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Sussex County

DELAWARE
sussexcountyde.gov

PLEASE NOTE

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COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE



Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, AICP, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager; Lauren DeVore, AICP, Planner III; Michael Lowrey, Planner III; Chase Phillips, Planner II; Christin Scott, Planner II; Elliott Young, Planner I & Jesse Lindenberg, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: January 4th, 2023

RE: Other Business for the January 12th, 2023, Planning Commission Meeting

This memo provides background for the Planning Commission to consider as a part of the Other Business to be reviewed during the January 12th, 2023, Meeting of the Planning & Zoning Commission.

Americana Bayside MR-RPC – Freeman Foundation Office

BM

Revised Parking Plan

This is a Revised Parking Plan to re-orient the parking spaces at the Freeman Foundation Office parking lot and increase parking for stage events within the original Phase 1B (Town Center) Site Plan for the Americana Bayside Residential Planned Community (RPC). The proposed plan shows a reduction in impervious cover area, and almost the same limits of pavement as the previously approved Plan. Additionally, the number of parking spaces has increased from 88 spaces to 116 spaces total (for an increase of 28 spaces) from the previously approved Plan. The Revised Parking Plan complies with the Sussex County Zoning Code and all Conditions of Approval. Tax Parcel: 533-19.00-777.01. Zoning District: MR-RPC (Medium Density Residential, Residential Planned Community.)

S-22-32 Red Mill Pointe Office

KS

Preliminary Site Plan

This is a Preliminary Site Plan for the construction of a 7,000 square foot office building, with parking and landscaping along Route 1. The parcel is 0.672 acres +/- and is located on the northeast side of Coastal Highway (Rt. 1), in the Combined Highway Corridor Overlay Zoning District (CHCOZ). The applicant has submitted a letter requesting parking within the front setback and a reduction in the number of parking spaces required, due to site constraints. Tax Parcel: 334-1.00-5.00. Zoning: CR-1 (Commercial Residential District). Staff are awaiting agency approvals. Should the Commission desire to act favorably on this proposal, staff are requesting final approvals to be made subject to staff upon the receipt of all agency approvals.

WFP Holding – Shopping Center (C/Z 1842)

HW

Preliminary Site Plan

This is a Preliminary Site Plan for the construction of a 12,000 square foot commercial and retail building and other site improvements. The parcel is 2.495 acres +/- and is located on the northeast side of Zion Church Road (Rt. 20). Staff would like to note that the applicant is proposing to have parking located within a Tax Ditch ROW, notice has been given that approval from DNREC is required. On January 30th, 2018, the Sussex County Council approved of Change of Zone No. 1842 and was adopted through Ordinance No. 2545. Tax Parcel: 533-11.00-82.03. Zoning: B-1 (Neighborhood Business Zoning District). Staff are awaiting agency approvals. Should the



Commission desire to act favorably on this proposal, staff are requesting final approval to be made subject to staff upon the receipt of all agency approvals.

2021-15 Sandpiper Cove (F.K.A. Cobb Property)

HW

Request to Revise Conditions of Approval

On November 30th, 2022, the Planning & Zoning Department received a request to amend Condition “I” of the January 27th, 2022, Planning & Zoning Commission Approval of a 68-lot single family cluster subdivision. Condition “I” requires, *“Amenities including a pool and pool house shall be constructed and open to use by residents of this development on or before the issuance of the 20th residential building permit. The Final Site Plan shall contain details as to the size and location of these amenities.”* The applicant has requested that the condition be modified to state: *“Amenities including a pool and pool house shall be constructed and open to use by residents of this development on or before the issuance of the 49th residential building permit. The Final Site Plan shall contain details as to the size and location of these amenities.”* The property is located on the north side of Zion Church Road (SCR. 382) and consists of 54.38 acres +/- . Tax Parcel: 533-12.00-21.00. Zoning: AR-1 (Agricultural Residential District).

2005-64 The Estuary

Request to Revise Conditions of Approval

On November 30th, 2022, the Planning & Zoning Department received a request to amend Condition “U” of the Conditions of Approval for The Estuary (2005-64) cluster subdivision which states, *“Any wells, water towers, or water tanks shall be located at least 300-feet from adjacent boundary lines. Any proposed water tower or tank shall be painted in a sky-neutral color, with no advertising or identifying logo or script, graphic features, or characteristics.”* The existing water main extension along Camp Barnes Road from Double Bridges Road and the previously proposed (now under construction) elevated storage tank along Roxana Road at Millville by the Sea will provide water supply and storage for the region and assist in maintaining pressure. In order to proactively plan for the impact that ongoing development in the area will have, GMB staff are actively working with Tidewater Utilities (TUI) to evaluate potential sites for future wells and storage facilities. A site has been identified along Double Bridges Road and as a viable option where significant uplands are available for these improvements. An accompanying Exhibit has been provided within the Commission’s packet this evening with hatching to show this location. In order to accommodate this request and comply with the Conditions of Approval, GMB are requesting that the language of Condition “U” be amended to state, *“Any wells, water towers or water tanks shall be located at least 50 feet from adjacent boundary lines”* instead of the 300 feet limitation as originally approved and stipulated within the Condition. The property is located on the south side of Double Bridges Road (S.C.R. 363) and is part of the existing Open Space within Subdivision Phases 1B, 1C and 1D. Tax Parcel: 134-19.00-103.00. Zoning: AR-1 (Agricultural Residential District).

Lands of Absher Farms, LLC

KH

Minor Subdivision off a 50-ft Easement

This is a Minor Subdivision Plan for the subdivision of a 34.046-acre parcel into three (3) lots and residual lands. Proposed Lot 5A consists of 6.219-acres +/-, Proposed Lots 5B and 5C both consist of 2.5641-acres +/-, and the residual lands would consist of 22.7744-acres +/- . The parcels would access off an ingress/egress access easement located on southeast side of River Road (S.C.R. 490A). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Zoning:

AR-1 (Agricultural Residential District). Tax Parcel: 132-6.00-67.04. Staff are in receipt of all agency approvals.

Lands of Brittany Baldwin & John Albright

KH

Minor Subdivision off a 20-ft Easement

This is a Minor Subdivision Plan for the subdivision of a 34.046-acre parcel into two (2) lots and residual lands. Proposed Lot 1 consists of 1.59-acres +/-, Proposed Lot 2 consists of 1.78-acres +/-, and the residual lands would consist of 3.00-acres +/- . The parcels would access off an ingress/egress access easement located on south side of Hollyville Road (S.C.R. 305). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Zoning: AR-1 (Agricultural Residential District). Tax Parcel: 234-27.00-101.00. Staff are awaiting agency approvals. Should the Commission desire to act favorably on this proposal, staff are requesting final approvals to be made subject to staff upon the receipt of all agency approvals.

Lands of Michele Reed

KS

Minor Subdivision off a 50-ft Easement

This is a Minor Subdivision Plan for the subdivision of a 10.56-acre parcel into two (2) lots and residual lands. Proposed Parcel A consists of 2.96 acres +/-, Proposed Lot B consists of 2.50 acres +/-, and Proposed Parcel C consists of 3.3 acres +/- . The property is located on the east and west side of Sloan Road (S.C.R. 49). Staff are awaiting a revised plan, which is to include delineation of the 50' buffer from the tidal wetlands on the west side of the property. Otherwise, the Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 234-17.00-31.03. Zoning: AR-1 (Agricultural Residential District). Staff have received all agency approvals and are requesting final approval by staff upon receipt of the revised plan.

Lands of M & M Properties

BM

Minor Subdivision off a 50-ft Easement

This is a Minor Subdivision Plan for the subdivision of a 10.64-acre parcel into three (3) lots including residual land. Proposed Parcel 1 consists of 0.75 acres +/-, Proposed Lot 2 consists of 0.75 acres +/- , and the residual land consists of 9.14 acres +/- . The property is located on the north side of Holts Landing Road (S.C.R. 346) and all lots shall have access through a combined access easement. Staff are awaiting a revised plan, which is to include a delineation of any wetlands located on the property. Otherwise, the Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 23134-7.00-135.00. Zoning: AR-1 (Agricultural Residential District). Staff have received all agency approvals and are requesting final approval by staff upon receipt of the revised plan.

Lands of John & Carol Holland

BM

Minor Subdivision off a 50-ft Easement

This is a Minor Subdivision Plan for the subdivision of a 12.15-acre parcel into two (2) lots including residual land. Proposed Lot 1 will consist of 2.79-acres +/- and the residual land will consist of 9.36-acres +/- . Proposed Lot 1 and the residual land shall have combined access from an existing ingress/egress access easement located on the northeast side of Phillips Branch Road (S.C.R. 302). Staff note that the Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 234-17.00-11.09. Zoning: AR-1 (Agricultural Residential District). Staff have received all agency approvals and are requesting final approval by staff.

Lands of Trew R2, LLC

KH

Minor Subdivision off a 60-ft Easement

This is a Minor Subdivision Plan for the subdivision of a 37.606-acre parcel into one (1) lot and residual lands. Proposed Lot 1 consists of 24.32-acres +/- and the residual lands would consist of 13.18-acres +/- . The parcels would access off an ingress/egress access easement located on south side of E. Newton Road (S.C.R. 584). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Zoning: AR-1 (Agricultural Residential District) and C-1 (General Commercial District). Tax Parcel: 131-6.00-7.01. Staff are in receipt of all agency approvals.



GEORGE, MILES & BUHR, LLC

■ ■ ■ ■

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ENGINEERS

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■ ■ ■ ■

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CHARLES M. O'DONNELL, III, P.E.
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JAMES C. HOAGESON, P.E.
STEPHEN L. MARSH, P.E.
DAVID A. VANDERBEEK, P.E.
ROLAND E. HOLLAND, P.E.
JASON M. LYTLE, P.E.
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MORGAN H. HELFRICH, AIA
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W. MARK GARDOCKY, P.E.
ANDREW J. LYONS, JR., P.E.

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W. BRICE FOXWELL, P.E.

JOHN E. BURNSWORTH, P.E.
VINCENT A. LUCIANI, P.E.
AUTUMN J. WILLIS
CHRISTOPHER J. PFEIFER, P.E.

November 9, 2022

Sussex County Planning
and Zoning Department
PO Box 589
Georgetown, DE 19947

Attn: Ms. Lauren DeVore
Planner III

Re: Freeman Foundation Office Parking Lot
GMB Project No. R150078

Dear Lauren:

Please accept this letter and accompanying documentation as a follow up to our meeting dated 10/21/22 concerning the referenced project.

To increase parking for stage events, the Arts Pavilion team is proposing to re-orient the parking spaces at the Freeman Foundation Office parking lot.

For your reference, I have attached a copy of the previously approved Freeman Foundation Office Site Plan, the original Phase 1B (Town Center) site plan, and the plan detailing the proposed revisions to the parking lot (full size Sheet C8.0A). The original parking layout was constructed with the original development of the Bayside Town Center in the mid-2000s, where the adjacent buildings along Americana Parkway were planned to be in a residential over retail configuration.

The proposed plan shows a reduction in impervious area, and essentially the same limits of pavement. The number of parking spaces increases from 88 to 116. There is no impact to the fire lane.

As discussed, we believe this change is minimal in scope and can be approved over the counter.

Thank you again for your time and consideration in this matter.

Sincerely,

Stephen L. Marsh, P.E.
Sr. Vice President/East Region Director of Operations

Enclosures:

- One (1) copy of the Approved Freeman Foundation Office Site Plan
- One (1) copy of the Proposed Town Center (Lot 5) Revised Parking Lot Site Plan

December 22, 2022

Ring W. Lardner, P.E.
W. Zachary Crouch, P.E.
Michael E. Wheedleton, AIA, LEED GA
Jason P. Loar, P.E.
Jamie L. Sechler, P.E.
Michael R. Wigley, AIA, LEED AP

Sussex County Administrative Building
Planning and Zoning Department
2 The Circle
P.O. Box 589
Georgetown, Delaware 19947

Attn: Mx. Jesse Lindenberg, Planner I
Chairman

RE: **Red Mill Pointe Office (S-22-32)**
Parking Setback and Parking Reduction Waiver
Tax Map # 334-1.00-5.00
DBF #:4114A001

Dear Mx Lindenberg:

On behalf of our client, Red Mill Pointe, LLC, we are requesting two waivers. One waiver for parking be allowed in the front-yard setback and another for parking a reduction in the number of spaces required. According to the Zoning Code (§115-166(C)), "Parking within front yard setback shall be discouraged and subject to site plan review." and Zoning Code (§115-162(A)), Office buildings require 1 space per 200 sq.ft. of floor area exclusive of basement, if not used for office or customer purposes.

Project Summary

Red Mill Pointe, located on Coastal Highway (SR 1), is a proposed two-story office building. The current site consists of a vacant single-family home and outbuildings. The project proposes a 7,000 sq. ft. two-story office building with 800 sq. ft. of storage space, associated parking, right-in right-out entrance onto SR 1, underground stormwater management, and an onsite septic system. This parcel lies within the Combined Highway Corridor Overlay Zone (CHCOZ).

Front-yard Setback

The front yard setback for CR-1 in a CHCOZ is 60 feet from the right-of-way line. The Zoning Code (§115-166(C)) discourages but does not prohibit parking within the front yard setback and only requires site plan review when parking is proposed in the front yard setback. The removal of parking spaces within the front setback would result in a loss of ten (10) parking spaces.

Existing Parking

Along Coastal Highway starting at Tyndall's Furniture and moving north, there are multiple instances of businesses that have parking within the 60' setback line. The recently approved and

under construction shooting range between Tyndall's and the Lighthouse of Lewes has 27 parking spaces within the front yard setback.

Proposed Parking

The 800 sq. ft. of storage space that will be counted as floor area and required to be included in the parking calculations per Zoning Code (§115-4(B), §115-162(A)) brings the total required parking spaces to 35. Thirty-one (31) parking spaces are provided, and there is no extra space on the site to add more parking spaces. Therefore, we request a waiver for the reduction in the amount of required parking spaces to 31.

DelDOT Minos Conway Project

The above project proposes to add a service road on the south side of Route 1 from Greystone Drive to a roundabout at New Road. The proposed right-in, right-out access to Route 1 will be removed at that time and access will be solely through the adjacent parking lot.

Conclusion

For all the reasons listed above, we respectfully request that parking be allowed within the front setback line as it is in context with nearby businesses and would not negatively affect adjacent properties. Also, we request that the number of parking space required be reduced to 31 because 800 sq. ft. of the building is to be used as storage only and the limited area on the site.

If you have any questions or require additional information, please do not hesitate to contact me at (302) 424-1441 or via email at jls@dbfinc.com.

Sincerely,
DAVIS, BOWEN & FRIEDEL, INC.



Jamie L. Sechler, P.E.
Principal

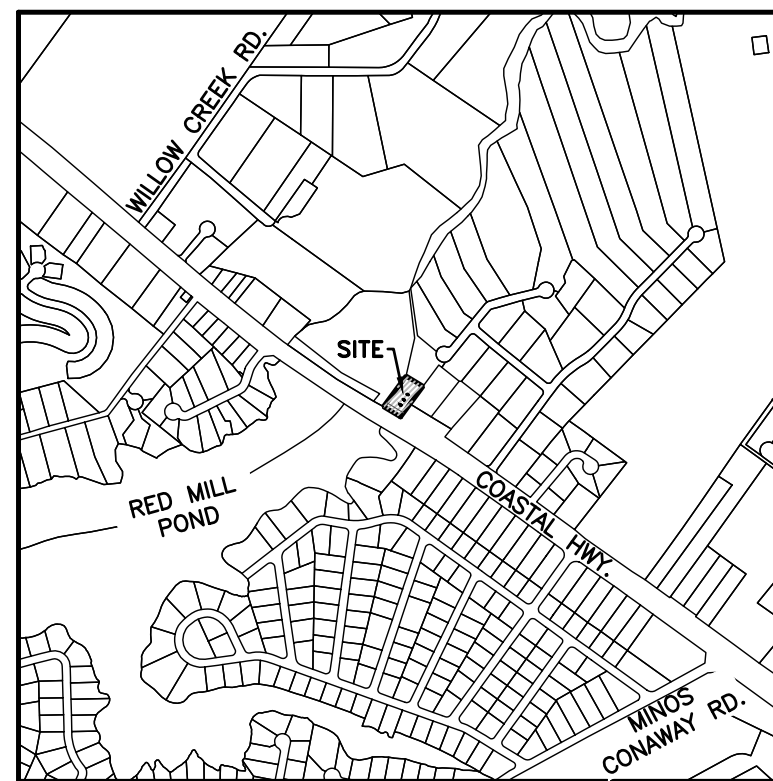
RED MILL POINTE OFFICE

LEWES AND REHOBOTH HUNDRED SUSSEX COUNTY, DELAWARE DBF # 4114A001 RECORD PLANS AUGUST, 2022

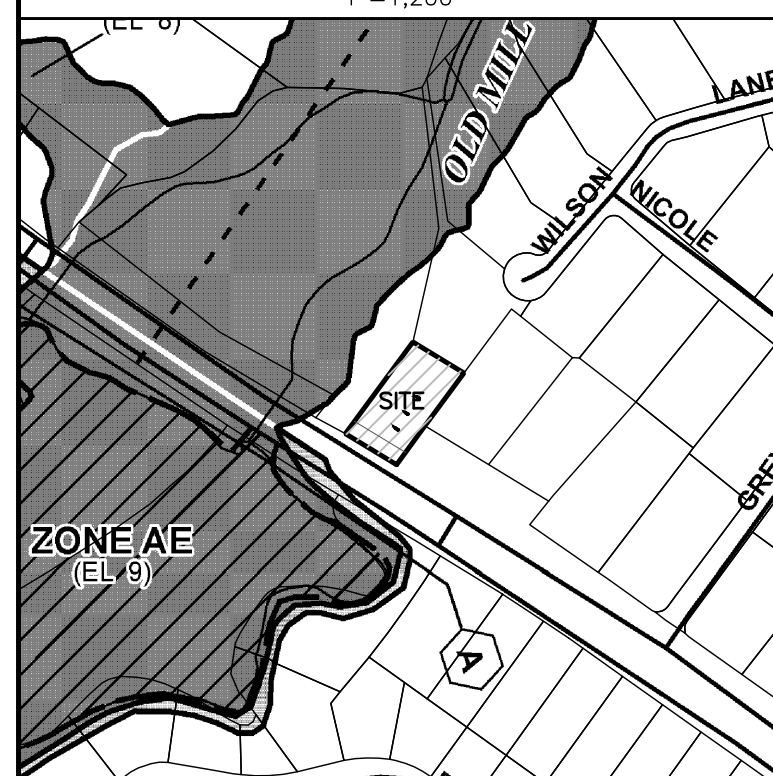
DELDOT RECORD PLAN NOTES:

REVISED: 03-21-2019

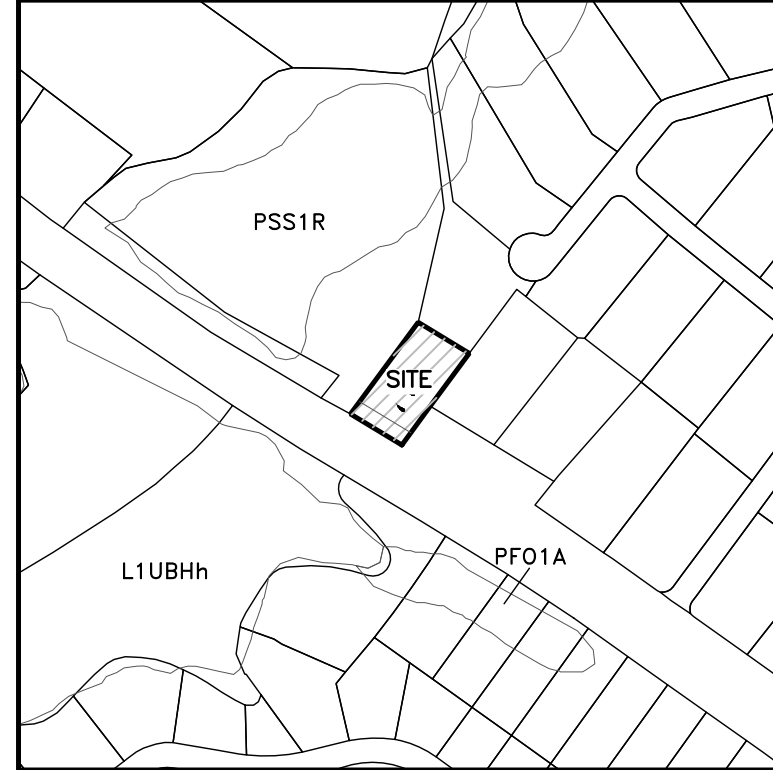
- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- PRIVATE STREETS CONSTRUCTED WITHIN THIS SITE SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SITE OR BOTH (TITLE 17 §131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SIDEWALK.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
- A PERPETUAL CROSS ACCESS/EGRESS EASEMENT IS HEREBY ESTABLISHED AS SHOWN ON THIS PLAN.
- THE SITE ACCESS WILL BE TEMPORARY UNTIL SUCH TIME DELDOT REMOVES IT AS PART OF THE GRADE-SEPARATE INTERSECTION (GSI) PROJECT THAT WILL PROVIDE ACCESS VIA A TWO-WAY SERVICE ROAD, WHICH WILL CONNECT TO THE EXISTING NASSAU ROAD.
- CONSTRUCTION FOR THIS PROJECT WILL BE DONE IN ONE PHASE.
- SITE LIGHTING MUST BE SHIELDED AND DOWNWARD SCREENED.



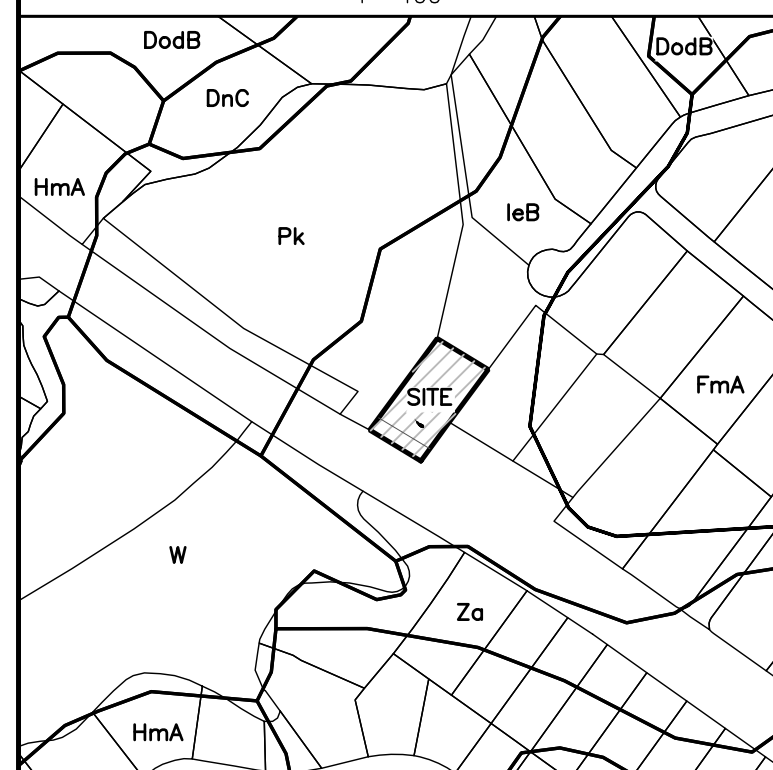
LOCATION MAP
1"=1,200'



FEMA FLOOD MAP
PANEL#10005C0189K (MARCH 16, 2015) 1"=400'



NWI WETLANDS
1"=400'



SOILS MAP
1"=400'

LABEL	MAP UNIT NAME
DnC	Downer loamy sand, 5 to 10% slopes, Northern Tidewater Area
DdB	Downer sandy loam, 2 to 5% slopes
FmA	Fort Mott loamy sand, 0 to 2% slopes
HmA	Hammonon loamy sand, 0 to 2% slopes
IeB	Ingleside loamy sand, 2 to 5% slopes
Pk	Puckum muck, frequently flooded
W	Water
Za	Zekiah sandy loam, frequently flooded

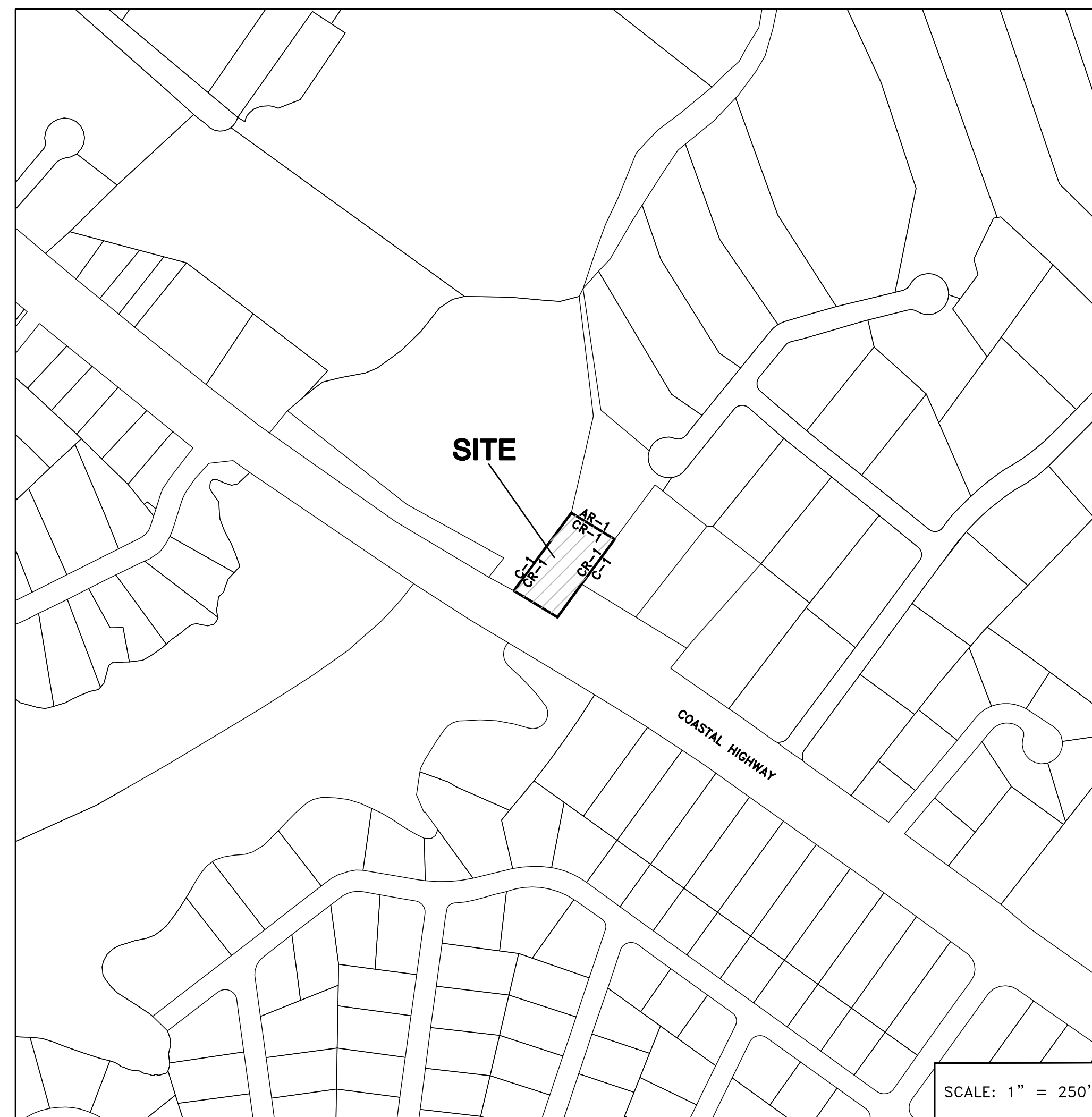
DATA COLUMN

TAX MAP NUMBER: 334-1.00-5.00
 DEED REFERENCE: DB 4263 PG 60
 DATUM: NAVD 88
 VERTICAL: NAD 83 (DE STATE PLANE)
 HORIZONTAL:
 ZONING: CR-1 (COMMERCIAL RESIDENTIAL)
 LAND USE: SINGLE FAMILY RESIDENTIAL
 EXISTING USE: OFFICES
 PROPOSED USE:
 SETBACKS - COMBINED HIGHWAY CORRIDOR OVERLAY ZONE:
 FRONT: 60 FEET
 REAR: 5 FEET
 SIDE: 5 FEET
 LANDSCAPING BUFFER: 20 FEET
 MAXIMUM BUILDING HEIGHT: 42 FEET
 PROPOSED BUILDING HEIGHT: 42 FEET
 TOTAL SITE AREA: 0.672 AC.±
 NET DEVELOPMENT AREA: 0.672 AC.±
 LOCAL LAND USE AGENCY: SUSSEX COUNTY
 FUTURE LAND USE: COASTAL
 BUILDING DATA:
 PROPOSED BUILDING: 2 STORY OFFICE BUILDING (100'X35')
 7,000± S.F. TOTAL SPACE
 6,200 S.F. OFFICE SPACE
 800 S.F. STORAGE SPACE
 BUILDING MATERIALS: WOOD/BLOCK CONSTRUCTION
 PARKING DATA:
 OFFICE: 1 PER 200 SQUARE FEET OF FLOOR AREA, EXCLUSIVE OF BASEMENT, IF NOT USED FOR OFFICE OR CUSTOMER SERVICE PURPOSES
 PARKING SPACES REQUIRED: 7,000 SQ. FT. OF USEABLE FLOOR SPACE, 800 SQ. FT. OF STORAGE/MISC.
 7,000/200 SQ. FT. = 35 SPACES NEEDED
 PARKING SPACES PROVIDED: 31
 HANDICAP SPACES PROVIDED: 2 WITH 2 VAN SPACES
 UTILITIES:
 SEWER PROVIDER: PRIVATE (ON SITE SEPTIC)
 WATER PROVIDER: TIDEWATER
 WETLANDS: THE PROPERTY IS NOT IMPACTED BY STATE (TIDAL) OR "404" FEDERAL (NON-TIDAL) WETLANDS.
 FLOOD MAP: ACCORDING TO THE FEDERAL MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NO. 10005C0189K, EFFECTIVE DAY MARCH 16, 2015, THIS SITE FALLS WITHIN ZONE X UNSHADED, WHICH HAS BEEN DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
 INVESTMENT LEVEL: LEVEL 3
 THE SITE IS NOT LOCATED IN A TRANSPORTATION IMPROVEMENT DISTRICT.
 THE SITE IS LOCATED IN AN AREA OF FAIR GROUNDWATER RECHARGE.
 THE SITE IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA.
 COASTAL HIGHWAY POSTED SPEED LIMIT: 55 M.P.H.
 OWNER/DEVELOPER: RED MILL POINTE, LLC
 GEORGE DAHR
 31269 DEER RUN
 LEWES, DE 19958
 302-845-3300
 GEORGE DAHR1@GMAIL.COM
 PREPARED BY: DAVIS, BOWEN, AND FRIEDEL, INC.
 JAMIE L. SECHLER, P.E.
 1 PARK AVENUE
 MILFORD, DE 19971
 302-424-1441
 JLS@DBFINC.COM

LEGEND

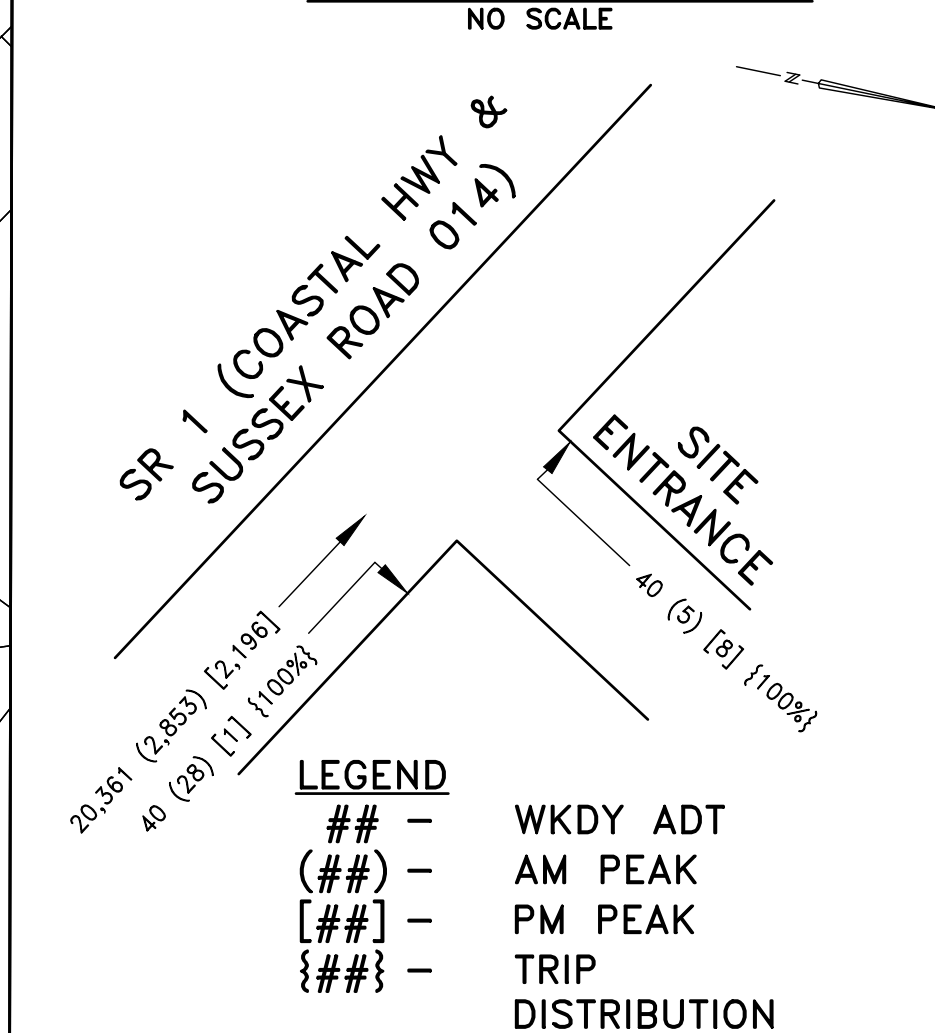
- PROPERTY BOUNDARY LINE
- RW --- PROPOSED RIGHT-OF-WAY LINE
- PROPOSED BUILDING SETBACK LINE
- PE --- PROPOSED EASEMENT LINE
- ++ --- EXISTING EASEMENT LINE
- E --- EXISTING PROPERTY LINE
- EX-RW --- EXISTING RIGHT-OF-WAY LINE

