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**Sussex County**

DELAWARE  
sussexcountyde.gov

## PLEASE NOTE

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COUNTY ADMINISTRATIVE OFFICES  
2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DELAWARE



## Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, AICP, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager; Lauren DeVore, AICP, Planner III; Michael Lowrey, Planner III; Chase Phillips, Planner II; Christin Scott, Planner II; Elliott Young, Planner I & Jesse Lindenberg, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: February 1<sup>st</sup>, 2023

RE: Other Business for the February 9<sup>th</sup>, 2023, Planning Commission Meeting

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This memo provides background for the Planning Commission to consider as a part of the Other Business to be reviewed during the February 9<sup>th</sup>, 2023, Meeting of the Planning & Zoning Commission.

### **S-22-39 Southern Delaware Medical Center, LLC (C/U 2316)**

KS

Final Site Plan & Landscape Plan

This is a Final Site Plan & Landscape Plan for Southern Delaware Medical Center, LLC (C/U 2316) for the construction of a 2-story 31,600 square foot building for medical and professional uses and other site improvements. At their meeting of Tuesday, September 27<sup>th</sup>, 2022, the Sussex County Council approved a Conditional Use for multiple parcels through Conditional Use No. 2316 for the use of medical and professional office spaces. The change was adopted through Ordinance No. 2888. At their meeting of Thursday, December 15<sup>th</sup>, 2022, the Sussex County Planning and Zoning Commission approved the Preliminary Site Plan with final approval to be set by Commission. A condition was set that interconnectivity along the east property line was to be more accessible and not have any intrusion from the Landscaped Buffer. The property is located on the southeast side of Shady Road (Route 276), 0.14-mile northeast of the intersection of Shady Road and Plantations Road (Route 1D). The Final Site Plan complies with the Sussex County Zoning Code and all Conditions of Approval. Tax Parcels: 334-6.00-511.02, 511.06 & 513.00. Zoning: AR-1 (Agricultural Residential District). Staff are in receipt of all agency approvals.

### **S-22-45 Lands of Reed Ventures, LLC**

KS

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for the construction of a 2-story 15,840 square foot building with retail and office space, a 1,275 square foot proposed drive thru restaurant, parking, and landscaping along Route 1. The parcel is 1.65 acres +/- and is located on the southwest side of Coastal Highway (Route 1), in the Combined Highway Corridor Overlay Zone (CHCOZ). The property is also with the Henlopen Transportation Improvement District (TID). The Applicant has submitted a letter requesting parking to be proposed within the front setback. The Revised Preliminary Site Plan otherwise complies with the Sussex County Zoning Code. Tax Parcel: 334-6.00-479.00. Zoning: C-1 (General Commercial District). Staff are awaiting agency approvals. Should the Commission desire to act favorably on this proposal, staff are requesting final approvals to be made subject to staff upon the receipt of all agency approvals.



**(2019-29) Scenic Manor (FKA Estates at Mulberry Knoll)**

Request to Amend Conditions of Approval

The Planning and Zoning Department has received a request to amend Conditions of Approval of the Final Subdivision Plan for Scenic Manor (2019-29) as approved by the Planning & Zoning Commission at their meeting of Thursday, September 21, 2022. On January 6, 2023, staff received a formal request to amend Condition J of the Plan's approval. The Applicant requests that Condition J, requiring "Construction, site work and deliveries shall only occur on the site between the hours of 8:00AM through 5:00PM, Monday through Friday, and 8:00AM and 2:00PM on Saturdays. No Sunday hours are permitted", be amended to permit working hours of 7:00AM through 6:00PM on Monday through Friday. This AR-1 cluster subdivision contains three-hundred and nineteen (319) single-family lots on 166.83 acres +/- and is located on the east and west side of Mulberry Knoll Road (S.C.R. 284), approximately 270 feet north of Stardust Drive. Tax Parcel: 334-18.00-43.00. Zoning: AR-1 (Agricultural Residential District).

**Lank Farm District (Edwin, LLC) (S-22-10-304)**

KH

Consideration of Agricultural Preservation District

The State of Delaware Department of Agriculture has notified the Planning & Zoning Department of a new proposed Agricultural Preservation District submitted to the Delaware Agricultural Lands Preservation Foundation. The new proposed APD comprises 229.38 Acres to be located on the north and south side of Obier Road, at the corner of Obier Road and Neals School Road. Tax Parcel: 531-5.00-6.00. Zoning: AR-1 (Agricultural Residential Zoning District).

**Lands of Erbe**

HW

Minor Subdivision off a 50-ft Easement

This is a Minor Subdivision Plan for the creation of one (1) lot to consist of 1.828 acres +/-, with residual land to consist of 5.770 acres +/- . The proposed lot will have frontage to Radish Road, while the residual land will be accessed through a 50-foot access easement. The property is located on the south side of Radish Road (S.C.R. 338), approximately 0.25 mile southwest of Hickory Hill Road in Millsboro. The Minor Subdivision complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 133-20.00-49.25. Zoning: AR-1 (Agricultural Residential). Staff are in receipt of all agency approvals; therefore, this plan is eligible for preliminary and final approvals.

**Lands of Givens, Trustees**

KH

Minor Subdivision off a 50-ft Easement

This is a Minor Subdivision Plan for the creation of one (1) lot to consist of 2.0755 acres +/-, with residual land to consist of 19.2676 acres +/- . The proposed lot will be located off a 12-foot paved drive and a 50-foot access easement. The property is located on the south side of Baker Mill Road (S.C.R. 483), approximately 0.44 mile west of Fleetwood Pond Road in Seaford. The Minor Subdivision Plan complies with the Sussex County Zoning and Zoning Codes. Tax Parcel: 231-17.00-40.00. Zoning: AR-1 (Agricultural Residential District). Staff are in receipt of all agency approvals; therefore, this plan is eligible for preliminary and final approvals.

**Lands of Ponderosa Acres, LLC**

KS

Minor Subdivision off a 15-ft Easement

This is a Minor Subdivision Plan for the subdivision of a 61.47-acre +/- parcel into one (1) lot and residual lands with access off an existing 15-ft ingress/egress access easement. The Plan also proposes

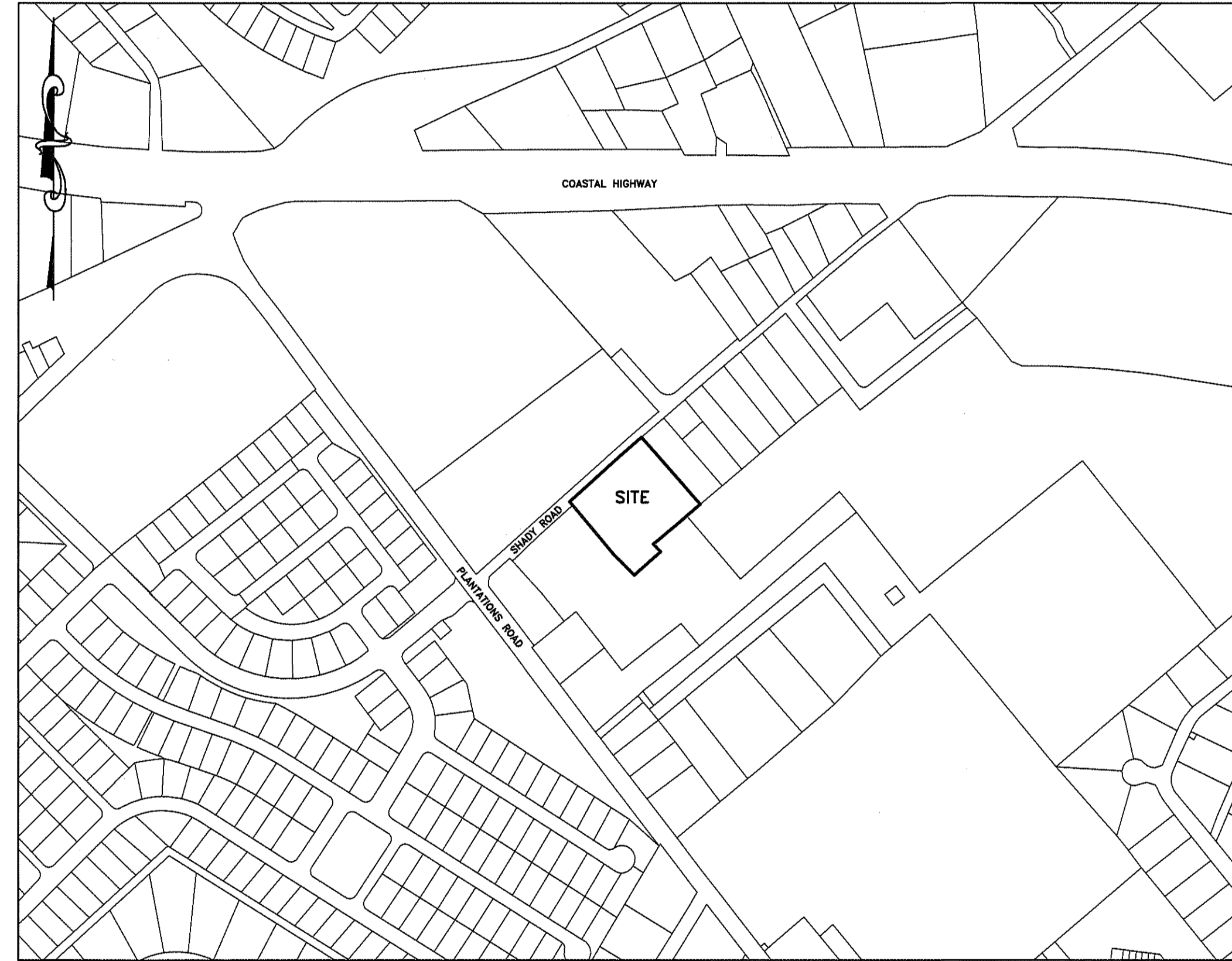
to both reconfigure and lengthen the existing easement to 906 feet. A cul-de-sac has also been provided in accordance with Chapter 99 Street Design Standards, which are required for dead-end streets greater than 300 feet in length. Proposed Lot #9 consists of 1.00 acre +/- and the residual land consists of 60.47 acres +/- . The property is located on the north side of Johnson Road (S.C.R. 207) and the east side of Route 113 (DuPont Boulevard). A shared use maintenance agreement shall be established for use of the shared access drive. The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Tax Parcel: 130-6.00-113.04. Zoning: AR-1 (Agricultural Residential District). Staff are awaiting agency approvals. Should the Commission desire to act favorably on this proposal, staff are requesting final approvals to be made subject to staff upon the receipt of all agency approvals.

# SHADY ROAD COMMERCIAL

BROADKILL RIVER WATERSHED  
LEWES AND REHOBOTH HUNDRED  
SUSSEX COUNTY, DELAWARE

DBF #2916A014  
JULY 2022

## CONSTRUCTION PLANS



LOCATION MAP  
SCALE: 1"=400'



### DATA COLUMN

**TAX MAP ID:** 3-34-6.00-511.02  
3-34-6.00-511.06  
3-34-6.00-513.00

**DEED REF:** D 5514/264

**DATUM:** NAVD 88  
**VERTICAL:** NAD 83 (DE STATE PLANE)

**EXISTING ZONING:** AR-1  
3-34-6.00-511.02 AR-1  
3-34-6.00-511.06 AR-1  
3-34-6.00-513.00 AR-1

**PROPOSED ZONING:** AR-1

**EXISTING LOTS:** 3  
**PROPOSED LOTS:** 1

**EXISTING USE:** RESIDENTIAL  
**PROPOSED USE:** COMMERCIAL

**PROPOSED CONSTRUCTION:** WOOD/CONCRETE BLOCK

**FLOOD HAZARD MAP:** THE PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA MAP 10005C031K (DATED MARCH 16, 2015).

**WETLANDS:** THE PROPERTY AS SHOWN DOES NOT CONTAIN STATE OR FEDERALLY (404 NON-TIDAL) REGULATED WETLANDS.

**SOURCE WATER PROTECTION:** PROJECT IS NOT WITHIN A WELLHEAD PROTECTION AREA. PROJECT IS NOT WITHIN THE "EXCELLENT", "GOOD" AND "POOR" GROUNDWATER RECHARGE AREAS.

**EXISTING SITE AREA:** 2.297 ACRES±  
**GROSS LEASABLE AREA:** 31,600 S.F.

**AREAS:**  
**PARKING/OPEN SPACE:** 1.651 AC.±  
**BUILDING AREA:** 0.364 AC.±  
**R.O.W. DEDICATION:** 0.040 AC.±  
**IMPERVIOUS COVER:** 1.484 AC.± (65%)  
**NET DEVELOPMENT AREA:** 0.773 AC.± (34%)

**SETBACK REQUIREMENTS:**  
**FRONT YARD:** 60 FT.  
**SIDE YARD:** 20 FT.  
**REAR YARD:** 30 FT.

**PARKING:**  
**REQUIRED:** 1 SPACE PER 200 S.F.  
25,280 S.F. / 200 S.F. = 126.40 SPACES OR 127 SPACES  
TOTAL REQUIRED SPACES = 127  
**PROVIDED:** 127 SPACES INCLUDING 4 HANDICAPPED ACCESSIBLE

**LOADING:**  
**REQUIRED:** 2 LOADING SPACES ARE REQUIRED FOR 25,000 - 100,000 S.F.  
**PROVIDED:** 1 LOADING SPACE PROVIDED, 1 LOADING SPACE WAIVED

**PROPOSED MAXIMUM BUILDING HEIGHT:** 42 FT. (3-1/2 STORIES)

**PROPOSED CONSTRUCTION PHASES:** 1

**SANITARY SEWER:** WEST REHOBOTH EXPANSION OF THE DEWEY BEACH SSD

**WATER SUPPLY:** TIDEWATER UTILITIES, INC.

**TID DISTANCE:** INSIDE HENLOPEN TID (IN OPERATION)

**STATE INVESTMENT LEVEL:** 1

**OWNER/DEVELOPER:**  
SOUTHERN DELAWARE MEDICAL CENTER, LLC  
859 GOLF LINKS LANE  
MAGNOLIA, DE 19962  
**CONTACT:** G. MICHAEL GLICK  
PHONE: 302-677-1965  
EMAIL: MGLICK@LHCONSTRUCTION.COM

**PREPARED BY:**  
DAVIS, BOWEN & FRIEDEL, INC.  
1 PARK AVE.  
MILFORD, DE 19963  
PHONE: 302-424-1441  
FAX: 302-424-0430

BENCHMARK INFORMATION			
Bm#	DESCRIPTION	LOCATION	ELEVATION
1	IRON ROD W/CAP	N:271653.3047 E:726704.5612	26.13' (NAVD 88)

INDEX OF SHEETS	
C-001	TITLE
C-002	LEGEND
C-003	GENERAL NOTES
C-101	SITE PLAN
C-102	SITE DETAILS
C-201	STORMWATER PIPE PROFILES
C-301	GRADING PLAN
C-401 - C-409	STORMWATER MANAGEMENT PLANS
C-501	UTILITY PLAN
C-502	UTILITY PROFILES
C-504	SEWER DETAILS
C-505	WATER DETAILS
Y-101	RECORD TITLE
Y-102	RECORD PLAN

### OWNER/DEVELOPER STATEMENT

I, THE UNDERSIGNED, HEREBY STATE THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN BE RECORDED ACCORDING TO LAW.

SOUTHERN DELAWARE MEDICAL CENTER, LLC \_\_\_\_\_ DATE  
859 GOLF LINKS LANE  
MAGNOLIA, DE 19962

### ENGINEER'S STATEMENT

I, JAMIE L. SECHLER, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

by JAMIE L. SECHLER, P.E. \_\_\_\_\_ DATE  
DAVIS, BOWEN & FRIEDEL, INC.  
1 PARK AVE.  
MILFORD, DELAWARE, 19963

DAVIS  
BOWEN &  
FRIEDEL, INC.  
ARCHITECTS - ENGINEERS - SURVEYORS  
MILFORD, DELAWARE 302-424-1444  
BALTIMORE, MARYLAND 410-770-4744

SHADY ROAD COMMERCIAL  
OFFICE BUILDING  
SUSSEX COUNTY, DELAWARE

DATE	COMMENTS

Date: JULY 2022  
Scale: AS NOTED  
Dwn.By: RPK  
Proj.No.: 2916A014

TITLE  
C-001

MANMADE ROADSIDE FEATURES			
FEATURE DESCRIPTION	EXISTING	PROPOSED	ID
BOLLARD	○	●	
CURB, TYPE 1 AND 3	=====	=====	(C)
CURB OPENING WITH SIDEWALK			(C/SW)
FENCE - CHAINLINK OR STRANDED	-x-x-x-x-	-□-□-□-□-	(F)
LAMP AND POST - RESIDENTIAL			
MAILBOX			
TRAFFIC SIGN AND POST			
CURB OPENING			(C/O)

DRAINAGE FEATURES			
FEATURE DESCRIPTION	EXISTING	PROPOSED	ID
FLARED END SECTION			(FE)
DRAINAGE MANHOLE	⊙		(MH)
DRAINAGE INLET	□		(DI)
DIRECTIONAL FLOW ARROW	→		
RIPRAP			(RR)
DRAINAGE PIPE	=====	=====	(P)
UNDERDRAIN			(UD)
UNDERDRAIN OUTLET			(UDO)
SAFETY END SECTION			(SES)
BIOFILTRATION SWALE		-x-...-BFS-...-x-	
DITCH CENTERLINE	-x-x-x-	-x-x-x-	
DRAINAGE JUNCTION BOX	J.B.		(JB)
DRAINAGE PIPE HEADWALL			

IDENTIFIERS	
FEATURE DESCRIPTION	ID
ABANDON BY CONTRACTOR	(AB/C)
ABANDON BY OTHERS	(AB/O)
ADJUST BY CONTRACTOR	(A/C)
ADJUST BY OTHERS	(A/O)
CONVERT TO JUNCTION BOX	(CJB)
CONVERT TO DRAINAGE MANHOLE	(CMH)
DO NOT DISTURB	(DND)
PEDESTRIAN CONNECTION/TYPE	(PC)
PEDESTRIAN CONNECTION/TYPE WITHOUT DETECTABLE WARNING SYSTEM	(PC-N)
RELOCATE BY CONTRACTOR	(R/C)
RELOCATE BY OTHERS	(R/O)
REMOVE BY CONTRACTOR	(RM/C)
REMOVE BY OTHERS	(RM/O)

UTILITY FEATURES		
FEATURE DESCRIPTION	EXISTING	PROPOSED
ELECTRIC - UNDERGROUND	UG-E	
ELECTRIC MANHOLE	⊙	
ELECTRIC METER	EM	
ELECTRIC TRANSFORMER	□	□
GAS - UNDERGROUND	UGG	UGG
GAS MANHOLE	⊙	
GAS METER	G.M.	
LIGHT POLE		
GAS VALVE	G.V.	
RAILROAD TRACKS		
SANITARY MAIN		
SANITARY SEWER MANHOLE	⊙	○
SOIL BORING LOCATION		
TELEPHONE TEST POINT	TT	
UTILITY POLE GUY WIRE ANCHOR	↔	↔
UTILITY POLE	⊙	⊙
WATER MAIN		
WATER - FIRE HYDRANT	+	
WATER VALVE	+	+
WATER METER/LATERAL		
SANITARY SEWER CLEANOUT/LATERAL	⊙	

NATURAL FEATURES		
FEATURE DESCRIPTION	EXISTING	PROPOSED
HEDGEROW OR THICKET		
SHRUBBERY		*
TREE - CONIFEROUS		
TREE - DECIDUOUS		
TREE LINE		
CONTOUR ELEVATION & LABEL	-33-	-33-
ELEVATION	44.70	21.96

RIGHT-OF-WAY FEATURES		
FEATURE DESCRIPTION	EXISTING	PROPOSED
PERMANENT EASEMENT	== ++ == ++ ==	== ++ == ++ ==
PROPERTY LINE	=====	=====
RIGHT-OF-WAY BASELINE	1+00	1+00
RIGHT-OF-WAY LINE	-----	-----
TAX DITCH RIGHT OF WAY		--- TAX RW ---
DELDOT PERMANENT EASEMENT	--- PE ---	--- PE ---
TEMPORARY CONSTRUCTION EASEMENT		--- TCE ---

SURVEY CONTROL & MONUMENTATION		
FEATURE DESCRIPTION	EXISTING	PROPOSED
SURVEY BENCHMARK LOCATION		
IRON ROD WITH CAP SET		•
CONCRETE MONUMENT	CMF	
IRON PIPE FOUND	IPF	
IRON ROD FOUND	IRF	

MISCELLANEOUS FEATURES		
FEATURE DESCRIPTION	EXISTING	PROPOSED
LIMIT OF DISTURBANCE		--- LOD ---
WETLAND BOUNDARY - DELINEATED	--- Ψ --- Ψ ---	--- Ψ --- Ψ ---

DAVIS BOWEN & FRIEDEL, INC.  
ARCHITECTS - ENGINEERS - SURVEYORS  
MILFORD, DELAWARE  
SALISBURY, MARYLAND  
410.707.4744

SHADY ROAD COMMERCIAL  
OFFICE BUILDING  
SUSSEX COUNTY, DELAWARE

DATE	COMMENTS

Date: JULY 2022  
Scale: AS NOTED  
Dwn.By: RPK  
Proj.No.: 2916A014

LEGEND  
Dwg.No.: C-002

**CIVIL PLAN GENERAL NOTES**

- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND SHALL APPRISE AND COORDINATE DURING ALL PHASES OF CONSTRUCTION:  
 SUSSEX COUNTY ENGINEERING DEPARTMENT 302-855-7718  
 DAVIS, BOWEN & FRIEDEL, INC. 302-424-1441  
 SUSSEX CONSERVATION DISTRICT 302-856-2105  
 DEPARTMENT OF TRANSPORTATION, SOUTH DISTRICT PERMITS SUPERVISOR 302-853-1342  
 TIDEWATER UTILITIES, INC. 877-720-9272
- ORIGINAL BOUNDARY AND TOPOGRAPHIC SURVEY WAS PERFORMED BY DAVIS, BOWEN & FRIEDEL, INC. JULY 2021.
- CONTRACTOR SHALL PROVIDE STAKEOUT NECESSARY FOR THE INSTALLATION OF UTILITIES, STORM DRAINS, PAVING AND ALL OTHER SITE WORK INCLUDED IN THESE PLANS. ALL STAKEOUT WORK IS TO BE PERFORMED UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF DELAWARE.
- THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEVIATION FROM THESE PLANS UNLESS WRITTEN APPROVAL HAS BEEN PROVIDED BY THE ENGINEER.
- ACCORDING TO FEMA FLOOD INVENTORY MAP #1000500331K, DATED MARCH 16, 2015, THE SITE IS IMPACTED BY THE 100 YEAR FLOODPLAIN.
- THE CLUBHOUSE PLANS FOR THE SUBDIVISION WILL BE PROVIDED IN A SEPARATE SUBMISSION.

**DRAINAGE, GRADING AND SEDIMENT CONTROL GENERAL NOTES**

- ALL STORM DRAIN PIPING, INLET, MANHOLE, AND END SECTION INSTALLATION SHALL BE IN ACCORDANCE WITH SUSSEX COUNTY CONSTRUCTION STANDARDS.
- ALL STORM DRAIN DESIGNATED AS RCP IS TO BE REINFORCED CONCRETE PIPE, MEETING AASHTO M 170 SPECIFICATIONS, STORM DRAIN SEE PIPE SCHEDULE FOR PIPE CLASSIFICATION.
- PIPE SPAN LENGTHS ARE MEASURED FROM C/L OF STRUCTURE TO C/L OF STRUCTURE, WHERE APPLICABLE ARE ROUNDED TO THE NEAREST FOOT.
- ALL SEALS MUST BE WATERTIGHT WITH NON SHRINK GROUT OR RUBBER GASKETS AND CONCRETE STRUCTURES MUST BE PRECAST OR POURED IN PLACE.
- CONTRACTOR SHALL GRADE, TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS OF CONSTRUCTION, INCLUDING PIPE INSTALLATION OR DITCH CONSTRUCTION. EROSION CONTROL MATTING SHALL BE PROVIDED ON ALL SLOPES GREATER THAN 3:1.
- THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL MEASURES TO PROTECT STOCKPILE AREAS AND STORAGE AREAS. ALL AREAS USED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR UPON COMPLETION OF THE PROJECT. IF THE STAGING AREA IS PAVED, IT SHALL BE RESTORED TO ITS ORIGINAL CONDITION. IF THE STAGING AREA IS UNPAVED, IT SHALL BE RE-GRADED, TOPSOILED, SEEDED AND MULCHED TO THE SATISFACTION OF THE ENGINEER. ALL COSTS ASSOCIATED WITH RESTORATION OF THE STAGING AREA SHALL BE AT THE CONTRACTOR'S EXPENSE. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- EQUIPMENT AND/OR STOCKPILE MATERIAL SHALL NOT BE STORED IN THE DRIPLINE AREA OF ANY TREE.
- IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY THE SUSSEX CONSERVATION DISTRICT.
- CORRUGATED POLYETHYLENE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH DELDOT SPECIAL PROVISIONS 6125XX.
- ADDITIONAL EROSION AND SEDIMENT CONTROL NOTES CAN BE FOUND ON THE EROSION AND SEDIMENT CONTROL PLANS.
- A TEN (10) FOOT STRIP IS HEREBY RESERVED AS AN EASEMENT FOR DRAINAGE AND UTILITIES ALONG ALL STREET RIGHT OF WAYS, FRONT, SIDE AND REAR LOT LINES.

**DEMOLITION AND SAFETY GENERAL NOTES**

- MISS UTILITY OF DELMARVA SHALL BE NOTIFIED THREE CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
- EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48 HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA.
- THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE ROAD WAY, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL, REGULATORY, WARNING AND INFORMATIONAL SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE. THE COST SHALL BE INCLUDED IN THE COST OF ITEMS BID.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION. THE CONTRACTOR SHALL ERCT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
- DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM. ADDITIONAL COSTS WILL BE NEGOTIATED WITH THE OWNER.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL WORK MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.

**INTERNAL PAVING / CONCRETE NOTES**

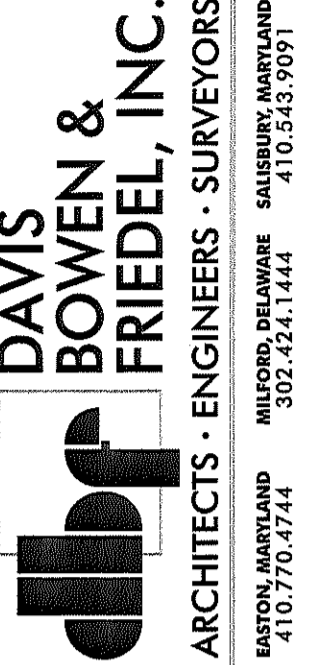
- BITUMINOUS CONCRETE SHALL BE INSTALLED IN ACCORDANCE WITH THE 2001 D01DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION INCLUDING SPECIAL PROVISIONS:  
 1.1. SECTION 401 FOR PLACEMENT OF TACK COAT AND BITUMINOUS CONCRETE.  
 1.2. BITUMINOUS CONCRETE SHALL BE FROM A DELDOT APPROVED PLANT.  
 1.3. BITUMINOUS CONCRETE SHALL NOT BE APPLIED WHEN THE TEMPERATURE IS BELOW 40° F OR ON ANY WET OR FROZEN SURFACE.
- ALL DISTURBED AREAS NOT COVERED WITH IMPERVIOUS MATERIAL, SHALL BE TOPSOILED (6" MINIMUM), FERTILIZED, SEEDED AND MULCHED.
- ALL SIGNING AND MAINTENANCE OF TRAFFIC IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL FOLLOW THE DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
- DESIGN, FABRICATION, AND INSTALLATION OF ALL PERMANENT SIGNING SHALL BE AS OUTLINED IN THE DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
- FOR FINAL PERMANENT PAVEMENT MARKINGS, EPOXY RESIN PAINT SHALL BE REQUIRED FOR LONG LINE STRIPING AND THERMO WILL BE REQUIRED FOR SHORT LINE STRIPING, I.E. SYMBOLS/LEGENDS.
- ALL TRAFFIC CONTROL DEVICES SHALL BE IN NEW OR REFURBISHED CONDITION, SHALL COMPLY WITH THE 2011 DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION), AND SHALL BE NCHRP - 350 APPROVED AND SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED IN GOOD CONDITION FOR DURATION OF USE.
- BREAKAWAY POSTS SHALL BE USED WHEN INSTALLING ALL SIGNS. DETAIL CAN BE FOUND IN DELDOT'S STANDARD CONSTRUCTION DETAILS.
- PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT PAVING IS INSTALLED TO THE ELEVATIONS SHOWN AND THAT NO PONDING OF WATER EXISTS AFTER PAVING IS COMPLETE. PONDING IS DEFINED AS WATER STANDING IN AN AREA MORE THAN 1 HOUR AFTER A RAINFALL EVENT THAT PRODUCES RUNOFF. ELIMINATION OF PONDING WILL BE COMPLETED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- OPEN-CUT TRENCHES AND PROVIDE PAVEMENT RESTORATION IN ACCORDANCE WITH DELDOT STANDARDS AND SPECIFICATIONS.
- CONCRETE SHALL BE PLACED IN ACCORDANCE WITH DELDOT STANDARD SPECIFICATIONS.

**POTABLE WATER DISTRIBUTION GENERAL NOTES**

- TIDEWATER UTILITIES RESIDENT PROJECT REPRESENTATIVE SHALL BE ON-SITE AT ALL TIMES WHEN THE CONTRACTOR IS INSTALLING AND/OR TESTING THE WATER DISTRIBUTION AND HOUSE SERVICE SYSTEM.
- THE DEVELOPER SHALL PURCHASE THE METER PIT FROM TIDEWATER UTILITIES AND INSTALL IT IN ACCORDANCE WITH TIDEWATER UTILITIES STANDARDS AND SPECIFICATIONS.
- ALL WORK MUST BE IN CONFORMANCE WITH TIDEWATER UTILITIES STANDARDS AND SPECIFICATIONS.
- ALL WORK MUST BE HYDROSTATICALLY TESTED AND THEN DISINFECTED. CONTRACTOR SHALL SUPPLY ALL MATERIALS TO TEST AND DISINFECT THE SYSTEM. CONTRACTOR IS REQUIRED TO OBTAIN A CERTIFICATE TO OPERATED FROM DHSS OFFICE OF DRINKING WATER.
- ALL AREAS DISTURBED SHALL BE RESTORED TO THEIR ORIGINAL CONDITION. IF ADDITIONAL WORK IS REQUIRED IN THE FUTURE THEN THE AREA SHALL BE STABILIZED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLANS.
- WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM SEWER MAINS. WATER CROSSING SEWER MAINS SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 18" TO OUTSIDE OF PIPES. IF AN 18" CLEARANCE CANNOT BE OBTAINED, A 10 LINEAR FOOT CONCRETE ENCASEMENT SHALL BE USED ON THE SEWER MAIN.
- THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF CONTRACT DRAWINGS ON WHICH HE SHALL NOTE, IN RED, THE ALIGNMENTS AND INVERTS OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK. ALL DISCREPANCIES BETWEEN THE PLAN LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE AS-BUILT DRAWINGS TO BE MAINTAINED BY THE CONTRACTOR IN THE FIELD.
- PLAN LOCATIONS AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE SPECIFIED BY THE ENGINEER. THE CONTRACTOR SHALL ADJUST WATERLINE LOCATIONS AS REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
- THE DEVELOPER SHALL CONFIRM THE LOCATION OF VALVES BETWEEN PHASES OF THE WATER SYSTEM TO FACILITATE CONSTRUCTION OF FUTURE PHASES OF THE DEVELOPMENT.
- ALL TIDEWATER UTILITIES, INC. WATER MAINS 6" AND UP SHALL BE C-909 CL235. WATER MAINS 4" SHOULD BE C-900 DR18 PVC.
- THE OWNER SHALL BE REQUIRED TO PROVIDE A REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY (RPBP) FOR THE DOMESTIC AND FIRE SERVICE LINES. FOR THE DOMESTIC SERVICE, THE RPBP IS TO BE INSTALLED AFTER THE WATER METER AND PRIOR TO THE FIRST BRANCH LINE IN THE PLUMBING SYSTEM. FOR THE FIRE SERVICE, THE RPBP IS TO BE INSTALLED AFTER THE FIRE SERVICE SHUTOFF VALVE AND PRIOR TO THE FIRST BRANCH IN THE PLUMBING SYSTEM. THE RPBP MUST BE ASSE 1013 CERTIFIED AND IT MAY EITHER BE LOCATED INSIDE THE BUILDING OR OUTSIDE IN AN ABOVE GROUND ENCLOSURE.

**SANITARY SEWER GENERAL NOTES**

- CONTRACTOR SHALL PROVIDE STAKEOUT SURVEY NECESSARY FOR THE INSTALLATION OF UTILITY WORK AND APPURTENANCES AS REQUIRED PER SUSSEX COUNTY ENGINEERING DEPARTMENT, STANDARDS AND SPECIFICATIONS.
- SANITARY SEWER CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH SUSSEX COUNTY ENGINEERING DEPARTMENTS, STANDARDS AND SPECIFICATIONS AND DETAILS.
- ALL SANITARY SEWER MATERIALS AND APPURTENANCES SHALL MEET OR EXCEED THOSE REQUIRED BY SUSSEX COUNTY ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS AND DETAILS.
- SANITARY SEWER LATERAL SHALL BE 6" SDR-35 PVC (UNLESS OTHERWISE NOTED). SEWER LATERAL SHALL INCLUDE A 6" CLEANOUT, WYE, AND CAP JUST INSIDE THE RIGHT-OF-WAY LINE OR UTILITY EASEMENT. LATERAL FOR BATH HOUSE & POOL SHALL BE 8".
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- TOP OF MANHOLE ELEVATIONS ARE TOP OF MANHOLE FRAME AND COVER.
- PIPE SPAN LENGTHS ARE MEASURED FROM C/L OF STRUCTURE TO C/L OF STRUCTURE, WHERE APPLICABLE ARE ROUNDED TO THE NEAREST FOOT.
- THE CONTRACTOR SHALL FIELD VERIFY INVERTS AND LOCATION OF EXISTING SANITARY SEWER MAINS OR MANHOLES TO WHICH NEW CONSTRUCTION WILL CONNECT.
- THE SEWER LATERAL SHALL HAVE A MINIMUM COVER OF 3.0 FEET FROM PROPOSED GRADE, AS MEASURED FROM THE TOP OF PIPE.
- THE CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH OR ACCESS PITS WHICH CAN BE BACKFILLED AND STABILIZED AT THE END OF EACH WORKING DAY. STEEL PLATES SHALL BE USED ON ANY TRENCH OR ACCESS PITS WHICH MUST REMAIN OPEN OVERNIGHT. THIS REQUIREMENT DOES NOT APPLY TO AREAS COMPLETELY CLOSED AND SECURE FROM VEHICULAR OR PEDESTRIAN TRAFFIC.
- FINAL APPROVED SET OF PLANS AND SPECIFICATIONS SHALL BE MAINTAINED ON THE JOB SITE. FAILURE TO COMPLY WITH THIS PROVISION SHALL BE CONSIDERED CAUSE TO STOP THE WORK.
- THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF CONTRACT DRAWINGS ON WHICH HE SHALL NOTE, IN RED, THE ALIGNMENTS AND INVERTS OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK. ALL DISCREPANCIES BETWEEN THE PLAN LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE AS-BUILT DRAWINGS TO BE MAINTAINED BY THE CONTRACTOR IN THE FIELD.
- THE CONTRACTOR SHALL TAKE PRECAUTIONS TO LOCATE PROPERTY LINES, EASEMENTS, AND RIGHT-OF-WAY LINES PRIOR TO CONSTRUCTION AND AVOID CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY AND/OR RIGHTS OF WAYS WHERE SAID CONSTRUCTION IS PROHIBITED. THE CONTRACTOR MAY CONDUCT CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY PROVIDED HE HAS OBTAINED PRIOR WRITTEN PERMISSION FROM THE PROPERTY OWNER AND HAS SUBMITTED A COPY OF SAID WRITTEN PERMISSION TO SUSSEX COUNTY ENGINEERING DEPARTMENT. ANY DISTURBED AREAS BEYOND THE RIGHT-OF-WAY OR EASEMENT LINES SHALL BE RESTORED IMMEDIATELY TO THEIR ORIGINAL CONDITION. PAYMENT FOR THIS WORK SHALL BE INCLUDED IN THE COST OF ITEMS BID.
- ALL TESTING AND INSPECTION SHALL BE PERFORMED IN ACCORDANCE WITH THE SUSSEX COUNTY ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS.
- ALL SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC), SDR 35 OR DUCTILE IRON (EPOXY COATED) PIPE (DIP), CLASS 52. ALL DIP SHALL HAVE AN BITUMINOUS COATING ON THE OUTSIDE SURFACE. ALL FITTINGS SHALL BE SDR-26.
- ALL PIPE SHALL HAVE DETECTOR TAPE AS REQUIRED BY THE SUSSEX COUNTY ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS.
- SEWER AND FORCE MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM WATER MAINS. SEWER CROSSING WATER MAINS SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 18" TO OUTSIDE OF PIPES. IF AN 18" CLEARANCE CANNOT BE OBTAINED, A 10 LINEAR FOOT CONCRETE ENCASEMENT SHALL BE USED ON THE SEWER MAIN.
- IF A MANHOLE IS LOCATED IN A CROSSWALK, SIDEWALK OR MULTI-USE PATH, YOU MUST APPLY ADA COMPLIANT MAHOLE COVER (SUSSEX COUNTY DETAIL EJ 1970C REV. 4/14/21)
- POOL HOUSE LATERAL SHALL BE 8"
- CONTRACTOR TO PERFORM A SANITARY SEWER BY-PASS FROM EXIST. SMH-1 TO THE PUMP STATION TO ALLOW FOR THE INSTALLATION OF PROPOSED MANHOLE SS-101.



**SHADY ROAD COMMERCIAL OFFICE BUILDING**  
 SUSSEX COUNTY, DELAWARE

DATE	COMMENTS

Date: JULY 2022  
 Scale: AS NOTED  
 Dwn.By: RPK  
 Proj.No.: 2916A014

**GENERAL NOTES**

Dwg.No.: **C-003**

N/F  
 SHADY ROAD HOLDINGS LLC  
 TAX MAP 334-6.00-511.00  
 DEED: 4960/294  
 ZONED: MR

**SITE LEGEND:**

- (A) 9'x18' HANDICAP PARKING SPACE WITH SIGN
- (B) CONCRETE SIDEWALK
- (C) PRECAST CONCRETE WHEEL STOP
- (D) STOP SIGN & 16" STOP BAR
- (E) DUMPSTER PAD (15'x12' W/ENCLOSURE)
- (F) LIGHT POLE
- (G) 6' CROSSWALK

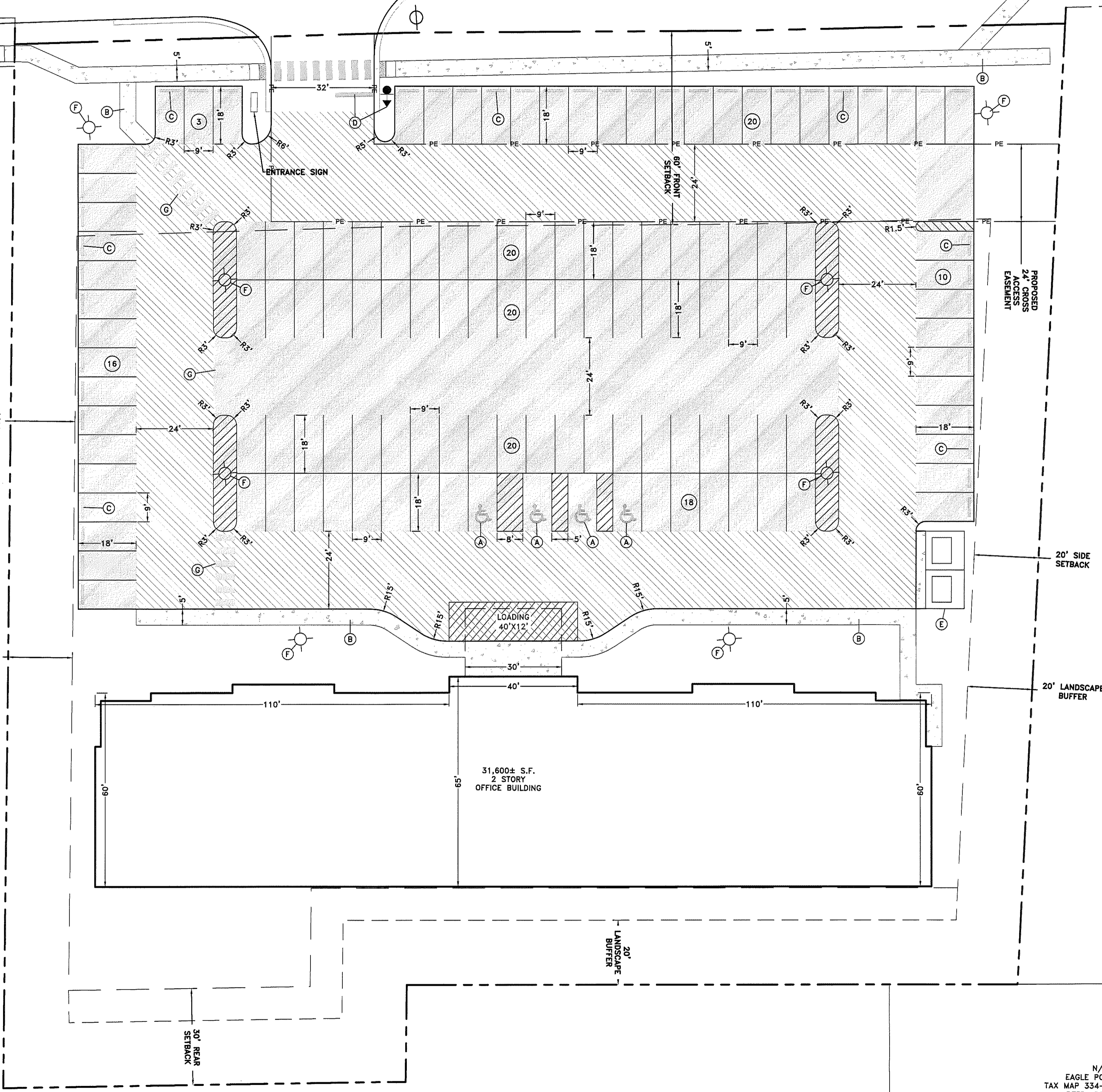
**LIGHT POLE NOTE**  
 THE POLE LIGHTS SHALL BE SHIELDED TO KEEP SPILLOVER LIGHTING FROM IMPACTING THE ADJACENT RESIDENTIAL AREAS.

