



Memorandum

To: Sussex County Planning Commission Members

From: Jamie Whitehouse, Director, Department of Planning & Zoning; Jenny Norwood, Planning and Zoning Manager, Lauren DeVore, Planner III, Christin Headley, Planner I, Nicholas Torrance, Planner I, and Chase Phillips, Planner I

CC: Vince Robertson, Assistant County Attorney

Date: December 1, 2020

RE: Other Business for the December 10, 2020 Planning Commission Meeting

This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the December 10, 2020 Planning Commission meeting.

Dagsboro Trace (2004-34)

BM

Revised Subdivision Plan

This Revised Subdivision Plan proposes to remove the sidewalks from the subdivision. The Planning and Zoning Commission previously reviewed this request at their meeting of Thursday, September 24, 2020, where they had requested additional information be provided from the applicant prior to a final decision being rendered. The sidewalks have not been installed and the proposed location of the sidewalks would require the relocation of street lighting and transformers already installed throughout the development. The Planning and Zoning Office has received documentation that 51% of existing property owners within the subdivision consent to this proposed change. Tax Parcel: 233-11.00-194.01 & 233-11.00-194.05. Zoning: AR-1 (Agricultural Residential Zoning District).

Bioenergy Development Group, LLC (CU 1962)

HW

Final Site Plan

This is a Final Site Plan for the addition of seven (7) storage tanks and other associated works to be located in the already improved area located between Building 1 and Building 3. The site plan also shows a proposed 3,500 square foot maintenance building, along with new landscaping and fencing along Enviro Way. There are no proposed changes to the existing parking numbers and the plans propose the relocation of the scales near the entrance to the site. The parcel is located on Enviro Way, on the west side of Seaford Rd. (Rt. 13A). The use of this site as a composting facility as an addition/extension to the previously approved micro-nutrient plant for the processing and handling of poultry litter was approved by County Council on June 25, 2013 under Conditional Use No. 1962, and this change was adopted through Ordinance No. 2311. The Final Site Plan complies with the Sussex County Zoning Code and all Conditions of Approval. Further Final Site Plan approval will be required for any other future improvements. Tax Parcel: 132-11.00-41.00. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are in receipt of all agency approvals.

Plover Point (F.K.A. Oak Landing) (2018-9)

BM

Revised Preliminary Subdivision Plan

This is a Revised Preliminary Subdivision plan for the creation of a cluster subdivision to consist of one-hundred and forty-seven (147) single-family lots with private roads, open space and associated amenities on a 60.199-acre parcel of land. The proposed subdivision is located on the east side of



Route 5 (Oak Orchard Road). At their meeting of Thursday, September 13, 2018, the Planning and Zoning Commission approved the Preliminary Subdivision Plan for what was previously known as the Oak Landing subdivision subject to 16 conditions. The proposed changes to the plan include the removal of Scarlett Oak Drive, adding cul-de-sacs on both ends of Chestnut Oak Drive, the addition of stormwater management ponds along the project's frontage, and a decrease of 92 lots. The Revised Preliminary Subdivision Plan complies with the Sussex County Zoning and Subdivision Code and all Conditions of Approval. Tax Parcel: 234-34.00-97.00. Zoning: GR (General Residential Zoning District). Staff are awaiting agency approvals.

Cripple Creek Golf and Country Club (S-89-12)

BM

Revised Preliminary Site Plan

This is a Revised Preliminary Site Plan for a 5,000 square foot proposed pool house, three different building additions, parking modifications, fencing, and pickleball and bocce courts. The property is located off Cripple Creek Drive which is a private lane that has access from Irons Lane (S.C.R. 348). While an overall reduction in parking is proposed, staff note the plan complies with the Sussex County Zoning Code. Tax Parcel: 134-3.00-2.00. Zoning: HR-2 (High Density Residential Zoning District). Staff are awaiting agency approvals.

Seaglass at Rehoboth Beach (F.K.A. Herola Property) (S-20-39)

BM

Preliminary Site Plan

This is a Preliminary Site Plan for a proposed 224-unit multi-family apartment complex to consist of a clubhouse, pool, dog park, tot lot, 448 parking spaces and other site improvements located on 18.759 acres +/- . The property is located directly east of John J. Williams Hwy (Route 24) just south of Coastal Highway (Route 1). The applicant is seeking relief for 74 parking spaces to be located within the front setback of a private right of way. The Preliminary Site Plan otherwise complies with the Sussex County Zoning Code. Tax Parcel: 334-12.00-127.01 & 127.10. Zoning: CR-1 (Commercial Residential Zoning District). Staff are awaiting agency approvals.

Jerry Ann McLamb Medical Pavilion (S-20-46)

KS

Preliminary Site Plan

This is a Preliminary Site Plan for a proposed 40,000 square foot medical facility to be located off Milton Ellendale Highway (Route 16) in Milton. The plan includes 209 parking spaces, a stormwater management basin, and other site improvements on a parcel of land that is approximately 142 acres. Staff note the potential subdivision of this site is considered, and it was requested the site plan process be pursued while Minor Subdivision Plans are generated. The Preliminary Site Plan complies with the Sussex County Zoning Code. Tax Parcel: 235-14.00-77.00. Zoning: C-1 (General Commercial Zoning District) & HR-2 (High Density Residential Zoning District). Staff are awaiting agency approvals.

Quality Care Homes (S-20-48)

KS

Preliminary Site Plan

This is a Preliminary Site Plan for a proposed home construction service, offices, and light material storage to be located at 20366 Hopkins Road in Lewes. This plan also includes a proposed infiltration basin and relevant parking. The proposed use is part of Conditional Use No. 2216 which was approved by the Sussex County Council on August 25, 2020 and adopted through Ordinance No. 2735. The Preliminary Site Plan complies with the Sussex County Zoning Code and all Conditions of Approval. Tax Parcel: 234-5.00-46.04. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are awaiting agency approvals.

30792 Alyssa Dr. *LYNDA WUNDERKIND*

I am (For \ Against) the bike path in Dagsboro Trace development.

HARRIS GARDNER

31918 Chelsea Ct. *DEBBIE COSTELLO*

I am (For \ Against) the bike path in Dagsboro Trace development.

Deborah Letells

31924 Chelsea Ct. *AMY KOTULAK & BRUCE RECHT*

I am (For \ Against) the bike path in Dagsboro Trace development.

Amy Kotulak & Bruce Rech

31920 Chelsea Ct. *DANNY GOLDSMITH*

I am (For \ Against) the bike path in Dagsboro Trace development.

D. Gold

31923 Chelsea Ct. *Robert Ingles*

I am (For \ Against) the bike path in Dagsboro Trace development.

Robert Ingles

31919 Chelsea Ct.

Richard Biski

I am (For \ Against) the bike path in Dagsboro Trace development.

I am (For \ Against) the bike path in Dagsboro Trace development.

Address Name

Circle your choice print and sign your name.

31922 Chelsea Ct.

Calvin Brown

I am (For) Against) the bike path in Dagsboro Trace development.

30764 Alyssa Dr.

DOMINIC TRINIS
DINA TRINIS

I am (For) Against) the bike path in Dagsboro Trace development.

30768 Alyssa Dr.

Susan Kay White
Susan Kay White

I am (For) Against) the bike path in Dagsboro Trace development.

30772 Alyssa Dr.

Shirley M. Sanford
Karen Sanford
Shirley Taylor

I am (For) Against) the bike path in Dagsboro Trace development.

30780 Alyssa Dr.

Robert Tankles
Robert Tankles

I am (For) Against) the bike path in Dagsboro Trace development.

30784 Alyssa Dr.

Walter
Nicole Warren

I am (For) Against) the bike path in Dagsboro Trace development.

30785 Alyssa Dr.

Shore Miller

I am (For) Against) the bike path in Dagsboro Trace development.

30787 Alyssa Dr.

Lori OH
Jon OH

I am (For) Against) the bike path in Dagsboro Trace development.

30788 Alyssa Dr.

FRED AND JOY HOOD
Fred Hood

I am (For) Against) the bike path in Dagsboro Trace development.



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. Box 778
DOVER, DELAWARE 19903

RECEIVED

DEC 01 2020

SUSSEX COUNTY
PLANNING & ZONING

JENNIFER COHAN
SECRETARY

October 01, 2020

Peter Ettinger
Bioenergy Development Group LLC
6751 Columbia Gateway Dr. STE 300
Columbia, Maryland 21046

SUBJECT: Authorization to Apply for a Permit for Entrance Construction
Bioenergy Development Blades
Tax Parcel # 132-11.00-41.00, 132-6.00-95.00
SCR013-SEAFORD ROAD
Broad Creek Hundred, Sussex

Dear Peter Ettinger:

The Delaware Department of Transportation (DelDOT) has reviewed your request, dated September 3, 2020, to obtain a Letter of No Contention (LONC) to use an existing commercial building and site entrance for the above referenced project. In coordination with the South District Public Works Office we have determined that your project will require some modifications or enhancements to meet current regulatory requirements. We have therefore determined that this project is eligible to obtain a Permit for Entrance Construction (PEC) to make these modifications. The PEC will include a list of items that must be addressed, as well as requirements for bonding to perform work, where needed, within the State of Delaware right-of-way (ROW). This approval shall be valid for a period of **one (1) year**.

Please note: Your Permit for Entrance Construction must be obtained from the South District Public Works Office, before you can start any construction.

The following conditions are provided with this response letter:

- 1) Site shall have access from the existing entrance located on Seaford Road (SCR 013).
- 2) Only the modifications/construction or traffic pattern changes that are itemized and authorized under the PEC will be permitted. Please coordinate with the DelDOT Public Works Office regarding the scope, location and limits of the following items, as well any other items listed in the PEC:
 - a) Replace existing stop sign with a new 36"x36" R1-1 stop sign and install a new 16" wide thermo stop bar
- 3) DelDOT reserves the right to review, modify or revoke this authorization letter and PEC and require additional entrance upgrades in the future if proposed activities create traffic conflicts, safety concerns or operational issues.



- 4) The property owner is responsible to:
 - a. Submit information to DeIDOT, regarding any future operational or site changes, (including but not limited to: rezoning, site layout changes, changes in use, entrance modifications, expanded/additional uses, new uses, etc.). Changes of this nature may alter the flow and/or volume of traffic and could require a new PEC, LONC or formal review for Approvals and/or Permits.
 - b. Establish and maintain clear sight lines at the entrance. There shall be no placement of structures, signs, objects, items for sale or parking of vehicles within State ROW or entrance limits. Shrubbery, Plantings, trees and/or other visual barriers that could obstruct the sight distance of a driver preparing to enter the roadway are prohibited.
- 5) The property owner and applicant are responsible to coordinate with DeIDOT Outdoor Advertising & Roadside Control at (302) 853-1327, for information on obtaining specific permits for sign installation on private property. Permits for Utilities construction within State right-of-way require separate permit applications please contact DeIDOT's South District at (302) 853-1345.

The Department would like to thank you for your submittal.

Please contact the South District Public Works Office at (302) 853-1340, for their assistance in obtaining the PEC. No construction or modification listed under Item 2 is allowed in advance of the DeIDOT Public Works Office issuance of the Permit for Entrance Construction.

Sincerely,



Susanne K. Laws
Sussex County Review Coordinator,
Development Coordination

cc: Stephen Gorski, Duffield Associates, Inc.
Jamie Whitehouse, Sussex County Planning & Zoning Commission
Rusty Warrington, Sussex County Planning & Zoning
Jessica L. Watson, Sussex Conservation District
Gemez Norwood, South District Public Works manager
William Kirsch, South District Entrance Permit Supervisor
James Argo, South District Project Reviewer
Wendy L. Polasko, Subdivision Engineer
John Andrescavage, Sussex County Reviewer



STATE OF DELAWARE
DEPARTMENT OF NATURAL RESOURCES
AND ENVIRONMENTAL CONTROL
DIVISION OF WATERSHED STEWARDSHIP
21309 BERLIN ROAD, UNIT #6
GEORGETOWN, DELAWARE 19947

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DEC 01 2020

SUSSEX COUNTY
PLANNING & ZONING

DRAINAGE PROGRAM

PHONE: (302) 855-1930
FAX: (302) 677-7059

11/17/2020

Stephen Gorski
Duffield Associates
5400 Limestone Rd.
Wilmington, DE 19808

RE: Parcel #132-6.00-88.01, 132-6.00-95.00, 132-11.00-41.00, 132-11.00-41.02, BioEnergy Development

The Delaware Department of Natural Resources and Environmental Control (DNREC), Drainage Program has reviewed the plans submitted by Duffield Associates for the above noted property within the Mt. Zion Tax Ditch Watershed.

My office has **no objection** to the works of improvement to these parcels with the following recommendations and comments:

- Maintenance of any private crossings located within the tax ditch channel and/or right-of-ways are the responsibility of the landowner, **not** the tax ditch organization.
- Maintenance of any stormwater management facilities and/or associated infrastructure located within the tax ditch channel(s) and/or right-of-ways are the responsibility of the landowner, **not** the tax ditch organization.
- It is highly recommended that the landowner evaluates and cleans out the tax ditch channel to design grade, if needed, prior to construction of this project. The DNREC Drainage Program can provide technical assistance on this matter.

If you are a consultant working on behalf of a landowner, it is your responsibility to pass on this information to the landowner(s).

If you have any questions or concerns, please contact the Drainage Program at (302) 855-1930.

Sincerely,

Melissa Hubert

Melissa Hubert
Tax Ditch Program Manager II

cc: John Justice, Sussex Conservation District



November 17, 2020

Steve Gorski
Duffield Associates
sgorski@duffnet.com

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SUSSEX COUNTY
PLANNING & ZONING

RE: **Bio-Energy Development – Blades, DE**

Mr. Gorski,

Sussex Conservation District has reviewed the sediment and stormwater management plans submitted for the above referenced project. The District has found the submittal to be acceptable, please provide the District with the following:

- Submit 5 sets of plans for approval. **(Received)**
- Submit 1 set scaled 12 x 18 for approval.
- Submit an electronic copy (PDF) of the project's complete construction set. **(Received)**
- Submit a paper and electronic copy (PDF) of the Stormwater Report (and all exhibits). **(Received)**
- Provide a check for inspection fee for \$4,250 and maintenance fee for \$750. (These fees can be combined on one check.)

Please note:

- Every plan sheet is to be signed and sealed by a qualified design professional. **(Received)**
- The SCD Owners Certification Statement is to be signed in ink on each set of plans. **(Received)**

If plans are submitted with any of the above items missing, they will **not** be approved. Be advised if there are any deficiencies which cannot be addressed within 72 hours the plans will be considered withdrawn and therefore, you will need to entirely resubmit. We appreciate your cooperation in this matter as we are trying to maintain a professional and structured office to better serve you.

If ownership is going to change, the District will require a new application and two sets of plans with the new owner's information and signed certification statement. In addition, the authorization to discharge stormwater under the regulations *Part 2 Special Conditions for Storm Water Discharges Associated with Construction Activities*, must be transferred by the original owner to the new owner, please contact DNREC at 302-739-9921 for assistance.

If you have any questions or concerns regarding the aforementioned, please do not hesitate to contact the District at 302-856-2105.

Sincerely,

John Justice

Plan Reviewer

Cc:



**OFFICE OF THE STATE FIRE MARSHAL
Technical Services**

22705 Park Avenue
Georgetown, DE 19947



SFMO PERMIT

Plan Review Number: 2020-04-204445-MJS-01

Tax Parcel Number: 1-32-6-95&88.01

Status: Approved as Submitted

Date: 08/04/2020

Project

Tank Farm

28339 Enviro Way - BioEnergy Innovation Center

Enviro Way

Seaford DE 19973

Scope of Project

Number of Stories:

Square Footage:

Construction Class:

Fire District: 71 - Blades Volunteer Fire Company

Occupant Load Inside:

Occupancy Code:

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DEC 01 2020

SUSSEX COUNTY
PLANNING & ZONING

Applicant

Steve Gorski

This office has reviewed the plans and specifications of the above described project for compliance with the Delaware State Fire Prevention Regulations, in effect as of the date of this review.

The owner understands that this construction start approval is limited to preliminary site construction and foundation work only. No other construction of any kind shall be permitted until the required building plan review is completed.

A Review Status of "Approved as Submitted" or "Not Approved as Submitted" must comply with the provisions of the attached Plan Review Comments.

Any Conditional Approval does not relieve the Applicant, Owner, Engineer, Contractor, nor their representatives from their responsibility to comply with the plan review comments and the applicable provisions of the Delaware State Fire Prevention Regulations in the construction, installation and/or completion of the project as reviewed by this Agency.

This Plan Review Project was prepared by:

Desiree McCall

FIRE PROTECTION PLAN REVIEW COMMENTS

Plan Review Number: 2020-04-204445-MJS-01

Tax Parcel Number: 1-32-6-95&88.01

Status: Approved as Submitted

Date: 08/04/2020

PROJECT COMMENTS

- 1002 A** This project has been reviewed under the provisions of the Delaware State Fire Prevention Regulations (DSFPR) UPDATED March 11, 2016. The current Delaware State Fire Prevention Regulations are available on our website at www.statefiremarshal.delaware.gov. These plans were not reviewed for compliance with the Americans with Disabilities Act (ADA). These plans were not reviewed for compliance with any Local, Municipal, nor County Building Codes.
- 1031 A** Where the structure being considered is protected throughout by an automatic sprinkler system, the required fire flow shall be modified to meet the designed sprinkler demand where hydraulically calculated plus outside hose streams as specified in NFPA13, Table 11.2.3.1.1 (2002 ed.) (DSFPR Part II, Section 6 3.2.1).
- 1180 A** This report reflects site review only. It is the responsibility of the applicant and owner to forward copies of this review to any other agency as required by those agencies.
- 1190 A** Separate plan submittal is required for the building(s) proposed for this project.
- 9999**
- * PLANS FOR THE GENERATOR SHALL BE SUBMITTED FOR REVIEW
- 1299 A** The required Fire Lane Access and Perimeter Access and all fire lane markings shall be in accordance with the site plan as approved by this Agency. This will be field verified at the final inspection. Noncompliance may cause a delay in approval for Certificate of Occupancy.
- 1415 A** Fire Department access shall be provided to all otherwise inaccessible gated communities, subdivisions, developments, gated commercial properties or property by any other name through the use of a system or device as required by the Delaware State Fire Prevention Regulations and approved by the Office of the State Fire Marshal after consultation with the local Fire Chief. (DSFPR

Regulation 705, Chapter 2, Section 2.6.2).Please provide specifications for the device. Include how the system works, where the device will be located, and a letter from the Fire Chief accepting the layout.

*** PROVIDE A LETTER SIGNED BY THE PROPERTY OWNER AND FIRE CHIEF AGREEING TO HOW THE FIRE DEPARTMENT WILL ACCESS THE PROPERTY.**

1501 A If there are any questions about the above referenced comments please feel free to contact the Fire Protection Specialist who reviewed this project. Please have the plan review number available when calling about a specific project. When changes or revisions to the plans occur, plans are required to be submitted, reviewed, and approved.



Date: 11/30/2020
Reference: Will Serve Letter
Site: Bioenergy Devco; TP# 132-6.00-95.00
Address: 28192 Enviro Way, Seaford, DE 19973

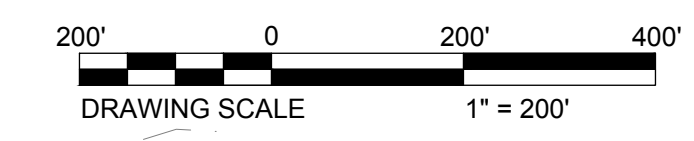
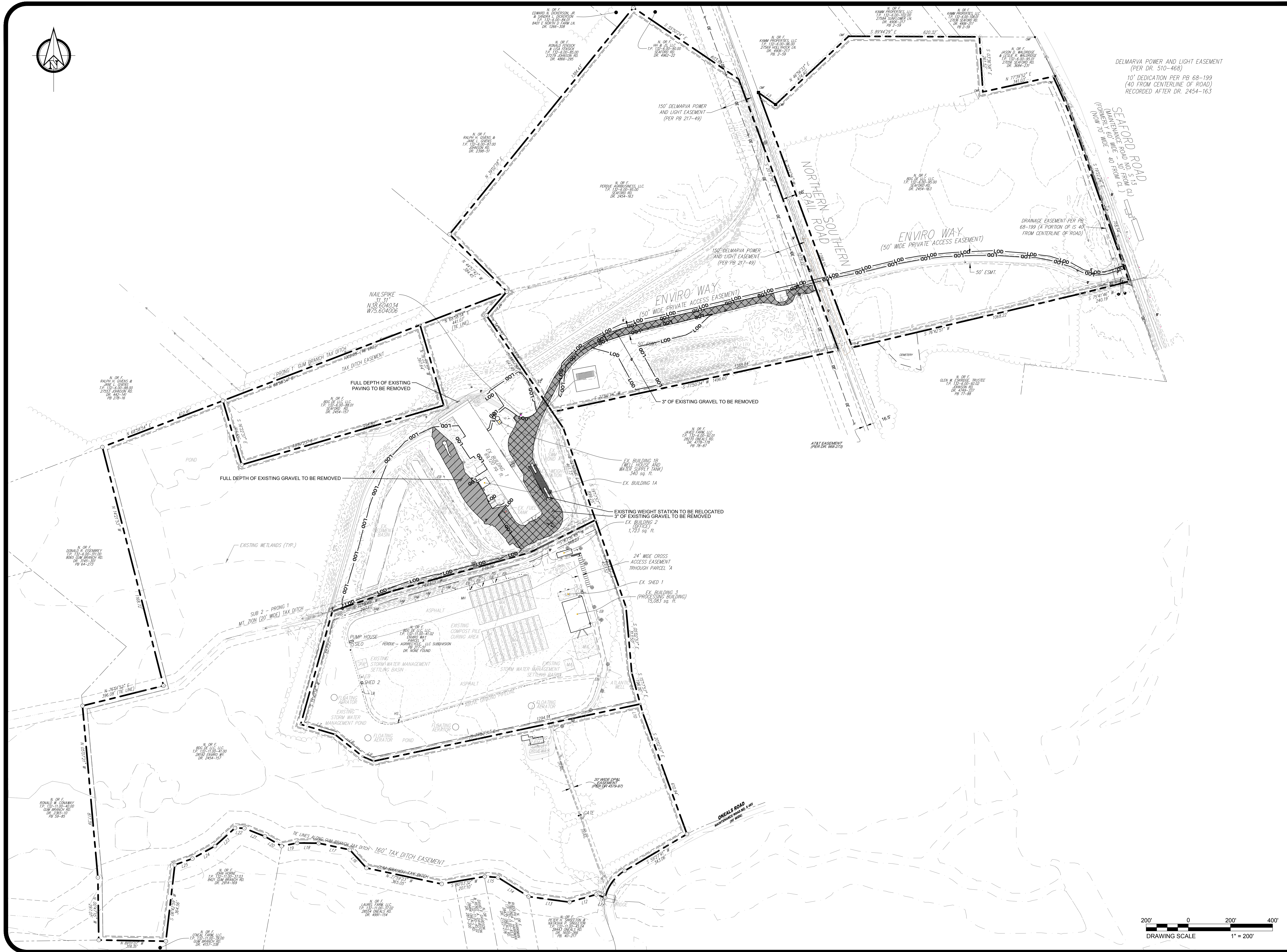
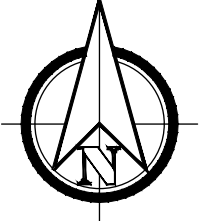
To Whom It May Concern -

Chesapeake Utilities has existing utility infrastructure in place, ready and capable to serve the aforementioned project with natural gas, once all necessary company permitting, processes, and procedures have been completed. This project may include a cost for construction.

Currently, our distribution main sits along Seaford Road with an existing service line into the subject parcel.

Sincerely,
/Dean Holden/

Dean Holden, PE
Chesapeake Utilities
500 Energy Lane
Suite 100
Dover, DE 19901
dholden@chpk.com



EXISTING CONDITIONS / DEMOLITION PLAN

FINAL SITE PLAN
BIOENERGY DEVELOPMENT
GROUP, LLC
SUSSEX COUNTY ~ DELAWARE

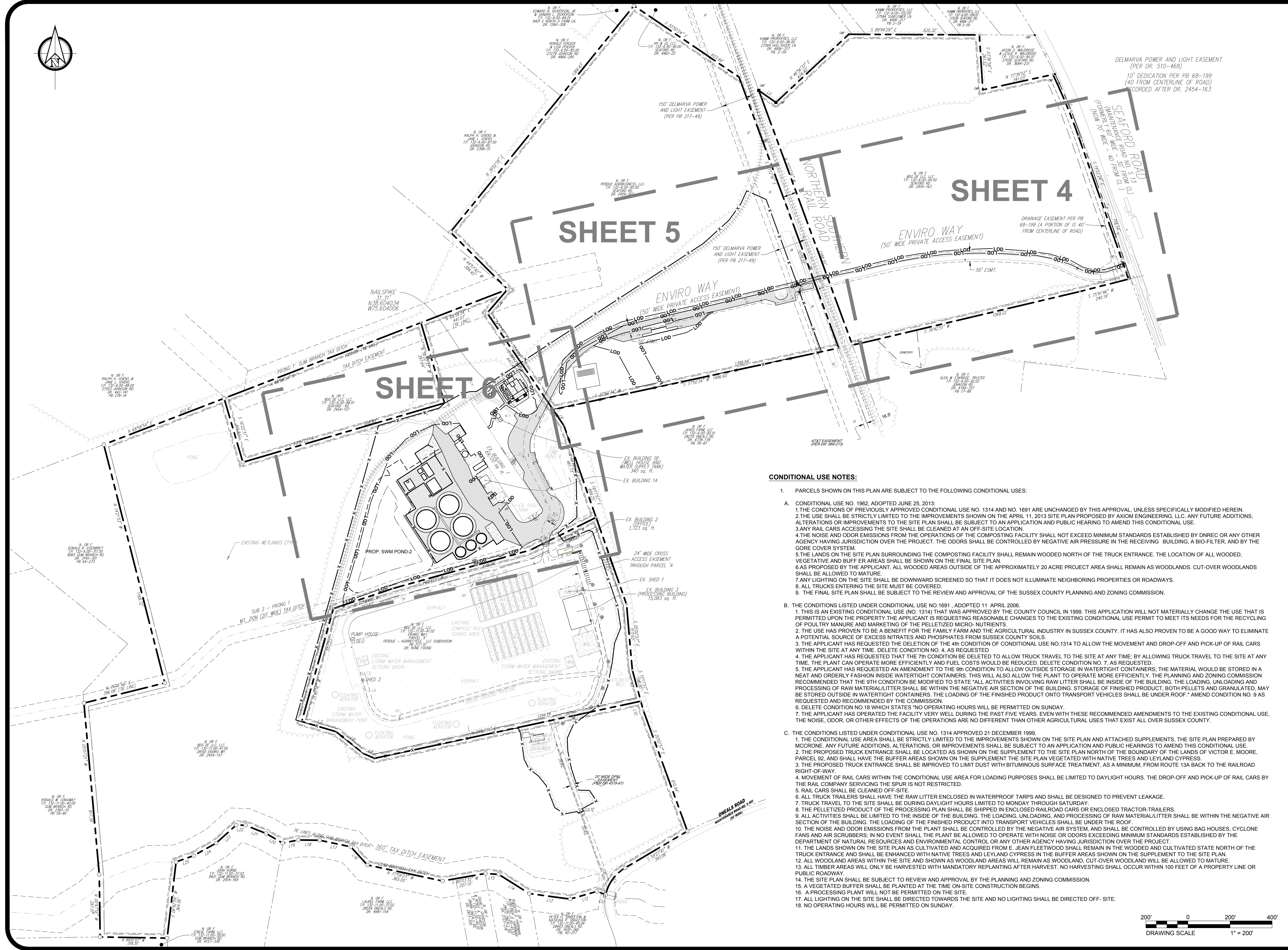
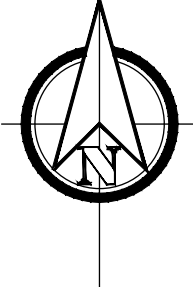
DATE: 30 NOVEMBER 2020
SCALE: 1" = 200'
PROJECT NO. 12393.CF
SHEET: C2 OF 17

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC
42 BRIDGES ROAD
COLUMBIA, MD 21045

NO.	REVISION

CHECKED BY: SG	DESIGNED BY: SCHJL
CHECKED BY: STEPHEN J. GORSKI, P.E.	DESIGNED BY: SCHJL
FILE NAME: 02-12393CF-EV	DRAWN BY: SMCJL

DUFFIELD ASSOCIATES
Soil, Water & the Environment
4500 LIMESTONE ROAD
WILMINGTON, DE 19808-1232
TEL: 302.239.6634
FAX: 302.239.8485
OFFICES IN DELAWARE, MARYLAND,
PENNSYLVANIA AND NEW JERSEY
WEB: [HTTP://DUFFIELD.COM](http://duffield.com)
E-MAIL: [DUFFIELD@DUFFIELD.COM](mailto:duffield@duffield.com)
STATE DELAWARE P.E.#: 12625



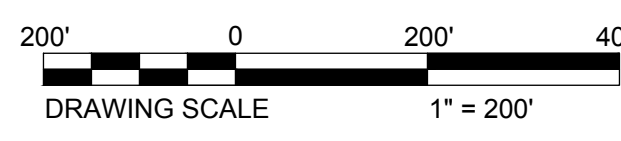
SHEET 4

SHEET 5

SHEET 6

CONDITIONAL USE NOTES:

1. PARCELS SHOWN ON THIS PLAN ARE SUBJECT TO THE FOLLOWING CONDITIONAL USES:
 - A. CONDITIONAL USE NO. 1962, ADOPTED JUNE 25, 2013:
 1. THE CONDITIONS OF PREVIOUSLY APPROVED CONDITIONAL USE NO. 1314 AND NO. 1691 ARE UNCHANGED BY THIS APPROVAL, UNLESS SPECIFICALLY MODIFIED HEREIN.
 2. THE USE SHALL BE STRICTLY LIMITED TO THE IMPROVEMENTS SHOWN ON THE APRIL 11, 2013 SITE PLAN PROPOSED BY AXIOM ENGINEERING, LLC. ANY FUTURE ADDITIONS, ALTERATIONS OR IMPROVEMENTS TO THE SITE PLAN SHALL BE SUBJECT TO AN APPLICATION AND PUBLIC HEARING TO AMEND THIS CONDITIONAL USE.
 3. ANY RAIL CARS ACCESSING THE SITE SHALL BE CLEANED AT AN OFF-SITE LOCATION.
 4. THE NOISE AND ODOR EMISSIONS FROM THE OPERATIONS OF THE COMPOSTING FACILITY SHALL NOT EXCEED MINIMUM STANDARDS ESTABLISHED BY DNREC OR ANY OTHER AGENCY HAVING JURISDICTION OVER THE PROJECT. THE ODORS SHALL BE CONTROLLED BY NEGATIVE AIR PRESSURE IN THE RECEIVING BUILDING, A BIO-FILTER, AND BY THE GORE COVER SYSTEM.
 5. THE LANDS ON THE SITE PLAN SURROUNDING THE COMPOSTING FACILITY SHALL REMAIN WOODED NORTH OF THE TRUCK ENTRANCE. THE LOCATION OF ALL WOODED, VEGETATIVE AND BUFFER AREAS SHALL BE SHOWN ON THE FINAL SITE PLAN.
 6. AS PROPOSED BY THE APPLICANT, ALL WOODED AREAS OUTSIDE OF THE APPROXIMATELY 20 ACRE PROJECT AREA SHALL REMAIN AS WOODLANDS. CUT-OVER WOODLANDS SHALL BE ALLOWED TO MATURE.
 7. ANY LIGHTING ON THE SITE SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT ILLUMINATE NEIGHBORING PROPERTIES OR ROADWAYS.
 8. ALL TRUCKS ENTERING THE SITE MUST BE COVERED.
 9. THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.
 - B. THE CONDITIONS LISTED UNDER CONDITIONAL USE NO. 1691, ADOPTED 11 APRIL 2006.
 1. THIS IS AN EXISTING CONDITIONAL USE (NO. 1314) THAT WAS APPROVED BY THE COUNTY COUNCIL IN 1999. THIS APPLICATION WILL NOT MATERIALLY CHANGE THE USE THAT IS PERMITTED UPON THE PROPERTY. THE APPLICANT IS REQUESTING REASONABLE CHANGES TO THE EXISTING CONDITIONAL USE PERMIT TO MEET ITS NEEDS FOR THE RECYCLING OF POULTRY MANURE AND MARKETING OF THE PELLETED MICRO-NUTRIENTS.
 2. THE USE HAS PROVEN TO BE A BENEFIT FOR THE FAMILY FARM AND THE AGRICULTURAL INDUSTRY IN SUSSEX COUNTY. IT HAS ALSO PROVEN TO BE A GOOD WAY TO ELIMINATE A POTENTIAL SOURCE OF EXCESS NITRATES AND PHOSPHATES FROM SUSSEX COUNTY SOILS.
 3. THE APPLICANT HAS REQUESTED THE DELETION OF THE 4th CONDITION OF CONDITIONAL USE NO. 1314 TO ALLOW THE MOVEMENT AND DROP-OFF AND PICK-UP OF RAIL CARS WITHIN THE SITE AT ANY TIME. DELETE CONDITION NO. 4, AS REQUESTED.
 4. THE APPLICANT HAS REQUESTED THAT THE 7th CONDITION BE DELETED TO ALLOW TRUCK TRAVEL TO THE SITE AT ANY TIME; BY ALLOWING TRUCK TRAVEL TO THE SITE AT ANY TIME, THE PLANT CAN OPERATE MORE EFFICIENTLY AND FUEL COSTS WOULD BE REDUCED. DELETE CONDITION NO. 7, AS REQUESTED.
 5. THE APPLICANT HAS REQUESTED AN AMENDMENT TO THE 9th CONDITION TO ALLOW OUTSIDE STORAGE IN WATERTIGHT CONTAINERS; THE MATERIAL WOULD BE STORED IN A NEAT AND ORDERLY FASHION INSIDE WATERTIGHT CONTAINERS. THIS WILL ALSO ALLOW THE PLANT TO OPERATE MORE EFFICIENTLY. THE PLANNING AND ZONING COMMISSION RECOMMENDED THAT THE 9th CONDITION BE MODIFIED TO STATE "ALL ACTIVITIES INVOLVING RAW LITTER SHALL BE INSIDE OF THE BUILDING. THE LOADING, UNLOADING AND PROCESSING OF RAW MATERIAL LITTER SHALL BE WITHIN THE NEGATIVE AIR SECTION OF THE BUILDING. STORAGE OF FINISHED PRODUCT, BOTH PELLETS AND GRANULATED, MAY BE STORED OUTSIDE IN WATERTIGHT CONTAINERS. THE LOADING OF THE FINISHED PRODUCT ONTO TRANSPORT VEHICLES SHALL BE UNDER ROOF." AMEND CONDITION NO. 9 AS REQUESTED AND RECOMMENDED BY THE COMMISSION.
 6. DELETE CONDITION NO. 18 WHICH STATES "NO OPERATING HOURS WILL BE PERMITTED ON SUNDAY."
 7. THE APPLICANT HAS OPERATED THE FACILITY VERY WELL DURING THE PAST FIVE YEARS. EVEN WITH THESE RECOMMENDED AMENDMENTS TO THE EXISTING CONDITIONAL USE, THE NOISE, ODOR, OR OTHER EFFECTS OF THE OPERATIONS ARE NO DIFFERENT THAN OTHER AGRICULTURAL USES THAT EXIST ALL OVER SUSSEX COUNTY.
 - C. THE CONDITIONS LISTED UNDER CONDITIONAL USE NO. 1314 APPROVED 21 DECEMBER 1999.
 1. THE CONDITIONAL USE AREA SHALL BE STRICTLY LIMITED TO THE IMPROVEMENTS SHOWN ON THE SITE PLAN AND ATTACHED SUPPLEMENTS. THE SITE PLAN PREPARED BY MCCORNE ANY FUTURE ADDITIONS, ALTERATIONS, OR IMPROVEMENTS SHALL BE SUBJECT TO AN APPLICATION AND PUBLIC HEARINGS TO AMEND THIS CONDITIONAL USE.
 2. THE PROPOSED TRUCK ENTRANCE AS SHOWN ON THE SUPPLEMENT TO THE SITE PLAN NORTH OF THE BOUNDARY OF THE LANDS OF VICTOR E. MOORE, PARCEL 32, AND SHALL HAVE THE BUFFER AREAS SHOWN ON THE SUPPLEMENT TO THE SITE PLAN VEGETATED WITH NATIVE TREES AND LEYLAND CYPRESS.
 3. THE PROPOSED TRUCK ENTRANCE SHALL BE IMPROVED TO LIMIT DUST WITH BITUMINOUS SURFACE TREATMENT, AS A MINIMUM, FROM ROUTE 13A BACK TO THE RAILROAD RIGHT-OF-WAY.
 4. MOVEMENT OF RAIL CARS WITHIN THE CONDITIONAL USE AREA FOR LOADING PURPOSES SHALL BE LIMITED TO DAYLIGHT HOURS. THE DROP-OFF AND PICK-UP OF RAIL CARS BY THE RAIL COMPANY SERVICING THE SPUR IS NOT RESTRICTED.
 5. RAIL CARS SHALL BE CLEANED OFF-SITE.
 6. ALL TRUCK TRAILERS SHALL HAVE THE RAW LITTER ENCLOSED IN WATERPROOF TARPES AND SHALL BE DESIGNED TO PREVENT LEAKAGE.
 7. TRUCK TRAVEL TO THE SITE SHALL BE DURING DAYLIGHT HOURS LIMITED TO MONDAY THROUGH SATURDAY.
 8. THE PELLETED PRODUCT OF THE PROCESSING PLAN SHALL BE SHIPPED IN ENCLOSED RAILROAD CARS OR ENCLOSED TRACTOR-TRAILERS.
 9. ALL ACTIVITIES SHALL BE LIMITED TO THE INSIDE OF THE BUILDING. THE LOADING, UNLOADING, AND PROCESSING OF RAW MATERIAL LITTER SHALL BE WITHIN THE NEGATIVE AIR SECTION OF THE BUILDING. THE LOADING OF THE FINISHED PRODUCT INTO TRANSPORT VEHICLES SHALL BE UNDER THE ROOF.
 10. THE NOISE AND ODOR EMISSIONS FROM THE PLANT SHALL BE CONTROLLED BY THE NEGATIVE AIR SYSTEM, AND SHALL BE CONTROLLED BY USING BAG HOUSES, CYCLONE FANS AND AIR SCRUBBERS; IN NO EVENT SHALL THE PLANT BE ALLOWED TO OPERATE WITH NOISE OR ODORS EXCEEDING MINIMUM STANDARDS ESTABLISHED BY THE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL OR ANY OTHER AGENCY HAVING JURISDICTION OVER THE PROJECT.
 11. THE LANDS SHOWN ON THE SITE PLAN AS CULTIVATED AND ACQUIRED FROM E. JEAN FLEETWOOD SHALL REMAIN IN THE WOODED AND CULTIVATED STATE NORTH OF THE TRUCK ENTRANCE AND SHALL BE ENHANCED WITH NATIVE TREES AND LEYLAND CYPRESS IN THE BUFFER AREAS SHOWN ON THE SUPPLEMENT TO THE SITE PLAN.
 12. ALL WOODLAND AREAS WITHIN THE SITE AND SHOWN AS WOODLAND AREAS WILL REMAIN AS WOODLAND. CUT-OVER WOODLAND WILL BE ALLOWED TO MATURE.
 13. ALL TIMBER AREAS WILL ONLY BE HARVESTED WITH MANDATORY REPLANTING AFTER HARVEST. NO HARVESTING SHALL OCCUR WITHIN 100 FEET OF A PROPERTY LINE OR PUBLIC ROADWAY.
 14. THE SITE PLAN SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING AND ZONING COMMISSION.
 15. A VEGETATED BUFFER SHALL BE PLANTED AT THE TIME ON-SITE CONSTRUCTION BEGINS.
 16. A PROCESSING PLANT WILL NOT BE PERMITTED ON THE SITE.
 17. ALL LIGHTING ON THE SITE SHALL BE DIRECTED TOWARDS THE SITE AND NO LIGHTING SHALL BE DIRECTED OFF-SITE.
 18. NO OPERATING HOURS WILL BE PERMITTED ON SUNDAY.



DUFFIELD ASSOCIATES
Soil, Water & the Environment

5400 LIMESTONE ROAD
WILMINGTON, DE 19808-1232
TEL: 302.239.6634
FAX: 302.239.8485

OFFICES IN DELAWARE, MARYLAND, PENNSYLVANIA AND NEW JERSEY
WEB: HTTP://DUFFIELD.COM
E-MAIL: DUFFIELD@DUFFIELD.COM

CHECKED BY:	SIG	FILE NAME:
DESIGNED BY:	SAC/JUL	03-06-LG12393CF
DRAWN BY:	SMC/JUL	
STEPHEN J. GORSKI, P.E.		