- IRCS IRON ROD WITH CAP TO BE SET
- IPCF IRON PIPE WITH CAP FOUND
- ⊕ IRF IRON ROD FOUND
- POINT



RECORD PLAN - SITE PLAN V-102

TRAFFIC DIAGRAM



ROAD TRAFFIC DATA - DELAWARE ROUTE 1 (COASTAL HIGHWAY & SUSSEX COUNTY ROAD 014)

FUNCTIONAL CLASSIFICATION - OTHER PRINCIPAL ARTERIAL	
POSTED SPEED LIMIT = 55	
AADT (2021 DELAWARE VEHICLE VOLUME SUMMARY)	= 35,104
10 YR PROJECTED AADT = 1.16 X 35,104	= 40,721
TRAFFIC PATTERN GROUP	8
K-FACTOR = 12.40%; D-FACTOR = 56.50%; TRUCK % = 7.10%	
(FROM 2021 DELAWARE VEHICLE VOLUME SUMMARY)	

SITE TRAFFIC DATA

TYPE OF DEV.	ITE	CODE	SQ. FT.	WKDY	AM	PM	ADT
OFFICE	720	7,000	33	9	80		

NOTES:
 SOURCE: ITE TRIP GENERATION MANUAL 11TH EDITION.
 DESIGN VEHICLE: SU-30.
 ONE ENTRANCE - RESTRICTED, RIGHTS-IN/RIGHTS-OUT ONLY
 PEAK HOUR HV% OF PROPOSED SITE = 5%

SITE ACCESS DESIGN VOLUMES

10 YR PROJECTED AADT (40,721) + SITE ADT N OF SITE (80)	= 40,801
10 YR PROJECTED AADT (40,721) + SITE ADT S OF SITE (80)	= 40,801
ROADWAY PEAK HOUR = 10 YR PROJECTED AADT (40,721) X 12.40%	= 5,049
D-FACTOR = 56.50% (FROM 2019 DELAWARE VEHICLE VOLUME SUMMARY)	
DIRECTIONAL SPLIT = 56.50% / 43.50%	= 2,853 / 2,196
SR 1 DESIGN AADT (HIGHEST LEG PER HIGHWAY SAFETY MANUAL PAGE 10-6)	= 40,801
RIGHT-TURN ADT	= 40
LEFT-TURN PEAK HOUR VOLUME (AM)	= N/A
OPPOSING PEAK HOUR VOLUMES (AM)	= N/A

ENGINEER'S STATEMENT

I, JAMIE L. SECHLER, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

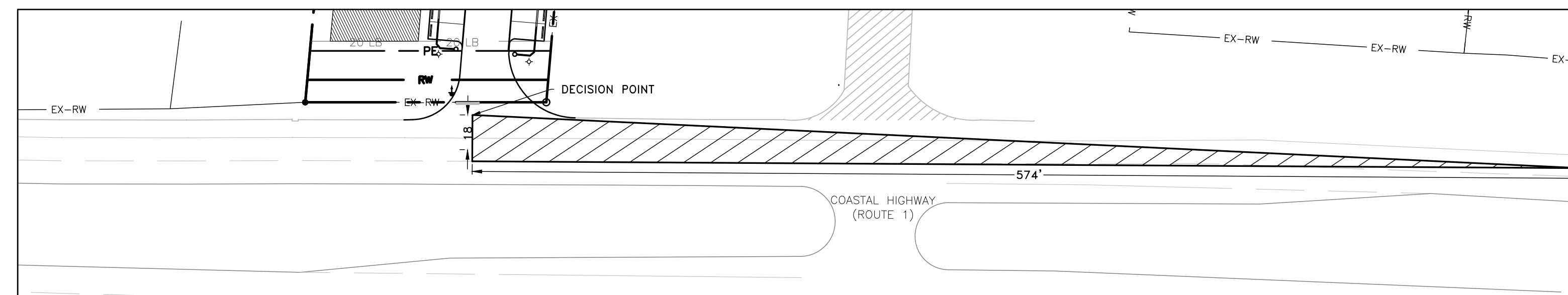
DAVIS, BOWEN & FRIEDEL, INC.
 by JAMIE L. SECHLER, P.E. 10/27/2022 DATE

OWNER'S STATEMENT

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE BY MY DIRECTION AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

RED MILL POINTE, LLC
 GEORGE DAHR
 31269 DEER RUN
 LEWES, DE 19958 10/27/2022 DATE

COASTAL HIGHWAY (SCR 014) SIGHT DISTANCE TRIANGLE

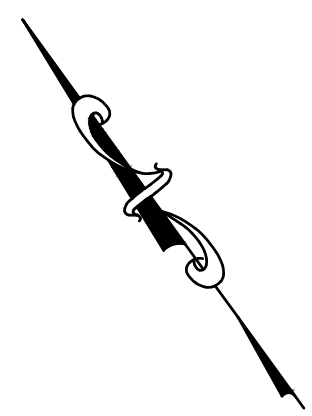


SCALE: 1" = 50'

dbf DAVIS, BOWEN & FRIEDEL, INC.
 ARCHITECTS, ENGINEERS & SURVEYORS

SALISBURY, MARYLAND (410) 543-9091
 MILFORD, DELAWARE (302) 424-1441
 EASTON, MARYLAND (410) 770-4744

V-101

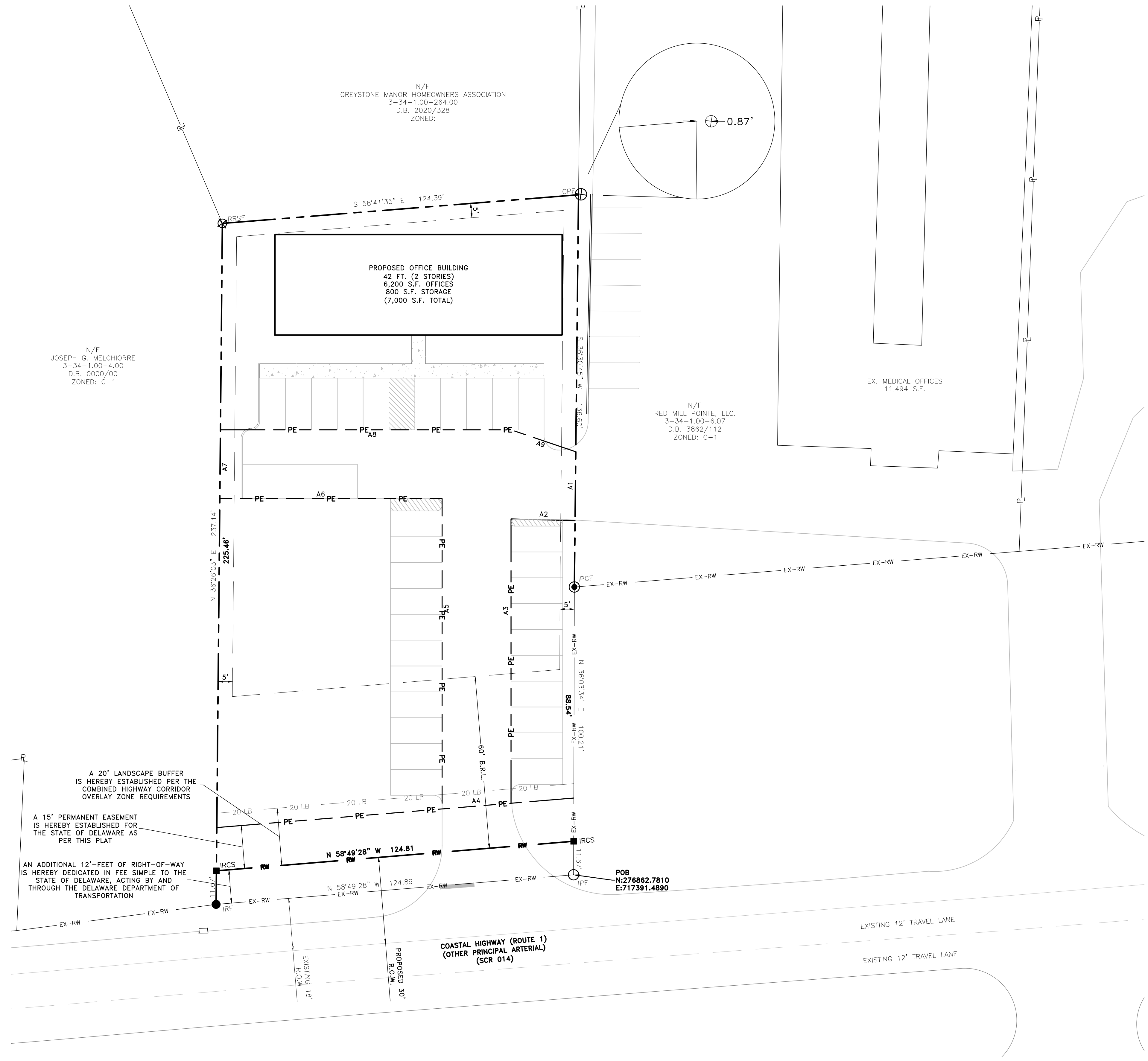


LEGEND

- IPCF IRON PIPE WITH CAP FOUND
- IPF IRON PIPE FOUND
- IRF IRON ROD FOUND
- ⊕ RRSF RAILROAD SPIKE FOUND
- ⊗ CPF CEDAR POST FOUND
- IRCS IRON ROD WITH CAP TO BE SET

**CROSS ACCESS
EASEMENT LINE TABLE**

LINE	BEARING	DISTANCE
A1	S 35°54'24" W	24.01'
A2	N 52°29'00" W	22.55'
A3	S 35°54'24" W	99.00'
A4	N 58°49'28" W	24.08'
A5	S 35°54'24" E	125.67'
A6	N 54°05'36" W	77.39'
A7	N 36°25'03" E	24.00'
A8	S 54°09'36" E	1101.17'
A9	S 35°20'47" E	23.51'



A 20' LANDSCAPE BUFFER IS HEREBY ESTABLISHED PER THE COMBINED HIGHWAY CORRIDOR OVERLAY ZONE REQUIREMENTS

A 15' PERMANENT EASEMENT IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT

AN ADDITIONAL 12'-FEET OF RIGHT-OF-WAY IS HEREBY DEDICATED IN FEE SIMPLE TO THE STATE OF DELAWARE, ACTING BY AND THROUGH THE DELAWARE DEPARTMENT OF TRANSPORTATION

COASTAL HIGHWAY (ROUTE 1)
(OTHER PRINCIPAL ARTERIAL)
(SCR 014)



P:\Dah\RED MILL POINTE\DESIGN\4114A001 - RECORD PLAN.dwg, Dec 21, 2022, 2:35pm, M:ASB

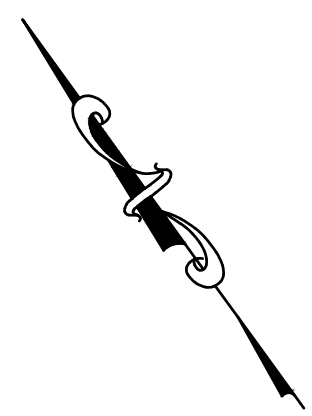
DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS

1000 W. MARKET STREET
MILFORD, DELAWARE 19967
TEL: (302) 424-1441
FAX: (302) 424-1441
E: info@dbf.com

**RED MILL POINTE
LEWES AND REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE**

Revisions:

Date:	AUGUST, 2022
Scale:	1" = 20'
Dwn. By:	TCB
Proj. No.:	4114A001
Dwg. No.:	V-102



LEGEND

---	PROPERTY BOUNDARY LINE
- - -	EXISTING PROPERTY LINE
EX-RW	EXISTING RIGHT-OF-WAY LINE
W	EXISTING WATER LINE
OH-E	EXISTING OVERHEAD ELECTRIC LINE

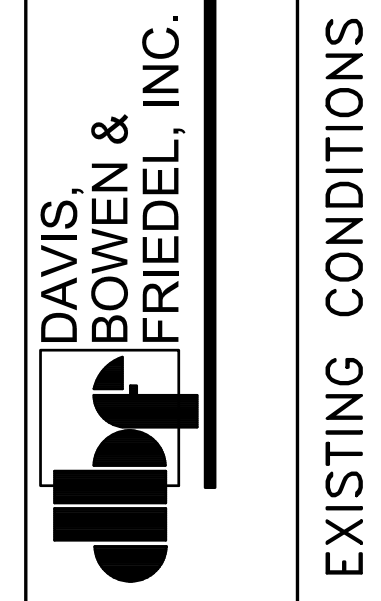
SURVEY LEGEND

●	IPCF	IRON PIPE WITH CAP FOUND
○	IPF	IRON PIPE FOUND
●	IRF	IRON ROD FOUND
⊕	RRSF	RAILROAD SPIKE FOUND
⊗	CPF	CEDAR POST FOUND



P:\Dah\RED MILL POINTE\DESIGN\4114A001 - EXISTING CONDITIONS.dwg, Dec 19, 2022, 1:42pm, MASB

ARCHITECTS ENGINEERS SURVEYORS
 DAVIS, BOWEN & FRIEDEL, INC.
 1000 MARKET STREET
 MILFORD, DELAWARE 19967
 (302) 424-1441
 (410) 770-4744



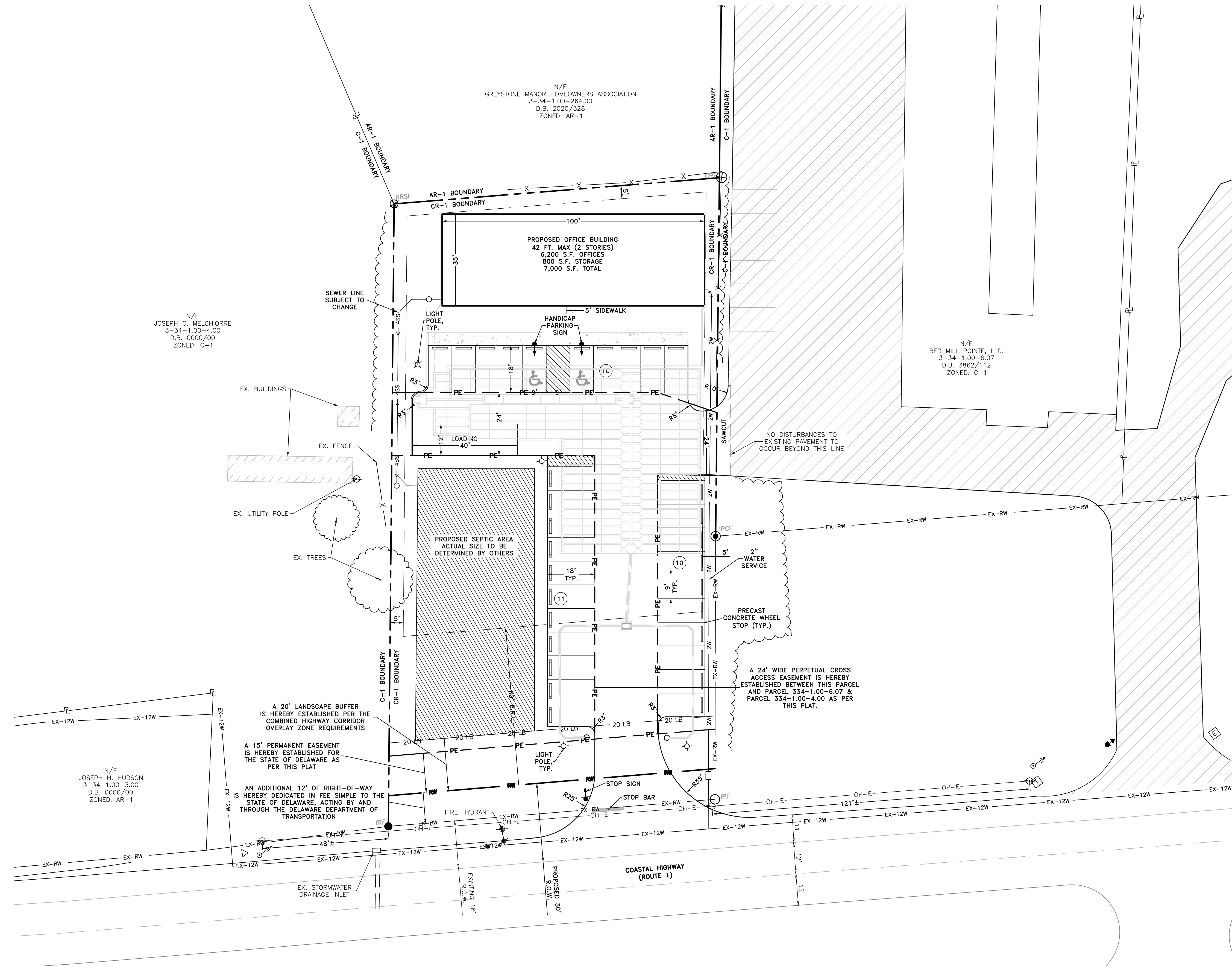
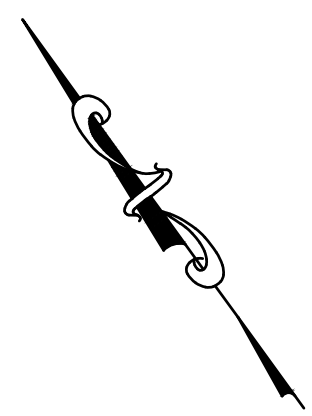
EXISTING CONDITIONS

**RED MILL POINTE
 LEWES AND REHOBOTH HUNDRED
 SUSSEX COUNTY, DELAWARE**

Revisions:

Date: **AUGUST, 2022**
 Scale: **1" = 20'**
 Dwn.By: **TCB**
 Proj.No.: **4114A001**
 Dwg.No.:

C-101



N/F
JOSEPH G. MELCHIORRE
3-34-1.00-4.00
D.B. 0000/00
ZONED: C-1

N/F
GREYSTONE MANOR HOMEOWNERS ASSOCIATION
3-34-1.00-264.00
D.B. 2020/328
ZONED: AR-1

N/F
RED MILL POINTE, LLC.
3-34-1.00-6.07
D.B. 3862/112
ZONED: C-1

N/F
JOSEPH H. HUDSON
3-34-1.00-3.00
D.B. 0000/00
ZONED: AR-1

A 20' LANDSCAPE BUFFER
IS HEREBY ESTABLISHED PER THE
COMBINED HIGHWAY CORRIDOR
OVERLAY ZONE REQUIREMENTS

A 15' PERMANENT EASEMENT
IS HEREBY ESTABLISHED FOR
THE STATE OF DELAWARE AS
PER THIS PLAT

AN ADDITIONAL 12' OF RIGHT-OF-WAY
IS HEREBY DEDICATED IN FEE SIMPLE TO THE
STATE OF DELAWARE, ACTING BY AND
THROUGH THE DELAWARE DEPARTMENT OF
TRANSPORTATION

A 24' WIDE PERPETUAL CROSS
ACCESS EASEMENT IS HEREBY
ESTABLISHED BETWEEN THIS PARCEL
AND PARCEL 334-1.00-6.07 &
PARCEL 334-1.00-4.00 AS PER
THIS PLAT.



P:\Dah\RED MILL POINTE\DESIGN\414A001 - SITE PLAN.dwg Dec 21, 2022 - 2:13pm MARS

THIS DRAWING, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO DAVIS, BOWEN & FRIEDEL, INC., AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION. COPYRIGHT ©2022

DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
CALDWELL, MARYLAND (410) 653-9900
MILFORD, DELAWARE (302) 422-1441
EASTON, MARYLAND (410) 770-4744

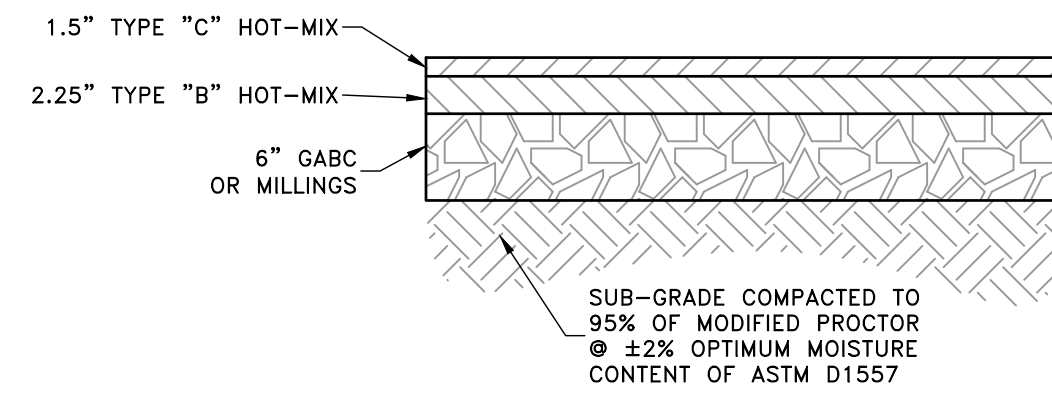
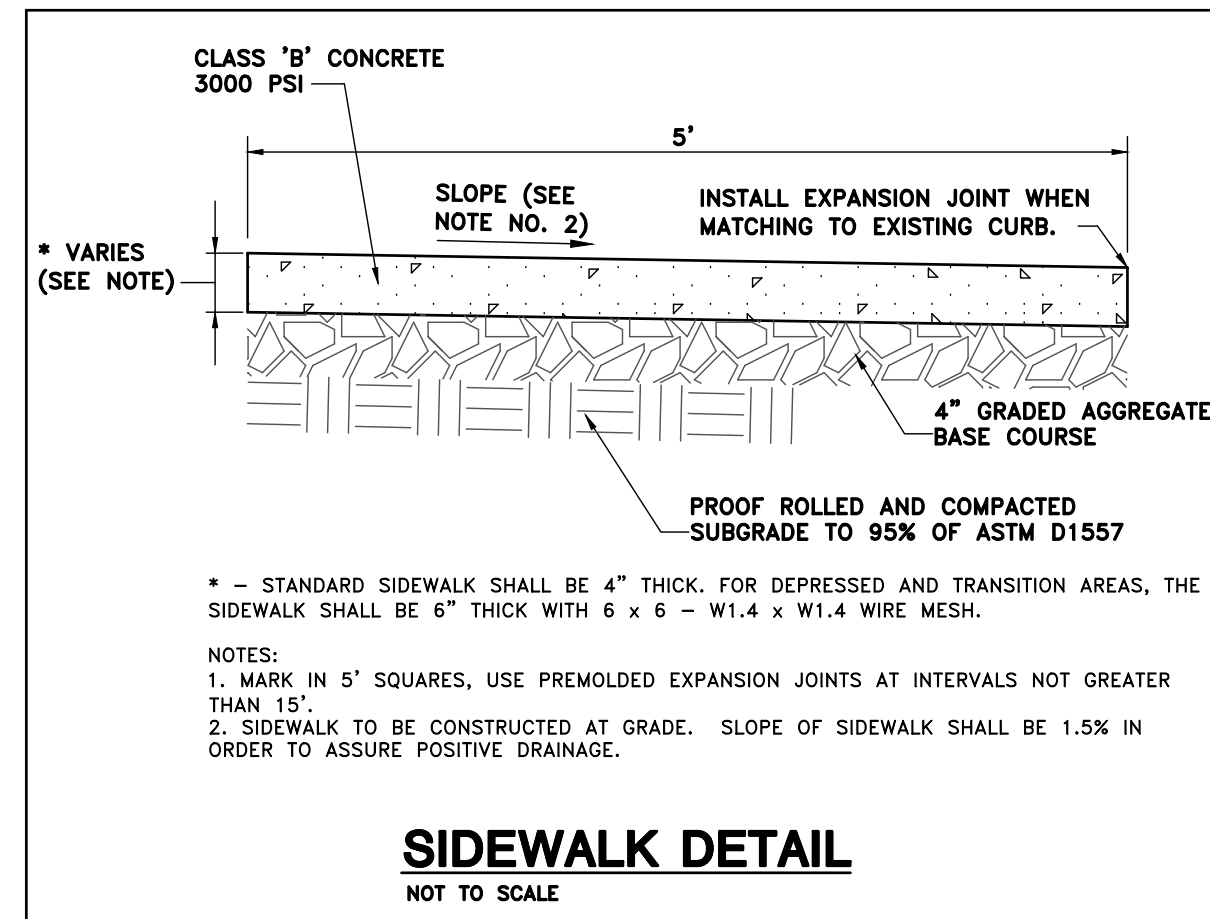
**RED MILL POINTE
LEWES AND REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE**

Revisions:

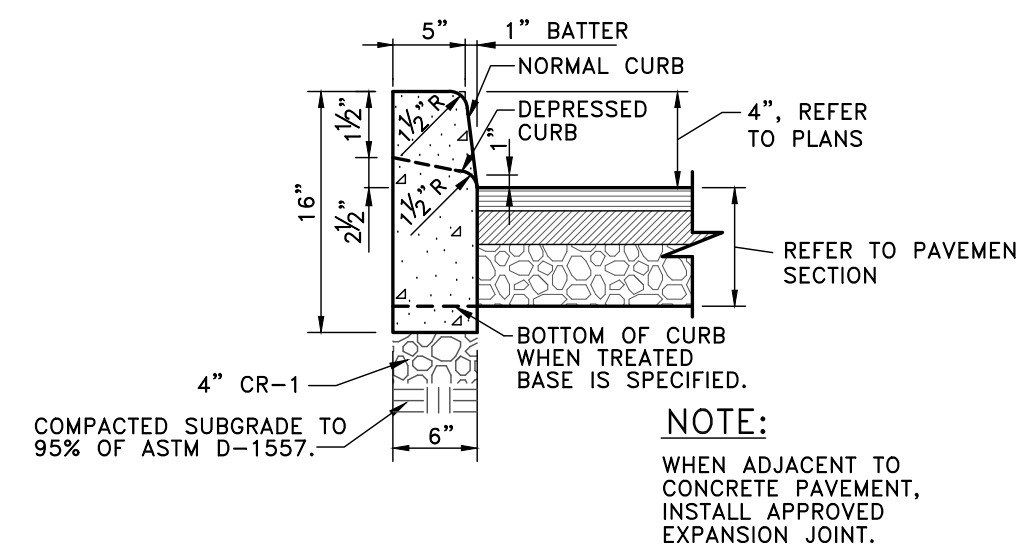
Date: **AUGUST, 2022**
Scale: **1" = 20'**
Dwn.By: **TCB**
Proj.No.: **4114A001**
Dwg.No.: **C-102**

SITE PLAN

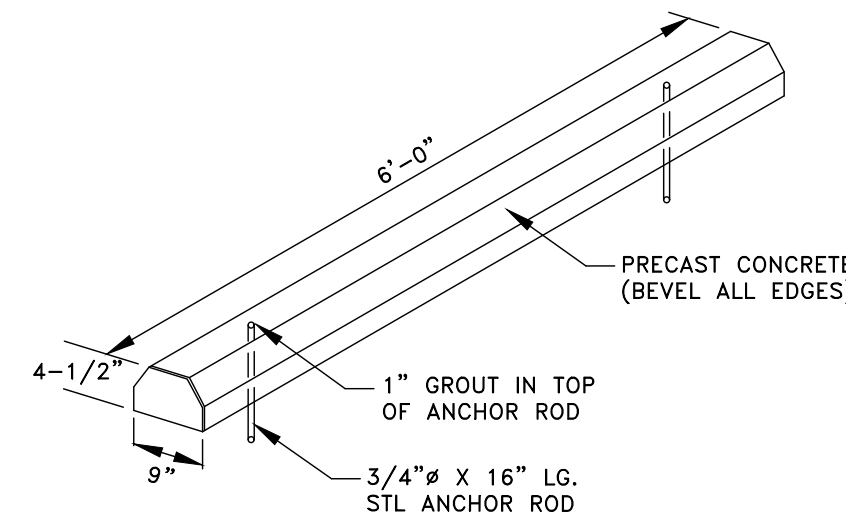
DETAIL INFORMATION TABLE						
ITEM	LOCATION OF DETAIL	YEAR	SECTION	NAME	DESCRIPTION	SHEET NUMBER(S)
BREAKAWAY POST	DelDOT - STANDARD CONSTRUCTION DETAILS	2013	SECTION VIII - TRAFFIC	BREAKAWAY SIGN POST AND PIN ASSEMBLY DETAILS	BREAKAWAY SIGN POST AND PIN ASSEMBLY DETAILS	T-15 (2013)
SIGN(S)	DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES - DE MUTCD	2011	PART 2, CHAPTER 2B	STOP SIGN	STOP SIGN (R1-1), 30"x30"	2B-2, 2B-9 & 2B-10



PARKING LOT PAVEMENT SECTION
NOT TO SCALE

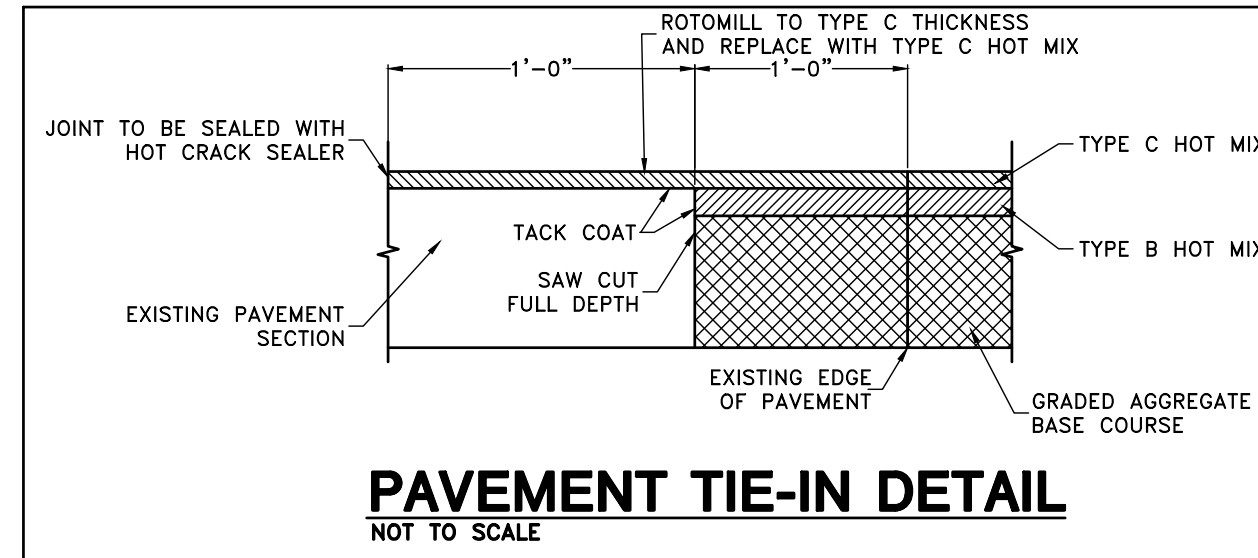


P.C.C. CURB, TYPE 1-4 DETAIL, MODIFIED
NOT TO SCALE

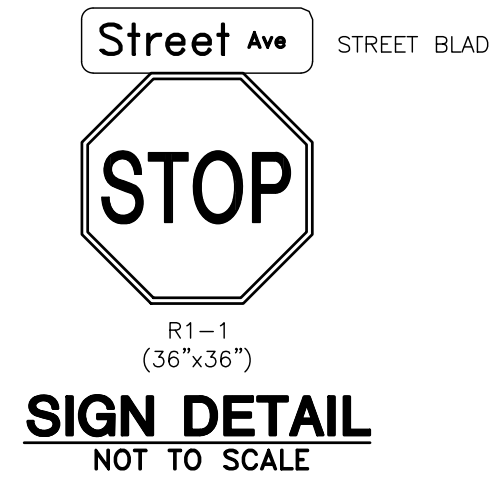


PRECAST CONCRETE WHEEL STOP
NOT TO SCALE

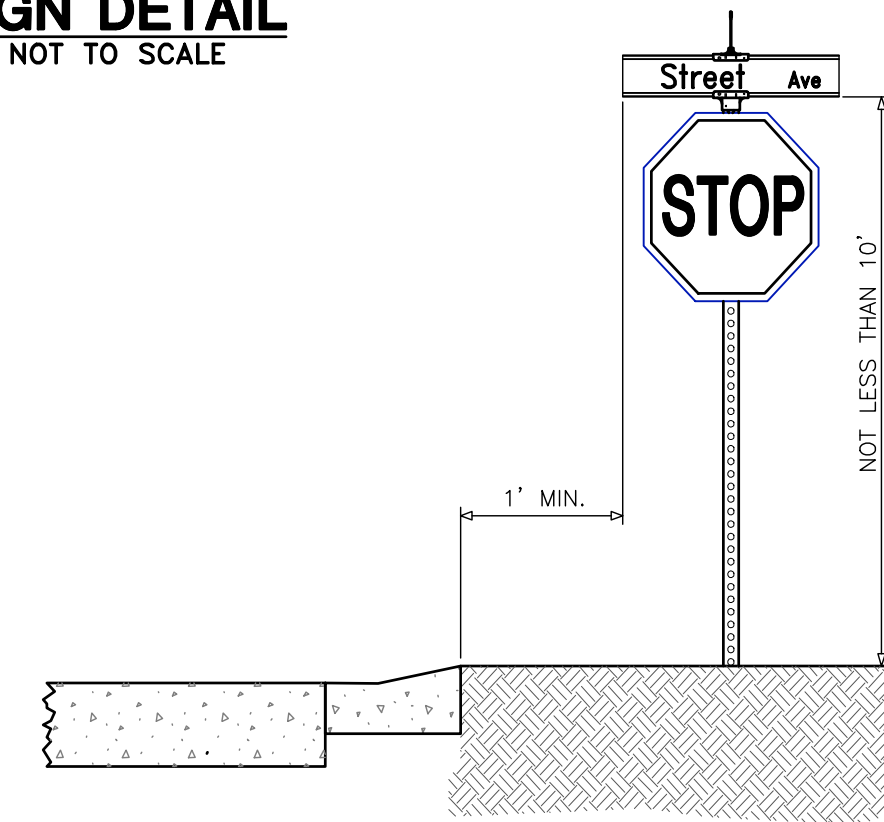
NOTE: PRECAST CONCRETE WHEEL STOPS TO BE PLACED WHERE PARKING SPOTS ARE IN FRONT OF SIDEWALK OR BUILDINGS.



