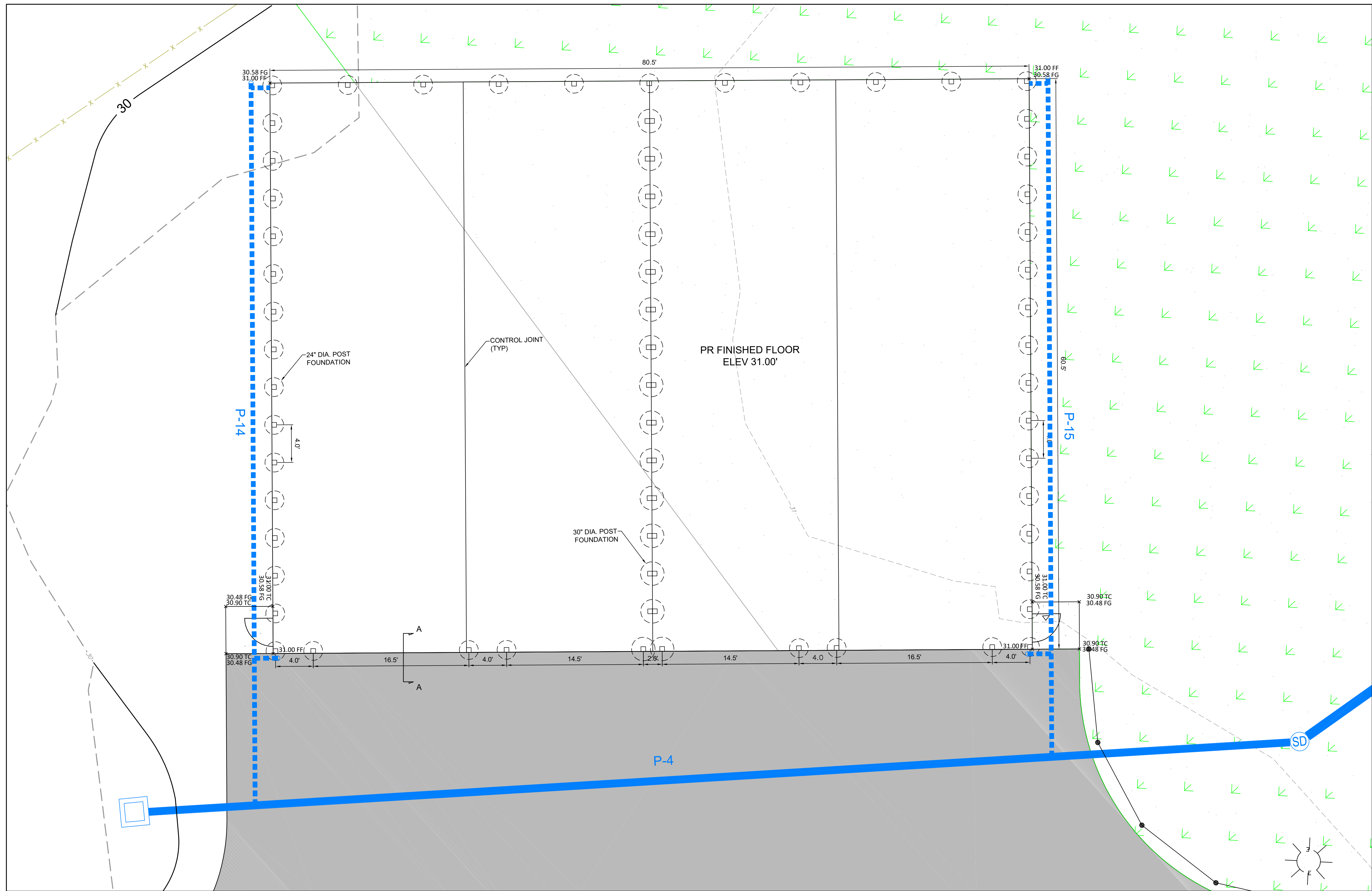
Angle Requirement Chart

Adapter Size (in. Exact)	8" (200)	10" (250)	12" (300)	15" (375)	18" (450)	24" (600)	30" (750)	36" (900)
4" (100-1000)	119°	96°	75°	60°	48°	38°	28°	20°
4-4 (100-150)	-	100°	87°	69°	55°	43°	32°	25°
4-8 (100-200)	-	-	102°	79°	63°	49°	39°	30°
4-10 (100-250)	-	-	-	91°	71°	55°	40°	34°
4-12 (100-300)	-	-	-	-	80°	61°	49°	37°
4-15 (100-375)	-	-	-	-	70°	51°	41°	-
4-18 (100-450)	-	-	-	-	-	58°	40°	-
4-24 (100-600)	-	-	-	-	-	-	59°	-
6-6 (150-150)	-	127°	100°	78°	62°	49°	39°	30°
6-8 (150-200)	-	-	114°	88°	70°	55°	40°	34°
6-10 (150-250)	-	-	-	100°	79°	61°	44°	37°
6-12 (150-300)	-	-	-	-	87°	67°	49°	40°
6-15 (150-375)	-	-	-	-	-	79°	59°	44°
6-18 (150-450)	-	-	-	-	-	-	62°	50°
6-24 (150-600)	-	-	-	-	-	-	-	62°
8-8 (200-200)	-	-	129°	98°	78°	60°	44°	37°
8-10 (200-250)	-	-	-	110°	88°	68°	49°	40°
8-12 (200-300)	-	-	-	-	99°	72°	53°	43°

Nyloplast Drain Basin with Add-a-branch



ads-pipe.com
1-800-621-6710



Sussex County
Engineering Department
2 The Circle, P.O. Box 589
Georgetown, DE 19947
Ph: 302-855-7718
Fax: 302-855-7799

Storage Building Foundation Plan

Rev1	PLAN SET UPDATED PER REVISED CONSTRUCTION SEQUENCE: 06/10/25
Rev2	
Rev3	
Rev4	

Inland Bays RWF Expansion
Tax Map # 234-22.00-11.00
Indian River Hundred, Sussex County, DE

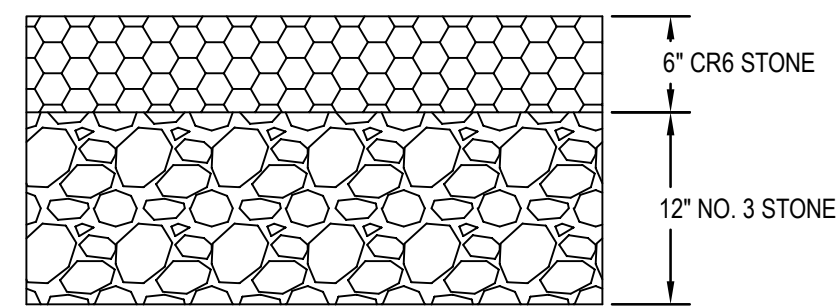
Professional Seal



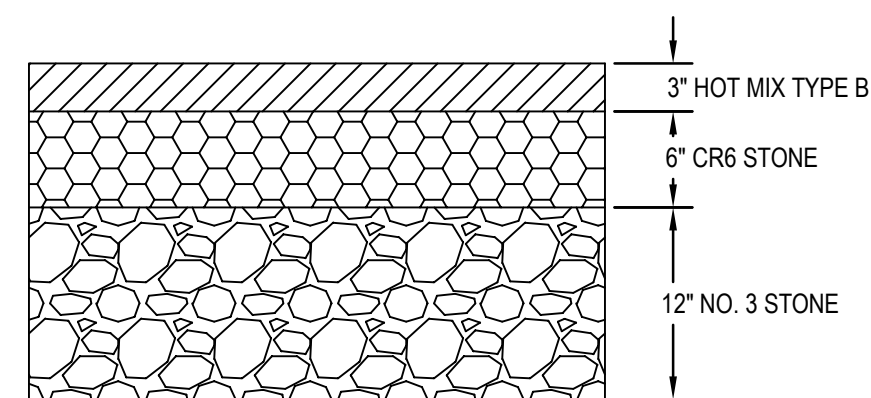
0 5 10 Feet

Drawn By:	Date:
VT	06/10/2025
Project No:	Scale:
S17-16	AS SHOWN
Sheet:	

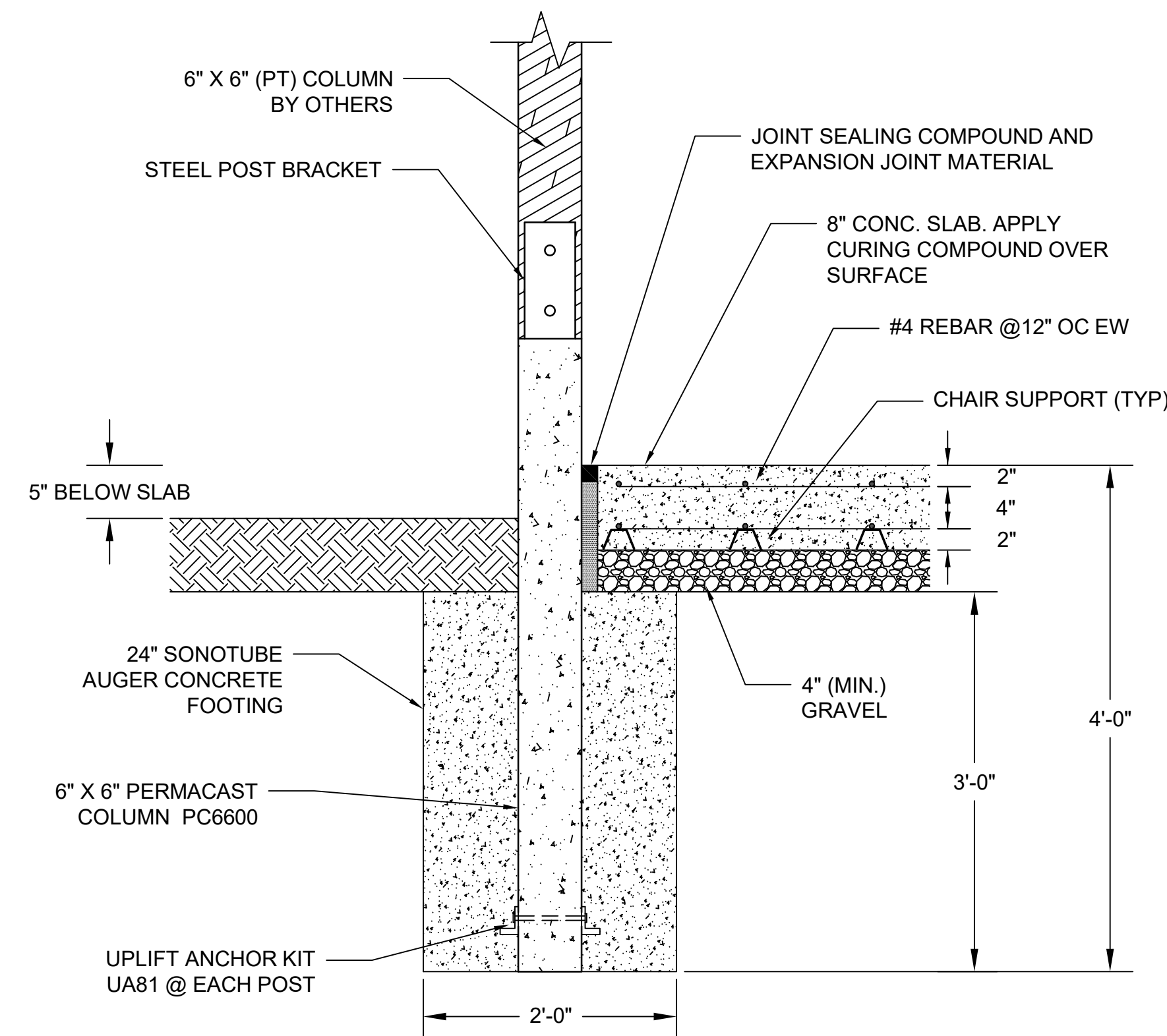
C6.09B



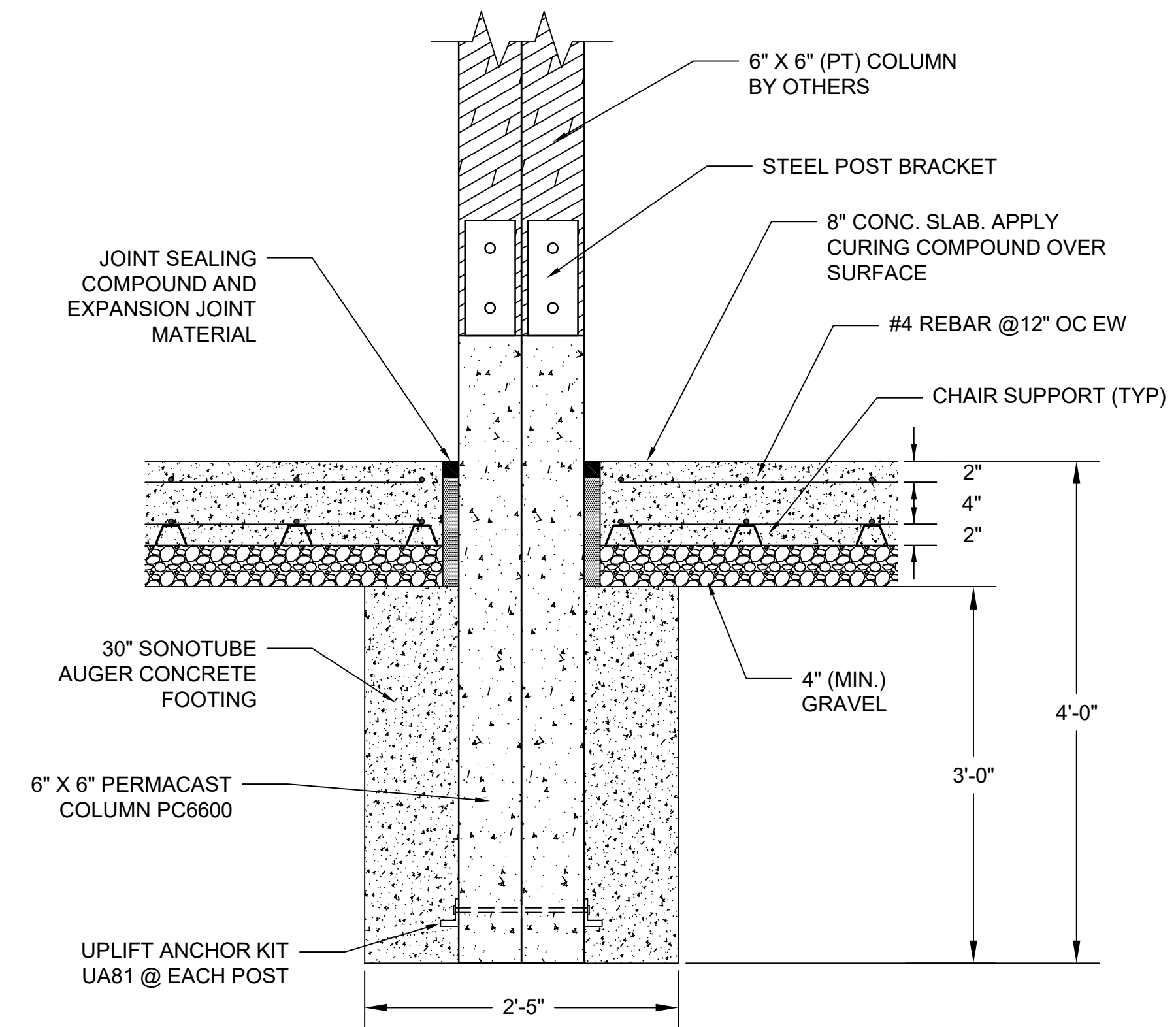
A TRUCK ROAD SECTION DETAIL
SCALE: 1" = 1'



