

JAMIE WHITEHOUSE, AICP  
DIRECTOR OF PLANNING & ZONING  
(302) 855-7878 T  
(302) 854-5079 F  
jamie.whitehouse@sussexcountyde.gov



**Sussex County**

DELAWARE  
sussexcountyde.gov

## PLEASE NOTE

This paperless packet is published on the County's website for convenience purposes, and only includes information received up to the close of business on the day before a public hearing. Documents received after this, or documents submitted during the public hearing are not uploaded to the Paperless Packet. The legal record is the paper record maintained in the Offices of the Planning & Zoning Department.



COUNTY ADMINISTRATIVE OFFICES  
2 THE CIRCLE | PO BOX 417  
GEORGETOWN, DELAWARE



## Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, AICP, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager; Lauren DeVore, AICP, Planner III; Michael Lowrey, Planner III; Chase Phillips, Planner II; Christin Scott, Planner II; Elliott Young, Planner I & Jesse Lindenberg, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: October 4th, 2022

RE: Other Business for the October 13<sup>th</sup>, 2022, Planning Commission Meeting

---

This memo provides background for the Planning Commission to consider as a part of the Other Business to be reviewed during the October 13<sup>th</sup>, 2022, Meeting of the Planning & Zoning Commission.

### **Americana Bayside – Bayside Hotel Phase 1B**

BM

Final Site Plan

This is a Final Site Plan for the Bayside Hotel, Phase 1B for a proposed sixty (60) room hotel totaling 39,517 square feet, bar, and restaurant, inground pool, Zen Garden, spa, lounge, wall fountain, outdoor seating, parking, and associated site improvements to be located on Lakeview Drive and with access off the south side of Signature Boulevard within the existing Americana Bayside Residential Planned Community (RPC). At their meeting of Thursday, May 26<sup>th</sup>, 2022, the Planning and Zoning Commission approved the Preliminary Site Plan for the proposal. A revised Master Plan (MP-15) has also been submitted as required for all Residential Planned Communities (RPC) and has been included in the Commission's packet this evening. The Final Site Plan complies with the Sussex County Zoning and Subdivision Codes and all Conditions of Approval for the RPC. Zoning District: Medium Density Residential, Residential Planned Community (MR-RPC). Tax Parcel: 533-19.00-865.01. Staff are in receipt of all agency approvals.

### **CZ 1881 Milos Haven (F.K.A. Lakelynn)**

HW

Final Amenities Plan

This is a Final amenities Plan for the Milos Haven RPC community for the construction of a proposed 263 square foot bathhouse, an in-ground pool and other site improvements. The project is located on the northeast side of Norman Lane a private street within the Milos Haven Community. The Final Amenities Plan complies with the Sussex County Zoning Code and all Conditions of Approval. The Sussex County Planning and Zoning Commission approved the Preliminary Amenities Plan at their meeting of Thursday, September 8<sup>th</sup>, 2022. Tax Parcel: 134-18.00-38.00. Zoning: GR-RPC (General Residential District, Residential Planned Community). Staff are in receipt of all agency approvals.

### **The Peninsula RPC – Eighteenth on the Bay (C/Z 1475, 1883 & 1936)**

HW

Revised Final Site Plan

This is a Revised Final Site Plan for The Peninsula Residential Planned Community – Eighteenth on the Bay. Specifically, the Applicant has proposed to change previously approved Building Nos. 2 through 5, 13, and 14 containing units 301 through 331 from leasehold (rented) to subdivided lots to be held in fee simple ownership. The type and distribution of units to be provided within the RPC



remain the same, as the units are included in the 270 single-family attached townhomes which were previously approved under the original Ordinance. The units also will not exceed the total number of units permitted within the Residential Planned Community (RPC), which was capped at 1,394 units through Change of Zone No. 1883 (Ordinance No. 2690). The Revised Final Site Plan complies with the Sussex County Zoning and Subdivision Code and all Conditions of Approval. Tax Parcels: 234-30.00-313.00, 314, 315.01 through 315.13. Zoning: MR-RPC (Medium Density Residential, Residential Planned Community). Staff are in receipt of all agency approvals.

**S-22-10 American Storage of Delaware**

KS

Preliminary Site Plan

This is a Preliminary Site Plan for the construction of a 75,000 square foot self-storage facility, including RV and boat storage. The plan includes landscaping along Route 1, standard parking, parking for stored vehicles, an oversized loading area, and other site improvements. The plan designates 5,000 square feet of the building to be allocated to office use. Staff note that the property is within an area designated to have Excellent Groundwater Recharge Potential; therefore, the plan is subject to approval from the Sussex County Engineer. The property is within the Combined Highway Corridor Overlay Zone. Please be advised that the applicant has formally requested to be waived from the interconnectivity requirement that would require connection to Parcel 52.01 to the northwest. Otherwise, the Preliminary Site Plan complies with the Sussex County Zoning Code. Zoning: C-1 (General Commercial). Tax Parcel: 235-23.00-51.00. Staff are awaiting agency approvals.

**S-22-33 Milton Village Apartments**

KH

Preliminary Site Plan

This is a Preliminary Site Plan for the construction of 296 apartment units that will be split between 10 buildings. Eight (8) buildings will house 24 units and two (2) will house 52 units. The plan includes a 6,000 square foot community club house and pool, 60 garages for residential use, parking, landscaping, a multi-modal path, stormwater management, and other site improvements. The development will be located on a 21.15-acre leased area of a 138-acre parcel that is located on the east side of Gravel Hill Road (Rt. 30) and the south side of Milton Ellendale Highway (Rt. 16). Sewer and water will be provided by Artesian, and the site will be accessed from an internal road that will connect to Route 30. It should be noted that a conceptual plan to develop the remaining 117 acres as commercial areas and an additional 400 dwellings units have been reviewed by the Office of State Planning. Included in the published packet is the conceptual Master Plan and PLUS report. The Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 235-14.00-77.00. Zoning: HR-1 (High Density Residential). Staff are awaiting agency approvals.

**2019-16 Estates at Milton Crossing**

KH

Preliminary Amenities Plan

This is a Preliminary amenities Plan for the Estates at Milton Crossing (2019-16) community for the construction of a proposed 1,198 square foot pool/patio house, an in-ground pool and other site improvements. The project is located on the northwest side of Whistling Duck Way a private street within the Estates at Milton Crossing. The Preliminary Amenities Plan complies with the Sussex County Zoning Code and all Conditions of Approval. Tax Parcel: 235-8.00-26.00 Zoning: AR-1 (Agricultural Residential District). Staff are awaiting agency approvals.

**Lands of Dale T. Crew, Sr.**

KH

Minor Subdivision off a 20-ft Easement

This is a Minor Subdivision Plan for the subdivision of 5.005 acre +/- parcel of land into three (3) lots and residual lands off a 20-foot ingress/egress access easement. Proposed Lot 1 consists of 0.75 acres +/-, proposed Lot 2 consists of 0.754 acres +/-, proposed Lot 3 consists of 0.75 acres +/- and the residual lands consist of 2.755 acres +/- . The property is located on the southeast side of S Union Church Road (Route 42). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Zoning: AR-1 (Agricultural Residential District). Tax Parcel: 230-26.00-76.03. Staff are awaiting agency approvals. If the Commission desire to act favorably on this plan, final approvals are requested to be made by staff upon the receipt of all agency approvals.

**Lands of Todd S. Morrow**

KH

Minor Subdivision off a 50-ft Easement

This is a Minor Subdivision Plan for the subdivision of a 6.658 acre +/- parcel of land into one (1) lot and residual lands off a 50-foot ingress/egress access easement. Proposed Lot 1 consists of 3.899 acres +/- and the residual lands consist of 2.76 acres +/- . The property is located on the southeast side of Shawnee Road (Route 36). The Minor Subdivision Plan complies with the Sussex County Zoning and Subdivision Codes. Zoning: AR-1 (Agricultural Residential District). Tax Parcel: 130-6.00-19.02. Staff are in receipt of all agency approvals.

**Lands of Delnova Properties, LLC**

Requested Determination of Minor Subdivision

KS

Following discussions with staff, the Applicant has requested the Planning & Zoning Commission review whether the proposed plan meets the requirements for review as a minor subdivision under (§99-7(C)). This Preliminary Subdivision Plan proposes the subdivision of 5.09 acre +/- parcel of land into four (4) lots and residual lands. The plan proposes access for three (3) lots off a 50-foot easement and two (2) lots from a combined access on Camp Arrowhead Road (S.C.R. 279). The combined access for the Lots 1 and Lot 2 on Camp Arrowhead Road Plan proposes road frontages of 136 feet (Lot 1) and 75 feet (Lot 2). Lots in any minor subdivision are required to have a minimum width of 150 feet under (§97-7(C)). Proposed Lot 1 consists of 0.75 acres +/-; Proposed Lot 2 consists of 1.09 acres +/-; Proposed Lot 3 consists of 0.75 acres +/-; Proposed Lot 4 consists of 0.75 acres +/-; and the residual Lot 5 consists of 1.75 acres +/- . The property is located on the east side of Camp Arrowhead Lane (Route 279). Zoning: GR (General Residential District). Tax Parcel: 234-12.00-86.00.

**Lands of Delnova Properties, LLC**

Requested Determination of Minor Subdivision

KS

Following discussions with staff, the Applicant has requested the Planning & Zoning Commission review whether the proposed plan meets the requirements for review as a minor subdivision under (§99-7(C)). This Preliminary Subdivision Plan proposes the subdivision of a 1.96 acre +/- parcel of land into two (2) lots as well as lot line adjustments of the existing 2 related parcels and access easement parcel. The easement and related lots were approved as a Minor Subdivision by the Planning & Zoning Commission on August 11, 2016. Staff note that the meeting record indicates the Commission prescribed that “any further subdivision shall require a major subdivision.” The plan proposes to subdivide Parcel 87.00, expand the area of Parcel 87.03 (Easement Lot), and decrease the area of Parcel 87.02 via lot line adjustments. Additionally, the Plan proposes combined access from Camp Arrowhead Road (S.C.R. 279) for the reconfigured Easement (Parcel 87.03) and the residual lands of Parcel 87.00. These lots would have frontages of 107 feet (87.03) and 102 feet (Residual of 87.00). Lots in any minor subdivision are required to have a minimum width of 150 feet under (§97-7(C)).

The remaining lots: Proposed Lot 1, Parcel 87.02, and Parcel 87.01 would take access via the proposed 50-foot easement on Parcel 87.03. Proposed Lot (87.03 – Easement Lot) consists of 1.59 acres +/-; Proposed Lot 1 (p/o Parcel 87.00) consists of 0.75 acres +/-; Proposed Parcel 87.00 (Residual) consists of 0.92 acres +/-; Proposed Parcel 87.02 consists of 0.75 acres +/-; No changes are proposed to Parcel 87.01. The property is located on the east side of Camp Arrowhead Lane (Route 279). Zoning: GR (General Residential District). Tax Parcels: 234-12.00-87.00, 234-12.00-87.02, & 234-12.00-87.03.

**Smith Farm District (David B. & Monica E. Smith) (S-22-08-301)**

KH

Consideration of Agricultural Preservation District

The State of Delaware Department of Agriculture has notified the Planning & Zoning Department of a new proposed Agricultural Preservation District submitted to the Delaware Agricultural Lands Preservation Foundation. The new proposed APD comprises 309.65 Acres to be located on the west side of Blanchard Rd, approximately 0.6 mile south of Hickman Rd. Tax Parcel ID: 530-8.00-2.00. Zoning: AR-1 Agricultural Residential Zoning District

**ZONING CONDITIONS**

FEBRUARY 6, 2001 - AMENDED SEPTEMBER 23, 2003 AND APRIL 13, 2010  
 CMF BAYSIDE, L.L.C. - CHANGE OF ZONE NO. 1393

- CONDITIONS**
1. THE MAXIMUM NUMBER OF RESIDENTIAL UNITS SHALL NOT EXCEED 1,700.
  2. THE DEVELOPER MAY PROVIDE A MINIMUM OF 104 ASSISTED LIVING UNITS. REDUCTION OF ANY TYPE OF RESIDENTIAL UNITS WILL BE AT THE DISCRETION OF THE APPLICANT.
  3. THE MAXIMUM SQUARE FOOTAGE OF RETAIL/OFFICE SPACE SHALL BE 170,000 SQUARE FEET. THE DEVELOPER SHALL PROVIDE A MEDICAL FACILITY.
  4. RESIDENTIAL CERTIFICATES OF OCCUPANCY SHALL NOT EXCEED 200 ANNUALLY ON A CUMULATIVE BASIS.
  5. SITE PLAN REVIEW FOR EACH PHASE OF DEVELOPMENT SHALL BE REVIEWED AND APPROVED BY THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.
  6. ALL ENTRANCES, INTERSECTIONS, AND ROADWAY IMPROVEMENTS REQUIRED BY DELDOT SHALL BE COMPLETED BY THE APPLICANT IN ACCORDANCE WITH ANY FURTHER MODIFICATIONS REQUIRED BY DELDOT, ONCE 200 CERTIFICATES OF OCCUPANCY HAVE BEEN ISSUED.
  7. THE APPLICANT SHALL ESTABLISH A 60-FOOT HIGHWAY CORRIDOR OVERLAY ZONE SETBACK ALONG THE PROPERTY FRONTING ROUTE 54.
  8. RECREATIONAL FACILITIES, I.E., GOLF, TENNIS COURTS, SWIMMING POOLS, ETC., SHALL BE CONSTRUCTED TO COINCIDE WITH CONSTRUCTION PHASES SCHEDULED AND SUBJECT TO REVIEW AND APPROVAL BY THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.
  9. THE RPC SHALL BE SERVED BY THE SUSSEX COUNTY SOUTH COASTAL REGIONAL WASTEWATER FACILITY PER SUSSEX COUNTY ENGINEERING DEPARTMENT REGULATIONS AND SPECIFICATIONS.
  10. THE RPC SHALL BE SERVED BY A CENTRAL WATER SYSTEM PROVIDING DRINKING WATER AND FIRE PROTECTION PER APPLICABLE REGULATIONS AND APPROVAL OF THE DEPARTMENT OF NATURAL RESOURCES, THE STATE FIRE MARSHAL'S OFFICE, THE PUBLIC SERVICE COMMISSION, AND THE STATE OF DELAWARE OFFICE OF PUBLIC HEALTH.
  11. STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL SHALL EQUAL OR EXCEED ALL APPLICABLE STATE AND COUNTY REGULATIONS.
  12. THE APPLICANT SHALL ESTABLISH "BEST MANAGEMENT PRACTICES" IN REGARD TO GOLF COURSE MAINTENANCE AND PROTECTION OF NON-TIDAL WETLANDS. THE OPERATOR OF THE GOLF COURSE SHALL FILE A NUTRIENT MANAGEMENT PROGRAM WITH THE APPROPRIATE STATE AGENCY.
  13. THE APPLICANT SHALL COORDINATE WITH THE CENTER FOR THE INLAND BAYS THE DEVELOPMENT OF A PUBLIC INLAND BAY NATURE TRAIL AND OBSERVATORY.
  14. STATE AND FEDERAL WETLANDS SHALL BE MAINTAINED AS NON-DISTURBANCE AREAS, EXCEPT FOR DISTURBANCE AUTHORIZED BY A VALID FEDERAL OR STATE PERMIT. THERE SHALL BE NO CONSTRUCTION IN ANY WETLANDS WITHOUT VALID PERMITS.
  15. THE APPLICANT SHALL PROVIDE, AT NO COST, A PARCEL OF LAND APPROPRIATE FOR USE BY THE DELAWARE STATE POLICE AND A PARCEL OF LAND APPROPRIATE FOR USE BY THE ROYAL VOLUNTEER FIRE COMPANY WHEN DEEMED APPROPRIATE BY SAID ORGANIZATIONS. THE LOCATION AND SIZE OF SAID PARCELS SHALL BE AS MUTUALLY AGREED UPON BY THE PARTIES INVOLVED.
  16. THE APPLICANT SHALL PROVIDE SHUTTLE SERVICE TO THE RESIDENTS OF AMERICANA BAYSIDE, AS NEEDED, TO THE BEACHES FOR RECREATION AND SHOPPING. THE APPLICANT SHALL PLAN TO EDUCATE AND ENCOURAGE THE USE OF THIS SERVICE IN REGARD TO DECREASING TRAFFIC ON ROUTE 54.
  17. THE APPLICANT SHALL PROVIDE ADEQUATE SECURITY FOR DEVELOPMENT. SECURITY SHOULD INCLUDE A 24-HOUR EMERGENCY CENTER, SUFFICIENT STAFF AND VEHICLES, WITH INCREASING STAFF TO COINCIDE WITH INCREASED OCCUPANTS FOR THE PROJECT.
  18. THE APPLICANT SHALL COORDINATE WITH THE STATE AND COUNTY EMERGENCY PLANNING OFFICES IN DEVELOPMENT AND IMPLEMENTATION OF AN EMERGENCY EVACUATION PROCEDURE FOR THE DEVELOPMENT, WHICH WILL BE INCORPORATED INTO THE RESTRICTIONS OF THE DEVELOPMENT AND MAY REQUIRE EARLY MANDATORY EVACUATION, IF NEEDED, BY SAID OFFICES.
  19. THE RPC SHALL NOT CONTAIN A MARINA, INDIVIDUAL BOAT DOCK FACILITIES, OR BOAT LAUNCHING FACILITIES OTHER THAN A COMMUNITY WATER TAXI SERVICE FACILITY. NON-MOTORIZED WATERCRAFT SHALL BE PERMITTED AT THE BOAT LAUNCHING FACILITY OF THE COMMUNITY WATER TAXI SERVICE.
  20. NO SITE PREPARATION, SITE DISTURBANCE, SITE EXCAVATION, OR OTHER SITE CONSTRUCTION SHALL BE COMMENCED UNTIL ALL PERMITS REQUIRED BY ALL OTHER LAWS, ORDINANCES, RULES AND REGULATIONS SHALL HAVE BEEN ISSUED AND THE APPROVED FINAL SITE PLAN IS RECORDED. EXCEPT SUCH SITE WORK FOR WHICH A PERMIT HAS BEEN ISSUED BY THE SUSSEX CONSERVATION DISTRICT, THE SITE WORK AUTHORIZED BY THE SUSSEX CONSERVATION DISTRICT PERMIT MAY BE COMMENCED UPON SUBMISSION OF COPIES OF THE APPLICATION FOR PERMITS FROM THE SUSSEX COUNTY ENGINEERING DEPARTMENT AND DELDOT TO THE DIRECTOR OF PLANNING AND ZONING AND SUBMISSION OF A BOND IN AN AMOUNT EQUAL TO 125% OF THE COST OF THE SITE WORK AUTHORIZED BY THE SUSSEX CONSERVATION DISTRICT PERMIT AND IN A FORM ACCEPTABLE TO THE COUNTY ATTORNEY. THE BOND SHALL BE RELEASED UPON THE ISSUANCE OF ALL OTHER PERMITS AND THE FILING OF AN APPROVED MASTER PLAN OR FINAL SITE PLAN.
  21. NO EXISTING STATE ROADS IN THE DEVELOPMENT SHALL BE VACATED. THE DEVELOPERS ARE PROPOSING TO RELOCATE COUNTY ROAD 394 AND 394A. THAT THESE ROADS WILL REMAIN OPEN TO THE PUBLIC; THAT TRAFFIC CALMING DEVICES WILL BE INCORPORATED INTO THE DESIGN; THAT THE RELOCATION OF THE ROADS DOES NOT CONSTITUTE THE VACATION OR ABANDONMENT OF A ROAD; AND THAT THE APPROVAL WILL STILL BE SUBJECT TO DELDOT'S APPROVAL THROUGH A HEARING PROCESS.
  22. PUBLIC ACCESS SHALL BE PERMITTED AT THE END OF STATE ROUTE 394. ACCESS SHALL INCLUDE SUFFICIENT PARKING FOR EIGHT VEHICLES.
  23. ASSISTED LIVING UNITS MAY BE LOCATED ON THE NORTH SIDE OF ROUTE 54, WEST OF ROUTE 20.
  24. ALL COMMERCIAL ACTIVITIES SHALL BE LIMITED TO THE SOUTH SIDE OF ROUTE 54, EXCEPT FOR A 1.27 ACRE PARCEL DESIGNATED TAX MAP 35-33-19.00 PARCEL 17.01, LOCATED ON THE NORTH SIDE OF ROUTE 54 ON WHICH COMMERCIAL USE SHALL BE PERMITTED SUBJECT TO COMMERCIAL ENTRANCE APPROVAL FROM DELDOT. ENTRANCE TO THE COMMERCIAL AREA LOCATED ON THE SOUTH SIDE OF ROUTE 54 SHALL BE A MINIMUM OF 300 FEET FROM ROUTE 54, EXCEPT FOR A SINGLE RIGHT-IN/RIGHT-OUT COMMERCIAL ENTRANCE TO A PARCEL DESIGNATED AS TAX MAP 5-33-19.00 PARCEL 16.00, WHICH IS SUBJECT TO APPROVAL FROM DELDOT.

- PLANNING & ZONING DESIGN CONDITIONS - SEPTEMBER 23, 2003**
- A. THE COMMISSION APPROVED A 35-FOOT AGGREGATE YARD FOR TOWNHOUSE UNITS WITH A MINIMUM FRONT YARD SETBACK OF 15-FEET.
  - B. THE COMMISSION APPROVED 75-FOOT SINGLE FAMILY LOTS ALONG ROADS 394 AND 394A.
  - C. THE COMMISSION APPROVED THE HEIGHTS OF THE STRUCTURES IN THE COMMERCIAL AREAS, TOWNHOUSES, MULTIFAMILY UNITS AND MIXED USES TO BE 52 FEET IN HEIGHT AS PERMITTED IN THE HIGH DENSITY RESIDENTIAL DISTRICTS; THERE MAY BE PARKING LOCATED UNDERNEATH THESE STRUCTURES WHICH WILL RESULT IN MORE OPEN SPACE BEING CREATED; AND THAT ALL SINGLE FAMILY RESIDENCES WILL NOT EXCEED THE MAXIMUM ALLOWED 42-FOOT HEIGHT LIMIT WITH THE FOLLOWING STIPULATIONS:
    1. THERE SHALL BE NO LIVING SPACE ABOVE 42-FEET.
    2. THE MAXIMUM HEIGHT OF THE ROOF PEAK SHALL NOT EXCEED 52-FEET.
    3. ORNAMENTAL IMPROVEMENTS, SUCH AS CUPOLAS, WIDOW'S WATCHES, CROW'S NEST OR SIMILAR, SHALL NOT EXCEED 8-FEET ABOVE THE PEAK OF THE ROOF.
  - D. THE COMMISSION APPROVED PARKING SPACES LOCATED BELOW THE MULTI-FAMILY STRUCTURES ONLY TO BE 9-FEET BY 18-FEET IN SIZE; THAT THESE SPACES WILL FIT WITHIN THE BUILDING FOOTPRINTS OF THE MULTI-FAMILY UNITS; THAT THERE WILL BE A SHUTTLE SERVICE FOR THE COMMUNITY; THAT ALL OTHER PARKING SPACES WILL COMPLY WITH THE REQUIREMENTS OF THE ZONING CODE; AND THAT THE ENTIRE PROJECT WILL REQUIRE 5,339 PARKING SPACES WHICH WILL BE PROVIDED.

**SUSSEX COUNTY BOARD OF ADJUSTMENT - CASE #8702**  
 ON JULY 12, 2004, THE SUSSEX COUNTY BOARD OF ADJUSTMENT UNANIMOUSLY APPROVED A VARIANCE REQUEST FOR CHAPTER 115, ARTICLE XVI, SUBSECTION 127 REDUCING THE MINIMUM SINGLE FAMILY LOT SIZE TO 5,000 SQUARE FEET, A VARIANCE OF 1,500 SQUARE FEET, FOR 127 HOMES LABELED AS "PATIO HOMES" ON THE APPROVED MR-RPC MASTER PLAN.

**SUSSEX COUNTY BOARD OF ADJUSTMENT - CASE #9853**  
 ON JUNE 4, 2007, THE SUSSEX COUNTY BOARD OF ADJUSTMENT UNANIMOUSLY APPROVED A VARIANCE REQUEST FOR CMF BAYSIDE, LLC TO INSTALL A VEE-SHAPED GROUND SIGN AT ROUTE 54 APPROXIMATELY 240 SQUARE FEET ON EACH SIDE.

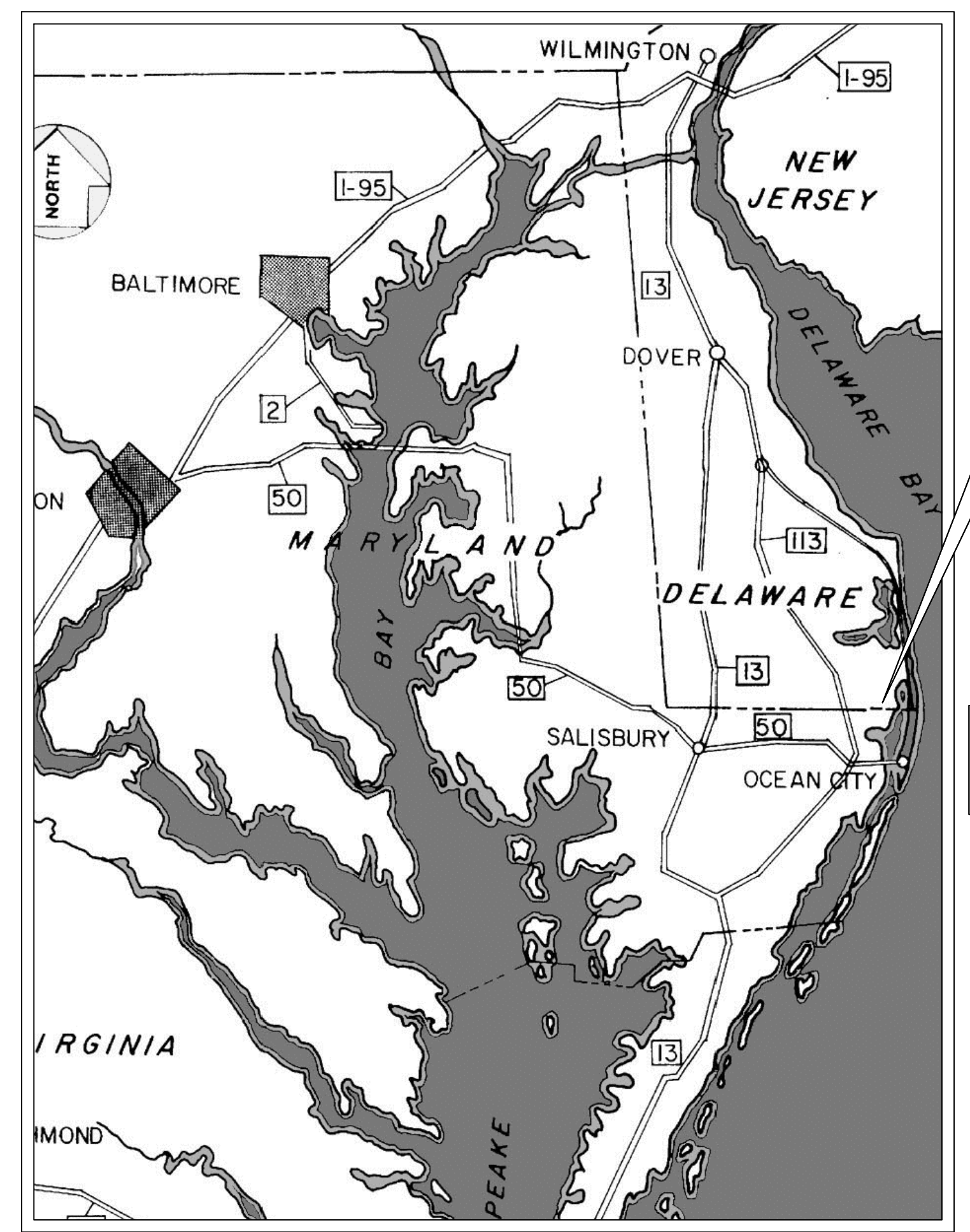
**SUSSEX COUNTY PLANNING AND ZONING COMMISSION**  
 ON MARCH 22, 2012, THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION UNANIMOUSLY APPROVED A REQUEST TO AMEND THE SIDE YARD SETBACK FOR SINGLE FAMILY DWELLINGS AND DUPLEX HOME TYPES TO 5 FEET FOR FUTURE HOMES IN THE PROJECT.

# AMERICANA BAYSIDE RESIDENTIAL PLANNED COMMUNITY

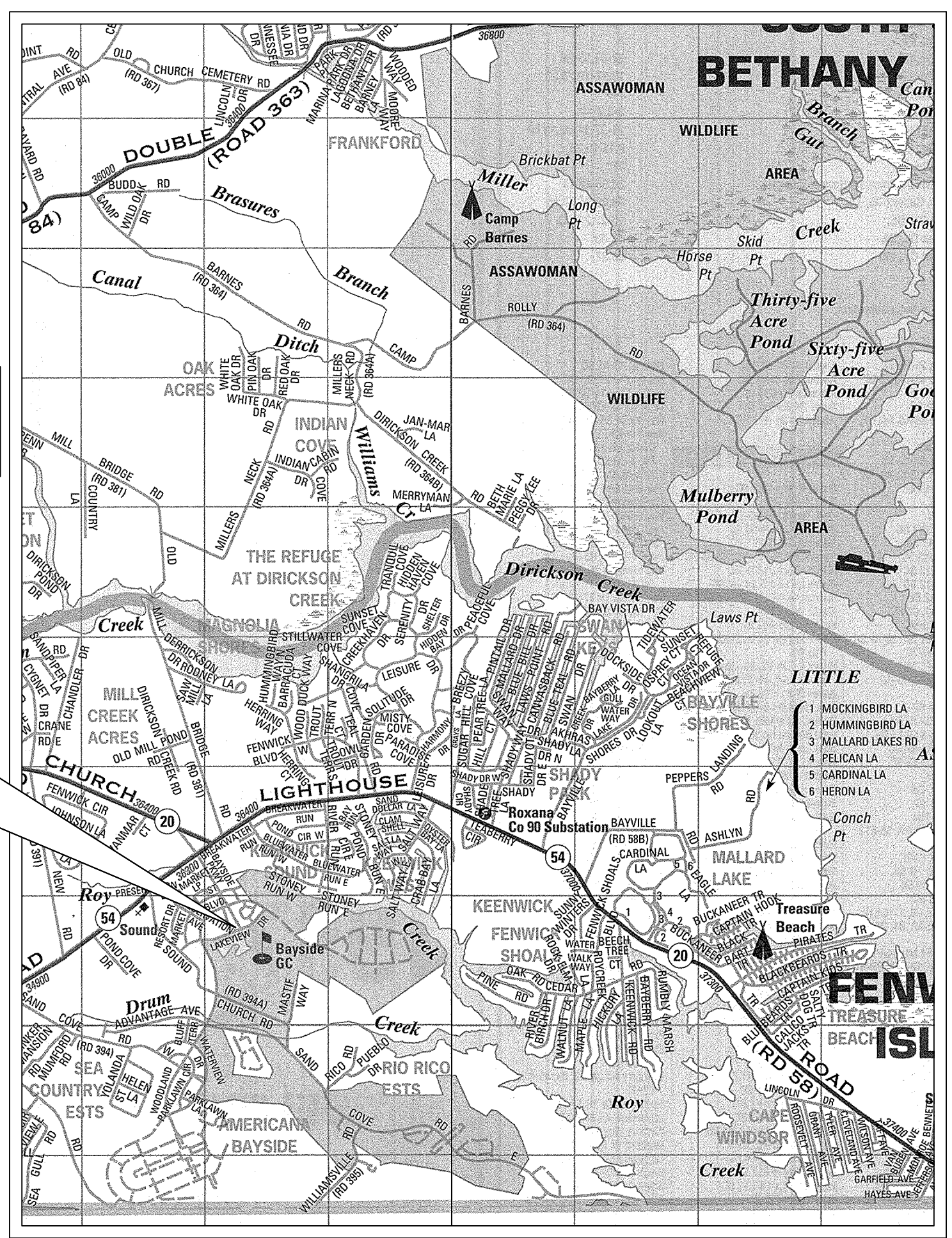


## SUSSEX COUNTY, DELAWARE THE INN AT BAYSIDE HOTEL - TOWN CENTER PHASE 1B FINAL SITE PLAN

GMB FILE NO. 97058.J / 200057



**VICINITY MAP**  
SCALE: 1" = 20 MILES



**LOCATION MAP**  
SCALE: 1" = 2000'

**LIST OF DRAWINGS**

- FSP 1 FINAL SITE PLAN COVER SHEET
- FSP 2 OVERALL KEY SHEET
- FSP 3 EXISTING CONDITIONS
- FSP 4 FINAL SITE PLAN

**DEVELOPER'S CERTIFICATION:**

I HEREBY CERTIFY THAT I AM THE DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN AND THAT THE PLAN WAS MADE AT MY DIRECTION.

JOSH MASTRANGELO  
 CMF BAYSIDE, LLC  
 21 VILLAGE GREEN DRIVE, STE. 200  
 OCEAN VIEW, DELAWARE 19970

**SUSSEX COUNTY BOARD OF ADJUSTMENT - CASE #11262**  
 ON SEPTEMBER 9, 2013, THE SUSSEX COUNTY BOARD OF ADJUSTMENT UNANIMOUSLY APPROVED A REQUEST FROM CMF BAYSIDE, LLC FOR A 20 FOOT VARIANCE FROM THE 60 FOOT LOT WIDTH REQUIREMENT TO 40 FEET AND A 2,500 SQUARE FEET VARIANCE FROM THE MINIMUM 7,500 SQUARE FEET LOT AREA REQUIREMENT TO 5,000 SQUARE FEET FOR THE LOTS IN VILLAGE C, PHASE 1 AMERICANA BAYSIDE.

**ENGINEER'S CERTIFICATION:**

I, STEPHEN L. MARSH, P.E. HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HERE HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEVE REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

STEPHEN L. MARSH, P.E. DATE  
 GEORGE, MILES, & BUHR, LLC.  
 206 W. MAIN STREET  
 SALISBURY, MD 21801

JULY 2022

- NOTES:**
1. ALL INTERIOR SIDE LOT LINES ARE RESERVED FOR THE CENTERLINE OF A 10' WIDE DRAINAGE AND/OR UTILITY EASEMENT. A 10' WIDE DRAINAGE AND/OR UTILITY EASEMENT IS RESERVED ON EACH LOT ALONG THE FRONT AND REAR PROPERTY LINES. THIS PLAT AND SURVEY DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS PERTAINING TO THIS PROPERTY.
  2. MAINTENANCE OF THE STREETS WITHIN THIS SUBDIVISION WILL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS WITHIN THE SUBDIVISION, OR BOTH. THE STATE ASSUMES RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF STREETS WITHIN INDICATED DELDOT RIGHT-OF-WAYS ONLY.
  3. MAINTENANCE OF STORM DRAIN AND STORMWATER MANagements FACILITIES WILL BE THE RESPONSIBILITY OF THE DEVELOPERS, THE PROPERTY OWNERS WITHIN THE SUBDIVISION, OR BOTH. THE STATE ASSUMES RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF STORM DRAIN WITHIN INDICATED DELDOT RIGHTS OF WAY ONLY.
  4. ALL SIDEWALKS MUST BE INSTALLED IN CONJUNCTION WITH THE ROADS, AND FOR THE PROJECT TO ACHIEVE SUBSTANTIAL COMPLETION FROM THE PUBLIC WORKS DIVISION.
  5. WATER SERVICE WILL BE PROVIDED BY CONNECTION TO AN EXISTING PUBLIC SYSTEM. ALL DISTRIBUTION EQUIPMENT WILL BE INSTALLED AND MAINTAINED BY TIDEWATER UTILITIES, INC. ALL PROPOSED FACILITIES WILL BE SUBJECT TO REVIEW AND APPROVAL BY SUSSEX COUNTY AND DELAWARE DIVISION OF PUBLIC HEALTH.
  6. WASTEWATER TREATMENT AND DISPOSAL WILL BE PROVIDED BY THE SUSSEX COUNTY ENGINEERING DEPARTMENT, SOUTH COASTAL WASTE WATER TREATMENT FACILITY. THE COLLECTION AND TRANSMISSION SYSTEM WILL CONSIST OF VARIOUS DIAMETER GRAVITY SEWERS. THE COLLECTION AND TRANSMISSION SYSTEM WILL BE SUBJECT TO REVIEW AND APPROVAL BY SUSSEX COUNTY AND DNREC.
  7. THERE IS NO ACTIVE AGRICULTURAL PROPERTY GREATER THAN 10 ACRES DIRECTLY ADJUTING THE PROPOSED DEVELOPMENT.
  8. TIDAL OR NON-TIDAL WETLANDS EXIST ON THE BAYSIDE PROPERTY. SECTION 404 WETLAND ACTIVITIES APPROVED PER U.S.A.C.O.E. PERMIT CENAP-OP-R-200101204-1, ISSUED 9/23/03. STATE WETLAND AND SUBAQUEOUS LANDS ACTIVITIES APPROVED PER DNREC PERMITS SP-349/02, WOC 349/02, SL-349/02, AND WE-0350/02, ISSUED 5/13/03. WETLAND LINES SHOWN ON SITE PLANS ARE PER WETLAND PLATS PREPARED BY BECKER MORGAN GROUP, AS APPROVED UNDER PERMITS LISTED ABOVE.
  9. STORMWATER MANAGEMENT PRACTICES WILL BE DESIGNED TO MEET STORMWATER QUALITY AND QUANTITY MANAGEMENT REQUIREMENTS. ALL STORMWATER MANAGEMENT DESIGN WILL BE IN ACCORDANCE WITH DELAWARE STORMWATER DESIGN MANUAL STANDARDS.
  10. EASEMENTS SHALL BE PROVIDED WHERE NECESSARY TO MEET PUBLIC UTILITY REQUIREMENTS. NECESSARY EASEMENTS ALONG PERIMETER BOUNDARIES OF THE DEVELOPMENT SHALL BE NO LESS THAN TEN (10) FEET IN WIDTH ON THE INTERIOR SIDE OF THE BOUNDARY.
  11. THE PROPOSED PROJECT IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA.
  12. THE PROPOSED PROJECT IS LOCATED WITHIN AN AREA OF "GOOD" GROUNDWATER RECHARGE POTENTIAL.
  13. THE PROJECT IS NOT LOCATED WITHIN THE HENLOPEN TRANSPORTATION IMPROVEMENT DISTRICT.
  14. ANY PROPOSED SIGNAGE FOR THE HOTEL WILL REQUIRE A SEPARATE PERMIT ISSUED FROM THE COUNTY.
  15. ALL LIGHTING WILL BE INSTALLED DOWNWARD SCREENED TO MINIMIZE GLARE ON ADJACENT PROPERTIES.

**SITE DATA:**

**OWNER/DEVELOPER:** CMF BAYSIDE, LLC  
 21 VILLAGE GREEN DRIVE, SUITE 200  
 OCEAN VIEW, DE 19970  
 CONTACT: JOSH MASTRANGELO (302)-436-3000

**ENGINEER:** GEORGE, MILES AND BUHR, LLC  
 206 WEST MAIN STREET  
 SALISBURY, MD 21801  
 CONTACT: STEVE MARSH (410)-742-3115

**TAX MAP #:** T.M. ID 533-19.00-865.01  
 PLATTED AS TOWN CENTER LOT 7 PHASE 1B  
 BOOK 2235 PAGE 187

**DEED REFERENCE:**

**ZONING CLASSIFICATION:** MR-RPC  
**PRESENT USE:** PARKING LOT/OPEN SPACE  
**PROPOSED USE:** 60 ROOM HOTEL/RESTAURANT/SPA

**TOTAL BAYSIDE LAND AREA:** ±931.24 ACRES

| AREA DISTURBED                          | ACRES        |
|---|--------------|
| PARCEL 865.01 TOTAL AREA:               | ± 2.93       |
| NET DEVELOPMENT AREA:                   | ± 1.12       |
| PROPOSED DISTURBED AREA:                | ± 1.12       |
| IMPERVIOUS AREA:                        | ± 0.52 (18%) |
| STATE REGULATED (TIDAL) WETLANDS:       | ± 0.00       |
| FEDERAL REGULATED (NON TIDAL) WETLANDS: | ± 0.00       |
| CONSERVATION AREA:                      | ± 0.00       |
| FORESTED WETLAND MITIGATION:            | ± 0.00       |

**FLOOD INFORMATION:** ZONE X AND ZONE X WITH 0.2 PERCENT ANNUAL CHANGE FLOOD HAZARD ZONE PER FEMA MAP 10005C0653K, REVISED MARCH 16, 2015.

**BUILDING RESTRICTIONS:** THERE ARE ZERO LOT LINE SETBACKS WITHIN THE BAYSIDE TOWN CENTER

THE HOTEL WILL BE CONSTRUCTED IN ONE PHASE

MAXIMUM BUILDING HEIGHT 52' WITH NO LIVING SPACE ABOVE 42'. SEE PLANNING AND ZONING DESIGN CONDITIONS DATED SEP 23, 2003 THIS SHEET.

**BUILDING GROSS AREA (CONDITIONED):**

|                   |               |
|-------------------|---------------|
| FIRST FLOOR:      | 10,285 SQ.FT. |
| SECOND FLOOR:     | 10,265 SQ.FT. |
| THIRD FLOOR:      | 10,265 SQ.FT. |
| FOURTH FLOOR:     | 8,702 SQ.FT.  |
| TOTAL GROSS AREA: | 39,517 SQ.FT. |

**REQUIRED PARKING:**

|                                   |     |
|-----------------------------------|-----|
| 1.5/ROOM (60 ROOMS)               | 90  |
| 1/2 EMPLOYEES (4/2=2)             | 2   |
| BAR AND RESTAURANT (1,300/50 SF): | 26  |
| SPA: (900/200 SF)                 | 5   |
| TOTAL:                            | 123 |

**PROVIDED PARKING:** 124 (INCLUDING 8 ADA ACCESSIBLE PARKING SPACES)  
 4 LOADING ZONE (2 PROPOSED IN SERVICE DRIVE)  
 (2 EXISTING IN PARKING LOT)

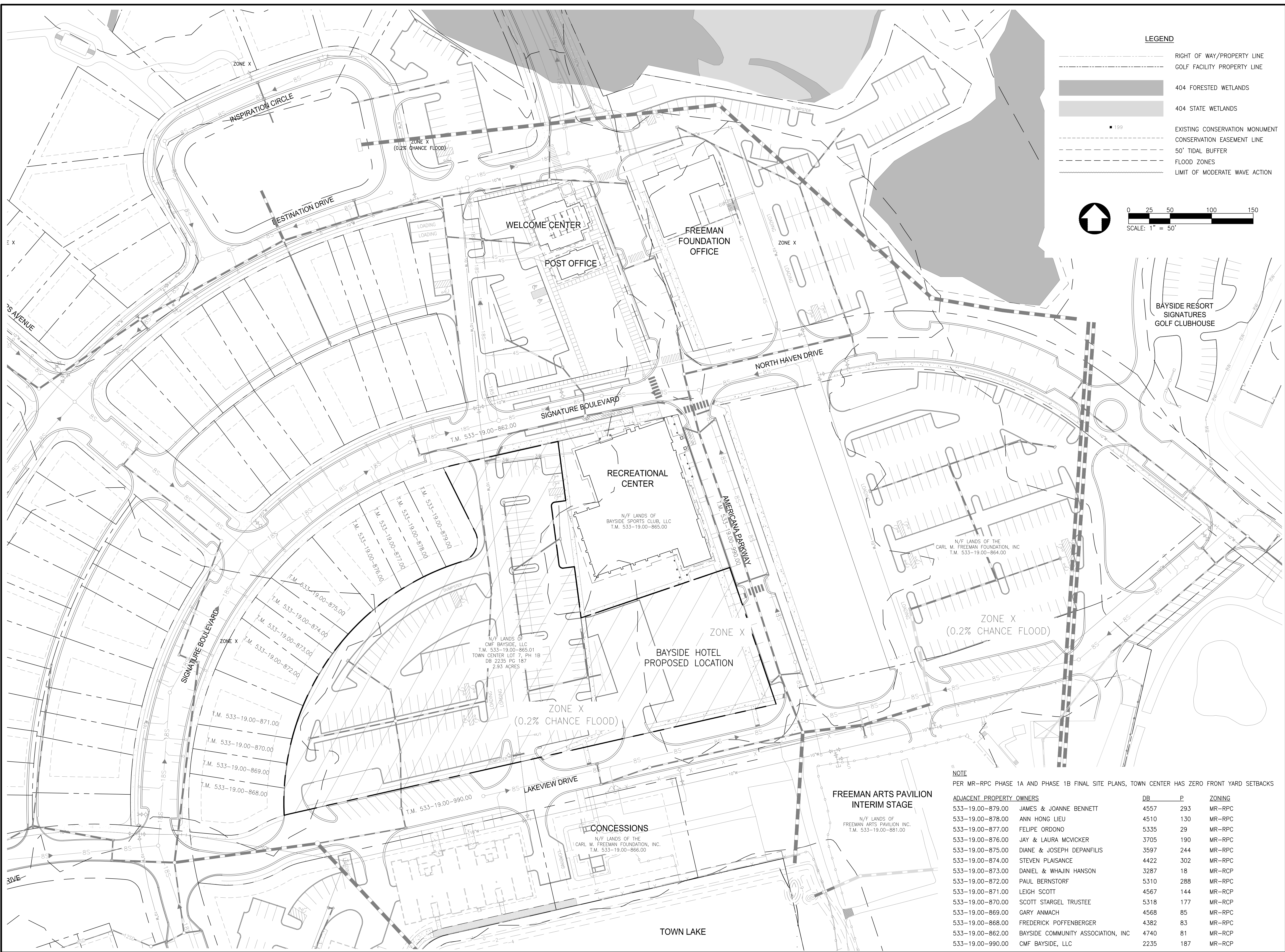
PHASE 1A FINAL SITE PLAN APPROVAL: 8/19/2005 PLOT BOOK 95/300  
 PHASE 1B FINAL SITE PLAN APPROVAL: 9/20/2006 PLOT BOOK 108/129  
 PHASE 1B LOT 7 (REC CENTER) FINAL SITE PLAN APPROVAL: 2/11/2016 PLOT BOOK 226/01  
 HOTEL APPROVED ON MASTER PLAN, DATED JULY 25, 2003.

APPROVED \_\_\_\_\_ BY \_\_\_\_\_  
 DATE \_\_\_\_\_  
**SUSSEX CONSERVATION DISTRICT**

APPROVED \_\_\_\_\_ BY \_\_\_\_\_  
 DATE \_\_\_\_\_  
**SUSSEX COUNTY COUNCIL PRESIDENT**

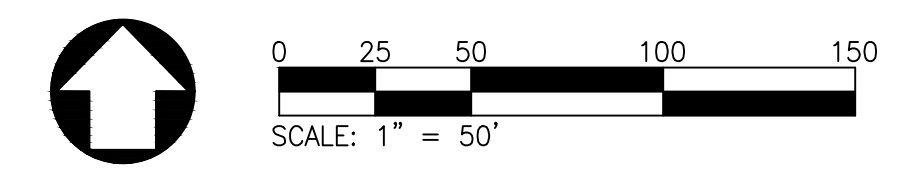


C:\Projects\2020\200057 Bayside Hotel in Town Center\Drawings\Working Sets\Site Plan\FSP 3 FSP EXISTING CONDITIONS.dwg, 6/7/2022 11:09 AM, Terry M. Gandy  
 PLOT CODE  
 PLOT DATE  
 PLOT TIME  
 PLOT USER  
 PLOT DEVICE  
 PLOT SCALE  
 PLOT SHEETS  
 PLOT TOTAL SHEETS  
 PLOT STATUS  
 PLOT COMMENTS



**LEGEND**

|  |                                |
|--|--------------------------------|
|  | RIGHT OF WAY/PROPERTY LINE     |
|  | GOLF FACILITY PROPERTY LINE    |
|  | 404 FORESTED WETLANDS          |
|  | 404 STATE WETLANDS             |
|  | EXISTING CONSERVATION MONUMENT |
|  | CONSERVATION EASEMENT LINE     |
|  | 50' TIDAL BUFFER               |
|  | FLOOD ZONES                    |
|  | LIMIT OF MODERATE WAVE ACTION  |



PRINTS ISSUED FOR:  
FINAL SITE PLAN APPROVAL

| DATE | REVISIONS | NO. |
|------|-----------|-----|
|      |           |     |
|      |           |     |
|      |           |     |
|      |           |     |

**GMB**  
 GEORGE, MILES & BUHR, LLC  
 ARCHITECTS & ENGINEERS  
 SALISBURY • BALTIMORE • SEAFORD  
 206 WEST MAIN STREET  
 SALISBURY, MARYLAND 21801  
 410-742-3115, FAX 410-548-5790  
 www.gmbnet.com

**AMERICANA BAYSIDE**  
*Carl M. Freeman*  
**COMMUNITIES**  
**BALTIMORE HUNDRED**  
**SUSSEX COUNTY, DELAWARE**

**THE INN AT BAYSIDE**  
**TOWN CENTER**  
**FSP EXISTING**  
**CONDITIONS**

|                   |           |
|-------------------|-----------|
| SCALE : 1" = 50'  | SHEET NO. |
| DESIGN BY : TMG   | FSP 3     |
| DRAWN BY : TMG    |           |
| CHECKED BY : KK   |           |
| GMB FILE : 200057 |           |
| DATE : JULY 2022  |           |

**NOTE**  
 PER MR-RPC PHASE 1A AND PHASE 1B FINAL SITE PLANS, TOWN CENTER HAS ZERO FRONT YARD SETBACKS

| ADJACENT PROPERTY OWNERS                            | DB   | P   | ZONING |
|---|------|-----|--------|
| 533-19.00-879.00 JAMES & JOANNE BENNETT             | 4557 | 293 | MR-RPC |
| 533-19.00-878.00 ANN HONG LIEU                      | 4510 | 130 | MR-RPC |
| 533-19.00-877.00 FELIPE ORDONO                      | 5335 | 29  | MR-RPC |
| 533-19.00-876.00 JAY & LAURA MCVICKER               | 3705 | 190 | MR-RPC |
| 533-19.00-875.00 DIANE & JOSEPH DEPANFLIS           | 3597 | 244 | MR-RPC |
| 533-19.00-874.00 STEVEN PLAISANCE                   | 4422 | 302 | MR-RPC |
| 533-19.00-873.00 DANIEL & WHAJIN HANSON             | 3287 | 18  | MR-RCP |
| 533-19.00-872.00 PAUL BERNSTORF                     | 5310 | 288 | MR-RPC |
| 533-19.00-871.00 LEIGH SCOTT                        | 4567 | 144 | MR-RCP |
| 533-19.00-870.00 SCOTT STARGEL TRUSTEE              | 5318 | 177 | MR-RCP |
| 533-19.00-869.00 GARY ANMACH                        | 4568 | 85  | MR-RPC |
| 533-19.00-868.00 FREDERICK POFFENBERGER             | 4382 | 83  | MR-RPC |
| 533-19.00-862.00 BAYSIDE COMMUNITY ASSOCIATION, INC | 4740 | 81  | MR-RCP |
| 533-19.00-990.00 CMF BAYSIDE, LLC                   | 2235 | 187 | MR-RCP |