NO.	REVISION

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC
25 BURENDIX ROAD
COLUMBIA, MD 21045

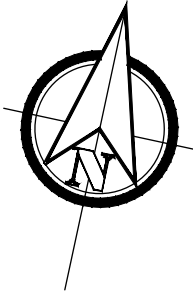
OVERALL SITE PLAN

FINAL SITE PLAN

BIOENERGY DEVELOPMENT GROUP, LLC

SUSSEX COUNTY - DELAWARE

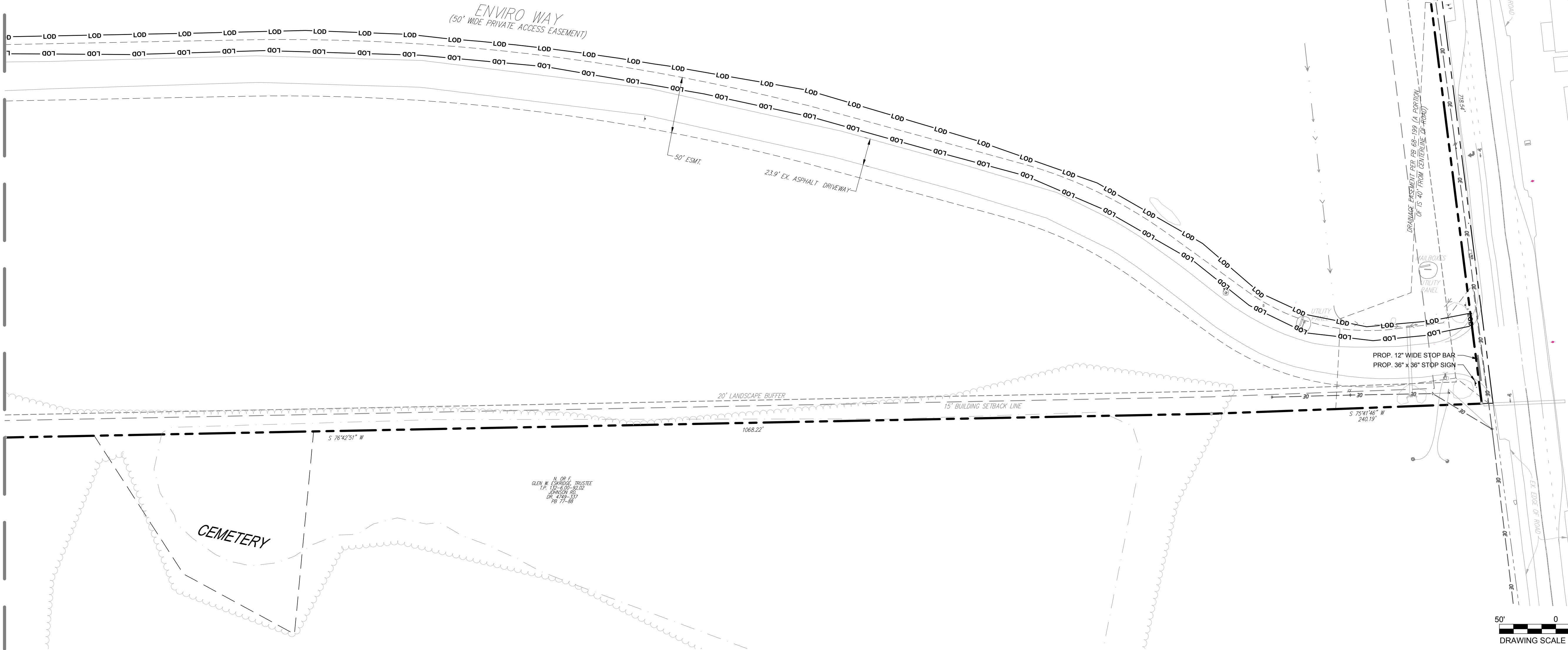
DATE: 30 NOVEMBER 2020
SCALE: 1" = 200'
PROJECT NO. 12393.CF
SHEET: C3 OF 17



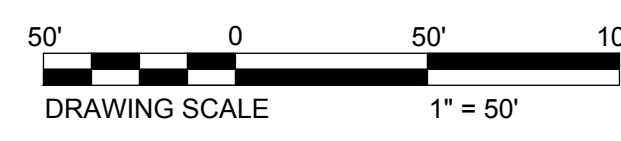
MATCHLINE - SEE SHEET 5

N. DR. F.
BY: J. H. BELL, LLC
15' WIDE ROAD
DATE: 09/17/20
DR. 2454-183

SEAFORD ROAD
(MAINTENANCE ROAD NO. 5 ROAD (A)
(PORTION 60' WIDE - 50' FROM (A)
(AND 10' WIDE - 40' FROM (A))



N. DR. F.
BY: J. H. BELL, LLC
15' WIDE ROAD
DATE: 09/17/20
DR. 2454-183



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WILMINGTON, DE 19808-1232
TEL: 302.239.6634
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OFFICES IN DELAWARE, MARYLAND, PENNSYLVANIA AND NEW JERSEY
WEB: HTTP://DUFFNET.COM
E-MAIL: DUFFIELD@DUFFNET.COM

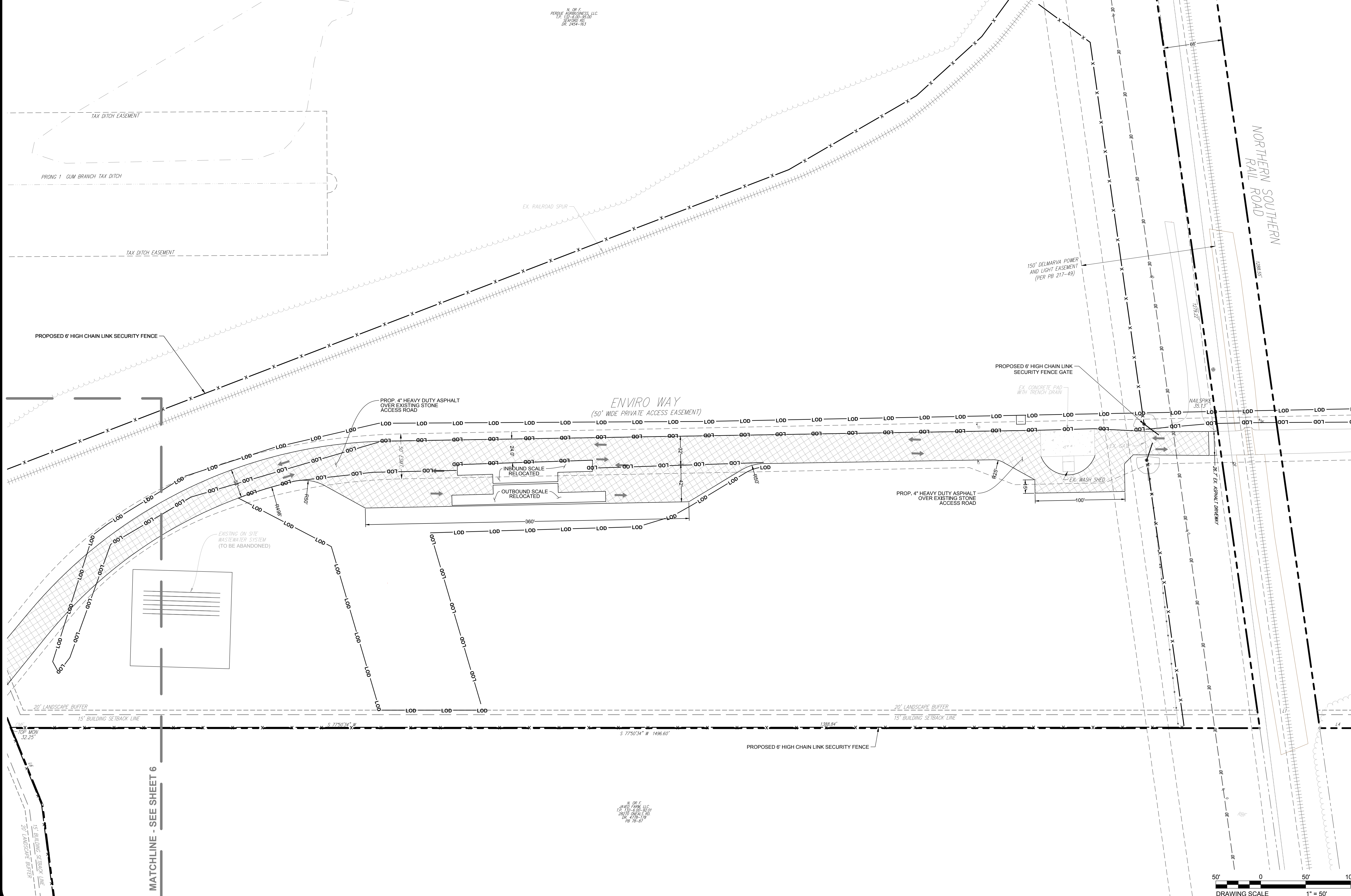
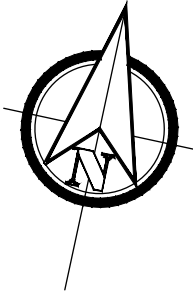
CHECKED BY:	SIG
	STEPHEN J. GORSKI, P.E.
DESIGNED BY:	SCHJLL
DRAWN BY:	SMC/JLL
FILE NAME:	03-06-LG12393CF-80

CHECKED BY:	DATE	REVISION

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC
229 BRENDA ROAD
COLUMBIA, MD 21045

SITE PLAN FINAL SITE PLAN BIOENERGY DEVELOPMENT GROUP, LLC SUSSEX COUNTY ~ DELAWARE

DATE: 30 NOVEMBER 2020
SCALE: 1" = 50'
PROJECT NO. 12393.CF
SHEET: C4 OF 17



N. OR F.
PERMIT APPROVALS, LLC
101 15TH FLOOR
2000 MARKET RD.
DELAWARE, DE 19801

N. OR F.
PERMIT APPROVALS, LLC
101 15TH FLOOR
2000 MARKET RD.
DELAWARE, DE 19801

MATCHLINE - SEE SHEET 4

MATCHLINE - SEE SHEET 6

DUFFIELD ASSOCIATES
Soil, Water & the Environment

5400 LIMESTONE ROAD
WILMINGTON, DE 19808-1232
TEL: 302.239.6634
FAX: 302.239.8485

OFFICES IN DELAWARE, MARYLAND,
PENNSYLVANIA AND NEW JERSEY
WEB: HTTP://DUFFIELD.COM
E-MAIL: DUFFIELD@DUFFIELD.COM

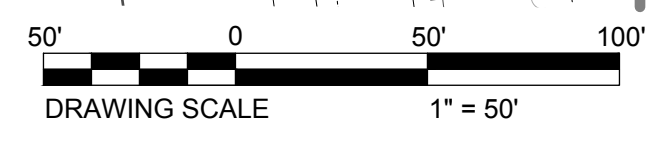
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DATE:	DRAWN BY: SMC/JL	STEPHEN J. GORSKI, P.E.
REVISION	NO.	DATE

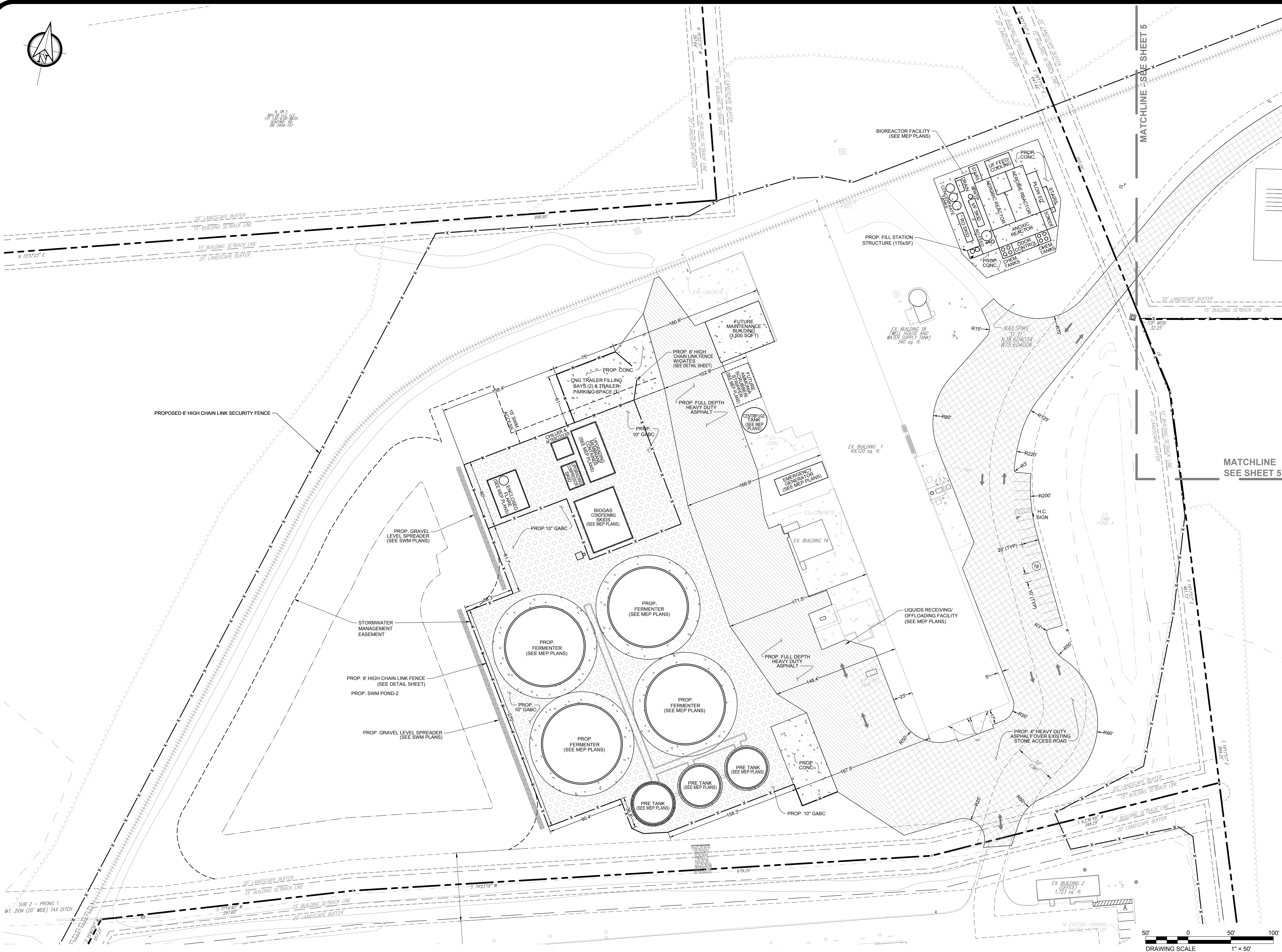
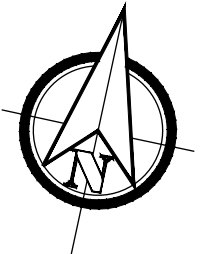
NO.	REVISION	DATE

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC
220 BRENDA ROAD
COLUMBIA, MD 21045

**SITE PLAN
FINAL SITE PLAN
BIOENERGY DEVELOPMENT
GROUP, LLC
SUSSEX COUNTY ~ DELAWARE**

DATE: 30 NOVEMBER 2020
SCALE: 1" = 50'
PROJECT NO. 12393.CF
SHEET: C5 OF 17





DUFFIELD ASSOCIATES
Soil, Water & the Environment

5400 LIMESTONE ROAD
WILMINGTON, DE 19808-1232
TEL: 302.239.6634
FAX: 302.239.8485

OFFICES IN DELAWARE, MARYLAND, PENNSYLVANIA AND NEW JERSEY
WEB: HTTP://DUFFNET.COM
E-MAIL: DUFFIELD@DUFFNET.COM

CHECKED BY:	SG	FILE NAME:	03-06-LG1239CF
DESIGNED BY:	SMC/JL	DRAWN BY:	SMC/JL
DATE:			

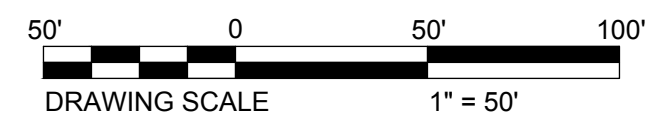
STEPHEN J. GORSKI, P.E.

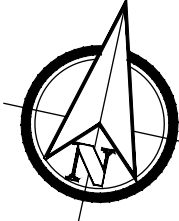
REVISION	NO.	DESCRIPTION

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC
421 BURENDEN ROAD
COLUMBIA, MD 21045

SITE PLAN
FINAL SITE PLAN
BIOENERGY DEVELOPMENT
GROUP, LLC
SUSSEX COUNTY ~ DELAWARE

DATE: 30 NOVEMBER 2020
SCALE: 1" = 50'
PROJECT NO. 12393.CF
SHEET: C6 OF 17





MATCHLINE - SEE SHEET 8

N. OF P. 894 26 L.L.C.
L.S. 137-83-2870
SHEET 20
DR. 2454-163

ENVIRO WAY
(50' WIDE PRIVATE ACCESS EASEMENT)

PROPOSED FORCE MAIN

50' ESMT.

23.9' EX ASPHALT DRIVEWAY

20' LANDSCAPE BUFFER

15' BUILDING SETBACK LINE

PROP. 12" WIDE STOP BAR
PROP. 36" x 86" STOP SIGN

50' 0 50' 100'
DRAWING SCALE 1" = 50'

CEMETERY

N. OF P. GLK N ENVIRO SERVICE
L.S. 137-83-2870
SHEET 21
DR. 2454-163

DUFFIELD ASSOCIATES
Soil, Water & the Environment
4500 LIMESTONE ROAD
WILMINGTON, DE 19808-1232
TEL. 302.239.6634
FAX 302.239.8485
OFFICES IN DELAWARE, MARYLAND, PENNSYLVANIA AND NEW JERSEY
WEB: HTTP://DUFFNET.COM
E-MAIL: DUFFIELD@DUFFNET.COM

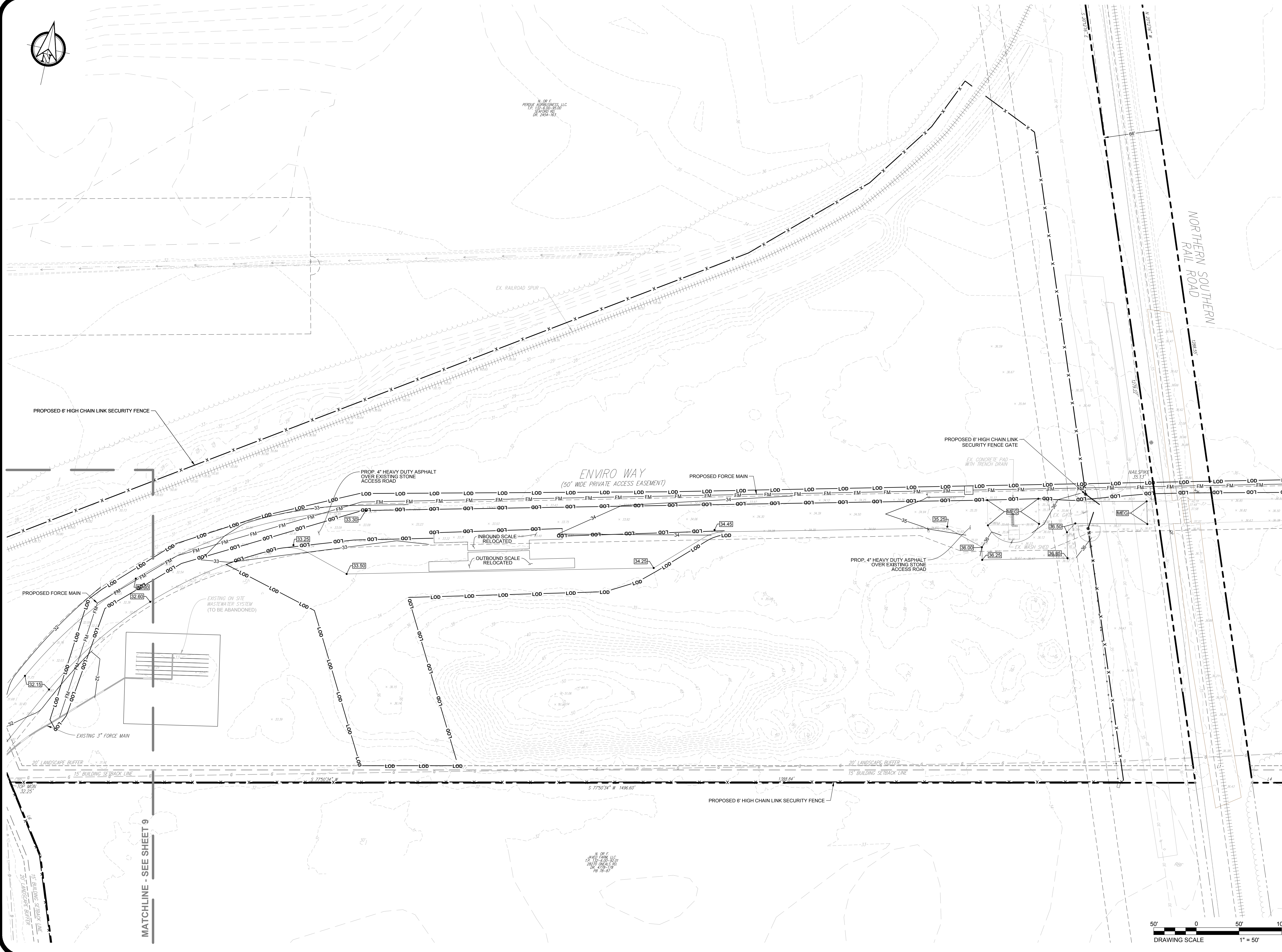
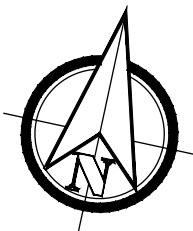
CHECKED BY: SIG
DESIGNED BY: SCLJL
DRAWN BY: SMCJL
FILE NAME: 07-09-LG12393CF
STEPHEN J. GORSKI, P.E.

CHK BY DATE	REVISION

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC
22 BURENDX ROAD
COLUMBIA, MD 21045

GRADING PLAN
FINAL SITE PLAN
BIOENERGY DEVELOPMENT GROUP, LLC
SUSSEX COUNTY ~ DELAWARE

DATE: 30 NOVEMBER 2020
SCALE: 1" = 50'
PROJECT NO. 12393.CF
SHEET: C7 OF 17



PROPOSED 6' HIGH CHAIN LINK SECURITY FENCE

PROP. 4" HEAVY DUTY ASPHALT OVER EXISTING STONE ACCESS ROAD

ENVIRO WAY (50' WIDE PRIVATE ACCESS EASEMENT)

PROPOSED FORCE MAIN

PROPOSED 6' HIGH CHAIN LINK SECURITY FENCE GATE

EX. CONCRETE PAD WITH TRENCH DRAIN

PROPOSED FORCE MAIN

EXISTING ON SITE WASTEWATER SYSTEM (TO BE ABANDONED)

INBOUND SCALE RELOCATED

OUTBOUND SCALE RELOCATED

PROP. 4" HEAVY DUTY ASPHALT OVER EXISTING STONE ACCESS ROAD

EXISTING 3" FORCE MAIN

MATCHLINE - SEE SHEET 9

PROPOSED 6' HIGH CHAIN LINK SECURITY FENCE

NORTHERN RAILROAD SOUTHERN RAILROAD

N. OF P. PERIPE ASSOCIATES, LLC 100 12100 2500 SANDY HILL DR. ROCKFORD, IL 60067

N. OF P. PERIPE ASSOCIATES, LLC 100 12100 2500 SANDY HILL DR. ROCKFORD, IL 60067

MATCHLINE - SEE SHEET 7

CHECKED BY:	SCHJUL	DESIGNED BY:	DATE	REVISION			NO.
SIG		SMC/JUL					
FILE NAME:	07-09-LG12393CF.dwg						
DRAWN BY:	STEPHEN J. GORSKI, P.E.						

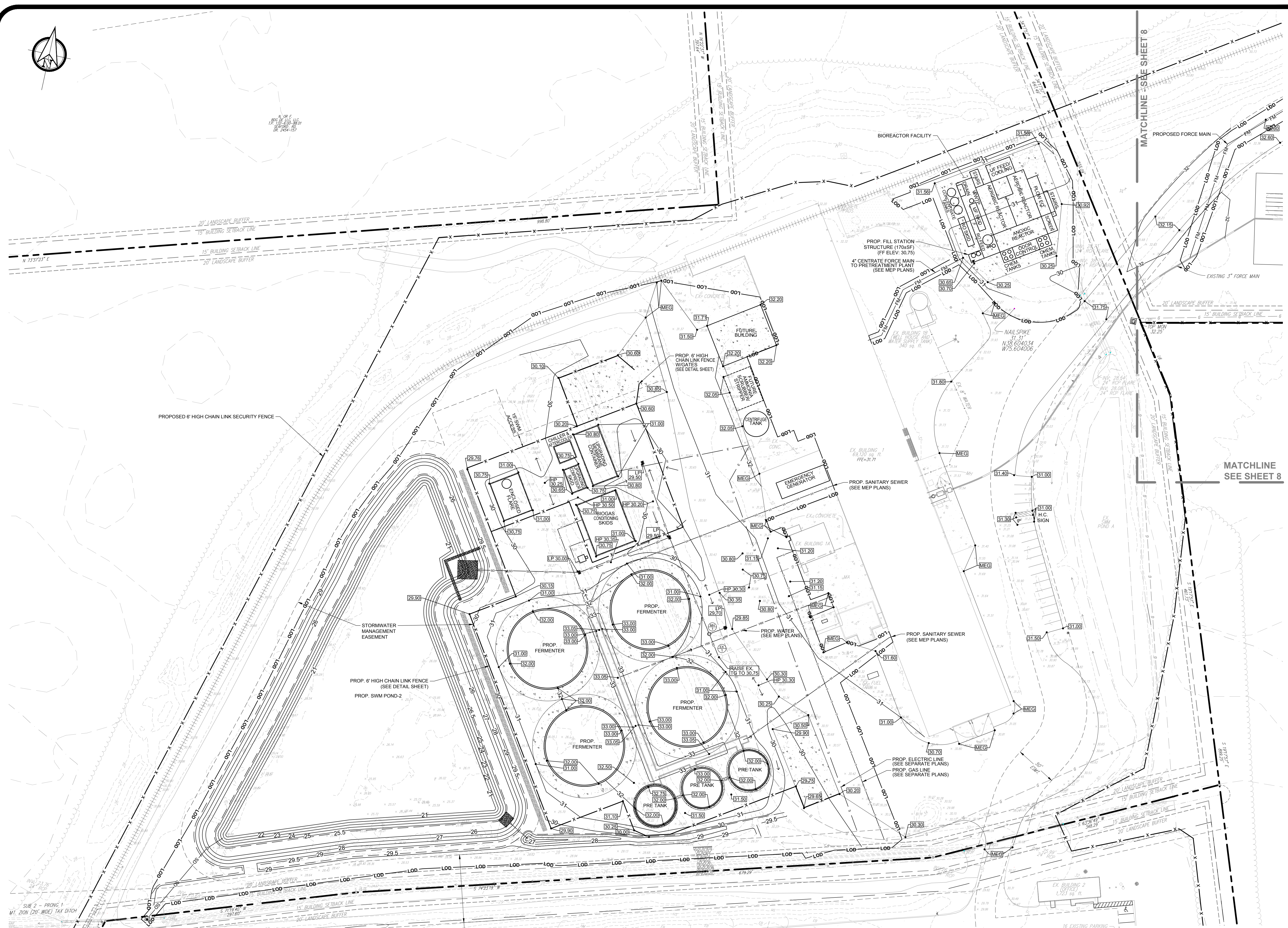
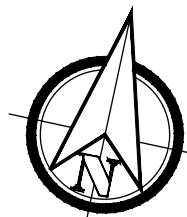
OWNER: BIOENERGY DEVELOPMENT GROUP, LLC
 2500 BURNSIDE ROAD
 COLUMBIA, MD 21045

GRADING PLAN
FINAL SITE PLAN
BIOENERGY DEVELOPMENT
GROUP, LLC
 SUSSEX COUNTY ~ DELAWARE

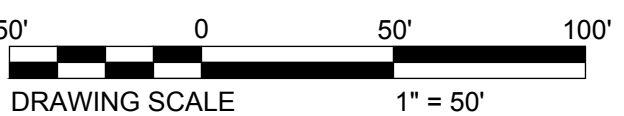
DATE: 30 NOVEMBER 2020
 SCALE: 1" = 50'
 PROJECT NO. 12393.CF
 SHEET: C8 OF 17

DUFFIELD ASSOCIATES
 Soil, Water & the Environment
 5400 LIMESTONE ROAD
 WILMINGTON, DE 19808-1232
 TEL: 302.239.6634
 FAX: 302.239.8485
 OFFICES IN DELAWARE, MARYLAND, PENNSYLVANIA AND NEW JERSEY
 WEB: [HTTP://DUFFIELD.NET](http://duffield.net)
 E-MAIL: DUFFIELD@DUFFIELD.NET
 STATE: DELAWARE P.E.#: 12625





NOTE:
 ALL FILL AND BACKFILL SHALL BE COMPACTED
 TO 95% OF MAX. DRY DENSITY PER ASTM D-698



CHECKED BY:	SG
DESIGNED BY:	SMC/JUL
FILE NAME:	07-09-1012393CF
DRAWN BY:	
STEPHEN J. GORSKI, P.E.	
STATE DELAWARE	
P.E. # 1245	

NO.	REVISION

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC
 250 BRENDA ROAD
 COLUMBIA, MD 21045

**GRADING PLAN
 FINAL SITE PLAN
 BIOENERGY DEVELOPMENT
 GROUP, LLC
 SUSSEX COUNTY ~ DELAWARE**

DATE: 30 NOVEMBER 2020
 SCALE: 1" = 50'
 PROJECT NO. 12393.CF
 SHEET: C9 OF 17

DUFFIELD ASSOCIATES
Soil, Water & the Environment

5400 LIMESTONE ROAD
WILMINGTON, DE 19808-1232
TEL: 302.239.6634
FAX: 302.239.8485

OFFICES IN DELAWARE, MARYLAND, PENNSYLVANIA AND NEW JERSEY
WEB: HTTP://DUFFINET.COM
E-MAIL: DUFFIELD@DUFFINET.COM

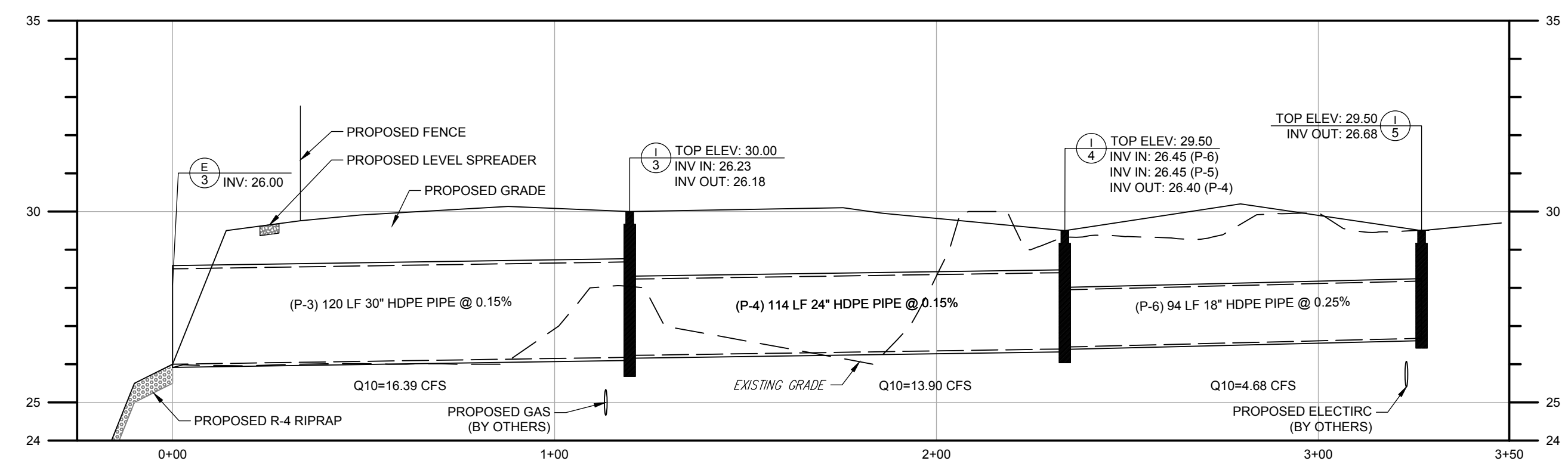
CHECKED BY: **SG**
DESIGNED BY: **FTOJL**
DRAWN BY: **FTOJL**
FILE NAME: **10_111012393CF**
STEPHEN J. GORSKI, P.E.
STATE DELAWARE P.E.#: 12625

NAME	BOX DESCRIPTION	TOP UNIT	GRATE	T.G. ELEV.	INVERT(S) IN	INVERT(S) OUT
E-3	30 IN FLARED END SECTION				26.00 (P-3 - 30")	
I-3	34 X 24 INLET	TYPE C	SINGLE - TYPE 1	30.00	26.23 (P-4 - 24")	26.18 (P-3 - 30")
I-4	34 X 24 INLET	TYPE C	SINGLE - TYPE 1	29.50	26.45 (P-5 - 18") 26.45 (P-6 - 18")	26.40 (P-4 - 24")
I-5	34 X 24 INLET	TYPE C	SINGLE - TYPE 1	29.50		26.68 (P-6 - 18")
I-7	34 X 24 INLET	TYPE C	SINGLE - TYPE 1	29.70		27.20 (P-8 - 15")
MH-1	48 X 30 BOX MH	MH	SINGLE - MH	30.25	27.00 (P-7 - 15") 27.00 (P-8 - 15")	26.98 (P-5 - 18")
EX-1				30.75		28.40 (P-7 - 15")

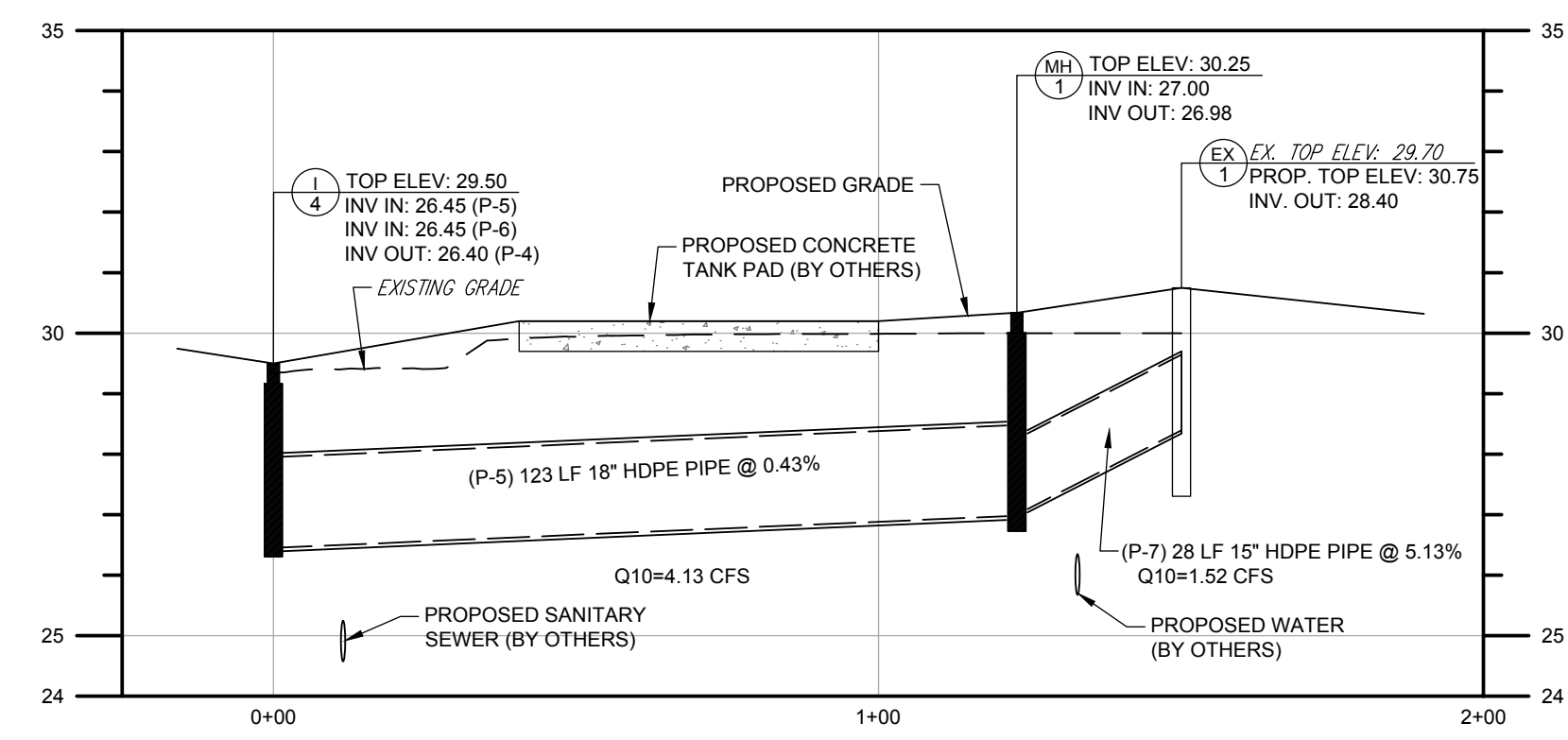
PIPE	FROM	TO	SIZE	TYPE	LENGTH	SLOPE	INVERT ELEVATION IN	INVERT ELEVATION OUT
P3	3	E-3	30"	HDPE PIPE	120 LF	0.15%	26.18	26.00
P4	4	3	24"	HDPE PIPE	114 LF	0.15%	26.40	26.23
P5	MH1	4	18"	HDPE PIPE	123 LF	0.43%	26.98	26.45
P6	5	4	18"	HDPE PIPE	93 LF	0.25%	26.68	26.45
P7		MH1	15"	HDPE PIPE	27 LF	5.13%	28.40	27.00
P8	7	MH1	15"	HDPE PIPE	20 LF	1.00%	27.20	27.00

NO.	REVISION

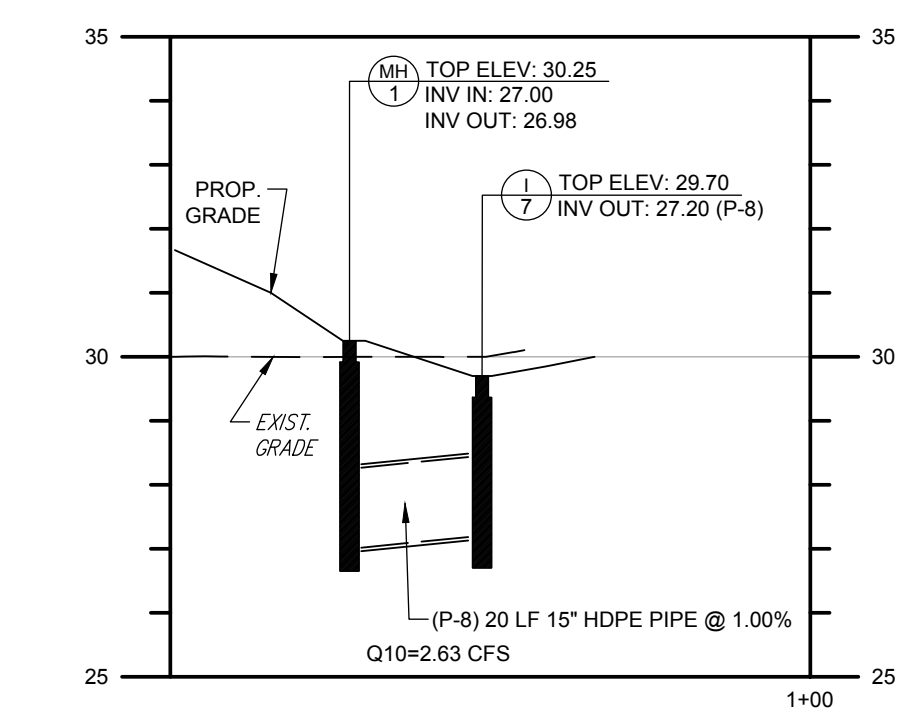
OWNER: BIOENERGY DEVELOPMENT GROUP, LLC
22 BURENDIX ROAD
COLUMBIA, MD 21045



SWM 2: STA. -0+25 TO STA. 3+50
SCALE: HORIZONTAL 1" = 30', VERTICAL 1" = 3'

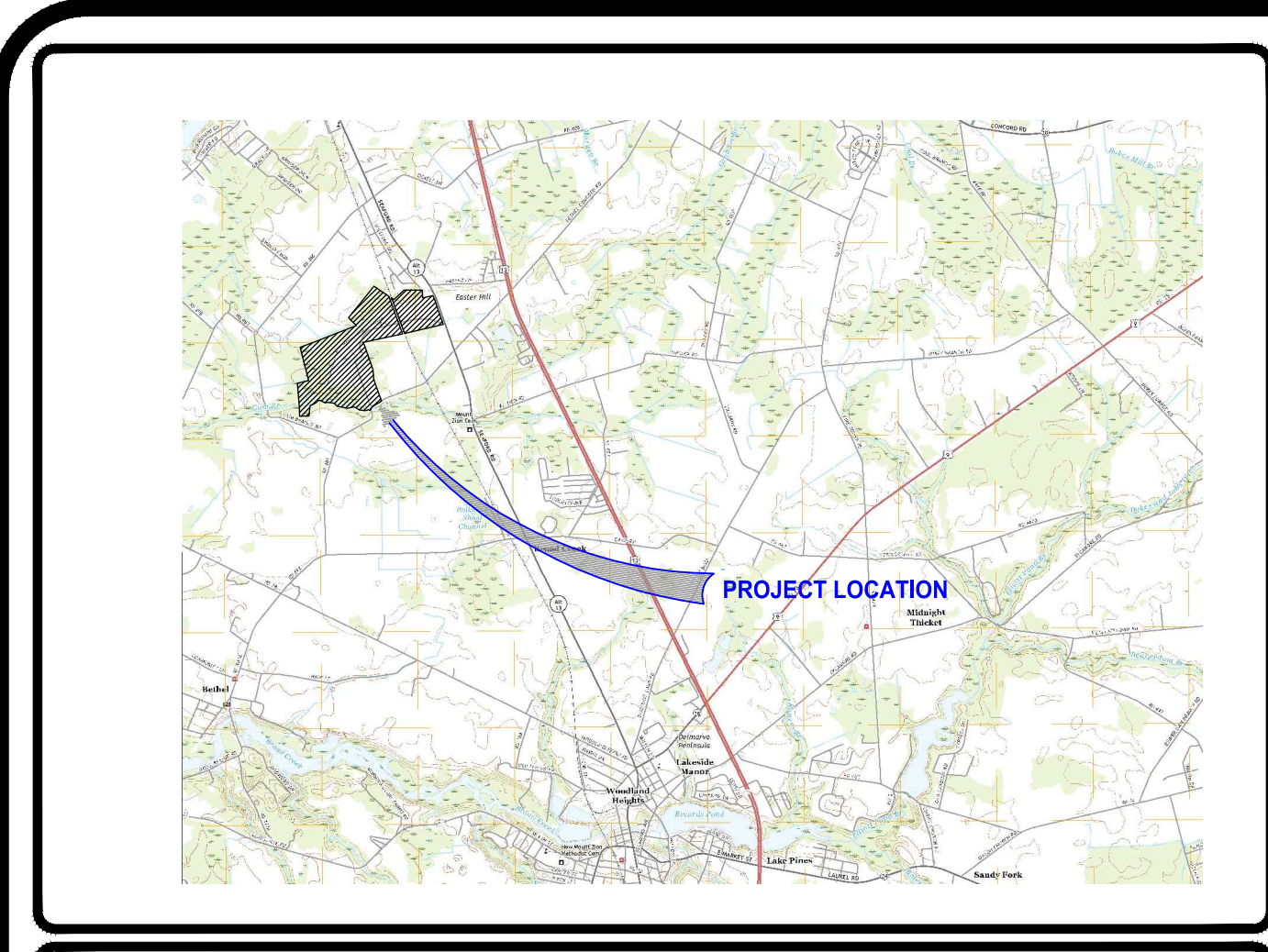


SWM 3: STA. -0+25 TO STA. 2+00
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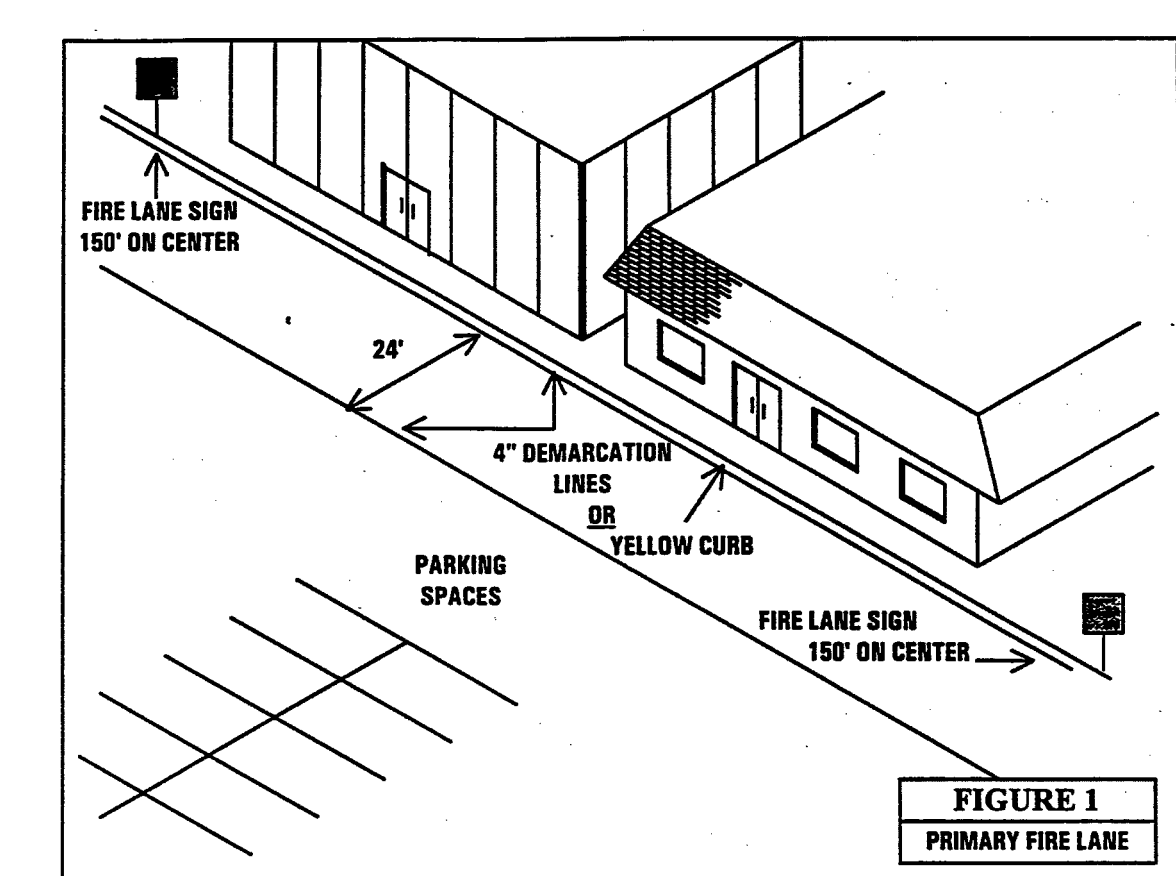
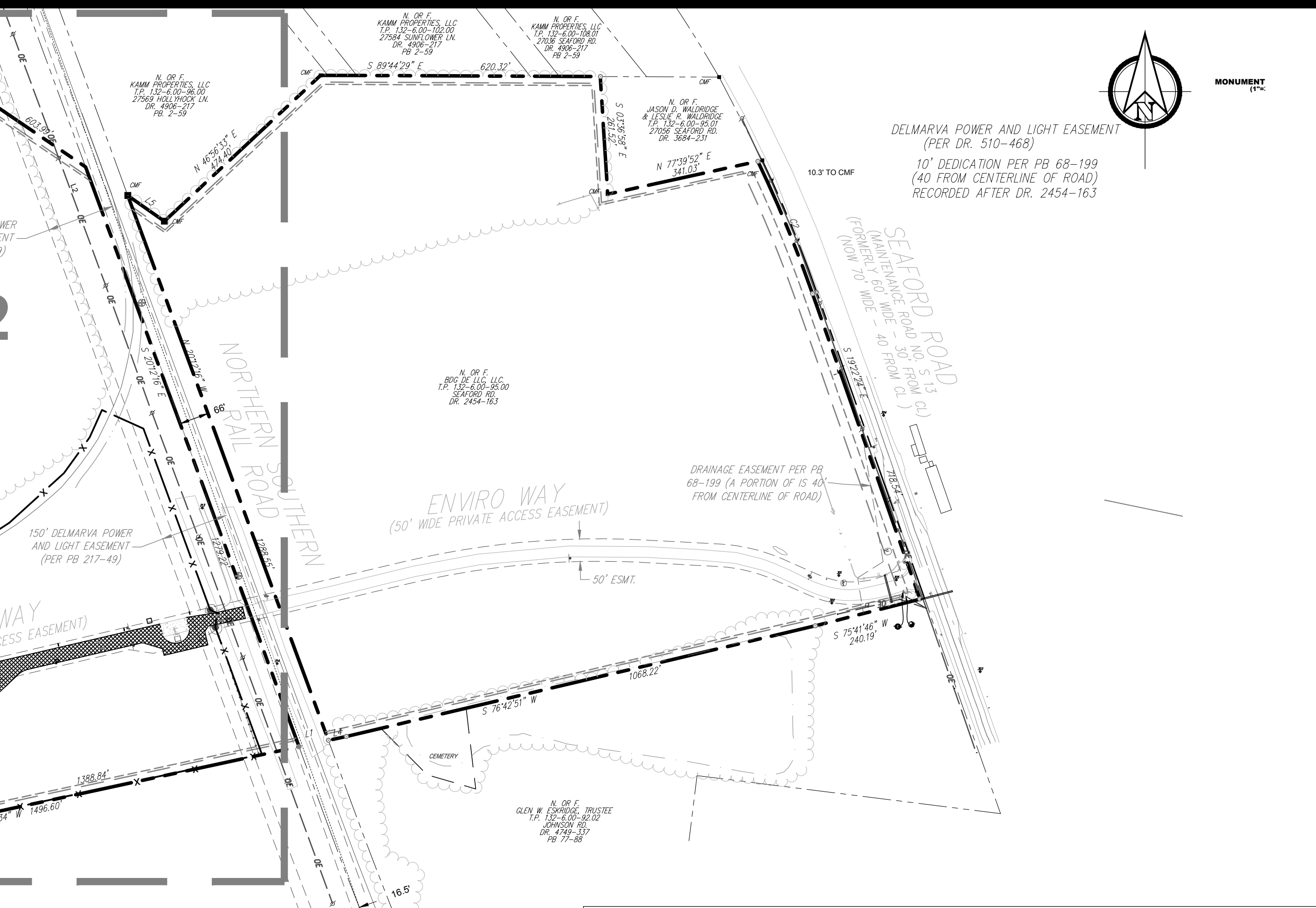
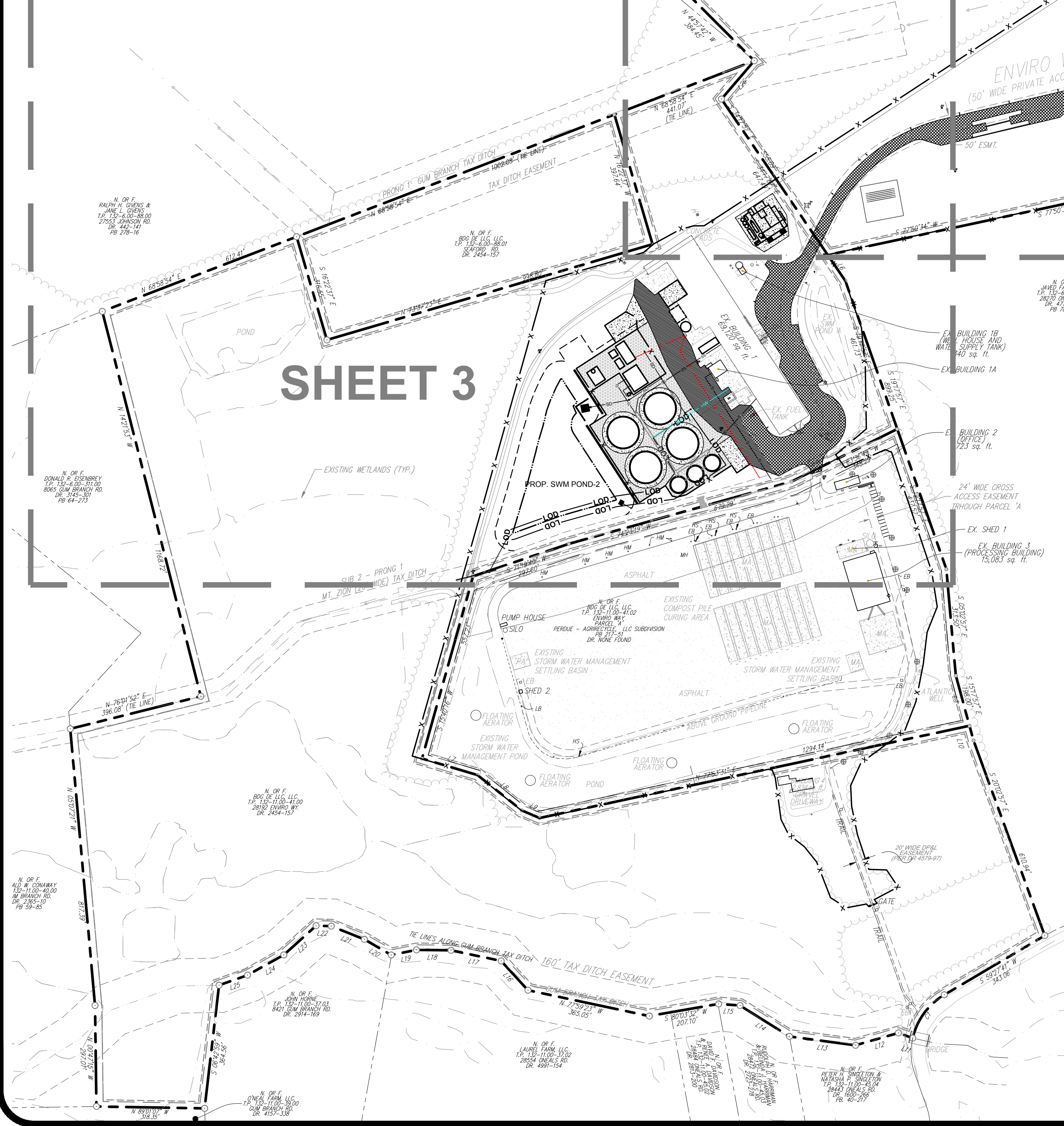