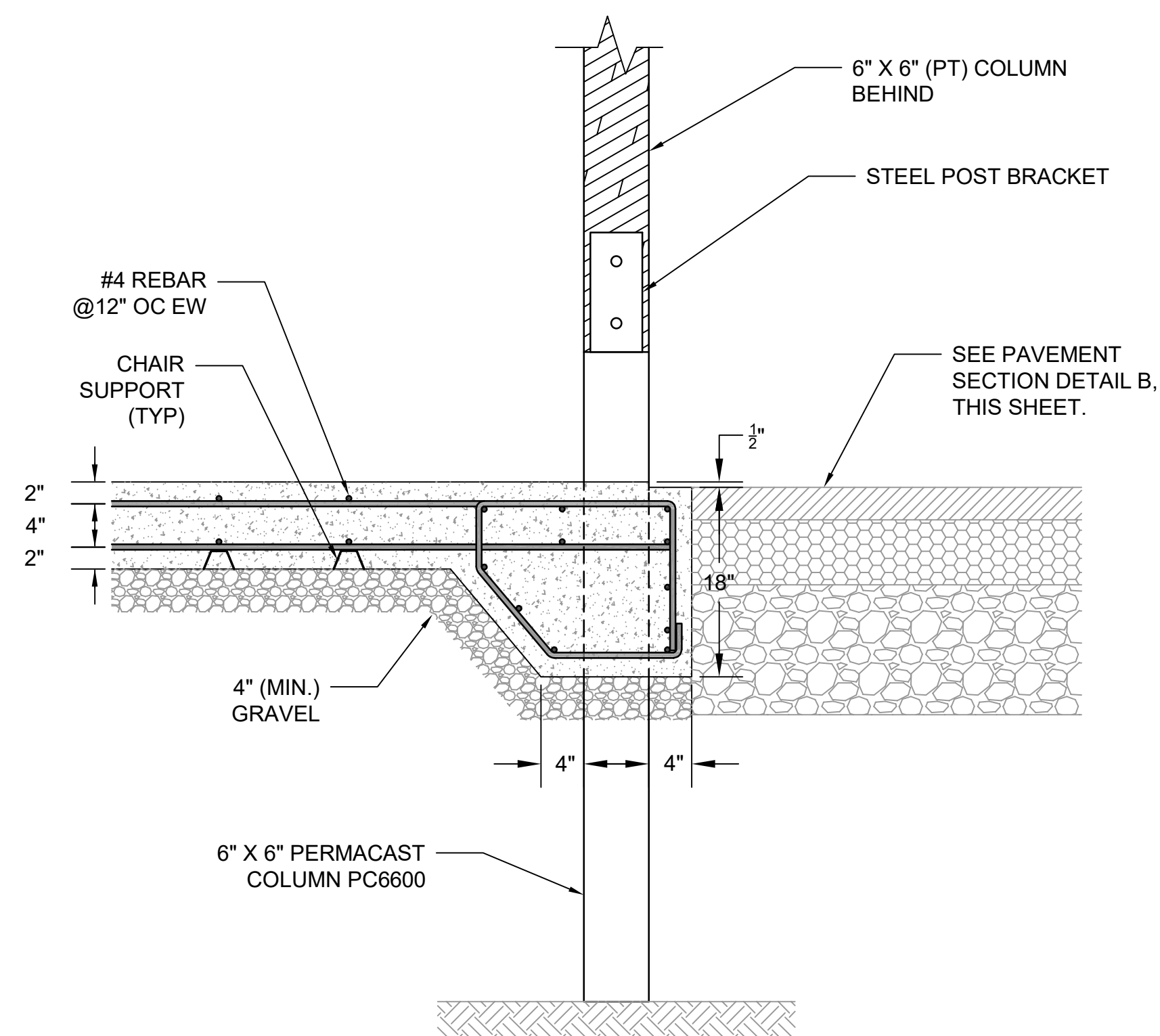
B PAVEMENT SECTION DETAIL
SCALE: 1" = 1'



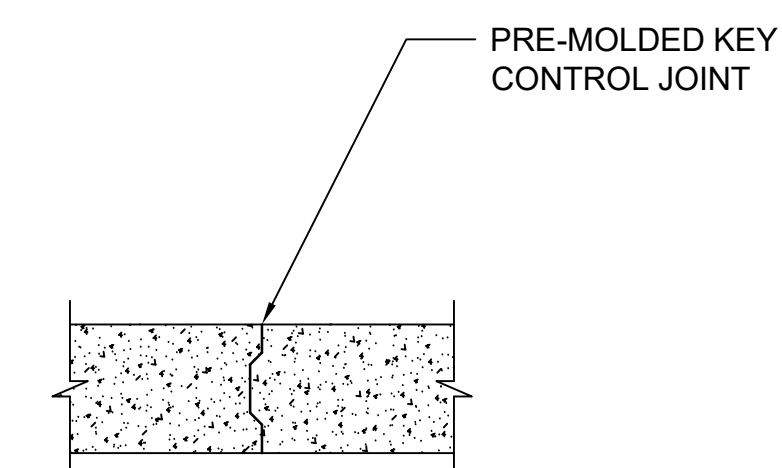
C TYPICAL 24" POST FOUNDATION DETAIL
SCALE: 1" = 1'



D TYPICAL 30" POST FOUNDATION DETAIL
SCALE: 1" = 1'

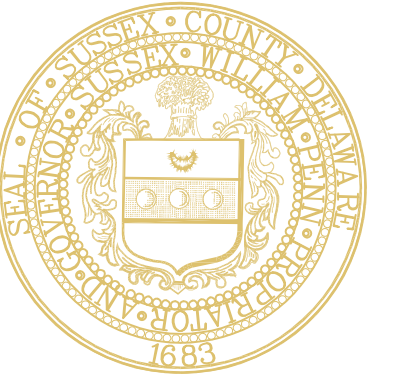


E FOUNDATION SECTION A-A
SCALE: 1" = 1'



F CONTROL JOINT DETAIL
SCALE: 1" = 1'

NOTES
1. ALL POURED-IN-PLACE CONCRETE SHALL BE 4000 PSI.



Sussex County
Engineering Department
2 The Circle, P.O. Box 589
Georgetown, DE 19947
Ph: 302-855-7718
Fax: 302-855-7799

General Details

Rev1	PLAN SET UPDATED PER REVISED CONSTRUCTION SEQUENCE: 06/10/25
Rev2	
Rev3	
Rev4	

Inland Bays RWF Expansion
Tax Map # 234-22.00-11.00
Indian River Hundred, Sussex County, DE

Professional Seal

Drawn By:	Date:
VT	06/10/2025
Project No:	Scale:
S17-16	AS SHOWN
Sheet:	

C6.09C

ENGINEERING DEPARTMENT

ADMINISTRATION (302) 855-7718
AIRPORT & BUSINESS PARK (302) 855-7774
ENVIRONMENTAL SERVICES (302) 855-7730
RECORDS MANAGEMENT (302) 855-5033
UTILITY ENGINEERING (302) 855-7717
UTILITY PERMITS (302) 855-7719
UTILITY PLANNING (302) 855-1299
FAX (302) 855-7773



Sussex County

DELAWARE
sussexcountype.gov

MIKE HARMER, P.E.
SUSSEX COUNTY ENGINEER
ROBERT L. BRYANT, A.A.E.
AIRPORT MANAGER

MEMORANDUM

TO: Sussex County Council
The Honorable Douglas B. Hudson, President
The Honorable John L. Rieley, Vice President
The Honorable Matt Lloyd
The Honorable Jane Gruenebaum
The Honorable Steve C. McCarron

FROM: Robert L. Bryant, A.A.E., Airport Manager

DATE: July 29, 2025

REFERENCE: APPROVAL CHANGE ORDER ONE (1) – CONSTRUCT PARALLEL TAXIWAY B, PHASE 2 (BID PACKAGE 1)

Sussex County Department of Engineering, on behalf of Delaware Coastal Airport, is seeking Sussex County Council's approval for a Change Order One (1) in the amount of \$126,025.03 for work associated with the construction phase of the CONSTRUCT PARALLEL TAXIWAY B, PHASE 2 (BID PACKAGE 1) project.

A conflict has arisen with an existing sanitary force main line that lies beneath the new Taxiway Bravo (B). The sanitary force main line is owned and operated by the City of Georgetown, Delaware. At the time of project design, this sanitary force main line was thought to have been abandoned and inactive.

After construction had started, the sanitary force main line was found to be active and operational, servicing the Sandhill Fields complex. In order to protect the force main line and avoid conflict with the new Taxiway B and future development, it was necessary to relocate approximately 123-foot of 12-inch ductile iron force pipe and encase the pipe with approximately 100-foot of 24-inch steel standard casing beneath the new Taxiway B. Change Order One (1) is necessary to accommodate these changes. Representatives from Sussex County Department of Engineering and Delta Airport Consultants have been working with representatives from the City of Georgetown Department of Public Works and Wastewater in coordinating the design and construction of this relocated sanitary force main.

The work has been tentatively approved by the Federal Aviation Administration (FAA) and is eligible for funding under the FAA's Airport Improvement Program (AIP) pending Sussex County Council's approval and signature by Sussex County Administrative staff. The cost of the CONSTRUCT PARALLEL TAXIWAY B, PHASE 2 (BID PACKAGE 1) project will increase by \$126,025.03 but are working to stay



under the original FAA-AIP grant amount which means the cost share from the Sussex County would not increase.

Allan Myers MD, Inc.	\$3,375,555.00
Delta Airport Consultants, Inc. (Construction Administrative Services)	\$ 480,000.00
Independent Fee Estimate Cost (FAA required)	<u>\$ 3,850.00</u>
TOTAL Project Cost	\$3,859,405.00

Federal Aviation Administration Airport Improvement Program (90%)	\$3,473,464.00
Sussex County, Delaware (10%)	<u>\$ 385,941.00</u>
TOTAL Project Funding	\$3,859,405.00

Sussex County Department of Engineering, on behalf of the Delaware Coastal Airport, recommends that the Sussex County Council's approval for a Change Order One (1) in the amount of \$126,025.03 for work associated with the construction phase of the CONSTRUCT PARALLEL TAXIWAY B, PHASE 2 (BID PACKAGE 1) project.

CHANGE ORDER NO. ONE (1)

July 2, 2025

OWNER: Sussex County Council OWNER'S ADDRESS: 2 The Circle, Georgetown, Delaware 19947 NAME OF AIRPORT: Delaware Coastal Airport LOCATION OF AIRPORT: 21553 Rudder Lane, Georgetown, Delaware 19947 NAME OF CONTRACTOR: Allan Myers MD, Inc. ADDRESS OF CONTRACTOR: 2011 Belair Road, Fallston, Maryland 21047	PROJECT DESCRIPTION: Construct Taxiway B, Phase II - Bid Package 1 <div style="text-align: right;">DELTA PROJECT NO. 22033 AIP PROJECT NO. 3-10-0007-041-2024</div> <div style="text-align: right;">CURRENT CONTRACT AMOUNT: \$3,375,555.00 COST THIS CHANGE: \$126,025.03 NEW CONTRACT AMOUNT: \$3,501,580.03</div>
---	--

ITEM	DESCRIPTION	UNIT	CONTRACT	CHANGE	NEW	ORIGINAL	CHANGE	ORIGINAL	NEW	CHANGE ORDER
CO1.1	Forcemain Relocation & Casing Pipe	LS	0	1	1	\$0.00	\$126,025.03	\$0.00	\$126,025.03	\$126,025.03
									CHANGE ORDER TOTAL:	\$126,025.03

REASONS FOR CHANGE ORDER:

There is an existing sanitary force main that runs under proposed TW B at approximately station 27+60. At the time of bidding this force main was thought to have been abandoned. During construction, the line was found to be active and requires the line to be relocated and cased.

CURRENT CONTRACT TIME (CALENDAR DAYS)	202
ADJUSTMENT IN TIME THIS CHANGE (CALENDAR DAYS)	7
NEW CONTRACT TIME (CALENDAR DAYS)	209

Subject to conditions set forth below, an equitable adjustment is established as follows:



<u>CONTRACT PRICE</u>		
Not Changed		
X	Increased by \$126,025.03	Dollars
	Decreased by	Dollars

<u>CONTRACT TIME</u>		
Not Changed		
X	Increased by 7	Calendar Days
	Decreased by	Calendar Days

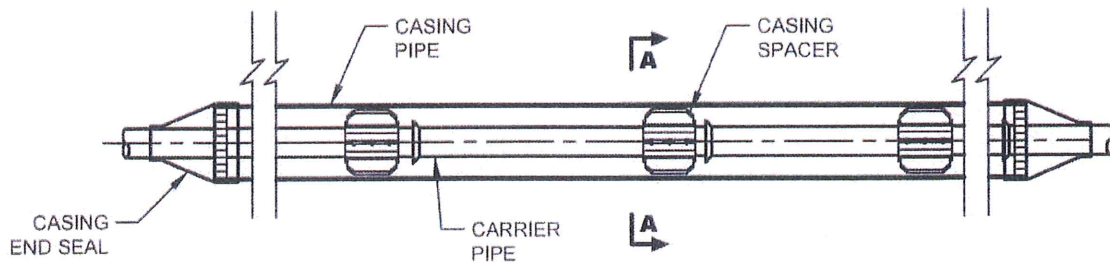
The foregoing is in accordance with your contract dated December 2, 2024 and as listed below:

- 1 The aforementioned change and work affected thereby are subject to all contract stipulations and covenants,
- 2 The rights of the OWNER are not prejudiced; and
- 3 All claims against the OWNER which are incidental to or as a consequence of the aforementioned change are satisfied.

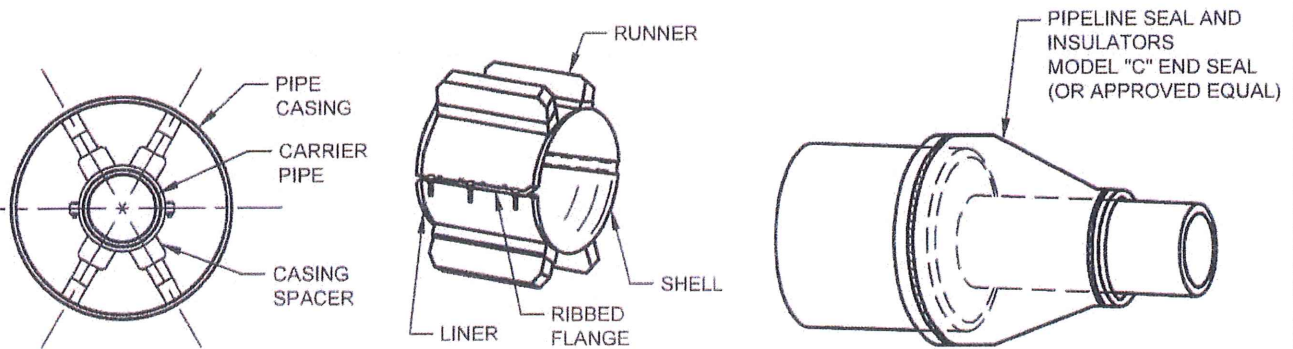
July 2, 2025

SIGNATURE Sussex County Council	PRINTED NAME	TITLE	DATE
	Kevin Kern	Project Manager	July 7, 2025
SIGNATURE Allan Myers MD, Inc.	PRINTED NAME	TITLE	DATE
 Digitally signed by William M Eschenfelder Date: 2025.07.03 08:08:07-04'00'	William Eschenfelder	Project Manager	July 3, 2025
SIGNATURE Delta Airport Consultants, Inc.	PRINTED NAME	TITLE	DATE
SIGNATURE Federal Aviation Administration	PRINTED NAME	TITLE	DATE





PLAN



SECTION A-A

SPACER

CASING END SEAL

CARRIER PIPE DIA. (IN)	CASING PIPE DIA. (IN)	CASING PIPE MIN. THICKNESS (IN)	NO. OF SPACERS PER 20 FT. LENGTH
4	12	.0375	3
6	16	.0375	3
8	18	0.375	3
12	22	.0375	3
16	28	.0375	3

STANDARD NUMBER OF RUNNERS REQUIRED:
 UP TO 14" CARRIER PIPE - 4 REQUIRED
 OVER 14" - 16" CARRIER PIPE - 6 REQUIRED

NOTES:

1. MINIMUM OD OF CASING PIPE SHALL ACCOMMODATE MAXIMUM OD OF CARRIER PIPE JOINTS AND/OR RESTRAINTS.
2. MINIMUM CASING PIPE DIAMETER AND THICKNESS SHALL BE PER TABLE UNLESS SPECIFIED BY ENGINEER.
3. IF CARRIER PIPE RESTRAINT IS REQUIRED, RESTRAINED CASING SPACERS SHALL BE USED.
4. GENERAL - ONE SPACER SHALL BE PLACED NOT MORE THAN TWO FEET FROM EACH END OF CASING. SUBSEQUENT SPACERS SHALL BE PLACED AT 6' TO 10' INTERVALS WITHIN THE CASING IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
5. CARRIER PIPE SHALL BE CENTERED WITHIN CASING BY USE OF STAINLESS STEEL CASING SPACERS.

