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DIRECTOR OF PLANNING & ZONING
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Sussex County

DELAWARE
sussexcountyde.gov

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COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE



Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, AICP, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager; Lauren DeVore, AICP, Planner III; Michael Lowrey, Planner III; Chase Phillips, Planner II; Christin Scott, Planner II; Elliott Young, Planner I & Jesse Lindenberg, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: January 18th, 2023

RE: Other Business for the January 26th, 2023, Planning Commission Meeting

This memo provides background for the Planning Commission to consider as a part of the Other Business to be reviewed during the January 26th, 2023, Meeting of the Planning & Zoning Commission.

Covered Bridge Inn (C/U 2177)

KS

Final Site Plan

This is a Final Site Plan for an events venue consisting of approximately three (3) barns, a 2-story dwelling, maintenance building, innkeeper office/apartment, courtyard, grassed event area, patio, parking, and other site improvements. All improvements on the site are currently existing. This use is supported by Conditional Use No. 2177, which was approved by the Sussex County Council at their meeting of Tuesday, July 30th, 2019, and the change was adopted through Ordinance No. 2670. It should also be noted that the property also is the site of a Special Use Exception for the operation a five (5) bedroom tourist home (bed-and-breakfast inn), which was approved by the Board of Adjustment as part of BOA Case No. 12026 at their meeting of Monday, September 18th, 2017. The Final Site Plan complies with the Sussex County Zoning Code and all Conditions of Approval. The property is located on the north and south sides of Fisher Road (S.C.R. 262). Tax Parcel: 334-10.00-53.00 & 55.00. Zoning: AR-1 (Agricultural Residential District). Staff are in receipt of all agency approvals.

S-22-42 Caden Oplinger (C/U 2341)

BM

Final Site Plan

This is a Final Site Plan for the construction of a 4,800 square foot building and other site improvements for a landscaping business. This use is supported by Conditional Use No. 2341, which was approved by the Sussex County Council at their meeting of Tuesday, June 7th, 2022, through Ordinance No. 2858. The parcel is 19.836 acres +/- and is located on the south side of Shawnee Road (Rt. 36). The applicant is requesting a waiver for the bulk grading plan requirement. The Preliminary Site Plan complies with the Sussex County Zoning Code and all Conditions of Approval. Tax Parcel: 130-6.00-22.00. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are in receipt of all agency approvals.

S-22-20 Long Neck Community Bank

KH

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for the construction of a 4,00 square foot retail building, a 3,200 square foot bank, and a 4-story 18,000 square foot mixed use building with 16 apartment units on the second story and retail on the first story. Included in the plan is associated parking, an existing



cemetery, and other site improvements. Change of Zone 1940 was approved by the Sussex County Council at their meeting of Tuesday, February 1st, 2022, through Ordinance No. 2829 from AR-1 to C-2 and Change of Zone 1880 was approved by the Sussex County Council at their meeting of Tuesday, July 16th, 2019, through Ordinance No. 2669 from AR-1 to C-2. The Revised Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcels: 234-23.00-261.00 and 262.00. Zoning: C-2 (Medium Commercial District). Staff are awaiting agency approvals and would like to request final by staff upon the receipt of the required approvals.

Bay Forest Club Phase 6 (Sprogell Infill Parcel) Residential Planned Community (RPC) HW
Preliminary Site Plan

This is a Preliminary Site Plan for the Phase 6 (Sprogell Infill Parcel) within the existing and previously approved Bay Forest Club Residential Planned Community (RPC) for the construction of twenty-three (23) units to consist of fifteen (15) single-family detached condominiums and eight (8) townhomes to be located on the north side of Sanderling Road and with access off of Flycather Way. At their meeting of Tuesday, April 27th, 2021, the Sussex County Council approved a change of zone application (Change of Zone No. 1921) for a rezoning from Agricultural Residential (AR-1) District to a Medium Density Residential, Residential Planned Community (MR-RPC) District. The Preliminary Site Plan complies with the Sussex County Zoning and Subdivision Codes and all Conditions of Approval. Tax Parcel: 134-8.00-17.01. Zoning: Medium Density Residential, Residential Planned Community (MR-RPC). Staff are in receipt of all agency approvals; therefore, this plan may be considered for preliminary and final approval.

S-22-44 American Storage of Delaware – Route 24 (C/U 2315) KH
Preliminary Site Plan

This is a Preliminary Site Plan for a proposal for a storage facility to consist of a three (3) story mini-warehouse building totaling 150,000 square feet +/-, consisting of 1,200 square feet +/- of storage units, and 1,200 square feet +/- of office space,) stormwater improvements and RV parking (some covered) proposed on the front portion of the property. The rear of the property is proposed to house five (5) 28-unit, three (3) story apartment buildings housing 140 apartment units and consisting of 170,000 square feet of residential use, a clubhouse, in-ground pool, related parking, playground amenity and stormwater management improvements. The rear portion of the property was the subject of two (2) approved Change of Zone Applications, Change of Zone No. 1954 (which changed the front 8.27-acre portion of the property to Heavy Commercial (C-3)) and Change of Zone No. 1955 (which changed the rear 17.63-acre portion of the property to Medium Density Residential (MR)). This same 17.63-acre portion of the property was also the subject of a Conditional Use Application, Conditional Use No. 2315, to allow for 140 multifamily units within an Agricultural Residential (AR-1) District. The Application was approved by the Sussex County Council at their meeting of Tuesday, June 14th, 2022, and the change was adopted through Ordinance No. 2861. The Preliminary Site Plan complies with the Sussex County Zoning Code and all Conditions of Approval. Tax Parcels: 234-29.00-49.02, 49.03 & 50.00. Zoning: C-3 (Heavy Commercial District) & MR (Medium Density Residential District). Staff are awaiting agency approvals and would like to request final by staff upon the receipt of the required approvals.

S-22-41 Coastal Services, LLC BM
Preliminary Site Plan

This is a Preliminary Site Plan for the construction of a 7,560 square foot pole barn to be utilized for a general contracting business. Included in the plan is associated parking, a 6-foot privacy fence, and other site improvements. The property currently as a dwelling and associated parking that is currently

used for commercial purposes. This use is supported by Conditional Use No. 2239 which was approved by the Sussex County Council on October 27th, 2020, through Ordinance No. 2749. The Preliminary Site Plan complies with the Sussex County Zoning Code and all Conditions of Approval. Tax Parcel: 134-9.00-59.12. Zoning: B-1 (Neighborhood Business) and GR (General Residential District.) Staff note that one change will be required to the plan, and that includes the introduction of the correct Ordinance that includes the applicable Conditions of Approval. Therefore, it is requested that any final approval be granted by staff upon the receipt of all agency approvals.

2020-13 Atlantic East (F.K.A. Terrapin Island & Salt Cedars)

KS

Amenities Plan

This is an Amenities Plan for the construction of a 1,000 square foot +/- clubhouse, 1,095 square foot in-ground pool +/-, covered porch, open space/amenities area, umbrellas, and other site improvements. The Final Subdivision Plan for the Subdivision was approved by the Planning and Zoning Commission at their meeting of Thursday, September 21st, 2022. The parcel is located on the south side of Brackish Drive within the previously approved Atlantic East Subdivision, which is a cluster subdivision to consist of a total of forty-two (42) single-family lots. The Amenities Plan complies with the Sussex County Zoning Code and all Conditions of Approval. Tax Parcel: 234-18.00-31.00. Zoning: AR-1 (Agricultural Residential District). Staff are awaiting agency approvals and would like to request that final approvals be made subject staff upon the receipt of the required approvals.

2018-09 Plover Point (F.K.A. Oak Landing)

HW

Amenities Plan

This is an Amenities Plan for the construction, installation and placement of a proposed 1,250 square foot in-ground pool, 3,036 square foot poolhouse/clubhouse. 4,000 square foot volleyball and sand court, 18,060 square foot sports field, a fire pit, eight (8) picnic table seating areas, playground with mulch base and ornamental pond. The improvements are proposed to be located in the existing subdivision of Plover Point, which is a cluster subdivision to consist of one-hundred and forty-seven (147) single-family lots. The Final Subdivision Plan for the development was approved by the Planning and Zoning Commission at their meeting of Thursday, June 24th, 2021. The parcel is located on the south side of Reeve Road and on the north side of Shorebird Way within the existing subdivision. The Amenities Plan complies with the Sussex County Zoning Code and all Conditions of approval. Tax Parcel: 234-34.00-97.01. Zoning: GR (General Residential District). Staff are awaiting agency approvals and would like to request that final approvals be made subject staff upon the receipt of the required approvals.

Lands of Mark J. & Jane Blevins

HW

Minor Subdivision off a 50-ft Easement

This is a Minor Subdivision Plan for the subdivision of a 0.99-acre parcel into one (1) lot and residual lands. Proposed Parcel A consists of 0.40 acres +/- and the residual land consists of 0.59 acres +/- . The property is located on the north side of Fred Hudson Road (S.C.R. 360). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 134-13.00-76.00. Zoning: MR (Medium Residential District). Staff are in receipt of all agency approvals; therefore, this plan may be considered for preliminary and final approval.

Lands of Winward Village LLC

BM

Minor Subdivision off a 30-ft Easement

This is a Minor Subdivision Plan for the Lands of Windward Village, LLC for the subdivision of a 1.00-acre parcel into four (4) buildable lots including residual. Proposed Lot 1 will consist of 0.245-

acres +/- (10,687 sq ft.), Proposed Lot 2 will consist of 0.266-acres +/- (11,619 sq ft.), Proposed Lot 3 will consist of 0.251-acres +/- (10,917 sq ft.) and the residual land or Proposed Lot 4 will contain 0.253-acres +/- (11,029 sq ft.). All lots shall have combined access from a 30-ft ingress/egress access easement located on the east side of Kent Avenue (S.C.R. 361). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 134-17.11-6.00. Zoning MR (Medium Residential District). Staff are awaiting agency approvals and would like to request that final approvals be made subject staff upon the receipt of the required approvals.



November 10, 2022

Mrs. Heather Gilbert

Via email: Heather.Gilbert@merestoneconsultants.com

**RE: Covered Bridge Inn Parking – Conditional Use Area
TM# 334-10.00-53.00 & P/O 55.00**

Dear Mrs. Gilbert,

The Sussex Conservation District has reviewed the plan for the above referenced site. The District concurs with the information provided and agrees that the total disturbance is less than 5,000 square feet and is therefore exempt from obtaining a sediment and stormwater plan.

Please contact the District if site conditions change or if the area of disturbance exceeds 5,000 square feet to discuss permitting requirements. If you have any questions or concerns, please contact the District at 302-856-2105.

Sincerely,

Jessica L. Watson

Jessica L. Watson
Program Manager

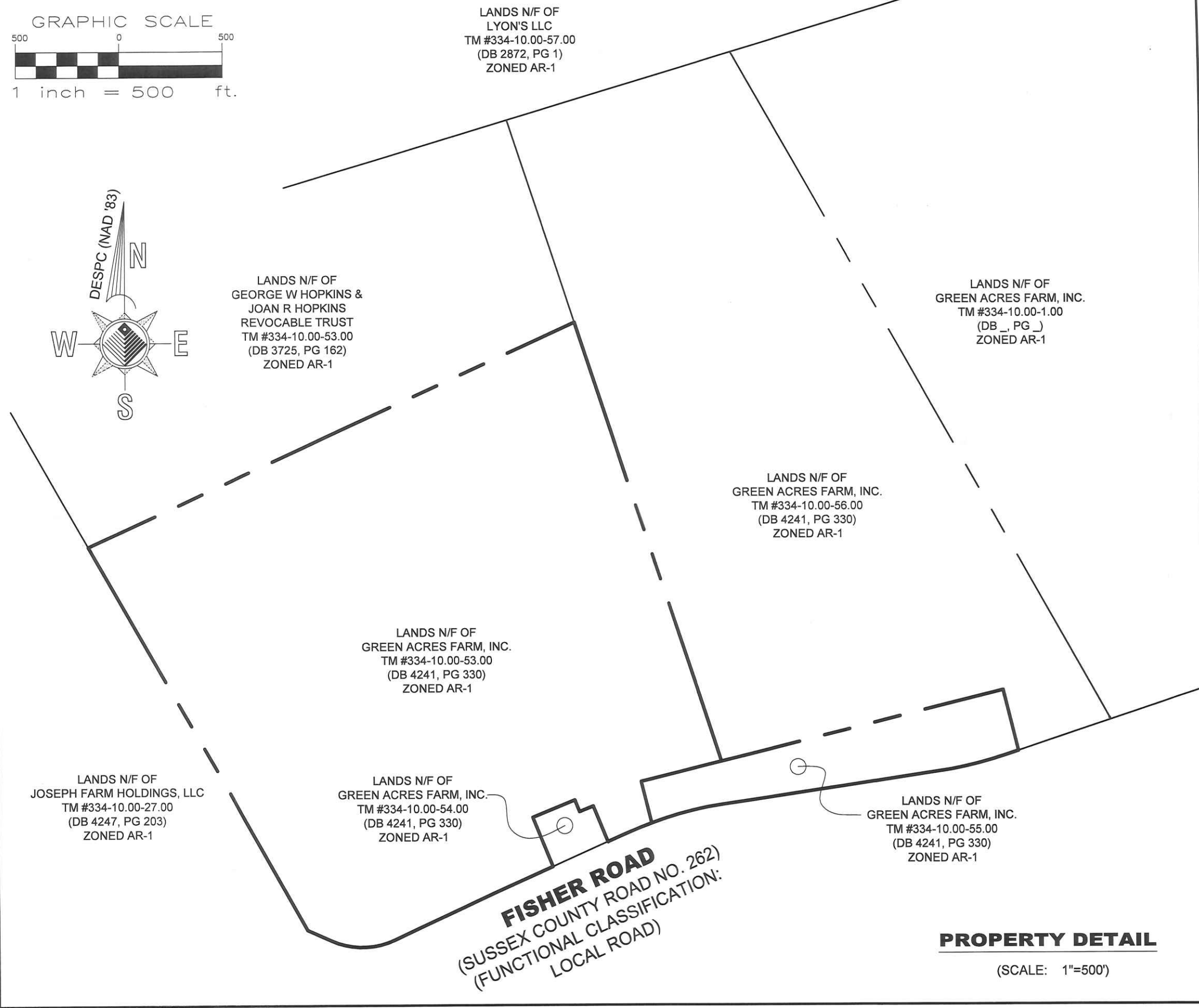
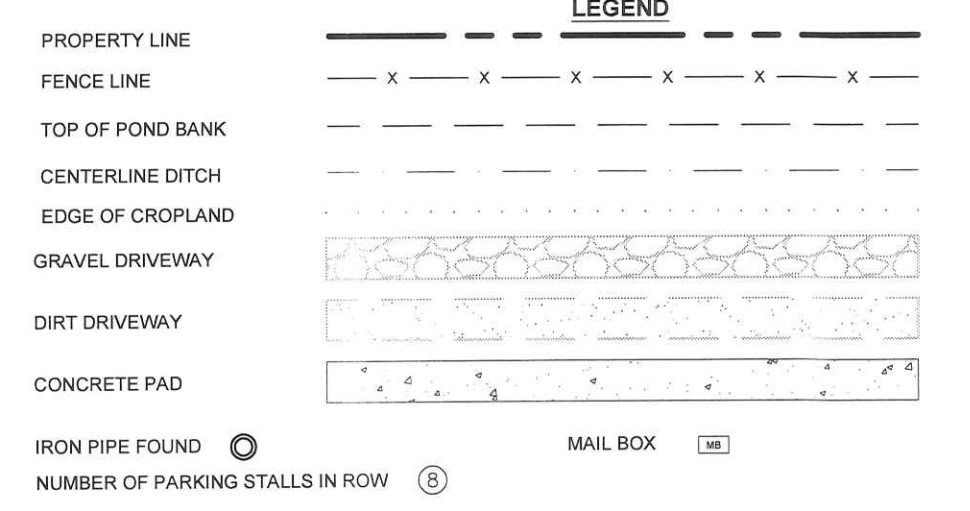
- GENERAL NOTES:**
- ALL CONSTRUCTION AND MATERIALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STATE OF DELAWARE STATE HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS, DATED JUNE 2022 AND THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, DATED FEBRUARY 2019, AND ALL AMENDMENTS THERETO.
 - EXISTING UTILITIES, UNLESS OTHERWISE NOTED ON THE PLANS, ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT "MISS UTILITY" 1-800-282-8555 (3) THREE DAYS PRIOR TO CONSTRUCTION IN ORDER TO VERIFY AND ALLOW FOR THEIR LOCATION AND DEPTH IN THE FIELD.
 - THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY AND ALL DAMAGES DONE TO EXISTING UTILITIES DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPETENTLY REPAIRED AT HIS/HER EXPENSE.
 - THE CONTRACTOR SHALL PRESERVE ALL TREES ON THE SITE EXCEPT WHERE NECESSARY TO CONSTRUCT PROPOSED BUILDINGS, UTILITIES, DRIVEWAYS, OR PARKING AREAS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, LICENSING AND INSURANCE REQUIRED FOR CONSTRUCTION.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COMPLETELY AND ADEQUATELY CONTROL WATER PRESENT IN THE EXCAVATION. THE CONTRACTOR SHALL PROVIDE FOR THE DISPOSAL OF WATER REMOVED FROM EXCAVATIONS. IN SUCH A MANNER AS SHALL NOT CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY OR TO ANY PORTION OF THE WORK COMPLETED OR IN PROGRESS OR CAUSE ANY IMPEDIMENT TO THE USE OF ANY AREA BY THE PUBLIC, IF APPLICABLE. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN THE NECESSARY DEWATERING WELL PERMITS FROM THE STATE OF DELAWARE, DNREC PRIOR TO EXCAVATION.
 - NO DEBRIS WILL BE BURIED ON THIS SITE.
 - PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
 - ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
 - THIS SITE IS LOCATED ENTIRELY IN ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD (100-YEAR FLOOD) AS DESIGNATED ON THE FLOOD INSURANCE RATE MAP NUMBERS 10005C0326J & 10005C0330J BOTH LAST REVISED JANUARY 6, 2005.
 - THE INTENDED USE OF THIS PROPERTY IS PERMITTED AS A CONDITIONAL USE IN AN AR-1 WITH CONDITIONAL USE ZONING DISTRICT IN ACCORDANCE WITH SECTION 11-522 OF THE ZONING ORDINANCE FOR SUSSEX COUNTY, DELAWARE. THE USE OF THIS PROPERTY AS A WEDDING & EVENT VENUE WAS AUTHORIZED BY SUSSEX COUNTY COUNCIL AS A CONDITIONAL USE (CU #2177).
 - NO SITE PREPARATION, SITE DISTURBANCE, EXCAVATION OR OTHER CONSTRUCTION ACTIVITY SHALL TAKE PLACE UNTIL ALL PERMITS HAVE BEEN ACQUIRED BY THE DEVELOPER AND THE SITE PLAN HAS BEEN APPROVED AND RECORDED, IF APPLICABLE.
 - THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
 - COPYRIGHT © 2022, MERESTONE CONSULTANTS, INC. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED, OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF MERESTONE CONSULTANTS, INC. COPIES OF THIS PLAN WITHOUT COLORED INK SIGNATURE AND A RAISED IMPRESSION SEAL ARE NOT VALID.
 - THE STATE OF DELAWARE CRITICAL AREA MAPS WERE REVIEWED FOR THIS SITE AND NO STATE OR FEDERALLY REGULATED WETLAND AREAS WERE FOUND TO EXIST.
 - NO LIGHTING IS PROPOSED, HOWEVER ANY FUTURE LIGHTING INSTALLATION ON THE SITE SHALL BE ARRANGED TO MINIMIZE GLARE ON PROPERTY IN RESIDENTIAL AREAS.

CONDITIONAL USE NO. 2177 & ORDINANCE NO. 2670
 ON JULY 13, 2021 THE SUSSEX COUNTY COUNCIL APPROVED THE CONDITIONAL USE APPLICATION FOR AN EVENTS VENUE TO BE LOCATED AT 30249 FISHER ROAD WITH FIVE CONDITIONS, IMPOSED UPON CONDITIONAL USE #2177 AND ORDINANCE #2670, AS WELL AS THREE ADDITIONAL CONDITIONS. THE CONDITIONAL USE SHALL BE SUBSTANTIALLY UNDERWAY WITHIN THREE YEARS OF THE APPROVAL. THE CONDITIONAL USE WAS APPROVED WITH THE FOLLOWING CONDITIONS:

- FOOD AND BEVERAGE SERVICE AND MUSIC OR SIMILAR ENTERTAINMENT IS PERMITTED.
- ALL PARKING AREAS SHALL BE GENERALLY SHOWN ON THE FINAL SITE PLAN. NO PARKING SHALL BE PERMITTED ON ANY NEARBY COUNTY ROADS.
- ALL ENTRANCE LOCATIONS SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF DELDOT.
- ALL EVENTS SHALL CONCLUDE PRIOR TO 11:00 P.M. AT NIGHT, WITH MUSIC ENDING NO LATER THAN 10:00 P.M.
- THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING & ZONING COMMISSION.

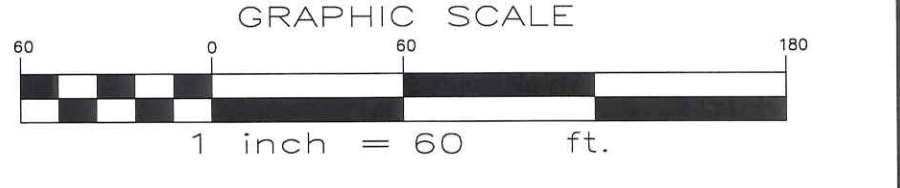
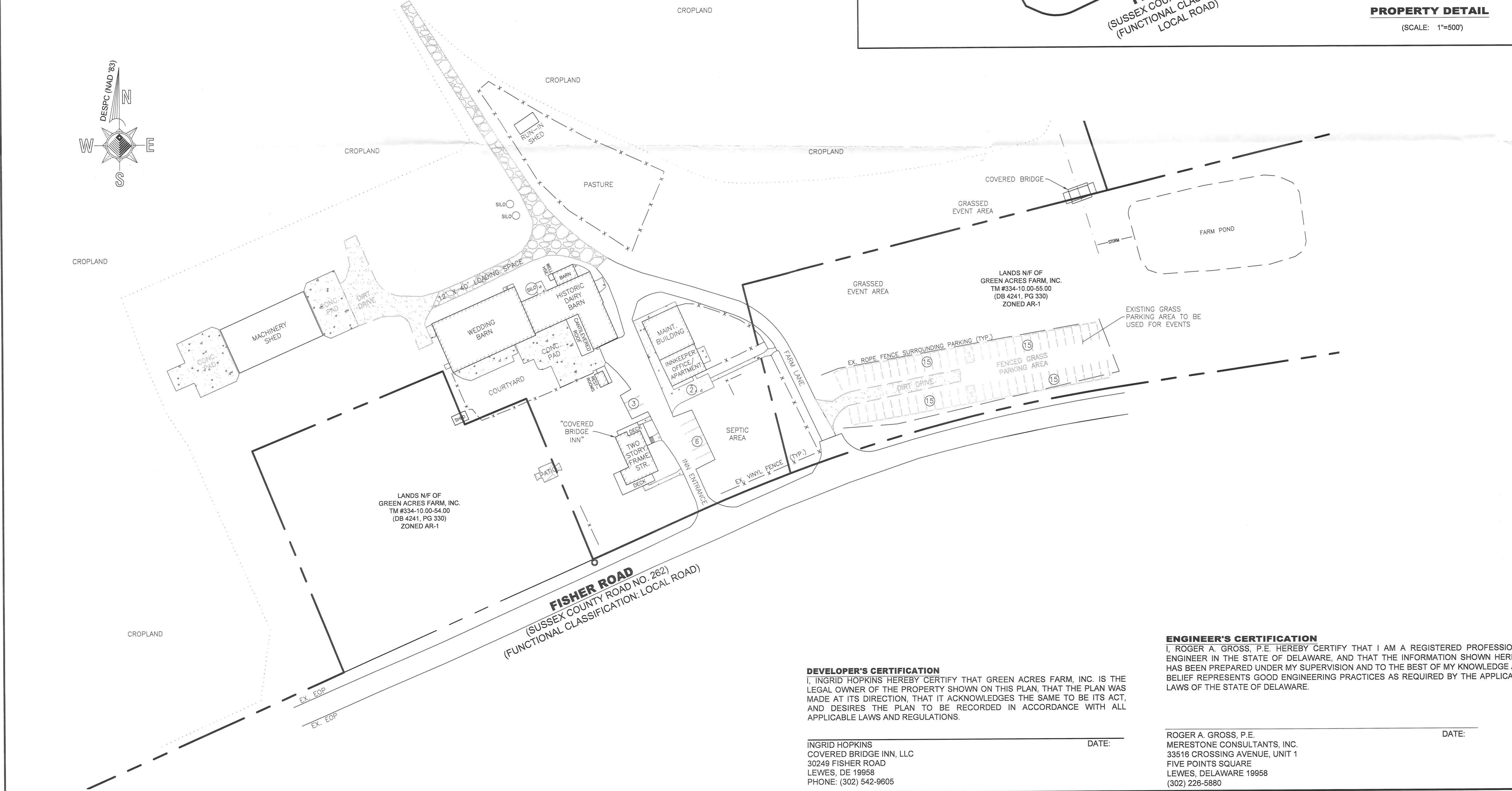
THREE ADDITIONAL CONDITIONS:

- THIS APPROVAL IS CONTINGENT UPON APPROVAL FOR THE USE ISSUED BY DELAWARE AGRICULTURAL LANDS PRESERVATION FOUNDATION.
- THE FINAL SITE PLAN SHALL DEPICT THE AREA WITHIN THE LARGER 98.6-ACRE PARCEL WHERE THIS CONDITIONAL USE SHALL OCCUR.
- THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY PLANNING & ZONING COMMISSION.



PLAN DATA:

PARCEL I.D. NO.	334-10.00-53.00 & P/O 55.00
DEED REFERENCE	DB 4241, PG 333
PLAT REFERENCE	PB 56, PG 244
EXISTING ZONING DISTRICT	AR-1
PROPOSED ZONING DISTRICT	AR-1 WITH CONDITIONAL USE
SEWAGE DISPOSAL	ON-SITE SEPTIC SEWERAGE IS SUBJECT TO APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL.
WATER SUPPLY	ON-SITE WELL WATER IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DIVISION OF PUBLIC HEALTH.
WATERSHED	REHOBOTH BAY
OWNER	GREEN ACRES FARM, LLC C/O INGRID HOPKINS 30249 FISHER ROAD LEWES, DE 19958 PHONE: (302) 542-9605
DEVELOPER	COVERED BRIDGE INN, LLC C/O INGRID HOPKINS 30249 FISHER ROAD LEWES, DE 19958 PHONE: (302) 542-9605
LOCAL LAND USE AGENCY	SUSSEX COUNTY PLANNING AND ZONING
HORIZONTAL DATUM	NAD 83 (NA 2011, EPOCH 2010)
EXISTING USE	AGRICULTURAL, AND BED & BREAKFAST
PROPOSED USE	AGRICULTURAL, BED & BREAKFAST, AND WEDDING VENUE
NO. OF LOTS	2 EXISTING, 2 PROPOSED
LOT AREA RATIONALE	COMBINED GROSS AREA (AC.) 235.6 RIGHT-OF-WAY DEDICATION (AC.) 0.0 NET AREA (USED FOR CALCULATIONS) (AC.) 235.6
HEIGHT, AREA & BULK TABLE	MAX. BUILDING HEIGHT (FT.) = 42 MINIMUM LOT SIZE (S.F.) = 32,870 MINIMUM LOT WIDTH (FT.) = 150 MINIMUM LOT DEPTH (FT.) = 100 MINIMUM FRONT YARD (FT.) = 40 MINIMUM SIDE YARD (FT.) = 15 MINIMUM REAR YARD (FT.) = 20
PARKING RATIONALE	PR. 5415 S.F. ASSEMBLY VENUE @ 1 SPACE PER 50 S.F. = 57 SPACES PR. 5 ROOM BED/BREAKFAST @ 1 SPACE PER ROOM & 1 PER STAFF = 7 SPACES TOTAL PARKING REQUIRED = 64 SPACES TOTAL PARKING PROVIDED = 71 SPACES PR. LOADING SPACE @ 1 FOR 5,000 - 25,000 S.F. TOTAL LOADING SPACES REQUIRED = 1 SPACES TOTAL LOADING SPACES PROVIDED = 1 SPACES
FIRE MARSHALL NOTES	N.F.P.A BUILDING TYPE = TYPE-V (WOOD FRAME) FIRE SUPPRESSION = NO AUTOMATIC SPRINKLERS ARE PROPOSED MAX. BUILDING HEIGHT = H<35'
SITE ADDRESS	30249 FISHER ROAD



CONDITIONAL USE SITE PLAN (CU #2177)
 FOR PROPERTY KNOWN AS:
COVERED BRIDGE INN
 ALSO KNOWN AS:
30249 FISHER ROAD
 SITUATE IN:
 LEWES & REHOBOTH HUNDRED * SUSSEX COUNTY
 STATE OF DELAWARE
 TAX PARCEL # 334-10.00-53.00 & P/O 55.00
 SCALE: 1"=60'

DEVELOPER'S CERTIFICATION
 I, INGRID HOPKINS HEREBY CERTIFY THAT GREEN ACRES FARM, INC. IS THE LEGAL OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT ITS DIRECTION, THAT IT ACKNOWLEDGES THE SAME TO BE ITS ACT, AND DESIRES THE PLAN TO BE RECORDED IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

INGRID HOPKINS
 COVERED BRIDGE INN, LLC
 30249 FISHER ROAD
 LEWES, DE 19958
 PHONE: (302) 542-9605

DATE: _____

ENGINEER'S CERTIFICATION
 I, ROGER A. GROSS, P.E. HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, AND THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

ROGER A. GROSS, P.E.
 MERESTONE CONSULTANTS, INC.
 3516 CROSSING AVENUE, UNIT 1
 FIVE POINTS SQUARE
 LEWES, DELAWARE 19958
 (302) 226-5880

DATE: _____

<p>MERESTONE CONSULTANTS, INC. ENGINEERS - PLANNERS - SURVEYORS</p>		5215 WEST WOODMILL DRIVE 35516 CROSSING AVENUE, UNIT 1	
		UNIT 38 FIVE POINTS SQUARE	
		WILMINGTON, DE 19808 LEWES, DE 19958	
		PH: 302-992-7900 PH: 302-226-5880	
DATE	REVISION	CHKD.	DRAWN BY: HMG
			DATE: 1 NOVEMBER 2022
			SHEET# SP-1



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
DIVISION OF MAINTENANCE AND OPERATIONS
SOUTH DISTRICT
23697 Dupont Blvd
Georgetown, DE 19947

COMMERCIAL ENTRANCE PERMIT

District Sussex Phone No. 302-542-9605

Issued To Ingrid Hopkins Permit No. SC-0016-22CM

Business Name Green Acres Farm, Inc.

APPROVED FOR AN ESTIMATED VALUE OF TRAFFIC OF 0 AVERAGE DAILY TRAFFIC

LOCATION: 30249 Fisher Rd.
Lewes, DE 19958

TAX PARCEL NO.: 334-10.00-53.00,334-10.00-55.00

On 07/22/2022 an inspection of the above entrance was made and was found to be in compliance with the Division of Maintenance Operations, Traffic & Safety Standards, and plans approved by R. Stephen McCabe

Should this property be sold, or the size or type of the business be changed to which there is an increase in volume of traffic, the entrance will require a review by the District Permit Office. (South District (302)853-1340). At such time a design change may be required, or new permit will be issued accordingly.

The property owner is responsible for the repair of any deficiencies within the entrance for a period of one year from the date of this commercial entrance permit.

By copy of this letter the 150% security offered to the Division of Maintenance & Operations to guarantee the construction of the entrance is hereby released.

Type of security Furnished: NA

Security ID:

Date Approved : 07/22/2022 Approved By : James A. Smith

District Permit Supervisor



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT – SHALL BE POSTED ON JOBSITE UNTIL FINAL INSPECTION

Plan Review Number: 2022-04-212358-MJS-01

Tax Parcel Number: 334-10.00-53.00

Status: Approved as Submitted

Date: 11/30/2022

Project

Covered Bridge Inn (Conditional Use)

30249 Fisher Road

Covered Bridge Inn (Conditional Use)

Lewes DE 19958

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 82 - Lewes Fire Dept Inc

Occupant Load Inside:

Occupancy Code:

Applicant

Heather Gilbert
33516 Crossing Avenue Unit 1
Lewes, De 19958

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:

Jefferson Cerri
Fire Protection Specialist II

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2022-04-212358-MJS-01

Tax Parcel Number: 334-10.00-53.00

Status: Approved as Submitted

Date: 11/30/2022

PROJECT COMMENTS

1002 A This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) ADOPTED September 1, 2021. The Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.

1010 A The following water for fire protection requirements apply: NONE. On-Site Wells Proposed. this site meets Water Flow Table 1. therefore the provisions of NFPA 1142 shall apply to this site (DSFPR Regulation 702, Chapter 6, Section 3). Since wells are proposed for this site, no additional requirements will be made by this Agency for water for fire protection.

1180 A This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.

NO CHANGE TO EXISTING SITE. NO NEW CONSTRUCTION

1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.

CONDITIONS OF APPROVAL:
 A. THE USE SHALL BE LIMITED TO REPAIRS ON TRUCKS AND FARM EQUIPMENT. THERE SHALL NOT BE ANY RETAIL SALES OCCURRING ON THE PROPERTY.
 B. THE USE SHALL BE LIMITED TO THE FRONT 350 FEET OF THE PROPERTY. THE PLAN SHALL CLEARLY DEPICT THIS REDUCED AREA OF CONDITIONAL USE.
 C. ON LIGHTED SIGN SHALL BE PERMITTED. IT SHALL NOT BE LARGER THAN 32 SQUARE FEET PER SIDE.
 D. SECURITY LIGHTING SHALL BE SHIELDED AND DOWNWARD SCREENED SO THAT IT IS DIRECTED AWAY FROM THE NEIGHBORING PROPERTIES AND ROADWAYS.
 E. ANDY DUMPSTERS SHALL BE SCREENED FROM THE VIEW OF NEIGHBORS AND ROADWAYS. THE DUMPSTER LOCATIONS SHALL BE SHOWN ON THE FINAL SITE PLAN.
 F. ALL REPAIRS SHALL OCCUR INDOORS WITHIN THE PROPOSED BUILDING. NO OTHER STORAGE OF PARTS OR OTHER MATERIALS ASSOCIATED WITH THE USE SHALL BE PERMITTED.
 G. NO JUNKED, UNREGISTERED, OR PERMANENTLY INOPERABLE VEHICLES, TRUCKS OR TRAILERS SHALL BE STORED ON THE SITE.
 H. THERE SHALL NOT BE ANY PARKING IN THE FRONT YARD SETBACK.
 I. THE PARKING AREAS SHALL BE SHOWN ON THE FINAL SITE PLAN AND CLEARLY MARKED ON THE SITE ITSELF. TRUCKS AND FARM EQUIPMENT SHALL ONLY BE PARKED WITHIN THESE DESIGNATED AREAS.
 J. ALL OILS AND OTHER FLUIDS SHALL BE PROPERLY STORED INDOORS IN APPROPRIATE CONTAINERS. THE APPLICANT SHALL ALSO COMPLY WITH ALL STATE AND FEDERAL REQUIREMENTS FOR THE DISPOSAL OF THESE FLUIDS.
 K. THE SITE SHALL BE SUBJECT TO DELDOT ENTRANCE AND ROADWAY REQUIREMENTS.
 L. ANY VIOLATION OF THESE CONDITIONS MAY BE GROUNDS FOR TERMINATION OF THIS CONDITIONAL USE.
 M. THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.

DELDOT DATA COLUMN:
 T.M.# 130-6.00-22.00
 ZONING: AR-1
 TRACT AREA: 19.839 ACRES±
 EXISTING LOTS: 1
 PROPOSED LOTS: 1
 PRESENT USE: AGRICULTURAL / RESIDENTIAL
 PROPOSED USE: FARM TRACTOR & TRUCK REPAIR SHOP
 ACCESS: DE. RD. 36 (SHAWNEE ROAD)
 ROADWAY CLASSIFICATION: MAJOR COLLECTOR
 THIS PROJECT IS NOT IN THE PROXIMITY OF A TID
 SPEED LIMIT ON SHAWNEE ROAD IS 50 MPH POSTED.

DELDOT NOTES:
 1. IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
 2. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DEL.D.O.T.'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
 3. THERE IS A FIFTY FOOT BUILDING SETBACK FROM LANDS USED FOR AGRICULTURAL PURPOSES.
 4. CONDITIONAL USE SHALL HAVE ACCESS TO DEL. RD. 36 VIA EXISTING ENTRANCE AS SHOWN ON THIS PLAT.
 5. RESIDUAL LANDS SHALL HAVE ACCESS TO DEL. RD. 36 VIA EXISTING ENTRANCE AS SHOWN ON THIS PLAT.
 6. IF EXISTING ENTRANCES ARE ALTERED, THEY SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL. NO CONSTRUCTION ACTIVITY SHALL OCCUR INM THE RIGHT-OF-WAY (ROW) WITHOUT DELDOT PERMIT.

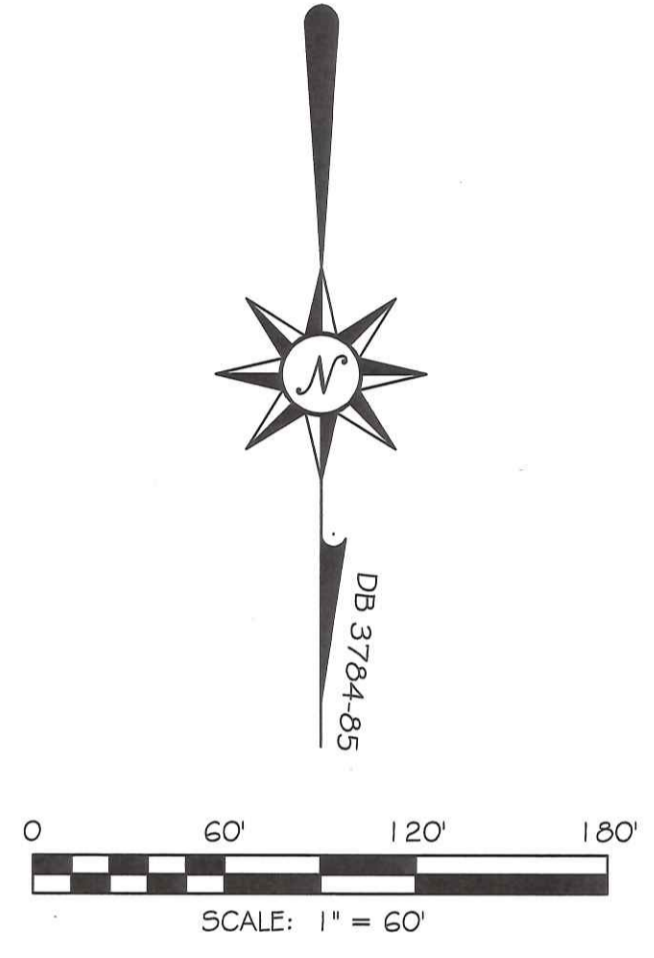
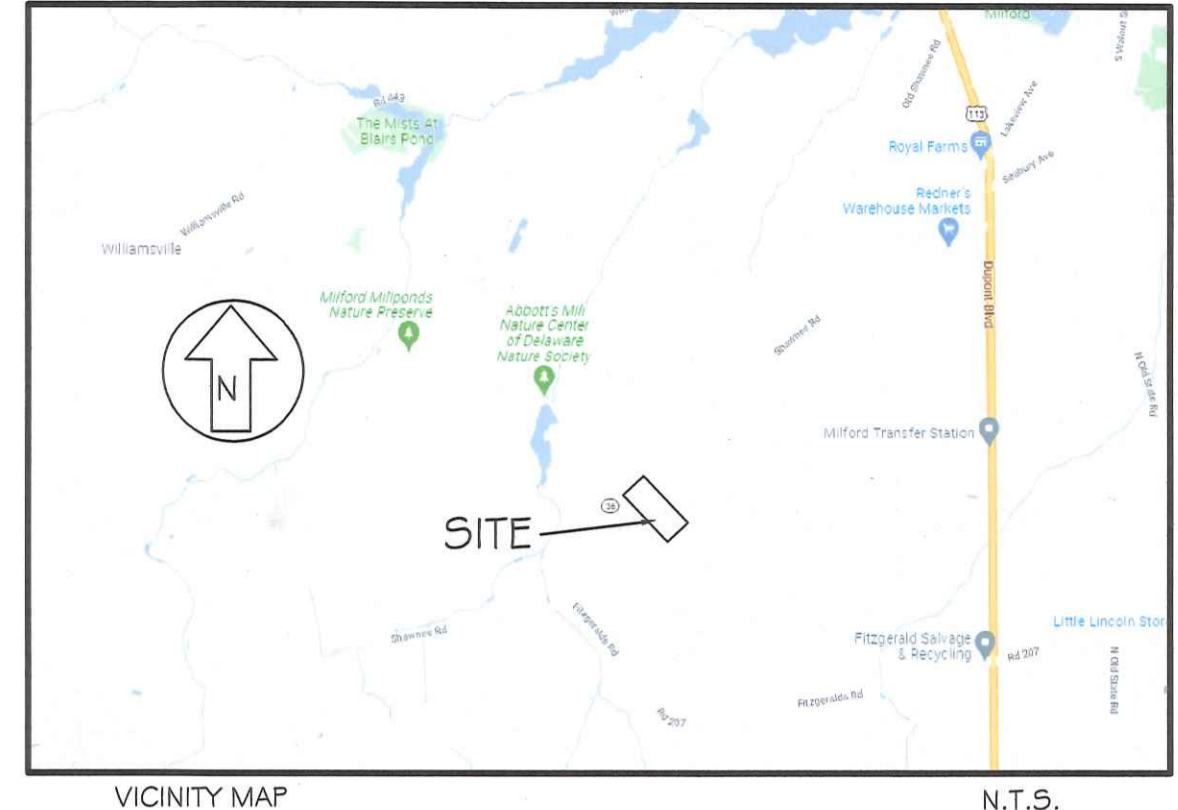
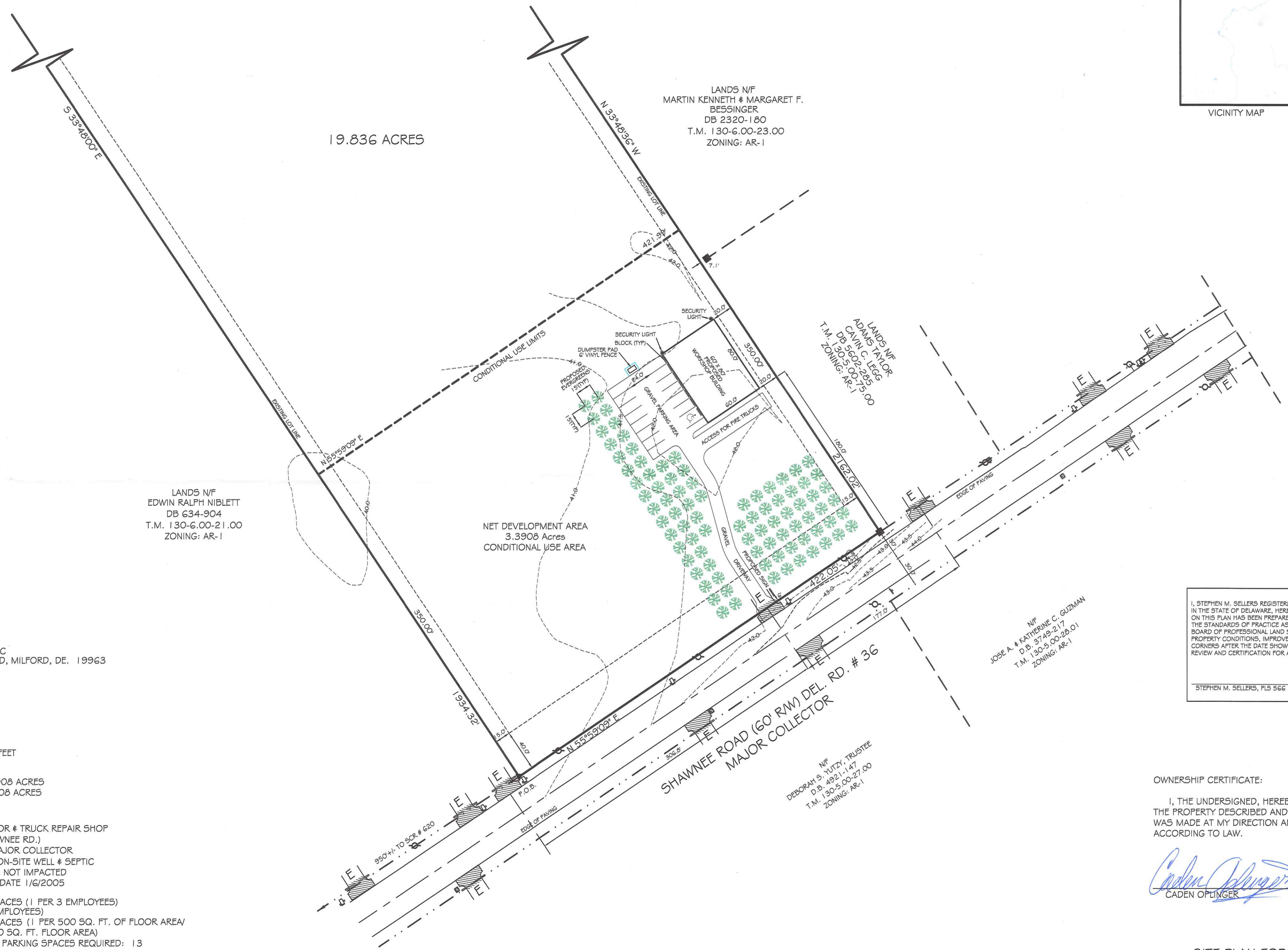
DATA COLUMN:
 OWNER: OPLINGER ACRES, LLC
 7465 SHAWNEE ROAD, MILFORD, DE. 19963
 Ph: 302-393-4858
 ZONING: AR-1
 TAX MAP #130-6.00-22.00
SETBACK REQUIREMENTS:
 FRONT: 40'
 SIDE: 15'
 REAR: 20'
 SHOP AREA: 4,800 SQUARE FEET
 BUILDING HEIGHT: 25'±
 GROSS AREA: 19,836 ACRES
 NET DEVELOPMENT AREA: 3.3908 ACRES
 CONDITIONAL USE AREA: 3.3908 ACRES
 TOTAL # OF LOTS: 1
 PRESENT USE: AGRICULTURAL
 PROPOSED USE: FARM TRACTOR & TRUCK REPAIR SHOP
 ACCESS: DE. DE. RT. 36 (SHAWNEE RD.)
 ROADWAY CLASSIFICATION: MAJOR COLLECTOR
 WATER AND SEWER: PRIVATE ON-SITE WELL & SEPTIC
 100 YEAR FLOODPLAIN: SITE IS NOT IMPACTED
 AS PER FIRM #10005C0039J DATE 1/6/2005
PARKING REQUIRED: 13 SPACES (1 PER 3 EMPLOYEES) (3 EMPLOYEES)
 10 SPACES (1 PER 500 SQ. FT. OF FLOOR AREA) (4,800 SQ. FT. FLOOR AREA)
TOTAL PARKING SPACES REQUIRED: 13
PARKING PROVIDED: 14 PARKING SPACES
ESTIMATED DISTURBED AREA:
 GRAVEL DRIVE & PARKING: 8,755 SQ.FT. ±
 BUILDING: 4,800 SQ.FT. ±
 TOTAL: 13,555 SQ. FT. ±
 THIS PARCEL IS NOT LOCATED WITHIN A WELL HEAD PROTECTION AREA.
 THIS PARCEL IS LOCATED IN AN AREA OF FAIR/GOOD GROUNDWATER RECHARGE POTENTIAL.
 PER THE NATIONAL WETLANDS INVENTORY MAP THIS PARCEL DOES NOT CONTAIN WETLANDS.
 ALL OUTDOOR LIGHTING WILL BE SHIELDED AND DOWNWARD SCREENED.

FIRE MARSHAL NOTES:
 1. ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTION SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
 2. MAXIMUM HEIGHT: 3 STORIES NOT TO EXCEED 25'.
 3. A POLE BUILDING STRUCTURE IS PROPOSED.
 4. BUILDING CONSTRUCTION TYPE: NFPA TYPE V WOOD FRAME.
 5. AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.
 6. WATER SUPPLIED FROM ON-SITE WELL.
 7. NEAREST FIRE HYDRANT LOCATED AT INTERSECTION OF RT 113 & RT 36.

MONUMENTATION
 ● IRON AXLE (FOUND)
 ○ IRON PIPE (SET)
 ■ CONCRETE FENCE POST (FOUND)
 ▲ IRON ROD (FOUND)

LEGEND
 ○ MAILBOX
 ○ UTILITY POLE
 □ TELEPHONE BOX
 50 MPH SIGN
 E/EI EXISTING ENTRANCE

NOTE: SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.



I, STEPHEN M. SELLERS REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

STEPHEN M. SELLERS, PLS 566 _____ DATE _____

OWNERSHIP CERTIFICATE:
 I, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

Caden Oplinger 01/19/2023
 CADEN OPLINGER DATE

SITE PLAN FOR CONDITIONAL USE #234 I
CADEN OPLINGER

SHAWNEE ROAD, MILFORD, DE 19963
 Ph: 302-393-4858

MILNER LEWIS, INC. LAND SURVEYING 1560 MIDDLEFORD RD. SEAFORD, DELAWARE 19973 Ph: 302-629-9895 FAX: 302-629-2391	HUNDRED	CEDAR CREEK	COUNTY	SUSSEX
	STATE	DELAWARE	DRAWN BY	D.K. MILLER
	REF.	DB 5462-201	FILE NO.	OPLINGER 130-G-2 I
		JULY 21, 2022		

LEGEND:
 - - - - - EXISTING RIGHT-OF-WAY LINE
 ———— PROPERTY LINE
 - - - - - CENTERLINE
 - - - - - NEXT PROPERTY LINE
 - - - - - EDGE OF PAVING
 - - - - - EXISTING CONTOUR

SURVEY CLASS: SUBURBAN

DATE	REVISION
01/19/2023	COUNTY COMMENTS 11/17/23

OTHER THAN SHOWN, THIS SURVEY AND PLAT DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHTS-OF-WAY OR EASEMENTS CROSSING THIS PROPERTY. NO TITLE SEARCH PROVIDED OR STIPULATED. SURVEYED ON MAY 30, 2021.

MILLER
LEWIS, INC. LAND SURVEYING

1560 MIDDLEFORD RD.
PH: 302-629-9895

• SEAFORD, DE. 19973
FAX: 302-629-2391

January 19, 2023

Mr. Jamie Whitehouse, Director
Sussex County Dept. of Planning & Zoning
P. O. Box 417
Georgetown, DE. 19947

RE: Site Plan for Conditional Use #2341: Caden Oplinger
T.M.#130-6.00-22.00

Dear Mr. Whitehouse,

We respectfully request a waiver of the bulk grading plan for the above referenced project.

If you have any questions or concerns please contact me at (302) 629-9895 or
stevesellers@millerlewisinc.com.

Thanks,



Stephen M. Sellers, PLS
Miller-Lewis, Inc.

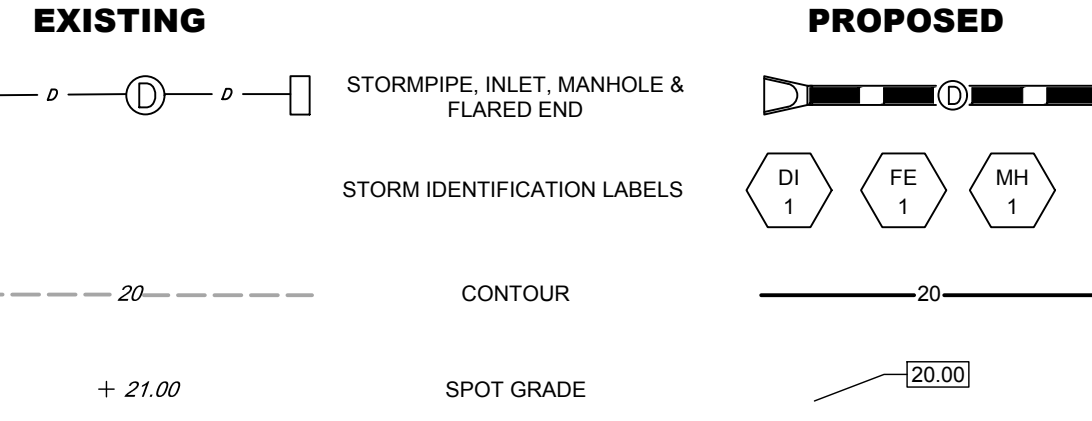
enclosure

RECEIVED

JAN 19 2023

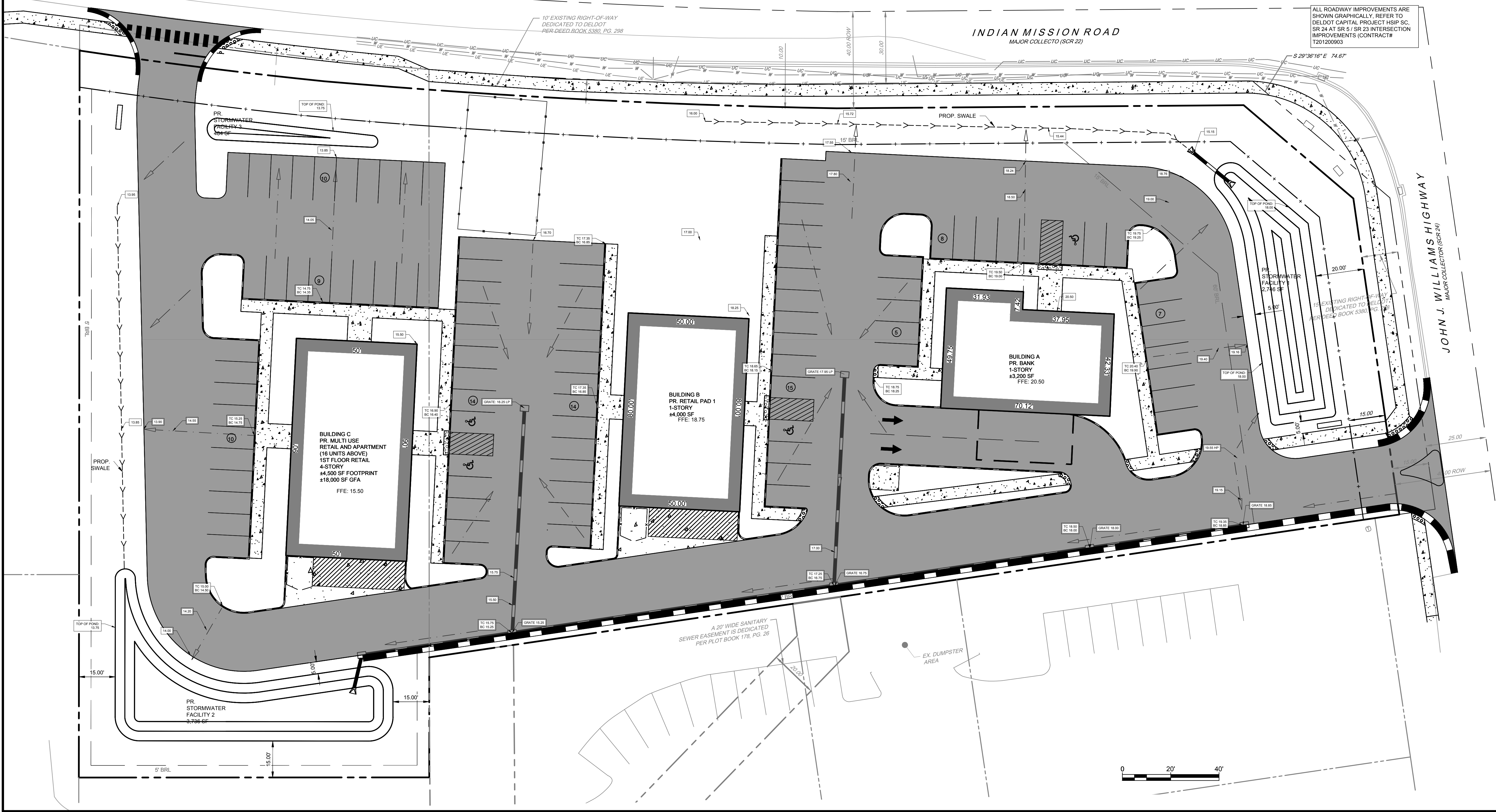
SUSSEX COUNTY
PLANNING & ZONING

LEGEND



GRADING NOTES

- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED 8 INCHES IN COMPACTED FILL THICKNESS. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. MATERIAL THAT CANNOT BE COMPACTED AS REQUIRED SHALL BE BROUGHT TO THE ATTENTION OF A GEOTECHNICAL ENGINEER, OVER EXCAVATED, AND THEN REPLACED WITH SUITABLE FILL.
- THE CONTRACTOR WILL INSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
- THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET BUILDING STANDARDS.
- CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AREA AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
- MAXIMUM SIDEWALK CROSS SLOPE IS 2% AND MINIMUM SIDEWALK CROSS SLOPE IS 1% FOR ADA ACCESSIBLE AREAS.
- VERTICAL ELEVATIONS ARE BASED ON NAVD 88.
- ALL SLOPES MAXIMUM 3:1 UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING AND DISPOSING EXCESS DIRT FROM THE SITE.
- ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN THE PLAN.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE REJECTED.
- THIS PROJECT IS SUBJECT TO INSPECTION AND APPROVAL BY REPRESENTATIVES OF THE SUSSEX COUNTY CONSERVATION DISTRICT.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE TOWARDS OUTLET AT ALL TIMES DURING CONSTRUCTION. PONDING OF WATER, EXCLUDING STORMWATER MANAGEMENT PONDS, AND LACK OF POSITIVE DRAINAGE WITHIN THE PROPERTY DURING GRADING, FILING OR EXCAVATION, NO MATTER OF THE DESIGN OR THE STAKEOUT, IS FORBIDDEN WITHOUT THE PERMISSION OF THE DESIGN ENGINEER OR THEIR AUTHORIZED REPRESENTATIVE. CONTRACTOR IS RESPONSIBLE TO DISCUSS ALL GRADING AND DRAINAGE CONCERNS WITH THE DESIGN ENGINEER, PRIOR AND DURING APPLICATION TO ENSURE THAT POSITIVE DRAINAGE TOWARDS OUTLETS ARE ADDRESSED APPROPRIATELY AND SAFELY. DESIGN ENGINEER WILL BE HELD HARMLESS FROM CONCERNS ARISING FROM THE LACK OF POSITIVE DRAINAGE IF NOT NOTIFIED PRIOR TO ITS APPLICATION.