**SITE HATCH LEGEND:**

- PROPOSED CONCRETE
- PROPOSED LIGHT DUTY PAVEMENT SECTION (SEE DETAIL ON SHEET C-102)
- PROPOSED HEAVY DUTY PAVEMENT SECTION (SEE DETAIL ON SHEET C-102)

20' SIDE SETBACK

20' LANDSCAPE BUFFER



N/F  
 MICHAEL W. SHAWN  
 TAX MAP 334-6.00-511.03  
 DEED: 914/297  
 ZONED: AR-1

N/F  
 EAGLE POINT LLC  
 TAX MAP 334-6.00-525.00  
 DEED: 5073/279  
 ZONED: AR-1

DATE	COMMENTS

Date: JULY 2022  
 Scale: 1"=20'  
 Dwn.By: DJR  
 Proj.No.: 2916A014

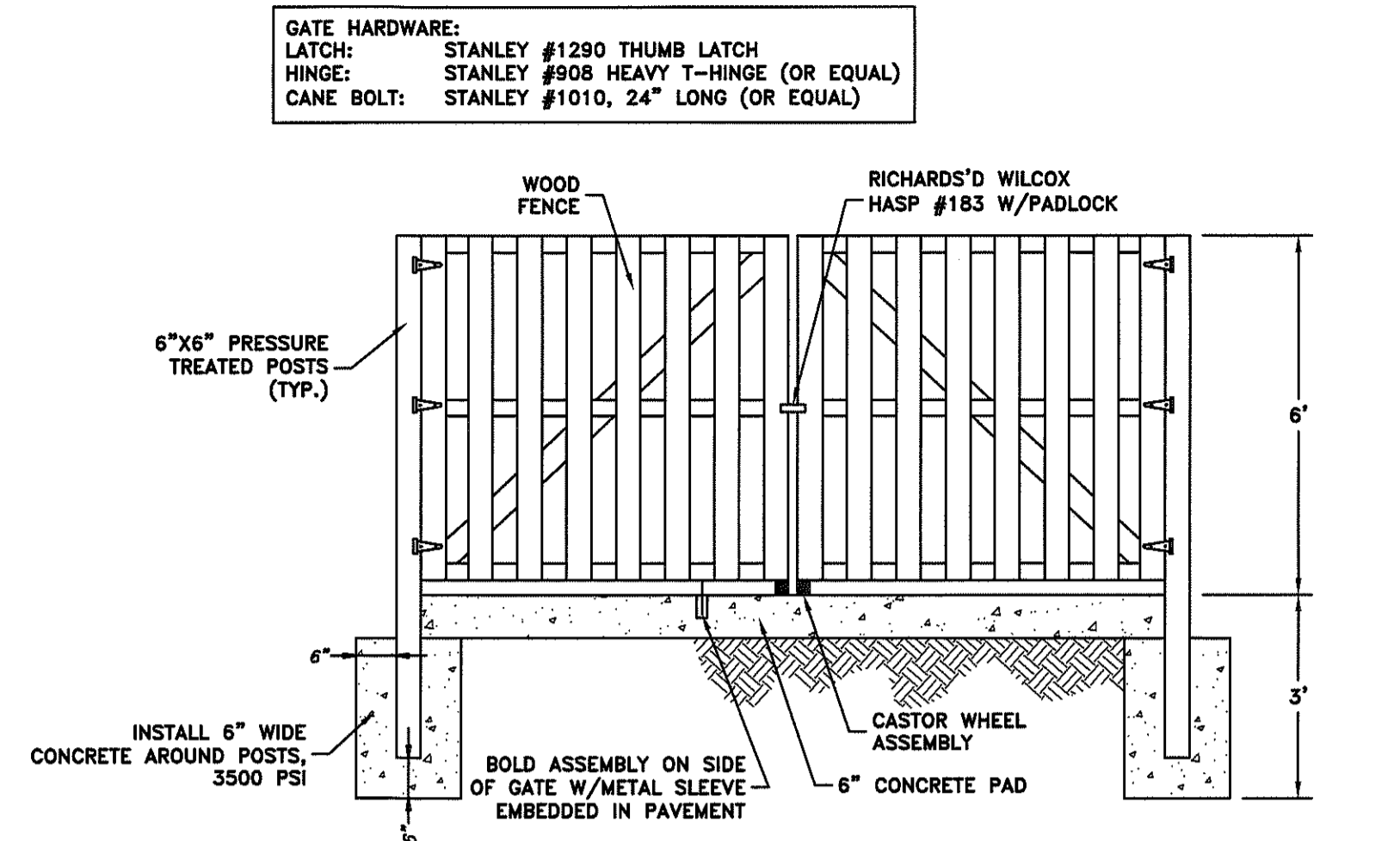
**SITE PLAN**

Dwg.No.:

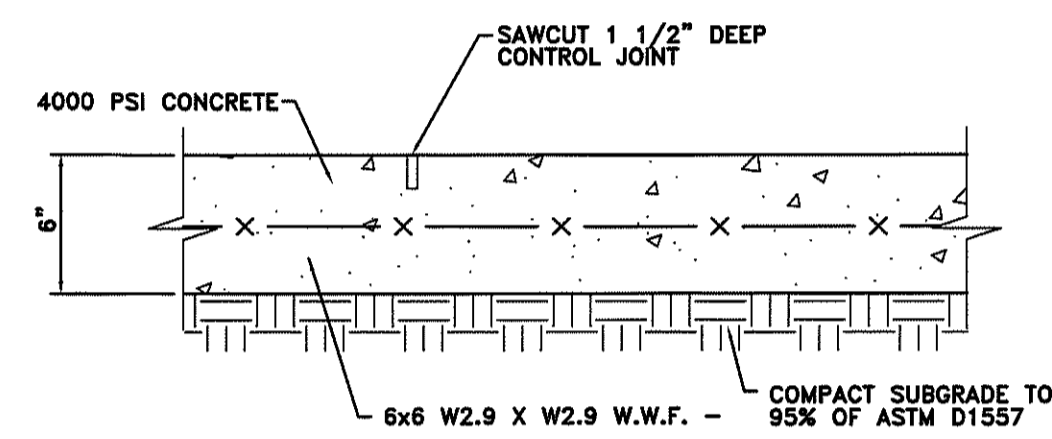
**C-101**



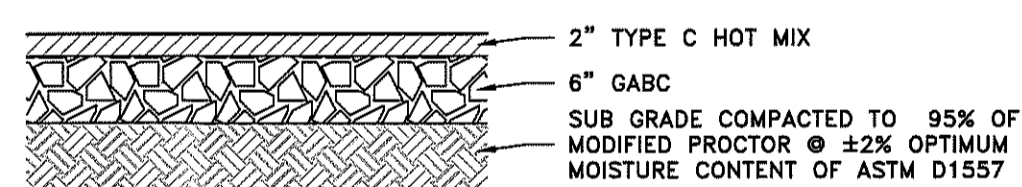




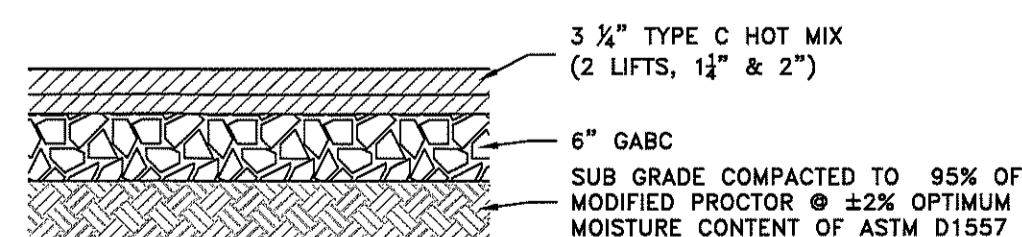
**DUMPSTER PAD ENCLOSURE GATE/FENCE DETAIL**  
 NOT TO SCALE



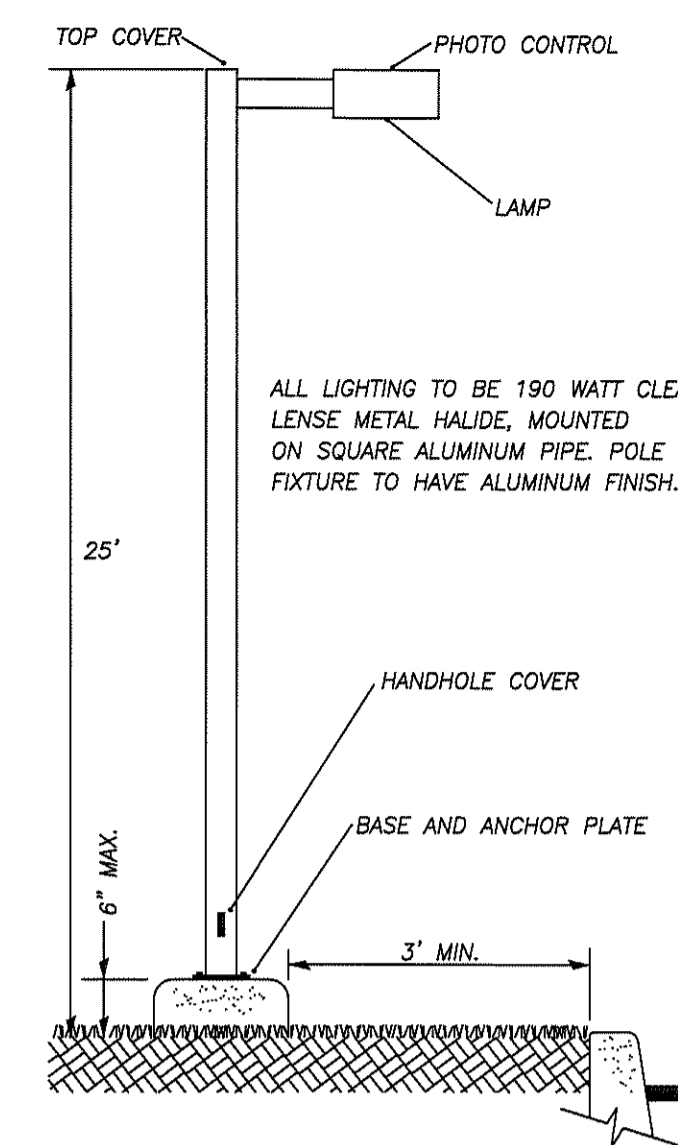
**DUMPSTER PAD DETAIL**  
 NOT TO SCALE



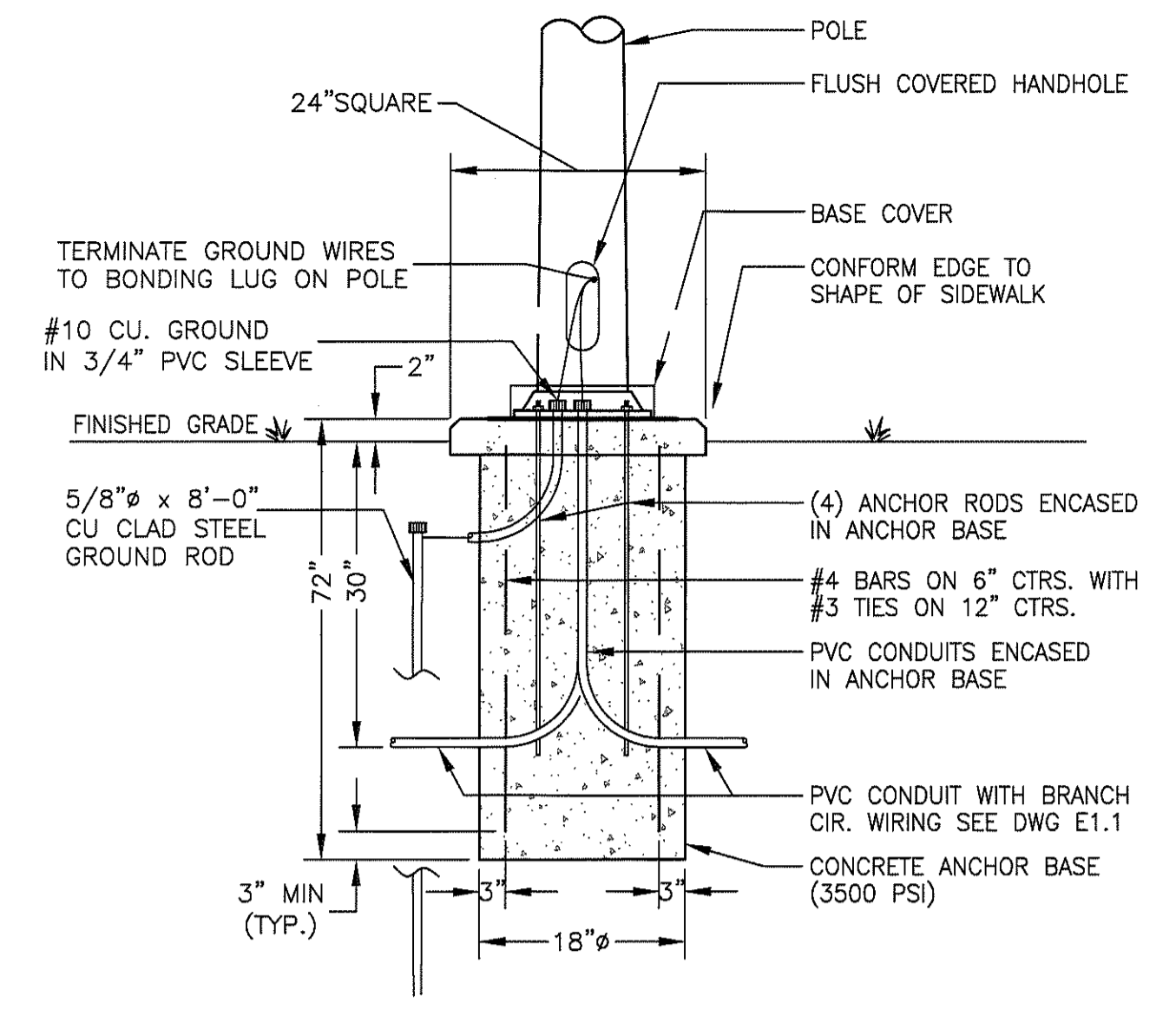
**LIGHT DUTY PAVEMENT SECTION**  
 (PARKING STALLS)  
 PROPOSED STRUCTURAL NUMBER = 1.36



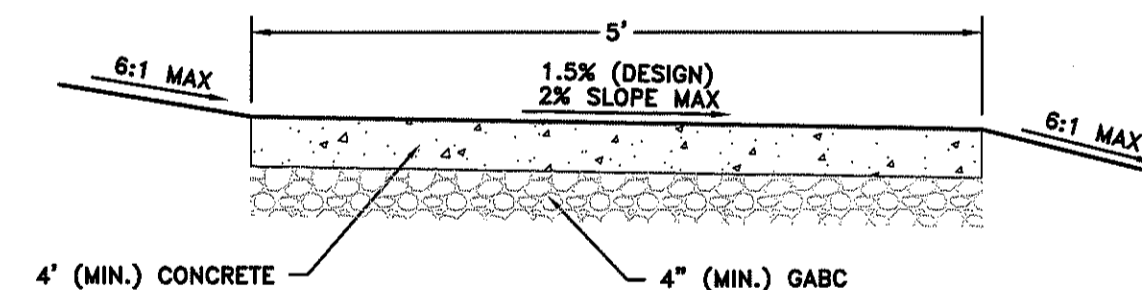
**HEAVY DUTY PAVEMENT SECTION**  
 (FIRE LANE AND ENTRANCE LANE)  
 PROPOSED STRUCTURAL NUMBER = 2.14



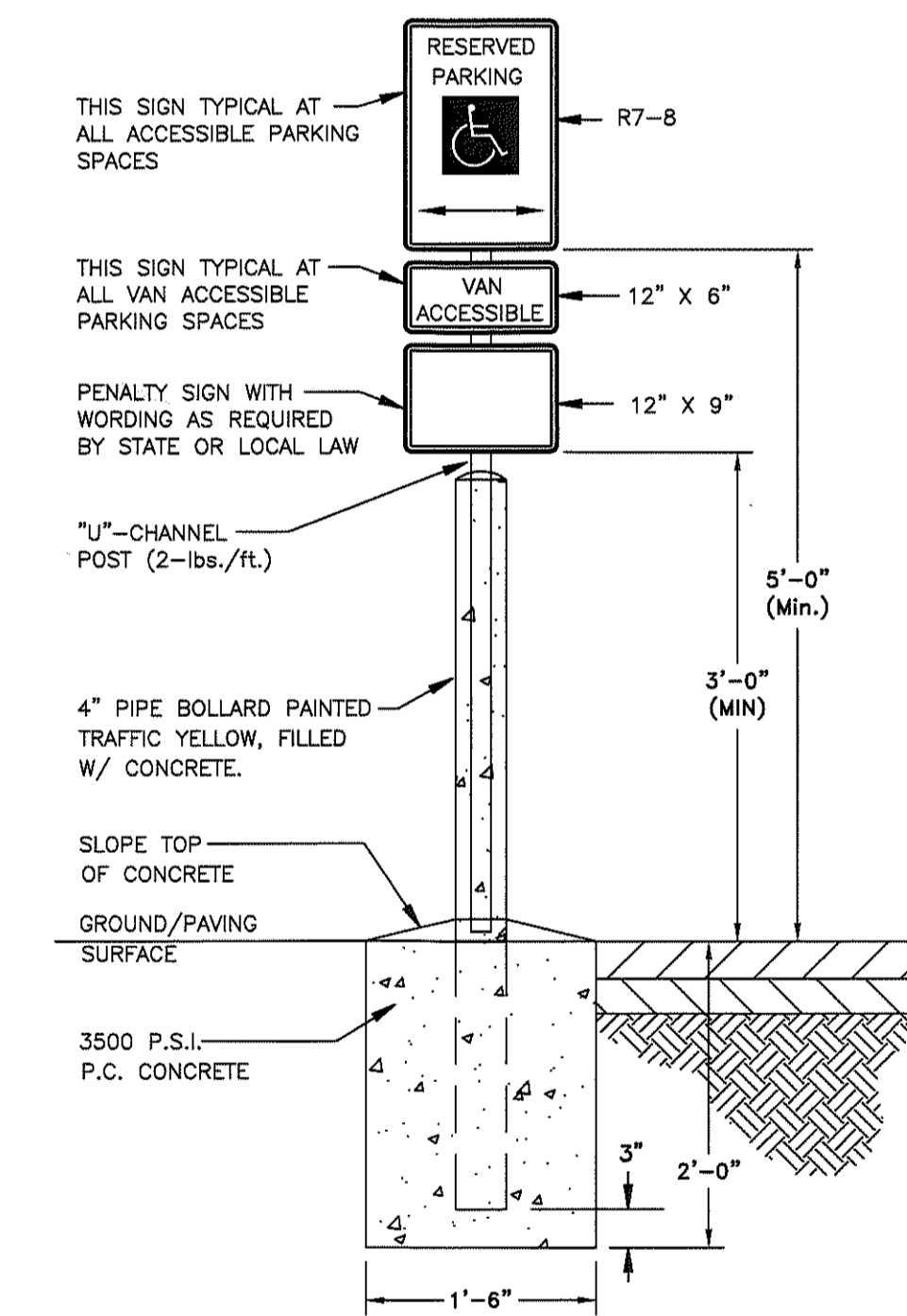
**LIGHT POLE DETAIL**  
 NOT TO SCALE



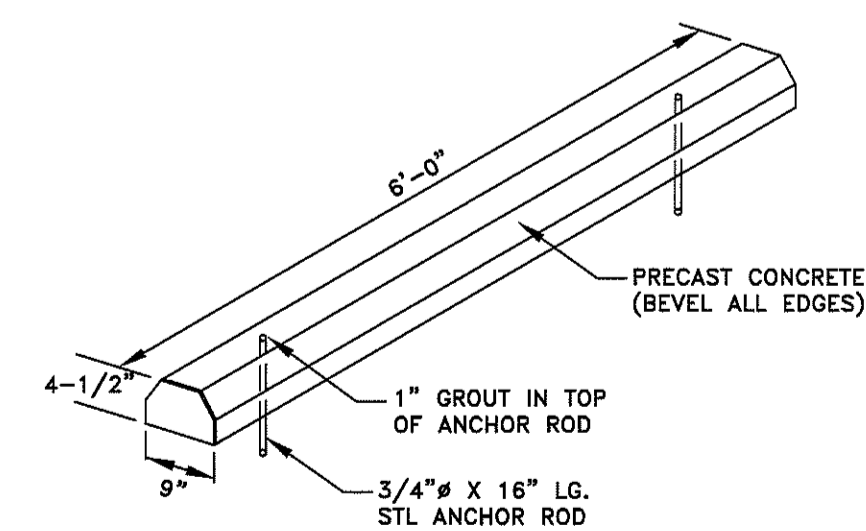
**LIGHT POLE BASE DETAIL**  
 NOT TO SCALE



**SIDEWALK DETAIL**  
 NOT TO SCALE



**ACCESSIBLE PARKING SIGN**  
 NOT TO SCALE



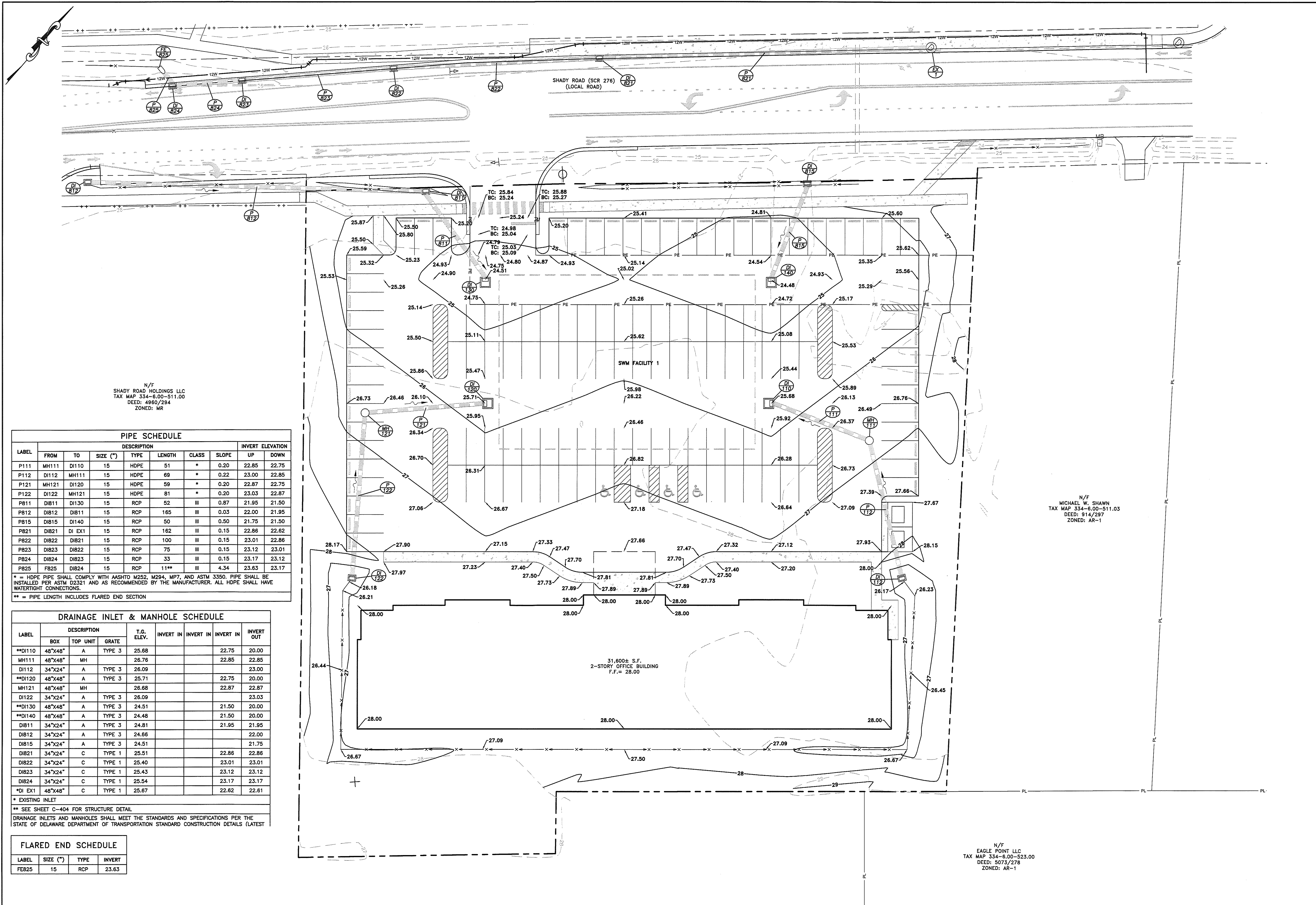
**PRECAST CONCRETE WHEEL STOP**  
 NOT TO SCALE

NOTE: PRECAST CONCRETE WHEEL STOPS TO BE PLACED WHERE PARKING SPOTS ARE IN FRONT OF SIDEWALK OR BUILDINGS.

DATE	COMMENTS

Date:	JULY 2022
Scale:	1"=20'
Drawn By:	DJR
Proj. No.:	2916A014

**SITE DETAILS**



N/F  
SHADY ROAD HOLDINGS LLC  
TAX MAP 334-6.00-511.00  
DEED: 4960/294  
ZONED: MR

N/F  
MICHAEL W. SHAWN  
TAX MAP 334-6.00-511.03  
DEED: 914/297  
ZONED: AR-1

N/F  
EAGLE POINT LLC  
TAX MAP 334-6.00-523.00  
DEED: 5073/278  
ZONED: AR-1

**PIPE SCHEDULE**

LABEL	DESCRIPTION							INVERT ELEVATION	
	FROM	TO	SIZE (")	TYPE	LENGTH	CLASS	SLOPE	UP	DOWN
P111	MH111	DI110	15	HDPE	51	*	0.20	22.85	22.75
P112	DI112	MH111	15	HDPE	69	*	0.22	23.00	22.85
P121	MH121	DI120	15	HDPE	59	*	0.20	22.87	22.75
P122	DI122	MH121	15	HDPE	81	*	0.20	23.03	22.87
P811	DI811	DI130	15	RCP	52	III	0.87	21.95	21.50
P812	DI812	DI811	15	RCP	165	III	0.03	22.00	21.95
P815	DI815	DI140	15	RCP	50	III	0.50	21.75	21.50
P821	DI821	DI EX1	15	RCP	162	III	0.15	22.86	22.62
P822	DI822	DI821	15	RCP	100	III	0.15	23.01	22.86
P823	DI823	DI822	15	RCP	75	III	0.15	23.12	23.01
P824	DI824	DI823	15	RCP	33	III	0.15	23.17	23.12
P825	FB25	DI824	15	RCP	11**	III	4.34	23.63	23.17

\* = HDPE PIPE SHALL COMPLY WITH AASHTO M252, M294, MP7, AND ASTM 3350. PIPE SHALL BE INSTALLED PER ASTM D2321 AND AS RECOMMENDED BY THE MANUFACTURER. ALL HDPE SHALL HAVE WATER-TIGHT CONNECTIONS.  
\*\* = PIPE LENGTH INCLUDES FLARED END SECTION

**DRAINAGE INLET & MANHOLE SCHEDULE**

LABEL	DESCRIPTION			T.G. ELEV.	INVERT IN	INVERT IN	INVERT IN	INVERT OUT
	BOX	TOP UNIT	GRATE					
**DI110	48"x48"	A	TYPE 3	25.68			22.75	20.00
MH111	48"x48"	MH		26.76			22.85	22.85
DI112	34"x24"	A	TYPE 3	26.09			23.00	23.00
**DI120	48"x48"	A	TYPE 3	25.71			22.75	20.00
MH121	48"x48"	MH		26.68			22.87	22.87
DI122	34"x24"	A	TYPE 3	26.09			23.03	23.03
**DI130	48"x48"	A	TYPE 3	24.51			21.50	20.00
**DI140	48"x48"	A	TYPE 3	24.48			21.50	20.00
DI811	34"x24"	A	TYPE 3	24.81			21.95	21.95
DI812	34"x24"	A	TYPE 3	24.66			22.00	22.00
DI815	34"x24"	A	TYPE 3	24.51			21.75	21.75
DI821	34"x24"	C	TYPE 1	25.51			22.86	22.86
DI822	34"x24"	C	TYPE 1	25.40			23.01	23.01
DI823	34"x24"	C	TYPE 1	25.43			23.12	23.12
DI824	34"x24"	C	TYPE 1	25.54			23.17	23.17
DI EX1	48"x48"	C	TYPE 1	25.67			22.62	22.61

\* EXISTING INLET  
\*\* SEE SHEET C-404 FOR STRUCTURE DETAIL  
DRAINAGE INLETS AND MANHOLES SHALL MEET THE STANDARDS AND SPECIFICATIONS PER THE STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION DETAILS (LATEST EDITION)

**FLARED END SCHEDULE**

LABEL	SIZE (")	TYPE	INVERT
FB25	15	RCP	23.63

DATE	COMMENTS

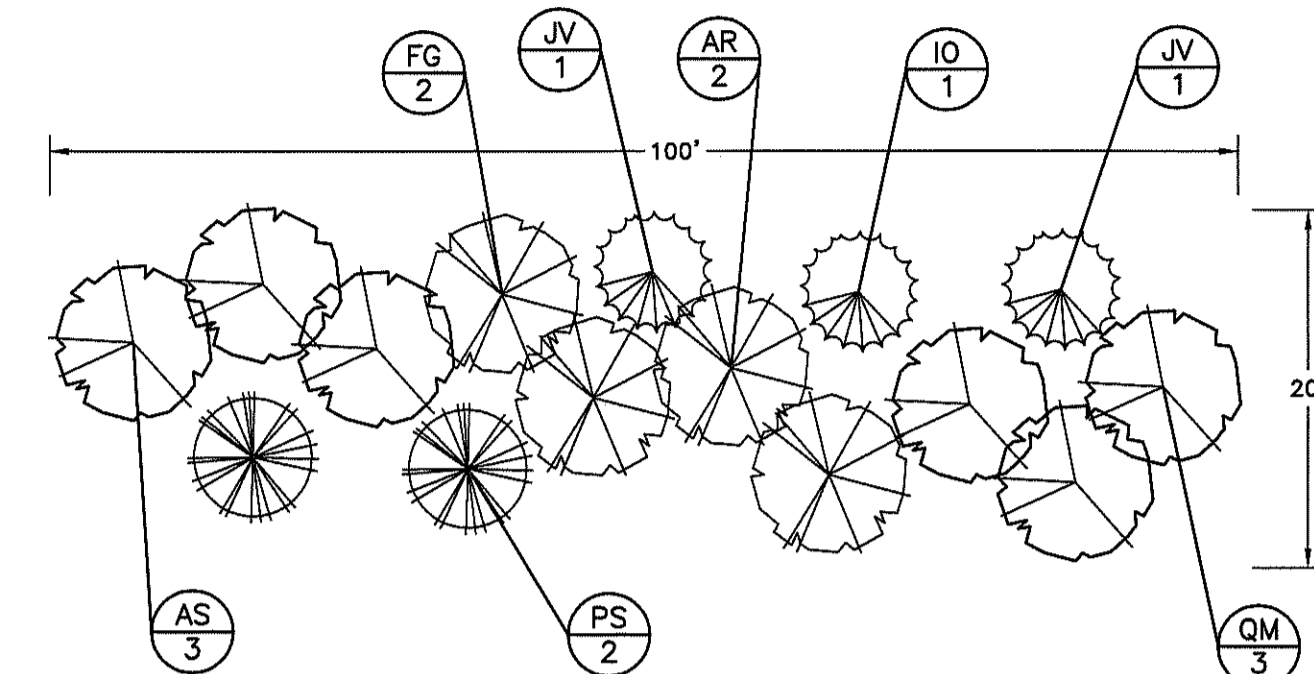
Date: JULY 2022  
Scale: AS NOTED  
Dwn.By: RPK  
Proj.No.: 2916A014

**GRADING PLAN**

Dwg.No.: **C-301**



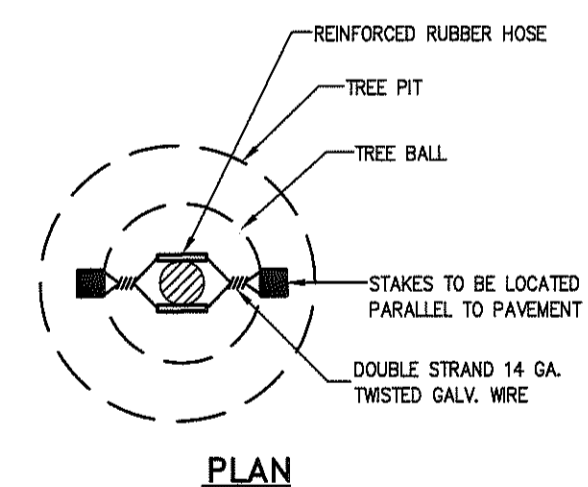
FORESTED BUFFER PLANT SCHEDULE				
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE
<b>DECIDUOUS TREE</b>				
AR		ACER rubrum	RED MAPLE	1 3/4 - 2" Cal., B&B
AS		ACER saccharum 'GREEN MOUNTAIN	SUGAR MAPLE	1 3/4 - 2" Cal., B&B
QM		QUERCUS phellos	WILLOW OAK	1 3/4 - 2" Cal., B&B
FG		FAGUS grandifolia	AMERICAN BEECH	1 3/4 - 2" Cal., B&B
<b>EVERGREEN TREE</b>				
PS		PINUS strobus	EASTERN WHITE PINE	5'-6" Ht., B&B
JV		JUNIPERUS virginiana	EASTERN RED CEDAR	5'-6" Ht., B&B
IO		ILEX opaca	AMERICAN HOLLY	5'-6" Ht., B&B



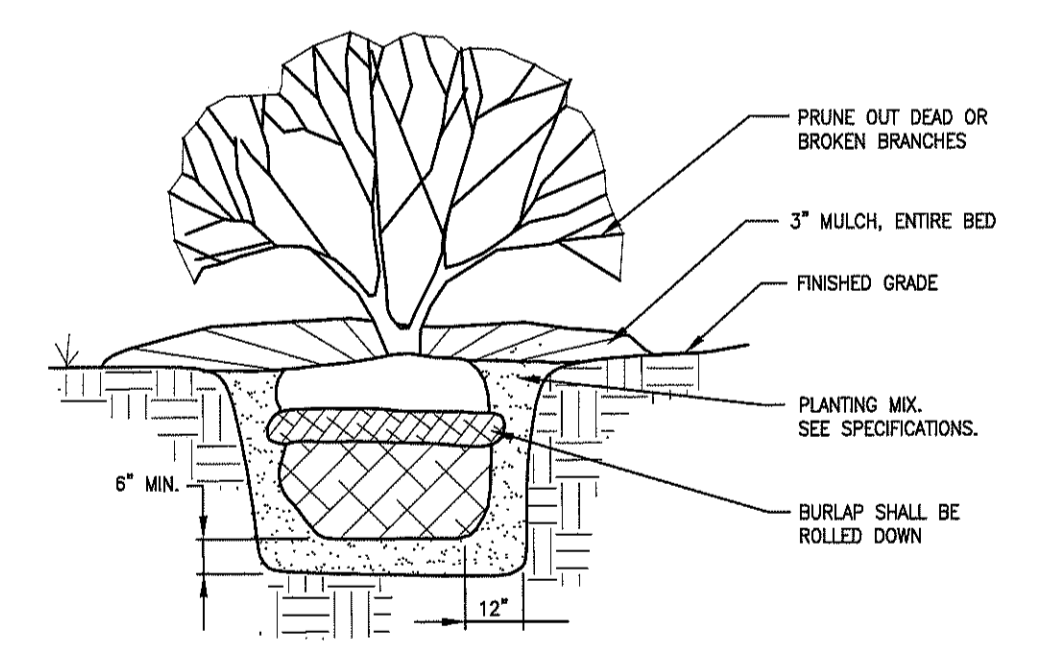
**TYPICAL FORESTED BUFFER 100'X20'**  
NO SCALE

**GENERAL LANDSCAPE NOTES**

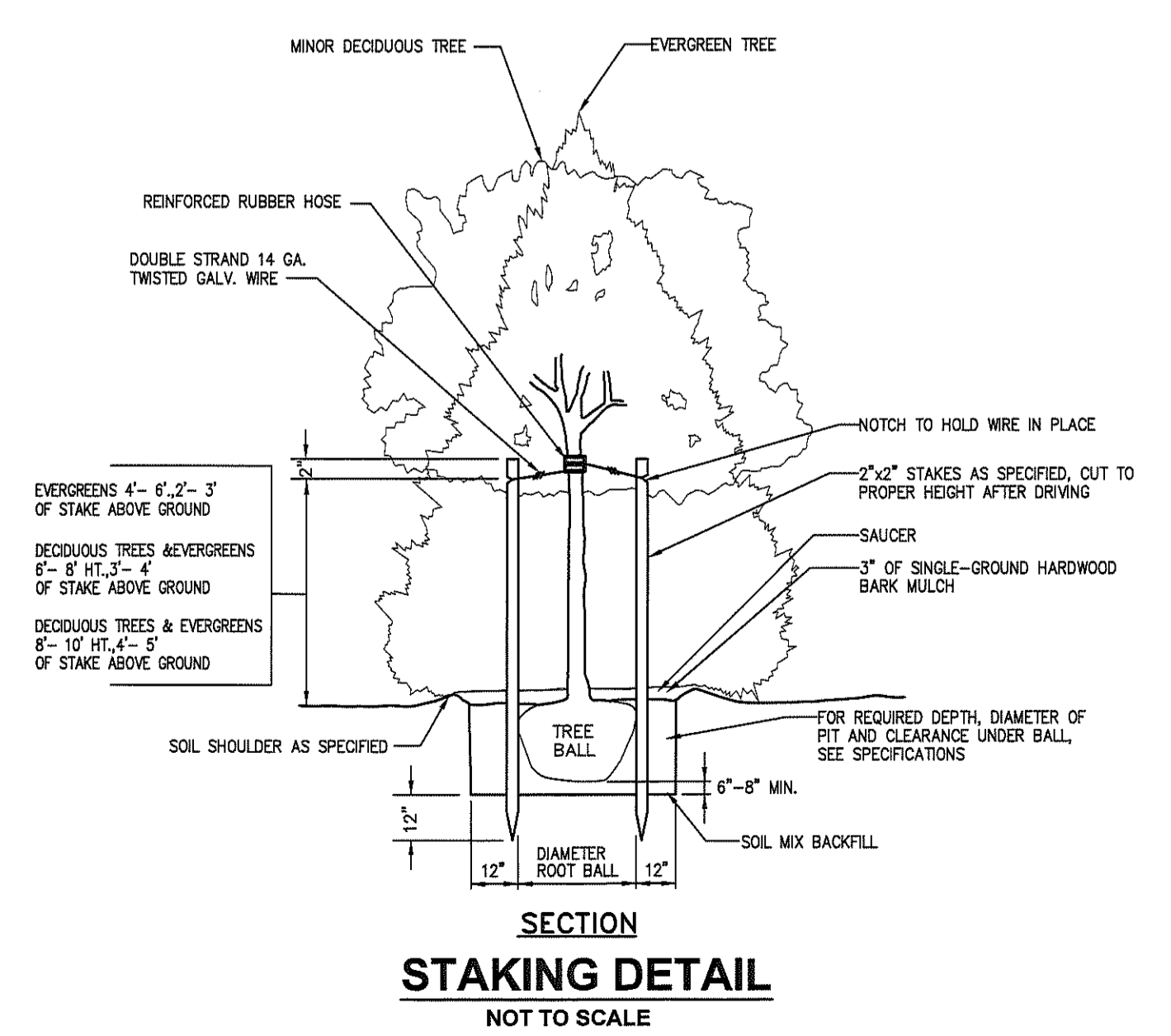
1. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF ROOT BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK".
2. CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR AFTER INSTALLATION IS COMPLETE AND FINAL ACCEPTANCE OF PHASE I SITE WORK HAS BEEN GIVEN. AT THE END OF ONE YEAR ALL PLANT MATERIAL WHICH IS DEAD OR DYING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AS ORIGINALLY SPECIFIED.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
4. NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER.
5. ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN.)
6. EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
7. ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 7'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STAKING DETAIL SHOWN.
8. THE FULL EXTENT OF ALL PLANTING BEDS SHALL RECEIVE 4" OF TOPSOIL AND 3" OF SHREDDED HARDWOOD MULCH PER SPECIFICATIONS.
9. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
10. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
11. THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.
12. TREE PROTECTION SHALL BE USED FOR ALL EXISTING TREES TO REMAIN.
13. DURING CONSTRUCTION EXISTING TREES TO BE SAVED WHERE FEASIBLE.