DATE: JANUARY 2025

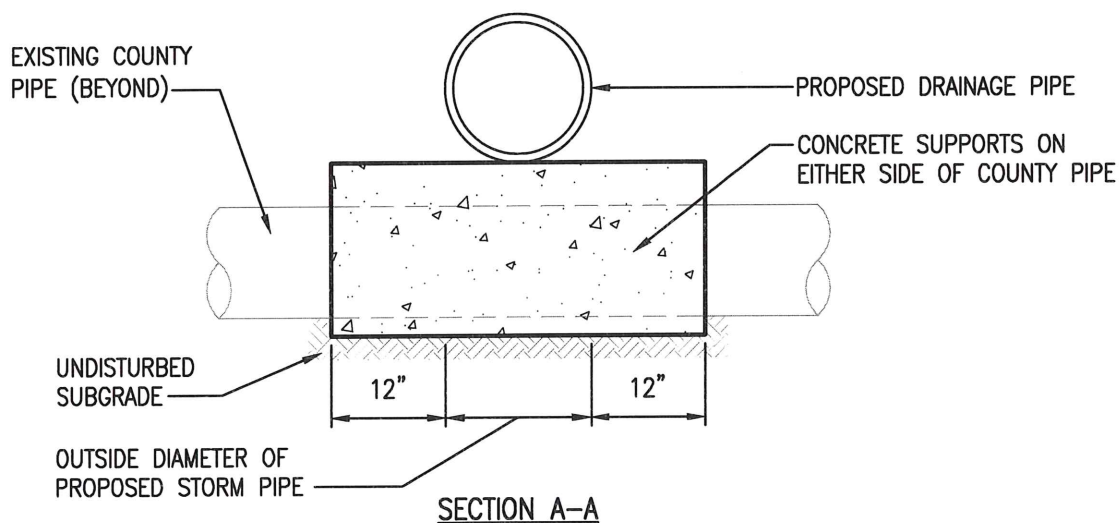
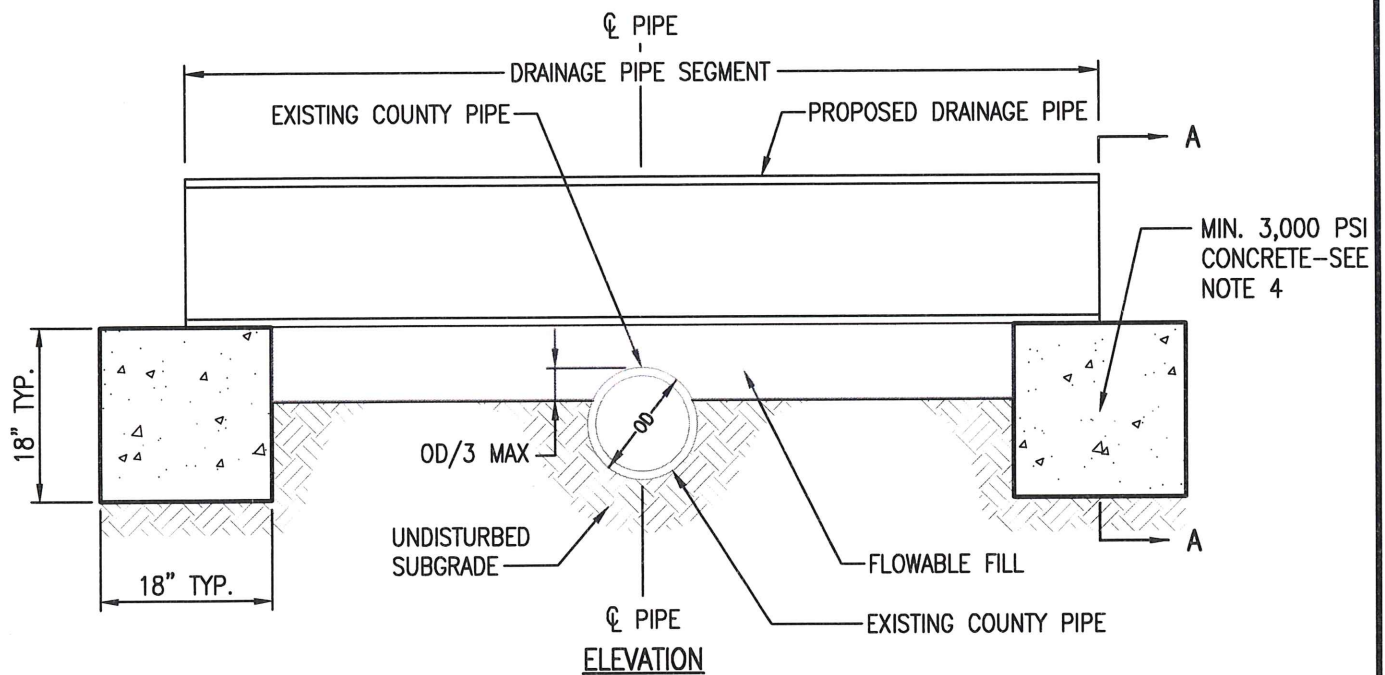
CONSTRUCTION STANDARDS
TOWN OF GEORGETOWN



ENCASEMENT DETAIL
NO SCALE

SECTION - 4

DRAWING - 9



NOTES:

1. DETAIL APPLIES TO CROSSINGS WITH LESS THAN 12" CLEARANCE BETWEEN PROPOSED DRAINAGE PIPE AND EXISTING COUNTY PIPE. FOR CROSSINGS WITH DRAINAGE PIPE BELOW COUNTY PIPE, A SPECIAL PIPE SUPPORT DETAIL MUST BE SUBMITTED TO THE COUNTY FOR APPROVAL. COUNTY PIPE REFER TO SEWER OR WATER PIPE, AS APPLICABLE.
2. DRAINAGE PIPE SHALL BE PLACED SUCH THAT CENTERLINE OF PIPE SEGMENT IS WITHIN 12" OF CENTERLINE OF COUNTY PIPE.
3. ALL EXCAVATION IN VICINITY OF COUNTY PIPE SHALL BE ACCOMPLISHED BY HAND EXCAVATION. SUBGRADE BELOW MAX. EXCAVATION LIMITS SHOWN SHALL REMAIN UNDISTURBED.
4. CONCRETE SUPPORTS AT DRAINAGE PIPE JOINTS SHALL BE FORMED AGAINST UNDISTURBED SUBGRADE. FOR NON-CONCRETE DRAINAGE PIPES, SUPPORTS SHALL BE LOCATED 18 INCHES CLEAR ON EITHER SIDE OF COUNTY PIPE.
5. FOLLOWING PLACEMENT OF DRAINAGE PIPE SEGMENT, FLOWABLE FILL SHALL BE APPLIED TO COMPLETELY FILL VOIDS BENEATH PIPE. REFER TO DELDOT OR OTHER THIRD PARTY SPECIFICATIONS FOR FILL REQUIREMENTS ABOVE THIS LEVEL.



SUSSEX COUNTY
ENGINEERING DEPARTMENT

APPROVED: *[Signature]*
SUSSEX COUNTY ENGINEER

**PIPE CROSSING
PROTECTION**

DETAIL
S-3.04

DATE ISSUED:
06/13/2022

ENGINEERING DEPARTMENT

ADMINISTRATION (302) 855-7718
AIRPORT & BUSINESS PARK (302) 855-7774
ENVIRONMENTAL SERVICES (302) 855-7730
RECORDS MANAGEMENT (302) 855-5033
UTILITY ENGINEERING (302) 855-7717
UTILITY PERMITS (302) 855-7719
UTILITY PLANNING (302) 855-1299
FAX (302) 855-7773



Sussex County

DELAWARE
sussexcountyde.gov

MIKE HARMER, P.E.
SUSSEX COUNTY ENGINEER

ROBERT L. BRYANT, A.A.E.
AIRPORT MANAGER

July 16 2025

Mr. Timothy DeWire, P.E., AICP
Federal Aviation Administration
Harrisburg Airports District Office
3905 Hartzdale Drive, Suite 508
Camp Hill, Pennsylvania 17011

Subject: Change Order No. One (1)
Construct Taxiway B, Phase II - Bid Package 1
Delaware Coastal Airport
Georgetown, Delaware
AIP Project No. 3-10-0007-041-2024

Dear Mr. DeWire:

Please find enclosed a copy of Change Order No. One (1) for the above-mentioned project at Delaware Coastal Airport. This change order has been prepared to add the cost to relocate and encase the active force main underneath proposed Taxiway B. The Sussex County Council has reviewed the proposed change order along with the Engineer's analysis of Allan Myer's proposal in accordance with Standard Operating Procedure Number 07.00 and has found it to be necessary and reasonable. Below is a summary of our findings.

Allowability: The requested costs are within the approved scope of work and are necessary to complete the construction of Taxiway B.

Justification: In accordance with Table 5-16 of the AIP Handbook, the request is being made based on differing site conditions. At the time of bidding, the existing force main was thought to be inactive and was proposed to be cut and abandoned. During construction, the line was found to be active and operational. In order to protect the force main underneath Taxiway B and eliminate future conflict, the section of line beneath the proposed taxiway will be relocated and installed in steel casing. Change Order One (1) is necessary to accommodate these changes.

Reasonableness of Price: The price for the new force main and associated materials, labor, and equipment is comparable to the cost of similar scopes of work on other projects.

The Sussex County Council is requesting the FAA's concurrence and acceptance of this item as eligible for FAA grant funding. Should you have any questions regarding this matter please do not hesitate to contact our office.

Sincerely,


Robert Bryant, A.A.E.
Airport Manager

CC: Brooke K. Haas, Delta Airport Consultants



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 589
GEORGETOWN, DELAWARE 19947


Robert Bryant

From: DeWire, Timothy P (FAA) <timothy.p.dewire@faa.gov>
Sent: Wednesday, July 16, 2025 2:58 PM
To: Robert Bryant
Cc: Brooke K. Haas; Landon M. Hertzler; William M. Eschenfelder; Mark Parker
Subject: RE: GED Change Order #1 Construct Parallel Taxiway B, Phase (Bid Package 1)

CAUTION: This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

Good afternoon, Bob.

As discussed during this morning's progress meeting, I have reviewed the following Change Order (CO):

- 
- Grant #041-2024-AIP – CO 1

The CO is approved subject to the maximum amount allowable in the grant (i.e., not to exceed 15%) and conditioned upon the receipt of a fully executed (i.e., signed by the Contractor, Consultant/Engineer, and Sponsor/Owner) copy for final review and processing.

Please forward to me as soon as possible a fully executed copy of the conditionally approved CO.

Thanks.

Tim

Timothy P. DeWire, P.E.

Civil Engineer

FAA – Harrisburg ADO

Main: (717) 603-4670 (New)

Desk: (717) 603-4677 (New)

Email: Timothy.P.DeWire@faa.gov

**FAA
APPROVAL**

From: Robert Bryant <robert.bryant@sussexcountyde.gov>

Sent: Wednesday, July 16, 2025 1:14 PM

To: DeWire, Timothy P (FAA) <timothy.p.dewire@faa.gov>; Brooke K. Haas <bhaas@deltaairport.com>; Landon M. Hertzler <lhertzler@deltaairport.com>; William M. Eschenfelder <beschenfelder@deltaairport.com>; Mark Parker <mark.parker@sussexcountyde.gov>

Subject: GED Change Order #1 Construct Parallel Taxiway B, Phase (Bid Package 1)

CAUTION: This email originated from outside of the Federal Aviation Administration (FAA). Do not click on links or open attachments unless you recognize the sender and know the content is safe.

Tim,

P-lease see attached.

Bob



P.O. Box 278, Fallston, MD 21047

Communication Date: July 1, 2025

Delta Airport Consultants
2700 Polo Parkway
Midlothian, VA 23113
Attn: WILLIAM ESCHENFELDER

Letter COM0001
Number:
Job Number: 2425070

Re: DE COASTAL AIRPORT TAXIWAY B
Change Order # 1 - Forcemain
Relocation & Casing Pipe

Dear Bill,

In accordance with Section 90, 90-05 Payment for Extra Work, please accept the lump sum price of \$126,025.03 for the additional work associated with the relocation of 12-inch forcemain sewer and installation of 24" casing pipe as directed in email received on 5/29/25. The lump sum price includes all labor, equipment, and materials necessary to complete the added scope. Item 31 - Cut and plug 12" Forcemain will be used and deducted from the lump sum, see attached for details.

The following items may need to be used on an as needed basis:

- Items 11 - 57 Stone
- Item 32 Unclassified Excavation
- Item 33 Muck Excavation

Myers requests a time extension of 7 calendar days for the performance of the additional scope.

Please provide written acceptance at your earliest convenience so that materials and scheduling of the work can commence.

If you have any questions or concern please give me a call,

Sincerely,

A handwritten signature in black ink, appearing to read "Kern", with a stylized flourish at the end.

Kevin Kern

Contractor: **Allan Myers**
Activity: FM Relcation & Casing Pipe
Change Order # COR #1
Delta # 22033

Date: 6/30/2025
Contract #: AIP 3-10-0007-041-2024
Contract Name: Taxiway B - DE Coastal Airport

MARKUP SUMMARY

(1)	LABOR		\$30,014.59
		PLUS 10% Profit & Overhead	\$3,001.46
		TOTAL LABOR	\$33,016.05
(2)	MATERIALS		\$33,160.64
		PLUS 10% Profit & Overhead	\$3,316.06
		TOTAL MATERIALS	\$36,476.70
(3)	EQUIPMENT		\$35,255.89
		PLUS 10% Profit & Overhead	\$3,525.59
		TOTAL EQUIPMENT	\$35,255.89
(4)	SERVICE/SUBCONTRACTOR		\$9,948.75
		PLUS 5% Profit & Overhead	\$497.44
		TOTAL SERVICE	\$9,948.75
(5)	TOTAL LABOR, MATERIALS, EQUIPMENT, AND SERVICES		\$114,697.39
(6)	DAILY OPERATING EXPENSE @	\$ 1,633.66	\$11,435.64
(7)	BOND	1.50%	\$ 1,892.00

TOTAL AMOUNT OF THIS CHANGE ORDER REQUEST

		\$128,025.03
	ITEM 31	\$2,000.00
COR TOTAL minus Item 31		\$126,025.03

SUMMARY OF CHANGE				June 30, 2025
Relocated Forcemain Sewer with 12" DIP and 24" casing pipe under taxiway B as shown on exhibit at roughly station 27+65.				
Item	HRS	Unit	RATE	TOTAL
Field Manager	54.0	HR	\$81.29	\$4,389.66
Excavator Operator	54.0	HR	\$43.99	\$2,375.46
Dozer Operator	9.0	HR	\$50.11	\$450.99
Loader Operator	54.0	HR	\$42.67	\$2,304.18
Roller Operator	9.0	HR	\$59.06	\$531.54
Truck Driver	54.0	HR	\$35.45	\$1,914.30
Laborer	178.0	HR	\$40.85	\$7,271.30
Survey Manager	8.0	HR	\$81.29	\$650.32
Ironworker	18.0	HR	\$49.64	\$893.52
Labor Total:				\$19,887.75
Insurance, Taxes & Benefits:				\$10,126.84
Total Labor & Benefits:				\$30,014.59
CAT 335	54.0	HR	\$137.05	\$7,400.70
CAT 326	9.0	HR	\$108.29	\$974.61
Rock Truck	54.0	HR	\$261.11	\$14,099.94
RT Loader	54.0	HR	\$73.85	\$3,987.90
Dewatering Pump	27.0	HR	\$8.70	\$234.90
D3 Dozer	9.0	HR	\$85.71	\$771.39
Dirt Roller	9.0	HR	\$71.51	\$643.59
Survey Manager Truck	8.0	HR	\$28.12	\$224.96
Survey EQP Package	8.0	HR	\$30.56	\$244.48
Site Truck	70.0	HR	\$28.12	\$1,968.40
Foreman Truck	54.0	HR	\$26.27	\$1,418.58
Foreman EQP Package	54.0	HR	\$60.86	\$3,286.44
Welding - Mechanic Truck	18.0	HR	\$128.12	\$2,306.16
Equipment Total:				\$35,255.89
Materials	1	LS	\$33,160.64	\$33,160.64
Material Total:				\$33,160.64
Environmental Tankers	1	LS	\$8,250.00	\$8,250.00
Soil Tech	1	LS	\$1,698.75	\$1,698.75
Service Total:				\$9,948.75