Pennoni

PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.3030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

LONG NECK COMMUNITY BANK
TAX MAP: 234-23.00-262.00 AND 261.00
31616 INDIAN MISSION ROAD (SCR 22)
MILLSBORO, DE 19966

BULK GRADING PLAN

COMMUNITY BANK
16892 KINGS HIGHWAY
LEWES, DE 19958

NO.	DATE	REVISIONS	BY

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDemnIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: **ETDGX20001**

DATE: 2022-11-07

DRAWING SCALE: 1"=20'

DRAWN BY: EOC

APPROVED BY: AMD

CS1501

SHEET 1 OF 1

U:\dms\ETDGX200001 - Rm\A/R - JACOBSON_SHEETS\CS1501\BULK.dwg PLOTTED: 11/09/2022 2:08 PM BY: Vign Schemel PLOTSTYLE: Pennoni_VS.dwt PROJECT STATUS: —

SITE DATA TABLE:

1. TAX MAP NUMBER:	234-23.00-262.00 AND 261.00 DB, 5666 PG: 143
2. OWNER/DEVELOPER: OWNER/DEVELOPER ADDRESS:	COMMUNITY BANK DELAWARE 16982 KINGS HWY LEWES, DE 19958
3. ADDRESS LOCATION: HUNDRED: COUNTY:	13816 INDIAN MISSION RD MILLSBORO, DE 19966 INDIAN RIVER SUSSEX
4. CURRENT ZONING:	C-2 (GENERAL COMMERCIAL)
5. PRESENT USE:	VACANT / RESIDENTIAL
6. PROPOSED USE:	BUILDING A - BANK AND RETAIL BUILDING B - RETAIL BUILDING C - MIXED USED (RETAIL AND APARTMENTS)
7. EXISTING LOTS: PROPOSED LOTS:	2 1
8. REQUIRED SETBACKS (B.R.L.): FRONT: SIDE: REAR: CORNER LOT:	(PER 115-83.15 B) 50 FT 5 FT 5 FT 15 FT
9. BUILDING HEIGHT:	(PER 115-83.15 D) 42' MAX ALLOWED
10. REQUIRED LOT SIZE (MIN.): DEPTH: WIDTH: AREA:	100 FT (PER 115-83.15 A) 75 FT 15,000 FT (PER 115-83.15 A)
11. PARKING REQUIRED PARKING:	(ARTICLE XXII: OFF-STREET PARKING, CODE SECTION 115-162)
RETAIL:	(1 PER 200 SQUARE FEET OF FLOOR AREA USED FOR SALES OR DISPLAY OF MERCHANDISE PURPOSES, PLUS 1 FOR EACH 2 EMPLOYEES ON THE LARGEST SHIFT) 8,500 SF / 200 SF = 43 SPACES 12 EMPLOYEES / 2 = 6 SPACES 49 SPACES
TOTAL:	49 SPACES
BANK:	(1 SPACE FOR 200 SF OF FLOOR AREA, EXCLUSIVE OF BASEMENT, IF NOT USED FOR OFFICE OR CUSTOMER SERVICE PURPOSES) 3,200 SF / 200 SF = 16 SPACES 16 SPACES
TOTAL:	16 SPACES
APARTMENT: 1 BEDROOM APARTMENTS:	1.5 PARKING SPACES PER FAMILY UNIT 10 UNITS X 1.5 = 15 SPACES
2 BEDROOM APARTMENTS:	2 PARKING SPACES PER FAMILY UNIT 6 UNITS X 2.0 = 12 SPACES
TOTAL:	27 SPACES
TOTAL REQUIRED SPACES: PROVIDED SPACES: ADA SPACES:	92 SPACES 92 SPACES 4 SPACES INCLUDED
10. TOTAL REQUIRED LOADING SPACE: PROVIDED LOADING SPACE:	2 SPACE 2 SPACE
11. SITE CALCULATIONS BUILDING AREA OPEN SPACE (GRASS AREA) PAVEMENT/STONE AREA TOTAL PERCENTAGE OF IMPERVIOUS COVER: EXISTING WOODS:	EX = 0.13 AC. PR = 0.26 AC. (8.45%) EX = 2.27 AC. PR = 1.10 AC. (40.15%) EX = 0.34 AC. PR = 1.38 AC. (50.36%) EX = 2.74 AC. PR = 2.74 AC. (100.00%) 1.64 AC. (59.85%) 0.00 AC. (0.00%)
12. UTILITY SERVICES: SANITARY SEWER SUPPLIER: WATER SUPPLIER:	PUBLIC - SUSSEX COUNTY TIER 1 - SUSSEX COUNTY UNIFIED SANITARY SEWER DISTRICT PUBLIC - TIDEWATER
13. SECTION 89 - SOURCE WATER PROTECTION:	A. SUBJECT PROPERTY IS WITHIN AN AREA OF "FAIR" GROUNDWATER RECHARGE. B. SUBJECT PROPERTY IS LOCATED IN A WELLHEAD PROTECTION AREA. THE PROPOSED IMPROVEMENTS ARE LOCATED WITHIN A WELLHEAD PROTECTION WHICH EXCEEDS 35% BUT DOES NOT EXCEED THE MAXIMUM 60%. THE PROJECT WILL MEET THE REQUIREMENTS UNDER COUNTY CODE SECTION 89-6.F. A CLIMATIC WATER BUDGET WILL BE PERFORMED TO REVIEW THE HYDROGEOLOGIC CHARACTERISTICS TO INSURE THAT POST-DEVELOPMENT RECHARGE QUANTITY WILL MEET OR EXCEED THE PRE-DEVELOPMENT RECHARGE QUANTITY.
14. STATE INVESTMENT AREA:	LEVEL 1 AND LEVEL 2
15. FIRE DISTRICT:	INDIAN RIVER VOLUNTEER FIRE CO. (STATION 80)
16. 2019 FUTURE LAND USE MAP:	COMMERCIAL / COASTAL
17. LONGITUDE AND LATITUDE: SITE BENCHMARK: SOUTH WEST PROPERTY CORNER STATE PLANE COORDINATES:	LONGITUDE: W 75° 11' 48.81" LATITUDE: N 38° 38' 07.63"
18. WETLAND AREA:	0.00 ACRES
19. PROPOSED DISCHARGE LOCATION:	ONSITE INFILTRATION BASIN WITH OVERFLOW TOWARDS DELDOT DRAINAGE SYSTEM
20. FLOOD ZONE:	FIRM NUMBER 10005C0340K, DATED MARCH 16, 2015
21. TRANSPORTATION IMPROVEMENT DISTRICT (TID):	NOT INCLUDED
22. DATUM:	HORIZONTAL = NAD83 VERTICAL = NAVD88
23. WATERSHED:	LOVE CREEK - REHOBOTH BAY
24. LOCAL GOVERNMENT RESPONSIBLE FOR LAND USE APPROVAL:	SUSSEX COUNTY

LONG NECK COMMUNITY BANK PRELIMINARY PLAN SET

TAX MAP: 234-23.00-262.00 AND 261.00

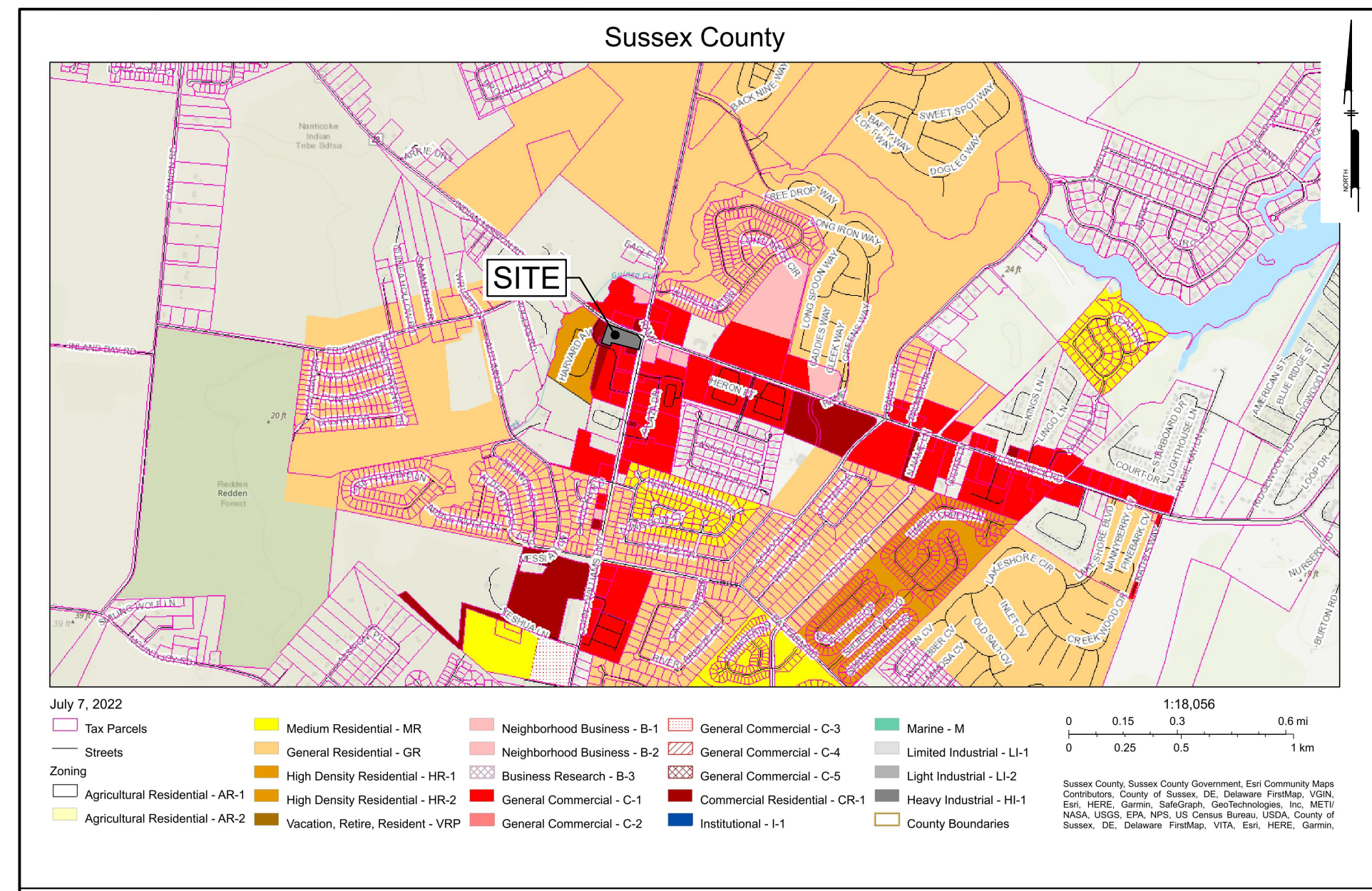
INDIAN RIVER HUNDRED
SUSSEX COUNTY

PREPARED FOR:
DEVELOPER

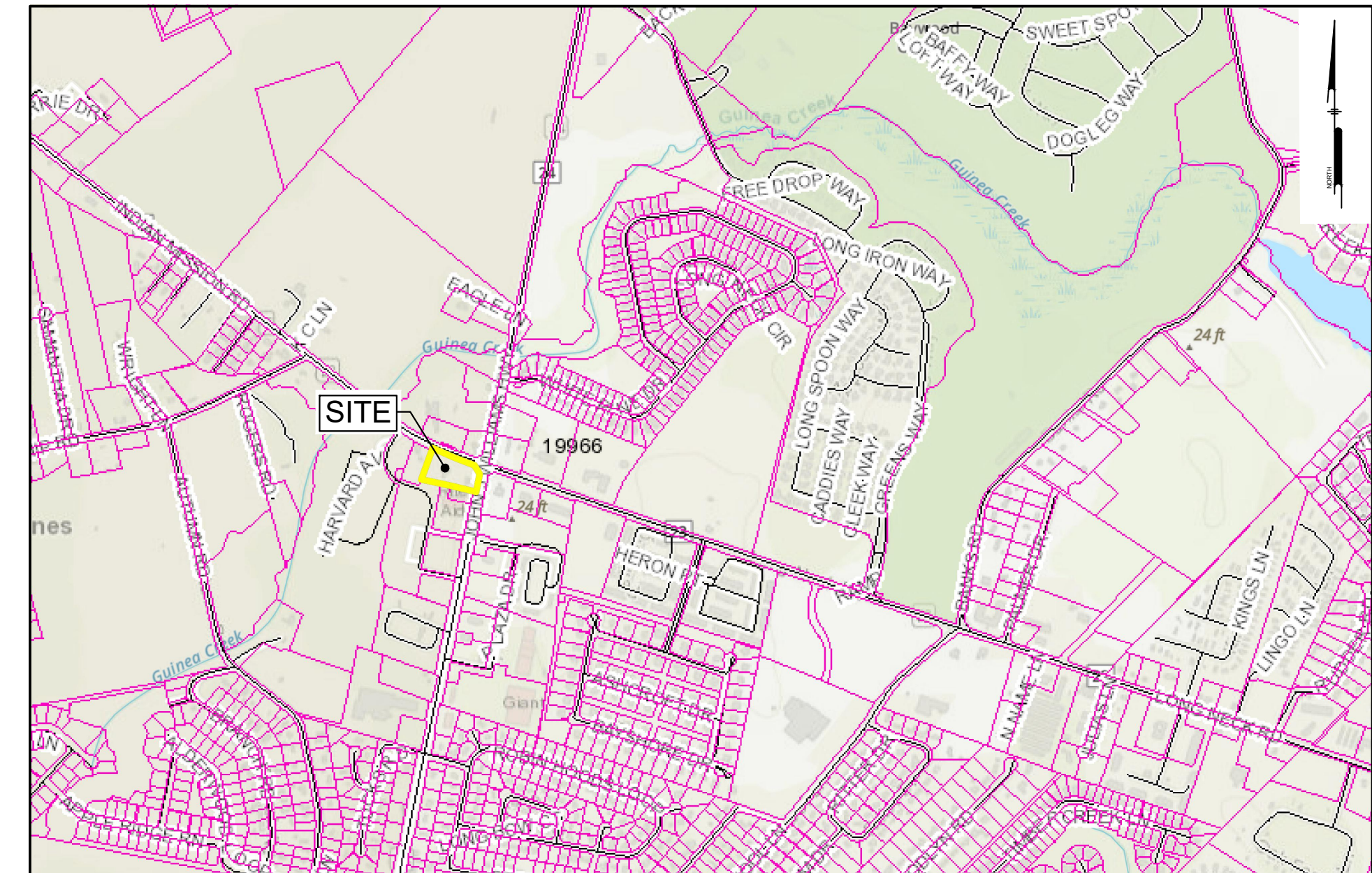
COMMUNITY BANK DELAWARE
16982 KINGS HIGHWAY
LEWES, DE 19958

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		BUILDING
		FULL DEPTH PAVEMENT
		BUILDING RESTRICTION LINE
		EDGE OF PAVEMENT
		EDGE OF GRAVEL
		UTILITY EASEMENT
		PERMANENT EASEMENT
		FENCE
		POWER, UTILITY POLE
		PROPERTY, LINE
		LEGAL RIGHT-OF-WAY
		PROPERTY, CORNER FOUND
		PROPERTY, ADJOINING LINED
		SITE, MAIL BOX
		SITE, TRAFFIC SIGN
		SPOT ELEVATION
		STORMPIPE, INLET, MANHOLE, & FLARED END
		MINOR CONTOUR
		MAJOR CONTOUR
		MARKING, HANDICAP PARKING
		DETECTABLE WARNING STRIP
		CONCRETE
		CURB
		SANITARY SEWER, UNDERGROUND



ZONING MAP
SCALE: 1"=2,000'



LOCATION MAP
SCALE: 1"=1,000'

Sheet List Table

Sheet Number	Sheet Description	Sheet Title
1	PP0001	PRELIMINARY PLAN COVER SHEET
2	PP1001	PRELIMINARY SITE PLAN
3	PP1002	PRELIMINARY SITE PLAN NOTES AND DETAILS

SOILS

TYPE	DESCRIPTION	HYDROLOGIC SOIL
PpA	PEPPERBOX LOAMY SAND, 0 TO 2 PERCENT SLOPES	A

OWNER/DEVELOPER CERTIFICATION:

IT IS HEREBY CERTIFIED THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE _____ DATE _____
 COMMUNITY BANK DELAWARE
 C/O ALEX PIRES
 16982 KINGS HWY
 LEWES, DE 19958
 MOBILE (302) 915-6706
 EMAIL FARMERSLAWYER@AOL.COM

ENGINEER CERTIFICATION:

IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE COMPLIES WITH APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SIGNATURE _____ DATE _____
 ALAN DECKTOR, PE (DE PE#17771)
 PENNONI ASSOCIATES, INC
 18072 DAVIDSON DRIVE
 MILTON, DE 19968
 ADECKTOR@PENNONI.COM
 OFFICE (302) 684-8030 - FAX (302) 684-8054



PENNONI ASSOCIATES INC.
 18072 Davidson Drive
 Milton, DE 19968
 T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

LONG NECK COMMUNITY BANK
 TAX MAP: 234-23.00-262.00 AND 261.00
 31616 INDIAN MISSION ROAD (SCR 22)
 MILLSBORO, DE 19966

PRELIMINARY PLAN COVER SHEET

COMMUNITY BANK DELAWARE
 16982 KINGS HIGHWAY
 LEWES, DE 19958

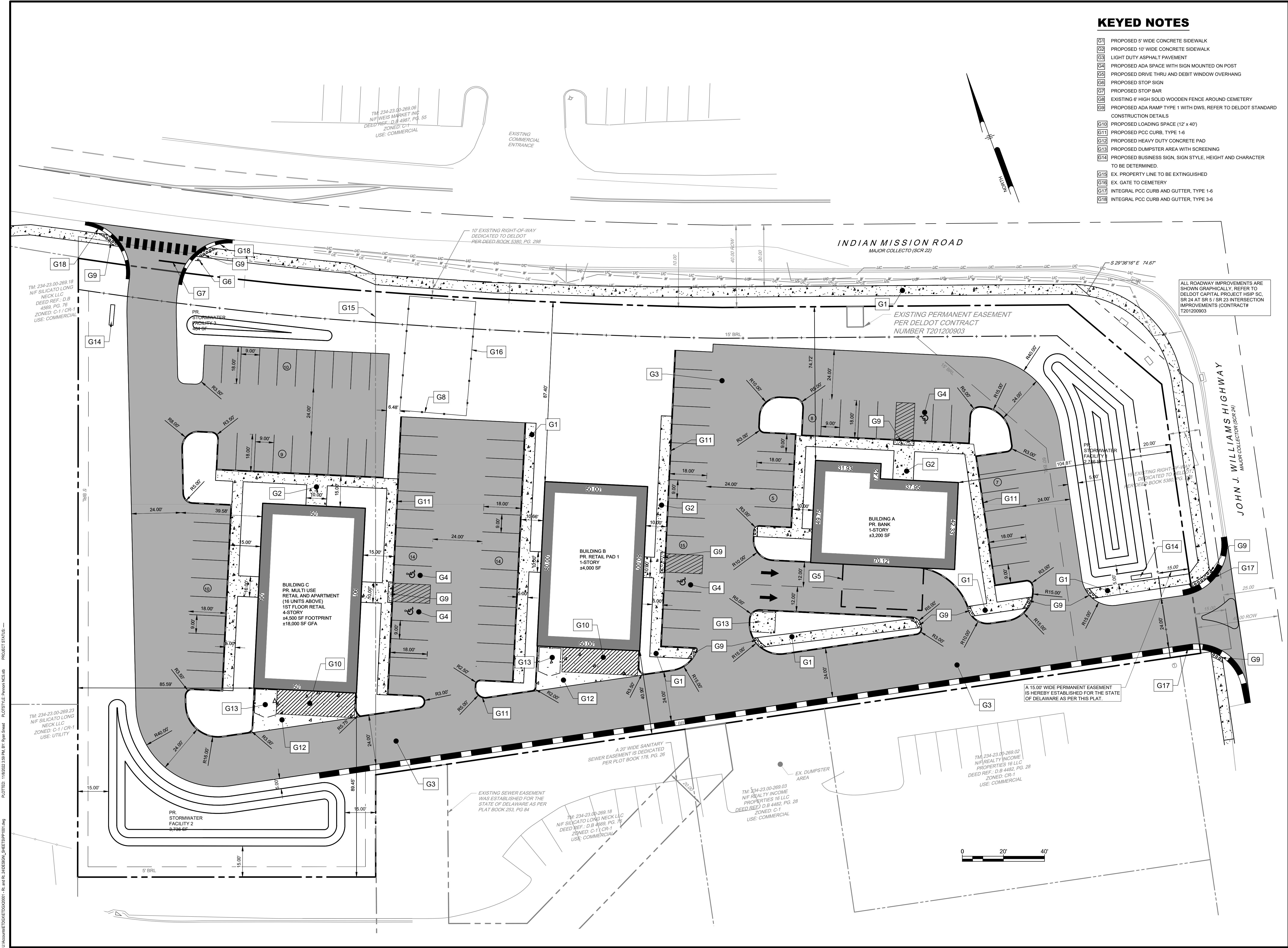
NO.	DATE	REVISIONS	BY
1	2022-11-08	REVISED PER PAZ COMMENTS	EOC

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	ETDGX20001
DATE	2022-11-08
DRAWING SCALE	AS SHOWN
DRAWN BY	RPP
APPROVED BY	AMD

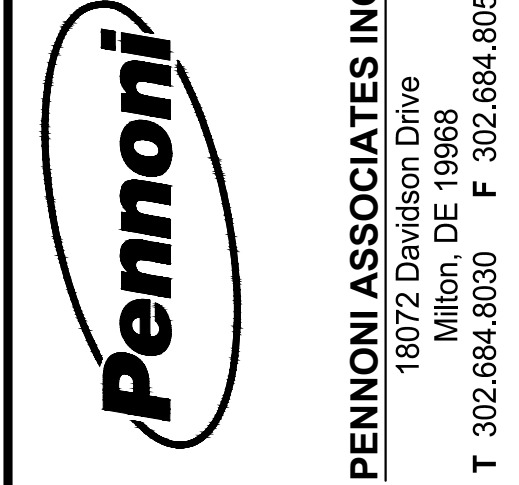
PP0001
 SHEET 1 OF 3

PROJECT STATUS: PLOTTED: 11/08/2022 1:59 PM BY: Ryan Sewell PLOTFILE: Pennoni\KCS\ab U:\Admin\ETDGTDC020001 - R - 11/08/2022 1:59 PM BY: Ryan Sewell PLOTFILE: Pennoni\KCS\ab



KEYED NOTES

- G1 PROPOSED 5' WIDE CONCRETE SIDEWALK
- G2 PROPOSED 10' WIDE CONCRETE SIDEWALK
- G3 LIGHT DUTY ASPHALT PAVEMENT
- G4 PROPOSED ADA SPACE WITH SIGN MOUNTED ON POST
- G5 PROPOSED DRIVE THRU AND DEBIT WINDOW OVERHANG
- G6 PROPOSED STOP SIGN
- G7 PROPOSED STOP BAR
- G8 EXISTING 6' HIGH SOLID WOODEN FENCE AROUND CEMETERY
- G9 PROPOSED ADA RAMP TYPE 1 WITH DWS, REFER TO DELDOT STANDARD CONSTRUCTION DETAILS
- G10 PROPOSED LOADING SPACE (12' x 40')
- G11 PROPOSED PCC CURB, TYPE 1-6
- G12 PROPOSED HEAVY DUTY CONCRETE PAD
- G13 PROPOSED DUMPSTER AREA WITH SCREENING
- G14 PROPOSED BUSINESS SIGN, SIGN STYLE, HEIGHT AND CHARACTER TO BE DETERMINED
- G15 EX. PROPERTY LINE TO BE EXTINGUISHED
- G16 EX. GATE TO CEMETERY
- G17 INTEGRAL PCC CURB AND GUTTER, TYPE 1-6
- G18 INTEGRAL PCC CURB AND GUTTER, TYPE 3-6



PENNONI ASSOCIATES INC.
 18072 Davidson Drive
 Milton, DE 19968
 T 302.684.9030 F 302.684.8054

LONG NECK COMMUNITY BANK
 TAX MAP: 234-23.00-262.00 AND 261.00
 31616 INDIAN MISSION ROAD (SCR 22)
 MILLSBORO, DE 19966

PRELIMINARY SITE PLAN
 COMMUNITY BANK DELAWARE
 16892 KINGS HIGHWAY
 LEWES, DE 19958

NO.	DATE	REVISIONS	BY
1	2022-11-08	REVISED PER PAZ COMMENTS	EOC

PROJECT	ETDGX20001
DATE	2022-11-08
DRAWING SCALE	1"=20'
DRAWN BY	RPP
APPROVED BY	AMD
PP1001	
SHEET	2 OF 3

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY OWNER. THE CONTRACTOR SHALL ERRECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
- THIS PLAN DOES NOT VERIFY THE EXISTENCE, OR EASEMENT OR RIGHTS OF WAYS CROSSING THE SUBJECT PROPERTY.
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN THE PLAN.
- FINAL SET OF APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE MAINTAINED ON THE JOB SITE AT ALL TIMES. FAILURE TO COMPLY WITH THIS PROVISION SHALL BE CONSIDERED CAUSE TO STOP THE WORK.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE REJECTED.
- ALL MATERIALS SHALL BE NEW AND SHALL BE ASBESTOS AND VERMICULITE FREE. ALL MATERIALS SHALL BE STORED SO AS TO ASSURE THE PRESERVATION OF THEIR QUALITY AND FITNESS FOR THE INTENDED WORK.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO BE PERFORMED. IT MUST BE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO FIELD LOCATE AND RECORD ANY DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REMOVED OR REPLACED, ENGINEER TO VERIFY LOCATION AND EXTENT OF DAMAGE.
- THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF CONTRACT DRAWINGS ON WHICH HE SHALL NOTE, IN RED, THE ALIGNMENTS AND INVERTS OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK. ALL DISCREPANCIES BETWEEN THE PLAN LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE AS-BUILT DRAWINGS TO BE MAINTAINED BY THE CONTRACTOR IN THE FIELD.
- THE CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH OR ACCESS PITS WHICH CAN BE BACKFILLED AND STABILIZED AT THE END OF EACH WORKING DAY. STEEL PLATES SHALL BE USED ON ANY TRENCH OR ACCESS PITS WHICH MUST REMAIN OPEN OVERNIGHT. THIS REQUIREMENT DOES NOT APPLY TO AREAS COMPLETELY CLOSED AND SECURE FROM VEHICULAR OR PEDESTRIAN TRAFFIC.
- DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REPLACED OR REMOVED DURING CONSTRUCTION SHALL BE IMMEDIATELY REPORTED TO ENGINEER, CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED WORK WITHOUT CHARGE TO THE OWNER.
- BASED UPON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 100050340K, EFFECTIVE DATE MARCH 16, 2015, THE ENTIRE PROPERTY IS LOCATED IN AN AREA DESIGNATED AS FLOOD ZONE "X" (UNSHADED), WHICH IS AN AREA THAT HAS BEEN DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
- SUBJECT PROPERTY IS CURRENTLY C-2 (GENERAL COMMERCIAL).
- THE SUBJECT SITE WILL BE CONSTRUCTED AS A SINGLE PHASE.
- TOTAL AREA FOR SUBJECT SITE IS 1.76 ACRES.
- THE BOUNDARY INFORMATION & TOPOGRAPHY SHOWN ON THIS PLAN WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD AND IS ALSO THE RESULT OF AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES, INC. DATED MARCH 2022.
- ALL PROPOSED LIGHTING WILL BE SUPPLIED BY BUILDING WALL PACKS AND PARKING LOT LIGHTS. REFER TO SITE LIGHTING PLAN.
- ALL SITE LIGHTING SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
- STATE AND FEDERAL WETLANDS DO NOT EXIST ON THE SITE.
- STORMWATER IS CONVEYED THROUGH PIPE SYSTEM TO PROPOSED TO ONSITE STORMWATER FACILITY AND DELDOT DRAINAGE.
- ALL FIRE LANES, FIRE HYDRANTS, EXITS, STANDPIPE, FIRE DEPARTMENT CONNECTIONS AND SPRINKLER CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS. BUILDING CONSTRUCTION TO BE WOOD, STEEL AND CONCRETE, AND WILL NOT HAVE SPRINKLERS.
- FIRE ALARM REQUIRED - THE FIRE ALARM SIGNALING SYSTEM SHALL BE AUTOMATIC, SUPERVISED OFF-SITE, AND SHALL CONSIST OF FULL COVERAGE BY SMOKE DETECTION AND ALARM NOTIFICATION. WHERE SMOKE DETECTION DEVICES WILL NOT FUNCTION BY REASON OF DEVICE LIMITATION, HEAT DETECTION SHALL BE PROVIDED IN THOSE SPECIFIC LOCATIONS FIRE ALARM SIGNALING SYSTEM PLANS AND SPECIFICATIONS SHALL BE SUBMITTED FOR REVIEW.
- LOCK BOX REQUIRED - CONTACT LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF BOX ON THE BUILDING.
- MISS UTILITY SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO EXCAVATION.
- ALL DISTURBED AREAS WITHIN THE LIMIT OF DISTURBANCE, BUT NOT IN PAVEMENT, SHALL BE TOP-SOILED (6" MINIMUM), SEEDED AND MULCHED. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- A 72 HOUR (MINIMUM) NOTICE SHALL BE GIVEN TO THE DISTRICT PERMIT SUPERVISOR PRIOR TO STARTING ROADWAY CONSTRUCTION.
- THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE OR MODIFY ANY EROSION AND SEDIMENT CONTROL MEASURES AS THEY DEEM NECESSARY.
- THE ENTRANCES / EXITS ARE PROPOSED ONLY, AND ARE SUBJECT TO REVIEW AND APPROVAL BY THE DELAWARE DEPARTMENT OF TRANSPORTATION BEFORE A CONSTRUCTION PERMIT IS ISSUED.
- THE PROPOSED SIGN IS NOT APPROVED AS PART OF THIS SITE PLAN. A SEPARATE SUSSEX COUNTY PERMIT IS REQUIRED.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION:
THE OWNER, SUSSEX CONSERVATION DISTRICT, & DELDOT.
- THE CONTRACTOR SHALL MAINTAIN PUBLIC ROADS AND STREETS IN A BROOM SWEEP CONDITION AT ALL TIMES.
- ROUTINE PERIODIC INSPECTIONS DURING CONSTRUCTION WILL BE PROVIDED BY THE OWNER. THESE INSPECTIONS DO NOT RELIEVE THE CONTRACTOR FROM HIS OBLIGATION AND RESPONSIBILITY FOR CONSTRUCTING ALL WORK IN STRICT ACCORDANCE WITH ALL STANDARDS AND SPECIFICATIONS AND CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL MEASURES TO PROTECT STOCKPILE AREAS AND STORAGE AREAS. ALL AREAS USED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR UPON COMPLETION OF THE PROJECT. IF THE STAGING AREA IS PAVED, IT SHALL BE RESTORED TO ITS ORIGINAL CONDITION. IF THE STAGING AREA IS UNPAVED, IT SHALL BE RE-GRADED, TOPSOILED, SEEDED AND MULCHED TO THE SATISFACTION OF THE ENGINEER. ALL COSTS ASSOCIATED WITH RESTORATION OF THE STAGING AREA SHALL BE AT THE CONTRACTOR'S EXPENSE. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL TAKE PRECAUTIONS TO LOCATE PROPERTY LINES AND RIGHT OF WAY LINES PRIOR TO CONSTRUCTION AND AVOID CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY AND/ OR RIGHTS OF WAYS WHERE SAID CONSTRUCTION IS PROHIBITED. THE CONTRACTOR MAY CONDUCT CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY PROVIDED IF HE HAS OBTAINED PRIOR WRITTEN PERMISSION FROM THE PROPERTY OWNER AND HAS SUBMITTED A COPY OF SAID WRITTEN PERMISSION TO THE OWNER.
- THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE WORK AREA INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL REGULATORY, WARNING AND INFORMATION SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE.

DELDOT RECORD SITE PLANS (03/21/2019):

- NO LANDSCAPING SHALL BE ALLOWED WITHIN RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL (DCM).
- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 §131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE FOR THE SIDEWALK.
- ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION STREET.
- DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.

FIRE MARSHAL NOTES:

- TAX MAP NUMBER: 234-23.00-262.00
DEED BOOK : 5666, PG 143
- GROSS ACREAGE AREA: 2.74± AC.
- DEVELOPER NAME: COMMUNITY BANK DELAWARE
OWNER/DEVELOPER ADDRESS: 16992 KINGS HWY
LEWES, DE 19958
- ADDRESS LOCATION: 13816 INDIAN MISSION RD
MILLSBORO, DE 19966
INDIAN RIVER HUNDRED
SUSSEX COUNTY
- INTENDING USE : BUILDING A - BANK AND RETAIL
BUILDING B - RETAIL
BUILDING C - MIXED USED (RETAIL AND APARTMENTS)
- WATER SUPPLIER : PUBLIC - TIDEWATER
- MAXIMUM BUILDING HEIGHT : 42' ALLOWED (PER 115-83.15 D)
- BUILDING CONSTRUCTION : REFER TO BUILDING USE TABLE

BUILDING USE AND CONSTRUCTION

BUILDING	USE	CONSTRUCTION TYPE	SF FOOTPRINT	SF GFA	SPRINKLER
A	PROPOSED BANK	1-STORY TYPE V (000) (NFPA/ FIRE MARSHALL)	3,200	3,200	NO
B	PROPOSED RETAIL PAD	1-STORY TYPE V (000) (NFPA/ FIRE MARSHALL)	4,000	4,000	NO
C	PROPOSED MIX USE (RETAIL AND APARTMENTS)	4-STORY TYPE V (000) (NFPA/ FIRE MARSHALL)	4,500	18,000	YES

TRAFFIC GENERATION - JOHN J. WILLIAMS HWY (S024) & INDIAN MISSION RD. (S022)

RT. 5 - INDIAN MISSION RD.
[FULL MOVEMENT ENTRANCE]

ROAD TRAFFIC DATA:
FUNCTIONAL CLASSIFICATION - (SCR 022 - INDIAN MISSION ROAD [SR 5] (FULL MOVEMENT ENTRANCE) - MAJOR COLLECTOR
POSTED SPEED LIMIT - 50 MPH
AADT = 6,859 TRIPS (FROM 2021 DELDOT TRAFFIC SUMMARY)
10 YEAR PROJECTED AADT= 1.16 x 6,859 = 7,956 TRIPS
TRAFFIC PATTERN GROUP = 8 (FROM 2021 DELDOT TRAFFIC SUMMARY)
DESIGN HOURLY VOLUME - 12.87%
TRUCK VOLUME - 5.00%
DISTRIBUTION % (50.0 / 50.0)

RT. 24 - JOHN J. WILLIAMS HWY.
[RIGHT IN/ RIGHT OUT ENTRANCE]

SITE TRAFFIC DATA:
SOURCE: ITE TRIP GENERATION MANUAL 11TH EDITION
EXISTING LAND USE - RESIDENTIAL SINGLE FAMILY HOMES
(2) SINGLE FAMILY DETACHED HOUSING - ITE 210
3 UNITS - Ln(T)=0.92Ln(X)+2.68 = 40 TRIPS

PROPOSED LAND USE:
STRIP RETAIL PLAZA (ITE 822)
4,000 SF & 4,500 SF PAD SITES & 3,500 SF - COMMUNITY BANK
12.0 KSF - T=42.20(X)+229.68 = 736 TRIPS (WEEKDAY)

PEAK HOUR OF ADJACENT STREET TRAFFIC:
AM PEAK: Ln(T)=0.66Ln(X)+1.84= 32 TRIPS (WEEKDAY) [60% / 40%] (19 / 13)
PM PEAK: Ln(T)=0.71Ln(X)+2.72= 89 TRIPS (WEEKDAY) [50% / 50%] (44 / 45)
SAT PEAK: AVG. RATE = 6.57 = 79 TRIPS (SATURDAY) [51% / 49%] (40 / 39)

16 UNITS - MULTIFAMILY HOUSING - LOW RISE (ITE 220)
16 UNITS - T=56.41(X)+75.41 = 178 TRIPS (WEEKDAY) [89 IN / 89 OUT]
16 UNITS - AVG. RATE = 4.55 = 73 TRIPS (SATURDAY) [36 IN / 37 OUT]

PEAK HOUR OF ADJACENT STREET TRAFFIC:
AM PEAK: T=0.31(X)+22.85= 28 TRIPS (WEEKDAY) [24% / 76%] (7 / 21)
PM PEAK: T=0.43(X)+20.55= 27 TRIPS (WEEKDAY) [63% / 37%] (17 / 10)
SAT PEAK: AVG. RATE = 0.41 = 7 TRIPS (SATURDAY)

DIRECTIONAL DISTRIBUTION / ENTRANCE UTILIZATION:
50% TO RT. 5 ENTRANCE = 457 TRIPS, SAT PEAK (20) ENTER, (20) EXIT, PM PEAK [30] [27]
50% TO RT. 24 ENTRANCE = 457 TRIPS, SAT PEAK (20) ENTER, (19) EXIT, PM PEAK [31] [28]
TOTAL SITE TRAFFIC = 914 TRIPS
SITE TRUCK TRAFFIC = 46 TRIPS (5%)

TRAFFIC GENERATION DIAGRAM
AADT (SAT PEAK HOUR) [PM PEAK HOUR]
1 DIRECTIONAL DISTRIBUTION PROVIDED BY DELDOT
2 DIRECTIONAL DISTRIBUTION PROVIDED BY ITE MANUAL
DESIGN VEHICLE - WB-40 & SU-30

PROJECT STATUS: PLOTTED: 11/02/2023 1:59 PM BY: Ryan Smad. PLOTFILE: Penmon142.dwg

PENNONI ASSOCIATES INC.
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Milton, DE 19968
T 302.684.9030 F 302.684.8054

LONG NECK COMMUNITY BANK
TAX MAP: 234-23.00-262.00 AND 261.00
31616 INDIAN MISSION ROAD (SCR 22)
MILLSBORO, DE 19966

PRELIMINARY SITE PLAN NOTES AND DETAILS

COMMUNITY BANK DELAWARE
16992 KINGS HIGHWAY
LEWES, DE 19958

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

NO.	DATE	REVISIONS	BY
1	2022-11-08	REVISED PER PAZ COMMENTS	EOC

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PROJECT: **ETDGX20001**
DATE: 2022-11-08
DRAWING SCALE: AS SHOWN
DRAWN BY: RPP
APPROVED BY: AMD

PP1002

SHEET 3 OF 3



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www.pennoni.com

November 7, 2022
 ETDGX20001

Ms. Christin Scott
 Sussex County Planning and Zoning
 2 The Circle
 Georgetown, DE 19947

**RE: Preliminary Site Plan Submission
 Long Neck Community Bank (S-22-20)
 Tax Map # 234-23.00-262.00
 Indian River Hundred
 Millsboro, DE 19966**

Dear Ms. Scott,

On behalf of the Community Bank, Pennoni Associates Inc. (Pennoni) is pleased to submit the revised Preliminary Site Plan for your consideration of review and approval. We have addressed the following comments per your letter received on May 26, 2022.

We have enclosed one (1) copy of the following documents for review and approval of the project.

<i><u>Item</u></i>	<i><u>Description</u></i>	<i><u>Last Revised</u></i>
Drawings Prepared by Pennoni Associates Inc.		
PP0001 & PP1001	Revised Preliminary Site Plan & Details	11/08/2022

Preliminary Site Plan Comments:

1. *Please correct the Site Data Column to note that this parcel is located in a Wellhead Protection Area to comply with Chapter 89 "Source Water Protection" of the Sussex County Code.*
Pennoni Response (November 7, 2022): We have revised the information.
2. *Please show the location, character, size, height and orientation of proposed signs, if any.*
Pennoni Response (November 7, 2022): At this time, the business sign has not been designed. We do note a proposed business sign at each entrance. General Note 29 states the requirement of a separate sign permit. We can provide details for final site plan if needed.
3. *Please note all signs require separate permitting.*
Pennoni Response (November 7, 2022): Note added. Refer to General Note 29.
4. *Please include a bulk grading plan.*
Pennoni Response (November 7, 2022): See attached Bulk Grading Plan.
5. *Please show the possibility of future interconnectivity through a proposed easement, if possible.*
Pennoni Response (November 7, 2022): Proposed Interconnectivity was attempted as DelDOT asked if we could take access through the Taormina Shipping Center, but that owner declined.
6. *Please show the location of any dumpsters and screening, if any.*
Pennoni Response (November 7, 2022): We show a proposed dumpster for each building which is noted by G13, Dumpster Area with Screening.
7. *Please note that adequate lighting shall be provided if the parking is to be used at night. The lights shall be arranged and installed to minimize glare on property in a residential area. Please show any additional lighting on the plan.*

Pennoni Response (November 7, 2022): The site will have standard parking lot lighting and buildings will be used at night. General Note 18, all lights shall be downward screened so that it does not shine on neighboring properties or roadways.

8. *Staff notes there is opportunity to provide bike racks on the site.*

Pennoni Response (November 7, 2022): We will review and add bike racks or internal bike storage rooms.

9. *Please note the location, height and material of proposed fencing that will surround the cemetery.*

Pennoni Response (November 7, 2022): We have noted that the cemetery has been protected by a 6' high wood privacy fence.

10. *Please show an entry point for the cemetery to be accessed.*

Pennoni Response (November 7, 2022): We have noted on the plan where the existing gate is located.

11. *Prior to approval of any Final Site Plan, approval letter or letters of no objection from the following agencies shall be submitted to the Sussex County Planning and Zoning Department*

- a) *Sussex Conservation District*
- b) *Office of the State Fire Marshal*
- c) *Delaware Department of Transportation (DelDOT)*
- a) *Sussex County Engineering Department*
- b) *Tidewater Utilities*

Pennoni Response (November 7, 2022): Understood.

If you have any comments or need additional information, please call us at (302) 684-8030.

Sincerely,

PENNONI ASSOCIATES INC.



Alan Decktor, PE, ENV SP
Senior Engineer

CC.

U:\Accounts\ETDGX\ETDGX20001 - Rt. and Rt. 24\DELIVERABLES\PZ\2022-11-07 Revised Prelim Plan\2022-11-07 Prelim Site Plan Response Letter.docx

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878
302-854-5079 F
JAMIE WHITEHOUSE, AICP MRTPI
PLANNING & ZONING DIRECTOR

May 23, 2022

Mr. Kenneth M. Usab, P.E.
Morris & Ritchie Associates, Inc.
18 Boulden Circle, Suite 36
New Castle, DE 19720

By email to: kusab@mragta.com

RE: Staff Review of the Preliminary Site Plan for the Bay Forest Club Phase 6 (Sprogell Infill Parcel) Residential Planned Community (RPC) for the construction of 23 units to consist of 15 single-family detached condominiums and 8 townhomes to be located on the north side of Sanderling Road and with access off of Flycatcher Way within the existing and previously approved Bay Forest Club Residential Planned Community (RPC)
Tax Parcels: 134-8.00-17.01

Dear Mr. Usab,

Further to your submission of March 25, 2022, staff have reviewed the submitted Preliminary Site Plan for the Bay Forest Club Phase 6 (Sprogell Infill Parcel) Residential Planned Community (RPC). The proposal is for the construction of twenty-three (23) units to consist of fifteen (15) single-family detached condominiums and eight (8) townhomes to be located on the north side of Sanderling Road and with access off of Flycatcher Way within the existing and previously approved Bay Forest Club Residential Planned Community (RPC). The parcel is zoned Medium Density Residential, Residential Planned Community (MR-RPC). At their meeting of Tuesday, April 27, 2021, the Sussex County Council approved a change of zone application (Change of Zone 1921) for a rezoning from Agricultural Residential (AR-1) District to a Medium Density Residential, Residential Planned Community (MR-RPC). The parcel also lies within the Coastal Area per Sussex County's 2018 Comprehensive Plan Update. Staff have reviewed the proposed subdivision plan for compliance with the Sussex County Zoning and Subdivision Code and have the following comments:

Revised Preliminary Site Plan

1. **Please ensure that the plans contain the Conditions of Approval for Change of Zone (C/Z) 1921 as provided in the Notice of Decision Letter which was issued by the Department on 1/24/22.**
2. **Please ensure that the Conditions featured on the plans are identical to those Conditions imposed by Ordinance No. 1670 through Change of Zone No. 1526 as these conditions shall apply to the use as herein described.**



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE 19947

3. **Please note within the Site Data Column that these lands were also part of a Change of Zone Application, (C/Z 1921) from an Agricultural Residential (AR-1) District to a Medium Density Residential, Residential Planned Community (MR-RPC) and that the change was adopted on 4/27/21 through Ordinance No. 2771.**
4. **Please note on the plans within the Site Data Column that the proposal is not located within a Wellhead Protection Area (§89-6).**
5. **Please note within the Site Data Column that the project lies within areas of “Good” and “Fair” Groundwater Recharge Potential) in order to comply with Chapter 89 “Source Water Protection” of the Sussex County Code (§89-7).**
6. **Please ensure that the Revised Preliminary plans show the seal and signature of a registered Delaware land surveyor or registered Delaware professional engineer and shall be prepared at a minimum scale of one inch equals 100 feet (§99-22(A)).**
7. **The Site Data Column notes that the Phase 6 Site Area consists of 6.14 acres +/- . County mapping records indicate that the property is 5.00 acres +/- . Please confirm whether this acreage is correct.**
8. **Please remove the signature panel and block approval panel for the Sussex County Engineering Department as this is no longer a requirement.**
9. Please note on the top center of the plans that the proposal is a Residential Planned Community (RPC).
10. Please note that the Applications listed in the subheader of the Cover Sheet are Change of Zone Applications (Sheet 1).
11. Please clarify on the plans that this is Phase 6 of the Bay Forest Club RPC (Sheet 1).
12. Please include in the Site Data Column, the Future Land Use Map Designation for the property. The property lies within the Coastal Area per Sussex County’s 2018 Comprehensive Plan Update.
13. Please add to the plans a General Note in the Site Data Column which notes that the subject site is not located within an established Transportation Improvement District (TID).
14. Please ensure that all topographic contours shown on the plan are provided at one-foot intervals (§99-23(G)).
15. Please include the zoning of all surrounding and adjacent properties on the plan (§99-23(I)).
16. Please include approvals for the street names as shown and proposed on the plans from the Geographic Information Office (GIO – formerly known as the Sussex County Department of Mapping and Addressing). Please note that the names shall not duplicate nor closely resemble existing street names in the same hundred or postal district, except for extensions of existing streets (§99-23(J)).

17. Please add to the plans the nature and size of all drainage facilities (stormwater management ponds) on the plans (§99-23(M)).
18. Please include a proposed grading plan when excavation, recontouring or similar work is to occur in conjunction with development of the subdivision (§99-23(N)).
19. Please clearly show the location of all wetlands (both state and federal) in order to facilitate compliance with state and federal wetlands requirements (§99-23(Q)). Additionally, please clarify within the Site Data Column that the DNREC Wetlands totals provided are under state regulation and that the federally regulated wetlands are regulated through the Army Corps. of Engineers under Section 404B of the Clean Water Act. Please provide the total acreage of wetlands on the Site.
20. Please include on the plans, statements concerning any proposed deed restrictions to be imposed by the owner (§99-24(B)). If no deed restrictions are to be imposed, please clarify this within the General Notes.
21. Please include statements explaining how and when the subdivider proposes to provide for the perpetual maintenance of forested buffer strips (§99-24(F)).
22. As a general reminder, please note that for purposes of calculating the permitted density or allowable density in all districts, "Gross area" shall include the lot areas and the area of land set aside for common open space or recreational use but shall exclude any area designated as a tidal tributary stream or tidal wetlands by §115-193 (§115-15.1).
23. Please include the approximate location and size of recreational areas, if any are to be included as part of this proposal (§115-220(B)(10)).
24. Please include the number of construction phases proposed, if any, with the plot showing the approximate boundaries of each phase and the proposed completion date of each phase (§115-220(B)(12)).

Final Site Plan

1. **Please ensure as part of a Landscape Plan to be submitted with the Final Site Plan that a 20-ft forested/landscape buffer that meets the provisions of §99-5 of the Sussex County Code is shown around the entire perimeter of the site to be developed. The buffer shall consist of 70% deciduous trees and 30% evergreen trees. Please note that the 30-ft width shall be exclusive of any proposed stormwater management areas or facilities, open space, etc. A landscape plan for the buffer shall be designed and certified by a licensed landscape forester or architect designated by the Society of American Foresters as a “certified forester.” The certification should be included on any Final Subdivision Plan.**
2. **Please add text to the front center of the Cover Sheet which clearly delineates that this proposal is a Residential Planned Community (RPC) proposal.**
3. **Please include a space for the signature of an authorized representative of the Sussex Conservation District approving the location and design of all**

stormwater management areas and erosion and sediment control facilities which shall be shown on the Final Site Plan (§99-26(A)(18)).

4. **It is noted that two (2) nodes have been provided for the walking path within the community. Please clarify if landscape or similar vegetation or if any benches or seating will be proposed in these areas.**
5. Please include the locations, dimensions and purposes of any other property offered for dedication or to be reserved for acquisition for public use or to be reserved by deed covenant for the common use of property owners in the subdivision (§99-26(A)(11)).
6. Please include an owner's statement of dedication of streets and other public ways for dedication to public use or an owner's statement providing perpetual maintenance of private streets and other common areas (§99-26(A)(15)).
7. Please include the percentage of impervious surface cover area in the Site Data Column. Please also include a breakdown of proposed Open Space within the Site Data Column by Open Space Area (ie: Open Space "A," "B," "C," "D," etc.) (§99-26(A)(19)).
8. Please add to the plans, a summary of deed restrictions applicable within the subdivision, including agreements for the operation and maintenance by the property owners or agency in the subdivision of street and road improvements, surface drainage facilities, erosion and sedimentation control facilities, water supply facilities, sanitary sewer facilities, forested buffer strips, all areas approved as open space as defined in §99-5 and other improvements deemed necessary by the Commission (§99-27 (A)).
9. Please provide evidence that all conditions related to the preliminary plat approval have been identified (§99-27(B)).
10. Please clarify the material that the proposed sidewalk/walking trail will be constructed of. Please note that per ADA requirements, the material for the trail shall be both durable and slip-resistant. Within the Coastal Area, design consideration should be given by the applicant toward the establishment of a greenways system which utilizes schools, parks, wildlife habitat areas, river and stream corridors, wetlands, floodplains, historic sites, business parks, urban sidewalks, abandoned rail lines, roads, beach areas and vacant land. Greenways should provide benefits like safe pedestrian, bicycling and equestrian routes for recreationists and commuters, and natural wildlife corridors and biological reserves (§115-194.3(E)).
11. Please add to the plans the location and character of construction of all outdoor lighting systems (§115-221(B)(5)).
12. Please include the location, height and material of all fences, walls, screen planting and landscaping (§115-221(B)(9)).
13. Please show the location, character, size, height, and orientation of proposed signs (§115-221(B)(11)).
14. Please include a bulk grading plan (§115-221(B)(17)).

15. Please add a General Note that any separate signage that is proposed shall be subject to a separate permit to be issued by the County.
16. Please clarify whether any further amenities are to be provided as part of this proposal.
17. Please include the nature and location of all proposed trash receptacles on the plans. Please clarify if a central trash location is proposed (dumpsters) or if trash collection is to be decentralized and addressed as part of each individual unit provided.
18. Staff encourage the use of the following elements within the proposed Final Site Plan where practicable:
 - Provision of a bike rack to encourage multimodal travel within the Residential Planned Community (RPC).
 - Provision of an electric vehicle charging station. The Delaware Department of Natural Resources and Environmental Control provides an Electric Vehicle Charging Equipment Rebate Program for public areas. The rebate amounts are \$3,500 for single port and \$7,000 for dual port. Please contact DNREC's Division of Climate, Coastal and Energy for further information if interested (302)735-3480.
 - Provision of landscaping islands within parking areas to eliminate the amount of impervious surface cover provided as the site is located within an area "Good" and "Fair" Groundwater Recharge Potential.
 - Provision of further aesthetic improvements such as Complete Streets which foster a shared sense of place and community to include items such as street pole flags, pavers, walking trails, pocket parks, fountains, further outdoor seating, pavilions, gardens, or communal gathering areas.
19. Prior to approval of the Final Site Plan, approval letters or letters of no objection from the following agencies shall be submitted to the Sussex County Planning and Zoning Office (All items in which a check mark appears have been received by the Department. Any items in bold have not been received and still require submittal to the Department):
 - a. **Sussex Conservation District**
 - b. **Office of State Fire Marshal**
 - c. **Delaware Department of Transportation (DelDOT)**
 - d. **Sussex County Engineering Department**
 - e. **Sussex County Geographic Information Office (GIO – formerly known as the Sussex County Department of Mapping and Addressing.)**
 - f. **Office of Drinking Water (Public Health)**
 - g. **The local school district regarding bus stop provisions.**
 - h. **Copies of all draft/proposed HOA documents for the file.**

Once all of the above matters have been addressed, please provide one (1) full-size copy and one (1) electronic copy of a Revised Preliminary Site Plan at least **ten (10) days prior** to the Planning and Zoning Commission meeting you wish for your application to be considered at. If you wish for your

application to be considered by the Planning and Zoning Commission as an “Other Business” item at their meeting scheduled for **Thursday, June 9, 2022**, please submit all required materials later than close of business on **Tuesday, May 31, 2022**.

Please feel free to contact me with any questions during business hours 8:30 A.M. – 4:30 P.M., Monday through Friday at 302-855-7878.

Sincerely,

A handwritten signature in black ink that reads "Lauren DeVore". The signature is written in a cursive style with a large initial 'L' and 'D'.

Ms. Lauren DeVore
Planner III

ENGINEERING DEPARTMENT

ADMINISTRATION (302) 855-7718
AIRPORT & INDUSTRIAL PARK (302) 855-7774
ENVIRONMENTAL SERVICES (302) 855-7730
PUBLIC WORKS (302) 855-7703
RECORDS MANAGEMENT (302) 854-5033
UTILITY ENGINEERING (302) 855-7717
UTILITY PERMITS (302) 855-7719
UTILITY PLANNING (302) 855-1299
FAX (302) 855-7799



Sussex County

DELAWARE
sussexcountyde.gov

HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

JOHN J. ASHMAN
DIRECTOR OF UTILITY PLANNING

MEMORANDUM

To: Michael Brady and Jordan Dickerson
Public Works Division

From: John Ashman and Rob Davis
Utility Planning Division

Date: February 25, 2019

Subject: Bay Forest Club
Tax Map Reference: 134-8.00 Parcel 17.01

File: SPS-5.04

The Utility Planning Department recently met with Ken Usab, Project Engineer and Chris Buczkowski, Project Manager regarding central sewer service for a proposed 23-unit development on the above noted parcel.

The area was previously included on an overall Bay Forest Club sewer concept plan that was approved by Sussex County. 15 total units were proposed for the parcel at that time. Twenty-three total units are currently proposed for the parcel. Sewer service is available and has been extended to the parcel. Following a review of the current proposal, it was determined that a Sewer Concept Evaluation would not be required. A Use of Existing Infrastructure Agreement is required.

Thank you.

cc: John Ashman
Jayne Dickerson
Christine Fletcher
Denise Burns
Bay Forest Club, LLC
Ken Usab
Chis Buczkowski





January 18, 2023

REVISED APPROVAL

Mr. Mike Morris
Morris & Ritchie Associates, Inc.
8 West Market Street
Georgetown, DE 19947

TIDEWATER UTILITIES, INC.
Bethany Bay Ocean View District
PWS DE0000221
Approval #22W49 REV 1

Re: Bay Forest Club Phase 6 Section Z
Sprogell Infill Parcel

Dear Mr. Morris:

The Division of Public Health Office of Engineering has reviewed the revised water plans for the Bay Forest Club Phase 6 Section Z – Sprogell Infill Parcel submitted by Morris & Ritchie Associates, Inc. The plans consist of:

1. Transmittal letter dated January 18, 2023.
2. One set of plans entitled; “Bay Forest Club Sprogell Infill Parcel” dated December 7, 2022.

These plans will replace the previous plans, Approval to Construct # 22W49. The Approval to Construct number, 22W49, and conditions dated March 31, 2022 will remain the same. The approval is void if construction has not started by January 18, 2024. Thank you for bringing the changes to our attention.

One set of as-built drawings, including profile markups, must be submitted with satisfactory bacteriological results before an Approval to Operate will be issued. Please do not hesitate to contact me at 302-741-8646 with questions or concerns.

Sincerely,

A handwritten signature in black ink that reads "William J. Milliken, Jr." with a stylized flourish at the end.

William J. Milliken, Jr.
Engineer III
Office of Engineering

Cc: Tawanda Priester, Tidewater Utilities, Inc.

SITE DATA

- PROJECT TITLE/NAME: BAY FOREST CLUB - SPROGEL (SECTION "Z"/PHASE 6)
ADDRESS: 30261 SPROGELL LN
DAGSBORO, DE 19939
- TAX PARCEL: 134-8.00-17.01
134-8.00-1072.00
134-8.00-1071.01] PART OF EXISTING
134-8.00-15.02] PHASES
*THE PROVIDED TAX MAP/PARCEL AND TABULATION
INFORMATION DOES NOT REFLECT INDIVIDUAL PRIVATE OWNERSHIP.
- OWNER INFORMATION: BAY FOREST, LLC
506 MAIN STREET, 3RD FLOOR
GATHERSBURG, MARYLAND 20878
- DEVELOPER: BAY FOREST, LLC. C/O
NATELLI COMMUNITIES, INC.
506 MAIN STREET, 3RD FLOOR
GATHERSBURG, MARYLAND 20878
ATT.: MR. THOMAS A. NATELLI, JR. - VP
PHONE: (301) 670-4020
FAX NUMBER: (301) 258-7453
- ZONING INFORMATION: EXISTING ZONING: MR-RPC*
*THESE LANDS WERE PART OF A CHANGE OF ZONE APPLICATION, (C/Z
1921) FROM AN AGRICULTURAL RESIDENTIAL (AR-1) DISTRICT TO A MEDIUM
DENSITY RESIDENTIAL, RESIDENTIAL PLANNED COMMUNITY (MR-RPC) DISTRICT
THROUGH A CHANGE ADOPTED ON 4/27/21 THROUGH ORDINANCE NO. 2771.
- LAND USE INFORMATION: EXISTING USE: COASTAL AREA
PROPOSED USE: COASTAL AREA
- NET DEVELOPMENT COMPUTATIONS: TOTAL SITE AREA = 421.95 AC.±
PHASE 1 SITE AREA = 179.08 AC.±
PHASE 2 SITE AREA = 86.51 AC.±
PHASE 3 SITE AREA = 36.41 AC.±
PHASE 4 SITE AREA = 67.78 AC.±
PHASE 5 SITE AREA = 46.05 AC.±
PHASE 6 SITE AREA = 6.14 AC.±
TOTAL STATE WETLANDS = 29.27 AC.±
TOTAL ROAD R/W = 55.86 AC.±
- NET DEVELOPMENT ACREAGE: SITE AREA - (STATE WETLANDS + COMM. + STREET R/W)
421.95 AC.± - (29.27 AC.± + 0 AC + 55.86 AC.±) = 336.82 AC.±
- GROSS DENSITY: 936 UNITS/421.95 AC.± = 2.22 UNITS/AC.±
- NET DENSITY: 936 UNITS/336.82 AC.± = 2.78 UNITS/AC.±
- OPEN SPACE & IMPERVIOUS COVERAGE SUMMARY: REQUIRED [SECTION 99.21(D)]:
10% X 6.14 AC.± = 0.614 AC.±
PROPOSED = 2.000 AC.
ACTIVE = 0.672 AC.
- OPEN SPACE/IMPERVIOUS COVERAGE SUMMARY WITHIN LOC:
ROADS, WALKS, BLDGS (IMPERV. STRUCT.) 2.432 AC.
POND EXPANSION AREA = 0.261 AC.
AREA "A" = 0.753 AC.
AREA "B" = 0.119 AC.
OTHER PERVIOUS AREAS = 2.255 AC.
TOTAL IMPERVIOUS = 2.432 AC. / 41.8%
TOTAL PERVIOUS & OS PONDS = 3.388 AC. / 58.2%
- PARKING ANALYSIS: PARKING REQUIRED: 23 UNITS X 3 SP/DU = 69 SP
PARKING PROVIDED: 23 UNITS X 3 SP/DU + 18 = 87 SP
- PROPOSED UNITS: 15 CONDO (DETACHED)
8 TOWNHOUSES (ATTACHED)
- BULK AREA REQUIREMENTS: SINGLE FAMILY ATTACHED CONDOMINIUMS (TOWNHOUSES)
FRONT SETBACK: 20' (40' AGG. FRONT & REAR)
REAR SETBACK: 20'
SIDE YARD SETBACK: 20'
DISTANCE BETWEEN BLDGS.: 40' MIN.
AVG. LOT AREA PER DWELLING UNIT: 5,233 S.F.
MIN. LOT AREA: 1,600 S.F.
MAX. BLDG. HT: 42'
PARKING SPACE REQUIRED: 3 SP PER UNIT
SINGLE FAMILY DETACHED CONDOMINIUMS: (VILLAS)
FRONT SETBACK: 10'
REAR SETBACK: 20'
SIDE YARD SETBACK: 20'
DISTANCE BETWEEN BLDGS.: 40' MIN.
MAX. BLDG. HT: 42'
PARKING SPACE REQUIRED: 3 SP PER UNIT
- FOREST COVER: EXIST. FOREST: 3.84 AC. ± (77% OF TOTAL PARCEL)
FOREST CLEARED: 3.45 AC. ± (89%)
FOREST REMAINING: 0.39 AC. ± (7%)
AFFORESTATION: 0.00 AC. ± (0%)
PROPOSED TOTAL: 0.39 AC. ±
- WETLANDS: EXISTING TIDAL WETLANDS: 29.37 AC.± (7.04%)
DISTURBED TIDAL WETLANDS: 0.15 AC.± (0.51%)
TIDAL WETLAND MITIGATION: 0.21 AC.± (0.71% OF EXISTING TIDAL WETLAND)
EXISTING NON-TIDAL WETLANDS: 19.62 AC.± (4.72%)
DISTURBED NON-TIDAL WETLANDS: 0.16 AC.± (0.82%)
NON-TIDAL WETLAND MITIGATION: 4.14 AC.± (21.10%)
- NO REGULATED WETLANDS WERE OBSERVED WITHIN PHASE 6.
- WATER SERVICE: TIDEWATER UTILITIES, INC. - PUBLIC
- SANITARY SEWER: THE MILLVILLE EXPANSION OF BETHANY BEACH SANITARY SEWER PUBLIC.
- WASTEWATER INFRASTRUCTURE USE AGREEMENT NO. IUA-918-18
- THIS SITE LIES WITHIN FLOOD ZONE X, PER FEMA NO. 1000500503K,
EFFECTIVE MARCH 16, 2015
- BOUNDARY SURVEY PROVIDED BY MRA ASSOCIATES, INC. MARCH 2013 AND
TOPOGRAPHIC SURVEY PROVIDED BY MRA ASSOCIATES, INC. MARCH 2019.
HORIZONTAL DATUM IS DELAWARE STATE PLANE NAD83 AND VERTICAL DATUM IS NGVD'29.
- PROJECT SITE IS NOT WITHIN A TRAFFIC IMPROVEMENT DISTRICT (TID).
- PROJECT SITE LIES WITHIN INVESTMENT LEVEL AREA 3.
- PROJECT SITE IS NOT WITHIN A WELLHEAD PROTECTION AREA.
- PROJECT SITE LIES WITHIN AREAS OF "GOOD" AND "FAIR" GROUNDWATER RECHARGE POTENTIAL.

