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Sussex County

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COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE



Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, AICP, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager; Lauren DeVore, AICP, Planner III; Michael Lowrey, Planner III; Chase Phillips, Planner II; Christin Scott, Planner II; Elliott Young, Planner I & Jesse Lindenberg, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: November 1st, 2022

RE: Other Business for the November 17th, 2022, Planning Commission Meeting

This memo provides background for the Planning Commission to consider as a part of the Other Business to be reviewed during the November 17th, 2022, Meeting of the Planning & Zoning Commission.

Americana Bayside Residential Planned Community (RPC) (C/Z 1393)

BM

Revised Master Plan (MP-15)

This is a Revised Master Plan, MP-15, for the Americana Bayside Residential Planned Community (RPC). The Americana Bayside Residential Planned Community was established by Change of Zone No. 1393, which was approved by the Sussex County Council at their meeting of Tuesday, February 6th, 2001, through Ordinance No. 1433. The Conditions of Approval for the Change of Zone were subsequently amended on September 23rd, 2003, and April 13th, 2010, in order to accommodate necessary changes to the RPC. The updated Master Plan amends the previously approved Master Plan (MP-14A) to include further details regarding the Bayside Hotel (now known as The Inn at Bayside) for a sixty (60) room hotel totaling 39,517 square feet, a spa and other site improvements, which the Commission may recall, received Final Site Plan approval at its meeting of Thursday, October 13th, 2022. The updated Master Plan complies with the 170,000 square foot maximum square footage for retail/office space as established under Condition #2 of the original Ordinance. The Master Plan also complies with all Conditions of Approval for the RPC. Tax Parcel: 533-19.00-856.01. Zoning: Medium Density Residential, Residential Planned Community (MR-RPC). Staff are in receipt of all agency approvals.

Still Waters Lot Line Adjustment Plan – The Peninsula

Revised Final Site Plan

This is a Revised Final Site Plan for the Still Waters community within The Peninsula. The plan proposes a reduction of parcel size for Parcels C, D, E, & F and the creation of Parcel K which will accommodate the existing multi-modal path. Additionally, the parcel line along the entrance of Still Waters is proposed to be relocated further south towards the intersection with Quiet Waters Avenue. The current plan was approved by the Commission at their meeting of June 9th, 2022, and it is included in the published packet alongside the proposed plan. The Lot Line Adjustment Plan complies with the Sussex County Zoning Code and all Conditions of Approval. Tax Parcels: 234-30.00-317.04 through 317.07. Zoning: Medium Density Residential – Residential Planned Community (MR-RPC). No agency approvals are required for this proposal; therefore, this plan qualifies for preliminary and final approvals.



Blessing Greenhouses & Compost Facility, Inc

KS

Final Site Plan

This is a Final Site Plan for the construction of multiple structures relating to the greenhouse and composting operations of Blessing Greenhouse & Compost Facilities, Inc. The 31.95 acre +/- site currently hosts greenhouse structures totaling approximately 25,000 square feet and various concrete slabs totaling 100,000 square feet +/- . The plan proposes phased improvements of five (5) structures totaling 143,179 square feet, a 23,270 square foot elevated filtration pad, and paved interior parking and circulation with a net development area totaling 25 acres +/- . This Site Plan includes improvements associated with Conditional Use (CU 2071), approved by Sussex County Council at their meeting on Tuesday, August 8th, 2017, via Ordinance No. 2514. The Preliminary Plan was approved by the Planning & Zoning Commission at their meeting on April 14th, 2022. The Plan consists of three (3) phases and the proposed uses include greenhouse operations, composting, soil blending, bagging of poultry by-products, potting of soils for trucking, and wholesale distribution. The plan proposes the provision of eighteen (18) parking spaces and designated loading areas adjacent to each proposed building. Additionally, the plan includes a twenty-five (25) foot wide landscaped buffer along both the frontage on Draper Road as well as all portions of the proposed development area which are not wooded areas. Tax Parcels: 230-15.00-34.00 & P/O 230-15.00-35.00. Zoning: AR-1 (Agricultural Residential). Staff are awaiting agency approvals.

Eagles Nest Senior Care Facility

HW

Preliminary Site Plan

This is a Preliminary Site Plan for the Eagles Nest Senior Care Facility which proposes the construction of a 94,570 square foot assisted living facility, parking, and associated improvements. The 9.50 acre +/- site currently hosts a campground, a recreational building, and a pool. Additionally, the plan proposes a landscaped buffer along the frontage on Coastal Highway and a reconfiguration of the Shalom Trail easement at the western boundary of the site. The parcel is split-zoned with all of the improvements in the Plan to be located on the commercially zoned portion of the parcel. Tax Parcel: 235-8.00-35.06. Zoning: AR-1 (Agricultural Residential) and General Commercial (C-1). Staff are awaiting agency approvals.

2004-43 Independence

KH

Revised Amenities Plan

This is a Revised Amenities Plan for the construction of two (2) pickleball courts, two (2) pavilions, a gazebo, and other site improvements within the existing subdivision of Independence. The properties are located on the west side of Samuel Adams Circle and within Benjamin Harrison Circle. The Final Subdivision Plan for Independence was approved by the Planning and Zoning Commission at their meeting of Thursday, September 28th, 2006. The Preliminary Subdivision Plan for the Phase 13 extension of Independence was approved by the Planning and Zoning Commission on Thursday, May 26th, 2022. The Applicant has submitted votes from the existing homeowners, which show fifty-two percent (52%) in favor of the changes and fifteen percent (15%) in opposition. Thirty-three percent (33%) did not vote. The Amenities Plan complies with the Sussex County Zoning and Subdivision Codes and all Conditions of Approval. Tax Parcels: 234-16.00-8.00 & 8.03. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are in receipt of all agency approvals; therefore, this plan may be considered for preliminary and final approval.

2022-13 Chad E. & Amy L. Reed

KH

Revised Final Subdivision Plan

This is a Final Subdivision Plan within the existing Loblolly Village major subdivision, to divide 6.94 acres +/- into two (2) single family lots including residual, to be located on a certain parcel of land lying and being in Cedar Creek Hundred, Sussex County. The property is lying on the north side of Loblolly Avenue a private street within the major subdivision, approximately 500 feet north of Johnson Road (S.C.R. 207). The Planning and Zoning Commission approved the Preliminary Subdivision Plan at their meeting of Thursday, October 27th, 2022. The applicant has submitted more than 51% of signatures from existing homeowners in favor of the changes. The Revised Final Subdivision Plan complies with the Sussex County Zoning and Subdivision codes, no Conditions of Approval were given. Tax Parcel: 330-15.13-44.00. Zoning: MR (Medium-Density Residential District). Staff are in receipt of all agency approvals.

SEA GRASS BEND - SUSSEX COUNTY PLANNING AND ZONING COMMISSION - CASE #1701

1. THE MAXIMUM NUMBER OF RESIDENTIAL DWELLING UNITS SHALL BE 55, CONSISTING OF TOWNHOUSES AND SINGLE-FAMILY DETACHED CONDOMINIUMS.
2. THE DEVELOPMENT SHALL BE SERVED AS PART OF A SUSSEX COUNTY SANITARY SEWER DISTRICT.
3. THE DEVELOPER SHALL COMPLY WITH ALL REQUIREMENTS AND SPECIFICATIONS OF THE COUNTY ENGINEERING DEPARTMENT.
4. THE RPC WILL BE SERVED BY CENTRAL WATER.

5. STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE STATE AND COUNTY REQUIREMENTS. THESE FACILITIES SHALL BE OPERATED IN A MANNER CONSISTENT WITH BEST MANAGEMENT PRACTICES.

6. THE FINAL SITE PLAN FOR EACH PHASE OF THE DEVELOPMENT SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT UPON IT.

7. THE PROJECT WILL BE INCORPORATED AS PART OF THE EXISTING AMERICANA BAYSIDE MR-RPC (CHANGE OF ZONE NO. 1393) AND SHALL BE SUBJECT TO AND BENEFITED BY THE CONDITIONS IMPOSED UPON THE DEVELOPMENT, EXCEPT AS MODIFIED HEREIN.

8. ALL ENTRANCE, ROADWAY, INTERSECTION AND MULTI-MODAL IMPROVEMENTS REQUIRED BY DELDOT SHALL BE COMPLETED IN ACCORDANCE WITH DELDOT'S STANDARD DETERMINATIONS.

9. THE INTERIOR STREET DESIGN AND PARKING AREAS SHALL MEET OR EXCEED SUSSEX COUNTY STREET DESIGN SPECIFICATIONS AND REQUIREMENTS.

10. THE APPLICANT SHALL FORM A CONDOMINIUM ASSOCIATION TO BE RESPONSIBLE FOR THE MAINTENANCE OF STREETS, ROADWAYS, BUFFERS, STORMWATER MANAGEMENT AREAS AND COMMUNITY AREAS.

11. ALL ROAD NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY MAPING AND ADDRESSING DEPARTMENT.

12. THE FINAL SITE PLAN SHALL INCLUDE A LANDSCAPE PLAN FOR ALL THE BUFFER AREAS, SHOWING ALL THE LANDSCAPING AND VEGETATION TO BE INCLUDED IN THOSE AREAS.

13. THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.

Residential Unit Description	Phase 1A	Phase 1B	Phase 2	Phase 3	Phase 4	Phase 5	Phase 6	Phase 7A	Phase 7B	Phase 8	Phase 9A	Phase 9B	Phase 10A	Phase 10B	Phase 11	Phase 13	Phase 16	Coastal Cr	Solo Grass	Village C-1A	Village C-1B	Village C-1C	Village C-2	Knob	Melson	Village A	Lot 90	Weidman	Totals
Patio Homes (P)	13	0	0	15	0	29	29	17	10	6	5	0	0	0	19	0	0	35	8	36	13	76	48	39	0	24	0	0	422
Village Homes (V)	6	0	0	7	0	9	0	0	0	21	14	6	2	22	0	0	7	0	0	0	0	0	0	0	0	0	0	0	94
Estate Homes (E)	1	0	0	29	0	1	0	2	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	37
Grand Estate Homes (G)	1	0	10	7	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	14	0	0	0	0	0	2	0	1
Custom Homes (C)	0	0	0	0	0	0	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
Courtyard Homes (D)	32	0	0	0	0	8	18	22	0	26	0	18	26	0	16	0	0	16	18	0	32	0	58	48	0	12	116	468	
Townhouse 20'22' wide (TH)	4	0	12	7	25	18	0	0	0	0	0	0	0	0	26	0	0	0	0	0	0	0	0	0	0	0	0	0	62
Townhouse 30' wide (TH)	20	12	8	9	0	11	0	26	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	116
12-Row Multifamily (12)	0	24	0	12	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	60
30-Row Multifamily (30)	0	0	60	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	60
Single Family Condo	0	0	0	0	0	0	0	0	0	0	0	0	0	0	37	26	7	51	55	36	59	76	48	97	48	100	14	116	1451
Totals	77	36	114	65	37	76	47	67	11	54	20	24	28	25	37	26	7	51	55	36	59	76	48	97	48	100	14	116	1451

Plus Village D - Arrington Woods
Plus Approved RPC Residential Units
Total RPC Units: 1848

1. THE RESIDENTIAL PORTION OF THE LANDS BEING INCORPORATED INTO THE EXISTING MR-RPC (CZ #1393) SHALL NOT EXCEED 48 RESIDENTIAL UNITS AND THE RETAIL / OFFICE PORTION OF THE LANDS SHALL NOT EXCEED 18,000 SQUARE FEET OF RETAIL / OFFICE SPACE.
2. THE 48 RESIDENTIAL UNITS AND 18,000 SQUARE FEET OF RETAIL / OFFICE SPACE SHALL BE PART OF THE USES APPROVED IN CONDITIONS #1 AND #3 OF CZ #1393 AND SHALL NOT BE IN ADDITION TO THOSE CONDITIONS.
3. CONDITION #24 OF CZ #1393 SHALL NOT BE APPLICABLE TO THE RETAIL / OFFICE SPACE APPROVED BY THIS APPLICATION, CZ #1803.
4. CZ #1803 SHALL BE AN EXTENSION OF CZ #1393 AND SHALL BE SUBJECT TO THE CONDITIONS OF APPROVAL OF CZ #1393 AS AMENDED EXCEPT AS PROVIDED HEREIN.
5. STREET NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE COUNTY MAPING AND ADDRESSING DEPARTMENT.
6. A REVERSED PRELIMINARY SITE PLAN DEPICTING THESE CONDITIONS OF APPROVAL SHALL BE SUBMITTED TO THE OFFICE OF STATE PLANNING AND ZONING FOR APPROVAL.
7. FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.

MELSON PROPERTY - SUSSEX COUNTY PLANNING AND ZONING COMMISSION - CASE #1803

1. THE MAXIMUM NUMBER OF RESIDENTIAL DWELLING UNITS SHALL BE 93, CONSISTING OF 33 TOWNHOUSES, 30 DUPLEXES, 30 AND SINGLE FAMILY HOMES. RESIDENTIAL MIX OF 48 DUPLEXES AND 45 SINGLE FAMILY HOMES WAS APPROVED BY PLANNING COMMISSION, SEPTEMBER 11, 2014. THIS CONDITION WAS CHANGED TO READ: THE MAXIMUM NUMBER OF RESIDENTIAL DWELLING UNITS SHALL BE 97, CONSISTING OF 68 DUPLEXES AND 29 SINGLE FAMILY HOMES. (APPROVED BY PLANNING COMMISSION, AUGUST 25, 2016.)
2. THE DEVELOPMENT SHALL BE SERVED AS PART OF A SUSSEX COUNTY SANITARY SEWER DISTRICT.
3. THE DEVELOPER SHALL COMPLY WITH ALL REQUIREMENTS AND SPECIFICATIONS OF THE COUNTY ENGINEERING DEPARTMENT.
4. THE RPC SHALL BE SERVED BY CENTRAL WATER.
5. STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE STATE AND COUNTY REQUIREMENTS. THESE FACILITIES SHALL BE OPERATED IN A MANNER CONSISTENT WITH BEST MANAGEMENT PRACTICES.
6. THE FINAL SITE PLAN FOR EACH PHASE OF THE DEVELOPMENT SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT UPON IT.
7. THE PROJECT WILL BE INCORPORATED AS PART OF THE EXISTING AMERICANA BAYSIDE MR-RPC (CHANGE OF ZONE NO. 1393) AND SHALL BE SUBJECT TO AND BENEFITED BY THE CONDITIONS IMPOSED UPON THE DEVELOPMENT, EXCEPT AS MODIFIED HEREIN.
8. ALL ENTRANCE, ROADWAY, INTERSECTION AND MULTI-MODAL IMPROVEMENTS REQUIRED BY DELDOT SHALL BE COMPLETED IN ACCORDANCE WITH DELDOT'S STANDARD DETERMINATIONS.
9. THE INTERIOR STREET DESIGN AND PARKING AREAS SHALL MEET OR EXCEED SUSSEX COUNTY STREET DESIGN SPECIFICATIONS AND REQUIREMENTS.
10. THE APPLICANT SHALL FORM A CONDOMINIUM ASSOCIATION TO BE RESPONSIBLE FOR THE MAINTENANCE OF STREETS, ROADWAYS, BUFFERS, STORMWATER MANAGEMENT AREAS AND COMMUNITY AREAS.
11. ALL ROAD NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY MAPING AND ADDRESSING DEPARTMENT.
12. THE FINAL SITE PLAN SHALL INCLUDE A LANDSCAPE PLAN FOR ALL THE BUFFER AREAS, SHOWING ALL THE LANDSCAPING AND VEGETATION TO BE INCLUDED IN THOSE AREAS.
13. THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.

AMERICANA BAYSIDE MR-RPC

GROSS AREA: ±931.24 ACRES
LANDS OF CMF BAYSIDE, LLC: ±915.92 ACRES
LANDS OF FIFTH VENTURE, LLC: ±15.32 ACRES
DEDICATED OPEN SPACE: ±313.63 ACRES
(TO SERVE AS CONSERVATION AREA ~ 33%)

NON-RESIDENTIAL DESCRIPTION

	Sq. Ft. NON-COMMERCIAL	Sq. Ft. APPROVED-NOT CONSTRUCTED	Sq. Ft. APPROVED AND CONSTRUCTED
Village J			
Grocery (Existing)			48,756
Bank (Existing)			3,010
Restaurants (Existing)			4,620
Retail (Existing)			4,680
Extended Commercial		12,180	
Town Center			
Welcome Center / Office			2,807
Retail/Post Office	1,230		
Foundation Office	8,693		
Recreation Center	18,000		
Hotel	39,517		
Restaurant Inside Hotel			1,300
Spa Inside Hotel			950
Village H			
Pharmacy/Retail (Existing)			13,291
Restaurant			4,500
Point Commercial			
Restaurant, Retail			9,388
Village P			
Commercial			6,300
Melson			
Office			18,000
Golf			
Barquet Commercial			12,000
Approved Commercial	170,000		
Approved Remaining to be permitted		28,188	
Approved Remaining to be constructed		30,180	
Planned JMFF Coastal Arts Pavilion			Approximately 4000 Seat Amphitheatre 50,000-80,000
Total			30,180
Total			111,632

KNOX PROPERTY - SUSSEX COUNTY PLANNING AND ZONING COMMISSION - CASE #1748

ON JULY 15, 2014, THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION UNANIMOUSLY APPROVED THE FOLLOWING ZONING CONDITIONS FOR PARCEL 287, KNOX PROPERTY.

1. THE MAXIMUM NUMBER OF RESIDENTIAL DWELLING UNITS SHALL BE 93, CONSISTING OF 33 TOWNHOUSES, 30 DUPLEXES, 30 AND SINGLE FAMILY HOMES. RESIDENTIAL MIX OF 48 DUPLEXES AND 45 SINGLE FAMILY HOMES WAS APPROVED BY PLANNING COMMISSION, SEPTEMBER 11, 2014. THIS CONDITION WAS CHANGED TO READ: THE MAXIMUM NUMBER OF RESIDENTIAL DWELLING UNITS SHALL BE 97, CONSISTING OF 68 DUPLEXES AND 29 SINGLE FAMILY HOMES. (APPROVED BY PLANNING COMMISSION, AUGUST 25, 2016.)

2. THE DEVELOPMENT SHALL BE SERVED AS PART OF A SUSSEX COUNTY SANITARY SEWER DISTRICT.

3. THE DEVELOPER SHALL COMPLY WITH ALL REQUIREMENTS AND SPECIFICATIONS OF THE COUNTY ENGINEERING DEPARTMENT.

4. THE RPC SHALL BE SERVED BY CENTRAL WATER.

5. STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE STATE AND COUNTY REQUIREMENTS. THESE FACILITIES SHALL BE OPERATED IN A MANNER CONSISTENT WITH BEST MANAGEMENT PRACTICES.

6. THE FINAL SITE PLAN FOR EACH PHASE OF THE DEVELOPMENT SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT UPON IT.

7. THE PROJECT WILL BE INCORPORATED AS PART OF THE EXISTING AMERICANA BAYSIDE MR-RPC (CHANGE OF ZONE NO. 1393) AND SHALL BE SUBJECT TO AND BENEFITED BY THE CONDITIONS IMPOSED UPON THE DEVELOPMENT, EXCEPT AS MODIFIED HEREIN.

8. ALL ENTRANCE, ROADWAY, INTERSECTION AND MULTI-MODAL IMPROVEMENTS REQUIRED BY DELDOT SHALL BE COMPLETED IN ACCORDANCE WITH DELDOT'S STANDARD DETERMINATIONS.

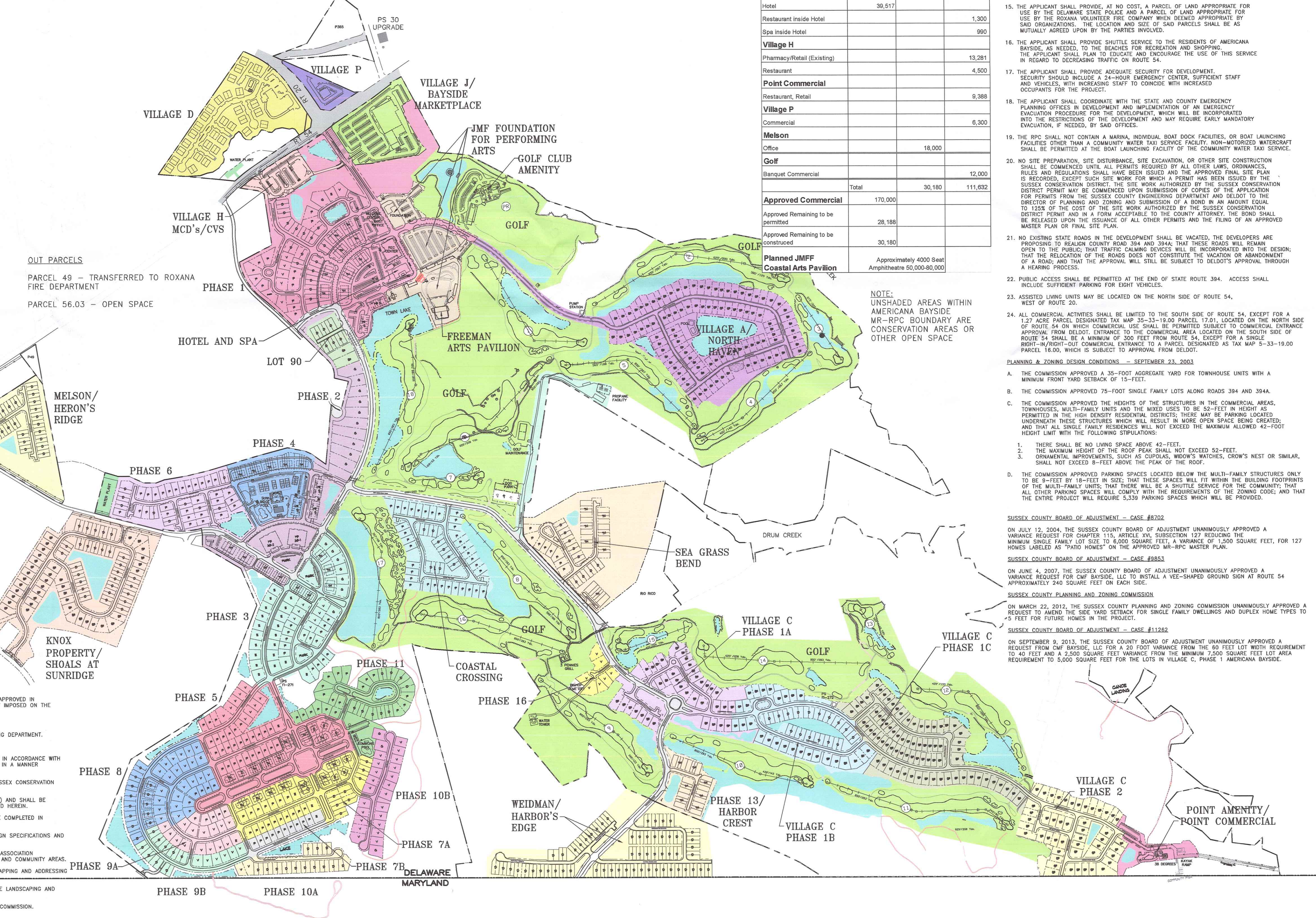
9. THE INTERIOR STREET DESIGN AND PARKING AREAS SHALL MEET OR EXCEED SUSSEX COUNTY STREET DESIGN SPECIFICATIONS AND REQUIREMENTS.

10. THE APPLICANT SHALL FORM A CONDOMINIUM ASSOCIATION TO BE RESPONSIBLE FOR THE MAINTENANCE OF STREETS, ROADWAYS, BUFFERS, STORMWATER MANAGEMENT AREAS AND COMMUNITY AREAS.

11. ALL ROAD NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY MAPING AND ADDRESSING DEPARTMENT.

12. THE FINAL SITE PLAN SHALL INCLUDE A LANDSCAPE PLAN FOR ALL THE BUFFER AREAS, SHOWING ALL THE LANDSCAPING AND VEGETATION TO BE INCLUDED IN THOSE AREAS.

13. THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.



CHANGE OF ZONE NO. 1846 APPROVED MARCH 20, 2018

- CONDITIONS OF ORDINANCE NO. 2572:
- a. THE MAXIMUM NUMBER OF RESIDENTIAL UNITS ON THIS PROPERTY SHALL BE 122.
 - b. THE 122 UNITS APPROVED AS PART OF THIS EXTENSION OF THE MR-RPC SHALL BE PART OF THE USES APPROVED IN CONDITIONS #1 AND #3 OF CZ #1393 AND SHALL NOT BE IN ADDITION TO THESE CONDITIONS PREVIOUSLY IMPOSED ON THE AMERICANA BAYSIDE MR-RPC PROJECT.
 - c. THE DEVELOPMENT SHALL BE SERVED AS PART OF A SUSSEX COUNTY SANITARY SEWER DISTRICT.
 - d. THE DEVELOPER SHALL COMPLY WITH ALL REQUIREMENTS AND SPECIFICATIONS OF THE COUNTY ENGINEERING DEPARTMENT.
 - e. THE RPC SHALL BE SERVED BY CENTRAL WATER.
 - f. STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE STATE AND COUNTY REQUIREMENTS. THESE FACILITIES SHALL BE DESIGNED AND OPERATED IN A MANNER CONSISTENT WITH BEST MANAGEMENT PRACTICES.
 - g. THE FINAL SITE PLAN FOR EACH PHASE OF THE DEVELOPMENT SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT UPON IT.
 - h. THE PROJECT WILL BE INCORPORATED AS PART OF THE EXISTING AMERICANA BAYSIDE MR-RPC (CZ #1393) AND SHALL BE SUBJECT TO AND BENEFITED BY THE CONDITIONS IMPOSED UPON THAT DEVELOPMENT, EXCEPT AS MODIFIED HEREIN.
 - i. ALL ENTRANCE, ROADWAY, INTERSECTION AND MULTI-MODAL IMPROVEMENTS REQUIRED BY DELDOT SHALL BE COMPLETED IN ACCORDANCE WITH DELDOT'S DETERMINATIONS.
 - j. THE INTERIOR STREET DESIGN AND PARKING AREAS SHALL MEET OR EXCEED SUSSEX COUNTY STREET DESIGN SPECIFICATIONS AND REQUIREMENTS.
 - k. THE RESIDENTIAL UNITS IN THIS DEVELOPMENT SHALL BE PART OF THE AMERICANA BAYSIDE HOMEOWNERS ASSOCIATION RESPONSIBLE FOR THE MAINTENANCE OF STREETS, ROADWAYS, BUFFERS, STORMWATER MANAGEMENT AREAS AND COMMUNITY AREAS.
 - l. ROAD NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF SUSSEX COUNTY MAPING AND ADDRESSING DEPARTMENT.
 - m. THE FINAL SITE PLAN SHALL INCLUDE A LANDSCAPE PLAN FOR ALL THE BUFFER AREAS, SHOWING ALL THE LANDSCAPING AND VEGETATION TO BE INCLUDED IN THOSE AREAS.
 - n. THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.

ZONING CONDITIONS

FEBRUARY 6, 2001 - AMENDED SEPTEMBER 23, 2003 AND APRIL 13, 2010

CMF BAYSIDE, LLC - CHANGE OF ZONE NO. 1393

- CONDITIONS
1. THE MAXIMUM NUMBER OF RESIDENTIAL UNITS SHALL NOT EXCEED 1,700.
 2. THE DEVELOPER MAY PROVIDE A MINIMUM OF 104 ASSISTED LIVING UNITS. REDUCTION OF ANY TYPE OF RESIDENTIAL UNITS WILL BE AT THE DISCRETION OF THE APPLICANT.
 3. THE MAXIMUM SQUARE FOOTAGE OF RETAIL/OFFICE SPACE SHALL BE 170,000 SQUARE FEET. THE DEVELOPER SHALL PROVIDE A MEDICAL FACILITY.
 4. RESIDENTIAL CERTIFICATES OF OCCUPANCY SHALL NOT EXCEED 200 ANNUALLY ON A CUMULATIVE BASIS.
 5. SITE PLAN REVIEW FOR EACH PHASE OF DEVELOPMENT SHALL BE REVIEWED AND APPROVED BY THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.
 6. ALL ENTRANCES, INTERSECTIONS, AND ROADWAY IMPROVEMENTS REQUIRED BY DELDOT SHALL BE COMPLETED BY THE APPLICANT IN ACCORDANCE WITH ANY FURTHER MODIFICATIONS REQUIRED BY DELDOT, ONCE 200 CERTIFICATES OF OCCUPANCY HAVE BEEN ISSUED.
 7. THE APPLICANT SHALL ESTABLISH A 60-FOOT HIGHWAY CORRIDOR OVERLAY ZONE SETBACK ALONG THE PROPERTY FRONTING ROUTE 54.
 8. RECREATIONAL FACILITIES, I.E., GOLF, TENNIS COURTS, SWIMMING POOLS, ETC., SHALL BE CONSTRUCTED TO CONFORM WITH CONSTRUCTION PHASES SCHEDULED AND SUBJECT TO REVIEW AND APPROVAL BY THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.
 9. THE RPC SHALL BE SERVED BY THE SUSSEX COUNTY SOUTH COASTAL REGIONAL WASTEWATER FACILITY PER SUSSEX COUNTY ENGINEERING DEPARTMENT REGULATIONS AND SPECIFICATIONS.
 10. THE RPC SHALL BE SERVED BY A CENTRAL WATER SYSTEM PROVIDING DRINKING WATER AND THE STATE OF DELAWARE OFFICE OF PUBLIC HEALTH.
 11. STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL SHALL EQUAL OR EXCEED ALL APPLICABLE STATE AND COUNTY REGULATIONS.
 12. THE APPLICANT SHALL ESTABLISH "BEST MANAGEMENT PRACTICES" IN REGARD TO GOLF COURSE MAINTENANCE AND PROTECTION OF NON-THEATLAND WETLANDS. THE OPERATOR OF THE GOLF COURSE SHALL FILE A NUTRIENT MANAGEMENT PROGRAM WITH THE APPROPRIATE STATE AGENCY.
 13. THE APPLICANT SHALL COORDINATE WITH THE CENTER FOR THE INLAND BAYS DEVELOPMENT OF A PUBLIC INLAND BAY NATURE TRAIL AND OBSERVATORY.
 14. STATE AND FEDERAL WETLANDS SHALL BE MAINTAINED AS NON-DISTURBANCE AREAS, EXCEPT FOR DISTURBANCE AUTHORIZED BY A VALID FEDERAL OR STATE PERMIT. THESE SHALL BE NO CONSTRUCTION WITHIN WETLANDS WITHOUT VALID PERMITS.
 15. THE APPLICANT SHALL PROVIDE, AT NO COST, A PARCEL OF LAND APPROPRIATE FOR USE BY THE DELAWARE STATE POLICE AND A PARCEL OF LAND APPROPRIATE FOR USE BY THE ROXANA VOLUNTEER FIRE COMPANY WHEN DEEMED APPROPRIATE BY SAID ORGANIZATIONS. THE LOCATION AND SIZE OF SAID PARCELS SHALL BE AS MUTUALLY AGREED UPON BY THE PARTIES INVOLVED.
 16. THE APPLICANT SHALL PROVIDE SHUTTLE SERVICE TO THE RESIDENTS OF AMERICANA BAYSIDE AS NEEDED, TO THE BEACHES FOR RECREATION AND SHOPPING. THE APPLICANT SHALL PLAN TO EDUCATE AND ENCOURAGE THE USE OF THIS SERVICE IN REGARD TO DECREASING TRAFFIC ON ROUTE 54.
 17. THE APPLICANT SHALL PROVIDE ADEQUATE SECURITY FOR DEVELOPMENT. SECURITY SHOULD INCLUDE A 24-HOUR EMERGENCY CENTER, SUFFICIENT STAFF AND VEHICLES, WITH INCREASING STAFF TO CONDUCE WITH INCREASED OCCUPANCY FOR THE PROJECT.
 18. THE APPLICANT SHALL COORDINATE WITH THE STATE AND COUNTY EMERGENCY PLANNING OFFICES IN DEVELOPMENT AND IMPLEMENTATION OF AN EMERGENCY EVACUATION PROCEDURE FOR THE DEVELOPMENT, WHICH WILL BE INCORPORATED INTO THE RESTRICTIONS OF THE DEVELOPMENT AND MAY REQUIRE EARLY MANDATORY EVACUATION, IF NEEDED, BY SAID OFFICES.
 19. THE RPC SHALL NOT CONTAIN A MARINA, INDIVIDUAL BOAT DOCK FACILITIES, OR BOAT LAUNCHING FACILITIES OTHER THAN A COMMUNITY WATER TAX SERVICE. NON-MOTORIZED WATERCRAFT SHALL BE PERMITTED AT THE BOAT LAUNCHING FACILITY OF THE COMMUNITY WATER TAX SERVICE.
 20. NO SITE PREPARATION, SITE DISTURBANCE, SITE EXCAVATION, OR OTHER SITE CONSTRUCTION SHALL BE COMMENCED UNTIL ALL PERMITS REQUIRED BY ALL OTHER LAWS, ORDINANCES, RULES AND REGULATIONS SHALL HAVE BEEN ISSUED AND THE APPROVED FINAL SITE PLAN IS RECORDED, EXCEPT SUCH SITE WORK FOR WHICH A PERMIT HAS BEEN ISSUED BY THE SUSSEX COUNTY ENGINEERING DEPARTMENT. THE SITE WORK AUTHORIZED BY THE SUSSEX CONSERVATION DISTRICT PERMIT MAY BE COMMENCED UPON SUBMISSION OF COPIES OF THE APPLICATION FOR PERMITS FROM THE SUSSEX COUNTY ENGINEERING DEPARTMENT AND DELDOT TO THE DIRECTOR OF PLANNING AND ZONING AND SUBMISSION OF A BOND IN AN AMOUNT EQUAL TO 125% OF THE COST OF THE SITE WORK AUTHORIZED BY THE SUSSEX CONSERVATION DISTRICT PERMIT AND IN A FORM ACCEPTABLE TO THE COUNTY. THE BOND SHALL BE RELEASED UPON THE ISSUANCE OF ALL OTHER PERMITS AND THE FILING OF AN APPROVED MASTER PLAN OR FINAL SITE PLAN.
 21. NO EXISTING STATE ROADS IN THE DEVELOPMENT SHALL BE VACATED. THE DEVELOPERS ARE PROPOSING TO REALIGN COUNTY ROAD 394 AND 394A. THAT THESE ROADS WILL REMAIN OPEN TO THE PUBLIC THAT TRAFFIC CALMING DEVICES WILL BE INCORPORATED INTO THE DESIGN; THAT THE RELOCATION OF THE ROADS DOES NOT CONSTITUTE THE VACATION OR ABANDONMENT OF A ROAD; AND THAT THE APPROVAL WILL STILL BE SUBJECT TO DELDOT'S APPROVAL THROUGH A HEARING PROCESS.
 22. PUBLIC ACCESS SHALL BE PERMITTED AT THE END OF STATE ROUTE 394. ACCESS SHALL INCLUDE SUFFICIENT PARKING FOR EIGHT VEHICLES.
 23. ASSISTED LIVING UNITS MAY BE LOCATED ON THE NORTH SIDE OF ROUTE 54, WEST OF ROUTE 20.
 24. ALL COMMERCIAL ACTIVITIES SHALL BE LIMITED TO THE SOUTH SIDE OF ROUTE 54, EXCEPT FOR A 1.27 ACRE PARCEL DESIGNATED TAX MAP 35-33-19.00 PARCEL 12.01. LOW DENSITY PARCEL 12.01 OF ROUTE 54 ON WHICH COMMERCIAL USE SHALL BE PERMITTED SUBJECT TO COMMERCIAL ENTRANCE APPROVAL FROM DELDOT. ENTRANCES TO THE COMMERCIAL AREA LOCATED ON THE SOUTH SIDE OF ROUTE 54 SHALL BE A MINIMUM OF 300 FEET FROM ROUTE 54, EXCEPT FOR A SINGLE RIGHT-OF-WAY-OUT COMMERCIAL ENTRANCE TO A PARCEL DESIGNATED AS TAX MAP 35-33-19.00 PARCEL 16.00, WHICH IS SUBJECT TO APPROVAL FROM DELDOT.
- PLANNING & ZONING DESIGN CONDITIONS - SEPTEMBER 23, 2003
- A. THE COMMISSION APPROVED A 35-FOOT AGGREGATE YARD FOR TOWNHOUSE UNITS WITH A MINIMUM FRONT YARD SETBACK OF 15-FEET.
 - B. THE COMMISSION APPROVED 75-FOOT SINGLE FAMILY LOTS ALONG ROADS 394 AND 394A.
 - C. THE COMMISSION APPROVED THE HEIGHTS OF THE STRUCTURES IN THE COMMERCIAL AREAS, TOWNHOUSES, MULTI-FAMILY UNITS AND THE MIXED USES TO BE 32- FEET IN HEIGHT AS PERMITTED IN THE HIGH DENSITY RESIDENTIAL DISTRICTS. THERE MAY BE PARKING LOCATED UNDERNEATH THESE STRUCTURES WHICH WILL RESULT IN MORE OPEN SPACE BEING CREATED; AND THAT ALL SINGLE FAMILY RESIDENCES WILL NOT EXCEED THE MAXIMUM ALLOWED 42-FOOT HEIGHT LIMIT WITH THE FOLLOWING STIPULATIONS:
 1. THERE SHALL BE NO LIVING SPACE ABOVE 42- FEET.
 2. THE MAXIMUM HEIGHT OF THE ROOF PEAK SHALL NOT EXCEED 52- FEET.
 3. ORNAMENTAL IMPROVEMENTS, SUCH AS CUPOLAS, BIRD'S NESTS, CROW'S NEST OR SIMILAR, SHALL NOT EXCEED 8- FEET ABOVE THE PEAK OF THE ROOF.
 - D. THE COMMISSION APPROVED PARKING SPACES LOCATED BELOW THE MULTI-FAMILY STRUCTURES ONLY TO BE 9- FEET BY 18- FEET THAT THESE SPACES WILL WITHIN THE BUILDING FOOTPRINTS OF THE MULTI-FAMILY UNITS; THAT THERE WILL BE A SHUTTLE SERVICE FOR THE COMMUNITY; THAT ALL OTHER PARKING SPACES WILL COMPLY WITH THE REQUIREMENTS OF THE ZONING CODE; AND THAT THE ENTIRE PROJECT WILL REQUIRE 5,330 PARKING SPACES WHICH WILL BE PROVIDED.
- SUSSEX COUNTY BOARD OF ADJUSTMENT - CASE #8702
- ON JULY 12, 2004, THE SUSSEX COUNTY BOARD OF ADJUSTMENT UNANIMOUSLY APPROVED A VARIANCE REQUEST FOR CHAPTER 115, ARTICLE XVI, SUBSECTION 127 REGARDING THE MINIMUM SINGLE FAMILY LOT SIZE TO 6,000 SQUARE FEET. A VARIANCE OF 1,500 SQUARE FEET, FOR 127 HOMES LABELED AS "PATIO HOMES" ON THE APPROVED MR-RPC MASTER PLAN.
- SUSSEX COUNTY BOARD OF ADJUSTMENT - CASE #8853
- ON JUNE 4, 2007, THE SUSSEX COUNTY BOARD OF ADJUSTMENT UNANIMOUSLY APPROVED A VARIANCE REQUEST FOR CMF BAYSIDE, LLC TO INSTALL A VEE-SHAPED GROUND SIGN AT ROUTE 54 APPROXIMATELY 240 SQUARE FEET ON EACH SIDE.
- SUSSEX COUNTY PLANNING AND ZONING COMMISSION
- ON MARCH 22, 2012, THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION UNANIMOUSLY APPROVED A REQUEST TO AMEND THE SIDE YARD SETBACK FOR SINGLE FAMILY DWELLINGS AND DUPLEX HOME TYPES TO 25 FEET FOR FUTURE HOMES IN THE PROJECT.
- SUSSEX COUNTY BOARD OF ADJUSTMENT - CASE #11282
- ON SEPTEMBER 9, 2013, THE SUSSEX COUNTY BOARD OF ADJUSTMENT UNANIMOUSLY APPROVED A REQUEST FROM CMF BAYSIDE, LLC FOR A 20 FOOT VARIANCE FROM THE 60 FEET LOT WIDTH REQUIREMENT TO 40 FEET AND A 2,500 SQUARE FEET VARIANCE FROM THE MINIMUM 7,500 SQUARE FEET LOT AREA REQUIREMENT TO 5,000 SQUARE FEET FOR THE LOTS IN VILLAGE C, PHASE 1 AMERICANA BAYSIDE.

PRINTS ISSUED FOR: REVIEW AND APPROVAL

PHASE 11 - STILL WATERS

THE PENINSULA ON INDIAN RIVER BAY INDIAN RIVER HUNDRED SUSSEX COUNTY, DELAWARE RECORD PLAN SUBDIVISION 2021-2

AUGUST, 2021

DBF # 1319A052

GENERAL NOTES:

- STREETS, STORMWATER MANAGEMENT FACILITIES AND OTHER COMMON AREAS SHALL BE MAINTAINED BY THE DEVELOPER UNTIL SUCH TIME AS A HOMEOWNER'S ASSOCIATION CAN PROVIDE FOR REQUIRED MAINTENANCE. SUSSEX COUNTY AND THE STATE OF DELAWARE ASSUME NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE FACILITIES WITHIN THE SITE.
- SUBDIVISION STREETS CONSTRUCTED WITHIN THE LIMITS OF THE RIGHT-OF-WAY SHOWN ON THIS PLAN ARE PRIVATE AND ARE TO BE MAINTAINED BY THE DEVELOPER, PROPERTY OWNERS OR BOTH. THE STATE ASSUMES NO MAINTENANCE RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS PLAN OF THE SIDEWALK.
- ACCESS TO ALL LOTS SHALL BE PROVIDED FROM THE PRIVATE SUBDIVISION STREETS PROPOSED WITH THIS PLAN. NO DIRECT ACCESS TO PUBLIC STREETS IS PROPOSED EXCEPT THE ENTRANCES SPECIFICALLY SHOWN ON THIS PLAN.
- BASED UPON FLOOD INSURANCE RATE MAP (FIRM) NUMBER 10050C0481K, DATED MARCH 16, 2015; THE ENTIRE PROPERTY IS LOCATED IN AN AREA DESIGNATED AS ZONE "X" (UNSHADED) - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN.
- THE BOUNDARY INFORMATION SHOWN IN THESE PLANS ARE BASED ON FIELD SURVEYS PERFORMED BY McCRONE, INC.
- THIS PLAN DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHT-OF-WAYS CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS PROVIDED.
- UTILITY EASEMENTS DEPICTED HEREON REPRESENT, TO THE GREATEST EXTENT PERMITTED BY LAW, PRIVATE EASEMENTS DEVELOPMENT AS MAY BE DESIGNED BY OWNER, OR ITS SUCCESSORS AND ASSIGNS, FROM TIME TO TIME BY AN INSTRUMENT IN WRITING AND IN NO WAY GRANT, CONVEY OR CREATE ANY GENERAL PUBLIC UTILITY EASEMENT OR ANY GENERAL OR PUBLIC ACCESS RIGHTS.
- IN ADDITION TO EASEMENTS SHOWN ON THIS PLAN, A TEN (10) FOOT WIDE BLANKET EASEMENT ALONG THE FRONT OTHERWISE ON THE PLANS.
- UNLESS OTHERWISE DESIGNATED BY OWNER, OR ITS SUCCESSORS AND ASSIGNS, FROM TIME TO TIME BY AN INSTRUMENT IN WRITING, STORM DRAIN EASEMENTS DEPICTED HEREON REPRESENTS PRIVATE EASEMENTS TO ACCESS THE STORM DRAIN CREATE ANY GENERAL PUBLIC UTILITY EASEMENT OR ANY GENERAL OR PUBLIC ACCESS RIGHTS.
- NO BOUNDARY TREATMENT/FENCING IS PROPOSED.
- ANY ADDITIONAL ACCESSORY STRUCTURES ASSOCIATED WITH THE MULTIFAMILY DWELLINGS SHALL BE SUBJECT TO SITE PLAN REVIEW.
- THE OWNER SHALL CAUSE TO BE FORMED A HOMEOWNERS' ASSOCIATION TO BE RESPONSIBLE FOR THE OWNERSHIP AND MAINTENANCE OF THE STREETS, ROADS, BUFFERS, STORMWATER MANAGEMENT FACILITIES, AND OTHER COMMON AREAS. IN ADDITION, THE ASSOCIATION SHALL MAINTAIN THE CEMETERIES LOCATED WITHIN THE PROJECT. ACCESS TO THE CEMETERIES SHALL NOT BE DENIED TO FAMILY MEMBERS OF THE PERSONS INTERESTED IN THE CEMETERIES.
- THE COMMON AREA WILL NOT INCLUDE, AMONG OTHER THINGS, THE GOLF COURSE PARCEL, CLUBHOUSE OR OTHER RECREATION FACILITIES.
- THE HOMEOWNERS' ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER DRAINAGE AND RIGHT-OF-WAY WITHIN THE PROJECT. THE HOMEOWNERS' ASSOCIATION SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER DRAINAGE AND MANAGEMENT FACILITIES THAT CONVEY STORMWATER FROM THESE THREE AREAS THROUGH THE GOLF COURSE PROPERTIES. HOWEVER, MAINTENANCE OF THE PORTION OF THE STORMWATER DRAINAGE AND MANAGEMENT FACILITIES RELATED TO THE GOLF COURSE SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE GOLF COURSE PROPERTIES. ALL STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION AS REQUIRED BY SUSSEX COUNTY, DELAWARE AND IN ACCORDANCE WITH THE DEVELOPER'S RESTRICTIVE COVENANTS ON GOLF COURSE PROPERTIES ENTERED INTO BY AND BETWEEN THE DEVELOPER AND THE HOMEOWNERS' ASSOCIATION (THE "GOLF COURSE COVENANTS"). SHOULD THE OWNER OR OWNERS OF THE GOLF COURSE PROPERTIES DEFAULT IN THE MAINTENANCE OF THE STORMWATER DRAINAGE AND MANAGEMENT FACILITIES, THE HOMEOWNERS' ASSOCIATION SHALL HAVE THE RIGHT TO MAINTAIN THE FACILITIES SUBJECT TO THE TERMS AND CONDITIONS OF THE GOLF COURSE COVENANTS.

CONDITIONS OF APPROVAL (ORDINANCE NO. 1573)

- (Ordinance 2684, approved by County Council on October 8, 2019 amended Condition #1)
(Ordinance 2690, approved by County Council on December 7, 2021 amended Condition #1)
- The maximum number of units shall not exceed 1,394 units comprised, as follows:
 - 358 Single-Family Lots
 - 471 Single-Family Detached Condominiums
 - 270 Single-Family Attached Town Houses
 - 295 Multi-Family Units
 - Residential building area shall not exceed 300 per year.
 - Commercial building area shall not exceed 10,250 square feet within this project.
 - Site plan review shall be required for each phase of development.
 - An underground gas storage facility for service to this project only shall be permitted subject to approval by the Office of the State Fire Marshal, and other agencies with jurisdiction, and subject to site plan approval by the Commission. The facility shall be no less than 50' from adjacent properties.
 - The interior street design shall be in accordance with or exceed Sussex County street design requirements. Street design shall include curbs, sidewalks, and street lighting. Applicant shall submit as part of the site plan review a landscape plan for the project.
 - All entrances, Intel/Sections, roadway improvements, and multi-modal facilities required by DeDOT shall be completed by the applicant as required by DeDOT in its letter of April 23, 2022, or in accordance with any further modification required by DeDOT.
 - The Applicant, its successors, or assigns, shall operate and maintain a community shuttle bus service to shopping areas and connecting to bus stops operated by DART. The service and location shall be subject to review and comment by completed within two (2) years of the issuance of the first building permit. The service and any related improvements shall be local emergency planning offices in the development and implementation of an emergency evacuation procedure for the project.
 - Recreational facilities, e.g., tennis courts, swimming pool, community buildings, pathways, trails, and beaches shall be constructed and open to use by the residents within two (2) years of the issuance of the first building permit.
 - The RPC shall be served by an existing or an extended Sussex County sanitary sewer district.
 - Stormwater management and erosion and sediment control shall be constructed in accordance with applicable State and County requirements. If it is determined that additional areas are required for stormwater management, parking, or other areas, the additional areas shall be included in individual lots, Federal and State wetlands or open space areas.
 - No piers, docks, boat ramps, or other water related/recreational facilities shall be permitted adjacent to Emily's Gut.
 - No on-site or individual storage of motorized boats, personal watercraft, trailers, or campers shall be permitted.
 - The Applicant shall cause to be formed a homeowners' association to be responsible for the maintenance of the streets, roads, buffers, stormwater management facilities, and other common areas. In addition, the association shall maintain the interior in the cemeteries.
 - The Applicant, its successors, and assigns shall operate the stormwater management facilities and the golf course in a manner consistent with the Best Management Practices (BMPs) set forth in the applicants exhibits submitted as part of the record including implementation of a stormwater facility management program.
 - No site preparation, site disturbance, site excavation or other site construction shall be commenced until all permits required by all other laws, ordinances, rules and regulations shall have been issued and the approved final site plan is recorded, except such site work for which a (continued) permit has been issued by the Sussex Conservation District. The application for permits from the Sussex County Engineering Department and DeDOT to the Director of Planning and Zoning and submission of a bond in an amount equal to 125% of the cost of the site work authorized by the Sussex Conservation District permit and in a form acceptable to the County Attorney. The bond shall be released upon the issuance of all other permits and the filing of an approved master plan or final site plan.
 - Rec naming and addressing shall be subject to the approval of the Sussex County Mapping and Addressing Department.

SUPERSEDE NOTE:

THIS PLAN SUPERSEDES, IN PART, THE PREVIOUSLY RECORDED PLAN OF "STILL WATERS - PHASE 11" PLOT BOOK 373 PAGES 85 & 86 WHICH WAS RECORDED ON JULY 13, 2022 IN THE OFFICE OF THE RECORDER OF DEEDS FOR SUSSEX COUNTY.

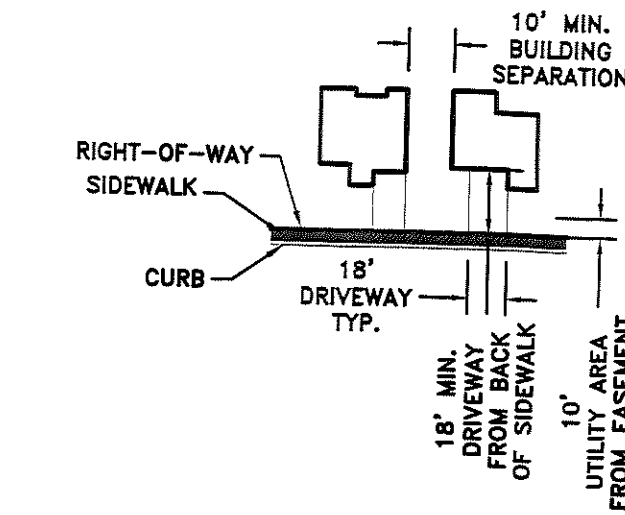
PURPOSE NOTE:

THE PURPOSE OF THIS REVISION IS TO CREATE PARCEL K AND REVISE PARCELS C, D, E, & F.

OWNER'S STATEMENT

I, TIM GREEN, AUTHORIZED SIGNATORY OF STILLWATER DEVELOPER, LLC., HEREBY CERTIFY THAT STILLWATER DEVELOPER, LLC. IS THE OWNER OF THE PROPERTY WHICH IS THE SUBJECT OF THIS PLAN. THAT THE SUBDIVISION PLAN HEREOF WAS MADE AT THEIR DIRECTION; THAT ALL STREETS SHOWN HEREON ARE TO BE PRIVATE RIGHT-OF-WAYS AND ARE TO BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION; THAT ALL PROPOSED STREET CONTROL MONUMENTS WILL BE SET AT THE LOCATIONS SHOWN, AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DESIRE THIS PLAN BE RECORDED ACCORDING TO LAW.

TYPICAL SINGLE FAMILY DETAIL



LEGEND

---	PROPERTY BOUNDARY LINE	##	PROPERTY LABEL
- - - -	PROPOSED RIGHT-OF-WAY	●	IRON ROD WITH CAP SET
---	PROPOSED PARCEL LINE	■	CONCRETE MONUMENT SET
- - - -	PROPOSED BUILDING SETBACK LINE	○	PROPERTY CORNER LOCATE
- - - -	PROPOSED EASEMENT LINE		
---	EXISTING PROPERTY LINE		
- - - -	EXISTING EASEMENT LINE		

SUSSEX CONSERVATION DISTRICT

APPROVED
SEDIMENT CONTROL & STORMWATER MANAGEMENT

Reviewed by: _____ Date: _____

Approved: *Clifton D. Mumford, P.E.* Date: *9/26/22*

DATE: _____

ENGINEER'S STATEMENT

I, CLIFTON D. MUMFORD, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SEP 26 2022

DAVIS, BOWEN & FRIEDEL, INC.
by CLIFTON D. MUMFORD, P.E.

DATE: _____

OWNER'S STATEMENT

I, TIM GREEN, AUTHORIZED SIGNATORY OF STILLWATER DEVELOPER, LLC., HEREBY CERTIFY THAT STILLWATER DEVELOPER, LLC. IS THE OWNER OF THE PROPERTY WHICH IS THE SUBJECT OF THIS PLAN. THAT THE SUBDIVISION PLAN HEREOF WAS MADE AT THEIR DIRECTION; THAT ALL STREETS SHOWN HEREON ARE TO BE PRIVATE RIGHT-OF-WAYS AND ARE TO BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION; THAT ALL PROPOSED STREET CONTROL MONUMENTS WILL BE SET AT THE LOCATIONS SHOWN, AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DESIRE THIS PLAN BE RECORDED ACCORDING TO LAW.

CHAIRMAN OR SECRETARY OF THE COMMISSION

SIGNATURE: _____ DATE: _____

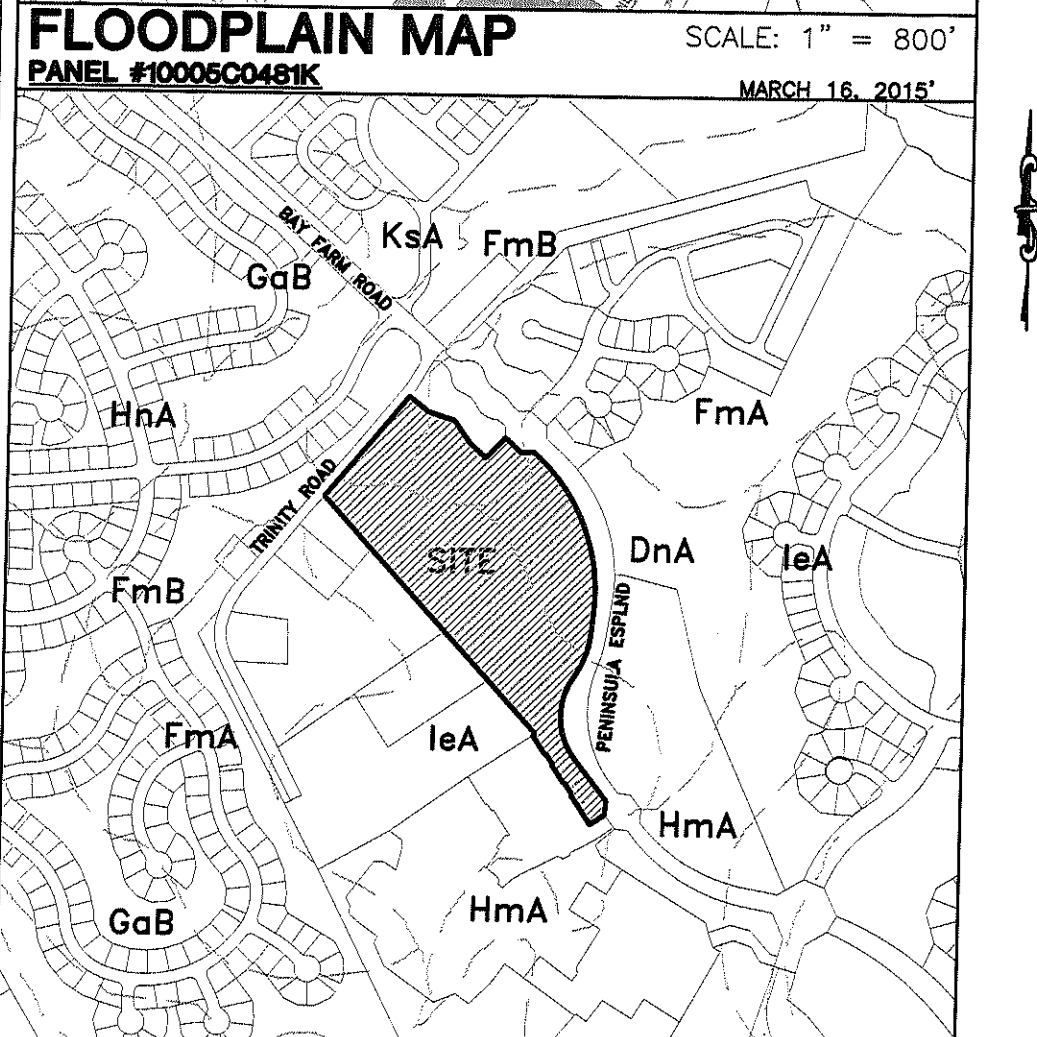
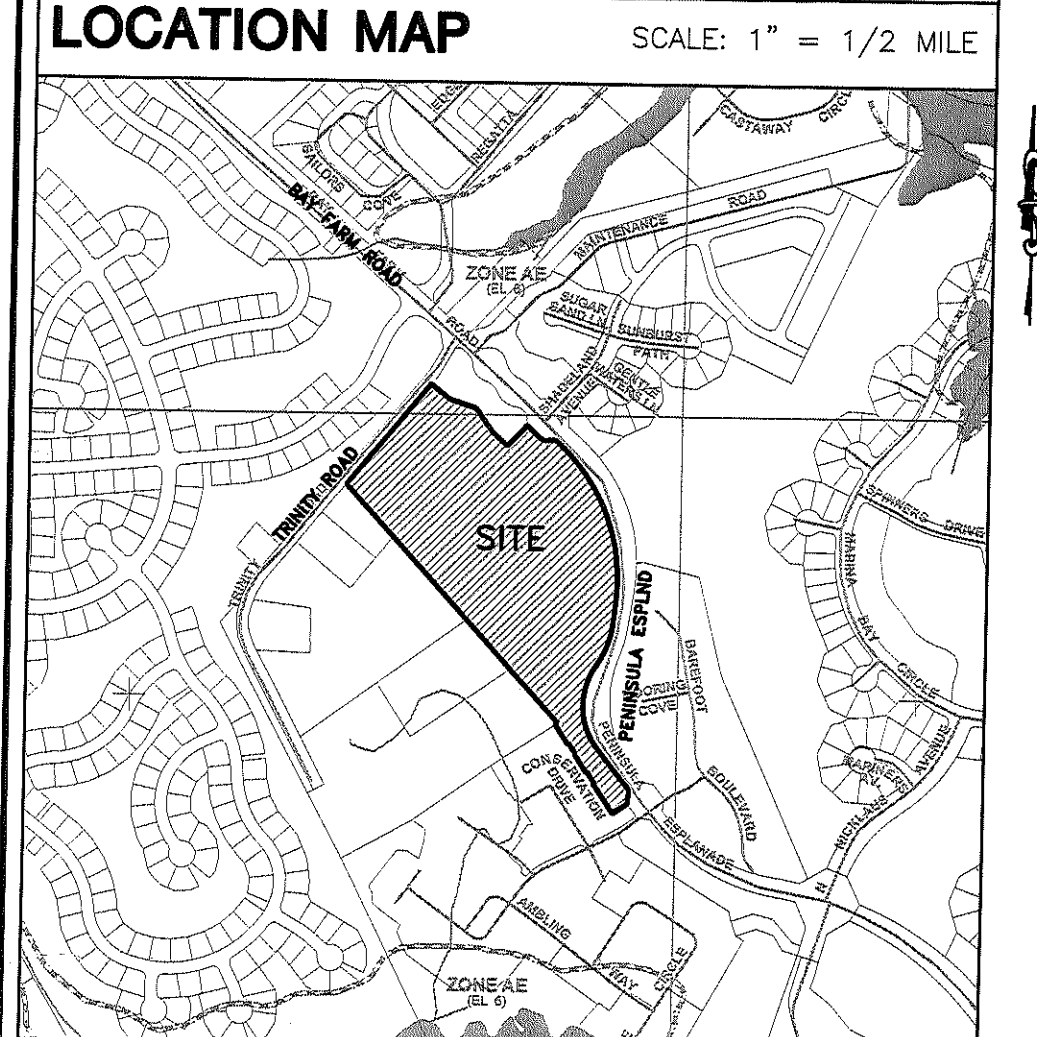
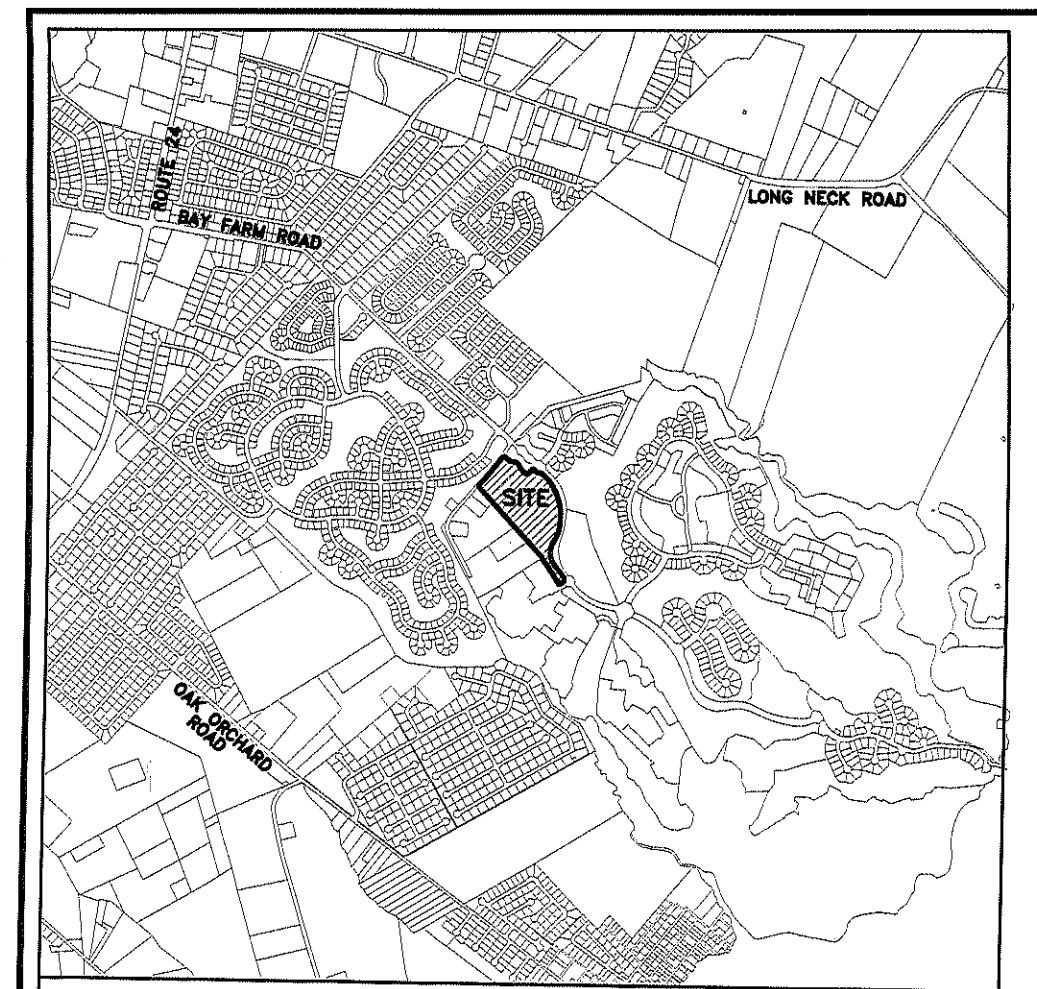
PRESIDENT OF THE SUSSEX COUNTY COUNCIL

SIGNATURE: _____ DATE: _____

TIM GREEN, AUTHORIZED SIGNATORY

DATE: *9/26/22*

V-100



DATA COLUMN

TAX MAP ID: 2-34-30.00-317.00, 317.01 & 317.02
2-34-30.00-318.00 THRU 365.00

DEED REF: D 5695/205

DATUM:
VERTICAL: NAVD 88
HORIZONTAL: NAD 83(STATE PLANE)

NORTHING/EASTING:
#1 IRON ROD WITH CAP SET
BENCHMARK: NORTH WEST SIDE
N: 225,137.96 E: 723,900.06

#2 IRON ROD WITH CAP SET
BENCHMARK: NORTH WEST SIDE
N: 224,770.65 E: 723,644.57

EXISTING ZONING: MR-RPC(MEDIUM DENSITY RESIDENTIAL/
RESIDENTIAL PLANNED COMMUNITY)

PROPOSED USE: RESIDENTIAL DEVELOPMENT

TOTAL PROPOSED SITE AREA: 20.531 ACRES

PROPOSED UNITS: 79 SINGLE FAMILY (CONDO OWNERSHIP)

DENSITY:
MAXIMUM: 4.0 UNITS PER ACRE
PROPOSED: 3.9 UNITS PER ACRE

PROPOSED CONSTRUCTION: WOOD/CONCRETE BLOCK

AREAS:
PARCEL A: 1.991 AC
PARCEL B: 1.995 AC
PARCEL C: 2.093 AC
PARCEL D: 0.536 AC
PARCEL E: 1.321 AC
PARCEL F: 1.350 AC
PARCEL G: 2.479 AC
PARCEL H: 0.603 AC
PARCEL I: 1.148 AC
PARCEL J: 1.115 AC
PARCEL K: 3.412 AC

RIGHT-OF-WAY AREA: 2.492 AC

TOTAL SITE AREA: 20.531 AC

IMPERVIOUS AREAS:
PAVEMENT(STREETS): 1.630 AC
SIDEWAYS: 0.307 AC
DRIVEWAYS: 0.751 AC
BUILDINGS: 6.229 AC

TOTAL IMPERVIOUS AREAS: 8.917 (43.4%)

SETBACK REQUIREMENTS
SINGLE FAMILY
FRONT YARD: 10 FT. (20' AGG. FRONT AND REAR)
SIDE YARD: 10 FT.
REAR YARD: 10 FT.

BUILDING HEIGHT: 42 FT. MAX. 3-1/2 STORIES

PARKING
REQUIRED: 2 SPACES PER FAMILY UNIT (79 TOTAL)
PROVIDED: 158 SPACES

UTILITIES:
SANITARY SEWER: SUSSEX COUNTY SEWER (LONG NECK SANITARY SEWER DISTRICT)

WATER SUPPLY: TIDEWATER UTILITIES INC.

FLOOD HAZARD MAP: THE PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA MAP 10005C0481K (DATED MARCH 16, 2015).

OWNER/DEVELOPER:
STILLWATER DEVELOPER, LLC.
20184 PHILLIPS ST
REHOBOTH BEACH, DE 19971
TIM GREEN, MEMBER
(302) 227-3573
TGREEN@SHELLBROTHERS.COM

ENGINEERS:
DAVIS, BOWEN & FRIEDEL, INC.
CLIFTON D. MUMFORD, P.E.
1 PARK AVENUE
MILFORD, DE 19963
PHONE:(302) 424-1441
FAX:(302) 424-0430
CDM@DBFINC.COM

dbf DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS, ENGINEERS & SURVEYORS

SALISBURY, MARYLAND (410) 543-9091
MILFORD, DELAWARE (302) 424-1441
EASTON, MARYLAND (410) 770-4744

PROPOSED CURVE TABLE FOR BOUNDARY

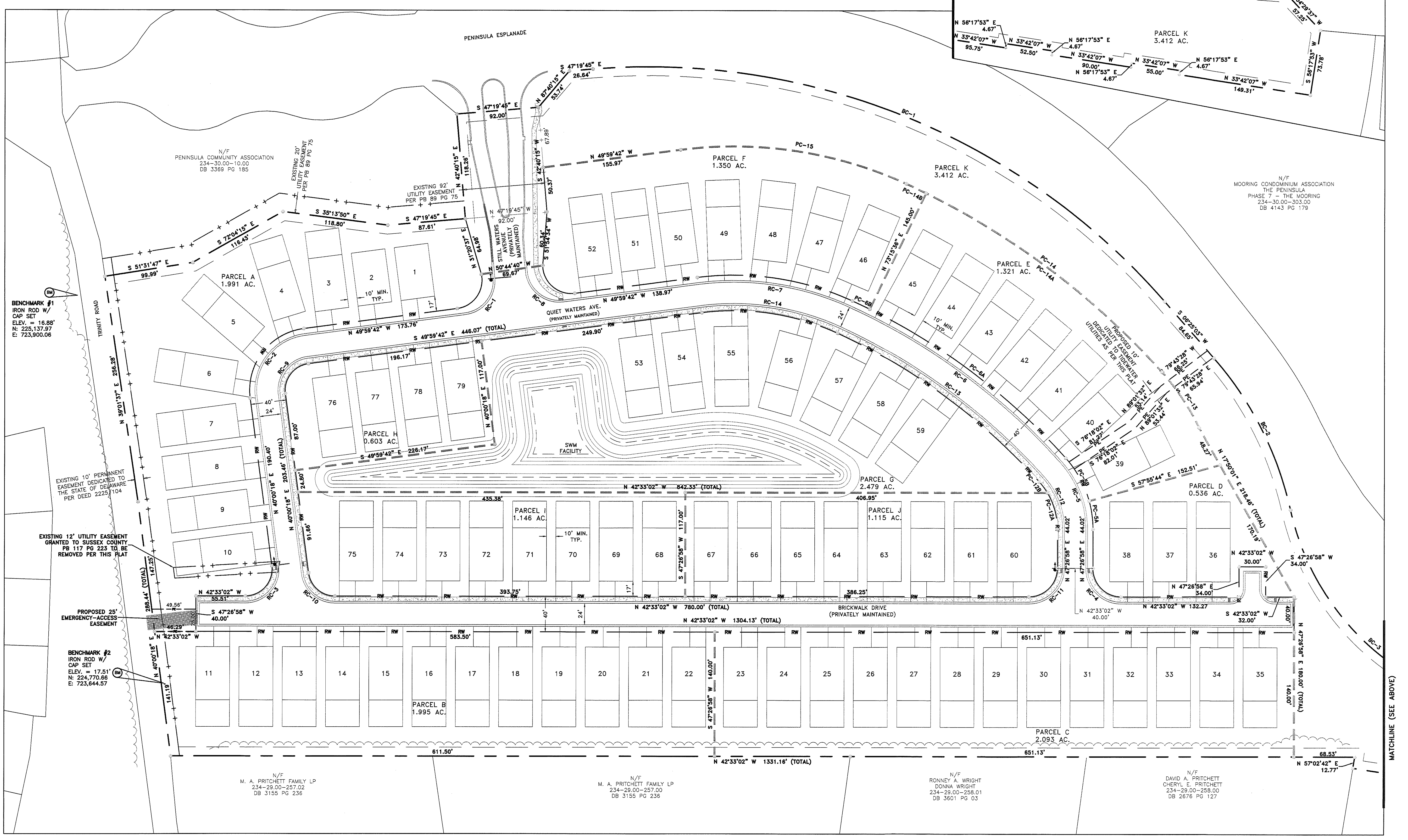
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
BC-1	768.00'	720.43'	694.30'	S 20°27'21" E	53°44'49"
BC-2	589.00'	193.25'	181.27'	S 20°38'58" W	28°27'50"
BC-3	291.00'	371.02'	346.40'	S 01°58'39" E	73°03'04"

PROPOSED CURVE TABLE FOR RIGHT-OF-WAY

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
RC-1	32.00'	52.99'	47.14'	S 82°33'46" W	94°53'05"
RC-2	70.00'	109.96'	98.99'	S 85°00'18" W	90°00'00"
RC-3	30.00'	51.02'	45.09'	N 88°43'58" E	97°26'40"
RC-4	32.00'	50.27'	45.25'	N 02°26'58" E	90°00'00"
RC-5	120.00'	87.72'	85.78'	S 26°30'30" W	41°52'57"
RC-6	750.00'	299.99'	297.89'	N 06°12'21" W	23°32'45"
RC-7	320.00'	178.81'	178.49'	S 33°59'13" E	32°00'58"
RC-8	32.00'	53.81'	47.76'	N 01°43'57" W	96°31'29"
RC-9	30.00'	47.12'	42.43'	N 85°00'18" E	90°00'00"
RC-10	30.00'	43.23'	39.58'	S 01°16'22" E	82°33'20"
RC-11	32.00'	50.27'	45.25'	S 87°33'02" E	90°00'00"
RC-12	80.00'	58.48'	57.19'	S 26°30'30" W	41°52'57"
RC-13	690.00'	283.56'	281.57'	S 06°12'21" E	23°32'45"
RC-14	280.00'	156.46'	154.43'	N 33°59'13" W	32°00'58"

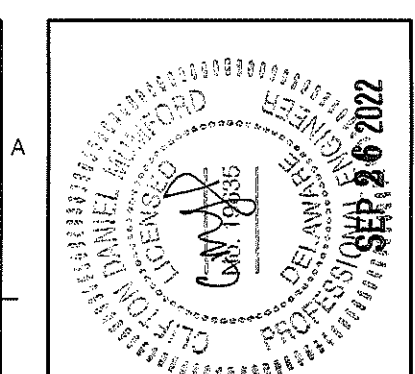
PROPOSED CURVE TABLE FOR LOTS

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
PC-5A	120.00'	32.21'	32.11'	S 39°45'57" W	15°22'42"
PC-5B	120.00'	55.51'	55.02'	N 18°40'09" E	26°50'15"
PC-6A	750.00'	278.44'	276.76'	S 05°21'36" E	21°51'15"
PC-6B	750.00'	21.55'	21.55'	N 17°07'58" W	1°41'30"
PC-12A	80.00'	43.03'	42.51'	N 32°02'51" E	30°48'54"
PC-12B	80.00'	15.46'	15.43'	N 11°08'03" E	11°04'03"
PC-13	265.00'	75.50'	75.24'	N 13°43'44" E	16°19'25"
PC-14	875.00'	334.89'	332.85'	S 05°23'51" E	21°55'45"
PC-14A	875.00'	359.58'	357.08'	N 06°12'21" W	23°32'45"
PC-14B	875.00'	24.69'	24.69'	S 17°10'14" E	1°37'00"
PC-15	465.00'	259.84'	256.47'	N 33°59'13" W	32°00'58"



BENCHMARK #1
IRON ROD W/
CAP SET
ELEV. = 16.88'
N: 225,137.87
E: 723,900.06

BENCHMARK #2
IRON ROD W/
CAP SET
ELEV. = 17.51'
N: 224,770.66
E: 723,644.57



ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
SALISBURY, MARYLAND (410) 544-8881
DUBLIN, DELAWARE (302) 492-1441
ESTON, MARYLAND (410) 725-1444
SEP 26 2022

RECORD PLAN

PHASE 11 - STILL WATERS
THE PENINSULA ON THE INDIAN RIVER BAY
SUSSEX COUNTY, DELAWARE

Revisions:
2022-03-23: SCD
SCE
TUI
2022-04-07: SCE
2022-04-12: SCD
2022-04-27: TUI
2022-05-31: TUI
2022-06-17: TUI
2022-09-23: PARCEL REVISION

Date: DECEMBER, 2021
Scale: 1" = 50'
Dwn.By: BJM
Proj.No.: 1319A052
Dwg.No.:

V-101



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CONDITIONS FOR PRELIMINARY APPROVAL

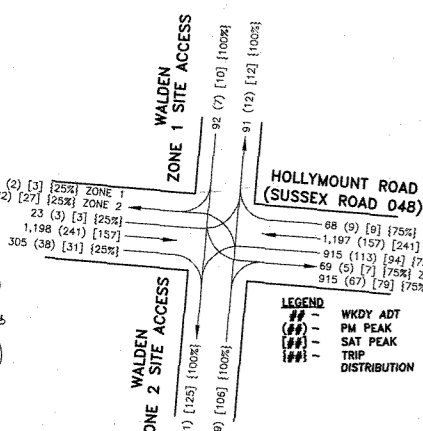
- THERE SHALL BE NO MORE THAN 265 LOTS WITHIN THE SUBDIVISION. IN ORDER TO PROVIDE EASE OF USE AND TO PROMOTE SAFETY IN THE COMMUNITY, ALL LOTS MUST BE LOCATED ON THE SOUTHWEST SIDE OF HOLLYMOUNT ROAD.
- THE APPLICANT SHALL FORM A HOMEOWNERS' ASSOCIATION TO BE RESPONSIBLE FOR THE MAINTENANCE OF STREETS, ROADS, BUFFERS, STORMWATER MANAGEMENT FACILITIES, OPEN SPACE, AND OTHER COMMON AREAS, INCLUDING AN ENVIRONMENTAL MANAGEMENT PLAN FOR BURTON'S POND.
- THE STORMWATER MANAGEMENT PLAN SHALL MEET OR EXCEED THE REQUIREMENTS OF THE STATE AND COUNTY. THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT FOR THE DESIGN AND LOCATION OF ALL STORMWATER MANAGEMENT AREAS AND EROSION AND SEDIMENTATION CONTROL FACILITIES. THE SYSTEM SHALL BE OPERATED USING BEST MANAGEMENT PRACTICES TO PROVIDE GROUNDWATER RECHARGE.
- ALL ENTRANCES, INTERSECTIONS, ROADWAY IMPROVEMENTS AND MULTI-MODAL FACILITIES REQUIRED BY DELDOT SHALL BE COMPLETED BY THE APPLICANT AS REQUIRED BY DELDOT. IN ADDITION, THE RELOCATION OF HOLLYMOUNT ROAD SHALL BE COMPLETED WITHIN THE FIRST PHASE OF THE DEVELOPMENT.
- STREET LIGHTING SHALL BE PROVIDED AND THE LOCATION OF THE STREETLIGHTS SHALL BE SHOWN ON THE FINAL SITE PLAN.
- STREET DESIGN SHALL MEET OR EXCEED SUSSEX COUNTY STANDARDS.
- SIDEWALKS SHALL BE INSTALLED ON BOTH SIDES OF ALL STREETS WITHIN THE SUBDIVISION. THERE SHALL ALSO BE WALKING, JOGGING AND BIKE PATHS THROUGHOUT THE SUBDIVISION AS SHOWN ON THE PRELIMINARY SITE PLAN.
- THE SUBDIVISION SHALL BE SERVED BY A CENTRAL SEWER SYSTEM AS DETERMINED BY THE SUSSEX COUNTY ZONING ORDINANCE, DESIGNED IN ACCORDANCE WITH THE SUSSEX COUNTY ENGINEERING DEPARTMENT SPECIFICATION AND IN CONFORMANCE WITH ALL DNREC REGULATIONS.
- THE SUBDIVISION SHALL BE SERVED BY A PUBLICLY REGULATED CENTRAL WATER SYSTEM PROVIDING DRINKING WATER AND FIRE PROTECTION.
- A SCHOOL BUS SHELTER WITH PARKING SHALL BE PROVIDED ON THE FINAL SITE PLAN. THE DEVELOPER SHALL COORDINATE AND COOPERATE WITH THE LOCAL SCHOOL DISTRICT'S TRANSPORTATION COORDINATOR TO ESTABLISH THE SCHOOL BUS STOP AREA. THE LOCATION OF THE BUS STOP AREA SHALL BE SHOWN ON THE FINAL SITE PLAN.
- IN ORDER TO PROVIDE EASE OF USE AND TO PROMOTE SAFETY IN THE COMMUNITY, THE POOL, CLUBHOUSE, TOT LOT, AND AMENITIES SHALL BE LOCATED ON THE SOUTHWEST SIDE OF HOLLYMOUNT ROAD. A PARKING LOT FOR HOMEOWNERS TO ACCESS BURTON'S POND SHALL BE LOCATED ON THE NORTHEAST SIDE OF HOLLYMOUNT ROAD.
- NO WETLANDS SHALL BE INCLUDED WITHIN ANY LOT LINES. THE TREES SURROUNDING THE WETLAND AREAS SHALL BE PRESERVED, AS PRESENTED BY THE APPLICANT. A MINIMUM 50 FOOT BUFFER FROM 404 WETLANDS SHALL BE PROVIDED AS SHOWN ON THE PRELIMINARY SITE PLAN. THE WETLANDS SHALL BE MARKED WITH A PERMANENT MARKER TO PREVENT DISTURBANCE.
- THE UNDISTURBED FORESTED AREAS SHALL BE SHOWN ON THE FINAL SITE PLAN.
- WITHIN TWO YEARS OF RECEIPT OF A CERTIFICATE OF OCCUPANCY FOR THE FIRST OWNER-OCCUPIED HOME (NOT UNOCCUPIED MODEL HOMES), THE DEVELOPER SHALL CONSTRUCT ALL OF THE RECREATIONAL AMENITIES.
- ROAD NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY MAPPING AND ADDRESSING DEPARTMENT.
- ALL AGRICULTURAL AND WETLAND BUFFERS SHALL BE PROVIDED IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- AS REPRESENTED BY THE APPLICANT, THE APPLICANT SHALL ESTABLISH AN ENVIRONMENTAL MANAGEMENT PLAN FOR BURTON'S POND INCLUDING DESIGNING AND IMPLEMENTING MONITORING AND MANAGING STRATEGIES FOR THE POND AND ITS RESPONSIBILITY SHALL BE REFERRED TO THE HOMEOWNERS' ASSOCIATION AND AN ADEQUATE BUDGET SHALL BE ESTABLISHED TO ACCOMPLISH THE INTENT OF THE PLAN. PROSPECTIVE HOMEOWNERS SHALL BE MADE AWARE OF THE ASSOCIATION'S RESPONSIBILITY PRIOR TO PURCHASE OF A LOT.
- THE DEVELOPER SHALL DESIGN AND INSTALL A LANDSCAPE BUFFER OF BERMS AND PLANTINGS RUNNING SOUTH TO NORTH ALONG THE ENTIRE PROPERTY BOUNDARY WITH ROUTE 24.
- AS REPRESENTED BY THE APPLICANT, THE USE OF BURTON'S POND BY RESIDENTS OF THE SUBDIVISION SHALL BE SUBJECT TO THE FOLLOWING CONDITIONS: WATERCRAFT SHALL BE LIMITED TO FISHING BOATS WITH ELECTRIC MOTORS AND NON-MOTORIZED WATERCRAFT.
- WATERCRAFT USE OF BURTON'S POND BY COMMUNITY RESIDENTS SHALL BE LIMITED TO A MAXIMUM OF 30 WATERCRAFTS AT ANY ONE TIME. THE HOMEOWNERS' ASSOCIATION WILL ESTABLISH A SYSTEM OF OWNERSHIP OF REGISTRATION TO IMPLEMENT THIS POLICY.
- AFTER THE RECEIPT OF A CERTIFICATE OF OCCUPANCY FOR THE FIRST OWNER-OCCUPIED HOME, HUNTING WILL NOT BE PERMITTED ON BURTON'S POND. SIGNS WILL BE POSTED.
- THE USE OF BURTON'S POND WILL ALSO BE MADE AVAILABLE TO THE PUBLIC AND ADJACENT PROPERTY OWNERS AND THEY WILL BE ABLE TO UTILIZE THE PROPOSED PARKING TO ACCESS THE POND. THE PUBLIC AND ADJACENT PROPERTY OWNERS WILL NOT BE PERMITTED TO USE OR LAUNCH WATERCRAFT TO ACCESS BURTON'S POND. THIS CONDITION SHALL NOT PROHIBIT OR LIMIT ACCESS AND USE OF BURTON'S POND BY ADJACENT PROPERTY OWNERS WHO MAY OTHERWISE HAVE A LEGAL OR PRESCRIPTIVE RIGHT TO USE BURTON'S POND WITH OR WITHOUT WATERCRAFT.
- REVISED PRELIMINARY SITE PLAN EITHER DEPICTING OR NOTING THESE CONDITIONS MUST BE SUBMITTED TO THE SUSSEX COUNTY OFFICE OF PLANNING AND ZONING.
- THIS SITE MAY BE IN THE VICINITY OF AN EXISTING WELL HEAD. THE FINAL SITE PLAN AND THE DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE SUSSEX COUNTY SOURCE WATER PROTECTION ORDINANCE.
- THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.

GENERAL NOTES:

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S "SHARED-USE PATH AND/OR SIDEWALK TERMINATION POLICY".
- SUBDIVISION STREETS CONSTRUCTED WITHIN THE LIMITS OF THE RIGHT-OF-WAY ARE PRIVATE AS SHOWN ON THIS PLAN AND ARE TO BE MAINTAINED BY THE DEVELOPER, PROPERTY OWNERS OR BOTH. THE STATE OF DELAWARE ASSUMES NO MAINTENANCE RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SHARED-USE PATH SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE FOR THE SHARED-USE PATH.
- DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH LOCATIONS.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
- A 72 HOUR (MINIMUM) NOTICE SHALL BE GIVEN TO THE DISTRICT PERMIT SUPERVISOR PRIOR TO STARTING ENTRANCE CONSTRUCTION.
- MISS UTILITY SHALL BE NOTIFIED THREE (3) CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
- THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, MODIFY OR DELETE ANY EROSION AND SEDIMENT CONTROL MEASURES AS THEY DEEM NECESSARY.
- THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, DUST, MANURE AND OTHER ODORS, THE USE OF AGRICULTURAL CHEMICALS, AND NIGHTTIME FARMING OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
- NO BUILDING PERMIT WILL BE ISSUED UNTIL EITHER ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, CONSTRUCTED, OR PLACED FOR THE LOT FOR WHICH THE BUILDING PERMIT IS TO BE ISSUED IN A MANNER ACCEPTABLE TO THE COUNTY AND STATE, OR UNTIL THE DEVELOPER FILES A PERFORMANCE BOND OR OTHER GUARANTEE WITH THE COUNTY FOR ANY UNCOMPLETED PUBLIC OR PRIVATE STREET OR OTHER REQUIRED IMPROVEMENT.
- AFTER THE CREATION OF THE COMMUNITY'S HOMEOWNER'S ASSOCIATION ALL BUFFER AREAS, AND THE STORMWATER MANAGEMENT AREA, SHALL BE OWNED AND MAINTAINED BY THE COMMUNITY'S HOMEOWNER'S ASSOCIATION. THE DEVELOPER SHALL MAINTAIN THESE AREAS UNTIL THE COMMUNITY HOMEOWNER'S ASSOCIATION IS ESTABLISHED.
- THE FORESTED AND/OR LANDSCAPE BUFFER SHALL BE INSTALLED WITHIN 18 MONTHS FROM THE DATE THE SITE WORK IS AUTHORIZED TO COMMENCE, AS DOCUMENTED BY A NOTICE TO PROCEED LETTER FROM THE PLANNING & ZONING COMMISSION OFFICE.
- ORIGINAL BOUNDARY AND TOPOGRAPHIC SURVEY WAS PERFORMED BY DAVIS, BOWEN & FRIEDEL, INC. DECEMBER 2014.
- THE CLUBHOUSE/AMENITIES AREA IS TO BE SUBMITTED FOR SEPARATE APPROVAL.

ROAD
 HOLLYMOUNT ROAD (SUSSEX COUNTY ROAD 048)
 FUNCTIONAL CLASSIFICATION - MAJOR COLLECTOR

ADT (2016 DELAWARE VEHICLE VOLUME SUMMARY)	2,151
10 YR PROJECTED ADT = 1.16 X 2,151	2,495
10 YR PROJECTED ADT + SITE ADT (2,623)	5,118
PEAK HOUR = 2,495 X 15.97%	398
DIRECTIONAL SPLIT = 60.53% / 39.47%	241/157
12.64% TRUCK % X 398	50
SPEED - POSTED	50
TRAFFIC PATTERN GROUP	7



WALDEN SITE ACCESS

TYPE OF DEV.	ITE	CODE #	UNITS	PM	SAT	ADT
SINGLE FAMILY	210	15	19	22	183	

WALDEN SITE ACCESS

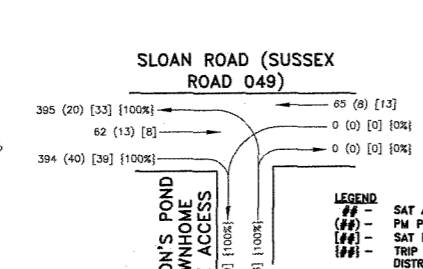
TYPE OF DEV.	ITE	CODE #	UNITS	PM	SAT	ADT
SINGLE FAMILY	210	250	240	231	2,440	

TRAFFIC GENERATION DIAGRAM

NO SCALE

ROAD
 SLOAN ROAD (SUSSEX COUNTY ROAD 049)
 FUNCTIONAL CLASSIFICATION - LOCAL ROADWAY

ADT (2016 DELAWARE VEHICLE VOLUME SUMMARY)	112
10 YR PROJECTED ADT = 1.16 X 112	130
10 YR PROJECTED ADT + SAT SITE ADT (789)	919
PEAK HOUR = 130 X 15.97%	21
DIRECTIONAL SPLIT = 60.53% / 39.47%	13/8
12.64% TRUCK % X 21	3
SPEED - POSTED	35
TRAFFIC PATTERN GROUP	7



BURTON'S POND TOWNHOME SITE ACCESS

TYPE OF DEV.	ITE	CODE #	UNITS	PM	SAT	ADT
TOWNHOMES/CONDOS	230	100	60	72	789	

NOTES:
 -TRIP GENERATION IS BASED ON ITE TRIP GENERATION MANUAL 9TH EDITION.
 -TOWNHOMES HAVE THEIR OWN COMMUNITY CENTER INTERNAL TO THE SITE AND WILL NOT HAVE ACCESS TO THE SINGLE-FAMILY COMMUNITY CENTER.
 -DESIGN VEHICLE: SU-30.

TRAFFIC GENERATION DIAGRAM

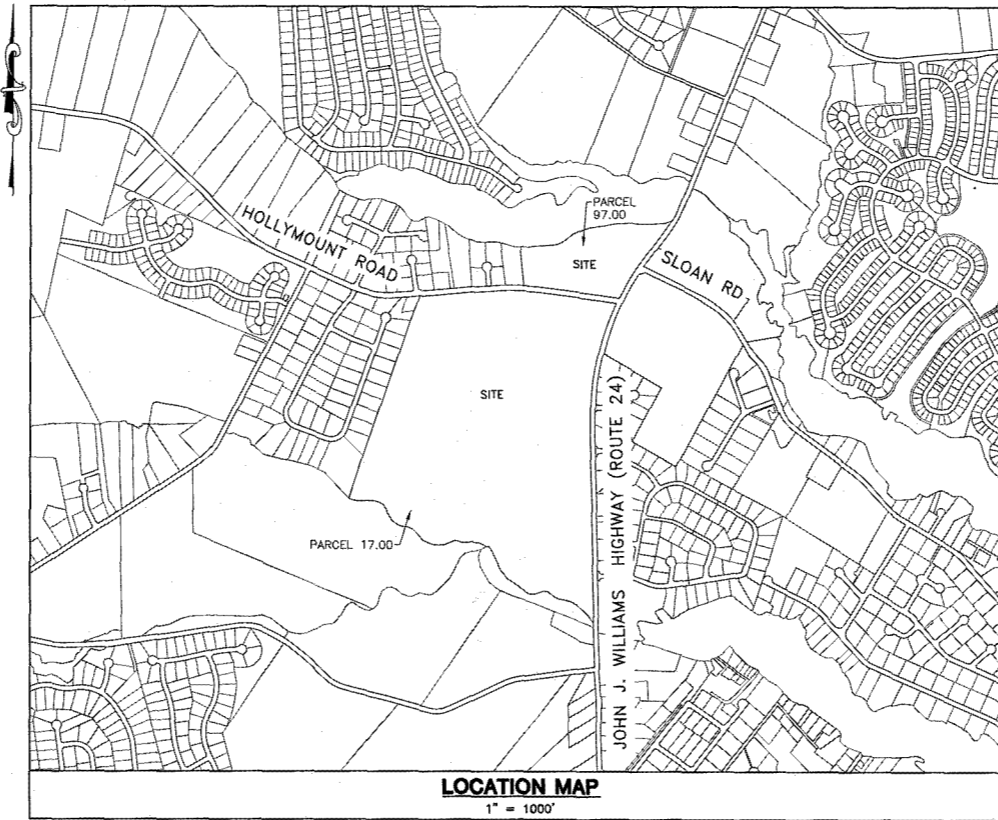
NO SCALE

WALDEN RECORD PLANS

RESIDENTIAL SUBDIVISION

SUSSEX COUNTY, DELAWARE

DBF PROJECT NO. 0818P001 JANUARY, 2017
 REVISED: DECEMBER 6, 2018



LOCATION MAP
 1" = 1000'

DATA COLUMN

TAX MAP NUMBER: 2-34-11.00-97.00
 2-34-17.00-17.00

DATUM: NAVD 88
 HORIZONTAL: NAD 83 (DE STATE PLANE)

EXISTING ZONING: AR-1

PROPOSED ZONING: AR-1 (CLUSTER DEVELOPMENT)

EXISTING USE: AGRICULTURE

PROPOSED USE: 265 SINGLE FAMILY WITH CLUBHOUSE

FLOOD HAZARD MAP: THE SITE IS LOCATED ON THE FEMA FLOOD INSURANCE RATE MAP #10005C0340K, DATED MARCH 16, 2015.