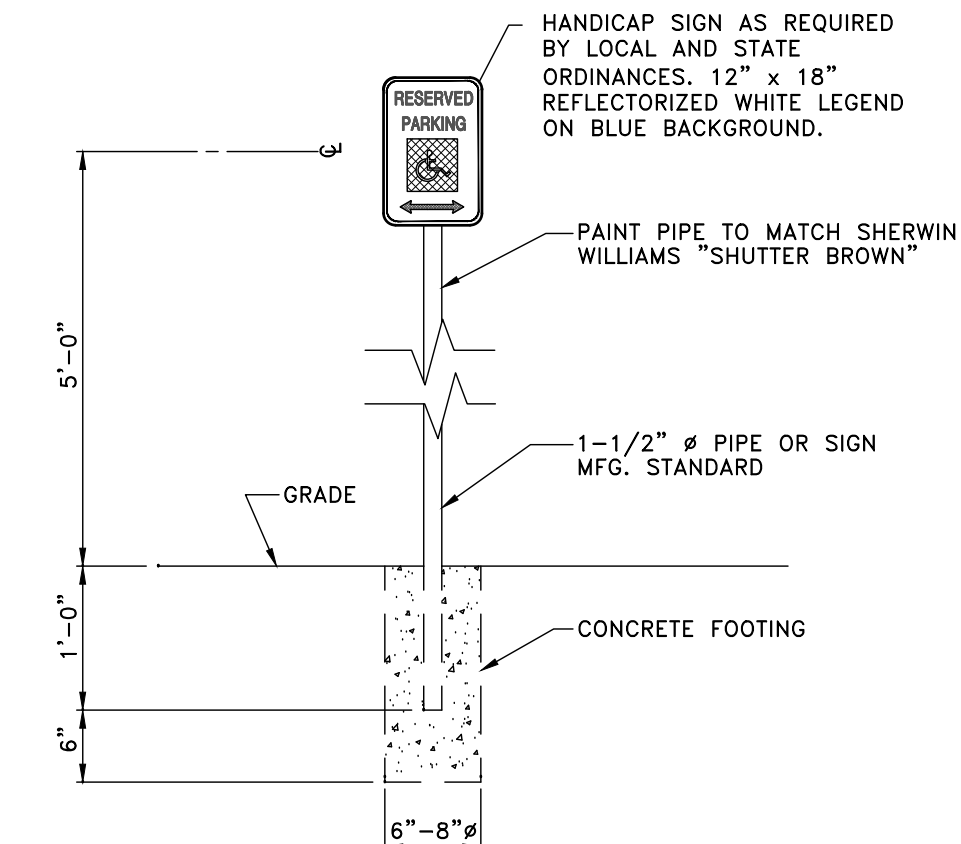
PAVEMENT TIE-IN DETAIL
NOT TO SCALE



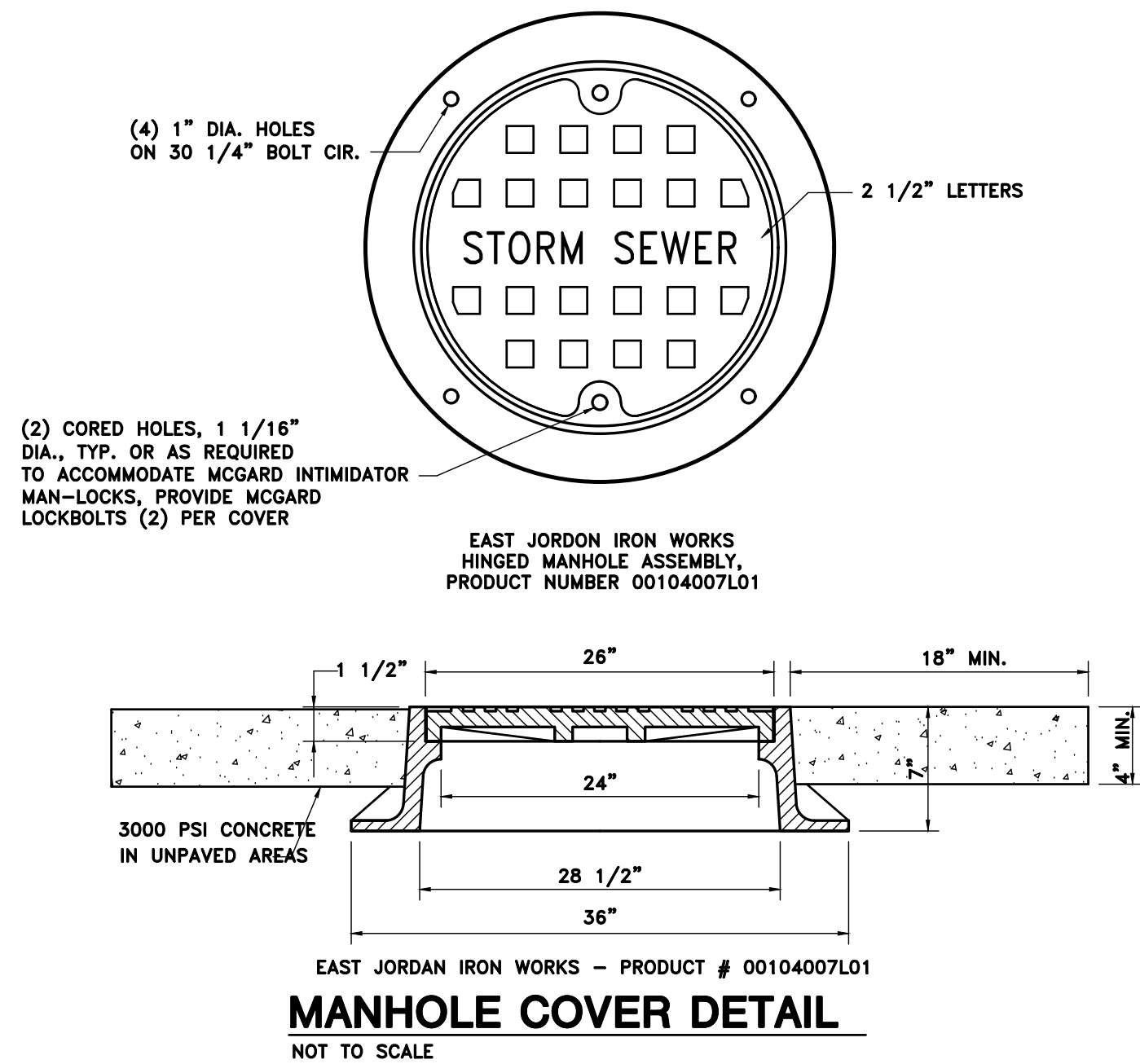
SIGN DETAIL
NOT TO SCALE



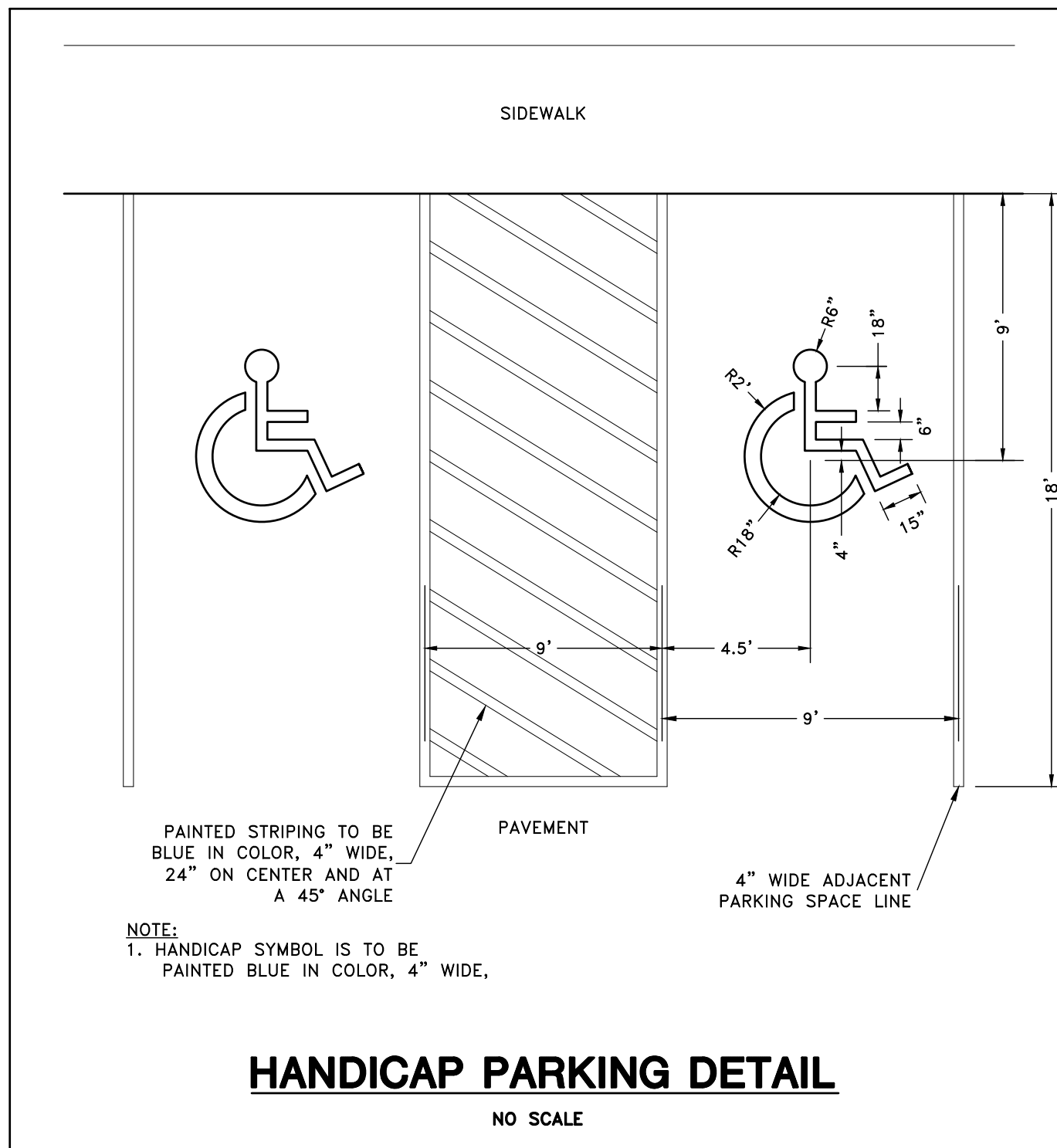
TYPICAL SIGN INSTALLATION
NOT TO SCALE



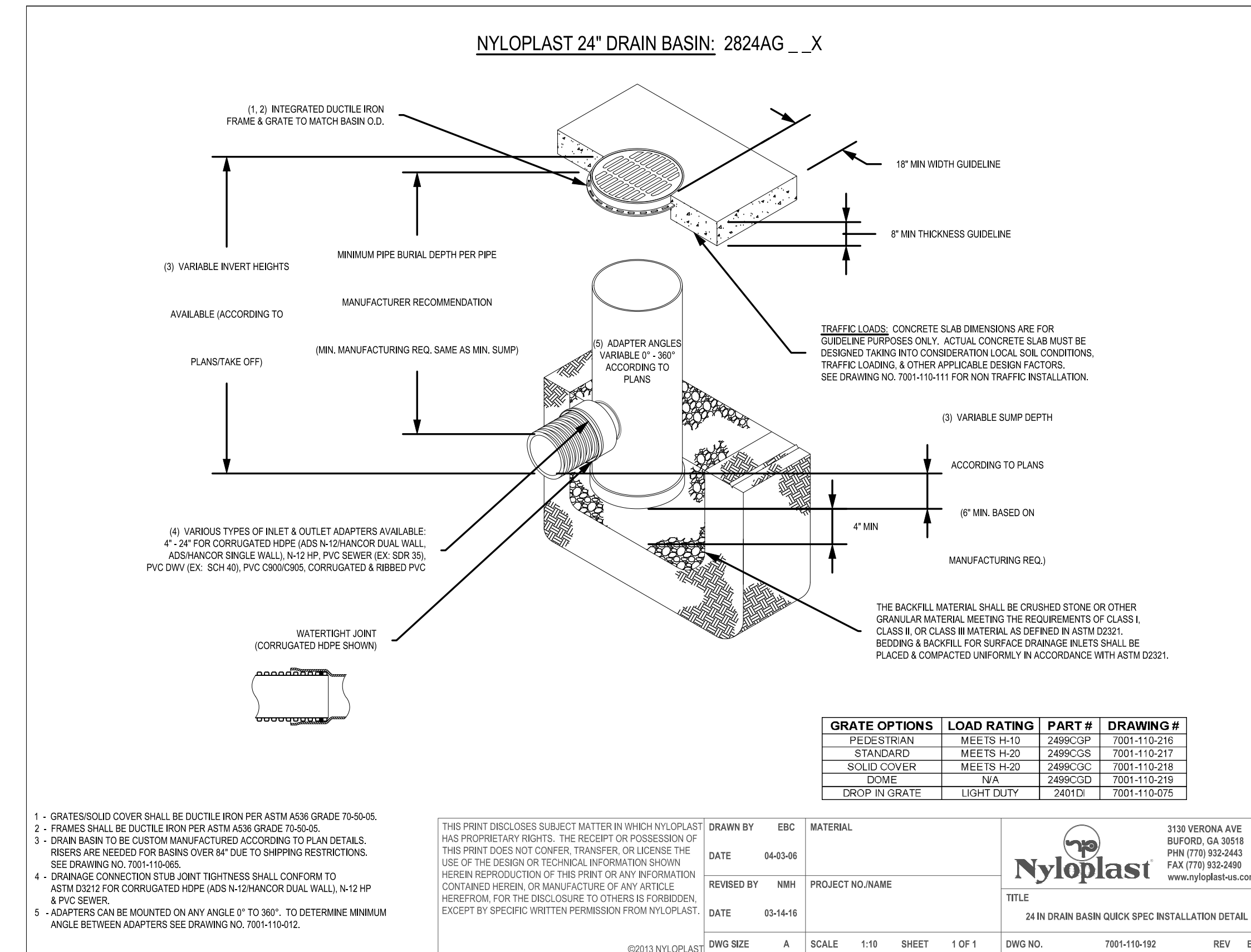
SIGNAGE FOR HANDICAPPED PARKING SPACE
NOT TO SCALE



MANHOLE COVER DETAIL
NOT TO SCALE



HANDICAP PARKING DETAIL
NO SCALE



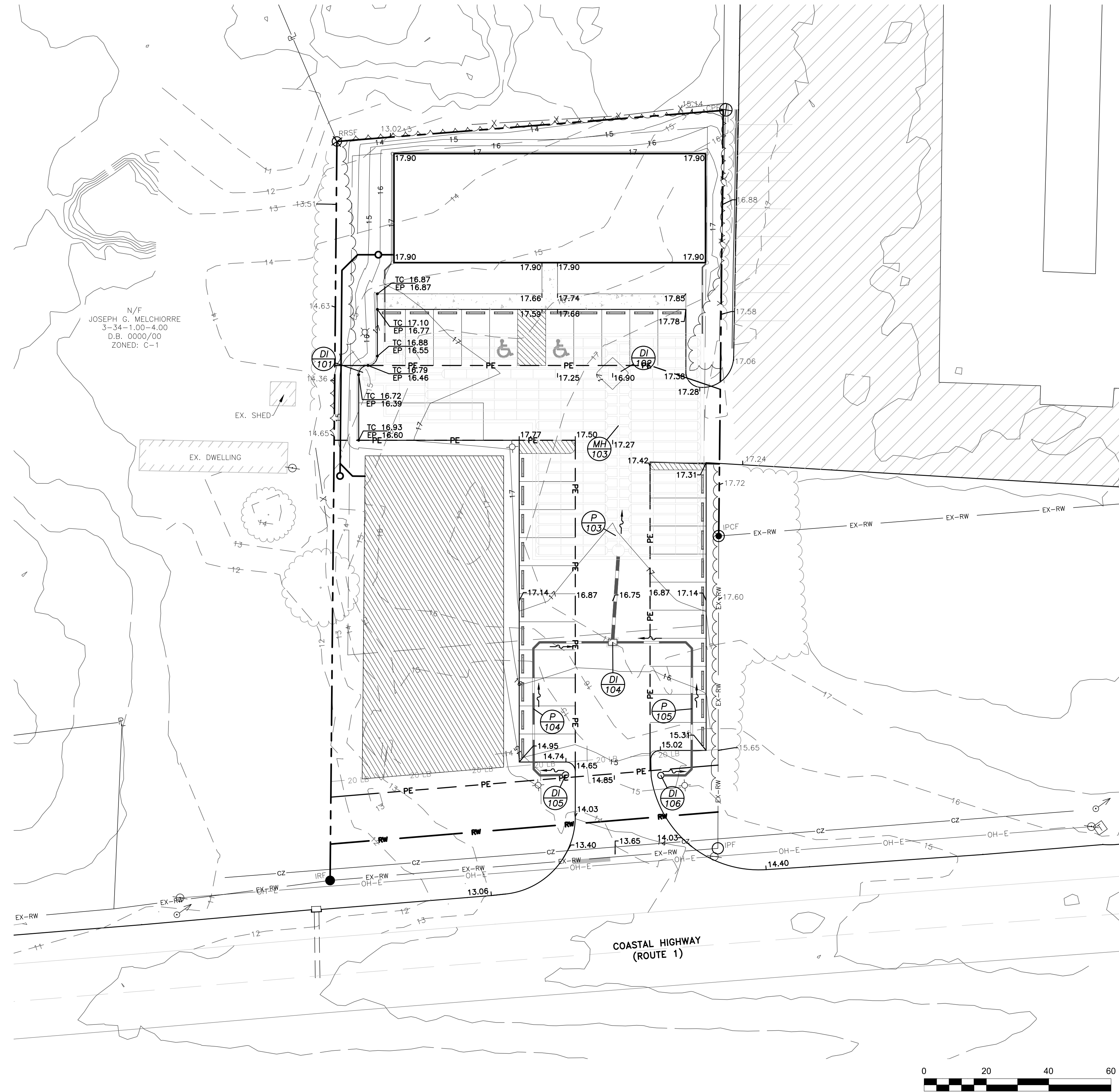
ARCHITECTS ENGINEERS SURVEYORS
CALIFORNIA, ILLINOIS, INDIANA, IOWA, KANSAS, MICHIGAN, MINNESOTA, MISSOURI, NEBRASKA, NEW YORK, NORTH CAROLINA, OHIO, PENNSYLVANIA, TEXAS, VIRGINIA, WISCONSIN, WYOMING
DAVIS, BOWEN & FRIEDEL, INC.
CONSTRUCTION DETAILS

RED MILL POINTE
LEWES AND REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

Date: AUGUST, 2022
Scale: NO SCALE
Dwn. By: TCB
Proj. No.: 4114A001
Dwg. No.: C-201

P:\Dahireh\RED MILL POINTE\DESIGN\4114A001 - CONSTRUCTION DETAILS.dwg Dec 21, 2022 - 2:13pm MASH

P:\Dah\RED MILL POINTE\DESIGN\4114A001 - GRADING PLAN.dwg, Dec 21, 2022 - 2:35pm, M.A.S.B.



**RED MILL POINTE
 LEWES AND REHOBOTH HUNDRED
 SUSSEX COUNTY, DELAWARE**

Revisions:

Date: **AUGUST, 2022**
 Scale: **1" = 20'**
 Dwn.By: **BJM**
 Proj.No.: **4114A001**
 Dwg.No.:

C-301

WFP HOLDINGS - SHOPPING CENTER

ZION CHURCH ROAD (S.C.R. - 382, S.R. - 20) BALTIMORE HUNDRED SUSSEX COUNTY, DELAWARE

PRELIMINARY PLANS
DBF PROJECT NO.: 4317A001
NOVEMBER 2022

GENERAL NOTES:

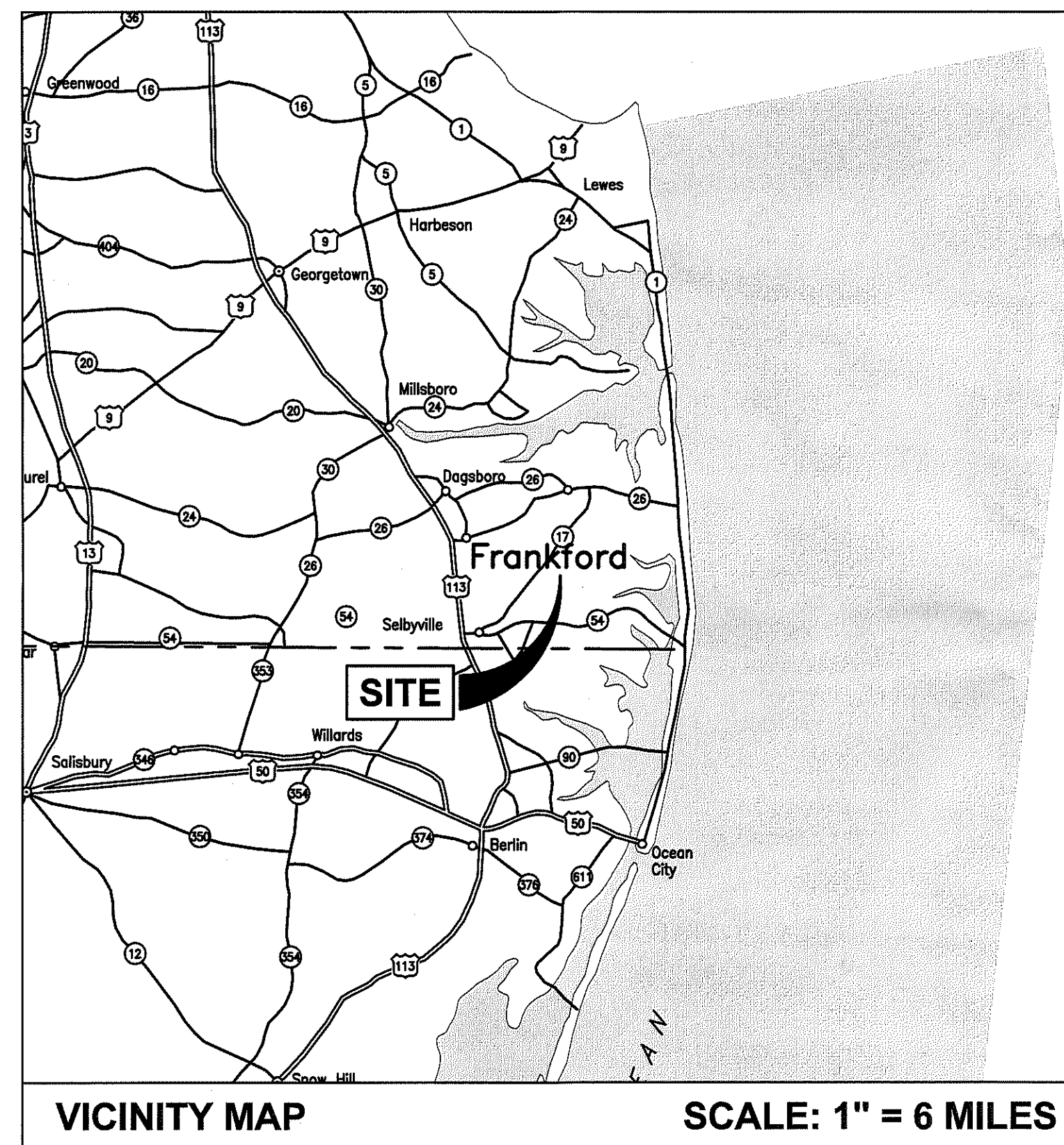
- HORIZONTAL AND VERTICAL CONTROL SURVEY BY DAVIS, BOWEN AND FRIEDEL, INC. OF SALISBURY MARYLAND, OCTOBER 2022. VERTICAL/HORIZONTAL DATUM - N.A.V.D. 88 / NAD 83 RESPECTIVELY.
- EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS, INCLUDING TELEPHONE, ELECTRIC, TRAFFIC, SIGNAL, WATER, SEWER, AND STORM DRAINAGE ARE BASED UPON THE BEST AVAILABLE INFORMATION AND ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. NO GUARANTEE IS MADE OR IMPLIED REGARDING THE ACCURACY OR COMPLETENESS THEREOF. CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION, DEPTH, SIZE AND MATERIAL OF ALL UNDERGROUND UTILITIES TO HIS OWN SATISFACTION BEFORE BEGINNING ANY EXCAVATION OR PIPE LAYING. THE COUNTY, OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION. IF THE CONTRACTOR RELIES ON SAID INFORMATION, HE DOES SO AT HIS OWN RISK. THE GIVING OF THE INFORMATION ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO SUPPORT AND PROTECT ALL SHOWN OR NOT SHOWN EXISTING UTILITIES AND APPURTENANCES. SHOULD ANY EXISTING UTILITIES BE DAMAGED BY THE CONTRACTOR, THEN THE CONTRACTOR SHALL REPAIR THE DAMAGE CAUSED TO THE COUNTY'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL MAKE HIS OWN INVESTIGATION AND TEST PIT EXISTING UTILITIES AS REQUIRED.
- CONTRACTOR SHALL NOTIFY "MISS UTILITY" (1-800-282-8555 IN DE) & (1-800-441-8355 OUTSIDE OF DE) AT LEAST 3 CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION TO HAVE EXISTING UNDERGROUND UTILITIES LOCATED AND MARKED.
- ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- USE ONLY SUITABLE AND APPROVED GRANULAR MATERIAL FOR BACK FILLING TRENCHES.
- CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL RIGHT-OF-WAY LINES AND PROPERTY LINES TO HIS OWN SATISFACTION. ALL PROPOSED UTILITIES ARE TO BE CONSTRUCTED WITHIN THE STREET RIGHT-OF-WAY OR EASEMENT AREAS PROVIDED. ANY DISTURBED AREAS BEYOND THE RIGHT-OF-WAY OR EASEMENT LINES SHALL BE RESTORED IMMEDIATELY TO THEIR ORIGINAL CONDITION. PAYMENT FOR THIS WORK SHALL BE INCLUDED IN THE COST OF ITEMS BID.
- CONTRACTOR SHALL PROVIDE STAKEOUT SURVEY NECESSARY FOR CONSTRUCTION, THE INSTALLATION OF UTILITY WORK AND APPURTENANCES, AND DETERMINATION OF RIGHT-OF-WAY.
- CONTRACTOR SHALL EXERCISE CAUTION AND TAKE MEASURES NECESSARY TO PROTECT TREES DURING CONSTRUCTION ACTIVITIES. DAMAGED TREES TO BE REPLACED, IN KIND, AT THE CONTRACTOR'S EXPENSE.
- ALL ROADWAYS ARE TO BE SWEEPED FREE OF SEDIMENT ON A DAILY BASIS.
- THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE WORK AREA, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS, TRAFFIC CONTROL REGULATORY WARNING, AND INFORMATIONAL SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE. THE COST SHALL BE INCLUDED IN THE COST OF ITEMS BID.
- CONTRACTOR SHALL GRADE, TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS OF CONSTRUCTION, INCLUDING PIPE INSTALLATION OR DITCH CONSTRUCTION. EROSION CONTROL MATING SHALL BE PROVIDED ON ALL SLOPES GREATER THAN 3:1.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- PARKING SPACES RESERVED FOR USE BY THE HANDICAPPED AND RELATED ACCESSIBLE ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE GUIDELINES ENTITLED "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES" (REFERENCE: ANSI A117.1-1998). ALL ACCESSIBLE ROUTES MUST COMPLY WITH U.S. DEPARTMENT OF JUSTICE 2010 AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND SHALL APPRAISE AND COORDINATE DURING ALL PHASES OF CONSTRUCTION:
DAVIS, BOWEN & FRIEDEL, INC. - (302) 424-1441
SUSSEX CONSERVATION DISTRICT - (302) 856-2105
SUSSEX COUNTY ENGINEERING - (302) 856-7718
- THIS SITE IS NOT IMPACTED BY THE 100-YEAR FLOOD PLAIN AS DEPICTED ON FEMA MAP NO: 1000500635K, DATED MARCH 16, 2015
- THIS SITE IS IMPACTED BY WETLANDS.
- THIS PROPERTY IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA ACCORDING TO COUNTY DATA.
- THIS PROPERTY IS LOCATED IN AN AREA OF FAIR GROUNDWATER RECHARGE.