SWM 1: STA. 0+00 TO STA. 1+00
SCALE: HORIZONTAL 1" = 30', VERTICAL 1" = 3'

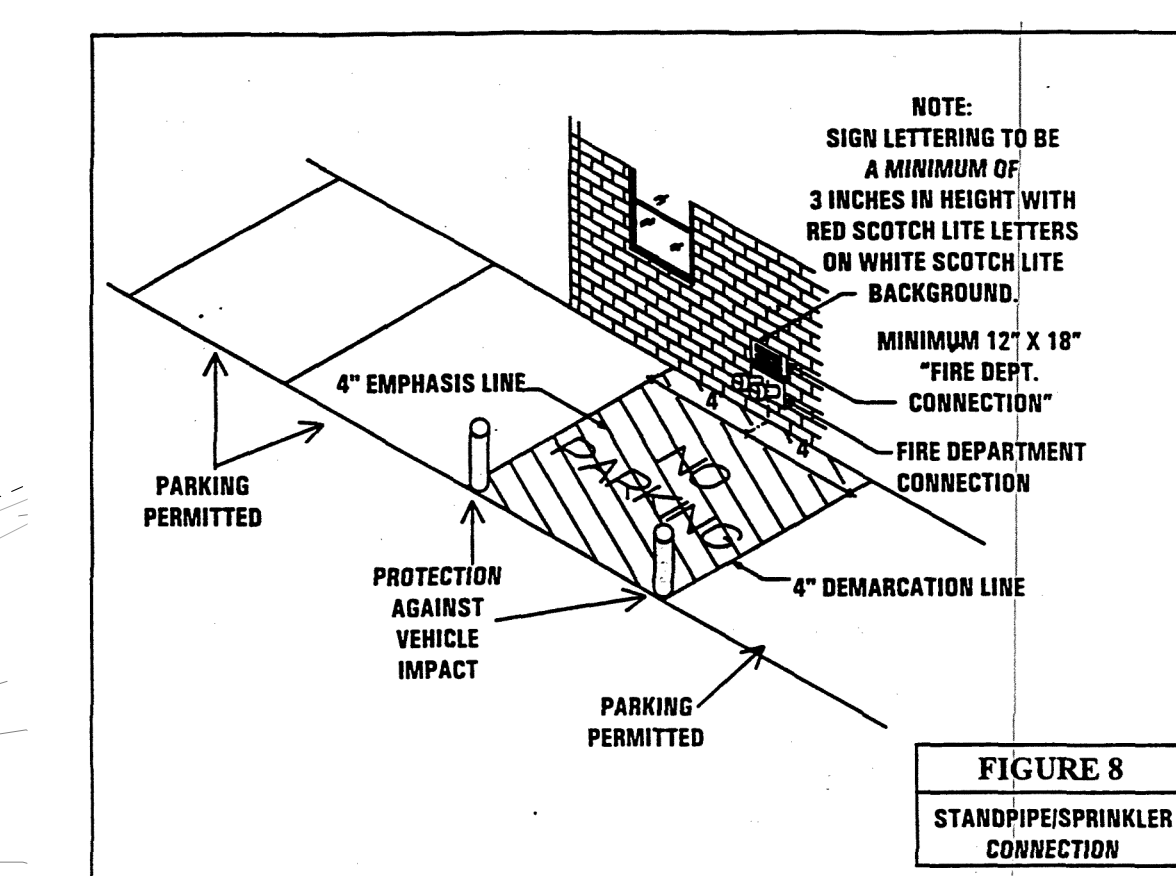
STORM DRAIN TABLES AND PROFILES
FINAL SITE PLAN
BIOENERGY DEVELOPMENT GROUP, LLC
SUSSEX COUNTY ~ DELAWARE



MAP: USGS MAP LAUREL, DEL. 2019
 LOCATION MAP
 SCALE: 1" = 6000'



DETAIL: FIRE LANE MARKING
 SCALE: NONE



DETAIL: STANDPIPE CONNECTION
 SCALE: NONE

GENERAL NOTE				
1. Tax Parcel No.	132-8-00-88.01	132-8-00-88.00	132-11-00-41-00	132-11-00-41-02
2. Source of Title	DR. 2454-157	DR. 2454-163	DR. 2454-163	DR. 2454-157
3. Supporting Documents:	OFF ENVIRO WAY SEAFORD, DE 19073	SEAFORD ROAD SEAFORD, DE 19073	38333 ENVIRO WAY SEAFORD, DE 19073	SEAFORD DEED NOT RECORDED REFER TO PB 230-49
4. Parcel Address:	SUSSEX COUNTY, DELAWARE	SEAFORD ROAD SEAFORD, DE 19073	38333 ENVIRO WAY SEAFORD, DE 19073	ENVIRO WAY SEAFORD, DE 19073
5. Zoning:	Zone: AR-1	AR-1	AR-1	AR-1
	Lot Area (Sq. Ft.) 32,670 SQ. FT.	32,670 SQ. FT.	32,670 SQ. FT.	32,670 SQ. FT.
	Lot Width (Seps.) 100' (150' FRONTING ROAD)	100' (150' FRONTING ROAD)	100' (150' FRONTING ROAD)	100' (150' FRONTING ROAD)
	Lot Depth (Seps.) 100'	100'	100'	100'
	Front Yard 40'	40'	40'	40'
	Side Yard 15'	15'	15'	15'
	Rear Yard 20'	20'	20'	20'
	Lot Width Minimum 100' (150' FRONTING ROAD)	100' (150' FRONTING ROAD)	100' (150' FRONTING ROAD)	100' (150' FRONTING ROAD)
	Height Maximum 42'	42'	42'	42'
	Landscape Buffer: 20'	20'	20'	20'
A ZONING CERTIFICATION LETTER OR REPORT WAS NOT RECEIVED FOR THIS SURVEY. THE ZONING SHOWN HEREIN IS FROM A CURSORY REVIEW OF THE ZONING CODE OF SUSSEX COUNTY, DELAWARE, CHAPTER 115, ARTICLE IV, SECTION 115-29 (AS OF JULY 25, 2019). NOTE: IT IS STRONGLY ADVISED TO CONTACT THE JURISDICTIONAL CONTROLLING AUTHORITIES FOR UP TO DATE INFORMATION, INTERPRETATIONS AND VERIFICATION OF THE MOST RECENT ZONING CODE, ASSOCIATED REGULATIONS AND RECENTLY PROPOSED ORDINANCES.				

8. Acreage			TOTAL				
Existing	435,600+/- SF (10.00+/- AC)	3,055,900.40+/- SF (69.84+/- AC)	4,253,168.40+/- SF (97.64+/- AC)	1,159,567.20+/- SF (26.62+/- AC)	9,805,566.00+/- SF (225.10+/- AC)		
Buildings	BLDG 1 88,120 +/- SF		BLDG 2 1,723 +/- SF	BLDG 3 15,000 +/- SF	87,528 +/- SF (2.01+/- AC)		
Stormwater Mgmt	82,800 +/- SF (1.90+/- AC)		72,811 +/- SF (1.67+/- AC)	182,513 +/- SF (4.19+/- AC)	248,124 +/- SF (5.67+/- AC)		
Open Space	435,600+/- SF (10.00+/- AC)	3,061,187.15+/- SF (69.82+/- AC)	4,067,244.54+/- SF (93.37+/- AC)	303,666.45+/- SF (6.95+/- AC)	8,755,727.34+/- SF (200.54+/- AC)		
Other Intervenues	87,803.25+/- SF (2.02+/- AC)	43,400.864+/- SF (0.97+/- AC)		596,552.75+/- SF (13.69+/- AC)	726,756.864+/- SF (16.68+/- AC)		
Prepared:							
Buildings	MANUFACTURING BLDG 3,500 SF				3,570 SF (0.08+/- AC)		
Stormwater Mgmt	FILL STATION (BIO REACTOR AREA) 170 SF		63,138.88+/- SF (1.39+/- AC)	182,513 +/- SF (4.19+/- AC)	242,840.40+/- SF (5.57+/- AC)		
Open Space	435,600+/- SF (10.00+/- AC)	3,061,187.15+/- SF (69.82+/- AC)	3,965,825.72+/- SF (91.04+/- AC)	303,666.45+/- SF (6.95+/- AC)	8,654,318.52+/- SF (198.22+/- AC)		
Other Intervenues	87,803.25+/- SF (2.02+/- AC)	43,400.864+/- SF (0.97+/- AC)		596,552.75+/- SF (13.69+/- AC)	837,384.22+/- SF (19.22+/- AC)		
Existing Spaces					15 (INCL. 1 ADA SP.)		
Proposed Spaces:	3,670 +/- SF OF 6 @ 1 PARKING SPACE @ 200 SF/6 GA				18 (INCL. 1 ADA SP.)		
					33 SPACES TOTAL		

9. Flood Zone Designations: FLOOD ZONE DESIGNATION: SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X (UNSHADED) AND HAS BEEN DETERMINED TO BE OUTSIDE OF THE 100 YEAR FLOODPLAIN PER FEMA MAP NO. 100000040 K, PANEL NO. 407 OF 606, DATED MARCH 18, 2015 (REVISED).

10. Record Plans: NONE [NONE] NONE [PB 217-49]

11. Utilities: NONE [NONE] NONE [PB 217-49]

12. Vertical Datum: NAVD 88 NAVD

13. Bearing Reference: NAD 83 DELAWARE STATE PLANE

14. Owner Data: BIOENERGY DEVELOPMENT GROUP, LLC
 8250 BENDIX ROAD
 COLUMBIA, MD 21046

15. Water Service: EXISTING PRIVATE WELL

16. Sewer Service: EXISTING SEPTIC TO BE ABANDONED. PROPOSED PUBLIC SYSTEM (NEW SUSSEX COUNTY DISTRICT)

- FIRE MARSHAL NOTES:
1. ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED AND MAINTAINED IN ACCORDANCE WITH THE STATE OF DELAWARE FIRE PROTECTION REGULATIONS.
 2. THE EXISTING AND PROPOSED BUILDING ADDITIONS WILL BE PROTECTED BY AUTOMATIC SPRINKLERS IN ACCORDANCE WITH NFPA 13.
 3. BUILDING CONSTRUCTION WILL BE MASONRY AND STEEL.
 4. THE EXISTING BUILDING HEIGHT IS 30' ± AND THE PROPOSED TANK HEIGHT IS 40'.
 5. THE PROPOSED BUILDING SHALL HAVE STANDPIPES INSTALLED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS AND NFPA 14.
 6. LOCK BOX REQUIRED. CONTACT LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF BOX ON THE BUILDING.
 7. FIRE SUPPRESSION WATER IS PROVIDED BY AN EXISTING 66,000 GALLON FIRE TANK LOCATED ON THE EAST SIDE OF THE EXISTING BUILDING.

200' 0 200' 400'
 DRAWING SCALE
 1" = 200'

OVERALL SITE PLAN

STATE FIRE MARSHAL PLAN

BIOENERGY DEVELOPMENT GROUP, LLC

SUSSEX COUNTY ~ DELAWARE

DATE: 30 NOVEMBER 2020

SCALE: 1" = 200'

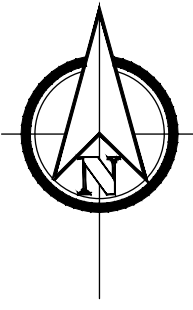
PROJECT NO. 12393.EA

SHEET: C13 OF 17

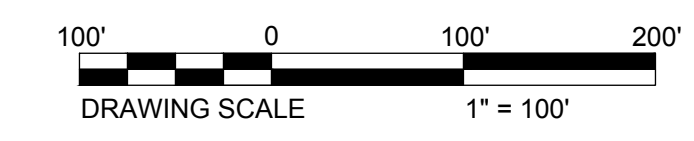
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 FILE NAME: 13_15_12393CF-SF-40
 DESIGNED BY: BRK
 DRAWN BY: BRK
 STEPHEN J. GORSKI, P.E.
 STATE DELAWARE P.E.#: 12425

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC
 8250 BENDIX ROAD
 COLUMBIA, MD 21046

DUFFIELD ASSOCIATES
 Soil, Water & the Environment
 5400 LIMESTONE ROAD
 WILMINGTON, DE 19808-1232
 TEL: 302.239.6634
 FAX: 302.239.8485
 OFFICES IN DELAWARE, MARYLAND, PENNSYLVANIA AND NEW JERSEY
 WEB: HTTP://DUFFIELD.COM
 E-MAIL: DUFFIELD@DUFFIELD.COM



MATCHLINE - SEE SHEET 3



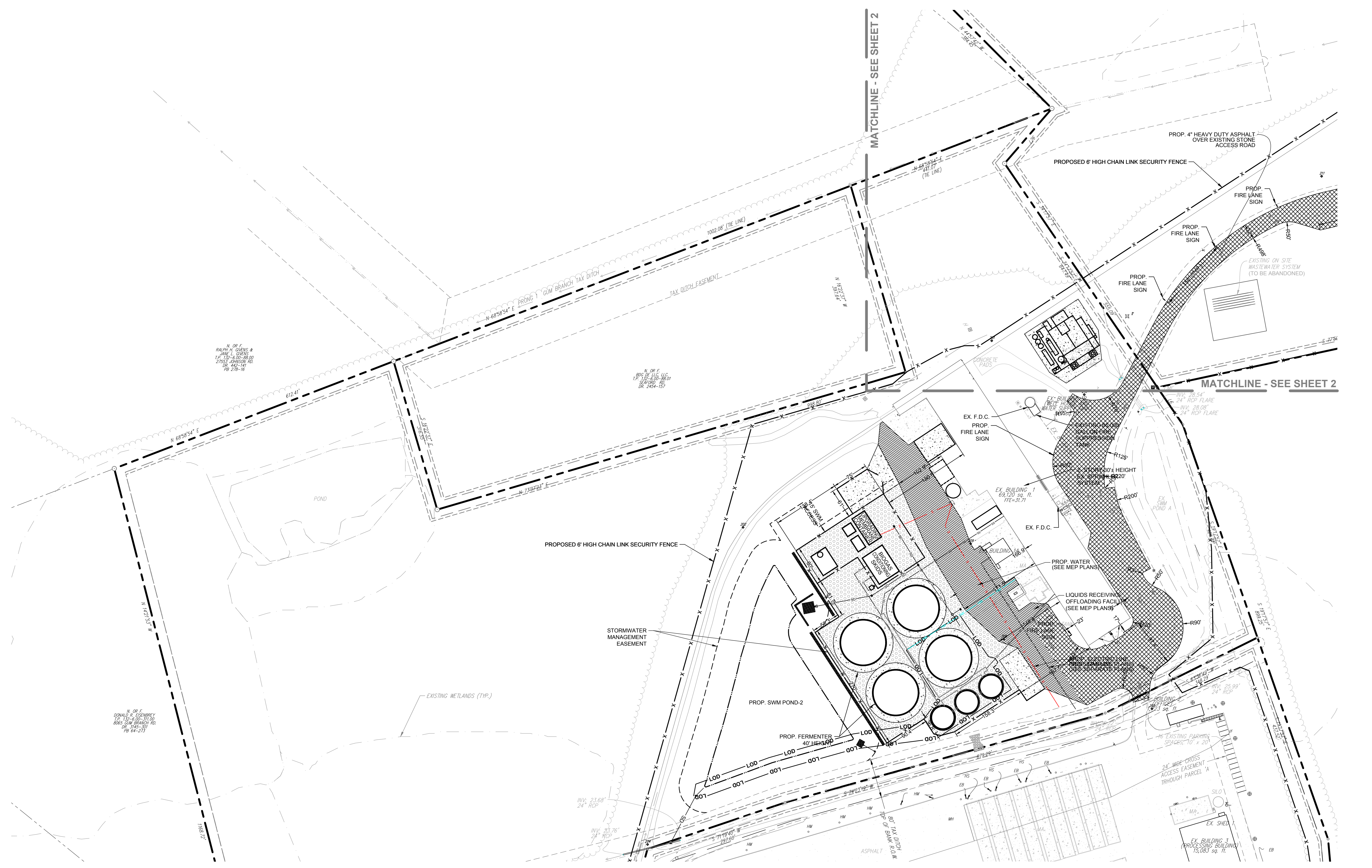
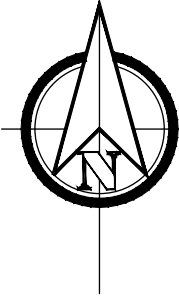
DATE: 30 NOVEMBER 2020
 SCALE: 1" = 100'
 PROJECT NO. 12393.EA
 SHEET: C14 OF 17

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC
25 BURENDAK ROAD
COLUMBIA, MD 21045

SITE PLAN
STATE FIRE MARSHAL PLAN
BIOENERGY DEVELOPMENT
GROUP, LLC
 SUSSEX COUNTY ~ DELAWARE

No.	REVISION	CHECKED BY:	DESIGNED BY:
			SG
		FILE NAME:	DRAWN BY:
		13_15_12393EFCF_SF_40	SMC/UL
		STEPHEN J. GORSKI, P.E.	
		STATE DELAWARE	P.E.#: 12625

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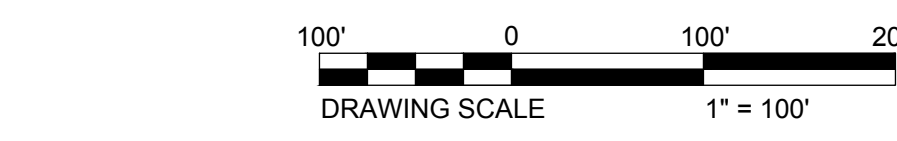


N. OF E.
RALPH N. OWENS &
W. L. OWENS
PLANNING & ENGINEERING
7501 N. W. 10TH AVE. SUITE 200
TALLAHASSEE, FL 32310
TEL. 904-834-4400
FAX 904-834-4401

N. OF E.
RALPH N. OWENS &
W. L. OWENS
PLANNING & ENGINEERING
7501 N. W. 10TH AVE. SUITE 200
TALLAHASSEE, FL 32310
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PENNSYLVANIA AND NEW JERSEY
WEB: HTTP://DUFFINET.COM
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CHECKED BY: SIG
DESIGNED BY: SCLJL
DRAWN BY: SMCJL
FILE NAME: 13_15_12393CF-SF-40
STEPHEN J. GORSKI, P.E.

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC
25 WILSONS ROAD
COLUMBIA, MD 21045

STATE: DELAWARE P.E.#: 12625

SITE PLAN

STATE FIRE MARSHAL PLAN

BIOENERGY DEVELOPMENT

GROUP, LLC

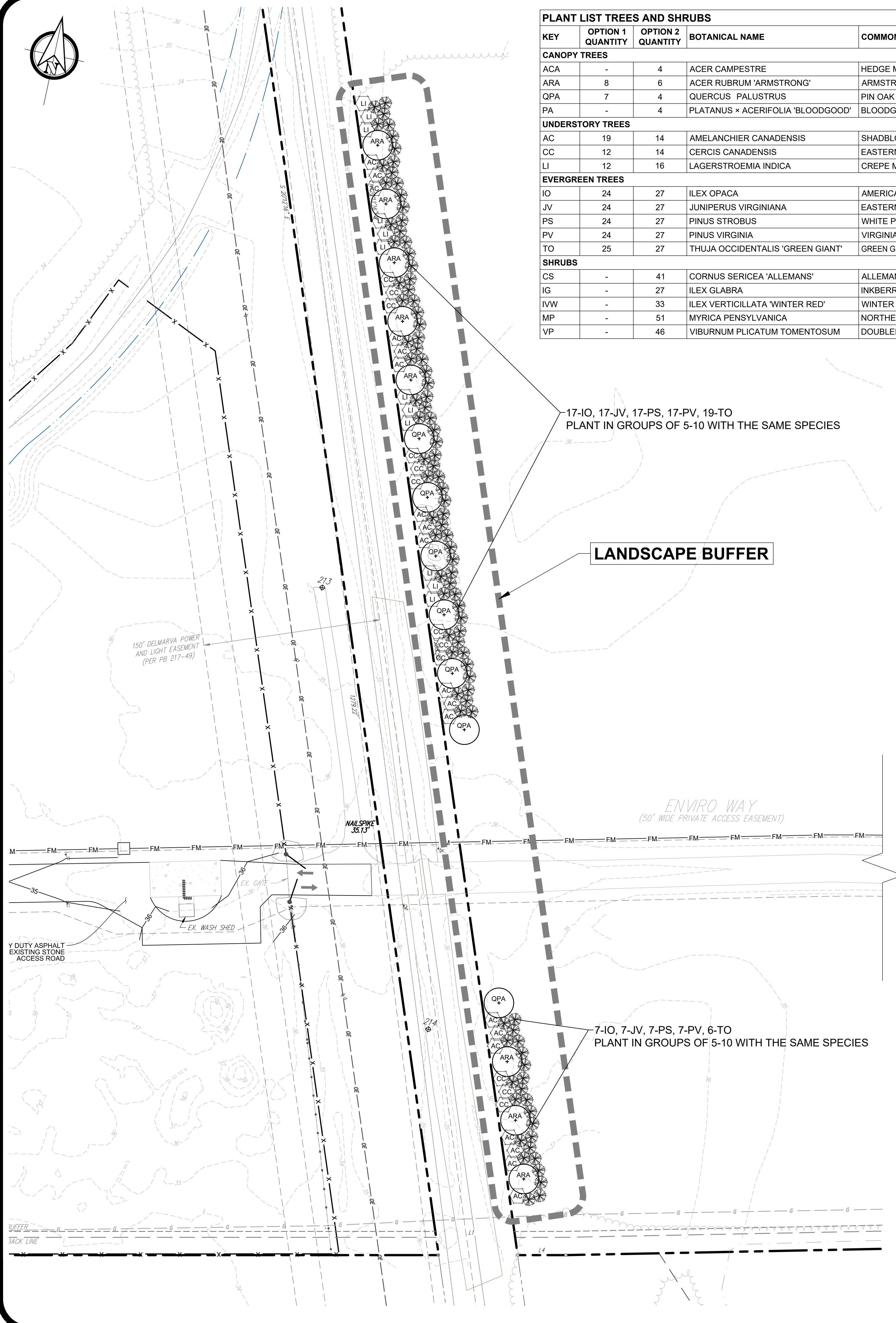
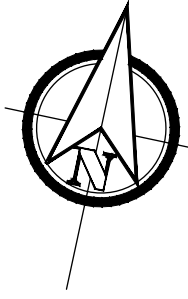
SUSSEX COUNTY ~ DELAWARE

DATE: 30 NOVEMBER 2020

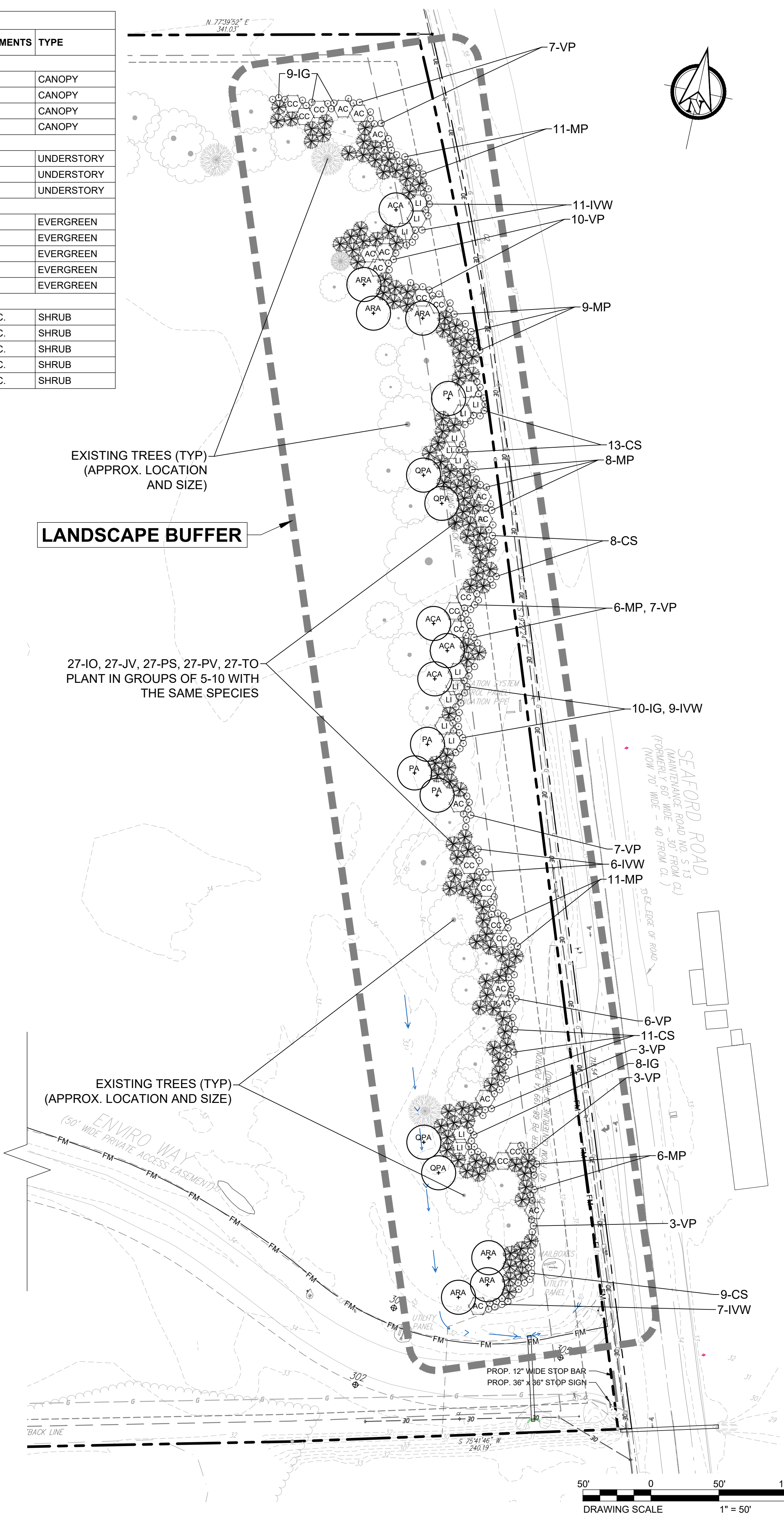
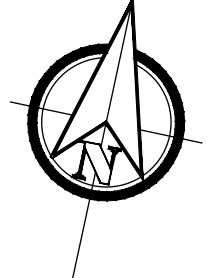
SCALE: 1" = 100'

PROJECT NO. 12393.EA

SHEET: C15 OF 17



PLANT LIST TREES AND SHRUBS							
KEY	OPTION 1 QUANTITY	OPTION 2 QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS TYPE
CANOPY TREES							
ACA	-	4	ACER CAMPESTRE	HEDGE MAPLE	2.5-3" CAL.	B&B	CANOPY
ARA	8	6	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	2.5-3" CAL.	B&B	CANOPY
QPA	7	4	QUERCUS PALUSTRIS	PIN OAK	2.5-3" CAL.	B&B	CANOPY
PA	-	4	PLATANUS × ACERIFOLIA 'BLOODGOOD'	BLOODGOOD PLANETREE	2.5-3" CAL.	B&B	CANOPY
UNDERSTORY TREES							
AC	19	14	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	6-7' HT.	B&B	UNDERSTORY
CC	12	14	CERCIS CANADENSIS	EASTERN REDBUD	6-7' HT.	B&B	UNDERSTORY
LI	12	16	LAGERSTROEMIA INDICA	CREPE MYRTLE	6-7' HT.	B&B	UNDERSTORY
EVERGREEN TREES							
IO	24	27	ILEX OPACA	AMERICAN HOLLY	5-6' HT.	B&B	EVERGREEN
JV	24	27	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	5-6' HT.	B&B	EVERGREEN
PS	24	27	PINUS STROBUS	WHITE PINE	5-6' HT.	B&B	EVERGREEN
PV	24	27	PINUS VIRGINIA	VIRGINIA PINE	5-6' HT.	B&B	EVERGREEN
TO	25	27	THUJA OCCIDENTALIS 'GREEN GIANT'	GREEN GIANT ARBORVITAE	5-6' HT.	B&B	EVERGREEN
SHRUBS							
CS	-	41	CORNUS SERICEA 'ALLEMANS'	ALLEMANS REDOSIER DOGWOOD	30-36" HT.	5 GAL.	5' O.C. SHRUB
IG	-	27	ILEX GLABRA	INKBERRY	30-36" HT.	5 GAL.	5' O.C. SHRUB
IVW	-	33	ILEX VERTICILLATA 'WINTER RED'	WINTER RED WINTERBERRY	30-36" HT.	5 GAL.	5' O.C. SHRUB
MP	-	51	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	30-36" HT.	5 GAL.	5' O.C. SHRUB
VP	-	46	VIBURNUM PLICATUM TOMENTOSUM	DOUBLEFILE VIBURNUM	30-36" HT.	5 GAL.	5' O.C. SHRUB



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 WEB: [HTTP://DUFFNET.COM](http://DUFFNET.COM)
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CHECKED BY:	DESIGNED BY:	DATE:
JGF	JIL	
FILE NAME:	DRAWN BY:	
LND1293.EA	JIL	

NO.	REVISION

OWNER: BIOENERGY DEVELOPMENT GROUP, LLC
 4200 BURNING ROAD
 COLUMBIA, MD 21045

LANDSCAPE PLAN
BIOENERGY DEVELOPMENT GROUP, LLC
 SUSSEX COUNTY ~ DELAWARE

DATE: 15 OCTOBER 2020
 SCALE: 1" = 50'
 PROJECT NO. 12393.EA
 SHEET: L1 OF 2



SITE DATA

OWNER
BOLIS PROPERTIES
 1055 WESTLAKE DRIVE
 SUITE 300
 BERWYN, PA 19312
 PHONE: (610) 331-7474

LANDSCAPE ARCHITECT/ENGINEER
VISTA DESIGN, INC.
 CONTACT: STEVE ENGEL, R.L.A.
 11634 WORCESTER HIGHWAY
 SHOWELL, MARYLAND 21862
 PHONE: (410) 352-3874
 FAX: (410) 352-3875

ZONING INFORMATION
 TAX MAP PARCEL 2-34-34.00 97

EXISTING LAND USE AGRICULTURAL
PROPOSED LAND USE RESIDENTIAL
EXISTING ZONING: GR - GENERAL RESIDENTIAL
PROPOSED ZONING: GR WITH CUP FOR CLUSTER DEVELOPMENT

LOT REQUIREMENTS:

EXISTING	PROPOSED
SETBACKS	
FRONT 30'	30'
REAR 10'	10'
SIDES 10'	10'
LOT WIDTH 75' MIN	75' MIN
LOT DEPTH 100' MIN	100' MIN
LOT AREA 10,000 SF MIN	7,500 SF MIN
MAX BLDG. HEIGHT 42'	42'
MAXIMUM DENSITY 239 UNITS	239 UNITS

SITE INFORMATION
PROPOSED UNITS 163 LOTS (7,500 SF MIN)
TOTAL SITE AREA ± 59.82 AC
TIDAL WETLANDS (STATE) ± 2.38 AC
NON-TIDAL WETLANDS ± 0.12 AC
TOTAL UPLANDS ± 57.32 AC
PROPOSED LOTS ± 28.07 AC
PROPOSED ROW ± 13.79 AC
PROPOSED OPEN SPACE ± 17.97 AC (30% REQUIRED = ±17.95 AC)

PROPOSED DENSITY 2.72 UNITS / ACRE
PARKING REQUIREMENTS
REQUIRED
 • 2 SPACES PER DWELLING UNIT

PROPOSED:
 • 2 SPACES PER DWELLING UNIT
 • (20) PARALLEL PARKING SPACES

FLOOD ZONE
 PORTIONS OF THIS SITE ARE WITHIN THE LIMITS OF KNOWN FLOOD ZONES THAT INCLUDE:
ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN
ZONE AE: BASE FLOOD ELEVATIONS DETERMINED (EL. 6, 7 & 8)

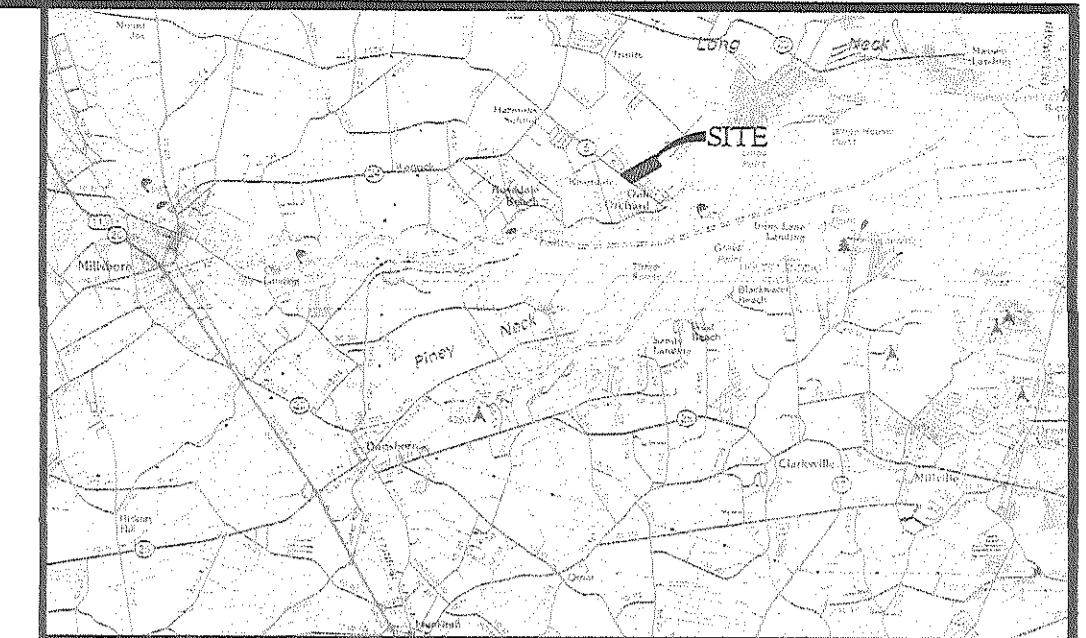
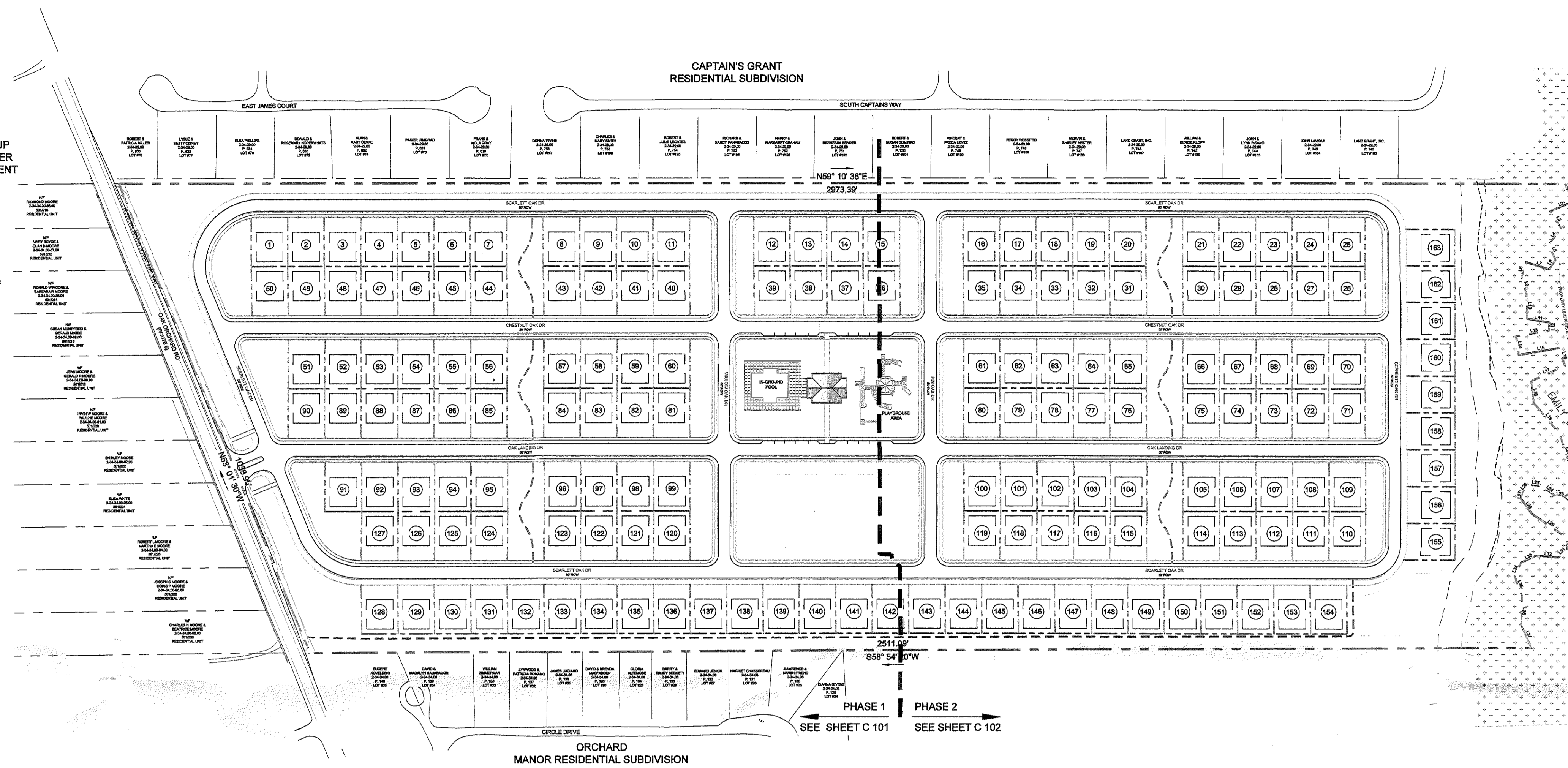
FEMA MAP NO. 10005C0481 K, PANEL 481 OF 660
 MAP REVISED - MARCH 16, 2015

SEWER & WATER PROVIDER
 1. WATER SERVICES SHALL BE SUPPLIED BY TIDEWATER UTILITIES.
 2. SEWER SERVICES SHALL BE SUPPLIED BY SUSSEX COUNTY, DE.

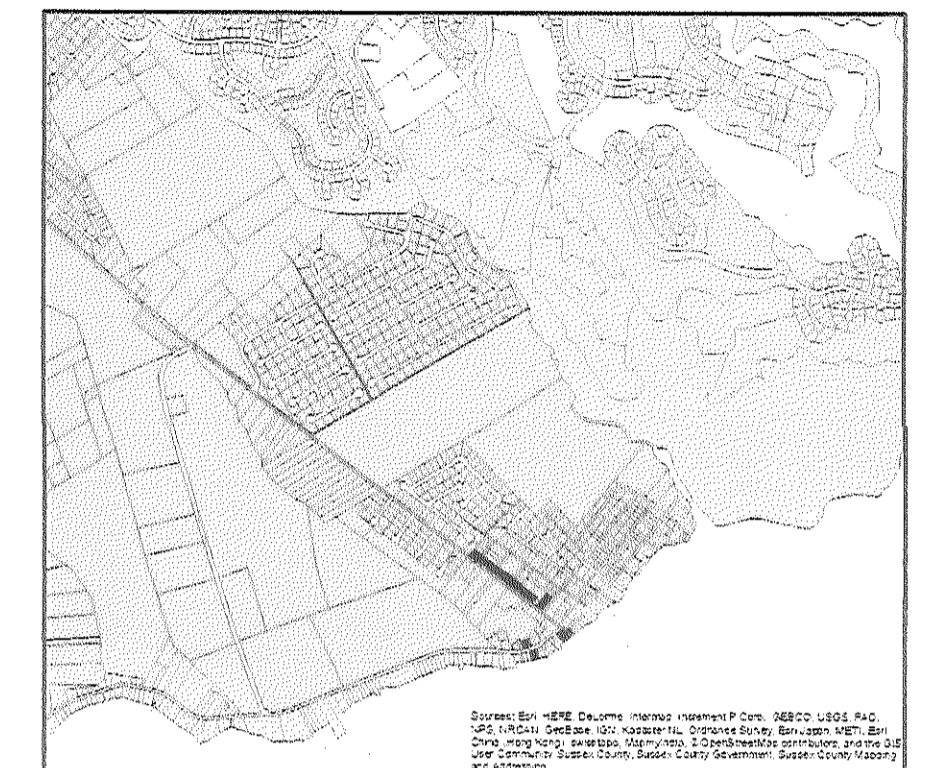
WETLANDS
 1. THE LIMITS OF ALL WETLANDS (BOTH STATE & FEDERAL) SHOWN WERE FLAGGED AND DELINEATED BY ENVIRONMENTAL RESOURCES, INC.
 2. WETLAND LIMITS WERE SURVEYED BY E.S.P. DESIGN SERVICES, INC.

GENERAL NOTES
 1. ALL OPEN SPACE AREAS ARE DEDICATED FOR THE COMMON USE OF PROPERTY OWNERS WITHIN THE SUBDIVISION.