**FREEMAN ARTS PAVILION**  
**INTERIM STAGE**  
 N/F LANDS OF THE  
 FREEMAN ARTS PAVILION INC.  
 T.M. 533-19.00-881.00

**CONCESSIONS**  
 N/F LANDS OF THE  
 CARL M. FREEMAN FOUNDATION, INC.  
 T.M. 533-19.00-866.00

N/F LANDS OF  
 CMF BAYSIDE, LLC  
 T.M. 533-19.00-865.01  
 TOWN CENTER LOT 7, PH 1B  
 DB 2235 PG 187  
 2.93 ACRES

N/F LANDS OF THE  
 CARL M. FREEMAN FOUNDATION, INC.  
 T.M. 533-19.00-864.00

**RECREATIONAL**  
**CENTER**  
 N/F LANDS OF  
 BAYSIDE SPORTS CLUB, LLC  
 T.M. 533-19.00-865.00

**BAYSIDE HOTEL**  
**PROPOSED LOCATION**

**WELCOME CENTER**  
**POST OFFICE**

**FREEMAN**  
**FOUNDATION**  
**OFFICE**

**BAYSIDE RESORT**  
**SIGNATURES**  
**GOLF CLUBHOUSE**

TOWN LAKE





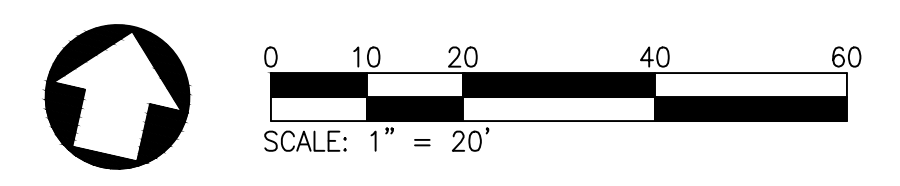
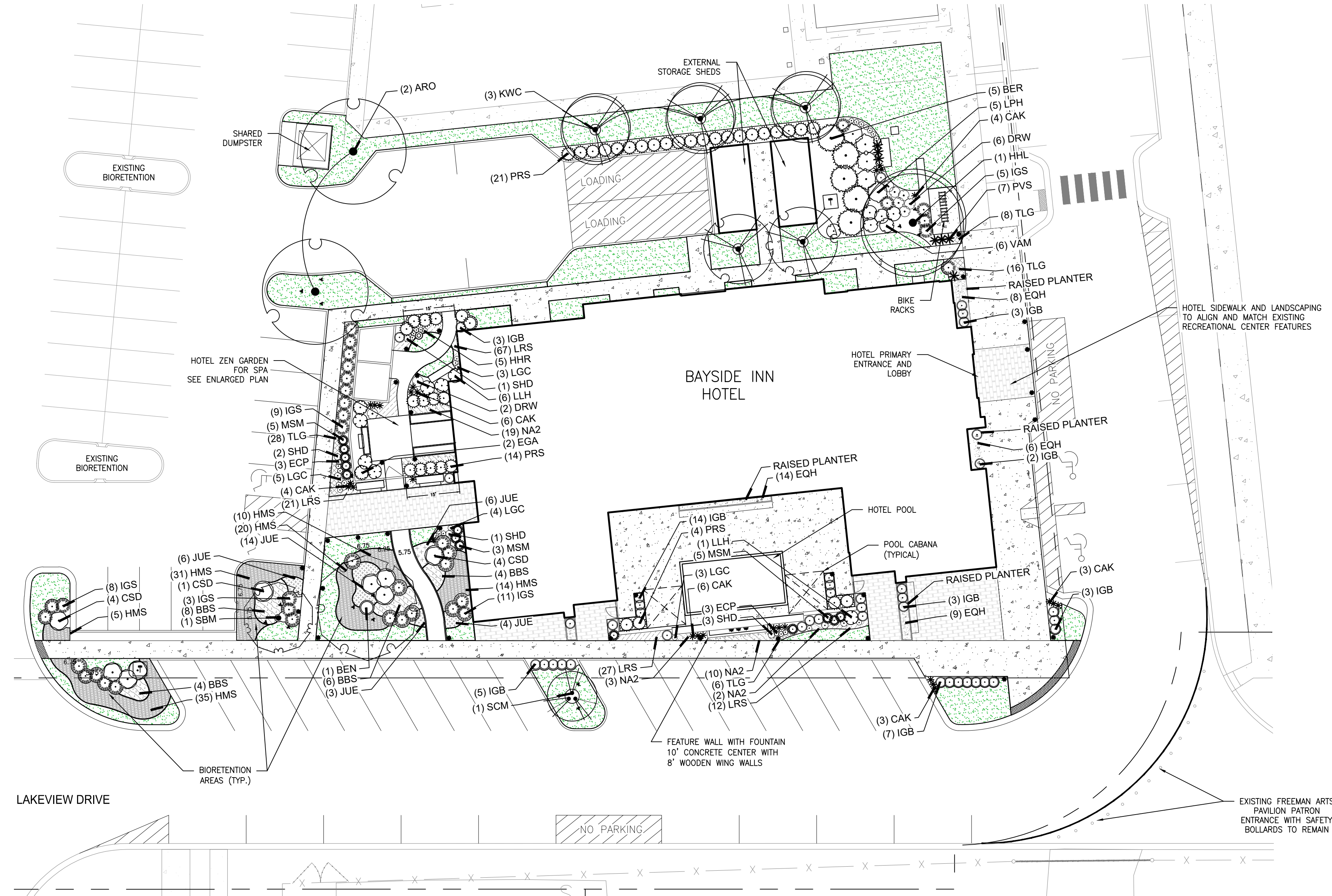
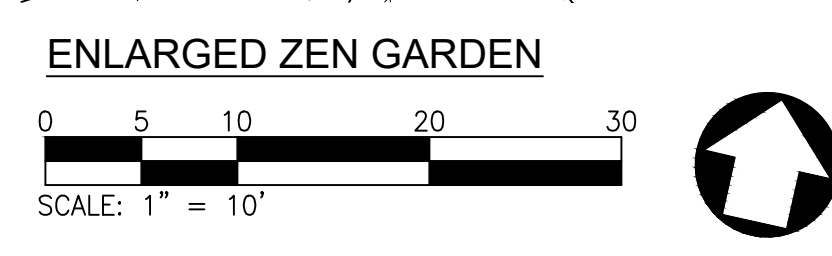
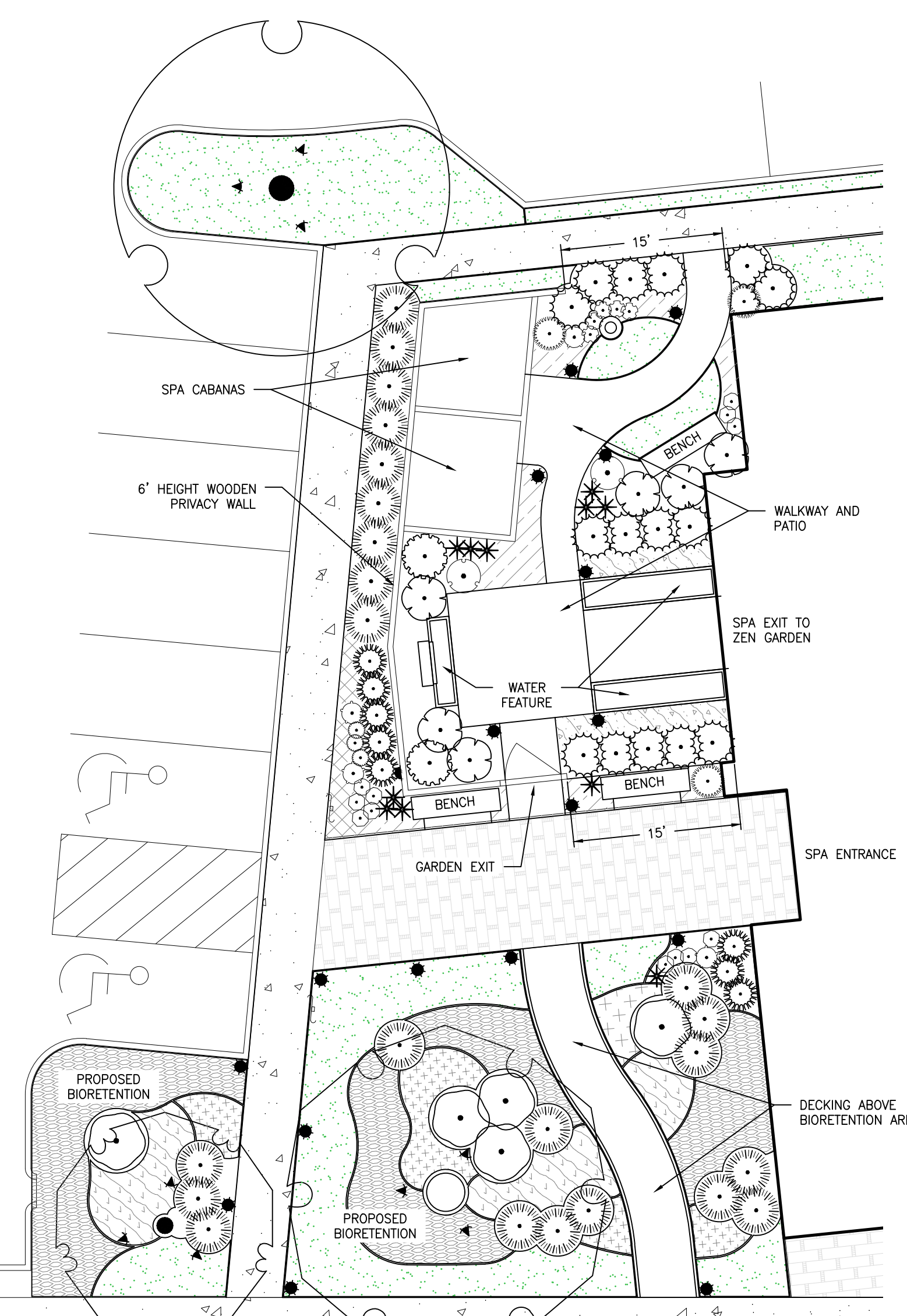
PLANT SCHEDULE

| DECIDUOUS TREES | CODE | QTY | BOTANICAL / COMMON NAME   | SIZE      | CONTAINER | REMARKS    |
|-----------------|------|-----|---|-----------|-----------|------------|
|                 | ARO  | 2   | Acer rubrum 'October Glory' / October Glory Red Maple             | 3" Cal.   | B&B       |            |
|                 | BEN  | 1   | Betula nigra / River Birch  | 12" Ht.   | B&B       | Multi-Stem |
|                 | HHL  | 1   | Gleditsia tricanthos inermis 'Halka' / Halka Honey Locust         | 3" Cal.   | B&B       |            |
| EVERGREEN TREES | CODE | QTY | BOTANICAL / COMMON NAME   | SIZE      | CONTAINER | REMARKS    |
|                 | BER  | 5   | Juniperus virginiana 'Brodie' / Brodie Eastern Redcedar           | 4" Ht.    | Pot       |            |
| FLOWERING TREES | CODE | QTY | BOTANICAL / COMMON NAME   | SIZE      | CONTAINER | REMARKS    |
|                 | COK  | 2   | Cornus kousa / Kousa Dogwood                                      | 1.5" Cal. | B&B       |            |
|                 | SCM  | 1   | Lagerstroemia indica x fauriei 'Sioux' / Sioux Crape Myrtle       | 6" Ht.    | B&B       |            |
|                 | SBM  | 1   | Magnolia virginiana glauca / Sweetbay Magnolia                    | 1.5" Cal. | B&B       |            |
|                 | KWC  | 3   | Prunus serrulata 'Kwanzan' / Kwanzan Japanese Flowering Cherry    | 1.5" Cal. | B&B       |            |
| SHRUBS          | CODE | QTY | BOTANICAL / COMMON NAME   | SIZE      | CONTAINER | REMARKS    |
|                 | CSD  | 9   | Cornus amomum 'Cayenne' / Cayenne Silky Dogwood                   | 3 gal.    | Pot       |            |
|                 | LLH  | 7   | Hydrangea paniculata 'Jane' TM / Little Lime Panicle Hydrangea    | 3 gal.    | Pot       |            |
|                 | LPH  | 5   | Hydrangea paniculata 'Limelight' / Limelight Panicle Hydrangea    | 3 gal.    | Pot       |            |
|                 | IGB  | 33  | Ilex glabra 'SMINGABI17 TM' / Gem Box Inkberry Holly              | 3 gal.    | Pot       |            |
|                 | IGS  | 37  | Ilex glabra 'Shamrock' / Shamrock Inkberry Holly                  | 3 gal.    | Pot       |            |
|                 | MSM  | 13  | Miscanthus sinensis 'Morning Light' / Morning Light Eulalia Grass | 3 gal.    | Pot       |            |
|                 | PRS  | 40  | Prunus laurocerasus 'Schipkaensis' / Schipka English Laurel       | 3 gal.    | Pot       |            |
|                 | EGA  | 2   | Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae           | 5" Ht.    | Pot       |            |
|                 | VAM  | 6   | Viburnum acerifolium / Mapleleaf Viburnum                         | 3 gal.    | Pot       |            |

| GRASSES       | CODE | QTY | BOTANICAL / COMMON NAME   | SIZE   | CONTAINER | REMARKS  |         |
|---------------|------|-----|---|--------|-----------|----------|---------|
|               | CAK  | 27  | Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass | Quart  | Pot       |          |         |
|               | PVS  | 7   | Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass                       | Quart  | Pot       |          |         |
| PERENNIALS    | CODE | QTY | BOTANICAL / COMMON NAME   | SIZE   | CONTAINER | REMARKS  |         |
|               | ECP  | 6   | Echinacea purpurea / Coneflower   | Quart  | Pot       |          |         |
|               | HHR  | 12  | Hemerocallis x 'Happy Returns' / Happy Returns Daylily                        | Quart  | Pot       |          |         |
|               | SHD  | 7   | Leucanthemum x superbum / Shasta Daisy  | 1 gal. | Pot       |          |         |
|               | DRW  | 8   | Rosa x 'Meiszeiland TM' / White Drift Groundcover Rose                        | 1 gal. | Pot       |          |         |
|               | LGC  | 15  | Rudbeckia nigida 'Little Goldstar' / Little Goldstar Coneflower               | Quart  | Pot       |          |         |
| SWM GRASSES   | CODE | QTY | BOTANICAL / COMMON NAME   | SIZE   | CONTAINER | SPACING  | REMARKS |
|               | BBS  | 22  | Andropogon gerardi / Big Bluestem   | flat   | Plug      | 36" o.c. |         |
|               | JUE  | 33  | Juncus effusus / Common Rush  | flat   | Plug      | 24" o.c. |         |
|               | HMS  | 121 | Panicum virgatum 'Heavy Metal' / Heavy Metal Switch Grass                     | flat   | Plug      | 30" o.c. |         |
| GROUND COVERS | CODE | QTY | BOTANICAL / COMMON NAME   | SIZE   | CONTAINER | SPACING  | REMARKS |
|               | TLG  | 56  | Eragrostis pectinacea / Tufted Lovegrass                                      | flat   | Plug      | 12" o.c. |         |
|               | LRS  | 124 | Liriope spicata / Creeping Lilyturf   | flat   | Plug      | 12" o.c. |         |
|               | NA2  | 35  | Nassella tenuissima / Mexican Feather Grass                                   | #1     | Pot       | 20" o.c. |         |

LIGHTING LEGEND

- (32) PATH LIGHT/BOLLARD
- ▲ (15) TREE UPLIGHT
- (4) WALL LIGHT (SIGNAGE)



C:\Projects\2020\200057 Bayside Hotel in Town Center\Drawings\Working\_Sets\Plan\Site Plan\Site Plan.dwg, 8/4/2022 11:10 AM, Terry M. Gandy  
 PLOT CODE: FPM-WEST  
 207 INCHES (529mm)  
 PLOT CODE: FPM-EAST  
 207 INCHES (529mm)  
 PLOT CODE: FPM-NORTH  
 207 INCHES (529mm)  
 PLOT CODE: FPM-SOUTH  
 207 INCHES (529mm)

PRINTS ISSUED FOR:  
FINAL SITE PLAN APPROVAL

| DATE | REVISIONS | NO. |
|------|-----------|-----|
|      |           |     |
|      |           |     |
|      |           |     |

**GMB**  
 GEORGE, MILES & BUHR, LLC  
 ARCHITECTS & ENGINEERS  
 SALISBURY • BALTIMORE • SEAFORD  
 206 WEST MAIN STREET  
 SALISBURY, MARYLAND 21801  
 410-742-3115, FAX 410-548-5790  
 www.gmbnet.com

AMERICANA BAYSIDE  
*Carroll Communities*  
 BALTIMORE HUNDRED  
 SUSSEX COUNTY, DELAWARE

THE INN AT BAYSIDE  
 TOWN CENTER  
 FSP LANDSCAPING  
 AND LIGHTING PLAN

|                  |           |
|------------------|-----------|
| SCALE: AS NOTED  | SHEET NO. |
| DESIGN BY: TMG   | FSP 5     |
| DRAWN BY: TMG    |           |
| CHECKED BY: KK   |           |
| GMB FILE: 200057 |           |
| DATE: JULY 2022  |           |

© COPYRIGHT 2022 GEORGE, MILES & BUHR, LLC



Sussex Conservation District  
23181 Shortly Road  
Georgetown, DE 19947  
302-856-2105

<https://www.sussexconservation.org>

APPLICATION FOR STANDARD PLAN APPROVAL  
**NON-RESIDENTIAL CONSTRUCTION WITH  
LESS THAN 1.0 ACRE DISTURBED**

**Applicability Criteria**

1. The disturbed area for construction of the improvements will not exceed 1.0 acre.
2. Within the disturbed area, the pre-development land use is not classified as forest.
3. For project site locations within an area previously managed for stormwater quantity and quality under an approved Sediment and Stormwater Plan, the post construction condition meets the original stormwater design criteria.
4. For project site locations within an area previously unmanaged for stormwater quantity and quality under an approved Sediment and Stormwater Plan, one of the following is met:
  - a. Comparison of the existing parcel curved number (CN) based upon the Department's 2017 aerial photography to the proposed CN for the parcel after non-residential construction results in less than one whole number change in the CN, OR
  - b. No new impervious area is proposed as a result of construction.

**Site Information**

Project Name: The Inn at Bayside Parcel Total Acres (nearest 0.1ac): 2.93  
 Site Location: located within Town Center at Americana Bayside  
Selbyville, DE Disturbed Acres (nearest 0.1ac): 1.00  
 Previous Plan Name: Bayside Phase 1B - Town Center Re-alignment Proposed Impervious Area (square feet): 2.03  
 Previous Plan Approval Number: \_\_\_\_\_ Wooded area to be cleared: 0  
 Tax Parcel ID: 533-19.00-865.01 Pre CN: \_\_\_\_\_ Post CN: \_\_\_\_\_

**Applicant Information**

Owner: CMF Bayside, LLC - Josh Mastrangelo Applicant: GMB - Stephen L. Marsh, P.E.  
 Mailing Address: 21 Village Green Drive, Suite 200  
Ocean View, DE 19970 Mailing Address: 206 W. Main Street  
Salisbury, MD 21801  
 Owner Phone: 302-436-3000 Applicant Phone: 410-742-3115  
 Owner Email: jmastrangelo@cmfa.com Applicant Email: smarsh@gmbnet.com

**Approval Information (for office use only)**

Approval # 2022-589 Fee Paid: \$ 1150.00  
 Approved by: [Signature] Approval Date: 6/9/2022  
 Title: Program Manager Expiration Date: 6/9/2027

MAY 18 2022

**Standard Conditions**

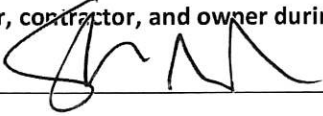
1. Discharges from rooftops will be disconnected using one of the following methods or another method approved by the Department or Delegated Agency:
  - a. Individual downspouts will discharge to lawn or landscape area.
  - b. Discharges from downspouts will be collected to discharge to a rain garden.
  - c. Discharges from downspouts will be collected in rain barrels or cisterns for reuse.
2. Driveways, sidewalks, patios, and other impervious surfaces will be graded to sheet flow to lawn or other pervious areas to the maximum extent practicable.
3. Unless waived in writing by the Department or Delegated Agency a construction site stormwater management plan in accordance with Department or Delegated Agency guidance for this Standard Plan shall be followed. The attached checklist has been developed to serve as guidance for preparing the construction site stormwater management plan.
4. Approval of this Standard Plan does not relieve the applicant from complying with any and all federal, state, county or municipal laws and regulations.

**Stabilization Conditions**

1. Following initial soil disturbance or redisturbance, temporary or permanent stabilization with seed and mulch shall be completed within 14 calendar days to the surface of all disturbed areas not actively under construction.
2. Specific stabilization recommendations may be found in the Delaware Erosion and Sediment Control Handbook, 3.4.3 Standard and Specifications for Vegetative Stabilization.

**Applicant Certification**

**I, the undersigned, certify that the information supplied on this Application for Standard Plan Approval is accurate, the proposed land disturbing activity meets the criteria established, and all conditions of this Standard Plan Approval will be met by the applicant, builder, contractor, and owner during construction and post construction.**

Applicant Signature:  \_\_\_\_\_ Date: 3/8/2022

Applicant Printed Name: Stephen L. Marsh, P.E. Title: Sr. Vice President

**\*\*\*THIS STANDARD PLAN APPLICATION FORM MUST BE MAINTAINED ON THE SITE AT ALL TIMES DURING CONSTRUCTION\*\*\***

SEA GRASS BEND - SUSSEX COUNTY PLANNING AND ZONING COMMISSION - CASE #1701

- THE MAXIMUM NUMBER OF RESIDENTIAL DWELLING UNITS SHALL BE 55, CONSISTING OF TOWNHOUSES AND SINGLE-FAMILY DETACHED CONDOMINIUMS.
- THE DEVELOPMENT SHALL BE SERVED AS PART OF A SUSSEX COUNTY SANITARY SEWER DISTRICT.
- THE DEVELOPER SHALL COMPLY WITH ALL REQUIREMENTS AND SPECIFICATIONS OF THE COUNTY ENGINEERING DEPARTMENT.
- THE RPC WILL BE SERVED BY CENTRAL WATER.
- STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE STATE AND COUNTY REQUIREMENTS. THESE FACILITIES SHALL BE OPERATED IN A MANNER CONSISTENT WITH BEST MANAGEMENT PRACTICES.
- THE FINAL SITE PLAN FOR EACH PHASE OF THE DEVELOPMENT SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT UPON IT.
- THE PROJECT WILL BE INCORPORATED AS PART OF THE EXISTING AMERICANA BAYSIDE MR-RPC (CHANGE OF ZONE NO. 1393) AND SHALL BE SUBJECT TO AND BENEFITED BY THE CONDITIONS IMPOSED UPON THE DEVELOPMENT, EXCEPT AS MODIFIED HEREIN.
- ALL ENTRANCE, ROADWAY, INTERSECTION AND MULTI-MODAL IMPROVEMENTS REQUIRED BY DELDOT SHALL BE COMPLETED IN ACCORDANCE WITH DELDOT'S STANDARD DETERMINATIONS.
- THE INTERIOR STREET DESIGN AND PARKING AREAS SHALL MEET OR EXCEED SUSSEX COUNTY STREET DESIGN SPECIFICATIONS AND REQUIREMENTS.
- THE APPLICANT SHALL FORM A CONDOMINIUM ASSOCIATION TO BE RESPONSIBLE FOR THE MAINTENANCE OF STREETS, ROADWAYS, BUFFERS, STORMWATER MANAGEMENT AREAS AND COMMUNITY AREAS.
- ALL ROAD NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY PLANNING AND ADDRESSING DEPARTMENT.
- THE FINAL SITE PLAN SHALL INCLUDE A LANDSCAPE PLAN FOR ALL THE BUFFER AREAS, SHOWING ALL THE LANDSCAPING AND VEGETATION TO BE INCLUDED IN THOSE AREAS.
- THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.

| Residential Unit Description | Phase 1A  | Phase 1B  | Phase 2    | Phase 3   | Phase 4   | Phase 5   | Phase 6   | Phase 7A  | Phase 7B  | Phase 8   | Phase 9A  | Phase 9B  | Phase 10A | Phase 10B | Phase 11  | Phase 13  | Phase 16 | Coastal Cr | Sea Grass | Village C-1A | Village C-1B | Village C-1C | Village C-2 | Knox      | Melson    | Village A  | Lot 90    | Weidman    | Totals      |
|------------------------------|-----------|-----------|------------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|----------|------------|-----------|--------------|--------------|--------------|-------------|-----------|-----------|------------|-----------|------------|-------------|
| Rpts Homes (P)               | 13        | 0         | 0          | 15        | 0         | 29        | 29        | 17        | 10        | 6         | 5         | 0         | 0         | 0         | 19        | 0         | 0        | 35         | 8         | 30           | 13           | 70           | 48          | 39        | 0         | 24         | 0         | 0          | 422         |
| Village Homes (V)            | 6         | 0         | 0          | 7         | 0         | 9         | 0         | 0         | 0         | 21        | 14        | 6         | 2         | 22        | 0         | 0         | 7        | 0          | 0         | 0            | 0            | 0            | 0           | 0         | 0         | 0          | 0         | 0          | 94          |
| Estate Homes (E)             | 1         | 0         | 0          | 20        | 0         | 1         | 0         | 2         | 1         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0        | 0          | 0         | 0            | 0            | 0            | 0           | 0         | 0         | 76         | 0         | 0          | 102         |
| Grand Estate Homes (G)       | 1         | 0         | 10         | 7         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0        | 0          | 0         | 0            | 0            | 14           | 0           | 0         | 0         | 2          | 0         | 0          | 37          |
| Custom Homes (C)             | 0         | 0         | 0          | 0         | 0         | 0         | 0         | 0         | 0         | 1         | 0         | 0         | 0         | 0         | 0         | 0         | 0        | 0          | 0         | 0            | 0            | 0            | 0           | 0         | 0         | 0          | 0         | 0          | 1           |
| Courtyard Homes (duplex - D) | 32        | 0         | 0          | 0         | 0         | 8         | 18        | 22        | 0         | 26        | 0         | 18        | 26        | 0         | 18        | 0         | 0        | 16         | 18        | 0            | 32           | 0            | 0           | 58        | 48        | 0          | 12        | 116        | 468         |
| Townhouse 20'22' wide (TH)   | 4         | 0         | 12         | 7         | 25        | 18        | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 26        | 0         | 0        | 0          | 0         | 0            | 0            | 0            | 0           | 0         | 0         | 0          | 0         | 0          | 92          |
| Townhouse 30' wide (TH)      | 20        | 12        | 8          | 9         | 0         | 11        | 0         | 26        | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0        | 28         | 0         | 0            | 0            | 0            | 0           | 0         | 0         | 0          | 0         | 0          | 115         |
| 12-Flex Multifamily (12)     | 0         | 24        | 24         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0        | 0          | 0         | 0            | 0            | 0            | 0           | 0         | 0         | 0          | 0         | 0          | 50          |
| 30-Flex Multifamily (30)     | 0         | 0         | 60         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0        | 0          | 0         | 0            | 0            | 0            | 0           | 0         | 0         | 0          | 0         | 0          | 60          |
| Single Family Condo          | 0         | 0         | 0          | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0        | 0          | 0         | 0            | 0            | 0            | 0           | 0         | 0         | 0          | 0         | 0          | 0           |
| <b>Totals</b>                | <b>77</b> | <b>36</b> | <b>114</b> | <b>65</b> | <b>37</b> | <b>76</b> | <b>47</b> | <b>67</b> | <b>11</b> | <b>54</b> | <b>20</b> | <b>24</b> | <b>28</b> | <b>25</b> | <b>37</b> | <b>26</b> | <b>7</b> | <b>51</b>  | <b>55</b> | <b>36</b>    | <b>59</b>    | <b>76</b>    | <b>48</b>   | <b>97</b> | <b>48</b> | <b>100</b> | <b>14</b> | <b>116</b> | <b>1451</b> |

Plus Village D - Arrington Woods 60  
 Plus Approved RPC Residential Units 137  
**Total RPC Units 197**

NON-RESIDENTIAL DESCRIPTION

|   | Sq Ft NON-COMMERCIAL | Sq Ft APPROVED NOT CONSTRUCTED | Sq Ft APPROVED AND CONSTRUCTED                     |
|---|----------------------|--------------------------------|--|
| <b>Village J</b>                          |                      |                                |  |
| Grocery (Existing)                        |                      |                                | 48,756   |
| Bank (Existing)                           |                      |                                | 3,010  |
| Restaurants (Existing)                    |                      |                                | 4,620  |
| Retail (Existing)                         |                      |                                | 4,680  |
| Extended Commercial                       |                      |                                | 12,180   |
| <b>Town Center</b>                        |                      |                                |  |
| Welcome Center                            | 2,600                |                                |  |
| Retail/Post Office                        | 1,230                |                                |  |
| Foundation Office                         | 10,200               |                                |  |
| Recreation Center                         | 18,000               |                                |  |
| Hotel                                     | 39,517               |                                |  |
| Restaurant inside Hotel                   |                      |                                | 1,300  |
| Spa inside Hotel                          |                      |                                | 990  |
| <b>Village H</b>                          |                      |                                |  |
| Pharmacy/Retail (Existing)                |                      |                                | 13,281   |
| Restaurant                                |                      |                                | 4,500  |
| <b>Point Commercial</b>                   |                      |                                |  |
| Restaurant, Retail                        |                      |                                | 9,388  |
| <b>Village P</b>                          |                      |                                |  |
| Commercial                                |                      |                                | 6,300  |
| <b>Melson</b>                             |                      |                                |  |
| Office                                    |                      |                                | 18,000   |
| <b>Golf</b>                               |                      |                                |  |
| Banquet Commercial                        |                      |                                | 12,000   |
| <b>Approved Commercial</b>                | 170,000              |                                | 108,825  |
| Approved Remaining to be permitted        | 30,995               |                                |  |
| Approved Remaining to be constructed      | 30,180               |                                |  |
| <b>Planned JMFF Coastal Arts Pavilion</b> |                      |                                | Approximately 4000 Seat Amphitheatre 50,000-60,000 |

MELSON PROPERTY - SUSSEX COUNTY PLANNING AND ZONING COMMISSION - CASE #1803:

- THE RESIDENTIAL PORTION OF THE LANDS BEING INCORPORATE INTO THE EXISTING MR-RPC (CZ #1393) SHALL NOT EXCEED 48 RESIDENTIAL UNITS AND THE RETAIL / OFFICE PORTION OF THE LANDS SHALL NOT EXCEED 15,000 SQUARE FEET OF RETAIL / OFFICE SPACE.
- THE 48 RESIDENTIAL UNITS AND 15,000 SQUARE FEET OF RETAIL / OFFICE SPACE SHALL BE PART OF THE USES APPROVED IN CONDITIONS #1 AND #3 OF CZ #1393 AND SHALL NOT BE IN ADDITION TO THOSE CONDITIONS.
- CONDITION #24 OF CZ #1393 SHALL NOT BE APPLICABLE TO THE RETAIL / OFFICE SPACE APPROVED BY THIS APPLICATION, CZ #1803.
- CZ #1803 SHALL BE AN EXTENSION OF CZ #1393 AND SHALL BE SUBJECT TO THE CONDITIONS OF APPROVAL OF CZ #1393 AS AMENDED EXCEPT AS PROVIDED HEREIN.
- STREET NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE COUNTY PLANNING AND ADDRESSING DEPARTMENT.
- A REVISED PRELIMINARY SITE PLAN DEPICTING THESE CONDITIONS OF APPROVAL SHALL BE SUBMITTED TO THE OFFICE OF STATE PLANNING AND ZONING FOR APPROVAL.
- FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.

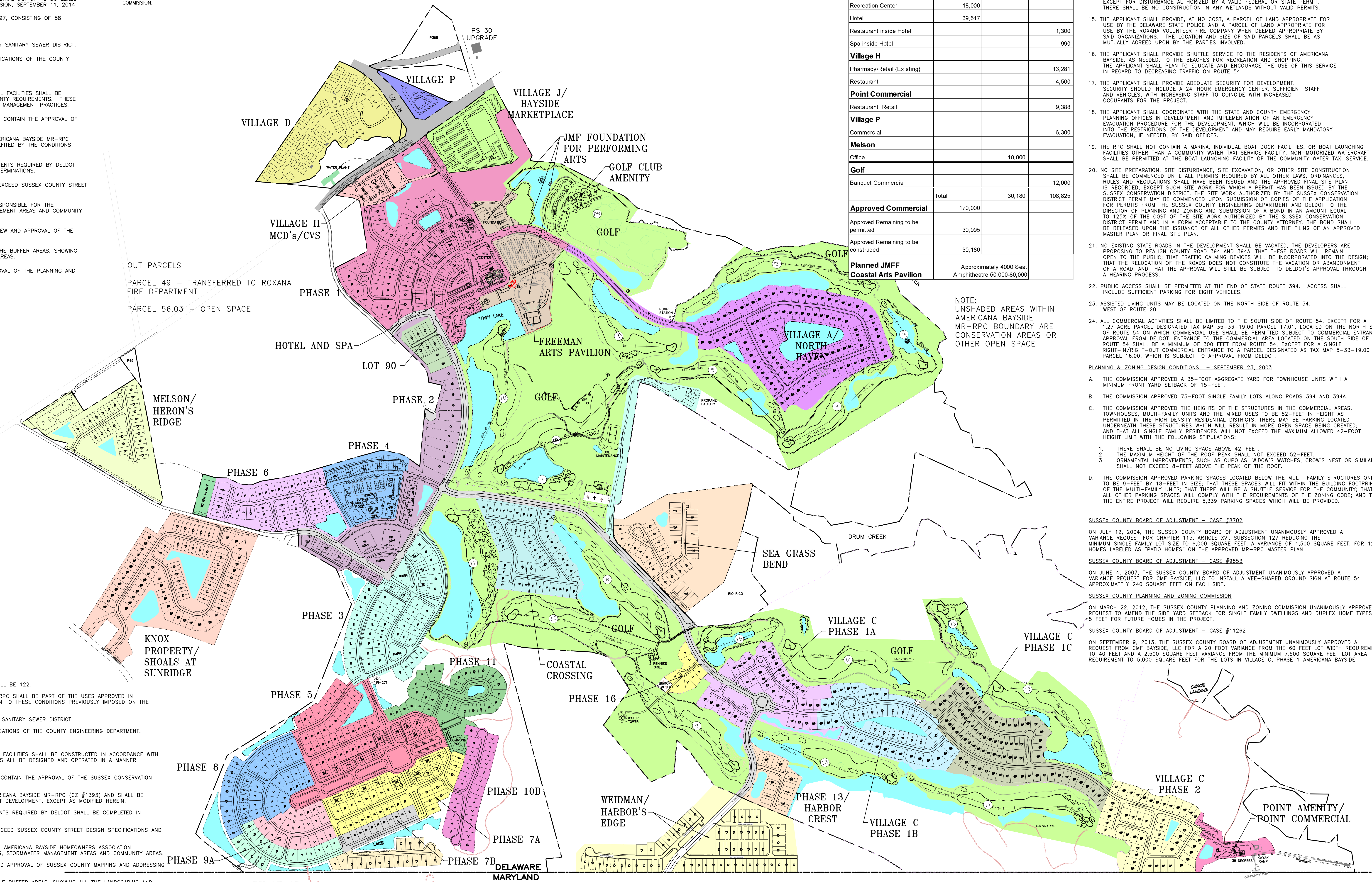
AMERICANA BAYSIDE MR-RPC

GROSS AREA ±931.24 ACRES  
 LANDS OF CMF BAYSIDE, LLC ±915.92 ACRES  
 LANDS OF FIFTH VENTURE, LLC ±15.32 ACRES  
 DEDICATED OPEN SPACE ±313.63 ACRES  
 (TO SERVE AS CONSERVATION AREA ~ 33%)

KNOX PROPERTY - SUSSEX COUNTY PLANNING AND ZONING COMMISSION - CASE #1748

ON JULY 15, 2014, THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION UNANIMOUSLY APPROVED THE FOLLOWING ZONING CONDITIONS FOR PARCEL 287, KNOX PROPERTY.

- THE MAXIMUM NUMBER OF RESIDENTIAL DWELLING UNITS SHALL BE 93, CONSISTING OF 33 TOWNHOUSES, 30 DUPLEXES, 30 AND SINGLE FAMILY HOMES. RESIDENTIAL MIX OF 48 DUPLEXES AND 45 SINGLE FAMILY HOMES WAS APPROVED BY PLANNING COMMISSION, SEPTEMBER 11, 2014. THIS CONDITION WAS CHANGED TO READ: THE MAXIMUM NUMBER OF RESIDENTIAL DWELLING UNITS SHALL BE 97, CONSISTING OF 58 DUPLEXES AND 39 SINGLE FAMILY HOMES. (APPROVED BY PLANNING COMMISSION, AUGUST 25, 2016.)
- THE DEVELOPMENT SHALL BE SERVED AS PART OF A SUSSEX COUNTY SANITARY SEWER DISTRICT.
- THE DEVELOPER SHALL COMPLY WITH ALL REQUIREMENTS AND SPECIFICATIONS OF THE COUNTY ENGINEERING DEPARTMENT.
- THE RPC SHALL BE SERVED BY CENTRAL WATER.
- STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE STATE AND COUNTY REQUIREMENTS. THESE FACILITIES SHALL BE OPERATED IN A MANNER CONSISTENT WITH BEST MANAGEMENT PRACTICES.
- THE FINAL SITE PLAN FOR EACH PHASE OF THE DEVELOPMENT SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT UPON IT.
- THE PROJECT WILL BE INCORPORATED AS PART OF THE EXISTING AMERICANA BAYSIDE MR-RPC (CHANGE OF ZONE NO. 1393) AND SHALL BE SUBJECT TO AND BENEFITED BY THE CONDITIONS IMPOSED UPON THE DEVELOPMENT, EXCEPT AS MODIFIED HEREIN.
- ALL ENTRANCE, ROADWAY, INTERSECTION AND MULTI-MODAL IMPROVEMENTS REQUIRED BY DELDOT SHALL BE COMPLETED IN ACCORDANCE WITH DELDOT'S STANDARD DETERMINATIONS.
- THE INTERIOR STREET DESIGN AND PARKING AREAS SHALL MEET OR EXCEED SUSSEX COUNTY STREET DESIGN SPECIFICATIONS AND REQUIREMENTS.
- THE APPLICANT SHALL FORM A CONDOMINIUM ASSOCIATION TO BE RESPONSIBLE FOR THE MAINTENANCE OF STREETS, ROADWAYS, BUFFERS, STORMWATER MANAGEMENT AREAS AND COMMUNITY AREAS.
- ALL ROAD NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY PLANNING AND ADDRESSING DEPARTMENT.
- THE FINAL SITE PLAN SHALL INCLUDE A LANDSCAPE PLAN FOR ALL THE BUFFER AREAS, SHOWING ALL THE LANDSCAPING AND VEGETATION TO BE INCLUDED IN THOSE AREAS.
- THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.



NOTE: UNSHADED AREAS WITHIN AMERICANA BAYSIDE MR-RPC BOUNDARY ARE CONSERVATION AREAS OR OTHER OPEN SPACE

ZONING CONDITIONS

FEBRUARY 6, 2001 - AMENDED SEPTEMBER 23, 2003 AND APRIL 13, 2010

CMF BAYSIDE, L.L.C. - CHANGE OF ZONE NO. 1393

- THE MAXIMUM NUMBER OF RESIDENTIAL UNITS SHALL NOT EXCEED 1,700.
- THE DEVELOPER MAY PROVIDE A MINIMUM OF 104 ASSISTED LIVING UNITS. REDUCTION OF ANY TYPE OF RESIDENTIAL UNITS WILL BE AT THE DISCRETION OF THE APPLICANT.
- THE MAXIMUM SQUARE FOOTAGE OF RETAIL/OFFICE SPACE SHALL BE 170,000 SQUARE FEET. THE DEVELOPER SHALL PROVIDE A MEDICAL FACILITY.
- RESIDENTIAL CERTIFICATES OF OCCUPANCY SHALL NOT EXCEED 200 ANNUALLY ON A CUMULATIVE BASIS.
- SITE PLAN REVIEW FOR EACH PHASE OF DEVELOPMENT SHALL BE REVIEWED AND APPROVED BY THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.
- ALL ENTRANCES, INTERSECTIONS, AND ROADWAY IMPROVEMENTS REQUIRED BY DELDOT SHALL BE COMPLETED BY THE APPLICANT IN ACCORDANCE WITH ANY FURTHER MODIFICATIONS REQUIRED BY DELDOT, ONCE 200 CERTIFICATES OF OCCUPANCY HAVE BEEN ISSUED.
- THE APPLICANT SHALL ESTABLISH A 60-FOOT HIGHWAY CORRIDOR OVERLAY ZONE SETBACK ALONG THE PROPERTY FRONTING ROUTE 54.
- RECREATIONAL FACILITIES, I.E., GOLF, TENNIS COURTS, SWIMMING POOLS, ETC., SHALL BE CONSTRUCTED TO COINCIDE WITH CONSTRUCTION PHASES SCHEDULED AND SUBJECT TO REVIEW AND APPROVAL BY THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.
- THE RPC SHALL BE SERVED BY THE SUSSEX COUNTY SOUTH COASTAL REGIONAL WASTEWATER FACILITY PER SUSSEX COUNTY ENGINEERING DEPARTMENT REGULATIONS AND SPECIFICATIONS.
- THE RPC SHALL BE SERVED BY A CENTRAL WATER SYSTEM PROVIDING DRINKING WATER AND FIRE PROTECTION PER APPLICABLE REGULATIONS AND APPROVAL OF THE DEPARTMENT OF NATURAL RESOURCES, THE STATE FIRE MARSHAL'S OFFICE, THE PUBLIC SERVICE COMMISSION, AND THE STATE OF DELAWARE OFFICE OF PUBLIC HEALTH.
- STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL SHALL EQUAL OR EXCEED ALL APPLICABLE STATE AND COUNTY REGULATIONS.
- THE APPLICANT SHALL ESTABLISH "BEST MANAGEMENT PRACTICES" IN REGARD TO GOLF COURSE MAINTENANCE AND PROTECTION OF NON-TIDAL WETLANDS. THE OPERATOR OF THE GOLF COURSE SHALL FILE A NUTRIENT MANAGEMENT PROGRAM WITH THE APPROPRIATE STATE AGENCY.
- THE APPLICANT SHALL COORDINATE WITH THE CENTER FOR THE INLAND BAY'S DEVELOPMENT OF A PUBLIC INLAND BAY NATURE TRAIL AND OBSERVATORY.
- STATE AND FEDERAL WETLANDS SHALL BE MAINTAINED AS NON-DISTURBANCE AREAS, EXCEPT FOR DISTURBANCE AUTHORIZED BY A VALID FEDERAL OR STATE PERMIT. THERE SHALL BE NO CONSTRUCTION IN ANY WETLANDS WITHOUT VALID PERMITS.
- THE APPLICANT SHALL PROVIDE, AT NO COST, A PARCEL OF LAND APPROPRIATE FOR USE BY THE DELAWARE STATE POLICE AND A PARCEL OF LAND APPROPRIATE FOR USE BY THE ROXANA VOLUNTEER FIRE COMPANY WHEN DEEMED APPROPRIATE BY SAID ORGANIZATIONS. THE LOCATION AND SIZE OF SAID PARCELS SHALL BE AS MUTUALLY AGREED UPON BY THE PARTIES INVOLVED.
- THE APPLICANT SHALL PROVIDE SHUTTLE SERVICE TO THE RESIDENTS OF AMERICANA BAYSIDE, AS NEEDED, TO THE BEACHES FOR RECREATION AND SHOPPING. THE APPLICANT SHALL PLAN TO EDUCATE AND ENCOURAGE THE USE OF THIS SERVICE IN REGARD TO DECREASING TRAFFIC ON ROUTE 54.
- THE APPLICANT SHALL PROVIDE ADEQUATE SECURITY FOR DEVELOPMENT. SECURITY SHOULD INCLUDE A 24-HOUR EMERGENCY CENTER, SUFFICIENT STAFF AND VEHICLES, WITH INCREASING STAFF TO COINCIDE WITH INCREASING OCCUPANTS FOR THE PROJECT.
- THE APPLICANT SHALL COORDINATE WITH THE STATE AND COUNTY EMERGENCY PLANNING OFFICES IN DEVELOPMENT AND IMPLEMENTATION OF AN EMERGENCY EVACUATION PROCEDURE FOR THE DEVELOPMENT, WHICH WILL BE INCORPORATED INTO THE RESTRICTIONS OF THE DEVELOPMENT AND MAY REQUIRE EARLY MANDATORY EVACUATION, IF NEEDED, BY SAID OFFICES.
- THE RPC SHALL NOT CONTAIN A MARINA, INDIVIDUAL BOAT DOCK FACILITIES, OR BOAT LAUNCHING FACILITIES OTHER THAN A COMMUNITY WATER TAXI SERVICE FACILITY. NON-MOTORIZED WATERCRAFT SHALL BE PERMITTED AT THE BOAT LAUNCHING FACILITY OF THE COMMUNITY WATER TAXI SERVICE.
- NO SITE PREPARATION, SITE DISTURBANCE, SITE EXCAVATION, OR OTHER SITE CONSTRUCTION SHALL BE COMMENCED UNTIL ALL PERMITS REQUIRED BY ALL OTHER LAWS, ORDINANCES, RULES AND REGULATIONS SHALL HAVE BEEN ISSUED AND THE APPROVED FINAL SITE PLAN IS RECORDED, EXCEPT SUCH SITE WORK FOR WHICH A PERMIT HAS BEEN ISSUED BY THE SUSSEX CONSERVATION DISTRICT. THE SITE WORK AUTHORIZED BY THE SUSSEX CONSERVATION DISTRICT PERMIT MAY BE COMMENCED UPON SUBMISSION OF COPIES OF THE APPLICATION FOR PERMITS FROM THE SUSSEX COUNTY ENGINEERING DEPARTMENT AND DELDOT TO THE DIRECTOR OF PLANNING AND ZONING AND SUBMISSION OF A BOND IN AN AMOUNT EQUAL TO 125% OF THE COST OF THE SITE WORK AUTHORIZED BY THE SUSSEX CONSERVATION DISTRICT PERMIT AND IN A FORM ACCEPTABLE TO THE COUNTY ATTORNEY. THE BOND SHALL BE RELEASED UPON THE ISSUANCE OF ALL OTHER PERMITS AND THE FILING OF AN APPROVED MASTER PLAN OF THE FINAL SITE PLAN.
- NO EXISTING STATE ROADS IN THE DEVELOPMENT SHALL BE VACATED. THE DEVELOPERS ARE PROPOSING TO REALIGN COUNTY ROAD 394 AND 394A; THAT THESE ROADS WILL REMAIN OPEN TO THE PUBLIC; THAT TRAFFIC CALMING DEVICES WILL BE INCORPORATED INTO THE DESIGN; THAT THE REALIGNMENT OF THE ROADS DOES NOT CONSTITUTE THE VACATION OR ABANDONMENT OF A ROAD; AND THAT THE APPROVAL WILL STILL BE SUBJECT TO DELDOT'S APPROVAL THROUGH A HEARING PROCESS.
- PUBLIC ACCESS SHALL BE PERMITTED AT THE END OF STATE ROUTE 394. ACCESS SHALL INCLUDE SUFFICIENT PARKING FOR EIGHT VEHICLES.
- ASSISTED LIVING UNITS MAY BE LOCATED ON THE NORTH SIDE OF ROUTE 54, WEST OF ROUTE 20.
- ALL COMMERCIAL ACTIVITIES SHALL BE LIMITED TO THE SOUTH SIDE OF ROUTE 54, EXCEPT FOR A 1.27 ACRE PARCEL DESIGNATED TAX MAP 35-33-19.00 PARCEL 17.01, LOCATED ON THE NORTH SIDE OF ROUTE 54 ON WHICH COMMERCIAL USE SHALL BE PERMITTED. COMMERCIAL ENTRANCE APPROVAL FROM DELDOT, ENTRANCE TO THE COMMERCIAL AREA LOCATED ON THE SOUTH SIDE OF ROUTE 54 SHALL BE LIMITED TO THE SOUTH SIDE OF ROUTE 54, EXCEPT FOR A SINGLE RIGHT-IN/RIGHT-OUT COMMERCIAL ENTRANCE TO A PARCEL DESIGNATED AS TAX MAP 5-33-19.00 PARCEL 16.00, WHICH IS SUBJECT TO APPROVAL FROM DELDOT.

SUSSEX COUNTY BOARD OF ADJUSTMENT - CASE #8702

ON JULY 12, 2004, THE SUSSEX COUNTY BOARD OF ADJUSTMENT UNANIMOUSLY APPROVED A VARIANCE REQUEST FOR CHAPTER 115, ARTICLE XVI, SUBSECTION 127 REDUCING THE MINIMUM SINGLE FAMILY LOT SIZE TO 6,000 SQUARE FEET, A VARIANCE OF 1,500 SQUARE FEET, FOR 127 HOMES LABELED AS "TWO HOMES" ON THE APPROVED MR-RPC MASTER PLAN.

SUSSEX COUNTY BOARD OF ADJUSTMENT - CASE #8853

ON JUNE 4, 2007, THE SUSSEX COUNTY BOARD OF ADJUSTMENT UNANIMOUSLY APPROVED A VARIANCE REQUEST FOR CMF BAYSIDE, LLC TO INSTALL A YEE-SHAPED GROUND SIGN AT ROUTE 54 APPROXIMATELY 240 SQUARE FEET ON EACH SIDE.

SUSSEX COUNTY PLANNING AND ZONING COMMISSION

ON MARCH 22, 2012, THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION UNANIMOUSLY APPROVED A REQUEST TO AMEND THE SIDE YARD SETBACK FOR SINGLE FAMILY DWELLINGS AND DUPLEX HOME TYPES TO +5 FEET FOR FUTURE HOMES IN THE PROJECT.

SUSSEX COUNTY BOARD OF ADJUSTMENT - CASE #11262

ON SEPTEMBER 9, 2013, THE SUSSEX COUNTY BOARD OF ADJUSTMENT UNANIMOUSLY APPROVED A REQUEST FROM CMF BAYSIDE, LLC FOR A 60 FEET BY 20 FOOT VARIANCE TO THE 60 FEET LOT WIDTH REQUIREMENT TO 40 FEET AND A 2,500 SQUARE FEET VARIANCE FROM THE MINIMUM 7,500 SQUARE FEET LOT AREA REQUIREMENT TO 5,000 SQUARE FEET FOR THE LOTS IN VILLAGE C, PHASE 1 AMERICANA BAYSIDE.

CHANGE OF ZONE NO. 1848 APPROVED MARCH 20, 2018

CONDITIONS OF ORDINANCE NO. 2579:

- THE MAXIMUM NUMBER OF RESIDENTIAL UNITS ON THIS PROPERTY SHALL BE 122.
- THE 122 UNITS APPROVED AS PART OF THIS EXTENSION OF THE MR-RPC SHALL BE PART OF THE USES APPROVED IN CONDITIONS #1 AND #3 OF CZ #1393 AND SHALL NOT BE IN ADDITION TO THESE CONDITIONS PREVIOUSLY IMPOSED ON THE AMERICANA BAYSIDE MR-RPC PROJECT.
- THE DEVELOPMENT SHALL BE SERVED AS PART OF A SUSSEX COUNTY SANITARY SEWER DISTRICT.
- THE DEVELOPER SHALL COMPLY WITH ALL REQUIREMENTS AND SPECIFICATIONS OF THE COUNTY ENGINEERING DEPARTMENT.
- THE RPC SHALL BE SERVED BY CENTRAL WATER.
- STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE STATE AND COUNTY REQUIREMENTS. THESE FACILITIES SHALL BE DESIGNED AND OPERATED IN A MANNER CONSISTENT WITH BEST MANAGEMENT PRACTICES.
- THE FINAL SITE PLAN FOR EACH PHASE OF THE DEVELOPMENT SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT UPON IT.
- THE PROJECT WILL BE INCORPORATED AS PART OF THE EXISTING AMERICANA BAYSIDE MR-RPC (CZ #1393) AND SHALL BE SUBJECT TO, AND BENEFITED BY, THE CONDITIONS IMPOSED UPON THAT DEVELOPMENT, EXCEPT AS MODIFIED HEREIN.
- ALL ENTRANCE, ROADWAY, INTERSECTION AND MULTI-MODAL IMPROVEMENTS REQUIRED BY DELDOT SHALL BE COMPLETED IN ACCORDANCE WITH DELDOT'S DETERMINATIONS.
- THE INTERIOR STREET DESIGN AND PARKING AREAS SHALL MEET OR EXCEED SUSSEX COUNTY STREET DESIGN SPECIFICATIONS AND REQUIREMENTS.
- THE RESIDENTIAL UNITS IN THIS DEVELOPMENT SHALL BE PART OF THE AMERICANA BAYSIDE HOMEOWNERS ASSOCIATION RESPONSIBLE FOR THE MAINTENANCE OF STREETS, ROADWAYS, BUFFERS, STORMWATER MANAGEMENT AREAS AND COMMUNITY AREAS.
- ROAD NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF SUSSEX COUNTY PLANNING AND ADDRESSING DEPARTMENT.
- THE FINAL SITE PLAN SHALL INCLUDE A LANDSCAPE PLAN FOR ALL THE BUFFER AREAS, SHOWING ALL THE LANDSCAPING AND VEGETATION TO BE INCLUDED IN THOSE AREAS.
- THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.

PRINTS ISSUED FOR: REVIEW AND APPROVAL

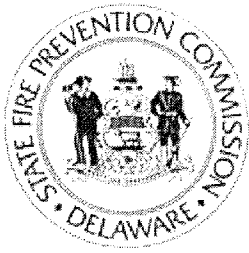
| DATE | REVISIONS | NO. |
|------|-----------|-----|
|      |           |     |
|      |           |     |
|      |           |     |

**GMB**  
 GEORGE, MILES & BUHR, LLC  
 ARCHITECTS & ENGINEERS  
 1000 Delaware Avenue, Suite 200  
 Wilmington, Delaware 19801  
 www.gmbnet.com

AMERICANA BAYSIDE  
 BALTIMORE HUNDRED  
 COMMUNITIES  
 SUSSEX COUNTY, DELAWARE

REVISED MASTER PLAN

|                     |           |
|---------------------|-----------|
| SCALE : 1" = 400'   | SHEET NO. |
| DESIGN BY : RLM/TMG | MP-15     |
| CHECKED BY : SLM    |           |
| GMB FILE : 150330   |           |
| DATE : AUG 2022     |           |



**OFFICE OF THE STATE FIRE MARSHAL  
Technical Services**

22705 Park Avenue  
Georgetown, DE 19947



**SFMO PERMIT – SHALL BE POSTED ON JOBSITE UNTIL FINAL INSPECTION**

---

**Plan Review Number:** 2022-04-209861-MJS-02

**Tax Parcel Number:** 533-19.00-865.01

**Status:** Approved as Submitted

**Date:** 07/12/2022

**Project**

Bayside Hotel

Town Center @ Americana Bayside  
Selbyville DE 19975

Bayside Hotel

**Scope of Project**

**Number of Stories:**

**Square Footage:**

**Construction Class:**

**Fire District:** 90 - Roxana Volunteer Fire Co

**Occupant Load Inside:**

**Occupancy Code:** 9604

**Applicant**

Stephen Marsh  
206 W Main Street  
Salisbury, MD 21801

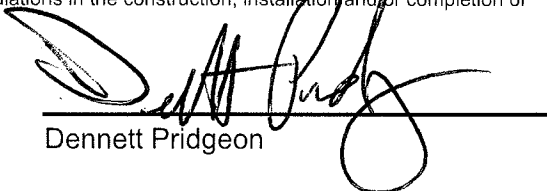
This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:



---

Dennett Pridgeon

## FIRE PROTECTION PLAN REVIEW COMMENTS

---

**Plan Review Number:** 2022-04-209861-MJS-02

**Tax Parcel Number:** 533-19.00-865.01

**Status:** Approved as Submitted

**Date:** 07/12/2022

### PROJECT COMMENTS

---

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) ADOPTED September 1, 2021. The Delaware State Fire Prevention Regulations are available on our website at [www.statefiremarshal.delaware.gov](http://www.statefiremarshal.delaware.gov). These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1040 A** This site meets Water Flow Table 2, therefore the following water for fire protection requirements apply: Main Sizes: 6" minimum. Minimum Capacity: 1,000 gpm @ 20 psi residual for 1 hour duration. Hydrant Spacing: 800' on center.
- 1195 A** Separate plan submittal is required for all flammable gas installations (regardless of tank size) proposed for this project.
- 2710 A** The following items will be field verified by this Agency at the time of final inspection:
- 1100 A** Hydrants shall be provided in such a manner that all fire department connections and/or standpipe connections shall be within 300' of a hydrant and shall meet the provisions of the applicable NFPA Regulations as adopted and/or modified by these Regulations.
- 1408 A** All premises where emergency personnel may be called upon to provide emergency services, which are not readily accessible from streets, shall be provided with suitable gates, access roads, and fire lanes so that all buildings on the premises are accessible to emergency apparatus. (DSFPR Regulation 705, Chapter 5, Section 2).
- 1150 A** A lock box containing keys for fire department access shall be provided for any occupancy which contains a fire alarm signaling system that is monitored off site or- for any occupancy that contains an automatic sprinkler system. (DSFPR Regulation 705, Chapter 5, Section 2.4).

*DAP*

- 1090 A Fire Lane Access and Perimeter Access shall be in accordance with Table 5-2. (DSFPR Regulation 705, Chapter 5, Section 4.2) Percent of Perimeter Access requirements shall include the required Percent of Fire Lane Access requirements of Table 5-2. (DSFPR Regulation 705, Chapter 5, Section 4.5.2).
- 1092 A Perimeter Access is that portion of the building that is accessible by emergency services personnel and is within 100 feet of a street and capable of supporting fire ground operations. (DSFPR Regulation 705, Chapter 5, Section 1.4.1). Perimeter Access minimum width shall be 15 feet measured from the face of the building at grade with a maximum slope of ten percent (10%). Plantings and utility services (includes condenser units, transformers, etc.) shall be permitted within the perimeter access, provided they do not interfere with the emergency services fire ground operations. (DSFPR Regulation 705, Chapter 5, Sections 3.5 and 4.5). If a physical barrier (fence, pond, steep slope, etc) prevents access, that portion of the building perimeter shall not be included in the calculation of Percent of Perimeter Access. (DSFPR Regulation 705, Chapter 5, Sections 3.5.1 and 4.5.1).
- 1189 A Parking between the primary fire lane(s) and the building shall meet the requirements of DSFPR Regulation 705, Chapter 5, Sections 6.3 through 6.3.6.
- 1119 A All proposed fire hydrants and water mains shall be installed in accordance with the most current edition of the Delaware State Fire Prevention Regulations (DSFPR, Reg 702, Chapters 6 & 7).
- 1132 A Fire hydrants shall be color coded in accordance with the DSFPR, Reg 703, Chap 3. This includes both color coding the bonnet and 2" reflective tape around the barrel under the top flange.
- 1232 A All threads provided for fire department connections, to sprinkler systems, standpipes, yard hydrants or any other fire hose connections shall be uniform to those used by the fire department in whose district they are located. DSFPR Reg 703, Chap 1
- 1332 A The distance between a fire hydrant and the fire lane shall not be greater than seven feet (DSFPR Part V, Chapter 5, Section 5 10.4).
- 1432 A The steamer connection of all fire hydrants shall be so positioned so as to be facing the street or fire lane. (DSFPR Regulation 705, Chapter 5, Section 10). The center of all hose outlet(s) on fire hydrants shall be not less than 18 inches above final grade (NFPA 24)



- 1180 A This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1190 A Separate plan submittal is required for the building(s) proposed for this project.
- 2500 A A final inspection is required for this project prior to occupancy (DSFPR Part I, Section 4-7). Contact this Agency to schedule this inspection. Please have the plan review number available. A MINIMUM OF FIVE (5) WORKING DAYS NOTICE IS REQUIRED.

A handwritten signature in black ink, appearing to be 'DWF', located in the bottom right corner of the page.

**CIVIL PLAN GENERAL NOTES**

1. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND SHALL APPRISE AND COORDINATE DURING ALL PHASES OF CONSTRUCTION:
  - 1.1 SUSSEX COUNTY ENGINEERING DEPARTMENT 302-855-7718
  - 1.2 DAVIS, BOWEN & FRIEDEL, INC. 302-424-1441
  - 1.3 SUSSEX CONSERVATION DISTRICT 302-856-2105
  - 1.4 ARTESIAN WATER COMPANY, INC. 302-453-6900
2. MISS UTILITY OF DELAWARE SHALL BE NOTIFIED THREE (3) CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
3. BOUNDARY SURVEY AND BASE TOPOGRAPHY SHOWN IN THESE PLANS ARE BASED ON FIELD SURVEYS PERFORMED BY MILLER LEWIS, INC.
4. CONTRACTOR SHALL PROVIDE STAKEOUT NECESSARY FOR THE INSTALLATION OF UTILITIES, STORM DRAINS, PAVING AND ALL OTHER SITE WORK INCLUDED IN THESE PLANS. ALL STAKEOUT WORK IS TO BE PERFORMED UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF DELAWARE.
5. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEVIATION FROM THESE PLANS UNLESS WRITTEN APPROVAL HAS BEEN PROVIDED BY THE ENGINEER.
6. ACCORDING TO FEMA FLOOD INVENTORY MAP #10005C0495K, DATED MARCH 16, 2015, THE SITE IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN.

**DRAINAGE, GRADING AND SEDIMENT CONTROL GENERAL NOTES**

1. ALL STORM DRAIN PIPING, INLET, MANHOLE, AND END SECTION INSTALLATION SHALL BE IN ACCORDANCE WITH SUSSEX COUNTY CONSTRUCTION STANDARDS.
2. PIPE SPAN LENGTHS ARE MEASURED FROM C/L OF STRUCTURE TO C/L OF STRUCTURE, WHERE APPLICABLE ARE ROUNDED TO THE NEAREST FOOT.
3. ALL SEALS MUST BE WATERTIGHT WITH NON SHRINK GROUT OR RUBBER GASKETS AND CONCRETE STRUCTURES MUST BE PRECAST OR Poured IN PLACE.
4. CONTRACTOR SHALL GRADE, TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS OF CONSTRUCTION, INCLUDING PIPE INSTALLATION OR DITCH CONSTRUCTION. EROSION CONTROL MATTING SHALL BE PROVIDED ON ALL SLOPES GREATER THAN 3:1.
5. THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL MEASURES TO PROTECT STOCKPILE AREAS AND STORAGE AREAS. ALL AREAS USED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR UPON COMPLETION OF THE PROJECT. IF THE STAGING AREA IS PAVED, IT SHALL BE RESTORED TO ITS ORIGINAL CONDITION. IF THE STAGING AREA IS UNPAVED, IT SHALL BE RE-GRADED, TOPSOILED, SEED AND MULCHED TO THE SATISFACTION OF THE ENGINEER. ALL COSTS ASSOCIATED WITH RESTORATION OF THE STAGING AREA SHALL BE AT THE CONTRACTOR'S EXPENSE. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
6. EQUIPMENT AND/OR STOCKPILE MATERIAL SHALL NOT BE STORED IN THE DRIPLINE AREA OF ANY TREE.
7. IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY THE SUSSEX CONSERVATION DISTRICT.
8. STABILIZATION MATTING SHALL BE NORTH AMERICAN GREEN SCI508N OR APPROVED EQUIVALENT.
9. ADDITIONAL GRADING AND EROSION AND SEDIMENT CONTROL NOTES CAN BE FOUND ON THE EROSION AND SEDIMENT CONTROL PLANS OR GRADING PLANS.

**DEMOLITION AND SAFETY GENERAL NOTES**

1. MISS UTILITY OF DELMARVA SHALL BE NOTIFIED THREE CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
2. EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48 HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA.
3. THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE ROAD WAY, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS, TRAFFIC CONTROL, REGULATORY, WARNING AND INFORMATIONAL SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE FROM THE ROADWAY. THE COST OF THESE ITEMS SHALL BE INCLUDED IN THE COST OF ITEMS BID.
4. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
5. DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM. ADDITIONAL COSTS WILL BE NEGOTIATED WITH THE OWNER.
6. DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL WORK MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
7. ALL EXISTING SEWER PIPE, MANHOLES, AND APPURTENANCES DESIGNATED FOR REMOVAL SHALL BE REMOVED, NO ABANDONED IN PLACE COMPONENTS WILL BE ALLOWED.

**FIRE PROTECTION GENERAL NOTES**

1. THERE ARE NO PROPOSED SPRINKLERS FOR THE AMENITIES CENTER IN MILO'S HAVEN. ALL BUILDINGS ARE LESS THAN 10,000 SQ. FT.
2. ALL FIRE LANES, FIRE HYDRANTS, STAND PIPES, SPRINKLER CONNECTIONS, EXITS, ETC., SHALL BE MARKED AND/OR PROTECTED IN ACCORDANCE WITH STATE FIRE PROTECTION REGULATIONS AS EVIDENCED IN SECTION 705, CHAPTER 5, STANDARD FOR THE MARKING, IDENTIFICATION, AND ACCESSIBILITY OF FIRE LANES, EXITS, FIRE HYDRANTS, SPRINKLER, AND STANDPIPE CONNECTIONS.