WETLANDS: THIS SITE AS SHOWN HEREON CONTAINS STATE OR FEDERALLY REGULATED BASED ON NWI AND DNREC WETLAND MAPS.

SITE AREA: 9.96 AC. (PARCEL 97.00)
 141.53 AC. (PARCEL 17.00)
 TOTAL: 151.49 AC.

PROPOSED LAND USE AREAS

SINGLE FAMILY LOTS	67.37 AC. (44%)
RIGHT-OF-WAY	16.93 AC. (11%)
ACTIVE OPEN SPACE	6.48 AC. (4%)
PASSIVE OPEN SPACE	37.23 AC. (37%)
PUMPSTATION	0.08 AC.
RIGHT-OF-WAY DEDICATION	3.40 AC.
TOTAL	151.49 AC.

SLOAN ROAD
 EXISTING ROW TO BE ABANDONED: 1.21 AC.
 ROW TO BE DEDICATED TO STATE OF DELAWARE: 1.68 AC.

REQUIRED OPEN SPACE: 30%
 PROVIDED OPEN SPACE: 42%

EXISTING WOODED AREA: 37.26 AC.
 PROPOSED WOODED AREA: 35.27 AC. (95%)

WETLANDS AREA: 23.87 AC.
 AVG. LOT AREA: 11,075 SF. (0.25 AC.)

AR-1 CLUSTER - NUMBER OF DWELLING UNITS PERMITTED CALCULATION

TOTAL PROPOSED SITE AREA: 148.09 AC.
 WETLANDS AREA: 23.87 AC.

RIGHT-OF-WAY AREA: 16.93 AC.
 TOTAL GROSS AREA: 107.29 AC.

PERMITTED UNITS CALCULATION

TOTAL GROSS AREA x 43560 / 10000 = 467 UNITS
 107.29 x 43560 / 10000 = 467 UNITS

PROPOSED UNITS: 265

SETBACKS
 FRONT: 25'
 CORNER: 15' (ONE SIDE)
 SIDE: 10'
 REAR: 10'
 MIN. LOT AREA: 7500 S.F.
 MIN. LOT WIDTH: 60'
 MIN. LOT DEPTH: 100'
 VOLUNTARY NON-TIDAL WETLANDS BUFFER: 30'

UTILITIES PROVIDER
 SEWER: SUSSEX COUNTY UNIFIED SANITARY SEWER DISTRICT
 HERRING CREEK AREA
 WATER: PUBLIC (TIDEWATER UTILITIES, INC.)

PROPOSED BUILDING HEIGHT: 42' (2-1/2 STORIES)

PROPOSED BUILDING CONSTRUCTION: WOOD CONSTRUCTION

PROPERTY OWNER: BURTON BRAY PROPERTIES, LLC
 6781 LIVINGSTON WOODS LANE
 NAPLES, FL 34109

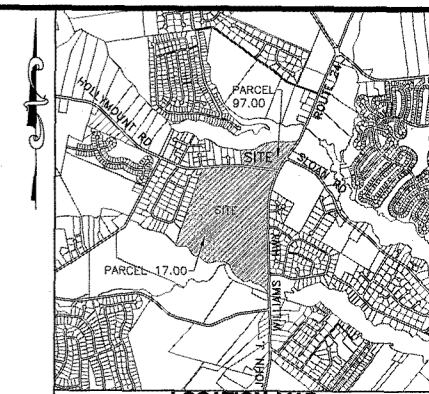
DEVELOPER: BURTON'S POND, LLC
 20184 PHILLIPS STREET
 REHOBOTH BEACH, DE 19971
 (302) 227-3573

PREPARED BY: DAVIS, BOWEN & FRIEDEL, INC.
 1 PARK AVENUE
 MILFORD, DE 19963
 (302) 424-1441

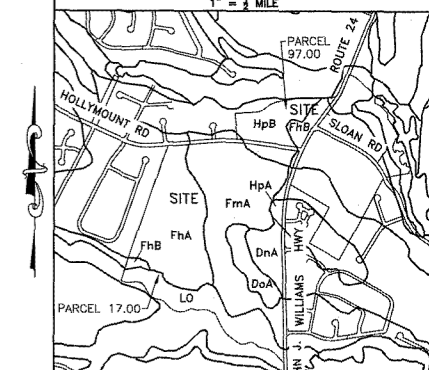
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 On 3/4/2019 at 2:11:02 PM
 RECORDER OF DEEDS Scott Dailey
 Sussex County
 Consideration: 50.00
 Doc Surcharge Paid

OPEN SPACE TABLE

PARCEL	AREA	TYPE
A	45.04 AC.	PASSIVE
B	1.56 AC.	PASSIVE
C	2.59 AC.	PASSIVE
D	6.48 AC.	ACTIVE
E	2.00 AC.	PASSIVE
F	0.79 AC.	PASSIVE
H	5.23 AC.	PASSIVE
TOTAL	63.71 AC.	



LOCATION MAP
 1" = 4 MILE



SOILS MAP
 1" = 1500'

SOILS DATA

LABEL	SOIL NAME	TYPE
DnA	DOWNER	D
DnB	DOWNER	D
FhA	FORT MOTT	A
FhB	FORT MOTT	A
FmA	FORT MOTT	A
HgA	HEDLOPEN	A
HgB	HEDLOPEN	A
LO	LONGMARSH	D

INDEX OF SHEETS

R-1	RECORD TITLE
R-2	EXISTING BOUNDARY PLAN
R-3	RECORD PLAN OVERLAY
R-4 - R-10	RECORD PLANS
R-11 - R-12	RECORD PLAN DETAILS
R-13 - R-14	RECORD PLAN EASEMENT DETAILS

SUSSEX CONSERVATION DISTRICT

APPROVED
 March 04, 2019
 FINAL SUBDIVISION PLAN
 SUSSEX COUNTY PLANNING & ZONING COMMISSION
 14 SHAWNEE VISTAL
 AS PER DEC. 20, 2018
 LANDSCAPE PLANS APPROVED SEPARATELY

APPROVED
 SEDIMENT CONTROL & STORMWATER MANAGEMENT
 Reviewed by: _____ Date: _____
 Approved by: _____ Date: 2/20/19

DEVELOPER'S STATEMENT

I, THE UNDERSIGNED, HEREBY STATE THAT I AM THE DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION. I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN BE RECORDED ACCORDING TO LAW.

 BURTON'S POND, LLC.
 218949 COASTAL HWY, UNIT 301
 REHOBOTH BEACH, DE 19971

2/14/19
 DATE

WETLAND'S STATEMENT

ENVIRONMENTAL RESOURCES, INC. (ERI) DELINEATED NONTIDAL WETLANDS ALONG THE NORTH AND SOUTH SIDES OF THIS PROJECT FOR THE WALDEN SUBDIVISION AT HOLLYMOUNT ROAD AND JOHN J. WILLIAMS HIGHWAY, SUSSEX COUNTY, DELAWARE, IN 2016. BACKGROUND INFORMATION FOR THE APPROXIMATELY 108 ACRES IDENTIFIED AS PARCELS 2-34-11-97 AND 2-34-17-17 INDICATED THAT WETLANDS WERE LIKELY TO BE IDENTIFIED NEAR BURTON'S POND AND PHILLIPS BRANCH. ERI INSPECTED THIS SITE FOR THE PRESENCE OF JURISDICTIONAL WATERS, INCLUDING NONTIDAL WETLANDS, ACCORDING TO THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL (1987), THE ATLANTIC AND GULF COASTAL PLAIN SUPPLEMENT (2010), ASSOCIATED GUIDANCE IN EFFECT AT THAT TIME AND BEST PROFESSIONAL JUDGMENT. THE MAJORITY OF THE LAND IS MAPPED AS WELL DRAINED SOIL AND HAD BEEN FARMED PRIOR TO THE CLEAN WATER ACT OF 1972 AND CONTINUES TO BE FARMED. FLAGS WERE PLACED ON SITE TO MARK THE WETLAND BOUNDARY. THESE FLAGS HAVE BEEN SURVEYED BY DAVIS, BOWEN AND FRIEDEL, INC. AND ADDED TO THIS PLAN. AS OF THIS DATE, NO WETLAND VERIFICATION HAS BEEN REQUESTED FROM THE U.S. ARMY CORPS OF ENGINEERS.

 THOMAS D. NOBLE
 PROFESSIONAL WETLAND SCIENTIST: 000389
 CERTIFIED WETLAND DELINEATOR THROUGH
 THE CORPS OF ENGINEERS # WDCP93MD031001A

2/5/19
 DATE

SUSSEX COUNTY PLANNING & ZONING APPROVAL

APPROVED
 02/14/18
 SUSSEX COUNTY PLANNING COMMISSION CHAIR/SECRETARY

APPROVED
 2/6/19
 SUSSEX COUNTY COUNCIL PRESIDENT

OWNER'S STATEMENT

I, THE UNDERSIGNED, HEREBY STATE THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION. I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN BE RECORDED ACCORDING TO LAW.

 BURTON BRAY PROPERTIES, LLC
 18211 MARSLBA PLACE
 NAPLES, FL 34110

1/22/2019
 DATE

ENGINEER'S STATEMENT

I, JAMIE L. SECHLER, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

 JAMIE L. SECHLER, P.E.
 DAVIS, BOWEN & FRIEDEL, INC.
 1 PARK AVENUE
 MILFORD, DELAWARE, 19963

2-19-2019
 DATE

dbf DAVIS, BOWEN & FRIEDEL, INC.
 ARCHITECTS, ENGINEERS & SURVEYORS
 MILFORD, DELAWARE (302) 424-1441

BOUNDARY CURVE TABLE FOR PARCEL 234-11.00-97.00

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
BC-10	2321.67	145.67	145.64	N 83°53'21" W	3°35'41"
BC-11	2889.79	623.32	622.11	N 32°24'28" E	12°21'30"
BC-12	1128.25	83.79	83.77	S 35°58'09" W	4°15'45"

EXISTING BOUNDARY CURVE TABLE FOR PARCEL 234-17.00-29.00

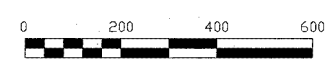
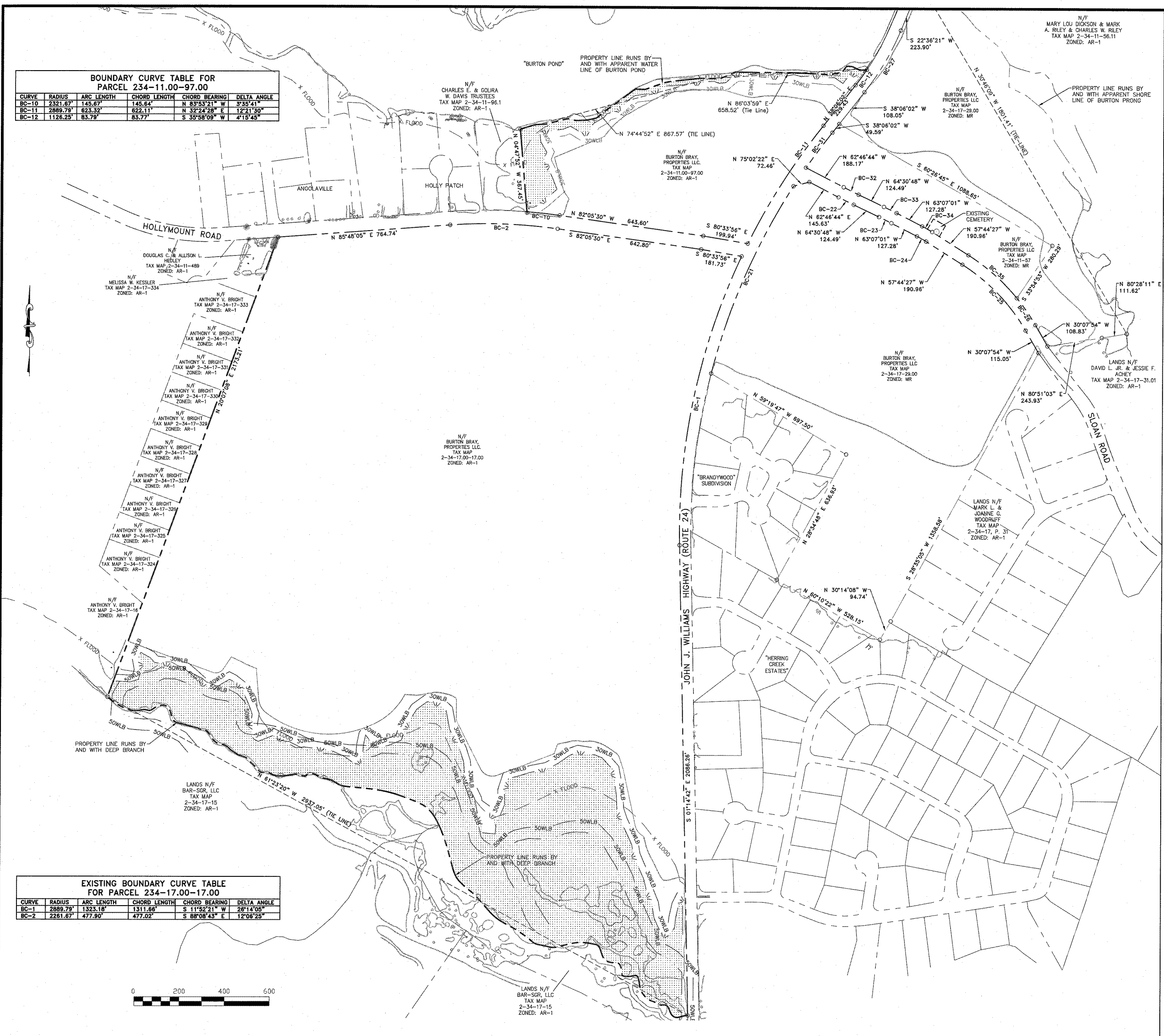
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
BC-21	2839.79	912.28	908.38	S 23°28'10" W	18°24'22"
BC-22	2550.00	75.68	75.68	S 63°58'46" E	1°44'04"
BC-23	2500.00	60.93	60.93	S 63°48'55" E	1°23'47"
BC-24	500.00	46.92	46.90	N 60°25'44" W	5°22'34"
BC-25	850.00	409.59	405.64	N 43°56'11" W	27°36'33"
BC-26	900.00	145.44	145.28	S 34°45'40" E	9°15'31"
BC-27	1176.25	318.10	317.13	N 30°21'11" E	15°29'41"

EXISTING BOUNDARY CURVE TABLE FOR PARCEL 234-11.00-57.00

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
BC-31	2839.79	194.06	194.02	N 36°58'10" E	3°54'55"
BC-32	2450.00	74.17	74.16	S 63°58'46" E	1°44'04"
BC-33	2550.00	62.15	62.15	N 63°48'55" W	1°23'47"
BC-34	550.00	51.61	51.59	S 60°25'44" E	5°22'34"
BC-35	900.00	288.25	287.02	N 48°33'56" W	18°21'02"

EXISTING BOUNDARY CURVE TABLE FOR PARCEL 234-17.00-17.00

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
BC-1	2889.79	1323.18	1311.66	S 11°52'21" W	26°14'05"
BC-2	2261.67	477.90	477.02	S 88°08'43" E	12°08'25"



DAVIS, BOWEN & FRIEDEL, INC.
 ARCHITECTS, ENGINEERS & SURVEYORS
 SALESURY, MARYLAND (410) 643-9091
 MILFORD, DELAWARE (302) 424-1441

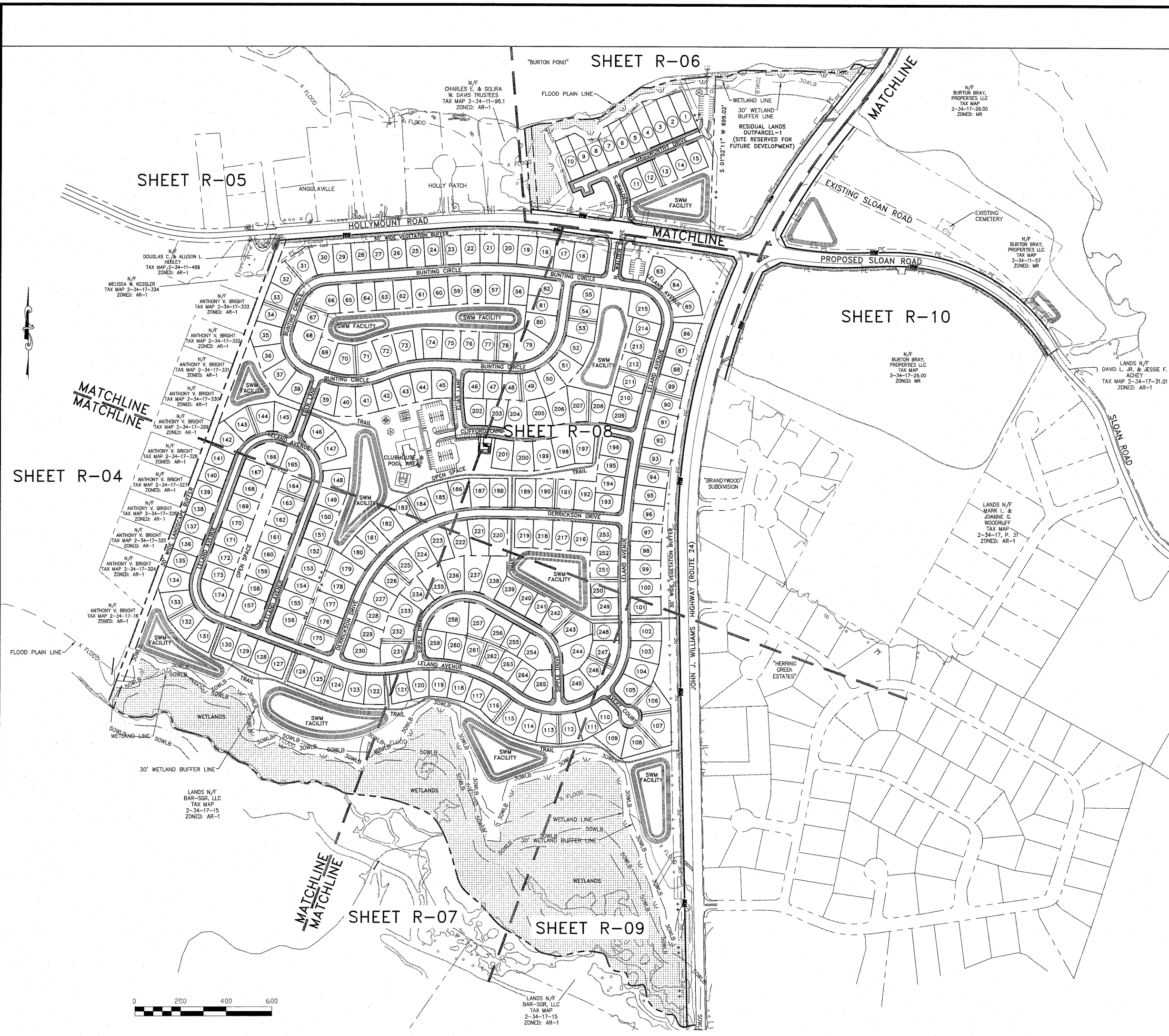


**WALDEN
 RESIDENTIAL SUBDIVISION
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE**

REVISED:
 5-19-2017 DelDOT COMMENTS
 11-06-2017 DelDOT COMMENTS
 1-10-2018 DelDOT COMMENTS
 04-04-2018 DelDOT COMMENTS
 04-18-2018 DelDOT COMMENTS
 12-06-2018 P&Z COMMENTS

Date: FEBRUARY, 2018
 Scale: 1"=200'
 Dwn.By: DJS
 Proj.No.: 0818P001
 Dwg.No.:

R-02



WETLANDS TABLE			
WFO1-WFO2	S 6634.40'	W 6.88'	
WFO2-WFO3	S 4002.41'	W 7.53'	
WFO3-WFO4	S 4900.41'	W 38.69'	
WFO4-WFO5	N 5913.52'	W 21.18'	
WFO5-WFO6	S 6735.19'	W 16.20'	
WFO6-WFO7	S 3924.25'	W 33.04'	
WFO7-WFO8	S 3618.43'	W 16.53'	
WFO8-WFO9	N 5555.49'	W 45.51'	
WFO9-WFO10	S 6705.04'	W 22.90'	
WFO10-WFO11	N 8758.06'	W 28.17'	
WFO11-WFO12	N 8311.53'	W 23.48'	
WFO12-WFO13	N 8499.43'	W 42.93'	
WFO13-WFO14	S 8343.43'	W 28.85'	
WFO14-WFO15	N 7457.27'	W 34.47'	
WFO15-WFO16	S 7655.55'	W 31.95'	
WFO16-WFO17	N 8705.04'	W 20.55'	
WFO17-WFO18	S 6647.99'	W 21.14'	
WFO18-WFO19	N 8810.54'	W 21.15'	
WFO19-WFO20	N 8639.31'	W 21.96'	
WFO20-WFO21	N 8543.43'	W 39.33'	
WFO21-WFO22	N 0621.17'	W 19.19'	
WFO22-WFO23	S 7848.40'	W 51.73'	
WFO23-WFO24	N 8644.40'	W 38.84'	
WFO24-WFO25	S 5341.22'	W 27.27'	
WFO25-WFO26	S 4848.50'	W 25.16'	
WFO26-WFO27	N 8146.06'	W 27.98'	
WFO27-WFO28	S 2744.91'	W 26.37'	
WFO28-WFO29	S 8743.08'	W 48.04'	
WFO29-WFO30	S 6626.11'	W 17.83'	
WFO30-WFO31	N 8523.57'	W 28.33'	
WFO31-WFO32	S 8700.19'	W 23.50'	
WFO32-WFO33	S 7522.58'	W 23.11'	
WFO33-WFO34	N 8406.29'	W 32.51'	
WFO34-WFO35	S 6735.19'	W 42.08'	
WFO35-WFO36	S 5939.45'	W 42.70'	
WFO36-WFO37	S 7043.47'	W 41.72'	
WFO37-WFO38	S 8431.46'	W 33.09'	
WFO38-WFO39	S 5552.49'	W 29.36'	
WFO39-WFO40	S 4848.01'	W 31.72'	
WFO40-WFO41	S 4523.57'	W 44.23'	
WFO41-WFO42	S 3542.20'	W 45.71'	
WFO42-WFO43	S 3919.59'	W 21.03'	
WFO43-WFO44	S 5948.30'	W 53.37'	
WFO44-WFO45	S 6234.39'	W 39.38'	
WFO45-WFO46	S 8657.15'	W 33.51'	
WFO46-WFO47	N 5923.03'	W 65.12'	
WFO47-WFO48	S 6734.57'	W 35.02'	
WFO48-WFO49	S 3035.30'	W 52.07'	
WFO49-WFO50	S 2744.91'	W 26.37'	
WFO50-WFO51	S 2146.27'	W 25.88'	
WFO51-WFO52	S 2710.42'	W 60.82'	
WFO52-WFO53	N 8109.58'	W 59.27'	
WFO53-WFO54	S 4823.27'	W 28.41'	
WFO54-WFO55	S 4822.40'	W 50.59'	
WFO55-WFO56	S 5450.41'	W 40.32'	
WFO56-WFO57	N 8608.07'	W 27.19'	
WFO57-WFO58	N 0700.06'	W 24.42'	
WFO58-WFO59	S 8512.08'	W 7.09'	
WFO59-WFO60	S 0623.22'	W 32.61'	
WFO60-WFO61	N 0114.42'	W 483.97'	
WFO61-WFO62	S 1246.51'	W 43.78'	
WFO62-WFO63	S 0603.22'	W 44.19'	
WFO63-WFO64	S 3534.20'	W 49.33'	
WFO64-WFO65	N 6806.11'	W 30.37'	
WFO65-WFO66	N 2731.47'	W 34.65'	
WFO66-WFO67	N 2305.05'	W 45.30'	
WFO67-WFO68	N 0918.41'	W 63.57'	
WFO68-WFO69	N 2205.11'	W 65.93'	
WFO69-WFO70	N 1295.46'	W 48.70'	
WFO70-WFO71	N 2423.33'	W 63.97'	
WFO71-WFO72	N 0844.19'	W 44.95'	
WFO72-WFO73	N 2409.36'	W 48.21'	
WFO73-WFO74	N 2916.51'	W 68.38'	
WFO74-WFO75	N 1845.48'	W 55.19'	
WFO75-WFO76	N 0234.33'	W 63.41'	
WFO76-WFO77	N 0741.58'	W 44.42'	
WFO77-WFO78	N 1034.59'	W 51.47'	
WFO78-WFO79	N 1034.59'	W 51.47'	
WFO79-WFO80	N 4222.48'	W 66.84'	
WFO80-WFO81	N 6908.42'	W 35.71'	
WFO81-WFO82	N 8115.24'	W 13.83'	
WFO82-WFO83	S 7019.36'	W 40.03'	
WFO83-WFO84	S 5508.05'	W 61.73'	
WFO84-WFO85	S 6108.37'	W 54.64'	
WFO85-WFO86	S 7853.25'	W 71.62'	
WFO86-WFO87	S 7318.45'	W 68.65'	
WFO87-WFO88	S 7459.13'	W 38.18'	
WFO88-WFO89	S 1725.13'	W 56.80'	
WFO89-WFO90	S 0915.07'	W 43.53'	
WFO90-WFO91	S 2252.49'	W 73.84'	
WFO91-WFO92	S 5428.53'	W 31.11'	
WFO92-WFO93	S 2109.58'	W 44.50'	
WFO93-WFO94	S 0352.28'	W 36.59'	
WFO94-WFO95	N 8503.48'	W 56.05'	
WFO95-WFO96	N 1028.22'	W 35.92'	
WFO96-WFO97	N 1629.06'	W 37.61'	
WFO97-WFO98	N 1007.08'	W 59.30'	
WFO98-WFO99	N 2946.47'	W 42.57'	
WFO99-WFO100	N 2702.10'	W 56.29'	
WFO100-WFO101	N 0413.55'	W 64.98'	
WFO101-WFO102	N 1758.42'	W 57.52'	
WFO102-WFO103	N 2722.59'	W 54.33'	
WFO103-WFO104	N 2620.25'	W 46.37'	
WFO104-WFO105	N 1046.09'	W 84.49'	
WFO105-WFO106	N 4817.46'	W 41.78'	
WFO106-WFO107	N 7702.30'	W 52.97'	
WFO107-WFO108	S 5406.24'	W 58.77'	
WFO108-WFO109	S 3218.33'	W 42.30'	
WFO109-WFO110	S 2850.10'	W 52.01'	
WFO110-WFO111	S 1936.19'	W 58.46'	
WFO111-WFO112	S 6716.53'	W 61.41'	
WFO112-WFO113	S 7746.07'	W 50.63'	
WFO113-WFO114	S 4607.09'	W 48.13'	
WFO114-WFO115	S 3719.04'	W 25.33'	
WFO115-WFO116	S 1150.52'	W 47.29'	
WFO116-WFO117	S 0346.36'	W 58.85'	
WFO117-WFO118	S 4935.51'	W 39.24'	
WFO118-WFO119	S 5421.59'	W 62.08'	
WFO119-WFO120	N 6606.49'	W 61.85'	
WFO120-WFO121	N 8141.41'	W 54.75'	
WFO121-WFO122	N 8301.51'	W 68.21'	
WFO122-WFO123	S 8324.43'	W 35.04'	
WFO123-WFO124	N 6210.26'	W 54.80'	
WFO124-WFO125	N 6214.21'	W 61.98'	
WFO125-WFO126	S 6604.49'	W 70.87'	
WFO126-WFO127	N 6111.48'	W 24.44'	
WFO127-WFO128	N 2042.40'	W 32.43'	
WFO128-WFO129	N 0027.40'	W 40.83'	
WFO129-WFO130	N 0648.42'	W 37.63'	
WFO130-WFO131	N 1953.52'	W 51.02'	
WFO131-WFO132	N 2416.28'	W 76.03'	
WFO132-WFO133	N 5224.16'	W 49.02'	
WFO133-WFO134	S 6236.20'	W 58.77'	
WFO134-WFO135	S 6023.25'	W 39.27'	
WFO135-WFO136	S 5915.38'	W 44.53'	
WFO136-WFO137	S 6359.28'	W 58.68'	
WFO137-WFO138	N 4803.92'	W 45.07'	
WFO138-WFO139	N 4928.26'	W 58.55'	
WFO139-WFO140	N 8107.15'	W 52.95'	
WFO140-WFO141	N 8107.15'	W 52.95'	
WFO141-WFO142	N 4157.02'	W 28.12'	
WFO142-WFO143	N 6120.55'	W 47.04'	
WFO143-WFO144	S 2314.20'	W 21.57'	
WFO144-WFO145	S 1031.42'	W 68.77'	
WFO145-WFO146	S 1631.34'	W 44.01'	
WFO146-WFO147	S 7249.08'	W 38.45'	
WFO147-WFO148	N 8638.04'	W 62.14'	
WFO148-WFO149	S 6932.92'	W 11.04'	
WFO149-WFO150	S 2007.06'	W 78.61'	

JOHN L. WILLIAMS HIGHWAY (ROUTE 24)
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 MILFORD, DELAWARE (302) 424-1441
dbf
RECORD PLAN OVERVIEW
WALDEN RESIDENTIAL SUBDIVISION
INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE
 REVISED: 5-19-2017 DelDOT COMMENTS
 11-06-2017 DelDOT COMMENTS
 1-10-2018 DelDOT COMMENTS
 04-04-2018 DelDOT COMMENTS
 04-18-2018 DelDOT COMMENTS
 12-09-2018 P&Z COMMENTS
 Date: FEBRUARY, 2018
 Scale: 1"=200'
 Dwn.By: DJS
 Proj.No.: 0818P001
 Dwg.No.: **R-03**



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RECORD PLAN
WALDEN
RESIDENTIAL SUBDIVISION
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

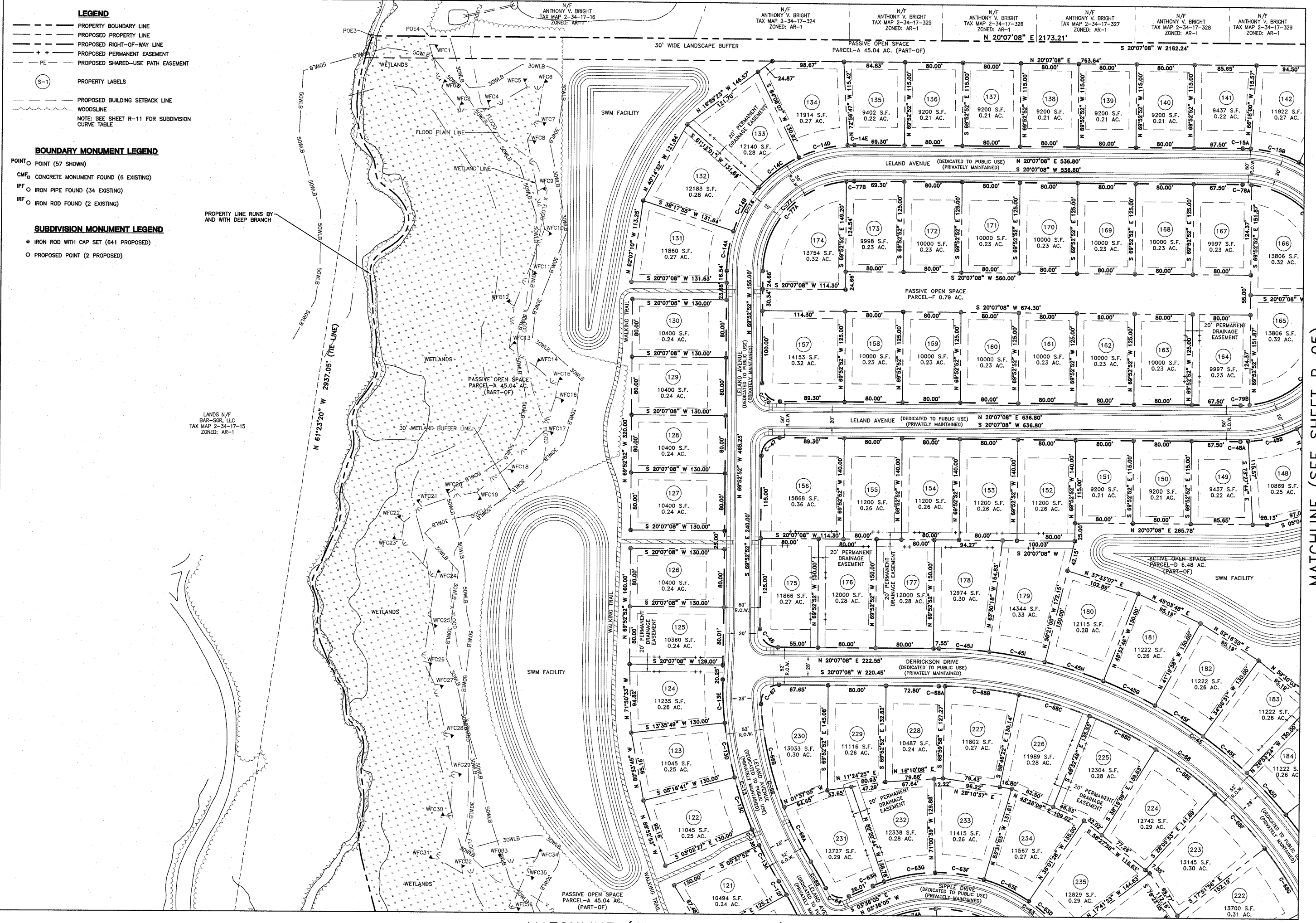
REVISED:
 5-19-2017 DelDOT COMMENTS
 11-06-2017 DelDOT COMMENTS
 1-10-2018 DelDOT COMMENTS
 04-04-2018 DelDOT COMMENTS
 04-18-2018 DelDOT COMMENTS
 12-06-2018 P&Z COMMENTS

Date: FEBRUARY, 2018
 Scale: 1"=60'
 Dwn.By: DJS
 Proj.No.: 0818P001
 Dwg.No.:

R-04

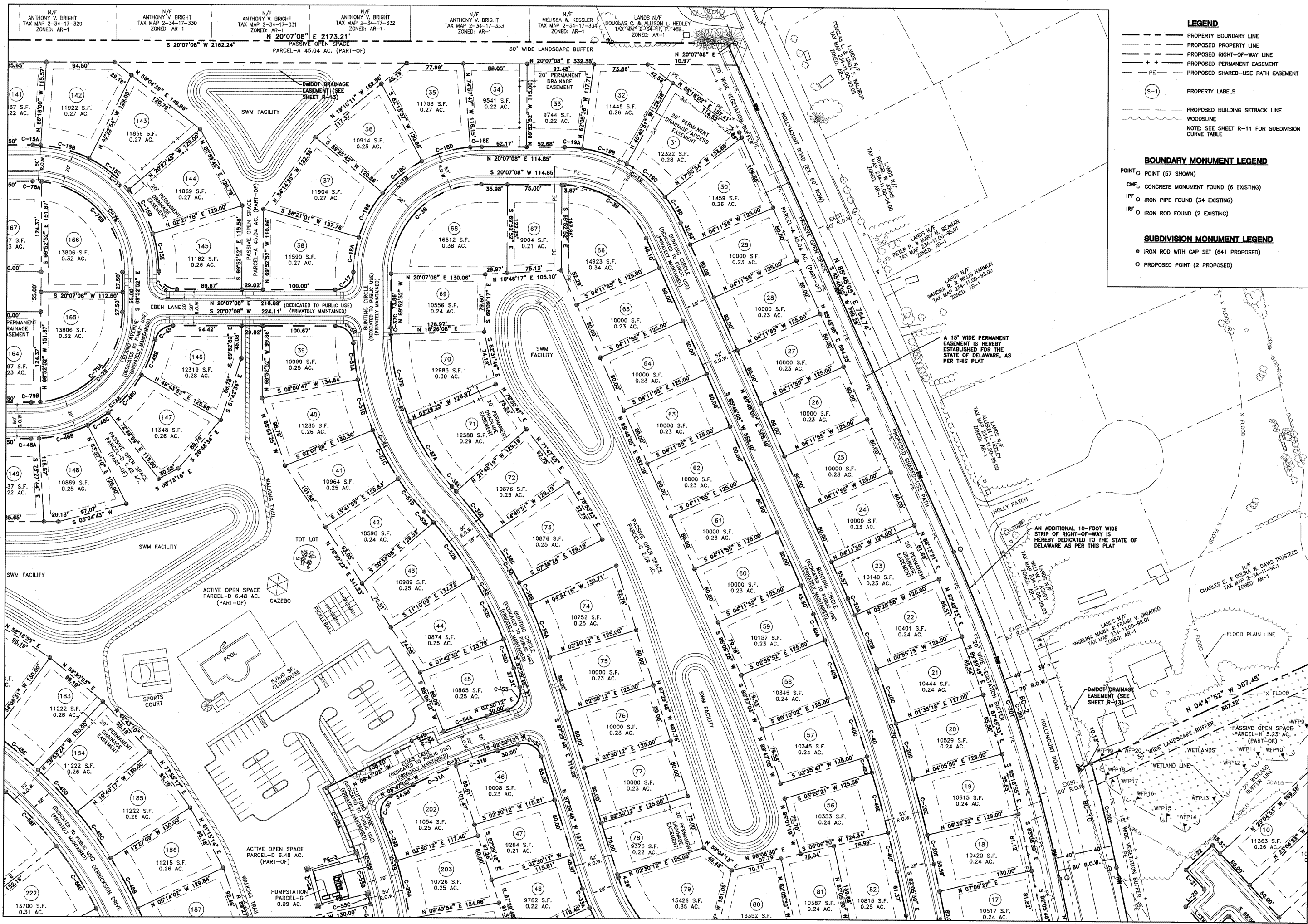
- LEGEND**
- PROPERTY BOUNDARY LINE
 - - - PROPOSED PROPERTY LINE
 - - - PROPOSED RIGHT-OF-WAY LINE
 - + + + PROPOSED PERMANENT EASEMENT
 - - - PE PROPOSED SHARED-USE PATH EASEMENT
- (S-1) PROPERTY LABELS
- PROPOSED BUILDING SETBACK LINE
- WOODSLINE
- NOTE: SEE SHEET R-11 FOR SUBDIVISION CURVE TABLE

- BOUNDARY MONUMENT LEGEND**
- POINT (57 SHOWN)
- CMF CONCRETE MONUMENT FOUND (6 EXISTING)
 - IPF IRON PIPE FOUND (34 EXISTING)
 - IRF IRON ROD FOUND (2 EXISTING)
- SUBDIVISION MONUMENT LEGEND**
- IRON ROD WITH CAP SET (641 PROPOSED)
 - PROPOSED POINT (2 PROPOSED)



P:\Ocean Atlantic\Burlington\0818P001\DESIGN\0818P001-RECORD PLAN.dwg Dec 06, 2018 11:19am

MATCHLINE (SEE SHEET R-04)



- LEGEND**
- PROPERTY BOUNDARY LINE
 - - - PROPOSED PROPERTY LINE
 - - - PROPOSED RIGHT-OF-WAY LINE
 - + + + PROPOSED PERMANENT EASEMENT
 - - - PE PROPOSED SHARED-USE PATH EASEMENT
 - (S-1) PROPERTY LABELS
 - - - PROPOSED BUILDING SETBACK LINE
 - ~~~~~ WOODSLINE
 - NOTE: SEE SHEET R-11 FOR SUBDIVISION CURVE TABLE

- BOUNDARY MONUMENT LEGEND**
- POINT (57 SHOWN)
- CMF CONCRETE MONUMENT FOUND (6 EXISTING)
 - IPF IRON PIPE FOUND (34 EXISTING)
 - IRF IRON ROD FOUND (2 EXISTING)
- SUBDIVISION MONUMENT LEGEND**
- IRON ROD WITH CAP SET (841 PROPOSED)
 - PROPOSED POINT (2 PROPOSED)

MATCHLINE (SEE SHEET R-06)

MATCHLINE (SEE SHEET R-08)



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RECORD PLAN

WALDEN RESIDENTIAL SUBDIVISION
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

REVISED:
 5-19-2017 DelDOT COMMENTS
 11-06-2017 DelDOT COMMENTS
 1-10-2018 DelDOT COMMENTS
 04-04-2018 DelDOT COMMENTS
 04-18-2018 DelDOT COMMENTS
 12-06-2018 P&Z COMMENTS

Date: JANUARY, 2017
 Scale: 1"=60'
 Dwn.By: DJS
 Proj.No.: 0818P001
 Dwg.No.:

R-05



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RECORD PLAN

**WALDEN
 RESIDENTIAL SUBDIVISION
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE**

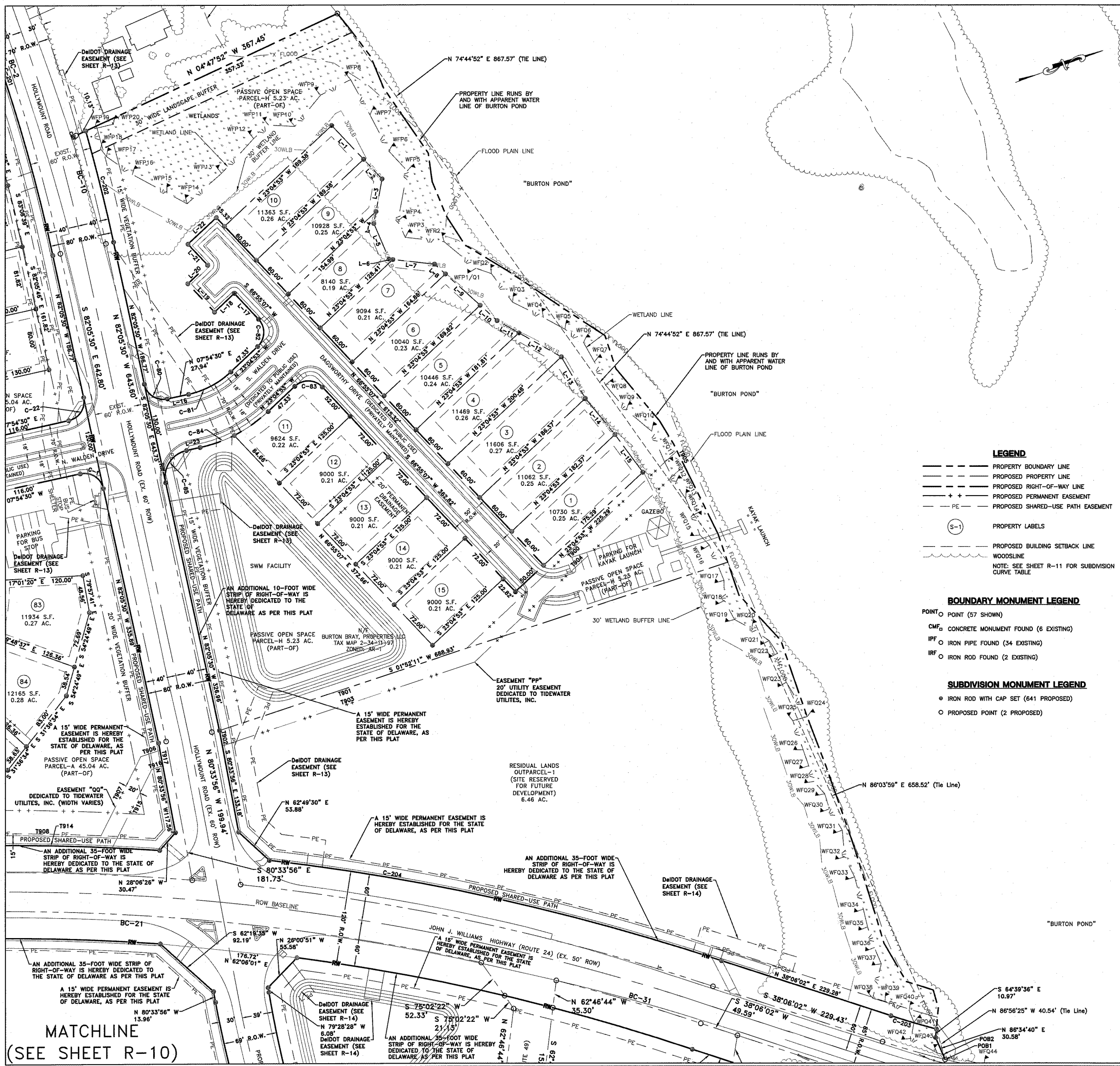
REVISED:
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 11-06-2017 DeIDOT COMMENTS
 1-10-2018 DeIDOT COMMENTS
 04-04-2018 DeIDOT COMMENTS
 04-18-2018 DeIDOT COMMENTS
 12-06-2018 P&Z COMMENTS

Date: FEBRUARY, 2018
 Scale: 1"=60'
 Dwn.By: DJS
 Proj.No.: 0818P001
 Dwg.No.:

R-06

MATCHLINE (SEE SHEET R-05)

MATCHLINE (SEE SHEET R-08)



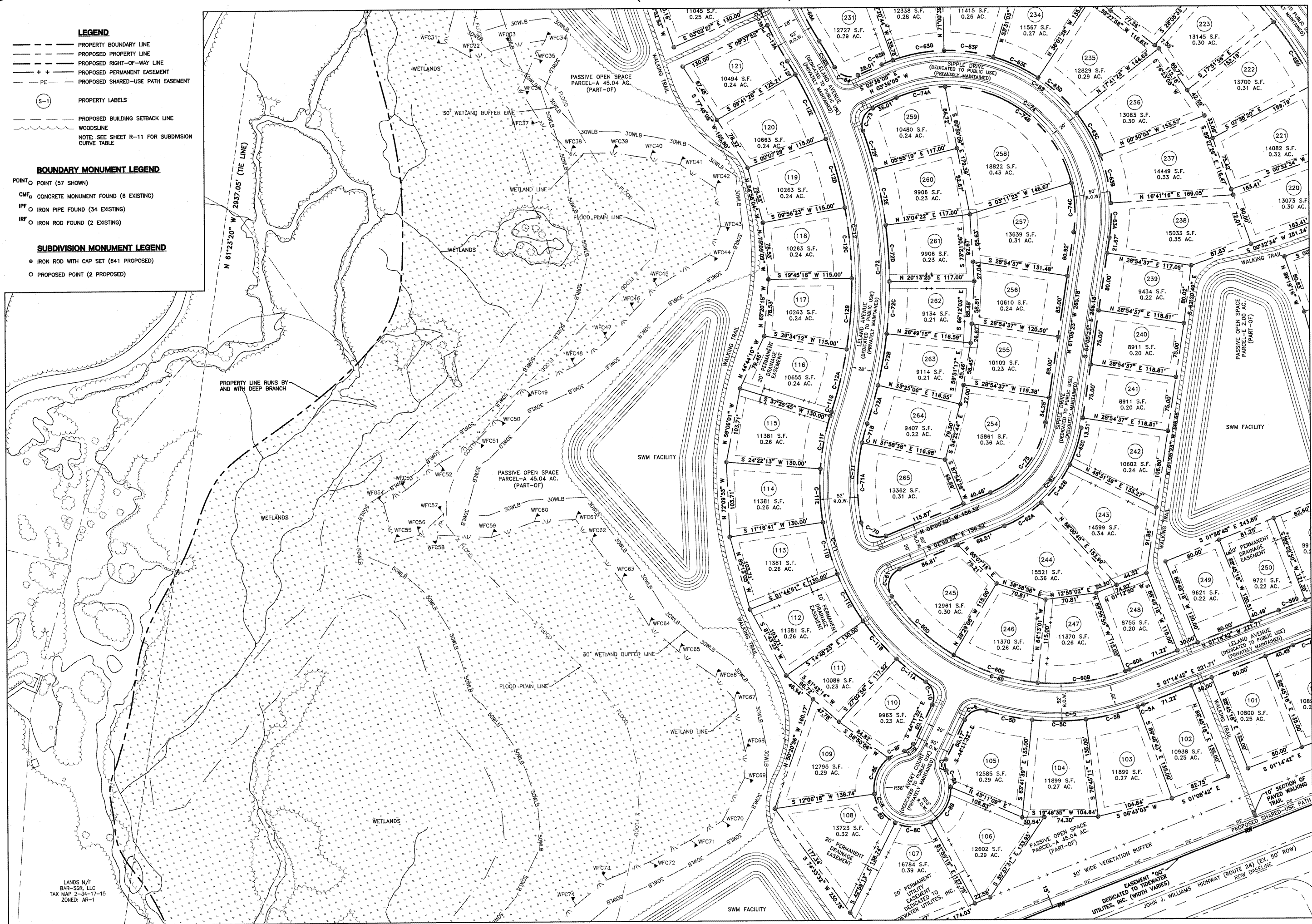
- LEGEND**
- PROPERTY BOUNDARY LINE
 - - - PROPOSED PROPERTY LINE
 - - - PROPOSED RIGHT-OF-WAY LINE
 - +--- PROPOSED PERMANENT EASEMENT
 - - - PE PROPOSED SHARED-USE PATH EASEMENT
 - (S-1) PROPERTY LABELS
 - - - PROPOSED BUILDING SETBACK LINE
 - WOODS LINE
 - NOTE: SEE SHEET R-11 FOR SUBDIVISION CURVE TABLE
- BOUNDARY MONUMENT LEGEND**
- POINT O POINT (57 SHOWN)
 - CMF CONCRETE MONUMENT FOUND (6 EXISTING)
 - IPF IRON PIPE FOUND (34 EXISTING)
 - IRF IRON ROD FOUND (2 EXISTING)
- SUBDIVISION MONUMENT LEGEND**
- IRON ROD WITH CAP SET (641 PROPOSED)
 - PROPOSED POINT (2 PROPOSED)



MATCHLINE (SEE SHEET R-10)

MATCHLINE (SEE SHEET R-04)

- LEGEND**
- PROPERTY BOUNDARY LINE
 - - - PROPOSED PROPERTY LINE
 - - - PROPOSED RIGHT-OF-WAY LINE
 - - - PROPOSED PERMANENT EASEMENT
 - - - PE PROPOSED SHARED-USE PATH EASEMENT
 - (S-1) PROPERTY LABELS
 - - - PROPOSED BUILDING SETBACK LINE
 - ~~~~~ WOODS LINE
 - NOTE: SEE SHEET R-11 FOR SUBDIVISION CURVE TABLE
- BOUNDARY MONUMENT LEGEND**
- POINT (57 SHOWN)
 - CMF CONCRETE MONUMENT FOUND (6 EXISTING)
 - IPF IRON PIPE FOUND (34 EXISTING)
 - IRF IRON ROD FOUND (2 EXISTING)
- SUBDIVISION MONUMENT LEGEND**
- IRON ROD WITH CAP SET (641 PROPOSED)
 - PROPOSED POINT (2 PROPOSED)



MATCHLINE (SEE SHEET R-09)

MATCHLINE (SEE SHEET R-08)

RECORD PLAN

WALDEN RESIDENTIAL SUBDIVISION
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

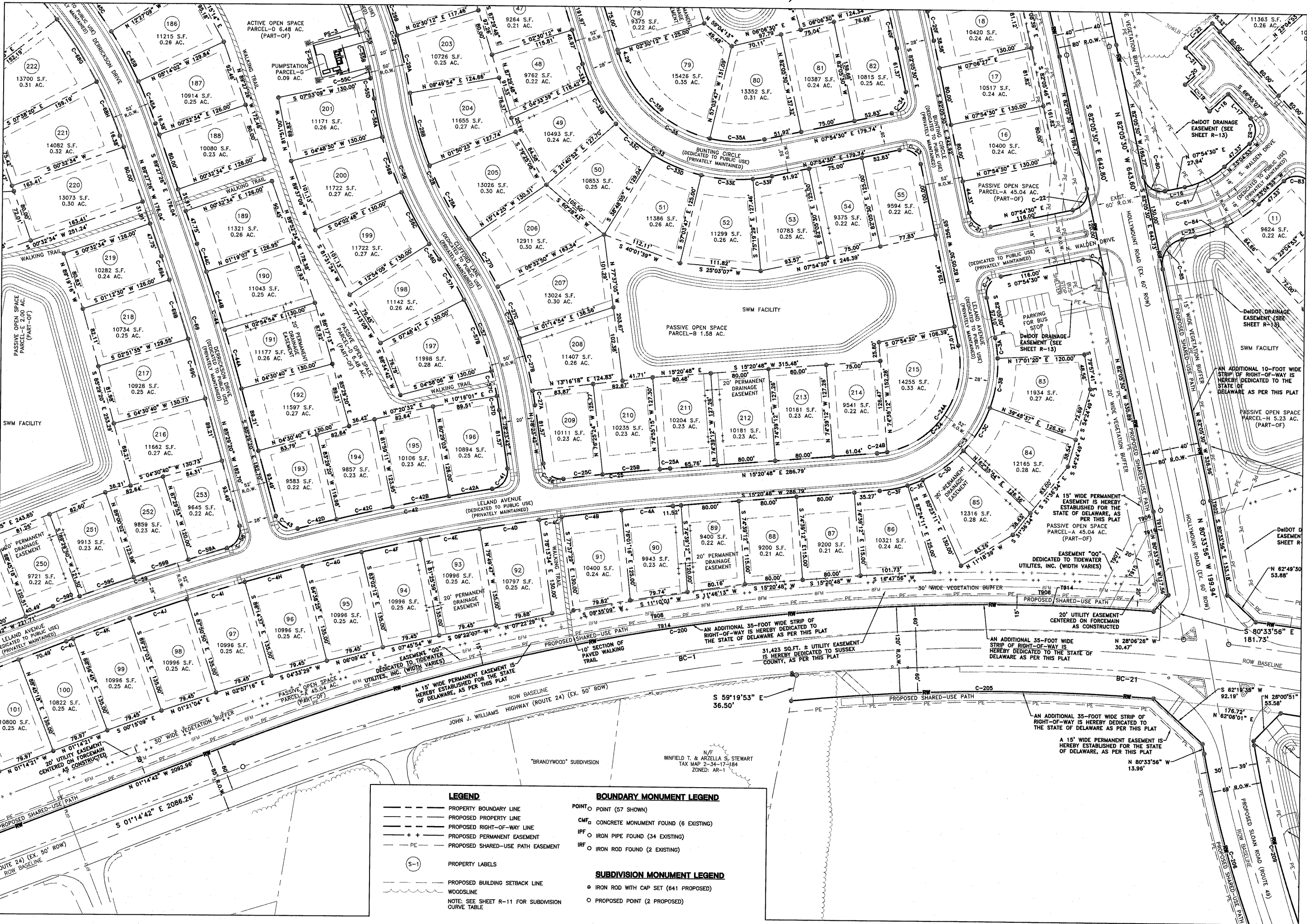
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 SCALE: 1"=60'
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 PROJ. NO.: 0818P001
 DWG. NO.: R-07

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MATCHLINE (SEE SHEET R-05)

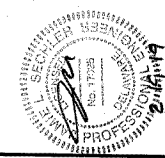
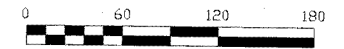
MATCHLINE (SEE SHEET R-07)

MATCHLINE (SEE SHEET R-06)



LEGEND		BOUNDARY MONUMENT LEGEND	
---	PROPERTY BOUNDARY LINE	○	POINT (57 SHOWN)
---	PROPOSED PROPERTY LINE	CMF	CONCRETE MONUMENT FOUND (6 EXISTING)
---	PROPOSED RIGHT-OF-WAY LINE	IPF	IRON PIPE FOUND (34 EXISTING)
---	PROPOSED PERMANENT EASEMENT	IRF	IRON ROD FOUND (2 EXISTING)
---	PROPOSED SHARED-USE PATH EASEMENT		
(S-1)	PROPERTY LABELS	SUBDIVISION MONUMENT LEGEND	
---	PROPOSED BUILDING SETBACK LINE	●	IRON ROD WITH CAP SET (641 PROPOSED)
---	WOODSLINE	○	PROPOSED POINT (2 PROPOSED)
NOTE: SEE SHEET R-11 FOR SUBDIVISION CURVE TABLE			

MATCHLINE (SEE SHEET R-10)



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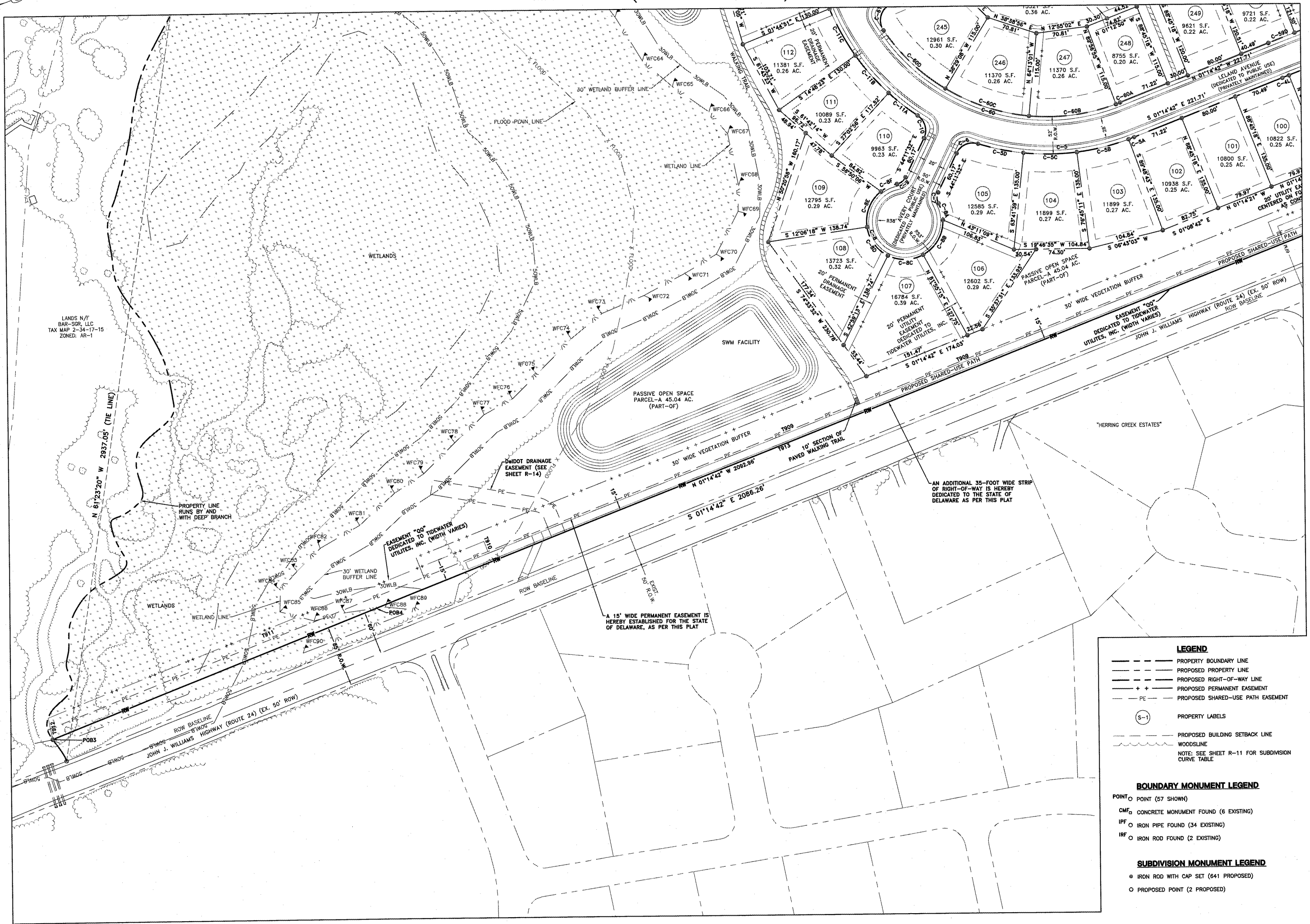
RECORD PLAN

WALDEN
 RESIDENTIAL SUBDIVISION
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

REVISIONS:
 03-19-2017 DelDOT COMMENTS
 11-06-2017 DelDOT COMMENTS
 11-09-2018 DelDOT COMMENTS
 04-04-2018 DelDOT COMMENTS
 04-18-2018 DelDOT COMMENTS
 12-06-2018 P&Z COMMENTS
 02-13-2018 FORCEMAIN REVISION
 Date: FEBRUARY, 2018
 Scale: 1"=60'
 Dwn.By: DJS
 Proj.No.: 0818P001
 Dwg.No.:

R-08

MATCHLINE (SEE SHEET R-07)



LEGEND

- PROPERTY BOUNDARY LINE
- - - PROPOSED PROPERTY LINE
- - - PROPOSED RIGHT-OF-WAY LINE
- + + PROPOSED PERMANENT EASEMENT
- PE - PROPOSED SHARED-USE PATH EASEMENT
- (S-1) PROPERTY LABELS
- - - PROPOSED BUILDING SETBACK LINE
- - - WOODSLINE

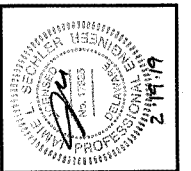
NOTE: SEE SHEET R-11 FOR SUBDIVISION CURVE TABLE

BOUNDARY MONUMENT LEGEND

- POINT ○ POINT (57 SHOWN)
- CMF ◻ CONCRETE MONUMENT FOUND (6 EXISTING)
- IPF ○ IRON PIPE FOUND (34 EXISTING)
- IRF ○ IRON ROD FOUND (2 EXISTING)

SUBDIVISION MONUMENT LEGEND

- IRON ROD WITH CAP SET (841 PROPOSED)
- PROPOSED POINT (2 PROPOSED)



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RECORD PLAN

WALDEN
RESIDENTIAL SUBDIVISION
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

REVISED:
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 1-10-2018 DelDOT COMMENTS
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 02-13-2018 FORCEMAIN REVISION

Date: **FEBRUARY, 2018**
 Scale: **1"=60'**
 Dwn.By: **DJS**
 Proj.No.: **0818P001**
 Dwg.No.:

R-09

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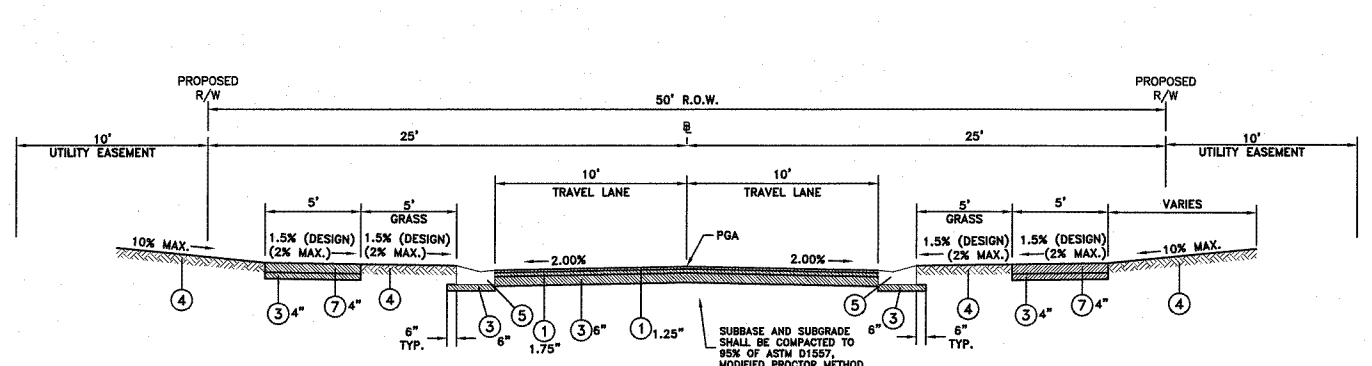
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RECORD PLAN DETAILS

WALDEN RESIDENTIAL SUBDIVISION
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

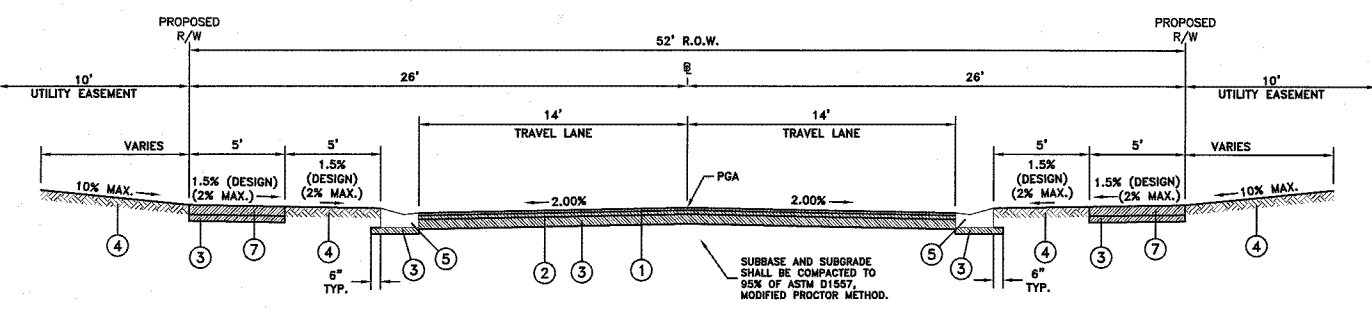
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 04-04-2018 DelDOT COMMENTS
 04-18-2018 DelDOT COMMENTS
 12-06-2018 P&Z COMMENTS

Date: JANUARY, 2017
 Scale: AS SHOWN
 Dwn. By: DBS
 Proj. No.: 0189P001
 Dwg. No.: R-11



TYPICAL TYPE I RESIDENTIAL SECTION

SCALE: 1"=5'



TYPICAL TYPE II RESIDENTIAL SECTION

SCALE: 1"=5'

LELAND AVENUE 0+00.00 - 32+92.12
 BUNTING CIRCLE
 DERRICKSON DRIVE

- LEGEND (TYPES I & II RESIDENTIAL SECTION)
- 1 SUPERPAVE, TYPE C, PG 64-22 (CARBONATE STONE)
 - 2 SUPERPAVE, TYPE B, PG 64-22
 - 3 GRADED AGGREGATE BASE COURSE, TYPE B
 - 4 TOPSOIL (6" DEPTH), PERMANENT GRASS SEEDING, DRY GROUND
 - 5 INTEGRAL P.C.C. CURB AND GUTTER, TYPE 2

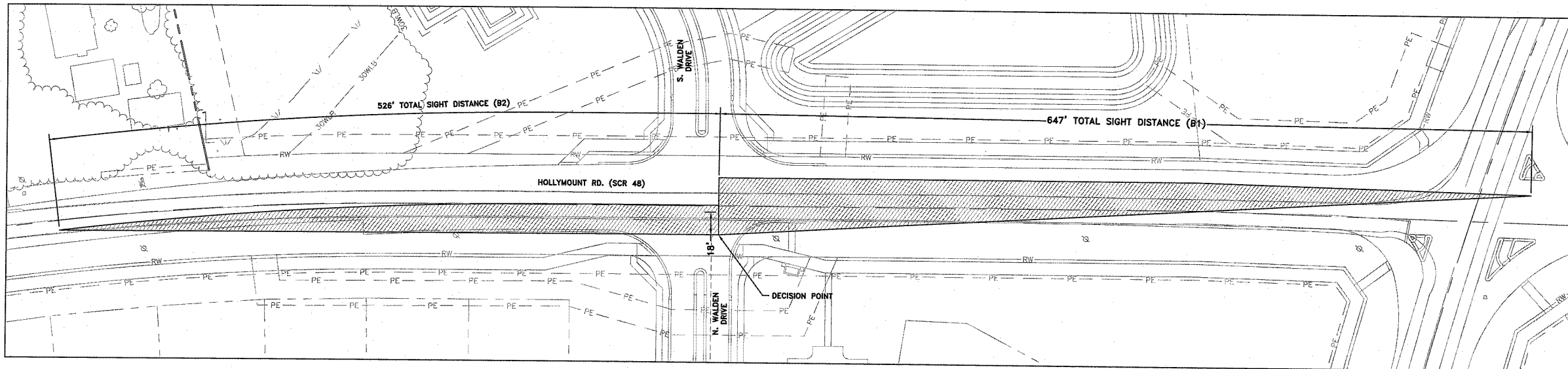
- LEGEND (TYPE II BOULEVARD SECTION)
- 1 SUPERPAVE, TYPE C, PG 64-22 (CARBONATE STONE)
 - 2 SUPERPAVE, TYPE B, PG 64-22
 - 3 GRADED AGGREGATE BASE COURSE, TYPE B
 - 4 TOPSOIL (6" DEPTH), PERMANENT GRASS SEEDING, DRY GROUND
 - 5 P.C.C. CURB AND GUTTER, TYPE 2
 - 6 P.C.C. CURB, TYPE 1-8

CURVE TABLE FOR RIGHT-OF-WAY AND LOTS

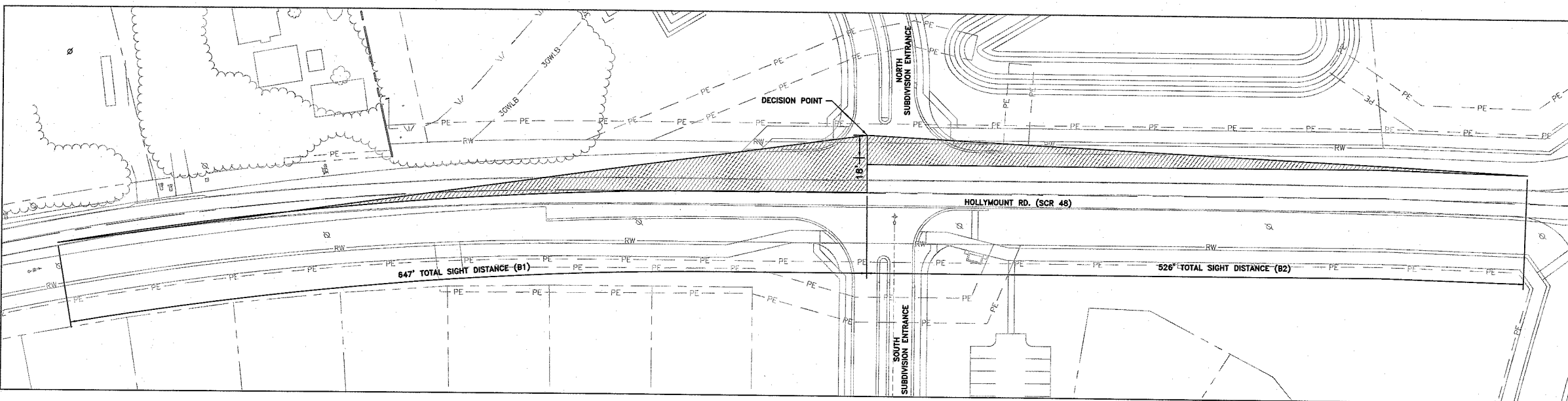
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C-1	25.00	39.27	36.36	S 52°34'30" W	90°00'00"
C-2	25.00	39.27	36.36	S 37°25'21" E	90°00'00"
C-3	176.00	299.31	264.52	S 33°22'21" E	97°26'18"
C-4	176.00	299.31	264.52	S 77°32'05" E	97°26'18"
C-5	176.00	299.31	264.52	S 61°35'01" E	22°47'17"
C-6	176.00	299.31	264.52	S 84°19'25" W	22°47'17"
C-7	176.00	299.31	264.52	S 07°03'03" W	163°59'29"
C-8	2974.00	681.20	681.19	S 14°39'48" W	122°04"
C-9	2974.00	681.20	681.19	S 13°10'37" W	136°13"
C-10	2974.00	681.20	681.19	S 11°34'25" W	136°13"
C-11	2974.00	681.20	681.19	S 09°58'19" W	124°44'58"
C-12	2974.00	681.20	681.19	S 07°03'03" W	163°59'29"
C-13	2974.00	681.20	681.19	S 14°39'48" W	122°04"
C-14	2974.00	681.20	681.19	S 13°10'37" W	136°13"
C-15	2974.00	681.20	681.19	S 11°34'25" W	136°13"
C-16	2974.00	681.20	681.19	S 09°58'19" W	124°44'58"
C-17	2974.00	681.20	681.19	S 07°03'03" W	163°59'29"
C-18	2974.00	681.20	681.19	S 14°39'48" W	122°04"
C-19	2974.00	681.20	681.19	S 13°10'37" W	136°13"
C-20	2974.00	681.20	681.19	S 11°34'25" W	136°13"
C-21	2974.00	681.20	681.19	S 09°58'19" W	124°44'58"
C-22	2974.00	681.20	681.19	S 07°03'03" W	163°59'29"
C-23	2974.00	681.20	681.19	S 14°39'48" W	122°04"
C-24	2974.00	681.20	681.19	S 13°10'37" W	136°13"
C-25	2974.00	681.20	681.19	S 11°34'25" W	136°13"
C-26	2974.00	681.20	681.19	S 09°58'19" W	124°44'58"
C-27	2974.00	681.20	681.19	S 07°03'03" W	163°59'29"
C-28	2974.00	681.20	681.19	S 14°39'48" W	122°04"
C-29	2974.00	681.20	681.19	S 13°10'37" W	136°13"
C-30	2974.00	681.20	681.19	S 11°34'25" W	136°13"
C-31	2974.00	681.20	681.19	S 09°58'19" W	124°44'58"
C-32	2974.00	681.20	681.19	S 07°03'03" W	163°59'29"
C-33	2974.00	681.20	681.19	S 14°39'48" W	122°04"
C-34	2974.00	681.20	681.19	S 13°10'37" W	136°13"
C-35	2974.00	681.20	681.19	S 11°34'25" W	136°13"
C-36	2974.00	681.20	681.19	S 09°58'19" W	124°44'58"
C-37	2974.00	681.20	681.19	S 07°03'03" W	163°59'29"
C-38	2974.00	681.20	681.19	S 14°39'48" W	122°04"
C-39	2974.00	681.20	681.19	S 13°10'37" W	136°13"
C-40	2974.00	681.20	681.19	S 11°34'25" W	136°13"
C-41	2974.00	681.20	681.19	S 09°58'19" W	124°44'58"
C-42	2974.00	681.20	681.19	S 07°03'03" W	163°59'29"
C-43	2974.00	681.20	681.19	S 14°39'48" W	122°04"
C-44	2974.00	681.20	681.19	S 13°10'37" W	136°13"
C-45	2974.00	681.20	681.19	S 11°34'25" W	136°13"
C-46	2974.00	681.20	681.19	S 09°58'19" W	124°44'58"
C-47	2974.00	681.20	681.19	S 07°03'03" W	163°59'29"
C-48	2974.00	681.20	681.19	S 14°39'48" W	122°04"
C-49	2974.00	681.20	681.19	S 13°10'37" W	136°13"
C-50	2974.00	681.20	681.19	S 11°34'25" W	136°13"
C-51	2974.00	681.20	681.19	S 09°58'19" W	124°44'58"
C-52	2974.00	681.20	681.19	S 07°03'03" W	163°59'29"
C-53	2974.00	681.20	681.19	S 14°39'48" W	122°04"
C-54	2974.00	681.20	681.19	S 13°10'37" W	136°13"
C-55	2974.00	681.20	681.19	S 11°34'25" W	136°13"
C-56	2974.00	681.20	681.19	S 09°58'19" W	124°44'58"
C-57	2974.00	681.20	681.19	S 07°03'03" W	163°59'29"
C-58	2974.00	681.20	681.19	S 14°39'48" W	122°04"
C-59	2974.00	681.20	681.19	S 13°10'37" W	136°13"
C-60	2974.00	681.20	681.19	S 11°34'25" W	136°13"
C-61	2974.00	681.20	681.19	S 09°58'19" W	124°44'58"
C-62	2974.00	681.20	681.19	S 07°03'03" W	163°59'29"
C-63	2974.00	681.20	681.19	S 14°39'48" W	122°04"
C-64	2974.00	681.20	681.19	S 13°10'37" W	136°13"
C-65	2974.00	681.20	681.19	S 11°34'25" W	136°13"
C-66	2974.00	681.20	681.19	S 09°58'19" W	124°44'58"
C-67	2974.00	681.20	681.19	S 07°03'03" W	163°59'29"
C-68	2974.00	681.20	681.19	S 14°39'48" W	122°04"
C-69	2974.00	681.20	681.19	S 13°10'37" W	136°13"
C-70	2974.00	681.20	681.19	S 11°34'25" W	136°13"
C-71	2974.00	681.20	681.19	S 09°58'19" W	124°44'58"
C-72	2974.00	681.20	681.19	S 07°03'03" W	163°59'29"
C-73	2974.00	681.20	681.19	S 14°39'48" W	122°04"
C-74	2974.00	681.20	681.19	S 13°10'37" W	136°13"
C-75	2974.00	681.20	681.19	S 11°34'25" W	136°13"
C-76	2974.00	681.20	681.19	S 09°58'19" W	124°44'58"
C-77	2974.00	681.20	681.19	S 07°03'03" W	163°59'29"
C-78	2974.00	681.20	681.19	S 14°39'48" W	122°04"
C-79	2974.00	681.20	681.19	S 13°10'37" W	136°13"
C-80	2974.00	681.20	681.19	S 11°34'25" W	136°13"
C-81	2974.00	681.20	681.19	S 09°58'19" W	124°44'58"
C-82	2974.00	681.20	681.19	S 07°03'03" W	163°59'29"
C-83	2974.00	681.20	681.19	S 14°39'48" W	122°04"
C-84	2974.00	681.20	681.19	S 13°10'37" W	136°13"
C-85	2974.00	681.20	681.19	S 11°34'25" W	136°13"
C-86	2974.00	681.20	681.19	S 09°58'19" W	124°44'58"
C-87	2974.00	681.20	681.19	S 07°03'03" W	163°59'29"
C-88	2974.00	681.20	681.19	S 14°39'48" W	122°04"
C-89	2974.00	681.20	681.19	S 13°10'37" W	136°13"
C-90	2974.00	681.20	681.19	S 11°34'25" W	136°13"
C-91	2974.00	681.20	681.19	S 09°58'19" W	124°44'58"
C-92	2974.00	681.20	681.19	S 07°03'03" W	163°59'29"
C-93	2974.00	681.20	681.19	S 14°39'48" W	122°04"
C-94	2974.00	681.20	681.19	S 13°10'37" W	136°13"
C-95	2974.00	681.20	681.19	S 11°34'25" W	136°13"
C-96	2974.00	681.20	681.19	S 09°58'19" W	124°44'58"
C-97	2974.00	681.20	681.19	S 07°03'03" W	163°59'29"
C-98	2974.00	681.20	681.19	S 14°39'48" W	122°04"
C-99	2974.00	681.20	681.19	S 13°10'37" W	136°13"
C-100	2974.00	681.20	681.19	S 11°34'25" W	136°13"

CURVE TABLE FOR RIGHT-OF-WAY AND LOTS

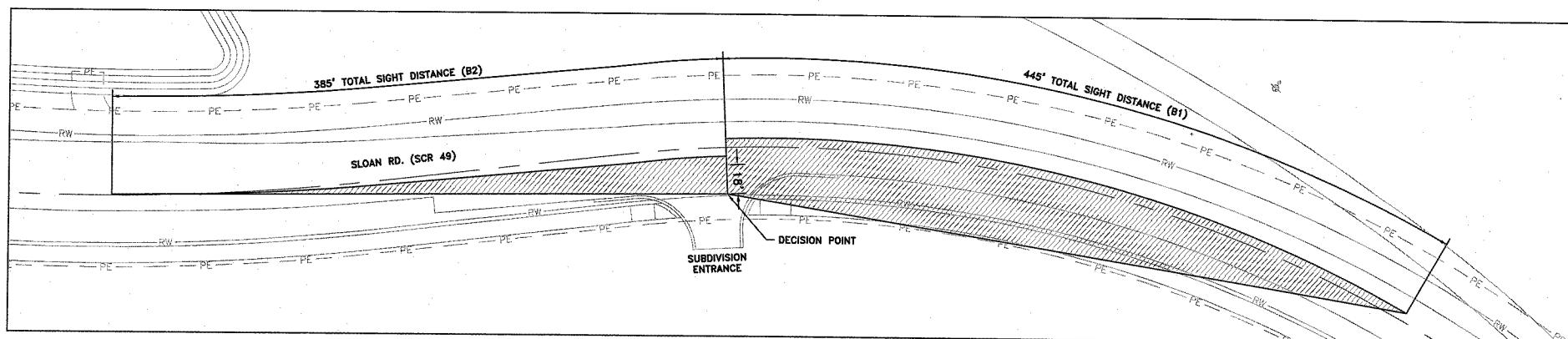
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C-29	625.00	142.97	142.68	N 85°49'09" W	176°00'00"
C-30	625.00	142.97	142.68	N 83°03'29" W	72°03'03"
C-31	625.00	142.97	142.68	N 89°33'40" W	53°19'18"
C-32	625.00	142.97	142.68	N 49°34'41" W	85°35'18"
C-33	625.00	142.97	142.68	N 02°08'25" W	91°17'14"
C-34	625.00	142.97	142.68	N 04°23'29" W	42°17'14"
C-35	625.00	142.97	142.68	N 00°15'12" E	42°59'58"
C-36	625.00	142.97	142.68	N 47°30'12" E	90°00'00"
C-37	625.00	142.97	142.68	N 50°12'21" E	84°39'42"
C-38	625.00	142.97	142.68	N 23°48'22" E	181°15'42"
C-39	625.00	142.97	142.68	N 76°52'44" E	17°07'13"
C-40	625.00	142.97	142.68	N 59°45'31" E	17°07'13"
C-41	625.00	142.97	142.68	N 42°04'04" E	181°15'42"
C-42	625.00	142.97	142.68	N 11°17'51" E	64°01'17"
C-43	625.00	142.97	142.68	S 37°05'30" E	90°00'00"
C-44	625.00	142.97	142.68	S 50°12'21" W	84°39'42"
C-45	625.00	142.97	142.68	S 20°25'22" W	25°01'43"
C-46	625.00	142.97	142.68	S 62°43'12" W	59°33'58"
C-47	625.00	142.97	142.68	S 79°58'47" W	25°02'50"
C-48	625.00	142.97	142.68	S 88°58'58" W	70°22'27"
C-49	625.00	142.97	142.68	S 83°54'40" W	306°08"
C-50	625.00	142.97	142.68	S 76°52'33" W	70°22'27"
C-51	625.00	142.97	142.68	S 71°47'55" W	70°22'27"
C-52	625.00	142.97	142.68	S 67°52'02" W	04°20'32"
C-53	625.00	142.97	142.68	S 04°23'29" W	91°00'00"
C-54	625.00	142.97	142.68	S 02°08'25" W	42°17'14"
C-55	625.00	142.97	142.68	S 00°15'12" E	42°59'58"
C-56	625.00	142.97	142.68	S 47°30'12" E	90°00'00"
C-57	625.00	142.97	142.68	S 50°12'21" E	84°39'42"
C-58	625.00	142.97	142.68	S 23°48'22" E	181°15'42"
C-59	625.00	142.97	142.68	S 76°52'44" E	17°07'13"
C-60	625.00	142.97	142.68	S 59°45'31" E	17°07'13"
C-61	625.00	142.97	142.68	S 42°04'04" E	181°15'42"
C-62	625.00	142.97	142.68	S 11°17'51" E	64°01'17"
C-63	625.00	142.97	142.68	S 37°05'30" E	90°00'00"
C-64	625.00	142.97	142.68	S 50°12'21" W	84°39'42"
C-65	625.00	142.97	142.68	S 20°25'22" W	25°01'43"
C-66	625.00	142.97	142.68	S 62°43'12" W	59°33'58"
C-67	625.00	142.97	142.68	S 79°58'47" W	25°02'50"
C-68	625.00	142.97	142.68	S 88°58'58" W	70°22'27"
C-69	625.00	142.97	142.68	S 83°54'40" W	306°08"
C-70	625.00	142.97	142.68	S 76°52'33" W	70°22'27"
C-71	625.00	142.97	142.68	S 71°47'55" W	70°22'27"



HOLLYMOUNT RD. (SCR 48) SIGHT DISTANCE ANALYSIS
 SCALE: 1"=50'



HOLLYMOUNT RD. (SCR 48) SIGHT DISTANCE ANALYSIS
 SCALE: 1"=50'



SLOAN RD. (SCR 49) SIGHT DISTANCE ANALYSIS
 SCALE: 1"=50'

Total Number of Travel Lanes	2
Number of Near Travel Lanes Crossed (Left Turn)*	1
Number of Travel Lanes Crossed (Right Turn)**	0
Median +/-or Turning Lane Width	8'-12'
Posted Speed Limit	50
Design Speed	55
Highway Grade (Moving Left to Right)	-2.0%
Minor Road Approach Grade	1.0%

From Chart	610
ISD = 1.47 x Vmajor x Tg	646.8
Multi Lane Adjustment for Tg	0.50
Minor Road Approach Adjustment	0
Adjustment Factor	1.00
Time Gap	8.0
ISD With Adjustments	647

From Chart	530
ISD = 1.47 x Vmajor x Tg	525.53
Multi Lane Adjustment for Tg	0.00
Minor Road Approach Adjustment	0
Adjustment Factor	1.00
Time Gap	6.5
ISD With Adjustments	526

Total Number of Travel Lanes	2
Number of Near Travel Lanes Crossed (Left Turn)*	1
Number of Travel Lanes Crossed (Right Turn)**	0
Median +/-or Turning Lane Width	0
Posted Speed Limit	35
Design Speed	40
Highway Grade (Moving Left to Right)	-2.0%
Minor Road Approach Grade	1.0%

From Chart	445
ISD = 1.47 x Vmajor x Tg	441
Multi Lane Adjustment for Tg	0.00
Minor Road Approach Adjustment	0
Adjustment Factor	1.00
Time Gap	7.5
ISD With Adjustments	-

From Chart	385
ISD = 1.47 x Vmajor x Tg	382.20
Multi Lane Adjustment for Tg	0.00
Minor Road Approach Adjustment	0
Adjustment Factor	1.00
Time Gap	6.5
ISD With Adjustments	383



DAVIS, BOWEN & FRIEDEL, INC.
 ARCHITECTS, ENGINEERS & SURVEYORS
 SALESBURY, MARYLAND (410) 543-9091
 MILFORD, DELAWARE (302) 424-1441



RECORD PLAN DETAILS

WALDEN
 RESIDENTIAL SUBDIVISION
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

REVISED:
 5-19-2017 DeIDOT
 COMMENTS
 11-06-2017 DeIDOT
 COMMENTS
 11-10-2018 DeIDOT
 COMMENTS
 04-04-2018 DeIDOT
 COMMENTS
 04-18-2018 DeIDOT
 COMMENTS
 12-06-2018 P&Z
 COMMENTS

Date: JANUARY, 2017
 Scale: 1"=50'
 Dwn.By: DJS
 Proj.No.: 0818P001
 Dwg.No.:

R-12

428 SF PERMANENT EASEMENT CC (DEDICATED TO THE STATE OF DELAWARE)

LINE	BEARING	DISTANCE			
CC1	N 02°11'39" E	5.00'			
CC3	S 04°47'52" E	5.06'			
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
CC2	2326.67'	85.27'	85.26'	S 86°45'22" E	2°05'59"
CC3	2321.67'	85.88'	85.88'	N 86°44'46" W	2°07'10"

10,222 SF PERMANENT EASEMENT DD (DEDICATED TO THE STATE OF DELAWARE)

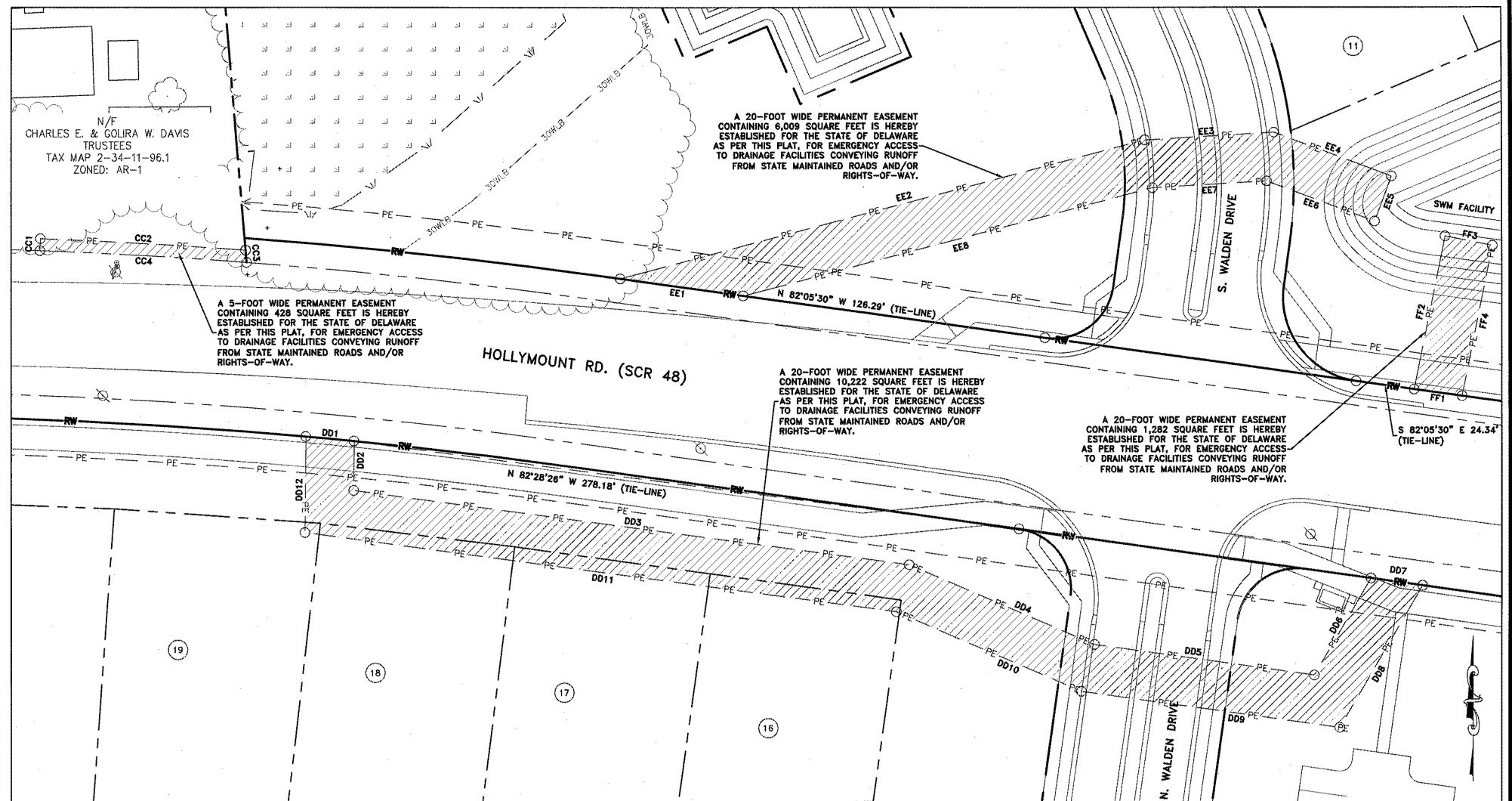
LINE	BEARING	DISTANCE			
DD2	S 00°36'47" W	20.43'			
DD3	S 82°22'04" E	232.42'			
DD4	S 66°48'07" E	83.57'			
DD5	S 82°05'30" E	92.08'			
DD6	N 30°15'59" E	46.53'			
DD7	S 82°05'30" E	21.63'			
DD8	S 30°15'59" W	68.15'			
DD9	N 82°05'30" W	108.16'			
DD10	N 66°48'07" W	83.52'			
DD11	N 82°22'04" W	247.37'			
DD12	N 00°36'47" E	39.77'			
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
DD1	2251.67'	20.07'	20.07'	S 84°40'10" E	0°30'36"

13,159 SF PERMANENT EASEMENT AA (DEDICATED TO THE STATE OF DELAWARE)

LINE	BEARING	DISTANCE
AA1	S 04°10'28" E	41.17'
AA2	S 85°48'05" W	85.59'
AA3	S 55°33'28" W	104.97'
AA4	S 40°42'51" E	164.83'
AA5	S 33°52'04" W	67.31'
AA6	S 69°52'52" E	145.73'
AA7	S 28°12'56" E	37.95'
AA8	S 61°47'04" W	20.00'
AA9	N 28°12'56" W	30.34'
AA10	N 69°52'52" W	183.60'
AA11	N 33°52'04" E	77.57'
AA12	N 40°42'51" E	171.92'
AA13	N 55°33'28" E	132.70'
AA14	N 85°48'05" E	71.00'
AA15	N 04°10'28" W	21.17'
AA16	N 85°48'05" E	20.00'

6,009 SF PERMANENT EASEMENT EE (DEDICATED TO THE STATE OF DELAWARE)

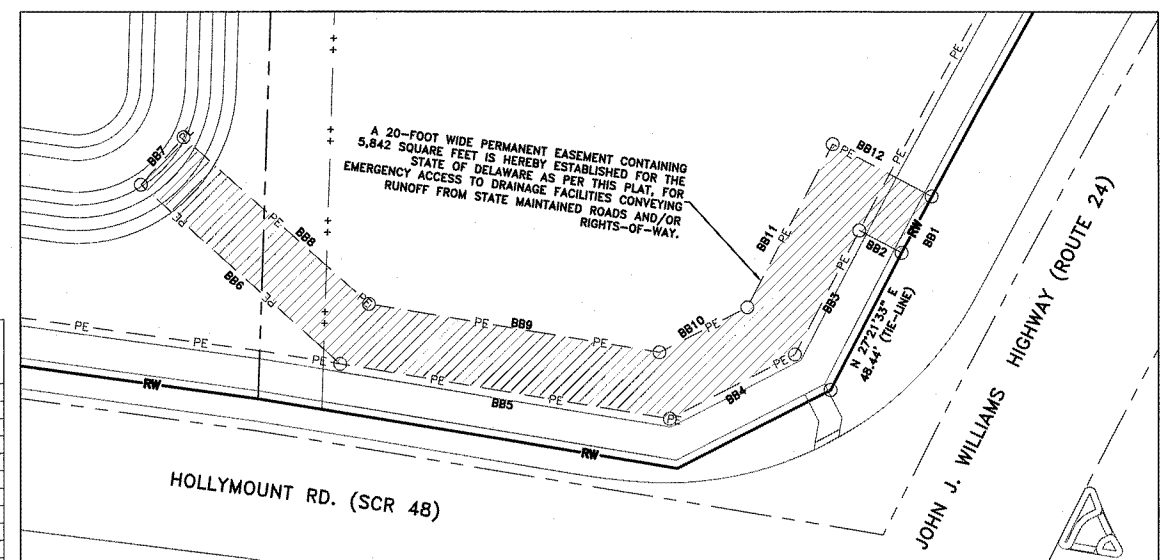
LINE	BEARING	DISTANCE
EE1	N 82°05'30" W	51.75'
EE2	N 75°10'24" E	225.18'
EE3	N 86°37'01" E	53.62'
EE4	S 69°30'04" E	51.99'
EE5	S 20°29'56" W	20.00'
EE6	N 69°30'04" W	47.76'
EE7	S 86°37'01" W	47.38'
EE8	S 75°10'24" W	175.45'



PERMANENT DRAINAGE EASEMENTS CC, DD, EE & FF
 SCALE: 1"=30'

1,282 SF PERMANENT EASEMENT FF (DEDICATED TO THE STATE OF DELAWARE)

LINE	BEARING	DISTANCE
FF1	N 82°05'30" W	20.04'
FF2	N 11°27'59" E	64.73'
FF3	S 78°32'01" E	20.00'
FF4	S 11°27'59" W	63.49'



PERMANENT DRAINAGE EASEMENT BB
 SCALE: 1"=30'

5,852 SF PERMANENT EASEMENT BB (DEDICATED TO THE STATE OF DELAWARE)

LINE	BEARING	DISTANCE
BB1	S 28°01'46" W	20.00'
BB2	N 62°05'40" W	15.00'
BB4	S 64°49'30" W	44.06'
BB5	N 80°33'56" W	104.67'
BB6	N 47°58'10" W	83.97'
BB7	N 42°01'50" E	20.00'
BB8	S 47°58'10" E	78.12'
BB9	S 60°33'56" E	92.21'
BB10	N 62°49'30" E	30.98'
BB11	N 62°05'40" E	35.00'
BB12	S 62°05'40" E	35.00'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
BB3	2939.79'	43.84'	43.84'	S 27°24'25" W	0°51'16"
BB11	2959.79'	57.68'	57.66'	N 27°39'48" E	1°07'38"

NOTE
 PERMANENT EASEMENTS SHOWN ON THIS SHEET CONTAINING THE SHOWN SQUARE FOOT ARE HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.