OAK LANDING



VICINITY MAP
 SCALE: 1" = 1 MILE



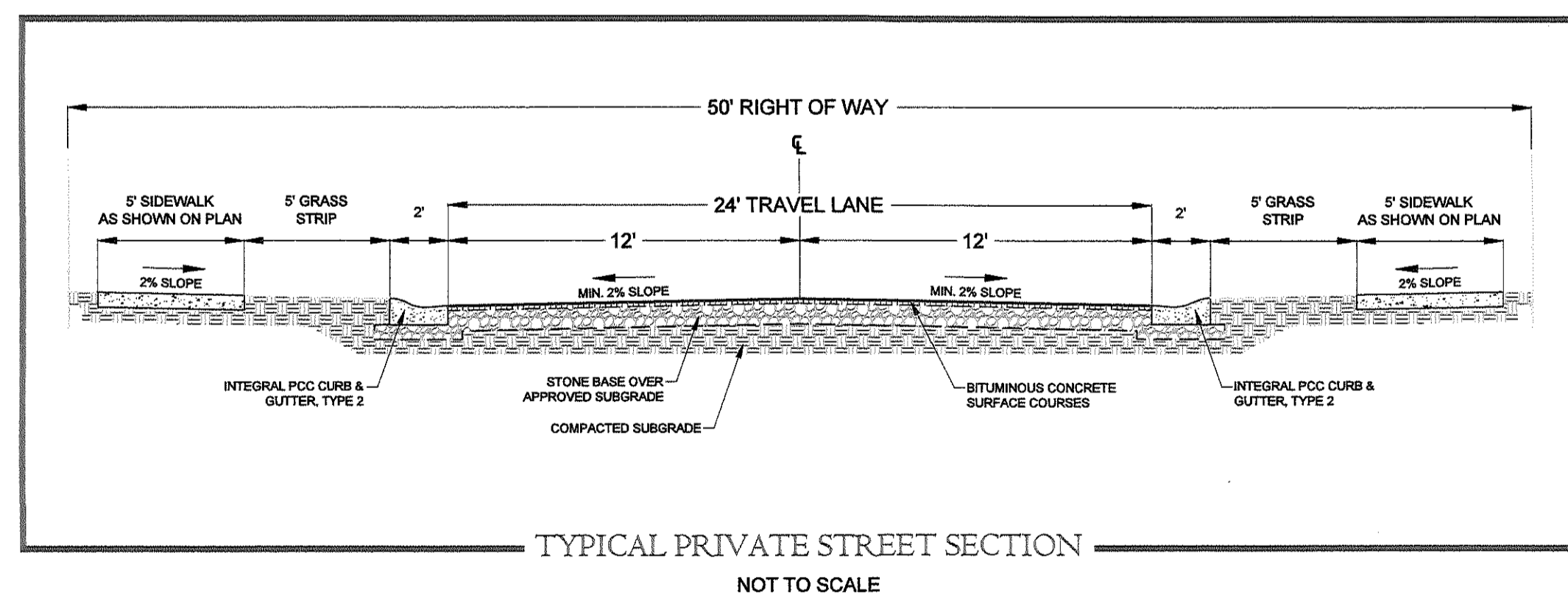
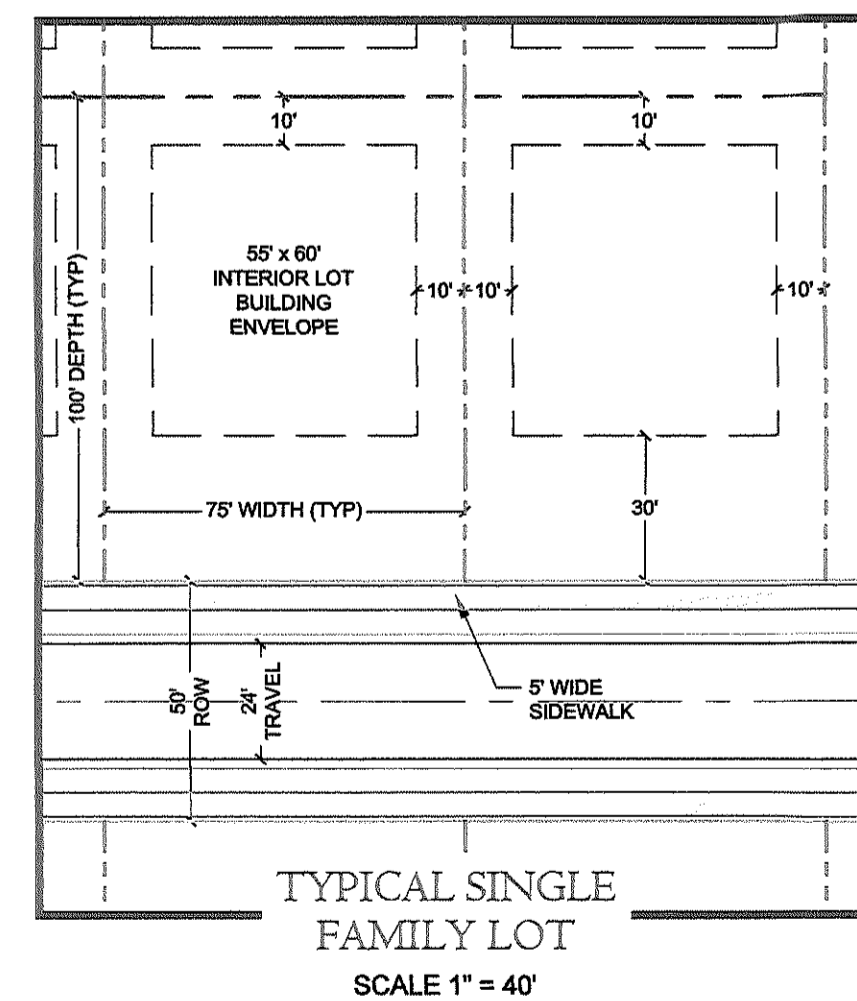
ZONING DISTRICT BOUNDARIES
 NOT TO SCALE

GR - GENERAL RESIDENTIAL
 MR - MEDIUM RESIDENTIAL
 C-1 - GENERAL COMMERCIAL
 B-1 - NEIGHBORHOOD BUSINESS

LEGEND

- Property Line
- Adjacent Property Line
- BLDG Setback Line
- Existing Structures
- EX Treadline
- EX Edge of Pavement
- EX 1x Contour
- EX 5x Contour
- EX Marsh
- Tidal Wetland Line
- Non-Tidal Wetlands
- 50' Wetland Buffer
- Flood Plain Boundary
- PR Right of Way Line
- PR Lot Line
- PR Building Restriction Line
- PR Edge of Pavement
- PR Back of Curb
- PR 8" Sewer Main
- PR 6" Water Main
- PR Trails
- 20' Landscape Setback Line
- Green Space/SWM Areas
- PR Sidewalk

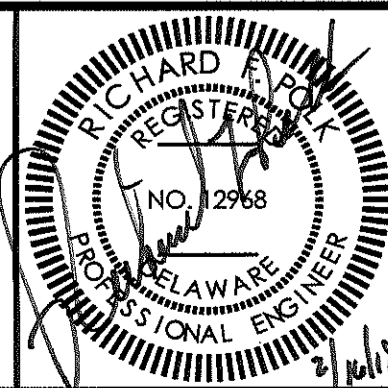
LINE	LENGTH	BEARING
L1	39.60	N53°17'31"W
L2	50.29	N36°26'37"E
L3	41.38	N85°10'38"W
L4	42.26	N50°02'07"E
L5	34.68	N55°03'36"W
L6	23.47	N04°56'43"E
L7	53.43	N76°16'36"E
L8	33.54	N22°27'39"W
L9	34.97	N45°18'37"W
L10	50.57	N32°24'21"W
L11	46.71	S89°32'35"W
L12	16.77	N27°02'24"W
L13	68.47	N50°09'48"E
L14	38.96	N39°14'01"W
L15	83.53	S49°09'03"W
L16	38.04	N49°57'08"W
L17	78.29	N34°19'02"E
L18	44.54	N37°38'53"W
L19	82.82	N70°56'41"W
L20	78.68	N45°43'43"W
L21	46.82	N24°14'27"W
L22	11.42	N25°46'23"E
L23	17.56	N59°36'08"E
L24	34.82	S84°09'48"E
L25	28.84	N07°25'20"E
L26	22.33	N14°17'15"E
L27	13.81	N28°12'38"W
L28	35.97	N85°59'28"W
L29	67.18	N80°29'47"W
L30	53.77	N38°30'15"W
L31	28.49	N17°35'48"E
L32	44.55	N84°29'05"E
L33	35.45	N34°19'20"E
L34	30.00	N06°34'44"W
L35	42.21	N51°29'29"W
L36	60.90	N28°48'48"W
L37	51.72	N54°29'37"W



0 75 150 300 450
 SCALE: 1" = 150'

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NOTE:
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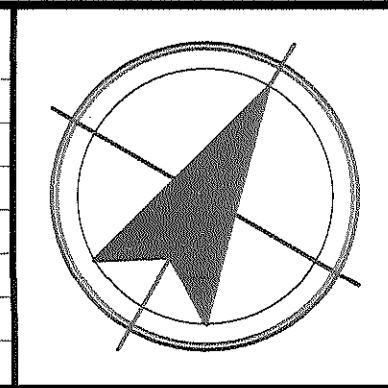
VISTA DESIGN, INC.
 Engineers, Surveyors, Landscape Architects, Land Planning Consultants, GIS Specialists
 11634 Worcester Hwy, Showell, MD 21862
 ph. 410-352-3874 fax 410-352-3875 email vista@vistadesigninc.com

OAK LANDING
 INDIAN RIVER HUNDRED
 SUSSEX COUNTY, DELAWARE

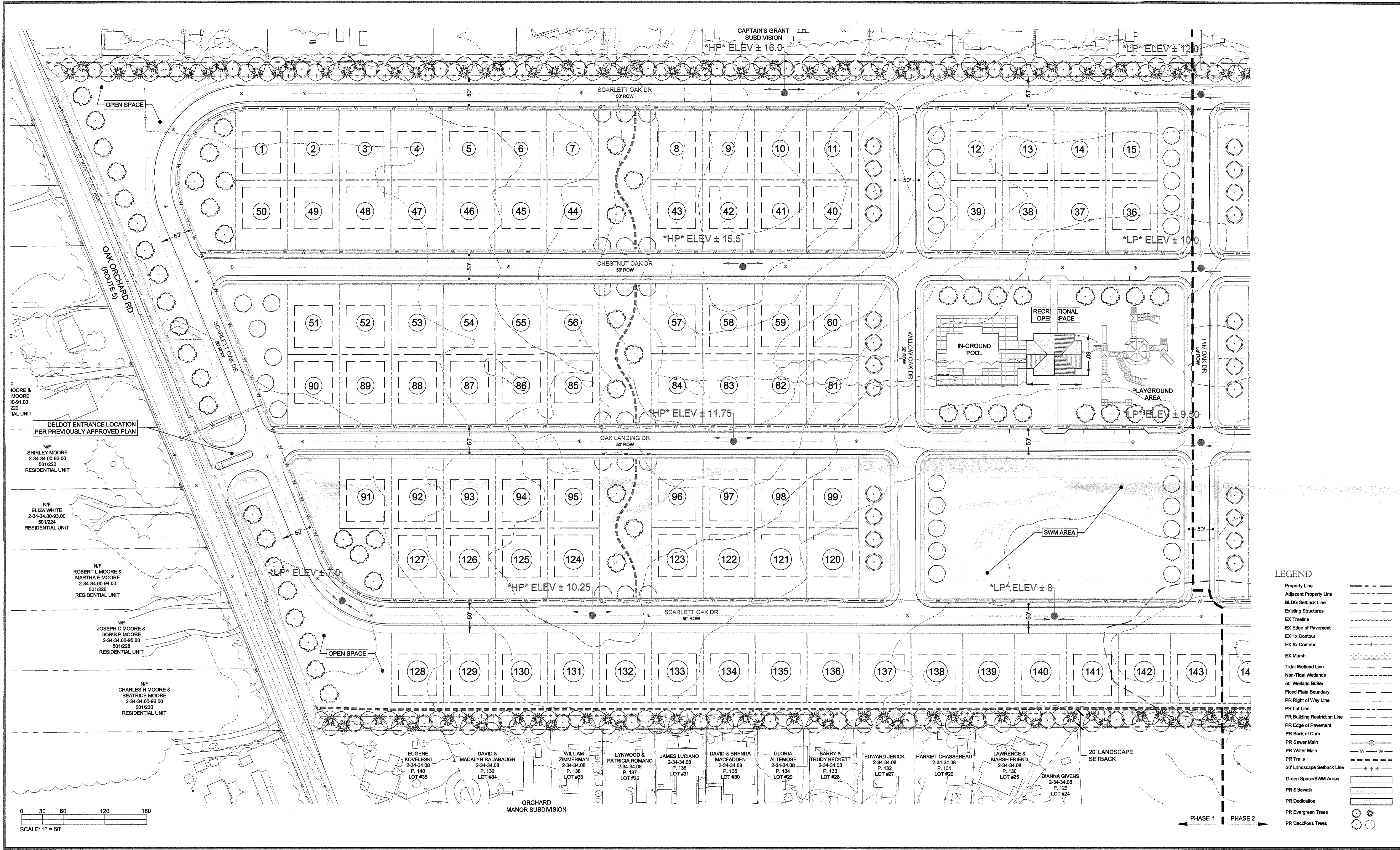
COVER SHEET
 PRELIMINARY SITE PLAN

PROJECT DATA	
Tax Map: 2-34-34	Parcel: 97
INDIAN CREEK HUNDRED	
SUSSEX COUNTY, DELAWARE	
Drawn By: RC	Checked By: SDE
Date: FEBRUARY 16, 2018	
Scale: 1" = 150'	

REVISIONS	

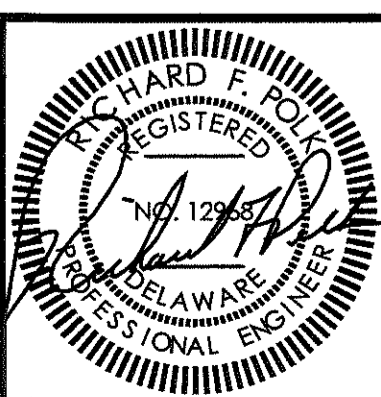


Project No:	17-014
File Name:	PSP 051917.dwg
Sheet No:	C 100



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11634 Worcester Hwy., Snowell, MD 21862
ph. 410-352-3874 fax 410-352-3875 email vista@vistaradecor.com

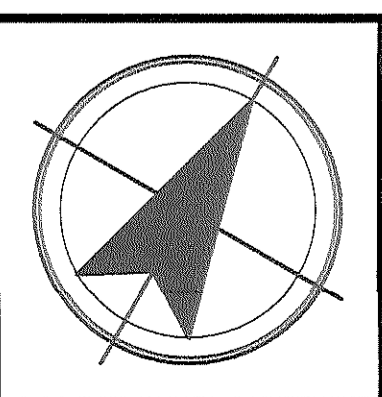
OAK LANDING
INDIAN RIVER HUNDRED
SUSSEX COUNTY, DELAWARE

PRELIMINARY SITE PLAN

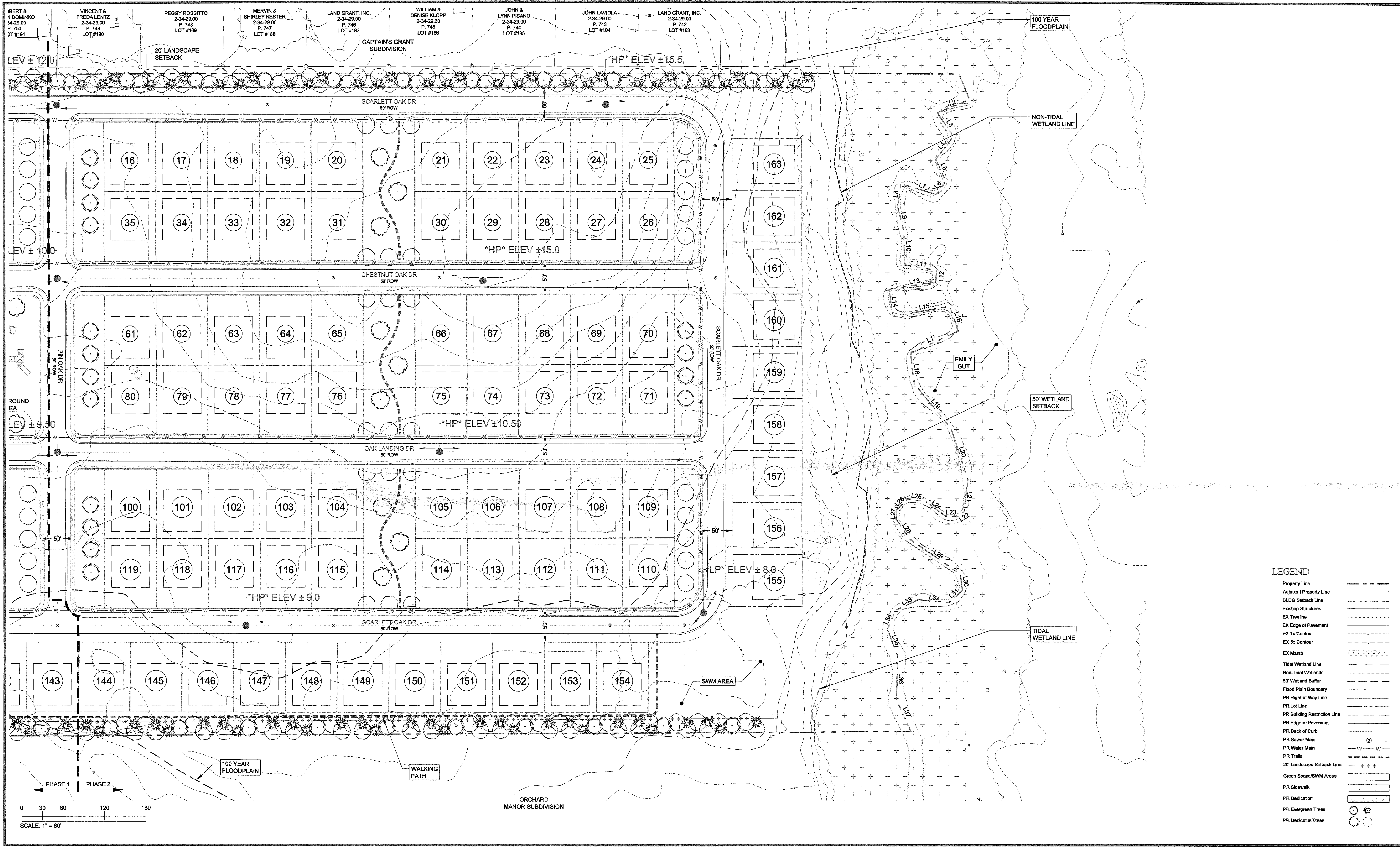
PROJECT DATA

Tax Map: 2-34-34 Parcel: 97
INDIAN CREEK HUNDRED
SUSSEX COUNTY, DELAWARE
Drawn By: RC Checked By: SUE
Date: FEBRUARY 16, 2018
Scale: 1" = 60'

NO.	REVISIONS



Project No: 17-014
File Name: PSP 051917.dwg
Sheet No: C 101

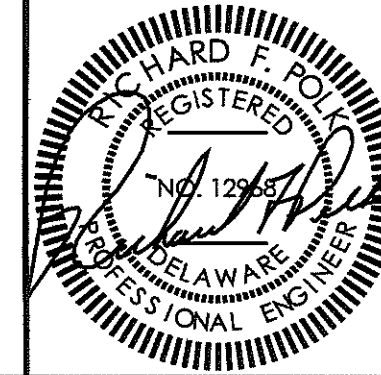


LEGEND

Property Line	---
Adjacent Property Line	---
BLDG Setback Line	---
Existing Structures	---
EX Tree Line	---
EX Edge of Pavement	---
EX 1x Contour	---
EX 5x Contour	---
EX Marsh	---
Tidal Wetland Line	---
Non-Tidal Wetlands	---
50' Wetland Buffer	---
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PR Back of Curb	---
PR Sewer Main	---
PR Water Main	---
PR Trails	---
20' Landscape Setback Line	---
Green Space/SWM Areas	---
PR Sidewalk	---
PR Dedication	---
PR Evergreen Trees	---
PR Deciduous Trees	---

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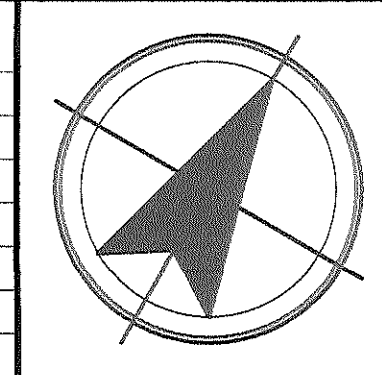
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Engineers, Surveyors, Landscape Architects, Land Planning Consultants, GIS Specialists
11634 Worcester Hwy, Shrewell, MD 21862
ph. 410-352-3874 fax 410-352-3875 email vista@vistadesigninc.com

OAK LANDING
INDIAN RIVER HUNDRED
SUSSEX COUNTY, DELAWARE

PRELIMINARY SITE PLAN

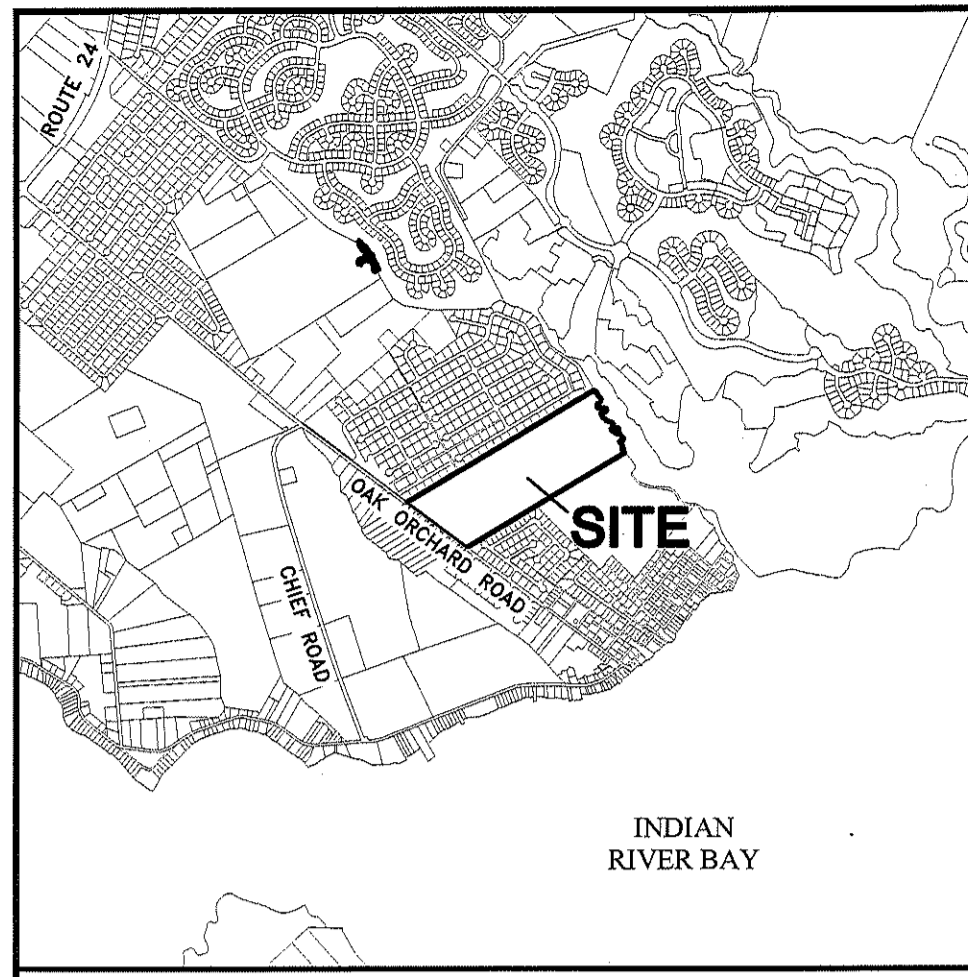
PROJECT DATA	
Tax Map: 2-34-34	Parcel: 97
INDIAN CREEK HUNDRED	
SUSSEX COUNTY, DELAWARE	
Drawn By: RC	Checked By: SDE
Date: FEBRUARY 16, 2018	
Scale: 1" = 60'	

REVISIONS	

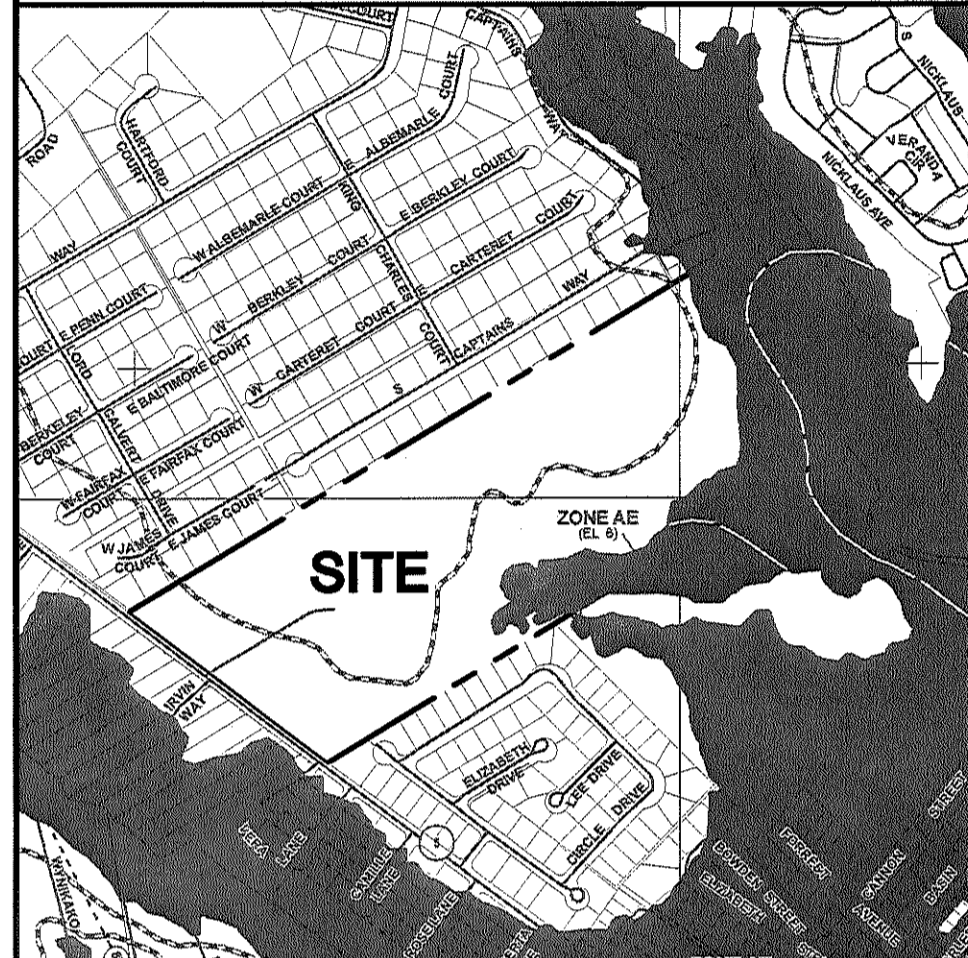


Project No: 17-014
File Name: PSP 051917.dwg
Sheet No: C 102

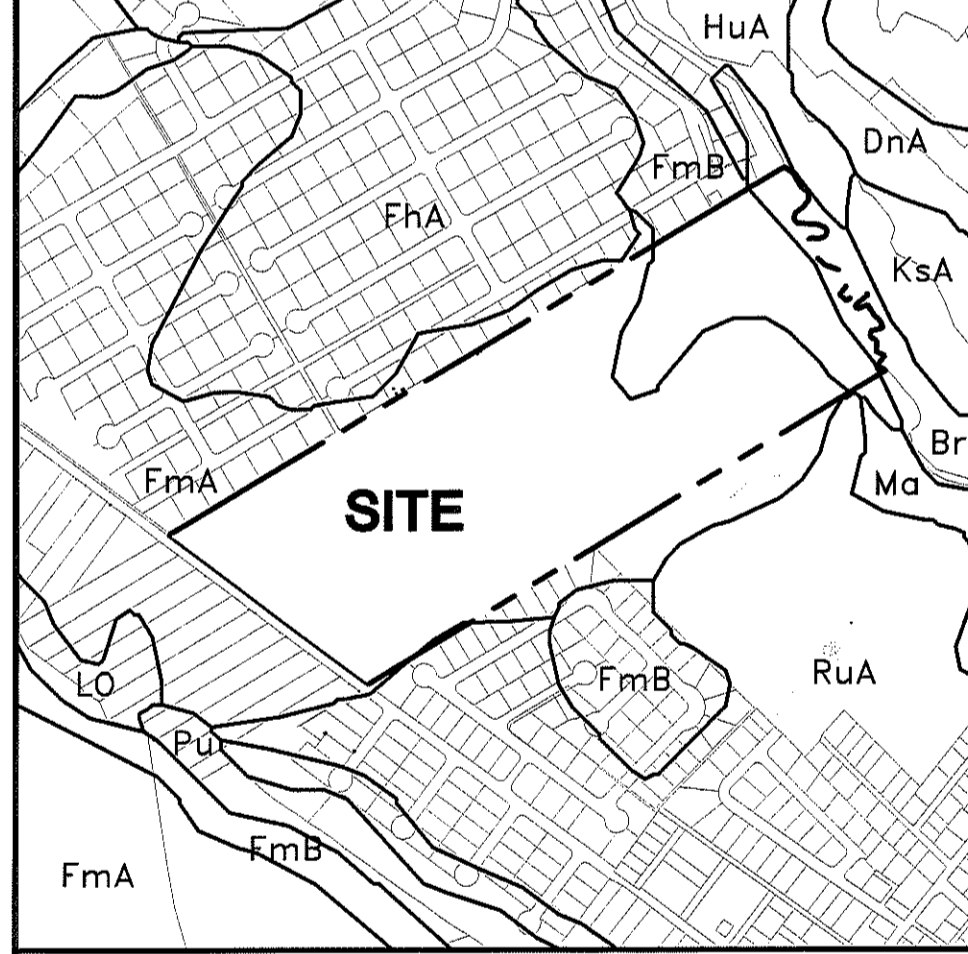
PLOVER POINT (FORMERLY KNOWN AS OAK LANDING) SUBDIVISION 2018-9 PRELIMINARY PLAN INDIAN RIVER HUNDRED SUSSEX COUNTY, DELAWARE JULY, 2020 DBF PROJECT # 0700C001



LOCATION MAP SCALE: 1" = 1/2 MILE



FLOODPLAIN MAP SCALE: 1" = 800'
FEMA PANEL 10001C0481K DATE: MARCH, 16 2015



SOILS MAP SCALE: 1" = 800'

OWNERS STATEMENT
I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED ON THIS PLAN, THAT THE PLAN WAS MADE BY MY DIRECTION AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

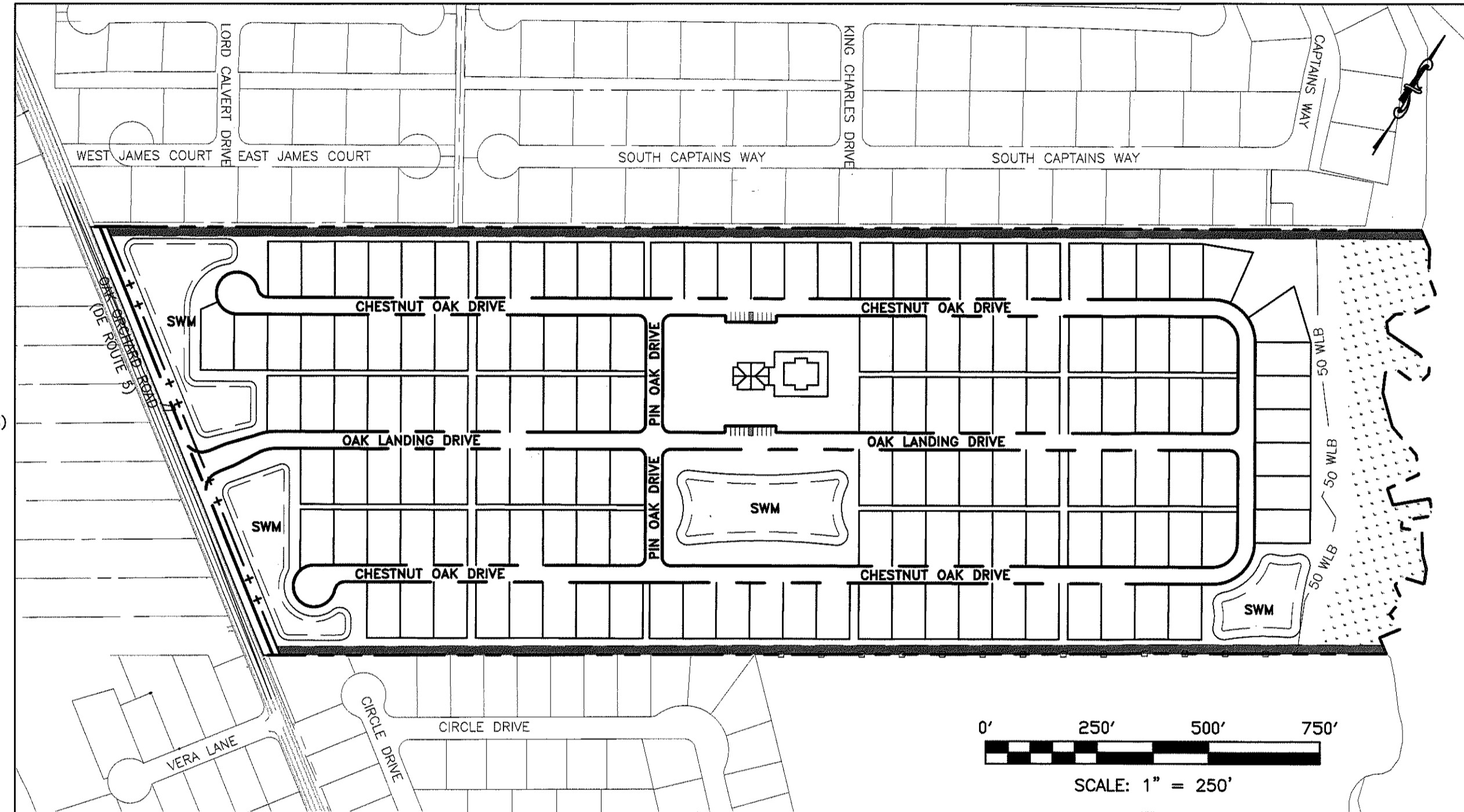
ENGINEER'S STATEMENT

I, RING W. LARDNER, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVIS, BOWEN & FRIEDEL, INC.
by RING W. LARDNER, P.E.

DATA COLUMN

TAX MAP ID:	2-34-34.00-97.00
DATUM:	NAV D 88
VERTICAL:	NAD 83 (DE STATE PLANE)
HORIZONTAL:	2017-06-04
PLUS #:	
LAND USE:	
EXISTING:	AGRICULTURAL
PROPOSED:	RESIDENTIAL
ZONING:	
EXISTING:	GR-GENERAL RESIDENTIAL
UNITS:	
SINGLE FAMILY LOTS:	147
TYPICAL LOT SIZE:	75' X 125' (9,375 S.F.)
AVERAGE LOT SIZE:	0.216 AC. (9,409 S.F.)
DENSITY:	
MAXIMUM:	4.36 UNITS PER AC.
PROPOSED:	2.422 UNITS PER AC.
GR ZONING REQUIREMENTS:	
LOT AREA: (REQUIRED)	10,000 S.F. (0.23 AC)
LOT AREA: (PROPOSED)	7,500 S.F. (0.17AC)
LOT DEPTH:	100 FT.
LOT WIDTH:	75 FT.
FRONT SETBACK:	30 FT.
SIDE SETBACK:	10 FT.
REAR SETBACK:	10 FT.
CORNER SETBACK:	15 FT.
OPEN SPACE:	29.88% (PROPOSED)
MAXIMUM REQUIREMENTS:	
BUILDING HEIGHT:	42 FT.
PROPOSED:	
BUILDING HEIGHT:	36 FT. (2 STORIES)
AREAS:	
EXISTING SITE:	
SITE AREA:	60.675 AC.
WETLANDS (INCLUDED IN SITE AREA):	3.225 AC.
LAND DEDICATED TO PUBLIC RIGHT-OF-WAY:	-0.476 AC.
TOTAL SITE AREA:	60.199 AC.
PROPOSED SITE:	
LOT AREA:	31,805 AC.
RIGHT-OF-WAY:	7,182 AC.
OPEN SPACE (TOTAL):	17,988 AC. (29.88%)
OPEN SPACE A:	12,058 AC.
OPEN SPACE B:	3,004 AC.
OPEN SPACE C:	2,926 AC.
WETLANDS:	3,225 AC. (5.36%)
TOTAL SITE AREA:	60.199 AC.
IMPERVIOUS AREAS:	
PAVEMENT (STREETS):	4,586 AC.
SIDEWALKS:	1,813 AC.
SHARED-USE-PATH:	0.234 AC.
LOTS (50% IMPERVIOUS):	15,903 AC.
TOTAL IMPERVIOUS AREAS:	22,536 AC.
FORESTED AREAS:	
EXISTING:	9,057 AC.
REMOVED:	1,057 AC.
TOTAL PRESERVED:	7,970 AC.
UTILITIES:	
SEWER PROVIDER:	PUBLIC (SUSSEX COUNTY)
WATER PROVIDER:	PUBLIC (TIDEWATER UTILITIES, INC.)
PROPOSED BUILDING CONSTRUCTION:	WOOD/CONCRETE BLOCK
WETLANDS - THIS PROPERTY IS IMPACTED BY WETLANDS.	
FLOODPLAIN - THE PROPERTY IS IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA PANEL 10001C0481K DATED MARCH 16, 2015.	
STATE STRATEGIES MAP: INVESTMENT LEVEL 3	
THIS PROPERTY IS LOCATED 1,594'± TO THE SOUTHEAST OF THE INTERSECTION OF CAPTAINS WAY AND OAK ORCHARD ROAD (SCR 297).	
OAK ORCHARD ROAD POSTED SPEED LIMIT: 50/40 M.P.H.	
PROPERTY OWNER/DEVELOPER:	
DOUBLE H DEVELOPMENT, LLC.	
28107 BEAVER DAM ROAD	
LAUREL, DE. 19956	
PHONE: 302-875-3033	
ENGINEER:	
DAVIS, BOWEN, & FRIEDEL, INC.	
RING LARDNER, P.E.	
1 PARK AVENUE	
MILFORD, DE 19963	
PHONE: 302-424-1441	
FAX: 302-424-0430	



SHEET INDEX

TITLE SHEET	PL-01
PRELIMINARY SITE PLAN - OVERVIEW	PL-02
PRELIMINARY SITE PLAN	PL-03 TO PL-04
TYPICAL SECTIONS AND DETAILS	PL-05

LEGEND

EXISTING	PROPOSED
BOUNDARY LINE	SANITARY SEWER MANHOLE, PIPE, FLOW ARROW, PIPE SIZE
ADJACENT PROPERTY OWNER	SANITARY SEWER LATERAL
EASEMENT	WATER MAIN, TEE W/ VALVES, PIPE SIZE
SETBACK	WATER LATERAL
ROAD CENTERLINE / BASELINE & STATIONING	CATCH BASIN, DRAINAGE PIPE, FLARED END SECTION, FLOW DIRECTION
CONTOUR ELEVATION AND LABEL	TREES
CATCH BASIN, STORM PIPE, STORM MANHOLE	FENCE
SANITARY SEWER MANHOLE, PIPE, FLOW ARROW, PIPE SIZE	SIDEWALK
SANITARY SEWER CLEANOUT	SHARED USE PATH
WATER MAIN, W/ VALVES	FIRE HYDRANT ASSEMBLY
FIRE HYDRANT ASSEMBLY	UTILITY POLE
UTILITY POLE	SIGN
SIGN	FENCE
FENCE	SWALE
SWALE	LOT IDENTIFICATION NUMBER
LOT IDENTIFICATION NUMBER	

SUBDIVISION 2018-9 CONDITIONS OF APPROVAL:

- A. THERE SHALL BE NO MORE THAN 163 LOTS WITHIN THE SUBDIVISION.
- B. THE APPLICANT SHALL FORM A HOMEOWNER'S ASSOCIATION TO BE RESPONSIBLE FOR THE MAINTENANCE OF STREETS, ROADS, BUFFERS, STORMWATER MANAGEMENT FACILITIES AND OTHER COMMON AREAS.
- C. THE STORMWATER MANAGEMENT SYSTEM AND EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET OR EXCEED THE REQUIREMENTS OF THE STATE AND COUNTY AND SHALL MAXIMIZE GROUNDWATER RECHARGE.
- D. ALL ENTRANCES SHALL COMPLY WITH ALL OF DELOT'S REQUIREMENTS.
- E. SIDEWALKS SHALL BE PROVIDED ON BOTH SIDES OF ALL STREETS.
- F. NO WETLANDS SHALL BE INCLUDED WITHIN ANY LOT LINES.
- G. THE DEVELOPMENT SHALL BE SERVED BY SUSSEX COUNTY SEWER IN ACCORDANCE WITH SUSSEX COUNTY ENGINEERING DEPARTMENT SPECIFICATIONS AND REGULATIONS.
- H. THE DEVELOPMENT SHALL BE SERVED BY CENTRAL WATER.
- I. THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT FOR THE DESIGN AND LOCATION OF ALL STORMWATER MANAGEMENT AREA AND EROSION AND SEDIMENTATION CONTROL FACILITIES.
- J. A MINIMUM 50-FOOT BUFFER SHALL BE PROVIDED BETWEEN THE STATE WETLANDS ASSOCIATED WITH EMILY'S GUT AND ANY LOT LINES.
- K. THE RECREATIONAL AMENITIES SHALL BE COMPLETED PRIOR TO ISSUANCE OF THE BOTH RESIDENTIAL BUILDING PERMIT. THE RECREATIONAL AMENITIES SHALL INCLUDE A POOL, POOL HOUSE/CLUBHOUSE AND PLAYGROUND.
- L. DELIVERIES OF DIRT, FILL OR OTHER SIMILAR MATERIALS SHALL ONLY BE MADE TO OR FROM THE SITE BETWEEN THE HOURS OF 8:00 A.M. THROUGH 5:00 P.M., MONDAY THROUGH FRIDAY.
- M. NO CONSTRUCTION ACTIVITIES SHALL OCCUR ON THE SITE BETWEEN 6:00 P.M. AND 8:00 A.M. ON THE WEEKDAYS AND AFTER 2:00 P.M. ON SATURDAYS. NO CONSTRUCTION ACTIVITIES SHALL OCCUR ON SUNDAYS.
- N. A SIX-FOOT BOARD-ON-BOARD FENCE SHALL BE INSTALLED ALONG THE ENTIRE SHARED PROPERTY BOUNDARY BETWEEN THIS PROJECT AND LANDS OF CHARLES CLARK. THIS FENCE SHALL NOT EXTEND INTO THE WETLANDS AREA. THIS FENCE SHALL BE INSTALLED PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
- O. THE PRELIMINARY APPROVAL IS CONTINGENT UPON THE APPLICANT SUBMITTING A REVISED PRELIMINARY SITE PLAN EITHER DEPICTING OR NOTING THE CONDITIONS OF APPROVAL ON IT. STAFF SHALL APPROVE THE REVISED PLAN UPON CONFIRMATION THAT THE CONDITIONS OF APPROVAL BEEN DEPICTED OR NOTE ON IT.
- P. THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.

GENERAL NOTES:

1. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DEDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
2. NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
3. SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
4. UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELOT'S DISCRETION, AND IN CONFORMANCE WITH DELOT'S DEVELOPMENT COORDINATION MANUAL.
5. PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 §131). DELOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
6. THE SIDEWALK AND SHARED-USE PATH SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SIDEWALK AND/OR SHARED-USE PATH.
7. ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION STREET.
8. TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
9. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
10. THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, MODIFY OR DELETE ANY EROSION AND SEDIMENT CONTROL MEASURES AS THEY DEEM NECESSARY.
11. NO BUILDING PERMIT WILL BE ISSUED UNTIL EITHER ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, CONSTRUCTED, OR PLACED FOR THE LOT FOR WHICH THE BUILDING PERMIT IS TO BE ISSUED IN A MANNER ACCEPTABLE TO THE COUNTY AND STATE, OR UNTIL THE DEVELOPER FILES A PERFORMANCE BOND OR OTHER GUARANTEE WITH THE COUNTY FOR ANY UNCOMPLETED PUBLIC OR PRIVATE STREET OR OTHER REQUIRED IMPROVEMENT.
12. AFTER THE CREATION OF THE COMMUNITY'S HOMEOWNER'S ASSOCIATION ALL BUFFER AREAS, AND THE STORMWATER MANAGEMENT AREA, SHALL BE OWNED AND MAINTAINED BY THE COMMUNITY'S HOMEOWNER'S ASSOCIATION. THE DEVELOPER SHALL MAINTAIN THESE AREAS UNTIL THE COMMUNITY HOMEOWNER'S ASSOCIATION IS ESTABLISHED.
13. THE FINAL OVERLAY OF HOT MIX - TYPE C FOR A STREET WITHIN THE DEVELOPMENT WILL NOT BE PERMITTED UNTIL 75% OF THE HOMES ON THAT STREET IS COMPLETELY CONSTRUCTED. IF FINAL OVERLAY IS CONDUCTED WITHOUT THE COUNTY KNOWLEDGE AND/OR APPROVAL, THEN THE COUNTY HAS THE RIGHT TO HAVE THE OWNER/DEVELOPER ROTOMILL AND OVERLAY, WITH ALL COSTS BEING PAID FOR BY THE DEVELOPER.
14. WATER SUPPLY, SEWER, PAVEMENT AND DRAINAGE MUST BE IN PLACE PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY FOR THE REQUESTED LOT.
15. ANY MONUMENT SIGNAGE MUST REQUIRE ADDITIONAL PERMITTING.
16. AN AMENITIES PLAN WILL BE SUBMITTED SEPARATELY.