**INTERNAL PAVING / CONCRETE NOTES**

1. WARM MIX ASPHALT SHALL BE INSTALLED IN ACCORDANCE WITH THE 2001 DELDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION INCLUDING SPECIAL PROVISIONS:
  - 1.1. SECTION 401 FOR PLACEMENT OF TACK COAT AND WARM MIX.
  - 1.2. ASPHALT SHALL BE FROM A DEDOT APPROVED PLANT.
  - 1.3. WARM MIX SHALL NOT BE APPLIED WHEN THE TEMPERATURE IS BELOW 40° F OR ON ANY WET OR FROZEN SURFACE.
2. ALL DISTURBED AREAS NOT COVERED WITH IMPERVIOUS MATERIAL, SHALL BE TOPSOILED (6" MINIMUM), FERTILIZED, SEED AND MULCHED.
3. ALL SIGNING AND MAINTENANCE OF TRAFFIC IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL FOLLOW THE 2011 DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
4. DESIGN, FABRICATION, AND INSTALLATION OF ALL PERMANENT SIGNING SHALL BE AS OUTLINED IN THE 2011 DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
5. FOR FINAL PERMANENT PAVEMENT MARKINGS, EPOXY RESIN PAINT SHALL BE REQUIRED FOR LONG LINE STRIPING AND THERMO WILL BE REQUIRED FOR SHORT LINE STRIPING, I.E. SYMBOLS/LEGENDS.
6. ALL TRAFFIC CONTROL DEVICES SHALL BE IN NEW OR REFURBISHED CONDITION, SHALL COMPLY WITH THE 2011 DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION), AND SHALL BE NCHRP - 350 APPROVED AND SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED IN GOOD CONDITION FOR DURATION OF USE.
7. BREAKAWAY POSTS SHALL BE USED WHEN INSTALLING ALL SIGNS. DETAIL CAN BE FOUND IN DELDOT'S STANDARD CONSTRUCTION DETAILS.
8. PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT PAVING IS INSTALLED TO THE ELEVATIONS SHOWN AND THAT NO PONDING OF WATER EXISTS AFTER PAVING IS COMPLETE. PONDING IS DEFINED AS WATER STANDING IN AN AREA MORE THAN 1 HOUR AFTER A RAINFALL EVENT THAT PRODUCES RUNOFF. ELIMINATION OF PONDING WILL BE COMPLETED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
10. SUPERPAVE HOT-MIX SHALL BE USED IN ACCORDANCE WITH DELDOT SPECIAL PROVISIONS.
11. CONCRETE SHALL BE PLACED IN ACCORDANCE WITH DELDOT STANDARD SPECIFICATIONS.

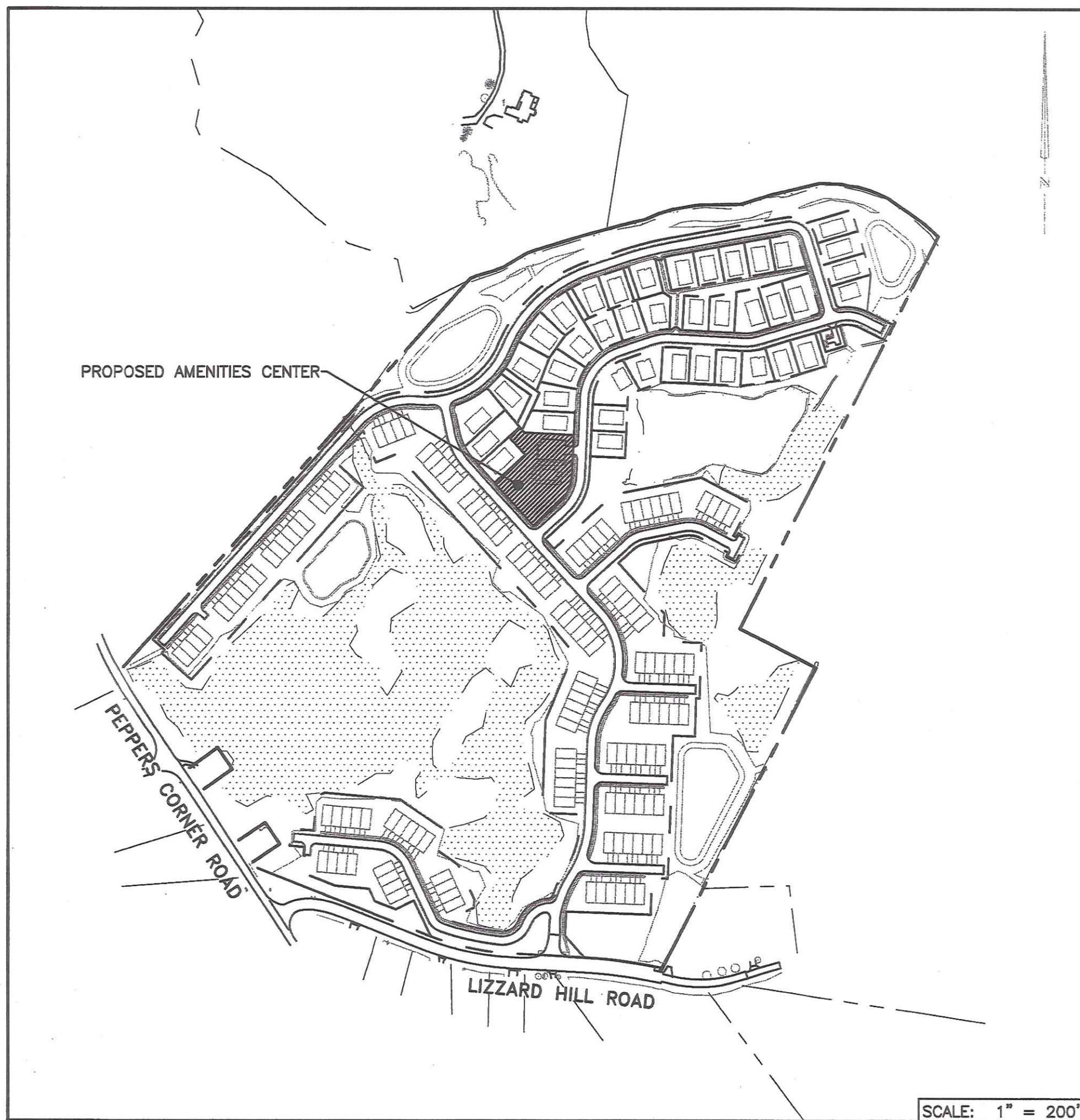
**SANITARY SEWER GENERAL NOTES**

1. CONTRACTOR SHALL PROVIDE STAKEOUT SURVEY NECESSARY FOR THE INSTALLATION OF UTILITY WORK AND APPURTENANCES AS REQUIRED PER THE SUSSEX COUNTY STANDARDS AND SPECIFICATIONS.
2. SANITARY SEWER CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH SUSSEX COUNTY STANDARDS AND SPECIFICATIONS AND DETAILS.
3. ALL SANITARY SEWER MATERIALS AND APPURTENANCES SHALL MEET OR EXCEED THOSE REQUIRED BY SUSSEX COUNTY STANDARDS AND SPECIFICATIONS AND DETAILS.
4. USE ONLY SUITABLE GRANULAR MATERIAL APPROVED BY SUSSEX COUNTY FOR BACKFILLING TRENCHES.
5. SANITARY SEWER LATERAL SHALL BE 8" POLYVINYL CHLORIDE (PVC), SDR 26. SEWER LATERAL SHALL INCLUDE A 8" CLEANOUT, WYE, AND CAP JUST BEHIND THE RIGHT-OF-WAY LINE.
6. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
7. PIPE SPAN LENGTHS ARE MEASURED FROM C/L OF STRUCTURE TO C/L OF STRUCTURE, WHERE APPLICABLE ARE ROUNDED TO THE NEAREST FOOT.
8. THE CONTRACTOR SHALL FIELD VERIFY INVERTS AND LOCATION OF EXISTING SANITARY SEWER MAINS OR MANHOLES TO WHICH NEW CONSTRUCTION WILL CONNECT.
9. THE SEWER LATERAL SHALL HAVE A MINIMUM COVER OF 3 FEET FROM PROPOSED GRADE, AS MEASURED FROM THE TOP OF PIPE.
10. THE CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH OR ACCESS PITS WHICH CAN BE BACKFILLED AND STABILIZED AT THE END OF EACH WORKING DAY. STEEL PLATES SHALL BE USED ON ANY TRENCH OR ACCESS PITS WHICH MUST REMAIN OPEN OVERNIGHT. THIS REQUIREMENT DOES NOT APPLY TO AREAS COMPLETELY CLOSED AND SECURE FROM VEHICULAR OR PEDESTRIAN TRAFFIC.
11. FINAL APPROVED SET OF PLANS AND SPECIFICATIONS SHALL BE MAINTAINED ON THE JOB SITE. FAILURE TO COMPLY WITH THIS PROVISION SHALL BE CONSIDERED CAUSE TO STOP THE WORK.
12. THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF CONTRACT DRAWINGS ON WHICH HE SHALL NOTE, IN RED, THE ALIGNMENTS AND INVERTS OF UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK. ALL DISCREPANCIES BETWEEN THE PLAN LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE AS-BUILT DRAWINGS TO BE MAINTAINED BY THE CONTRACTOR IN THE FIELD.
13. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO LOCATE PROPERTY LINES, EASEMENTS, AND RIGHT-OF-WAY LINES PRIOR TO CONSTRUCTION AND AVOID CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY AND/OR RIGHTS OF WAYS WHERE SAID CONSTRUCTION IS PROHIBITED. THE CONTRACTOR MAY CONDUCT CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY PROVIDED HE HAS OBTAINED PRIOR WRITTEN PERMISSION FROM THE PROPERTY OWNER AND HAS SUBMITTED A COPY OF SAID WRITTEN PERMISSION TO SUSSEX COUNTY. ANY DISTURBED AREAS BEYOND THE RIGHT-OF-WAY OR EASEMENT LINES SHALL BE RESTORED IMMEDIATELY TO THEIR ORIGINAL CONDITION. PAYMENT FOR THIS WORK SHALL BE INCLUDED IN THE COST OF ITEMS BID.
14. DIFFERING SITE CONDITIONS AND/OR DIFFERING MATERIAL PROPERTIES SHALL REQUIRE SUSSEX COUNTY APPROVAL OF SPECIAL DESIGN DETAILS PREPARED BY THE DESIGN ENGINEER PRIOR TO INITIATING OR RESUMING CONSTRUCTION ACTIVITIES.
15. ALL TESTING AND INSPECTION SHALL BE PERFORMED IN ACCORDANCE WITH THE SUSSEX COUNTY STANDARDS AND SPECIFICATIONS.
16. ALL GRAVITY SANITARY SEWER PIPE AND FITTINGS SHALL BE POLYVINYL CHLORIDE (PVC), SDR 26.
17. SEWER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM WATER MAINS. SEWER CROSSING WATER MAINS SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 18" TO OUTSIDE OF PIPES. IF AN 18" CLEARANCE CANNOT BE OBTAINED, A 10 LINEAR FOOT CONCRETE ENCASMENT SHALL BE USED ON THE SEWER MAIN.
18. THE SUSSEX COUNTY STANDARDS AND SPECIFICATIONS ARE THE SUSSEX COUNTY WASTEWATER STANDARDS AND SPECIFICATIONS DATED 6/19/2012. COPIES CAN BE OBTAINED FROM SUSSEX COUNTY.

# AMENITIES CENTER

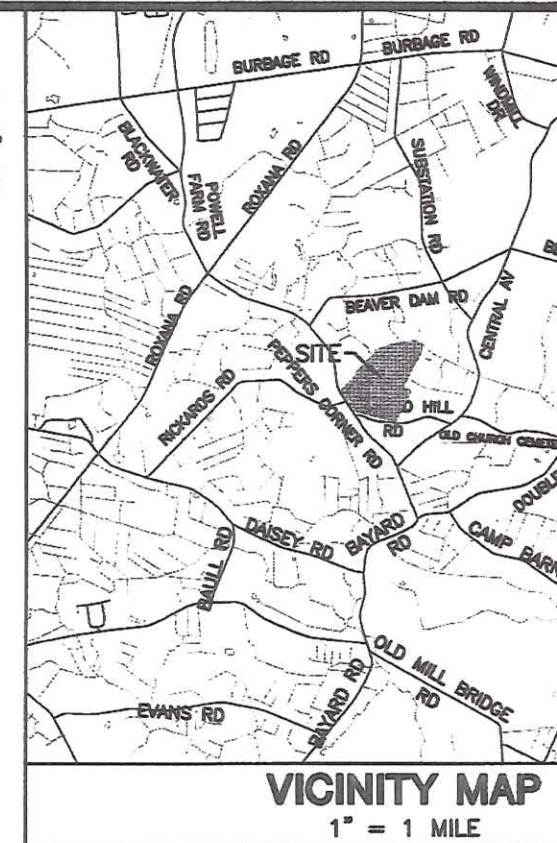
## MILO'S HAVEN BALTIMORE HUNDRED SUSSEX COUNTY, DELAWARE

DBF # 0700A040.D01  
JUNE 22, 2022



**LEGEND**

- PROPERTY LINE
- IRON ROD WITH CAP SET
- + - EASEMENT
- BUILDING SETBACK LINE
- TREE LINE
- WETLANDS
- EXISTING CONTOUR
- PROPOSED CONTOUR
- 00.00 SPOT ELEVATION
- FENCE
- CATCH BASIN, STORM PIPE, FLARED END, AND LABELS
- SANITARY SEWER MANHOLE, PIPE, FLOW ARROW, AND PIPE SIZE
- SANITARY SEWER LATERAL
- WATER LATERAL
- WATER MAIN TEE, BEND, VALVES, AND PIPE SIZE
- FIRE HYDRANT ASSEMBLY
- PAVEMENT
- SIDEWALK



| SHEET INDEX  |   |
|--------------|---|
| Sheet Number | Sheet Title                             |
| C-001        | TITLE SHEET                             |
| C-101        | SITE, GRADING, LANDSCAPE & UTILITY PLAN |

**DATA COLUMN**

TAX MAP ID: 1-34-18.00-38.00 & 1-34-19.00-13.03  
 SITE ADDRESS: 34702 CIDER LANE, FRANKFORD, DE 19942

APPROX. CENTER OF MILO'S HAVEN: LAT.=31.0158, LONG.=85.8711

THE PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA MAP 10005C0495K, DATED, MARCH 16, 2015.

THE AMENITIES CENTER PARCEL IS NOT IMPACTED BY WETLANDS.

SITE IS LOCATED ENTIRELY WITHIN THE ENVIRONMENTALLY SENSITIVE DEVELOPMENT DISTRICT OVERLAY ZONE (ESDDOZ).

SITE IS DESIGNATED AS COASTAL AREA BY THE 2018 SUSSEX COUNTY COMPREHENSIVE PLAN.

SANITARY SEWER: SUSSEX COUNTY (BEAVER DAM PLANNING AREA)  
 WATER SERVICE: ARTESIAN WATER COMPANY

EXISTING ZONING: GR (GENERAL RESIDENTIAL)  
 PROPOSED ZONING: GR/RPC (GENERAL RESIDENTIAL/RESIDENTIAL PLANNED COMMUNITY)

EXISTING USE: RESIDENTIAL, AGRICULTURAL, VACANT  
 PROPOSED USE: RESIDENTIAL PLANNED COMMUNITY

PARKING REQUIRED: 1,540 SF POOL AREA x 1 SPACE/100 SF = 16 SPACES  
 PARKING PROVIDED: 16 SPACES (INCLUDING 1 VAN ACCESSIBLE)

**BUILDINGS:**  
 CONSTRUCTION: WOOD/CONCRETE BLOCK, V-B (8C), V(000) (NFPA)  
 MAX HEIGHT: 42 FT (3-3/4 STORIES)

**AREAS:**  
 POOL MECHANICAL AND STORAGE: 108 SF±  
 BATHROOMS: 263 SF±  
 TOTAL: 371 SF±

**LOT AREAS:**  
 OPEN AREA: 10,265 SF± (74.29%)  
 IMPERVIOUS AREA: 28,680 SF± (25.71%)  
 AMENITY CENTER PARCEL: 38,925 SF± (100.00%)

NET DEVELOPMENT AREA: 38,925 SF x 0.9 (10% OPEN SPACE) = 35,932 SF

**GR/RPC PROPOSED SETBACK REQUIREMENTS:**  
 FRONT YARD: 20 FT  
 ESDDOZ: 15 FT  
 SIDE YARD: 10 FT  
 REAR YARD: 10 FT  
 MIN LOT AREA: 7800 SF  
 MIN LOT WIDTH: 60 FT  
 MIN LOT DEPTH: 100 FT  
 NON-TIDAL WETLANDS BUFFER: 25 FT  
 VEGETATIVE BUFFER: 20 FT

**DATUM:**  
 VERTICAL: NAVD 88  
 HORIZONTAL: NAD 83 (DE STATE PLANE)

**OWNER/DEVELOPER:**  
 US HOME, LLC  
 7035 ALBERT EINSTEIN DRIVE, SUITE 200  
 COLUMBIA, MD 21046  
 PHONE: (240) 517-9220  
 CONTACT: CHRIS ARMSTRONG

**PREPARED BY:**  
 DAVIS, BOWEN & FRIEDEL, INC.  
 1 PARK AVENUE  
 MILFORD, DE 19965  
 PHONE: (302) 424-1441  
 FAX: (302) 424-0430

**POTABLE WATER DISTRIBUTION GENERAL NOTES**

1. CONTRACTORS APPROVED AND CONTRACTED BY ARTESIAN WATER COMPANY, INC. ARE ONLY PERMITTED TO PERFORM INSTALLATION OF THE WATER DISTRIBUTION SYSTEM.
2. ARTESIAN WATER COMPANY, INC. OR ITS CONTRACTOR IS RESPONSIBLE FOR ALL WATER INSTALLATION.
3. ALL WORK MUST BE IN CONFORMANCE WITH ARTESIAN WATER, INC. STANDARDS AND SPECIFICATIONS.
4. ALL WORK MUST BE HYDROSTATICALLY TESTED AND THEN DISINFECTED. CONTRACTOR SHALL SUPPLY ALL MATERIALS TO TEST AND DISINFECT THE SYSTEM. CONTRACTOR IS REQUIRED TO OBTAIN A CERTIFICATE TO OPERATE FROM DHSS OFFICE OF DRINKING WATER.
5. ALL AREAS DISTURBED SHALL BE RESTORED TO THEIR ORIGINAL CONDITION. IF ADDITIONAL WORK IS REQUIRED IN THE FUTURE THEN THE AREA SHALL BE STABILIZED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLANS.
6. WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM SEWER MAINS. WATER CROSSING SEWER MAINS SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 18" TO OUTSIDE OF PIPES. IF AN 18" CLEARANCE CANNOT BE OBTAINED, A 10 LINEAR FOOT CONCRETE ENCASMENT SHALL BE USED ON THE SEWER MAIN.
7. WHEN IT IS IMPOSSIBLE TO OBTAIN THE MINIMAL 10 FOOT HORIZONTAL AND/OR 18" SEPARATION BETWEEN WATER MAINS AND SANITARY SEWER, THE OFFICE OF ENGINEERING MUST SPECIFICALLY APPROVE ANY VARIANCE SUPPORTED BY DATA FROM THE DESIGN ENGINEER.
8. THE ARTESIAN STANDARDS AND SPECIFICATIONS ARE THE AWC STANDARDS/SPECS/PROCEDURES LAST UPDATED ON 10/16/07. COPIES CAN BE OBTAINED FROM ARTESIAN WATER, INC.
9. THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF CONTRACT DRAWINGS ON WHICH HE SHALL NOTE, IN RED, THE ALIGNMENTS AND INVERTS OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK. ALL DISCREPANCIES BETWEEN THE PLAN LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE AS-BUILT DRAWINGS TO BE MAINTAINED BY THE CONTRACTOR IN THE FIELD.
10. PLAN LOCATIONS AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE SPECIFIED BY THE ENGINEER. THE CONTRACTOR SHALL ADJUST WATERLINE LOCATIONS AS REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
11. WATER SERVICE STUBS SHALL NOT BE INSTALLED BY THE CONTRACTOR PRIOR TO THE SUCCESSFUL PRESSURE TESTING OF THE WATER MAINS.
12. ALL WATER MAINS SHALL HAVE A 42" MINIMUM COVER.

**OWNER'S STATEMENT**

I, THE UNDERSIGNED, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHOULD BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E. BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ONSITE REVIEWS, AND I UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT, AS REFERENCED ON THIS COVERSHEET.

DATE 6/22/22  
 MARK ANDERSON  
 US HOME, LLC  
 7035 ALBERT EINSTEIN DRIVE, SUITE 200  
 COLUMBIA, MD 21046

**ENGINEER'S STATEMENT**

I, W. ZACHARY CROUCH, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DATE JUN 23 2022  
 DAVIS, BOWEN & FRIEDEL, INC.  
 by W. ZACHARY CROUCH, P.E.

**DAVIS, BOWEN & FRIEDEL, INC.**  
 ARCHITECTS, ENGINEERS & SURVEYORS

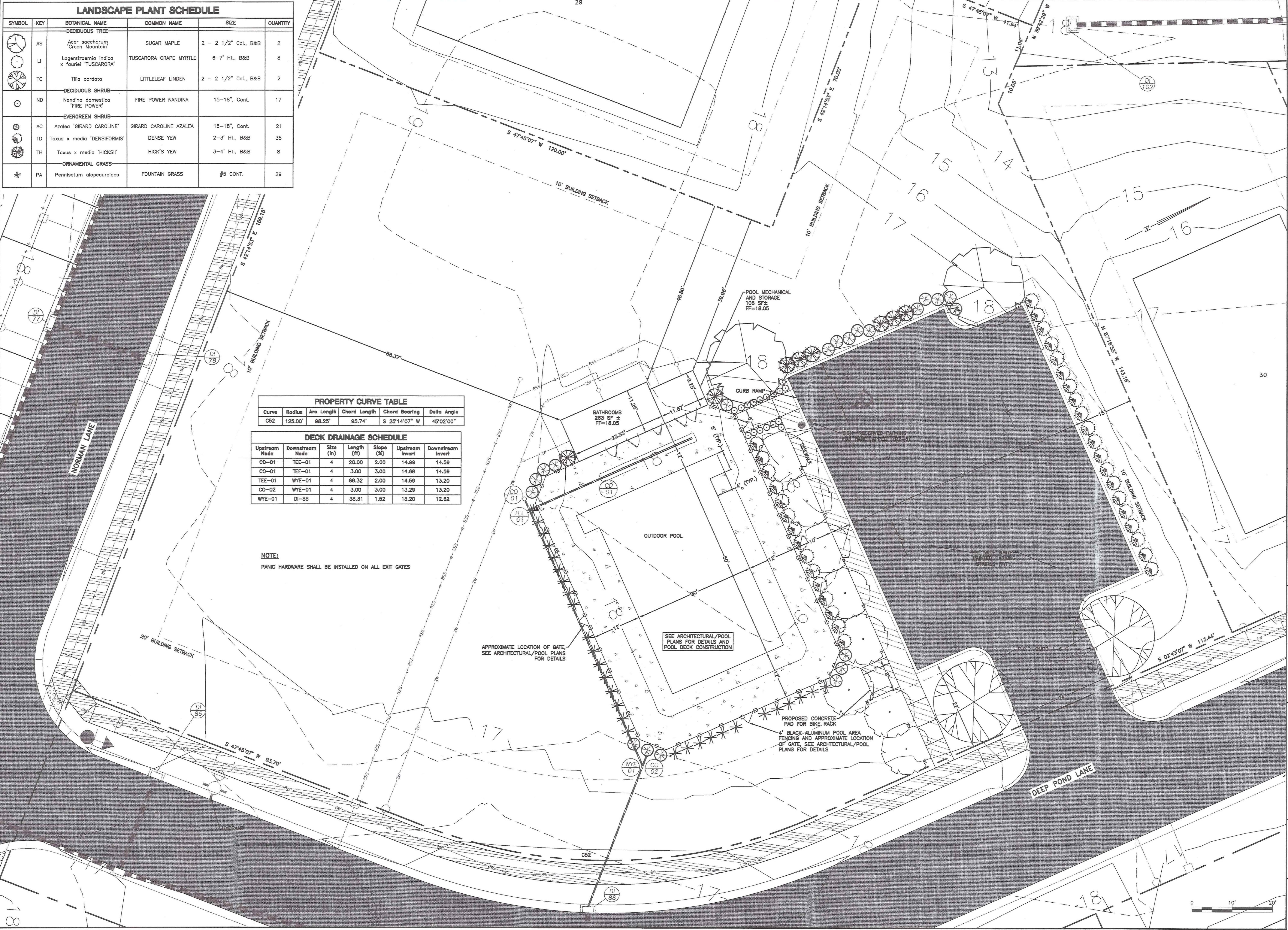
SALISBURY, MARYLAND (410) 543-9091  
 MILFORD, DELAWARE (302) 424-1441  
 EASTON, MARYLAND (410) 770-4744

| LANDSCAPE PLANT SCHEDULE |     |  |                        |                      |          |
|--------------------------|-----|--|------------------------|----------------------|----------|
| SYMBOL                   | KEY | BOTANICAL NAME                             | COMMON NAME            | SIZE                 | QUANTITY |
| <b>DECIDUOUS TREE</b>    |     |  |                        |                      |          |
| AS                       |     | Acer saccharum 'Green Mountain'            | SUGAR MAPLE            | 2 - 2 1/2" Cal., B&B | 2        |
| LI                       |     | Lagerstroemia indica x fauriei 'TUSCARORA' | TUSCARORA CRAPE MYRTLE | 6-7' Ht., B&B        | 8        |
| TC                       |     | Tilia cordata                              | LITTLELEAF LINDEN      | 2 - 2 1/2" Cal., B&B | 2        |
| <b>DECIDUOUS SHRUB</b>   |     |  |                        |                      |          |
| ND                       |     | Nandina domestica 'FIRE POWER'             | FIRE POWER NANDINA     | 15-18", Cont.        | 17       |
| <b>EVERGREEN SHRUB</b>   |     |  |                        |                      |          |
| AC                       |     | Azalea 'GIRARD CAROLINE'                   | GIRARD CAROLINE AZALEA | 15-18", Cont.        | 21       |
| TD                       |     | Taxus x media 'DENSIFORMIS'                | DENSE YEW              | 2-3' Ht., B&B        | 35       |
| TH                       |     | Taxus x media 'HICKSII'                    | HICK'S YEW             | 3-4' Ht., B&B        | 8        |
| <b>ORNAMENTAL GRASS</b>  |     |  |                        |                      |          |
| PA                       |     | Pennisetum alapecuroides                   | FOUNTAIN GRASS         | #5 CONT.             | 29       |

| PROPERTY CURVE TABLE |         |            |              |               |             |
|----------------------|---------|------------|--------------|---------------|-------------|
| Curve                | Radius  | Arc Length | Chord Length | Chord Bearing | Delta Angle |
| C52                  | 125.00' | 98.25'     | 95.74'       | S 25°14'07" W | 45°02'00"   |

| DECK DRAINAGE SCHEDULE |                 |           |             |           |                 |                   |
|------------------------|-----------------|-----------|-------------|-----------|-----------------|-------------------|
| Upstream Node          | Downstream Node | Size (in) | Length (ft) | Slope (%) | Upstream Invert | Downstream Invert |
| CD-01                  | TEE-01          | 4         | 20.00       | 2.00      | 14.99           | 14.59             |
| CO-01                  | TEE-01          | 4         | 3.00        | 3.00      | 14.88           | 14.59             |
| TEE-01                 | WYE-01          | 4         | 69.32       | 2.00      | 14.59           | 13.20             |
| CO-02                  | WYE-01          | 4         | 3.00        | 3.00      | 13.29           | 13.20             |
| WYE-01                 | DI-88           | 4         | 38.31       | 1.52      | 13.20           | 12.62             |

**NOTE:**  
PANIC HARDWARE SHALL BE INSTALLED ON ALL EXIT GATES



**DAVIS, BOWEN & FRIEDEL, INC.**  
ARCHITECTS ENGINEERS SURVEYORS  
BALTIMORE, MARYLAND (410) 543-8001  
SALISBURY, DELAWARE (302) 591-1441  
FISHERS, MARYLAND (410) 775-7474

**MILOS HAVEN**  
**BALTIMORE HUNDRED**  
**SUSSEX COUNTY, DELAWARE**

Revisions:  
05/17/22 05PM COMMENTS  
06/22/22 AGENCY COMMENTS

Date: MAY 6, 2022  
Scale: 1" = 10'  
Dwn.By: BPM  
Proj.No.: 0700A040.D01  
Dwg.No.: **C-101**

P:\Norman\313\A01\Design\0700A040 Amenities Site Grading Utility Plan.dwg Jun 22, 2022 - 4:28pm MACB

# RESUBDIVISION RECORD PLAT

## THE PENINSULA ON INDIAN RIVER BAY PART OF PHASE 6.B - AREA 10 "EIGHTEENTH ON THE BAY"

### RESIDENTIAL PLANNED COMMUNITY (RPC) REVISED SITE PLAN

#### SHEET INDEX:

- COVER
- SUBDIVISION SHEET 1
- SUBDIVISION SHEET 2

#### SITE DATA:

- SITE AREA = 787,787 ac.  
PHASE 6B - AREA 10 = ±16,205 AC.  
RIGHT OF WAY AREA ±1.94 AC.  
STORMWATER MANAGEMENT AREA ±0.986 AC.  
IMPERVIOUS AREA ±2.04 AC. (EXCLUDING BUILDINGS AND FUTURE DRIVEWAYS)  
EXISTING AREA 10 OPEN SPACE ±1.734 AC.  
PROPOSED AREA 10 OPEN SPACE ±2.72 AC.

- TOTAL SITE PREDEVELOPMENT STATE & FEDERAL WETLANDS.  
(N.T.W. WETLANDS = 48.3 ac.)  
(STATE WETLANDS = 176.07 ac.)  
PARCEL K HAS NO WETLANDS IN IT

- OWNERS OF RECORD: ENGINEER/SURVEYOR: MCCRONE, INC.  
TAX MAP 2-34-30, PARCELS 315.07, 315.08 119 NAYLOR MILL ROAD, SUITE 3  
US HOME CORPORATION SALISBURY, MD 21801  
7035 ALBERT EINSTEIN DR ATTN: ROBERT S. KANE, PE  
COLUMBIA, MD 21046 PHONE: (410) 548-1492  
DEED REF: 5646/4 FAX: (410) 548-2055

- TAX MAP 2-34-30, PARCELS 315.09, 315.10  
US HOME CORPORATION  
7035 ALBERT EINSTEIN DR  
COLUMBIA, MD 21046  
DEED REF: 5646/297

- TAX MAP 2-34-30, PARCELS 315.12, 315.13  
US HOME CORPORATION  
7035 ALBERT EINSTEIN DR  
COLUMBIA, MD 21046  
DEED REF: 5682/239

- CURRENT ZONING: MR-RPC (MEDIUM DENSITY RESIDENTIAL DISTRICT - RESIDENTIAL PLANNED COMMUNITY) PER ORDINANCE NO. 1573.

- PROPERTY APPEARS TO BE LOCATED IN FLOOD ZONES "X" UNSHADED - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AND ZONE AE (EL. 6) PER FIRM MAP No. 10005C0481K, MAP REVISED MARCH 16, 2015.

- DATUM: VERTICAL DATUM IS BASED ON NGVD 88, HORIZONTAL DATUM DELAWARE STATE PLANE NAD 83.

- SANITARY SEWER SERVICE: PUBLIC SANITARY SEWER - LONG NECK SANITARY SEWER DISTRICT

- WATER: TO BE SUPPLIED BY TIDEWATER UTILITIES, INC.

- HEIGHT, BULK, AND AREA REQUIREMENTS:

| LOT REQUIREMENTS:                              |                              |
|--|------------------------------|
| SINGLE FAMILY ATTACHED CONDOMINIUMS(TOWNHOUSE) |                              |
| SETBACKS                                       |                              |
| FRONT  | 10'(40' AGG. FRONT AND REAR) |
| REAR   | 30'                          |
| SIDES  | 10'(CORNER UNIT 15')         |
| BETWEEN BUILDINGS                              | 40'                          |
| AVERAGE LOT AREA                               | 4,430 S.F. ±                 |
| MIN. LOT AREA                                  | 3,630 S.F.                   |
| SINGLE FAMILY LOT                              |                              |
| SETBACKS                                       |                              |
| FRONT  | 20'                          |
| REAR   | 10'                          |
| SIDES  | 6' (15' ON CORNER LOTS)      |
| LOT WIDTH                                      | 60' MIN.                     |
| LOT AREA                                       | 7,500 S.F. MIN.              |
| BUILDING HEIGHT                                | 42' MAX.                     |
| DENSITY PROVIDED                               | 2.51 UNIT/AC                 |
| NET DEVELOPMENT AREA                           | ±1.85 AC. (TOWNHOUSE SIDE)   |

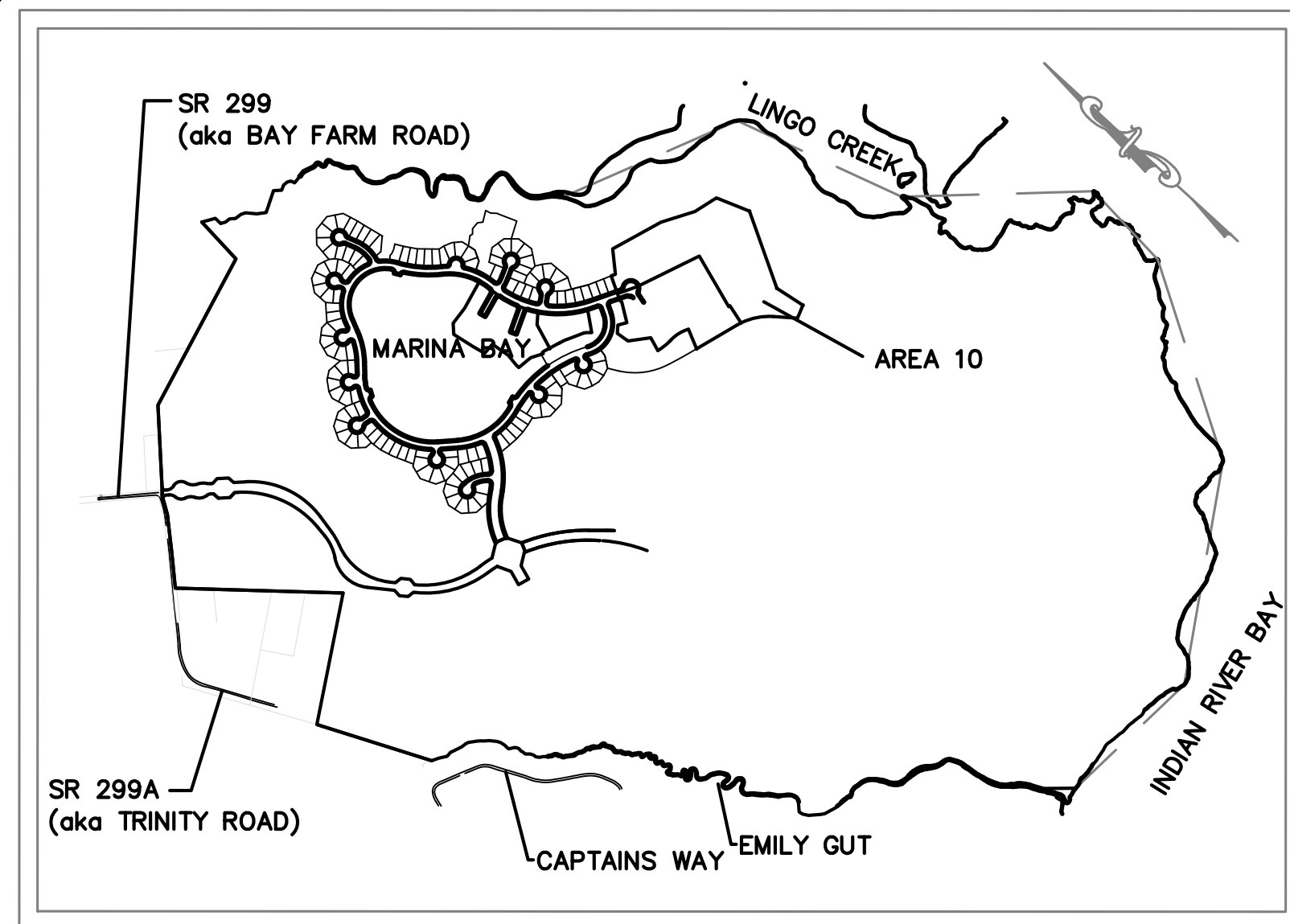
- MAXIMUM NUMBER OF UNITS: THE TOTAL NUMBER OF UNITS WITHIN THE RPC SHALL NOT EXCEED 1,394 UNITS.  
358 SINGLE FAMILY LOTS  
471 SINGLE FAMILY DETACHED CONDOMINIUMS  
270 SINGLE FAMILY ATTACHED TOWN HOUSES  
295 MULTI-FAMILY UNITS

- CURRENT NUMBER OF UNITS:  
286 SINGLE FAMILY LOTS  
388 SINGLE FAMILY DETACHED CONDOMINIUMS  
239 SINGLE FAMILY ATTACHED TOWN HOUSES  
295 MULTI-FAMILY UNITS

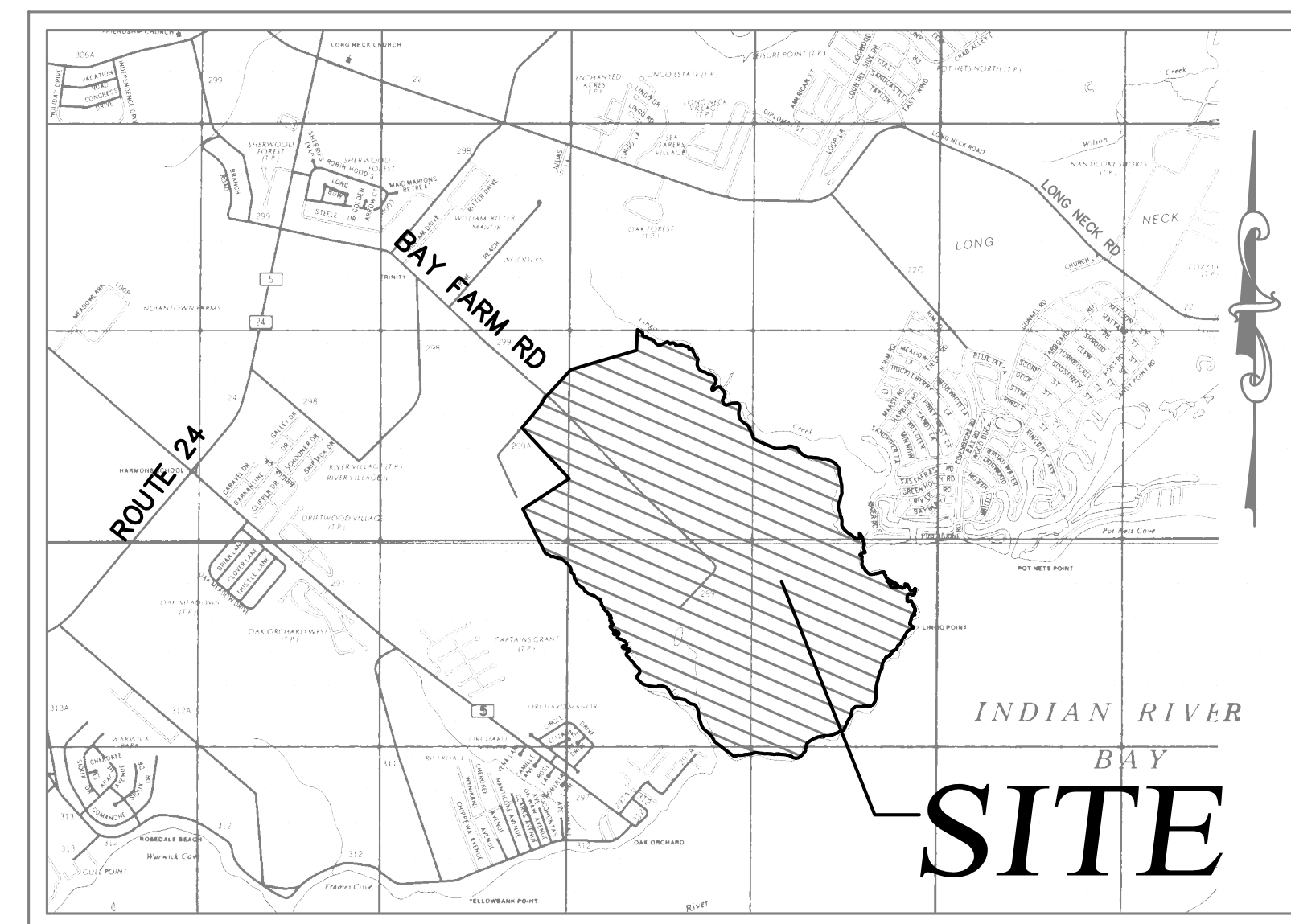
- 18TH ON THE BAY UNITS:

- PREVIOUSLY APPROVED:  
13 (6 UNIT) DETACHED CONDOMINIUMS  
UNDER CONSTRUCTION (AS SHOWN ON PLAN):  
3 (6 UNIT) ATTACHED TOWN HOUSES  
1 (5 UNIT) ATTACHED TOWN HOUSES  
2 (4 UNIT) ATTACHED TOWN HOUSES

- TOTAL NUMBER OF UNITS AFTER IMPROVEMENTS:  
312 SINGLE FAMILY LOTS  
388 SINGLE FAMILY DETACHED CONDOMINIUMS  
270 SINGLE FAMILY ATTACHED TOWN HOUSES - TOWNHOUSES SHOWN ON THIS RECORD PLAT ARE PART OF ORDINANCE NO. 2818  
295 MULTI-FAMILY UNITS



**SITE MAP**  
N.T.S.



**VICINITY MAP**  
N.T.S.

#### GENERAL NOTES

- THE OWNER SHALL CAUSE TO BE FORMED A HOMEOWNERS' ASSOCIATION TO BE RESPONSIBLE FOR THE OWNERSHIP AND MAINTENANCE OF THE STREETS, ROADS, BUFFERS, STORMWATER MANAGEMENT FACILITIES, AND OTHER COMMON AREAS. IN ADDITION, THE ASSOCIATION SHALL MAINTAIN THE CEMETERIES LOCATED WITHIN THE PROJECT. ACCESS TO THE CEMETERIES SHALL NOT BE DENIED TO FAMILY MEMBERS OF THE PERSONS INTERRED IN THE CEMETERIES.
- THE BOUNDARY HEREON IS BASED ON A FIELD RUN SURVEY BY MCCRONE, INC., IN FEBRUARY, 2002.
- THE AERIAL DEPICTING THE PHYSICAL FEATURES SHOWN HEREON WAS BASED ON AN AERIAL SURVEY ON JANUARY 22, 2002.
- UTILITY EASEMENTS DEPICTED HEREON REPRESENT, TO THE GREATEST EXTENT PERMITTED BY LAW, PRIVATE EASEMENTS FOR THE EXCLUSIVE USE AND BENEFIT OF THOSE UTILITY COMPANIES AND/OR OTHER PROVIDERS OF SERVICES TO THE DEVELOPMENT AS MAY BE DESIGNATED BY OWNER, OR ITS SUCCESSORS AND ASSIGNS, FROM TIME TO TIME BY AN INSTRUMENT IN WRITING, AND IN NO WAY GRANT, CONVEY OR CREATE ANY GENERAL PUBLIC UTILITY EASEMENT OR ANY GENERAL OR PUBLIC ACCESS RIGHTS.
- UNLESS OTHERWISE DESIGNATED BY OWNER, OR ITS SUCCESSORS AND ASSIGNS, FROM TIME TO TIME BY AN INSTRUMENT IN WRITING, STORM DRAIN EASEMENTS DEPICTED HEREON REPRESENTS PRIVATE EASEMENTS TO ACCESS THE STORM DRAINS FOR THE SOLE PURPOSE OF MAINTAINING AND REPAIRING SUCH STORM DRAINS, AND IN NO WAY GRANT, CONVEY OR CREATE ANY GENERAL PUBLIC UTILITY EASEMENT OR ANY GENERAL OR PUBLIC ACCESS RIGHTS.
- THE HOMEOWNERS' ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER DRAINAGE AND MANAGEMENT FACILITIES RELATED TO THE RESIDENTIAL PROPERTIES, HOMEOWNERS' ASSOCIATION PROPERTIES AND ROAD RIGHT-OF-WAY WITHIN THE PROJECT. THE HOMEOWNERS' ASSOCIATION SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER DRAINAGE AND MANAGEMENT FACILITIES THAT CONVEY STORMWATER FROM THESE THREE AREAS THROUGH THE GOLF COURSE PROPERTIES. HOWEVER, MAINTENANCE OF THE PORTION OF THE STORMWATER DRAINAGE AND MANAGEMENT FACILITIES RELATED TO THE GOLF COURSE SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE GOLF COURSE PROPERTIES. ALL STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION AS REQUIRED BY SUSSEX COUNTY, DELAWARE AND IN ACCORDANCE WITH THE DEVELOPER'S RESTRICTIVE COVENANTS ON GOLF COURSE PROPERTIES ENTERED INTO BY AND BETWEEN THE DEVELOPER AND THE HOMEOWNERS' ASSOCIATION (THE "GOLF COURSE COVENANTS"). SHOULD THE OWNER OR OWNERS OF THE GOLF COURSE PROPERTIES DEFAULT IN THE MAINTENANCE OF THE STORMWATER DRAINAGE AND MANAGEMENT FACILITIES, THE HOMEOWNERS' ASSOCIATION SHALL HAVE THE RIGHT TO MAINTAIN THE FACILITIES SUBJECT TO THE TERMS AND CONDITIONS OF THE GOLF COURSE COVENANTS.
- FOR EXISTING EASEMENT DESCRIPTIONS, SEE PLAT 355/64
- THERE SHALL BE AN EASEMENT, 10' WIDE ALONG THE R.O.W. FOR THE PURPOSE OF UTILITY, IRRIGATION, AND OPEN SPACE ACCESS, UNLESS OTHERWISE NOTED. (AS SHOWN ON THE PLAN)
- THERE SHALL BE AN EASEMENT, 15' WIDE FROM THE REAR PROPERTY LINES OF LOTS 154-176, FOR THE PURPOSE OF UTILITY. (AS SHOWN ON THE PLAN)
- UNITS SHOWN ARE EXISTING - UNDER CONSTRUCTION
- THERE HAVE BEEN TWO CHANGE OF ZONE APPLICATIONS FOR THE PENINSULA RESIDENTIAL PLANNED COMMUNITY (RPC) AND THEY ARE AS FOLLOWS:  
11.1 (CZ) 1475, WHICH WAS RECOMMENDED APPROVAL BY THE PLANNING AND ZONING COMMISSION AT THEIR MEETING OF 9/12/02, APPROVED BY THE SUSSEX COUNTY COUNCIL AT THEIR MEETING OF 11/19/02 AND ADOPTED THROUGH ORDINANCE NO. 1573.  
11.2 (CZ) 1883, WHICH WAS RECOMMENDED APPROVAL BY THE PLANNING AND ZONING COMMISSION AT THEIR MEETING OF 6/27/19, APPROVED BY THE SUSSEX COUNTY COUNCIL AT THEIR MEETING OF 10/8/19 AND ADOPTED THROUGH ORDINANCE NO. 2690. IT IS NOTED THAT CONDITION NO. 1 WAS AMENDED TO ALLOW FOR THE PROVISION OF UP TO 358 SINGLE FAMILY LOT TOTAL.  
11.3 CHANGE OF ZONE NO. 1883 (ORDINANCE NO. 2690) AND CHANGE OF ZONE NO. 1475 (ORDINANCE NO. 1573) TO AMEND THE TOTAL TYPES AND NUMBERS PERMITTED. PLEASE REFER TO SITE INFORMATION FOR UPDATED NUMBER OF HOUSING UNITS PERMITTED.
- THIS PROJECT PROPOSES NO CHANGES TO THE TYPES OR TOTALS OF DWELLING UNITS AS PERMITTED UNDER ORDINANCE NO. 2818.

#### LEGEND

|  |  |
|--|--|
|  | EXISTING PROPERTY/R.O.W. LINE                                  |
|  | BUILDING RESTRICTION LINE                                      |
|  | EXISTING EASEMENT LINE TO REMAIN                               |
|  | EXISTING EASEMENT HATCH TO REMAIN                              |
|  | EXISTING EASEMENT LINE TO BE REMOVED                           |
|  | PROPOSED PROPERTY LINE TO BE ADDED                             |
|  | PROPOSED IRRIGATION, UTILITY, OPEN SPACE ACCESS EASEMENT HATCH |

#### OWNERS STATEMENT

I, HEREBY CERTIFY THAT US HOME CORPORATION, IS THE OWNER OF THE PROPERTY(IES) WHICH IS(ARE) THE SUBJECT OF THIS PLAT; THAT THIS SUBDIVISION PLAT THEREOF WAS MADE AT THEIR DIRECTION; THAT ALL STREETS SHOWN HEREON ARE TO BE PRIVATE RIGHT-OF-WAYS AND ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION; THAT ALL PROPOSED STREET CONTROL MONUMENTS WILL BE SET AT THE LOCATIONS SHOWN, AND, THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DESIRE THIS PLAT BE RECORDED ACCORDING TO LAW.

US HOME CORPORATION  
AUTHORIZED AGENT:

NAME \_\_\_\_\_ DATE: \_\_\_\_\_

#### CERTIFICATION OF ACCURACY

I, ROBERT S. KANE, CERTIFY THAT THIS FINAL PLAT IS A CORRECT REPRESENTATION OF THE SURVEY MADE, THAT ALL MONUMENTS INDICATED HEREON EXIST OR WILL BE SET AND ARE CORRECTLY SHOWN AND THAT THE PLAT COMPLIES WITH ALL REQUIREMENTS OF THE SUSSEX COUNTY SUBDIVISION OF LAND REQUIREMENTS AND OTHER APPLICABLE LAWS AND REQUIREMENTS.

ROBERT S. KANE, PROFESSIONAL ENGINEER, DE. NO. 13538 DATE \_\_\_\_\_

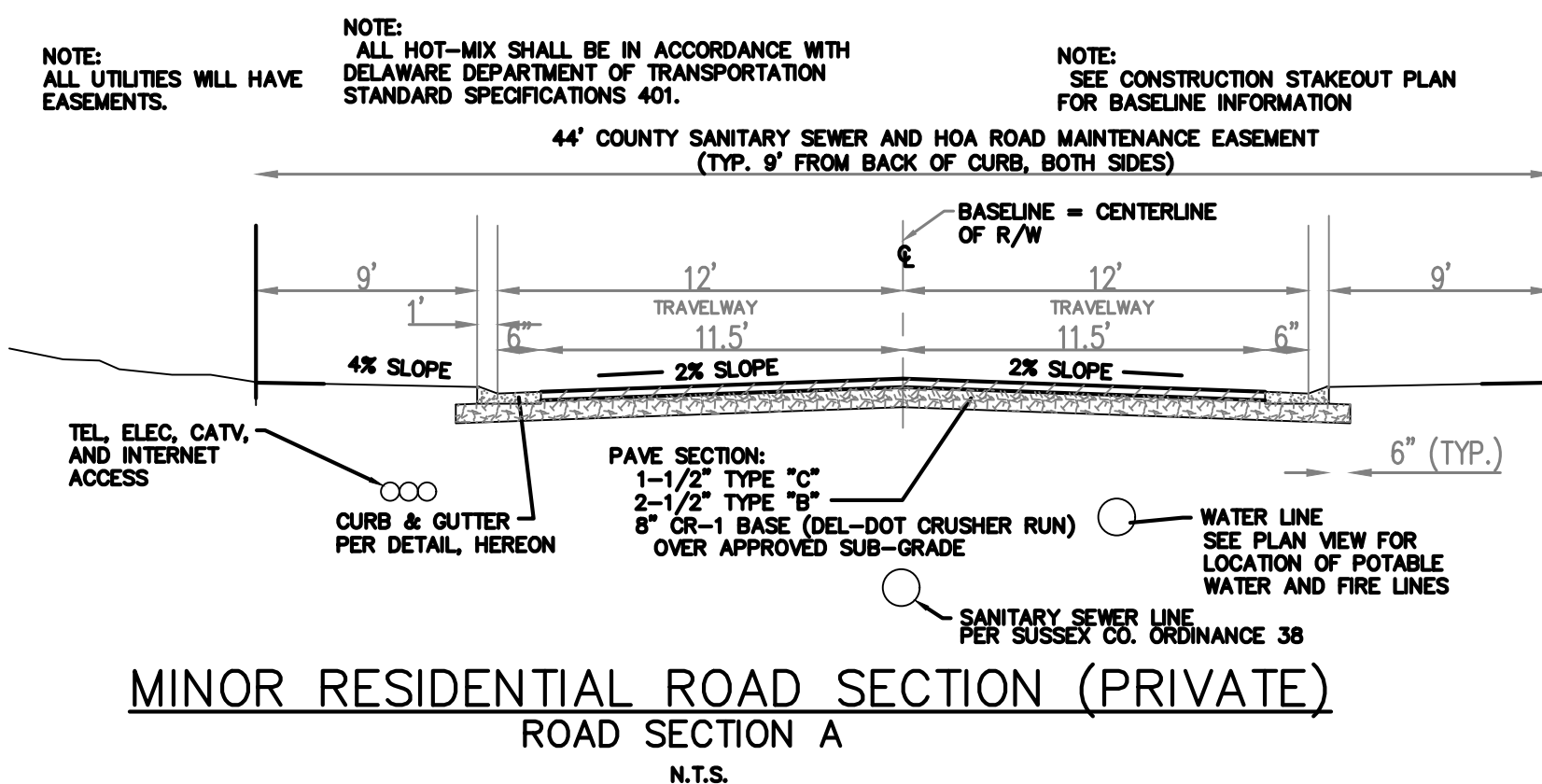
#### CERTIFICATION OF PLAN APPROVAL

APPROVED \_\_\_\_\_ BY \_\_\_\_\_  
DATE \_\_\_\_\_ CHAIRMAN OR SECRETARY OF THE SUSSEX COUNTY PLANNING COMMISSION

APPROVED \_\_\_\_\_ BY \_\_\_\_\_  
DATE \_\_\_\_\_ PRESIDENT OF THE SUSSEX COUNTY COUNCIL

#### SUSSEX CONSERVATION DISTRICT APPROVAL

APPROVED \_\_\_\_\_ BY \_\_\_\_\_  
DATE \_\_\_\_\_



**REVISION NOTE:** THIS PLAT SUPERCEDES PLOT ENTITLED "RESUBDIVISION RECORD PLAT & LOT LINE ADJUSTMENT, THE PENINSULA ON INDIAN RIVER BAY, PHASE 6.B - AREA 10 'EIGHTEENTH ON THE BAY'", FILED FOR RECORD IN THE OFFICE OF RECORDER OF DEEDS FOR SUSSEX COUNTY IN PLOT VOLUME 355, PAGES 64 TO 70, WITH THE INTENT TO FURTHER SUBDIVIDE TAX MAP PARCELS 234-30-315.07, 315.08, 315.09, 315.10, 315.12, 315.13 & 315.15 FOR PURPOSES OF PROVIDING FEE SIMPLE OWNERSHIP.

| REVISIONS |      |             |
|-----------|------|-------------|
| REV. #    | DATE | DESCRIPTION |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |

**MCCRONE**  
ENGINEERS ■ SURVEYORS ■ PLANNERS  
ANNAPOLIS ■ CENTREVILLE ■ ELKTON ■ SALISBURY ■ DELAWARE

119 NAYLOR MILL ROAD, SUITE 6  
SALISBURY, MD 21801  
(410) 548-1492

www.mccrone-engineering.com Copyright © 2017

|                   |          |
|-------------------|----------|
| DATE:             | 9/7/2022 |
| JOB NUMBER:       | D2190100 |
| SCALE:            | NTS      |
| DRAWN BY:         | SG       |
| DESIGNED BY:      | RC       |
| APPROVED BY:      | RSK      |
| FOLDER REFERENCE: |          |

COVER  
FOR THE LANDS OF  
U.S. HOME CORPORATION  
PART OF PHASE 6.B - AREA 10  
"EIGHTEENTH ON THE BAY"  
THE PENINSULA ON INDIAN RIVER BAY  
A "RESIDENTIAL PLANNED COMMUNITY" (RPC)  
INDIAN RIVER HUNDRED  
LONG NECK, SUSSEX COUNTY, DELAWARE

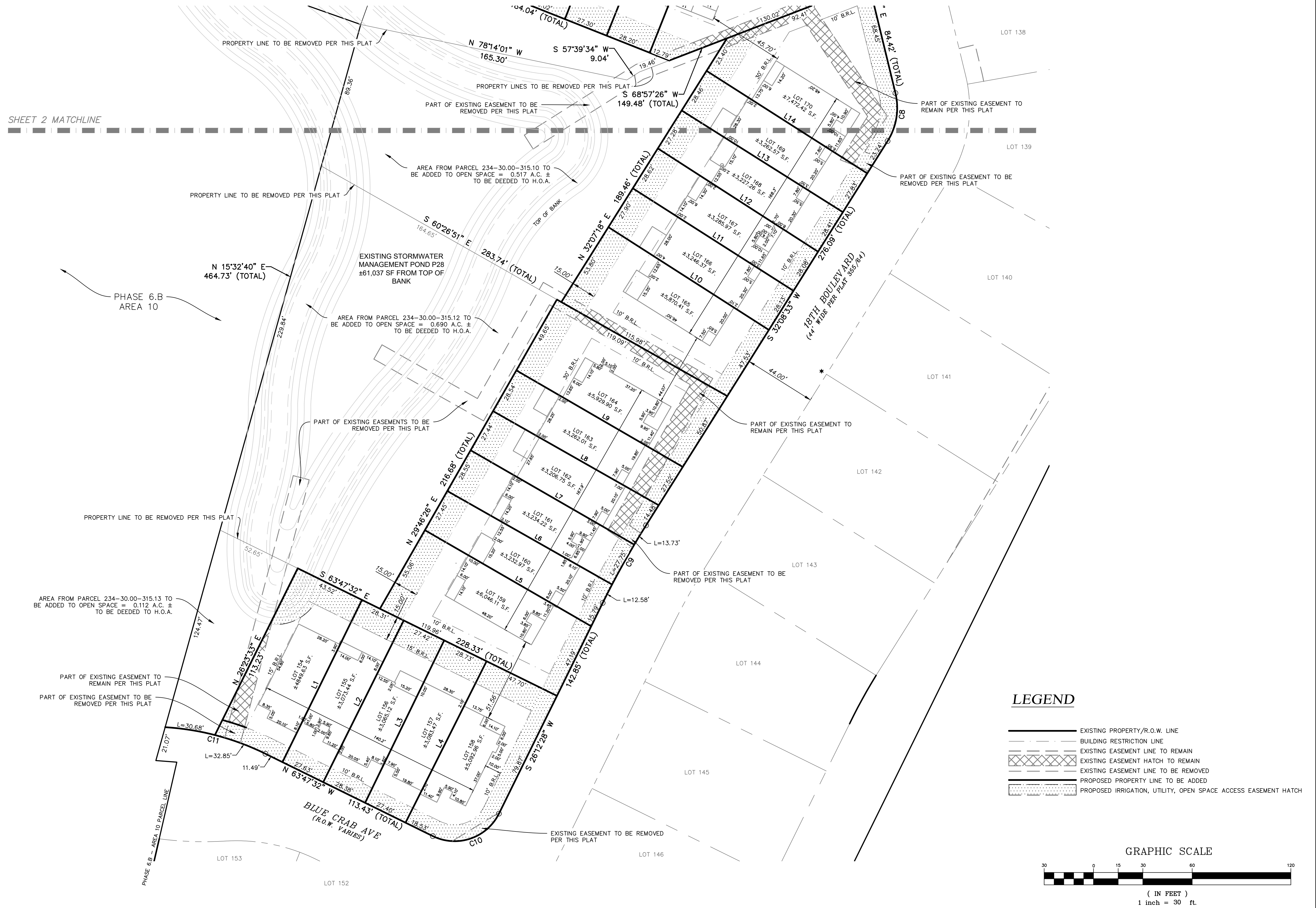
SHEET NO.: 1 OF 3  
FILE NO.: 190100-CONDOSUBDIVISION PLAT

| Curve | Length | Radius | Chord Bearing | Chord | Delta Angle |
|-------|--------|--------|---------------|-------|-------------|
| C1    | 9.83   | 30.00  | N38° 16' 03"E | 9.79  | 18° 46' 32" |
| C2    | 44.64  | 122.50 | N37° 13' 00"E | 44.39 | 20° 52' 36" |
| C3    | 39.65  | 28.00  | N62° 10' 18"E | 36.42 | 81° 06' 37" |
| C4    | 63.97  | 322.00 | S82° 56' 53"E | 63.87 | 11° 22' 59" |
| C5    | 75.25  | 278.00 | S80° 53' 08"E | 75.02 | 15° 30' 30" |
| C6    | 45.61  | 322.00 | S65° 41' 14"E | 45.58 | 8° 06' 59"  |
| C7    | 27.42  | 28.00  | S41° 41' 26"E | 26.34 | 56° 06' 35" |
| C8    | 30.36  | 38.00  | S9° 15' 12"W  | 29.56 | 45° 46' 41" |
| C9    | 54.07  | 522.00 | S29° 10' 30"W | 54.04 | 5° 56' 05"  |
| C10   | 47.12  | 30.00  | S71° 12' 28"W | 42.43 | 90° 00' 00" |
| C11   | 63.53  | 160.00 | N75° 10' 00"W | 63.11 | 22° 44' 56" |

| Line | Bearing       | Length |
|------|---------------|--------|
| L1   | N26° 05' 35"E | 109.87 |
| L2   | N26° 26' 52"E | 109.87 |
| L4   | N26° 38' 27"E | 109.87 |
| L5   | N59° 58' 51"W | 116.80 |
| L6   | N60° 24' 44"W | 115.18 |
| L7   | N60° 00' 53"W | 114.86 |
| L8   | N60° 23' 26"W | 115.85 |
| L9   | N59° 52' 37"W | 116.99 |
| L10  | N57° 20' 58"W | 115.88 |
| L11  | N57° 27' 49"W | 115.89 |
| L12  | N57° 11' 49"W | 115.91 |
| L13  | N57° 45' 21"W | 115.91 |
| L14  | N57° 26' 53"W | 115.92 |

| Lot # | Area           |
|-------|----------------|
| 154   | 4849.63 ± S.F. |
| 155   | 3073.44 ± S.F. |
| 156   | 3065.12 ± S.F. |
| 157   | 3083.47 ± S.F. |
| 158   | 5092.96 ± S.F. |
| 159   | 6046.11 ± S.F. |
| 160   | 3232.97 ± S.F. |
| 161   | 3234.22 ± S.F. |
| 162   | 3206.75 ± S.F. |
| 163   | 3262.01 ± S.F. |
| 164   | 5929.90 ± S.F. |
| 165   | 5870.41 ± S.F. |
| 166   | 3246.37 ± S.F. |
| 167   | 3285.97 ± S.F. |
| 168   | 3227.26 ± S.F. |
| 169   | 3262.57 ± S.F. |
| 170   | 7472.42 ± S.F. |
| 171   | 7722.43 ± S.F. |
| 172   | 3107.82 ± S.F. |
| 173   | 3066.87 ± S.F. |

| Lot # | Area           |
|-------|----------------|
| 174   | 3127.56 ± S.F. |
| 175   | 3197.08 ± S.F. |
| 176   | 7302.99 ± S.F. |
| 177   | 7171.63 ± S.F. |
| 178   | 3273.40 ± S.F. |
| 179   | 3177.66 ± S.F. |
| 180   | 6276.68 ± S.F. |
| 181   | 5426.62 ± S.F. |
| 182   | 3319.36 ± S.F. |
| 183   | 3441.69 ± S.F. |
| 184   | 7288.63 ± S.F. |



| REVISIONS |      |             |  |
|-----------|------|-------------|--|
| REV. #    | DATE | DESCRIPTION |  |
|           |      |             |  |
|           |      |             |  |
|           |      |             |  |
|           |      |             |  |
|           |      |             |  |

**McCRONE**  
 ENGINEERS ■ SURVEYORS ■ PLANNERS  
 ANNAPOLIS ■ CENTREVILLE ■ ELKTON ■ SALISBURY ■ DELAWARE  
 119 NAYLOR MILL ROAD, SUITE 6  
 SALISBURY, MD 21801  
 (410) 548-1492  
 www.mccrone-engineering.com Copyright © 2017

|                   |           |
|-------------------|-----------|
| DATE:             | 8/30/2022 |
| JOB NUMBER:       | D2190100  |
| SCALE:            | 1"=30'    |
| DRAWN BY:         | SG        |
| DESIGNED BY:      | SG        |
| APPROVED BY:      | RSK       |
| FOLDER REFERENCE: |           |

SUBDIVISION  
 FOR THE LANDS OF  
**U.S. HOME CORPORATION**  
 PART OF PHASE 6.B - AREA 10  
**"EIGHTEENTH ON THE BAY"**  
 THE PENINSULA ON INDIAN RIVER BAY  
 INDIAN RIVER HUNDRED  
 LONG NECK, SUSSEX COUNTY, DELAWARE





**Application Form**  
**Submitted By: Anonymous user**  
**Submitted Time:**  
**March 1, 2022 3:03 PM**

**PLUS ID: 2022-03-15**

**State Strategy Level: 2 & 3**

### **PLUS Application Type - Subdivision**

**Title:** Milton Village

**County:** Sussex County

**Municipality:** Unincorporated

**Description of PLUS project/plan:**

Development master plan consisting of multifamily, single family, townhomes, retail, medical office, and assisted living

### **Section I: Project Location**

How many parcels are involved in this project?