SOILS MAP

- A&A ASKECKSY LOAMY SAND, 0-2% SLOPES (A/D)
- HmA HAMMONTON LOAMY SAND, 0-2% SLOPES (B)
- K&A KLEJ LOAMY SAND, 0-2% SLOPES (A/D)
- MmA MULLICA MUCKY SANDY LOAM, 0-2% SLOPES (A/D)

ABBREVIATIONS

- PR - PROPOSED
- EX - EXISTING
- D.I. - DUCTILE IRON



INDEX OF SHEETS

- C-001 TITLE SHEET
- C-051 EXISTING & DEMOLITION PLANS
- C-101 PRELIMINARY SITE PLAN
- C-102 PRELIMINARY SITE DIMENSIONS
- C-301 PRELIMINARY GRADING PLAN
- C-501 PRELIMINARY UTILITY PLAN
- C-502 SITE DETAILS

EXISTING		LEGEND		PROPOSED	
---	PROPERTY LINE OR RIGHT-OF-WAY LINE	---		---	
---+---	EASEMENTS	---		---	
---	FENCE	X		X	
---	CONTOUR	---		---	
x 24.24	SPOT ELEVATIONS: SURFACE, TOP OF CURB, BOTTOM OF CURB	24.24		24.24	
---	SWALE	---		---	
---	SEWER MAIN, MANHOLE, AND CLEANOUT	---		---	
---	WATER MAIN, HYDRANT, VALVE, AND METER	---		---	
---	STORMDRAIN, MANHOLE, AND INLET	---		---	
---	CURB, CURB AND GUTTER	---		---	
---	CONCRETE SIDEWALK, CONCRETE PAD OR CONCRETE PAVING	---		---	
---	BITUMINOUS PAVING	---		---	
---	FULL DEPTH PAVEMENT	---		---	
---	BUILDING	---		---	
---	DECIDUOUS TREE, EVERGREEN TREE, AND SHRUBS	---		---	
---	ROAD SIGN, MAIL BOX	---		---	
---	UTILITY POLE WITH GUY WIRES	---		---	
---	SITE NOTES	---		---	
---	PARKING SPACE COUNT	---		---	
---	FIRE LANE	---		---	

DATA COLUMN

TAX MAP NUMBER:	533-11.00-82.03
DEED REFERENCE:	5756 / 285
PROPOSED USE:	COMMERCIAL STORE
PROPOSED SITE CONSTRUCTION:	SHOPPING CENTER
ZONING:	
EXISTING:	B-1 NEIGHBORHOOD BUSINESS
PROPOSED:	B-1 NEIGHBORHOOD BUSINESS
MINIMUM B-1* REQUIREMENTS:	
FRONT SETBACK:	60 FT.
SIDE SETBACK:	5 FT.
REAR SETBACK:	5 FT.
PARKING:	
PATRON REQUIRED:	1 PER 200 SF & 1 PER 2 EMPLOYEES 12,000± SF & 24 EMPLOYEES: 72 SPACES
PATRON PROPOSED:	72 SPACES, INCLUDING 3 HANDICAP SPACES
LOADING REQUIRED:	2 PER 20,000 SF
LOADING PROPOSED:	2 LOADING SPACES
SPEED LIMIT ON FRONTAGE ROAD (SR-20):	50 MPH
MAX BUILDING HEIGHT:	1-STORY, 42'
AREA:	
TOTAL SITE AREA:	2.495± AC.
EXISTING BUILDING S.F.:	0.036± AC.
PROPOSED BUILDING S.F.:	0.275± AC.
EXISTING IMPERVIOUS AREA:	0.250± AC.
PROPOSED IMPERVIOUS AREA:	1.527± AC.
NET DEVELOPMENT AREA:	1.766± AC.
WETLANDS (RIVERINE):	0.048± AC.
SERVICE:	
SEWER:	PUBLIC (SUSSEX COUNTY, JOHNSONS CORNER SSD)
WATER:	PUBLIC (ARTESIAN WATER CO., INC.)
TRASH:	PRIVATE
OWNER:	WFP HOLDINGS LLC 37232 LIGHTHOUSE ROAD, UNIT 466 SELBYVILLE, DE 19975
PREPARED BY:	DAVIS, BOWEN & FRIEDEL INC. 601 EAST MAIN STREET, SUITE 100 SALISBURY, MD 21804 410-543-9091

ENGINEER'S STATEMENT
I, W. ZACHARY CROUCH, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

W. ZACHARY CROUCH, P.E. DATE _____
DAVIS, BOWEN & FRIEDEL, INC.
1 PARK AVENUE
MILFORD, DE 19963

OWNER'S STATEMENT
I, UNDERSIGNED, HEREBY STATE THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THE PLAN WAS MADE AT MY DIRECTION. I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

WFP HOLDINGS LLC DATE _____
37232 LIGHTHOUSE ROAD, UNIT 466
SELBYVILLE, DE 19975

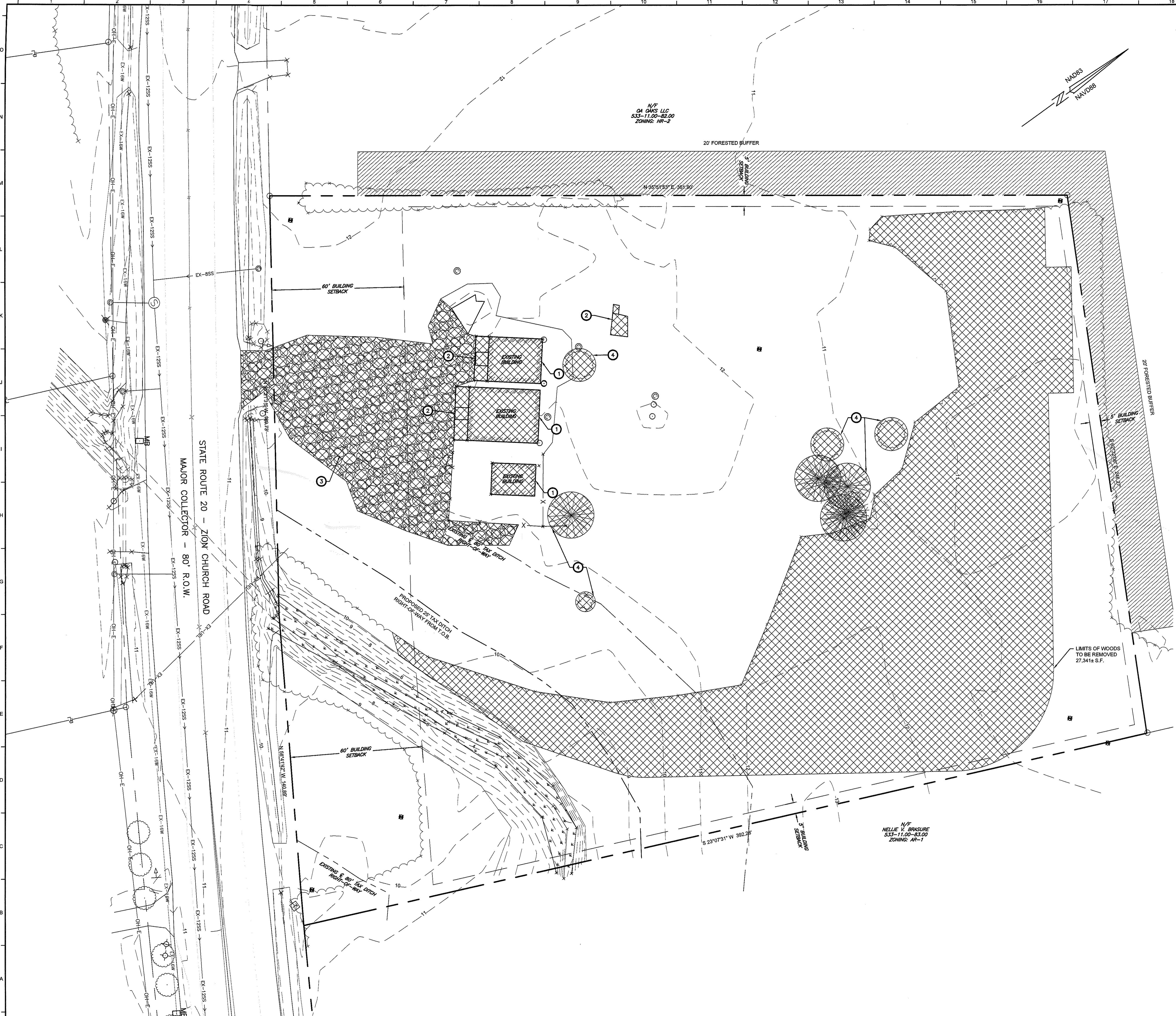
DAVIS BOWEN & FRIEDEL, INC.
ARCHITECTS - ENGINEERS - SURVEYORS
MILFORD, DELAWARE
410.770.4744
SALISBURY MARYLAND
302.424.1444

WFP HOLDINGS - SHOPPING CENTER
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

DATE	COMMENTS
1	2022-11-18 SUSSEX PLANNING & ZONING COMMENTS

Date: NOVEMBER 2022
Scale: AS SHOWN
Dwn.By: YAP
Proj.No.: 4317A001


TITLE SHEET
Dwg.No.: C-001



GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL ABOVE GROUND STRUCTURES, UNDERGROUND STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES, PERMITS AND CHARGES.
4. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES.
5. PRIOR TO DEMOLITION OCCURRING, EROSION CONTROL DEVICES ARE TO BE INSTALLED AS DETAILED ON THE SEQUENCE OF CONSTRUCTION.

LEGEND

 ITEMS TO BE REMOVED UNLESS OTHERWISE NOTED.

DEMO NOTES

- 1 REMOVE EXISTING BUILDING
- 2 REMOVE CONCRETE, FULL DEPTH
- 3 REMOVE GRAVEL DRIVEWAY 6,808± S.F.
- 4 REMOVE TREES

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 ARCHITECTS - ENGINEERS - SURVEYORS
 1101 S. MARKET STREET, SUITE 200
 BALTIMORE, MD 21202
 TEL: 410.554.9000
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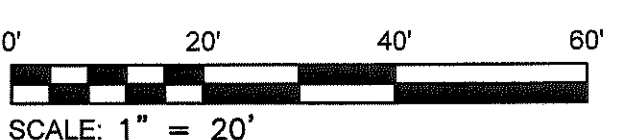
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 SUSSEX COUNTY, DELAWARE

DATE	COMMENTS
1	2022-11-21 SUSSEX PLANNING & ZONING COMMENTS

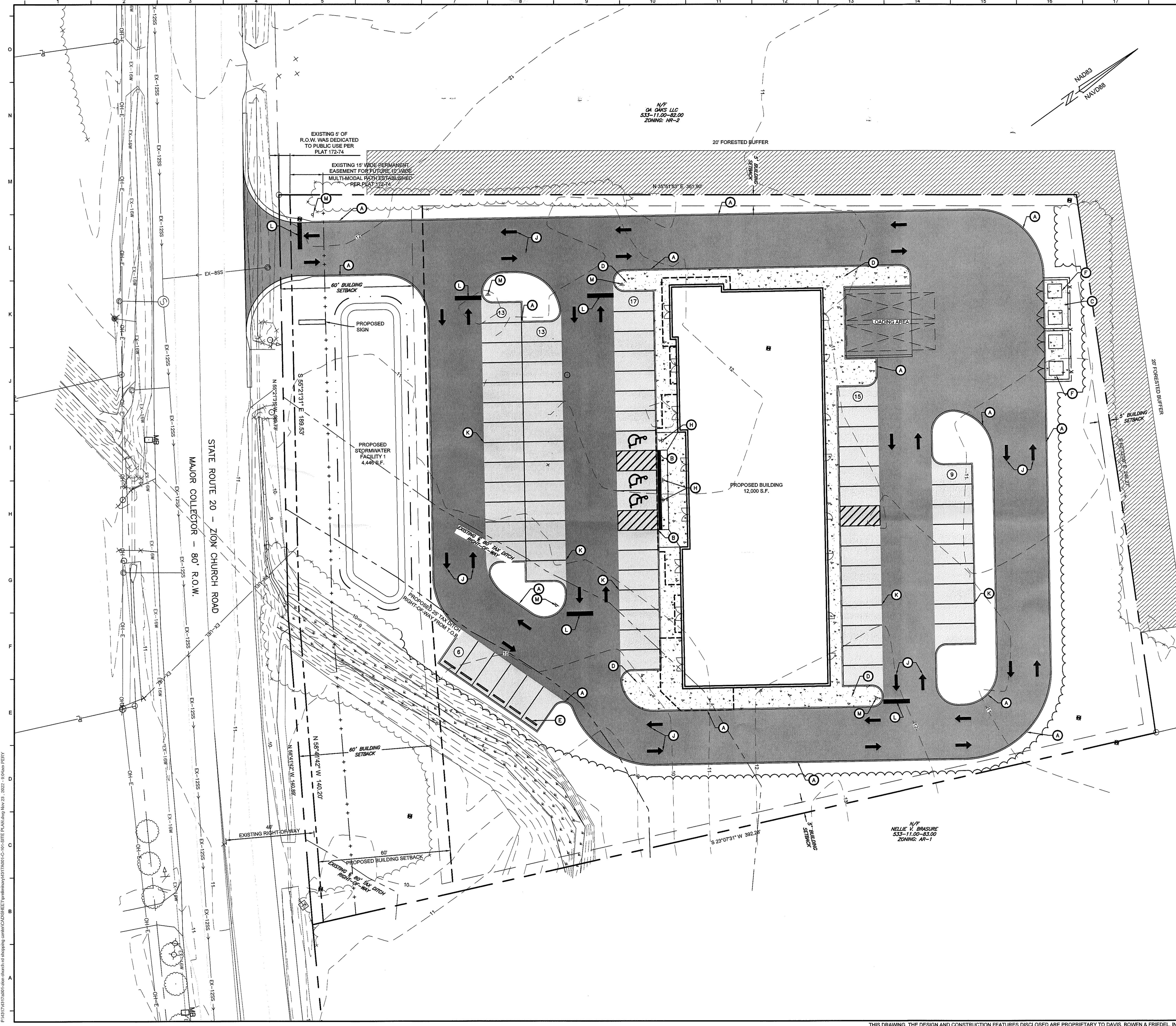
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EXISTING & DEMOLITION PLANS

Dwg. No.: **C-051**



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SITE NOTES:

- CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
- CONTRACTOR SHALL REMOVE PAVEMENT & CONCRETE IN ACCORDANCE WITH SPECIFICATIONS OF THE DELAWARE STATE DEPARTMENT OF TRANSPORTATION.
- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS AND SHALL BE COORDINATED WITH BUILDING CONTRACTOR.
- CONTRACTOR SHALL COORDINATE WITH BUILDING CONTRACTOR IN ADDITION TO REFERRING TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXISTING PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- GENERAL CONTRACTOR IS TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES AS DESIGNATED ON PLANS.
- CONTRACTOR SHALL COORDINATE WITH BUILDING CONTRACTOR IN ADDITION TO REFERRING TO ARCHITECTURAL PLANS AND SPECS. FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES, TO INCLUDE, SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, AND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED, AS WELL AS, COORDINATE WITH ANY UTILITY COMPANIES FOR APPROVED LOCATIONS AND SCHEDULING OF TIE-INS / CONNECTIONS TO THEIR FACILITIES.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN DISPOSING OF MATERIALS REMOVED FROM THIS SITE.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 6 INCHES OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- TOTAL LIMIT OF CONSTRUCTION IS 1.848± ACRES.
- ALL SIGNS SHALL BE PLACED 3 FEET FROM THE EDGE OF CURB.
- CONTRACTOR TO TAPER ALL EXPOSED CURB ENDS.

SITE PLAN KEY

- FOUND IN SITE DETAILS (C-502)
- A 6" VERTICAL CURB
 - B NOSE DOWN CURB
 - C HEAVY DUTY CONCRETE
 - D CONCRETE SIDEWALK
 - E WHEEL STOP, TYP.
 - F DUMPSTERS, TYP.
 - G HANDICAP RAMP, TYP.
 - H ACCESSIBLE PARKING SPACE W/ SIGN
 - I PAINTED CROSSWALK STRIPING
 - J PAINTED DIRECTIONAL ARROW, TYP.
 - K 4" WIDE WHITE PAINTED STRIPE, TYP.
 - L 24" STOP BAR
 - M "STOP" SIGN

PAVEMENT LEGEND

- PROPOSED LIGHT-DUTY PAVEMENT
- PROPOSED HEAVY-DUTY PAVEMENT

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 410.563.9091

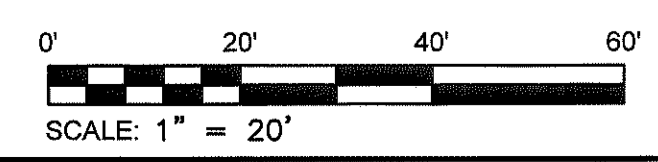
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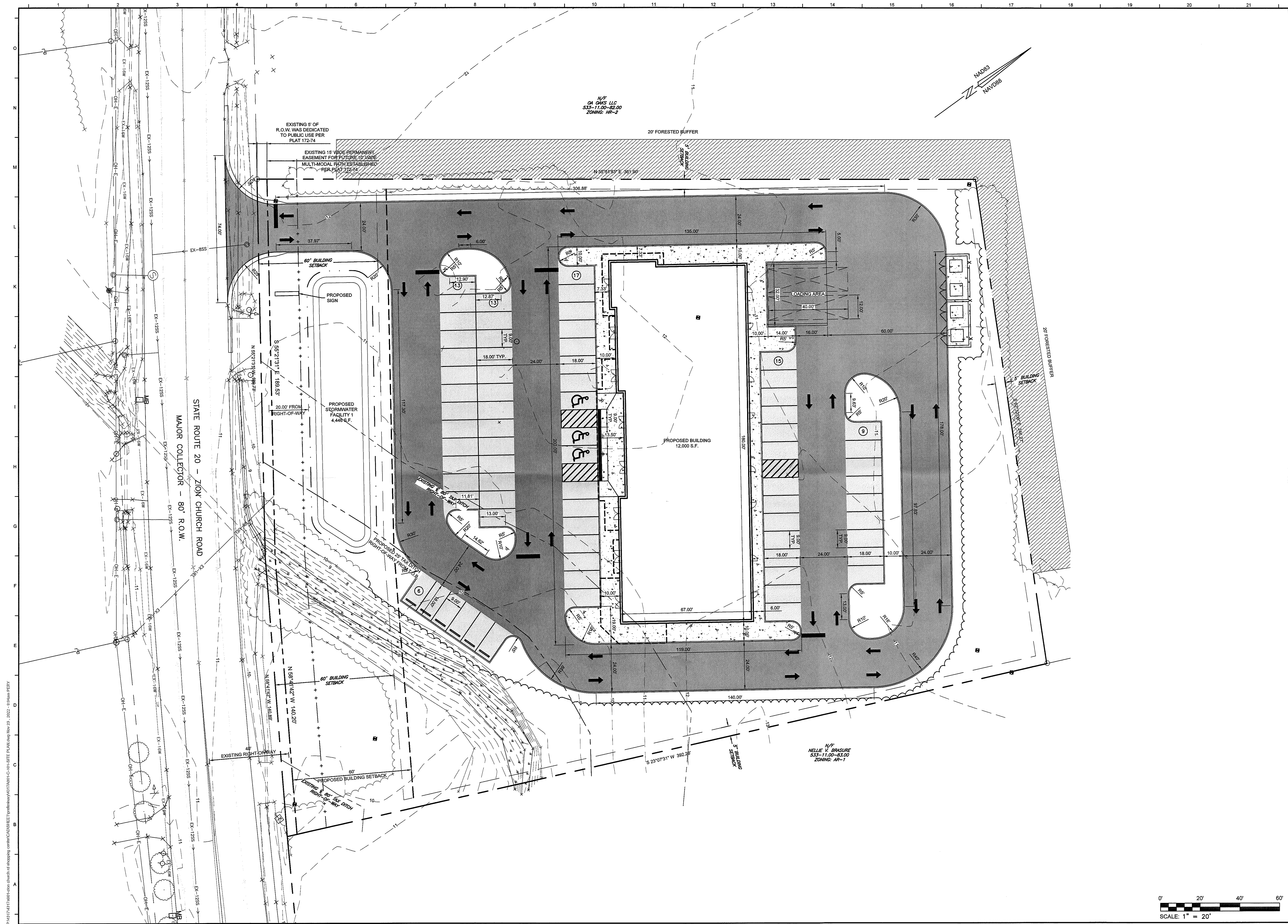
DATE	COMMENTS
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 Dwn. By: YAP
 Proj. No.: 4317A001

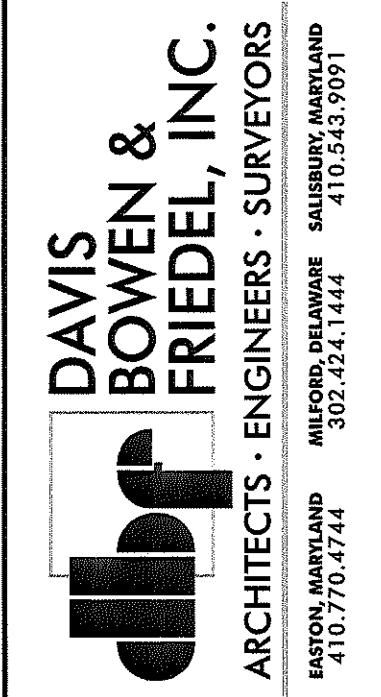
PRELIMINARY SITE PLAN

Dwg. No.: **C-101**





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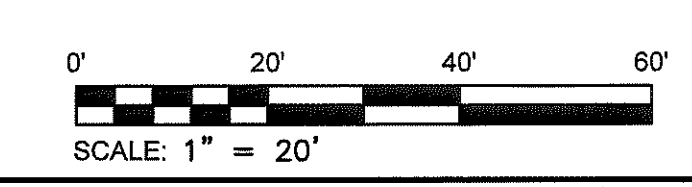
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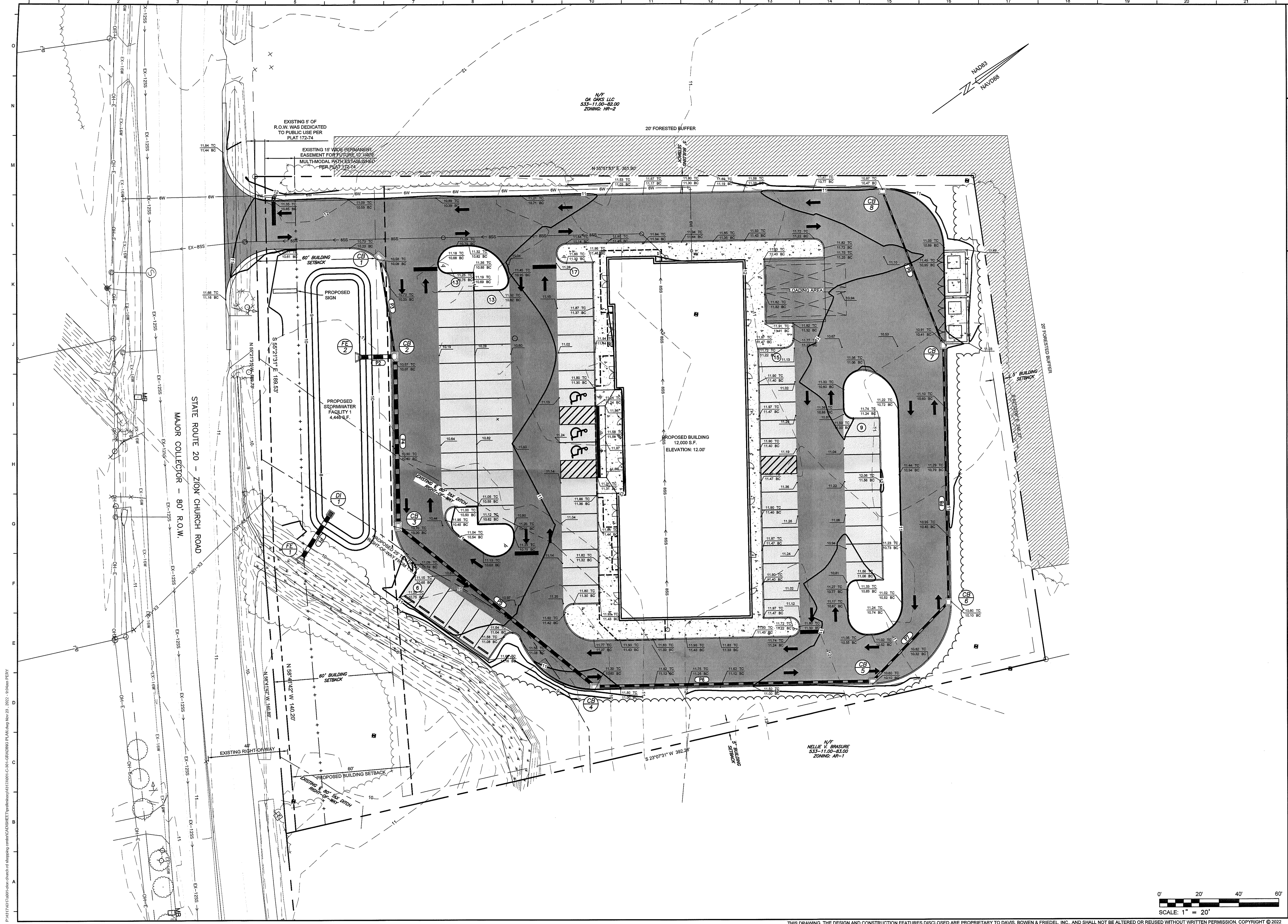
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PRELIMINARY
SITE
DIMENSIONS

Dwg. No.: **C-102**





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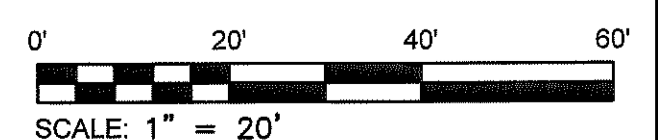
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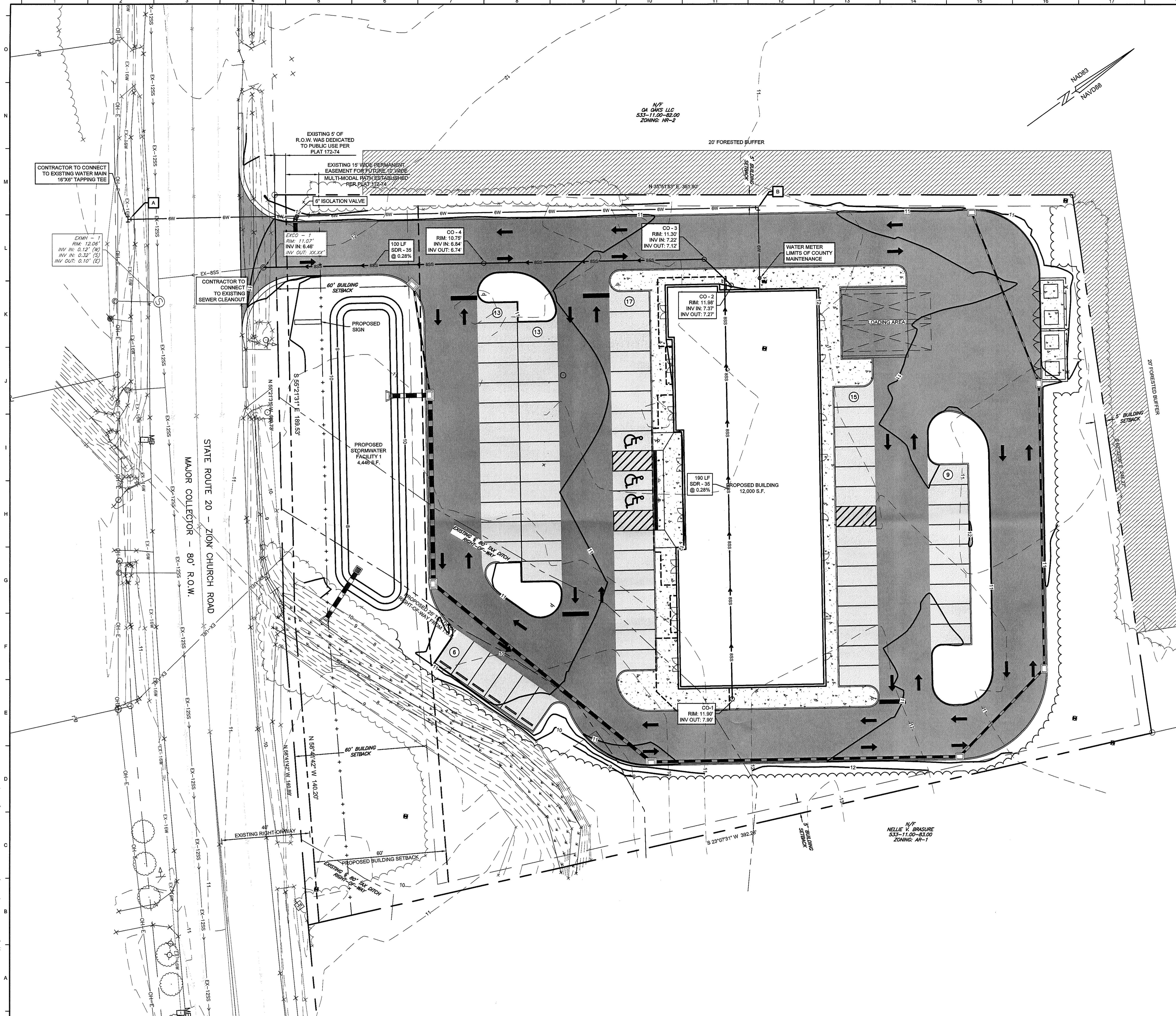
DATE	COMMENTS
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 Dwn. By: YAP
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PRELIMINARY GRADING PLAN

Dwg No.: **C-301**





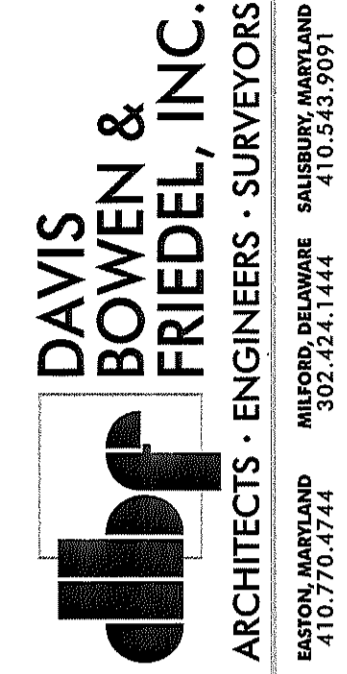
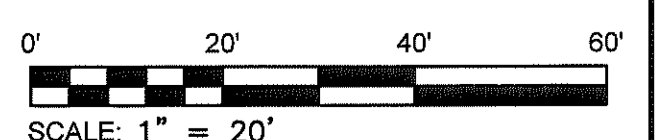
UTILITY NOTES:

- WATER NOTES:
1. WATER SUPPLY BY THE ARTESIAN WATER COMPANY INC., ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH TOWN OF FRANKFORD CONSTRUCTION STANDARDS AND SPECIFICATIONS.
 2. WATER MAIN DISINFECTION REQUIREMENTS SHALL MEET STANDARDS AND SPECIFICATIONS OF THE STATE ENVIRONMENTAL PROTECTION AGENCY OF EQUIVALENT TO THE AMERICAN WATER WORKS ASSOCIATION STANDARDS C60-14.
 3. ALL WATER MAINS SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM SANITARY SEWER AND SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18 INCHES.
 4. ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 4 FEET.
 5. THE ENTIRE WATER DISTRIBUTION SYSTEM MUST BE IN COMPLIANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE STATE DIVISION OF PUBLIC HEALTH.
 6. FITTING LOCATIONS SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE ARTESIAN WATER COMPANY INC.
 7. THE CONTRACTOR SHALL PROVIDE PRESSURE REDUCING VALVES IN UNITS IF NECESSARY.
 8. THE CONTRACTOR SHALL ADJUST WATER LINE LOCATION AS REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
 9. THE CONTRACTOR SHALL PROVIDE BUTTRESSES FOR ALL HORIZONTAL AND VERTICAL BENDS AS REQUIRED PER THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE ARTESIAN WATER COMPANY INC.
 10. THE CONTRACTOR SHALL INSTALL AIR RELEASE VALVES AS SPECIFIED IN FIELD.
 11. ALL WATER MAINS SHALL BE AWWA C900.
 12. TRACER WIRE SHALL BE INSTALLED ON ALL WATER MAINS AND WATER SERVICES.

- SEWER NOTES:
1. POLYVINYL CHLORIDE (PVC) PIPE USED FOR GRAVITY SEWER CONSTRUCTION, INSTALLED TO A DEPTH NO GREATER THAN 10 FEET, SHALL EQUAL OR EXCEED THE REQUIREMENTS OF ASTM-D-3032 AND SHALL HAVE A MINIMUM STANDARD DIMENSION (SDR) RATIO OF 35. PVC PIPE USED FOR GRAVITY SEWER INSTALLED TO A DEPTH GREATER THAN 10 FEET SHALL HAVE AN SDR RATIO IF 26. THE MINIMUM PIPE STIFFNESS, AS TESTED IN ACCORDANCE WITH ASTM-D-2412, SHALL BE 46 FOR SDR 35 PIPE, AND 115 FOR SDR 26 PIPE, WHEN MEASURED UNDER 5% DEFLECTION AT 73° FAHRENHEIT. PIPE SHALL BE MANUFACTURED WITH GASKETED INTEGRAL WALL BELL AND SPIGOT JOINTS IN STANDARD LENGTHS NOT EXCEEDING 20.0 FEET.
 2. ALL FITTINGS USED FOR PVC GRAVITY SEWER CONSTRUCTION SHALL HAVE AN SDR RATIO OF 26.
 3. ALL SEWER LATERALS SHALL BE 6" PVC SDR 35 INSTALLED TO THE PROPERTY LINE WITH A 6" DIAMETER CLEANOUT. A 4" PVC SDR 35 LATERAL IS PERMITTED FROM THE PROPERTY LINE TO THE BUILDING.
 4. ALL POLYVINYL CHLORIDE (PVC) PIPE AND FITTINGS SHALL UTILIZE AN ELASTOMERIC O-RING GASKETED JOINT, ASSEMBLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 5. POLYVINYL CHLORIDE WYE BRANCHES, PIPE STOPPERS AND OTHER FITTINGS SHALL BE MANUFACTURED IN ACCORDANCE WITH THE SAME SPECIFICATIONS AND SHALL HAVE THE SAME THICKNESS, DEPTH OF SOCKET, AND ANNULAR SPACE AS THE PIPE. TEE FITTINGS WILL NOT BE PERMITTED FOR USE. WYE BRANCH FITTINGS SHALL BE BEDDED IN STONE AS SHOWN ON THE LATERAL CLEANOUT DETAIL INCLUDED IN THESE STANDARDS. SADDLES WILL NOT BE PERMITTED FOR USE ON NEW SEWER MAIN CONSTRUCTION.
 6. POLYVINYL CHLORIDE PIPE SHALL BE DELIVERED AND STOCKPILED IN UNIT PALLETS. STACKING OF PALLETS ABOVE FIVE (5) FEET IN HEIGHT WILL NOT BE ALLOWED. IF PIPE IS STOCKPILED FOR MORE THAN THIRTY (30) DAYS PRIOR TO INSTALLATION IN THE TRENCH, IT MUST BE SUITABLY COVERED WITH REFLECTIVE MATERIAL TO PROTECT THE PIPE FROM ULTRAVIOLET RAYS EMANATING FROM SUNLIGHT. DO NOT USE PLASTIC SHEETS. ALLOW FOR AIR CIRCULATION UNDER COVERING.
 7. BOWED SECTIONS OF PIPE WILL BE UNACCEPTABLE AND INSTALLATION OF PIPE WHICH HAS BOWED, WHETHER OR NOT THE BOW HAS BEEN CORRECTED, WILL NOT BE ALLOWED.
 8. NO. 14 SOLID COPPER WIRE SHALL BE ATTACHED TO ALL NON-METALLIC SEWER LATERAL PIPING AS IT IS INSTALLED. THE WIRE SHALL BE DUCT TAPED TO THE TOP, EACH END, AND CENTER OF EACH FACTORY LENGTH OF PIPE.
 9. THE GRAVITY SEWER SHALL BE MIRROR, MANDREL, AND AIR TESTED IN ACCORDANCE WITH THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF SUSSEX COUNTY.