SUSSEX CONSERVATION DISTRICT APPROVAL BOX

SUSSEX COUNTY PLANNING & ZONING APPROVAL

SUSSEX COUNTY PLANNING & ZONING STAFF _____ DATE _____
SUSSEX COUNTY COUNCIL PRESIDENT _____ DATE _____

REVISIONS:
2020-04-09 P&Z
2020-09-14 P&Z
2020-10-29 P&Z COMMENTS

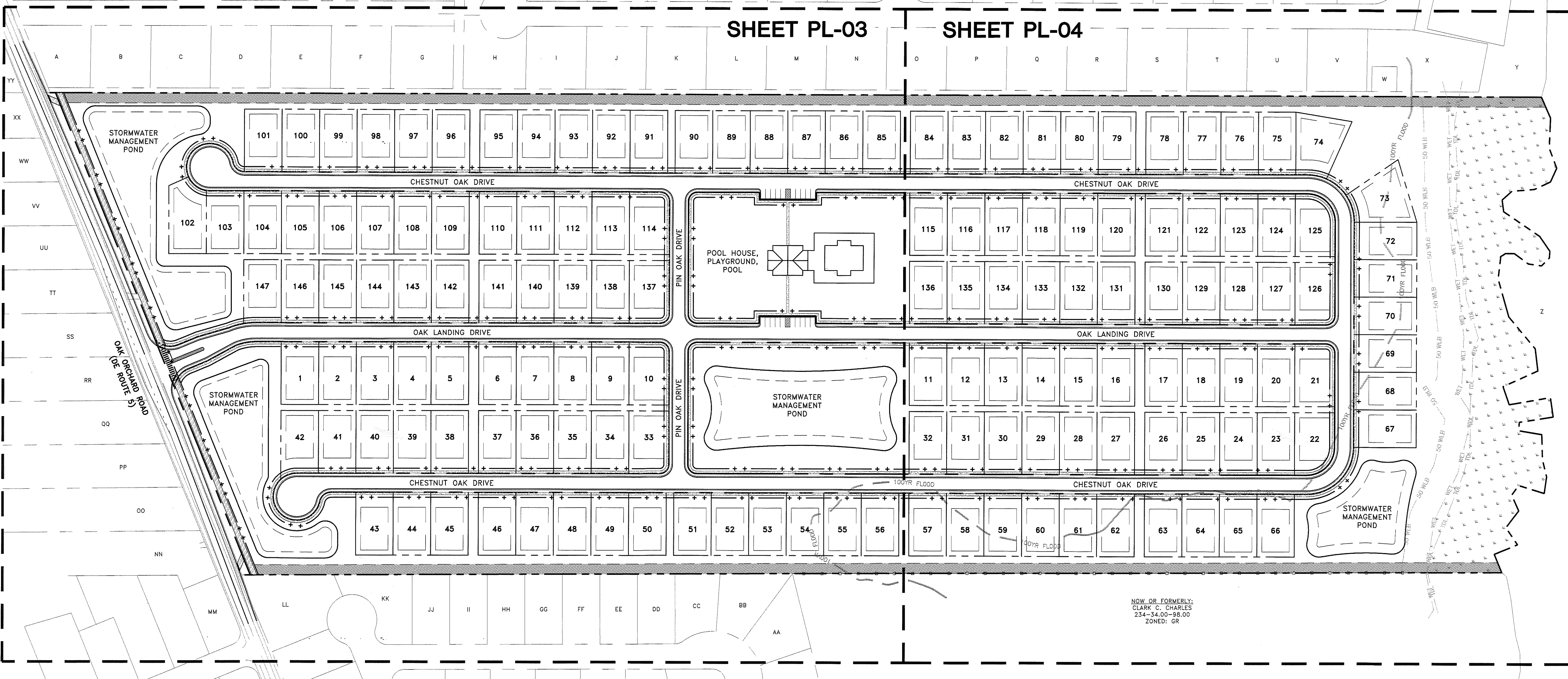


DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS, ENGINEERS & SURVEYORS

SAUSBUY, MARYLAND (410) 543-9091
MILFORD, DELAWARE (302) 424-1441
EASTON, MARYLAND (410) 770-4744

SHEET PL-03

SHEET PL-04



ADJACENT PROPERTY OWNERS

PARCEL#	OWNER	DEED	ZONED
A 234-29.00-636.00	MARION ONEILL	D/5226/286	GR
B 234-29.00-635.00	DANIEL M. & AMY MARCUS	D/4033/24	GR
C 234-29.00-634.00	ROBERT GRUVER DAVIS	D/3490/207	GR
D 234-29.00-633.00	JUDITH A. HILTON-HYDE	D/5206/195	GR
E 234-29.00-632.00	RICHARD B. & LORRAINE MCCrackEN	D/5157/88	GR
F 234-29.00-631.00	MICHAEL E. & BARBARA GROGAN	D/4029/167	GR
G 234-29.00-630.00	FRANK R. & VIOLA M. GRAY	D/2736/304	GR
H 234-29.00-756.00	DONNA C. IRVINE	D/2511/312	GR
I 234-29.00-755.00	MARY C. SMITH	D/2410/324	GR
J 234-29.00-754.00	ROBERT C. SR. & JULIE G. LEGATES	D/2440/333	GR
K 234-29.00-753.00	RICHARD C. & NANCY J. PANAGACOS	D/2424/345	GR
L 234-29.00-752.00	JOHN L. & JEAN C. SALOMONE	D/4116/44	GR
M 234-29.00-751.00	JOHN J. BENDER & BRENESA M. CHAVEZ	D/2486/123	GR
N 234-29.00-750.00	JAMES E. & MARY J. HEATLY	D/3919/53	GR
O 234-29.00-749.00	VINCENT & FREDA LENTZ	D/2787/119	GR
P 234-29.00-748.00	PEGGY L. ROSSITTO	D/3247/195	GR
Q 234-29.00-747.00	MERVIN D. & SHIRLEY E. NESTER	D/2936/250	GR
R 234-29.00-746.00	GEORGE W. & DONNA M. KLOSKE	D/4187/87	GR
S 234-29.00-745.00	WILLIAM H. & DENISE A. KLOPP	D/2751/287	GR
T 234-29.00-744.00	STEPHEN R. & BRENDA D. STAPPELLI	D/4483/25	GR
U 234-29.00-743.00	JOHN C. & MICHELLE MARIE VICKERS	D/4432/263	GR
V 234-29.00-742.00	EUGENE PAUL & MARY COLLEEN MCGREW	D/3927/125	GR
W 234-29.00-277.02	SUSSEX COUNTY (PUMP STATION)	D/3751/58	GR
X 234-29.00-277.00	CAPTAINS GRANT HOMEOWNER ASSOC.	D/331/327	GR
Y 234-28.00-277.00	CAPTAINS GRANT HOMEOWNER ASSOC.	D/331/327	GR
Z 234-30.00-1.03	THE PENINSULA COMMUNITY ASSOC., INC.	D/5021/293	MR

ADJACENT PROPERTY OWNERS

PARCEL#	OWNER	DEED	ZONED
AA 234-34.08-129.00	NAOMI F. MORRISON	D/3831/136	GR
BB 234-34.08-130.00	LAWRENCE M. & MASHA E. FRIEND	D/3040/260	GR
CC 234-34.08-131.00	GLEN E. SARGEANT	D/5028/233	GR
DD 234-34.08-132.00	MICHAEL J. & ANGELA D. WILLIAMS	D/4590/89	GR
EE 234-34.08-133.00	BUSH PLETCHER ENTERPRISES, LLP	D/4083/58	GR
FF 234-34.08-134.00	GLORIA M. ALTEMOSE		GR
GG 234-34.08-135.00	LONNIE RAY & PATRICIA LEE DIXON	D/4258/297	GR
HH 234-34.08-136.00	JAMES A. LUCIANO	D/3145/97	GR
II 234-34.08-137.00	NICOLE & JOE ROMANO	D/4411/307	GR
JJ 234-34.08-138.00	JOHN L. & KIMBERLY ANN BOONE	D/4424/111	GR
KK 234-34.08-139.00	DOMINIC H. RHOLEITER	D/4175/145	GR
LL 234-34.08-140.00	VICTOR & KENNILYNN KOVELESKI	D/5181/80	GR
MM 234-34.08-141.00	JEFFREY D. SR. & LORRAINE A. SAREYKA	D/5181/80	GR
NN 234-34.00-98.00	NICHOLAS BELL	D/4215/165	GR
OO 234-34.00-95.00	JEFFREY STEVEN & JOANN REV NOVAK, TR	D/4755/170	GR
PP 234-34.00-94.00	ROBERT L. & MARTHA E. MOORE		GR
QQ 234-34.00-93.00	JANICE M. CHORMAN	D/4027/187	GR
RR 234-34.00-92.00	JAMES R. JR. & KIMBERLY D. FORD	D/3691/140	GR
SS 234-34.00-91.00	IRVIN W. MOORE	D/3691/142	GR
TT 234-34.00-90.00	JEAN MOORE		GR
UU 234-34.00-89.00	SUSAN P. MUMFORD & SANDRA MOORE	D/2289/345	GR
VV 234-34.00-88.00	RONALD W., BARBARA R., & RODNEY T. MCGEE	D/2159/266	GR
WW 234-34.00-87.00	A & E PROPERTY SOLUTIONS, LLC	D/5186/264	GR
XX 234-34.00-86.00	LEON & RAYMOND C. JOHNSON, TERESA H. SMITH	D/3892/304	GR
YY 234-29.00-234.00	ANGELA J. DUNMORE	D/3962/5	GR

BOUNDARY LINE TABLE

LINE	BEARING	DISTANCE
L1	N 54°28'28" W	45.56'
L2	N 28°47'36" W	60.90'
L3	S 51°28'20" E	22.21'
L4	N 06°33'35" W	30.00'
L5	N 34°07'32" E	135.45'
L6	N 54°30'14" E	444.55'
L7	N 17°36'57" E	26.49'
L8	S 38°29'08" E	233.77'
L9	N 86°28'40" W	87.18'
L10	N 65°58'19" W	113.81'
L11	N 26°11'29" W	113.81'
L12	S 14°18'29" W	226.33'
L13	S 67°26'29" W	226.33'
L14	S 84°08'37" E	34.62'
L15	N 70°55'32" W	82.52'
L16	N 25°47'52" E	114.42'
L17	N 59°37'17" E	177.56'
L18	N 24°13'18" E	114.42'
L19	N 24°13'18" E	45.42'
L20	N 48°42'34" W	78.88'
L21	N 70°55'32" W	82.52'
L22	N 37°37'44" W	44.34'
L23	S 34°36'59" E	76.29'
L24	S 49°55'59" E	138.04'
L25	S 49°10'12" W	83.53'
L26	S 39°12'52" W	138.95'
L27	S 50°10'57" W	68.47'
L28	S 26°59'15" W	116.79'
L29	S 86°33'44" W	46.71'
L30	S 32°23'12" W	150.57'
L31	S 45°15'28" E	34.97'
L32	N 22°26'30" W	53.54'
L33	N 76°17'44" E	53.43'
L34	N 04°57'52" E	23.47'
L35	S 55°02'27" E	34.62'
L36	N 06°33'16" E	42.20'
L37	N 65°09'29" W	41.38'
L38	N 36°27'46" E	50.29'
L39	N 53°16'22" W	39.50'

RIGHT-OF-WAY CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
RC-1	43.00'	50.39'	47.55'	S 03°22'56" W	67°08'28"
RC-2	105.99'	40.63'	40.38'	S 48°10'30" W	21°57'40"
RC-3	18.00'	28.27'	25.46'	N 75°50'41" W	90°00'00"
RC-4	18.00'	28.27'	25.46'	N 14°09'19" E	90°00'00"
RC-5	47.00'	212.02'	72.81'	S 70°04'32" E	258°27'52"
RC-6	23.00'	31.50'	29.09'	S 19°55'26" W	78°27'47"
RC-7	94.00'	147.65'	132.94'	N 14°09'19" E	90°00'00"
RC-8	94.00'	147.65'	132.94'	N 75°50'41" W	90°00'00"
RC-9	23.00'	31.50'	29.09'	S 81°36'47" E	78°27'47"
RC-10	47.00'	212.02'	72.81'	S 08°23'09" W	258°27'52"
RC-11	18.00'	28.27'	25.46'	N 75°50'41" W	90°00'00"
RC-12	18.00'	28.27'	25.46'	N 14°09'19" E	90°00'00"
RC-13	144.00'	55.34'	55.00'	S 48°08'47" W	22°01'04"
RC-14	43.00'	50.38'	47.72'	N 70°39'10" E	67°23'58"
RC-15	18.00'	28.27'	25.46'	S 75°50'41" E	90°00'00"
RC-16	56.00'	87.96'	79.20'	N 14°09'19" E	90°00'00"
RC-17	18.00'	28.27'	25.46'	N 75°50'41" W	90°00'00"
RC-18	18.00'	28.27'	25.46'	S 14°09'19" W	90°00'00"
RC-19	18.00'	28.27'	25.46'	S 75°50'41" E	90°00'00"
RC-20	18.00'	28.27'	25.46'	N 14°09'19" E	90°00'00"
RC-21	56.00'	87.96'	79.20'	N 75°50'41" W	90°00'00"
RC-22	18.00'	28.27'	25.46'	S 14°09'19" W	90°00'00"

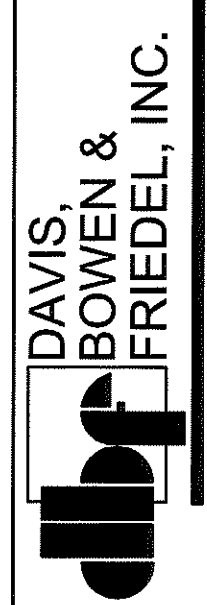
LOT CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
PC-5A	47.00'	35.21'	34.39'	S 37°41'44" W	42°55'21"
PC-5B	47.00'	176.81'	89.51'	N 88°27'48" E	215°32'31"
PC-8A	94.00'	56.85'	55.99'	N 48°10'19" W	34°39'17"
PC-8B	94.00'	51.62'	50.94'	N 81°13'55" W	31°27'56"
PC-8C	94.00'	39.18'	38.89'	S 71°05'43" W	23°52'47"
PC-10A	47.00'	157.97'	93.43'	S 41°19'49" W	192°34'56"
PC-10B	47.00'	46.92'	45.00'	S 83°33'36" E	57°12'14"
PC-10C	47.00'	7.12'	7.12'	N 63°29'44" E	8°41'05"
PC-13A	144.00'	24.11'	24.08'	S 54°21'50" W	9°33'39"
PC-13B	144.00'	31.22'	31.16'	S 43°20'58" W	12°25'26"

NOW OR FORMERLY:
CLARK C. CHARLES
234-34.00-98.00
ZONED: GR



ARCHITECTS ENGINEERS SURVEYORS
SUSSEX COUNTY, DELAWARE
MILLSBORO, DELAWARE
EASTON, MARYLAND



PRELIMINARY SITE PLAN - OVERVIEW

PLOVER POINT
OAK ORCHARD ROAD
MILLSBORO, SUSSEX COUNTY, DELAWARE

Revisions:
2020-09-14: P&Z
2020-10-29: P&Z COMMENTS

Date: JULY, 2020

Scale: 1" = 100'

Dwn.By: TAJ

Proj.No.: 0700C001

Dwg.No.: PL-02



P:\Horsely\0700C001 - Plover Point\Design\Pre\0700C001 - PL - PRELIMINARY SITE PLAN.dwg Oct 29, 2020 - 11:35am jent

DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
SALISBURY, MARYLAND
1101 EAST WASHINGTON STREET
SALISBURY, MARYLAND 21781-1744
(410) 543-8001
(410) 775-1744

PRELIMINARY SITE PLAN

PLOVER POINT
OAK ORCHARD ROAD
MILLSBORO, SUSSEX COUNTY, DELAWARE

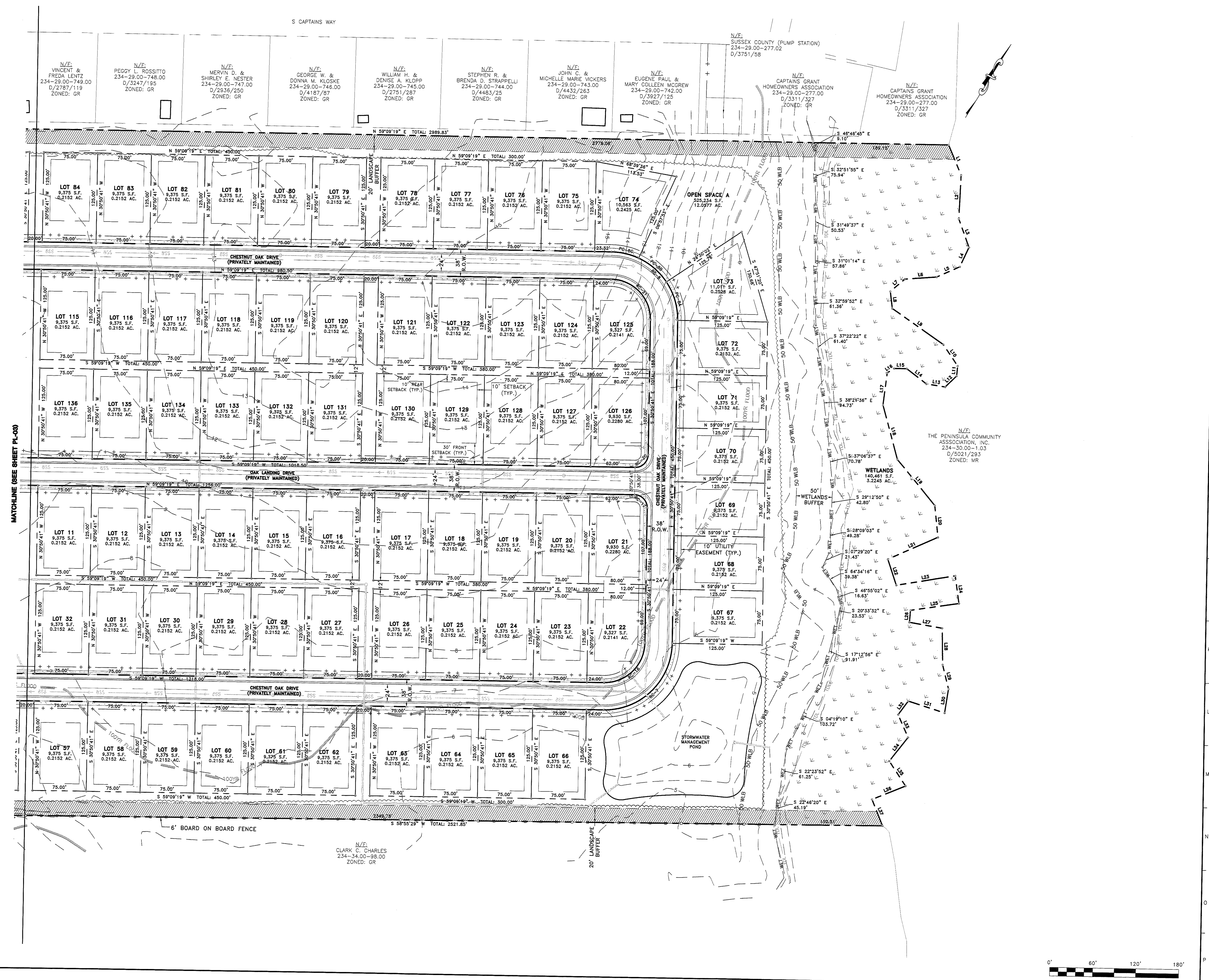
Revisions:
2020-09-14: P&Z
2020-10-29: P&Z COMMENTS

Date: JULY, 2020
Scale: 1" = 60'
Dwn.By: TAJ
Proj.No.: 0700C001
Dwg.No.:

PL-03

THIS DRAWING, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO DAVIS, BOWEN & FRIEDEL, INC., AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION. COPYRIGHT ©2020

P:\Homesy\0700C001 - Plover Point\Design\Preliminary\0700C001 - PL - PRELIMINARY SITE PLAN.dwg Oct 29, 2020 - 11:38am jlw



**PLOVER POINT
OAK ORCHARD ROAD
MILLSBORO, SUSSEX COUNTY, DELAWARE**

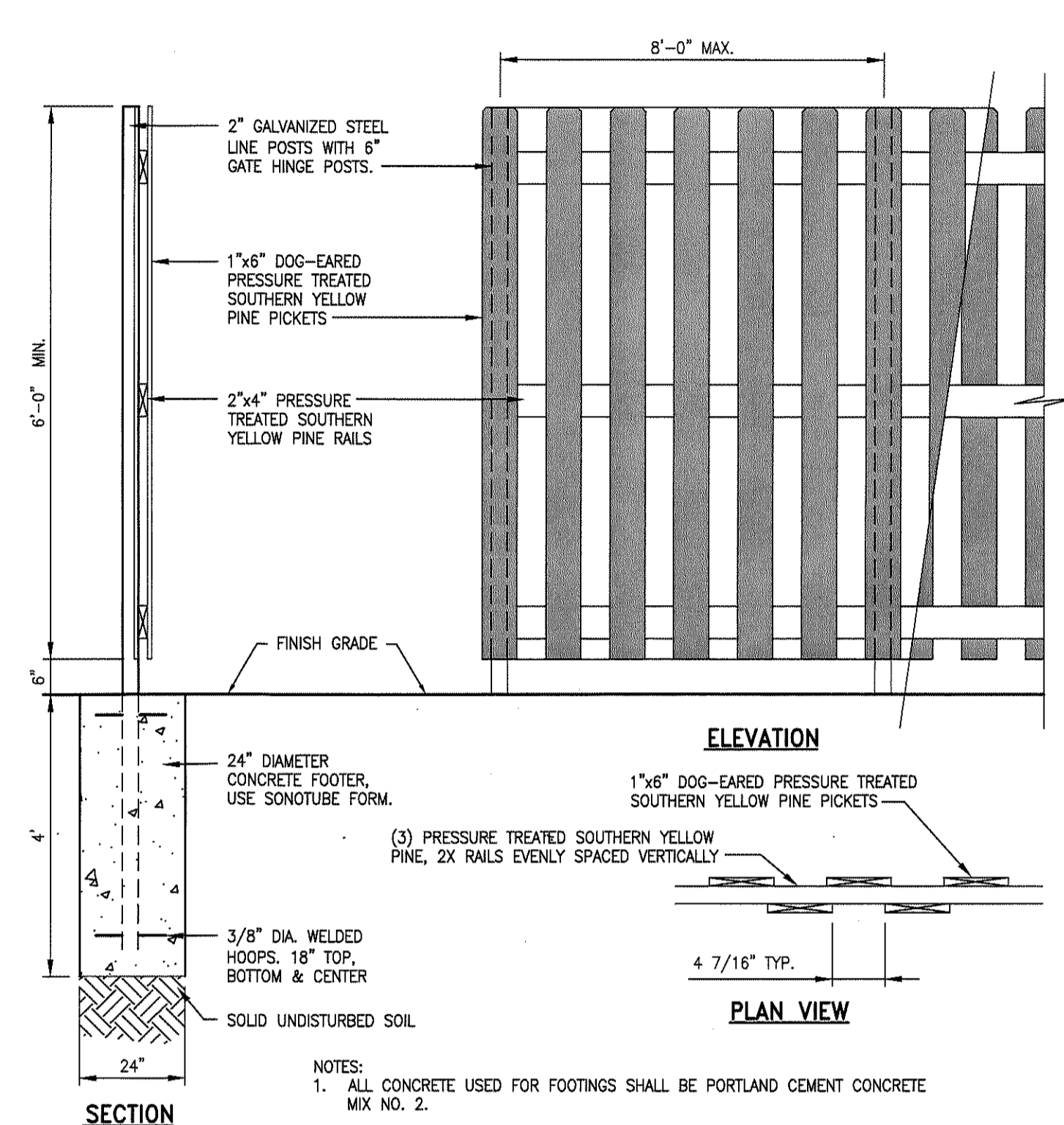
DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
SAUBERTY, MARYLAND
EASTON, MARYLAND
TEL: 410-543-8001
FAX: 410-543-1444
WWW.DBFRIEDEL.COM

PRELIMINARY SITE PLAN

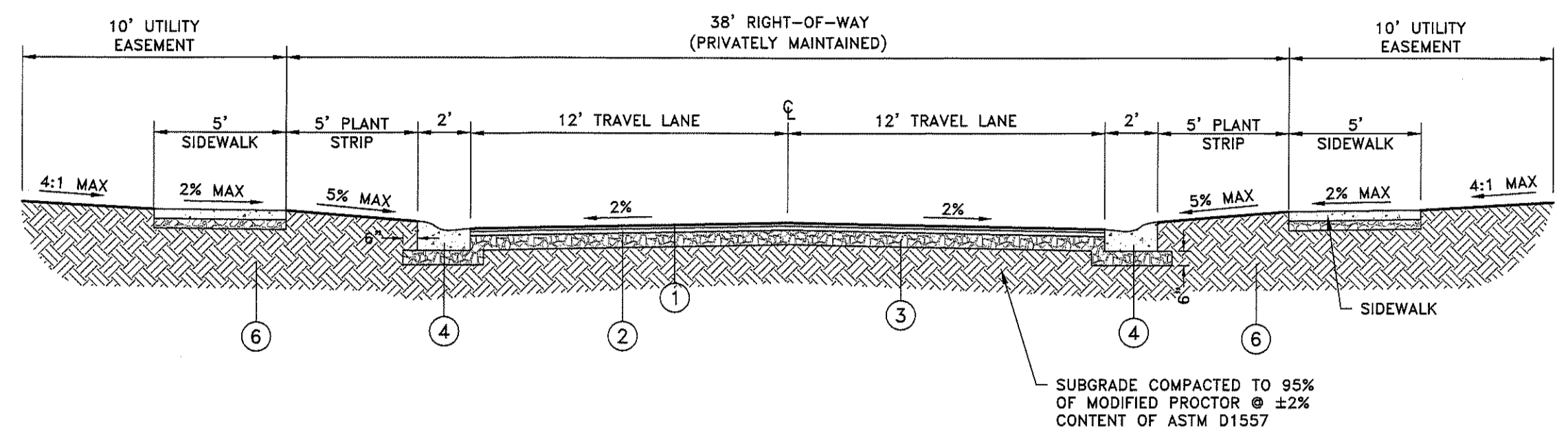
Revisions:	2020-09-14: P&Z
	2020-10-29: P&Z COMMENTS
Date:	JULY, 2020
Scale:	1" = 60'
Dwn.By:	TJAJ
Proj.No.:	0700C001
Dwg.No.:	PL-04



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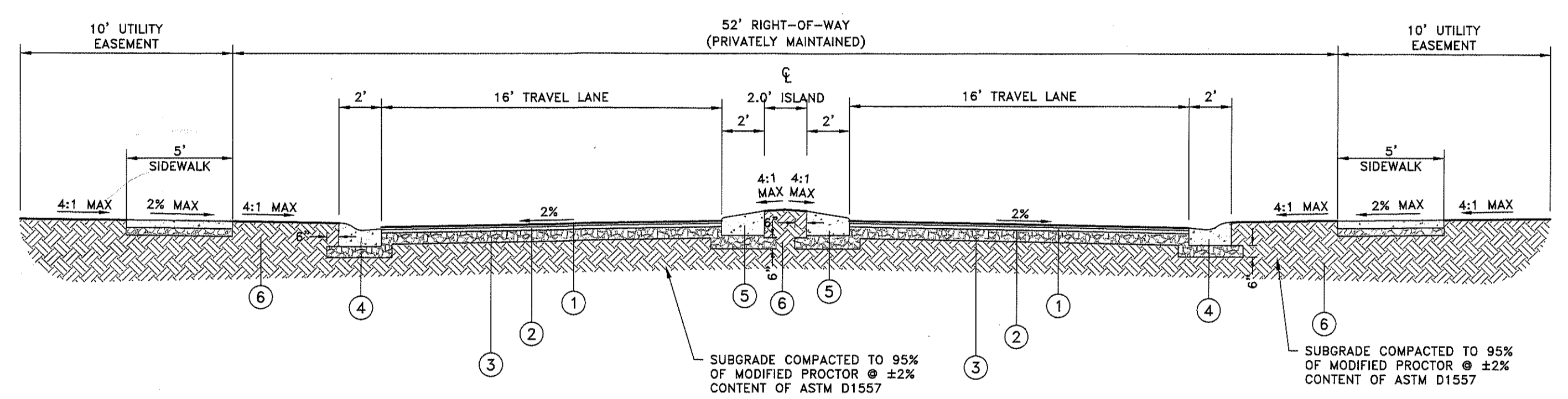


PRESSURE TREATED SCREEN FENCE
NOT TO SCALE



TYPE II RESIDENTIAL STREET SECTION
24' TYPICAL PAVEMENT SECTION
NOT TO SCALE

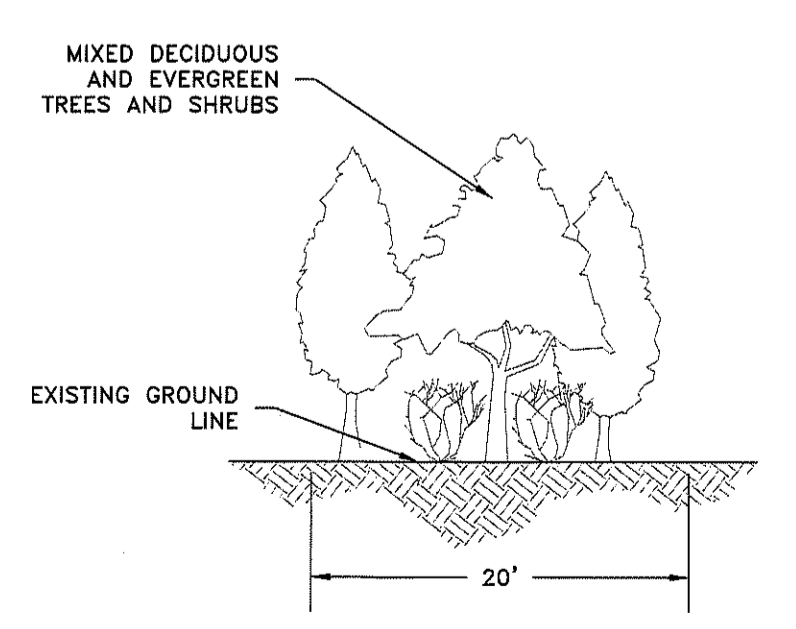
- OAK LANDING DRIVE 2,388 FT (0.45 MILES)
- SCARLETT OAK DRIVE 5,801 FT (1.10 MILES)
- CHESTNUT OAK DRIVE 2,262 FT (0.43 MILES)
- PIN OAK DRIVE 750 FT (0.14 MILES)



ENTRANCE SECTION
32' TYPICAL PAVEMENT SECTION
NOT TO SCALE

LEGEND

- ① BITUMINOUS CONCRETE, SUPERPAVE, TYPE 'C', PG 64-22, 160 GYRATIONS (CARBONATE STONE)
- ② BITUMINOUS CONCRETE, SUPERPAVE, TYPE 'B', PG 64-22, 160 GYRATIONS
- ③ GRADED AGGREGATE BASE COURSE, TYPE 'B', SHALL BE OVER APPROVED SUBGRADE
- ④ INTEGRAL P.C.C. CURB & GUTTER TYPE 2
- ⑤ P.C.C. CURB TYPE 2
- ⑥ ITEM 908002 - TOPSOIL (6" DEPTH),
ITEM 908014 - PERMANENT GRASS SEEDING, DRY GROUND



LANDSCAPE BUFFER DETAIL
NO SCALE

ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
SALISBURY, MARYLAND (410) 543-9000
MILFORD, DELAWARE (302) 484-1441
ESTON, MARYLAND (410) 770-7744

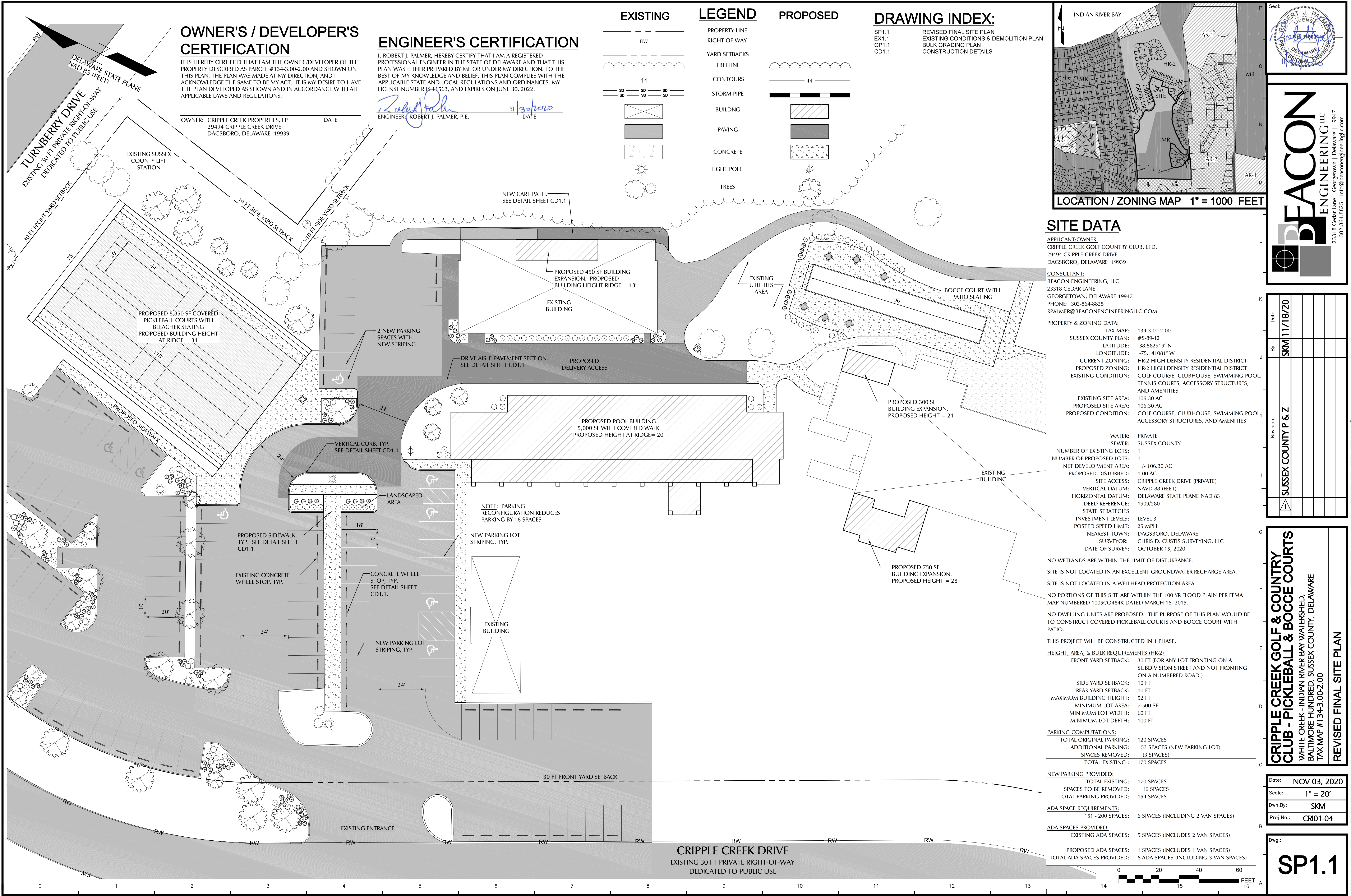
TYPICAL SECTIONS AND DETAILS

PLOVER POINT
OAK ORCHARD ROAD
MILLSBORO, SUSSEX COUNTY, DELAWARE

Revisions:
2020-09-14: P&Z
2020-10-29: P&Z COMMENTS

Date: JULY, 2020
Scale: AS NOTED
Dwn.By: TAJ
Proj.No.: 0700C001
Dwg.No.:

PL-05



OWNER'S / DEVELOPER'S CERTIFICATION

IT IS HEREBY CERTIFIED THAT I AM THE OWNER / DEVELOPER OF THE PROPERTY DESCRIBED AS PARCEL #134-3.00-2.00 AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, AND I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN DEVELOPED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

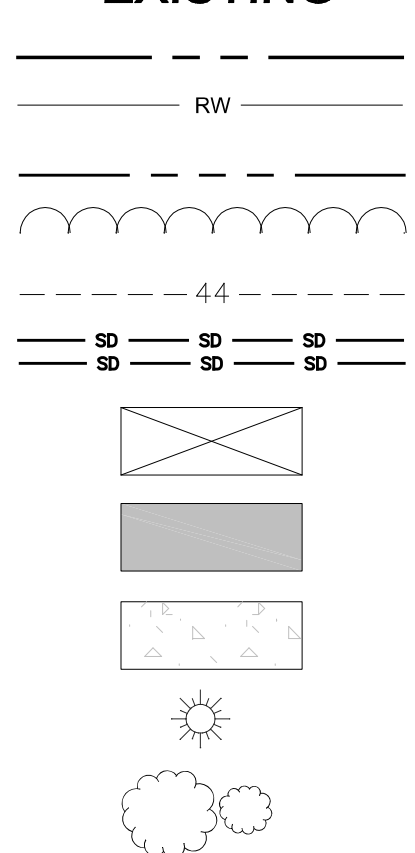
OWNER: CRIPPLE CREEK PROPERTIES, LP
29494 CRIPPLE CREEK DRIVE
DAGSBORO, DELAWARE 19939

ENGINEER'S CERTIFICATION

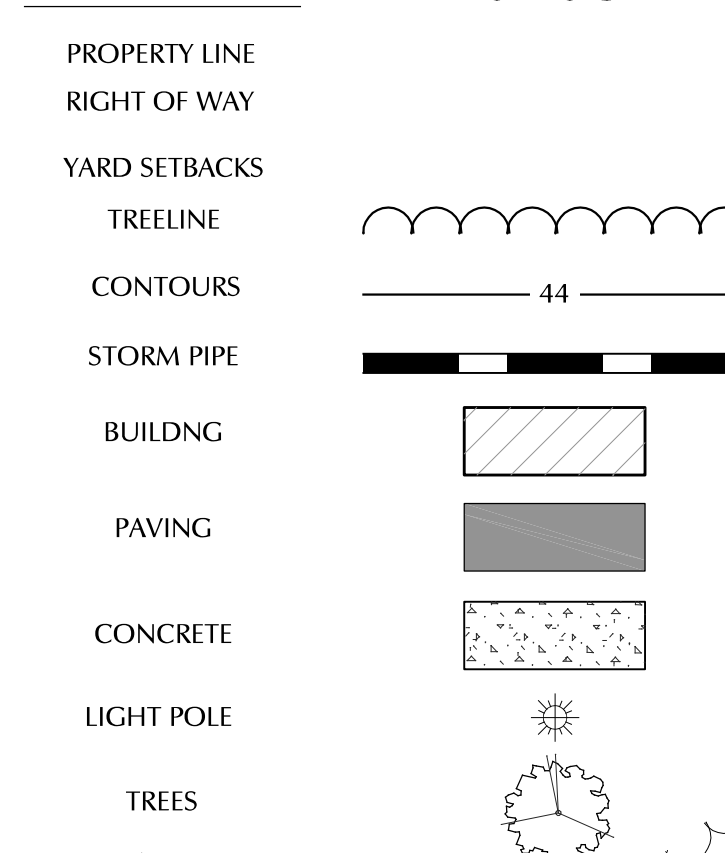
I, ROBERT J. PALMER, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THIS PLAN WAS EITHER PREPARED BY ME OR UNDER MY DIRECTION. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAN COMPLIES WITH THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. MY LICENSE NUMBER IS 44563, AND EXPIRES ON JUNE 30, 2022.

ENGINEER: ROBERT J. PALMER, P.E. DATE: 11/23/2020

EXISTING



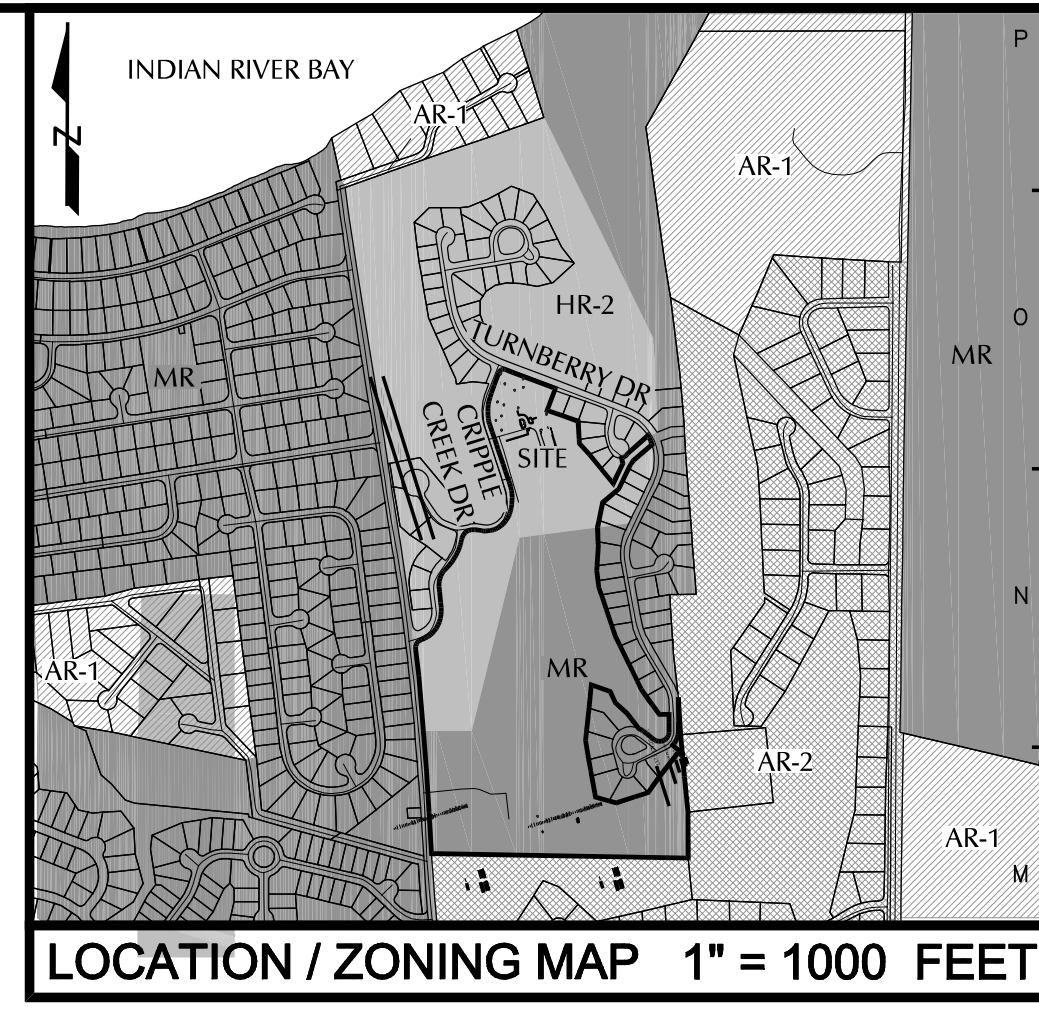
LEGEND



PROPOSED

DRAWING INDEX:

- SP1.1 REVISED FINAL SITE PLAN
- EX1.1 EXISTING CONDITIONS & DEMOLITION PLAN
- GP1.1 BULK GRADING PLAN
- CD1.1 CONSTRUCTION DETAILS



SITE DATA

APPLICANT/OWNER:
CRIPPLE CREEK GOLF COUNTRY CLUB, LTD.
29494 CRIPPLE CREEK DRIVE
DAGSBORO, DELAWARE 19939

CONSULTANT:
BEACON ENGINEERING, LLC
23318 CEDAR LANE
GEORGETOWN, DELAWARE 19947
PHONE: 302-864-8825
RJPALMER@BEACONENGINEERINGLLC.COM

PROPERTY & ZONING DATA:

TAX MAP: 134-3.00-2.00
SUSSEX COUNTY PLAN: #5-89-12
LATITUDE: 38.582919° N
LONGITUDE: -75.141081° W
CURRENT ZONING: HR-2 HIGH DENSITY RESIDENTIAL DISTRICT
PROPOSED ZONING: HR-2 HIGH DENSITY RESIDENTIAL DISTRICT
EXISTING CONDITION: GOLF COURSE, CLUBHOUSE, SWIMMING POOL, TENNIS COURTS, ACCESSORY STRUCTURES, AND AMENITIES
EXISTING SITE AREA: 106.30 AC
PROPOSED SITE AREA: 106.30 AC
PROPOSED CONDITION: GOLF COURSE, CLUBHOUSE, SWIMMING POOL, ACCESSORY STRUCTURES, AND AMENITIES

WATER: PRIVATE
SEWER: SUSSEX COUNTY
NUMBER OF EXISTING LOTS: 1
NUMBER OF PROPOSED LOTS: 1
NET DEVELOPMENT AREA: +/- 106.30 AC
PROPOSED DISTURBED: 1.00 AC
SITE ACCESS: CRIPPLE CREEK DRIVE (PRIVATE)
VERTICAL DATUM: NAVD 88 (FEET)
HORIZONTAL DATUM: DELAWARE STATE PLANE NAD 83 1909/280
STATE STRATEGIES
INVESTMENT LEVELS: LEVEL 3
POSTED SPEED LIMIT: 25 MPH
NEAREST TOWN: DAGSBORO, DELAWARE
SURVEYOR: CHRIS D. CLUSTIS SURVEYING, LLC
DATE OF SURVEY: OCTOBER 15, 2020

NO WETLANDS ARE WITHIN THE LIMIT OF DISTURBANCE.
SITE IS NOT LOCATED IN AN EXCELLENT GROUNDWATER RECHARGE AREA.
SITE IS NOT LOCATED IN A WELLHEAD PROTECTION AREA
NO PORTIONS OF THIS SITE ARE WITHIN THE 100 YR FLOOD PLAIN PER FEMA MAP NUMBERED 1005CO484K DATED MARCH 16, 2015.
NO DWELLING UNITS ARE PROPOSED. THE PURPOSE OF THIS PLAN WOULD BE TO CONSTRUCT COVERED PICKLEBALL COURTS AND BOCCIE COURT WITH PATIO.
THIS PROJECT WILL BE CONSTRUCTED IN 1 PHASE.

HEIGHT, AREA, & BULK REQUIREMENTS (HR-2)

FRONT YARD SETBACK: 30 FT (FOR ANY LOT FRONTING ON A SUBDIVISION STREET AND NOT FRONTING ON A NUMBERED ROAD.)