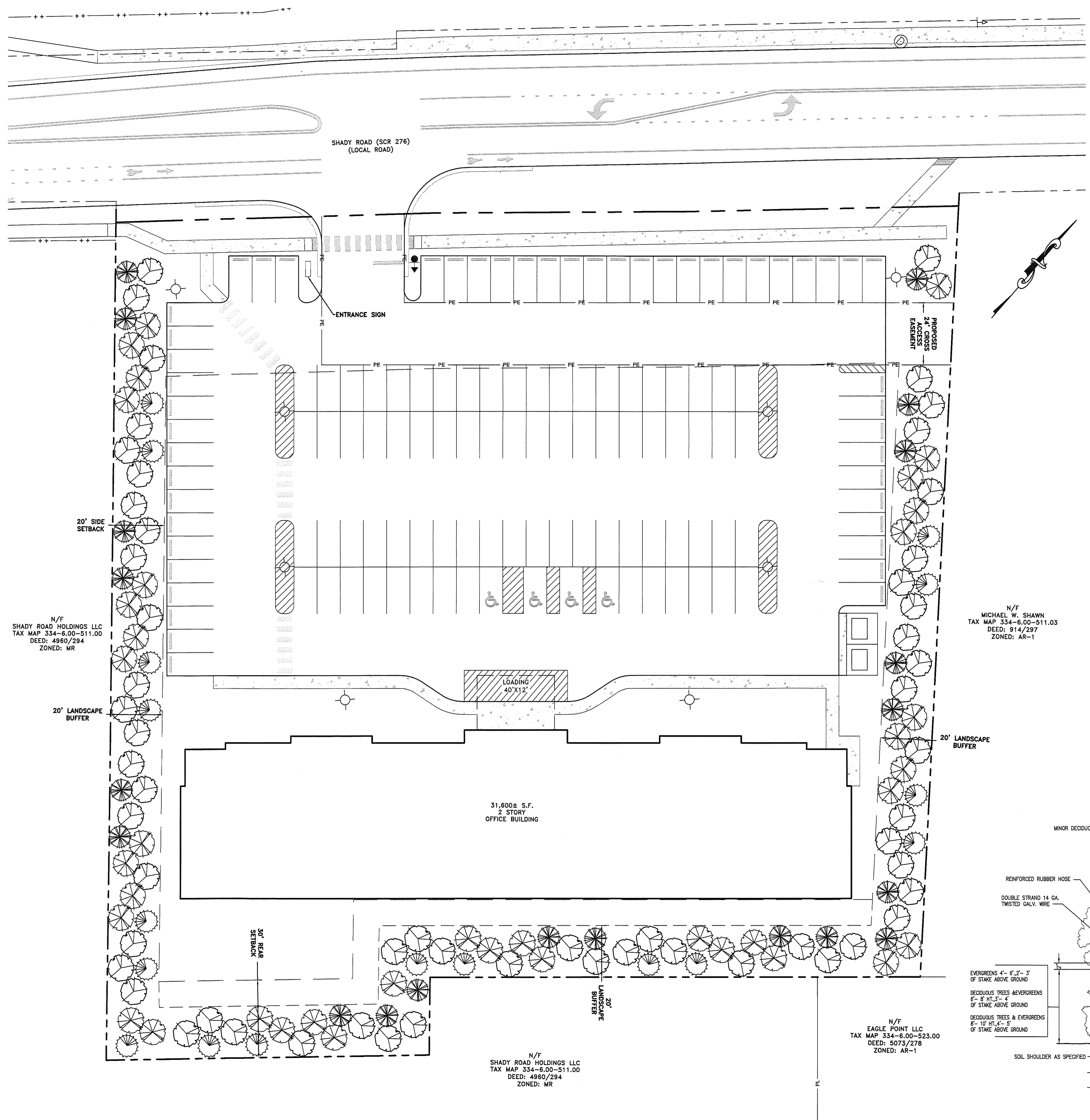
**PLAN**



**SHRUB PLANTING DETAIL**  
NOT TO SCALE



**SECTION STAKING DETAIL**  
NOT TO SCALE



N/F  
SHADY ROAD HOLDINGS LLC  
TAX MAP 334-6.00-511.00  
DEED: 4960/294  
ZONED: MR

N/F  
MICHAEL W. SHAWN  
TAX MAP 334-6.00-511.03  
DEED: 914/297  
ZONED: AR-1

31,600 S.F.  
2 STORY  
OFFICE BUILDING

N/F  
SHADY ROAD HOLDINGS LLC  
TAX MAP 334-6.00-511.00  
DEED: 4960/294  
ZONED: MR

N/F  
EAGLE POINT LLC  
TAX MAP 334-6.00-523.00  
DEED: 5073/278  
ZONED: AR-1



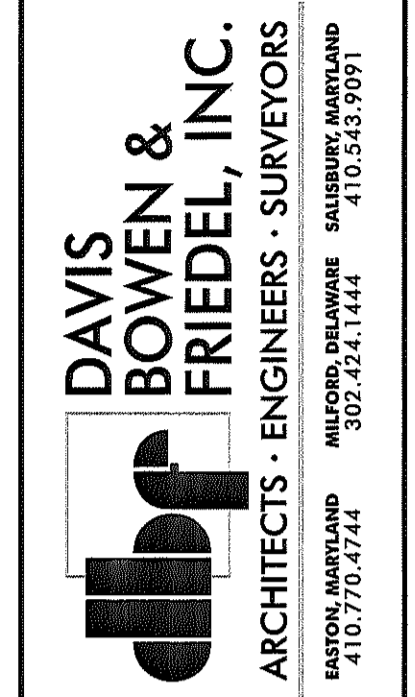
**LANDSCAPE ARCHITECT'S STATEMENT**

I, TIMOTHY M. METZNER, HEREBY STATE THAT I AM A REGISTERED LANDSCAPE ARCHITECT IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

by TIMOTHY M. METZNER,  
DAVIS, BOWEN & FRIEDEL, INC.  
1 PARK AVE.  
MILFORD, DELAWARE, 19963

DATE

**SHADY ROAD COMMERCIAL  
OFFICE BUILDING**  
SUSSEX COUNTY, DELAWARE



DATE	COMMENTS

Date: JULY 2022  
Scale: 1"=20'  
Dwn. By: DJR  
Proj. No.: 2916A014

**LANDSCAPE PLAN**

Dwg. No.: **L-101**

# SHADY ROAD COMMERCIAL

## BROADKILL RIVER WATERSHED LEWES AND REHOBOTH HUNDRED SUSSEX COUNTY, DELAWARE

DBF #2916A014  
JULY 2022

# RECORD PLANS

GENERAL NOTES: REVISED 3/21/2019

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 §131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SIDEWALK.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
- A PERPETUAL CROSS ACCESS INGRESS/EGRESS EASEMENT IS HEREBY ESTABLISHED AS SHOWN ON THIS PLAN.
- ALL LIGHTING IS TO BE DOWNWARD SCREENED TO MINIMIZE GLARE ON ADJACENT PROPERTIES WITHIN A RESIDENTIAL AREA.
- THE DEVELOPER WILL BE PARTICIPATING IN THE HENLOPEN TID. THE INFRASTRUCTURE RECOUPMENT AGREEMENT IS RECORDED UNDER BOOK 5792 PG 284 IN THE OFFICE OF THE SUSSEX COUNTY RECORDER OF DEEDS.

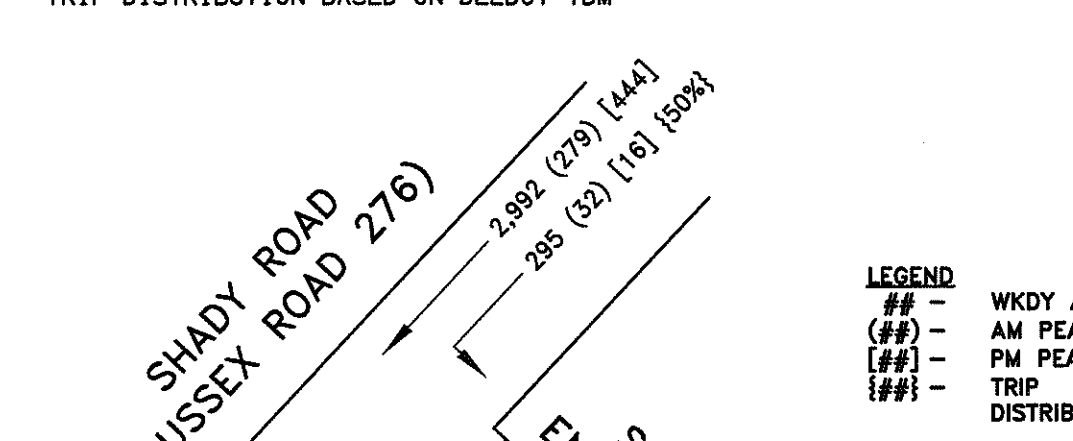
**ROAD TRAFFIC DATA - SHADY ROAD (SUSSEX COUNTY ROAD 276)**  
FUNCTIONAL CLASSIFICATION - LOCAL ROADWAY  
POSTED SPEED LIMIT - 35  
AADT (2021 DELAWARE VEHICLE VOLUME SUMMARY) = 5,461  
10 YR PROJECTED AADT = 1.18 X 5,461 = 6,335  
TRAFFIC PATTERN GROUP (2021 VEHICLE VOLUME SUMMARY) = 4  
K-FACTOR = 12.09%, D-FACTOR = 61.35%, TRUCKS = 8.06%  
(2021 DELAWARE VEHICLE VOLUME SUMMARY)

**SITE ACCESS DESIGN VOLUMES (AUXILIARY LANE WORKSHEET)**  
10 YR PROJECTED AADT (6,335) + SITE ADT E OF SITE (590) = 6,925  
10 YR PROJECTED AADT (6,335) + SITE ADT W OF SITE (589) = 6,924  
ROADWAY PEAK HOUR = 10 YR PROJECTED AADT (6,335) X 12.09% = 766  
DIRECTIONAL SPLIT = 61.35% / 38.65% = 444/279  
SHADY ROAD AADT (HIGHEST LEG PER HIGHWAY SAFETY MANUAL PAGE 10-6) = 6,574  
RIGHT-TURN ADT = 294  
LEFT-TURN PEAK HOUR VOLUME (AM) = 32  
OPPOSING PEAK HOUR VOLUMES (AM) = 477

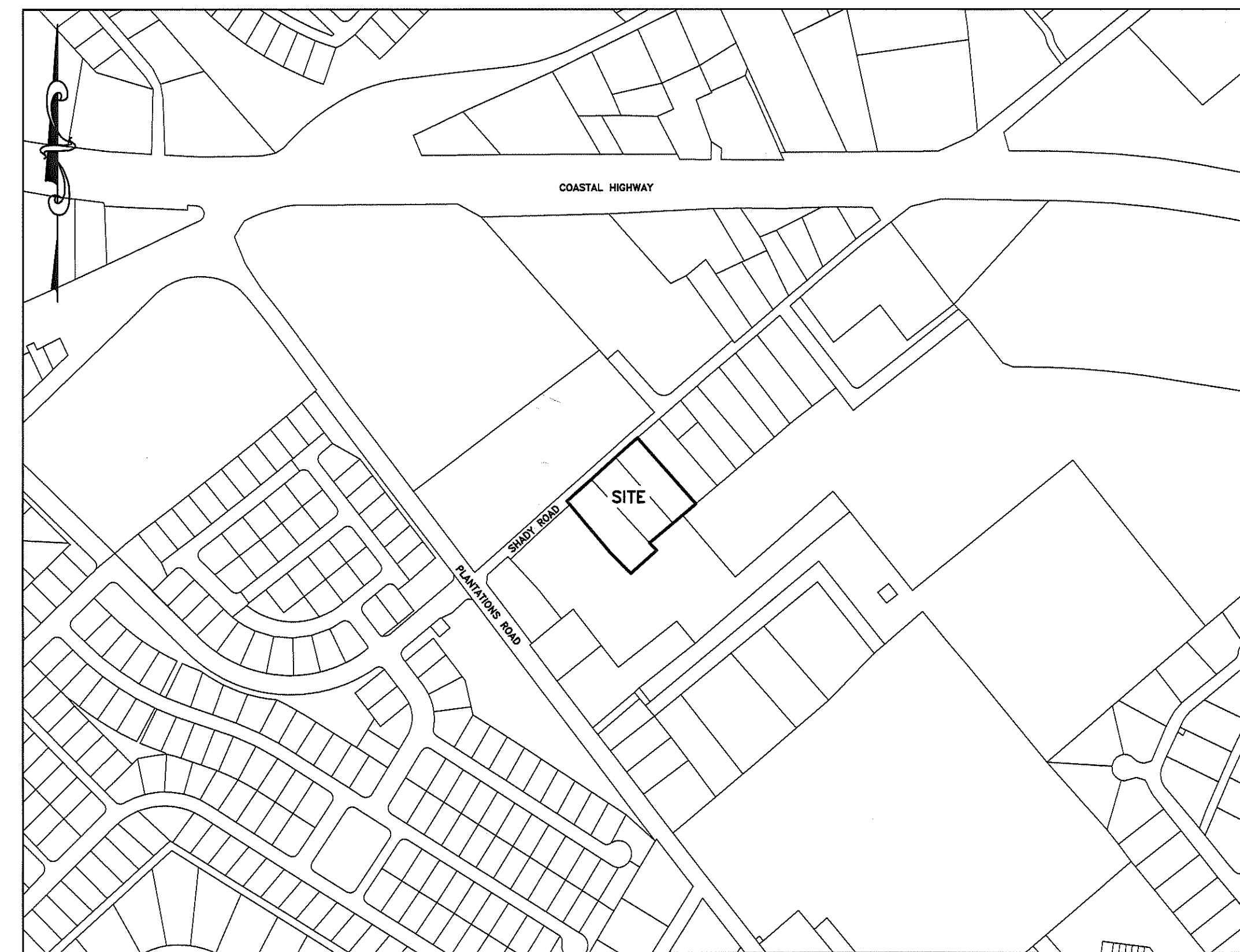
**SITE TRAFFIC DATA**

TYPE OF DEV.	ITE	SO. FT.	AM	PM	WKDY
MEDICAL OFFICE	720	32,960	83	114	1,179

NOTES:  
SOURCE: ITE TRIP GENERATION MANUAL 10TH EDITION.  
ONE ENTRANCE - FULL MOVEMENT  
DESIGN VEHICLE: SU-30  
PEAK HOUR HV% OF PROPOSED SITE = 3%  
TRIP DISTRIBUTION BASED ON DELDOT TDM



TRAFFIC DIAGRAM  
NO SCALE



LOCATION MAP  
SCALE: 1" = 400'

INDEX OF SHEETS	
V-101	RECORD TITLE
V-102	RECORD PLAN

### CU 2316 CONDITIONS OF APPROVAL

- AS STATED BY THE APPLICANT, THERE SHALL BE NO MORE THAN 32,960 SQUARE FEET OF MEDICAL AND PROFESSIONAL OFFICE SPACE.
- AS STATED BY THE APPLICANT, THE HOURS OF OPERATION SHALL BE BETWEEN 7:00 A.M. AND 7:00 P.M. MONDAY THROUGH FRIDAY, AND BETWEEN 8:00 A.M. AND 4:00 P.M. ON SATURDAYS. ADDITIONAL HOURS FOR EMERGENCY PURPOSES ARE PERMITTED.
- ONE LIGHTED SIGN, NOT TO EXCEED 50 SQUARE FEET, SHALL BE PERMITTED ON THE BUILDING. IN ADDITION, THE APPLICANT MAY INSTALL ONE ADDITIONAL LIGHTED GROUND SIGN THAT DOES NOT EXCEED 32 SQUARE FEET IN SIZE PER SIDE.
- THE USE SHALL COMPLY WITH THE PARKING REQUIREMENTS SET FORTH IN THE ZONING CODE. IN ADDITION, THE LOCATION SHOWN FOR POSSIBLE INTERCONNECTION WITH THE PROPERTY TO THE EAST SHALL BE INCLUDED ON THE FINAL SITE PLAN.
- THERE SHALL BE A 20-FOOT LANDSCAPED BUFFER INSTALLED ALONG THE SITE'S REAR PROPERTY LINE AND ALONG THE COMMON PROPERTY LINE WITH TAX PARCEL # 334-6.00-511.05.
- ALL ENTRANCE, INTERSECTION, AND ROADWAY IMPROVEMENTS REQUIRED BY DELDOT SHALL BE COMPLETED IN ACCORDANCE WITH DELDOT'S REQUIREMENTS.
- ALL EXTERIOR LIGHTING SHALL BE DIRECTED DOWNWARDS SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
- ANY DUMPSTERS SHALL BE SCREENED FROM VIEW OF NEIGHBORING PROPERTIES AND ROADWAYS.
- THE SITE SHALL BE SERVED BY CENTRAL WATER AND CENTRAL SEWER.
- STORM WATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE STATE AND COUNTY REQUIREMENTS. THESE FACILITIES SHALL BE DESIGNED AND OPERATED USING BEST MANAGEMENT PRACTICES. THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT.
- THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY PLANNING & ZONING COMMISSION.

### DATA COLUMN

TAX MAP ID: 3-34-6.00-511.02  
3-34-6.00-511.06  
3-34-6.00-515.00

DEED REF: D 5514/264

DATUM  
VERTICAL: NAVD 88  
HORIZONTAL: NAD 83 (DE STATE PLANE)

EXISTING ZONING: AR-1  
PROPOSED ZONING: AR-1

EXISTING LOTS: 3  
PROPOSED LOTS: 1

EXISTING USE: RESIDENTIAL  
PROPOSED USE: COMMERCIAL

PROPOSED CONSTRUCTION: WOOD/CONCRETE BLOCK

FLOOD HAZARD MAP: THE PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA MAP 10005C0311K (DATED MARCH 16, 2015).

WETLANDS: THE PROPERTY AS SHOWN DOES NOT CONTAIN STATE OR FEDERALLY (404 NON-TIDAL) REGULATED WETLANDS.

SOURCE WATER PROTECTION: PROJECT IS NOT WITHIN A WELLHEAD PROTECTION AREA. PROJECT IS NOT WITHIN THE "EXCELLENT", "GOOD" AND "POOR" GROUNDWATER RECHARGE AREAS.

EXISTING SITE AREA: 2.297 ACRES±  
GROSS LEASABLE AREA: 31,600 S.F.

AREAS  
PARKING/OPEN SPACE: 1,651 AC.±  
BUILDING AREA: 0.806 AC.±  
R.O.W. DEDICATION: 0.040 AC.±  
IMPERVIOUS COVER: 1.090 AC.± (47%)

SETBACK REQUIREMENTS  
FRONT YARD: 60 FT.  
SIDE YARD: 20 FT.  
REAR YARD: 30 FT.

PARKING:  
REQUIRED: 1 SPACE PER 200 S.F. = 126.4 SPACES OR 127 SPACES  
25,280 S.F. / 200 S.F. = 126.4 SPACES OR 127 SPACES  
TOTAL REQUIRED SPACES = 127  
PROVIDED: 127 SPACES INCLUDING 4 HANDICAPPED ACCESSIBLE

PROPOSED MAXIMUM BUILDING HEIGHT: 42 FT. (3-1/2 STORIES)  
PROPOSED CONSTRUCTION PHASES: 1

SANITARY SEWER: WEST REHOBOTH EXPANSION OF THE DEWEY BEACH SSD  
WATER SUPPLY: TIDEWATER UTILITIES, INC.

TID DISTANCE: INSIDE HENLOPEN TID (IN OPERATION)  
STATE INVESTMENT LEVEL: 1

OWNER/DEVELOPER:  
SOUTHERN DELAWARE MEDICAL CENTER, LLC  
859 GOLF LINKS LANE  
MAGNOLIA, DE 19962

PREPARED BY:  
DAVIS, BOWEN & FRIEDEL, INC.  
1 PARK AVE.  
MILFORD, DE 19963  
PHONE: 302-424-1441  
FAX: 302-424-0430

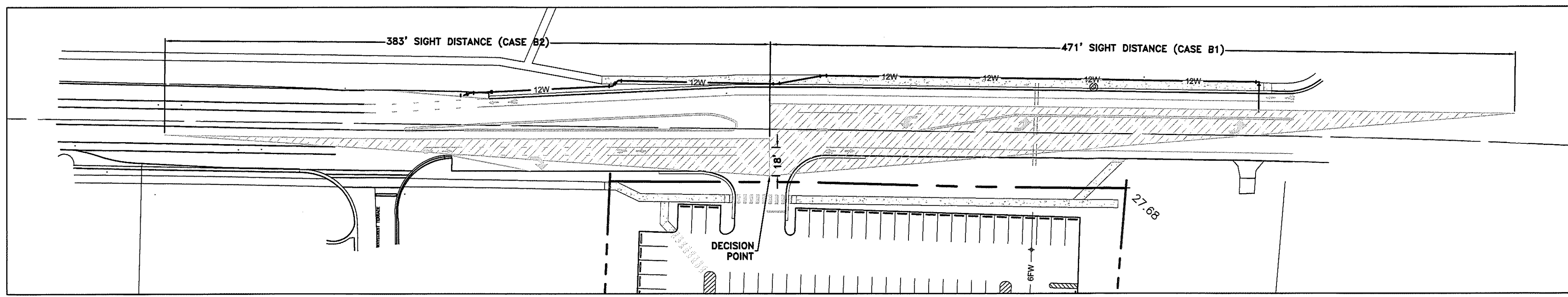
**LOCATION MAP**  
1" = 1/2 MILE

**NWI WETLANDS**  
1" = 400'

**FEMA FLOOD MAP**  
PANEL #10005C0037J SCALE: 1" = 1/2 MILE  
PANEL #10005C0041K

**SOILS MAP**  
1" = 400'

LABEL	SOIL NAME	TYPE
DoA	Downer sandy loam, 0-2% slopes, Northern Tidewater Area	A



SIGHT DISTANCE ANALYSIS  
SCALE: 1" = 50'

### OWNER/DEVELOPER STATEMENT

I, THE UNDERSIGNED, HEREBY STATE THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THE PLAN WAS MADE AT MY DIRECTION. I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN BE RECORDED ACCORDING TO LAW.

Signature: *Megan Marie Clark*  
DATE: 12-12-2022  
SOUTHERN DELAWARE MEDICAL CENTER, LLC.  
859 GOLF LINKS DRIVE  
MAGNOLIA, DE 19962

### ENGINEER'S STATEMENT

I, JAMIE L. SECHLER, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

Signature: *Jamie L. Sechler*  
DATE: 12-12-2022  
by JAMIE L. SECHLER, P.E.  
DAVIS, BOWEN & FRIEDEL, INC.  
1 PARK AVE.  
MILFORD, DELAWARE, 19963

**DAVIS, BOWEN & FRIEDEL, INC.**  
ARCHITECTS - ENGINEERS - SURVEYORS  
1 PARK AVE.  
MILFORD, DE 19963  
PHONE: 302-424-1441  
FAX: 302-424-0430

SHADY ROAD COMMERCIAL  
SHADY RD. (SCR 276)  
LEWES & REHOBOTH HUNDRED  
SUSSEX COUNTY, DELAWARE

DATE	COMMENTS
10-10-2022	DNIDOT COMMENTS
11-16-2022	TUI COMMENTS
12-01-2022	DNIDOT COMMENTS
12-05-2022	DNIDOT COMMENTS

Date: JULY 2022  
Scale: AS NOTED  
Dwn. By: RPK  
Proj. No.: 2916A014

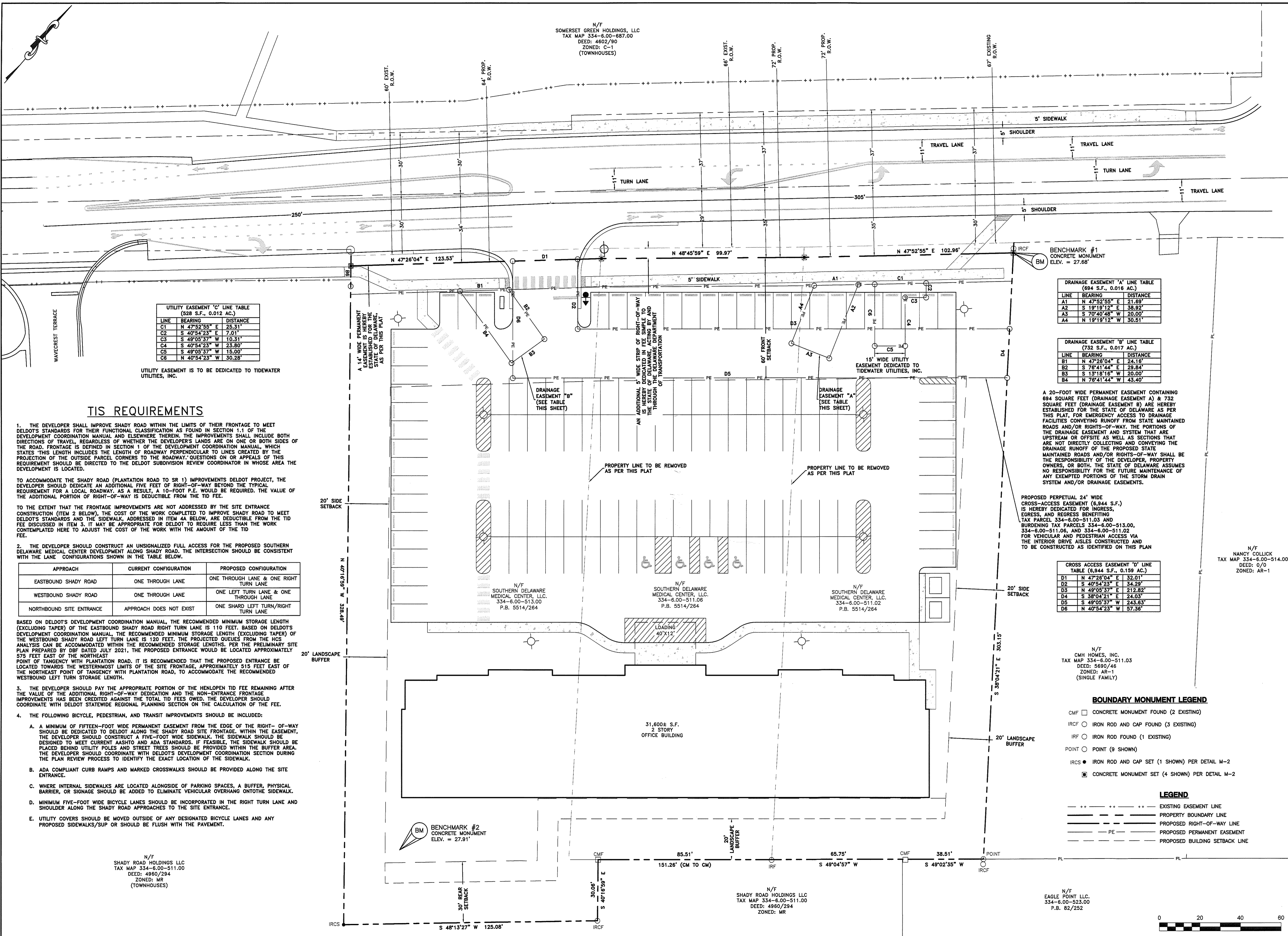
### RECORD TITLE

Dwg. No.: **V-101**

DATE	COMMENTS
10-10-2022	DEDOT COMMENTS
11-18-2022	TULOC COMMENTS
12-01-2022	DEDOT COMMENTS
12-05-2022	DEDOT COMMENTS

Date: JULY 2022  
 Scale: AS NOTED  
 Dwn. By: RPK  
 Proj. No.: 2916A014

N/F  
 SOMERSET GREEN HOLDINGS, LLC  
 TAX MAP 334-6.00-687.00  
 DEED: 4602/90  
 ZONED: C-1  
 (TOWNHOUSES)



**UTILITY EASEMENT 'C' LINE TABLE**  
 (528 S.F., 0.012 AC.)

LINE	BEARING	DISTANCE
C1	N 47°52'55" E	25.31'
C2	S 40°54'23" E	7.01'
C3	S 49°05'37" W	10.31'
C4	S 40°54'23" W	23.80'
C5	S 49°05'37" W	15.00'
C6	N 40°54'23" W	30.28'

**DRAINAGE EASEMENT 'A' LINE TABLE**  
 (694 S.F., 0.016 AC.)

LINE	BEARING	DISTANCE
A1	N 47°52'55" E	21.69'
A2	S 19°18'12" E	38.92'
A3	S 70°40'48" W	20.00'
A4	N 19°18'12" W	30.51'

**DRAINAGE EASEMENT 'B' LINE TABLE**  
 (732 S.F., 0.017 AC.)

LINE	BEARING	DISTANCE
B1	N 47°26'04" E	24.16'
B2	S 76°41'44" E	29.84'
B3	S 13°18'16" W	20.00'
B4	N 76°41'44" W	43.40'

A 20'-FOOT WIDE PERMANENT EASEMENT CONTAINING 694 SQUARE FEET (DRAINAGE EASEMENT A) & 732 SQUARE FEET (DRAINAGE EASEMENT B) ARE HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.

PROPOSED PERPETUAL 24' WIDE CROSS-ACCESS EASEMENT (6,944 S.F.) IS HEREBY DEDICATED FOR INGRESS, EGRESS, AND REGRESS BENEFITING TAX PARCEL 334-6.00-511.03 AND BURDENING TAX PARCELS 334-6.00-513.00, 334-6.00-511.06, AND 334-6.00-511.02 FOR VEHICULAR AND PEDESTRIAN ACCESS VIA THE INTERIOR DRIVE AISLES CONSTRUCTED AND TO BE CONSTRUCTED AS IDENTIFIED ON THIS PLAN

**CROSS ACCESS EASEMENT 'D' LINE TABLE**  
 (6,944 S.F., 0.159 AC.)

LINE	BEARING	DISTANCE
D1	N 47°26'04" E	32.01'
D2	S 40°54'23" E	34.29'
D3	N 49°05'37" E	212.82'
D4	S 38°04'21" E	24.03'
D5	S 49°05'37" W	243.63'
D6	N 40°54'23" W	57.36'

**BOUNDARY MONUMENT LEGEND**

- CMF  CONCRETE MONUMENT FOUND (2 EXISTING)
- IRCF  IRON ROD AND CAP FOUND (3 EXISTING)
- IRFO  IRON ROD FOUND (1 EXISTING)
- POINT  POINT (9 SHOWN)
- IRCS  IRON ROD AND CAP SET (1 SHOWN) PER DETAIL M-2
- CONCRETE MONUMENT SET (4 SHOWN) PER DETAIL M-2

**LEGEND**

- - - - - EXISTING EASEMENT LINE
- - - - - PROPERTY BOUNDARY LINE
- - - - - PROPOSED RIGHT-OF-WAY LINE
- - - - - PROPOSED PERMANENT EASEMENT LINE
- - - - - PROPOSED BUILDING SETBACK LINE

**TIS REQUIREMENTS**

- THE DEVELOPER SHALL IMPROVE SHADY ROAD WITHIN THE LIMITS OF THEIR FRONTAGE TO MEET DELDOT'S STANDARDS FOR THEIR FUNCTIONAL CLASSIFICATION AS FOUND IN SECTION 1.1 OF THE DEVELOPMENT COORDINATION MANUAL AND ELSEWHERE THEREIN. THE IMPROVEMENTS SHALL INCLUDE BOTH DIRECTIONS OF TRAVEL, REGARDLESS OF WHETHER THE DEVELOPER'S LANDS ARE ON ONE OR BOTH SIDES OF THE ROAD. FRONTAGE IS DEFINED IN SECTION 1 OF THE DEVELOPMENT COORDINATION MANUAL, WHICH STATES "THIS LENGTH INCLUDES THE LENGTH OF ROADWAY PERPENDICULAR TO LINES CREATED BY THE PROJECTION OF THE OUTSIDE PARCEL CORNERS TO THE ROADWAY. QUESTIONS OR APPEALS OF THIS REQUIREMENT SHOULD BE DIRECTED TO THE DELDOT SUBDIVISION REVIEW COORDINATOR IN WHOSE AREA THE DEVELOPMENT IS LOCATED.
- TO ACCOMMODATE THE SHADY ROAD (PLANTATION ROAD TO SR 1) IMPROVEMENTS DELDOT PROJECT, THE DEVELOPER SHOULD DEDICATE AN ADDITIONAL FIVE FEET OF RIGHT-OF-WAY BEYOND THE TYPICAL REQUIREMENT FOR A LOCAL ROADWAY. AS A RESULT, A 10-FOOT P.E. WOULD BE REQUIRED. THE VALUE OF THE ADDITIONAL PORTION OF RIGHT-OF-WAY IS DEDUCTIBLE FROM THE TID FEE.
- TO THE EXTENT THAT THE FRONTAGE IMPROVEMENTS ARE NOT ADDRESSED BY THE SITE ENTRANCE CONSTRUCTION (ITEM 2 BELOW), THE COST OF THE WORK COMPLETED TO IMPROVE SHADY ROAD TO MEET DELDOT'S STANDARDS AND THE SIDEWALK, ADDRESSED IN ITEM 4A BELOW, ARE DEDUCTIBLE FROM THE TID FEE DISCUSSED IN ITEM 5. IT MAY BE APPROPRIATE FOR DELDOT TO REQUIRE LESS THAN THE WORK CONTEMPLATED HERE TO ADJUST THE COST OF THE WORK WITH THE AMOUNT OF THE TID FEE.

APPROACH	CURRENT CONFIGURATION	PROPOSED CONFIGURATION
EASTBOUND SHADY ROAD	ONE THROUGH LANE	ONE THROUGH LANE & ONE RIGHT TURN LANE
WESTBOUND SHADY ROAD	ONE THROUGH LANE	ONE LEFT TURN LANE & ONE THROUGH LANE
NORTHBOUND SITE ENTRANCE	APPROACH DOES NOT EXIST	ONE SHARD LEFT TURN/RIGHT TURN LANE

BASED ON DELDOT'S DEVELOPMENT COORDINATION MANUAL, THE RECOMMENDED MINIMUM STORAGE LENGTH (EXCLUDING TAPER) OF THE EASTBOUND SHADY ROAD RIGHT TURN LANE IS 110 FEET. BASED ON DELDOT'S DEVELOPMENT COORDINATION MANUAL, THE RECOMMENDED MINIMUM STORAGE LENGTH (EXCLUDING TAPER) OF THE WESTBOUND SHADY ROAD LEFT TURN LANE IS 120 FEET. THE PROJECTED QUEUES FROM THE HCS ANALYSIS CAN BE ACCOMMODATED WITHIN THE RECOMMENDED STORAGE LENGTHS. PER THE PRELIMINARY SITE PLAN PREPARED BY DBF DATED JULY 2021, THE PROPOSED ENTRANCE WOULD BE LOCATED APPROXIMATELY 575 FEET EAST OF THE NORTHEAST POINT OF TANGENCY WITH PLANTATION ROAD. IT IS RECOMMENDED THAT THE PROPOSED ENTRANCE BE LOCATED TOWARDS THE WESTERMOST LIMITS OF THE SITE FRONTAGE, APPROXIMATELY 515 FEET EAST OF THE NORTHEAST POINT OF TANGENCY WITH PLANTATION ROAD, TO ACCOMMODATE THE RECOMMENDED WESTBOUND LEFT TURN STORAGE LENGTH.

- THE DEVELOPER SHOULD PAY THE APPROPRIATE PORTION OF THE HENLOPEN TID FEE REMAINING AFTER THE VALUE OF THE ADDITIONAL RIGHT-OF-WAY DEDICATION AND THE NON-ENTRANCE FRONTAGE IMPROVEMENTS HAS BEEN CREDITED AGAINST THE TOTAL TID FEES OWED. THE DEVELOPER SHOULD COORDINATE WITH DELDOT STATEWIDE REGIONAL PLANNING SECTION ON THE CALCULATION OF THE FEE.
- THE FOLLOWING BICYCLE, PEDESTRIAN, AND TRANSIT IMPROVEMENTS SHOULD BE INCLUDED:
  - A MINIMUM OF FIFTEEN-FOOT WIDE PERMANENT EASEMENT FROM THE EDGE OF THE RIGHT-OF-WAY SHOULD BE DEDICATED TO DELDOT ALONG THE SHADY ROAD SITE FRONTAGE. WITHIN THE EASEMENT, THE DEVELOPER SHOULD CONSTRUCT A FIVE-FOOT WIDE SIDEWALK. THE SIDEWALK SHOULD BE DESIGNED TO MEET CURRENT AASHTO AND ADA STANDARDS. IF FEASIBLE, THE SIDEWALK SHOULD BE PLACED BEHIND UTILITY POLES AND STREET TREES SHOULD BE PROVIDED WITHIN THE BUFFER AREA. THE DEVELOPER SHOULD COORDINATE WITH DELDOT'S DEVELOPMENT COORDINATION SECTION DURING THE PLAN REVIEW PROCESS TO IDENTIFY THE EXACT LOCATION OF THE SIDEWALK.
  - ADA COMPLIANT CURB RAMPS AND MARKED CROSSWALKS SHOULD BE PROVIDED ALONG THE SITE ENTRANCE.
  - WHERE INTERNAL SIDEWALKS ARE LOCATED ALONGSIDE OF PARKING SPACES, A BUFFER, PHYSICAL BARRIER, OR SIGNAGE SHOULD BE ADDED TO ELIMINATE VEHICULAR OVERHANG ONTO THE SIDEWALK.
  - MINIMUM FIVE-FOOT WIDE BICYCLE LANES SHOULD BE INCORPORATED IN THE RIGHT TURN LANE AND SHOULDER ALONG THE SHADY ROAD APPROACHES TO THE SITE ENTRANCE.
  - UTILITY COVERS SHOULD BE MOVED OUTSIDE OF ANY DESIGNATED BICYCLE LANES AND ANY PROPOSED SIDEWALKS/SUP OR SHOULD BE FLUSH WITH THE PAVEMENT.

N/F  
 SHADY ROAD HOLDINGS LLC  
 TAX MAP 334-6.00-511.00  
 DEED: 4960/294  
 ZONED: MR  
 (TOWNHOUSES)

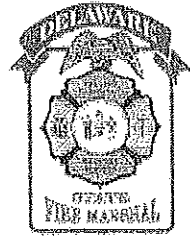
N/F  
 SHADY ROAD HOLDINGS LLC  
 TAX MAP 334-6.00-511.00  
 DEED: 4960/294  
 ZONED: MR





**OFFICE OF THE STATE FIRE MARSHAL  
Technical Services**

22705 Park Avenue  
Georgetown, DE 19947



**FIRE PROTECTION PLAN REVIEW REPORT**

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**Plan Review Number:** 2022-04-211218-MJS-02

**Tax Parcel Number:** 334-6.00-511.02

**Status:** Not Approved as Submitted

**Date:** 01/30/2023

**Project**

Shady Road Commercial

Shady Road

Shady Road Commercial  
Phase #: 1

Lewes DE 19958

**Scope of Project**

**Number of Stories:**

**Square Footage:**

**Construction Class:**

**Fire District:** 82 - Lewes Fire Dept Inc

**Occupant Load Inside:**

**Occupancy Code:** 9681

**Applicant**

Jamie Sechler  
1 Park Avenue  
Milford, DE 19963

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:

A handwritten signature in black ink, appearing to read "D. McCall".