HOLLYMOUNT RD. (SCR 48)

PASSIVE OPEN SPACE
 PARCEL-A 45.04 AC. (PART-OF)

A 20-FOOT WIDE PERMANENT EASEMENT CONTAINING 13,159 SQUARE FEET IS HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY.

PERMANENT DRAINAGE EASEMENT AA
 SCALE: 1"=50'



WALDEN RESIDENTIAL SUBDIVISION
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

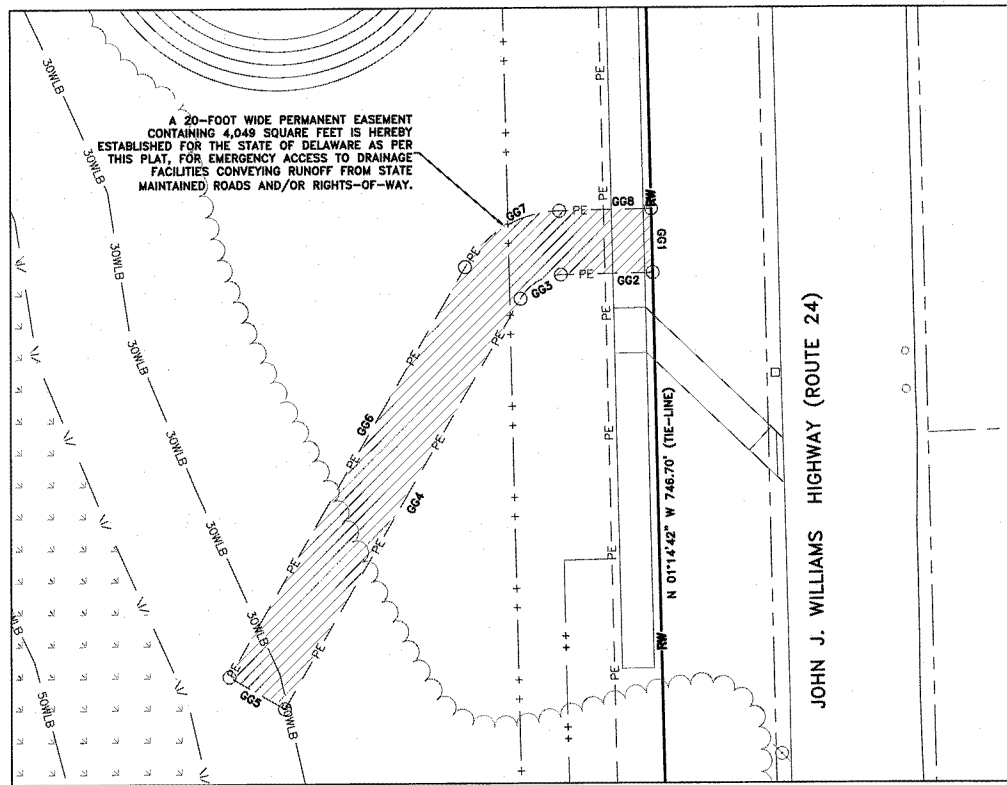
RECORD PLAN EASEMENT DETAILS

R-13

DATE: JANUARY, 2017
 SCALE: AS SHOWN
 DWN. BY: DJS
 PROJ. NO.: 0818P001
 DWG. NO.:

REVISED:
 5-19-2017 DelDOT COMMENTS
 11-06-2017 DelDOT COMMENTS
 11-10-2018 DelDOT COMMENTS
 04-04-2018 DelDOT COMMENTS
 04-18-2018 DelDOT COMMENTS
 12-06-2018 P&Z COMMENTS

DAVIS, BOWEN & FRIEDEL, INC.
 ARCHITECTS, ENGINEERS & SURVEYORS
 SALESBURY, MARYLAND (410) 543-9051
 MILFORD, DELAWARE (302) 424-1441



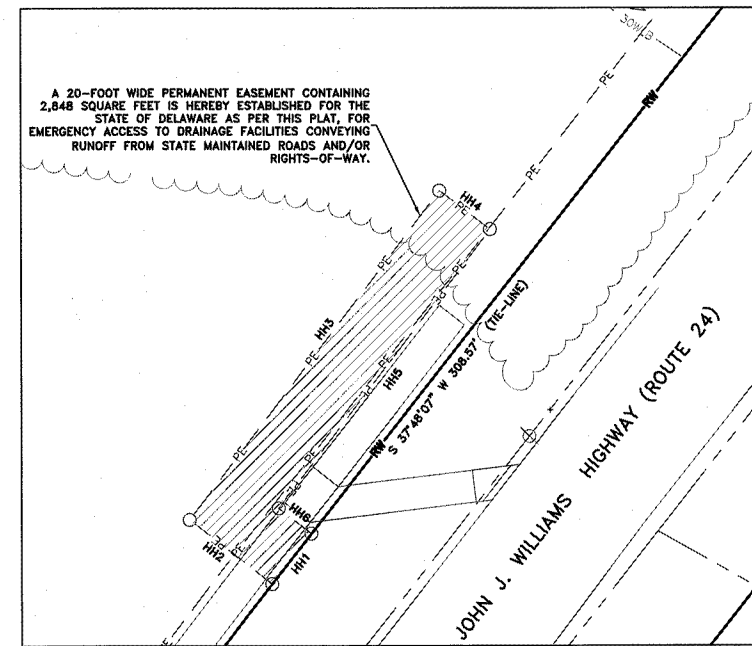
PERMANENT DRAINAGE EASEMENT GG
 SCALE: 1"=30'

NOTE
 PERMANENT EASEMENTS SHOWN ON THIS SHEET CONTAINING THE SHOWN SQUARE FOOT ARE HEREBY ESTABLISHED FOR THE STATE OF DELAWARE AS PER THIS PLAT, FOR EMERGENCY ACCESS TO DRAINAGE FACILITIES CONVEYING RUNOFF FROM STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY. THE PORTIONS OF THE DRAINAGE EASEMENT AND SYSTEM THAT ARE UPSTREAM OR OFFSITE AS WELL AS SECTIONS THAT ARE NOT DIRECTLY COLLECTING AND CONVEYING THE DRAINAGE RUNOFF OF THE PROPOSED STATE MAINTAINED ROADS AND/OR RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, PROPERTY OWNERS, OR BOTH. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF ANY EXEMPTED PORTIONS OF THE STORM DRAIN SYSTEM AND/OR DRAINAGE EASEMENTS.

4,049 SF PERMANENT EASEMENT GG (DEDICATED TO THE STATE OF DELAWARE)

LINE	BEARING	DISTANCE
GG1	S 01°14'42" E	20.00'
GG2	S 88°45'18" W	28.81'
GG4	S 30°01'54" W	148.03'
GG5	N 59°58'06" W	20.00'
GG6	N 30°01'54" E	148.03'
GG8	N 88°45'18" E	23.50'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
GG3	15.01'	15.38'	14.72'	S 59°23'38" W	58°43'26"
GG7	35.01'	35.88'	34.33'	N 59°23'37" E	58°43'26"



PERMANENT DRAINAGE EASEMENT HH
 SCALE: 1"=30'

2,848 SF PERMANENT EASEMENT HH (DEDICATED TO THE STATE OF DELAWARE)

LINE	BEARING	DISTANCE
HH1	S 38°01'46" W	20.00'
HH2	N 52°04'36" W	32.63'
HH3	N 37°15'36" E	129.51'
HH4	S 52°44'24" E	20.00'
HH5	S 37°15'36" W	109.74'
HH6	S 52°04'36" E	12.89'

1,641 SF PERMANENT EASEMENT NN (DEDICATED TO THE STATE OF DELAWARE)

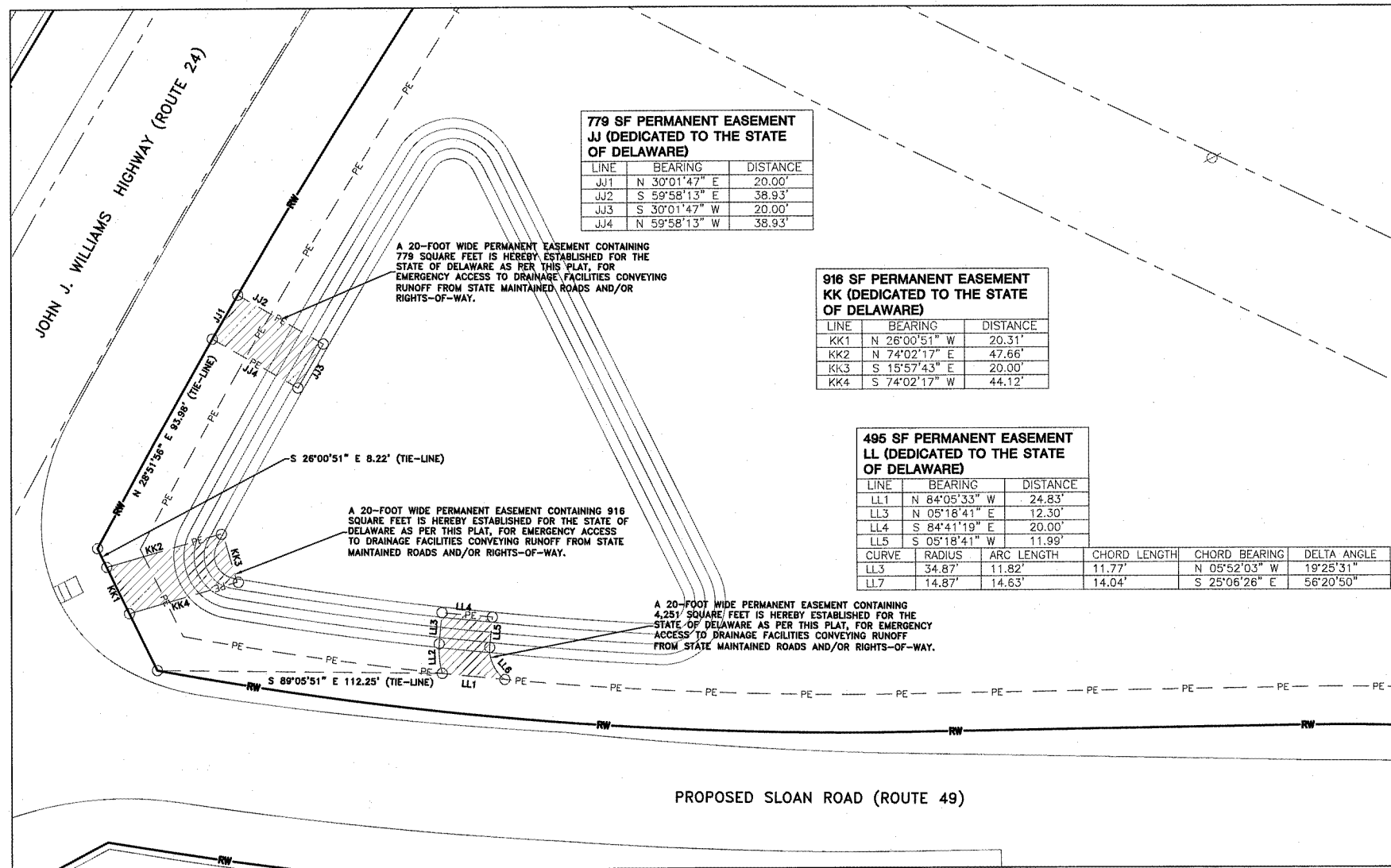
LINE	BEARING	DISTANCE
NN2	N 50°14'45" E	51.06'
NN3	S 39°45'15" E	30.03'
NN4	S 51°13'24" W	24.32'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
NN1	830.00'	46.48'	46.48'	N 38°50'24" W	3°12'31"
NN5	30.00'	34.03'	32.24'	S 18°43'37" W	64°59'55"

1,048 SF PERMANENT EASEMENT MM (DEDICATED TO THE STATE OF DELAWARE)

LINE	BEARING	DISTANCE
MM2	N 84°02'33" E	61.57'
MM3	S 05°57'27" E	20.00'
MM4	S 84°02'33" W	43.38'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
MM1	830.00'	27.04'	27.03'	N 48°14'38" W	1°51'59"



PERMANENT DRAINAGE EASEMENTS JJ, KK & LL
 SCALE: 1"=30'

779 SF PERMANENT EASEMENT JJ (DEDICATED TO THE STATE OF DELAWARE)

LINE	BEARING	DISTANCE
JJ1	N 30°01'47" E	20.00'
JJ2	S 59°58'13" E	38.93'
JJ3	S 30°01'47" W	20.00'
JJ4	N 59°58'13" W	38.93'

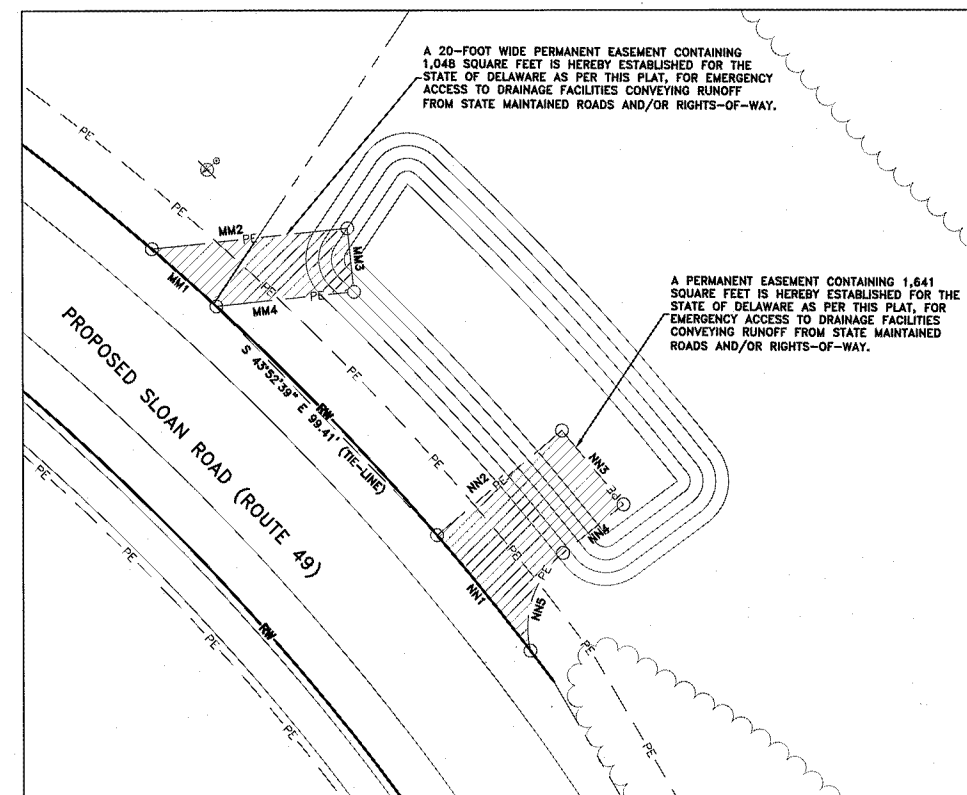
916 SF PERMANENT EASEMENT KK (DEDICATED TO THE STATE OF DELAWARE)

LINE	BEARING	DISTANCE
KK1	N 26°00'51" W	20.31'
KK2	N 74°02'17" E	47.66'
KK3	S 15°57'43" E	20.00'
KK4	S 74°02'17" W	44.12'

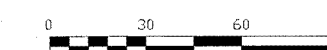
495 SF PERMANENT EASEMENT LL (DEDICATED TO THE STATE OF DELAWARE)

LINE	BEARING	DISTANCE
LL1	N 84°05'33" W	24.83'
LL3	N 05°18'41" E	12.30'
LL4	S 84°41'19" E	20.00'
LL5	S 05°18'41" W	11.99'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
LL3	34.87'	11.82'	11.77'	N 05°52'03" W	19°25'31"
LL7	14.87'	14.63'	14.04'	S 25°06'26" E	56°20'50"



PERMANENT DRAINAGE EASEMENTS MM & NN
 SCALE: 1"=30'



DAVIS, BOWEN & FRIEDEL, INC.
 ARCHITECTS, ENGINEERS & SURVEYORS
 SALESBURY, MARYLAND (410) 543-8091
 MILFORD, DELAWARE (302) 424-1441



RECORD PLAN EASEMENT DETAILS

WALDEN
 RESIDENTIAL SUBDIVISION
 INDIAN RIVER HUNDRED, SUSSEX COUNTY, DELAWARE

REVISED:
 05-19-2017 DelDOT COMMENTS
 11-06-2017 DelDOT COMMENTS
 11-10-2018 DelDOT COMMENTS
 04-04-2018 DelDOT COMMENTS
 04-18-2018 DelDOT COMMENTS
 12-08-2018 P&Z COMMENTS

Date: JANUARY, 2017
 Scale: 1"=30'
 Dwn.By: DJS
 Proj.No.: 0818P001
 Dwg.No.:

R-14

PHASE 11 - STILL WATERS

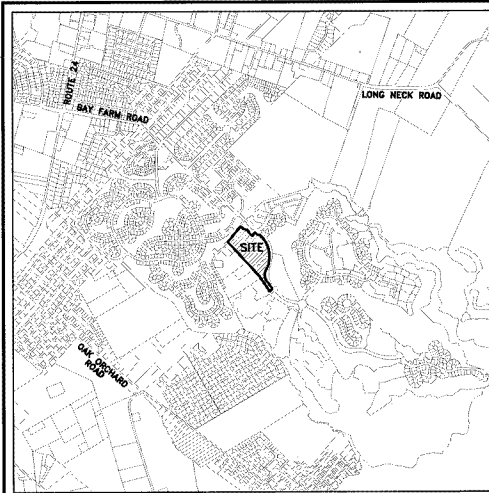
THE PENINSULA ON INDIAN RIVER BAY INDIAN RIVER HUNDRED SUSSEX COUNTY, DELAWARE RECORD PLAN SUBDIVISION 2021-2

AUGUST, 2021

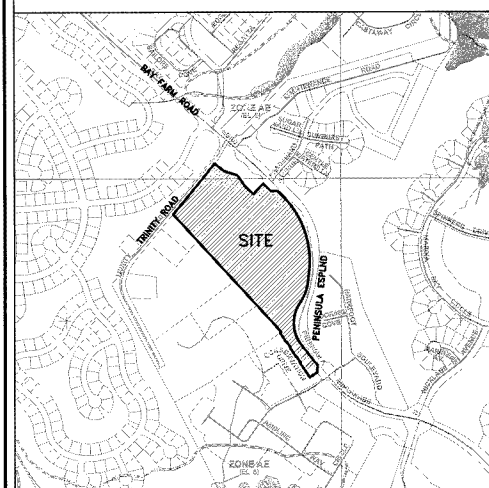
DBF # 1319A052

GENERAL NOTES:

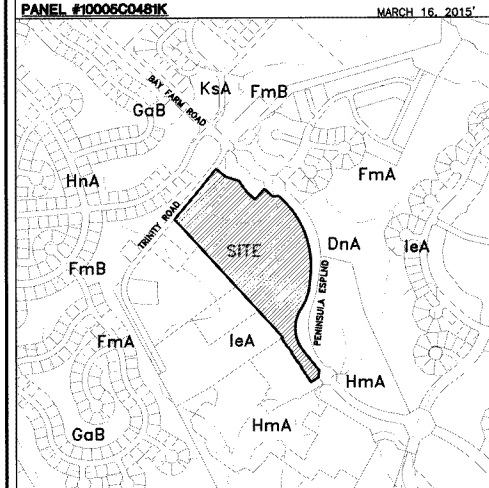
- STREETS, STORMWATER MANAGEMENT FACILITIES AND OTHER COMMON AREAS SHALL BE MAINTAINED BY THE DEVELOPER UNTIL SUCH TIME AS A HOMEOWNERS' ASSOCIATION CAN PROVIDE FOR REQUIRED MAINTENANCE. SUSSEX COUNTY AND THE STATE OF DELAWARE ASSUME NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE FACILITIES WITHIN THE SITE.
- SUBDIVISION STREETS CONSTRUCTED WITHIN THE LIMITS OF THE RIGHT-OF-WAY SHOWN ON THIS PLAN ARE PRIVATE AND ARE TO BE MAINTAINED BY THE DEVELOPER, PROPERTY OWNERS OR BOTH. THE STATE ASSUMES NO MAINTENANCE RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. SUSSEX COUNTY AND THE STATE OF DELAWARE ASSUME NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SIDEWALK.
- ACCESS TO ALL LOTS SHALL BE PROVIDED FROM THE PRIVATE SUBDIVISION STREETS PROPOSED WITH THIS PLAN. NO DIRECT ACCESS TO PUBLIC STREETS IS PROPOSED EXCEPT THE ENTRANCES SPECIFICALLY SHOWN ON THIS PLAN.
- BASED UPON FLOOD INSURANCE RATE MAP (FIRM) NUMBER 10005C0481K, DATED MARCH 16, 2015: THE ENTIRE PROPERTY IS LOCATED IN AN AREA DESIGNATED AS ZONE "X" (UNSHADED) - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAN.
- THE BOUNDARY INFORMATION SHOWN IN THESE PLANS ARE BASED ON FIELD SURVEYS PERFORMED BY McCRONE, INC.
- TOPOGRAPHIC SURVEY DATA PROVIDED BY DAVIS, BOWEN, & FRIEDEL, INC.
- THIS PLAN DOES NOT VERIFY TO THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHT-OF-WAYS CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS PROVIDED.
- UTILITY EASEMENTS DEPICTED HEREON REPRESENT, TO THE GREATEST EXTENT PERMITTED BY LAW, PRIVATE EASEMENTS FOR THE EXCLUSIVE USE AND BENEFIT OF THOSE UTILITY COMPANIES AND/OR OTHER PROVIDERS OF SERVICES TO THE DEVELOPMENT AS MAY BE DESIGNED BY OWNER, OR ITS SUCCESSORS AND ASSIGNS, FROM TIME TO TIME BY AN INSTRUMENT IN WRITING, AND IN NO WAY GRANT, CONVEY OR CREATE ANY GENERAL PUBLIC UTILITY EASEMENT OR ANY GENERAL OR PUBLIC ACCESS RIGHTS.
- IN ADDITION TO EASEMENTS SHOWN ON THIS PLAN, A TEN (10) FOOT WIDE BLANKET EASEMENT ALONG THE FRONT ACCESS EASEMENT IS HEREBY DEDICATED TO BE AVAILABLE FOR ANY UTILITY AND DRAINAGE USE, UNLESS NOTED OTHERWISE ON THE PLANS.
- UNLESS OTHERWISE DESIGNATED BY OWNER, OR ITS SUCCESSORS AND ASSIGNS, FROM TIME TO TIME BY AN INSTRUMENT IN WRITING, STORM DRAIN EASEMENTS DEPICTED HEREON REPRESENTS PRIVATE EASEMENTS TO ACCESS THE STORM DRAINS FOR THE SOLE PURPOSE OF MAINTAINING AND REPAIRING SUCH STORM DRAINS, AND IN NO WAY GRANT, CONVEY OR CREATE ANY GENERAL PUBLIC UTILITY EASEMENT OR ANY GENERAL OR PUBLIC ACCESS RIGHTS.
- NO BOUNDARY TREATMENT/FENCING IS PROPOSED.
- ANY ADDITIONAL ACCESSORY STRUCTURES ASSOCIATED WITH THE MULTIFAMILY DWELLINGS SHALL BE SUBJECT TO SITE PLAN REVIEW.
- THE OWNER SHALL CAUSE TO BE FORMED A HOMEOWNERS' ASSOCIATION TO BE RESPONSIBLE FOR THE OWNERSHIP AND MAINTENANCE OF THE STREETS, ROADS, BUFFERS, STORMWATER MANAGEMENT FACILITIES, AND OTHER COMMON AREAS. IN ADDITION, THE ASSOCIATION SHALL MAINTAIN THE CEMETERIES LOCATED WITHIN THE PROJECT. ACCESS TO THE CEMETERIES SHALL NOT BE DENIED TO FAMILY MEMBERS OF THE PERSONS INTERESTED IN THE CEMETERIES.
- THE COMMON AREA WILL NOT INCLUDE, AMONG OTHER THINGS, THE GOLF COURSE PARCEL, CLUBHOUSE OR OTHER RECREATION FACILITIES.
- THE HOMEOWNERS' ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER DRAINAGE AND MANAGEMENT FACILITIES RELATED TO THE RESIDENTIAL PROPERTIES. HOMEOWNERS' ASSOCIATION PROPERTIES AND ROAD RIGHT-OF-WAY WITHIN THE PROJECT. THE HOMEOWNERS' ASSOCIATION SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER DRAINAGE AND MANAGEMENT FACILITIES THAT CONVEY STORMWATER FROM THESE THREE AREAS THROUGH THE GOLF COURSE PROPERTIES. HOWEVER, MAINTENANCE OF THE PORTION OF THE STORMWATER DRAINAGE AND MANAGEMENT FACILITIES RELATED TO THE GOLF COURSE SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE GOLF COURSE PROPERTIES. ALL STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION AS REQUIRED BY SUSSEX COUNTY, DELAWARE AND IN ACCORDANCE WITH THE DEVELOPER'S RESTRICTIVE COVENANTS ON GOLF COURSE PROPERTIES ENTERED INTO BY AND BETWEEN THE DEVELOPER AND THE HOMEOWNERS' ASSOCIATION (THE "GOLF COURSE COVENANTS"). SHOULD THE OWNER OR OWNERS OF THE GOLF COURSE PROPERTIES DEFAULT IN THE MAINTENANCE OF THE STORMWATER DRAINAGE AND MANAGEMENT FACILITIES, THE HOMEOWNERS' ASSOCIATION SHALL HAVE THE RIGHT TO MAINTAIN THE FACILITIES SUBJECT TO THE TERMS AND CONDITIONS OF THE GOLF COURSE COVENANTS.



LOCATION MAP SCALE: 1" = 1/2 MILE



FLOODPLAIN MAP SCALE: 1" = 800'



SOILS MAP SCALE: 1" = 800'

DATA COLUMN

TAX MAP ID: 2-34-30.00-317.00, 317.01 & 317.02
 2-34-30.00-318.00 THRU 365.00

DEED REF: D 5695/205

DATUM
 VERTICAL: NAVD 88
 HORIZONTAL: NAD 83(DE STATE PLANE)

LAT/LON:
 #1 IRON ROD WITH CAP SET
 BENCHMARK: NORTH WEST SIDE
 LAT: 224,770.65 LON: 723,644.57
 #2 IRON ROD WITH CAP SET
 BENCHMARK: NORTH WEST SIDE
 LAT: 225,137.96 LON: 723,900.06

EXISTING ZONING: MR-RPC(MEDIUM DENSITY RESIDENTIAL/
 RESIDENTIAL PLANNED COMMUNITY)

PROPOSED USE: RESIDENTIAL DEVELOPMENT

TOTAL PROPOSED SITE AREA: 20.531 ACRES

PROPOSED UNITS: 79 SINGLE FAMILY (CONDO OWNERSHIP)

DENSITY:
 MAXIMUM: 4.0 UNITS PER ACRE
 PROPOSED: 3.9 UNITS PER ACRE

PROPOSED CONSTRUCTION: WOOD/CONCRETE BLOCK

AREAS:
 PARCEL A: 1.991 AC
 PARCEL B: 1.995 AC
 PARCEL C: 1.359 AC
 PARCEL D: 0.805 AC
 PARCEL E: 2.009 AC
 PARCEL F: 2.231 AC
 PARCEL G: 2.479 AC
 PARCEL H: 0.603 AC
 PARCEL I: 1.146 AC
 PARCEL J: 1.115 AC

RIGHT-OF-WAY AREA: 2.798 AC

TOTAL SITE AREA: 20.531 AC

IMPERVIOUS AREAS:
 PAVEMENT(STREETS): 1.630 AC
 SIDEWAYS: 0.307 AC
 DRIVEWAYS: 0.751 AC
 BUILDINGS: 6.229 AC
 TOTAL IMPERVIOUS AREAS: 8.917 (43.4%)

SETBACK REQUIREMENTS
 SINGLE FAMILY
 FRONT YARD: 10 FT. (20' AGG. FRONT AND REAR)
 SIDE YARD: 10 FT.
 REAR YARD: 10 FT.

BUILDING HEIGHT: 42 FT. MAX. 3-1/2 STORIES

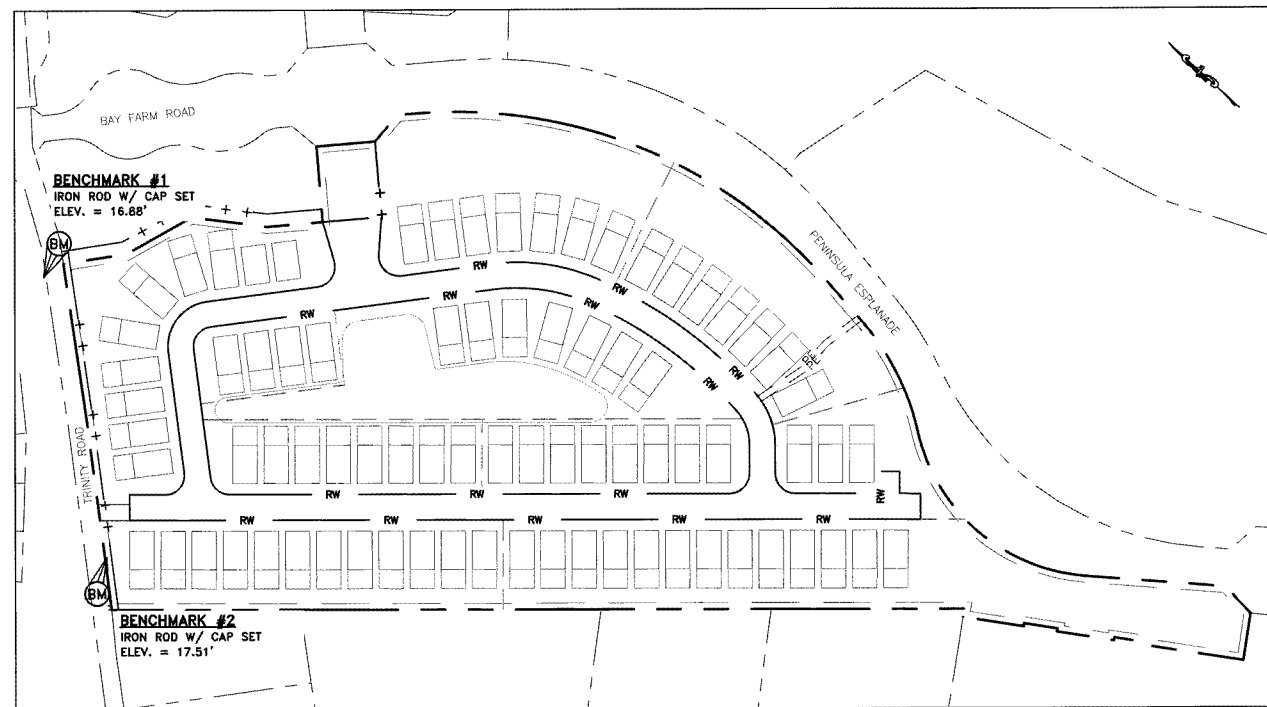
PARKING
 REQUIRED: 158 SPACES
 PROVIDED: 158 SPACES

UTILITIES:
 SANITARY SEWER: SUSSEX COUNTY SEWER
 (LONG NECK SANITARY SEWER DISTRICT)

WATER SUPPLY: TIDEWATER UTILITIES INC.

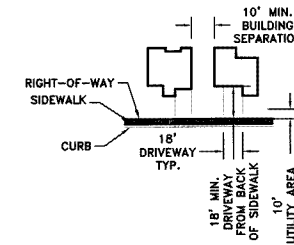
FLOOD HAZARD MAP: THE PROPERTY IS NOT IMPACTED BY THE 100 YEAR
 FLOODPLAIN AS DETERMINED BY FEMA MAP
 10005C0481K (DATED MARCH 16, 2015).

RECORD PLANS	
RECORD PLAN - TITLE SHEET	V-100
RECORD PLAN	V-101
RECORD PLAN - TYPICAL SECTIONS	V-102



LEGEND

- PROPERTY BOUNDARY LINE
- RW --- PROPOSED RIGHT-OF-WAY
- PROPOSED PARCEL LINE
- PROPOSED BUILDING SETBACK LINE
- PE --- PROPOSED EASEMENT LINE
- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE
- PROPERTY LABEL
- IRON ROD WITH CAP SET
- CONCRETE MONUMENT SET
- PROPERTY CORNER LOCATE



TYPICAL SINGLE FAMILY DETAIL

CONDITIONS OF APPROVAL (ORDINANCE NO. 1573)

- (Ordinance 2894, approved by County Council on October 6, 2019 amended Condition #1)
 (Ordinance 2890, approved by County Council on December 7, 2021 amended Condition #1)
- The maximum number of units shall not exceed 1,394 units comprised, as follows:
 358 Single-Family Lots
 471 Single-Family Detached Condominiums
 270 Single-Family Attached Town Houses
 295 Multi-Family Units
 - Residential building permits shall not exceed 300 per year.
 - Commercial building area shall not exceed 10,250 square feet within this project.
 - Site plan review shall be required for each phase of development.
 - An underground gas storage facility for service to this project only shall be permitted subject to approval by the Office of the State Fire Marshal, and other agencies with jurisdiction, and subject to site plan approval by the Commission. The facility shall be no less than 50' from adjacent properties.
 - The interior street design shall be in accordance with or exceed Sussex County street design requirements. Street design shall include curbs, sidewalks, and street lighting. Applicant shall submit as part of the site plan review a landscape plan showing the proposed tree and shrub landscaping design for the project.
 - All entrances, inter-sections, roadway improvements, and multi-modal facilities required by DelDOT shall be completed by the applicant as required by DelDOT in its letter of April 23, 2002, or in accordance with any further modification required by DelDOT.
 - The Applicant, its successors, or assigns, shall operate and maintain a community shuttle bus service to shopping areas and connecting to bus stops operated by DART. The service and location shall be subject to review and comment by DART and DelDOT and subject to site plan review by the Commission. The service and any related improvements shall be completed within two (2) years of the issuance of the first building permit.
 - Within one (1) year of the approval of the master plan, the applicant shall coordinate with the State, County, and other local emergency planning offices in the development and implementation of an emergency evacuation procedure for the project.
 - Recreational facilities, e.g., tennis courts, swimming pool, community buildings, pathways, trails, and beaches shall be constructed and open to use by the residents within two (2) years of the issuance of the first building permit.
 - The RPC shall be served by an existing or an extended Sussex County sanitary sewer district.
 - The RPC shall be served by a central water system providing adequate drinking water and fire protection as required by applicable regulations.
 - Stormwater management and erosion and sediment control shall be constructed in accordance with applicable State and County requirements. If it is determined that additional areas are required for stormwater management, parking, or other uses, the additional area shall be taken from lot areas, not designated Federal or State wetlands or open space areas.
 - State wetlands shall not be included in individual lots. Federal and State wetlands shall be maintained as non-disturbance areas, except where authorized by Federal or State permits.
 - No piers, docks, boat ramps, or other water related recreational facilities shall be permitted adjacent to Emily's Gut.
 - No individual boat docks or boat launching facilities for motorized boats shall be permitted except a community water taxi.
 - No on-site or individual storage of motorized boats, personal watercraft, trailers, or campers shall be permitted.
 - The Applicant shall cause to be formed a homeowners' association to be responsible for the maintenance of the streets, roads, buffers, stormwater management facilities, and other common areas. In addition, the association shall maintain the cemeteries located within the project. Access to the cemeteries shall not be denied to family members of persons interested in the cemeteries.
 - The Applicant, its successors, and assigns shall operate the stormwater management facilities and the golf course in a manner consistent with the Best Management Practices (BMPs) set forth in the applicants exhibits submitted as part of the record including implementation of a stormwater facility management program.
 - No site preparation, site disturbance, site excavation or other site construction shall be commenced until all permits required by all other laws, ordinances, rules and regulations shall have been issued and the approved final site plan is recorded, except such site work for which a (continued) permit has been issued by the Sussex Conservation District. The site work authorized by the Sussex Conservation District permit may be commenced upon submission of copies of the application for permits from the Sussex County Engineering Department and DelDOT to the Director of Planning and Zoning and submission of a bond in an amount equal to 75% of the cost of the site work authorized by the Sussex Conservation District permit and in a form acceptable to the County Attorney. The bond shall be released upon the issuance of all other permits and the filing of an approved master plan or final site plan.
 - Road naming and addressing shall be subject to the approval of the Sussex County Mapping and Addressing Department.

SUPERSEDE NOTE:

THIS PLAN SUPERSEDES, IN ITS ENTIRETY, THE PREVIOUSLY RECORDED PLAN OF "STILL WATERS - PHASE 11" PLOT BOOK 371 PAGES 56-58 WHICH WAS RECORDED ON JUNE 15, 2022 IN THE OFFICE OF THE RECORDER OF DEEDS FOR SUSSEX COUNTY.

PURPOSE NOTE:

THE PURPOSE OF THIS REVISION IS TO MODIFY THE CROSS ACCESS EASEMENT TO RIGHT-OF-WAY.

OWNER'S STATEMENT

I, GREG TOBIAS, MANAGING MEMBER OF OCEAN ATLANTIC-BP INVESTORS AND MANAGER OF OA STILLWATERS, LLC, HEREBY CERTIFY THAT OA STILLWATERS, LLC, IS THE OWNER OF THE PROPERTY WHICH IS THE SUBJECT OF THIS PLAN; THAT THIS SUBDIVISION PLAN THEREOF WAS MADE AT THEIR DIRECTION; THAT ALL STREETS SHOWN HEREON ARE TO BE PRIVATE RIGHT-OF-WAYS AND ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION; THAT ALL PROPERTY STREET CONTROL MONUMENTS WILL BE SET AT THE LOCATIONS SHOWN, AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DESIRE THIS PLAN BE RECORDED ACCORDING TO LAW.

CHAIRMAN-OR SECRETARY OF THE COMMISSION
 SIGNATURE: *Greg Tobias* DATE: 7/12/22
 PRESIDENT OF THE SUSSEX COUNTY COMMISSION
 SIGNATURE: *Greg Tobias* DATE: 7/12/22

V-100

SUSSEX CONSERVATION DISTRICT

ENGINEER'S STATEMENT

I, CLIFTON D. MUMFORD, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DATE: JUL 08 2022
 DAVIS, BOWEN & FRIEDEL, INC.
 by CLIFTON D. MUMFORD, P.E.



DAVIS, BOWEN & FRIEDEL, INC.

ARCHITECTS, ENGINEERS & SURVEYORS

SALISBURY, MARYLAND (410) 543-9091
 MILFORD, DELAWARE (302) 424-1441
 EASTON, MARYLAND (410) 770-4744

APPROVED

PLANNING & ZONING COMMISSION

RECORD PLAN

PROPOSED CURVE TABLE FOR BOUNDARY

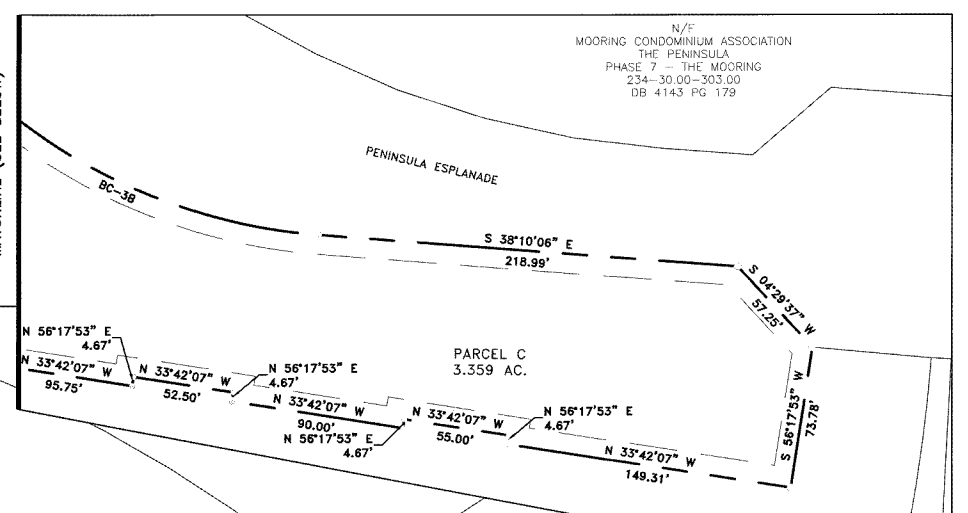
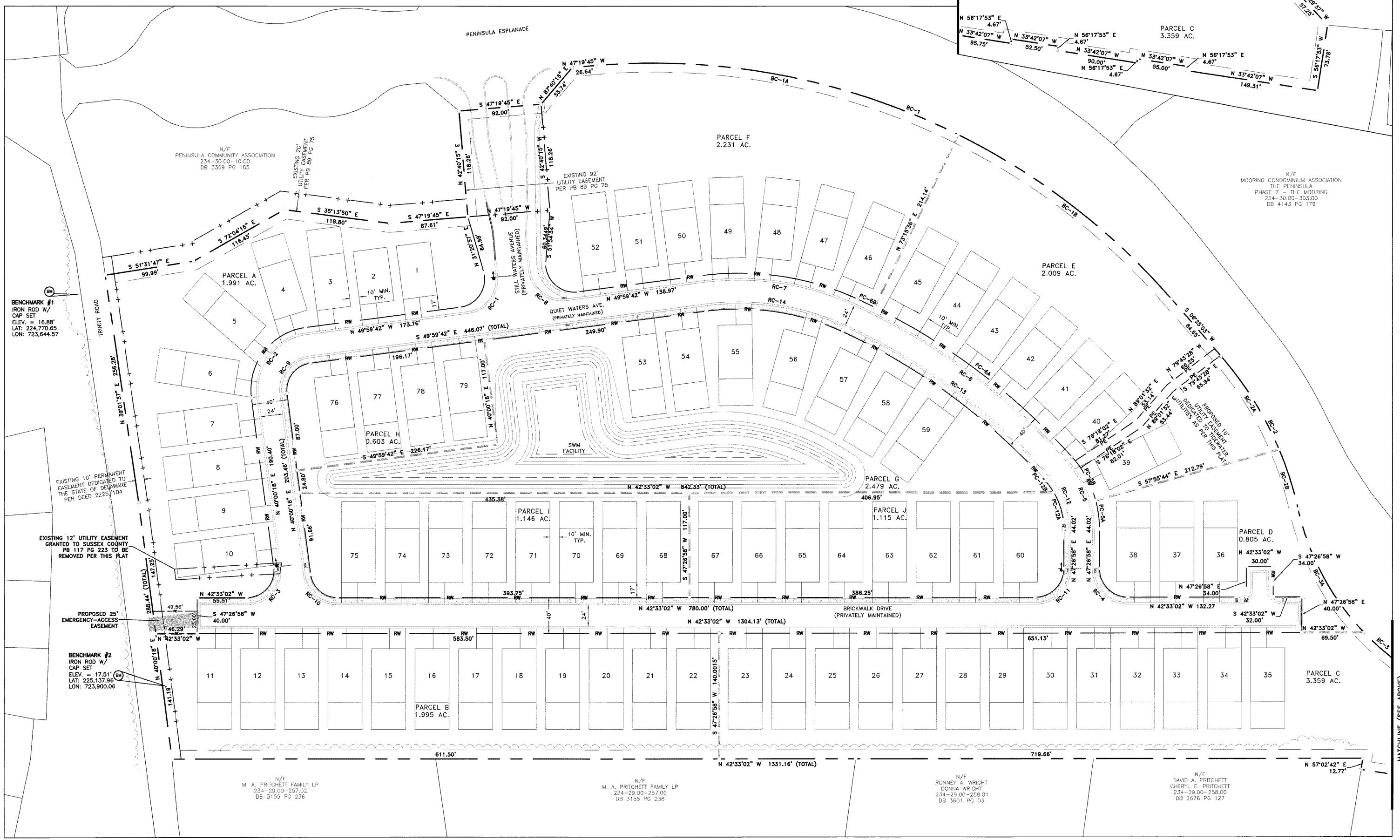
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
BC-1	768.00	170.43	694.30	S 20°27'21" E	63°44'45"
BC-1A	768.00	417.49	1412.37	S 31°45'21" E	51°08'48"
BC-1B	768.00	302.94	300.98	N 04°52'57" W	22°36'01"
BC-2	389.00	133.23	131.27	S 20°38'58" W	28°27'50"
BC-2A	389.00	123.26	122.75	N 15°29'42" E	18°09'18"
BC-2B	389.00	69.99	69.90	N 29°43'37" E	10°18'32"
BC-3	291.00	1371.02	346.40	S 01°38'39" E	73°03'04"
BC-3A	291.00	158.07	156.14	N 19°19'10" E	31°07'25"
BC-3B	291.00	212.95	208.23	S 17°12'22" E	41°55'39"

PROPOSED CURVE TABLE FOR RIGHT-OF-WAY

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
RC-1	32.00	52.99	47.14	S 82°33'48" W	94°33'05"
RC-2	70.00	109.96	98.99	S 85°00'18" W	90°00'00"
RC-3	30.00	51.02	45.09	N 88°43'38" E	97°26'40"
RC-4	32.00	50.27	45.25	N 02°26'58" E	90°00'00"
RC-5	120.00	87.72	85.78	S 28°30'30" W	41°52'57"
RC-6	730.00	299.99	297.89	N 06°12'21" W	23°32'45"
RC-7	320.00	178.81	176.49	S 33°59'13" E	32°00'58"
RC-8	32.00	53.91	47.76	N 01°43'57" W	96°31'29"
RC-9	30.00	47.12	42.43	N 85°00'18" E	90°00'00"
RC-10	30.00	43.23	39.58	S 01°18'22" E	82°33'20"
RC-11	32.00	50.27	45.25	S 87°33'02" E	90°00'00"
RC-12	80.00	58.48	57.19	S 26°30'30" W	41°52'57"
RC-13	690.00	283.56	281.57	S 06°12'21" E	23°32'45"
RC-14	280.00	158.46	154.43	N 33°59'13" W	32°00'58"

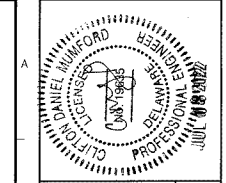
PROPOSED CURVE TABLE FOR LOTS

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
PC-5A	120.00	32.21	32.11	S 94°43'34" W	13°22'22"
PC-5B	120.00	55.51	55.02	N 18°49'09" E	26°30'15"
PC-6A	730.00	278.44	276.76	S 05°21'36" E	21°51'15"
PC-6B	730.00	21.50	21.50	N 1°07'58" W	174°13'00"
PC-12A	80.00	43.03	42.31	N 32°02'51" E	30°48'54"
PC-12B	80.00	15.45	15.45	N 11°06'03" E	11°04'03"



BENCHMARK #1
 IRON ROD W/
 CAP SET
 ELEV. = 16.88'
 LAT: 224,770.65
 LON: 723,644.57

BENCHMARK #2
 IRON ROD W/
 CAP SET
 ELEV. = 17.51'
 LAT: 225,137.96
 LON: 725,900.06



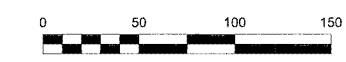
DAVIS, BOWEN & FRIEDEL, INC.
 ARCHITECTS ENGINEERS SURVEYORS
 SALESARY, MARYLAND (410) 645-8901
 MICHIGAN, MARYLAND (410) 641-1441
 WISCONSIN, MARYLAND (410) 641-1441
 EASTON, MARYLAND (410) 770-1744

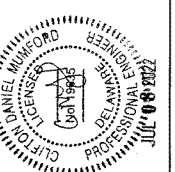
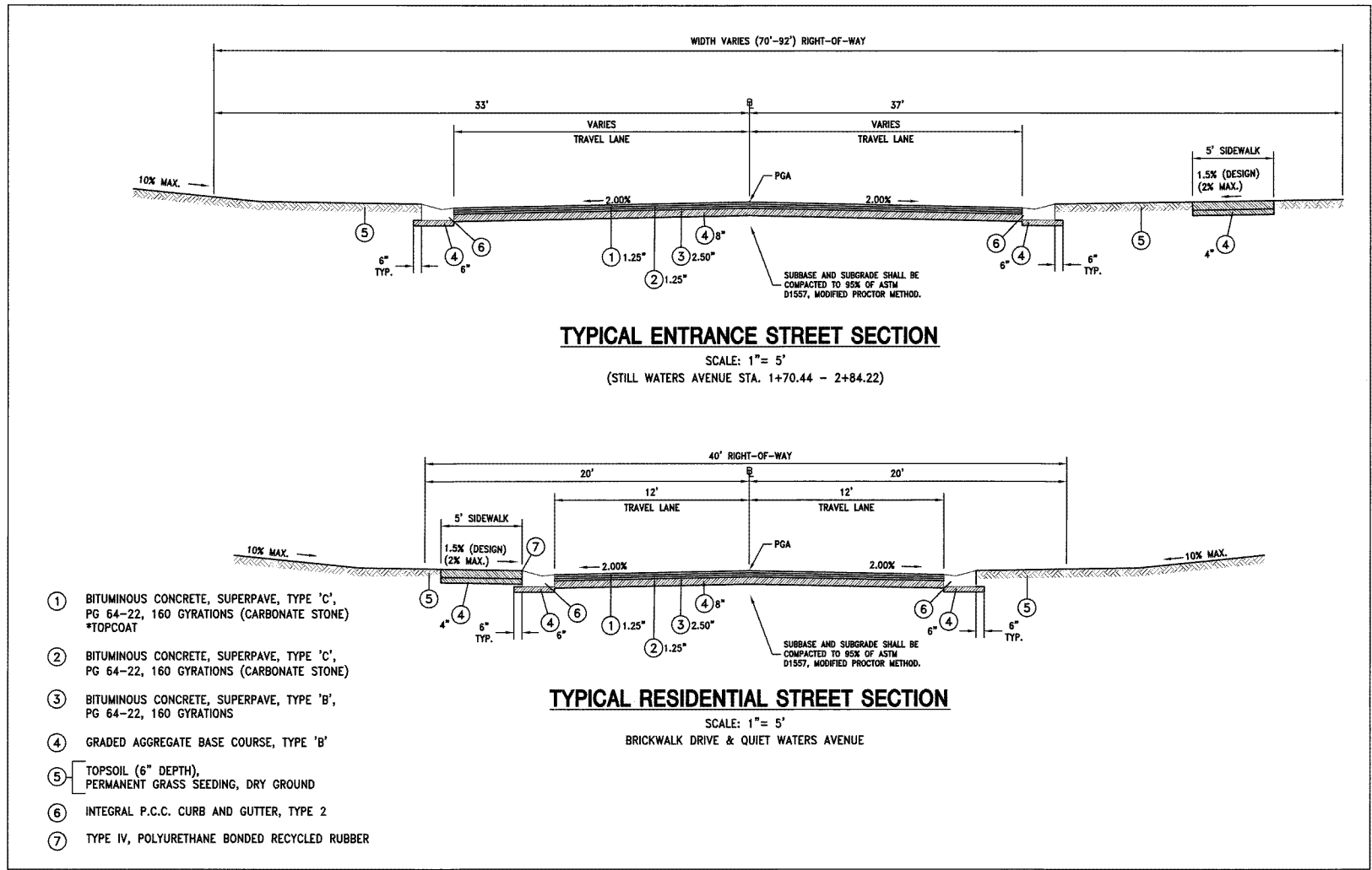
**PHASE 11 - STILL WATERS
 THE PENINSULA ON THE INDIAN RIVER BAY
 SUSSEX COUNTY, DELAWARE**

RECORD PLAN

Revision:
 2022-03-23: SCD
 SCE
 TUI
 2022-04-07: SCE
 2022-04-12: SCD
 2022-04-27: TUI
 2022-05-31: TUI
 2022-06-17: TUI

Date: DECEMBER, 2021
 Scale: 1" = 50'
 Dwn.By: BJM
 Proj.No.: 1319A052
 Dwg.No.: V-101





ARCHITECTS ENGINEERS SURVEYORS
 SUSSEX, MARYLAND
 (410) 843-3901
 EASTON, MARYLAND
 (410) 770-4744



RECORD PLAN TYPICAL SECTIONS

**PHASE 11 - STILL WATERS
 THE PENINSULA ON THE INDIAN RIVER BAY
 SUSSEX COUNTY, DELAWARE**

Revisions:

2022-03-23:	SCD
	SCE
	TUI
2022-04-07:	SCE
2022-04-12:	SCD
2022-04-27:	TUI
2022-05-31:	TUI
2022-06-17:	TUI

Date:	DECEMBER, 2021
Scale:	1" = 5'
Dwn.By:	TCB
Proj.No.:	1319A052
Dwg.No.:	V-102

Plant	Quantity	Plant Name	Plant Code
1	1	Redwood	RE1
2	1	Redwood	RE1
3	1	Redwood	RE1
4	1	Redwood	RE1
5	1	Redwood	RE1
6	1	Redwood	RE1
7	1	Redwood	RE1
8	1	Redwood	RE1
9	1	Redwood	RE1
10	1	Redwood	RE1
11	1	Redwood	RE1
12	1	Redwood	RE1
13	1	Redwood	RE1
14	1	Redwood	RE1
15	1	Redwood	RE1
16	1	Redwood	RE1
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41	1	Redwood	RE1
42	1	Redwood	RE1
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45	1	Redwood	RE1
46	1	Redwood	RE1
47	1	Redwood	RE1
48	1	Redwood	RE1
49	1	Redwood	RE1
50	1	Redwood	RE1



- SOUTHERN MAGNOLIA
- TORII OAK
- JAPANESE MAPLE
- REDWOOD
- RED PINE
- MAGNOLIA
- EASTERN RED CEDAR
- AMERICAN HOLLY
- SWEETGUM
- SYCAMORE
- AMELANCHIER
- NECTARINE
- RED PINE
- PINK SHRUB
- JAPANESE MAPLE
- EASTERN RED CEDAR
- JAPANESE MAPLE
- REDWOOD
- EASTERN RED CEDAR
- JAPANESE MAPLE
- REDWOOD

BLISSINGS
 9372 DRAPER RD
 MILFORD DE 19863

**BRADSHAW
 LANDSCAPE
 & IRRIGATION**
 21552 SIMPLER BRANCH RD
 GEORGETOWN DE 19947

No.	Date	Revised

NOTES

DATE: 4-9-21
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

BLESSING GREENHOUSES
AND
COMPOSTING FACILITY,
INC.

9372 Draper Road
Milford,
Cedar Creek Hundred,
Sussex County,
Delaware 19963

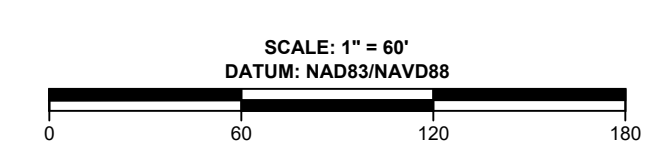
LIGHT PLAN AND SCHEDULE

Prepared By:
Masten Electric Inc.
405 W. Commerce St.
Smyrna, DE 19977



PROPOSED LEGEND

- Proposed Heavy Use Concrete Ramp
- Proposed Building with Concrete Floor
- Proposed Pavement
- Proposed Landscape Buffer



Light Plan Legend

A	Slim 17FACA100
B	Slim 17FAFC60
C	YBLED40N/PCU
D	Slim 17 FA15ADI

TYPE A—SLIM17FAFC100 - manufactured by RAB Lighting

DRIVER INFO	
Type:	Constant Current
120V	1.00A
208V	0.60A
240V	0.50A
277V	0.40A
Input Watts	102/102.8/101W

Color: Bronze

LED INFO	
Watts	100W
Color Temp	3000K/4000K/5000K
Color Accuracy	80 CRI
L70 Lifespan	100,000 Hours
Lumens	12833/14984/13166
Efficacy	125.8/145.8/130.4 lm/W

Weight: 10.6 lbs.

Field Adjustability

Field Adjustable:

Color Temperature selectable by 3000K, 4000K and 5000K

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Dark Sky Conformance:

Conforms to (allows for conformance to) the IDA's fully shielding requirement, emitting no light above 90 degrees (with the exclusion of incidental light reflecting from fixture housing, mounts, and pole).

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements. DLC Product Code: PLUXLTH10KVW

Performance

Lifespan:

100,000-Hour LED Lifespan based on IES LM-80 results and TM-21 calculations.

LED Characteristics

LEDs:

Long-life, high-efficiency, surface-mount LEDs

Electrical

Driver:

Constant Current, Class 1, 120-277V, 50/60 Hz, 120V: 1.00A, 208V: 0.60A, 240V: 0.50A, 277V: 0.40A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

Photocell:

120-277V selectable photocell that can be turned on and off.

Note:

All values are typical (tolerance +/- 10%)

Construction

IP Rating:

Ingress protection rating of IP65 for dust and water

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Maximum Ambient Temperature:

Suitable for use in up to 50°C (122°F)

Housing:

Precision die-cast aluminum housing and door frame

Lens:

Polycarbonate lens

Mounting:

Hinged wiring access and conduit entries on the back, sides, top, and bottom make installation a snap

Cut Off:

Full cutoff (0°)

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components

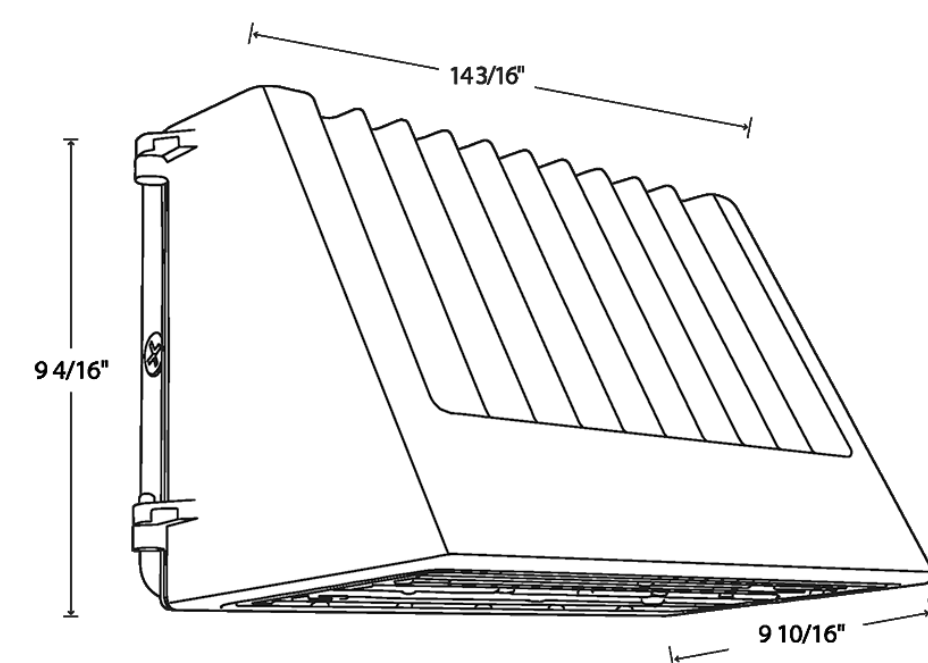
Other

Equivalency:

Equivalent to 400W Metal Halide

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA).



TYPE B—SLIM17FAFC60 - manufactured by RAB Lighting

DRIVER INFO	
Type:	Constant Current
120V	0.50A
208V	0.40A
240V	0.30A
277V	0.25A
Input Watts	57.9/58.4/57.2W

Color: Bronze

LED INFO	
Watts	60W
Color Temp	3000K/4000K/5000K
Color Accuracy	80 CRI
L70 Lifespan	100,000 Hours
Lumens	7035/8190/7251
Efficacy	121.6/140.3/126.7 lm/W

Weight: 7.1 lbs.

Field Adjustability

Field Adjustable:

Color Temperature selectable by 3000K, 4000K and 5000K

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Dark Sky Conformance:

Conforms to (allows for conformance to) the IDA's fully shielding requirement, emitting no light above 90 degrees (with the exclusion of incidental light reflecting from fixture housing, mounts, and pole).

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements. DLC Product Code: PLMKSTZVA46N

Performance

Lifespan:

100,000-Hour LED Lifespan based on IES LM-80 results and TM-21 calculations.

LED Characteristics

LEDs:

Long-life, high-efficiency, surface-mount LEDs

Electrical

Driver:

Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.50A, 208V: 0.40A, 240V: 0.30A, 277V: 0.25A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

Photocell:

120-277V selectable photocell that can be turned on and off.

Note:

All values are typical (tolerance +/- 10%)

Construction

IP Rating:

Ingress protection rating of IP65 for dust and water

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Maximum Ambient Temperature:

Suitable for use in up to 50°C (122°F)

Housing:

Precision die-cast aluminum housing and door frame

Lens:

Polycarbonate lens

Mounting:

Hinged wiring access and conduit entries on the back, sides, top, and bottom make installation a snap

Cut Off:

Full cutoff (0°)

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components

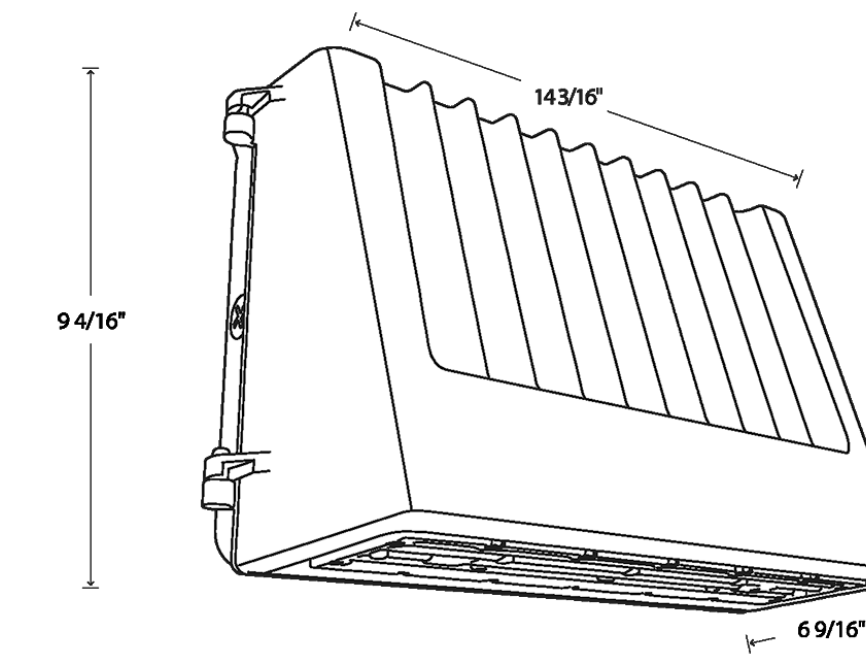
Other

Equivalency:

Equivalent to 350W Metal Halide

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA).



BLESSING GREENHOUSES AND COMPOSTING FACILITY, INC.

9372 Draper Road
Milford,
Cedar Creek Hundred,
Sussex County,
Delaware 19963

LIGHT PLAN AND SCHEDULE

Prepared By:
Masten Electric Inc.
405 W. Commerce St.
Smyrna, DE 19977

TYPE C—YBLED40N/PCU - manufactured by RAB Lighting

DRIVER INFO	
Type:	Constant Current
120V	0.4A
208V	0.217A
240V	0.188A
277V	0.17A
Input Watts	42W

LED INFO	
Watts	40W
Color Temp	4000K (Neutral)
Color Accuracy	72 CRI
L70 Lifespan	100,000 Hours
Lumens	5,563
Efficacy	132.5 lm/W

Color: Silver gray

Weight: 8.6 lbs.

Compliance

UL Listed:

Suitable for dry and wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaries and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 re-

Performance

Lifespan:

100,000-Hour LED Lifespan based on IES LM-80 results and TM-21 calculations.

LED Characteristics

LEDs:

Long-life, high-efficiency, surface-mount LEDs

Color Stability:

LED color temperature is warrantied to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Electrical

Driver:

Constant Current, Class 2, 120V-277V, 50/60 Hz, 1100mA, 120V: 0.4A, 208V: 0.217A, 240V: 0.188A, 277V: 0.17A

THD:

6.7% at 120V, 9% at 277V

Photocell:

120-277V Button photocell included. Photocell is compatible with 120V-277V.

Power Factor:

99.7% at 120V, 89.1% at 277V

Surge Protection:

4 kV Line-Line, 6 kV Line-Earth

Construction

IP Rating:

Ingress protection rating of IP66 for dust and water

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

IES Classification:

The Type V distribution produces light in a wide and uniform 360° pattern that is perfect for large outdoor areas such as parking lots, corporate parks, and retail settings.

Housing:

Precision die-cast aluminum housing and arm

Lens:

Flat polycarbonate lens

Mounting:

Mounts on wall or existing arm/pole YARM24 (1 5/8" diameter pipe)

Reflector:

High-reflectance white paint

Gaskets:

High-temperature silicone

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components

Optical

BUG Rating:

B2 U3 G2

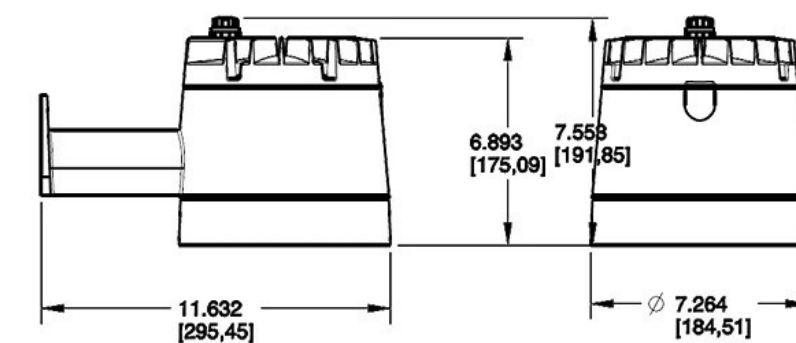
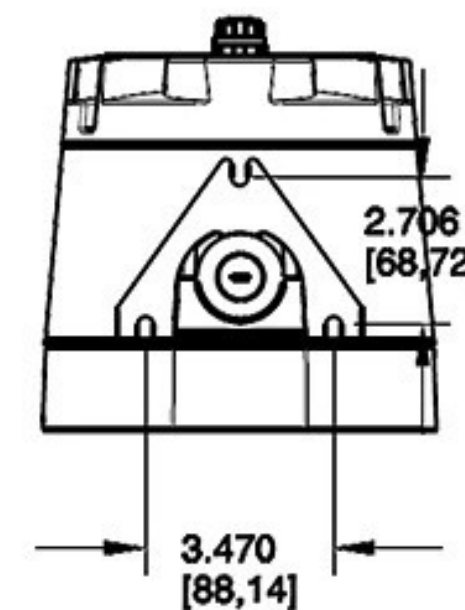
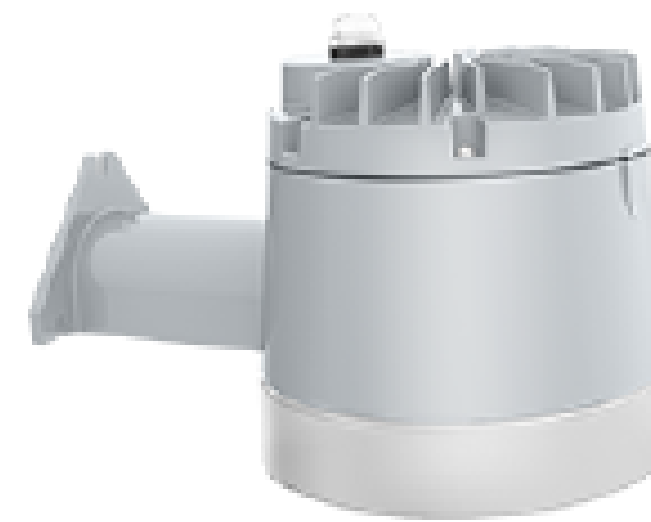
Other

Equivalency:

Equivalent to 175 HPS

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA).



TYPE D—SLIM17FA15ADJ - manufactured by RAB Lighting

DRIVER INFO	
Type:	Constant Current
120V	0.13A
208V	0.07A
240V	0.06A
277V	0.5A
Input Watts	14.2/14/14.2W

Color: Bronze

LED INFO	
Watts	15W
Color Temp	3000K/4000K/5000K
Color Accuracy	70 CRI
L70 Lifespan	100,000 Hours
Lumens	1761/1904/1852
Efficacy	124/136.2/130.3 lm/W

Weight: 3 lbs.

Field Adjustability

Field Adjustable:

Color Temperature selectable by 3000K, 4000K and 5000K

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaries and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements. DLC Product Code: PLOMVJOV62Q3

Performance

Lifespan:

100,000-Hour LED Lifespan based on IES LM-80 results and TM-21 calculations.

LED Characteristics

LEDs:

Long-life, high-efficiency, surface-mount LEDs

Electrical

Driver:

Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.13A, 208V: 0.07A, 240V: 0.06A, 277V: 0.05A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

Photocell:

120-277V integrated photocell included

Note:

All values are typical (tolerance +/- 10%)

Construction

IP Rating:

Ingress protection rating of IP65 for dust and water

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Maximum Ambient Temperature:

Suitable for use in up to 50°C (122°F)

Housing:

Precision die-cast aluminum housing and door frame

Lens:

Polycarbonate lens

Mounting:

Hinged wiring access and conduit entries on the back, sides, top, and bottom make installation a snap

Cut Off:

Adjustable from 0° (full cutoff) to 90°. 7 settings at 15° each.

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components

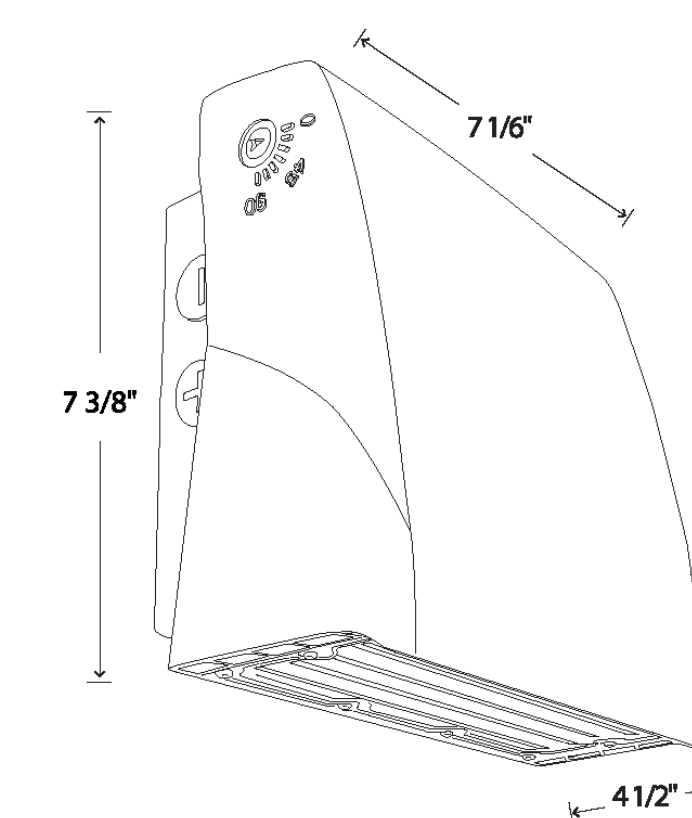
Other

Equivalency:

Equivalent to 70W Metal Halide

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA).



BLESSING GREENHOUSES AND COMPOSTING FACILITY, INC.

9372 Draper Road
Milford,
Cedar Creek Hundred,
Sussex County,
Delaware 19963

LIGHT PLAN AND SCHEDULE

Prepared By:
Masten Electric Inc.
405 W. Commerce St.
Smyrna, DE 19977



Jan 26, 2022

Mr. Bruce Blessing
Blessing Greenhouse and Compost Facility, Inc.
9372 Draper Road
Milford, DE 19963
blessingsblends@gmail.com

RECEIVED

FEB 01 2022

SUSSEX COUNTY
PLANNING & ZONING

RE: Blessing Greenhouses and Compost Facility

Dear Mr. Blessing:

A Sediment and Stormwater Management Plan has been reviewed for compliance with the Sediment and Stormwater Regulations and is approved with conditions (see attached). Enclosed herein please find a copy of the approved application form and approved plan sets. Please retain a copy for your use, and provide the contractor with a copy to be retained onsite at all times. Failure to keep an approved plan onsite is a violation of the approved plan.

Approval of a Sediment and Stormwater Plan does not grant or imply a right to discharge stormwater runoff. The owner/developer is responsible for acquiring any and all agreements, easements, etc., necessary to comply with State drainage and other applicable laws.

This plan approval pertains to compliance with the Delaware Sediment and Stormwater Regulations. Please understand that the approval of this plan does not relieve you from complying with any and all federal, state, county, or municipal laws and regulations.

As of January 1, 2014, the Sussex Conservation District began collecting financial guarantees to ensure the construction of stormwater management practices is accomplished in accordance with the approved sediment and stormwater plan. Please refer to the SCD Policy on Bonds located on our website at Sussexconservation.org. If you have any questions concerning the aforementioned, please do not hesitate to call 302 856-7219.

Sincerely,

Jessica Watson

Jessica Watson
Program Manager



CONDITIONS OF APPROVAL

NOTIFICATION

1. This approved plan will remain valid for 5 years from the date of this approval. If construction does not begin within five years, the approved plan will be considered to have expired and must be resubmitted to the District for a new review. In addition, if work is not completed within the five-year timeframe, the District must be contacted and a request for an extension submitted. Depending on regulation changes, a new plan may need to be submitted to ensure that all stormwater management facilities are constructed to the most recent standards.
2. Submittal of the Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activities together with this approval of the detailed Sediment and Stormwater Plan provide this project with Federal permit coverage to be authorized to discharge stormwater associated with construction activities. It is the owner's responsibility to ensure that permit coverage remains valid throughout construction by submitting the NOI fee annually as requested. The developer is responsible for weekly self-inspection reporting to be retained onsite.
3. Notify the Sussex Conservation District Sediment and Stormwater Management Section of your intent to begin construction in writing five (5) days prior to commencing. Failure to do so constitutes a violation of the approved plan.

CHANGES

1. This project is to be undertaken in accordance with the plans submitted and as approved. If changes are necessary at any time during the completion of the project, submit revised plans, prior to further construction, to the Sussex Conservation District Sediment and Stormwater Program for review and approval of the revision.
2. Should ownership change during the construction period, a revised plan must be submitted for approval showing the new owner's signature on the owner's certification. In addition, a Transfer of Authorization form must be submitted to DNREC to transfer Federal permit coverage to the new owner.

CONSTRUCTION AND CLOSEOUT

1. A pre-construction meeting must take place before any land disturbing activity begins. The meeting may take place on site and be attended by the owner, contractor, design consultant, Certified Construction Reviewer, and Sussex Conservation District Sediment and Stormwater Program Construction Reviewer. The owner or the owner's designee shall contact the Sussex Conservation Construction Reviewer to schedule the pre-construction meeting.
2. Keep available onsite, during all phases of construction, a copy of the approved Sediment and Stormwater Management Plan.
3. Keep available onsite, during all phases of construction, copies of the Developers weekly self-inspection reports and/or the CCR Reports.
4. Any sediment transported off-site to roads or road rights-of-way including ditches shall be removed. Any damage to ditches shall be repaired and stabilized to original condition.



5. Grading shall not impair surface drainage, create an erosion hazard, or create a source of sediment to any adjacent watercourse or property owner.
6. Failure to implement the permanent stormwater management practices as mentioned herein constitutes a violation of the conditions of this plan approval; it may result in the suspension or revocation of building permits or grading permits issued by the local jurisdiction, and it may result in legal action by the DNREC to bring the site into compliance with the approved Sediment and Stormwater Management Plan and the Delaware Sediment and Stormwater Regulations.
7. The permanent stormwater management facility or facilities must be constructed and accepted by the Sussex Conservation District Sediment and Stormwater Program prior to final closeout of the project site. Post-construction verification documentation of the stormwater management facility or facilities must be completed as soon as construction of the facility or facilities is complete so that any necessary modifications may be made during the construction period.



DETAILED SEDIMENT AND STORMWATER MANAGEMENT PLAN APPLICATION

NAME OF PROJECT: Blessing Greenhouses and Compost Facility, Inc.
PROJECT DESCRIPTION: New Composting Facility at Existing Operation
LOCATION OF PROJECT: 9372 Draper Road Milford, DE 19963
PROJECT TAX MAP NUMBER: 2-30-15.00-34.00 & P/O 2-30-15.00-35.00
PROJECT COORDINATES (center of site-decimal degrees) LAT: 75°18'25.95" W LONG: 38°51'13.67" N
TYPE OF PROJECT: Industrial WATERSHED: Broadkill River
NUMBER OF LOTS: 1 TOTAL ACRES: 31.94 DISTURBED ACRES: 25.40

APPLICANT'S CONTACT INFORMATION

FIRST NAME: Bruce LAST NAME: Blessing
COMPANY NAME: Blessing Greenhouses and Compost Facility, Inc.
ADDRESS: 9372 Draper Road
CITY: Milford STATE: Delaware ZIP: 19963
PHONE NUMBER: (302)393-3273 FAX NUMBER: (302)684-8896
EMAIL ADDRESS: blessingsblends@gmail.com

CONSULTANT CONTACT INFORMATION

CONSULTANT/ENGINEER NAME: Stephens Environmental Consulting, Inc.
CONTACT PERSON/PROJECT MANAGER: Bill Stephens
PHONE #: (302) 540-3453 FAX #: ()
EMAIL ADDRESS: bstephens@stephensenv.com

SUSSEX CONSERVATION DISTRICT APPROVAL

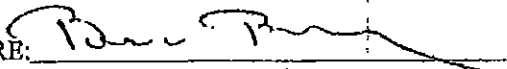
REVIEWER: Jana Justice (SJ) DATE: 1/26/2022
APPROVAL: [Signature] DATE: 1/26/2022

If ownership of this project changes during the construction period, Sussex Conservation District will require a new signed owner's certification statement.... In addition, the authorization to discharge stormwater under the regulations Part 2 Special Conditions for Storm Water Discharges Associated with Construction Activities, must be transferred by the original owner to the new owner, please contact DNREC for assistance at 302-739-9921.

23818 SHORTLY ROAD, GEORGETOWN, DE 19947 • office: 302.856.2105 • fax: 302.856.0951 • SUSSEXCONSERVATION.ORG

OWNER/DEVELOPER CERTIFICATION

- I/We certify that the information on this form and the attached plans are true and accurate to the best of my/our knowledge.
- I/We understand that DNREC/Delegated Agency may request information in addition to that set forth herein as may be deemed appropriate in considering this application.
- I/We will abide by the conditions of this approval as issued.
- I/We hereby certify that all clearing, grading, construction and/or development will be done pursuant to the approved plan, and that all responsible personnel involved in the land disturbing activities will have a Sediment and Stormwater Management Certification from DNREC/Delegated Agency.
- I/We hereby authorize the right of entry for periodic on site inspection by DNREC/Delegated Agency personnel and/or authorized agents.



OWNER/DEVELOPER SIGNATURE:  DATE: 10-18-21
OWNER/DEVELOPER PRINTED NAME: Bruce Blessing

AGENT AUTHORIZATION

(If this authorization form is completed with the application, all future correspondence may be signed by the duly authorized agent.)

I, Bruce Blessing, hereby designate and authorize the following identified agent to act on my behalf in the processing of this application and to furnish any information that is requested.

AGENT NAME: Bill Stephens, Stephens Environmental Consulting, Inc.
AGENT ADDRESS: 11 Ailsa Court
CITY: Rising Sun STATE: MD ZIP: 21911
AGENT PHONE #: (302) 286-0406 FAX #: _____
EMAIL ADDRESS: bstephens@stephensenv.com

OWNER/DEVELOPER SIGNATURE:  DATE: 10-18-21
AGENT SIGNATURE:  DATE: 10-19-21

Please attach project Supplemental BMP Data Sheet to the Detailed Sediment and Stormwater Management Plan Application.

PROJECT BMP DATA SHEET

List the BMP(s) utilized in the project stormwater management quantity and water quality strategy.

BMP NAME	BMP TYPE	ACRES TREATED	BMP LOCATION COORDINATES (@ BMP release point - decimal degrees)	
			LATITUDE	LONGITUDE
SGW	Other	11.38	75°18'22.27"	38°51'07.39"
Grassed Channel	Other	.49	75°18'27.36"	38°51'08.98"
Grassed Channel	Other	6.31	75°18'31.32"	38°51'13.96"
Detention Basin	Other	4.72	75°18'22.66"	38°51'18.87"
	No BMP selected			
	No BMP selected			
	No BMP selected			
	No BMP selected			

FUQUA, WILLARD & SCHAB, P.A.

James A. Fuqua, Jr.
William Schab
Timothy G. Willard

Phone: 302-856-7777
Fax: 303-856-2128
www.fwsdelaw.com

Paynter House
26 The Circle
Georgetown, DE

October 21, 2022

Hand Delivered and Emailed

Mr. Jamie Whitehouse, Director
Mr. Michael Lowrey, Planner III
Planning & Zoning Commission
2 The Circle
P.O. Box 417
Georgetown, DE 19947

SUSSEX COUNTY
PLANNING & ZONING

OCT 21 2022

RECEIVED

**Re: Blessing Greenhouses & Compost Facility on the Lands
of Blessing Greenhouses Compost Facility Inc.
Tax Parcels 230-15.00-34.00-34.00 & p/o 230-15.00-35.00
Final C/U Site Plan**

Dear Jamie and Michael:

Pursuant to 4.F and 4.L of Blessing's Settlement Agreement with County Council and in response to Michael's previous review, I am delivering the complete Final Site Plan. With this letter, and digitally emailed to you and those copied here, are the following:

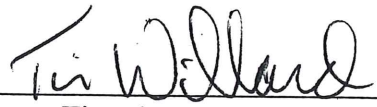
1. This cover letter,
2. Stephens Environmental Letter Responding to your last review letter,
3. Signed Final Site Plan, Stephens Environmental Consulting, Inc.,
4. Landscape Plan with Species and Dimensions, Bradshaw Landscape LLC,
5. Electric Lighting Plans, Masten,
6. Building Plans, Vector Engineers, and
7. Foundation Plans, Vector Engineers.

This project is much farther along than a typical Conditional Use site plan as you can see from the technical building plans. In addition, federal grants are available and being pursued because of the positive economic and environmental nature of this project.

Therefore, my client is requesting Planning Commission Final Site Plan approval. I would be happy to schedule a meeting with you and your staff after you review the plans.

Very truly yours,

FUQUA, WILLARD & SCHAB, PA

By 
Timothy G. Willard

Pc: Everett Moore, Esq.
Blessing Greenhouses and Compost Facility, Inc.
Stephens Environmental Consulting, Inc.

Attachments



Stephens Environmental Consulting, Inc.

**Environmental Consulting ♦ Engineering ♦ Land Planning ♦ Remediation
Conventional & GPS Surveying ♦ GIS Services
Drone Based Aerial Mapping & Videography**

Home Office

11 Ailsa Court, Rising Sun, MD 21911
Phone: (302) 286-0406 Mobile: (302) 540-3453

www.StephensENV.com

VIA hand delivery

Michel Lowrey>

Wednesday, October 5, 2022

Mr. Michael Lowry
Planner III
Sussex County Planning and Zoning Commission
2 The Circle
Georgetown, DE 19947

W.O.1646.CJ Blessing Greenhouses
& Compost Facility Site Plan
RE: Response to Site Plan Comments
9372 Draper Road, Milford
Sussex County, Delaware 19963

Dear Mr. Lowry:

Stephens Environmental Consulting, Inc. (SECI) has reviewed and provided responses herein to your comments on the Site Plan as contained in your letter dated April 4th, 2022.

With respect to your comments, we offer the following responses (your comment in italics, SECI responses in bold):

Final Plan

1. *Staff notes that the proposed heights of the structures in the plan are not provided. Please include the heights of all proposed structures. (§115-221(8)(9)) Staff specifically note the improvements labeled as Buildings #1 through #5 in the plan where the plan indicates a "FFE" for each of the proposed buildings. If this refers to Final Floor Elevation, this appears to be incongruent with the renderings the applicant has provided. Please clarify the proposed building heights as well as the height context of the "HVC Ramps" adjacent to the proposed buildings in the plan. Staff notes that the maximum permitted height requirement in the AR-1 Zoning District is forty-two (42) feet. (§115-25(D)).*

No building will exceed 42 feet and heights are noted on the plan.

2. *Please include the following items in the plan's Site Data column:*
 - *The current use of the site – (Agricultural) Done.*
 - *The proposed use of the site – (Agricultural-CU) Done.*
 - *FEMA Firm Map number and date - Done*
 - *The road classification for Draper Road – (Local) Done.*

RECEIVED

OCT 21 2022

SUSSEX COUNTY
PLANNING & ZONING

3. *Staff note that the mean high water line associated with the required fifty (50) non-tidal buffer is not included in the plan. (§115-193(B)) Please label and include this line data in any revised plan.*
Done.
4. *Please note that a Final Site Plan will require that the impervious cover area be shown as acreage and a percentage of the overall site development area in the Plan's data column. (115- 221(B)(15)).*
Done.
5. *Staff notes that the plan includes lines denoting the "Limit of Disturbance" for the project as well as a the "Lease Line" for lands within Tax Parcel # 230-15.00-35.00 but does not include a line delineating the overall area where the conditional use is permitted. Please provide a line specifically delineating the bounds on the site where the conditional use is permitted.*
A note has been included on the cover sheet stating, "The boundary of the conditional use plan is the entire plan boundary."
6. *Staff notes that all the setbacks for each of the proposed building are not included in the applicant's submission. Please include the setbacks for all proposed buildings in any revised plan (§115-220(8)).*
Building restriction lines are already shown. Clearly none of the buildings are anywhere near the "setbacks" or BRLs. As-built distances may be provided but it is premature. Proposed offsets have been added for clarity.
7. *Please provide more detail regarding the "Coverall Building" structure. Will this be a rack type or lean-to style building? What type of component or materials, structural or otherwise, will be spanning the top of the structure?*
Building plans prepared by SCS Engineers and Clearspan are attached.
8. *Staff notes that a total of eighteen (18) parking spaces are provided at four (4) locations in the plan which are to be completed across the three proposed phases. Staff requests that the applicant amend the Site Data column to include parking calculations or provide a parking table in the plan indicating the calculations per the specific use of proposed structures as required under (§115-162).*
18 spaces are shown which well exceeds that needed for employees and visitors for this use. Manufacturing is based on estimated number of employees, not square footage.
9. *Staff notes that the proposed use will require various loading areas. Please provide the number, location, and dimensions of loading spaces in the plan as required under (§115-167) and (§115-170).*
This area for the phase 1 building is within the building as shown. This area and other loading areas will be added to the plan if applicable.
10. *Staff notes that the applicant's Landscape Plan does not provide a breakdown in terms of the deciduous and evergreen trees listed as part of the required landscaped buffer. Please include this information to ensure the plan complies with the requirements under (§99- 5 Forested and/or Landscaped Buffer).*
Plans prepared by Bradshaw Landscaping are attached herewith.

11. *Staff notes that Condition L as part of the Conditional Use (C/U 2071) approval requires the Final Site Plan include the “heights and/or diameter of plantings shown and signed by a licensed Landscape Architect or Certified Nursery Professional”. Please include these dimensional requirements for the plant materials as well as a signature panel with printed contact information so that the Landscape Plan’s designated signatory can be verified.*

Plans prepared by Bradshaw Landscaping are attached herewith.

12. *Staff notes that the plan proposes signs at both vehicular access point on Draper Road. Please note that a Final Site Plan will require that the plan show the location, character, size, height, and orientation of any proposed signs on the site and include a note that any sign will require a sign permit. (115-221(B)(11)). One roadside sign is proposed for each entrance and will be permitted as required.*

13. *Please note that a Final Site Plan will require that the plan show any proposed outdoor lighting systems on the site. (115-221(B)(5)).*

Attached is the lighting plan by Masten electric.

14. *Please note that any Final Site Plan shall be signed by the owner.*

Understood, a signature block for owners and tenant are included on the Plan.

15. *Prior to approval of the Final Site Plan, approval letters or letters of no objection from the following agencies shall be submitted to the Sussex County Planning and Zoning Office:*

a. *Delaware Department of Transportation (DelDOT)*

Delaware Department of Transportation (DelDOT) was consulted during the SCD submission. Because the entrance already existed, DelDOT had no objection to the existing entrances. See email body below dated January 13, 2022.

Bill,

As long as all the improvements/work are outside DelDOT’s Right-of- Way, DelDOT has no involvement in with this project.

Thanks,
Matt Schlitter
South District Public Works Engineer
302.853.1340 (Office)

b. *Sussex Conservation District*

Sussex Soil Conservation District has approved the stormwater management plan, and it has been submitted.

c. *State Fire Marshal*

State Fire Marshal plans are being prepared by others and approval will be submitted under a separate cover. SCS Engineers and Clearspan buildings are in the process of obtaining Fire Marshal approval.

- d. *DNREC – Evidence that any required coordination has been undertaken.*
DNREC has worked very closely with the applicant in the past and continues to do so. They do not issue letters of no objection. DNREC has been waiting for the Final Site Plan approval to complete their approval process. The County will receive the Permit before use operation may commence. DNREC is already preparing a Draft permit.

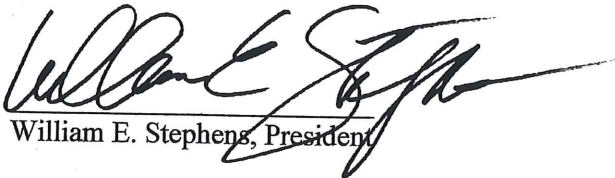
Please provide **one (1) full-size copy** and **one (1) electronic copy** of a Revised Final Site Plan when revisions are complete if you wish for your application to be considered at the next available Planning and Zoning Commission meeting.

Will do.

We trust that our response above and the revisions to the plan will be satisfactory and we look forward to your favorable review.

Thank you for your time and consideration. Please contact our office if you have any questions or require additional information.

Sincerely,


William E. Stephens, President

DATE: Wednesday, October 5, 2022

WES/nbs

BUILDING LOADS / DESCRIPTION:

WIDTH: 160 LENGTH: 250.67 HEIGHT: 15 / 15
 WIDTH: 80 LENGTH: 60.67 HEIGHT: 15 / 41.67

(BUILDING DIMENSIONS ARE NOMINAL. REFER TO PLANS).