BAY FOREST CLUB SPROGELL INFILL PARCEL

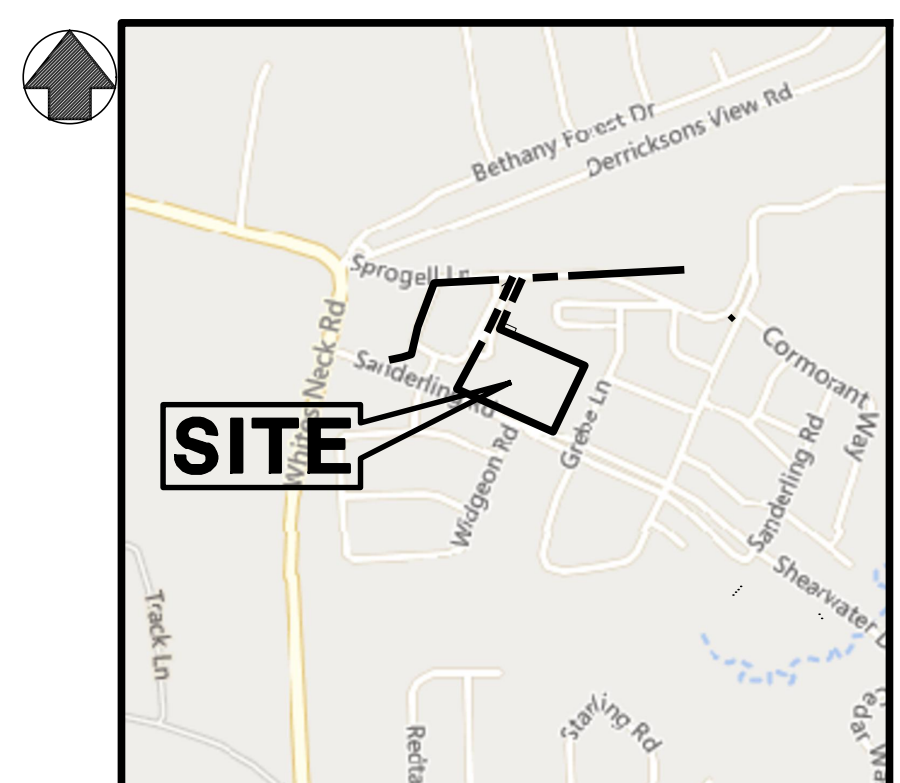
SECTION "Z" / PHASE 6

A RESIDENTIAL PLANNED COMMUNITY (RPC)

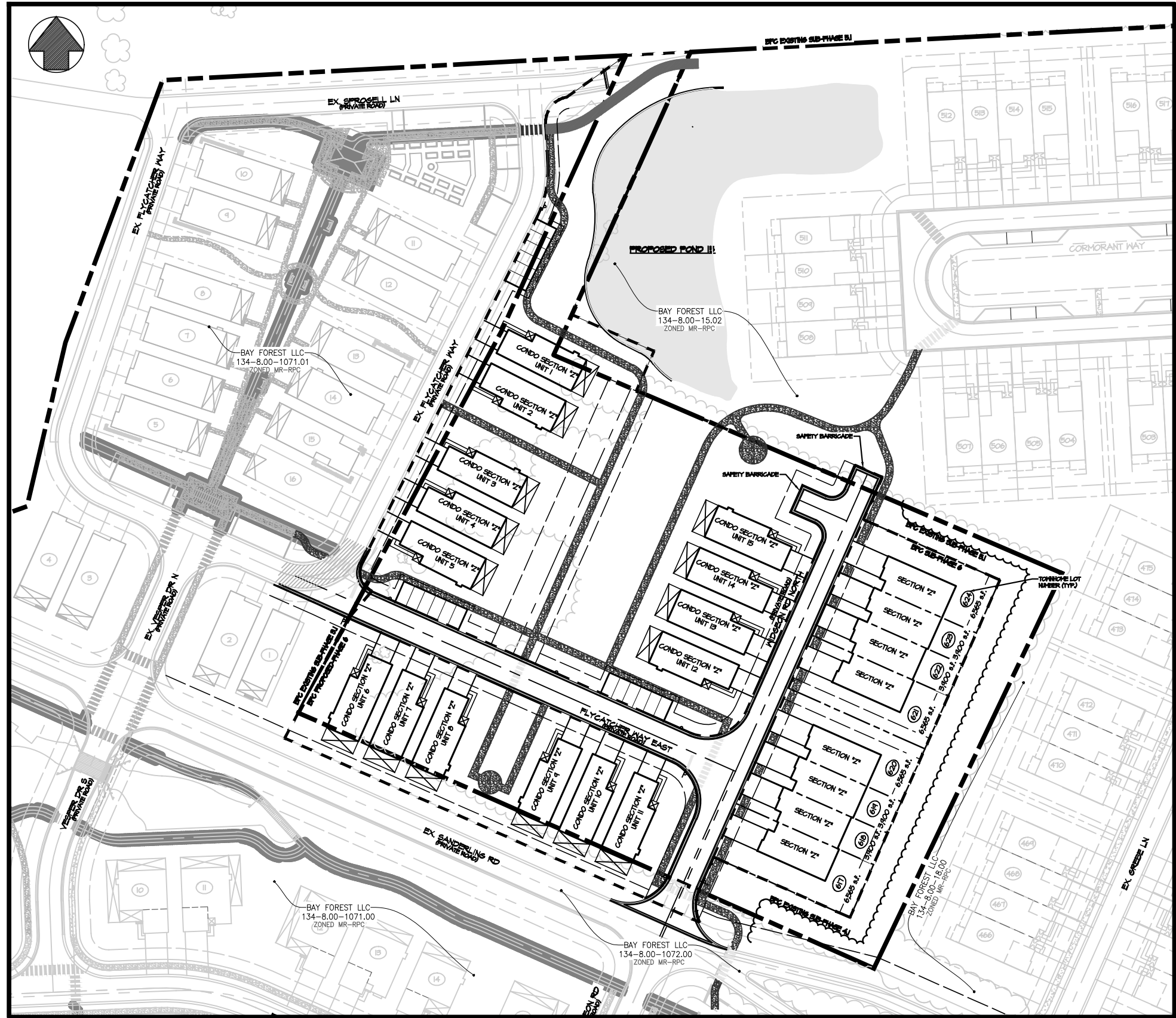
SUSSEX COUNTY, DELAWARE

FINAL SITE PLAN

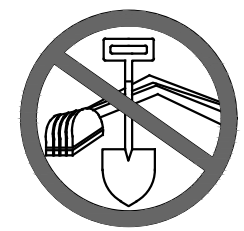
SUSSEX COUNTY PLANNING C/Z# 1526, 1741, 2445 & 1921



LOCATION MAP
SCALE: 1" = 1000'



SITE OVERVIEW
SCALE: 1" = 100'



BEFORE YOU DIG!
CALL UTILITY
LOCATION SERVICES
IT'S THE LAW!
MISS UTILITY
811

INDEX OF DRAWINGS

SHEET	TITLE
1	TITLE SHEET
2	GENERAL NOTES
3	FINAL SITE PLAN

SCD STAMP APPROVAL AREA

DEVELOPER / APPLICANT CERTIFICATION

I, THE UNDERSIGNED, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL INVOLVED IN THE LAND DISTURBANCE WILL HAVE A "CERTIFICATION OF TRAINING AT A DEPARTMENTAL SPONSORED OR APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT CONTROL BEFORE INITIATION OF THE PROJECT." I ALSO ACKNOWLEDGE THAT THE SUSSEX CONSERVATION DISTRICT OR DELEGATED INSPECTION AGENCY HAS THE RIGHT TO CONDUCT ON-SITE INSPECTIONS.

Thomas A. Natelli, Jr. 1/5/23
DATE

MR. THOMAS A. NATELLI, JR. - VICE PRESIDENT
BAY FOREST, LLC.
BY: NATELLI COMMUNITIES LIMITED PARTNERSHIP, SOLE MEMBER
506 MAIN STREET, 3RD FLOOR
GATHERSBURG, MD. 20878
PH: 301-670-4020

OWNER/DEVELOPER'S PLAN APPROVAL:

I, AS OWNER OF THE PROPERTIES SHOWN, HEREBY APPROVE THESE PLANS FOR DEVELOPMENT AS SHOWN OR OTHERWISE NOTED.

Thomas A. Natelli, Jr. 1/5/23
DATE

MR. THOMAS A. NATELLI, JR. - VICE PRESIDENT

WETLANDS STATEMENT

I, EDWARD M. LAUNY, PWS, STATE THAT THERE ARE NO WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED UPON THIS PROPERTY AS DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, REGULATIONS AND SUPPLEMENTAL GUIDANCE (33 CFR 328.4(c)(8)), WATERS OF THE U.S. DEFINITION/CEW-OR, 10-7-1991, QUESTIONS AND ANSWERS ON THE 1987 COE MANUAL/CEW-OR, 9-26-1990, RGL 90-7/CEW-OR, 3-6-1992, CLARIFICATION AND INTERPRETATION OF THE 1987 MANUAL). THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES.

IN ACCORDANCE WITH DNRFC TIDAL WETLAND MAPS, THERE ARE NO STATE REGULATED WETLANDS ON THE SITE.

Edward M. Launy 1/5/23
DATE

EDWARD M. LAUNY, PWS, No. 875
SOCIETY OF WETLANDS SCIENTISTS
CORPS OF ENGINEERS, CERTIFIED WETLAND
DELINEATOR (WD03P0005100368)
ENVIRONMENTAL RESOURCES, INC.
PHONE NUMBER: 302-436-9837

ENGINEER'S CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THE PLAN SHOWN AND DESCRIBED HEREON, OTHER THAN THE PROPERTY BOUNDARY AND TOPOGRAPHY, IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED STANDARDS AND PRACTICES AND BY THE SUSSEX COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO THE EXTENT THAT IT DESCRIBES THE PROPOSED MANNER AND LAYOUT OF THE SUBDIVISION.

Kenneth M. Usab 1/5/23
DATE

KENNETH M. USAB
DE LICENSE NO. #10832

DELDOT RECORD GENERAL NOTES

- (*LAST REVISED MARCH 21, 2019)
- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
 - NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
 - SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
 - UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
 - PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THE SUBDIVISION OR BOTH (TITLE 17 ARTICLE 131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
 - THE SIDEWALK AND SHARED USE PATH SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE FOR THE SIDEWALK AND/OR SHARED USE PATH.
 - TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
 - THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.



MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS, PLANNERS,
SURVEYORS, AND LANDSCAPE
ARCHITECTS

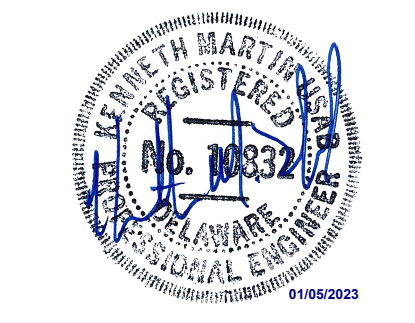
8 WEST MARKET STREET
GEORGETOWN, DE. 19947
302-855-5734

DEVELOPER:

BAY FOREST, LLC
BY: NATELLI COMMUNITIES LP.,
SOLE MEMBER
BY: NATELLI COMMUNITIES, INC.,
GENERAL PARTNER

506 MAIN STREET, 3RD FLOOR
GATHERSBURG, MARYLAND 20878
ATT: MR. THOMAS A. NATELLI, JR. - VP
PHONE: (301) 598-7320

**BAY FOREST CLUB
SPROGELL INFILL PARCEL**
SECTION "Z" / PHASE 6 / RESIDENTIAL SUBDIVISION
FINAL SITE PLAN
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE



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NO.	REVISION	DATE
JOB NO. 12347x20	DRAWN BY GMM	ISSUED 01/05/23

TITLE SHEET

SHEET NUMBER

G:\12347-20-Bay Forest-Sprogell\DE\12347-20-Final Site Plan.dwg, 1/5/2023 8:22:36 AM, G:\moris...
1:1, Copyright 2023 Morris & Ritchie Associates, Inc.

CONSTRUCTION NOTES

- CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT (811) AT LEAST (3) WORKING DAYS PRIOR TO EXCAVATION, TO HAVE EXISTING UNDERGROUND UTILITIES LOCATED AND MARKED.
- ALL MATERIALS & WORKMANSHIP SHALL MEET THE STATE OF DELAWARE STANDARDS & SPECIFICATIONS.
- ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, AND PROJECT SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND SHALL APPROPRIATELY MARK DURING ALL PHASES OF CONSTRUCTION:
 - NATELLI COMMUNITIES, INC. 301-590-7320
 - SUSSEX COUNTY ENGINEERING DEPARTMENT 302-855-7718
 - TOWNSHIP UTILITIES 302-845-8880
 - SUSSEX CONSERVATION DISTRICT 302-856-2105
- CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL RIGHT-OF-WAY LINES AND PROPERTY LINES TO HIS OWN SATISFACTION. ALL PROPOSED UTILITIES ARE TO BE CONSTRUCTED WITHIN THE ROADWAY OR EASEMENT RIGHT-OF-WAY. ANY DISTURBED AREAS BEYOND THE EASEMENT LINES SHALL BE RESTORED IMMEDIATELY TO THEIR ORIGINAL CONDITION.
- AERIAL TOPOGRAPHY FLOWN SPRING OF 2002 AND MAPPED BY 656 TOPO, GREAT FALLS, VA AND SUPPLEMENTED BY FIELD RUN TOPOGRAPHY PERFORMED BY MORRIS AND RITCHE ASSOCIATES, INC. JANUARY 23, 2019. ELEVATIONS BASED ON TRAVELER POINT NO. 63-IRON BAR-ELEV. 3.55 N-209,290.9980 E-743,845.0090 TRAVELER POINT NO. 60-IRON BAR-ELEV. 10.40 N-208,076.6830 E-744,333.4070.
- EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE BASED UPON THE BEST AVAILABLE INFORMATION AND ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. NO GUARANTEE IS MADE OR IMPLIED REGARDING THE ACCURACY OR COMPLETENESS THEREOF. CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF DEPTH, SIZE AND MATERIAL OF ALL UNDERGROUND UTILITIES TO HIS OWN SATISFACTION BEFORE BEGINNING ANY EXCAVATION OR UTILITY INSTALLATION. THE OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION. IF THE CONTRACTOR RELIES ON SAID INFORMATION, HE DOES SO AT HIS OWN RISK. THE GIVING OF THE INFORMATION ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO SUPPORT AND PROTECT ALL SHOWN OR NOT SHOWN EXISTING UTILITIES AND APPURTENANCES. SHOULD ANY EXISTING UTILITIES BE DAMAGED BY THE CONTRACTOR, THE CONTRACTOR SHALL REPAIR THE DAMAGE CAUSED TO THE UTILITY OWNER'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF TRAFFIC IN ALL WORK AREAS.
- ROUGH GRADING SHALL BE COMPLETE PRIOR TO THE CONSTRUCTION OF WATER & SEWER SYSTEMS.
- USE ONLY SUITABLE AND APPROVED GRANULAR MATERIAL FOR BACKFILLING TRENCHES.
- CONTRACTOR SHALL ADJUST TO FINISH GRADE AS NECESSARY ANY VALVE BOXES, MANHOLES, CATCH BASINS ETC., PRIOR TO PLACING PAVING.
- CONTRACTOR SHALL PROVIDE STAKEOUT NECESSARY FOR THE INSTALLATION OF UTILITIES, STORMDRAINS, PAVING AND ALL OTHER SITE WORK INCLUDED IN THESE PLANS. ALL STAKEOUT WORK IS TO BE PERFORMED UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF DELAWARE.
- CONTRACTOR TO MAINTAIN MINIMUM OF 3.5 FEET OF COVER OVER ALL NEW WATER LINES AS MEASURED FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
- SEWER LINES SHALL HAVE MINIMUM VERTICAL CLEARANCE OF 18 INCHES FROM WATER MAINS AT CROSSINGS. MAINTAIN A 10 FOOT MINIMUM PLANE SEPARATION BETWEEN SEWER AND WATER MAINS. SEWER LINES SHALL HAVE A MINIMUM 6 INCHES FROM OTHER UTILITIES. IF THESE CLEARANCES CAN NOT BE MAINTAINED, THEN PROVISIONS FOR PROPERLY ENCASED PIPE IN CONCRETE MUST BE PROVIDED.
- LATERALS SHALL BE 6 INCHES IN DIAMETER, WITH VERTICAL CLEANOUTS OF 6 INCHES IN DIAMETER. AND TO HAVE A MINIMUM OF 3' OF COVER FROM SUSSEX COUNTY CLEANOUT TO MAIN LINE.
- ALL GRAVITY SEWER PIPES SHALL BE PVC SDR 35. FOR PIPE SLOPES SEE SANITARY SEWER PROFILES.
- MATERIAL OF CONSTRUCTION FOR SEWER FORCE MAINS SHALL BE AS NOTED ON THE DRAWINGS. FORCE MAIN SHALL BE INSTALLED AS PROFILED TO PREVENT FORMATION OF UNANTICIPATED HIGH POINTS IN THE INSTALLATION.
- ALL SEWER LINES MUST BE SUCCESSFULLY TESTED, PRIOR TO FINAL ACCEPTANCE.
- ALL SANITARY SEWER SYSTEM CONSTRUCTION PERFORMED SHALL BE IN ACCORDANCE WITH SUSSEX COUNTY ORDINANCE 38, THESE PLANS AND ALL APPLICABLE CONSTRUCTION PERMITS.
- ALL DROP MANHOLES TO BE 5'-0" IN DIAMETER.
- FITTINGS SHOWN ON THE PLANS ILLUSTRATE ANTICIPATED ANGLE OF DEFLECTION. THIS INFORMATION IS SHOWN FOR YOUR INFORMATION AND IS NOT A GUARANTEE. AN ANGLE MAY VARY DUE TO FIELD CONDITIONS. USE OF ADDITIONAL FITTINGS SHALL BE AUTHORIZED BY THE ENGINEER.
- THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEVIATION FROM THESE PLANS UNLESS WRITTEN APPROVAL HAS BEEN PROVIDED BY THE ENGINEER.
- ALL DISTURBED AREAS IN THE STATED RIGHT OF WAY, BUT NOT IN THE PAVEMENT SECTION MUST BE TOPSOILED (6" MINIMUM), FERTILIZED, MULCHED, AND SEED.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE PLACED IN ACCORDANCE WITH THE DELAWARE M.U.T.C.D. MANUAL, MOST CURRENT EDITION.
- ALL PROPOSED STORM DRAIN DESIGNATED AS "RCP" IS TO BE REINFORCED CONCRETE CIRCULAR PIPE, MEETING ASHITO M-170 SPECIFICATIONS. SEE PROFILES FOR SPECIFIC PIPE CLASS.
- ALL LENGTHS OF PIPE ARE MEASURED HORIZONTALLY FROM CENTER LINES OF INLETS, MANHOLES OR FITTINGS. ACTUAL TRUE LENGTHS OF PIPES ARE TO BE DETERMINED IN THE FIELD.
- WHERE SPECIFIED, HDPE STORM DRAIN PIPE SHALL BE ADS N-12 (SMOOTH INTERIOR) PIPE WITH ADS PRO-LINK WT (BELL/BELL COUPLER) FOR WATER TIGHT CONNECTIONS. REFER TO PLAN AND PROFILES FOR MATERIALS USED.
- ALL EMBEDMENT MATERIALS USED FOR BEDDING, HAUNCHING, AND INITIAL BACKFILL FOR HDPE PIPE SHALL CONFORM TO ASHITO SECTION 30 AND ASTM D-2321 AS PER MANUFACTURER INSTALLATION REQUIREMENTS. CONTRACTOR SHALL ENSURE THAT PROPER LINE AND GRADE IS ESTABLISHED WITHIN TRENCH BEDDING PRIOR TO PLACEMENT OF PIPE AND THAT PROPER MATERIALS ARE USED AND COMPACTION IS ACHIEVED DURING HAUNCHING AND INITIAL BACKFILL. A GEOTECHNICAL ENGINEER SHALL BE RETAINED TO VERIFY SUITABILITY OF MATERIALS USED AND PROPER COMPACTION. ANY DEVIATION IN LINE AND GRADE OR OBVIOUS JOINT SEPARATION SHALL BE CORRECTED PRIOR TO ESTABLISHMENT OF FINAL SUBGRADE AND PAVEMENT SURFACE. THE CONTRACTOR SHALL TAKE EVERY CARE TO ENSURE CORRECT PIPE INSTALLATION.
- UNLESS OTHERWISE SPECIFIED ALL ROADWAY INLETS SHALL HAVE A TYPE 1 INLET GRATE AND TYPE D TOP UNIT PER DELDOT STANDARDS, CURRENT REVISION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT PAVING IS INSTALLED TO THE ELEVATIONS SHOWN AND THAT NO PONDING OF WATER EXISTS AFTER PAVING IS COMPLETE.

SUSSEX COUNTY CONSTRUCTION NOTES

- ROADWAY STAKEOUTS:
 - RIGHT-OF-WAY STAKES SHALL BE OFFSET A MINIMUM OF FIVE (5) FEET OUTSIDE THE RIGHT-OF-WAY.
 - STATION NUMBERS TO BE INDICATED ON EACH SIDE OF THE STAKE.
 - THE CENTERLINE ROADWAY CUT AND THE CUT-LINE SHALL BE LOCATED ON THE SIDE OF THE STAKE WHICH FACES THE CENTERLINE, ALSO A "CL" DESIGNATION SHALL BE INCLUDED.
 - THE SWALE CUT AND CUT-LINE SHALL BE INDICATED ON THE OUTSIDE OF THE STAKE, WHILE ALSO CONTAINING A "SW" DESIGNATION.
- THE CONTRACTOR SHALL PROVIDE TWO (2) WORKING DAYS NOTICE TO THE COUNTY INSPECTOR PRIOR TO PAVING. AT THIS TIME, THE INSPECTOR MAY REQUIRE THE CONTRACTOR COMPLETE RELATED OR UNRELATED WORK ITEMS BEFORE PAVING MAY BEGIN.
- SURFACE TREATMENT SHALL NOT BE APPLIED: (SURFACE TREATMENT NOT USED)
 - AFTER NOVEMBER 1 OR BEFORE APRIL 1;
 - WHEN THE TEMPERATURE IS BELOW 50° F; OR
 - ON ANY WET OR FROZEN SURFACE.
- HOT MIX SHALL NOT BE APPLIED:
 - WHEN THE TEMPERATURE IS BELOW 50° F; OR
 - ON ANY WET OR FROZEN SURFACE.
- FOR ALL WOODED AREAS, A SUFFICIENT AREA BEYOND THE RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED TO ALLOW PROPER GRADING OF THE ROADWAY SWALE SLOPES.
- ALL DISTURBED AREAS MUST BE STABILIZED WITH 4 INCHES OF TOPSOIL, SEED AND MULCH.
- WHITE MEMBRANE CURING COMPOUND MUST BE APPLIED TO ALL CONCRETE PLACED WITHIN COUNTY ENGINEERING JURISDICTION TO INCLUDE CURBS, SIDEWALKS, AND ETC. CURING COMPOUND PLACEMENT AND MATERIALS SHALL MEET DELDOT STANDARD SPECIFICATIONS, PER SECTIONS 501 AND 1022. CURING COMPOUND SHALL BE APPLIED ON THE CONCRETE SURFACE AND ALL OF EXPOSED EDGES IMMEDIATELY FOLLOWING THE BROOMING/TEXTURING OPERATION.
- PLACE NO PARKING SIGNS ON ONE SIDE OF THE ROAD AT 200 FEET ON CENTER MINIMUM ONE PER ROAD SEGMENT.
- ALL SIDEWALKS MUST BE INSTALLED PER THE APPROVED PLAN IN CONJUNCTION WITH THE PRIVATE STREET.
- STATION NUMBERS SHALL BE INDICATED ON EACH SIDE OF THE STAKE.
- ALL CASTINGS MUST BE AMERICAN MADE.

CONDITIONS (CZ# 1526, 1741, 2445 & 1921)

- THE MAXIMUM NUMBER OF RESIDENTIAL UNITS SHALL NOT EXCEED 936 UNITS AS FOLLOWS:

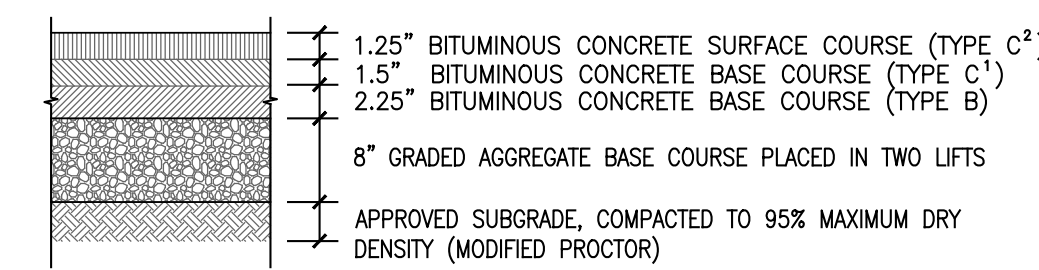
151	-	85 FOOT SINGLE FAMILY LOTS
14	-	75 FOOT SINGLE FAMILY LOTS
216	-	70 FOOT SINGLE FAMILY LOTS
7	-	65 FOOT SINGLE FAMILY LOTS
87	-	28 FOOT BY 42 FOOT COTTAGES
109	-	34 FOOT VILLAS
356	-	30 FOOT ATTACHED/DETACHED VILLAS
- NO MORE THAN 150 RESIDENTIAL BUILDING PERMITS SHALL BE ISSUED IN ANY GIVEN CALENDAR YEAR.
- SITE PLAN REVIEW SHALL BE REQUIRED FOR EACH PHASE OF DEVELOPMENT.
- ALL ENTRANCE, INTERSECTION, ROADWAY AND MULTI-MODAL IMPROVEMENTS REQUIRED BY DELDOT SHALL BE COMPLETED BY THE APPLICANT IN ACCORDANCE WITH DELDOT'S AUGUST 5, 2003 LETTER, OR IN ACCORDANCE WITH ANY FURTHER MODIFICATION REQUIRED BY DELDOT.
- AN UNDERGROUND GAS STORAGE FACILITY FOR SERVICE TO THIS DEVELOPMENT SHALL BE PERMITTED SUBJECT TO APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL, AND OTHER AGENCIES WITH JURISDICTION, AND SUBJECT TO FINAL SITE PLAN APPROVAL BY THE COMMISSION. THE FACILITY SHALL BE NO LESS THAN 50- FEET FROM ADJACENT PROPERTIES.
- A WATER STORAGE TOWER SHALL BE PERMITTED SUBJECT TO FINAL SITE PLAN APPROVAL BY THE COMMISSION.
- RECREATIONAL FACILITIES AND AMENITIES SHALL BE CONSTRUCTED AND OPEN TO USE BY RESIDENTS OF THE DEVELOPMENT WITHIN 2-YEARS OF THE ISSUANCE OF THE FIRST BUILDING PERMIT. THESE RECREATIONAL FACILITIES SHALL INCLUDE TENNIS COURTS, SWIMMING POOL, COMMUNITY BUILDINGS INCLUDING A MEETING ROOM WITH ENVIRONMENTAL AND EDUCATIONAL INTERPRETATION DISPLAYS AND A LIBRARY, PATHWAYS AND TRAILS.
- THE DEVELOPMENT SHALL BE SERVED AS PART OF AN EXISTING OR EXTENDED SUSSEX COUNTY SANITARY SEWER DISTRICT IN ACCORDANCE WITH SUSSEX COUNTY ENGINEERING DEPARTMENT SPECIFICATIONS AND REGULATIONS.
- THE MR-RPC SHALL BE SERVED BY A PUBLIC CENTRAL WATER SYSTEM PROVIDING ADEQUATE DRINKING WATER AND FIRE PROTECTION AS REQUIRED BY APPLICABLE REGULATIONS.
- STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE STATE AND COUNTY REQUIREMENTS PER REVIEW AND APPROVAL BY THE COUNTY ENGINEERING DEPARTMENT AND THE SUSSEX CONSERVATION DISTRICT.
- THE APPLICANT, ITS SUCCESSORS AND/OR ASSIGNS, INCLUDING A HOMEOWNERS OR CONDOMINIUM ASSOCIATION THAT WILL BE FORMED, SHALL OPERATE THE STORMWATER MANAGEMENT FACILITIES IN A MANNER THAT IS CONSISTENT WITH BEST MANAGEMENT PRACTICES (BMPs).
- THE INTERIOR STREET DESIGN SHALL BE IN ACCORDANCE WITH OR EXCEED SUSSEX COUNTY STREET DESIGN REQUIREMENTS AND/OR SPECIFICATIONS. STREET DESIGN SHALL INCLUDE SIDEWALKS ON AT LEAST ONE SIDE OF THE STREETS AND STREET LIGHTING.
- THE APPLICANT SHALL SUBMIT AS PART OF THE SITE PLAN REVIEW A LANDSCAPE PLAN SHOWING THE PROPOSED TREE AND SHRUB LANDSCAPE DESIGN, AND THE PROPOSED REFORESTATION PROGRAM.
- CONSTRUCTION, SITE WORK, GRADING, AND DELIVERIES OF CONSTRUCTION MATERIALS, LANDSCAPING MATERIALS AND FILL ON, OFF OR TO THE PROPERTY SHALL ONLY OCCUR FROM MONDAY THROUGH SATURDAY AND ONLY BETWEEN THE HOURS OF 7:00AM AND 6:00PM.
- THE APPLICANT SHALL CAUSE TO BE FORMED A HOMEOWNERS OR CONDOMINIUM ASSOCIATION TO BE RESPONSIBLE FOR THE MAINTENANCE OF THE STREETS, ROADS, BUFFERS, OPEN SPACES, STORMWATER MANAGEMENT FACILITIES AND OTHER COMMON AREAS.
- ROAD NAMING AND ADDRESSING SHALL BE SUBJECT TO THE APPROVAL OF THE SUSSEX COUNTY MAPPING AND ADDRESSING DEPARTMENT.
- WITHIN ONE (1) YEAR OF THE APPROVAL OF THE MASTER PLAN, THE APPLICANT SHALL COORDINATE WITH THE STATE, COUNTY AND OTHER LOCAL EMERGENCY PLANNING OFFICES IN THE DEVELOPMENT AND IMPLEMENTATION OF EMERGENCY EVACUATION PROCEDURES FOR THE PROJECT.
- THE APPLICANT, ITS SUCCESSORS OR ASSIGNS, SHALL OPERATE AND MAINTAIN A COMMUNITY SHUTTLE BUS SERVICE CONNECTING TO BUS STOPS OPERATED BY DART. THE SERVICE AND LOCATION SHALL BE SUBJECT TO REVIEW AND COMMENT BY DART AND DELDOT AND SUBJECT TO SITE PLAN REVIEW BY THE COMMISSION. THE SERVICE AND ANY RELATED IMPROVEMENTS SHALL BE COMPLETED WITHIN TWO (2) YEARS OF THE ISSUANCE OF THE FIRST BUILDING PERMIT.
- STATE WETLANDS SHALL NOT BE INCLUDED IN ANY INDIVIDUAL LOTS. FEDERAL AND STATE WETLANDS SHALL BE MAINTAINED AS NON-DISTURBANCE AREAS, EXCEPT WHERE AUTHORIZED BY FEDERAL OR STATE PERMIT.
- NO PIERS, DOCKS, BOAT RAMPS, OR OTHER WATER RELATED RECREATIONAL FACILITIES SHALL BE PERMITTED EXCEPT THE EXISTING MARINA WITH A KAYAK/CANOE FACILITY WHICH SHALL BE OPERATED BY THE DEVELOPER OR A HOMEOWNERS OR CONDOMINIUM ASSOCIATION. MOTORIZED BOATS SHALL NOT EXCEED FOUR (4) PONTOON TYPE BOATS.
- A BARRIER IN THE FORM OF A VEGETATED BERM SHALL BE CREATED ALONG THE COMMON BOUNDARY OF THE DEVELOPMENT AND WILLIAM DERRICKSON TO SHIELD AND SEPARATE THE DEVELOPMENT FROM MR. DERRICKSON'S PROPERTY.
- ALL SIDEWALKS MUST BE INSTALLED PER THE APPROVED PLAN PRIOR TO THE PROJECT ACHIEVING "SUBSTANTIAL COMPLETION" FROM THE SCD, DIVISION OF PUBLIC WORKS AND/OR THE SUSSEX COUNTY ENGINEER.
- THE WETLANDS ON THE SITE SHALL BE MARKED APPROPRIATELY BY MARKERS FOR THE INFORMATION OF RESIDENTS AND HOMEOWNERS' ASSOCIATION.
- BEFORE PROCEEDING WITH ANY CONSTRUCTION INVOLVING THE LAND THAT IS THE SUBJECT OF THIS APPLICATION, THE APPLICANT SHALL SUBMIT A REVISED MASTER PLAN COMBINING UNDER BOTH CZ# 1526, CZ# 1741, & CZ #1670 INTEGRATING THIS LAND INTO THE ENTIRE BAY FOREST DEVELOPMENT.
- BEFORE THE APPLICANT MAY PROCEED WITH ANY CONSTRUCTION OF THE AREAS COVERED BY THIS APPLICATION, THE APPLICANT SHALL SUBMIT A REVISED MASTER PLAN COMBINING CHANGE OF ZONE NO. 1526 AND CHANGE OF ZONE NO. 1741 AND THIS CHANGE OF ZONE APPLICATION INTO THE ENTIRE BAY FOREST DEVELOPMENT. THIS MASTER PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.
- THE PROPERTY THAT IS THE SUBJECT OF CHANGE OF ZONE CZ# 1921 SHALL BE INTEGRATED INTO THE OVERALL DEVELOPMENT SCHEME OF THE BAY FOREST PROJECT.

GENERAL NOTES

- SUBDIVISION STREETS ARE TO REMAIN PRIVATE AND ARE TO BE CONSTRUCTED IN ACCORDANCE WITH COUNTY REGULATIONS.
- MAINTENANCE OF THE STREETS WITHIN THIS SUBDIVISION WILL BE THE RESPONSIBILITY OF THE DEVELOPER OR HOMEOWNERS ASSOCIATION. THE STATE AND SUSSEX COUNTY ASSUMES NO RESPONSIBILITY FOR FUTURE MAINTENANCE OF THE STREETS.
- ACCESS TO ALL LOTS IS TO BE FROM SUBDIVISION STREETS OR DRIVE ACCESS LOOPS.
- MAINTENANCE OF THE STORM WATER MANAGEMENT AREAS WILL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER AND OR HOMEOWNER'S ASSOCIATION.
- ANY SEPARATE SIGNAGE PROPOSED SHALL BE SUBJECT TO A SEPARATE APPROVAL BY THE COUNTY.
- TRASH COLLECTION IS PROVIDED THROUGH A PRIVATE CONTRACT BETWEEN THE HOA AND A PRIVATE WASTE HAULER AND RECEPTACLES ARE PROVIDED BY THE PRIVATE WASTE HAULER.
- RESIDENTS OF SECTION "Z" WILL HAVE ACCESS TO THE BAY FOREST CLUB COMMUNITY AMENITIES SUBJECT TO THE REQUIREMENTS AND MEMBERSHIP TO THE RESPECTIVE BAY FOREST CLUB HOA'S.
- DEVELOPMENT OF PHASE 6 / SECTION "Z" WILL BE COMPLETED IN ONE PHASE.

TYPICAL LAYOUT SINGLE FAMILY DETACHED CONDOMINIUMS (VILLAS)

SCALE 1" = 60'

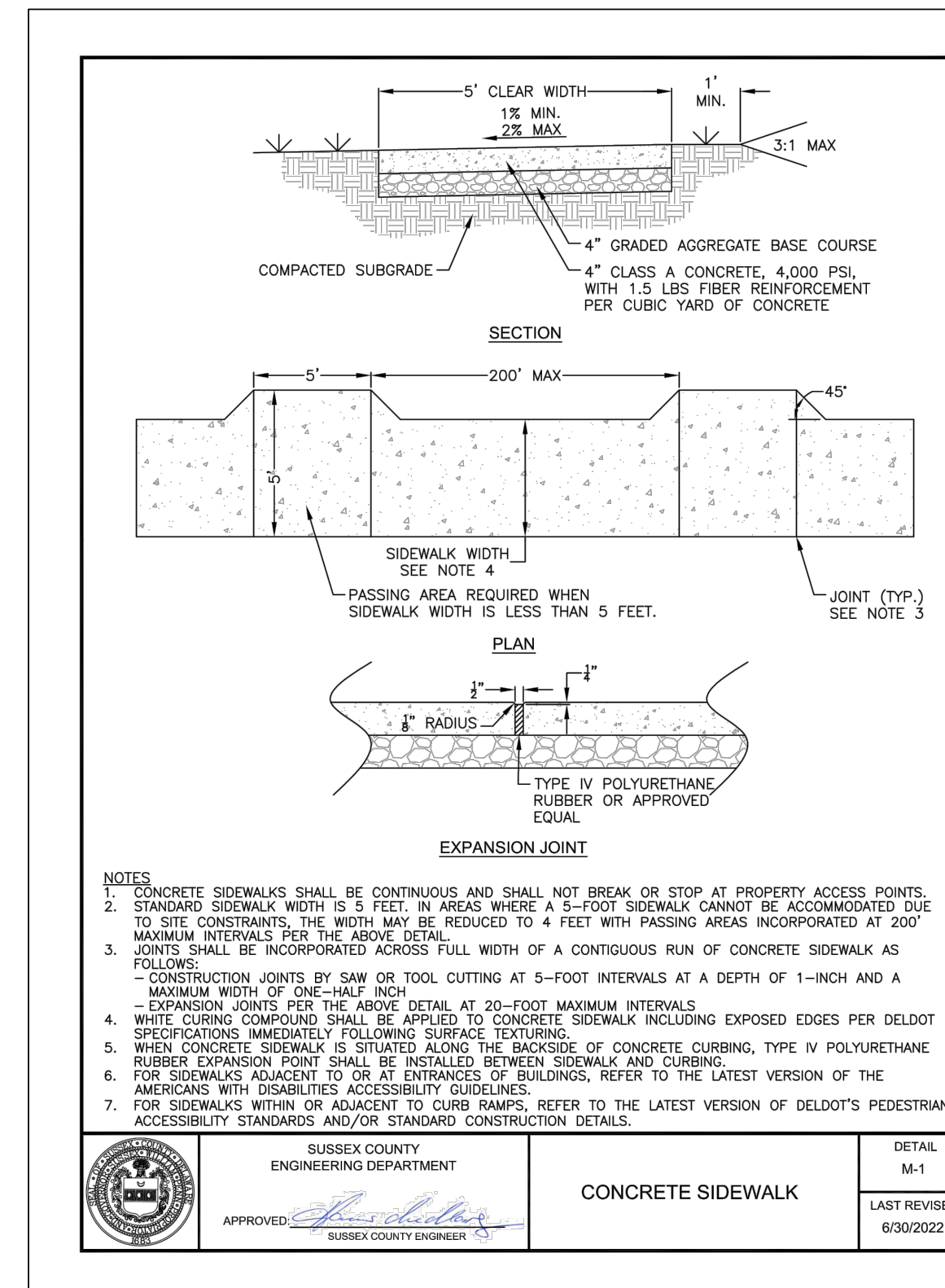
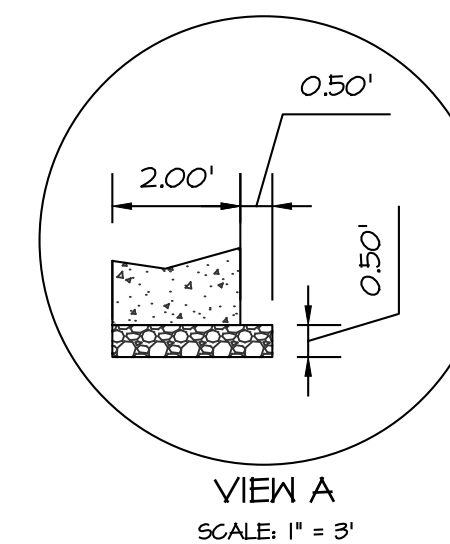


STANDARD DUTY (SN 3.12)

- FINAL SECTION TO BE DETERMINED BY GEOTECHNICAL ENGINEER IN FIELD.
- COMPACTION OF SUBGRADE SHOULD BE 95% OF MAXIMUM DRY DENSITY.
- BITUMINOUS CONCRETE (ASPHALT) TYPE C COURSE TO BE INSTALLED WITH TYPE B AND GABC.
- BITUMINOUS CONCRETE (ASPHALT) TYPE C COURSE TO BE INSTALLED JUST PRIOR TO COUNTY ACCEPTANCE.

PAVING SECTIONS

NOT TO SCALE



- NOTES:
- CONCRETE SIDEWALKS SHALL BE CONTINUOUS AND SHALL NOT BREAK OR STOP AT PROPERTY ACCESS POINTS. STANDARD SIDEWALK WIDTH IS 5 FEET. IN AREAS WHERE A 5-FOOT SIDEWALK CANNOT BE ACCOMMODATED DUE TO SITE CONSTRAINTS, THE WIDTH MAY BE REDUCED TO 4 FEET WITH PASSING AREAS INCORPORATED AT 200' MAXIMUM INTERVALS PER THE DESIGN.
 - JOINTS SHALL BE INCORPORATED ACROSS FULL WIDTH OF A CONTINUOUS RUN OF CONCRETE SIDEWALK AS FOLLOWS:
 - CONCRETE JOINTS BY SAW OR TOOL CUTTING AT 3-FOOT INTERVALS AT A DEPTH OF 1-INCH AND A MAXIMUM WIDTH OF ONE-HALF INCH.
 - EXPANSION JOINTS BY FORM OR DETAIL AT 20-FOOT MAXIMUM INTERVALS.
 - WHITE CURING COMPOUND SHALL BE APPLIED TO CONCRETE SIDEWALK INCLUDING EXPOSED EDGES PER DELDOT EXPANSION JOINTS IMMEDIATELY FOLLOWING CURING.
 - WHEN CONCRETE SIDEWALK IS SITUATED ALONG THE BACKSIDE OF CONCRETE CURBING, TYPE IV POLYURETHANE RUBBER EXPANSION JOINTS SHALL BE INSTALLED BETWEEN SIDEWALK AND CURBING.
 - FOR SIDEWALKS ADJACENT TO OR AT ENTRANCES OF BUILDINGS, REFER TO THE LATEST VERSION OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
 - FOR SIDEWALKS WITHIN OR ADJACENT TO CURB RAMP, REFER TO THE LATEST VERSION OF DELDOT'S PEDESTRIAN ACCESSIBILITY STANDARDS AND/OR STANDARD CONSTRUCTION DETAILS.

SUSSEX COUNTY ENGINEERING DEPARTMENT
 APPROVED: [Signature]
 BASE COUNTY ENGINEER

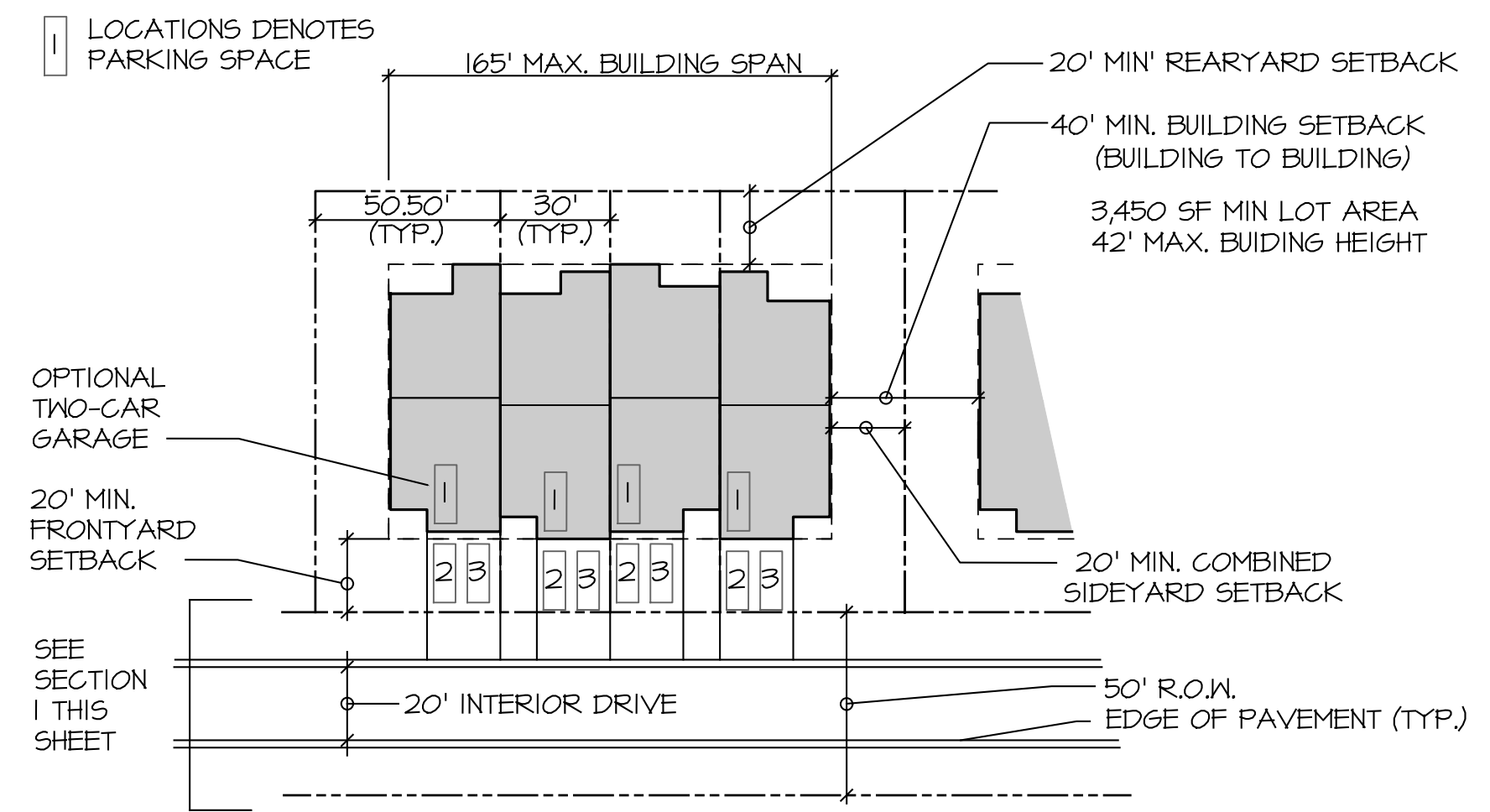
CONCRETE SIDEWALK

DETAIL M-1

LAST REVISED: 6/30/2022

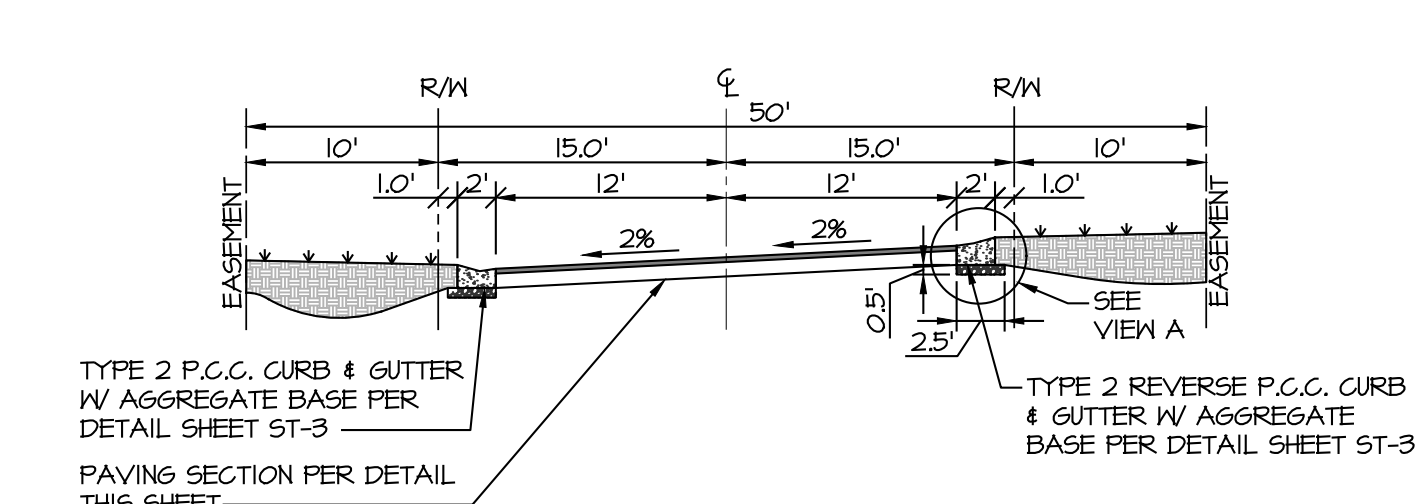
NOTE:

- ALL SIDEWALK MUST BE INSTALLED PER THE APPROVED PLAN IN CONJUNCTION WITH THE PRIVATE STREET
- THE MATERIALS FOR THE PATHS AND SIDEWALKS SHALL BE SUP RESISTANT AND MEET FEDERAL ADA REGULATIONS



TYPICAL LAYOUT SINGLE FAMILY ATTACHED HOUSING (VILLAS AND TOWNHOUSES)

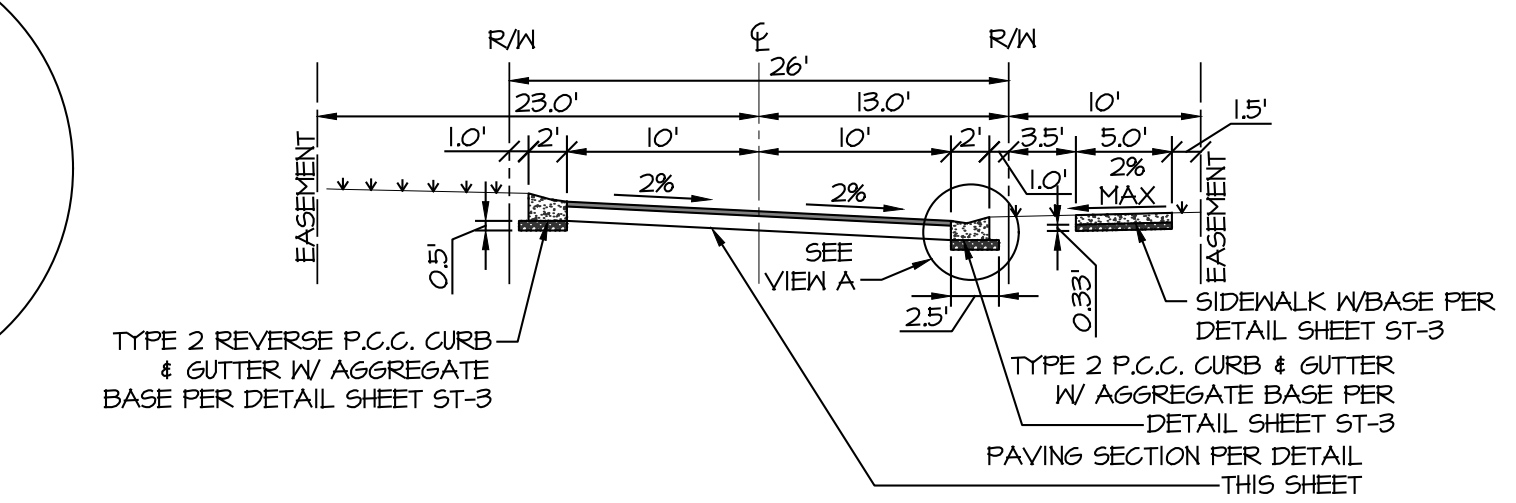
SCALE 1" = 60'



TYPICAL SUPER-ELEVATED ROAD CROSS-SECTION

(ALONG FLYCATCHER WAY EAST - STA. 0+22.00 TO STA. 4+07.40 - 385.40 LF)

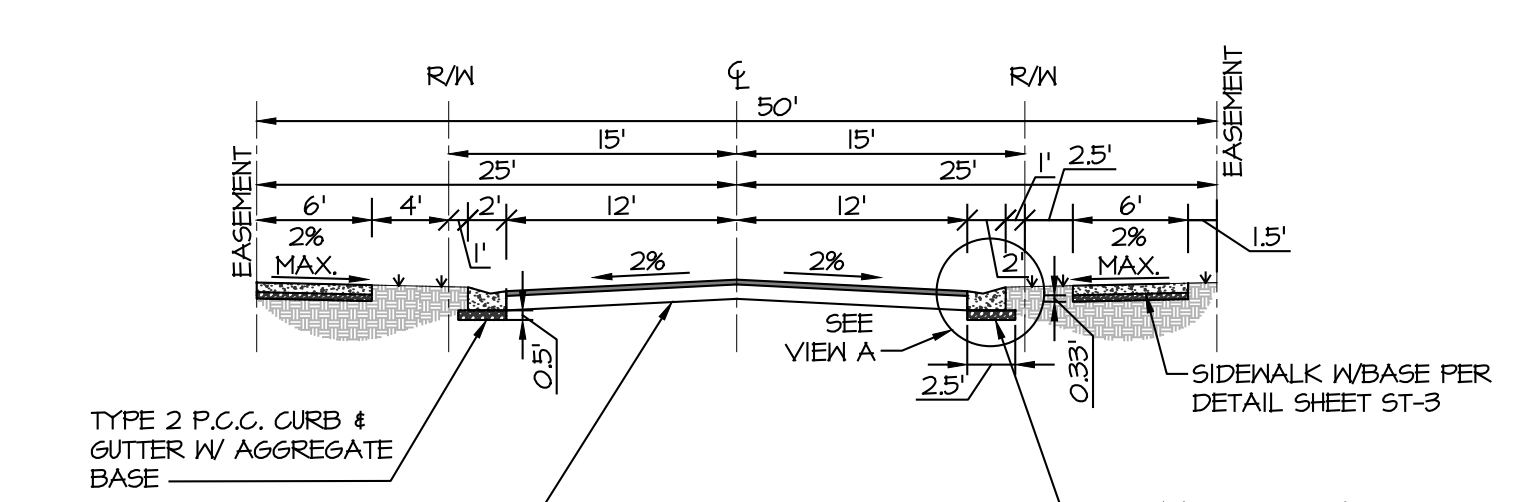
SCALE 1" = 10'



TYPICAL SUPER-ELEVATED ROAD CROSS-SECTION

(ALONG WIDGEON ROAD NORTH - STA. 1+58.00 TO STA. 4+42.60 - 284.60 LF)

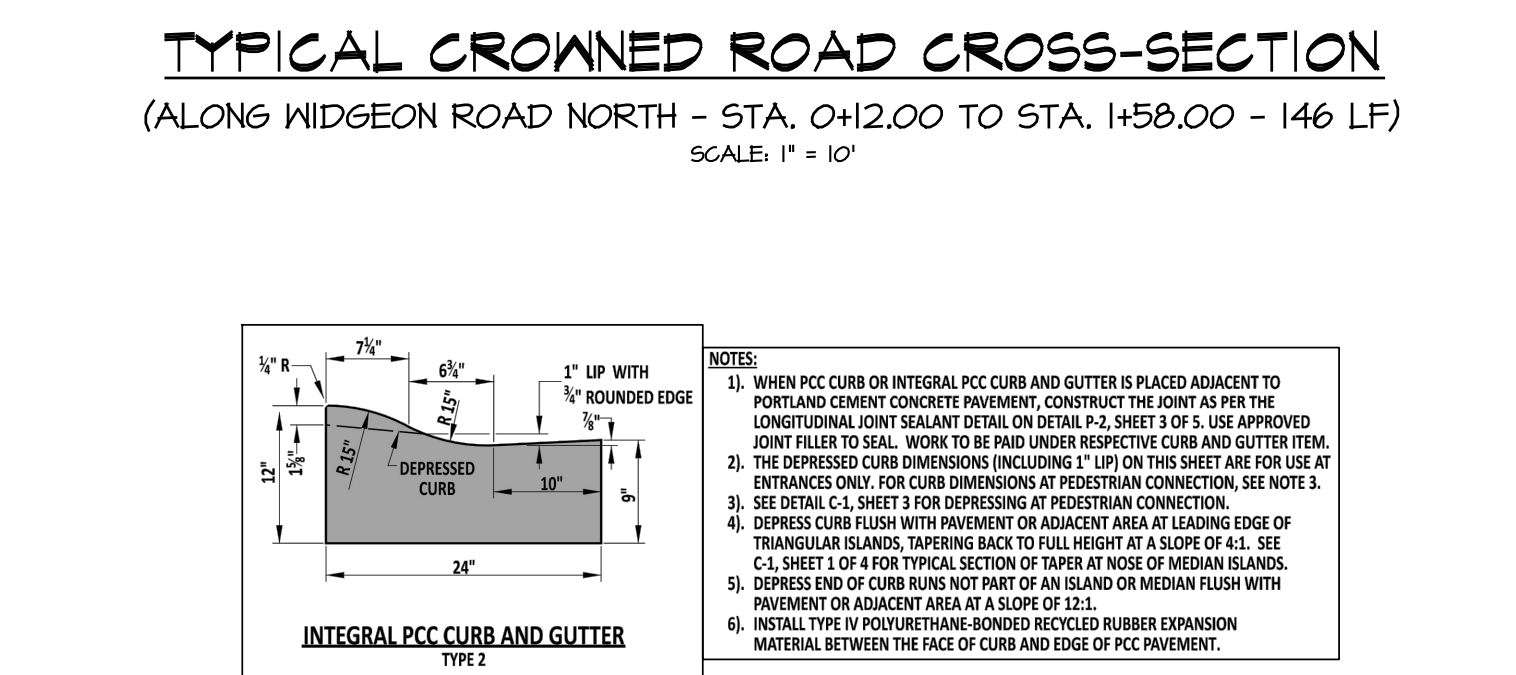
SCALE 1" = 10'



TYPICAL CROWNED ROAD CROSS-SECTION

(ALONG WIDGEON ROAD NORTH - STA. 0+12.00 TO STA. 1+58.00 - 146 LF)

SCALE 1" = 10'



- NOTES:
- WHEN P.C.C. CURB OR INTERIOR P.C.C. CURB AND GUTTER IS PLACED ADJACENT TO PORTLAND CEMENT CONCRETE PAVEMENT, CONSTRUCT THE JOINT AS PER THE LONGITUDINAL JOINT SEALANT DETAIL ON DETAIL P-2, SHEET 5. USE APPROVED JOINT FILLER TO SEAL JOINT. TO BE PAID UNDER RESPECTIVE CURB AND GUTTER ITEM.
 - THE DEPRESS CURB DIMENSIONS INCLUDING 1" LIP ON THIS SHEET ARE FOR USE AT ENTRANCES ONLY. FOR CURB DIMENSIONS AT PEDESTRIAN CONNECTION, SEE NOTE 3.
 - SEE DETAIL C-1, SHEET 1 FOR DEPRESSING AT PEDESTRIAN CONNECTION.
 - DEPRESS CURB FLUSH WITH PAVEMENT OR ADJACENT AREA AT LEADING EDGE OF ISLANDS OR ISLANDS, TAPERING BACK TO FULL HEIGHT AT SLOPE OF 4:1.
 - C-1, SHEET 4 OF 4 FOR TYPICAL SECTION OF TAPER AT NOSE OF MEDIAN ISLANDS.
 - DEPRESS END OF CURB RUNS NOT PART OF AN ISLAND OR MEDIAN FLUSH WITH PAVEMENT OR ADJACENT AREA AT A SLOPE OF 12:1.
 - INSTALL TYPE IV POLYURETHANE SONODED RECYCLED RUBBER EXPANSION MATERIAL BETWEEN THE FACE OF CURB AND EDGE OF P.C.C. PAVEMENT.