CUSTOMER NO	QUOTING BRANCH	QUOTE NO	QUOTE DATE	PAGE
238595	FORTILINE FRANKFORD	6680154	7/01/25	1

CUSTOMER	PROJECT INFORMATION
ALLAN MYERS INC (DE) PO BOX 1310 WORCESTER, PA 19490	KEVIN KERN

LINE	QTY	UOM	DESCRIPTION	UNIT PRICE	TOTAL PRICE
***** IF, AFTER THE DATE OF THIS QUOTE, ANY NEW OR INCREASED TARIFFS, DUTIES OR OTHER GOVERNMENT-IMPOSED COSTS ON MATERIALS USED IN THE WORK BECOMES EFFECTIVE, THE CONTRACT PRICE SHALL BE ADJUSTED TO REFLECT THE ACTUAL INCREASED COST TO FORTILINE. FORTILINE SHALL PROMPTLY NOTIFY THE CUSTOMER OF ANY SUCH COST IMPACT. FAILURE OF FORTILINE AND THE CUSTOMER TO AGREE ON ANY PRICE ADJUSTMENT SHALL NOT RELIEVE THE CUSTOMER'S OBLIGATION TO PAY THE INCREASED COST. *****					
10	100	FT	24"X.344" STEEL CASING PIPE COATED	137.50	13,750.00
20	1	EA	12" MJ 45 DOMESTIC C153	565.00	565.00
30	2	EA	12" MJ 22-1/2 DOMESTIC C153	480.00	960.00
40	12	EA	12" MEGALUG MJ REST DIP 1112	153.19	1,838.28
50	140	FT	12" TJ DIP PR350	48.79	6,830.60
60	10	EA	12"X24" CASING SPACERS	150.00	1,500.00
70	2	EA	12" MJ LONG SLEEVE DOMEST C153	438.99	877.98
80	2	EA	12"X24" CASING END SEALS	85.50	171.00
90	2	EA	12" MJ CAP DOMESTIC C153	226.00	452.00
100	1	EA	3"X1000' SEWER DETECTOR TAPE	52.60	52.60
110	500	FT	12GA SOLID WIRE GREEN 500'	.35	175.00
				Subtotal:	27,172.46
				Tax:	1,630.36
				Bid Total:	28,802.82

ALL STOCK DELIVERIES ARE SUBJECT TO SHIPPING CHARGES

All PVC and HDPE material is quoted for shipment within 7 days of quote/bid date. All other material is quoted for shipment within 30 days of quote/bid date.
After 7 days for PVC and HDPE or 30 days for all other material, ALL quoted prices are subject to review based on current market conditions.

Ent By SW4 7/01/25 15:53:35



RENTAL QUOTE

866 - SALISBURY
110 COLUMBIA ROAD
SALISBURY, MD 21801-3308
PH: 410-546-2900 FX: 410-546-2644
MON - FRI 7:00 4:00 SATURDAY 7:00 12:00 SUNDAY CLOSED

Quote #	40005134	WCP-PDN
Contract Date	06/23/25	
Date Out	06/23/25	11:21 AM
Est Return	06/24/25	11:21 AM
Job Loc:	6257819	

Customer #: 30994
ALLAN MYERS
OF MARYLAND
PO BOX 1310
WORCESTER, PA 19490

Job Site:
TAXIWAY B
21875 AVIATION AVE
GEORGETOWN, DE 19947
C#: 610-584-6020

Ordered By: KEVIN KERN	Purchase Order Number:	Customer Job Ref No:	Ship Via: WILL CALL
Written By: PATRICK CASSIDY	Sales Rep: Szymanski Cameron	Time Printed: 06/23/25 11:23 AM	Location: 866

Qty	Equipment #	Cat-Class	Taxed	Min	Day	Week	4 Week	Amount
1.00	1751495	175 - 1495	Y	125.00	125.00	375.00	1035.00	125.00
CONCRETE MIXER 9 CU FT USE ONLY REGULAR UNLEADED GAS! PLEASE CHECK ENGINE OIL LEVEL WHEN REFUELING. YOU ARE RESPONSIBLE FOR FUEL - RETURN FULL. PLEASE WASH UNIT WHEN JOB IS FINISHED.								

Estimated Sub-Total Rental: 125.00

SALES ITEMS

Qty	Item Number/Description	Taxed	Unit	Price	Amount
1.00	ENV ENVIRONMENTAL FEE	Y	EACH	2.500	2.50

Estimated Sub-Total Services: 2.50

Estimated	Sub-Total:	127.50
Estimated	Tax:	7.65
Estimated	Total:	135.15



866 - SALISBURY
110 COLUMBIA ROAD
SALISBURY, MD 21801-3308
PH: 410-546-2900 FX: 410-546-2644
MON - FRI 7:00 4:00 SATURDAY 7:00 12:00 SUNDAY CLOSED

RENTAL QUOTE

Quote #	40005134	WCP-PDN
Contract Date	06/23/25	
Date Out	06/23/25	11:21 AM
Est Return	06/24/25	11:21 AM
Job Loc:	6257819	

I, the undersigned renter, specifically acknowledge that I have received and understand the instructions regarding the use and operation of the rented equipment.
Renter further acknowledges that he/she has read and fully understands the within equipment rental contract and agrees to be bound by all of the terms, conditions, and provisions hereof.
Renter acknowledges that he/she has received a true and correct copy of this agreement at the time of execution hereof.
THIS IS YOUR CONTRACT, READ ALL PAGES BEFORE SIGNING
TAXES/SURCHARGES/ENVIRONMENTAL FEES, AS APPLICABLE, WILL BE ADDED TO THE ABOVE PRICING AT THE TIME OF INVOICING



X	_____	X	_____
Print Customer Name	Date	Customer Signature	

Please remit all payments to: WHITE CAP, L.P. | PO BOX 4852, ORLANDO, FL 32802-4852

WHITE CAP[®] ON ACCOUNT



866 - Salisbury MD (TRI)
110 Columbia Drive
Salisbury, MD, 21801
(410) 546-2900

QUOTE

66744484

**THIS IS A QUOTE ONLY DO NOT SHIP OR
TENDER FUNDS**

Sold To: 76632000
ALLAN MYERS
OF MARYLAND
WORCESTER, PA, 19490
610-584-6020

Ship To : TAXIWAY B,10005523738
21875 AVIATION AVE
GEORGETOWN, DE, 19947
Job Site Contact:
Job Site Phone:
Map #:

11:25 AM

Ordered By: KEVIN KERN

Contact Phone: 410-4591198

Quote Number		Quote Date	Valid Until	Request Date		Sales Person
66744484		06/23/2025	06/30/2025			Szymanski, C
Terms		Shipping Method	Quote Name	Customer PO		Created By
N30D		2. Our Truck				Cassidy, P
SEQ	Part# H/M	Description	Ord Quantity	U/M Unit WT	Price COO	Amount
10	433SAKCM80	80LB BAG CONCRETE MIX SAKRETE	16	BAG 80 LBS	\$7.99	\$127.84
20	547WASHOUT66	6'X6'X12" 260GL CORRUGATED CARDBOARD CONCRETE WASHOUT OUTPAK	2	EA 16.55 LBS	\$142.59	\$285.18
30	4321020	10MIL 20'X100' CLEAR POLYFILM VISQUEEN SOLD/ROLL	1	RL 95.7 LBS	\$174.58	\$174.58
40	517FB56	5X6 FILTER BAG 8 OZ WOVEN CREEK MANUFACTURING	4	EA 51 LBS	\$60.19	\$240.76
50	104SFOR4100B	4'X100' ORANGE ECONOMY PLASTIC SAFETY FENCE	4	RL 7 LBS	\$43.89	\$175.56
60	113TP72P95	6' PAINTED .95LB/FT T POST	40	EA 5.7 LBS	\$7.39	\$295.60

Shipped amount		\$1,299.52
Order charges		\$0.00
Tax amount		\$0.00
Lumber Tax rate/amount	1.00%	\$0.00
Quote total		\$1,299.52

Shipped Weight: **1,868.80** Customer acceptance signature: _____ Date : _____

ALL ITEMS AND QUANTITIES REQUIRE CUSTOMER REVIEW AND APPROVAL
AVAILABILITY AND LEAD TIMES ARE SUBJECT TO CHANGE
SPECIAL ORDERED ITEMS ARE SUBJECT TO MANUFACTURER APPROVAL PRIOR TO RETURN.
QUOTE IS SUBJECT TO EXPIRATION AS INDICATED IN THE ABOVE 06/30/2025 DATE.

The White Cap Family of Brands includes All-Tex Waterproofing Solutions, Harmac, Kenseal, Marvel Building & Masonry Supply, MASONPRO, and Williams Equipment & Supply. Learn more at About.WhiteCap.com.

Note: Due to volatility in the steel market from the recent Section 232 decision, domestic supply constraints and active trade negotiations, pricing is subject to change on a daily basis. Please review your pricing and contact your sales associate immediately to secure products and pricing.

WHITE CAP RESERVES THE RIGHT TO ADJUST PRICES TO REFLECT THE IMPACT OF ANY TARIFFS, DUTIES, OR SIMILAR GOVERNMENTAL CHARGES IMPOSED OR INCREASED AFTER THE DATE OF THIS QUOTE BUT PRIOR TO EXPIRATION.

Chesapeake Environmental
Services, LLC
Delmar, MD 21875



Phone: 410-742-2718
Fax: 410-742-2838

Estimate # 2144

6/16/2025

Billing Address:

Allan Myers Construction
2011 Belair Road
Fallston, MD 21047

Job Location:

Description	Qty	Rate	Amount
This estimate is to provide equipment and labor to simultaneously pull waste water from a lift station and where pipe is being cut, while new pipe is being installed. Allan Myers to provide discharge location. We estimate this job to take one 8 hour day and will be billed at T&M, portal to portal.			
Unit #180 - Huber Combo Truck	8	145.00	1,160.00
Unit #170 - Western Star Vactor	8	145.00	1,160.00
Unit #183 - 7,000 Gallon Vacuum Trailer	8	145.00	1,160.00
Unit #146 - 7,000 Gallon Vacuum Trailer	8	145.00	1,160.00
Unit #222 - GMC Sierra	8	45.00	360.00
**Fuel Surcharge (Based on DOE Index, @ 1% per 10 cents over \$2.50 per gallon)	5,000	0.106	530.00
Supervisor	8	80.00	640.00
4 Equipment Operators	32	65.00	2,080.00
Todd Dill - 443-523-6167			
Total			\$8,250.00

Customer Signature _____

Casey Hall

Yes. 7/21
McCaron
Hudson + Woodbridge

From: notifications=d3forms.com@mg.d3forms.com on behalf of Sussex County DE
<notifications@d3forms.com>
Sent: Sunday, July 20, 2025 1:19 PM
To: Casey Hall
Subject: Form submission from: Council Grant Form

CAUTION: This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

Council Grant Form

**Legal Name of
Agency/Organization**

Shoes That Fit ✓

Project Name

2025/ 2026 School Year Shoe Program for Sussex County

Federal Tax ID

95-4425565 ✓

Non-Profit

Yes

**Does your
organization or its
parent organization
have a religious
affiliation? (If yes, fill
out Section 3B.)**

No

**Organization's
Mission**

* Shoes That Fit tackles one of the most visible signs of poverty in America by giving children in need new athletic shoes to attend school with dignity and joy, prepared to learn, play, and thrive.
One day, every child in America will be empowered to step forward into a bright future.
That's our vision at Shoes That Fit. Every day we see how the gift of shoes is about much more than shoes. It's the confidence children need to step forward into a brighter future.
A new pair of shoes can be a life-changing event for a child. School attendance, self-esteem, and behavior improve.

Physical activity increases. Smiles return. All from an often-overlooked item—a good pair of shoes. Our vision is that, one day, every child in America who needs new shoes gets new shoes, allowing all children the opportunity to reach their highest potential.

Address 150 W. 1st St., #170

City Claremont

State California

Zip Code 91711

Contact Person Joanne Glasuer

Contact Title Leader- Delaware Chapter, Shoes That Fit

Contact Phone Number 302-545-7652

Contact Email Address jhglaus@gmail.com

Total Funding Request \$3000

Has your organization received other grant funds from Sussex County Government in the last year? Yes

If YES, how much was received in the last 12 months? 4100

Are you seeking other sources of funding Yes

other than Sussex
County Council?

If YES, approximately
what percentage of
the project's funding
does the Council
grant represent?

13

Program Category
(choose all that
apply)

Fair Housing
Health and Human Services

Primary Beneficiary
Category

Homeless

Approximately the
total number of
Sussex County
Beneficiaries served,
or expected to be
served, annually by
this program

1000

Scope

B. The goal of this program is to provide 1000 homeless and low income students in Sussex County with new sneakers for attendance in 2025.

C.

The Non Profit Grant Program requested funds will allow purchase of 67 sneakers for homeless and low income Delaware students in Indian River and Woodbridge school districts. The specific students receiving the new sneakers will be determined by school district contacts that Shoes That Fit works with. Schools that will benefit from these 100 sneakers will include *

Shoes That Fit's national organization sources the sneakers for each Shoes That Fit Chapter to purchase, these are name brand sneakers (Adidas, Fila, Nike, Skechers) at a fixed price including delivery to the point of distribution. All sneakers are provided at no cost to the schools for

distribution to the students they designate most in need.

Shoes That Fit's program addresses supporting the population of homeless and low-income children in need in Sussex County to overcome one of the many hurdles they face by providing them with new, brand name sneakers that are comfortable and make them feel good about themselves. Sussex County has 20% of children under 18 living in poverty and approximately 530 homeless students. Fulfilling a basic need like providing new shoes so these children can attend school with dignity and self-esteem is key to their ability to focus on learning and more positively engaging with their peers.

Although schools recognize the importance of fulfilling basic needs like shoes for their students who are homeless or in low-income families, they rely on external support because there is no budget for an expensive necessity like shoes. Schools are extremely grateful for the service that Shoes That Fit provides because of the quality of the sneakers provided, the delivery to the school, and, most importantly, the impact these donations have on the student. School personnel have consistently reported that a simple donation like shoes is impactful to the student's confidence, engagement in school, and positive behavior.

The donation of shoes also helps the families of these students by removing the financial stress of purchasing shoes from their limited budget. Parents are grateful that their children receive new, brand name sneakers to support their child's dignity and confidence. There is nothing more uplifting and hopeful for parents than to see your child start each school year with a smile on their face and excitement in their eyes.

Fighting the real impacts of poverty is the problem our Shoe Program targets by providing new shoes. Whatever we experience in childhood has a powerful impact upon us for the rest of our days.

**Religious
Components**

Not Applicable

Please enter the
current support your
organization receives
for this project (not
entire organization
revenue if not
applicable to request)

5,000.00

Description New Brand name sneakers- \$30 each for 1000 students

Amount 30,000.00

Description 0.00

Amount 0.00

Description 0.00

Amount 0.00

Description 0.00

Amount 0.00

Description 0.00

Amount 0.00

Amount 0.00

Amount 0.00

Amount 0.00

TOTAL EXPENDITURES 30,000.00

**TOTAL DEFICIT FOR
PROJECT OR
ORGANIZATION** -25,000.00

Name of Organization	Shoes That Fit
Applicant/Authorized Official	Amy Fass
Date	07/20/2025
Affidavit Acknowledgement	Yes

If you feel this is not a valid submission please log into D3Forms to update this submissions status.
Please feel free to email clientservices@d3corp.com with any questions.

Yes \$1500

Hudson

Casey Hall

From: notifications=d3forms.com@mg.d3forms.com on behalf of Sussex County DE
<notifications@d3forms.com>
Sent: Wednesday, February 26, 2025 4:57 PM
To: Casey Hall
Subject: Form submission from: Council Grant Form

CAUTION: This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

Council Grant Form

Legal Name of Agency/Organization	Indian River Highschool Band Boosters ✓ (Indian River School District)
Project Name	Marching band drumline
Federal Tax ID	51-0385920 ✓
Non-Profit	Yes
Does your organization or its parent organization have a religious affiliation? (If yes, fill out Section 3B.)	No
Organization's Mission	The Indian River High School Marching Band boosters support musical, vocal, and acting arts programs at Indian River High school in Dagsboro, DE that enhances students' education and serves our local community. Students perform at many local events, sporting events, and charities. They also participate in community events such as beach cleanups and many community service events as they arise. The marching band program is devoted to continue growing with the goal exceeding the normal expected educational level while making large marching bands normal again as music programs have declined dramatically over the years throughout the state.