Desiree McCall

## FIRE PROTECTION PLAN REVIEW COMMENTS

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Plan Review Number: 2022-04-211218-MJS-02

Tax Parcel Number: 334-6.00-511.02

Status: Not Approved as Submitted

Date: 01/30/2023

### PROJECT COMMENTS

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- 1002 A This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) ADOPTED September 1, 2021. The Delaware State Fire Prevention Regulations are available on our website at [www.statefiremarshal.delaware.gov](http://www.statefiremarshal.delaware.gov). These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes. The Office of the State Fire Marshal recommends the installation of fire sprinkler systems in all residential occupancies, including one- and two-family dwellings, duplexes, and townhomes. For additional information on residential sprinkler systems, please see here: [https://statefiremarshal.delaware.gov/wp-content/uploads/sites/110/2017/07/Home\\_Sprinkler\\_Brochure.pdf](https://statefiremarshal.delaware.gov/wp-content/uploads/sites/110/2017/07/Home_Sprinkler_Brochure.pdf)
- 1040 A This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 1,000 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 800' on center.
- 1500 A All plans must be reviewed and approved by this Agency prior to any work. Plan review status shall remain "NOT APPROVED AS SUBMITTED" until the following items have been received and approved by this Agency: NOTE: When revised plans are required to be resubmitted, a narrative letter does not suffice.
- 1417 A All Fire Lanes shall be marked and identified in accordance with DSFPR Regulation 705, Chapter 5, Section 7.0.
- 1411 A Fire Lane signs shall be placed at each end of the fire lane and spaced at 150 foot intervals maximum. All Fire Lane signs shall be located no less than six feet and no higher than eight feet above the pavement and shall face oncoming traffic. Where no parking is provided between the building and the Fire Lane, Fire Lane signs shall be posted along the inner curb, building line, or edge of the roadway immediately adjacent to the fire lane. (DSFPR Regulation 705, Chapter 6, Section 7.0).

SHOW FIRE LANE SIGNS - THE DSFPR DOES NOT ALLOW WORDING ON THE ROAD IN THIS SCENARIO. SIGNS SHALL BE USED

**1501 A** If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.







December 16, 2022

Mr. Jamie Sechler  
DBF, Inc.  
jls@dbfinc.com

**RE: Shady Road Commercial  
Ready for Approval**

Mr. Sechler:

The Sussex Conservation District has reviewed the sediment and stormwater management plans submitted for the above referenced project. The District has found the submittal to be acceptable, please provide the District with the following:

- Submit 5 sets of plans for approval.
- Submit 1 set scaled 12 x 18 for approval.
- Submit an electronic copy (PDF) of the project's complete construction set.
- Submit an electronic copy (PDF) of the Stormwater Report (and all exhibits).
- Provide a check for inspection fee for \$3,450 and maintenance fee for \$850. (These fees can be combined on one check.)

*Please note:*

- Every plan sheet is to be signed and sealed by a qualified design professional.
- The SCD Owners Certification Statement is to be signed in ink on each set of plans.
- DelDOT Entrance Permit is required prior to scheduling a Pre-Construction meeting. (if applicable)
- DNREC Drainage Section approval is required prior to SCD final approval. (if applicable)

If plans are submitted with any of the above items missing, they will **not** be approved. Be advised if there are any deficiencies which cannot be addressed within 72 hours the plans will be considered withdrawn and therefore, you will need to entirely resubmit. We appreciate your cooperation in this matter as we are trying to maintain a professional and structured office to better serve you.

If ownership is going to change, the District will require a new application and two sets of plans with the new owner's information and signed certification statement. In addition, the authorization to discharge stormwater under the regulations *Part 2 Special Conditions for Storm Water Discharges Associated with Construction Activities*, must be transferred by the original owner to the new owner, please contact DNREC at 302-739-9921 for assistance.

If you have any questions or concerns regarding the aforementioned, please do not hesitate to contact the District at 302-856-2105.

Sincerely,

*John Justice*

John Justice  
Stormwater Plan Reviewer



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. Box 778  
DOVER, DELAWARE 19903

NICOLE MAJESKI  
SECRETARY

December 16, 2022

Mr. Jamie Whitehouse, Director  
Sussex County Planning & Zoning Commission  
Sussex County Administration Building  
P.O. Box 417  
Georgetown, Delaware 19947

**SUBJECT: Letter of No Objection to Recordation**  
**Shady Road Commercial**  
Tax Parcel # 334-6.00-511.02, 511.06, 513.00  
Shady Road (SCR 276)  
Lewes & Rehoboth Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Site Plan, dated July, 2022 (last revised December 1, 2022), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawings. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Site Plan is not recorded prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

**This letter does not authorize the commencement of entrance construction.** Entrance plans shall be developed in accordance with DelDOT's Development Coordination Manual and submitted to the Development Coordination Section for review and approval.


This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There

Shady Road Commercial  
Mr. Jamie Whitehouse  
Page 2  
December 16, 2022

may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

If I can be of any further assistance, please call me at (302) 760-2266.

Very truly yours,



Wendy L. Polasko, P.E.  
Subdivision Engineer  
Development Coordination

cc: Michael Glick, Lighthouse Construction, Inc.  
Jamie Sechler, Davis, Bowen & Friedel, Inc.  
Sussex County Planning & Zoning  
Jessica L. Watson, Sussex Conservation District  
Matt Schlitter, South District Public Works Engineer  
James Argo, South District Project Reviewer  
James Smith, South District Entrance Permit Supervisor  
Jennifer Pinkerton, Chief Materials & Research Engineer  
Linda Osiecki, Pedestrian Coordinator  
John Fiori, Bicycle Coordinator  
Mark Galipo, Traffic Development Coordination Engineer  
Tim Phillips, Maintenance Support Manager  
Dan Thompson, Safety Officer North District  
Jared Kauffman, DTC Planner  
James Kelley, JMT  
Kevin Hickman, Sussex County Review Coordinator  
Brian Yates, Sussex County Reviewer

# PRELIMINARY SITE PLAN

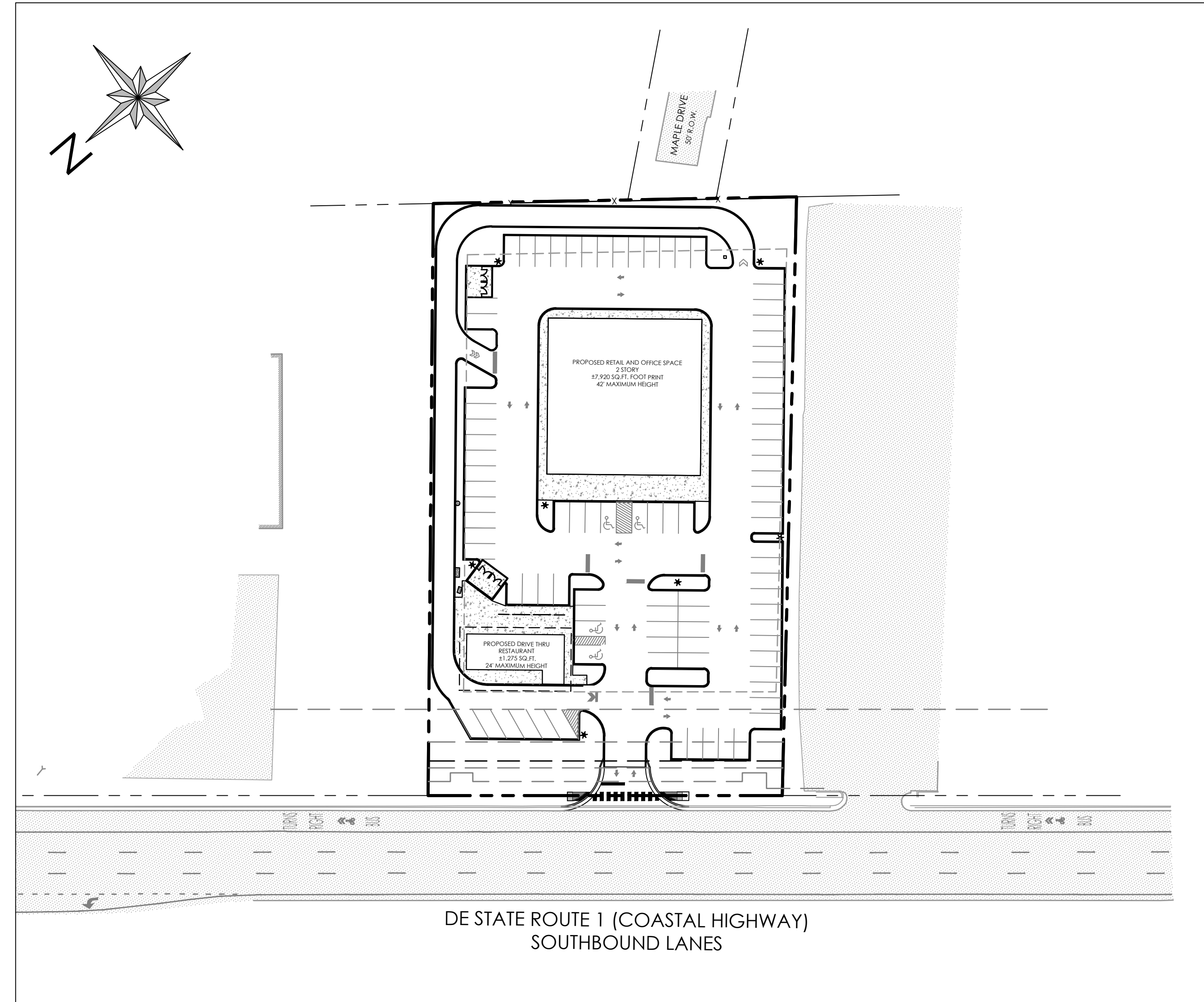
FOR

# 18422 COASTAL HIGHWAY

LEWES & REHOBOTH HUNDRED - SUSSEX COUNTY, DELAWARE

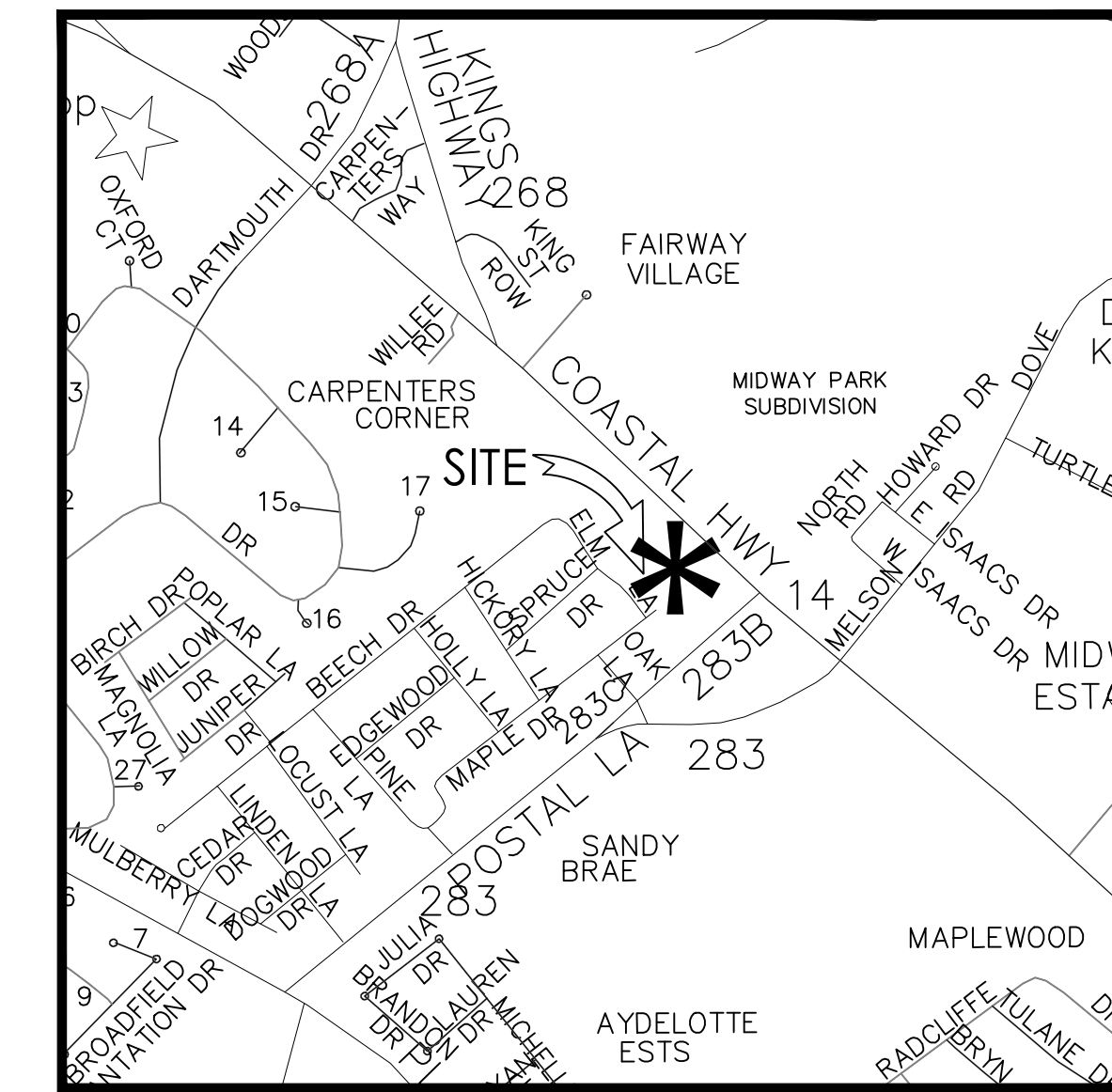
## LEGEND

PROPERTY LINE	---	---
EASEMENT LINE	- - - - -	- - - - -
SETBACK LINE	---	---
SPOT ELEV. LABEL	x 19.25	19.25
MAJOR CONTOUR	- - - - -10	10
MINOR CONTOUR	- - - - -7	7
ROAD CENTERLINE	---	---
EDGE OF CONCRETE	---	---
EDGE OF PAVEMENT	---	---
EDGE OF GRAVEL	---	N/A
PAINT STRIPE	---	---
CURB	---	---
PAVEMENT HATCH	▨	▨
CONCRETE HATCH	▩	▩
BUILDING OUTLINE	---	---
SIDEWALK	---	---
SIDEWALK HATCH	▨	▨
SIGN	⊙	⊙
EDGE OF WETLAND	---	N/A
STORM MANHOLE	⊙	⊙
CURB INLET	⊙	⊙
YARD INLET	⊙	⊙
STORM PIPE	---	---
RIP RAP	▨	▨
SANITARY MANHOLE	N/A	⊙
SANITARY CLEANOUT	N/A	⊙
SANITARY PIPE	N/A	---
WATER VALVE	N/A	⊙
WATER PIPE	N/A	---
FIRE HYDRANT	N/A	⊙
LIGHT POLE	☆	☆



## SHEET INDEX

- COVER SHEET
- SITE PLAN
- BULK GRADING PLAN



VICINITY MAP  
SCALE: 1" = 1,000'

## SITE DATA:

OWNER/  
DEVELOPER REED VENTURES, LLC  
28855 GEORGETOWN HIGHWAY  
SUITE B  
LEWES, DE 19958

ENGINEER: SOLUTIONS IPEM, LLC  
303 NORTH BEDFORD STREET  
GEORGETOWN, DE 19947  
PHONE: 302.297.9215  
CONTACT: JASON PALKEWICZ, PE

- TAX MAP: 334-6.00-479.00
- GROSS AREA = 1.65 AC.±
- NET DEVELOPMENT AREA = 1.65 AC.± (100%)
- SITE IMPERVIOUS AREA = 1.36 AC.± (82.6%)
- EXISTING ZONING: C-1 (GENERAL COMMERCIAL)
- SETBACKS: FRONT= 60'  
SIDE= 5' ADJACENT TO COMMERCIAL USE  
20' ADJACENT TO RESIDENTIAL USE  
REAR= 30' (ADJACENT TO RESIDENTIAL USE)
- PROPOSED USE: DRIVE-THRU RESTAURANT, RETAIL & OFFICE SPACE
- BUILDING SIZES: PROPOSED DRIVE THRU RESTAURANT BUILDING ±1,275 SQ.FT.  
PROPOSED COMMERCIAL BUILDING ±7,920 SQ.FT.
- PARKING: REQUIRED: 91 SPACES  
PROVIDED: 92 SPACES  
DRIVE-THRU STACKING SPACES: (24) 10'x20' SPACES
- SEWER SERVICE: SUSSEX COUNTY UNIFIED SANITARY SEWER DISTRICT
- WATER SERVICE: TIDEWATER UTILITIES, INC.
- SOIL TYPE: GuB - GREENWICH-URBAN LAND COMPLEX - HYDROLOGIC SOIL GROUP B
- PROPERTY IS LOCATED IN FLOOD ZONE X UNSHADED - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FIRM MAP NUMBER 10005C0332K, MAP REVISED MARCH 16, 2015.
- THIS PARCEL IS NOT LOCATED IN A WELLHEAD PROTECTION ARE.
- THIS PARCEL IS LOCATED IN AN AREA OF "GOOD" GROUNDWATER RECHARGE POTENTIAL.
- THIS PARCEL IS LOCATED WITHIN THE HENLOPEN TRANSPORTATION IMPROVEMENT DISTRICT (TID).

## REQUIRED PARKING FOR PROPOSED USES

RETAIL STORES -  
1 PER 200 SQ.FT. OF FLOOR AREA USED FOR SALES OR DISPLAY OF MERCHANDISE PURPOSES, PLUS 1 FOR EACH 2 EMPLOYEES ON THE LARGEST SHIFT

$$(7,920 \text{ SF} \times 80\% \times \frac{1}{200 \text{ SF}}) + (12 \text{ EMPLOYEES} \times 1 \text{ SPACE}/2 \text{ EMPLOYEE}) = 38 \text{ REQUIRED SPACES}$$

OFFICE -  
1 PER 200 SQ. FT. OF FLOOR AREA, EXCLUSIVE OF BASEMENT, IF NOT USED FOR OFFICE OR CUSTOMER SERVICE PURPOSES  
(7,920 SF x  $\frac{1}{200 \text{ SF}}$ ) = 40 REQUIRED SPACES

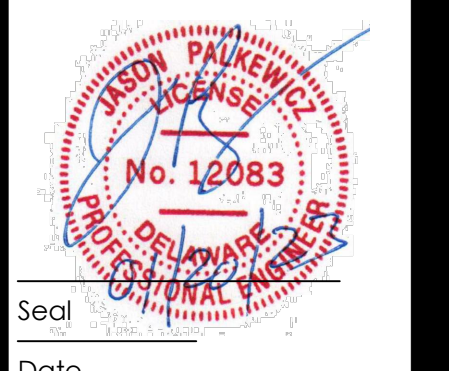
EATING PLACES, TAVERNS, BARS AND NIGHTCLUBS -  
1 FOR EACH 50 SQ.FT. ASSIGNED FOR PATRON USE, PLUS 1 PER 2 EMPLOYEES ON THE LARGEST SHIFT

$$1 \text{ SPACE}/50 \text{ SF} \times 500 \text{ SF} + 6 \text{ EMPLOYEES} \times 1 \text{ SPACE}/2 \text{ EMPLOYEE} = 13 \text{ REQUIRED SPACES}$$

TOTAL SPACES REQUIRED = 91 SPACES

**solutions**  
IPEM, LLC  
Professional Engineering Firm

303 North Bedford Street  
Georgetown, DE 19947  
T. 302.297.9215  
3033 Manitt Mill Road  
Salisbury, MD 21804  
T. 410.572.8833  
www.solutionsipem.com Copyright © 2023



NO.	DATE	DESCRIPTION
1	1-20-23	REVISIONS PER COUNTY COMMENTS 1-12-23

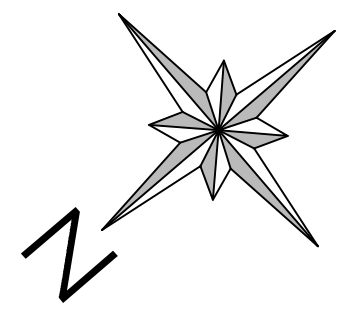
COVER SHEET  
for  
**18422 COASTAL HIGHWAY**  
LEWES AND REHOBOTH HUNDRED  
SUSSEX COUNTY, DELAWARE

Date:	11/21/22
Job Number:	G21090
Scale:	AS SHOWN
Drawn By:	JPR
Designed By:	JPR
Approved By:	JRE

Sheet No.: 1

File Name: G21090-COVER

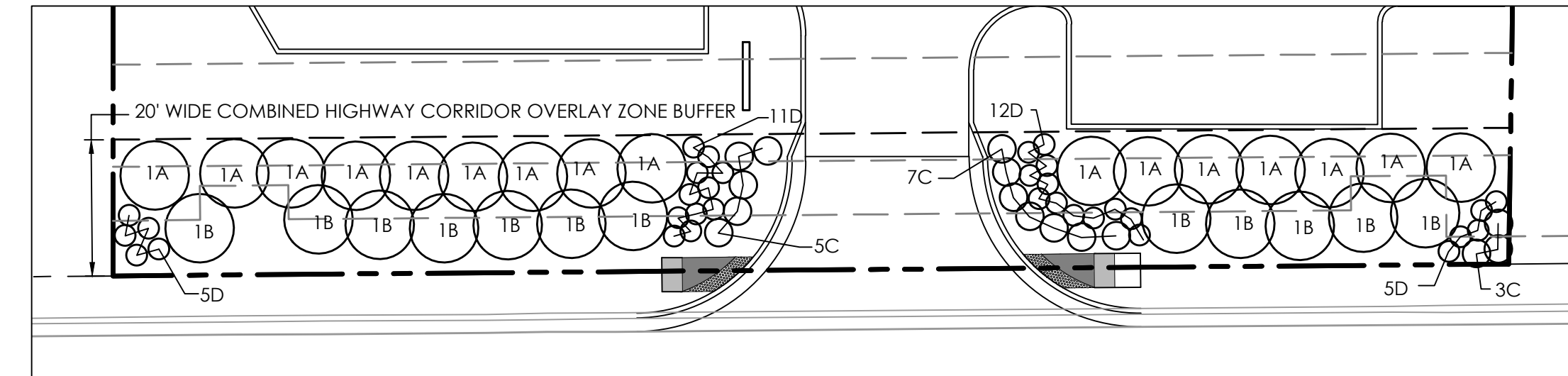
SUSSEX CONSERVATION DISTRICT APPROVAL:



Lands N/F  
WILLIAM S. & MELISSA A. BELOTE  
Tax Map: 334-6.00-473.00  
DB 2069/239  
Zoned: MR

Lands N/F  
RONALD HILL  
Tax Map: 334-6.00-382.00  
DB 5158/16  
Zoned: MR

MAPLE DRIVE  
50' R.O.W.



CHDOZ LANDSCAPING PLAN  
SCALE: 1"=20'

LANDSCAPE SCHEDULE					
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	PLACEMENT	SPECIFICATION
A	15	Cercis canadensis	Eastern Redbud	10' O.C.	5' HGT. MIN.
B	12	Ilex opaca	American Holly	10' O.C.	5' HGT. MIN.
C	15	Ilex glabra 'Compacta'	Compact Inkberry	5' O.C.	2 GALLON CONT.
D	23	Aronia arbutifolia	Red Chokeberry	4' O.C.	2 GALLON CONT.

PROPOSED DUMPSTER ENCLOSURE -  
COMMERCIAL SPACE (SCREENED  
W/ 8' TALL CONCRETE MASONRY  
BLOCK)

DIRECTIONAL SIGNAGE  
THANK YOU / DO NOT ENTER

Lands N/F  
LEWES ASSEMBLY OF GOD CHURCH  
Tax Map: 334-6.00-478.00  
Zoned: MR

PRE-ORDER BOARD

ORDER POINT CANOPY  
MENU BOARD

PROPOSED OUTDOOR  
SEATING AREA ±500 SQ.FT.

PROPOSED DRIVE THRU  
RESTAURANT  
±1,275 SQ.FT.  
24' MAXIMUM HEIGHT

PROPOSED EMPLOYEE PARKING

PROPOSED PYLON SIGN

PROPOSED RETAIL AND OFFICE SPACE  
2 STORY  
±7,920 SQ.FT. FOOT PRINT  
42' MAXIMUM HEIGHT

30' REAR YARD SETBACK

CLEARANCE BAR  
DIRECTIONAL SIGNAGE  
LIGHT POLE (TYP.)

Lands N/F  
MORRIS & MORRIS LTD PARTNERSHIP  
Tax Map: 334-6.00-480.00  
DB 5277/190  
Zoned: C-1

EXISTING PARKING LOT

EXISTING PARKING LOT

EXISTING DELMARVA POWER AND LIGHT EASEMENT

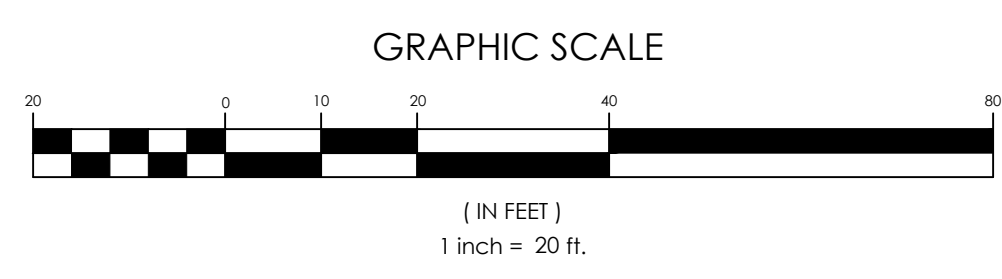
20' WIDE COMBINED HIGHWAY CORRIDOR OVERLAY ZONE BUFFER

EXISTING DELDOT EASEMENT

15' SUSSEX COUNTY UTILITY EASEMENT

TURNING RIGHT  
BUS

DE STATE ROUTE 1 (COASTAL HIGHWAY)  
SOUTHBOUND LANES



solutions  
LANDSCAPE ARCHITECTURE

303 North Bedford Street  
Georgetown, DE 19842  
T. 302-297-9215  
3033 Manitt Mill Road  
Salisbury, MD 21804  
T. 410-572-8833  
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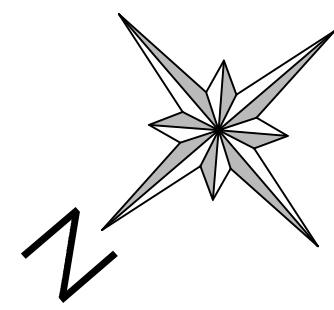


REVISIONS	
NO.	DESCRIPTION
1	REVISIONS PER COUNTY COMMENTS 1-12-23

SITE PLAN for  
**18422 COASTAL HIGHWAY**  
LEWES AND REHOBOTH HUNDRED  
SUSSEX COUNTY, DELAWARE

Date:	11/22/22
Job Number:	G21090
Scale:	1" = 20'
Drawn By:	JPR
Designed By:	JPR
Approved By:	JRE

Sheet No.: **2**  
File Name: G21090-SITE PLAN

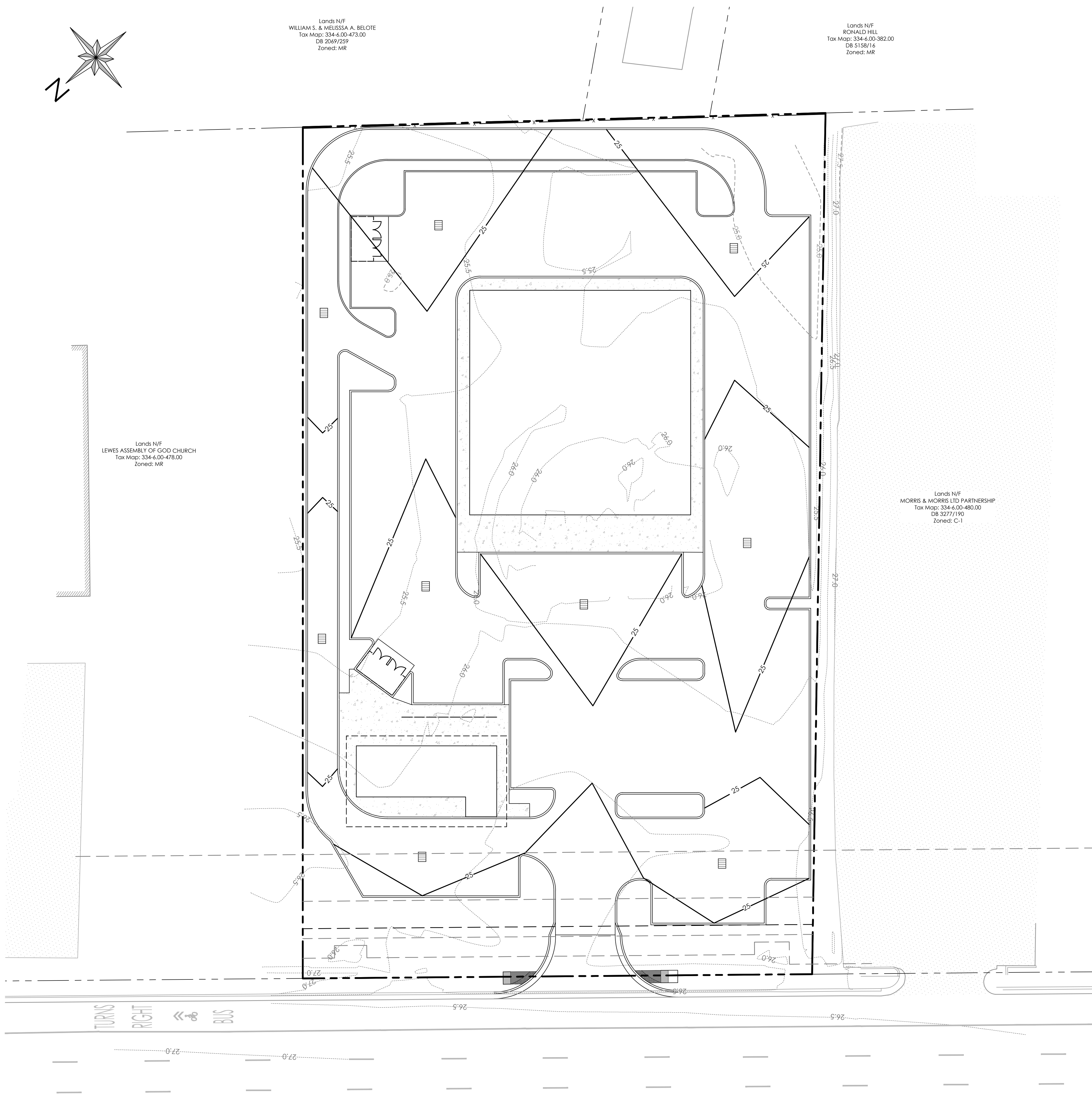


Lands N/F  
WILLIAM S. & MELISSA A. BELOTE  
Tax Map: 334-6.00-473.00  
DB 2069/239  
Zoned: MR

Lands N/F  
RONALD HILL  
Tax Map: 334-6.00-382.00  
DB 5158/16  
Zoned: MR

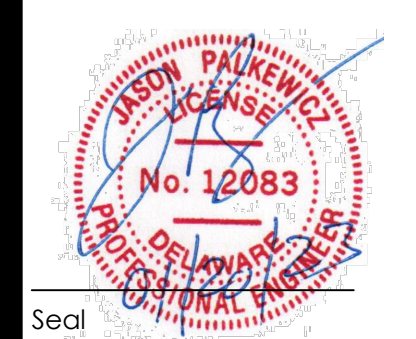
Lands N/F  
LEWES ASSEMBLY OF GOD CHURCH  
Tax Map: 334-6.00-478.00  
Zoned: MR

Lands N/F  
MORRIS & MORRIS LTD PARTNERSHIP  
Tax Map: 334-6.00-480.00  
DB 3277/190  
Zoned: C-1



**solutions**  
Engineering & Construction  
Professional Services, LLC

303 North Bedford Street  
Georgetown, DE 19142  
T. 302-297-9215  
3033 Manitt Mill Road  
Salisbury, MD 21804  
T. 410.572.8833  
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Seal  
Date

NO.	DATE	DESCRIPTION
1	1-20-23	REVISIONS PER COUNTY COMMENTS 1-12-23

BULK GRADING PLAN  
for  
**18422 COASTAL HIGHWAY**  
LEWES AND REHOBOTH HUNDRED  
SUSSEX COUNTY, DELAWARE

Date: 11/22/22  
Job Number: G21090  
Scale: 1" = 20'  
Drawn By: JPR  
Designed By: JPR  
Approved By: JRE

Sheet No.: **3**  
File Name: G21090-BULK GRADING PLAN

solutions

Integrated Planning  
Engineering & Management, LLC

January 20, 2023

Mr. Jamie Whitehouse, AICP, MRTPI  
Director, Department of Planning and Zoning  
Sussex County  
2 The Circle, PO Box 417  
Georgetown, DE 19947

**RE: 18422 Coastal Highway – Parking  
Via Email**

Dear Jamie:

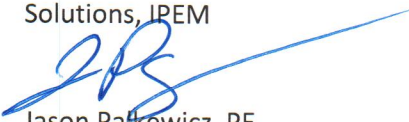
Solutions IPEM has submitted a preliminary site plan for commercial development on TM 334-6, P 479, located at 18422 Coastal Highway. Per 115-116 C, parking within the front yard setback shall be discouraged and subject to site plan review.

The proposed site plan does propose parking within the front setback. However, there is no parking proposed in the Combined Highway Corridor Overlay Zone. Furthermore, the proposed parking is 15' further back from Coastal Highway than the neighbors to the north and south. Parking in the front setback is very common along this section of Coastal Highway.

Please include this letter requesting parking in the front yard setback as part of our submittal package to the Planning and Zoning Commission.

Sincerely,

Solutions, IPEM



Jason Parkewicz, PE  
CEO



# FUQUA, WILLARD & SCHAB, P.A.

PAYNTER HOUSE  
26 THE CIRCLE OR P.O. BOX 250  
GEORGETOWN, DELAWARE 19947  
PHONE 302-856-7777  
FAX 302-856-2128  
onthecircle@fwsdelaw.com

JAMES A. FUQUA, JR.  
WILLIAM SCHAB  
TIMOTHY G. WILLARD  
www.fwsdelaw.com

LEWES REAL ESTATE OFFICE  
16698 KINGS HIGHWAY, SUITE B  
LEWES, DELAWARE 19958  
PHONE 302-645-6626  
FAX 302-645-6620  
realestate@fwsdelaw.com

BLUE BUILDING  
105 W. 4TH STREET  
LEWES, DE 19958  
PHONE 302-856-9024  
FAX 302-856-6360

REHOBOTH OFFICE  
20245 BAY VISTA RD., UNIT 203  
REHOBOTH BEACH, DE 19971  
PHONE 302-227-7727  
FAX 302-227-2226

January 6, 2023

Jamie Whitehouse, Director  
Sussex County Planning Dept.  
2 The Circle  
Georgetown, DE 19947

**Re: Sub. 2019-29  
Scenic Manor**

Dear Mr. Whitehouse:

RECEIVED  
JAN 06 2023  
SUSSEX COUNTY  
PLANNING & ZONING

In reference to the above, the applicant respectfully request the Planning and Zoning Commission to revise Condition "J" of the Conditions of Approval.

The condition currently limits site work on Monday through Friday to the hours of 8:00 a.m. through 5:00 p.m. It is requested to revise those hours to "7:00 a.m. through 6:00 p.m.".

Please place this request on the Commission's Agenda as other business at the next available date.

Respectfully submitted,

FUQUA, WILLARD & SCHAB, P.A.

By: James A. Fuqua, Jr.  
James A. Fuqua, Jr.

JAF/jel

## PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN  
KIM HOEY STEVENSON, VICE-CHAIRMAN  
R. KELLER HOPKINS  
J. BRUCE MEARS  
HOLLY J. WINGATE



# Sussex County

DELAWARE  
sussexcountyde.gov  
302-855-7878 T  
302-854-5079 F

JAMIE WHITEHOUSE, AICP, MRTPI  
DIRECTOR OF PLANNING & ZONING

September 9, 2022

Mr. Phillip L. Tolliver, P.E.  
Principal  
Morris & Ritchie Associates, Inc.  
18 Boulden Circle, Suite 36  
New Castle, DE 19720

By email to: [ptolliver@mragta.com](mailto:ptolliver@mragta.com)

RE: Notice of Decision Letter for Final Subdivision & Landscape Plan for Scenic Manor (2019-29) (F.K.A. Estates at Mulberry Knoll) for a Coastal Area cluster subdivision to divide 166.83 acres +/- into 319 single-family lots, private roads, open space and amenities to include a clubhouse, walking paths and two (2) tot lots to be located on the east and west sides of Mulberry Knoll Road (S.C.R. 284), approximately 0.67 mile south of John J. Williams Highway (Route 24)  
Tax Parcel: 334-18.00-43.00

Dear Mr. Tolliver,

At their meeting of **Thursday, September 8, 2022**, the Planning & Zoning Commission **approved** the **Final Subdivision Plan and Landscape Plan** for **Scenic Manor (2019-29 (F.K.A. Estates at Mulberry Knoll))** for a Coastal Area Cluster Subdivision to divide 166.83 acres +/- into three hundred and nineteen (319) single-family lots, private roads, open space and amenities to include a clubhouse, walking paths and two (2) tot lots. The on the east and west sides of Mulberry Knoll Road (S.C.R. 284), approximately 0.67 mile south of John J. Williams Highway (Route 24). The property is zoned Agricultural Residential (AR-1) District and lies within the Coastal Area Future Land Use Map designation per Sussex County's 2019 Comprehensive Plan.

**The subject property is located within the Henlopen Transportation Improvement District (TID) and shall be subject to all requirements as prescribed in the Henlopen TID Agreement ("Infrastructure Recoupment Agreement), including payment of all related TID fees to the County, which has been recorded at DB 5687, PG 273. Payment of all TID fees shall be made at the time of Developer Application to the County for a building permit for the property.**

Please submit a minimum of **four (4) full-sized (24" x 36") signed and sealed paper copies** of the **Final Subdivision Plan** to the Planning and Zoning Office for approval. **Two (2) copies** will be retained for the file and **one (1) copy** is necessary for recording purposes. Additional copies of the plan may also be submitted for endorsement by staff.



COUNTY ADMINISTRATIVE OFFICES  
2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DELAWARE 19947

Please note that the plan shall be recorded in the Sussex County Recorder of Deeds Office within sixty (60) days from the Planning and Zoning Commission's final plan approval of 9/8/2022. The Final Subdivision Plan shall be valid for a period of five (5) years from the date of approval by the County. Any such Final Subdivision Plan shall be rendered null and void if substantial construction is not actively and continuously underway on the use within five (5) years of the date of approval by the County.

**Please note that a \$10.00 per lot fee is required to be paid prior to the approval of any Final Subdivision Plan. For three-hundred and nineteen (319) lots, the total is \$3,190.00.**

Please feel free to contact me during business hours with any question from 8:30 AM – 4:30 PM, Monday through Friday, at 302-855-7878.

Sincerely,

A handwritten signature in cursive script that reads "Lauren DeVore".