UTILITY KEY NOTES

- A TEE
- B 90° BEND



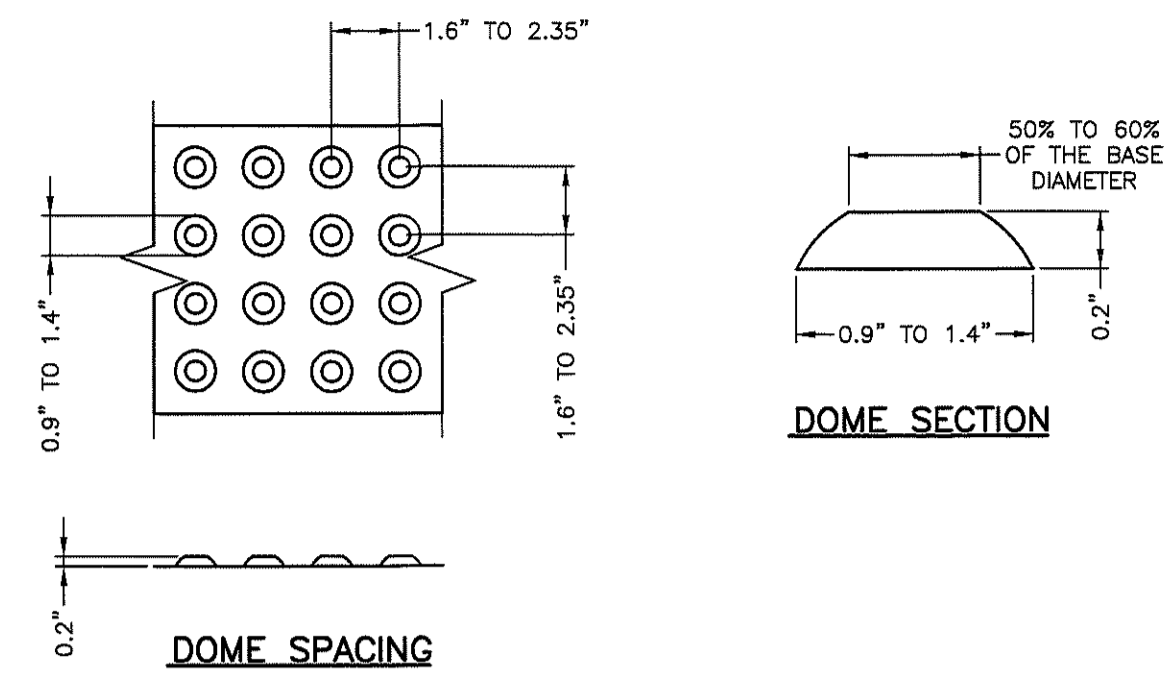
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DATE	COMMENTS
1 - 2022-11-21	SUSSEX PLANNING & ZONING COMMENTS

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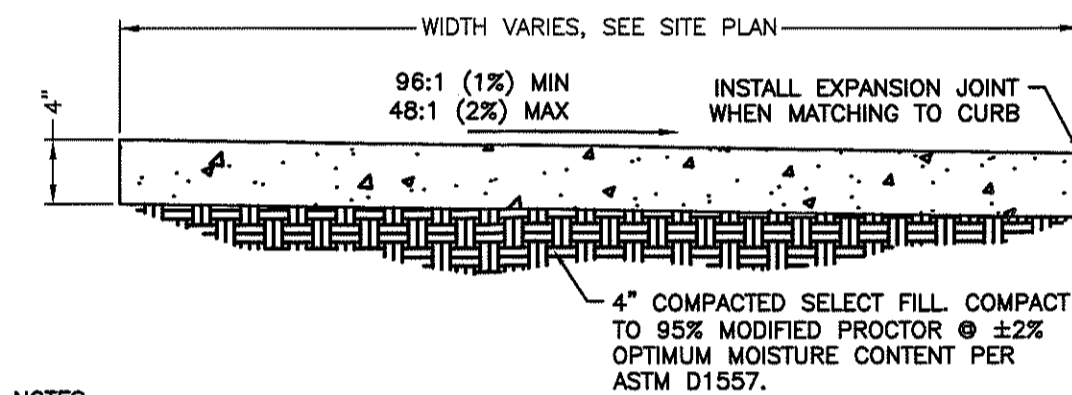
PRELIMINARY UTILITY PLAN

Dwg.No.: **C-501**



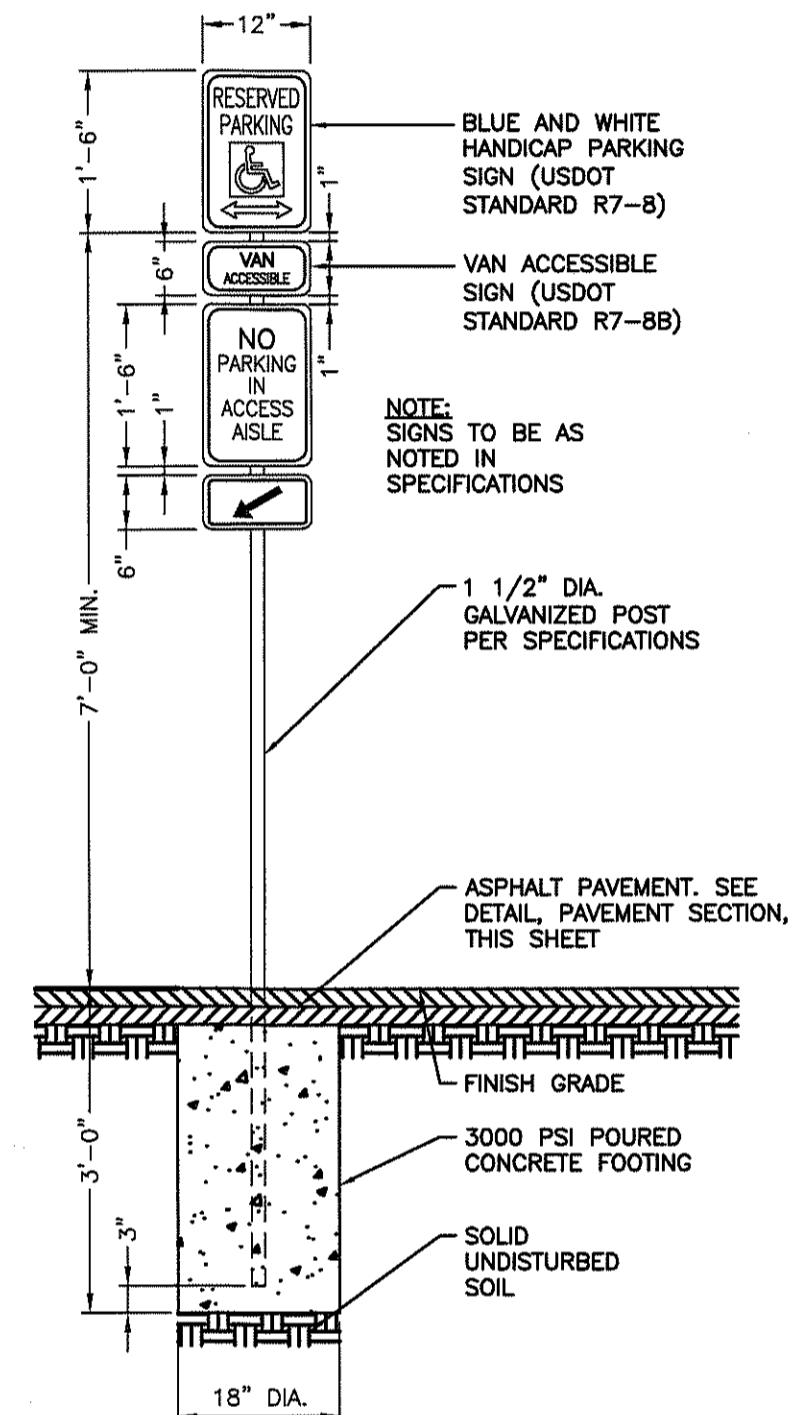
- NOTES:**
1. THE DETECTABLE WARNING SURFACE SHALL BE LOCATED AT THE BACK OF CURB AND PROTRUDE A MINIMUM OF 24" UP THE RAMP.
 2. FOR SKEWED APPLICATIONS DETECTABLE WARNING SHALL BE PLACED SUCH THAT THE DOMES CLOSEST TO THE BACK OF CURB ARE NO LESS THAN 0.5" AND NO MORE THAN 3.0" FROM THE BACK OF CURB. TRUNCATED DOME SURFACES SHALL BE FABRICATED TO PROVIDE FULL DOMES ONLY.
 3. DOMES MAY BE CAST IN PLACE OR MAT TYPE - ALL YELLOW OR CONTRASTING COLOR ON BRICK RAMPS.
 4. THE DETECTABLE WARNING SURFACE SHALL BE PLACED ACROSS THE ENTIRE WIDTH OF THE RAMP, EXCLUDING FLARED SECTIONS.

DETECTABLE WARNING SURFACES
NOT TO SCALE

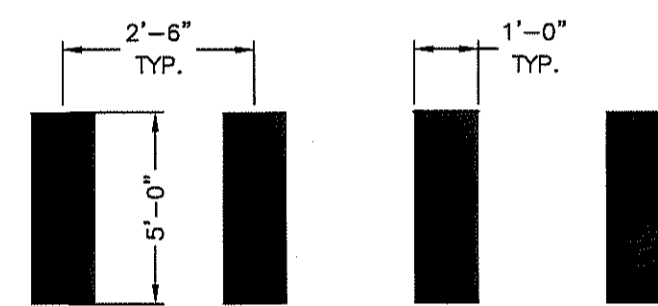


- NOTES:**
1. ALL CONCRETE USED FOR SIDEWALK SHALL BE PORTLAND CEMENT CONCRETE MIX NO. 3. SEE DETAIL 4202.
 2. TOOLED CONTRACTION JOINTS TO BE PLACED EVERY 5'-0" FOR WIDTHS EQUAL TO OR GREATER THAN 5'-0", AND EVERY 4'-0" FOR WIDTHS LESS THAN 5'-0".
 3. EXPANSION JOINTS ARE TO BE INSTALLED EVERY 20'-0".
 4. WHEN ADJACENT TO FOUNDATION WALL, CONCRETE CURB, CONCRETE PAVEMENT OR OTHER STRUCTURE INSTALL APPROVED EXPANSION JOINT.

CONCRETE SIDEWALK DETAIL
NOT TO SCALE

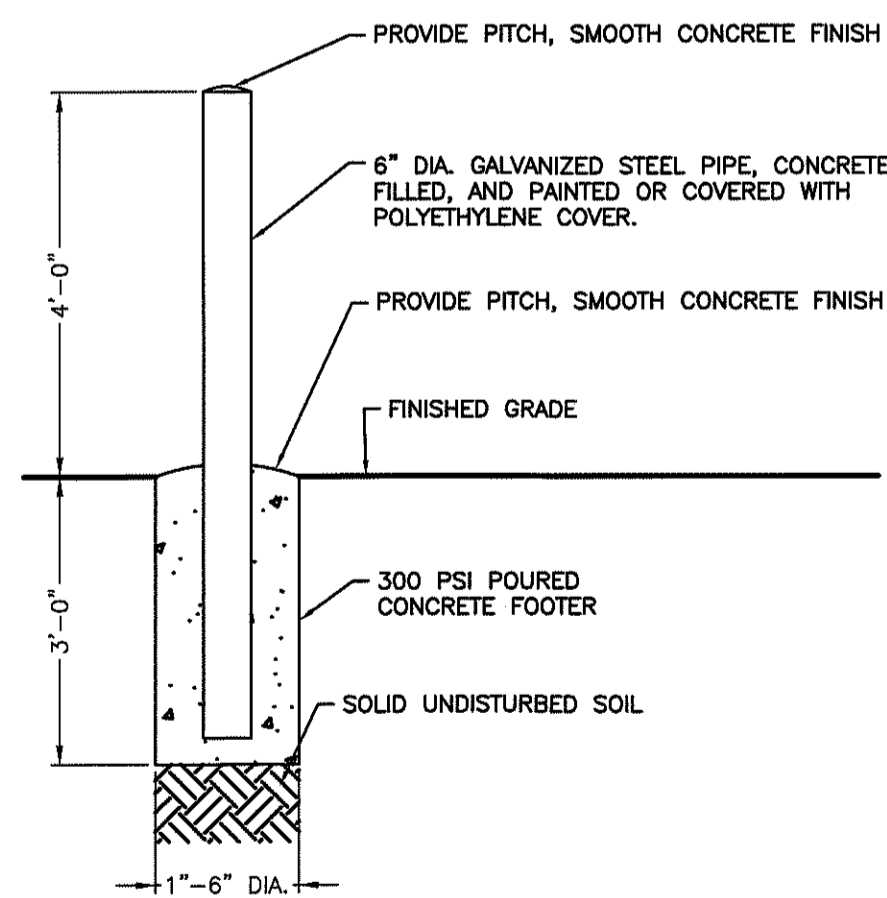


VAN ACCESSIBLE HANDICAP PARKING SIGNAGE
NOT TO SCALE



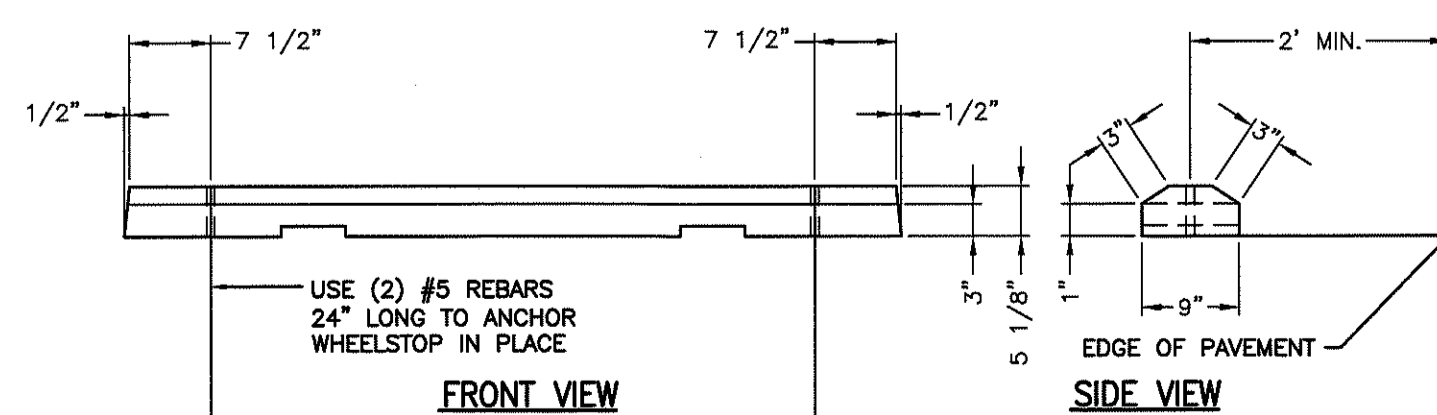
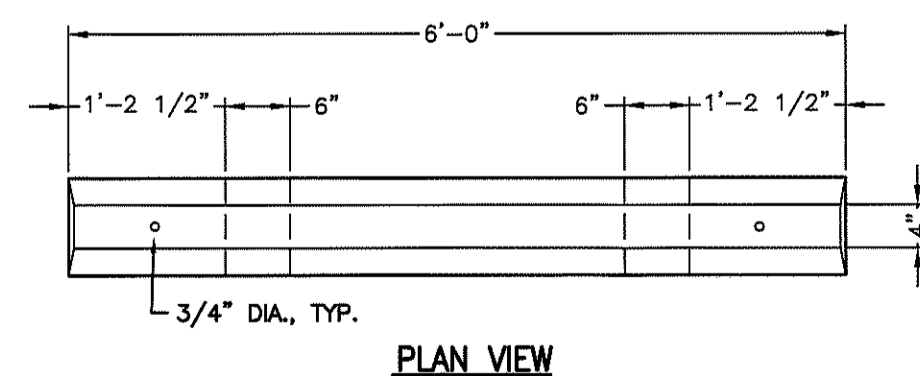
- NOTES:**
1. CROSSWALK STRIPING SHALL BE CENTERED ON THE SIDEWALK.
 2. CROSSWALKS SHALL BE WHITE THERMOPLASTIC.
 3. CROSSWALKS ARE TO BE INSTALLED PERPENDICULAR TO THE STREET.
 4. CROSSWALK PANELES SHALL BE PLACED PARALLEL WITH THE ROAD CENTERLINE.
 5. ALL MARKINGS SHALL COMPLY WITH THE CURRENT EDITION OF THE MUTCD.

CROSSWALK STRIPING DETAIL
NOT TO SCALE

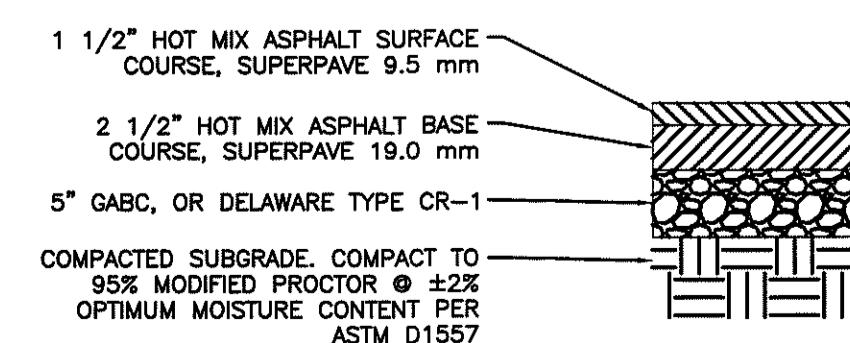


- NOTES:**
1. ALL CONCRETE USED FOR BOLLARDS SHALL BE PORTLAND CEMENT CONCRETE MIX NO. 3. SEE DETAIL, SHEET C2.1.
 2. SURFACE PREPARATION FOR PAINTED BOLLARDS INCLUDES REMOVAL OF ANY INK MARKINGS BY WIPING DOWN PIPE WITH CLEAN LINT-FREE CLOTHS SATURATED WITH DENATURATED ALCOHOL, PROVIDING UNIFORM SCARIFICATION AS NECESSARY, AND WIPING OFF DUST RESIDUE.
 3. PAINTING OF BOLLARDS TO CONSIST OF PRIMER, INTERMEDIATE AND FINISH COATS AS FOLLOWS: PRIMER - 2.5 TO 3.5 MILS TME-ZINC ZINC, INTERMEDIATE - 2 TO 3 MILS HI-BUILD EPOXYLINE II, FINAL - 3 TO 4 MILS ENDURA-SHIELD. TOTAL DRY FILM THICKNESS TO BE 7.5 TO 10.5 MILS.
 4. POLYETHYLENE COVERS TO BE AS MANUFACTURED BY IDEAL SHIELD.
 5. BOLLARD COLOR SCHEDULE IS AS FOLLOWS: FUEL CANOPIES - RED; HANDICAP SPACES - BLUE; BUILDING FACADES - WHITE OR GRAY; MECHANICAL, ELECTRICAL, AND HVAC EQUIPMENT, HYDRANTS, DUMPSTER ENCLOSURES, AND LOADING ZONES - YELLOW.

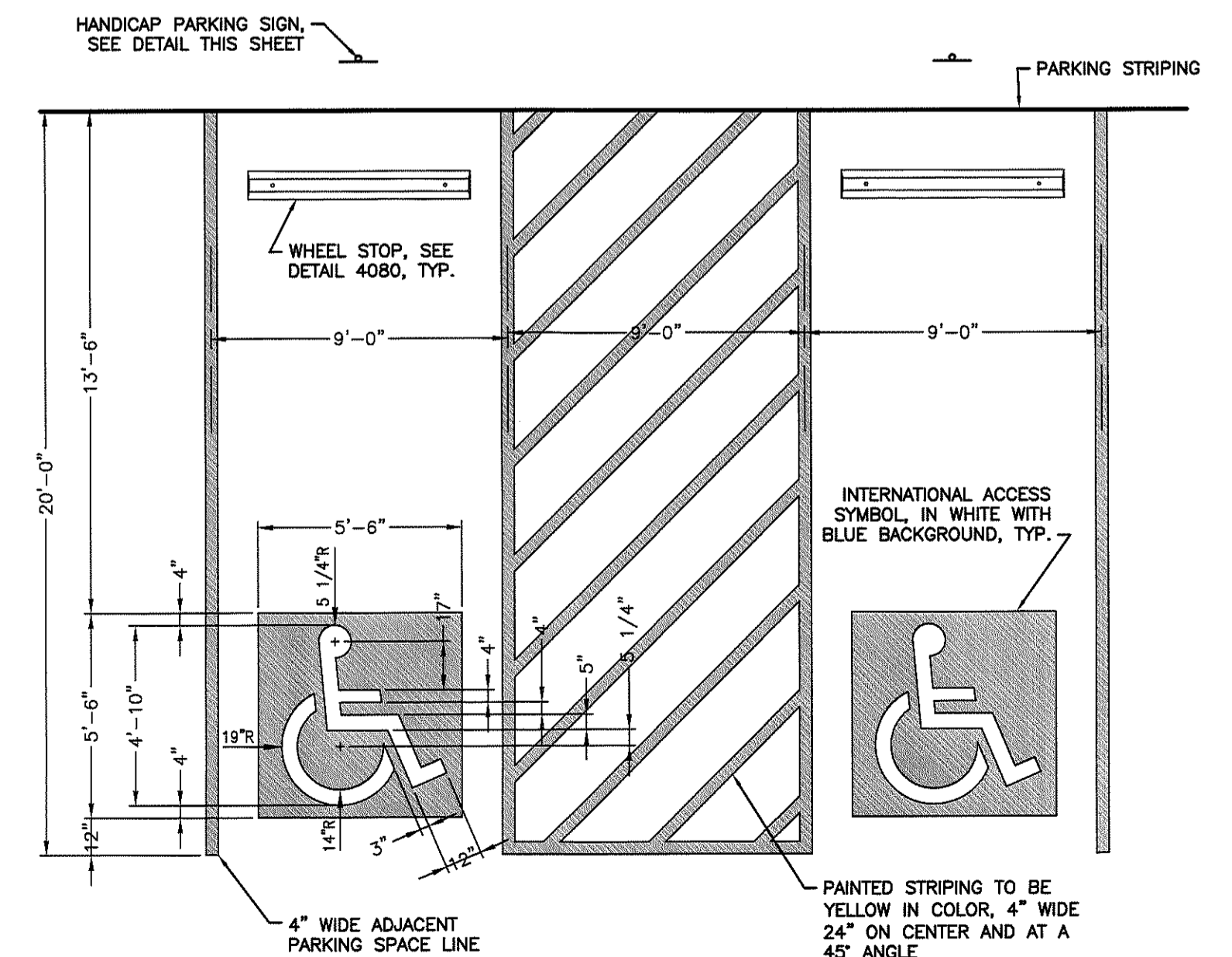
6" GALVANIZED STEEL PIPE BOLLARD DETAIL
NOT TO SCALE



CONCRETE WHEELSTOP DETAIL
NOT TO SCALE



PAVEMENT SECTION
NOT TO SCALE



VAN ACCESSIBLE HANDICAP PARKING LAYOUT
NOT TO SCALE

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Proj No.: 4317A001

SITE DETAILS
Dwg No.: **C-502**

■ ■ ■ ■

ARCHITECTS
ENGINEERS

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SALISBURY
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SEAFORD

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■ ■ ■ ■

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PETER A. BOZICK, JR., P.E.
CHARLES M. O'DONNELL, III, P.E.
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W. BRICE FOXWELL, P.E.

JOHN E. BURNSWORTH, P.E.
VINCENT A. LUCIANI, P.E.
AUTUMN J. WILLIS
CHRISTOPHER J. PFEIFER, P.E.

November 30, 2022

Sussex County Planning and Zoning
2 The Circle
Georgetown, DE 19947

Attn: Lauren DeVore
Planner III

Re: Sandpiper Cove (fka Cobb Property)
Subdivision # 2021-15
Zoning Condition of Approval B & I
GMB Job No: 200145.A

Dear Lauren:

Please accept this letter and accompanying documentation as a follow up to our meeting in your office dated 10/21/2022 concerning the referenced project, and our discussion concerning Conditions of Approval B & I.

We offer the following comments.

Regarding Condition of Approval I, the main entrance is along Route 20, which is where the sewer will be installed first. There is a sewer "break," at the main ditch/SWM system that runs through the center of the site, and gravity sewer cannot extend beyond the ditch. The proposed clubhouse is north of the ditch, and the sewer in front of the clubhouse flows to the north for connection to existing sewer along Old Mill Bridge Road. Because of the natural "break" this sewer will be installed in later phases.

As such, we request the Condition of Approval be amended to read as follows:

I. "Amenities including pool and pool house shall be constructed and open to use by residents of this development on or before the issuance of the 49th residential building permit. The Final Site Plan shall contain details as to the size and location of these amenities."

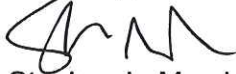
Regarding Condition of Approval B, we had to expand the SWM system due to the fact that flow from the adjacent Ashley Manor subdivision to the east was already causing failure in the existing drainage system on site for the large storm events. By increasing the capacity of the ponds and intercepting the ditch flow, we are able to mitigate this condition, by managing runoff from Ashley Manor and by over managing on the proposed Sandpiper site. Furthermore, this will alleviate flooding at the northwestern side of the site that was discussed during the public hearing (we have since been in touch with those property owners). As a result of the design revision, we need to clear approximately 2 additional acres of existing trees, such that we plan on maintaining approximately 25.01 acres of existing wooded area (See attached exhibits to demonstrate the difference in Preliminary vs Final).

As such, we still meet Condition of Approval B.

Per our discussion during the meeting, we understand this request will be placed on a Planning Commission agenda under "Other Business." Upon your review, please place us on the next available agenda.

As always, your thoughts and input are appreciated. Thank you for your time and attention in this matter.

Sincerely,

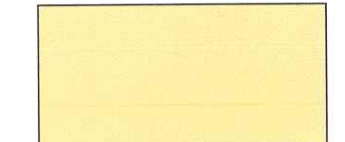


Stephen L. Marsh, P.E.
Sr. Vice President/East Region Director of Operations

Enclosures

8" PLOT SIZE (1:100) 8" PLOT SIZE (1:100) 8" PLOT SIZE (1:100) 8" PLOT SIZE (1:100) 8" PLOT SIZE (1:100) 8" PLOT SIZE (1:100) 8" PLOT SIZE (1:100) 8" PLOT SIZE (1:100) 8" PLOT SIZE (1:100) 8" PLOT SIZE (1:100)

PEND-GREEN 200 INCHES (5.08m) PEND-YELLOW 200 INCHES (5.08m) PEND-BLUE 200 INCHES (5.08m) PEND-ORANGE 200 INCHES (5.08m) PEND-RED 200 INCHES (5.08m)



UPLANDS AREA - 81,450 SF (±1.87AC.)
(ADJACENT TO DOUBLE BRIDGES RD.)

PRINTS ISSUED FOR:
APPROVAL

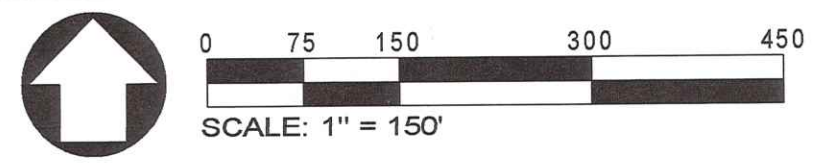
NO.	REVISIONS	DATE

TM 134-19-00-103.00

GMB
GEORGE MILES & BUHR, LLC
ARCHITECTS & ENGINEERS
206 WEST MAIN STREET
SALISBURY, MARYLAND 21801
410-742-3115 FAX 410-548-8700
www.gmbnet.com

THE ESTUARY
SUSSEX COUNTY, DELAWARE

PROPOSED
WELL & WATER
STORAGE FACILITY
LOCATION



SCALE: 1" = 150'	SHEET NO.
DESIGNED BY: OTHERS	W1.1
DRAWN BY: RLM	
CHECKED BY:	
GMB FILE: 140049	
DATE: NOV 2022	

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■ ■ ■ ■

ARCHITECTS
ENGINEERS

206 WEST MAIN STREET
SALISBURY, MD 21801
PH: 410.742.3115
PH: 800.789.4462
FAX: 410.548.5790

SALISBURY
BALTIMORE
SEAFORD

www.gmbnet.com

■ ■ ■ ■

JAMES H. WILLEY, JR., P.E.
PETER A. BOZICK, JR., P.E.
CHARLES M. O'DONNELL, III, P.E.
A. REGGIE MARINER, JR., P.E.
JAMES C. HOAGESON, P.E.
STEPHEN L. MARSH, P.E.
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W. BRICE FOXWELL, P.E.

JOHN E. BURNSWORTH, P.E.
VINCENT A. LUCIANI, P.E.
AUTUMN J. WILLIS
CHRISTOPHER J. PFEIFER, P.E.

November 30, 2022

Sussex County Planning and Zoning Department
2 The Circle
PO Box 417
Georgetown, DE 19947

Attn: Ms. Lauren DeVore
Planner III

Re: The Estuary
Zoning Condition of Approval #21 (U)
GMB File No. 140049

Dear Lauren:

Please accept this letter as a follow up to our meeting at your office on 10/21/2022.

As discussed, GMB is formally requesting a modification to original Condition of Approval #21 (U) from 9/28/2006, Subdivision # 2005-64. The condition states "Any wells, water towers, or water tanks shall be located at least 300-feet from adjacent boundary lines. Any proposed water tower or water tank shall be painted in a sky-neutral color, with no advertising or identifying logo or script, graphic features, or characteristics."

Please note that when GMB began designing the Estuary, Tidewater Utilities (TUI) had water main extended to the site along Camp Barnes Road from Double Bridges Road. The water main extension and the previously proposed (now under construction) elevated storage tank along Roxana Road at Millville by the Sea will provide supply and storage for the region and assist in maintaining pressure.

Although additional supply and storage is not needed today; it is important to plan ahead and reserve space for future additional supply and storage facilities in order to proactively plan for the impact that ongoing development in the area will have on supply and pressure. Therefore, the development team is currently working with TUI staff to evaluate potential sites for future wells and storage facilities.

We have identified a site along Double Bridges Road as a viable option in that there are significant uplands available for wells and storage facility (see attached exhibit). Furthermore, there is access to the site from a main road, (Double Bridges Road) much like the newly constructed elevated storage tank on Route 17. The development team and the staff at TUI believes this is an ideal location for a proposed facility.

As such, we would like to amend the Zoning Condition to:

"Any wells, water towers or water tanks shall be located at least 300 50 feet from adjacent boundary lines".

If the amendment is approved, we would work with TUI to submit follow up site plan documentation, accordingly.

My understanding from our meeting is this would be placed on an agenda at the Planning Commission under "Other Business." As such, please schedule us for the next available opening.

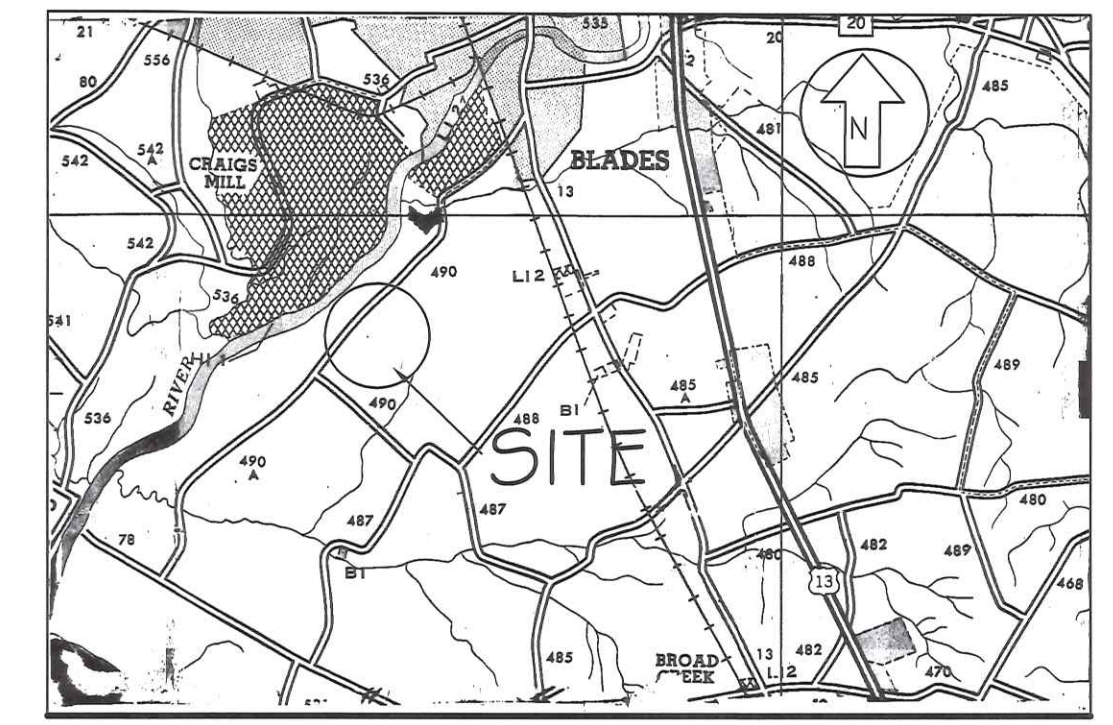
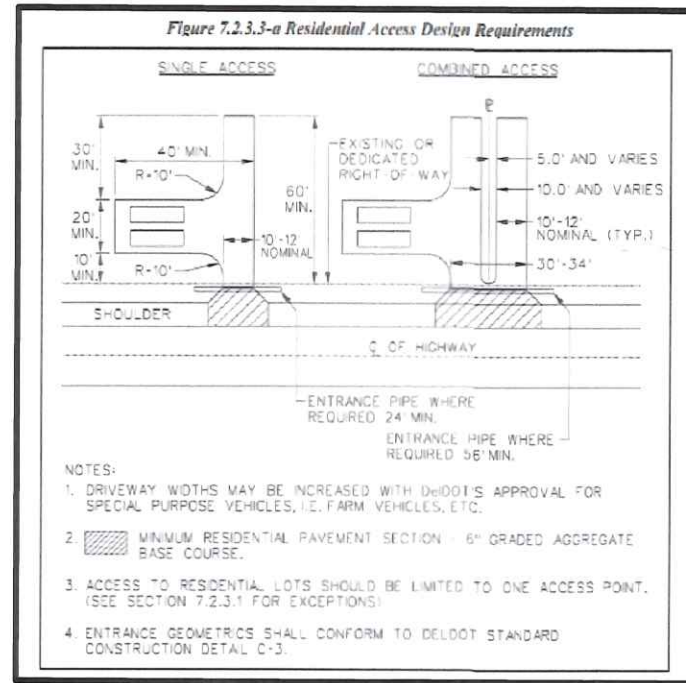
Thank you for your time and consideration in this matter.