THIS STRUCTURE IS DESIGNED UTILIZING THE LOADS INDICATED AND APPLIED AS REQUIRED BY : IBC 18

RISK CATEGORY: I - Low

CONSTRUCTION TYPE: IIB

THE CONTRACTOR IS TO CONFIRM THAT THESE LOADS COMPLY WITH THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT.

ROOF DEAD LOAD:	<u>2.0</u>	PSF (ROOF PANELS & PURLINS)		
COLLATERAL LOAD:	<u>0.5</u>	PSF	BASIC WIND SPEED:	<u>108</u> MPH
ROOF LIVE LOAD:	<u>5.000</u>	PSF	WIND EXPOSURE:	<u>C</u>
GROUND SNOW LOAD:	<u>20</u>	PSF	INTERNAL PRESSURE COEFF.:	
SNOW EXPOSURE:	<u>1.0</u>		<u>0.18</u> / <u>-0.18</u>	
THERMAL FACTOR:	<u>1.20</u>		WIND IMP. FACTOR	<u>1.00</u>
SNOW IMP. FACTOR:	<u>0.80</u>		MAPPED SPECTRAL RESPONSE ACC.	SPECTRAL RESPONSE COEFF.
ROOF SNOW LOAD:	<u>12.6</u>	PSF	Ss <u>0.12</u>	Sds <u>0.12</u>
SITE CLASS:	<u>d</u>		S1 <u>0.04</u>	Sd1 <u>0.06</u>
SEISMIC DESIGN CAT.:	<u>A</u>		DESIGN BASE SHEAR, V:	
SEISMIC IMP. FACTOR	<u>1.00</u>		EXPANDED FORMULA	<u>0.667*le*Fa*Ss*W/R</u>
Cs (LONGITUDINAL)	<u>0.041</u>		LONGITUDINAL	<u>8.24 (160x250.67), 1.24 (80x60.67)</u>
Cs (TRANSVERSE)	<u>0.041</u>		SEISMIC FORCE RESISTING SYSTEM	TRANSVERSE <u>8.32 (160x250.67), 1.24 (80x60.67)</u>
R (LONGITUDINAL)	<u>3</u>		STEEL SYSTEMS NOT SPECIFICALLY DETAILED FOR SEISMIC RESISTANCE	
R (TRANSVERSE)	<u>3</u>		STEEL SYSTEMS NOT SPECIFICALLY DETAILED FOR SEISMIC RESISTANCE	

GENERAL NOTES:

- ALL STRUCTURAL STEEL SECTIONS AND WELDED PLATE MEMBERS ARE DESIGNED IN ACCORDANCE WITH THE AISC "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" AS REQUIRED BY THE SPECIFIED BUILDING CODE.
- ALL WELDING OF STRUCTURAL STEEL IS BASED ON AWS D1.1 "STRUCTURAL WELDING CODE", LATEST EDITION.
- MATERIALS:
 PLATE, FLANGE, AND WEB MATERIAL.....A572 GRADE 50 OR A529 GRADE 50
 STRUCTURAL TUBE.....A500, Fy = 50 ksi MIN.
 HOT-ROLLED STRUCTURAL.....A992 OR A572 GRADE 50
 ROD BRACING.....F1554 GRADE 55
 HIGH-STRENGTH BOLTS.....A325
 BLIND BOLTS....."HOLLO-BOLT" OR "BOXBOLT" BRANDS ACCEPTABLE
 FABRIC.....DAF 29CPPVDF##G75 (FIRE-RATED PER NFPA 701)
 POLY CARB.....THERMAGLAS TWIN-WALL 8MM
- BOLT TIGHTENING REQUIREMENTS:
 ALL HIGH STRENGTH BOLTS ARE A325 UNLESS NOTED OTHERWISE.
 ALL BOLTED CONNECTIONS SHALL BE SNUG TIGHT.
 WASHERS ARE NOT REQUIRED UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL STEEL TO BE HOT-DIP GALVANIZED.
- WINDOWS AND DOORS THAT ARE PROVIDED BY OTHERS ARE ASSUMED TO MEET WIND LOADING REQUIREMENTS OF THE BUILDING STRUCTURE. THEY MUST BE PROTECTED BY AN IMPACT-PROTECTIVE SYSTEM OR HAVE IMPACT-RESISTANT GLAZING AS REQUIRED BY THE BUILDING CODE.
- COLLATERAL LOADS, UNLESS NOTED OTHERWISE, SHALL BE UNIFORMLY DISTRIBUTED. IF CONCENTRATED LOADS ARE TO EXCEED 250 LBS, CONTACT THE METAL BUILDING SUPPLIER.
- IF SNOW GUARDS OR OTHER DEVICES INTENDED TO HOLD SNOW AND/OR ICE ON THE ROOF SYSTEM ARE TO BE USED ON THIS BUILDING, THEY MUST BE INSTALLED UNDER THE GUIDANCE OF THE ENGINEER OF RECORD TO NOT EXCEED THE DESIGN ROOF SNOW LOAD.

FOUNDATION AND ANCHOR BOLTS:

- FOUNDATION AND ANCHOR DESIGN IS NOT BY CLEARSPAN. THE FOUNDATION AND ANCHOR DESIGN IS BY OTHERS. REFER TO ANCHOR BOLT PLAN GENERAL NOTES - NOTE 2 ON SHEET B2 FOR FURTHER INFORMATION.

SITE ADDRESS: 9372 DRAPER ROAD
MILFORD, DE 19963

BUILDER / CONTRACTOR RESPONSIBILITIES

IT IS THE RESPONSIBILITY OF THE BUILDER/CONTRACTOR TO ENSURE THAT ALL PROJECT PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE REQUIREMENTS OF ANY GOVERNING BUILDING AUTHORITIES. THE SUPPLYING OF SEALED ENGINEERING DATA AND DRAWINGS FOR THE METAL BUILDING SYSTEM DOES NOT IMPLY OR CONSTITUTE AN AGREEMENT THAT THE METAL BUILDING SYSTEM MANUFACTURER OR ITS DESIGN ENGINEER IS ACTING AS THE ENGINEER OF RECORD OR DESIGN PROFESSIONAL FOR A CONSTRUCTION PROJECT.

APPROVAL OF THE METAL BUILDING SYSTEM MANUFACTURER'S DRAWINGS AND CALCULATIONS INDICATE THAT THE METAL BUILDING SYSTEM MANUFACTURER CORRECTLY INTERPRETED AND APPLIED THE REQUIREMENTS OF THE CONTRACT DRAWINGS AND SPECIFICATIONS. (SECT. 4.4.1 AISC CODE OF STANDARD PRACTICE, 2016 ED.) WHERE DISCREPANCIES EXIST BETWEEN THE METAL BUILDING SYSTEM MANUFACTURER'S STRUCTURAL STEEL PLANS AND THE PLANS FOR OTHER TRADES, THE STRUCTURAL STEEL PLANS SHALL GOVERN. (SECT. 3.3 AISC CODE OF STANDARD PRACTICE, 2016 ED.) DESIGN CONSIDERATIONS OF ANY MATERIALS IN THE STRUCTURE WHICH ARE NOT FURNISHED BY THE METAL BUILDING SYSTEM MANUFACTURER ARE THE RESPONSIBILITY OF THE CONTRACTORS AND ENGINEERS OTHER THAN THE METAL BUILDING SYSTEM MANUFACTURER'S ENGINEER UNLESS SPECIFICALLY INDICATED.

THE CONTRACTOR IS RESPONSIBLE FOR ALL ERECTION OF STEEL AND ASSOCIATED WORK IN COMPLIANCE WITH THE METAL BUILDING SYSTEM MANUFACTURER "FOR CONSTRUCTION" DRAWINGS.

ALL BRACING AS SHOWN AND PROVIDED BY THE METAL BUILDING SYSTEM MANUFACTURER FOR THIS BUILDING IS REQUIRED AND SHALL BE INSTALLED BY THE ERECTOR AS A PERMANENT PART OF THE STRUCTURE.

TEMPORARY SUPPORTS, SUCH AS TEMPORARY GUYS, BRACES, FALSE WORK, CRIBBING OR OTHER ELEMENTS REQUIRED FOR THE ERECTION OPERATION WILL BE DETERMINED AND FURNISHED AND INSTALLED BY THE ERECTOR. THESE TEMPORARY SUPPORTS WILL SECURE THE STEEL FRAMING, OR ANY PARTLY ASSEMBLED STEEL FRAMING, AGAINST LOADS COMPARABLE IN INTENSITY TO THOSE FOR WHICH THE STRUCTURE WAS DESIGNED, INCLUDING THOSE RESULTING FROM WIND AND ERECTION OPERATIONS, BUT NOT THE LOADS RESULTING FROM THE PERFORMANCE OF WORK BY OR THE ACTS OF OTHERS, NOR SUCH UNPREDICTABLE LOADS AS THOSE DUE TO HURRICAN, TORNADO, EARTHQUAKE, EXPLOSION, OR COLLISION. (SECT. 7.10.3 AISC CODE OF STANDARD PRACTICE, 2016 ED.)

ONCE OWNER HAS SIGNED THE APPROVAL PACKAGE AND THE PROJECT IS RELEASED FOR FABRICATION, CHARGES AFTER APPROVAL SHALL BE BILLED TO THE OWNER. CHARGES CAN INCLUDE MATERIAL, ENGINEERING, OR OTHER COSTS. AN ADDITIONAL FEE MAY BE CHARGED IF THE PROJECT MUST BE MOVED FROM FABRICATION AND SHIPPING SCHEDULE.

WARNING : IN NO CASE SHOULD GALVALUME STEEL PANELS BE USED IN CONJUNCTION WITH LEAD OR COPPER. BOTH WARNING: LEAD AND COPPER HAVE HARMFUL CORROSION EFFECTS ON THE ALUMINUM ZINC ALLOY COATING WHEN THEY ARE USED IN CONTACT WITH GALVALUME STEEL PANELS. EVEN RUN-OFF FROM COPPER FLASHING, WIRING, OR TUBING ONTO GALVALUME SHOULD BE AVOIDED.

APPROVAL NOTES

THE FOLLOWING CONDITIONS APPLY IN THE EVENT THAT THESE DRAWINGS ARE USED AS APPROVAL DRAWINGS: IT IS IMPERATIVE THAT ANY CHANGES TO THESE DRAWINGS BE MADE IN CONTRASTING INK (PREFERABLY RED INK), HAVE ALL INSTANCES OF CHANGE CLEARLY INDICATED, AND BE LEGIBLE AND UNAMBIGUOUS. A SIGNATURE AND DATE IS REQUIRED ON ALL PAGES. MANUFACTURER RESERVES THE RIGHT TO RE-SUBMIT DRAWINGS WITH EXTENSIVE OR COMPLEX CHANGES REQUIRED TO AVOID MIS-FABRICATION. THIS MAY IMPACT THE DELIVERY SCHEDULE. APPROVAL OF THESE DRAWINGS INDICATES CONCLUSIVELY THAT THE METAL BUILDING SYSTEM MANUFACTURER HAS CORRECTLY INTERPRETED THE CONTRACT REQUIREMENTS, AND FURTHER CONSTITUTES AGREEMENT THAT THE BUILDING AS DRAWN WITH INDICATED CHANGES REPRESENTS THE TOTAL OF THE MATERIALS TO BE SUPPLIED BY MANUFACTURER. ANY CHANGES NOTED ON THE DRAWINGS NOT IN CONFORMANCE WITH THE TERMS AND REQUIREMENTS OF THE CONTRACT BETWEEN MANUFACTURER AND ITS CUSTOMER ARE NOT BINDING ON MANUFACTURER UNLESS SUBSEQUENTLY SPECIFICALLY ACKNOWLEDGED AND AGREED TO IN WRITING BY CHANGE ORDER OR SEPARATE DOCUMENTATION. MANUFACTURER RECOGNIZES THAT RUBBER STAMPS ARE ROUTINELY USED FOR INDICATING APPROVAL, DISAPPROVAL, REJECTION, OR MERE REVIEW OF THE DRAWINGS SUBMITTED. HOWEVER, MANUFACTURER DOES NOT ACCEPT CHANGES OR ADDITIONS TO CONTRACTUAL TERMS AND CONDITIONS THAT MAY APPEAR WITH USE OF A STAMP OR SIMILAR INDICATION OF APPROVAL, DISAPPROVAL, ETC. SUCH LANGUAGE APPLIED TO MANUFACTURER'S DRAWINGS BY THE CUSTOMER, ARCHITECT, ENGINEER, OR ANY OTHER PARTY WILL BE CONSIDERED AS UNACCEPTABLE ALTERNATIONS TO THESE DRAWING NOTES, AND WILL NOT ALTER THE CONTRACTUAL RIGHTS AND OBLIGATIONS EXISTING BETWEEN MANUFACTURER AND ITS CUSTOMER.

THE OWNER MUST SECURE ALL REQUIRED APPROVALS AND PERMITS FROM THE APPROPRIATE AGENCY AS REQUIRED.

DRAWING INDEX

COVER SHEET:	<u>C1, C2</u>
ANCHOR BOLT PLAN:	<u>B1, B2</u>
ANCHOR BOLT REACTIONS:	<u>BR1, BR2</u>
PRIMARY PLANS / SECTIONS:	<u>E1, E2, E3, E4, E5, E6, E7, E8</u>
PRIMARY PLANS / SECTIONS:	<u>E9, E10, E11, E12</u>
DETAILS:	<u>D1, D2, D3, D4</u>

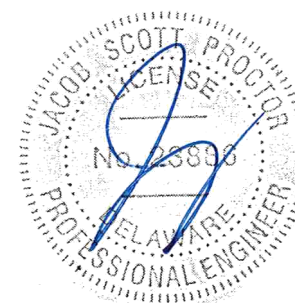


WARNING: Cancer and Reproductive Toxicity - P65Warnings.ca.gov



ORDER #: 7743267

CUSTOMER #: 8689394



08/29/2022

PROFESSIONAL SEAL

CUSTOMER INFORMATION: BLESSING BLENDS 9372 DRAPER RD MILFORD, DE 19963	CONTACT PHONE: 302-684-8896	STRUCTURE SKU #: 00229	STRUCTURE SIZE: 160'-0" x 250'-8" x 15'-0" & 80'-0" x 60'-8" x 15'-0" x 41'-8"	SHEET TITLE: COVER PAGE
	CUSTOMER CONTACT: BRUCE BLESSING			

DRAWING DETAILS				
DRAWN BY:	JKP	CREATION DATE:	05/12/2022	
REVISIONS:				
NO.	BY:	DATE:	DESCRIPTION:	
2	JKP	08/23/2022	PER CHANGE ORDER 3	
1	JKP	07/27/2022	PER CHANGE ORDER 2	
NO SCALE				
SHEET SIZE: 11X17				SHEET: C1

ORDER #: 7743267

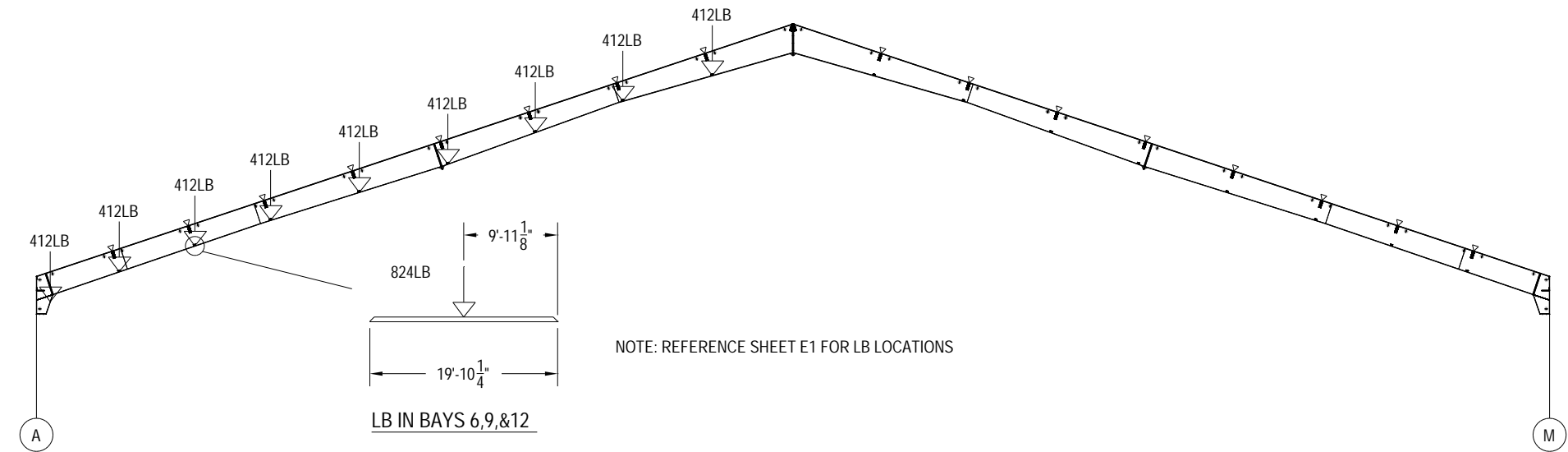
CUSTOMER #: 8689394

VECTOR
 ENGINEERS
 651 W. GALENA PARK BLVD. STE. 101 DRAPER, UTAH 84020
 PHONE (801) 990-1775
 WWW.VECTORSE.COM
 Firm License Number: COA 3155
 VSE Project Number: U1382-808-224

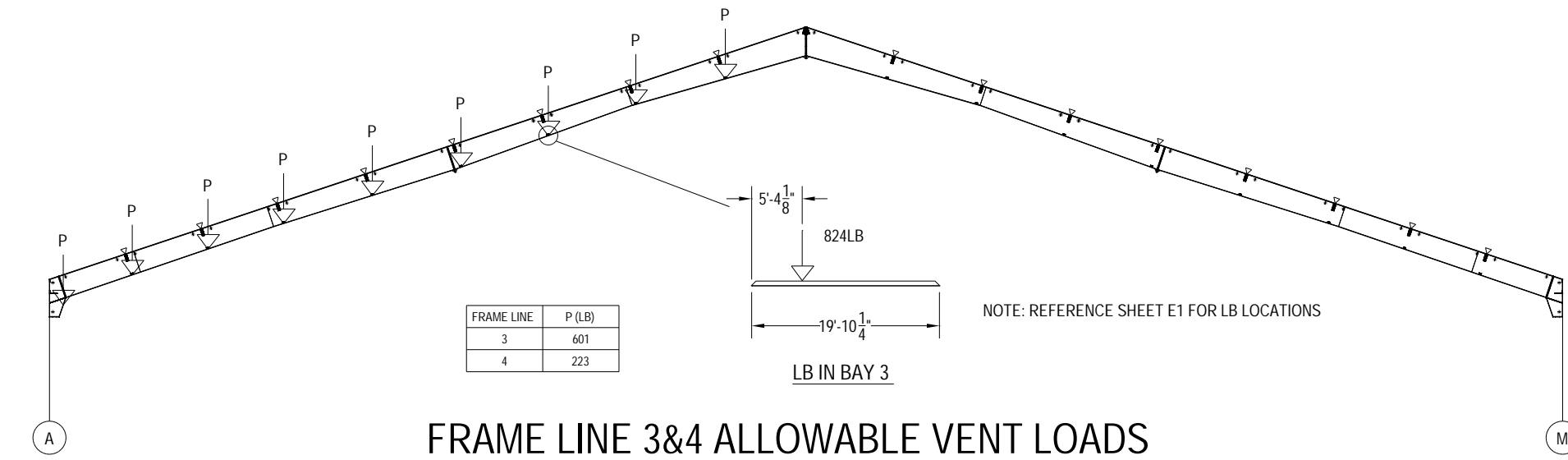


08/29/2022

PROFESSIONAL SEAL

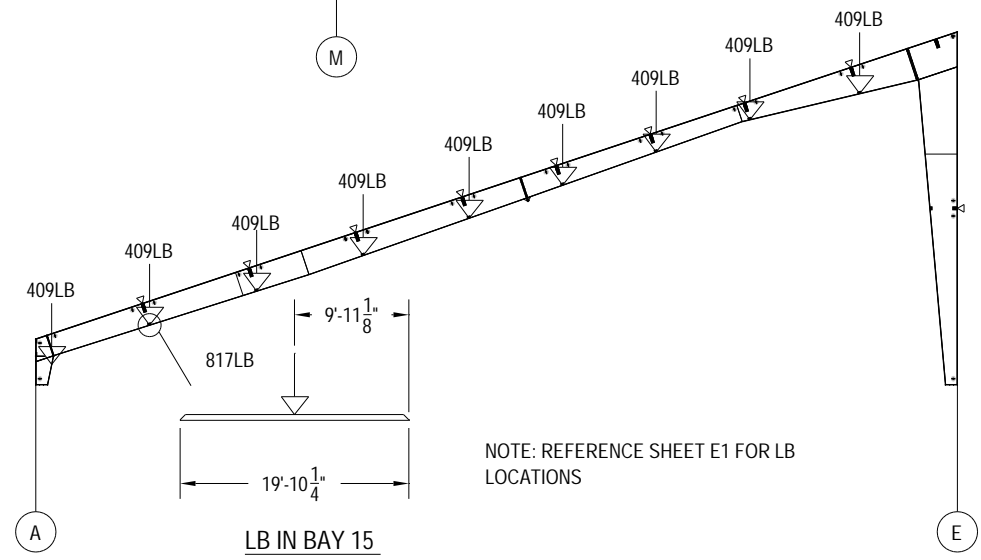


FRAME LINE 6,7,9,10,12&13 ALLOWABLE VENT LOADS



FRAME LINE	P (LB)
3	601
4	223

FRAME LINE 3&4 ALLOWABLE VENT LOADS



FRAME LINE 15 & 16 ALLOWABLE VENT LOADS

CUSTOMER INFORMATION: BLESSING BLENDS 9372 DRAPER RD MILFORD, DE 19963	CONTACT PHONE: 302-684-8896	STRUCTURE SKU #: 00229	STRUCTURE SIZE: 160'-0" x 250'-8" x 15'-0" & 80'-0" x 60'-8" x 15'-0" x 41'-8"	SHEET TITLE: VENT LOADS
	CUSTOMER CONTACT: BRUCE BLESSING			

DRAWING DETAILS					
DRAWN BY:	JKP	CREATION DATE:	05/12/2022		
REVISIONS:					
NO.	BY:	DATE:	DESCRIPTION:		
2	JKP	08/23/2022	PER CHANGE ORDER 3		
1	JKP	07/27/2022	PER CHANGE ORDER 2		
NO SCALE					
SHEET SIZE: 11X17				SHEET:	C2

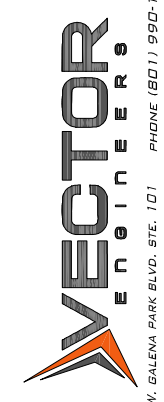
FRAME-OUT SCHEDULE		
CALL-OUT	DESCRIPTION	ROUGH OPENING
A	12'-0" x 14'-0" ROLL-UP DOOR	12'-0" x 14'-0"
B	18'-0" x 16'-0" ROLL-UP DOOR	18'-0" x 16'-0"
C	18'-0" x 30'-0" ROLL-UP DOOR	18'-0" x 30'-0"
D	12" x 6'-6" DUCT	(VERIFY)

DEVELOPED BY:



ENGINEERING SERVICES & PRODUCTS CO.
1400 18TH AVENUE SW
DYERSVILLE, IA 52004
P-563.875.6113
WWW.ESAPCO.COM
WWW.CLEARSPAN.COM

ORDER #: 7743267
CUSTOMER #: 8689394



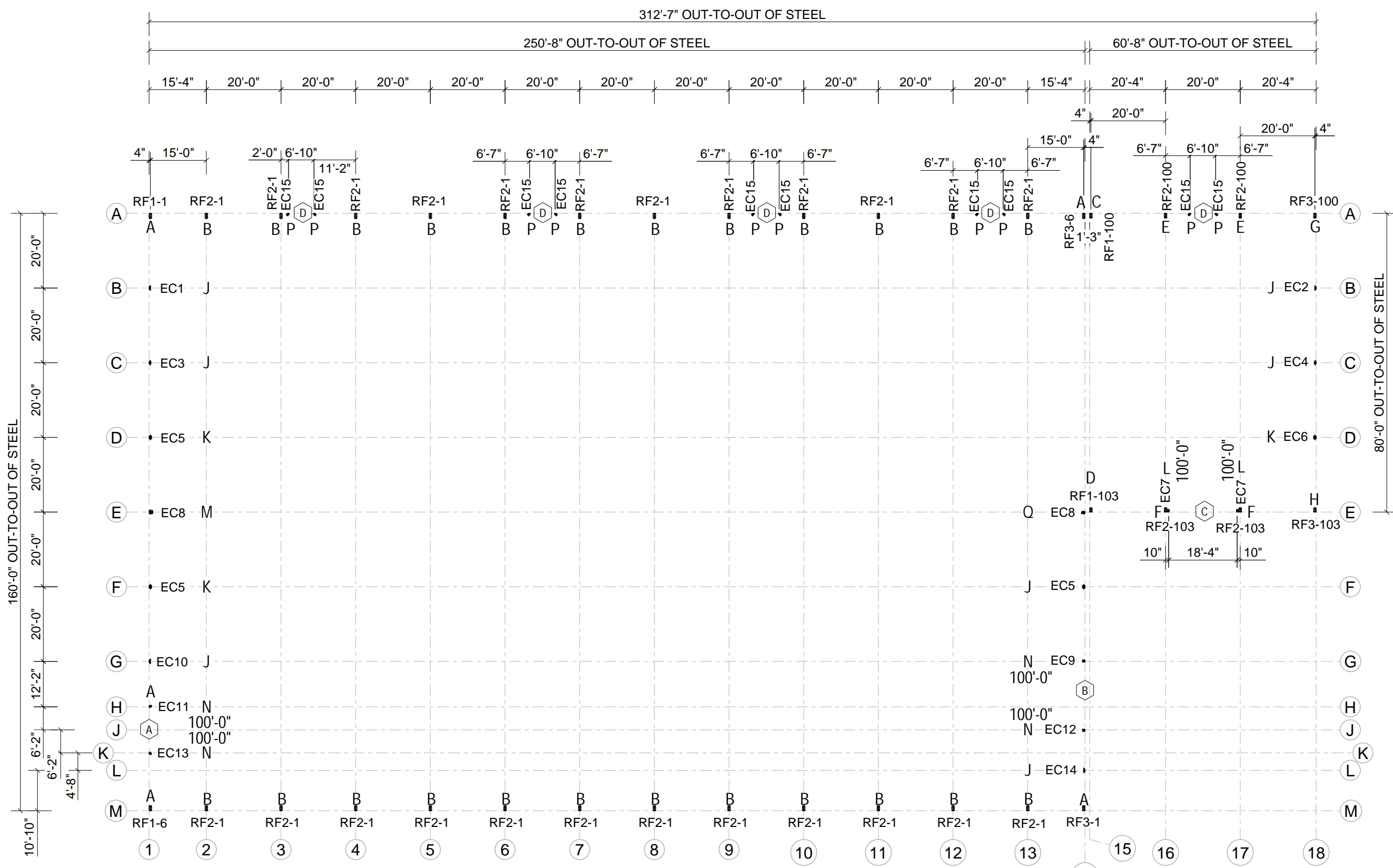
651 W. GALENA PARK BLVD., STE. 101
DRAPER, UTAH 84020
PHONE (801) 990-1775
WWW.VECTORSE.COM

Firm License Number: COA 3155
VSE Project Number: U1382-808-224



08/29/2022
PROFESSIONAL SEAL

CUSTOMER INFORMATION: BLESSING BLENDS 9372 DRAPER RD MILFORD, DE 19963	CONTACT PHONE: 302-684-8896
	CUSTOMER CONTACT: BRUCE BLESSING
STRUCTURE SKU #: 00229	STRUCTURE SIZE: 160'-0" x 250'-8" x 15'-0" & 80'-0" x 60'-8" x 15'-0" x 41'-8"
SHEET TITLE: ANCHOR BOLT PLAN	



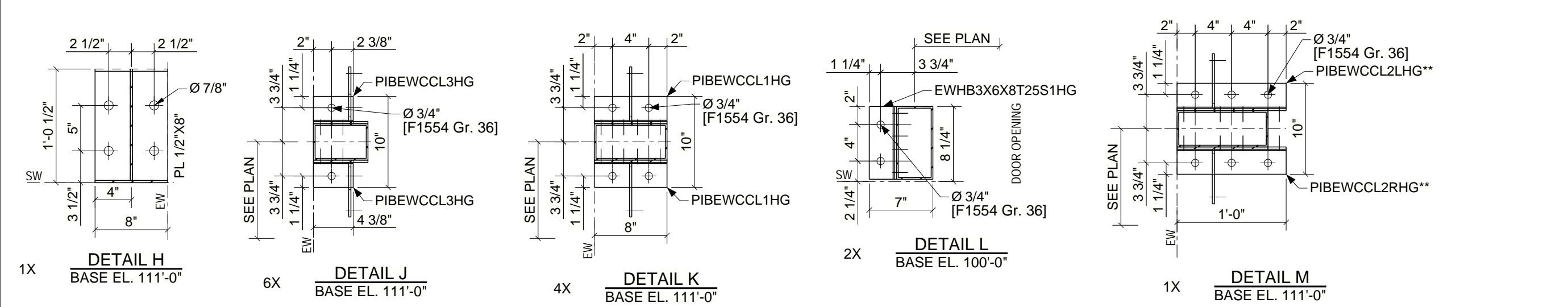
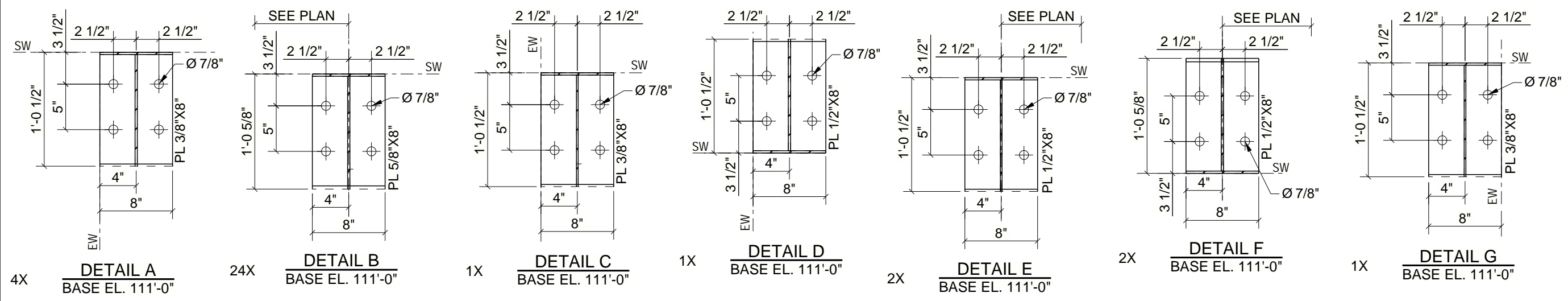
ANCHOR BOLT PLAN
NOTE: ALL BASE PLATES @ 111'-0" (U.N.O.)

DRAWING DETAILS			
DRAWN BY:	JKP	CREATION DATE:	05/12/2022
REVISIONS:			
NO.	BY:	DATE:	DESCRIPTION:
2	JKP	08/23/2022	PER CHANGE ORDER 3
1	JKP	07/27/2022	PER CHANGE ORDER 2
NO SCALE			
SHEET SIZE: 11X17			SHEET: B1

VECTOR ENGINEERS
 Firm License Number: COA 3155
 VSE Project Number: U1382-808-224
 651 W. GALENA PARK BLVD. STE. 101
 DRAPER, UTAH 84020
 PHONE (801) 990-1775
 WWW.VECTORSE.COM



08/29/2022
 PROFESSIONAL SEAL



NOTE: " Dia " DIMENSIONS SHOWN REPRESENT REQUIRED ANCHOR BOLT DIAMETER. USE TABLE BELOW TO DETERMINE BASE PLATE ANCHOR HOLE SIZE PER ANCHOR DIAMETER.

ANCHOR BOLT DIAMETER	BASE PLATE ANCHOR HOLE SIZE	PROJECTION
5/8 "	3/4 "	3 "
3/4 "	7/8 "	3 "
7/8 "	1 "	3 "
1 "	1 1/8 "	3 "
1 1/4 "	1 3/8 "	3 "

** REFER TO FOUNDATION DRAWINGS FOR WHICH HOLES TO USE.

ANCHOR BOLT SETTING NOTE

1) THE ANCHOR BOLT SETTINGS SHOWN ON THESE DRAWINGS NOT ONLY INDICATE WHERE THE ANCHOR BOLTS ARE TO BE PLACED, BUT ALSO THE FOOTPRINT OF THE BUILDING. IT IS ESSENTIAL THAT THESE BOLT PATTERNS BE FOLLOWED. IN THE EVENT THAT THESE SETTINGS DIFFER FROM THE FOUNDATION PLANS, THE BUILDING MANUFACTURER MUST BE CONTACTED IMMEDIATELY.

TYPICAL BASE PLATE ELEVATION
 FINISHED FLOOR = 100'-0"
 BOTTOM OF BASE PLATE ELEVATION = 111'-0" (U.N.O)

ANCHOR BOLT PLAN GENERAL NOTES

1) THE SPECIFIED ANCHOR ROD DIAMETER ASSUMES F1554 GRADE 105 UNLESS NOTED OTHERWISE. ANCHOR ROD MATERIAL OF EQUAL DIAMETER MEETING OR EXCEEDING THE STRENGTH REQUIREMENTS SET FORTH ON THESE DRAWINGS MAY BE UTILIZED AT THE DISCRETION OF THE FOUNDATION DESIGN ENGINEER. ANCHOR ROD EMBEDMENT LENGTH SHALL BE DETERMINED BY THE FOUNDATION DESIGN ENGINEER.

2) THE FOUNDATION AND ANCHORS ARE CRITICAL ELEMENTS FOR THE BUILDING TO FUNCTION AS DESIGNED. UNLESS NOTED OTHERWISE

3) ALL ANCHOR RODS, FLAT WASHERS FOR ANCHOR RODS, EXPANSION BOLTS, AS WELL AS ALL CONCRETE/MASONRY EMBEDMENT PLATES ARE NOT BY BUILDING MANUFACTURER, UNLESS NOTED OTHERWISE.

4) THIS DRAWING IS NOT TO SCALE.

ON SHEET C1, THE OWNER IS RESPONSIBLE FOR ENSURING THE FOUNDATION IS DESIGNED FOR THE BUILDING BY A PROFESSIONAL IN ACCORDANCE WITH LOCAL REQUIREMENTS.

5) THE ANCHOR BOLT LOCATIONS PROVIDED BY BUILDING MANUFACTURER SATISFY PERTINENT REQUIREMENTS FOR THE DESIGN OF THE MATERIALS SUPPLIED BY THE BUILDING MANUFACTURER. PLEASE NOTE THAT THESE REQUIREMENTS MAY NOT SATISFY ALL ANCHOR BOLT EDGE DISTANCE REQUIREMENTS DEPENDING ON THE DETAILS OF THE FOUNDATION DESIGN. BECAUSE FOUNDATION DESIGN IS NOT WITHIN THE BUILDING SCOPE OF WORK, IT IS THE RESPONSIBILITY OF THE QUALIFIED PROFESSIONAL DESIGNING THE FOUNDATION TO MAKE SURE THAT SUFFICIENT CONCRETE EDGE DISTANCE IS PROVIDED FOR THE ANCHOR BOLTS IN THE DETAILS OF THE FOUNDATION DESIGN.

CUSTOMER INFORMATION:
 BLESSING BLENDS
 9372 DRAPER RD
 MILFORD, DE 19963
 CUSTOMER CONTACT:
 BRUCE BLESSING
 STRUCTURE SKU #:
 00229
 STRUCTURE SIZE:
 160'-0" x 250'-8" x 15'-0" & 80'-0" x 60'-8" x 15'-0" x 41'-8"
 SHEET TITLE:
 ANCHOR BOLT DETAILS

CONTACT PHONE:
 302-684-8896

DRAWING DETAILS

DRAWN BY:	JKP	CREATION DATE:	05/12/2022
REVISIONS:			
2	JKP	08/23/2022	PER CHANGE ORDER 3
1	JKP	07/27/2022	PER CHANGE ORDER 2
NO.	BY:	DATE:	DESCRIPTION:
NO SCALE			
SHEET SIZE: 11X17			SHEET: B2

NOTES FOR REACTIONS

- All loading conditions are examined and only maximum/minimum H or V and the corresponding H or V are reported.
- Positive reactions are as shown in the sketch. Foundation loads are in opposite directions.
- Bracing reactions are in the plane of the brace with the H pointing away from the braced bay. The vertical reaction is downward.
- Building reactions are based on the following building data:

Width (ft)	=	160.0
Length (ft)	=	250.7
Eave Height (ft)	=	15.0/ 15.0
Roof Slope (rise/12)	=	4.0/ 4.0
Dead Load (psf)	=	2.0
Collateral Load (psf)	=	0.5
Live Load (psf)	=	5.0
Snow Load (psf)	=	12.6
Wind Speed (mph)	=	108.0
Wind Code	=	IBC 18
Exposure	=	C
Closed/Open	=	C
Importance Wind	=	1.00
Importance Seismic	=	1.00
Seismic Zone	=	A
Seismic Coeff (Fa/Ss)	=	0.19

5. Loading conditions are:

- Dead+Collateral+Snow+Slide_Snow
- 0.6Dead+0.6Wind_Long1L
- 0.6Dead+0.6Wind_Long2L
- 1.02Dead+1.02Collateral+0.7Seismic_LongR
- 0.6Dead+0.6Wind_Right2+0.6Wind_Suction
- 0.6Dead+0.6Wind_Pressure+0.6Wind_Long2L
- Dead+0.6Wind_Right2+0.6Wind_Suction
- Dead+Collateral+E1PAT_LL10
- Dead+Collateral+E2PAT_LL_7

ENDWALL COLUMN:

BASIC COLUMN REACTIONS (k):

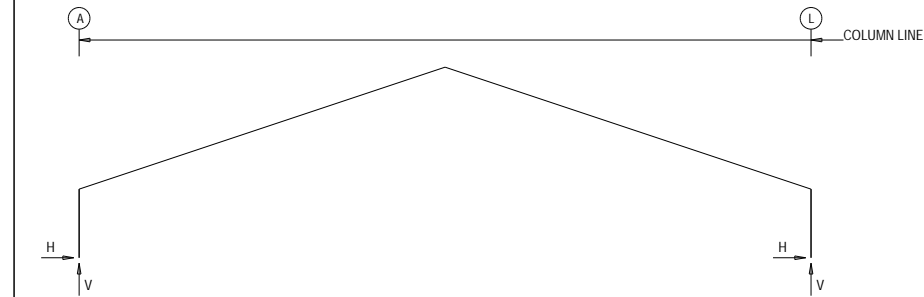
Frame Line	Column	Gravity	Uplift	Longitudinal Direction		Transverse Direction	
				Outward	Inward	Outward	Inward
1	B	0.00	0.45	1.12	1.39	0	0
1	C	0.00	0.35	1.86	2.29	0	0
1	D	0.00	0.20	2.66	3.28	0	0
1	E	0.00	0.07	3.17	3.91	0	0
1	F	0.00	0.20	2.66	3.28	0	0
1	G	0.00	0.28	1.49	1.84	0	0
1	H	0.00	0.05	1.64	2.02	0	0
1	J	0.00	0.15	1.64	2.06	0	0
14	E	0.20	0.00	1.58	1.95	0.628	0.738
14	F	0.00	0.20	2.66	3.28	0	0
14	G	0.00	0.10	3.00	3.70	0	0
14	I	0.00	0.06	1.78	2.19	0	0
14	K	0.00	0.23	0.47	0.59	0	0

ENDWALL COLUMN:

MAXIMUM REACTIONS (k):

Frame Line	Column	Gravity	Uplift	Longitudinal Direction		Transverse Direction	
				Outward	Inward	Outward	Inward
1	B	0.00	0.45	0.67	0.83	0	0
1	C	0.00	0.35	1.11	1.37	0	0
1	D	0.00	0.20	1.59	1.97	0	0
1	E	0.00	0.07	1.90	2.34	0	0
1	F	0.00	0.20	1.59	1.97	0	0
1	G	0.00	0.28	0.89	1.11	0	0
1	H	0.00	0.05	0.98	1.21	0	0
1	J	0.00	0.15	0.98	1.24	0	0
14	E	0.20	0.00	1.35	0.93	0.775	0.204
14	F	0.00	0.20	1.59	1.97	0	0
14	G	0.00	0.10	1.80	2.22	0	0
14	I	0.00	0.06	1.07	1.31	0	0
14	K	0.00	0.23	0.28	0.36	0	0

FRAME LINES: 1 2 3 4 5 6 7 8 9 10 11 12 13 14



RIGID FRAME: MAXIMUM REACTIONS

Frm Id	Col Line	Column_Reactions(k)		
		Load Id	Horz	Vert
1*	A	1	19.89	12.55
		2	-8.69	-8.23
		3	-10.35	-6.09
1*	L	1	-19.89	12.55
		2	10.35	-6.10
		3	8.69	-8.24
1*	Frame lines:	1	14	

RIGID FRAME: MAXIMUM REACTIONS

Frm Id	Col Line	Column_Reactions(k)											
		Load Id	Horz	Vert									
2*	A	1	50.54	34.32									
		2	-23.52	-20.29									
		3	-27.28	-15.42									
2*	L	1	-50.54	30.05									
		2	27.28	-15.42									
		3	23.52	-20.30									
2*	Frame lines:	2	3	4	5	6	7	8	9	10	11	12	13

RIGID FRAME: BASIC COLUMN REACTIONS (k)

Frame Id	Column Line	---Dead---		---Collateral---		---Live---		---Snow---		---Wind_Left1---		---Wind_Right1---	
		Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert
1*	A	6.57	4.12	0.53	0.34	5.07	3.21	12.78	8.09	-20.75	-16.16	-20.32	-13.67
1*	L	-6.57	4.12	-0.53	0.34	-5.07	3.21	-12.78	8.09	20.32	-13.67	20.75	-16.16
Frame Id	Column Line	---Wind_Left2---		---Wind_Right2---		---Wind_Long1---		---Wind_Long2---		---Seismic_Left---		---Seismic_Right---	
		Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert
1*	A	-12.68	-10.63	-12.25	-8.14	-21.05	-17.84	-23.82	-14.27	-0.22	-0.01	0.22	0.01
1*	L	12.25	-8.14	12.68	-10.63	23.82	-14.28	21.05	-17.85	-0.22	0.01	0.22	-0.01
Frame Id	Column Line	---Seismic_Long---		F1UNB_SL_L---		F1UNB_SL_R---							
		Horz	Vert	Horz	Vert	Horz	Vert						
1*	A	0.00	-0.20	11.05	7.88	11.05	4.83						
1*	L	0.00	-0.20	-11.05	4.83	-11.05	7.88						
Frame Id	Column Line	---Dead---		---Collateral---		---Live---		---Snow---		---Wind_Left1---		---Wind_Right1---	
		Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert
2*	A	11.12	6.95	6.64	6.71	13.01	8.20	32.77	20.66	-51.28	-38.86	-50.40	-33.10
2*	L	-11.12	6.95	-6.64	2.44	-13.01	8.20	-32.77	20.66	50.40	-33.10	51.28	-38.86
Frame Id	Column Line	---Wind_Left2---		---Wind_Right2---		---Wind_Long1---		---Wind_Long2---		---Seismic_Left---		---Seismic_Right---	
		Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert
2*	A	-29.60	-24.09	-28.34	-18.53	-50.31	-40.77	-56.59	-32.65	-0.31	-0.01	0.31	0.01
2*	L	28.34	-18.53	29.60	-24.09	56.59	-32.66	50.31	-40.77	-0.31	0.01	0.31	-0.01
Frame Id	Column Line	---Seismic_Long---		F2UNB_SL_L---		F2UNB_SL_R---							
		Horz	Vert	Horz	Vert	Horz	Vert						
2*	A	0.00	-0.20	28.25	20.09	28.26	12.32						
2*	L	0.00	-0.20	-28.26	12.32	-28.25	20.09						
1*	Frame lines:	1	14										
2*	Frame lines:	2	3	4	5	6	7	8	9	10	11	12	13

BUILDING BRACING REACTIONS

Loc	Wall Line	Col Line	Reactions in plane of wall		Panel_Shear		Note
			Wind	Seismic	Wind	Seis	
L_EW	1						(h)
F_SW	L	1,2	*	6.90	1.38		
		7,8	*	6.90	1.38		
		13,14	*	6.90	1.38		
R_EW	14						(h)
B_SW	A	14,13	*	6.88	1.37		
		8,7	*	6.88	1.37		
		2,1	*	6.88	1.37		

(h) Rigid frame at endwall

*See RF reactions table for vertical and horizontal reactions in plane of the rigid frame.

DEVELOPED BY:

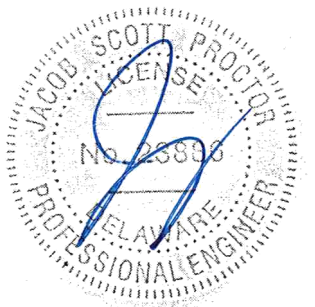
ENGINEERING SERVICES & PRODUCTS CO.
140 18TH AVENUE SW
DYERSVILLE, IA 52040
P-563.875.0113
WWW.ESAPCO.COM
WWW.CLEARSPAN.COM

ORDER #: 7743267

CUSTOMER #: 8689394

651 W. GALENA PARK BLVD. STE. 101
DRAPER, UTAH 84020
PHONE (801) 990-1775
WWW.VECTORSE.COM

Firm License Number: COA 3155
VSE Project Number: U1382-808-224



08/29/2022

PROFESSIONAL SEAL

CUSTOMER INFORMATION: BLESSING BLENDS 9372 DRAPER RD MILFORD, DE 19963	CONTACT PHONE: 302-684-8896	STRUCTURE SKU #: 00229	STRUCTURE SIZE: 160'-0" x 250'-8" x 15'-0" & 80'-0" x 60'-8" x 15'-0" x 41'-8"	ANCHOR BOLT REACTIONS
	CUSTOMER CONTACT: BRUCE BLESSING			

DRAWING DETAILS				
DRAWN BY:	JKP	CREATION DATE:	05/12/2022	
REVISIONS:				
NO.	BY:	DATE:	DESCRIPTION:	
2	JKP	08/23/2022	PER CHANGE ORDER 3	
1	JKP	07/27/2022	PER CHANGE ORDER 2	
NO SCALE				
SHEET SIZE: 11X17				SHEET: BR1

NOTES FOR REACTIONS

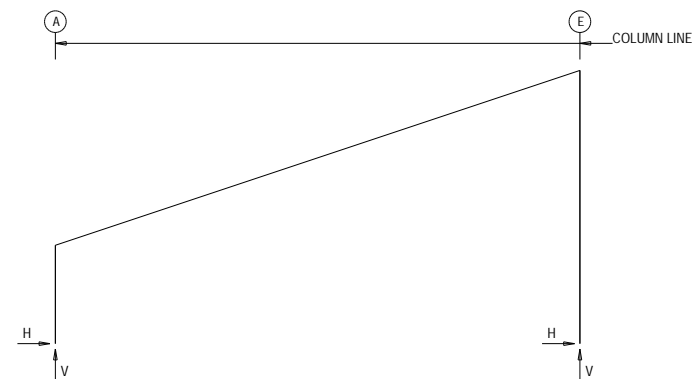
- All loading conditions are examined and only maximum/minimum H or V and the corresponding H or V are reported.
- Positive reactions are as shown in the sketch. Foundation loads are in opposite directions.
- Bracing reactions are in the plane of the brace with the H pointing away from the braced bay. The vertical reaction is downward.
- Building reactions are based on the following building data:

Width (ft)	=	80.0
Length (ft)	=	60.7
Eave Height (ft)	=	15.0/ 41.7
Roof Slope (rise/12)	=	4.0
Dead Load (psf)	=	2.0
Collateral Load (psf)	=	0.5
Live Load (psf)	=	5.0
Snow Load (psf)	=	12.6
Wind Speed (mph)	=	108.0
Wind Code	=	IBC 18
Exposure	=	C
Closed/Open	=	C
Importance Wind	=	1.00
Importance Seismic	=	1.00
Seismic Zone	=	A
Seismic Coeff (Fa*Ss)	=	0.19

5. Loading conditions are:

- Dead+Collateral+Snow+Slide_Snow
- Dead+Collateral+0.75Snow+0.45Wind_Right2+0.75Slide_Snow
- 0.6Dead+0.6Wind_Left1
- 0.6Dead+0.6Wind_Right1
- 0.6Dead+0.6Wind_Long1L
- 1.02Dead+1.02Collateral+0.7Seismic_LongR
- 0.6Dead+0.6Wind_Right2+0.6Wind_Suction
- 0.6Dead+0.6Wind_Pressure+0.6Wind_Long2L
- Dead+Collateral+E2PAT_LL_5
- Dead+0.6Wind_Right2+0.6Wind_Suction

FRAME LINES: 15 16 17 18



RIGID FRAME: MAXIMUM REACTIONS

Frm Id	Col Line	Column_Reactions(k)		
		Load Id	Horz	Vert
1*	A	1	5.03	7.78
		2	5.78	5.11
		3	-2.50	-6.30
1*	E	1	-5.03	8.37
		4	4.37	-4.49
		5	3.34	-11.23
1*	Frame lines:	15	18	

RIGID FRAME: MAXIMUM REACTIONS

Frm Id	Col Line	Column_Reactions(k)		
		Load Id	Horz	Vert
2*	A	1	11.83	18.08
		2	12.55	13.80
		3	-4.50	-9.88
2*	E	1	-11.83	17.72
		4	6.94	-7.55
		5	4.84	-14.42
2*	Frame lines:	16	17	

RIGID FRAME: BASIC COLUMN REACTIONS (k)

Frame Id	Column Line	---Dead---		--Collateral--		----Live----		----Snow----		--Wind_Left1-		-Wind_Right1-	
		Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert
1*	A	1.40	2.12	0.15	0.23	1.38	2.16	3.48	5.43	-5.57	-12.62	2.10	-6.56
1*	E	-1.40	2.91	-0.15	0.22	-1.38	2.08	-3.48	5.24	5.81	-12.38	8.67	-10.39
2*	A	2.05	3.04	2.85	4.53	2.75	4.17	6.93	10.51	-9.56	-19.52	2.39	-10.73
2*	E	-2.05	3.87	-2.85	3.69	-2.75	4.03	-6.93	10.16	8.39	-18.42	13.62	-16.45
Frame Id	Column Line	--Wind_Left2-		-Wind_Right2-		--Wind_Long1-		--Wind_Long2-		-Seismic_Left		Seismic_Right	
		Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert
1*	A	-4.03	-8.90	3.60	-2.91	-3.39	-11.75	-2.78	-7.33	-0.26	-0.06	0.26	0.06
1*	E	4.49	-8.80	7.17	-6.74	6.97	-21.62	2.92	-15.69	-0.02	0.06	0.02	-0.06
2*	A	-6.33	-12.24	5.46	-3.68	-6.19	-17.84	-5.22	-11.99	-0.31	-0.07	0.31	0.07
2*	E	5.90	-11.57	10.56	-9.38	10.11	-27.90	4.57	-20.02	-0.03	0.07	0.03	-0.07
Frame Id	Column Line	-Seismic_Long											
		Horz	Vert										
1*	A	0.00	-0.03										
1*	E	0.00	-0.48										
2*	A	0.00	-0.03										
2*	E	0.00	-0.48										
1*	Frame lines:	15 18											
2*	Frame lines:	16 17											

ENDWALL COLUMN:

BASIC COLUMN REACTIONS (k):

Frame Line	Column Line	Gravity	Uplift	Outward	Inward
18	D	0.00	-0.20	4.22	4.99
18	C	0.00	-0.34	2.97	3.51
18	B	0.00	-0.45	1.73	2.05

ENDWALL COLUMN:

MAXIMUM REACTIONS (k):

Frame Line	Column Line	Gravity	Uplift	Outward	Inward
18	D	0.00	-0.20	2.53	2.99
18	C	0.00	-0.34	1.78	2.11
18	B	0.00	-0.45	1.04	1.23

BUILDING BRACING REACTIONS

Loc	Wall Line	Col Line	Reactions in plane of wall Reactions(k)		Panel_Shear (lb/ft)		Note
			Wind Horz	Seismic Horz	Wind	Seis	
L_EW	1						(h)
F_SW	E	15,16	6.11	0.34			
		17,18	6.11	0.34			
R_EW	4						(h)
B_SW	A	18,17	4.33	0.28			
		16,15	4.33	0.28			

(h)Rigid frame at endwall

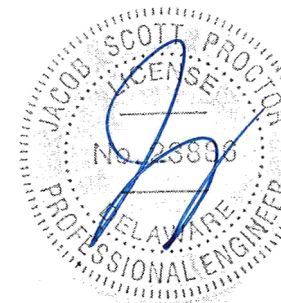
*See RF reactions table for vertical and horizontal reactions in plane of the rigid frame.

DEVELOPED BY:



ORDER #: 7743267

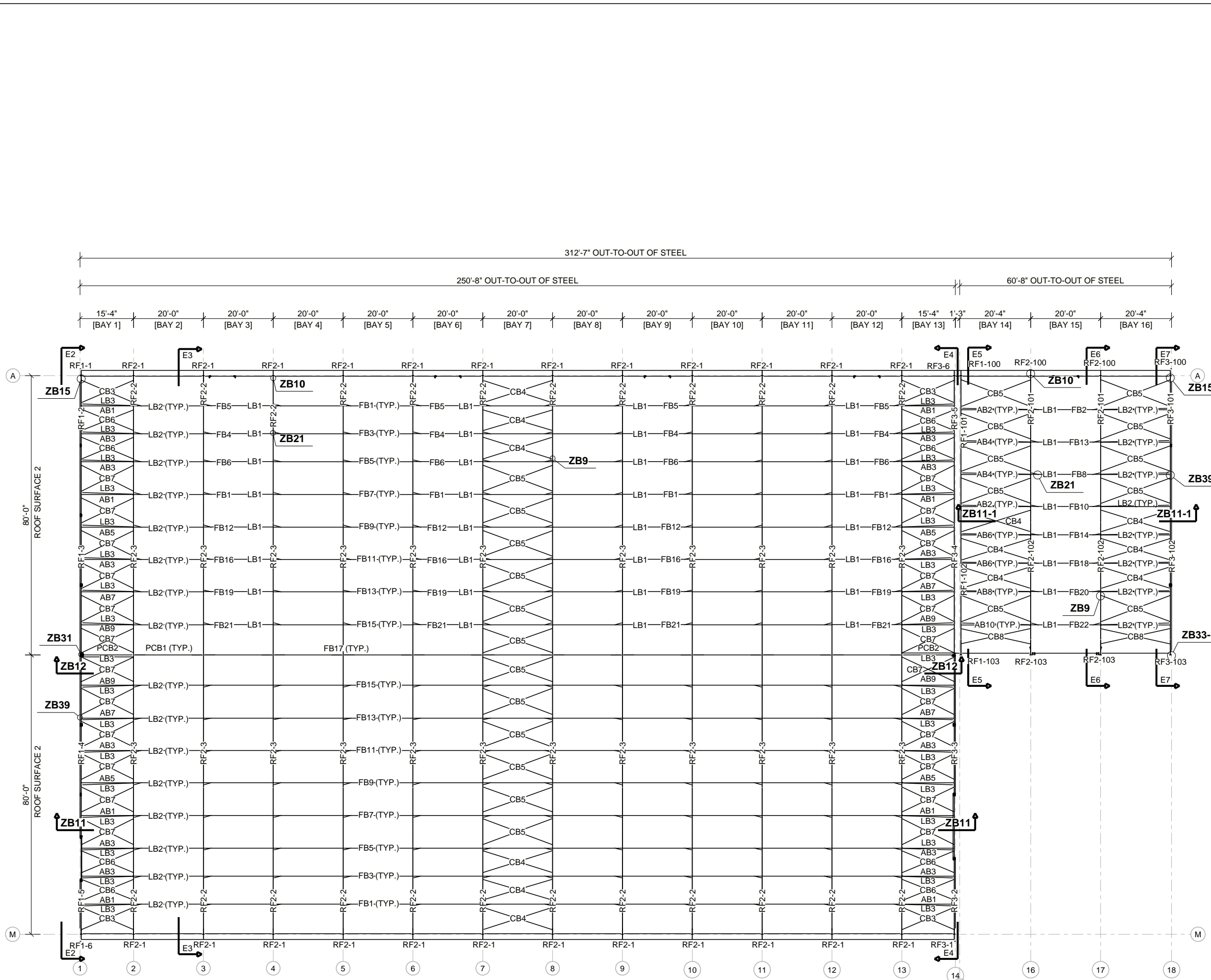
CUSTOMER #: 8689394



08/29/2022
PROFESSIONAL SEAL

CUSTOMER INFORMATION: BLESSING BLENDS 9372 DRAPER RD MILFORD, DE 19663	CONTACT PHONE: 302-684-8896	STRUCTURE SKU #: 00229	STRUCTURE SIZE: 160'-0" x 250'-8" x 15'-0" & 80'-0" x 60'-8" x 15'-0" x 41'-8"	ANCHOR BOLT REACTIONS
	CUSTOMER CONTACT: BRUCE BLESSING			

DRAWING DETAILS				
DRAWN BY:	JKP	CREATION DATE:	05/12/2022	
REVISIONS:				
NO.	BY:	DATE:	DESCRIPTION:	
2	JKP	08/23/2022	PER CHANGE ORDER 3	
1	JKP	07/27/2022	PER CHANGE ORDER 2	
NO SCALE				
SHEET SIZE: 11X17				SHEET: BR2



ROOF FRAMING PLAN

BRACE TABLE		
MARK	MATERIAL	LENGTH
AB1	HSS4X12GA	178 3/8"
AB2	HSS4X12GA	237 7/8"
AB3	HSS4X12GA	178 1/4"
AB4	HSS4X12GA	238"
AB5	HSS4X12GA	178 5/8"
AB6	HSS4X12GA	237 3/4"
AB7	HSS4X12GA	178"
AB8	HSS4X12GA	237 5/8"
AB9	HSS4X12GA	178 1/2"
AB10	HSS4X12GA	238 1/4"
CB3	BR5/8	204"
CB4	BR1/2	258"
CB5	BR1/2	264"
CB6	BR1/2	204"
CB7	BR1/2	210"
CB8	BR1/2	252"
FB1	L2X2X1/8	35 7/8"
FB2	L2X2X1/8	33"
FB3	L2X2X1/8	35 1/2"
FB4	L2X2X1/8	34 7/8"
FB5	L2X2X1/8	35 1/4"
FB6	L2X2X1/8	34 5/8"
FB7	L2X2X1/8	36 1/2"
FB8	L2X2X1/8	33 7/8"
FB9	L2X2X1/8	37 1/2"
FB10	L2X2X1/8	32 3/4"
FB11	L2X2X1/8	35 5/8"
FB12	L2X2X1/8	36 7/8"
FB13	L2X2X1/8	34"
FB14	L2X2X1/8	31 7/8"
FB15	L2X2X1/8	37 1/4"
FB16	L2X2X1/8	35"
FB17	L3X3X3/16	49"
FB18	L2X2X1/8	31"
FB19	L2X2X1/8	33 3/8"
FB20	L2X2X1/8	30 1/2"
FB21	L2X2X1/8	36 5/8"
FB22	L2X2X1/8	36"
LB1	HSS6X4X1/8	238 1/4"
LB2	HSS4X4X1/8	238 1/4"
LB3	HSS4X4X1/8	178 1/4"
PCB1	PIPE5STD	238 3/4"
PCB2	PIPE5STD	178 3/4"

DEVELOPED BY:

ENGINEERING SERVICES & PRODUCTS CO.
140 18TH AVENUE SW
DYERSVILLE, IA 52004
P-563.875.0113
WWW.CLEARSPAN.COM

ORDER #: 7743267
CUSTOMER #: 8689394

651 W. GALENA PARK BLVD., STE. 101
DRAPER, UTAH 84020
PHONE (801) 990-1775
WWW.VECTORSE.COM

Firm License Number: COA 3155
VSE Project Number: U1382-808-224

08/29/2022
PROFESSIONAL SEAL

CUSTOMER INFORMATION:		CONTACT PHONE:	
BLESSING BLENDS 9372 DRAPER RD MILFORD, DE 19963		302-684-8896	
CUSTOMER CONTACT:		STRUCTURE SKU #:	
BRUCE BLESSING		00229	
STRUCTURE SIZE:		SHEET TITLE:	
160'-0" x 250'-8" x 15'-0" & 80'-0" x 60'-8" x 15'-0" x 41'-8"		ROOF PLAN	

DRAWING DETAILS			
DRAWN BY:	JKP	CREATION DATE:	05/18/2022
REVISIONS:			
NO.	BY:	DATE:	DESCRIPTION:
2	JKP	08/23/2022	PER CHANGE ORDER 3
1	JKP	07/27/2022	PER CHANGE ORDER 2
NO SCALE			SHEET: E1
SHEET SIZE: 11X17			

Mark	Weight	Length	Web Depth		Web Plate		Outside Flange W x Thk x Length	Inside Flange W x Thk x Length
			Start/End	Thick	Length	Thick		
RF1-1	171	4'-5 15/16"	12.0 / 20.0	0.250	4'-3"		8 x 1/4" x 3'-11 5/16" 8 x 5/16" x 0'-11 11/16"	8 x 1/4" x 2'-0 15/16"
RF1-2	1598	43'-3 1/2"	28.0 / 26.5 26.5 / 26.0 26.0 / 30.0	0.188	17'-2 1/2"		8 x 5/16" x 40'-0" 8 x 5/16" x 3'-2 1/2"	8 x 1/4" x 23'-2 1/2" 8 x 1/4" x 20'-0"
RF1-3	1509	40'-0 3/16"	30.0 / 24.0 24.0 / 35.8	0.188	19'-11"		8 x 5/16" x 39'-11"	8 x 1/4" x 19'-11 1/16" 8 x 1/4" x 19'-0 13/16"
RF1-4	1515	40'-0 3/16"	30.0 / 24.0 24.0 / 35.8	0.188	19'-11"		8 x 5/16" x 39'-11"	8 x 1/4" x 19'-11 1/16" 8 x 1/4" x 19'-0 13/16"
RF1-5	1601	43'-3 1/2"	28.0 / 26.5 26.5 / 26.0 26.0 / 30.0	0.188	17'-2 1/2"		8 x 5/16" x 40'-0" 8 x 5/16" x 3'-2 1/2"	8 x 1/4" x 23'-2 1/2" 8 x 1/4" x 20'-0"
RF1-6	171	4'-5 15/16"	12.0 / 20.0	0.250	4'-3"		8 x 1/4" x 3'-11 5/16" 8 x 5/16" x 0'-11 11/16"	8 x 1/4" x 2'-0 15/16"

MARK	PLATE SIZE		
	WIDTH	THICK	LENGTH
RF1-1	3.880	0.250	20.84
RF1-1	3.875	0.250	10.00
RF1-6	3.880	0.250	20.84
RF1-6	3.875	0.250	10.00

MARK	QTY	BOLT SIZE	TYPE
SP-1	6	Ø3/4" X 2"	A325N
SP-2	10	Ø3/4" X 2"	A325N
SP-3	10	Ø3/4" X 2 1/2"	A325N
SP-4	10	Ø3/4" X 2"	A325N
SP-5	6	Ø3/4" X 2"	A325N

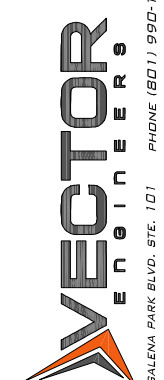
MARK	MATERIAL	LENGTH
EEL1	SEE DETAIL ZB15	-
EER1	SEE DETAIL ZB15	-

DEVELOPED BY:



ENGINEERING SERVICES & PRODUCTS CO.
1440 18TH AVENUE SW
DYERSVILLE, IA 52000
P: 563.875.0113
WWW.CLEARSPAN.COM
WWW.VECTORSE.COM

ORDER #: 7743267
CUSTOMER #: 8689394

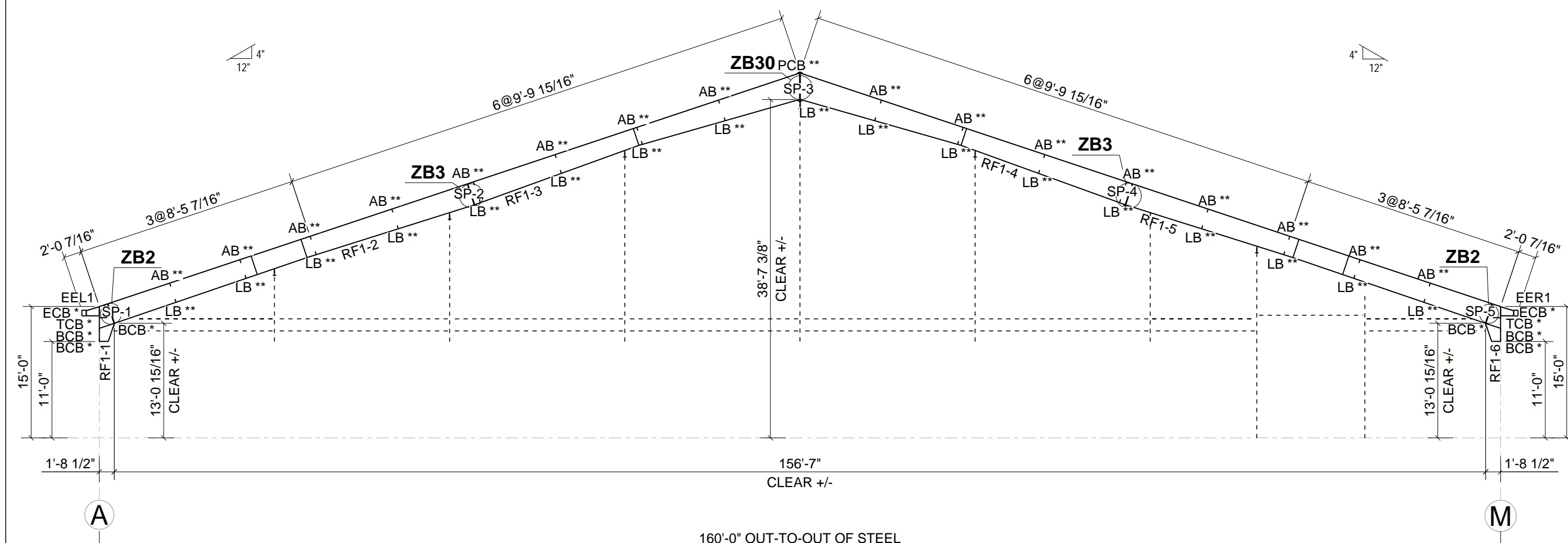


651 W. GALENA PARK BLVD. STE. 101 DRAPER, UTAH 84020
PHONE (801) 990-1775
Firm License Number: COA 3155
VSE Project Number: U1382-808-224



JACOB SCOTT PROCTOR
LICENSE No. 23880
PROFESSIONAL ENGINEER

08/29/2022
PROFESSIONAL SEAL



RIGID FRAME ELEVATION: FRAME LINE 1

CUSTOMER INFORMATION:
BLESSING BLENDS
9372 DRAPER RD
MILFORD, DE 19963

CUSTOMER CONTACT:
BRUCE BLESSING
CONTACT PHONE: 302-684-8896

STRUCTURE SKU #: 00229
STRUCTURE SIZE: 160'-0" x 250'-8" x 15'-0" & 80'-0" x 60'-8" x 15'-0" x 41'-8"

SHEET TITLE: RIGID FRAME ELEVATION

DRAWING DETAILS			
DRAWN BY:	JKP	CREATION DATE:	05/18/2022
REVISIONS:			
NO.	BY:	DATE:	DESCRIPTION:
2	JKP	08/23/2022	PER CHANGE ORDER 3
1	JKP	07/27/2022	PER CHANGE ORDER 2
NO SCALE			
SHEET SIZE: 11X17			SHEET: E2

* SEE SIDEWALL ELEVATION SHEET
** SEE ROOF PLAN SHEET

Mark	Weight	Length	Web Depth		Web Plate		Outside Flange W x Thk x Length	Inside Flange W x Thk x Length
			Start/End	Thick	Length	Length		
RF2-1	198	4'-5 9/16"	12.0 / 20.0	0.250	4'-2 9/16"		8 x 1/4" x 3'-10 7/8" 8 x 3/8" x 0'-11 9/16"	8 x 3/8" x 2'-0 3/8"
RF2-2	1875	43'-3 3/8"	28.0 / 27.3 27.3 / 26.0 26.0 / 30.0 30.0 / 24.0 24.0 / 35.8	0.250 0.188 0.188 0.188 0.250	8'-3 3/8" 14'-10 1/2" 20'-0" 19'-10 9/16" 20'-0"		8 x 3/8" x 22'-9 7/8" 8 x 1/2" x 20'-4"	8 x 3/8" x 23'-1 7/8" 8 x 5/16" x 20'-0"
RF2-3	1902	40'-0 1/8"					8 x 1/2" x 20'-2 9/16" 8 x 3/8" x 19'-8"	8 x 5/16" x 19'-10 5/8" 8 x 1/2" x 19'-0 3/4"

MARK	PLATE SIZE		
	WIDTH	THICK	LENGTH
RF2-1	3.880	0.250	20.82
RF2-1	3.875	0.250	10.00

MARK	QTY	BOLT SIZE	TYPE
SP-1	8	Ø3/4" X 2 1/2"	A325N
SP-2	10	Ø3/4" X 2 1/2"	A325N
SP-3	12	Ø1" X 3"	A325N
SP-4	10	Ø3/4" X 2 1/2"	A325N
SP-5	8	Ø3/4" X 2 1/2"	A325N

MARK	MATERIAL	LENGTH
EEM1	SEE DETAIL ZB10	-

DEVELOPED BY:



ENGINEERING SERVICES & PRODUCTS CO.
1440 18TH AVENUE SW
DYERSVILLE, IA 52040
P-563.875.6113
WWW.CLEARSPAN.COM
WWW.CLEARSPAN.COM

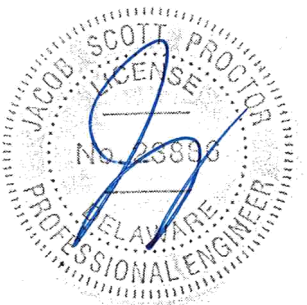
ORDER #: 7743267

CUSTOMER #: 8689394



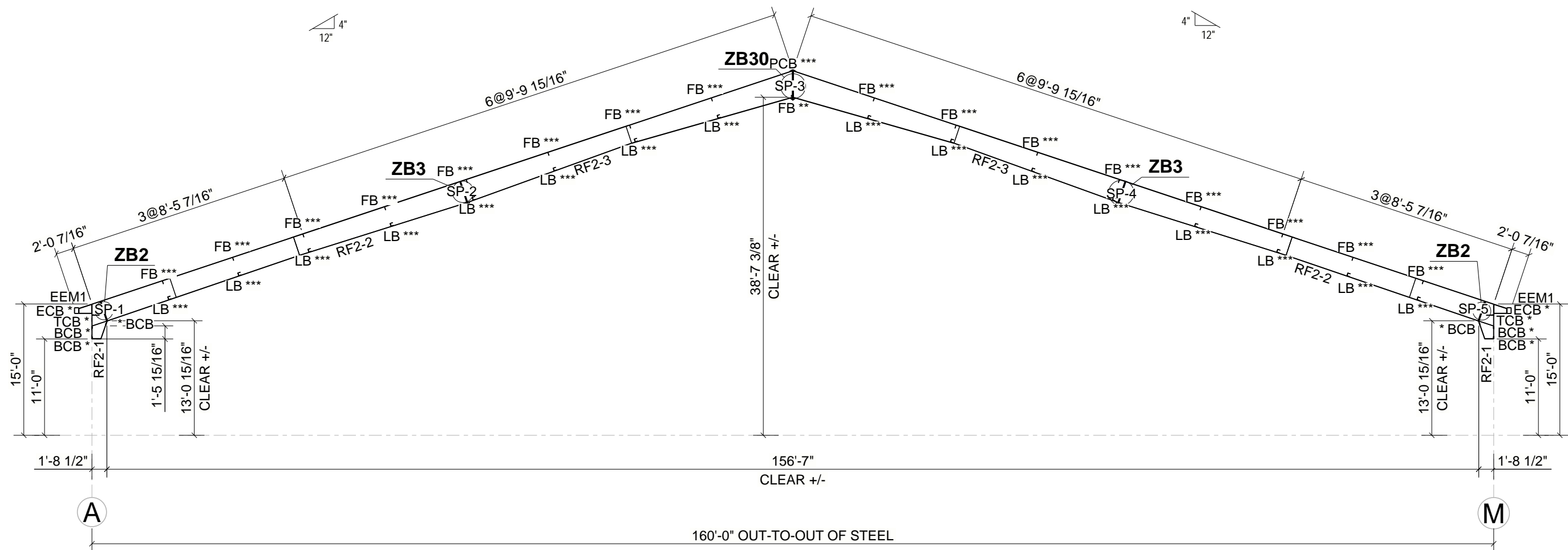
651 W. GALENA PARK BLVD. STE. 101 DRAPER, UTAH 84020
PHONE (801) 990-1775
WWW.VECTORSE.COM

Firm License Number: COA 3155
VSE Project Number: U1382-808-224



08/29/2022

PROFESSIONAL SEAL



RIGID FRAME ELEVATION: FRAME LINE 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13

CUSTOMER INFORMATION: BLESSING BLENDS 9372 DRAPER RD MILFORD, DE 19963	CONTACT PHONE: 302-684-8896
CUSTOMER CONTACT: BRUCE BLESSING	STRUCTURE SKU #: 00229
STRUCTURE SIZE: 160'-0" x 250'-8" x 15'-0" & 80'-0" x 60'-8" x 15'-0" x 41'-8"	
SHEET TITLE: RIGID FRAME ELEVATION	

DRAWING DETAILS			
DRAWN BY:	JKP	CREATION DATE:	05/19/2022
REVISIONS:			
NO.	BY:	DATE:	DESCRIPTION:
2	JKP	08/23/2022	PER CHANGE ORDER 3
1	JKP	07/27/2022	PER CHANGE ORDER 2
NO SCALE			
SHEET SIZE: 11X17			SHEET: E3

* SEE SIDEWALL ELEVATION SHEET
** (1) FB @ FRAME LINE 2 AND 13, SEE PEAK BRACE LAYOUT DETAIL
*** SEE ROOF PLAN SHEET

MEMBER TABLE								
Mark	Weight	Length	Web Depth		Web Plate		Outside Flange W x Thk x Length	Inside Flange W x Thk x Length
			Start/End	Thick	Length	Length		
RF3-1	171	4'-5 15/16"	12.0 / 20.0	0.250	4'-3"		8 x 1/4" x 3'-11 5/16" 8 x 5/16" x 0'-11 11/16"	8 x 1/4" x 2'-0 15/16"
RF3-2	1601	43'-3 1/2"	28.0 / 26.5 26.5 / 26.0 26.0 / 30.0	0.188	17'-2 1/2" 6'-0" 20'-0"		8 x 5/16" x 40'-0" 8 x 5/16" x 3'-2 1/2"	8 x 1/4" x 23'-2 1/2" 8 x 1/4" x 20'-0"
RF3-3	1509	40'-0 3/16"	30.0 / 24.0 24.0 / 35.8	0.188	19'-11" 20'-0"		8 x 5/16" x 39'-11"	8 x 1/4" x 19'-11 1/16" 8 x 1/4" x 19'-0 13/16"
RF3-4	1513	40'-0 3/16"	30.0 / 24.0 24.0 / 35.8	0.188	19'-11" 20'-0"		8 x 5/16" x 39'-11"	8 x 1/4" x 19'-11 1/16" 8 x 1/4" x 19'-0 13/16"
RF3-5	1593	43'-3 1/2"	28.0 / 26.5 26.5 / 26.0 26.0 / 30.0	0.188	17'-2 1/2" 6'-0" 20'-0"		8 x 5/16" x 40'-0" 8 x 5/16" x 3'-2 1/2"	8 x 1/4" x 23'-2 1/2" 8 x 1/4" x 20'-0"
RF3-6	168	4'-5 15/16"	12.0 / 20.0	0.250	4'-3"		8 x 1/4" x 3'-11 5/16" 8 x 5/16" x 0'-11 11/16"	8 x 1/4" x 2'-0 15/16"

STIFFENER TABLE			
MARK	PLATE SIZE		
	WIDTH	THICK	LENGTH
RF3-1	3.880	0.250	20.84
RF3-1	3.875	0.250	10.00
RF3-6	3.880	0.250	20.84
RF3-6	3.875	0.250	10.00

SPLICE BOLT TABLE			
MARK	QTY	BOLT SIZE	TYPE
SP-1	6	Ø3/4" X 2"	A325N
SP-2	10	Ø3/4" X 2"	A325N
SP-3	10	Ø3/4" X 2 1/2"	A325N
SP-4	10	Ø3/4" X 2"	A325N
SP-5	6	Ø3/4" X 2"	A325N

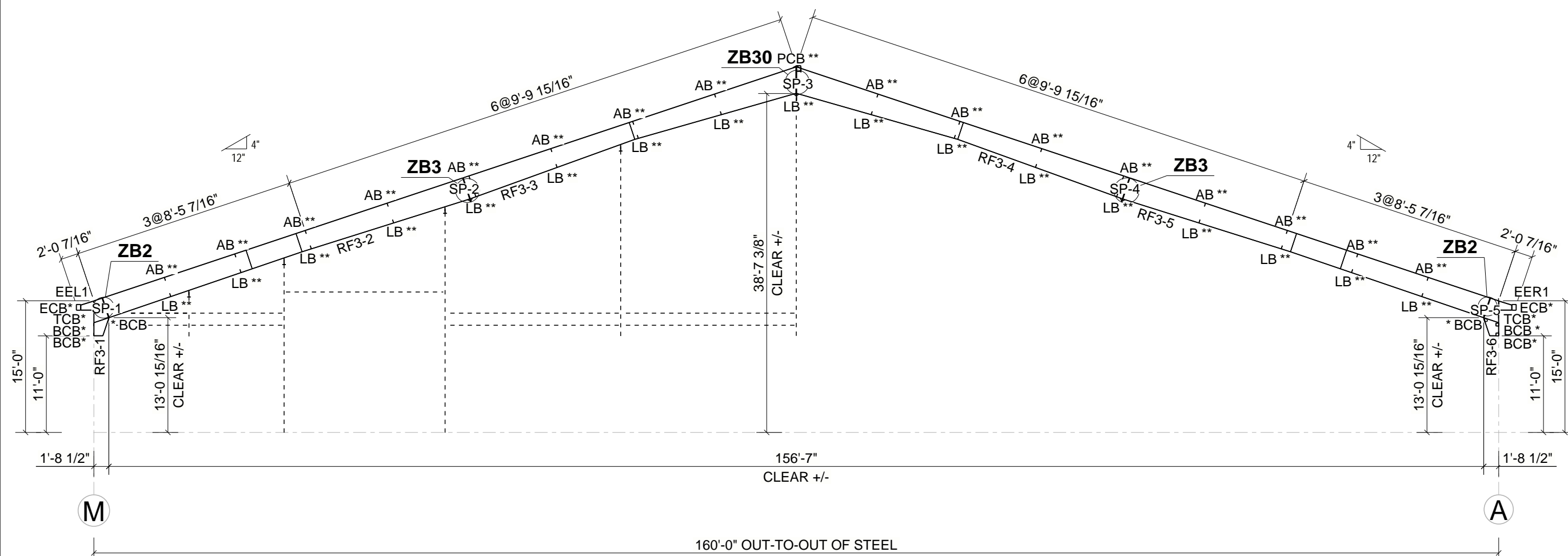
BRACE TABLE		
MARK	MATERIAL	LENGTH
EEL1	SEE DETAIL ZB15	-
EER1	SEE DETAIL ZB15	-

DEVELOPED BY:



ENGINEERING SERVICES & PRODUCTS CO.
1440 18TH AVENUE SW
Dyersville, IA 52008
P: 563.875.0113
WWW.CLEARSPAN.COM

ORDER #: 7743267
CUSTOMER #: 8689394



RIGID FRAME ELEVATION: FRAME LINE 14



651 W. GALENA PARK BLVD. STE. 101
DRAPER, UTAH 84020
PHONE (801) 990-1775
WWW.VECTORSE.COM

Firm License Number: COA 3155
VSE Project Number: U1382-808-224



08/29/2022
PROFESSIONAL SEAL

CUSTOMER INFORMATION: BLESSING BLENDS 9372 DRAPER RD MILFORD, DE 19963	CONTACT PHONE: 302-684-8896
CUSTOMER CONTACT: BRUCE BLESSING	STRUCTURE SKU #: 00229
STRUCTURE SIZE: 160'-0" x 250'-8" x 15'-0" & 80'-0" x 60'-8" x 15'-0" x 41'-8"	SHEET TITLE: RIGID FRAME ELEVATION

DRAWING DETAILS			
DRAWN BY:	JKP	CREATION DATE:	05/25/2022
REVISIONS:			
NO.	BY:	DATE:	DESCRIPTION:
2	JKP	08/23/2022	PER CHANGE ORDER 3
1	JKP	07/27/2022	PER CHANGE ORDER 2
NO SCALE			
SHEET SIZE: 11X17			SHEET: E4

* SEE SIDEWALL ELEVATION SHEET
** SEE ROOF PLAN SHEET

MEMBER TABLE								
Mark	Weight	Length	Web Depth		Web Plate		Outside Flange W x Thk x Length	Inside Flange W x Thk x Length
			Start/End	Thick	Length	Length		
RF1-100	138	4'-3 11/16"	12.0 / 18.0	0.188	4'-3"		8 x 1/4" x 3'-11 5/16" 8 x 5/16" x 0'-11 9/16"	8 x 1/4" x 2'-5 15/16"
RF1-101	1397	43'-4"	22.0 / 25.0 25.0 / 26.0 26.0 / 22.0	0.188 0.188 0.188	17'-3" 6'-0" 20'-0"		8 x 5/16" x 40'-0" 8 x 5/16" x 3'-3"	8 x 1/4" x 23'-3" 8 x 1/4" x 20'-0"
RF1-102	1148	35'-5 1/4"	22.0 / 17.5 17.5 / 34.0	0.188 0.188	19'-9 13/16" 15'-6 1/8"		8 x 5/16" x 35'-4"	8 x 1/4" x 19'-9 7/8" 8 x 1/4" x 15'-6 7/8"
RF1-103	1253	30'-7 15/16"	12.0 / 33.2 33.2 / 51.0	0.250 0.250	20'-0" 10'-7 1/16"		8 x 1/4" x 30'-7 1/16" 8 x 5/16" x 4'-6"	8 x 1/4" x 26'-6 1/4"

STIFFENER TABLE			
MARK	PLATE SIZE		
	WIDTH	THICK	LENGTH
RF1-100	3.880	0.250	18.73
RF1-101	3.875	0.250	9.00
RF1-103	3.880	0.250	42.41

SPLICE BOLT TABLE			
MARK	QTY	BOLT SIZE	TYPE
SP-1	6	Ø3/4" X 2"	A325N
SP-2	8	Ø3/4" X 2 1/2"	A325N
SP-3	10	Ø3/4" X 2 1/2"	A325N

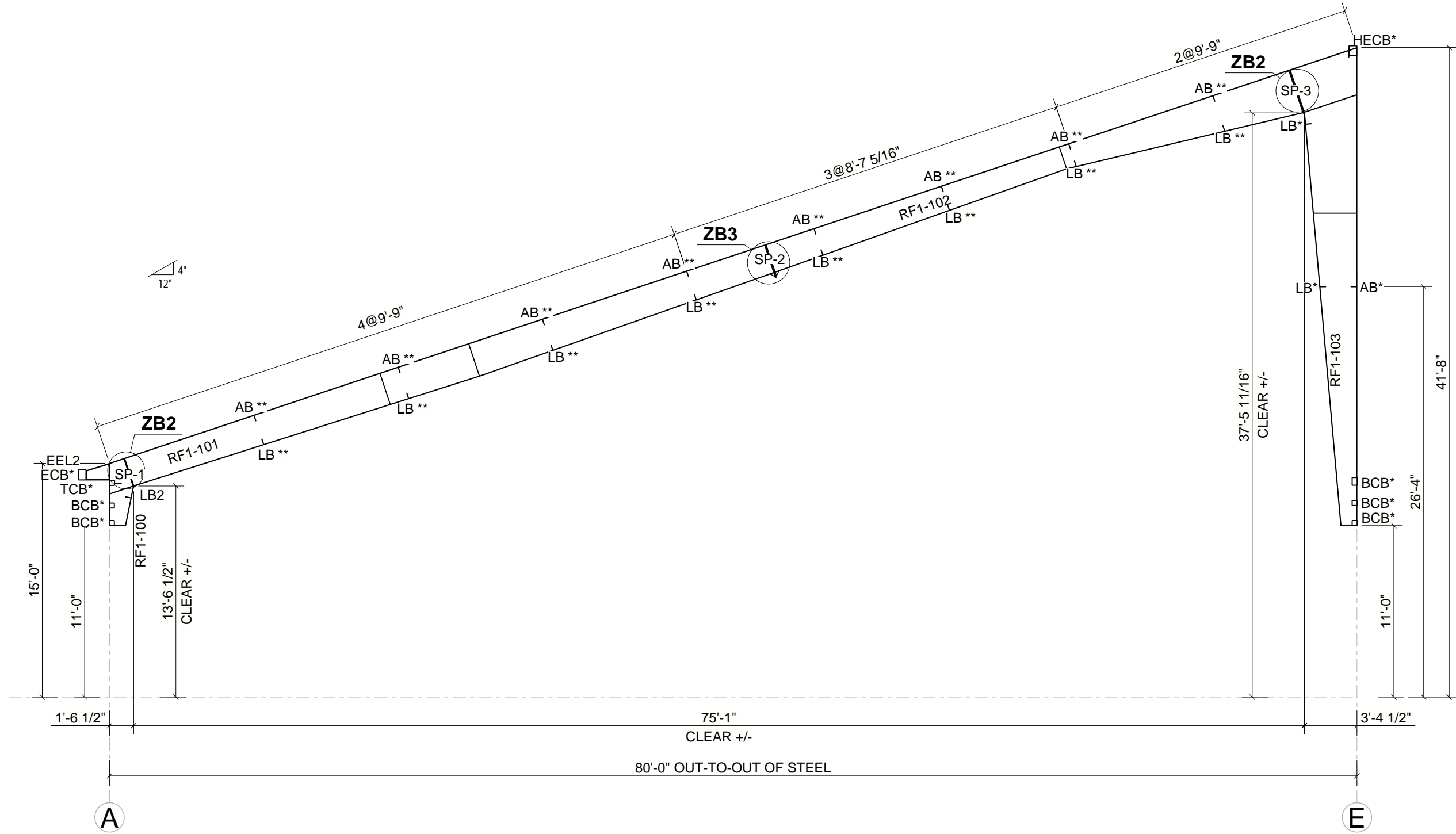
BRACE TABLE		
MARK	MATERIAL	LENGTH
EEL2	SEE DETAIL ZB15	-

DEVELOPED BY:

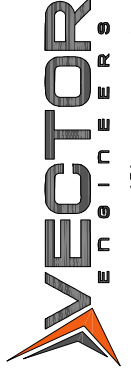


ENGINEERING SERVICES & PRODUCTS CO.
1440 18TH AVENUE SW
DYERSVILLE, IA 52004
P-563.875.6113
WWW.ESAPCO.COM
WWW.CLEARSPAN.COM

ORDER #: 7743267
CUSTOMER #: 8689394

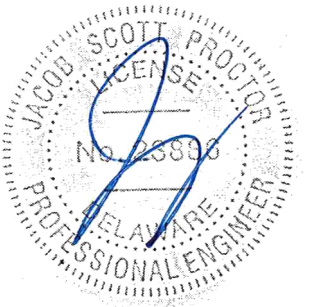


RIGID FRAME ELEVATION: FRAME LINE 15



651 W. GALENA PARK BLVD. STE. 101
DRAPER, UTAH 84020
PHONE (801) 990-1775
WWW.VECTORSE.COM

Firm License Number: COA 3155
VSE Project Number: U1382-808-224



08/29/2022
PROFESSIONAL SEAL

CUSTOMER INFORMATION: BLESSING BLENDS 9372 DRAPER RD MILFORD, DE 19963		CONTACT PHONE: 302-684-8896
CUSTOMER CONTACT: BRUCE BLESSING		STRUCTURE SKU #: 00229
STRUCTURE SIZE: 160'-0" x 250'-8" x 15'-0" & 80'-0" x 60'-8" x 15'-0" x 41'-8"		SHEET TITLE: RIGID FRAME ELEVATION

DRAWING DETAILS			
DRAWN BY:	JKP	CREATION DATE:	05/25/2022
REVISIONS:			
2	JKP	08/23/2022	PER CHANGE ORDER 3
1	JKP	07/27/2022	PER CHANGE ORDER 2
NO.	BY:	DATE:	DESCRIPTION:
NO SCALE			SHEET: E5
SHEET SIZE: 11X17			

* SEE SIDEWALL ELEVATION SHEET
** SEE ROOF PLAN SHEET

MEMBER TABLE								
Mark	Weight	Length	Web Depth		Web Plate		Outside Flange W x Thk x Length	Inside Flange W x Thk x Length
			Start/End	Thick	Length	Length		
RF2-100	148	4'-3 11/16"	12.0 / 18.0	0.188	4'-2 13/16"		8 x 1/4" x 3'-11 1/8" 8 x 5/16" x 0'-11 9/16"	8 x 1/4" x 2'-5 3/4"
RF2-101	1444	43'-3 7/8"	22.0 / 25.0 25.0 / 26.0 26.0 / 22.0	0.188 0.188 0.188	17'-2 5/8" 6'-0" 20'-0"		8 x 5/16" x 22'-10 5/8" 8 x 3/8" x 20'-4"	8 x 1/4" x 23'-2 11/16" 8 x 1/4" x 20'-0"
RF2-102	1296	35'-4 13/16"	22.0 / 17.5 17.5 / 34.0	0.188 0.250	19'-9" 15'-6 1/16"		8 x 5/16" x 20'-1" 8 x 1/4" x 15'-2 1/16"	8 x 1/4" x 19'-9" 8 x 3/8" x 15'-6 3/4"
RF2-103	1366	30'-7 13/16"	12.0 / 33.2 33.2 / 51.1	0.250 0.250	20'-0" 10'-7"		8 x 1/4" x 30'-7" 8 x 1/4" x 4'-6 1/16"	8 x 3/8" x 26'-6"

STIFFENER TABLE			
MARK	PLATE SIZE		
	WIDTH	THICK	LENGTH
RF2-100	3.880	0.250	18.73
RF2-102	3.875	0.250	9.00
RF2-103	3.880	0.250	42.43

SPLICE BOLT TABLE			
MARK	QTY	BOLT SIZE	TYPE
SP-1	6	Ø3/4" X 2"	A325N
SP-2	10	Ø3/4" X 2 1/2"	A325N
SP-3	12	Ø1" X 3 1/2"	A325N

BRACE TABLE		
MARK	MATERIAL	LENGTH
EEM2	SEE DETAIL ZB10	-

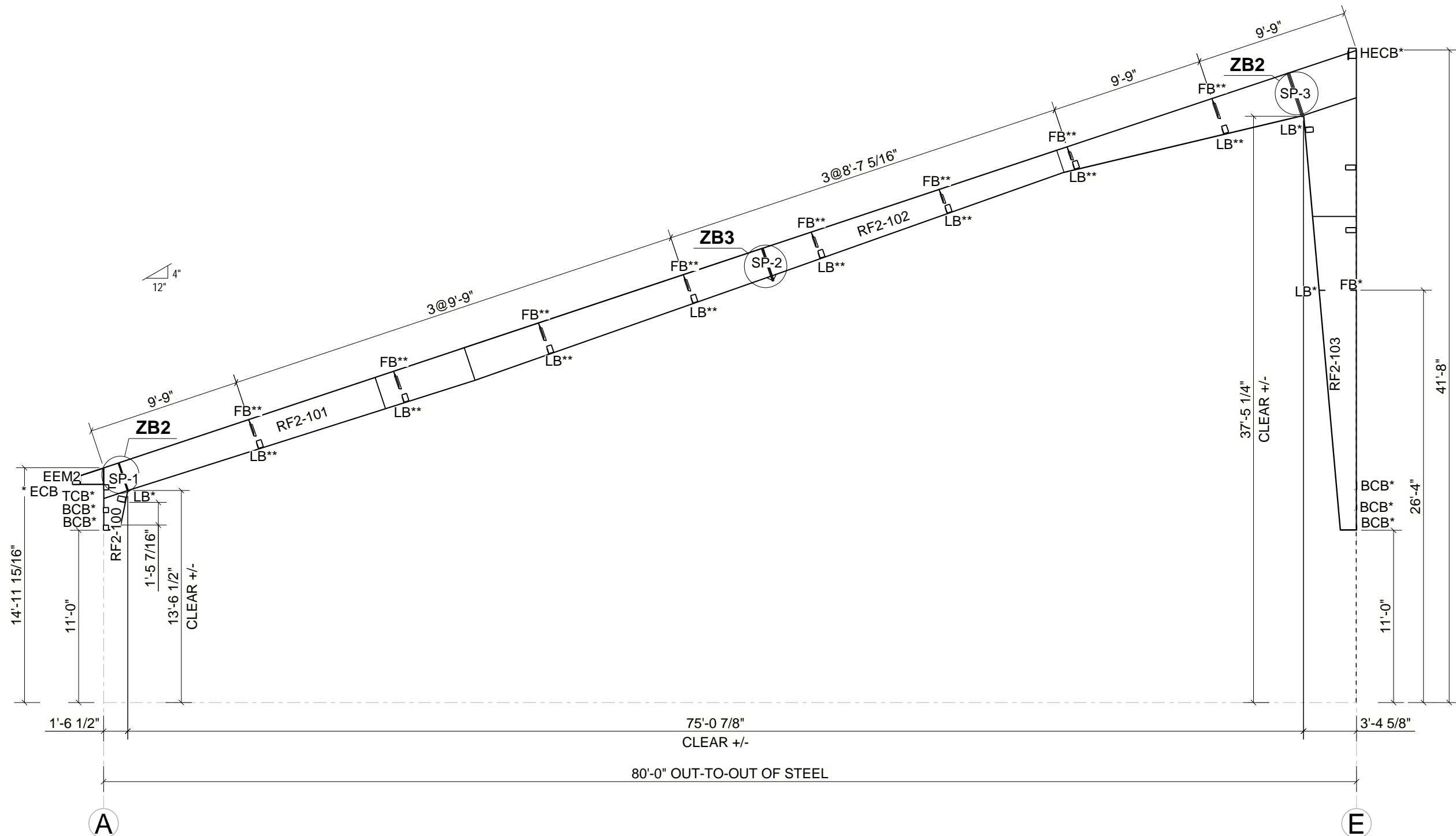
DEVELOPED BY:



ENGINEERING SERVICES & PRODUCTS CO.
1440 18TH AVENUE SW
DYERSVILLE, IA 52040
P: 563.875.0113
WWW.ESAPCO.COM
WWW.CLEARSPAN.COM

ORDER #: 7743267

CUSTOMER #: 8689394



RIGID FRAME ELEVATION: FRAME LINE 16, 17



651 W. GALENA PARK BLVD. STE. 101
DRAPER, UTAH 84020
PHONE (801) 990-1775
WWW.VECTORSE.COM

Firm License Number: COA 3155
VSE Project Number: U1382-808-224



08/29/2022
PROFESSIONAL SEAL

CUSTOMER INFORMATION: BLESSING BLENDS 9372 DRAPER RD MILFORD, DE 19963		CONTACT PHONE: 302-684-8896
CUSTOMER CONTACT: BRUCE BLESSING		STRUCTURE SKU #: 00229
STRUCTURE SIZE: 160'-0" x 250'-8" x 15'-0" & 80'-0" x 60'-8" x 15'-0" x 41'-8"		SHEET TITLE: RIGID FRAME ELEVATION

DRAWING DETAILS			
DRAWN BY:	JKP	CREATION DATE:	05/25/2022
REVISIONS:			
2	JKP	08/23/2022	PER CHANGE ORDER 3
1	JKP	07/27/2022	PER CHANGE ORDER 2
NO.	BY:	DATE:	DESCRIPTION:
NO SCALE			SHEET: E6
SHEET SIZE: 11X17			

* SEE SIDEWALL ELEVATION SHEET
** SEE ROOF PLAN SHEET

MEMBER TABLE								
Mark	Weight	Length	Web Depth		Web Plate		Outside Flange W x Thk x Length	Inside Flange W x Thk x Length
			Start/End	Thick	Length	Length		
RF3-100	141	4'-3 11/16"	12.0 / 18.0	0.188	4'-3"		8 x 1/4" x 3'-11 5/16" 8 x 5/16" x 0'-11 9/16"	8 x 1/4" x 2'-5 15/16"
RF3-101	1402	43'-4"	22.0 / 25.0 25.0 / 26.0 26.0 / 22.0	0.188 0.188 0.188	17'-3" 6'-0" 20'-0"		8 x 5/16" x 40'-0" 8 x 5/16" x 3'-3"	8 x 1/4" x 23'-3" 8 x 1/4" x 20'-0"
RF3-102	1151	35'-5 1/4"	22.0 / 17.5 17.5 / 34.0	0.188 0.188	19'-9 13/16" 15'-6 1/8"		8 x 5/16" x 35'-4"	8 x 1/4" x 19'-9 7/8" 8 x 1/4" x 15'-6 7/8"
RF3-103	1265	30'-7 15/16"	12.0 / 33.2 33.2 / 51.0	0.250 0.250	20'-0" 10'-7 1/16"		8 x 1/4" x 30'-7 1/16" 8 x 5/16" x 4'-6"	8 x 1/4" x 26'-6 1/4"

STIFFENER TABLE			
MARK	PLATE SIZE		
	WIDTH	THICK	LENGTH
RF3-100	3.880	0.250	18.73
RF3-100	3.875	0.250	9.00
RF3-103	3.880	0.250	42.41

SPLICE BOLT TABLE			
MARK	QTY	BOLT SIZE	TYPE
SP-1	6	Ø3/4" X 2"	A325N
SP-2	8	Ø3/4" X 2 1/2"	A325N
SP-3	10	Ø3/4" X 2 1/2"	A325N

BRACE TABLE		
MARK	MATERIAL	LENGTH
EER1	SEE DETAIL ZB15	-

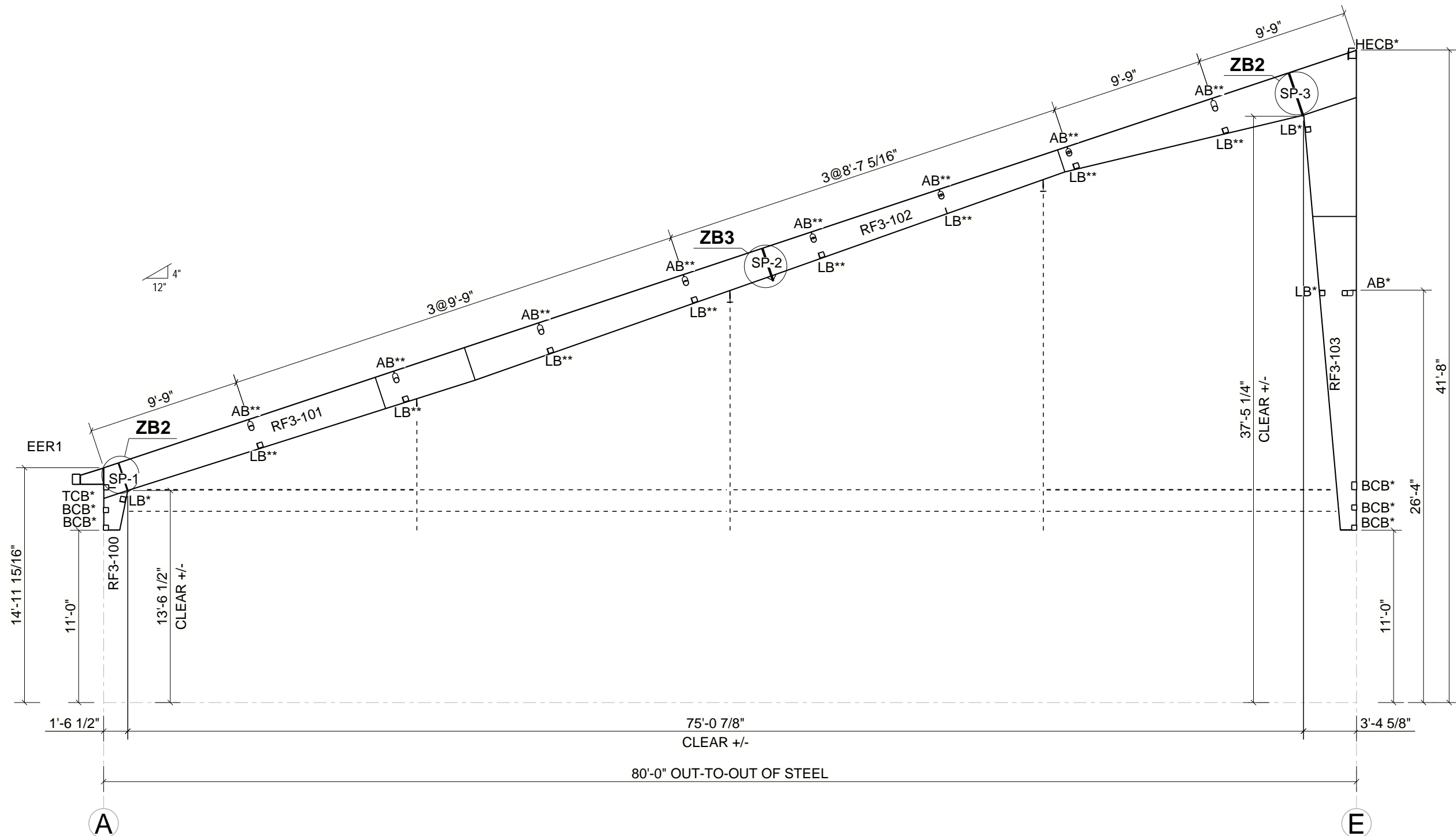
DEVELOPED BY:




ENGINEERING SERVICES & PRODUCTS CO.
1400 18TH AVENUE SW
DYERSVILLE, IA 52000
P: 563.875.6113
WWW.ESAPCO.COM
WWW.CLEARSPAN.COM

ORDER #: 7743267

CUSTOMER #: 8689394

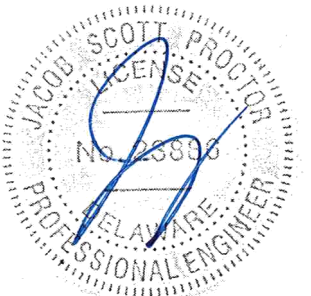


RIGID FRAME ELEVATION: FRAME LINE 18



651 W. GALENA PARK BLVD. STE. 101 DRAPER, UTAH 84020
PHONE (801) 990-1775
WWW.VECTORSE.COM

Firm License Number: COA 3155
VSE Project Number: U1382-808-224

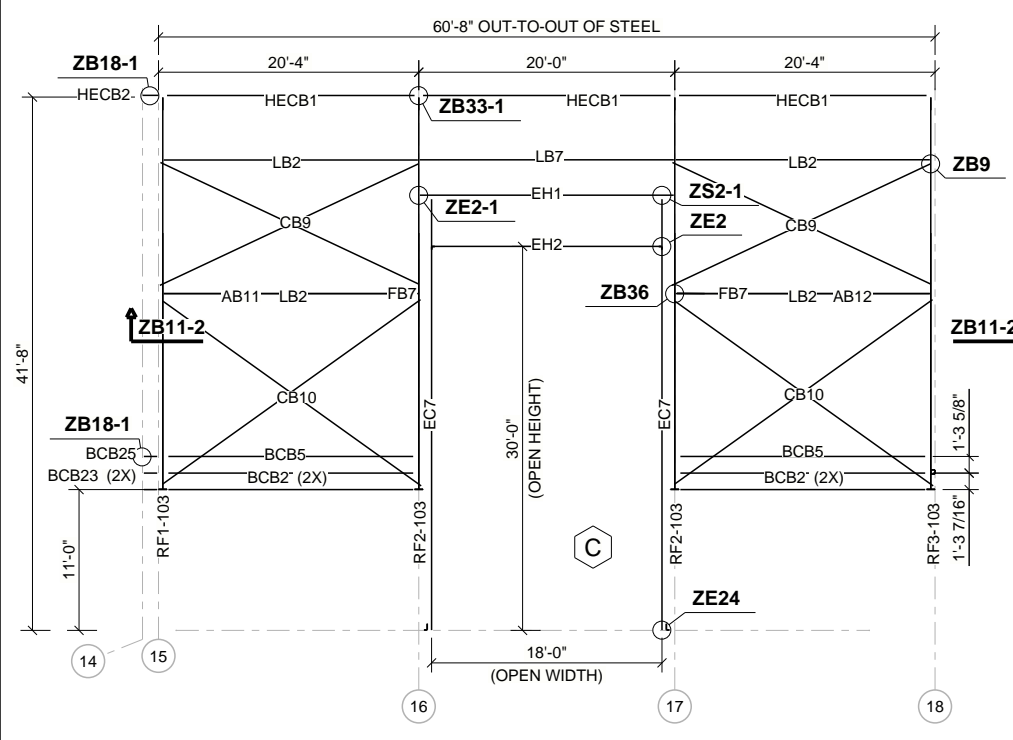


08/29/2022
PROFESSIONAL SEAL

CUSTOMER INFORMATION: BLESSING BLENDS 9372 DRAPER RD MILFORD, DE 19963	CONTACT PHONE: 302-684-8896	STRUCTURE SKU #: 00229	STRUCTURE SIZE: 160'-0" x 250'-8" x 15'-0" & 80'-0" x 60'-8" x 15'-0" x 41'-8"	SHEET TITLE: RIGID FRAME ELEVATION
CUSTOMER CONTACT: BRUCE BLESSING				

DRAWING DETAILS				
DRAWN BY:	JKP	CREATION DATE:	05/26/2022	
REVISIONS:				
2	JKP	08/23/2022	PER CHANGE ORDER 3	
1	JKP	07/27/2022	PER CHANGE ORDER 2	
NO.	BY:	DATE:	DESCRIPTION:	
NO SCALE				
SHEET SIZE: 11X17				SHEET: E7

* SEE SIDEWALL ELEVATION SHEET
** SEE ROOF PLAN SHEET

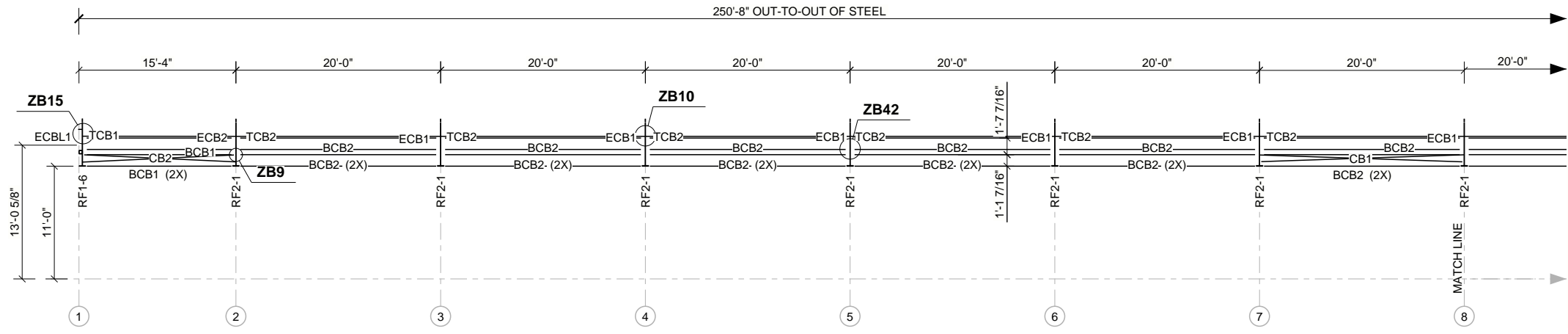


SIDEWALL FRAMING: FRAME LINE E

NOTE: POLY CARB LOCATED FROM BOTTOM OF BASE PLATE TO 2'-10 1/16\"/>

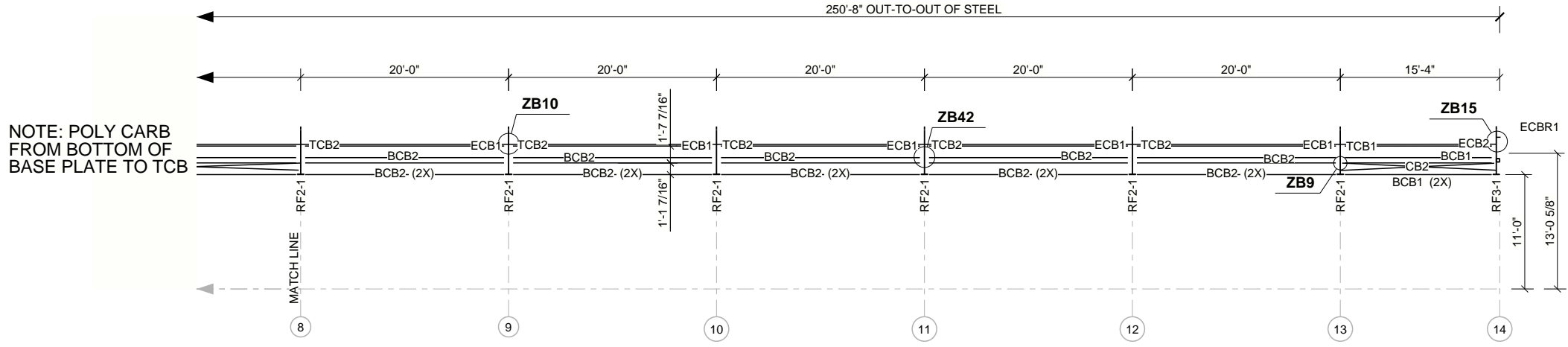
MARK	MATERIAL	LENGTH
AB11	HSS4X4X3/16	237 1/2"
AB12	HSS4X4X3/16	237 1/2"
BCB1	HSS4X4X1/8	178"
BCB2	HSS4X4X1/8	238"
BCB5	HSS6X4X3/16	238"
BCB23	HSS4X4X1/8	21"
BCB25	HSS6X4X1/8	21"
CB1	BR1/2	246"
CB2	BR1/2	186"
CB9	BR5/8	276"
CB10	BR5/8	306"
EC7	HSS8X4X3/16	404"
ECB1	HSS8X6X3/16	239 1/2"
ECB2	HSS8X6X3/16	179 1/2"
ECBL1	HSS8X6X3/16	5"
ECBR1	HSS8X6X3/16	5"
EH1	HSS8X4X3/16	238"
EH2	HSS8X4X3/16	215"
FB7	L2X2X1/8	36 1/2"
HECB1	HSS8X6X3/16	231 1/2"
HECB2	HSS8X6X3/16	14 1/2"
LB2	HSS4X4X1/8	238 1/4"
LB7	HSS6X4X1/8	238 1/4"
TCB1	HSS4X4X1/8	178 1/2"
TCB2	HSS4X4X1/8	238 1/2"

CALL-OUT	DESCRIPTION	ROUGH OPENING
C	18'-0" x 30'-0" ROLL-UP DOOR	18'-0" x 30'-0"



SIDEWALL FRAMING: FRAME LINE M

NOTE: POLY CARB FROM BOTTOM OF BASE PLATE TO TCB



SIDEWALL FRAMING: FRAME LINE M

NOTE: POLY CARB FROM BOTTOM OF BASE PLATE TO TCB

DEVELOPED BY:

ENGINEERING SERVICES & PRODUCTS CO.
140 18TH AVENUE SW
Dyersville, IA 52040
P: 563.875.0113
WWW.CLEARSPAN.COM

ORDER #: 7743267
CUSTOMER #: 8689394

651 W. GALENA PARK BLVD. STE. 101 PHONE (801) 990-1775
DRAPER, UTAH 84020 WWW.VECTORSE.COM

Firm License Number: COA 3155
VSE Project Number: U1382-808-224



08/29/2022
PROFESSIONAL SEAL

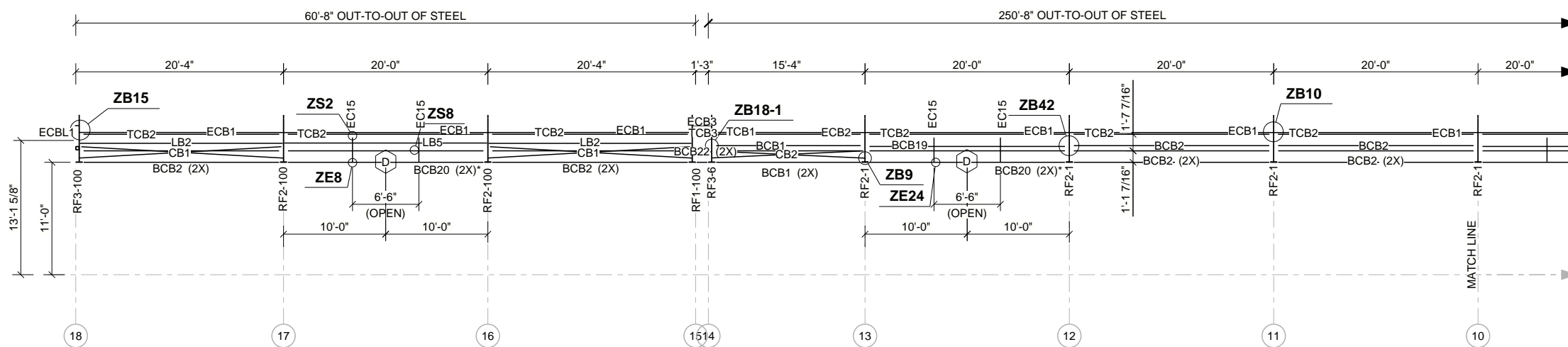
CUSTOMER INFORMATION: BLESSING BLENDS 9372 DRAPER RD MILFORD, DE 19963	CONTACT PHONE: 302-684-8896	STRUCTURE SKU #: 00229	STRUCTURE SIZE: 160'-0" x 250'-8" x 15'-0" & 80'-0" x 60'-8" x 15'-0" x 41'-8"	SHEET TITLE: SIDEWALL ELEVATION
	CUSTOMER CONTACT: BRUCE BLESSING			

DRAWING DETAILS				
DRAWN BY:	JKP	CREATION DATE:	05/26/2022	
REVISIONS:				
2	JKP	08/23/2022	PER CHANGE ORDER 3	
1	JKP	07/27/2022	PER CHANGE ORDER 2	
NO.	BY:	DATE:	DESCRIPTION:	
NO SCALE				
SHEET SIZE: 11X17				SHEET: E8

BRACE TABLE		
MARK	MATERIAL	LENGTH
BCB1	HSS4X4X1/8	178"
BCB2	HSS4X4X1/8	238"
BCB19	HSS6X4X1/8	238"
BCB20	HSS4X4X1/8	178"
BCB22	HSS4X4X1/8	21"
CB1	BR1/2	246"
CB2	BR1/2	186"
EC15	HSS4X4X1/8	29"
ECB1	HSS8X6X3/16	239 1/2"
ECB2	HSS8X6X3/16	179 1/2"
ECB3	HSS8X6X3/16	22 1/2"
ECBL1	HSS8X6X3/16	5"
ECBR1	HSS8X6X3/16	5"
LB2	HSS4X4X1/8	238 1/4"
LB5	HSS6X4X1/8	238 1/4"
TCB1	HSS4X4X1/8	178 1/2"
TCB2	HSS4X4X1/8	238 1/2"
TCB3	HSS4X4X1/8	21 1/2"

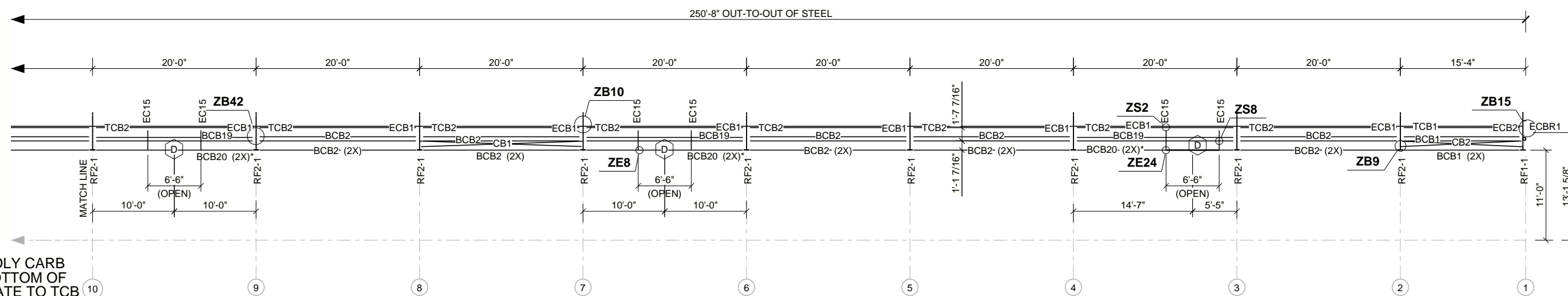
FRAME-OUT SCHEDULE		
CALL-OUT	DESCRIPTION	ROUGH OPENING
D	1'-2" x 6'-0" DUCT	(VERIFY)

* CUT TO LENGTH IN FIELD



NOTE: POLY CARB FROM BOTTOM OF BASE PLATE TO TCB

SIDEWALL FRAMING: FRAME LINE A



NOTE: POLY CARB FROM BOTTOM OF BASE PLATE TO TCB

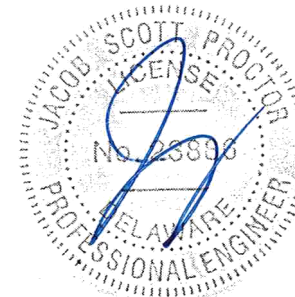
SIDEWALL FRAMING: FRAME LINE A



ORDER #: 7743267

CUSTOMER #: 8689394

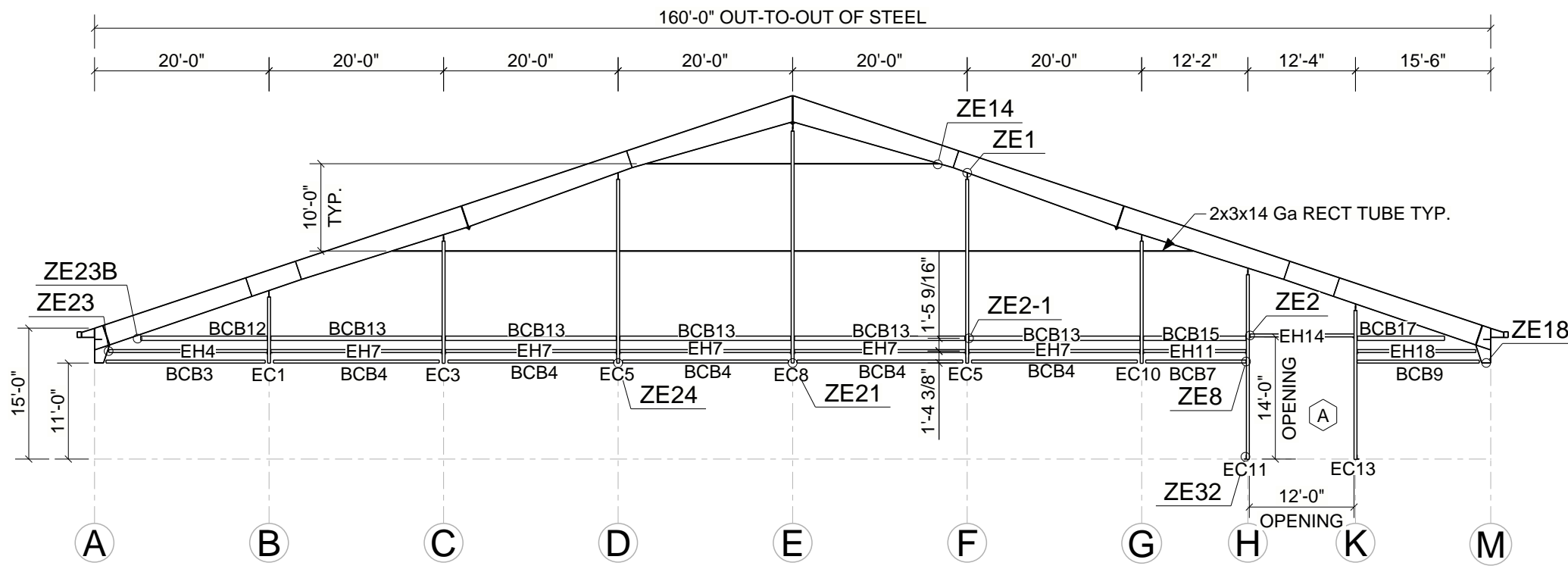
VECTOR ENGINEERS
 651 W. GALENA PARK BLVD., STE. 101 DRAPER, UTAH 84020
 PHONE (801) 990-1775 WWW.VECTORSE.COM
 Firm License Number: COA 3155
 VSE Project Number: U1382-808-224



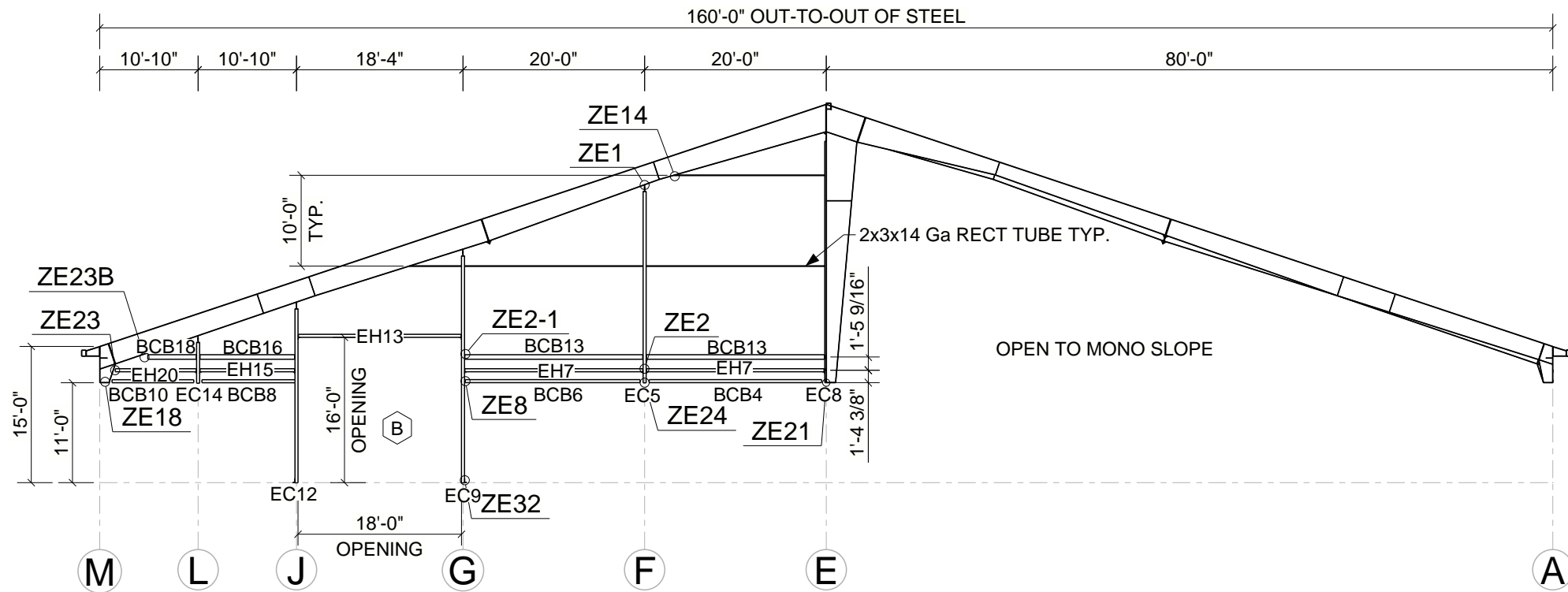
08/29/2022
 PROFESSIONAL SEAL

CUSTOMER INFORMATION: BLESSING BLENDS 9372 DRAPER RD MILFORD, DE 19963	CONTACT PHONE: 302-684-8896	STRUCTURE SKU #: 00229	STRUCTURE SIZE: 160'-0" x 250'-8" x 15'-0" & 80'-0" x 60'-8" x 15'-0" x 41'-8"	SHEET TITLE: SIDEWALL ELEVATION
	CUSTOMER CONTACT: BRUCE BLESSING			

DRAWING DETAILS				
DRAWN BY:	JKP	CREATION DATE:	06/15/2022	
REVISIONS:				
NO.	BY:	DATE:	DESCRIPTION:	
2	JKP	08/23/2022	PER CHANGE ORDER 3	
1	JKP	07/27/2022	PER CHANGE ORDER 2	
NO SCALE				
SHEET SIZE: 11X17				SHEET: E9



ENDWALL FRAMING: FRAME LINE 1



ENDWALL FRAMING: FRAME LINE 14

MARK	MATERIAL	LENGTH
BCB3	HSS4X4X1/8	219"
BCB4	HSS4X4X1/8	228"
BCB6	HSS4X4X1/8	231"
BCB7	HSS4X4X1/8	138"
BCB8	HSS4X4X1/8	123"
BCB9	HSS4X4X1/8	168"
BCB10	HSS4X4X1/8	108"
BCB12	HSS6X4X3/16	174"
BCB13	HSS6X4X3/16	235"
BCB15	HSS6X4X3/16	141"
BCB16	HSS6X4X3/16	125"
BCB17	HSS6X4X3/16	120"
BCB18	HSS6X4X3/16	64"
EC1	HSS4X4X3/16	97"
EC3	HSS6X4X3/16	174"
EC5	HSS8X4X3/16	259"
EC8	HSS10X4X3/16	325"
EC9	HSS8X4X3/16	306"
EC10	HSS4X4X3/16	174"
EC11	HSS6X4X3/16	260"
EC12	HSS8X4X3/16	236"
EC13	HSS6X4X3/16	211"
EC14	HSS4X4X3/16	60"
EH4	HSS4X4X1/8	218"
EH7	HSS4X4X1/8	235"
EH11	HSS4X4X1/8	141"
EH13	HSS8X4X3/16	215"
EH14	HSS6X4X3/16	143"
EH15	HSS4X4X1/8	125"
EH18	HSS4X4X1/8	163"
EH20	HSS4X4X1/8	107"

CALL-OUT	DESCRIPTION	ROUGH OPENING
A	12'-0" x 14'-0" ROLL-UP DOOR	12'-0" x 14'-0"
B	18'-0" x 16'-0" ROLL-UP DOOR	18'-0" x 16'-0"

NOTE: POLY CARB LOCATED FROM BOTTOM OF BASE PLATE TO 2'-9 15/16" FABRIC ABOVE.



ORDER #: 7743267

CUSTOMER #: 8689394

VECTOR ENGINEERS
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 DRAPER, UTAH 84020 WWW.VECTORSE.COM

Firm License Number: COA 3155
 VSE Project Number: U1382-808-224

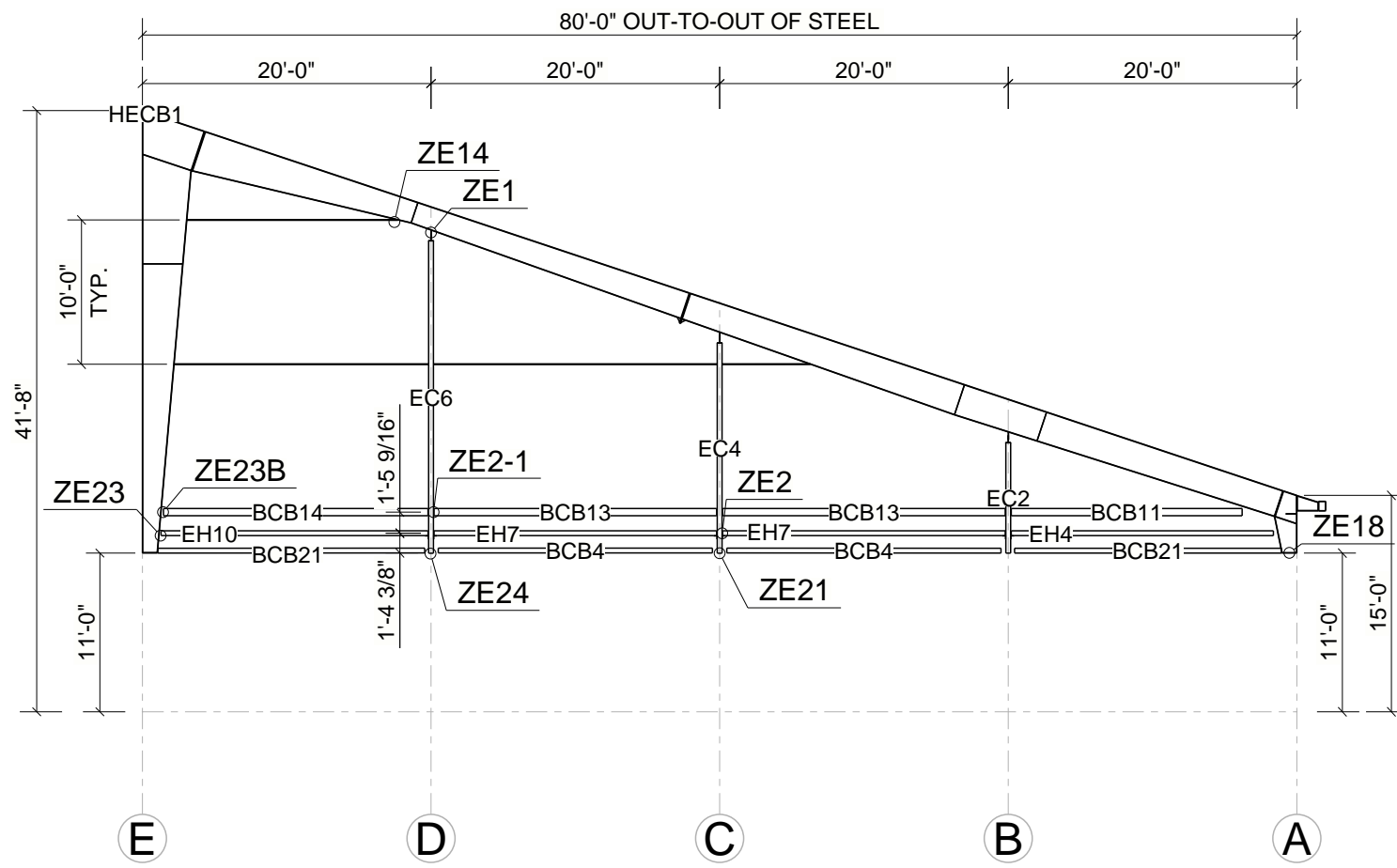


08/29/2022

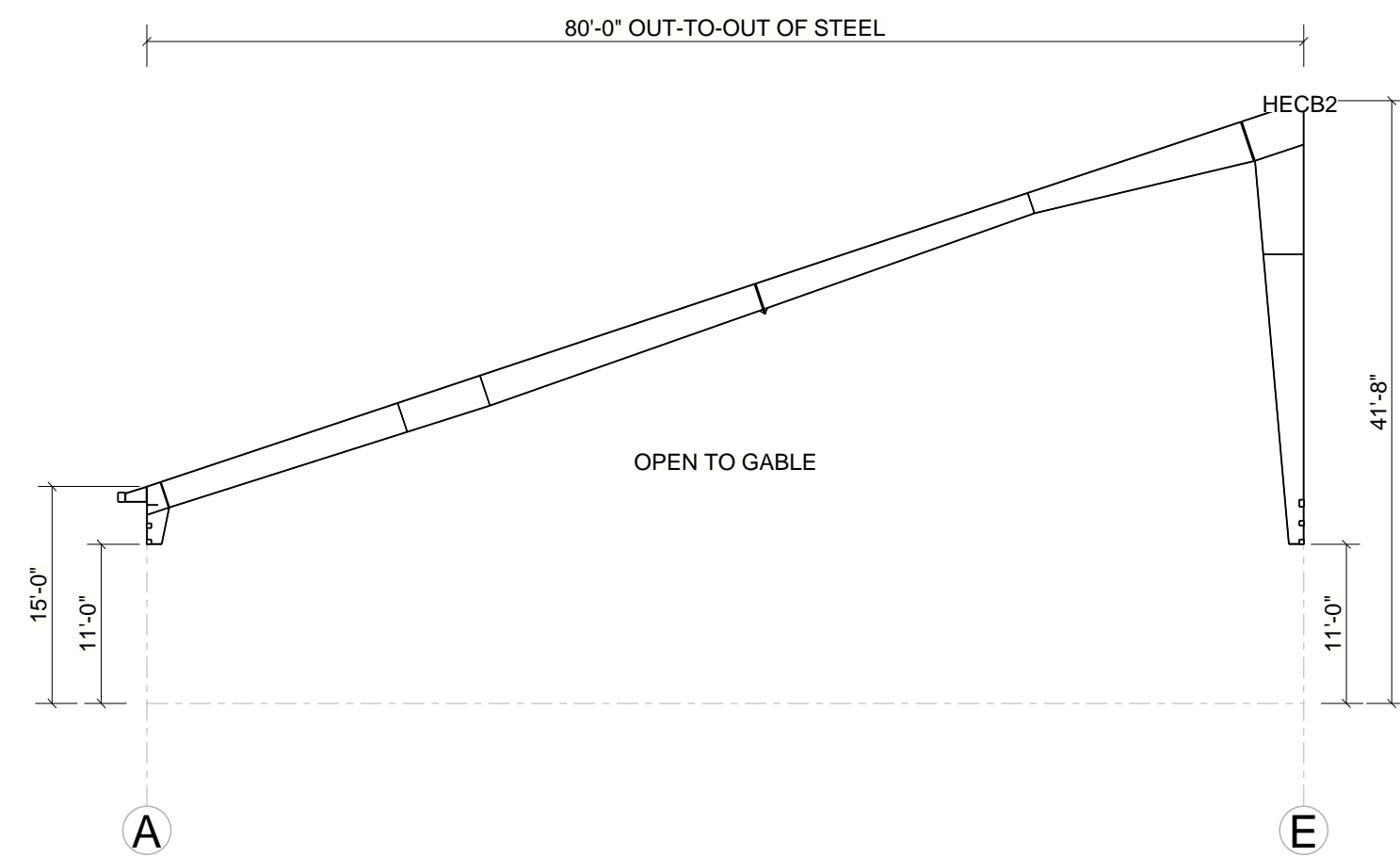
PROFESSIONAL SEAL

CUSTOMER INFORMATION: BLESSING BLENDS 9372 DRAPER RD MILFORD, DE 19963	CONTACT PHONE: 302-684-8896	STRUCTURE SKU #: 00229	STRUCTURE SIZE: 160'-0" x 250'-8" x 15'-0" & 80'-0" x 60'-8" x 15'-0" x 41'-8"	SHEET TITLE: ENDWALL ELEVATION
	CUSTOMER CONTACT: BRUCE BLESSING			

DRAWING DETAILS				
DRAWN BY:	JKP	CREATION DATE:	05/26/2022	
REVISIONS:				
NO.	BY:	DATE:	DESCRIPTION:	
2	JKP	08/23/2022	PER CHANGE ORDER 3	
1	JKP	07/27/2022	PER CHANGE ORDER 2	
NO SCALE				
SHEET SIZE: 11X17				SHEET: E10



ENDWALL FRAMING: FRAME LINE 18



ENDWALL FRAMING: FRAME LINE 15

NOTE: POLY CARB LOCATED FROM BOTTOM OF BASE PLATE TO 2'-9 15/16". FABRIC ABOVE.

BRACE TABLE		
MARK	MATERIAL	LENGTH
BCB4	HSS4X4X1/8	228"
BCB11	HSS6X4X3/16	192"
BCB13	HSS6X4X3/16	235"
BCB14	HSS6X4X3/16	220"
BCB21	HSS4X4X1/8	222"
EC2	HSS4X4X3/16	98"
EC4	HSS6X4X3/16	181"
EC6	HSS8X4X3/16	266"
EH4	HSS4X4X1/8	218"
EH7	HSS4X4X1/8	235"
EH10	HSS4X4X1/8	222"

DEVELOPED BY:



ENGINEERING SERVICES & PRODUCTS CO.
140 18TH AVENUE SW
DYERSVILLE, IA 52040
P-563.875.0113
WWW.ESAPCO.COM
WWW.CLEARSPAN.COM

ORDER #: 7743267
CUSTOMER #: 8689394



651 W. GALENA PARK BLVD. STE. 101 PHONE (801) 990-1775
DRAPER, UTAH 84020 WWW.VECTORSE.COM

Firm License Number: COA 3155
VSE Project Number: U1382-808-224



08/29/2022
PROFESSIONAL SEAL

CUSTOMER INFORMATION: BLESSING BLENDS 9372 DRAPER RD MILFORD, DE 19963	CONTACT PHONE: 302-684-8896	STRUCTURE SKU #: 00229	STRUCTURE SIZE: 160'-0" x 250'-8" x 15'-0" & 80'-0" x 60'-8" x 15'-0" x 41'-8"	SHEET TITLE: ENDWALL ELEVATION
	CUSTOMER CONTACT: BRUCE BLESSING			

DRAWING DETAILS				
DRAWN BY:	JKP	CREATION DATE:	05/26/2022	
REVISIONS:				
NO.	BY:	DATE:	DESCRIPTION:	
2	JKP	08/23/2022	PER CHANGE ORDER 3	
1	JKP	07/27/2022	PER CHANGE ORDER 2	
NO SCALE				
SHEET SIZE: 11X17				SHEET: E11

BRACE TABLE				BRACE TABLE			
MARK	PART NUMBER	MATERIAL	LENGTH	MARK	PART NUMBER	MATERIAL	LENGTH
AB1	AB40G12DAL17588HG	HSS4X12GA	178 3/8"	FB1	FB2X2X2L03588HG	L2X2X1/8	35 7/8"
AB2	AB40G12DAL23538HG	HSS4X12GA	237 7/8"	FB2	FB2X2X2L03300HG	L2X2X1/8	33"
AB3	AB40G12DAL17575HG	HSS4X12GA	178 1/4"	FB3	FB2X2X2L03550HG	L2X2X1/8	35 1/2"
AB4	AB40G12DAL23550HG	HSS4X12GA	238"	FB4	FB2X2X2L03488HG	L2X2X1/8	34 7/8"
AB5	AB40G12DAL17613HG	HSS4X12GA	178 5/8"	FB5	FB2X2X2L03525HG	L2X2X1/8	35 1/4"
AB6	AB40G12DAL23525HG	HSS4X12GA	237 3/4"	FB6	FB2X2X2L03463HG	L2X2X1/8	34 5/8"
AB7	AB40G12DAL17550HG	HSS4X12GA	178"	FB7	FB2X2X2L03650HG	L2X2X1/8	36 1/2"
AB8	AB40G12DAL23513HG	HSS4X12GA	237 5/8"	FB8	FB2X2X2L03388HG	L2X2X1/8	33 7/8"
AB9	AB40G12DAL17600HG	HSS4X12GA	178 1/2"	FB9	FB2X2X2L03750HG	L2X2X1/8	37 1/2"
AB10	AB40G12DAL23575HG	HSS4X12GA	238 1/4"	FB10	FB2X2X2L03275HG	L2X2X1/8	32 3/4"
AB11	LB4X4X3L23575S3MHG	HSS4X4X3/16	237 1/2"	FB11	FB2X2X2L03563HG	L2X2X1/8	35 5/8"
AB12	LB4X4X3L23575S3MHG	HSS4X4X3/16	237 1/2"	FB12	FB2X2X2L03688HG	L2X2X1/8	36 7/8"
BCB1	BCB4X4X2L176S6HG	HSS4X4X1/8	178"	FB13	FB2X2X2L03400HG	L2X2X1/8	34"
BCB2	BCB4X4X2L236S6HG	HSS4X4X1/8	238"	FB14	FB2X2X2L03188HG	L2X2X1/8	31 7/8"
BCB3	EWBCB4X4X2L219A0HG	HSS4X4X1/8	219"	FB15	FB2X2X2L03725HG	L2X2X1/8	37 1/4"
BCB4	EWBCB4X4X2L228A0HG	HSS4X4X1/8	228"	FB16	FB2X2X2L03500HG	L2X2X1/8	35"
BCB5	BCB6X4X3L236S6HG	HSS6X4X3/16	238"	FB17	FB3X3X3L04900S3HG	L3X3X3/16	49"
BCB6	EWBCB4X4X2L231A0HG	HSS4X4X1/8	231"	FB18	FB2X2X2L03100HG	L2X2X1/8	31"
BCB7	EWBCB4X4X2L138A0HG	HSS4X4X1/8	138"	FB19	FB2X2X2L03338HG	L2X2X1/8	33 3/8"
BCB8	EWBCB4X4X2L123A0HG	HSS4X4X1/8	123"	FB20	FB2X2X2L03050HG	L2X2X1/8	30 1/2"
BCB9	EWBCB4X4X2L168A0HG	HSS4X4X1/8	168"	FB21	FB2X2X2L03663HG	L2X2X1/8	36 5/8"
BCB10	EWBCB4X4X2L108A0HG	HSS4X4X1/8	108"	FB22	FB2X2X2L03600HG	L2X2X1/8	36"
BCB11	EWBCB6X4X3L192A0HG	HSS6X4X3/16	192"	HECB1	HECB8X6X3L2315S4CH	HSS8X6X3/16	231 1/2"
BCB12	EWBCB6X4X3L174A0HG	HSS6X4X3/16	174"	HECB2	00229HECB2	HSS8X6X3/16	14 1/2"
BCB13	00229BCB13	HSS6X4X3/16	235"	LB1	LB6X4X2L236S3MHG	HSS6X4X1/8	238 1/4"
BCB14	EWBCB6X4X3L220A0HG	HSS6X4X3/16	220"	LB2	LB4X4X2L236S3MHG	HSS4X4X1/8	238 1/4"
BCB15	EWBCB6X4X3L141A0HG	HSS6X4X3/16	141"	LB3	LB4X4X2L176S3MHG	HSS4X4X1/8	178 1/4"
BCB16	00229BCB16	HSS6X4X3/16	125"	LB5	LB6X4X2L236S3MHG	HSS6X4X1/8	238 1/4"
BCB17	EWBCB6X4X3L120A0HG	HSS6X4X3/16	120"	LB7	LB6X4X2L236S3MHG	HSS6X4X1/8	238 1/4"
BCB18	EWBCB6X4X3L064A0HG	HSS6X4X3/16	64"	PCB1	CBB56T4R4F23600HG	PIPE5STD	238 3/4"
BCB19	BCB6X4X2L236S6HG	HSS6X4X1/8	238"	PCB2	CBB56T4R4D17600HG	PIPE5STD	178 3/4"
BCB20	BCB4X4X2L176S6HG	HSS4X4X1/8	178"	TCB1	TCB4X4X2L176S4HG	HSS4X4X1/8	178 1/2"
BCB21	EWBCB4X4X2L222A0HG	HSS4X4X1/8	222"	TCB2	TCB4X4X2L236S4HG	HSS4X4X1/8	238 1/2"
BCB22	00229BCB22	HSS4X4X1/8	21"	TCB3	00229TCB3	HSS4X4X1/8	21 1/2"
BCB23	00229BCB23	HSS4X4X1/8	21"				
BCB25	00229BCB25	HSS6X4X1/8	21"				
CB1	TR050L246HDG	BR1/2	246"				
CB2	TR050L186HDG	BR1/2	186"				
CB3	TR063L204HDG	BR5/8	204"				
CB4	TR050L258HDG	BR1/2	258"				
CB5	TR050L264HDG	BR1/2	264"				
CB6	TR050L204HDG	BR1/2	204"				
CB7	TR050L210HDG	BR1/2	210"				
CB8	TR050L252HDG	BR1/2	252"				
CB9	TR063L276HDG	BR5/8	276"				
CB10	TR063L306HDG	BR5/8	306"				
EC1	EWCD4X4X3L0970AHG	HSS4X4X3/16	97"				
EC2	EWCD4X4X3L0980AHG	HSS4X4X3/16	98"				
EC3	EWCD6X4X3L1740AHG	HSS6X4X3/16	174"				
EC4	EWCD6X4X3L1810AHG	HSS6X4X3/16	181"				
EC5	EWCD8X4X3L2590AHG	HSS8X4X3/16	259"				
EC6	EWCD8X4X3L2660AHG	HSS8X4X3/16	266"				
EC7	EWCG8X4X3L4040AHG	HSS8X4X3/16	404"				
EC8	EWCD10X4X3L3250AHG	HSS10X4X3/16	325"				
EC9	EWCD8X4X3L3060AHG	HSS8X4X3/16	306"				
EC10	EWCD4X4X3L1740AHG	HSS4X4X3/16	174"				
EC11	EWCD6X4X3L2600AHG	HSS6X4X3/16	260"				
EC12	EWCD8X4X3L2360AHG	HSS8X4X3/16	236"				
EC13	EWCD6X4X3L2100AHG	HSS6X4X3/16	211"				
EC14	EWCD4X4X3L0590AHG	HSS4X4X3/16	60"				
EC15	EWCG4X4X2L029AHG	HSS4X4X1/8	29"				
ECB1	ECB8X6X3L2395S4BHG	HSS8X6X3/16	239 1/2"				
ECB2	ECB8X6X3L1795S4BHG	HSS8X6X3/16	179 1/2"				
ECB3	00229ECB3	HSS8X6X3/16	22 1/2"				
ECBL1	ECB8X6X3F8S4ALHG	HSS8X6X3/16	5"				
ECBR1	ECB8X6X3F8S4ARHG	HSS8X6X3/16	5"				
EEL1	PIBEEC8LHG	SEE DETAIL ZB15	-				
EEL2	PIBEEC8LHG	SEE DETAIL ZB15	-				
EEM1	PIBEEC8MHG	SEE DETAIL ZB10	-				
EEM2	PIBEEC8MHG	SEE DETAIL ZB10	-				
EER1	PIBEEC8RHG	SEE DETAIL ZB15	-				
EH1	BEH8X4X3X2380HG	HSS8X4X3/16	238"				
EH2	BEH8X4X3X2150HG	HSS8X4X3/16	215"				
EH4	BEH4X4X2X2180HG	HSS4X4X1/8	218"				
EH7	BEH4X4X2X2350HG	HSS4X4X1/8	235"				
EH10	BEH4X4X2X220HG	HSS4X4X1/8	222"				
EH11	BEH4X4X2X1410HG	HSS4X4X1/8	141"				
EH13	BEH8X4X3X2150HG	HSS8X4X3/16	215"				
EH14	BEH6X4X3X1430HG	HSS6X4X3/16	143"				
EH15	BEH4X4X2X1250HG	HSS4X4X1/8	125"				
EH18	BEH4X4X2X1630HG	HSS4X4X1/8	163"				
EH20	BEH4X4X2X1070HG	HSS4X4X1/8	107"				

DEVELOPED BY:



ENGINEERING SERVICES & PRODUCTS CO.
140 18TH AVENUE SW
DYERSVILLE, GA 30508
P-563.875.0113
WWW.CLEARSPAN.COM

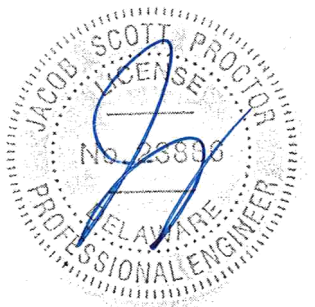
ORDER #: 7743267

CUSTOMER #: 8689394



651 W. GALENA PARK BLVD., STE. 101
DRAPER, UTAH 84020
PHONE (801) 990-1775
WWW.VECTORSE.COM

Firm License Number: COA 3155
VSE Project Number: U1382-808-224

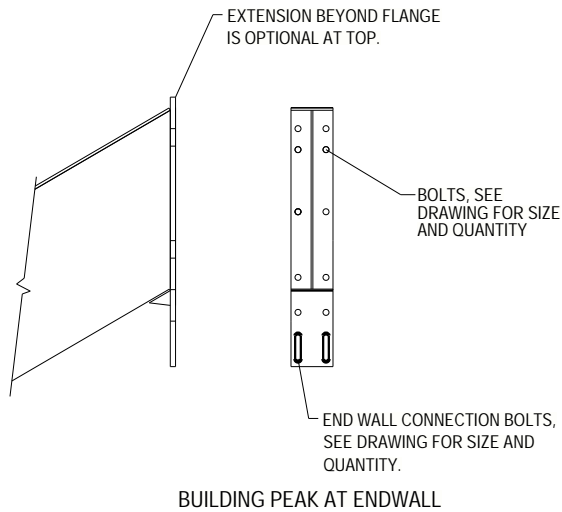


08/29/2022

PROFESSIONAL SEAL

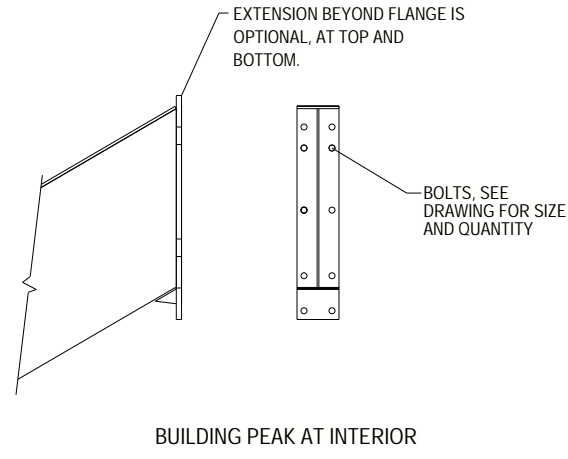
CUSTOMER INFORMATION: BLESSING BLENDS 9372 DRAPER RD MILFORD, DE 19963	CONTACT PHONE: 302-684-8896	STRUCTURE SKU #: 00229	STRUCTURE SIZE: 160'-0" x 250'-8" x 15'-0" & 80'-0" x 60'-8" x 15'-0" x 41'-8"	SHEET TITLE: PART LIST
	CUSTOMER CONTACT: BRUCE BLESSING			

DRAWING DETAILS				
DRAWN BY:	JKP	CREATION DATE:	05/26/2022	
REVISIONS:				
NO.	BY:	DATE:	DESCRIPTION:	
2	JKP	08/23/2022	PER CHANGE ORDER 3	
1	JKP	07/27/2022	PER CHANGE ORDER 2	
NO SCALE			SHEET: E12	
SHEET SIZE: 11X17				

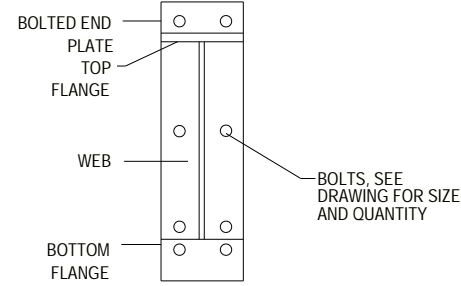


ZB30

BOLTED END PLATE CONNECTION AT BUILDING PEAK

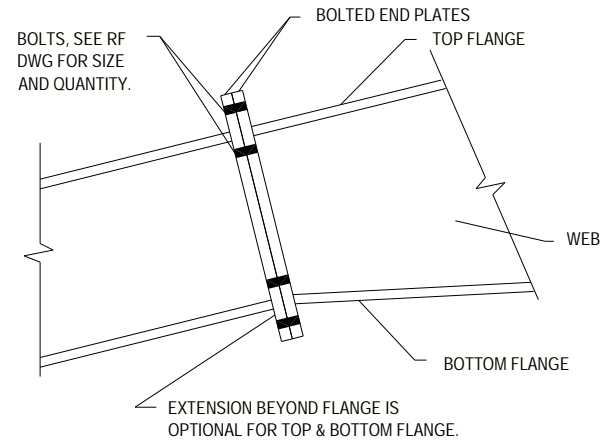


BUILDING PEAK AT INTERIOR



ZB2

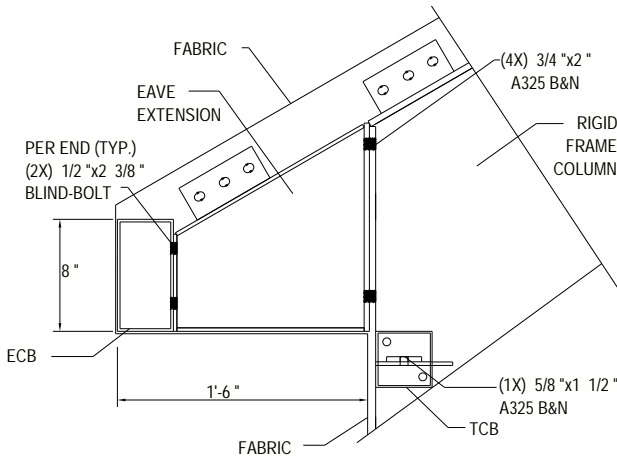
BOLTS FOR RAFTER TO COLUMN CONNECTION



ZB3

BOLTED END PLATE RAFTER SPLICE

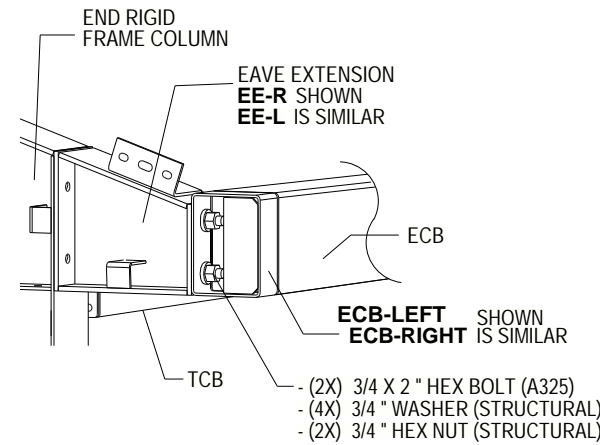
NOTE: BOTTOM OF ECB TO BE FLUSH WITH BOTTOM OF EAVE EXTENSION.



ZB10

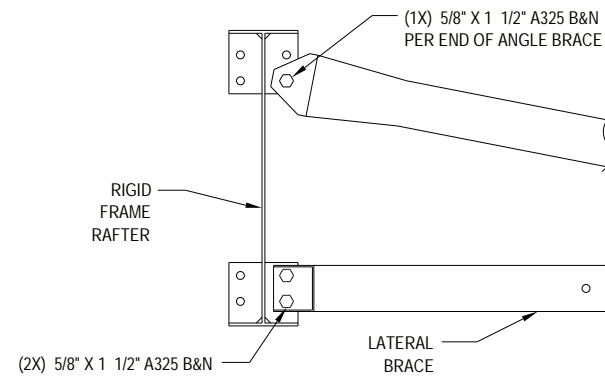
EAVE EXTENSION AT MID COLUMN, EAVE COVER BRACE, TOP COVER BRACE

NOTE: BOTTOM OF ECB TO BE FLUSH WITH BOTTOM OF EAVE EXTENSION.



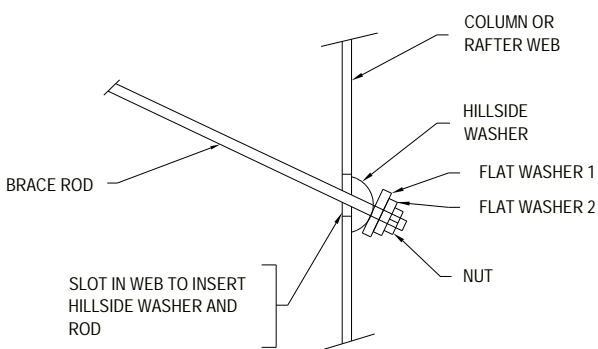
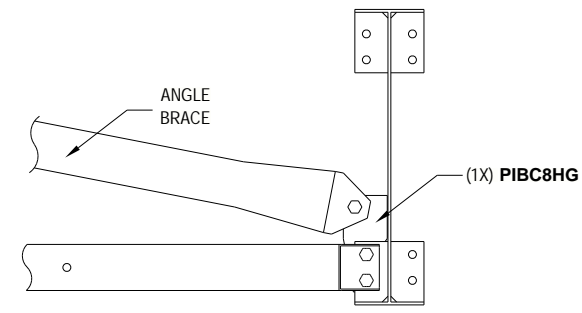
ZB15

EAVE EXTENSION AT END COLUMN, EAVE COVER BRACE, TOP COVER BRACE



ZB39

LATERAL BRACE TO EXPANDABLE ENDWALL RIGID FRAME (WITH ANGLE BRACE & PIBC8)



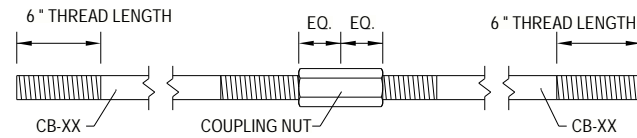
ZB9

BRACE ROD, NUT END

DIAGONAL BRACE ROD HARDWARE

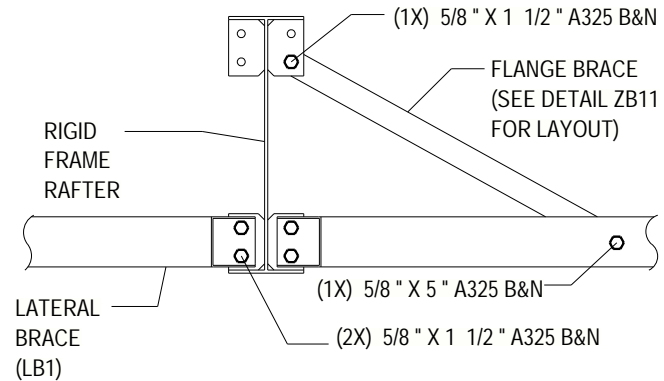
FOR Ø 7/16 " THREADS	FLAT WASHER 1	1/2 " STRUCTURAL WASHER
	FLAT WASHER 2	7/16 " STRUCTURAL WASHER
	NUT	7/16 " HEAVY HEX NUT
FOR Ø 1/2 " THREADS	FLAT WASHER 1	N/A
	FLAT WASHER 2	1/2 " STRUCTURAL WASHER
	NUT	1/2 " HEX NUT
FOR Ø 9/16 " THREADS	FLAT WASHER 1	5/8 " STRUCTURAL WASHER
	FLAT WASHER 2	9/16 " STRUCTURAL WASHER
	NUT	9/16 " HEAVY HEX NUT
FOR Ø 5/8 " THREADS	FLAT WASHER 1	N/A
	FLAT WASHER 2	5/8 " STRUCTURAL WASHER
	NUT	5/8 " HEAVY HEX NUT
FOR Ø 3/4 " THREADS	FLAT WASHER 1	N/A
	FLAT WASHER 2	3/4 " STRUCTURAL WASHER
	NUT	3/4 " HEAVY HEX NUT
FOR Ø 1 " THREADS	FLAT WASHER 1	N/A
	FLAT WASHER 2	1 " STRUCTURAL WASHER
	NUT	1 " HEAVY HEX NUT
FOR Ø 1- 1/4 " THREADS	FLAT WASHER 1	N/A
	FLAT WASHER 2	1- 1/4 " STRUCTURAL WASHER
	NUT	1- 1/4 " HEAVY HEX NUT

DIAGONAL BRACE ROD



NOTE: MARK EACH ROD HALF THE WIDTH OF THE COUPLING NUT FROM THE END TO ENSURE THAT THEY MEET AT THE CENTER OF THE COUPLING NUT

ROD SPLICE DETAIL (IF REQUIRED)



ZB21

LATERAL BRACE TO INTERIOR RIGID FRAME

DEVELOPED BY:

ENGINEERING SERVICES & PRODUCTS CO.
1400 18TH AVENUE SW
DYERSVILLE, IA 52040
P-563.875.0113
WWW.ESAPCO.COM
WWW.CLEARSPAN.COM

ORDER #: 7743267
CUSTOMER #: 8689394

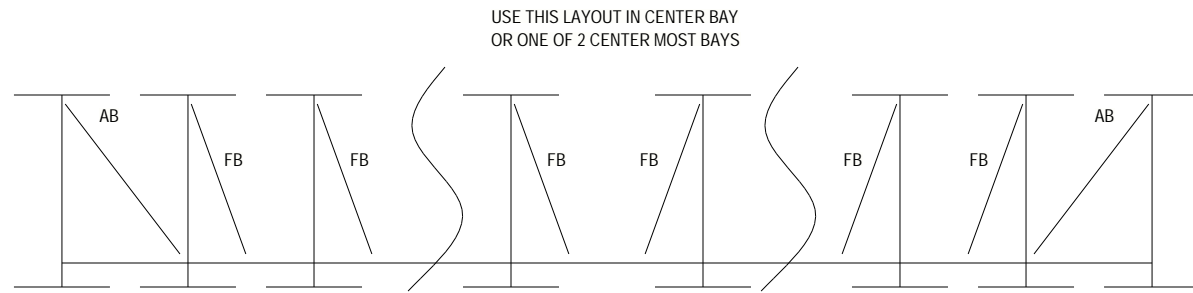
651 W. GALENA PARK BLVD. STE. 101 DRAPER, UTAH 84020
PHONE (801) 990-1775
WWW.VECTORSE.COM
Firm License Number: COA 3155
VSE Project Number: U1382-808-224

08/29/2022
PROFESSIONAL SEAL

CUSTOMER INFORMATION:
BLESSING BLENDS
9372 DRAPER RD
MILFORD, DE 19963
CUSTOMER CONTACT:
BRUCE BLESSING
STRUCTURE SKU #:
00229
STRUCTURE SIZE:
160'-0" x 250'-8" x 15'-0" & 80'-0" x 60'-8" x 15'-0" x 41'-8"
SHEET TITLE:
CONNECTION DETAILS

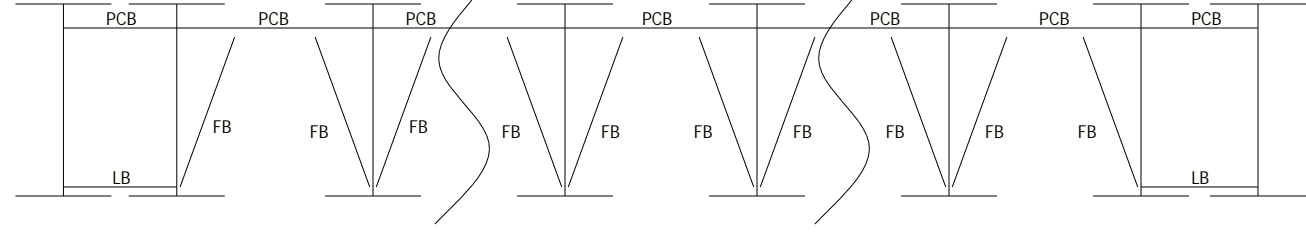
DRAWING DETAILS

DRAWN BY:	JKP	CREATION DATE:	05/31/2022
REVISIONS:			
2	JKP	08/23/2022	PER CHANGE ORDER 3
1	JKP	07/27/2022	PER CHANGE ORDER 2
NO.	BY:	DATE:	DESCRIPTION:
NO SCALE			
SHEET SIZE: 11X17			SHEET: D1



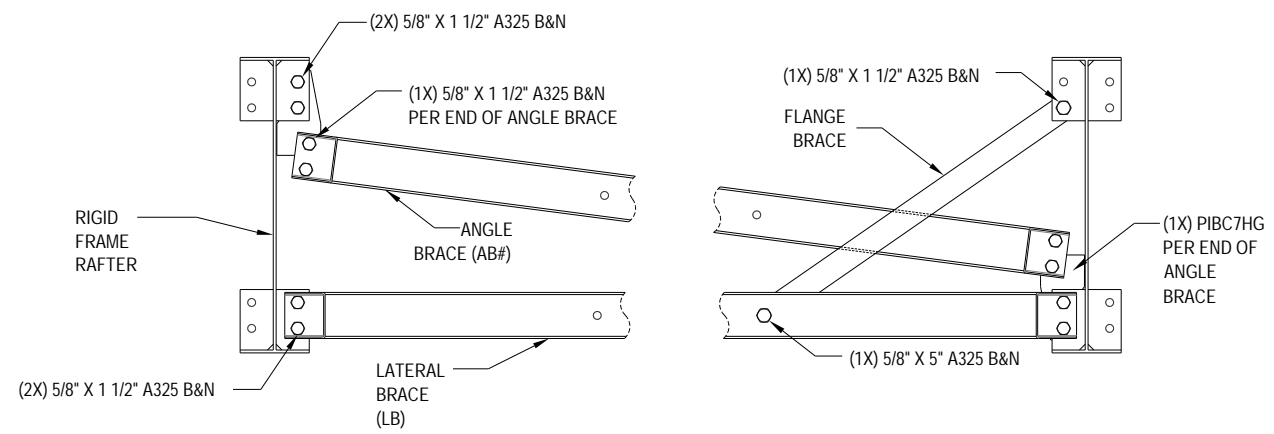
ZB11

FLANGE BRACE LAYOUT



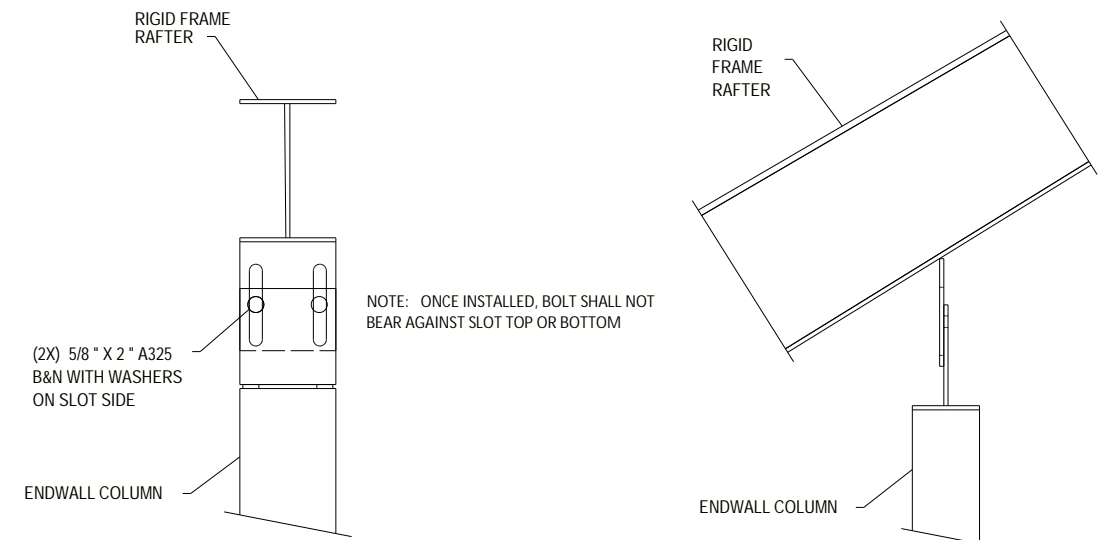
ZB12

PEAK BRACE LAYOUT



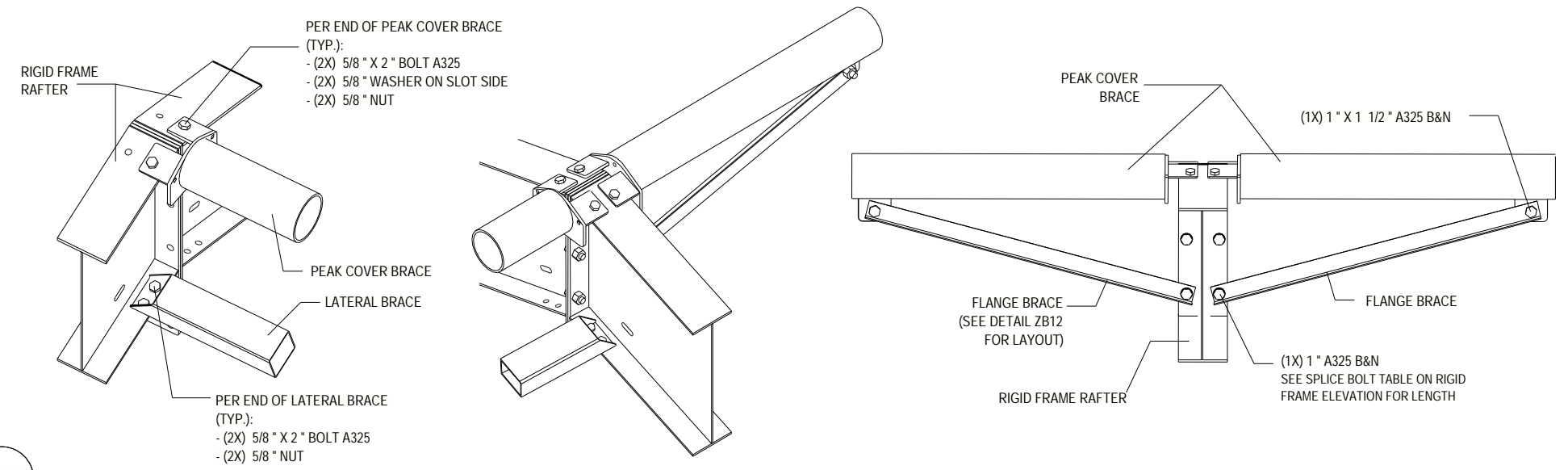
ZB36

LATERAL BRACE TO EXPANDABLE ENDWALL RIGID FRAME (WITH ANGLE BRACE & FLANGE BRACE)



ZE1

COLUMN TO RIGID FRAME RAFTER

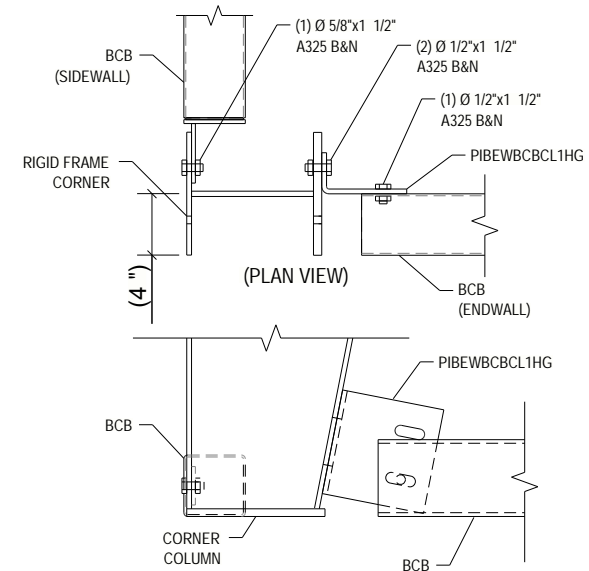


ZB31

(EXTERIOR)

PEAK COVER BRACE CONNECTION (INTERIOR / EXTERIOR)

(INTERIOR)



ZE18

BOTTOM COVER BRACE (BCB) TO CORNER COLUMN FLANGE

DEVELOPED BY:

ENGINEERING SERVICES & PRODUCTS CO.
1440 18TH AVENUE SW
DYERSVILLE, IA 52004
P: 563.875.0113
WWW.CLEARSPAN.COM
WWW.VECTORSE.COM

ORDER #: 7743267
CUSTOMER #: 8689394

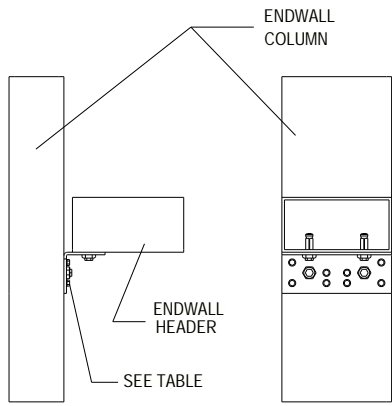
651 W. GALENA PARK BLVD. STE. 101
DRAPER, UTAH 84020
PHONE (801) 990-1775
WWW.VECTORSE.COM
Firm License Number: COA 3155
VSE Project Number: U1382-808-224



08/29/2022
PROFESSIONAL SEAL

CUSTOMER INFORMATION: BLESSING BLENDS 9372 DRAPER RD MILFORD, DE 19963	CONTACT PHONE: 302-684-8896	STRUCTURE SKU #: 00229	STRUCTURE SIZE: 160'-0" x 250'-8" x 15'-0" & 80'-0" x 60'-8" x 15'-0" x 41'-8"	CONNECTION DETAILS
	CUSTOMER CONTACT: BRUCE BLESSING			

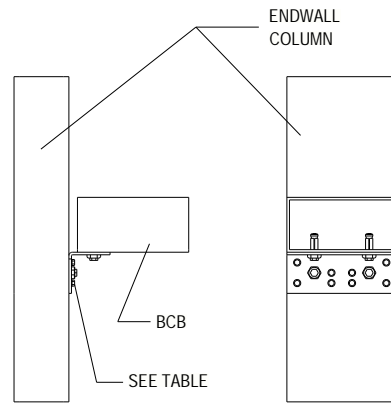
DRAWING DETAILS				
DRAWN BY:	JKP	CREATION DATE:	05/31/2022	
REVISIONS:				
NO.	BY:	DATE:	DESCRIPTION:	
2	JKP	08/23/2022	PER CHANGE ORDER 3	
1	JKP	07/27/2022	PER CHANGE ORDER 2	
NO SCALE				
SHEET SIZE: 11X17				SHEET: D2



HEADER	BRACKET	BLIND-BOLT (PER BRACKET)	TEK SCREW (PER BRACKET)
EH1	EWHB3X3X8T25S1HG	(6X) 1/2" BLIND-BOLT	(8X) #12 X 1 1/2", #5 DRILL POINT
EH2	EWHB3X3X8T25S1HG	(6X) 1/2" BLIND-BOLT	(8X) #12 X 1 1/2", #5 DRILL POINT
EH4	EWHB3X3X4T25S2HG	(2X) 1/2" BLIND-BOLT	(4X) #12 X 1 1/2", #5 DRILL POINT
EH7	EWHB3X3X4T25S2HG	(2X) 1/2" BLIND-BOLT	(4X) #12 X 1 1/2", #5 DRILL POINT
EH10	EWHB3X3X4T25S2HG	(2X) 1/2" BLIND-BOLT	(4X) #12 X 1 1/2", #5 DRILL POINT
EH11	EWHB3X3X4T25S2HG	(2X) 1/2" BLIND-BOLT	(4X) #12 X 1 1/2", #5 DRILL POINT
EH13	EWHB3X3X8T25S1HG	(6X) 1/2" BLIND-BOLT	(8X) #12 X 1 1/2", #5 DRILL POINT
EH14	EWHB3X3X8T25S1HG	(6X) 1/2" BLIND-BOLT	(8X) #12 X 1 1/2", #5 DRILL POINT
EH15	EWHB3X3X4T25S2HG	(2X) 1/2" BLIND-BOLT	(4X) #12 X 1 1/2", #5 DRILL POINT
EH18	EWHB3X3X4T25S2HG	(2X) 1/2" BLIND-BOLT	(4X) #12 X 1 1/2", #5 DRILL POINT
EH20	EWHB3X3X4T25S2HG	(2X) 1/2" BLIND-BOLT	(4X) #12 X 1 1/2", #5 DRILL POINT
EH10	EWHB3X3X4T25S2HG	(2X) 1/2" BLIND-BOLT	(4X) #12 X 1 1/2", #5 DRILL POINT

ZE2

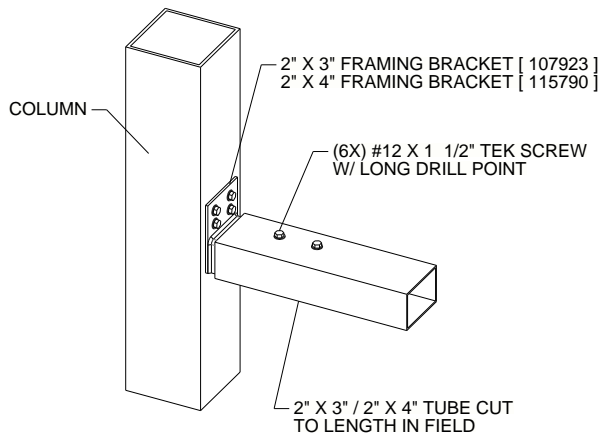
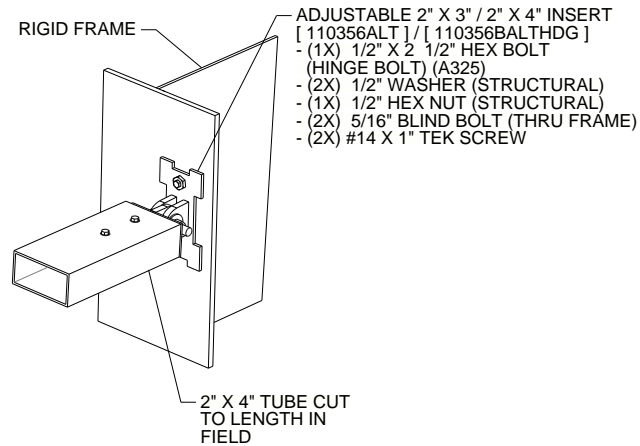
HEADER TO COLUMN CONNECTION



BCB	BRACKET	BLIND-BOLT (PER BRACKET)	TEK SCREW (PER BRACKET)
BCB11	EWHB3X3X4T25S2HG	(2X) 1/2" BLIND-BOLT	(4X) #12 X 1 1/2", #5 DRILL POINT
BCB12	EWHB3X3X4T25S2HG	(2X) 1/2" BLIND-BOLT	(4X) #12 X 1 1/2", #5 DRILL POINT
BCB13	EWHB3X3X4T25S2HG	(2X) 1/2" BLIND-BOLT	(4X) #12 X 1 1/2", #5 DRILL POINT
BCB14	EWHB3X3X4T25S2HG	(2X) 1/2" BLIND-BOLT	(4X) #12 X 1 1/2", #5 DRILL POINT
BCB15	EWHB3X3X4T25S2HG	(2X) 1/2" BLIND-BOLT	(4X) #12 X 1 1/2", #5 DRILL POINT
BCB16	EWHB3X3X4T25S2HG	(2X) 1/2" BLIND-BOLT	(4X) #12 X 1 1/2", #5 DRILL POINT
BCB17	EWHB3X3X4T25S2HG	(2X) 1/2" BLIND-BOLT	(4X) #12 X 1 1/2", #5 DRILL POINT
BCB18	EWHB3X3X4T25S2HG	(2X) 1/2" BLIND-BOLT	(4X) #12 X 1 1/2", #5 DRILL POINT

ZE2-1

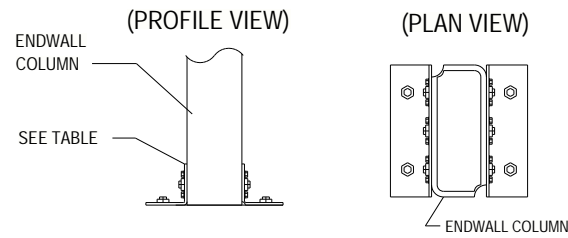
BCB (ABOVE BASE) TO COLUMN CONNECTION



ZE14

FRAMING CONNECTION

BRACKET	BLIND-BOLT (PER BRACKET)	TEK SCREW (PER BRACKET)
PIBEWCCL1HG	(2X) 1/2" BLIND-BOLT	(8X) #12 X 1 1/2", #5 DRILL POINT
PIBEWCCL2RHG	(3X) 1/2" BLIND-BOLT	(8X) #12 X 1 1/2", #5 DRILL POINT
PIBEWCCL2LHG	(3X) 1/2" BLIND-BOLT	(8X) #12 X 1 1/2", #5 DRILL POINT
EWHB3X6X8T25S1HG	(2X) 1/2" BLIND-BOLT	(8X) #12 X 1 1/2", #5 DRILL POINT
PIBEWCCL3HG	(1X) 1/2" BLIND-BOLT	(4X) #12 X 1 1/2", #5 DRILL POINT



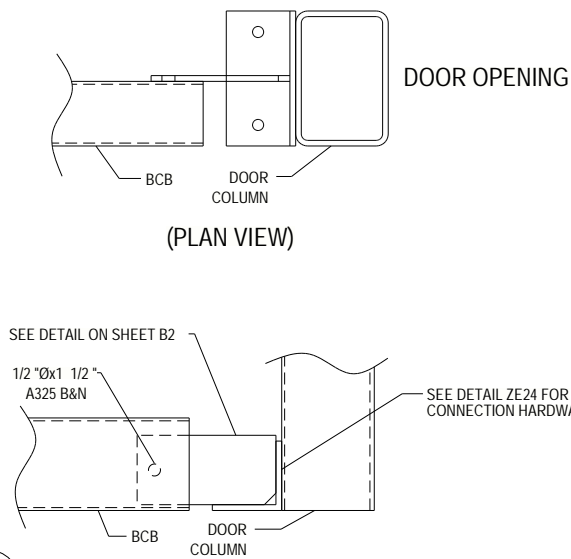
ZE24

ENDWALL COLUMN TO BASE PLATE CONNECTION

BLIND BOLT HOLE SIZES & INSTALLATION TORQUE

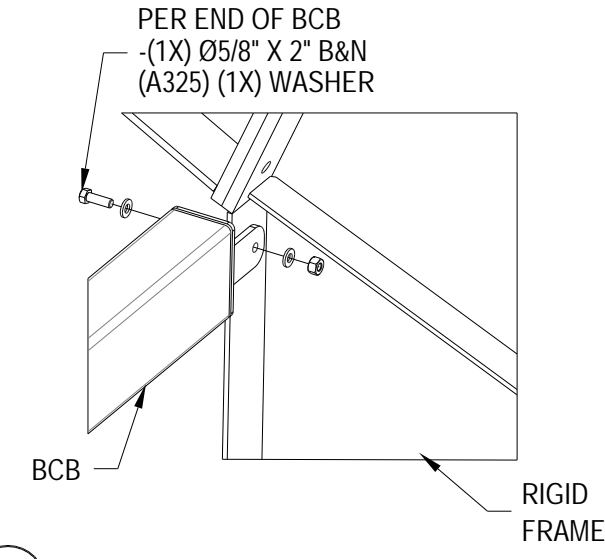
BLIND BOLT DIA.	HOLE DIA.	INSTALLATION TORQUE
1/4"	7/16"	14 FT-LB
5/16"	9/16"	18 FT-LB
3/8"	3/4"	33 FT-LB
1/2"	13/16"	59 FT-LB
5/8"	1 1/16"	140 FT-LB
3/4"	1 5/16"	221 FT-LB

NOTE: REFER TO BLIND BOLT TECHNICAL DATA FOR MORE INFORMATION IF USING BLIND BOLTS.