SIDE YARD SETBACK: 10 FT
REAR YARD SETBACK: 10 FT
MAXIMUM BUILDING HEIGHT: 52 FT
MINIMUM LOT AREA: 7,500 SF
MINIMUM LOT WIDTH: 60 FT
MINIMUM LOT DEPTH: 100 FT

PARKING COMPUTATIONS:

TOTAL ORIGINAL PARKING:	120 SPACES
ADDITIONAL PARKING:	53 SPACES (NEW PARKING LOT)
SPACES REMOVED:	(3 SPACES)
TOTAL EXISTING:	170 SPACES

NEW PARKING PROVIDED:

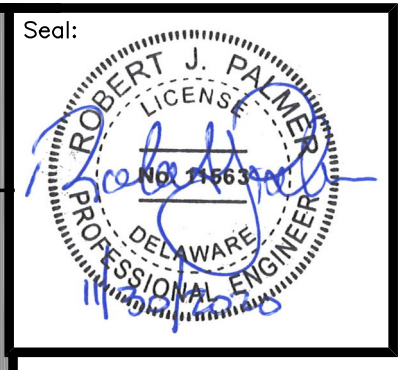
TOTAL EXISTING:	170 SPACES
SPACES TO BE REMOVED:	16 SPACES
TOTAL PARKING PROVIDED:	154 SPACES

ADA SPACE REQUIREMENTS:

151 - 200 SPACES:	6 SPACES (INCLUDING 2 VAN SPACES)
-------------------	-----------------------------------

ADA SPACES PROVIDED:

EXISTING ADA SPACES:	5 SPACES (INCLUDES 2 VAN SPACES)
PROPOSED ADA SPACES:	1 SPACES (INCLUDES 1 VAN SPACES)
TOTAL ADA SPACES PROVIDED:	6 ADA SPACES (INCLUDING 3 VAN SPACES)

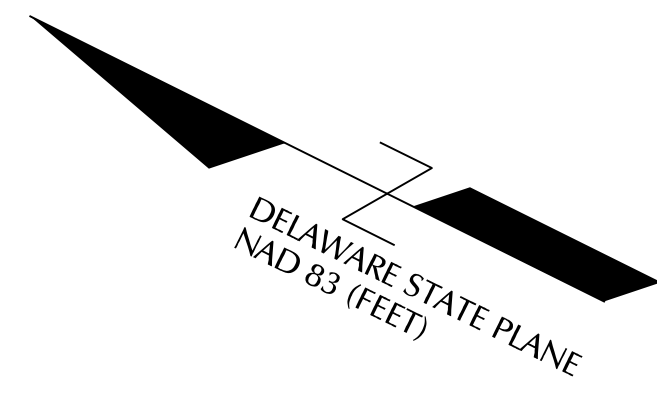


Date:	NOV 11/18/20
By:	SKM
Revision:	SUSSEX COUNTY P & Z

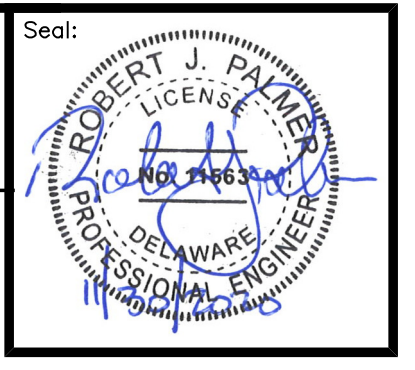
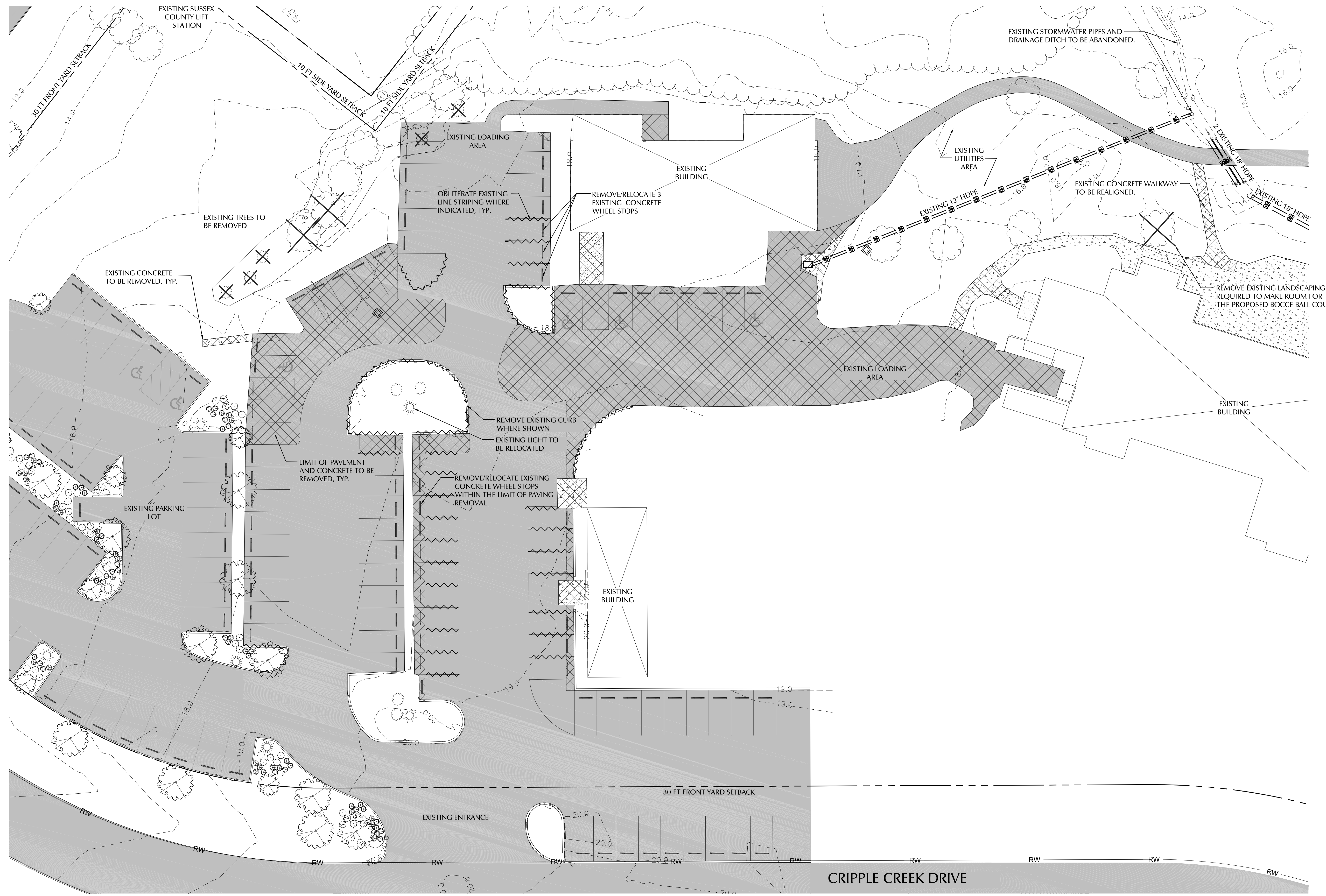
CRIPPLE CREEK GOLF & COUNTRY CLUB - PICKLEBALL & BOCCIE COURTS
WHITE CREEK - INDIAN RIVER BAY WATERSHED,
BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE
TAX MAP # 134-3.00-2.00

REVISED FINAL SITE PLAN

Date:	NOV 03, 2020
Scale:	1" = 20'
Dwn. By:	SKM
Proj. No.:	CRJ01-04
Dwg.:	SP1.1



EXISTING		LEGEND	
	PROPERTY LINE		RIGHT OF WAY
	YARD SETBACKS		TREELINE
	CONTOURS		STORM PIPE
	BUILDING		PAVING
	CONCRETE		TREES



BEACON
ENGINEERING LLC
23319 Coddar Lane | Georgetown | Delaware | 19947
302.864.8825 | info@beaconengineeringllc.com

Revision	By	Date
SUSSEX COUNTY P & Z	SKM	11/18/20

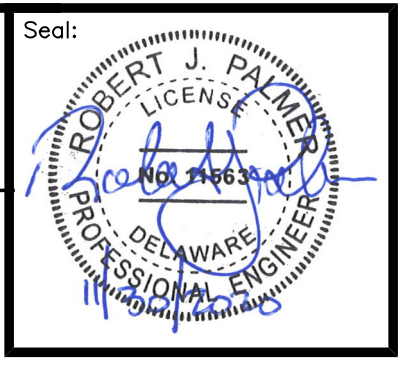
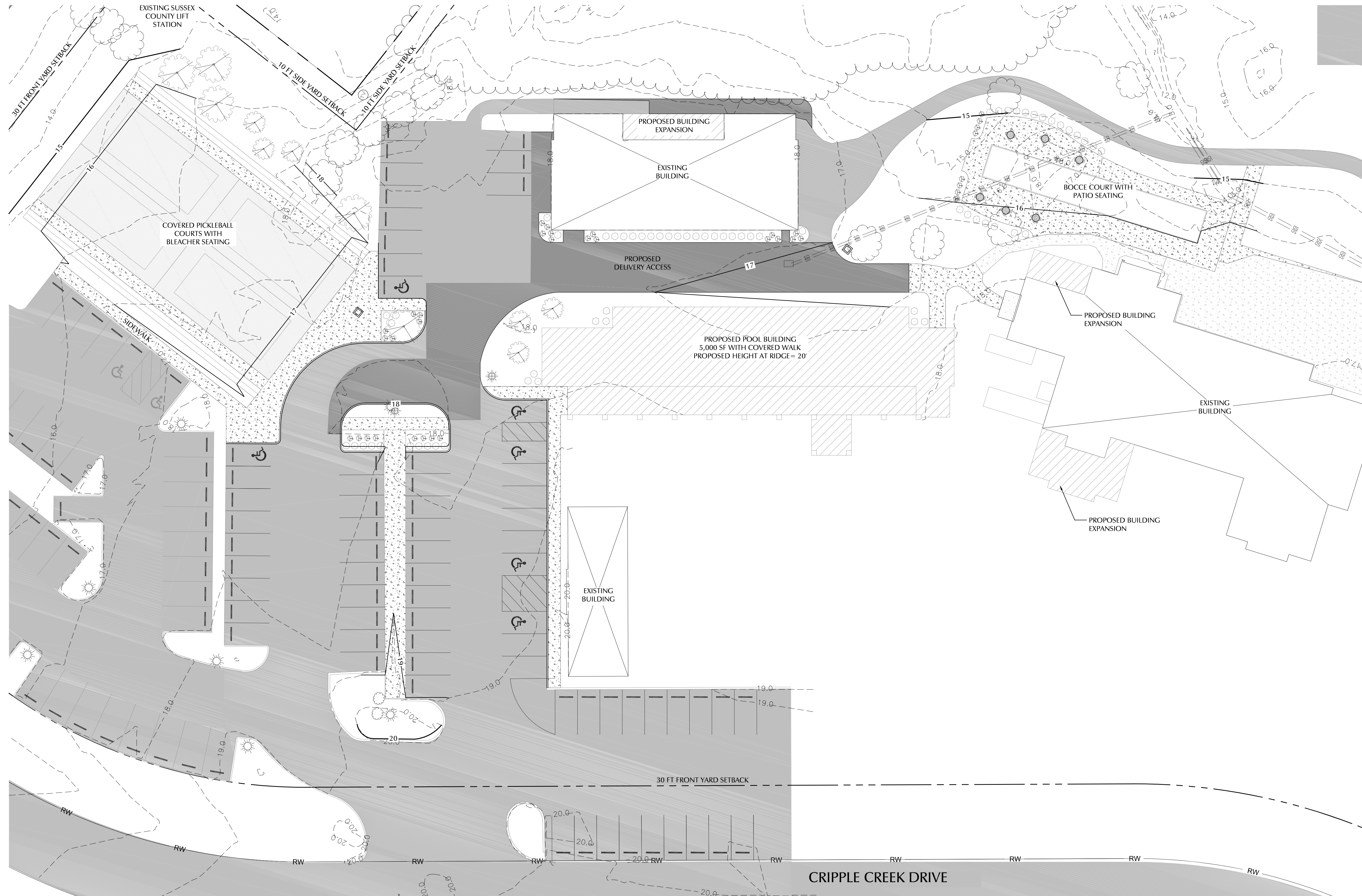
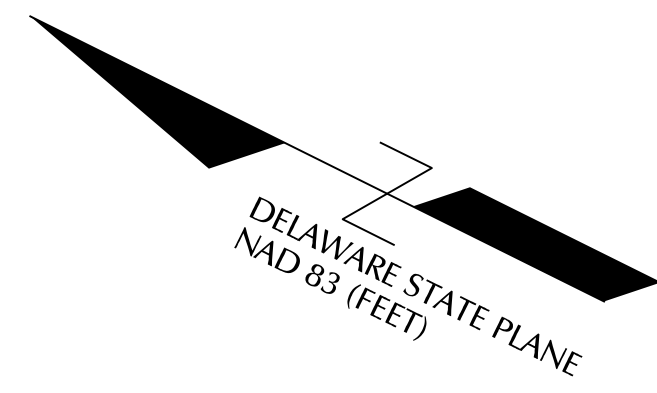
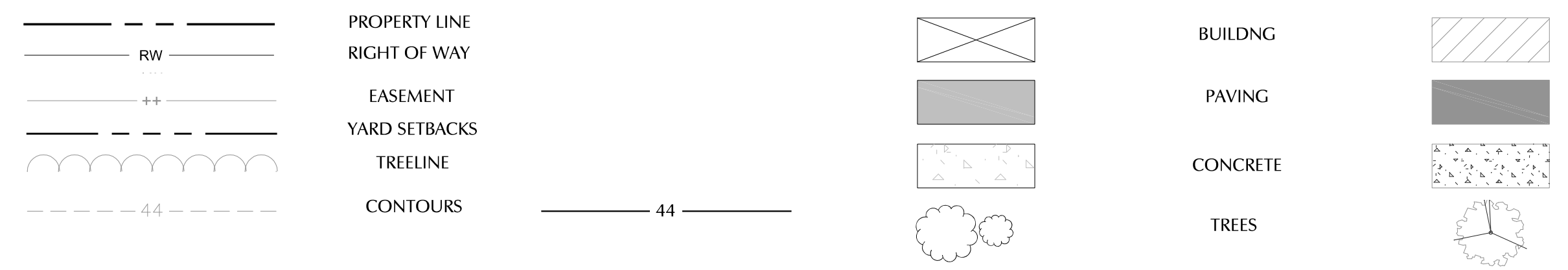
CRIPPLE CREEK GOLF & COUNTRY CLUB - PICKLEBALL & BOCCIE COURTS
WHITE CREEK - INDIAN RIVER BAY WATERSHED,
BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE
TAX MAP # 134-3.00-2.00
EXISTING CONDITIONS AND DEMOLITION PLAN

Date:	NOV 03, 2020
Scale:	1" = 20'
Dwn. By:	SKM
Proj. No.:	CR101-04

Dwg.: **EX1.1**



EXISTING LEGEND PROPOSED



BEACON ENGINEERING LLC
 23318 Coastal Lane | Georgetown | Delaware | 19947
 302.864.8825 | info@beaconengineeringllc.com

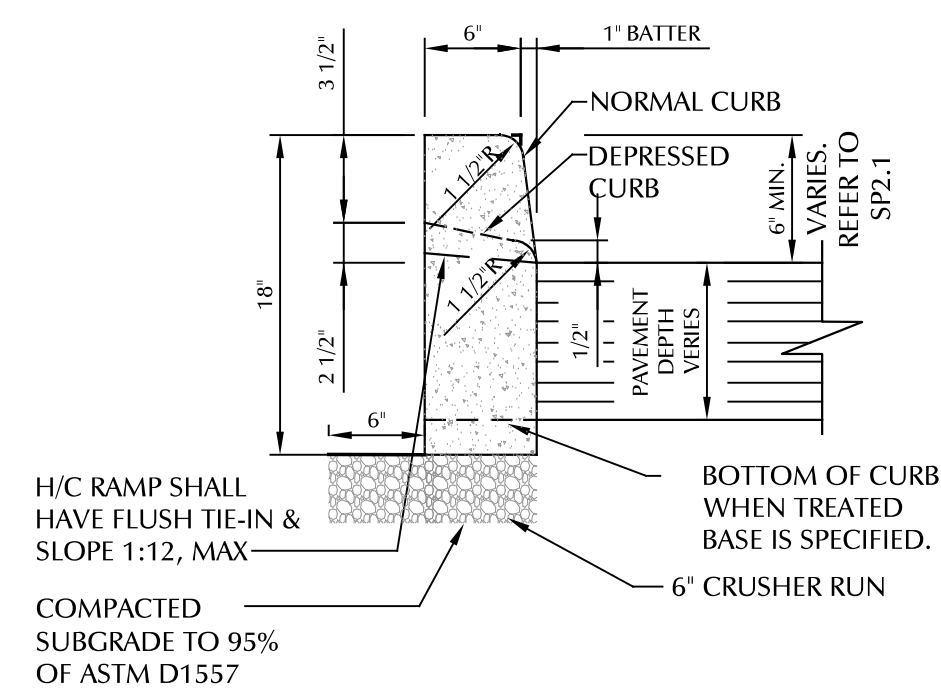
Revision	By	Date

CRIPPLE CREEK GOLF & COUNTRY CLUB - PICKLEBALL & BOCCIE COURTS
 WHITE CREEK - INDIAN RIVER BAY WATERSHED,
 BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE
 TAX MAP # 134-3-00-2.00
BULK GRADING PLAN

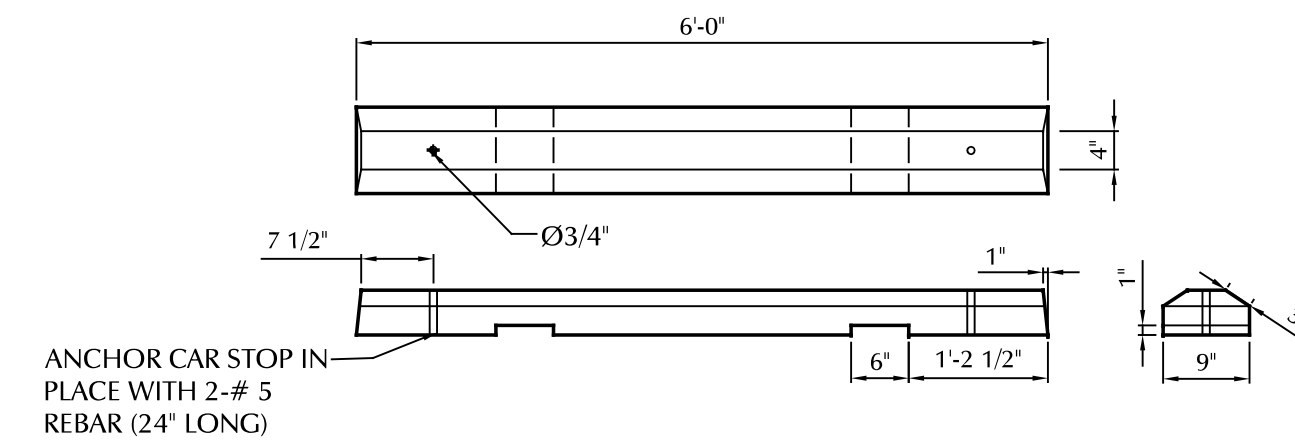
Date:	NOV 03, 2020
Scale:	1" = 20'
Dwn.By:	SKM
Proj.No.:	CR101-04

Dwg.: **GP1.1**

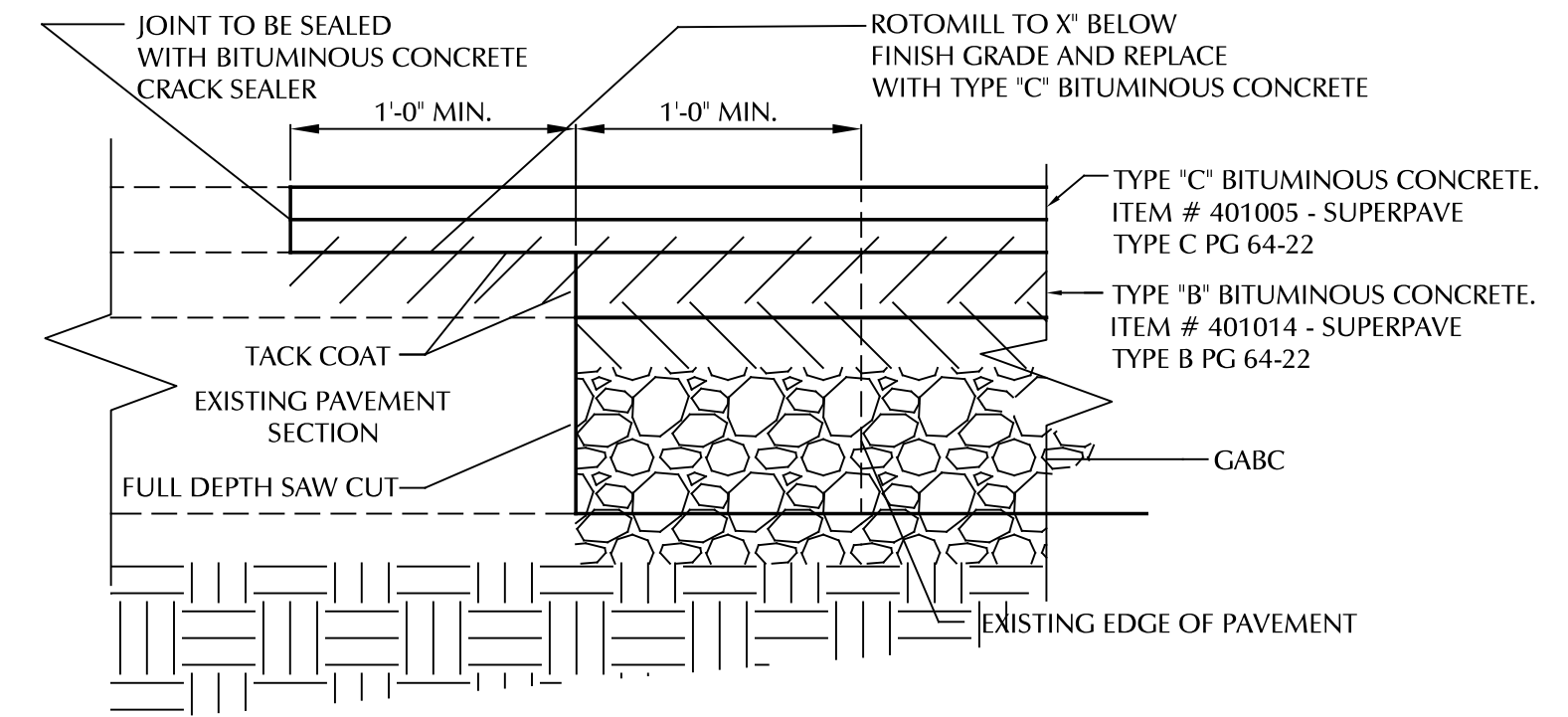




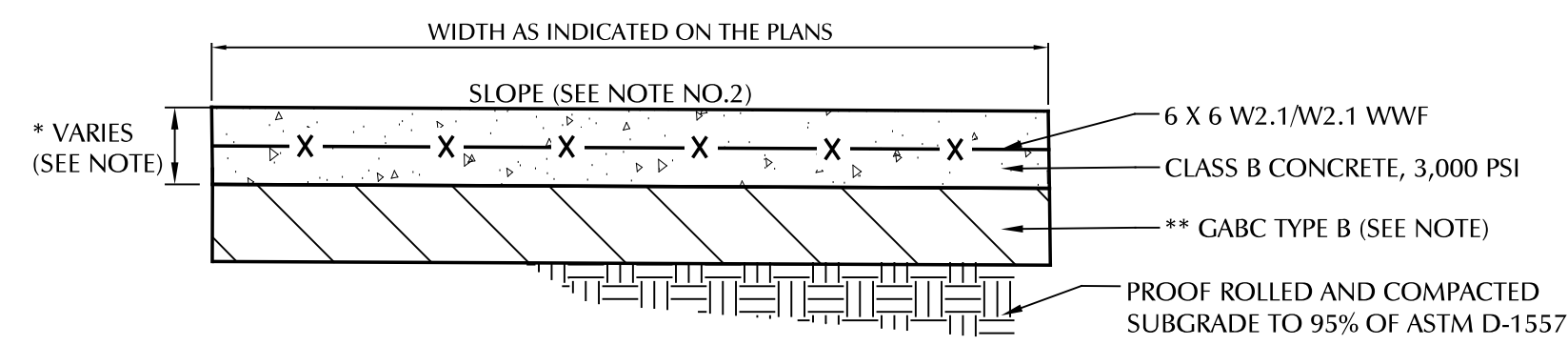
VERTICAL CURB DETAIL



CONCRETE WHEEL STOP DETAIL



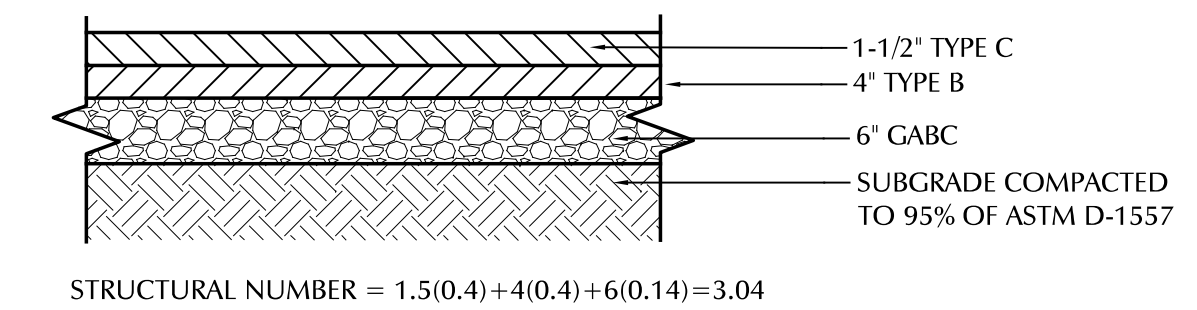
TYPICAL PAVEMENT TIE-IN DETAIL



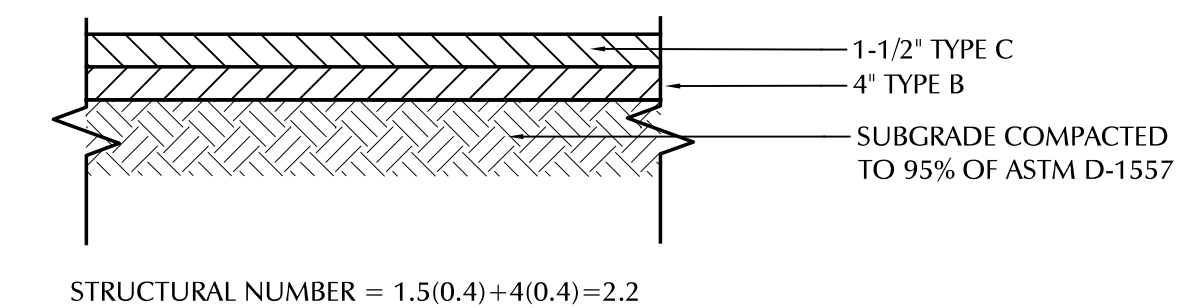
*STANDARD SIDEWALK SHALL BE 5" THICK. FOR DEPRESSED AND TRANSITION AREA, THE SIDEWALK SHALL BE 6" THICK.
 **STANDARD SIDEWALK OF 5" THICKNESS SHALL BE PLACED OVER 4" GABC-TYPE B. SIDEWALK FOR DEPRESSED AND TRANSITION AREAS OF 6" THICKNESS SHALL BE PLACED OVER 6" GABC-TYPE B.

- NOTES:
 1. MARK IN 5' SQUARES, USE CORK EXPANSION JOINTS AT INTERVALS NOT GREATER THEN 20'.
 2. SIDEWALK TO BE CONSTRUCTED AT GRADES INDICATED. SLOPE OF SIDEWALK SHALL PROVIDE POSITIVE DRAINAGE WITH A 2% MAX/1% MIN. CROSS SLOPE.

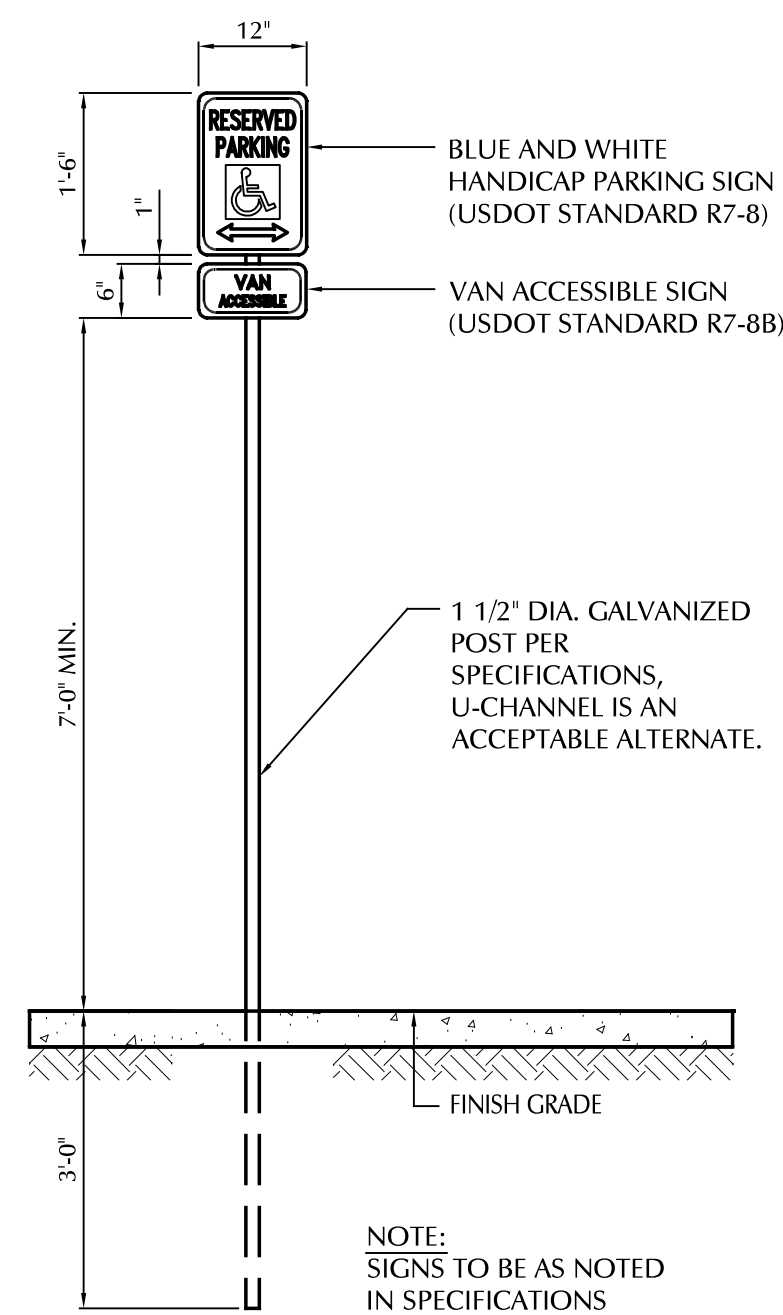
SIDEWALK DETAIL



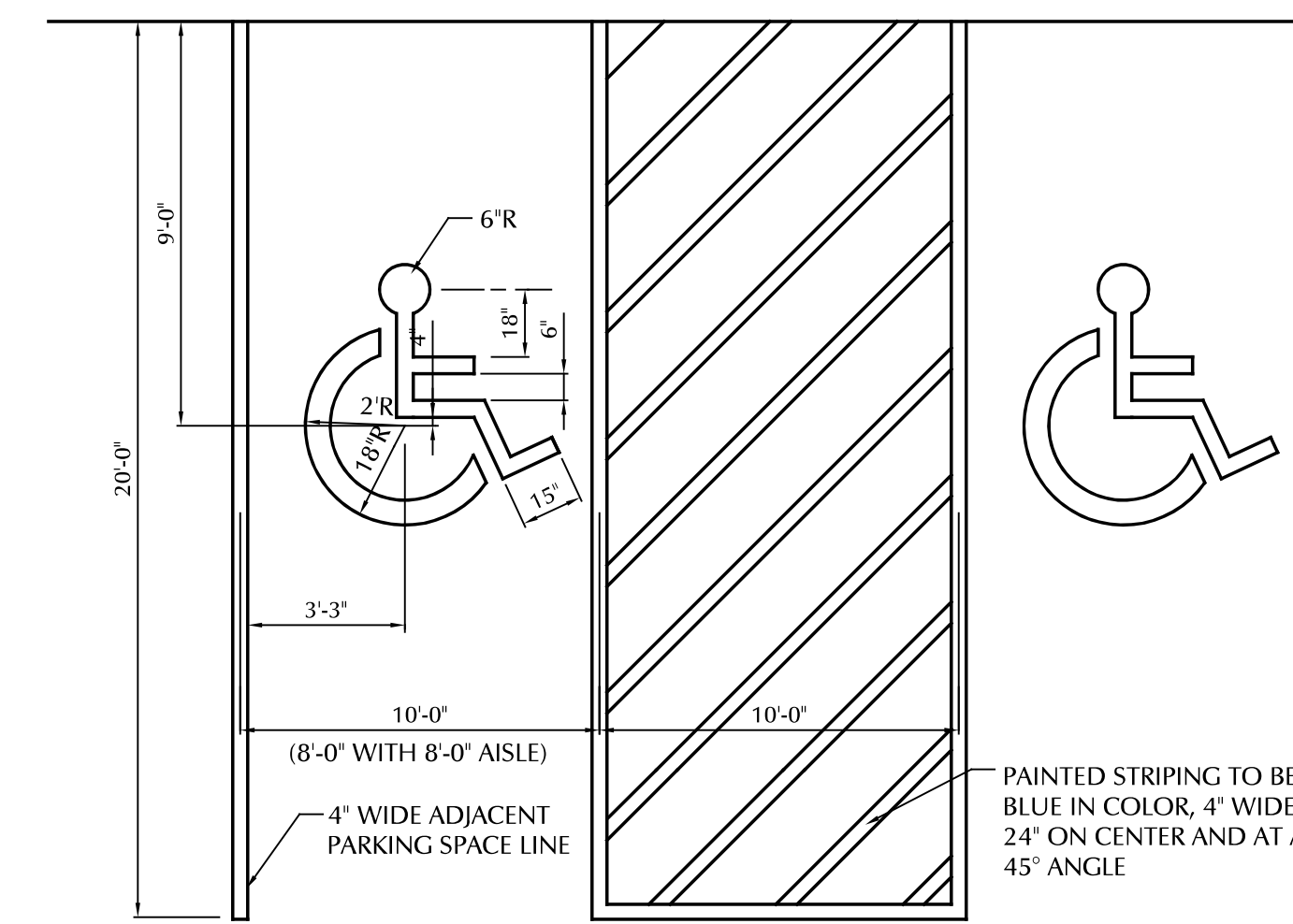
DRIVE AISLE PAVEMENT SECTION



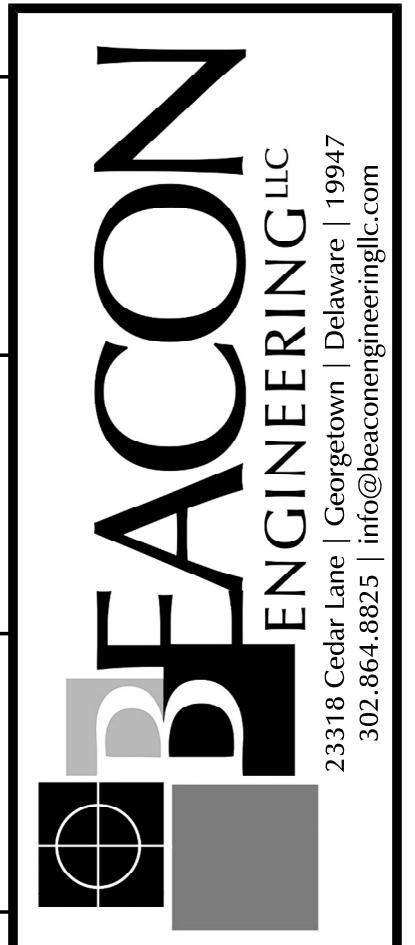
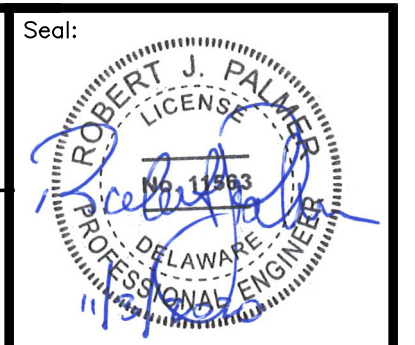
PARKING SPACE PAVEMENT SECTION



PARKING SIGN DETAIL



HANDICAP PARKING DETAIL



Date:	
By:	
Revision:	

CRIPPLE CREEK GOLF & COUNTRY CLUB - PICKLEBALL & BOCCIE COURTS
 WHITE CREEK - INDIAN RIVER BAY WATERSHED,
 BALTIMORE HUNDRED, SUSSEX COUNTY, DELAWARE
 TAX MAP # 134-3.00-2.00
CONSTRUCTION DETAILS

Date: NOV 03, 2020
 Scale: NO SCALE
 Dwn.By: SKM
 Proj.No.: CR101-04

Dwg.: **CD1.1**

November 25, 2020

Sussex County Administrative Building
Planning & Zoning Commission
2 The Circle, P.O. Box 417
Georgetown, DE 19947

Attn: Nick Torrance
Planner I

Re: **Seaglass** (fka Herola Property) – CU2199
TM # 334-12.00-127.01
DBF # 0818S001.J01

*Michael R. Wigley, AIA, LEED AP
W. Zachary Crouch, P.E.
Michael E. Wheedleton, AIA, LEED GA
Jason P. Loar, P.E.
Ring W. Lardner, P.E.
Jamie L. Sechler, P.E.*

Dear Mr. Torrance,

On behalf of our client, OA Rehoboth, LLC, we are respectfully requesting a waiver to allow parking within the front setback for the parcel referenced above. This irregular shaped parcel, zoned CR-1, was assigned a 30 foot front setback along a reserved right-of-way dedication for the future Airport Road Extension. Adjacent to the reserved right-of-way, we are proposing 74 parking spaces that are included with the total required parking for the project. The 74 parking spaces are located within the 30 foot setback, and we are requesting a waiver to allow parking within this setback.

Should you have any questions or need additional information, please contact me at (302) 424-1441 or via e-mail at kjk@dbfinc.com.

Sincerely,
DAVIS, BOWEN AND FRIEDEL, INC.



Karl J. Kreppin
Designer

Enclosures

P:\Ocean Atlantic\0818C032 Herola Property\DOCS\P&Z\2020-11-25_P&Z Comment Response\Seaglass_P&Z Front Setback Parking Waiver_2020-11-25.docx

cc: Ben Gordy

SEAGLASS

MULTI-FAMILY COMMUNITY

(f.k.a. HEROLA PROPERTY)

LEWES & REHOBOTH HUNDRED

SUSSEX COUNTY, DELAWARE

DBF # 0818C032

PRELIMINARY PLAN (S-20-39)

AUGUST, 2019

SHEET INDEX	
PRELIMINARY - TITLE SHEET	PL-01
PRELIMINARY - OVERVIEW	PL-02
PRELIMINARY - SITE PLAN	PL-03 TO PL-06

GENERAL NOTES

- BOUNDARY AND EXISTING CONDITIONS SURVEY HAS BEEN PREPARED BY DAVIS, BOWEN, & FRIEDEL, INC.
- EXISTING UTILITIES AREA SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THROUGH TEST PITTING, THE LOCATIONS, SIZE, AND INVERT ELEVATIONS OF ALL UNDERGROUND UTILITIES AS REQUIRED TO GIVE TIMELY ADVANCE NOTICE TO ENGINEERS OF ANY CONFLICT BETWEEN EXISTING AND NEW WORK.
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY (1-800-282-8555) AND SUSSEX COUNTY 72 HOURS PRIOR TO EXCAVATION TO HAVE UNDERGROUND UTILITIES MARKED. THE CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL REPAIR OR REPLACE IN KIND ANY EXISTING FEATURES DAMAGED OR DESTROYED DURING CONSTRUCTION.
- ALL BACKFILLED AND DISTURBED AREAS TO BE SEEDED AND MULCHED WITH 4" OF TOPSOIL TO BE PLACED IN FILL AREAS.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY STAKE OUT OF LINE AND GRADE.
- ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT, LATEST EDITION, AND ALL RULES AND REGULATIONS THERETO.
- THE CONTRACTOR SHALL KEEP EXISTING UTILITIES IN OPERATION DURING CONSTRUCTION.
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF ALL PERMITS SECURED, WHICH TAKE PRECEDENCE OVER SPECIFICATIONS.
- THE CONTRACTOR SHALL EXERCISE EXTREME CARE AND CAUTION AND TAKE MEASURES NECESSARY TO PROTECT TREES DURING CONSTRUCTION ACTIVITY.
- THE CONTRACTOR IS RESPONSIBLE FOR SECURING AND PROTECTION UTILITY POLES BEFORE AND DURING CONSTRUCTION ACTIVITIES.
- ANY DISTURBED AREAS OUTSIDE THE RIGHT-OF-WAY SHALL BE RESTORED TO THEIR ORIGINAL CONDITION IMMEDIATELY.
- MAINTENANCE OF THE STREETS WITHIN THIS SUBDIVISION WILL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS WITHIN THE SUBDIVISION, OR BOTH. THE STATE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE INTERIOR STREET DESIGN SHALL INCLUDE STREET LIGHTING AND SIDEWALKS.
- INTERIOR STREET LIGHTING SHALL BE ARRANGED AND INSTALLED TO MINIMIZE GLARE ON NEIGHBORING PROPERTIES.
- ALL SIGNALS, ENTRANCES, INTERSECTIONS, ROADWAY IMPROVEMENTS AND MULTI-MODAL FACILITIES SHALL BE CONSTRUCTED AS REQUIRED BY DELDOT.
- NO SITE PREPARATION, SITE DISTURBANCE, SITE EXCAVATION OR OTHER SITE CONSTRUCTION SHALL BE COMMENCED UNTIL ALL PERMITS REQUIRED BY ALL OTHER LAWS, ORDINANCES, RULES AND REGULATIONS SHALL HAVE BEEN ISSUED AND THE APPROVED FINAL SITE PLAN IS RECORDED, EXCEPT SUCH SITE WORK FOR WHICH A PERMIT HAS BEEN ISSUED BY THE SUSSEX CONSERVATION DISTRICT.

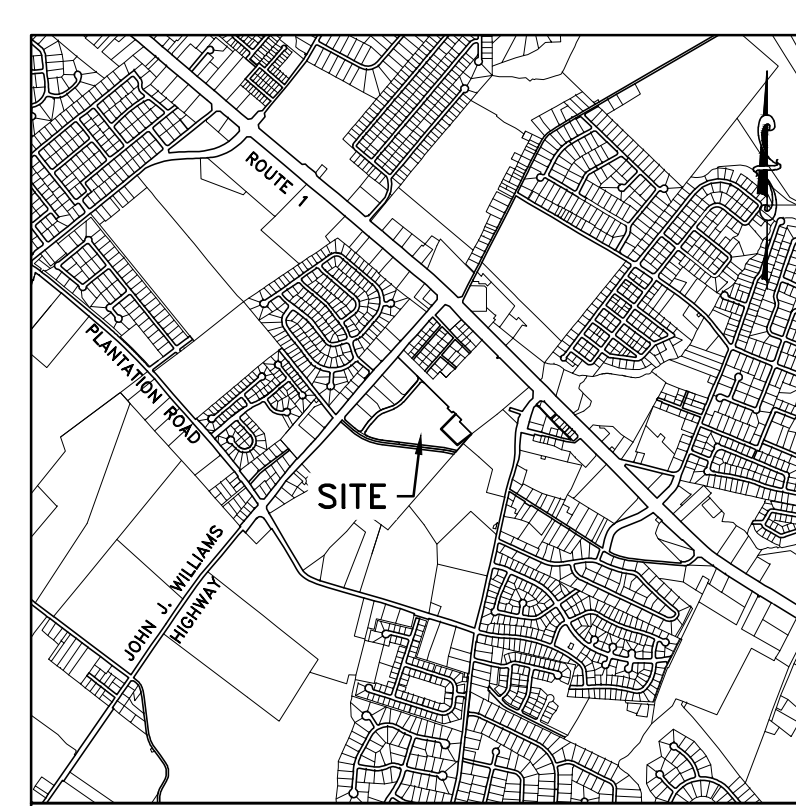
CONDITIONAL USE (CU 2199)

CONDITIONS OF APPROVAL:

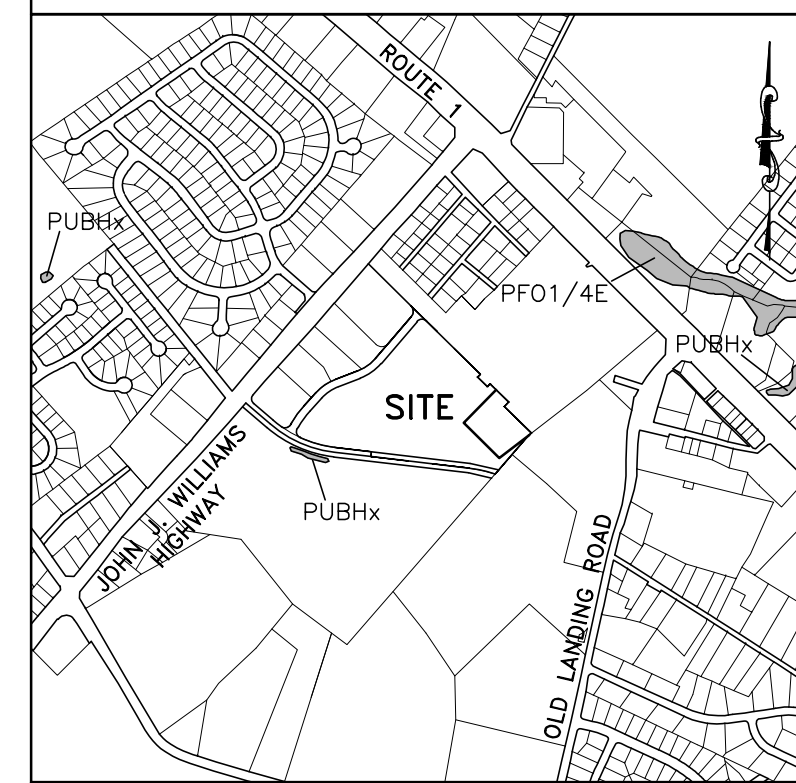
- The maximum number of residential apartment units shall not exceed 224 units located in no more than 7 buildings.
- All entrances, interconnections, roadways, and multi-modal improvements required by DeIDOT shall be completed in accordance with DeIDOT's requirements.
- The Applicant shall dedicate land and contribute to the cost of a DeIDOT planned connector road from Route 24 to Old Landing Road.
- The development shall be served as part of a Sussex County Sanitary District. The developer shall comply with all requirements and specifications of the County Engineering Department.
- The development shall be served by central water.
- Stormwater management and erosion and sedimentation control facilities shall be constructed in accordance with all applicable State and County requirements. These facilities shall be operated in a manner which is consistent with Best Management Practices.
- Recreational amenities, including a community clubhouse, outdoor swimming pool, playground, and enclosed dog park shall be completed prior to the issuance of a Certificate of Occupancy for the third multi-family building.
- Road naming and addressing shall be subject to the review and approval of the Sussex County Mapping and Addressing Departments.
- If required by the school district, the location for a school bus shelter shall be coordinated with the local school district's transportation manager. The location of the bus stop shelter shall be shown on the Final Site Plan.
- No outdoor construction activities or deliveries of dirt, fill, or similar material shall occur at the site except between the hours of 7:30 am through 7:30 p.m. Monday through Friday and between 8:00 am through 5:00 pm on Saturdays. There shall be no construction, site work, grading, or deliveries at the site on Sundays.
- The design of interior drives shall meet or exceed Sussex County road design standards and requirements.
- The use shall comply with all Sussex County parking requirements.
- One lighted entrance sign, not to exceed 32 square feet per side, shall be permitted.
- Space in the community clubhouse or in 1 unit shall be permitted as an on-site management office.
- The Applicant or its assigns shall be responsible for the maintenance of interior drives, parking areas, buildings, buffers, stormwater management, recreational amenities, and all open space.
- A revised Preliminary Site Plan either depicting or noting these conditions must be submitted to the Sussex County Office of Planning and Zoning. The Staff shall approve the Revised Preliminary Site Plan upon confirmation that the Conditions of Approval have been depicted or noted on it.
- The Final Site Plan shall contain the approval of the Sussex Conservation District for the design and location of all stormwater management areas and erosion and sedimentation control facilities.
- The Final Site Plan shall include a landscape plan for all buffer areas showing all the landscaping and vegetation to be included in the buffer areas.
- The Final Site Plan shall be subject to the review and approval of the Planning & Zoning Commission.