Sincerely,

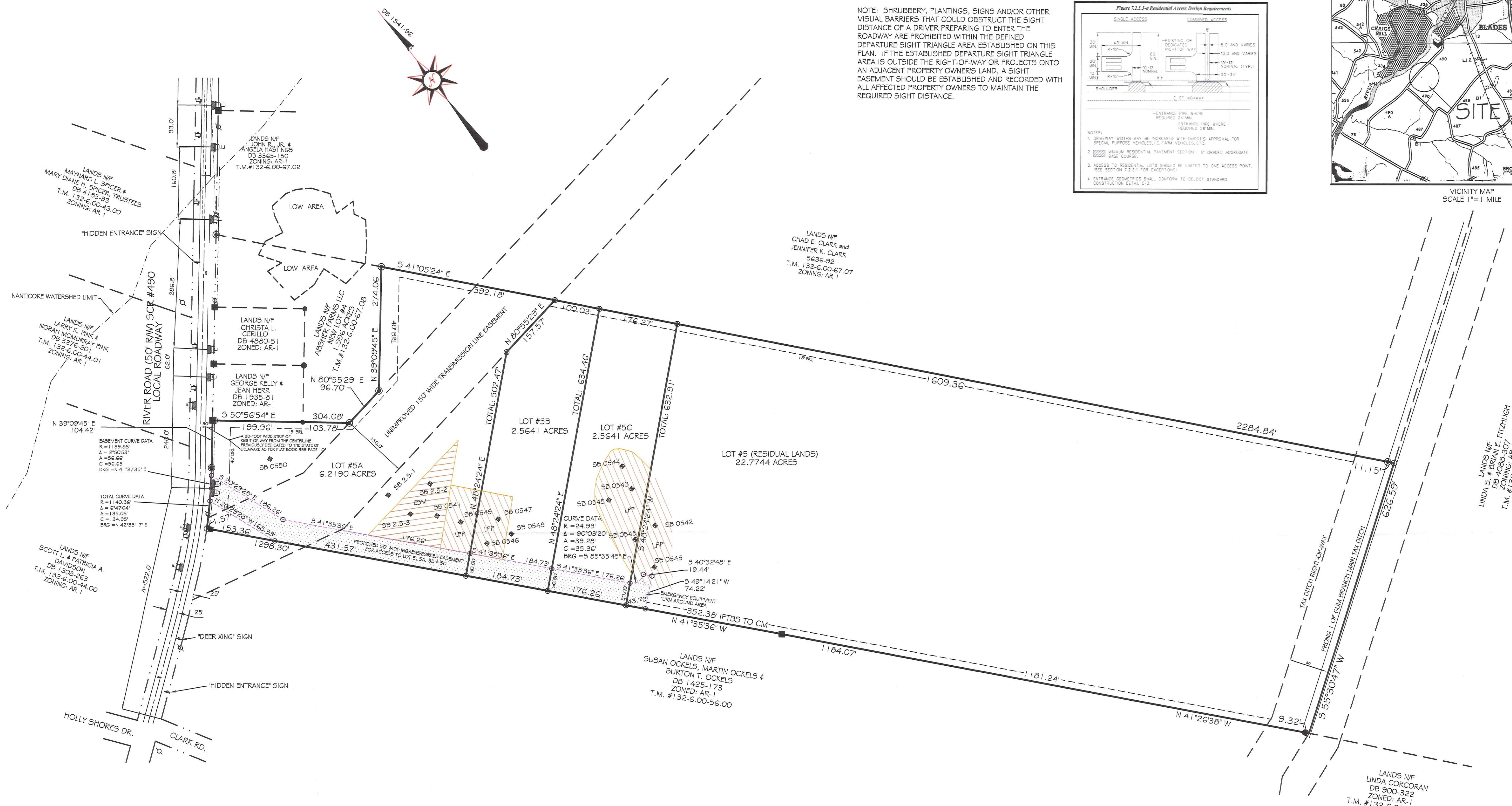


Stephen L. Marsh, P.E.
Sr. Vice President/East Region Director of Operations

Enclosure



NOTE: SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.



NOTES:
 1. IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
 2. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DEL.D.O.T.'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
 3. THERE IS A FIFTY FOOT BUILDING SETBACK FROM LANDS USED FOR AGRICULTURAL PURPOSES.
 4. LOTS 5, 5A, 5B & 5C SHALL HAVE ACCESS TO SCR 490 VIA THE 50 FOOT WIDE INGRESS/EGRESS EASEMENT.
 5. THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
 6. a) PRIVATE MAINTENANCE - PRIVATE STREETS WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17, SECTION 131). DEL DOT ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.
 b) ENTRANCES TO PRIVATE STREETS SERVING MULTIPLE RESIDENTIAL LOTS SHOULD BE PAVED, FROM THE EDGE OF THE TRAVEL LANE TO THE R.O.W. LINE (AT A MINIMUM), WITH A DRIVEWAY/THROAT WIDTH OF 16 TO 24 FEET. REFER TO DEL DOT DCM SECT. 3.3.3
 c) A PERPETUAL CROSS ACCESS INGRESS/EGRESS IS HEREBY ESTABLISHED AS SHOWN ON THIS PLAT.

- FIRE MARSHAL NOTES:**
1. ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTION SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
 2. MAXIMUM HEIGHT: 3 STORIES NOT TO EXCEED 42'.
 3. A SINGLE FAMILY DWELLING IS PROPOSED.
 4. BUILDING CONSTRUCTION TYPE: NFPA TYPE V WOOD FRAME.
 5. AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.

I, DONALD K. MILLER REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

Donald K. Miller
 DONALD K. MILLER, PLS 407
 11/22/22
 DATE

- LEGEND:**
- CONCRETE MONUMENT (FOUND)
 - IRON PIPE (FOUND)
 - IRON PIPE (SET)
 - POINT
 - SOIL BORING
 - UTILITY POLE
 - TELEPHONE BOX
 - MAIL BOX

DATA COLUMN:
 TM #132-6.00-67.04
 ZONING: AR-1
 TRACT AREA: 34.046 ACRES± (INCLUDING RESIDUAL AREA)
 EXISTING LOTS: 1
 PROPOSED LOTS: 3 NEW (4 TOTAL INCLUDING RESIDUAL LANDS)
 PRESENT USE: RESIDENTIAL
 PROPOSED USE: RESIDENTIAL
 ACCESS: S.C.R. 490 (RIVER ROAD)
 ROADWAY CLASSIFICATION: LOCAL ROADWAY
 WATER AND SEWER: INDIVIDUAL ON-SITE
 100 YEAR FLOODPLAIN: SITE IS NOT IMPACTED AS PER FIRM #1 0005C0302K DATED 3/16/15
 THIS PROJECT IS NOT IN THE PROXIMITY OF A TID POSTED SPEED LIMIT ON RIVER ROAD IS 40 MPH

LEGEND:

- EXISTING RIGHT-OF-WAY LINE
- PROPOSED RIGHT-OF-WAY LINE
- PROPERTY LINE
- CENTERLINE
- NEXT PROPERTY LINE
- DITCH LINE
- PROPOSED PROPERTY LINE

DATE	REVISION

SCALE: 1" = 120'

OTHER THAN SHOWN, THIS SURVEY AND PLAT DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHTS-OF-WAY OR EASEMENTS CROSSING THIS PROPERTY.
 NO TITLE SEARCH PROVIDED OR STIPULATED.

SURVEY CLASS: SUBURBAN

OWNERS CERTIFICATION:

I, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

Raymond T. Absher, Jr. 11/23/22
 RAYMOND T. ABSHER, JR. DATE

THIS PLAN SUPERCEDES IN PART THE PLAT BOOK 359 PAGE 16
 MINOR SUBDIVISION PLAN FOR
ABSHER FARMS LLC
 26705 RIVER ROAD, SEAFORD, DE 19973 PH: 302-245-5747

MILLER LEWIS, INC. 1560 MIDDLEFORD RD. SEAFORD, DELAWARE 19973 PH: 302-629-9895 FAX: 302-629-2391		HUNDRED	COUNTY
		BROAD CREEK	SUSSEX
STATE	DRAWN BY	DELAWARE	D. K. MILLER
REF. DB 1541-96	FILE NO.	DB 4184-72	PANICO
SEPTEMBER 29, 2022	1-32-6-40.01		



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. Box 778
DOVER, DELAWARE 19903

NICOLE MAJESKI
SECRETARY

November 17, 2022

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

SUBJECT: Minor Subdivision - Letter of No Objection to Recordation
ABSHER FARMS LLC
Tax Parcel # 132-6.00-67.04
SCR00490-RIVER ROAD
Broad Creek Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Minor Subdivision Plan dated September 29, 2022 (Signed and Stamped September 29, 2022), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawing. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Minor Subdivision Plan is not recorded and/or an entrance permit is not issued for the lot(s) prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

Entrances(s) must be installed prior to the sale of the lot(s). All entrances shall conform to DelDOT's [Development Coordination Manual](#) and shall be subject to its approval. **This letter does not authorize the commencement of entrance construction.**

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other



ABSHER FARMS LLC
Mr. Jamie Whitehouse
Page 2
November 17, 2022

reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction to modify or reject this proposed plan even though DeIDOT has established that these enumerated transportation improvements are acceptable.

The owner shall be responsible to submit a copy of the **recorded Minor Subdivision Plan** showing all appropriate signatures, seals, plot book and page number to the South District Public Works office (302) 853-1341 in order to obtain the entrance permit(s) for the proposed minor subdivision.

Sincerely,



Wendy L. Polasko, P.E.
Subdivision Engineer
Development Coordination

cc: Dottie Morris, Miller Lewis
Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Matt Schlitter, South District Public Works Engineer
James Argo, South District Project Reviewer
James Smith, South District Entrance Permit Supervisor
Shannon Anderson, South District Public Work Admin Specialist
Kevin Hickman, Sussex County Review Coordinator
Thomas Gagnon, Sussex County Reviewer

NOTES:

THIS DRAWING DOES NOT VERIFY THE LOCATION, EXISTENCE, AND/OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS CROSSING THE SUBJECT PROPERTY.

THIS DRAWING DOES NOT VERIFY THE EXISTENCE AND/OR NON-EXISTENCE OF WETLANDS OR PLANT SPECIES.

THIS DRAWING DOES NOT VERIFY UTILITIES, OR ANY OTHER SUBSURFACE OBJECTS.

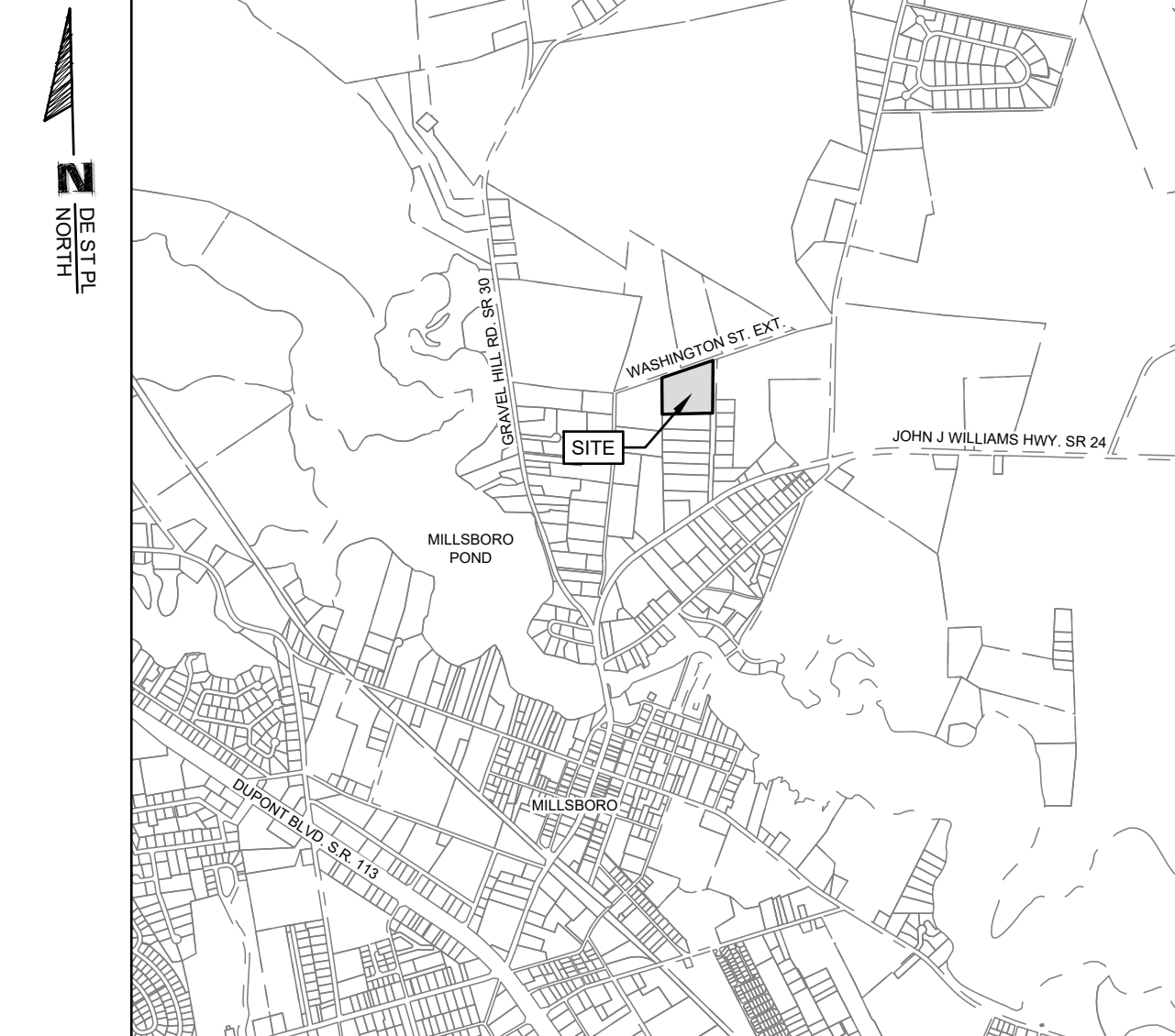
ALL SETBACKS MUST BE VERIFIED BY THE HOME OWNER, CONTRACTOR, AND HOMEOWNER'S ASSOCIATION PRIOR TO ANY CONSTRUCTION. FRONT, SIDE AND REAR SETBACKS SHOWN PER SUSSEX COUNTY.

NO TITLE SEARCH WAS PROVIDED NOR STIPULATED.

THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED ON 9-13-2022, BY SCALED ENGINEERING, INC. BOUNDARY INFORMATION WAS TAKEN FROM DEED BOOK 3783 PAGE 79 (THE CURRENT DEED OF RECORD), PLAT BOOK 73 PAGE 131 AND OTHER DOCUMENTS OF PUBLIC RECORD AND HAS BEEN ROTATED TO DELAWARE STATE PLANE COORDINATE SYSTEM (NAD83).

WASHINGTON STREET EXTENSION
(50' RIGHT-OF-WAY)

DEST PL
NORTH



LOCATION MAP
SCALE: 1" = 2,000'

SITE DATA:

- TAX MAP NUMBER: 234-27.00-101.00
- ADDRESS: 28049 WASHINGTON ST EXT MILLSBORO, DE 19966
- OWNER: BRITTANY MAY BALDWIN & JOHN ALBRIGHT 28049 WASHINGTON ST EXT MILLSBORO, DE 19966
- ZONING: EXISTING: AR-1 (AGRICULTURAL RESIDENTIAL) PROPOSED: AR-1 (AGRICULTURAL RESIDENTIAL)
- USE: EXISTING: RESIDENTIAL PROPOSED: LOTS - RESIDENTIAL RESIDUAL LANDS - RESIDENTIAL
- BUILDING SETBACKS (FOR PROPOSED LOTS):
FRONT 30'
SIDE 15'
REAR 20'
- LOT REQUIREMENTS: AREA 32,670 S.F. (0.75 ACRE) (ON-SITE SEWER)
WIDTH 100'
DEPTH 100'
- TOTAL NUMBER OF LOTS:
EXISTING: 1 LOT
PROPOSED: 2 LOTS + 1 RESIDUAL
- AREA:
EXISTING: PARCEL TM: 234-27.00-101.00: 277,540 S.F (6.37 AC)
PROPOSED: LOT 1: 69,309 S.F (1.59 AC)
LOT 2: 77,739 S.F. (1.78 AC)
RESIDUAL TM: 234-27.00-101.00: 130,492 S.F (3.00 AC)
- AREA AFFECTED BY ADJUSTMENT: 3.37 AC
- POSTED SPEED LIMIT: 25 MPH (NOT POSTED)
- SEWER PROVIDER: ON-SITE SEPTIC
- WATER PROVIDER: ON-SITE WELL
- THIS PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOOD ZONE, DELINEATED BY THE NATIONAL FLOOD INSURANCE PROGRAM AS SHOWN AS ON FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 100050456L REVISED JUNE 20, 2018 (ZONE X).
- WETLANDS DO NOT EXIST ON THIS SITE PER THE U.S. FISH AND WILDLIFE NATIONAL WETLANDS INVENTORY MAPPING PLATFORM.
- PROXIMITY TO DELDOT TID AREA: LOCATED ±8 MILES WEST OF THE HENLOPEN TID AREA
- RECHARGE AREA: FAIR

OWNER CERTIFICATION:

WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND THAT I DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

BRITTANY MAY BALDWIN
28049 WASHINGTON ST EXT
MILLSBORO, DE 19966

OWNER CERTIFICATION:

WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND THAT I DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

JOHN ALBRIGHT
28049 WASHINGTON ST EXT
MILLSBORO, DE 19966

SURVEYOR CERTIFICATION:

I, RYAN M. PHIFER, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

RYAN M. PHIFER, P.L.S. DE No. 829

DATE

LEGEND:

- CONCRETE MONUMENT FOUND
- IRON REBAR FOUND
- ⊙ CAPPED IRON PIPE FOUND
- ⊙ CAPPED IRON PIPE TO BE SET
- - - SUBJECT BOUNDARY LINE
- - - ADJOINER BOUNDARY LINE
- BRL BUILDING RESTRICTION LINE
- EASEMENT
- WOODLINE
- UGE UNDERGROUND ELECTRIC
- ⊙ UTILITY POLE
- ⊙ ELECTRIC METER
- ⊙ TRANSFORMER
- ▭ BUILDING
- ▨ SUITABLE SEPTIC AREA
- P.O.B. POINT OF BEGINNING

LANDS NOW OR FORMERLY OF ROY F & DAVID A ROGERS TM: 234-32.00-40.00 DB 3942, PG 275 ZONE: AR-1 (AGRICULTURAL RESIDENTIAL)

LANDS NOW OR FORMERLY OF PAUL SR & JANET P OLIVA TM: 234-32.00-35.00 DB 2805, PG 72 ZONE: AR-1 (AGRICULTURAL RESIDENTIAL)

RESIDUAL LANDS (TO BE ACQUIRED BY DELDOT FOR NORTH MILLSBORO BYPASS, SEE CONTRACT NO. 1201912701 130,492 S.F (3.00 AC)

PROPOSED LOT 1 69,309 S.F (1.59 AC)

PROPOSED LOT 2 77,739 S.F (1.78 AC)

RIGHT-OF-WAY PER DELDOT CONTRACT NO.: T201912701

AREA DEDICATED TO PUBLIC USE PER P.B. 111, P.G. 236

RIGHT-OF-WAY PER P.B. 111, P.G. 236

AREA DEDICATED TO PUBLIC USE PER P.B. 111, P.G. 236

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RIGHT-OF-WAY PER P.B. 111, P.G. 236

AREA DEDICATED TO PUBLIC USE PER P.B. 111, P.G. 236

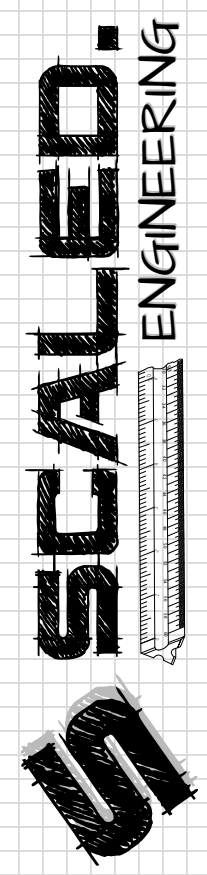
RIGHT-OF-WAY PER P.B. 111, P.G. 236

WALT CARMELAN LANE (50' RIGHT-OF-WAY, DEDICATED TO PUBLIC USE, PRIVATELY MAINTAINED)

0' 20' 40'
1" = 40'

PLOTTED: 10/27/2022 10:52 AM BY: JLF IN: D:\STYLE-SCALE\24-08

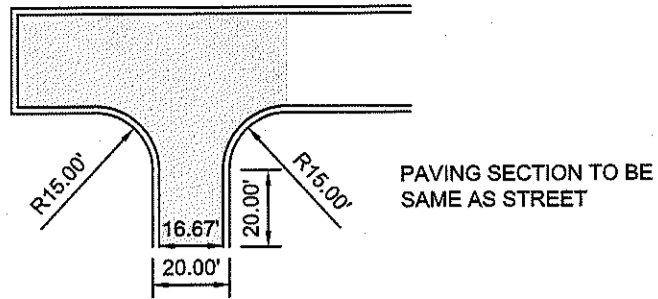
LANDS OF BRITTANY MAY BALDWIN & JOHN ALBRIGHT
TAX MAP 234-27.00-101.00
INDIAN RIVER HUNDRED, MILLSBORO, DELAWARE



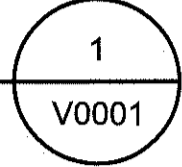
MINOR SUBDIVISION PLAN

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DATE: 10-27-22
SCALE: 1" = 40'
DRAWN BY: JRE
PROJECT NO: BBAL001



DETAIL- TURN AROUND
SCALE = 1" = 50'



LEGEND

- EXISTING BUILDING
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- ADJACENT PROPERTY LINE
- RIGHT-OF-WAY LINE
- PROPOSED B.R.L.
- CENTERLINE OF ROAD
- INGRESS/EGRESS EASEMENT
- EXISTING TREE LINE
- EXISTING 4FT FENCE
- OVERHEAD POWER LINES
- TIE LINE
- EXISTING ZONING LINES
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED PROPERTY CORNER
- CAPPED IRON PIPE FOUND
- PROPERTY CORNER NOT MARKED
- UTILITY POLE
- CONCRETE MONUMENT FOUND
- ELECTRIC PEDESTAL
- TELEPHONE PEDESTAL
- MAILBOX

WETLANDS LINE TABLE

LINE #	BEARING	DISTANCE
WL1	N 46°15'55" W	27.89'
WL2	N 39°53'15" W	29.68'
WL3	N 53°44'37" W	28.98'
WL4	N 79°57'00" W	34.32'
WL5	S 78°36'42" W	34.85'
WL6	N 84°36'53" W	28.33'
WL7	N 74°28'32" W	43.64'
WL8	N 59°21'25" W	28.25'
WL9	N 59°27'51" W	32.31'
WL10	N 59°27'51" W	32.31'
WL11	N 23°55'53" W	12.26'
WL12	N 49°21'00" W	22.05'
WL13	S 54°31'04" W	22.02'
WL14	N 17°59'11" W	26.27'
WL15	N 77°06'15" W	38.10'
WL16	N 42°19'14" E	11.44'
WL17	N 59°22'39" W	18.43'
WL18	N 25°50'10" E	5.35'
WL19	N 60°18'47" W	13.41'
WL20	N 30°01'08" W	30.94'
WL21	N 68°56'12" W	11.02'
WL22	S 80°52'33" W	32.14'
WL23	S 08°40'01" W	6.94'
WL24	S 48°00'32" W	26.67'
WL25	N 49°23'47" W	19.03'
WL26	S 61°27'38" W	23.29'
WL27	S 46°10'11" W	10.46'
WL28	S 02°55'04" E	25.12'
WL29	S 69°35'35" W	35.28'

DELDOT NOTES:

- ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- PARCEL A, PARCEL B AND PARCEL C SHALL HAVE ACCESS TO SALON ROAD SCR 049 VIA THE 50-FOOT WIDE CROSS ACCESS EASEMENT.
- PARCEL A SHALL HAVE ACCESS FROM SLOAN ROAD SCR 049, IN WHICH THE ENTRANCE SHALL BE ALONG THE NORTHERN PROPERTY LINE. SHOULD ADDITIONAL LOTS EVER BE DEVELOPED FROM THE RESIDUAL LANDS, THEN THE SINGLE ACCESS SHALL BE CONVERTED TO COMBINED ACCESS.

GENERAL NOTES:

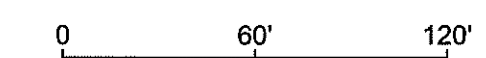
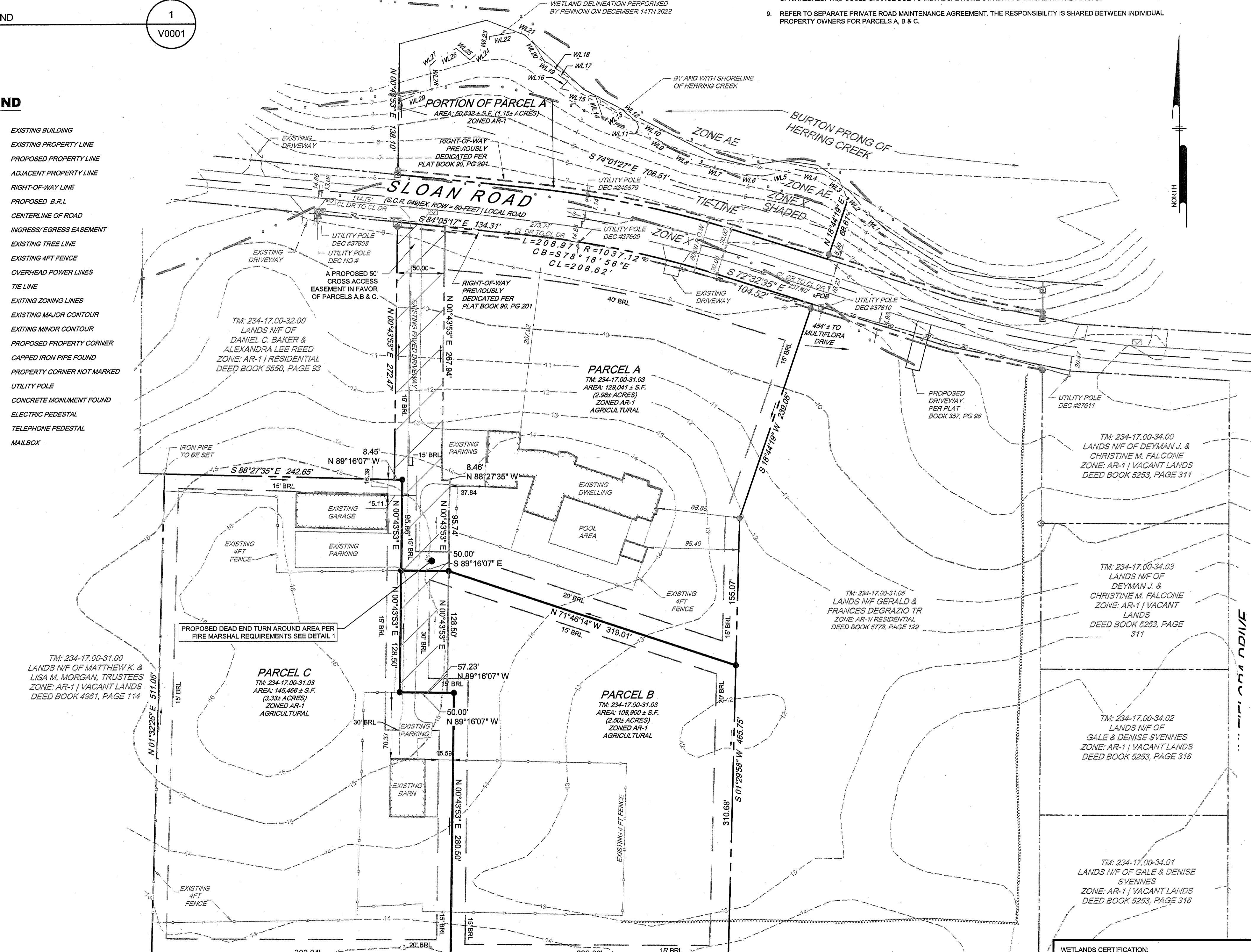
- THE BOUNDARY INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD. PLAT REFERENCE 357, PG. 96. BOUNDARY SURVEY FOR PARCEL 234-17.00-31.03 PERFORMED BY PENNONI IN OCT 2022.
- THIS SURVEY DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHTS OF WAY CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS REQUESTED OR PROVIDED, OTHER THAN THOSE SHOWN.
- THIS PROPERTY APPEARS ON SUSSEX COUNTY TAX MAP AS 234-17.00-31.03.
- CLASS OF SURVEY: SUBURBAN
- THERE ARE WETLAND AREAS ON THE PROPERTY, PER THE DNREC ENVIRONMENTAL NAVIGATOR WEBSITE. WETLANDS ARE DEPICTED ALONG HERRING CREEK AS DELINEATED BY PENNONI ASSOCIATES ON DECEMBER 14TH, 2022.
- THE PROPERTY IS LOCATED IN ZONES "X", "X" WITH 0.2% MINIMAL FLOOD HAZARD, AND "AE" ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 10005C031K, MAPS REVISED MARCH 16, 2015. ZONE "X" IS AN AREA DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN. ZONE "AE" IS AN AREA DETERMINED TO HAVE SPECIAL FLOOD HAZARD.
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS
- TYPICAL RESIDENTIAL HOME CONSTRUCTION IS WOOD FRAME - NFPA TYPE V (000). IT IS ASSUMED THE HOUSES WILL NOT BE SPRINKLERED. THIS COULD CHANGE DUE TO INDIVIDUAL HOME OWNER AND BUILDER IN THE FUTURE.
- REFER TO SEPARATE PRIVATE ROAD MAINTENANCE AGREEMENT. THE RESPONSIBILITY IS SHARED BETWEEN INDIVIDUAL PROPERTY OWNERS FOR PARCELS A, B & C.