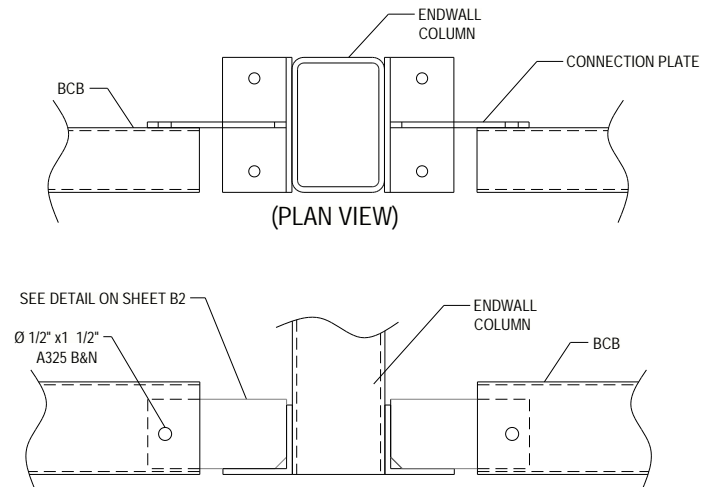
ZE8

DOOR COLUMN TO BASE CONNECTION



ZB42

BCB TO RIGID FRAME AT INNER EAVE



ZE21

ENDWALL BOTTOM COVER BRACE (BCB) CONNECTION TO ENDWALL COLUMN

NOTE: PLAN & ELEV VIEWS ARE GENERIC AND MAY NOT BE REPRESENTATIVE OF THE ACTUAL BRACKET.
NOTE: CONNECTION PLATE AT DOOR LOCATIONS MAY NEED TO BE FIELD CUT

DEVELOPED BY:

ENGINEERING SERVICES & PRODUCTS CO.
140 18TH AVENUE SW
DYERSVILLE, IA 52040
P-563.875.0113
WWW.EASAPCO.COM
WWW.CLEARSPAN.COM

ORDER #: 7743267
CUSTOMER #: 8689394

651 W. GALENA PARK BLVD. STE. 101 PHONE (801) 990-1775
DRAPER, UTAH 84020 WWW.VECTORSE.COM

Firm License Number: COA 3155
VSE Project Number: U1382-808-224

08/29/2022
PROFESSIONAL SEAL

CUSTOMER INFORMATION:
BLESSING BLENDS
9372 DRAPER RD
MILFORD, DE 19963

CONTACT PHONE:
302-684-8896

CUSTOMER CONTACT:
BRUCE BLESSING

STRUCTURE SKU #:
00229

STRUCTURE SIZE:
160'-0" x 250'-8" x 15'-0" & 80'-0" x 60'-8" x 15'-0" x 41'-8"

SHEET TITLE:
CONNECTION DETAILS

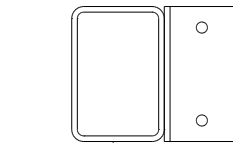
DRAWING DETAILS

DRAWN BY: JKP CREATION DATE: 05/31/2022

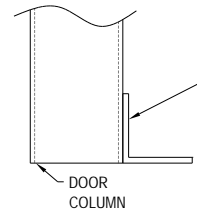
REVISIONS:

2	JKP	08/23/2022	PER CHANGE ORDER 3
1	JKP	07/27/2022	PER CHANGE ORDER 2

NO SCALE SHEET SIZE: 11X17 SHEET: D3

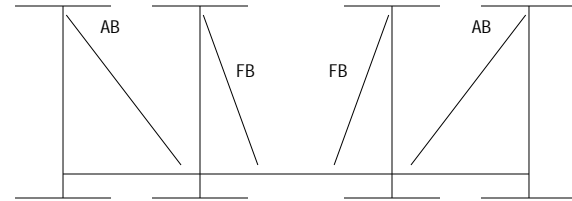


DOOR COLUMN
(PLAN VIEW)

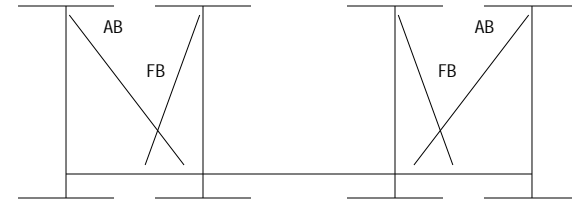


SEE DETAIL ZE24 FOR CONNECTION HARDWARE

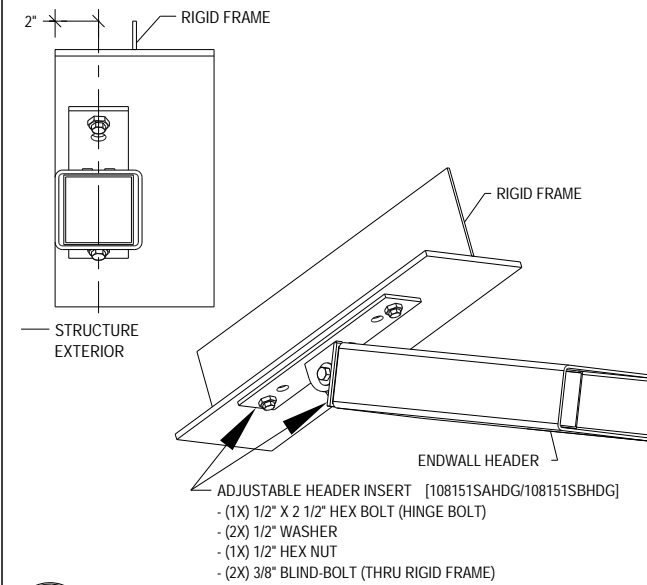
ZE32 DOOR COLUMN TO BASE CONNECTION



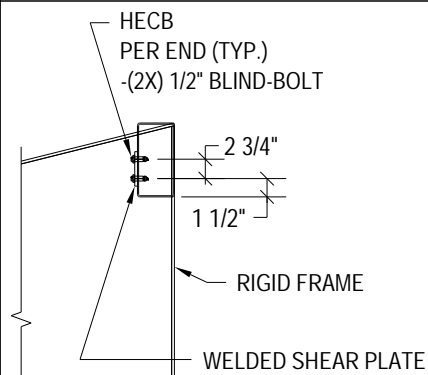
ZB11-1 FLANGE BRACE LAYOUT (MONO SLOPE ROOF)



ZB11-2 FLANGE BRACE LAYOUT (MONO SLOPE SIDEWALL)

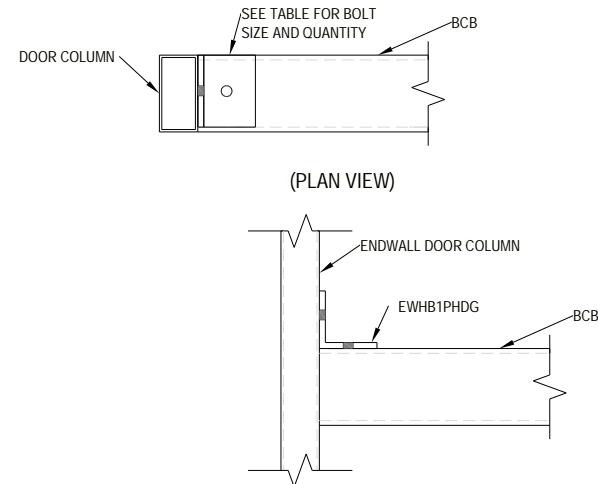


ZE23 HEADER TO RIGID FRAME CONNECTION

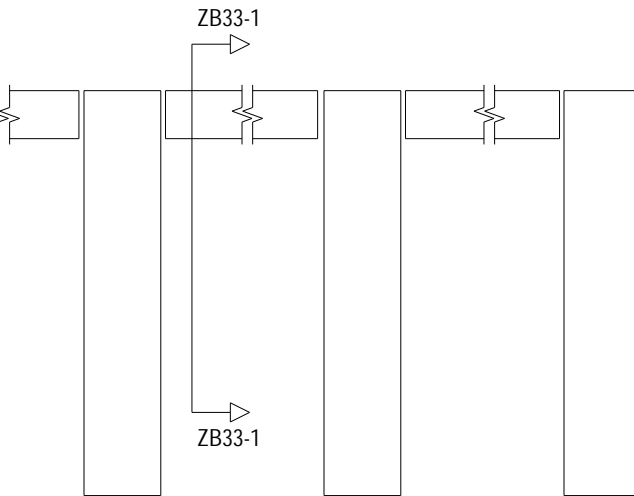


ZB33-1 SECTION ZS33-1
HIGH EAVE COVER BRACE AND TOP COVER BRACE CONNECTION

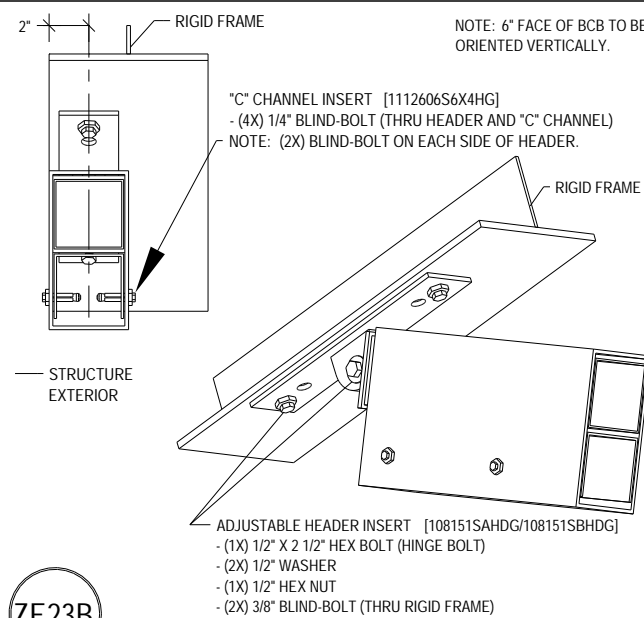
BRACKET	BLIND BOLT (PER BRACKET)	TEK SCREW (PER BRACKET)
EWHB1PHDG	(2X) 5/16" BLIND BOLT	(4X) #12 X 1 1/2", #5 DRILL POINT



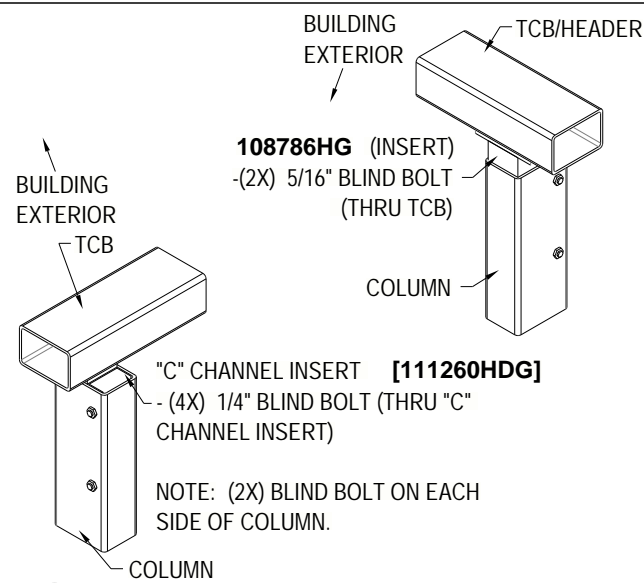
ZS8 COLUMN TO BCB CONNECTION



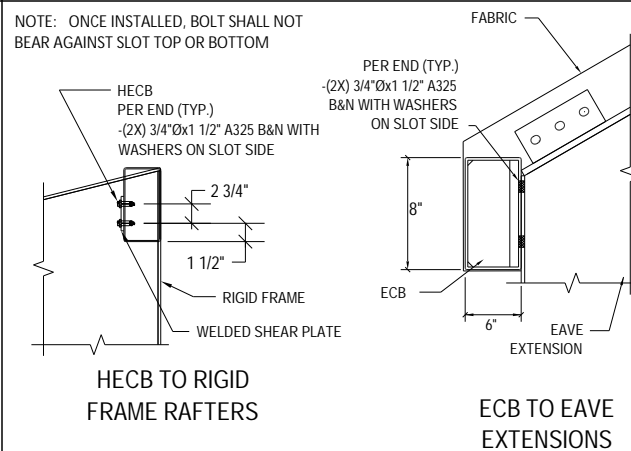
ZS2 SIDEWALL COLUMN CONNECTION BELOW HEADER



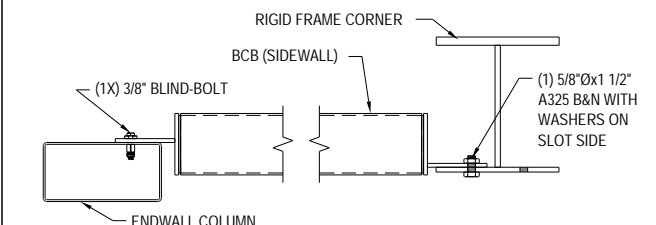
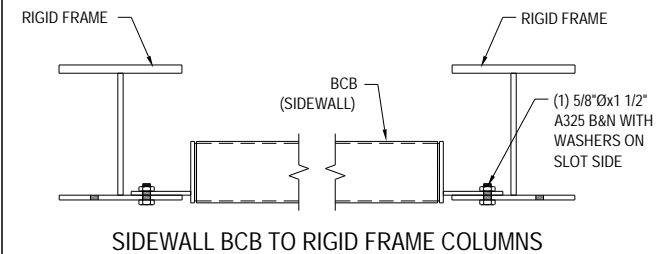
ZE23B ENDWALL BCB TO RIGID FRAME CONNECTION



ZS2-1 SIDEWALL COLUMN CONNECTION BELOW HEADER (WITH CHANNEL INSERT)



TCB TO RIGID FRAME COLUMNS



ZB18-1 BRACING CONNECTIONS BETWEEN BUILDINGS

ORDER #: 7743267

CUSTOMER #: 8689394



08/29/2022
PROFESSIONAL SEAL

CUSTOMER INFORMATION: BLESSING BLENDS 9372 DRAPER RD MILFORD, DE 19963	CONTACT PHONE: 302-684-8896	STRUCTURE SKU #: 00229	STRUCTURE SIZE: 160'-0" x 250'-8" x 15'-0" & 80'-0" x 60'-8" x 15'-0" x 41'-8"	CONNECTION DETAILS
	CUSTOMER CONTACT: BRUCE BLESSING			

DRAWING DETAILS				
DRAWN BY:	JKP	CREATION DATE:	06/27/2022	
REVISIONS:				
2	JKP	08/23/2022	PER CHANGE ORDER 3	
1	JKP	07/27/2022	PER CHANGE ORDER 2	
NO.	BY:	DATE:	DESCRIPTION:	
NO SCALE				
SHEET SIZE: 11X17				SHEET: D4



Blessings Greenhouse

9372 Draper Road

Milford De 19963

Re: Landscape Buffer Design

To: Mary Chandler

As a member of the Delaware Landscape and Nursery Association, Bradshaw Landscape is committed to creating quality and sustainable landscape designs for our clients. Our team of professional landscape designers and nursery professionals, includes Denise Bradshaw and Justin Bartels. Both Denise and Justin are Certified Nursery Professionals with the State of Delaware with over 60 years of combined industry experience.

The DNLA Certified Nursery Professional (CNP) certification demonstrates that you are knowledgeable and experienced in your field. Certification status is earned through practical experience in the industry, passing a test reviewing the basics of the industry, and making a commitment to continuing education.

Our landscape design for the buffer at Blessings Greenhouse includes both native and ornamental plant varieties. The plants selected will provide ornamental value in all seasons through a carefully chosen selection of flower and fruit production as well as varied foliage types. Varied times of flower production in the landscape will encourage pollinators, fruit and berry production will provide food for wildlife, and the varying size and branching of plants will provide habitat. Some of the native plants included in this design are Cercis, Chionanthus, Clethra, Ilex, Juniper, and Sweet Bay Magnolia.

Please feel free to contact me regarding any plant selections or design details. I have attached a copy of the current listing of Certified Nursery Professional (CNP) from the State of Delaware.

Sincerely,

Denise Bradshaw

Bradshaw Landscape LLC

21552 Simpler Branch Rd

Georgetown, De 19947

BLESSING GREENHOUSES AND COMPOST FACILITY, INC. FINAL SITE PLAN

9372 DRAPER ROAD
MILFORD, CEDAR CREEK HUNDRED
SUSSEX COUNTY, DELAWARE, 19963

SHEET INDEX

Sheet No.	Sheet Title
1	COVER SHEET
2	BOUNDARY SURVEY
3	REVISED RIGHT OF WAY FOR DRAPER ROAD
4	EXISTING CONDITIONS PLAN
5	GRADING PLAN
6	PHASING PLAN

SITE DATA

1. PARCEL DATA:
TAX MAP #: 2-30-15.00-34.00 & P/O 2-30-15.00-35.00
PLUS #: N/A
ADDRESS: 9732 DRAPER ROAD
MILFORD, DE 19963
LATITUDE/LONGITUDE: 38° 51' 13.30" N 75° 18' 25.30" W
ZONING: AR-1
CURRENT USE OF SITE: AGRICULTURAL
PROPOSED USE OF SITE: AGRICULTURAL-CU
FEMA FIRM MAP NO. & DATE: PANEL NO. 10005C0160K eff. 3/16/2015
DRAPER ROAD CLASSIFICATION: LOCAL
SETBACKS:
FRONT: 40'
SIDE: 15'
REAR: 20'
MAXIMUM BUILDING HEIGHT: 42'
EXISTING SITE AREA: 31.9478 ACRES +/-
PROPOSED SITE AREA: 31.9478 ACRES +/-
NET DEVELOPMENT AREA: 25 ACRES +/-
EXISTING WETLAND AREA: 6.25 +/- ACRES +/-
PROPOSED CONDITION: CONDITIONAL USE
PROPOSED DISCHARGE LOCATION(S): PROPOSED ON-SITE STORMWATER MANAGEMENT AREA
PROPOSED LIMIT OF DISTURBANCE: 25 ACRES +/-
EXISTING WETLAND AREA (WIN LOD): 0.0 ACRES +/-

IMPERVIOUS AREA:

	AREA (+/- Acs.)	% OF TOTAL SITE AREA (31.95 +/- Acs.)
TOTAL LOD	25	78.25
TOTAL EXISTING IMPERVIOUS	7.84	24.54
TOTAL PROPOSED IMPERVIOUS	4.27	13.37
IMPERVIOUS BEING ADDED	3.84	12.02
IMPERVIOUS TO STAY	4.27	13.37
TOTAL AREA TO BE STABILIZED	13.32	41.69

NOTES

- NO BUILDING HEIGHT WILL EXCEED 42 FEET.
- THE BOUNDARY OF THE CONDITIONAL USE PLAN IS THE ENTIRE PLAN BOUNDARY.

2. OWNER DATA:
DEVELOPER'S NAME, TITLE: BRUCE BLESSING, OWNER
COMPANY/LLC: BLESSING GREENHOUSES AND COMPOST FACILITY INC.
STREET ADDRESS: 9732 DRAPER ROAD
TOWN, STATE, ZIP CODE: MILFORD, DE 19963
PHONE #: (302) 393-3273
E-MAIL: blessingsblends@gmail.com

3. LAND DEVELOPER DATA:
DEVELOPER'S NAME, TITLE: BRUCE BLESSING, OWNER
COMPANY/LLC: BLESSING GREENHOUSES AND COMPOST FACILITY INC.
STREET ADDRESS: 9732 DRAPER ROAD
TOWN, STATE, ZIP CODE: MILFORD, DE 19963
PHONE #: (302) 393-3273
E-MAIL: blessingsblends@gmail.com

4. DESIGNER DATA:
DESIGNER'S NAME, TITLE: MICHAEL A. NAWROCKI, PE - SUPERVISING ENGINEER
COMPANY/LLC: STEPHENS ENVIRONMENTAL CONSULTING, INC.
STREET ADDRESS: 11 ALISA COURT
TOWN, STATE, ZIP CODE: RISING SUN, MD 21911-2505
PHONE #: 302-286-0406
EMAIL: bstephens@stephensenv.com

CONDITIONS OF APPROVAL (ORDINANCE #2514, CU #2071) APPROVED BY SUSSEX COUNTY COUNCIL DECEMBER 30, 2019

4. Modification of Permit Conditions.
- Notwithstanding anything set forth in the Permit to the contrary, the conditions set forth in CU Permit #2071 are hereby modified as follows with deletions shown by strikethrough and additions shown by underline:
- The Applicant shall comply with all requirements established by DNREC and any other regulatory agency having jurisdiction over this use. Failure to comply with DNREC or other agency requirements shall result in the termination of this Conditional Use.
 - Until the new facility is constructed and ready for operation, no new pre-compost storage, blending or wind-rowing activities will be conducted any place onsite except on the concrete pad. This condition excludes any pre-compost material stored on the polyethylene-lined bunkers already onsite. Materials may be loaded for shipping from either the pad or the existing bunkers in accordance with DNREC regulations and the ASO. Screening of finished composted materials, as well as wood and yard waste may take place in designated areas other than the concrete pad.
 - Blessing shall comply with all applicable DNREC and Sussex Conservation District requirements for the site. Failure to comply with any of these requirements shall result in the termination of the use.
 - Material processing hours, including the use of heavy equipment, will be limited to 7:00 a.m. - 7:00 p.m., Monday through Saturday.
 - Material acceptance hours will be limited to 7:00 a.m. - 6:00 p.m., Monday through Saturday.
 - Blessing shall provide for a landscaped buffer of at least 25 feet around the entire property. The existing berm on the property, as shown on the Concept Plan attached as Exhibit A shall be maintained in the same or approximately the same location. A landscape plan showing the landscaping within the proposed buffer shall be shown on the Final Site Plan.
 - Following completion of construction of the new facility, all composting operations including pre-compost staging, wind rowing, blending, stockpiling and actual composting operations shall be conducted under roof on a concrete floor within the building(s) designed for said purpose. No pre-compost storage or composting operations shall be conducted outside the facility building(s). Composting does not include stockpiling and/or shredding of wood, leaf or yard waste, stockpiling of sand or lime, and other unregulated materials that may be stored/utilized onsite.
 - A water truck shall be available to control dust within the site.
 - Blessing is specifically permitted to receive: waste streams from poultry operations, including but not limited to: hatchery waste, poultry processing wastes, and any other waste streams for which Blessing facility is permitted by DNREC under the biosolids program, except for waste streams from municipal human sanitary waste treatment facilities and septage from onsite human wastewater disposal systems (i.e., residential septic systems).
 - Blessing may bag and blend materials properly accepted and composted at the site pursuant to this approval.
 - The application of compost to any agricultural land shall comply with applicable DNREC regulations. The application of compost shall be made in a manner that minimizes odors, including incorporation and other best management practices as appropriate.
 - A Preliminary Conceptual Site Plan has been attached as Exhibit A and, in conjunction with this Settlement Agreement, a Preliminary Site Plan based upon the Conceptual Site Plan shall forthwith be submitted to the Planning and Zoning Office for review and approval as part of the Preliminary Site Plan process. A Final Site Plan including all buildings, buffers, site improvements and a landscaping plan (with types, heights and/or diameter of plantings shown and signed by a licensed Landscape Architect or Certified Nursery Professional) and stormwater management facilities shall be subject to the review and approval of the Planning and Zoning Commission. The Final Site Plan shall comply with Sections 115-220 and 115-221 of the Sussex County Zoning Code. The Final Site Plan may include phasing whereby different areas may be submitted for Final Site Plan approval separately. If the Site Plan is phased, a Master Plan shall be submitted. The Final Site Plan with all applicable permitting shall be completed and approved by County Council not later than three (3) years from the date of this Settlement Agreement unless extensions are granted by County Council.
 - Failure to comply with any condition contained herein shall invalidate this Conditional Use.
 - Upon execution of this Settlement Agreement, Applicant shall begin processing the southernmost bunker on the westerly side of the site through windrowing or other composting pad or removal of the material from the site or any combination thereof and diligently pursue such operations in accordance with DNREC regulations.
5. Agricultural Use.
Notwithstanding any conditions pursuant to Ordinance 2514, any activities and operations permitted by the underlying agricultural zoning shall be exempt from the Ordinance and CU-2071.

OWNER'S CERTIFICATION

"I, BRUCE BLESSING, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E. BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT. AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS, AND I UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT, AS REFERENCED ON THIS COVERSHEET."

DATE

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9732 DRAPER ROAD
MILFORD, DE 19963
PHONE #: (302) 393-3273

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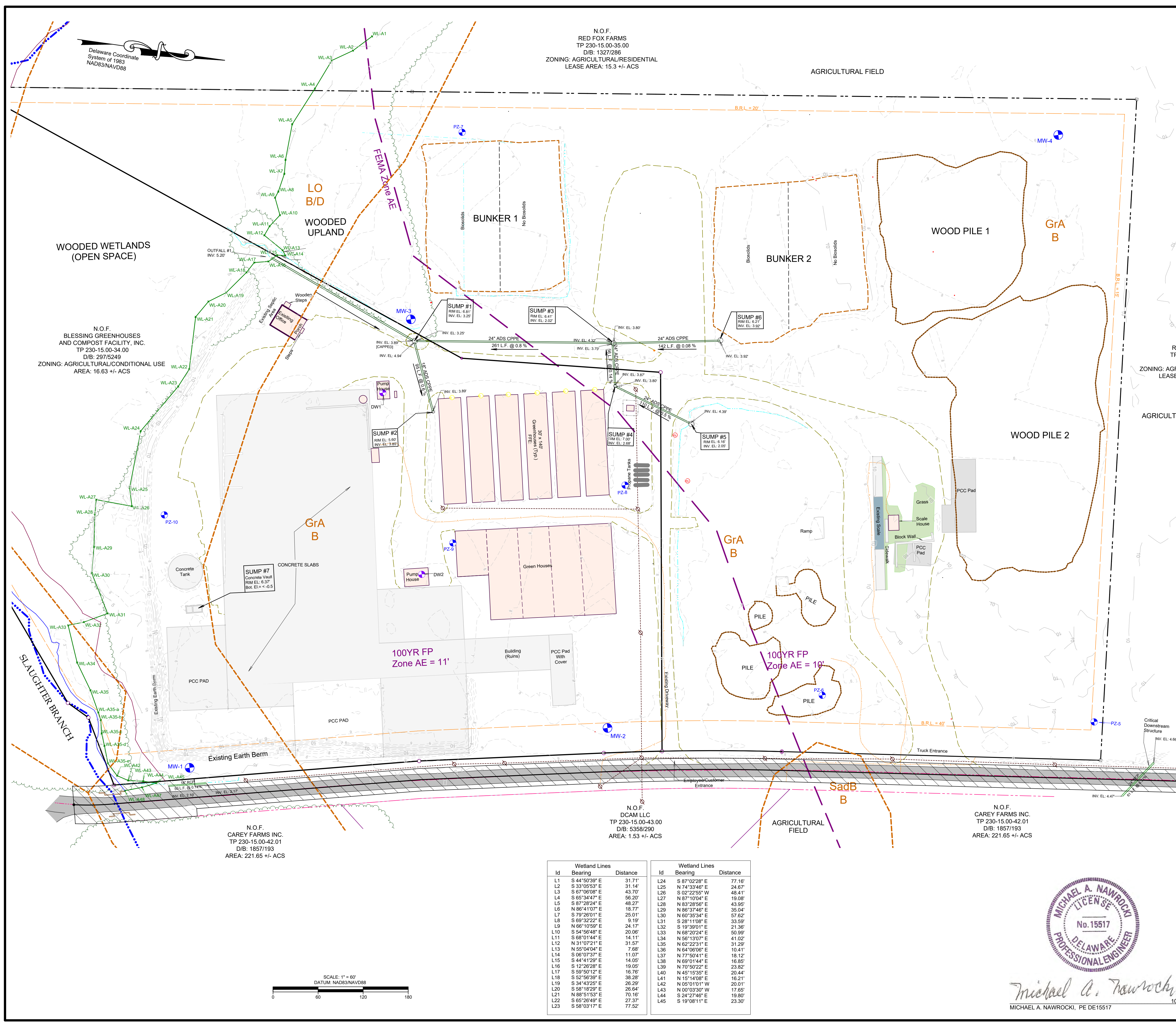
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- ### General Notes
- (1) The existing topography shown hereon was obtained by network GPS and conventional field methods during the period of 10-23-2019 to 11-1-2019. The topography shown hereon is based on NAVD83/NAVD88 datum, Delaware Coordinate System of 1983, Geoid 2012 build 08. The topography shown hereon is "bare earth," and excludes the material piles and bunkers, and any changes in man-made grade that may occur inside covered buildings, and is intended to be suitable for design purposes.
 - (2) Wetlands shown hereon were delineated in the field during the period of 10-23-2019 to 11-1-2019 by Stephens Environmental Consulting, Inc. and is subject to further study and field confirmation. The final site plan shall show the final wetland-upland boundary with bearings and distances.
 - (3) This facility is subject to DNREC regulation under an Agreement and Secretary's Order (ASO) and an industrial stormwater permit. Please refer to these documents previously submitted for specific information regarding state regulated activities at the facility.
 - (4) According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Community Panel Number 10005C0160K Effective Date 3/16/2015, the site is located within the Special Flood Hazard Zone AE (El. 10 feet) or (El. 11Feet) as shown hereon.
 - (5) The boundary and existing buildings shown on this plan are based on a survey performed by Stephens Environmental Consulting, Inc. dated October 13, 2016 entitled "Lease Boundary Line Agreement and Location Survey and Proposed Expansion Plan for the Blessings Greenhouse and Composting, Inc." as amended.

EXISTING CONDITIONS LEGEND

- PH-5PZ-5 Piezometer
- MW-4 Monitor Well
- Stormwater Sump
- Building Envelope
- Building Restriction Line
- Power Pole/Overhead Wires
- Edge of Gravel Drive/Parking
- Edge of Pavement
- Center Line of Road
- Underground Verizon
- Storm Drain Piping
- Propane Tank
- Existing Major Contours
- Existing Minor Contours
- FEMA 100 VR FP Special Hazard Areas AE - 10, 11
- Existing Swale
- Adjoiner Plat Line
- Final Wetland Delineation Line
- Material Pile
- Existing Concrete Slab
- Existing Building
- Existing Grass within Gravel/Pavement
- Soil Map Symbol
- Hydrologic Soil Group (HSG)
- Existing Gas Valve
- De/DOT 30' and 50' Wide Permanent Easement
- Streambank (ordinary high water)
- 50-Foot Non-Tidal Buffer

Blessing Greenhouses and Compost Facility, Inc. Existing Conditions Plan

9372 Draper Road
Milford, Cedar Creek Hundred
Sussex County, Delaware 19563

Wetland Lines			Wetland Lines		
Id	Bearing	Distance	Id	Bearing	Distance
L1	S 44°50'39" E	31.71'	L24	S 87°02'28" E	77.16'
L2	S 33°05'53" E	31.14'	L25	N 74°33'48" E	24.67'
L3	S 67°08'08" E	45.70'	L26	S 02°22'55" W	48.41'
L4	S 65°34'47" E	56.20'	L27	N 87°10'04" E	19.08'
L5	S 87°28'24" E	48.27'	L28	N 83°28'56" E	43.95'
L6	N 86°11'07" E	18.77'	L29	N 60°37'49" E	35.04'
L7	S 79°28'01" E	25.01'	L30	N 60°35'34" E	57.62'
L8	S 69°32'22" E	9.19'	L31	S 28°11'08" E	33.59'
L9	N 66°10'59" E	24.17'	L32	S 19°30'01" E	21.36'
L10	S 54°56'48" E	20.06'	L33	N 68°20'24" E	50.99'
L11	S 68°01'44" E	14.11'	L34	N 56°13'07" E	41.02'
L12	N 31°07'21" E	31.57'	L35	N 62°22'31" E	31.29'
L13	N 55°04'04" E	7.68'	L36	N 64°06'06" E	10.41'
L14	S 06°07'37" E	11.07'	L37	N 77°50'41" E	18.12'
L15	S 44°41'29" E	14.05'	L38	N 60°01'44" E	16.05'
L16	S 12°26'28" E	19.05'	L39	N 70°50'22" E	23.82'
L17	S 59°50'12" E	16.76'	L40	N 45°19'35" E	20.44'
L18	S 52°56'39" E	38.28'	L41	N 15°14'38" E	16.21'
L19	S 34°43'25" E	26.29'	L42	N 05°01'01" W	20.01'
L20	S 58°18'29" E	26.64'	L43	N 00°03'30" W	17.65'
L21	N 88°51'53" E	70.16'	L44	S 24°27'46" E	19.80'
L22	S 65°26'49" E	27.37'	L45	S 19°08'11" E	23.30'
L23	S 58°03'17" E	77.52'			

Michael A. Nawrocki
MICHAEL A. NAWROCKI, PE DE15517

Revision #	Date	By	Reference #

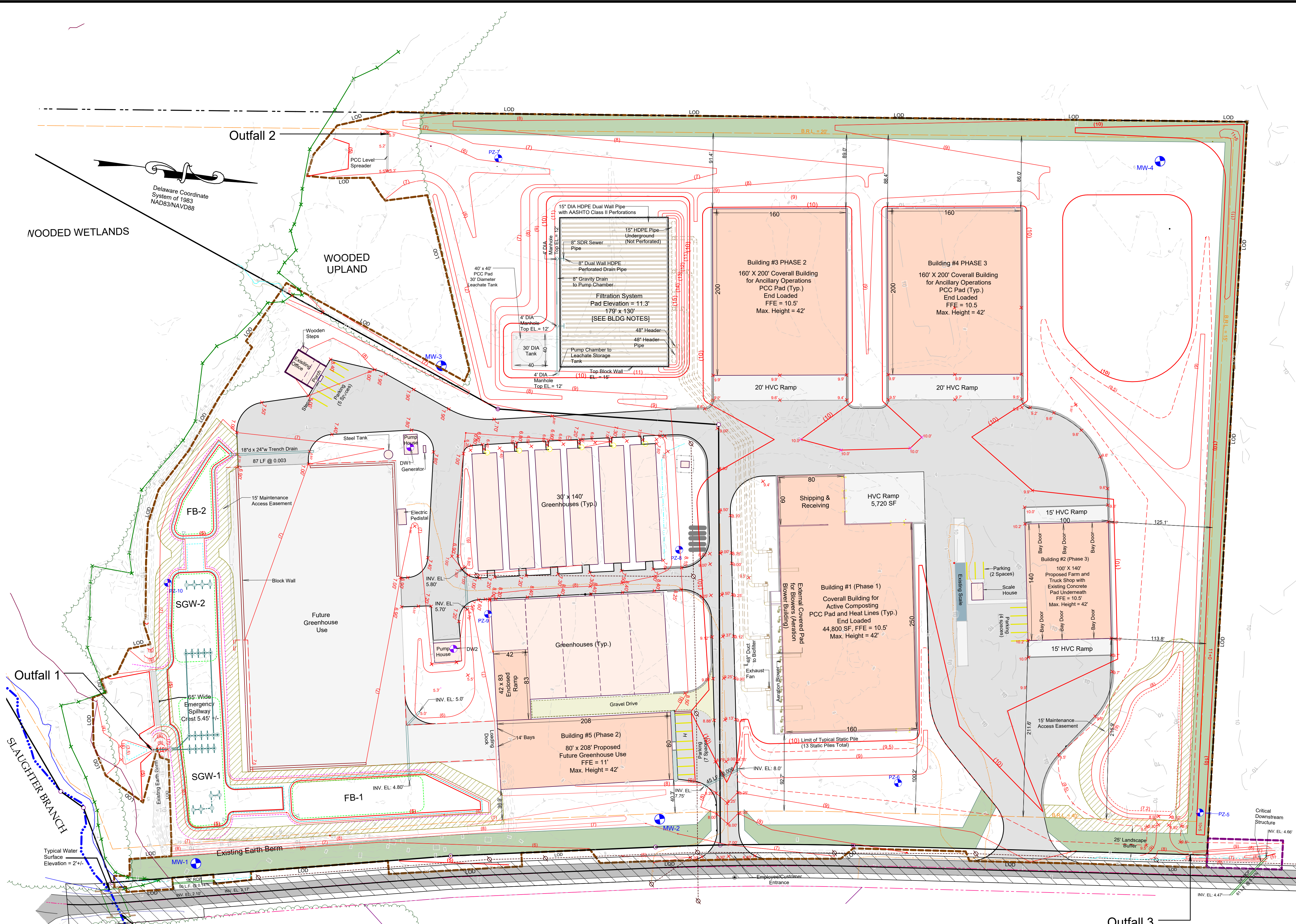
11 Alisa Court
Rising Sun, MD 21911

www.StephensENV.com
P: (302) 286-0406
M: (302) 540-3453

Final Site Plan

Blessing Greenhouses and Compost Facility, Inc.
9372 Draper Road, Milford, Cedar Creek Hundred
Sussex County, Delaware 19563

DRAWN BY: ETH/WES	CHECKED BY: MAN
SHEET # 2 OF 4	DATE: 10/05/2022
District 2-30 Map 15.00 Parcel 34.00 & P/O 35.00	PROJECT #: 1646.CJ
	FILE PATH: S:\2022_Projects\1646\PCS\SITE PLAN



- PROPOSED LEGEND**
- (10) Proposed Major Contours
 - (0) Proposed Minor Contours
 - Preliminary Wetland Delineation Line
 - Proposed Limit of Disturbance (LOD)
 - Proposed Block Wall
 - Proposed Heavy Use Concrete Ramp
 - Proposed Building with Concrete Floor
 - Proposed Pavement
 - Proposed Landscape Buffer
 - x0.00' Proposed Spot Elevation
 - Proposed Outside Limit of Disturbance Line
 - Leachate Piping
 - Block Wall
 - Solid Piping
 - Underground Piping
 - 15' Maintenance Access Easement
 - DelDOT 30' and 50' Wide Permanent Easement
 - Streambank (ordinary high water)
 - 50-Foot Non-Tidal Buffer

Blessing Greenhouses and Compost Facility, Inc.
 Bulk Grading Plan
 9372 Draper Road
 Milford, Cedar Creek Hundred
 Sussex County, Delaware 19953

SCALE: 1" = 60'
 DATUM: NAD83/NAVD83



Michael A. Nawrocki
 MICHAEL A. NAWROCKI, PE DE15517
 10/5/2022 DATE

Revision #	Date	By	Reference #

DRAWN BY: ETH/WES		CHECKED BY: MAN	
SHEET # 3 OF 4		DATE: 10/05/2022	
District 2-30 Map 15.00 Parcel 34.00 & P/O 35		PROJECT #: 1646.CJ	

www.StephensENV.com 11 Alisa Court Rising Sun MD 21911 P: (302) 286-0406 M: (302) 540-3453	
Final Site Plan Blessing Greenhouses and Compost Facility, Inc. 9372 Draper Road, Milford, Cedar Creek Hundred Sussex County, Delaware 19953	
DRAWING: 1646.CJ_Prelim_Site_Plan_P&G_10-5-2022.dwg FILE PATH: S:\2022_Projects\1646_CJ\PCS\SITE PLAN	

FOUNDATION SYSTEM FOR CLEARSPAN STRUCTURE

CONCRETE FOUNDATION FOR
160' x 250' & 80' x 60'
CLEARSPAN STRUCTURE
CLEARSPAN ORDER NO. 7743267

LOCATION:

9372 DRAPER ROAD
MILFORD, DE 19963
SUSSEX COUNTY

DRAWING INDEX

- T1 TITLE SHEET
- N1 GENERAL NOTES
- S1 FOUNDATION PLAN
- S2-S5 DETAILS
- S6-S7 STRUCTURE REACTIONS



651 W Galena Park Blvd (801) 990-1775
Draper, UT 84040 (801) 990-1776 FAX
www.vectorse.com
DE FIRM LICENSE#: COA 3155

DATE: 8/29/2022 DESIGNED: JGC DRAFTER: DAG

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DATE	DESCRIPTION

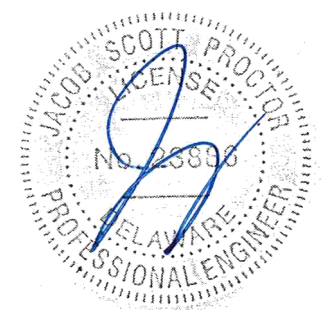


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1440 18th Ave. SW
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TITLE SHEET

FOUNDATION SYSTEM FOR
CLEARSPAN STRUCTURE
CONCRETE FOUNDATION FOR 160' x 250' & 80' x 60'

9372 DRAPER ROAD
MILFORD, DE 19963
SUSSEX COUNTY
CLEARSPAN ORDER NUMBER: 7743267



08/29/2022

U1382.808.223

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GENERAL DESIGN NOTES

GENERAL DESIGN NOTES:

STRUCTURAL DESIGN IS BASED ON THE INTERNATIONAL BUILDING CODE, 2018 EDITION AND THE ASCE 7-16 STANDARD

DESIGN LOADS:

WIND:

BASIC WIND SPEED: 108 MPH
RISK CATEGORY: II
EXPOSURE: C
TOPOGRAPHIC FACTOR: 1.0
INTERNAL PRESSURE COEFF.: ±0.18

SNOW:

GROUND SNOW LOAD = 20 PSF
SNOW EXPOSURE FACTOR = 1.0
THERMAL FACTOR = 1.2
SNOW IMPORTANCE FACTOR = 0.8 (CATEGORY II)

STEEL MATERIAL NOTES:

1. ALL STEEL SHAPES & PLATES SHALL CONFORM w/ ASTM A36, U.N.O.
2. ALL BOLTS FOR STEEL-TO-STEEL CONNECTIONS SHALL CONFORM w/ ASTM A325N, U.N.O.
3. ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS IN ACCORDANCE w/ THE LATEST VERSION OF THE AMERICAN WELDING SOCIETY AWS D1.1.
4. ALL BOLTED CONNECTIONS SHALL BE TIGHTENED TO "SNUG-TIGHT" CONDITION AS DEFINED BY THE AISC MANUAL.
5. ALL STEEL SHAPES, PLATES, AND HARDWARE EXPOSED TO WEATHER SHALL BE GALVANIZED, STAINLESS STEEL, OR OTHERWISE PROTECTED FROM WEATHER.

REINFORCING STEEL NOTES:

1. REINFORCING BARS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-615 GRADE 60.
2. ALL REINFORCING BAR BENDS SHALL BE MADE COLD.
3. MINIMUM LAP OF WELDED WIRE FABRIC SHALL BE 6 INCHES OR ONE FULL MESH AND ONE HALF, WHICH EVER IS GREATER.
4. ALL BARS SHALL BE MARKED SO THEIR IDENTIFICATION CAN BE MADE WHEN THE FINAL IN-PLACE INSPECTION IS MADE.
5. REBAR SPLICES ARE TO BE: CLASS "B".
6. REINFORCING SPLICES SHALL BE MADE ONLY WHERE INDICATED ON THE DRAWINGS.
7. DOWELS BETWEEN FOOTINGS AND WALLS OR COLUMNS SHALL BE THE SAME GRADE, SIZE AND SPACING OR NUMBER AS THE VERTICAL REINFORCING, RESPECTIVELY.

CONCRETE: (CAST-IN-PLACE)

1. ALL PHASES OF WORK PERTAINING TO THE CONCRETE CONSTRUCTION SHALL CONFORM TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318 LATEST APPROVED EDITION) WITH MODIFICATIONS AS NOTED IN THE DRAWINGS AND SPECIFICATIONS.
2. REINFORCED CONCRETE DESIGN IS BY THE "ULTIMATE STRENGTH DESIGN METHOD", ACI 318-(LATEST EDITION).
3. ALL STRUCTURAL CONCRETE SHALL HAVE A MIN. 28-DAY STRENGTH OF 4000 PSI.
4. CONCRETE MIX DESIGN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL WITH THE FOLLOWING REQUIREMENTS:
 - 4.1. COMPRESSIVE STRENGTH AT AGE 28 DAYS AS SPECIFIED ABOVE.
 - 4.2. LARGE AGGREGATE-HARDROCK, ¾" MAXIMUM SIZE CONFORMING TO ASTM C-33.
 - 4.3. CEMENT-ASTM C-150, TYPE II PORTLAND CEMENT.
 - 4.4. MAXIMUM SLUMP 5" MAX WATER CEMENT RATIO 0.50
 - 4.5. NO ADMIXTURES, EXCEPT FOR ENTRAINED AIR, AND AS APPROVED BY THE ENGINEER.
5. CONCRETE MIXING OPERATIONS, ETC, SHALL CONFORM TO ASTM C-94.
6. PLACEMENT OF CONCRETE SHALL CONFORM TO ACI STANDARD 614 AND PROJECT SPECIFICATIONS
7. CLEAR COVERAGE OF CONCRETE OVER OUTER REINFORCING BARS SHALL BE AS FOLLOWS:
 - 7.1. CONCRETE POURED DIRECTLY AGAINST EARTH - 3" CLEAR
 - 7.2. STRUCTURAL SLABS - 3/4" CLEAR (TOP AND BOTTOM)
 - 7.3. FORMED CONCRETE WITH EARTH BACK FILL - 2 INCHES CLEAR
8. ALL REINFORCING BARS, ANCHOR BOLTS AND OTHER CONCRETE INSERTS (AS APPLICABLE) SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE.
9. MODULUS OF ELASTICITY OF CONCRETE, WHEN TESTED IN ACCORDANCE WITH ASTM C-460, SHALL BE AT LEAST THE VALUE GIVEN BY THE EQUATIONS IN SECTION 19.2.2 OF ACI 318-14 FOR THE SPECIFIED 28-DAY STRENGTH.
10. SHRINKAGE OF CONCRETE, WHEN TESTED IN ACCORDANCE WITH ASTM C-157, SHALL NOT EXCEED 0.00040 INCHES/INCH.

FOUNDATION NOTES:

1. FOUNDATION DESIGN IS BASED ON THE FOLLOWING GEOTECHNICAL REPORT:

JOHN D. HYNES & ASSOCIATES, INC.
PROJECT: JDH-10/20/301
DATE: AUGUST 25, 2020

2. CONTRACTOR SHALL PROVIDE FOR PROPER DE-WATERING OF EXCAVATIONS FROM SURFACE WATER, GROUND WATER, SEEPAGE, ETC.
3. FOOTINGS SHALL BE PLACED ACCORDING TO DEPTHS SHOWN ON THE DRAWINGS.
4. THE TOP OF FOUNDATION SHALL BE LEVEL AND NON-SLOPING, U.N.O.

SPECIAL INSPECTIONS / QUALITY ASSURANCE:

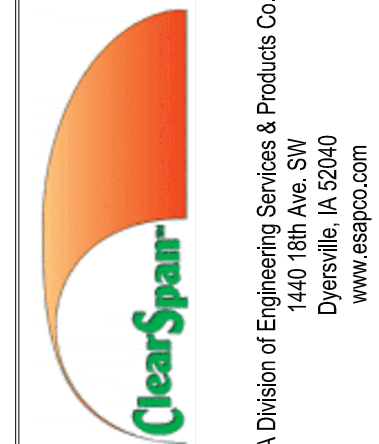
1. SPECIAL INSPECTIONS SHALL BE REQUIRED FOR:
 - CONCRETE MIX DESIGN & STRENGTH
 - FORMWORK SHAPE, LOCATION, & DIMENSIONS
 - REINFORCEMENT TYPE & PLACEMENT
 - FOUNDATION EXCAVATION
 - ANCHORAGE TYPE & PLACEMENT
 - CONTINUOUS INSPECTION OF CONCRETE PLACEMENT
 - PERIODIC SPECIAL INSPECTION OF ALL POST-INSTALLED ANCHORAGE TO CONCRETE PER MFR. RECOMMENDATIONS AND APPLICABLE ICC-ES REPORT
- a. THE OWNERS SHALL EMPLOY SPECIAL INSPECTORS WHO SHALL PROVIDE ADDITIONAL INSPECTIONS DURING CONSTRUCTION IN ACCORDANCE WITH SECTION 17 OF THE BUILDING CODE.
- b. ALL SPECIAL INSPECTIONS SHALL BE PERFORMED BY AN INDEPENDENT CERTIFIED INSPECTOR FROM AN ESTABLISHED TESTING AGENCY, LICENSED AND APPROVED BY THE BUILDING DEPARTMENT
- c. THE TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO VECTOR STRUCTURAL ENGINEERING AND ALL INTERESTED PARTIES.
2. ALL REPORTS SHALL BE DISTRIBUTED ON A MONTHLY BASIS TO THE ENGINEER OF RECORD, OWNER, CONTRACTOR, AND TO THE BUILDING OFFICIAL.
3. NO STRUCTURAL OBSERVATION IS REQUIRED. HOWEVER, THE ENGINEER OF RECORD RESERVES THE RIGHT TO MAKE FIELD OBSERVATIONS DURING CONSTRUCTION APPROXIMATELY ONCE PER WEEK.
5. SPECIAL INSPECTION IS NOT REQUIRED FOR WORK ON A MINOR NATURE OR AS WARRANTED BY CONDITIONS IN THE JURISDICTION AS APPROVED BY THE BUILDING OFFICIAL. THUS, INSPECTION ITEMS ABOVE MAY BE WAIVED AS DEEMED APPROPRIATE BY THE BUILDING OFFICIAL.



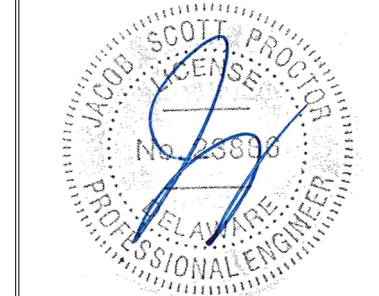
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Draper, UT 84040 (801) 990-1776 FAX
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DE FIRM LICENSE#: COA 3155

DATE: 8/29/2022 DESIGNED: JGC DRAFTER: DAG

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DATE	DESCRIPTION



GENERAL NOTES
**FOUNDATION SYSTEM FOR
CLEARSPAN STRUCTURE**
CONCRETE FOUNDATION FOR 160' x 250' & 80' x 60'
9372 DRAPER ROAD
MILFORD, DE 19963
SUSSEX COUNTY
CLEARSPAN ORDER NUMBER: 774267



08/29/2022

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- FOUNDATION NOTES:**
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH BUILDING DRAWINGS PRIOR TO CONSTRUCTION.
 2. SEE CLEARSPAN DRAWINGS FOR ALL INFORMATION PERTAINING TO THE BUILDING
 3. CONTROL JOINTS MAY BE INSTALLED IN WALLS PER DTL 2/S4

DATE: 8/29/2022 DESIGNED: JGC DRAFTER: DAG

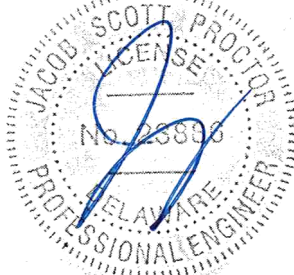
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OVERALL FOUNDATION PLAN
FOUNDATION SYSTEM FOR CLEARSPAN STRUCTURE
 CONCRETE FOUNDATION FOR 160' x 250' & 80' x 60'

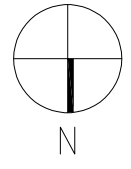
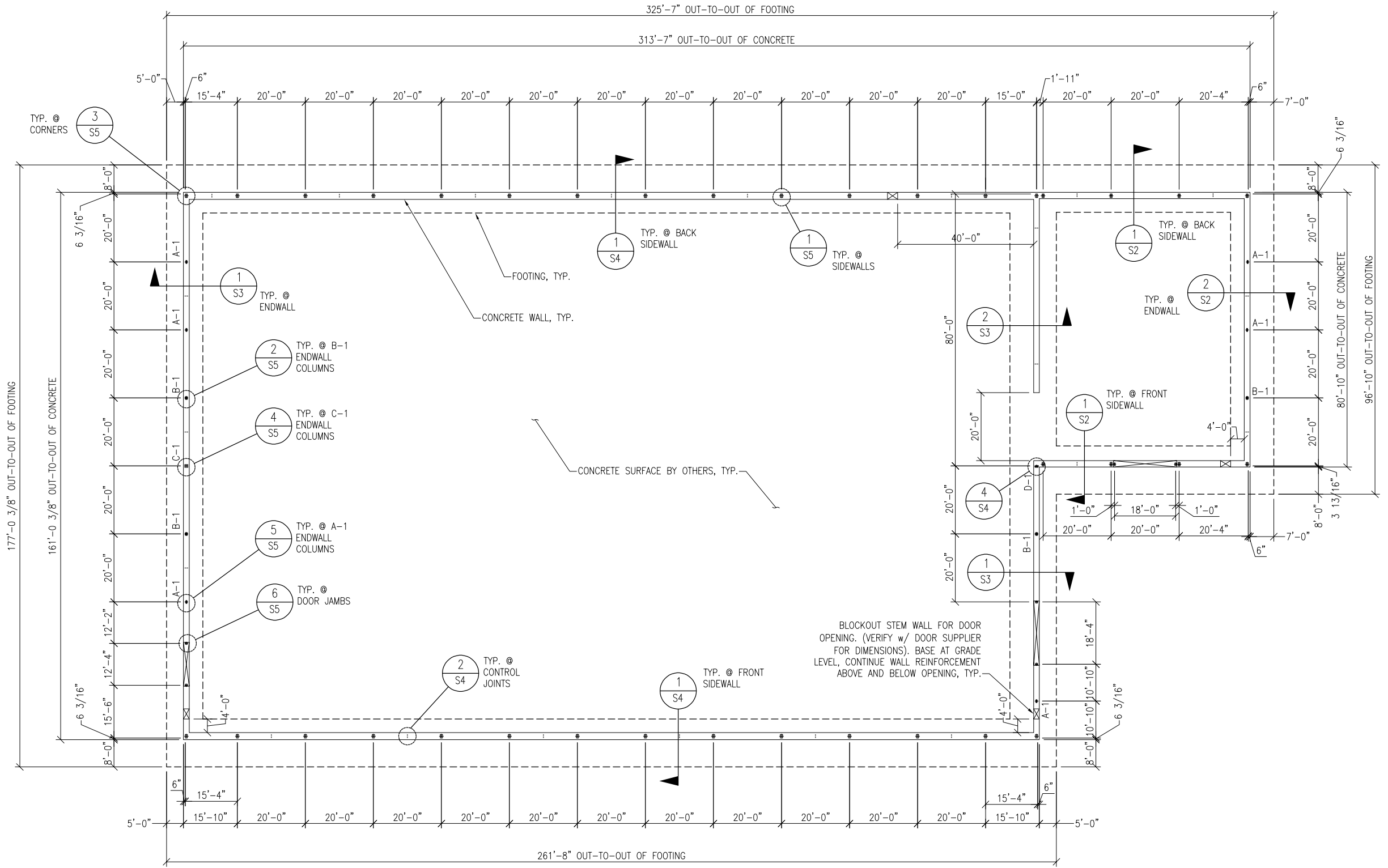
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 CLEARSPAN ORDER NUMBER: 774267



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OVERALL FOUNDATION PLAN 1
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DETAILS

FOUNDATION SYSTEM FOR CLEARSPAN STRUCTURE

CONCRETE FOUNDATION FOR 160' x 250' & 80' x 60'

9372 DRAPER ROAD
 MILFORD, DE 19863
 SUSSEX COUNTY

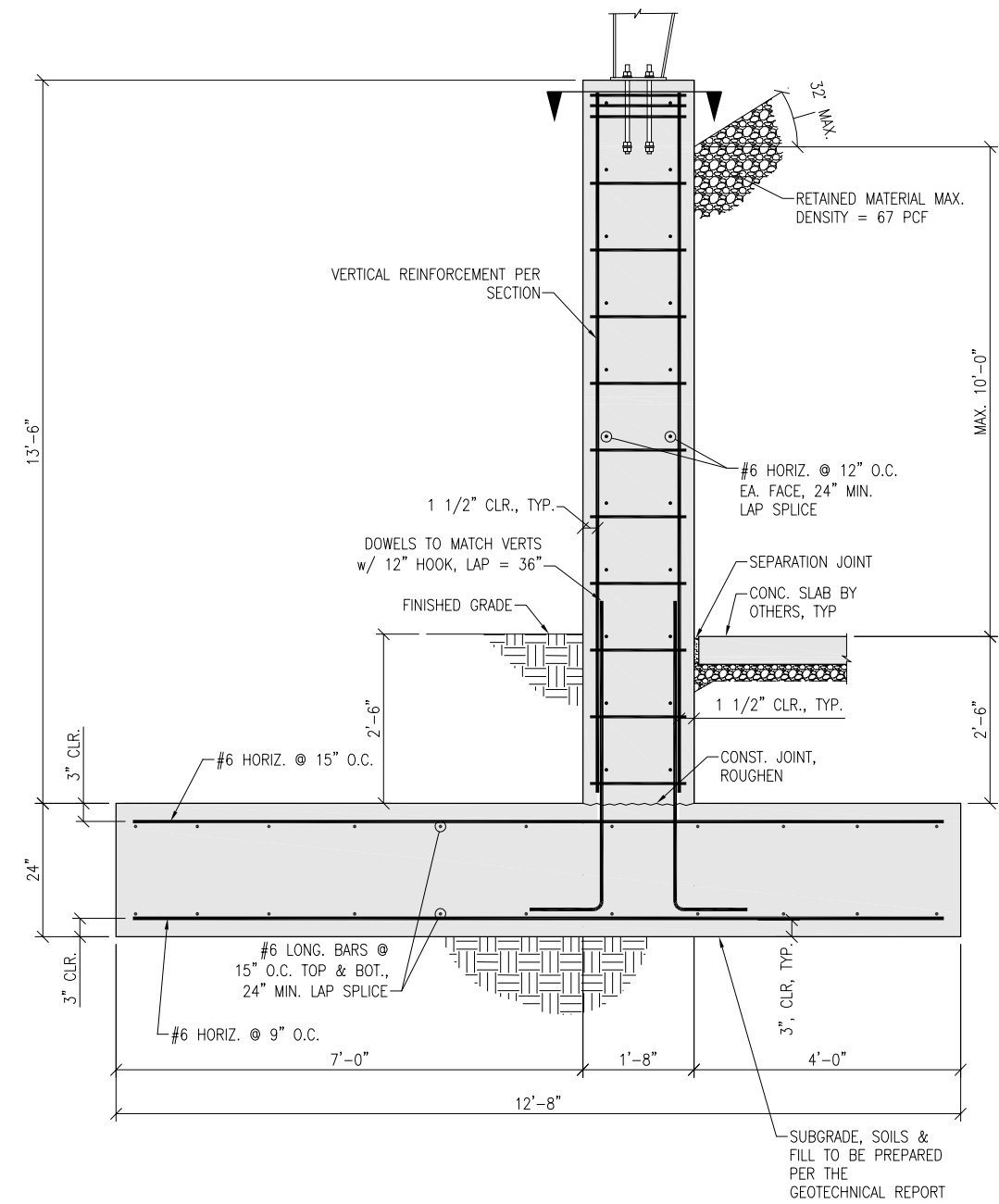
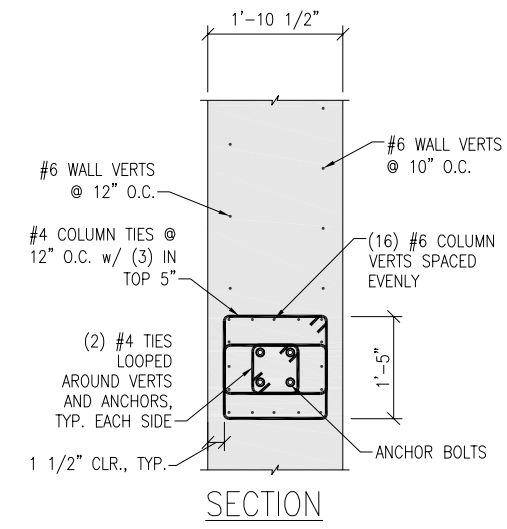
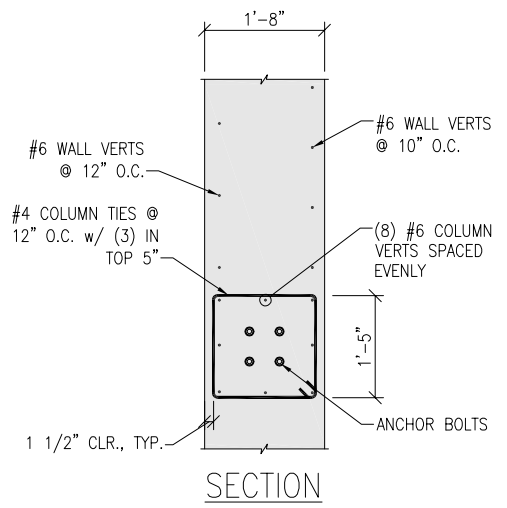
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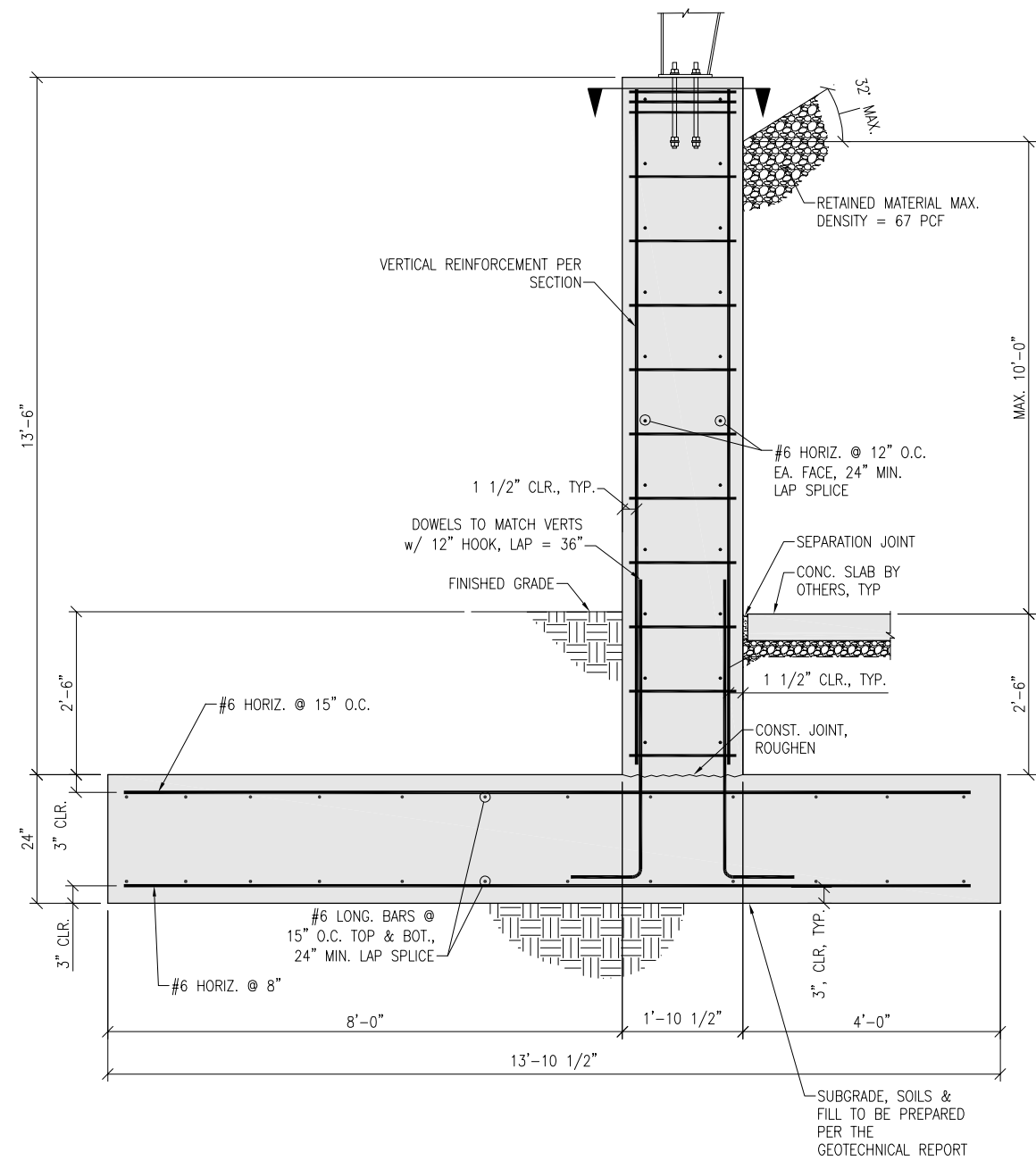
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END WALL SECTION
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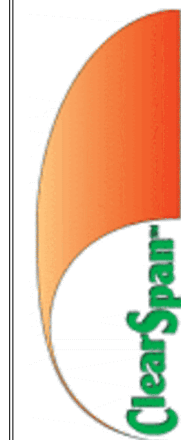
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SIDE WALL SECTION
 N.T.S.

1

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DETAILS
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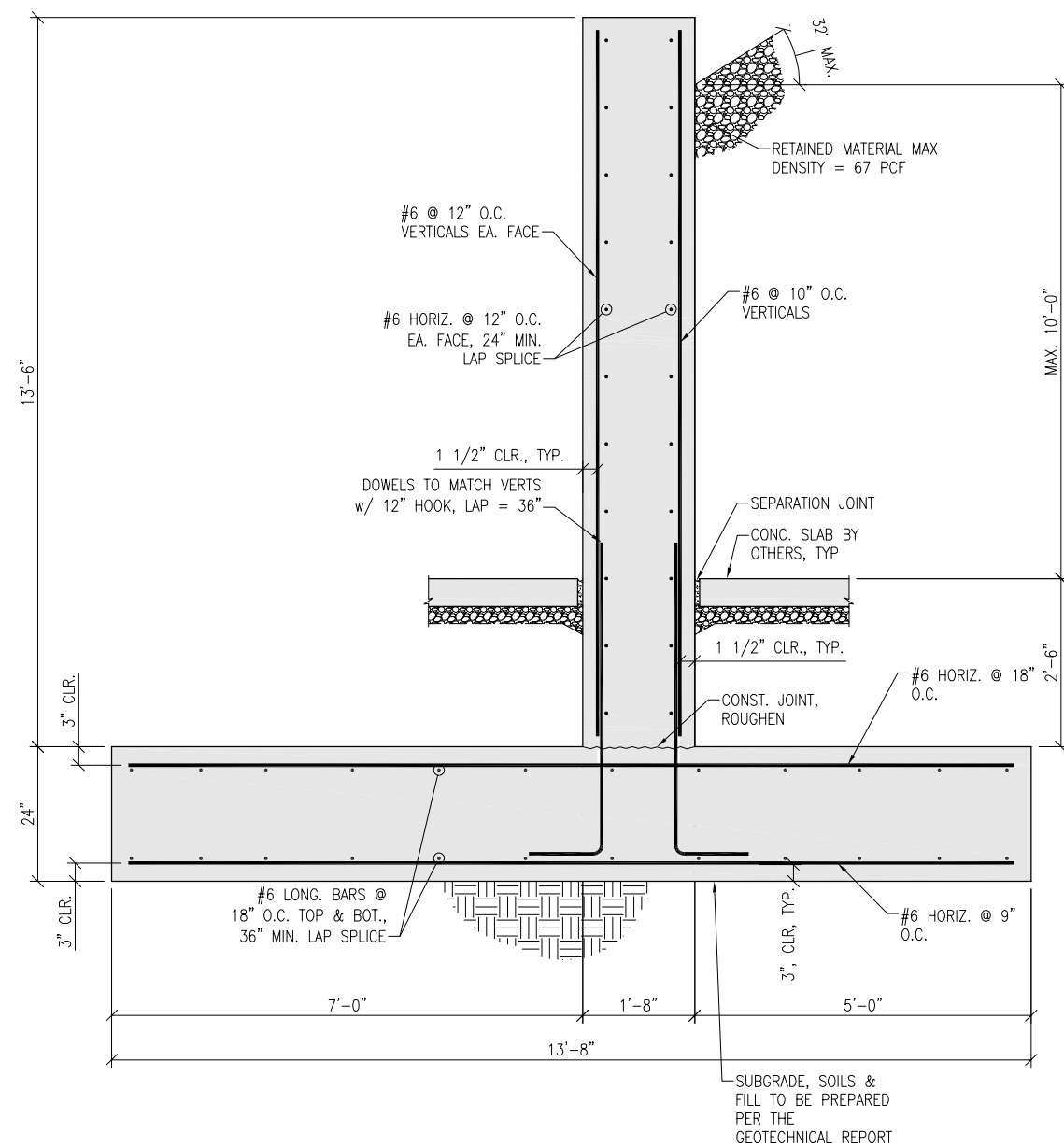


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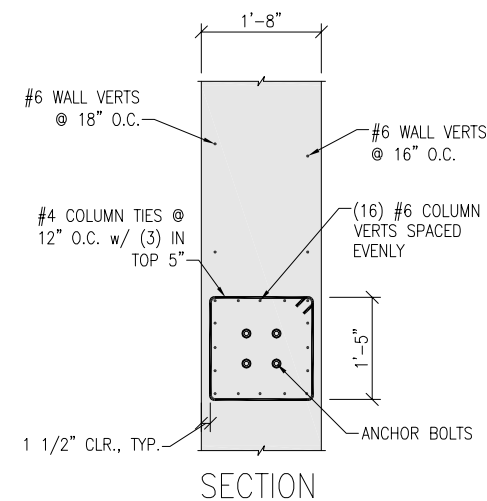
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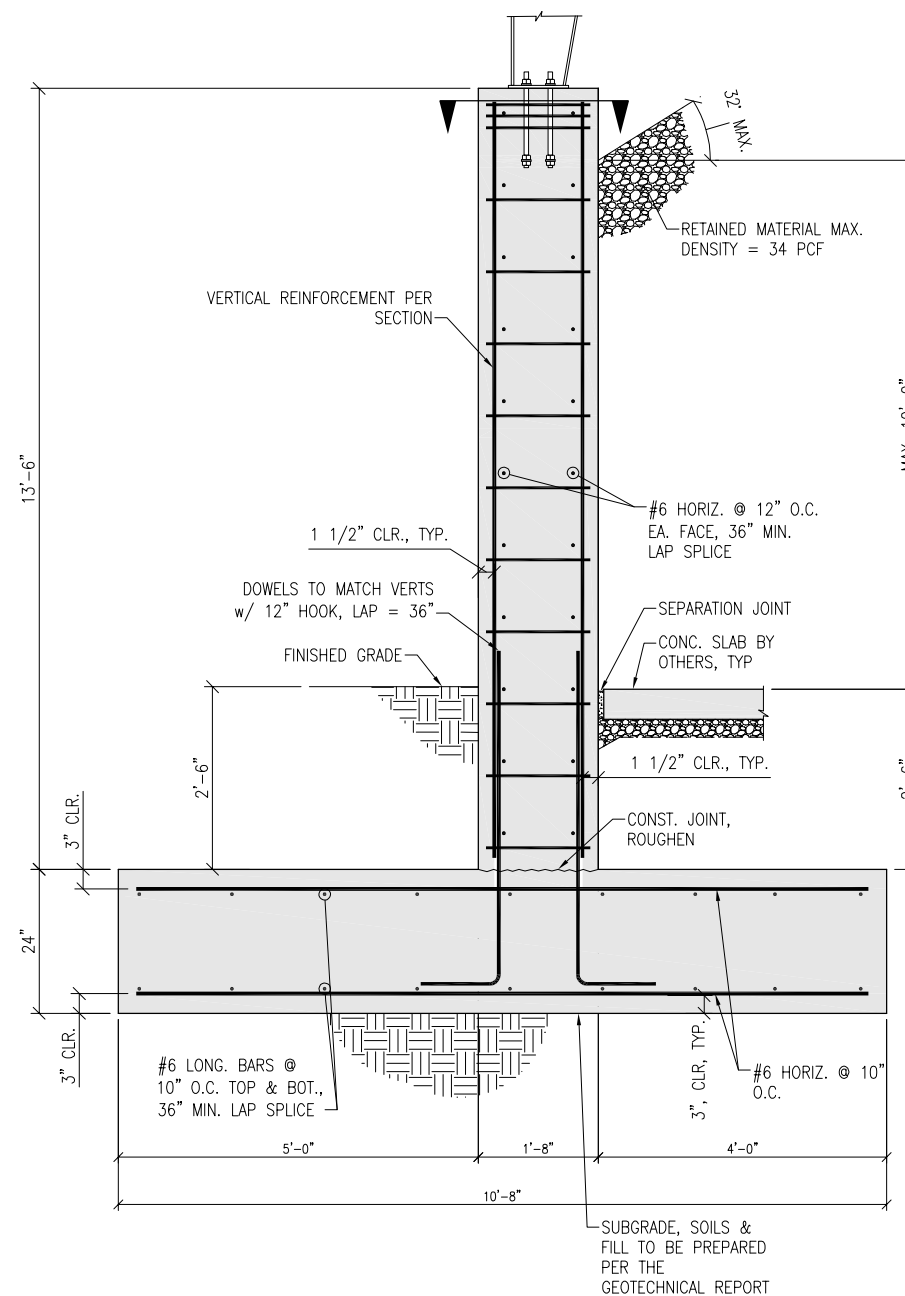
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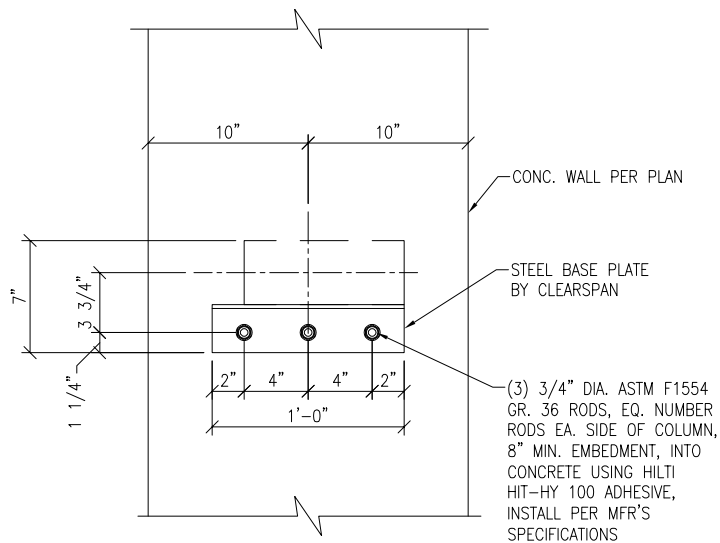
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END WALL SECTION

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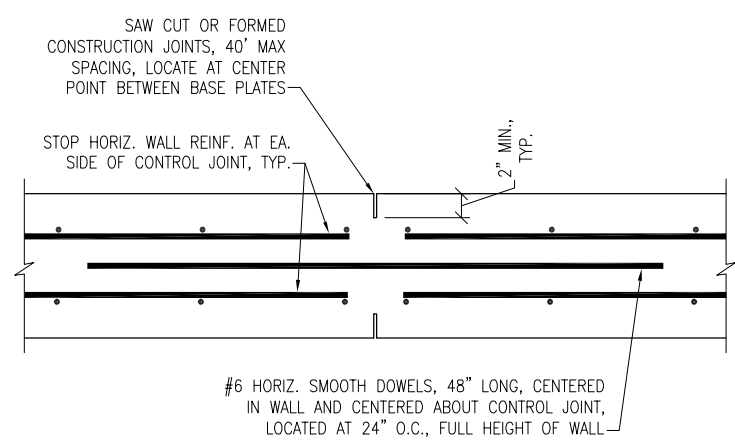
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ANCHORAGE AT ENDWALL COLUMN D-1

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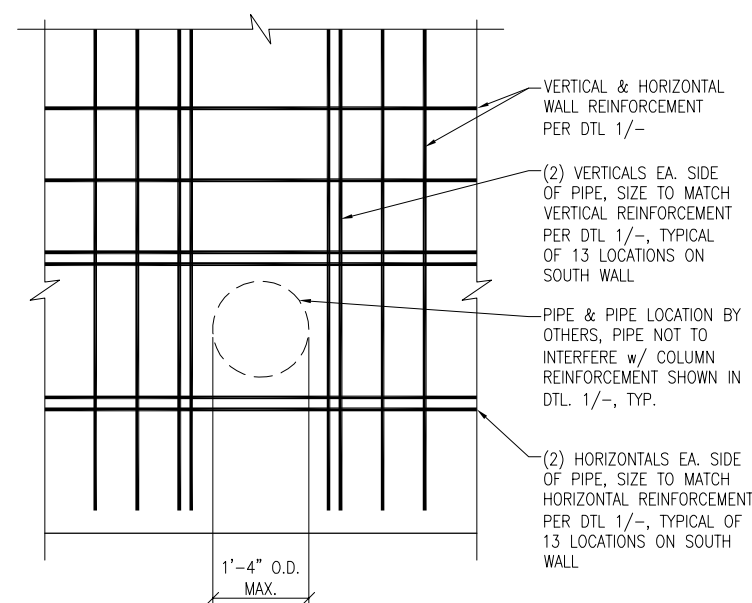
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CONTROL / CONSTRUCTION JOINTS

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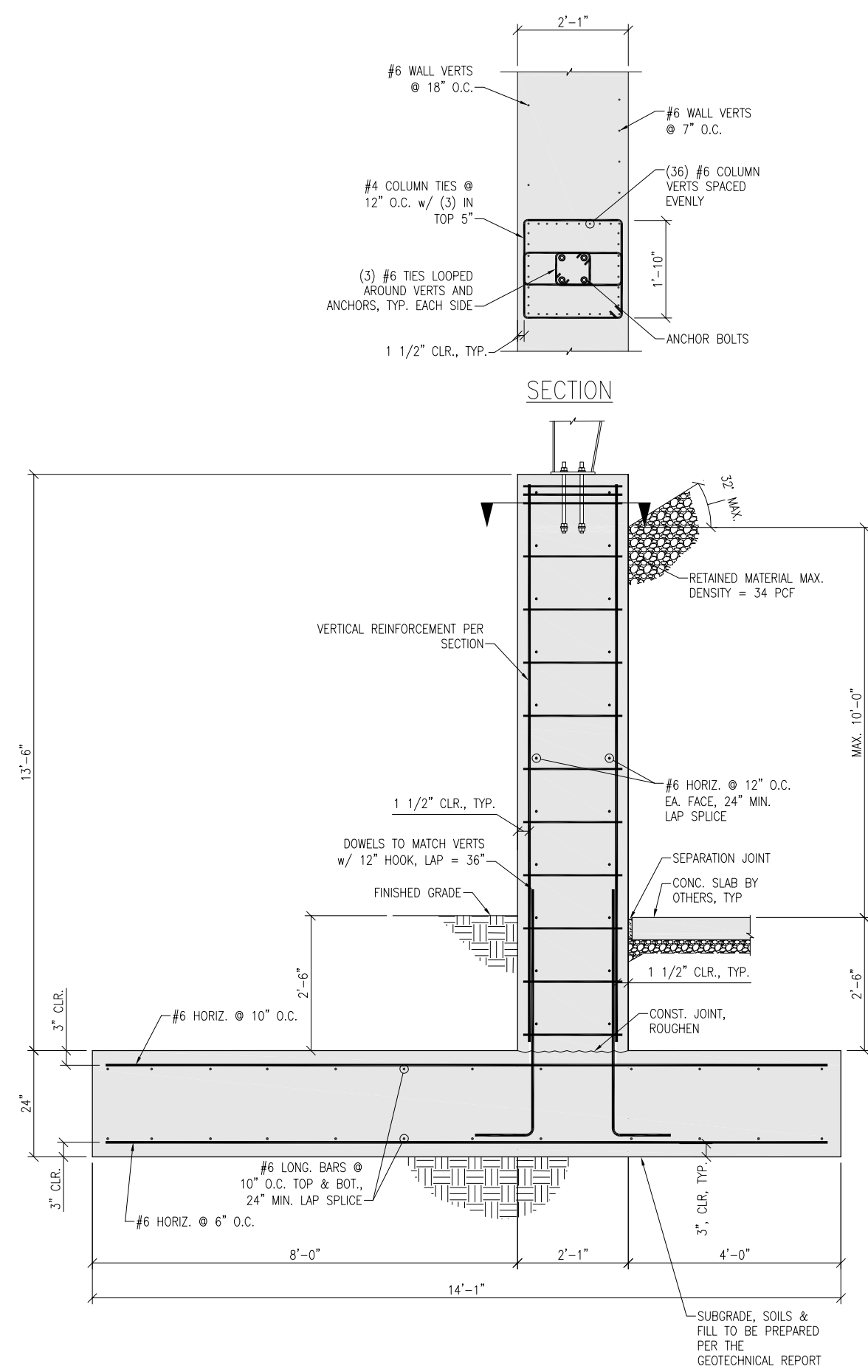
2



WALL REINFORCEMENT AT PIPE LOCATIONS

N.T.S.

3



SIDE WALL SECTION

N.T.S.

1

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 DE FIRM LICENSE#: COA 3155

DATE: 8/29/2022	DESIGNED: JGC	DRAFTER: DAG
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DATE	DESCRIPTION

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 1440 18th Ave. SW
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DETAILS

FOUNDATION SYSTEM FOR CLEARSPAN STRUCTURE

CONCRETE FOUNDATION FOR 160' x 250' & 80' x 60'

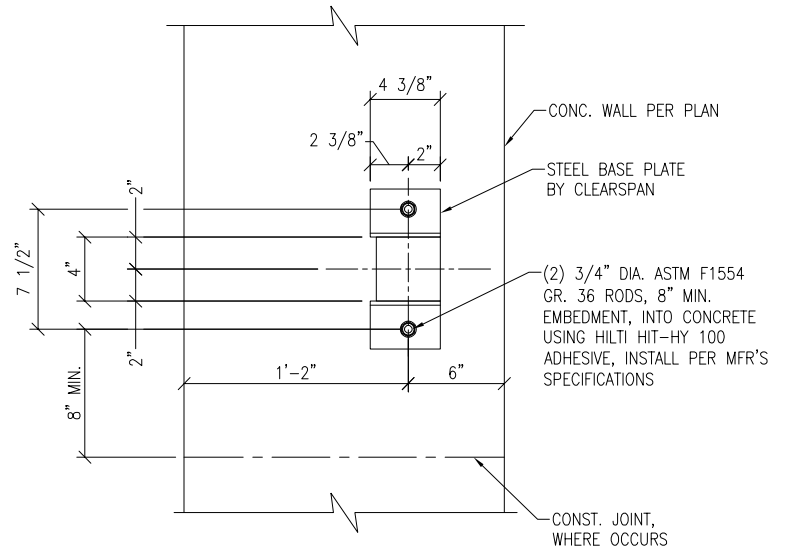
9372 DRAPER ROAD
 MILFORD, DE 19863
 SUSSEX COUNTY

CLEARSPAN ORDER NUMBER: 7743267

08/29/2022

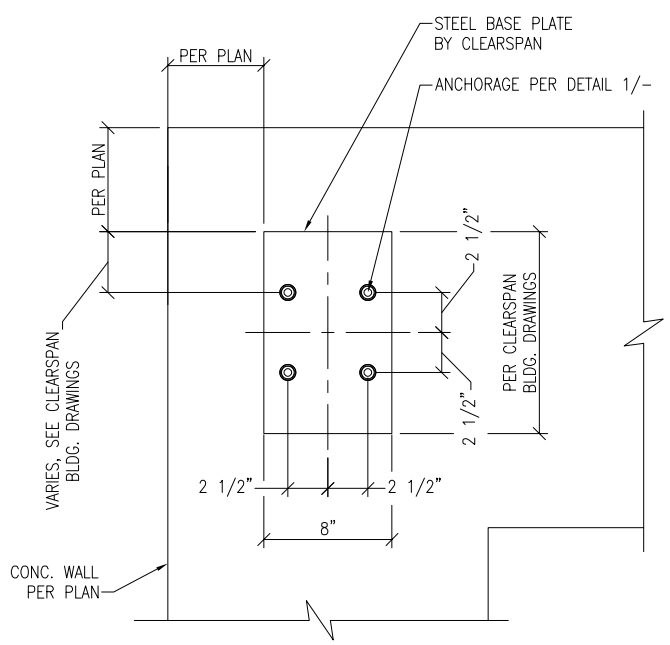
U1382.808.223

S4 REV 0



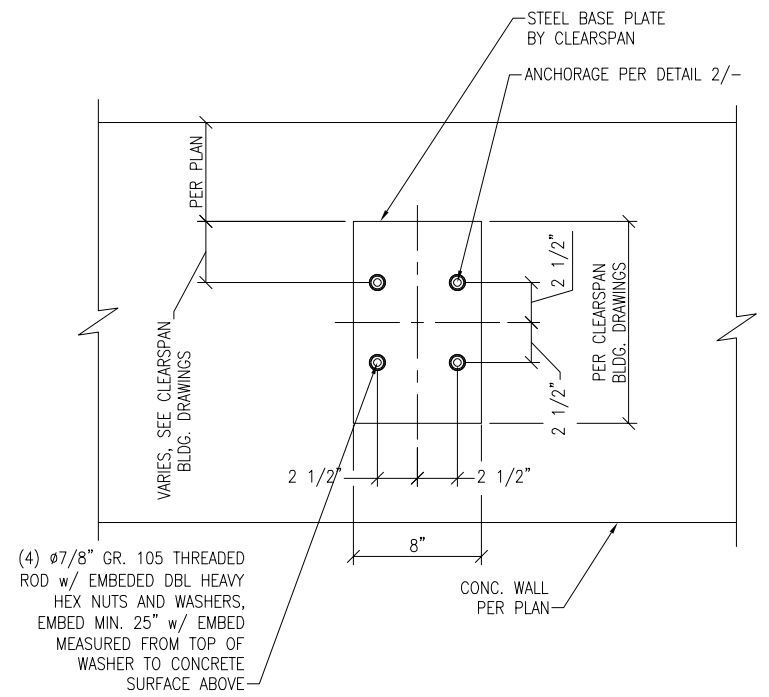
ANCHORAGE AT ENDWALL COLUMN A-1
N.T.S.

5



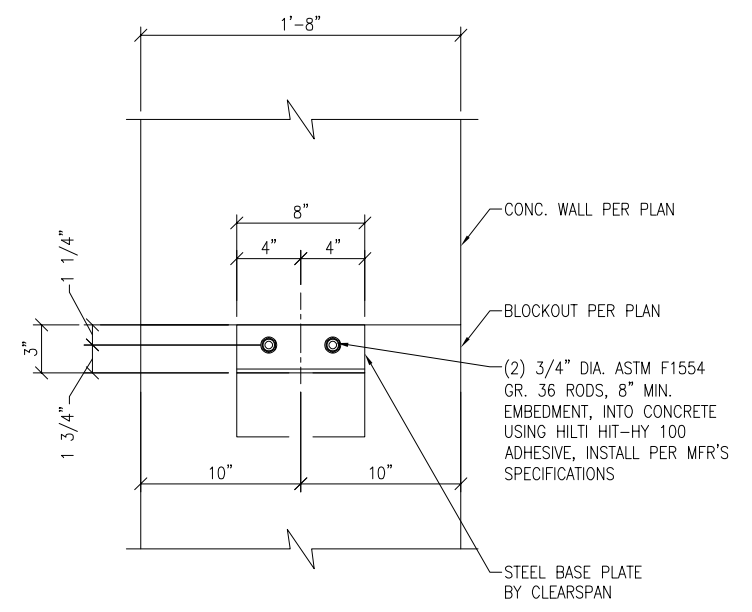
ANCHORAGE AT CORNERS
N.T.S.

3



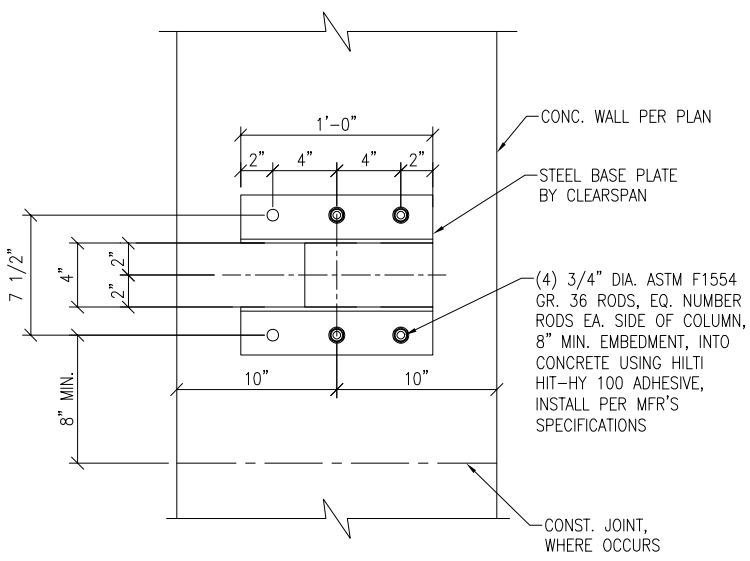
ANCHORAGE AT SIDE WALL
N.T.S.

1



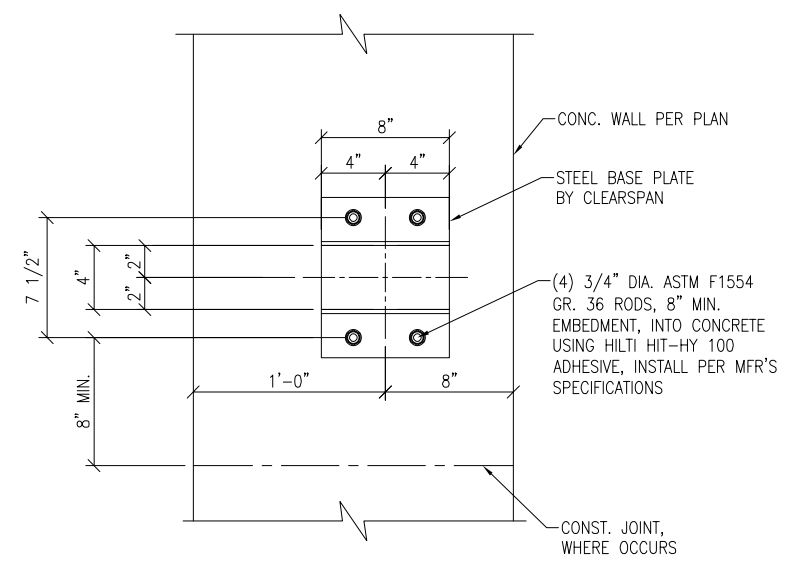
ANCHORAGE AT DOOR JAMB
N.T.S.

6



ANCHORAGE AT ENDWALL COLUMN C-1
N.T.S.

4



ANCHORAGE AT ENDWALL COLUMN B-1
N.T.S.

2

REVISIONS	
DATE	DESCRIPTION



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1440 18th Ave. SW
Dyersville, IA 52040
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DETAILS

FOUNDATION SYSTEM FOR CLEARSPAN STRUCTURE

CONCRETE FOUNDATION FOR 160' x 250' & 80' x 60'

9372 DRAPER ROAD
MILFORD, DE 19963
SUSSEX COUNTY

CLEARSPAN ORDER NUMBER: 7743267



08/29/2022

U1382.808.223

S5 REV 0

NOTES FOR REACTIONS

- All loading conditions are examined and only maximum/minimum H or V and the corresponding H or V are reported.
- Positive reactions are as shown in the sketch. Foundation loads are in opposite directions.
- Bracing reactions are in the plane of the brace with the H pointing away from the braced bay. The vertical reaction is downward.
- Building reactions are based on the following building data:

Width (ft)	=	80.0
Length (ft)	=	60.7
Eave Height (ft)	=	15.0' 41.7
Roof Slope (rise/12)	=	4.0
Dead Load (psf)	=	2.0
Collateral Load (psf)	=	0.5
Live Load (psf)	=	5.0
Snow Load (psf)	=	12.6
Wind Speed (mph)	=	108.0
Wind Code	=	IBC 18
Exposure	=	C
Closed/Open	=	C
Importance Wind	=	1.00
Importance Seismic	=	1.00
Seismic Zone	=	A
Seismic Coeff (Fa/Ss)	=	0.19

- Loading conditions are:
 - Dead+Collateral+Snow+Slide_Snow
 - Dead+Collateral+0.75Snow+0.45Wind_Right2+0.75Slide_Snow
 - 0.6Dead+0.6Wind_Left1
 - 0.6Dead+0.6Wind_Right1
 - 0.6Dead+0.6Wind_Long1L
 - 1.02Dead+1.02Collateral+0.7Seismic_LongR
 - 0.6Dead+0.6Wind_Right2+0.6Wind_Suction
 - 0.6Dead+0.6Wind_Pressure+0.6Wind_Long2L
 - Dead+0.6Wind_Right2+0.6Wind_Suction

BUILDING BRACING REACTIONS

Loc	Wall Line	Col Line	Reactions in plane of wall Reactions(k)		Panel Shear (lb/ft)		Note
			Wind Horz	Seismic Horz	Wind	Seis	
L_EW	15						(h)
F_SW	E	15,16	6.11	0.34			
		17,18	6.11	0.34			
R_EW	18						(h)
B_SW	A	18,17	4.33	0.30			
		16,15	4.33	0.30			

(h) Rigid frame at endwall

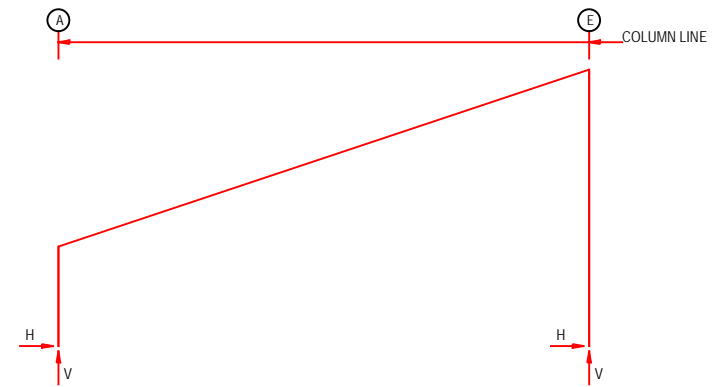
*See RF reactions table for vertical and horizontal reactions in plane of the rigid frame.

Endwall Reactions

BASIC COLUMN REACTIONS (k):					
Frame Line	Column Line	Gravity	Uplift	Outward	Inward
4	D	0.00	-0.20	4.22	4.99
4	C	0.00	-0.34	2.97	3.51
4	B	0.00	-0.45	1.73	2.05

MAXIMUM REACTIONS (k):					
Frame Line	Column Line	Gravity	Uplift	Outward	Inward
4	D	0.00	-0.20	2.53	2.99
4	C	0.00	-0.34	1.78	2.11
4	B	0.00	-0.45	1.04	1.23

FRAME LINES: 15 16 17 18



RIGID FRAME: MAXIMUM REACTIONS

Frm Id	Col Line	Column Reactions(k)		
		Load Id	Horz	Vert
1*	A	1	5.03	7.78
		2	5.78	5.11
		3	-2.50	-6.30
1*	E	1	-5.03	8.37
		4	4.37	-4.49
		5	3.34	-11.23

1* Frame lines: 15 18

RIGID FRAME: MAXIMUM REACTIONS

Frm Id	Col Line	Column Reactions(k)		
		Load Id	Horz	Vert
2*	A	1	11.83	18.08
		2	12.55	13.80
		3	-4.50	-9.88
2*	E	1	-11.83	17.72
		4	6.94	-7.55
		5	4.84	-14.42

2* Frame lines: 16 17

RIGID FRAME: BASIC COLUMN REACTIONS (k)

Frame Id	Column Line	---Dead---		---Collateral---		---Live---		---Snow---		---Wind_Left1---		---Wind_Right1---	
		Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert
1*	A	1.40	2.12	0.15	0.23	1.38	2.16	3.48	5.43	-5.57	-12.62	2.10	-6.56
1*	E	-1.40	2.91	-0.15	0.22	-1.38	2.08	-3.48	5.24	5.81	-12.38	8.67	-10.39
2*	A	2.05	3.04	2.85	4.53	2.75	4.17	6.93	10.51	-9.56	-19.52	2.39	-10.73
2*	E	-2.05	3.87	-2.85	3.69	-2.75	4.03	-6.93	10.16	8.39	-18.42	13.62	-16.45

Frame Id	Column Line	---Wind_Left2---		---Wind_Right2---		---Wind_Long1---		---Wind_Long2---		---Seismic_Left---		---Seismic_Right---	
		Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert
1*	A	-4.03	-8.90	3.60	-2.91	-3.39	-11.75	-2.78	-7.33	-0.26	-0.06	0.26	0.06
1*	E	4.49	-8.80	7.17	-6.74	6.97	-21.62	2.92	-15.69	-0.02	0.06	0.02	-0.06
2*	A	-6.33	-12.24	5.46	-3.68	-6.19	-17.84	-5.22	-11.99	-0.31	-0.07	0.31	0.07
2*	E	5.90	-11.57	10.56	-9.38	10.11	-27.90	4.57	-20.02	-0.03	0.07	0.03	-0.07

Frame Id	Column Line	---Seismic_Long---	
		Horz	Vert
1*	A	0.00	-0.03
1*	E	0.00	-0.48
2*	A	0.00	-0.03
2*	E	0.00	-0.48

1* Frame lines: 15 18
2* Frame lines: 16 17



651 W Galena Park Blvd (801) 990-1775
Draper, UT 84040 (801) 990-1776 FAX
www.vectorse.com
DE FIRM LICENSE#: COA 3155

DATE: 8/29/2022 DESIGNED: JGC DRAFTER: DAG

REVISIONS	
DATE	DESCRIPTION

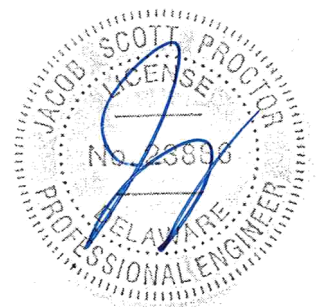


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STRUCTURE REACTIONS

**FOUNDATION SYSTEM FOR
CLEARSPAN STRUCTURE**
CONCRETE FOUNDATION FOR 160' x 250' & 80' x 60'

8372 DRAPER ROAD
MILFORD, DE 19863
SUSSEX COUNTY
CLEARSPAN ORDER NUMBER: 774267



08/29/2022

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CLEARSPAN STRUCTURE REACTIONS

(FOR REFERENCE)

1

S6

REV

0

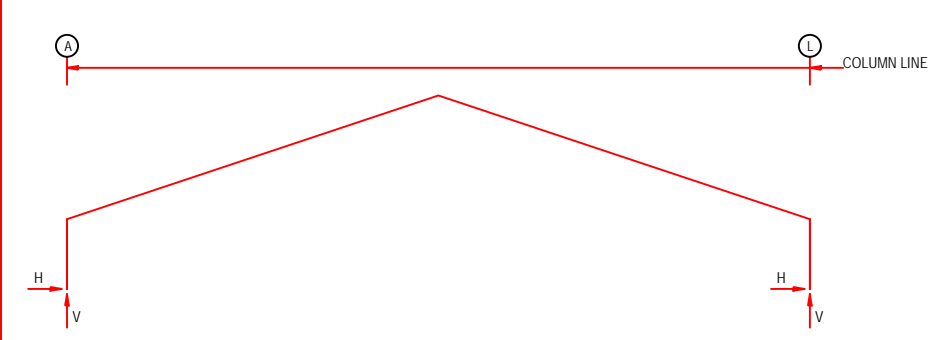
BUILDING BRACING REACTIONS

Wall Loc	Line	Col Line	Reactions in plane of wall		Panel_Shear (lb/ft)		Note
			Wind Horz	Seismic Horz	Wind	Seis	
L_EW	1	1,2	6.90	1.38			(h)
F_SW	L	7,8	6.90	1.38			
		13,14	6.90	1.38			
R_EW	14	14,13	6.88	1.37			(h)
B_SW	A	8,7	6.88	1.37			
		2,1	6.88	1.37			

(h) Rigid frame at endwall

*See RF reactions table for vertical and horizontal reactions in plane of the rigid frame.