Multiple Parcels

Total number of parcels being reviewed for this project

3

Parcel ID(s): 235-14.00-81.00 235-14.00-82.00 235-14.00-77.00

Project Location: Intersection of us rt 30 and us rt 16

If contiguous to a municipality, are you seeking Annexation? No

### **Section II: Project Contact Information**

#### **Owner Contact Information**

1630 VENTURES LLC

1 SOUTH CLEVELAND AVE

Wilmington, DE 19805

Phone: (302) 652-3838

Email: kdisabatino@disabatino.com

Fax:

#### **Equitable Owner/Developer Contact Information**

Is there and Equitable Owner/Developer for this project? **No**

Phone: ( ) -  
Email:  
Fax: ( ) -

### Project Engineer/Designer Contact Information

Is there a Project Engineer or Designer for this project? **Yes**  
Becker Morgan Group, Inc.  
Jon Falkowski  
Phone: (302) 734-7950  
Email: jfalkowski@beckermorgan.com  
Fax: (302) 734-7965

Please designate a Primary Contact for this Project/Application.  
Owner

### **Section III: Project Details**

Project Area (Acres): **208**  
Type of Development: **Residential**  
If Mixed Use, what types are included:

#### Previous PLUS Information

Was this property a subject of a previous PLUS Review? **Yes**  
If Previous PLUS, what was the PLUS ID: **2006-06-05**

#### Zoning Information

Present Zoning for this project area: **AR-1, C-1, HR**  
Proposed Zoning for this project: **AR-1, C-1, HR**

#### Land Use Information

Present Use for this project area: **AGRICULTURAL**  
Proposed Use for this project: **COMMERCIAL/RESIDENTIAL**

### Residential Development Information

Type of Residential: **Mixed Residential**  
If mixed residential, what types of residential? **Single Family, Multi-Family \*5+ units/bldg, Duplex or Townhouse**

Residential Target Market: **Ownership, Rental**

Type of Homeownership: **Entry-level, Market rate, Second home**  
Total number of Homeownership units: **400**

Type of Rental Units: **Market rate**  
Total number Rental Units: **296**



### Table of Residential Units Proposed

| <b>Total Res. Units</b> | <b>Single Family</b> | <b>Multi-Family</b> | <b>Duplex/Townhouse</b> |
|-------------------------|----------------------|---------------------|-------------------------|
| 696                     | 277                  | 296                 | 123                     |

### Commercial Development Information

Type of Commercial: **Retail Shopping Center**

Type of Industrial:

Institution Type:

Total Square footage:

### School Development Information

School Level:

Estimated Square Footage of School:

Estimated Number of Students:

What Fiscal Year (FY) do you anticipate applying for the Certificate of Necessity (CN)?

Does this project require a Conditional Use decision? **No**

If yes, please provide a brief description of the conditional use justification:

Are there any Federal permits, licensing, or funding anticipated for this project?

**No**

If yes, please describe/elaborate

### Site Visit Option

To promote an accurate review of your project's features, would you permit a State agency site visit? **No**

If yes, please provide a contact name and phone number to schedule a site visit:

## **Section IV: Utilities**

### Water Supply Details

What type of water provider will be used for this project? **Public Utility**

Who is the Water Service Provider: **Other Artesian**

Will a new public well be located at this site? **No**

Wastewater Supply Details

What type of wastewater Supply provider will be used for this project? **Public Utility**  
Who is the Wastewater Service Provider: **Artesian**  
Will a new public wastewater system be located at this site?  
**Yes**

**Section V: Environmental Details**

Forestland detail

| <b>Existing Forested Area (Y/N)</b> | <b>Existing Forest (acres)</b> | <b>Will any forest be removed? (Y/N)</b> | <b>Estimated Removed Forest (acres)</b> |
|-------------------------------------|--------------------------------|--|---|
| Yes                                 | 26                             | Yes                                      | 14                                      |

Wetlands Details

Based on your PLUS Pre-Check report, are there any wetlands, as defined by the U.S. Army Corps of Engineers OR the Delaware Department of Natural Resources and Environmental Control (DNREC) on this site?  
**No**

Tidal Wetlands

Are there Tidal Wetlands?  
If yes, estimated Acres of Tidal Wetlands:

Non-tidal Wetlands

Are there Non-Tidal Wetlands?  
If yes, estimated Acres of Non-Tidal Wetlands:

Wetland Impact

Will the site design proposed directly impact these wetland areas and/or do you anticipate a wetlands permit will be required?

If yes, estimated acres of wetlands impacted:

Wetland Delineation

Have the wetlands been delineated?  
If delineated, has the U.S. Army Corps of Engineers signed off on the delineation?

Tax Ditch Details

Based on your PLUS Pre-Check report, is this site within the buffer area or contain a Tax Ditch, public ditch, or private ditch (that directs water off-site)?  
**No**

Stormwater Management Details

List the proposed stormwater management practices for this site:  
**INFILTRATION FACILITIES**

### Open Space Details

Is there Open Space proposed for this project? **Yes**

Estimated acres of Open Space proposed: **20**

What kind of Open Space? **Active Recreation, Passive Recreation, Stormwater Management**

Please list the "other" type of Open Space:

Will any land from this project be dedicated for community use (e.g. police, fire, school)?

**No**

Please describe anticipated community use

## **Section VI: Transportation / Mobility / Connectivity**

### Vehicle Trip Details

Do you have estimated vehicle trip information? **Yes**

Please provide estimated vehicle trips this project will generate on an average weekday.

**18,333**

What percentage of these trips will be from school buses, large commercial trucks such as Tractor-trailers, and/or delivery trucks (larger than a van or pick-up)?

### Road Connectivity Details

Will this project connect to State maintained roads? **Yes**

Please list any locations where this project could physically be connected to existing or future development or adjacent land for connectivity/mobility and indicate your willingness to discuss making these connections.

**EAST PARCEL**

### Mobility Details

Is there a proposed or existing accessway (sidewalk transition from infrastructure in ROW to internal pathways)?

**Yes**

Have there already been discussions with DTC Planning staff of the need for new or improving existing transit stops on-site, near the site but within right-of-way, and/or as a companion stop?

**No**

Is there an opportunity to connect to a larger bike, pedestrian, or transit network?

**Yes**

### Table of Mobility Connectivity Parameters

|                         | <b>Sidewalks</b>              | <b>Bike Paths</b>   | <b>Bus Stops</b> |
|-------------------------|-------------------------------|---------------------|------------------|
| <b>Currently exist?</b> | No                            | No                  | No               |
| <b>Type existing</b>    |                               |                     |                  |
| <b>Proposed to add?</b> | Yes                           | Yes                 |                  |
| <b>Type proposed</b>    | Internal, Within Right-of-Way | Within Right-of-Way |                  |

## Section VII: Historic / Cultural Information

Based on your PLUS Pre-Check report, has a cultural resource professional previously evaluated the site for historic and/or cultural resources?

**No**

If no, I acknowledge that the Pre-Check against the CHRIS system did not identify any historic/cultural resource areas on this site.

**Acknowledge**

If yes, please provide details regarding evaluation by a cultural resource professional.

Based on your PLUS Pre-Check report, is this site in the VICINITY of any known historic/cultural resources or sites?

**No**

If no, I acknowledge that the Pre-Check against the CHRIS system did not identify any historic/cultural resource areas near this site.

**Acknowledge**

If yes, please provide details regarding known historic/cultural resources near the project site.

## Section IX: Signatures

Is the person completing this form the Property Owner? **No**

If yes, Signature of Owner completing form

**If no, after you submit this application, you will be emailed with a request to upload the Owner Signature Form to the Delaware Planning Drop Box site.**

Signature of Person completing form on behalf of the Property Owner

A handwritten signature in black ink that reads "Jon Falk". The signature is written in a cursive style with a long horizontal line extending to the right.

**As the project contact, I acknowledge that this application will not be complete until OSPC receives the Owner Signature Acknowledge**



**Project Owner Signature**

This page needs to accompany the completed PLUS application for any project. The person signing this form shall be the actual owner of the property where the proposed project is located.

Project Name: Milton Village

Project ID (to be completed by OSPC): \_\_\_\_\_

I hereby certify that I am the owner of the property identified in the accompanying PLUS application.

A handwritten signature in black ink, appearing to read "Ki Ki", written over a horizontal line.

Signature of Property Owner

A handwritten date "3/1/2022" written in black ink over a horizontal line.

Date

\_\_\_\_\_

Signature of Additional Owner (if applicable)

\_\_\_\_\_

Date





MILTON ELLENDALE HWY

GRAVEL HILL RD

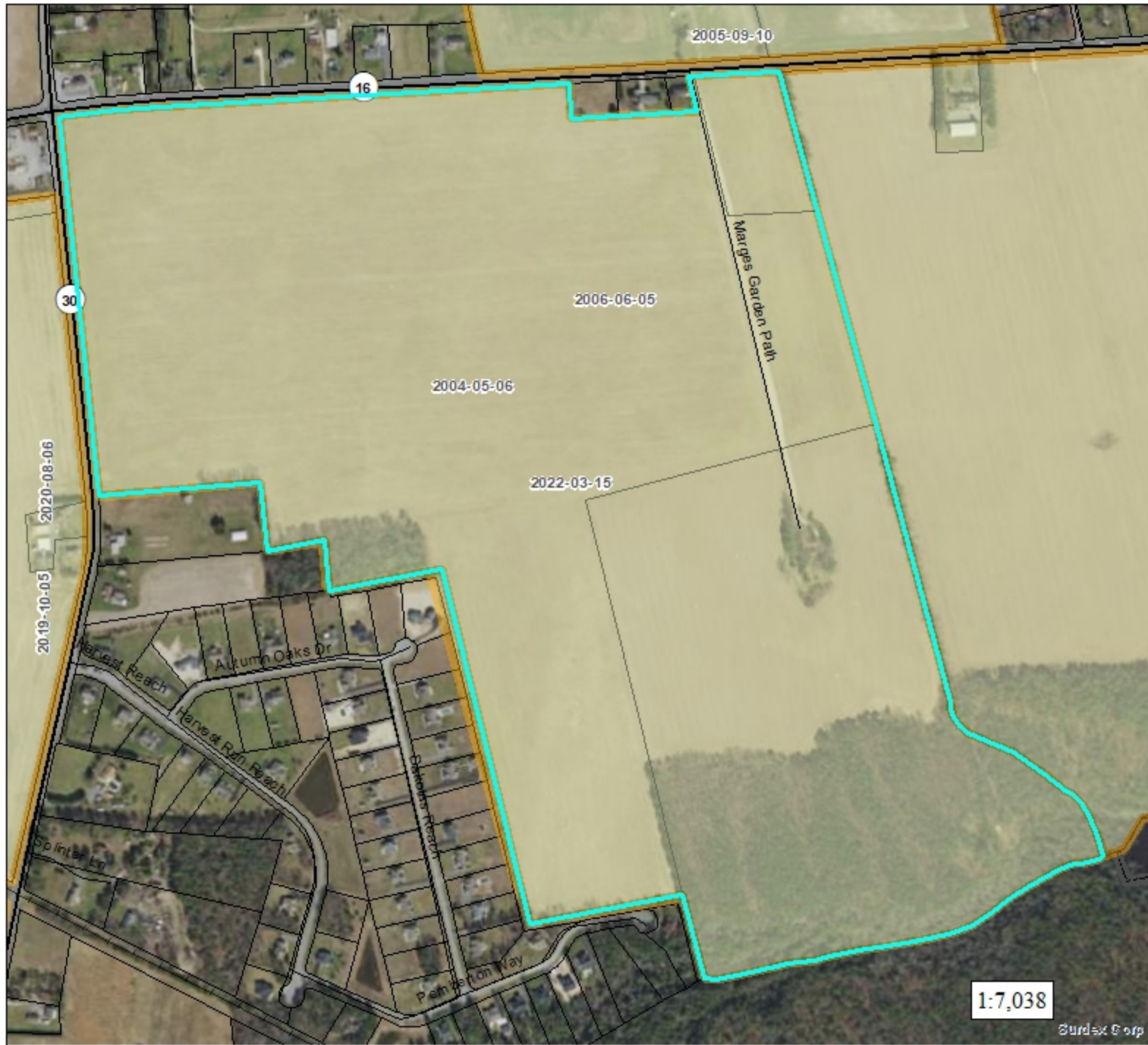
- 277 SFD LOTS - MIN LOT SIZE 60' X 125'
- 123 TH LOTS - MIN TH LOT SIZE: 28' X 115'
- 288-296 APT UNITS
- 35,000 SF - ASSISTED LIVING
- 80,000 SF - MEDICAL OFFICE SPACE
- 210,000 SF - COMMERCIAL / RETAIL SPACE







# Preliminary Land Use Service (PLUS)



PLUS 2022-03-15  
Milton Village

**Legend**

**PLUS Project Areas**

- Comp Plans
- All Other PLUS Reviews
- Municipal Boundaries

## Location Map



1:7,038

Surdex Corp

PUBLIC PRE CHECK Results for State Parcel(s): No Area(s) Selected.

Underground Storage Tanks: Failed to execute. Parameters are not valid.  
ERROR 000735: Input Features: Value is required  
WARNING 000725: Output Layer: Dataset f"memory\\{fl\_name}" already exists.  
Failed to execute (MakeFeatureLayer).

SIRB Project Areas: Failed to execute. Parameters are not valid.  
ERROR 000735: Input Features: Value is required  
WARNING 000725: Output Layer: Dataset f"memory\\{fl\_name}" already exists.  
Failed to execute (MakeFeatureLayer).

Wetlands: Issue Found

Aglands Preservation Districts: Issue Found

Soils - Sussex County: Issues Found

DE FIRM: Issues Found

Delaware Ecological Network: Issues Found

Ocean Area No Build Points: No Issues Found

Soils - Kent County: No Issues Found

Bay Area No Build Line: No Issues Found

Land and Water Conservation Fund: No Issues Found

Tax Ditch ROWs: No Issues Found

Tax Ditch Segments: No Issues Found

Well Head Protection Areas: No Issues Found

WRPA: No Issues Found

Park Facilities: No Issues Found

Soils - New Castle County: No Issues Found

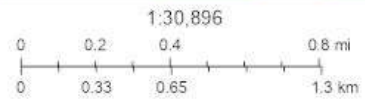
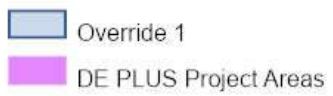
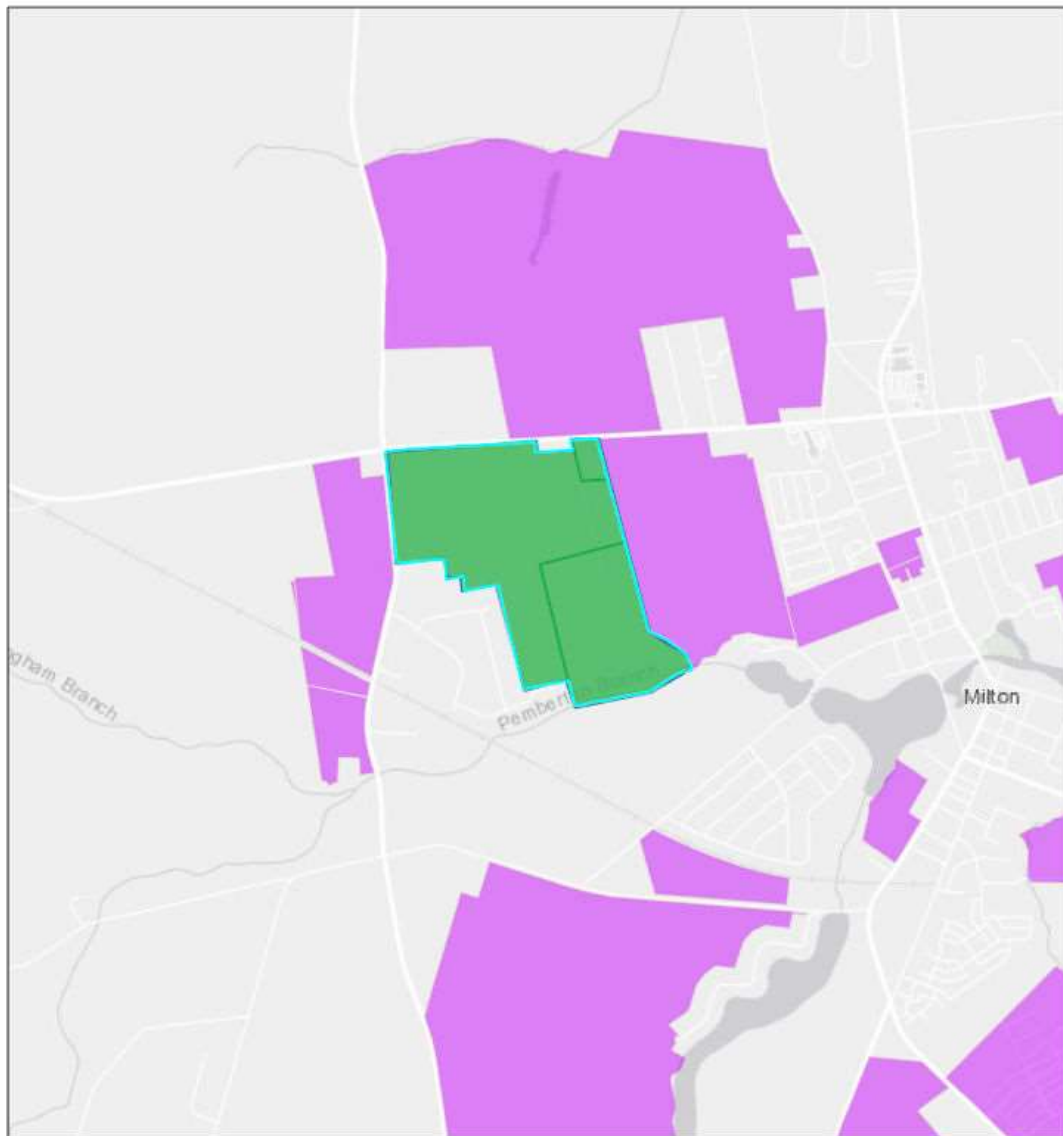


# Screening Report

## Area of Interest (AOI) Information

Area : 215.32 acres

Mar 4 2022 13:03:38 Eastern Standard Time



## Summary

| Name                      | Count | Area(acres) | Length(mi) |
|---------------------------|-------|-------------|------------|
| Existing PLUS ID          | 3     | 496.52      | N/A        |
| State Parcel ID           | 11    | 215.07      | N/A        |
| National Register Place   | 0     | N/A         | N/A        |
| Historic District         | 0     | 0           | N/A        |
| Historic Marker           | 0     | N/A         | N/A        |
| Ag. Preserve              | 0     | 0           | N/A        |
| SIRB Project Area         | 0     | 0           | N/A        |
| Underground Storage Tanks | 0     | N/A         | N/A        |
| Ecological Network        | 2     | 51.42       | N/A        |
| Conservation Fund         | 0     | 0           | N/A        |
| Bay Area No Build         | 0     | N/A         | 0          |
| Ocean Area No BUILD       | 0     | N/A         | N/A        |
| Tax Ditch                 | 0     | 0           | N/A        |
| Tax Ditch Segment         | 0     | N/A         | 0          |
| Well Head Protection      | 0     | 0           | N/A        |
| Wetland High Water        | 0     | N/A         | 0          |
| Wetland Marsh             | 0     | 0           | N/A        |
| Wetlands                  | 4     | 7.08        | N/A        |
| Low Marsh                 | 0     | 0           | N/A        |
| Recharge Areas            | 0     | 0           | N/A        |
| Watershed                 | 0     | N/A         | 0          |
| Class A Wellhead (150 Ft) | 0     | 0           | N/A        |
| Class A Wellhead          | 0     | 0           | N/A        |
| Kent Soils                | 0     | 0           | N/A        |
| New Castle Soils          | 0     | 0           | N/A        |
| Sussex Soils              | 11    | 215.32      | N/A        |

## Existing PLUS ID

| # | PLUS ID | Area(acres) |
|---|---------|-------------|
| 1 | No Data | 496.52      |

## State Parcel ID

| #  | PIN              | Acres  | Area(acres) |
|----|------------------|--------|-------------|
| 1  | 235-14.00-77.00  | 142.61 | 141.62      |
| 2  | 235-14.00-82.00  | 66.23  | 65.89       |
| 3  | 235-14.00-81.00  | 4.94   | 4.94        |
| 4  | 235-14.00-83.01  | 136.42 | 1.20        |
| 5  | 235-20.00-2.00   | 118.80 | 0.79        |
| 6  | 235-14.00-76.00  | 7.29   | 0.36        |
| 7  | 235-14.00-75.00  | 4.72   | 0.16        |
| 8  | 235-14.00-78.00  | 0.67   | 0.08        |
| 9  | 235-14.00-74.00  | 4.54   | 0.03        |
| 10 | 235-14.00-605.00 | 0.75   | < 0.01      |
| 11 | 235-14.00-621.00 | 0.79   | N/A         |

### Ecological Network

| # | ID       | Area(acres) |
|---|----------|-------------|
| 1 | 7,363.00 | 33.32       |
| 2 | 7,251.00 | 18.10       |

### Wetlands

| # | Type                              | Acres       | Area(acres) |
|---|-----------------------------------|-------------|-------------|
| 1 | Freshwater Forested/Shrub Wetland | 6.49887435  | 3.76        |
| 2 | Freshwater Forested/Shrub Wetland | 14.41092319 | 2.80        |
| 3 | Freshwater Emergent Wetland       | 0.43147002  | 0.39        |
| 4 | Freshwater Forested/Shrub Wetland | 0.12624984  | 0.13        |

### Sussex Soils

| # | Name | Area(acres) |
|---|------|-------------|
| 1 | A    | 208.83      |
| 2 | B/D  | 5.34        |
| 3 | A/D  | 1.16        |



**STATE OF DELAWARE  
EXECUTIVE DEPARTMENT  
OFFICE OF STATE PLANNING COORDINATION**

April 19, 2022

Mr. Kevin DiSabatino  
1630 Ventures  
1 South Cleveland Avenue  
Wilmington, DE 19805

RE: PLUS review – 2022-03-15; Milton Village

Dear Mr. DiSabatino:

Thank you for meeting with State agency planners on March 23, 2022 to discuss the proposed plans for the Milton Village subdivision. According to the information received, you are seeking review of a subdivision consisting of 696 mixed residential units and approximately 325,000 square feet of commercial on 208 acres located at the intersection of US Route 30 and US Route 16 in Sussex County.

Please note that changes to the plan, other than those suggested in this letter, could result in additional comments from the State. Additionally, these comments reflect only issues that are the responsibility of the agencies represented at the meeting. **The developers will also need to comply with any Federal, State, and local regulations regarding this property. We also note that as Sussex County is the governing authority over this land, the developers will need to comply with any and all regulations/restrictions set forth by the County.**

**Strategies for State Policies and Spending**

This is within the growth area of the Town of Milton. At this time it is not contiguous to the town but the developer should still work with the town on the density and design.

Based on its location in a Level 2 and Level 3 investment area, this project may be consistent with the 2020 Strategies for State Policies and Spending. Investment Level 2 reflects areas where growth is anticipated by local, county, and State plans in the near-term future. Investment Level 3 reflects areas where growth is anticipated by local, county, and state plans in the longer-term future, or areas that may have environmental or other constraints to development. This site is also located in the Town of Milton growth area.

Based on comments from State agencies below, if this parcel contains environmental concerns or other constraints to development, the state requests that the applicant and the local jurisdiction

122 Martin Luther King Jr. Blvd. South – Haslet Armory · Third Floor · Dover, DE 19901  
Phone (302)739-3090 · Fax (302) 739-5661 · [www.stateplanning.delaware.gov](http://www.stateplanning.delaware.gov)

work with state agencies to design the site with respect to those environmental features which will help create a more sustainable development.

### **Code Requirements/Agency Permitting Requirements**

Department of Transportation – Contact Annamaria Furrato 302-760-2710

- The site accesses on Milton Ellendale Highway (State Route 16) and Gravel Hill Road (State Route 30) must be designed in accordance with DelDOT's Development Coordination Manual, which is available at <http://www.deldot.gov/Business/subdivisions/index.shtml?dc=changes>.
- Pursuant to Section 1.3 of the Manual, a Pre-Submittal Meeting is required before plans are submitted for review. The form needed to request the meeting and guidance on what will be covered there and how to prepare for it is located at [https://www.deldot.gov/Business/subdivisions/pdfs/Meeting\\_Request\\_Form.pdf?08022017](https://www.deldot.gov/Business/subdivisions/pdfs/Meeting_Request_Form.pdf?08022017).
- Section 1.6 of the Manual addresses the location of site entrances. DelDOT anticipates permitting fewer access points than proposed on the concept plan. Tentatively, DelDOT would permit one full access point each on Milton Ellendale Highway and Gravel Hill Road and one additional limited-movement access points on Milton Ellendale Highway, to serve the medical offices currently under development. Additional access points will be considered in the TIS process.
- Section 1.7 of the Manual addresses fees that are assessed for the review of development proposals. DelDOT anticipates collecting the Initial Stage Fee when the record plan is submitted for review and the Construction Stage Fee when construction plans are submitted for review.
- Per Section 2.2.2.1 of the Manual, Traffic Impact Studies (TIS) are warranted for developments generating more than 500 vehicle trip ends per day or 50 vehicle trip ends per hour in any hour of the day. From the PLUS application, the total daily trips are estimated at 18,333 vehicle trip ends per day. Therefore, the plan meets the warrants for a TIS. The TIS scoping meeting was held on March 24, 2022.

The purpose of a TIS, per DelDOT regulations, is to determine the offsite improvements for which the developer should be responsible to build or contribute toward. DelDOT anticipates requiring the developer to improve Milton Ellendale Highway and Gravel Hill Road within the limits of their frontage, to meet DelDOT's standards associated with their Functional Classifications. Also, DelDOT has a planned safety improvement project planned to construct a roundabout at the intersection of Milton Ellendale Highway and Gravel Hill Road and the applicant should expect a requirement to contribute to that effort. Other improvements will likely be identified through the TIS process.

- As necessary, in accordance with Section 3.2.5 and Figure 3.2.5-a of the Manual, DelDOT will require dedication of right-of-way along the site's frontage on Milton Ellendale Highway and Gravel Hill Road. By this regulation, this dedication is to provide a minimum of 40 feet of right-of-way from the physical centerline of each road. The following right-of-way dedication note is required, **"An X-foot wide strip of right-of-way from the centerline is hereby dedicated in fee simple to the State of Delaware, acting by and through the Delaware Department of Transportation."**
- In accordance with Section 3.2.5.1.2 of the Manual, DelDOT will require the establishment of a 15-foot wide permanent easement across the property frontage. The location of the easement shall be outside the limits of the ultimate right-of-way. The easement area can be used as part of the open space calculation for the site. The following note is required, **"A 15-foot wide permanent easement is hereby dedicated in fee simple to the State of Delaware, acting by and through the Delaware Department of Transportation."**
- Referring to Section 3.4.2.1 of the Manual, the following items, among other things, are required on the Record Plan:
  - A Traffic Generation Diagram. See Figure 3.4.2-a for the required format and content.
  - Depiction of all existing entrances within 600 feet of the proposed entrances on Milton Ellendale Highway and Gravel Hill Road.
  - Notes identifying the type of off-site improvements, agreements (signal, letter) contributions and when the off-site improvements are warranted.
- Section 3.5 of the Manual provides DelDOT's requirements with regard to connectivity. The requirements in Sections 3.5.1 through 3.5.3 shall be followed for all development projects having access to state roads or proposing DelDOT maintained public streets for subdivisions. DelDOT anticipates recommending that the County require a stub street for a future interconnection to Tax Parcel 235-14.00-83.01 approximately as shown on the concept plan.
- Section 3.5.4.2 of the Manual addresses requirements for Shared Use Paths (SUP) and sidewalks. For projects in Level 1 and 2 Investment Areas, installation of paths or sidewalks along the frontage on State-maintained roads is required.
- Section 3.5.4.3 and 3.5.4.4 of the Manual, respectively, addresses walkways and accessways. Both types of facility are paved pathways connecting a sidewalk or path along a road frontage to the interior of a development. Walkways apply to non-residential development and typically lead to a building entrance. Accessways apply to residential development and typically lead to a sidewalk on a subdivision street. DelDOT



anticipates requiring walkways from the SUP on Milton Ellendale Highway at each end of the frontage and an accessway from the south end of the SUP on Gravel Hill Road to the proposed apartment complex.

- In accordance with 3.5.5 of the Manual, existing and proposed transit stops, shall be shown on the Record Plan with applicable bicycle and pedestrian connectivity. These facilities may include passenger shelters, bicycle parking, landing pads, bus pull-offs, walkways to the transit stop location, or some combination thereof, as required by DTC or DelDOT, in consultation with the applicable land use authority.
- In accordance with Section 3.8 of the Manual, storm water facilities, excluding filter strips and bioswales, shall be located a minimum of 20 feet from the ultimate State right-of-way along Milton Ellendale Highway and Gravel Hill Road.
- In accordance with Section 5.2.9 of the Manual, the Auxiliary Lane Worksheet should be used to determine whether auxiliary lanes are warranted at the site entrances and how long those lanes should be. The worksheet can be found at <http://www.deldot.gov/Business/subdivisions/index.shtml>.
- In accordance with Section 5.4 of the Manual, sight distance triangles are required and shall be established in accordance with American Association of State Highway and Transportation Officials (AASHTO) standards. A spreadsheet has been developed to assist with this task. It can be found at <http://www.deldot.gov/Business/subdivisions/index.shtml>.
- In accordance with Section 5.14 of the Manual, all existing utilities must be shown on the plan and a utility relocation plan will be required for any utilities that need to be relocated.

DART – Contact Jared Kauffman 302-576-6062

- DART recognizes the need for bus service to and from this site, and the specific placement of those bus stops depend upon the findings and needs of the finalized TIS.

DART's preference is to serve this site directly from SR 16, without entering the site. DART's preferred location to place a pair of companion Type 2 (17x8) bus stop shelter pads on SR 16 is at the main entrance. Placing the stops here depends upon the TIS's requirement for a traffic signal at this entrance or DelDOT recommends a pedestrian crossing regardless of a traffic signal here.

- If a traffic signal is not required and a pedestrian crossing is not recommended by DelDOT, three bus stop pads are needed in order to allow for transit service on SR 16 without entering the site.

- The first bus stop needs to be a Type 2 (17x8) shelter pad placed on westbound SR 16 at least 50' far-side of the intersection of SR 16 and SR 30.
- The second needs to be a Type 2 (17x8) shelter pad placed on westbound SR 16 between the medical office buildings and assisted living facility.
- The third needs to be placed on eastbound SR 16. The size, type of bus stop pad, and specific placement depends on available Right-of-Way. A pedestrian pathway is needed to this stop from the frontage shared-use path, including a crosswalk.
- If ROW is not available or it's not possible to create the pedestrian pathway to an eastbound stop, DART will need to serve this site from an internal stop.
  - The two westbound stops will still need to be constructed to minimize the number of trips needed for a bus to enter the site.
  - A Type 2 (17x8) shelter pad will need to be placed between the apartments and retail while heading toward SR 30.
- An MOA will need to be signed between DART and the property owner
- Communication will be needed between the property owner and architectural engineer, and DART in order to make sure DART's needs are met and placed in the correct location in relation to the internal pedestrian network.
- Multiple pedestrian accessways are needed from the shared-use path into the site to allow direct pedestrian access from multiple points (SR 16/30 intersection; bus stops; and the easter side of the site).
- It is suggested to include covered bicycling parking at the apartment buildings that do not require an additional fee to their rental agreement, like the addition of a garage or storage unit.

Please contact Jared Kauffman, DART Fixed-Route Planner, if clarification is needed.

Department of Natural Resources and Environmental Control – Contact Claire Quinlan 302-735-3480

**Disclaimer Clause:** Staff from the Delaware Department of Natural Resources and Environmental Control (DNREC) reviewed the project submitted for PLUS review. The absence of comments regarding specific resources does not indicate that there are not additional constraints or environmental issues on site, nor does it indicate DNREC support of a project.

Developers and municipal officials are encouraged to reach out to Clare Quinlan at (302) 735-3480 if they have any specific requests for information.

### **Concerns Identified Within the Development Footprint**

#### **Wetlands**

Maps from the Statewide Wetlands Mapping Project indicate the potential presence of non-tidal wetlands on the site, as well as a stream (Pemberton Branch) along the southern edge of the project site. The application does not propose direct impacts to the wetlands. According to the applicant during the PLUS meeting, a wetland delineation was completed and wetlands were confirmed on the site.

Requirements:

- Include mapped wetland boundaries on site plans.
- If the site design changes and dredge or fill of wetlands or subaqueous lands becomes necessary, permitting and/or authorization requirements apply as described below.
- Federal permits from the U.S. Army Corps of Engineers may be necessary if dredge or fill is proposed in non-tidal wetlands or streams. A delineation of waterways and wetlands may be required, to be completed by a qualified professional hired by the landowner. In certain cases, permits from the US Army Corps of Engineers may trigger additional certifications from DNREC (Coastal Zone Federal Consistency Certification and 401 Water Quality Certification). Work with the U.S. Army Corps of Engineers to determine the appropriate permitting requirements if federal permits are required.

Federal Contact: U.S. Army Corps of Engineers (Dover Office) at (267) 240-5278.

Website: <https://www.nap.usace.army.mil/Missions/Regulatory/Contacts/>

State Contact: DNREC Wetlands and Subaqueous Lands Section at (302) 739-9943.

Website: <https://dnrec.alpha.delaware.gov/water/wetlands-subaqueous/>

#### **Vegetated Buffer Zones**

Site plans do not indicate a vegetated buffer zone around non-tidal wetlands. Vegetated buffer zones placed adjacent to waterways and wetlands help improve water quality by reducing sediment and pollutants loads. They also provide valuable habitat and can help prevent encroachment of human activities into ecologically sensitive areas. Vegetated buffers are not equivalent to setbacks, as residential lots, walkways, and stormwater management facilities should not be contained within the vegetated buffer zone.

Requirements:

- The applicant must comply with minimum vegetated buffer widths as identified within county and municipal codes.

Contact: DNREC Wildlife Species Conservation & Research Program at (302) 735-3600.

Website: <https://dnrec.alpha.delaware.gov/fish-wildlife/contact-information/>

### **State Natural Heritage Site**

This project lies within lands designated as a State Natural Heritage Site. State Natural Heritage Sites are identified as "Designated Critical Resource Waters" by the Army Corps of Engineers.

Requirements:

- The applicant must comply with the restrictions and limitations imposed through the Army Corps of Engineers Nationwide Permit General Condition No. 22, which can be found here:  
<https://www.swf.usace.army.mil/Portals/47/docs/regulatory/Permitting/Nationwide/NWP22TX.pdf>.
- If permits are required by the U.S. Army Corps of Engineers, the applicant may be required to obtain confirmation that the site is considered to be a State Natural Heritage Site. The project applicant should contact the DNREC Division of Fish and Wildlife's Environmental Review Program, directly, to obtain a letter regarding State Natural Heritage Site status. The Environmental Review Program can be reached directly at (302) 735-3600.

Federal Contact: U.S. Army Corps of Engineers (Dover Office) at (267) 240-5278.

Website: <https://www.nap.usace.army.mil/Missions/Regulatory/Contacts/>

General DNREC Contact: DNREC Division of Fish & Wildlife at (302) 735-3600. Website:

<https://dnrec.alpha.delaware.gov/fish-wildlife/contact-information/>

### **Natural Areas**

The southern portion of the parcel is located within a state Natural Areas designation (Broadkill River Natural Area). Natural Areas contain lands of statewide significance identified by the Governor's Natural Areas Advisory Council as containing a high quality of natural features unique to Delaware.

Requirements:

- Local codes and ordinances may apply to protect areas designated as Natural Areas. Please consult with local planning agencies to see how local codes and ordinances may impact the proposed development of this site.

Contact: DNREC Division of Parks and Recreation, Office of Nature Preserves at (302) 739-

9039. Website: <https://dnrec.alpha.delaware.gov/parks/natural-areas/>

## **Bald Eagles**

There is an active Bald Eagle (*Haliaeetus leucocephalus*) nest within the project parcel feet from the project area. Bald eagles and their nests are protected under the federal Bald and Golden Eagle Protection Act (BGEPA). Additionally, the nest itself is protected by state law.

### Requirements:

- The U.S. Fish and Wildlife Service (USFWS) developed National Bald Eagle Management Guidelines, to help landowners and others minimize impacts to eagles, including disturbance, which is prohibited by the BGEPA. The guidelines focus on minimizing disturbance through the use of buffer zones (330 ft. to 660 ft. from a nest) and time-of-year restrictions for certain activities in several categories.
- The USFWS has jurisdiction regarding Bald Eagles protection via BGEPA and works with landowners regarding all eagle disturbance issues. To determine the potential effects your project may have on Bald Eagle, we suggest the use of the new Northeast Bald Eagle Project Screening Form, which can be found at <https://www.fws.gov/media/northeast-bald-eagle-project-screening-form>.

General DNREC Contact: DNREC Division of Fish & Wildlife at (302) 735-3600. Website: <https://dnrec.alpha.delaware.gov/fish-wildlife/contact-information/>

## **Special Flood Hazard Area**

According to the newest Flood Insurance Rate Maps (FIRM), the southern of this parcel is situated within a Special Flood Hazard Area, specifically within the mapped 100-year floodplain (1% annual chance of flooding). The Special Flood Hazard Area identified on the site lies within zone AE. In lands contained within the 100-year floodplain, the National Flood Insurance Program's floodplain management regulations must be enforced through the local floodplain ordinance, which can have higher standards. Homeowners with mortgages may be required to purchase flood insurance.

### Requirements:

- The applicant must comply with the local floodplain ordinance and regulations applicable to development or construction within the 100-year floodplain. In determining the boundary of the floodplain, use the most recent FIRM maps available, which can be found at <https://floodplanning.dnrec.delaware.gov/>

Contact: DNREC Shoreline and Waterway Management Section at (302) 739-9921.

Website: <https://dnrec.alpha.delaware.gov/watershed-stewardship/waterways/floodplains/>

## **Stormwater Management**

This application proposes greater than 5000 square feet of land disturbing activities, therefore, this project will be subject to Delaware's *Sediment and Stormwater Regulations*.

Requirements:

- A Sediment and Stormwater Plan must be developed, then approved by the appropriate plan review agency prior to any land disturbing activity taking place on the site. For this project, the plan review agency is the Sussex Conservation District.
- Additionally, to address federal requirements, construction activities that exceed 1.0 acre of land disturbance require Construction General Permit coverage through submittal of an electronic Notice of Intent for Stormwater Discharges Associated with Construction Activity. This form must be submitted electronically (<https://apps.dnrec.delaware.gov/enoi/>, select Construction Stormwater General Permit) to the DNREC Division of Watershed Stewardship, along with the \$195 fee.
- Schedule a project application meeting with the appropriate plan review agency prior to moving forward with the stormwater and site design. As part of this process, you must submit a Stormwater Assessment Study.

Plan review agency contact: Sussex Conservation District at (302) 856-2105 or (302) 856-7219.

Website: <https://www.sussexconservation.org/>

General stormwater contact: DNREC Sediment and Stormwater Program at (302) 739-9921.

E-mail: [DNREC.Stormwater@delaware.gov](mailto:DNREC.Stormwater@delaware.gov).

Website: <https://dnrec.alpha.delaware.gov/watershed-stewardship/sediment-stormwater/>

## **Wastewater permits – Large Systems**

Artesian holds existing permits with the DNREC Groundwater Discharges Section's Large Systems Branch for wastewater disposal.

Requirements:

- If additional flows to Sussex County's system will require capacity updates, it is the responsibility of the permittee (Artesian) to notify the Large Systems Branch.

Contact: DNREC Large Systems Branch at (302) 739-9948.

Website: <https://dnrec.alpha.delaware.gov/water/groundwater/>

## **Nutrient Management Plan**

This project proposes open space of 20 acres.

Requirements:

- A nutrient management plan is required for all persons or entities who apply nutrients to lands or areas of open space of 10 acres or more.

Contact: Delaware Department of Agriculture's Nutrient Management Program at (302) 698-4558. Website: <https://agriculture.delaware.gov/nutrient-management/>

### Delaware Department of Agriculture – Contact Milton Melendez 302-698-4500

- The proposed project is adjacent to a property protected through the State's Agricultural Lands Preservation Program (Isaacs #2 Orchard District Parcel #235-13.00-6.05). Therefore, the activities conducted on this preserved property are protected by the agricultural use protections outlined in Title 3, Del. C., Chapter 9. These protections effect adjoining developing properties. The 300 foot notification requirement affects all new deeds in a subdivision located in whole or part within 300 feet of an Agricultural District/Easement. Please take note of these restrictions as follows:

§ 910. Agricultural use protections.

(a) Normal agricultural uses and activities conducted in a lawful manner are preferred and priority uses and activities in Agricultural Preservation Districts. In order to establish and maintain a preference and priority for such normal agricultural uses and activities and avert and negate complaints arising from normal noise, dust, manure and other odors, the use of agricultural chemicals and nighttime farm operations, land use adjacent to Agricultural Preservation Districts shall be subject to the following restrictions:

(1) For any new subdivision development located in whole or in part within 300 feet of the boundary of an Agricultural Preservation District, the owner of the development shall provide in the deed restrictions and any leases or agreements of sale for any residential lot or dwelling unit the following notice:

This property is located in the vicinity of an established Agricultural Preservation District in which normal agricultural uses and activities have been afforded the highest priority use status. It can be anticipated that such agricultural uses and activities may now or in the future involve noise, dust, manure and other odors, the use of agricultural chemicals and nighttime farm operations. The use and enjoyment of this property is expressly conditioned on acceptance of any annoyance or inconvenience which may result from such normal agricultural uses and activities."

(2) For any new subdivision development located in whole or in part within 50 feet of the boundary of an Agricultural Preservation District, no improvement requiring an

occupancy approval shall be constructed within 50 feet of the boundary of the Agricultural Preservation District.

(b) Normal agricultural uses and activities conducted in accordance with good husbandry and best management practices in Agricultural Preservation Districts shall be deemed protected actions and not subject to any claim or complaint of nuisance, including any such claims under any existing or future county or municipal code or ordinance. In the event a formal complaint alleging nuisance related to normal agricultural uses and activities is filed against an owner of lands located in an Agricultural Preservation District, such owner, upon prevailing in any such action, shall be entitled to recover reasonably incurred costs and expenses related to the defense of any such action, including reasonable attorney's fees (68 Del. Laws, c. 118, § 2.).

- In addition, if any wells are to be installed, Section 4.01(A)(2) of the Delaware Regulations Governing the Construction and Use of Wells will apply. This regulation states:

(2) For any parcel, lot, or subdivision created or recorded within fifty (50) feet of, or within the boundaries of, an Agricultural Lands Preservation District (as defined in Title 3, Del. C., Chapter 9); all wells constructed on such parcels shall be located a minimum of fifty (50) feet from any boundary of the Agricultural Lands Preservation District. This requirement does not apply to parcels recorded prior to the implementation date of these Regulations. However, it is recommended that all wells be placed the maximum distance possible from lands which are or have been used for the production of crops which have been subjected to the application of land applied federally regulated chemicals.

State Historic Preservation Office – Contact Carlton Hall 302-736-7400

- There is high potential for archaeological resources on these parcels. The Pemberton Branch runs along the southern border of the parcels. The parcels are primarily composed of well-drained soils. These are considered favorable environmental conditions for past human occupation, and therefore there is high potential for prehistoric archaeological sites.
- There is high potential for historic archaeological resources on these parcels. The J.S. Ponder Agricultural Complex is recorded towards the east of the parcel. Historic aerials and topographic maps show the parcel has remained consistently agricultural fields. Due to minimal disturbance and known historic occupation, there is high potential for historic archaeological sites. This Office recommends an archaeological survey prior to any ground disturbance.

If any project or development proceeds, the developer should be aware of the Unmarked Human Burials and Human Skeletal Remains Law (Del. C. Title 7, Ch. 54).



- If there is federal involvement, in the form of licenses, permits, or funds, the federal agency, often through its client, is responsible for complying with Section 106 of the National Historic Preservation Act (36 CFR 800) and must consider their project's effects on any known or potential cultural or historic resources. For further information on the Section 106 process please review the Advisory Council on Historic Preservation's website at: [www.achp.gov](http://www.achp.gov)

If there are any questions, inquiries, or concerns, feel free to contact the Delaware State Historic Preservation Office for assistance at 302-736-7400.

Delaware State Fire Marshall's Office – Contact Duane Fox 302-739-4394

The comments below are informational only. This does not constitute any type of approval from the Delaware State Fire Marshal's Office. At the time of formal submittal, the applicant shall provide; completed application, fee, and three sets of plans depicting the following in accordance with the Delaware State Fire Prevention Regulations (DSFPR):

**Fire Protection Water Requirements:**

- Water distribution system capable of delivering at least 1000 gpm for 1-hour duration, at 20-psi residual pressure is required. Fire hydrants with 800 feet spacing on centers.
- Where a water distribution system is proposed for townhouse type dwelling sites, the infrastructure for fire protection water shall be provided, including the size of water mains.

**Fire Protection Features:**

- For townhouse buildings, provide a section / detail and the UL design number of the 2-hour fire rated separation wall on the Site plan

**Accessibility:**

- All premises, which the fire department may be called upon to protect in case of fire, and which are not readily accessible from public roads, shall be provided with suitable gates and access roads, and fire lanes so that all buildings on the premises are accessible to fire apparatus. This means that the access road to the subdivision must be constructed so fire department apparatus may negotiate it. If a "center island" is placed at an entrance into the subdivision, it shall be arranged in such a manner that it will not adversely affect quick and unimpeded travel of fire apparatus into the subdivision.
- Fire department access shall be provided in such a manner so that fire apparatus will be able to locate within 100 ft. of the front door.

- Any dead-end road more than 300 feet in length shall be provided with a turn-around or cul-de-sac arranged such that fire apparatus will be able to turn around by making not more than one backing maneuver. The minimum paved radius of the cul-de-sac shall be 38 feet. The dimensions of the cul-de-sac or turn-around shall be shown on the final plans. Also, please be advised that parking is prohibited in the cul-de-sac or turn around.
- The use of speed bumps or other methods of traffic speed reduction must be in accordance with Department of Transportation requirements.
- The local Fire Chief, prior to any submission to our Agency, shall approve in writing the use of gates that limit fire department access into and out of the development or property.

### **Gas Piping and System Information:**

- Provide type of fuel proposed and show locations of bulk containers on plan.

### **Required Notes:**

- Provide a note on the final plans submitted for review to read “All fire lanes, fire hydrants, and fire department connections shall be marked in accordance with the Delaware State Fire Prevention Regulations”
- Proposed Use
- Square footage of each structure (Total of all Floors)
- National Fire Protection Association (NFPA) Construction Type
- Maximum Height of Buildings (including number of stories)
- Name of Water Provider
- Letter from Water Provider approving the system layout
- Townhouse 2-hr separation wall details shall be shown on site plans
- Provide Road Names, even for County Roads.

### **Recommendations/Additional Information**

This section includes a list of site-specific suggestions that are intended to enhance the project. These suggestions have been generated by the State Agencies based on their expertise and subject area knowledge. **These suggestions do not represent State code requirements.** They are offered here in order to provide proactive ideas to help the applicant enhance the site design, and it is hoped (**but in no way required**) that the applicant will open a dialogue with the relevant agencies to discuss how these suggestions can benefit the project.

Department of Transportation – Contact Annamaria Furmato 302-760-2710

- The DelDOT Coastal Corridors Study is evaluating “East-West” movements primarily across the northern portion of Sussex County along Delaware Routes 16 and 404 and US

Route 9. Impacts to the local road system are also being examined. The study is collecting and evaluating data on how traffic enters and exits Delaware from Route 404 in Maryland and other points west of the state line and travels to and from the eastern portion of Sussex County. The study is evaluating the amount, time of day, and time of year for various components of “through traffic” (with an origin or destination on either side of the Bay Bridge) and “local traffic” (with an origin or destination primarily within the northern Sussex County study area). When completed, the study will present recommendations for a range of improvements including:

- short term projects able to be completed within DelDOT’s existing programs within 3-4 years,
- medium term projects able to be designed and constructed within 5-8 years, and
- longer term projects likely to take 10 years or more to study, design, and initiate.

Any entrances along the identified corridors (Delaware Routes 16 and 404 and US Route 9) may be addressed in the study from this point forward to the final recommendations as they are developed, and may include consolidated entrances, alternative entrances on other roads, or in a service road access model arrangement. DelDOT’s initial findings in conducting the study include a future need to widen Delaware Route 16 (Gravel Hill Road). Please consider setting the development farther back from the road to account for future widening.

- The subject development is located within an area being considered for the development of a future Transportation Improvement District (TID). Once the TID is in operation, the development may have the opportunity to convert to TID participation instead of building or contributing to off-site improvements.

The developer should contact Ms. Sarah Coakley, a principal planner in DelDOT’s Regional Systems Planning Section, for information regarding the TID and the associated fees. Ms. Coakley may be reached at [Sarah.Coakley@delaware.gov](mailto:Sarah.Coakley@delaware.gov) or (302) 760-2236.

- On the concept plan, the main entrance to the single-family house section of the development includes four closely spaced intersections. DelDOT recommends that the west leg of the community center driveway be shifted farther west to be opposite the entrance to the proposed cul-de-sac street and thereby reduce the number of decision points for the driver.
- DelDOT recommends that the plan provide sufficient street frontage for each open space or Storm Water Management area to allow for access for maintenance purposes.
- The applicant should expect a requirement that any substation and/or wastewater facilities will be required to have access from an internal driveway with no direct access to Milton Ellendale Highway or Gravel Hill Road.

- The applicant should expect a requirement that all PLUS and Technical Advisory Committee (TAC) comments be addressed prior to submitting plans for review.
- Please be advised that the Standard General Notes have been updated and posted to the DelDOT website. Please begin using the new versions and look for the revision dates of March 21, 2019 and March 16, 2022. The notes can be found at <https://www.deldot.gov/Business/subdivisions/>

Department of Natural Resources and Environmental Control – Contact Claire Quinlan 302-735-3480

### **Wetlands**

- As proposed for this project, do not disturb wetland areas. Wetlands are a critical part of our natural environment. They reduce the impacts of flooding, absorb pollutants, and improve water quality. Wetlands provide habitat for animals and plants and many contain a wide diversity of life, supporting plants and animals that are found nowhere else.

Federal Contact: U.S. Army Corps of Engineers (Dover Office) at (267) 240-5278.

Website: <https://www.nap.usace.army.mil/Missions/Regulatory/Contacts/>

State Contact: DNREC Wetlands and Subaqueous Lands Section at (302) 739-9943.

Website: <https://dnrec.alpha.delaware.gov/water/wetlands-subaqueous/>

### **Vegetated Buffer Zones**

- Site plans do not indicate a vegetated buffer zone around non-tidal wetlands. Incorporate a minimum 500-foot forested buffer from wetlands and all waterways due to the presence of Key Wildlife Habitat (addressed below) on and surrounding the site. Vegetated buffer zones protect water quality and can provide an additional margin of safety for flooding. Consider placing this buffer zone in a permanent conservation easement so that future clearing is prevented (see “Natural Areas”).
- Remove lots 61 through 66 in order to maintain the same amount of forested buffer from west to east. Buffering the Pemberton Branch is critical to maintaining the ecological integrity of the system.
- Vegetated buffer zones should be left undisturbed during construction and should be identified outside of the Limit of Disturbance on the engineering plans. In some instances, stormwater outfalls, conveyances, and emergency spillways may cross through these zones, and will require temporary disturbance during construction.
- Vegetated buffer zones should be deeded as community open space and not contained within any lot lines. Signage should be installed at the edge and within the buffer zones to deter residents from encroaching into these common areas.