LEGEND

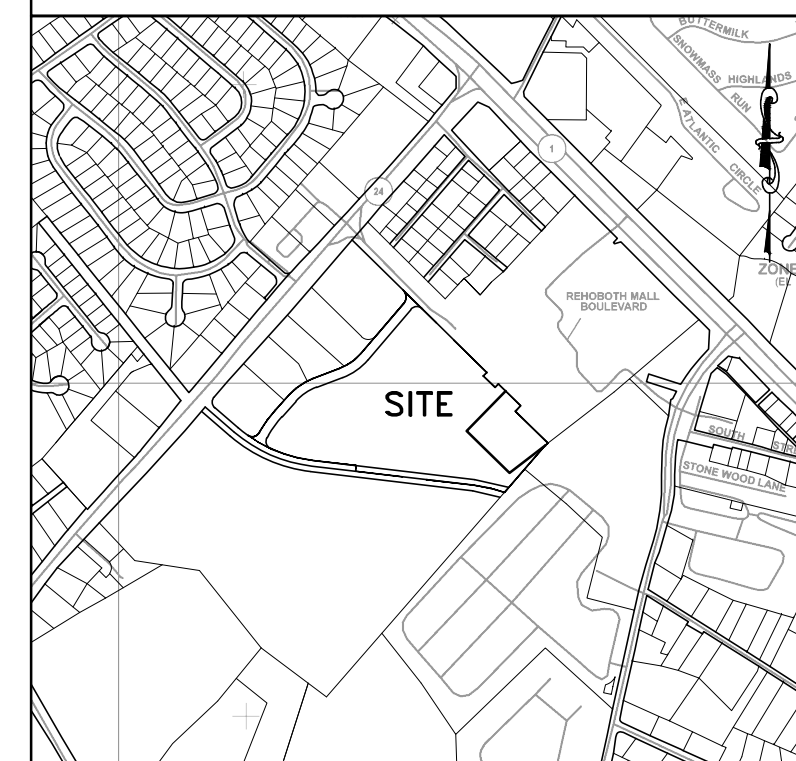
EXISTING	PROPOSED
BOUNDARY LINE	RIGHT-OF-WAY / BOUNDARY LINE
ADJACENT PROPERTY OWNER	PROPERTY LINE
EASEMENT	EASEMENT
CONTOUR ELEVATION AND LABEL	CONTOUR ELEVATION AND LABEL
CATCH BASIN, STORM PIPE, STORM MANHOLE	CATCH BASIN, STORM PIPE & STORM MANHOLE
SANITARY SEWER MANHOLE, PIPE, FLOW ARROW, PIPE SIZE	MANHOLE, PIPE, FLOW ARROW, PIPE SIZE
SANITARY SEWER CLEANOUT	SANITARY SEWER LATERAL
WATER MAIN, W/ VALVES	WATER MAIN, TEE W/ VALVES, PIPE SIZE
FIRE HYDRANT ASSEMBLY	FIRE HYDRANT ASSEMBLY
STREET LIGHT	STREET LIGHT
TELEPHONE	SIGN
SIGN	FENCE
TREE	SWALE
TREE LINE	TREE LINE
PAVEMENT	PAVEMENT
SIDEWALK	SIDEWALK
BUILDING	BUILDING
	WALKING TRAIL



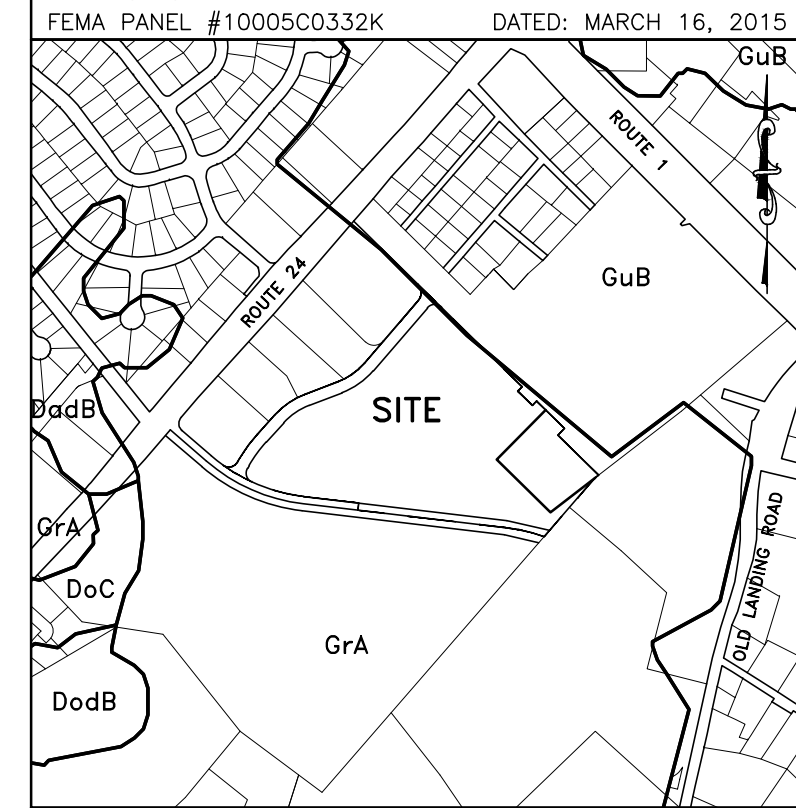
LOCATION MAP SCALE: 1" = 1/2 MILE



NWI WETLANDS SCALE: 1" = 1200'



FLOODPLAIN MAP SCALE: 1" = 1000'



SOILS MAP SCALE: 1" = 800'

DATA COLUMN

PARCEL ID: 334-12.00-127.01 & 127.10

DATUM:
VERTICAL: NAVD 88
HORIZONTAL: NAD 83 (DE STATE PLANE)

LAND USE:
EXISTING: VACANT/AGRICULTURE
PROPOSED: 224 MULTI-FAMILY UNITS WITH CLUBHOUSE

DENSITY:
MAXIMUM: 12 UNITS PER ACRE
PROPOSED: 224 UNITS/18,759 AC. = 11.94 UNITS PER ACRE

ZONING:
EXISTING: CR-1 (COMMERCIAL RESIDENTIAL DISTRICT)
PROPOSED: CR-1 (COMMERCIAL RESIDENTIAL DISTRICT)

MINIMUM REQUIREMENTS:
FRONT SETBACK: 30 FT.
SIDE SETBACK: 10 FT.
REAR SETBACK: 10 FT.
BUILDING SEPARATION: 40 FT.
PARKING: 224 UNITS x 2/UNIT = 448 SPACES (BEFORE REDUCTION)
PARKING REDUCTION: 1-50 UNITS 100 @ 100 SPACES
51-200 UNITS 300 REDUCED @ 15% TO 255 SPACES
201-224 UNITS 48 REDUCED @ 20% TO 39 SPACES REQUIRED 394 SPACES

MAXIMUM REQUIREMENTS:
BUILDING HEIGHT: 42 FT.

PROPOSED:
BUILDING HEIGHT: 42 FT. (4 STORIES)
PARKING: 394 SPACES INCLUDING 18 HANDICAPPED ACCESSIBLE

AREAS:
EXISTING SITE:
PARCEL - 127.01 17,438 AC.
PARCEL - 127.10 1,321 AC.
TOTAL SITE AREA 18,759 AC.

PUBLIC CONNECTOR ROAD R.O.W. DEDICATION 0.605 AC.

PROPOSED SITE:
PARCEL - A 12,183 AC. (INCLUDES 2.0 AC LAND LEASE EASEMENT)
RESIDUAL LANDS 4,289 AC.
R.O.W. DEDICATION 0.994 AC.
PARCEL - 127.10 1,283 AC.
TOTAL SITE AREA 18,759 AC.

NET DEVELOPMENT AREA: 18,759 AC.

UTILITIES:
SEWER: PUBLIC (SUSSEX COUNTY, WEST REHOBOTH SOUTH PLANNING AREA)
WATER: PUBLIC (TIDEWATER UTILITIES, INC.)

IMPERVIOUS COVERAGE: 6,316 ACRES/16,482 ACRES (WITHOUT R.O.W.) = 38%

PROPOSED BUILDING CONSTRUCTION: WOOD CONSTRUCTION

FLOODPLAIN: THIS PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA MAP 10005C0332K, DATED MARCH 16, 2015

WETLANDS: DO NOT EXIST ON SITE

STATE STRATEGIES MAP: LEVEL 2 (2015)

TRANSPORTATION IMPROVEMENT DISTRICT (TID): HENLOPEN TID (UNDER DEVELOPMENT FOR THIS AREA)

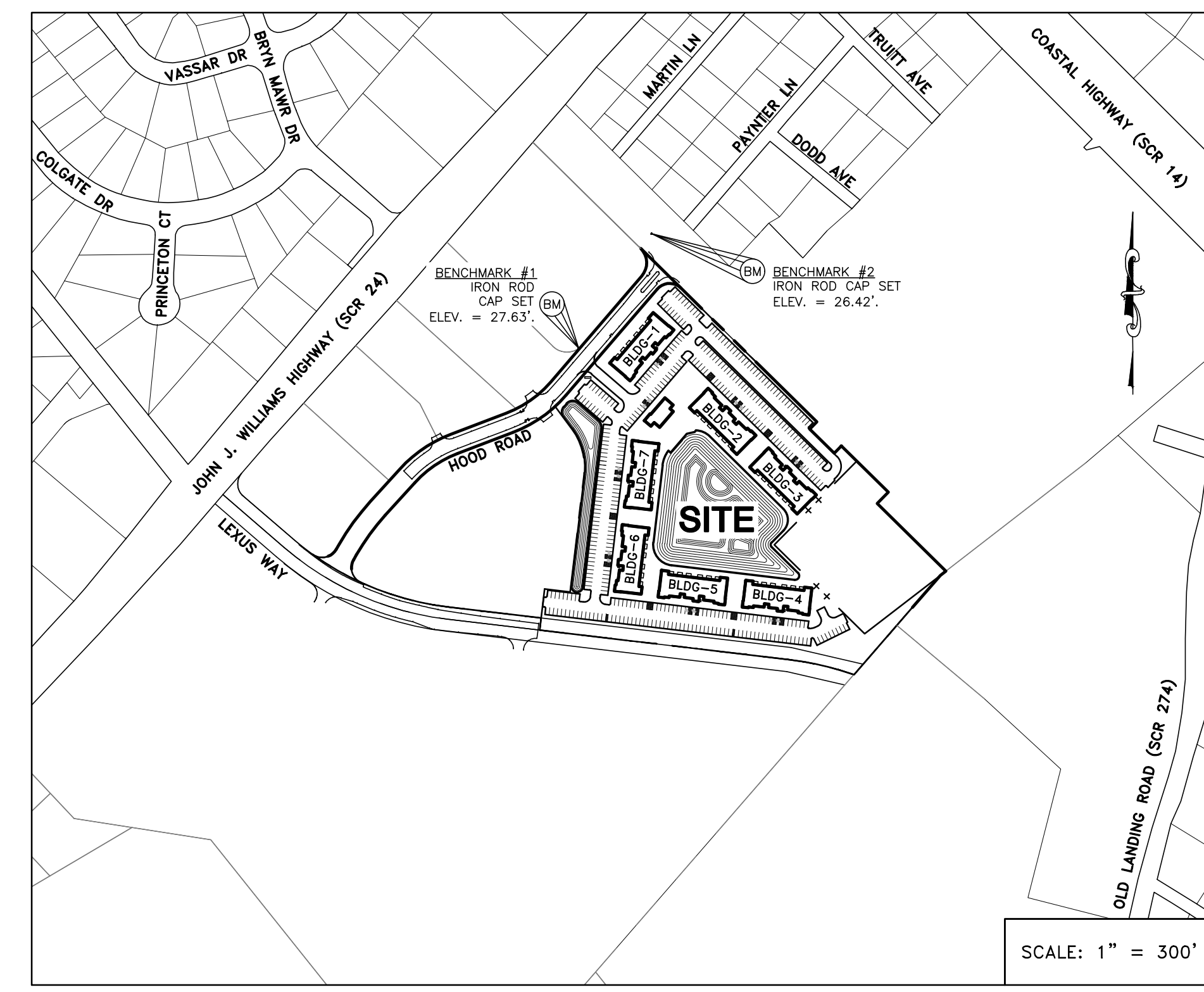
THIS PROPERTY IS LOCATED 416± TO THE EAST OF THE INTERSECTION OF JOHN J. WILLIAMS HWY. (SCR 024) AND LEXUS WAY.

POSTED SPEED LIMIT: HOOD ROAD 25 M.P.H.

OWNER:
HEROLA FAMILY, LLC.
4015 164th STREET
SUITE 106
LYNNWOOD, WA 98087

DEVELOPER:
OA REHOBOTH, LLC.
18949 COASTAL HIGHWAY
REHOBOTH BEACH, DE 19971
(302) 227-3573

ENGINEER:
DAVIS, BOWEN & FRIEDEL, INC.
W. ZACHARY CROUCH, P.E.
1 PARK AVENUE
MILFORD, DE 19963
(302) 424-1441



SCALE: 1" = 300'

OWNER'S STATEMENT

WE, HEROLA FAMILY, LLC, HEREBY CERTIFY THAT WE ARE THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE _____ DATE _____
TITLE _____

ENGINEER'S STATEMENT

I, W. ZACHARY CROUCH, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DAVIS, BOWEN & FRIEDEL, INC.
by W. ZACHARY CROUCH, P.E. DATE _____

dbf DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS, ENGINEERS & SURVEYORS

SALISBURY, MARYLAND (410) 543-9091
MILFORD, DELAWARE (302) 424-1441
EASTON, MARYLAND (410) 770-4744

REVISED:
2020-10-07: P&Z, CONDITIONS OF APPROVAL
2020-11-25: P&Z COMMENTS

PL-01

SHEET PL-03

SHEET PL-04

SHEET PL-05

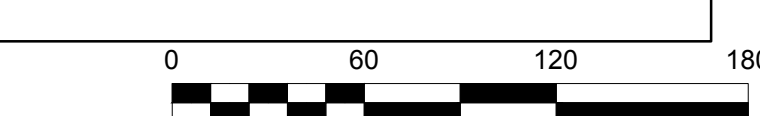
SHEET PL-06

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	40.00	65.99	58.75	N 87°19'04" E	94°31'08"
C2	750.00	165.01	164.68	N 76°57'01" W	12°36'22"
C3	720.00	225.24	224.33	N 74°17'28" W	17°55'27"
C4	720.00	137.91	137.70	N 69°50'30" W	10°58'30"
C5	39.96	40.39	38.70	S 83°17'36" E	57°54'51"
C6	40.10	26.30	25.83	N 48°57'53" E	37°34'11"
C7	625.00	131.20	130.96	N 36°07'35" E	12°01'39"
C8	325.00	193.49	192.07	N 55°40'13" E	27°03'36"
C9	275.00	136.92	135.51	N 54°56'11" E	28°31'37"
C10	50.00	74.01	67.44	S 01°43'41" E	84°48'44"
C11	325.00	161.74	160.08	S 54°56'23" W	28°30'50"
C12	275.00	129.81	128.61	S 55°40'26" W	27°02'47"
C13	575.00	120.65	120.43	S 36°07'17" W	12°01'19"
C14	40.00	24.66	24.27	S 12°40'17" W	35°19'41"
C15	40.00	42.17	40.25	S 33°11'48" E	60°24'30"
C16	792.00	65.66	65.64	S 61°02'55" E	4°45'00"
C17	792.00	158.33	158.07	S 69°09'03" E	11°27'16"
C18	230.00	79.81	79.41	N 73°47'58" E	13°52'51"
C19	157.00	119.07	116.24	N 14°58'49" W	43°27'14"
C20	325.00	39.26	39.23	S 44°08'35" W	6°55'15"

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 44°31'26" W	25.00
L2	N 44°31'26" E	25.00
L3	S 44°31'26" W	39.00
L4	S 62°53'08" W	117.29
L5	N 06°44'48" E	30.00
L6	N 30°06'46" E	13.69
L7	S 30°08'19" W	113.67



ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
 1000 MARKET STREET
 SUITE 200
 WILMINGTON, DELAWARE 19801
 (302) 424-1441
 (302) 424-1442
 (410) 770-4744

**SEAGLASS
 LEWES AND REHOBOTH HUNDRED
 SUSSEX COUNTY, DELAWARE**

REVISED: 2020-10-07; P&Z, CONDITIONS OF APPROVAL
 334-12.00-123.01
 2020-11-25; P&Z COMMENTS

Date: **OCTOBER, 2019**
 Scale: **1" = 60'**
 Dwn.By: **JWJ, KJK**
 Proj.No.: **0818C032**
 Dwg.No.:

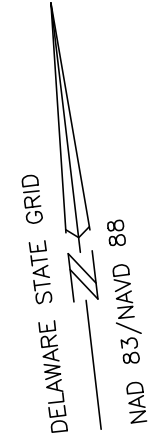
PL-02

P:\Ocean Atlantic\0818C032 Herola Property\DESIGN\PRELIMINARY\PRELIMINARY SITE PLAN.dwg Nov 25, 2020 - 10:00am KREK

KEY LEGEND:

- (A) HANDICAP PARKING SPACE (8'X18')
- (B) CONCRETE SIDEWALK
- (C) STREET LIGHT (LIGHTING SHALL BE DIRECTED DOWNWARD TO MINIMIZE GLARE)
- (D) METAL "STOP" SIGN (36"X36")
- (E) DUMPSTER LOCATION (HEIGHT: 6FT)
- (F) MAILBOXES
- (G) WHEEL STOP
- (H) P.C.C. CURB, TYPE 1-6
- (I) NOSE DOWN CURB
- (J) PEDESTRIAN CONNECTION, TYPE 1 (SEE DELDOT DETAIL, C-2)
- (K) METAL "FIRE LANE" SIGN (12"X18")
- (L) PROPOSED FENCE (ARCHITECTURAL GUARDRAIL/SAFETY FENCE, 4FT VERT.)
- (M) PROPOSED GATE (ARCHITECTURAL GATE, USE REQUIRED PANIC OR FIRE EXIT HARDWARE)

- PROPOSED PAVEMENT



JOHN J. WILLIAMS HIGHWAY (ROUTE 24)

N/F
HEROLA FAMILY, LLC.
334-12.00-127.09
DEED: 2894/281
ZONING: CR-1

N/F
HEROLA FAMILY, LLC.
334-12.00-127.08
DEED: 2894/281
ZONING: CR-1

N/F
HEROLA FAMILY, LLC
334-12.00-127.10
DEED: 2894/281
ZONING: CR-1

N/F
HEROLA FAMILY, LLC.
334-12.00-127.07
DEED: 2894/281
ZONING: CR-1

N/F
DOUBLE J PROPERTIES
334-12.00-127.03
DEED: 2638/266
ZONING: C-1

P.O.B
N:265
E:736

MATCHLINE (SEE SHEET PL-04)

MATCHLINE (SEE SHEET PL-05)

MATCHLINE (SEE SHEET PL-06)

MATCHLINE (SEE SHEET PL-07)

MATCHLINE (SEE SHEET PL-08)

MATCHLINE (SEE SHEET PL-09)

MATCHLINE (SEE SHEET PL-10)

MATCHLINE (SEE SHEET PL-11)

MATCHLINE (SEE SHEET PL-12)

ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
1301 MARKET STREET
WILMINGTON, DELAWARE 19801
TEL: 302.426.1441
FAX: 302.426.1442
WWW.DBFRIEDEL.COM

DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
PRELIMINARY - SITE PLAN

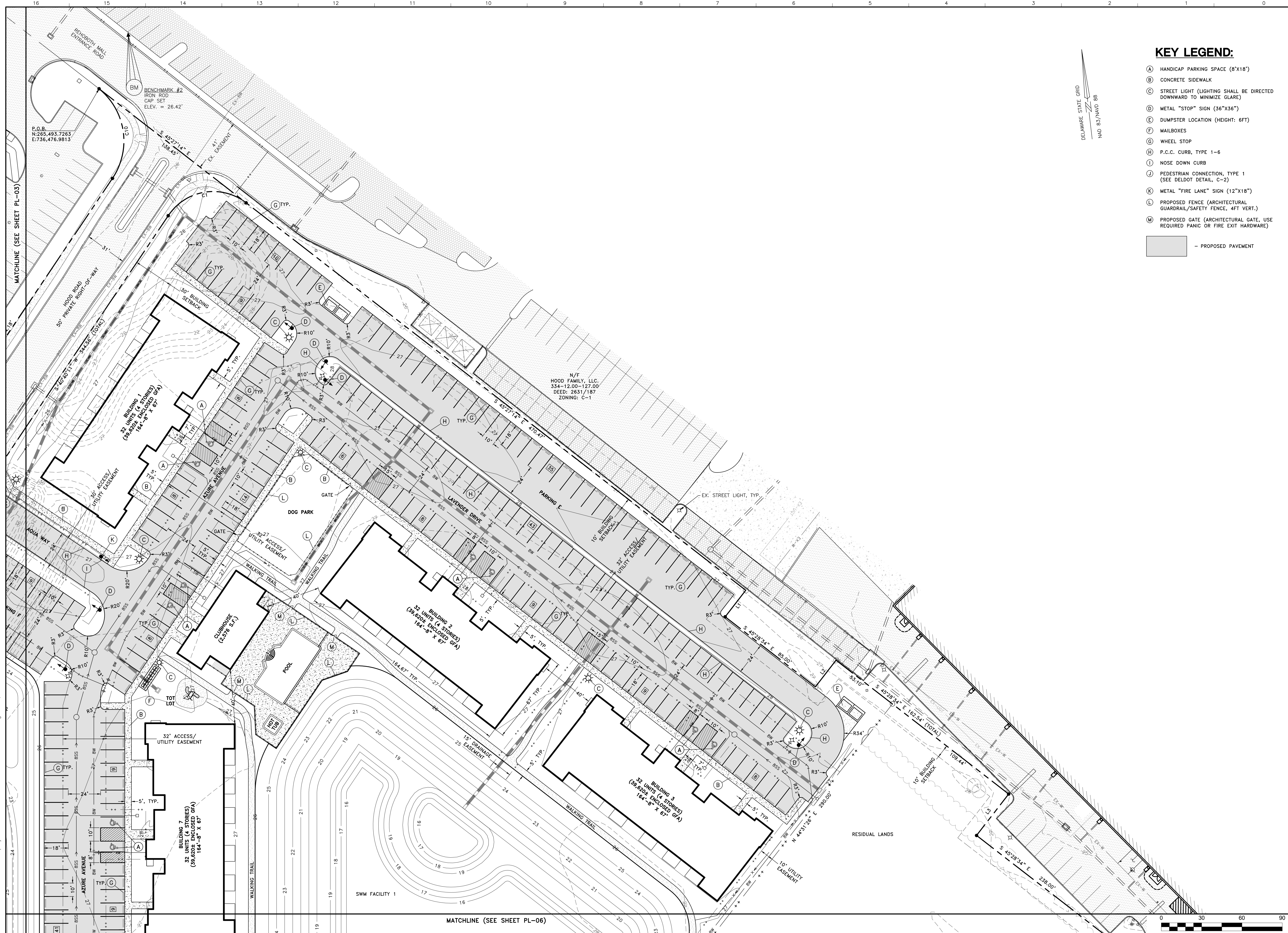
**SEAGLASS
LEWES AND REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE**

REVISED:
2020-10-07: P&Z, CONDITIONS OF APPROVAL
2020-11-25: P&Z COMMENTS

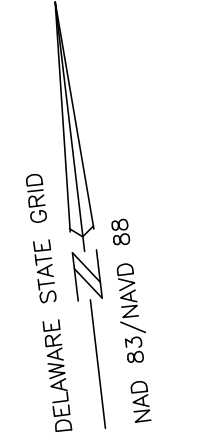
Date: **OCTOBER, 2019**
Scale: **1" = 30'**
Dwn.By: **JWJ, KJK**
Proj.No.: **0818C032**
Dwg.No.: **PL-03**

PL-03

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- KEY LEGEND:**
- (A) HANDICAP PARKING SPACE (8'X18')
 - (B) CONCRETE SIDEWALK
 - (C) STREET LIGHT (LIGHTING SHALL BE DIRECTED DOWNWARD TO MINIMIZE GLARE)
 - (D) METAL "STOP" SIGN (36"X36")
 - (E) DUMPSTER LOCATION (HEIGHT: 6FT)
 - (F) MAILBOXES
 - (G) WHEEL STOP
 - (H) P.C.C. CURB, TYPE 1-6
 - (I) NOSE DOWN CURB
 - (J) PEDESTRIAN CONNECTION, TYPE 1 (SEE DELDOT DETAIL, C-2)
 - (K) METAL "FIRE LANE" SIGN (12"X18")
 - (L) PROPOSED FENCE (ARCHITECTURAL GUARDRAIL/SAFETY FENCE, 4FT VERT.)
 - (M) PROPOSED GATE (ARCHITECTURAL GATE, USE REQUIRED PANIC OR FIRE EXIT HARDWARE)
- - PROPOSED PAVEMENT



DAVIS, BOWEN & FRIEDEL, INC.
 ARCHITECTS ENGINEERS SURVEYORS
 1000 MARKET STREET, SUITE 200
 WILMINGTON, DELAWARE 19801
 (302) 424-1441
 (302) 424-1441
 (410) 770-4744

PRELIMINARY - SITE PLAN

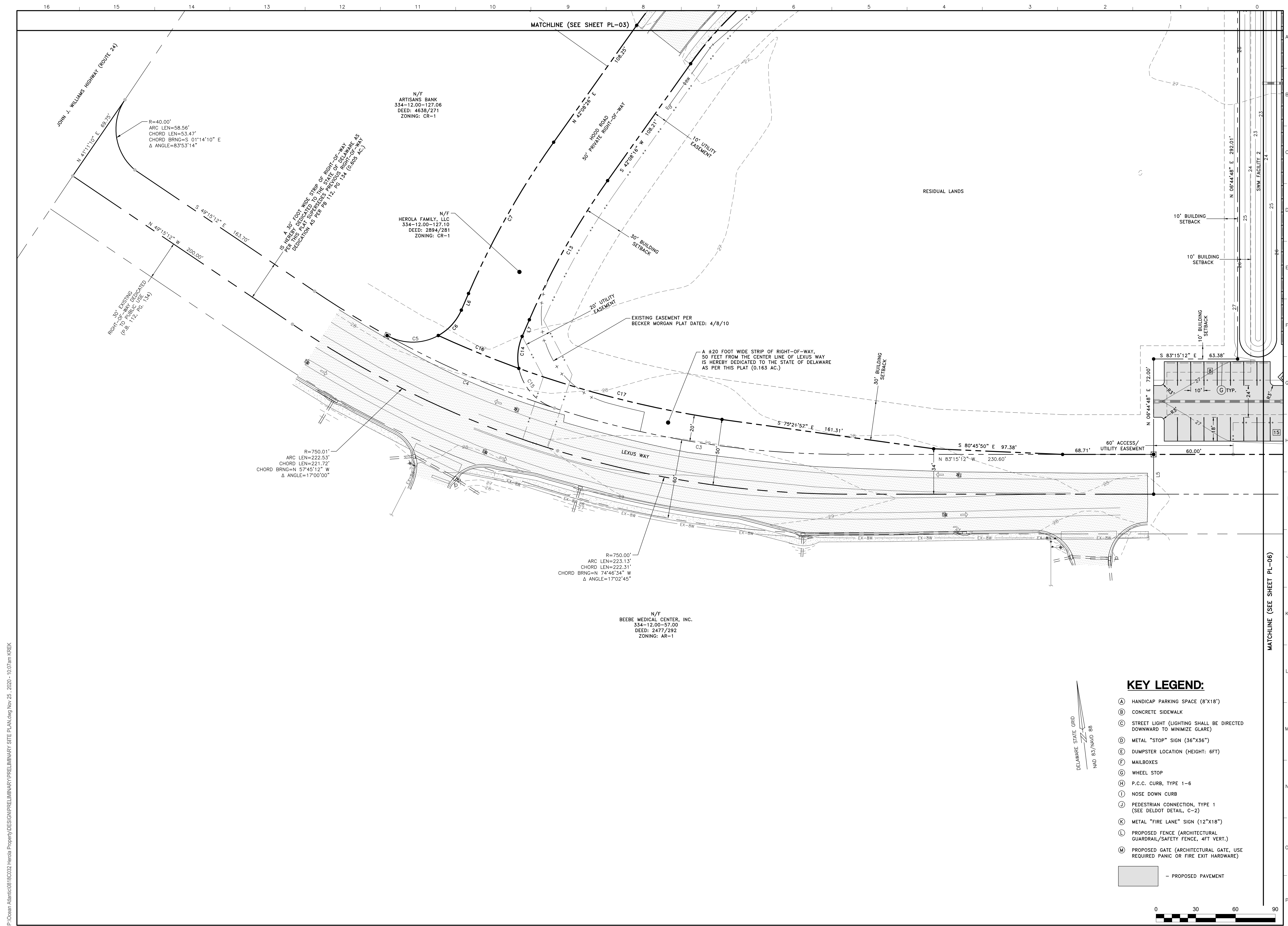
SEAGLASS
LEWES AND REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

REVISIONS:
 2020-10-07: P&Z, CONDITIONS OF APPROVAL
 2020-11-25: P&Z COMMENTS

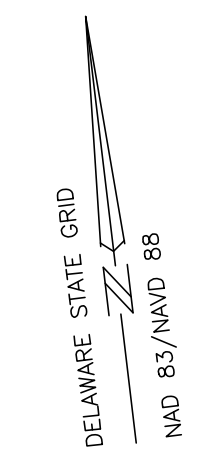
Date: **OCTOBER, 2019**
 Scale: **1" = 30'**
 Dwn.By: **JWJ, KJK**
 Proj.No.: **0818C032**
 Dwg.No.:

PL-04

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- KEY LEGEND:**
- (A) HANDICAP PARKING SPACE (8'X18')
 - (B) CONCRETE SIDEWALK
 - (C) STREET LIGHT (LIGHTING SHALL BE DIRECTED DOWNWARD TO MINIMIZE GLARE)
 - (D) METAL "STOP" SIGN (36"X36")
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 - (F) MAILBOXES
 - (G) WHEEL STOP
 - (H) P.C.C. CURB, TYPE 1-6
 - (I) NOSE DOWN CURB
 - (J) PEDESTRIAN CONNECTION, TYPE 1 (SEE DELDOT DETAIL, C-2)
 - (K) METAL "FIRE LANE" SIGN (12"X18")
 - (L) PROPOSED FENCE (ARCHITECTURAL GUARDRAIL/SAFETY FENCE, 4FT VERT.)
 - (M) PROPOSED GATE (ARCHITECTURAL GATE, USE REQUIRED PANIC OR FIRE EXIT HARDWARE)
- PROPOSED PAVEMENT



DAVIS, BOWEN & FRIEDEL, INC.
 ARCHITECTS ENGINEERS SURVEYORS
 1000 MARKET STREET, SUITE 200
 WILMINGTON, DELAWARE 19801
 (302) 424-1441
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 (410) 770-4744

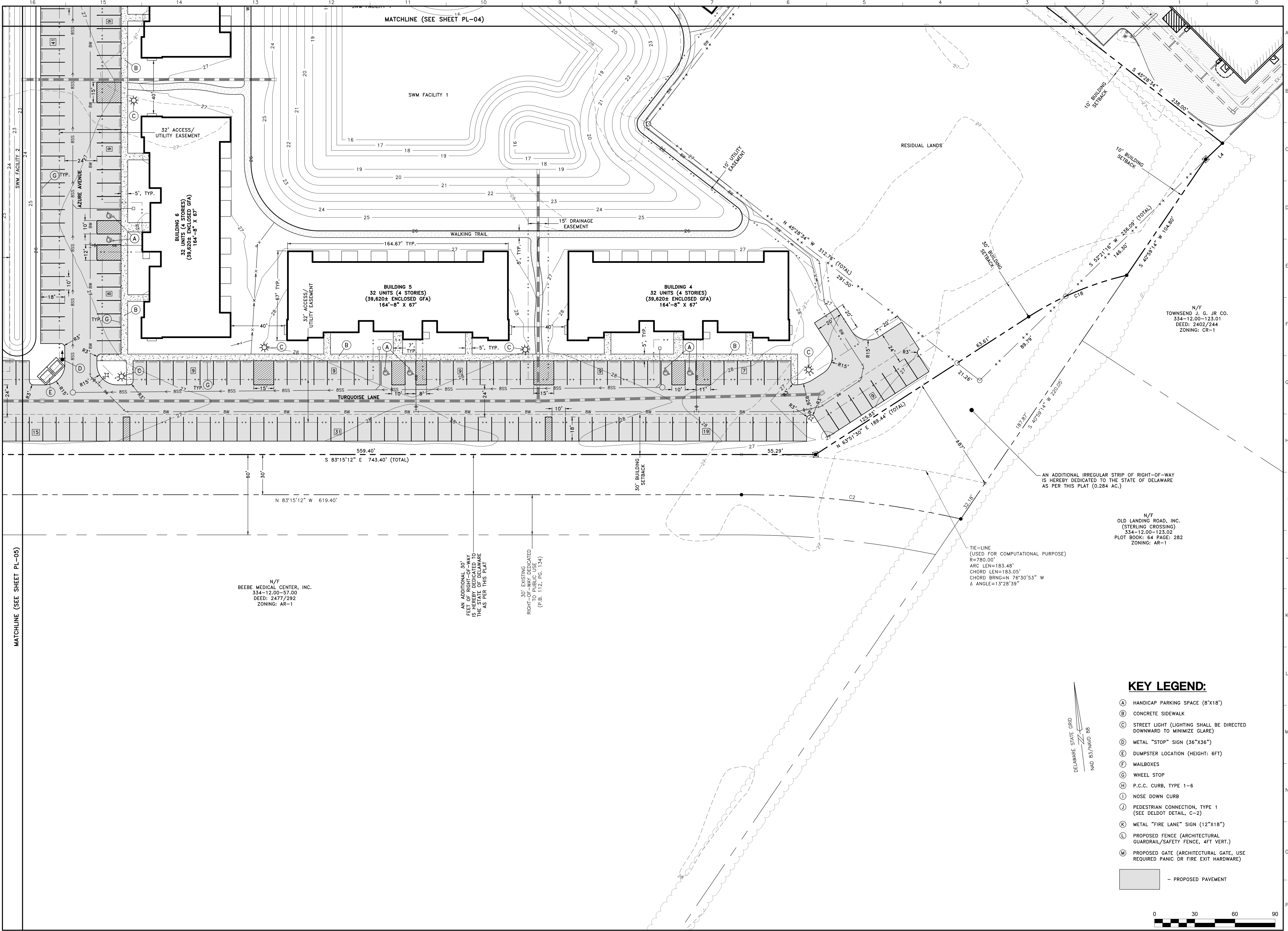
SEAGLASS
LEWES AND REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

REVISIONS:
 2020-10-07: P&Z, CONDITIONS OF APPROVAL
 2020-11-25: P&Z COMMENTS

Date: **OCTOBER, 2019**
 Scale: **1" = 30'**
 Dwn.By: **JMJ, KJK**
 Proj.No.: **0818C032**
 Dwg.No.: **PL-05**

PRELIMINARY - SITE PLAN

P:\Ocean Atlantic\0818032 Herola Property\DESIGN\PRELIMINARY\PRELIMINARY SITE PLAN.dwg Nov 25, 2020 - 10:18am KREEK



MATCHLINE (SEE SHEET PL-05)

MATCHLINE (SEE SHEET PL-04)

N/F
BEEBE MEDICAL CENTER, INC.
334-12.00-57.00
DEED: 2477/292
ZONING: AR-1

AN ADDITIONAL 30'
RIGHT-OF-WAY STRIP
IS HEREBY DEDICATED TO
THE STATE OF DELAWARE
AS PER THIS PLAT

30' EXISTING
RIGHT-OF-WAY STRIP
TO PUBLIC USE
(P.B. 112, PG. 134)

TIE-LINE
(USED FOR COMPUTATIONAL PURPOSE)
R=780.00'
ARC LEN=183.48'
CHORD LEN=183.05'
CHORD BRNG=N 76°30'53" W
Δ ANGLE=13°28'39"

AN ADDITIONAL IRREGULAR STRIP OF RIGHT-OF-WAY
IS HEREBY DEDICATED TO THE STATE OF DELAWARE
AS PER THIS PLAT (0.284 AC.)

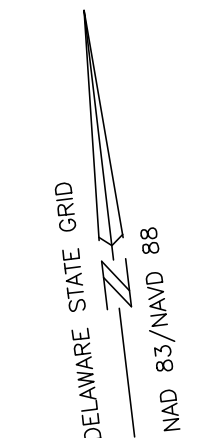
N/F
OLD LANDING ROAD, INC.
(STERLING CROSSING)
334-12.00-123.02
PLOT BOOK: 64 PAGE: 282
ZONING: AR-1

N/F
TOWNSEND J. G. JR. CO.
334-12.00-123.01
DEED: 2402/244
ZONING: CR-1

KEY LEGEND:

- (A) HANDICAP PARKING SPACE (8'X18')
- (B) CONCRETE SIDEWALK
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- (M) PROPOSED GATE (ARCHITECTURAL GATE, USE REQUIRED PANIC OR FIRE EXIT HARDWARE)

— PROPOSED PAVEMENT



DAVIS, BOWEN & FRIEDEL, INC. ARCHITECTS ENGINEERS SURVEYORS
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 WILMINGTON, DELAWARE 19801
 (302) 424-1441
 EASTON, MARYLAND (410) 770-4744

**SEAGLASS
LEWES AND REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE**

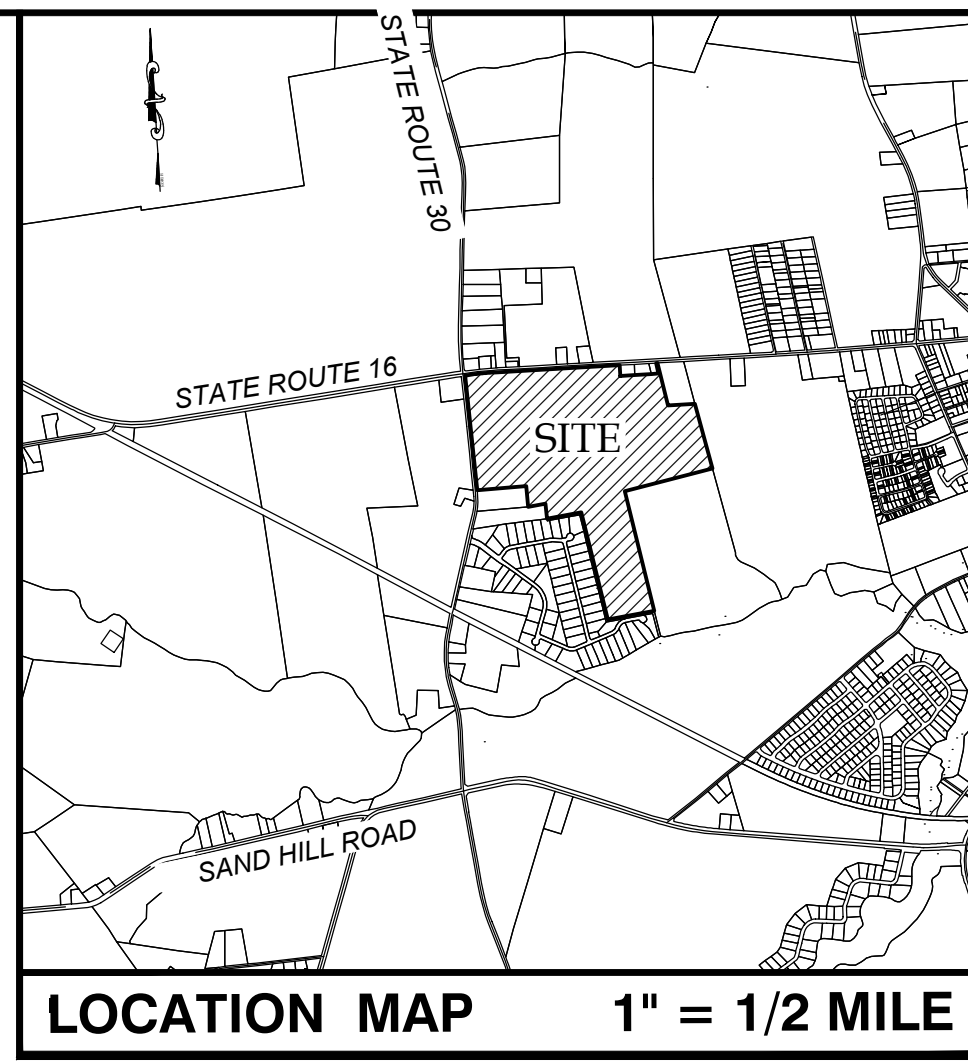
REVISED:
2020-10-07: P&Z, CONDITIONS OF APPROVAL
2020-11-25: P&Z COMMENTS

Date: **OCTOBER, 2019**
 Scale: **1" = 30'**
 Dwn.By: **JWJ, KJK**
 Proj.No.: **0818C032**
 Dwg.No.:

PL-06

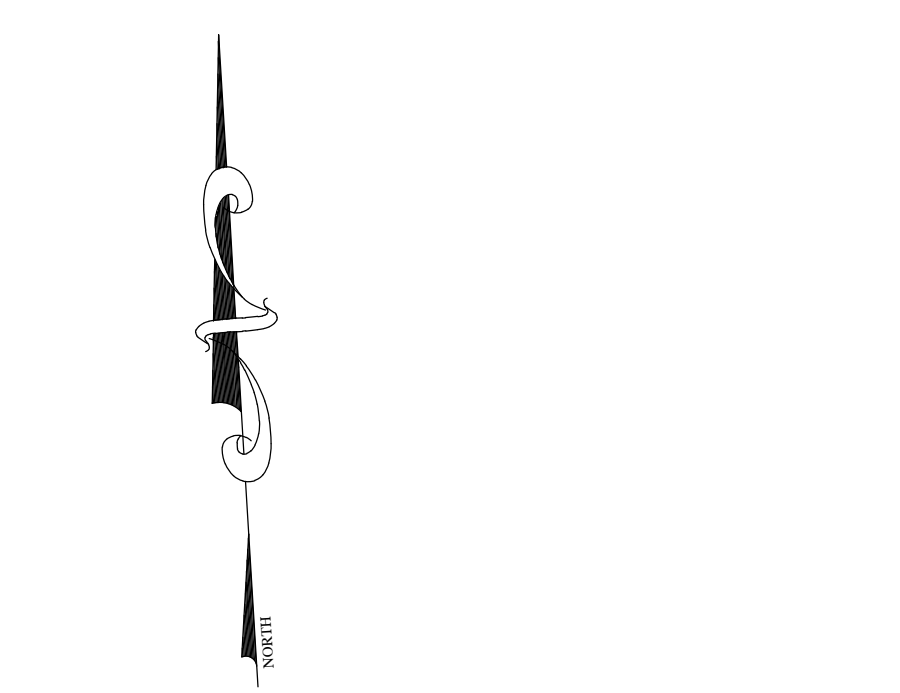
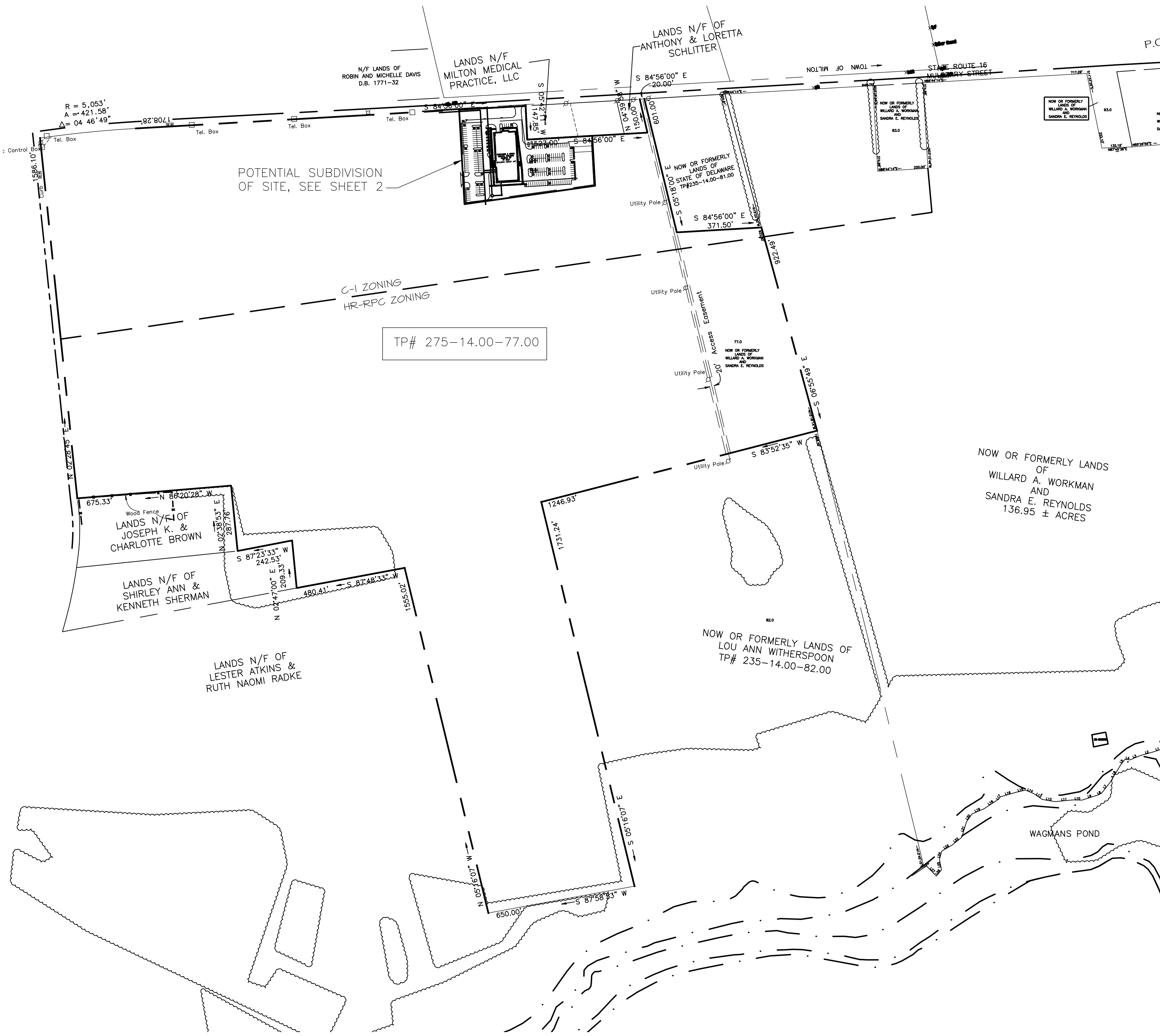
PRELIMINARY - SITE PLAN

PRELIMINARY MINOR LAND DEVELOPMENT PLAN FOR JERRY ANN MCLAMB MEDICAL PAVILION BROADKILL HUNDRED - TOWN OF MILTON DELAWARE



- GENERAL DATA**
- PIN: 235-14.00-77.00
 - PLOT BOOK PAGE: 85 310/PB
 - GROSS AREA: 142.60± ACRES
PROPOSED SITE: 4.45± ACRES
 - TAX DISTRICT: 235 - BROADKILL
 - SCHOOL DISTRICT: 6 - CAPE HENLOPEN
 - EXISTING ZONING: C-1 (GENERAL BUSINESS)
RPC (RESIDENTIAL PLANNED COMMUNITY)
- BULK AREA RESTRICTIONS**
- STREET YARD SETBACK: 60'
SIDE YARD: 5'/20''
REAR YARD: 5'
BUILDING HEIGHT: 42'
PARKING SETBACK (STREET/OTHER): 60'/10'
- **ADJACENT TO RESIDENTIAL ZONING
- TOPOGRAPHIC SURVEY:
 - FIELD SURVEY BY
 - DATUM: NAVD 1988
 - PERIMETER PROPERTY CORNER MARKERS:
 - EXISTING (O)
 - PROPOSED (O)

- WATER SUPPLY: ARTESIAN WATER COMPANY
WATER SUPPLY IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DEPARTMENT OF PUBLIC HEALTH.
 - SANITARY SEWER: PROPOSED FORCE MAIN
SEWERAGE IS SUBJECT TO THE APPROVAL OF THE SUSSEX COUNTY DEPARTMENT OF PUBLIC WORKS.
 - PRIVATE WELLS AND SEPTIC SYSTEMS THAT EXIST WITHIN THIS DEVELOPMENT WILL BE ABANDONED IN ACCORDANCE WITH THE CURRENT STATE OF DELAWARE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL REGULATIONS.
 - DEBRIS DISPOSAL: NO DEBRIS WILL BE BURIED OR DISPOSED OF ON THIS SITE.
 - WATER RESOURCE PROTECTION: GIS INFORMATION WAS REFERENCED FOR THIS SITE. THIS PROPERTY IS NOT LOCATED WITHIN A WATER RESOURCE PROTECTION AREA(WRPA).
 - NO 100-YEAR FLOOD PLAIN EXISTS ON THIS PARCEL, IN ACCORDANCE WITH FLOOD INSURANCE RATE MAP: 10005C0164J AND 10005C0165J PANELS 164 & 165 OF 475, DATED FEBRUARY 4, 2015.
 - CRITICAL NATURAL AREAS: THE STATE INVENTORY OF CRITICAL NATURAL AREAS HAS BEEN EXAMINED AND NONE WHERE FOUND TO EXIST ON THE SITE.
 - WETLANDS: GIS MAPPING INFORMATION WAS REFERENCED FOR THIS SITE AND NO WETLANDS WERE FOUND TO EXIST ON THE SITE. ONCE THE SITE IS EVALUATED, A COMPLETE WETLANDS REPORT IN ACCORDANCE WITH FEDERAL REGULATIONS WILL BE PROVIDED FOR REVIEW.
 - TREE PRESERVATION: THE DEVELOPER SHALL PRESERVE ALL TREES ON THIS SITE EXCEPT WHERE NECESSARY TO CONSTRUCT BUILDINGS, ACCESSWAYS, AND UTILITIES, AND WHERE SELECTIVE THINNING OF EXISTING VEGETATION IS APPROVED. EXISTING PLANT MATERIALS DESIGNATED TO REMAIN ON THIS PLAN, OR THE LANDSCAPE PLAN, SHALL BE PRESERVED AND PROPERLY PROTECTED DURING CONSTRUCTION. IN THE CASE OF UTILITY RIGHTS-OF-WAY AND EASEMENTS, ANY DISTURBED AREAS SHALL BE REPLANTED SO AS TO ACHIEVE A RECURRENCE OF NATURAL VEGETATIVE COVER.
- 15. LAND DEVELOPMENT DATA:**
- | | |
|--|-----------------------------|
| PROPOSED BUILDING AREA: (20,000± SF FOOTPRINT) | 0.46± ACRES = 10.97% |
| PROPOSED PAVED AREA: | 2.27± ACRES = 54.08% |
| PROPOSED SWM AREA: | 0.29± ACRES = 6.92% |
| PROPOSED LANDSCAPE SURFACE AREA: | 1.17± ACRES = 27.93% |
| TOTAL | 4.19± ACRES = 100.0% |
- PARKING DATA (PER ARTICLE XXII, SECTION 115-162)
TYPICAL PARKING SPACES SHALL MEASURE 9' X 18'.
PROPOSED USE: MEDICAL CLINIC AND OFFICE
PARKING RATIONALE: 1 SPACE/2 EMPLOYEES + 4 SPACES/DOCTOR
REQUIRED:
1 SPACE x 116 EMPLOYEES/2 + 4 SPACES x 36 DOCTORS = 202 SPACES
PROVIDED:
(INCLUDING 14 HANDICAP PARKING SPACES) 209 SPACES
 - FIRE PROTECTION: ALL FIRE LANES, FIRE HYDRANTS, SPRINKLERS, STANDPIPE CONNECTIONS AND FIRE EXITS SHALL BE MARKED AND PROTECTED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
FIRE HYDRANTS
FH (0) EXISTING
FH (1) PROPOSED
 - ALL ENTRANCES SHALL CONFORM TO DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL. THE DEVELOPER IS REQUIRED TO OBTAIN AN ENTRANCE PERMIT FROM THE PERTINENT DELDOT DISTRICT PERMIT OFFICE.
 - DRAINAGE, EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT SHALL COMPLY WITH THE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL'S DELAWARE SEDIMENT AND STORMWATER REGULATIONS AND THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK.