MORRIS & RITCHE ASSOCIATES, INC.

ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

8 WEST MARKET STREET
 GEORGETOWN, DE. 19947
 302-855-5734

DEVELOPER:
 BAY FOREST, LLC
 BY: NATELLI COMMUNITIES LP.,
 SOLE MEMBER
 BY: NATELLI COMMUNITIES, INC.,
 GENERAL PARTNER

506 MAIN STREET, 3RD FLOOR
 GAITHERSBURG, MARYLAND 20878
 ATT: MR. THOMAS A. NATELLI, JR. - VP
 PHONE: (301) 590-7320

BAY FOREST CLUB SPROGELL INFILL PARCEL

SECTION "Z" / PHASE 6 / RESIDENTIAL SUBDIVISION

FINAL SITE PLAN

BALTIMORE HUNDRED

SUSSEX COUNTY, DELAWARE

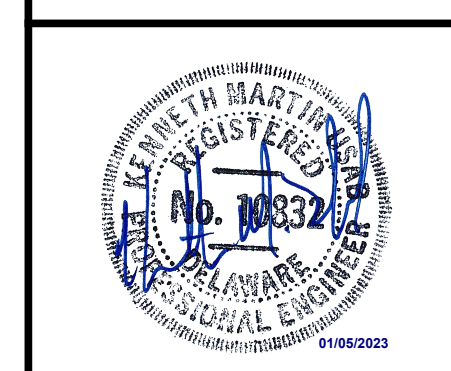
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NO.	REVISION	DATE
JOB NO.	DRAWN BY	ISSUED
12347x20	GMM	01/05/23
SHEET TITLE		

GENERAL NOTES

SHEET NUMBER

2

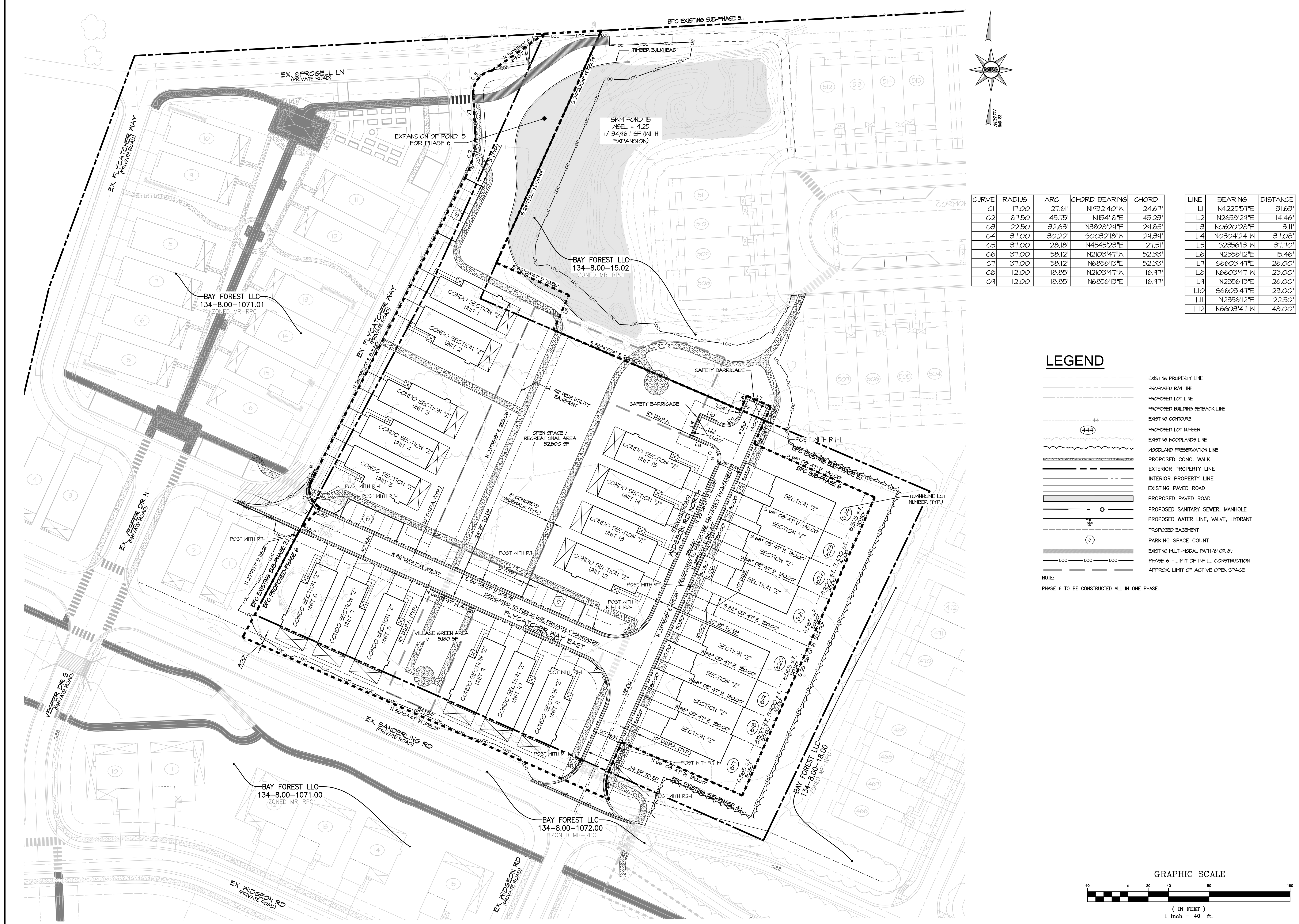


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NO.	REVISION	DATE
12347x20	DRAWN BY GMM	ISSUED 01/05/23

SHEET TITLE
FINAL SITE PLAN

SHEET NUMBER
3



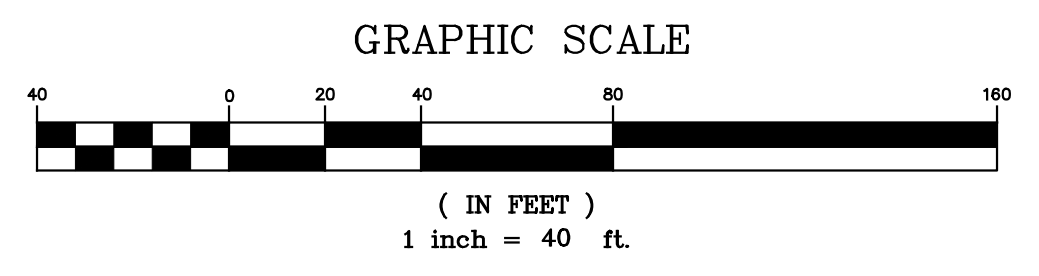
CURVE	RADIUS	ARC	CHORD BEARING	CHORD
C1	17.00'	27.61'	N193°2'40"W	24.61'
C2	87.50'	45.75'	N115°4'18"E	45.23'
C3	22.50'	32.63'	N382°2'24"E	24.85'
C4	37.00'	30.22'	S003°2'18"W	24.34'
C5	37.00'	28.18'	N45°45'23"E	27.51'
C6	37.00'	58.12'	N210°3'47"W	52.33'
C7	37.00'	58.12'	N68°56'13"E	52.33'
C8	12.00'	18.85'	N210°3'47"W	16.47'
C9	12.00'	18.85'	N68°56'13"E	16.47'

LINE	BEARING	DISTANCE
L1	N42°25'57"E	31.63'
L2	N26°58'24"E	14.46'
L3	N0°20'28"E	3.11'
L4	N0°30'24"W	37.08'
L5	S23°56'13"W	37.70'
L6	N23°56'12"E	15.46'
L7	S66°03'47"E	26.00'
L8	N66°03'47"W	23.00'
L9	N23°56'13"E	26.00'
L10	S66°03'47"E	23.00'
L11	N23°56'12"E	22.50'
L12	N66°03'47"W	48.00'

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED R/W LINE
- PROPOSED LOT LINE
- PROPOSED BUILDING SETBACK LINE
- EXISTING CONTOURS
- PROPOSED LOT NUMBER
- EXISTING HOODLANDS LINE
- WOODLAND PRESERVATION LINE
- PROPOSED CONC. WALK
- EXTERIOR PROPERTY LINE
- INTERIOR PROPERTY LINE
- EXISTING PAVED ROAD
- PROPOSED PAVED ROAD
- PROPOSED SANITARY SEWER, MANHOLE
- PROPOSED WATER LINE, VALVE, HYDRANT
- PROPOSED EASEMENT
- PARKING SPACE COUNT
- EXISTING MULTI-MODAL PATH (6' OR 8')
- PHASE 6 - LIMIT OF INFILL CONSTRUCTION
- APPROX. LIMIT OF ACTIVE OPEN SPACE

NOTE:
 PHASE 6 TO BE CONSTRUCTED ALL IN ONE PHASE.



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**BAY FOREST CLUB
SPROGELL INFILL PARCEL**
RESIDENTIAL SUBDIVISION
SUSSEX COUNTY, DELAWARE



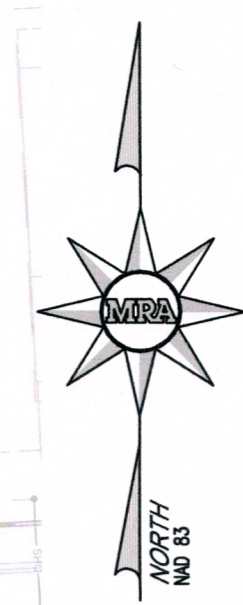
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NO.	REVISION	DATE
JOB NO. 12347x20	DRAWN BY GMM	ISSUED 12/07/22

LANDSCAPE PLAN

SHEET NUMBER

LP-1

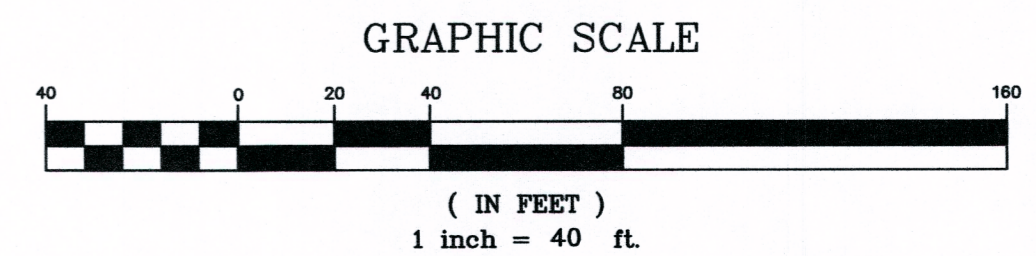


PLANT LIST

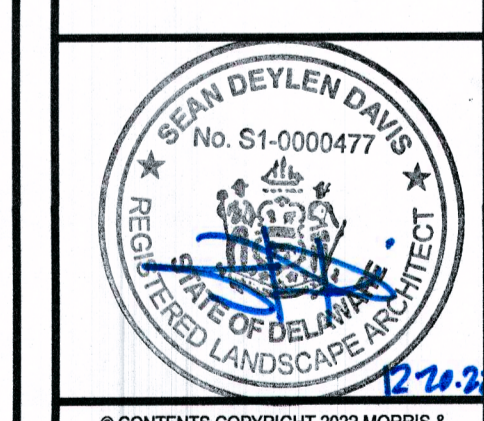
Qty.	Key	Botanical Name	Common Name	Size	Root	Spacing
SHADE/CANOPY TREES						
19	NSY	<i>Nyssa sylvatica</i>	Black Gum	2 1/2-3" cal.	B&B	As Shown
4	QRU	<i>Quercus rubra (borealis)</i>	Northern Red Oak	2 1/2-3" cal.	B&B	As Shown
FLOWERING TREES						
29	CCA	<i>Cercis canadensis</i>	Eastern Redbud	8-10' ht.	B&B	As Shown
3	ACA	<i>Amerlanchier canadensis</i>	Shadblow Serviceberry	6-8' ht.	B&B	As Shown
8	CWK	<i>Crataegus Viridis 'Winter King'</i>	Crape Myrtle	8-10' ht.	B&B	As Shown
EVERGREEN TREES						
6	JVI	<i>Juniperus virginiana</i>	Eastern Red Cedar	6-7 hgt.	B&B	As Shown
69	TOTAL NUMBER OF TREES					

LEGEND

- PROPOSED STREET TREES
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN
- PROPOSED SHRUBS



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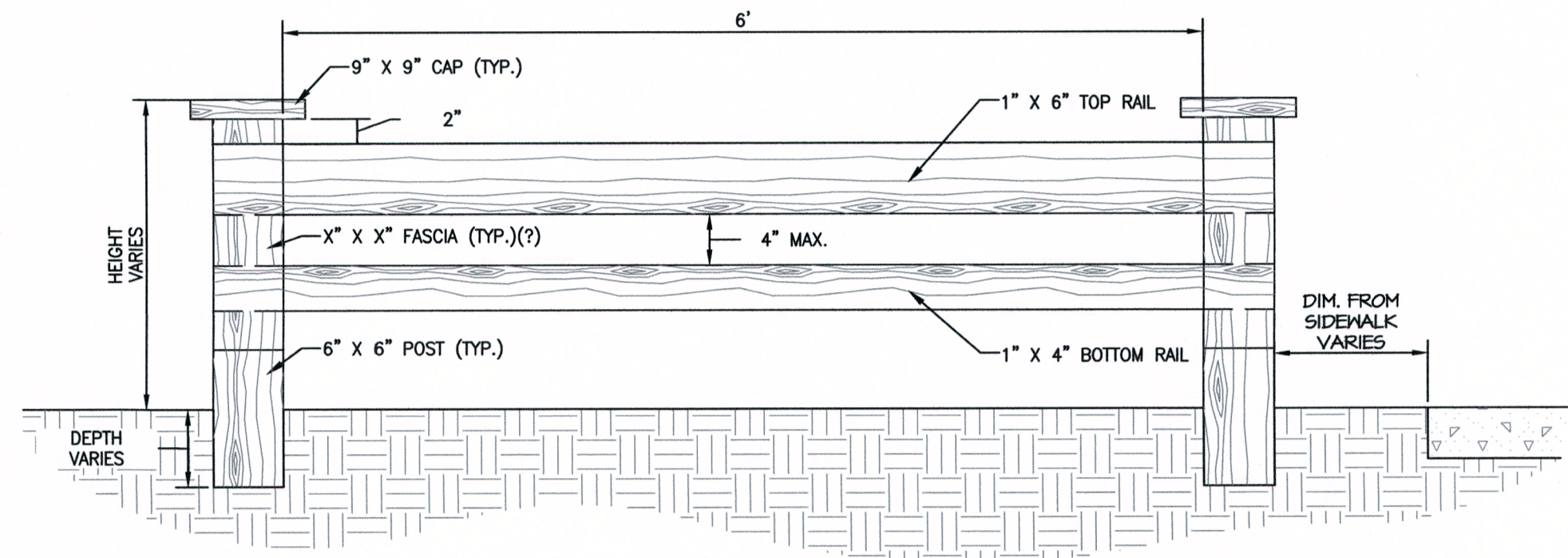
NO.	REVISION	ISSUED BY	DATE
12347x20	GMM		12/07/22

SHEET TITLE
LANDSCAPE NOTES & DETAILS

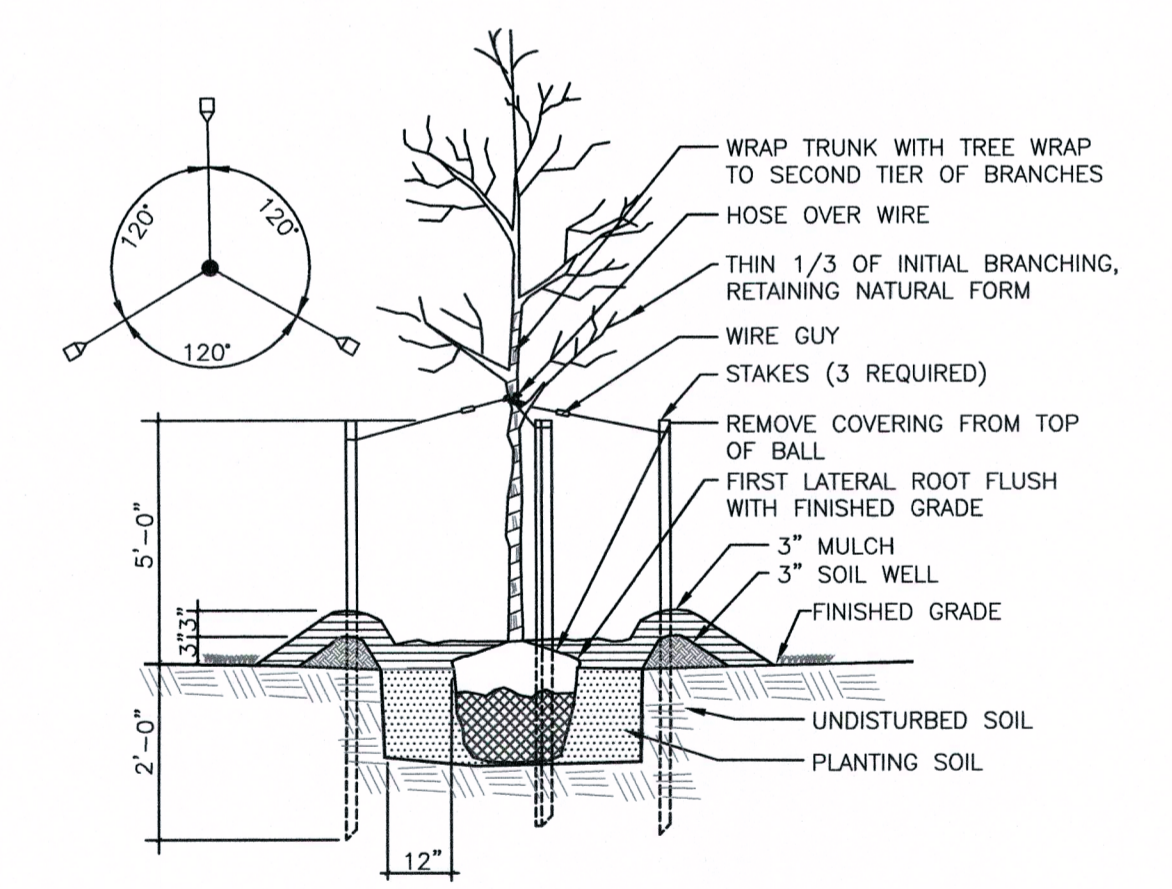
SHEET NUMBER

LANDSCAPE PLAN GENERAL NOTES

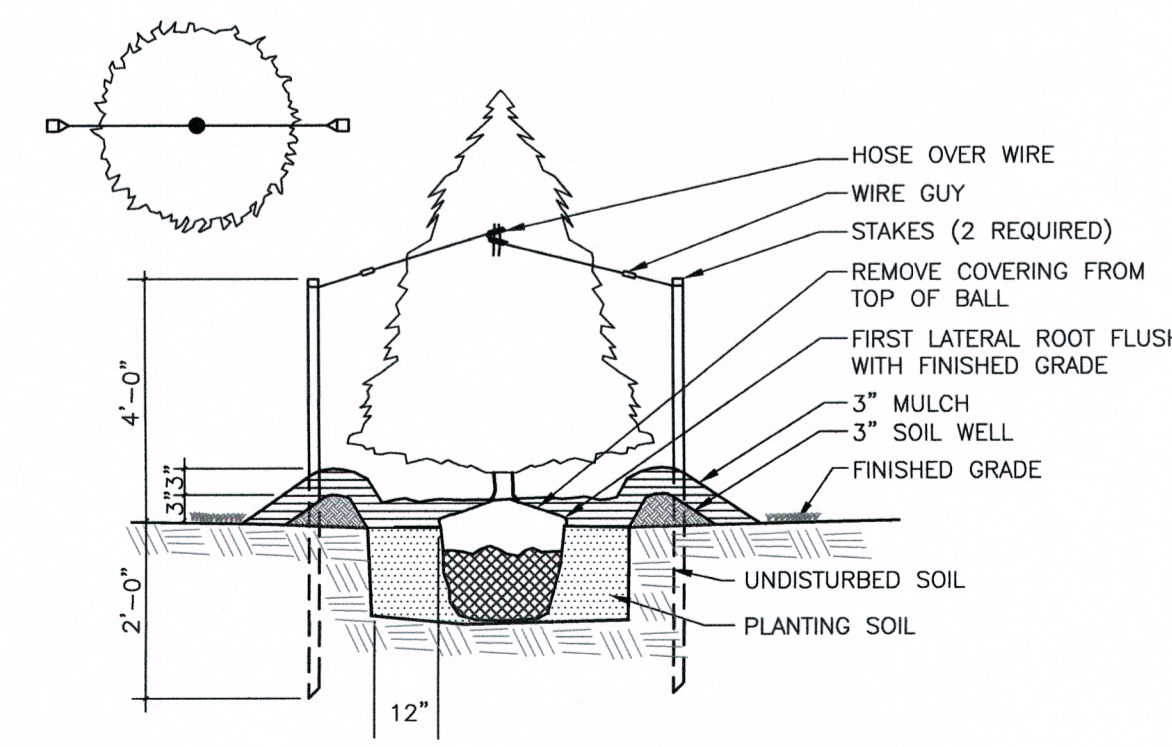
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN INSURANCE COVERAGE REQUIRED BY THE OWNER OR CONSTRUCTION MANAGER/GENERAL CONTRACTOR. IF NOT SPECIFICALLY CALLED OUT, THE CONTRACTOR SHALL ALSO HAVE BUILDER'S RISK INSURANCE TO COVER LOSSES DURING CONSTRUCTION AND PLANT INSTALLATION AND THROUGH THE MAINTENANCE PERIOD UP TO THE LANDSCAPE ARCHITECT AND OWNER ISSUANCE OF THE CERTIFICATE OF SUBSTANTIAL COMPLETION. COVERAGE MINIMUM SHALL BE 200% OF CONTRACT VALUE.
- THE CONTRACTOR SHALL COORDINATE WITH LIGHTING, IRRIGATION OR OTHER SPECIALTY CONTRACTORS REGARDING TIMING OF INSTALLATION OF PLANT MATERIAL.
- THE CONTRACTOR SHALL INSURE THAT HIS WORK DOES NOT INTERRUPT EXISTING OR PROPOSED DRAINAGE PATTERNS.
- DURING PLANTING OPERATIONS, EXCESS WASTE MATERIALS SHALL BE REMOVED DAILY FROM THE SITE. THE CONTRACTOR SHALL DISPOSE OF STUMPS AND MAJOR ROOTS OF ALL PLANTS TO BE REMOVED. DEPRESSIONS CAUSED BY REMOVAL OPERATIONS SHALL BE REFILLED WITH FERTILE, FRIABLE SOIL, REPLACED AND COMPACTED SO AS TO RE-ESTABLISH PROPER GRADE FOR NEW PLANTING AND/OR LAWN AREAS.
- THE CONTRACTOR IS ADVISED OF THE EXISTENCE OF UNDERGROUND UTILITIES ON THE SITE. THEIR EXACT LOCATION SHALL BE VERIFIED IN THE FIELD WITH THE OWNER OR GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS. IN THE EVENT THEY ARE UNCOVERED, THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE TO UTILITIES AND SUCH DAMAGE SHALL NOT RESULT IN ANY ADDITIONAL EXPENSES TO THE OWNER.
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY A MINIMUM OF THREE WORKING DAYS PRIOR TO PLANTING AND CONSTRUCTION.
- IF UTILITY LINES ARE ENCOUNTERED IN THE EXCAVATION OF TREE PITS, OTHER LOCATIONS FOR TREES SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. NO CHANGES OF LOCATION SHALL BE MADE WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
- MAINTAIN POSITIVE DRAINAGE OUT OF PLANTING BEDS AT A MINIMUM 2% SLOPE. ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER.
- EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, AND FURNISHING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSONNEL OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN THE EXECUTION OF THE WORK.
- IN THE EVENT OF VARIATION BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND THE PLANS, THE PLANS SHALL CONTROL. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO THE COMMENCEMENT OF WORK. ALL DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING. THE CONTRACTOR SHALL FURNISH MATERIAL IN SIZES AS SPECIFIED IN PLANT LIST.
- PLANTS SHALL CONFORM TO CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY AMERICAN ASSOCIATION OF NURSERYMEN (AAN), PARTICULARLY WITH REGARD TO SIZE, GROWTH, SIZE OF ROOT BALL, AND DENSITY OF BRANCH STRUCTURE. PLANT MATERIAL SHALL BE TAGGED AT THE SOURCES BY THE LANDSCAPE ARCHITECT UNLESS THIS REQUIREMENT IS SPECIFICALLY MAILED. REFERENCE ANSI Z601-2004 (OR MOST CURRENT DOCUMENT AVAILABLE AT WWW.ANLA.ORG).
- ALL PLANTS (BIBD OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHER-PROOF LABELS, SECURELY ATTACHED THERETO BEFORE DELIVERY TO PROTECT SITE. LABELS SHALL IDENTIFY PLANTS BY NAME, SPECIES, AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL THE FINAL INSPECTION BY THE LANDSCAPE ARCHITECT OR AGENT IN CHARGE.
- ANY MATERIAL AND/OR WORK MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER IF IT DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND CONDITIONS OF ALL TREES AND SHRUBS AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS.
- THE CONTRACTOR SHALL STAKE ALL MATERIAL LOCATED ON THE SITE FOR REVIEW AND/OR ADJUSTMENT BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. SHRUBS AND TREES SHALL BE STAKED WITH COLOR CODED WIRE SURVEY FLAGS. SURVEYOR GROUND PAINT SHALL BE USED TO MARK OUT GROUND COVER BEDS. ALL LOCATIONS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE PLANTING.
- ALL PLANTING BEDS ADJACENT TO LAWN SOD, OR SEEDED AREAS SHALL BE SPADE EDGED.
- INSTALLATION CONTRACTOR MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL 90 DAYS AFTER FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE. MAINTENANCE INCLUDES MOWING OF TURF, WATERING, PRUNING, WEEDING, FERTILIZING, MULCHING, REPLACEMENT OF SICK OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUOUS MAINTENANCE, FOR AN ADDITIONAL COST, IF REQUESTED BY THE OWNER FOR A PERIOD OF ONE YEAR AFTER THE DATE OF THE CERTIFICATE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ITEMS LOST BY THEFT, ACTS OF GOD, VANDALISM OR ANY CONDITION AFFECTING THE LANDSCAPE PRODUCT NOT SPECIFICALLY RELATED TO THE OWNER OR OTHER SITE CONTRACTOR DAMAGE UP TO DATE OF THE ISSUANCE OF A CERTIFICATE OF SUBSTANTIAL COMPLETION.
- UPON COMPLETION OF ALL LANDSCAPING FOR EACH PHASE OF WORK, AN INSPECTION OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR TWELVE MONTHS FROM THE DATE OF ACCEPTANCE IN WRITING BY THE OWNER OR BY ISSUANCE OF AN AIA STANDARD FORM CERTIFICATE OF SUBSTANTIAL COMPLETION. THIS CERTIFICATE WILL BE ISSUED AFTER FINAL INSPECTION BY THE LANDSCAPE ARCHITECT. IF THE LANDSCAPE ARCHITECT IS SATISFIED THAT THE PROJECT IS SUBSTANTIALLY COMPLETE, THE CERTIFICATE WILL BE PREPARED WITH AN INSPECTION DATE AND CONDITIONS WHICH MUST BE SATISFIED IN A SPECIFIC PERIOD OF TIME (GENERALLY 30 DAYS). IF THESE CONDITIONS ARE NOT MET, THE CERTIFICATE MAY BE REVOKED AND A NEW INSPECTION WILL BE REQUIRED AND THE WARRANTY PERIOD SHALL BE EXTENDED ACCORDINGLY. OTHER INSPECTIONS MAY BE APPROPRIATE TO VERIFY COMPLIANCE WITH THE PUNCH LIST.
- THE CONTRACTOR IS RESPONSIBLE FOR TESTING PROJECT SOILS. THE CONTRACTOR IS TO PROVIDE A CERTIFIED SOILS REPORT TO THE OWNER. THE CONTRACTOR SHALL NOT KNOWINGLY INSTALL PLANTS IN SOIL OR DRAINAGE CONDITIONS THAT ARE NOT CONDUCIVE TO PLANT SURVIVAL. THE CONTRACTOR SHALL VERIFY THAT THE SOILS ON-SITE ARE ACCEPTABLE FOR THE PROPER GROWTH OF THE PROPOSED PLANT MATERIAL. THE CONTRACTOR SHALL SUBMIT RECOMMENDATIONS FOR SOIL TEXTURE MODIFICATIONS, SOIL PH MODIFIERS OR ADDITION OF MACRO AND MICRO NUTRIENTS WHICH MAY REQUIRE MODIFICATION OF THE SPECIFIED PLANTING MIX, SPECIFIED HEREIN.
- QUICK SOIL TESTING AND PLANTING MIX DESIGN CAN BE PROVIDED BY A I L LABORATORIES (800-264-4522), 2740 WHITTEN ROAD, MEMPHIS, TN 38183. PROVIDE SOIL PLANTING MIX FROM SPEC'S AND ASK FOR COMMENTS FOR ALTERING MIX, IF APPROPRIATE. MULTIPLE SAMPLES MIGHT BE REQUIRED FOR LARGE JOBS WITH VARYING SOIL CONDITIONS. PROVIDE ONE REPORT FOR EACH 10,000 SF OF LANDSCAPE, MINIMUM. SOIL SAMPLES SHALL BE TAKEN AT 1 INCH AND 6 INCH DEPTHS FROM AT LEAST 4 LOCATIONS. THESE SAMPLES SHOULD THEN BE MIXED AND SUBMITTED TO THE LAB AS A SINGLE SAMPLE.
- PLANTING MIX - ADJUST RECOMMENDED BY THE SOIL LABORATORY.
 - PLANTING MIX SHALL BE PREPARED AT APPROVED ON-SITE STAGING AREA USING APPROVED ON-SITE EXISTING SOIL. MIX MINIMUM QUANTITIES OF 20 CUBIC YARDS OR SUFFICIENT MIX FOR ENTIRE JOB IF LESS THEN 20 CUBIC YARDS IS REQUIRED.
 - THOROUGHLY MIXED IN THE FOLLOWING PROPORTIONS FOR TREE AND SHRUB PLANTING MIX:
 - 5 CY EXISTING SOIL
 - 2 CY SHARP SAND
 - 3 CY WOOD RESIDUALS (MUST BE BROKEN DOWN BY AT LEAST TWO YEARS DECOMPOSITION)
 - 45 LBS TRIPLE SUPERPHOSPHATE (0-46-0)
 - 5 LBS DOLOMITIC LIMESTONE (ELIMINATE FOR ACID LOVING PLANTS)
 - IF SOIL TESTS RESULTS AND TESTING LAB RECOMMENDATIONS CONFLICT WITH THE SPECIFIED SOIL MIX, THE CONTRACTOR SHALL BRING IT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR REVIEW, ALTERATION APPROVAL.
 - THE LANDSCAPE CONSTRUCTION SHALL PROVIDE THE LANDSCAPE ARCHITECTURE OWNER A 1/2 CUP SAMPLE OF SPECIFIED MIXES AND LAB REPORTS PRIOR TO USE.
- ALL DISTURBED AREAS ON THE SITE SHALL BE FINE GRADED AND STABILIZED WITH SEED AND MULCH.
- ALL SOD SHALL BE OBTAINED FROM AREAS HAVING GROWING CONDITIONS SIMILAR TO AREAS TO BE COVERED. AREAS TO BE SODDED SHALL BE RAKED FREE OF STONES AND DEBRIS. DEBRIS AND STONES OVER 1 INCH IN DIAMETER SHALL BE REMOVED FROM THE SITE. ALL DAMAGED SOD WILL BE REJECTED. ALL SOD MUST BE PLACED WITH STAGGERED JOINTS, TIGHTLY BUTTED, WITH NO INEQUALITIES IN GRADE. PLACE ALL SOD IN ROWS AT RIGHT ANGLES TO SLOPES (WHERE APPLICABLE).



FENCE DETAIL
 SCALE: 1" = 1'



DECIDUOUS TREE DETAIL



EVERGREEN TREE DETAIL



GRANVILLE LIGHT FIXTURE
 BY HOLOPHANE
 PO BOX 3004
 NEWARK, OH 43058-3004
 PHONE 1-866-HOLOPHANE
 FAX 1-800-345-4471
 INSTALLATION PER
 MANUFACTURER'S INSTRUCTIONS

TYPICAL STREET LIGHT DETAILS
 NOT TO SCALE

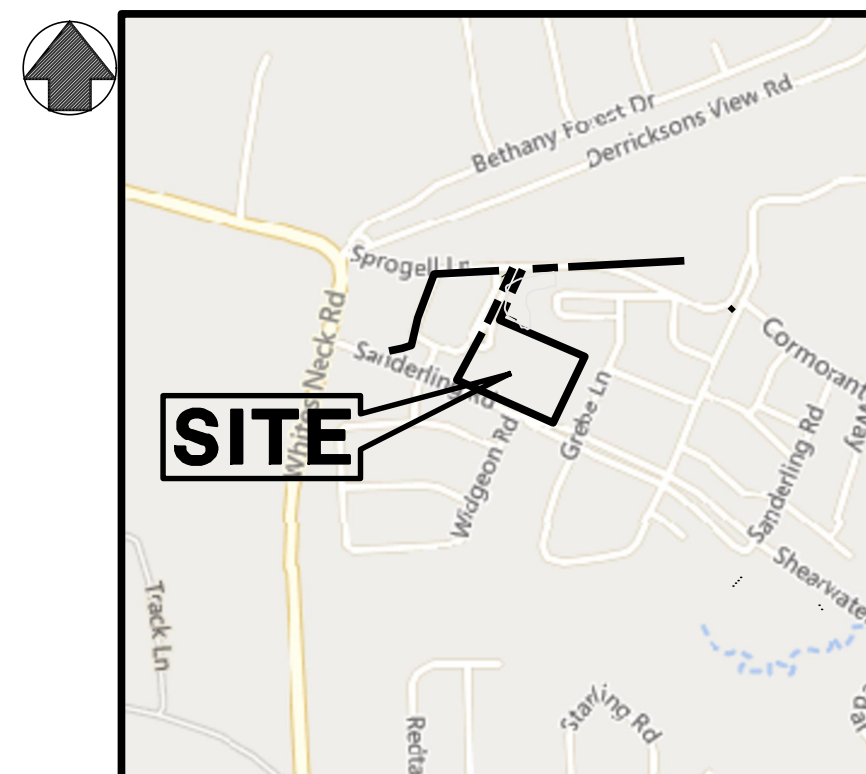
SITE DATA

- PROJECT TITLE/NAME: BAY FOREST CLUB - SPROGEL (SECTION "Z"/PHASE 6)
ADDRESS: 30261 SPROGELL LN
DAGSBORO, DE 19939
- TAX PARCEL: 134-8.00-17.01
134-8.00-1072.00
134-8.00-1071.01] - PART OF EXISTING
134-8.00-15.02] PHASES
*THE PROVIDED TAX MAP/PARCEL AND TABULATION
INFORMATION DOES NOT REFLECT INDIVIDUAL PRIVATE OWNERSHIP.
- OWNER INFORMATION: BAY FOREST, LLC
506 MAIN STREET, 3RD FLOOR
GATHERSBURG, MARYLAND 20878
- DEVELOPER: BAY FOREST, LLC. C/O
NATELLI COMMUNITIES, INC.
506 MAIN STREET, 3RD FLOOR
GATHERSBURG, MARYLAND 20878
ATT: MR. THOMAS A. NATELLI, JR. - VP
PHONE: (301) 670-4020
FAX NUMBER: (301) 258-7453
- ZONING INFORMATION: EXISTING ZONING: MR-RPC*
*THESE LANDS WERE PART OF A CHANGE OF ZONE APPLICATION, (C/Z
1921) FROM AN AGRICULTURAL RESIDENTIAL (AR-1) DISTRICT TO A MEDIUM
DENSITY RESIDENTIAL, RESIDENTIAL PLANNED COMMUNITY (MR-RPC) DISTRICT
THROUGH A CHANGE ADOPTED ON 4/27/21 THROUGH ORDINANCE NO. 2771.
- LAND USE INFORMATION: EXISTING USE: COASTAL AREA
PROPOSED USE: COASTAL AREA
- NET DEVELOPMENT COMPUTATIONS: TOTAL SITE AREA = 421.95 AC.±
PHASE 1 SITE AREA = 179.08 AC.±
PHASE 2 SITE AREA = 86.51 AC.±
PHASE 3 SITE AREA = 36.41 AC.±
PHASE 4 SITE AREA = 67.78 AC.±
PHASE 5 SITE AREA = 46.05 AC.±
PHASE 6 SITE AREA = 6.14 AC.±
TOTAL STATE WETLANDS = 29.27 AC.±
TOTAL ROAD R/W = 55.86 AC.±
- NET DEVELOPMENT ACREAGE: SITE AREA - (STATE WETLANDS + COMM. + STREET R/W)
421.95 AC.± - (29.27 AC.± + 0 AC + 55.86 AC.±) = 336.82 AC.±
- GROSS DENSITY: 936 UNITS/421.95 AC.± = 2.22 UNITS/AC.±
- NET DENSITY: 936 UNITS/336.82 AC.± = 2.78 UNITS/AC.±
- OPEN SPACE & IMPERVIOUS COVERAGE SUMMARY: REQUIRED [SECTION 99.21(D)]:
10% X 6.14 AC.± = 0.614 AC.±
PROPOSED = 2.000 AC.
ACTIVE = 0.612 AC.
- OPEN SPACE/IMPERVIOUS COVERAGE SUMMARY WITHIN LOC:
ROADS, WALKS, BLDGS (IMPERV. STRUCT.) 2.432 AC.
POND EXPANSION AREA = 0.206 AC.
AREA "A" = 0.753 AC.
AREA "B" = 0.119 AC.
OTHER PERVIOUS AREAS = 2.310 AC.
TOTAL IMPERVIOUS = 2.432 AC. / 41.8%
TOTAL PERVIOUS & OS PONDS = 3.388 AC. / 58.2%
- PARKING ANALYSIS: PARKING REQUIRED: 23 UNITS X 3 SP/DU = 69 SP
PARKING PROVIDED: 23 UNITS X 3 SP/DU + 18 = 87 SP
- PROPOSED UNITS: 15 CONDO (DETACHED)
8 TOWNHOUSES (ATTACHED)
- BULK AREA REQUIREMENTS: SINGLE FAMILY ATTACHED CONDOMINIUMS (TOWNHOUSES)
FRONT SETBACK: 20' (40' AGG. FRONT & REAR)
REAR SETBACK: 20'
SIDE YARD SETBACK: 20'
DISTANCE BETWEEN BLDGS.: 40' MIN.
AVG. LOT AREA PER DWELLING UNIT: 5,233 S.F.
MIN. LOT AREA: 1,600 S.F.
MAX. BLDG. HT: 42'
PARKING SPACE REQUIRED: 3 SP PER UNIT
SINGLE FAMILY DETACHED CONDOMINIUMS (VILLAS)
FRONT SETBACK: 10'
REAR SETBACK: 20'
SIDE YARD SETBACK: 20'
DISTANCE BETWEEN BLDGS.: 40' MIN.
MAX. BLDG. HT: 42'
PARKING SPACE REQUIRED: 3 SP PER UNIT
- FOREST COVER: EXIST. FOREST: 3.84 AC. ± (77% OF TOTAL PARCEL)
FOREST CLEARED: 3.45 AC. ± (89%)
FOREST REMAINING: 0.39 AC. ± (7%)
AFFORESTATION: 0.00 AC. ± (0%)
PROPOSED TOTAL: 0.39 AC. ±
- WETLANDS: EXISTING TIDAL WETLANDS: 29.37 AC± (7.04%)
DISTURBED TIDAL WETLANDS: 0.15 AC± (0.51%)
TIDAL WETLAND MITIGATION: 0.21 AC± (0.71% OF EXISTING TIDAL WETLAND)
EXISTING NON-TIDAL WETLANDS: 19.62 AC.± (4.72%)
DISTURBED NON-TIDAL WETLANDS: 0.16 AC.± (0.82%)
NON-TIDAL WETLAND MITIGATION: 4.14 AC.± (21.10%)
- NO REGULATED WETLANDS WERE OBSERVED WITHIN PHASE 6.
- WATER SERVICE: TIDEWATER UTILITIES, INC. - PUBLIC
- SANITARY SEWER: THE MILLVILLE EXPANSION OF BETHANY BEACH SANITARY SEWER PUBLIC.
- WASTEWATER INFRASTRUCTURE USE AGREEMENT No. IUA-918-18
- THIS SITE LIES WITHIN FLOOD ZONE X, PER FEMA No. 1000500503K,
EFFECTIVE MARCH 16, 2015
- BOUNDARY SURVEY PROVIDED BY MRA ASSOCIATES, INC. MARCH 2013 AND
TOPOGRAPHIC SURVEY PROVIDED BY MRA ASSOCIATES, INC. MARCH 2019.
HORIZONTAL DATUM IS DELAWARE STATE PLANE NAD83 AND VERTICAL DATUM IS NGVD'29.
- PROJECT SITE IS NOT WITHIN A TRAFFIC IMPROVEMENT DISTRICT (TID).
- PROJECT SITE LIES WITHIN INVESTMENT LEVEL AREA 3.
- PROJECT SITE IS NOT WITHIN A WELLHEAD PROTECTION AREA.
- PROJECT SITE LIES WITHIN AREAS OF "GOOD" AND "FAIR" GROUNDWATER RECHARGE POTENTIAL.

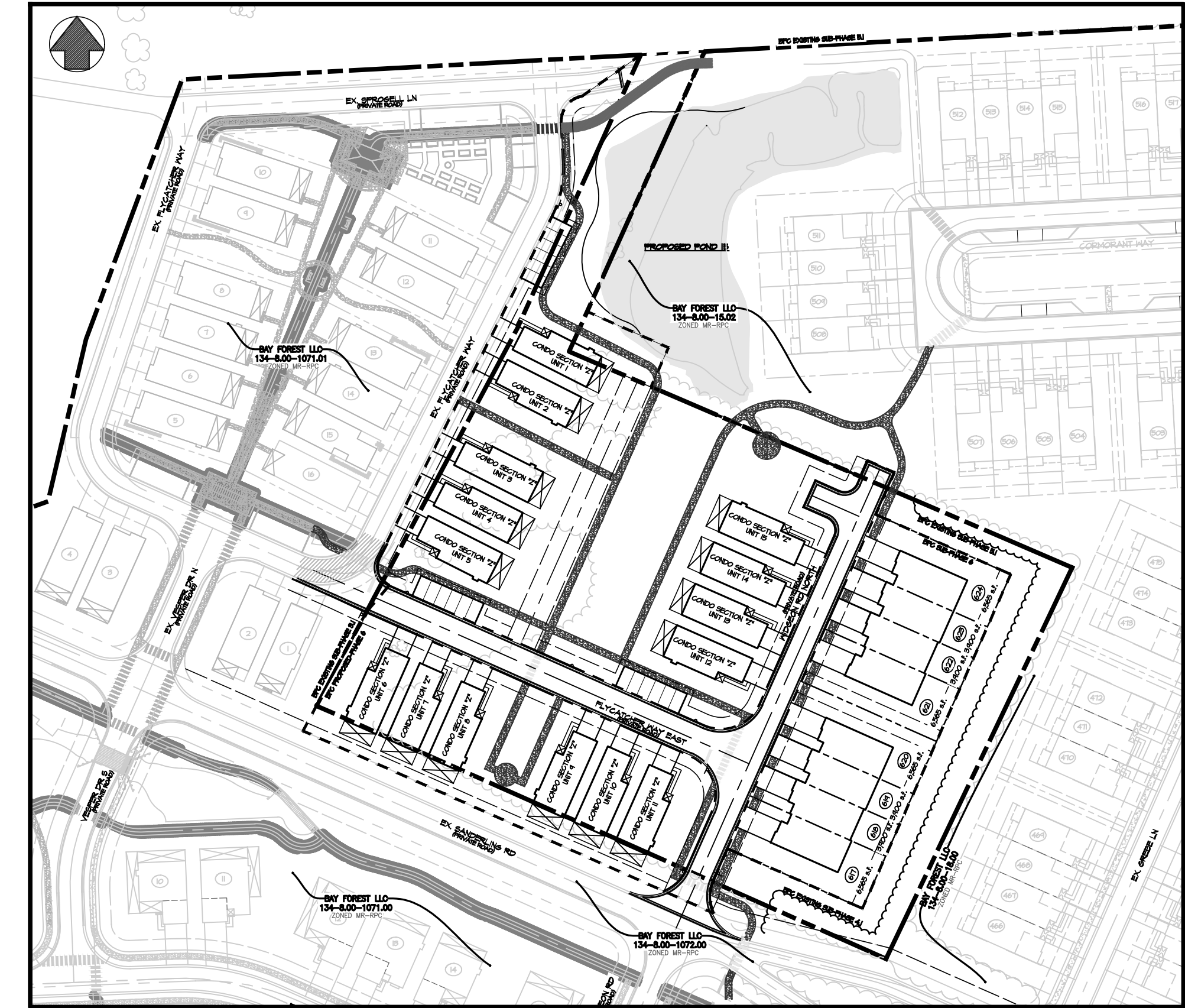
BAY FOREST CLUB SPROGELL INFILL PARCEL

SECTION "Z" / PHASE 6 A RESIDENTIAL PLANNED COMMUNITY (RPC) SUSSEX COUNTY, DELAWARE PRELIMINARY SITE PLAN

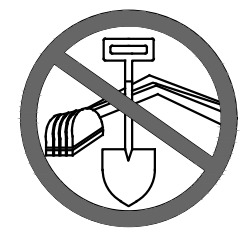
SUSSEX COUNTY PLANNING C/Z# 1526, 1741, 2445 & 1921



LOCATION MAP
SCALE: 1" = 1000'



SITE OVERVIEW
SCALE: 1" = 100'



BEFORE YOU DIG!
CALL UTILITY
LOCATION SERVICES
IT'S THE LAW!
MISS UTILITY
811

INDEX OF DRAWINGS

SHEET	TITLE
1	TITLE SHEET
2	GENERAL NOTES
3	PRELIMINARY SITE PLAN

SCD STAMP APPROVAL AREA

DEVELOPER / APPLICANT CERTIFICATION

I, THE UNDERSIGNED, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL INVOLVED IN THE LAND DISTURBANCE WILL HAVE A "CERTIFICATION OF TRAINING AT A DEPARTMENTAL SPONSORED OR APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT CONTROL BEFORE INITIATION OF THE PROJECT." I ALSO ACKNOWLEDGE THAT THE SUSSEX CONSERVATION DISTRICT OR DELEGATED INSPECTION AGENCY HAS THE RIGHT TO CONDUCT ON-SITE INSPECTIONS.

MR. THOMAS A. NATELLI, JR. - VICE PRESIDENT DATE
BAY FOREST, LLC.
BY: NATELLI COMMUNITIES LIMITED PARTNERSHIP - MANAGER
BY: NATELLI COMMUNITIES, INC. - GENERAL PARTNER
506 MAIN STREET, 3RD FLOOR
GATHERSBURG, MD. 20878
PH: 301-670-4020

OWNER/DEVELOPER'S PLAN APPROVAL:
I, AS OWNER OF THE PROPERTIES SHOWN, HEREBY APPROVE THESE PLANS FOR DEVELOPMENT AS SHOWN OR OTHERWISE NOTED.

MR. THOMAS A. NATELLI, JR. - VICE PRESIDENT DATE

WETLANDS STATEMENT

I, EDWARD M. LAUNAY, PWS, STATE THAT THERE ARE NO WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM Delineated UPON THIS PROPERTY AS DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, REGULATIONS AND SUPPLEMENTAL GUIDANCE (33 CFR 328.4(c)(8)), WATERS OF THE U.S. DEFINITION/CEW-OR, 10-7-1991, QUESTIONS AND ANSWERS ON THE 1987 CDE MANUAL/CEW-OR, 9-26-1990, RGL 90-7/CEW-OR, 3-6-1992, CLARIFICATION AND INTERPRETATION OF THE 1987 MANUAL). THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES.

IN ACCORDANCE WITH DNREC TIDAL WETLAND MAPS, THERE ARE NO STATE REGULATED WETLANDS ON THE SITE.

EDWARD M. LAUNAY, PWS No. 875 DATE
SOCIETY OF WETLANDS SCIENTISTS
CORPS OF ENGINEERS, CERTIFIED WETLAND
DELINEATOR (WD03P0005100368)
ENVIRONMENTAL RESOURCES, INC.
PHONE NUMBER: 302-436-9637

ENGINEER'S CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THE PLAN SHOWN AND DESCRIBED HEREON, OTHER THAN THE PROPERTY BOUNDARY AND TOPOGRAPHY, IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED STANDARDS AND PRACTICES AND BY THE SUSSEX COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO THE EXTENT THAT IT DESCRIBES THE PROPOSED MANNER AND LAYOUT OF THE SUBDIVISION.

KENNETH M. USAB DATE
DE LICENSE NO. #10832



MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS, PLANNERS, SURVEYORS, AND LANDSCAPE ARCHITECTS

8 WEST MARKET STREET
GEORGETOWN, DE. 19947
302-855-5734

DEVELOPER:
BAY FOREST, LLC
C/O NATELLI, INC.
506 MAIN STREET, 3RD FLOOR
GATHERSBURG, MARYLAND 20878
ATT: MR. THOMAS A. NATELLI, JR. - VP
PHONE: (301) 690-7300

**BAY FOREST CLUB
SPROGELL INFILL PARCEL**
SECTION "Z" / PHASE 6 / RESIDENTIAL SUBDIVISION
PRELIMINARY SITE PLAN
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE



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NO.	REVISION	DATE
JOB No. 12347x20	DRAWN BY GMM	ISSUED 7/21/22
SHEET TITLE		

TITLE SHEET

SHEET NUMBER

G:\12347-20-Bay Forest-Sprogell\DE\12347-20-Preliminary Site Plan.dwg, 7/22/2022, 8:09:21 AM, klsab.
1:1, Copyright 2022 Morris & Ritchie Associates, Inc.

CONSTRUCTION NOTES

- CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT (811) AT LEAST (3) WORKING DAYS PRIOR TO EXCAVATION, TO HAVE EXISTING UNDERGROUND UTILITIES LOCATED AND MARKED.
- ALL MATERIALS & WORKMANSHIP SHALL MEET THE STATE OF DELAWARE STANDARDS & SPECIFICATIONS.
- ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, AND PROJECT SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND SHALL APPROPRIATELY COORDINATE ALL PHASES OF CONSTRUCTION:
 - NATELLI COMMUNITIES, INC. 301-590-7320
 - SUSSEX COUNTY ENGINEERING DEPARTMENT 302-855-7718
 - TOWNWATER UTILITIES 302-845-8880
 - SUSSEX CONSERVATION DISTRICT 302-856-2105
- CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL RIGHT-OF-WAY LINES AND PROPERTY LINES TO HIS OWN SATISFACTION. ALL PROPOSED UTILITIES ARE TO BE CONSTRUCTED WITHIN THE ROADWAY OR EASEMENT RIGHT-OF-WAY. ANY DISTURBED AREAS BEYOND THE EASEMENT LINES SHALL BE RESTORED IMMEDIATELY TO THEIR ORIGINAL CONDITION.
- AERIAL TOPOGRAPHY FLOWN SPRING OF 2002 AND MAPPED BY 656 TOPO, GREAT FALLS, VA AND SUPPLEMENTED BY FIELD RUN TOPOGRAPHY PERFORMED BY MORRIS AND RITCHIE ASSOCIATES, INC. JANUARY 23, 2019. ELEVATIONS BASED ON TRAVELER POINT NO. 53-IRON BAR-ELEV. 3.35 N-209,290.5980 E-743,845.0290 TRAVELER POINT NO. 60-IRON BAR-ELEV. 10.40 N-208,076.6830 E-744,333.4070.
- EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE BASED UPON THE BEST AVAILABLE INFORMATION AND ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. NO GUARANTEE IS MADE OR IMPLIED REGARDING THE ACCURACY OR COMPLETENESS THEREOF. CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF DEPTH, SIZE AND MATERIAL OF ALL UNDERGROUND UTILITIES TO HIS OWN SATISFACTION BEFORE BEGINNING ANY EXCAVATION OR UTILITY INSTALLATION. THE OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION. IF THE CONTRACTOR RELIES ON SAID INFORMATION, HE DOES SO AT HIS OWN RISK. THE GIVING OF THE INFORMATION ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO SUPPORT AND PROTECT ALL SHOWN OR NOT SHOWN EXISTING UTILITIES AND APPURTENANCES. SHOULD ANY EXISTING UTILITIES BE DAMAGED BY THE CONTRACTOR, THE CONTRACTOR SHALL REPAIR THE DAMAGE CAUSED TO THE UTILITY OWNER'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF TRAFFIC IN ALL WORK AREAS.
- ROUGH GRADING SHALL BE COMPLETE PRIOR TO THE CONSTRUCTION OF WATER & SEWER SYSTEMS.
- USE ONLY SUITABLE AND APPROVED GRANULAR MATERIAL FOR BACKFILLING TRENCHES.
- CONTRACTOR SHALL ADJUST TO FINISH GRADE AS NECESSARY ANY VALVE BOXES, MANHOLES, CATCH BASINS ETC., PRIOR TO PLACING PAVING.
- CONTRACTOR SHALL PROVIDE STAKEOUT NECESSARY FOR THE INSTALLATION OF UTILITIES, STORMDRAINS, PAVING AND ALL OTHER SITE WORK INCLUDED IN THESE PLANS. ALL STAKEOUT WORK IS TO BE PERFORMED UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF DELAWARE.
- CONTRACTOR TO MAINTAIN MINIMUM OF 3.5 FEET OF COVER OVER ALL NEW WATER LINES AS MEASURED FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
- SEWER LINES SHALL HAVE MINIMUM VERTICAL CLEARANCE OF 18 INCHES FROM WATER MAINS AT CROSSINGS. MAINTAIN A 10 FOOT MINIMUM PLANE SEPARATION BETWEEN SEWER AND WATER MAINS. SEWER LINES SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 6 INCHES FROM OTHER UTILITIES. IF THESE CLEARANCES CAN NOT BE MAINTAINED, THEN PROVISIONS FOR PROPERLY ENCASED PIPE IN CONCRETE MUST BE PROVIDED.
- LATERALS SHALL BE 6 INCHES IN DIAMETER, WITH VERTICAL CLEANOUTS OF 6 INCHES IN DIAMETER. AND TO HAVE A MINIMUM OF 3' OF COVER FROM SUSSEX COUNTY CLEANOUT TO MAIN LINE.
- ALL GRAVITY SEWER PIPES SHALL BE PVC SDR 35. FOR PIPE SLOPES SEE SANITARY SEWER PROFILES.
- MATERIAL OF CONSTRUCTION FOR SEWER FORCE MAINS SHALL BE AS NOTED ON THE DRAWINGS. FORCE MAIN SHALL BE INSTALLED AS PROFILED TO PREVENT FORMATION OF UNANTICIPATED HIGH POINTS IN THE INSTALLATION.
- ALL SEWER LINES MUST BE SUCCESSFULLY TESTED, PRIOR TO FINAL ACCEPTANCE.
- ALL SANITARY SEWER SYSTEM CONSTRUCTION PERFORMED SHALL BE IN ACCORDANCE WITH SUSSEX COUNTY ORDINANCE 38, THESE PLANS AND ALL APPLICABLE CONSTRUCTION PERMITS.
- ALL DROP MANHOLES TO BE 5'-0" IN DIAMETER.
- FITTINGS SHOWN ON THE PLANS ILLUSTRATE ANTICIPATED ANGLE OF DEFLECTION. THIS INFORMATION IS SHOWN FOR GENERAL INFORMATION AND IS NOT GUARANTEED. ANGLE MAY VARY DUE TO FIELD CONDITIONS. USE OF ADDITIONAL FITTINGS SHALL BE AUTHORIZED BY THE ENGINEER.
- THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEVIATION FROM THESE PLANS UNLESS WRITTEN APPROVAL HAS BEEN PROVIDED BY THE ENGINEER.
- ALL DISTURBED AREAS IN THE STATED RIGHT OF WAY, BUT NOT IN THE PAVEMENT SECTION MUST BE TOPSOILED (6" MINIMUM), FERTILIZED, MULCHED, AND SEED.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE PLACED IN ACCORDANCE WITH THE DELAWARE M.U.T.C.D. MANUAL, MOST CURRENT EDITION.
- ALL PROPOSED STORM DRAIN DESIGNATED AS "RCP" IS TO BE REINFORCED CONCRETE CIRCULAR PIPE, MEETING ASHTO M-170 SPECIFICATIONS. SEE PROFILES FOR SPECIFIC PIPE CLASS.
- ALL LENGTHS OF PIPE ARE MEASURED HORIZONTALLY FROM CENTER LINES OF INLETS, MANHOLES OR FITTINGS. ACTUAL TRUE LENGTHS OF PIPES ARE TO BE DETERMINED IN THE FIELD.
- WHERE SPECIFIED, HDPE STORM DRAIN PIPE SHALL BE ADS N-12 (SMOOTH INTERIOR) PIPE WITH ADS PRO-LINK WT (BELL/BELL COUPLER) FOR WATER TIGHT CONNECTIONS. REFER TO PLAN AND PROFILES FOR MATERIALS USED.
- ALL EMBEDMENT MATERIALS USED FOR BEDDING, HAUNCHING, AND INITIAL BACKFILL FOR HDPE PIPE SHALL CONFORM TO ASHTO SECTION 3D AND ASTM D-2321 AS PER MANUFACTURER INSTALLATION REQUIREMENTS. CONTRACTOR SHALL ENSURE THAT PROPER LINE AND GRADE IS ESTABLISHED WITHIN TRENCH BEDDING PRIOR TO PLACEMENT OF PIPE AND THAT PROPER MATERIALS ARE USED AND COMPACTION IS ACHIEVED DURING HAUNCHING AND INITIAL BACKFILL. A GEOTECHNICAL ENGINEER SHALL BE RETAINED TO VERIFY SUITABILITY OF MATERIALS USED AND PROPER COMPACTION. ANY DEVIATION IN LINE AND GRADE OR OBVIOUS JOINT SEPARATION SHALL BE CORRECTED PRIOR TO ESTABLISHMENT OF FINAL SUBGRADE AND PAVEMENT SURFACE. THE CONTRACTOR SHALL TAKE EVERY CARE TO ENSURE CORRECT PIPE INSTALLATION.
- UNLESS OTHERWISE SPECIFIED ALL ROADWAY INLETS SHALL HAVE A TYPE 1 INLET GRATE AND TYPE D TOP UNIT PER DELDOT STANDARD, CURRENT REVISION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT PAVING IS INSTALLED TO THE ELEVATIONS SHOWN AND THAT NO PONDING OF WATER EXISTS AFTER PAVING IS COMPLETE.

SUSSEX COUNTY CONSTRUCTION NOTES

- ROADWAY STAKEOUTS:
 - A RIGHT-OF-WAY STAKES SHALL BE OFFSET A MINIMUM OF FIVE (5) FEET OUTSIDE THE RIGHT-OF-WAY.
 - STATION NUMBERS TO BE INDICATED ON EACH SIDE OF THE STAKE.
 - THE CENTERLINE ROADWAY CUT AND THE CUT-LINE SHALL BE LOCATED ON THE SIDE OF THE STAKE WHICH FACES THE CENTERLINE, ALSO A "CL" DESIGNATION SHALL BE INCLUDED.
 - THE SWALE CUT AND CUT-LINE SHALL BE INDICATED ON THE OUTSIDE OF THE STAKE, WHILE ALSO CONTAINING A "SW" DESIGNATION.
- THE CONTRACTOR SHALL PROVIDE TWO (2) WORKING DAYS NOTICE TO THE COUNTY INSPECTOR PRIOR TO PAVING. AT THIS TIME, THE INSPECTOR MAY REQUIRE THE CONTRACTOR COMPLETE RELATED OR UNRELATED WORK ITEMS BEFORE PAVING MAY BEGIN.
- SURFACE TREATMENT SHALL NOT BE APPLIED: (SURFACE TREATMENT NOT USED)
 - AFTER NOVEMBER 1 OR PRIOR TO APRIL 1; OR
 - WHEN THE TEMPERATURE IS BELOW 50° F; OR
 - ON ANY WET OR FROZEN SURFACE.
- HOT MIX SHALL NOT BE APPLIED:
 - WHEN THE TEMPERATURE IS BELOW 40° F; OR
 - ON ANY WET OR FROZEN SURFACE.
- FOR ALL WOODED AREAS, A SUFFICIENT AREA BEYOND THE RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED TO ALLOW PROPER GRADING OF THE ROADWAY SWALE BACKSLOPES.
- ALL DISTURBED AREAS MUST BE STABILIZED WITH 4 INCHES OF TOPSOIL, SEED AND MULCH.