Address	29772 Armory Rd
City	dagsboro
State	Delaware
Zip Code	19939
Contact Person	Brian Mack
Contact Title	Drumline instructor / assistant director
Contact Phone Number	2679080409

Contact Email Address	bmackirhsdrumline@gmail.com
------------------------------	--

Total Funding Request	22,318
------------------------------	--------

Has your organization received other grant funds from Sussex County Government in the last year?	No
---	----

If YES, how much was received in the last 12 months?	N/A
---	-----

Are you seeking other sources of funding other than Sussex County Council?	No
---	----

If YES, approximately what percentage of the project's funding	N/A
---	-----

does the Council grant represent?	
Program Category (choose all that apply)	Educational
Primary Beneficiary Category	Youth
Approximately the total number of Sussex County Beneficiaries served, or expected to be served, annually by this program	200
Scope	<p>Seeking to replace our aging and inadequate Drumline instruments. Our current drums will be donated to Selbyville middle school and Southern Delaware school of the arts. New drums will help accommodate our quickly growing music program and will help us serve the local communities with performances as well as enhance our student's musical capabilities. The donation of our old equipment will give those schools an opportunity to learn new music and skills, as well as giving them the ability to join our high school students for joint performances. The following google drive link is a breakdown of our request.</p> <p>docs.google.com/document/d/1rbFL5GoOdeH-zKRfne5quzej6Q6u9AOgygSk5cZ48D0/edit?usp=sharing</p>
Please enter the current support your organization receives for this project (not entire organization revenue if not applicable to request)	0.00
Description	mapex drumline equipment

Amount	22,318.00
TOTAL EXPENDITURES	22,318.00
TOTAL DEFICIT FOR PROJECT OR ORGANIZATION	-22,318.00
Name of Organization	Indian River Highschool band boosters
Applicant/Authorized Official	Brian Mack / Andrew Carter
Date	02/26/2025
Affidavit Acknowledgement	Yes

If you feel this is not a valid submission please log into D3Forms to update this submissions status.
Please feel free to email clientservices@d3corp.com with any questions.

Casey Hall

Yes \$1000
Hudson

From: notifications=d3forms.com@mg.d3forms.com on behalf of Sussex County DE
<notifications@d3forms.com>
Sent: Wednesday, May 28, 2025 3:01 PM
To: Casey Hall
Subject: Form submission from: Council Grant Form

Follow Up Flag: Follow up
Flag Status: Flagged

CAUTION: This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

Council Grant Form

Legal Name of Agency/Organization	Delaware Seashore Preservation Foundation Inc. ✓ Seashore
Project Name	Delaware Seashore Preservation Project Needs
Federal Tax ID	51-0372783 ✓ 2020 LAST TIME
Non-Profit	Yes
Does your organization or its parent organization have a religious affiliation? (If yes, fill out Section 3B.)	No
Organization's Mission	The mission of the Delaware Seashore Preservation Foundation (DSPF) is to preserve the history of Delaware's coastline, ensure that we remember the service of our veterans, and to educate residents and visitors about our efforts to preserve and protect the United States and the Delaware Coastline.
Address	P.O. Box 981

City	Ocean View
State	DE
Zip Code	19970
Contact Person	Mary Lou Tietz
Contact Title	Development Manager
Contact Phone Number	302-539-0793
Contact Email Address	bftietz@gmail.com

Total Funding Request

\$3,500

Has your organization received other grant funds from Sussex County Government in the last year?

No

If YES, how much was received in the last 12 months?

N/A

Are you seeking other sources of funding other than Sussex County Council?

Yes

If YES, approximately what percentage of the project's funding does the Council grant represent?

23

Program Category (choose all that apply)	Cultural
Primary Beneficiary Category	Other
Beneficiary Category Other	General Public & Veterans
Approximately the total number of Sussex County Beneficiaries served, or expected to be served, annually by this program	5000

Scope

The DSPF has recently completed a campaign to restore Fire Control Tower #3, one of the structures used during the war as a first line of defense in the event of foreign invasion, located on the Delaware shoreline just south of Dewey Beach. Tower #3 was restored as an historical site for local residents and visitors to the seashore to view a piece of history and honor those who served and who serve today. The Public can now access the top deck to view the dramatic vistas of the ocean and bay in the same way U.S soldiers did during World War II.

In addition to the Tower restoration, DSPF has undertaken plans to restore equipment around the Tower that is in disrepair as well as construct a Pavilion in which there can be musical tributes to our veterans, and others, throughout the spring, summer, and fall months. This will be similar to programs held at the adjacent Holts Landing in the Bay area, where restoration is taking place to provide a recreational site for local residents and summer visitors.

The capital improvements to the site include the following:
1) Purchasing new picnic tables and bike racks for the Tower #3 site in Dewey Beach. The bike racks are needed to

secure bikes of visitors, replacing those that are no longer safe to use and adding 5 additional racks. 2) Purchasing new picnic tables, which are no longer safe to use for visitors. New tables will provide guests with a place to sit, rest, and enjoy the Tower and have picnics. 3) At the adjacent Holts Landing location, we are in need of repairs to the entertainment Pavilion, where entertainment is provided to visitors from May through October. This facility is used to stage bands and other recreational programs and as a shelter for patrons on site.

The purpose of this grant request to the Sussex County Council is to support the purchase of the new bike racks. With limited parking available at the Tower #3 site, we encourage residents and visitors to arrive by bike, but we need a safe place to secure them. The DSPF intends to purchase 10 new bike racks at a cost of \$450.00 each. We are requesting a grant of \$3,500 from the Council to help offset a portion of this cost.

Tower #3 and the surrounding area is visited and used by residents and visitors who come to the area during the spring, summer, and fall months. More than 100,000 people visit the beach community annually. During the first year that Tower #3 was open to the public, over 25,000 people visited the site and many more visited the surrounding shore. Holts Landing is also open to all residents, of all ages, races and cultures, who come to visit the surrounding Bay Shore area that surrounds and the recreational opportunities that are available at the Landing. All can use the pavilion area and there is entertainment in the facility weekly from spring through October. Having safe, secure equipment available is what draws people to both areas.

The completed Tower #3 project showcases the history of the Delaware Seashore and demonstrates how the Tower was instrumental to our troops in helping to preserve and protect our coastline. It serves as an educational tool for public school students who take field trips to learn from its rich heritage. It is often hard to raise the funds necessary to preserve our history and the museums that greatly enrich our communities, to sustain them and provide safe, secure

environments around these historic sites that will encourage visitors to visit and enjoy them. The DSPF is determined to support and sustain our Seashore locations in Sussex County for years to come.

Please enter the current support your organization receives for this project (not entire organization revenue if not applicable to request)

11,919.00

Description

Purchase and Installation of Picnic Tables \$450 x 10 tables

Amount

4,500.00

Description

Purchase and Installation of Bike Racks \$450 x 10 racks

Amount

4,500.00

Description

Renovation of Roof and Structure of Holts Landing Pavilion

Amount

6,419.00

TOTAL EXPENDITURES

15,419.00

TOTAL DEFICIT FOR PROJECT OR ORGANIZATION

-3,500.00

Name of Organization

Delaware Seashore Preservation Foundation

Applicant/Authorized Official

Larry Brown

Date

05/28/2025

Affidavit Acknowledgement

Yes

If you feel this is not a valid submission please log into D3Forms to update this submissions status.
Please feel free to email clientservices@d3corp.com with any questions.



SUSSEX COUNTY GOVERNMENT
GRANT APPLICATION

HUDSON. 7/22
Greenbaum

SECTION 1 APPLICANT INFORMATION

ORGANIZATION NAME: D. S. U. Alumni Delaware State College
Alumni Association

PROJECT NAME: Band To The Beach

FEDERAL TAX ID: 237 009 665 ✓ NON-PROFIT: ☒ YES ☐ NO

DOES YOUR ORGANIZATION OR ITS PARENT ORGANIZATION HAVE A RELIGIOUS AFFILIATION?
☐ YES ☒ NO *IF YES, FILL OUT SECTION 3B.

ORGANIZATION'S MISSION: To bring D.S.U. Marching to Rehoboth Beach, DE. to perform for Labor Day Week-end.

ADDRESS: P.O. Box 179
Ke
Lewes DE 19958
(CITY) (STATE) (ZIP)

CONTACT PERSON: Elizabeth Allen

TITLE: Asst. Treasurer

PHONE: (302) 236-4078 EMAIL: Elizabeth.Allen@Cape.MD.de.us

TOTAL FUNDING REQUEST: \$2000.00

Has your organization received other grant funds from Sussex County Government in the last year? ☐ YES ☒ NO

If YES, how much was received in the last 12 months? —

If you are asking for funding for building or building improvements, do you own the building in which the funding will be used for? ☐ YES ☒ NO

Are you seeking other sources of funding other than Sussex County Council? ☐ YES ☐ NO

If YES, approximately what percentage of the project's funding does the Council grant represent? ?

It Changes from year to year. Not Always Same people.

SECTION 2: PROGRAM DESCRIPTION

PROGRAM CATEGORY (choose all that apply)

- | | | |
|--|--|---|
| <input type="checkbox"/> Fair Housing | <input type="checkbox"/> Health and Human Services | <input type="checkbox"/> Cultural |
| <input type="checkbox"/> Infrastructure ¹ | <input type="checkbox"/> Other _____ | <input checked="" type="checkbox"/> Educational |

BENEFICIARY CATEGORY

- | | | |
|---|--|---|
| <input type="checkbox"/> Disability & Special Needs | <input type="checkbox"/> Victims of Domestic Violence | <input type="checkbox"/> Homeless |
| <input type="checkbox"/> Elderly Persons | <input type="checkbox"/> Low to Moderate Income ² | <input checked="" type="checkbox"/> Youth |
| <input type="checkbox"/> Minority | <input type="checkbox"/> Other _____ | |

BENEFICIARY NUMBER

Approximately the total number of Sussex County Beneficiaries served annually by this program:

SECTION 3: PROGRAM SCOPE

- A. Briefly describe the program for which funds are being requested. The narrative should include the need or problem to be addressed in relation to the population to be served or the area to benefit.

D.S.U. Band Will Perform On the Reho,
Bandstand 8/31/25. During this we feed
the band Students pizza and give them
something to drink. So asking for help to make
this happen. They are feeding in Grove Park. This
would really help a lot with this, also help
paying for the (3) buses needed to get the band
here to play.

SECTION 4: BUDGET

REVENUE	
Please enter the current support your organization receives for this project (not entire organization revenue if not applicable to request)	—
TOTAL REVENUES	
EXPENDITURES	
Please enter the total projected budget for the project (not entire organization expense if not applicable to request). Example of expenditure items: PERSONNEL-one lump sum that would include benefits, OPERATING COSTS-supplies, equipment, rent/lease, insurance, printing telephone, CONSTRUCTION/ACQUISITION-acquisition, development, rehab hard cost, physical inspections, architectural engineering, permits and fees, insurance, appraisal. (Put amounts in as a negative)	
Buses. Jor-lin	\$ 4,488.00
Pizzas + Drinks and ice	\$ 750.00
TOTAL EXPENDITURES	\$5,238.00 ⁰⁰
TOTAL DEFICIT FOR PROJECT OR ORGANIZATION	\$ 5,238.00 ⁰⁰

SECTION 5: STATEMENT OF ASSURANCES

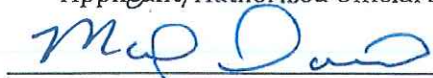
If this grant application is awarded funding, the D.S.U. Alumni agrees that:
 (Name of Organization)

- 1) For non-religious organizations, all expenditures must have adequate documentation and must be expended within one (1) year of receipt of award funds. The funding awarded to the organization must be used in substantial conformity with the anticipated expenditures set forth in the submitted application. All accounting records and supporting documentation shall be available for inspection by Sussex County within thirty (30) days after the organization's expenditure of the awarded funding, or within one year after the receipt of the awarded funds, whichever first occurs.
- 2) For religious organizations, all accounting records and supporting documentation shall be provided for inspection by Sussex County after the award has been made by County Council but before the funding is released.
- 3) No person, on the basis of race, color, or national origin, should be excluded from participation in, be denied the benefit of, or be otherwise subjected to discrimination under the program or activity funded in whole or in part by these Grant funds.

SECTION 5: STATEMENT OF ASSURANCES (continued)

- 4) All information and statements in this application are accurate and complete to the best of my information and belief.
- 5) All funding will benefit only Sussex County residents.
- 6) All documents submitted by the applicant are defined as public documents and available for review under the Freedom of Information Act of the State of Delaware.
- 7) All funding will be used exclusively for secular purposes, i.e., non-religious purposes and shall not be used to advance or inhibit religious purposes.
- 8) In the event that the awarded funding is used in violation of the requirements of this grant, the awarded funding shall be reimbursed to Sussex County within a timeframe designated by Sussex County by written notice.


Applicant/Authorized Official Signature


Witness Signature


Date


Date

Completed application can be submitted by:

Email: gjennings@sussexcountype.gov

Mail: Sussex County Government
Attention: Gina Jennings
PO Box 589
Georgetown, DE 19947

SUSSEX COUNTY COUNCIL NON-PROFIT GRANT PROGRAM
GUIDELINES FOR SUBMITTAL AND AFFIDAVIT OF UNDERSTANDING

The Sussex County Council makes available a limited amount of funding to non-profit organizations that serve the citizens of Sussex County. Each application for funding shall be evaluated by Sussex County administrative staff and shall be subject to final approval from Sussex County Council.

In the attached application, each organization must outline its intended uses for the awarded funding and provide a detailed breakdown of the expenses and costs for such uses. Any funding awarded to the organization must be used in substantial conformity with anticipated expenditures of the submitted application.

All expenditures must have adequate documentation and must be expended within one (1) year of award of funds.

For non-religious organizations, all accounting records and supporting documentation shall be available for inspection by Sussex County within thirty (30) days after the organization's expenditure of the awarded funding, or within one year after the receipt of the awarded funds, whichever first occurs.

For religious organizations, all accounting records and supporting documentation shall be provided for inspection by Sussex County after the award has been made by County Council but before funding is released. Grant is relinquished if supporting documentation is not provided within one year of County Council award.

Certain programs are not eligible for funding pursuant to United States Constitution and State of Delaware Constitution. Those constitutional principles prohibit the use of funding to advance or inhibit religious activities. By signing below, the organization acknowledges that the funding shall be used exclusively for secular purposes, i.e., non-religious purposes and shall not be used to advance or inhibit religious activities.

In the event that such funding is used in violation of the requirements and assurances contained in this grant application, the awarded funding shall be reimbursed to Sussex County within a timeframe designated by Sussex County by written notice.

I acknowledge and represent on behalf of the applicant organization that I have read and understand the above statements.

Elizabeth Allen
Applicant/Authorized Official Signature

M. O. O. a
Witness Signature

Asst. Treas.
Title
7/16/25
Date

To Be Reintroduced: 7/29/25

Council District 5: Mr. Rieley

Tax I.D. No.: 135-15.00-82.00 (p/o)

911 Address: 22518 Lewes Georgetown Highway, Georgetown

ORDINANCE NO. ____

AN ORDINANCE TO AMEND THE COMPREHENSIVE ZONING MAP OF SUSSEX COUNTY FROM AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT AND CR-1 COMMERCIAL RESIDENTIAL DISTRICT TO AN HR-1 HIGH DENSITY RESIDENTIAL DISTRICT FOR A 20 ACRE PORTION OF A CERTAIN PARCEL OF LAND LYING AND BEING IN SUSSEX COUNTY CONTAINING 87.5 ACRES, MORE OR LESS

WHEREAS, on the 17th day of October 2024, a zoning application, denominated Change of Zone No. 2040 was filed on behalf of Capano Management; and

WHEREAS, on the ____ day of _____ 2025, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and said Planning and Zoning Commission recommended that Change of Zone No. 2040 be _____; and

WHEREAS, on the ____ day of _____ 2025, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County has determined, based on the findings of facts, that said change of zone is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County,

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article II, Subsection 115-7, Code of Sussex County, be amended by deleting from the Comprehensive Zoning Map of Sussex County the zoning classification of [AR-1 Agricultural Residential District and CR-1 Commercial Residential District] and adding in lieu thereof the designation [HR-1 High Density Residential District] as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

ALL that certain tract, piece or parcel of land, lying and being situate in Sussex County, Delaware, and lying on the south side of Lewes Georgetown Highway (Rt. 18), approximately 0.5 mile west of Park Avenue (Rt. 9 / S.C.R. 321) and being more particularly described in the attached legal description prepared by The Smith Firm, LLC, said portion of the parcel containing 20.0 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.