LOCATION MAP
Scale: 1" = 2000'

SITE DATA:

- TAX MAP NUMBERS: 234-17.00-31.03
- OWNER INFO: MICHELE L. REED, 27638 STERLING BLVD, MILLSBORO, DE 19966
- SITE ADDRESS: 23556 SLOAN ROAD, HARBESON, DE 19951, INDIAN RIVER HUNDRED
- EXISTING TOTAL ACREAGE: 10.56 ACRES±
- PROPOSED ACREAGE: PARCEL A: 2.96 ACRES±, PARCEL B: 2.50 ACRES±, PARCEL C: 3.33 ACRES±, ROW DEDICATION: 0.10 ACRES±, EASEMENT ACCESS: 0.50 ACRES±
- TOTAL NUMBER OF LOTS: 1 EXISTING, 3 PROPOSED
- MONUMENTS FOUND: 8
- MONUMENTS TO BE SET: 7
- FUTURE LAND USE AREA: LOW DENSITY (SUSSEX COUNTY COMPREHENSIVE PLAN, JUNE 2018)
- ZONING: AR-1
- PRESENT USE: RESIDENTIAL
- PROPOSED USE: RESIDENTIAL
- SEWER PROVIDER: ON-SITE PRIVATE SEPTIC
- WATER PROVIDER: ON-SITE PRIVATE WELL
- SECTION 187-SOURCE WATER PROTECTION: A. SUBJECT PROPERTY IS WITHIN AN AREA OF "GOOD" GROUNDWATER RECHARGE POTENTIAL. B. SUBJECT PROPERTY IS NOT LOCATED IN WELLHEAD PROTECTION AREA.
- DISTANCE TO NEAREST INTERSECTION: 454± (MULTIFLORA DR)
- PROXIMITY TO (TID): N/A
- POSTED SPEED LIMIT: 30 MPH
- BUILDING RESTRICTION LINES: PARCEL A: FRONT - 40', SIDE - 15', REAR - 20'; PARCEL B: FRONT (ALONG THE 57.23' PROPERTY LINE) - 15', SIDE - 15', REAR - 20'; PARCEL C: FRONT (ALONG THE 57.23' PROPERTY LINE) - 30', CORNER FRONT (ALONG THE 128.50' PROPERTY LINE) - 15', SIDE - 15', REAR - 20'
- MAXIMUM BUILDING HEIGHT: (115-25D) 42 FEET MAX.
- LOCAL GOVERNMENT RESPONSIBLE: SUSSEX COUNTY FOR LAND USE APPROVAL
- 2020 STATE INVESTMENT AREA: LEVEL 2
- SCHOOL DISTRICT: CAPE HENLOPEN SCHOOL DISTRICT
- FIRE DISTRICT: (80) INDIAN RIVER FIRE STATION
- WATER SHED: REHOBOTH BAY
- DATUM: HORIZONTAL = NAD83, VERTICAL = NAVD88



WETLANDS CERTIFICATION:

I, MICHAEL MARRA, PWS, DO HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THE INFORMATION CONTAINED IN THE PLANS SPECIFICATIONS AND REPORTS HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENVIRONMENTAL PRACTICES, IS TRUE AND CORRECT, AND IS IN CONFORMANCE WITH THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM.

SIGNATURE: MICHAEL MARRA, PWS NO. 3557
PENNONI ASSOCIATES, INC
18072 DAVIDSON DRIVE
MILTON, DE 19966
OFFICE (302) 684-8030 - FAX (302) 684-8054
MMARRA@PENNONI.COM

OWNER CERTIFICATION:

IT IS HEREBY CERTIFIED THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE: MICHELE REED
27638 STERLING BLVD.
MILLSBORO, DE 19951 (302) 265-7400

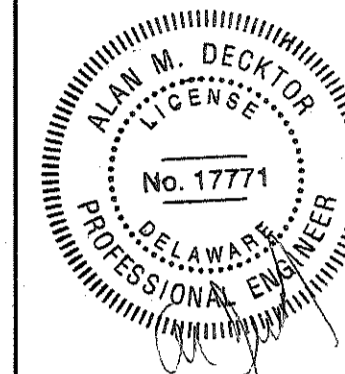
ENGINEER CERTIFICATION:

IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE

SIGNATURE: ALAN M. DEKTOR, PE (DE PE#17771)
PENNONI ASSOCIATES, INC
18072 DAVIDSON DRIVE MILTON, DE 19968
ADEKTOR@PENNONI.COM (302) 684-8030

Pennoni
PENNONI ASSOCIATES INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968
T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK



TM: 234-17.00-31.03
LANDS N/F MICHELE REED
23556 SLOAN ROAD, HARBESON, DE 19951
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

MINOR SUBDIVISION PLAN

REED VENTURES
28855 LEVES-GEORGETOWN HIGHWAY
LEWES, DE 19958

NO.	DATE	REVISIONS	BY
1	2022-12-21	REVISED PER COMMENTS RECEIVED 2022-12-08	SJD

PROJECT: REEDV22001

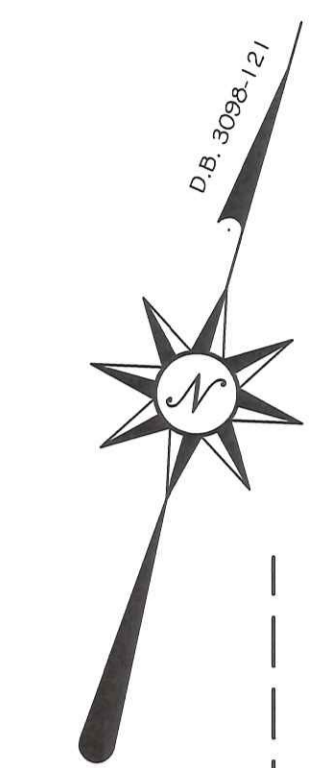
DATE: 2022-10-25

DRAWING SCALE: 1" = 60'

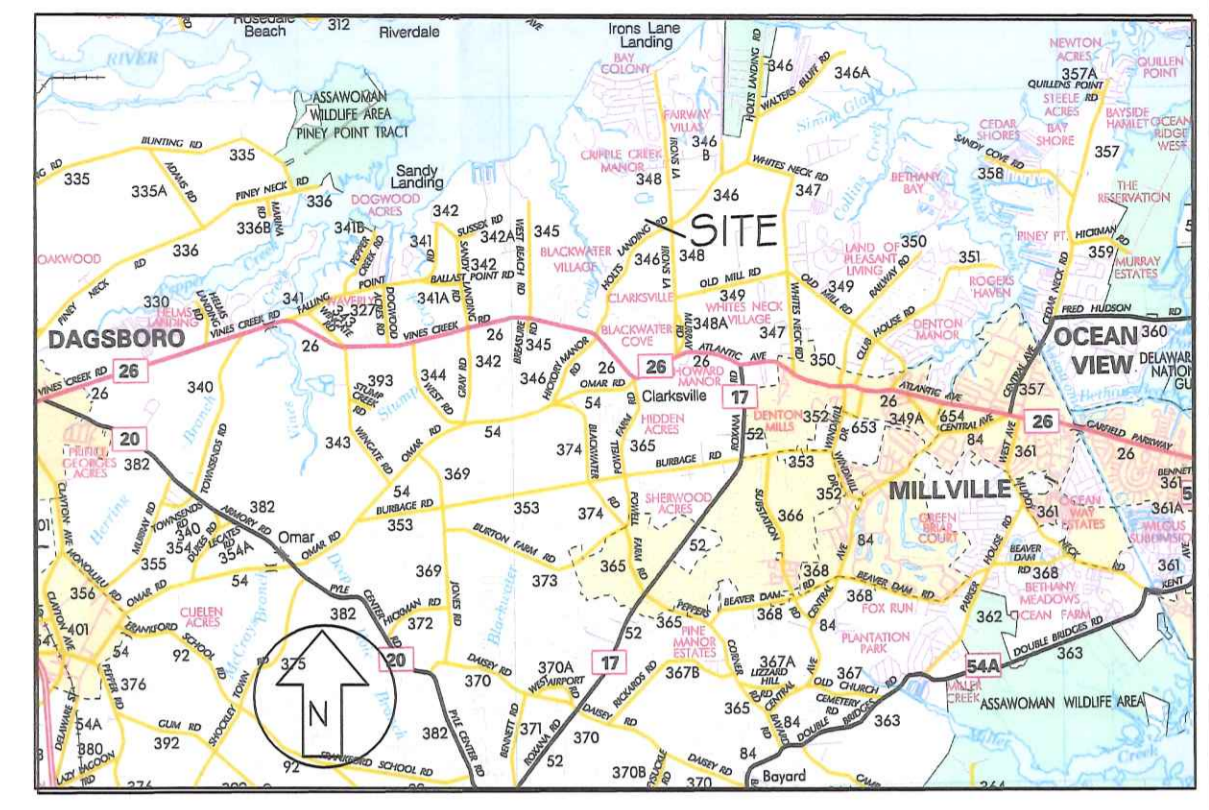
DRAWN BY: LAC

APPROVED BY: AMD

V-0001
SHEET 1 OF 1



N/F
DAVID L. BANKS
D.B. 4497-264
T.M. 134-7.00-126.01
ZONING: AR-1



VICINITY MAP

N/F
ROBERT HICKMAN PROPERTIES
D.B. 3632-291
T.M. 134-7.00-126.03
ZONING: AR-1

N/F
GARY GAYTON
D.B. 3517-309
T.M. 134-7.00-129.00

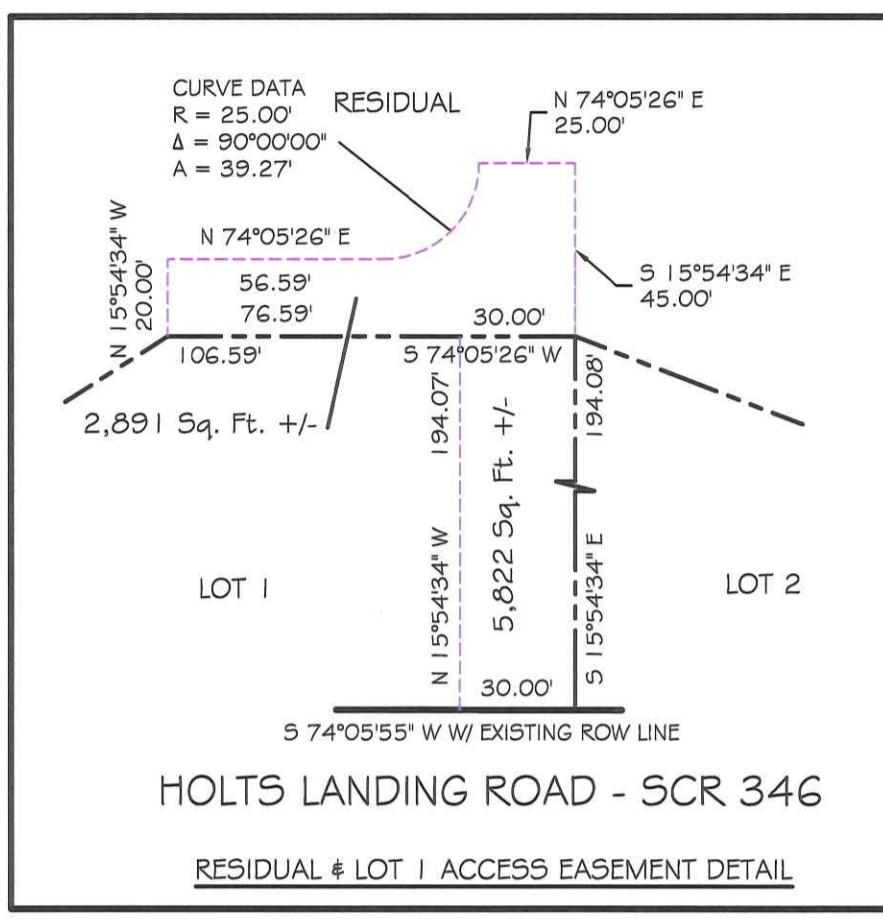
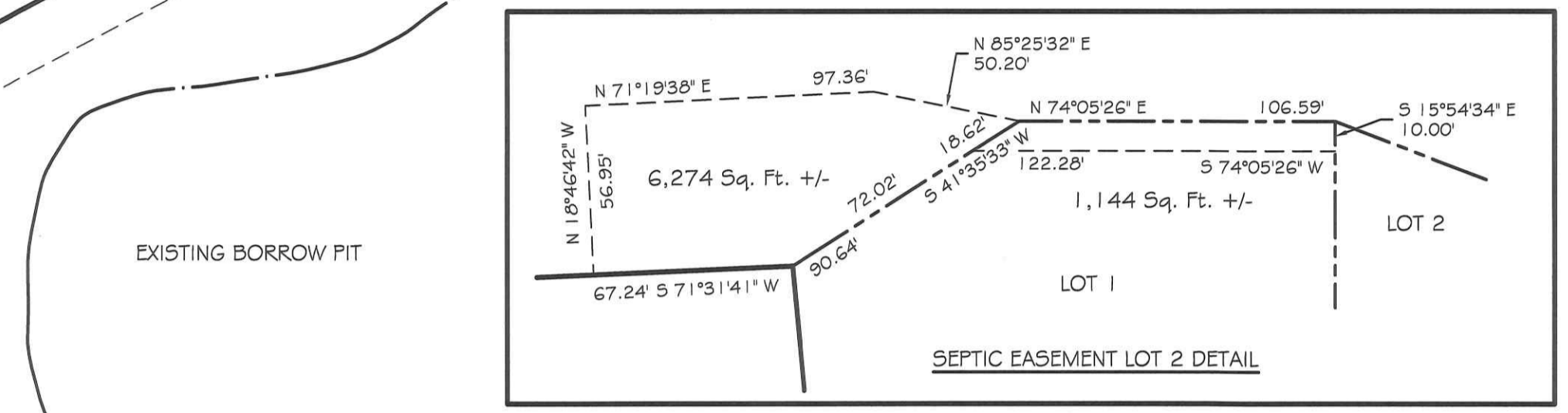
N/F
CAROL MOSS, FREDERICK J. & GLADYS J. WERNER
T.M. 134-7.00-130.00
ZONING: AR-1

N/F
BRICE H. HICKMAN
D.B. 4927-0
T.M. 134-7.00-131.00
ZONING: AR-1

N/F
DONALD G. & LAURA S. HATTIER
D.B. 2963-239
T.M. 134-7.00-132.00
ZONING: AR-1

N/F
PATRICK & KATHLEEN M. RUSSO
D.B. 5233-131
T.M. 134-7.00-133.00
ZONING: AR-1

N/F
ELTON M. & DONNA L. MURRAY
D.B. 2762-249
T.M. 134-7.00-135.01
ZONING: AR-1



RESIDUAL
9.140 Acres +/-
5.3063 Acres +/- OPEN AREA

RESIDUAL
9.140 Acres +/-
5.3063 Acres +/- OPEN AREA

N/F
DONALD G. & LAURA S. HATTIER
D.B. 2265-297
T.M. 134-7.00-126.04
ZONING: AR-1

N/F
HOWARD L. HEIL
D.B. 5007-294
T.M. 134-7.00-136.00
ZONING: AR-1

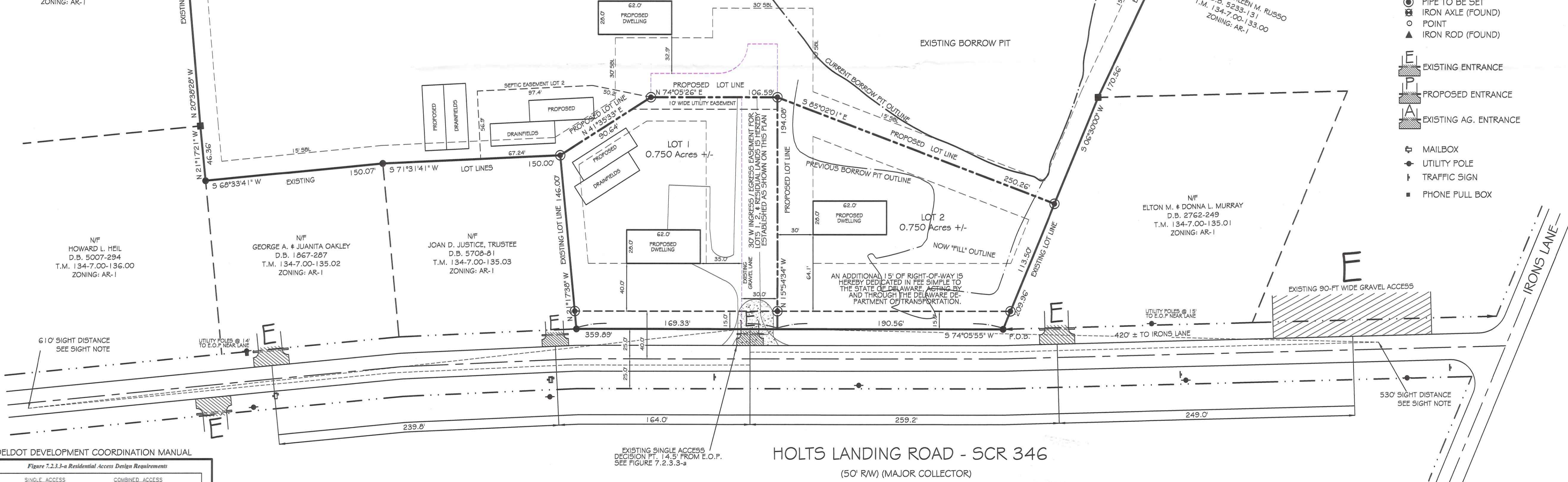
N/F
GEORGE A. & JUANITA OAKLEY
D.B. 1967-287
T.M. 134-7.00-135.02
ZONING: AR-1

N/F
JOAN D. JUSTICE, TRUSTEE
D.B. 5708-81
T.M. 134-7.00-135.03
ZONING: AR-1

- CONCRETE MON (FOUND)
- IRON PIPE (FOUND)
- PIPE TO BE SET
- ⊕ IRON AXLE (FOUND)
- POINT
- ▲ IRON ROD (FOUND)
- ⌂ EXISTING ENTRANCE
- ⌂ PROPOSED ENTRANCE
- ⌂ EXISTING AG. ENTRANCE
- Ⓜ MAILBOX
- Ⓣ UTILITY POLE
- Ⓣ TRAFFIC SIGN
- ☎ PHONE PULL BOX

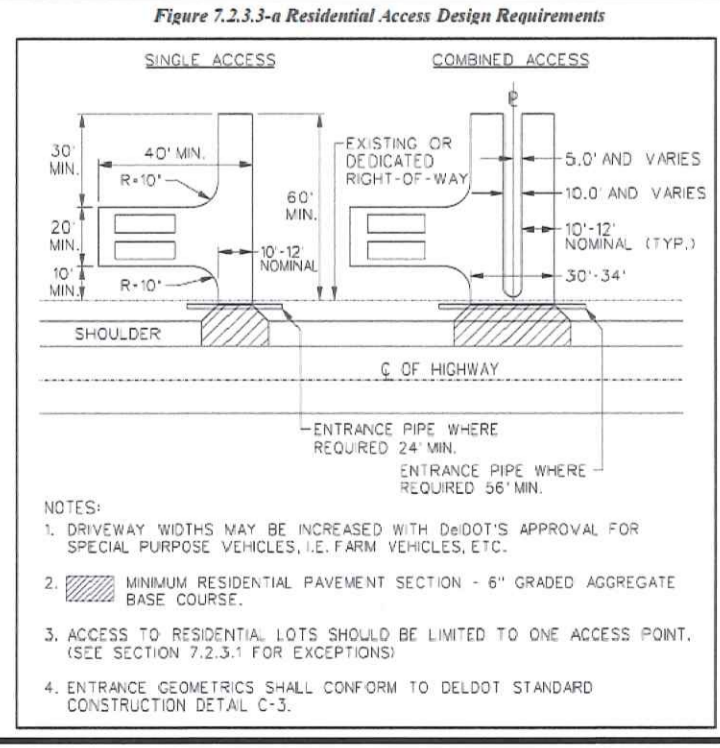
DATA COLUMN:
 T.M.#134-7.00-135.00
 ZONING: AR-1
SETBACK REQUIREMENTS:
 FRONT: 40' (FROM DEDICATION LINE)
 SIDE: 15'
 REAR: 20'
TRACT AREA: 10.64 ACRES±
EXISTING LOTS: 1
PROPOSED LOTS: 3 TOTAL INCLUDING RESIDUAL LANDS
PRESENT USE: AGRICULTURAL
PROPOSED USE: AGRICULTURAL/RESIDENTIAL
ACCESS: S.C.R. 346 (HOLTS LANDING ROAD)
ROADWAY CLASSIFICATION: MAJOR COLLECTOR
WATER AND SEWER: INDIVIDUAL ON-SITE
100 YEAR FLOODPLAIN: SITE IS NOT IMPACTED
AS PER FIRM #10005C0484K DATED 3/16/15
THIS PROJECT IS NOT IN THE PROXIMITY OF A TID
SPEED LIMIT ON HOLTS LANDING RD. IS 50 MPH (UNPOSTED)

- GENERAL NOTES:**
- IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
 - ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATIONS (DEL.D.O.T.'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
 - THERE IS A FIFTY FOOT BUILDING SETBACK FROM LANDS USED FOR AGRICULTURAL PURPOSES.
 - LOTS 1, 2, AND THE RESIDUAL LANDS SHALL HAVE ACCESS TO SCR 346 VIA THE 50' WIDE INGRESS & EGRESS EASEMENT AS SHOWN ON THE PLAN.
 - ENTRANCES TO PRIVATE STREETS SERVING MULTIPLE RESIDENTIAL LOTS SHOULD BE PAVED FROM THE EDGE OF THE TRAVEL LANE TO THE ROW LINE (AT A MINIMUM) WITH A DRIVEWAY THROAT WIDTH OF 16 TO 24 FT. REFER TO DELDOT DEVELOPMENT COORDINATION MANUAL REFERENCE 3.3.3.
 - PRIVATE MAINTENANCE: PRIVATE STREETS WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THE SUBDIVISION OR BOTH (TITLE 17, SECTION 131). DELDOT ASSUMES NO RESPONSIBILITY FOR THE MAINTENANCE FOR THESE STREETS.
 - AN ADDITIONAL 15-FT OF RIGHT-OF-WAY IS HEREBY DEDICATED IN FEE SIMPLE TO THE STATE OF DELAWARE, ACTING BY AND THROUGH THE DELAWARE DEPARTMENT OF TRANSPORTATION.
 - THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE.
 - NO MORE BACKFILLING OF THE PREVIOUS BORROW PIT SHALL OCCUR UNLESS A "CONDITIONAL USE APPLICATION" HAS BEEN APPROVED BY THE COUNTY.
 - WATERS OF THE UNITED STATES (WOTUS) NOTE: WATERS ASSOCIATED WITH THIS BORROW PIT EXCAVATED IN UPLANDS, PER EXCLUSION (b)(8) ARE NOT JURISDICTIONAL BY THE CORPUS.



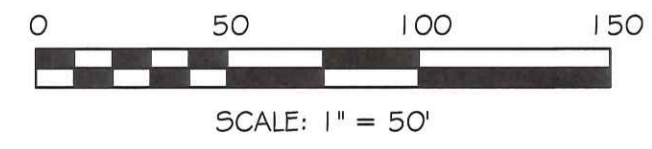
HOLTS LANDING ROAD - SCR 346
(50' R/W) (MAJOR COLLECTOR)

DELDOT DEVELOPMENT COORDINATION MANUAL



FIRE MARSHAL NOTES:
 MAX HEIGHT: 3 STORIES, 42 FEET
 CONSTRUCTION TYPE: NFPA TYPE: V
 ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PROTECTION REGULATIONS.
 PROPOSED USE: AUTO ACCESSORY STORE
 EXISTING BUILDING AREA: 11,792 SQ. FT. ±
 LOCATION OF FIRE LANES, THEIR WIDTHS, AND THEIR MARKINGS, FIRE LANE SIGNS, WORDING AND 4' LINES OF DEMARCATION, AND YELLOW PAINTED CURBING ARE TO BE SHOWN ON THE PLAN WHERE APPLICABLE.
 THE BUILDING SHALL BE ACCESSIBLE TO EMERGENCY APPARATUS
 AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.

- LEGEND:**
- EXISTING RIGHT-OF-WAY LINE
 - - - PROPOSED RIGHT-OF-WAY LINE
 - EXISTING LOT LINE
 - - - PROPOSED LOT LINE
 - LINE TO BE REMOVED CENTERLINE
 - NEXT PROPERTY LINE
 - DITCH LINE
 - EDGE OF PAVING
 - INGRESS/EGRESS EASEMENT LINE
 - SIGHT TRIANGLE LINE
 - SETBACK LINE
 - BORROW PIT OUTLINE LINE



SCALE: 1" = 50'

DATE	REVISION
9/12/2022	DELDOT COMMENTS
10/24/2022	RE P & Z COMMENTS 10/18/22

MILLER LEWIS, INC.
 LAND SURVEYING
 1560 MIDDLEFORD RD.
 SEAFORD, DELAWARE 19973
 PH: 302-629-9895 FAX: 302-629-2391

MINOR SUBDIVISION PLAN FOR M & M PROPERTIES

MAILING ADDRESS: 29034 CAT MANS ROAD
FRANKFORD, DE. 19945
Ph: 302-841-1643

HUNDRED	COUNTY
BALTIMORE	SUSSEX
STATE	DRAWN BY
DELAWARE	SMS
REF.	FILE NO.
	M & M PROPERTIES 1-34-7-135

AUGUST 23, 2022
DB 3098-121

Revised Plan



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

NICOLE MAJESKI
SECRETARY

September 20, 2022

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

SUBJECT: Minor Subdivision - Letter of No Objection to Recordation
TONY MORGAN
Tax Parcel # 134-7.00-135.00
Holts Landing Road (SCR346)
Baltimore Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Minor Subdivision Plan dated August 23, 2022 (last revised September 12, 2022), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawing. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Minor Subdivision Plan is not recorded and/or an entrance permit is not issued for the lot(s) prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

Entrances(s) must be installed prior to the sale of the lot(s). All entrances shall conform to DelDOT's Development Coordination Manual and shall be subject to its approval. **This letter does not authorize the commencement of entrance construction.**

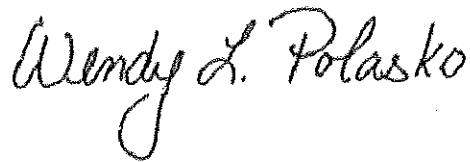
This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other

TONY MORGAN
Mr. Jamie Whitehouse
Page 2
September 20, 2022

reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

The owner shall be responsible to submit a copy of the **recorded Minor Subdivision Plan** showing all appropriate signatures, seals, plot book and page number to the South District Public Works office (302) 853-1341 in order to obtain the entrance permit(s) for the proposed minor subdivision.

Sincerely,



Wendy L. Polasko, P.E.
Subdivision Engineer
Development Coordination

cc: Stephen Sellers, Miller Lewis
Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Matt Schlitter, South District Public Works Engineer
James Argo, South District Project Reviewer
James Smith, South District Entrance Permit Supervisor
Shannon Anderson, South District Public Work Admin Specialist
Kevin Hickman, Sussex County Review Coordinator
Thomas Gagnon, Sussex County Reviewer

RECEIVED

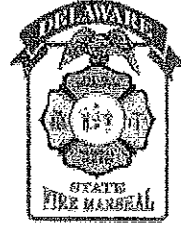
DEC 16 2022

SUSSEX COUNTY
PLANNING & ZONING



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT – SHALL BE POSTED ON JOBSITE UNTIL FINAL INSPECTION

Plan Review Number: 2022-04-211811-MIS-01

Tax Parcel Number: 134-7.00-135.00

Status: Approved as Submitted

Date: 09/27/2022

Project

M & M Properties LLC Minor Subdivision
M & M Properties LLC

30554 Holts Landing Road
Dagsboro DE 19939

Scope of Project

Number of Stories:
Square Footage:
Construction Class:
Fire District: 84 - Millville Volunteer Fire Co

Occupant Load Inside:
Occupancy Code: 9601

Applicant

Stephen M Sellers
1560 Road 535
Seaford, DE 19973


This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:



Desiree McCall

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2022-04-211811-MIS-01

Tax Parcel Number: 134-7.00-135.00

Status: Approved as Submitted

Date: 09/27/2022

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) ADOPTED September 1, 2021. The Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1010 A** The following water for fire protection requirements apply: NONE. On-Site Wells Proposed. this site meets Water Flow Table 1. therefore the provisions of NFPA 1142 shall apply to this site (DSFPR Regulation 702, Chapter 6, Section 3). Since wells are proposed for this site, no additional requirements will be made by this Agency for water for fire protection.
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1190 A** Separate plan submittal is required for the building(s) proposed for this project.
- 1171 A** Any dead end road more than 300 feet in length shall be provided with a turn around or cul-de-sac arranged such that emergency apparatus will be able to turn around by making not more than one backing maneuver. Any turn-arounds and cul-de-sacs shall be designed in accordance with DSFPR Regulation 705, Chapter 2, Sections 2.3, 2.3.1, and 2.3.
- 1093 A** In the case of one and two-family dwellings emergency service access shall be provided in such a manner so that emergency apparatus will be able to locate within 100 feet from the street to the primary entrance. Where alleys are provided, pumpers shall be able to access all portions of the alley without strict restrictions for entrance radii. (DSFPR Regulation 705, Chapter 5, Sections 2.2 and 2.2.1).
- 1501 A** If there are any questions about the above referenced comments please feel

free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.

MINOR SUBDIVISION PLAN NOTES

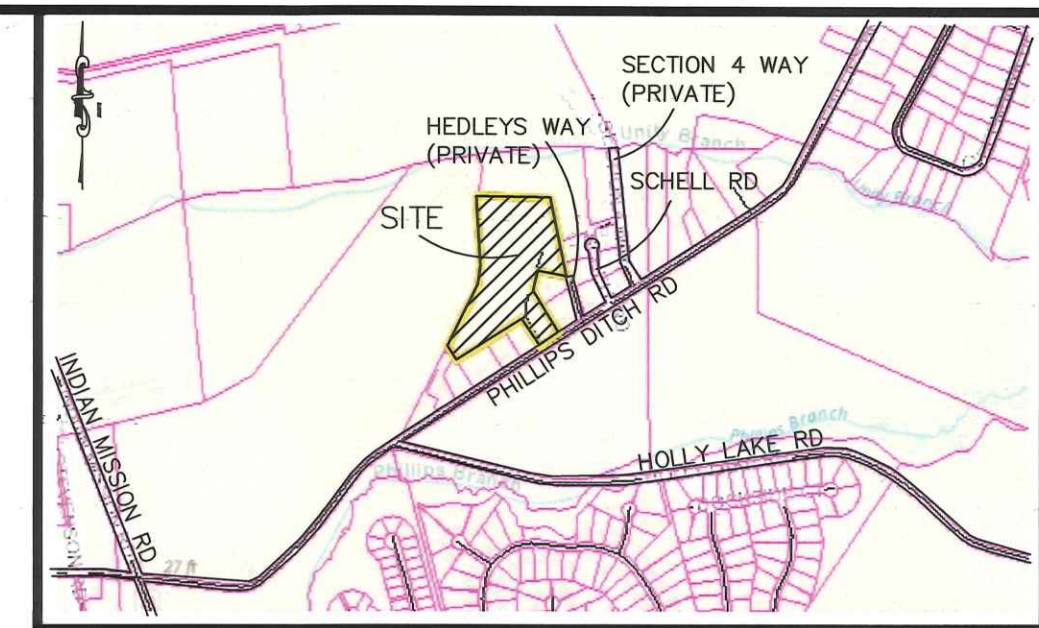
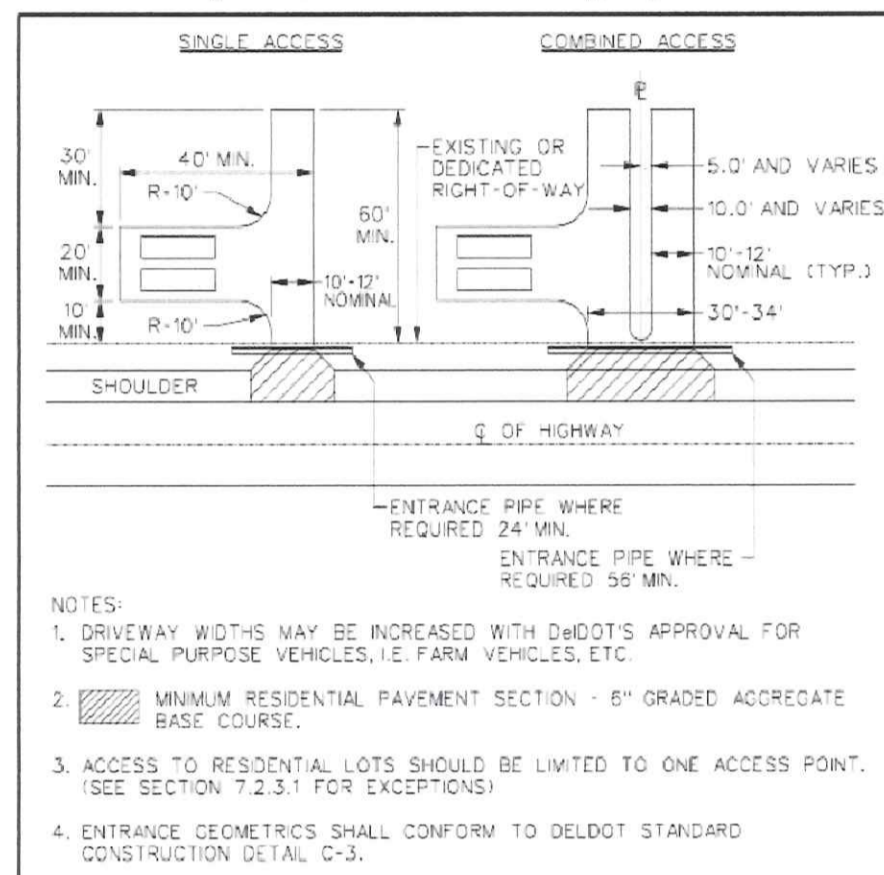
1. ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
2. SHRUBBERY, PLANTINGS, SIGNS AND/OR VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
3. IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
4. LOT 1 AND RESIDUAL SHALL HAVE ACCESS TO SCR302 VIA THE EXISTING 50' WIDE INGRESS/EGRESS EASEMENT.
5. ENTRANCES TO PRIVATE STREETS SERVING MULTIPLE RESIDENTIAL LOTS SHOULD BE PAVED, FROM THE EDGE OF THE TRAVEL LANE TO THE ROW LINE (AT A MINIMUM), WITH A DRIVEWAY/THROAT WIDTH OF 16 TO 24 FEET. REFER TO DELDOT DCM SECTION 3.3.3.
6. PRIVATE STREETS WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17, SECTION 133). DELDOT ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.