- Maintain vegetated buffer zones as either grasslands/meadows or forest. Buffer zones should be planted exclusively with native trees and plants. Native plants are well-suited to our climate and require limited maintenance. They also provide an increasingly important role in the survival of native birds and beneficial insects whose habitat is shrinking due to development and climate change.
- Grass cutting for vegetated buffer zones if maintained as meadow should not occur between April 1st to July 31st to reduce impacts to nesting birds and other wildlife species that utilize meadows and grasslands for breeding habitat.

Contact: DNREC Wildlife Species Conservation & Research Program at (302) 735-3600.

Website: <https://dnrec.alpha.delaware.gov/fish-wildlife/contact-information/>

### **Key Wildlife Habitat**

- The nontidal wetlands on this property are mapped as Key Wildlife Habitat in the Delaware Wildlife Action Plan because they have the potential to harbor a high diversity of Species of Greatest Conservation Need (SGCN). This Key Wildlife Habitat relies on specific hydrology to persist and is very sensitive to changes in water quality. Maintaining an adequate forested buffer around this habitat is extremely important, especially with such large-scale development.
- Scientists from the Division of Fish & Wildlife request a site visit to survey the project area and ensure critical resources are not being impacted. Contact the state botanist at (302) 735-8668 if the landowner will grant a site visit.

Federal Contact: U.S. Army Corps of Engineers (Dover Office) at (267) 240-5278.

Website: <https://www.nap.usace.army.mil/Missions/Regulatory/Contacts/>

General DNREC Contact: DNREC Division of Fish & Wildlife at (302) 735-3600. Website: <https://dnrec.alpha.delaware.gov/fish-wildlife/contact-information/>

### **Removal of Mature Forest**

- The preliminary plan proposes the elimination of approximately 14 of 26 acres of forest on the site. An analysis of historical data indicates that the forest area located on the southern portion of the site may have maintained some degree of forest cover since 1937 and could be considered mature forest. Mature forests possess the potential for rare, threatened, or endangered species that rely on this type of habitat.
- Removing forested areas for development, especially mature forests, should be avoided to the greatest extent possible. Forests filter water for improved water quality, provide habitat for wildlife, absorb nutrients, infiltrate stormwater, moderate temperatures, and store atmospheric carbon which would otherwise contribute to climate change.
- A forest assessment should be conducted to determine if mature forest resources exist on the property and to delineate their boundaries. Additionally, a forest assessment would include the

identification of specimen trees and forest-dependent wildlife. If mature forests are found, these areas should be conserved to the maximum extent practicable.

- To reduce impacts to nesting birds and other wildlife species that utilize forests for breeding, it is recommended that tree clearing not occur from April 1<sup>st</sup> to July 31<sup>st</sup>. Likewise, avoid mowing open space areas and grass filter strips during the same timeframe, as various species of birds utilize these areas for nesting sites.

Contact: DNREC Wildlife Species Conservation & Research Program at (302) 735-3600.

Website: <https://dnrec.alpha.delaware.gov/fish-wildlife/contact-information/>

### **Natural Areas**

- Reduce environmental impacts in/near Natural Areas by avoiding development or destruction of sensitive natural features such as, but not limited to, wetlands, hardwood forests, or riparian buffers.
- The landowner should consider voluntarily participating in the Natural Areas Preservation Program, which would permanently protect the Natural Area located on the parcel by dedicating it as a Nature Preserve. A Conservation Easement would allow the landowner to retain ownership of the land while selling the development rights to a Conservation Entity, in this case, DNREC.

Contact: DNREC Division of Parks and Recreation, Office of Nature Preserves at (302)739-9039

Website: <https://dnrec.alpha.delaware.gov/parks/open-space/conservation-easements/>

### **Delaware Ecological Network**

- The southern portion of the parcel lies within lands designated within the Delaware Ecological Network, a statewide network of interconnected lands of significant ecological value. This GIS data layer is based on principles of landscape ecology and conservation biology, providing a consistent framework to identify and prioritize areas for natural resource protection. Forest disturbances on this site will jeopardize habitat on the parcel and likely beyond the parcel's boundary.
- Removing forested areas within the Delaware Ecological Network should be avoided to the greatest extent possible. These areas provide wildlife habitat, uptake nutrients, infiltrate stormwater, and improve water quality. Forests also provide shading and cooling, while also reducing carbon that contributes to climate change.

Contact: DNREC Wildlife Species Conservation and Research Program at (302) 735-3600.

Website: <https://dnrec.alpha.delaware.gov/fish-wildlife/contact-information/>

### **Bald Eagles**

- Until further agency guidance is provided, limit disturbance (including noise) to forest areas, wetlands, meadows, streams etc.

General DNREC Contact: DNREC Division of Fish & Wildlife at (302) 735-3600.

Website: <https://dnrec.alpha.delaware.gov/fish-wildlife/contact-information/>

### **Sea Level Rise**

- The southeast portion of this site is vulnerable to permanent inundation from sea level rise. By 2050, mean sea levels are projected to rise by 0.7 – 1.9 feet; by end of century sea levels are projected to increase by 1.7 – 5.0 feet. In addition to permanent inundation, as mean sea levels rise, the frequency and severity of tidal flooding events is expected to increase.
  - As proposed, in areas within 5 feet of mean sea level, avoid construction of permanent structures and infrastructure. All infrastructure and structures on the site should incorporate the effects of sea level rise through the expected lifespan of the structures. This may include increasing freeboard of structures, ensuring that critical infrastructure is elevated to withstand future sea level rise, construction of flood control measures, and incorporating green infrastructure for flood control.

Contact: DNREC Climate and Sustainability Section at (302) 735-3480.

Website: <https://dnrec.alpha.delaware.gov/coastal-programs/planning-training/adapting-to-sea-level-rise/>

### **Special Flood Hazard Area**

- As proposed, locate all structures outside of the floodplain. If this is not possible, the developer should consider designing structures to a higher standard to avoid potential future flood damage and loss.

Contact: DNREC Shoreline and Waterway Management Section at (302) 739-9921.

Website: <https://dnrec.alpha.delaware.gov/watershed-stewardship/waterways/floodplains/>

### **Stormwater Management**

- Where the site and soil conditions allow, integrate runoff reduction techniques including infiltration basins, bioretention (rain gardens), filter strips, and pavers to encourage on-site stormwater infiltration and reduce runoff.
- For improved stormwater management, preserve existing trees, wetlands, and passive open space.

Plan review agency contact: Sussex Conservation District at (302) 856-2105 or (302) 856-7219.

Website: <https://www.sussexconservation.org/>

General stormwater contact: DNREC Sediment and Stormwater Program at (302) 739-9921.

E-mail: [DNREC.Stormwater@delaware.gov](mailto:DNREC.Stormwater@delaware.gov).

Website: <https://dnrec.alpha.delaware.gov/watershed-stewardship/sediment-stormwater/>

## **Drainage**

- All existing drainage ditches on the property should be evaluated for function and cleaned, if needed, prior to the construction of the project.
- Environmental permits or exemptions may be required by the County Conservation District (Standard Plan), the DNREC Sediment and Stormwater Program (eNOI/NOT), Army Corp of Engineers, and/or DNREC Wetlands and Subaqueous Lands Section prior to clearing and/or excavating ditch channels.
- All precautions should be taken to ensure the project does not hinder any off-site drainage upstream of the project or create any off-site drainage problems downstream by the release of on-site storm water.

Contact: DNREC Drainage Program at (302) 855-1930.

Website: <https://dnrec.alpha.delaware.gov/drainage-stormwater/>

## **Water Quality (Pollution Control Strategies)**

- This site lies within the Broadkill River Watershed. Surface water quality in this watershed does not meet Federal and/or State Water Quality Standards and a Pollution Control Strategy is in place for this watershed.
  - Reduce impervious surfaces on the project site by eliminating areas of impervious pavement and/or using pervious pavement where practicable.
  - Reduce stormwater runoff by integrating infiltration basins, bioretention (rain gardens), filter strips, and by preserving existing trees, wetlands, and passive open space.
  - Reduce the necessity for nutrient application by maintaining open space as meadow or forest planted exclusively with native plants. Native plants are well-suited to our climate and require limited maintenance.

Contact: DNREC Division of Watershed Stewardship's Watershed Assessment Section at (302) 739-9939. <https://dnrec.alpha.delaware.gov/watershed-stewardship/>



### **Wastewater Disposal Systems – Small Systems**

- An expired permit (permit #160262) exists for this site in the Small System Branch database.
- Contact the DNREC Groundwater Discharges Section to properly abandon these systems.

Contact: DNREC Groundwater Discharges Section at (302) 856-4561

Website: <https://dnrec.alpha.delaware.gov/water/groundwater/septic-systems/>

### **Additional Sustainable Practices**

- Install electric vehicle charging stations for your residents and build garages and parking spaces to be “EV-ready”. Many manufacturers have pledged to sell only electric vehicles in the next 10-15 years. Installing a 240-volt outlet in one or two locations in a garage will enable a resident to easily (and cheaply) install a level 2 electric vehicle charger. This will increasingly be a selling point for homes. It is easier to plan for the installation at construction, rather than doing costly retrofits later. The DNREC Division of Climate, Coastal and Energy offers rebates of up to 90% of the cost of the charging station for commercial, multi-unit dwelling and other public properties. These programs address climate change goals of reducing greenhouse gas emissions and improving overall air quality (<https://dnrec.alpha.delaware.gov/climate-coastal-energy/clean-transportation/>).
- Use renewable energy infrastructure such as solar or geothermal to reduce energy costs and further reduce pollution created from offsite generation. Grant funds and incentives are available for Delmarva Power customers through the DNREC Green Energy Fund, which includes several funding types through the state’s major electric utilities (<https://dnrec.alpha.delaware.gov/climate-coastal-energy/renewable/assistance/>).
- Include space for recycling dumpsters within the preliminary site design stage. These can be placed adjacent to trash dumpsters.
- Incorporate nonmotorized connectivity and install bicycle racks where feasible to help facilitate non-vehicular travel modes.
- Use efficient Energy Star rated products and materials in construction and redevelopment. Energy efficient appliances use less energy over time. This saves consumers and businesses money, while also helping to reduce pollution from power generation.
- Use structural paint coatings that are low in Volatile Organic Compounds to help protect air quality. Air pollution from new construction is generated through the use of maintenance equipment, paints, and consumer products like roof coatings and primers.

- Use recycled materials, such as reclaimed asphalt pavement, to reduce heat island effects on paved surfaces, prevent landfill waste, and lower material costs.

Contact: DNREC Division of Climate, Coastal & Energy at (302) 735-3480.

Website: <https://dnrec.alpha.delaware.gov/climate-coastal-energy/>

Delaware Department of Agriculture – Contact Milton Melendez 302-698-4500

- The Department of Agriculture strongly encourages the developer to work with the Department's Forestry Section during the design and implementation of the project to plant an effective forested buffer between the proposed residential development and existing preserved properties. It is important that suitable tree species be selected and planted to create an effective mitigation barrier between this new development and the existing agricultural operation enrolled in the Agricultural Lands Preservation Program. This farm generates dust, noise and odors that new residents may not be familiar with.

Delaware Emergency Management Agency – Contact Phillip Cane 302-659-2325

- This parcel is located within an area of minimal flood concern (1000 years or greater. The First Street Foundation rates the community risk level of 3 for Milton, which suggests a major risk from flooding, combining risks associated between residential properties, commercial properties, critical infrastructure facilities, social infrastructure facilities, and roads, and is expected to increase between now and the next 30 years.
- The county has a population density of 265.60 per square mile based on the US 2020 Census report; an increase from 2010 at 208.90 persons per square mile. The specific census block the project is located has a total population of 126 people, though, with development, this will certainly change. The adjacent blocks in the aggregate bring the area to a total population of 846.
- The parcel is currently assigned to Sussex County's evacuation zone D, across Route 16 from Evacuation zone C but is not within the 10-mile EPZ zone for the Salem Nuclear Power Plant. DEMA recommends this information be made available to residents there through simply a sign, pamphlet other materials. According to FEMA's National Risk Index, the parcel is considered very low for overall natural hazards risks. Its community resilience and social vulnerability are rated as relatively moderate.
- In terms of energy use and consumption, the region utilizes electricity as the predominant fuel type for heating purposes. As such, the parcel has a photovoltaic power potential of 1492 kWh per kWp. As such, should solar panels be utilized, we recommend an optimum tilt of the photovoltaic modules to be at approximately 35 degrees which could provide a potential of 1805 kWh/m<sup>2</sup>.
- DEMA strongly encourages the use of renewable energies and high-efficiency appliances and utilities. In terms of utilities, DEMA suggests incorporating 90% series

furnaces/HVAC systems, the closer to 99% the better as well as A/C units of 20 Seer or greater. DEMA recommends using tankless hot water heaters, and battery backup systems for sump pumps to reduce potential water damage from power failure.

- Lastly, DEMA encourages the integration of modern and emerging technologies, such as the potential for electric vehicles in garages/parking lots, green roofs where applicable and allowable, and the like.

Delaware State Fire Marshall's Office – Contact Duane Fox 302-739-4394

- Although not a requirement of the State Fire Prevention Regulations, the Office of the State Fire Marshal encourages home builders to consider the benefits of home sprinkler protection in dwellings. The Office of the State Fire Marshal also reminds home builders that they are obligated to comply with requirements of Subchapter III of Chapter 36 of Title 6 of the Delaware Code which can be found at the following website: <http://delcode.delaware.gov/title6/c036/sc03/index.shtml>
- Preliminary meetings with fire protection specialists are encouraged prior to formal submittal. Please call for appointment. Applications and brochures can be downloaded from our website: [www.statefiremarshal.delaware.gov](http://www.statefiremarshal.delaware.gov), technical services link, plan review, applications or brochures.

**Following receipt of this letter and upon filing of an application with the local jurisdiction, the applicant shall provide to the local jurisdiction and the Office of State Planning Coordination a written response to comments received as a result of the pre-application process, noting whether comments were incorporated into the project design or not and the reason, therefore.**

Thank you for the opportunity to review this project. If you have any questions, please contact me at 302-739-3090.

Sincerely,



David L. Edgell, AICP  
Director, Office of State Planning Coordination

CC: Sussex County  
Town of Milton

Attachments: Sussex County Planning comments  
Sussex County Community Development and Housing letter

BRANDY BENNETT NAUMAN  
DIRECTOR OF COMMUNITY  
DEVELOPMENT & HOUSING  
(302) 855-7777 T  
(302) 854-5397 F  
bnauman@sussexcountyde.gov



**Sussex County**  
DELAWARE  
sussexcountyde.gov

March 21, 2022

Mr. Jon Falkowski  
Becker Morgan Group, Inc.  
309 South Governors Avenue  
Dover, DE 19904

RE: PLUS Review (PLUS 2022-03-15) – Milton Village

Dear Mr. Falkowski,

Sussex County endeavors to promote non-discrimination and affordable housing whenever possible throughout the County. In this regard, the developer and associated financial institutions are encouraged to provide and finance affordable housing opportunities to Sussex County residents in all new developments, and affirmatively market those affordable housing units to diverse populations.

For questions about opportunities available for affordable housing projects within Sussex County, please consult Sussex County's "Affordable Housing Support Policy". The policy along with other resources are available on the County's Affordable & Fair Housing Resource Center website: [www.sussexcountyde.gov/affordable-and-fair-housing-resource-center](http://www.sussexcountyde.gov/affordable-and-fair-housing-resource-center). The County's Community Development & Housing Department can advise about existing affordable housing opportunities in Sussex County and the appropriate County Department to contact regarding specific development issues concerning future affordable housing projects within Sussex County.

The Community Development & Housing Department can also explain and assist with any financial support or incentives that may be available to a project from federal, state and county sources, as well as private funding sources that also promote affordable housing in Sussex County.

Please understand that all residential projects, including Affordable Housing Projects are subject to the applicable provisions of the Sussex County Subdivision and Zoning Codes, and the approval processes set forth in those Codes.

On behalf of Sussex County, we look forward to cooperating with you and your project as it moves forward.

Thank you,

Brandy B. Nauman  
*Director*



JAMIE WHITEHOUSE, AICP MRTPI  
PLANNING & ZONING DIRECTOR  
(302) 855-7878 T  
(302) 854-5079 F  
jamie.whitehouse@sussexcountype.gov



**Sussex County**  
DELAWARE  
sussexcountype.gov

**Preliminary Land Use Service (PLUS) Meeting**  
**March 23<sup>rd</sup>, 2022**  
**March PLUS Comments**  
**Sussex County Department of Planning & Zoning**

**I. Review and Discussion: Milton Village (2022-03-15)**

**Location:** Southeast corner of Milton Ellendale Highway (Route 16) and Gravel hill Road (Route 30)

**Project:** Review of conceptual site plan for master plan containing multifamily, single family, townhouses, retail, office, and assisted living uses on 210 +/- acres in Sussex County.

**Sussex County Department of Planning & Zoning Comments**

The applicant is required to participate in a pre-application meeting with the County. Please contact the Planning and Zoning Department to schedule a pre-application meeting with staff to discuss the proposed project by calling (302)855-7878 or you may reach out to Lauren DeVore at [lauren.devore@sussexcountype.gov](mailto:lauren.devore@sussexcountype.gov).

Following submission to the County, staff will review the Preliminary Site Plan, where more detailed comments will be provided to the Applicant. At the PLUS stage of review, staff wish to limit comments to high-level comments only.

Please note that the following are informal staff comments, and do not prejudice any decision that the Sussex County Planning & Zoning Commission may wish to make as part of any application submitted to the Department.

**Tax Parcel ID(s):** 235-14.00-81.00, 235-14.00-82.00, 235-14.00-77.00

**Zoning:** The parcels are currently zoned Agricultural Residential (AR-1), General Commercial (C-1), and High-Density Residential (HR-1).

**Proposed:** The applicant proposes multiple uses including residential, commercial, and office across various improvements and structure on the site. The residential uses include single family, multifamily, and townhouses. These are to include 400 owner occupied and 296 rental for a total of 696 residential housing units. The commercial improvements include a retail shopping center (210,000 square feet) and as well as medical office use (80,000 square feet). Additionally, the plan includes an assisted living facility (35,000 square feet). The plan indicates greater than 75,000 square feet of commercial and office use and would be considered a *Large Scale Use* under (§115-77.1(A)) of Sussex County code.

**Density:** Please note the proposed density of the project on the Site Plan. From the information available in the application and the conceptual plan provided, staff performed calculations to determine the approximate densities proposed. The plan appears it appears to include a residential density of 5.5 dwelling units per acre in the High-Density Residential (HR-1) portion of the site which includes single family, multifamily, and townhouse improvements. The Agricultural Residential (AR-1) portion of plan appears to have a proposed density slightly less than 2 dwelling units per acre and consists entirely of single family detached residential units.

**Applicability to Comprehensive Plan:** The project lies within the “Town Center” and “Developing Area” categories of growth areas (per the 2018 Comprehensive Plan). Town Center Areas are areas where the County anticipates significant growth and the 2018 Plan notes that single-family homes, townhouses, and multifamily units are appropriate in these areas, encouraging a mix of such housing types. (2018 Sussex County Comprehensive Plan, 4-13) Additionally, the Plan encourages medium to high density residential development ranging from 4 to 12 homes per acre. Similarly, locations designated Developing Area in the Plan notes that the same range of housing types as appropriate, also noting that commercial uses are appropriate in “selected areas and at appropriate intersections” (2018 Sussex County Comprehensive Plan, 4-14). Additionally, for Developing Areas, the Plan notes a base density of 2 units per acre is appropriate with 4-12 units per acre only in areas with central water and sewer, along main roads, and keeping with the “character of the area”. In terms of infrastructure, the Plan “strongly encourages” central water and sewer facilities, noting if central utilities are not possible, densities should be limited to two units per acre” (2018 Sussex County Comprehensive Plan, 4-14).

**Open Space Provisions:** The proposed plan includes 20 acres +/- (out of a total of 208 acres) of open space which equates to approximately 9.6% of the project site. *Chapter 99 Subdivision of Land* of County code provides specific requirements for the provision of open space based on gross residential density. The densities of 5.5 and 2 dwelling units per acre proposed, as noted in the Density comments above, would require a minimum percentage of 10% of the total site be provided as parks or open space (§99-21(D)). Staff notes that the base density for multifamily residential development in the High-Density Residential (HR-1) is 12 dwelling units per acre, therefore recommends that a “25% or more” standard for open space be applied to this portion of the proposal as indicated in the table provided in (§99-21(D)).

**Interconnectivity:** The Commission desire to see interconnectivity between proposed developments in order to prevent only one-way-in, one-way-out access in the event that an emergency should occur on the property in the future. The commercial and medical offices portion of the proposal is categorized as a *Large-scale Use* under (§ 115-77.1(A)) and is required to provide that “pedestrian movement shall be accommodated throughout the site to provide safe connections to transit stops, parking area, and sidewalks” (§ 115-77.1(D)(1)(b)) and that “cross easements and interconnections shall be provided to adjoining sites” (§ 115-77.1(D)(1)(c)).

**Transportation Improvement District (TID):** The proposed project is **not** located within the Henlopen TID.



**Agricultural Areas:** The site is located within the vicinity of parcels which appear to be actively farmed. Please include on any plans submitted the Agricultural Use Protection notice located in (§99-6(G)(1)) of the Code. This language shall also be included within any subsequent deed restrictions, leases, or agreements of sale for the property.

**Forested Areas:** The Applicant notes that there are presently 26 acres of existing forest on the site and that 14 acres will be removed. Therefore, the site is retaining 12 acres of forested area (roughly 5.8% of the site.) Staff appreciate efforts to conserve as many mature trees as possible on the project site.

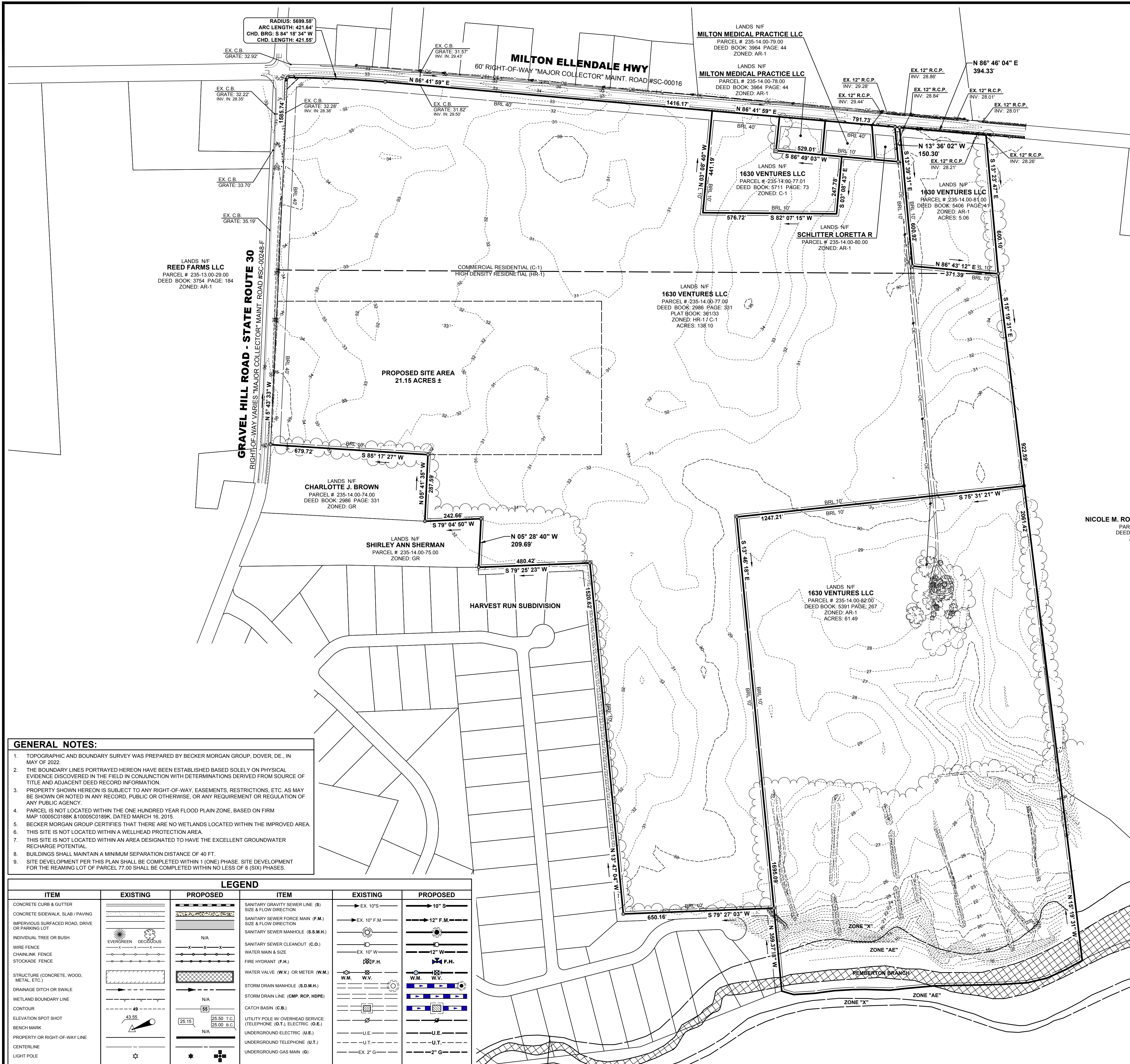
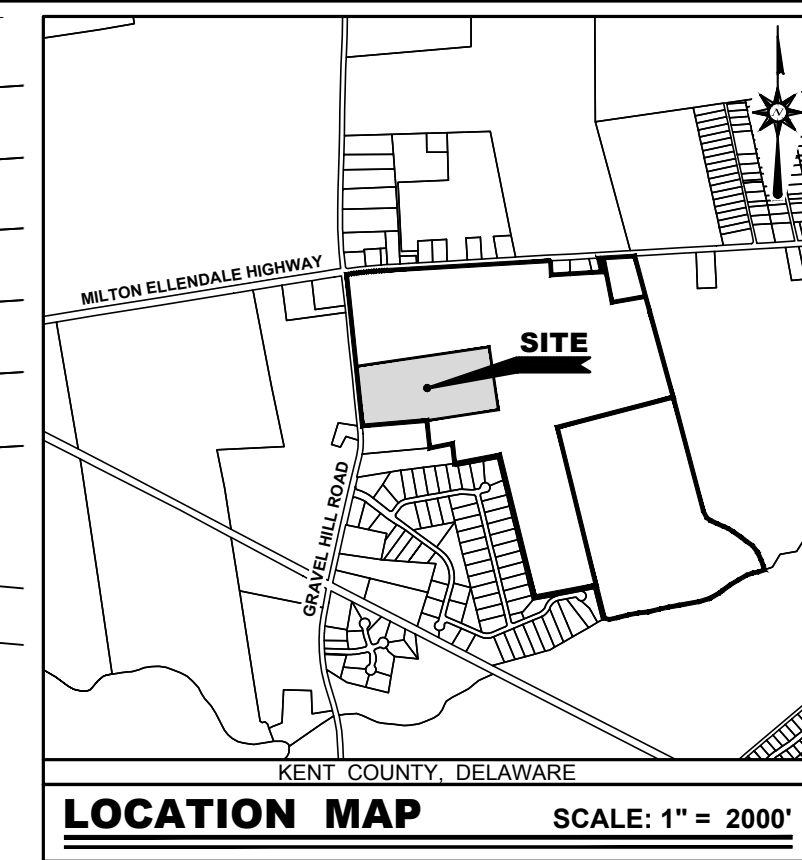
**Wetlands/Waterways:** The Application notes that there are no Tidal Wetlands or Non-Tidal Wetlands present on the site.

**Site Considerations (Flood Zones, Tax Ditches, Groundwater Recharge Potential etc.):** The property is located within Flood Zone “X” (Areas determined to be outside of the 100 year floodplain) as indicated in the applicant’s Conceptual Land Use Plan. This is accurate according to current data available to Sussex County Planning & Zoning. The Public Pre Check included with the State’s PLUS file for the application indicates “Issues Found.” Staff request that any discrepancies in FEMA FIRM Map floodplain designation be addressed. The site is located within an area of “fair” Groundwater Recharge according to Sussex County GIS data. Please note this on the plans in order to comply with the provisions of Chapter 89 “Source Water Protection” of the Sussex County Code (§89-7).

II.

---





**GENERAL NOTES:**

- TOPOGRAPHIC AND BOUNDARY SURVEY WAS PREPARED BY BECKER MORGAN GROUP, DOVER, DE., IN MAY OF 2022.
- THE BOUNDARY LINES PORTRAYED HEREON HAVE BEEN ESTABLISHED BASED SOLELY ON PHYSICAL EVIDENCE DISCOVERED IN THE FIELD IN CONJUNCTION WITH DETERMINATIONS DERIVED FROM SOURCE OF TITLE AND ADJACENT DEED RECORD INFORMATION.
- PROPERTY SHOWN HEREON IS SUBJECT TO ANY RIGHT-OF-WAY, EASEMENTS, RESTRICTIONS, ETC. AS MAY BE SHOWN OR NOTED IN ANY RECORD, PUBLIC OR OTHERWISE, OR ANY REQUIREMENT OR REGULATION OF ANY PUBLIC AGENCY.
- PARCEL IS NOT LOCATED WITHIN THE ONE HUNDRED YEAR FLOOD PLAIN ZONE, BASED ON FIRM MAP 10005C0188K & 10005C0189K, DATED MARCH 16, 2015.
- BECKER MORGAN GROUP CERTIFIES THAT THERE ARE NO WETLANDS LOCATED WITHIN THE IMPROVED AREA.
- THIS SITE IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA.
- THIS SITE IS NOT LOCATED WITHIN AN AREA DESIGNATED TO HAVE THE EXCELLENT GROUNDWATER RECHARGE POTENTIAL.
- BUILDINGS SHALL MAINTAIN A MINIMUM SEPARATION DISTANCE OF 40 FT.
- SITE DEVELOPMENT PER THIS PLAN SHALL BE COMPLETED WITHIN 1 (ONE) PHASE. SITE DEVELOPMENT FOR THE REMAINING LOT OF PARCEL 77.00 SHALL BE COMPLETED WITHIN NO LESS OF 6 (SIX) PHASES.

| LEGEND   |          |          |  |
|--|----------|----------|--|
| ITEM   | EXISTING | PROPOSED | ITEM   |
| CONCRETE CURB & GUTTER                         |          |          | SANITARY GRAVITY SEWER LINE (S) SIZE & FLOW DIRECTION                |
| CONCRETE SIDEWALK, SLAB / PAVING               |          |          | SANITARY SEWER FORCE MAIN (F.M.) SIZE & FLOW DIRECTION               |
| IMPERVIOUS SURFACED ROAD, DRIVE OR PARKING LOT |          |          | SANITARY SEWER MANHOLE (S.S.M.H.)                                    |
| INDIVIDUAL TREE OR BUSH                        |          |          | SANITARY SEWER CLEANOUT (C.O.)                                       |
| WIRE FENCE                                     |          |          | WATER MAIN & SIZE  |
| CHARLINK FENCE                                 |          |          | FIRE HYDRANT (F.H.)  |
| STOCKADE FENCE                                 |          |          | WATER VALVE (W.V.) OR METER (W.M.)                                   |
| STRUCTURE (CONCRETE, WOOD, METAL, ETC.)        |          |          | STORM DRAIN MANHOLE (S.D.M.H.)                                       |
| DRAINAGE DITCH OR SWALE                        |          |          | STORM DRAIN LINE (CMP, R.C.P., HDPE)                                 |
| WETLAND BOUNDARY LINE                          |          |          | CATCH BASIN (C.B.)   |
| CONTOUR  |          |          | UTILITY POLE W/ OVERHEAD SERVICE (TELEPHONE (O.T.), ELECTRIC (O.E.)) |
| ELEVATION SPOT SHOT                            |          |          | UNDERGROUND ELECTRIC (U.E.)  |
| BENCH MARK                                     |          |          | UNDERGROUND TELEPHONE (U.T.)   |
| PROPERTY OR RIGHT-OF-WAY LINE                  |          |          | UNDERGROUND GAS MAIN (G)   |
| CENTERLINE                                     |          |          |  |
| LIGHT POLE                                     |          |          |  |

**SHEET INDEX**

|       |                                  |
|-------|----------------------------------|
| C-001 | OVERALL EXISTING CONDITIONS PLAN |
| C-002 | DETAIL EXISTING CONDITIONS PLAN  |
| C-101 | PRELIMINARY SITE PLAN            |

**SITE DATA**

- OWNER OF RECORD: 1630 VENTURES LLC  
1 SOUTH CLEVELAND AVE  
WILMINGTON, DE 19805
- ENGINEER / SURVEYOR: BECKER MORGAN GROUP INC.  
309 SOUTH GOVERNORS AVE  
DOVER, DE 19904  
302-734-7950
- PROPERTY MAP NUMBER: 235-14-00-77.00
- ZONING CLASSIFICATION: EXISTING: HR-1 - HIGH DENSITY RESIDENTIAL / C-1 - GENERAL COMM.  
PROPOSED: NO ZONING CHANGE PROPOSED
- PRESENT USE: AGRICULTURAL
- PROPOSED USE: RESIDENTIAL - APARTMENTS (NOTE: APTS LOCATED IN HR-1 ZONE)
- SITE AREA: 138.1 AC±
- PROPOSED BUILDINGS:
 

|              |                |
|--------------|----------------|
| BUILDING 1:  | 19,070 S.F. ±  |
| BUILDING 2:  | 10,859 S.F. ±  |
| BUILDING 3:  | 10,859 S.F. ±  |
| BUILDING 4:  | 10,681 S.F. ±  |
| BUILDING 5:  | 10,681 S.F. ±  |
| BUILDING 6:  | 10,681 S.F. ±  |
| BUILDING 7:  | 10,681 S.F. ±  |
| BUILDING 8:  | 19,070 S.F. ±  |
| BUILDING 9:  | 10,859 S.F. ±  |
| BUILDING 10: | 10,859 S.F. ±  |
| BUILDING 11: | 6,000 S.F. ±   |
| TOTAL:       | 130,300 S.F. ± |
- NET DEVELOPMENT AREA: 22.6 ACRES ± (984,230 SQ. FT.)
- PERMITTED DENSITY: 12.0 DWELLING UNITS/ACRES
- PROPOSED UNITS: 296 DWELLING UNITS (2.14 DU/AC)
- OPEN SPACE & COVERAGE:
 

|         |                |                |
|---------|----------------|----------------|
| AREA 1: | 23,256 S.F. ±  | (0.53 ACRES ±) |
| AREA 2: | 88,651 S.F. ±  | (2.04 ACRES ±) |
| AREA 3: | 71,493 S.F. ±  | (1.64 ACRES ±) |
| AREA 4: | 2,334 S.F. ±   | (0.05 ACRES ±) |
| TOTAL:  | 185,734 S.F. ± | (4.26 ACRES ±) |

 PROPOSED: 8.92 ACRES ± (6.5% COVERAGE)
- IMPERVIOUS COVERAGE: 3.1% COVERAGE
- PARKING CALCULATIONS:
 

|                    |  |
|--------------------|--|
| REQUIRED:          | UNITS 1 - 50 @ 2.0 PER SPACES = 2 X 50 = 100 SPACES      |
|                    | UNITS 51 - 200 @ 1.7 PER SPACES = 1.7 X 150 = 255 SPACES |
|                    | UNITS 201 - 296 @ 1.6 PER SPACES = 1.6 X 97 = 154 SPACES |
| TOTAL SPACES = 509 |  |
| PROVIDED:          | 564 TOTAL (24 ACCESSIBLE PARKING & 60 ENCLOSED GARAGE)   |
- FLOOD ZONE: ZONE A
- SETBACKS: HR-1 ZONING:  
FRONT: 40 FT.  
SIDE: 10 FT.  
REAR: 10 FT.  
PERMITTED: 52 FT.
- BUILDING HEIGHT: ARTESIAN (TO BE INSTALLED 2022)
- SOURCE OF WATER: ARTESIAN (CONNECTION TO TIE-IN TO PROPOSED ON-SITE PUMP STATION)
- SOURCE OF SEWER: CHESAPEAKE UTILITIES
- SOURCE OF GAS: CHESAPEAKE UTILITIES
- SOURCE OF ELECTRIC: DELAWARE CO-OP

**MILTON VILLAGE APARTMENTS**

GRAVEL HILL RD. & MILTON ELLENDALE HWY.

MILTON, DE. 19968

SUSSEX COUNTY

**OVERALL EXISTING CONDITIONS PLAN**



ISSUE BLOCK

| NO. | DATE     | DESCRIPTION  |
|-----|----------|--|
| 1.  | 09/07/22 | ADDRESS SUSSEX COUNTY PLANNING AND ZONING COMMENTS |
|     |          | LAYER STATE: C-001                                 |

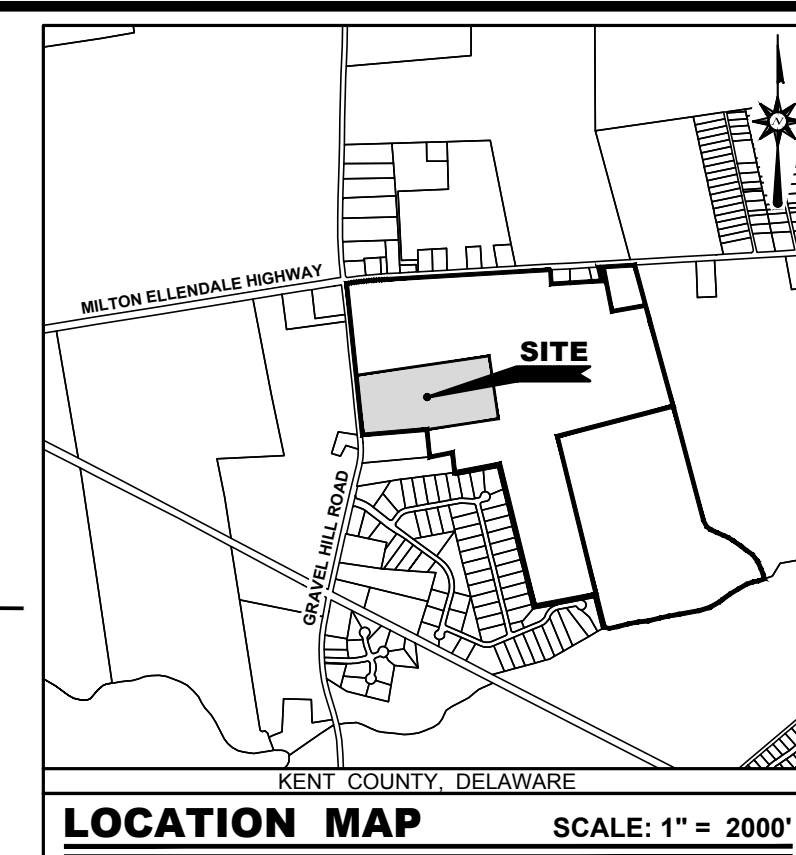
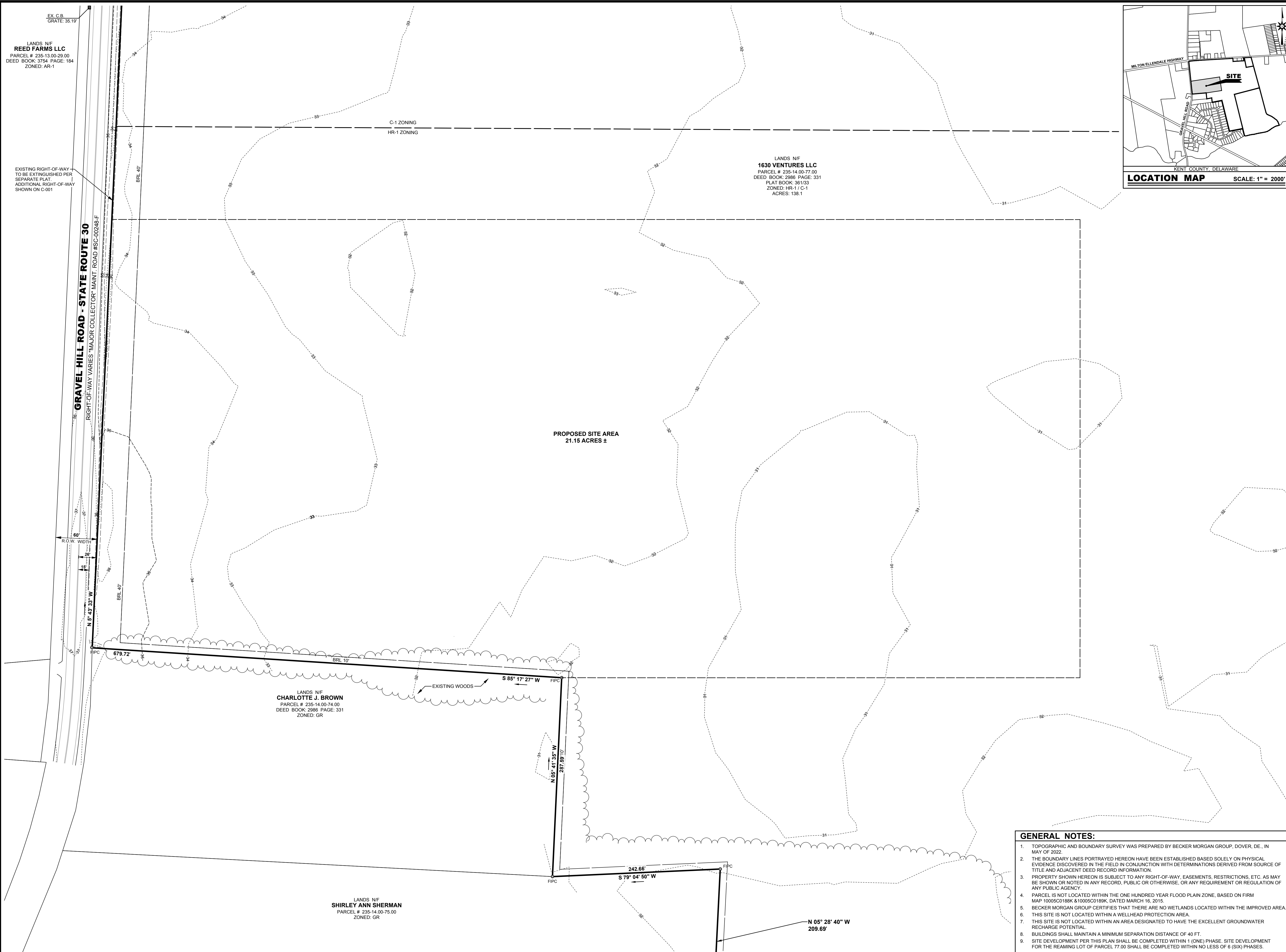
PROJECT NO.: 2021133.01  
DATE: 06/27/2022  
SCALE: 1" = 60'  
DRAWN BY: S.L.G. / PROJ. MGR.: C.D.C.

SHEET

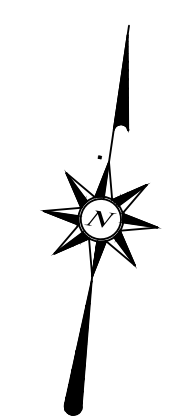
**C-001**

COPYRIGHT 2019



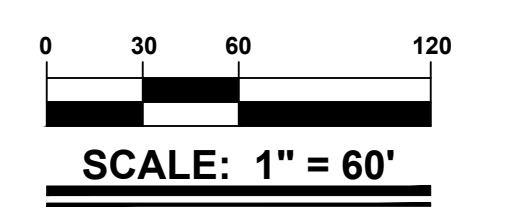


**BECKER MORGAN GROUP**  
 ARCHITECTURE  
 ENGINEERING  
**Dover, DE**  
 309 S. Governors Ave.  
 Dover, DE 19904  
 Ph. 302.734.7950  
 Fax 302.734.7965  
**Salisbury, MD**  
 312 West Main St. Suite 300  
 Salisbury, MD 21801  
 Ph. 410.546.9100  
 Fax 410.546.5824  
**Wilmington, NC**  
 3333 Jaeckle Drive, Suite 120  
 Wilmington, North Carolina 28403  
 Ph. 910.341.7600  
 Fax 910.341.7506  
 www.beckermorgan.com



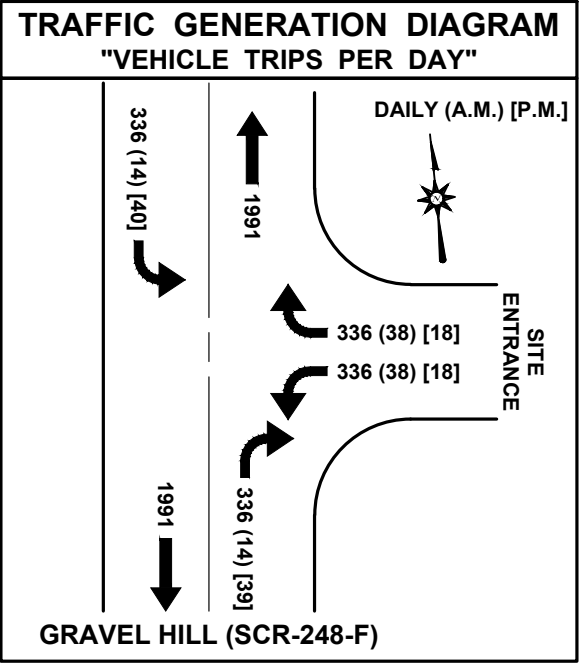
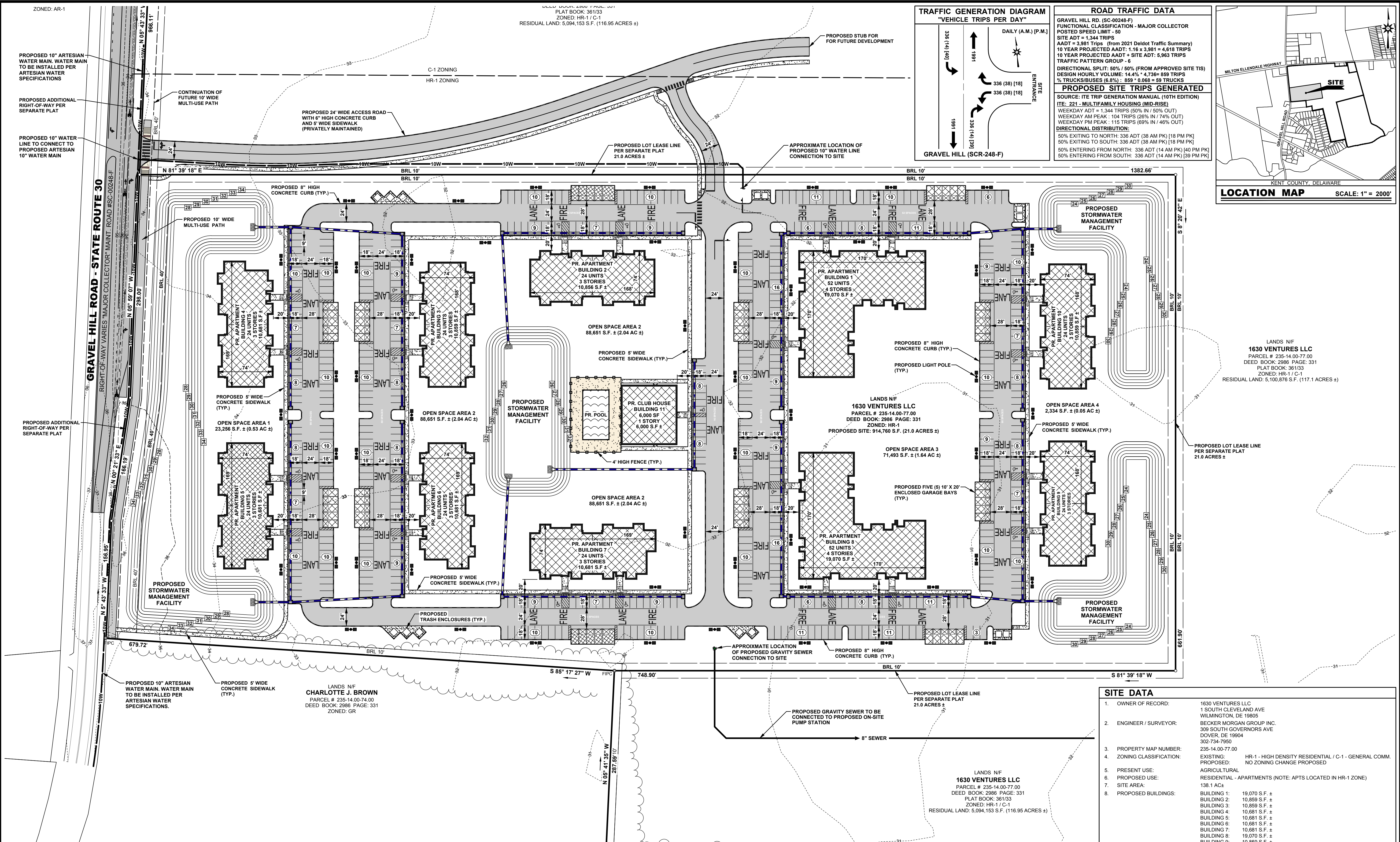
PROJECT TITLE  
**MILTON VILLAGE APARTMENTS**  
 GRAVEL HILL RD. & MILTON ELLENDALE HWY.  
 MILTON, DE. 19968  
 SUSSEX COUNTY

SHEET TITLE  
**DETAILED EXISTING CONDITIONS PLAN**



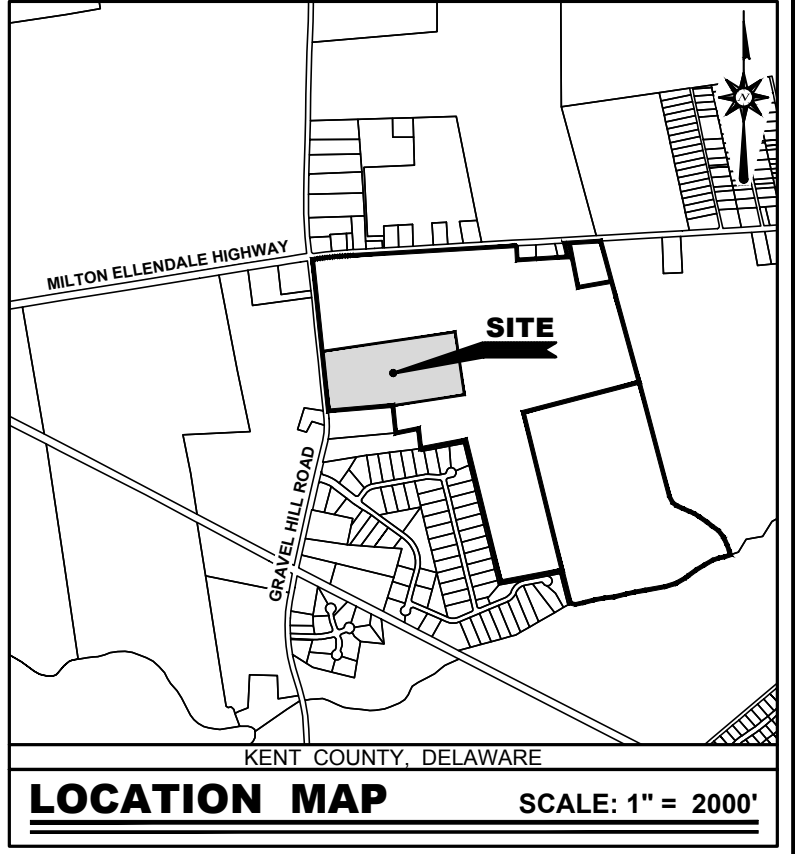
| ISSUE BLOCK  |          |  |
|--|----------|--|
| NO.  | DATE     | DESCRIPTION  |
| 1.   | 09/07/22 | ADDRESS SUSSEX COUNTY PLANNING AND ZONING COMMENTS |
| PROJECT NO.: 2021133.01<br>DATE: 06/27/2022<br>SCALE: 1" = 60'<br>DRAWN BY: S.L.G.   PROJ. MGR.: C.D.C.<br>SHEET<br><b>C-002</b><br><small>COPYRIGHT: 2018</small> |          |  |

- GENERAL NOTES:**
1. TOPOGRAPHIC AND BOUNDARY SURVEY WAS PREPARED BY BECKER MORGAN GROUP, DOVER, DE., IN MAY OF 2022.
  2. THE BOUNDARY LINES PORTRAYED HEREON HAVE BEEN ESTABLISHED BASED SOLELY ON PHYSICAL EVIDENCE DISCOVERED IN THE FIELD IN CONJUNCTION WITH DETERMINATIONS DERIVED FROM SOURCE OF TITLE AND ADJACENT DEED RECORD INFORMATION.
  3. PROPERTY SHOWN HEREON IS SUBJECT TO ANY RIGHT-OF-WAY, EASEMENTS, RESTRICTIONS, ETC. AS MAY BE SHOWN OR NOTED IN ANY RECORD, PUBLIC OR OTHERWISE, OR ANY REQUIREMENT OR REGULATION OF ANY PUBLIC AGENCY.
  4. PARCEL IS NOT LOCATED WITHIN THE ONE HUNDRED YEAR FLOOD PLAIN ZONE, BASED ON FIRM MAP 10005C0188K & 10005C0189K, DATED MARCH 16, 2015.
  5. BECKER MORGAN GROUP CERTIFIES THAT THERE ARE NO WETLANDS LOCATED WITHIN THE IMPROVED AREA.
  6. THIS SITE IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA.
  7. THIS SITE IS NOT LOCATED WITHIN AN AREA DESIGNATED TO HAVE THE EXCELLENT GROUNDWATER RECHARGE POTENTIAL.
  8. BUILDINGS SHALL MAINTAIN A MINIMUM SEPARATION DISTANCE OF 40 FT.
  9. SITE DEVELOPMENT PER THIS PLAN SHALL BE COMPLETED WITHIN 1 (ONE) PHASE. SITE DEVELOPMENT FOR THE REMAINING LOT OF PARCEL 77.00 SHALL BE COMPLETED WITHIN NO LESS OF 6 (SIX) PHASES.



**ROAD TRAFFIC DATA**

GRAVEL HILL RD. (SC-00248-F)  
 FUNCTIONAL CLASSIFICATION - MAJOR COLLECTOR  
 POSTED SPEED LIMIT - 50  
 SITE ADT = 1,344 TRIPS  
 AADT = 3,981 Trips (from 2021 DelDOT Traffic Summary)  
 10 YEAR PROJECTED AADT: 1,116 x 3,981 = 4,461 TRIPS  
 10 YEAR PROJECTED AADT - SITE ADT: 5,963 TRIPS  
 TRAFFIC PATTERN GROUP - 6  
 DIRECTIONAL SPLIT: 50% / 50% (FROM APPROVED SITE SITS)  
 DESIGN HOURLY VOLUME: 14.4% \* 4,736 = 689 TRIPS  
 % TRUCKS/BUSES (6.3%) = 889 \* 0.068 = 59 TRUCKS  
**PROPOSED SITE TRIPS GENERATED**  
 SOURCE: ITE TRIP GENERATION MANUAL (10TH EDITION)  
 ITE: 221 - MULTIFAMILY HOUSING (MID-RISE)  
 WEEKDAY ADT = 1,344 TRIPS (50% IN / 50% OUT)  
 WEEKDAY AM PEAK: 104 TRIPS (26% IN / 74% OUT)  
 WEEKDAY PM PEAK: 115 TRIPS (69% IN / 40% OUT)  
 DIRECTIONAL DISTRIBUTION:  
 50% EXITING TO NORTH: 336 ADT (38 AM PK) [18 PM PK]  
 50% EXITING TO SOUTH: 336 ADT (38 AM PK) [18 PM PK]  
 50% ENTERING FROM NORTH: 336 ADT (14 AM PK) [40 PM PK]  
 50% ENTERING FROM SOUTH: 336 ADT (14 AM PK) [39 PM PK]



**BECKER MORGAN GROUP**

ARCHITECTURE  
ENGINEERING

Dover, DE  
 309 S. Governors Ave.  
 Dover, DE 19904  
 Ph. 302.734.7950  
 Fax 302.734.7965

Salisbury, MD  
 312 West Main St. Suite 300  
 Salisbury, MD 21801  
 Ph. 410.546.9100  
 Fax 410.546.5824

Wilmington, NC  
 3333 Jaeckle Drive, Suite 120  
 Wilmington, North Carolina 28403  
 Ph. 910.341.7600  
 Fax 910.341.7506

www.beckermorgan.com

LANDS N/F  
**1630 VENTURES LLC**  
 PARCEL # 235-14-00-77.00  
 DEED BOOK: 2986 PAGE: 331  
 PLAT BOOK: 361/33  
 ZONED: HR-1 / C-1  
 RESIDUAL LAND: 5,100,876 S.F. (117.1 ACRES ±)

PROJECT TITLE

**MILTON VILLAGE APARTMENTS**

GRAVEL HILL RD. & MILTON ELLENDALE HWY.  
 MILTON, DE. 19968  
 SUSSEX COUNTY

SHEET TITLE

**PRELIMINARY SITE PLAN**

0 30 60 120  
**SCALE: 1" = 60'**

ISSUE BLOCK

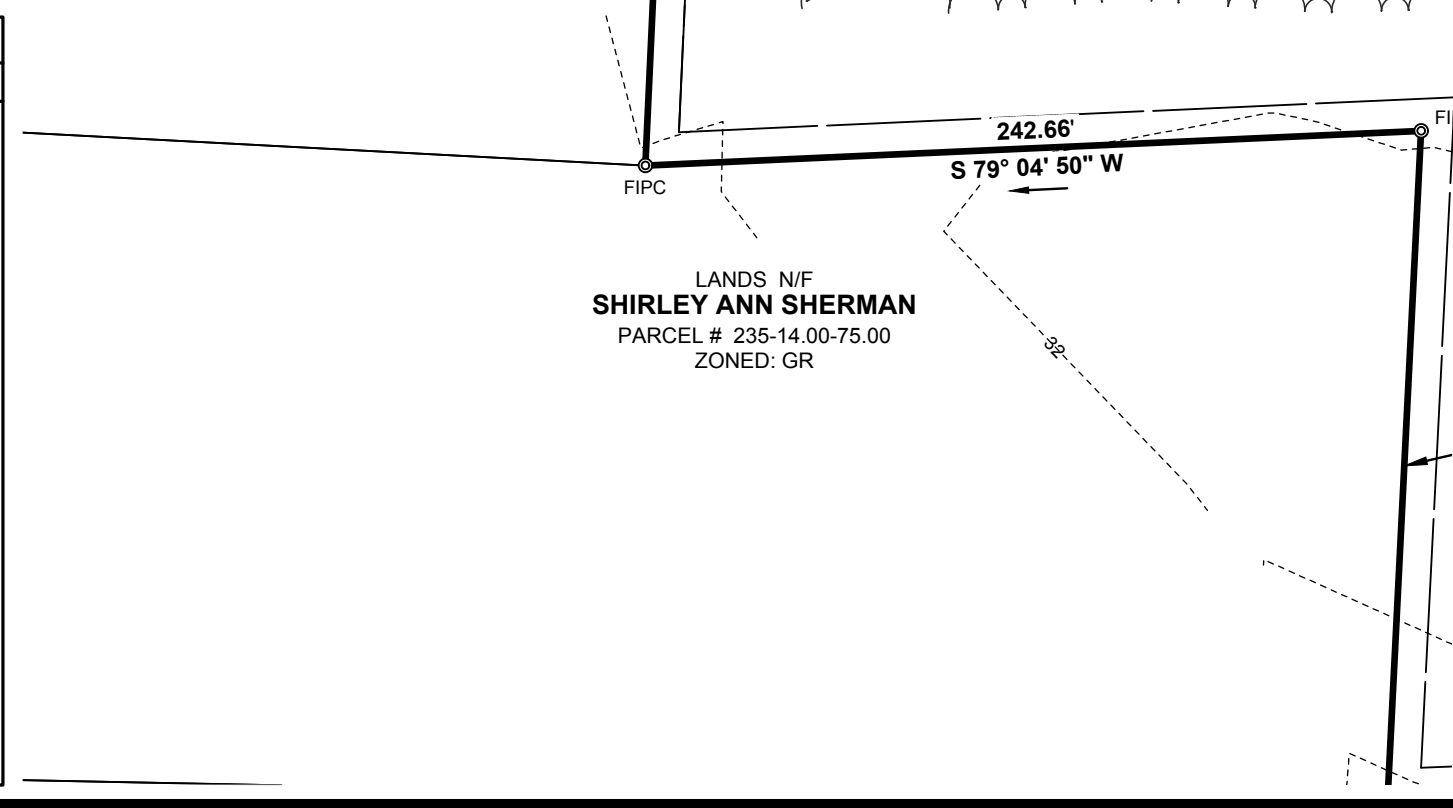
| MARK | DATE     | DESCRIPTION   |
|------|----------|---|
| 1    | 09/07/22 | ADDRESS SUSSEX COUNTY PLANNING AND ZONING COMMITMENTS |

PROJECT NO.: 2021133.01  
 DATE: 06/27/2022  
 SCALE: 1" = 60'  
 DRAWN BY: S.L.G. / PROJ. MGR.: C.D.C.