To Be Introduced: 7/29/25

Council District 4: Mr. Hudson

Tax I.D. No.: 533-18.00-63.00 & 56.00

911 Address: 33080 Lighthouse Road & N/A

ORDINANCE NO. ____

AN ORDINANCE TO AMEND THE COMPREHENSIVE ZONING MAP OF SUSSEX COUNTY FROM AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT TO AN AR-1-RPC AGRICULTURAL RESIDENTIAL DISTRICT - RESIDENTIAL PLANNED COMMUNITY (352 DWELLINGS) FOR CERTAIN PARCELS OF LAND LYING AND BEING IN SUSSEX COUNTY, CONTAINING 183.19 ACRES, MORE OR LESS

WHEREAS, on the 29th day of September 2023, a zoning application, denominated Change of Zone No. 2021 was filed on behalf of Crosswinds Landing, LLC; and

WHEREAS, on the ____ day of _____ 2025, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and said Planning and Zoning Commission recommended that Change of Zone No. 2021 be _____; and

WHEREAS, on the ____ day of _____ 2025, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County has determined, based on the findings of facts, that said change of zone is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County,

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article II, Subsection 115-7, Code of Sussex County, be amended by deleting from the Comprehensive Zoning Map of Sussex County the zoning classification of [AR-1 Agricultural Residential District] and adding in lieu thereof the designation AR-1-RPC Agricultural Residential District – Residential Planned Community as it applies to the properties hereinafter described.

Section 2. The subject property is described as follows:

ALL that certain tract, piece or parcels of land, lying and being situate in Sussex County, Delaware, and lying on the southwest side of Lighthouse Road (Rt. 54), and on the west side of Dickerson Road (S.C.R. 389) approximately 310 feet northwest of the intersection of Lighthouse Road (Rt. 54) and Dickerson Road (S.C.R. 389) and being more particularly described in the attached legal description prepared by _____, said parcels containing 183.18 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.



Memorandum

To: Sussex County Council
The Honorable Douglas B. Hudson
The Honorable Jane Gruenebaum
The Honorable Matt Lloyd
The Honorable Steve McCarron
The Honorable John L. Rieley

From: Jamie Whitehouse, AICP, Director of Planning & Zoning

CC: Everett Moore, County Attorney

Date: July 24, 2025

RE: County Council Report for C/U 2578 filed on behalf of New Life Bible Fellowship Church

The Planning and Zoning Department received an application (C/U 2578 filed on behalf of New Life Bible Fellowship Church) for an on-premise electronic message center sign to be located in an AR-1 Agricultural Residential Zoning District at Tax Parcel 234-22.00-13.14. The property is located at 24771 Cannon Road, Millsboro. The parcel size is 2.18 ac. +/-

The Planning & Zoning Commission held a Public Hearing on the application on June 18, 2025. At the meeting of June 18, 2025, the Planning & Zoning Commission recommended approval of the application for the 7 reasons as outlined within the motion (copied below).

Below are the minutes from the Planning & Zoning Commission meeting on June 18, 2025.

Minutes of the June 18, 2025, Planning & Zoning Commission Meeting

C/U 2578 New Life Bible Fellowship Church

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR AN ON-PREMISE ELECTRONIC MESSAGE CENTER SIGN TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN SUSSEX COUNTY, CONTAINING 2.18 ACRES, MORE OR LESS. The property is lying on the east side of Cannon Road (S.C.R. 307), 0.94 mile south of Indian Mission Road (Rt. 5). 911 Address: 24771 Cannon Road, Millsboro. Tax Map Parcel: 234-22.00-13.14

Mr. Whitehouse advised the Commission that submitted into the record were a copy of the Applicant's Preliminary Site Plan, a property survey, the DelDOT Service Level Evaluation Response, a sign rendering, a comment letter from the Sussex County Engineering Department Utility Planning



Division, the property deed, and the Staff Analysis Report. Mr. Whitehouse advised the Commission that no public comments were submitted for the Application.

The Commission found that Mr. Petrecca, an elder of the church and Treasurer of the incorporation, spoke on behalf of the Applicant, New Life Bible Fellowship Church. Mr. Petrecca stated that they are requesting permission to replace the existing sign, that is currently deteriorating; that they are currently working with Phillips Sign Company to meet all Sussex County regulations; that DelDOT has already approved their plan, and they now present before the Planning Commission as their next step for approval.

Ms. Wingate stated that she saw the dilapidated sign for herself, and she had no objection to the proposed request.

Mr. Whitehouse stated that recently there have been County wide issues regarding sign brightness, and he questioned whether the proposed sign will have an environmental sensor built in to adjust the brightness of the sign relative to ambient lighting.

Mr. Petrecca stated that they previously discussed this concern with Phillips Sign's; that it is their understanding that the sign will automatically adjust itself; that the sign is an LED sign of new technology, that automatically adjusts its brightness; that at night, the sign will be less bright, as there is less need for brightness; that the current sign is fluorescent lighting, and is very bright; that they have tried to maintain the existing sign for a long time, however the sign is now deteriorating, and must be replaced.

Mr. Robertson questioned if the proposed sign will adversely affect the adjacent properties, neighborhood, and/or area roadways.

Mr. Petrecca stated that he is not aware of any adverse effects the sign may have; that the church has existed prior to many of the developed properties in the area, and there has never been a problem in the past.

The Commission found that there was no one present who wished to speak in support of, or in opposition to, the application.

Upon there being no further questions, Chairman Wheatley closed the public hearing.

At the conclusion of the public hearing, the Commission discussed the Application.

Mr. Robertson read Ms. Wingate's motion into the record per Ms. Wingate's request.

Ms. Wingate moved that the Commission recommend approval of C/U 2578 New Life Bible Fellowship Church to allow an on-premises electronic message center sign based on the record made during the public hearing and for the following reasons:

1. This is an application for a Conditional Use to install an on-premises electronic message display sign. This type of application is permitted under Section 115-161.1 A. (3) of the Zoning Code.

2. The sign will be located on the Church's property, and it will be used to display information about the Church and its various activities and events.
3. This sign will replace a prior static-display sign on the site that is on the Church's property.
4. The sign will be required to comply with all of the sign regulations in the Zoning Code, including brightness and motion.
5. The sign will not adversely affect neighboring properties or area roadways and traffic.
6. No parties appeared in opposition to this Application.
7. A Final Site Plan showing the location of the sign on the site shall be submitted to the Sussex County Planning & Zoning Commission for approval.

Motion by Ms. Wingate, seconded by Mr. Collins, and carried unanimously to recommend approval of C/U 2578 New Life Bible Fellowship Church for the reasons and the conditions stated in the motion. Motion carried 4-0.

Vote by roll call: Ms. Wingate – yea, Mr. Mears – yea, Mr. Collins – yea, Chairman Wheatley – yea

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
HOLLY J. WINGATE, VICE-CHAIRMAN
SCOTT COLLINS
J. BRUCE MEARS
BRIAN BUTLER



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878 T
302-854-5079 F
JAMIE WHITEHOUSE, MRTPI, AICP
DIRECTOR OF PLANNING & ZONING

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET

Planning Commission Public Hearing Date: June 18, 2025

Application: CU 2578 New Life Bible Fellowship Church

Applicant: Roger E. Bishop
30883 Sandy Ridge Drive
Lewes, DE 19958

Owner: New Life Bible Fellowship Church
24771 Cannon Road
Millsboro, DE 19966

Site Location: 24771 Cannon Road
Millsboro, DE 19966

Current Zoning: AR-1 (Agricultural Residential)

Proposed Use: LED Electronic Message Center Sign

Comprehensive Land
Use Plan Reference: Low-Density

Councilmanic
District: District 5 – Mr. Rieley

School District: Indian River School District

Fire District: Indian River Fire Company

Sewer: Private

Water: Private

Site Area: 2.18 – Acres +/-

Tax Map ID.: 234-22.00-13.14





Memorandum

To: Sussex County Planning and Zoning Commission Members
From: Ann Lepore, Planner I
CC: Mr. Vince Robertson, Assistant County Attorney and Applicant
Date: June 11, 2025
RE: Staff Analysis for CU 2578 New Life Bible Fellowship Church

The purpose of this memo is to provide background and analysis for the Planning and Zoning Commission to consider as a part of Application C/U 2578 New Life Bible Fellowship Church to be reviewed during the June 18, 2025, Planning and Zoning Commission Meeting. This analysis should be included in the record of this Application and is subject to comments and information that may be presented during the public hearing.

Please note that the following staff analysis is for informational purposes only and does not prejudice any decision that the Sussex County Planning & Zoning Commission or Sussex County Council may wish to make as part of any Application submitted to the Department.

Tax Parcel ID: 234-22.00-13.14

Proposal: The request is for a Conditional Use for Tax Parcel: 234-22.00-13.14 to allow for an Electronic Message Center Sign to be placed/constructed within an Agricultural Residential (AR-1) District as required under §115-161.1(A)(3) of the Sussex County Code. The property is lying on the east side of Cannon Road (S.C.R. 307), approximately 0.94 mile south of Indian Mission Road (Route 5). The property contains 2.18 acres more or less and is located at 24771 Cannon Road in Millsboro, Delaware.

Zoning: The Parcel is zoned Agricultural Residential (AR-1) District. The adjacent parcels to the north, south, west, and east are zoned Agricultural Residential (AR-1) District.

Future Land Use Map Designation w/in Comprehensive Plan: Low Density Area

Applicability to Comprehensive Plan: The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the subject property is designated as a Rural Area and has a land use designation of "Low Density Area." The adjacent properties to the east contain the Future Land Use Map designation of "Coastal Area", and the areas to the north, south, and west contain the Future Land Use Map designation of "Low Density Area".

As outlined in the 2018 Sussex County Comprehensive Plan, Low Density Areas are areas that the County envisions as "a predominantly rural landscape where farming co-exists with appropriate residential uses and permanently preserved property" (Sussex County Comprehensive Plan, 4-18).



The Plan also notes that commercial uses “should be limited in their location, size and hours of operation” and “more intense commercial uses should be avoided” and commercial uses “may be appropriate depending on surrounding uses” (Sussex County Comprehensive Plan, 4-19).

Further Site Considerations:

- **Density:** N/A
- **Open Space Provisions:** N/A
- **Agricultural Areas:** The site is within the vicinity of active agricultural lands.
- **Interconnectivity:** N/A
- **Transportation Improvement District (TID):** The parcels are not within the Henlopen Transportation Improvement District.
- **Forested Areas:** N/A
- **Wetlands Buffers/Waterways:** N/A
- **Other Site Considerations (ie: Flood Zones, Tax Ditches, Groundwater Recharge Potential, etc.):** N/A

Existing Conditional Uses within the Vicinity of the Subject Site

Since 1970, there have been 17 Conditional Use Applications within a 1-mile radius of the Application Site.

CU No.	APPLICANT	Tax Parcel #	911 Address or Road Name	Zoning	Proposed Use	CC Date	CC Decision	Ord. No.
179	CATV Sussex Company	234-23.00-111.00	Friendship Rd	AR-1	Cable TV antenna tower & signal processing	12/11/1973	Approved	N/A
704	E. A. Timmons Mobile Homes, Inc.	234-23.00-42.00	Rd 306A	AR-1	Campground	11/30/1982	Denied	
897	Dover Radio Page, Inc.	234-22.00-13.00	Cannon Rd	AR-1	400 ft radio tower	2/14/1989	Approved	559
939	Atlantic Coastal Aerial Advertising	234-16.00-21.00	Indian Mission Rd	AR-1	Private Air Strip for Banner Towing Service	7/10/1990	Approved	701
999	Delaware Electric Cooperative	234-16.00-19.01	Indian Mission Rd	AR-1	Electric Utility Substation	5/12/1992	Approved	828
1101	Melvin A. & Gloria M. Fox	234-23.00-29.00	Indian Mission Rd	AR-1	Tanning booths & beauty salon	2/28/1995	Denied	
1116	Atlantic Coastal Aerial Advertising	234-16.00-21.00	Indian Mission Rd	AR-1	Private air strip/banner towing	6/13/1995	Approved	1034
1190	Skybanners, Inc.	234-16.00-21.00	Indian Mission Rd	AR-1	Banner towing service	7/29/1997	Approved	1161
1209	Jeffrey A. & Susanne M. Balthaser	234-23.00-707.00	Paradise Found Ln	AR-1	Contractors Office	12/2/1997	Approved	1193
1230	B&M Builders, Inc.	234-23.00-8.00	Indian Mission Rd.	AR-1	Manufactured Home Sales Lot	3/17/1998	Approved	1219
1285	Mid-Sussex Rescue Squad, Inc.	234-23.00-258.00	Indian Mission Rd & Friendship	AR-1	Ambulance rescue station	6/8/1999	Approved	1316
1351	David M. Shepherd	234-23.00-44.00	Guinea Hollow Rd	AR-1	Office/parking/storage equipment	9/26/2000	Approved	1400
1551	Shorts Marine	234-23.00-111.00	Friendship Rd	AR-1	Boat storage yard	9/21/2004	Approved	1718
1629	Handler Mitchell Properties Route 5 LLC	234-16.00-19.00	Indian Mission Rd	AR-1	Sewer treatment	1/3/2006	Approved	1814
1757	Artesian Water Company, Inc. (Stone W)	234-16.00-21.00	Shoreline Dr.	AR-1	Water Utility	8/14/2007	Approved	1929
1786	Leon Burton	234-23.00-8.00	John J. Williams Hwy	AR-1	Boat Storage	10/13/2009	Approved	2084
2243	Keith Twardowski	234-23.00-51.00	33602 Samantha Dr	AR-1/GR	Landscape Business	1/5/2021	Approved	2762
2578	New Life Bible Fellowship Church	234-22.00-13.14	24771 Cannon Road	AR-1	Electronic Message Center		Pending	



Maxar, Microsoft, VITA, Esri, HERE, Garmin, iPC

CU 2578 Roger E. Bishop
Street Map
TM# 234-22.00-13.14



CU 2578 Roger E.
Bishop




0 250 500 1,000 Feet






CU 2578 Roger E. Bishop
Street Map
TM# 234-22.00-13.14

 CU 2578 Roger E. Bishop

N

0 250 500 1,000 Feet




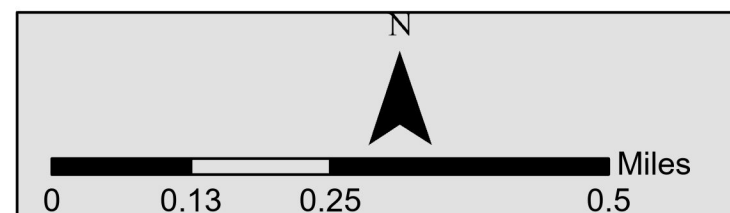


Zoning

-  Agricultural Residential - AR-1
-  Agricultural Residential - AR-2
-  Medium Residential - MR
-  General Residential - GR
-  High Density Residential - HR-1
-  High Density Residential - HR-2
-  Vacation, Retire, Resident - VRP
-  Commercial Residential - CR-1
-  Institutional - I-1
-  Marine - M
-  Limited Industrial - LI-1
-  Light Industrial - LI-2
-  Heavy Industrial - HI-1
-  C1: General Commercial
-  C2: Medium Commercial
-  C3: Heavy Commercial
-  C4: Planned Commercial
-  C5: Service/Limited Manufacturing
-  B-1: Neighborhood Business
-  B-2: Business Community District
-  B-3: Business Research

CU 2578 Roger E. Bishop
Zoning Map
TM# 234-22.00-13.14

 CU 2578 Roger E. Bishop



Introduced: 5/20/25

Council District 5: Mr. Rieley

Tax I.D. No.: 234-22.00-13.14

911 Address: 24771 Cannon Road, Millsboro

ORDINANCE NO. ____

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR AN ON-PREMISE ELECTRONIC MESSAGE CENTER SIGN TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN SUSSEX COUNTY, CONTAINING 2.18 ACRES, MORE OR LESS

WHEREAS, on the 27th day of February 2024, a Conditional Use application, denominated Conditional Use No. 2578 was filed on behalf of New Life Bible Fellowship Church, and

WHEREAS, on the ____ day of _____ 2025, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and said Planning and Zoning Commission recommended that Conditional Use No. 2578 be _____; and

WHEREAS, on the ____ day of _____ 2025, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article IV, Subsections 115-22, Code of Sussex County, be amended by adding the designation of Conditional Use No. 2578 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

ALL that certain tract, piece, or parcel of land, lying and being situate in Indian River Hundred, Sussex County, Delaware, and lying on the east side of Cannon Road (S.C.R. 307), 0.94 mile south of Indian Mission Road (Rt. 5), and being more particularly described in the attached legal description prepared by William E. Wright, Esq., said parcel containing 2.18 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.