GENERAL NOTES

- SUBDIVISION STREETS ARE TO REMAIN PRIVATE AND ARE TO BE CONSTRUCTED IN ACCORDANCE WITH COUNTY REGULATIONS.
- MAINTENANCE OF THE STREETS WITHIN THIS SUBDIVISION WILL BE THE RESPONSIBILITY OF THE DEVELOPER OR HOMEOWNERS ASSOCIATION. THE STATE AND SUSSEX COUNTY ASSUMES NO RESPONSIBILITY FOR FUTURE MAINTENANCE OF THE STREETS.
- ACCESS TO ALL LOTS IS TO BE FROM SUBDIVISION STREETS OR DRIVE ACCESS LOOPS.
- MAINTENANCE OF THE STORM WATER MANAGEMENT AREAS WILL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER AND OR HOMEOWNER'S ASSOCIATION.
- ANY SEPARATE SIGNAGE PROPOSED SHALL BE SUBJECT TO A SEPARATE APPROVAL BY THE COUNTY.
- TRASH COLLECTION IS PROVIDED THROUGH A PRIVATE CONTRACT BETWEEN THE HOA AND A PRIVATE WASTE HAULER AND RECEPTACLES ARE PROVIDED BY THE PRIVATE WASTE HAULER.
- RESIDENTS OF SECTION "Z" WILL HAVE ACCESS TO THE BAY FOREST CLUB COMMUNITY AMENITIES SUBJECT TO THE REQUIREMENTS AND MEMBERSHIP TO THE RESPECTIVE BAY FOREST CLUB HOA'S.
- DEVELOPMENT OF PHASE 6 / SECTION "Z" WILL BE COMPLETED IN ONE PHASE.

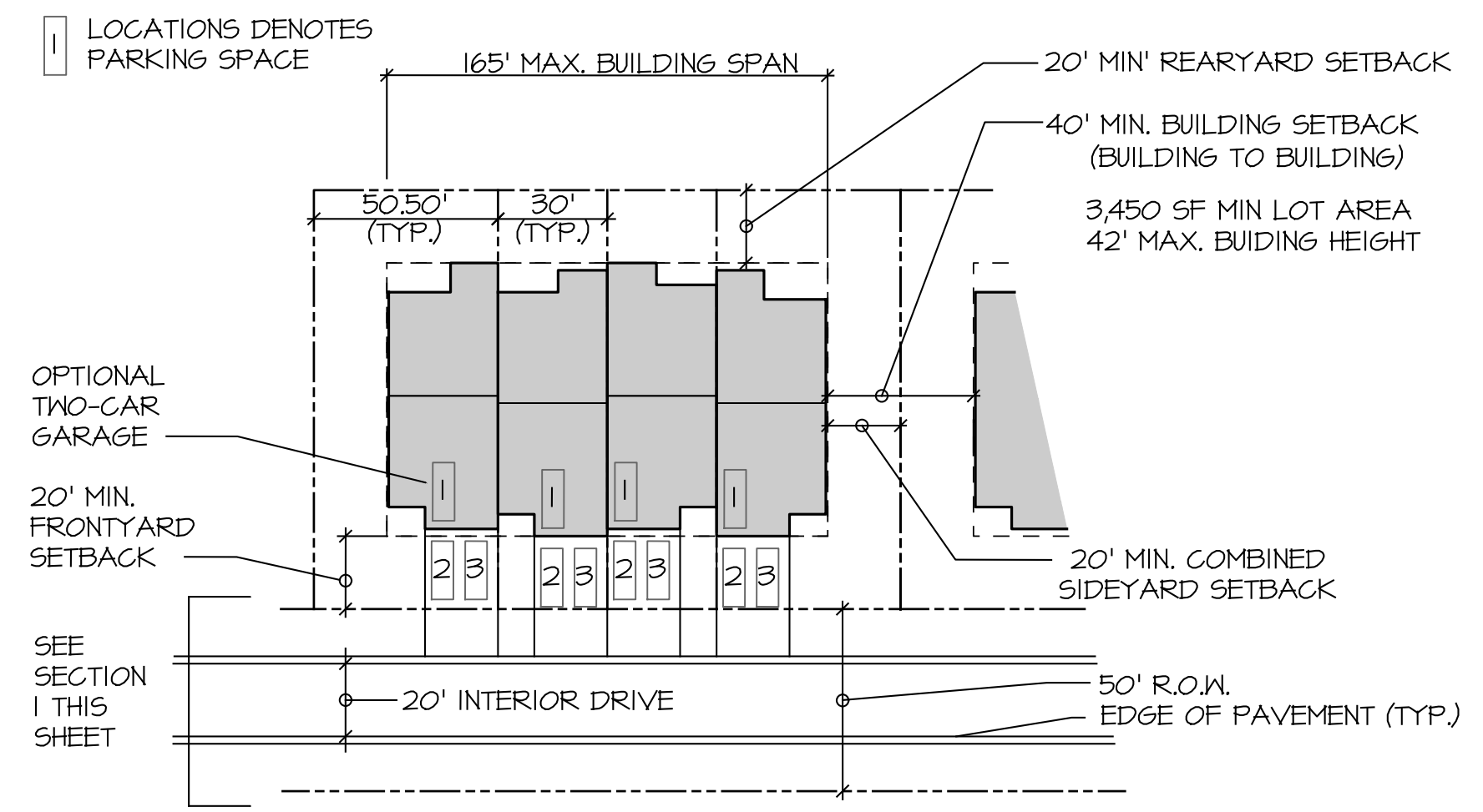
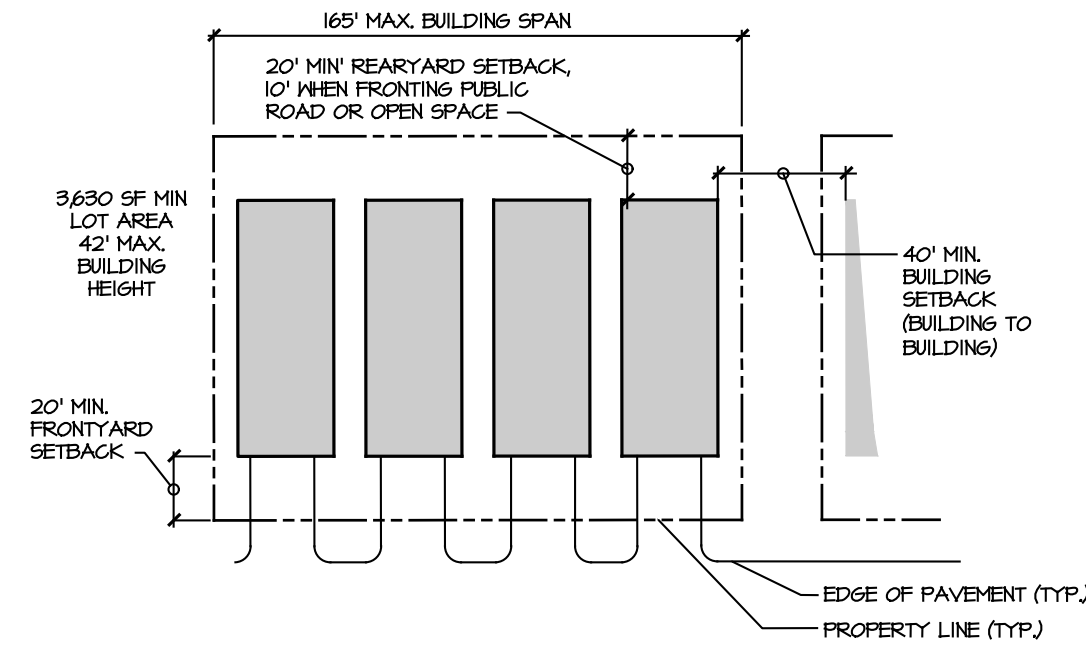
CONDITIONS (CZ# 1526, 1741, 2445 & 1921)

- THE MAXIMUM NUMBER OF RESIDENTIAL UNITS SHALL NOT EXCEED 936 UNITS AS FOLLOWS:

151	-	85 FOOT SINGLE FAMILY LOTS
14	-	75 FOOT SINGLE FAMILY LOTS
216	-	70 FOOT SINGLE FAMILY LOTS
7	-	65 FOOT SINGLE FAMILY LOTS
87	-	28 FOOT BY 42 FOOT COTTAGES
109	-	34 FOOT VILLAS
356	-	30 FOOT ATTACHED/DETACHED VILLAS
- NO MORE THAN 150 RESIDENTIAL BUILDING PERMITS SHALL BE ISSUED IN ANY GIVEN CALENDAR YEAR.
- SITE PLAN REVIEW SHALL BE REQUIRED FOR EACH PHASE OF DEVELOPMENT.
- ALL ENTRANCE, INTERSECTION, ROADWAY AND MULTI-MODAL IMPROVEMENTS REQUIRED BY DELDOT SHALL BE COMPLETED BY THE APPLICANT IN ACCORDANCE WITH DELDOT'S AUGUST 5, 2003 LETTER, OR IN ACCORDANCE WITH ANY FURTHER MODIFICATION REQUIRED BY DELDOT.
- AN UNDERGROUND GAS STORAGE FACILITY FOR SERVICE TO THIS DEVELOPMENT SHALL BE PERMITTED SUBJECT TO APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL, AND OTHER AGENCIES WITH JURISDICTION, AND SUBJECT TO FINAL SITE PLAN APPROVAL BY THE COMMISSION. THE FACILITY SHALL BE NO LESS THAN 50-FEET FROM ADJACENT PROPERTIES.
- A WATER STORAGE TOWER SHALL BE PERMITTED SUBJECT TO FINAL SITE PLAN APPROVAL BY THE COMMISSION.
- RECREATIONAL FACILITIES AND AMENITIES SHALL BE CONSTRUCTED AND OPEN TO USE BY RESIDENTS OF THE DEVELOPMENT WITHIN 2-YEARS OF THE ISSUANCE OF THE FIRST BUILDING PERMIT. THESE RECREATIONAL FACILITIES SHALL INCLUDE TENNIS COURTS, SWIMMING POOL, COMMUNITY BUILDINGS INCLUDING A MEETING ROOM WITH ENVIRONMENTAL AND EDUCATIONAL INTERPRETATION DISPLAYS AND A LIBRARY, PATHWAYS AND TRAILS.
- THE DEVELOPMENT SHALL BE SERVED AS PART OF AN EXISTING OR EXTENDED SUSSEX COUNTY SANITARY SEWER DISTRICT IN ACCORDANCE WITH SUSSEX COUNTY ENGINEERING DEPARTMENT SPECIFICATIONS AND REGULATIONS.
- THE MR-RPC SHALL BE SERVED BY A PUBLIC CENTRAL WATER SYSTEM PROVIDING ADEQUATE DRINKING WATER AND FIRE PROTECTION AS REQUIRED BY APPLICABLE REGULATIONS.
- STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE STATE AND COUNTY REQUIREMENTS PER REVIEW AND APPROVAL BY THE COUNTY ENGINEERING DEPARTMENT AND THE SUSSEX CONSERVATION DISTRICT.
- THE APPLICANT, ITS SUCCESSORS AND/OR ASSIGNS, INCLUDING A HOMEOWNERS OR CONDOMINIUM ASSOCIATION THAT WILL BE FORMED, SHALL OPERATE THE STORMWATER MANAGEMENT FACILITIES IN A MANNER THAT IS CONSISTENT WITH BEST MANAGEMENT PRACTICES (BMPs).
- THE INTERIOR STREET DESIGN SHALL BE IN ACCORDANCE WITH OR EXCEED SUSSEX COUNTY STREET DESIGN REQUIREMENTS AND/OR SPECIFICATIONS. STREET DESIGN SHALL INCLUDE SIDEWALKS ON AT LEAST ONE SIDE OF THE STREETS AND STREET LIGHTING.
- THE APPLICANT SHALL SUBMIT AS PART OF THE SITE PLAN REVIEW A LANDSCAPE PLAN SHOWING THE PROPOSED TREE AND SHRUB LANDSCAPE DESIGN, AND THE PROPOSED REFORESTATION PROGRAM.
- CONSTRUCTION, SITE WORK, GRADING, AND DELIVERIES OF CONSTRUCTION MATERIALS, LANDSCAPING MATERIALS AND FILL ON, OFF OR TO THE PROPERTY SHALL ONLY OCCUR FROM MONDAY THROUGH SATURDAY AND ONLY BETWEEN THE HOURS OF 7:00AM AND 6:00PM.
- THE APPLICANT SHALL CAUSE TO BE FORMED A HOMEOWNERS OR CONDOMINIUM ASSOCIATION TO BE RESPONSIBLE FOR THE MAINTENANCE OF THE STREETS, ROADS, BUFFERS, OPEN SPACES, STORMWATER MANAGEMENT FACILITIES AND OTHER COMMON AREAS.
- ROAD NAMING AND ADDRESSING SHALL BE SUBJECT TO THE APPROVAL OF THE SUSSEX COUNTY MAPPING AND ADDRESSING DEPARTMENT.
- WITHIN ONE (1) YEAR OF THE APPROVAL OF THE MASTER PLAN, THE APPLICANT SHALL COORDINATE WITH THE STATE, COUNTY AND OTHER LOCAL EMERGENCY PLANNING OFFICES IN THE DEVELOPMENT AND IMPLEMENTATION OF EMERGENCY EVACUATION PROCEDURES FOR THE PROJECT.
- THE APPLICANT, ITS SUCCESSORS OR ASSIGNS, SHALL OPERATE AND MAINTAIN A COMMUNITY SHUTTLE BUS SERVICE CONNECTING TO BUS STOPS OPERATED BY DART. THE SERVICE AND LOCATION SHALL BE SUBJECT TO REVIEW AND COMMENT BY DART AND DELDOT AND SUBJECT TO SITE PLAN REVIEW BY THE COMMISSION. THE SERVICE AND ANY RELATED IMPROVEMENTS SHALL BE COMPLETED WITHIN TWO (2) YEARS OF THE ISSUANCE OF THE FIRST BUILDING PERMIT.
- STATE WETLANDS SHALL NOT BE INCLUDED IN ANY INDIVIDUAL LOTS. FEDERAL AND STATE WETLANDS SHALL BE MAINTAINED AS NON-DISTURBANCE AREAS, EXCEPT WHERE AUTHORIZED BY FEDERAL OR STATE PERMIT.
- NO PIERS, DOCKS, BOAT RAMPS, OR OTHER WATER RELATED RECREATIONAL FACILITIES SHALL BE PERMITTED EXCEPT THE EXISTING MARINA WITH A KAYAK/CANOE FACILITY WHICH SHALL BE OPERATED BY THE DEVELOPER OR A HOMEOWNERS OR CONDOMINIUM ASSOCIATION. MOTORIZED BOATS SHALL NOT EXCEED FOUR (4) PONTOON TYPE BOATS.
- A BARRIER IN THE FORM OF A VEGETATED BERM SHALL BE CREATED ALONG THE COMMON BOUNDARY OF THE DEVELOPMENT AND WILLIAM DERRICKSON TO SHIELD AND SEPARATE THE DEVELOPMENT FROM MR. DERRICKSON'S PROPERTY.
- ALL SIDEWALKS MUST BE INSTALLED PER THE APPROVED PLAN PRIOR TO THE PROJECT ACHIEVING "SUBSTANTIAL COMPLETION" FROM THE SCD, DIVISION OF PUBLIC WORKS AND/OR THE SUSSEX COUNTY ENGINEER.
- THE WETLANDS ON THE SITE SHALL BE MARKED APPROPRIATELY BY MARKERS FOR THE INFORMATION OF RESIDENTS AND HOMEOWNERS' ASSOCIATION.
- BEFORE PROCEEDING WITH ANY CONSTRUCTION INVOLVING THE LAND THAT IS THE SUBJECT OF THIS APPLICATION, THE APPLICANT SHALL SUBMIT A REVISED MASTER PLAN COMBINING UNDER BOTH CZ# 1526, CZ# 1741, & CZ #1670 INTEGRATING THIS LAND INTO THE ENTIRE BAY FOREST DEVELOPMENT.
- BEFORE THE APPLICANT MAY PROCEED WITH ANY CONSTRUCTION OF THE AREAS COVERED BY THIS APPLICATION, THE APPLICANT SHALL SUBMIT A REVISED MASTER PLAN COMBINING CHANGE OF ZONE NO. 1526 AND CHANGE OF ZONE NO. 1741 AND THIS CHANGE OF ZONE APPLICATION INTO THE ENTIRE BAY FOREST DEVELOPMENT. THIS MASTER PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.
- THE PROPERTY THAT IS THE SUBJECT OF CHANGE OF ZONE C/Z# 1921 SHALL BE INTEGRATED INTO THE OVERALL DEVELOPMENT SCHEME OF THE BAY FOREST PROJECT.

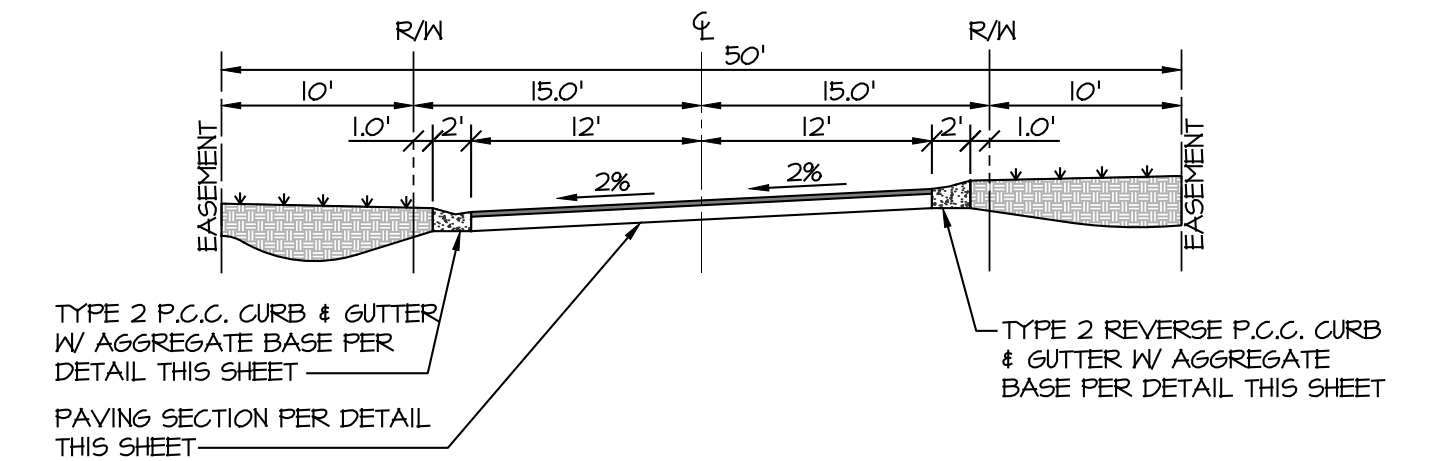
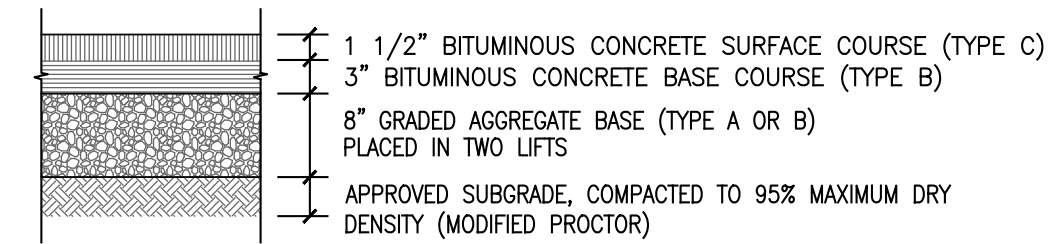
TYPICAL LAYOUT SINGLE FAMILY DETACHED CONDOMINIUMS (VILLAS)

SCALE: 1" = 60'



TYPICAL LAYOUT SINGLE FAMILY ATTACHED HOUSING (VILLAS AND TOWNHOUSES)

SCALE: 1" = 60'

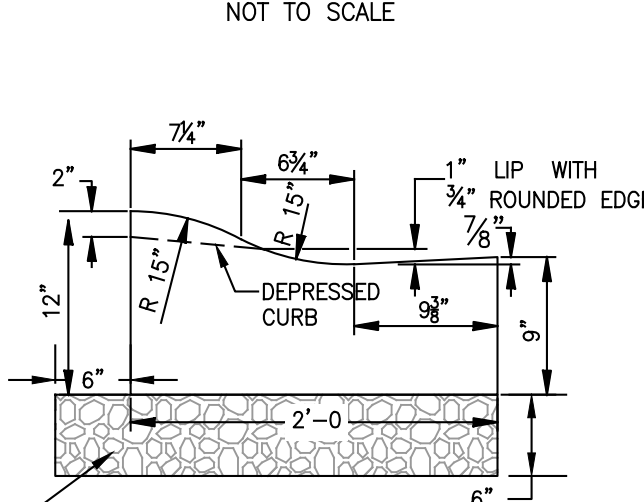


STANDARD DUTY

- FINAL SECTION TO BE DETERMINED BY GEOTECHNICAL ENGINEER IN FIELD.
- COMPACTION OF SUBGRADE SHOULD BE 95% OF MAXIMUM DRY DENSITY.

PAVING SECTIONS

NOT TO SCALE

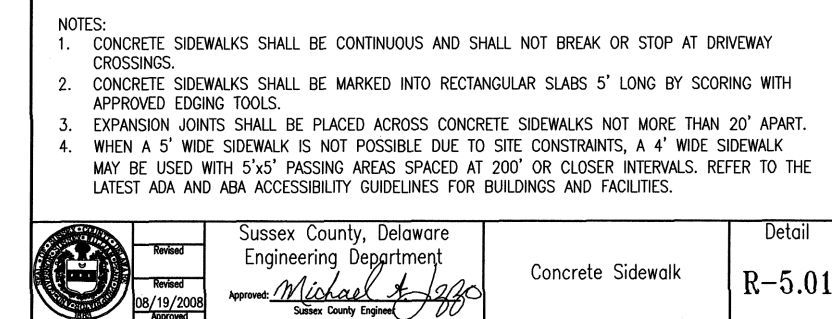
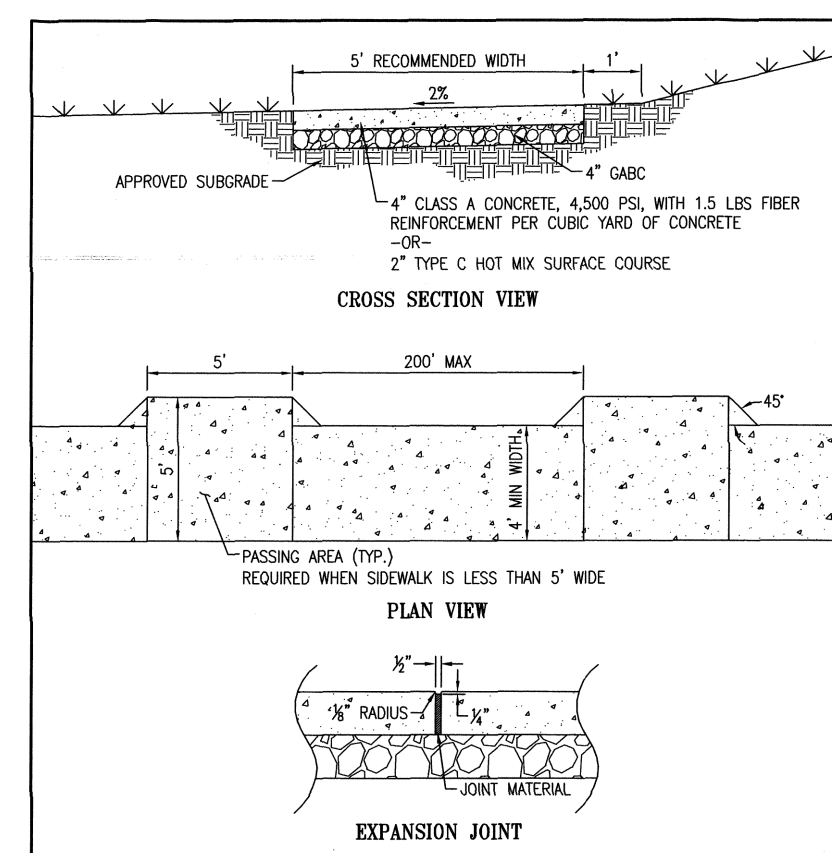


INTERGAL P.C.C. CURB & GUTTER TYPE 2

- NOTES:
- ALL CONCRETE TO BE TOWN OF MILLVILLE CLASS B MIX.
 - PROVIDE 1/2" PRE-MOLDED EXPANSION JOINTS @ 15'-0" MAX. SPACING.
 - TAPERED END SECTIONS TO BE USED AT ALL TERMINAL POINTS.

CURB DETAILS

NOT TO SCALE



Sussex County, Delaware Engineering Department	Concrete Sidewalk	Detail R-5.01
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NOTE:

- ALL SIDEWALK MUST BE INSTALLED PER THE APPROVED PLAN IN CONJUNCTION WITH THE PRIVATE STREET.
- THE MATERIALS FOR THE PATHS AND SIDEWALKS SHALL BE SUP RESISTANT AND MEET FEDERAL ADA REGULATIONS.



MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

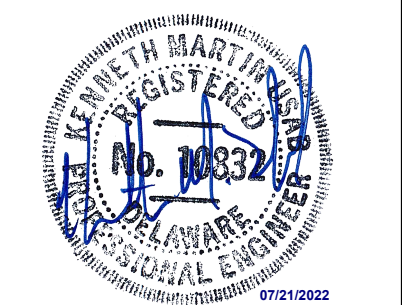
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302-855-5734

DEVELOPER:
BAY FOREST, LLC
C/O NATELLI, INC.

506 MAIN STREET, 3RD FLOOR
GAITHERSBURG, MARYLAND 20878
ATT: MR. THOMAS A. NATELLI, JR. - VP
PHONE: (301) 996-7320

BAY FOREST CLUB SPROGELL INFILL PARCEL

SECTION "Z" / PHASE 6 / RESIDENTIAL SUBDIVISION
PRELIMINARY SITE PLAN
BALTIMORE HUNDRED
SUSSEX COUNTY, DELAWARE

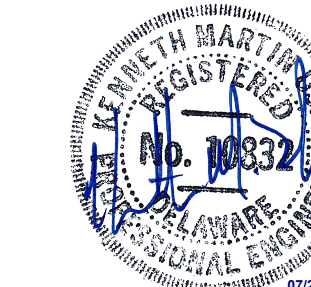


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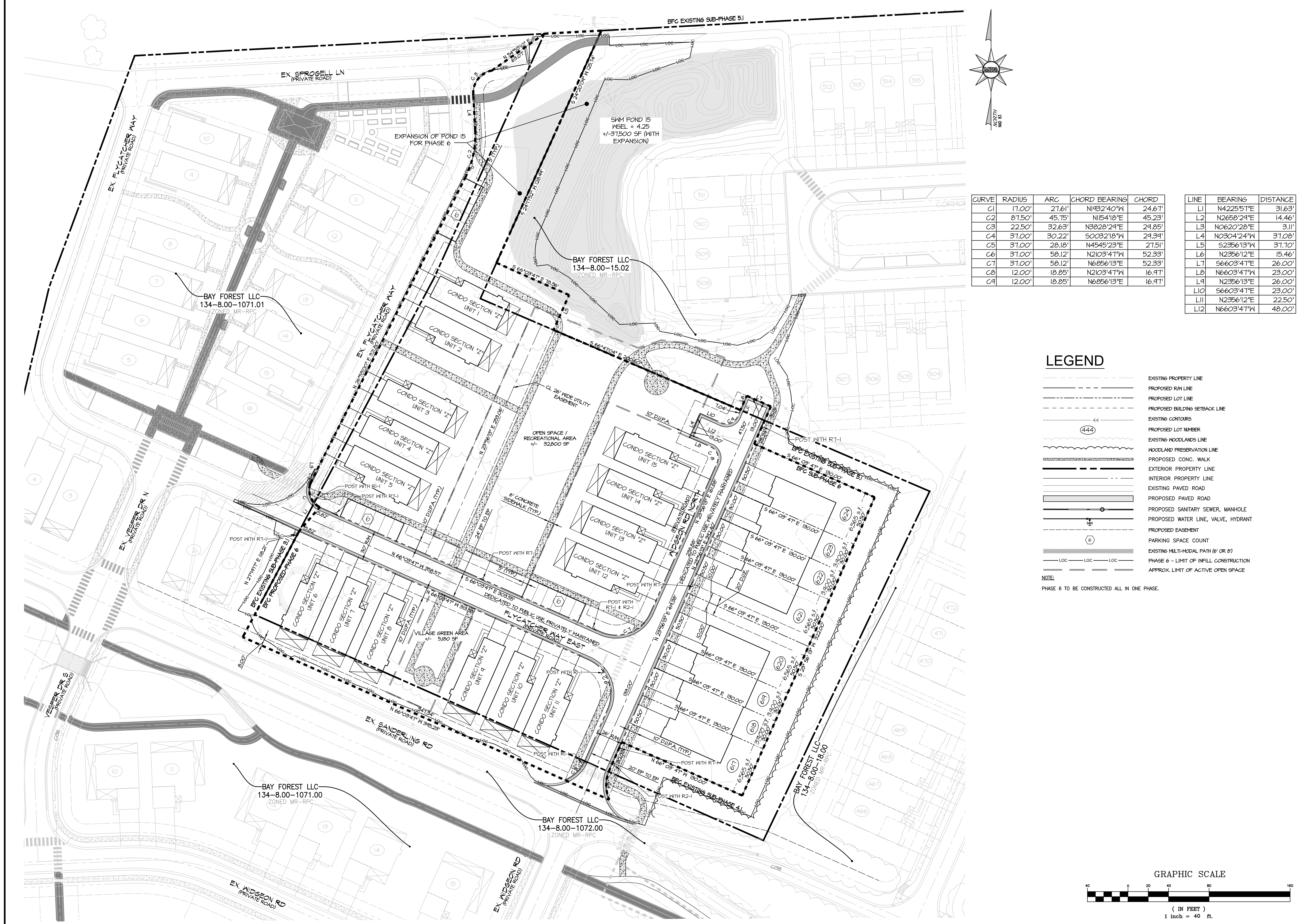
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GENERAL NOTES

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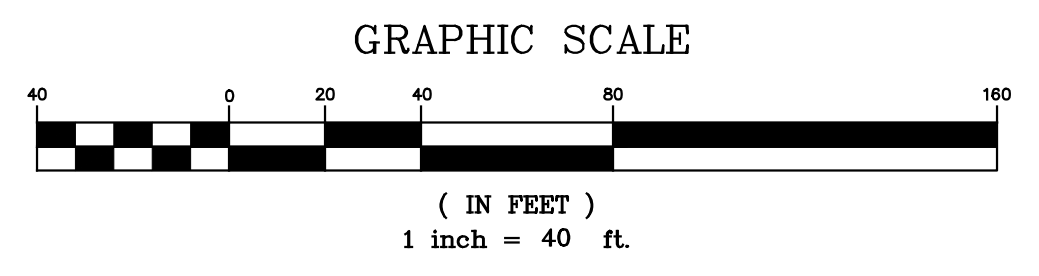
CURVE	RADIUS	ARC	CHORD BEARING	CHORD
C1	17.00'	27.61'	N193°2'40"W	24.61'
C2	87.50'	45.75'	N115°4'18"E	45.23'
C3	22.50'	32.63'	N388°28'24"E	24.85'
C4	37.00'	30.22'	S000°2'18"W	24.34'
C5	37.00'	28.18'	N454°5'23"E	27.51'
C6	37.00'	58.12'	N210°3'47"W	52.33'
C7	37.00'	58.12'	N685°6'13"E	52.33'
C8	12.00'	18.85'	N210°3'47"W	16.47'
C9	12.00'	18.85'	N685°6'13"E	16.47'

LINE	BEARING	DISTANCE
L1	N422°5'1"E	31.63'
L2	N265°8'24"E	14.46'
L3	N062°0'28"E	3.11'
L4	N030°4'24"W	37.08'
L5	S235°6'13"W	37.70'
L6	N235°6'12"E	15.46'
L7	S66°03'47"E	26.00'
L8	N66°03'47"W	23.00'
L9	N235°6'13"E	26.00'
L10	S66°03'47"E	23.00'
L11	N235°6'12"E	22.50'
L12	N66°03'47"W	48.00'

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED R/W LINE
- PROPOSED LOT LINE
- PROPOSED BUILDING SETBACK LINE
- EXISTING CONTOURS
- PROPOSED LOT NUMBER
- EXISTING HOODLANDS LINE
- WOODLAND PRESERVATION LINE
- PROPOSED CONC. WALK
- EXTERIOR PROPERTY LINE
- INTERIOR PROPERTY LINE
- EXISTING PAVED ROAD
- PROPOSED PAVED ROAD
- PROPOSED SANITARY SEWER, MANHOLE
- PROPOSED WATER LINE, VALVE, HYDRANT
- PROPOSED EASEMENT
- PARKING SPACE COUNT
- EXISTING MULTI-MODAL PATH (6' OR 8')
- PHASE 6 - LIMIT OF INFILL CONSTRUCTION
- APPROX. LIMIT OF ACTIVE OPEN SPACE

NOTE:
PHASE 6 TO BE CONSTRUCTED ALL IN ONE PHASE.



G:\12347-20-Bay Forest-SprogeLL\DE\12347-20-Preliminary Site Plan.dwg, 7/21/2022, 2:55:10 PM, c:\moris.
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March 31, 2022

TIDEWATER UTILITIES, INC.

APPROVAL TO CONSTRUCT

Bethany Bay Ocean View District

Bay Forest Club Phase 6 Connection

Parts of Section Z

PWS #DE0000221

Approval #22W49

Mr. Thomas A. Natelli, Jr.
Bay Forest, LLC
506 Main Street, 3rd Floor
Gaithersburg, MD 20878

Dear Mr. Natelli:

As provided by Section 2.11 of the *State of Delaware Regulations Governing Public Drinking Water Systems*, you are granted approval to connect Bay Forest Club Phase 6 (Section Z) to the existing main in accordance with the plans submitted by Morris & Ritchie Associates, Inc. The plans consist of:

1. Transmittal letter dated March 24, 2022.
2. One copy of the plans entitled “Bay Forest Club Construction Phase 6 Sections Z” dated December 7, 2021.

These plans, as noted, are made a part of this approval. This approval is granted subject to the enclosed list of conditions. It is the owner’s responsibility to ensure as-built drawings are maintained throughout all phases of construction. Prior to receiving an Approval to Operate, the Office of Engineering requires one set of as-built drawings, including profile markups.

The Office of Engineering recommends detectable tracer tape that is three inches wide and blue in color to be installed directly above all water mains larger than two inches in diameter.

Any water main that is greater than 100-feet that is not looped should have a blow-off or flushing device. (See Waterline-Widgeon RD North Profile and Waterline – Units 1-5 Profile on sheet UP-2 where they are included)

Mr. Thomas Natelli, Jr.
Bay Forest, LLC
March 31, 2022
Page 2

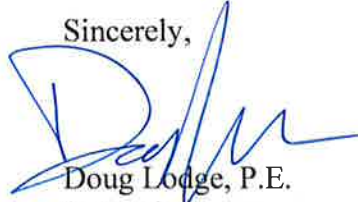
Should you have any questions regarding this matter, please feel free to contact Bill Milliken at (302) 741-8646.

Plans reviewed by:



William J. Milliken, Jr.
Engineer III
Office of Engineering

Sincerely,



Doug Lodge, P.E.
Supervisor of Engineering
Office of Engineering

cc: Mike Morris, Morris & Ritchie Associates, Inc.
Tawanda Priester, Tidewater Utilities, Inc.
Alexis Virdin-Gede, Tidewater Utilities, Inc.
Ashley Kunder, Office of Drinking Water

1. The approval is void if construction has not been started by March 31, 2023.
2. The project shall be constructed in accordance with the approved plans and all required conditions listed in this Approval to Construct. If any changes are necessary, revised plans shall be submitted and a supplemental approval issued prior to the start of construction. As-built plans including profile mark-ups must be submitted to the Office of Engineering after construction has been completed.
3. Representatives of the Division of Public Health may inspect this project at any time during the construction.
4. This approval does not cover the structural stability of any units or parts of this project.
5. The water system shall be operated in conformance with the *State of Delaware Regulations Governing Public Drinking Water Systems*.
6. All potable water lines and appurtenances shall be disinfected using one of the methods in the American Water Works Association Standard C651, current edition.
7. Water mains crossing sanitary and storm sewers should be laid to provide a minimum vertical distance of 18 inches between the outside of the water main and the outside of the sewer, and the water main should be above the sewer. At crossings, one full length of water pipe should be located so both joints will be as far from the sewer as possible. Special structural support for the water and sewer pipes may be required. In cases where it is not practical to maintain an 18-inch separation, the Division may allow deviation on a case-by-case basis if supported by data from the design engineer.
8. Water mains should be laid 10 feet horizontally from any existing or proposed sanitary or storm sewers. The distance should be measured edge to edge. In cases where it is not practical to maintain a 10-foot separation, the Division may allow deviation on a case-by-case basis if supported by data from the design engineer.
9. All chemicals, materials, mechanical devices, and coatings in contact with potable water shall comply with National Sanitation Foundation/American National Standards Institute Standards (NSF/ANSI) 60 and 61 and shall be inert, nontoxic, and shall not impart any taste, odor, or color to the water.
10. Sufficient valves should be provided so that inconvenience and sanitary hazards will be minimized during repairs. Valves should be located at not more than 500-foot intervals in commercial districts and at not more than one block or 800-foot intervals in other districts.
11. There shall be no connection between the distribution system and any pipes, pumps, hydrants, or tanks whereby unsafe water or other contaminating materials may be discharged or drawn into the system.

12. Fire hydrant drains shall not be connected to or located within 10 feet of sanitary sewers, storm sewers, or storm drains.
13. Prior to usage of water from this new well, water plant, storage plant, or distribution system, approval for the water quality must be obtained from the Division of Public Health.
14. The water system should be capable of providing at least 25 psi at ground level at all times throughout the distribution system.
15. All plastic pipe utilized in this drinking water system shall be approved for potable water use (NSF-pw). If any piping is joined with solder or flux, the solder and flux shall be lead free (less than or equal to 0.2 percent lead).
16. All water lines should be buried to a depth of at least 3 feet.
17. A Certificate of Public Conveniences and Necessity should be acquired from the Public Service Commission, (302) 739-4247.
18. This approval is for the distribution system only. Plans and specifications for all well plumbing, pumps, storage (including any interior coatings), and treatment must be submitted to and approved by this office prior to their installation.
19. The approval is subject to immediate revocation upon violation of any of the preceding conditions.
20. All other local (county/city/town) approvals or permits needed must be obtained prior to beginning construction.
21. Upon completion of construction and before the system is placed into operation, a "Notice of Completion" must be submitted to the Office of Engineering. Before placing the system into operation, the following must be adhered to:
 - a. Submit a set of as-built plans with profile markups to the Office of Engineering.
 - b. Obtain an Approval to Operate from the Office of Engineering.



OFFICE OF THE STATE FIRE MARSHAL
Technical Services

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2019-04-199585-MJS-02

Tax Parcel Number: 134-8.00-15.00

Status: Approved as Submitted

Date: 10/04/2021

Project

Sprogell Parcel Section Z (MJS)

Bay Forest Resort Club Property - Ocean View
Phase #: 6

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 84 - Millville Volunteer Fire Co

Occupant Load Inside:

Occupancy Code:

Applicant

Phillip Tolliver
18 Boulden Circle Sute 36
New Castle, DE 19720


This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:


Desiree McCall

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2019-04-199585-MJS-02

Tax Parcel Number: 134-8.00-15.00

Status: Approved as Submitted

Date: 10/04/2021

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1040 A** This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 1,000 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 800' on center.
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1190 A** Separate plan submittal is required for the building(s) proposed for this project.
- 1130 A** Provide a water flow test on the subdivision hydrant(s) once they have been installed, and before they are placed into service (DSFPR Part I, Section 4 4.2 and Part III, Chapter 3). Results are to be forwarded to this Agency for review.
- 1132 A** Fire hydrants shall be color coded in accordance with the DSFPR, Part III, Section 3 4. This includes both color coding the bonnet and 2" reflective tape around the barrel under the top flange.
- 1232 A** All threads provided for fire department connections, to sprinkler systems, standpipes, yard hydrants or any other fire hose connections shall be uniform to those used by the fire department in whose district they are located. DSFPR Part III, Section 1.1.5.1.
- 1432 A** The steamer connection of all fire hydrants shall be so positioned so as to be

facing the street or fire lane. (DSFPR Regulation 705, Chapter 5, Section 10). The center of all hose outlet(s) on fire hydrants shall be not less than 18 inches above finalgrade (NFPA 24, Section 7.3.3).

1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.

Gary Morris

From: Tawanda Priester <TPriester@middlesexwater.com>
Sent: Tuesday, January 17, 2023 4:00 PM
To: Gary Morris
Cc: Kenneth Usab; Kelly Bailey; 'tnatelli@natelli.com'
Subject: Bay Forest Club - Sprogell Infill Parcel - NFC
Attachments: Bay Forest Club Sprogell Infill NFC - 1.17.23.pdf

Gary,

At this time, TUI has completed the review of the attached utility plans and has no further comments. TUI's acceptance of these plans shall expire one (1) year from the date of this email. In the event final approval is not granted and construction is not started within the year, resubmission to TUI will be required. Also, revisions to the project or the utility plans will require resubmission.

Prior to final approval, the Water service agreement (WSA) must be executed between TUI and the developer. To initiate the process, the developer should contact Kelly Bailey at kribailey@tuiwater.com or by phone at 302-747-1304.

The following documentation may be submitted for final approval:

1. Completed plan approval application, signed and dated. Attached is the latest application.
2. Hard copies of FMO and ODW approvals, including the email from the FMO accepting the hydrant relocation.
3. One hard copy of the recorded record plat with book & page.
4. Three copies of final plans sealed by a professional engineer registered in the State of Delaware. Please include the cover sheet, notes, utility sheets, profiles, and water details.
5. Electronic files on CD:
 - a. Final water utility plan in full .dwg format (AutoCAD 2018 or earlier versions).
 - b. Sealed final water utility plan in .pdf format. Please include the cover sheet, notes, utility sheets, profiles, and water details.
 - c. Recorded record plat in .pdf format.

Thank you,

Tawanda Priester

Project Engineer

[TIDEWATER UTILITIES, INC.](#)

"Southern Delaware's Premier Water Company Since 1964"

Phone: 302-747-1339 Fax: 302-734-9295

From: Tawanda Priester
Sent: Monday, January 9, 2023 11:12 AM
To: 'Gary Morris' <GMorris@mragta.com>
Subject: Plan Review #3 for Bay Forest Club - Sprogell Infill Parcel

Good Morning Gary,

My apologies for not responding sooner. In the future, please feel free to reach out to me if you have not received TUI comments within a one month timeframe.

After reviewing the plans, see TUI Comments 1 – 3 on the attached .pdf. Also, the record plat is acceptable.

Once the minor comments are addressed, please send a full .pdf set of water plans (Sheets T-1 & TUI-1 – TUI-3) for review.

Hopefully, the next review will be the final one and then a set of requirements can be sent for final approval.

Thank you,

Tawanda Priester

Project Engineer

[TIDEWATER UTILITIES, INC.](#)

“Southern Delaware’s Premier Water Company Since 1964”

Phone: 302-747-1339 Fax: 302-734-9295

From: Gary Morris <GMorris@mragta.com>

Sent: Monday, January 9, 2023 8:20 AM

To: Tawanda Priester <TPriester@middlesexwater.com>

Subject: [EXTERNAL] RE: Plan Review #2 for Bay Forest Club - Sprogell Infill Parcel

EXTERNAL EMAIL: The sender of this email is gmmorris@mragta.com, exercise caution.

Good Morning Tawanda,

We just received our approval from Sussex County Engineering for Bay Forest Club – Phase 6 – Sprogell Infill Parcel Friday afternoon. I know Tidewater needs the approved plans to approve the plans we sent on 11/15/22. I have the following questions so I can get you everything required to get our approval from Tidewater as well:

Do you need the entire set of approved improvement plans, or just specific sheets like the cover sheet and Utility Plans and can these be in PDF format, or do they need to be hard copy as well?

Are the plans we sent on 11/15/22 far enough along that you would like the three (3) hard copies delivered this time?

What version of CAD do you need your CAD files to be saved to (we work in version 2022), and is this just the CAD files for the Tidewater set?

Once I hear back from you we will get this turned around and have you everything required within the next day or so. Thank you for your time.

Mike Morris

From: Gary Morris

Sent: Tuesday, November 15, 2022 9:48 AM

To: Tawanda Priester <TPriester@middlesexwater.com>
Cc: Kenneth Usab <KUsab@mrags.com>
Subject: RE: Plan Review #2 for Bay Forest Club - Sprogell Infill Parcel

Good Morning Tawanda,

Attached you will find our re-submittal for Bay Forest Club – Phase 6 – Sprogell Infill Parcel for your review. In these files you will find the required approvals from other agencies, a Title Sheet from the overall construction set with project information, a copy of the Plats, and the Tidewater Utility Plan set. I have addressed your last set of comments from the email below within the same email in **RED**. Upon completion of your review, If there are no further comments, we will forward the three (3) hard copies and email you the CAD files as well. Should you have any questions, please just let me know.

Thank you,

Mike Morris, Project Manager



MORRIS & RITCHIE ASSOCIATES, INC.
8 West Market Street, Georgetown, DE 19947
Tel: 302-855-5734 | Cell: 302-448-5999 | www.mragta.com

From: Tawanda Priester <TPriester@middlesexwater.com>
Sent: Tuesday, February 8, 2022 4:46 PM
To: Morris, Gary <GMorris@mrags.com>
Cc: Usab, Ken <KUsab@mrags.com>
Subject: Plan Review #2 for Bay Forest Club - Sprogell Infill Parcel

Morris,

After reviewing the latest plans for Bay Forest Club – Sprogell Infill Parcel, TUI has the following comments:

1. Relocate water service line at Unit 15 to maintain at least 5' from the sewer manhole.
The service has been relocated per the markup provided. Greater than five (5) feet is provided between the service and the manhole. The manhole has been adjusted as well to satisfy a recent County Engineering comment.
2. Relocate the SD note which is partially covering the water service for Unit 1.
The note has been relocated to eliminate the text overwrite.
3. Also label valves (V-1, V-2, etc.) and hydrants (H-1, H-2, etc.) on the profiles.
The labels have been updated in plan view and have been added to all profiles as requested.
4. Is there a reason the water main needs to extend past the storm drain at X-24? If not, the main can end before the crossing if there will be no future connection. In addition, the bend should be removed since it appears the main would be outside of the ROW and utility easement. The main can end under the sidewalk.
This was originally done to not encumber the lot with a larger easement. However, per my conversation with Tidewater on 11/14/22, the water main has been revised and now stops prior to the storm drain and property line with the cap and blow off terminating between the back of curb and the sidewalk instead of turning back toward the lot to terminate.
5. If the main extends beyond the property line, the easement will need to extend to the adjacent parcel, 134-8.00-15.02.
The water main length has been adjusted and it no longer crosses into the adjacent parcel.

6. Although the hydrant (H-70) was accepted by the FMO verbally, prior to final approval, TUI will require an email to document the acceptance in addition to the original FMO approval.
In the attached documents you will find the original approval from the Fire Marshal Office as well as a copy of an email confirming the acceptance of the new hydrant location from the Fire Marshal Office.
7. If there is no cover sheet, please provide parcel info in the title block to identify where the project is location.
In the attached documents you will find a Title Sheet from the overall Construction Set with project location and information as requested.

Please respond to all comments in writing and the revised plans may be sent via email for TUI's review.

Thank you,

Tawanda Priester

Project Engineer

[TIDEWATER UTILITIES, INC.](#)

"Southern Delaware's Premier Water Company Since 1964"

Phone: 302-747-1339 Fax: 302-734-9295



tpriester@tuiwater.com

From: Morris, Gary <GMorris@mragta.com>
Sent: Tuesday, January 18, 2022 11:25 AM
To: Tawanda Priester <TPriester@middlesexwater.com>
Cc: Usab, Ken <KUsab@mragta.com>
Subject: [EXTERNAL] 12347x20-Bay Forest Club-Sprogell Infill Parcel TUI Resubmittal

EXTERNAL EMAIL: The sender of this email is gmorris@mragta.com, exercise caution.

Good Morning Tawanda,

The attached files contain our revised plans based on the comments you provided us for the Bay Forest Club – Sprogell Infill Parcel , and the comment letter with responses. No final approvals have been obtained yet, nor has a Plat been completed. Once all is complete, we will make our formal and final submittal to TUI at that time. Thank you

Mike Morris, Project Manager



MORRIS & RITCHIE ASSOCIATES, INC.

8 West Market Street, Georgetown, DE 19947

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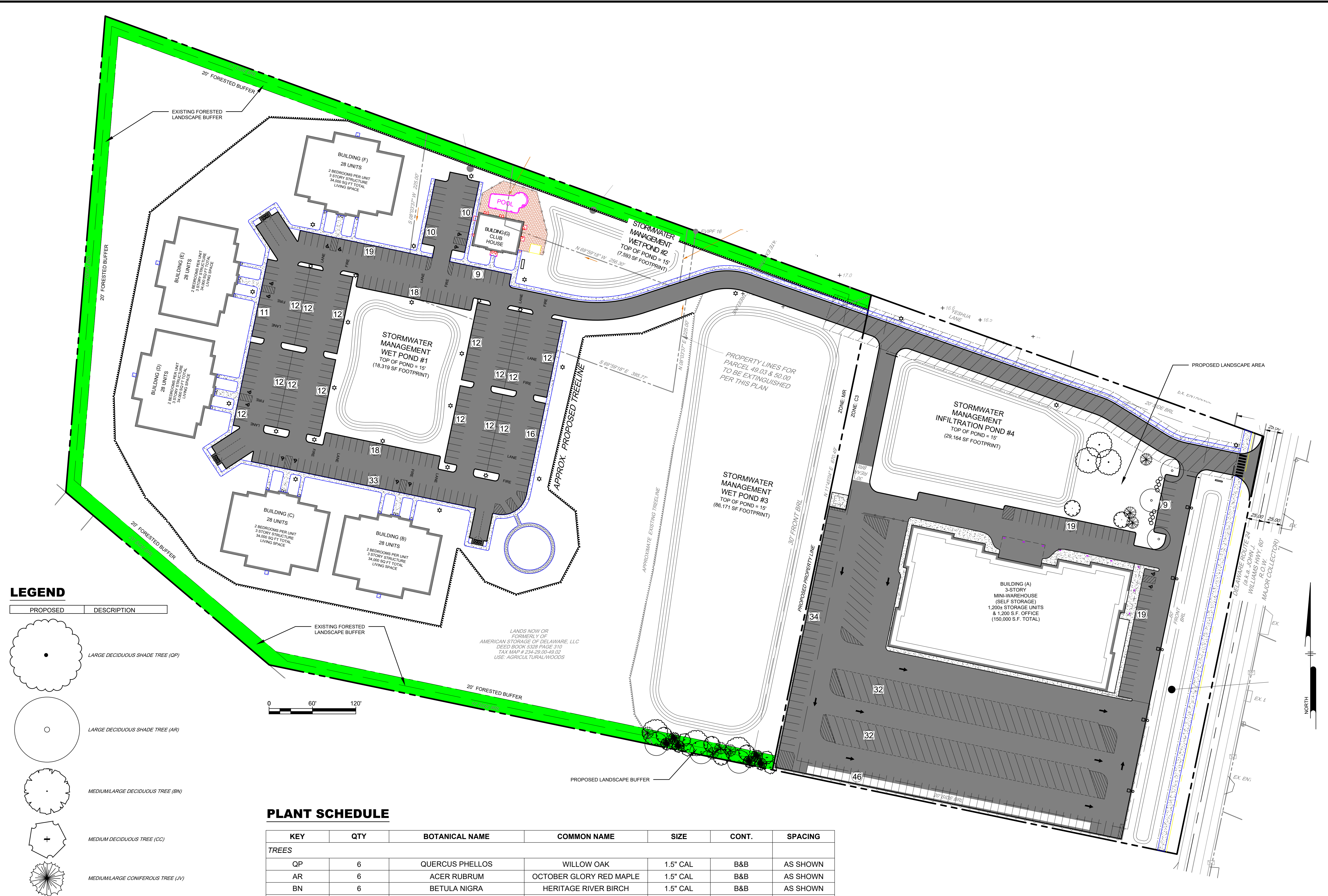


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PLOTTED: 1/27/2022 3:52 PM BY: PWA/etm PL: PLOTSTYLE: Pennoni V02.dwg PROJECT STATUS:



LEGEND

- | PROPOSED | DESCRIPTION |
|----------|--|
| | LARGE DECIDUOUS SHADE TREE (QP) |
| | LARGE DECIDUOUS SHADE TREE (AR) |
| | MEDIUM/LARGE DECIDUOUS TREE (BN) |
| | MEDIUM DECIDUOUS TREE (CC) |
| | MEDIUM/LARGE CONIFEROUS TREE (JV) |
| | MEDIUM/LARGE CONIFEROUS TREE (PS) |
| | MEDIUM/LARGE SHRUB (IV) |
| | 20-FOOT FORESTED AND/OR LANDSCAPE BUFFER |

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	SPACING
TREES						
QP	6	QUERCUS PHELLOS	WILLOW OAK	1.5" CAL	B&B	AS SHOWN
AR	6	ACER RUBRUM	OCTOBER GLORY RED MAPLE	1.5" CAL	B&B	AS SHOWN
BN	6	BETULA NIGRA	HERITAGE RIVER BIRCH	1.5" CAL	B&B	AS SHOWN
CC	4	CERIS CANADENSIS	EASTERN REDBUD	1.5" CAL	B&B	AS SHOWN
JV	6	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	5' HGT	B&B	AS SHOWN
PS	7	PINUS STROBUS	EASTERN WHITE PINE	5' HGT	B&B	AS SHOWN
IV	10	ILEX VERTICILLATA	LITTLE GOBLIN WINTERBERRY	3' HGT	CONT.	AS SHOWN

*NOTE - USE PLANT SYMBOLS RESPECTIVELY TO IDENTIFY LOCATION OF PLANTS ON PLAN
 - EXISTING VEGETATION TO BE UTILIZED AS MUCH AS POSSIBLE
 - ABOVE QUANTITIES REFLECT PROPOSED BUFFER AND OPEN SPACE AREA NEAR FRONT BUILDING.

LANDSCAPE CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE REGULATIONS AND LAWS OF THE STATE OF DELAWARE.