**C-101**  
 COPYRIGHT 2019

**LEGEND**

| ITEM   | EXISTING | PROPOSED | ITEM   | EXISTING     | PROPOSED |
|--|----------|----------|--|--------------|----------|
| CONCRETE CURB & GUTTER                         | [Symbol] | [Symbol] | SANITARY GRAVITY SEWER LINE (S) SIZE & FLOW DIRECTION                | EX. 10" S    | 10" S    |
| CONCRETE SIDEWALK, SLAB / PAVING               | [Symbol] | [Symbol] | SANITARY SEWER FORCE MAIN (F.M.) SIZE & FLOW DIRECTION               | EX. 10" F.M. | 12" F.M. |
| IMPERVIOUS SURFACED ROAD, DRIVE OR PARKING LOT | [Symbol] | [Symbol] | SANITARY SEWER MANHOLE (S.S.M.H.)                                    | [Symbol]     | [Symbol] |
| INDIVIDUAL TREE OR BUSH                        | [Symbol] | [Symbol] | SANITARY SEWER CLEANOUT (C.O.)                                       | [Symbol]     | [Symbol] |
| WIRE FENCE                                     | [Symbol] | [Symbol] | WATER MAIN & SIZE  | EX. 10" W    | 12" W    |
| CHARLINK FENCE                                 | [Symbol] | [Symbol] | FIRE HYDRANT (F.H.)  | [Symbol]     | [Symbol] |
| STOCKADE FENCE                                 | [Symbol] | [Symbol] | WATER VALVE (W.V.) OR METER (W.M.)                                   | [Symbol]     | [Symbol] |
| STRUCTURE (CONCRETE, WOOD, METAL, ETC.)        | [Symbol] | [Symbol] | STORM DRAIN MANHOLE (S.D.M.H.)                                       | [Symbol]     | [Symbol] |
| DRAINAGE DITCH OR SWALE                        | [Symbol] | [Symbol] | STORM DRAIN LINE (CMP, RCP, HDPE)                                    | [Symbol]     | [Symbol] |
| WETLAND BOUNDARY LINE                          | [Symbol] | [Symbol] | CATCH BASIN (C.B.)   | [Symbol]     | [Symbol] |
| CONTOUR  | [Symbol] | [Symbol] | UTILITY POLE W/ OVERHEAD SERVICE (TELEPHONE (O.T.), ELECTRIC (O.E.)) | [Symbol]     | [Symbol] |
| ELEVATION SPOT SHOT                            | [Symbol] | [Symbol] | UNDERGROUND ELECTRIC (U.E.)  | [Symbol]     | [Symbol] |
| BENCH MARK                                     | [Symbol] | [Symbol] | UNDERGROUND TELEPHONE (U.T.)   | [Symbol]     | [Symbol] |
| PROPERTY OR RIGHT-OF-WAY LINE                  | [Symbol] | [Symbol] | UNDERGROUND GAS MAIN (G)   | [Symbol]     | [Symbol] |
| CENTERLINE                                     | [Symbol] | [Symbol] |  |              |          |
| LIGHT POLE                                     | [Symbol] | [Symbol] |  |              |          |



**SITE DATA**

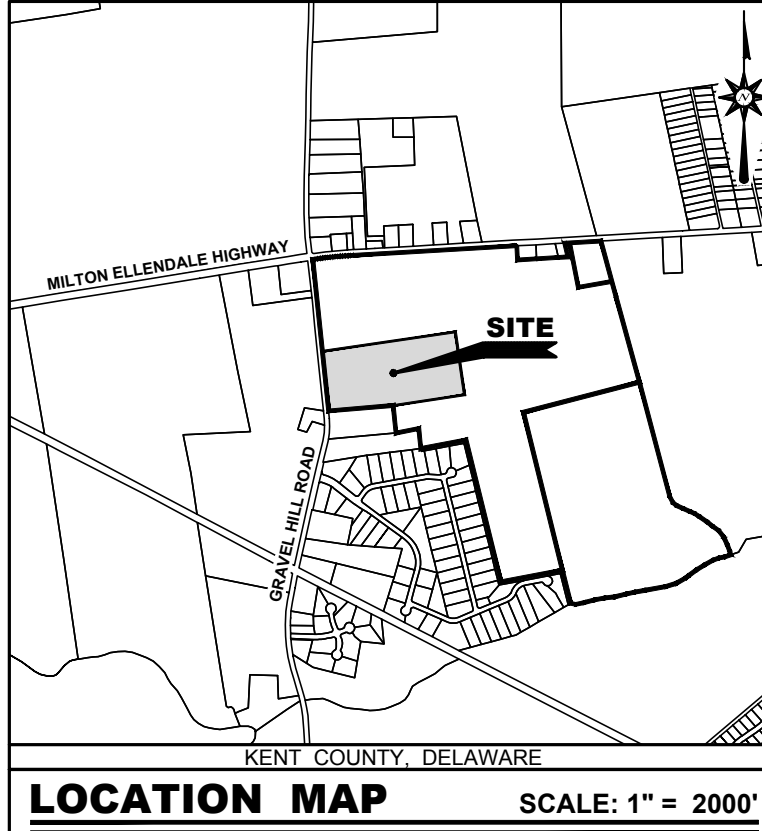
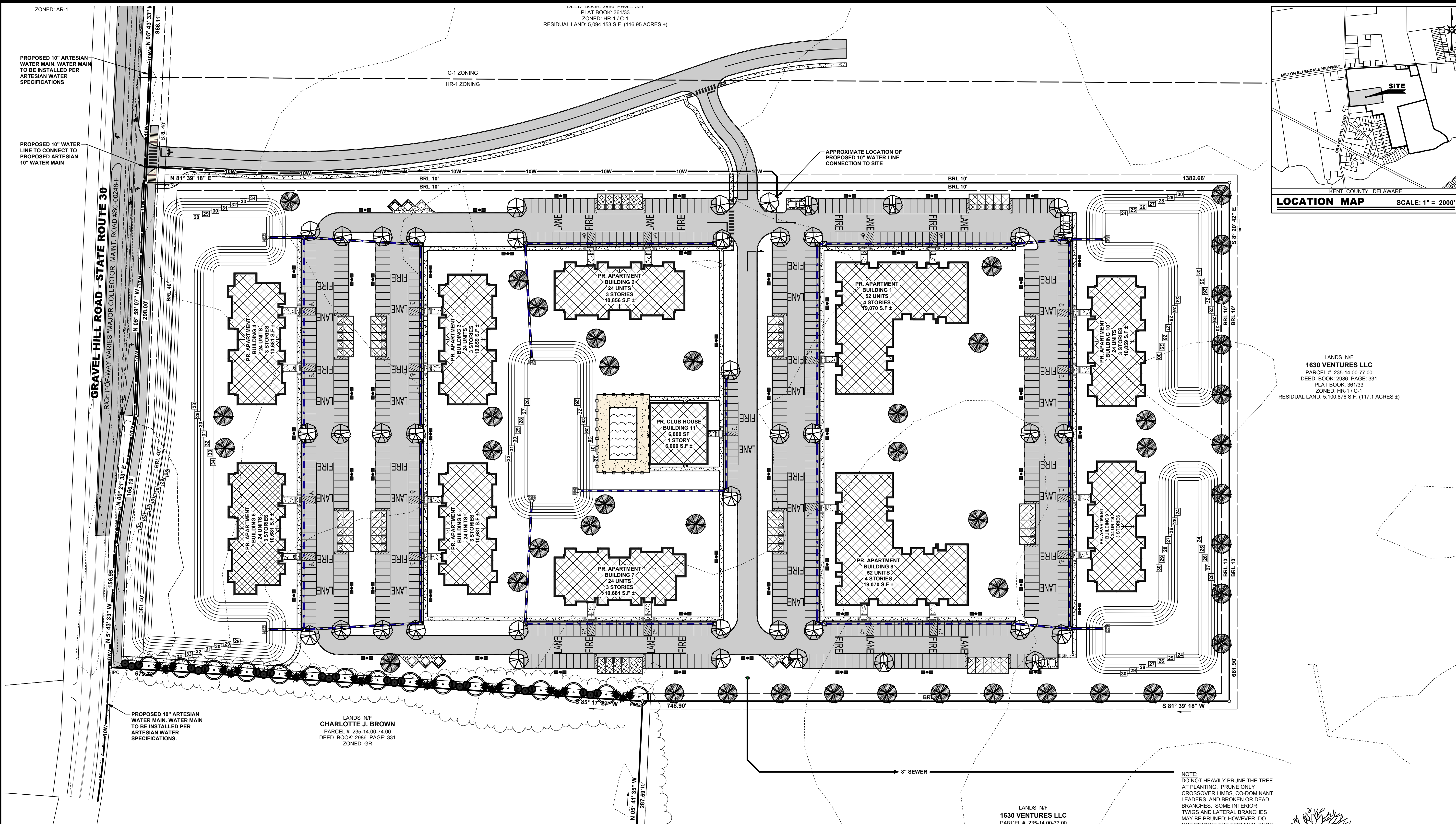
- OWNER OF RECORD: 1630 VENTURES LLC, 1 SOUTH CLEVELAND AVE, WILMINGTON, DE 19805
- ENGINEER / SURVEYOR: BECKER MORGAN GROUP INC., 309 SOUTH GOVERNORS AVE, DOVER, DE 19904, 302-734-7950
- PROPERTY MAP NUMBER: 235-14-00-77.00
- ZONING CLASSIFICATION: EXISTING: HR-1 - HIGH DENSITY RESIDENTIAL / C-1 - GENERAL COMM. PROPOSED: NO ZONING CHANGE PROPOSED
- PRESENT USE: AGRICULTURAL
- PROPOSED USE: RESIDENTIAL - APARTMENTS (NOTE: APTS LOCATED IN HR-1 ZONE)
- SITE AREA: 138.1 AC ±
- PROPOSED BUILDINGS:
 

|              |                |
|--------------|----------------|
| BUILDING 1:  | 19,070 S.F. ±  |
| BUILDING 2:  | 10,859 S.F. ±  |
| BUILDING 3:  | 10,859 S.F. ±  |
| BUILDING 4:  | 10,881 S.F. ±  |
| BUILDING 5:  | 10,881 S.F. ±  |
| BUILDING 6:  | 10,881 S.F. ±  |
| BUILDING 7:  | 10,881 S.F. ±  |
| BUILDING 8:  | 19,070 S.F. ±  |
| BUILDING 9:  | 10,859 S.F. ±  |
| BUILDING 10: | 10,859 S.F. ±  |
| BUILDING 11: | 6,000 S.F. ±   |
| TOTAL:       | 130,300 S.F. ± |
- NET DEVELOPMENT AREA: 22.6 ACRES ± (984,230 SQ. FT.)
- PERMITTED DENSITY: 12.0 DWELLING UNITS/ACRES
- PROPOSED UNITS: 296 DWELLING UNITS (2.14 DU/AC)
 

|         |                |                |
|---------|----------------|----------------|
| AREA 1: | 23,256 S.F. ±  | (0.53 ACRES ±) |
| AREA 2: | 88,651 S.F. ±  | (2.04 ACRES ±) |
| AREA 3: | 71,493 S.F. ±  | (1.64 ACRES ±) |
| AREA 4: | 2,334 S.F. ±   | (0.05 ACRES ±) |
| TOTAL:  | 185,734 S.F. ± | (4.28 ACRES ±) |
- IMPERVIOUS COVERAGE: PROPOSED: 892 ACRES ± (6.5% COVERAGE)
- PARKING CALCULATIONS: REQUIRED: UNITS 1 - 50 @ 2.0 PER SPACES = 2 X 50 = 100 SPACES  
 UNITS 51 - 200 @ 1.7 PER SPACES = 1.7 X 150 = 255 SPACES  
 UNITS 201 - 296 @ 1.6 PER SPACES = 1.6 X 97 = 154 SPACES  
 TOTAL SPACES = 509 (4.28 ACRES ±)  
 PROVIDED: 564 TOTAL (24 ACCESSIBLE PARKING & 60 ENCLOSED GARAGE)
- FLOOD ZONE: ZONE A
- SETBACKS: HR-1 ZONING: FRONT: 40 FT., SIDE: 10 FT., REAR: 10 FT., PERMITTED: 52 FT.
- BUILDING HEIGHT: ARTESIAN (TO BE INSTALLED 2022)
- SOURCE OF WATER: ARTESIAN (CONNECTION TO TIE-IN TO PROPOSED ON-SITE PUMP STATION)
- SOURCE OF SEWER: CHESAPEAKE UTILITIES
- SOURCE OF GAS: DELAWARE CO-OP
- SOURCE OF ELECTRIC: DELAWARE CO-OP

**GENERAL NOTES:**

- TOPOGRAPHIC AND BOUNDARY SURVEY WAS PREPARED BY BECKER MORGAN GROUP, DOVER, DE., IN MAY OF 2022.
- THE BOUNDARY LINES PORTRAYED HEREIN HAVE BEEN ESTABLISHED BASED SOLELY ON PHYSICAL EVIDENCE DISCOVERED IN THE FIELD IN CONJUNCTION WITH DETERMINATIONS DERIVED FROM SOURCE OF TITLE AND ADJACENT DEED RECORD INFORMATION.
- PROPERTY SHOWN HEREON IS SUBJECT TO ANY RIGHT-OF-WAY, EASEMENTS, RESTRICTIONS, ETC. AS MAY BE SHOWN OR NOTED IN ANY RECORD, PUBLIC OR OTHERWISE, OR ANY REQUIREMENT OR REGULATION OF ANY PUBLIC AGENCY.
- PARCEL IS NOT LOCATED WITHIN THE ONE HUNDRED YEAR FLOOD PLAIN ZONE, BASED ON FIRM MAP 10005C0188K & 10005C0189K, DATED MARCH 16, 2015.
- BECKER MORGAN GROUP CERTIFIES THAT THERE ARE NO WETLANDS LOCATED WITHIN THE IMPROVED AREA.
- THIS SITE IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA.
- THIS SITE IS NOT LOCATED WITHIN AN AREA DESIGNATED TO HAVE THE EXCELLENT GROUNDWATER RECHARGE POTENTIAL.
- BUILDINGS SHALL MAINTAIN A MINIMUM SEPARATION DISTANCE OF 40 FT.
- SITE DEVELOPMENT PER THIS PLAN SHALL BE COMPLETED WITHIN 1 (ONE) PHASE. SITE DEVELOPMENT FOR THE REMAINING LOT OF PARCEL 77.00 SHALL BE COMPLETED WITHIN NO LESS OF 6 (SIX) PHASES.

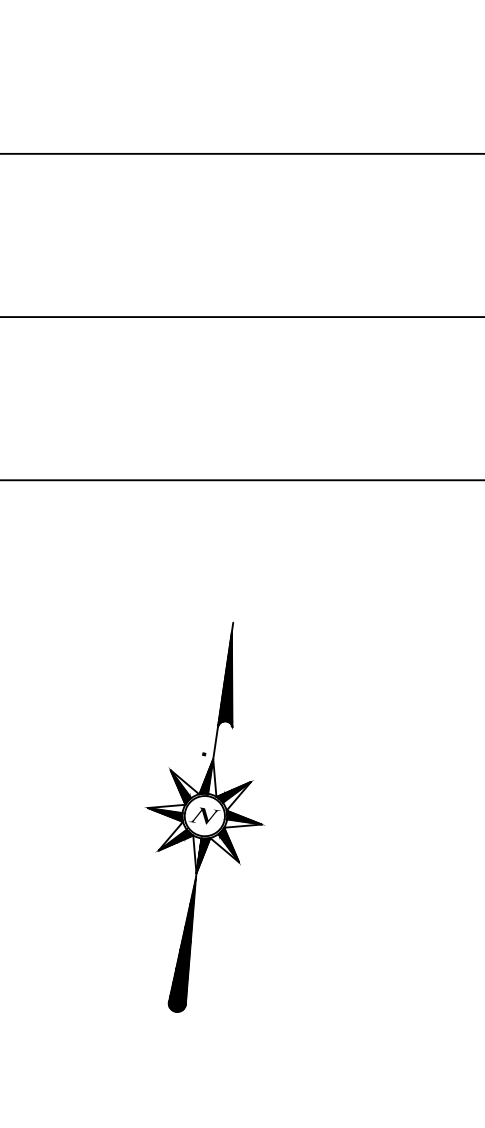


ARCHITECTURE  
ENGINEERING

**Delaware**  
309 South Governors Avenue  
Dover, DE 19904  
302.734.7950  
The Tower at STAR Campus  
100 Discovery Boulevard, Suite 102  
Newark, DE 19713  
302.369.3700

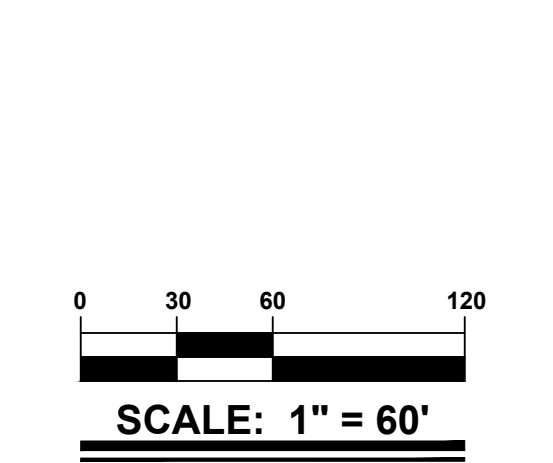
**Maryland**  
312 West Main Street, Suite 300  
Salisbury, MD 21801  
410.546.9100

**North Carolina**  
3333 Jaeckle Drive, Suite 120  
Wilmington, NC 28403  
910.341.7600  
www.beckermorgan.com



PROJECT TITLE  
**MILTON VILLAGE APARTMENTS**  
GRAVEL HILL RD. & MILTON ELLENDALE HWY.  
MILTON, DE. 19968  
SUSSEX COUNTY

SHEET TITLE  
**CONCEPT LANDSCAPE PLAN**

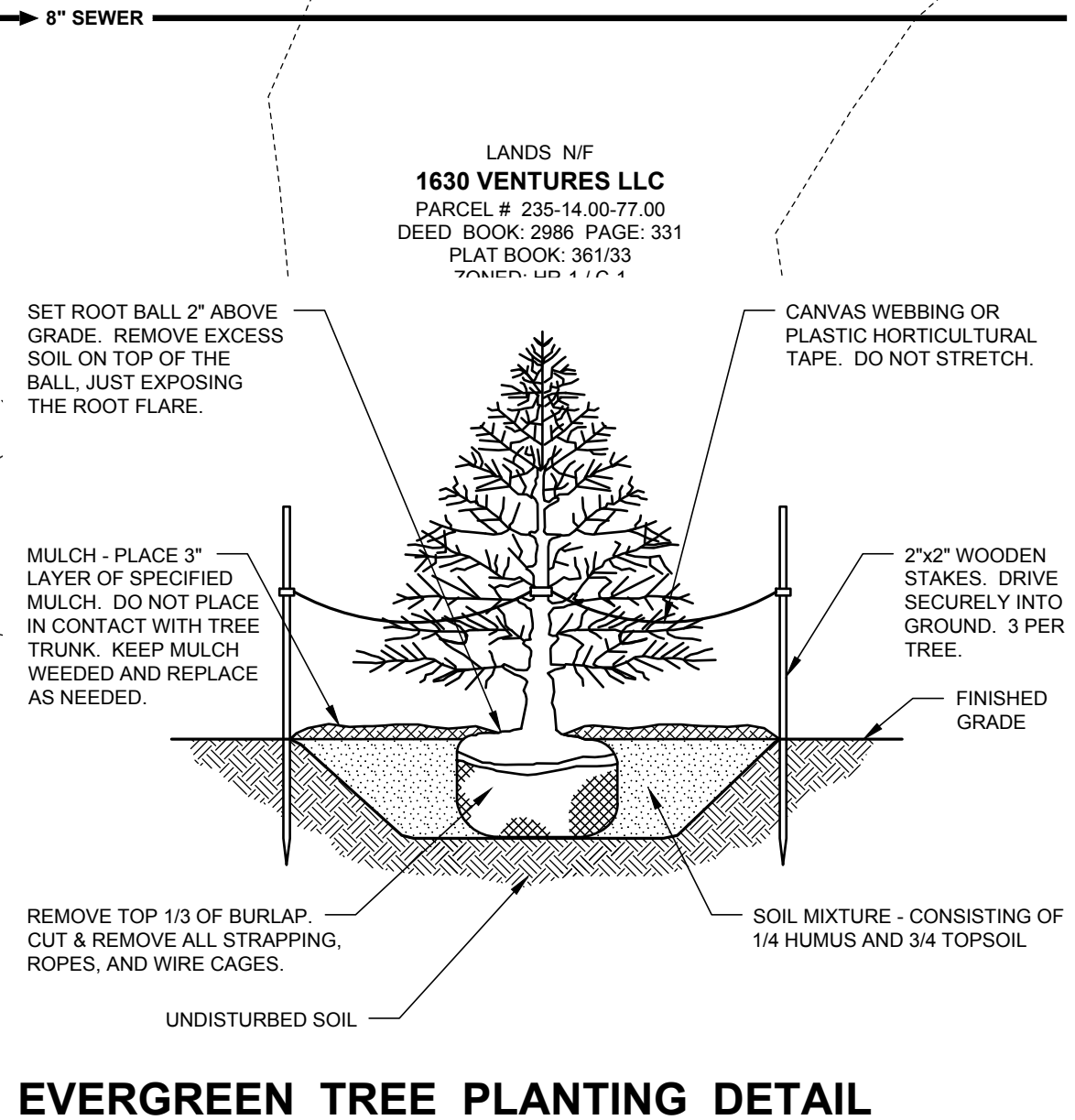
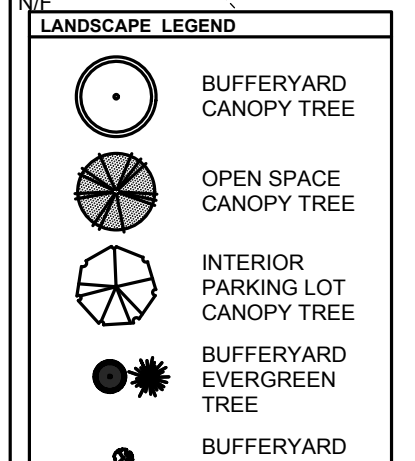


| MARK         | DATE       | DESCRIPTION        |
|--------------|------------|--------------------|
| LAYER STATE  | 24x30      |                    |
| PROJECT NO.: | 2021133.01 |                    |
| DATE:        | 06/27/2022 |                    |
| SCALE:       | 1" = 60'   |                    |
| DRAWN BY:    | C.D.C.     | PROJ. MGR.: C.D.C. |

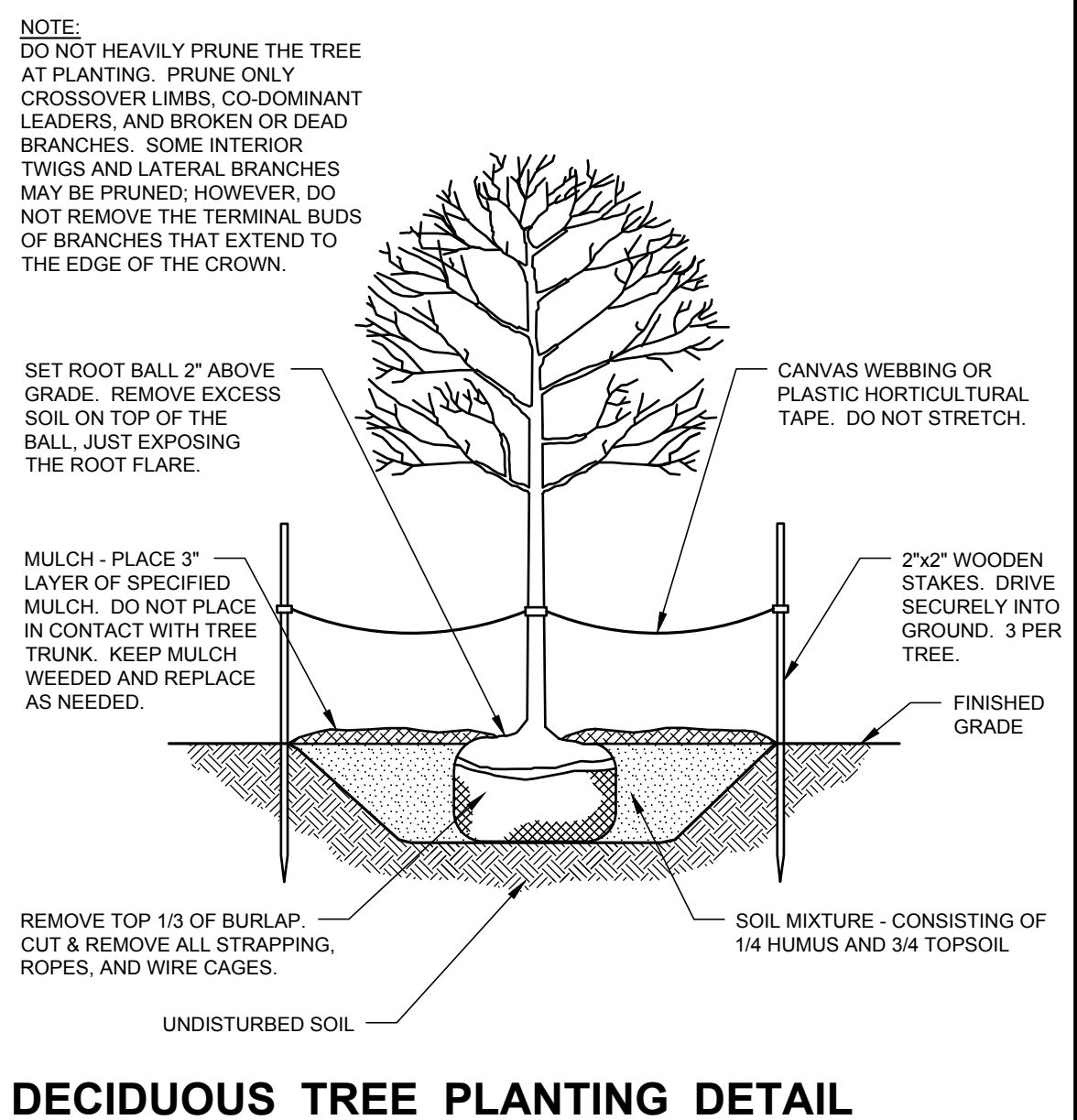
L-101

**GENERAL LANDSCAPE NOTES:**

- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN/AMERICAN STANDARDS FOR NURSERY STOCK.  
EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.  
ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 7'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE DETAIL SHOWN.  
PLANT MATERIALS DELIVERED TO THE SITE IN UNCOVERED TRUCKS WILL BE REJECTED.  
UNACCEPTABLE PLANT MATERIALS: MATERIALS WHICH HAVE DAMAGED OR CROOKED LEADERS, DEFORMED GROWTH HABIT, ABRASIONS OF THE BARK, SUN SCALD, WINDBURN, DISFIGURING NOT COMPLETELY CALLEDUS WILL BE REJECTED. IN ADDITION, TREES HAVING THEIR CENTRAL LEADERS HEADED BACK WILL ALSO BE REJECTED. PLANTS WITH LOOSE OR CRACKED ROOT BALL OR CONTAINERS WILL BE REJECTED.
- ALL PLANTS SHALL BE PLANTED IN TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACKFILLING PROGRESSES. NOTHING BUT SUITABLE TOPSOIL, FREE OF DRY SOD, STIFF CLAY, LITTER, STONES IN EXCESS OF ONE (1) INCH DIAMETER, ETC. SHALL BE USED FOR PLANTING.  
MULCH FOR PLANTING BEDS SHALL BE SHREDDED HARDWOOD BARK MULCH UNLESS OTHERWISE SPECIFIED ON THE PLANS AND SHALL HAVE NO LEAVES, YOUNG GREEN GROWTH, BRANCHES, TWIGS, GREATER IN DIAMETER OF 1/2" WEEDS, SHAVINGS OR FOREIGN MATERIAL SUCH AS STONES, ETC. SHALL BE MIXED WITH THE MULCH. ALL SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS WITH A LIGHTLY COMPACTED DEPTH OF THREE (3) INCHES. ALL CONTAINER PLANTS ARE TO HAVE ROOTS CUT ON FOUR SIDES AND/OR SPREAD OUT IN NEW SOIL MIXTURE.
- ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN AND NOTES.)
- LANDSCAPE BEDS NOT DEFINED BY CURBS, SIDEWALKS, WALLS OR OTHER STRUCTURES SHALL BE ENCLOSED BY ALUMINUM EDGING UNLESS OTHERWISE INDICATED.
- AREAS DISTURBED BY LANDSCAPE OPERATIONS SHALL BE GRADED TO MATCH EXISTING TOPSOIL AND SEED OR SOD AS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
- NO PLANT, EXCEPT GROUNDCOVERS, SHALL BE WITHIN THREE (3) FEET FROM SIDEWALKS.
- NO TREE SHALL BE PLANTED CLOSER THAN TEN (10) FEET FROM ANY STRUCTURE OR BUILDING.
- NO TREE SHALL BE PLANTED WITHIN TEN (10) FEET OF UNDERGROUND UTILITIES OR FIRE HYDRANTS.
- ONLY TREES THAT REACH A HEIGHT AND SIZE AT MATURITY OF SMALL TO MEDIUM SHALL BE PLANTED UNDER POWER LINES.
- THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON, UNLESS THE OWNER AGREES TO MAINTAIN AND WATER THEM.
- TREES TO REMAIN ON-SITE SHALL BE PROTECTED WITH SNOW FENCE DURING CONSTRUCTION (SEE DETAIL). SNOW FENCING TO BE MAINTAINED DURING CONSTRUCTION BY CONTRACTOR.
- THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT QUANTITY DISCREPANCIES OCCUR.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER AND/OR THE LANDSCAPE ARCHITECT.
- ALL NEW TREES SHALL BE GUARANTEED TO SURVIVE FOR ONE FULL YEAR AFTER INSTALLATION (FULL COST). ALL STAKES AND GUYS SHALL BE REMOVED FROM TREES AND SITE AS EARLY AS THREE (3) MONTHS, BUT NO LONGER THAN ONE (1) YEAR AFTER PLANTING.



**EVERGREEN TREE PLANTING DETAIL**

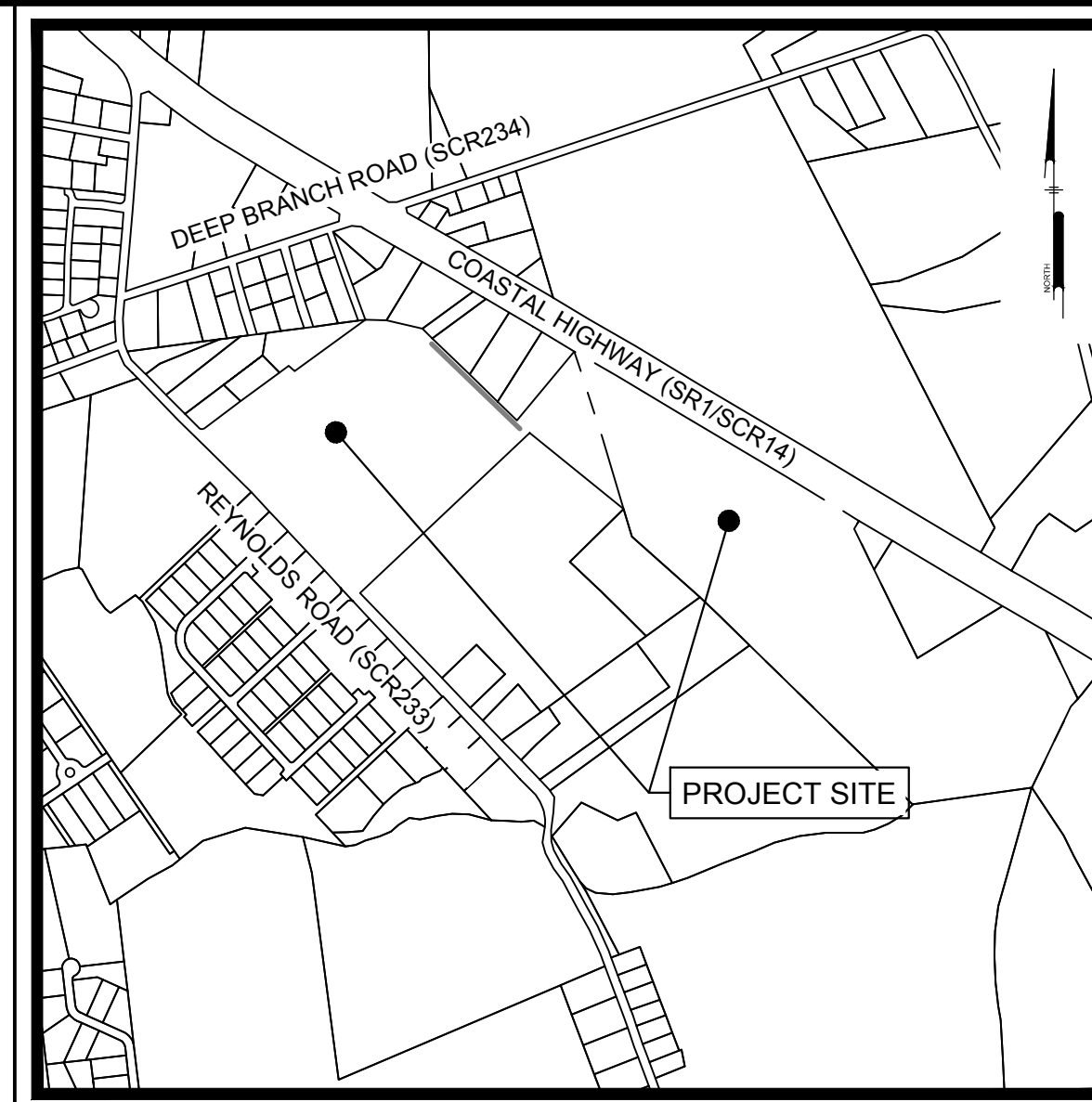
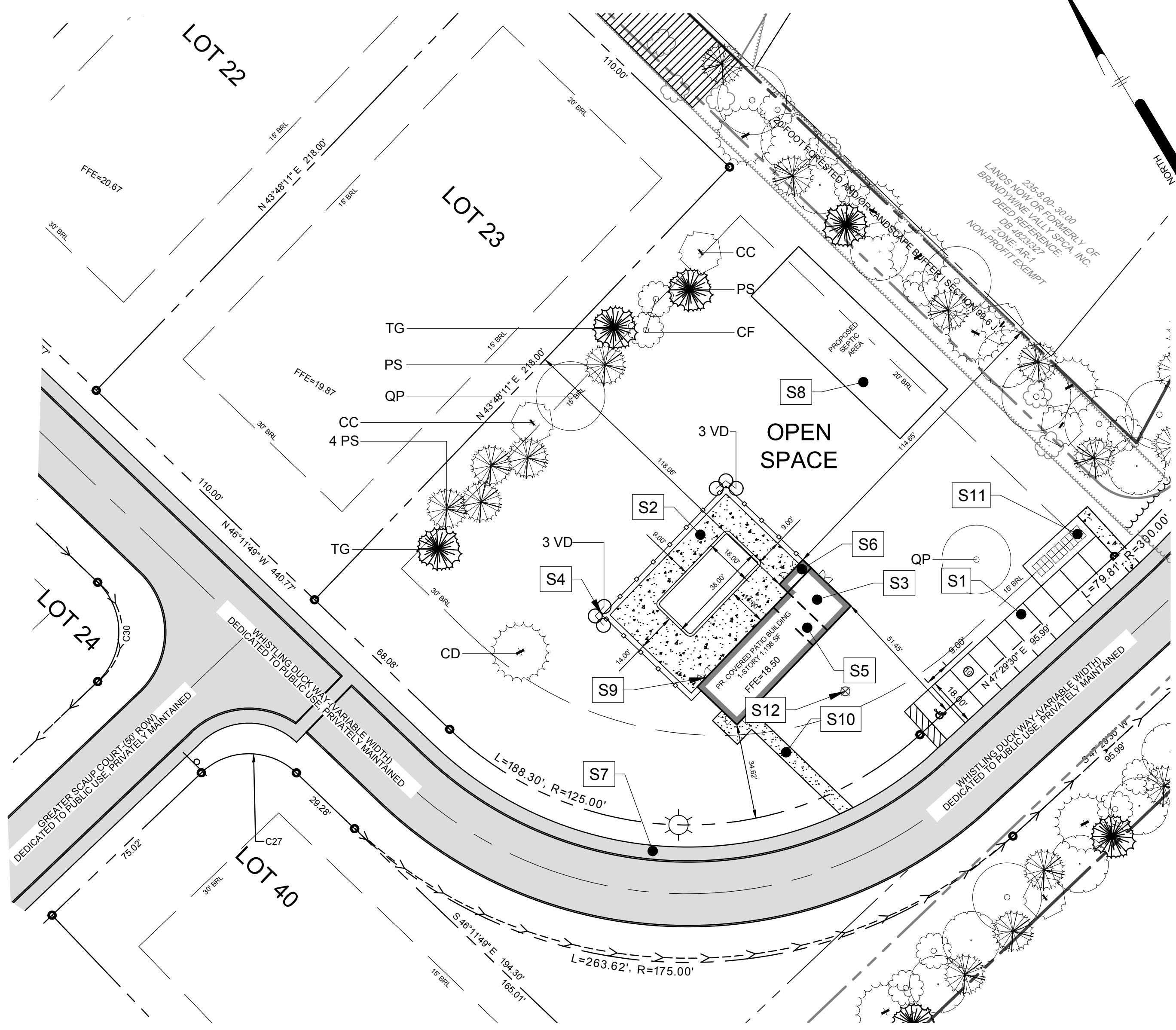


**DECIDUOUS TREE PLANTING DETAIL**

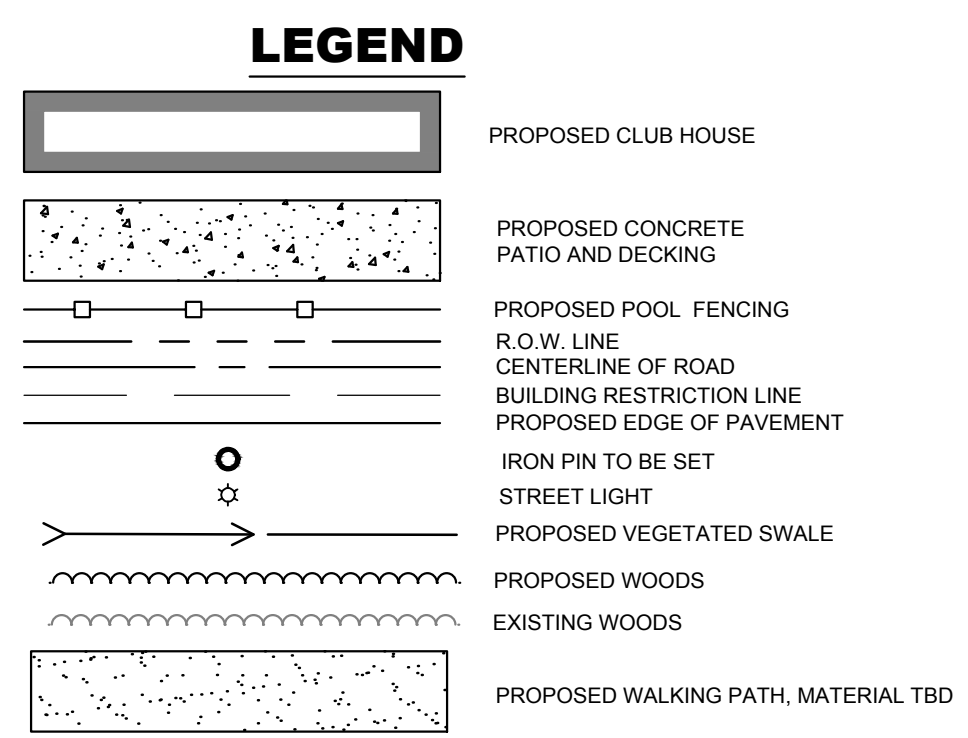
**SITE DATA:**

- TAX MAP NUMBER: 235-8.00-26.00
- OWNER / DEVELOPER NAME: MILTON CROSSING, LLC  
C/O JOSEPH W. BOOTH JR., MANAGING MEMBER  
18334 COASTAL HIGHWAY  
LEWES, DE 19958
- TOWN/HUNDRED/COUNTY: MILTON / BROAD KILL HUNDRED / SUSSEX
- CURRENT ZONING: AR-1 RESIDENTIAL DISTRICT  
PROPOSED ZONING: AR-1-AGRICULTURAL/RESIDENTIAL
- PRESENT USE: AGRICULTURAL  
PROPOSED USE: DETACHED SINGLE FAMILY DWELLINGS (115-20 A, 1)
- REQUIRED SETBACKS (B.R.L.): AR-1 (115-25 C.)  
DEPTH OF FRONT YARD (FEET) 30'  
DEPTH OF CORNER SIDE YARD (FEET) 15' (115-182 B.)  
WIDTH OF SIDE YARD (FEET) 15'  
DEPTH OF REAR YARD (FEET) 20'  
MINIMUM LOT WIDTH 100'
- WATER SUPPLIER: PRIVATE - INDIVIDUAL ON-SITE WELLS (DNREC) WATER IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENTS OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DIVISION OF PUBLIC HEALTH
- SECTION 89 - SOURCE WATER PROPERTY:  
A. SUBJECT PROPERTY IS WITHIN AN AREA OF "GOOD" GROUNDWATER RECHARGE.  
B. SUBJECT PROPERTY IS NOT LOCATED IN A WELLHEAD PROTECTION AREA.
- SANITARY SEWER PROVIDER: PRIVATE - INDIVIDUAL ON-SITE WASTEWATER DISPOSAL SYSTEM (DNREC)
- STREETS: PRIVATE (99-18 D & E.)
- POSTED SPEED LIMIT (REYNOLDS RD): 50 MPH
- STATE INVESTMENT AREA: LEVEL 3
- MAXIMUM BUILDING HEIGHT (115-25 D.): 42 FEET MAX.
- REQUIRED OPEN SPACE (99-21 D.): REQUIRED 0% OF GROSS AREA (0 AC)  
PROPOSED OPEN SPACE AREA (48.32 AC (47.3%))
- NET DEVELOPMENT AREA 0.94 ± AC
- OPEN SPACE AREA BREAKDOWN:  
LANDSCAPE BUFFER: 4.27± AC (8.8%)  
ACTIVE OPEN SPACE AND SWM: 25.35± AC (52.5%)  
FLOODPLAIN AREA: 18.86± AC (38.5%)  
WETLAND AREA: 9.62± AC  
IMPERVIOUS AREA: 0.12± AC (0.2%)  
TOTAL OPEN SPACE AREA: 48.32± AC (100.0%)  
\*WETLAND AREA IS LOCATED WITHIN THE FLOODPLAIN AREA
- IMPERVIOUS AREA:  
IMPERVIOUS BUILDING: 0.03± AC (25.0%)  
IMPERVIOUS PAVEMENT: 0.02± AC (19.7%)  
IMPERVIOUS CONCRETE/STONE: 0.07± AC (58.3%)  
TOTAL IMPERVIOUS 0.12± AC
- LONGITUDE AND LATITUDE: BENCHMARK #1-4004, NORTH CORNER OF "PROPERTY A"  
STATE PLANE COORDINATES:  
LONGITUDE: W 075.180696°  
LATITUDE: N 038.484649°
- PROPOSED DISCHARGE LOCATION: BROADKILL RIVER, ULTIMATELY TO DELAWARE BAY
- WATERSHED: DELAWARE BAY
- FLOOD ZONE: THIS PROPERTY IS LOCATED ON THE FEMA FLOOD INSURANCE RATE MAP NUMBERS 10005C0160K AND 10005C0168K, MAPS REVISED MARCH 16, 2015. 100 YEAR FLOODPLAIN ZONE AE 8 BASE FLOOD ELEVATION DETERMINED ALONG THE EASTERN PORTION OF THE PROPERTY. 100 YEAR FLOODPLAIN AREA: 18.58 ± ACRES. THE PROJECT ALSO APPEARS TO LIE WITHIN THE 0.2 PERCENT CHANCE FLOOD ZONE.
- WETLANDS AREA: 9.62 ± ACRES NON-TIDAL WETLANDS - DELINEATED BY ENVIRONMENTAL RESOURCES, INC. IN 2004. THE WETLANDS WILL BE RECERTIFIED DURING THE ENGINEERING STAGES OF THE PROJECT.
- WETLAND AREA IMPACTED: 0 AC.
- FLOWAGE EASEMENT: 29.3 ± ACRES (67F) PER DEED BOOK 612 - PAGE 296 (30.65± ACRES MEASURED)
- TOPOGRAPHY: H-NAD 83, V-NAVD 88 DATUM SURVEYED BY PENNONI IN OCTOBER 2020 AND WINGS AERIAL TOPOGRAPHY FOR DESIGN CONSULTANTS GROUP, LLC DATED 01/23/2004.
- BOUNDARY SURVEY: DESIGN CONSULTANTS GROUP, LLC BOUNDARY SURVEY AND FIELD VERIFIED IN JANUARY 2004 AND FIELD SURVEYED BY PENNONI IN OCTOBER 2020.
- DATUM: HORIZONTAL = NAD83, VERTICAL = NAVD88
- LOCAL GOVERNMENT RESPONSIBLE FOR LAND USE APPROVAL: SUSSEX COUNTY

**PRELIMINARY AMENITIES PLAN WITHIN THE EXISTING ESTATES AT MILTON CROSSING SUBDIVISION**



**LOCATION MAP**  
Scale: 1" = 500'



**GENERAL NOTES:**

- PROPOSED BUILDING CONSTRUCTION TYPE: (NFPA TYPE V (000) WOOD FRAME).
- AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.
- LOCK BOX REQUIRED. CONTACT LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF BOX ON THE BUILDING.
- WATER SUPPLY: PRIVATE ON SITE WELL.
- POOL HOUSE DETAILS:  
5.1. BUILDING SQUARE FOOTAGE = 1,198 S.F.  
5.2. TOTAL STORIES = 1-STORY  
5.3. TOTAL HEIGHT = 42 FEET MAX.
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.

**KEYED NOTES**

- S1 PROPOSED PARKING SPACES
- S2 PROPOSED POOL / DECK AREA
- S3 PROPOSED POOL EQUIPMENTS ROOM
- S4 4' HIGH PERIMETER BLACK ALUMINUM FENCE
- S5 PROPOSED BATHROOMS
- S6 PROPOSED SHOWERS
- S7 PROPOSED 5' WIDE ASPHALT SIDEWALK
- S8 PROPOSED SEPTIC AREA
- S9 POOL GATE WITH PANIC GATE DEVICE
- S10 PROPOSED 5' WIDE CONCRETE SIDE WALK
- S11 PROPOSED MAILBOXES
- S12 PROPOSED WELL

**OWNER/DEVELOPER CERTIFICATION:**

IT IS HEREBY CERTIFIED THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN DEVELOPED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE: MILTON CROSSING, LLC  
C/O JOSEPH W. BOOTH JR., MANAGING MEMBER  
28855 LEWES GEORGETOWN HIGHWAY  
LEWES, DE 19958  
(302) 684-8030  
booth@capstone-homes.com

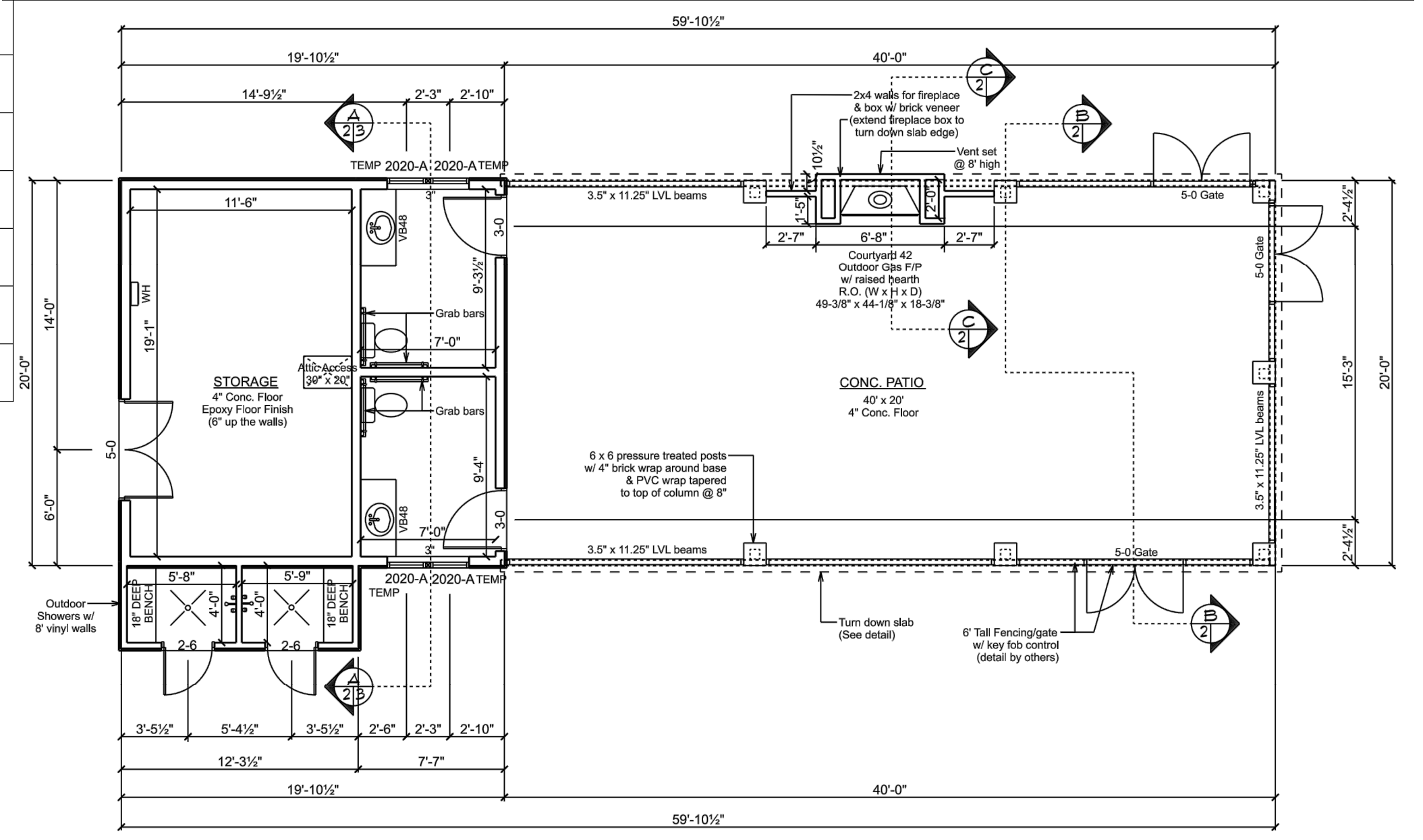
**ENGINEER CERTIFICATION:**  
IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE COMPLIES WITH APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SIGNATURE: ALAN DEKTOR, PE (DE PE#17771)  
PENNONI ASSOCIATES, INC.  
18072 DAVIDSON DRIVE  
MILTON, DE 19968  
OFFICE (302) 684-8030 - FAX (302) 684-8054  
adektor@pennoni.com

**LANDSCAPE CERTIFICATION:**  
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE REGULATIONS AND LAWS OF THE STATE OF DELAWARE.

ERIC W. WAHL, RLA (DE# S1-0000409) DATE: \_\_\_\_\_  
PENNONI ASSOCIATES, INC.  
18072 DAVIDSON DRIVE MILTON, DE 19968

**PLAN VIEW: BLOWUP OF POOL AND CLUBHOUSE AREA**  
SCALE: 1" = 20'



**FLOOR PLAN**

**PLAN VIEW: COVERED PATIO AND POOL EQUIPMENT BUILDING DIMENSIONS**  
NOT TO SCALE

**PLANT SCHEDULE**

| KEY          | QTY | BOTANICAL NAME            | COMMON NAME            | HT          | CONT. | SPACING  |
|--------------|-----|---------------------------|------------------------|-------------|-------|----------|
| <b>TREES</b> |     |                           |                        |             |       |          |
| CC           | 2   | CERCIS CANADENSIS         | EASTERN REDBUD         | 1.5" CAL    | B&B   | AS SHOWN |
| CD           | 1   | CEDRUS DEODARA            | DEODAR CEDAR           | 6'-7" HGT   | B&B   | AS SHOWN |
| CF           | 2   | CORNUS FLORIDA            | FLOWERING DOGWOOD      | 1.5" CAL    | B&B   | AS SHOWN |
| PS           | 6   | PINUS STROBUS             | EASTERN WHITE PINE     | 5'-6" HGT   | B&B   | AS SHOWN |
| QP           | 2   | QUERCUS PHELLOS           | WILLOW OAK             | 2" CAL      | B&B   | AS SHOWN |
| TG           | 2   | THUJA X 'GREEN GIANT'     | GREEN GIANT ARBORVITAE | 5'-6" HGT   | B&B   | AS SHOWN |
| VD           | 6   | V. DENTATUM 'BLUE MUFFIN' | BLUE MUFFIN VIBURNUM   | 36"-48" HGT | CONT  | AS SHOWN |

**NOTES:**  
FOR PLANTING DETAILS AND NOTES, REFER TO SHEET CS2002 OF THE CONSTRUCTION SET FOR THE ESTATES AT MILTON CROSSING.

**CONDITIONS OF APPROVAL, (2020-02-13):**

- THE DEVELOPER SHALL ESTABLISH A HOMEOWNERS ASSOCIATION RESPONSIBLE FOR THE MAINTENANCE OF STREETS, ROADS, BUFFERS, STORMWATER MANAGEMENT FACILITIES, AND OTHER COMMON AREAS.
- THERE SHALL BE A 30 FOOT BUFFER INSTALLED ALONG ROUTE ONE, A 30 FOOT BUFFER ALONG LANDS IN AGRICULTURAL USE, AND A 20 FOOT BUFFER AROUND THE PERIMETER, IN EACH CASE, AT LEAST 20 FEET OF THE BUFFER AREA SHALL BE LANDSCAPED OR FORESTED, INCLUDING THE USE OF EXISTING FOREST. THE FINAL SITE PLAN SHALL CONTAIN A LANDSCAPE PLAN FOR ALL OF THESE AREAS.
- CONSTRUCTION SITE WORK AND DELIVERIES SHALL ONLY OCCUR ON THE SITE BETWEEN THE HOURS OF 8:00 AM THROUGH 5:00 PM, MONDAY THROUGH SATURDAY.
- A REVISED PRELIMINARY SITE PLAN EITHER DEPICTING OR NOTING THESE CONDITIONS MUST BE SUBMITTED TO THE OFFICE OF PLANNING AND ZONING.
- THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.