Ms. Lauren DeVore, AICP  
Planner III

CC: Mr. Andy Wright, Chief Code Official – Building Code  
Mr. John Ashman, Director of Utility Planning & Design – Engineering – Utility Planning  
Ms. Susan Isaacs, Engineering Project Coordinator – Engineering – Public Works  
Mr. Christopher Flathers, Senior Project Manager – Morris & Ritchie Associates, Inc.  
Mr. Cory Tieste, Project Designer II – Morris & Ritchie Associates, Inc.  
Scenic Manor (2019-29) (F.K.A. Estates at Mulberry Knoll) Subdivision Plan File

CONDITIONS OF APPROVAL

- A. THERE SHALL BE NO MORE THAN 314 LOTS WITHIN THE SUBDIVISION.
B. THE SUBDIVISION SHALL BE SERVED BY A CENTRAL WATER SYSTEM FOR POTABLE WATER AND FIRE PROTECTION.
C. THE SITE SHALL BE SERVED BY CENTRAL SEWER AS PART OF THE SUSSEX COUNTY SEWER SYSTEM.
D. THE DEVELOPER SHALL ESTABLISH A HOMEOWNER'S ASSOCIATION RESPONSIBLE FOR THE MAINTENANCE OF STREETS, BUFFERS, STORMWATER MANAGEMENT FACILITIES AND OTHER COMMON AREAS.
E. THE STORMWATER MANAGEMENT SYSTEM SHALL MEET OR EXCEED THE REQUIREMENTS OF THE STATE AND COUNTY. THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT FOR THE DESIGN AND LOCATION OF ALL STORMWATER MANAGEMENT AREAS AND EROSION AND SEDIMENTATION CONTROL FACILITIES. THE SYSTEM SHALL BE MAINTAINED AND OPERATED USING BEST MANAGEMENT PRACTICES.
F. THERE SHALL BE A VEGETATED OR FORESTED BUFFER THAT IS AT LEAST 20 FEET WIDE INSTALLED ALONG THE PERIMETER OF THIS SUBDIVISION. THIS BUFFER SHALL UTILIZE FOREST OR SIMILAR VEGETATION AS MUCH AS POSSIBLE WITH LIMITED DISTURBANCE.
G. THE DEVELOPMENT SHALL COMPLY WITH ALL DELDOT ENTRANCE AND ROADWAY IMPROVEMENT REQUIREMENTS, INCLUDING THE REQUIREMENTS OF THE HENLOPEN TRANSPORTATION IMPROVEMENT DISTRICT.
H. STREET DESIGN SHALL MEET OR EXCEED SUSSEX COUNTY STANDARDS.
I. ROAD NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY MAPPING AND ADDRESSING DEPARTMENT.
J. CONSTRUCTION, SITE WORK AND DELIVERIES SHALL ONLY OCCUR ON THE SITE BETWEEN THE HOURS OF 8:00AM THROUGH 5:00PM, MONDAY THROUGH FRIDAY, AND 8:00AM AND 2:00PM ON SATURDAYS. NO SUNDAY WORK IS PERMITTED.
K. THE APPLICANT SHALL COORDINATE WITH THE LOCAL SCHOOL DISTRICT REGARDING THE LOCATION OF A SCHOOL BUS STOP. THE LOCATION AND DETAILS OF THIS AREA SHALL BE SHOWN ON THE FINAL SITE PLAN.
L. THE DEVELOPMENT SHALL BE SERVED BY ITS OWN ON-SITE AMENITIES INCLUDING A CLUBHOUSE THAT IS AT LEAST 3000 SQUARE FEET IN SIZE, AN OUTDOOR POOL AND TWO CHILDREN'S PLAYGROUNDS THAT ARE ON EACH SIDE OF MULBERRY KNOLL ROAD. AS REQUESTED BY THE APPLICANT, AND SUBJECT TO ANY REQUIRED STATE AND FEDERAL APPROVALS, A KAYAK LAUNCHING AREA SHALL BE PERMITTED. NO MOTORIZED VESSELS SHALL USE ANY DOCK ASSOCIATED WITH THIS DEVELOPMENT.
M. ALL AMENITIES SHALL BE COMPLETED AND OPEN FOR USE PRIOR TO THE ISSUANCE OF THE 14TH RESIDENTIAL BUILDING PERMIT.
N. AS STATED BY THE APPLICANT, THERE SHALL BE A BUFFER THAT IS AT LEAST 50 FEET WIDE FROM ALL TIDAL WATERS AND TIDAL WETLANDS. IN ADDITION, THERE SHALL NOT BE ANY DISTURBANCE OF TREES OR OTHER VEGETATION WITHIN THESE BUFFER AREAS AND THE REQUIRED SILT FENCING SHALL BE UPLAND OF THESE BUFFER AREAS TO AVOID DISTURBANCE.
O. THERE SHALL BE SIDEWALKS ON BOTH SIDES OF ALL STREETS AND THE SIDEWALK SYSTEM SHALL CONNECT WITH DELDOT'S MULTIMODAL PATH.
P. AS STATED BY THE APPLICANT, A SYSTEM OF FULLY-SHIELDED AND DOWNWARD SCREENED STREETLIGHTING SHALL BE PROVIDED.
Q. THE DEVELOPER SHALL COORDINATE WITH DELDOT FOR A SAFE CROSSING OF MULBERRY KNOLL ROAD BETWEEN THE TWO SECTIONS OF THIS SUBDIVISION. THE DEVELOPER SHALL INDICATE THE MEANS OF SAFE CROSSING ON THE FINAL SITE PLAN, AND NO HOVES SHALL BE CONSTRUCTED ON THE WEST SIDE OF MULBERRY KNOLL ROAD UNTIL THOSE SAFETY MEASURES ARE INSTALLED.
R. THE APPLICANT SHALL COMPLY WITH ALL OF THE TERMS AND CONDITIONS OF THE HENLOPEN TRANSPORTATION IMPROVEMENT DISTRICT INFRASTRUCTURE RECOUPMENT AGREEMENT DATED MARCH 7TH, 2022, INCORPORATED HEREIN BY REFERENCE.
S. THE FINAL SITE PLAN SHALL INCLUDE A LANDSCAPE PLAN CONFIRMING ALL LANDSCAPING TO BE PROVIDED, THE PRESERVATION OF ALL BUFFER AREAS, AND THE FORESTED AREAS THAT WILL BE PRESERVED.
T. A COPY OF THE FINAL ARCHEOLOGICAL REPORT PREPARED BY EDWARD OTTER, INC. SHALL BE SENT TO THE STATE HISTORICAL PRESERVATION OFFICE PRIOR TO THE SUBMISSION OF A FINAL SITE PLAN.
U. A REVISED PRELIMINARY SITE PLAN EITHER DEPICTING OR NOTING THESE CONDITIONS MUST BE SUBMITTED TO THE OFFICE OF PLANNING AND ZONING.
V. THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.

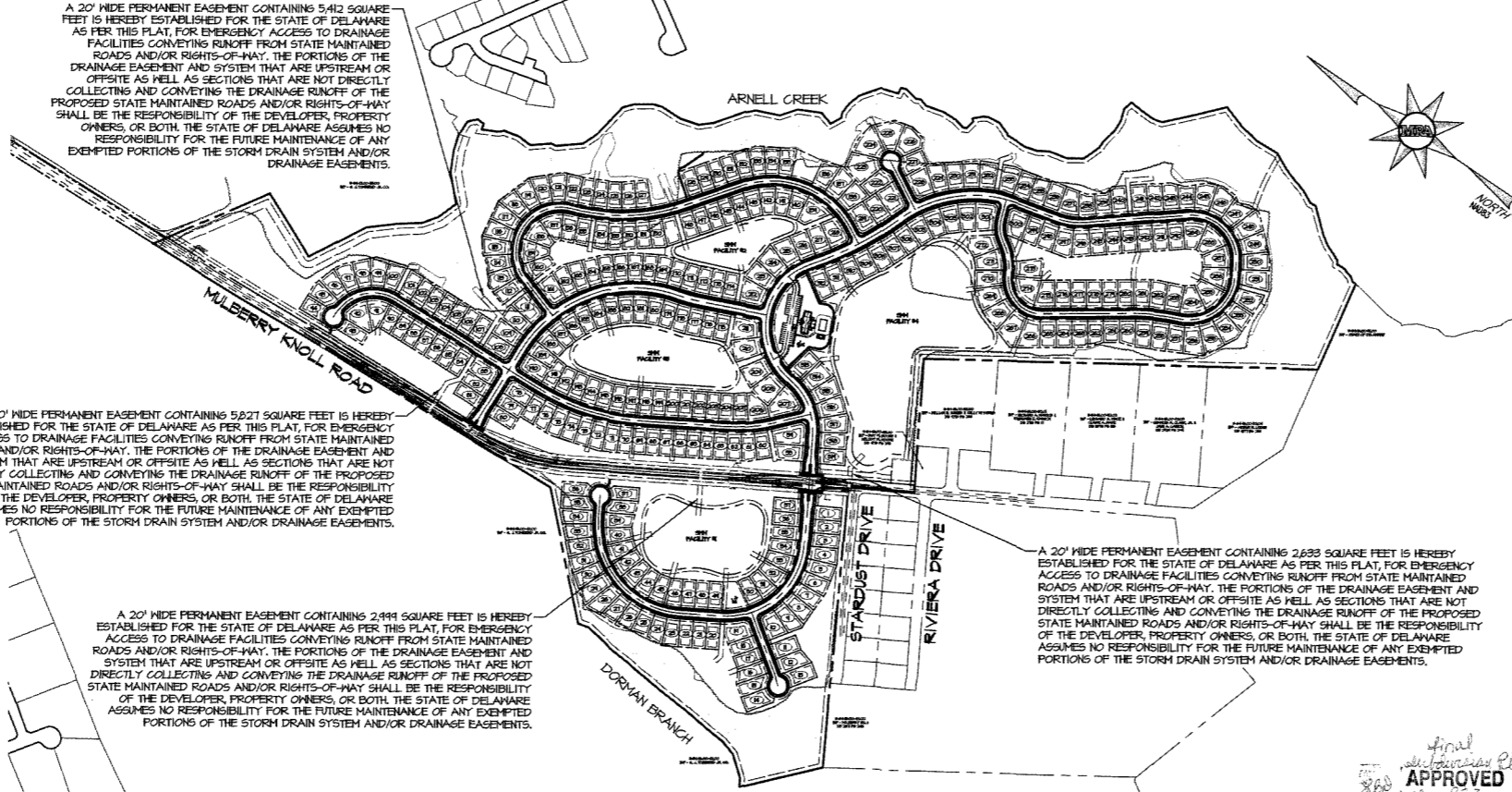
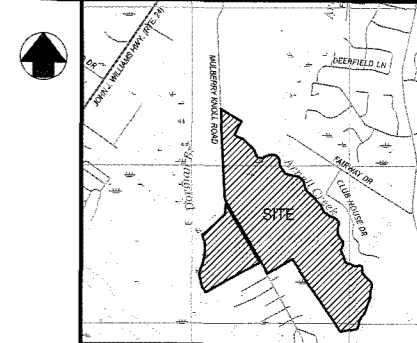
INDEX OF DRAWINGS

- 1 - FINAL RECORD PLATS TITLE SHEET
2 - FINAL RECORD PLATS NOTES & DETAILS
3 - FINAL RECORD PLATS
4 - FINAL RECORD PLATS
5 - FINAL RECORD PLATS
6 - FINAL RECORD PLATS
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10 - FINAL RECORD PLATS
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13 - FINAL RECORD PLATS
14 - FINAL RECORD PLATS

SCENIC MANOR
F.K.A. ESTATES AT MULBERRY KNOLL
SUSSEX COUNTY, DELAWARE
FINAL RECORD PLATS
AR-1 CLUSTER
SUSSEX COUNTY PLANNING # 2019-29

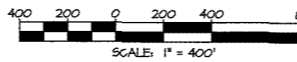
LEGEND

- EXISTING PROPERTY LINE
PROPOSED RM LINE
PROPOSED LOT LINE
PROPOSED BUILDING SETBACK LINE
EXISTING CONTOURS
PROPOSED CONTOURS
PROPOSED LOT NUMBER
EXISTING WOODLANDS
PROPOSED WOODLANDS

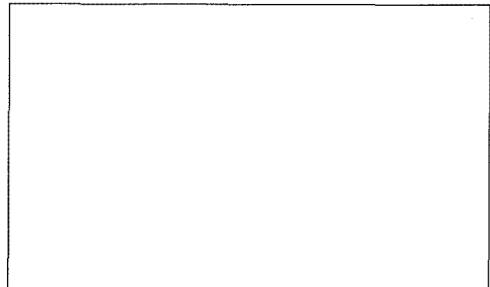


OVERALL SITE PLAN

SCALE: 1" = 400'



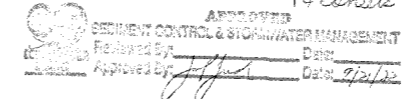
SUSSEX CONSERVATION DISTRICT APPROVAL BLOCK



NOTE: IF REQUIRED BY THE CAPE HENLOPEN SCHOOL DISTRICT A PROTECTED SCHOOL BUS SHELTER WITH RELATED PARKING SHALL BE INSTALLED AT THE ENTRANCE TO THE DEVELOPMENT. ALTERNATIVELY, THE DEVELOPER SHALL COORDINATE WITH THE SCHOOL DISTRICT FOR ANOTHER LOCATION, WITH A PREFERENCE FOR THE CLUBHOUSE BUILDING.

A 20' WIDE PERMANENT EASEMENT CONTAINING 5,927 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAN, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES...

A 20' WIDE PERMANENT EASEMENT CONTAINING 2,683 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAN, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES...



OWNER'S CERTIFICATION table with three rows, each containing a signature, date, and name of the owner.

OWNER'S CERTIFICATION table with three rows, each containing a signature, date, and name of the owner.

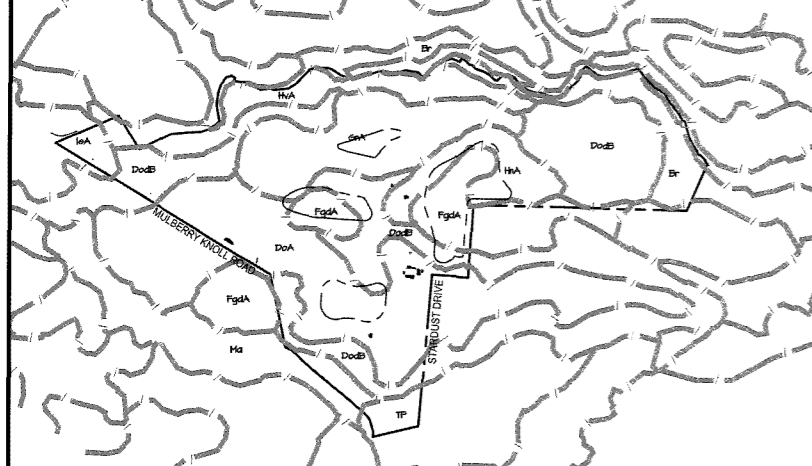
PROJECT TEAM table listing roles such as Developer, Land Planners, Surveyor, Environmental Consultant, etc., and the corresponding firms.

OWNER'S CERTIFICATION table with two rows, including a Wetlands Statement by Geo-Technology Associates, Inc.

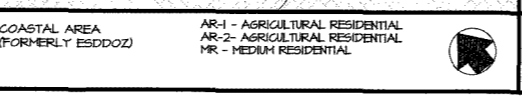
ENGINEER'S CERTIFICATION table with one row, including a signature and date from Phillip L. Tolliver, P.E.

TID NOTE and PHASING NOTE sections providing additional project information.

PLAN APPROVALS table with two rows, each containing a signature, date, and name of the approving official.

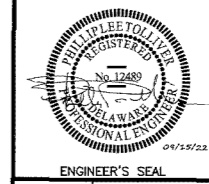


ZONING MAP table listing zoning codes (AR-1, AR-2, etc.) and their descriptions.



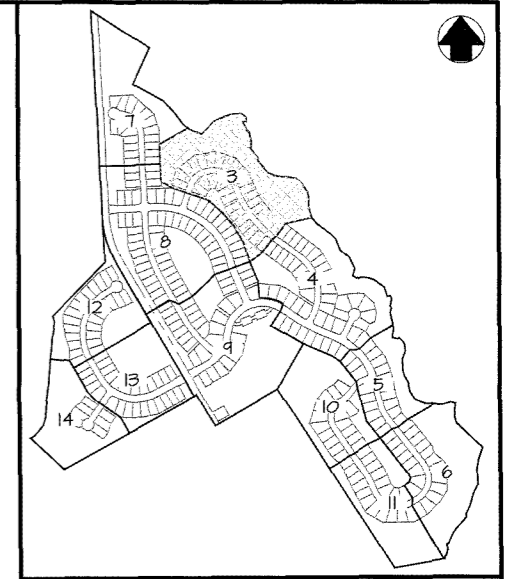
PHASING MAP text explaining the project will be approved as a single phase project with six (6) operational breaks...

MRA logo and contact information for Morris & Ritchie Associates, Inc., including address and phone number.



FINAL RECORD PLATS TITLE SHEET FOR SCENIC MANOR SCR 284, including a table of revisions and a grid for drawing details.





**KEY MAP**  
 SCALE: 1"=800'

**LINE TABLE**

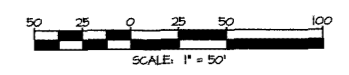
LINE #	LENGTH	DIRECTION
L-64	23.25	S 05° 07' 24" E
L-65	26.00	S 45° 00' 34" E
L-66	26.26	S 74° 35' 57" W
L-67	50.32	S 60° 37' 05" E
L-68	40.30	S 16° 34' 49" E
L-83	33.08	S 03° 08' 35" W

**CURVE TABLE**

CURVE #	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C169	875.00'	507.33'	S 36° 11' 51" E	500.25'
C170	225.00'	558.51'	N 89° 18' 04" E	425.77'
C177	925.00'	536.32'	S 36° 11' 51" E	528.84'
C178	175.00'	434.40'	N 89° 18' 04" E	331.15'

**LEGEND**

- EXISTING PROPERTY LINE
- EXISTING EDGE OF PAVEMENT
- EXISTING STORM DRAIN
- TIDAL WETLANDS
- WETLANDS BUFFER
- LANDSCAPE BUFFER
- ADJACENT PROPERTY LINE
- PROPOSED LOT LINE
- PROPOSED RIGHT OF WAY LINE
- PROPOSED STORMWATER MANAGEMENT AREA
- PROPOSED ROAD STRIPING
- LINE OF SIGHT
- PROPOSED SETBACK LINE
- PROPOSED EASEMENT LINE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED BITUMINOUS WALKING TRAIL
- PROPOSED SHARED USE PATH
- EXISTING WOODLANDS LINE
- PROPOSED WOODLANDS
- PROPOSED MONUMENT



**MRA**  
**MORRIS & RITCHE ASSOCIATES, INC.**  
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 WILMINGTON, DE 19720  
 (302) 326-2200  
 FAX: (302) 326-2399  
 MRAGTA.COM  
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**FINAL RECORD PLATS**  
 FOR  
**SCENIC MANOR**  
**SCR 284**

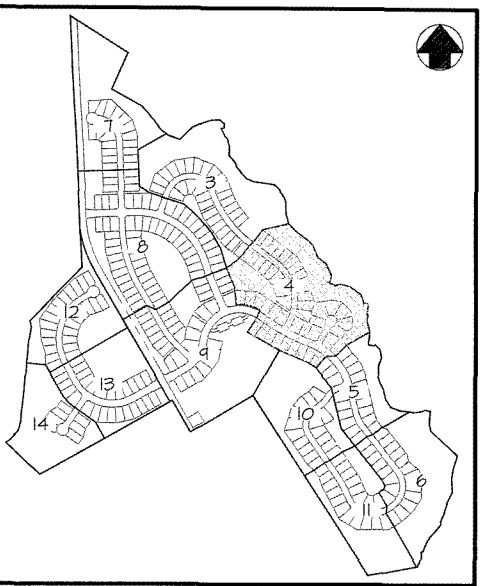
ENGINEER'S SEAL: LEWIS & REHOBOTH HUNDRED, SUSSEX COUNTY, DELAWARE

DATE	REVISIONS	JOB NO.:
6/2/22	DELDOT COMMENTS	20572
8/31/22	SUSSEX COUNTY PLANNING AND ZONING COMMENTS	SCALE: 1"= 50'
		DATE: 5/20/21
		DESIGN BY: BS
		DRAWN BY: CJF/CMT
		REVIEW BY: CJF
		SHEET: 3 OF 14

A 20' WIDE PERMANENT EASEMENT CONTAINING 5,412 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAN, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.

**PLAT**

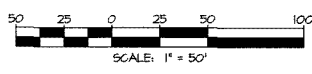
CURVE TABLE				
CURVE #	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C134	24.78'	40.24'	S 17° 34' 27" E	35.98'
C135	605.00'	41.45'	S 67° 50' 39" E	41.44'
C136	25.00'	37.28'	N 71° 23' 40" E	33.92'
C137	25.00'	21.03'	N 04° 34' 32" E	20.41'
C138	25.00'	21.03'	S 52° 45' 55" W	20.41'
C139	25.00'	37.28'	S 14° 03' 13" E	33.92'
C142	270.00'	573.33'	S 66° 26' 53" W	471.52'
C145	24.78'	40.24'	N 74° 24' 31" E	35.98'
C156	1530.00'	456.28'	N 61° 15' 49" W	454.59'
C157	545.00'	429.15'	S 47° 14' 55" E	418.15'
C159	605.00'	372.07'	S 39° 09' 33" E	366.24'
C166	50.00'	241.19'	S 61° 19' 48" E	66.67'
C167	1470.00'	160.13'	S 66° 41' 11" E	160.05'
C168	425.00'	602.50'	S 12° 11' 43" E	553.30'
C174	330.00'	297.46'	N 78° 32' 34" W	287.49'
C175	1470.00'	176.51'	N 56° 09' 36" W	176.40'
C176	375.00'	531.62'	S 12° 11' 43" E	488.21'



LINE TABLE		
LINE #	LENGTH	DIRECTION
L-60	20.13	N 18° 08' 14" E
L-63	24.63	S 24° 03' 19" E
L-69	22.42	N 64° 03' 49" E
L-70	52.41	S 86° 34' 19" E
L-71	28.76	N 81° 00' 41" E
L-72	23.04	S 24° 49' 32" E
L-73	35.47	S 17° 37' 31" W

**LEGEND**

- EXISTING PROPERTY LINE
- - - EXISTING EDGE OF PAVEMENT
- - - EXISTING STORM DRAIN
- TIDAL WETLANDS
- - - WETLANDS BUFFER
- - - LANDSCAPE BUFFER
- - - ADJACENT PROPERTY LINE
- - - PROPOSED LOT LINE
- - - PROPOSED RIGHT OF WAY LINE
- - - PROPOSED STORMWATER MANAGEMENT AREA
- - - PROPOSED ROAD STRIPING
- - - LINE OF SIGHT
- - - PROPOSED SETBACK LINE
- - - PROPOSED EASEMENT LINE
- - - PROPOSED CONCRETE SIDEWALK
- - - PROPOSED BITUMINOUS WALKING TRAIL
- - - PROPOSED SHARED USE PATH
- - - EXISTING WOODLANDS LINE
- - - PROPOSED WOODLANDS
- PROPOSED MONUMENT



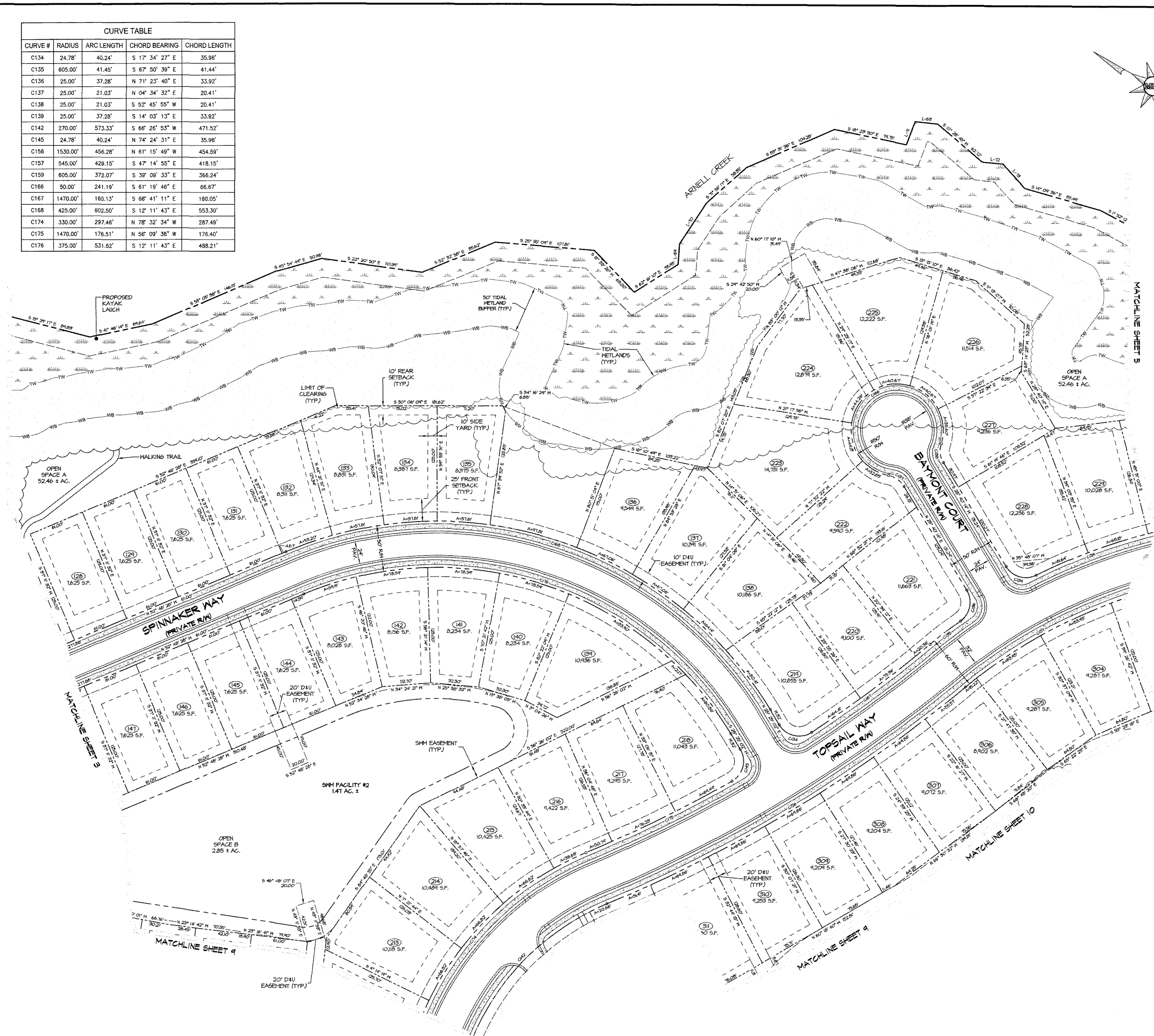
**MORRIS & RITCHIE ASSOCIATES, INC.**  
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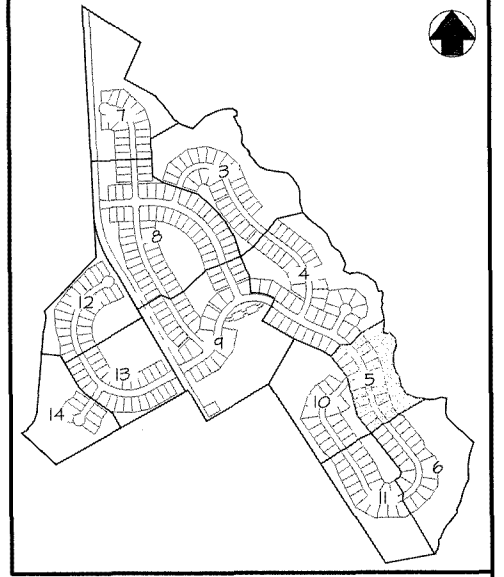
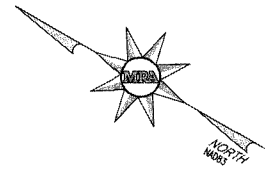
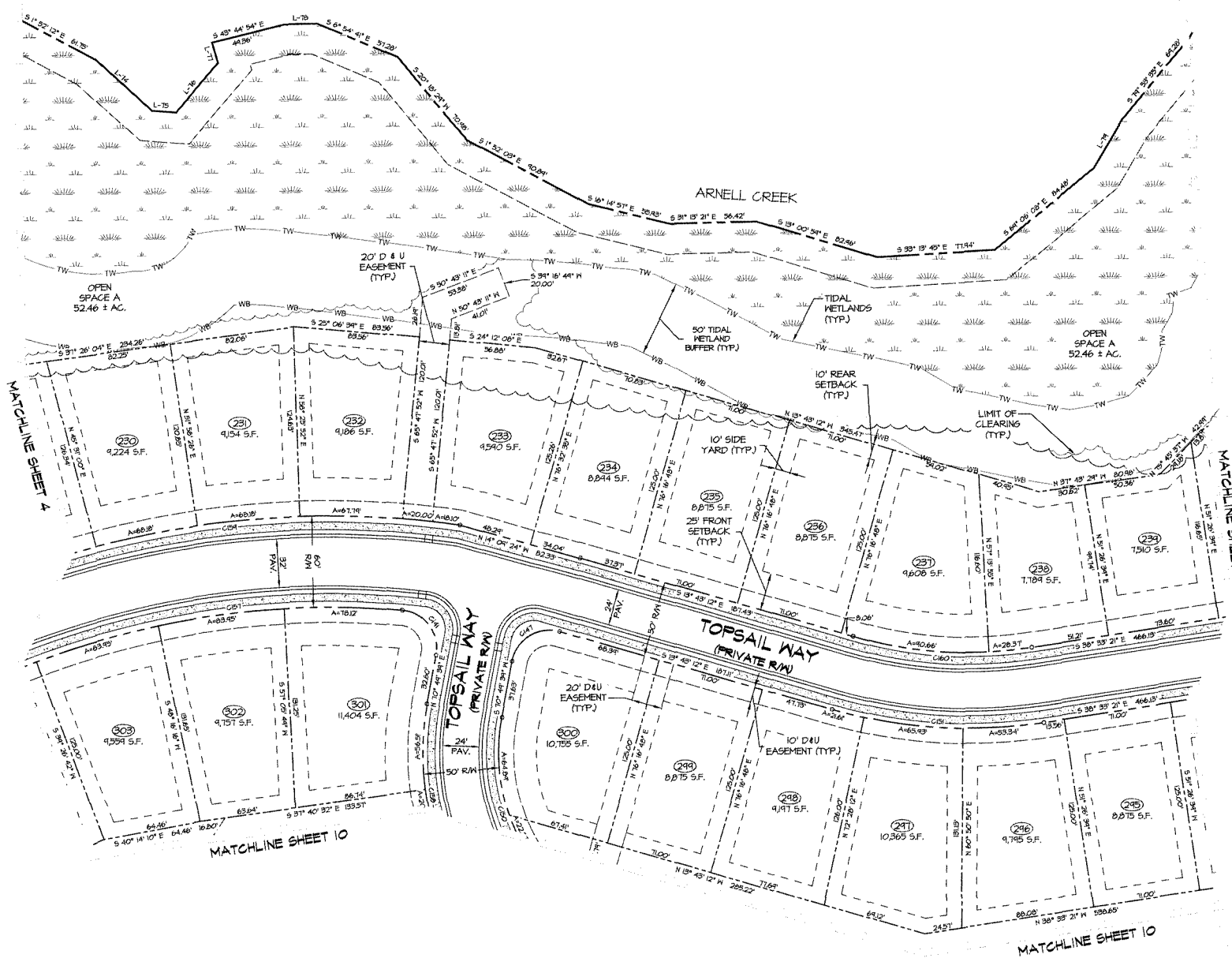


**FINAL RECORD PLATS**  
 FOR  
**SCENIC MANOR**  
 SCR 284

DATE	REVISIONS	JOB NO.:
6/2/22	DELDOT COMMENTS	20572
8/31/22	SUSSEX COUNTY PLANNING AND ZONING COMMENTS	SCALE: 1" = 50'
		DATE: 5/20/21
		DRAWN BY: BS
		DESIGN BY: CJF/CMT
		REVIEW BY: CJF
		SHEET: 4 OF 14

**PLAT**





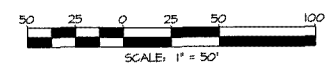
**KEY MAP**  
 SCALE: 1"=600'

CURVE TABLE				
CURVE #	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C141	25.00'	41.68'	N 23° 04' 07" E	37.02'
C147	25.00'	41.65'	N 61° 26' 47" W	37.00'
C150	125.00'	87.12'	N 50° 51' 42" E	85.36'
C151	325.00'	140.88'	S 26° 08' 16" E	139.78'
C157	545.00'	429.15'	S 47° 14' 55" E	418.15'
C158	175.00'	121.96'	N 50° 51' 42" E	119.51'
C159	605.00'	372.07'	S 39° 09' 33" E	366.24'
C160	270.00'	119.04'	S 26° 09' 33" E	118.07'

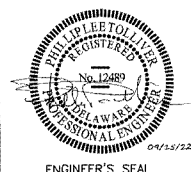
LINE TABLE		
LINE #	LENGTH	DIRECTION
L-74	50.69	S 12° 03' 31" W
L-75	15.84	S 25° 35' 10" E
L-76	42.45	S 78° 55' 43" E
L-77	13.99	N 43° 33' 08" E
L-78	21.92	S 30° 50' 24" E
L-79	37.05	S 89° 30' 57" E

**LEGEND**

- EXISTING PROPERTY LINE
- - - EXISTING EDGE OF PAVEMENT
- SD SD EXISTING STORM DRAIN
- TW TW TIDAL WETLANDS
- WB WB WETLANDS BUFFER
- LANDSCAPE BUFFER
- - - ADJACENT PROPERTY LINE
- PROPOSED LOT LINE
- PROPOSED RIGHT OF WAY LINE
- PROPOSED STORMWATER MANAGEMENT AREA
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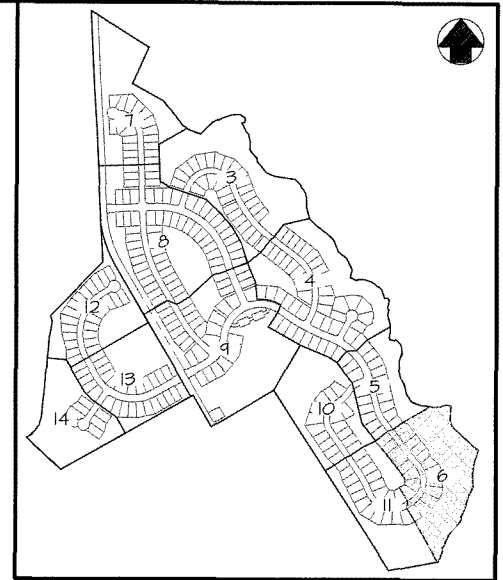
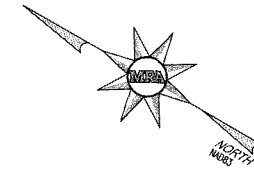


**FINAL RECORD PLATS**  
 FOR  
**SCENIC MANOR**  
 SCR 284

DATE	REVISIONS	JOB NO.:
6/2/22	DELDOT COMMENTS	20572
8/31/22	SUSSEX COUNTY PLANNING AND ZONING COMMENTS	SCALE: 1"= 50'
		DATE: 5/20/21
		DRAWN BY: BS
		DESIGN BY: CJF/CMT
		REVIEW BY: CJF
		SHEET: 5 OF 14

**PLAT**





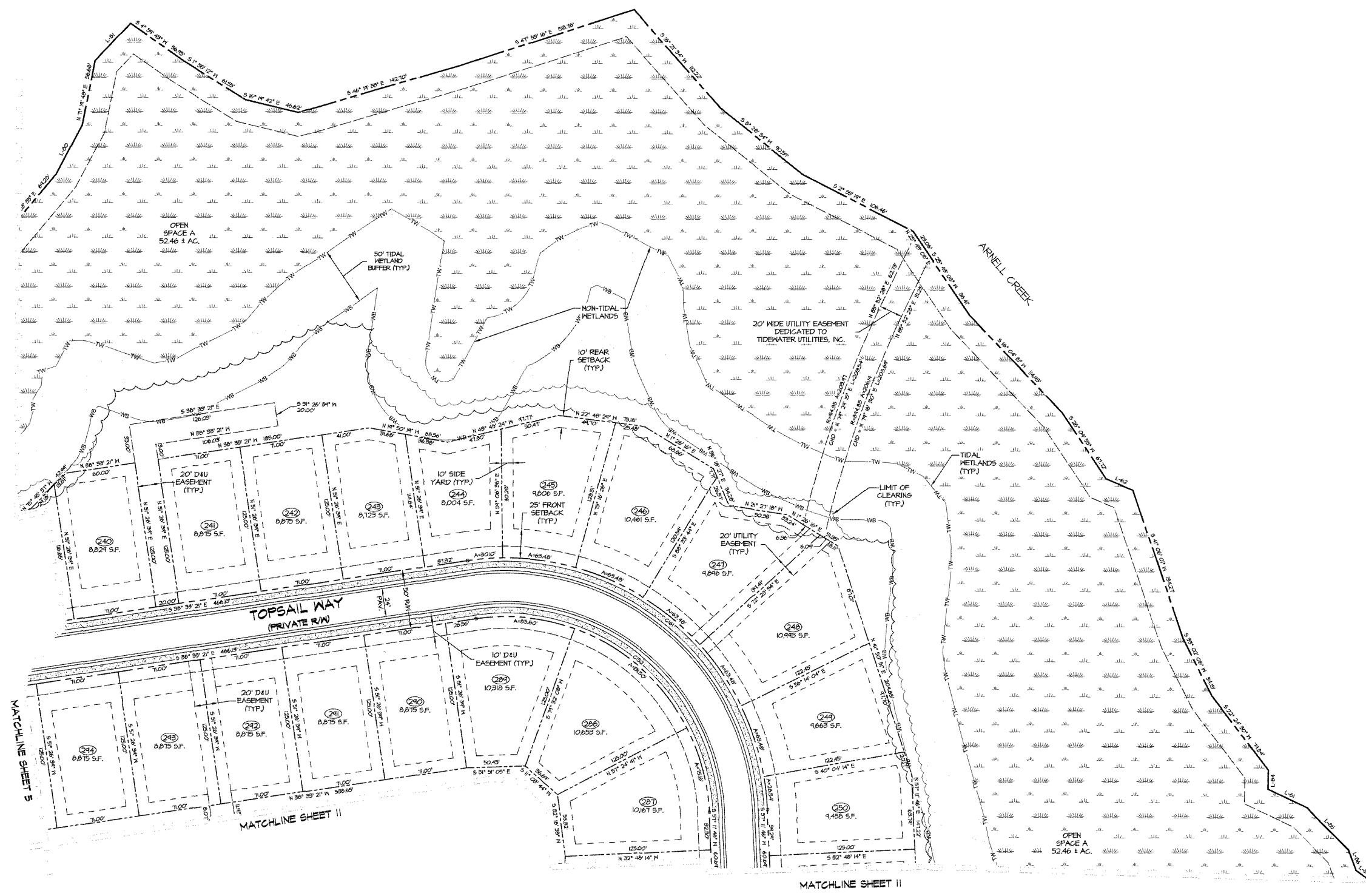
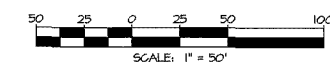
**KEY MAP**  
SCALE: 1"=200'

LINE TABLE		
LINE #	LENGTH	DIRECTION
L-61	37.25	S 04° 47' 44" E
L-62	25.30	S 06° 57' 25" E
L-80	47.19	N 87° 43' 18" E
L-81	43.78	S 76° 30' 23" E
L-84	16.37	S 61° 00' 02" W
L-85	50.38	S 15° 06' 08" W
L-86	18.66	S 39° 24' 42" W
L-87	18.57	S 07° 15' 33" W

CURVE TABLE			
CURVE #	RADIUS	ARC LENGTH	CHORD BEARING
C152	175.00'	292.46'	S 09° 19' 13" W
C161	225.00'	376.02'	S 09° 19' 13" W

**LEGEND**

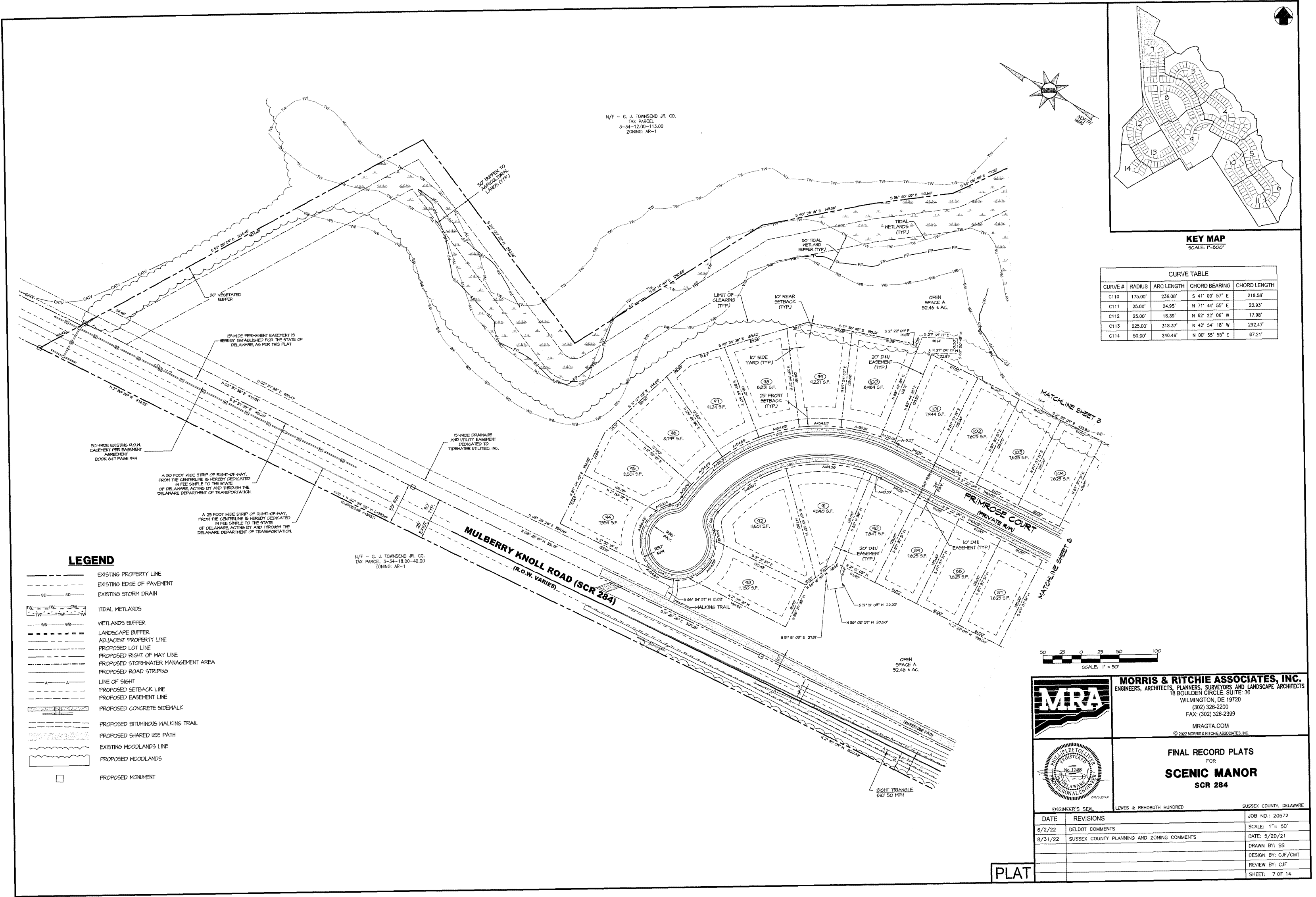
- EXISTING PROPERTY LINE
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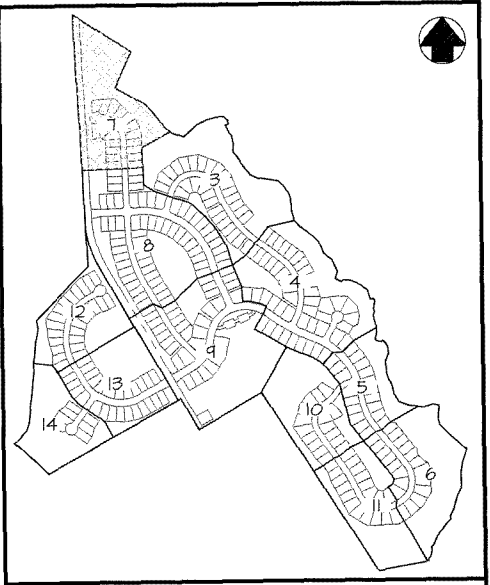
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ENGINEER'S SEAL		LEWIS & REHOBOTH HUNDRED	SUSSEX COUNTY, DELAWARE
DATE	REVISIONS	JOB NO.: 20572	
6/2/22	DELDOT COMMENTS	SCALE: 1"= 50'	
8/31/22	SUSSEX COUNTY PLANNING AND ZONING COMMENTS	DATE: 5/20/21	
		DRAWN BY: BS	
		DESIGN BY: CJF/CMT	
		REVIEW BY: CJF	
		SHEET: 6 OF 14	