Memorandum

To: Sussex County Council
The Honorable Douglas B. Hudson
The Honorable Jane Gruenebaum
The Honorable Matt Lloyd
The Honorable Steve McCarron
The Honorable John L. Rieley

From: Jamie Whitehouse, AICP, Director of Planning & Zoning

CC: Everett Moore, County Attorney

Date: July 24, 2025

RE: County Council Report for C/U 2584 filed on behalf of Martin Pacheco & Agustin Lee Pacheco-Quillen

The Planning and Zoning Department received an application (C/U 2584 filed on behalf of Martin Pacheco & Agustin Lee Pacheco-Quillen) for an outdoor athletic field and concession trailer/food truck to be located in an AR-1 Agricultural Residential Zoning District at Tax Parcel 331-2.00-18.19 & 18.20. The property is located at 20924 Camp Road, Bridgeville. The parcel size is 8.07 ac. +/-

The Planning & Zoning Commission held a Public Hearing on the application on June 18, 2025. At the meeting of July 2, 2025, the Planning & Zoning Commission recommended approval of the application for the 6 reasons stated and subject to the 9 recommended conditions as outlined within the motion (copied below).

Below are the minutes from the Planning & Zoning Commission meeting on June 18, 2025, and July 2, 2025.

Minutes of the June 18, 2025, Planning & Zoning Commission Meeting

C/U 2584 Martin Pacheco & Agustin Lee Pacheco-Quillen

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR AN OUTDOOR ATHLETIC FIELD AND CONCESSION TRAILER/FOOD TRUCK TO BE LOCATED ON CERTAIN PARCELS OF LAND LYING AND BEING IN SUSSEX COUNTY, CONTAINING 8.07 ACRES, MORE OR LESS. The properties are lying on the west side of Camp Road (S.C.R. 532) approximately 915 ft. north of Eskridge Road (S.C.R. 531). 911 Address: 20924 Camp Road, Bridgeville. Tax Map Parcels: 331-2.00-18.19 & 18.20



Mr. Whitehouse advised the Commission that submitted into the record were a copy of the Applicant's Preliminary Site Plan, the property deed, the DelDOT Service Level Evaluation Response letter, a written response from the Sussex County Engineering Department Utility Planning Division, and the Staff Analysis letter. Mr. Whitehouse advised the Commission that no public comments had been received for the Application.

Mr. Whitehouse advised the Commission that the application was submitted as a result of an issued violation, and should the Commission have any questions, Mr. Mark Rogers, Sussex County Chief Constable, and Mr. Christopher Layton, Sussex County Constable were present.

The Commission found that Ms. Maria Monsanto, spoke on behalf of the property owner, Mr. Raul Alvarez, and the Applicants. Ms. Monsanto stated there is an existing soccer field that is utilized for practices and for seasonal games; that they also inherited a food truck; that this person has a license and all permits required for the food truck to be located on the property; that the food truck would provide light items, such as drinks and chips for the convenience of the players; that there are approximately 50 vehicles in the parking lot at a time, and these vehicles rotate throughout the time, as people are arriving and leaving from games.

Mr. Collins questioned the general number of vehicles that access the site, and proposed parking.

Mrs. Monsanto stated they stated approximately 50 vehicles, however, she believed it to be less than that; that there had been previous claims of 100 vehicles being on the site at one time; that there is no way 100 vehicles were on the site; that vehicles do switch from one particular game to another, which only occurs during a transition period; that the operations are proposed for seasonal use; that there is a period of start and end, and dates were provided of when operations are proposed to occur.

Ms. Wingate stated she saw the 50 parking spaces reflected on the plan; that she questioned if the plan was submitted to DelDOT and requested to hear from the Sussex County Constables that were present.

Ms. Monsanto stated she has all the paperwork for DelDOT, and she had submitted everything DelDOT requested.

The Commission found that Mr. Mark Rogers, Chief Constable, spoke upon the application at Ms. Wingate's request. Mr. Rogers stated the Constable's Department had received a complaint prior to his employment with Sussex County, in January 2024; that at that time, there was a large pole barn where soccer games were being held inside; that once a Constable visited the site, notifying the property owner of the violation, a Conditional Use application was filed; that subsequently, the Conditional Use application was withdrawn once made aware of what went into a Conditional Use application; that approximately two months later, after he was hired by Sussex County, another complaint was filed regarding large soccer games being held on the property; that a constable visited the site, at which time he was able to verify that soccer games were being held on the site on weekends; that it was the constable's understanding at that time, that no games were being held inside the building; that the Applicant and property owner were under the impression they were not permitted to host games inside the building, but were permitted to host games outside of the building; that at that time the Constable was able to make them aware that due to the number of people, the food truck, and the advertising, a Conditional Use approval would be required; that the Ms. Monsanto did attend a meeting with the Constables Department, to discuss the complaints filed, and the required

process; that following this meeting, the Applicant agreed to limit the vehicles onsite to a maximum of 50 vehicles; that the department has received a few complaints; that since meeting with Ms. Monsanto in April 2025, they appear to be following the Constables guidelines and there have been arguments regarding the number of cars at the site, however, the event was held on a Sunday, at which time the Constables were unable to visit the site.

Ms. Wingate questioned what type of meetings and events are proposed for the pole building.

Ms. Monsanto stated originally, she had discussions with the Applicant regarding requesting a Conditional Use for the pole barn; that after they began looking into the expenses and permits of the process, they decided it was not affordable at the moment; that this resulted in the withdrawal of the original Conditional Use application; that there was a small room that was used for an inside soccer field; that at the time they did not realize they were in violation of the Code; that once they were made aware, they followed everything they were required to do, and they stopped all activities that were required to be stopped; that this is what they have continued to do; that they are no longer proposing events; that if it is raining outside, they do hold practices inside; that the use is not commercial, it is all for personal use, and the only commercial use on the site is the food truck.

Mr. Mears questioned staff if the existing building is located over the setback line, shown at 20 feet, and if the Applicant would need approval by the Sussex County Board of Adjustment.

Mr. Whitehouse stated that if the existing building is located within the setback, it will require a variance; that this issue would be a separate matter; that staff will additionally need to resolve permitting for the building, and the thought process was to handle the use first, with everything else flowing from there, and staff will need to circle back on the setback issue.

Mr. Robertson questioned if the proposed use would have a negative impact on the nearby community, what days and hours of operation are proposed, and if the Applicant desires a sign.

Ms. Monsanto stated they are not looking to impact the community, however she felt the community felt a bit more impacted, as there are more retired people within the community; that there is a trucking business located behind the site; that they hear more noise from the trucking company than from their proposed use; that she is at the site at 6:00 am every morning, at which time she hears beeping and multiple other noises; that everyone has their own property; that they are only trying to have fun, by uplifting the community, through participating and enjoying the games; that the Applicant proposes to host games only on Sundays, and there will be practices held throughout the day.

The Commission found that Mr. Martin Pacheco spoke on behalf of his application. Mr. Pacheco stated that they would like to host practices in the afternoons for approximately one to two hours; that it all depends on what time people get off of work; that practices are typically held between 7:00 pm until 9:00 pm; that there are lights on the field that are operated by a generator; that on Sundays operations run from 8:00 am until 7:00 pm; that there are 10 to 15 people coming and going from the site; that there are not a bunch of people who remain at the site all day; that the season runs from October to May; that there has been a previous issue with players arriving at the wrong address, because they do not currently have a sign; that he does not necessarily want to place a sign, and he stated people arriving to the wrong location was only an issue in the beginning.

Ms. Monsanto stated that they do place a notice on Facebook to allow game players to know who will be playing against who.

Mr. Whitehouse questioned the lighting provided by the generator.

Ms. Monsanto stated that lighting is provided by a generator.

Mr. Pacheco stated it is a generator that gets placed on a light pole, and the generator turns the lights on.

The Commission found that there was no one present who wished to speak in support of the Application, and three people present who wished to speak in opposition of the Application.

Mr. William Reynolds spoke in opposition to the application. Mr. Reynolds stated he resides adjacent to the property; that there is traffic coming and going from the site, sometimes up to 3:00 am; that traffic to the site goes through his lane; that he previously complained; that they would not put up a sign to show where the correct entrance was located; that he currently has people on his property at night, at which time he chases them off with his flashlight, and the people do not pay attention; that they play games; that they use bright lights at night; that you can hear them from his property; that he would like them to place a sign for their business; that he believed they were running a business for horses, but he was unsure what they are doing on the property, and that there is traffic to the site seven days a week.

Ms. Wingate questioned whether additional businesses were being performed on the property.

Ms. Monsanto stated that they do have a painting business, known as GJK Painting, from the existing houses, with a small office located next to the houses, and their business provides painting and drywall services.

Chairman Wheatley questioned if the painting business had employees, and if there was an existing Conditional Use for the painting business.

Ms. Monsanto stated the painting business does have employees, and she would assume that there was a Conditional Use approved for the painting business on the property.

Mr. Whitehouse stated there is no Conditional Use approved for Tax Map Parcel No. 331-2.00-18.13, unless the use was in operation prior to 1970.

Mr. Robertson stated that the approval may have been granted as a Home Occupation, and confirmation would require additional research.

Mr. Rogers stated there has not been a violation issued for the painting business, however, it was part of one of the previous complaints; that when the Constable visited the site, there were no work vehicles located on the site, and Ms. Monsanto who often translates for the property owner was not present to translate, therefore, there was no evidence of a business at that time.

Ms. Monsanto stated that with the painting business, one to two contractors will come to the site to retrieve their schedule for the day, and will then leave the site; that the contractors to not drop off anything to the site; that they are sub-contractors, and they have their own work vehicles.

Chairman Wheatley stated the reason the Conditional Use is required is because the zoning of the area is agricultural residential; that there is an expectation that there will not be places of assembly; that there will no be food trucks; that there will not be businesses operating unless they received permission to do so, and that is the reasoning for the Conditional Use process.

The Commission found that Mr. Jason Hignutt and Mrs. Keri Hignutt spoke in opposition to the Application. Mrs. Hignutt stated that they are also neighbors within the community; that if the plan proposes 50 vehicles, potentially allowing four people per vehicle, it would equal to a minimum of 200 potential people at the property; that there was a fire at the residence previously; that they had concerns regarding a fire hydrant; that their home is located in front of the proposed site; that they had concerns regarding potential septic requirements, or are portable toilets proposed; that they would be a proponent for signage; that they have had a number of people in their driveway daily; that they hosted an event the night prior, where vehicles were entering the site at 9:00 pm; that they had previously had State troopers at their property looking for the site; that even the State police have trouble locating the property; that they have three children who love to play outside; that when people are pulling in and not knowing where they are going, turning around in their driveway, it creates a safety concern; that they have also had people previously trespass onto their property, attempting to get into their pole barn on their property; that the lane on the site is not wide enough to provide for two way traffic; that current business hours appear to be seven days a week, all hours of the day; that they are not fans of bright outdoor lighting; that the lights are a current issue on their property; that she questioned if the food trucks will draw crowds or will it be limited to servicing the players only; that they previously had seen septic trucks accessing the property, and if the use is approved, they request that there be guidelines placed.

Mr. Hignutt stated that they have three children who love to play outside; that Camp Road becomes a race track at night, when the site traffic is racing back to Cannon Road; that the loud trucks and Honda Civics need to be respectful for the existing residents of the community; that they are not against the use; that they are going through the same process for their own business; that they would request that the Applicant be held to the same requirements that they are being held to; that the back building is clearly past the required setback; that rules are rules; that there is not a fire hydrant close to the site and there is no public water anywhere near the site.

Mr. Collins questioned if the Hignutts were requesting screening to be placed for the site.

Ms. Hignutt stated that yes, they would appreciate a fence or some type of screening.

Ms. Wingate questioned if portable toilets and trash enclosures are located on the site.

Ms. Monsanto stated there are two portable toilets located on the site; that the toilets are services regularly; that there is one commercial four foot dumpster located to the back of the site; that there are no other businesses, but there is a farm with horses, chickens and goats; that they are not affiliated with any business use; that they are willing to place a fence if it is required; that the lights can be turned away from other properties; that they are willing to do whatever it takes; that for the benefit of the neighbors, the property owner has a large family; that it is not only people coming for the soccer fields

every day; that at times it is the property owners family members; that they are not trying to be rebellious; that they did not know the process and now that they know the process they are willing to do whatever it takes to fix the issues.

Mr. Robertson stated that the property is located right off Rt. 113; that the site is surrounded by C-1 (General Commercial) zoning on two sides, somewhat wrapping around to the front, containing commercial uses.

Upon there being no further questions, Chairman Wheatley closed the public hearing.

At the conclusion of the public hearing, the Commission discussed the Application.

In relation to C/U 2584 Martin Pacheco & Agustin Lee Pacheco-Quillen. Motion by Mr. Collins to defer action for further consideration, seconded by Ms. Wingate and carried unanimously. Motion carried 4-0.

Minutes of the July 2, 2025, Planning & Zoning Commission Meeting

The Commission discussed the application, which had been deferred since June 18th, 2025.

Mr. Collins moved that the Commission recommend approval of Conditional Use No. 2584 Martin Pacheco & Agustin Lee Pacheco-Quillen for an outdoor athletic field and a concession trailer/food truck based upon the record made during the public hearing and for the following reasons:

1. The use will be an outdoor field used for athletic activities like soccer games. The concession trailer or food truck will be limited to providing food and beverages to the participants in the games on the field.
2. The property is 8.07 acres in size. The outdoor soccer field will be located several hundred feet from Camp Road and the backs of the residential lots located on that road. It is also in an area of the property that is adjacent to land that is commercially zoned, and it is adjacent to the commercial corridor of Route 13.
3. The Applicants stated that they only desire one outdoor field. With this limitation, the property will not become a large-scale sports facility.
4. The Applicants have stated that there is a need in this area of Sussex County for soccer fields for use by residents of Sussex County.
5. While there were concerns expressed by residents of the area, these concerns can largely be resolved through appropriate conditions imposed on the use, including hours of operation, signage, limitations on lighting, and other factors.
6. With the conditions imposed as part of this recommendation, the use will not have an adverse impact upon traffic, area roadways, or the community.
7. This recommendation is subject to the following conditions:
 - A. The use shall be limited to a single outdoor athletic field. One food truck or concession trailer shall also be permitted exclusively for people using the field or watching the games there. The food truck or trailer shall not be used when the field is not in use.

- B. The Final Site Plan shall clearly show the location of the outdoor field, and all parking areas shall be clearly marked on the site. In addition, the driveway shall be paved to control dust.
- C. The Applicants shall comply with all DelDOT entrance and roadway improvement requirements.
- D. One unlighted sign shall be permitted to clearly designate the entrance to the field from Camp Road. It shall not exceed 32 square feet in size. The location of the sign shall take into account how it may affect neighboring properties. The location and details of the sign shall be shown on the Final Site Plan.
- E. The hours of operation shall be limited to 8:00 a.m. through 10:00 p.m., 7 days per week. The entrance to the site shall be gated to prevent access when the field is not in use.
- F. The outdoor field may be lighted for nighttime use. The lights shall not be mounted higher than 12 feet, and they shall not shine on neighboring properties. The lights must be turned off no later than 10:00 p.m. The location of the lights shall be shown on the Final Site Plan.
- G. The entrance drive and the perimeter of the property where the parking and field is located shall be fenced with a solid fence to screen the noise, light, and sporting events from neighboring properties. The location and type of fencing to be installed shall be shown on the Final Site Plan.
- H. Any violation of these conditions may be grounds for termination of the conditional use.
- I. Because this case is the result of a zoning violation investigation, the Final Site Plan must be submitted to the Office of Planning & Zoning within 6 months of the date that this Conditional Use is approved by Sussex County Council. The Final Site Plan shall be subject to the review and approval of the Sussex County Planning & Zoning Commission.

Motion by Mr. Collins, seconded by Ms. Wingate, and carried unanimously to recommend approval of C/U 2584 Martin Pacheco & Agustin Lee Pacheco-Quillen for the reasons and conditions stated in the motion. Motion carried 4-0.

Vote by roll call: Mr. Collins – yea, Ms. Wingate – yea, Mr. Mears – yea, Chairman Wheatley – yea.