**Pennoni**  
PENNONI ASSOCIATES, INC.  
18072 Davidson Drive  
Milton, DE 19968  
T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

**ESTATES AT MILTON CROSSING**  
REYNOLDS ROAD (SCR 235)  
MILTON / BROADKILL HUNDRED / SUSSEX COUNTY  
T. M.I.: 235-8.00, PARCELS 31.00, 26.00 & 26.03

**POOL HOUSE AND AMENITIES SITE PLAN**

MILTON CROSSING, LLC  
18334 COASTAL HIGHWAY  
LEWES, DE 19958

| NO. | DATE       | REVISIONS                                | BY  |
|-----|------------|--|-----|
| 1   | 2022-08-09 | REVISED PER FINAL BATH HOUSE PLAN CHANGE | LAC |

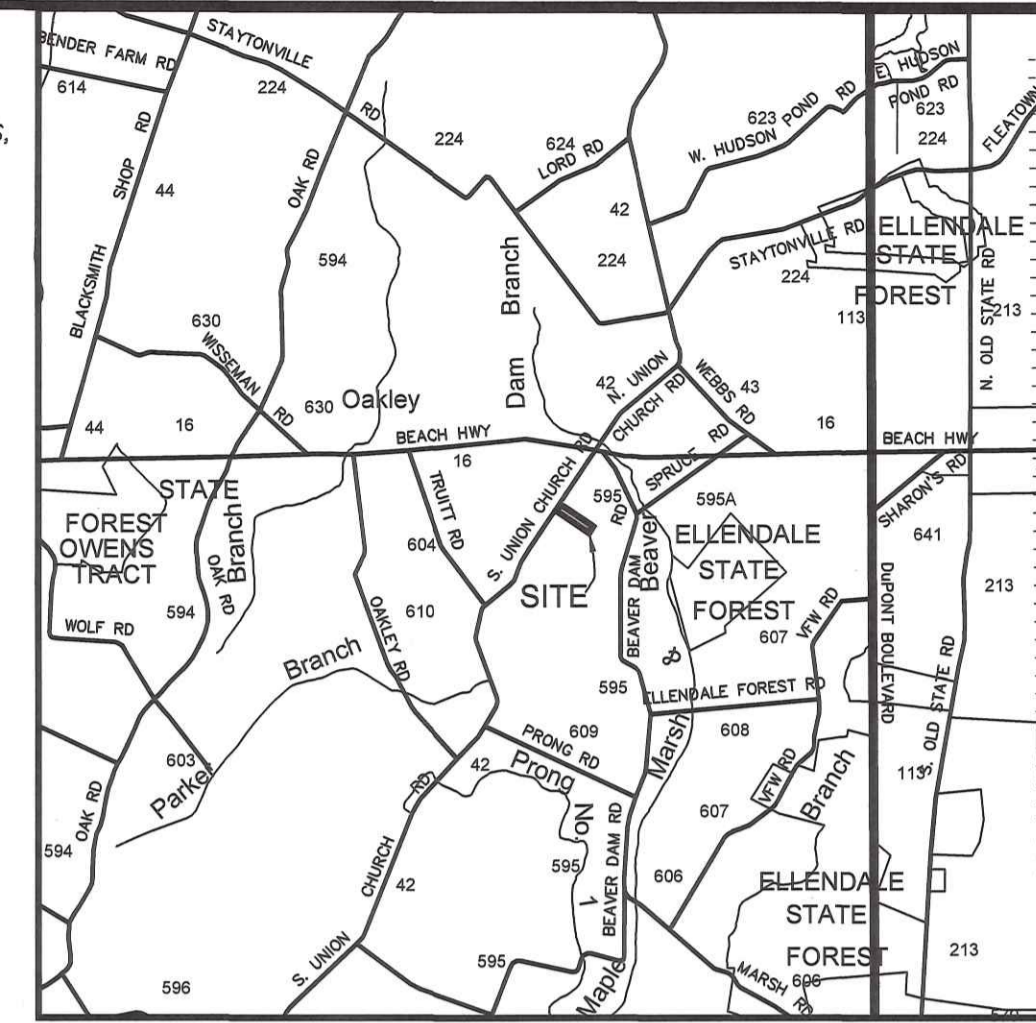
ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE, AND OWNER SHALL IDENTIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: GRJCS019001  
DATE: 2021-12-23  
DRAWING SCALE: AS SHOWN  
DRAWN BY: RPP  
APPROVED BY: AMD

**SP0001**  
SHEET 1 OF 1

PLOTTED: 11/4/2022 10:28 AM BY: Edmund Chikala - PLOTTITLE: Pennoni\CS2002.dwg PROJECT STATUS: —

I, DOUGLAS J. ANNAND, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

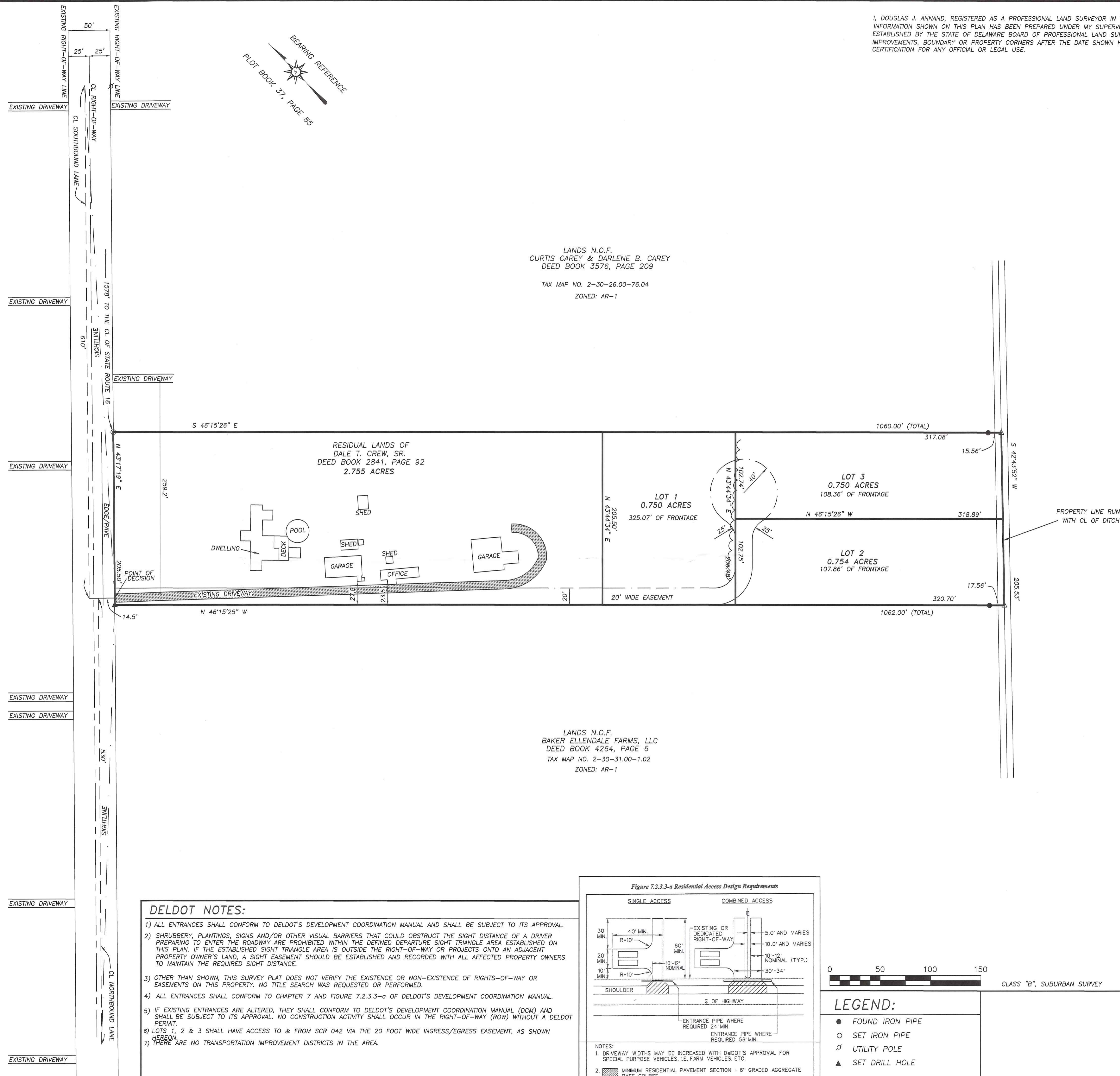


LOCATION MAP 1''=1 MILE

LANDS N.O.F.  
CURTIS CAREY & DARLENE B. CAREY  
DEED BOOK 3576, PAGE 209  
TAX MAP NO. 2-30-26.00-76.04  
ZONED: AR-1

LANDS N.O.F.  
CHARLES E. MACKLIN, JR. & KELLY SUE MACKLIN  
DEED BOOK 4023, PAGE 200  
TAX MAP NO. 2-30-26.00-76.06  
ZONED: AR-1

LANDS N.O.F.  
BAKER ELLENDALE FARMS, LLC  
DEED BOOK 4264, PAGE 6  
TAX MAP NO. 2-30-31.00-1.02  
ZONED: AR-1



SCR 042 - SOUTH UNION CHURCH ROAD  
FUNCTIONAL CLASSIFICATION - MINOR COLLECTOR  
SPEED LIMIT - 50 MILES PER HOUR

**DATA COLUMN:**

- 1) TAX MAP NO. 2-30-26.00-76.03
- 2) ZONING CLASSIFICATION: AR-1
- 3) TOTAL NUMBER OF EXISTING LOTS - 1
- 4) TOTAL NUMBER OF PROPOSED LOTS - 3
- 5) SETBACKS: FRONT - 40'  
SIDE - 15'  
REAR - 20'
- 6) TOTAL ACREAGE PRIOR TO SUBDIVISION - 5.005 ACRES
- 7) TOTAL ACREAGE WITHIN EACH LOT  
LOT 1 & 3 - 0.750 ACRES  
LOT 2 - 0.754 ACRES
- 8) RESIDUAL AREA - 2.755 ACRES
- 9) RESIDUAL FRONTAGE - 205.50'
- 10) NUMBER OF PERMANENT MONUMENTS, FOUND - 2, SET - 6
- 11) TYPE OF UTILITIES - WELL & SEPTIC (ON SITE)
- 12) THIS PROPERTY FALLS WITHIN THE LIMITS OF ZONE X,  
OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN,  
FEMA PANEL 10005C0140K, EFFECTIVE 03/16/2015
- 13) PRESENT USE - RESIDENTIAL
- 14) PROPOSED USE - RESIDENTIAL
- 15) OWNER:  
DALE T. CREW, SR.  
13403 S. UNION CHURCH ROAD  
ELLENDALE, DE 19941  
302-542-1632  
debraycrew@gmail.com

**AGRICULTURAL USE PROTECTION NOTE:**

THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS.

**SURVEYOR'S CERTIFICATION:**

I, DOUGLAS J. ANNAND, HEREBY CERTIFY THAT I AM A LICENSED SURVEYOR IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DOUGLAS J. ANNAND, PLS 622

DATE

**OWNER'S CERTIFICATION:**

I, THE UNDERSIGNED, DALE T. CREW, SR., AM THE LEGAL OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND THAT I DESIRE THE PLAN TO BE RECORDED ACCORDING TO THE LAW.

DALE T. CREW, SR.

DATE

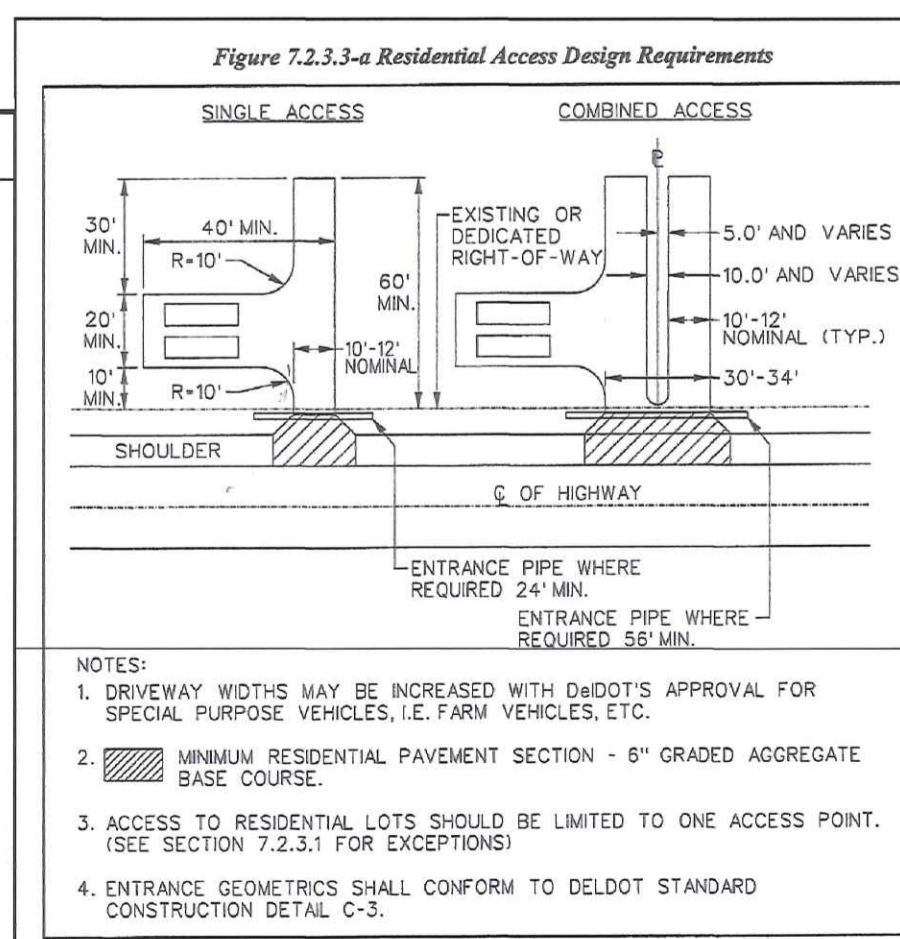
**MINOR SUBDIVISION SURVEY PLAN**

PREPARED FOR  
DALE T. CREW, SR.

SITUATED IN  
CEDAR CREEK HUNDRED, SUSSEX COUNTY, STATE OF DELAWARE  
SCALE: 1" = 60'  
DATE: SEPTEMBER 8, 2022

**DELDOT NOTES:**

- 1) ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- 2) SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- 3) OTHER THAN SHOWN, THIS SURVEY PLAT DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHTS-OF-WAY OR EASEMENTS ON THIS PROPERTY. NO TITLE SEARCH WAS REQUESTED OR PERFORMED.
- 4) ALL ENTRANCES SHALL CONFORM TO CHAPTER 7 AND FIGURE 7.2.3.3-a OF DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- 5) IF EXISTING ENTRANCES ARE ALTERED, THEY SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL. NO CONSTRUCTION ACTIVITY SHALL OCCUR IN THE RIGHT-OF-WAY (ROW) WITHOUT A DELDOT PERMIT.
- 6) LOTS 1, 2 & 3 SHALL HAVE ACCESS TO & FROM SCR 042 VIA THE 20 FOOT WIDE INGRESS/EGRESS EASEMENT, AS SHOWN HEREON.
- 7) THERE ARE NO TRANSPORTATION IMPROVEMENT DISTRICTS IN THE AREA.



DELDOT DESIGN FIGURE 7.2.3.3-a



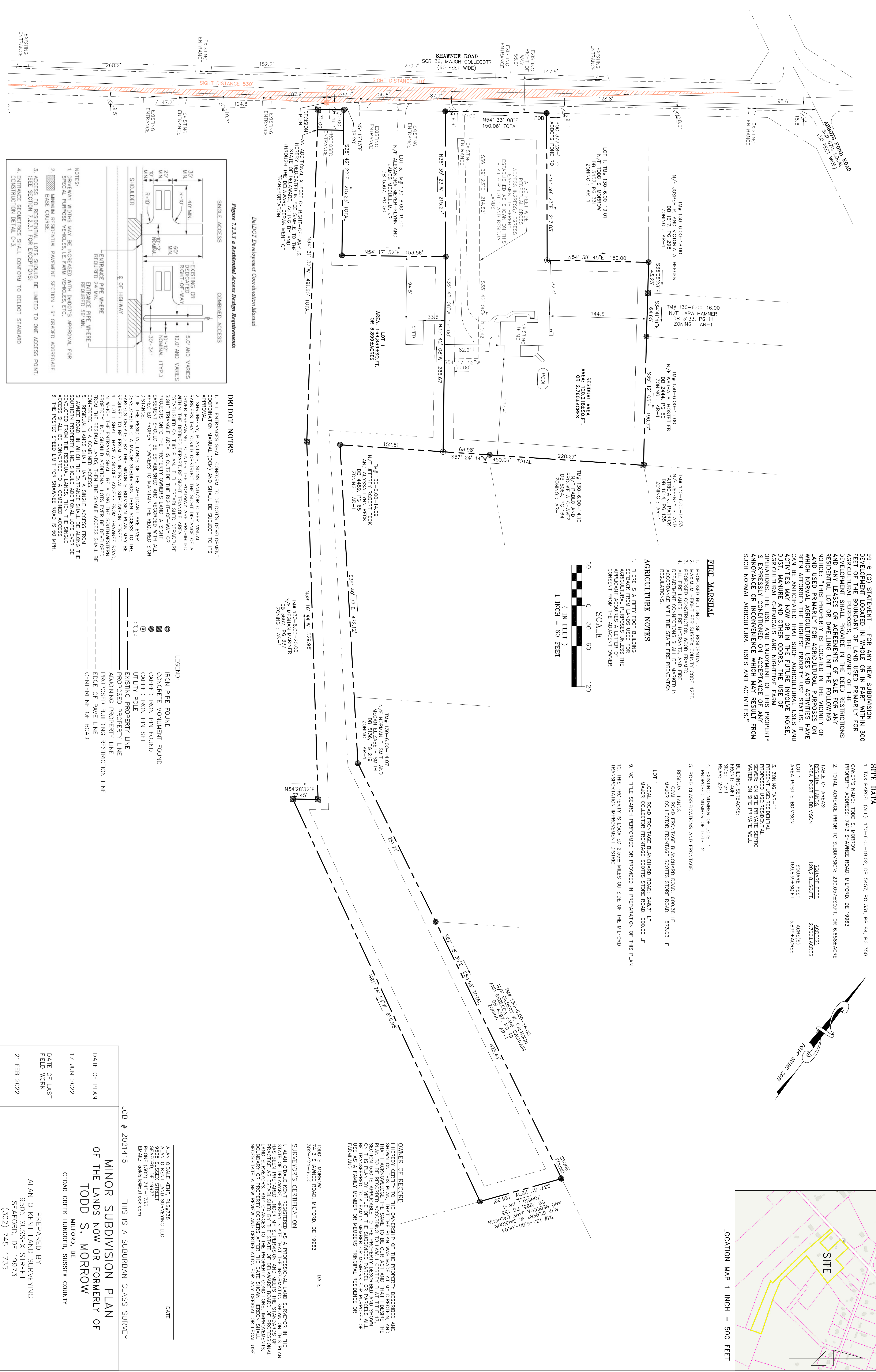
CLASS "B", SUBURBAN SURVEY

**LEGEND:**

- FOUND IRON PIPE
- SET IRON PIPE
- ⊕ UTILITY POLE
- ▲ SET DRILL HOLE
- EXISTING PROPERTY LINE
- - - PROPOSED PROPERTY LINE

DOUGLAS J. ANNAND, PLS 622

PREPARED BY  
DOUGLAS J. ANNAND  
PROFESSIONAL LAND SURVEYOR  
10027 NORTH OLD STATE ROAD  
LINCOLN, DELAWARE 19960  
TELEPHONE: 302-448-0320  
douglasannand7@gmail.com



99-6 (G) STATEMENT - FOR ANY NEW SUBDIVISION DEVELOPMENT LOCATED IN WHOLE OR IN PART WITHIN 300 FEET OF THE BOUNDARY OF LAND USED PRIMARILY FOR DEVELOPMENT OF THE LAND FOR RESIDENTIAL USES AND ANY LEASES OR AGREEMENTS OF SALE FOR ANY RESIDENTIAL LOT OR DWELLING UNIT THE FOLLOWING NOTICE: THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES."

**FIRE MARSHAL**

- PROPOSED BUILDING USE: RESIDENTIAL.
- MAXIMUM HEIGHT PER SUSSEX COUNTY CODE 42FT.
- PROPOSED CONSTRUCTION WOOD FRAMED.
- ALL FIRE LINES, FIRE HYDRANTS, AND FIRE-PROTECTION DEVICES SHALL BE MAINTAINED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.

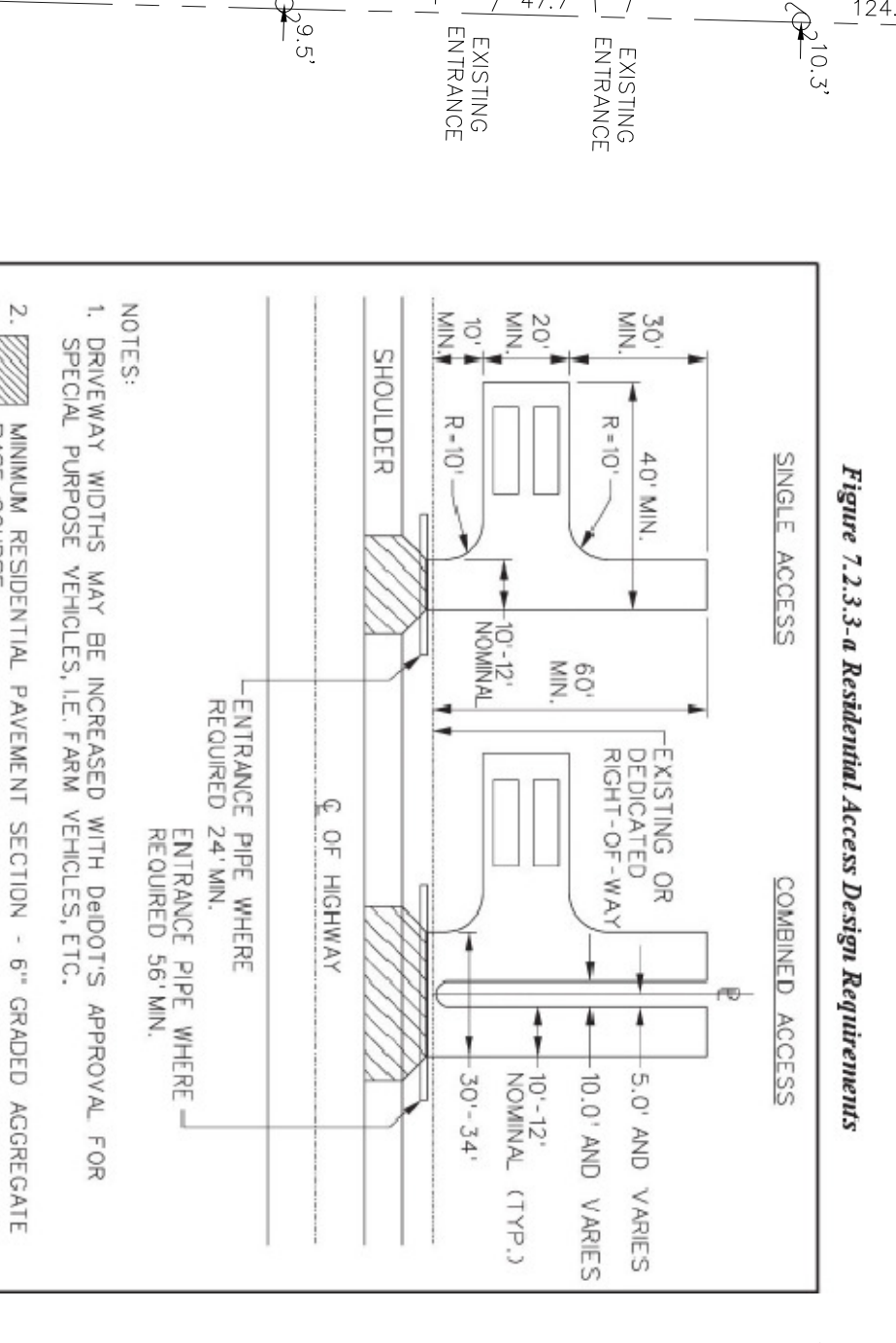
**AGRICULTURE NOTES**

- THERE IS A FIFTY FOOT BUILDING SETBACK FROM THE AGRICULTURAL PURPOSES THE APPLICANT ACQUIRES A LETTER OF CONSENT FROM THE ADJACENT OWNER.
- THIS PROPERTY IS LOCATED 2.554 MILES OUTSIDE OF THE MILFORD TRANSPORTATION IMPROVEMENT DISTRICT.

**LEGEND:**

- IRON PIPE FOUND
- CONCRETE MONUMENT FOUND
- CAPPED IRON PIN SET
- UTILITY POLE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- ADJOINING PROPERTY LINE
- PROPOSED BUILDING RESTRICTION LINE
- EDGE OF PAVEMENT
- CENTERLINE OF ROAD

**LOCATION MAP 1 INCH = 500 FEET**



**DELDOT NOTES**

- ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT AND CONSTRUCTION MANUAL (DOM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVEWAY SHALL BE PROHIBITED.
- THE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROPERTY LINE OF THE ADJACENT PROPERTY AND SHALL BE MAINTAINED BY THE ADJACENT OWNER.
- IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION THEN ACCESS TO THE REMAINING RESIDUAL LANDS SHALL BE MAINTAINED BY THE APPLICANT.
- LOT 1 SHALL HAVE A SINGLE ACCESS FROM SHAWNEE ROAD. IN WHICH THE ENTRANCE SHALL BE ALONG THE SHAWNEE ROAD. IN WHICH THE ENTRANCE SHALL BE ALONG THE SHAWNEE ROAD. IN WHICH THE ENTRANCE SHALL BE ALONG THE SHAWNEE ROAD. IN WHICH THE ENTRANCE SHALL BE ALONG THE SHAWNEE ROAD.
- THE POSTED SPEED LIMIT FOR SHAWNEE ROAD IS 50 MPH.

**DEVELOPMENT COORDINATION MANUAL**

**Figure 7.2.3.4 Residential Access Design Requirements**

**NOTES:**

- DRIVEWAY WIDTHS MAY BE INCREASED WITH DELDOT'S APPROVAL FOR SPECIAL PURPOSE VEHICLES, I.E. FARM VEHICLES ETC.
- MINIMUM RESIDENTIAL PAVEMENT SECTION - 6" GRADED AGRICULTURE BASE COURSE.
- ACCESS TO RESIDENTIAL LOTS SHOULD BE LIMITED TO ONE ACCESS POINT. (SEE SECTION 7.2.3.1 FOR EXCEPTIONS)
- ENTRANCE GEOMETRICS SHALL CONFORM TO DELDOT STANDARD. (CONSTRUCTION MANUAL C-5)

**DEVELOPMENT COORDINATION MANUAL**

**DEVELOPMENT COORDINATION MANUAL**

**OWNER OF RECORD**

I, ALAN O'DALE KENT, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HAVE EXAMINED THIS PLAN AND CERTIFY THAT THE INFORMATION SHOWN ON THIS PLAN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I HAVE ALSO EXAMINED THE ORIGINAL RECORDS AND SHOWN ON THIS PLAN BY VIRTUE OF THE SUBDIVIDED PARCEL OR PARCELS WILL BE TRANSFERRED TO A FAMILY MEMBER OR MEMBERS FOR PURPOSES OF FARM/LAND.

**PREPARED BY**  
 ALAN O KENT LAND SURVEYING  
 9505 SUSSEX STREET  
 SEAFORD, DE 19973  
 (302) 745-1735

**DATE OF PLAN**  
 17 JUN 2022

**DATE OF LAST FIELD WORK**  
 21 FEB 2022

**THIS IS A SUBURBAN CLASS SURVEY**

**MINOR SUBDIVISION PLAN**  
**OF THE LANDS NOW OR FORMERLY OF**  
**TODD S. MORROW**  
 MILFORD, DE  
 CEDAR CREEK HUNDRED, SUSSEX COUNTY

**JOB # 2021415**

**DATE**

**SURVEYOR'S CERTIFICATION**

I, ALAN O'DALE KENT, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HAVE EXAMINED THIS PLAN AND CERTIFY THAT THE INFORMATION SHOWN ON THIS PLAN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I HAVE ALSO EXAMINED THE ORIGINAL RECORDS AND SHOWN ON THIS PLAN BY VIRTUE OF THE SUBDIVIDED PARCEL OR PARCELS WILL BE TRANSFERRED TO A FAMILY MEMBER OR MEMBERS FOR PURPOSES OF FARM/LAND.

**DATE**

**SURVEYOR'S CERTIFICATION**

**SITE DATA**

- TAX PARCEL (ALL): 130-6-00-19.02, DB 5457, PG 331, PG 84, PG 950.
- OWNER'S NAME: TODD S. MORROW
- PROPERTY ADDRESS: 7413 SHAWNEE ROAD, MILFORD, DE 19963
- TOTAL ACREAGE PRIOR TO SUBDIVISION: 290,057.50 FT<sup>2</sup>, OR 6,659.4 ACRES

| TABLE OF AREAS: | SQUARE FEET                 | ACRES         |
|-----------------|-----------------------------|---------------|
| RESIDUAL LANDS  | 120,218,320 FT <sup>2</sup> | 2,762.4 ACRES |
| LOT 1           | 169,839,180 FT <sup>2</sup> | 3,897.0 ACRES |

3. ZONING "AR-1"  
 PRESENT USE: RESIDENTIAL  
 PROPOSED USE: RESIDENTIAL  
 SEWER: ON SITE PRIVATE SEPTIC WATER: ON SITE PRIVATE WELL  
 BUILDING SETBACKS:  
 FRONT: 40 FT  
 SIDE: 15 FT  
 REAR: 20 FT

4. EXISTING NUMBER OF LOTS: 1  
 PROPOSED NUMBER OF LOTS: 2

5. ROAD CLASSIFICATIONS AND FRONTAGE:  
 RESIDUAL LANDS  
 LOCAL ROAD FRONTAGE BLANCHARD ROAD: 600.28 LF  
 MAJOR COLLECTOR FRONTAGE SCOTT'S STONE ROAD: 573.03 LF  
 LOT 1  
 LOCAL ROAD FRONTAGE BLANCHARD ROAD: 248.71 LF  
 MAJOR COLLECTOR FRONTAGE SCOTT'S STONE ROAD: 600.00 LF

6. NO TITLE SEARCH PERFORMED OR PROVIDED IN PREPARATION OF THIS PLAN

7. THIS PROPERTY IS LOCATED 2.554 MILES OUTSIDE OF THE MILFORD TRANSPORTATION IMPROVEMENT DISTRICT.



October 21, 2022

Sussex County Planning & Zoning  
c/o Jamie Whitehouse  
2 The Circle  
Georgetown, DE 19947

Subject: Lands of Delnova Properties LLC (Minor Subdivision)  
234-12.00-86.00

Dear Mr. Whitehouse,

Thank you for your time related to this project to date. As always it is a pleasure doing business with you and your office. The below cover letter shall serve as a timeline and understanding of how we arrived at the plan submitted with this application. It shall also clarify a few questions we have discussed already throughout this process. This submittal is like that of Parcel 87.00 (adjacent) except that this property has yet to be subdivided. The intent is to mimic the end result of Parcel 87.00 with a single step. It was initially thought that we may be able to combine the two parcels into a single submission, however eliminated that possibility very early in the planning process. That being said, we felt it important to submit the two minor subdivisions at similar times to understand the two next to one another.

On behalf of our client Delnova Properties, LLC, we present to you the attached plan for approval as a Minor Subdivision. A concept plan was originally submitted to planning staff on February 3, 2022 (along with that of 87.00), with on-going discussions with staff since that point. It was made extremely clear that our client did not want to move forward without reassurance that the concept as presented would be possible due to substantial effort required including property surveying, submission(s) to DelDOT, and submission to the State Fire Marshal. Based on our February 24, 2022, meeting (including the client) our client felt confident that the plan was suitable and moving forward was in his best interest. A chronological timeline is below with a summary of each:

2/3/22 – Concept Plan submitted to planning staff requesting meeting to discuss proposal

2/15/22 – Meeting schedule (in-person) with staff (Jesse Lindenerg / Chase Phillips)

2/18/22 – Email follow-up to Jamie Whitehouse asking for subsequent meeting directly with Jamie

(Email attached)

2/22/22 – Email from staff (Jesse Lindenberg) referencing the August 11, 2016 Planning Commission Meeting minutes related to a prior subdivision of the parcel

2/23/22 – Meeting with Jamie Whitehouse (in-person)

2/24/22 – Email from Jamie summarizing the meeting.

- Long-established practice of presenting minor subdivision of three (3) suitably sized lots off easement with existing driveway
- Individual parcels (87.00) and (86.00) would need to be submitted as separate minor subdivisions
- Could not be combined under a single easement allowing three (3) Lots off each side of the easement
- Lot frontage would need to be 100 ft for each lot off the easement
- DeIDOT LONO required
- FM approval required
- Current "wetlands" ordinance could allow up to 4-5 lots off easement if approved (an additional look at 99-7 would be made upon approval of ordinance)

3/17 – 3/30/2022 – Fielding surveying of the property by Scaled Engineering

4/1 – 6/2/2022 – Preparation of Minor Subdivision plan(s) for DeIDOT submission

6/2/22 – Submission #1 to DeIDOT

6/30/22 – Submission #2 to DeIDOT (addressing comments)

7/15/22 – Final Plans to DeIDOT

7/18/22 – DeIDOT LONO received

7/20/22 – Submission to SC Planning & Zoning

8/18/22 – Comments from staff (Michael Lowrey)

1. The plan proposes 4 lots plus residual off of an easement. Only 3 lots plus residual are permitted off of an easement.
  - a. **This is not the case (only 3 lots front on an easement)**
2. There are issues regarding the required frontage for proposed Lot #1 – in terms of the required frontage on a numbered road (Camp Arrowhead)
  - a. This was not discussed until this point. Camp Arrowhead Road was not a numbered road on the 1964 revision of the General Highway Map for Sussex County. It is clear that the intent of this ordinance was to establish specific roadways as shown on the Map of 1964, and not the most current map available. If it was to be the current map the language in the code would reflect it as such. The ordinance was added in 1989, (25 years after the 1964 map). Numbered roads on the 1964 map would be such as Route 1, Route 113, Route 24, Route 9, etc., not roads such as Sussex County Road 279 (Camp Arrowhead Road). (SEE EXACT CODE LANGUAGE BELOW)
  - b. This is evident in that the prior subdivision of Parcel 87.00 created two (2) tax parcels with road frontage on Camp Arrowhead Road with frontages of 102.16' and 107.84' (less than 150'). This subdivision was approved and recorded in 2016 (under the same language as the current).

***“(10) A lot fronting on a numbered road shown on the General Highway Map for Sussex County of 1964, as revised, shall have a minimum lot width of 150 feet. [Added 11-7-1989 by Ord. No. 632]”***



8/18/22 – Email to Jamie Whitehouse requesting clarification on digression of comments

8/24/22 – Email response from Jamie Whitehouse requesting a call to discuss the plans as submitted

9/8/22 – Phone meeting with Jamie Whitehouse to clarify submission

- Discussion included clarification of:
  - o Total number of lots – 1 existing; 4 + residual proposed
  - o Number of lots off easement – 3 allowed; 0 existing; 3 proposed (Lot 3, Lot 4, and Residual Lands); easement is routed through Lot 2, which has frontage along Camp Arrowhead Road.
  - o It was asked to add the identification of “Lot 5” to the Residual Lands parcel, even though seemingly this is how it has been done for years where the residual lands would retain the original parcel number and provide for future subdivision if possible.
  - o Number of road frontage lots – 1 existing; 2 proposed (Lot 1 and Lot 2)
  - o Number of prior lots not counting (Existing Parcel 87.01)
  - o Add a chart to describe lot access
  - o Add items normally presented on major/minor subdivisions including contour lines
  - o Type of meeting necessary (minor / major)
    - Decided to submit for October 13 meeting under a Minor Subdivision

9/8/22 - Email from Jamie Whitehouse asking to proceed with the Commission meeting on October 13, 2022 and request to include additional information

- Include Planning Commission Meeting Minutes (8/11/2016)
- Include cover letter with explanation of the approach proposed

Facts to summarize the approach for minor subdivision of Parcel 86.00:

1. Parcel 86.00 existed prior to 1997 and has not been subdivided to date
2. **Proposed Subdivision (as submitted) (3 lots off an easement / 2 lots with road frontage)**
  - a. **Lot 1**
    - i. **Road Frontage (136.06') off Camp Arrowhead Road**
    - ii. **Shared Access with Lot 2**
  - b. **Lot 2**
    - i. **Road Frontage (75.00') off Camp Arrowhead Road**
    - ii. **Shared Access with Lot 1**
  - c. **Lot 3**
    - i. **Road Frontage (155.92') off Easement through Lot 2**
  - d. **Lot 4**
    - i. **Road Frontage (156.31') off Easement through Lot 2**
  - e. **Residual Lands (Lot 5)**
    - i. **Road Frontage (75.02') off Easement through Lot 2**
    - ii. **Further subdivision of this lot may be possible should the recently approved “wetlands buffer ordinance” be enacted and the code revisions allow for such.**

The below table has been included on the Minor Subdivision Plan as Item 9. in the Site Data column for visual reference of the above:

|                                      |                       |                            |
|--------------------------------------|-----------------------|----------------------------|
| 9. AREA:                             |                       |                            |
| EXISTING:                            | SIZE                  | FRONTAGE                   |
| PARCEL 234-12.00-86.00:              | 221,819 S.F (5.09 AC) | 211.06 (CAMP ARROWHEAD RD) |
| PROPOSED:                            | SIZE                  | FRONTAGE                   |
| LOT 1:                               | 32,671 S.F (0.75 AC)  | 136.06 (CAMP ARROWHEAD RD) |
| LOT 2:                               | 47,619 S.F (1.09 AC)  | 75.00 (CAMP ARROWHEAD RD)  |
| LOT 3:                               | 32,671 S.F (0.75 AC)  | 155.92 (EASEMENT)          |
| LOT 4:                               | 32,671 S.F (0.75 AC)  | 156.31 (EASEMENT)          |
| RESIDUAL (LOT 5):<br>234-12.00-86.00 | 76,187 S.F (1.75 AC)  | 75.02 (EASEMENT)           |

The subdivision meets the intent of the code, provides adequate lot size(s) and dimensions, and demonstrates adequate frontage via existing road frontage and/or proposed easement. A total of three (3) lots front on an easement with an existing drive.

Staff has always discussed ways to continue moving the submission as a minor subdivision if it met the code requirements under a Minor Subdivision.

**Based on the above direction, the applicant requests Preliminary Minor Subdivision Approval upon review and approval of all outside agency(s).** *(At the time of submission, DeDOT LONO has been received, and applicant is awaiting approval of the State Fire Marshal)*

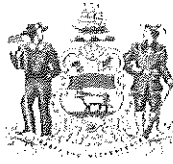
Please feel free to contact me with any questions, concerns, or for additional information at (302) 236-3600 or [carlton@scaledengineering.com](mailto:carlton@scaledengineering.com)

Sincerely,



Carlton Savage, Jr.

Principal | Senior Engineer  
Scaled Engineering Inc.



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 77B  
DOVER, DELAWARE 19903

NICOLE MAJESKI  
SECRETARY

July 19, 2022

Mr. Jamie Whitehouse, Director  
Sussex County Planning & Zoning Commission  
Sussex County Administration Building  
P.O. Box 417  
Georgetown, Delaware 19947

**SUBJECT: Minor Subdivision - Letter of No Objection to Recordation  
Lands of Delnova Properties LLC  
Tax Parcel # 234-12.00-86.00  
Camp Arrowhead Road (SCR 279)  
Indian River Hundred, Sussex County**

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Minor Subdivision Plan dated June 2, 2022 (last revised July 13, 2022), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawing. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Minor Subdivision Plan is not recorded and/or an entrance permit is not issued for the lot(s) prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

Entrances(s) must be installed prior to the sale of the lot(s). All entrances shall conform to DelDOT's Development Coordination Manual and shall be subject to its approval. **This letter does not authorize the commencement of entrance construction.**

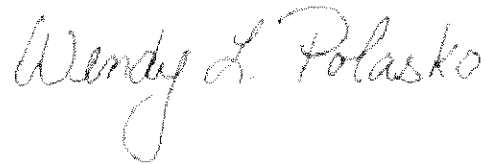
This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There

Lands of Delnova Properties LLC  
Mr. Jamie Whitehouse  
Page 2  
July 19, 2022

may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction to modify or reject this proposed plan even though DelDOT has established that these enumerated transportation improvements are acceptable.

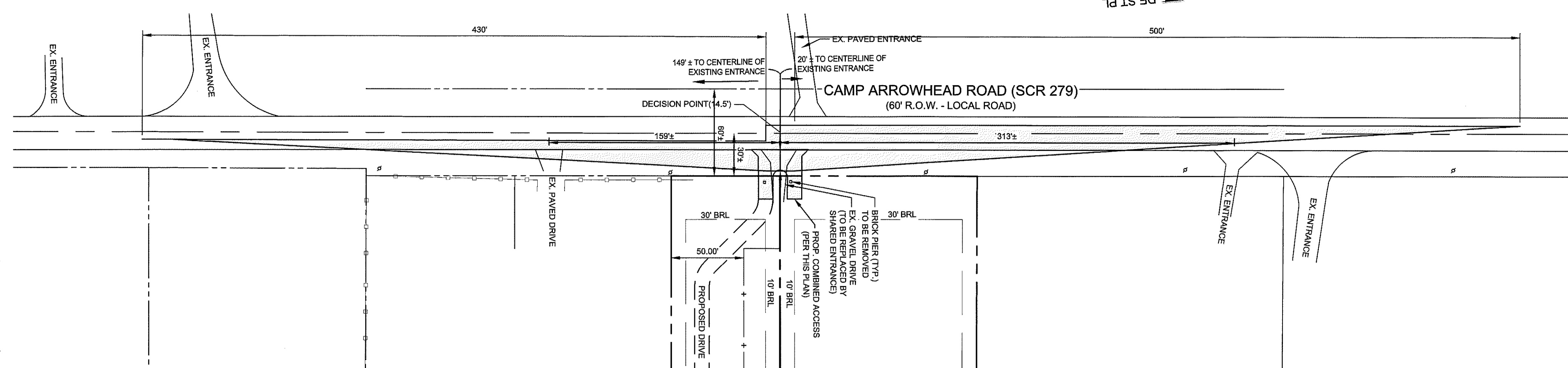
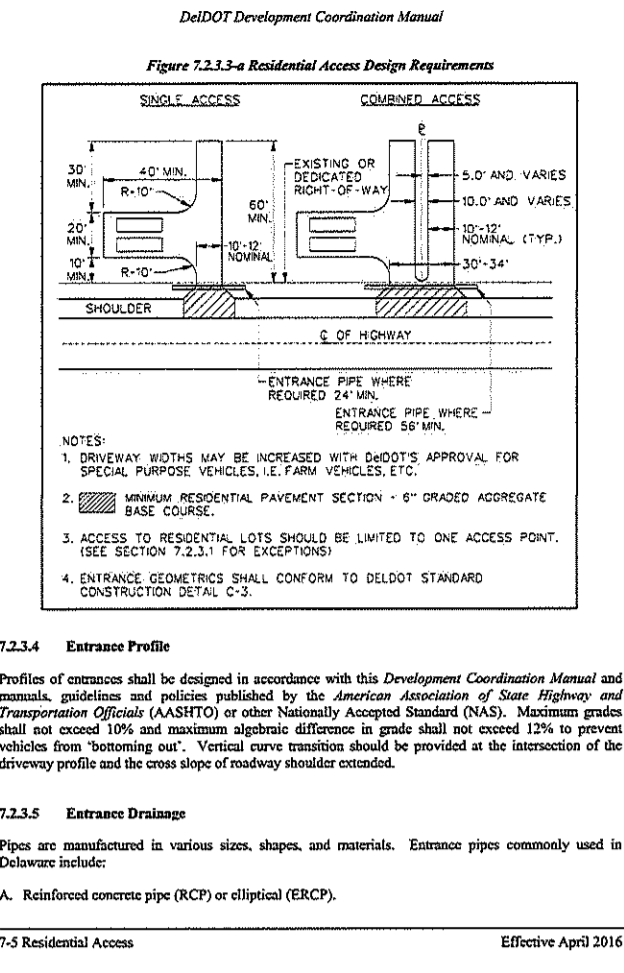
The owner shall be responsible to submit a copy of the **recorded Minor Subdivision Plan** showing all appropriate signatures, seals, plot book and page number to the South District Public Works office (302) 853-1341 in order to obtain the entrance permit(s) for the proposed minor subdivision.

Sincerely,

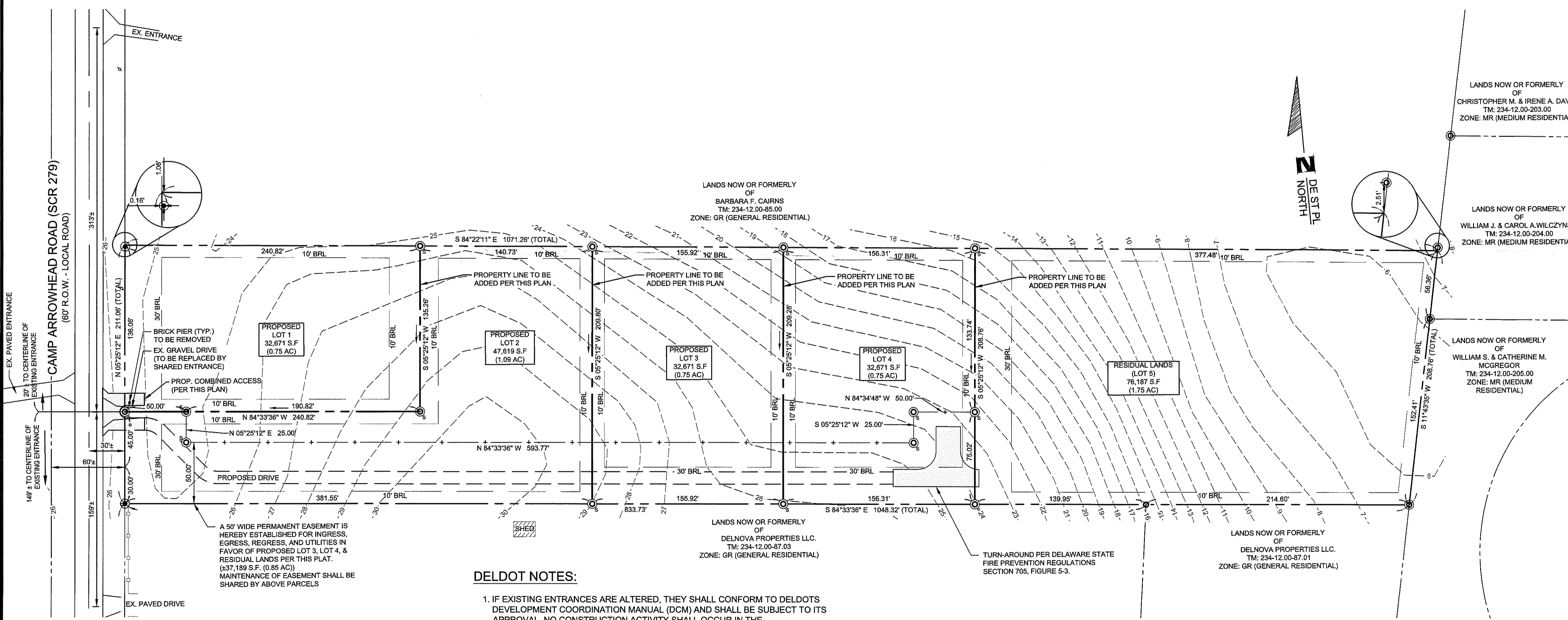
A handwritten signature in cursive script that reads "Wendy L. Polasko".

Wendy L. Polasko, P.E.  
Subdivision Engineer  
Development Coordination

cc: Carlton Savage, Scaled Engineering, Inc.  
Sussex County Planning & Zoning  
Jessica L. Watson, Sussex Conservation District  
Matt Schlitter, South District Public Works Engineer  
James Argo, South District Project Reviewer  
James Smith, South District Entrance Permit Supervisor  
Shannon Anderson, South District Public Work Admin Specialist  
Wendy L. Polasko, P.E., Subdivision Engineer  
Brian Yates, Sussex County Reviewer



LOCATION MAP  
SCALE: 1" = 2,000'



**SITE DATA:**

- TAX MAP NUMBER: 234-12.00-86.00
- ADDRESS: 22425 CAMP ARROWHEAD ROAD, LEWES, DE 19958
- OWNER: DELNOVA PROPERTIES LLC  
35993 DUTCH DRIVE  
LEWES, DE 19958
- ZONING: EXISTING: GR (GENERAL RESIDENTIAL)  
PROPOSED: GR (GENERAL RESIDENTIAL)
- USE: EXISTING: AGRICULTURAL / RESIDENTIAL  
PROPOSED: LOT 1 - RESIDENTIAL  
RESIDUAL LANDS - AGRICULTURAL / RESIDENTIAL
- BUILDING SETBACKS (FOR PROPOSED LOT):  
FRONT: 30'  
SIDE: 10'  
REAR: 10'
- LOT REQUIREMENTS: AREA: 10,000 S.F. (PUBLIC SEWER)  
32,670 S.F. (0.75 ACRE) (ON-SITE SEWER)  
WIDTH: 75'  
DEPTH: 100'
- TOTAL NUMBER OF LOTS:  
EXISTING: 1 LOT  
PROPOSED: 4 LOTS & A RESIDUAL
- AREA:  
EXISTING: PARCEL 234-12.00-86.00: 221,819 S.F. (5.09 AC) 211.06 (CAMP ARROWHEAD RD)  
PROPOSED:  
LOT 1: 32,671 S.F. (0.75 AC) 136.06 (CAMP ARROWHEAD RD)  
LOT 2: 47,619 S.F. (1.09 AC) 75.00 (CAMP ARROWHEAD RD)  
LOT 3: 32,671 S.F. (0.75 AC) 155.92 (EASEMENT)  
LOT 4: 32,671 S.F. (0.75 AC) 156.31 (EASEMENT)  
RESIDUAL (LOT 5): 76,187 S.F. (1.75 AC) 75.02 (EASEMENT)  
234-12.00-86.00
- AREA AFFECTED BY ADJUSTMENT: 5.09 AC
- POSTED SPEED LIMIT: 40 MPH
- SEWER PROVIDER: ON-SITE SEPTIC / SUSSEX COUNTY
- WATER PROVIDER: ON-SITE WELL
- THIS PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOOD ZONE, DELINEATED BY THE NATIONAL FLOOD INSURANCE PROGRAM AS SHOWN AS ON FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 10006C0341K REVISED MARCH 16, 2015 (ZONE X).
- WETLANDS DO EXIST ON THIS SITE AS SHOWN PER PER THE U.S. FISH AND WILDLIFE NATIONAL WETLANDS INVENTORY.
- PROXIMITY TO DELDOT TID AREA: LOCATED WITH THE HENLOPEN TID AREA
- RECHARGE AREA: GOOD

**DELDOT NOTES:**

- IF EXISTING ENTRANCES ARE ALTERED, THEY SHALL CONFORM TO DELDOTS DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL. NO CONSTRUCTION ACTIVITY SHALL OCCUR IN THE RIGHT-OF-WAY (ROW) WITHOUT A DELDOT PERMIT.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
- REFER TO DELDOT STANDARD DETAIL M-2 FOR RIGHT-OF-WAY MONUMENTS.
- ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- LOT 3, LOT 4 AND RESIDUAL SHALL HAVE ACCESS TO SCR 279 VIA THE 50-FOOT WIDE INGRESS/EGRESS EASEMENT.
- THE PROPOSED MINOR SUBDIVISION IS LOCATED WITHIN THE HENLOPEN TRANSPORTATION IMPROVEMENT DISTRICT (TID), PURSUANT TO SECTION 6.C OF THE HENLOPEN TID AGREEMENT BETWEEN THE STATE OF DELAWARE AND SUSSEX COUNTY, THE PROPOSED MINOR SUBDIVISION SHALL BE EXEMPT FROM TID PARTICIPATION. IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION OR ARE FURTHER SUBDIVIDED BY A MINOR SUBDIVISION, THE APPLICANT SHALL BE REQUIRED TO PARTICIPATE WITHIN THE ESTABLISHED TID.

**LEGEND:**

- IRON REBAR FOUND
- CAPPED IRON REBAR FOUND
- IRON PIPE FOUND
- CAPPED IRON PIPE FOUND
- CAPPED IRON PIPE TO BE SET
- PROPOSED BOUNDARY LINE
- SUBJECT BOUNDARY LINE
- ADJOINER BOUNDARY LINE
- PROPERTY LINE TO BE EXTINGUISHED
- PROPOSED EASEMENT
- BUILDING RESTRICTION LINE
- FENCE
- UTILITY POLE
- ▭ BUILDING

**ENGINEERS CERTIFICATION**

I, CARLTON R. SAVAGE, JR. HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

CARLTON R. SAVAGE, JR., P.E. (LICENSE #16457) DATE: 7/13/22

**OWNER CERTIFICATION:**

WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND THAT I DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

DELNOVA PROPERTIES LLC DATE: 6-2-22  
35993 DUTCH DRIVE  
LEWES, DE 19958

PLOT: 20220223.131.PN.01.DWG PLOT TITLE: 0-SCALED-0-20

**LANDS OF DELNOVA PROPERTIES LLC.**

**SCR 279 - TAX MAP 234-12.00-86.00**

**INDIAN RIVER HUNDRED, LEWES, DELAWARE**

|             |            |
|-------------|------------|
| REVISIONS:  |            |
| 6-29-22     | PER DELDOT |
| 7-13-22     | PER DELDOT |
| 9-12-22     | PER SCFZ   |
| DATE:       | 6-2-22     |
| SCALE:      | 1" = 50'   |
| DRAWN BY:   | JRE        |
| PROJECT NO. | PWEB001    |

**SCALED.**  
ENGINEERING

Scale Engineering Inc.  
20246 Coastal Highway  
Rehoboth Beach, DE 19871  
Phone: (302) 227-7608

**MINOR SUBDIVISION PLAN**

THIS DRAWING INCLUDING DESIGN AND CONSTRUCTION FEATURES ARE PROPRIETARY TO SCALED ENGINEERING INC. AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION. COPYRIGHT © 2022

October 21, 2022

Sussex County Planning & Zoning  
c/o Jamie Whitehouse  
2 The Circle  
Georgetown, DE 19947

Subject: Lands of Delnova Properties LLC (Minor Subdivision)  
(234-12.00-87.00, 87.01, 87.02, & 87.03) Parcel(s) 87.00

Dear Mr. Whitehouse,

Thank you for your time related to this project to date. As always it is a pleasure doing business with you and your office. The below cover letter shall serve as a timeline and understanding of how we arrived at the plan submitted with this application. It shall also clarify a few questions we have discussed already throughout this process.

On behalf of our client Delnova Properties, LLC, we present to you the attached plan for approval as a Minor Subdivision. A concept plan was originally submitted to planning staff on February 3, 2022, with on-going discussions with staff since that point. It was made extremely clear that our client did not want to move forward without reassurance that the concept as presented would be possible due to substantial effort required including property surveying, submission(s) to DeIDOT, and submission to the State Fire Marshal. Based on our February 24, 2022, meeting (including the client) our client felt confident that the plan was suitable and moving forward was in his best interest. A chronological timeline is below with a summary of each:

2/3/22 – Concept Plan submitted to planning staff requesting meeting to discuss proposal

2/15/22 – Meeting schedule (in-person) with staff (Jesse Lindenerg / Chase Phillips)

2/18/22 – Email follow-up to Jamie Whitehouse asking for subsequent meeting directly with Jamie

(Email attached)

2/22/22 – Email from staff (Jesse Lindenberg) referencing the August 11, 2016 Planning Commission Meeting minutes related to a prior subdivision of the parcel

2/23/22 – Meeting with Jamie Whitehouse (in-person)

2/24/22 – Email from Jamie summarizing the meeting.

- Long-established practice of presenting minor subdivision of three (3) suitably sized lots off easement with existing driveway
- Individual parcels (87.00) and (86.00) would need to be submitted as separate minor subdivisions
- Could not be combined under a single easement allowing three (3) Lots off each side of the easement

- Lot frontage would need to be 100 ft for each lot off the easement
- DeIDOT LONO required
- FM approval required
- Current "wetlands" ordinance could allow up to 4-5 lots off easement if approved (an additional look at 99-7 would be made upon approval of ordinance)

3/17 – 3/30/2022 – Fielding surveying of the property by Scaled Engineering

4/1 – 6/2/2022 – Preparation of Minor Subdivision plan(s) for DeIDOT submission

6/2/22 – Submission #1 to DeIDOT

6/30/22 – Submission #2 to DeIDOT (addressing comments)

7/15/22 – Final Plans to DeIDOT

7/18/22 – DeIDOT LONO received

7/20/22 – Submission to SC Planning & Zoning

8/18/22 – Comments from staff (Michael Lowrey)

- Single comment, again reiterating that any further subdivision would require it to be a "Major"

8/18/22 – Email to Jamie Whitehouse requesting clarification on digression of comments

8/24/22 – Email response from Jamie Whitehouse requesting a call to discuss the plans as submitted

9/8/22 – Phone meeting with Jamie Whitehouse to clarify submission

- Discussion included clarification of:
  - o Total number of lots – 4 existing; 5 proposed
  - o Number of lots off easement – 3 allowed; 3 existing; 3 proposed
  - o Number of frontage lots – 2 existing; 2 proposed
  - o Number of prior lots not counting (Existing Parcel 87.01)
  - o Verification of Access to each lot
  - o Adding a chart to describe lot access
  - o Add items normally presented on major/minor subdivisions including contour lines
  - o Type of meeting necessary (minor / major)
  - o No indication on prior subdivision plan / deed requiring future subdivision(s) would require a major subdivision

9/8/22 - Email from Jamie Whitehouse asking to proceed with the Commission meeting on October 13, 2022 and request to include additional information

- Include Planning Commission Meeting Minutes (8/11/2016)
- Include cover letter with explanation of the approach proposed

Facts to summarize the approach for minor subdivision of Parcel 87.00:

1. Parcel 87.01 existed prior to 1997 and is not included in the Minor subdivision count of the parent parcel 87.00
2. The minutes of 8/11/2016 approved a Minor Subdivision off a 50-foot easement including:
  - a. Lot 1 – 1.2 acres
  - b. Residual Lot – 1.8 acres
  - c. Easement to provide access to landlocked parcel (Parcel 87.01)
  - d. "Any further subdivision shall require a major subdivision"
3. The subdivision plan recorded on 10/6/2016 included the following:
  - a. This plan included the following:
    - i. Lot 1 (1.961 acres w/ 102.16' of road frontage 102.16' on Camp Arrowhead Road)  
(Remained Parcel 87.00)
    - ii. Lot 2 (0.968 acres w/ 231.26' of frontage on easement)  
(Became Parcel 87.02)
    - iii. 50' Right-of-way parcel (1.078 acres w/ 107.84' of frontage on Camp Arrowhead Road)  
(Became Parcel 87.03)
    - iv. Existing Parcel 87.01 (1.004 acres w/ 100.00' of frontage on easement)
4. Recorded plan DID NOT mention anything about further subdivision being a Major
5. Property has only utilized two (2) of its four (4) total minor subdivisions
  - a. Therefor two (2) minor subdivisions are allowed of the parent parcel(s)
6. **Proposed Subdivision (as submitted) (3 lots off an easement / 2 lots with road frontage)**
  - a. **Parcel 87.03**
    - i. **Increase size (to convert it into a buildable lot) to 1.59 acres w/ existing 107.83' of road frontage off Camp Arrowhead Road**
    - ii. *Parcel 87.03 was and has been an established tee simple taxed lot since creation*
  - b. **Parcel 87.02**
    - i. **Decrease size to 0.75 acres w/ existing 203.17' of frontage off proposed easement through 87.03**
  - c. **Parcel 87.00**
    - i. **Subdivide Parcel 87.00 into two (2) lots (one additional)**
      1. **Proposed Lot 1 (0.75 acres w/ 202.97' of frontage off easement through 87.03)**
      2. **Residual Parcel 87.00 (0.92 acres w/ existing 102.56' road frontage off Camp Arrowhead Road**
  - d. **Parcel 87.01**
    - i. **No change to property, 100.03' of frontage off easement through 87.03**



The below table has been included on the Minor Subdivision Plan as Item 9. in the Site Data column for visual reference of the above:

| 9. AREA:                | SIZE                 | FRONTAGE                      |
|-------------------------|----------------------|-------------------------------|
| EXISTING:               |                      |                               |
| PARCEL 234-12.00-87.00: | 85,587 S.F (1.96 AC) | 102.56' (CAMP ARROWHEAD ROAD) |
| PARCEL 234-12.00-87.01: | 43,740 S.F (1.00 AC) | 100.03' (PARCEL 87.03)        |
| PARCEL 234-12.00-87.02: | 42,179 S.F (0.97 AC) | 231.26' (PARCEL 87.03)        |
| PARCEL 234-12.00-87.03: | 46,995 S.F (1.08 AC) | 107.83' (CAMP ARROWHEAD ROAD) |
| PROPOSED:               |                      |                               |
| PARCEL 234-12.00-87.00: | 40,215 S.F (0.92 AC) | 102.56' (CAMP ARROWHEAD ROAD) |
| PARCEL 234-12.00-87.01: | 43,740 S.F (1.00 AC) | 100.03' (EASEMENT)            |
| PARCEL 234-12.00-87.02: | 32,690 S.F (0.75 AC) | 203.17' (EASEMENT)            |
| PARCEL 234-12.00-87.03: | 69,158 S.F (1.59 AC) | 107.83' (CAMP ARROWHEAD ROAD) |
| PROPOSED LOT 1:         | 32,698 S.F (0.75 AC) | 202.97' (EASEMENT)            |

The subdivision meets the intent of the code, provides adequate lot size(s) and dimensions, and demonstrates adequate frontage via existing road frontage and/or proposed easement. A total of three (3) lots front on an easement with an existing drive.