**PLAT**



N/F - G. J. TOWNSEND JR. CO.  
 TAX PARCEL  
 3-34-12.00-113.00  
 ZONING: AR-1



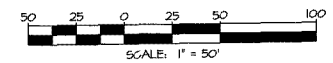
KEY MAP  
 SCALE: 1"=800'

CURVE TABLE				
CURVE #	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C110	175.00'	236.08'	S 41° 00' 57" E	218.58'
C111	25.00'	24.95'	N 71° 44' 55" E	23.93'
C112	25.00'	18.39'	N 62° 22' 06" W	17.98'
C113	225.00'	318.37'	N 42° 54' 18" W	292.47'
C114	50.00'	240.46'	N 00° 55' 55" E	67.21'

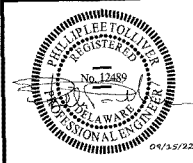
**LEGEND**

- EXISTING PROPERTY LINE
- - - EXISTING EDGE OF PAVEMENT
- SD SD EXISTING STORM DRAIN
- TW TW TIDAL WETLANDS
- WB WB WETLANDS BUFFER
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- ADJACENT PROPERTY LINE
- PROPOSED LOT LINE
- PROPOSED RIGHT OF WAY LINE
- PROPOSED STORMWATER MANAGEMENT AREA
- PROPOSED ROAD STRIPING
- A A LINE OF SIGHT
- PROPOSED SETBACK LINE
- PROPOSED EASEMENT LINE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED BITUMINOUS WALKING TRAIL
- PROPOSED SHARED USE PATH
- EXISTING WOODLANDS LINE
- PROPOSED WOODLANDS
- PROPOSED MONUMENT

N/F - G. J. TOWNSEND JR. CO.  
 TAX PARCEL 3-34-18.00-42.00  
 ZONING: AR-1



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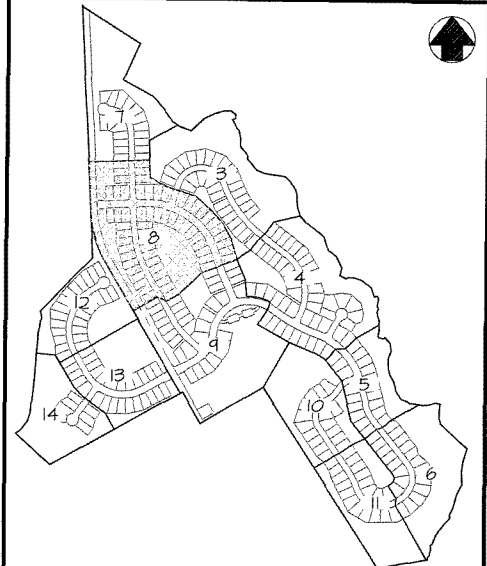
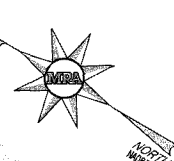
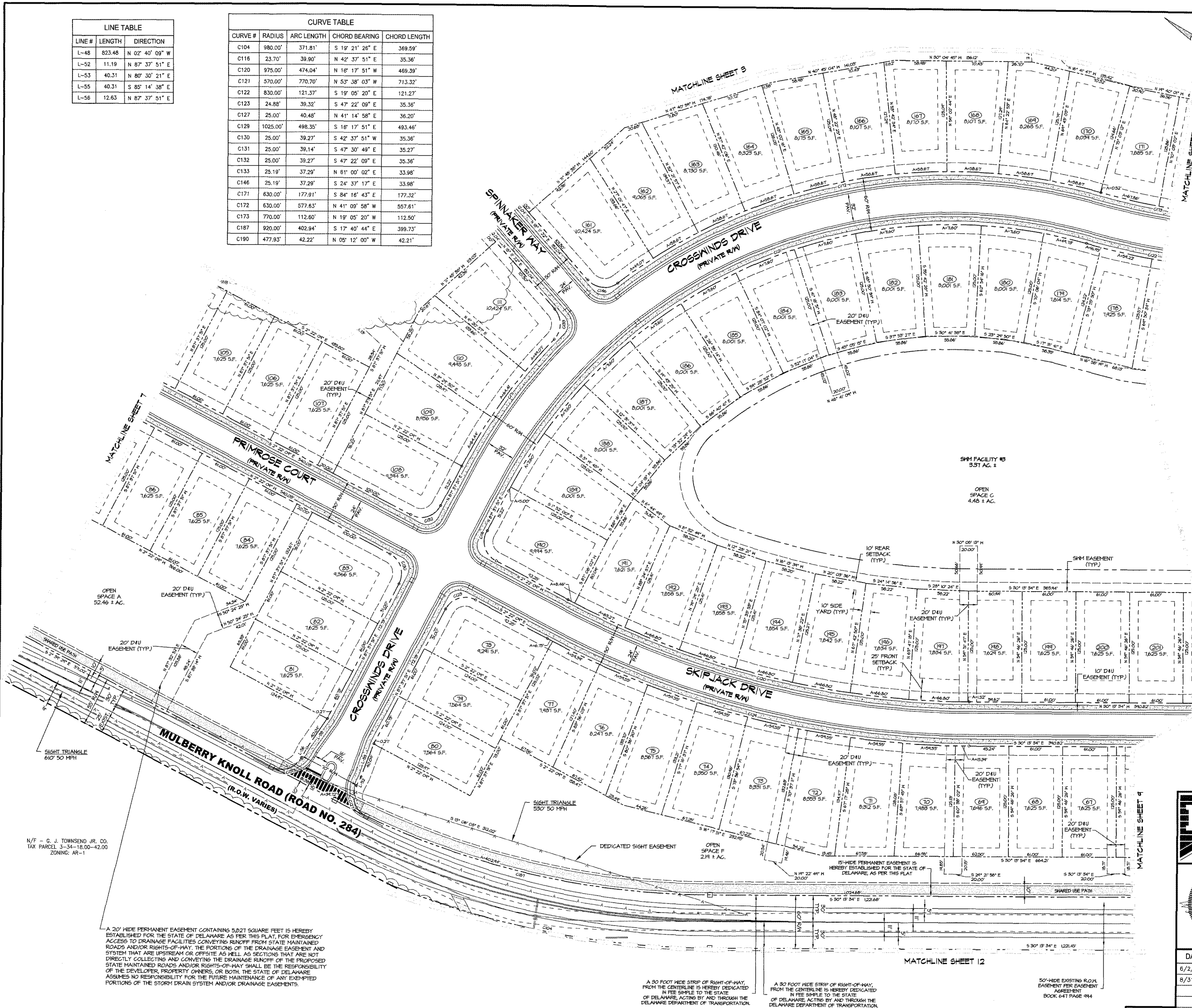
**FINAL RECORD PLATS**  
 FOR  
**SCENIC MANOR**  
 SCR 284

DATE	REVISIONS	JOB NO.:
8/2/22	DELDOT COMMENTS	20572
8/31/22	SUSSEX COUNTY PLANNING AND ZONING COMMENTS	SCALE: 1"= 50'
		DATE: 5/20/21
		DRAWN BY: BS
		DESIGN BY: CJF/CMT
		REVIEW BY: CJF
		SHEET: 7 OF 14

PLAT

LINE TABLE		
LINE #	LENGTH	DIRECTION
L-48	823.48	N 02° 40' 09" W
L-52	11.19	N 87° 37' 51" E
L-53	40.31	N 80° 30' 21" E
L-55	40.31	S 85° 14' 38" E
L-56	12.63	N 87° 37' 51" E

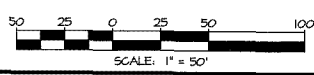
CURVE TABLE				
CURVE #	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C104	980.00'	371.81'	S 19° 21' 26" E	369.59'
C116	23.70'	39.90'	N 42° 37' 51" E	35.36'
C120	975.00'	474.04'	N 16° 17' 51" W	469.39'
C121	570.00'	770.70'	N 53° 38' 03" W	713.32'
C122	830.00'	121.37'	S 19° 05' 20" E	121.27'
C123	24.88'	39.32'	S 47° 22' 09" E	35.36'
C127	25.00'	40.48'	N 41° 14' 58" E	36.20'
C129	1025.00'	498.35'	S 18° 17' 51" E	493.46'
C130	25.00'	39.27'	S 42° 37' 51" W	35.36'
C131	25.00'	39.14'	S 47° 30' 49" E	35.27'
C132	25.00'	39.27'	S 47° 22' 09" E	35.36'
C133	25.19'	37.29'	N 61° 00' 02" E	33.98'
C146	25.19'	37.29'	S 24° 37' 17" E	33.98'
C171	630.00'	177.91'	S 84° 16' 43" E	177.32'
C172	630.00'	577.63'	N 41° 09' 58" W	557.61'
C173	770.00'	112.60'	N 19° 05' 20" W	112.50'
C187	920.00'	402.94'	S 17° 40' 44" E	399.73'
C190	477.93'	42.22'	N 05° 12' 00" W	42.21'



KEY MAP  
SCALE: 1"=600'

**LEGEND**

- EXISTING PROPERTY LINE
- - - EXISTING EDGE OF PAVEMENT
- - - EXISTING STORM DRAIN
- TIDAL WETLANDS
- WETLANDS BUFFER
- LANDSCAPE BUFFER
- ADJACENT PROPERTY LINE
- PROPOSED LOT LINE
- PROPOSED RIGHT OF WAY LINE
- PROPOSED STORMWATER MANAGEMENT AREA
- PROPOSED ROAD STRIPING
- LINE OF SIGHT
- PROPOSED SETBACK LINE
- PROPOSED EASEMENT LINE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED BITUMINOUS WALKING TRAIL
- PROPOSED SHARED USE PATH
- EXISTING WOODLANDS LINE
- PROPOSED WOODLANDS
- PROPOSED MONUMENT



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**FINAL RECORD PLATS**  
 FOR  
**SCENIC MANOR**  
 SCR 284

DATE	REVISIONS	JOB NO.:
6/2/22	DELDOT COMMENTS	20572
8/31/22	SUSSEX COUNTY PLANNING AND ZONING COMMENTS	SCALE: 1"= 50'
		DATE: 5/20/21
		DRAWN BY: BS
		DESIGN BY: CJF/CMT
		REVIEW BY: CJF
		SHEET: 8 OF 14

**PLAT**

A 20' WIDE PERMANENT EASEMENT CONTAINING 5,821 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.

A 30 FOOT WIDE STRIP OF RIGHT-OF-WAY FROM THE CENTERLINE IS HEREBY DEDICATED IN FEE SIMPLE TO THE STATE OF DELAWARE, ACTING BY AND THROUGH THE DELAWARE DEPARTMENT OF TRANSPORTATION.

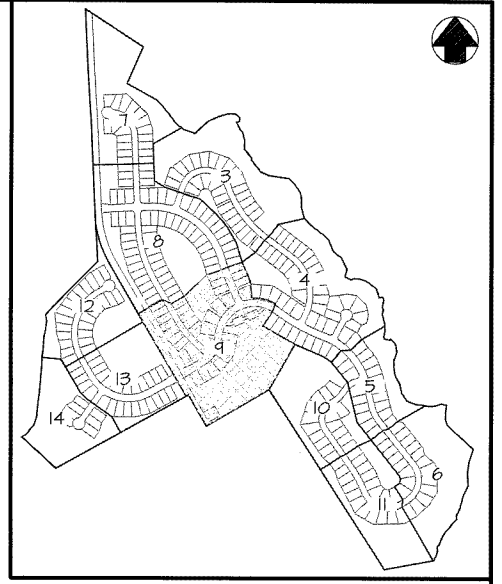
A 30 FOOT WIDE STRIP OF RIGHT-OF-WAY FROM THE CENTERLINE IS HEREBY DEDICATED IN FEE SIMPLE TO THE STATE OF DELAWARE, ACTING BY AND THROUGH THE DELAWARE DEPARTMENT OF TRANSPORTATION.

50'-WIDE EXISTING R.O.P. EASEMENT PER EASEMENT AGREEMENT BOOK 641 PAGE 984

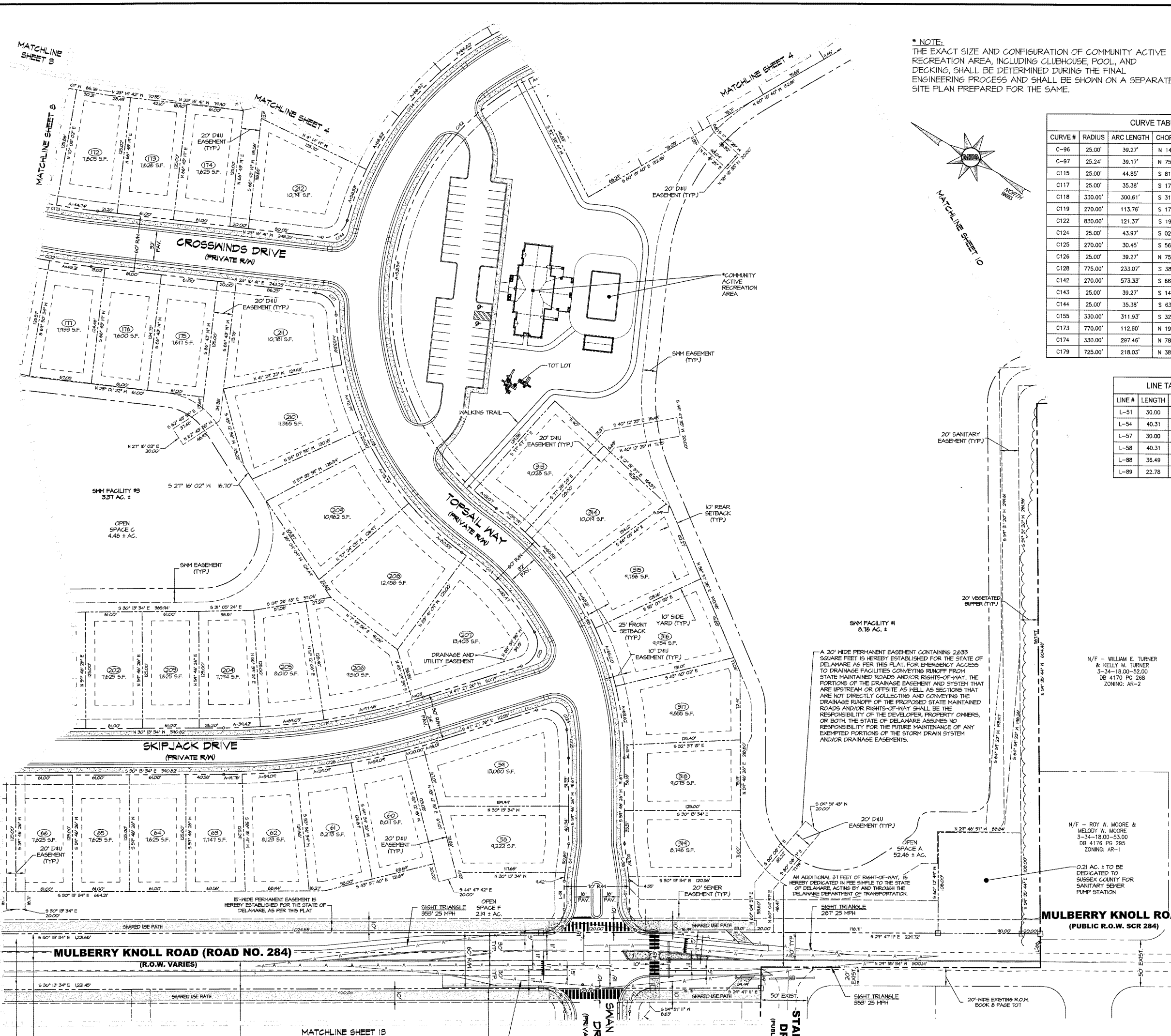
NOTE:  
 THE EXACT SIZE AND CONFIGURATION OF COMMUNITY ACTIVE RECREATION AREA, INCLUDING CLUBHOUSE, POOL, AND DECKING, SHALL BE DETERMINED DURING THE FINAL ENGINEERING PROCESS AND SHALL BE SHOWN ON A SEPARATE SITE PLAN PREPARED FOR THE SAME.

CURVE TABLE				
CURVE #	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C-96	25.00'	39.27'	N 14° 46' 26" E	35.36'
C-97	25.24'	39.17'	N 75° 13' 34" W	35.36'
C115	25.00'	44.85'	S 81° 09' 00" W	39.07'
C117	25.00'	35.38'	S 17° 15' 56" W	32.50'
C118	330.00'	300.61'	S 31° 42' 46" W	290.32'
C119	270.00'	113.76'	S 17° 41' 12" W	112.92'
C122	830.00'	121.37'	S 19° 05' 20" E	121.27'
C124	25.00'	43.97'	S 02° 55' 40" W	38.52'
C125	270.00'	30.45'	S 56° 32' 35" W	30.43'
C126	25.00'	39.27'	N 75° 13' 35" W	35.36'
C128	775.00'	233.07'	S 38° 50' 30" E	232.19'
C142	270.00'	573.33'	S 66° 26' 53" W	471.52'
C143	25.00'	39.27'	S 14° 46' 26" W	35.36'
C144	25.00'	35.38'	S 63° 49' 18" E	32.50'
C155	330.00'	311.93'	S 32° 41' 42" W	300.44'
C173	770.00'	112.60'	N 19° 05' 20" W	112.50'
C174	330.00'	297.46'	N 78° 32' 34" W	287.49'
C179	725.00'	218.03'	N 38° 50' 30" W	217.21'

LINE TABLE		
LINE #	LENGTH	DIRECTION
L-51	30.00'	S 59° 46' 26" W
L-54	40.31'	S 66° 53' 56" W
L-57	30.00'	S 59° 46' 26" W
L-58	40.31'	S 52° 38' 56" W
L-88	36.49'	S 59° 35' 44" W
L-89	22.78'	S 60° 51' 22" W

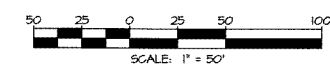


KEY MAP  
 SCALE: 1"=800'



**LEGEND**

- EXISTING PROPERTY LINE
- - - - EXISTING EDGE OF PAVEMENT
- - - - EXISTING STORM DRAIN
- TIDAL WETLANDS
- WETLANDS BUFFER
- LANDSCAPE BUFFER
- ADJACENT PROPERTY LINE
- PROPOSED LOT LINE
- PROPOSED RIGHT OF WAY LINE
- PROPOSED STORMWATER MANAGEMENT AREA
- PROPOSED ROAD STRIPING
- LINE OF SIGHT
- PROPOSED SETBACK LINE
- PROPOSED EASEMENT LINE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED BITUMINOUS WALKING TRAIL
- PROPOSED SHARED USE PATH
- EXISTING WOODLANDS LINE
- PROPOSED WOODLANDS
- PROPOSED MONUMENT



A 20' WIDE PERMANENT EASEMENT CONTAINING 2,638 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAN, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.

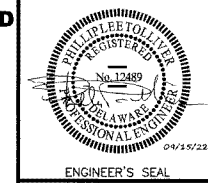
N/F - WILLIAM E. TURNER & KELLY M. TURNER  
 3-34-18.00-52.00  
 DB 4176 PG 288  
 ZONING: AR-2

N/F - ROY W. MOORE & MELODY W. MOORE  
 3-34-18.00-53.00  
 DB 4176 PG 295  
 ZONING: AR-1

0.21 AC. ± TO BE DEDICATED TO SUSSEX COUNTY FOR SANITARY SEWER PUMP STATION



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**FINAL RECORD PLATS**  
 FOR  
**SCENIC MANOR**  
 SCR 284

LEWIS & REHOBOTH HUNDRED  
 SUSSEX COUNTY, DELAWARE

DATE	REVISIONS	JOB NO.:
6/2/22	DELDOT COMMENTS	20572
8/31/22	SUSSEX COUNTY PLANNING AND ZONING COMMENTS	SCALE: 1"= 50'
		DATE: 5/20/21
		DRAWN BY: BS
		DESIGN BY: C.J.F./C.M.T.
		REVIEW BY: C.J.F.
		SHEET: 9 OF 14

PLAT

30'-WIDE EXISTING R.O.W. EASEMENT PER EASEMENT AGREEMENT BOOK 641 PAGE 144

A 30 FOOT WIDE STRIP OF RIGHT-OF-WAY FROM THE CENTERLINE IS HEREBY DEDICATED IN FEE SIMPLE TO THE STATE OF DELAWARE ACTING BY AND THROUGH THE DELAWARE DEPARTMENT OF TRANSPORTATION.

A 30 FOOT WIDE STRIP OF RIGHT-OF-WAY FROM THE CENTERLINE IS HEREBY DEDICATED IN FEE SIMPLE TO THE STATE OF DELAWARE ACTING BY AND THROUGH THE DELAWARE DEPARTMENT OF TRANSPORTATION.

A 30 FOOT WIDE STRIP OF RIGHT-OF-WAY FROM THE CENTERLINE IS HEREBY DEDICATED IN FEE SIMPLE TO THE STATE OF DELAWARE ACTING BY AND THROUGH THE DELAWARE DEPARTMENT OF TRANSPORTATION.

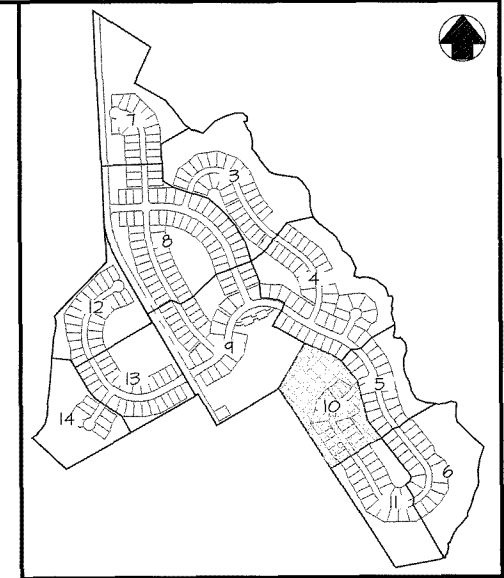
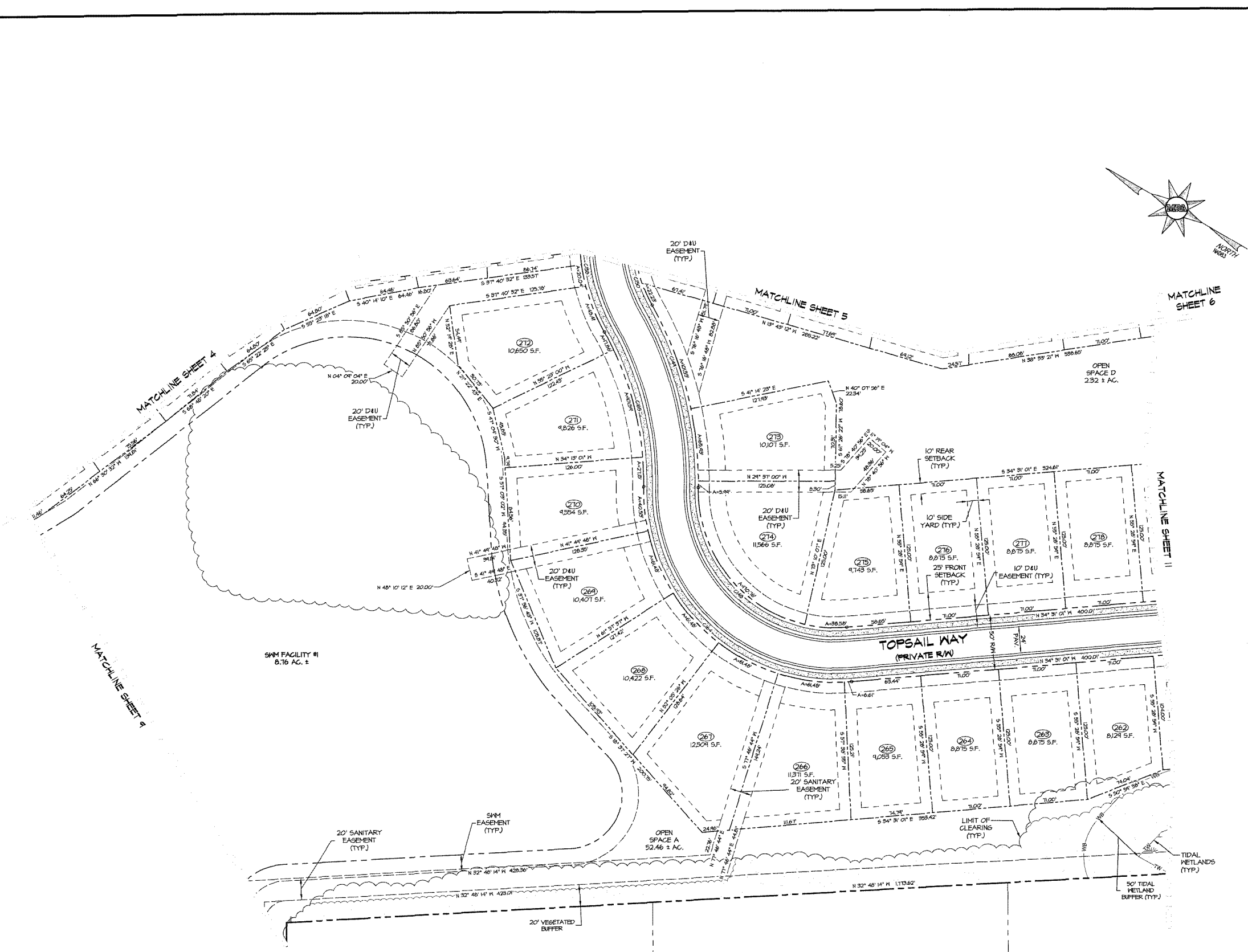
15'-WIDE PERMANENT EASEMENT IS HEREBY ESTABLISHED TO THE STATE OF DELAWARE, AS PER THIS PLAN.

SIGHT TRIANGLE 353' 25 MPH

SIGHT TRIANGLE 281' 25 MPH

SIGHT TRIANGLE 281' 25 MPH

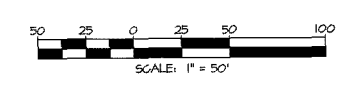
20'-WIDE EXISTING R.O.W. BOOK 6 PAGE 101



**CURVE TABLE**

CURVE #	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C148	125.00'	209.34'	N 13° 27' 40" E	185.72'
C149	325.00'	173.25'	N 46° 10' 04" E	171.21'
C150	125.00'	87.12'	N 50° 51' 42" E	85.36'
C158	175.00'	121.96'	N 50° 51' 42" E	119.51'
C184	175.00'	293.08'	N 13° 27' 40" E	260.01'
C165	275.00'	146.60'	N 46° 10' 04" E	144.87'


- LEGEND**
- EXISTING PROPERTY LINE
  - EXISTING EDGE OF PAVEMENT
  - EXISTING STORM DRAIN
  - TW --- TW TIDAL WETLANDS
  - WB --- WB WETLANDS BUFFER
  - LANDSCAPE BUFFER
  - ADJACENT PROPERTY LINE
  - PROPOSED LOT LINE
  - PROPOSED RIGHT OF WAY LINE
  - PROPOSED STORMWATER MANAGEMENT AREA
  - PROPOSED ROAD STRIPING
  - A --- A LINE OF SIGHT
  - PROPOSED SETBACK LINE
  - PROPOSED EASEMENT LINE
  - PROPOSED CONCRETE SIDEWALK
  - PROPOSED BITUMINOUS WALKING TRAIL
  - PROPOSED SHARED USE PATH
  - EXISTING WOODLANDS LINE
  - PROPOSED WOODLANDS
  - PROPOSED MONUMENT



N/F - WILLIAM E. TURNER & KELLY M. TURNER  
 3-34-18.00-52.00  
 DB 4170 PG 268  
 ZONING: AR-2

N/F - RICHARD A. MARSCH & STEPHANIE N. MARSCH  
 3-34-18.00-52.01  
 DB 2716 PG 17  
 ZONING: AR-2

N/F - LEONARD A. WADE & CLAIRE A. WADE  
 3-34-18.00-52.02  
 DB 3378 PG 156  
 ZONING: AR-2



**MORRIS & RITCHE ASSOCIATES, INC.**  
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**FINAL RECORD PLATS**  
 FOR  
**SCENIC MANOR**  
 SCR 284

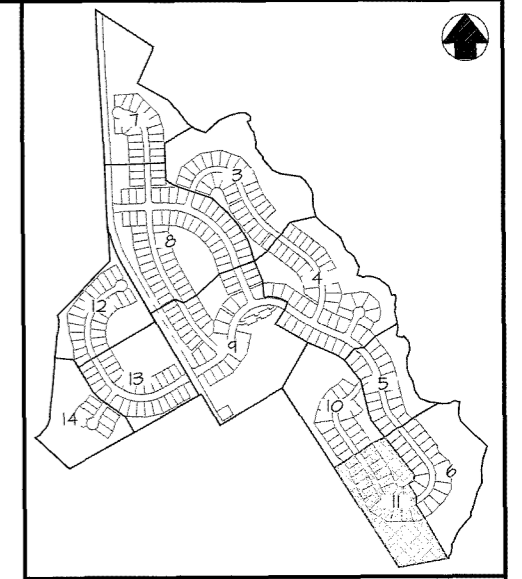
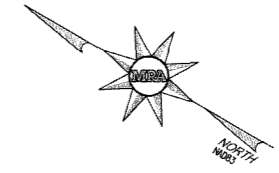
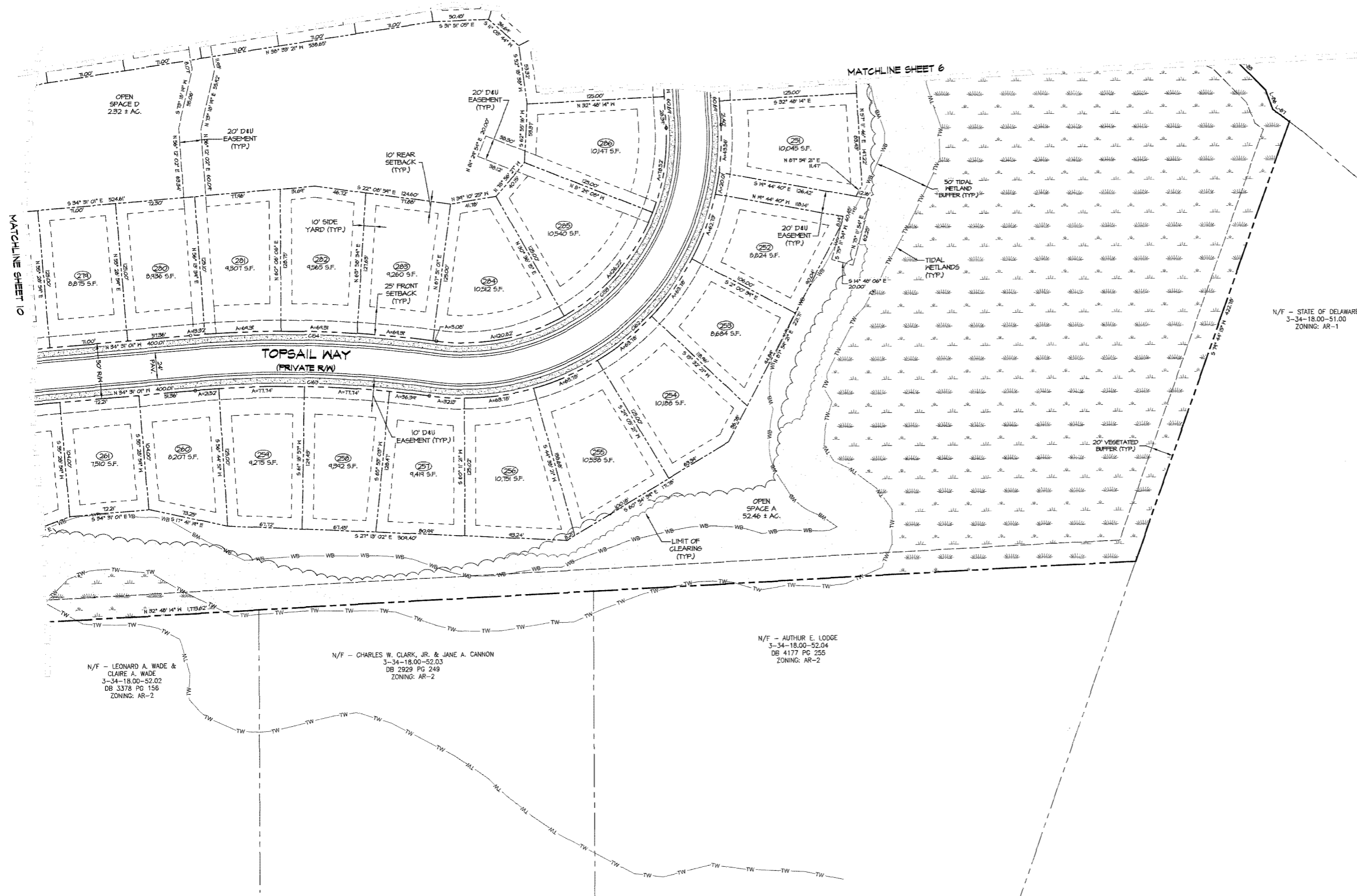
ENGINEER'S SEAL

LEWES & REHOBOTH HUNDRED

SUSSEX COUNTY, DELAWARE

DATE	REVISIONS	JOB NO.:
8/2/22	DELDOT COMMENTS	20572
8/31/22	SUSSEX COUNTY PLANNING AND ZONING COMMENTS	SCALE: 1"= 50'
		DATE: 5/20/21
		DRAWN BY: BS
		DESIGN BY: CJF/CMT
		REVIEW BY: CJF
		SHEET: 10 OF 14

**PLAT**



KEY MAP  
SCALE: 1"=800'

LINE TABLE

LINE #	LENGTH	DIRECTION
L-85	50.38	S 15° 06' 06" W
L-86	18.66	S 39° 24' 42" W
L-87	18.57	S 07° 15' 33" W

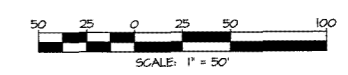
CURVE TABLE

CURVE #	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C153	185.00'	325.55'	N 72° 23' 26" W	285.14'
C154	1025.00'	224.33'	N 28° 14' 50" W	223.88'
C162	235.00'	413.54'	N 72° 23' 26" W	362.21'
C163	975.00'	213.38'	N 28° 14' 50" W	212.96'

N/F - STATE OF DELAWARE  
 3-34-18.00-51.00  
 ZONING: AR-1

LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING EDGE OF PAVEMENT
- - - EXISTING STORM DRAIN
- TW TW Tidal Wetlands
- WB WB Wetlands Buffer
- Landscape Buffer
- - - Adjacent Property Line
- - - Proposed Lot Line
- - - Proposed Right of Way Line
- - - Proposed Stormwater Management Area
- - - Proposed Road Striping
- - - Line of Sight
- - - Proposed Setback Line
- - - Proposed Easement Line
- - - Proposed Concrete Sidewalk
- - - Proposed Bituminous Walking Trail
- - - Proposed Shared Use Path
- - - Existing Woodlands Line
- - - Proposed Woodlands
- Proposed Monument

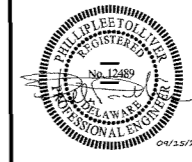


N/F - LEONARD A. WADE & CLAIRE A. WADE  
 3-34-18.00-52.02  
 DB 3378 PD 155  
 ZONING: AR-2

N/F - CHARLES W. CLARK, JR. & JANE A. CANNON  
 3-34-18.00-52.03  
 DB 2929 PG 249  
 ZONING: AR-2

N/F - AURHUR E. LODGE  
 3-34-18.00-52.04  
 DB 4177 PG 255  
 ZONING: AR-2

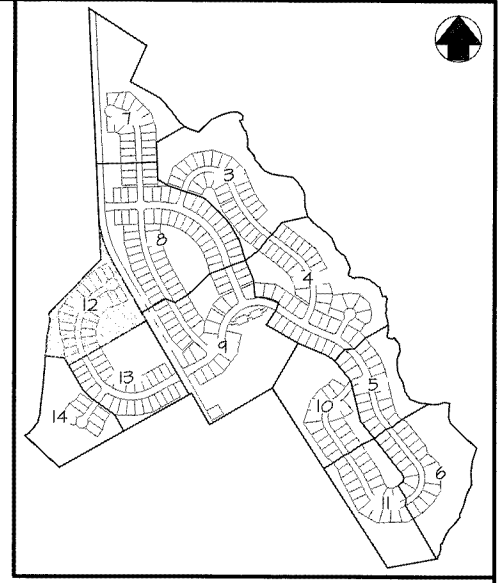
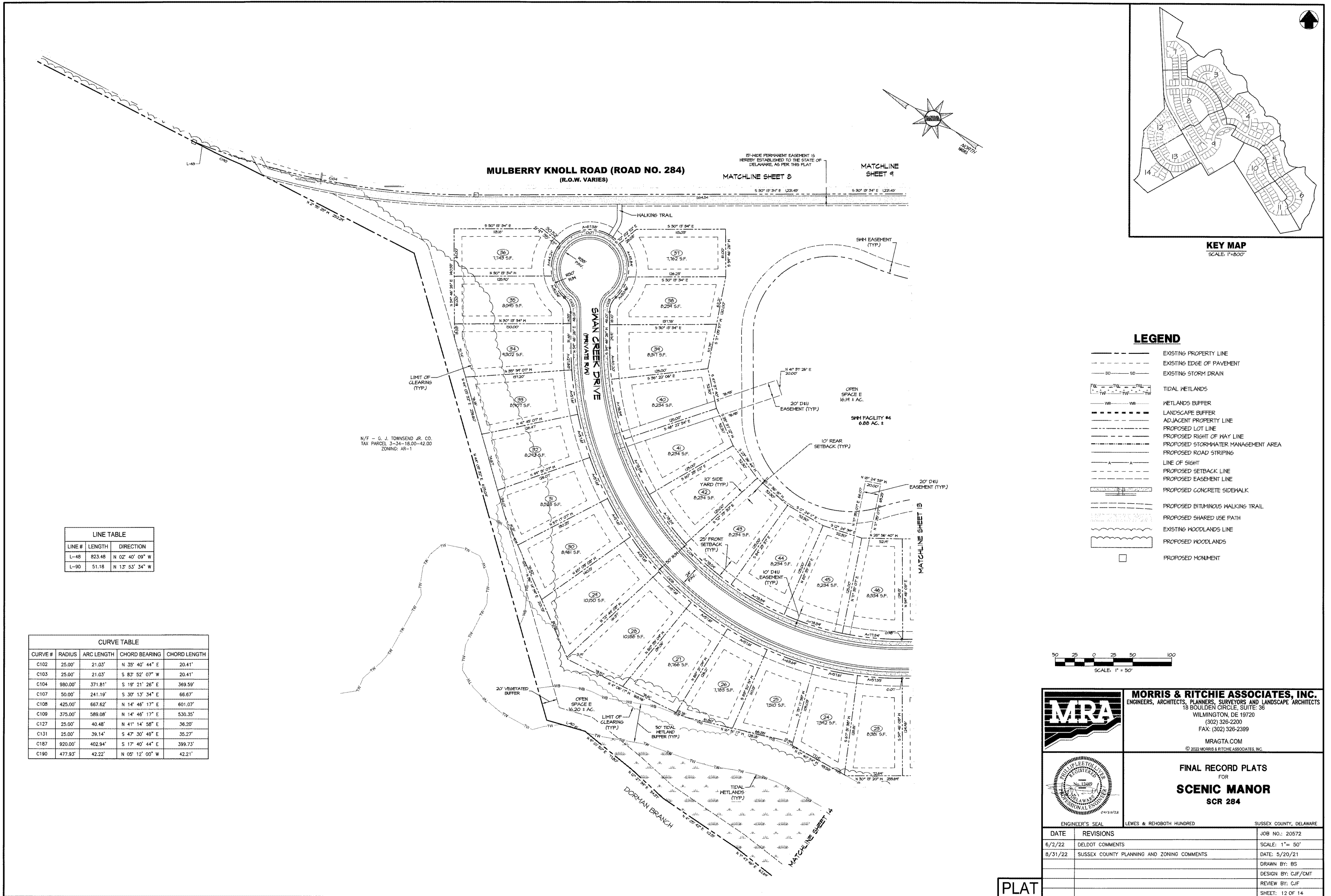
**MRA**  
 MORRIS & RITCHE ASSOCIATES, INC.  
 ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS  
 18 BOULDEN CIRCLE, SUITE 36  
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FINAL RECORD PLATS  
 FOR  
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 SCR 284