FRAME LINES: 1 2 3 4 5 6 7 8 9 10 11 12 13 14



VECTOR ENGINEERS
 651 W Galena Park Blvd (801) 990-1775
 Draper, UT 84040 (801) 990-1776 FAX
 www.vectorse.com
 DE FIRM LICENSE#: COA 3155

DATE: 8/29/2022 DESIGNED: JGC DRAFTER: DAG

REVISIONS	
DATE	DESCRIPTION

NOTES FOR REACTIONS

- All loading conditions are examined and only maximum/minimum H or V and the corresponding H or V are reported.
- Positive reactions are as shown in the sketch. Foundation loads are in opposite directions.
- Bracing reactions are in the plane of the brace with the H pointing away from the braced bay. The vertical reaction is downward.
- Building reactions are based on the following building data:
 - Width (ft) = 160.0
 - Length (ft) = 250.7
 - Eave Height (ft) = 15.0/ 15.0
 - Roof Slope (rise/12) = 4.0/ 4.0
 - Dead Load (psf) = 2.0
 - Collateral Load (psf) = 0.5
 - Live Load (psf) = 5.0
 - Snow Load (psf) = 12.6
 - Wind Speed (mph) = 108.0
 - Wind Code = IBC 18
 - Exposure = C
 - Closed/Open = C
 - Importance Wind = 1.00
 - Importance Seismic = 1.00
 - Seismic Zone = A
 - Seismic Coeff (Fa/Ss) = 0.19
- Loading conditions are:
 - 1 Dead+Collateral+Snow+Slide_Snow
 - 2 0.6Dead+0.6Wind_Long1L
 - 3 0.6Dead+0.6Wind_Long2L
 - 4 1.02Dead+1.02Collateral+0.7Seismic_LongR
 - 5 0.6Dead+0.6Wind_Right2+0.6Wind_Suction
 - 6 0.6Dead+0.6Wind_Pressure+0.6Wind_Long2L
 - 7 Dead+0.6Wind_Right2+0.6Wind_Suction
 - 8 Dead+Collateral+E1PAT_LL10
 - 9 Dead+Collateral+E2PAT_LL_7

RIGID FRAME: MAXIMUM REACTIONS

Frm Id	Col Line	Load Id	Column_Reactions(k)	
			Horz	Vert
1*	A	1	19.89	12.55
		2	-8.69	-8.23
		3	-10.35	-6.09
1*	L	1	-19.89	12.55
		2	10.35	-6.10
		3	8.69	-8.24
1*	Frame lines:	1 14		

RIGID FRAME: MAXIMUM REACTIONS

Frm Id	Col Line	Load Id	Column_Reactions(k)	
			Horz	Vert
2*	A	1	50.54	34.32
		2	-23.52	-20.29
		3	-27.28	-15.42
2*	L	1	-50.54	30.05
		2	27.28	-15.42
		3	23.52	-20.30
2*	Frame lines:	2 3 4 5 6 7 8 9 10 11 12 13		

RIGID FRAME: BASIC COLUMN REACTIONS (k)

Frame Id	Column Line	----Dead----		--Collateral--		----Live----		----Snow----		--Wind_Left1--		-Wind_Right1-	
		Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert
1*	A	6.57	4.12	0.53	0.34	5.07	3.21	12.78	8.09	-20.75	-16.16	-20.32	-13.67
	L	-6.57	4.12	-0.53	0.34	-5.07	3.21	-12.78	8.09	20.32	-13.67	20.75	-16.16
1*	A	-12.68	-10.63	-12.25	-8.14	-21.05	-17.84	-23.82	-14.27	-0.22	-0.01	0.22	0.01
	L	12.25	-8.14	12.68	-10.63	23.82	-14.28	21.05	-17.85	-0.22	0.01	0.22	-0.01
1*	A	0.00	-0.20	11.05	7.88	11.05	4.83						
	L	0.00	-0.20	-11.05	4.83	-11.05	7.88						
2*	A	11.12	6.95	6.64	6.71	13.01	8.20	32.77	20.66	-51.28	-38.86	-50.40	-33.10
	L	-11.12	6.95	-6.64	2.44	-13.01	8.20	-32.77	20.66	50.40	-33.10	51.28	-38.86
2*	A	-29.60	-24.09	-28.34	-18.53	-50.31	-40.77	-56.59	-32.65	-0.31	-0.01	0.31	0.01
	L	28.34	-18.53	29.60	-24.09	56.59	-32.66	50.31	-40.77	0.31	0.01	0.31	-0.01
2*	A	0.00	-0.20	28.25	20.09	28.26	12.32						
	L	0.00	-0.20	-28.26	12.32	-28.25	20.09						
1*	Frame lines:	1 14											
2*	Frame lines:	2 3 4 5 6 7 8 9 10 11 12 13											

Endwall Reactions

BASIC COLUMN REACTIONS (k):							
Frame Line	Column Line	Vertical Direction		Longitudinal Direction		Transverse Direction	
		Gravity	Uplift	Outward	Inward	Outward	Inward
1	B	0.00	0.45	1.12	1.39	0	0
1	C	0.00	0.35	1.86	2.29	0	0
1	D	0.00	0.20	2.66	3.28	0	0
1	E	0.00	0.07	3.17	3.91	0	0
1	F	0.00	0.20	2.66	3.28	0	0
1	G	0.00	0.28	1.49	1.84	0	0
1	H	0.00	0.05	1.64	2.02	0	0
1	J	0.00	0.15	1.64	2.06	0	0
14	E	0.20	0.00	1.58	1.95	0.628	0.738
14	F	0.00	0.20	2.66	3.28	0	0
14	G	0.00	0.10	3.00	3.70	0	0
14	I	0.00	0.06	1.78	2.19	0	0
14	K	0.00	0.23	0.47	0.59	0	0

MAXIMUM REACTIONS (k):							
Frame Line	Column Line	Vertical Direction		Longitudinal Direction		Transverse Direction	
		Gravity	Uplift	Outward	Inward	Outward	Inward
1	B	0.00	0.45	0.67	0.83	0	0
1	C	0.00	0.35	1.11	1.37	0	0
1	D	0.00	0.20	1.59	1.97	0	0
1	E	0.00	0.07	1.90	2.34	0	0
1	F	0.00	0.20	1.59	1.97	0	0
1	G	0.00	0.28	0.89	1.11	0	0
1	H	0.00	0.05	0.98	1.21	0	0
1	J	0.00	0.15	0.98	1.24	0	0
14	E	0.20	0.00	1.35	0.93	0.775	0.204
14	F	0.00	0.20	1.59	1.97	0	0
14	G	0.00	0.10	1.80	2.22	0	0
14	I	0.00	0.06	1.07	1.31	0	0
14	K	0.00	0.23	0.28	0.36	0	0

ClearSpan
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 1440 18th Ave. SW
 Dyersville, IA 52040
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STRUCTURE REACTIONS
 FOUNDATION SYSTEM FOR
 CLEARSPAN STRUCTURE
 CONCRETE FOUNDATION FOR 160' x 250' x 80' x 60'

9372 DRAPER ROAD
 MILFORD, DE 19863
 SUSSEX COUNTY
 CLEARSPAN ORDER NUMBER: 7743267

JACOB SCOTT PROCTOR
 LICENSE
 No. 26880
 PROFESSIONAL ENGINEER
 DELAWARE

08/29/2022

U1382.808.223



BLESSINGS BLENDS, MILFORD, DE

LANDSCAPE PLANTS

APRIL 11, 2022

Qty	Botanical Name	Common Name	Size	Height/Width	Foliage
6	Betula nigra 'Dura Heat'	Dura Heat 'River Birch	No. 15	30' x 25'	Deciduous
16	Cercis canadensis 'Forest Pansy'	Eastern Redbud - Forest Pansy	No. 15	20' x 20'	Deciduous
10	Chionanthus virginicus	Chionanthus Fringe Tree	5-6' B&B	20' x 20'	Deciduous
41	Clethra alnifolia 'Ruby Spice'	Summersweet - Ruby Spice	No. 3	8' x 6'	Deciduous
62	Cornus alba Ivory Halo 'Bailhalo'	Variegated Red Twig Dogwood	No. 3	8' x 6'	Deciduous
12	Echinacea purpurea 'Magnus'	Cone Flower Magnus	No. 1	1' x 1'	Deciduous
36	Hypericum calycinum	Hypericum calycinum, St. John's Wort	No. 1	1' x 2'	Semi Evergreen
9	Ilex opaca 'Satyr Hill'	Satyr Hill American Holly	No. 15	30' x 20'	Evergreen
26	Ilex opaca 'Satyr Hill'	Satyr Hill American Holly	No. 7	30' x 20'	Evergreen
5	Ilex verticillata 'Jim Dandy'	Ilex Jim Dandy, Male Winterberry	No. 3	5' x 5'	Deciduous
34	Ilex verticillata 'Red Sprite'	Red Sprite Female Winterberry Holly	No. 3	5' x 5'	Deciduous
15	Juniperus virginiana	Eastern Red Cedar Juniper	No. 20	40' x 15'	Evergreen
39	Juniperus virginiana 'Emerald Sentinel'	Emerald Sentinel Eastern Red Cedar	No. 7	20' x 8'	Evergreen
6	Lagerstroemia indica 'Muskogee'	Crape Myrtle Muskogee - Lavender	8-10' B&B	25' x 15'	Deciduous
10	Lagerstroemia indica 'Tonto'	Crape Myrtle Tonto - Red	7-8' B&B	10' x 8'	Deciduous
5	Magnolia grandiflora 'Bracken's Brown Beauty'	Bracken's Brown Beauty Southern Magnolia	8-10' B&B	40' x 30'	Evergreen
8	Magnolia virginiana	Sweet Bay Magnolia	6-8' B&B	20' x 10'	Deciduous
33	Muhlenbergia capillaris	Pink Muhly Grass	No. 1	1' x 1'	Deciduous
10	Myrica pennsylvanica	Northern Bayberry, Wax Myrtle	No. 3	10' x 10'	Evergreen
34	Nasella tenuissima	Mexican Feather Grass	No. 1	1' x 1'	Deciduous
19	Quercus phellos	Willow Oak	No. 15	60' x 30'	Deciduous
24	Rose - rugosa	Rose - rugosa	No. 3	3' x 1'	Deciduous
11	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black-eyed Susan	No. 1	1' x 1'	Deciduous

PLANNING & ZONING COMMISSION

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Sussex County

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SUSSEXCOUNTYDE.GOV
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302-854-5079 F
JAMIE WHITEHOUSE, MRTPI, AICP
DIRECTOR OF PLANNING AND ZONING

November 2nd, 2022

Mr. Decktor,
Pennoni Associates Inc.
18072 Davidson Dr.
Milton, DE 19968

By email to: adecktor@pennoni.com

RE: Staff Review of the Preliminary Site Plan for the Eagles Nest Senior Care Facility on the Lands of Eagles Nest Fellowship Church Inc. for the construction of a 94,570 square foot assisted living facility, parking, and associated improvements to be located on the west side of Coastal Highway (Route 1) and the east side of Shalom Trail approximately 0.5 miles north of the intersection Coastal Highway (Route 1) and Broadkill Road (Route 16).

Tax Parcel: 235-8.00-35.06

Dear Mr. Decktor,

Further to your submission of September 21, 2022, the Planning and Zoning Department has reviewed the submitted Preliminary Site Plan for the Eagles Nest Senior Care Facility for the construction of a 94,570 square foot assisted living facility, parking, and associated improvements to be located on the west side of Coastal Highway (Route 1) and the east side of Shalom Trail. The parcel is split-zoned General Commercial (C-1) District and Agricultural Residential (AR-1) District. The front portion of the parcel with frontage on Coastal Highway is in the AR-1 Zoning District with the rear or western portion adjacent to Shalom Trail in the C-1 Zoning District. The parcel also lies within the Existing Development Area per Sussex County's 2019 Comprehensive Plan. Staff have reviewed the proposed site plan for compliance with the Sussex County Zoning Code and have the following comments:

Preliminary Site Plan

1. **The plan is unclear regarding the proposed structure's compliance with setbacks along the Shalom Trail easement.**
 - a. **Staff note that the no setback or Building Restriction Line is provided in the Plan at the western boundary of the parcel adjacent to Shalom Trail.**
 - b. **Staff request clarification regarding the reconfiguration of the "gravel access road" which extends Shalom Trail.**
 - c. **Please provide a BRL or notation of the required setback in this area bordering the access road and clarify the nature of this parcel boundary. It is unclear whether the Plan is asserting a setback (front or rear) from the parcel boundary, from the easement boundary, or from the "gravel access road" boundary.**

d. Staff note the proposed primary structure is setback 10 feet from the 50-foot easement, 30 feet from the proposed reconfigured gravel road, and 60 feet from the parcel boundary.

2. Staff note that the accurate required setbacks for Large-scale Uses (§115-77.1) are provided in the Site data column while the Building Restriction Line (BRL) provided in the Plan is inaccurately drawn as 10 feet on the southeastern boundary of the parcel shared with the neighboring church. Please correct this in the Plan.
3. The Plan's Site Data column indicates that the parcel is not in a Wellhead Protection Area. Sussex County data indicates a very small portion of the parcel along the northern boundary includes a small portion of a Wellhead Protection Area. Please correct this in the Plan.
4. As indicated on the Plan, an area of Excellent Groundwater Recharge area exists on the site. Please note that the requirements under Section 89 *Source Water Protection* include an Environmental Assessment Report if the impervious cover exceeds 35% across the Excellent Groundwater Recharge areas on the parcel (§89-7(A)(2)). Please provide the impervious quotient within the Excellent Groundwater Recharge Area as a percentage in the data column.
5. Staff note that a landscape plan for the CHCOZ buffer is required as part of any site plan submission (§115-194.1(E)(6)).
6. Screen plantings as part of any required buffer must include the materials (species) of plantings proposed (§115-221(B)(9)).
7. Staff note that no public transit infrastructure is included on the plan. Please show transit accommodations on the plan as required under (§115-77.1(D)(1)(a-c)). Staff recommend coordination with DelDOT to locate a dedicated public transit stop location on the plan that provides the residents and staff with safe, convenient, and weather protected access.
8. Please provide the net development area of the parcel. As a general reminder, net development area shall refer to the total area of land available for development and shall not include open space, drainage land, regional roads and lands used for other public facilities (§115-220(B)(6)).
9. The Plan indicates 106 beds are proposed. Staff requests clarification regarding the nature of the proposed individual units in terms of unit layout and kitchens or cooking facilities if they are to be provided in the units. Similarly, staff request a breakdown of the types of residential "assisted living" facilities if the proposal includes varying residential design forms.
10. A continuous visual screen measuring a minimum of six (6) feet in height is required for off-street parking areas for 10 or more automobiles (§115-166(H)). Please include this on the plan.
11. Interior parking lot landscaping is required under (§115-166.1(B)(1)). Please include this on the plan.
12. The location of what appears to be a proposed dumpster or trash collection pad adjacent to the loading areas does not appear to meet the required setbacks. Please revise the design to meet the 30-foot required side yard setback for any dumpster loading areas associated with Large Scale Uses in C-1 (§115-170.1(C)(2)(a)).

13. Please ensure the required screening in Comment #12 meets the design requirements in (§115-170.1(C)(4)(a-b)). Please include these details in the plan.

Final Site Plan

1. Please include the materials and height of the proposed fence noted in Keyed Note “P9” (§115-221(B)(9)). Please include the proposed height of all fences, walls, screen planting and landscaping on the plans (§115-221(B)(9)). For example: Staff note that a fence is proposed around the area designated as Keyed Note “P9” on the plans. Please provide the height and materials of this fence.
2. Please provide the location, character, height, and orientation of any proposed signs (§115-221(B)(11)).
3. Please include a General Note on the plans which indicates that any proposed signage will require a separate permit issued from the County.
4. Please provide a tabulation of the total number of acres, gross or net, and the percentage thereof in the project for the items noted in (§115-221(B)(12)).
5. Staff notes that a total of three (3) ADA accessible spaces have been provided for this proposal. According to the IBC 2012 edition, the plan achieves the requirement of a minimum of three (3) required ADA accessible space for a total of 51-75 parking spaces (Table 1106.1 “Accessible Parking Spaces,” Page 11-14).
6. Please add to the plans the location and nature of all proposed construction, excavation, or grading, including but not limited to buildings, streets and utilities (§115- 220(B)(5)).
7. Please ensure that any proposed landscaping is shown on the plans. Any proposed landscaping must be certified to by a licensed landscape architect and the appropriate Certification Panel and signature line must appear on the plans.
8. Please provide the net development area of the parcel. As a general reminder, net development area shall refer to the total area of land available for development and shall not include open space, drainage land, regional roads and lands used for other public facilities (§115-221(B)(3)).
9. Please add the location and character of all outdoor lighting systems to the plans (§115-221(B)(5)).
10. Please include full dimensioning of all proposed buildings and structures on the plans (§115-221(B)(7)).
11. Please include with the submittal, a bulk grading plan for the proposal showing the nature of all ground disturbance on the site (§115-221(B)(17)).
12. Prior to approval of the Final Site Plan, approval letters or letters of no objection from the following agencies shall be submitted to the Sussex County Planning and Zoning Office:
 - a. Sussex Conservation District
 - b. Office of State Fire Marshal
 - c. Delaware Department of Transportation (DelDOT)

- d. Delaware Transit Corporation – in relation to provision and location of any proposed transit accommodations.

Once all of the above matters have been addressed, please provide one (1) full-size copy and one (1) electronic copy of a Revised Preliminary Site Plan at least ten (10) days prior to the Planning and Zoning Commission meeting you wish for your application to be considered at.

Please feel free to contact me with any questions during business hours 8:30 A.M. – 4:30 P.M., Monday through Friday at 302-855-7878.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Lowrey". The signature is fluid and cursive, with a large initial "M" and "L".

Mr. Michael Lowrey
Planner III



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

NICOLE MAJESKI
SECRETARY

December 15, 2021

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning
P.O. Box 417
Georgetown, DE 19947

Dear Mr. Whitehouse:

The Department has completed its review of a Service Level Evaluation Request for the **Eagles Nest Fellowship Church, Inc.** proposed land use application, which we received on November 30, 2021. This application is for an approximately 9.5-acre parcel (Tax Parcel: 235-8.00-35.06). The subject land is located on the north side of Eagle Nest Trail (a private drive) about 950 ft north of the intersection with Zion Church Road (Sussex Road 235). The subject land is currently split zoned AR-1 (Agriculture Residential) and C-1 (General Commercial), and the applicant seeks to rezone the AR-1 zoning to I-1 (Institutional) for an approximately 94,822 S.F. senior care facility.

Per the 2019 Delaware Vehicle Volume Summary, the annual average daily traffic volumes along Zion Church Road from Beach Highway (Delaware Route 16) to Reynolds Road (Sussex Road 233), is 1,562 vehicles per day.

Based on our review, we estimate that the above land use will generate fewer than 50 vehicle trips in any hour and fewer than 500 vehicle trips per day. These numbers of trips are DelDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. Because the proposed land use would not meet these warrants, we consider the development's traffic impact to be **negligible** in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DelDOT's description of this application as negligible with regard to warranting a TIS does not mean that it is negligible in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.

If the County approves this application, the applicant should be reminded that DelDOT requires compliance with State regulations regarding plan approvals and entrance permits, whether or not a TIS is required.



Mr. Jamie Whitehouse

Page 2 of 2

December 15, 2021

Please contact Ms. Annamaria Furmato, at Annamaria.Furmato@delaware.gov, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.
County Coordinator
Development Coordination

TWB:afm

cc: Eagles Nest Fellowship Church, Inc., Applicant
Alan Decktor, Applicant
Sussex Reviewer, Sussex County Planning & Zoning
David Edgell, Coordinator, Cabinet Committee on State Planning Issues
Todd Sammons, Assistant Director, Development Coordination
Scott Rust, South District Public Works Manager, Maintenance & Operations
Steve McCabe, Sussex County Review Coordinator, Development Coordination
Derek Sapp, Subdivision Manager, Development Coordination
Kevin Hickman, Subdivision Manager, Development Coordination
Brian Yates, Subdivision Manager, Development Coordination
John Andrescavage, Subdivision Manager, Development Coordination
James Argo, South District Project Reviewer, Maintenance & Operations
Claudy Joinville, Project Engineer, Development Coordination
Annamaria Furmato, Project Engineer, Development Coordination



STATE OF DELAWARE
EXECUTIVE DEPARTMENT
OFFICE OF STATE PLANNING COORDINATION

August 22, 2022

Alan Decktor
Pennoni Associates, Inc.
18072 Davidson Drive
Milton, DE 19968

RE: PLUS review – 2022-07-10; Eagle’s Nest Senior Care Facility

Dear Mr. Decktor:

Thank you for meeting with State agency planners on July 27, 2022 to discuss the proposed plans for the Eagle’s Nest Senior Care Facility. According to the information received, you are seeking review of a site plan for a three-story senior care facility on 9.5 acres zoned AR-1 and C-1.

Please note that changes to the plan, other than those suggested in this letter, could result in additional comments from the State. Additionally, these comments reflect only issues that are the responsibility of the agencies represented at the meeting. **The developers will also need to comply with any Federal, State, and local regulations regarding this property. We also note that as Sussex County is the governing authority over this land, the developers will need to comply with any and all regulations/restrictions set forth by the County.**

Strategies for State Policies and Spending

This parcel is located in an Existing Developing Area according to the 2018 SC comp plan and is zoned AR-1 in the front half and commercial in the back half. It is noted that this site plan appears to be identical to the application reviewed in December 2021 under 2021-12-10; however, this site plan is on the back portion of the property which is currently zoned commercial.

According to the Sussex County certified comprehensive plan, Existing Development Areas consists primarily of existing residential development under the current General Residential and Medium Density Residential zoning districts, as well as some commercial uses. These areas are scattered throughout the County. These areas are surrounded by Low Density Areas, and this particular classification is simply being used to identify these existing scattered zoning areas that have no direct relation to their surrounding zoning and/or the Future Land Use Map.

This office recognizes that this portion of the parcel is within a commercial area; however, with that said, this project represents a major land development that will result in 106 senior living units in an Investment Level 4 area according to the *2020 Strategies for State Policies and Spending*.

Investment Level 4 indicates where State investments will support agricultural preservation, natural resource protection, and the continuation of the rural nature of these areas. New development activities and suburban development are not supported in Investment Level 4. These areas are comprised of prime agricultural lands and environmentally sensitive wetlands and wildlife habitats, which should be, and in many cases have been preserved.

From a fiscal responsibility perspective, development of this site is likewise inappropriate. The cost of providing services to development in rural areas is an inefficient and wasteful use of the State's fiscal resources. Over the longer term, the unseen negative ramifications of this development will become even more evident as the community matures and the cost of maintaining infrastructure and providing services increases.

In addition, the development of this site may be environmentally inappropriate due to the following: the presence of a Wellhead Protection Area on the property and a portion in the center of the property being labeled an Excellent Groundwater Recharge Area.

Because the development is inconsistent with the *Strategies for State Policies and Spending*, the Department is opposed to this proposed site plan.

Code Requirements/Agency Permitting Requirements

Department of Transportation – Contact Stephen Bayer 302-760-4834

- The site access on Zion Church Road (SCR 235) must be designed in accordance with DelDOT's Development Coordination Manual, which is available at <http://www.deldot.gov/Business/subdivisions/index.shtml?dc=changes>.
- Section 1.6.1 of the Manual addresses access location of entrances. The existing entrance to the campgrounds located north of the development have access to Zion Church Road approximately 500 feet northeast of the Project's proposed entrance. The road from the campgrounds to Zion Church Road goes through the site parcel and the site plan provided shows that road will be disturbed by the site's construction. The site plan will need to show how existing access to the campground will be maintained.
- Each segment of State maintained road is assigned a Functional Classification in accordance with the States Functional Classification Map. Definitions of these classifications are found in Sections 1.6.4 to 1.6.8 of the Manual. The existing design of the road is not required to meet the design standards of the functional classification at the time the classification is assigned. All access designs shall meet the standards set forth in

the Manual for the assigned functional class of the frontage road and/or affected segment of road. The developer is responsible for improving the segment of road along their site's frontage to meet the design standards of the road's functional class.

- Questions regarding the requirement to improve the site frontage should be directed to the Subdivision Engineer, Ms. Wendy Polasko. Ms. Polasko may be reached at Wendy.Polasko@delaware.gov or (302) 760-2542.
- Pursuant to Section 1.3 of the Manual, a Pre-Submittal Meeting is required before plans are submitted for review. The form needed to request the meeting and guidance on what will be covered there and how to prepare for it is located at https://www.deldot.gov/Business/subdivisions/pdfs/Meeting_Request_Form.pdf?08022017.
- Section 1.7 of the Manual addresses fees that are assessed for the review of development proposals. DelDOT anticipates collecting the Initial Stage Fee when the record plan is submitted for review and the Construction Stage Fee when construction plans are submitted for review.
- Per Section 2.2.2.1 of the Manual, Traffic Impact Studies (TIS) are warranted for developments generating more than 500 vehicle trip ends per day or 50 vehicle trip ends per hour in any hour of the day. Using the 11th edition of the Institute of Transportation Engineers' Trip Generation Manual, DelDOT estimates that the subject development, consisting of 106 units in a Senior Care Facility, would generate 224 vehicle trip ends per day and estimates the weekday morning and evening peak hour trip ends at 10 and 20, respectively. Therefore, a TIS would not be required.
- As necessary, in accordance with Section 3.2.5 and Figure 3.2.5-a of the Manual, DelDOT will require dedication of right-of-way along the site's frontage on the frontage roads. By this regulation, this dedication is to provide a minimum of 30 feet of right-of-way from the outmost edge of the through lanes on Coastal Highway (Delaware Route 1). The following right-of-way dedication note is required, **"An X-foot wide strip of right-of-way from the centerline is hereby dedicated in fee simple to the State of Delaware, acting by and through the Delaware Department of Transportation."**
- In accordance with Section 3.2.5.1.2 of the Manual, DelDOT will require the establishment of a 15-foot wide permanent easement across the property frontage. The location of the easement shall be outside the limits of the ultimate right-of-way. The easement area can be used as part of the open space calculation for the site. The following note is required, **"A 15-foot wide permanent easement is hereby dedicated in fee simple to the State of Delaware, acting by and through the Delaware Department of Transportation."**

- Referring to Section 3.4.2.1 of the Manual, the following items, among other things, are required on the Record Plan:
 - A Traffic Generation Diagram. See Figure 3.4.2-a for the required format and content.
 - Depiction of all existing entrances within 600 feet of the proposed entrance on Zion Church Road.
 - Notes identifying the type of off-site improvements, agreements (signal, letter) contributions and when the off-site improvements are warranted.
- Section 3.5.4.2 of the Manual addresses requirements for Shared Use Paths (SUP) and sidewalks. For projects in Level 3 and 4 Investment Areas, installation of paths or sidewalks along the frontage on State-maintained roads is required where there is an existing path with which to connect.
- Because the proposed development is to be constructed in proximity to a road with a functional classification of principal arterial, specifically Delaware Route 1, the developer will be required to perform a noise analysis in accordance with DelDOT's Noise Policy, found in Section 3.6 of the Manual and may be required to provide noise abatement for residents based on that analysis.
- In accordance with Section 3.8 of the Manual, storm water facilities, excluding filter strips and bioswales, shall be located a minimum of 20 feet from the ultimate State right-of-way along Zion Church Road and Delaware Route 1.
- In accordance with Section 5.2.9 of the Manual, the Auxiliary Lane Worksheet should be used to determine whether auxiliary lanes are warranted at the site entrances and how long those lanes should be. The worksheet can be found at <http://www.deldot.gov/Business/subdivisions/index.shtml>. The warrants will be based on all existing and proposed uses for the entrance.
- In accordance with Section 5.4 of the Manual, sight distance triangles are required and shall be established in accordance with American Association of State Highway and Transportation Officials (AASHTO) standards. A spreadsheet has been developed to assist with this task. It can be found at <http://www.deldot.gov/Business/subdivisions/index.shtml>.
- In accordance with Section 5.14 of the Manual, all existing utilities must be shown on the plan and a utility relocation plan will be required for any utilities that need to be relocated.
- In accordance with Section 5.2.3 of the Manual, proper entrance design with respect to safety, operations, and sustainability is heavily dependent upon selecting the appropriate

design vehicle the proposed roundabout along the site entrance road is to be designed for the design vehicle of the site. If the site gets truck deliveries, the truck should be able to use the roundabout. If the campground is to use the site entrance, the roundabout should be designed to accommodate the trailers.

Department of Natural Resources and Environmental Control – Contact Clare Quinlan 302-735-3480

Disclaimer Clause: Staff from the Delaware Department of Natural Resources and Environmental Control (DNREC) reviewed the project submitted for PLUS review. The absence of comments regarding specific resources does not indicate that there are not additional constraints or environmental issues on site, nor does it indicate DNREC support of a project.

Concerns Identified Within the Development Footprint

Stormwater Management

This application proposes greater than 5000 square feet of land disturbing activities, therefore, this project will be subject to Delaware's *Sediment and Stormwater Regulations*.

Requirements:

- A Sediment and Stormwater Plan must be developed, then approved by the appropriate plan review agency prior to any land disturbing activity taking place on the site. For this project, the plan review agency is the Sussex Conservation District.
- Additionally, to address federal requirements, construction activities that exceed 1.0 acre of land disturbance require Construction General Permit coverage through submittal of an electronic Notice of Intent for Stormwater Discharges Associated with Construction Activity. This form must be submitted electronically (<https://apps.dnrec.delaware.gov/enoi/>, select Construction Stormwater General Permit) to the DNREC Division of Watershed Stewardship, along with the \$195 fee.
- Schedule a project application meeting with the appropriate plan review agency prior to moving forward with the stormwater and site design. As part of this process, you must submit a Stormwater Assessment Study.

Plan review agency contact: Sussex Conservation District at (302) 856-2105 or (302) 856-7219.

Website: <https://www.sussexconservation.org/>

General stormwater contact: DNREC Sediment and Stormwater Program at (302) 739-9921.

E-mail: DNREC.Stormwater@delaware.gov.

Website: <https://dnrec.alpha.delaware.gov/watershed-stewardship/sediment-stormwater/>

Wellhead Protection Area

A Wellhead Protection Area is located on the northwestern portion of the site. Wellhead Protection Areas are the surface and subsurface areas surrounding a water well, or a public water supply wellfield. Contaminants leaching into the soil have the potential to reach the water supplies in these areas.

Requirements:

- The applicant must comply with all county and municipal codes that affect public drinking water supply Wellhead Protection Areas.

Contact: DNREC Source Water Assessment and Protection Program at (302) 739-9945.

Website: <https://dnrec.alpha.delaware.gov/water/supply/ground-water-protection/>

Excellent Groundwater Recharge Area

An Excellent Groundwater Recharge Area is located on the central portion of the site. These areas have soils that are conducive to water infiltrating downward from surface water into groundwater. Preservation of these areas is important for replenishing groundwater supplies and ensuring drinking water for future generations.

Requirements:

- The applicant must comply with all county and municipal requirements for construction and uses in Excellent Groundwater Recharge Areas.

Contact: DNREC Source Water Assessment and Protection Program at (302) 739-9945.

Website: <https://dnrec.alpha.delaware.gov/water/supply/ground-water-protection/>

Wastewater Disposal Systems – Small Systems

An expired permit (permit # 1585-95S) exists for this site in the Small System Branch database.

Requirements:

- Contact the DNREC Groundwater Discharges Section to discuss requirements for properly abandoning these systems.

Contact: DNREC Groundwater Discharges Section at (302) 856-4561

Website: <https://dnrec.alpha.delaware.gov/water/groundwater/septic-systems/>

Wastewater Disposal Systems – Large Systems

Artesian holds an existing permit with the DNREC Groundwater Discharges Section's Large Systems Branch for wastewater disposal.

Requirements:

- It is the responsibility of Artesian to notify the Large Systems Branch if the capacity of the rate of wastewater disposal is to be updated.

Contact: DNREC Large Systems Branch at (302) 739-9948.

Website: <https://dnrec.alpha.delaware.gov/water/groundwater/>

Delaware Emergency Management Agency – Contact Phillip Cane 302-659-2325

Proposed Project Parcel Flood Concern

- This parcel(s) is/are located within an area of Minimal Flood Hazard for 1000 years or greater.

Parcel Status within County Evacuation Zone Location

- The parcel(s) is/are located within the **Sussex County Evacuation Zone A**. DEMA strongly recommends that this be provided or made available to residents and employees, whether through signs, pamphlets or other similar media.

State Historic Preservation Office – Contact Carlton Hall 302-736-7400

- The potential for precontact sites is low based on a lack of environmental factors conducive to human habitation.
- While there are no historic sites within the parcel, the potential for historic sites is very high due to several aboveground structures adjacent to the project area indicated on the 19th century historic maps. The City of Milton and surrounding areas carry significant potential for historic sites based on historic settlement patterns in the 18th and 19th century.
- Although deforestation and building construction between 1992-2002 did cause some disturbance, there is still the potential for intact historic remains associated with any of the nearby 19th century agricultural complexes (S3374, S03376). The Mrs. Donovan dwelling (S03377) seems to have been demolished to make way for the church road and parking lot, however the developer should also consider that archaeological remains could be present when constructing the road and the stormwater pond in parcel 235-8.00-35.12.
- If any project or development proceeds, the developer should be aware of the Unmarked Human Burials and Human Skeletal Remains Law (Del. C. Title 7, Ch.54).
- Prior to any demolition or ground-disturbing activities, the developer should hire an archaeological consultant to examine the parcel for archaeological resources, including

unmarked human burials or human skeletal remains, to avoid those sites or areas.

- This Office Recommends archaeological survey prior to any ground disturbance.

Delaware State Fire Marshall's Office – Contact Duane Fox 302-739-4394

This document is for information purposes only and does not constitute any type of approval from the Delaware State Fire Marshal's Office

At the time of formal submittal, the applicant shall provide; completed application, fee, and three sets of plans depicting the following in accordance with the Delaware State Fire Prevention Regulations (DSFPR):

Fire Protection Water Requirements

- Water distribution system capable of delivering at least 1000 gpm for 1-hour duration, at 20-psi residual pressure is required. Fire hydrants with 800 feet spacing on centers.
- Where a water distribution system is proposed for sites, the infrastructure for fire protection water shall be provided, including the size of water mains for fire hydrants and sprinkler systems.

Fire Protection Features

- All structures over 10,000 sq ft aggregate will require automatic fire sprinkler protection.
- Buildings greater than 10,000 sq ft, 3-stories or more, over 35 feet, or classified as High Hazard, are required to meet fire lane marking requirements
- Show Fire Department Connection location (must be within 300 feet of fire hydrant), and detail as shown in the DSFPR.
- Show Fire Lanes and Sign Detail as shown in DSFPR

Accessibility

- All premises, which the fire department may be called upon to protect in case of fire, and which are not readily accessible from public roads, shall be provided with suitable gates and access roads, and fire lanes so that all buildings on the premises are accessible to fire apparatus. This means that the access road to the subdivision from Zion Church Road must be constructed so fire department apparatus may negotiate it.
- Any dead-end road more than 300 feet in length shall be provided with a turn-around or cul-de-sac arranged such that fire apparatus will be able to turn around by making not more than one backing maneuver. The minimum paved radius of the cul-de-sac shall be 38 feet. The dimensions of the cul-de-sac or turn-around shall be shown on the final

plans. Also, please be advised that parking is prohibited in the cul-de-sac or turn around.

- The use of speed bumps or other methods of traffic speed reduction must be in accordance with Department of Transportation requirements.
- The local Fire Chief, prior to any submission to our Agency, shall approve in writing the use of gates that limit fire department access into and out of the development or property.

Gas Piping and System Information

- Provide type of fuel proposed and show locations of bulk containers on plan.

Required Notes

- Provide a note on the final plans submitted for review to read “All fire lanes, fire hydrants, and fire department connections shall be marked in accordance with the Delaware State Fire Prevention Regulations”
- Proposed Use
- Alpha or Numerical Labels for each building/unit for sites with multiple buildings/units
- Square footage of each structure (Total of all Floors)
- National Fire Protection Association (NFPA) Construction Type
- Maximum Height of Buildings (including number of stories)
- Note indicating if building is to be sprinklered
- Name of Water Provider
- Letter from Water Provider approving the system layout
- Provide Lock Box Note (as detailed in DSFPR) if Building is to be sprinklered
- Provide Road Names, even for County Roads

Recommendations/Additional Information

This section includes a list of site-specific suggestions that are intended to enhance the project. These suggestions have been generated by the State Agencies based on their expertise and subject area knowledge. **These suggestions do not represent State code requirements.** They are offered here in order to provide proactive ideas to help the applicant enhance the site design, and it is hoped (**but in no way required**) that the applicant will open a dialogue with the relevant agencies to discuss how these suggestions can benefit the project.

Department of Transportation – Contact Stephen Bayer 302-760-4834

- The applicant should expect a requirement that any substation and/or wastewater facilities will be required to have access from an internal driveway with no direct access to Zion Church Road or Delaware Route 1.

- The applicant should expect a requirement that all PLUS and Technical Advisory Committee (TAC) comments be addressed prior to submitting plans for review.
- Please be advised that the Standard General Notes have been updated and posted to the DelDOT website. Please begin using the new versions and look for the revision dates of March 21, 2019 and March 16, 2022. The notes can be found at <https://www.deldot.gov/Business/subdivisions/>

Department of Natural Resources and Environmental Control – Contact Clare Quinlan 302-735-3480

Stormwater Management

- Where the site and soil conditions allow, integrate runoff reduction techniques including infiltration basins, bioretention (rain gardens), filter strips, and pavers to encourage on-site stormwater infiltration and reduce runoff.
- For improved stormwater management, preserve existing trees, wetlands, and passive open space.

Plan review agency contact: Sussex Conservation District at (302) 856-2105 or (302) 856-7219.

Website: <https://www.sussexconservation.org/>

General stormwater contact: DNREC Sediment and Stormwater Program at (302) 739-9921.

E-mail: DNREC.Stormwater@delaware.gov.

Website: <https://dnrec.alpha.delaware.gov/watershed-stewardship/sediment-stormwater/>

Drainage

- All existing drainage ditches on the property should be evaluated for function and cleaned, if needed, prior to the construction of the project.
- Environmental permits or exemptions may be required by the County Conservation District (Standard Plan), the DNREC Sediment and Stormwater Program (eNOI/NOT), Army Corp of Engineers, and/or DNREC Wetlands and Subaqueous Lands Section prior to clearing and/or excavating ditch channels.
- All precautions should be taken to ensure the project does not hinder any off-site drainage upstream of the project or create any off-site drainage problems downstream by the release of on-site storm water.

Contact: DNREC Drainage Program at (302) 855-1930.

Website: <https://dnrec.alpha.delaware.gov/drainage-stormwater/>

Water Quality (Pollution Control Strategies)

This site lies within the Broadkill River Watershed. Surface water quality in this watershed does not meet Federal and/or State Water Quality Standards and a Pollution Control Strategy is in place for this watershed.

- Reduce impervious surfaces on the project site by eliminating areas of impervious pavement and/or using pervious pavement where practicable. Break up large parking lots with planted islands.
- Reduce stormwater runoff by integrating infiltration basins, bioretention (rain gardens), filter strips, and by preserving existing trees, wetlands, and passive open space.
- Reduce the necessity for nutrient application by maintaining open space as meadow or forest planted exclusively with native plants. Native plants are well-suited to our climate and require limited maintenance.

Contact: DNREC Division of Watershed Stewardship's Watershed Assessment Section at (302) 739-9939.

Website: <https://dnrec.alpha.delaware.gov/watershed-stewardship/>

Excellent Groundwater Recharge Area

- For Excellent Groundwater Recharge Areas, limit impervious surfaces to no more than 20% of the entire area designated as having excellent recharge.

Contact: DNREC Source Water Assessment and Protection Program at (302) 739-9945.

Website: <https://dnrec.alpha.delaware.gov/water/supply/ground-water-protection/>

Additional Sustainable Practices

- Consider using renewable energy infrastructure such as solar or geothermal to reduce energy costs and further reduce pollution created from offsite generation. Grant funds and incentives are available for Delmarva Power customers through the DNREC Green Energy Fund, which includes several funding types through the state's major electric utilities (<https://dnrec.alpha.delaware.gov/climate-coastal-energy/renewable/assistance/>).
- Install electric vehicle charging stations for visitors and employees. If a bus or van is to be used at the facility, consider electric options, which can usually be charged with a Level 2 charger. Installation costs can vary significantly depending on the parking and electricity distribution at a given location, so it is often easier and cheaper to plan for the installation at construction, rather than doing costly retrofits later. The DNREC Division of Climate, Coastal and Energy offers rebates of up to 90% of the cost of the charging station for commercial, multi-unit dwelling and other public properties. These programs address climate change goals of reducing greenhouse gas emissions and improving overall air quality (<https://dnrec.alpha.delaware.gov/climate-coastal-energy/clean->

transportation/).

- On large expanses of impervious surfaces and asphalt, design parking areas to include trees for shading.
- Incorporate nonmotorized connectivity and install bicycle racks where feasible to help facilitate non-vehicular travel modes.
- Use efficient Energy Star rated products and materials in construction and redevelopment. Energy efficient appliances use less energy over time. This saves consumers and businesses money, while also helping to reduce pollution from power generation.
- Use structural paint coatings that are low in Volatile Organic Compounds to help protect air quality. Air pollution from new construction is generated through the use of maintenance equipment, paints, and consumer products like roof coatings and primers.
- Use recycled materials, such as reclaimed asphalt pavement, to reduce heat island effects on paved surfaces, prevent landfill waste, and lower material costs.

Contact: DNREC Division of Climate, Coastal & Energy at (302) 735-3480.

Website: <https://dnrec.alpha.delaware.gov/climate-coastal-energy/>

Delaware Emergency Management Agency – Contact Phillip Cane 302-659-2325

First Street Foundation Community Risk Level

- The First Street Foundation Community Risk Level considers a Flood Factor, which stems from rain, rivers, tidal, and storm surge, to determine the risk of water reaching the building over 30 years.
- Community Risk levels represent risk as Minimal (0), Minor (1), Moderate (2), Major (3), Severe (4) and Extreme (5). Overall Community Risk accounts for combined flood risk to residential properties, commercial properties, critical infrastructure facilities, social infrastructure facilities, and roads
- The First Street Foundation rates the community risk level of **(3)** for that immediate area of **Milton**, which suggests **major** risk from flooding, and is expected to increase between now and the next 30 years.

Population

- The county's population density of **265.60** per square mile is based on the US 2020 Census report, an increase from 2010 at **208.90** persons per square mile.
- The specific census block(s) on which the project is located has a total population of **90**; however, this will undoubtedly change with development.
- The adjacent blocks aggregate brings the area to a total population of **432**.

FEMA National Risk Index

- The FEMA National Risk Index is an online mapping application that identifies communities most at risk to 18 natural hazards: Avalanche, Coastal Flooding, Cold Wave, Drought, Earthquake, Hail, Heat Wave, Hurricane, Ice Storm, Landslide, Lightning, Riverine Flooding, Strong Wind, Tornado, Tsunami, Volcanic Activity, Wildfire, and Winter Weather. The FEMA National Risk Index is calculated by multiplying the Expected Annual Loss times the Social Vulnerability and dividing that by the Community Resilience.

$$\begin{array}{r} \text{Expected Annual Loss} \\ \times \text{ Social Vulnerability} \\ \div \text{ Community Resilience} \\ \hline = \text{Risk Index} \end{array}$$

- According to FEMA's National Risk Index, the parcel(s) (**is or are**) considered **very low** for overall natural hazards risks.
- Community Resilience is a consequence reduction risk component and a community risk factor that represents the ability of a community to prepare for anticipated natural hazards, adapt to changing conditions and withstand/recover rapidly from disruptions. Social Vulnerability is a consequence-enhancing risk factor that represents the susceptibility of social groups to the adverse impacts of natural hazards.
- Its community resilience is rated **relatively moderate**, while its social vulnerability is **relatively moderate**.

Potential Parcel Solar Panel Capabilities

- Regarding energy use and consumption, the parcel utilizes **electricity** as the predominant fuel type for heating purposes. However, the parcels have an average photovoltaic power potential for electricity generation via solar panels **1497 kWh/kWp, Photovoltaic Power**

Potential. As such, should solar panels be utilized, we recommend an optimum tilt of the photovoltaic modules at approximately **35° of Optimum Tilt of Photovoltaic Modules**, which could provide a potential of **1810 kWh/m²**.

Renewable Energy Commitment

- DEMA strongly encourages the use of renewable energies and high-efficiency appliances and utilities.
- Regarding utilities, DEMA suggests incorporating 90% series furnaces/HVAC systems, the closer to 99% the better as well as A/C units of 20 Seer or greater. DEMA recommends using tankless water heaters, and battery backup systems for sump pumps to reduce potential water damage from power failure.
- Lastly, DEMA encourages the integration of modern and emerging technologies, such as the potential for electric vehicles in garages/parking lots, green roofs where applicable and allowable, and the like.

***DEMA recommends and encourages the *County Evacuation Zone Location* to be made publicly available to businesses and patrons through signs, pamphlets, or other means.

Delaware State Fire Marshall's Office – Contact Duane Fox 302-739-4394

- Preliminary meetings with fire protection specialists are encouraged prior to formal submittal. Please call for appointment. Applications and brochures can be downloaded from our website: www.statefiremarshal.delaware.gov technical services link, plan review, applications or brochures.

Following receipt of this letter and upon filing of an application with the local jurisdiction, the applicant shall provide to the local jurisdiction and the Office of State Planning Coordination a written response to comments received as a result of the pre-application process, noting whether comments were incorporated into the project design or not and the reason, therefore.

PLUS review 2022-07-10

Page 15 of 15

Thank you for the opportunity to review this project. If you have any questions, please contact me at 302-739-3090.

Sincerely,

A handwritten signature in black ink, appearing to read 'D. Edgell', written in a cursive style.

David L. Edgell, AICP
Director, Office of State Planning Coordination

CC: Sussex County

Attached:
Sussex County Planning and Zoning Comments
Sussex County Engineering Comments

JAMIE WHITEHOUSE, AICP MRTPI
PLANNING & ZONING DIRECTOR
(302) 855-7878 T
(302) 854-5079 F
jamie.whitehouse@sussexcountype.gov



Sussex County
DELAWARE
sussexcountype.gov

Preliminary Land Use Service (PLUS) Meeting
July 27th, 2022
July PLUS Comments
Sussex County Department of Planning & Zoning

- I. Review and Discussion: Eagles Nest Senior Care Facility (2022-07-10)**
Location: 34621 26633 Zion Church Road, Milton, DE 19968
Project: Review of a proposed 3-story senior care facility

Sussex County Department of Planning & Zoning Comments

The applicant is required to participate in a pre-application meeting with the County. Please contact the Planning and Zoning Department to schedule a pre-application meeting with staff to discuss the proposed project by calling (302)855-7878 or you may reach out to Michael Lowrey at michael.lowrey@sussexcountype.gov.

Following submission to the County, staff will review the Preliminary Site Plan, where more detailed comments will be provided to the Applicant. At the PLUS stage of review, staff wish to limit comments to high-level comments only.

Please note that the following are informal staff comments, and do not prejudice any decision that the Sussex County Planning & Zoning Commission may wish to make as part of any application submitted to the Department.

Tax Parcel ID(s): 235-8.00-35.06

Zoning: The parcel is split-zoned Agricultural Residential (AR-1) and General Commercial (C-1). The Applicant's PLUS Form indicates "Mixed-Use" and "Multi-Family" uses while the Plan submitted with the application designates the proposed use as a "Senior Care Facility." The Applicant should clarify the specific type of use proposed. While both multifamily and "Nursing and Similar Care Facilities" are permitted by-right in the (C-1) District (§115-77(A)), the zoning code provides for differing requirements and standards for each aforementioned permitted use. Staff note the dimensional standards for multifamily improvements require that no "actual outside wall dimension" exceed (170) linear feet (§115-188(E)(1)).

Proposed: The project proposes 3-story senior care facility on the portion of the site in the General Commercial (C-1) Zoning District.

Density: Given the information provided by the Applicant in both the PLUS Application Form and the Site Plan, the breakdown of the proposed use for the project is unclear. The Application indicates that no change of zone will be sought, while the Plan provides a detailed

breakdown of uses under the provisions of the Institutional (I-1) Zoning district (§115-83.40). Additionally, the breakdown provided in the Plan's Cover Sheet regarding the specific uses in terms of *Independent, Assisted, Intermediate, Extended, or Long-Term Care* indicates a total of 70 units under *Senior Care Facility* (§115-83.40) while the Application Form and Plan indicate 106 units. The Applicant should provide a breakdown of *Multiple-Family* dwelling units versus *Nursing and similar care* units proposed in order to ensure the proposal meets the required maximum density for this form of development. The (C-1) portion of the site is comprised of ≈ 5.32 acres. The proposed 106 dwelling units would result in a density of ≈ 20 DU/AC. The maximum density permitted for multifamily units in the (C-1) Zoning District is 12 DU/AC. If applied to (C-1) portion of the site, 5.32 acres would allow for a total of ≈ 64 dwelling units.

Applicability to Comprehensive Plan: The project lies within the Growth Area and is categorized as "Existing Development Area" (per the 2018 Comprehensive Plan). Existing Development Areas are growth areas that the Plan notes a "full range of housing types allowed" including "multi-family units." The Plan also notes that the "densities are whatever is permitted in the existing underlying zoning district of the property." (2018 Sussex County Comprehensive Plan, 4-17). Staff note that the Applicant's PLUS Application Form indicates no proposed change of zone while the submitted plan includes proposing a Future Land Use Map (FLUM) amendment to reclassify the parcel from "Existing Development Area" to "Developing Area." The existing (C-1) is a closed district and is listed as an applicable zoning district in any land use designation including an "Existing Development Area" according to the footnote at the bottom of Table 4.5-2 "Zoning Districts Applicable to Future Land Use Categories" as listed within Sussex County's 2018 Comprehensive Plan Update. Staff also note that Table 4.5-2 does not include (AR-1) as an applicable zoning district in an "Existing Development Area" (2018 Sussex County Comprehensive Plan, 4-25).

Staff notes the Plan also indicates the future development of another 78 units adjacent on the AR-1 portion of the parcel. Staff note that any future multifamily improvements in AR-1 require Conditional Use approval and would be subject to the requirements of (§115-22). Therefore, multifamily improvements would not be permitted without a FLUM amendment, as the site is classified as an "Existing Development Area" per the 2018 Comprehensive Plan (§115-22 *Multifamily dwelling structures* (A)). Additionally, Nursing and Similar Care Facility use categories would require Conditional Use approval on the AR-1 portion of the parcel.

Open Space Provisions: The Applicant notes that ≈ 6.97 acres of open space is proposed and this appears to include the total acreage of the AR-1 portion of the parcel. Staff note that the proposed future 78 units on the AR-1 portion of the parcel would be subject to additional requirements in terms of the provision of, and design standards for, open space and vegetated buffers in the AR-1 portion of the parcel per the Conditional Use standards for Multifamily Dwelling Structures in (§115-22 *Multifamily Dwelling Structures* (F-G)).

Interconnectivity: The Commission desire to see interconnectivity between proposed developments in order to prevent only one-way-in, one-way-out access in the event that an emergency should occur on the property in the future. The site is situated along the Coastal Highway (Route 1) corridor adjacent to existing parcels in the AR-1 Zoning District. Staff note



that there may be potential for connection to future development along the Route 1 corridor. Staff also note the interconnectivity requirements for the specific uses indicated in (§115-219(A)(5 & 6)) as well as under the provisions of Combined Highway Corridor Overlay Zone (CHCOZ) (§115-194.1(A,F, G)). Staff recommend the Applicant's overall design include forethought regarding this proposal as well as any future proposals on the site adjacent to Route 1 in order to comply with all of the noted connectivity requirements.

Transportation Improvement District (TID): The proposed project **is not located** within the Henlopen TID.

Agricultural Areas: The site is located within the vicinity of parcels which appear to be actively farmed. Please include on any plans submitted the Agricultural Use Protection notice located in (§99-6(G)(1)) of the County Code. This language shall also be included within any subsequent deed restrictions, leases, or agreements of sale for the property.

Forested Areas: The Applicant notes that there are presently (0.0) acres of existing forest on the site and that (0.0) acres will be removed.

Wetlands/Waterways: The Application notes that there are no Tidal or Non-Tidal wetlands present on the site.

Site Considerations (Flood Zones, Tax Ditches, Groundwater Recharge Potential etc.): The property is located within Flood Zone "X" (Areas determined to be outside of the 100-year floodplain) as indicated in the applicant's Conceptual Land Use Plan. This is accurate according to current data available to Sussex County Planning & Zoning. The site is located within an area of "fair", "good", and "excellent" Groundwater Recharge according to Sussex County GIS data. Please note this on the plans in order to comply with the provisions of Chapter 89 "Source Water Protection" of the Sussex County Code (§89-7). Staff note that the proposed improvements within Excellent Groundwater Recharge Area at the site, which exceed 35% or 60% of the Excellent Recharge portion of the parcel, will be required to meet the standards provided under (§89-7(A through F)). Staff note that a portion of the site lies within a Wellhead Protection Area and that any improvements are subject to the standards and requirement of Chapter 89 *Source Water Protection* (§89-6).





Visit de.gov/plus for updates

**Preliminary Land Use Service (PLUS) Meeting
Meeting will be conducted on-line and in person
Room 133, Haslet Armory
122 Martin Luther King Jr. Blvd., South**

**Please see <https://publicmeetings.delaware.gov/> for link to on-line access
July 27, 2022**

Applicants should arrive at least 15 minutes before their appointed time. Times are approximate and are subject to change.

- I. 8:30 AM **Pre-Meeting Discussion – PLUS Reviewers**
- II. 9:00 AM **Review and Discussion: South Bethany Comprehensive Plan Update (2022-07-05)**
County: Sussex **Municipality:** South Bethany
Location:
Project: 5-year Comprehensive Plan Update with minimal changes for review including the addition of one objective (#7) under Goal 3 on page 11.

The proposed project is located within the City/Town/Growth and Annexation Area of South Bethany. The Sussex County Engineering Department does not have comments for this project.

For questions regarding these comments, contact Chris Calio, Sussex County Engineering Department at (302) 854-5088

- III. 9:15 AM **Review and Discussion: Greenlea Place (2022-07-04)**
County: Sussex **Municipality:** Georgetown
Location: South of East Market Street and east of Burton Street.
Project: Review of a site plan for 127 single family homes on 25.3 acres zoned UR-1.

The proposed project is located within the City/Town/Growth and Annexation Area of Georgetown. The Sussex County Engineering Department does not have comments for this project.

For questions regarding these comments, contact Chris Calio, Sussex County Engineering Department at (302) 854-5088

- IV. 9:45 AM **Review and Discussion: Route 13 Self Storage - Bridgeville (2022-07-011)**
County: Sussex **Municipality:** Bridgeville
Location: South of Passwaters Farm Road and west of Route 13.
Project: Review of a site plan for a self-storage facility with 25 self-storage buildings and a main office building on 13.41 acres zoned C-1.

The proposed project is located within a Tier 1 area within the Sussex County Unified Sanitary Sewer District and connection to the sewer system is mandatory.

A “Use of Existing Infrastructure Agreement” is required for new projects. Sussex County Code, Chapter 110, requires that the Engineer and/or Developer request a Sewer System Concept Evaluation (SSCE) from the Utility Planning & Design Review Department for the project by providing the parcel(s) estimated equivalent dwelling units (EDU) for the project, along with payment of a \$1,000.00 fee for the evaluation and must be approved prior to approval of construction plans. The fee is to be payable to Sussex County Council. The Department will review the parcel(s) and EDU, confirm capacity, provide the connection point and define any additional parcels that must be served as part of the project. Should it be determined that a pump station is required for the project, additional information may be requested. This information will be conveyed to the engineer and/or developer. The Department will use this information when reviewing construction drawings to verify that the correct connection point is used, and all required parcels are served.

The proposed development will require a developer installed collection system in accordance with Sussex County standards and procedures.

One-time system connection charges will apply. Please contact the Utility Permits Division at 302 855-7719 for additional information on charges.

For questions regarding these comments, contact Chris Calio, Sussex County Engineering Department at (302) 854-5088

- V. 10:00 AM **Review and Discussion: Eagles Nest Senior Care Facility (2022-07-10)**
County: Sussex **Municipality:** Unincorporated
Location: 26633 Zion Church Road.
Project: Review of a site plan for a three-story senior care facility on 9.5 acres zoned AR-1 and C-1.

The project is within a Tier 3 area for wastewater planning. Sussex County does not currently have a schedule to provide sanitary sewer to these parcels. The Sussex County Engineering Department recommends the project receive wastewater service from a public utility or municipality.

For questions regarding these comments, contact Chris Calio, Sussex County Engineering Department at (302) 854-5088

- VI. 10:30 AM **Review and Discussion: Whitetail Run (2022-07-13)**
County: Sussex **Municipality:** Unincorporated
Location: Stage Road, approximately 1 mile north of the intersection with Route 54.
Project: Review of a subdivision plan for 225 single-family residential units on 70.25 acres zoned R-4.

The proposed project is located within the City/Town/Growth and Annexation Area of Delmar. The Sussex County Engineering Department does not have comments for this project.

For questions regarding these comments, contact Chris Calio, Sussex County Engineering Department at (302) 854-5088

- VII. 11:00 AM **Review and Discussion: Somerton Chase (2022-07-09)**
County: Sussex **Municipality:** Millsboro
Location: Radish Road, west of Route 113, southwest of Millsboro.

Project: Review of a subdivision plan for 214 single-family residential units on 67.46 acres zoned AR-1 with proposed zoning of MR.

The proposed project is located within the City/Town/Growth and Annexation Area of Millsboro. The Sussex County Engineering Department does not have comments for this project.

For questions regarding these comments, contact Chris Calio, Sussex County Engineering Department at (302) 854-5088

VIII. 11:30 AM **Review and Discussion: Dolby (2022-07-07)**

County: Sussex

Municipality: Seaford

Location: 2,560 feet southeast of Route 13 along Old Furnace Road.

Project: Review of a subdivision plan for 169 single-family residential units on 33.22 acres zoned R-2.

The proposed project is located within the City/Town/Growth and Annexation Area of Seaford. The Sussex County Engineering Department does not have comments for this project.

For questions regarding these comments, contact Chris Calio, Sussex County Engineering Department at (302) 854-5088

IX. 12:00 AM **Review and Discussion: DE Storage Milton (2022-07-12)**

County: Sussex

Municipality: Milton

Location: North side of Route 16, approximately 900 feet east of Route 5.

Project: Review of a site plan for the construction of 4 storage buildings totaling 120,000 SF and one office building.

The proposed project is located within the City/Town/Growth and Annexation Area of Milton. The Sussex County Engineering Department does not have comments for this project.

For questions regarding these comments, contact Chris Calio, Sussex County Engineering Department at (302) 854-5088

X. 12:30 AM **LUNCH**

XI. 1:30 PM **Review and Discussion: Fort DuPont Marina Village (2022-07-15)**

County: New Castle

Municipality: Delaware City

Location: Northeast end of Old Elm Ave. and Wingate Road.

Project: Review of a subdivision for 130 residential units (96 multi-family and 34 duplex/townhouse) on 11.8 acres zoned HPR.

XII. 2:00 PM **Review and Discussion: New Castle County Ordinance on Housing (2022-07-01)**

County: New Castle

Municipality: Unincorporated

Location: Entire County

Project: Review of a proposed ordinance to amend Chapter 40, Article 7 of the New Castle County Code to prioritize its HOME funds for family affordable housing developments in high-opportunity areas throughout New Castle County.

XIII. 2:15 PM **Review and Discussion: Capital Trail (2022-07-02)**

County: New Castle

Municipality: Unincorporated

Location: 2701 Capital Trail, Newark.

Project: Review of a site plan for the construction of a mixed-use development containing 179 multi-family residential units and 21,000 SF of Retail shopping on 12.36 acres zoned CR.

- XIV. 2:45 PM **Review and Discussion: Bunker Hill Warehouse (2022-07-08)**
County: New Castle **Municipality:** Middletown
Location: 1023 Bunker Hill Road.
Project: Review of site plan for the construction of two new warehouses totaling 1,081,600 SF on 74.83 acres.
- XV. 3:15 PM **Review and Discussion: Northside Shopping Center (2022-07-06)**
County: New Castle **Municipality:** Middletown
Location: Northwest corner of Doc Levinson Dr. and Middletown Warwick Rd.
Project: Review of a site plan for the construction for a 147,531 SF retail building on 12.79 acres zoned C-3.
- XVI. 3:45 PM **Review and Discussion: Middletown 2022 Comprehensive Plan (2022-07-14)**
County: New Castle **Municipality:** Unincorporated
Location: Entire Town.
Project: Review of the draft 2022 Middletown Comprehensive Plan.

The agenda items times are approximate and subject to change. This agenda is subject to change to include additional items or the deletion of items, which arise at the time of the meeting.

SITE DATA:

- TAX MAP NUMBERS: 235-8.00-35.06 DEED BOOK: 4499, PAGE: 304
- OWNER INFO: EAGLES NEST FELLOWSHIP CHURCH INC 26633 ZION CHURCH RD MILTON, DE 19968
- SITE ADDRESS: 26633 ZION CHURCH RD MILTON, DE 19968 HUNDRED COUNTY SUSSEX
- PLUS: APPLICATION # 2022-07-10
- EXISTING LOTS: 1 PROPOSED LOTS: 1
- # BUILDINGS: 1 FOOTPRINT: 50,253 SF GROSS BUILDING AREA: 94,570 SF # UNITS: 106 FLOORS: 1 AND 3
- EXISTING TOTAL ACREAGE: 9.50+ ACRES
- CURRENT ZONING: AR-1 [4.50 AC.] (AGRICULTURAL RESIDENTIAL) AND C-1 [5.00 AC.] (GENERAL COMMERCIAL)
- REQUIRED SETBACKS (B.R.L.): (PER 115-77.1 B-2) FRONT: 60 FT SIDE: 20 FT REAR: 30 FT
- REQUIRED LOT SIZE: AR-1 (115-25 A-1) STANDARD LOT WIDTH 100' STANDARD LOT DEPTH 100' STANDARD LOT AREA 20,000' S.F. C-1 (115-77.1 B-1) STANDARD LOT WIDTH 150' STANDARD LOT DEPTH 100' STANDARD LOT AREA 3 ACRES
- 2019 FUTURE LAND USE AREA: EXISTING DEVELOPMENT AREA
- BUILDING HEIGHT: MAX 42' (PER 115-77.1 B-3)
- PRESENT USE: CAMP GROUND/RECREATION
- PROPOSED USE: NURSING AND SIMILAR CARE FACILITIES
- SITE CALCULATIONS BUILDING AREA: EX = 0.17 AC. PR = 1.15 AC. PAVEMENT AREA: EX = 0.83 AC. PR = 1.38 AC. OPEN SPACE GRASS AREA: EX = 8.50 AC. PR = 6.87 AC. TOTAL AREA: EX = 9.50 AC. PR = 9.50 AC. PERCENTAGE OF IMPERVIOUS COVER: EXISTING IMPERVIOUS COVER: 2.53 AC. (26.63%) 1.00 AC. (10.53%)
- FORESTED AREA: TOTAL AREA: 0.25 ± ACRES IMPACTED: 0.12 ± ACRES REMAINING: 0.13 ± ACRES
- UTILITY SERVICES: SEWER PROVIDER: PUBLIC - ARTESIAN WASTEWATER COMPANY INC (SUSSEX COUNTY TIER 3 - COORDINATED CPON AREAS) WATER PROVIDER: PUBLIC - ARTESIAN WATER COMPANY INC
- SECTION 89 - SOURCE WATER PROTECTION: A) SUBJECT PROPERTY IS WITHIN AN AREA OF 'FAIR, GOOD, AND EXCELLENT' GROUNDWATER RECHARGE. THE PROPOSED IMPROVEMENTS WITHIN EXCELLENT GROUNDWATER RECHARGE AREA AT THE SITE, WHICH EXCEEDS 35% OR 60% OF THE EXCELLENT RECHARGE PORTION OF THE PARCEL, WILL BE REQUIRED TO MEET THE STANDARDS PROVIDED UNDER (89-7(A) THROUGH F)) B) SUBJECT PROPERTY IS NOT LOCATED IN WELLHEAD PROTECTION AREA
- WETLANDS STATE REGULATED TIDAL FEDERAL REGULATED NON-TIDAL: 0.00 ACRES 0.00 ACRES
- PROPOSED DISCHARGE LOCATION: OVERLAND FLOW TO STORMWATER POND WATERSHED: PRIMEHOOK CREEK
- PROPOSED TOTAL LIMIT OF DISTURBANCE: 9.77 ACRES
- FLOOD ZONE: FIRM NUMBER 10005C0196K ZONE X, DATED MARCH 16 2015, UNSHADOWED AREA
- PARKING REQUIRED PARKING: SENIOR CARE FACILITY: 1 SPACE FOR EACH 4 PATIENT BEDS TOTAL NO OF BEDS 106 BEDS / 4 = 27 SPACES PLUS 1 SPACE PER 2 EMPLOYEES ON THE LARGEST SHIFT 40 EMPLOYEES ON THE LARGEST SHIFT = 20 SPACES OFF-STREET PARKING INCREASED BY 20% DUE TO LARGE SCALE USE TOTAL REQUIRED SPACES: 47+(20%)(47)=71 SPACES PROVIDED SPACES: 74 SPACE ADA SPACES: 3 SPACES INCLUDED
- LOADING SPACE REQUIRED: 3 (PER 115-167) LOADING SPACE PROVIDED: 3
- 2020 STATE INVESTMENT AREA: LEVEL 4
- FIRE DISTRICT: MILTON FIRE CO.
- LATITUDE AND LONGITUDE STATE PLANE COORDINATES: LONGITUDE: 75°19'28.77"12"W LATITUDE: 39°47'49.3007"N
- DATUM: HORIZONTAL = NAD83 VERTICAL = NAVD83
- HENLOPEN TID: NOT INCLUDED
- STATE TAX DITCH AREAS AND RIGHT OF WAY LIMITS: NOT INCLUDED
- LOCAL GOVERNMENT RESPONSIBLE FOR LAND USE APPROVAL: SUSSEX COUNTY

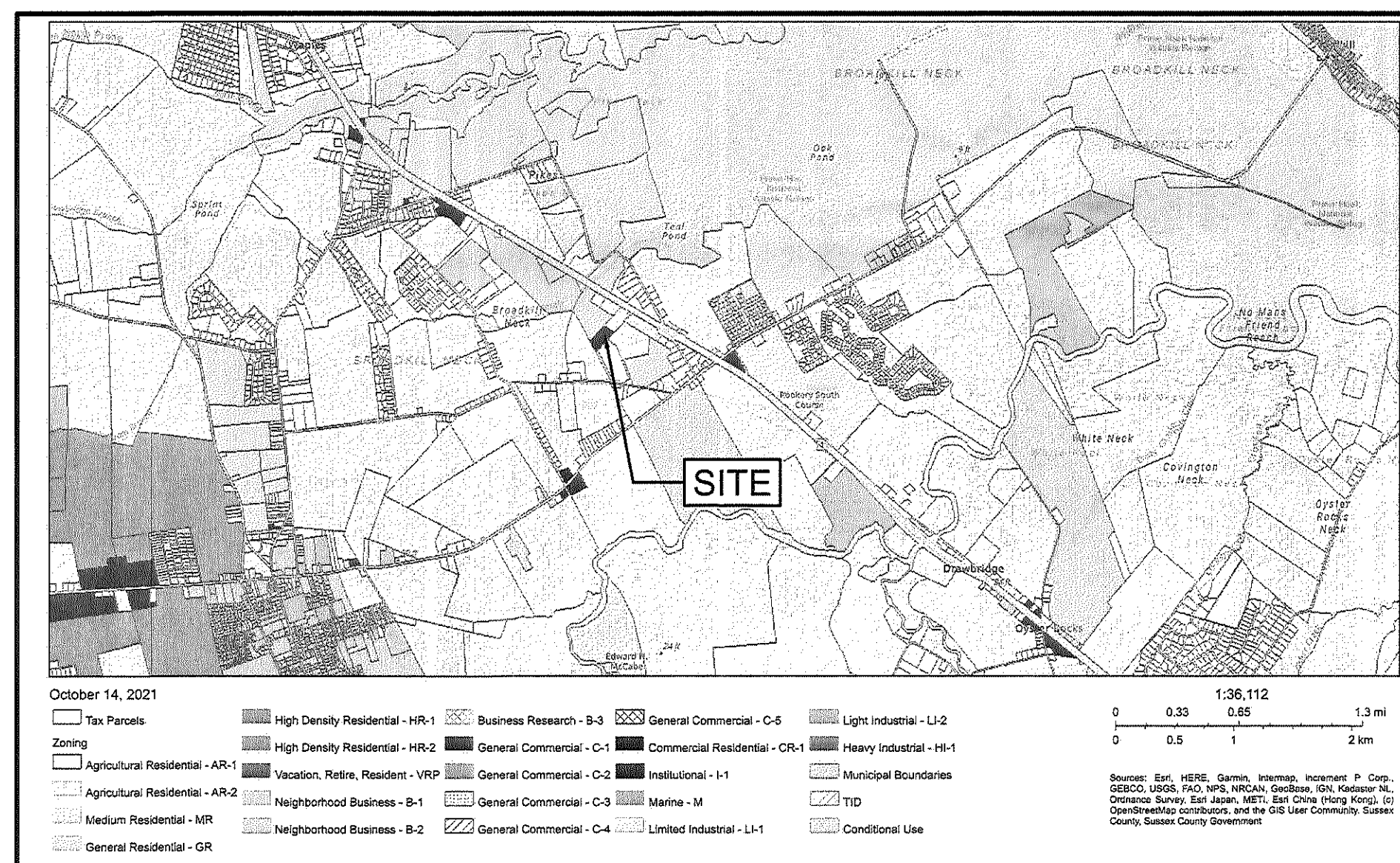
EAGLES NEST SENIOR CARE FACILITY PRELIMINARY PLAN SET

TAX MAP: 235-8.00-35.06
26633 ZION CHURCH ROAD - (SCR014)
SUSSEX COUNTY, MILTON DELAWARE 19968

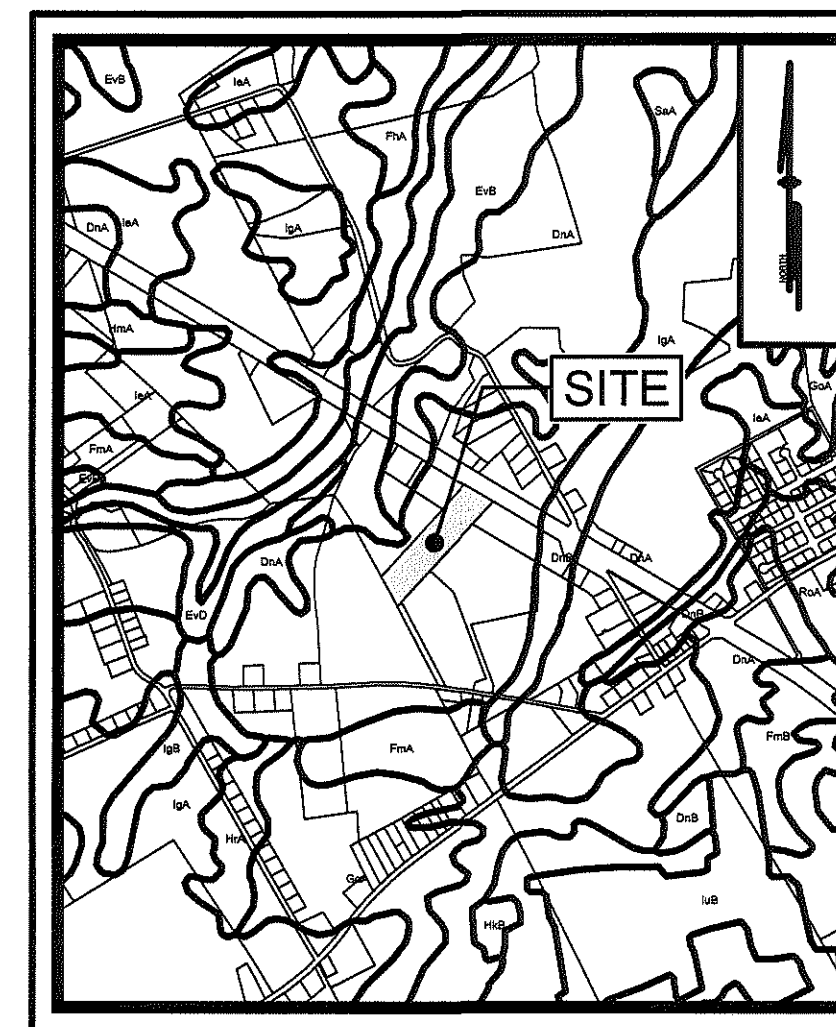
JUNE 2022

PREPARED FOR:
OWNER/DEVELOPER
EAGLES NEST FELLOWSHIP CHURCH, INC.

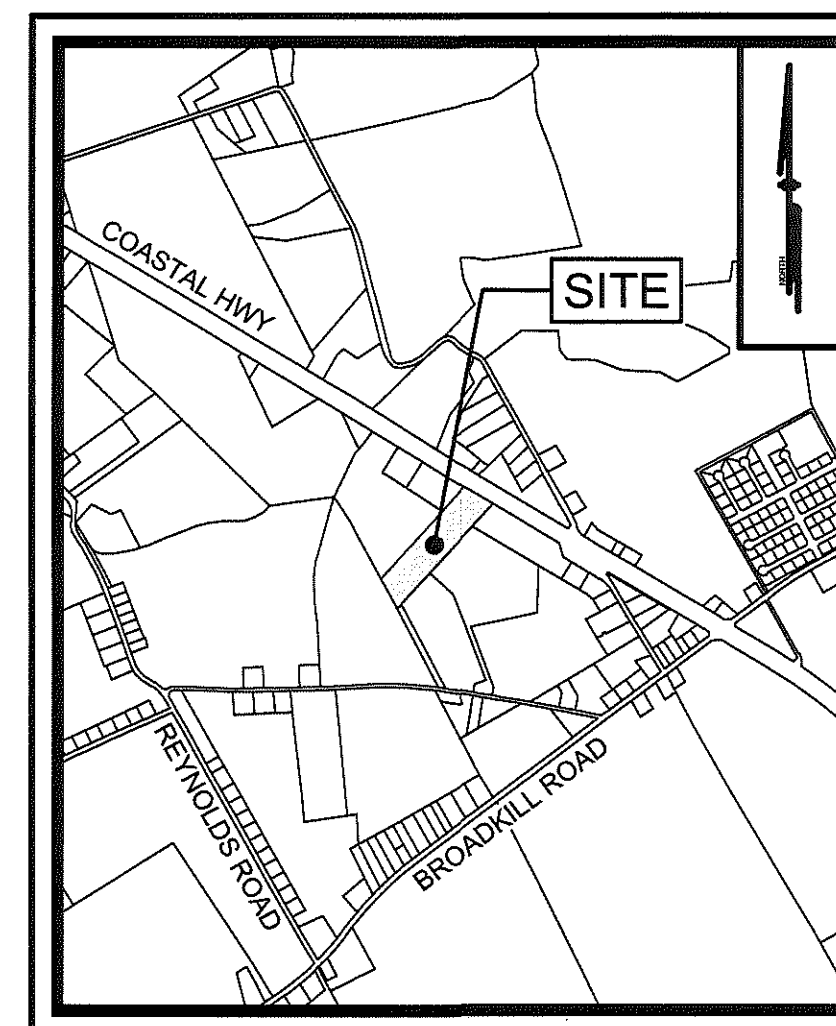
26633 ZION CHURCH ROAD - (SCR014)
MILTON, DELAWARE 19968



ZONING MAP



SOILS MAP
SCALE: 1"=2000'



LOCATION MAP
SCALE: 1"=2000'

LEGEND

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	BUILDING
[Symbol]	[Symbol]	FULL DEPTH PAVEMENT
[Symbol]	[Symbol]	BUILDING RESTRICTION LINE
[Symbol]	[Symbol]	CURB
[Symbol]	[Symbol]	EDGE OF PAVEMENT
[Symbol]	[Symbol]	PERMANENT EASEMENT
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	POWER, UTILITY POLE
[Symbol]	[Symbol]	PROPERTY, LINE
[Symbol]	[Symbol]	PROPERTY, CORNER FOUND
[Symbol]	[Symbol]	PROPERTY, ADJOINING LINED
[Symbol]	[Symbol]	SITE, MAIL BOX
[Symbol]	[Symbol]	SITE, TRAFFIC SIGN
[Symbol]	[Symbol]	SPOT ELEVATION
[Symbol]	[Symbol]	MINOR CONTOUR
[Symbol]	[Symbol]	MAJOR CONTOUR
[Symbol]	[Symbol]	MARKING, HANDICAP PARKING
[Symbol]	[Symbol]	CONCRETE

SOILS

TYPE	DESCRIPTION	HYDROLOGIC SOIL
FmB	ASKEGSKY LOAMY SAND, 0 TO 2 PERCENT SLOPES	A
DnA	DOWER LOAMY SAND, 0 FORT MOTT LOAMY SAND, 2 TO 5 PERCENT SLOPES	A

Sheet List Table

Sheet #	Drawing #	Sheet Title
1	PP0001	COVER SHEET
2	PP1001	PRELIMINARY SITE PLAN
3	PP1002	PRELIMINARY PLANS NOTES

OWNER CERTIFICATION:
I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AS SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

ENGINEER CERTIFICATION:
IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE COMPLIES WITH APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SIGNATURE: EAGLES NEST FELLOWSHIP CHURCH INC
26633 ZION CHURCH ROAD, MILTON, DE 19968
(302) 684-3149
PASTORJOHN@EAGLESNEST.CH

DATE: _____

SIGNATURE: _____
AS A DESIGNER (OR THE DESIGNER)
PENNONI ASSOCIATES, INC.
18072 Davidson Drive
Milton, DE 19968
OFFICE (302) 684-8054
ADECKTOR@PENNONI.COM

DATE: _____

SENIOR CARE FACILITY
§ 115-77 PERMITTED USES
PERMITTED PURPOSE OF USE
NURSING AND SIMILAR CARE FACILITIES

CALL BEFORE YOU DIG
Call Miss Utility of Delmarva
800-282-8555
Ticket Number(s):



Pennon
PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

EAGLES NEST SENIOR CARE FACILITY
TAX MAP: 235-8.00-35.06
26633 ZION CHURCH ROAD - (SCR014)
SUSSEX COUNTY, MILTON DELAWARE 19968
COVER SHEET
EAGLES NEST FELLOWSHIP CHURCH, INC.
26633 ZION CHURCH ROAD - (SCR014)
MILTON, DELAWARE 19968

NO.	DATE	REVISIONS	BY

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: ENFCX21001
DATE: 2022-06-23
DRAWING SCALE: AS SHOWN
DRAWN BY: LFS
APPROVED BY: AMD

PP0001
SHEET 1 OF 3

Review copy

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY OWNER. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
- THIS PLAN DOES NOT VERIFY THE EXISTENCE, OR NONEXISTENCE, OF EASEMENT OR RIGHT OF WAY CROSSING THE SUBJECT PROPERTY.
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN THE PLAN.
- FINAL SET OF APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE MAINTAINED ON THE JOB SITE AT ALL TIMES. FAILURE TO COMPLY WITH THIS PROVISION SHALL BE CONSIDERED CAUSE TO STOP THE WORK.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE REJECTED.
- ALL MATERIALS SHALL BE NEW AND SHALL BE ASBESTOS AND VERMICULITE FREE. ALL MATERIALS SHALL BE STORED SO AS TO ASSURE THE PRESERVATION OF THEIR QUALITY AND FITNESS FOR THE INTENDED WORK.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO BE PERFORMED. IT MUST BE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THEREOF APPLICABLE.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO FIELD LOCATE AND RECORD ANY DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REMOVED OR REPLACED. ENGINEER TO VERIFY LOCATION AND EXTENT OF DAMAGE.
- THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF CONTRACT DRAWINGS ON WHICH HE SHALL NOTE, IN RED, THE ALIGNMENTS AND INVERTS OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK. ALL DISCREPANCIES BETWEEN THE PLAN LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE AS-BUILT DRAWINGS TO BE MAINTAINED BY THE CONTRACTOR IN THE FIELD.
- DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REPLACED OR REMOVED DURING CONSTRUCTION SHALL BE IMMEDIATELY REPORTED TO ENGINEER. CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED WORK WITHOUT CHARGE TO THE OWNER.
- BASED UPON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 100050D169K, EFFECTIVE DATE MARCH 16, 2015, THE ENTIRE PROPERTY IS LOCATED IN AN AREA DESIGNATED AS FLOOD ZONE "X" (UNSHADED), WHICH IS AN AREA THAT HAS BEEN DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN. SUBJECT PROPERTY IS CURRENTLY "C-1/AR-1" (GENERAL COMMERCIAL/AGRICULTURAL RESIDENTIAL).
- THE SUBJECT SITE WILL BE CONSTRUCTED AS A SINGLE PHASE.
- TOTAL AREA FOR SUBJECT SITE IS 9.50 ACRES.
- THE BOUNDARY INFORMATION & TOPOGRAPHY SHOWN ON THIS PLAN WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD AND IS ALSO THE RESULT OF AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES, INC. DATED APRIL 2007.
- ALL PROPOSED LIGHTING WILL BE SUPPLIED BY BUILDING WALL PACKS AND PARKING LOT LIGHTS. REFER TO SITE LIGHTING PLAN.
- ALL SECURITY LIGHTING (IF NECESSARY) SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
- STATE AND FEDERAL WETLANDS DO NOT EXIST ON THE SITE.
- STORMWATER IS CONVEYED ACROSS THE SITE WITH OVERLAND FLOW.
- ALL FIRE LANES, FIRE HYDRANTS, EXITS, STANDPIPE, FIRE DEPARTMENT CONNECTIONS AND SPRINKLER CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS. BUILDING CONSTRUCTION TO BE WOOD, STEEL AND CONCRETE. AND WILL HAVE SPRINKLERS.
- FIRE ALARM REQUIRED - THE FIRE ALARM SIGNALING SYSTEM SHALL BE AUTOMATIC, SUPERVISED OFF-SITE, AND SHALL CONSIST OF FULL COVERAGE BY SMOKE DETECTION AND ALARM NOTIFICATION. WHERE SMOKE DETECTION DEVICES WILL NOT FUNCTION BY REASON OF DEVICE LIMITATION, HEAT DETECTION SHALL BE PROVIDED IN THOSE SPECIFIC LOCATIONS FIRE ALARM SIGNALING SYSTEM PLANS AND SPECIFICATIONS SHALL BE SUBMITTED FOR REVIEW.
- LOCK BOX REQUIRED - CONTACT LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF BOX ON THE BUILDING.
- MISS UTILITY SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO EXCAVATION.
- ALL DISTURBED AREAS WITHIN THE LIMIT OF DISTURBANCE, BUT NOT IN PAVEMENT, SHALL BE TOP-SOILED (6" MINIMUM), SEEDED AND MULCHED. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- A 72 HOUR (MINIMUM) NOTICE SHALL BE GIVEN TO THE DISTRICT PERMIT SUPERVISOR PRIOR TO STARTING ROADWAY CONSTRUCTION.
- THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE OR MODIFY ANY EROSION AND SEDIMENT CONTROL MEASURES AS THEY DEEM NECESSARY.
- THE ENTRANCES / EXITS ARE PROPOSED ONLY, AND ARE SUBJECT TO REVIEW AND APPROVAL BY THE DELAWARE DEPARTMENT OF TRANSPORTATION BEFORE A CONSTRUCTION PERMIT IS ISSUED.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING, TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION:
THE OWNER, SUSSEX CONSERVATION DISTRICT & DELDOT
- THE CONTRACTOR SHALL MAINTAIN PUBLIC ROADS AND STREETS IN A BROOM SWEEP CONDITION AT ALL TIMES.
- ROUTINE PERIODIC INSPECTIONS DURING CONSTRUCTION WILL BE PROVIDED BY THE OWNER. THESE INSPECTIONS DO NOT RELIEVE THE CONTRACTOR FROM HIS OBLIGATION AND RESPONSIBILITY FOR CONSTRUCTING ALL WORK IN STRICT ACCORDANCE WITH ALL STANDARDS AND SPECIFICATIONS AND CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL MEASURES TO PROTECT STOCKPILE AREAS AND STORAGE AREAS. ALL AREAS USED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR UPON COMPLETION OF THE PROJECT. IF THE STAGING AREA IS PAVED, IT SHALL BE RESTORED TO ITS ORIGINAL CONDITION. IF THE STAGING AREA IS UNPAVED, IT SHALL BE RE-GRADED, TOPSOILED, SEEDED AND MULCHED TO THE SATISFACTION OF THE ENGINEER. ALL COSTS ASSOCIATED WITH RESTORATION OF THE STAGING AREA SHALL BE AT THE CONTRACTOR'S EXPENSE. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL TAKE PRECAUTIONS TO LOCATE PROPERTY LINES AND RIGHT OF WAY LINES PRIOR TO CONSTRUCTION AND AVOID CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY AND/OR RIGHTS OF WAYS WHERE SAID CONSTRUCTION IS PROHIBITED. THE CONTRACTOR MAY CONDUCT CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY PROVIDED IF HE HAS OBTAINED PRIOR WRITTEN PERMISSION FROM THE PROPERTY OWNER AND HAS SUBMITTED A COPY OF SAID WRITTEN PERMISSION TO THE OWNER.
- THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE WORK AREA, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL REGULATORY, WARNING AND INFORMATION SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE.

DELDOT RECORD/SITE PLAN NOTES (REVISED 3/21/2019):

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
- LOTS WILL BE PERMITTED TO HAVE ACCESS POINTS THAT COMPLY WITH THE DEVELOPMENT COORDINATION MANUAL (DCM) SPACING REQUIREMENTS OF CHAPTER 1 AND LIMITATIONS ON NUMBER OF ACCESS POINTS ESTABLISHED IN DCM CHAPTER 7. HORSESHOE DRIVEWAYS AND SECONDARY ENTRANCES REQUIRE ADDITIONAL DELDOT REVIEW AND SEPARATE PERMITTING, RESTRICTIONS AS DESCRIBED IN THE DCM CHAPTER 7 MAY PROHIBIT SOME SECONDARY ENTRANCE REQUESTS FROM BEING GRANTED.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.

BUILDING USE AND CONSTRUCTION					
BUILDING	USE	CONSTRUCTION TYPE	FOOTPRINT	GFA	SPRINKLER
BUILDING 1	SENIOR CARE FACILITY	3-STORY TYPE V (000) WOOD FRAME	49,860	94,570	YES

KEYED NOTES:

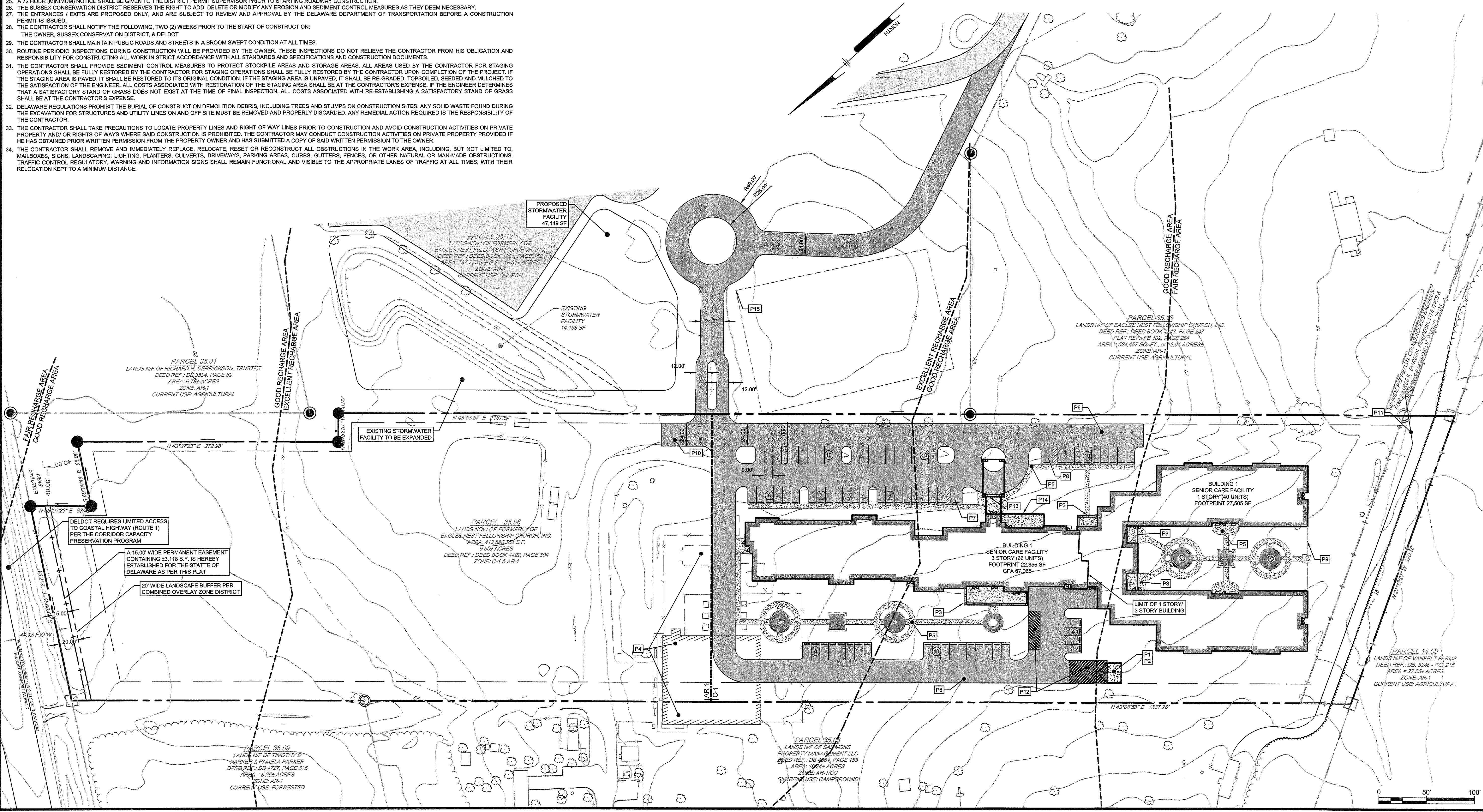
- P1 PROPOSED DUMPSTER AREA TO BE ENCLOSED WITH 8" IN HIGH CMU WALL MATCHING THE EXTERIOR FINISH OF THE BUILDING; GATE TO BE SOLID MATERIAL AND MATCH EXTERIOR FINISH OF THE BUILDING
- P2 PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- P3 PROPOSED OUTDOOR VERANDA
- P4 EXISTING BUILDING AND POOL AREA TO BE REMOVED
- P5 PROPOSED CONCRETE SIDEWALK
- P6 PROPOSED LIGHT DUTY ASPHALT PAVEMENT
- P7 ADA SPACE WITH SIGN MOUNTED ON POST
- P8 VAN ACCESSIBLE ADA SPACE
- P9 PROPOSED FENCE
- P10 STUB FOR FUTURE CONNECTION
- P11 EXISTING ACCESS WAY TO BE MODIFIED
- P12 PROPOSED LOADING AREA 12' X 40'
- P13 PROPOSED OVERHANG
- P14 PROPOSED PORCH
- P15 EXISTING SEPTIC AREA

NOTES:

- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.