ERIC W. WAHL, (DE# S1-0000409) DATE
 PENNONI ASSOCIATES INC.
 18072 DAVIDSON DRIVE MILTON, DE 19968

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

AMERICAN STORAGE - RT. 24
 JOHN J. WILLIAMS HIGHWAY (SCR024)
 MILLSBORO, DE 19966
LANDSCAPE PLAN
 AMERICAN STORAGE OF DELAWARE, LLC
 113 DICKINSON STREET, STE 100,
 DEWEY BEACH, DE 19871

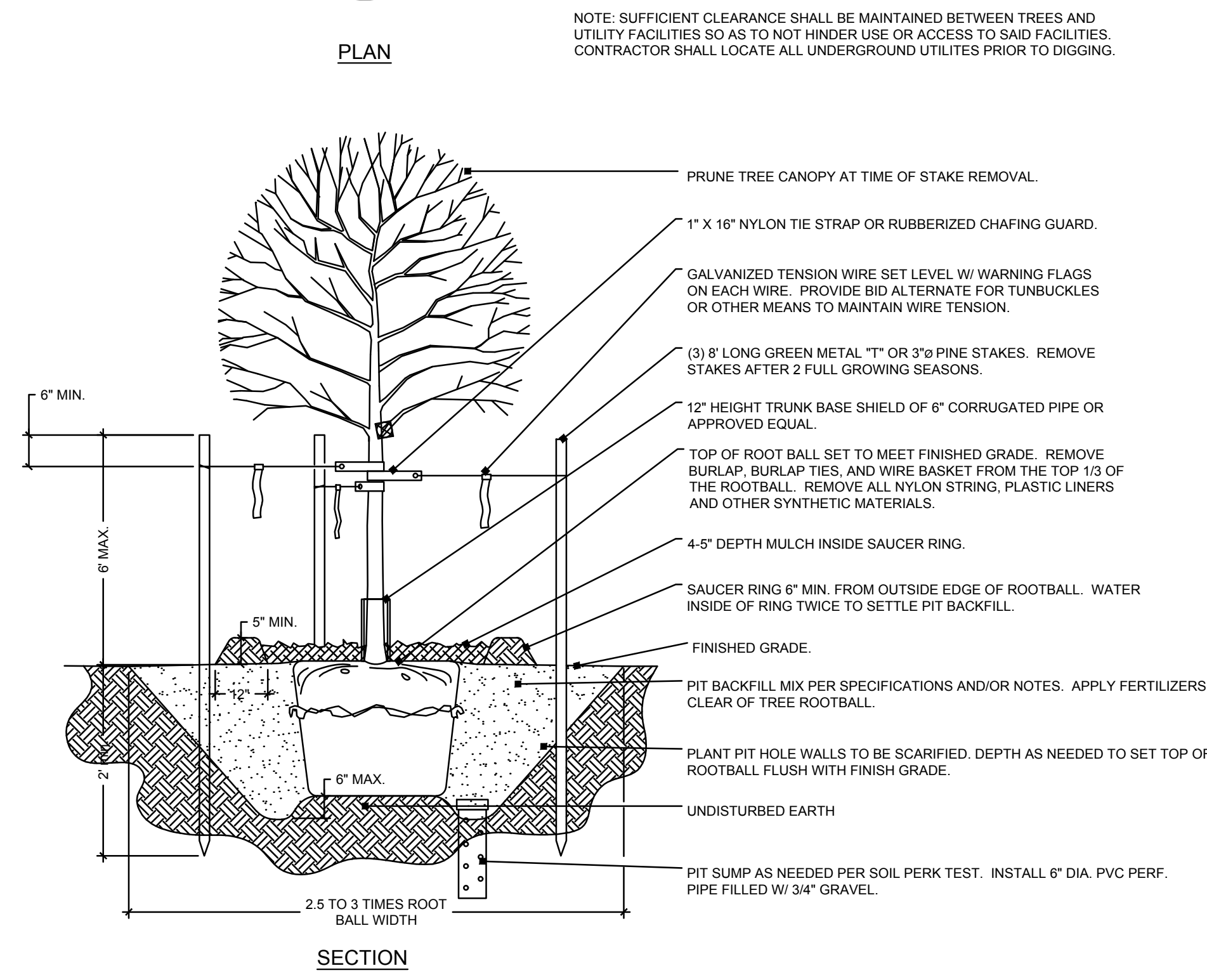
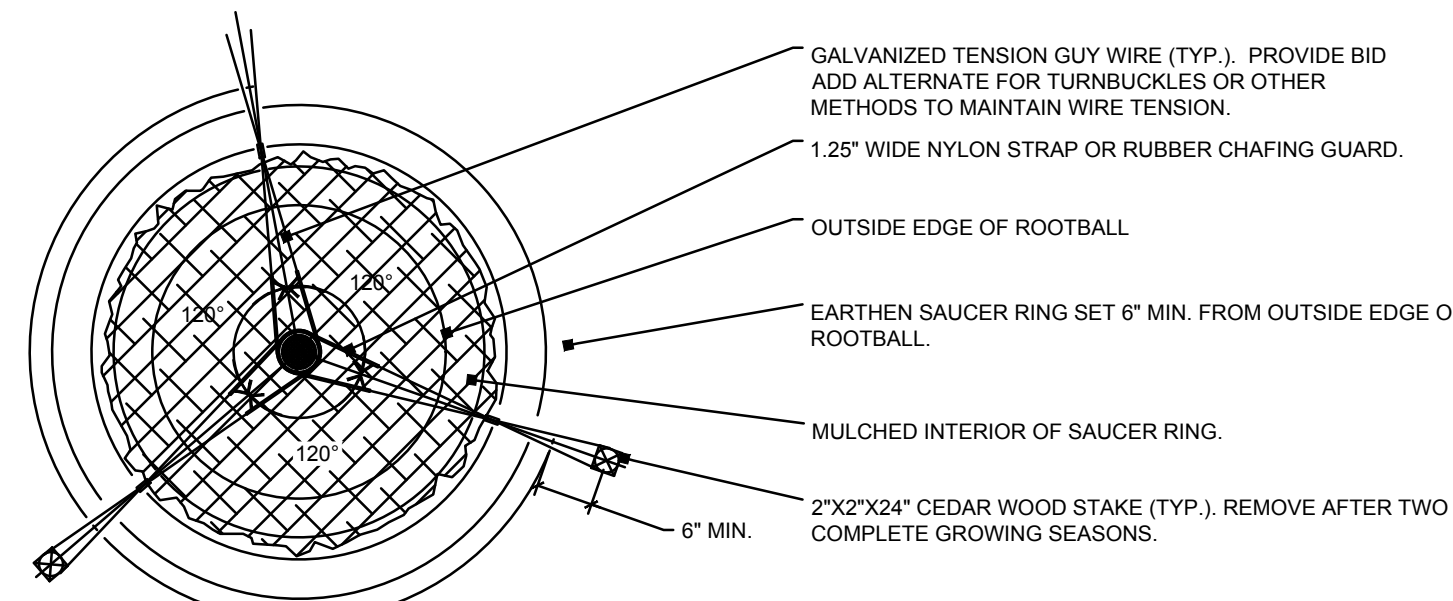
NO.	DATE	REVISIONS	BY

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

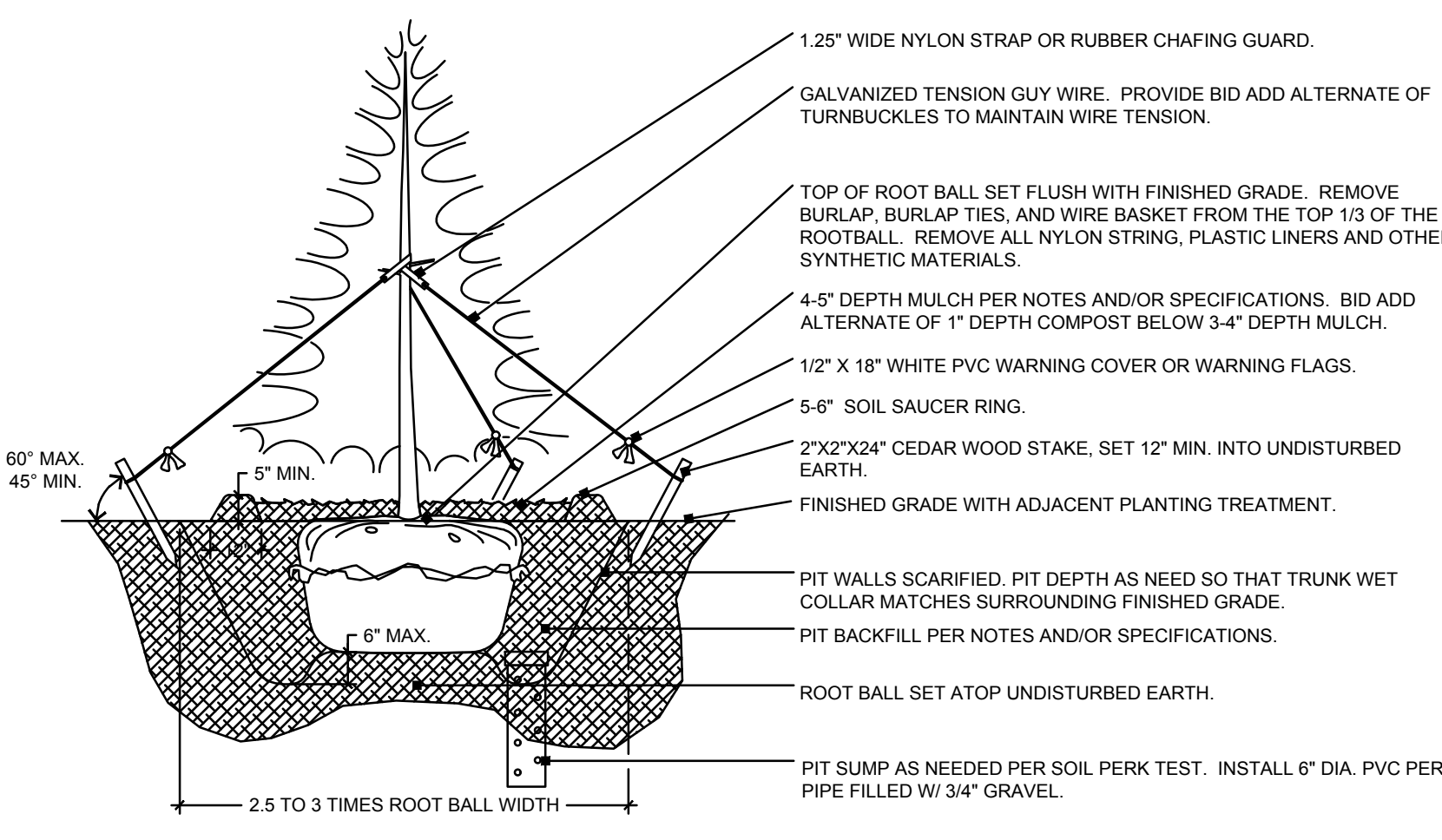
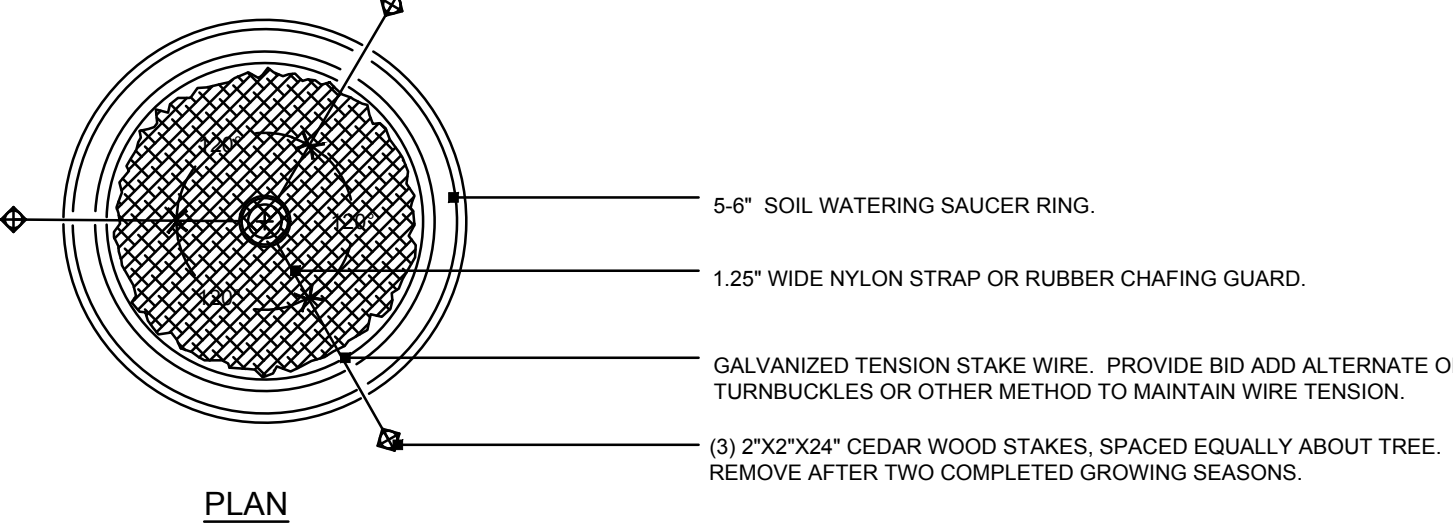
PROJECT: AMSDE22001
 DATE: 2022-12-21
 DRAWING SCALE: 1" = 60'-0"
 DRAWN BY: EWW
 APPROVED BY: AMD

LANDSCAPE NOTES:

- ALL PLANTS TO BE TRUE TO SPECIES, IN A RIGOROUS STATE OF GROWTH, MEET WITH THE LATEST STANDARDS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, AND BE FREE OF INSECTS, PESTS AND DISEASES. NO MATERIAL SUBSTITUTIONS ARE PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL OBTAIN A DIGITAL FILE FROM LANDSCAPE ARCHITECT AS NEEDED TO PROPERLY STAKE OUT PROPOSED TREE LOCATIONS.
- REFER TO PROJECT SPECIFICATIONS FOR ALL REQUIREMENTS AND SUBMITTALS NOT COVERED IN THESE NOTES, DETAILS, AND DRAWINGS.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE PLANS, NOTES, AND SPECIFICATIONS.
- MULCH:
 - NATIVE SHREDDED HARDWOOD MIXED WITH NATIVE LEAF LITTER. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL.
 - APPLY 1-2" DEPTH OF FINELY SHREDDED MULCH OVER GROUNDCOVER AND PERENNIAL BEDS.
 - APPLY 2-3" DEPTH MULCH OVER SHRUB BEDS AND INSIDE SHRUB SAUCER RINGS.
 - APPLY 4-5" DEPTH MULCH INSIDE TREE SAUCER RINGS.
- FINE GRADING: FINE GRADE ALL GROUNDCOVER AND SHRUB BED PRIOR TO PLANTING. HAND GRADE ALL PROPOSED LAWN AREAS PRIOR TO HYDRO SEEDING OR LAYING SOD. REMOVE ALL ROCKS, CLUMPS, AND FOREIGN DEBRIS GREATER THAN 1/2" DIAMETER.
- TOPSOIL: CONTRACTOR SHALL OBTAIN SOILS TESTS FROM THE DELAWARE DEPARTMENT OF AGRICULTURE EXTENSION OFFICE (OR EQUAL) AND FURNISH A COPY OF SAID REPORT TO LANDSCAPE ARCHITECT. PRE COUNTY REQUIREMENTS: 6" MINIMUM TOPSOIL SHALL BE PROVIDED THROUGHOUT THE SITE. PROVIDE 12" DEPTH TOP SOIL FOR ALL GROUNDCOVER PERENNIAL AND SEASONAL PLANTING BEDS. PROVIDE 18" DEPTH TOP SOIL FOR ALL TREE AND SHRUB BEDS.
- PLANT PITS AND BACKFILL:
 - ALL TREE PITS TO BE A MINIMUM OF 2.5 TIMES THE WIDTH OF THE ROOT BALL AND SHRUB PITS TO BE A MINIMUM OF 2 TIMES THE WIDTH OF THE CONTAINER OR ROOT BALL.
 - CONTRACTOR SHALL PERFORM A 24 HOUR PERK TEST ON TREE PITS. WATER SHOULD DRAIN FREELY FROM THE HOLE WITHIN A 24 HOUR PERIOD.
 - SET TREE AND PIT DEPTH SUCH THAT THE TRUNK COLLAR OR WET LINE MATCHES THAT OF THE PROPOSED FINISH GRADE. IN POOR DRAINING SOILS CONDITIONS, SET TOPS OF ROOT BALLS APPROXIMATELY 2" ABOVE PROPOSED FINISH GRADE.
 - FOR BALLED AND BURLAPPED TREES, REMOVE THE TOP 1/4 OF THE ROOT BALL CAGE PRIOR TO BACKFILL. REMOVE ALL TWINE AND TIES FROM THE TRUNK OF THE TREE.
 - STANDARD PIT BACKFILL SHALL CONSIST OF 1/2 NATIVE SOIL, 1/4 COMPOST, AND 1/4 SPHAGNUM PEAT MOSS MIXED LIBERALLY TOGETHER. FOR POORLY DRAINING NATIVE SOIL CONDITIONS, PIT BACKFILL SHALL CONSIST OF 1/2 NATIVE SOIL, 1/4 COMPOST, AND 1/4 SAND MIXED LIBERALLY. ADJUST STANDARD FILL MATERIAL MIX WHERE STRUCTURAL SOILS ARE REQUIRED.
 - AROUND EACH TREE SHAPE A 5-6" TALL SOIL SAUCER RING WITH THE INSIDE RING DIAMETER 12" WIDER THAN THE ROOT BALL. AROUND EACH SHRUB, SHAPE A 3-4" TALL SOIL SAUCER RING WITH AN INSIDE DIAMETER OF 6" WIDER THAN THE ROOT BALL.
 - SETTLE TREE AND SHRUB PIT BACKFILL BY WATERING THE INTERIOR OF SAUCER RING TWICE BEFORE MULCHING.
- TREE STAKING AND GUYING:
 - ALL TREES GREATER THAN 1.75" IN CALIPER OR 6' IN HEIGHT SHALL BE STAKED OR GUYED AS SHOWN IN DETAILS. LASSO TIES SHALL BE OF 1-1/4" WIDE NYLON STRAPS OR OF FLEXIBLE PLASTIC THAT WILL NOT CHAFE, SCAR OR DAMAGE TREE LIMBS. STAKE AND GUY CHORDS SHALL BE FLAGGED OR COVERED WITH APPROPRIATE MATERIALS SO THAT THEY ARE READILY VISIBLE. PROVIDE THREE (3) STAKES OR GUY'S MINIMUM PER TREE, SPACED EQUALLY ABOUT THE TRUNK BASE. TWO (2) STAKES MINIMUM MAY BE USED IN NARROW, WIND-SHELTERED AREAS WHERE STANDARD STAKING OR GUYING WILL CANNOT FIT. CONTRACTOR SHALL REMOVE ALL STAKING AND GUYING MATERIALS AFTER ONE COMPLETE GROWING SEASON. ALTERNATIVE STAKING METHODS PROPOSED MUST BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL.
- FERTILIZERS: FERTILIZERS FOR LAWNS, BEDS, AND TREE & SHRUB PITS SHALL BE DETERMINED THROUGH THIRD PARTY SOILS TESTING FURNISHED BY THE CONTRACTOR. CONTRACTOR SHALL SUBMIT SOILS TEST RESULTS AND PROPOSED FERTILIZER PRODUCT(S) SPECIFICATIONS TO LANDSCAPE ARCHITECT FOR APPROVAL.
- LANDSCAPE DRAINAGE: THE LANDSCAPE PLAN HAS BEEN PREPARED WITH EXISTING AND PROPOSED GRADIENT DATA PER THE CIVIL ENGINEER. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN EXISTING CONDITIONS OR PROPOSED GRADING THAT WOULD COMPROMISE THE PROPER INSTALLATION AND POSITIVE DRAINAGE OF PROPOSED LANDSCAPE PLANTINGS AND/OR SITE ELEMENTS.
- SEEDED AREAS: THE LIMIT OF SEEDING SHALL EXTEND TO ALL NON SOODED AREAS DISTURBED BY CONSTRUCTION. CONTRACTOR SHALL SUBMIT APPROPRIATE NATIVE GRASS SEED MIXES) SPECIFICATIONS TO LANDSCAPE ARCHITECT FOR APPROVAL. AREA SEEDING SHALL BE AT A RATE OF APPROXIMATELY 1 LBS PER 2000 SF OR PER SEED MIX RECOMMENDATIONS TO ACHIEVE THE DESIRABLE APPLICATION RATE. ALL SEED AREA SHALL APPLIED WITH HYDROMULCH OR WITH OTHER TACKIFYING METHODS TO ENSURE SOIL STABILITY THROUGH TO GERMINATION AND ESTABLISHMENT OF THE SEEDED AREA.
- MAINTENANCE PERIOD AND GUARANTEE: CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS THROUGH ONE COMPLETE GROWING SEASON AFTER INITIAL PLANTING. NURSERY PLANT SELECTION MAY BE COORDINATED WITH LANDSCAPE ARCHITECT, BUT SHALL NOT EXEMPT CONTRACTOR FROM MAINTENANCE PERIOD RESPONSIBILITIES AND GUARANTEES. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 2 WEEKS IN ADVANCE TO SCHEDULE AN APPOINTMENT FOR FIELD SELECTION OF PLANT MATERIALS.
- QUALIFICATIONS, INSPECTIONS, AND APPROVALS: A STATEMENT OF QUALIFICATION SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT AND OWNER AT BID SUBMISSION. BONDING: AT OWNER'S DISCRETION, BONDING MAY BE REQUIRED BY THE CONTRACTOR OR PROOF OF BONDABLE STATUS. REFER TO SPECIFICATIONS FOR LANDSCAPE INSPECTIONS SCHEDULE AND MATERIALS TESTING NOT COVERED IN THESE NOTES. RESULTS FROM ALL REQUIRED MATERIALS TESTING TO BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL. A NOTICE OF FINAL ACCEPTANCE SHALL BE ISSUED TO CONTRACTOR BY THE LANDSCAPE ARCHITECT UPON LANDSCAPE ARCHITECT AND OWNER APPROVAL OF ALL REQUIRED TESTING, MOCK-UPS AND SAMPLES, AND THE SATISFACTORY COMPLETION OF ALL LANDSCAPE CONSTRUCTION PUNCH-LIST ITEMS AND SUBMISSION OF WRITTEN GUARANTEES. A NOTICE OF CONDITIONAL ACCEPTANCE MAY BE ISSUED IN LIEU OF A FINAL ACCEPTANCE NOTICE BY LANDSCAPE ARCHITECT AT THE OWNER'S DISCRETION AND UNDER THE OWNER'S TERMS.
- PER SUSSEX COUNTY ZONING ORDINANCE NO. 1984 SECTION 99-5 - FORESTED AND/OR LANDSCAPE BUFFER STRIP
 - A MINIMUM TOTAL OF 15 TREES PER EVERY 100' OF STRIP
 - 70% DECIDUOUS SPECIES
 - 30% EVERGREEN SPECIES



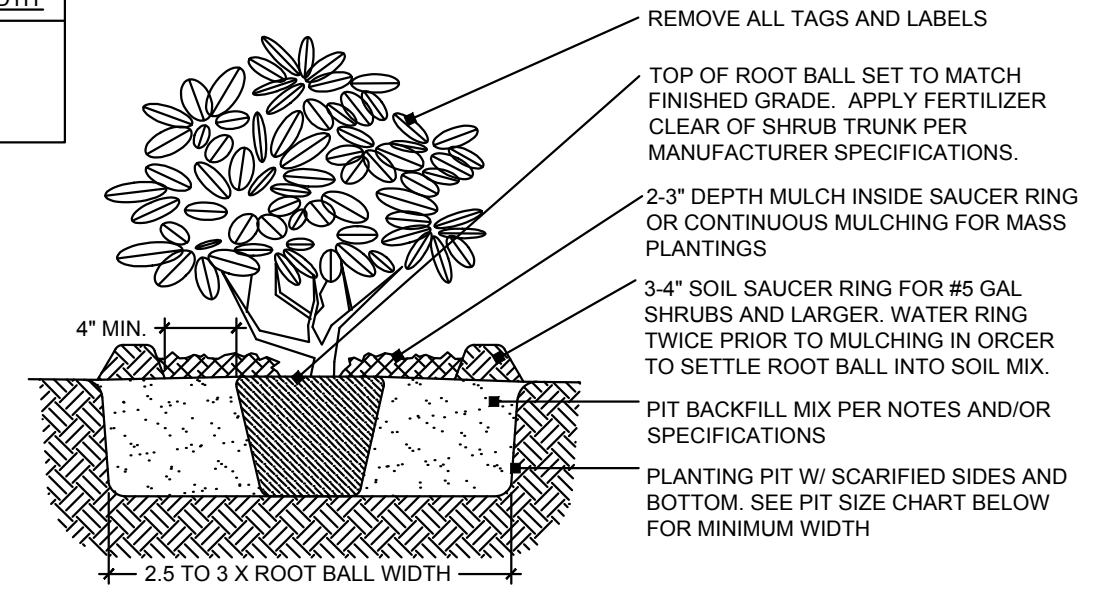
A CANOPY TREE PLANTING AND GUYING
N.T.S.



B EVERGREEN TREE PLANTING AND STAKING
N.T.S.

SHRUB SIZE	MIN. PIT WIDTH
#1 GALLON	18"
#3 GALLON	30"
#5 GALLON	42"

C SHRUB PLANTING
N.T.S.



LANDSCAPE CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE REGULATIONS AND LAWS OF THE STATE OF DELAWARE.

ERIC W. WAHL, (DE# S1-0000409) DATE
PENNONI ASSOCIATES INC.
18072 DAVIDSON DRIVE MILTON, DE 19968

PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.9030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

AMERICAN STORAGE - RT. 24
JOHN J. WILLIAMS HIGHWAY (SCR024)
MILLSBORO, DE 19966

LANDSCAPE PLAN NOTES & DETAILS

AMERICAN STORAGE OF DELAWARE, LLC
113 DICKINSON STREET, STE 100,
DEVNEY BEACH, DE 19871

NO.	DATE	REVISIONS	BY

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED BY THE OWNER IS AT THE SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDemnIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	AMSDE22001
DATE	YYYY-MM-DD
DRAWING SCALE	NTS
DRAWN BY	EWW
APPROVED BY	AMD

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878
302-854-5079 F
JAMIE WHITEHOUSE, AICP MRTPI
PLANNING & ZONING DIRECTOR

December 12, 2022

Mr. Alan Decktor, P.E., ENV SP
Pennoni Associates, Inc.
18072 Davidson Drive
Milton, DE 19968

By email to: adecktor@pennoni.com

RE: Staff Review of the Preliminary Site Plan for American Storage – Route 24 (S-22-44 & C/U 2315) for a proposal for a storage facility to consist of three (3) story mini-warehouse buildings, 838 square feet +/- of storage units, 1,200 square feet +/- of office space, stormwater improvements and RV parking (some covered) proposed on the front portion of the property and five (5), 28-unit three (3) story apartment buildings housing 140 apartment units and consisting of 170,000 total square feet of residential use, a clubhouse, in-ground pool, related parking, playground amenity and stormwater management improvements to be located on the rear portion of the property
Tax Parcels: 234-29.00-49.02, 49.03 & 50.00

Dear Mr. Decktor,

Further to your submission of November 14th, 2022, the Planning and Zoning Department has reviewed the submitted Preliminary Site Plan American Storage -Route 24 (S-22-44 & CU 2315) for a proposal for a storage facility to consist of three (3) story mini-warehouse buildings, 838 square feet +/- of storage units, 1,200 square feet +/- of office space, stormwater improvements and RV parking (some covered) proposed on the front portion of the property and five (5) 28-unit, three (3) story apartment buildings housing 140 apartment units and consisting of 170,000 total square feet of residential use, a clubhouse, in-ground pool, related parking, playground amenity and stormwater management improvements. The improvements are to be located on the west side of John J. Williams Highway (Route 24), approximately 0.25 mile south of the intersection of Autumn Road (S.C.R. 299) and Bay Farm Road (Route 299).

The front portion of the property was the subject of a Change of Zone Application, Change of Zone No. 1954 from an Agricultural Residential (AR-1) District to a Heavy Commercial (C-3) District for an approximately 8.27-acre portion of the property. The Application was approved by the Sussex County Council at their meeting of Tuesday, June 14th, 2022, and the change was adopted through Ordinance No. 2859. The rear portion of the property was the subject of a Change of Zone Application, Change of Zone No. 1955 from an Agricultural Residential (AR-1) District to a Medium Density Residential (MR) District for an approximately 17.63-acre portion of the property. The Application was approved by the Sussex County Council at their meeting of Tuesday, June 14th, 2022,



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE 19947

and the change was adopted through Ordinance No. 2860. This same 17.63-acre portion of the property was also the subject of a Conditional Use Application, Conditional Use No. 2315, to allow for 140 multifamily units within an Agricultural Residential (AR-1) District. The Application was approved by the Sussex County Council at their meeting of Tuesday, June 14th, 2022, and the change was adopted through Ordinance No. 2861.

The parcel also lies within the Coastal Area per Sussex County's 2018 Comprehensive Plan. The parcel is not located within the Henlopen Transportation Improvement District (TID). Staff have reviewed the proposed site plan for compliance with the Sussex County Zoning Code and have the following comments:

Compliance w/Conditions of Approval

1. **Please show the location of all proposed school bus stop provisions and facilities, if required by the local school district, to accord with Condition “I” of the Conditions of Approval. If not required by the local school district’s Transportation Manager, please supply documentation which supports this request.**
2. **Please show the location and nature of the vegetated or forested buffer, which shall be at least 20-ft wide installed along the perimeter of this development (the rear portion to house the development). Please also identify on any Final Site Plan submitted to the Department, “Limit of Disturbance” to prevent disturbance of this sensitive buffer area on the site to comply with Condition “K” of the Conditions of Approval.**
3. **Please clearly show all areas of non-disturbance on the Final Site Plan in order to accord with Condition “L” of the Conditions of Approval.**
4. **Please submit a Landscape Plan for the development, including all buffer areas to comply with Condition “M” of the Conditions of Approval.**
5. **Please include on the Plans, a General Note which confirms that all proposed lighting on the site shall be shielded and downward screened so that it does not shine on neighboring properties or roadways to accord with condition “O” of the Conditions of Approval.**
6. Staff note that there are not more than 140 units within the development, which accords with Condition “A” of the Conditions of Approval.
7. Staff note that the Plan appears to propose the use of Best Management Practices for stormwater management, including erosion and sediment control on the site, which complies with Condition “F” of the Conditions of approval.
8. Staff confirm that sidewalks are shown on one side of all streets within the development as is all proposed street lighting, which conforms with Condition “G” of the Conditions of Approval.

Revised Preliminary Site Plan

1. The Deed Book reference as provided in the Site Data Table appears to be outdated. Please update the Site Data Table to clarify that the most recent Deed of record for Parcel 50.00 is DB 5328, PG 125.
2. The Site Data Table and the Site Plan appear to reference the front yard setback for the rear property (which is now zoned Medium Density Residential (MR) District) as 40-ft. Please update this information to reflect that the front yard setback is 30-ft as the proposal will be located off of a private (non-state-maintained) roadway (§115-34(B)).
3. Please add text annotation which shows the required 10-ft side yard setback on the Plans (§115-34(B)).
4. Please update the Site Data Table to include the required 15-ft corner front yard setback for general completeness (§115-182(B)).
5. Please clarify in the Site Data Table how many parking spaces are to be covered RV spaces.
6. Please include the number of loading spaces required for the various uses in the Site Data Table. The proposed 150,000 square foot storage facility (warehousing) requires a total of six (6) loading spaces (4 for floor areas of 40,000-60,000 square feet, and 1 additional space for 50,000 square feet over 60,000). The apartment buildings (170,000 square feet total) require 8 loading spaces. 4 loading spaces have been provided for the apartment use. As the mini-warehouse building is likely not to have regular deliveries other than that which may be necessary for the office use, the Commission does have the discretion to modify these requirements as they see fit. Please note that, *“where, in the judgement of the Planning and Zoning Commission, the loading space requirements [as they appear in the below mentioned section of the Code] are clearly excessive and unreasonable, the Commission may modify these requirements”* (§115-167(C)). It is suggested that, if deemed unreasonable or excessive, that a separate Memo be provided to the Commission in support of this request.
7. Staff note that Keyed Note S6 does not appear to be utilized on the Plans. If not utilized, please remove this number from the Plans.
8. Staff note that Keyed Note S12 does not appear to be utilized on the Plans. If not utilized, please remove this number from the Plans.
9. Please note that all proposed business and office buildings and commercial buildings are required to provide interconnectivity with adjacent parcels (§115-220(B)(16)) (§115-219(6)). Please show the nature and location of all proposed interconnectivity. Please note that the Commission does desire to see interconnectivity via interconnections or established access easements, where

feasible, to prevent one-way-in, one-way-out access in the event an emergency should occur on the property and in conjunction with the proposed use.

10. Staff note that, as the Site lies within the Coastal Area, ***“Design consideration should be given by the applicant toward the establishment of a greenways system which utilizes schools, parks, wildlife habitat areas, river and stream corridors, wetlands, floodplains, historic sites, business parks, urban sidewalks, abandoned rail lines, roads, beach areas and vacant land. Greenways should provide benefits like safe pedestrian, bicycling and equestrian routes for recreationists and commuters; and natural wildlife corridors and biological reserves”*** (§115-194.3(E)).
11. Please add full dimensioning to the Plans to ensure that no overall actual outside wall dimension of a building exceeds 170 feet (§115-188(E)).
12. Please add to the Site Data Column the required 10-12 ft. separation distance for the proposed Apartment Buildings and show this with corresponding annotation on the Plans.
13. Please show topographic contours at approximately one-foot intervals, unless waived by the Commission as clearly unnecessary to review the project or proposal (§115-220(B)(4)).
14. Please show the location and nature of all proposed construction, excavation and grading on the Site (§115-220(B)(5)).
15. Please include on the Plans, the Net Development Area. As a general reminder, the Net Development Area shall refer to the total area of land available for development and shall not include open space, drainage land, regional roads and land used for other public facilities (§115-220(B)(6)).
16. Please include the dimensions of all proposed buildings on the Site (§115-220(B)(8)).
17. Please include on the plans the approximate location and size of all loading areas to be associated with the warehousing (office) use, if any are to be proposed (§115-220(B)(9)).
18. Please include the approximate location and size of all recreational area on the Plans (§115-220(B)(10)).
19. Please include the number of construction phases proposed on the Plans, if any. If the development is to be constructed in phases, please add a General Note which clarifies this (§115-220(B)(B)(12)).

Final Site Plan

1. **Though not required, it is recommended for clarity purposes that an individual Site Data Table be provided for each of the separate uses in terms of parking, site area breakdowns, open space, loading areas, etc.**
2. **Please ensure that any Final Site Plan submitted to the Department is signed by the Landscape Architect with respect to any proposed Landscaping on the Site. The forested/landscape buffer shall achieve the requirements of §99-5 “Forested and/or Landscape Buffer Strip” of the Sussex County Code. This includes a mix of 70% deciduous shade trees and 30% evergreen trees.**

3. **Staff note that more than for 10 or more automobiles has been proposed closer than 50 feet to a lot in a residential district or to any lot upon which there is a dwelling as a permitted use under these regulations, and where such parking areas are not entirely screened visually from such lot by an intervening building or structure. Therefore, a continuous visual screen with a minimum height of six feet is required for the Parcel containing the commercial storage facility. Such screen may consist of a compact evergreen hedge or foliage screening or a louvered wall or fence (§115-166(H)). However, if perimeter plantings are to be provided on the adjacent property, this should achieve the same result and comply with Code provisions.**
4. **Please include a Bulk Grading Plan for the Site showing the location and nature of all ground disturbances to be undertaken on the site (§115-221(B)(17)).**
5. Please include on the Plans, the Net Development Area. As a general reminder, the Net Development Area shall refer to the total area of land available for development and shall not include open space, drainage land, regional roads and land used for other public facilities (§115-221B) (3)).
6. Please include the location and character of construction of all parking and loading areas on the Plans. Please also include the size of the stormwater BMP to be included at the front of the storage facility site (§115-221(B)(5)).
7. Please include full dimensioning for the Apartment Buildings (§115-221(B)(7)).
8. Please include elevations of the dwelling types, if available for further clarity (§115-221(B)(8)).
9. Please include the location, height and material of all fences, walls, screen planting and landscaping (§115-221(B)(9)).
10. Please include the location, character, size, height, and orientation of all proposed signs. Please also include a General Note on the Plans that all signage is subject to the issuance of a separate permit from the County (§115-221(B)(11)).
11. Please include a signed and dated statement by an experienced, qualified professional that the site contains no wetlands. Building lots containing wetlands shall be identified by a notation stating that *"construction activities within these sites may require a permit from the United States Army Corps. of Engineers or the State of Delaware"* (§115-221(B)(14)).
20. Please include the nature and location of all proposed trash receptacles on the Plans.
21. Staff encourage the use of the following elements within the proposed Final Site Plan where practicable:
 - Provision of a bike rack in front of or near the building to encourage multimodal travel in this location.
 - Provision of an electric vehicle charging station. The Delaware Department of Natural Resources and Environmental Control provides an Electric Vehicle Charging Equipment Rebate Program for public areas. The rebate amounts are \$3,500 for single port and \$7,000 for dual port. Please contact DNREC's Division of Climate, Coastal and Energy for further information if interested (302)735-3480.

- Provision of landscaping islands within parking areas to eliminate the amount of impervious surface cover provided for the uses.
 - Provision of further green space for the proposed Apartment Buildings such as pocket parks.
 - Provision of further aesthetic improvements such as Complete Streets which foster a shared sense of place and community to include items such as street pole flags, pavers, walking trails, pocket parks, fountains, further outdoor seating, pergolas, pavilions, gardens, or communal gathering areas.
22. Prior to approval of the Final Site Plan, approval letters or letters of no objection from the following agencies shall be submitted to the Sussex County Planning and Zoning Office (All items in which a check mark appears have been received by the Department. Any items in bold have not been received and still require submittal to the Department):
- a. **Sussex Conservation District**
 - b. **Office of State Fire Marshal**
 - c. **Delaware Department of Transportation (DelDOT)**
 - d. **Geographic Information Office (F.K.A. Sussex County Department of Mapping and Addressing)**
 - i. **Approval for all street names**
 - ii. **Approval for the proposed Development Name**
 - e. **Sussex County Engineering Department**
 - i. **Approval of street design and sewer provisions.**
 - f. **Tidewater or Office of Drinking Water (Department of Public Health)**
 - i. **Approval for the provision of potable water.**

Once all of the above matters have been addressed, please provide **one (1) full-size copy** and **one (1) electronic copy** of a Revised Preliminary Site Plan at least **ten (10) days prior** to the Planning and Zoning Commission meeting you wish for your application to be considered at. If you wish for this proposal to be reviewed at the Planning and Zoning Commission Meeting occurring on Thursday, **January 26th, 2023**, please submit all items no later than **Tuesday, January 17th, 2023**.

Please feel free to contact me with any questions during business hours 8:30 A.M. – 4:30 P.M., Monday through Friday at 302-855-7878.

Sincerely,



Ms. Lauren DeVore, AICP
Planner III



18072 Davidson Drive
 Milton, DE 19968
 T: 302-684-8030
 F: 302-684-8054

www.pennoni.com

December 12, 2022
 AMSDE22001

Ms. Lauren DeVore
 Sussex County Planning and Zoning
 2 The Circle
 Georgetown, DE 19947

RE: Preliminary Site Plan Submission
American Storage – Rt. 24 (S-22-44 & CU2315)
Tax Map # 234-29.00-49.02, 49.03 & 50.00
Indian River Hundred
Millsboro, DE 19966

Dear Ms. DeVore,

On behalf of American Storage of Delaware, LLC., Pennoni Associates Inc. (Pennoni) is pleased to submit the revised Preliminary Site Plan for your consideration of review and approval. We have addressed the following comments per your letter received on December 12, 2022.

We have enclosed one (1) copy of the following documents for review and approval of the project.

<i>Item</i>	<i>Description</i>	<i>Last Revised</i>
Drawings Prepared by Pennoni Associates Inc.		
PP0001 & PP1001	Revised Preliminary Site Plan & Details	12/20/2022
CS1501	Preliminary Bulk Grading Plan	12/19/2022
CS2001 & CS2002	Preliminary Landscaping Plan	12/19/2022

Compliance w/ Conditions of Approval

- 1. Please show the location of all proposed school bus stop provisions and facilities, if required by the local school district, to accord with Condition “I” of the Conditions of Approval. If not required by the local school district’s Transportation Manager, please supply documentation which supports this request.*

Pennoni Response (December 12, 2022): We have noted the school bus stop using the proposed Shared Use Path as many project do along with added parking at the entrance that can be used for the bus stop. Refer to Key Note S21.

- 2. Please show the location and nature of the vegetated or forested buffer, which shall be at least 20-ft wide installed along the perimeter of this development (the rear portion to house the development). Please also identify on any Final Site Plan submitted to the Department, “Limit of Disturbance” to prevent disturbance of this sensitive buffer area on the site to comply with Condition “K” of the Conditions of Approval.*

Pennoni Response (December 12, 2022): We show a 20' wide forested buffer around the perimeter of Parcel 2, it will be made up of the existing woods that are being preserved along with some proposed landscaping, refer to the Landscaping Plan.

3. *Please clearly show all areas of non-disturbance on the Final Site Plan in order to accord with Condition "L" of the Conditions of Approval.*

Pennoni Response (December 12, 2022): Understood. We will show the LOD line on Final Site Plans, we don't show it on preliminary plans, as this will be better defined during the engineering and agency review process.

4. *Please submit a Landscape Plan for the development, including all buffer areas to comply with Condition "M" of the Conditions of Approval.*

Pennoni Response (December 12, 2022): Please refer to prepared Landscape Plan that shows the buffer and all proposed landscaping at this time.

5. *Please include on the Plans, a General Note which confirms that all proposed lighting on the site shall be shielded and downward screened so that it does not shine on neighboring properties or roadways to accord with condition "O" of the Conditions of Approval.*

Pennoni Response (December 12, 2022): The note is on the plans, refer to Note 18 in General Notes.

6. *Staff note that there are not more than 140 units within the development, which accords with Condition "A" of the Conditions of Approval.*

Pennoni Response (December 12, 2022): Understood.

7. *Staff note that the Plan appears to propose the use of Best Management Practices for stormwater management, including erosion and sediment control on the site, which complies with Condition "F" of the Conditions of approval.*

Pennoni Response (December 12, 2022): Understood.

8. *Staff confirm that sidewalks are shown on one side of all streets within the development as is all proposed street lighting, which conforms with Condition "G" of the Conditions of Approval.*

Pennoni Response (December 12, 2022): Understood.

Revised Preliminary Site Plan

1. *The Deed Book reference as provided in the Site Data Table appears to be outdated. Please update the Site Data Table to clarify that the most recent Deed of record for Parcel 50.00 is DB 5328, PG 125.*

Pennoni Response (December 12, 2022): Understood. We have corrected this information in the Site Data Table.

2. *The Site Data Table and the Site Plan appear to reference the front yard setback for the rear property (which is now zoned Medium Density Residential (MR) District) as 40-ft. Please update this information to reflect that the front yard setback is 30-ft as the proposal will be located off of a private (non-state-maintained) roadway (§115-34(B)).*

Pennoni Response (December 12, 2022): We have revised it to be 30', updated in plan view and site data table.

3. *Please add text annotation which shows the required 10-ft side yard setback on the Plans (§115-34(B)).*

Pennoni Response (December 12, 2022): We have added text labels to clearly indicate the BRL in all areas.

4. *Please update the Site Data Table to include the required 15-ft corner front yard setback for general completeness (§115-182(B)).*

Pennoni Response (December 12, 2022): We did not add, did not see the relevance.

5. *Please clarify in the Site Data Table how many parking spaces are to be covered RV spaces.*

Pennoni Response (December 12, 2022): We have revised the Site Data Table to indicate the covered and non-covered RV spaces.

6. *Please include the number of loading spaces required for the various uses in the Site Data Table. The proposed 150,000 square foot storage facility (warehousing) requires a total of six (6) loading spaces (4 for floor areas of 40,000-60,000 square feet, and 1 additional space for 50,000 square feet over 60,000). The apartment buildings (170,000 square feet total) require 8 loading spaces. 4 loading spaces have been provided for the apartment use. As the mini-warehouse building is likely not to have regular deliveries other than that which may be necessary for the office use, the Commission does have the discretion to modify these requirements as they see fit. Please note that, “where, in the judgement of the Planning and Zoning Commission, the loading space requirements [as they appear in the below mentioned section of the Code] are clearly excessive and unreasonable, the Commission may modify these requirements” (§115-167(C)). It is suggested that, if deemed unreasonable or excessive, that a separate Memo be provided to the Commission in support of this request.*

Pennoni Response (December 12, 2022): Understood. We have added additional loading spaces for the apartment complex to meet the requirement of 8 loading spaces. We have added three loading spaces for the proposed warehouse facility along with the note above stating that a total of 6 spaces is excessive.

7. *Staff note that Keyed Note S6 does not appear to be utilized on the Plans. If not utilized, please remove this number from the Plans.*

Pennoni Response (December 12, 2022): We have now used this Keynote. All key notes not being used have been removed.

8. *Staff note that Keyed Note S12 does not appear to be utilized on the Plans. If not utilized, please remove this number from the Plans.*

Pennoni Response (December 12, 2022): We have now used this Keynote. All key notes not being used have been removed.

9. *Please note that all proposed business and office buildings and commercial buildings are required to provide interconnectivity with adjacent parcels (§115-220(B)(16)) (§115-219(6)). Please show the nature and location of all proposed interconnectivity. Please note that the Commission does desire to see interconnectivity via interconnections or established access easements, where feasible, to prevent one-way-in, one-way-out access in the event an emergency should occur on the property and in conjunction with the proposed use.*

Pennoni Response (December 12, 2022): We have shown an interconnection with Parcel 115, exact location to be coordinated with adjacent project.

10. *Staff note that, as the Site lies within the Coastal Area, “Design consideration should be given by the applicant toward the establishment of a greenways system which utilizes schools, parks, wildlife habitat areas, river and stream corridors, wetlands, floodplains, historic sites, business parks, urban sidewalks, abandoned rail lines, roads, beach areas and vacant land. Greenways should provide benefits like safe pedestrian, bicycling and equestrian routes for recreationists and commuters; and natural wildlife corridors and biological reserves” (§115-194.3(E)).*

Pennoni Response (December 12, 2022): Understood. This project is not located in a interconnected manner via pathways, railways or waterways. We are preserving as much woodland and providing internal interconnectivity with walkways. We are constructing a Shared Use Path along our frontage, but the DelDOT Capital Project is stopping short of subject property and no connection to the Rt. 24 walkway system can be made at this time.

11. *Please add full dimensioning to the Plans to ensure that no overall actual outside wall dimension of a building exceeds 170 feet (§115-188(E)).*

Pennoni Response (December 12, 2022): We have added dimensioning to the plan to show the full width of the building.

12. *Please add to the Site Data Column the required 10-12 ft. separation distance for the proposed Apartment Buildings and show this with corresponding annotation on the Plans.*

Pennoni Response (December 12, 2022): We have added to the Site Data Table the required and proposed width between buildings along with the dimensioning on plan view. Refer to Site Data Table #12.

13. *Please show topographic contours at approximately one-foot intervals, unless waived by the Commission as clearly unnecessary to review the project or proposal (§115-220(B)(4)).*

Pennoni Response (December 12, 2022): We show the existing contours on the site plan, we have also included a bulk grading plan for proposed contours and drainage runoff patterns.

14. *Please show the location and nature of all proposed construction, excavation and grading on the Site (§115-220(B)(5)).*

Pennoni Response (December 12, 2022): Understood. We have included a Bulk Grading Plan.

15. *Please include on the Plans, the Net Development Area. As a general reminder, the Net Development Area shall refer to the total area of land available for development and shall not include open space, drainage land, regional roads and land used for other public facilities (§115-220(B)(6)).*

Pennoni Response (December 12, 2022): Understood. This has been added into the site data table for both parcels. Refer to Site Table Note #26.

16. *Please include the dimensions of all proposed buildings on the Site (§115-220(B)(8)).*

Pennoni Response (December 12, 2022): We have added dimensions to the buildings.

17. *Please include on the plans the approximate location and size of all loading areas to be associated with the warehousing (office) use, if any are to be proposed (§115-220(B)(9)).*

Pennoni Response (December 12, 2022): Understood. We have added three loading spaces along the front of the proposed warehouse building and dimensioned the sizes along with the eight loading spaces for the apartment complex.

18. *Please include the approximate location and size of all recreational area on the Plans (§115-220(B)(10)).*

Pennoni Response (December 12, 2022): We show a clubhouse, outdoor pool and playground area for the apartment complex, a separate detailed amenity plan will be submitted after final plan approval.

19. *Please include the number of construction phases proposed on the Plans, if any. If the development is to be constructed in phases, please add a General Note which clarifies this (§115-220(B)(B)(12)).*

Pennoni Response (December 12, 2022): Refer to General Note #14. The project will be developed in 2 phases.

Final Site Plan

1. *Though not required, it is recommended for clarity purposes that an individual Site Data Table be provided for each of the separate uses in terms of parking, site area breakdowns, open space, loading areas, etc.*

Pennoni Response (December 12, 2022): We have included a breakdown in the site data table for proposed Parcel 1 and 2 for clarity of many code requirements.

2. *Please ensure that any Final Site Plan submitted to the Department is signed by the Landscape Architect with respect to any proposed Landscaping on the Site. The forested/landscape buffer shall achieve the requirements of §99-5 “Forested and/or Landscape Buffer Strip” of the Sussex County Code. This includes a mix of 70% deciduous shade trees and 30% evergreen trees.*

Pennoni Response (December 12, 2022): Understood, refer to submitted Landscape Plan.

3. *Staff note that more than for 10 or more automobiles has been proposed closer than 50 feet to a lot in a residential district or to any lot upon which there is a dwelling as a permitted use under these regulations, and where such parking areas are not entirely screened visually from such lot by an intervening building or structure. Therefore, a continuous visual screen with a minimum height of six feet is required for the Parcel containing the commercial storage facility. Such screen may consist of a compact evergreen hedge or foliage screening or a louvered wall or fence (§115-166(H)). However, if perimeter plantings are to be provided on the adjacent property, this should achieve the same result and comply with Code provisions.*

Pennoni Response (December 12, 2022): The parking/storage area for the storage facility will be wrapped in a security fence, 6' high with screening. Refer to Key Note S6.

4. *Please include a Bulk Grading Plan for the Site showing the location and nature of all ground disturbances to be undertaken on the site (§115-221(B)(17)).*

Pennoni Response (December 12, 2022): Understood. We have included a Bulk Grading Plan.

5. *Please include on the Plans, the Net Development Area. As a general reminder, the Net Development Area shall refer to the total area of land available for development and shall not include open space, drainage land, regional roads and land used for other public facilities (§115-221B) (3)).*

Pennoni Response (December 12, 2022): Understood. This has been added into the site data table for both parcels. Refer to Site Table Note #26.

6. *Please include the location and character of construction of all parking and loading areas on the Plans. Please also include the size of the stormwater BMP to be included at the front of the storage facility site (§115-221(B)(5)).*

Pennoni Response (December 12, 2022): Understood. We have added three loading spaces along the front of the proposed warehouse building and dimensioned the sizes along with the eight loading spaces for the apartment complex. We also have labeled each BMP including the one at the front of Parcel 1.

7. *Please include full dimensioning for the Apartment Buildings (§115-221(B)(7)).*

Pennoni Response (December 12, 2022): We have added dimensions to the buildings.

8. *Please include elevations of the dwelling types, if available for further clarity (§115-221(B)(8)).*

Pennoni Response (December 12, 2022): If available, we will provide at time of Final Plans.

9. *Please include the location, height and material of all fences, walls, screen planting and landscaping (§115-221(B)(9)).*

Pennoni Response (December 12, 2022): All fencing, and landscaping identified on submitted plans.

10. *Please include the location, character, size, height, and orientation of all proposed signs. Please also include a General Note on the Plans that all signage is subject to the issuance of a separate permit from the County (§115-221(B)(11)).*

Pennoni Response (December 12, 2022): A standard commercial sign will be constructed, the specific detailed will be part of the Sign Application, Refer to General Note #29.

11. *Please include a signed and dated statement by an experienced, qualified professional that the site contains no wetlands. Building lots containing wetlands shall be identified by a notation stating that "construction activities within these sites may require a permit from the United States Army Corps. of Engineers or the State of Delaware" (§115-221(B)(14)).*

Pennoni Response (December 12, 2022): We have performed a wetland investigation of the property and no wetlands were identified on the property.

20. *Please include the nature and location of all proposed trash receptacles on the Plans.*

Pennoni Response (December 12, 2022): They are noted on the plans, refer to Key Note S9.

21. *Staff encourage the use of the following elements within the proposed Final Site Plan where practicable:*

- *Provision of a bike rack in front of or near the building to encourage multimodal travel in this location.*

Pennoni Response (December 12, 2022): We have added a bike rack at the clubhouse for the apartment complex, refer to Key Note S19.

- *Provision of an electric vehicle charging station. The Delaware Department of Natural Resources and Environmental Control provides an Electric Vehicle Charging Equipment Rebate Program for public areas. The rebate amounts are \$3,500 for single port and \$7,000 for dual port. Please contact DNREC's Division of Climate, Coastal and Energy for further information if interested (302)735-3480.*

Pennoni Response (December 12, 2022): We have added 2 Vehicle Charging Stations near the clubhouse for the apartment complex, final location will be determined during construction.

-

- *Provision of landscaping islands within parking areas to eliminate the amount of impervious surface cover provided for the uses.*

Pennoni Response (December 12, 2022): We have added a few parking lot islands to break up the pavement area and reduce impervious cover.

- *Provision of further green space for the proposed Apartment Buildings such as pocket parks.*

Pennoni Response (December 12, 2022): We are maintaining the existing wooded area and have provided a clubhouse, pool area and playground as recreational choices for the community.

- *Provision of further aesthetic improvements such as Complete Streets which foster a shared sense of place and community to include items such as street pole flags, pavers, walking trails, pocket parks, fountains, further outdoor seating, pergolas, pavilions, gardens, or communal gathering areas.*

Pennoni Response (December 12, 2022): As we work through the final design and obtain engineering approval, we will add and include what we can, we have added a walkway from the entrance to the apartment complex; it is also noted that the wet ponds will have fountains for operational purposes and aesthetics. We are maintaining the existing wooded areas and they can act a large wooded park for the community to enjoy and walk through.

22. *Prior to approval of the Final Site Plan, approval letters or letters of no objection from the following agencies shall be submitted to the Sussex County Planning and Zoning Office (All items in which a check mark appears have been received by the Department. Any items in bold have not been received and still require submittal to the Department):*

- a. *Sussex Conservation District*
- b. *Office of State Fire Marshal*
- c. *Delaware Department of Transportation (DelDOT)*
- d. *Geographic Information Office (F.K.A. Sussex County Department of Mapping and Addressing)*
 - i. *Approval for all street names*
 - ii. *Approval for the proposed Development Name*
- e. *Sussex County Engineering Department*
 - i. *Approval of street design and sewer provisions.*
- f. *Tidewater or Office of Drinking Water (Department of Public Health)*
 - i. *Approval for the provision of potable water.*

Pennoni Response (December 12, 2022): Understood.

If you have any comments or need additional information, please call us at (302) 684-8030.

Sincerely,

PENNONI ASSOCIATES INC.



Alan Decktor, PE, ENV SP
Senior Engineer

CC.

U:\Accounts\AMSDE\AMSDE22001 - American Storage\DELIVERABLES\PZ\2022-12-12 2nd Submission\2022-12-12 Response Letter.docx

SITE DATA TABLE:

1. TAX MAP NUMBERS :	234-29.00-49.02, 49.03, 50.00	
2. DEED REFERENCE:	PARCELS 234-29.00-49.02 & 49.03 DEED: BK - 5328, PG: 310 PARCEL 234-29.00-50.00 DEED: BK - 5328, PG: 125	
3. OWNER/DEVELOPER:	AMERICAN STORAGE OF DELAWARE, LLC 3113 DICKINSON ST, STE 100 DEWEY BEACH, DE 19971	
4. SITE ADDRESS:	JOHN J. WILLIAMS HIGHWAY INDIAN RIVER HUNDRED, MILLSBORO, SUSSEX COUNTY	
5. TOTAL NUMBER OF LOTS:	3 EXISTING 2 PROPOSED	
6. EXISTING TOTAL ACREAGE:	49.02 1,041,230 ± SF 23.90 ± ACRES 49.03 21,313 ± SF 0.49 ± ACRES 50.00 65,804 ± SF 1.51 ± ACRES TOTAL 1,128,347 ± SF 25.90 ± ACRES	
7. PROPOSED TOTAL ACREAGE:	PARCEL 1 8.27 ± ACRES PARCEL 2 17.63 ± ACRES TOTAL 25.90 ± ACRES	
8. CURRENT ZONING:	C-3, GENERAL COMMERCIAL (PARCEL 1 = 8.27 AC.) (ORDINANCE NO. 2859, JUNE 14, 2022) MR, MEDIUM RESIDENTIAL (PARCEL 2 = 17.63 AC.) (ORDINANCE NO. 2860, JUNE 14, 2022)	
9. PRESENT USE:	AGRICULTURAL/ WOODED	
10. PROPOSED USE:	PARCEL 1 - STORAGE FACILITY PARCEL 2 - MULTIFAMILY DWELLINGS (140 UNITS) (CONDITIONAL USE NO. 2315 / ORDINANCE NO. 2861, JUNE 14, 2022)	
11. BUILDING RESTRICTION LINES:	C-3(115-34) MR(115-34) FRONT - 30 FEET - 30 FEET SIDE - 20 FEET - 10 FEET REAR - 30 FEET - 10 FEET	
12. APARTMENT BUILDING SEPARATION:	REQUIRED = 10' - 12' PROPOSED = 20'	
13. PARCEL 2 - DWELLING UNIT CALCULATIONS:	17.63 AC. GROSS AREA: MR/CU ZONING MINIMUM AREA: 3,630 SF PROPOSED DENSITY: MR/CU ZONING MAXIMUM AREA: 12 UNITS/ACRE PERMITTED UNITS: 140 UNITS (CU NO. 2315 / ORDINANCE NO. 2861, JUNE 14, 2022) PROPOSED UNITS: 140 UNITS PROPOSED DENSITY: 7.94+ UNITS / ACRE	
14. 2019 FUTURE LAND USE AREA:	COASTAL AREA	
15. WATER PROVIDER:	PUBLIC - TIDEWATER WATER COMPANY	
16. SEWER PROVIDER:	PUBLIC - SUSSEX COUNTY (TIER 2 AND TIER 3 SEWER DISTRICTS)	
17. SECTION 80 - SOURCE WATER PROTECTION:	A. SUBJECT PROPERTY IS WITHIN AN AREA OF "FAIR AND POOR" GROUNDWATER RECHARGE POTENTIAL. B. SUBJECT PROPERTY IS NOT LOCATED IN WELLHEAD PROTECTION AREA.	
18. MAXIMUM BUILDING HEIGHT:	42 FEET MAX. (C3 - 115-63.22, MR - 115-34C)	
19. PROXIMITY TO (TID):	NOT INCLUDED	
20. POSTED SPEED LIMIT:	50 MPH (JOHN J WILLIAMS HIGHWAY)	
21. PARKING:	(ARTICLE XXII: OFF-STREET PARKING, CODE SECTION 115-162) REQUIRED PARKING: PARCEL 1 - WAREHOUSE: 1 FOR EVERY 2 EMPLOYEES ON THE MAJOR SHIFT ESTABLISHMENT 1 PER 2 EMPLOYEES X 4 EMPLOYEES = 2 SPACES REQUIRED PROPOSED SPACES: 45 SPACES ADA SPACES: 2 SPACES COVERED RV SPACES: 64 SPACES UNCOVERED RV SPACES: 13 SPACES VEHICLE STORAGE SPACES: 80 SPACES TOTAL: 204 SPACES	
PARCEL 2 - MULTIFAMILY DWELLINGS:	2 BEDROOM MULTIFAMILY: 2 PARKING SPACES PER DWELLING UNIT 140 UNITS X 2.0 = 280 SPACES REQUIRED PROPOSED SPACES: 300 SPACES ADA SPACES: 12 SPACES TOTAL: 312 SPACES	
22. LOADING SPACES:	PARCEL 1 - TOTAL GTA = 6 SPACES REQUIRED, 3 SPACES PROVIDED [WHERE IN THE JUDGMENT OF THE PLANNING AND ZONING COMMISSION, THE LOADING SPACE REQUIREMENTS (AS THEY APPEAR IN THE BELOW MENTIONED SECTION OF THE CODE) ARE CLEARLY EXCESSIVE AND UNREASONABLE, THE COMMISSION MAY MODIFY THESE REQUIREMENTS.] PARCEL 2 - TOTAL GTA = 8 SPACES REQUIRED, 8 SPACES PROVIDED	
23. SITE AREA BREAKDOWN:	PARCEL 1: BUILDING AREA EX = 0 SF (0 AC.) PR = 51,979 ± SF (1.19 ± AC.) OPEN SPACE EX = 359,870 ± SF (8.26 ± AC.) PR = 126,723 ± SF (2.91 ± AC.) PAVEMENT/ CONCRETE AREA EX = 0 SF (0 AC.) PR = 181,168 ± SF (4.18 ± AC.) TOTAL EX = 359,870 ± SF (8.26 ± AC.) PR = 359,870 ± SF (8.26 ± AC.) PARCEL 2: BUILDING AREA EX = 0 ± SF (0 ± AC.) PR = 67,180 ± SF (1.54 ± AC.) OPEN SPACE EX = 768,535 ± SF (17.64 ± AC.) PR = 573,513 ± SF (13.17 ± AC.) PAVEMENT/ CONCRETE AREA EX = 0 ± SF (0 ± AC.) PR = 127,842 ± SF (2.93 ± AC.) TOTAL EX = 768,535 ± SF (17.64 ± AC.) PR = 768,535 ± SF (17.64 ± AC.)	
24. WOODLANDS AREA BREAKDOWN:	PARCEL 1: NO EXISTING OR PROPOSED WOODLANDS PARCEL 2: EXISTING WOODLANDS 625,699 ± SF (14.36 ± AC.) REMOVED WOODLANDS 391,800 ± SF (8.99 ± AC.) REMAINING WOODLANDS 233,899 ± SF (5.37 ± AC.)	
25. TOTAL IMPERVIOUS AREA:	PARCEL 1: 233,147 ± SF (5.35 ± AC.) (20.86% OF TOTAL AREA) PARCEL 2: 195,022 ± SF (4.48 ± AC.) (17.30% OF TOTAL AREA)	
26. NET DEVELOPMENT AREA:	PARCEL 1: 322,787 ± SF (7.41 ± AC.) PARCEL 2: 599,914 ± SF (13.77 ± AC.)	
27. WETLAND AREA:	0.00 ± AC.	
28. 2020 STATE INVESTMENT AREA:	LEVEL 2 & 3	
29. SCHOOL DISTRICT:	INDIAN RIVER	
30. FIRE DISTRICT:	80 (INDIAN RIVER)	
31. LONGITUDE AND LATITUDE:	STATE PLANE COORDINATE: LONGITUDE: W-75° 17' 8.53" LATITUDE: N-38° 43' 24.98"	
32. FLOOD ZONE:	THIS PROPERTY IS LOCATED ON THE FEMA INSURANCE RATE MAP NUMBER 1000500477K, MAP REVISED MARCH 16, 2015. PROPERTY LIES WITHIN ZONE X, WHICH IS AN AREA LOCATED OUTSIDE THE 500 YEAR FLOOD PLAN.	
33. WATERSHED:	LOVE CREEK- REHOBOTH BAY INDIAN RIVER BAY- INDIAN RIVER INLET	
34. DATUM:	HORIZONTAL = NAD83, VERTICAL = NAVD88	
35. LOCAL GOVERNMENT RESPONSIBLE FOR LAND USE APPROVAL:	SUSSEX COUNTY	

AMERICAN STORAGE - RT. 24 PRELIMINARY SITE PLAN

(CU-2315)

TM# 234-29.00-49.02, 49.03, AND 50.00

INDIAN RIVER HUNDRED,
SUSSEX COUNTY, DE

PREPARED FOR:

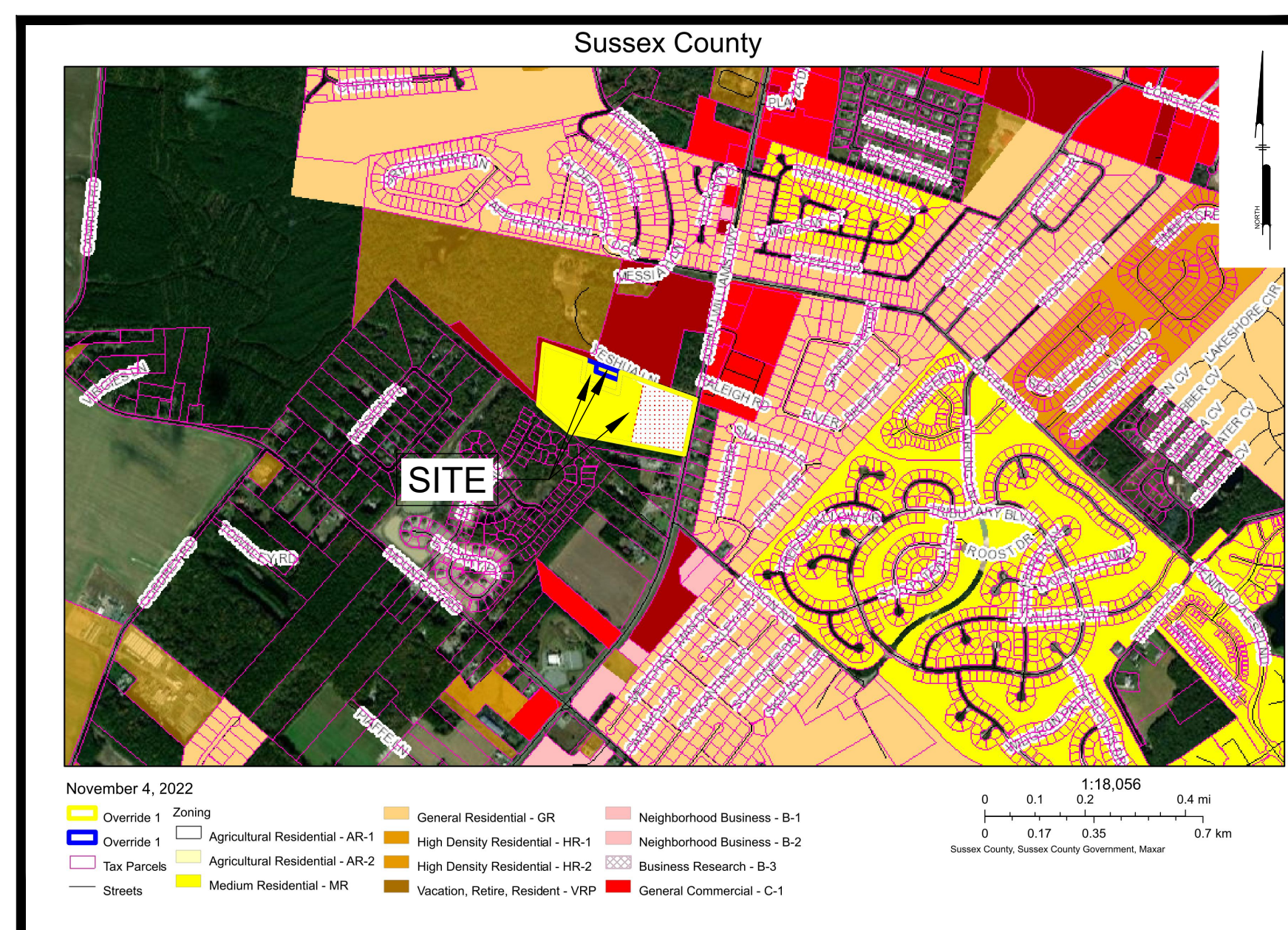
AMERICAN STORAGE OF DELAWARE, LLC

113 DICKINSON STREET, STE 100,

DEWEY BEACH, DE 19971

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		BUILDING
		FULL DEPTH PAVEMENT
		BUILDING RESTRICTION LINE
		FORESTED BUFFER
		EDGE OF PAVEMENT
		EDGE OF GRAVEL
		UTILITY EASEMENT
		PERMANENT EASEMENT
		FENCE
		POWER, UTILITY POLE
		PROPERTY, LINE
		LEGAL RIGHT-OF-WAY
		PROPERTY, CORNER FOUND
		PROPERTY, ADJOINING LINED
		SITE, MAIL BOX
		SITE, TRAFFIC SIGN
		SPOT ELEVATION
		STORMPIPE, INLET, MANHOLE, & FLARED END
		MINOR CONTOUR
		MAJOR CONTOUR
		MARKING, HANDICAP PARKING
		DETECTABLE WARNING STRIP
		CONCRETE
		CURB
		PROPOSED STREET LIGHT



ZONING MAP

SCALE: 1" = 1,500'

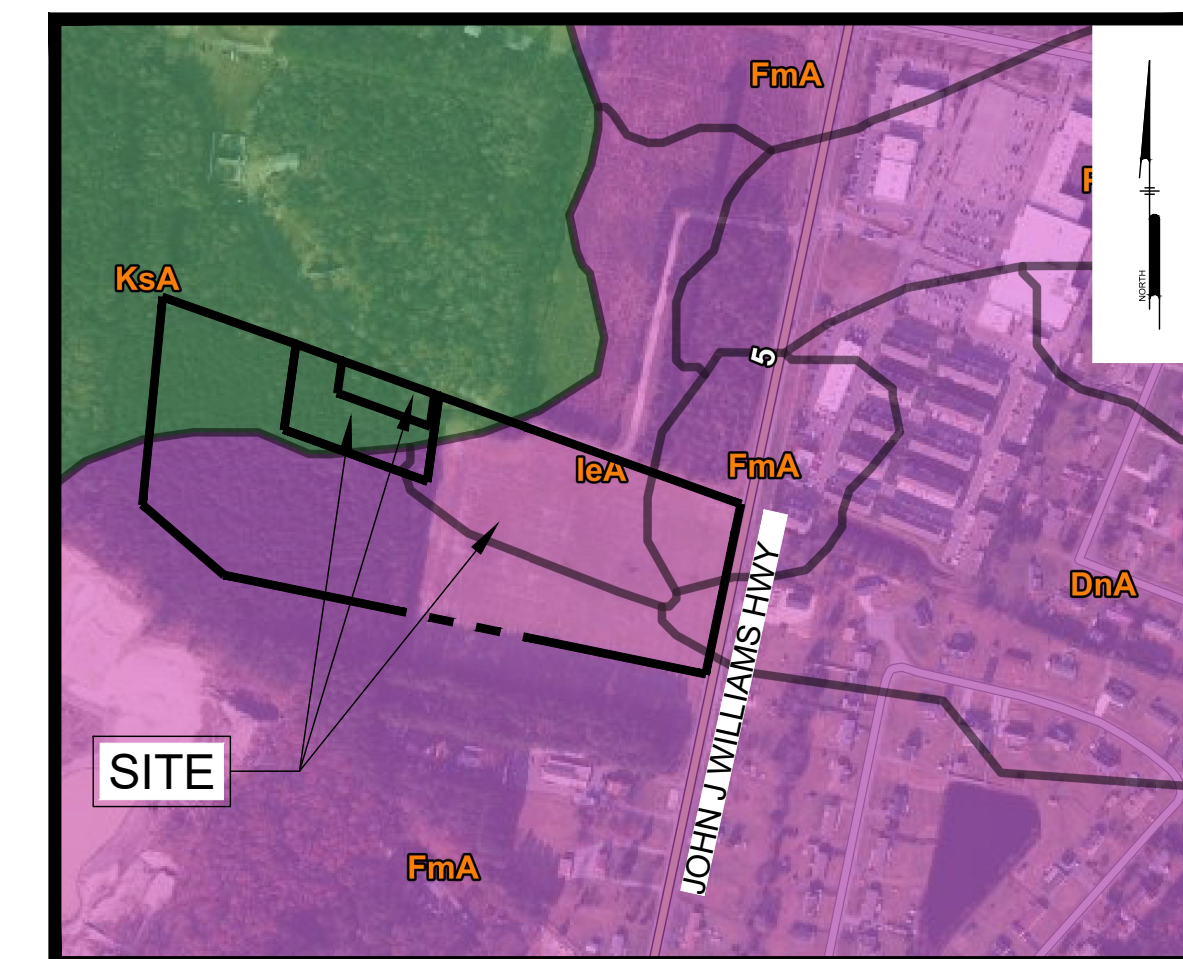
SOILS

TYPE	DESCRIPTION	HYDROLOGIC SOIL
LaA	INGLESIDE LOAMY SAND, 0 TO 2 PERCENT SLOPES	A
FmA	FORT MOTT LOAMY SAND, 0 TO 2 PERCENT SLOPES	A
KsA	KLEI LOAMY SAND, 0 TO 2 PERCENT SLOPES	A/D
DnA	DOWNER LOAMY SAND, 0 TO 2 PERCENT SLOPES	A

BASED UPON FLOOD INSURANCE RATE MAP (FIRM) NUMBER 1000500325L, MAP REVISED JUNE 20, 2018, THE PROPERTY IS LOCATED IN AN AREA DESIGNATED AS ZONE "X", (UNSHADED) WHICH IS AN AREA TO BE DETERMINED OUTSIDE THE 500 YEAR FLOODPLAIN.