DATE	REVISIONS	JOB NO.:
6/2/22	DELDOT COMMENTS	20572
8/31/22	SUSSEX COUNTY PLANNING AND ZONING COMMENTS	SCALE: 1" = 50'
		DATE: 5/20/21
		DRAWN BY: BS
		DESIGN BY: CJF/CMT
		REVIEW BY: CJF
		SHEET: 11 OF 14

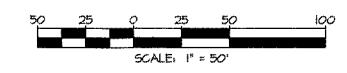
PLAT



KEY MAP  
SCALE: 1"=800'

**LEGEND**

- EXISTING PROPERTY LINE
- - - EXISTING EDGE OF PAVEMENT
- - - EXISTING STORM DRAIN
- TW TW TW TIDAL WETLANDS
- WB WB WETLANDS BUFFER
- LANDSCAPE BUFFER
- ADJACENT PROPERTY LINE
- PROPOSED LOT LINE
- PROPOSED RIGHT OF WAY LINE
- PROPOSED STORMWATER MANAGEMENT AREA
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- EXISTING WOODLANDS LINE
- PROPOSED WOODLANDS
- PROPOSED MONUMENT



**LINE TABLE**

LINE #	LENGTH	DIRECTION
L-48	823.48	N 02° 40' 09" W
L-90	51.18	N 13° 53' 34" W

**CURVE TABLE**

CURVE #	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C102	25.00'	21.03'	N 35° 40' 44" E	20.41'
C103	25.00'	21.03'	S 83° 52' 07" W	20.41'
C104	980.00'	371.81'	S 19° 21' 26" E	369.59'
C107	50.00'	241.19'	S 30° 13' 34" E	66.67'
C108	425.00'	667.62'	N 14° 46' 17" E	601.07'
C109	375.00'	589.08'	N 14° 46' 17" E	530.35'
C127	25.00'	40.48'	N 41° 14' 58" E	36.20'
C131	25.00'	39.14'	S 47° 30' 49" E	35.27'
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C190	477.93'	42.22'	N 05° 12' 00" W	42.21'

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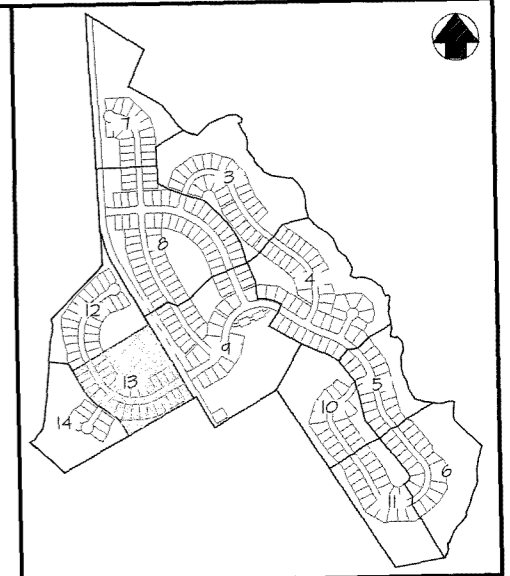
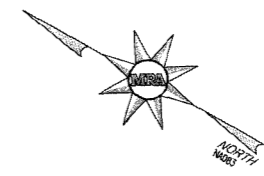
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**FINAL RECORD PLATS**  
 FOR  
**SCENIC MANOR**  
 SCR 284

---

DATE	REVISIONS	JOB NO.:
6/2/22	DELDOT COMMENTS	20572
8/31/22	SUSSEX COUNTY PLANNING AND ZONING COMMENTS	SCALE: 1"= 50'
		DATE: 5/20/21
		DRAWN BY: BS
		DESIGN BY: CJF/CMT
		REVIEW BY: CJF
		SHEET: 12 OF 14

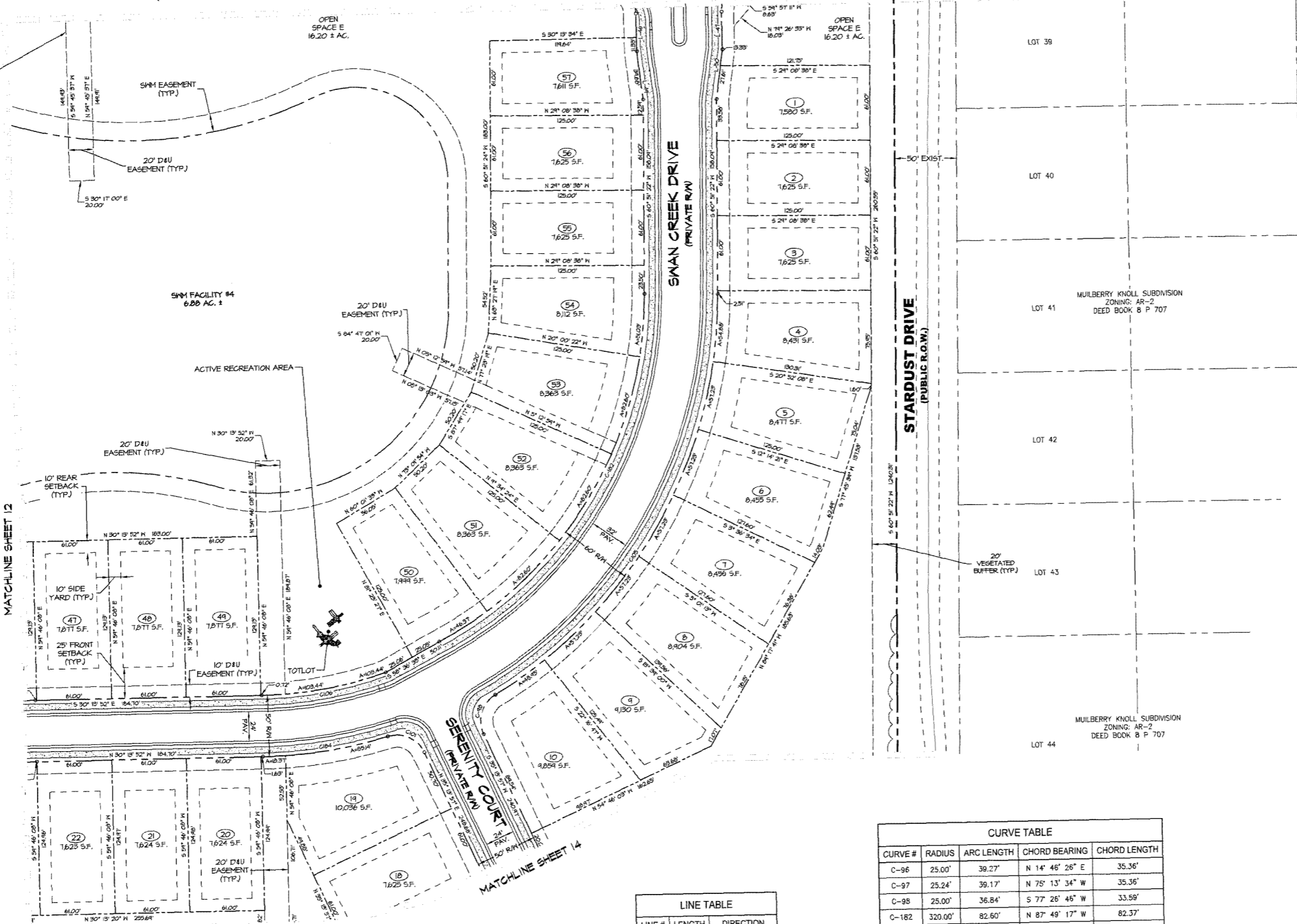
PLAT



**MULBERRY KNOLL ROAD (ROAD NO. 284)**  
 (R.O.W. VARIES)

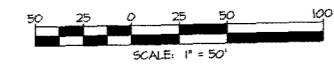
MATCHLINE SHEET 9

A 20' WIDE PERMANENT EASEMENT CONTAINING 4,080 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAN, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXISTENT PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.



**LEGEND**

- EXISTING PROPERTY LINE
- - - EXISTING EDGE OF PAVEMENT
- - - - - EXISTING STORM DRAIN
- TIDAL WETLANDS
- - - - - WETLANDS BUFFER
- - - - - LANDSCAPE BUFFER
- - - - - ADJACENT PROPERTY LINE
- - - - - PROPOSED LOT LINE
- - - - - PROPOSED RIGHT OF WAY LINE
- - - - - PROPOSED STORMWATER MANAGEMENT AREA
- - - - - PROPOSED ROAD STRIPING
- - - - - LINE OF SIGHT
- - - - - PROPOSED SETBACK LINE
- - - - - PROPOSED EASEMENT LINE
- - - - - PROPOSED CONCRETE SIDEWALK
- - - - - PROPOSED BITUMINOUS WALKING TRAIL
- - - - - PROPOSED SHARED USE PATH
- - - - - EXISTING WOODLANDS LINE
- - - - - PROPOSED WOODLANDS
- PROPOSED MONUMENT



**LINE TABLE**

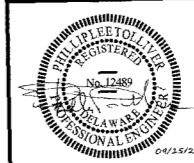
LINE #	LENGTH	DIRECTION
L-46	19.12	N 59° 46' 26" E
L-47	30.45	S 59° 46' 26" W
L-49	39.68	S 53° 21' 57" W
L-50	13.33	S 67° 36' 36" W
L-88	36.49	S 59° 35' 44" W
L-89	22.78	S 60° 51' 22" W

**CURVE TABLE**

CURVE #	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C-96	25.00'	39.27'	N 14° 46' 26" E	35.36'
C-97	25.24'	39.17'	N 75° 13' 34" W	35.36'
C-98	25.00'	36.84'	S 77° 26' 45" W	33.59'
C-182	320.00'	82.60'	N 87° 49' 17" W	82.37'
C101	24.89'	35.50'	N 05° 24' 19" W	32.56'
C105	380.00'	390.00'	N 89° 44' 31" W	373.11'
C106	325.00'	103.44'	N 39° 20' 55" W	103.00'
C126	25.00'	39.27'	N 75° 13' 35" W	35.36'
C143	25.00'	39.27'	S 14° 46' 26" W	35.36'
C184	364.61'	103.51'	N 38° 08' 14" W	103.16'



**MORRIS & RITCHIE ASSOCIATES, INC.**  
 ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS  
 18 BOULDER CIRCLE, SUITE 36  
 WILMINGTON, DE 19720  
 (302) 326-2200  
 FAX: (302) 326-2399  
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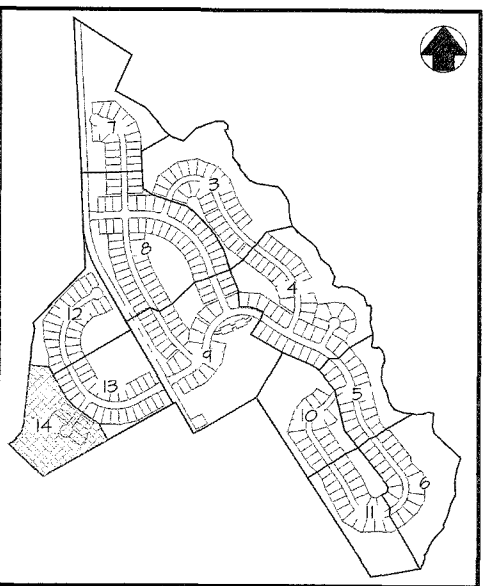
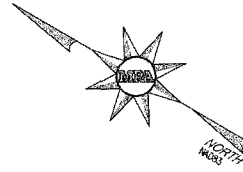


**FINAL RECORD PLATS**  
 FOR  
**SCENIC MANOR**  
 SCR 284

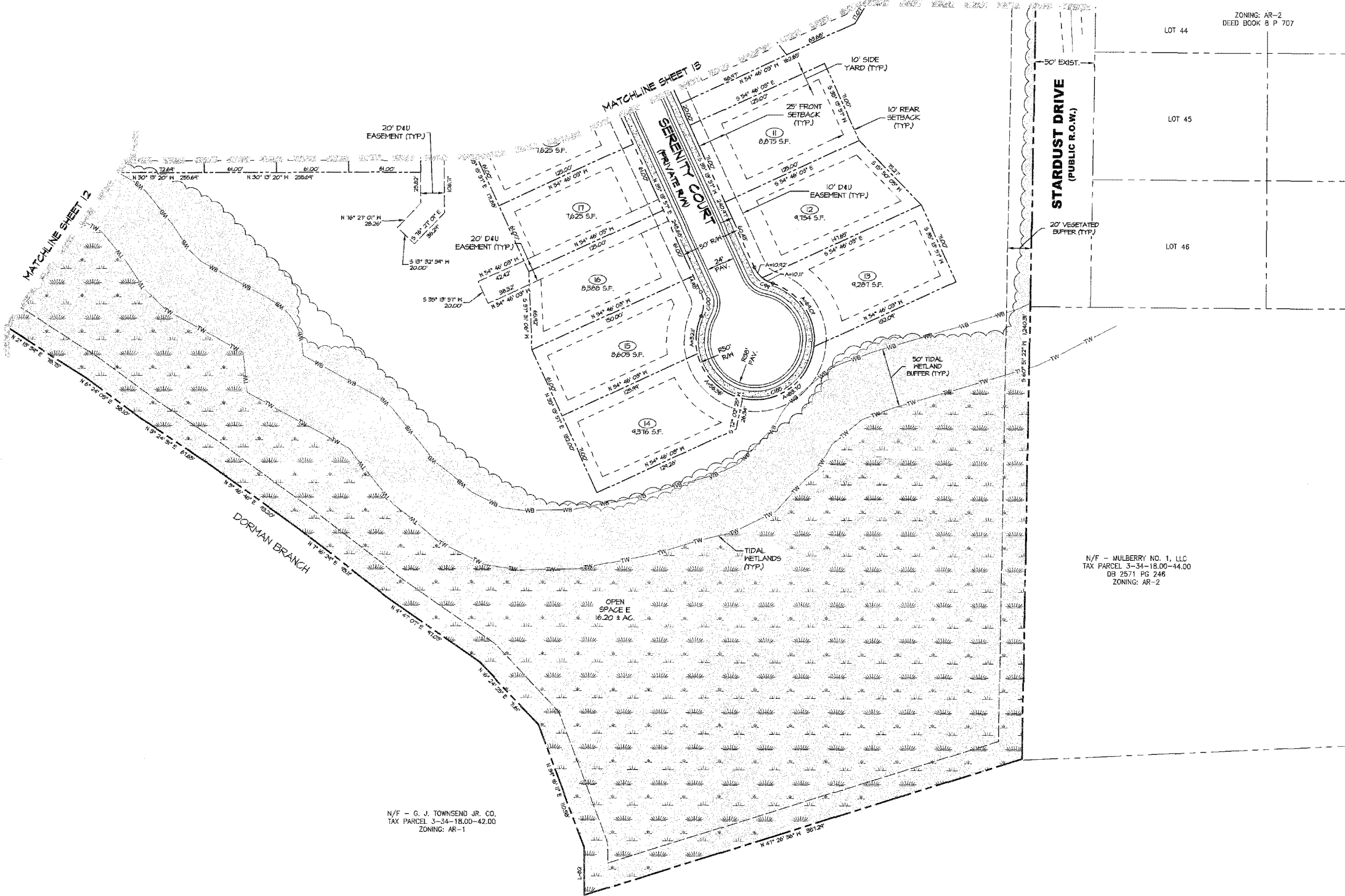
DATE	REVISIONS	JOB NO.:
6/2/22	DELDOT COMMENTS	20572
8/31/22	SUSSEX COUNTY PLANNING AND ZONING COMMENTS	SCALE: 1"= 50'
		DATE: 5/20/21
		DRAWN BY: BS
		DESIGN BY: CJF/CMT
		REVIEW BY: CJF
		SHEET: 13 OF 14

PLAT





**KEY MAP**  
 SCALE: 1"=500'



**LINE TABLE**

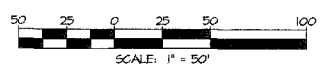
LINE #	LENGTH	DIRECTION
L-82	40.00	N 59° 52' 00" E

**CURVE TABLE**

CURVE #	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C99	25.00'	21.03'	S 11° 08' 16" W	20.41'
C100	25.00'	21.03'	N 59° 19' 39" E	20.41'
C185	50.00'	241.19'	N 54° 46' 03" W	96.67'

**LEGEND**

- EXISTING PROPERTY LINE
- - - EXISTING EDGE OF PAVEMENT
- SD SD EXISTING STORM DRAIN
- TW TW TW TW TIDAL WETLANDS
- WB WB WETLANDS BUFFER
- LANDSCAPE BUFFER
- - - ADJACENT PROPERTY LINE
- PROPOSED LOT LINE
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- PROPOSED ROAD STRIPING
- A A LINE OF SIGHT
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- PROPOSED WOODLANDS
- PROPOSED MONUMENT

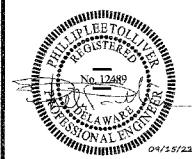


N/F - G. J. TOWNSEND JR. CO.  
 TAX PARCEL 3-34-18.00-42.00  
 ZONING: AR-1

N/F - MULBERRY NO. 1, LLC  
 TAX PARCEL 3-34-18.00-44.00  
 DB 25/1 PG 246  
 ZONING: AR-2



**MORRIS & RITCHIE ASSOCIATES, INC.**  
 ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS  
 18 BOULDEN CIRCLE, SUITE 36  
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**FINAL RECORD PLATS**  
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**SCENIC MANOR**  
 SCR 284

DATE	REVISIONS	JOB NO.:
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		DRAWN BY: BS
		DESIGN BY: CJF/CMT
		REVIEW BY: CJF
		SHEET: 14 OF 14

**PLAT**



**AGRICULTURAL PRESERVATION DISTRICT APPLICATION**

Return to: The Delaware Agricultural Lands Preservation Foundation

2320 S DuPont Highway, Dover, DE 19901

Phone (302)698-4530, or Toll Free in DE Only (800)282-8685

File# S-22-10-304

Date 10-21-22

Name of Petitioner(s) EDWIN LLC

Email Address: BDJ1001@HOTMAIL.COM

Mailing Address 22942 BLOXOM SCHOOL ROAD

SEAFORD, DE 19973

Primary Contact Person BRENDA JOHNSON Preferred Contact Number: 302-745-7331

Farm Location SUSSEX

Total Acreage of Farm 229.38

Adjoining Roads NEALS SCHOOL & O'BIER ROADS

County Tax Parcel Number(s) 531-5.00-6.00

Zoning Designation AR1

(call County Planning for zoning designation)

Type of Farm Operation: CROP PRODUCTION

Type of Land Use **Crop Land** 181.62

**Acres** **Aquaculture** **Acres**

**Woodland** 47.76

**Acres** **Pasture Land** **Acres**

**Farmland Structures**

**Acres** **Tidal Wetlands** **Acres**

**Residence**

**Acres** **Other (specify)** **Acres**

# Of Dwelling Units:

Occupant's Name(s) & Relationship

Easements/Rights-of-Way (if any) NONE

Does the farm have a certified nutrient management plan?  Yes  No

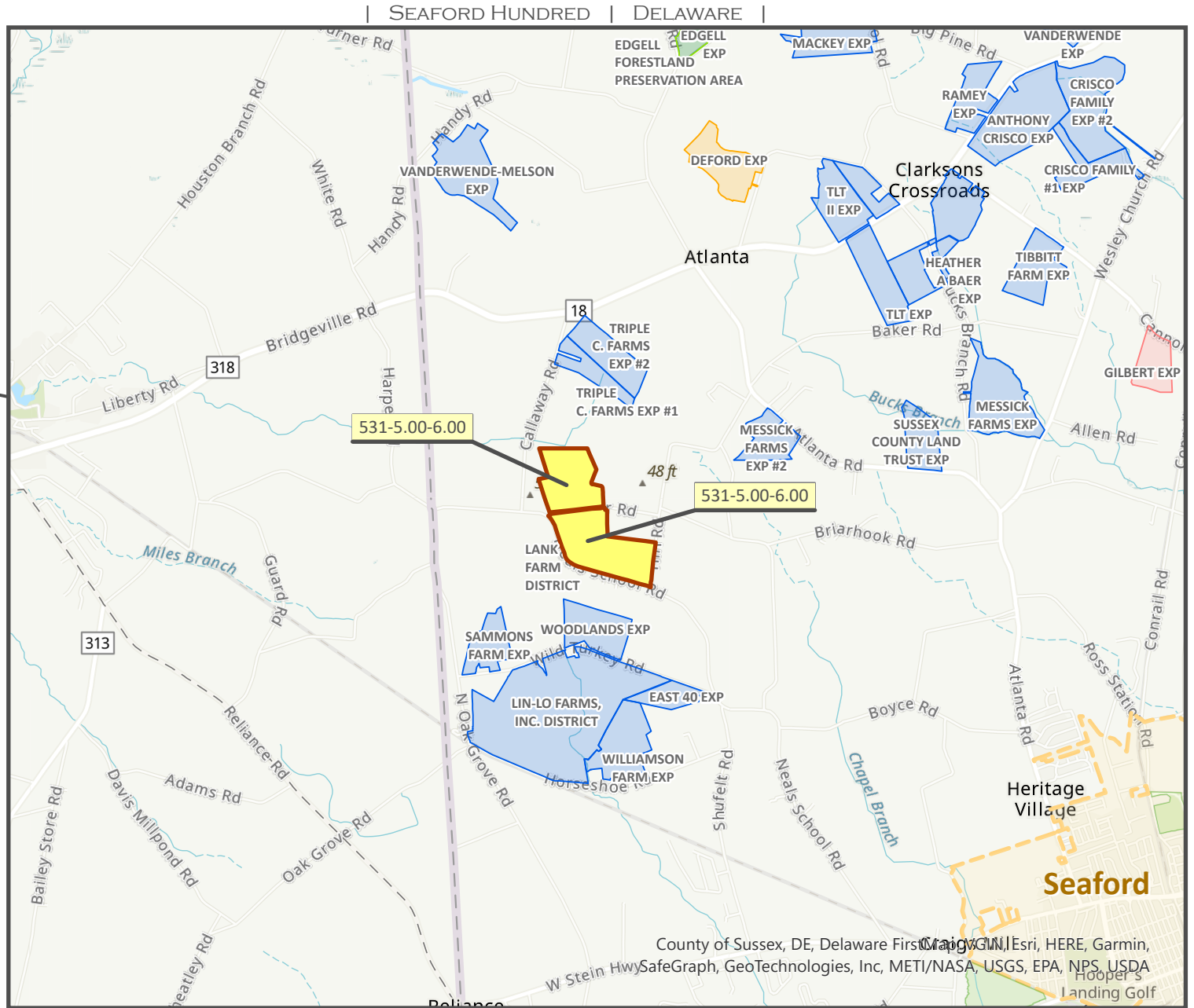
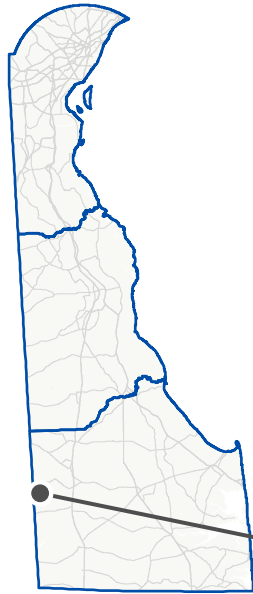
Is any portion of the proposed District/Expansion currently subject to subdivision?  Yes  No

Is the property land locked? (no road frontage)  Yes  No If yes please provide access rights documentation

District Name You Would Prefer: LANK FARM DISTRICT

Monitor Zone 5 Do you wish to have your farm appraised for the next round of Aglands easement selections?  Yes  No

# LANCK FARM DISTRICT



## AGRICULTURAL PRESERVATION DISTRICT

Farm Parcel Boundary

Public Protected Lands

Project ID: S-22-10-304

Total Preserved Acres: 229.38

Program Status: Pending

Priority Zone: No

Parcel ID	County	Acres
531-5.00-6.00	Sussex	229.38

### DELAWARE AGRICULTURAL LANDS PRESERVATION FOUNDATION

Eric Reid - Planner III  
 Delaware Dept of Agriculture  
 2320 S. Dupont Hwy  
 Dover, DE 19901

Pending / Contingent

Contingent

Pending

Agricultural Easement

Agricultural District

Agricultural Expansion

Forestland Area

Forestland Easement

Young Farmer



THIS PLAN IS A COMPILATION OF AVAILABLE INFORMATION OF RECORD AND IS NOT TO BE USED FOR ENGINEERING PURPOSES.

Exported: 11/17/2022

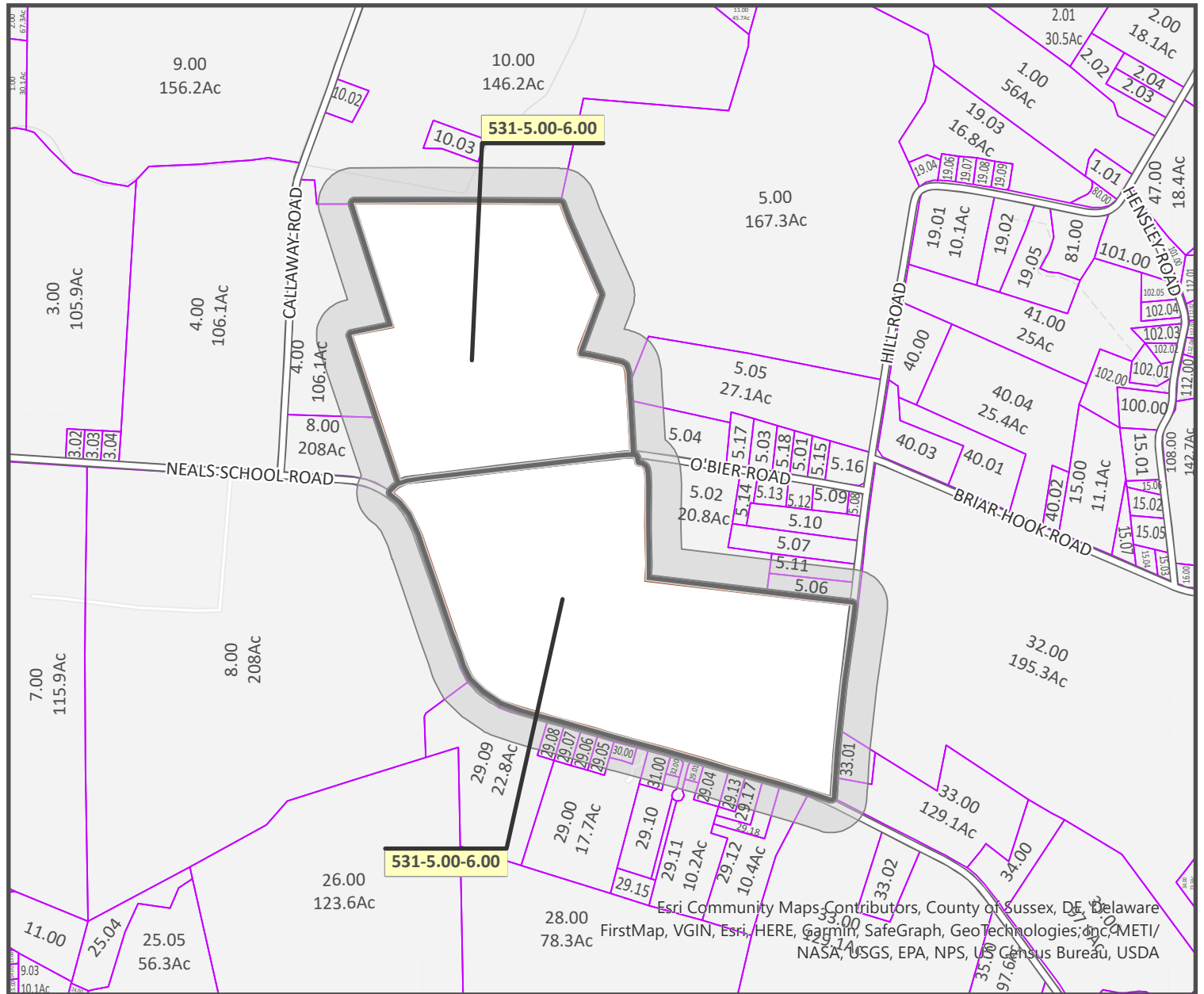
# EXHIBIT A

# LANCK FARM DISTRICT

Project ID: S-22-10-304

Total Preserved Acres: 229.38

Parcel ID	County Acres
531-5.00-6.00	Sussex 229.38



**50 feet**

IS THE 50' BOUNDARY LINE FROM AG DISTRICT; NO BUILDINGS FOR NON-AG PURPOSES CAN BE CONSTRUCTED INSIDE THIS AREA. "FOR ANY NEW SUBDIVISION DEVELOPMENT LOCATED IN WHOLE OR IN PART WITHIN FIFTY (50) FEET OF THE BOUNDARY OF AN AGRICULTURAL PRESERVATION DISTRICT, NO IMPROVEMENT REQUIRING AN OCCUPANCY APPROVAL SHALL BE CONSTRUCTED WITHIN FIFTY (50) FEET OF THE BOUNDARY OF THE AGRICULTURAL PRESERVATION DISTRICT," PURSUANT TO 3 DEL. C. ss910 (a) (2)

**300 feet**

IS THE 300' BOUNDARY LINE; NOTICE MUST BE GIVEN TO ALL NEW HOMEOWNERS IN NEW SUBDIVISIONS FILED AFTER THE APPROVAL DATE OF THIS DISTRICT. "FOR ANY NEW SUBDIVISION DEVELOPMENT LOCATED IN WHOLE OR IN PART WITHIN THREE HUNDRED (300) FEET OF THE BOUNDARY OF AN AGRICULTURAL PRESERVATION DISTRICT, THE OWNER SHALL PROVIDE IN THE DEED RESTRICTIONS AND ANY LEASES OR AGREEMENTS OF SALE FOR ANY RESIDENTIAL LOT OR DWELLING UNIT THE FOLLOWING NOTICE: 'AGRICULTURAL PRESERVATION DISTRICT: THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURAL PRESERVATION DISTRICT IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USE ACTIVITIES.'" PURSUANT TO 3 DEL. C. ss910 (a) (1)



Eric Reid - Planner III  
 Delaware Dept of Agriculture  
 2320 S. Dupont Hwy  
 Dover, DE 19901  
 Exported: 11/17/2022



2

Esri Community Maps Contributors, County of Sussex, DE, Delaware  
 FirstMap, VGIN, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, dnc, METI/  
 NASA, USGS, EPA, NPS, US Census Bureau, USDA

DELAWARE AGRICULTURAL LANDS PRESERVATION FOUNDATION HEREBY CERTIFIES THAT THE PROPERTIES SHOWN AND DESCRIBED ON THIS PLAN, AND SUBJECT TO AN AGRICULTURAL PRESERVATION DISTRICT AGREEMENT FILED AND RECORDED WITH THE RECORDER OF DEEDS IN AND FOR SUSSEX COUNTY, DELAWARE, CONSTITUTE AN AGRICULTURAL PRESERVATION DISTRICT AS PROVIDED IN LEGAL REF. 3 DEL. C. CHAP. 9. FURTHER, I WITNESS THAT THIS DISTRICT HAS BEEN PROPERLY APPROVED AND THAT THE FOUNDATION DESIRES THAT THIS PLAN BE RECORDED ACCORDING TO LAW.

CHAIRMAN OR AUTHORIZED DESIGNEE  
 DELAWARE AGRICULTURAL LANDS PRESERVATION FOUNDATION

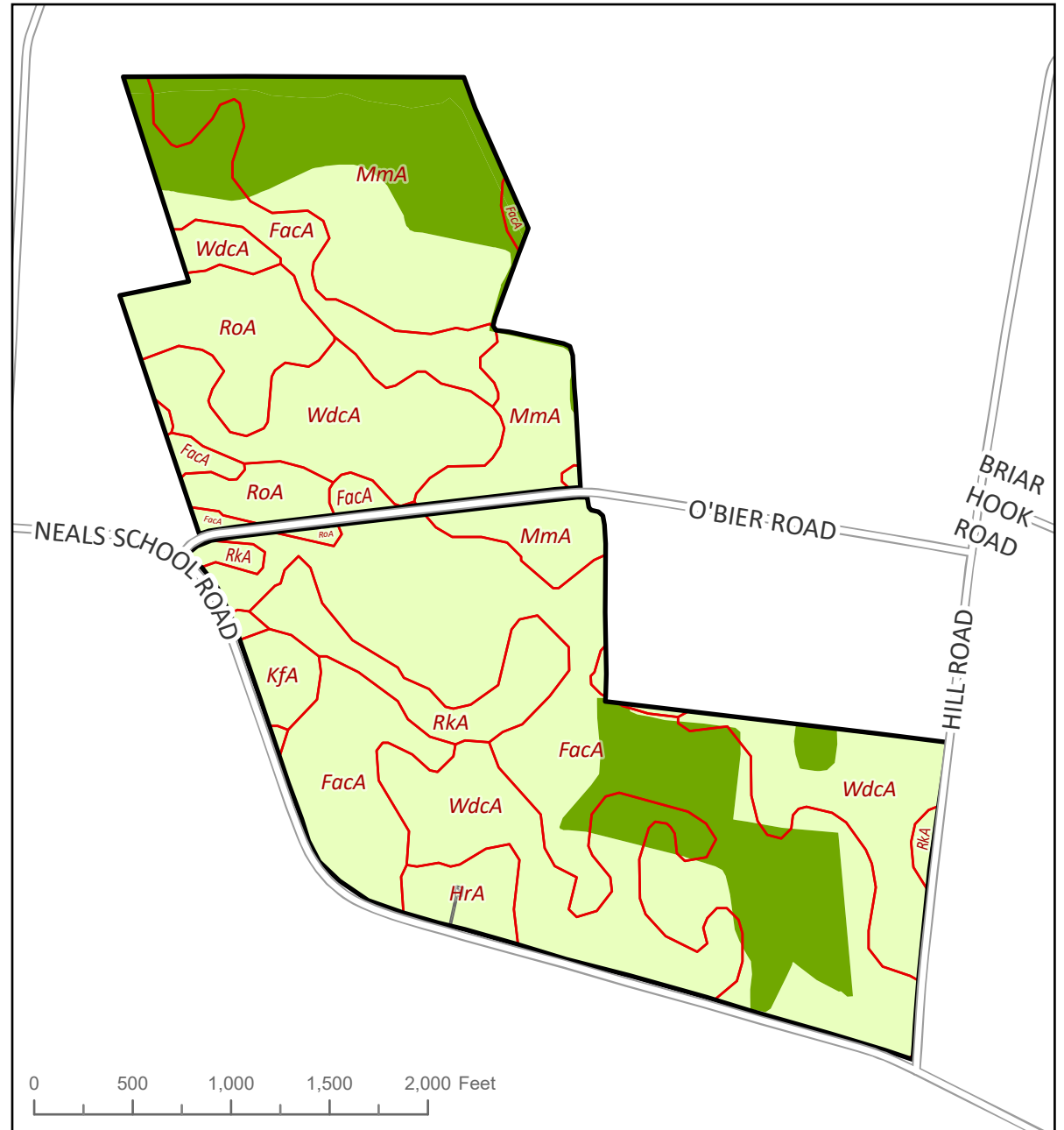
DATE

# LANK FARM DISTRICT

## NRCS Soils Present

- FacA, Fallsington sandy loams, 0 to 2 percent slopes, Mid-Atlantic Coastal Plain
- HbA, Hambrook sandy loam, 0 to 2 percent slopes
- HrA, Henlopen-Rosedale complex, 0 to 2 percent slopes
- KfA, Keyport fine sandy loam, 0 to 2 percent slopes
- MmA, Mullica mucky sandy loam, 0 to 2 percent slopes
- RkA, Rockawalkin loamy sand, 0 to 2 percent slopes
- RoA, Rosedale loamy sand, 0 to 2 percent slopes
- WdcA, Woodstown sandy loam, 0 to 2 percent slopes, Mid-Atlantic Coastal Plain

Parcel ID	Class	Soil	Rating	Acres
531-5.00-6.00	Agriculture	FacA	Farmland of statewide importance	67.297
531-5.00-6.00	Agriculture	HbA	All areas are prime farmland	0.479
531-5.00-6.00	Agriculture	HrA	Prime farmland if irrigated	4.605
531-5.00-6.00	Agriculture	KfA	All areas are prime farmland	3.107
531-5.00-6.00	Agriculture	MmA	Prime farmland if drained	26.241
531-5.00-6.00	Agriculture	RkA	Prime farmland if irrigated	11.181
531-5.00-6.00	Agriculture	RoA	Prime farmland if irrigated	15.311
531-5.00-6.00	Agriculture	WdcA	All areas are prime farmland	52.544
531-5.00-6.00	Forest	FacA	Farmland of statewide importance	23.482
531-5.00-6.00	Forest	HbA	All areas are prime farmland	0.013
531-5.00-6.00	Forest	MmA	Prime farmland if drained	21.091
531-5.00-6.00	Forest	RoA	Prime farmland if irrigated	0.064
531-5.00-6.00	Forest	WdcA	All areas are prime farmland	3.967



Total: 229.38 Ac  
 Cropland: 180.76 Ac  
 Forest: 48.62 Ac

Prime Soil: 229.38 Ac  
 Impervious Cover: 0.08 Ac  
 Road Frontage: 10,559 Ft

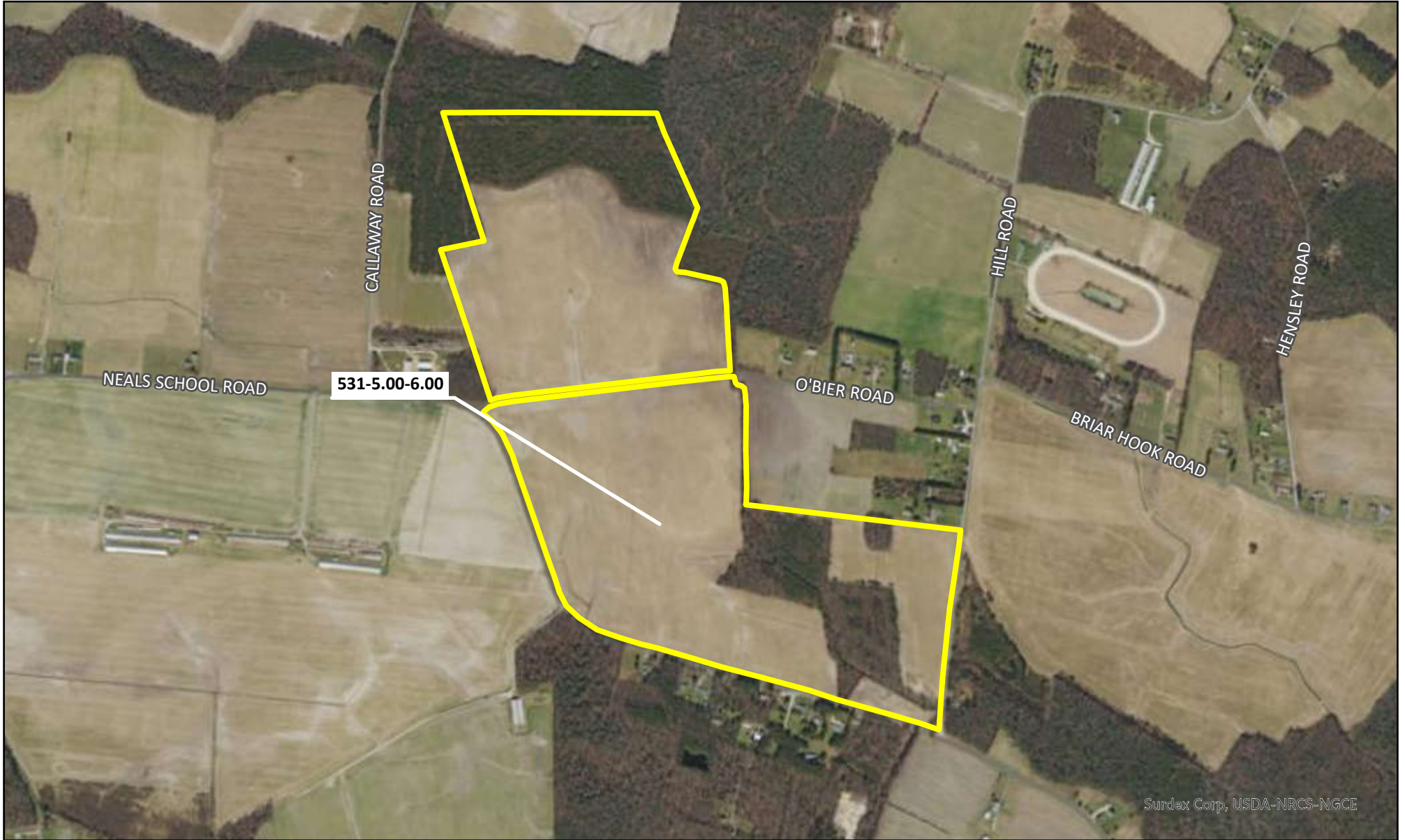
- Agriculture
- Forest
- Urban
- Wetland
- Other
- Impervious



# EXHIBIT B

S-22-10-304

# LANK FARM DISTRICT



Surdex Corp, USDA-NRCS-NGCE

Eric Reid - Planner III  
 Delaware Dept of Agriculture  
 2320 S. Dupont Hwy  
 Dover, DE 19901  
 Aerial Photo: April 2017  
 Exported: 11/17/2022

Parcel ID	Dwellings	Residential Acres	Road Frontage	Acres
531-5.00-6.00	0	0	10,559 ft	229.38

Farms in Agricultural Preservation are allowed 1 acre of residential land use for every 20 total acres, with a minimum of 1 and maximum of 10 acres. Up to 3 dwellings may be placed on the residential acres. Allowances may be further assigned to parcels by subsequent acknowledgements. Refer to the district agreement, easement, and any recorded acknowledgments for current allowances.