Mr. Collins motioned yes, for the reasons and conditions stated in the motion.

Ms. Wingate motioned yes, for the reasons and conditions stated in the motion.

Mr. Mears motioned yes, for the reasons and conditions stated in the motion.

Chairman Wheatley motioned yes, for the reasons and stipulations stated in the motion.

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
BRIAN BUTLER
GREGORY SCOTT COLLINS
J. BRUCE MEARS
HOLLY WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
(302) 855-7878 T
(302) 854-5079 F

JAMIE WHITEHOUSE
DIRECTOR

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET

Planning Commission Public Hearing Date: June 18, 2025

Sussex County Council Public Hearing Date: July 29, 2025

Application: C/U 2584 Martin Pacheco & Augustin Lee Pacheco-Quillen

Applicant: Martin Pacheco & Augustin Lee Pacheco-Quillen
21054 SanFillippo Road
Bridgeville, DE 19933

Owner: Raul Ixtulco-Alvarez
P20924 Camp Road
Bridgeville, DE 19933

Site Location: The properties are lying on the west side of Camp Road (S.C.R. 532) approximately 915 ft. north of Eskridge Road (S.C.R. 531).

Current Zoning: AR-1 (Agricultural Residential)

Comprehensive Land Use Plan Reference: Existing Developing Area

Councilmanic District: Mr. McCarron

School District: Seaford School District

Fire District: Seaford Fire Department

Sewer: Private

Water: Private

Site Area: 8.07

Tax Map ID.: 331-2.00-18.19 & 18.20





Memorandum

To: Sussex County Planning and Zoning Commission Members

From: Ann Lepore, Planner I

CC: Mr. Vince Robertson, Assistant County Attorney and Applicant

Date: June 11, 2025

RE: Staff Analysis for CU 2584 Martin Pacheco & Agustin Lee Pacheco-Quillen

The purpose of this memo is to provide background and analysis for the Planning and Zoning Commission to consider as a part of Application CU 2584 (Martin Pacheco & Agustin Lee Pacheco-Quillen) to be reviewed at the June 18, 2025, Planning and Zoning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

Please note that the following staff analysis is for informational purposes only and does not prejudice any decision that the Sussex County Planning & Zoning Commission or Sussex County Council may wish to make as part of any Application submitted to the Department.

Tax Parcels: 331-2.00-18.19 & 18.20

Proposal: The request is for a Conditional Use for Tax Parcels: 331-2.00-18.19 & 18.20 to allow for an outdoor athletic field and concession trailer/food truck business. The properties are lying on the west side of Camp Road (S.C.R. 532) approximately 915 ft. north of Eskridge Road (S.C.R. 531).

Zoning: The subject property is zoned Agricultural Residential (AR-1) District. All adjoining parcels to the south and east are also within the Agricultural Residential (AR-1) district. The adjoining parcels to the north and west are within the General Commercial (C-1) District.

Future Land Use Map Designation w/in Comprehensive Plan: Developing Area

Applicability to Comprehensive Plan: The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use Map in the plan indicates that the parcel has a designation of "Developing Area." All adjoining parcels to the south and east also have a Future Land Use Map designation of "Developing Area.", the adjoining parcels to the north and west have a Future Land Use Map designation of "Commercial Area".

As outlined within the 2018 Sussex County Comprehensive Plan, the Developing Areas are newer, emerging growth areas that demonstrate the characteristics of developmental trends. Most of the proposed Developing Areas are adjacent to municipalities, within or adjacent to potential future annexation areas of a municipality, or adjacent to Town Centers. – A range of housing types are appropriate in Developing Areas, including single family homes, townhouses, and multi-family units. In selected areas and at appropriate intersections, commercial uses should be allowed. A



variety of office uses would be appropriate in many areas. Portions of the Developing Areas with good road access and few nearby homes should allow for business and industrial parks. Appropriate mixed-use development should also be allowed. In doing so, careful mixtures of homes with light commercial and institutional uses can be appropriate to provide for convenient services and to allow people to work close to home (Sussex County Comprehensive Plan, 4-14).

Table 4.5-2 “Zoning Districts Applicable to Future Land Use Categories” in the 2018 Sussex County Comprehensive Plan notes that the Agricultural Residential District is an applicable Zoning District within the “Developing Area” Future Land Use Map Designation.

Further Site Considerations

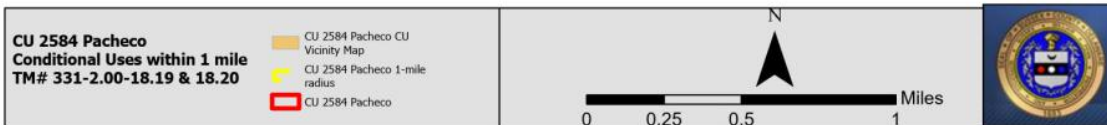
- **Density:** N/A
- **Open Space Provisions:** N/A
- **Agricultural Areas:** The subject parcels are in the vicinity of lands actively used for agricultural purposes.
- **Interconnectivity:** N/A
- **Transportation Improvement District (TID):** N/A
- **Forested Areas:** N/A
- **Wetlands Buffers/Waterways:** N/A
- **Other Site Considerations (ie: Flood Zones, Tax Ditches, Groundwater Recharge Potential, etc.):** N/A

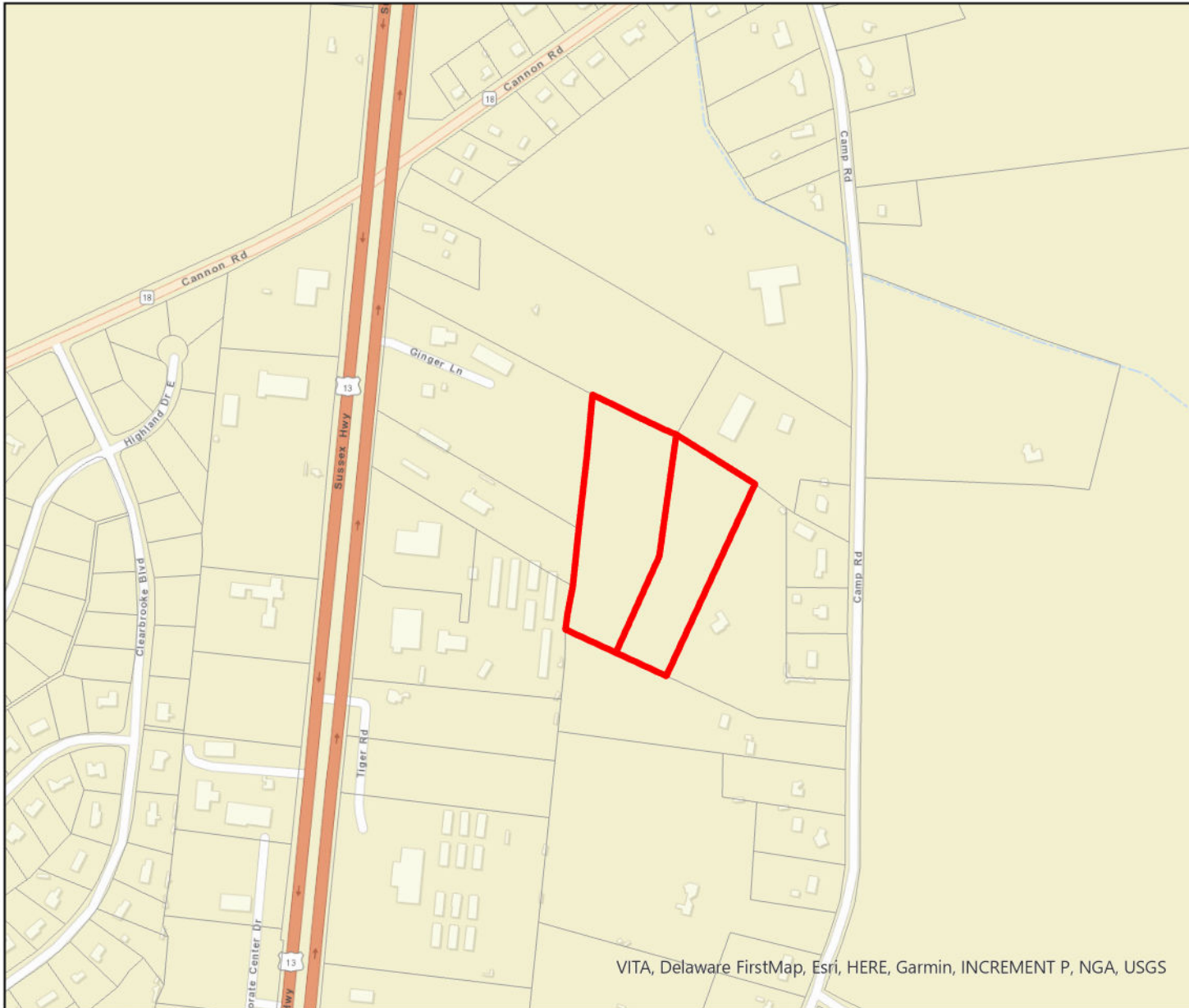
Based on the analysis provided, the Conditional Use to allow for an athletic field and concession/food truck business in this location could be considered as being consistent with the surrounding land use, zoning, and uses, subject to considerations of scale and impact.

Existing Conditional Uses within the Vicinity of the Subject Site: A Data Table and Supplemental Map have been supplied which provide further background regarding the approval status of Applications in the area, including the location of all other Conditional Use Applications that are less than 1 mile distance from the subject site.

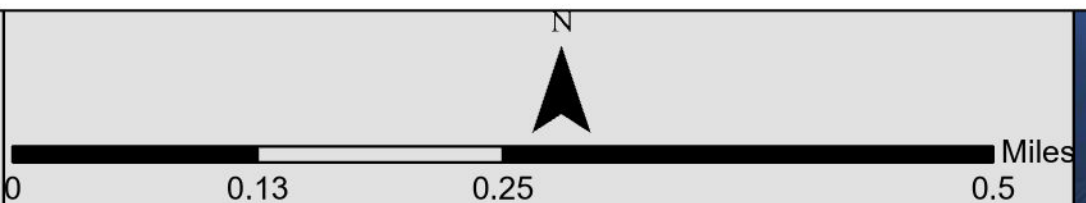
Since 1970, there have been seventeen (17) Conditional Use Applications within a 1-mile radius of the Application Site.

CU No.	APPLICANT	Tax Parcel #	Zoning	Proposed Use	CC Date	CC Decision	Ord. No.
91	Elks Lodge	331-3.00-1.00	AR-1	Lodge Hall		Withdrawn	
103	B.P.O. Elks No. 2458	331-3.00-1.00	AR-1	private lodge & connected activities		Approved	
219	Baker Chemical Equipment	331-1.00-15.00	AR-1	addition to existing storage & office bldg		Approved	
481	Fred Truitt	131-19.00-4.00	AR-1	paint & hardware store		Approved	
786	Bridgeville Auto Center	131-19.00-5.01	AR-1	extension of non-conforming auto	5/1/1984	Approved	
797	Donald F. Booth	331-4.00-33.02	AR-1	glass & metal contrustion & fabri	5/29/1984	Approved	
1015	Joe C. & Toni Johnson	131-19.00-8.01	AR-1	Expansion of CU 786 for Auto Recy	2/2/1993	Approved	872
1186	State of Delaware	331-3.00-31.00	AR-1	450 ft radio tower	12/30/1997	Denied	
1422	Donald D'Aguila	331-4.00-26.00	AR-1	additional motel use	11/13/2001	Withdrawn	
1707	The Keith Corporation	331-4.00-119.00	AR-1	Retail Store & Mini Storage	2/5/2008	Approved	1951
1898	Bruce Fisher	131-19.00-10.01	AR-1	professional offices	6/14/2011	Approved	2203
2226	Jonathan & Karen Hearn	131-18.00-33.00	AR-1	Event Venue	9/29/2020	Approved	2742
2342	Turning Point Energy	131-1.00-15.01	AR-1	Community Solar Facility	2/21/2023	Approved	2904
2429	Jason Hignutt	331-2.00-17.02	AR-1	AR-1	8/13/2024	Approved	3036
2461	Raul Alvarez	331-2.00-18.20	AR-1	Event Venue		WITHDRAWN	
2467	Soltage De DevCo, LLC	331-4.00-30.03	AR-1	Solar Facility		WITHDRAWN	
2584	Martin Pacheco & Augustin	331-2.00-18.19	AR-1	Outdoor Athletic Field and Concession Trailer/		Pending	





CU 2584 Martin Pacheco & Augustin Lee Pacheco-Quillen
Aerial Map
TM# 331-2.00-18.19 & 18.20

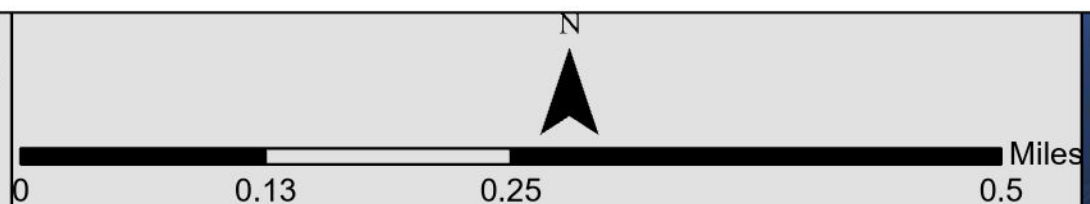




Zoning

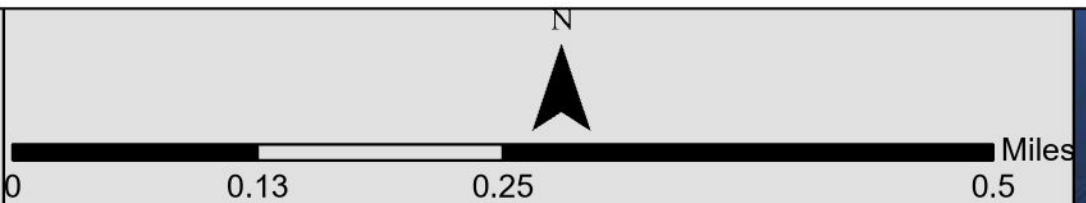
- Agricultural Residential - AR-1
- Agricultural Residential - AR-2
- Medium Residential - MR
- General Residential - GR
- High Density Residential - HR-1
- High Density Residential - HR-2
- Vacation, Retire, Resident - VRP
- Commercial Residential - CR-1
- Institutional - I-1
- Marine - M
- Limited Industrial - LI-1
- Light Industrial - LI-2
- Heavy Industrial - HI-1
- C1: General Commercial
- C2: Medium Commercial
- C3: Heavy Commercial
- C4: Planned Commercial
- C5: Service/Limited Manufacturing
- B-1: Neighborhood Business
- B-2: Business Community District
- B-3: Business Research

CU 2584 Martin Pacheco & Augustin Lee Pacheco-Quillen
Zoning Map
TM# 331-2.00-18.19 & 18.20





CU 2584 Martin Pacheco & Augustin Lee Pacheco-Quillen
Zoning Map
TM# 331-2.00-18.19 & 18.20



Introduced: 5/20/25

Council District 2: Mr. McCarron

Tax I.D. No.: 331-2.00-18.19 & 18.20

911 Address: 20924 Camp Road, Bridgeville & N/A

ORDINANCE NO. ____

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR AN OUTDOOR ATHLETIC FIELD AND CONCESSION TRAILER/FOOD TRUCK TO BE LOCATED ON A CERTAIN PARCELS OF LAND LYING AND BEING IN SUSSEX COUNTY, CONTAINING 8.07 ACRES, MORE OR LESS

WHEREAS, on the 20th day of March 2025, a Conditional Use application, denominated Conditional Use No. 2584 was filed on behalf of Martin Pacheco and Agustin Lee Pacheco-Quillen; and

WHEREAS, on the ____ day of _____ 2025, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and said Planning and Zoning Commission recommended that Conditional Use No. 2584 be _____; and

WHEREAS, on the ____ day of _____ 2025, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article IV, Subsections 115-22, Code of Sussex County, be amended by adding the designation of Conditional Use No. 2584 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

ALL that certain tract, piece, or parcels of land, lying and being situate in Seaford Hundred, Sussex County, Delaware, and lying on the west side of Camp Road (S.C.R. 532) approximately 915 ft. north of Eskridge Road (S.C.R. 531), and being more particularly described in the attached legal description prepared by Tunnell & Raysor, P.A. said parcel containing 8.07 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.