FIRE MARSHAL NOTES

1. ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
2. THE SITE OCCUPANT GIVES PERMISSION TO THE FIRE DEPARTMENT TO REMOVE ANY LOCKS THAT MAY IMPEDE ACCESS TO THE SITE.
3. AUTOMATIC SPRINKLER SYSTEMS ARE NOT PROPOSED FOR ANY DWELLINGS ERRECTED ON THIS PROPERTY.

DelDOT Development Coordination Manual

Figure 7.2.3.3-a Residential Access Design Requirements



LOCATION MAP
1" = 1/2 MILE

LEGEND

●	POINT
○	IRON PIPE/REBAR FOUND
○	IRON REBAR TO BE SET
---	EXISTING PROPERTY LINE / EXISTING R.O.W. LINE
---	PROPOSED PROPERTY LINE / PROPOSED R.O.W. LINE
---	ADJACENT PROPERTY LINE
---	EXISTING EDGE OF PAVEMENT
---	EXISTING ROAD CENTERLINE
---	EXISTING GRAVEL DRIVE
---	BUILDING RESTRICTION LINE
---	EASEMENT
○	UTILITY POLE
□	EXISTING TRANSFORMER

- NOTES
1. TITLE REFERENCED TO DEED BOOK 5501, PAGE 153.
 2. SUBJECT TO ANY AND ALL RESTRICTIONS, RESERVATIONS, CONDITIONS, EASEMENTS & AGREEMENTS OF RECORD IN THE OFFICE OF RECORDER OF DEEDS, SUSSEX COUNTY, DE.
 3. THIS SURVEY DOES NOT CERTIFY AS TO THE EXISTENCE OR NON-EXISTENCE OF ANY EASEMENTS OR RIGHT-OF-WAYS AFFECTING THE PROPERTIES SHOWN HEREIN.
 4. THIS PARCEL CONTAINS NO WETLANDS PER PUBLICLY AVAILABLE SOURCES. NO DELINEATION WAS PERFORMED OR PROVIDED.
 5. FEMA FLOOD ZONE "X" PER PANEL 1000500340K, EFF. MARCH 16, 2015.
 6. THE OWNERS OF PROPOSED LOT 1 AND THE RESIDUAL LANDS SHALL SHARE RESPONSIBILITY FOR MAINTENANCE AND USE OF THE PROPOSED 10' UTILITY EASEMENT SHOWN ON THIS PLAN.

SITE DATA

1. TAX MAP NUMBER	234-17.00-11.09
2. CURRENT ZONING:	AR-1
3. AREAS	TOTAL 529,192 ±s.f. 12.15± Acres RESIDUAL 407,555 ±s.f. 9.36± Acres LOT 1 121,625 ±s.f. 2.79± Acres
4. USE	PRESENT: RESIDENTIAL PROPOSED: SAME
5. STREETS	TO REMAIN PRIVATE
6. ACCESS	PRIVATE
7. MAINTENANCE	STREETS TO BE MAINTAINED BY OWNER AND/OR HOMEOWNERS ASSOCIATION
8. SETBACKS	FRONT: 40' PHILLIPS BRANCH RD., 30' (HOLLAND RD), SIDE: 15', REAR: 20'
9. SPEED LIMIT	45 MPH (PHILLIPS BRANCH ROAD, POSTED)
10. SEWER	PRIVATE ON-SITE
11. WATER	PRIVATE ON-SITE
12. EXISTING LOTS	1
13. TIDS	2 (INCLUDING RESIDUAL)
14. FLOOD ZONE	-1 MILE OUTSIDE OF HENLOPEN TID
15. MAX BLDG HEIGHT	42.0'
16. WETLAND AREA	NO WETLANDS PER PUBLICLY AVAILABLE SOURCES

GENERAL PROJECT

1. Owner/Developer	JOHN C. HOLLAND III & CAROL HOLLAND 23795 HOLLAND RD MILLSBORO, DE 19966 (302)-228-8300
2. Civil/Site Engineer	COTTEN ENGINEERING LLC 10087 CONCORD RD SEAFORD, DELAWARE 19973 Phone/Fax: (302) 628-9164 c/o: Michael S. Cotten, P.E.
3. Surveyor	COTTEN ENGINEERING LLC 10087 CONCORD RD SEAFORD, DELAWARE 19973 Phone/Fax: (302) 628-9164 c/o: Michael S. Cotten, P.E.

4. The project is located on the northern side of Phillips Branch Road (SCR 302), local, 50' wide R.O.W.
5. Class "C" Survey
6. This Survey does not certify to the location and/or existence of easements and Right-of-Ways crossing subject property other than those shown, as no title search was provided.

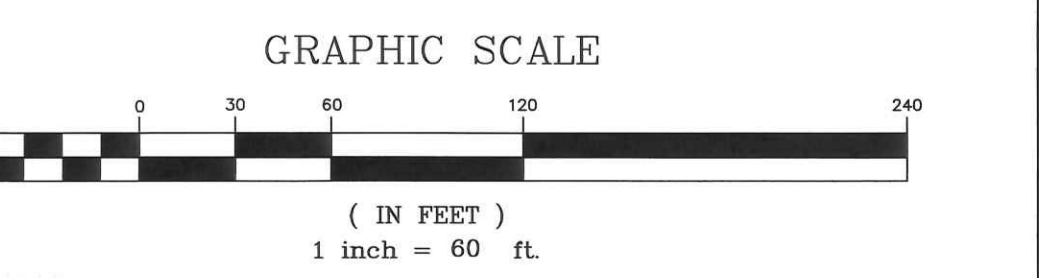
WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DISCRETION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT WE DESIRE THE PLAN TO BE RECORDED ACCORDING TO THE LAW.

Carol Holland
CAROL HOLLAND, OWNER
DATE: 1/4/23

John C. Holland III
JOHN HOLLAND III, OWNER
DATE: 1/4/23

DESIGNER/ENGINEER SIGNATURE
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN MADE UNDER MY SUPERVISION AND COMPLIES WITH THE LAWS OF SUSSEX COUNTY AND THE STATE OF DELAWARE.

Michael S. Cotten
MICHAEL S. COTTEN, P.E.
DATE: 1/4/23



- PRIOR TO ANY CONSTRUCTION ACTIVITIES, PERMITS AND/OR APPROVALS MAY BE REQUIRED FROM:
- A) SUSSEX CONSERVATION DISTRICT.....(302) 856-7219
 - B) FIRE MARSHAL.....(302) 856-5298
 - C) SUSSEX COUNTY UTILITY CONSTRUCTION DIVISION.....(302) 855-7717
 - D) DELAWARE HEALTH & SOCIAL SERVICES-DIVISION OF HEALTH.....(302) 739-7431
 - E) SUSSEX COUNTY ASSESSMENT OFFICE.....(302) 855-7824
 - F) SUSSEX COUNTY PLANNING AND ZONING.....(302) 855-7878
 - G) DELDOT.....(302) 853-1340
 - H) DNREC.....(302) 739-5931

#	1.	INITIAL SUBMISSION	10/04/22
	2.	REQUEST FOR FINAL PLANS	11/01/22
	3.	REVISED PER COUNTY COMMENTS	12/15/22
	4.		
	5.		
	6.		

MINOR SUBDIVISION OF LANDS
OF CAROL HOLLAND +
JOHN HOLLAND III
COTTEN ENGINEERING LLC
CIVIL ENGINEERING, SURVEYING, ENVIRONMENTAL PLANNING
CONSULTANTS
10087 CONCORD RD.
SEAFORD, DE 19973
PH: (302) 628-9164
FAX: (302) 628-9164



MINOR SUBDIVISION PLAN
OF LANDS N/F OF
JOHN HOLLAND III & CAROL HOLLAND
23795 HOLLAND ROAD
MILLSBORO, DE 19966
INDIAN RIVER HUNDRED
SUSSEX COUNTY, DELAWARE
TM# 234-17.00-11.09

SCALE: AS SHOWN
DESIGNED: CE
PLANNED: CE
DRAWN: JCD
APPROVED: MC
JOB: 22-330
SHEET NO. 1 OF 1



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

NICOLE MAJESKI
SECRETARY

November 09, 2022

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

**SUBJECT: Minor Subdivision - Letter of No Objection to Recordation
Lands of John Holland III & Carol Holland
Tax Parcel # 234-17.00-11.09
SCR00302-PHILLIPS BRANCH ROAD
Indian River Hundred, Sussex County**

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Minor Subdivision Plan dated October 04, 2022 (last revised November 1, 2022), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawing. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Minor Subdivision Plan is not recorded and/or an entrance permit is not issued for the lot(s) prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

Entrances(s) must be installed prior to the sale of the lot(s). All entrances shall conform to DeIDOT's [Development Coordination Manual](#) and shall be subject to its approval. **This letter does not authorize the commencement of entrance construction.**

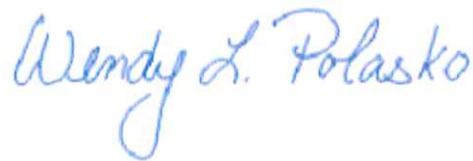
This "No Objection to Recordation" letter is not a DeIDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DeIDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There may be other

Lands of John Holland III & Carol Holland
Mr. Jamie Whitehouse
Page 2
November 09, 2022

reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

The owner shall be responsible to submit a copy of the **recorded Minor Subdivision Plan** showing all appropriate signatures, seals, plot book and page number to the South District Public Works office (302) 853-1341 in order to obtain the entrance permit(s) for the proposed minor subdivision.

Sincerely,



Wendy L. Polasko, P.E.
Subdivision Engineer
Development Coordination

cc: John Darden, Cotten Engineering, LLC
Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Matt Schlitter, South District Public Works Engineer
James Argo, South District Project Reviewer
James Smith, South District Entrance Permit Supervisor
Shannon Anderson, South District Public Work Admin Specialist
Kevin Hickman, Sussex County Review Coordinator
Thomas Gagnon, Sussex County Reviewer



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT – SHALL BE POSTED ON JOBSITE UNTIL FINAL INSPECTION

Plan Review Number: 2022-04-212636-MIS-01

Tax Parcel Number: 234-17.00-11.09

Status: Approved as Submitted

Date: 12/28/2022

Project

Holland Subdivision

23789 Holland Road

Holland Property

Millsboro DE 19966

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 80 - Indian River Volunteer Fire Co.,
Inc.

Occupant Load Inside:

Occupancy Code: 9601

Applicant

Elizabeth Cotton
3154 Riva Road
Riva, MD 21140


This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:


John Colpo
Fire Protection Specialist

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2022-04-212636-MIS-01

Tax Parcel Number: 234-17.00-11.09

Status: Approved as Submitted

Date: 12/28/2022

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) ADOPTED September 1, 2021. The Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1010 A** The following water for fire protection requirements apply: NONE. On-Site Wells Proposed. this site meets Water Flow Table 1. therefore the provisions of NFPA 1142 shall apply to this site (DSFPR Regulation 702, Chapter 6, Section 3). Since wells are proposed for this site, no additional requirements will be made by this Agency for water for fire protection.
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1501 A** If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.

Cotten Engineering, LLC

Mike Cotten, P.E.

10087 Concord Road
Seaford, De 19973

P. 302-628-9164
F. 302-628-9164

e-mail:

mcotten_eng@yahoo.com

Engineering

Surveying

*Management
Consultant*

December 15, 2022

Sussex County Planning and Zoning
2 The Circle
Georgetown, DE 19947
Attn: Planning Commission:

Re: Minor Subdivision for John & Carol Holland,
Located on the northwest side of Phillips Branch Road, Millsboro
Tax ID #234-17.00-11.09

To Whom it May Concern:

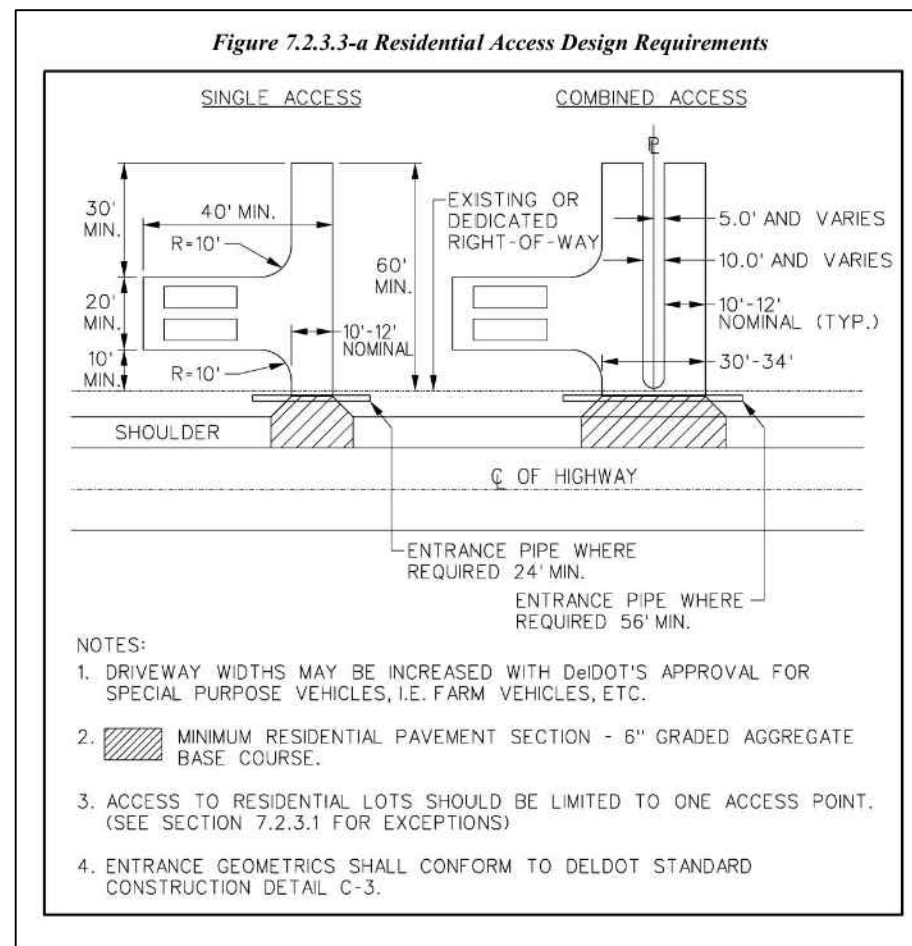
On behalf of our clients, John & Carol Holland, we are requesting a waiver from this project's grading plan requirement. The existing site is well drained and the proposed addition lot is only a small portion of the 12 acre parcel.

Thank you for your consideration.

Sincerely,



Michael S. Cotten, P.E.



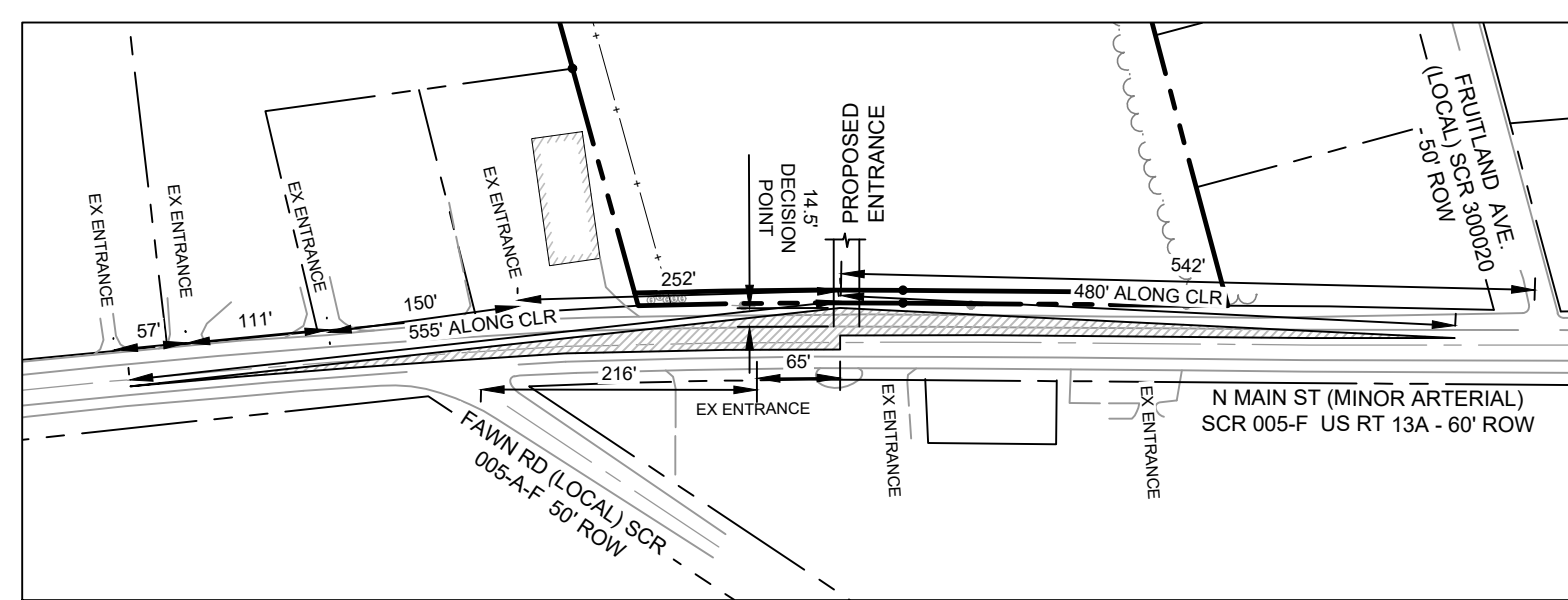
RESIDENTIAL ACCESS DETAIL

LINE TABLE

LINE #	BEARING & DISTANCE	LENGTH
L1	N77°39'48"W	17.91'

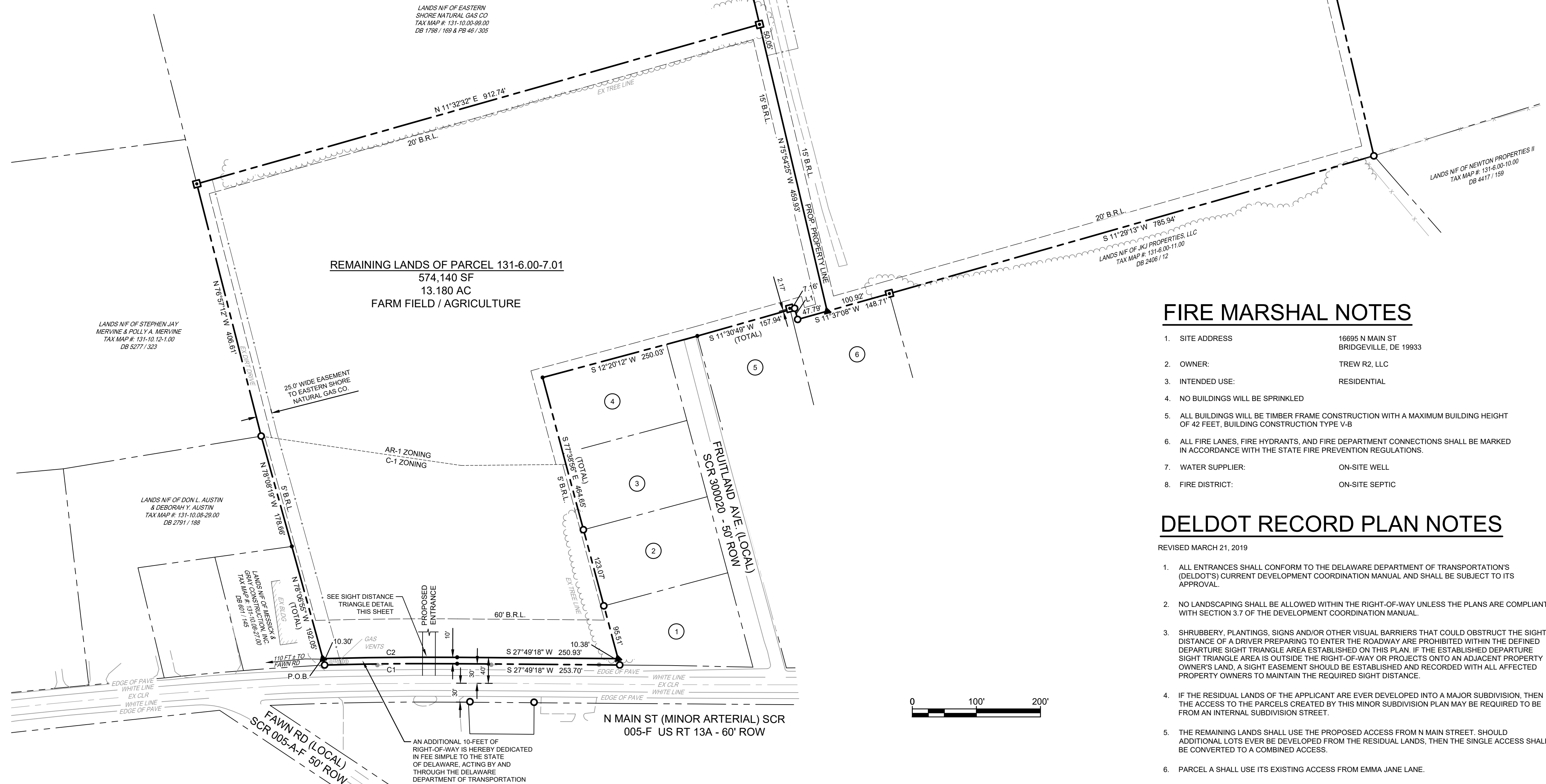
CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CORD DIST.	CORD BEARING
C1	206.83'	5822.00'	002°02'08"	206.81'	S26°48'18"W
C2	209.66'	5832.00'	002°03'35"	209.64'	S26°47'32"W



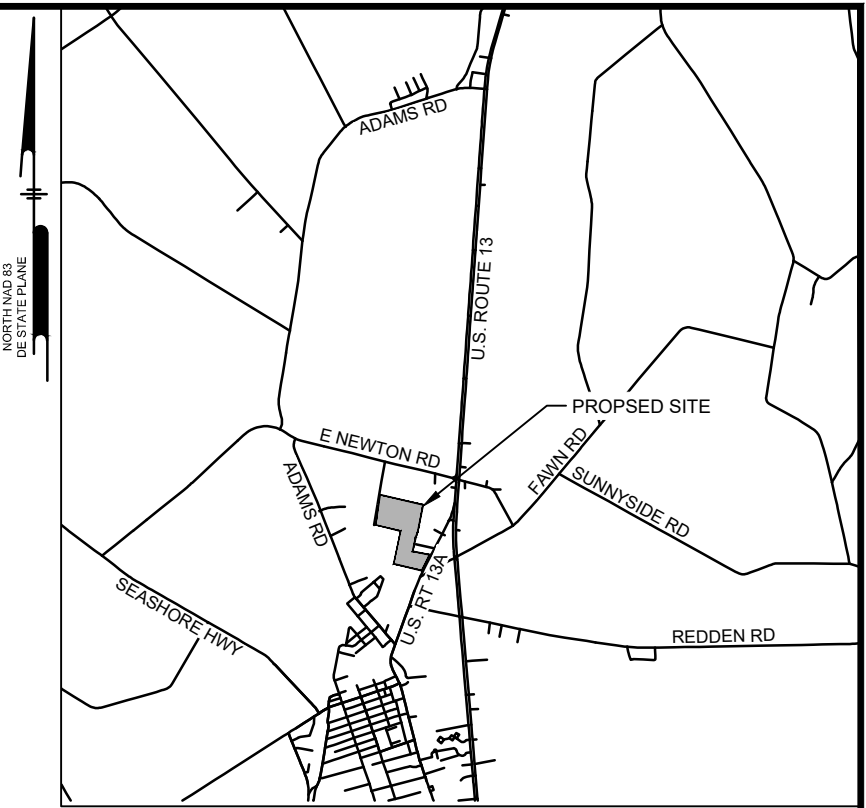
SIGHT DISTANCE TRIANGLE

SCALE: 1" = 150'



LEGEND

- CONCRETE MONUMENT FOUND
- CAPPED IRON PIPE TO BE SET
- IRON PIPE FOUND
- POINT
- UTILITY POLE
- PROPERTY LINE
- PROPOSED PROPERTY LINE
- EASEMENT LINE
- PROPERTY SETBACK / BUILDING RESTRICTION LINE
- EDGE OF PAVEMENT
- CENTERLINE OF ROAD
- GRAVEL / DIRT DRIVE
- EXISTING TREE LINE
- EXISTING BUILDING



SITE DATA:

- TAX PARCELS AND OWNERS OF RECORD:
 PARCEL 131-6.00-7.01 - TREW R2, LLC
 DEED REFERENCE: BK 4213 PG 66
 PLOT REFERENCE: BK 54 PG 16
- PARCEL AREA:
 PARCEL 131-6.00-7.01
 PARCEL A
 AREA DEDICATED TO DELDOT
- SITE ADDRESS (APPROXIMATE): 16695 N MAIN ST BRIDGEVILLE, DE 19933
- EXISTING & PROPOSED LOTS:
 EXISTING LOTS = 1
 PROPOSED LOTS = 1 (2 LOTS TOTAL)
- GOVERNMENTAL ENTITY RESPONSIBLE FOR LAND USE APPROVAL: SUSSEX COUNTY
- HUNDRED/COUNTY: NORTHWEST FORK HUNDRED / SUSSEX COUNTY
- CURRENT ZONING: AR-1 AND C-1
- PRESENT USE: FARM LAND
- PROPOSED USE: FARM LAND
- MINIMUM AR-1 LOT SIZE:
 AREA = 3/4 ACRES
 WIDTH = 100 FEET
 DEPTH = 100 FEET
- MINIMUM C-1 LOT SIZE:
 AREA = 10,000 SF
 WIDTH = 75 FEET
 DEPTH = 100 FEET
- REQUIRED AR-1 SETBACKS (B.R.L.):
 FRONT: 40-FEET
 SIDE: 15-FEET
 REAR: 20-FEET
- REQUIRED C-1 SETBACKS (B.R.L.):
 FRONT: 60-FEET
 SIDE: 5-FEET
 REAR: 5-FEET
- WATER AND SEWER: NO PUBLIC WATER AND SEWER SERVICES AVAILABLE ON THESE SITES.
- THE SITE IS NOT IMPACTED BY THE 100-YEAR FLOODPLAIN PER FEMA FLOOD MAP 10005C0115K EFFECTIVE 3/16/2015
- POSTED SPEED LIMIT FOR N MAIN STREET (SCR 005-F): 45 MPH
- 2020 STATE INVESTMENT AREA: LEVEL 2
- PROXIMITY TO T.I.D.: NOT WITHIN AN IDENTIFIED T.I.D.

ADJACENT PROPERTY OWNERS

- MAP# 131-10.00-107.00 / LANDS N/F OF SERRANO MARIA EUGENIA PEREZ, DB 1727 / 202
- MAP# 131-10.00-104.00 / LANDS N/F OF PATRICIA D. HALL, DB 2898 / 200
- MAP# 131-10.00-105.00 / LANDS N/F OF PAUL WILLIAMSON & ROSEMARY WILLIAMSON, DB 2154 / 13
- MAP# 131-10.00-106.00 / LANDS N/F OF THOMAS O. JEFFERSON, JR & LISA A. JEFFERSON, DB 1685 / 32
- MAP# 131-10.00-98.00 / LANDS N/F OF RICHARD C. ARGO & FAITH ANN ARGO, DB 4469 / 201
- MAP# 131-10.00-94.00 / LANDS N/F OF JOAN E. NEAL, TRUSTEE, DB 4942 / 76

FIRE MARSHAL NOTES

- SITE ADDRESS: 16695 N MAIN ST BRIDGEVILLE, DE 19933
- OWNER: TREW R2, LLC
- INTENDED USE: RESIDENTIAL
- NO BUILDINGS WILL BE SPRINKLED
- ALL BUILDINGS WILL BE TIMBER FRAME CONSTRUCTION WITH A MAXIMUM BUILDING HEIGHT OF 42 FEET, BUILDING CONSTRUCTION TYPE V-B
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
- WATER SUPPLIER: ON-SITE WELL
- FIRE DISTRICT: ON-SITE SEPTIC

DELDOT RECORD PLAN NOTES

- REVISED MARCH 21, 2019
- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
 - NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
 - SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
 - IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERVAL SUBDIVISION STREET.
 - THE REMAINING LANDS SHALL USE THE PROPOSED ACCESS FROM N MAIN STREET. SHOULD ADDITIONAL LOTS EVER BE DEVELOPED FROM THE RESIDUAL LANDS, THEN THE SINGLE ACCESS SHALL BE CONVERTED TO A COMBINED ACCESS.
 - PARCEL A SHALL USE ITS EXISTING ACCESS FROM EMMA JANE LANE.

ENGINEERS CERTIFICATION

IT IS HEREBY CERTIFIED THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVID HEATWOLE, P.E. (DE LICENSE NO. #17760) DATE
 19 COMMERCE STREET
 HARRINGTON, DE 19952

OWNER(S) CERTIFICATION

I / WE, THE UNDERSIGN, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY / OUR DIRECTION, AND THAT I / WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT I / WE DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

ROBERT F. RIDER, JR., MANAGING MEMBER DATE
 P.O. BOX 397,
 BRIDGEVILLE, DE 19933
 (302) 337-8211

SITWORKS
 ENGINEERING
 PO BOX 21 | 19 COMMERCE ST., HARRINGTON, DE 19952 Phone: (302) 941-7901

TREW R2, LLC
 TAX PARCEL NO. 131-6.00-7.01 - EMMA JANE LANE (PRIVATE) & SCR 005-F US13B (N MAIN STREET)
 NORTHWEST FORK HUNDRED, SUSSEX COUNTY, DELAWARE

ISSUE / REVISION BLOCK
 10/10/22 - DELDOT
 10/10/22 - SUSSEX COUNTY P&Z
 10/20/22 - FIRE MARSHAL
 10/31/22 - DELDOT FINAL
 11/9/22 - SUSSEX COUNTY P&Z

SCALE PROJECT # DRAWN BY
 AS NOTED 21-254 DMH
 DRAWING NUMBER

1
 SHEET 1 OF 1



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

NICOLE MAJESKI
SECRETARY

November 07, 2022

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

**SUBJECT: Minor Subdivision - Letter of No Objection to Recordation
Trew R2 - Minor Sub**
Tax Parcel # 131-6.00-7.01
SCR00005-MAIN STREET
SCR300020-FRUITLAND AVENUE
Northwest Fork Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Minor Subdivision Plan dated October 10, 2022 (Signed and Stamped October 31, 2022), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawing. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Minor Subdivision Plan is not recorded and/or an entrance permit is not issued for the lot(s) prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

Entrances(s) must be installed prior to the sale of the lot(s). All entrances shall conform to DelDOT's [Development Coordination Manual](#) and shall be subject to its approval. **This letter does not authorize the commencement of entrance construction.**

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project

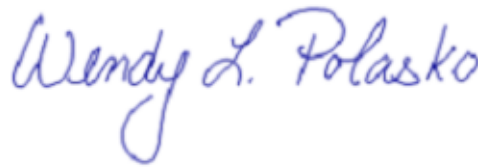


Trew R2 - Minor Sub
Mr. Jamie Whitehouse
Page 2
November 07, 2022

rests with the local government in which the land use decisions are authorized. There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

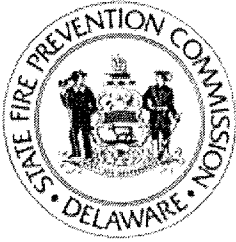
The owner shall be responsible to submit a copy of the **recorded Minor Subdivision Plan** showing all appropriate signatures, seals, plot book and page number to the South District Public Works office (302) 853-1341 in order to obtain the entrance permit(s) for the proposed minor subdivision.

Sincerely,



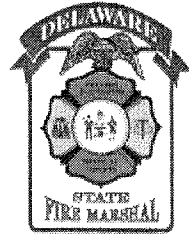
Wendy L. Polasko, P.E.
Subdivision Engineer
Development Coordination

cc: Dave Heatwole, SiteWorks Engineering, LLC.
Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Matt Schlitter, South District Public Works Engineer
James Argo, South District Project Reviewer
James Smith, South District Entrance Permit Supervisor
Shannon Anderson, South District Public Work Admin Specialist
Kevin Hickman, Sussex County Review Coordinator
Thomas Gagnon, Sussex County Reviewer



OFFICE OF THE STATE FIRE MARSHAL
Technical Services

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT – SHALL BE POSTED ON JOBSITE UNTIL FINAL INSPECTION

Plan Review Number: 2022-04-212149-MIS-01

Tax Parcel Number: 131-6.00-7.01

Status: Approved as Submitted

Date: 11/04/2022

Project

Trew R2 LLC Minor Subdivision

16695 North Main Street

Trew R2 LLC Property

Bridgeville DE 19933

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 72 - Bridgeville Volunteer Fire Co

Occupant Load Inside:

Occupancy Code:

Applicant

David Heatwole

PO Box 2

Harrington, DE 19952

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:

Desiree McCall

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2022-04-212149-MIS-01

Tax Parcel Number: 131-6.00-7.01

Status: Approved as Submitted

Date: 11/04/2022

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) ADOPTED September 1, 2021. The Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1501 A** If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.