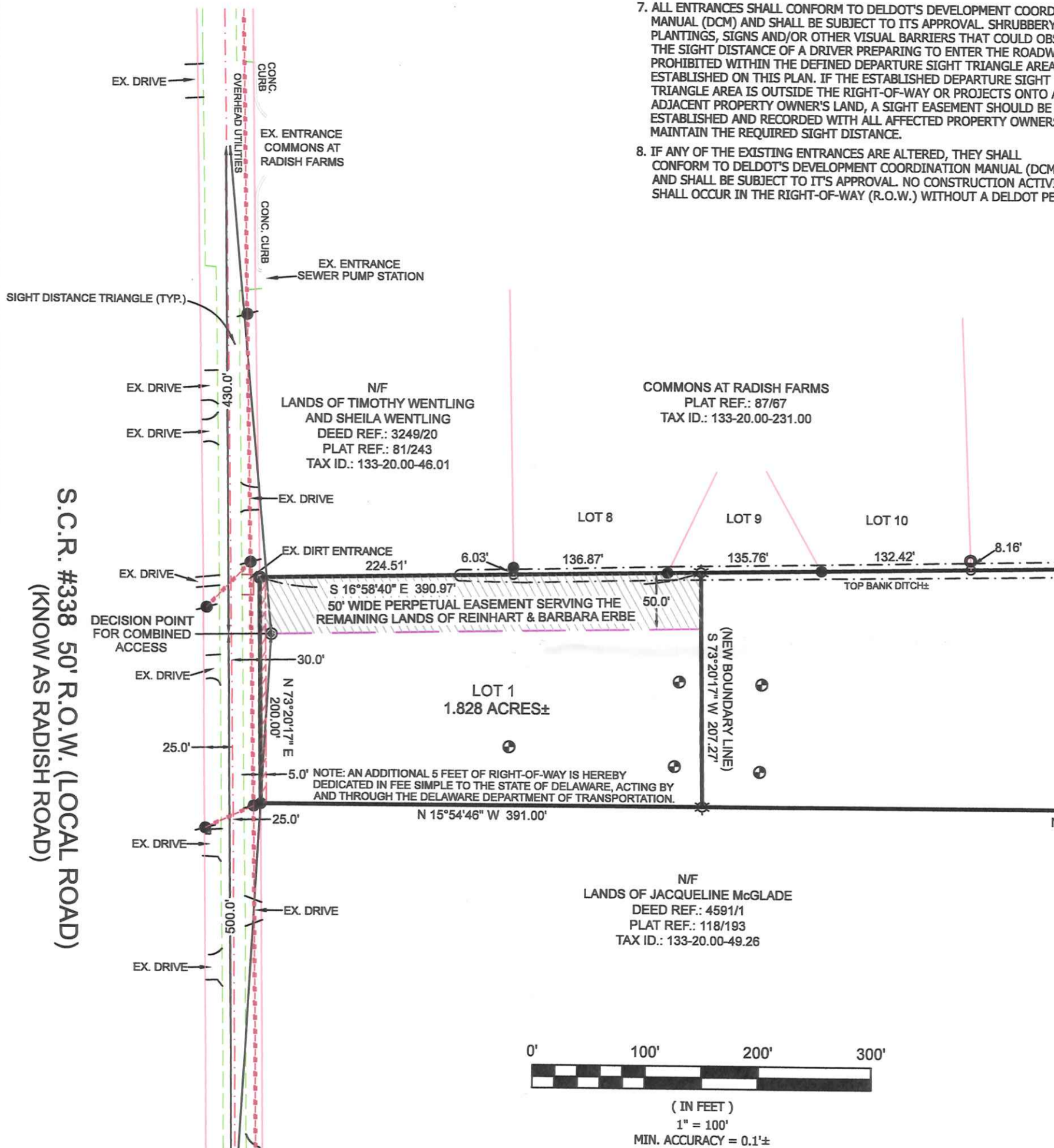
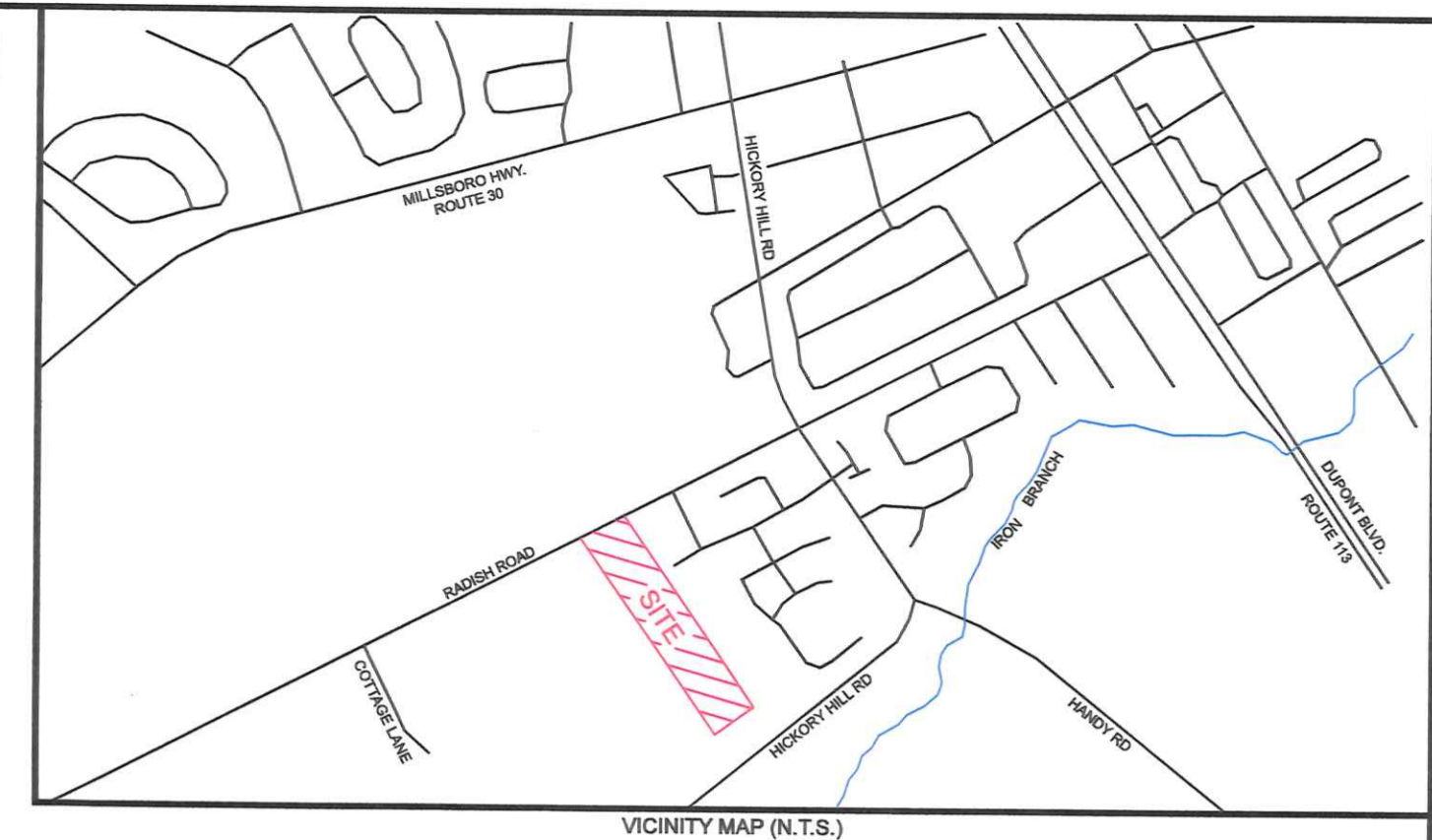
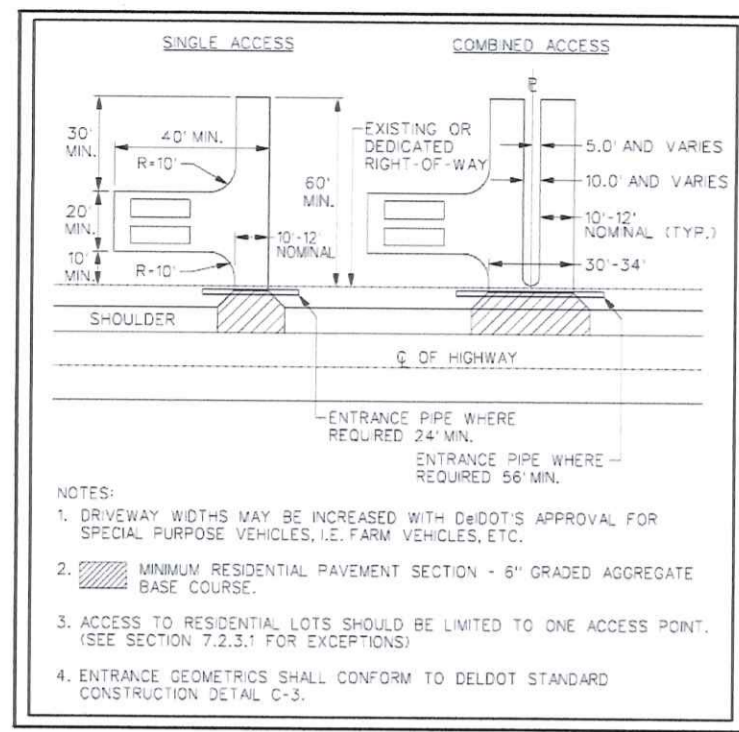


**NOTES:**

- REMAINING LANDS OF REINHART & BARBARA ERBE SHALL HAVE ACCESS TO S.C.R. #38 VIA 50' WIDE PERPETUAL EASEMENT. SAID EASEMENT SHALL BE USED FOR INGRESS/EGRESS, DRAINAGE & UTILITIES, AS SHOWN HERE ON THIS MINOR SUBDIVISION PLAN.
- IF THE REMAINING LANDS OF REINHART & BARBARA ERBE, ARE EVER DEVELOPED AS A SUBDIVISION, LOT 1 WILL HAVE DIRECT ACCESS TO S.C.R. #38. THE REMAINING LANDS WILL HAVE DIRECT ACCESS TO S.C.R. #38 VIA 50' WIDE PERPETUAL EASEMENT.
- ALL ENTRANCES SHALL CONFORM TO THE CURRENT DELDOT DEVELOPMENT COORDINATION MANUAL.
- ALL EXISTING DRIVEWAYS AND ENTRANCES ON S.C.R. #38 ARE SHOWN WITHIN THE EXISTING SIGHT TRIANGLES.
- THE REMAINING LANDS OF REINHART & BARBARA ERBE WILL HAVE THE RESPONSIBILITY FOR THE MAINTENANCE AND REPAIRS OF SAID 50' WIDE PERPETUAL EASEMENT.
- A 50' WIDE PERPETUAL EASEMENT, TO BE USED FOR INGRESS/EGRESS, DRAINAGE & UTILITIES IS HEREBY ESTABLISHED AS PER THIS PLAT.

**ENTRANCE NOTES:**

- WHERE DRIVEWAY SERVES TWO ADJACENT RESIDENCES (COMBINED DRIVEWAY ACCESS) THE DRIVEWAY WIDTH AT THE RIGHT OF WAY LINE WILL BE 29 FEET.
- DRIVEWAY WIDTHS MAY BE INCREASED WITH THE DIVISION OF HIGHWAYS APPROVAL FOR SPECIAL PURPOSE VEHICLES (I.e. FARM VEHICLES, ETC.)
- ENTRANCE PIPE FURNISHED BY THE PROPERTY OWNER WILL BE INSTALLED BY THE DIVISION OF HIGHWAYS UPON REQUEST.
- MINIMUM RESIDENTIAL PAVEMENT SECTION BITUMINOUS SURFACE TREATMENT ON 6" SELECT BORROW BASE COURSE.
- ACCESS TO RESIDENTIAL LOTS SHALL BE LIMITED TO ONE ACCESS POINT.
- AN ENTRANCE PERMIT MUST BE OBTAINED PRIOR TO ANY CONSTRUCTION.
- ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL. SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- IF ANY OF THE EXISTING ENTRANCES ARE ALTERED, THEY SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM), AND SHALL BE SUBJECT TO ITS APPROVAL. NO CONSTRUCTION ACTIVITY SHALL OCCUR IN THE RIGHT-OF-WAY (R.O.W.) WITHOUT A DELDOT PERMIT.



**LOT AREA TABLE**

CURRENT OWNER	ORIGINAL AREA	SUBTRACTION	ADDITION	REVISED LOT AREA
REINHART & BARBARA ERBE	7.598 ACRES±	1.828 ACRES±	N/A	5.770 ACRES±
LOT 1	N/A	N/A	1.828 ACRES±	1.828 ACRES±
ERBE REMAINING LANDS (LOT 2)	N/A	N/A	N/A	5.770 ACRES±

**CERTIFICATION OF OWNERSHIP**

I/WE THE UNDERSIGNED, CERTIFY THAT I/WE ARE THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THIS PLAN WAS MADE AT MY DIRECTION AND I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO DELAWARE STATE LAW.

OWNER: REINHART D. ERBE  
38385 MAPLE LANE  
SELBYVILLE, DE. 19975  
DATE: 1/4/23

OWNER: BARBARA A. ERBE  
38385 MAPLE LANE  
SELBYVILLE, DE. 19975  
DATE: 1/04/2023

**DeIDOT**  
**NO OBJECTION TO RECORDATION**  
January 13, 2023  
DATE



**PROFESSIONAL LAND SURVEYOR CERTIFICATION:**

I, RUSSELL T. HAMMOND, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAT HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

RUSSELL T. HAMMOND, DELAWARE PROFESSIONAL LAND SURVEYOR,  
LICENSE NO. S6 0000781, EXPIRATION 06/30/2023  
DATE: 1/04/2023

**MINOR SUBDIVISION PLAN**  
LANDS OF REINHART D. ERBE AND BARBARA A. ERBE  
DAGSBORO HUNDRED, SUSSEX COUNTY, DELAWARE

**RUSSELL T. HAMMOND**  
Surveying, LLC

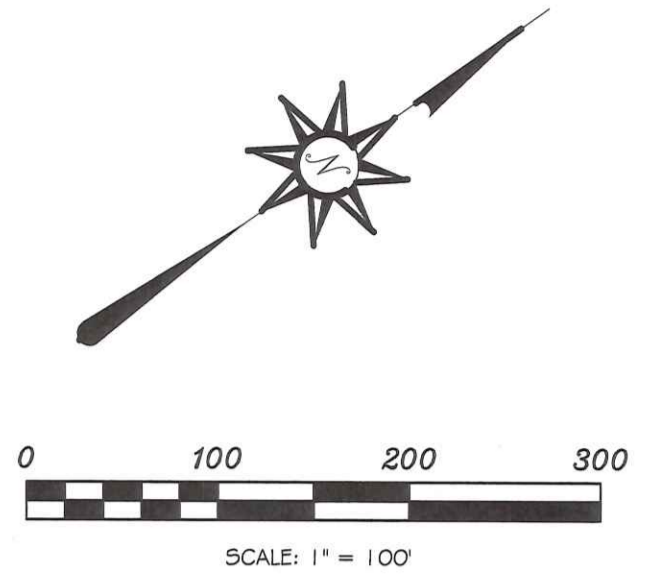
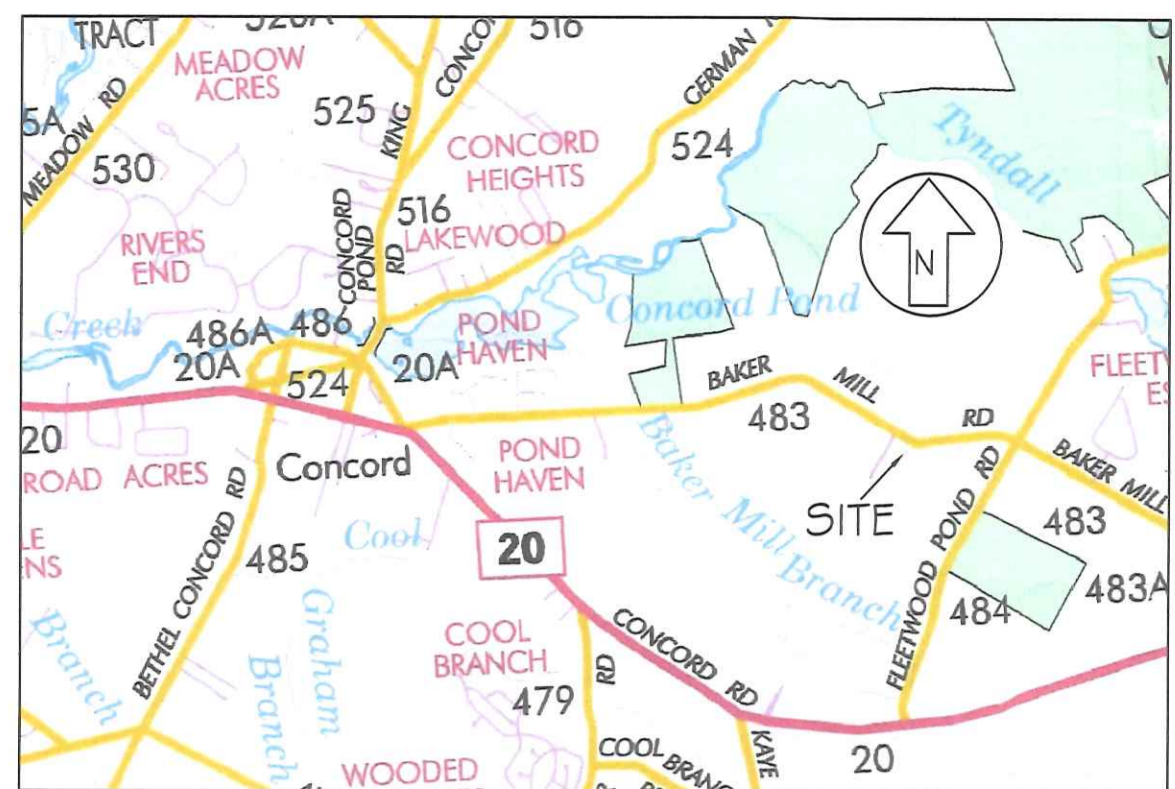
SURVEYING - LAND PLANNING  
10310 Hotel Road Bishopville, MD 21813  
(410) 352-5674 - (410) 726-8076

DESIGNED BY	N/A	SURVEYED BY	RS/BB	FILE #	2022-3249
DRAWN BY	R. SAVAGE	DATE	07/20/2022		
CHECKED BY	R.T. Hammond	SCALE	1" = 100'	SHEET 1 OF 1	

NOTE: THIS PLAT REFLECTS THE DESCRIPTION OF THE LOT/PARCEL AS NOTED IN THE TITLE OF THIS PLAT, AS SHOWN ON THE RECORD PLAT AND DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHTS OF WAY, WETLANDS, UTILITIES OR EASEMENTS PERTAINING TO THIS PROPERTY OTHER THAN THOSE AS SHOWN ON SAID RECORD PLAT. NO TITLE SEARCH OR COVENANTS PROVIDED OR STIPULATED.

RUSSELL T. HAMMOND SURVEYING, L.L.C. RESERVES ITS COMMON LAW COPYRIGHT IN THESE PLANS, PLATS, OR OTHER DOCUMENTS. ANY AMENDMENTS, COPYING OR DISTRIBUTION, INCLUDING COMPUTER GENERATED AMENDMENTS, IS PROHIBITED UNLESS PERMITTED IN WRITING BY RUSSELL T. HAMMOND SURVEYING, L.L.C.

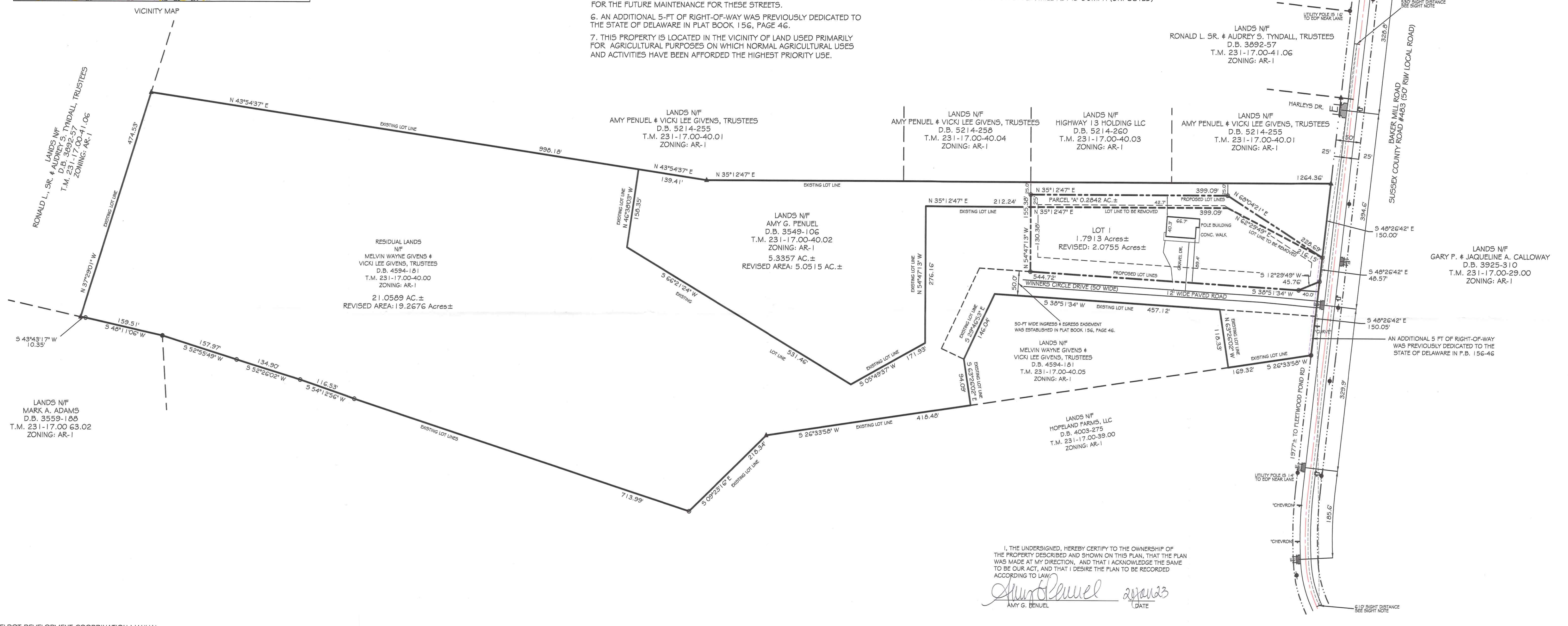
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF DELAWARE LICENSE NO. S6 0000781, EXPIRATION DATE 06/30/2023.



- GENERAL NOTES:**
- IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
  - ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DEL.D.O.T.'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
  - THERE IS A FIFTY FOOT BUILDING SETBACK FROM LANDS USED FOR AGRICULTURAL PURPOSES.
  - LOT #1 AND THE RESIDUAL LANDS SHALL HAVE ACCESS VIA THE 50-FT WIDE INGRESS AND EGRESS EASEMENT KNOWN AS "WINNERS CIRCLE DRIVE." SHOULD ADDITIONAL LOTS EVER BE DEVELOPED FROM THE RESIDUAL LANDS, THEN THOSE SHALL HAVE ACCESS VIA THE SAME "WINNERS CIRCLE DRIVE."
  - PRIVATE MAINTENANCE: PRIVATE STREETS WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THE SUBDIVISION, OR BOTH (TITLE 17, SECTION 131). DELDOT ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE FOR THESE STREETS.
  - AN ADDITIONAL 5-FT OF RIGHT-OF-WAY WAS PREVIOUSLY DEDICATED TO THE STATE OF DELAWARE IN PLAT BOOK 156, PAGE 46.
  - THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE.

**DATA COLUMN:**

T.M. PART #231-17.00-40.00  
 ZONING: AR-1  
 SETBACK REQUIREMENTS:  
 FRONT: 30' WINNERS CIRCLE DRIVE  
 SIDE: 15'  
 REAR: 20'  
 TRACT AREA: 23.0589 ACRES± (INCLUDING RESIDUAL AREA)  
 EXISTING LOTS: 1  
 PROPOSED LOTS: 2 TOTAL INCLUDING RESIDUAL LANDS  
 PRESENT USE: AGRICULTURAL, WOODED  
 PROPOSED USE: AGRICULTURAL/RESIDENTIAL  
 ACCESS: S.C.R. #483 (BAKER MILL ROAD)  
 ROADWAY CLASSIFICATION: LOCAL ROAD  
 WATER AND SEWER: INDIVIDUAL ON-SITE  
 100 YEAR FLOODPLAIN: SITE IS NOT IMPACTED  
 AS PER FIRM #1 0005C0270L DATED 06/20/18  
 LOCATION TO NEAREST TID IS "HENLOPEN"  
 SPEED LIMIT ON BAKER MILL RD. IS 50MPH (UNPOSTED)



I, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE OUR ACT, AND THAT I DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

*Amy Penuel* 2/29/23  
 AMY PENUEL DATE

I, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE OUR ACT, AND THAT I DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

*Melvin Waynes* 1-20-23  
 MELVIN WAYNES DATE

*Vicki Lee Givens* 1/20/2023  
 VICKI LEE GIVENS DATE

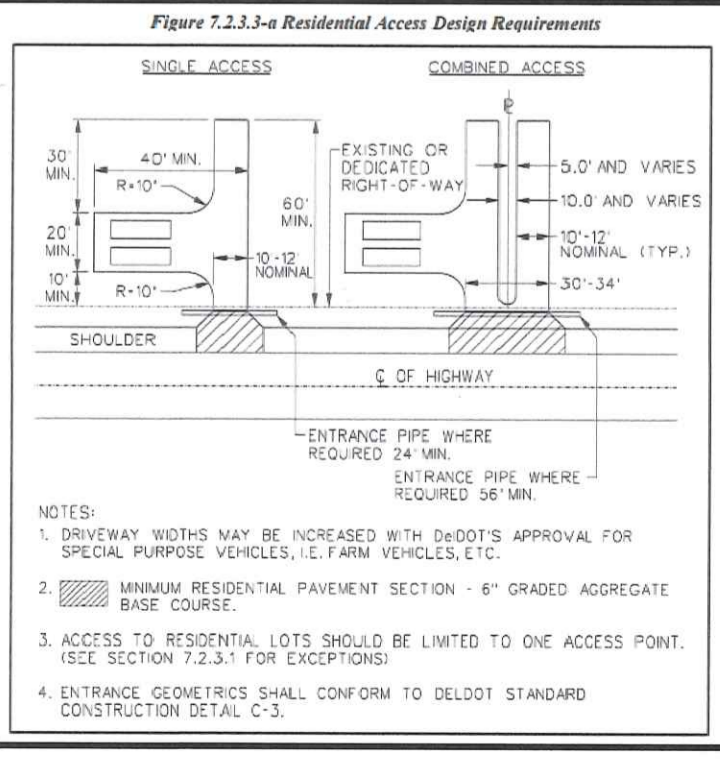
I, STEPHEN M. SELLERS REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

*Stephen M. Sellers* 1/29/2023  
 STEPHEN M. SELLERS, PLS 566 DATE

LOT LINE ADJUSTMENT AND  
 MINOR SUBDIVISION PLAN FOR  
**MELVIN WAYNE GIVENS, TRUSTEE &  
 VICKI LEE GIVENS, TRUSTEE**

OWNERS ADDRESS: 25723 WINNERS CIRCLE DRIVE  
 SEAFORD, DE 19973  
 PH: 302-448-6970

DELDOT DEVELOPMENT COORDINATION MANUAL



- LEGEND:**
- CONCRETE MONUMENT (FOUND)
  - IRON PIPE (FOUND)
  - PIPE TO BE SET
  - WOOD POST (FD)
  - POINT
  - IRON AXLE (FOUND)
  - IRON ROD (FOUND)
  - EXISTING ENTRANCE
  - PROPOSED ENTRANCE
  - EXISTING AG. ENTRANCE
  - MAILBOX
  - UTILITY POLE
  - TRAFFIC SIGN
  - PHONE PULL BOX
- SIGHT NOTE:**
- NOTE: SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.

DATE	REVISION
09/28/2022	RE DELDOT COMMENTS 09/27/22

**MILLER LEWIS, INC.**  
 LAND SURVEYING  
 1560 MIDDLEFORD RD.  
 SEAFORD, DELAWARE 19973  
 PH: 302-629-9695 FAX: 302-629-2391

MAY 23, 2022

HUNDRED	COUNTY
DAGSBORO	SUSSEX
STATE	DRAWN BY
DELAWARE	D.K. MILLER
REF.	FILE NO.
4594-181	CATALFAMO 231-17-40

OTHER THAN SHOWN, THIS SURVEY AND PLAT DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHTS-OF-WAY OR EASEMENTS CROSSING THIS PROPERTY.  
 NO TITLE SEARCH PROVIDED OR STIPULATED.  
 SURVEY CLASS: SUBURBAN



RECEIVED

JAN 19 2023

SUSSEX COUNTY  
PLANNING & ZONING

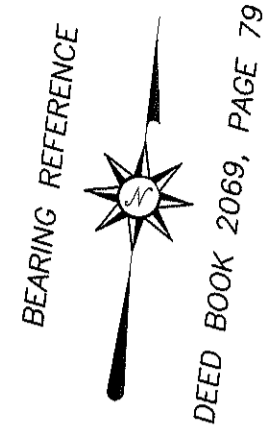
Douglas J. Annand  
Professional Land Surveyor  
10027 N. Old State Road  
Lincoln, DE 19960  
302-448-0320  
douglasannand7@gmail.com

January 15, 2023

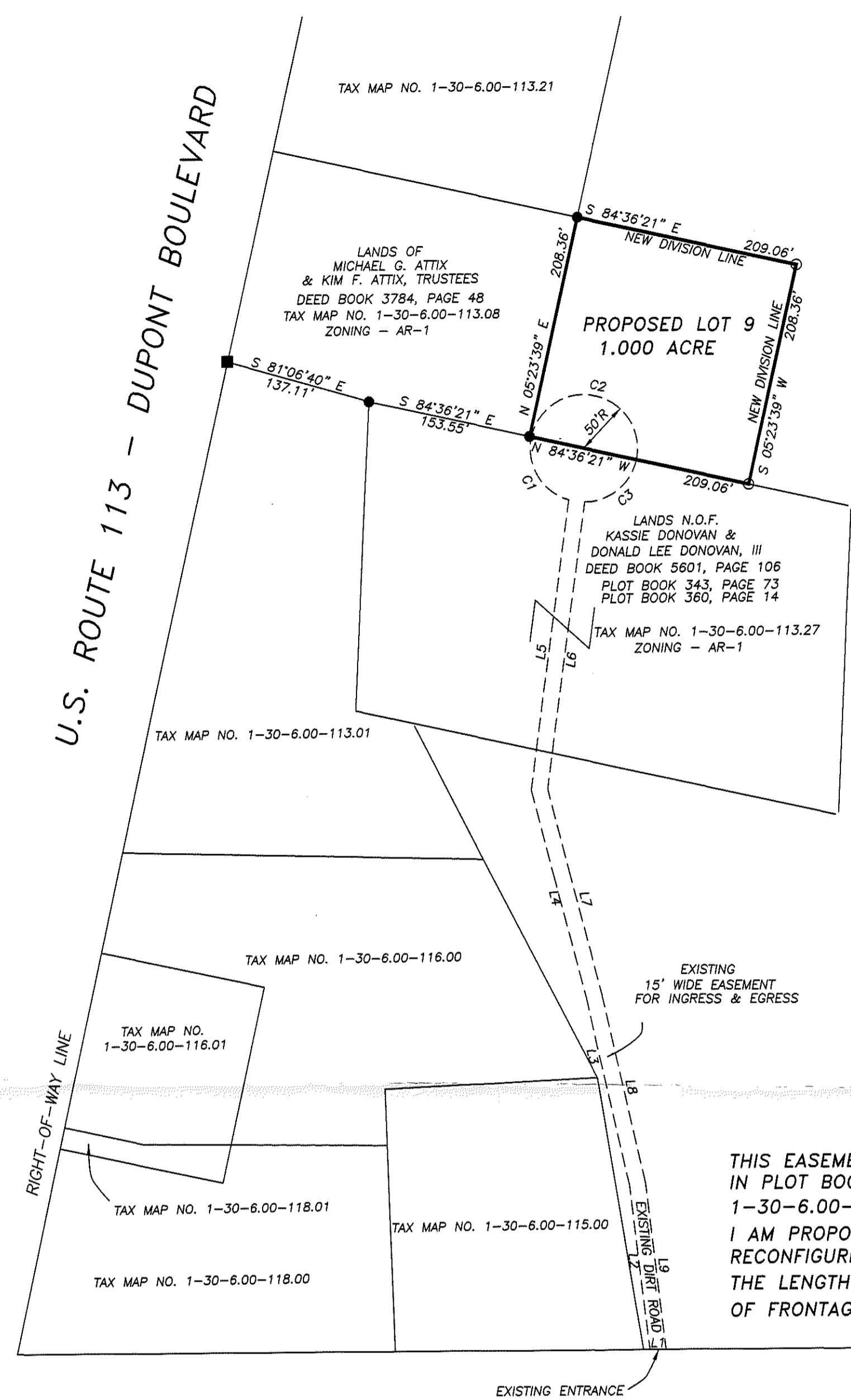
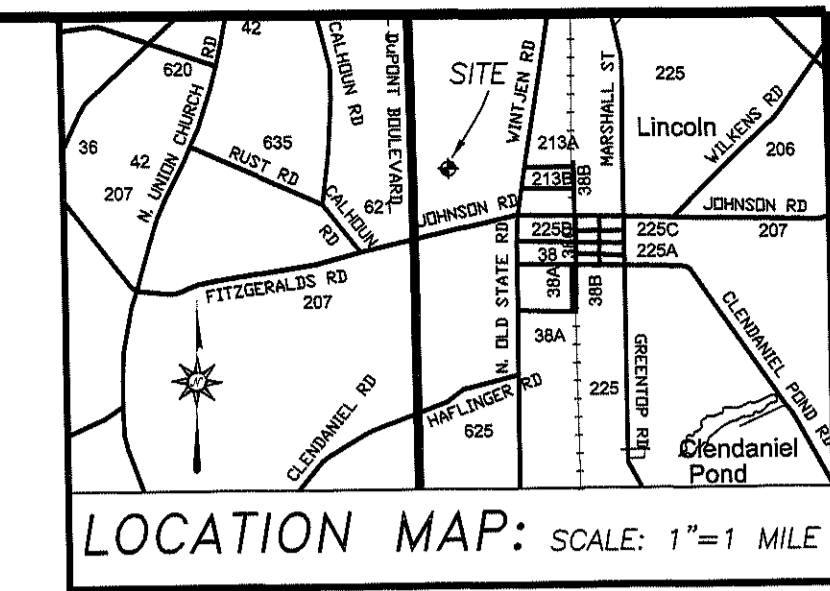
Sussex County Planning & Zoning  
2 The Circle  
Georgetown, DE 19947

Please, submit the enclosed minor subdivision survey plan to the planning commission for approval of the revised easement of ingress/egress.

Thanks, Douglas Annand, PLS



DEED BOOK 2069, PAGE 79



EASEMENT CURVE DATA

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	50.00'	75.13'	56.26'	N 37°39'00\"/>	

COURSES & DISTANCES WITH 15' WIDE EASEMENT

LINE	BEARING	DISTANCE
L1	S 83°10'57\"/>	

RESIDUAL LANDS OF PONDEROSA ACRES, LLC  
 DEED BOOK 3549, PAGE 211  
 TAX MAP NO. 1-30-6.00-113.04  
 RESIDUAL AREA - 60.467 ACRES  
 ZONING - AR-1

THIS EASEMENT WAS APPROVED & RECORDED ON JUNE 30, 2021 IN PLOT BOOK 343, PAGE 73, TO PROVIDE ACCESS TO TAX MAP PARCEL 1-30-6.00-113.27.  
 I AM PROPOSING THAT THIS EASEMENT BE LENGTHENED AND RECONFIGURED TO PROVIDE ACCESS TO PROPOSED LOT 9.  
 THE LENGTH OF THE EASEMENT IS 906 FEET AND IT PROVIDES 157.08 FEET OF FRONTAGE FOR PROPOSED LOT 9.

SCR 207- JOHNSON ROAD  
 60' WIDE

- DATA COLUMN:**
- OWNER: PONDEROSA ACRES, LLC  
 JOHN T. FITZGERALD, JR. & KAREN L. FITZGERALD  
 18117 JOHNSON ROAD  
 LINCOLN, DE 19960  
 302-236-7746  
 kattix@comcast.net
  - CLASS "B", SUBURBAN SURVEY
  - A TITLE SEARCH WAS NEITHER REQUESTED, PROVIDED OR UTILIZED FOR THIS SURVEY
  - TOTAL NUMBER OF NEW LOTS - 1
  - TAX MAP NO. 1-30-6.00-113.04  
 RESIDUAL FRONTAGE - 990'+/-  
 GROSS AREA - 61.467 ACRES+/-  
 RESIDUAL AREA - 60.467 ACRES+/-
  - ZONING - AR-1
  - PRESENT USE - AGRICULTURAL
  - PROPOSED USE - RESIDENTIAL
  - WATER - ON SITE
  - SEPTIC - ON SITE
  - THIS PROPERTY IS NOT LOCATED WITHIN A FLOOD ZONE

**SURVEYOR'S CERTIFICATION:**  
 I, DOUGLAS J. ANNAND, HEREBY CERTIFY THAT I AM A LICENSED SURVEYOR IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRINCIPALS AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DOUGLAS J. ANNAND, PLS 622

**OWNER'S CERTIFICATION:**  
 WE, JOHN T. FITZGERALD, JR., KAREN L. FITZGERALD, DONALD LEE DONOVAN, III & KASSIE DONOVAN, HEREBY CERTIFY THAT WE ARE THE LEGAL OWNERS OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND THAT WE DESIRE THE PLAN TO BE RECORDED ACCORDING TO THE LAW.

KAREN L. FITZGERALD DATE KAREN L. FITZGERALD DATE  
 (FOR JOHN T. FITZGERALD, JR.)

**AGRICULTURAL USE PROTECTION NOTE:**  
 THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS.

**LEGEND:**

- FOUND IRON PIPE
- SET IRON PIPE
- FOUND CONCRETE MONUMENT

DOUGLAS J. ANNAND, PLS 622

**MINOR SUBDIVISION SURVEY PLAN**

PREPARED FOR  
**PONDEROSA ACRES, LLC**

PREPARED BY  
 DOUGLAS J. ANNAND  
 PROFESSIONAL LAND SURVEYOR  
 10027 NORTH OLD STATE ROAD  
 LINCOLN, DELAWARE 19960  
 302-448-0320  
 douglasannand7@gmail.com

SITUATED IN  
 CEDAR CREEK HUNDRED  
 SUSSEX COUNTY  
 STATE OF DELAWARE  
 SCALE: 1" = 100'  
 DATE: JANUARY 14, 2022