PLAN VIEW
SCALE 1" = 300'

CERTIFICATION OF PLAN ACCURACY

I, TED C. WILLIAMS, P.E., HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER WITH A BACKGROUND IN CIVIL ENGINEERING IN THE STATE OF DELAWARE AND THAT ALL OF THE INFORMATION ON THIS PLAN IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED SURVEYING STANDARDS AND PRACTICES AND BY THE SUSSEX COUNTY ZONING CODE.

SIGNATURE _____ DATE _____

CERTIFICATION OF OWNER

I, _____ HEREBY CERTIFY THAT 1630 VENTURES, LLC IS THE OWNER OF THE PARCEL WHICH IS SUBJECT OF THIS PLAN AND THAT THE LAND USE ACTION PROPOSED BY THIS PLAN IS MADE AT ITS DIRECTION AND THAT IT AUTHORIZES THIS PLAN TO BE RECORDED IN ACCORDANCE WITH THE REGULATIONS OF THE SUSSEX COUNTY ZONING CODE.

SIGNATURE _____ DATE _____

THE PURPOSE OF THIS PLAN IS TO:

- CONSTRUCT A 2 STORY 40,000± SF MEDICAL BUILDING WITH THE REQUIRED PARKING, ACCESS AND STORMWATER MANAGEMENT

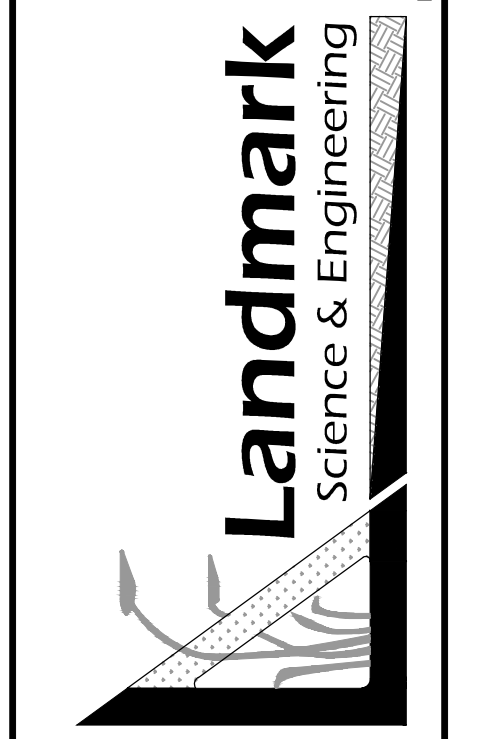
PRELIMINARY MINOR LAND DEVELOPMENT PLAN
FOR
JERRY ANN MCLAMB MEDICAL PAVILION
BROADKILL HUNDRED - TOWN OF MILTON DELAWARE

DEVELOPER
PHOENIX RICE HOLDINGS, LLC
910 ANNE HUNTER DRIVE
WILMINGTON, DE 19803

OWNER
1630 VENTURES, LLC
1630 VENTURES DRIVE
WILMINGTON, DE 19803

200 CONTINENTAL DRIVE
NEWARK, DE 19713
PHONE: 302.333.4417
FAX: 302.333.4411
WWW.LANDMARK-SE.COM
INFO@LANDMARK-SE.COM

201 BRISBANE BLVD., SUITE 140
ABERDEEN, MD 21001
PHONE: 410.261.1414
FAX: 410.261.1411
INFO@LANDMARK-SE.COM



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THIS DRAWING DOES NOT INCLUDE CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT AND ALL APPLICABLE CODES, RULES AND REGULATIONS THEREOF APPLICABLE.

DRAWN BY: MKB SCALE: 1" = 300'
DESIGN BY: MKB DATE: 10/30/2020
CHECK BY: XXX SHEET: CX-01 of 2

GRAPHIC SCALE
0 150 300 600

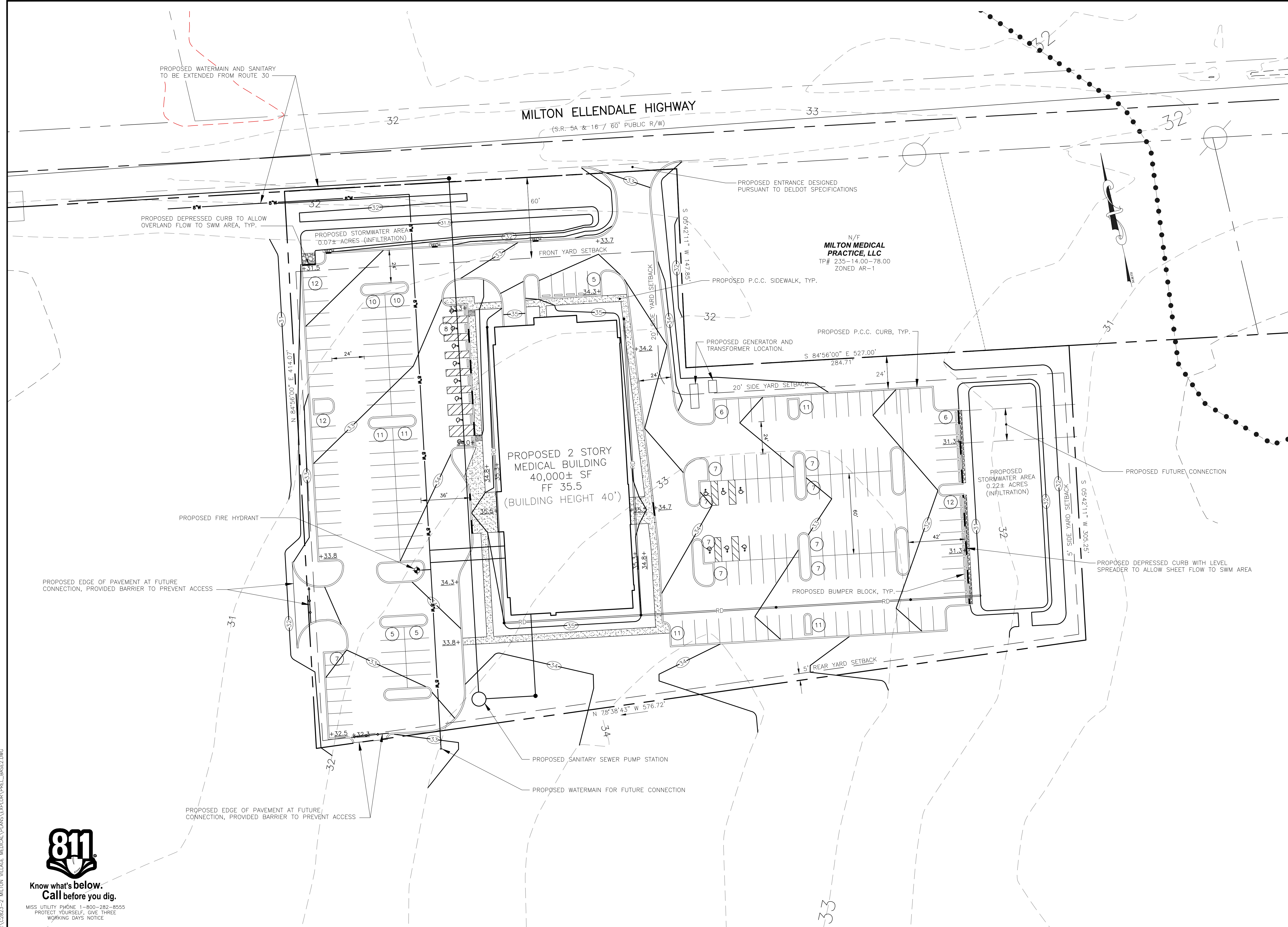
CX-01
COMMISSION: C2823-2
FILE NAME: PREL_BASE2.dwg

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P:\C2823-2 MILTON VILLAGE MEDICAL\PLANS\EXPLOR\PREL_BASE2.DWG



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<p>REVISIONS</p> <p>1. REV PER PLANNING & ZONING 11-17-20</p> <p>12-1-2020</p> <p>MKB</p>	<p>PRELIMINARY MINOR LAND DEVELOPMENT PLAN</p> <p>FOR</p> <p>JERRY ANN MCLAMB MEDICAL PAVILION</p> <p>BROADKILL, HUNDRED - SUSSEX COUNTY, DELAWARE</p> <p>OWNER: 1630 VENTURES, LLC 1 SOUTH CLEVELAND AVE MILFORD, DE 19966 (XXX) XXX-XXXX</p> <p>DESIGNER: PHOENIX RICH HOLDINGS, LLC 910 FAULK ROAD, SUITE 201 MILFORD, DE 19966 (XXX) XXX-XXXX</p>	<p>200 CONTINENTAL DRIVE NEWARK, DE 19713 PHONE (302) 339-4477 FAX (302) 339-4477 WWW.LANDMARK-SE.COM INFO@LANDMARK-SE.COM</p> <p>201 RESEARCH BLVD., SUITE 100 ABERDEEN, MD 21001 PHONE (410) 339-4414 FAX (410) 339-4411 INFO@LANDMARK-SE.COM</p>	<p>THIS DRAWING AND THE DESIGN SHOWN ARE THE EXCLUSIVE PROPERTY OF LANDMARK SCIENCE & ENGINEERING. NO PART OF THIS DRAWING OR DESIGN MAY BE REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION.</p> <p>THIS DRAWING DOES NOT INCLUDE CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT AND REGULATIONS THEREOF APPLICABLE.</p>
<p>DRAWN BY: MKB</p> <p>DESIGN BY: MKB</p> <p>CHECK BY: XXX</p>	<p>SCALE: 1"=30'</p> <p>DATE: 10/30/2020</p> <p>SHEET: CX-02 of 2</p>	<p>COMMISSION: C2823-2</p>	<p>GRAPHIC SCALE</p> <p>0 15 30 60</p>
<p>FILE NAME: PREL_BASE2.dwg</p>		<p>© 2020 LANDMARK SCIENCE & ENGINEERING</p>	

SITE DATA:

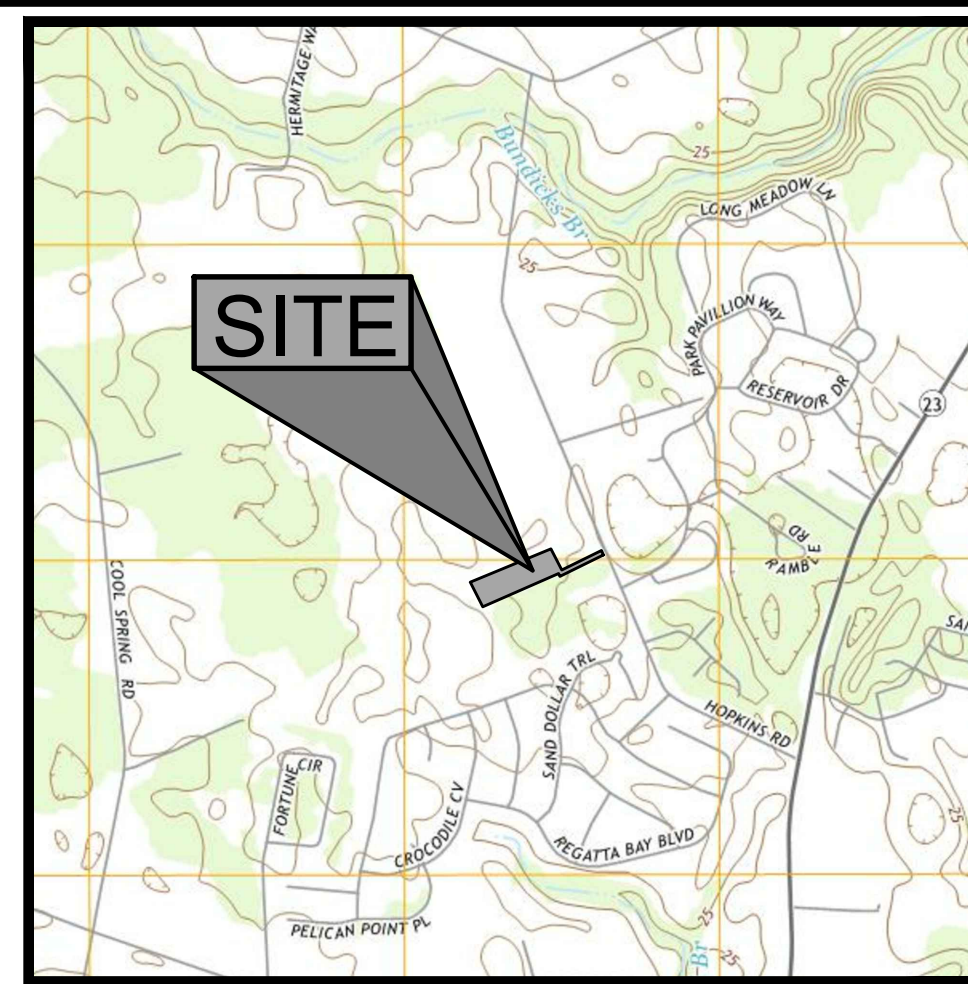
- TAX MAP NUMBER: 234-5.00-46.04 DEED BOOK 4848, PG 210
- DEVELOPER NAME: KENNETH DOMINIC ALTON DRUMMOND
- OWNER/DEVELOPER ADDRESS: 20366 HOPKINS ROAD LEWES, DE 19958
- SITE ADDRESS: 20366 HOPKINS ROAD LEWES, DE 19958
- CURRENT ZONING: AR-1(CONDITIONAL USE (ARTICLE V - 155-31) (APPROVED ORDINANCE NO. CU 2216, DATED AUGUST 25, 2020)
- PROPOSED ZONING: AR-1(CONDITIONAL USE
- PRESENT USE: RESIDENTIAL HOME REPAIR & IMPROVEMENTS
- PROPOSED USE: RESIDENTIAL HOME REPAIR & IMPROVEMENTS
- REQUIRED SETBACKS (PROVISIONS IN ACCORDANCE WITH 115-25):
FRONT - 40 FEET
SIDE - 15 FEET
REAR - 20 FEET
- BUILDING HEIGHT: 42' ALLOWED
- PARKING (ARTICLE XXII: OFF-STREET PARKING, CODE SECTION 115-162):
WHOLESALE OR MANUFACTURING: (1 FOR EVERY 2 EMPLOYEES ON THE MAJOR SHIFT ESTABLISHMENTS)
MANAGER RESIDENCE: 2 SPACES REQUIRED
TOTAL REQUIRED SPACES: 2 + 4 SPACES(1 PER EVERY 2 EMPLOYEES MAX 8 EMPLOYEES)
PROPOSED EMPLOYEE PARKING: 12 - ALLOWING FOR FUTURE GROWTH
- WATER SUPPLY: PROPOSED PRIVATE ON-SITE WELL
WATER IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENTS OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DIVISION OF PUBLIC HEALTH
A) SUBJECT PROPERTY IS WITHIN AN AREA OF "POOR" GROUND WATER RECHARGE.
B) SUBJECT PROPERTY IS NOT LOCATED IN A WELLHEAD PROTECTION AREA
- SEWER SUPPLY: PROPOSED PRIVATE ON-SITE SEPTIC
- LATITUDE AND LONGITUDE STATE PLAN COORDINATES:
LONGITUDE: W075° 13' 21.65" LATITUDE: N038° 42' 16.39"
- TOTAL AREA (GROSS): 6.34± ACRES
CONDITIONAL USE AREA: 3.57± ACRES
REMAINING PARCEL 46.04 AREA: 2.77± ACRES
- NET DEVELOPMENT AREA: 6.34± AC.
- WETLAND AREA: 0.00± AC. (DNREC NAVMAP)
- PROPOSED DISCHARGE LOCATION: REHOBOTH BAY VIA HERRING CREEK & LOVE CREEK
- LIMIT OF DISTURBANCE: 2.05 AC.
- 2015 STATE STRATEGIES & INVESTMENT LEVELS: LEVEL 4
- SITE CALCULATIONS**
BUILDING AREA EX. = 4,434 SF (0.10 AC.) PR. = 13,587 SF (0.31 AC.)
GRASS AREA EX. = 218,332 SF (5.01 AC.) PR. = 165,377 SF (3.80 AC.)
PAVEMENT/STONE AREA EX. = 30,036 SF (0.69 AC.) PR. = 59,421 SF (1.36 AC.)
WOODED AREA EX. = 23,184 SF (0.53 AC.) PR. = 37,601 SF (0.86 AC.)
TOTAL EX. = 275,986 SF (6.33 AC.) PR. = 275,986 SF (6.33 AC.)
- PERCENTAGE OF IMPERVIOUS COVER: 2.22 AC. (27.06%)
NUMBER OF FORESTED ACRES TO BE REMOVED: 0.00 AC. (0.00%)
- LOCAL GOVERNMENT RESPONSIBLE FOR LAND USE APPROVAL: SUSSEX COUNTY
- DATUM: HORIZONTAL = NAD83
VERTICAL = NAD83
- FLOOD MAP: ZONE X
- WATER SHED: REHOBOTH BAY
- FIRE DISTRICT: LEWES FIRE CO. (STATION 82)

FIRE MARSHAL SITE DATA:

- SUBDIVISION NAME/ADDRESS: BUSINESS SECURITIES, LLC 20366 HOPKINS ROAD LEWES, DE 19958 INDIAN RIVER HUNDRED SUSSEX COUNTY, DELAWARE
- OWNER INFORMATION:
CURRENT OWNER: KENNETH DOMINIC ALTON DRUMMOND
TAX MAP/PARCEL #: 234-5.00-46.04
GROSS ACREAGE: 6.34± ACRES
- INTENDED USE: RESIDENTIAL / HOME REPAIR & IMPROVEMENT
- WATER SUPPLIER: EXISTING PRIVATE ON-SITE WELL
- MAXIMUM BUILDING HEIGHT: 42'
- AUTOMATIC SPRINKLERS: NO
- FIRE DISTRICT: LEWES FIRE CO. (STATION 82)

NOTES:

- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
- ALL ACCESS TO DWELLINGS SHALL BE CLEARED A MINIMUM OF 15' WIDE.
- ALL DWELLINGS TO BE WOOD FRAME CONSTRUCTION WITH A MAXIMUM BUILDING HEIGHT OF TWO STORY, NOT TO EXCEED 42'.
- DIRECT DOWNSPOUTS FROM THE REAR OF BUILDINGS 5, AND 6 TO POSITIVELY DRAIN TO THE INFILTRATION POND.



VICINITY MAP
SCALE: 1" = 2000'

SITE INFORMATION:

SITE ADDRESS:
20366 HOPKINS ROAD
LEWES, DE 19958

OWNER/DEVELOPER:
KENNETH DOMINIC ALTON DRUMMOND
20366 HOPKINS ROAD
LEWES, DE 19958

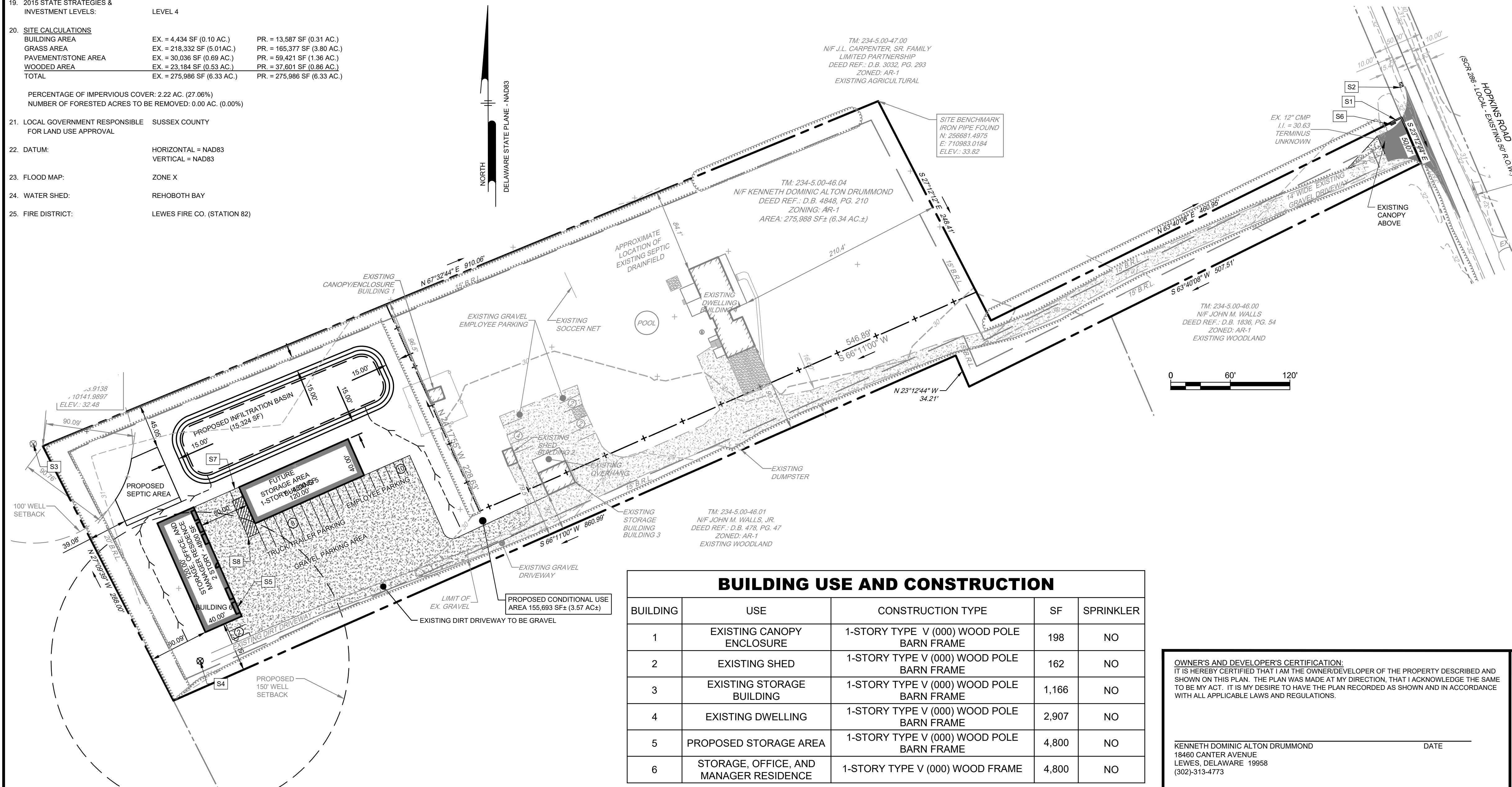
ENGINEER:
PENNONI ASSOCIATES, INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968

KEY NOTES

- S1 EXISTING FENCE TO BE REMOVED
- S2 RELOCATED MAILBOX
- S3 EXISTING WELL
- S4 PROPOSED WELL
- S5 OVERHEAD DOOR (TYP.)
- S6 PROPOSED BUSINESS SIGN
- S7 PROPOSED DUMPSTER AREA
- S8 PROPOSED LOADING AREA

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- BUILDING RESTRICTION LINE
- CONDITIONAL USE BOUNDARY LINE
- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING CONTOUR LINE
- EXISTING EDGE OF GRAVEL
- EXISTING EDGE OF CONCRETE
- EXISTING FENCE LINE
- EXISTING EDGE OF TREELINE/WOODS
- EXISTING CONCRETE
- PROPOSED GRAVEL PARKING AREA
- EXISTING GRAVEL AREA
- PROPOSED SWALE
- PROPOSED ENTRANCE
- EXISTING SPOT ELEVATION
- AXLE FOUND
- IRON ROD FOUND
- IRON PIPE FOUND
- CONCRETE MONUMENT FOUND



BUILDING USE AND CONSTRUCTION

BUILDING	USE	CONSTRUCTION TYPE	SF	SPRINKLER
1	EXISTING CANOPY ENCLOSURE	1-STORY TYPE V (000) WOOD POLE BARN FRAME	198	NO
2	EXISTING SHED	1-STORY TYPE V (000) WOOD POLE BARN FRAME	162	NO
3	EXISTING STORAGE BUILDING	1-STORY TYPE V (000) WOOD POLE BARN FRAME	1,166	NO
4	EXISTING DWELLING	1-STORY TYPE V (000) WOOD POLE BARN FRAME	2,907	NO
5	PROPOSED STORAGE AREA	1-STORY TYPE V (000) WOOD POLE BARN FRAME	4,800	NO
6	STORAGE, OFFICE, AND MANAGER RESIDENCE	1-STORY TYPE V (000) WOOD FRAME	4,800	NO

OWNER'S AND DEVELOPER'S CERTIFICATION:
IT IS HEREBY CERTIFIED THAT I AM THE OWNER/DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN RECORDED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

KENNETH DOMINIC ALTON DRUMMOND DATE
18460 CANTER AVENUE
LEWES, DELAWARE 19958
(302)-313-4773

ENGINEER CERTIFICATION:
IT IS HEREBY CERTIFIED THAT I AM A PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

ALAN M. DEKTOUR, PE (DE PE #17771) DATE
PENNONI ASSOCIATES, INC (302) 684-8030
18072 DAVIDSON DRIVE MILTON, DE 19968

Pennonni
PENNONI ASSOCIATES, INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

QUALITY CARE HOMES
SUSSEX COUNTY, TWP 234-5.00-46.04
20366 HOPKINS ROAD
LEWES, DELAWARE 19958

PRELIMINARY SITE PLAN

KENNETH DOMINIC ALTON DRUMMOND
18460 CANTER AVENUE
LEWES, DELAWARE 19958

NO.	DATE	REVISIONS	BY
1	1/24/2020	REVIS PER P&Z COMMENTS	AMD
2	12/17/2019	UPDATED LAYOUT PER CLIENT SPECIFICATION	LFS

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER. SMALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: DDRUM19001
DATE: YYYY-MM-DD
DRAWING SCALE: 1"=60'
DRAWN BY: FML
APPROVED BY: FML

CS1001
SHEET 1 OF 2

NOTES:

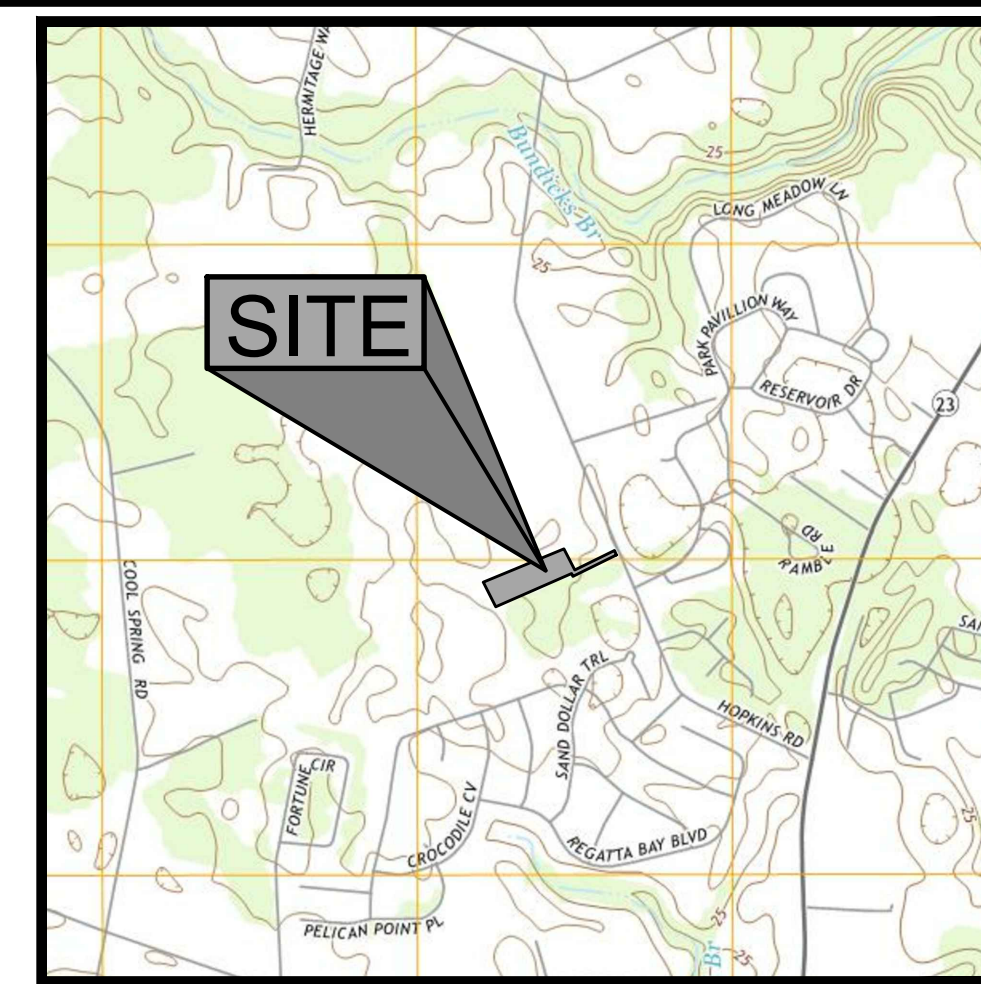
- THE BOUNDARY INFORMATION SHOWN ON THIS PLAT WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD AND IS THE RESULT OF AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES INC PERFORMED ON MAY 6, 2019.
- THE TOTAL AREA FOR THE SUBJECT PROPERTY IS 8.34 ACRES.
- THIS SURVEY DOES NOT VERIFY THE LOCATION AND/OR EXISTENCE OF EASEMENTS OR RIGHTS-OF-WAY CROSSING SUBJECT PROPERTY AS NO TITLE SEARCH WAS REQUESTED OR PROVIDED.
- THIS PROPERTY APPEARS ON SUSSEX COUNTY TAX MAP 234-5.00 AS PARCEL 46.04, AND IS CURRENTLY ZONED AR-1 (AGRICULTURAL RESIDENTIAL).
- CLASS OF SURVEY: SUBURBAN
- DEED REFERENCE: DEED BOOK 4848, PAGE 210. PLAT REFERENCE: PLAT BOOK 66, PAGE 215.
- PROPERTY BOUNDARY BEARING SYSTEM IS BASED ON DELAWARE STATE PLANE COORDINATE SYSTEM, HORIZONTAL DATUM NAD83.
- THE PROPERTY IS LOCATED IN ZONE "X" (UNSHADED) ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 100050330K, LAST REVISED 1/05/05. ZONE "X" (UNSHADED) IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN.
- THERE ARE NO WETLANDS ON THE PROPERTY ACCORDING TO THE DNR/EC ENVIRONMENTAL NAVIGATOR WEBSITE.
- THE PROPERTY IS ZONED AR-1 (AGRICULTURAL RESIDENTIAL DISTRICT).
- BUILDING SETBACKS (CH. 115-25C):
FRONT - 40'
SIDE - 15'
REAR - 20'
- THE SUBJECT SITE IS LOCATED IN THE LOVE CREEK AND THE HERRING CREEK AREAS OF THE REHOBOTH BAY WATERSHED, PER DELAWARE DEPARTMENT OF NATURAL RESOURCES & ENVIRONMENTAL CONTROL (DNREC) ENVIRONMENTAL NAVIGATOR WEBSITE. STORMWATER DISCHARGE WILL BE HANDLED VIA EXISTING DISCHARGE TO THESE WATERSHEDS.
- UNLESS SPECIFICALLY STATED OR SHOWN HEREON TO THE CONTRARY, THIS SURVEY IS MADE SUBJECT TO AND DOES NOT LOCATE OR DELINEATE:
13.1. RIGHTS OR INTEREST OF THE UNITED STATES OF AMERICA OR STATE OF DELAWARE OVER LANDS NOW OR FORMERLY FLOWED BY TIDEWATER, BUT NO LONGER VISIBLE OR PHYSICALLY EVIDENT, OR LANDS CONTAINING ANY ANIMAL, MARINE OR BOTANICAL SPECIES REGULATED BY OR UNDER THE JURISDICTION OF ANY FEDERAL, STATE, OR LOCAL AGENCY.
- BUILDING SETBACK LINES, ZONING REGULATIONS OR LINES ESTABLISHED BY ANY FEDERAL, STATE OR LOCAL AGENCY WHICH MAY AFFECT THE BUILDING OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.
- ANY SUBSURFACE OR SUBTERRANEAN CONDITION, EASEMENTS OR RIGHTS, INCLUDING, BUT NOT LIMITED TO MINERAL OR MINING RIGHTS, OR THE LOCATION OF OR RIGHTS TO ANY SUBSURFACE STRUCTURES, CONTAINERS OR FACILITIES OR ANY OTHER NATURAL OR MAN-MADE SUBSURFACE CONDITION WHICH MAY OR MAY NOT AFFECT THE USE OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.
- NO UNDERGROUND UTILITY MARKING WAS PERFORMED FOR THIS SURVEY.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY OWNER.
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN THE PLAN.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE REJECTED.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO BE PERFORMED. IT MUST BE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO FIELD LOCATE AND RECORD ANY DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REMOVED OR REPLACED, ENGINEER TO VERIFY LOCATION AND EXTENT OF DAMAGE.
- DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REPLACED OR REMOVED DURING CONSTRUCTION SHALL BE IMMEDIATELY REPORTED TO ENGINEER. CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED WORK WITHOUT CHARGE TO THE OWNER.
- ALL SECURITY LIGHTING (IF NECESSARY) SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
- ALL FIRE LINES, EXITS, STANDPIPE AND SPRINKLER CONNECTIONS WILL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS.
- MISS UTILITY SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO EXCAVATION.
- MAINTENANCE OF THE STREETS WITHIN THE SITE WILL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR PROPERTY OWNERS WITHIN THE SITE. THE STATE AND COUNTY ASSUME NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE HEIGHT, LOCATION, AND MATERIAL OF ALL FENCES, WALLS, SCREEN PLANTING AND LANDSCAPING WILL BE SHOWN ON THE FINAL SITE PLAN.
- ANY PROPOSED SIGN DETAILS WILL BE SUBMITTED SEPARATELY.

C/U 2216 - CONDITIONS OF APPROVAL (AUGUST 25, 2020):

- THE USE SHALL BE LIMITED TO HOME REMODELING AND HOME CONSTRUCTION SERVICES WITH LIGHT MATERIAL STORAGE ASSOCIATED WITH THAT USE. MATERIAL AND REPAIR OF THE BUSINESSES' EQUIPMENT SHALL BE PERMITTED TO OCCUR ON THE SITE. AN OFFICE SHALL BE PERMITTED FOR ONLY THE BUSINESS; ADDITIONALLY, A RESIDENCE FOR THE BUSINESS MANAGER OR SENIOR EMPLOYEE SHALL ALSO BE PERMITTED. NO OTHER BUSINESS SHALL BE CONDUCTED FROM THE SITE, AND NO RETAIL SALES SHALL BE PERMITTED ON THE SITE.
- AS STATED BY THE APPLICANT, ALL CONSTRUCTION MATERIALS WILL BE STORED INDOORS.
- THE APPLICANT SHALL COMPLY WITH ALL DELDOT REQUIREMENTS, INCLUDING ENTRANCE AND ROADWAY IMPROVEMENTS THAT ARE DIRECTED BY DELDOT.
- NO OUTSIDE REPAIRS OF MAINTENANCE OF VEHICLES OR EQUIPMENT ASSOCIATED WITH THE USE SHALL OCCUR ON THE SITE.
- ALL DUMPSTERS, STORAGE BINS, AND STOCKPILE LOCATIONS SHALL BE SCREENED FROM VIEW OF NEIGHBORING PROPERTIES AND ROADWAYS.
- ONE INDIRECTLY LIGHTED SIGN, NOT TO EXCEED 32 SQUARE FEET PER SIDE, SHALL BE PERMITTED.
- ALL SECURITY LIGHTS SHALL BE FULLY SCREENED AND DOWNWARD FACED SO THEY DO NOT SHINE ON NEIGHBORING PROPERTIES OR ADJACENT ROADWAYS.
- THE HOURS OF OPERATIONS SHALL BE BETWEEN 6:00 A.M. AND 2:00 P.M., MONDAY THROUGH FRIDAY, AND 7:00 A.M. THROUGH 2:00 P.M. ON SATURDAYS. THERE SHALL NOT BE ANY SUNDAY HOURS OF OPERATION.
- THERE SHALL NOT BE ANY DUMPING ON THE SITE. ALL DUMPSTERS ASSOCIATED WITH THE USE SHALL BE SCREENED FROM VIEW OF NEIGHBORING PROPERTIES AND ROADWAYS AND SHALL BE LOCATED AT LEAST 50 FEET (50') FROM THE PROPERTY BOUNDARIES.
- THE FINAL SITE PLAN SHALL CLEARLY SHOW ALL LOADINGS AND STORAGE AREAS AND AREAS FOR VEHICLE PARKING AND EQUIPMENT STORAGE. THESE AREAS SHALL BE CLEARLY MARKED ON THE SITE ITSELF. THESE AREAS SHALL BE SCREENED AND SHALL BE AT LEAST 50 FEET (50') FROM THE PROPERTY BOUNDARIES.
- ALL REQUIRED SCREENING OR BUFFERING SHALL BE SHOWN ON THE FINAL SITE PLAN.
- FAILURE TO COMPLY WITH ANY OF THESE CONDITIONS SHALL BE GROUNDS FOR THE TERMINATION OF THIS CONDITIONAL USE.
- THE FINAL SITE PLAN SHALL BE SUBJECT TO REVIEW OF AND APPROVAL OF THE SUSSEX COUNTY PLANNING AND ZONING COMMISSION.

DELDOT RECORD/SITE PLAN NOTES (REVISED 3-21-2019):

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 §131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SIDEWALK.
- ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION STREET.
- DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
- LOTS WILL BE PERMITTED TO HAVE ACCESS POINTS THAT COMPLY WITH THE DEVELOPMENT COORDINATION MANUAL (DCM) SPACING REQUIREMENTS OF CHAPTER 1 AND LIMITATIONS ON NUMBER OF ACCESS POINTS ESTABLISHED IN DCM CHAPTER 7. HORSESHOE DRIVEWAYS AND SECONDARY ENTRANCES REQUIRE ADDITIONAL DELDOT REVIEW AND SEPARATE PERMITTING, RESTRICTIONS AS DESCRIBED IN THE DCM CHAPTER 7 MAY PROHIBIT SOME SECONDARY ENTRANCE REQUESTS FROM BEING GRANTED.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL, AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
- A PERPETUAL CROSS ACCESS INGRESS/EGRESS EASEMENT IS HEREBY ESTABLISHED AS SHOWN ON THIS PLAN.
- THIS COMMERCIAL PARCEL HAS DIRECT FRONTAGE ALONG HOPKINS ROAD SCR 286, WHICH HAS A FUNCTIONAL CLASSIFICATION OF LOCAL ROAD AS DEFINED BY THE STATE OF DELAWARE'S DEPARTMENT OF TRANSPORTATION. PER SECTION 3.6.1 OF THE DELDOT DEVELOPMENT COORDINATION MANUAL (DCM), IT IS THE DEVELOPER'S RESPONSIBILITY TO EVALUATE NOISE LEVELS AND THEIR IMPACTS ON PROPOSED DEVELOPMENT, FOR PROJECTS ADJACENT TO EXISTING TRANSPORTATION FACILITIES WITH THIS FUNCTIONAL CLASSIFICATION. ROADWAYS WITH THIS CLASSIFICATION CAN BE EXPECTED TO GENERATE ELEVATED LEVELS OF ROAD AND TRAFFIC RELATED NOISE, SIMILAR TO WHAT CAN BE EXPECTED IN URBAN AREAS. A DETAILED NOISE ANALYSIS PER DCM 3.6 IS TYPICALLY RECOMMENDED TO HELP GAUGE THE ACTUAL IMPACTS THAT ROADWAY RELATED NOISE MAY HAVE ON VARIOUS POTENTIAL LAND-USES (SUCH AS THOSE DESCRIBED IN DCM FIGURE 3.6.3.A; NOISE ABATEMENT CRITERIA) WITH THE INCLUSION OF THIS NOTE, THE DEVELOPER IS ACKNOWLEDGING THAT THE PROPOSED SITE AND/OR BUILDING LOCATION CAN BE EXPECTED TO EXCEED THE SPECIFIC MAXIMUM NOISE LEVELS FOR CERTAIN COMMERCIAL AND NON-RESIDENTIAL USES AS SHOWN IN DCM FIGURE 3.6.3.A. THE DEVELOPER'S WAIVER OF THE NOISE ANALYSIS AND REVIEW OF POTENTIAL NOISE MITIGATION MEASURES ARE SUPPORTED BY THE INFEASIBILITY OF APPLYING NOISE MITIGATION MEASURES, BASED ON ENGINEERING CONSIDERATIONS AND FACTORS THAT WOULD LIMIT THE ABILITY TO ACHIEVE SUBSTANTIAL NOISE REDUCTION, RELATED TO THE COMMERCIAL USE OF THE SITE AND/OR BUILDINGS. THIS WAIVER ACKNOWLEDGES THAT THE DECIBEL LEVEL FOR THIS PARCEL MAY EXCEED THE APPLICABLE LIMITS FOR SOME CURRENT OR FUTURE PROPOSED USES. THE USE OF THIS NOTE SIGNIFIES THE SUBDIVISION ENGINEER'S CONCURRENCE WITH WAIVING THE DEVELOPER'S COMPLETION OF A DETAILED NOISE STUDY AND SUBSEQUENT REVIEW OF RESULTING NOISE ABATEMENT FINDINGS OR MITIGATION MEASURES. ANY FUTURE COMPLAINTS RELATING TO EXISTING OR FUTURE NOISE LEVELS IMPACTING PROPOSED USES ON THIS SITE AND ALONG THIS EXISTING TRANSPORTATION FACILITY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OR LAND OWNER OR BOTH.



VICINITY MAP
SCALE: 1" = 2000'

Pennonni
PENNONI ASSOCIATES INC.
 18072 Davidson Drive
 Millton, DE 19968
 T 302.684.9030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

QUALITY CARE HOMES
 SUSSEX COUNTY, TWP 234-5.00-46.04
 20386 HOPKINS ROAD
 LEWES, DELAWARE 19958

PRELIMINARY SITE PLAN

KENNETH DOMINIC ALTON DRUMMOND
 18460 CANTER AVENUE
 LEWES, DELAWARE 19958

NO.	DATE	REVISIONS
1	11/24/2020	REVISED PER P&Z COMMENTS

PROJECT	DDRUM19001
DATE	2020-10-13
DRAWN BY	LFS
APPROVED BY	AMD
CS1002	
SHEET	2 OF 2