FIRE MARSHAL NOTES:

- SITE NAME/ADDRESS: EAGLES NEST SENIOR CARE FACILITY
26633 ZION CHURCH ROAD
MILTON, DE 19968
SUSSEX COUNTY, DELAWARE
- OWNER INFORMATION:
CURRENT OWNER/DEVELOPER: EAGLES NEST FELLOWSHIP CHURCH INC
26633 ZION CHURCH ROAD
MILTON, DE 19968
TAX MAP/PARCEL #: 335-8.00-35.06
GROSS ACREAGE: 9.504 ACRES
- INTENDED USE: NURSING AND SIMILAR CARE FACILITIES
- WATER SUPPLIER: PUBLIC - ARTESIAN WATER COMPANY INC
- MAXIMUM BUILDING HEIGHT: 42'
- AUTOMATIC SPRINKLERS: YES
- FIRE DISTRICT: MILTON FIRE CO.
- BUILDING PERIMETER (2,156')
REQUIRED 75% OF BUILDING: 1,617'
PROVIDED: 2,156'
- FIRE LANE (2,156')
REQUIRED 35% OF BUILDING: 755'
PROVIDED: 524'



Pennoni
PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

WILLIAM M. DECK, DE
LICENSED PROFESSIONAL ENGINEER
No. 17771

EAGLES NEST SENIOR CARE FACILITY
TAX MAP - 235-8.00-35.06
26633 ZION CHURCH ROAD - (SCR014)
SUSSEX COUNTY, MILTON DELAWARE 19968

PRELIMINARY PLANS NOTES

EAGLES NEST FELLOWSHIP CHURCH, INC.
26633 ZION CHURCH ROAD - (SCR014)
MILTON, DELAWARE 19968

NO.	DATE	REVISIONS	BY

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSION OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES. AND OWNER SHALL IDENTIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: ENFCX21001
DATE: 2022-06-23
DRAWING SCALE: 1"=50'
DRAWN BY: LFS
APPROVED BY: AMD

PP1002
SHEET 3 OF 3

Submission Date	Independence Hall plans to revise the existing site plan to add Pickleball Courts. Do you approve?	First Name	Last Name	Street Address	City	State / Province	Postal / Zip Code	Lot Number
Oct 26, 2022	Yes	Prue	Garrity	23843 Betsy Ross Lane	Millsboro	DE	19966	4
Oct 27, 2022	Yes	Walter	O'Connell	23847 Betsy Ross Lane	Millsboro	DE		5
Oct 21, 2022	Yes	Marianne	Baker	23849 Betsy Ross Lane	Millsboro	DE	19966	6
Oct 22, 2022	Yes	Gail	Visco	23853 Betsy Ross Lane	Millsboro	Delaware	19966	7
Oct 25, 2022	Yes	Kim	Parkins	23859 Betsy Ross Lane	Millsboro	DE	19966	9
Oct 25, 2022	No	Jack	Hartshorn	23865 Betsy Ross Lane	Millsboro	DE	19966	12
Oct 26, 2022	Yes	Michael	Gorman	23854 Betsy Ross Ln	Millsboro	De	19966	17
Oct 21, 2022	Yes	Elizabeth	Quackenbush	30201 Zachary Taylor Ct	Millsboro	DE	19966	18
Oct 26, 2022	Yes	Jack	Stoner	30206 Zachary Taylor Ct	Millsboro	DE	19966	20
Oct 25, 2022	No	Jeanne	Walsh	30198 Zachary Taylor Court	MILLSBORO	DE	19966-8200	23
Oct 21, 2022	Yes	James	Stegner	29436 Andrew Jackson Drive	Millsboro	DE	19966	24
Oct 27, 2022	Yes	Ruth	Spagna	23838 Betsy Ross Ln	Millsboro	DE	19966	25
Oct 21, 2022	Yes	Louis	Westreich	23834 Betsy Ross Lane	millsboro	DE	19966	26
Oct 23, 2022	Yes	Sally	Flynn	30141 George Washington Ave.	Millsboro	DE	19966	30
Oct 27, 2022	Yes	Robert	Lee	30145 George Washington Avenue	Millsboro	DE	19966	32
Oct 25, 2022	No	Joanne	McIntosh	30147 George Washington Ave.	Millsboro	DE	19966	33
Oct 21, 2022	No	Thomas	Dawson	30148 George Washington Ave	Millsboro	DE	19966	34
Oct 21, 2022	No	Carolina	Dawson	30148 George Washington Ave	Millsboro	DE	19966	34
Oct 22, 2022	Yes	Anthony	Zenone	30146 GEORGE WASHINGTON AVE	MILLSBORO	DE	19966-8202	35
Oct 21, 2022	Yes	Carmine	Villa	30154 Ethan Allen Ct.	Millsboro	DE	19966	38
Oct 22, 2022	Yes	Paul	Towers	30156 Ethan Allen Ct.	Millsboro	DE	19966	39
Oct 23, 2022	Yes	Daniel	Martin	30164 Ethan Allen ct	Millsboro	De	19967	41
Oct 22, 2022	Yes	Patricia	Martin	30164 Ethan Allen Ct	Millsboro	De	19966	41
Oct 21, 2022	Yes	Reva	Kuhlman	30166 Ethan Allen Ct	Millsboro	DE	19966	42
Oct 25, 2022	Yes	James	Rittling	30170 Ethan Allen cy	Millsboro	De	19967	43
Oct 21, 2022	Yes	MaryBeth	Roberts	30174 Ethan Allen Ct	Millsboro	DE	19966	44
Oct 21, 2022	Yes	Joseph	Dougherty	30176 Ethan Allen Ct	Millsboro	DE	19966	45
Oct 21, 2022	Yes	Don	Reigle	30184 Ethan Allen crt	Millsboro	Del	19966	47
Oct 22, 2022	Yes	Patricia	Doloughy	30188 Ethan Allen Court	Millsboro	DE	19966	48
Oct 21, 2022	Yes	Madelyn	Thompson	30190 Ethan Allen Court	MILLSBORO	DE	19966	49
Oct 21, 2022	Yes	Ed	Magnani	30193 Ethan Allen	Millsboro	DE	19966	51
Oct 22, 2022	Yes	Gerard	Baker	30191 ETHAN ALLEN CT	Millsboro	DE	19966	52
Oct 28, 2022	Yes	Audrey S	Bryant	30189 Ethan Allen Court	Millsboro	DE	19966	53
Oct 22, 2022	Yes	Carolyn	Thompson	30187 Ethan Allen Ct.				54
Oct 21, 2022	Yes	Ken/Karen	Baittinger	30173 Ethan Allen ct.	Millsboro	DE	19966	56
Oct 21, 2022	Yes	Jeff	Leisenring	30169 Ethan Allen Ct	Millsboro	DELAWARE	19966	57
Oct 22, 2022	Yes	Mary	Major	30165 Ethan Allen Court	Millsboro	DE	19966	58
Oct 21, 2022	Yes	Brian	Harron	30163 Ethan Allen Ct	Millsboro	DE	19966	59

Oct 21, 2022	Yes	Kenneth	DiGregorio	30159 Ethan Allen Court	Millsboro	DE	19966	60
Oct 27, 2022	Yes	Carrie	Thompson	30157 Ethan Allen Ct	Millsboro	Delaware	19966	61
Oct 22, 2022	Yes	Barbara	Konell	23792 Samuel Adams Circle	Millsboro	De	19966	63
Oct 21, 2022	Yes	dawn	regan	23794 samuel adams circle	Millsboro	de	19966	64
Oct 21, 2022	Yes	Jeffrey	Regan	23794 Samuel Adams Cir	Millsboro	DE	19966-8227	64
Oct 21, 2022	No	Jude	Ryan	23800 Samuel Adams Circle	Millsboro	DE	19966	66
Oct 21, 2022	Yes	Mary Beth	Casey	23806 Samuel Adams Cir	Millsboro	DE	19966	68
Oct 21, 2022	Yes	Carol	Gardiner	23808 SAMUEL ADAMS CIR	Millsboro	DE	19966-8206	69
Oct 25, 2022	No	dianne	ambuehl	23812 samuel adams cr	millsboro	DE	19966	70
Oct 21, 2022	Yes	Arlene	Gordon	23814 Samuel Adams Cir	Millsboro	DE	19966	71
Oct 25, 2022	No	Burwell	Hutchinson	23818 Samuel Adams Circle	Millsboro	De	19966	72
Oct 21, 2022	Yes	Everett	Toomey	23820 Samuel Adams Circle	Millsboro	Delaware	19966	73
Oct 21, 2022	Yes	Linda	Russo	23830 Samuel Adams Circle	Millsboro	De	19966	76
Oct 26, 2022	Yes	Margaret	Rupp	23834 Samuel Adams Cir	Millsboro	DE	19966-8206	77
Oct 21, 2022	Yes	John	Engle	23838 Samuel Adams Circle	Millsboro	DE	19966	78
Oct 26, 2022	Yes	Bill	Schrammel	23813 Samuel Adams Circle	Millsboro	Delaware	19966	79
Oct 21, 2022	Yes	Sharon	Bezak	23817 Samuel Adams Circle	Millsboro	DE	19966	80
Oct 22, 2022	Yes	Bonnie	Murphy	23854 Samuel Adams Circle	Millboro	DE	19966	84
Oct 24, 2022	No	Robert	Bradley	23858 Samuel Adams Circle	Millsboro	Delaware	19966	85
Oct 22, 2022	Yes	Jack	Donovan	23868 Samuel Adams Circle	Millsboro	DE	19966	88
Oct 27, 2022	No	Judy	Wells	23876 Samuel Adams Circle	Millsboro	DE	19966	91
Oct 21, 2022	No	Lee	Leclair	23880 Samuel Adams Acircle	Millsboro	DE	19966	92
Oct 21, 2022	No	Lori	Calvo	23884 Samuel Adams Cir	Millsboro	DE	19966	93
Oct 21, 2022	Yes	Steve	Catramados	23883 Samuel Adams Cir	Millsboro	DE	19966	94
Oct 27, 2022	Yes	Jan	Novak	23881 Samuel Adams Circle	Millsboro	DE	19966	95
Oct 21, 2022	Yes	Peter	Zoll	23877 Samuel Adams Circle	Millsboro	Delaware	19966	96
Oct 21, 2022	Yes	Wendy	Cramer	23582 thomas paine Dr	Millsboro	Delaware	19966	97
Oct 21, 2022	Yes	Ellen	Todd	23592 Thomas Paine Drive	Millsboro	Delaware	19966-8222	99
Oct 22, 2022	Yes	Patricia	Cherego	23594 Thomas Paine Drive	Millsboro	DE	19966	100
Oct 21, 2022	Yes	Marsha	Stimola	23600 Thomas Paine Drive	Millsboro	DE	19966	102
Oct 25, 2022	No	Susan	Hart	23672 Samuel Adams Circle	Millsboro	DE	19966	107
Oct 27, 2022	Yes	Sharon	Campbell	23674 Samuel Adams Circle	Millsboro	DE	19966	108
Oct 21, 2022	No	Jeffrey	Brunermer	23676 Samuel Adams Cir	Millsboro	Delaware	19966	109
Oct 21, 2022	Yes	Jeff	LeVine	23680 Samuel Adams Cir	Millsboro	DE	19966	110
Oct 21, 2022	Yes	Richard	Baum	23682 Samuel Adams Cir	Millsboro	De	19966	111
Oct 25, 2022	Yes	Richard	Baum	23682 Samuel Adams Cir	Millsboro	DE	19966	111
Oct 21, 2022	Yes	Joseph	De Munno	23684 Samuel Adams Cir.	Millsboro	De.	19966	112
Oct 21, 2022	Yes	Peggy	Rands	23696 Samuel Adams Circle	Millsboro	DE	19966	114
Oct 21, 2022	Yes	James T	Smith Jr	23700 Samuel Adams circle	Millsboro	DE		115
Oct 21, 2022	No	Judith	DeSimone	23704 Samuel Adams Cir	Millsboro	DE	19966	117
Oct 21, 2022	No	Frank	DiTonno	23710 Samuel Adams Cir	Millsboro	De	19966	119
Oct 21, 2022	Yes	Maria	Ballas	23718 Samuel Adams Circle	Millsboro	DE	19966	121

Oct 21, 2022	No	Brenda	Cote	23720 Samuel Adams Circle	Millsboro	DE	19966	122
Oct 25, 2022	No	Cecelia	Miller	23724 Samuel Adams Circle	Millsboro	Delaware	19966	123
Oct 21, 2022	Yes	Nathan	Wise	23730 Samuel Adams Circle	Millsboro	DE	19966	125
Oct 25, 2022	No	Thomas	Barron	23734 Samuel Adams Cir	Millsboro	DE	19966	126
Oct 27, 2022	Yes	Ray	Roussin	23738 Samuel Adams Cir, Millsborc	Millsboro, DE	DE	19966	127
Oct 25, 2022	Yes	Donald	Baker	23740 Samuel Adams Circle	Millsboro	DE	19966	128
Oct 22, 2022	Yes	Raymond130	Feehery	29712 Franklin Roosevelt Lane	Millsboro	DE	19966	130
Oct 21, 2022	Yes	Sharon	Lampron	29716 Franklin Roosevelt Lane	Millsboro	De	19966	131
Oct 21, 2022	Yes	michael	pepper	29718 Franklin Roosevelt Lane	millsboro	de	19966	132
Oct 21, 2022	Yes	Jane	Thompson	29722 FRANKLIN ROOSEVELT LN	MILLSBORO	DE	19966-8236	134
Oct 22, 2022	Yes	Tom	Barnes	29719 Franklin Roosevelt lane	Millsboro	De	19966	138
Oct 21, 2022	No	Joe	Buffo	29715 ftanklin roosevelt lane	Millsboro	Del	19966	139
Oct 24, 2022	No	Richard	Westergaard	29713 Franklin Roosevelt Lane	Millsboro	Delaware	19966	140
Oct 25, 2022	No	Raymond	Ciupinski	23760 Samuel Adams Circle	Millsboro	de	19966	142
Oct 22, 2022	No	David & Conr	Simmers	23778 Samuel Adams Cir	Millsboro	DE	19966	144
Oct 21, 2022	No	Sharon	Chrobak	23784 Samuel Adams Circle	Millsboro	De	19966	146
Oct 21, 2022	No	Nancy	Jones	23788 Samuel Adams Circle	Millsboro	Delaware	19966	147
Oct 21, 2022	No	Phoebe H	Cottingham	23793 Samuel Adams Circle	Millsboro	DE	19966-8224	148
Oct 21, 2022	Yes	Martin	Bloom	23787 Samuel Adams Court	Millsboro	DE	19966	149
Oct 26, 2022	Yes	Franklin	Acra	23781 Samuel Adams Cir	Millsboro	Delaware	19966	150
Oct 22, 2022	No	Isabel	hostin	23775 Samuel Adams Circle	Millsboro	De	19966	152
Oct 21, 2022	No	Jennie	Oddy	23741 Samuel Adams Circle	Millsboro	DE	19966	154
Oct 27, 2022	No	Mary	Curran	23737 Samuel Adams Cir	Millsboro	DE	19966	155
Oct 25, 2022	Yes	Sandra	Fluck	23743 Samuel Adams Circle	Millsboro	DE	19966	156
Oct 24, 2022	No	Terry	Hardy	23729 Samuel Adams Circle	Millsboro	DE	19966	157
Oct 21, 2022	Yes	James	Mook	23727 Samuel Adams Circle	Millsboro	DE	19966	158
Oct 25, 2022	Yes	Anthony	Patrick	23723 SAMUEL ADAMS CIR	MILLSBORO	DE	19966	159
Oct 21, 2022	Yes	Bruce	Rohner	23713 Samuel Adams Circle	Millsboro	DE	19966	162
Oct 21, 2022	No	Elmer	Boulden	29660 Franklin Roosevelt Ln.	Millsboro	Del.	19960	166
Oct 21, 2022	Yes	Delores	Brown	29659 Franklin Roosevelt Lane	Millsboro	DE	19966	167
Oct 27, 2022	No	Nikki	Zangwill	29)38 Oliver Wolcott Drive	Millsboro	DE	19966	168
Oct 25, 2022	Yes	Jackie	Gunn	29742 OLIVER WOLCOTT DR	MILLSBORO	Delaware	19966-8237	169
Oct 22, 2022	Yes	Marilyn	Miller	29746 Oliver Wolcott Dr.	Millsboro	DE	19966	170
Oct 21, 2022	Yes	Ann	Mellinger	29669 Franklin Roosevelt Lane	Millsboro	DE	19966	171
Oct 21, 2022	Yes	Valerie	Wood	29661 Franklin Roosevelt Lane	Millsboro	DE	19966	172
Oct 21, 2022	No	Les	Sherwood	29662 Franklin Roosevelt Ln	Millsboro	DE	19966-8235	173
Oct 21, 2022	Yes	Jeffrey	May	29668 Franklin Roosevelt Ln	Millsboro	DE	19966	174
Oct 22, 2022	Yes	Carole	Goulding	29670 Franklin Roosevelt Lane	Millsboro	Delaware	19966	175
Oct 25, 2022	Yes	Arlene	Lowe	29674 Franklin Roosevelt Lane	Millsboro	Delaware	19966	176
Oct 23, 2022	Yes	Patricia	Simne	29676 Franklin Roosevelt	Millsboro	DE	19966	177
Oct 25, 2022	Yes	Ronald	Harrison	29680 Franklin Roosevelt Lane Apt,	Millsboro	DE	19966-_____	178
Oct 22, 2022	Yes	Cathy	Michalowski	29684 Franklin Roosevelt Ln	Millsboro	de		179

Oct 27, 2022	Yes	cathleen	michalowski	29684 Franklin Roosevelt Ln					179
Oct 28, 2022	Yes	Galen	Knode	29688 FRANKLIN	Millsboro	Delaware	19966		180
Oct 27, 2022	No	Eric	Land	29694 Franklin Roosevelt Ln	Millsboro	DE	19966		182
Oct 21, 2022	Yes	Peter	Viviani	29691 Franklin Roosevelt Lane	Millsboro	DE	19966		184
Oct 21, 2022	Yes	Linda	Towner	29687 Franklin Roosevelt Ln	Millsboro	DE	19966		185
Oct 22, 2022	Yes	John	Hough	29683 Franklin Roosevelt Lane	Millsboro	DE	19966		186
Oct 25, 2022	Yes	James	Clark	29677 Franklin Roosevelt Lane	Millsboro	DE	19966		188
Oct 21, 2022	Yes	Paul	Garwood	29673 Franklin Roosevelt Ln	Millsboro	DE	19966		189
Oct 21, 2022	Yes	Robert	Weaver	29750 Oliver Wolcott Drive	MILLSBORO	DE	19966		191
Oct 24, 2022	Yes	Adrienne	Weible	29752 Oliver Wolcott Drive	Millsboro	De	19966		192
Oct 21, 2022	Yes	Jane	Clark	29758 Oliver Wolcott Drive	Millsboro	DE	19966		194
Oct 27, 2022	No	Richard	Gates	29761 Oliver Wolcott Drive	Millsboro	DE	19966		197
Oct 22, 2022	Yes	Donald	Whiting	29759 Oliver Wolcott Dr.	Millsboro	DE	19966		198
Oct 26, 2022	Yes	DeeDee	Hoover	23605 Thomas Paine Drive	Millsboro	Delaware	19966		201
Oct 25, 2022	Yes	Robert	Helland	23601 Thomas Paine Drive	MILLSBORO	DE	19966		203
Oct 27, 2022	Yes	Anne	Belickis	23589 THOMAS PAINE DR, MILLSBORO	MILLSBORO	DE	19966		206
Oct 27, 2022	Yes	Edward	Roche	23583 Thomas Paine Dr	Millsboro	DE	19966		207
Oct 27, 2022	Yes	LINDA	D'ALOISIO	23859 Samuel Adams Cir	Millsboro	DE	19966		209
Oct 23, 2022	No	Evelyn	Quinn	23855 SamuelAdams	Millsboro	De	19966		210
Oct 22, 2022	Yes	Ray	Barbuto	23853 Samuel Adams Circle	Millsboro	DE	19966		211
Oct 25, 2022	Yes	Donna	Dolce	23851 Samuel Adams	Millsboro	DE	19966		212
Oct 21, 2022	Yes	Michael	Kufs	23847 Samuel Adams Circle	Millsboro	DE	19966		213
Oct 21, 2022	Yes	William	Griffith	23845 Samuel Adams Circle	Millsboro	Delaware	19966		214
Oct 23, 2022	No	Ivar	Nelson	23835 Samuel Adams Cir	Millsboro	Delaware	19966		217
Oct 22, 2022	Yes	Robert	Biggs	23833 Sam Adams Circle	Millsboro	DE	19966		218
Oct 21, 2022	No	Gordon	Hutchinson	23829 Samuel Adams Circle	Millsboro	De	19966		219
Oct 22, 2022	No	Joseph	Stanzione	23825 SAMUEL ADAMS CIR	MILLSBORO	DE	19966		220
Oct 23, 2022	Yes	Muchele	STANZIONE	23825 Samuel Adams Circle	Millsboro	DE	19966		220
Oct 21, 2022	Yes	Kathryn	Donis	23821 Samuel Adams Cir	Millsboro	DE	19966		221
Oct 21, 2022	Yes	David	Flagg	29438 Andrew Jackson Dr	Millsboro	DE	19966		225
Oct 21, 2022	Yes	Bill	Edwards	29440 Andrew Jackson Dr	Millsboro	De	19966		226
Oct 21, 2022	No	Dawn	Armentrout	29446 Andrew Jackson Drive	Millsboro	DE	19966		228
Oct 21, 2022	No	Charles	Hinsch	29510 Patrick Henry cir	Millsboro	Del	19966		229
Oct 25, 2022	Yes	Diane	Donnelly	23592	Millsboro				230
Oct 22, 2022	Yes	Patricia	Plutt	23594 Francis Marion Ct	Millsboro	DE	19966		231
Oct 21, 2022	No	Susan	Farinacci	23595 Francis Marion Court	Millsboro	Delaware	19966		233
Oct 27, 2022	No	Beth	Leblanc	23593 Francis Marion Ct	Millsboro	De	19966		234
Oct 21, 2022	Yes	Stan	Karp	29458 Andrew Jackson Dr	Millsboro	DE	19966		236
Oct 21, 2022	No	S	Brookes	29460 Andrew Jackson Dr	Millsboro	DE	19966		237
Oct 21, 2022	Yes	Raymond	Cardillo	29468 Andrew Jackson Drive	Millsboro	DE	19966		239
Oct 25, 2022	Yes	Pat	Cardillo	29468 Andrew Jackson Dr	Millsboro	De	19966		239
Oct 22, 2022	Yes	Donald	Porada	29476 Andrew Jackson Drive	Millsboro	DE	19966		241

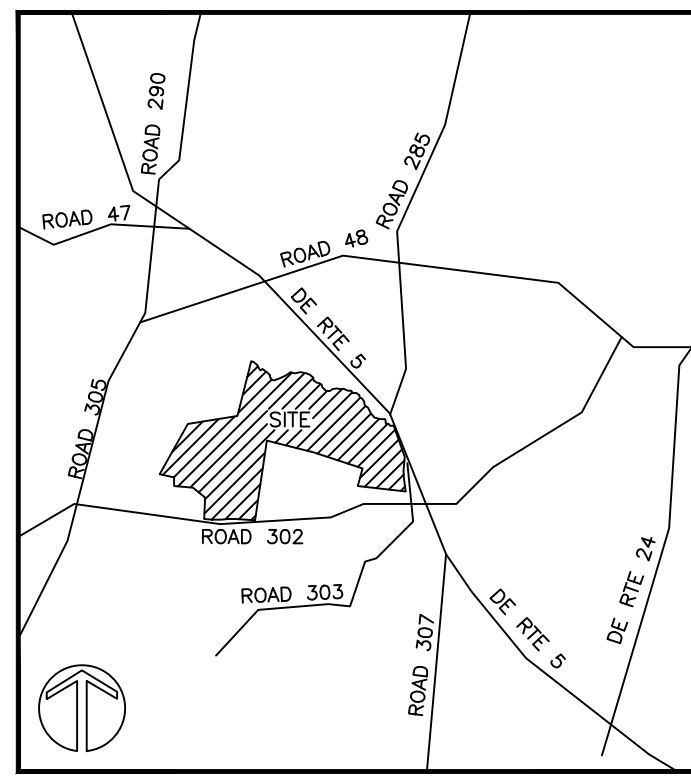
Oct 27, 2022	Yes	Joseph	Day	29486 Andrew Jackson Drive	Millsboro	DE	19966	243
Oct 21, 2022	Yes	Daniel	McCarthy	29490 Andrew Jackson Dr.	Millsboro	DE	19966	244
Oct 25, 2022	Yes	Lucinda	Summers	29492 Andrew Jackson Drive	Millsboro	DE	19966	245
Oct 21, 2022	Yes	David	Gigantelli	29496 Andrew Jackson	Millsboro	DE	19966	246
Oct 21, 2022	Yes	Billy	McGloin	29576 Patrick Henry Circle	Millsboro	DE	19966	250
Oct 21, 2022	Yes	Elizabeth	Carman	29580 Patrick Henry Circle	Millsboro	DE	19966	251
Oct 25, 2022	Yes	Mitchell	Kraft	29582 Patrick Henry circle	Millsboro	DE	19966	252
Oct 27, 2022	Yes	Susan	Schaffer	29586 Patrick Henry Circle	Millsboro	DE	19966	253
Oct 25, 2022	Yes	Randy	McKeehen	29600 Patrick Henry Circle	Millsboro	DE	19966	257
Oct 22, 2022	Yes	Barbara	Levine	29606 Patrick Henry Circle	Millsboro	Delaware	19966	260
Oct 21, 2022	Yes	Lisa	Herrick	29610 Patrick Henry Circle	Millsboro	DE	19966	261
Oct 25, 2022	Yes	Alison	Ullrich	29614 Patrick Henry Circle	Millsboro	DE	19966	262
Oct 25, 2022	Yes	Barbara	Shorter	29616 Patrick Henry Circle	Millsboro	DE	19966	263
Oct 25, 2022	Yes	susan	savard	29620 patrick henry circle	millsboro	delaware	19966	264
Oct 21, 2022	Yes	Betsy	Schmickley	29622 Patrick Henry Circle	Millsboro	DE	19966	265
Oct 21, 2022	Yes	Christopher	Galeone	29175 Abigail Adams Dr	Millsboro	Delaware	19966	266
Oct 21, 2022	Yes	Claudia	Creenan	29173 Abigail Adams Dr	Millsboro	DE	19966	267
Oct 22, 2022	Yes	Gary	Nesbitt	29169 Abigail Adams Dr.	Millsboro	DE	19966	268
Oct 21, 2022	Yes	Richard	Muti	29167 Abigail Adams Dr	Millsboro	Delaware	19966	269
Oct 22, 2022	No	RON	KMET	29163 ABIGAIL ADAMS	MILLSBORO	DE	19966	270
Oct 25, 2022	Yes	Myron	Radio	29159 Abigail Adams Drive	Millsboro	DE	19966	271
Oct 22, 2022	Yes	Harvey	Johnson	29157 Abigail Adams Drive	Millsboro	DE	19966	272
Oct 27, 2022	Yes	Michael	Wolk	29153 Abigail Adams Drive	Millsboro	DE	19966	273
Oct 24, 2022	No	Rob	Hawthorne	29151 Abigail Adams DR	Millsboro	DE	19966	274
Oct 23, 2022	Yes	Agnes	Adamczyk	29141 Abigail Adams Dr	Millsboro	DE	19966	275
Oct 23, 2022	Yes	Jay	Efird	29131 Abigail Adams dr	MILLSBORO	Delaware	19966	278
Oct 22, 2022	Yes	Karen & Roge	Efird	29131 Abigail Adams Drive	Millsboro	DE	19966	278
Oct 22, 2022	Yes	Bonnie	Korn	29125 Abigail Adams Dr	Millsboro	Del	19966	280
Oct 21, 2022	Yes	Lauren	Farrell	29121 Abigail Adams Drive	Millsboro	Delaware	19966	281
Oct 27, 2022	No	Michelle	Norelli	29122 Abigal Adams Dr	Millsboro	DE	19966	283
Oct 25, 2022	Yes	William	Hart	29493 Andrew Jackson Drive	Millsboro	DE	19966	283
Oct 22, 2022	Yes	Susan	U	29126 Abigail Adams Dr.	Millsboro	Delaware	19966	284
Oct 25, 2022	Yes	Judith	Bardy	29140 Abigail Adams Dr	Millsboro	DE	19966	288
Oct 21, 2022	Yes	Rita	Rose	29146 Abigail Adams Drive	Millsboro	DE	19966	289
Oct 21, 2022	Yes	Cathy	Farinelli Ocdis	29156 Abigail Adams Drive	Millsboro	DE	19966	291
Oct 21, 2022	Yes	George	McDonald	29160 Abigail Adams Drive	Millsboro	Delaware	19966	292
Oct 25, 2022	Yes	Florence	Gange	29162 Abigail Adams Dr	Millsboro	De	19966	293
Oct 23, 2022	No	Ron	Manning	29166 Abigail Adams Drive	Millsboro	Delaware	19966	294
Oct 21, 2022	No	Cynthia	Pagnotta	29174 Abigail Adams Drive	Millsboro	DE	19966	295
Oct 22, 2022	Yes	Barbara	Conly	29638 Patrick Henry Cir	Millsboro	DE	19966	297
Oct 21, 2022	Yes	Ed	Madenford	29640 Patrick Henry Circle	Millsboro	DE	19966	298
Oct 21, 2022	Yes	Joseph	Clarke	29648 Patrick Henry Circle	Millsboro	DE	19966	300

Oct 21, 2022	Yes	Carl	Cherney	29654 Patrick Henry Circle	Millsboro	DE	19966	302
Oct 23, 2022	Yes	Leslie	De Lello	29674 Patrick Henry Circle	Millsboro	DE	19966	304
Oct 21, 2022	Yes	Sebastian	Vinci	29670 Patrick Henry Circle	MILLSBORO	DE	19966	305
Oct 22, 2022	Yes	Karen	Taylor	29674 Patrick Henry Circle	Millsboro	DE	19966	306
Oct 22, 2022	Yes	Mark & Karei	Parrish	29678 Patrick Henry Circle	Millsboro	DE	19966	307
Oct 21, 2022	Yes	Bill & Pat	Simcox	29680 Patrick Henry Circle	Millsboro	DE	19966	308
Oct 21, 2022	Yes	WILLIAM	Thompson	29692 Patrick Henry Circle	Millsboro	DE	19966	311
Oct 28, 2022	Yes	Joan	Joyce	29696 Patrick Henry Circle	Millsboro	DE	19966	312
Oct 25, 2022	Yes	Renee	Novak	29698 Patrick Henry Circle	MILLSBORO	DE	19966	313
Oct 24, 2022	Yes	John	Swidrak	29492 Patrick Henry Cir	Millsboro	DE	19966	314
Oct 25, 2022	Yes	Kenneth	Summers	29496 Patrick Henry Circle	Millsboro	DE	19966	315
Oct 21, 2022	Yes	Carlos	Ferreiro	29498 Patrick Henry Cir	Millsboro	DE	19966	316
Oct 27, 2022	No	Richard	Craig	29500 Patrick Henry Cir	Millsboro	DE	19966	317
Oct 25, 2022	Yes	Debra	Kassenoff	29504 Patrick Henry Circle	MILLSBORO	DE	19966	318
Oct 21, 2022	Yes	Patricia A	Nucatola	29506 Patrick Henry Circle	Millsboro	DE	19966	319
Oct 21, 2022	No	Diane	Raffoni	29514 Patrick Henry Circle	Millsboro	Delaware	19966	322
Oct 25, 2022	Yes	Janet	Denson	29518 Patrick Henry Cir	Millsboro	DE	19966	323
Oct 21, 2022	Yes	Marlene	Cirone	29645 Martin Van Buren Drive	Millsboro	DE	19966	325
Oct 27, 2022	Yes	Richard	Bellerose	29641 Martin Van Buren Dr	Millsboro	DE	19966	326
Oct 21, 2022	No	Barbara	Kaplan	29635 Martin Van Buren Drive	Millsboro	DE	19966	327
Oct 21, 2022	No	Eileen	Coghlan	29629 Martin Van Buren Drive	Millsboro	De	19966	328
Oct 25, 2022	Yes	Neal	Meyerson	29625 Martin Van Buren Drive	Millsboro	DE	19966	329
Oct 21, 2022	Yes	Anita	Volpe	29617 Martin van Buren Drive	Millsboro	De	19966	331
Oct 22, 2022	Yes	Gary	Frenson	29615 Martin Van Buren Drive	Millsboro	De	19966	332
Oct 25, 2022	Yes	Molly	Werner	29609 Martin Van Buren Drive	Millsboro	Delaware	19966	334
Oct 21, 2022	Yes	Ellie	Rudolfi	29584 Martin Van Buren Dr	millsboro			338
Oct 21, 2022	No	Edward	Kreyling	29594 Martin Van Buren Drive			Millsboro	341
Oct 23, 2022	No	Chuck	Beckner	29596 Martin Van Buren Dr	Millsboro	DE	19966	342
Oct 22, 2022	Yes	John	Bolster	29600 Martin Van Buren Dr	Millsboro	DE	19966	343
Oct 21, 2022	Yes	Regina	McShane	29604 Martin Van Buren Drive	Millsboro	DE	19966	344
Oct 22, 2022	Yes	Nancy	Ptaszynski	29612 Martin Van Buren Drive	Millsboro	DE	19966	347
Oct 21, 2022	Yes	Gloria	Macin	29616 MARTIN VAN BUREN DR	MILLSBORO	DE	19966-8301	348
Oct 23, 2022	No	Jeff	Johnson	29618 Martin Van Buren Dr	Millsboro	DE	19966-8301	349
Oct 21, 2022	Yes	Cecilia	Jansohn	29620 Martin Van Buren Drive	Millsboro	DE	19966	350
Oct 26, 2022	No	Maria	Sonntag	29638	Millsboro	DE	19966	351
Oct 21, 2022	Yes	Carol	Petersen	29642 Martin Van Buren Drive	Millsboro	DE	19966	352
Oct 21, 2022	Yes	Susan	Petersen	29644 Martin Van Buren Drive	Millsboro	DE	19966	353
Oct 22, 2022	Yes	Walter	Shilowich	29646 Martin van Buren Dr	Millsboro	Delaware	19966	354
Oct 22, 2022	Yes	Raymond	Asaph	29528 Patrick Henry Circle	Millsboro	DE	19966	356
Oct 21, 2022	Yes	Ronald	Schaeffer	29378 Andrew Jackson Dr.	Millsboro	DE	19966	358
Oct 21, 2022	Yes	Susan	Boyajian	29382 Andre Jackson Drive	Millsboro	DE	19966	359
Oct 21, 2022	Yes	Christine	Lauer	29386 Andrew Jackson Dr	Millsboro	DE	19966	360

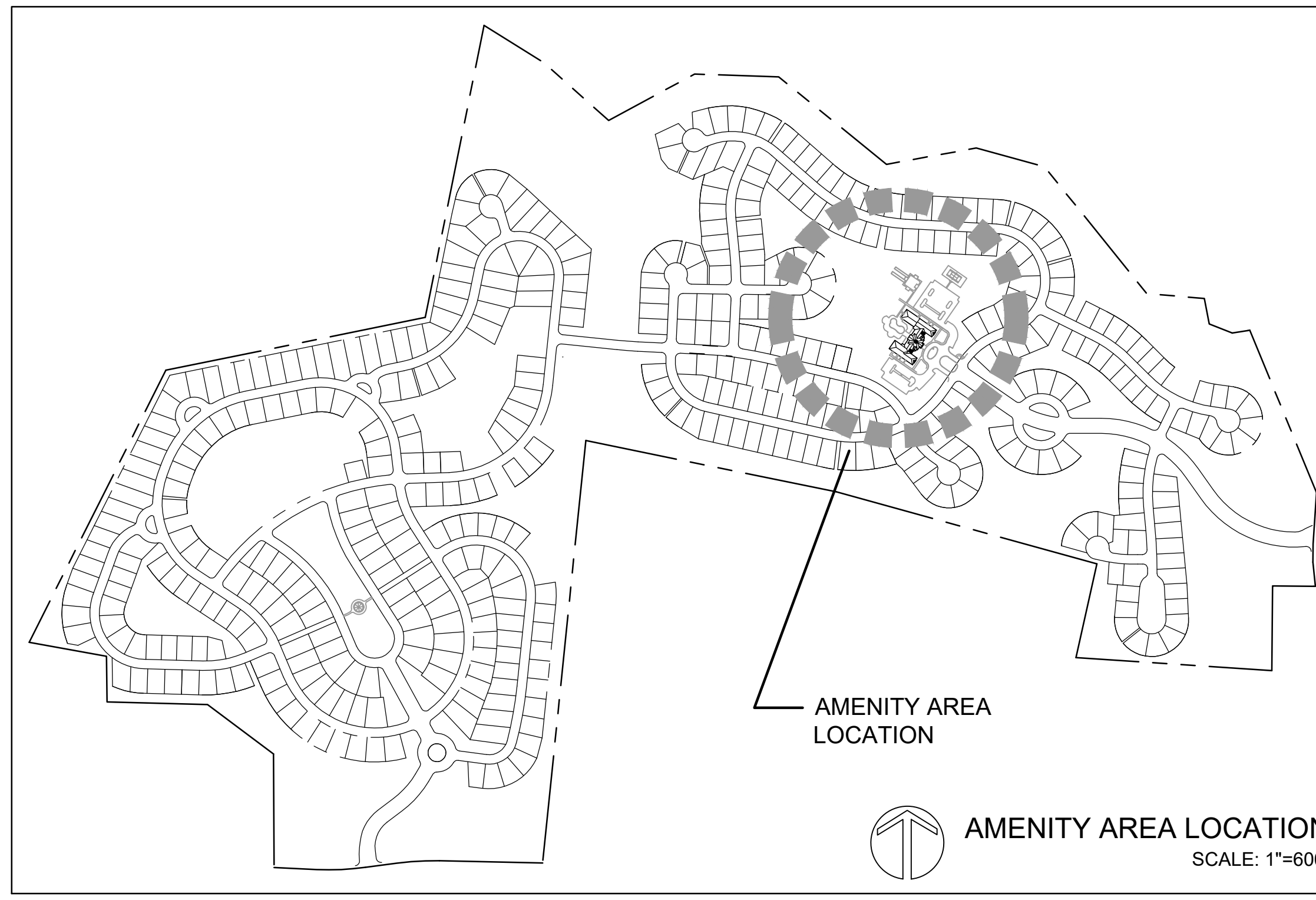
Oct 21, 2022	Yes	Richard	Plambeck	29388 Andrew Jackson Drive	Millsboro	DE	19966	361
Oct 21, 2022	No	Art	Payne	29396 Andrew Jackson Dr	Millsboro	DE	19966	362
Oct 28, 2022	No	Don	Anderson	29400	Millsboro	DE	19966	364
Oct 25, 2022	Yes	Robert	Jenquine	29401 Andrew Jackson Dr			19966	366
Oct 27, 2022	Yes	Suzanne	Sigona	29409 Andrew Jackson Dr	Millsboro	DE	19966	368
Oct 21, 2022	Yes	Bill	Hammonds	29413 Andrew Jackson Drive	Millsboro	De	19966	369
Oct 21, 2022	Yes	Tim	Tomalin	29417 Andrew Jackson Dr	Millsboro	Delaware	19966	370
Oct 21, 2022	Yes	Joseph	Haynos	29449 Andrew Jackson Drive	Millsboro	Delaware	19966	374
Oct 25, 2022	Yes	Cheryl	Perry	29457 Andrew Jackson Drive	Millsboro	DE	19966	375
Oct 24, 2022	Yes	Linda	Antisavage	29463 Andrew Jackson Dr	Millsboro	DE	19966	376
Oct 27, 2022	Yes	Maryann	Riordan	29467 Andrew Jackson Drive	Millsboro	DE	19966	377
Oct 25, 2022	Yes	Roger	McAlevy	29487 Andrew Jackson Dr	Millsboro	DE	19966	381
Oct 21, 2022	Yes	Karen	Palermo	29491 Andrew Jackson Drive	Millsboro	DE	19966	382
Oct 21, 2022	Yes	William	Hart	29493 Andrew Jackson Drive	Millsboro	DE	19966	383
Oct 21, 2022	Yes	Gerald	Holtz	29554 Patrick Henry Circle	Millsboro	DE	19966	384
Oct 22, 2022	Yes	Bill	Sereduck	29552 Patrick Henry Cir	Millsboro	De	19966	385
Oct 22, 2022	Yes	Debra	Blatt	29375 Andrew Jackson Drive	Millsboro	DE	19966	386
Oct 25, 2022	Yes	Jean	Price	29383 Andrew Jackson Drive	Millsboro	DE	19966	388
Oct 26, 2022	Yes	James	Dunn	29551 Patrick Henry Circle	Millsboro	DE	19966	390
Oct 22, 2022	Yes	Dottie	Gepert	29555 Patrick Henry Circle lot 391				391
Oct 25, 2022	Yes	Frederick	Johnson	29568 Patrick Henry Cir	Millsboro	DE	19966	392
Oct 21, 2022	Yes	T	Tootchen	29577 Patrick Henry Circle	Millsboro	DE	19966	394
Oct 21, 2022	Yes	Thomas M	Gealey	29581 Patrick Henry Circle	Millsboro	DE	19966	395
Oct 25, 2022	Yes	Barbara	Capuano	29597 Patrick Henry Cir	Millsboro	De	29966	399
Oct 22, 2022	No	Martha	Bonti	29601 Patrick Henry Circle	Millsboro	DE	19966	400
Oct 21, 2022	Yes	John	Miklavcic	29607 Patrick Henry Cir	Millsboro	DE	19966	401
Oct 25, 2022	Yes	Art and Lynn	Goodman	29615 Patrick Henry Cir.	Millsboro	DE	19966	403
Oct 28, 2022	Yes	John M	Gulick	29619 Patrick Henry Circle	Millsboro	DE	19966	404
Oct 21, 2022	Yes	Raymond	Lackey	29631 Patrick Henry Cir	Millsboro	DE	19966	406
Oct 28, 2022	Yes	John	Schreiner	29637 Patrick Henry Circle	Millsboro	De	19966	407
Oct 25, 2022	No	KERRY	MCGRATH	29651 Patrick Henry Circle	Millsboro	DE	19966	410
Oct 21, 2022	Yes	John	Mosley	29655 Patrick Henry Cir	Millsboro	Delaware	19966	411
Oct 25, 2022	Yes	Sue	Landgraf	29659 Patrick Henry Circle	Millsboro	DE	19966	412
Oct 21, 2022	Yes	Cindy	Seigafuse	29661 Patrick Henry Circle	Millsboro	DE	19966	413
Oct 21, 2022	Yes	Daniel	Potts	29665 Patrick henry Cir	Millsboro	De	19966	414
Oct 28, 2022	No	arthur	petty	29673 patrick henry circle	millsboro	delaware	19966	416
Oct 25, 2022	Yes	NEAL	DEMBO	29685 Patrick Henry Circle	MILLSBORO	DELAWARE	19966	419
Oct 22, 2022	No	Theresa	Stefanini	29695 Patrick Henry Circle	Millsboro	DE	19966	421
Oct 22, 2022	Yes	Linda	DeGuglielms	29501 Patrick Henry Circle	Millsboro	DE	19966	423
Oct 21, 2022	Yes	Carolyn	Erb	29505 Patrick Henry Cir	Millsboro	DE	19966	424
Oct 21, 2022	Yes	Emily	Beerbower	29511 PATRICK HENRY CIR	MILLSBORO	DE	19966-8214	425
Oct 21, 2022	Yes	Shelley	Garfield	29519 Patrick Henry Cir	Millsboro	DE	19966	427

Oct 26, 2022	Yes	Fred	Bush	29523 Patrick Henry Circle	Millsboro	DE	19966	428
Oct 22, 2022	Yes	Dominick	Pellegrino	29527 Patrick Henry Circle	Millsboro	DE	19966	429
Oct 25, 2022	No	Marcy	T	29537	Millsboro	DE	19966	432
Oct 21, 2022	Yes	Sherri	Gadbois	24026 Benjamin Harrison Cir	Millsboro	DE	19966	437
Oct 25, 2022	No	Irene	Ostapow	24014 Benjamin Harrison Circle	Millsboro	DE	19966	440
Oct 21, 2022	Yes	Jim	leppariello	24010 BENJAMIN HARRISON CIR	MILLSBORO	DE	19966	441
Oct 25, 2022	Yes	Linda	Lewis	24004 BENJAMIN HARRISON CIR	MILLSBORO	DE	19966	444
Oct 22, 2022	Yes	Robert P	Jones	23992 Benjamin Harrison Circle	Millsboro	DE	19966	447
Oct 25, 2022	Yes	Sheri	McAlevey	23990 Benjamin Harrison Circle	Millsboro	De	19966	448
Oct 23, 2022	No	Margaret	Jaffe	23982 Benjamin Harrison Circle	Millsboro	DE	19966	450
Oct 27, 2022	No	Joe	Reres	23974 Benjamin Harrison Circle	Millsboro	DE	19966-8217	452
Oct 21, 2022	Yes	Robert	Wiedenmann	23970 Benjamin Harrison circle	Millsboro	De	19966	453
Oct 22, 2022	Yes	Judith	Spencer	23968 Benjamin Harrison Circle	Millsboro	DE	19966	454

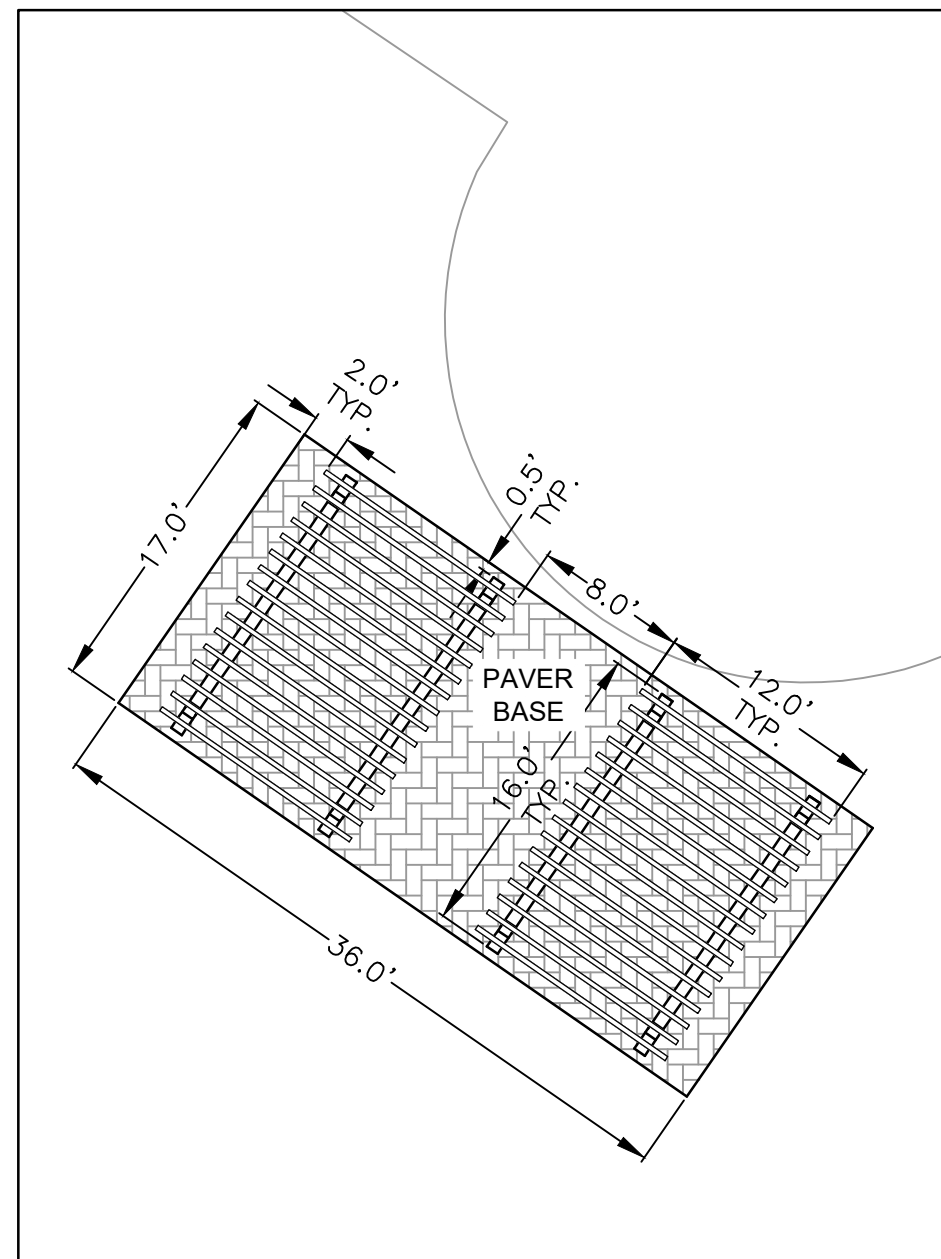
Vote No	67	% Yes	52%
Vote Yes	236	% No	15%
Total Voted	303	% Did Not Vote	33%
Total Lots	455		



VICINITY MAP
NOT TO SCALE



AMENITY AREA LOCATION
SCALE: 1"=600'



PERGOLA STRUCTURES
SCALE: 1"=10'

NOTES:
1. TWO PERGOLA SHADE STRUCTURES, EACH 12' X 16', TO BE CONSTRUCTED ADJACENT TO POOL AREA. PATIO BASE BENEATH THE PERGOLAS TO BE CONCRETE PAVERS, 17' X 38' AREA.
2. CONTRACTOR TO ESTABLISH GRADES ON SITE FOR PAVEMENT AND CONSTRUCTION TO PROVIDE ADEQUATE DRAINAGE FOR PAVED AREA.

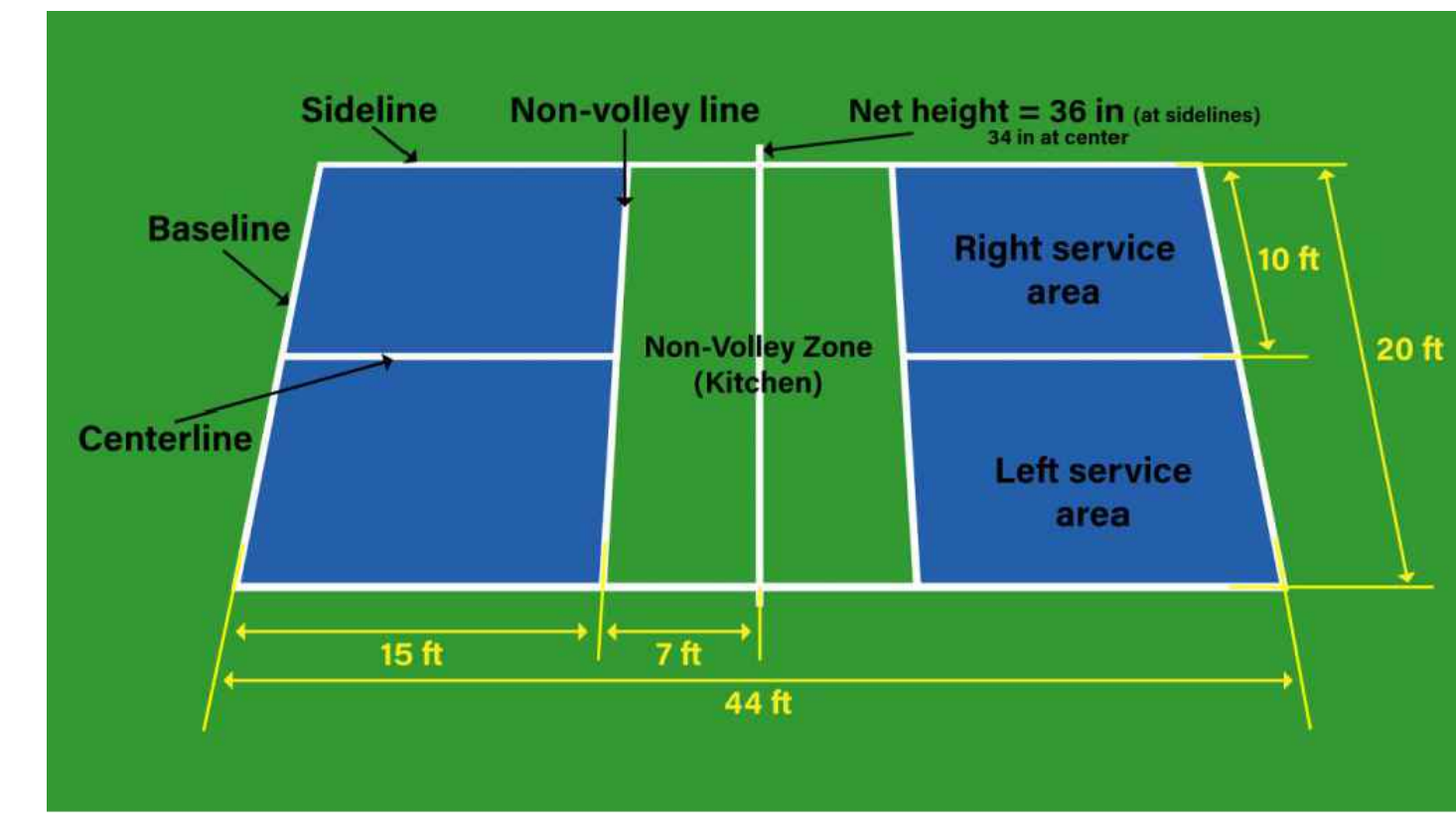
Line #	Length	Direction
AL1	25.48	N24° 32' 10.90"E
AL2	51.57	N67° 27' 31.85"E
AL3	182.08	N34° 41' 47.33"E
AL4	52.87	S76° 43' 37.08"E
AL5	25.23	S02° 43' 05.03"W
AL6	32.88	S00° 48' 48.47"W
AL7	20.00	S05° 44' 33.70"E

Curve #	Length	Radius	Delta
AC1	37.74	810.00	2°40'10"
AC2	8.80	130.00	3°52'49"
AC3	41.32	25.00	94°41'25"

I. SITE DATA:

1. ORIGINAL TAX PARCEL: 234-16.00-8.00
AMENITY AREA SHOWN: ±16.72 AC.
AMENITY BUILDING AREA SHOWN: ±26,778 SQ.FT.
POOL AREA SHOWN: ±3100 SQ.FT.
2. OWNER: INDEPENDENCE HALL LLC
55 CASCADE LANE, SUITE A
REHOBOTH BEACH, DE 19971
3. PRESENT ZONING: AR-1
4. SITE AREA: ±10.21 AC. (AMENITY AREA ONLY)
5. SETBACKS & BULK AREA CRITERIA:
FRONT: 25' LOT WIDTH: 60' MIN.
SIDE: 10' LOT DEPTH: 100' MIN.
REAR: 10' LOT AREA: 7,500 S.F. MIN.
MAX. BLDG. HEIGHT: 42'
6. PARKING SHOWN: 124 SPACES

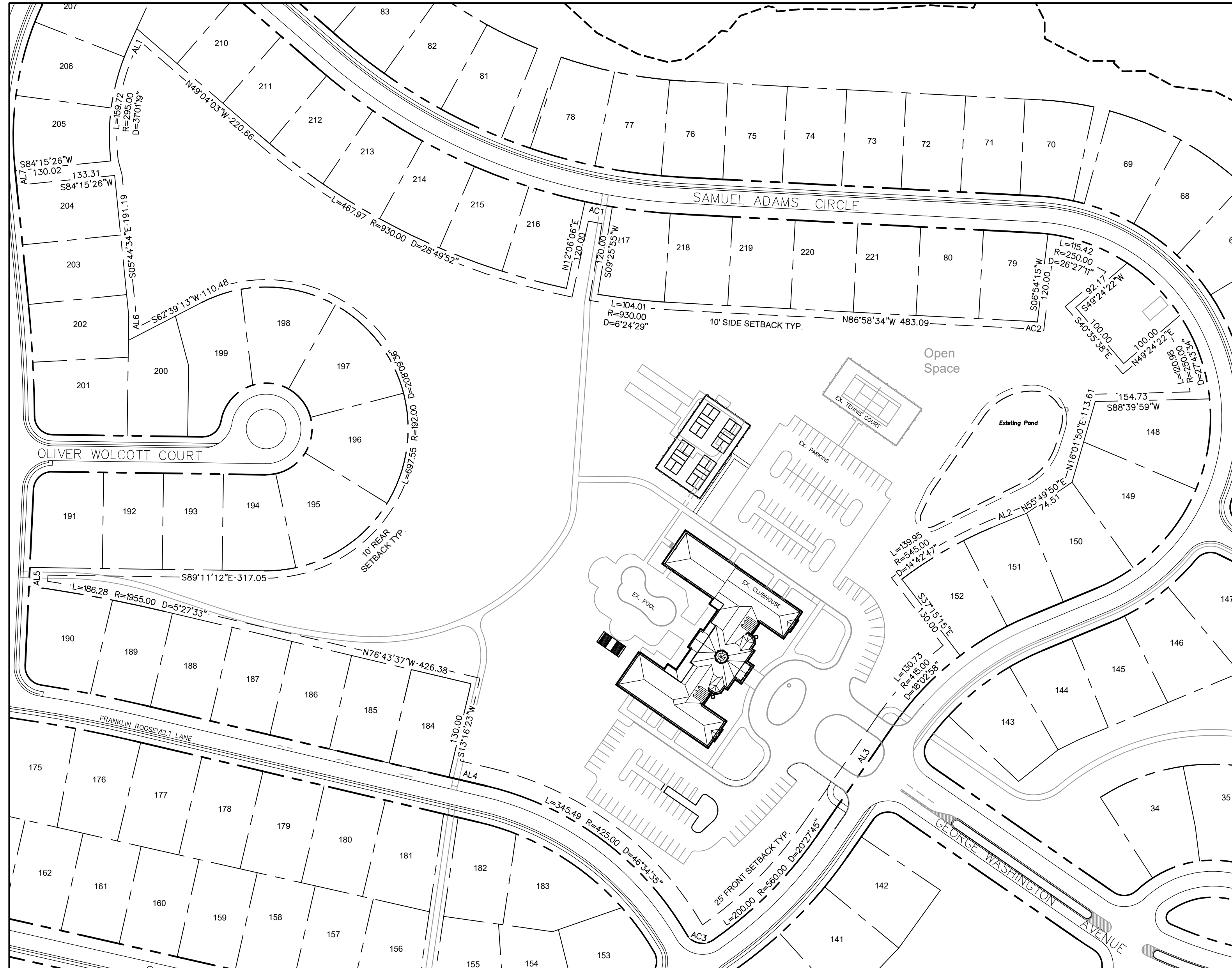
NOTES:
1. SITE PLAN SHOWN IS A REVISION OF THE AMENITY AREA FOR THE APPROVED INDEPENDENCE SUBDIVISION (SUBDIVISION 2004-43, FORMERLY KNOWN AS INDIGO RUN), RECORDED 10/10/06 IN PLOT BOOK 108, PAGE 170, UPDATED 12/15/15 IN PLOT BOOK 223, PAGE 30.
2. ALL INTERIOR LOT LINES (COMMON LINES BETWEEN LOTS) ARE THE CENTER OF A 10' WIDE UTILITY/DRAINAGE EASEMENT. ALL PERIMETER PROPERTY LINES, INCLUDING LOT LINES ALONG RIGHT-OF-WAY AND OPEN SPACE, HAVE A 10' WIDE DRAINAGE/UTILITY EASEMENT ALONG THE INTERIOR.
3. THE SITE IS IN FLOOD ZONE AE AND ZONE X PER FIRM MAP 10005C0340K DATED MARCH 16, 2015.
4. THERE ARE NO FEDERALLY REGULATED OR STATE TIDAL WETLANDS WITHIN THE AMENITY PARCEL SHOWN.
5. PROPOSED PLAN MODIFICATION IS TO ADD PICKLEBALL COURTS TO EXISTING AMENITY AREA AS SHOWN. PICKLEBALL COURTS WILL NOT HAVE LIGHTING FOR NIGHT PLAY.
6. SITE GRADES TO BE VERIFIED PRIOR TO CONSTRUCTION AND ENGINEER NOTIFIED OF ANY MAJOR DISCREPANCY.
7. PROPOSED SIDEWALK TO BE FIELD SITED TO MINIMIZE DISTURBANCE TO EXISTING TREES. PROPOSED SIDEWALK TO HAVE A CROSS SLOPE OF 1.5% AND MEET ALL ADA GUIDELINES.
8. MAINTENANCE OF THE AMENITY AREA WILL BE THE RESPONSIBILITY OF THE OWNER/ DEVELOPER UNTIL SUCH TIME THAT THE AMENITY, AND ITS MAINTENANCE RESPONSIBILITY, IS TURNED OVER TO THE HOMEOWNER'S ASSOCIATION.



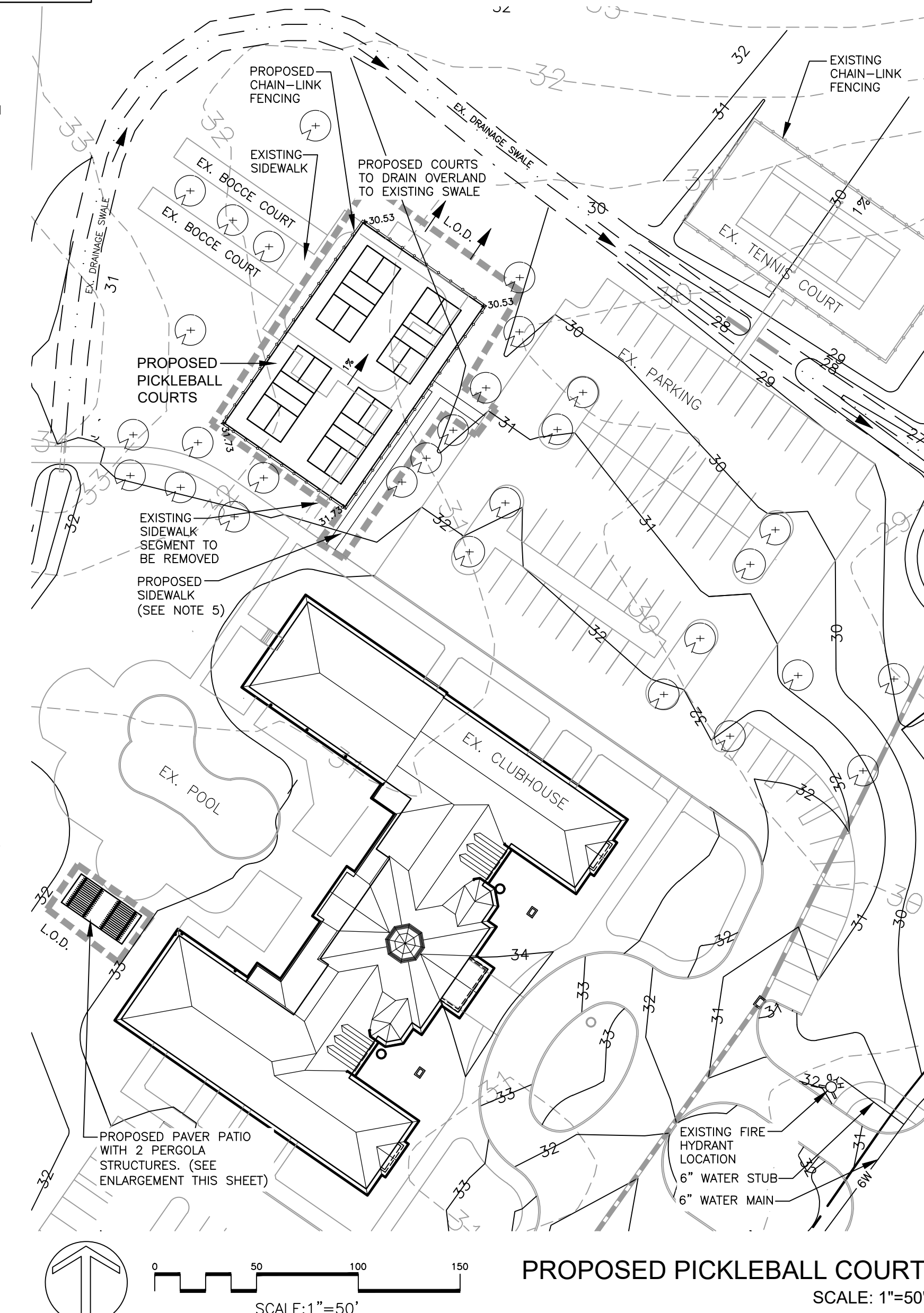
PICKLEBALL COURT DIMENSIONS
NOT TO SCALE

PICKLEBALL COURT NOTES:

1. PICKLEBALL SURFACE TO BE 2" MINIMUM HOT-MIX ASPHALT OVER 8" MINIMUM AGGREGATE BASE. PLAYING COURT COLORS AND STRIPING TO BE APPLIED SURFACE TREATMENT.
2. PICKLEBALL COURTS TO BE SURROUNDED BY 42" HEIGHT BLACK VINYL-CLAD CHAIN LINK FENCING TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.



EXISTING AMENITY AREA
SCALE: 1"=100'



PROPOSED PICKLEBALL COURT
SCALE: 1"=50'

LEGEND:

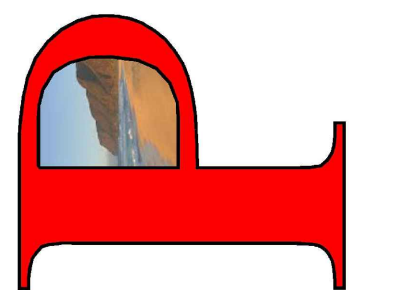
	EXISTING CONTOURS
	EXISTING GRADING
	EXISTING TREES
	PROPOSED SPOT ELEVATION
	PROPOSED LIMITS OF DISTURBANCE
	AMENITY SETBACKS

REVISED
AMENITY PLAN

REVISIONS
8/15/22-P&Z Comments
9/12/22-Pergolas added
10/13/22-P&Z Comments

LAND DESIGN
Surveying / Landscape Architecture
PLANNING AND DEVELOPMENT CONSULTANTS
1001 S. ATLANTIC AVE., SUITE 303
REHOBOTH BEACH, DE 19970
PHONE: (302) 537-1919
WWW.LANDDESIGNINC.COM

PLITKO, LLC

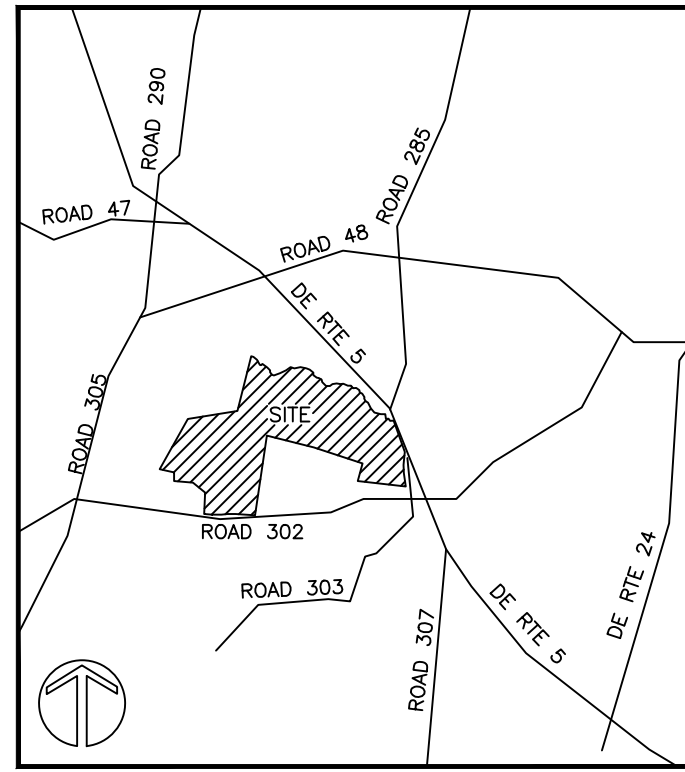


53 ATLANTIC AVE., STE 3
OCEAN VIEW, DE 19970
Phone (302)-537-1919

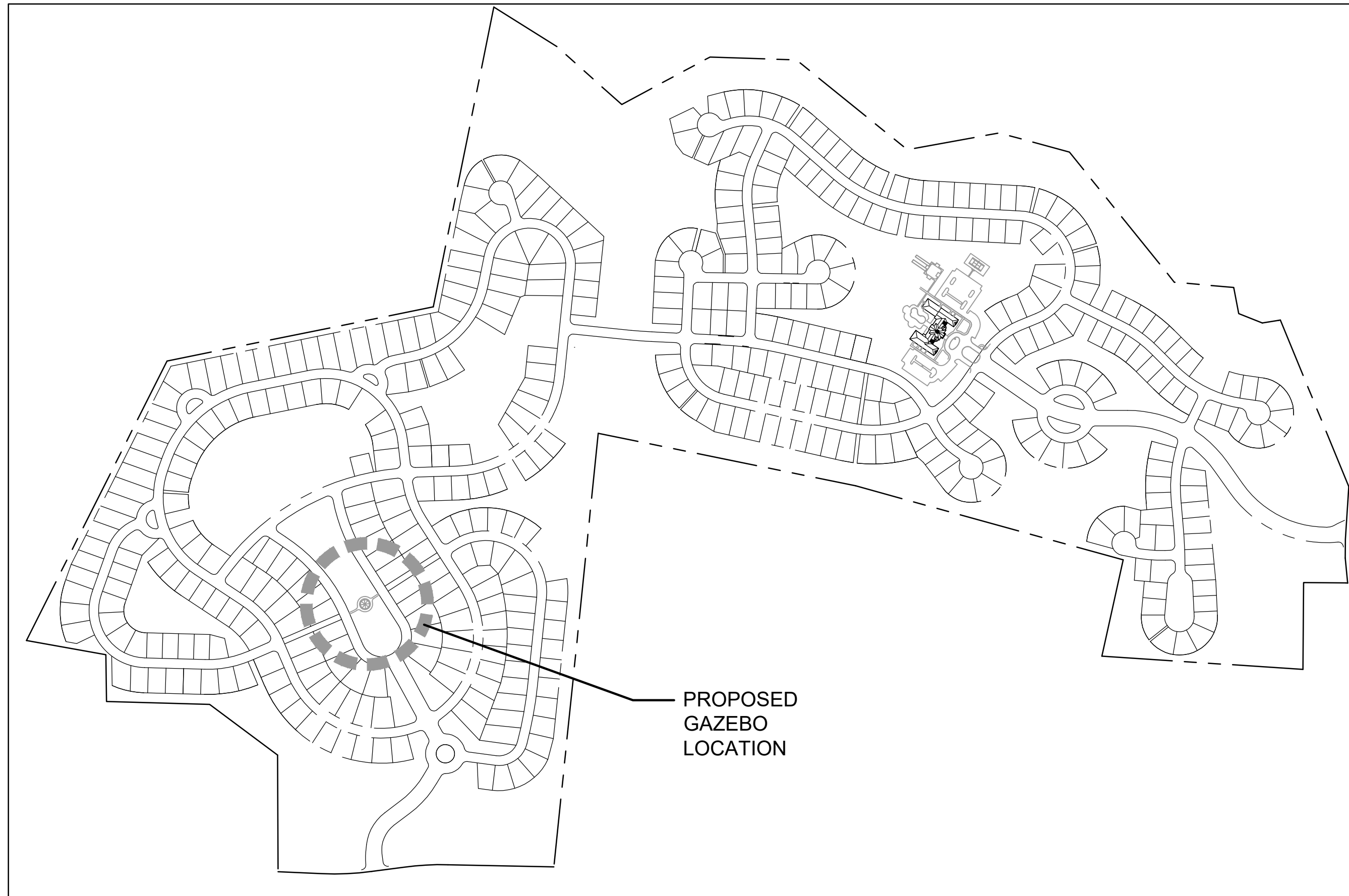
REVISED AMENITY PLAN
INDEPENDENCE
INDIAN MISSION RD. (DE ROUTE 5)
INDIAN RIVER HUNDRED SUSSEX COUNTY DELAWARE

SITE PLAN: RWB	DATE
DRAWING: RWB	6/24/22
REVIEW: RP	

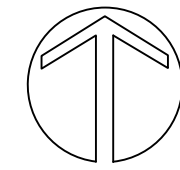
SHEET
1



VICINITY MAP
NOT TO SCALE



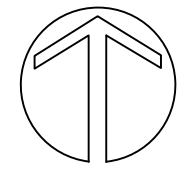
PROPOSED
GAZEBO
LOCATION



PROPOSED GAZEBO LOCATION
SCALE: 1"=50'



PROPOSED
16' DIA. GAZEBO



SCALE: 1"=50'

PROPOSED GAZEBO
SCALE: 1"=50'

LEGEND:

--- 31 ---	EXISTING CONTOURS
---	EXISTING R.O.W.
---	EXISTING LOT LINES
---	EXISTING SIDEWALK
---	EXISTING GRADING
---	BUILDING SETBACKS

I. SITE DATA:

- ORIGINAL TAX PARCEL: 234-16.00-8.03
- LOCATION: DE. ROUTE 5/ CO. RD. 303A AND CO. RD. 302
- OWNER: SUSSEX GROUP PARTNERS, LLC
18949 COASTAL HIGHWAY
REHOBOTH BEACH, DE 19971
- PRESENT ZONING: AR-1
- SITE AREA: ±4.10 AC. (PAVILION OPEN SPACE ONLY)
- SETBACKS & BULK AREA CRITERIA:
FRONT: 25' LOT WIDTH: 60' MIN.
SIDE: 10' LOT DEPTH: 100' MIN.
REAR: 10' LOT AREA: 7,500 S.F. MIN.
MAX. BLDG. HEIGHT: 42'
- PROPOSED GAZEBO DATA:
DIAMETER: 16'
HEIGHT: 15' TO PEAK

- NOTES:
- THIS PLAN DEPICTS A PROPOSED GAZEBO STRUCTURE IN AN OPEN SPACE AREA OF THE INDEPENDENCE SUBDIVISION.
 - ALL INTERIOR LOT LINES (COMMON LINES BETWEEN LOTS) ARE THE CENTER OF A 10' WIDE UTILITY/DRAINAGE EASEMENT. ALL PERIMETER PROPERTY LINES, INCLUDING LOT LINES ALONG RIGHT-OF-WAY AND OPEN SPACE, HAVE A 10' WIDE DRAINAGE/UTILITY EASEMENT ALONG THE INTERIOR.
 - THE SITE IS IN FLOOD ZONE AE AND ZONE X PER FIRM MAP 10005C0340K DATED MARCH 16, 2015.
 - THERE ARE NO FEDERALLY REGULATED OR STATE TIDAL WETLANDS WITHIN THE AMENITY PARCEL SHOWN.
 - PROPOSED PLAN MODIFICATION IS TO ADD 16' OCTAGONAL GAZEBO TO EXISTING OPEN SPACE AREA AS SHOWN. NO ADDITIONAL SITE LIGHTING IS PROPOSED.
 - SITE GRADES TO BE VERIFIED PRIOR TO CONSTRUCTION AND ENGINEER NOTIFIED OF ANY MAJOR DISCREPANCY.
 - PROPOSED SIDEWALK TO HAVE A CROSS SLOPE OF 1.5% AND MEET ALL ADA GUIDELINES.



NOTE: GAZEBO TO BE 16' DIAMETER
OCTAGONAL GAZEBO AS SHOWN; 15' HEIGHT.

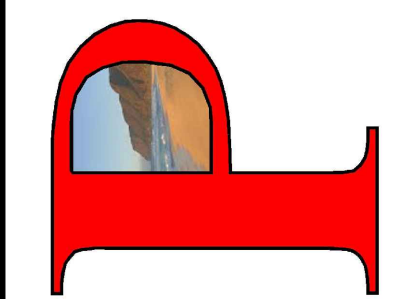
PROPOSED GAZEBO
NOT TO SCALE

REVISIONS

8/15/22-P&Z	Comments
10/13/22-P&Z	Comments

LAND DESIGN
Surveying / Landscape Architecture
Planning and Development Consultants
401 S. Atlantic Ave., Suite #3
Rehoboth Beach, DE 19970
302.307.1810 / landdesign.com

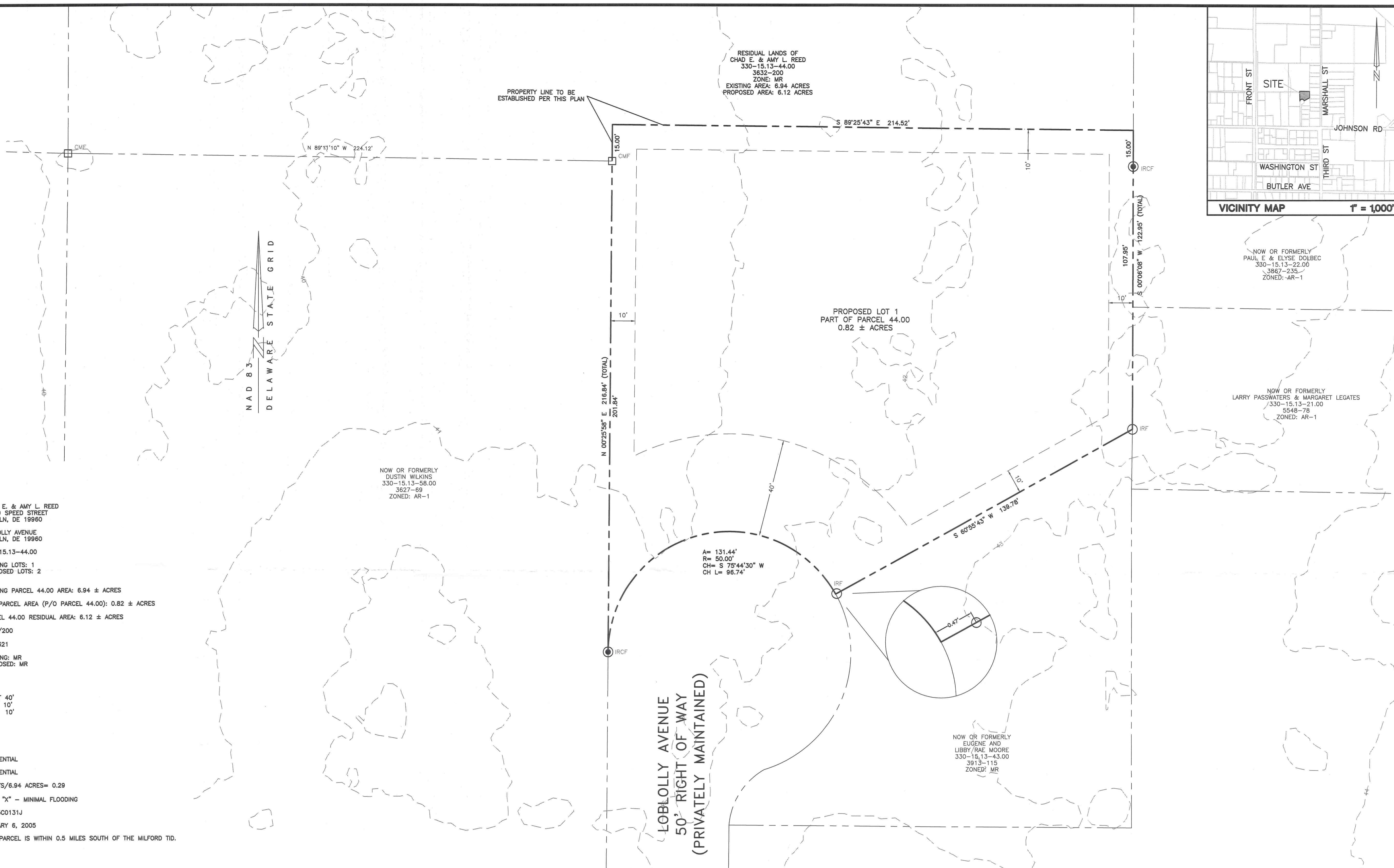
PLITKO, LLC
53 ATLANTIC AVE., STE 3
OCEAN VIEW, DE 19970
Phone (302)-537-1919



GAZEBO LOCATION PLAN
INDEPENDENCE
INDIAN MISSION RD. (DE ROUTE 5)
INDIAN RIVER HUNDRED SUSSEX COUNTY DELAWARE

SITE PLAN: RWB	DATE
DRAWING: RWB	7/11/22
REVIEW: RP	
SHEET	1

GAZEBO LOCATION PLAN



SITE DATA

OWNER: CHAD E. & AMY L. REED
19019 SPEED STREET
LINCOLN, DE 19960

PROPERTY ADDRESS: LOBLOLLY AVENUE
LINCOLN, DE 19960

TAX PARCEL NO.: 330-15.13-44.00

LOTS: EXISTING LOTS: 1
PROPOSED LOTS: 2

AREA: EXISTING PARCEL 44.00 AREA: 6.94 ± ACRES
NEW PARCEL AREA (P/O PARCEL 44.00): 0.82 ± ACRES
PARCEL 44.00 RESIDUAL AREA: 6.12 ± ACRES

DEED REFERENCE: 3632/200

PLAT REFERENCE: 120/321

ZONING: EXISTING: MR
PROPOSED: MR

MAX BUILDING HEIGHT: 42'

BUILDING RESTRICTION LINES:
FRONT 40'
SIDE 10'
REAR 10'

ON SITE WATER: N/A

ON SITE SEWER: N/A

CURRENT USE: RESIDENTIAL

PROPOSED USE: RESIDENTIAL

DENSITY: 2 LOTS/6.94 ACRES= 0.29

FLOOD ZONE: ZONE "X" - MINIMAL FLOODING

F.I.R.M. No.: 1000500131J

EFFECTIVE DATE: JANUARY 6, 2005

NOTE: THIS PARCEL IS WITHIN 0.5 MILES SOUTH OF THE MILFORD TID.

NOTES

- ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN THE ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, SIGHT EASEMENT SHALL BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS; IT CAN BE PRIMARILY FOR AGRICULTURAL PURPOSES ON WHICH ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE NOISE, ANTICIPATED THAT SUCH AGRICULTURAL USES AND OPERATIONS, THE USE AND ENJOYMENT OF THIS PROPERTY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY AGRICULTURAL CHEMICALS AND NIGHTTIME FARM DUST, MANURE AND OTHER ODORS, THE USE OF SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
- THERE ARE NO WETLANDS LOCATED WITHIN THE BOUNDARY LINES OF SUBJECT PARCEL.

SURVEYOR CERTIFICATION

I, CHRISTOPHER D. WATERS, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

DAVIS, BOWEN & FRIEDEL, INC.
by CHRISTOPHER D. WATERS, AGENT

CHRISTOPHER D. WATERS
PROFESSIONAL LAND SURVEYOR
DE NO. 56-647
EXPIRES: 6/30/23



THIS PLAN SUPERSEDES IN PART THE PREVIOUSLY RECORDED DEED BOOK 3632/200 WHICH WAS RECORDED ON NOVEMBER 05, 2008 IN THE OFFICE OF THE RECORDER OF DEEDS FOR SUSSEX COUNTY.

THE PURPOSE OF PLAN: TO SUBDIVIDE PARCEL 44.00 INTO 2 LOTS.

LEGEND

- IRCF IRON ROD WITH CAP FOUND
- IRF IRON ROD FOUND
- CMF CONCRETE MONUMENT FOUND
- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - BUILDING RESTRICTION LINE



OWNER'S STATEMENT

I, THE UNDERSIGNED, HEREBY STATE THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THE PLAN WAS MADE AT MY DIRECTION, I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN BE RECORDED ACCORDING TO LAW.

Chad E. Reed 7-26-22
DATE
CHAD E. & AMY L. REED
19019 SPEED STREET
LINCOLN, DE 19960

OWNER'S STATEMENT

I, THE UNDERSIGNED, HEREBY STATE THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THE PLAN WAS MADE AT MY DIRECTION, I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN BE RECORDED ACCORDING TO LAW.

Tyler Reed 7-26-22
DATE
TYLER REED
19019 SPEED STREET
LINCOLN, DE 19960

DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS, ENGINEERS & SURVEYORS
SALISBURY, MARYLAND 4100 545-9091
MILFORD, DELAWARE 682-424-1441

dbf

MAJOR SUBDIVISION PLAN

Revised Copy

LANDS OF CHAD E. & AMY L. REED
TOWN OF LINCOLN
CEDAR CREEK HUNDRED, SUSSEX COUNTY, DELAWARE

Date: APRIL 2022
Scale: 1"=20'
Dwn.By: KTH
Proj.No.: 1793A002
Dwg.No.:



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

NICOLE MAJESKI
SECRETARY

April 04, 2022

Mr. Jamie Whitehouse, Director
Sussex County Planning & Zoning Commission
Sussex County Administration Building
P.O. Box 417
Georgetown, Delaware 19947

**SUBJECT: Minor Subdivision - Letter of No Objection to Recordation
Chad Reed Minor Sub**
Tax Parcel # 330-15.13-44.00
Loblolly Avenue (Private)... off of Johnson Road (SCR207)
Cedar Creek Hundred, Sussex County

Dear Mr. Whitehouse:

The Department of Transportation has reviewed the Minor Subdivision Plan dated January 2022 (signed by the Owner and Engineer on March 28, 2022), for the above referenced site, and has no objection to its recordation as shown on the enclosed drawing. This "No Objection to Recordation" approval shall be valid for a period of **five (5) years**. If the Minor Subdivision Plan is not recorded and/or an entrance permit is not issued for the lot(s) prior to the expiration of the "No Objection to Recordation", then the plan must be updated to meet current requirements and resubmitted for review and approval.

Entrances(s) must be installed prior to the sale of the lot(s). All entrances shall conform to DelDOT's Development Coordination Manual and shall be subject to its approval. **This letter does not authorize the commencement of entrance construction.**

This "No Objection to Recordation" letter is not a DelDOT endorsement of the project discussed above. Rather, it is a recitation of the transportation improvements, which the applicant may be required to make as a pre-condition to recordation steps and deed restrictions as required by the respective county/municipality in which the project is located. If transportation investments are necessary, they are based on an analysis of the proposed project, its location, and its estimated impact on traffic movements and densities. The required improvements conform to DelDOT's published rules, regulations and standards. Ultimate responsibility for the approval of any project rests with the local government in which the land use decisions are authorized.



Chad Reed Minor Sub
Mr. Jamie Whitehouse
Page 2
April 04, 2022

There may be other reasons (environmental, historic, neighborhood composition, etc.) which compel that jurisdiction to modify or reject this proposed plan even though DeIDOT has established that these enumerated transportation improvements are acceptable.

The owner shall be responsible to submit a copy of the **recorded Minor Subdivision Plan** showing all appropriate signatures, seals, plot book and page number to the South District Public Works office (302) 853-1341 in order to obtain the entrance permit(s) for the proposed minor subdivision.

Sincerely,

A handwritten signature in black ink that reads "Richard S. McCabe". The signature is written in a cursive style with a large, stylized initial "R".

R. Stephen McCabe
Sussex County Review Coordinator
Development Coordination

cc: Jamie Sechler, Davis, Bowen & Friedel, Inc.
Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Matt Schlitter, South District Public Works Engineer
James Argo, South District Project Reviewer
James Smith, South District Entrance Permit Supervisor
Shannon Anderson, South District Public Work Admin Specialist
Wendy L. Polasko, P.E., Subdivision Engineer
Derek Sapp, Subdivision Manager, Development Coordination

Elliott Young

From: Jessica Watson <jessica.watson@sussexconservation.org>
Sent: Tuesday, November 1, 2022 10:50 AM
To: Elliott Young; kartracer5858@gmail.com
Cc: 'Faith Binas'
Subject: Fwd: From Tyler reed about the tax parcel Id we spoke about
Attachments: image007.png; image002.png; image006.png; image001.png; image005.png; image004.png; image003.png

CAUTION: This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

Hello Elliott

The Sussex conservation district has no objection to the recordation of the building lot for Tyler Reed. He is aware that he will need a permit from my office when he starts construction. Please let me know if you anything else.

Jessica

----- Forwarded message -----

From: Tyler Reed <kartracer5858@gmail.com>
Date: Mon, Oct 31, 2022 at 5:25 PM
Subject: Re: From Tyler reed about the tax parcel Id we spoke about
To: jessica.watson@sussexconservation.org <jessica.watson@sussexconservation.org>

I believe all I need is just a email that I can forward or a email to be sent to Elliot young at the Sussex county planning and zoning of no objection and that will be fine then I can actually fill out the application when I go to build my house and start clearing attached is what he sent me

On Monday, October 31, 2022, <jessica.watson@sussexconservation.org> wrote:

Hey Tyler,

I reviewed the site plan – and we have no objection to recordation of your lot. Do you need a letter or a standard plan from our office? A standard plan – is the permit for clearing the lot and building your home. The permit is good up to 5 – years if this is something you plan to phase. Let us know how you want to proceed.

Jessica

RECEIVED

NOV 01 2022

SUSSEX COUNTY
PLANNING & ZONING



Jessica Watson

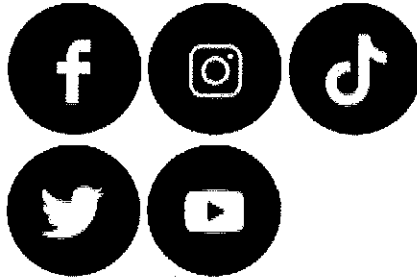
Program Manager

jessica.watson@sussexconservation.org

23818 Shortly Road, Georgetown, DE
19947

302-856-2105 ext. 107 (office)
302-381-6136 (cell)

sussexconservation.org



**CONSERVATION
STEWARDSHIP
AWARD**

DEADLINE: Dec. 15, 2022

From: Tyler Reed <kartracer5858@gmail.com>
Sent: Monday, October 31, 2022 11:50 AM
To: jessica.watson@sussexconservation.org
Subject: From Tyler reed about the tax parcel Id we spoke about

**SUSSEX COUNTY ENGINEERING DEPARTMENT
UTILITY PLANNING & DESIGN REVIEW DIVISION
C/U & C/Z COMMENTS**

RECEIVED

TO: **Jamie Whitehouse**

REVIEWER: **Chris Calio**

DATE: **10/4/2022**

APPLICATION: **2022-13 Lands of Chad E. & Amy L. Reed**

APPLICANT: **Tyler Reed**

FILE NO: **NCPA-5.03**

TAX MAP &
PARCEL(S): **330-15.13-44.00**

LOCATION: **Lying on the north side of Loblolly Avenue a private street
within the Loblolly Subdivision, approximately 500 feet north
of Johnson Road (SCR 207).**

NO. OF UNITS: **2 single-family lots including residual**

GROSS
ACREAGE: **6.94 +/-**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

OCT 05 2022

SUSSEX COUNTY
PLANNING & ZONING

SEWER:

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?
Yes No
- a. If yes, see question (2).
b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 3**
- (3). Is wastewater capacity available for the project? **N/A** If not, what capacity is available? **N/A**.
- (4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **No** If yes, the current System Connection Charge Rate is **Unified \$6,600.00** per EDU. Please contact **N/A** at **302-855-7719** for additional information on charges.

(6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **No**

Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.

(7). Is project adjacent to the Unified Sewer District? **No**

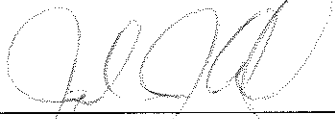
(8). Comments: **Click or tap here to enter text.**

(9). Is a Sewer System Concept Evaluation required? **Not at this time**

(10). Is a Use of Existing Infrastructure Agreement Required? **Not at this time**

(11). **All residential roads must meet or exceed Sussex County minimum design standards.**

UTILITY PLANNING & DESIGN REVIEW APPROVAL:



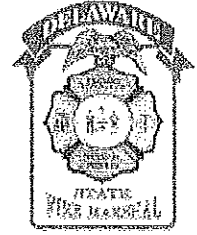
John J. Ashman
Sr. Manager of Utility Planning & Design Review

Xc: Hans M. Medlarz, P.E.
Lisa Walls
No Permit Tech Assigned



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT – SHALL BE POSTED ON JOBSITE UNTIL FINAL INSPECTION

Plan Review Number: 2022-04-211370-MIS-01

Tax Parcel Number: 330-15.13-44.00

Status: Approved as Submitted

Date: 08/16/2022

Project

Reed Minor Subdivision

Loblolly Avenue

Chad & Amy Reed Property

Lincoln DE 19960

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 42 - Carlisle Fire Co Inc

Occupant Load Inside:

Occupancy Code:

Applicant

Tyler Reed

19019 Speed Street

Lincoln, DE 19960

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

A final inspection is required.

This Plan Review Project was prepared by:

Jefferson Cer
Fire Protection Specialist II

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2022-04-211370-MIS-01

Tax Parcel Number: 330-15.13-44.00

Status: Approved as Submitted

Date: 08/16/2022

PROJECT COMMENTS

- 1002 A This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) ADOPTED September 1, 2021. The Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1010 A The following water for fire protection requirements apply: NONE. On-Site Wells Proposed. this site meets Water Flow Table 1. therefore the provisions of NFPA 1142 shall apply to this site (DSFPR Regulation 702, Chapter 6, Section 3). Since wells are proposed for this site, no additional requirements will be made by this Agency for water for fire protection.
- 1180 A This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1000 A The site plans have been approved as submitted. The Office of DE State Fire Marshal has no objection to recordation.
- 1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.