Sheet List Table

Sheet Number	Sheet Description	Sheet Title
1	PP-0001	PRELIMINARY COVER SHEET
2	PP-1001	PRELIMINARY SITE PLAN
3	PP-1002	DETAILS & NOTES



SOILS MAP

SCALE: 1" = 500'



LOCATION MAP

SCALE: 1" = 500'

CALL BEFORE YOU DIG
Call Miss Utility of Delmarva
800-282-8555
Ticket Number(s):

SUSSEX CONSERVATION DISTRICT

NAME	DATE
APPROVED BY	
CHAIRMAN OR SECRETARY OF PLANNING & ZONING COMMISSION	DATE
PRESIDENT OF SUSSEX COUNCIL	DATE
REFERENCE #:	CU# 2315

WETLAND STATEMENT

I, MIKE MARRA, PWS, DO HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THE INFORMATION CONTAINED IN THE PLANS SPECIFICATIONS AND REPORTS HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENVIRONMENTAL PRACTICES, IS TRUE AND CORRECT, AND IS IN CONFORMANCE WITH THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM

THERE WERE NO WETLANDS IDENTIFIED ON SUBJECT PROPERTY.

MIKE MARRA, PWS No. 3557 Date

ENGINEER CERTIFICATION:

IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE COMPLIES WITH APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PRACTICES REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SIGNATURE: ALAN DECKTOR, PE (DE PE#17771) DATE: _____
PENNONI ASSOCIATES, INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968
adecktor@pennoni.com
OFFICE (302) 684-8030 - FAX (302) 684-8054

OWNER CERTIFICATION:

IT IS HEREBY CERTIFIED THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE: AMERICAN STORAGE OF DELAWARE, LLC DATE: _____
c/o NATE GRAULICH
113 DICKINSON ST, STE 100
DEWEY BEACH, DE 19971
nate.graulich@gmail.com
302-462-5871

OWNER CERTIFICATION:

IT IS HEREBY CERTIFIED THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE: AMERICAN STORAGE OF DELAWARE, LLC DATE: _____
c/o ALEXANDER J. PIRES, JR.
113 DICKINSON ST, STE 100
DEWEY BEACH, DE 19971
farmerslawyer@aol.com
202-905-6706

Pennoni
PENNONI ASSOCIATES, INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

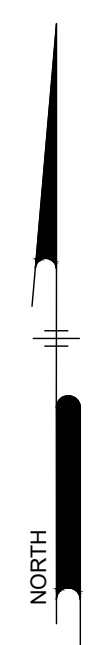
AMERICAN STORAGE - RT. 24
TM# 234-29.00-49.02, 49.03, & 50.00
JOHN J WILLIAMS HIGHWAY (SCR024)
MILLSBORO, DE 19966
PRELIMINARY COVER SHEET
AMERICAN STORAGE OF DELAWARE, LLC
113 DICKINSON STREET, STE 100,
DEWEY BEACH, DE 19971

NO.	DATE	REVISIONS	BY
1	2024-12-21	REVISED PER SUSSEX COUNTY PAZ COMMENTS	RWS

PROJECT: AMSDE22001
DATE: 2022-11-09
DRAWING SCALE: 1" = 100'
DRAWN BY: RWS
APPROVED BY: AMD
PP-0001
SHEET 1 OF 3

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PLOTTED: 1/27/2023 3:47 PM BY: Pjenn@penncor.com PROJECT STATUS:



KEYED NOTES

- S1 PROPOSED 5' WIDE CONCRETE SIDEWALK (TYP.)
- S2 DELDOT PCC CURB TYPE 1-6, TYP. REFER TO DELDOT STANDARD DETAIL, 12
- S3 STOP SIGN (R-1-1) 36"x36" WITH STREET BLADE, SEE DETAIL 1 & 2/ CS6001
- S4 PROPOSED LIGHT DUTY PAVEMENT (TYP.), SEE DETAIL 6/ CS6001
- S5 PROPOSED ADA SPACE WITH SIGN MOUNTED ON POST (TYP.), SEE DETAIL 3 & 4/ CS6001
- S6 6' HIGH FENCE WITH SCREENING, 1.077 ± LF
- S7 PROPOSED WHITE PARKING STRIPING (EPOXY)
- S8 DWS- ADA ACCESS, REFER TO DELDOT ADA RAMP DETAIL, TYPE 2 (TYP.)
- S9 PROPOSED CONCRETE DUMPSTER PAD TO BE ENCLOSED BY 8' HIGH VINYL PRIVACY FENCE (OWNER TO DECIDE FENCING COLOR AND STYLE, TYP.), SEE DETAIL 8/ CS6001
- S10 PROPOSED HEAVY DUTY CONCRETE, (TYP.), SEE DETAIL 14/ CS6001
- S11 PROPOSED 10' WIDE SHARED USE PATH
- S12 4" YELLOW SOLID DEMARCATION LINES (TYP) PER STATE FIRE MARSHAL REGULATIONS (PAINT FACE OF CURB WHERE APPLICABLE)
- S13 DELDOT INTEGRAL PCC CURB TYPE 3-8, TYP. REFER TO DELDOT STANDARD DETAIL, 13
- S14 PROPOSED STOP BAR (THERMO) & SIGN
- S15 PROPOSED 10' WIDE CROSS WALK
- S16 PROPOSED DEVELOPMENT SIGN
- S17 PROPOSED STREET LIGHT (TYP)
- S18 PROPOSED CANOPY ABOVE, 12' MIN CLEARANCE
- S19 PROPOSED BIKE RACK
- S20 PROPOSED ELECTRIC CAR CHARGING STATION (2 SPACES)
- S21 SCHOOL BUS STOP TO UTILIZE SHARED USE PATH
- S22 PROPOSED WALKING PATH

BUILDING USE AND CONSTRUCTION					
BUILDING	USE	CONSTRUCTION TYPE	SF FOOTPRINT	SF GFA	SPRINKLER
A	PROPOSED MINI-WAREHOUSE (SELF STORAGE)	3-STORY TYPE V (000) (NFPA/ FIRE MARSHALL)	50,432	150,000	YES
B	2 BEDROOM MUTIFAMILY (28 UNITS)	3-STORY TYPE V (000) (NFPA/ FIRE MARSHALL)	13,436	34,000	YES
C	PROPOSED 2 BEDROOM MUTIFAMILY (28 UNITS)	3-STORY TYPE V (000) (NFPA/ FIRE MARSHALL)	13,436	34,000	YES
D	2 BEDROOM MUTIFAMILY (28 UNITS)	3-STORY TYPE V (000) (NFPA/ FIRE MARSHALL)	13,436	34,000	YES
E	PROPOSED 2 BEDROOM MUTIFAMILY (28 UNITS)	3-STORY TYPE V (000) (NFPA/ FIRE MARSHALL)	13,436	34,000	YES
F	PROPOSED 2 BEDROOM MUTIFAMILY (28 UNITS)	3-STORY TYPE V (000) (NFPA/ FIRE MARSHALL)	13,436	34,000	YES
G	PROPOSED CLUB HOUSE	1-STORY TYPE V (000) (NFPA/ FIRE MARSHALL)	3,109	3,109	NO

SITE INFORMATION:

SITE ADDRESS:
 JOHN J. WILLIAMS HIGHWAY
 MILLSBORO, DE
 INDIAN RIVER HUNDRED, SUSSEX COUNTY
 OWNER/DEVELOPER:
 AMERICAN STORAGE OF DELAWARE, LLC
 c/o NATE GRAULICH & c/o ALEXANDER J. PIRES JR.
 3113 DICKINSON ST. STE 100
 DEWEY BEACH, DE 19971
 ENGINEER:
 PENNONI ASSOCIATES, INC.
 18072 DAVIDSON DRIVE
 MILTON, DE 19968

AMERICAN STORAGE - RT. 24

TM: 234-29-00-49.02, 49.03, & 50.00
 JOHN J. WILLIAMS HIGHWAY (SCR024)
 MILLSBORO, DE 19968

PRELIMINARY SITE PLAN

AMERICAN STORAGE OF DELAWARE, LLC
 113 DICKINSON STREET, STE 100,
 DEWEY BEACH, DE 19971

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR
 AND OWNER MUST BE NOTIFIED OF ANY
 DISCREPANCIES BEFORE PROCEEDING WITH WORK

PENNONI ASSOCIATES, INC.
 18072 Davidson Drive
 Milton, DE 19968
 T 302.664.9030 F 302.664.8054

NO.	DATE	REVISIONS	BY
1	2022-12-21	REVISED PER SUSSEX COUNTY P&Z COMMENTS	RWS

PROJECT	AMSDE22001
DATE	2022-11-09
DRAWING SCALE	1" = 80'
DRAWN BY	RWS
APPROVED BY	AMD

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OTHER SMALL INDUSTRY AND HOLD-HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY OWNER. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
- THIS PLAN DOES NOT VERIFY THE EXISTENCE, OR NONEXISTENCE, OF EASEMENT OR RIGHT OF WAYS CROSSING THE SUBJECT PROPERTY.
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN THE PLAN.
- FINAL SET OF APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE MAINTAINED ON THE JOB SITE AT ALL TIMES. FAILURE TO COMPLY WITH THIS PROVISION SHALL BE CONSIDERED CAUSE TO STOP THE WORK.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE REJECTED.
- ALL MATERIALS SHALL BE NEW AND SHALL BE ASBESTOS AND VERMICULITE FREE. ALL MATERIALS SHALL BE STORED SO AS TO ASSURE THE PRESERVATION OF THEIR QUALITY AND FITNESS FOR THE INTENDED WORK.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO BE PERFORMED. IT MUST BE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO FIELD LOCATE AND RECORD ANY DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REMOVED OR REPLACED. ENGINEER TO VERIFY LOCATION AND EXTENT OF DAMAGE.
- THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF CONTRACT DRAWINGS ON WHICH HE SHALL NOTE, IN RED, THE ALIGNMENTS AND INVERTS OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK. ALL DISCREPANCIES BETWEEN THE PLAN LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE AS-BUILT DRAWINGS TO BE MAINTAINED BY THE CONTRACTOR IN THE FIELD.
- THE CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH OR ACCESS PITS WHICH CAN BE BACKFILLED AND STABILIZED AT THE END OF EACH WORKING DAY. STEEL PLATES SHALL BE USED ON ANY TRENCH OR ACCESS PITS WHICH MUST REMAIN OPEN OVERNIGHT. THIS REQUIREMENT DOES NOT APPLY TO AREAS COMPLETELY CLOSED AND SECURE FROM VEHICULAR OR PEDESTRIAN TRAFFIC.
- DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REPLACED OR REMOVED DURING CONSTRUCTION SHALL BE IMMEDIATELY REPORTED TO ENGINEER. CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED WORK WITHOUT CHARGE TO THE OWNER.
- BASED UPON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 10005C0477K, EFFECTIVE DATE MARCH 16, 2015, THE ENTIRE PROPERTY IS LOCATED IN AN AREA DESIGNATED AS FLOOD ZONE "X" (UNSHADED), WHICH IS AN AREA THAT HAS BEEN DETERMINED TO BE OUTSIDE THE 50-YEAR FLOODPLAIN.
- SUBJECT PROPERTY IS CURRENTLY C-3, GENERAL COMMERCIAL & MR. MEDIUM RESIDENTIAL.
- THE SUBJECT SITE WILL BE CONSTRUCTED IN TWO PHASES.
- TOTAL AREA FOR SUBJECT SITE IS 25.90 ± ACRES.
- THE BOUNDARY INFORMATION & TOPOGRAPHY SHOWN ON THIS PLAN WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD AND IS ALSO THE RESULT OF AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES, INC. DATED OCTOBER 31, 2022.
- ALL PROPOSED LIGHTING WILL BE SUPPLIED BY BUILDING WALL PACKS AND PARKING LOT LIGHTS. REFER TO SITE LIGHTING PLAN.
- ALL SECURITY LIGHTING (IF NECESSARY) SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
- STATE AND FEDERAL WETLANDS DO NOT EXIST ON THE SITE.
- STORMWATER IS CONVEYED THROUGH PIPE SYSTEM TO PROPOSED ONSITE STORMWATER FACILITIES.
- ALL FIRE LINES, FIRE HYDRANTS, EXITS, HANDHOPIE, FIRE DEPARTMENT CONNECTIONS AND SPRINKLER CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS. BUILDING CONSTRUCTION TO BE WOOD, STEEL, AND CONCRETE, AND WILL NOT HAVE SPRINKLERS.
- FIRE ALARM REQUIRED - THE FIRE ALARM SIGNALING SYSTEM SHALL BE AUTOMATIC, SUPERVISED OFF-SITE, AND SHALL CONSIST OF FULL COVERAGE BY SMOKE DETECTION AND ALARM NOTIFICATION. WHERE SMOKE DETECTION DEVICES WILL NOT FUNCTION BY REASON OF DEVICE LIMITATION, HEAT DETECTION SHALL BE PROVIDED IN THOSE SPECIFIC LOCATIONS FIRE ALARM SIGNALING SYSTEM PLANS AND SPECIFICATIONS SHALL BE SUBMITTED FOR REVIEW.
- LOCK BOX REQUIRED - CONTACT LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF BOX ON THE BUILDING.
- MISS UTILITY SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO EXCAVATION.
- ALL DISTURBED AREAS WITHIN THE LIMIT OF DISTURBANCE, BUT NOT IN PAVEMENT, SHALL BE TOP-SOILED (6" MINIMUM), SEEDED AND MULCHED. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- A 72 HOUR (MINIMUM) NOTICE SHALL BE GIVEN TO THE DISTRICT PERMIT SUPERVISOR PRIOR TO STARTING ROADWAY CONSTRUCTION.
- THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE OR MODIFY ANY EROSION AND SEDIMENT CONTROL MEASURES AS THEY DEEM NECESSARY.
- THE ENTRANCES / EXITS ARE PROPOSED ONLY, AND ARE SUBJECT TO REVIEW AND APPROVAL BY THE DELAWARE DEPARTMENT OF TRANSPORTATION BEFORE A CONSTRUCTION PERMIT IS ISSUED.
- THE PROPOSED SIGN IS NOT APPROVED AS PART OF THIS SITE PLAN. A SEPARATE SUSSEX COUNTY PERMIT IS REQUIRED.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING, TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION:
THE OWNER, SUSSEX CONSERVATION DISTRICT, & DELDOT
- THE CONTRACTOR SHALL MAINTAIN PUBLIC ROADS AND STREETS IN A BROOM SWEEP CONDITION AT ALL TIMES.
- ROUTINE PERIODIC INSPECTIONS DURING CONSTRUCTION WILL BE PROVIDED BY THE OWNER. THESE INSPECTIONS DO NOT RELIEVE THE CONTRACTOR FROM HIS OBLIGATION AND RESPONSIBILITY FOR CONDUCTING ALL WORK IN STRICT ACCORDANCE WITH ALL STANDARDS AND SPECIFICATIONS AND CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL MEASURES TO PROTECT STOCKPILE AREAS AND STORAGE AREAS. ALL AREAS USED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR UPON COMPLETION OF THE PROJECT. IF THE STAGING AREA IS PAVED, IT SHALL BE RESTORED TO ITS ORIGINAL CONDITION. IF THE STAGING AREA IS UNPAVED, IT SHALL BE RE-GRADED, TOPSOILED, SEEDED AND MULCHED TO THE SATISFACTION OF THE ENGINEER. ALL COSTS ASSOCIATED WITH RESTORATION OF THE STAGING AREA SHALL BE AT THE CONTRACTOR'S EXPENSE. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL TAKE PRECAUTIONS TO LOCATE PROPERTY LINES AND RIGHT OF WAY LINES PRIOR TO CONSTRUCTION AND AVOID CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY AND/ OR RIGHTS OF WAYS WHERE SAID CONSTRUCTION IS PROHIBITED. THE CONTRACTOR MAY CONDUCT CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY PROVIDED IF HE HAS OBTAINED PRIOR WRITTEN PERMISSION FROM THE PROPERTY OWNER AND HAS SUBMITTED A COPY OF SAID WRITTEN PERMISSION TO THE OWNER.
- THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE WORK AREA, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL REGULATORY, WARNING AND INFORMATION SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE.

DELDOT RECORD SITE PLANS (03/21/2019):

- NO LANDSCAPING SHALL BE ALLOWED WITHIN RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL (DCM).
- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATIONS (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 §131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE FOR THE SIDEWALK.
- ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION STREET.
- DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROAD. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.

<p>TRAFFIC GENERATION - JOHN J. WILLIAM HWY. (SCR024) (FULL MOVEMENT)</p>	
<p>ROAD TRAFFIC DATA: FUNCTIONAL CLASSIFICATION - (SCR 024)- JOHN J. WILLIAMS HWY. - MAJOR COLLECTOR</p> <p>POSTED SPEED LIMIT - 50 MPH AADT = 18,166 TRIPS (FROM 2021 DELDOT TRAFFIC SUMMARY) 10 YEAR PROJECTED AADT= 1.16 x 18,166 = 21,073 TRIPS TRAFFIC PATTERN GROUP = 8 (FROM 2021 DELDOT TRAFFIC SUMMARY) PEAK HOUR - 12.40% TRUCK VOLUME - 1.30% DISTRIBUTION % (56.50 / 43.50)</p>	<p>SITE TRAFFIC DATA: SOURCE: ITE TRIP GENERATION MANUAL 11TH EDITION EXISTING LAND USE - VACANT LANDS</p> <p>PROPOSED LAND USE: 150,000 SF - MINI WAREHOUSE (ITE 151) 150 KSF. AVG. RATE - 1.45 = 218 TRIPS (WEEKDAY) (109 IN / 109 OUT) 150 KSF. AVG. RATE - 1.77 = 266 TRIPS (SATURDAY) (133 IN / 133 OUT)</p> <p>PEAK HOUR OF ADJACENT STREET TRAFFIC: AM PEAK: AVG. RATE - 0.09 = 14 TRIPS (WEEKDAY) [59% / 41%] (8 / 6) PM PEAK: AVG. RATE - 0.15 = 23 TRIPS (WEEKDAY) [47% / 53%] (11 / 12) SAT PEAK: AVG. RATE - 0.17 = 26 TRIPS (SATURDAY) [62% / 38%] (16 / 10)</p> <p>140 UNITS - MULTIFAMILY HOUSING - LOW RISE (ITE 220) 140 UNITS: T=6.41(x)+75.41 = 973 TRIPS (WEEKDAY) (486 IN / 487 OUT) 140 UNITS: AVG. RATE - 4.55 = 637 TRIPS (SATURDAY) (318 IN / 319 OUT)</p> <p>PEAK HOUR OF ADJACENT STREET TRAFFIC: AM PEAK: T=0.31(x)+22.85 = 66 TRIPS (WEEKDAY) [24% / 76%] (16 / 50) PM PEAK: T=0.43(x)+20.55 = 61 TRIPS (WEEKDAY) [53% / 47%] (31 / 30) SAT PEAK: AVG. RATE - 0.41 = 57 TRIPS (SATURDAY)</p> <p>DIRECTIONAL DISTRIBUTION / ENTRANCE UTILIZATION: 50% FROM THE NORTH = 595 TRIPS, PEAK AM (12) [28], PEAK PM (31)[21] 50% TO THE SOUTH = 596 TRIPS, PEAK AM (12)[28], PEAK PM (31)[21] TOTAL NEW ADT= 1,191 TRIPS SITE TRUCK TRAFFIC = 60 TRIPS (5%)</p>
<p>TRAFFIC GENERATION DIAGRAM ADT PEAK HOUR (AM), ADT PEAK HOUR (PM)</p> <p>1 DIRECTIONAL DISTRIBUTION PROVIDED BY DELDOT 2 DIRECTIONAL DISTRIBUTION PROVIDED BY ITE MANUAL</p> <p>DESIGN VEHICLE - WB-40</p>	

CONDITIONS OF APPROVAL (CU 2315):

- THERE SHALL BE NO MORE THAN 140 UNITS WITHIN THE DEVELOPMENT.
- ALL ENTRANCES, INTERSECTIONS, ROADWAYS, AND MULTI MODAL IMPROVEMENTS REQUIRED BY DELDOT SHALL BE COMPLETED BY THE APPLICANT IN ACCORDANCE WITH DELDOT'S DETERMINATION.
- RECREATIONAL AMENITIES SHALL BE COMPLETED ON OR BEFORE THE ISSUANCE OF THE 84TH BUILDING PERMIT. THESE AMENITIES SHALL INCLUDE A COMMUNITY CENTER/ CLUBHOUSE AND AN OUTDOOR POOL.
- CENTRAL SEWER SHALL BE PROVIDED TO THE DEVELOPMENT BY SUSSEX COUNTY. THE DEVELOPER SHALL COMPLY WITH ALL REQUIREMENTS AND SPECIFICATIONS OF THE SUSSEX COUNTY ENGINEERING DEPARTMENT.
- THE DEVELOPMENT SHALL BE SERVED BY A CENTRAL WATER SYSTEM PROVIDING ADEQUATE DRINKING WATER AND FIRE PROTECTION AS REQUIRED BY APPLICABLE REGULATIONS.
- STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE STATE AND COUNTY REQUIREMENTS, AND THE PROJECT SHALL UTILIZE BEST MANAGEMENT PRACTICES TO CONSTRUCT AND MAINTAIN THESE FIXTURES. THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATIVE DISTRICT.
- INTERIOR STREET DESIGN SHALL COMPLY WITH OR EXCEED SUSSEX COUNTY STANDARDS AND SHALL INCLUDE SIDEWALKS OR MULTI MODAL PATHWAYS ON ONE SIDE OF ALL STREETS WITH STREET LIGHTING.
- ROAD NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY GEOGRAPHIC INFORMATION OFFICE.
- THE APPLICANT SHALL CONSULT WITH THE LOCAL SCHOOL DISTRICTS TRANSPORTATION MANAGER TO DETERMINE IF A SCHOOL BUS STOP IS APPROPRIATE. THE LOCATION OF SUCH A BUS STOP SHALL BE SHOWN ON THE FINAL SITE PLAN.
- CONSTRUCTION, SITE WORK, EXCAVATION, GRADING, AND DELIVERIES TO OR FROM THE PROPERTY SHALL ONLY BETWEEN THE HOURS OF 7:00 A.M. TO 6:00 P.M. MONDAY THROUGH SATURDAY. A 24-INCH BY 36-INCH "NOTICE" SIGN IN ENGLISH AND SPANISH CONFIRMING THESE HOURS SHALL BE PROMINENTLY DISPLAYED AT ALL ENTRANCES TO THE SITE DURING CONSTRUCTION.
- THERE SHALL BE A VEGETATED OR FORESTED BUFFER THAT IS AT LEAST 20 FEET WIDE INSTALLED ALONG THE PERIMETER OF THIS DEVELOPMENT THIS BUFFER SHALL UTILIZE EXISTING FOREST OR SIMILAR VEGETATION WHERE IT EXISTS IN THE BUFFER AREA. WHERE TREES CURRENTLY EXIST IN THE BUFFER AREA, STUMP REMOVAL OR CONSTRUCTION ACTIVITIES THAT DISTURBS THE EXISTING GRADE OF THE AREA WITHIN THE BUFFER SHALL BE PROHIBITED. ALL SILT FENCING SHALL BE LOCATED ALONG THE INTERIOR LIMIT OF THE BUFFER AREA (THE EDGE OF THE BUFFER NEAREST THE INTERIOR DEVELOPMENT) AND THE FINAL SITE PLAN SHALL IDENTIFY THE "LIMIT OF DISTURBANCE" TO PREVENT DISTURBANCE OF THE BUFFER AREA.
- THE DEVELOPER SHALL PRESERVE AS MANY EXISTING TREES AS POSSIBLE ON THE SITE. THESE AREAS OF NON DISTURBANCE SHALL BE CLEARLY SHOWN ON THE FINAL SITE PLAN.
- THE FINAL SITE PLAN SHALL INCLUDE A LANDSCAPE PLAN FOR THE DEVELOPMENT, INCLUDING ALL BUFFER AREAS.
- THE APPLICANT SHALL FORM A CONDOMINIUM ASSOCIATION TO BE RESPONSIBLE FOR THE MAINTENANCE OF ALL INTERIOR ROADWAYS AND PARKING AREAS, BUILDINGS, BUFFERS, STORMWATER MANAGEMENT AREAS, RECREATIONAL AMENITIES, AND OPEN SPACE.
- ALL LIGHTING ON THE SITE SHALL BE SHIELDED AND DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
- THE FINAL SITE PLAN SHALL BE SUBJECT TO REVIEW AND APPROVAL OF SUSSEX COUNTY PLANNING AND ZONING COMMISSION.

PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.9030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

AMERICAN STORAGE - RT. 24
TIN 234-29-00-49-02, 49.03, & 49.00
JOHN J. WILLIAMS HIGHWAY (SCR024)
MILLSBORO, DE 19966

DETAILS & NOTES

AMERICAN STORAGE OF DELAWARE, LLC
113 DICKINSON STREET, STE 100,
DEWEY BEACH, DE 19971

NO.	DATE	REVISIONS	BY
1	03/24/21	REVISED PER SUSSEX COUNTY PAZ COMMENTS	RWS

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PROJECT: **AMSDE22001**
DATE: 2022-11-09
DRAWING SCALE: **AS NOTED**
DRAWN BY: **RWS**
APPROVED BY: **AMD**

U:\admin\AMSD\AMSDE22001 - American Storage\DCS\CA_S&E\PP-1002.dwg PLOTTED: 1/27/2023 3:48 PM BY: Ryan Schmid PLOT STYLE: Pennoni NCS.ctb PROJECT STATUS:

ORDINANCE NO. 2239

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A THERAPY OFFICE TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN LITTLE CREEK HUNDRED, SUSSEX COUNTY, CONTAINING 5.397 ACRES, MORE OR LESS

WHEREAS, on the 14th day of November 2011, a conditional use application, denominated Conditional Use No. 1919 was filed on behalf of Dr. Kerri Kennard; and

WHEREAS, on the 12th day of January 2012, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and said Planning and Zoning Commission recommended that Conditional Use No. 1919 be approved with conditions; and

WHEREAS, on the 7th day of February 2012, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article IV, Subsection 115-22, Code of Sussex County, be amended by adding the designation of Conditional Use No. 1919 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

ALL that certain tract, piece or parcel of land, lying and being situate in Little Creek Hundred, Sussex County, Delaware, and lying west of Route 70 (Gordy Road) 395 feet north of Warrington Lane and 1,000 feet northwest of U.S. Route 13 and being more particularly described as:

BEGINNING at an iron bar on the westerly right-of-way of Route 70 (Gordy Road), a corner for these subject lands and lands, now or formerly, of Tim Ramey Construction; thence south 13°54'54" east 403.66 feet along the westerly right-of-way of Route 70 to an iron bar; thence south 75°15'00" west 572.69 feet along lands of Beverly W. Smith and Marlene W. Hamilton to an iron bar; thence north 14°45'00" west 413.19 feet along Warrington lands to an iron bar; thence north 76°11'19" east 578.65 feet along

forementioned Ramey lands to the point and place of beginning, and containing 5.397 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.

This Ordinance was adopted subject to the following conditions:

- The use shall be as a therapy office.
- Parking shall comply with the parking requirements in the County Zoning Code.
- One unlighted sign, not to exceed 32 square feet per side, shall be permitted.
- The hours of operation shall be from 9:00 a.m. to 7:00 p.m., Monday through Saturday, with emergency hours as needed.
- Any security lighting for the office and its parking areas shall be downward screened so that it does not shine on neighboring properties or roadways.
- The Final Site Plan shall be subject to the review and approval of the Sussex County Planning and Zoning Commission.

I DO HEREBY CERTIFY THAT THE FOREGOING IS A TRUE AND CORRECT COPY OF ORDINANCE NO. 2239 ADOPTED BY THE SUSSEX COUNTY COUNCIL ON THE 7TH DAY OF FEBRUARY 2012.

Robin A. Griffith
ROBIN A. GRIFFITH
CLERK OF THE COUNCIL

The Council found that the Conditional Use was appropriate legislative action based on the following Findings of Fact:

- This is an application for a Conditional Use of land in an AR-1 Agricultural Residential District for a therapy office to be located on a certain parcel of land lying and being in Little Creek Hundred, Sussex County, containing 5.397 acres, more or less, lying west of Route 70 (Gordy Road) 395 feet north of Warrington Lane and 1,000 feet northwest of U.S. Route 13.
- DelDOT commented that a Traffic Impact Study was not recommended and that the current Level of Service A of Gordy Road will not change as a result of this application.
- The Sussex County Engineering Department, Utility Planning Division, commented that the site is located in the West Sussex - Laurel Growth Area; that the use of an on-site septic system is proposed; that conformity to the Western Sussex Planning

Study will be required; that the proposed use is not in an area where the County currently has a schedule to provide sewer service; and that a Concept Plan is not required.

- The Sussex Conservation District submitted comments that the Applicant will be required to follow recommended erosion and sedimentation control practices during construction and to maintain vegetation; that there are no storm flood hazard areas affected; that it will not be necessary for any off-site drainage improvements; and that it may be possible that on-site drainage improvements will be required.
- The property's use as a therapy office promotes the health, safety and welfare of Sussex County residents, particularly children.
- The use is on a parcel of property that has historically been used as an office for more than 60 years prior to the Applicant's purchase of it.
- The Applicant intends to reside on the site which has its own septic system and is adequate for the use as a therapy office.
- The use will occur in an existing office building.
- There are already ample off-street parking spaces on the site.
- There were no parties in opposition to this application.
- The site, if approved for a Conditional Use, will not have an adverse impact on the neighboring roadways, properties or community.
- The use is of a public or semi-public character of the property.
- Based on the record and recommendation of the Planning and Zoning Commission and the record created before the Council, the Conditional Use was approved subject to six (6) conditions which will serve to minimize any potential impacts on the surrounding area and adjoining properties.



- SITE NOTES**
- OWNER:
COASTAL PROPERTIES LLC
30430 CEDAR NECK ROAD
OCEAN VIEW, DE 19970
 - CLASSIFICATION OF SURVEY: SUBURBAN
 - ZONE: GR
 - BUILDING SETBACK LINES (BSL)
FRONT 40'
SIDE 10'
REAR 10'
ALL SETBACKS ARE THE RESPONSIBILITY OF THE HOME OWNER AND/OR GENERAL CONTRACTOR. SETBACKS SHOWN AS PER SUSSEX COUNTY & MAY DIFFER FROM THE HOME OWNERS ASSOCIATION (HOA) SETBACKS. ANY USER OF SAID INFORMATION IS URGED TO DIRECTLY CONTACT THE LOCAL AGENCY AND HOA, IF APPLICABLE, TO VERIFY IN WRITING ALL SETBACKS & REQUIREMENTS.
 - NO TITLE REPORT WAS PROVIDED FOR OUR USE. THEREFORE THIS BOUNDARY SURVEY IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS, AND/OR RIGHTS OF WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH.
 - PROPERTY TO BE USED FOR SMALL BUSINESS. PARKING IS BASED ON OFFICE SPACE WITHIN THE PROPOSED BUILDING AS SHOWN ON BUILDING PLANS. PARKING SHOWN REFLECTS 71 SPACE PER 200 S.F. OF FLOOR SPACE USED FOR OFFICE.
 - SITE IS PRIVATE WELL WATER. SEWER IS PROVIDED BY THE TOWN OF OCEAN VIEW.
 - ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
 - PROPOSED BUILDING DOES NOT HAVE SPRINKLER SYSTEM IN ITS DESIGN.
 - MAX BUILDING HEIGHT IS 25'

OWNER CERTIFICATION

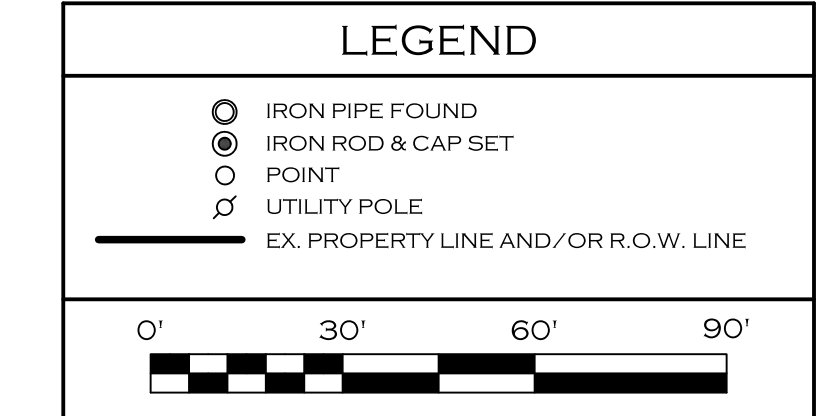
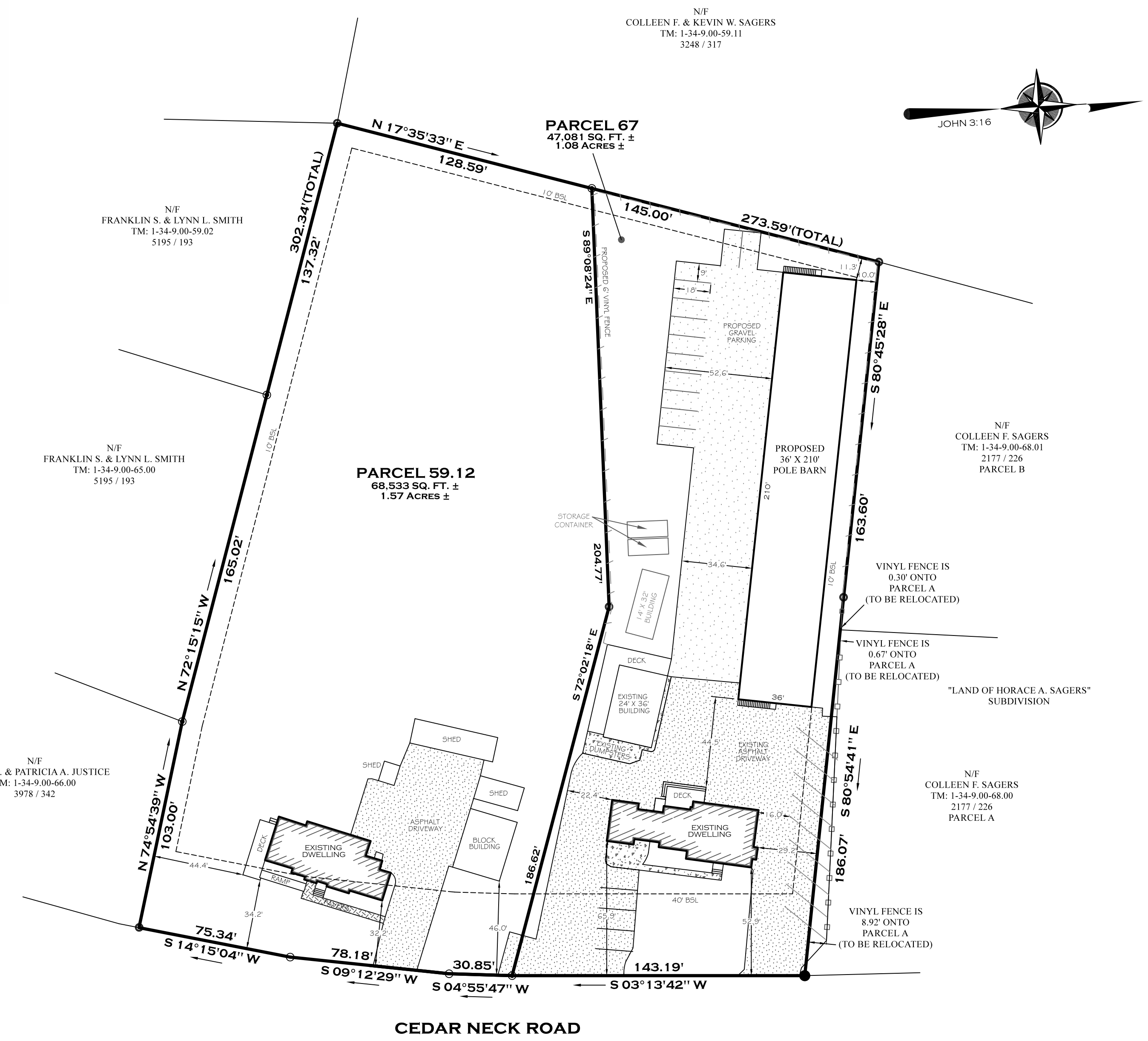
I, GEORGE ELLIOTT, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION AND THAT ALL THE PROPOSED MONUMENTS AND MARKERS SHOWN HEREON WILL BE SET AT THE LOCATION INDICATED. I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

GEORGE ELLIOTT DATE _____
COASTAL PROPERTIES, LLC

LAND SURVEYOR CERTIFICATION

I, BRADLEY A. ABSHER, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND IN MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

BRADLEY A. ABSHER DATE _____
PROFESSIONAL LAND SURVEYOR # 735



TAX MAP #	1-34-9-00-67-00 & 59.12
STATE	DELAWARE
COUNTY	SUSSEX
HUNDRED	BALTIMORE
TOWN	---
SUBDIVISION	---
LOT	---
DEED REF.	5026 / 325 & 5651 / 306
PLAT REF.	299 / 38
DRAWN BY	MCS
DATE	11 / 30 / 2022
REVISED	01 / 09 / 2023
SCALE	1" = 40'
SURVEY #	DE - 05269

SITE PLAN

OF THE LANDS OF
COASTAL PROPERTIES, LLC

30430 CEDAR NECK ROAD, OCEAN VIEW, DE 19970



ORDINANCE NO. 2749

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN A B-1 NEIGHBORHOOD BUSINESS DISTRICT AND A GR GENERAL RESIDENTIAL DISTRICT FOR A GENERAL CONTRACTING BUSINESS TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN BALTIMORE HUNDRED, SUSSEX COUNTY, CONTAINING 1.08 ACRES, MORE OR LESS

WHEREAS, on the 26th day of May 2020, a conditional use application, denominated Conditional Use No. 2239 was filed on behalf of Coastal Services, LLC; and

WHEREAS, on the 24th day of September 2020, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and on the 8th day of October 2020, said Planning and Zoning Commission recommended that Conditional Use No. 2239 be approved with conditions; and

WHEREAS, on the 27th day of October 2020, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article VI, Subsection 115-39, Code of Sussex County, be amended by adding the designation of Conditional Use No. 2239 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

ALL that certain tract, piece or parcel of land, lying and being situate in Baltimore Hundred, Sussex County, Delaware, and lying on the west side of Cedar Neck Rd. (Rt. 357) approximately 0.64 mile north of Fred Hudson Rd. (S.C.R. 360) and being more particularly described in the attached legal description prepared by D. Stephen Parsons, P.A., said parcel containing 1.08 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.

This Ordinance was adopted subject to the following conditions:

- A. The project shall be used for a general contracting business.**
- B. There shall be no retail sales from the GR portion of the property.**
- C. There shall be no manufacturing on the site.**
- D. All lighting on the site shall be downward screened so that it does not shine on neighboring properties or roadways.**
- E. Any dumpsters on the site are to be screened from the view of neighboring properties and roadways. The dumpster locations shall be shown on the Final Site Plan.**
- F. The Applicant shall comply with all DelDOT requirements for entrance and roadway improvements.**
- G. Because the front portion of the Conditional Use area is currently zoned B-1, the use shall comply with the B-1 District's sign requirements.**
- H. As stated by the Applicant, pursuant to an agreement with the neighbors, the boundaries of the property with GR zoning shall be fenced with 6-foot vinyl fencing to screen it from view of neighboring residential properties. The location and type of fencing shall be shown on the Final Site Plan.**
- I. The Final Site Plan shall be subject to the review and approval of the Sussex County Planning and Zoning Commission.**

I DO HEREBY CERTIFY THAT THE FOREGOING IS A TRUE AND CORRECT COPY OF ORDINANCE NO. 2749 ADOPTED BY THE SUSSEX COUNTY COUNCIL ON THE 27TH DAY OF OCTOBER 2020.

**ROBIN A. GRIFFITH
CLERK OF THE COUNCIL**

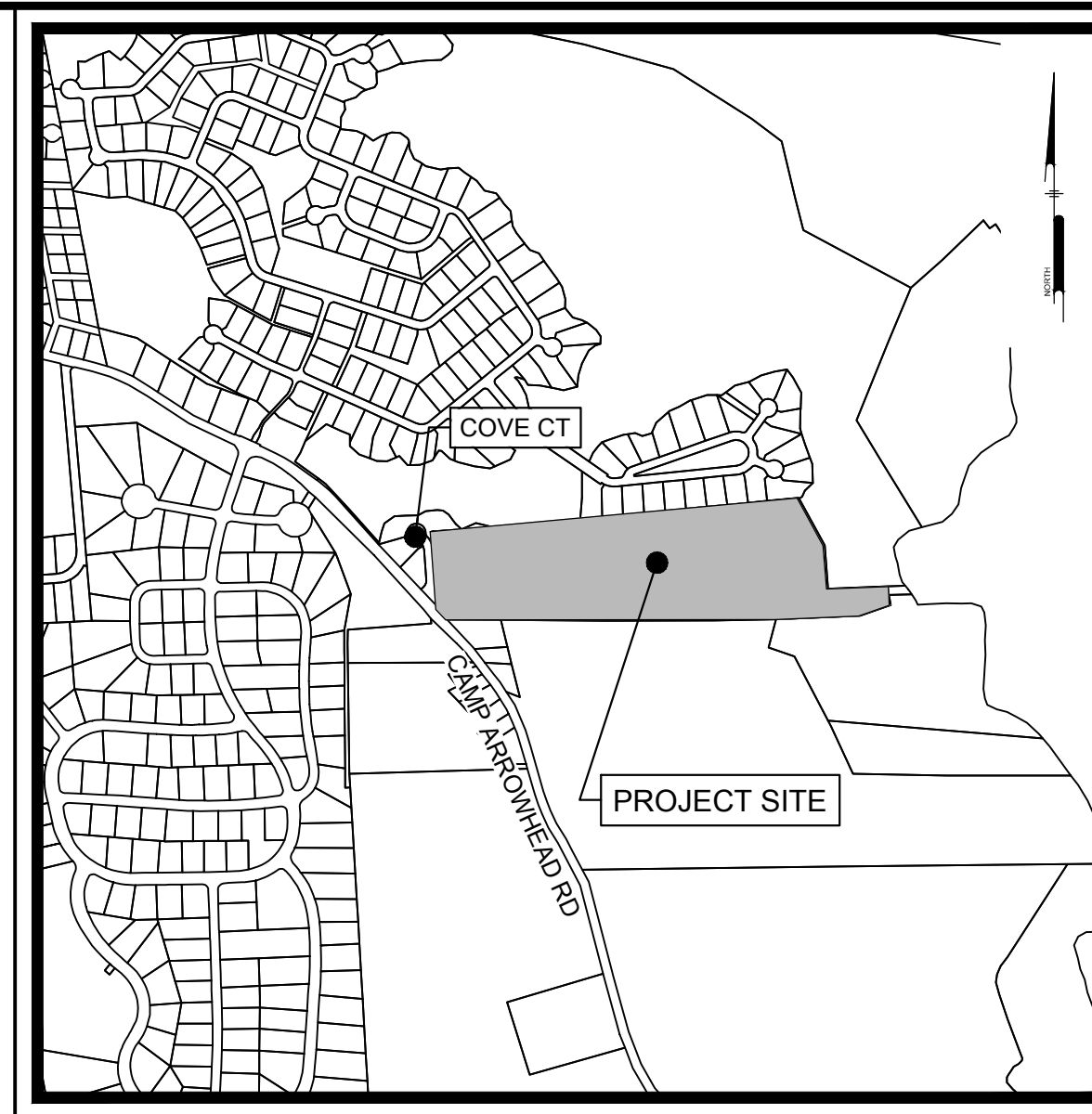
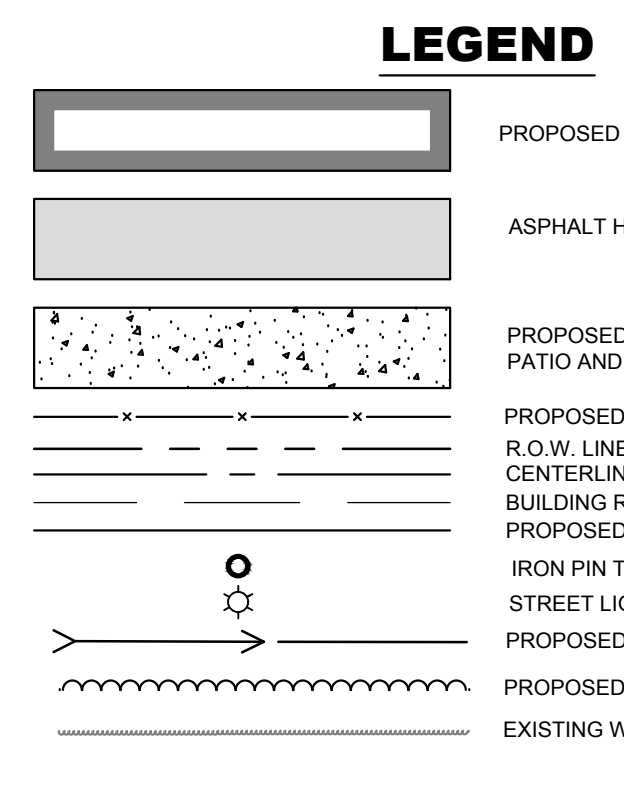
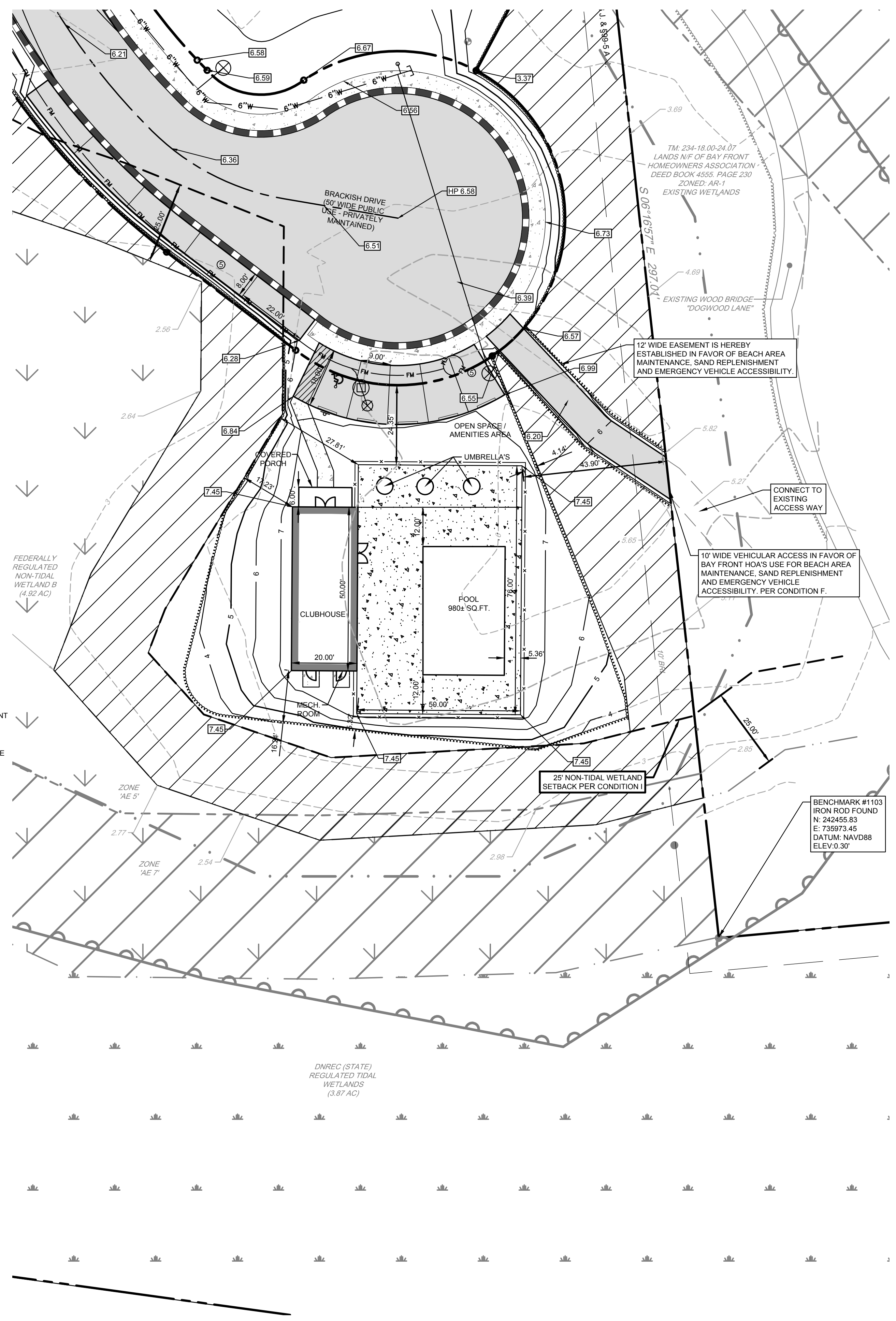
The Council found that the Conditional Use was adopted subject to the following conditions:

- A. This is the application of Coastal Services, LLC for the consideration of a Conditional Use of land in a B-1 Neighborhood Business District and a GR General Residential District for a general contracting business to be located on a certain parcel of land lying and being in Baltimore Hundred, Sussex County, containing 1.08 acres, more or less (property lying on the west side of Cedar Neck Road (Route 357) approximately 0.64 mile north of Fred Hudson Road (S.C.R. 360) (Tax I.D. No. 134-9.00-67.00) (911 Address: 30430 & 30432 Cedar Neck Road, Ocean View).**
- B. Based on testimony before the Planning and Zoning Commission and the public hearing before the Sussex County Council, Council found that Mackenzie Peet, Esquire, with Tunnell & Raysor, P.A., was present at the Planning and Zoning Commission hearing on behalf of the Applicant, Coastal Services, LLC, together with Mr. George Elliott, owner of Coastal Services, LLC, and that Ms. Peet was also present at the Sussex County Council public hearing on behalf of the Applicant; that the business has been in operation in Sussex County for more than 20 years; that the Applicant is requesting a Conditional Use for a contracting business to be located in Neighborhood Business (B-I) and General Residential (GR) zoning districts; that the**

Applicant purchased the GR property to the rear of the B-1 zoned property already owned by him and combined the lots creating the split zoned property; that the business is a permitted use in the B-1 zoned area of the property; and that the Conditional Use request is for the GR zoned portion of the property.