On both occasions where the prior Subdivision Approval and associated Commission Meeting Minutes were brought up, staff discussed ways to continue moving the submission as a minor subdivision if it met the code requirements under a Minor Subdivision.

**Based on the above direction, the applicant requests Preliminary Minor Subdivision Approval upon review and approval of all outside agency(s).** *(At the time of submission, DeIDOT LONO has been received, and applicant is awaiting approval of the State Fire Marshal)*

Please feel free to contact me with any questions, concerns, or for additional information at (302) 236-3600 or [carlton@scaledengineering.com](mailto:carlton@scaledengineering.com)

Sincerely,



Carlton Savage, Jr.

Principal | Senior Engineer

Scaled Engineering Inc.



STATE OF DELAWARE  
**DEPARTMENT OF TRANSPORTATION**  
800 BAY ROAD  
P.O. BOX 778  
DOVER, DELAWARE 19903

NICOLE MAJESKI  
SECRETARY

July 19, 2022

Mr. Jamie Whitehouse, Director  
Sussex County Planning & Zoning Commission  
Sussex County Administration Building  
P.O. Box 417  
Georgetown, Delaware 19947

**SUBJECT: Minor Subdivision - Letter of No Objection to Recordation  
Lands of Delnova Properties LLC  
Tax Parcel # 234-12.00-87.00, 87.02, 87.03  
Camp Arrowhead Road (SCR 279)  
Indian River Hundred, Sussex County**

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Minor Subdivision Plan dated June 2, 2022 (last revised June 29, 2022), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawing. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Minor Subdivision Plan is not recorded and/or an entrance permit is not issued for the lot(s) prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

Entrances(s) must be installed prior to the sale of the lot(s). All entrances shall conform to DelDOT's [Development Coordination Manual](#) and shall be subject to its approval. **This letter does not authorize the commencement of entrance construction.**

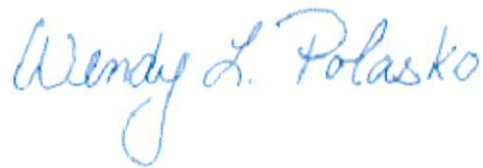
This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized. There

Lands of Delnova Properties LLC  
Mr. Jamie Whitehouse  
Page 2  
July 19, 2022

may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction to modify or reject this proposed plan even though DeIDOT has established that these enumerated transportation improvements are acceptable.

The owner shall be responsible to submit a copy of the **recorded Minor Subdivision Plan** showing all appropriate signatures, seals, plot book and page number to the South District Public Works office (302) 853-1341 in order to obtain the entrance permit(s) for the proposed minor subdivision.

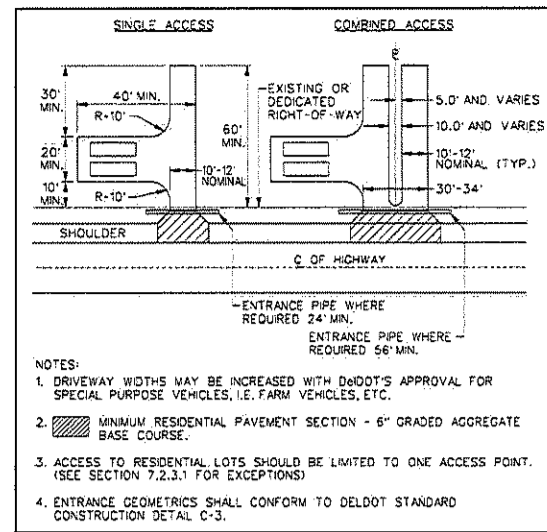
Sincerely,



Wendy L. Polasko, P.E.  
Subdivision Engineer  
Development Coordination

cc: Carlton Savage, Scaled Engineering, Inc.  
Sussex County Planning & Zoning  
Jessica L. Watson, Sussex Conservation District  
Matt Schlitter, South District Public Works Engineer  
James Argo, South District Project Reviewer  
James Smith, South District Entrance Permit Supervisor  
Shannon Anderson, South District Public Work Admin Specialist  
Wendy L. Polasko, P.E., Subdivision Engineer  
Brian Yates, Sussex County Reviewer

Figure 7.2.3.4 Residential Access Design Requirements



7.2.3.4 Entrance Profile

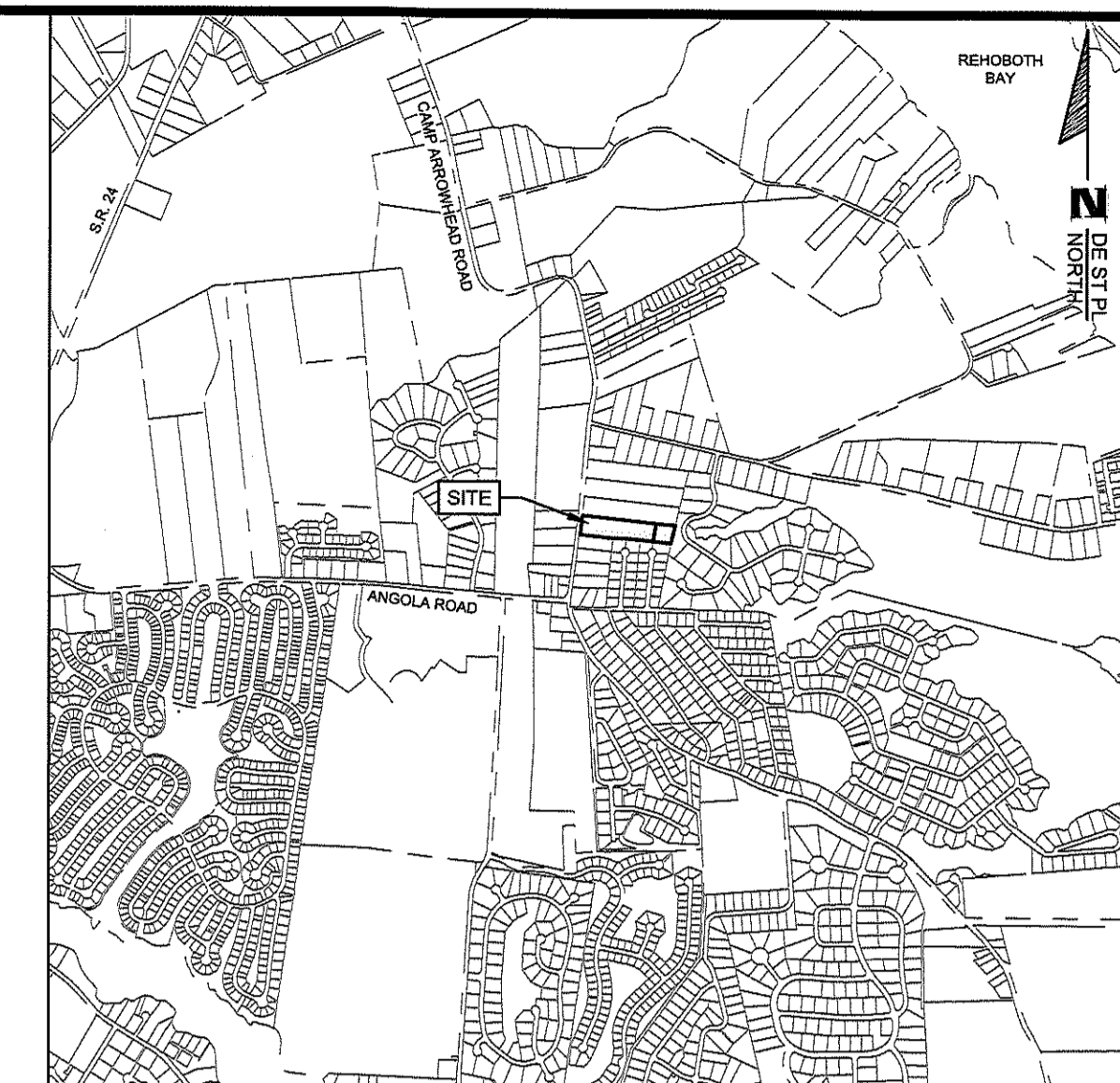
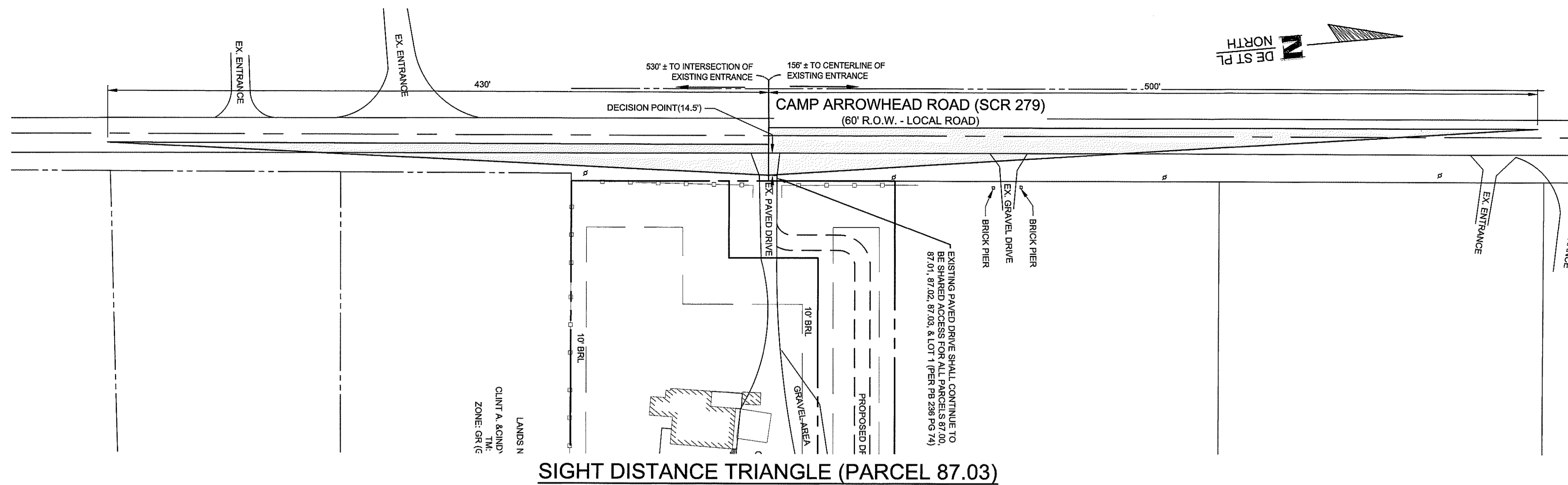
Profile of entrance shall be designed in accordance with this Development Coordination Manual and...

7.2.3.5 Entrance Drainage

Pipes are manufactured in various sizes, shapes, and materials. Entrance pipes commonly used in Delaware include:

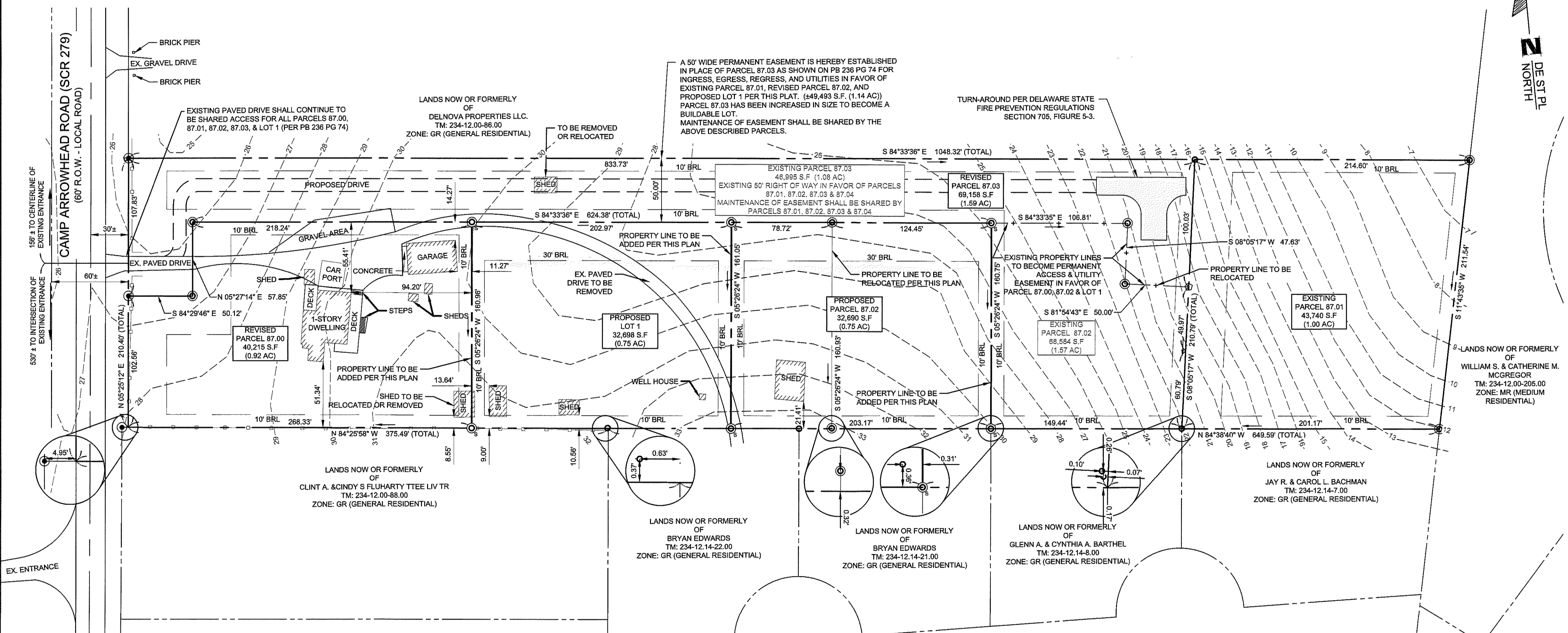
- A. Reinforced concrete pipe (RCP) or elliptical (ERCY).

1-5 Residential Access Effective April 2016



LOCATION MAP SCALE: 1" = 2,000'

SIGHT DISTANCE TRIANGLE (PARCEL 87.03) 1" = 50'



SITE DATA:

- 1. TAX MAP NUMBERS: 234-12.00-87.00, 87.01, 87.02, & 87.03
2. ADDRESS: 22449 CAMP ARROWHEAD ROAD, LEWES, DE 19958
3. OWNER: DELNOVA PROPERTIES LLC
4. ZONING: EXISTING: GR (GENERAL RESIDENTIAL) PROPOSED: GR (GENERAL RESIDENTIAL)
5. USE: EXISTING: AGRICULTURAL / RESIDENTIAL PROPOSED: LOT 1 - RESIDENTIAL RESIDUAL LANDS - AGRICULTURAL / RESIDENTIAL
6. BUILDING SETBACKS (FOR PROPOSED LOT): FRONT 30', SIDE 10', REAR 10'
7. LOT REQUIREMENTS: AREA 10,000 S.F. (PUBLIC SEWER) 32,670 S.F. (0.75 ACRE) (ON-SITE SEWER) WIDTH 75', DEPTH 100'
8. TOTAL NUMBER OF LOTS: EXISTING: 3 LOTS (87.00, 87.02, & 87.03) PROPOSED: 1 LOT (87.01) UNAFFECTED 4 LOTS (87.00, 87.02, 87.03, & LOT 1) 1 LOT (87.01) UNAFFECTED
9. AREA: EXISTING: PARCEL 234-12.00-87.00: 85,587 S.F. (1.96 AC) 102.56' (CAMP ARROWHEAD ROAD) PARCEL 234-12.00-87.01: 43,740 S.F. (1.00 AC) 100.03' (PARCEL 87.03) PARCEL 234-12.00-87.02: 42,179 S.F. (0.97 AC) 231.26' (PARCEL 87.03) PARCEL 234-12.00-87.03: 46,995 S.F. (1.08 AC) 107.83' (CAMP ARROWHEAD ROAD) PROPOSED: PARCEL 234-12.00-87.00: 40,215 S.F. (0.92 AC) 102.56' (CAMP ARROWHEAD ROAD) PARCEL 234-12.00-87.01: 43,740 S.F. (1.00 AC) 100.03' (EASEMENT) PARCEL 234-12.00-87.02: 32,690 S.F. (0.75 AC) 203.17' (EASEMENT) PARCEL 234-12.00-87.03: 69,158 S.F. (1.59 AC) 107.83' (CAMP ARROWHEAD ROAD) PROPOSED LOT 1: 32,698 S.F. (0.75 AC) 202.97' (EASEMENT)
10. AREA AFFECTED BY ADJUSTMENT: 4.01 AC
11. POSTED SPEED LIMIT: 40 MPH
12. SEWER PROVIDER: ON-SITE SEPTIC / SUSSEX COUNTY
13. WATER PROVIDER: ON-SITE WELL
14. THIS PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOOD ZONE, DELINEATED BY THE NATIONAL FLOOD INSURANCE PROGRAM AS SHOWN AS ON FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 10005C0341K REVISED MARCH 16, 2015 (ZONE X).
15. WETLANDS DO EXIST ON THIS SITE AS SHOWN PER PER THE U.S. FISH AND WILDLIFE NATIONAL WETLANDS INVENTORY.
16. PROXIMITY TO DELDOT TID AREA: LOCATED WITH THE HENLOPEN TID AREA
17. RECHARGE AREA: GOOD

NOTES:

THIS DRAWING DOES NOT VERIFY THE LOCATION, EXISTENCE, AND/OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS CROSSING THE SUBJECT PROPERTY.

THIS DRAWING DOES NOT VERIFY THE EXISTENCE AND/OR NON-EXISTENCE OF WETLANDS OR PLANT SPECIES.

THIS DRAWING DOES NOT VERIFY UTILITIES, OR ANY OTHER SUBSURFACE OBJECTS.

ALL SETBACKS MUST BE VERIFIED BY THE HOME OWNER, CONTRACTOR, AND HOMEOWNERS ASSOCIATION PRIOR TO ANY CONSTRUCTION. FRONT, SIDE AND REAR SETBACKS SHOWN PER SUSSEX COUNTY.

NO TITLE SEARCH WAS PROVIDED NOR STIPULATED.

THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED ON 3-27-22, BY SCALED ENGINEERING, INC. BOUNDARY INFORMATION WAS TAKEN FROM DEED BOOK 5495 PAGE 82 (THE CURRENT DEED OF RECORD), PLAT BOOK 236 PAGE 74 AND OTHER DOCUMENTS OF PUBLIC RECORD AND HAS BEEN ROTATED TO DELAWARE STATE PLANE COORDINATE SYSTEM (NAD83).

DELDOT NOTES:

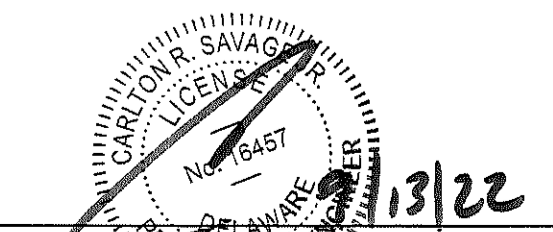
- 1. IF EXISTING ENTRANCES ARE ALTERED, THEY SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL. NO CONSTRUCTION ACTIVITY SHALL OCCUR IN THE RIGHT-OF-WAY (ROW) WITHOUT A DELDOT PERMIT.
2. SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
3. REFER TO DELDOT STANDARD DETAIL M-2 FOR RIGHT-OF-WAY MONUMENTS.
4. ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
5. PARCELS 87.01, 87.02, & 87.04 SHALL HAVE ACCESS TO SCR 279 VIA THE 50-FOOT WIDE INGRESS/EGRESS EASEMENT.
6. THE PROPOSED MINOR SUBDIVISION IS LOCATED WITHIN THE HENLOPEN TRANSPORTATION IMPROVEMENT DISTRICT (TID). PURSUANT TO SECTION 8.C OF THE HENLOPEN TID AGREEMENT BETWEEN THE STATE OF DELAWARE AND SUSSEX COUNTY, THE PROPOSED MINOR SUBDIVISION SHALL BE EXEMPT FROM TID PARTICIPATION. IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION OR ARE FURTHER SUBDIVIDED BY A MINOR SUBDIVISION, THE APPLICANT SHALL BE REQUIRED TO PARTICIPATE WITHIN THE ESTABLISHED TID.

LEGEND:

- IRON REBAR FOUND
CAPPED IRON REBAR FOUND
IRON PIPE FOUND
CAPPED IRON PIPE FOUND
NAIL FOUND @ BASE OF TREE
CAPPED PIPE TO BE SET
SUBJECT BOUNDARY LINE
ADJOINER BOUNDARY LINE
PROPOSED BOUNDARY LINE
BOUNDARY LINE TO BE EXTINGUISHED
PROPOSED EASEMENT
BUILDING RESTRICTION LINE
FENCE
UTILITY POLE
BUILDING

ENGINEERS CERTIFICATION

I, CARLTON R. SAVAGE, JR. HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.



CARLTON R. SAVAGE, JR., P.E. (LICENSE #16457)

DATE

OWNER CERTIFICATION:

WE, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND THAT I DESIRE THE PLAN TO BE RECORDED ACCORDING TO LAW.

DELNOVA PROPERTIES LLC 35993 DUTCH DRIVE LEWES, DE 19958

DATE

LANDS OF DELNOVA PROPERTIES LLC. SCR 279 - TAX MAP 234-12.00-87.00, 87.02, & 87.03 INDIAN RIVER HUNDRED, LEWES, DELAWARE

SCALED ENGINEERING 20246 Coastal Highway Rehoboth Beach, DE 19871 Phone: (302) 227-7808

REVISIONS: 6-28-22 PER DELDOT 9-12-22 PER SCPZ

DATE: 6-2-22 SCALE: 1" = 50' DRAWN BY: JRE PROJECT NO. PWB001

MINOR SUBDIVISION PLAN

**MINUTES OF THE REGULAR MEETING OF August 11, 2016**

The regular meeting of the Sussex County Planning and Zoning Commission was held on Thursday evening, August 11, 2016 in the County Council Chambers, Sussex County Administrative Office Building, Georgetown, Delaware.

The meeting was called to order at 6:00 p.m. with Chairman Wheatley presiding. The following members of the Commission were present: Mr. Robert Wheatley, Mr. Michael Johnson, Mr. I.G. Burton, III, Mr. Martin Ross, and Mr. Doug Hudson with Vincent Robertson – Assistant County Attorney, Mr. Lawrence Lank – Director, Ms. Janelle Cornwell – Planning and Zoning Manager, and Mr. Daniel Brandewie – Planner II.

Motion by Mr. Ross, seconded by Mr. Johnson, and carried unanimously to approve the Revised Agenda as circulated. Motion carried 5 – 0.

Motion by Mr. Ross, seconded by Mr. Johnson, and carried unanimously to approve the Minutes of July 28, 2016 as corrected. Motion carried 5 – 0.

**OLD BUSINESS**

**C/Z #1800 – Sussex Real Estate Partners, LLC (Belle Terre)**

**An Ordinance to amend the Comprehensive Zoning Map of Sussex County from an AR-1 (Agricultural Residential District) to a MR-RPC (Medium Density Residential District – Residential Planned Community) for a certain parcel of land lying and being in Lewes and Rehoboth Hundred, Sussex County, containing 123.75 acres, more or less.** The property is located southwest of Dorman Farm Lane, 1,000 feet southwest of Mulberry Knoll Road (Road 284) and being approximately 1,800 feet southeast of Cedar Grove Road (Road 283) and approximately 1,200 feet northwest of John J. Williams Highway (Route 24). (911 Address: None Available). Tax Map I.D. 334-12.00-17.00, 18.00, 19.00 and 20.00.

**Announcement of receipt of written comments regarding TIS Results.**

The Commission discussed this application acknowledging the receipt of only written comments from James A. Fuqua, Jr. on behalf of the developers.

Motion by Mr. Ross, seconded by Mr. Johnson, and carried unanimously to accept the referenced comments, to close the record, and to defer action for further consideration. Motion carried 5 – 0.

**2016-8 – Burton Acres II – MDI Investment Group, LLC**

This is a major subdivision for the creation of a standard subdivision. The plan proposes to subdivide 23.91 acres +/- into 19 lots with private roads and open space. The property is located north of Iron Branch Road on both sides of Mountain Laurel Drive. Tax Map I.D. 233-5.00-24.00 & 24.13. Zoning: MR (Medium Density Residential District).

Motion by Mr. Hudson, seconded by Mr. Johnson, and carried unanimously to defer action soil feasibility study. Motion carried 5 – 0.



Motion by Mr. Johnson, seconded by Mr. Burton and carried unanimously to approve the revised final site plan. Motion carried 5-0.

### **The Grove – C/U #2028**

#### **Preliminary Site Plan**

Mr. Brandewie advised the Commission that this is a preliminary site plan for the construction of 61 townhouses as a condominium development on a 14.79 acre tract, located off Lighthouse Rd. (Rt. 54). The property is zoned MR, Medium Density Residential, and was approved in 2015 for a Change of Zone and Conditional Use (C/Z #24321, C/U 20280-Cauthen Ventures DE). The tax parcel ID number is 533-12-100. This preliminary plan is substantially consistent with previous submissions. Staff is waiting for agency approvals.

Motion by Mr. Hudson, seconded by Mr. Johnson and carried unanimously to approve the preliminary site plan with final site plan approval by staff upon receipt of agency approvals. Motion carried 5-0.

### **Lands of James and Sallie Wharton on Kings Crossing Road**

#### **Minor Subdivision**

Ms. Cornwell advised the Commission that this is a request for a minor subdivision to create one parcel of land with 3.154 ac. and a residual with 6.849 ac. The parcel was created in 1978 with frontage along both Kings Crossing Rd. and Little Hill Rd. The road frontage along Little Hill Rd. is 51 ft. Typically the Planning Commission will allow for the creation of a parcel off a 50 ft. easement with the proposed parcel having 100 ft. of frontage along the easement. This minor subdivision is not proposing an easement. When easements are created the easement will go over an existing driveway. There is no existing driveway off of Little Hill Rd. Staff is looking for guidance from the Planning Commission regarding the proposed subdivision.

There was discussion regarding the request for a minor subdivision and the Commission's ability to approve the request.

Motion by Mr. Ross, seconded by Mr. Burton and carried unanimously to deny the minor subdivision as the applicant has other options to pursue to create the subdivision. Motion carried 5-0.

### **Lands of Roger P. Edwards off Camp Arrowhead Road**

#### **Minor Subdivision with a 50 foot easement**

Ms. Cornwell advised the Commission that this is a minor subdivision for the creation of one parcel of land with 1.2 ac. and the residual of 1.8 ac. The minor subdivision will create a 50 ft. easement over the existing driveway. The easement will also provide access to a landlocked parcel at the end of the easement. Any further subdivision shall require a major subdivision. Staff is awaiting approval from DelDOT.

Motion by Mr. Hudson, seconded by Mr. Ross and carried unanimously to approve the minor subdivision with 50 ft. easement with final approval by staff upon receipt of approval from DelDOT. Motion carried 5-0.

**Lands of Ponderosa Acres, LLC on U.S. Route 113**

Minor Subdivision with a 50 foot easement

Ms. Cornwell advised the Commission that this is a minor subdivision for the creation of one parcel of land with 3.3 acres and the residual. It also proposes to expand the existing 50 ft. easement. Any further subdivision shall require a major subdivision. Staff is awaiting approval from DelDOT.

Motion by Mr. Johnson, seconded by Mr. Burton and carried unanimously to approve the minor subdivision with final approval by staff upon receipt of approval from DelDOT and any further subdivision requiring a major subdivision. Motion carried 5-0.

**Lands of Sposato – C/U #1446**

Request to Amend a Condition of Approval

Ms. Cornwell advised the Commission that this item was deferred at the July 28<sup>th</sup> meeting for further discussion. Staff included the minutes from the meetings in which the application was discussed. This is a request to amend Condition #4 of CU 1446. The Conditional Use is for a landscape business with equipment storage. The Planning Commission recommended approval of the Conditional Use on March 14, 2002. The County Council approved the use on April 9, 2002. Condition #4 states that “there shall be no grinding of mulch on site”. The applicant is requesting to allow for grinding yard waste into recyclable compost twice yearly.

There was discussion regarding the application.

Motion by Mr. Burton, seconded by Mr. Hudson and carried unanimously to amend Condition #4 to state that mulching may occur twice a year for 7-10 days Monday through Friday from the hours of 8:00am to 4:30pm and the applicant shall inform the Planning Office prior to commencing mulching operations. Motion carried 5-0.

ADDITIONAL BUSINESS

**Discussion regarding Comprehensive Plan**

Ms. Cornwell advised the Commission that the dates and locations for the first round of public meetings has been finalized (Monday September 26<sup>th</sup>, Tuesday September 27<sup>th</sup>, Thursday September 29<sup>th</sup>, Tuesday October 4<sup>th</sup> and Wednesday October 5<sup>th</sup>); that there will be a meeting in each Council District (Lewes, Seaford, Millville, Georgetown and Millsboro); that staff is looking to confirm the time from 4:30pm-7:00pm; that the website is up and the dates will be added to the website in the future; that the format is an open house with a presentation running in the background with activities for the public and the ability to talk to staff; that staff was still working on moving forward with the Conservation Focus Group and there was discussion

regarding the focus group; and that a summary of the interviews were provided to the Council and Commission.

**Opportunity for public comments regarding Comprehensive Plan**

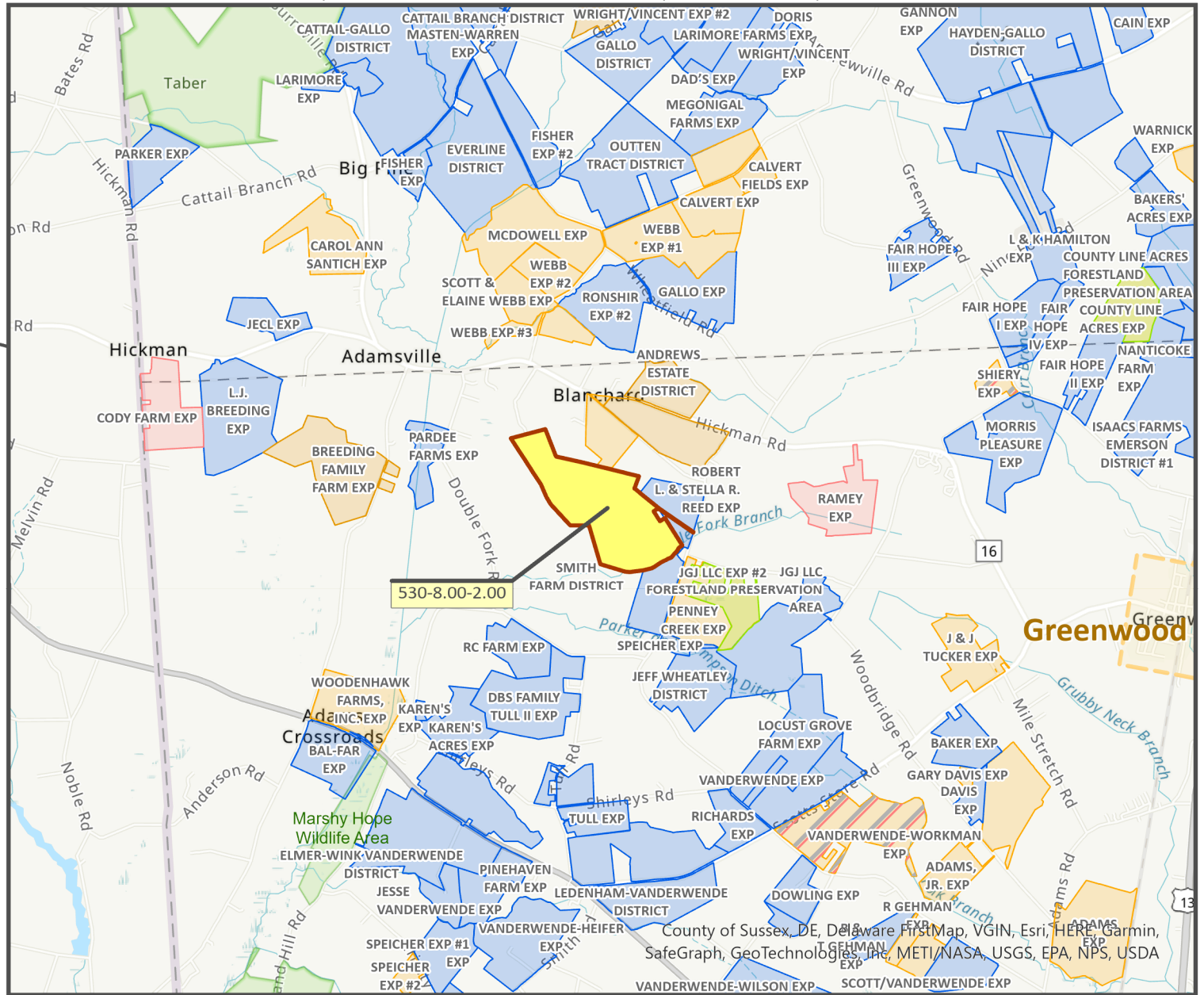
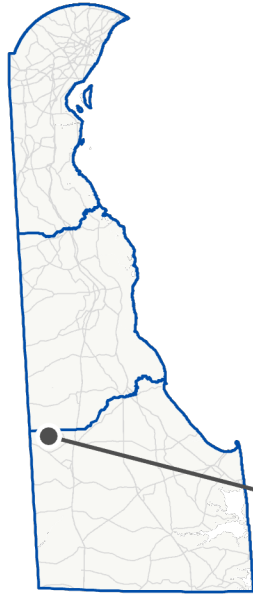
Mr. Dave Jaeger spoke and had questions about the notice of the ability for the public to speak during the meeting; that Mr. Wheatley stated that the opportunity for public comment has been on the agenda for several meetings and will be on the agenda during the Comprehensive Plan process.

Meeting adjourned at 8:55 p.m.



# SMITH FARM DISTRICT

| NORTHWEST FORK HUNDRED | DELAWARE |



## AGRICULTURAL PRESERVATION DISTRICT

Farm Parcel Boundary

Public Protected Lands

Project ID: S-22-08-301

Total Preserved Acres: 309.65

Program Status: Pending

Priority Zone: No

| Parcel ID     | County | Acres  |
|---------------|--------|--------|
| 530-8.00-2.00 | Sussex | 309.65 |

### DELAWARE AGRICULTURAL LANDS PRESERVATION FOUNDATION

Eric Reid - Planner III  
 Delaware Dept of Agriculture  
 2320 S. Dupont Hwy  
 Dover, DE 19901

- Pending / Contingent
- Contingent
- Pending
- Agricultural Easement
- Agricultural District
- Agricultural Expansion
- Forestland Area
- Forestland Easement
- Young Farmer



THIS PLAN IS A COMPILATION OF AVAILABLE INFORMATION OF RECORD AND IS NOT TO BE USED FOR ENGINEERING PURPOSES.

Exported: 9/6/2022

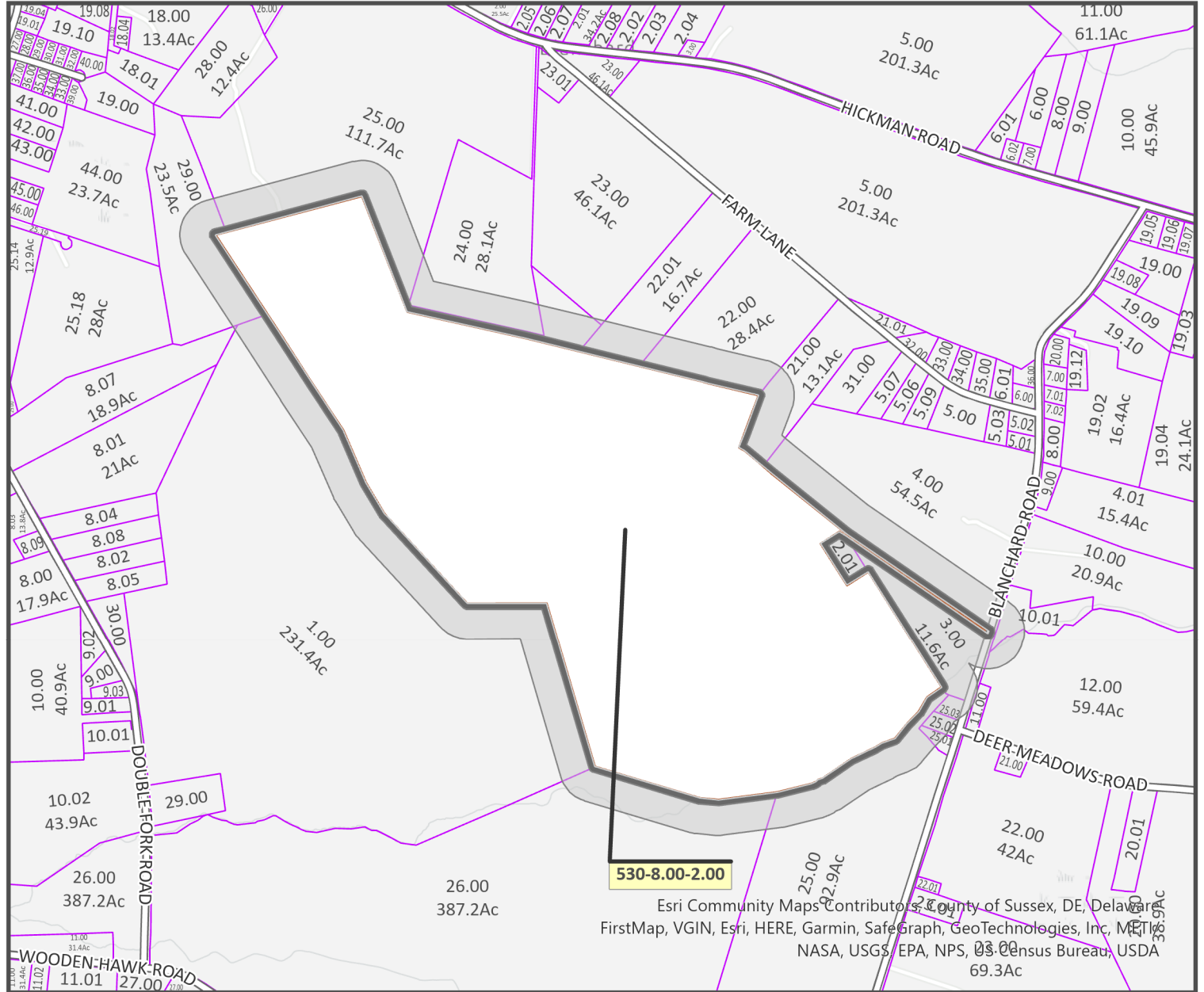
# EXHIBIT A

# SMITH FARM DISTRICT

Project ID: S-22-08-301

Total Preserved Acres: 309.65

| Parcel ID     | County Acres  |
|---------------|---------------|
| 530-8.00-2.00 | Sussex 309.65 |



**50 feet**

IS THE 50' BOUNDARY LINE FROM AG DISTRICT; NO BUILDINGS FOR NON-AG PURPOSES CAN BE CONSTRUCTED INSIDE THIS AREA. "FOR ANY NEW SUBDIVISION DEVELOPMENT LOCATED IN WHOLE OR IN PART WITHIN FIFTY (50) FEET OF THE BOUNDARY OF AN AGRICULTURAL PRESERVATION DISTRICT, NO IMPROVEMENT REQUIRING AN OCCUPANCY APPROVAL SHALL BE CONSTRUCTED WITHIN FIFTY (50) FEET OF THE BOUNDARY OF THE AGRICULTURAL PRESERVATION DISTRICT," PURSUANT TO 3 DEL. C. ss910 (a) (2)

**300 feet**

IS THE 300' BOUNDARY LINE; NOTICE MUST BE GIVEN TO ALL NEW HOMEOWNERS IN NEW SUBDIVISIONS FILED AFTER THE APPROVAL DATE OF THIS DISTRICT. "FOR ANY NEW SUBDIVISION DEVELOPMENT LOCATED IN WHOLE OR IN PART WITHIN THREE HUNDRED (300) FEET OF THE BOUNDARY OF AN AGRICULTURAL PRESERVATION DISTRICT, THE OWNER SHALL PROVIDE IN THE DEED RESTRICTIONS AND ANY LEASES OR AGREEMENTS OF SALE FOR ANY RESIDENTIAL LOT OR DWELLING UNIT THE FOLLOWING NOTICE: 'AGRICULTURAL PRESERVATION DISTRICT: THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURAL PRESERVATION DISTRICT IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS AND NIGHTTIME FARM OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USE ACTIVITIES.'" PURSUANT TO 3 DEL. C. ss910 (a) (1)



Eric Reid - Planner III  
 Delaware Dept of Agriculture  
 2320 S. Dupont Hwy  
 Dover, DE 19901  
 Exported: 9/6/2022



2

Esri Community Maps Contributors, County of Sussex, DE, Delaware, FirstMap, VGIN, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI, NASA, USGS, EPA, NPS, US Census Bureau, USDA

DELAWARE AGRICULTURAL LANDS PRESERVATION FOUNDATION HEREBY CERTIFIES THAT THE PROPERTIES SHOWN AND DESCRIBED ON THIS PLAN, AND SUBJECT TO AN AGRICULTURAL PRESERVATION DISTRICT AGREEMENT FILED AND RECORDED WITH THE RECORDER OF DEEDS IN AND FOR SUSSEX COUNTY, DELAWARE, CONSTITUTE AN AGRICULTURAL PRESERVATION DISTRICT AS PROVIDED IN LEGAL REF. 3 DEL. C. CHAP. 9. FURTHER, I WITNESS THAT THIS DISTRICT HAS BEEN PROPERLY APPROVED AND THAT THE FOUNDATION DESIRES THAT THIS PLAN BE RECORDED ACCORDING TO LAW.

CHAIRMAN OR AUTHORIZED DESIGNEE  
 DELAWARE AGRICULTURAL LANDS PRESERVATION FOUNDATION

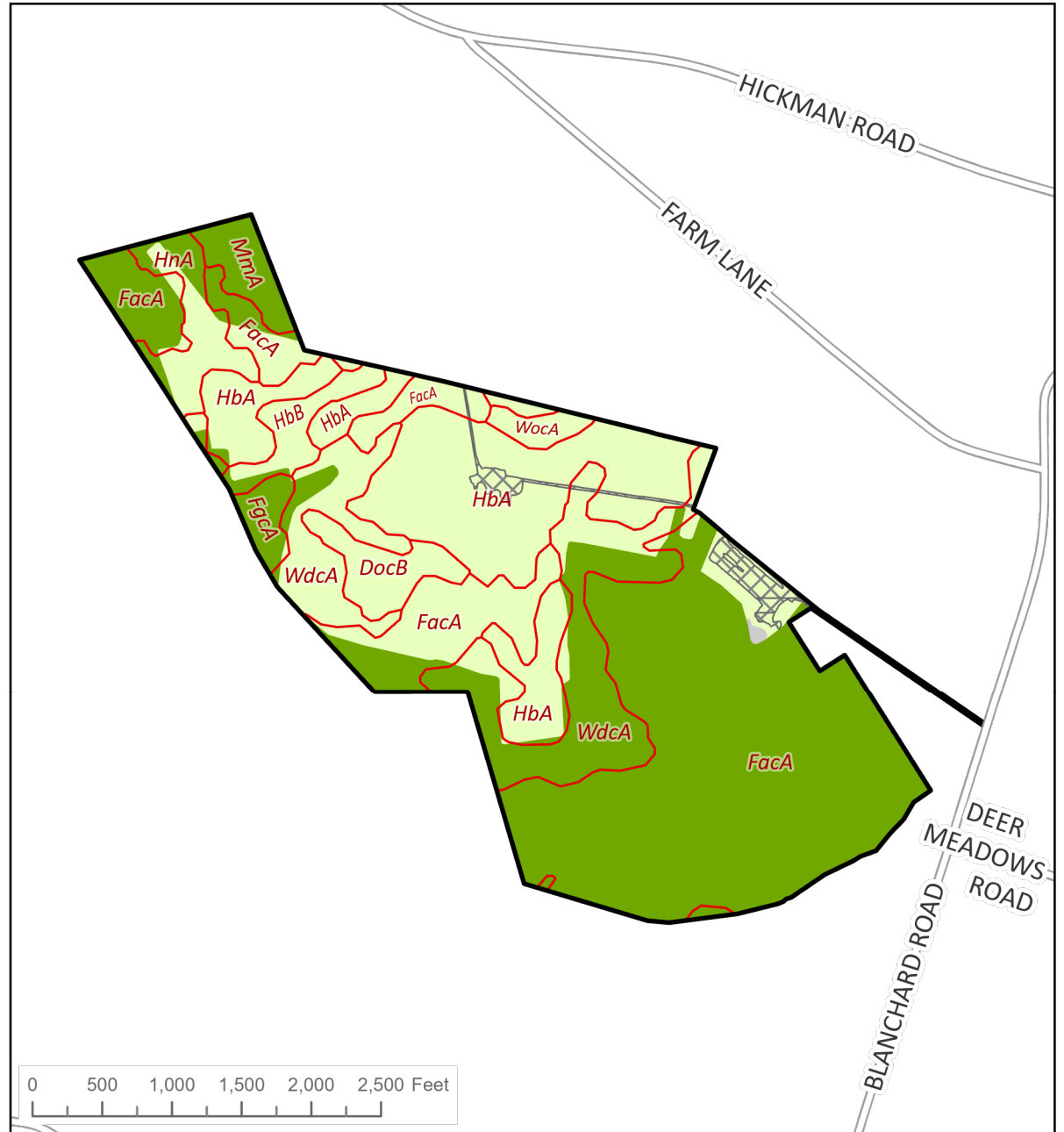
DATE

# SMITH FARM DISTRICT

**NRCS Soils Present**

- DocB, Downer sandy loam, 2 to 5 percent slopes, Mid-Atlantic Coastal Plain
- FacA, Fallsington sandy loams, 0 to 2 percent slopes, Mid-Atlantic Coastal Plain
- FgcA, Fallsington loams, 0 to 2 percent slopes, Mid-Atlantic Coastal Plain
- GoA, Glassboro sandy loam, 0 to 2 percent slopes
- HbA, Hambrook sandy loam, 0 to 2 percent slopes
- HbB, Hambrook sandy loam, 2 to 5 percent slopes
- HnA, Hammonton sandy loam, 0 to 2 percent slopes
- LO, Longmarsh and Indiantown soils, frequently flooded
- MmA, Mullica mucky sandy loam, 0 to 2 percent slopes
- WdcA, Woodstown sandy loam, 0 to 2 percent slopes, Mid-Atlantic Coastal Plain
- WocA, Woodstown loam, 0 to 2 percent slopes, Mid-Atlantic Coastal Plain

| Parcel ID     | Class       | Soil | Rating                           | Acres   |
|---------------|-------------|------|----------------------------------|---------|
| 530-8.00-2.00 | Agriculture | DocB | All areas are prime farmland     | 8.571   |
| 530-8.00-2.00 | Agriculture | FacA | Farmland of statewide importance | 29.299  |
| 530-8.00-2.00 | Agriculture | FgcA | Farmland of statewide importance | 0.584   |
| 530-8.00-2.00 | Agriculture | HbA  | All areas are prime farmland     | 62.977  |
| 530-8.00-2.00 | Agriculture | HbB  | All areas are prime farmland     | 6.378   |
| 530-8.00-2.00 | Agriculture | HnA  | All areas are prime farmland     | 7.402   |
| 530-8.00-2.00 | Agriculture | WdcA | All areas are prime farmland     | 23.562  |
| 530-8.00-2.00 | Agriculture | WocA | All areas are prime farmland     | 3.256   |
| 530-8.00-2.00 | Forest      | FacA | Farmland of statewide importance | 124.475 |
| 530-8.00-2.00 | Forest      | FgcA | Farmland of statewide importance | 4.821   |
| 530-8.00-2.00 | Forest      | GoA  | Farmland of statewide importance | 0.035   |
| 530-8.00-2.00 | Forest      | HbA  | All areas are prime farmland     | 1.094   |
| 530-8.00-2.00 | Forest      | HbB  | All areas are prime farmland     | 0.855   |
| 530-8.00-2.00 | Forest      | HnA  | All areas are prime farmland     | 3.589   |
| 530-8.00-2.00 | Forest      | LO   | Not prime farmland               | 0.173   |
| 530-8.00-2.00 | Forest      | MmA  | Prime farmland if drained        | 6.700   |
| 530-8.00-2.00 | Forest      | WdcA | All areas are prime farmland     | 25.534  |
| 530-8.00-2.00 | Other       | FacA | Farmland of statewide importance | 0.334   |
| 530-8.00-2.00 | Wetland     | FacA | Farmland of statewide importance | 0.012   |



Total: 309.65 Ac  
 Cropland: 142.03 Ac  
 Forest: 167.28 Ac

Prime Soil: 309.48 Ac  
 Impervious Cover: 0.00 Ac  
 Road Frontage: 0 Ft

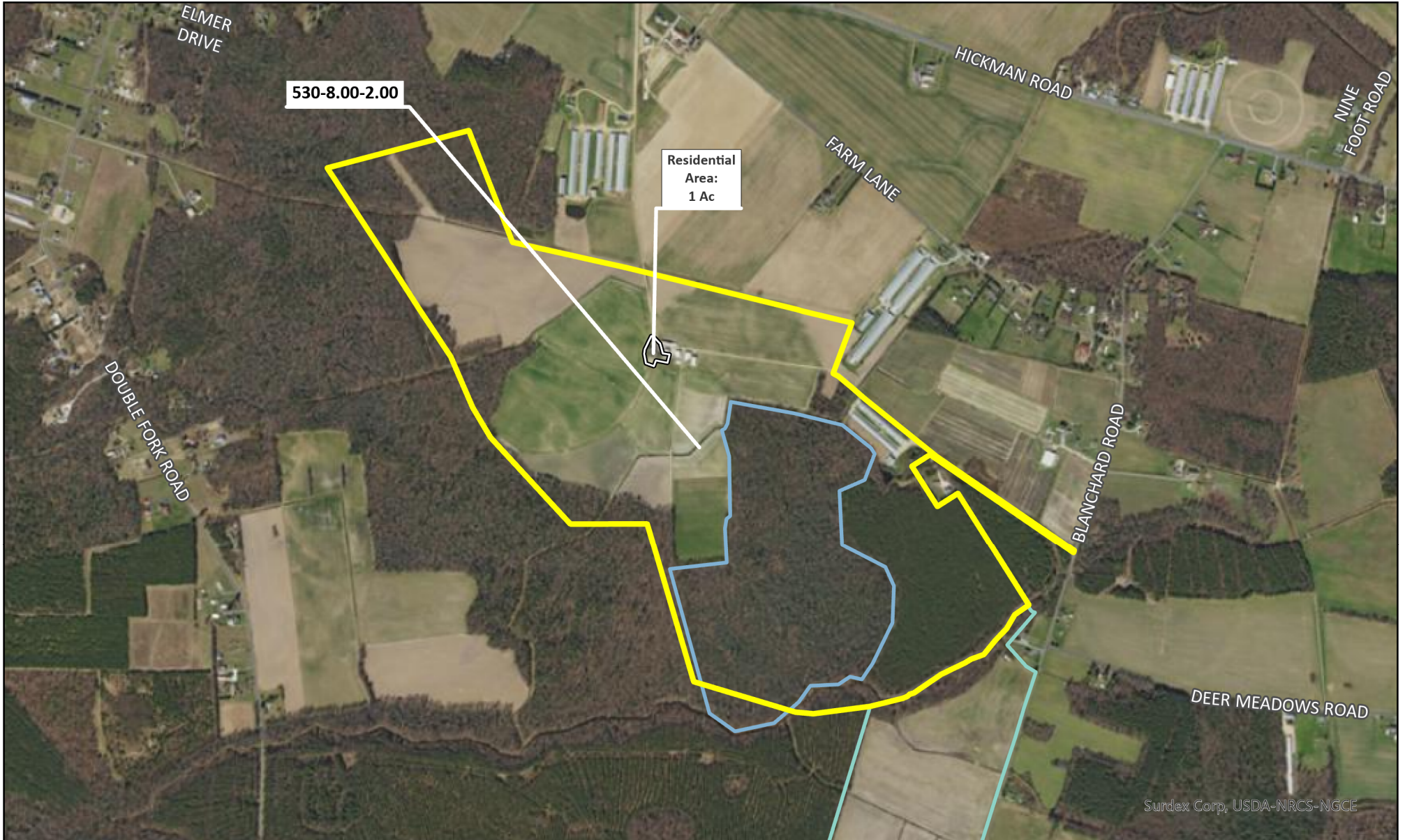
■ Agriculture  
■ Forest  
■ Urban  
■ Wetland  
■ Other  
 Impervious



# EXHIBIT B

S-22-08-301

# SMITH FARM DISTRICT



Eric Reid - Planner III  
 Delaware Dept of Agriculture  
 2320 S. Dupont Hwy  
 Dover, DE 19901  
 Aerial Photo: April 2017  
 Exported: 9/6/2022

| Parcel ID     | Dwellings | Residential Acres | Road Frontage | Acres  |
|---------------|-----------|-------------------|---------------|--------|
| 530-8.00-2.00 | 1         | 1                 | 0 ft          | 309.65 |

**Area within BLUE polygon boundary is part of the Federal Wetland Reserve Program and consists of 80 acres. It will not be included in the District.**

Farms in Agricultural Preservation are allowed 1 acre of residential land use for every 20 total acres, with a minimum of 1 and maximum of 10 acres. Up to 3 dwellings may be placed on the residential acres. Allowances may be further assigned to parcels by subsequent acknowledgements. Refer to the district agreement, easement, and any recorded acknowledgments for current allowances.



AGRICULTURAL PRESERVATION DISTRICT APPLICATION

Return to: The Delaware Agricultural Lands Preservation Foundation  
2320 S DuPont Highway, Dover, DE 19901  
Phone (302)698-4530, or Toll Free in DE Only (800)282-8685

File# S-22-08-301

Date 8-29-22

Name of Petitioner(s) DAVID B. & MONICA E. SMITH

Email Address: SMITHACRES94@YAHOO.COM

Mailing Address 12310 BLANCHARD ROAD  
GREENWOOD, DE 19950

Primary Contact Person DAVID SMITH Preferred Contact Number: 302-236-2229

Farm Location SUSSEX Total Acreage of Farm 309

Adjoining Roads BLANCHARD & HICKMAN ROADS; FARM LANE

County Tax Parcel Number(s) 530-8.00-2.00

Zoning Designation AR-1  
(call County Planning for zoning designation)

Type of Farm Operation: GRAIN-POULTRY

|                  |                              |       |                        |       |
|------------------|------------------------------|-------|------------------------|-------|
| Type of Land Use | <u>Crop Land 131.67</u>      | Acres | <u>Aquaculture</u>     | Acres |
|                  | <u>Woodland 172</u>          | Acres | <u>Pasture Land</u>    | Acres |
|                  | <u>Farmland Structures 4</u> | Acres | <u>Tidal Wetlands</u>  | Acres |
|                  | <u>Residence 1</u>           | Acres | <u>Other (specify)</u> | Acres |

# Of Dwelling Units: 1 Occupant's Name(s) & Relationship DAVID & MONICA SMITH

Easements/Rights-of-Way (if any) WRP WETLAND EASEMENT ON APPROXIMATELY 80 ACRES

Does the farm have a certified nutrient management plan?  Yes  No

Is any portion of the proposed District/Expansion currently subject to subdivision?  Yes  No

Is the property land locked? (no road frontage)  Yes  No If yes please provide access rights documentation

District Name You Would Prefer: SMITH FARM DISTRICT

Monitor Zone 12 Do you wish to have your farm appraised for the next round of Aglands easement selections?  Yes  No