- C. Council also found that a pole barn of over 6,000 square feet is being proposed; that an application for a side yard variance has been submitted for a public hearing before the Board of Adjustment; that the properties to the north and west of the subject property are zoned GR, the property to the east is zoned General Commercial (C-1) and the property to the side is split-zoned as B-1 and GR zoning; that the Applicant has spoken with adjacent landowners and has their support; that one property owner has requested that a fence be installed on the perimeter of the property and the Applicant will comply with that request; that the business operates from 7:00 a.m. to 5:00 p.m.; that employees do not necessarily visit this site before going to the work site and, therefore, there would be no impact on traffic; that the location of this business is compatible with surrounding uses; that all existing buildings meet setbacks; and that the Staff Analysis states that the proposed use could be consistent with surrounding uses.**
- D. Based on the record and recommendation of the Planning and Zoning Commission and the Planning and Zoning Commission's Findings (1 through 7) and Conditions (a - i), Council found that:**
- 1. The site is split-zoned with the frontage having B-1 zoning, and the rear area being zoned GR General Residential. The Applicant has operated a contracting business from the B-1 portion of the site for some time, and this Conditional Use will bring the entire parcel under one approval.**
 - 2. The property is located within the Coastal Area according to the Sussex County Comprehensive Plan. Small business uses like this one are appropriate within this area according to the Plan.**
 - 3. The site is located along Cedar Neck Road and is partially zoned for B-1 uses. There are also commercially zoned properties on the opposite side of Cedar Neck Road. This use is appropriate for this location.**
 - 4. Traffic generated by the proposed use will be minimal and will not have a negative impact on the neighboring properties or roadways.**
 - 5. The use is of a public or semi-public character that is desirable for the general convenience and welfare of the area and the County.**
 - 6. The site is served by Sussex County sewer.**
 - 7. No parties appeared in opposition to this application.**
 - 8. Based on the record and recommendation of the Planning and Zoning Commission and the record created before the Sussex County Council, the Conditional Use is approved subject to nine (9) conditions (a - i) which will serve to minimize any potential impacts on the surrounding area and adjoining properties.**

U:\Admin\EGCOX22001 - Temp\18072 Davidon Drive - PENNONI ASSOCIATES, INC. - EGCOX22001.dwg
 PLOT DATE: 07/20/2022 1:45 PM BY: Logan Binkard
 PLOT STYLE: Pennon V22.dwt
 PROJECT STATUS: —



Pennoni
PENNONI ASSOCIATES, INC.
 18072 Davidon Drive
 Milton, DE 19968
 T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

ATLANTIC EAST SUBDIVISION
CAMP ARROWHEAD ROAD (SCR 279)
 TAX MAP: 234-18-00-31-00
 INDIAN RIVER HUNDRED SUSSEX COUNTY
POOL HOUSE AND AMENITIES GRADING/UTILITY PLAN PLAN
 EVG-FT VENTURES LLC
 3684 CENTERVIEW DRIVE, SUITE 120
 CHANTILLY, VA 20151

NO.	DATE	REVISIONS	BY

WETLAND STATEMENT
 I, EDWARD M. LAUNAY, PWS, STATE THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED UPON THIS PLAN HAVE BEEN DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL AND ITS SUPPLEMENTAL GUIDANCE INCLUDING THE ATLANTIC AND GULF COAST REGIONAL SUPPLEMENT (VERSION 2.0) AND THE 2020 NAVIGABLE WATERS PROTECTION RULE. THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES.
 THE BOUNDARIES OF STATE REGULATED WETLANDS ON THIS PROPERTY WERE DETERMINED IN ACCORDANCE WITH DNREC WETLAND MAP NO. DNR-034

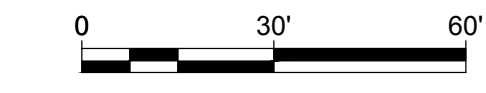
EDWARD M. LAUNAY, SENIOR PWS No. 875 _____ Date _____
 SOCIETY OF WETLANDS SCIENTISTS
 CORPS OF ENGINEERS, CERTIFIED WETLAND
 DELINEATOR WDCPS3MD05100368

OWNER/DEVELOPER CERTIFICATION:
 I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AS SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE _____ DATE _____
 EVG-FT VENTURES LLC
 C/O TIM NAUGHTON
 3684 CENTERVIEW DRIVE, SUITE 120
 CHANTILLY, VA 20151
 (443) 398-0204
 TNAUGHTON@EVERGREENHOMES.COM

ENGINEER CERTIFICATION:
 IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE COMPLIES WITH APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SIGNATURE _____ DATE _____
 ALAN DECKTOR, PE (DE PE#17771)
 PENNONI ASSOCIATES, INC.
 18072 DAVIDSON DRIVE
 MILTON, DE 19968
 OFFICE (302) 684-8030 - FAX (302) 684-8054
 adecktor@pennoni.com



PROJECT: EGCOX22001
 DATE: 2022-08-12
 DRAWING SCALE: AS SHOWN
 DRAWN BY: LAC
 APPROVED BY: AMD

SP0002
 SHEET 2 OF 2

SITE DATA TABLE:

1. TAX MAP NUMBER:	234-18-00-31-00
2. DEVELOPER/EQUITABLE OWNER:	EVG-FT VENTURES, LLC. 3684 CENTERVIEW DRIVE, SUITE 120 CHANTILLY, VA 20151
3. SITE ADDRESS:	117 SOUTH OF COVE COURT AND CAMP ARROWHEAD ROAD INTERSECTION LEWES DE, 19958
4. HUNDRED/ COUNTY:	INDIAN RIVER HUNDRED / SUSSEX COUNTY
5. CURRENT ZONING:	AR-1 (AGRICULTURAL RESIDENTIAL DISTRICT)
6. PRESENT USE:	FORESTED
7. PROPOSED USE (115-20):	DETACHED SINGLE FAMILY DWELLINGS ON INDIVIDUAL LOTS
8. REQUIRED SETBACKS (B.R.L.):	AR-1 CLUSTER DEVELOPMENT (115-25 B-2)
DEPTH OF FRONT YARD (FEET)	25'
DEPTH OF CORNER SIDE YARD	15'
WIDTH OF SIDE YARD (FEET)	10'
DEPTH OF REAR YARD (FEET)	10'
9. REQUIRED LOT AREAS:	AR-1 CLUSTER DEVELOPMENT (115-25 B-2)
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MAXIMUM LOT AREA	13,365 S.F.
MINIMUM LOT AREA	7,500 S.F.
AVERAGE LOT AREA	8,394 S.F.
10. WATER SUPPLIER:	PUBLIC - TIDEWATER UTILITIES
SECTION 89: SOURCE WATER PROTECTION	A. SUBJECT PROPERTY IS WITHIN AN AREA OF "POOR AND FAIR" GROUND WATER RECHARGE. B. SUBJECT PROPERTY IS NOT LOCATED IN A WELLHEAD PROTECTION AREA, EXCEPT FOR A VERY SMALL PORTION ALONG CAMP ARROWHEAD ROAD.
11. SANITARY SEWER PROVIDER:	PUBLIC - SUSSEX COUNTY
12. STREETS:	PRIVATE (99-18 D & E.)
13. MAXIMUM BUILDING HEIGHT (115-25 D.):	42 FEET
14. FORESTED AREA: TOTAL AREA: IMPACTED: REMAINING:	23.08 ± AC. 15.72 ± AC. 7.36 ± AC.
15. PARKING REQUIRED PARKING: PROPOSED PARKING:	(ARTICLE XXII: OFF-STREET PARKING, CODE SECTION 115-162) 0 SPACES 10 SPACES
16. 2019 FUTURE LAND USE MAP	COASTAL AREA
17. OPEN SPACE AREA BREAKDOWN:	20' LANDSCAPE BUFFER: 1.83 ± AC PASSIVE & ACTIVE RECREATION SPACE: 4.91 ± AC STORMWATER MANAGEMENT: 1.24 ± AC WETLAND AREA (TIDAL): 3.87 ± AC WETLAND AREA (NON-TIDAL): 8.06 ± AC TOTAL OPEN SPACE AREA: 19.91 ± AC (62%)
18. AMENITIES DEVELOPMENT AREA:	0.29 ACRES
19. OVERALL CONSERVATION EASEMENT AREA:	14.76 ACRES (REFER TO V0203 FOR DETAILS)
20. LONGITUDE AND LATITUDE	SITE BENCHMARK STATE PLANE COORDINATES: LONGITUDE: W 75°08'40.65" LATITUDE: N 38°39'55.05"
21. PROPOSED DISCHARGE LOCATION: WATERSHED:	PROPOSED STORMWATER PONDS TO EXISTING WETLANDS REHOBOTH BAY WATERSHED
22. FLOOD ZONE:	THIS PROPERTY IS LOCATED ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 1000503242K, MAP REVISED MARCH 18, 2015 AREA DESIGNATED PARTLY AS FLOOD ZONE "X" (UNSHADED) & PARTLY AS ZONE "AE" (EL. 5 FT AND EL. 7 FT)
23. WETLAND AREA (TIDAL): WETLAND AREA (NON-TIDAL): TIDAL WETLAND AREA IMPACTED: NON-TIDAL WETLAND AREA IMPACTED:	3.87 ± AC. 8.06 ± AC. 0.00 ± AC. 0.219 ± AC. (PERMITTED THROUGH ARMY CORPS)
24. DATUM:	HORIZONTAL: NAD83 VERTICAL: NAVD88 STATE PLANE. SUSSEX COUNTY
25. LOCAL GOVERNMENT RESPONSIBLE FOR LAND USE APPROVAL:	SUSSEX COUNTY
26. TRANSPORTATION IMPROVEMENT DISTRICT:	HENLOPEN, PARTICIPATION NOT REQUIRED

CONDITIONS OF APPROVAL:

- PRELIMINARY APPROVAL WAS GRANTED BY SUSSEX COUNTY PLANNING COMMISSION AT THEIR MEETING ON JULY 8, 2021 SUBJECT TO THE FOLLOWING CONDITIONS:
- F. COMMON AREA LAND OF ADJACENT BAY FRONT AT REHOBOTH WRAPS AROUND THIS SITE, INCLUDING BAY FRONT AT REHOBOTH'S DIRECT ACCESS TO REHOBOTH BAY. THE FINAL SITE PLAN FOR THIS SUBDIVISION SHALL PROVIDE A VEHICLE CONNECTION FROM ITS EASTERN CUL-DE-SAC TO THE PROPERTY LINE OF BAY FRONT AT REHOBOTH'S BEACH AREA FOR THAT HOA'S VEHICULAR USE FOR BEACH AREA MAINTENANCE, SAND REPLENISHMENT AND EMERGENCY VEHICLE ACCESSIBILITY.
 - I. IN ADDITION TO THE BUFFER REQUIRED IN CONDITION H ABOVE, THERE SHALL BE A 25-FOOT BUILDING SETBACK FROM ALL NON-TIDAL WETLANDS.
 - N. STREET DESIGN SHALL MEET OR EXCEED SUSSEX COUNTY STANDARDS. THE DESIGN OF THE BRACKISH DRIVE CUL-DE-SAC, INCLUDING THE LOCATION OF THE TURN-OUT/TURNAROUND AREAS, SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY ENGINEERING DEPARTMENT AND THE OFFICE OF THE STATE FIRE MARSHAL.

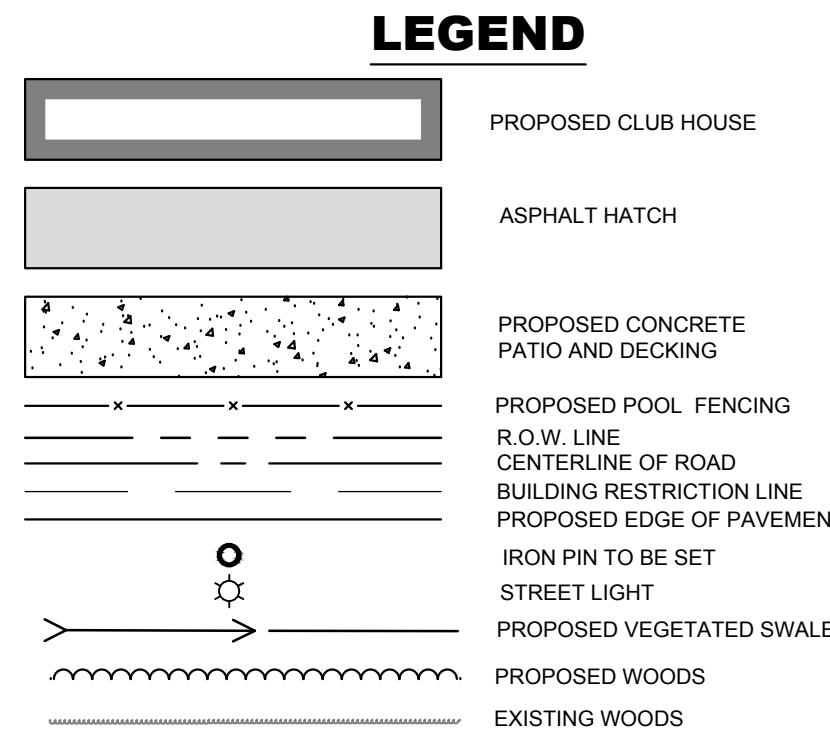
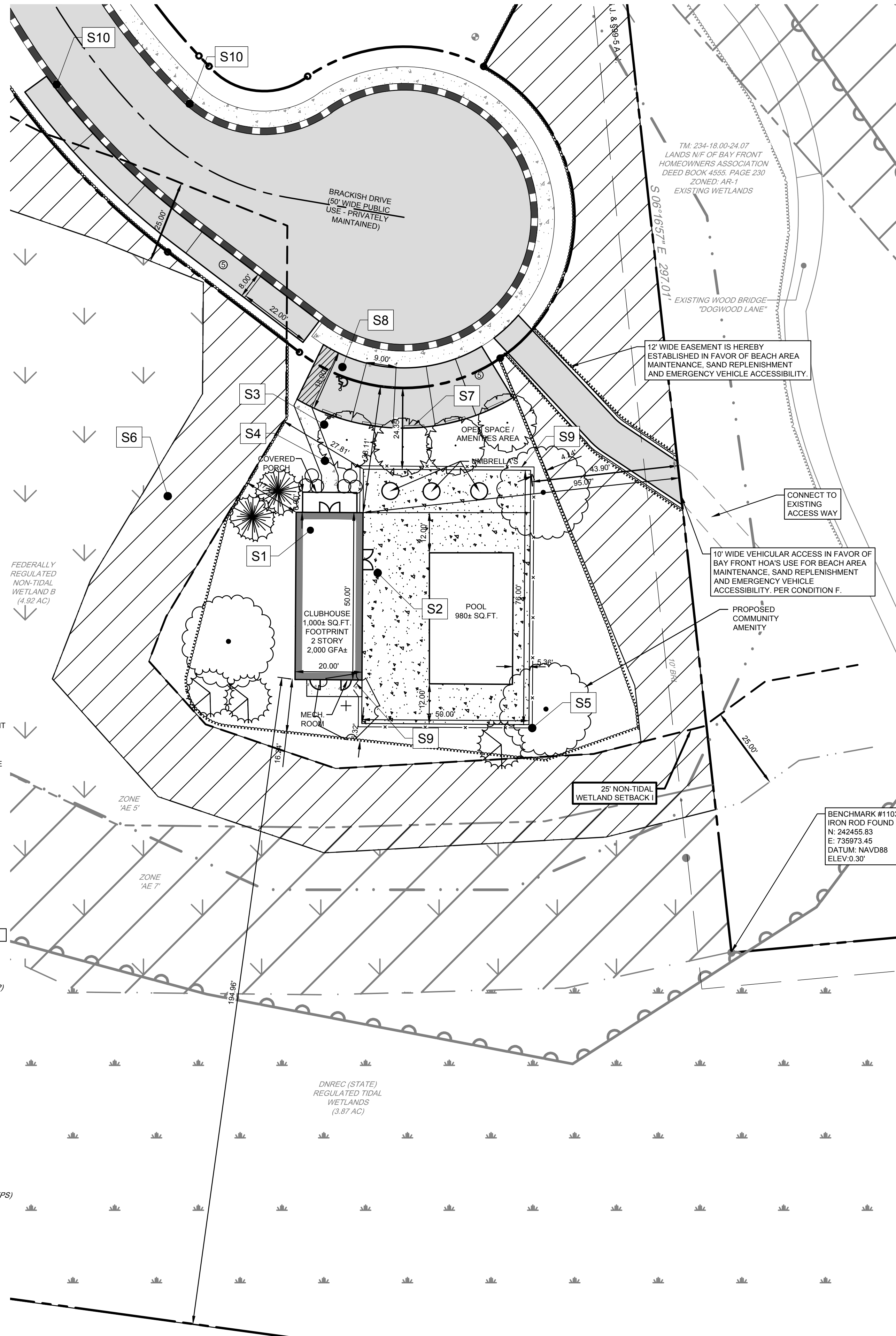
GENERAL NOTES

- PROPOSED BUILDING CONSTRUCTION TYPE, (NFPA TYPE V (000) WOOD FRAME).
- AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.
- WATER SUPPLY: PUBLIC - TIDEWATER
- CLUB HOUSE DETAILS.
- BUILDING SQUARE FOOTAGE = 1,000 S.F.
- TOTAL STORIES = 1-STORY
- TOTAL HEIGHT = 42 FEET MAX.
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
- THE PROPOSED SIGN IS NOT APPROVED AS PART OF THIS SITE PLAN. A SEPARATE SUSSEX COUNTY PERMIT IS REQUIRED.

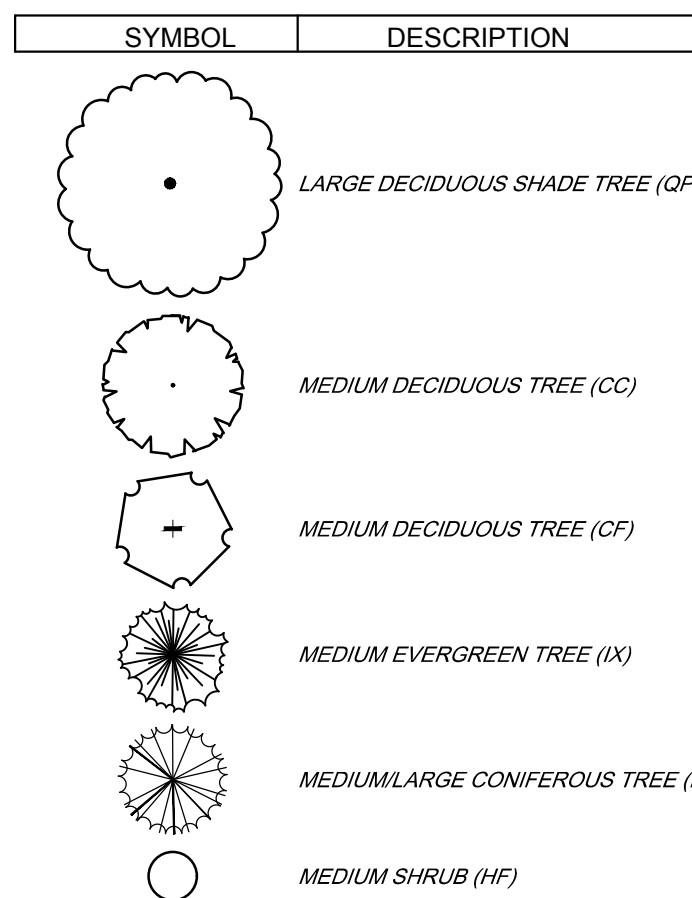
PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	SPACING
QP	3	QUERCUS PALUSTRIS	PIN OAK	1.5" CAL	B&B	AS SHOWN
CF	1	CORNUS FLORIDA	FLOWERING DOGWOOD	1.5" CAL	B&B	AS SHOWN
CC	4	CERIS CANADENSIS	EASTERN REDBUD	1.5" CAL	B&B	AS SHOWN
PS	3	PINUS STROBUS	EASTERN WHITE PINE	5' HGT	CONT	AS SHOWN
IX	2	ILEX X CONAF	OAK LEAF RED HOLLY	5' HGT	CONT.	AS SHOWN
HF	6	HYPERICUM FRONDOSUM	ST JOHNS WORT	2' HGT	CONT.	AS SHOWN

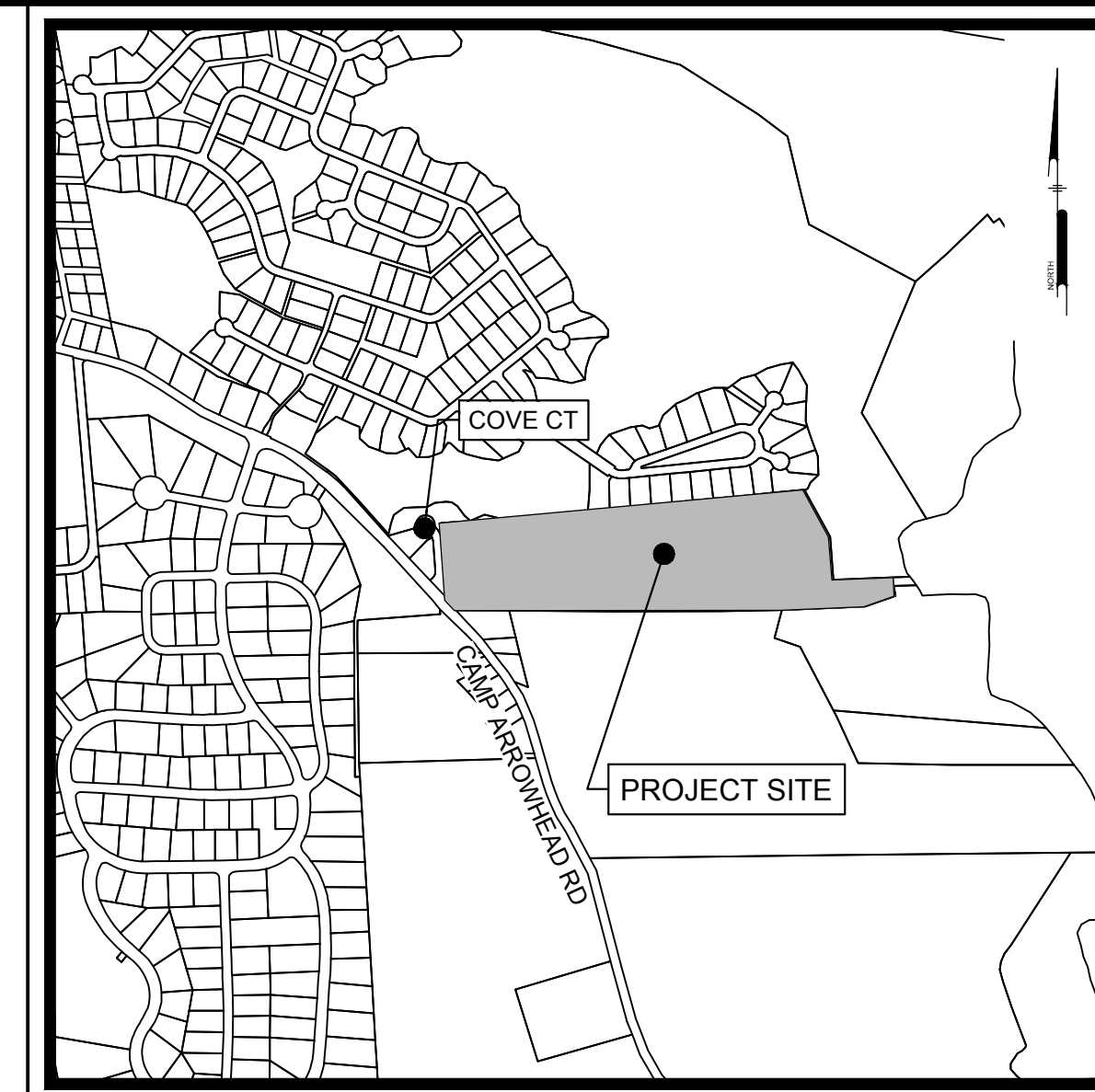
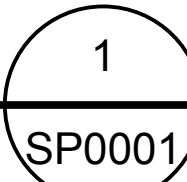
PRELIMINARY AMENITIES PLAN WITHIN THE ATLANTIC EAST SUBDIVISION FORMERLY KNOWN AS "TERRAPIN ISLAND" AND "SALT CEDARS" (2020-13)



PLANT LEGEND



PLAN VIEW: BLOWUP OF POOL AND CLUBHOUSE AREA
SCALE: 1" = 20'



KEYED NOTES

- S1 PROPOSED CLUBHOUSE
- S2 PROPOSED POOL / DECK AREA
- S3 PROPOSED STREETLIGHT, TYP. (STREET LIGHT SYMBOLS ARE SHOWN GRAPHICALLY AND FINAL LAYOUT WILL BE COORDINATED WITH ELECTRIC SERVICE PROVIDER)
- S4 PROPOSED 5' WIDE CONCRETE SIDEWALK
- S5 PROPOSED 4' HIGH BLACK ALUMINUM FENCE (TO HAVE A PANIC GATE DEVICE)
- S6 CONSERVATION EASEMENT (SEE SHEET V0203)
- S7 PARKING BUMPERS (TYP.)
- S8 ADA ACCESSIBLE PARKING SPACE WITH SIGN MOUNTED ON POST
- S9 PROPOSED GATE
- S10 INTEGRAL PCC CURB AND GUTTER - TYPE 2

WETLAND STATEMENT

I, EDWARD M. LAUNAY, PWS, STATE THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED UPON THIS PLAN HAVE BEEN DETERMINED USING MY PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL AND ITS SUPPLEMENTAL GUIDANCE INCLUDING THE ATLANTIC AND GULF COAST REGIONAL SUPPLEMENT (VERSION 2.0) AND THE 2020 NAVIGABLE WATERS PROTECTION RULE. THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES.

THE BOUNDARIES OF STATE REGULATED WETLANDS ON THIS PROPERTY WERE DETERMINED IN ACCORDANCE WITH DNREC WETLAND MAP NO. DNR-034

EDWARD M. LAUNAY, SENIOR PWS No. 875
SOCIETY OF WETLANDS SCIENTISTS
CORPS OF ENGINEERS, CERTIFIED WETLAND
Delineator WDCP93MD05100368

OWNER/DEVELOPER CERTIFICATION:
I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AS SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE _____ DATE _____

EVG-FT VENTURES LLC
C/O TIM NAUGHTON
3684 CENTERVIEW DRIVE, SUITE 120
CHANTILLY, VA 20151
(443) 398-0294
T.NAUGHTON@EVERGREENHOMES.COM

ENGINEER CERTIFICATION:
IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE COMPLIES WITH APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

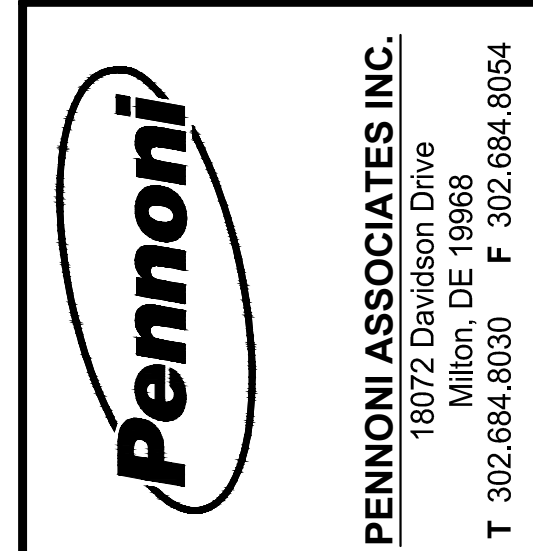
SIGNATURE _____ DATE _____

ALAN DECKTOR, PE (DE PE#17771)
PENNONI ASSOCIATES, INC
18072 DAVIDSON DRIVE
MILTON, DE 19968
OFFICE (302) 684-8030 - FAX (302) 684-8054
adecktor@pennoni.com

LANDSCAPE CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE REGULATIONS AND LAWS OF THE STATE OF DELAWARE.

ERIC W. WAHL, (DE# S1-0000409) _____ DATE _____

18072 DAVIDSON DRIVE MILTON, DE 19968
PENNONI ASSOCIATES INC.



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

ATLANTIC EAST SUBDIVISION
CAMP ARROWHEAD ROAD (SCR 279)
INDIAN RIVER HUNDRED SUSSEX COUNTY
TAX MAP: 234-18-00-31-00

POOL HOUSE AND AMENITIES SITE PLAN

EVG-FT VENTURES LLC
3684 CENTERVIEW DRIVE, SUITE 120
CHANTILLY, VA 20151

NO.	REVISIONS	DATE	BY	LPS
1	REVISED PER P & Z COMMENTS	2022-11-01		

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE AND OWNER SHALL IDENTIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	EGCOX22001
DATE	2022-08-12
DRAWING SCALE	AS SHOWN
DRAWN BY	LAC
APPROVED BY	AMD
SP0001	
SHEET	1 OF 2

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878
302-854-5079 F
JAMIE WHITEHOUSE, AICP MRTPI
PLANNING & ZONING DIRECTOR

October 28, 2022

Mr. Alan Decktor, P.E., ENV SP
Pennoni Associates, Inc.
18072 Davidson Drive
Milton, DE 19968

By email to: adecktor@pennoni.com

RE: Staff Review of the Preliminary Amenities Plan for Atlantic East (2020-13) (F.K.A. Terrapin Island & Salt Cedars) for the construction of a 1,000 square foot +/- clubhouse, 1,095 square foot inground pool +/-, covered porch, open space/amenities area, umbrellas, and other site improvements to be located on the south side of Brackish Drive within the previously approved Atlantic East Subdivision
Tax Parcel: 234-18.00-31.00

Dear Mr. Eriksen,

Further to your submission of September 27th, 2022, the Planning and Zoning Department has reviewed the submitted Preliminary Amenities Plan for Atlantic East (2020-13) (F.K.A. Terrapin Island & Salt Cedars) for the construction of a 1,000 square foot +/- clubhouse, 1,095 square foot inground pool +/-, covered porch, open space/amenities area, umbrellas, and other site improvements. The parcel is located on the south side of Brackish Drive within the previously approved Atlantic East Subdivision. The parcel is zoned Agricultural Residential (AR-1) District. The Final Subdivision Plan for the Subdivision was approved by the Planning and Zoning Commission at their meeting of Thursday, September 21st, 2022. The parcel also lies within the "Coastal Area" per Sussex County's 2019 Comprehensive Plan. Staff have reviewed the proposed Preliminary Amenities Plan for compliance with the Sussex County Zoning Code and have the following comments:

Preliminary Amenities Plan

1. **Please show the 25-ft setback from the ordinary high-water line on the plans in order to comply with Condition "I" of the Conditions of Approval.**
2. **Please include Condition "F" on the Amenities Plan: "Common area land of adjacent Bay Front at Rehoboth wraps around this site, including Bay Front at Rehoboth's direct access to Rehoboth Bay. The Final Site Plan for this subdivision shall provide a vehicle connection from its eastern cul-de-sac to the property line of Bay Front at Rehoboth's area for that HOA's vehicular use for beach area maintenance, sand replenishment and emergency vehicle accessibility."**



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE 19947

3. **Please include Condition “I” on the Amenities Plan: “In addition to the buffer required in Condition “H,” there shall be a 25-foot building setback from all non-tidal wetlands.”**
4. **Please include Condition “N” on the Amenities Plan: “Street design shall meet or exceed Sussex County standards. The design of the Brackish Drive cul-de-sac, including the location of the turn-out/turnaround areas, shall be subject to the review and approval of the Sussex County Engineering Department and the Office of the State Fire Marshal.”**
5. **The Legend indicates that the Building Restriction Line is shown on the Plans noting the required setbacks. However, this information appears to be missing from the Plans. Please add this information to the Plans (§115-220(B)(8)) & (§115-221(B)(6)).**
6. Please include in the Title Sheet that this is County Project Reference Number 2020-13 and that the project is also “F.K.A. “Terrapin Island” & “Salt Cedars” for further clarity. Please also include this information on the Information Panel located on the right side of the Plans.
7. Please include within the Site Data Column the Future Land Use Map Designation for the property. The Future Land Use Map Designation for the property is “Coastal Area.”
8. Please add in the Site Data Column that the project is located within the Henlopen Transportation District (TID), but due to the Application being filed before the TID was established and also as proffered as part of the record made at the public hearing, is not required to participate in the TID.
9. Please amend Keyed Note “S8” from “ADA Handicap Parking Space with sign mounted on post” to “ADA Accessible Parking Space with sign mounted on post.”
10. Please include topographic contours at one-foot intervals (or similar provision,) unless waived by the Commission as clearly unnecessary to review the project or proposal (§115-220(B)(4)).
11. Please include the nature of all proposed grading on the Plans (§115-220(B)(5)).
12. Please include the approximate sized of all recreational areas. For example, please include the size of the open space/amenities area as shown on the Plans (§115-220(B)(10)).

Final Amenities Plan

1. **Please clarify if any further/additional landscaping is to be provided on the plans. Please note that any further landscaping to be provided shall be shown on the plans and included as part of any Revised Landscaping Plan and landscaping bond to be submitted for separate approval to the County. If landscaping is to be provided, please ensure that the plans are certified to by a licensed landscape architect, licensed forester, or forester designated by the Society of American Foresters as a “certified forester” (§99-5).**

2. Please include a General Note on the plans which indicates that any proposed signage will require a separate permit issued from the County.
3. Please include the location and character of construction of all curb cuts to be provided on the plans (§115-221(B)(5)).
4. Please include the location, height and material of all fences, walls, screen planting and landscaping, if any are to be provided (§115-221(B)(9)).
5. Please include the size and height of all proposed signs on the plans, if any are to be provided in tandem with the use (§115-221(B)(11)).
6. Please include a Wetlands Panel with a signed and dated statement from an experienced, qualified professional on the plans confirming that the site contains no wetlands (§115-221(B)(14)).
7. Please include a bulk grading plan (it is understood that this material may have been submitted with the original Subdivision Plan, but staff are requesting a separate copy of these plans for the file and to fulfill Code requirements.) (§115-220(B)(17)).
8. Prior to approval of the Final Amenities Plan, approval letters or letters of no objection from the following agencies shall be submitted to the Sussex County Department of Planning and Zoning (All items in which a check mark appears have been received by the Department. Any items in bold have not been received and still require submittal to the Department):
 - a. **Sussex Conservation District (if ground disturbances of 5,000 square feet or greater are to occur in conjunction with the use)**
 - b. **Office of State Fire Marshal (Site Plan Review for access purposes)**

Once all of the above matters have been addressed, please provide **one (1) hard copy** and **one (1) electronic PDF copy** of a **Revised Preliminary Amenities Plan** for consideration on the next available Agenda of the Planning and Zoning Commission a minimum of **10 days in advance** of the scheduled meeting. If you wish for your project to be considered at the Planning and Zoning Commission Meeting scheduled for **Thursday, November 17th, 2022**, please submit all items no later than **Monday, November 7th, 2022**.

Please feel free to contact me with any questions during business hours 8:30 A.M. – 4:30 P.M., Monday through Friday at 302-855-7878.

Sincerely,



Ms. Lauren DeVore, AICP
Planner III



18072 Davidson Drive
 Milton, DE 19968
 T: 302-684-8030
 F: 302-684-8054

www.pennoni.com

October 31, 2022
 EGCOX22001

Ms. Lauren DeVore
 Sussex County Planning and Zoning
 2 The Circle
 Georgetown, DE 19947

RE: Preliminary Amenity Plan Submission
Atlantic East Subdivision
Camp Arrowhead Road
Tax Map # 234-18.00-31.00
Indian River Hundred

Dear Ms. DeVore,

On behalf of EVG-FT Ventures, LLC., Pennoni Associates Inc. (Pennoni) is pleased to submit the revised Preliminary Site Plan for your consideration of review and approval. We have addressed the following comments per your letter received on October 28, 2022.

We have enclosed one (1) copy of the following documents for review and approval of the project.

<i>Item</i>	<i>Description</i>	<i>Last Revised</i>
Drawings Prepared by Pennoni Associates Inc.		
SP0001	Preliminary Amenity Site Plan	11/01/2022

Preliminary Amenities Plan

- Please show the 25-ft setback from the ordinary high-water line on the plans in order to comply with Condition “I” of the Conditions of Approval.*

Pennoni Associates Response (October 31, 2022): We have added this line onto the plans with corresponding label for around the amenity area. It follows the edge of the conservation easement.
- Please include Condition “F” on the Amenities Plan: “Common area land of adjacent Bay Front at Rehoboth wraps around this site, including Bay Front at Rehoboth’s direct access to Rehoboth Bay. The Final Site Plan for this subdivision shall provide a vehicle connection from its eastern cul-de-sac to the property line of Bay Front at Rehoboth’s area for that HOA’s vehicular use for beach area maintenance, sand replenishment and emergency vehicle accessibility.”*

Pennoni Associates Response (October 31, 2022): Note has been added.
- Please include Condition “I” on the Amenities Plan: “In addition to the buffer required in Condition “H,” there shall be a 25-foot building setback from all non-tidal wetlands.”*

Pennoni Associates Response (October 31, 2022): Note has been added.
- Please include Condition “N” on the Amenities Plan: “Street design shall meet or exceed Sussex County standards. The design of the Brackish Drive cul-de-sac, including the location of the turn-*

out/turnaround areas, shall be subject to the review and approval of the Sussex County Engineering Department and the Office of the State Fire Marshal.”

Pennoni Associates Response (October 31, 2022): Note has been added.

5. *The Legend indicates that the Building Restriction Line is shown on the Plans noting the required setbacks. However, this information appears to be missing from the Plans. Please add this information to the Plans (§115-220(B)(8)) & (§115-221(B)(6)).*

Pennoni Associates Response (October 31, 2022): We have added the 10' rear BRL along the property line, but there are no other property lines of the open space area that are close enough to show it. We have added dimension labels from the proposed building to the property lines for clarity.

6. *Please include in the Title Sheet that this is County Project Reference Number 2020-13 and that the project is also “F.K.A. “Terrapin Island” & “Salt Cedars” for further clarity. Please also include this information on the Information Panel located on the right side of the Plans.*

Pennoni Associates Response (October 31, 2022): The title has been revised to clarify the previous subdivision names.

7. *Please include within the Site Data Column the Future Land Use Map Designation for the property. The Future Land Use Map Designation for the property is “Coastal Area.”*

Pennoni Associates Response (October 31, 2022): This has been added, refer to Note # 16.

8. *Please add in the Site Data Column that the project is located within the Henlopen Transportation District (TID), but due to the Application being filed before the TID was established and also as proffered as part of the record made at the public hearing, is not required to participate in the TID.*

Pennoni Associates Response (October 31, 2022): This has been added, refer to Note #26.

9. *Please amend Keyed Note “S8” from “ADA Handicap Parking Space with sign mounted on post” to “ADA Accessible Parking Space with sign mounted on post.”*

Pennoni Associates Response (October 31, 2022): The label has been revised.

10. *Please include topographic contours at one-foot intervals (or similar provision,) unless waived by the Commission as clearly unnecessary to review the project or proposal (§115-220(B)(4)).*

Pennoni Associates Response (October 31, 2022): We have added existing contours to the plan. The proposed bulk grading will be shown on the final plan.

11. *Please include the nature of all proposed grading on the Plans (§115-220(B)(5)).*

Pennoni Associates Response (October 31, 2022): See attached grading plan for amenity area.

12. *Please include the approximate sized of all recreational areas. For example, please include the size of the open space/amenities area as shown on the Plans (§115-220(B)(10)).*

Pennoni Associates Response (October 31, 2022): We have added the open space area breakdown which is now Parcel 31.00. The development area for the amenities identified in Site Data Table #18 at 0.29 acres.

Final Amenities Plan

1. *Please clarify if any further/additional landscaping is to be provided on the plans. Please note that any further landscaping to be provided shall be shown on the plans and included as part of*

any Revised Landscaping Plan and landscaping bond to be submitted for separate approval to the County. If landscaping is to be provided, please ensure that the plans are certified to by a licensed landscape architect, licensed forester, or forester designated by the Society of American Foresters as a "certified forester" (§99-5).

Pennoni Associates Response (October 31, 2022): We have added the proposed landscaping being planning for the amenity area.

2. *Please include a General Note on the plans which indicates that any proposed signage will require a separate permit issued from the County.*

Pennoni Associates Response (October 31, 2022): We have added this note, refer to General Note # 6. It is assumed that no sign will be needed for this building, but if so, they will submit separate application for sign permit.

3. *Please include the location and character of construction of all curb cuts to be provided on the plans (§115-221(B)(5)).*

Pennoni Associates Response (October 31, 2022): The proposed curbing for the development is PCC Curb and Gutter Type 2 which we have labeled and added a note regarding the depressed section for ADA access.

4. *Please include the location, height and material of all fences, walls, screen planting and landscaping, if any are to be provided (§115-221(B)(9)).*

Pennoni Associates Response (October 31, 2022): We have identified all items, the pool fence is to be 4' high as called out on the plans.

5. *Please include the size and height of all proposed signs on the plans, if any are to be provided in tandem with the use (§115-221(B)(11)).*

Pennoni Associates Response (October 31, 2022): It is assumed that no sign will be needed for this building, but if so, they will submit separate application for sign permit.

6. *Please include a Wetlands Panel with a signed and dated statement from an experienced, qualified professional on the plans confirming that the site contains no wetlands (§115-221(B)(14)).*

Pennoni Associates Response (October 31, 2022): We have added the wetland certification block onto the plan.

7. *Please include a bulk grading plan (it is understood that this material may have been submitted with the original Subdivision Plan, but staff are requesting a separate copy of these plans for the file and to fulfill Code requirements.) (§115-220(B)(17)).*

Pennoni Associates Response (October 31, 2022): See attached grading plan for amenity area.

8. *Prior to approval of the Final Amenities Plan, approval letters or letters of no objection from the following agencies shall be submitted to the Sussex County Department of Planning and Zoning (All items in which a check mark appears have been received by the Department. Any items in bold have not been received and still require submittal to the Department):*

- a. **Sussex Conservation District (if ground disturbances of 5,000 square feet or greater are to occur in conjunction with the use)**
- b. **Office of State Fire Marshal (Site Plan Review for access purposes)**

Pennoni Associates Response (October 31, 2022): Understood.

If you have any comments or need additional information, please call us at (302) 684-8030.

Sincerely,

PENNONI ASSOCIATES INC.



Alan Decktor, PE, ENV SP
Senior Engineer

CC.

U:\Accounts\EGCOX\EGCOX22001 - Terrapin Island\DELIVERABLES\PZ\2022-10-31 2nd Submission\2022-09-26 Amenity Plan Sub.docx

December 22, 2022

*Ring W. Lardner, P.E.
W. Zachary Crouch, P.E.
Michael E. Wheelleton, AIA, LEED GA
Jason P. Loar, P.E.
Jamie L. Sechler, P.E.
Michael R. Wigley, AIA, LEED AP*

Sussex County Planning & Zoning Commission
2 The Circle
Georgetown, DE 19947

Attn: Lauren DeVore, Planner III

RE: **Plover Point (F.K.A. Oak Landing)
Amenity Site Plan**
Tax Map No.:234-34.00-97.01
DBF #700C001

Dear Ms. Devore:

On behalf of the developer, Double H Development, LLC, we are pleased to submit a revised Amenity Site Plan per your comments dated December 8, 2022, to be placed on the next available, Planning Commission agenda for preliminary site plan approval. We offer the following item-by-item response:

Preliminary Amenities Plan

1. Please clarify if the structure housing the pool equipment and bathrooms is to be considered a pool house or clubhouse for additional clarity and to ensure compliance with Condition “K” of the Conditions of Approval for the original and previously approved subdivision.
[The building is to be considered a pool house. The label has been revised on the site plan.](#)
2. The Plans indicate that the property is not located within a Wellhead Protection Area. While this is true for the subject property, a portion of the property containing the Subdivision is within a Wellhead Protection Area per the County’s Online Mapping System. This may be worth noting as a General Note on the Plans or within the Site Data Column for clarity.
[The note for the Wellhead Protection Area in the data column has been revised to state that a portion of the overall property is located within a wellhead protection area, but the amenity area is not.](#)
3. Please note on the center of the Cover Sheet that this project is also formerly known as “Oak Landing.” Please also update the plan type to an Amenities Plan.
[FKA: Oak Landing has been added to the Title Sheet C-601.](#)

4. Please ensure that topographic contours are shown on the plans at one-foot intervals, unless waived by the Commission as clearly unnecessary to review the project or proposal (§115- 220(B)(4)).
The proposed contours have been shown at one-foot intervals. The existing contours (dashed lines) have been shown as well.
5. Please include on the plans the location and nature of all proposed construction, excavation, or grading, including but not limited to buildings, streets, and utilities (§115-220(220(B)(5))).
All proposed construction has been shown on the plan sheet C-603
6. Please include the size of all recreational areas on the plans. For example: Please include the size of the proposed pool, sports field, volleyball sand court and pool house/clubhouse in square feet and in acres on the plans (§115-220(B)(10)).
The size of all recreational areas has been dimensions and provided on the plans in square feet.
7. Please add to the plan the number of construction phases proposed for the project. This information may be included as a General Note on the Plans (§115-220(B)(12)).
Note #18 has been added to the General Notes on the Title Sheet C-601 stating that the amenities are to be built in one phase.
8. Please clarify in the Site Data Column that the project/property is located within Flood Zone “X” – “Areas determined to be outside the one-percent annual chance flood and outside the five-hundred-year floodplain” (§115-220(B)(14)).
The floodplain note in the Data Column has been revised to include the information about the Flood Zone “X”.
9. Please ensure that the designation of all areas proposed as Open Space are clearly shown on the plans (§115-220(B)(15)).
The amenity area has been labeled as Open Space B and has been shown on the Site Plan sheet C-603

Final Amenities Plan

1. Please clarify if any further/additional landscaping is to be provided on the plans and well as whether any screen plantings are to be provided for further privacy for the property owners of Lots 114, 115, 136 and 137 as shown on the Plans. Please note that any further landscaping to be provided shall be shown on the plans and included as part of any Revised Landscaping Plan and landscaping bond to be submitted for separate approval to the County. If landscaping is to be provided, please ensure that the plans are certified to by a licensed landscape architect, licensed forester, or forester designated by the Society of American Foresters as a “certified forester” (§99-5).
No additional landscaping is proposed for this site.
2. Please include Parking Totals within the Site Data Column. A total of 20 parking

spaces appear *to be proposed per the Plan symbology. Additionally, please clarify* on the Plans and within the Site Data Column the number of ADA accessible spaces proposed for the use. The Plans do not appear to include any ADA accessible spaces, currently. For a proposal of between 1 to 25 parking spaces, at least one (1) ADA accessible space is required for the use (IBC, 2012 Table 1106.1 “Accessible Parking Spaces”).

The proposed parking spaces have been shown in the Data Column on sheet C-601 along with the one required accessible space.

3. Please clarify if the children’s playground is to be fenced to prevent children from running into the adjacent street. If so, please clarify the type, material, and height of the fence to be provided. If no fence is to be provided, please clarify this on the Plans and if alternative barriers or means are to be included to prevent this from occurring.
The children’s playground is not proposed to be fenced.
4. If any Landscaping is proposed, please ensure that the name and signature of the Landscape Architect is included on the Plans (§115-221(B)(1)).
No additional landscaping is proposed.
5. Please include the location of all setback lines on the plans and any easements in relation to the proposed improvements on the site (§115-221(B)(6)).
The utility easements have been shown.
6. Please include the location, height and material of all fences, walls, screen planting and landscaping, if any are to be provided (§115-221(B)(9)).
No additional fences, walls, screen planting, or landscaping is proposed in this area.
7. Please include the location, character, size, height, and orientation of all proposed signs on the plans, if any are to be provided in tandem with the use (§115-221(B)(11)).
A note has been added to the General Notes on the Title Sheet C-601 stating that no signs are proposed on this plan. If signs are proposed in the future, they will be proposed by the developer.
8. Please include a Wetlands Panel with a signed and dated statement from an experienced, qualified professional on the plans confirming that the site contains no wetlands (§115-221(B)(14)).
The Wetlands Statement signature block has been added to the Title Sheet C-601.
9. Please add to the Plans within the Site Data Column, the percentage of impervious surface cover to be provided as part of the proposal (§115-221(B)(15)).
The impervious area breakdown and percentage has been added to the data column on the Title Sheet C-601.
10. Please include a bulk grading plan (it is understood that this material may have been submitted with the original Subdivision Plan, but staff are requesting a separate copy of these plans for the file and to fulfill Code requirements.) (§115-220(B)(17)).

The proposed grading is shown on sheet C-603. The original grading with the site development plans is now irrelevant as the original layout of the amenities was a placeholder and has changed to what is shown on these plans. Amenity plans are hard to finalize in the site development stages as different homebuilders have varying requirements for what amenities they provide.

11. Please include a General Note on the plans which indicates that any proposed signage will require a separate permit issued from the County.

General note #19 has been added to the General Notes on sheet C-601 stating that any proposed signage requires a separate permit from Sussex County.

12. Please include a Note in the Site Data Column that the proposed is not located within the Henlopen Transportation Improvement District (TID).

General note #20 about the Transportation Improvement District has been added to the Data Column on sheet C-601.

13. Prior to approval of the Final Amenities Plan, approval letters or letters of no objection from the following agencies shall be submitted to the Sussex County Department of Planning and Zoning (All items in which a check mark appears have been received by the Department. Any items in bold have not been received and still require submittal to the Department):

- a) Sussex Conservation District (If ground disturbances of 5,000 square feet or greater are to occur in conjunction with the use.)
- b) Office of State Fire Marshal (Site Plan Review for access purposes.)
- c) Sussex County Engineering Department (If any changes are required which will impact the Wellhead Protection Area or designated Safe Zone Area shown to encroach into the front portion of the Subdivision. It is kindly requested that this matter be verified through Engineering before this item is considered on a future Agenda for the Commission.)

The well head protection area is not impacted by the development of the amenity area. The mapped well head protection area is in excess of the designated 100-foot radius safe zone from the well location.

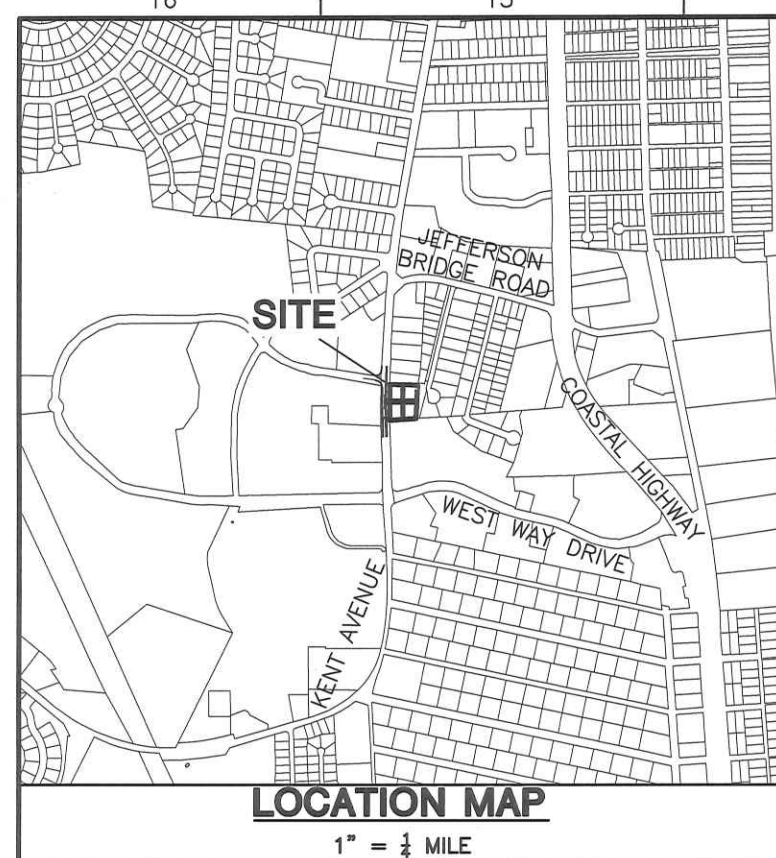
The above approvals will be provided before final site plan approval.

Should you have any questions regarding this submission, please contact me at (302) 424-1441 or via e-mail at cdm@dbfinc.com.

Sincerely,
Davis, Bowen & Friedel, Inc.



Cliff Mumford, P.E.
Associate



OWNER/DEVELOPER: CHRISTOPHER AT THE TOWNES AT WINWARD VILLAGE, LLC.
10461 WHITE GRANITE DRIVE
OAKTON, VA 22124

PREPARED BY: DAVIS, BOWEN & FRIEDEL, INC.
1 PARK AVENUE
MILFORD, DE 19963
(302) 424-1441

DATA COLUMN

TAX MAP NUMBER: 1-34-17.11-6.00

DATUM: NAVD 88
VERTICAL: NAD 83 (DE STATE PLANE)
HORIZONTAL:

EXISTING ZONING: MR
PROPOSED ZONING: MR

EXISTING USE: RESIDENTIAL
PROPOSED USE: RESIDENTIAL

EXISTING # OF LOTS: 1
PROPOSED # OF LOTS: 4

LOT #1: 10,687 SQFT.
LOT #2: 11,619 SQFT.
LOT #3: 10,917 SQFT.
LOT #4: 11,029 SQFT.
ROW DEDICATION: 648 SQFT.
TOTAL SITE AREA: 45,101 SQFT/1.035 AC.

SITE LOCATION: LAT: 38.528866, LONG: 75.063008

WETLANDS: 0.0 ACRES

FLOOD HAZARD MAP: THIS SITE IS LOCATED IN THE FEMA 100-YR FLOOD PLAIN ZONE AE (ELEV. 6), MAP #10005C0514K, DATED MARCH 16, 2015.

SETBACKS
FRONT: 30'
SIDE: 10'
REAR: 10'
MIN. LOT AREA: 10,000 SQFT.
MIN. LOT WIDTH: 75'
MIN. LOT DEPTH: 100'

UTILITIES PROVIDER
SEWER: SUSSEX COUNTY(SOUTH BETHANY SSD)
WATER: ARTESIAN WATER COMPANY, INC.

POSTED SPEED LIMIT: 35 MPH
NOT IN TRANSPORTATION IMPROVEMENT DISTRICT

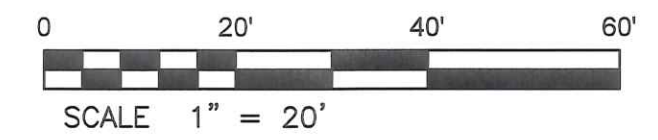
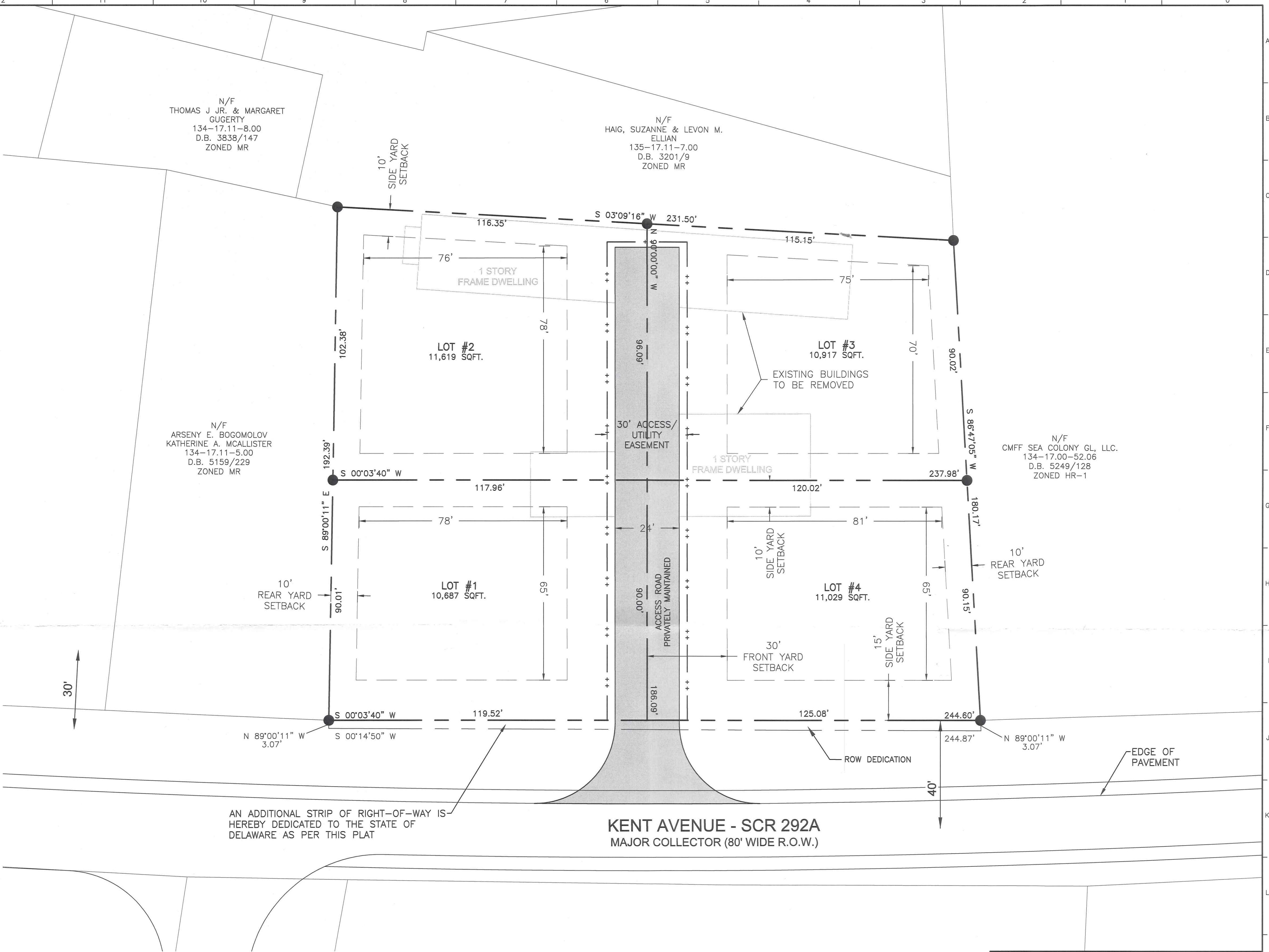
MAXIMUM BUILDING HEIGHT PERMITTED: 42' (2-1/2 STORIES)
PROPOSED BUILDING CONSTRUCTION: WOOD CONSTRUCTION

LEGEND

PROPERTY BOUNDARY LINE
PROPOSED PROPERTY LINE
PROPOSED BUILDING SETBACK LINE

BOUNDARY MONUMENT LEGEND

IPF IRON ROD/PIPE FOUND
● IRON ROD TO BE SET



NOTE:

THE TERMS AND CONDITIONS OF THE ACCESS/UTILITY EASEMENT AND ROAD SHOWN ON THIS SUBDIVISION PLOT, INCLUDING THE RESPONSIBILITY FOR ITS MAINTENANCE, SHALL BE FURTHER DESCRIBED IN A SEPARATELY RECORDED ACCESS/UTILITY EASEMENT AND MAINTENANCE AGREEMENT. THE ACCESS/UTILITY EASEMENT AND MAINTENANCE AGREEMENT DESCRIBED IN THIS NOTE WILL BE RECORDED PRIOR TO THE FIRST OUT CONVEYANCE OF ONE OF THE LOTS SHOWN ON THIS SUBDIVISION PLOT.

OWNER'S STATEMENT

I, CHRISTOPHER AT THE TOWNES AT WINWARD VILLAGE, LLC., HEREBY STATE THAT WE ARE THE OWNERS OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT OUR DIRECTION. WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN BE RECORDED ACCORDING TO LAW.

CHRISTOPHER AT THE TOWNES AT WINWARD VILLAGE, LLC. DATE: _____
10461 WHITE GRANITE DRIVE
OAKTON, VA 22124

ENGINEER'S STATEMENT

I, W. ZACHARY CROUCH, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

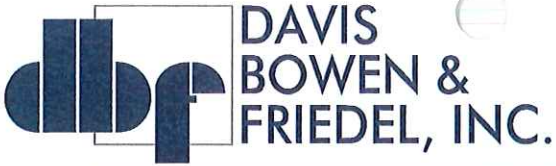
by W. ZACHARY CROUCH, P.E.
DAVIS, BOWEN & FRIEDEL, INC.
1 PARK AVENUE
MILFORD, DELAWARE, 19963 DATE: _____

**WINWARD VILLAGE
INDIAN RIVER HUNDRED
SUSSEX COUNTY, DELAWARE**

DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
SUSSEX COUNTY, DELAWARE
MILFORD, DELAWARE
EASTON, MARYLAND
(302) 424-1441
(410) 770-1744

Revised Plan

Revisions:	
Date:	JANUARY 2022
Scale:	1"=20'
Dwn.By:	JMJ
Proj.No.:	4204B001.A01
Dwg.No.:	1



ARCHITECTS • ENGINEERS • PLANNERS • SURVEYORS

Ring W. Lardner, P.E.
W. Zachary Crouch, P.E.
Michael E. Wheedleton, AIA, LEED GA
Jason P. Loar, P.E.
Jamie L. Sechler, P.E.
Michael R. Wigley, AIA, LEED AP

December 8, 2022

Sussex County Planning and Zoning Commission
County Administration Building
2 The Circle
Georgetown, DE 19947

Attn: Mr. Jamie Whitehouse
Director of Planning

RE: **Minor Subdivision-Winward Village**
Tax Parcel No.: 134-17.11-6.00
DBF #4204B001.A01

RECEIVED
DEC 13 2022
SUSSEX COUNTY
PLANNING & ZONING

Dear Mr. Whitehouse:

On behalf of our clients, Christopher at the Townes at Winward Village, LLC, we are pleased to submit the attached minor subdivision to be placed on the next agenda for the Planning Commission. Per our meeting on November 22nd, we have revised the plan to show the front setback from the 30' access/utility easement and added a note explaining the maintenance responsibility for the easement. It is our understanding that a 30' access/utility easement is permitted for four or less parcels but needs to be reviewed by Planning Commission.

Based on the above, please place this application on the next agenda for preliminary approval with staff receiving agency comments for final approval. If you need any additional information, please contact me at (302) 424-1441.

Sincerely,
DAVIS, BOWEN & FRIEDEL, INC.

A handwritten signature in black ink, appearing to read 'W. Zachary Crouch', is written over the typed name.

W. Zachary Crouch, P.E.
Principal

cc: David Hutt, Esq., Morris James. LLP